



1 AERIAL VIEW OF PROJECT SITE LOOKING FROM JEFFERSON PARK; SEE A0.01 FOR REFERENCE PLAN

A Planning Application for:  
 The **SOBRATO** Organization  
 COMMONWEALTH: BUILDING 3  
 MENLO PARK, CA 94052



**DRAWING INDEX AND ISSUE DATES**

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● FIRST FORMAL SUBMITTAL OR NO CHANGES							
⊕ MODIFICATIONS SINCE PREVIOUS ISSUE							
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<b>ADDENDUM GARAGE PLANS</b>							
A2.11 AD	FIRST LEVEL GARAGE FLOOR PLAN	●	●	●	●	●	●
A2.12 AD	SECOND LEVEL GARAGE FLOOR PLAN	●	●	●	●	●	●
A2.13 AD	THIRD LEVEL GARAGE FLOOR PLAN	●	●	●	●	●	●
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C2.1	FINISHED FLOOR PLAN	●	●	●	●	●	●
C3.0	PRELIMINARY UTILITY PLAN	●	●	●	●	●	●
C4.0	PRELIMINARY STORMWATER CONTROL PLAN	●	●	●	●	●	●
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L8.01	TREE INVENTORY PLAN	●	●	●	●	●	●

A Planning Application for:  
 The **SOBRATO** Organization  
 COMMONWEALTH: BUILDING 3 MENLO PARK, CA 94052

**PROJECT TEAM**

OWNER:	THE SOBRATO ORGANIZATION 599 Castro Street, Suite 400 Mountain View, CA 94041	ARCHITECT:	ARC TEC INC. 1731 Technology Drive, Suite 750 San Jose, CA 95110 PHONE: 408.496.0676 CONTACT: Craig Almeh EMAIL: craig@arctecinc.com
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**APPLICABLE CODES**

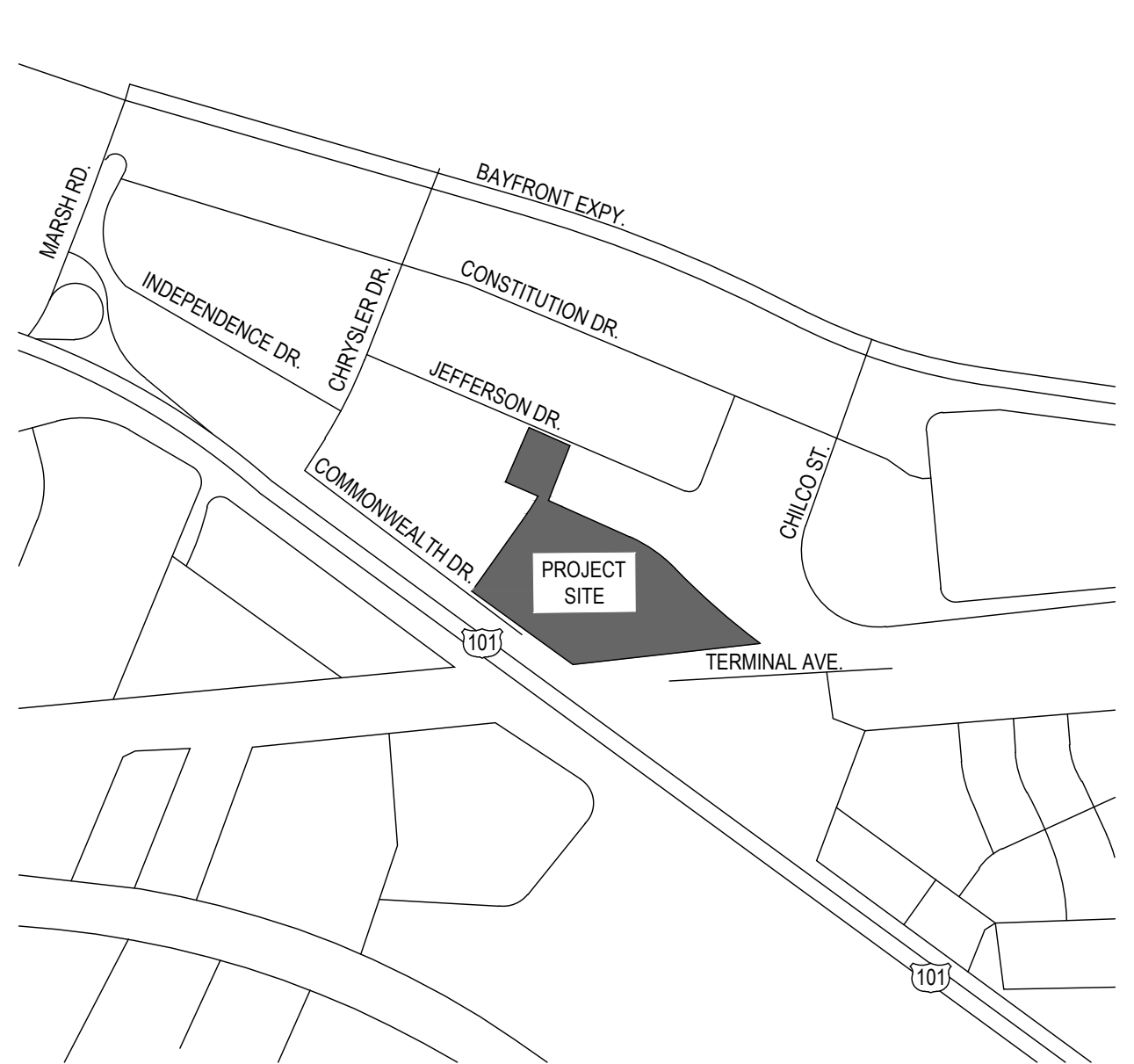
2019 CALIFORNIA BUILDING CODE (CCR TITLE 24, PART 2)  
 2019 CALIFORNIA ELECTRIC CODE (CCR TITLE 24, PART 3)  
 2019 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4)  
 2019 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5)  
 2019 CALIFORNIA ENERGY CODE (CCR TITLE 24, PART 6)  
 2019 CALIFORNIA FIRE CODE (CCR TITLE 24, PART 3)  
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11)  
 ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.

**PROJECT DATA**

OWNER NAME:	THE SOBRATO ORGANIZATION	BUILDING AREA:	249,500 S.F.
PROJECT ADDRESS:	COMMONWEALTH: BUILDING 3 MENLO PARK, CA 94052	NUMBER OF STORES:	4
		CONSTRUCTION TYPE:	I, B
		FIRE SPRINKLERS:	YES
		OCCUPANCY TYPE:	B

NOTE: SEE PAGE A0001 FOR ADDITIONAL PROJECT DATA

**VICINITY MAP**





**PROJECT NARRATIVE**

The Sobrato Organization (TSO) is pleased to propose Commonwealth 3 (Project), a four-story 249,500 gross-square-foot (GSF) office building (Building 3) with a four-story parking structure, with one partial level below grade approximately 404,000 GSF parking structure that will add a net new 665 parking stalls and a community park (Jefferson Park) as well as additional landscaping. Building 3 is a third building in an existing two building campus located in the O-B (Office Bonus) Zoning District within the ConnectMenlo General Plan.

The existing campus consists of two existing four-story office buildings totaling 259,920 SF and surface parking lot with 866 parking stalls. Building 3 and the parking structure would replace most of the existing surface parking lot. As such, Building 3 will have 665 parking stalls dedicated to it, which translates to a parking ratio of 2.6 stalls/1,000 SF whereas the existing campus has a parking ratio of 3.3 stalls/1,000 SF. The blended, overall campus parking ratio (existing campus plus Building 3) will be 3.0 stalls/1,000 SF, based on the new 1,338 parking stall structure and 193 surface parking stalls.

The Project was originally designed to be a six-story, approximately 320,000 SF office building with a five-level parking garage that included approximately 1,560 parking stalls. However, because of feedback received in 2018 from Planning Commission and the public, both the office building and parking garage were reduced in scope. The design of Building 3 complements that of the existing buildings in both the exterior and interior architecture; however, Building 3 will be an all-electric building designed to LEED Gold and Fitwel standards.

With the addition of Building 3 and the parking structure, a 0.2-mile-long and 20-foot wide paseo, available to bicyclists and pedestrians, will be constructed to create a connection around the campus for public use. Part of the paseo connection will lead to Jefferson Park fronting Jefferson Drive.

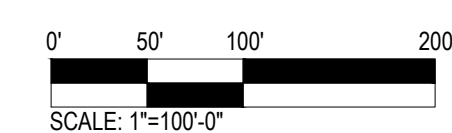
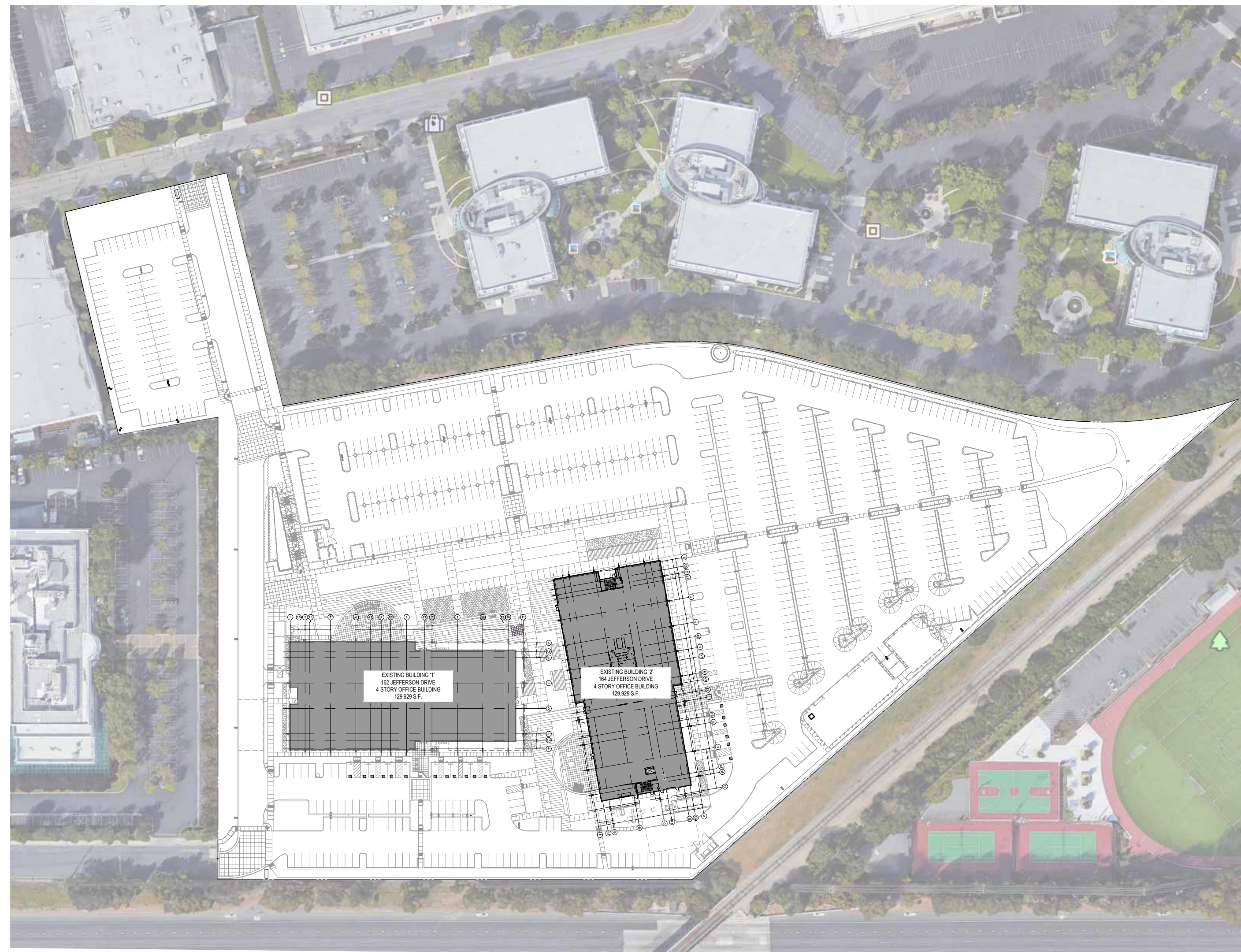
As designed, the Jefferson Park site will transform from a surface parking lot to a gathering place for the community, which will be privately owned but publicly accessible. Jefferson Park includes two sports courts that can be used for basketball, pickleball, and volleyball, a loop track, and a grassy area for picnics and/or other sports. After talks with community members, TSO understands the importance of creating a place for both teenagers to gather with friends as well as families to bring children to make memories.

In compliance with Municipal Code Ordinance No 1026, Bonus-Level development is being proposed. Building 3 will be 69' and the parking structure will be 48', both are well below the allowable average height of 75.5'. The weighted average height of the entire campus (existing plus proposed) will be 59.9'.

**CITY OF MENLO PARK PROJECT DATA**

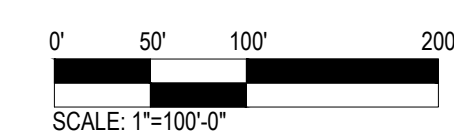
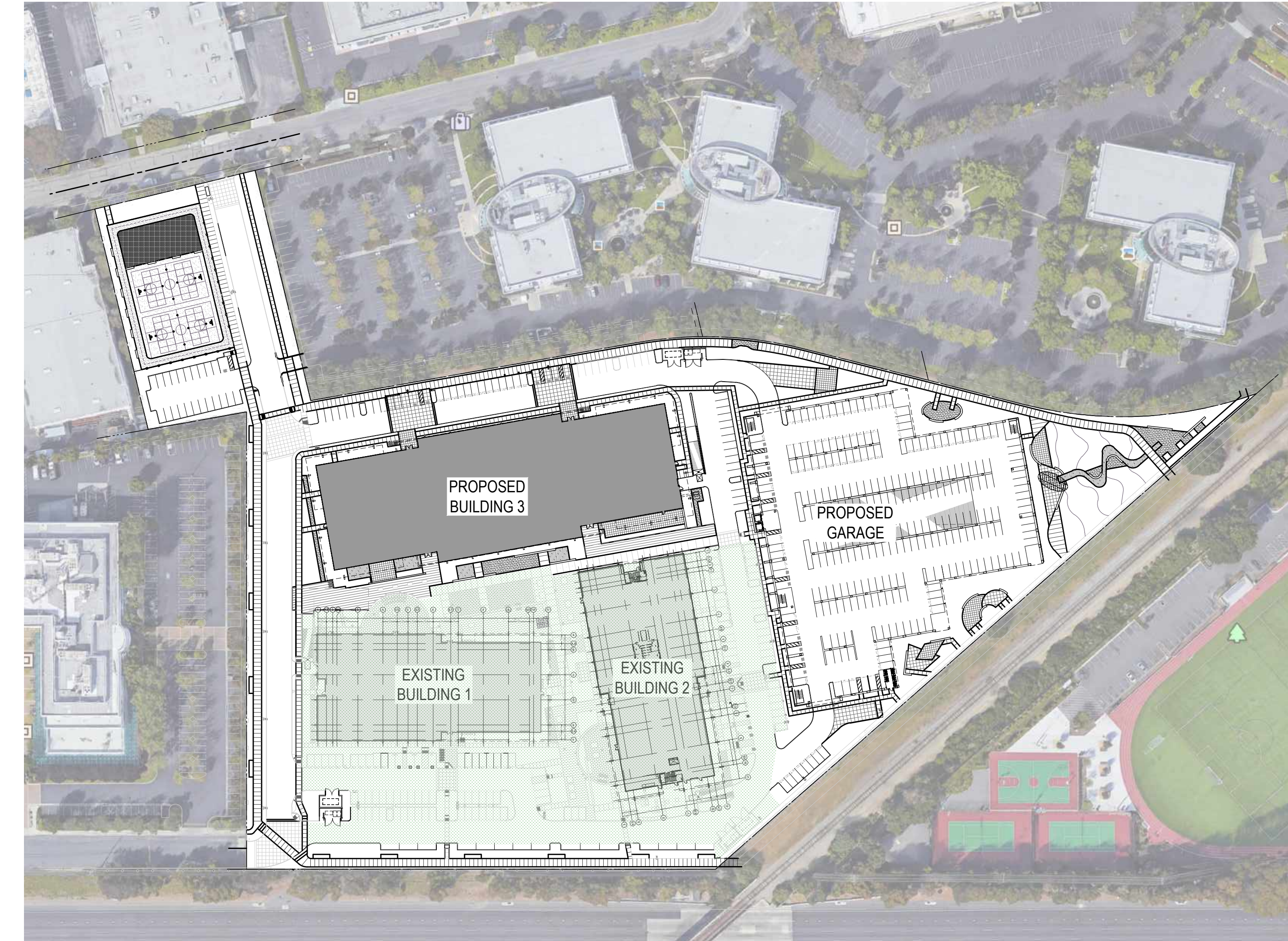
<b>LOCATION:</b> COMMONWEALTH, BUILDING 3, 164 JEFFERSON DR., MENLO PARK, CA 94052				
<b>EXISTING USE:</b> OFFICE		<b>APPLICANT:</b> THE SOBRATO ORGANIZATION		
<b>PROPOSED USE:</b> OFFICE		<b>PROPERTY OWNER(S):</b> THE SOBRATO ORGANIZATION		
<b>ZONING:</b> O-B		<b>APPLICATION(S):</b> PLANNING		
<b>DEVELOPMENT STANDARDS</b>	<b>EXISTING CAMPUS + PROPOSED PROJECT</b>	<b>PROPOSED PROJECT</b>	<b>EXISTING CAMPUS</b>	<b>ZONING ORDINANCE</b>
LOT AREA	578,472 SF	578,472 SF	578,472 SF	25,000 SF MIN.
LOT WIDTH	1,256 FT.	1,256 FT.	1,256 FT.	100 FT. MIN.
LOT DEPTH	866 FT.	866 FT.	866 FT.	100 FT. MIN.
<b>SETBACKS</b>				
FRONT	153 FT.	153 FT.	153 FT.	5 FT. MIN.
REAR	69 FT.	69 FT.	263 FT.	10 FT. MIN.
SIDE (LEFT)	82 FT.	82 FT.	82 FT.	10 FT. MIN.
SIDE (RIGHT)	15 FT.	15 FT.	284 FT.	10 FT. MIN.
LOT COVERAGE	127,533 SF	58,463 SF	69,070 SF	
	22 %	10.1 %	11.9 %	70 % MAX.
FAR (FLOOR AREA RATIO)	509,420 SF	249,500 SF	259,920 SF	
	88 %	43.1 %	44.9 %	100 % MAX.
TOTAL AREA OF BUILDINGS*	509,420 SF	249,500 SF	259,920 SF	
WEIGHTED AVERAGE HEIGHT	59.9 FT.	69 FT.	67.1667 FT.	75.5 FT. MAX.
LANDSCAPING	136,444 SF	69,471 SF	205,915 SF	
	24 %	11.6 %	35.6 %	25 % MIN.
PAVING	314,495 SF	11,008 SF	303,487 SF	
	42 %	10.5 %	52.5 %	42 % MIN.
PARKING	1,531 SPACES	665 SPACES	866 SPACES	
DEFINE BASIS FOR PARKING	3.0 PER 1,000 SF OF GROSS FLOOR AREA			
<b>*SQUARE FOOTAGE OF BUILDINGS BY FLOOR</b>				
	<b>BUILDING '1', '2' &amp; '3'</b>	<b>BUILDING '3'</b>	<b>BUILDING '1' &amp; '2'</b>	
1ST	127,640 SF	64,076 SF	31,782 SF EA	
2ND	131,171 SF	63,147 SF	34,012 SF EA	
3RD	131,169 SF	63,147 SF	34,011 SF EA	
4TH	119,440 SF	59,130 SF	30,155 SF EA	
ACCESSORY BUILDING(S)	N/A	N/A	N/A	

\* PARCELS TO BE MERGED



**EXISTING SITE PLAN**

SCALE: 1" = 100'-0"



EXISTING CAMPUS

**PROPOSED SITE PLAN**

SCALE: 1" = 100'-0"



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A Planning Application for:  
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**COMMONWEALTH, BUILDING 3**  
**MENLO PARK, CA 94052**

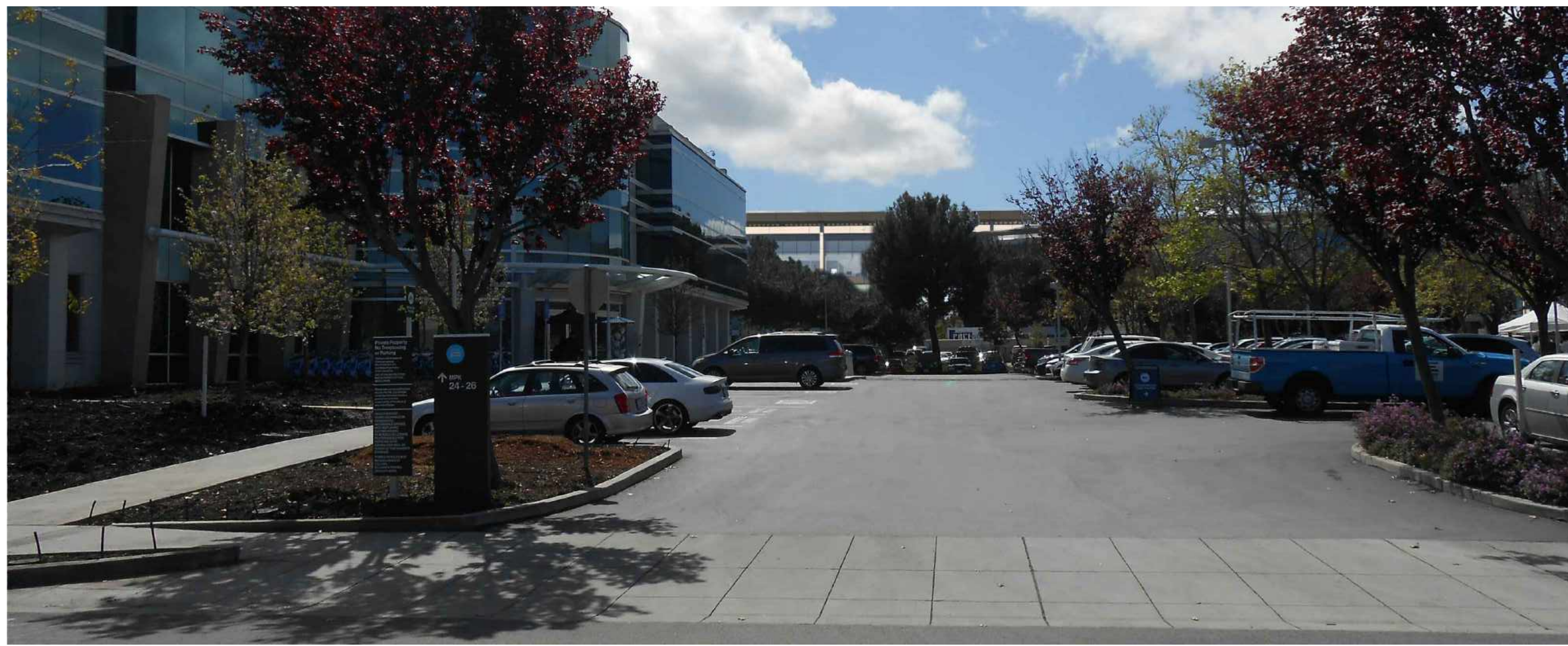
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04.09.21	PLANNING RESUBMITTAL
07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL

PROJECT NARRATIVE AND PROJECT DATA

**A0001**

PROJECT NO: 164152.00





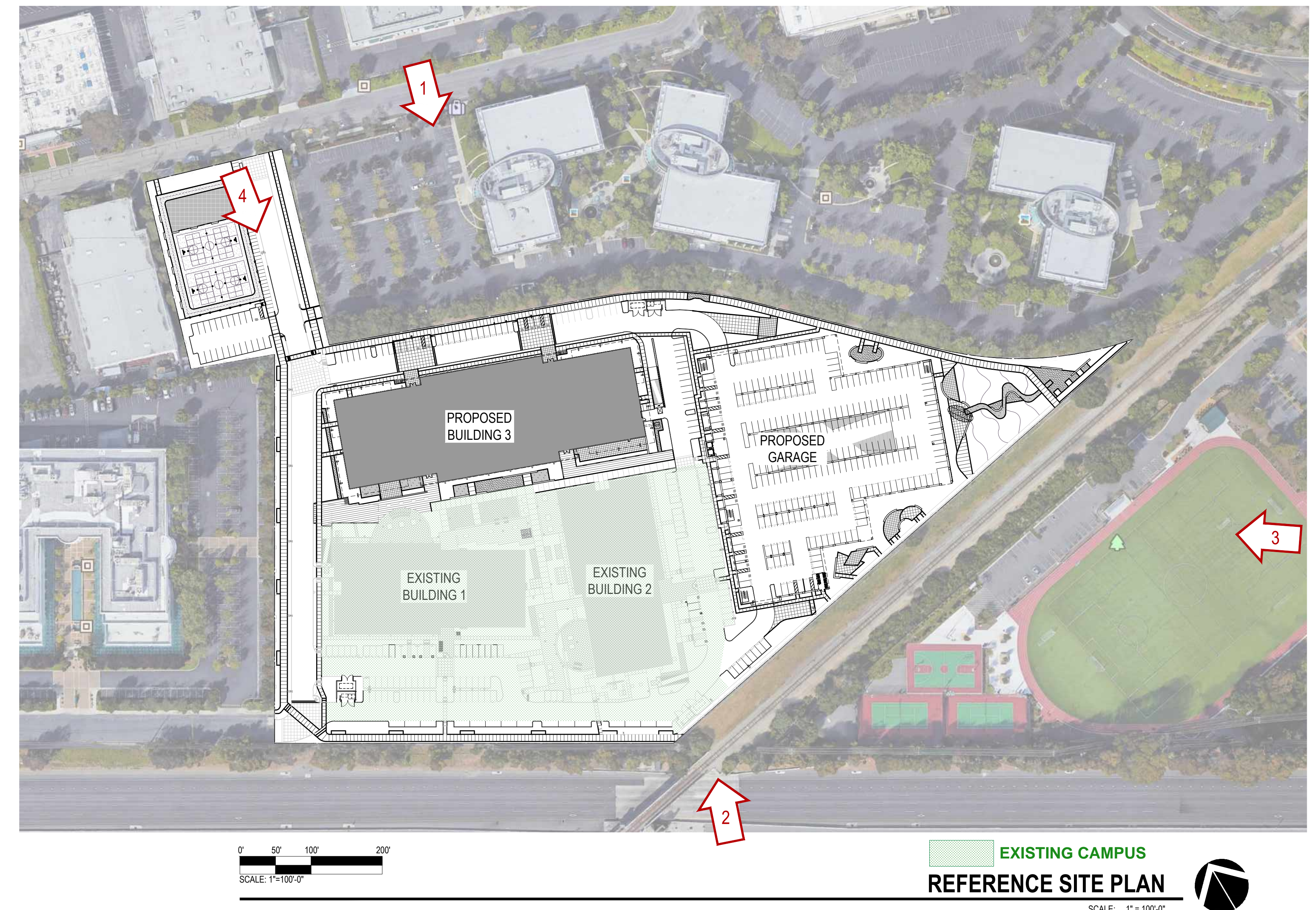
1 VIEW FROM JEFFERSON DRIVE LOOKING SOUTH



2 VIEW FROM 101 BAYSHORE FREEWAY LOOKING NORTH EAST



3 VIEW FROM KELLY PARK LOOKING NORTH WEST



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BUILDING RENDERINGS

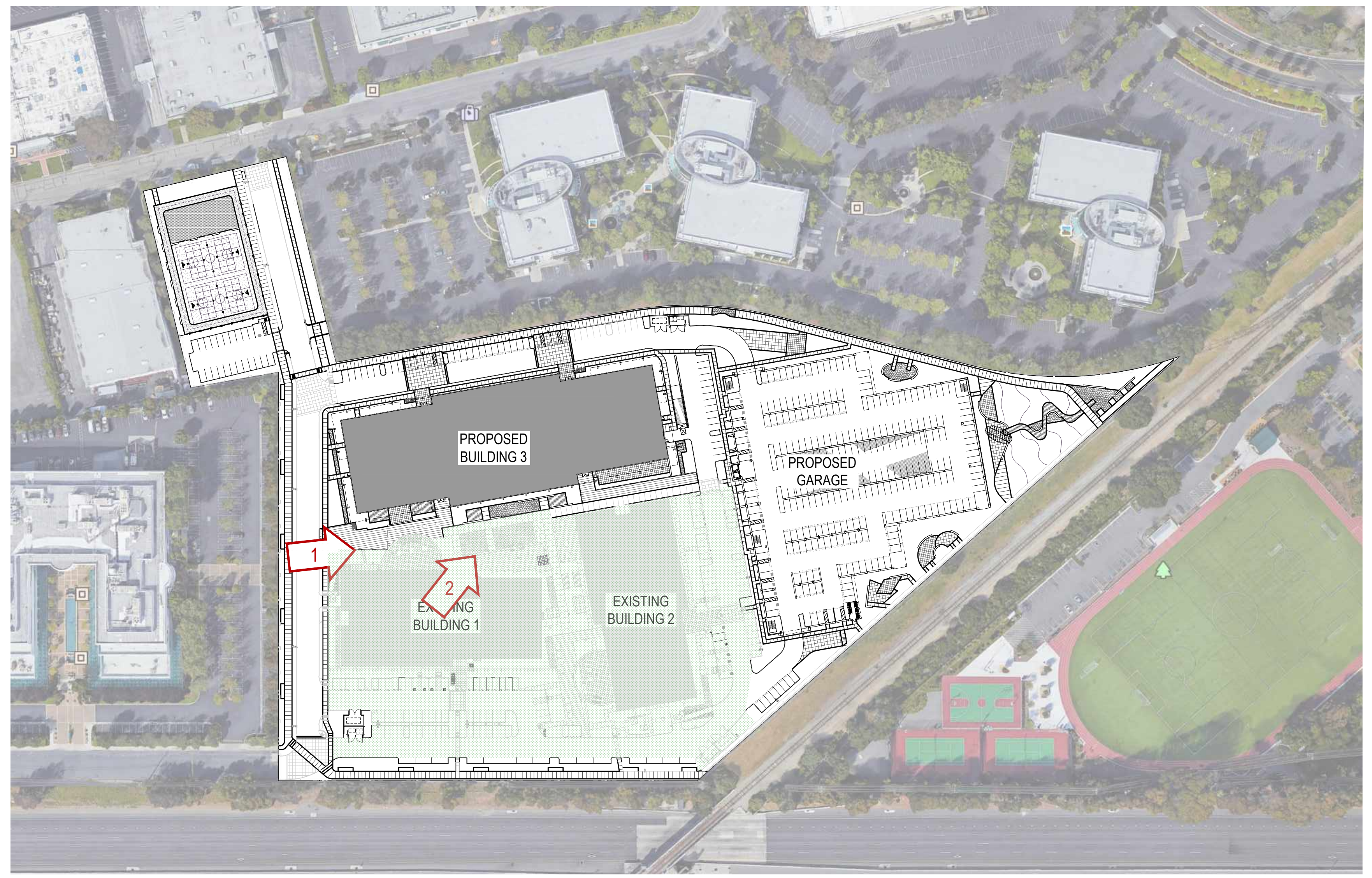
**A0.01**

PROJECT NO: 164152.00





1 VIEW FROM PROJECT SITE LOOKING EAST



EXISTING CAMPUS  
REFERENCE SITE PLAN  
SCALE: 1" = 100'-0"



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2 VIEW FROM SOUTH OF BUILDING '3' OF SITE LOOKING NORTH

A Planning Application for:  
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BUILDING RENDERINGS

**A0.02**

PROJECT NO: 164152.00

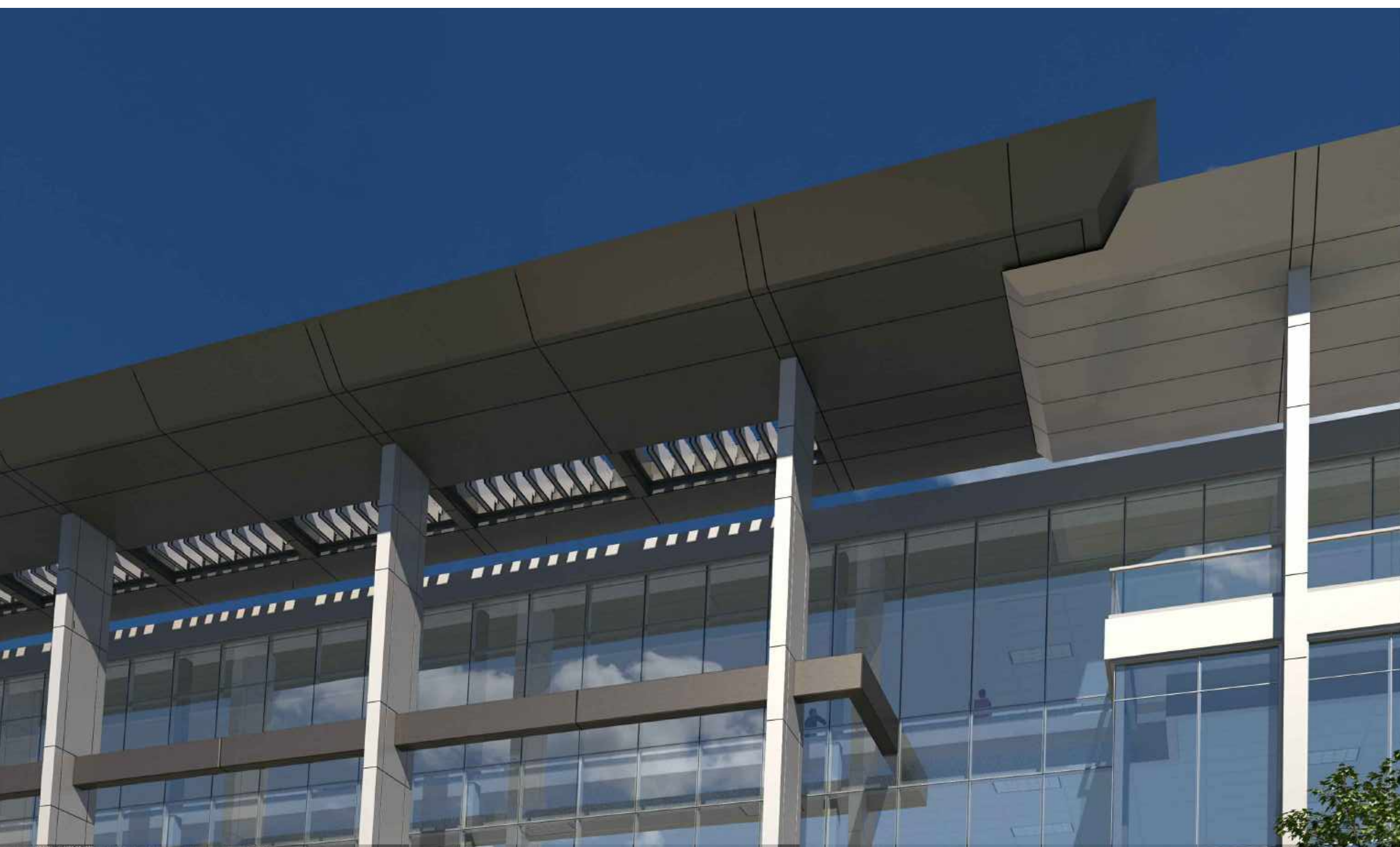




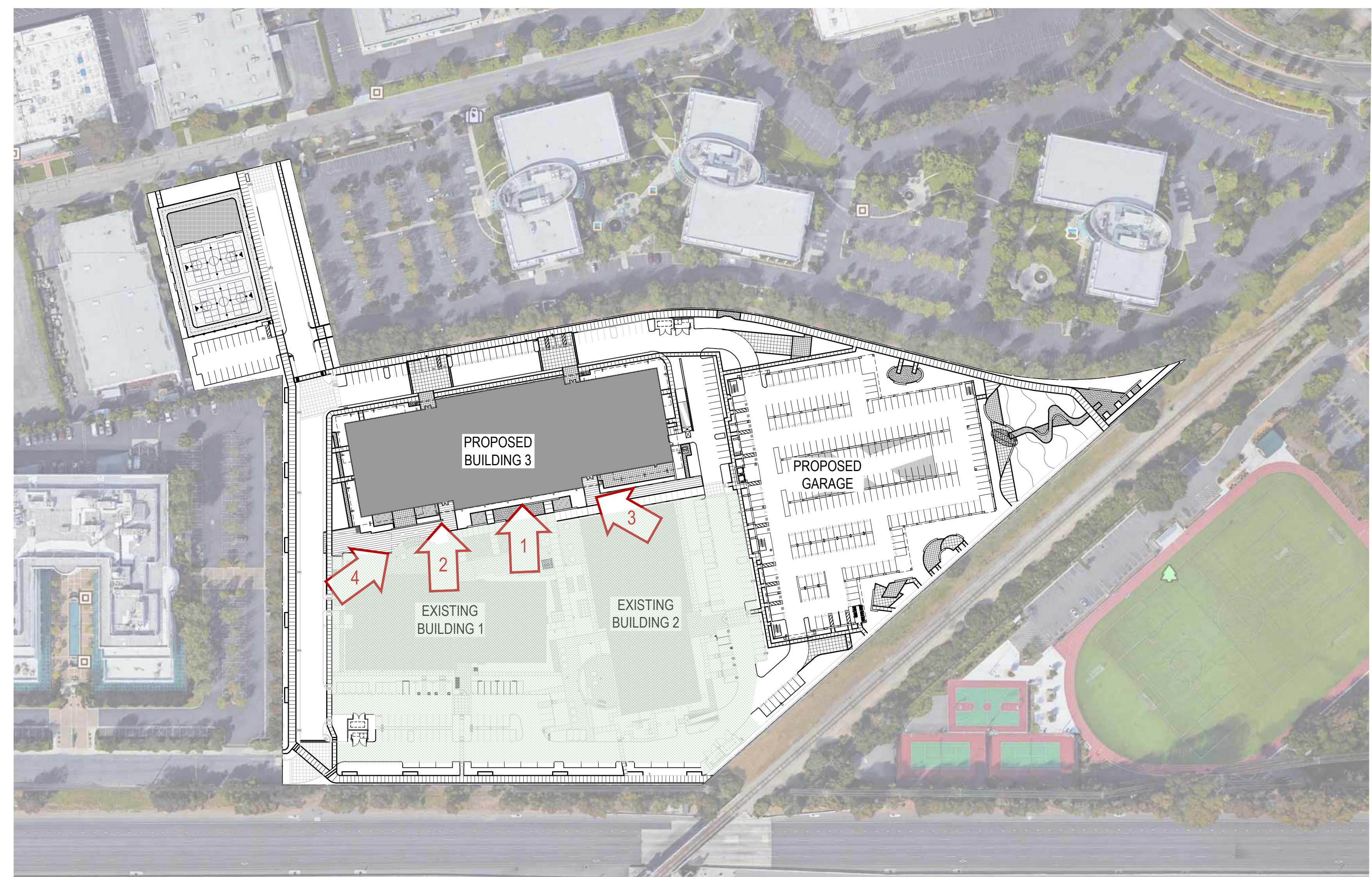
1 DETAIL VIEW OF ALUMINUM COMPOSITE METAL CANOPY AND LOUVERS ON SOUTH FACADE



2 DETAIL VIEW OF ALUMINUM COMPOSITE METAL CANOPY AND LOUVERS ON SOUTH FACADE



3 DETAIL VIEW OF ALUMINUM COMPOSITE METAL CANOPY AND LOUVERS ON SOUTH FACADE



EXISTING CAMPUS  
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SCALE: 1" = 100'-0"

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4 VIEW FROM PROJECT SITE LOOKING NORTH

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BUILDING RENDERINGS

**A0.03**

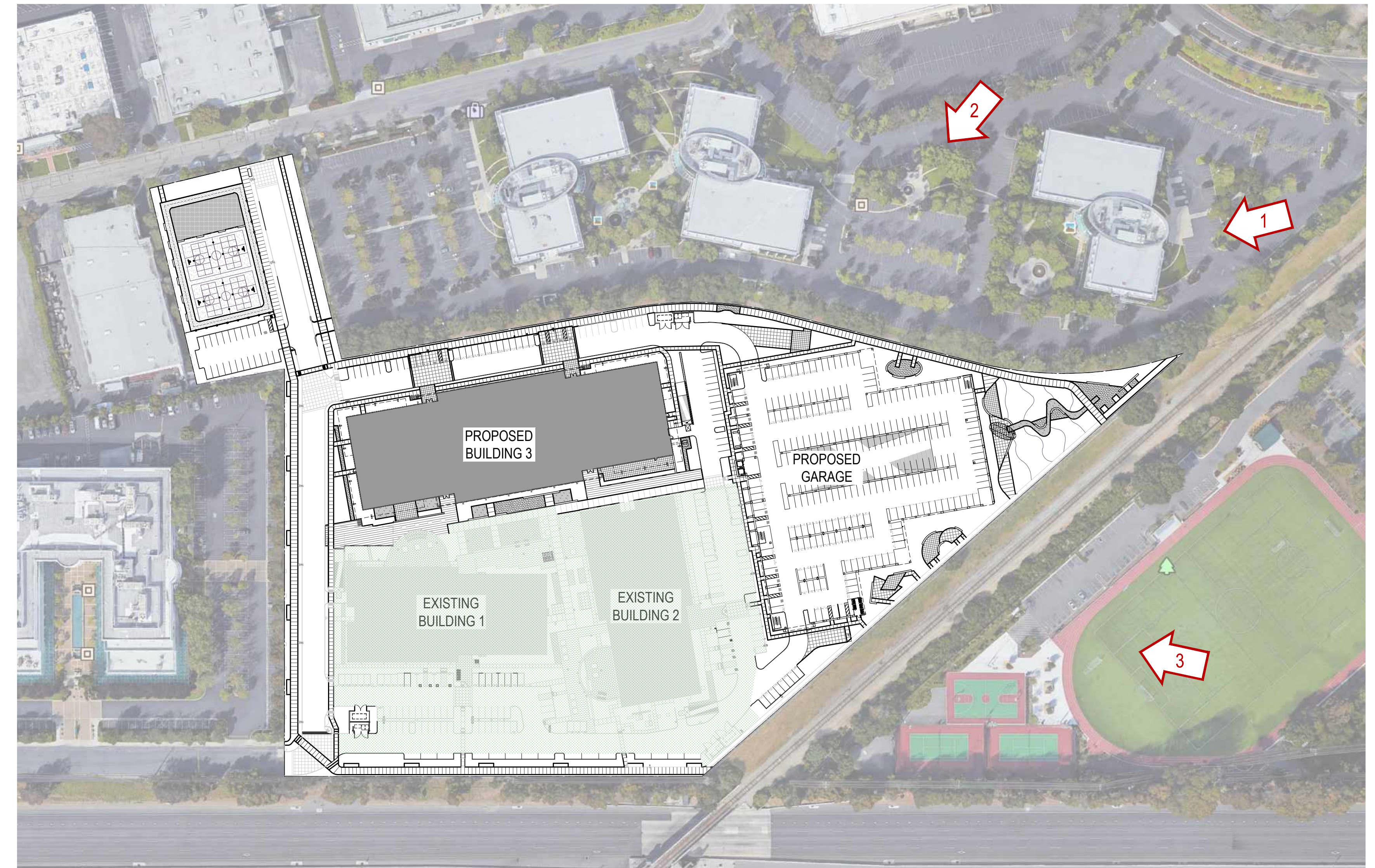
PROJECT NO: 164152.00

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1 AERIAL VIEW FROM FACEBOOK CAMPUS LOOKING WEST



EXISTING CAMPUS  
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2 AERIAL VIEW FROM NORTH OF SITE LOOKING SOUTH



3 AERIAL VIEW FROM KELLY PARK LOOKING NORTH WEST

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06.04.22	PLANNING RESUBMITTAL

GARAGE RENDERINGS

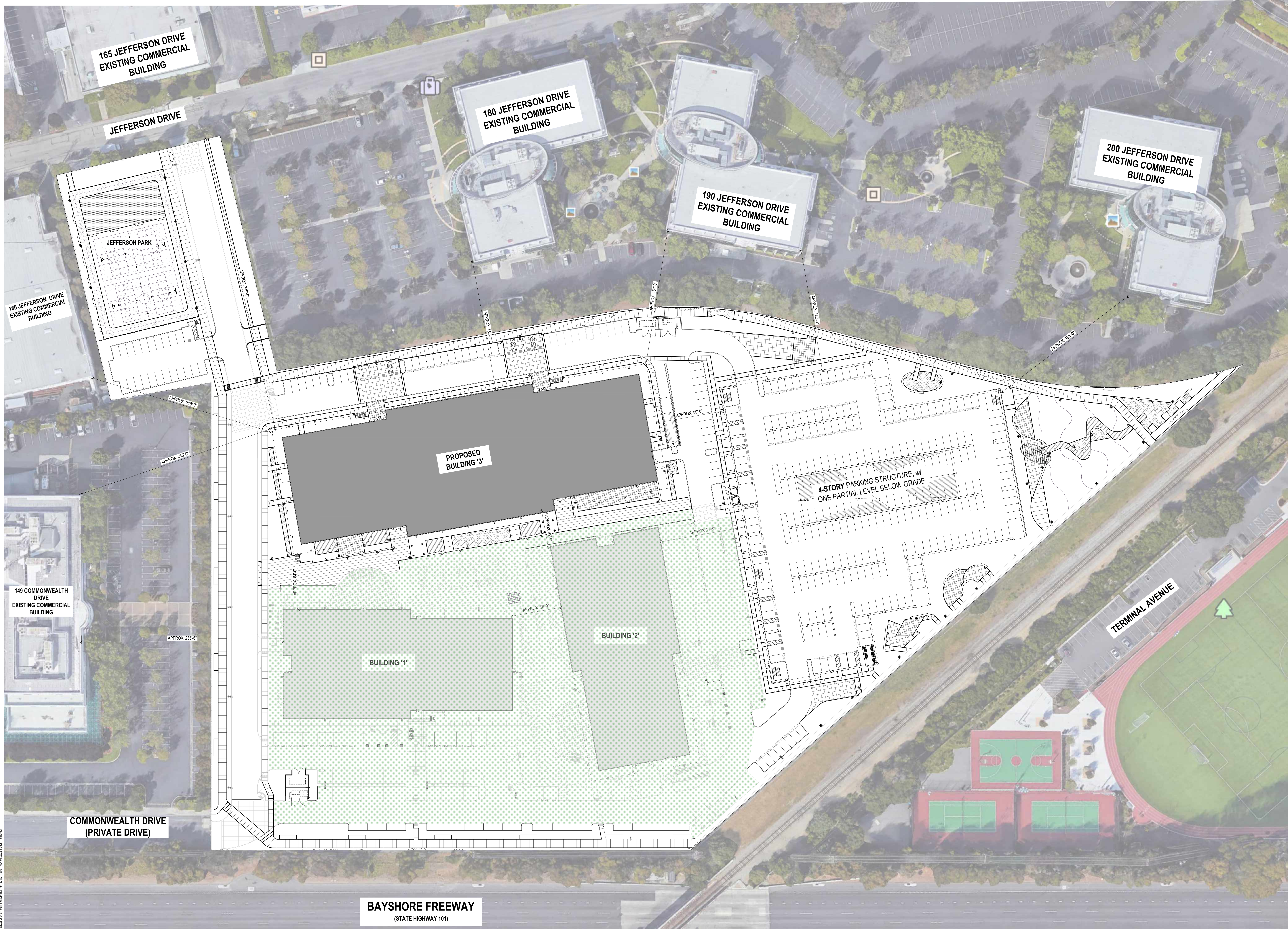
**A0.04**

PROJECT NO: 164152.00









165 JEFFERSON DRIVE EXISTING COMMERCIAL BUILDING

JEFFERSON DRIVE

180 JEFFERSON DRIVE EXISTING COMMERCIAL BUILDING

190 JEFFERSON DRIVE EXISTING COMMERCIAL BUILDING

200 JEFFERSON DRIVE EXISTING COMMERCIAL BUILDING

160 JEFFERSON DRIVE EXISTING COMMERCIAL BUILDING

JEFFERSON PARK

PROPOSED BUILDING '3'

4-STORY PARKING STRUCTURE, W/ ONE PARTIAL LEVEL BELOW GRADE

149 COMMONWEALTH DRIVE EXISTING COMMERCIAL BUILDING

BUILDING '2'

BUILDING '1'

TERMINAL AVENUE

COMMONWEALTH DRIVE (PRIVATE DRIVE)

BAYSHORE FREEWAY (STATE HIGHWAY 101)



ARC TEC ARCHITECTURAL TECHNOLOGIES

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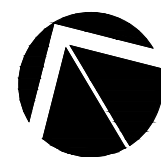
In Association with:

A Planning Application for:  
The **SOBRATO** Organization  
COMMONWEALTH BUILDING 3  
MENLO PARK, CA 94052

DATE	DESCRIPTION
10.12.17	PLANNING APPLICATION
03.06.18	PLANNING RESUBMITTAL
08.01.18	PLANNING RESUBMITTAL
10.04.18	PLANNING RESUBMITTAL
04.17.19	PLANNING RESUBMITTAL
05.23.19	PLANNING RESUBMITTAL
04.09.21	PLANNING RESUBMITTAL
07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL

0' 20' 40' 80' SCALE: 1"=40'-0"

EXISTING CAMPUS AREA PLAN



AREA PLAN

A0.11

PROJECT NO: 164152.00

PHOTO COURTESY OF COMMONWEALTH DRIVE BUILDING OWNERS



# OPEN SPACE CALCULATIONS

TOTAL SITE AREA	578,472 S.F.
REQUIRED OPEN SPACE (30% OF TOTAL SITE AREA)	173,542 S.F.
OPEN SPACE PROVIDED	
TOTAL PUBLIC OPEN SPACE PROVIDED	128,533 S.F.
TOTAL PRIVATE OPEN SPACE PROVIDED	107,333 S.F.
TOTAL OPEN SPACE PROVIDED	235,866 S.F.

REQUIRED PUBLIC OPEN SPACE (50% OF REQUIRED OPEN SPACE AREA)	86,770 S.F.
PUBLIC OPEN SPACE PROVIDED	
20'-0" PASEO	11,637 S.F.
10'-0" PASEO PATH	12,736 S.F.
4'-6" MIN. PEDESTRIAN CIRCULATION PATHS	15,220 S.F.
ADDITIONAL PUBLIC OPEN SPACE PROVIDED	86,940 S.F.
TOTAL PUBLIC OPEN SPACE PROVIDED	128,533 S.F.



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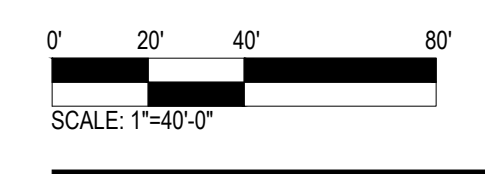
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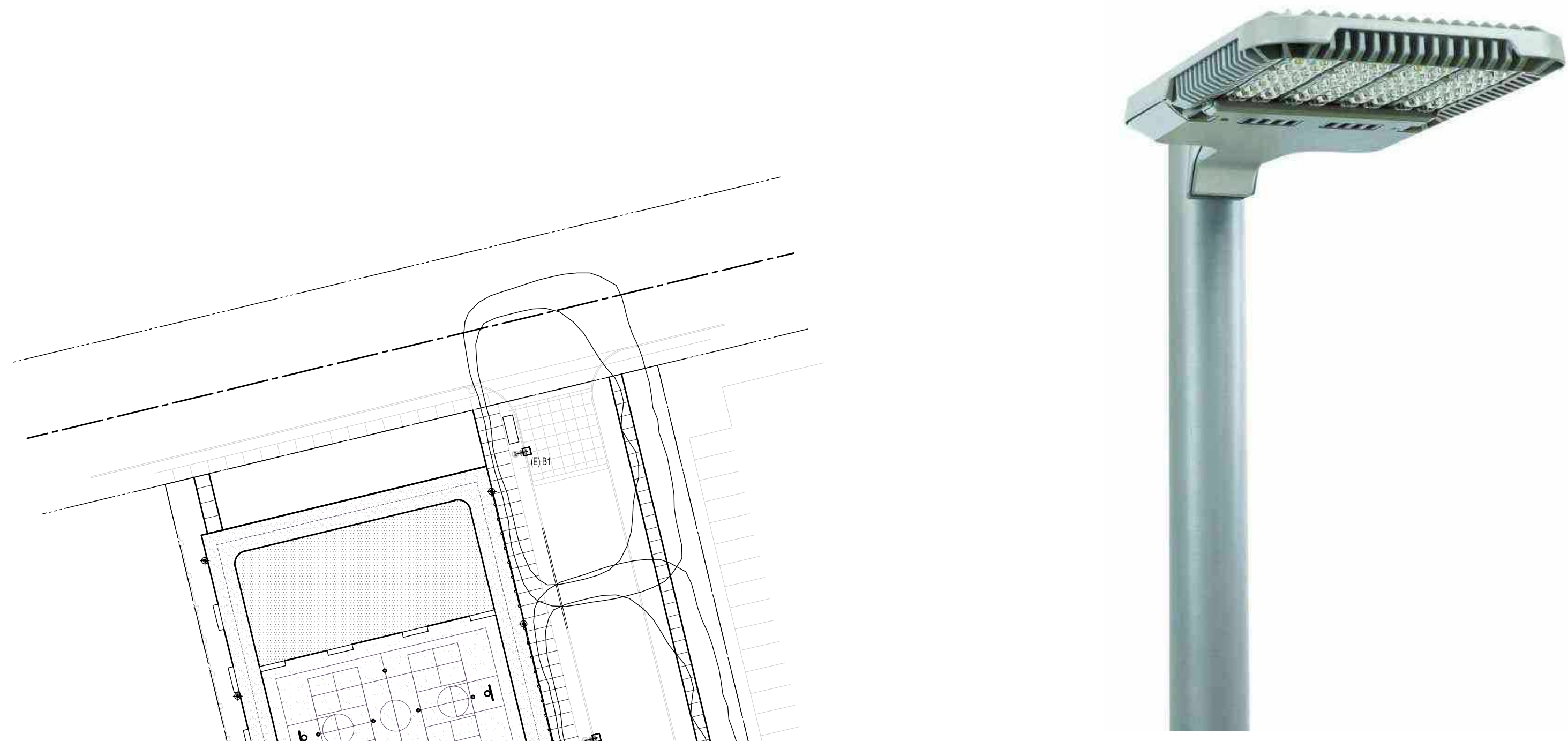
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07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL



**EXISTING CAMPUS**  
**OPEN SPACE DIAGRAM**

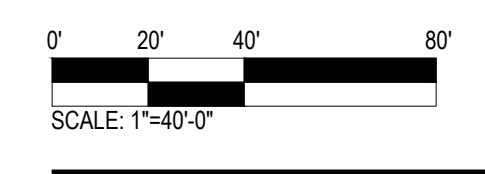
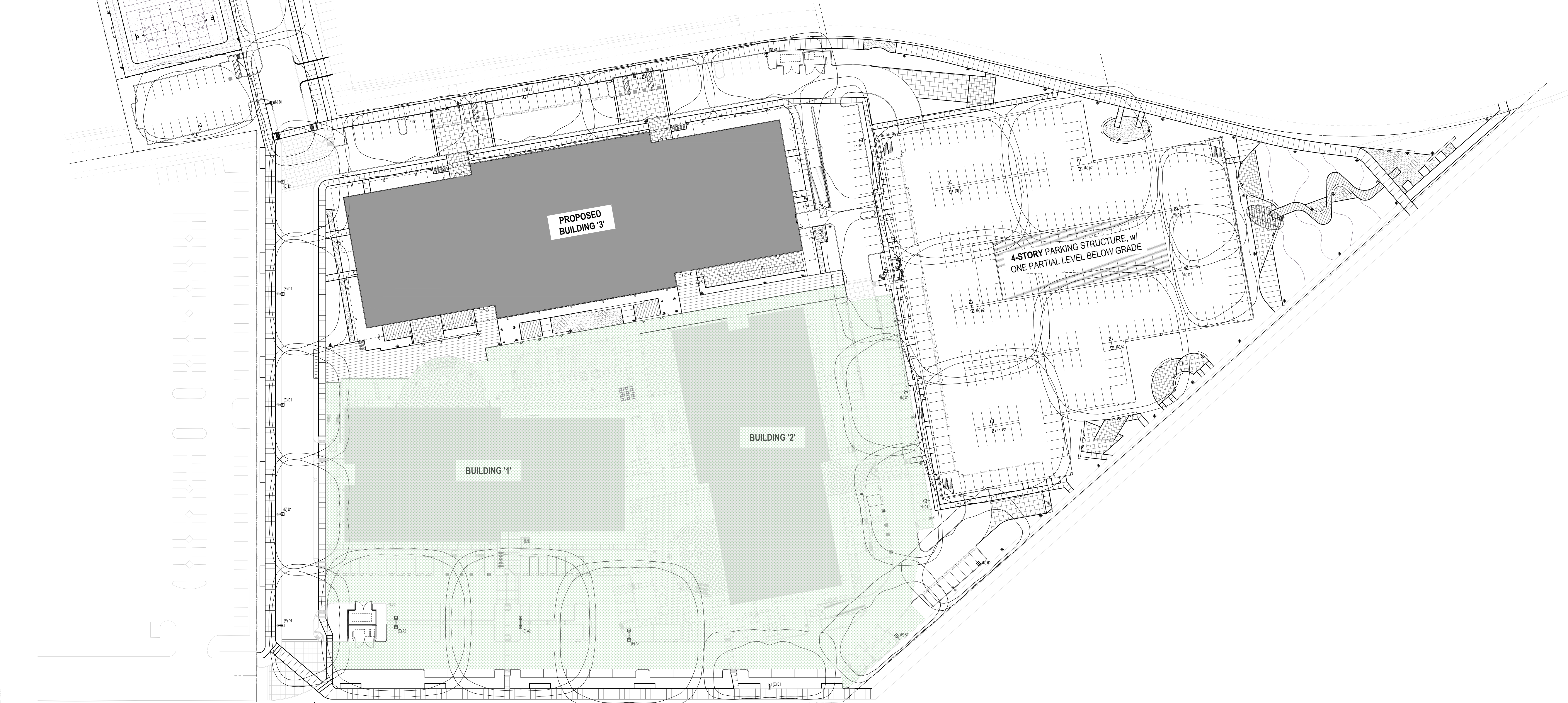
SCALE: 1" = 40'-0"





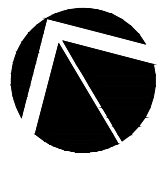
Gardco ECOFORM

Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	LLD	LOD	BF	Description	Filename
[Symbol]	(E) 3 (N) 5	A2	BACK-BACK	19880	39760	0.850	0.850	1.000	1.000	Gardco ECF-2-215LA-641A-NW-25' Overall	ECF-2-215LA-641A-NW-IES
[Symbol]	(E) 4 (N) 8	B1	SINGLE	15269	15269	0.850	0.850	1.000	1.000	Gardco ECF-1-3-215LA-641A-NW-IS-25' Overall	ECF-3-215LA-641A-NW-IS-IES
[Symbol]	(E) 5 (N) 5	D1	SINGLE	15195	15195	0.850	0.850	1.000	1.000	Gardco ECF-1-4-215LA-641A-NW-IS-25' Overall	ECF-4-215LA-641A-NW-IS-IES



**EXISTING CAMPUS  
PHOTOMETRIC PLAN**

SCALE: 1" = 40'-0"



PHOTOMETRIC PLAN

**A0.13**

PROJECT NO: 164152.00



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07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL







**KEY NOTES**

- 1 PROPERTY LINE
- 2 EXISTING DRIVEWAY ENTRANCE
- 3 EXISTING DECORATIVE PAVING, REFER TO LANDSCAPE DRAWINGS
- 4 DECORATIVE PAVING, REFER TO LANDSCAPE DRAWINGS
- 5 EXISTING ASPHALT PAVING
- 6 ASPHALT PAVING
- 7 EXISTING 6" HIGH CONCRETE CURB
- 8 6" HIGH CONCRETE CURB
- 9 DASHED LINE INDICATES ACCESSIBLE PATH OF TRAVEL
- 10 LANDSCAPED AREA, REFER TO LANDSCAPE DRAWINGS
- 11 PEDESTRIAN WALKWAY, REFER TO LANDSCAPE DRAWINGS
- 12 EXISTING DEPRESSED TRUCK DOCK
- 13 DEPRESSED TRUCK DOCK
- 14 COVERED TRASH ENCLOSURE
- 15 EXISTING COVERED TRASH ENCLOSURE
- 16 EXISTING SIDEWALK
- 17 EXISTING ELECTRICAL TRANSFORMER ON CONCRETE PAD
- 18 ELECTRICAL TRANSFORMER ON CONCRETE PAD

- 19 EXISTING SITE LIGHTING, SEE A0.13
- 20 TYPICAL PARKING STRIPING, SEE DETAIL B/A1.11
- 21 EXISTING CURB RAMP W/ TRUNCATED-DOME DETECTABLE WARNING SURFACE OVER BOTTOM 36" OF RAMP SURFACE
- 22 CURB RAMP W/ TRUNCATED-DOME DETECTABLE WARNING SURFACE OVER BOTTOM 36" OF RAMP SURFACE
- 23 EXISTING FENCE
- 24 BICYCLE STORAGE ENCLOSURE, SEE AG2.11
- 25 BIKE RACKS, REFER TO LANDSCAPE DRAWINGS
- 26 EXISTING RAIL ROAD EASEMENT, REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
- 27 NOT USED
- 28 NOT USED
- 29 NOT USED
- 30 NOT USED
- 31 PASEO- SEE LANDSCAPE DRAWINGS
- 32 FUTURE CONNECTION TO CITY BIKE/ PEDESTRIAN PATH
- 33 NOT USED
- 34 NOT USED
- 35 JEFFERSON PARK: OPEN SPACE TO HAVE SCHEDULE OF RESERVED TIMES FOR HIGH SCHOOL USE DURING SCHOOL HOURS. AT ALL TIMES OUTSIDE OF SCHOOL HOURS AND POSTED SCHOOL SCHEDULE PARK TO BE OPEN TO PUBLIC USE. APPROPRIATE SIGNAGE TO BE DEVELOPED DURING DESIGN DEVELOPMENT PROCESS.
- 36 PARKING SPACES RESERVED FOR HIGH SCHOOL PARKING ONLY DURING SCHOOL HOURS AND OPEN TO THE PUBLIC OUTSIDE OF SCHOOL HOURS (NOT INCLUDED IN PARKING RATIO FOR THE OFFICE), APPROPRIATE SIGNAGE TO BE DEVELOPED DURING DESIGN DEVELOPMENT PROCESS

**PROJECT DATA**

ASSESSOR'S PARCEL NO.: APN 055-243-240  
 TOTAL SITE AREA: 578,472 S.F. / 13.28 ACRES

EXISTING BUILDING 1: 129,960 S.F.  
 EXISTING BUILDING 2: 129,960 S.F.  
 PROPOSED BUILDING 3: 249,500 S.F.  
 TOTAL BUILDING AREA: 509,420 S.F.

FLOOR AREA RATIO (F.A.R.): 88.0%

TOTAL PARKING STRUCTURE AREA: 404,464 S.F.

NUMBER OF STORIES -  
 EXISTING BUILDINGS 1 & 2: 4  
 PROPOSED BUILDING 3: 4  
 PARKING STRUCTURE: 4

CONSTRUCTION TYPE -  
 EXISTING BUILDINGS 1 & 2: I-B  
 PROPOSED BUILDING 3: I-B  
 PARKING STRUCTURE: I-B

**BIKE PARKING**

SHORT TERM EXISTING TO REMAIN DURING CONSTRUCTION): 26  
 PROPOSED: 22  
 TOTAL: 48

CLASS 1 EXISTING (IN 102 JEFFERSON): 24  
 PROPOSED ON SITE: 15  
 PROPOSED IN GARAGE: 45  
 TOTAL: 84

**GENERAL NOTES**

- A. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS AND SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE, WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES MUST BE ACCESSIBLE. EXCEPTION: AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN SITE ARRIVAL POINTS AND THE BUILDING OR FACILITY ENTRANCE IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESS.
- B. DIMENSIONS ARE TO THE FACE OF BUILDING, CURBS OR SPACES UNLESS NOTED OTHERWISE

**PARKING DATA**

TOTAL PARKING REQUIRED PER MENLO PARK ZONING ORDINANCE 16.72.050

GRASS FLOOR AREA - THE SUM OF THE HORIZONTAL AREA OF ALL FLOORS, WITHIN THE SURROUNDING SOLID WALLS OF A BUILDING COVERED BY A ROOF MEASURED TO THE OUTSIDE SURFACES OF THE EXTERIOR WALL OR PORTIONS THEREOF SUBJECT TO THE CLARIFICATIONS IN SUBSECTIONS (B), (C) AND (D) 16.04.325

MAXIMUM ALLOWABLE PARKING (3.0 / 1,000) 749 SPACES  
 \*PARKING RATIO OF 3.0 PER ZONING APPLIES TO NEW BUILDING (BUILDING 3- 249,500 SQ. FT.) ONLY.

EXISTING PARKING (BUILDINGS 1 & 2) 866 SPACES

**PARKING PROVIDED:**

PROPOSED PROJECT	EXISTING CAMPUS	EXISTING CAMPUS + PROPOSED PROJECT
ON GRADE SITE PARKING SPACES*	(675)	866
PARKING STRUCTURE SPACES	1,340	1,340
TOTAL PARKING SPACES PROVIDED	660	866

\*Negative stall count under Proposed Project Parking is caused by the replacement of on grade parking with a parking structure

PROPOSED PROJECT DESIGNATED VEHICLE PARKING REQUIRED:

	PROPOSED PROJECT	EXISTING CAMPUS + PROPOSED PROJECT
CLEAN AIR / VANPOOL / EV SPACES (8% OF NEW PARKING)	54	67
EV CHARGING STATION SPACES (1.5% OF NEW PARKING)	100	100
EV CAPABLE SPACES (10% OF NEW PARKING)	67	67
TOTAL PROPOSED PROJECT DESIGNATED VEHICLE PARKING REQUIRED	221	221

PROPOSED PROJECT EV CHARGING AND CAPABLE PARKING PROVIDED BREAKDOWN:

CHARGING STATIONS	CAPABLE STATIONS
NEW VAN ACCESSIBLE EV SPACES	2
NEW ACCESSIBLE EV SPACES	2
NEW EV SPACES	92
NEW AMBULATORY EV SPACES	4
TOTAL PROPOSED PROJECT EV SPACES	100

REQUIRED NUMBER OF ACCESSIBLE PARKING SPILLS (CBC TABLE 11B-208.2)

TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT
1,001 AND OVER	26**	YES

\*\*Twenty, plus one for each 100, or fraction thereof, over 1,000

ADDITIONAL PARKING PROVIDED (NOT INCLUDED IN PARKING RATIO FOR THE OFFICE) - RESERVED FOR HIGH SCHOOL DURING SCHOOL HOURS AND OPEN TO THE PUBLIC OUTSIDE OF SCHOOL HOURS:

	STANDARD PARKING PROVIDED	YAN ACCESSIBLE PARKING PROVIDED	TOTAL PARKING PROVIDED
ON GRADE SITE PARKING	22 SPACES	1 SPACE	23 SPACES

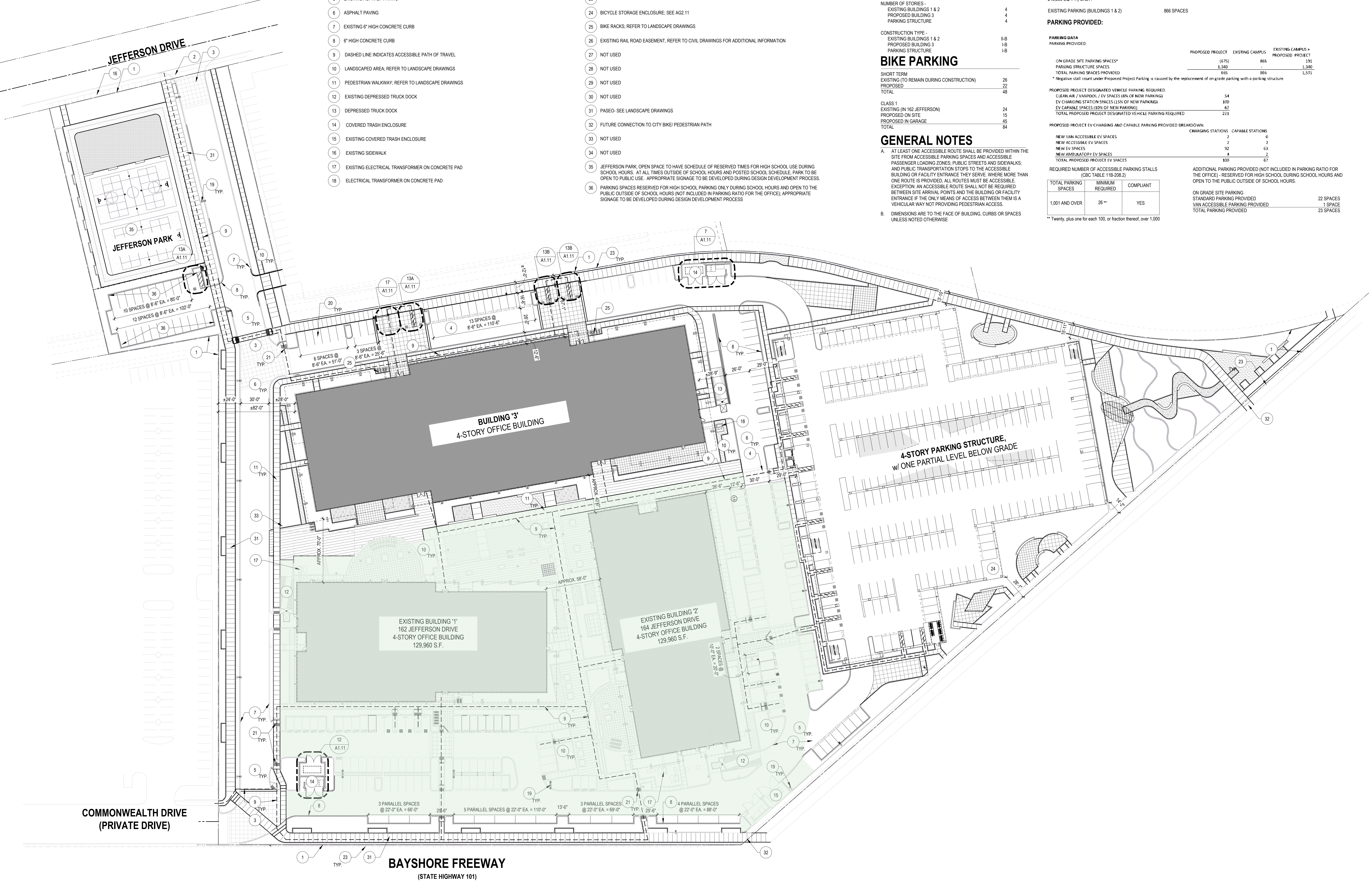
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**COMMONWEALTH: BUILDING 3**  
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 04.09.21 PLANNING RESUBMITTAL  
 07.12.21 PLANNING RESUBMITTAL  
 05.04.22 PLANNING RESUBMITTAL

PROPOSED SITE PLAN

**EXISTING CAMPUS**

**SITE PLAN**

SCALE: 1"=40'-0"

**A1.00**

PROJECT NO.: 164152.00



**PROJECT DATA - EXISTING**

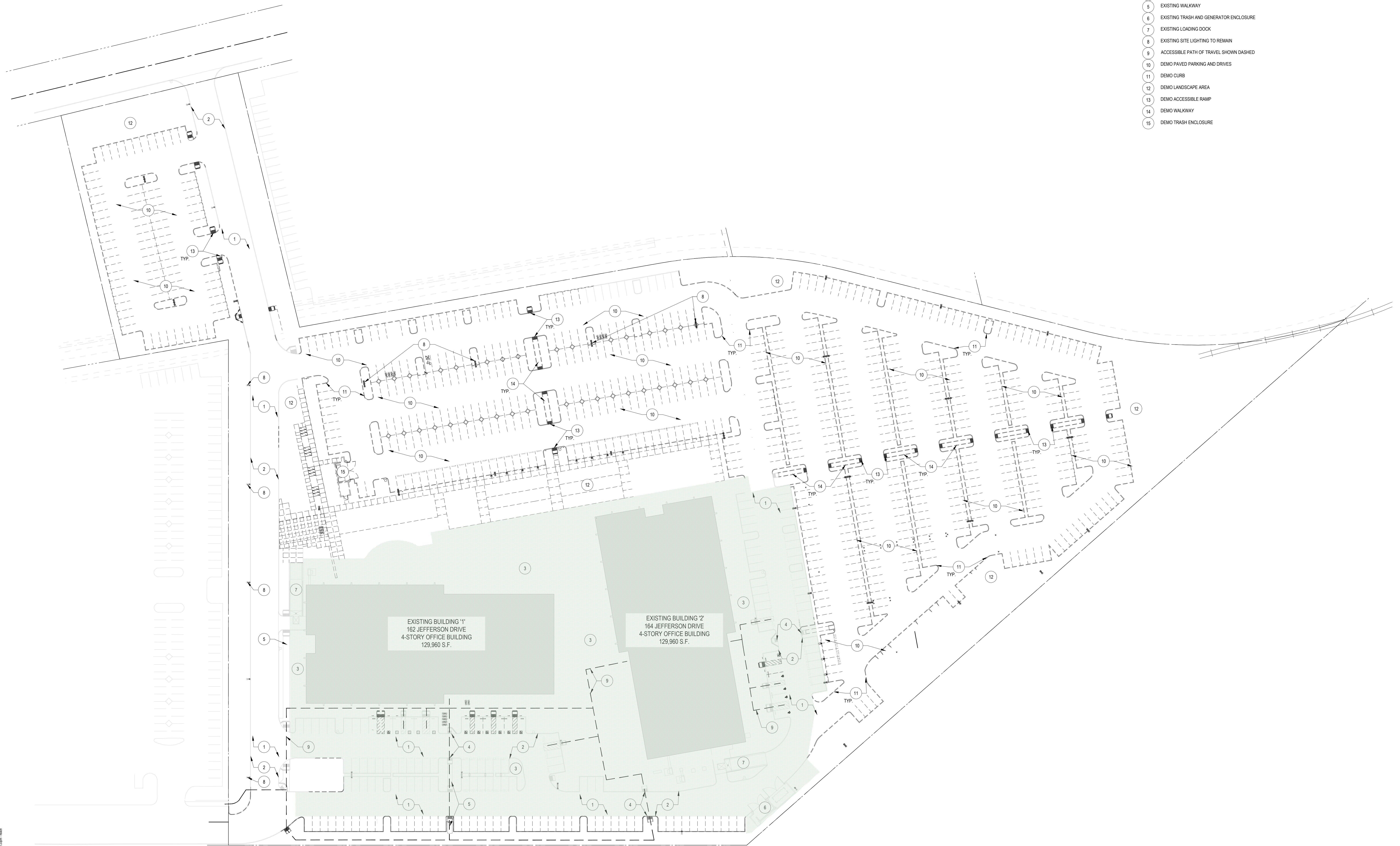
ASSESSOR'S PARCEL NO.: APN 055-343-340  
 TOTAL SITE AREA: 578,472 S.F. / 13.28 ACRES  
 EXISTING BUILDING 1: 129,960 S.F.  
 EXISTING BUILDING 2: 129,960 S.F.  
 TOTAL BUILDING AREA: 259,920 S.F.

**PARKING DATA - EXISTING**

PARKING PROVIDED: 848 SPACES  
 (E) STANDARD PARKING PROVIDED: 16 SPACES  
 (E) ACCESSIBLE PARKING PROVIDED: 2 SPACES  
 (E) VAN ACCESSIBLE PARKING PROVIDED: 2 SPACES  
 TOTAL (E) PARKING PROVIDED: 866 SPACES

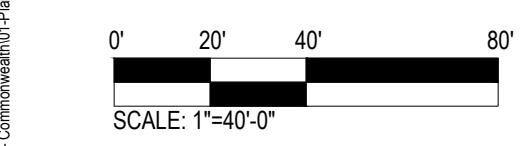
**KEYNOTES**

- 1 EXISTING PAVED PARKING AND DRIVES
- 2 EXISTING CURB
- 3 EXISTING LANDSCAPE AREA
- 4 EXISTING ACCESSIBLE RAMP (MAXIMUM SLOPE 1:12)
- 5 EXISTING WALKWAY
- 6 EXISTING TRASH AND GENERATOR ENCLOSURE
- 7 EXISTING LOADING DOCK
- 8 EXISTING SITE LIGHTING TO REMAIN
- 9 ACCESSIBLE PATH OF TRAVEL SHOWN DASHED
- 10 DEMO PAVED PARKING AND DRIVES
- 11 DEMO CURB
- 12 DEMO LANDSCAPE AREA
- 13 DEMO ACCESSIBLE RAMP
- 14 DEMO WALKWAY
- 15 DEMO TRASH ENCLOSURE

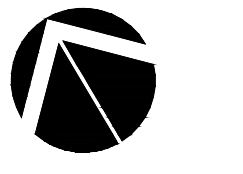


EXISTING BUILDING 1  
 162 JEFFERSON DRIVE  
 4-STORY OFFICE BUILDING  
 129,960 S.F.

EXISTING BUILDING 2  
 164 JEFFERSON DRIVE  
 4-STORY OFFICE BUILDING  
 129,960 S.F.



EXISTING CAMPUS  
 CONSTRUCTION PHASING  
**SITE PLAN - EXISTING SITE PLAN**  
 SCALE: 1"=40'-0"



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05.04.22	PLANNING RESUBMITTAL

SITE PLAN - CONSTRUCTION PHASING

**A1.01**

PROJECT NO: 164152.00



**SHEET LEGEND**

- VALET PARKING STACKED
- VALET PARKING PARALLEL

**PROJECT DATA - EXISTING**

ASSESSOR'S PARCEL NO.: APN 055-343-240  
 TOTAL SITE AREA: 578,472 S.F. / 13.28 ACRES  
 EXISTING BUILDING 1: 129,960 S.F.  
 EXISTING BUILDING 2: 129,960 S.F.  
 TOTAL BUILDING AREA: 259,920 S.F.

**PARKING DATA - CONSTRUCTION**

PARKING PROVIDED  
 (E) STANDARD PARKING PROVIDED: 206 SPACES  
 (E) ACCESSIBLE PARKING PROVIDED: 16 SPACES  
 (E) VAN ACCESSIBLE PARKING PROVIDED: 2 SPACES  
 VALET PARKING PROVIDED: 642 SPACES  
 TOTAL PARKING PROVIDED (3.0 / 1,000): 866 SPACES

AUTOMOBILE PARKING STALL DIMENSIONS (MENLO PARK PARKING STANDARDS)

STALL TYPE	WIDTH	DEPTH	COMPLIANT
STANDARD	8'-6"	16'-0"	YES
VALET PERPENDICULAR	8'-6"	18'-0"	YES
VALET PARALLEL	7'-0"	20'-0"	YES

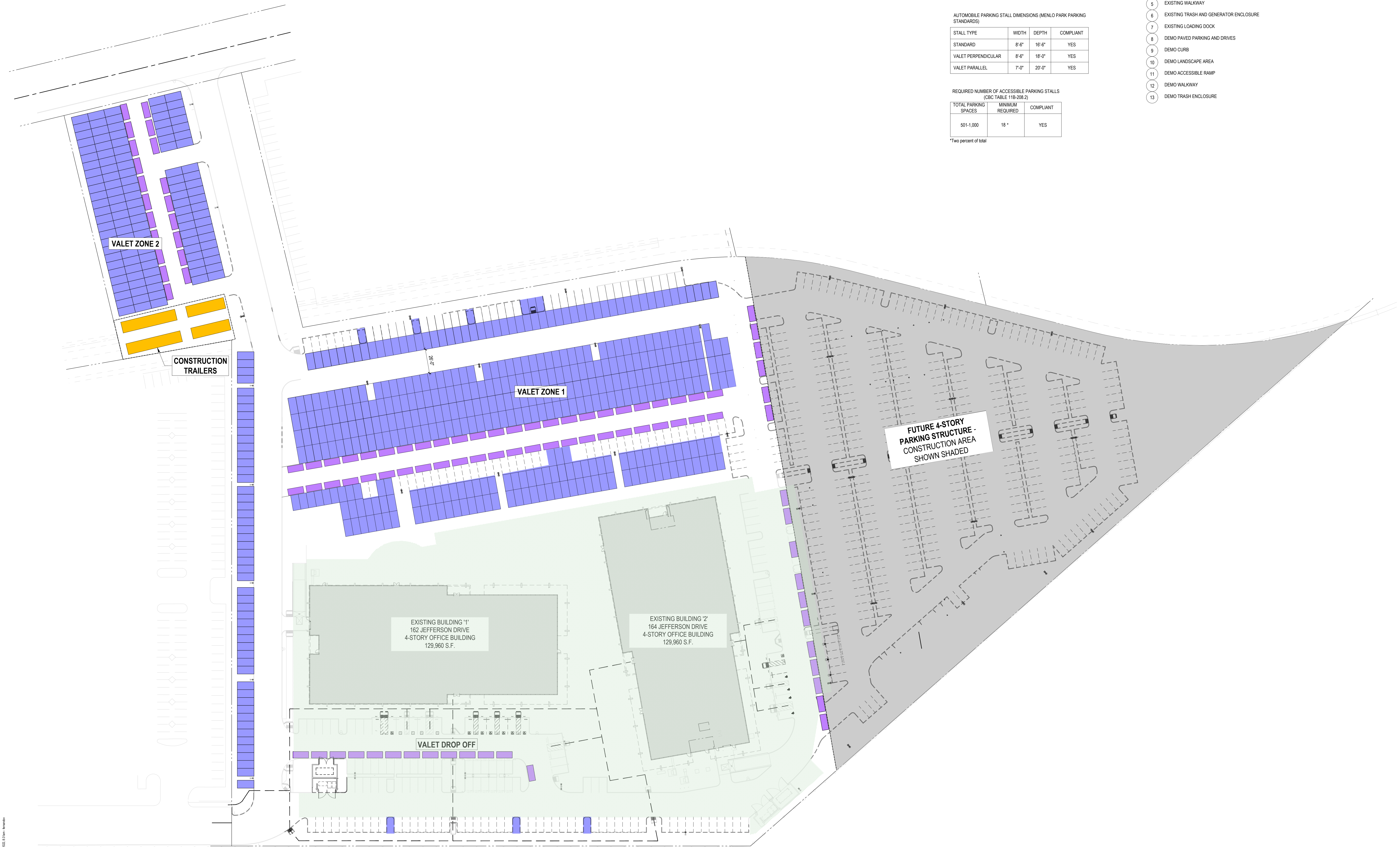
REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS (CBC TABLE 11B-208.2)

TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT
501-1,000	18 *	YES

\*Two percent of total

**KEYNOTES**

- 1 EXISTING PAVED PARKING AND DRIVES
- 2 EXISTING CURB
- 3 EXISTING LANDSCAPE AREA
- 4 EXISTING ACCESSIBLE RAMP (MAXIMUM SLOPE 1:12)
- 5 EXISTING WALKWAY
- 6 EXISTING TRASH AND GENERATOR ENCLOSURE
- 7 EXISTING LOADING DOCK
- 8 DEMO PAVED PARKING AND DRIVES
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- 10 DEMO LANDSCAPE AREA
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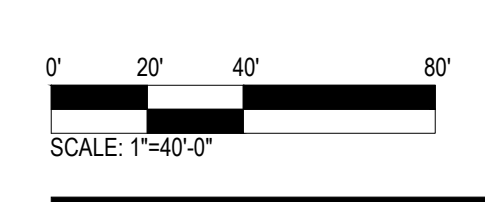
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A Planning Application for:  
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 COMMONWEALTH BUILDING 3  
 MENLO PARK, CA 94052

DATE	DESCRIPTION
10.12.17	PLANNING APPLICATION
03.06.18	PLANNING RESUBMITTAL
08.01.18	PLANNING RESUBMITTAL
10.04.18	PLANNING RESUBMITTAL
04.17.19	PLANNING RESUBMITTAL
05.23.19	PLANNING RESUBMITTAL
04.09.21	PLANNING RESUBMITTAL
07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL



**EXISTING CAMPUS**  
**SITE PLAN - CONSTRUCTION PHASE I**  
 SCALE: 1"=40'-0"

SITE PLAN - CONSTRUCTION PHASING

**A1.02**

PROJECT NO: 164152.00



**PROJECT DATA - EXISTING**

ASSESSOR'S PARCEL NO.: APN 055-343-340  
 TOTAL SITE AREA: 578,472 S.F. / 13.28 ACRES  
 EXISTING BUILDING 1: 129,960 S.F.  
 EXISTING BUILDING 2: 129,960 S.F.  
 TOTAL BUILDING AREA: 259,920 S.F.

**PARKING DATA - CONSTRUCTION**

PARKING PROVIDED  
 ON GRADE SITE PARKING  
 STANDARD PARKING PROVIDED: 177 SPACES  
 ACCESSIBLE PARKING PROVIDED: 11 SPACES  
 VAN ACCESSIBLE PARKING PROVIDED: 3 SPACES  
 PARKING STRUCTURE  
 STANDARD PARKING PROVIDED: 1,328 SPACES  
 ACCESSIBLE PARKING PROVIDED: 10 SPACES  
 VAN ACCESSIBLE PARKING PROVIDED: 2 SPACES  
 TOTAL PARKING PROVIDED: (3.0 / 1,000): 1,531 SPACES

AUTOMOBILE PARKING STALL DIMENSIONS (MENLO PARK PARKING STANDARDS)

STALL TYPE	WIDTH	DEPTH	COMPLIANT
STANDARD	8'-6"	16'-6"	YES

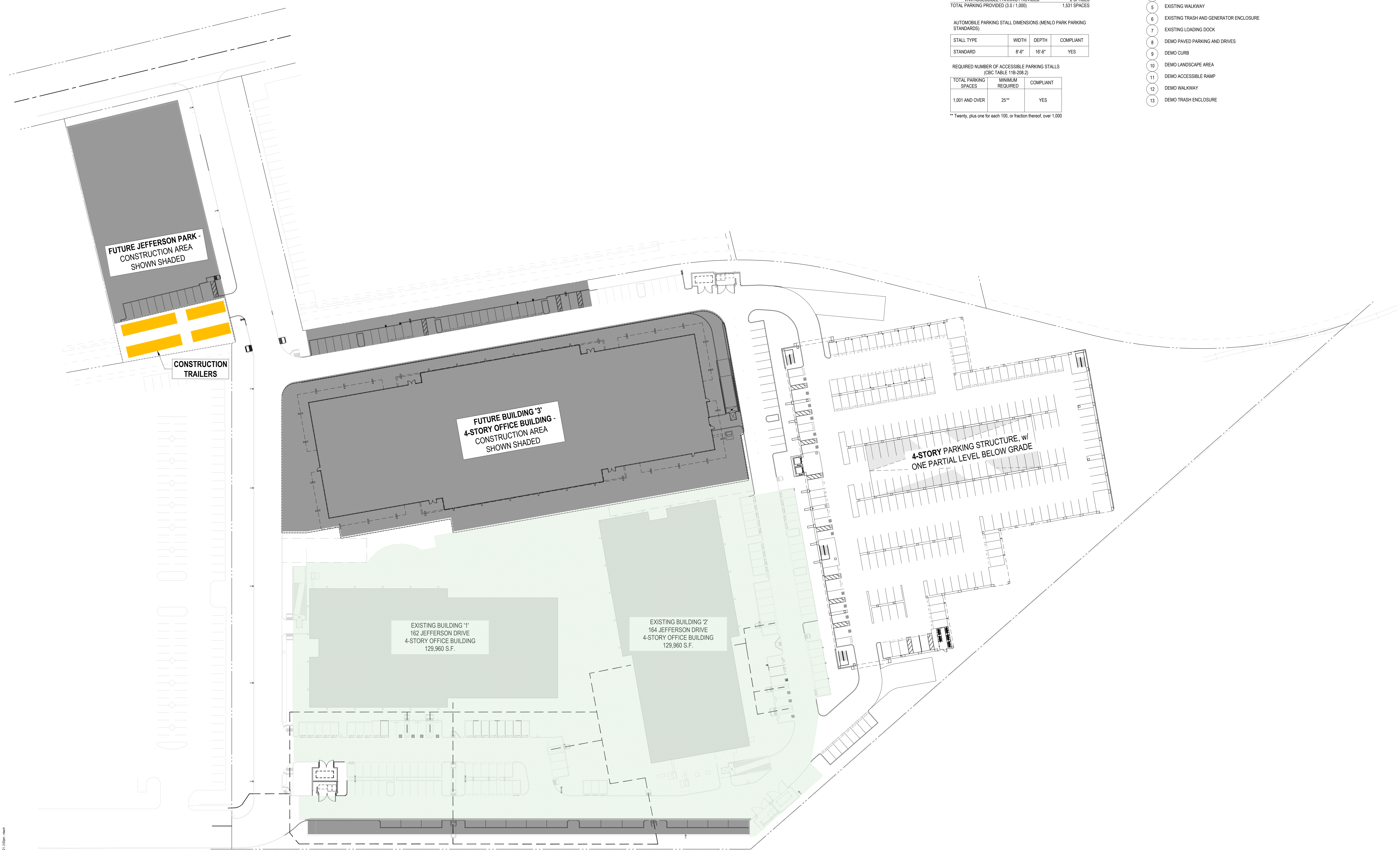
REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS (CBC TABLE 119-205.2)

TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT
1,001 AND OVER	25**	YES

\*\*Twenty, plus one for each 100, or fraction thereof, over 1,000

**KEYNOTES**

- 1 EXISTING PAVED PARKING AND DRIVES
- 2 EXISTING CURB
- 3 EXISTING LANDSCAPE AREA
- 4 EXISTING ACCESSIBLE RAMP (MAXIMUM SLOPE 1:12)
- 5 EXISTING WALKWAY
- 6 EXISTING TRASH AND GENERATOR ENCLOSURE
- 7 EXISTING LOADING DOCK
- 8 DEMO PAVED PARKING AND DRIVES
- 9 DEMO CURB
- 10 DEMO LANDSCAPE AREA
- 11 DEMO ACCESSIBLE RAMP
- 12 DEMO WALKWAY
- 13 DEMO TRASH ENCLOSURE



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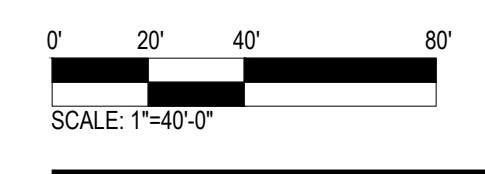
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05.04.22	PLANNING RESUBMITTAL



**EXISTING CAMPUS**  
**SITE PLAN - CONSTRUCTION PHASE II**  
 SCALE: 1" = 40'-0"

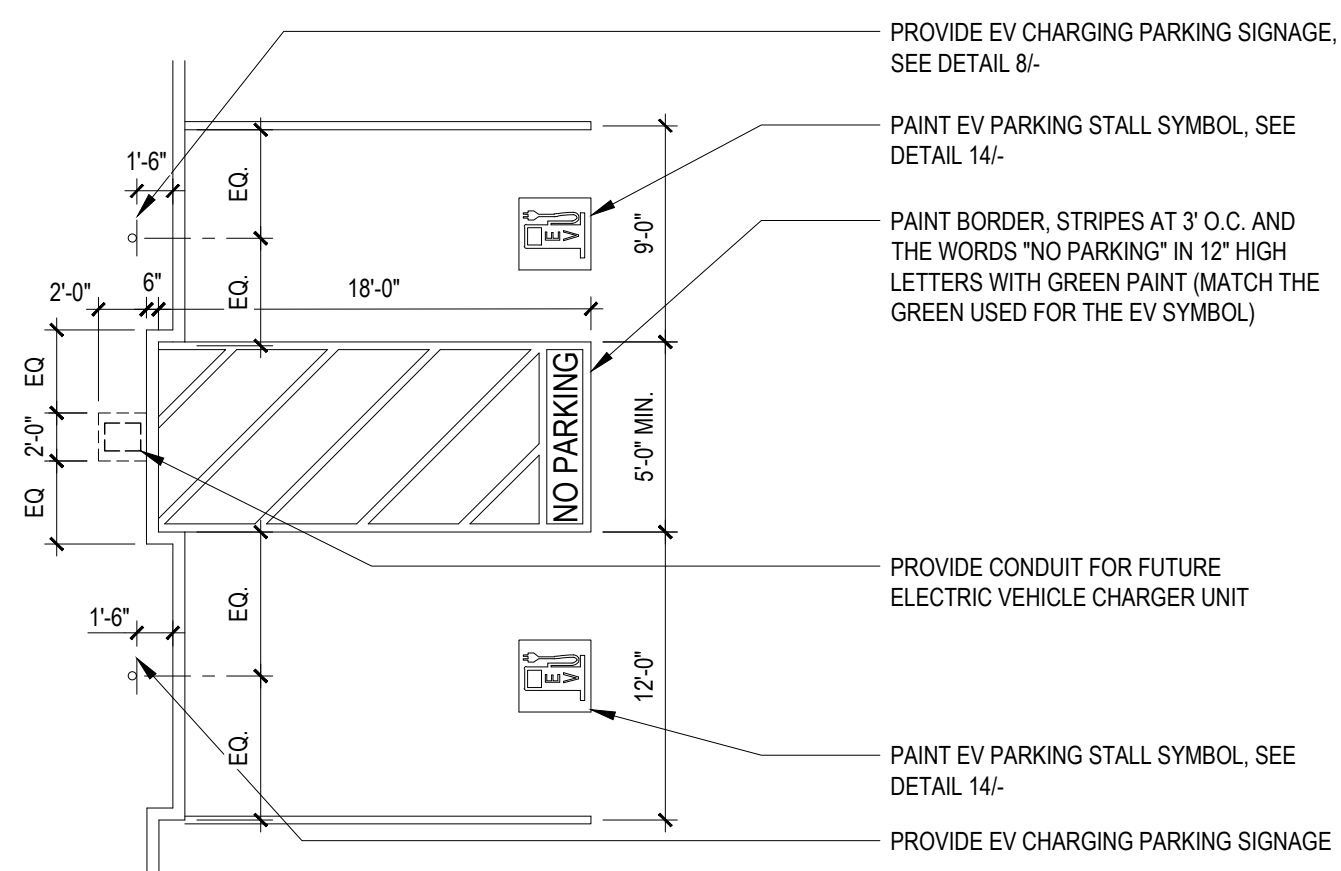
SITE PLAN -  
 CONSTRUCTION PHASING

**A1.03**

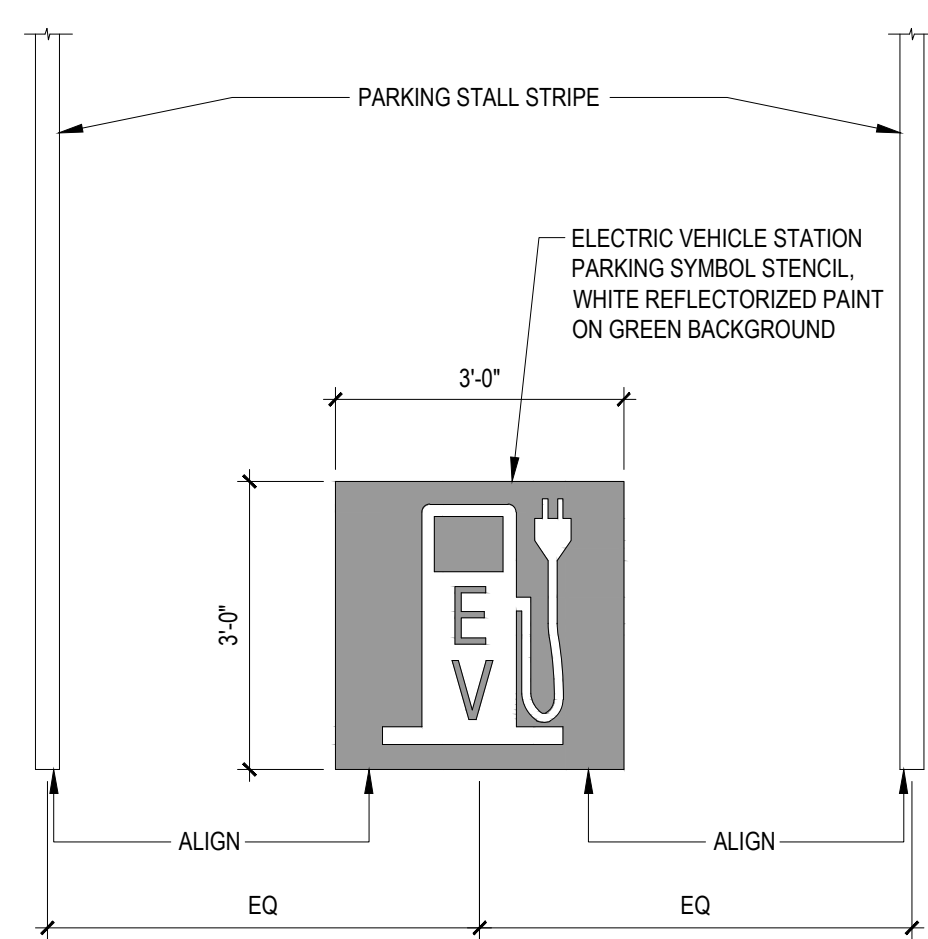
PROJECT NO: 164152.00

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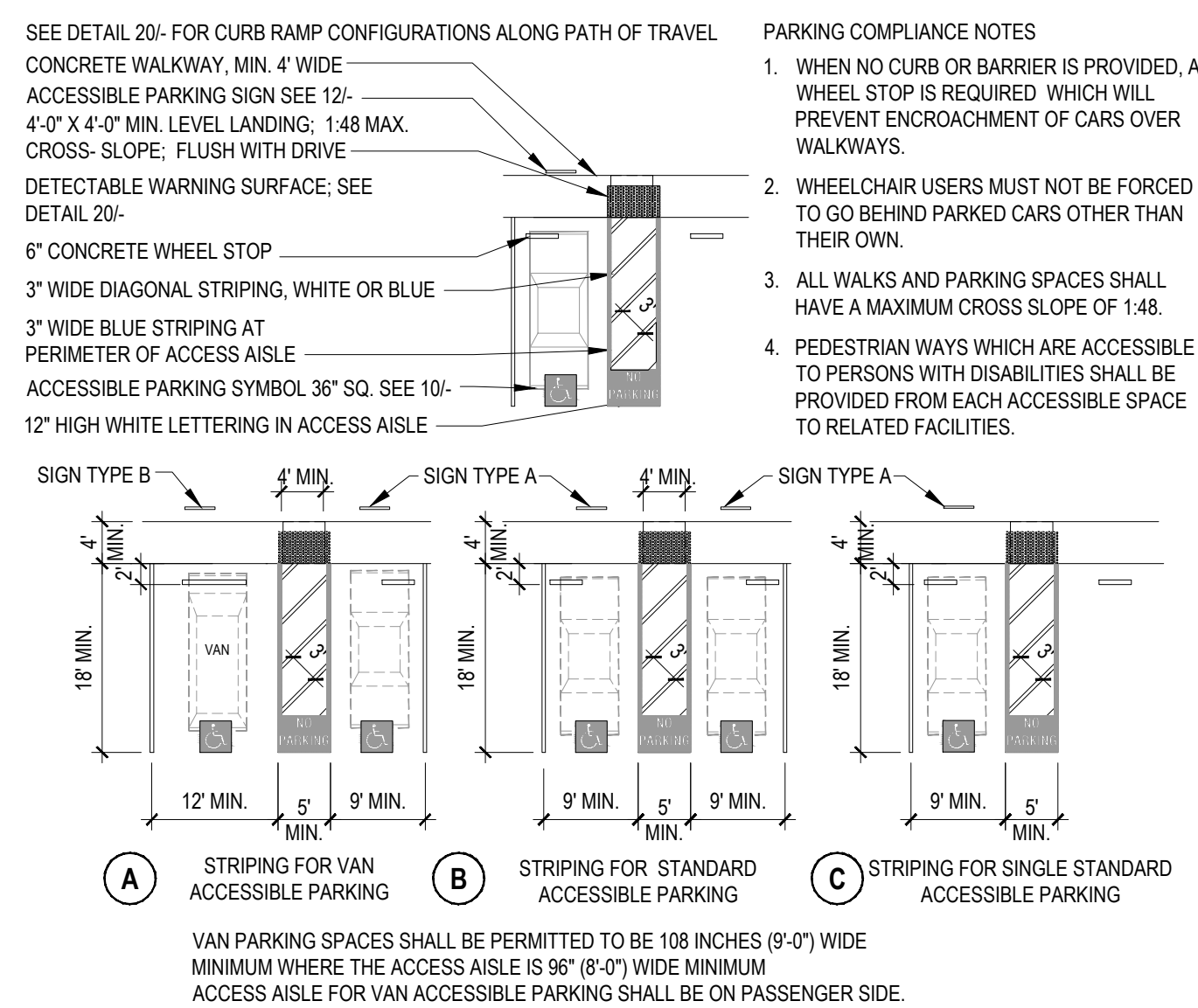




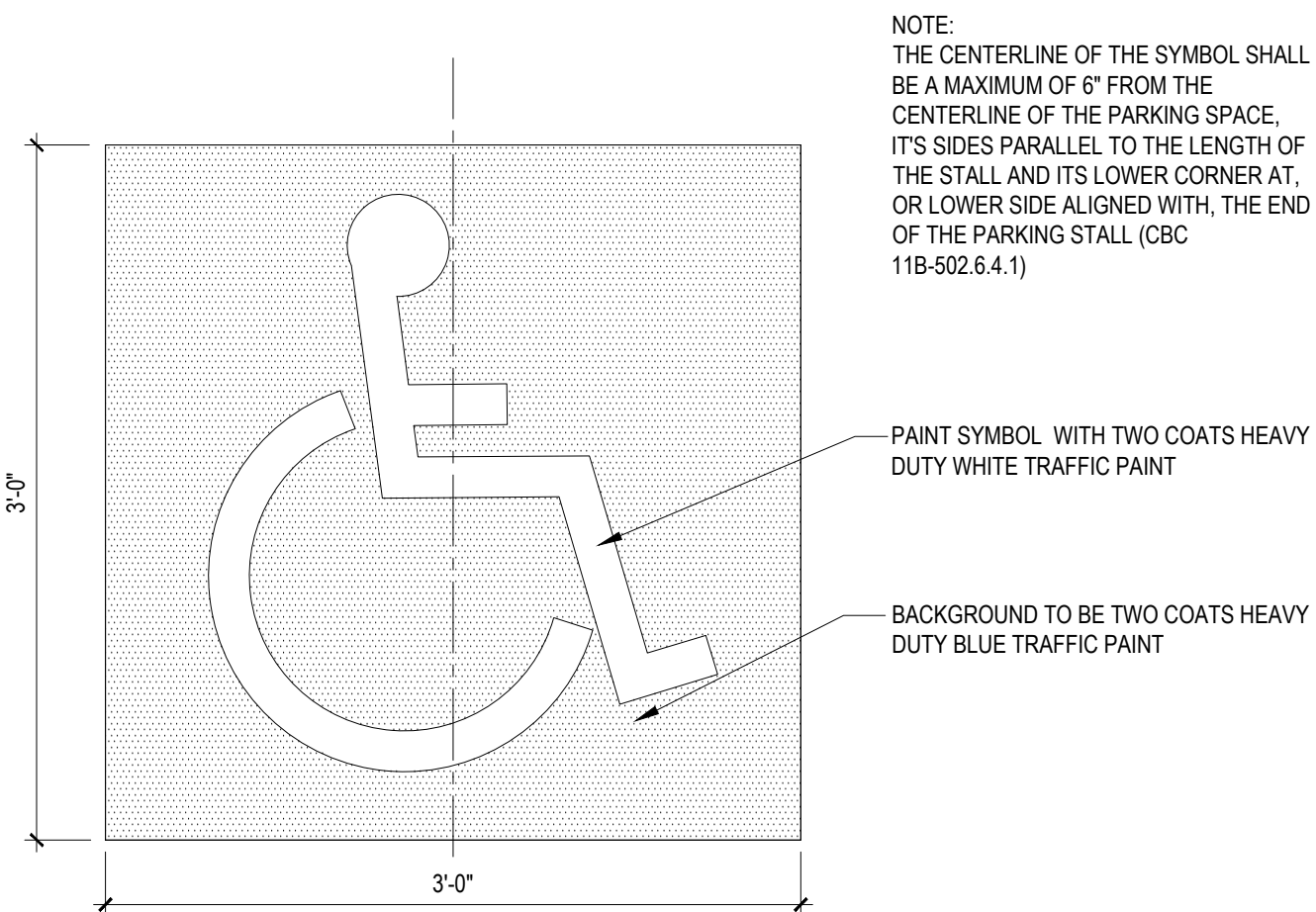
**17 ACCESSIBLE EV PARKING STALLS PLAN**  
SCALE: 1/8" = 1'-0"



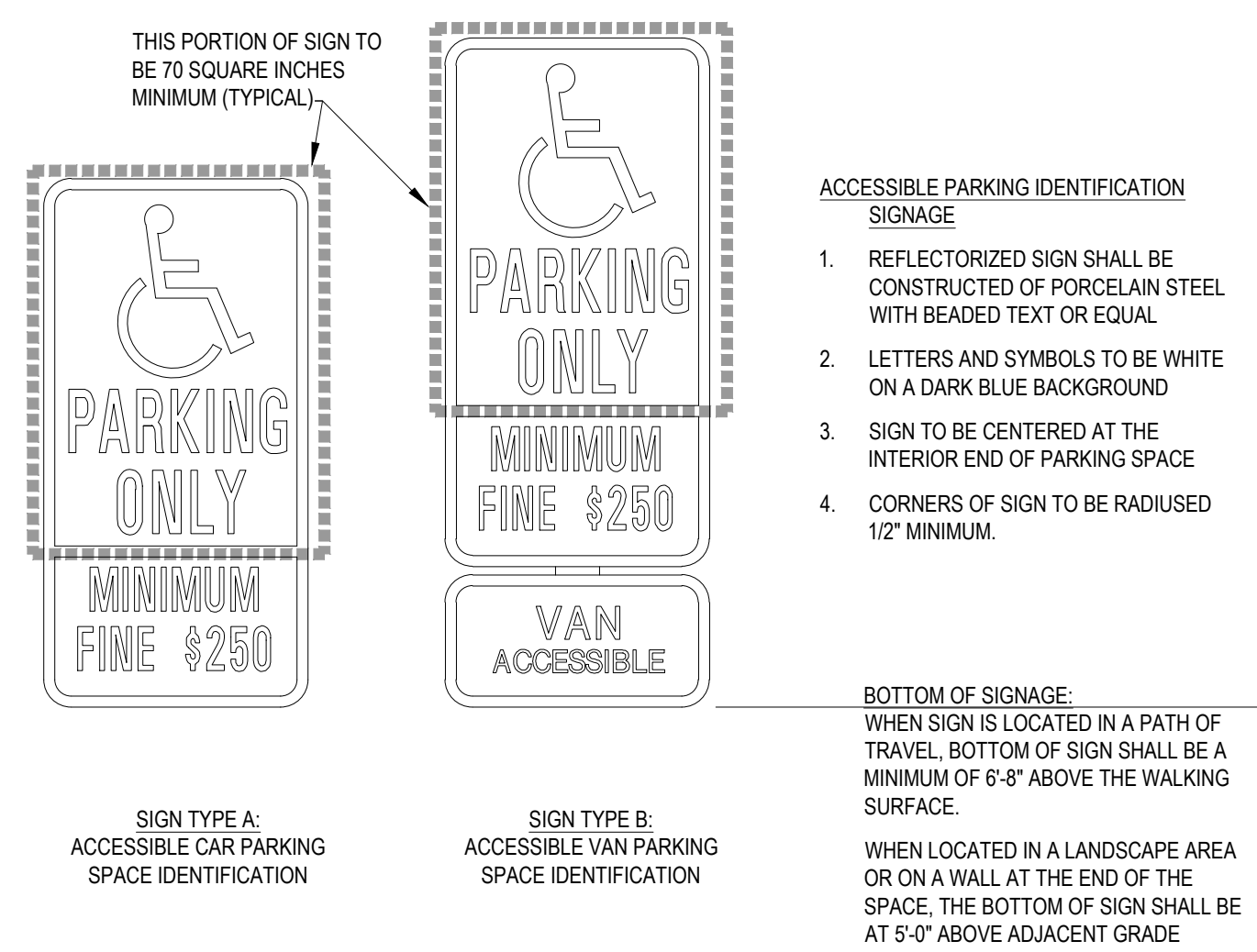
**18 EV PARKING STALL SYMBOL**  
SCALE: 1/2" = 1'-0"



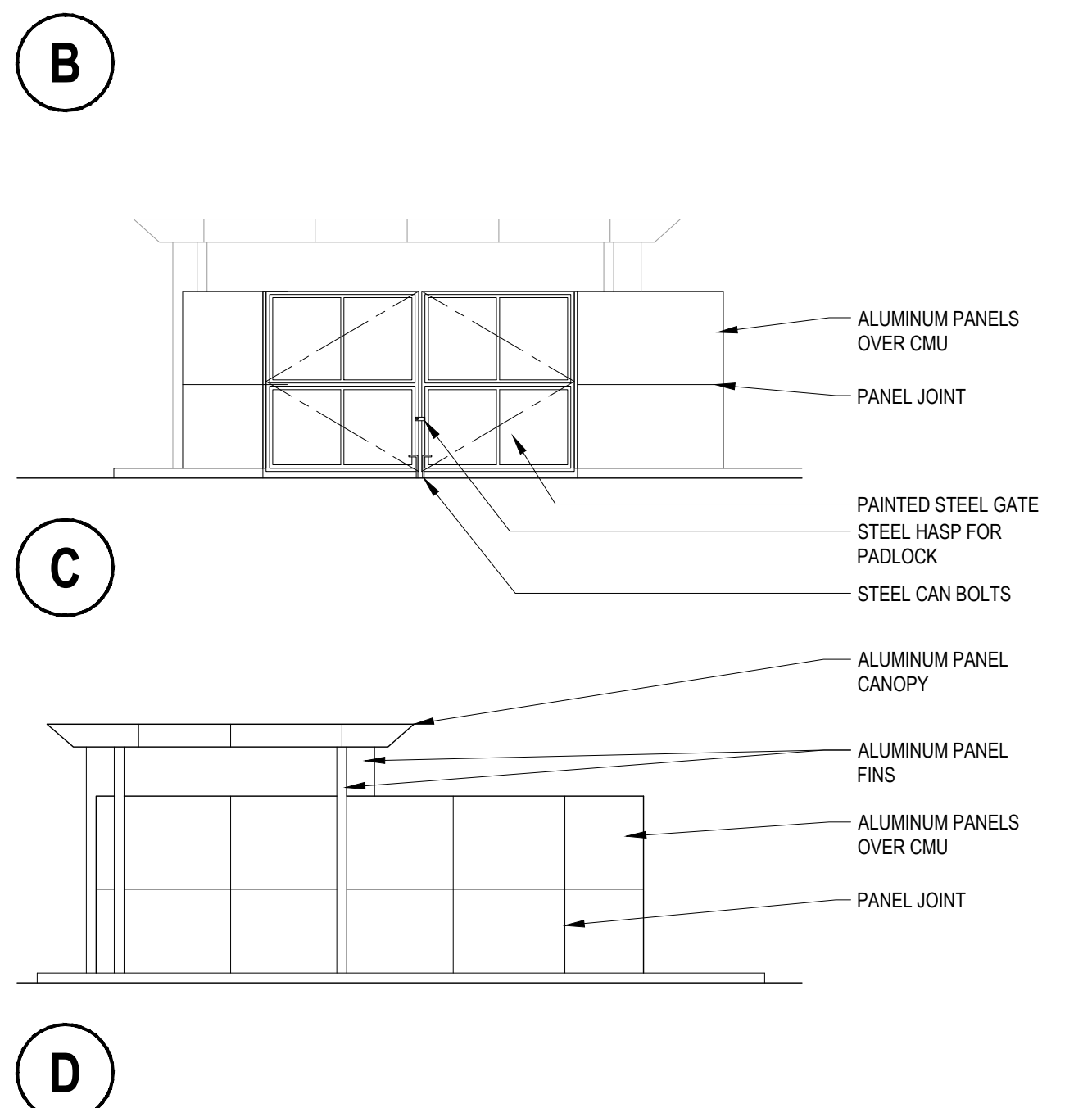
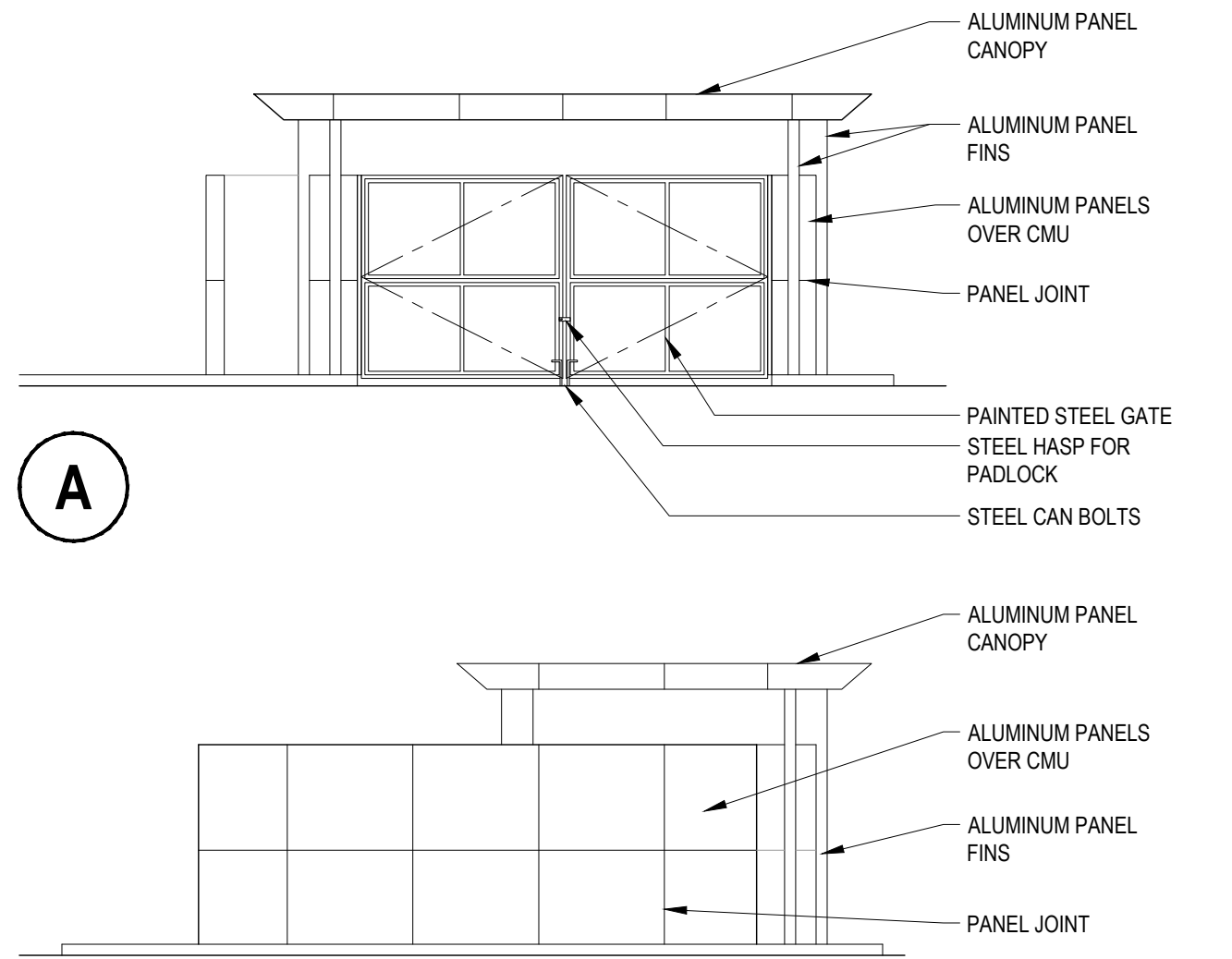
**13 ACCESSIBLE PARKING SPACES**  
SCALE: 1/16" = 1'-0"



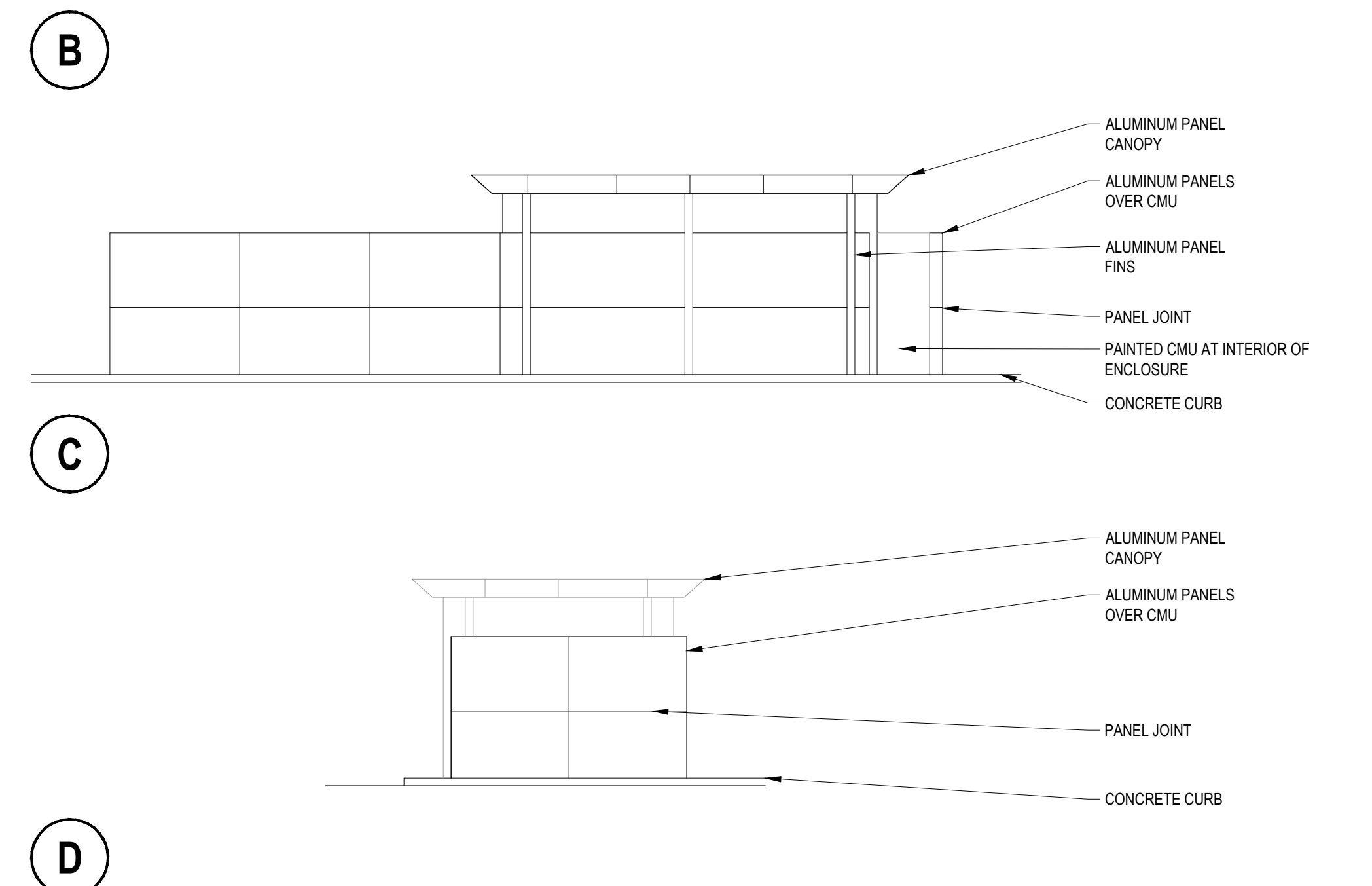
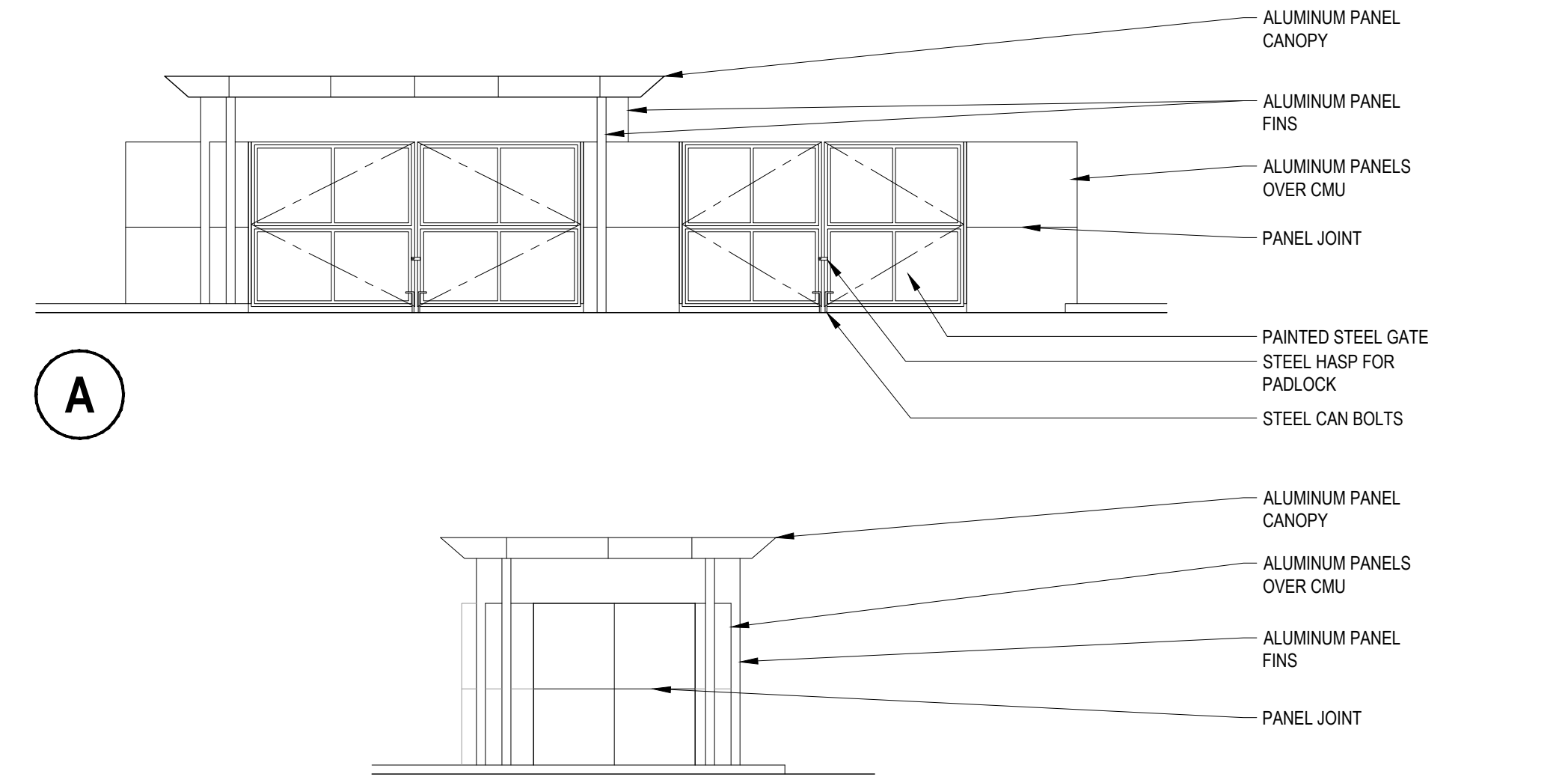
**14 ACCESSIBILITY PARKING SYMBOL**  
SCALE: N.T.S.



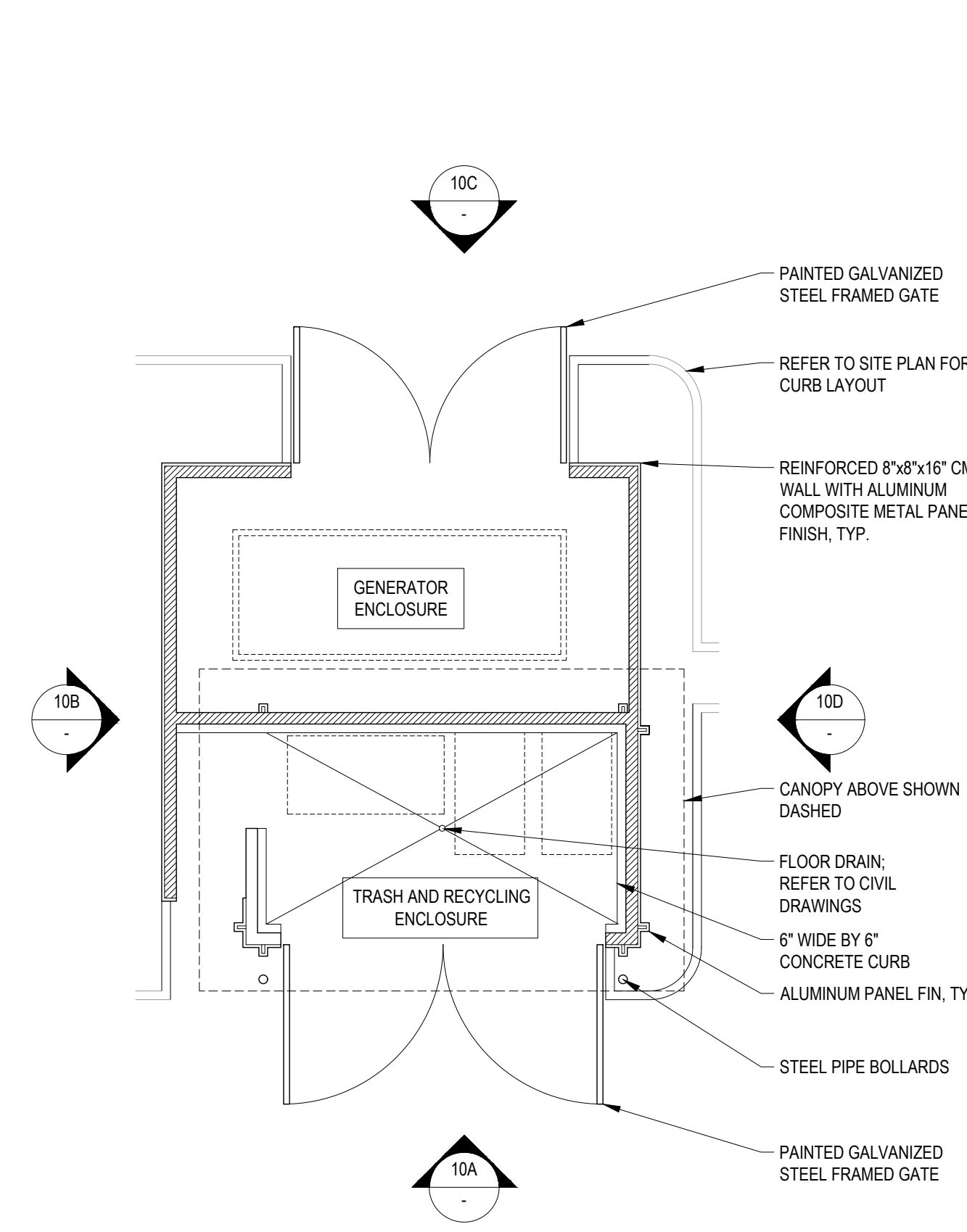
**16 ACCESSIBLE PARKING SIGNAGE & UNAUTHORIZED VEHICLE SIGNAGE**  
SCALE: 1 1/2" = 1'-0"



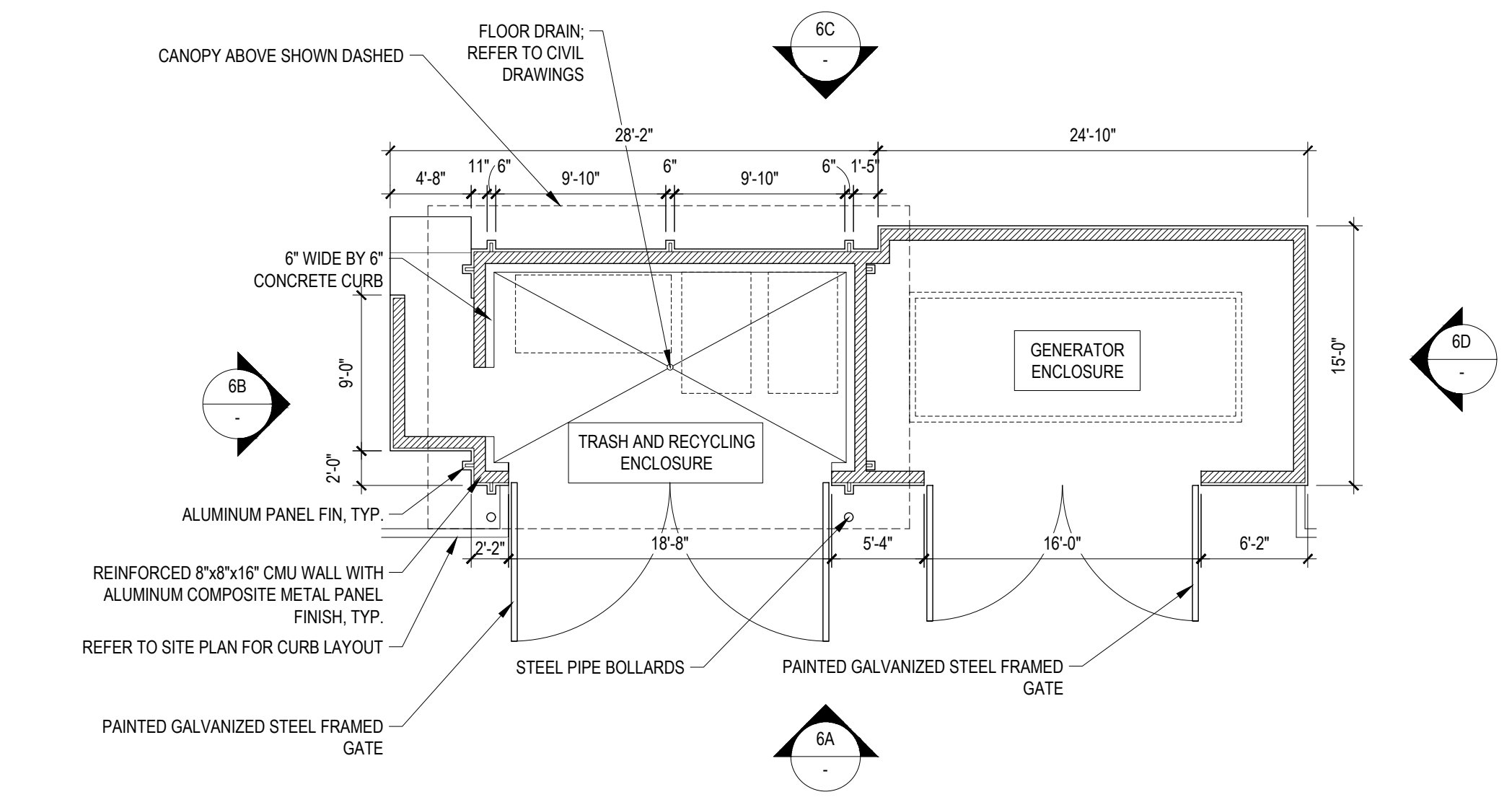
**10 TRASH AND GENERATOR ENCLOSURE ELEVATIONS**  
SCALE: 1/8" = 1'-0"



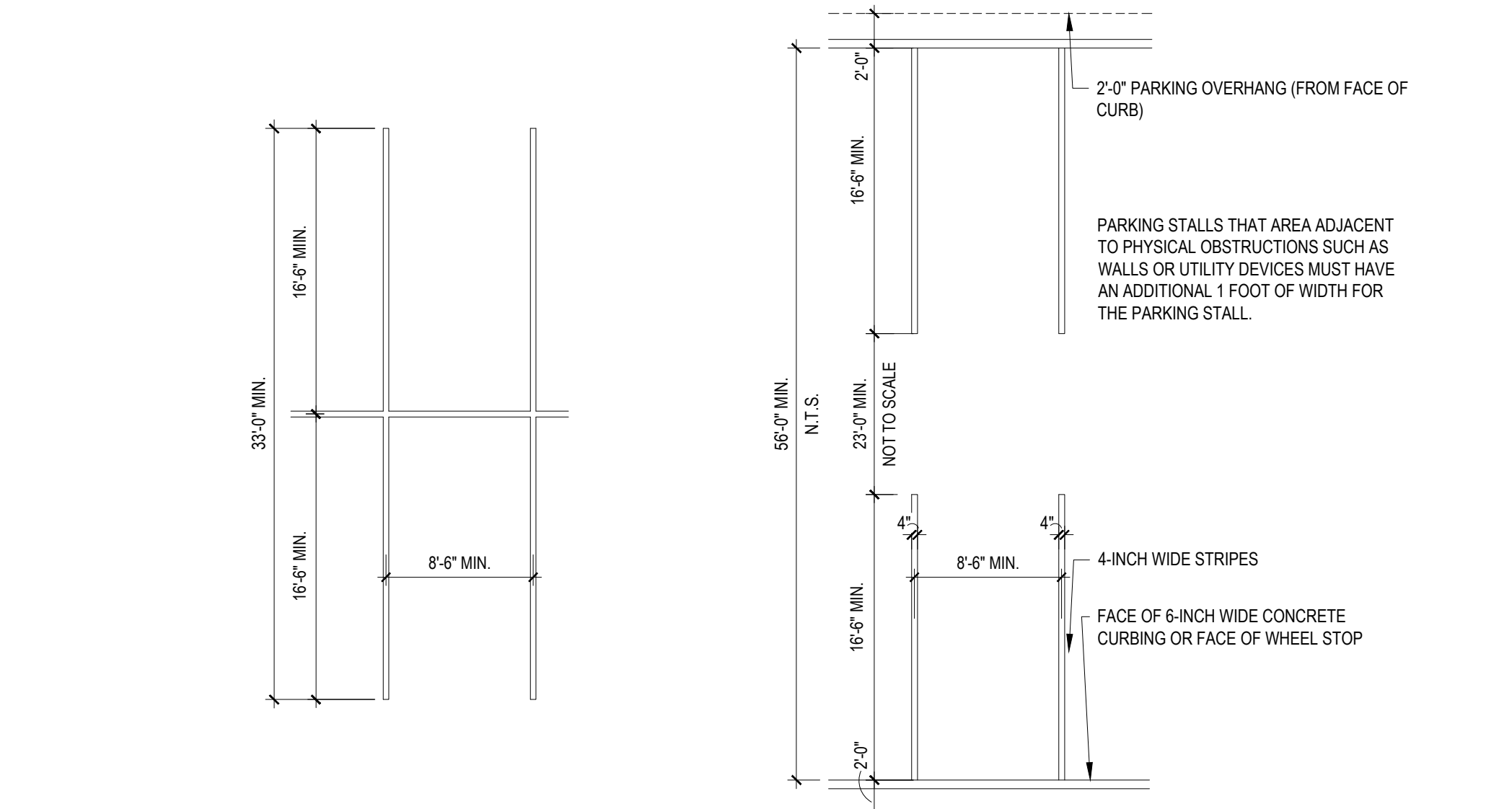
**6 TRASH AND GENERATOR ENCLOSURE ELEVATIONS**  
SCALE: 1/8" = 1'-0"



**12 ENLARGED TRASH AND GENERATOR ENCLOSURE PLANS**  
SCALE: 1/8" = 1'-0"



**7 ENLARGED TRASH AND GENERATOR ENCLOSURE PLANS**  
SCALE: 1/8" = 1'-0"



**8 TYP. PARKING STALL**  
SCALE: 1/8" = 1'-0"



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05.04.22	PLANNING RESUBMITTAL

SITE DETAILS

**A1.11**

PROJECT NO: 164152.00



## HEIGHT ANALYSIS

HEIGHTS	
BUILDING 1	67'-2"
BUILDING 2	67'-2"
BUILDING 3*	69'-0"
PARKING STRUCTURE	48'-0"
AREA	
BUILDING 1	129,960 S.F.
BUILDING 2	129,960 S.F.
BUILDING 3	249,500 S.F.
PARKING STRUCTURE	404,464 S.F.
TOTAL	913,884 S.F.

\*ROOF SCREEN NOT INCLUDED IN OVERALL HEIGHT CALCULATION PER MPC 16.04.330

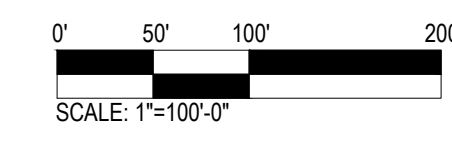
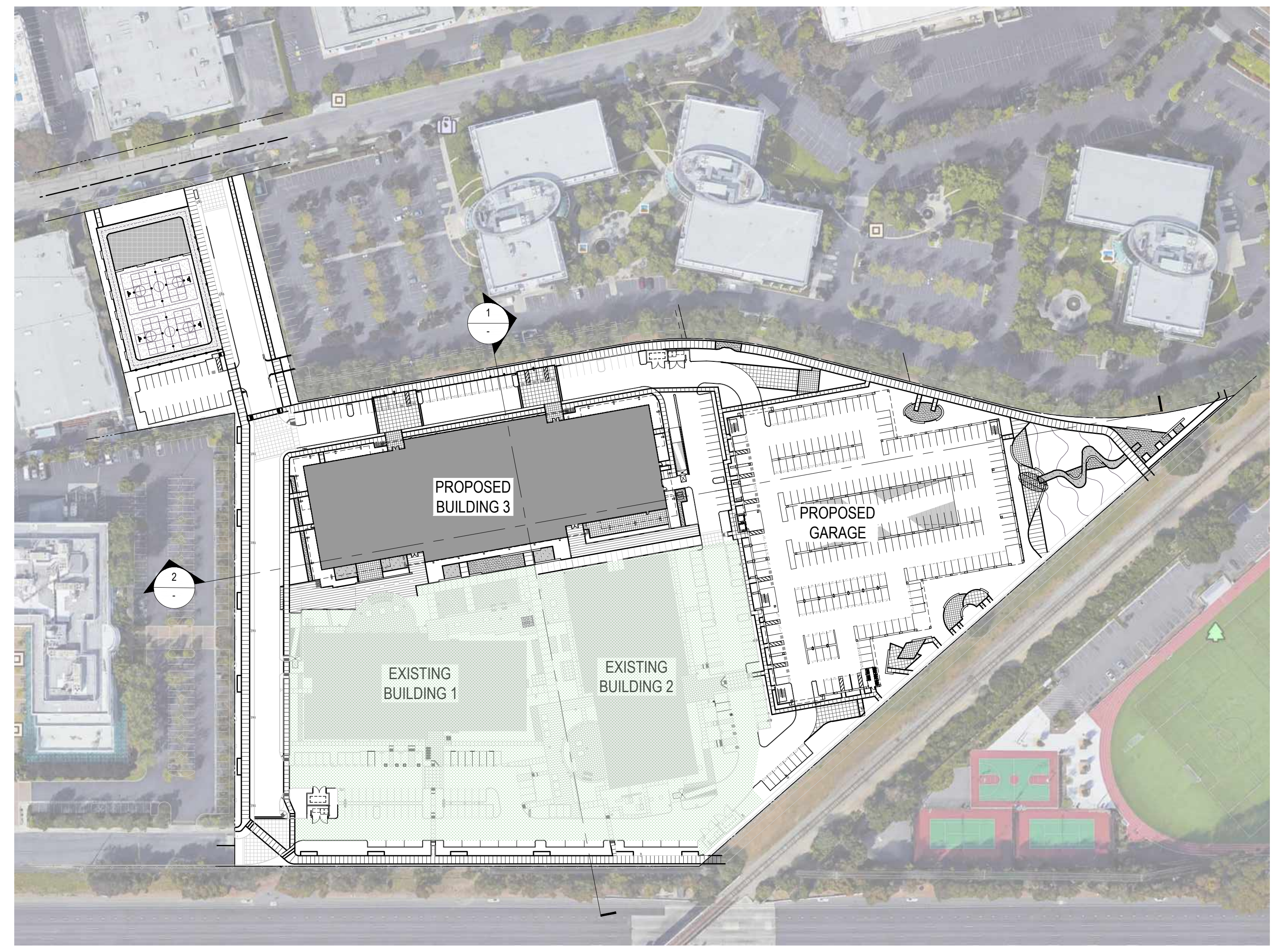
## WEIGHTED AVERAGE HEIGHT CALCULATION

WEIGHTED AVERAGE HEIGHT  
 = (BLDG 1 AREA x HEIGHT) + (BLDG 2 AREA x HEIGHT) + (BLDG 3 AREA x HEIGHT) + (PARKING STRUCTURE AREA x HEIGHT)  
 TOTAL AREA

$$= \frac{(129,960 \times 67.1667) + (129,960 \times 67.1667) + (249,500 \times 69) + (404,464 \times 48)}{913,884}$$

WEIGHTED AVERAGE HEIGHT = 59.9'

ALLOWABLE AVERAGE HEIGHT = 75.5' (WITH SLR)



EXISTING CAMPUS  
**REFERENCE SITE PLAN**

SCALE: 1" = 100'-0"

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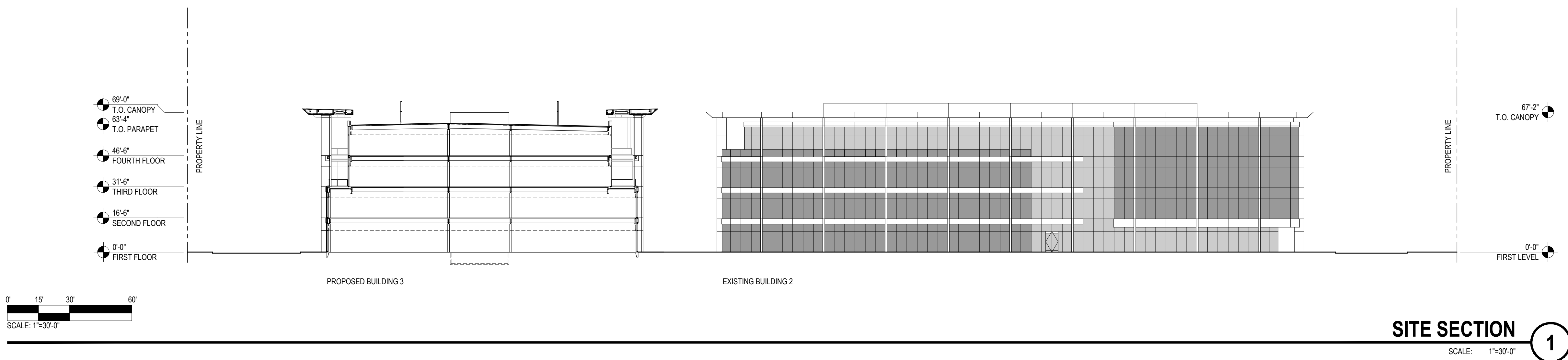
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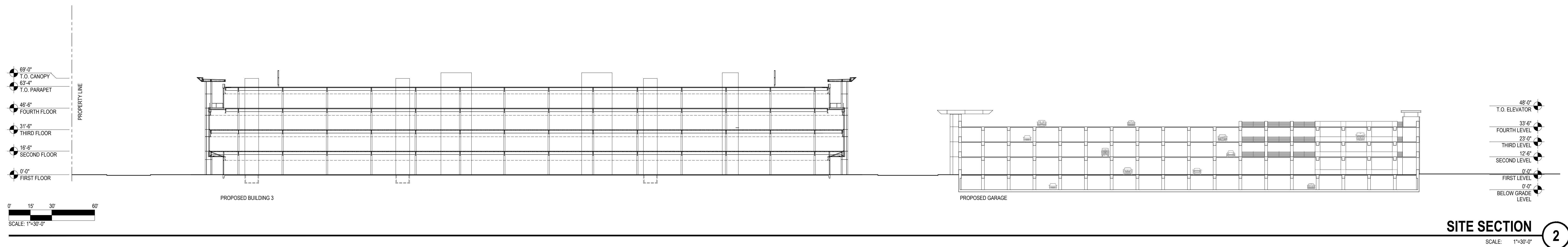
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**SITE SECTION 1**

SCALE: 1"=30'-0"



**SITE SECTION 2**

SCALE: 1"=30'-0"

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 MENLO PARK, CA 94052

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SITE SECTION

**A1.12**

PROJECT NO: 164152.00

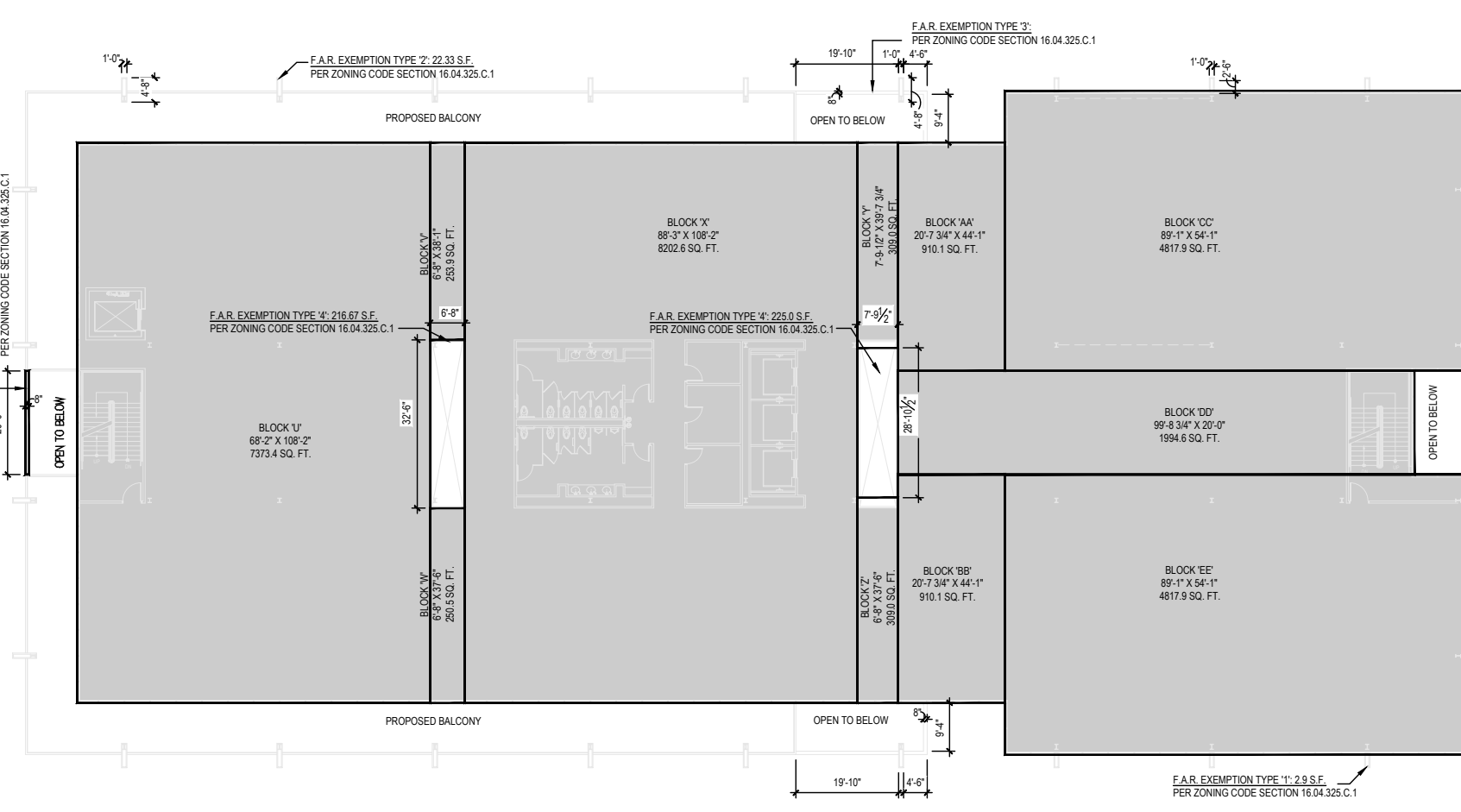


**FLOOR PLANS LEGEND:**

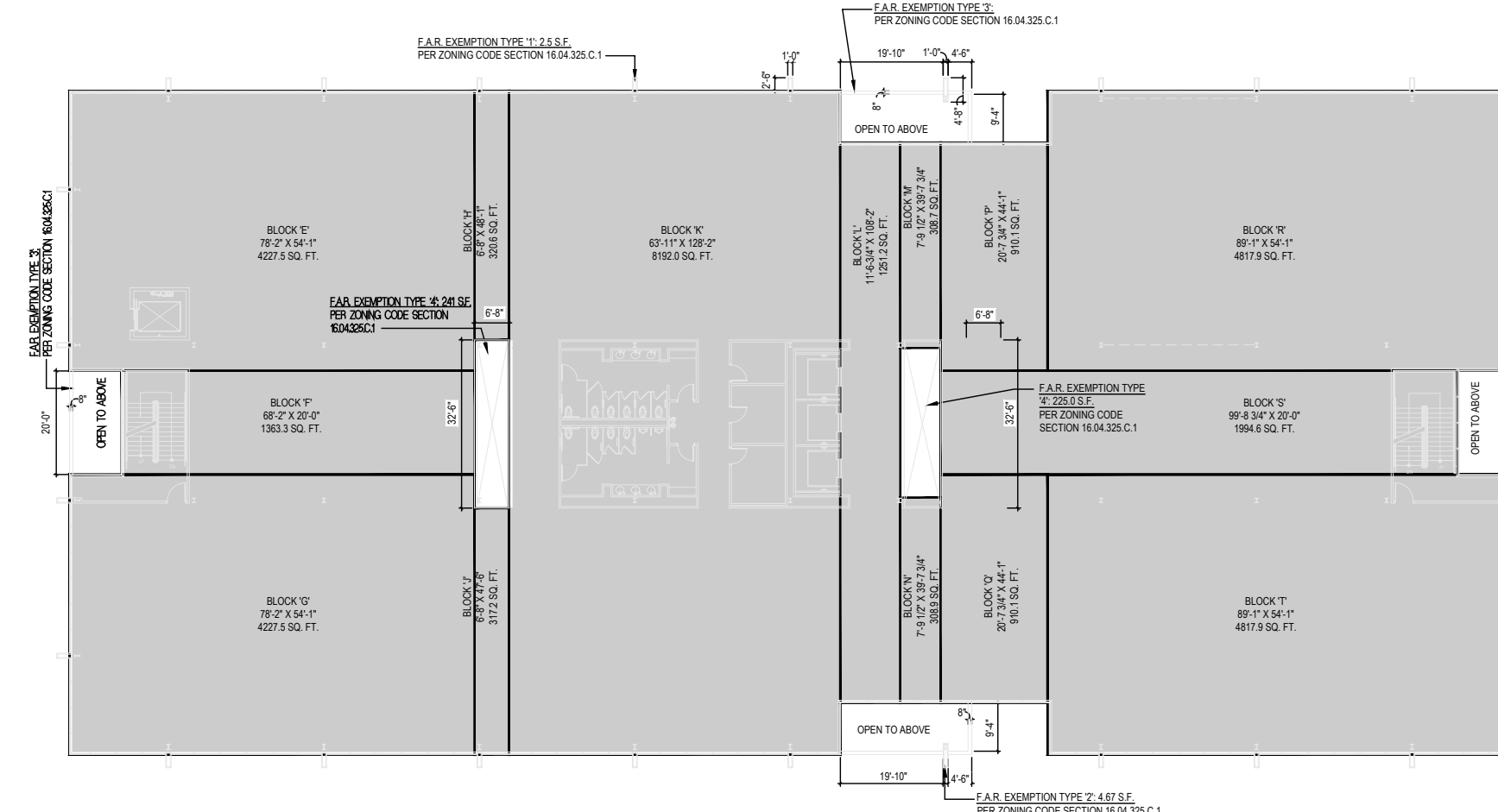
 FLOOR AREA INCLUDED IN A TOTAL GROSS FLOOR AREA CALCULATIONS PER MENLO PARK ZONING ORDINANCE 16.04.325 (A) AND (B)

**FLOOR PLANS TABULATION:**

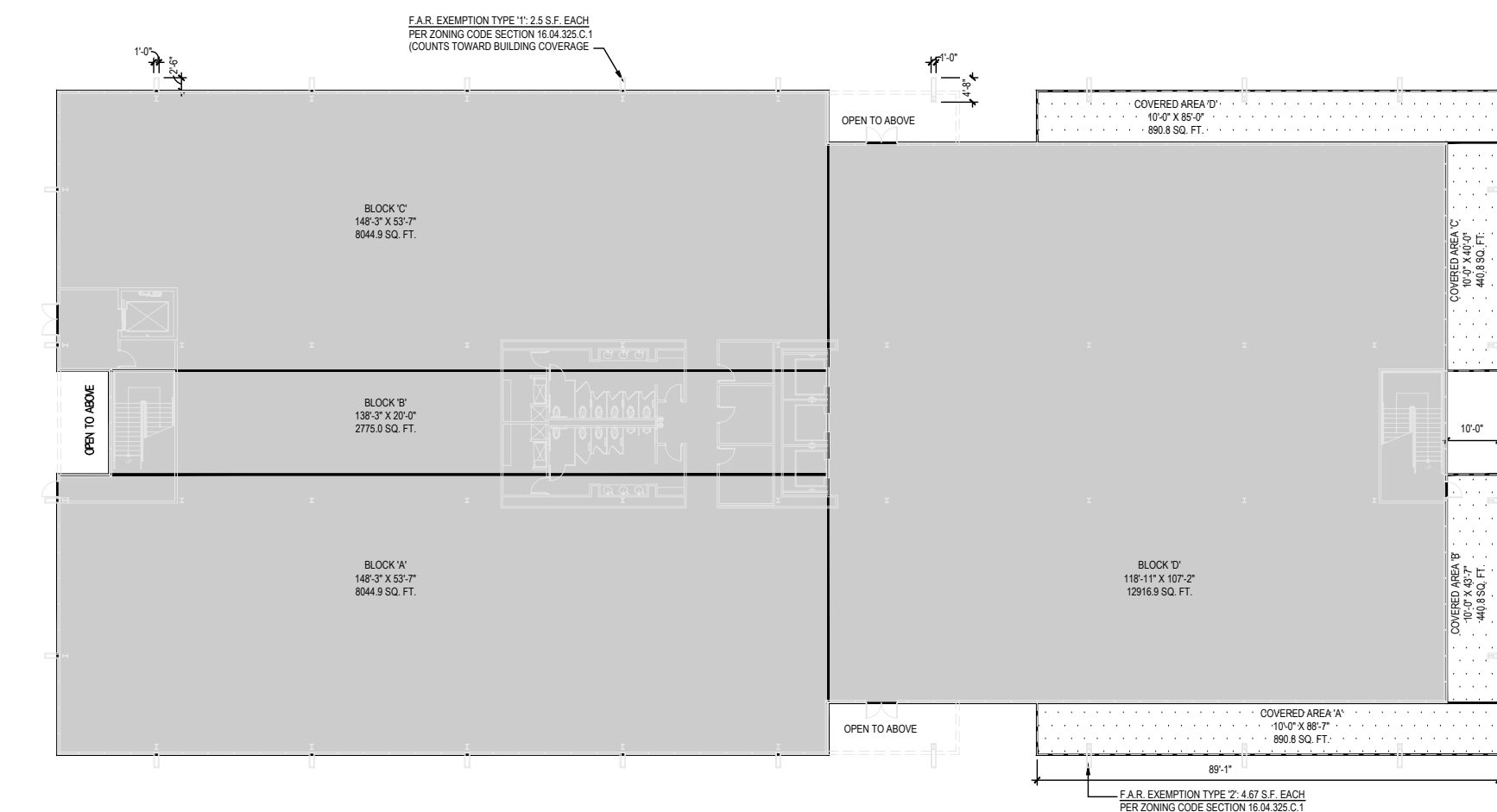
FLOOR NUMBER:	GROSS FLOOR AREA
1ST FLOOR	31,781.7 SF
2ND FLOOR	34,011.5 SF
3RD FLOOR	34,011.5 SF
4TH FLOOR	30,154.8 SF
<b>TOTAL</b>	<b>129,960 SF</b>
<b>BUILDINGS '1' &amp; '2'</b>	<b>129,960 SF x 2 = 259,920 S.F.</b>



FOURTH FLOOR GROSS FLOOR AREA: 30,154.8 SF



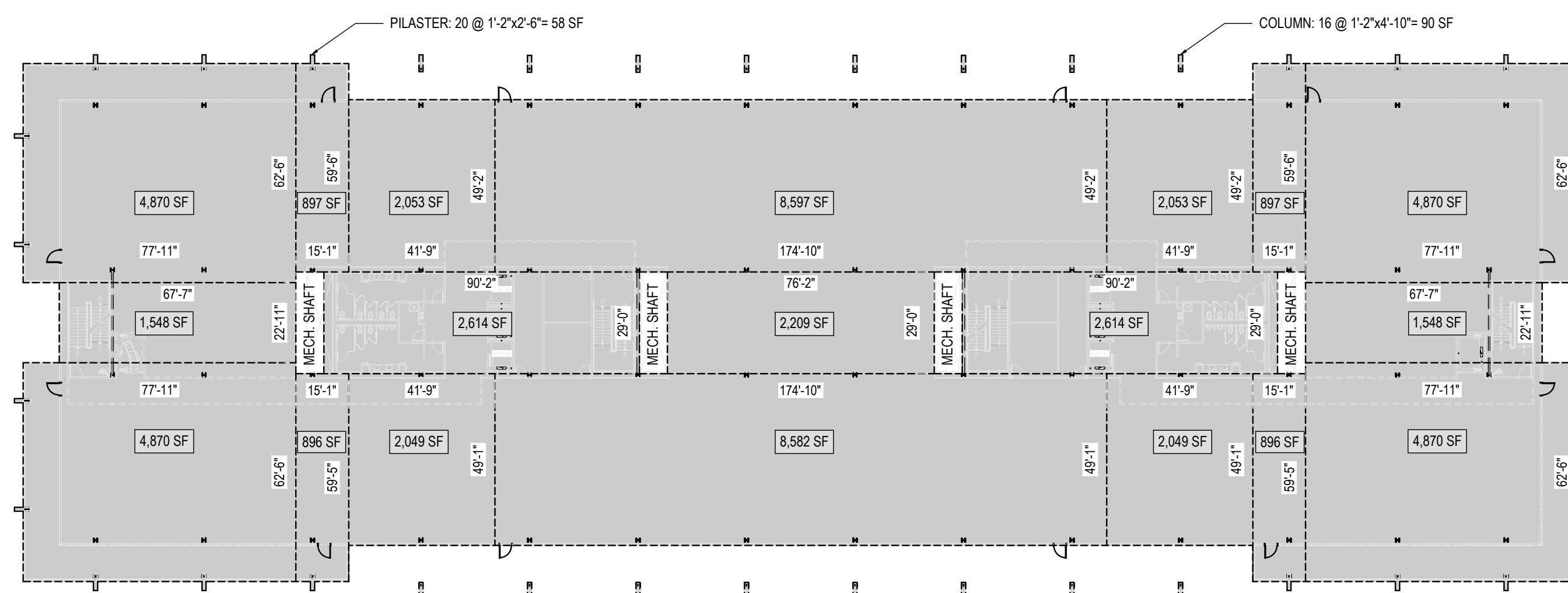
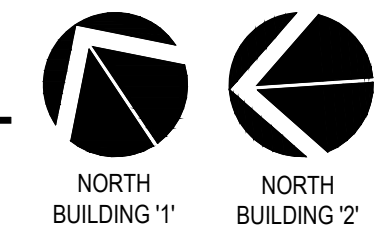
SECOND AND THIRD FLOOR GROSS FLOOR AREA: 34,011.5 SF EA.



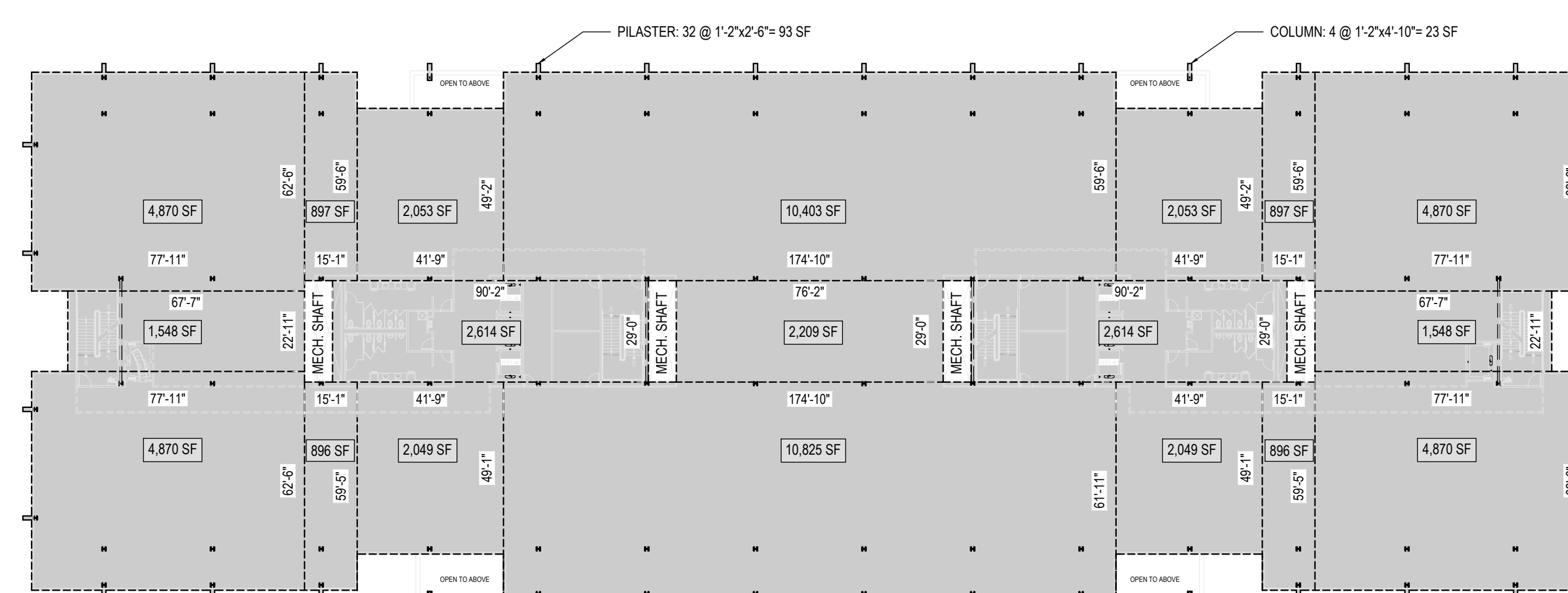
FIRST FLOOR GROSS FLOOR AREA: 31,781.7 SF

**GROSS FLOOR AREA PLANS - EXISTING BUILDINGS '1' AND '2'**

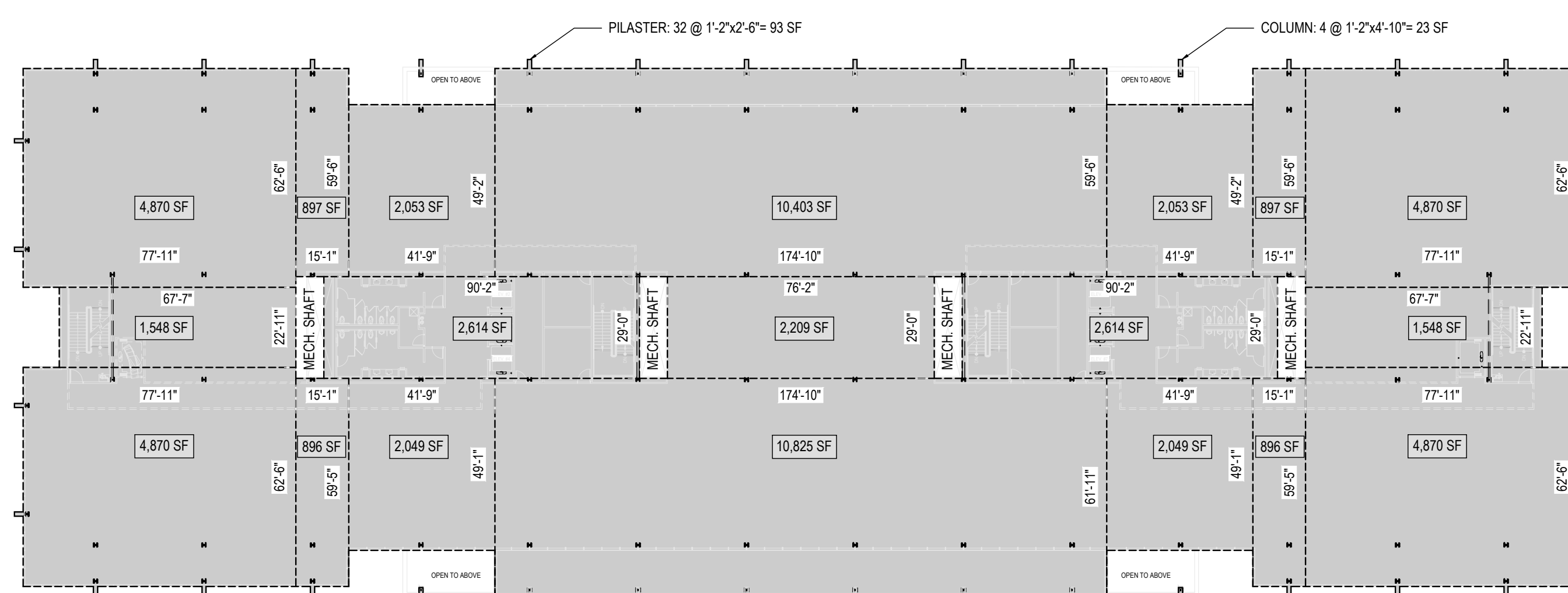
SCALE: 1/32" = 1'-0"



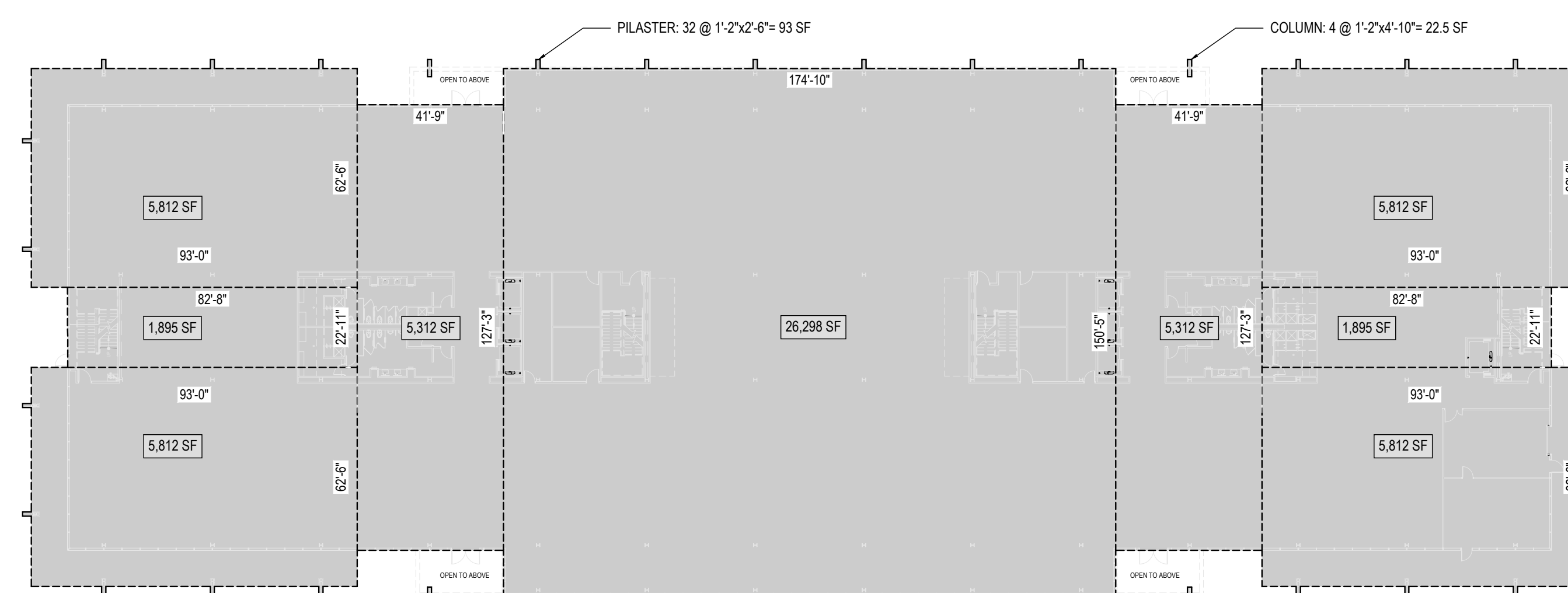
FOURTH FLOOR GROSS FLOOR AREA: 59,130 SF



SECOND FLOOR GROSS FLOOR AREA: 63,147 SF




THIRD FLOOR GROSS FLOOR AREA: 63,147 SF



FIRST FLOOR GROSS FLOOR AREA: 64,076 SF

**FLOOR PLANS LEGEND:**

 FLOOR AREA INCLUDED IN A TOTAL GROSS FLOOR AREA CALCULATIONS PER MENLO PARK ZONING ORDINANCE 16.04.325 (A) AND

**FLOOR PLANS TABULATION:**

FLOOR NUMBER:	GROSS FLOOR AREA
1ST FLOOR	64,076 SF
2ND FLOOR	63,147 SF
3RD FLOOR	63,147 SF
4TH FLOOR	59,130 SF
<b>TOTAL</b>	<b>249,500 SF</b>

**MECHANICAL SHAFT PERCENTAGE:**

SHAFT AREA PER FLOOR	928 SF
TOTAL AREA - FLOORS 2-4	2,784 SF
PERCENTAGE OF TOTAL AREA - MUST BE <3%	1.12%



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06.04.22	PLANNING RESUBMITTAL

GROSS FLOOR AREA PLANS

**GROSS FLOOR AREA PLANS - PROPOSED BUILDING '3'**

SCALE: 1/32" = 1'-0"



**A2.10**

PROJECT NO: 164152.00





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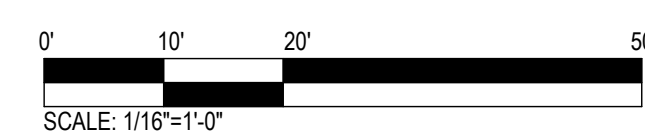
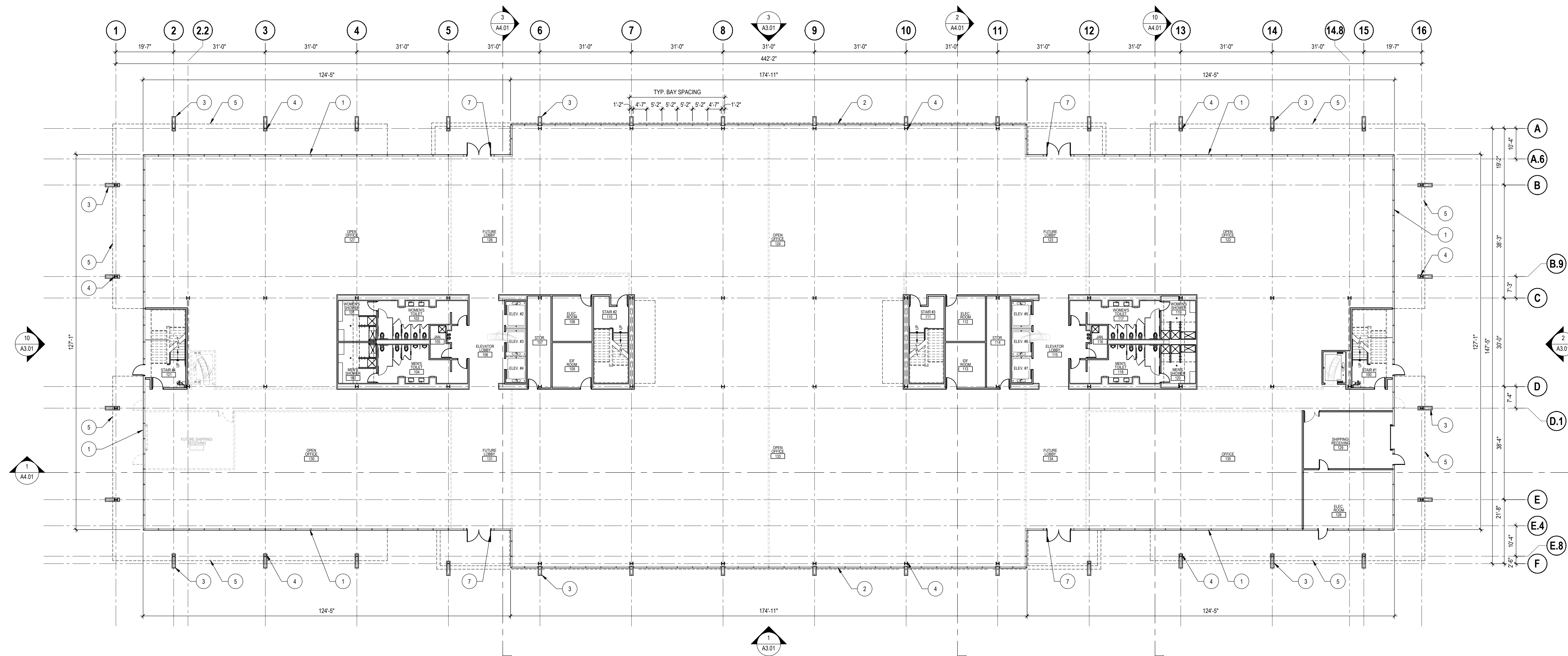
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**KEY NOTES**

NOT ALL KEYNOTES MAY APPLY

- 1 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN ALUMINUM FRAMES WITH BUTT GLAZED MULLIONS
- 2 1" INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN ALUMINUM FRAMES WITH BUTT GLAZED MULLIONS
- 3 ALUMINUM COMPOSITE PANEL OVER METAL STUD FRAME
- 4 STRUCTURAL COLUMN
- 5 LINE OF BUILDING FACE ABOVE SHOWN DASHED
- 6 HORIZONTAL ALUMINUM COMPOSITE PANEL
- 7 ENTRY DOORS
- 8 TEMPERED GLAZING BALCONY GUARDRAIL
- 9 LINE OF CANOPY ABOVE SHOWN DASHED
- 10 NOT USED
- 11 BALCONY DOORS, FINAL LOCATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION



**FIRST LEVEL FLOOR PLAN**

SCALE: 1/16" = 1'-0"

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05.04.22	PLANNING RESUBMITTAL

FIRST LEVEL FLOOR PLAN

**A2.11**

PROJECT NO: 164152.00





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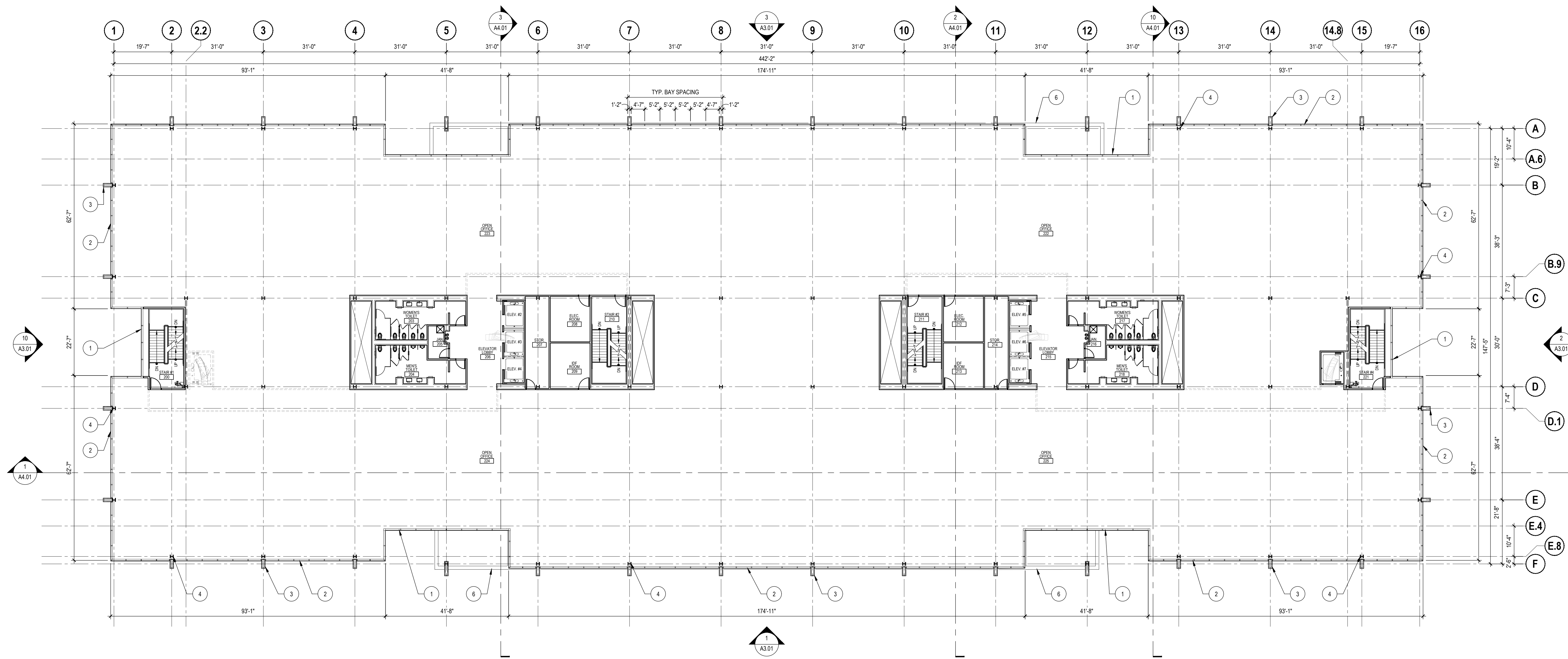
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- 2 1" INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN ALUMINUM FRAMES WITH BUTT GLAZED MULLIONS
- 3 ALUMINUM COMPOSITE PANEL OVER METAL STUD FRAME
- 4 STRUCTURAL COLUMN
- 5 LINE OF BUILDING FACE ABOVE SHOWN DASHED
- 6 HORIZONTAL ALUMINUM COMPOSITE PANEL
- 7 ENTRY DOORS
- 8 TEMPERED GLAZING BALCONY GUARDRAIL
- 9 LINE OF CANOPY ABOVE SHOWN DASHED
- 10 NOT USED
- 11 BALCONY DOORS, FINAL LOCATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION



A Planning Application for:  
**The SOBRATO** Organization  
COMMONWEALTH BUILDING 3  
MENLO PARK, CA 94052

DATE	DESCRIPTION
10.12.17	PLANNING APPLICATION
03.06.18	PLANNING RESUBMITTAL
08.01.18	PLANNING RESUBMITTAL
10.04.18	PLANNING RESUBMITTAL
04.17.19	PLANNING RESUBMITTAL
05.23.19	PLANNING RESUBMITTAL
04.09.21	PLANNING RESUBMITTAL
07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL

**SECOND LEVEL FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

**A2.12**

PROJECT NO: 164152.00





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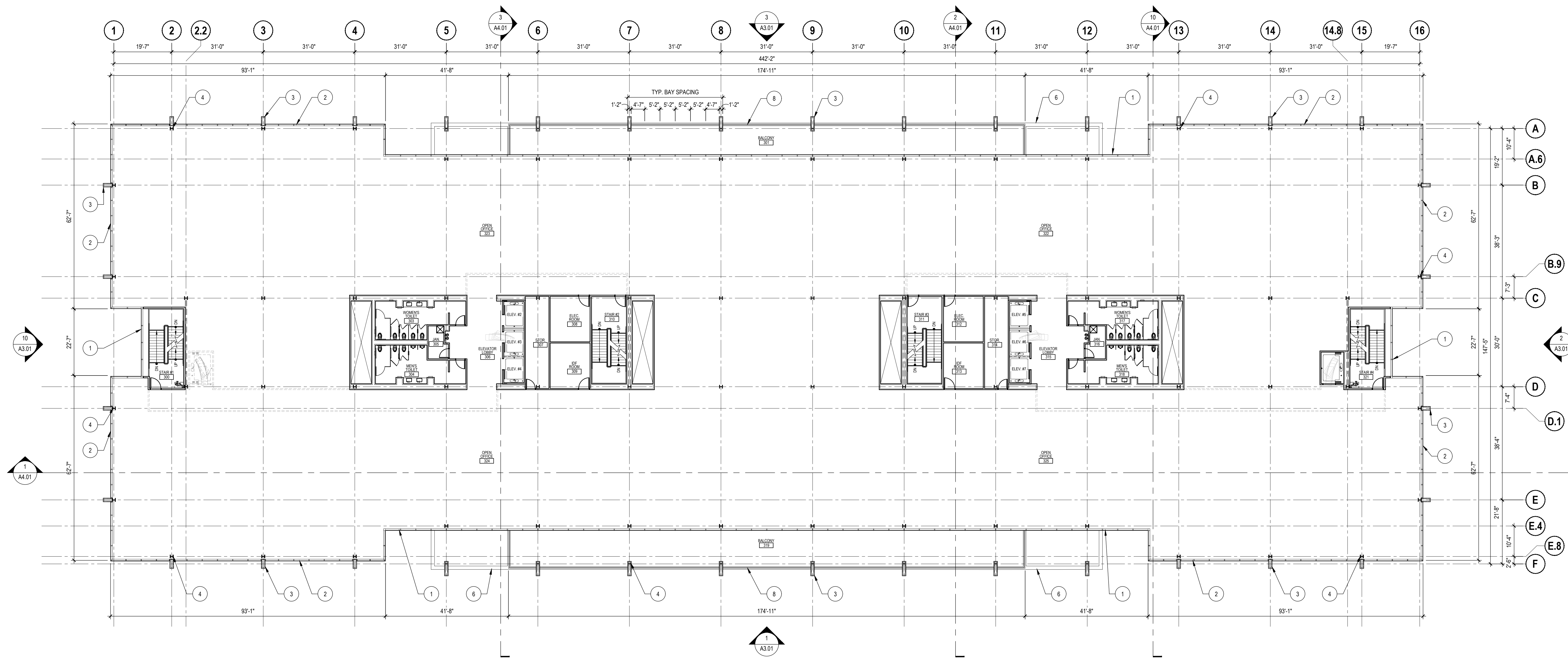
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05.04.22	PLANNING RESUBMITTAL

**THIRD LEVEL FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

**A2.13**

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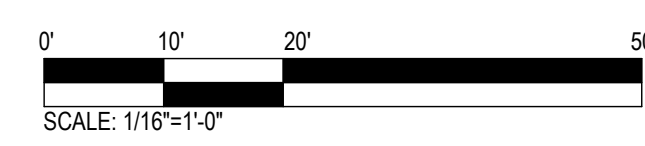
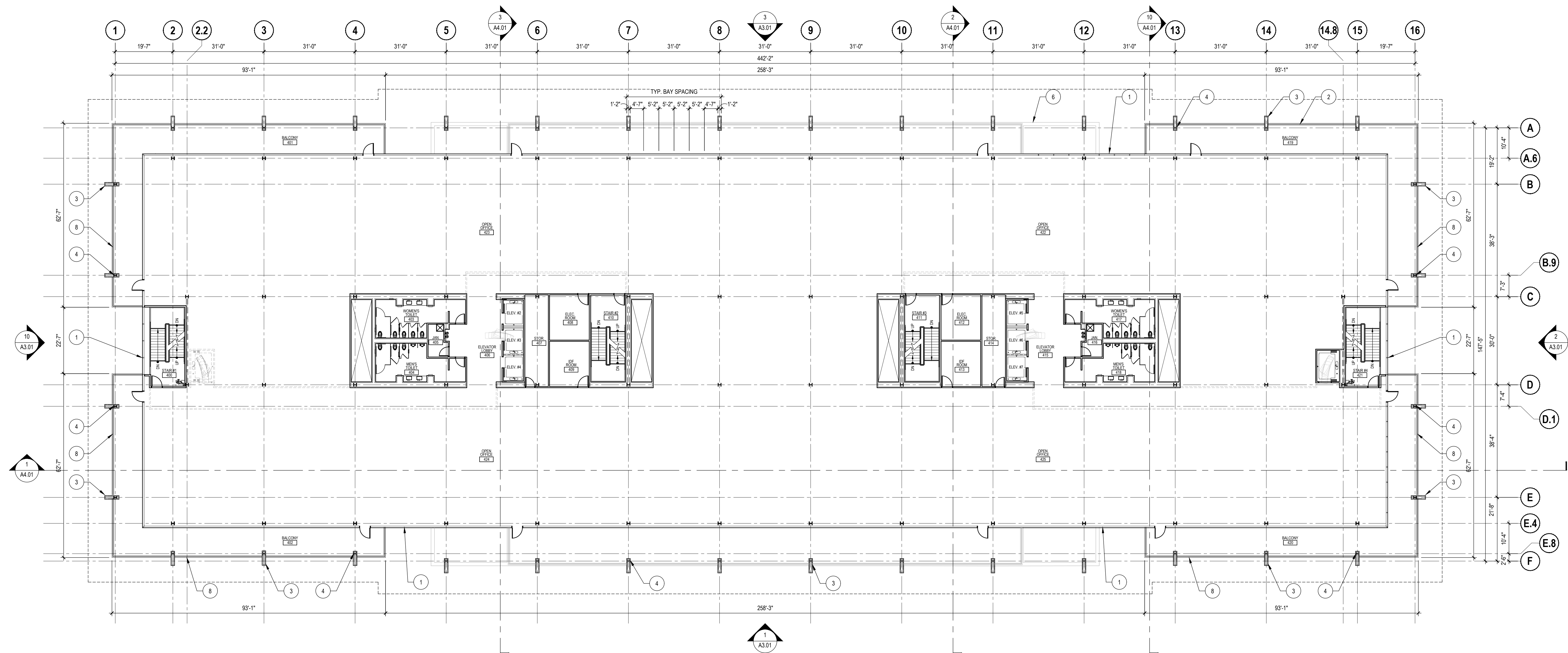
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**FOURTH LEVEL FLOOR PLAN**

SCALE: 1/16" = 1'-0"

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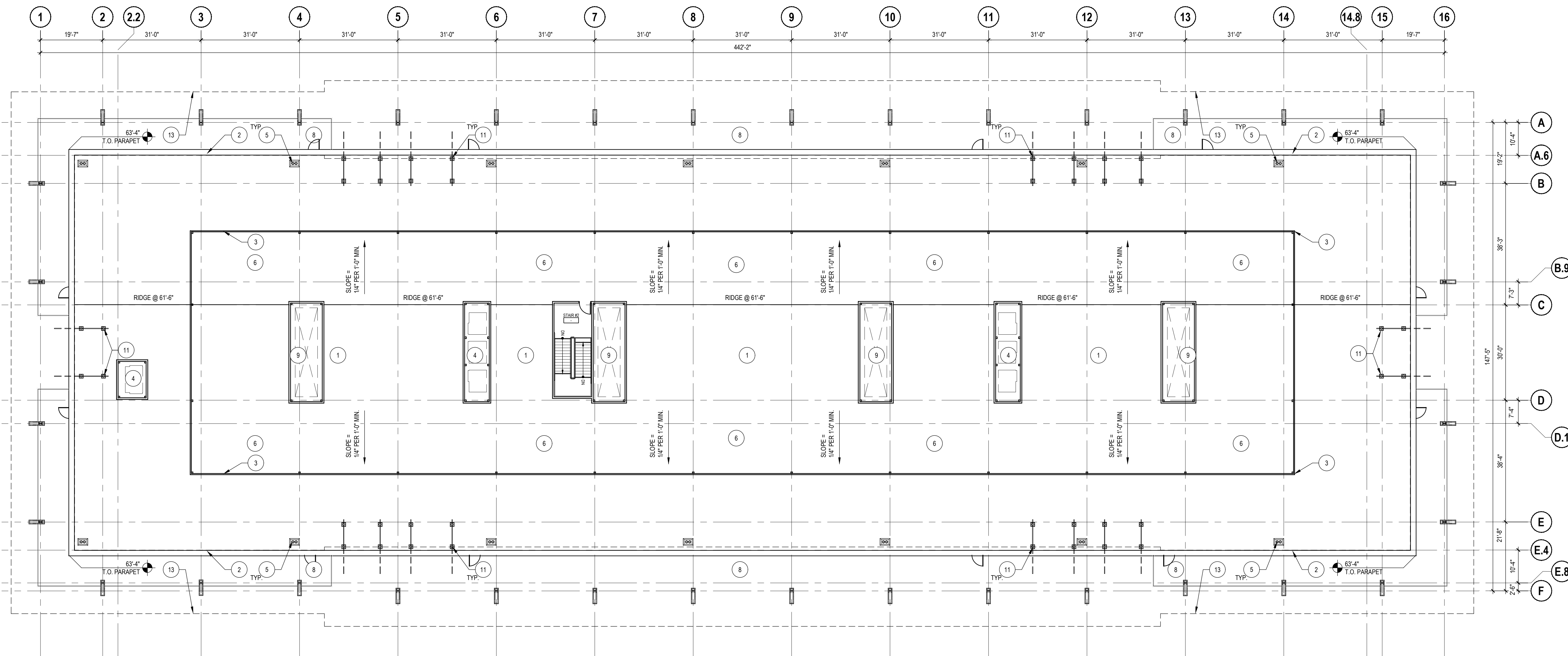
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05.04.22	PLANNING RESUBMITTAL

FOURTH LEVEL FLOOR PLAN

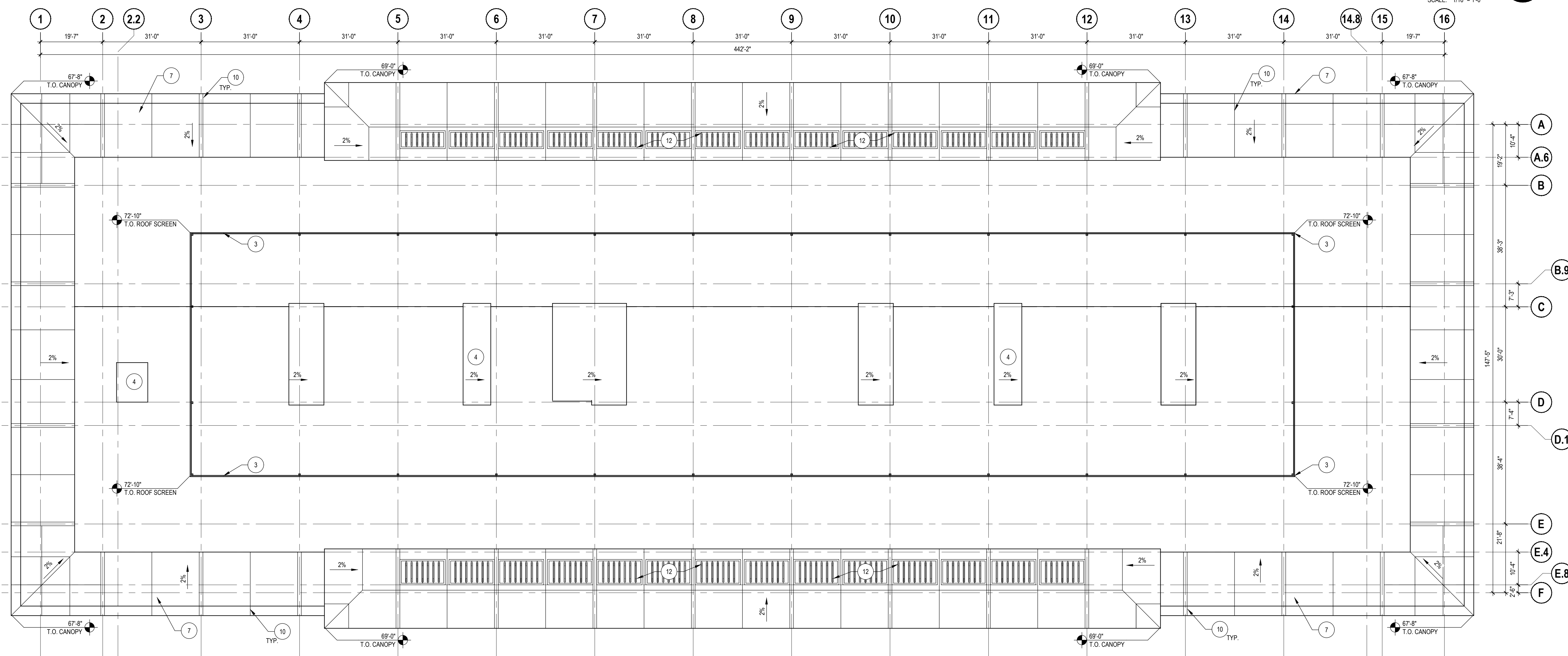
**A2.14**

PROJECT NO: 164152.00





ROOF PLAN-LOW



ROOF PLAN-HIGH

KEY NOTES

- 1 SINGLE PLY ROOFING SYSTEM OVER COMPOSITE CONCRETE METAL DECK AND STRUCTURAL STEEL
- 2 COMPOSITE ALUMINUM PARAPET CAP
- 3 ROOF SCREEN WALL
- 4 ELEVATOR OVERRIDE
- 5 ROOF DRAIN AND OVERFLOW
- 6 ROOFTOP EQUIPMENT ON CONCRETE PAD. FINAL LOCATION AND SIZE TO BE DETERMINED FOR CONSTRUCTION DOCUMENTATION
- 7 ALUMINUM COMPOSITE METAL CANOPY
- 8 BALCONY DECK BELOW
- 9 MECHANICAL SHAFT
- 10 REVEALS IN ALUMINUM PANEL
- 11 MOBILE DAVIT ARMS
- 12 ALUMINUM LOUVERS
- 13 LINE OF ALUMINUM CANOPY ABOVE



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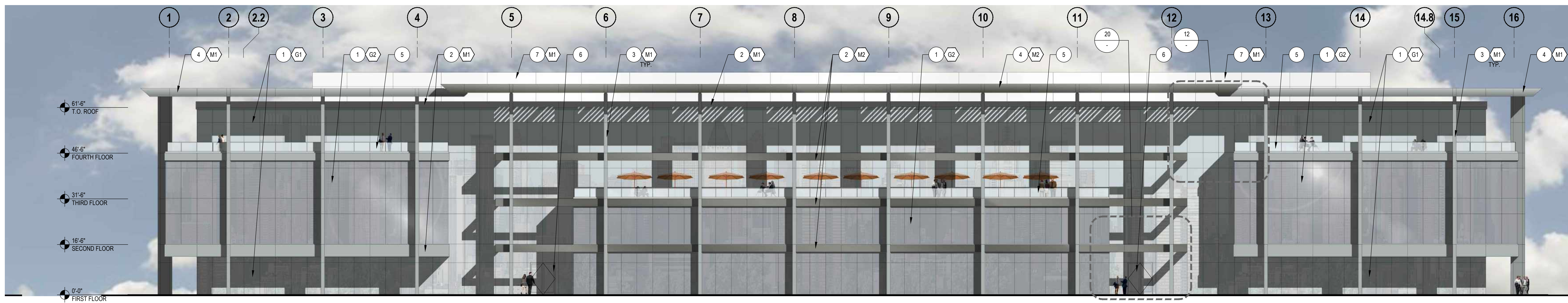
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ROOF PLAN

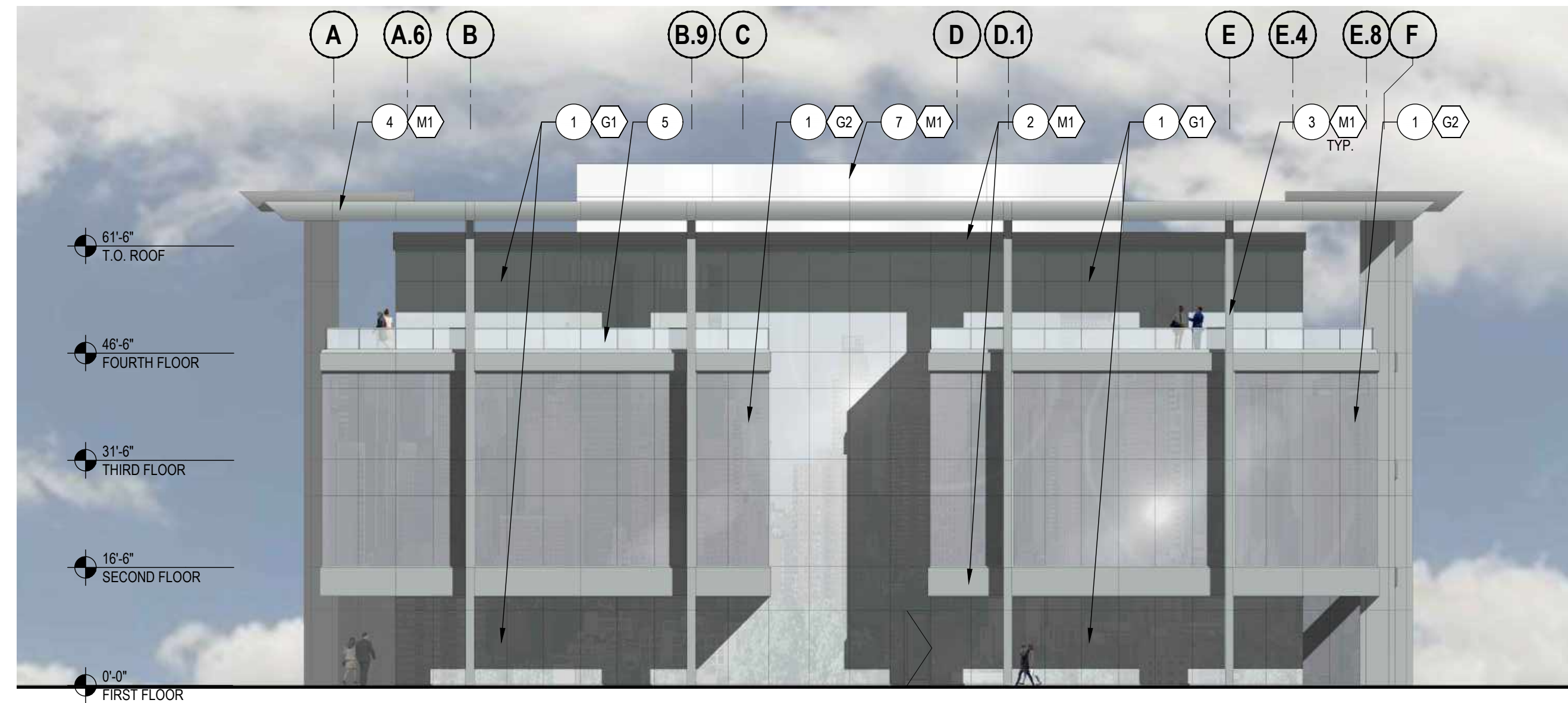
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PROJECT NO: 164152.00

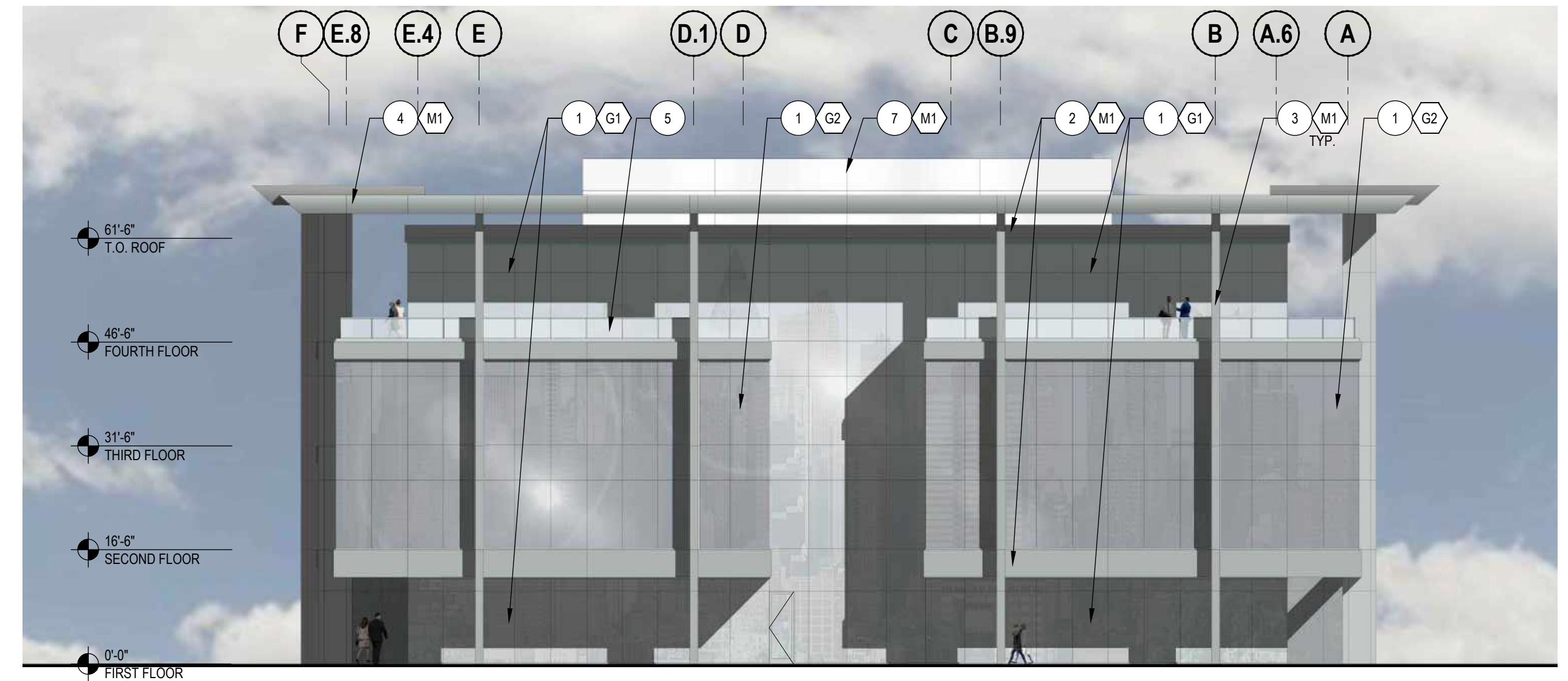




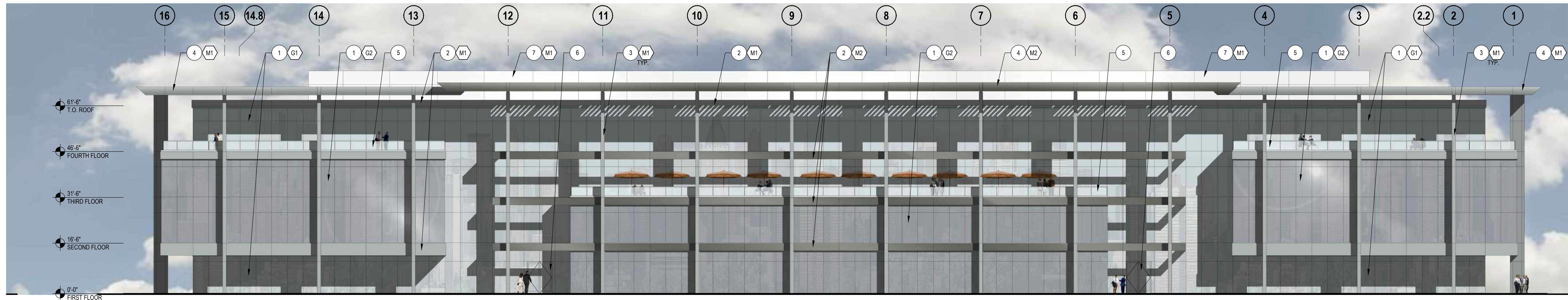
**SOUTH ELEVATION** 1  
SCALE: 1/16" = 1'-0"



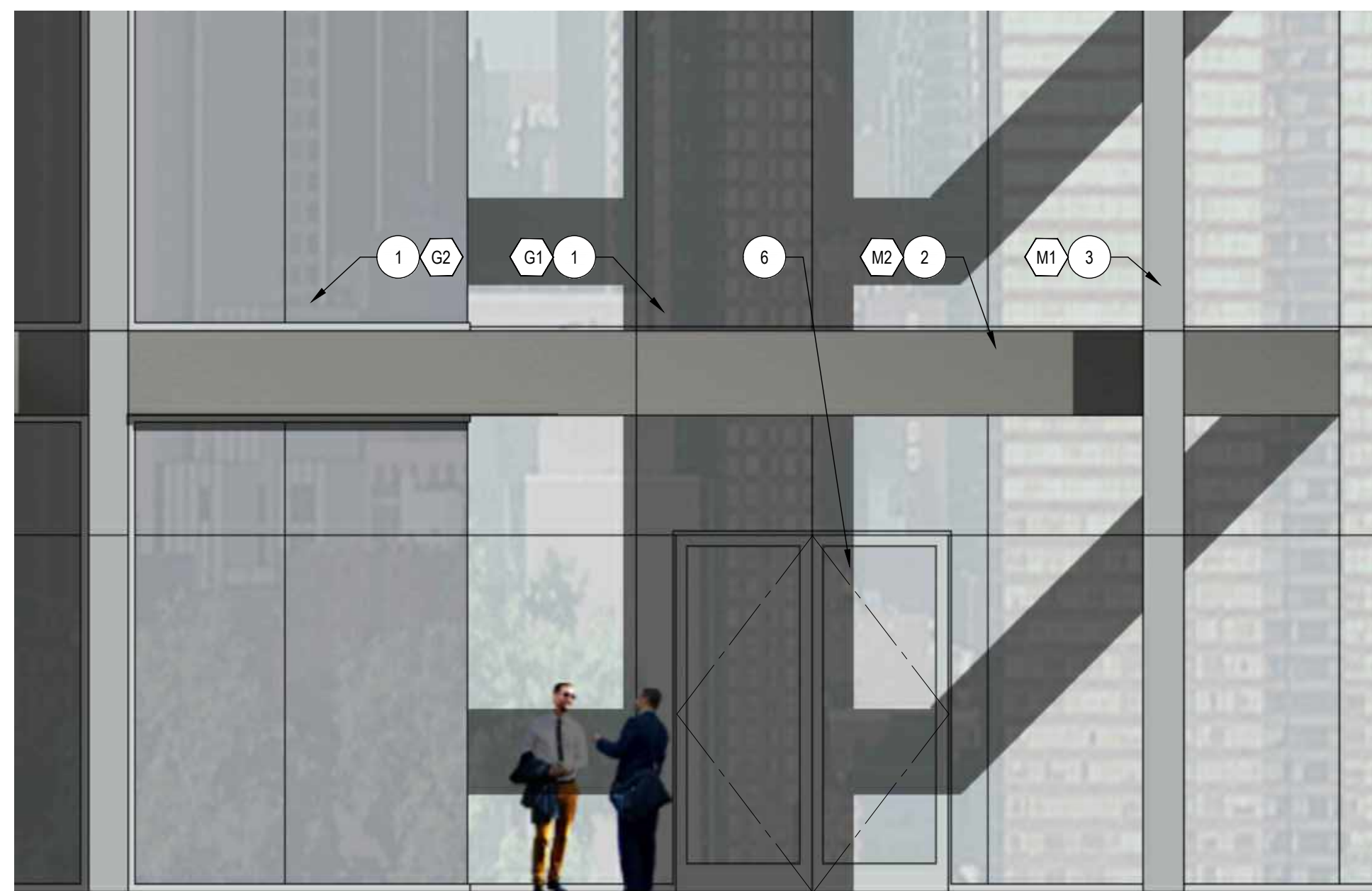
**WEST ELEVATION** 10  
SCALE: 1/16" = 1'-0"



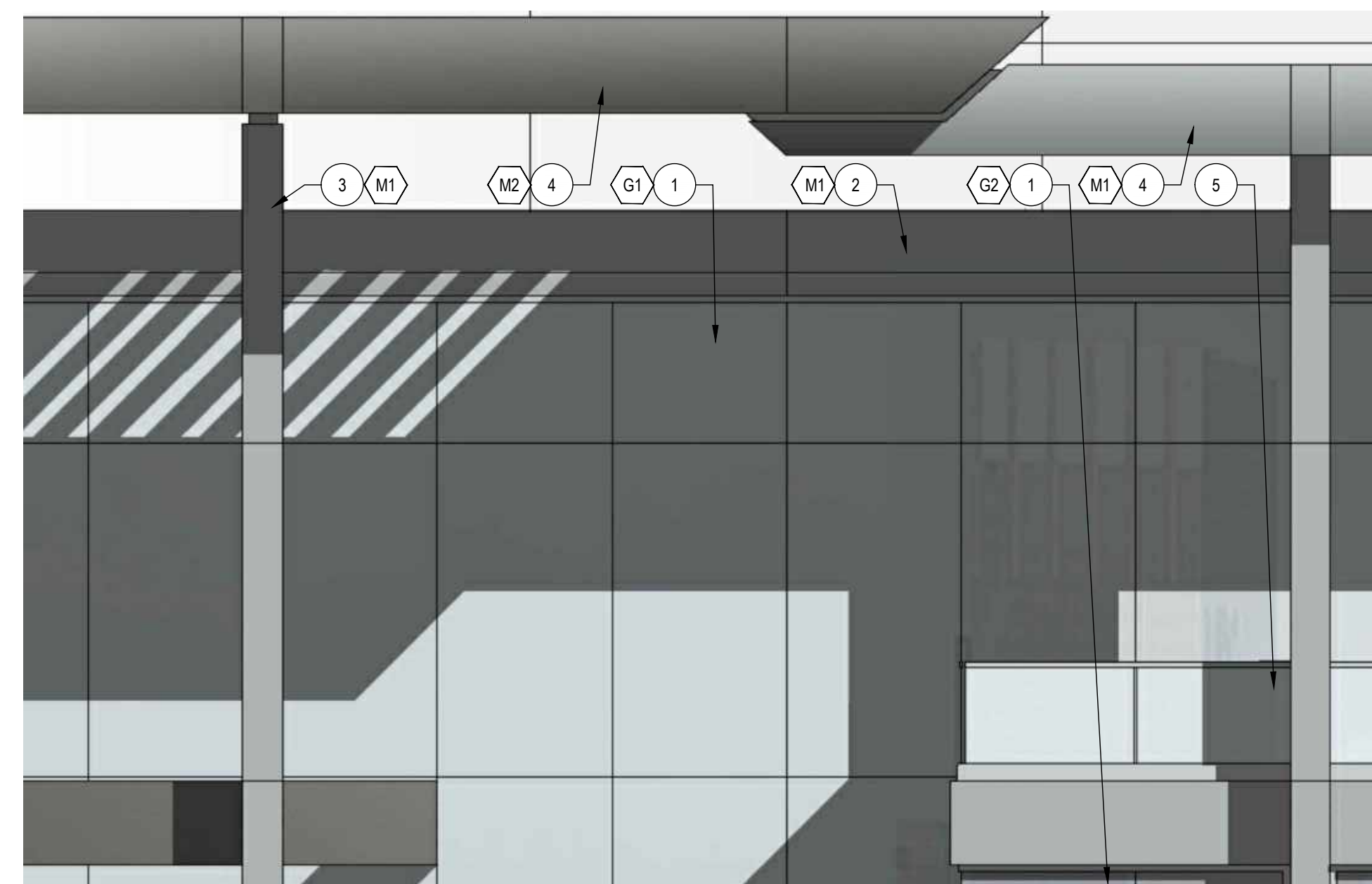
**EAST ELEVATION** 2  
SCALE: 1/16" = 1'-0"



**NORTH ELEVATION** 3  
SCALE: 1/16" = 1'-0"



**ENLARGED NORTH ELEVATION DETAIL** 20  
SCALE: 1/4" = 1'-0"



**ENLARGED NORTH ELEVATION DETAIL** 12  
SCALE: 1/4" = 1'-0"

**FINISH LEGEND**

- G1 GLAZING:  
MANUFACTURER: VIRAACON  
COLOR: LOW TINT
- G2 GLAZING:  
MANUFACTURER: VIRAACON  
COLOR: GRAY TINT
- M1 ALUMINUM COMPOSITE METAL PANEL TO MATCH:  
MANUFACTURER: REYNOBOND  
SERIES: COLORWELD 500XL  
FINISH: BRIGHT SILVER METALLIC
- M2 ALUMINUM COMPOSITE METAL PANEL TO MATCH:  
MANUFACTURER: CITADEL  
SERIES: ENVELOPE 2000  
FINISH: QUARTZ-ZINC NATURAL METALS

\* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION

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EXTERIOR ELEVATIONS

**A3.01**

PROJECT NO: 164152.00





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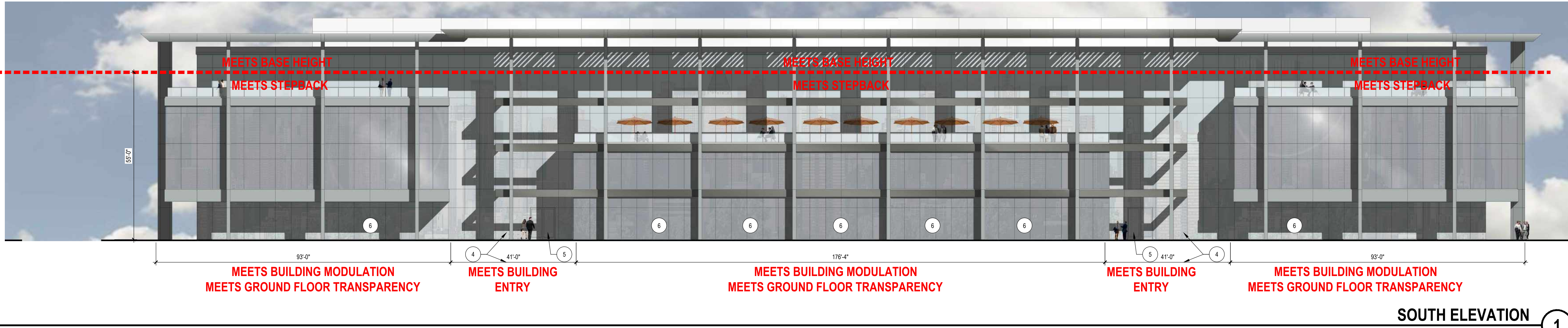
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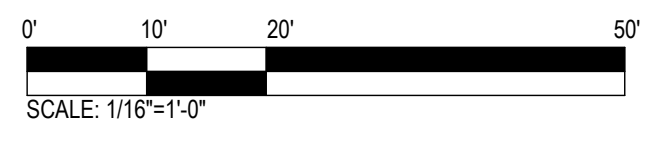
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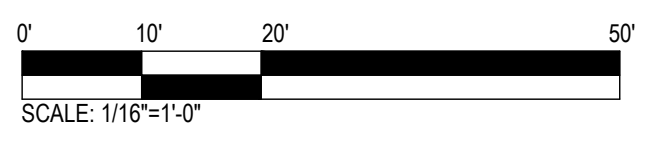
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**SOUTH ELEVATION** 1  
SCALE: 1/16" = 1'-0"



**EAST ELEVATION** 2  
SCALE: 1/16" = 1'-0"



**DESIGN STANDARDS - BUILDING MASS AND SCALE**

- 1 50'-0" PROVIDED BASE HEIGHT - MAXIMUM BASE HEIGHT IS 55'-0" BEFORE THE BUILDING STEPS BACK WITH BONUS LEVEL FRONTING A LOCAL STREET AND WITHIN THE FLOOD ZONE
- 2 10'-4" PROVIDED STEPBACK - MINIMUM STEPBACK IS 10'-0" FOR A MINIMUM OF 75% OF THE BUILDING FACE ALONG THE PUBLIC STREET
- 3 BUILDING PROJECTIONS - NOT APPLICABLE
- 4 (2) BUILDING MODULATIONS PROVIDED 170'-0" APART - ONE BUILDING MODULATION REQUIRED EVERY 200'-0"

**DESIGN STANDARDS - GROUND FLOOR EXTERIOR**

- 5 (2) BUILDING ENTRANCES PROVIDED TO BUILDING LENGTH ALONG THE PUBLIC STREET - ONE ENTRANCE PER PUBLIC STREET FRONTAGE REQUIRED
- 6 97% GROUND FLOOR TRANSPARENCY PROVIDED - 50% GROUND FLOOR TRANSPARENCY REQUIRED
- 7 16'-6" GROUND FLOOR HEIGHT PROVIDED - MINIMUM 15'-0" GROUND FLOOR HEIGHT

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EXTERIOR ELEVATIONS - DESIGN STANDARDS COMPLIANCE

**A3.02**

PROJECT NO: 164152.00





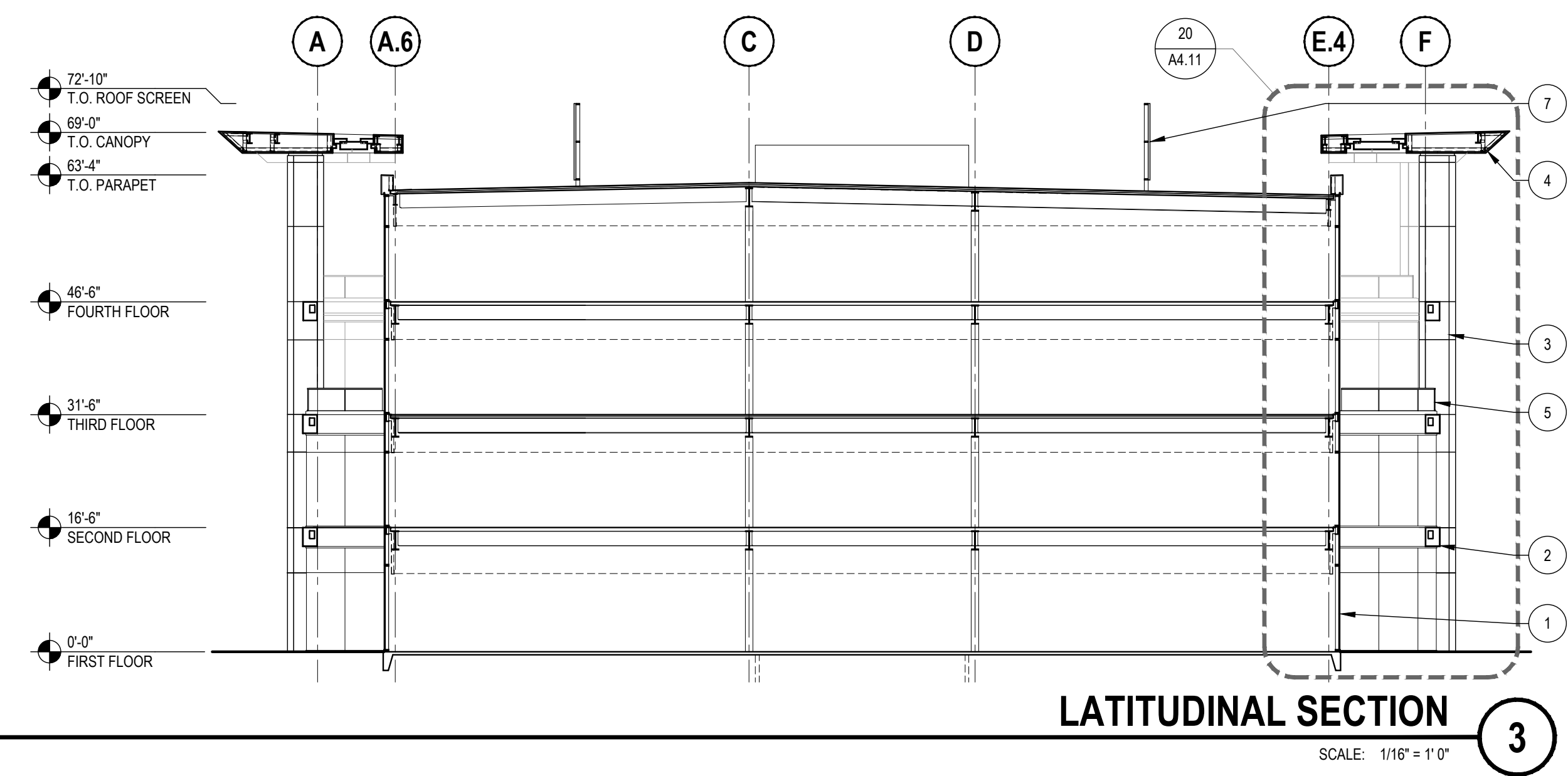
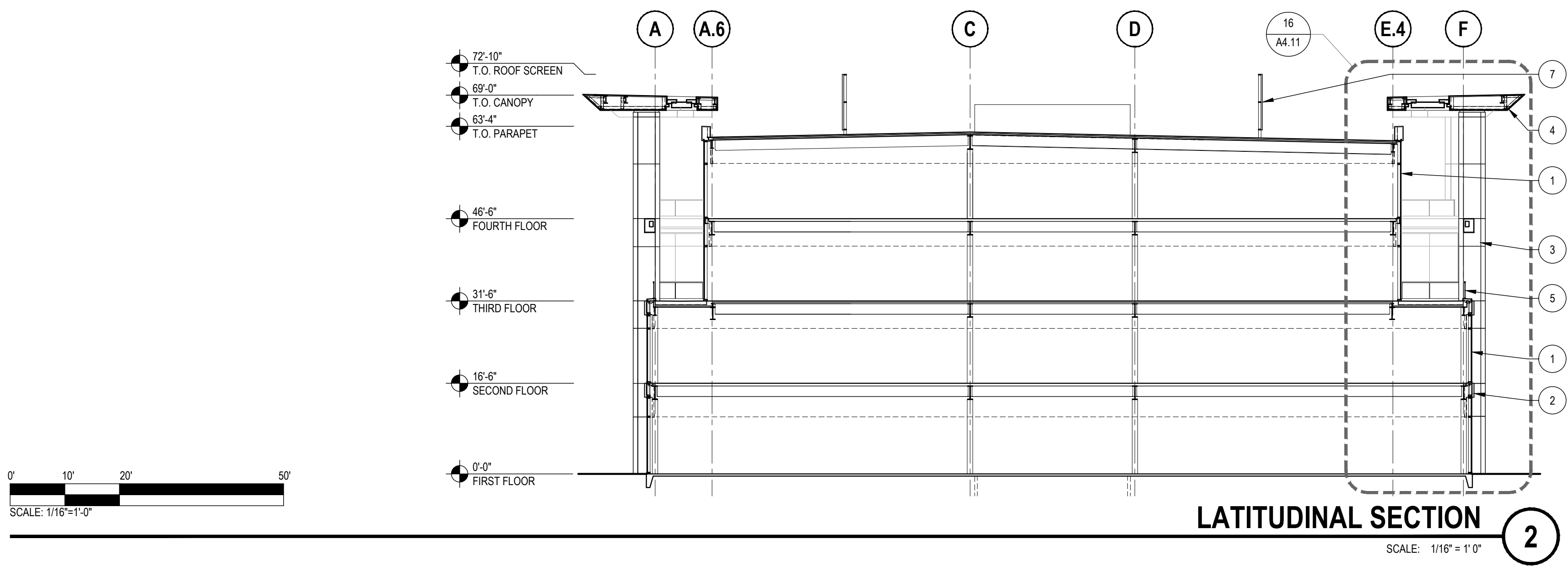
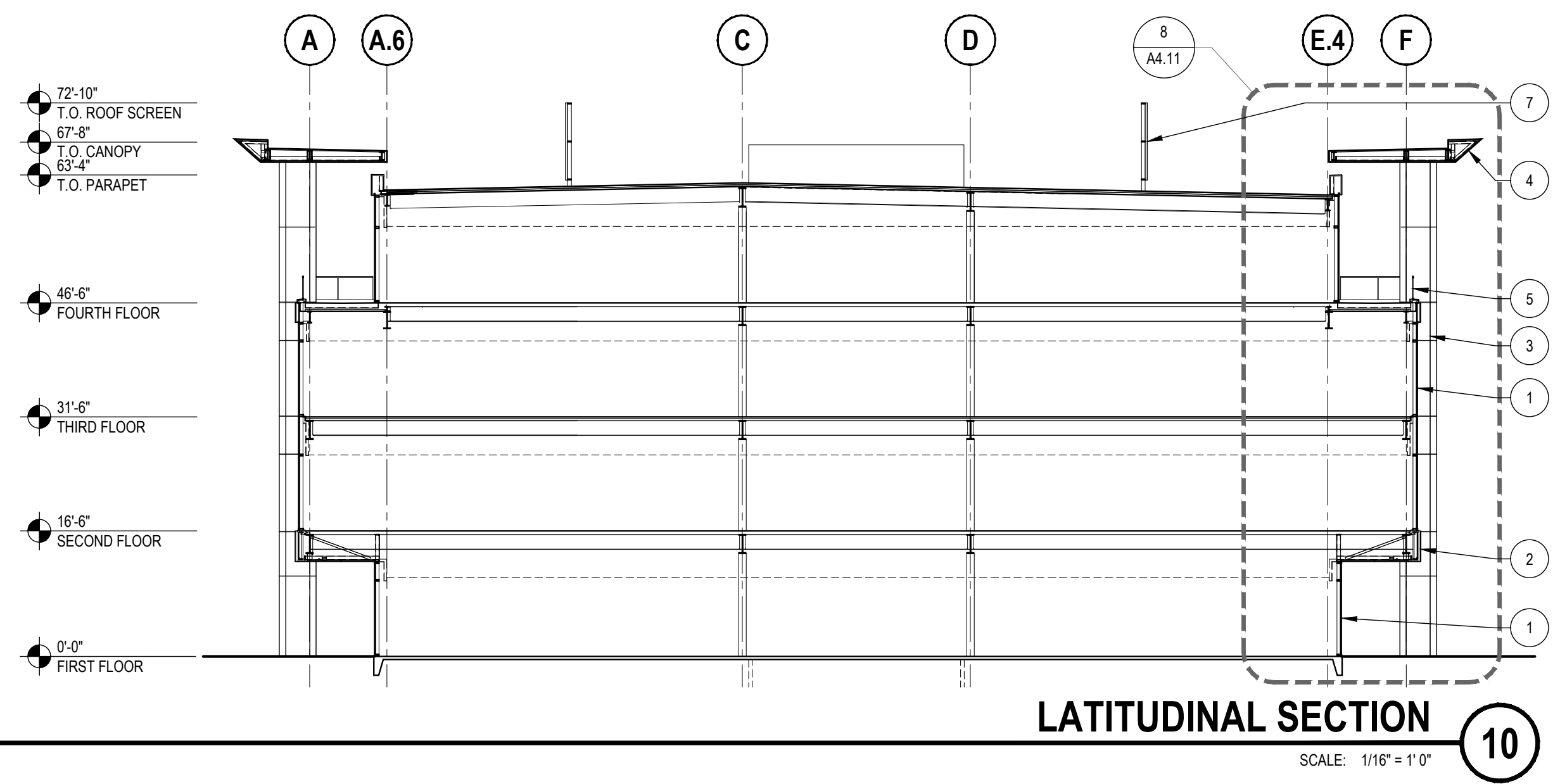
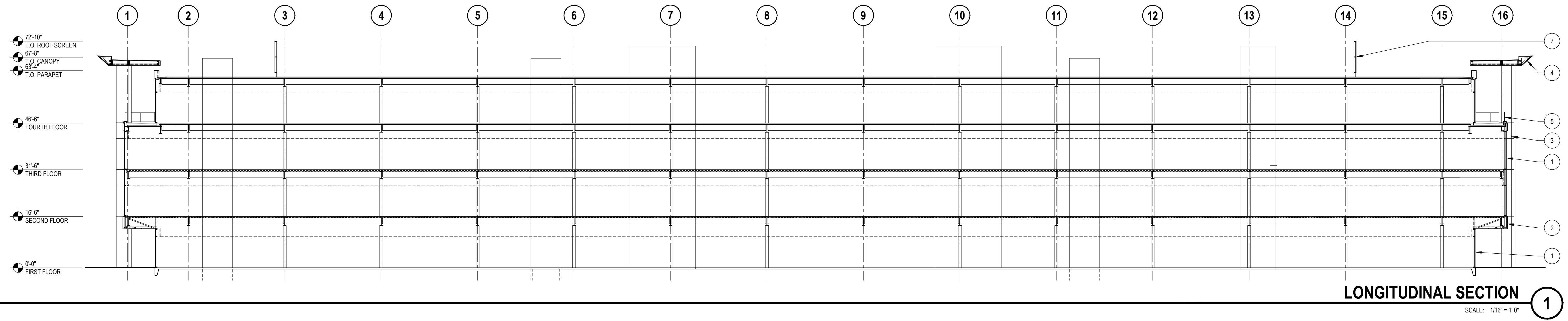
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BUILDING SECTIONS

**A4.01**

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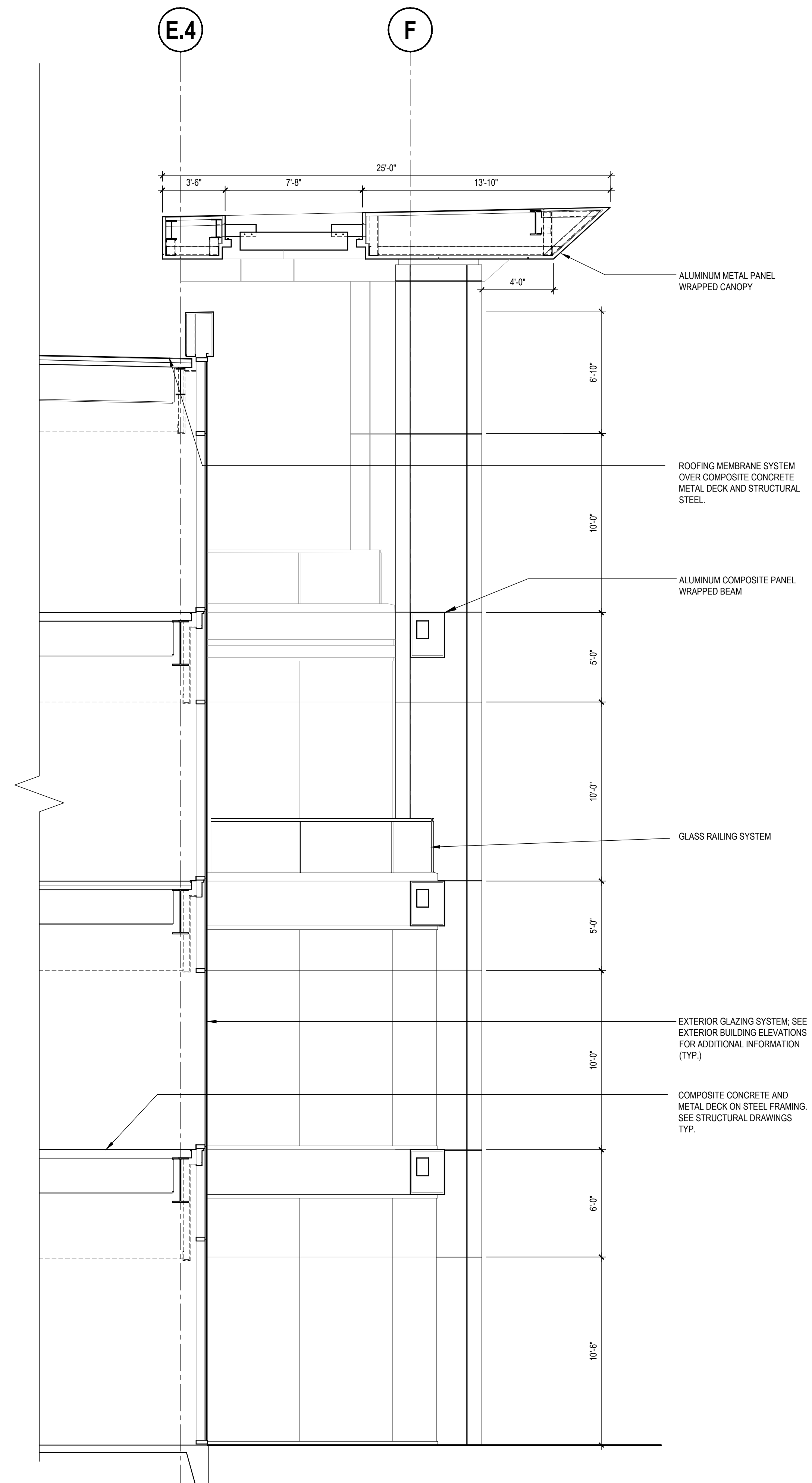
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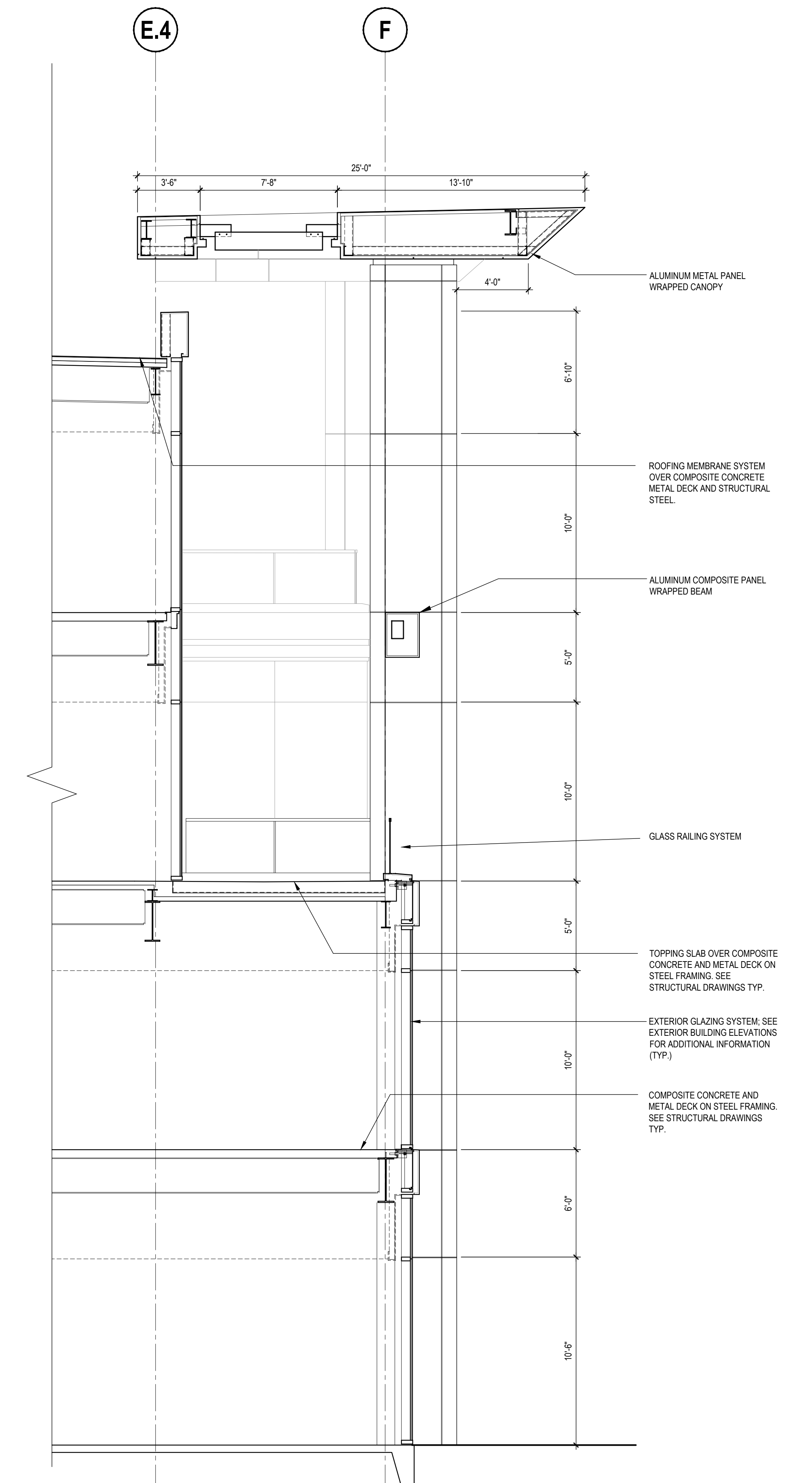
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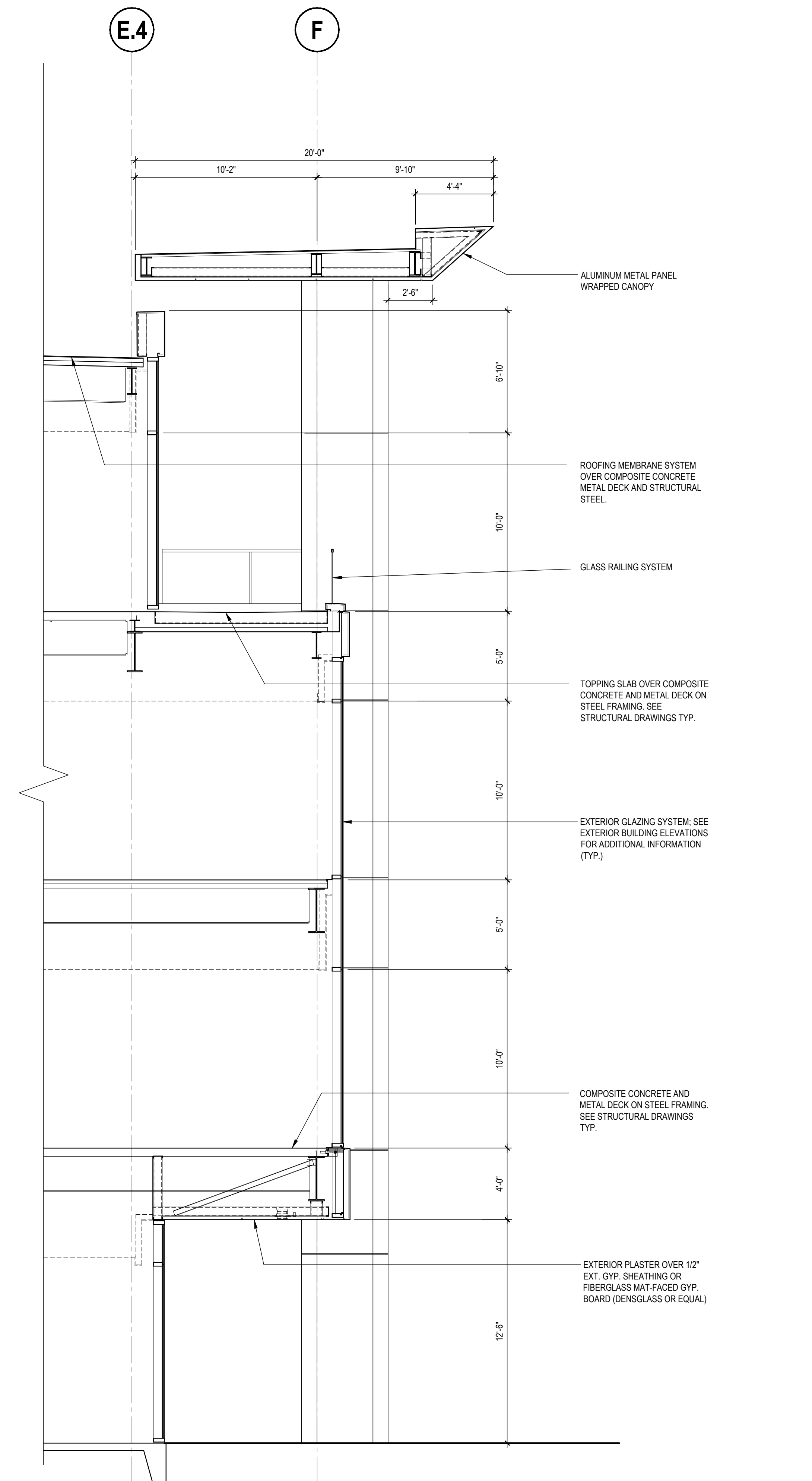
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**20 WALL SECTION**  
SCALE: 1/4" = 1'-0"



**16 WALL SECTION**  
SCALE: 1/4" = 1'-0"



**8 WALL SECTION**  
SCALE: 1/4" = 1'-0"

A Planning Application for:  
**The SOBATO** Organization  
COMMONWEALTH BUILDING 3  
MENLO PARK, CA 94052

DATE	DESCRIPTION
10.12.17	PLANNING APPLICATION
03.06.18	PLANNING RESUBMITTAL
08.01.18	PLANNING RESUBMITTAL
10.04.18	PLANNING RESUBMITTAL
04.17.19	PLANNING RESUBMITTAL
05.23.19	PLANNING RESUBMITTAL
04.09.21	PLANNING RESUBMITTAL
07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL

WALL SECTIONS

**A4.11**

PROJECT NO: 164152.00

P:\2024\164152\_00 - Commonwealth Building 3\164152\_00.dwg, Plot Date: 12/20/2024 10:58:00 AM







## GARAGE PARKING ANALYSIS

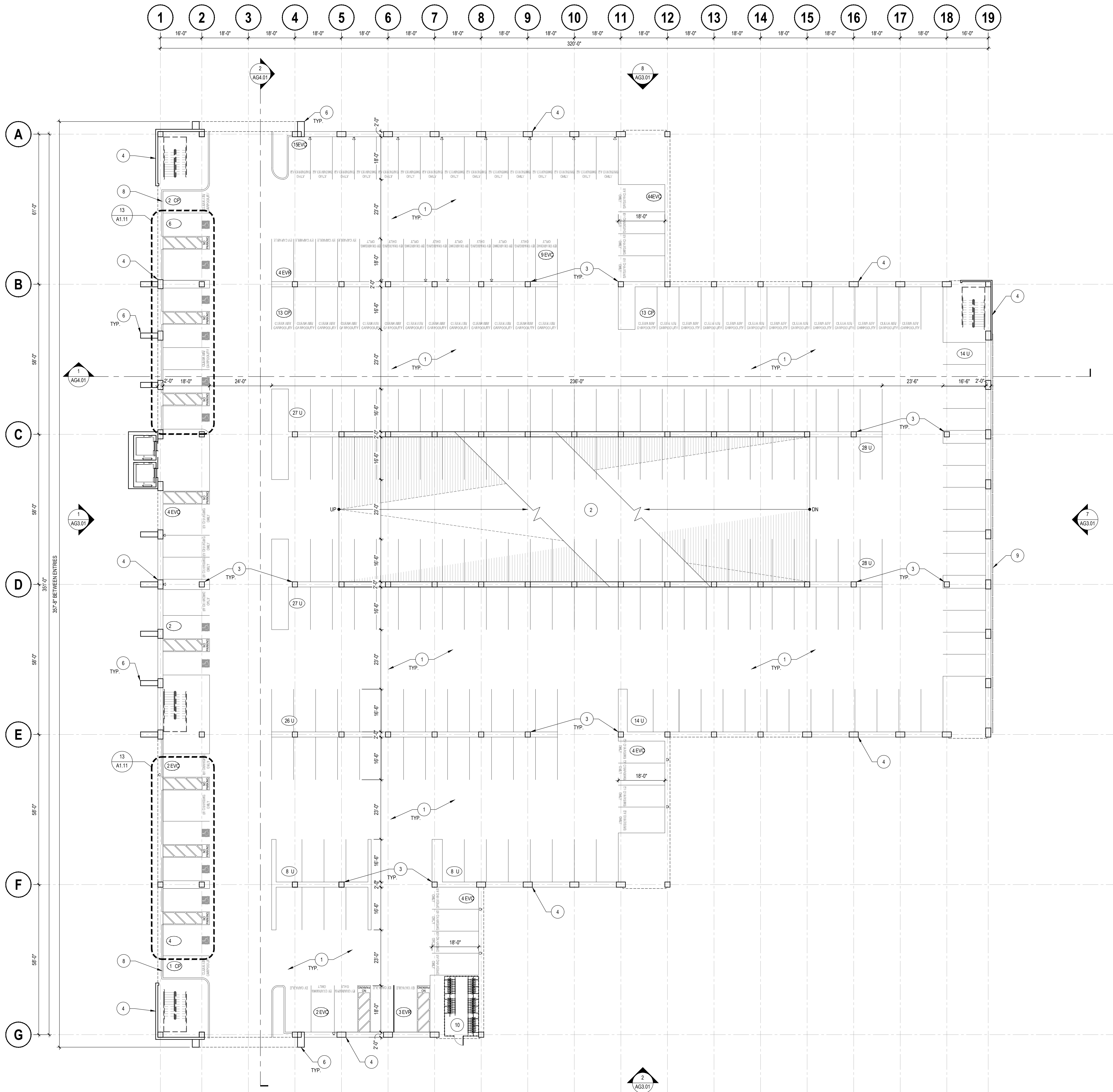
GARAGE PARKING PROVIDED		165 SPACES
STANDARD		165 SPACES
EVSE PARKING		3 SPACES
<b>FIRST LEVEL</b>		
STANDARD PARKING PROVIDED		180 SPACES
ACCESSIBLE PARKING PROVIDED		10 SPACES
VAN ACCESSIBLE PARKING PROVIDED		2 SPACES
CLEAN AIR/CARPOOL		28 SPACES
EVCS PARKING		44 SPACES
EVSE PARKING		7 SPACES
<b>SECOND LEVEL</b>		
STANDARD PARKING		251 SPACES
EVCS PARKING		24 SPACES
EVSE PARKING		19 SPACES
<b>THIRD LEVEL</b>		
STANDARD PARKING		253 SPACES
EVCS PARKING		24 SPACES
EVSE PARKING		19 SPACES
<b>FOURTH LEVEL</b>		
STANDARD PARKING		268 SPACES
EVCS PARKING		24 SPACES
EVSE PARKING		19 SPACES
<b>TOTAL PARKING PROVIDED</b>		<b>1,340 SPACES</b>

AUTOMOBILE PARKING STALL DIMENSIONS  
(PARKING STALLS AND DRIVEWAY DESIGN GUIDELINES)

STALL TYPE	WIDTH	DEPTH	AISLE	COMPLIANT
UNINSTALL	8'-6"	16'-6"	23'-0"	YES

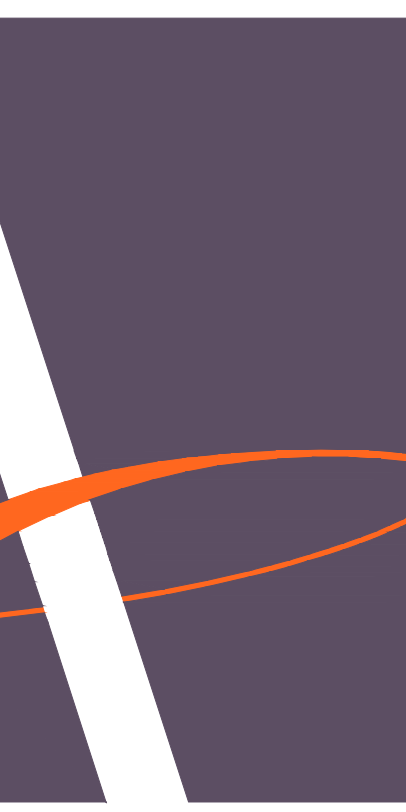
## KEY NOTES

- 1 TYPICAL PARKING STALL AND DRIVE AISLE; SEE DETAIL 8 / A1.11
- 2 PARKING RAMP WITH MAX. 5% SLOPE
- 3 CONCRETE COLUMN
- 4 CONCRETE WALL WITH REVEALS
- 5 GUARDRAIL
- 6 ALUMINUM COMPOSITE PANEL OVER METAL STUD FRAME
- 7 LINE OF CANOPY ABOVE - SHOWN DASHED
- 8 6" CONCRETE CURB
- 9 MESH SCREEN; SEE ELEVATIONS FOR DETAIL
- 10 BICYCLE STORAGE ENCLOSURE WITH 'DERO' HIGH EFFICIENCY BIKE FILES OR APPROVED EQUIVALENT



## FIRST LEVEL GARAGE FLOOR PLAN

SCALE: 1/8" = 1'-0"



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10.12.17	PLANNING APPLICATION
03.01.18	PLANNING RESUBMITTAL
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04.17.19	PLANNING RESUBMITTAL
05.23.19	PLANNING RESUBMITTAL
04.09.21	PLANNING RESUBMITTAL
07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL

FIRST LEVEL  
GARAGE FLOOR PLAN

**AG2.11**

PROJECT NO: 164152.00



# GARAGE PARKING ANALYSIS

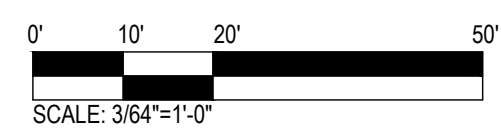
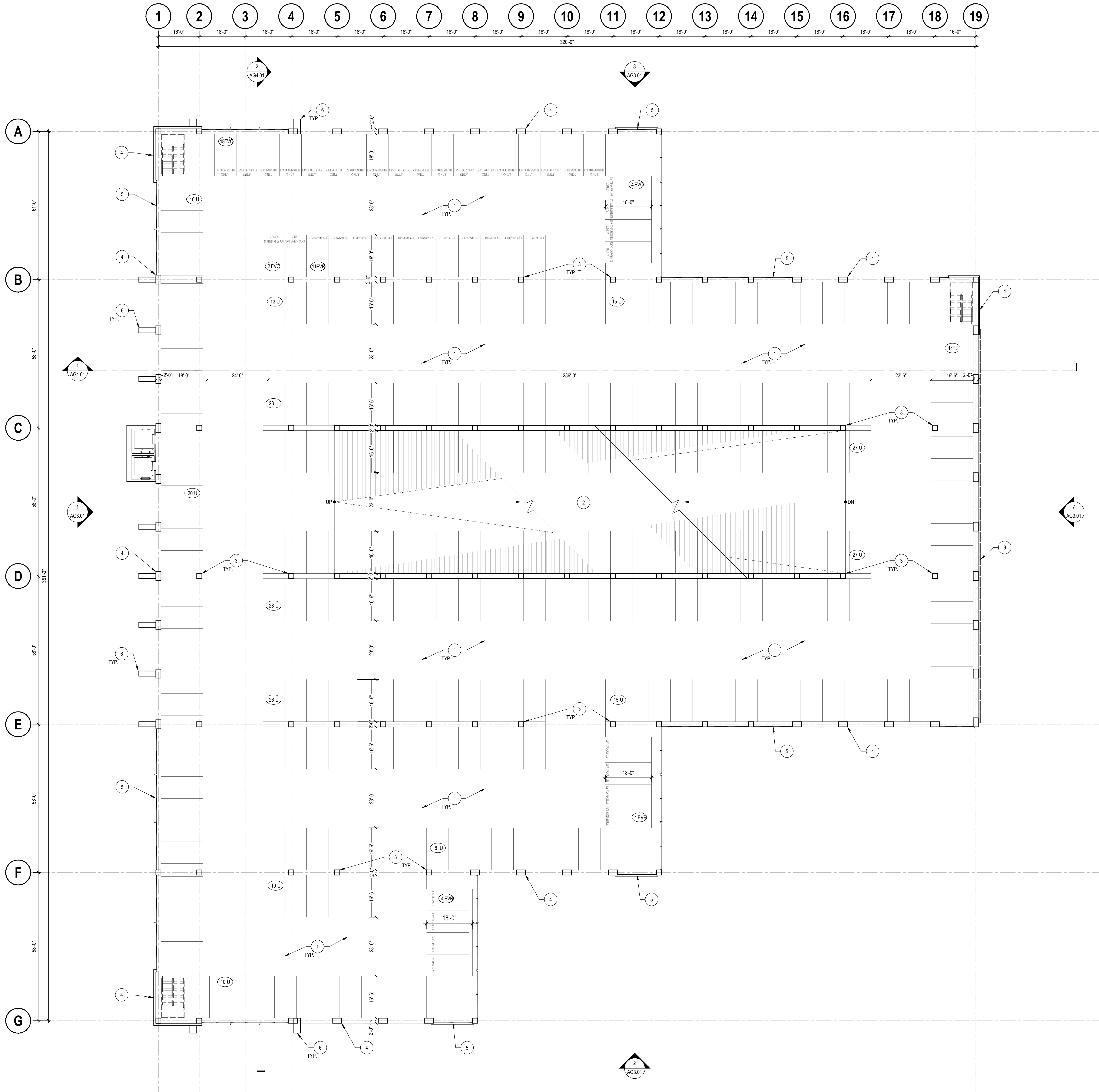
GARAGE PARKING PROVIDED		165 SPACES
STANDARD	EVSE PARKING	3 SPACES
FIRST LEVEL		180 SPACES
STANDARD PARKING PROVIDED	ACCESSIBLE PARKING PROVIDED	2 SPACES
VAN ACCESSIBLE PARKING PROVIDED	CLEAN AIR/CARPOOL	28 SPACES
EVCS PARKING	EVSE PARKING	44 SPACES
EVSE PARKING		7 SPACES
SECOND LEVEL		251 SPACES
STANDARD PARKING	EVCS PARKING	24 SPACES
EVSE PARKING		19 SPACES
THIRD LEVEL		253 SPACES
STANDARD PARKING	EVCS PARKING	24 SPACES
EVSE PARKING		19 SPACES
FOURTH LEVEL		268 SPACES
STANDARD PARKING	EVCS PARKING	24 SPACES
EVSE PARKING		19 SPACES
TOTAL PARKING PROVIDED		1,340 SPACES

AUTOMOBILE PARKING STALL DIMENSIONS  
(PARKING STALLS AND DRIVEWAY DESIGN GUIDELINES)

STALL TYPE	WIDTH	DEPTH	AISLE	COMPLIANT
UNINSTALL	8'-6"	16'-6"	23'-0"	YES

## KEY NOTES

- 1 TYPICAL PARKING STALL AND DRIVE AISLE; SEE DETAIL 8 / A1.11
- 2 PARKING RAMP WITH MAX. 5% SLOPE
- 3 CONCRETE COLUMN
- 4 CONCRETE WALL WITH REVEALS
- 5 GUARDRAIL
- 6 ALUMINUM COMPOSITE PANEL OVER METAL STUD FRAME
- 7 LINE OF CANOPY ABOVE - SHOWN DASHED
- 8 6" CONCRETE CURB
- 9 MESH SCREEN; SEE ELEVATIONS FOR DETAIL
- 10 BICYCLE STORAGE ENCLOSURE WITH 'DERO' HIGH EFFICIENCY BIKE FILES OR APPROVED EQUIVALENT



## SECOND LEVEL GARAGE FLOOR PLAN

SCALE: 1/16" = 1'-0"



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05.23.19	PLANNING RESUBMITTAL
04.09.21	PLANNING RESUBMITTAL
07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL

SECOND LEVEL  
GARAGE FLOOR PLAN

**AG2.12**

PROJECT NO: 164152.00



# GARAGE PARKING ANALYSIS

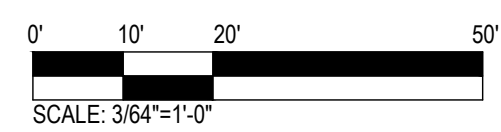
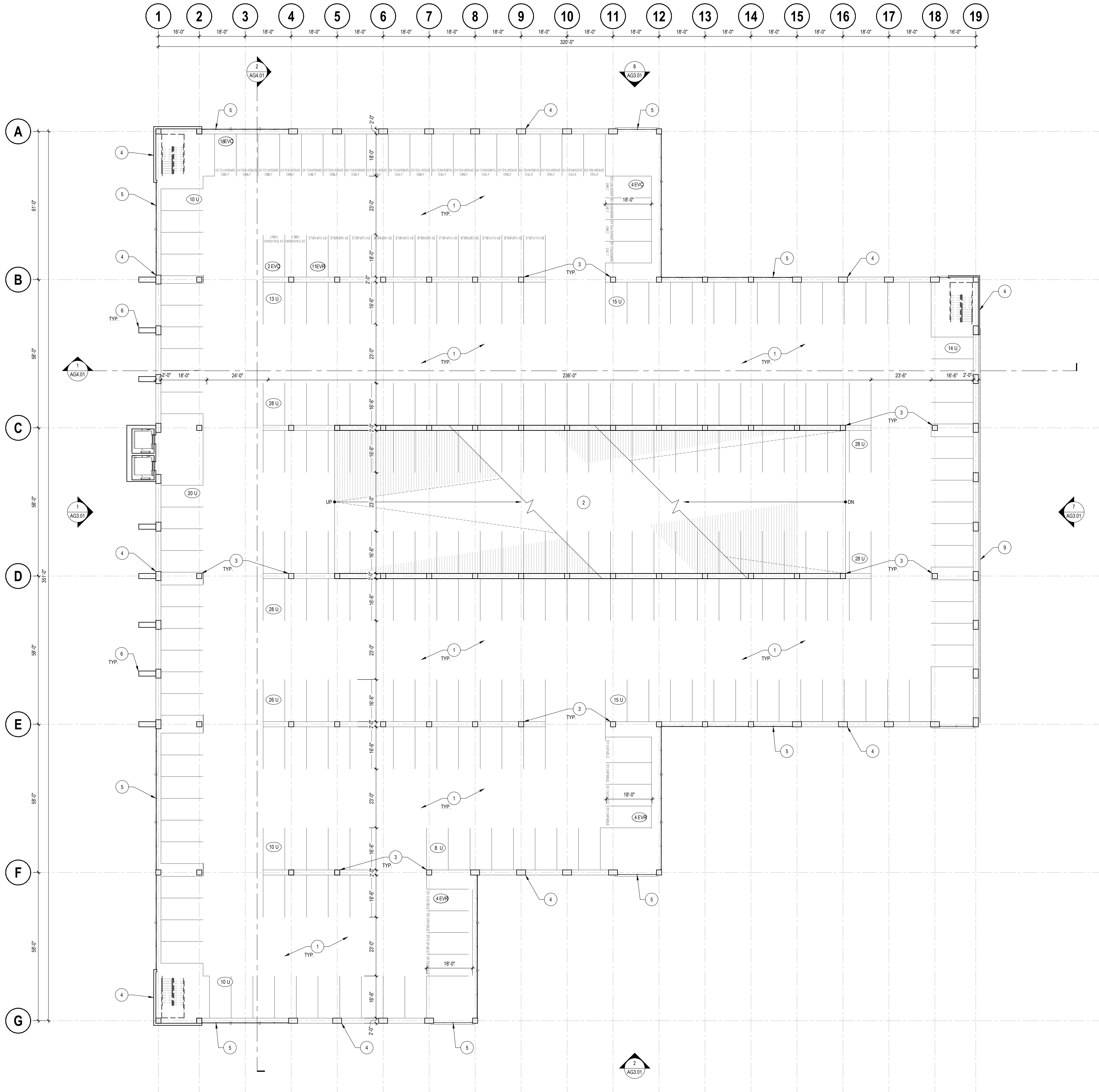
GARAGE PARKING PROVIDED	
STANDARD PARKING	165 SPACES
EVSE PARKING	3 SPACES
FIRST LEVEL	
STANDARD PARKING PROVIDED	180 SPACES
ACCESSIBLE PARKING PROVIDED	10 SPACES
VAN ACCESSIBLE PARKING PROVIDED	2 SPACES
CLEAN AIR/CARPOOL	28 SPACES
EVCS PARKING	44 SPACES
EVSE PARKING	7 SPACES
SECOND LEVEL	
STANDARD PARKING	251 SPACES
EVCS PARKING	24 SPACES
EVSE PARKING	19 SPACES
THIRD LEVEL	
STANDARD PARKING	253 SPACES
EVCS PARKING	24 SPACES
EVSE PARKING	19 SPACES
FOURTH LEVEL	
STANDARD PARKING	288 SPACES
EVCS PARKING	24 SPACES
EVSE PARKING	19 SPACES
TOTAL PARKING PROVIDED	
	1,340 SPACES

## AUTOMOBILE PARKING STALL DIMENSIONS (PARKING STALLS AND DRIVEWAY DESIGN GUIDELINES)

STALL TYPE	WIDTH	DEPTH	AISLE	COMPLIANT
UNINSTALL	8'-6"	16'-6"	23'-0"	YES

## KEY NOTES

- 1 TYPICAL PARKING STALL AND DRIVE AISLE; SEE DETAIL B / A1.11
- 2 PARKING RAMP WITH MAX. 5% SLOPE
- 3 CONCRETE COLUMN
- 4 CONCRETE WALL WITH REVEALS
- 5 GUARDRAIL
- 6 ALUMINUM COMPOSITE PANEL OVER METAL STUD FRAME
- 7 LINE OF CANOPY ABOVE - SHOWN DASHED
- 8 6" CONCRETE CURB
- 9 MESH SCREEN; SEE ELEVATIONS FOR DETAIL
- 10 BICYCLE STORAGE ENCLOSURE WITH 'DERO' HIGH EFFICIENCY BIKE FILES OR APPROVED EQUIVALENT



## THIRD LEVEL GARAGE FLOOR PLAN

SCALE: 1/16" = 1'-0"



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COMMONWEALTH: BUILDING 3  
MENLO PARK, CA 94052

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05.23.19	PLANNING RESUBMITTAL
04.09.21	PLANNING RESUBMITTAL
07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL

THIRD LEVEL  
GARAGE FLOOR PLAN

**AG2.13**

PROJECT NO: 164152.00





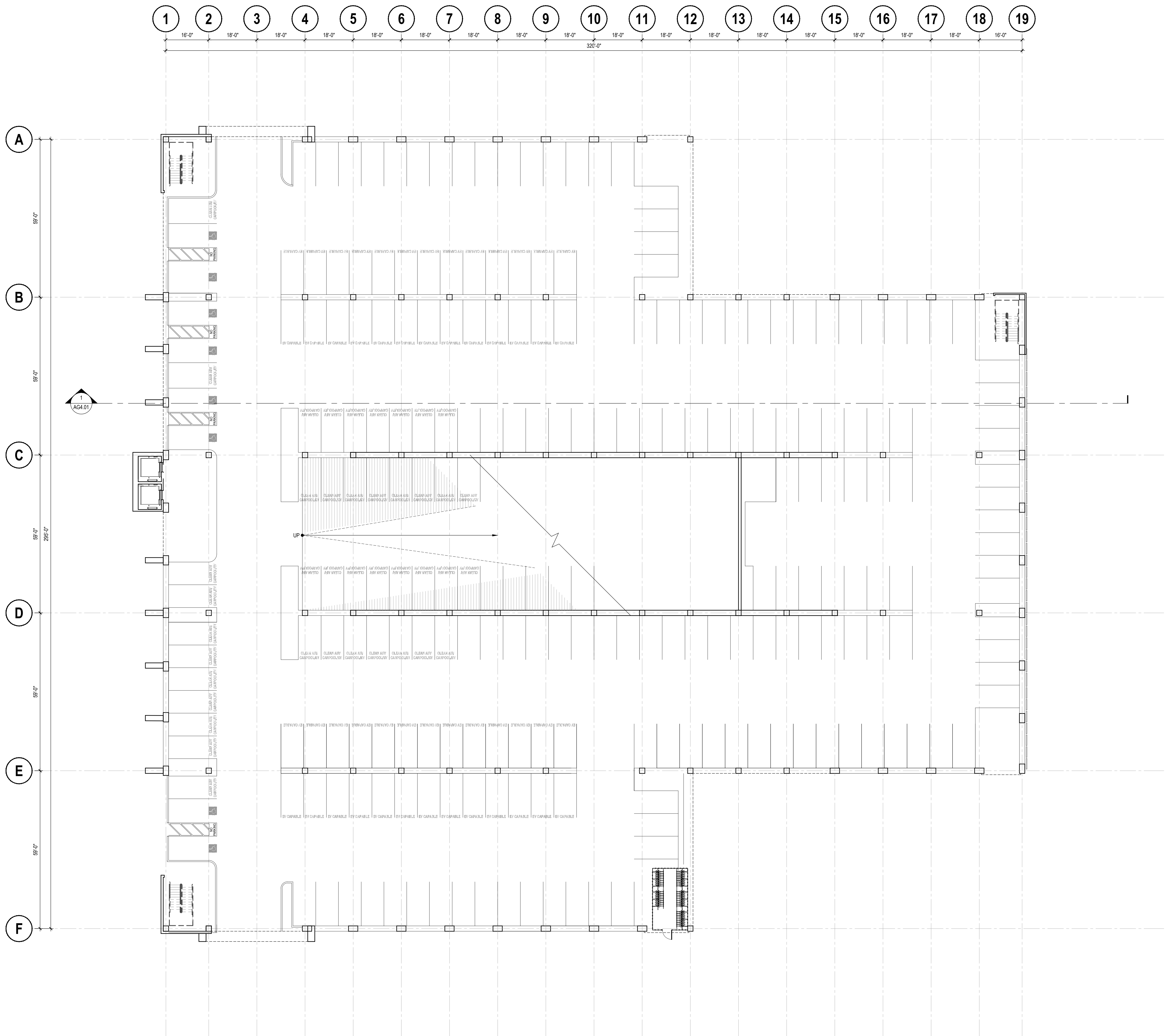












## GARAGE PARKING ANALYSIS

GARAGE PARKING PROVIDED	
FIRST LEVEL	211 SPACES
STANDARD PARKING PROVIDED	7 SPACES
ACCESSIBLE PARKING PROVIDED	1 SPACE
VAN ACCESSIBLE PARKING PROVIDED	
SECOND LEVEL	
STANDARD PARKING	276 SPACES
THIRD LEVEL	
STANDARD PARKING	276 SPACES
FOURTH LEVEL	
STANDARD PARKING	283 SPACES
TOTAL PARKING PROVIDED	1,061 SPACES

## AUTOMOBILE PARKING STALL DIMENSIONS (PARKING STALLS AND DRIVEWAY DESIGN GUIDELINES)

STALL TYPE	WIDTH	DEPTH	AISLE	COMPLIANT
UNISTALL	8'-6"	16'-6"	23'-0"	YES

## KEY NOTES

- 1 TYPICAL PARKING STALL AND DRIVE AISLE: SEE DETAIL 8 / A1.11
- 2 PARKING RAMP WITH MAX. 5% SLOPE
- 3 CONCRETE COLUMN
- 4 CONCRETE WALL WITH REVEALS
- 5 GUARDRAIL
- 6 ALUMINUM COMPOSITE PANEL OVER METAL STUD FRAME
- 7 LINE OF CANOPY ABOVE - SHOWN DASHED
- 8 6" CONCRETE CURB
- 9 MESH SCREEN: SEE ELEVATIONS FOR DETAIL
- 10 BICYCLE STORAGE ENCLOSURE WITH 'DERO' HIGH EFFICIENCY BIKE FILES OR APPROVED EQUIVALENT



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07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL

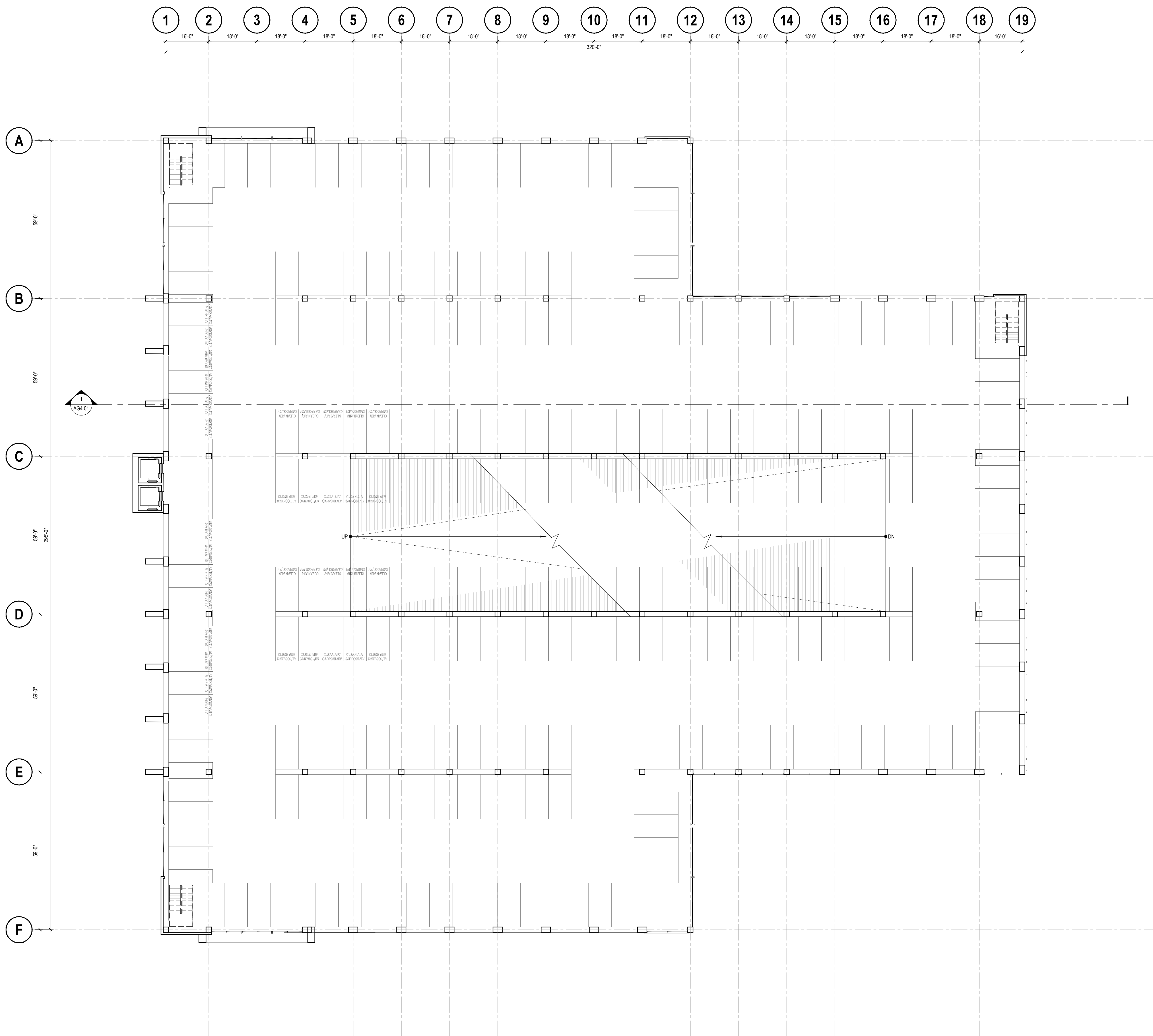
FIRST LEVEL  
GARAGE FLOOR PLAN

**AG2.11AD**

PROJECT NO: 164152.00







### GARAGE PARKING ANALYSIS

GARAGE PARKING PROVIDED	
FIRST LEVEL	211 SPACES
STANDARD PARKING PROVIDED	7 SPACES
ACCESSIBLE PARKING PROVIDED	1 SPACE
VAN ACCESSIBLE PARKING PROVIDED	
SECOND LEVEL	276 SPACES
STANDARD PARKING	276 SPACES
THIRD LEVEL	
STANDARD PARKING	276 SPACES
FOURTH LEVEL	
STANDARD PARKING	283 SPACES
TOTAL PARKING PROVIDED	1,067 SPACES

#### AUTOMOBILE PARKING STALL DIMENSIONS (PARKING STALLS AND DRIVEWAY DESIGN GUIDELINES)

STALL TYPE	WIDTH	DEPTH	AISLE	COMPLIANT
UNISTALL	8'-6"	16'-6"	23'-0"	YES

### KEY NOTES

- 1 TYPICAL PARKING STALL AND DRIVE AISLE: SEE DETAIL 8 / A1.11
- 2 PARKING RAMP WITH MAX. 5% SLOPE
- 3 CONCRETE COLUMN
- 4 CONCRETE WALL WITH REVEALS
- 5 GUARDRAIL
- 6 ALUMINUM COMPOSITE PANEL OVER METAL STUD FRAME
- 7 LINE OF CANOPY ABOVE - SHOWN DASHED
- 8 6" CONCRETE CURB
- 9 MESH SCREEN: SEE ELEVATIONS FOR DETAIL
- 10 BICYCLE STORAGE ENCLOSURE WITH 1600' HIGH EFFICIENCY BIKE FILES OR APPROVED EQUIVALENT



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07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL

SECOND LEVEL  
GARAGE FLOOR PLAN

**AG2.12AD**

PROJECT NO: 164152.00

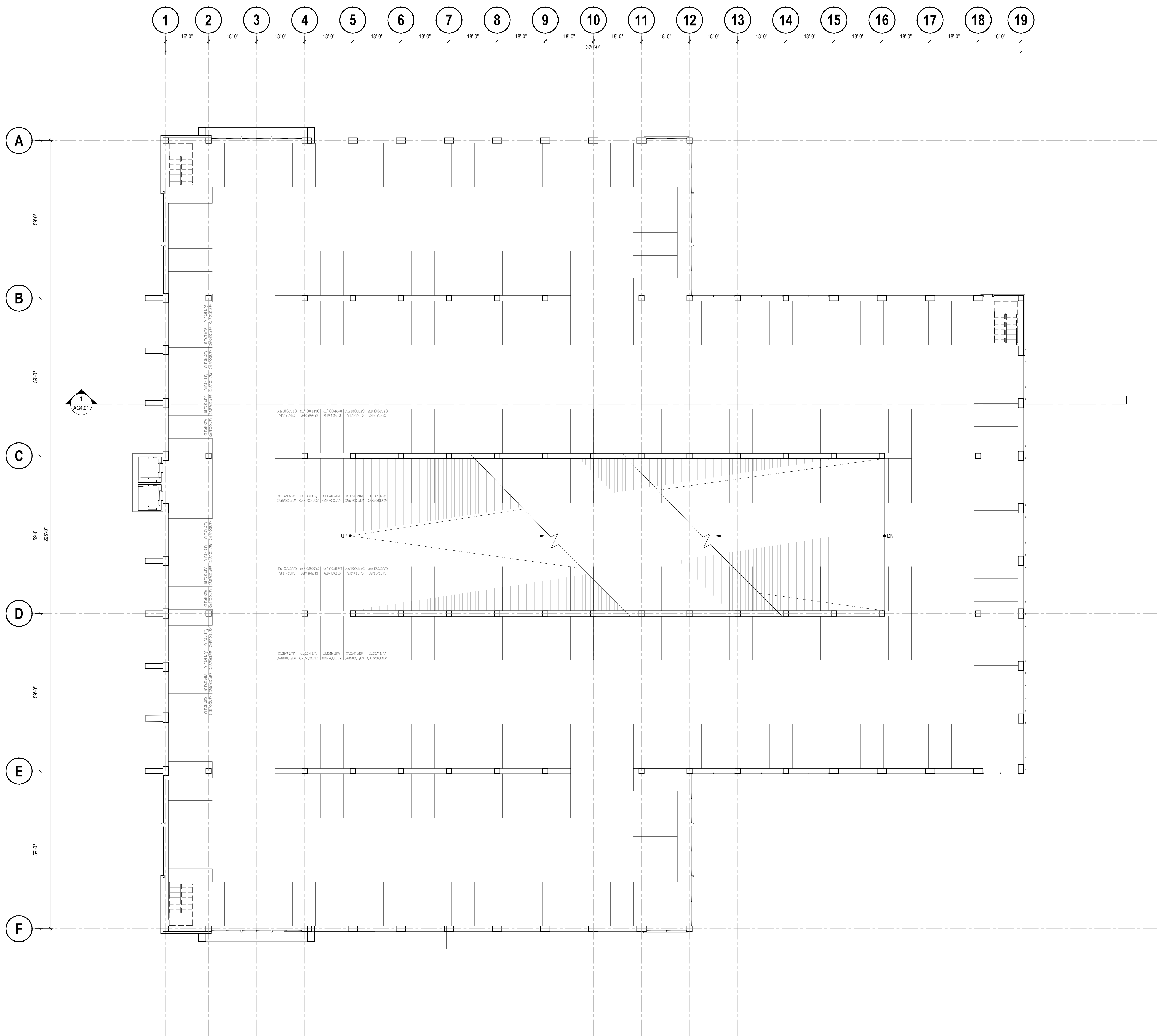
0' 10' 20' 30'  
SCALE: 3/64"=1'-0"

### SECOND LEVEL GARAGE FLOOR PLAN-ADDENDUM

SCALE: 1/16" = 1'-0"







### GARAGE PARKING ANALYSIS

GARAGE PARKING PROVIDED	
FIRST LEVEL	211 SPACES
STANDARD PARKING PROVIDED	7 SPACES
ACCESSIBLE PARKING PROVIDED	1 SPACE
VAN ACCESSIBLE PARKING PROVIDED	
SECOND LEVEL	
STANDARD PARKING	276 SPACES
STANDARD PARKING	276 SPACES
THIRD LEVEL	
STANDARD PARKING	276 SPACES
FOURTH LEVEL	
STANDARD PARKING	283 SPACES
<b>TOTAL PARKING PROVIDED</b>	<b>1,061 SPACES</b>

#### AUTOMOBILE PARKING STALL DIMENSIONS (PARKING STALLS AND DRIVEWAY DESIGN GUIDELINES)

STALL TYPE	WIDTH	DEPTH	AISLE	COMPLIANT
UNISTALL	8'-6"	16'-6"	23'-0"	YES

### KEY NOTES

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- 5 GUARDRAIL
- 6 ALUMINUM COMPOSITE PANEL OVER METAL STUD FRAME
- 7 LINE OF CANOPY ABOVE - SHOWN DASHED
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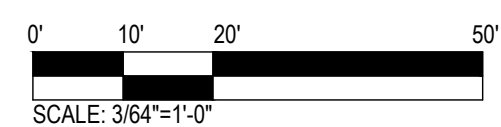
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05.23.19	PLANNING RESUBMITTAL
04.09.21	PLANNING RESUBMITTAL
07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL

THIRD LEVEL  
GARAGE FLOOR PLAN

**AG2.13AD**

PROJECT NO: 164152.00



### THIRD LEVEL GARAGE FLOOR PLAN-ADDENDUM

SCALE: 1/16" = 1'-0"





## GARAGE PARKING ANALYSIS

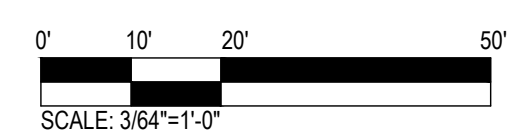
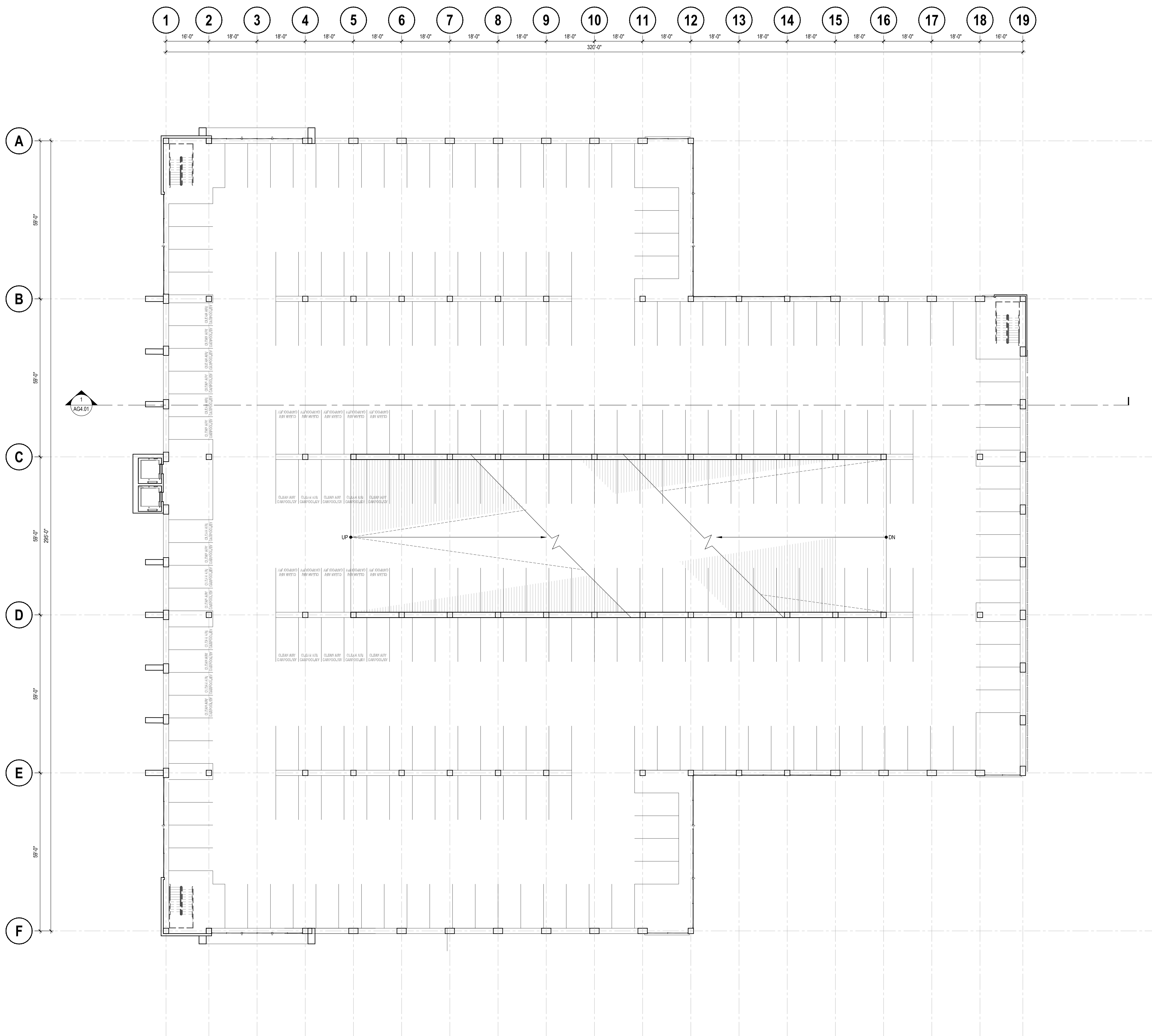
GARAGE PARKING PROVIDED	
FIRST LEVEL	211 SPACES
STANDARD PARKING PROVIDED	7 SPACES
ACCESSIBLE PARKING PROVIDED	1 SPACE
VAN ACCESSIBLE PARKING PROVIDED	276 SPACES
SECOND LEVEL	276 SPACES
STANDARD PARKING	276 SPACES
THIRD LEVEL	276 SPACES
STANDARD PARKING	276 SPACES
FOURTH LEVEL	276 SPACES
STANDARD PARKING	276 SPACES
<b>TOTAL PARKING PROVIDED</b>	<b>1,081 SPACES</b>

### AUTOMOBILE PARKING STALL DIMENSIONS (PARKING STALLS AND DRIVEWAY DESIGN GUIDELINES)

STALL TYPE	WIDTH	DEPTH	AISLE	COMPLIANT
UNISTALL	8'-6"	16'-6"	23'-0"	YES

## KEY NOTES

- 1 TYPICAL PARKING STALL AND DRIVE AISLE; SEE DETAIL 8 / A1.11
- 2 PARKING RAMP WITH MAX. 5% SLOPE
- 3 CONCRETE COLUMN
- 4 CONCRETE WALL WITH REVEALS
- 5 GUARDRAIL
- 6 ALUMINUM COMPOSITE PANEL OVER METAL STUD FRAME
- 7 LINE OF CANOPY ABOVE - SHOWN DASHED
- 8 6" CONCRETE CURB
- 9 MESH SCREEN; SEE ELEVATIONS FOR DETAIL
- 10 BICYCLE STORAGE ENCLOSURE WITH 1600' HIGH EFFICIENCY BIKE FILES OR APPROVED EQUIVALENT



## FOURTH LEVEL GARAGE FLOOR PLAN-ADDENDUM

SCALE: 1/16" = 1'-0"



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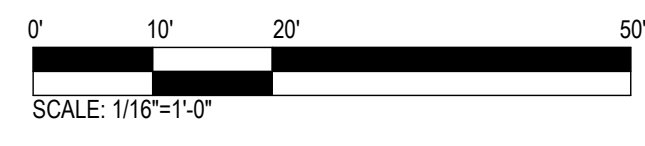
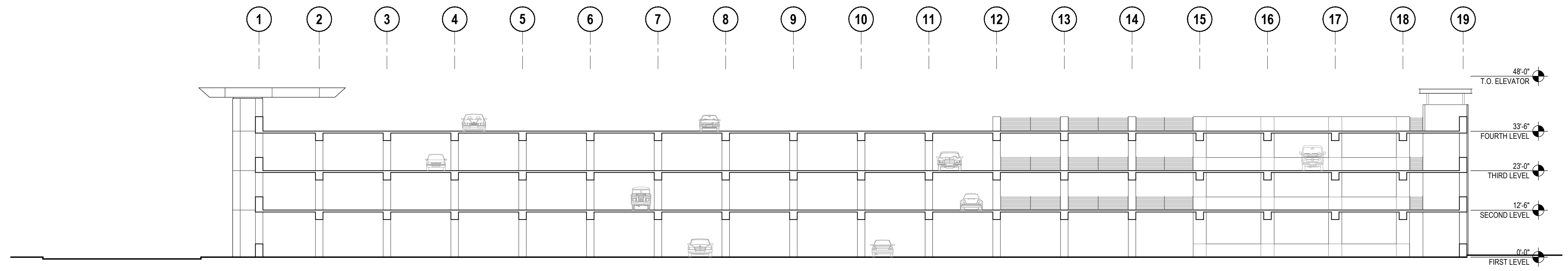
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04.17.19	PLANNING RESUBMITTAL
05.23.19	PLANNING RESUBMITTAL
04.09.21	PLANNING RESUBMITTAL
07.12.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL

FOURTH LEVEL  
GARAGE FLOOR PLAN

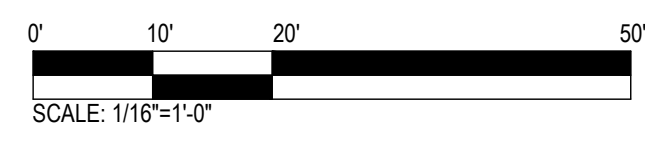
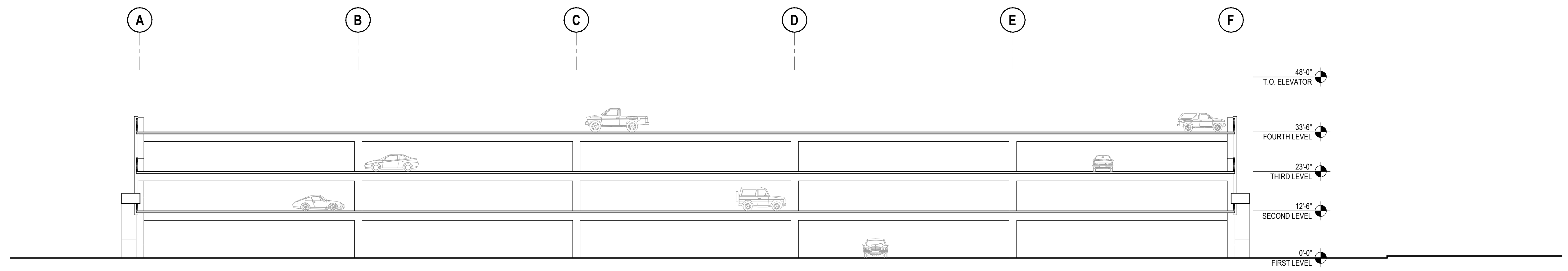
**AG2.14AD**

PROJECT NO: 164152.00





**LONGITUDINAL SECTION 1**  
SCALE: 1/16" = 1'-0"



**LATITUDINAL SECTION 2**  
SCALE: 1/16" = 1'-0"



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05.04.22	PLANNING RESUBMITTAL

GARAGE SECTIONS

**AG4.01AD**

PROJECT NO: 164152.00

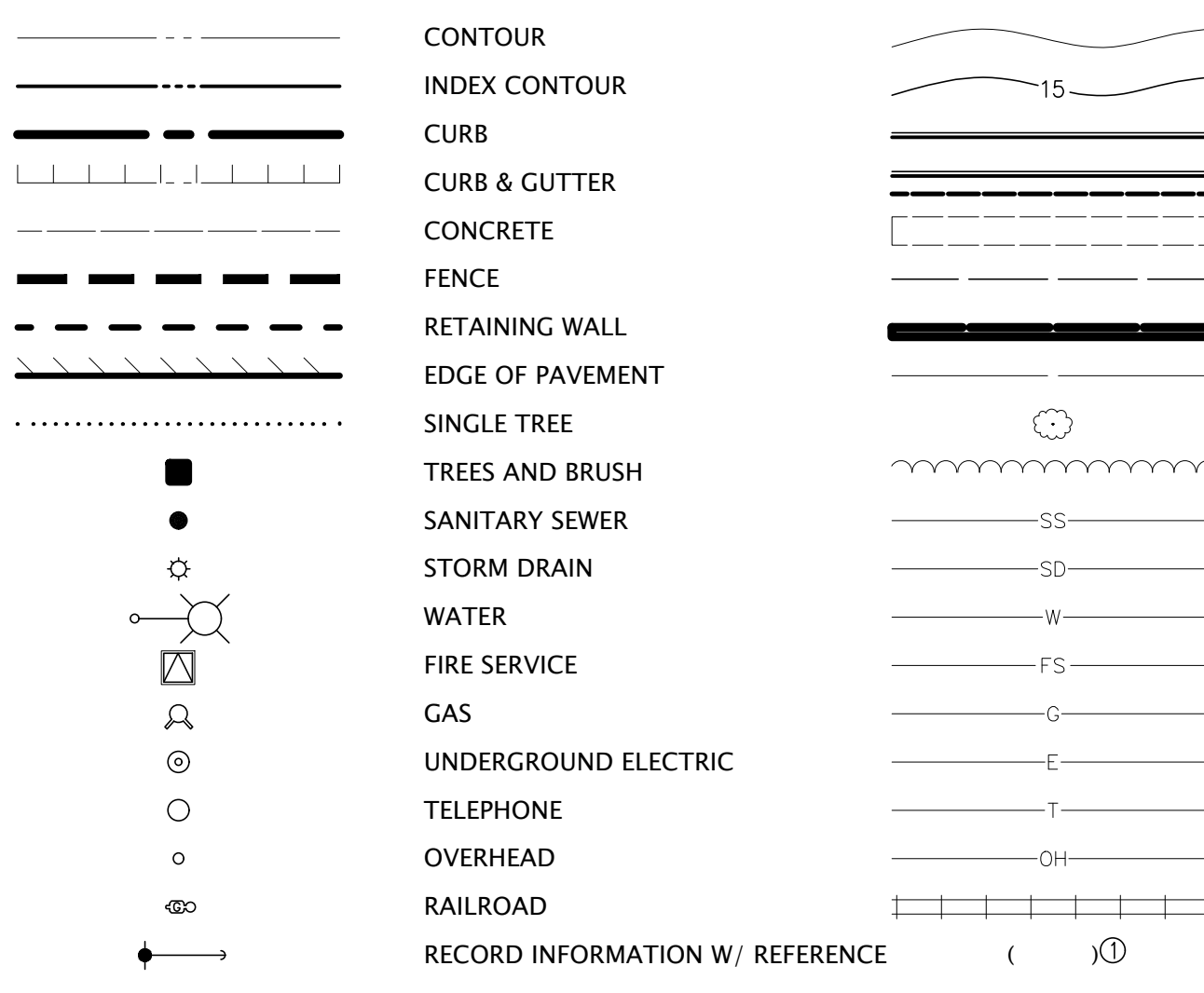


**NOTES**

- THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING, PROPERTY LINE PLOT ONLY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THIS IS NOT A UTILITY SURVEY. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE STRUCTURES, IF ANY, ARE NOT SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 06081C0306F FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH AN EFFECTIVE DATE OF APRIL 5, 2019, AS BEING LOCATED IN FLOOD ZONE "AE (EL 11 FEET)". ACCORDING TO FEMA THE DEFINITION OF ZONE "AE" IS: AREAS OF THE 1% ANNUAL FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR, BASE FLOOD ELEVATIONS DETERMINED (11 FEET).  
  
FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.
- BENCHMARK: BM-2: CITY OF MENLO PARK. BRONZE DISK EPOXIED INTO THE TOP OF A CONCRETE CURB AT THE EASTERLY CURB RETURN OF THE SOUTHERLY CURB LINE OF CONSTITUTION DRIVE, EASTERLY OF JEFFERSON DRIVE. ELEVATION: 7.497 FEET, NGVD-88 (DATUM)
- BASIS OF BEARINGS: THE BEARING OF NORTH 67° 17' 00" WEST TAKEN ON THE CENTER LINE OF JEFFERSON DRIVE AS SHOWN ON THAT CERTAIN RECORDED SUBDIVISION MAP ENTITLED "BOHANNON INDUSTRIAL PARK UNIT NO. 5" FILED FOR RECORD ON MAY 24, 1962, IN BOOK 56 OF MAPS AT PAGE 57, OFFICIAL RECORDS OF SAN MATEO COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
- CORNER RECORD NOTE: THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE
- NON-ACCESS
- BUILDING SETBACK LINE
- APPROX. FLOOD ZONE BOUNDARY
- EASEMENT
- BUILDING LINE WITH DOOR
- BUILDING OVERHANG
- FOUND MONUMENT AS NOTED
- FOUND IRON PIPE OR AS NOTED
- LIGHT
- STREET LIGHT
- TRANSFORMER
- FIRE HYDRANT
- STORM DRAIN MANHOLE
- MANHOLE
- CLEAN OUT
- GAS METER
- UTILITY POLE W/ GUY WIRE
- VALVE
- CATCH BASIN / DROP INLET
- WATER METER
- FIRE DEPARTMENT CONNECTION
- BACK FLOW PREVENTER
- POST INDICATOR VALVE
- AUTOMATIC SPRINKLER RISER
- MONITORING WELL
- UTILITY BOX (SIZE VARIES)
- SIGN
- BOLLARD
- TREE W/ SIZE, TAG AND ELEVATION
- SPOT ELEVATION
- AERIAL SPOT ELEVATION

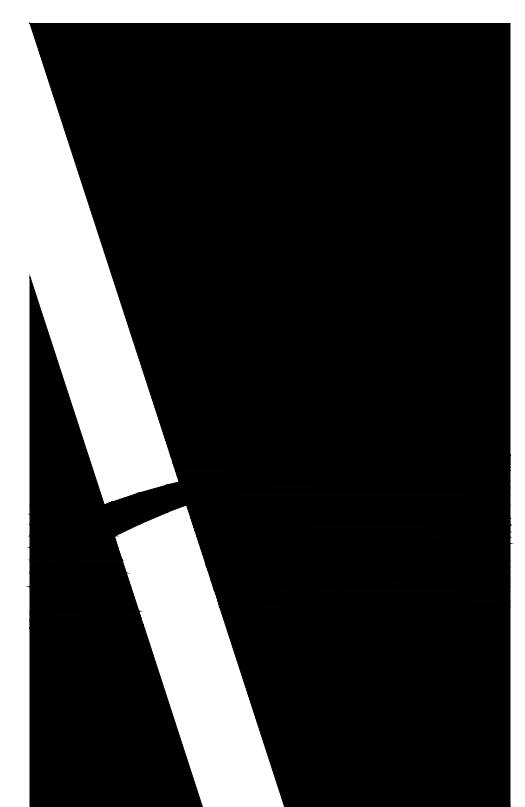
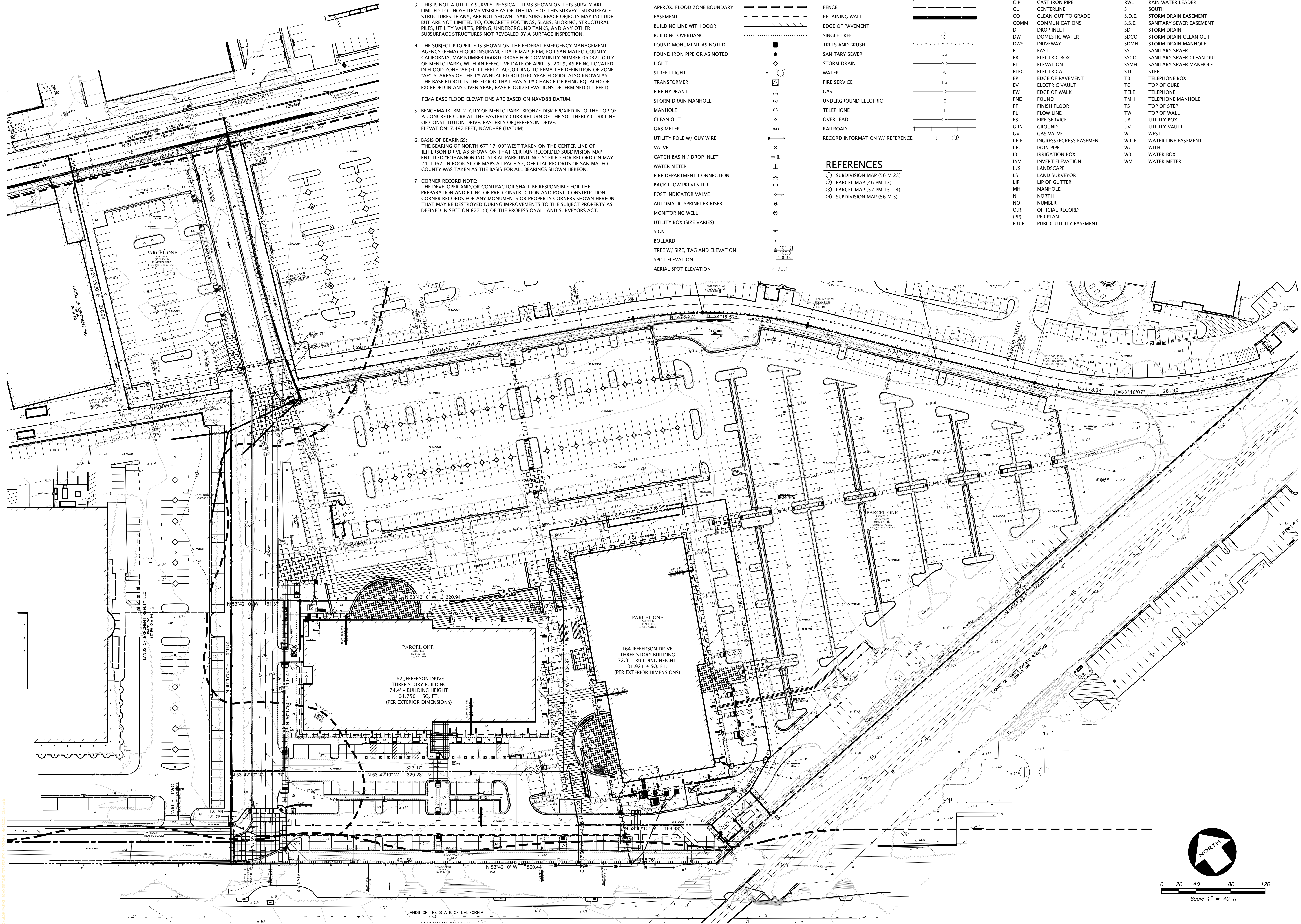


**REFERENCES**

- SUBDIVISION MAP (56 M 23)
- PARCEL MAP (46 PM 17)
- PARCEL MAP (57 PM 13-14)
- SUBDIVISION MAP (56 M 5)

**ABBREVIATIONS**

AC	ASPHALTIC CONCRETE	PM	PARCEL MAP
ACP	ASBESTOS CEMENT PIPE	PV	PAVEMENT
BFP	BACK FLOW PREVENTER	(R)	RADIAL
BS	BOTTOM OF STEP	R.R.E.	RAIL ROAD EASEMENT
CAB	CABINET	RCP	REINFORCED CONCRETE PIPE
CB	CATCH BASIN	RIM	RIM ELEVATION
CIP	CAST IRON PIPE	RWL	RAIN WATER LEADER
CL	CENTERLINE	S	SOUTH
CO	CLEAN OUT TO GRADE	S.D.E.	STORM DRAIN EASEMENT
COMM	COMMUNICATIONS	S.S.E.	SANITARY SEWER EASEMENT
DI	DROP INLET	SD	STORM DRAIN
DW	DOMESTIC WATER	SDCO	STORM DRAIN CLEAN OUT
DWY	DRIVEWAY	SDMH	STORM DRAIN MANHOLE
E	EAST	SS	SANITARY SEWER
EB	ELECTRIC BOX	SSCO	SANITARY SEWER CLEAN OUT
EL	ELEVATION	SSMH	SANITARY SEWER MANHOLE
ELEC	ELECTRICAL	STL	STEEL
EP	EDGE OF PAVEMENT	TB	TELEPHONE BOX
EV	ELECTRIC VAULT	TC	TOP OF CURB
EW	EDGE OF WALK	TELE	TELEPHONE
FND	FOUND	TMH	TELEPHONE MANHOLE
FF	FINISH FLOOR	TS	TOP OF STEP
FL	FLOW LINE	TW	TOP OF WALL
FS	FIRE SERVICE	UB	UTILITY BOX
GRN	GROUND	UV	UTILITY VAULT
GV	GAS VALVE	W	WEST
I.E.	INGRESS/EGRESS EASEMENT	W.L.E.	WATER LINE EASEMENT
I.P.	IRON PIPE	W/	WITH
IB	IRRIGATION BOX	WB	WATER BOX
INV	INVERT ELEVATION	WM	WATER METER
L/S	LANDSCAPE		
LS	LAND SURVEYOR		
LIP	LIP OF GUTTER		
MH	MANHOLE		
N	NORTH		
NO.	NUMBER		
O.R.	OFFICIAL RECORD		
(PP)	PER PLAN		
P.U.E.	PUBLIC UTILITY EASEMENT		



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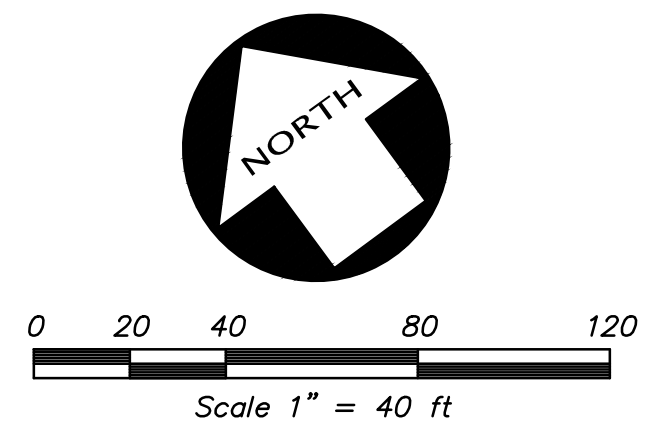
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06.28.21	PLANNING RESUBMITTAL
05.03.22	PLANNING RESUBMITTAL



**TOPOGRAPHIC SURVEY**

**C1.0**  
PROJECT NO: 164152.00





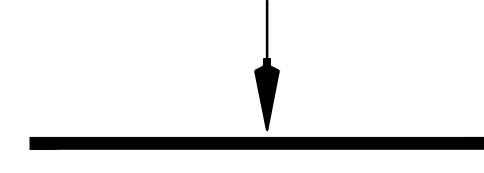
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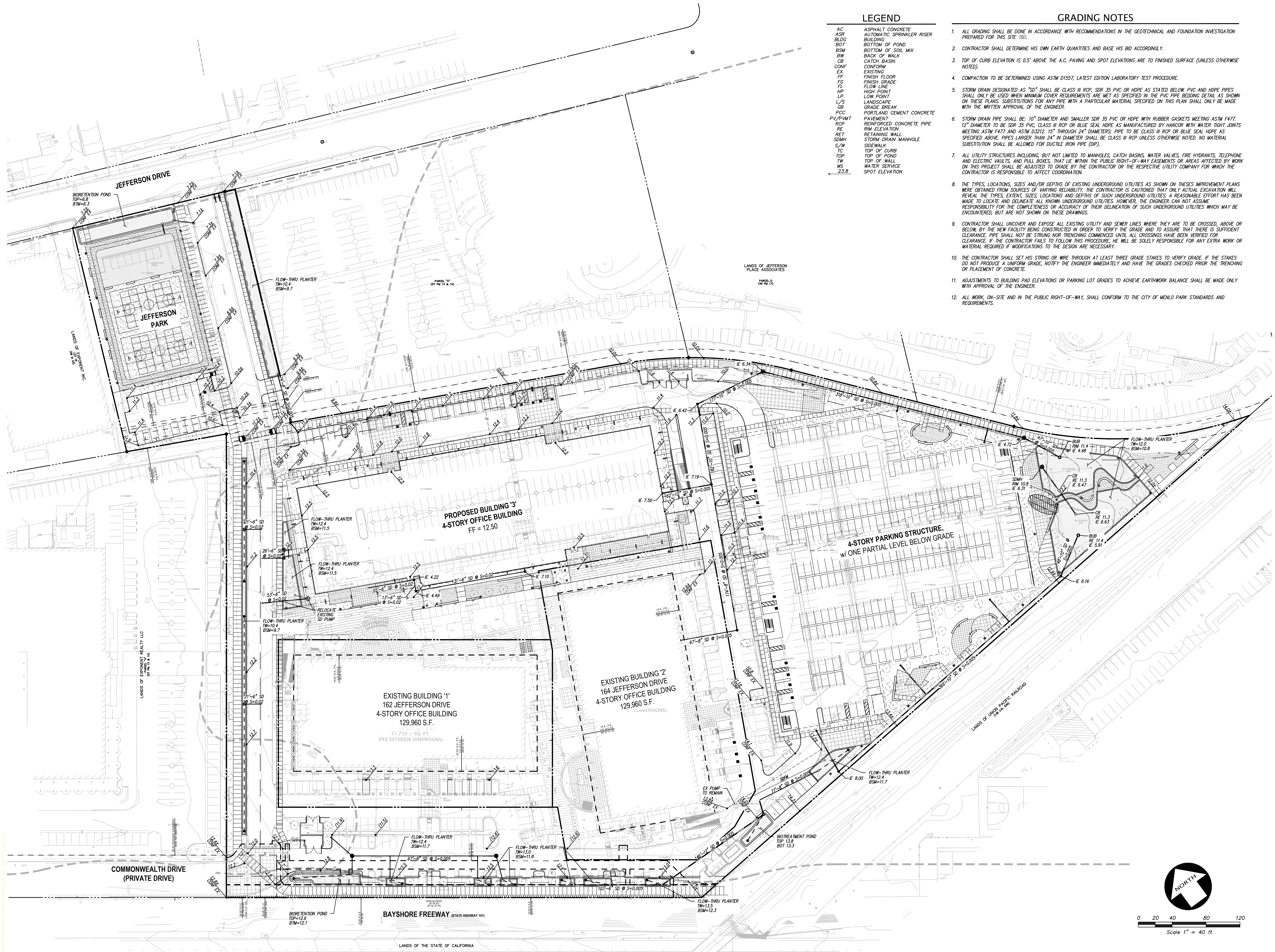
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**LEGEND**

- AC ASPHALT CONCRETE
- ASR AUTOMATIC SPRINKLER RISER
- BDG BUILDING
- BOT BOTTOM OF POND
- BSM BOTTOM OF SOIL MIX
- BW BACK OF WALK
- CB CATCH BASIN
- CONF CONFORM
- EX EXISTING
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOW LINE
- HP HIGH POINT
- LP LOW POINT
- L/S LANDSCAPE
- GB GRADE BREAK
- PCC PORTLAND CEMENT CONCRETE
- PV/PVMT PAVEMENT
- RCP REINFORCED CONCRETE PIPE
- RE RIM ELEVATION
- RET RETAINING WALL
- SDMH STORM DRAIN MANHOLE
- S/W SIDEWALK
- TC TOP OF CURB
- TOP TOP OF POND
- TW TOP OF WALL
- WS WATER SERVICE
- 23.8 SPOT ELEVATION

**GRADING NOTES**

1. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL AND FOUNDATION INVESTIGATION PREPARED FOR THIS SITE 180.
2. CONTRACTOR SHALL DETERMINE HIS OWN EARTH QUANTITIES AND BASE HIS BID ACCORDINGLY.
3. TOP OF CURB ELEVATION IS 0.5' ABOVE THE A.C. PAVING AND SPOT ELEVATIONS ARE TO FINISHED SURFACE. (UNLESS OTHERWISE NOTED).
4. COMPACTION TO BE DETERMINED USING ASTM D1557, LATEST EDITION LABORATORY TEST PROCEDURE.
5. STORM DRAIN DESIGNATED AS "SD" SHALL BE CLASS III RCP, SDR 35 PVC OR HDPE AS STATED BELOW. PVC AND HDPE PIPES SHALL ONLY BE USED WHEN MINIMUM COVER REQUIREMENTS ARE MET AS SPECIFIED IN THE PVC PIPE BEDDING DETAIL AS SHOWN ON THESE PLANS. SUBSTITUTIONS FOR ANY PIPE WITH A PARTICULAR MATERIAL SPECIFIED ON THIS PLAN SHALL ONLY BE MADE WITH THE WRITTEN APPROVAL OF THE ENGINEER.
6. STORM DRAIN PIPE SHALL BE: 10" DIAMETER AND SMALLER SDR 35 PVC OR HDPE WITH RUBBER GASKETS MEETING ASTM F477, 12" DIAMETER TO BE SDR 35 PVC, CLASS III RCP OR BLUE SEAL HDPE AS MANUFACTURED BY HANCOR WITH WATER TIGHT JOINTS MEETING ASTM F477 AND ASTM D3212, 15" THROUGH 24" DIAMETERS; PIPE TO BE CLASS III RCP OR BLUE SEAL HDPE AS SPECIFIED ABOVE. PIPES LARGER THAN 24" IN DIAMETER SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED. NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE (DIP).
7. ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC VAULTS, AND PULL BOXES, THAT LIE WITHIN THE PUBLIC RIGHT-OF-WAY EASEMENTS OR AREAS AFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY FOR WHICH THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
8. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN NOT ASSUME RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THEIR DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT ARE NOT SHOWN ON THESE DRAWINGS.
9. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED, ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. PIPE SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
10. THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR TO THE TRENCHING OR PLACEMENT OF CONCRETE.
11. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
12. ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO THE CITY OF MENLO PARK STANDARDS AND REQUIREMENTS.



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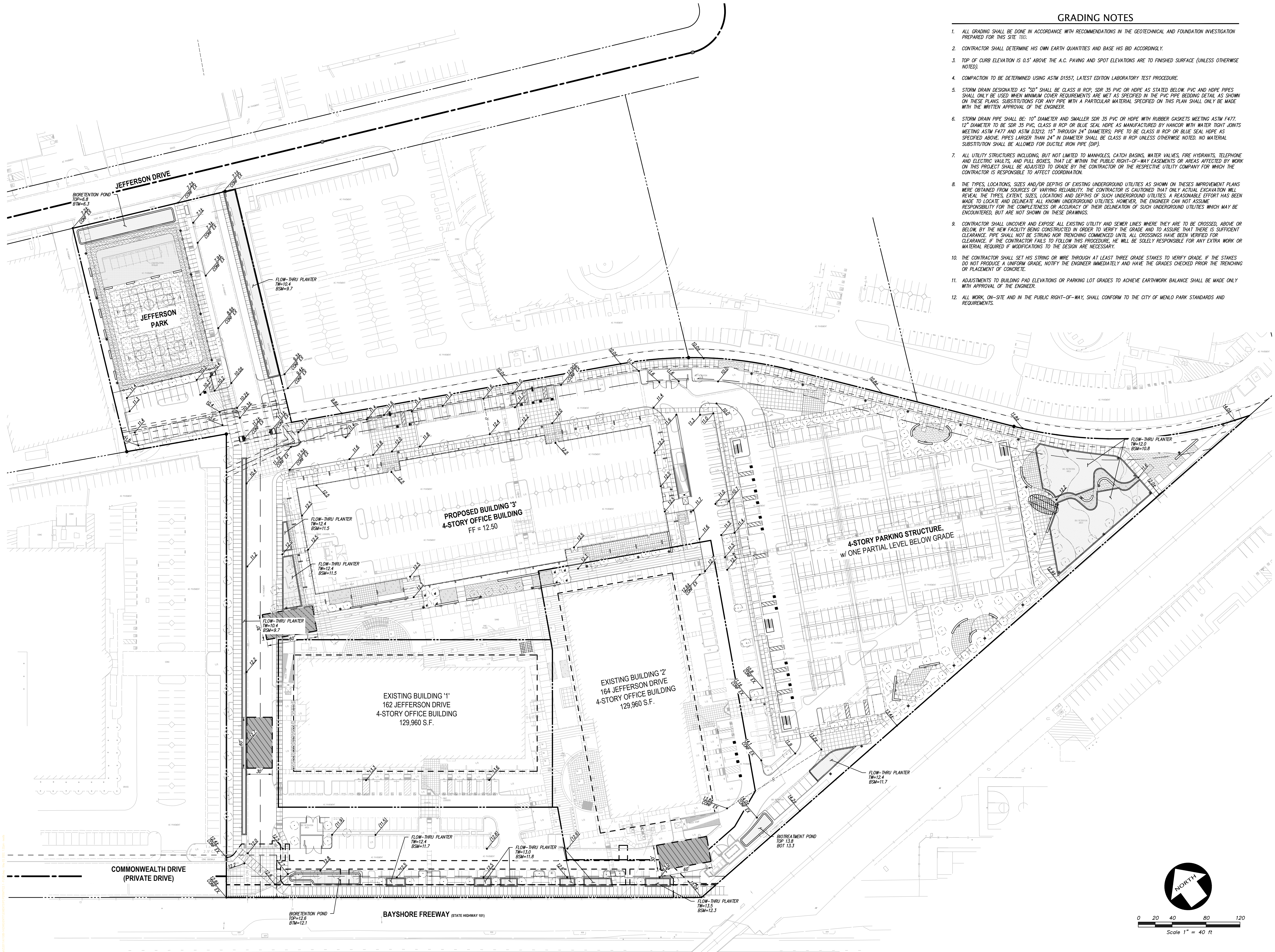


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Scale 1" = 40 ft

**PRELIMINARY GRADING PLAN**

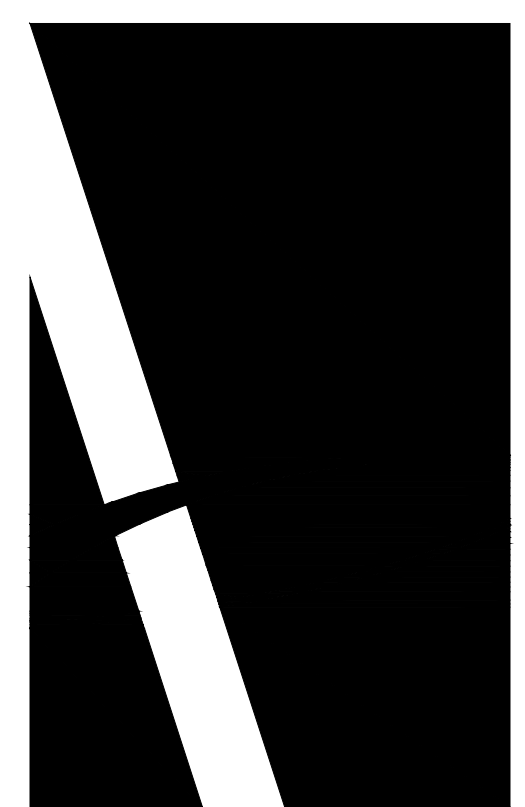
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PROJECT NO: 164152.00





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5. STORM DRAIN DESIGNATED AS "SD" SHALL BE CLASS III RCP, SDR 35 PVC OR HDPE AS STATED BELOW. PVC AND HDPE PIPES SHALL ONLY BE USED WHEN MINIMUM COVER REQUIREMENTS ARE MET AS SPECIFIED IN THE PVC PIPE BEDDING DETAIL AS SHOWN ON THESE PLANS. SUBSTITUTIONS FOR ANY PIPE WITH A PARTICULAR MATERIAL SPECIFIED ON THIS PLAN SHALL ONLY BE MADE WITH THE WRITTEN APPROVAL OF THE ENGINEER.
6. STORM DRAIN PIPE SHALL BE: 10" DIAMETER AND SMALLER SDR 35 PVC OR HDPE WITH RUBBER GASKETS MEETING ASTM F477, 12" DIAMETER TO BE SDR 35 PVC, CLASS III RCP OR BLUE SEAL HDPE AS MANUFACTURED BY HANCOR WITH WATER TIGHT JOINTS MEETING ASTM F477 AND ASTM D3212, 15" THROUGH 24" DIAMETERS; PIPE TO BE CLASS III RCP OR BLUE SEAL HDPE AS SPECIFIED ABOVE. PIPES LARGER THAN 24" IN DIAMETER SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED. NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE (DIP).
7. ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC VAULTS, AND PULL BOXES, THAT LIE WITHIN THE PUBLIC RIGHT-OF-WAY EASEMENTS OR AREAS AFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY FOR WHICH THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
8. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN NOT ASSUME RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THEIR DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT ARE NOT SHOWN ON THESE DRAWINGS.
9. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED, ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. PIPE SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
10. THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR TO THE TRENCHING OR PLACEMENT OF CONCRETE.
11. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
12. ALL WORK, ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO THE CITY OF MENLO PARK STANDARDS AND REQUIREMENTS.

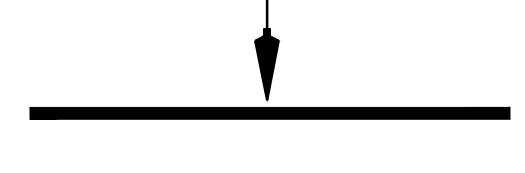


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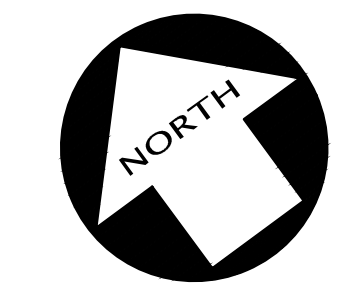
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A Planning Application for:  
**The SOBRATO** Organization  
**COMMONWEALTH: BUILDING 3**  
 MENLO PARK, CA 94052

DATE	DESCRIPTION
10.12.17	PLANNING APPLICATION
03.06.18	PLANNING RESUBMITTAL
08.01.18	PLANNING RESUBMITTAL
10.04.18	PLANNING RESUBMITTAL
04.17.19	PLANNING RESUBMITTAL
05.23.19	PLANNING RESUBMITTAL
03.19.21	PLANNING RESUBMITTAL
04.09.21	PLANNING RESUBMITTAL
06.28.21	PLANNING RESUBMITTAL
05.03.22	PLANNING RESUBMITTAL



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 Scale 1" = 40 ft

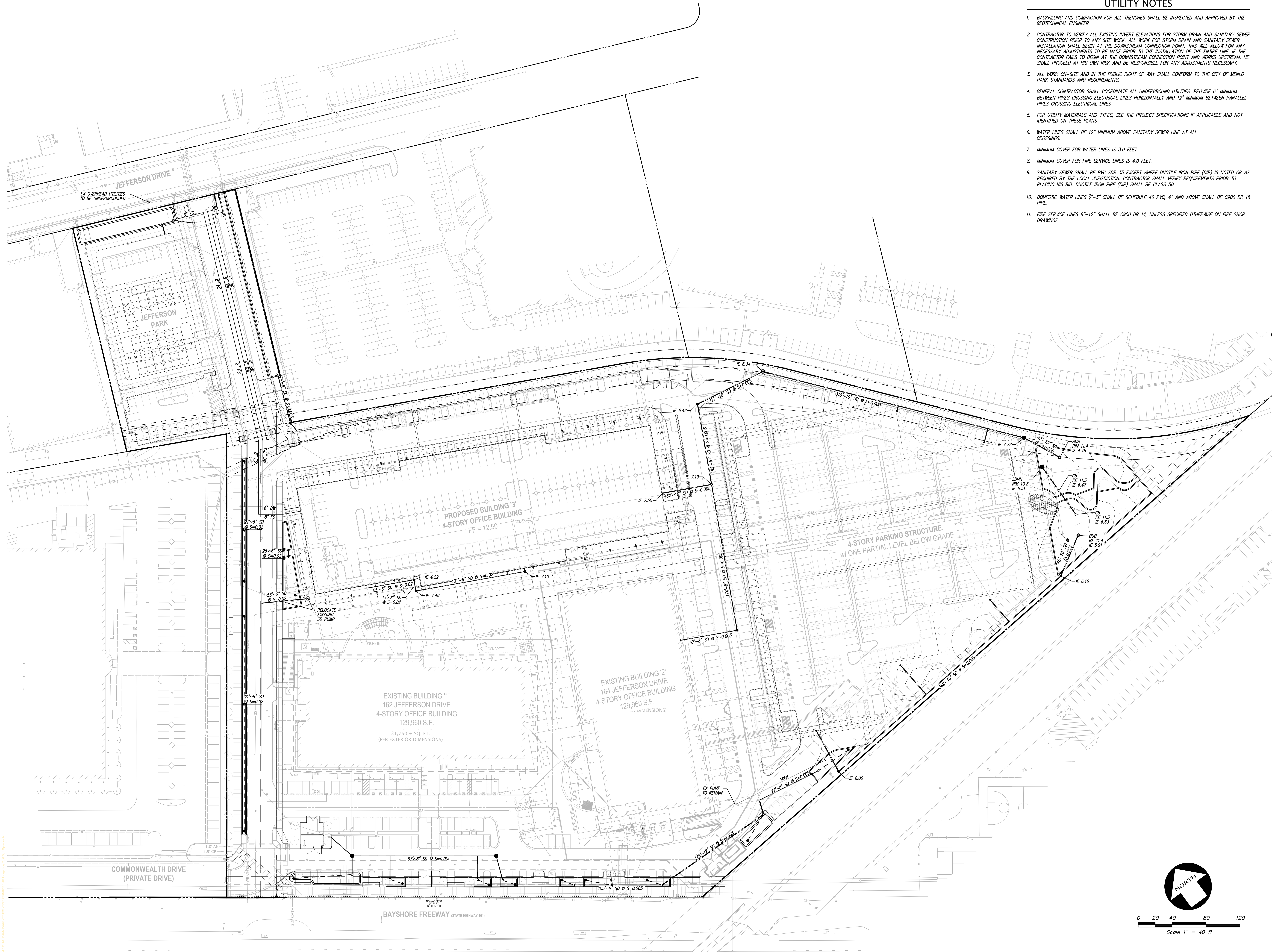
**FINISHED FLOOR EXHIBIT**

**C.2.1**  
 PROJECT NO: 164152.00



UTILITY NOTES

1. BACKFILLING AND COMPACTION FOR ALL TRENCHES SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
2. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO ANY SITE WORK. ALL WORK FOR STORM DRAIN AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
3. ALL WORK ON-SITE AND IN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE CITY OF MENLO PARK STANDARDS AND REQUIREMENTS.
4. GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND UTILITIES. PROVIDE 6" MINIMUM BETWEEN PIPES CROSSING ELECTRICAL LINES HORIZONTALLY AND 12" MINIMUM BETWEEN PARALLEL PIPES CROSSING ELECTRICAL LINES.
5. FOR UTILITY MATERIALS AND TYPES, SEE THE PROJECT SPECIFICATIONS IF APPLICABLE AND NOT IDENTIFIED ON THESE PLANS.
6. WATER LINES SHALL BE 12" MINIMUM ABOVE SANITARY SEWER LINE AT ALL CROSSINGS.
7. MINIMUM COVER FOR WATER LINES IS 3.0 FEET.
8. MINIMUM COVER FOR FIRE SERVICE LINES IS 4.0 FEET.
9. SANITARY SEWER SHALL BE PVC SDR 35 EXCEPT WHERE DUCTILE IRON PIPE (DIP) IS NOTED OR AS REQUIRED BY THE LOCAL JURISDICTION. CONTRACTOR SHALL VERIFY REQUIREMENTS PRIOR TO PLACING HIS BID. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 50.
10. DOMESTIC WATER LINES 1/2"-3" SHALL BE SCHEDULE 40 PVC, 4" AND ABOVE SHALL BE C900 DR 18 PIPE.
11. FIRE SERVICE LINES 6"-12" SHALL BE C900 DR 14, UNLESS SPECIFIED OTHERWISE ON FIRE SHOP DRAWINGS.



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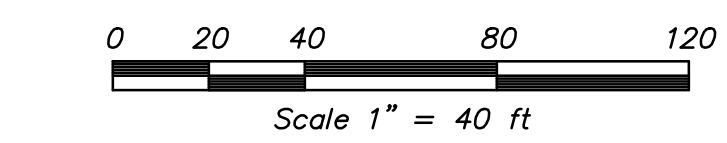
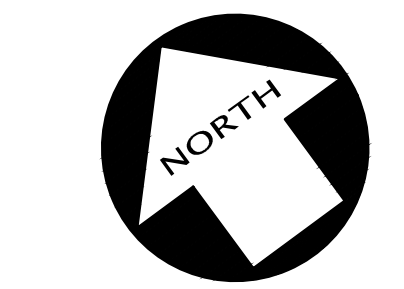
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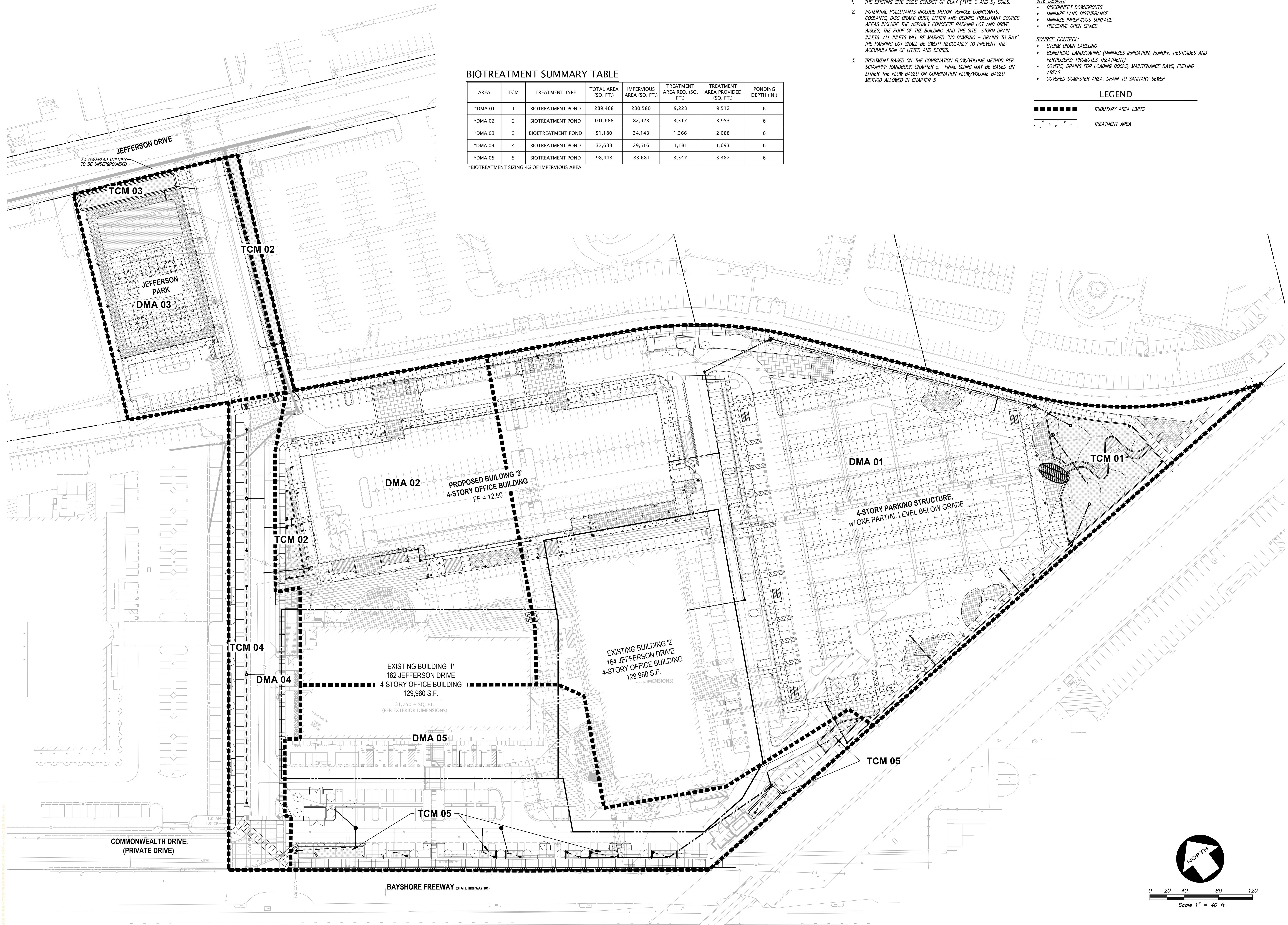
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05.03.22	PLANNING RESUBMITTAL



**PRELIMINARY**  
**UTILITY PLAN**





**BIOTREATMENT SUMMARY TABLE**

AREA	TCM	TREATMENT TYPE	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQ. (SQ. FT.)	TREATMENT AREA PROVIDED (SQ. FT.)	PONDING DEPTH (IN.)
*DMA 01	1	BIOTREATMENT POND	289,468	230,580	9,223	9,512	6
*DMA 02	2	BIOTREATMENT POND	101,688	82,923	3,317	3,953	6
*DMA 03	3	BIOTREATMENT POND	51,180	34,143	1,366	2,088	6
*DMA 04	4	BIOTREATMENT POND	37,688	29,516	1,181	1,693	6
*DMA 05	5	BIOTREATMENT POND	98,448	83,681	3,347	3,387	6

\*BIOTREATMENT SIZING 4% OF IMPERVIOUS AREA

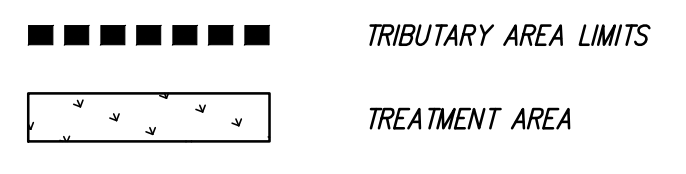
**STORMWATER CONTROL NOTES**

- THE EXISTING SITE SOILS CONSIST OF CLAY (TYPE C AND D) SOILS.
- POTENTIAL POLLUTANTS INCLUDE MOTOR VEHICLE LUBRICANTS, COOLANTS, DISC BRAKE DUST, LITTER AND DEBRIS. POLLUTANT SOURCE AREAS INCLUDE THE ASPHALT CONCRETE PARKING LOT AND DRIVE AISLES, THE ROOF OF THE BUILDING, AND THE SITE STORM DRAIN INLETS. ALL INLETS WILL BE MARKED "NO DUMPING - DRAINS TO BAY". THE PARKING LOT SHALL BE SWEEPED REGULARLY TO PREVENT THE ACCUMULATION OF LITTER AND DEBRIS.
- TREATMENT BASED ON THE COMBINATION FLOW/VOLUME METHOD PER SCVURPPP HANDBOOK CHAPTER 5. FINAL SIZING MAY BE BASED ON EITHER THE FLOW BASED OR COMBINATION FLOW/VOLUME BASED METHOD ALLOWED IN CHAPTER 5.

**SOURCE CONTROL & SITE DESIGN MEASURES**

- SITE DESIGN:**
- DISCONNECT DOWNSPOUTS
  - MINIMIZE LAND DISTURBANCE
  - MINIMIZE IMPERVIOUS SURFACE
  - PRESERVE OPEN SPACE
- SOURCE CONTROL:**
- STORM DRAIN LABELING
  - BENEFICIAL LANDSCAPING (MINIMIZES IRRIGATION, RUNOFF, PESTICIDES AND FERTILIZERS; PROMOTES TREATMENT)
  - COVERS, DRAINS FOR LOADING DOCKS, MAINTENANCE BAYS, FUELING AREAS
  - COVERED DUMPSTER AREA, DRAIN TO SANITARY SEWER

**LEGEND**



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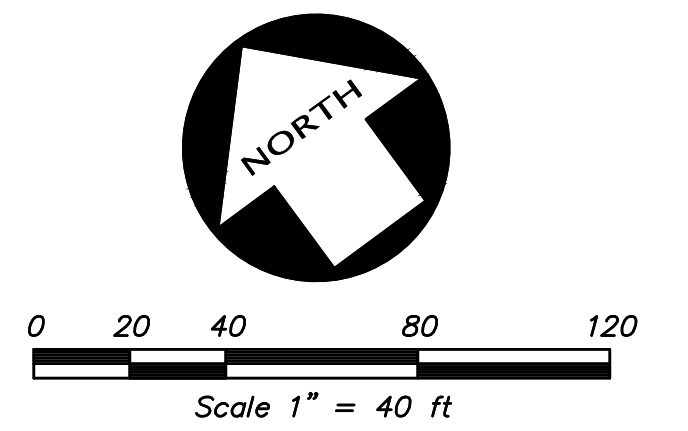
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05.04.22	PLANNING RESUBMITTAL



**PRELIMINARY**  
**STORMWATER**  
**CONTROL PLAN**  
**C4.0**



Worksheet for Calculating the Combination Flow and Volume Method

<b>1.0 Project Information</b>		
1.1 Project Name:	Commonwealth Corporate Center	The calculations presented here are based on the combination flow and volume hydraulic using method provided in the Green Water Program Standards County C.3 Technical Guidance, Version 4.0. The steps presented below are explained in Chapter 5, Section 3.1.
1.2 City Application ID:	Menlo Park	
1.3 Site Address or APN:	055-243-240/055-243-050	
1.4 Tract or Parcel Map No.:	N/A	
1.5 Site Mean Annual Precip. (MAP):	15.2 Inches	Refer to the Mean Annual Precipitation Map in Appendix 2 of the C.3 Technical Guidance to determine the MAP, in inches, for the site. <a href="#">Click here for map</a>
1.6 Applicable Rain Gauge:	Palo Alto (SMCWPPP)	Refer to the Mean Annual Precipitation Map in Appendix 2 of the C.3 Technical Guidance to determine the MAP, in inches, for the site. <a href="#">Click here for map</a>
MAP adjustment factor is automatically calculated as: <b>1.04</b>		
<i>(The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain gauge, shown in Table 5.2, below.)</i>		

<b>2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)</b>		
2.1 Name of DMA:	1	
For items 2.2 and 2.3, enter the areas in square feet for each type of surface within the DMA.		
Type of Surface	Area of surface type within DMA (Sq. Ft.)	Effective Impervious Area
2.2 Impervious Surface	94,034	94,034
2.3 Pervious Surface	16,327	1,633
Total DMA Area (square feet) =	110,361	
Total Effective Impervious Area (EIA)	95,667	Square feet

<b>3.0 Calculate Unit Basin Storage Volume in Inches</b>		
Table 5.2: Unit Basin Storage Volumes (in inches) for 80 Percent Capture Using 48-Hour Drawdowns		
Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff Coefficients
San Jose Airport (SCJAWPP)	13.9	0.58
Palo Alto (SMCWPPP)	15.2	0.62
Palo Alto (SMCWPPP)	14.6	0.64
Elmly (SCJAWPP)	16.2	0.66
Morgan Hill (SCJAWPP)	19.5	1.00
Redwood Creek (SMCWPPP)	21.8	1.00
LA Honda (SMCWPPP)	24.4	0.88
San Francisco Bay (SMCWPPP)	25.0	0.88
San Francisco Airport (SMCWPPP)	26.1	0.73
San Francisco Overseas (SMCWPPP)	19.3	0.72
Oakland Airport (SMCWPPP)	18.95	1.00

3.1 Unit basin storage volume from Table 5.2:	0.64	Inches
<i>(The coefficient for this method is 1.04, due to the conversion of any landscaping to effective impervious area)</i>		
3.2 Adjusted unit basin storage volume:	0.67	Inches
<i>(The unit basin storage volume is adjusted by applying the MAP adjustment factor.)</i>		
3.3 Required Capture Volume (in cubic feet):	5,312	Cubic feet
<i>(The adjusted unit basin storage volume (inches) is multiplied by the size of the DMA and converted to feet.)</i>		

<b>4.0 Calculate the Duration of the Rain Event</b>		
4.1 Rainfall intensity:	0.2	Inches per hour
4.2 Divide Item 3-2 by Item 4-1:	3.33	Hours of Rain Event Duration

<b>5.0 Preliminary Estimate of Surface Area of Treatment Measure</b>		
5.1 4% of DMA impervious surface:	3,827	Square feet
5.2 Area 25% smaller than Item 5-1:	2,870	Square feet
5.3 Volume of treated runoff for area in Item 5-2:	3,984	Cubic feet (Item 5-2 * 5 inches per hour * 1/12 * Item 4-2)

<b>6.0 Initial Adjustment of Depth of Surface Ponding Area</b>		
6.1 Subtract Item 5-3 from Item 3-3:	1,328	Cubic feet (Amount of runoff to be stored in ponding area)
6.2 Divide Item 6-1 by Item 5-2:	0.5	Feet (Depth of stored runoff in surface ponding area)
6.3 Convert Item 6-2 from feet to inches:	5.6	Inches (Depth of stored runoff in surface ponding area)
6.4 If ponding depth in Item 6-3 meets your target depth, skip to Item 8-1. If not, continue to Step 7-1.		

<b>7.0 Optimize Size of Treatment M 25</b>		
7.1 Enter an area larger or smaller than Item 5-2:	2811	Sq. ft. (enter larger area if you need less ponding depth; smaller for more depth.)
7.2 Volume of treated runoff for area in Item 7-1:	3,905	Cubic feet (Item 7-1 * 5 inches per hour * 1/12 * Item 4-2)
7.3 Subtract Item 7-2 from Item 3-3:	1,407	Cubic feet (Amount of runoff to be stored in ponding area)
7.4 Divide Item 7-3 by Item 7-1:	0.50	Feet (Depth of stored runoff in surface ponding area)
7.5 Convert Item 7.4 from feet to inches:	6.00	Inches (Depth of stored runoff in surface ponding area)
7.6 If the ponding depth in Item 7.5 meets target, stop here. If not, repeat Steps 7-1 through 7-5 until you obtain target depth.		

<b>8.0 Surface Area of Treatment Measure for DMA</b>		
8.1 Final surface area of treatment*	2,813	Square feet (Either Item 5-2 or final amount in Item 7-1)

\*Note: Check with the local jurisdiction as to its policy regarding the minimum bioretention surface area allowed.

Worksheet for Calculating the Combination Flow and Volume Method

<b>1.0 Project Information</b>		
1.1 Project Name:	Commonwealth Corporate Center	The calculations presented here are based on the combination flow and volume hydraulic using method provided in the Green Water Program Standards County C.3 Technical Guidance, Version 4.0. The steps presented below are explained in Chapter 5, Section 3.1.
1.2 City Application ID:	Menlo Park	
1.3 Site Address or APN:	055-243-240/055-243-050	
1.4 Tract or Parcel Map No.:	N/A	
1.5 Site Mean Annual Precip. (MAP):	15.2 Inches	Refer to the Mean Annual Precipitation Map in Appendix 2 of the C.3 Technical Guidance to determine the MAP, in inches, for the site. <a href="#">Click here for map</a>
1.6 Applicable Rain Gauge:	Palo Alto (SMCWPPP)	Refer to the Mean Annual Precipitation Map in Appendix 2 of the C.3 Technical Guidance to determine the MAP, in inches, for the site. <a href="#">Click here for map</a>
MAP adjustment factor is automatically calculated as: <b>1.04</b>		
<i>(The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain gauge, shown in Table 5.2, below.)</i>		

<b>2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)</b>		
2.1 Name of DMA:	2	
For items 2.2 and 2.3, enter the areas in square feet for each type of surface within the DMA.		
Type of Surface	Area of surface type within DMA (Sq. Ft.)	Effective Impervious Area
2.2 Impervious Surface	108,398	1.0
2.3 Pervious Surface	16,527	0.1
Total DMA Area (square feet) =	124,925	
Total Effective Impervious Area (EIA)	110,051	Square feet

<b>3.0 Calculate Unit Basin Storage Volume in Inches</b>		
Table 5.2: Unit Basin Storage Volumes (in inches) for 80 Percent Capture Using 48-Hour Drawdowns		
Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff Coefficients
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Palo Alto (SMCWPPP)	15.2	0.62
Palo Alto (SMCWPPP)	14.6	0.64
Elmly (SCJAWPP)	16.2	0.66
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Redwood Creek (SMCWPPP)	21.8	1.00
LA Honda (SMCWPPP)	24.4	0.88
San Francisco Bay (SMCWPPP)	25.0	0.88
San Francisco Airport (SMCWPPP)	26.1	0.73
San Francisco Overseas (SMCWPPP)	19.3	0.72
Oakland Airport (SMCWPPP)	18.95	1.00

3.1 Unit basin storage volume from Table 5.2:	0.64	Inches
<i>(The coefficient for this method is 1.04, due to the conversion of any landscaping to effective impervious area)</i>		
3.2 Adjusted unit basin storage volume:	0.67	Inches
<i>(The unit basin storage volume is adjusted by applying the MAP adjustment factor.)</i>		
3.3 Required Capture Volume (in cubic feet):	6,111	Cubic feet
<i>(The adjusted unit basin storage volume (inches) is multiplied by the size of the DMA and converted to feet.)</i>		

<b>4.0 Calculate the Duration of the Rain Event</b>		
4.1 Rainfall intensity:	0.2	Inches per hour
4.2 Divide Item 3-2 by Item 4-1:	3.33	Hours of Rain Event Duration

<b>5.0 Preliminary Estimate of Surface Area of Treatment Measure</b>		
5.1 4% of DMA impervious surface:	4,402	Square feet
5.2 Area 25% smaller than Item 5-1:	3,302	Square feet
5.3 Volume of treated runoff for area in Item 5-2:	4,583	Cubic feet (Item 5-2 * 5 inches per hour * 1/12 * Item 4-2)

<b>6.0 Initial Adjustment of Depth of Surface Ponding Area</b>		
6.1 Subtract Item 5-3 from Item 3-3:	1,528	Cubic feet (Amount of runoff to be stored in ponding area)
6.2 Divide Item 6-1 by Item 5-2:	0.5	Feet (Depth of stored runoff in surface ponding area)
6.3 Convert Item 6-2 from feet to inches:	5.6	Inches (Depth of stored runoff in surface ponding area)
6.4 If ponding depth in Item 6-3 meets your target depth, skip to Item 8-1. If not, continue to Step 7-1.		

<b>7.0 Optimize Size of Treatment M 25</b>		
7.1 Enter an area larger or smaller than Item 5-2:	3237	Sq. ft. (enter larger area if you need less ponding depth; smaller for more depth.)
7.2 Volume of treated runoff for area in Item 7-1:	4,493	Cubic feet (Item 7-1 * 5 inches per hour * 1/12 * Item 4-2)
7.3 Subtract Item 7-2 from Item 3-3:	1,617	Cubic feet (Amount of runoff to be stored in ponding area)
7.4 Divide Item 7-3 by Item 7-1:	0.50	Feet (Depth of stored runoff in surface ponding area)
7.5 Convert Item 7.4 from feet to inches:	6.00	Inches (Depth of stored runoff in surface ponding area)
7.6 If the ponding depth in Item 7.5 meets target, stop here. If not, repeat Steps 7-1 through 7-5 until you obtain target depth.		

<b>8.0 Surface Area of Treatment Measure for DMA</b>		
8.1 Final surface area of treatment*	3,237	Square feet (Either Item 5-2 or final amount in Item 7-1)

\*Note: Check with the local jurisdiction as to its policy regarding the minimum bioretention surface area allowed.

Worksheet for Calculating the Combination Flow and Volume Method

<b>1.0 Project Information</b>		
1.1 Project Name:	Commonwealth Corporate Center	The calculations presented here are based on the combination flow and volume hydraulic using method provided in the Green Water Program Standards County C.3 Technical Guidance, Version 4.0. The steps presented below are explained in Chapter 5, Section 3.1.
1.2 City Application ID:	Menlo Park	
1.3 Site Address or APN:	055-243-240/055-243-050	
1.4 Tract or Parcel Map No.:	N/A	
1.5 Site Mean Annual Precip. (MAP):	15.2 Inches	Refer to the Mean Annual Precipitation Map in Appendix 2 of the C.3 Technical Guidance to determine the MAP, in inches, for the site. <a href="#">Click here for map</a>
1.6 Applicable Rain Gauge:	Palo Alto (SMCWPPP)	Refer to the Mean Annual Precipitation Map in Appendix 2 of the C.3 Technical Guidance to determine the MAP, in inches, for the site. <a href="#">Click here for map</a>
MAP adjustment factor is automatically calculated as: <b>1.04</b>		
<i>(The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain gauge, shown in Table 5.2, below.)</i>		

<b>2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)</b>		
2.1 Name of DMA:	1	
For items 2.2 and 2.3, enter the areas in square feet for each type of surface within the DMA.		
Type of Surface	Area of surface type within DMA (Sq. Ft.)	Effective Impervious Area
2.2 Impervious Surface	184,276	1.0
2.3 Pervious Surface	50,118	0.1
Total DMA Area (square feet) =	234,394	
Total Effective Impervious Area (EIA)	189,288	Square feet

<b>3.0 Calculate Unit Basin Storage Volume in Inches</b>		
Table 5.2: Unit Basin Storage Volumes (in inches) for 80 Percent Capture Using 48-Hour Drawdowns		
Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff Coefficients
San Jose Airport (SCJAWPP)	13.9	0.58
Palo Alto (SMCWPPP)	15.2	0.62
Palo Alto (SMCWPPP)	14.6	0.64
Elmly (SCJAWPP)	16.2	0.66
Morgan Hill (SCJAWPP)	19.5	1.00
Redwood Creek (SMCWPPP)	21.8	1.00
LA Honda (SMCWPPP)	24.4	0.88
San Francisco Bay (SMCWPPP)	25.0	0.88
San Francisco Airport (SMCWPPP)	26.1	0.73
San Francisco Overseas (SMCWPPP)	19.3	0.72
Oakland Airport (SMCWPPP)	18.95	1.00

3.1 Unit basin storage volume from Table 5.2:	0.64	Inches
<i>(The coefficient for this method is 1.04, due to the conversion of any landscaping to effective impervious area)</i>		
3.2 Adjusted unit basin storage volume:	0.67	Inches
<i>(The unit basin storage volume is adjusted by applying the MAP adjustment factor.)</i>		
3.3 Required Capture Volume (in cubic feet):	10,510	Cubic feet
<i>(The adjusted unit basin storage volume (inches) is multiplied by the size of the DMA and converted to feet.)</i>		

<b>4.0 Calculate the Duration of the Rain Event</b>		
4.1 Rainfall intensity:	0.2	Inches per hour
4.2 Divide Item 3-2 by Item 4-1:	3.33	Hours of Rain Event Duration

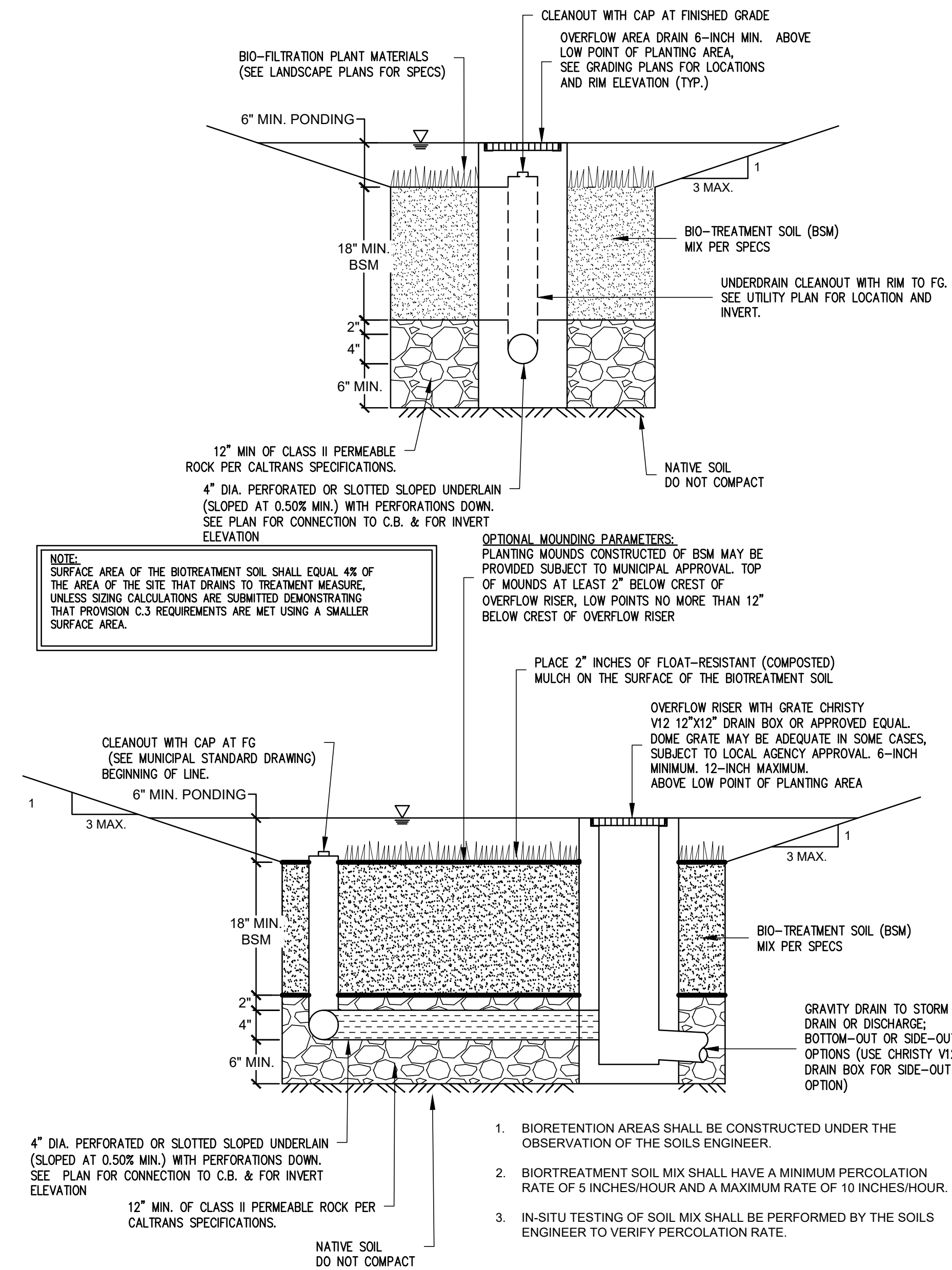
<b>5.0 Preliminary Estimate of Surface Area of Treatment Measure</b>		
5.1 4% of DMA impervious surface:	7,572	Square feet
5.2 Area 25% smaller than Item 5-1:	5,679	Square feet
5.3 Volume of treated runoff for area in Item 5-2:	7,883	Cubic feet (Item 5-2 * 5 inches per hour * 1/12 * Item 4-2)

<b>6.0 Initial Adjustment of Depth of Surface Ponding Area</b>		
6.1 Subtract Item 5-3 from Item 3-3:	2,628	Cubic feet (Amount of runoff to be stored in ponding area)
6.2 Divide Item 6-1 by Item 5-2:	0.5	Feet (Depth of stored runoff in surface ponding area)
6.3 Convert Item 6-2 from feet to inches:	5.6	Inches (Depth of stored runoff in surface ponding area)
6.4 If ponding depth in Item 6-3 meets your target depth, skip to Item 8-1. If not, continue to Step 7-1.		

<b>7.0 Optimize Size of Treatment M 25</b>		
7.1 Enter an area larger or smaller than Item 5-2:	5150	Sq. ft. (enter larger area if you need less ponding depth; smaller for more depth.)
7.2 Volume of treated runoff for area in Item 7-1:	7,149	Cubic feet (Item 7-1 * 5 inches per hour * 1/12 * Item 4-2)
7.3 Subtract Item 7-2 from Item 3-3:	3,361	Cubic feet (Amount of runoff to be stored in ponding area)
7.4 Divide Item 7-3 by Item 7-1:	0.85	Feet (Depth of stored runoff in surface ponding area)
7.5 Convert Item 7.4 from feet to inches:	7.83	Inches (Depth of stored runoff in surface ponding area)
7.6 If the ponding depth in Item 7.5 meets target, stop here. If not, repeat Steps 7-1 through 7-5 until you obtain target depth.		

<b>8.0 Surface Area of Treatment Measure for DMA</b>		
8.1 Final surface area of treatment*	5,150	Square feet (Either Item 5-2 or final amount in Item 7-1)

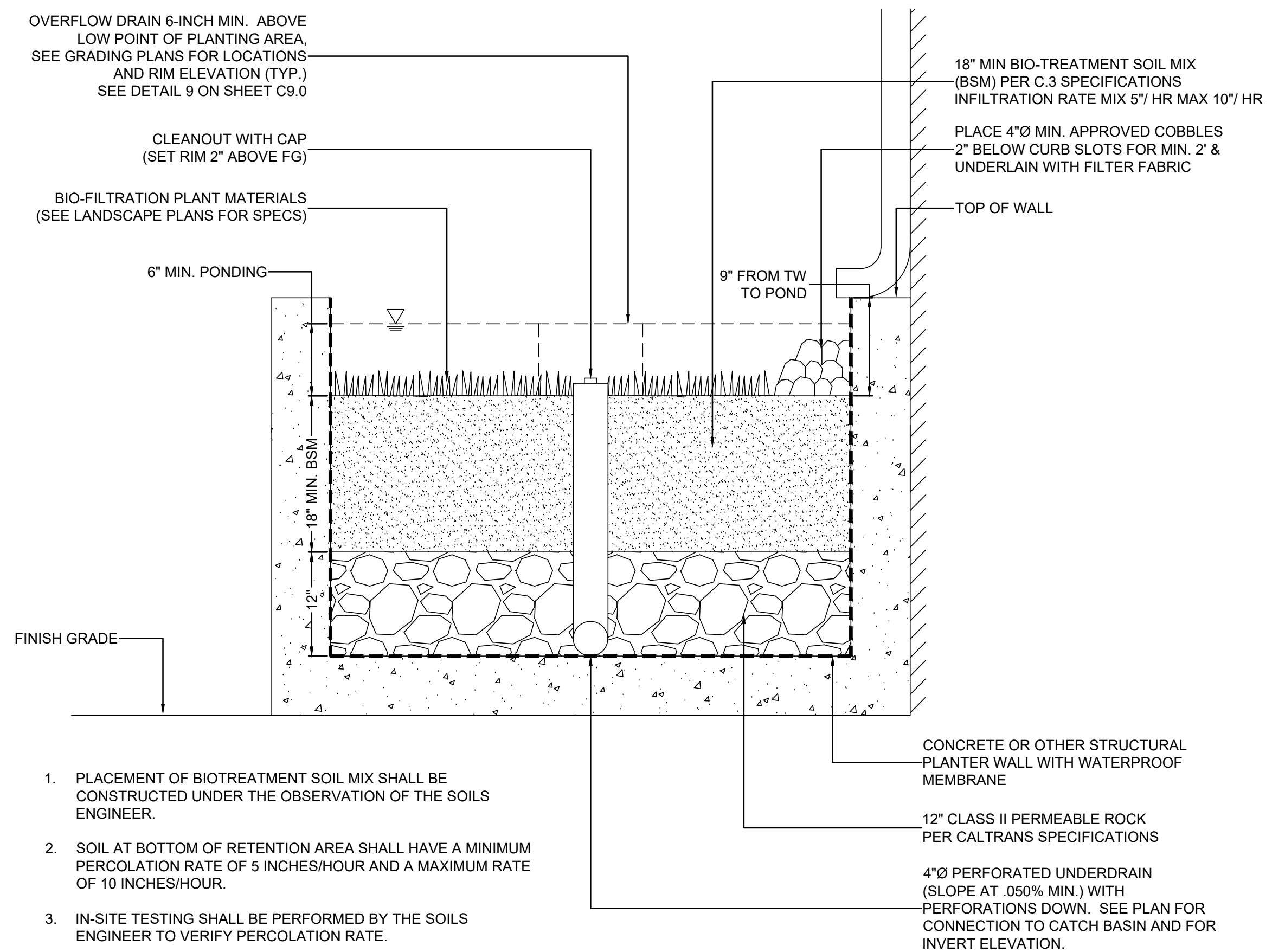
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BIOTREATMENT POND

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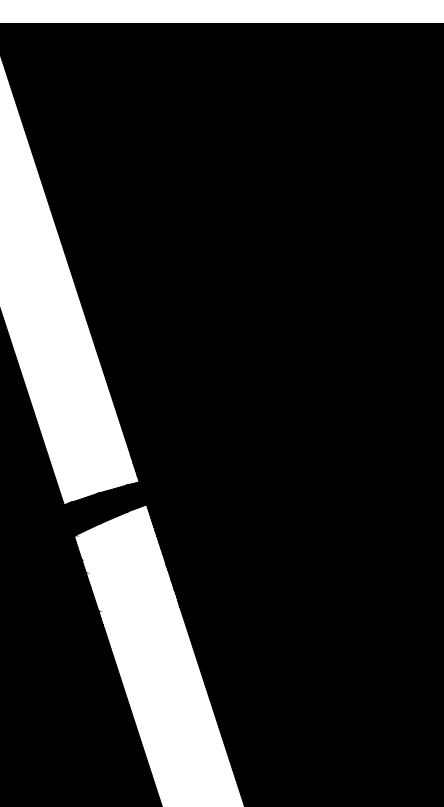
01



FLOW THROUGH PLANTER

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02



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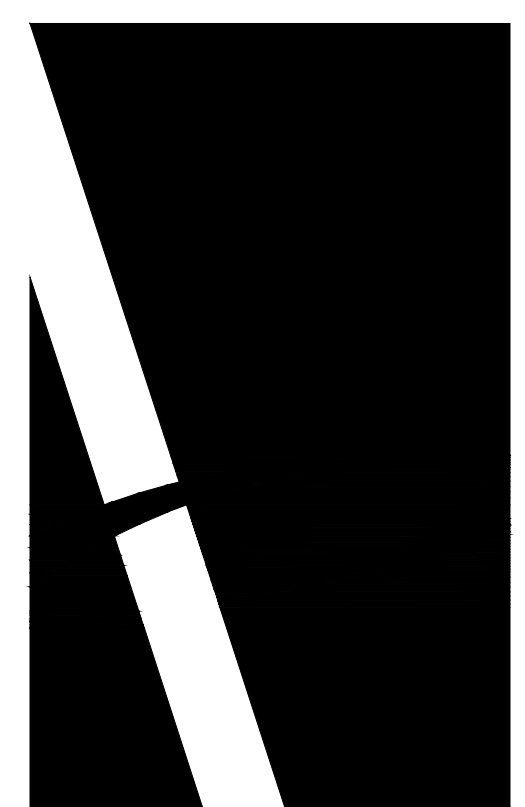
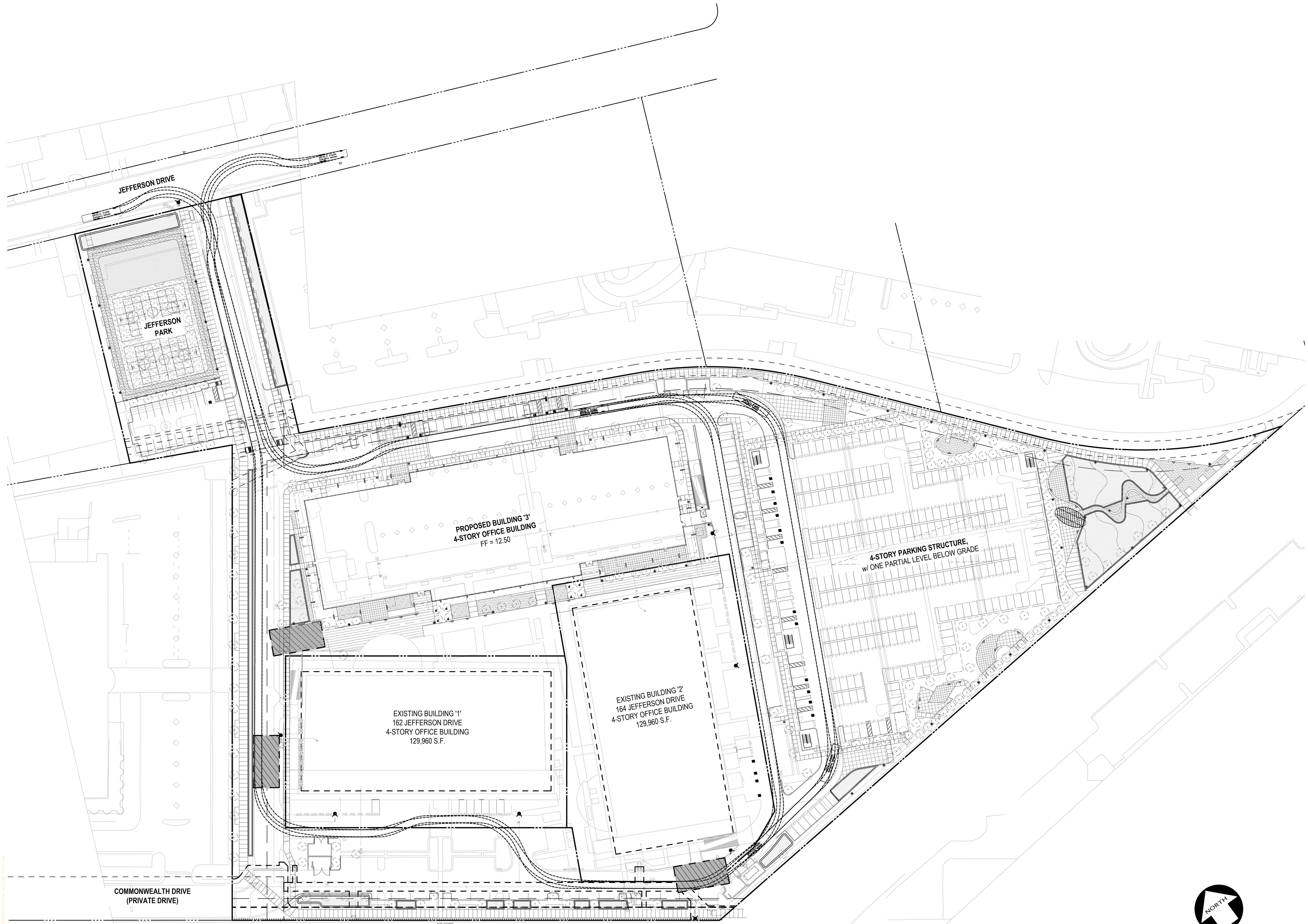
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COMMONWEALTH: BUILDING 3  
MENLO PARK, CA 94052

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10.12.17	PLANNING APPLICATION
03.06.18	PLANNING RESUBMITTAL
08.01.18	PLANNING RESUBMITTAL
01.04.18	PLANNING RESUBMITTAL
04.17.19	PLANNING RESUBMITTAL
05.23.19	PLANNING RESUBMITTAL
03.19.21	PLANNING RESUBMITTAL
04.09.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL

STORMWATER CONTROL DETAILS C4.1





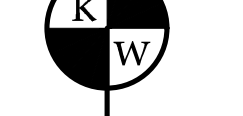
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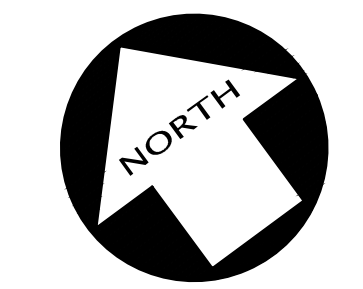
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05.23.19	PLANNING RESUBMITTAL
03.19.21	PLANNING RESUBMITTAL
04.09.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL



0 20 40 80 120  
 Scale 1" = 40 ft

**FIRE DEPARTMENT**  
**ACCESS PLAN**  
**C5.0**

PROJECT NO: 164152.00





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06.25.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL

ILLUSTRATIVE LANDSCAPE PLAN  
 SCALE: 1"=40'-0"  
 0 20 40 80



**L1.01**

PROJECT NO: 164152.00



PLANT PALETTE

TREES	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING/ COMMENTS	WUCOLS*
ACE ARM	See Plan	Acer x freemanii 'Armstrong'	Armstrong Maple			Medium
ARB MAR	See Plan	Arbutus marina	Strawberry Tree	Multi-Trunk		Low
CAR BET	See Plan	Carpinus betula 'Fastigiata'	Hornbeam			Medium
CEL SIN	See Plan	Celtis sinensis	Chinese Hackberry			Low
GIN BIL	See Plan	Gingko biloba 'Princeton Centry'	Ginkgo			Medium
LAG TUS	See Plan	Lagerstroemia 'Tuskegee'	Crape Myrtle			Low
LAU NOB	See Plan	Laurus nobilis 'Saratoga'	Saratoga Bay Laurel			Low
MAG BRA	See Plan	Magnolia grandiflora 'Brackens Brown Beauty'	Southern Magnolia			Medium
PLA ACE	See Plan	Platanus acerifolia	London Plane			Medium
POD GRA	See Plan	Podocarpus gracilior	Fern Podocarpus			Medium
PRU CER	See Plan	Prunus cerasidera 'Krauter Vesuvius'	Purple Leaf Plum			Low
PRY KAW	See Plan	Pyrus kawakamii	Evergreen Pear			Medium
QUE AGR	See Plan	Quercus agrifolia	Coast Live Oak			Very Low
QUE ILE	See Plan	Quercus ilex	Holly Oak			Low
TRI CON	See Plan	Tristania conferta	Brisbane Elm			Medium
ULM PAR	See Plan	Ulmus parvifolia 'Dynasty'	Evergreen Elm			Low

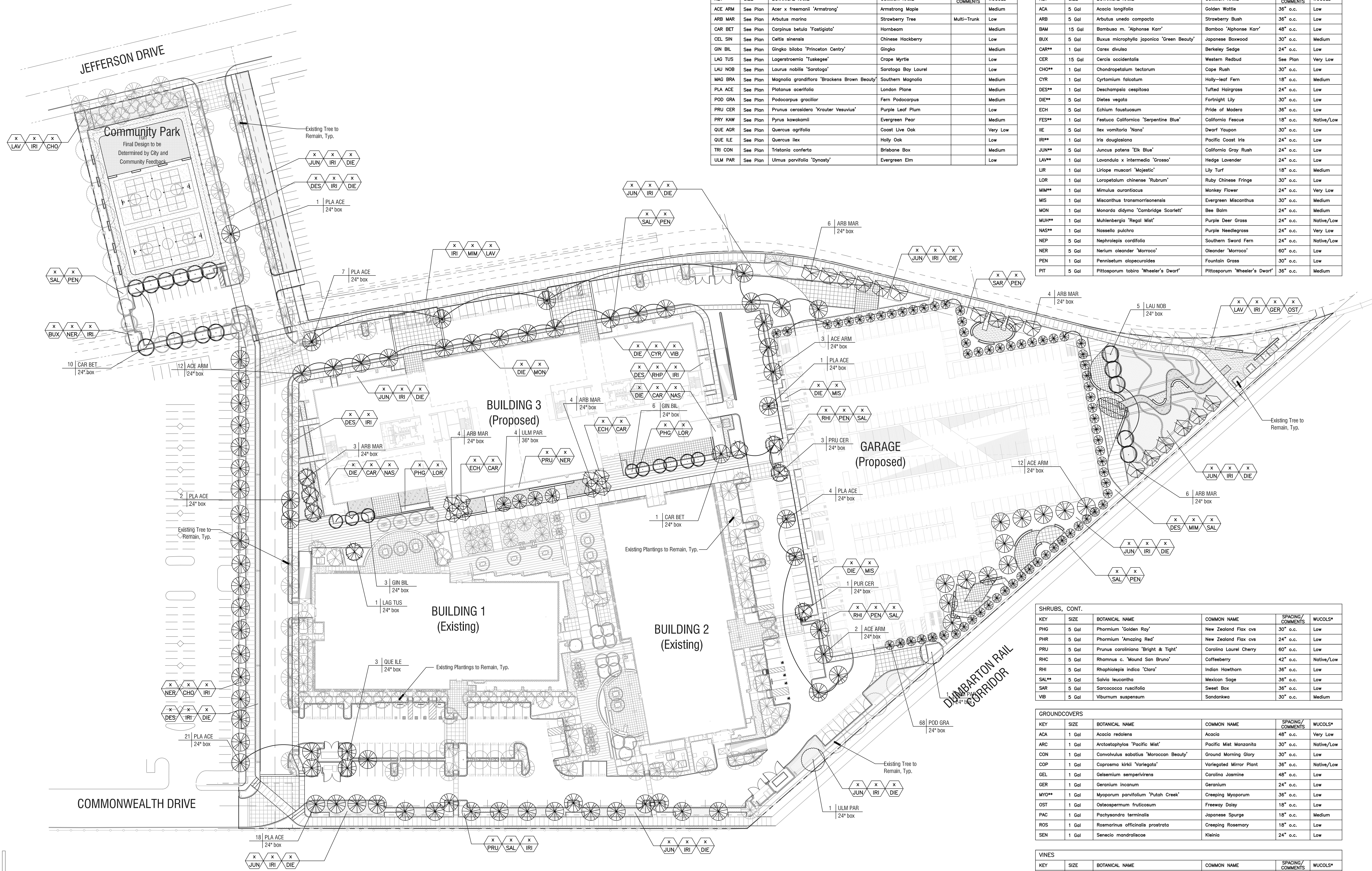
SHRUBS	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING/ COMMENTS	WUCOLS*
ACA	5 Gal	Acacia longifolia	Golden Wattle		36" o.c.	Low
ARB	5 Gal	Arbutus unedo compacta	Strawberry Bush		36" o.c.	Low
BAM	15 Gal	Bambusa m. 'Alphonse Karr'	Bamboo 'Alphonse Karr'		48" o.c.	Low
BUX	5 Gal	Buxus microphylla japonica 'Green Beauty'	Japanese Boxwood		30" o.c.	Medium
CAR**	1 Gal	Carex divulsa	Berkeley Sedge		24" o.c.	Low
CER	15 Gal	Cercia occidentalis	Western Redbud	See Plan		Very Low
CHO**	1 Gal	Chondropetalum tectarum	Cape Rush		30" o.c.	Low
CYR	1 Gal	Cyrtomium falcatum	Holly-leaf Fern		18" o.c.	Medium
DES**	1 Gal	Deschampsia cespitosa	Tufted Hairgrass		24" o.c.	Low
DIE**	5 Gal	Diates vegata	Fortnight Lily		30" o.c.	Low
ECH	5 Gal	Echium fastuosum	Pride of Modera		36" o.c.	Low
FES**	1 Gal	Festuca Californica 'Serpentine Blue'	California Fescue		18" o.c.	Native/Low
IE	5 Gal	Ilex vomitoria 'Nana'	Dwarf Yaupon		30" o.c.	Low
IRI**	1 Gal	Iris douglasiana	Pacific Coast Iris		24" o.c.	Low
JUN**	5 Gal	Juncus patens 'Elk Blue'	California Gray Rush		24" o.c.	Low
LAV**	1 Gal	Lavandula x intermedia 'Grosso'	Hedge Lavender		24" o.c.	Low
LIR	1 Gal	Liriope muscari 'Majestic'	Lily Turf		18" o.c.	Medium
LOR	1 Gal	Loropetalum chinense 'Rubrum'	Ruby Chinese Fringe		30" o.c.	Low
MIM**	1 Gal	Mimulus aurantiacus	Monkey Flower		24" o.c.	Very Low
MIS	1 Gal	Miscanthus transmarianensis	Evergreen Miscanthus		30" o.c.	Medium
MON	1 Gal	Monarda didyma 'Cambridge Scarlett'	Bee Balm		24" o.c.	Medium
MUH**	1 Gal	Muhlenbergia 'Regal Mist'	Purple Deer Grass		24" o.c.	Native/Low
NAS**	1 Gal	Nassella pulchra	Purple Needlegrass		24" o.c.	Very Low
NEP	5 Gal	Nephrolepis cordifolia	Southern Sword Fern		24" o.c.	Native/Low
NER	5 Gal	Nerium oleander 'Morocco'	Oleander 'Morocco'		60" o.c.	Low
PEN	1 Gal	Pennisetum alopecuroides	Fountain Grass		30" o.c.	Low
PIT	5 Gal	Pittosporum tobira 'Wheeler's Dwarf'	Pittosporum 'Wheeler's Dwarf'		36" o.c.	Medium

SHRUBS, CONT.	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING/ COMMENTS	WUCOLS*
PHG	5 Gal	Phormium 'Golden Ray'	New Zealand Flax cvs		30" o.c.	Low
PHR	5 Gal	Phormium 'Amazing Red'	New Zealand Flax cvs		24" o.c.	Low
PRU	5 Gal	Prunus caroliniana 'Bright & Tight'	Carolina Laurel Cherry		60" o.c.	Low
RHC	5 Gal	Rhamnus c. 'Mount San Bruno'	Coffeeberry		42" o.c.	Native/Low
RHI	5 Gal	Rhaphiolepis indica 'Clara'	Indian Hawthorn		36" o.c.	Low
SAL**	5 Gal	Salvia leucantha	Mexican Sage		36" o.c.	Low
SAR	5 Gal	Sarcococca ruscifolia	Sweet Box		36" o.c.	Low
VIB	5 Gal	Viburnum suspensum	Sandankwa		30" o.c.	Medium

GROUNDCOVERS	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING/ COMMENTS	WUCOLS*
ACA	1 Gal	Acacia redolens	Acacia		48" o.c.	Very Low
ARC	1 Gal	Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita		30" o.c.	Native/Low
CON	1 Gal	Convolvulus sabatius 'Moroccan Beauty'	Ground Morning Glory		30" o.c.	Low
COP	1 Gal	Coprosma kirkii 'Variegata'	Variegated Mirror Plant		36" o.c.	Native/Low
GEL	1 Gal	Gelsemium sempervirens	Caroline Jasmine		48" o.c.	Low
GER	1 Gal	Geranium incanum	Geranium		24" o.c.	Low
MYO**	1 Gal	Myoporum parvifolium 'Putah Creek'	Creeping Myoporum		36" o.c.	Low
OST	1 Gal	Osteospermum fruticosum	Freeway Daisy		18" o.c.	Low
PAC	1 Gal	Pachyandra terminalis	Japanese Spurge		18" o.c.	Medium
ROS	1 Gal	Rosmarinus officinalis prostrata	Creeping Rosemary		18" o.c.	Low
SEN	1 Gal	Senecio mandraliscae	Kleinia		24" o.c.	Low

VINES	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING/ COMMENTS	WUCOLS*
CLA	5 Gal	Clematis arandifolia	Evergreen Clematis	See Plan		Medium
BOS	1 Gal	Bougainvillea 'San Diego Red'	Violet Trumpet Vine	See Plan		Low
FIP	1 Gal	Ficus pumila	Creeping Fig	See Plan		Medium

\* WUCOLS (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES) WATER USE RATING  
 \*\* Stormwater Treatment Area Plant



LANDSCAPE PLANTING PLAN

SCALE: 1"=40'-0"  
 0 20 40 80

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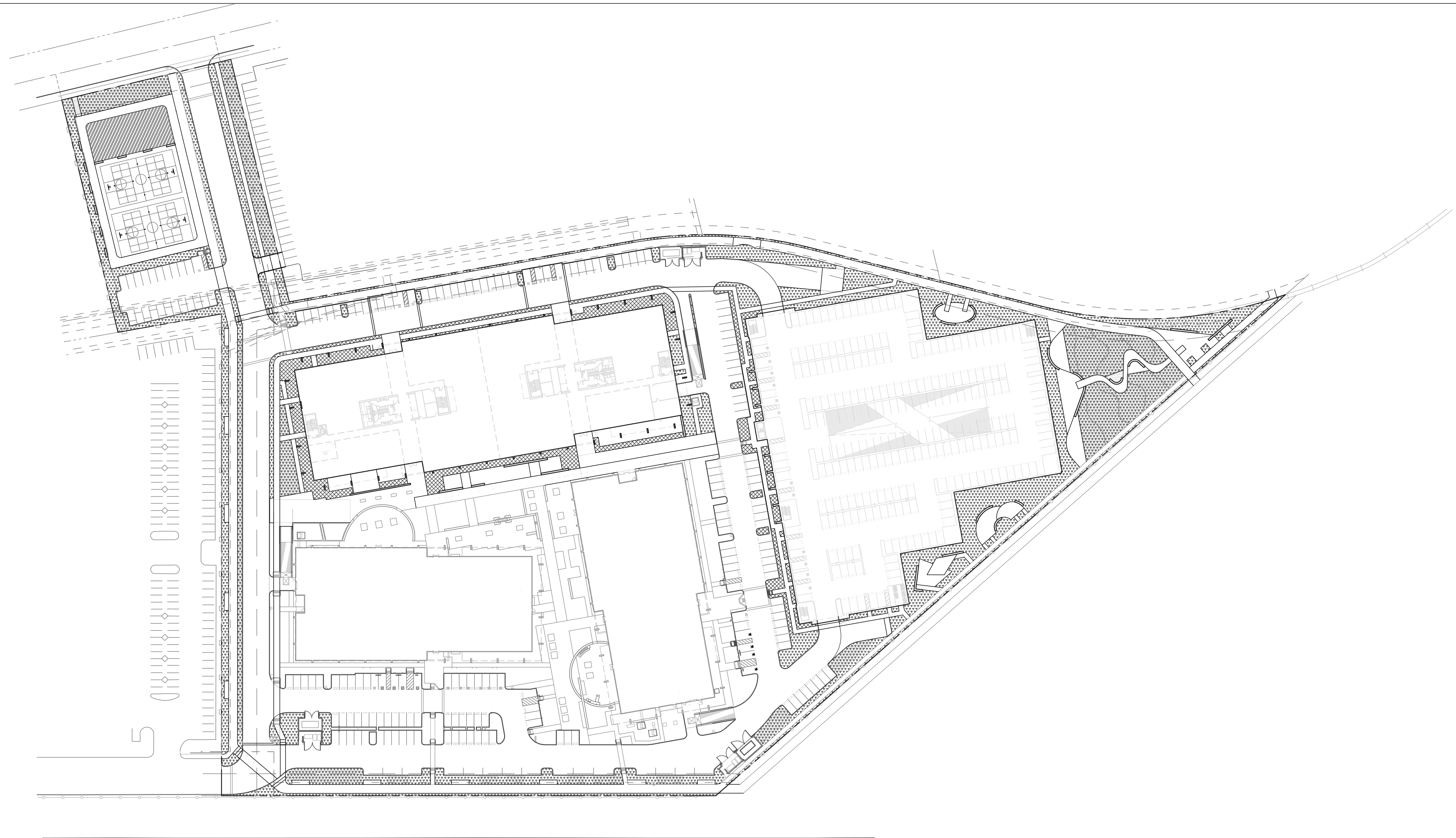
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**MENLO PARK, CA 94052**

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02.04.21	PLANNING RESUBMITTAL
03.19.21	PLANNING RESUBMITTAL
06.25.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL





**WATER USE LEGEND**

KEY

KEY	WUCOLS CATEGORY
	Low: 80% (71,301 sf)
	Medium: 14% (13,739 sf)
	High: 6% (4,219 sf)

\*Based upon total landscape area of 89,259 sf

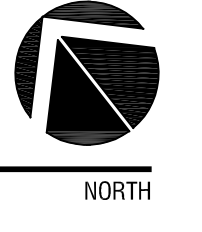
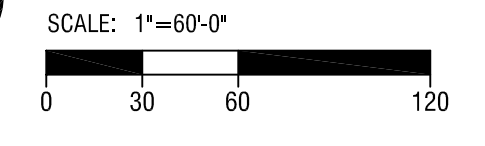
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**IRRIGATION HYDROZONE PLAN**



City of Menlo Park - Water Efficient Landscape Ordinance (WELO) Landscape Application Checklist

I certify that the subject project meets the specified requirements of the Water Conservation in Landscaping Ordinance.		Date: 06/25/2021	
Project Information			
Project Name: [Single Family] [Multi-Family] [Commercial] [Institutional] [Irrigation only] [Industrial] [Other]:			
Applicant Name (print): Nick Samardouk			Contact Phone #: 415-433-4672 x24
Project Site Address: 151 Commonwealth, Menlo Park, CA 94052			Agency Review (Pass/Fail)
Project Area (sq. ft. or acres): 13.28 AC	# of Meters:		
For a single-family project, or a single-family development project, enter this information on average, per unit basis. For all other projects, input an aggregate value for the entire project.			
Total Landscape Area (sq. ft.): 89,259 sf			
Turf Irrigated Area (sq. ft.): 0 sf			
Non-Turf Irrigated Area (sq. ft.): 85,040 sf			
Irrigated Special Landscape Area (SLA) (sq. ft.): 4,219 sf			
Water Feature Surface Area (sq. ft.): 0 sf			
Compliance (Choose One)			
Requirements		Project Compliance (Must be Yes)	
<input checked="" type="checkbox"/> <b>Prescriptive A</b> (Residential under 2,500 SF)	Impacted landscape is < 2,500 sf	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	Project has 75% low WUCOLS (0.3 avg)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
<input checked="" type="checkbox"/> <b>Prescriptive B</b> (Commercial under 2,500 SF)	Impacted landscape is < 2,500 sf	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	Project has 0% turf	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	Project has 50% low WUCOLS (0.3 avg)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
<input checked="" type="checkbox"/> <b>Prescriptive C</b> (All Projects over 2,500 SF)	Impacted landscape is < 2,500 sf	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	Project has 0% turf and 0% high WUCOLS	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	Project has 80% low WUCOLS	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
<input checked="" type="checkbox"/> <b>Water Budget</b>	Worksheet from City of WELO webpage	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	ETWU < MAWA	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Landscape Parameter			
Parameter	Requirements	Project Compliance	
Turf	There is no turf in parkway < 10 feet wide	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	All turf is planted on slopes < 25%	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Hydrozones	Plants are grouped by hydrozones	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Compost	At least 4 cubic yards per 1,000 sq ft to a depth of 4 inches	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	At least 3 inches of mulch on exposed soil surfaces	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	Use of automatic irrigation controllers that use evapotranspiration or soil moisture sensor data and utilize a rain sensor	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	Irrigation controllers do not have programming data when power source is interrupted	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Irrigation System	Irrigation system includes pressure regulation	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	Manual shut-off valves are installed near the connection to the water supply	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	All sprinkler heads installed in the landscape must document a distribution uniformly low quarter of 0.05 or higher	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	Anchors 10 feet shall be irrigated with subsurface irrigation	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

Page 2 of 2

<b>Metering</b>	Separate irrigation meter (Residential ONLY)	<input type="checkbox"/> Yes, not required < 5,000 sq ft	<input checked="" type="checkbox"/>
	Separate irrigation submeters for landscape areas > 5,000 sq ft (Commercial ONLY)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>
<b>Swimming Pools / Spas</b>	Cover required for new pools and spas	<input checked="" type="checkbox"/> Yes, no new pool or spa	<input type="checkbox"/>
<b>Water Features</b>	Recirculating	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>
<b>Documentation</b> (per section 492.3)	Project Information	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>
	Water Budget Calculation Worksheet (optional if Prescriptive Option is chosen)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>
	Landscape Design Plan (optional if < 1,000 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>
	Irrigation Design Plan (optional if < 1,000 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>
	Grading Design Plan (optional if < 1,000 sq ft of landscape area)	<input checked="" type="checkbox"/> Prepared by professional	<input type="checkbox"/>
<b>Audit</b>	Landscape Audit Report completed	<input checked="" type="checkbox"/> Completed by professional	<input type="checkbox"/>
Material Submitted to Applicant		Measure Recommended to Applicant	
<b>Auditor:</b>	Regional Water Efficient Landscape Ordinance	<input type="checkbox"/> Drip irrigation	
<input type="checkbox"/> Project Information	Landscape Application Checklist	<input type="checkbox"/> Plant palette	
<input type="checkbox"/> Water Budget Calculation Worksheet	Water Budget Calculation Worksheet	<input type="checkbox"/> Grading	
<input type="checkbox"/> Landscape Application Checklist	WUCOLS Listing	<input type="checkbox"/> Proof and/or spa cover	
<input type="checkbox"/> Certificate of Completion	Other:	<input type="checkbox"/> Irrigated irrigation meter	
<input type="checkbox"/> Landscape Audit Report		<input type="checkbox"/> Other:	
<input type="checkbox"/> Landscape Design Plan / WUCOLS Listing			
<input type="checkbox"/> Soil Management Report			
<input type="checkbox"/> Irrigation Design Plan			
<input type="checkbox"/> Grading Design Plan			
<b>Date Reviewed:</b>			
<input type="checkbox"/> Follow-up required (explain):			
<b>Date Resubmitted:</b>			
<b>Date Approved:</b>			
<b>Dedicated Irrigation Meter Required:</b>			
<b>Meter Sizing:</b>			
<b>Comments:</b>			

Maximum Applied Water Allowance Calculations for New and Rehabilitated Non-Residential Landscapes

Enter value in Pale Blue Cells

Messages and Warnings	Tan Cells Show Results
Click on the blue cell on right to Pick City Name	<b>Palo Alto</b>   <b>Menlo Park</b>
ET <sub>c</sub> of City from Appendix A	43.00 ET (inches/year)
	0 Overhead Landscape Area (ft²)
	85040 Drip Landscape Area (ft²)
	4219 SLA (ft²)
	<b>89,259</b> Total Landscape Area
Results: (ET <sub>c</sub> ) x (0.62) x [(0.45 x LA) + (1.0 - 0.45) x SLA]	Gallons
	Cubic Feet
	AC-FEET
	Milions of Gallons
<b>MAWA calculation incorporating Effective Precipitation (Optional)</b>	
Precipitation (Optional): ET <sub>c</sub> of City from Appendix A	43.00 ET (inches/year)
Total Landscape Area	89,259 LA (ft²)
Special Landscape Area	4,219 SLA (ft²)
Enter Effective Precipitation	17 Total annual precipitation (inches/year)
	4.25 Eppz (50%/25% of total annual precipitation)
Results: MAWA = [ET <sub>c</sub> - Eppz] x [(0.62) x [(0.45 x LA) + (1.0 - 0.45) x SLA]]	1,028,750 Gallons
	116,458.90 Cubic Feet
	1,364.68 AC-FEET
	3.13 Acre-feet
	1.62 Millions of Gallons

Estimated Total Water Use

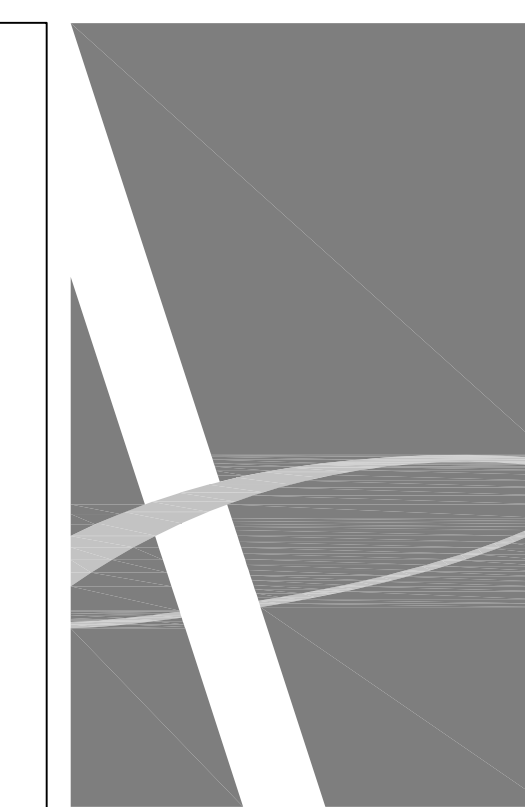
Equation: ETWU = ET<sub>c</sub> × (0.62 × [(PP + MAWE) × SLA]) Considering precipitation ETWA = (ET<sub>c</sub> - Eppz) × [(PP + MAWE) × SLA]

Hydrozone	Select System From the Crop/Plant List	Plant Water Use (gals per sq ft)	Plant Factor (PF)	Hydrozone Area (HA)	Enter Irrigation Efficiency (IE)	ETWU × HA (ft²) IE
Zone 1	Overhead	0.50	0.80		0.80	0
Zone 2	Drip	0.50	0.80	13,739	0.80	8,263
Zone 3	Drip	0.50	0.80		0.80	
Zone 4	Drip	0.50	0.80	71,301	0.80	22,098
Zone 5	Drip	0.50	0.80		0.80	
Zone 6	Drip	0.50	0.80		0.80	
Zone 7						
Zone 8						
Zone 9						
Zone 10						
Zone 11						
Zone 12						
Zone 13						
Zone 14						
Zone 15						
Zone 16						
Zone 17						
Zone 18						
Zone 19						
Zone 20						
SLA	Sum			4,219		30,887
<b>Results</b>						
MAWA =	ETWA =	0.62	ETWA =	0.62	ETWA	ETWA complies with MAWA
1,028,750 Gallons	116,458.90 Cubic Feet		1,028,750 Gallons	116,458.90 Cubic Feet		
1,364.68 AC-FEET	3.13 Acre-feet		1,364.68 AC-FEET	3.13 Acre-feet		
1.62 Millions of Gallons	0.63 Millions of Gallons		1.62 Millions of Gallons	0.63 Millions of Gallons		

A Planning Application for: **The SOBRATO Organization**  
**COMMONWEALTH: BUILDING 3**  
MENLO PARK, CA 94052

DATE	DESCRIPTION
10.12.17	PLANNING APPLICATION
03.06.18	PLANNING RESUBMITTAL
08.01.18	PLANNING RESUBMITTAL
10.04.18	PLANNING RESUBMITTAL
04.17.19	PLANNING RESUBMITTAL
02.04.21	PLANNING RESUBMITTAL
03.18.21	PLANNING RESUBMITTAL
06.25.21	PLANNING RESUBMITTAL
05.04.22	PLANNING RESUBMITTAL





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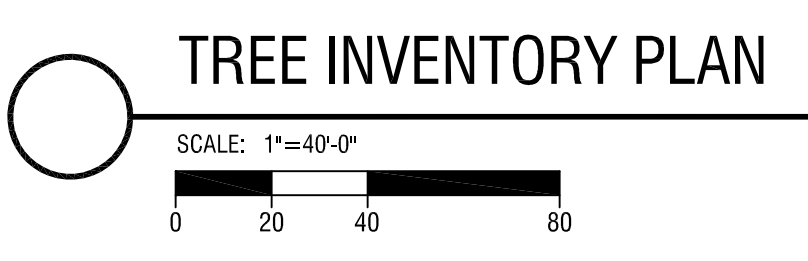
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LEGEND		
SYMBOL	NO. OF TREES	DESCRIPTION
⊙	1	EXISTING HERITAGE TREES TO REMAIN
○	185	EXISTING TREES TO REMAIN
⊗	327	EXISTING TREES TO BE REMOVED

NOTE: Tree numbers and locations per Arborist Report by FMA Landscape Services, Inc., dated June 18, 2021



Tree Inventory Plan  
**L8.01**

PROJECT NO: 164152.00