

WILLOW VILLAGE

Menlo Park, CA

MASTER PLAN CONDITIONAL DEVELOPMENT PERMIT

Peninsula Innovation Partners
December 23, 2021

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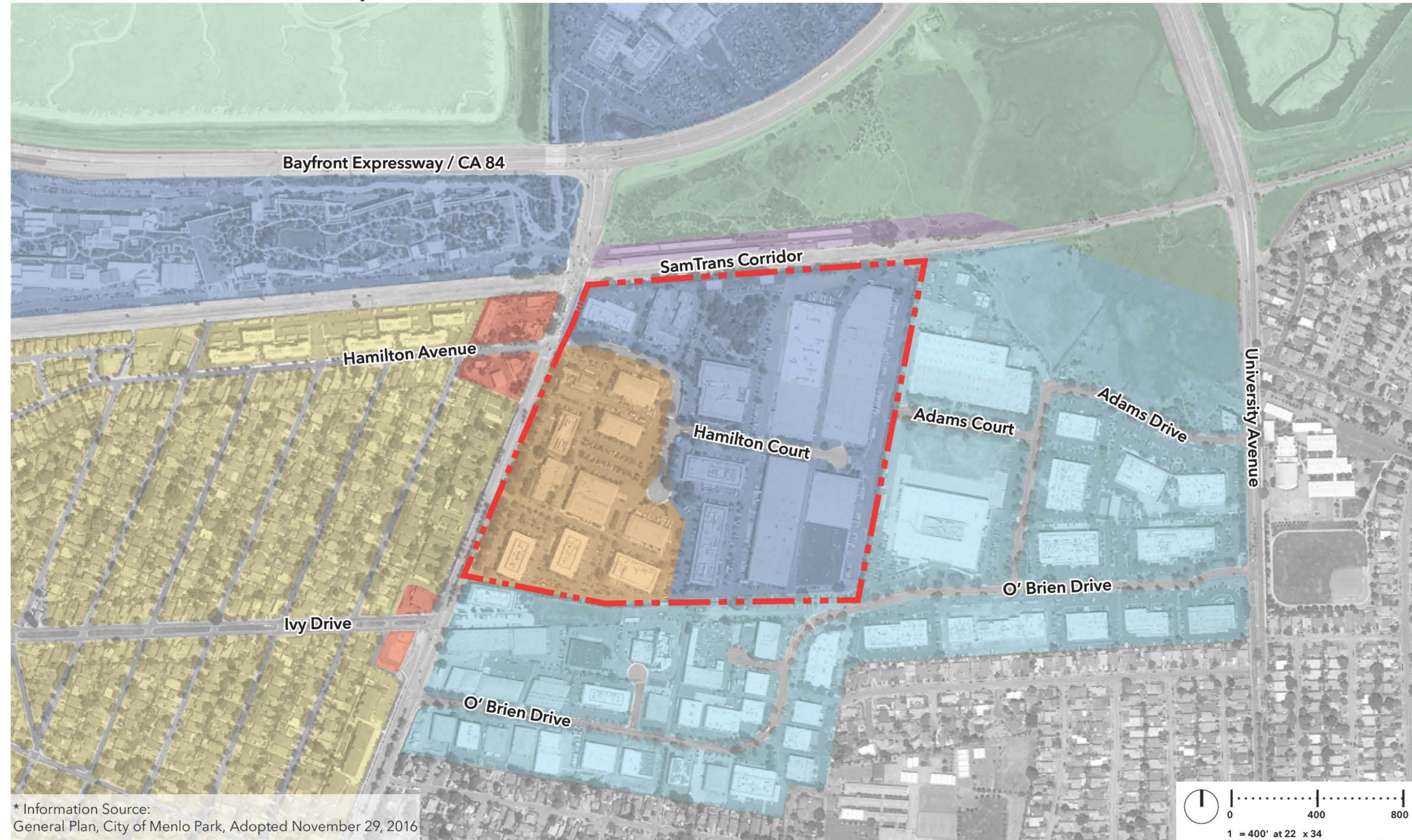
Location Map



Assessor's Parcel Numbers



General Plan Land Use Map



General Plan

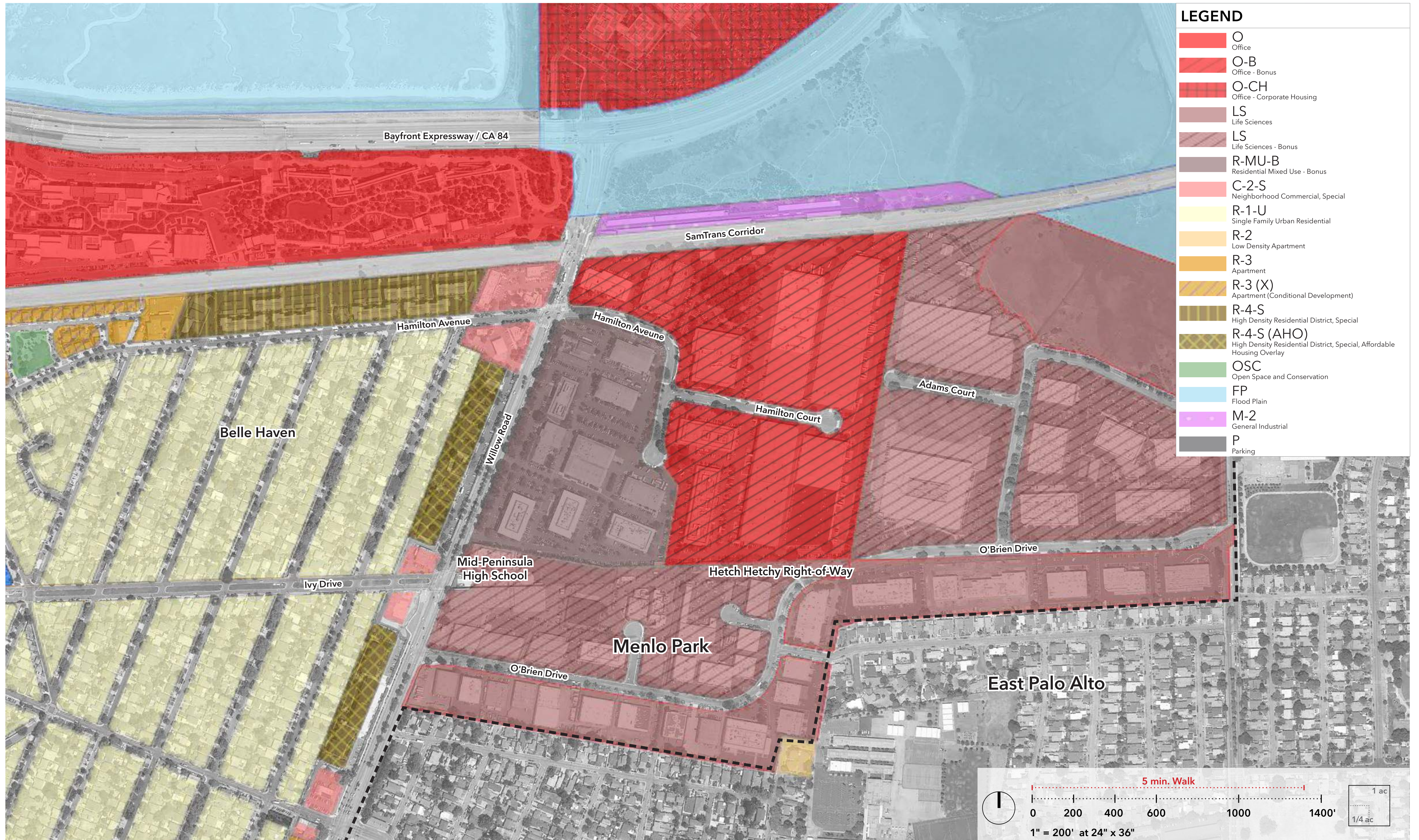
Office. This designation provides for office and R&D uses, business-oriented community education and training facilities, supportive sales and personal services, corporate housing, and hotel uses. The designation also accommodates existing and new light-industrial uses that are not in conflict with existing or planned commercial or residential uses in the vicinity. Hotels are allowed as options in several locations. The maximum base FAR shall be 45 percent and the maximum bonus FAR with community amenities shall be 100 percent. Maximum FAR for corporate housing shall be 60 percent, for retail and service uses shall be 25 percent, and for hotels shall be 175 percent

Mixed Use Residential. This designation provides for higher density housing to meet the needs of all income levels. It also allows mixed use developments with integrated or stand-alone supportive sales and service uses, and uses that are consistent with the Office Designation. Sales uses can range from small-scale businesses that serve nearby employment to a large-format grocery to serve adjacent neighborhoods. This designation is intended to promote live/work/play environments oriented toward pedestrians, transit, and bicycle use, especially for commuting to nearby jobs. The maximum base residential density shall not exceed 30 units per acre, and the maximum bonus FAR is 100 units per acre. Maximum base FAR for residential uses shall be 90 percent, and a maximum of 225 percent for bonus FAR. Non-residential uses shall have a maximum base FAR of 15 percent and bonus FAR of 25 percent.

General Plan Land Use Designations

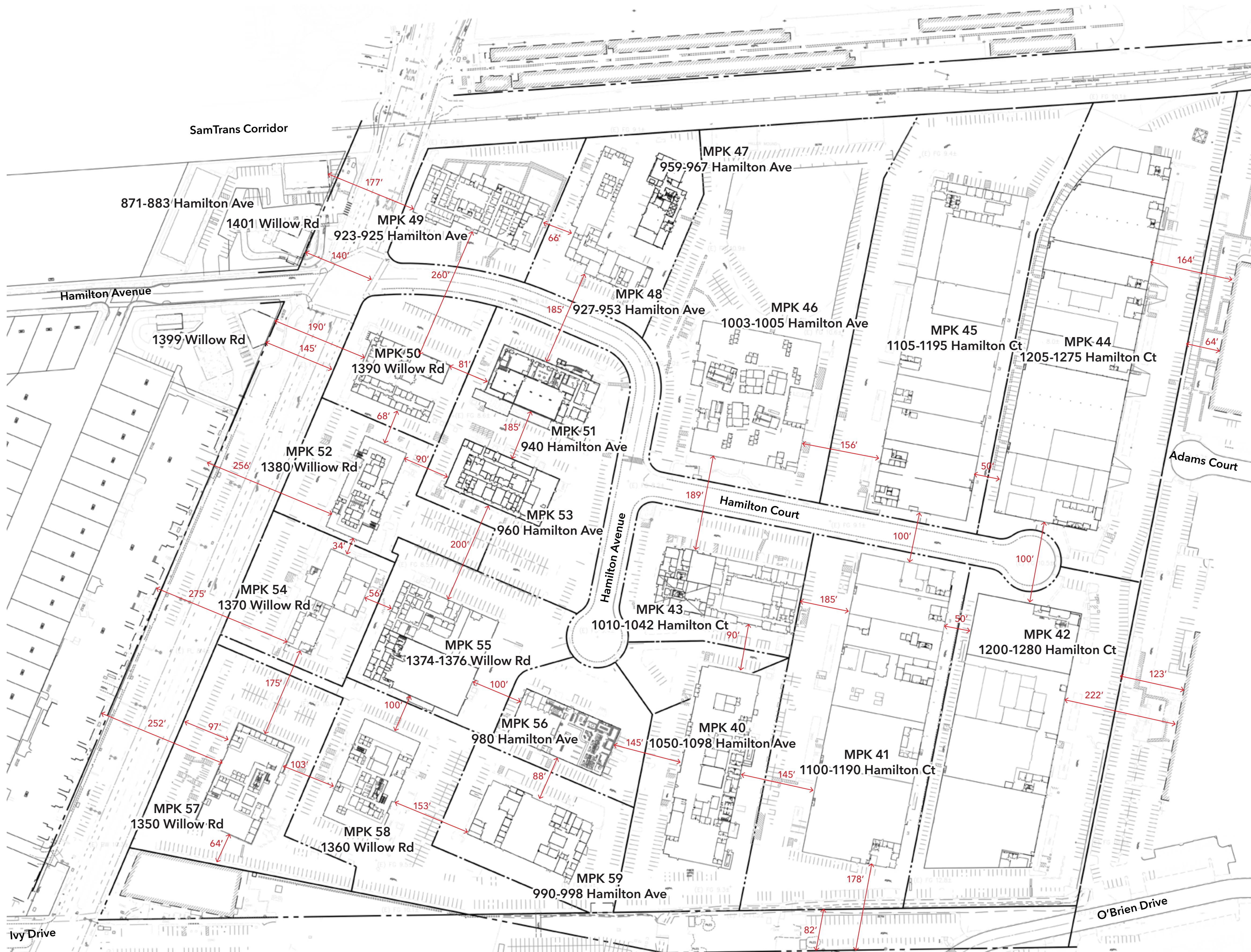
- Residential
- Baylands
- Life Sciences
- Office
- Mixed Use Residential
- Light Industrial
- Commercial Business Park





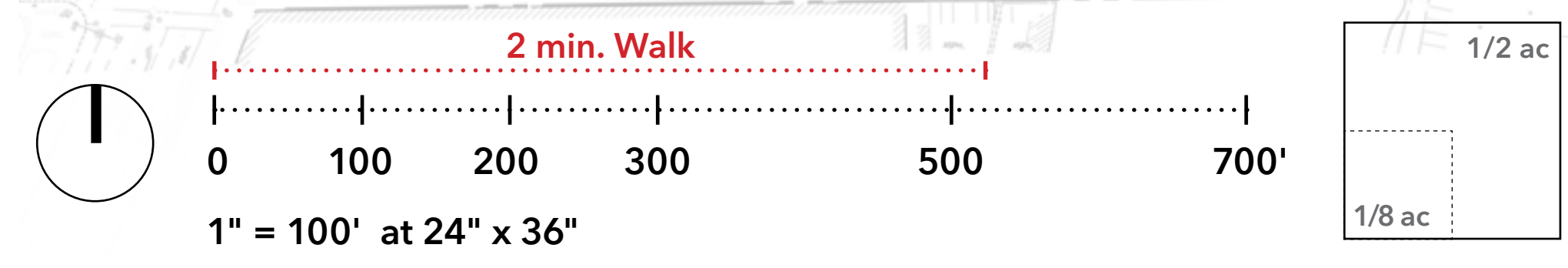
LEGEND

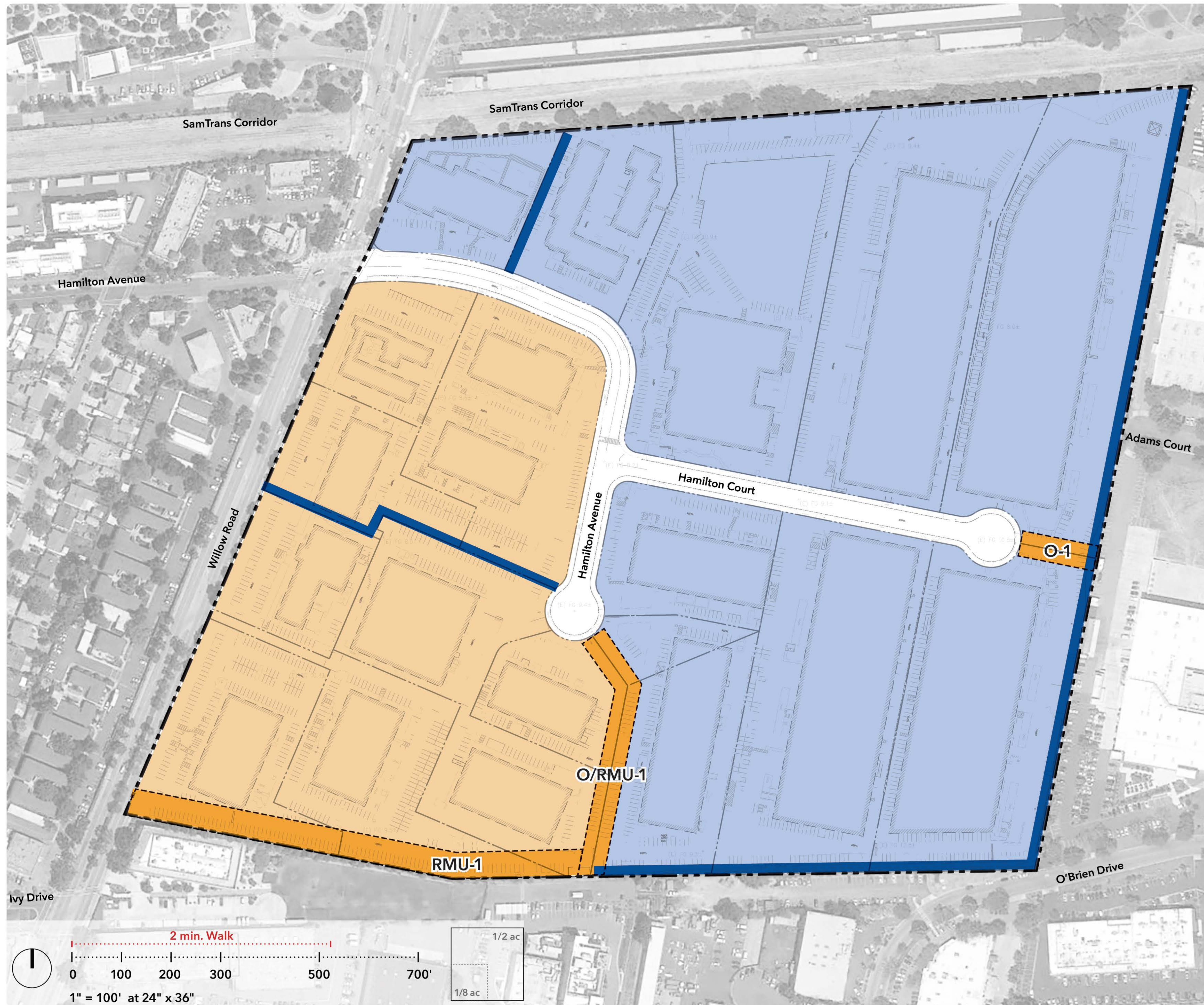
	O	Office
	O-B	Office - Bonus
	O-CH	Office - Corporate Housing
	LS	Life Sciences
	LS	Life Sciences - Bonus
	R-MU-B	Residential Mixed Use - Bonus
	C-2-S	Neighborhood Commercial, Special
	R-1-U	Single Family Urban Residential
	R-2	Low Density Apartment
	R-3	Apartment
	R-3 (X)	Apartment (Conditional Development)
	R-4-S	High Density Residential District, Special
	R-4-S (AHO)	High Density Residential District, Special, Affordable Housing Overlay
	OSC	Open Space and Conservation
	FP	Flood Plain
	M-2	General Industrial
	P	Parking



EXISTING LAND USE AREA SUMMARY			
Land Use	Bldg#	Area (GSF)	Subtotal (GSF)
Office	MPK 40	46,640	251,530
	MPK 46	56,340	
	MPK 50	15,200	
	MPK 52	34,890	
	MPK 57	50,500	
	MPK 58	47,960	
Office & R&D	MPK 43	20,840	93,500
	MPK 48	20,160	
	MPK 54	26,740	
	MPK 59	25,760	
Office & Lab & Manufacture	MPK 51	23,570	23,570
R&D	MPK 47	10,400	30,370
	MPK 53	19,970	
Warehouse	MPK 41	109,620	500,780
	MPK 42	107,350	
	MPK 44	145,080	
	MPK 45	118,740	
	MPK 56	19,990	
Health Center	MPK 49	24,060	24,060
Former Fire Department	MPK 55	80,100	80,100
Total			1,003,910

Note: Refer to Appendix 8 for building-by-building details.





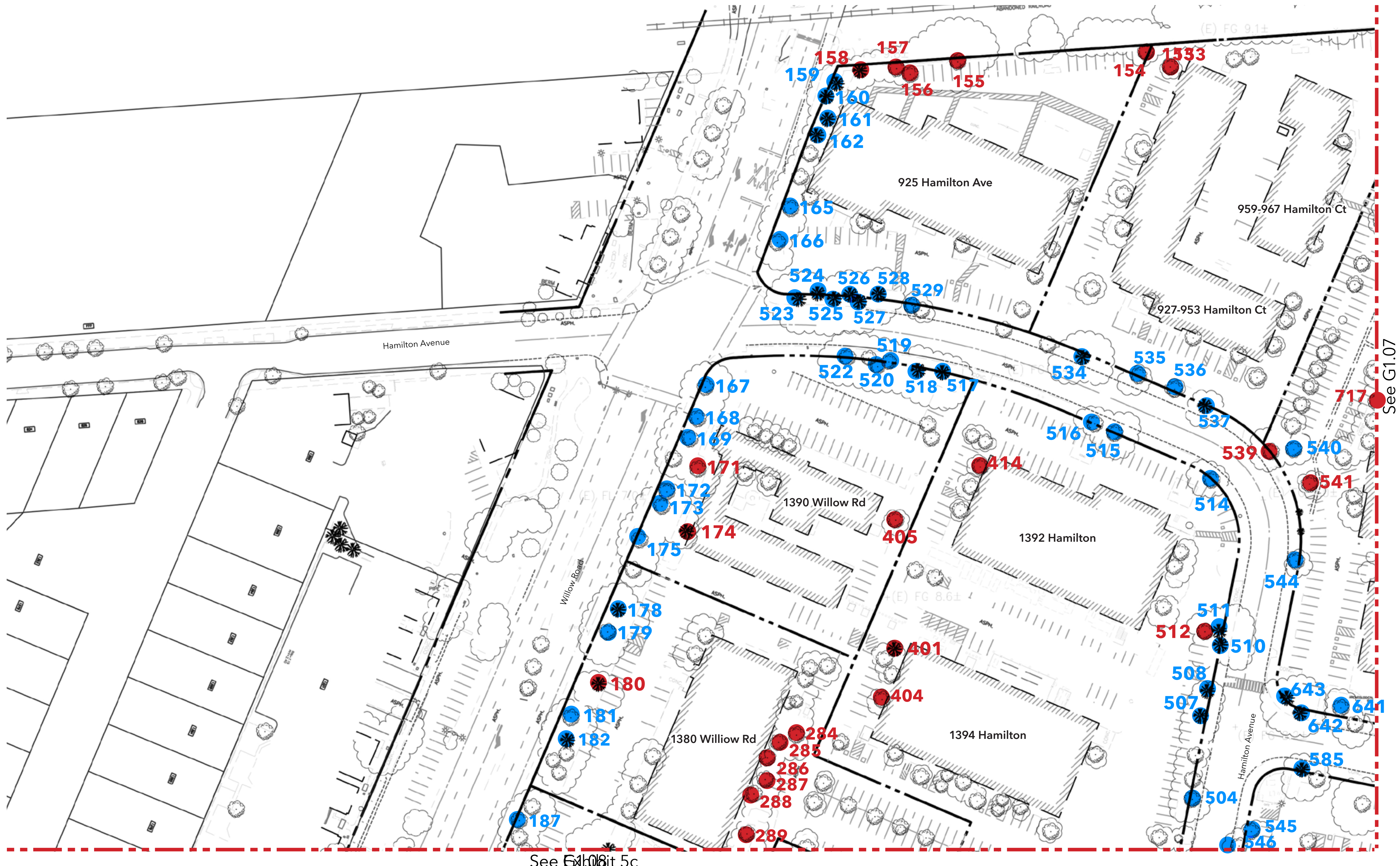
LEGEND	
	Site Boundary
	General Plan Office
	General Plan Residential Mixed Use
	General Plan Mixed Use Collector
	General Plan Paseo

GENERAL PLAN AREA SUMMARY		
	Area (sf)	Area (acre)
Aggregate Site Area (ASA)	2,585,538.50	59.36
Existing ROW Area	128,737.50	2.96
Existing ASA Minus Existing ROW Area	2,456,801.00	56.40
General Plan Office Area	1,624,248.00	37.29
General Plan Residential Mixed Use Area	832,553.00	19.11

ZONING ROW AREA SUMMARY			
To-Be Deducted from Zoning	#	Area (sf)	Sub-total
O	O-1*	9,480.00	O - 24,975.00 sf; R-MU - 72,628.20 sf
R-MU	RMU-1*	57,133.20	
50% O; 50% R-MU	O/RMU-1*	30,990.00	

*Proposed Mixed-Use Collector ROW width = 60 feet
**Paseos are not included in the General Plan ROW area calculations

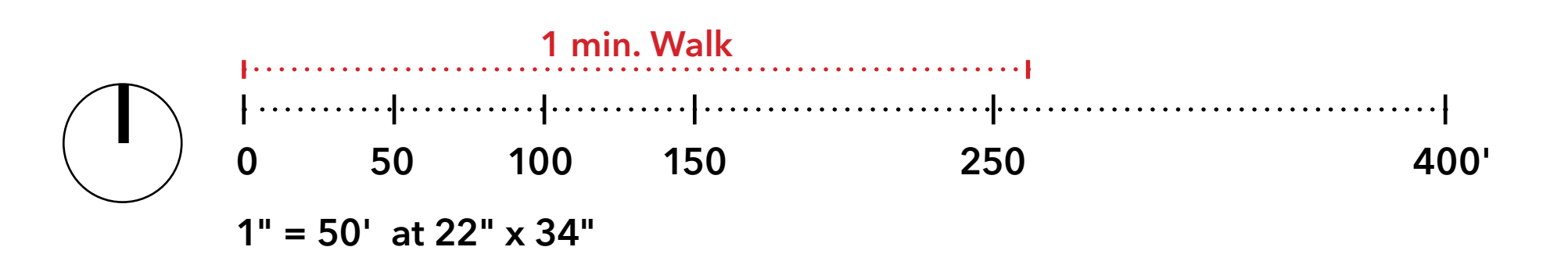
ZONING DISTRICT FAR AREA SUMMARY		
	Area (sf)	Area (acre)
Aggregate Site Area (ASA)	2,585,538.50	59.36
Required O FAR Area General Plan O Area – ROW Area to-be deducted from O Zoning	1,599,273.00	36.71
Required R-MU FAR Area General Plan R-MU Area – ROW Area to-be deducted from R-MU Zoning	759,924.80	17.45
Total Zoning ROW Area	226,340.70	5.20
ASA minus Existing ROW & Zoning ROW	2,359,197.80	54.16

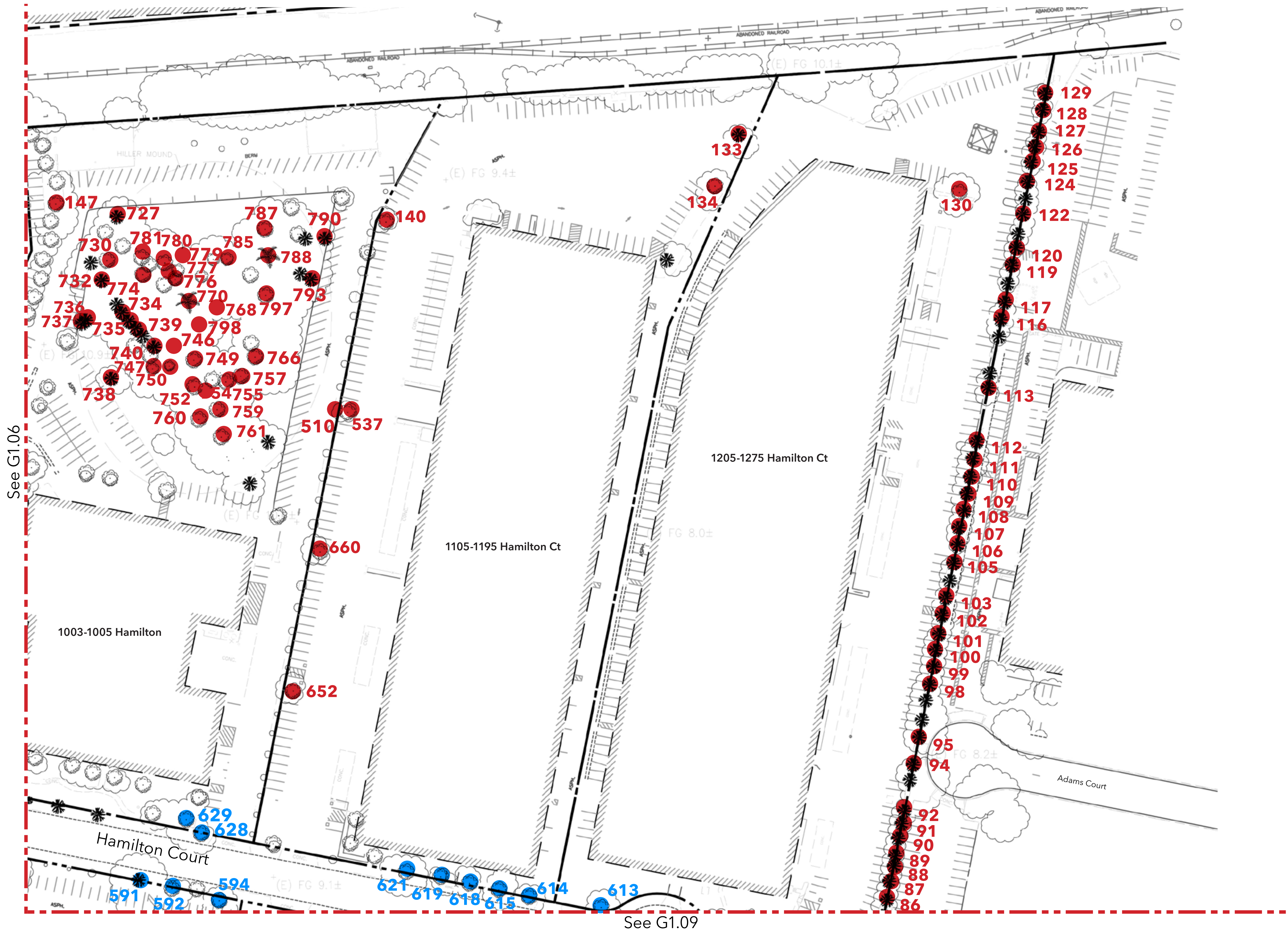


Heritage Tree Removal Summary		
	Total Trees To-Be Removed	760
	Heritage Trees (Street Tree) To-Be Removed	87
	Heritage Trees To-Be Removed	179
	Non-heritage Trees To-Be Removed	494*
	Total Trees To Remain	24
	Heritage Trees To Remain	8
	Non-heritage Trees To Remain	16
* Includes 54 non-heritage street trees to be removed.		
Note: All tree replacements will meet minimum tree replacement value determined by the arborist, SBCA Tree Consulting, per arborist report dated December 23, 2021.		

See Exhibit 5c

See G1.07



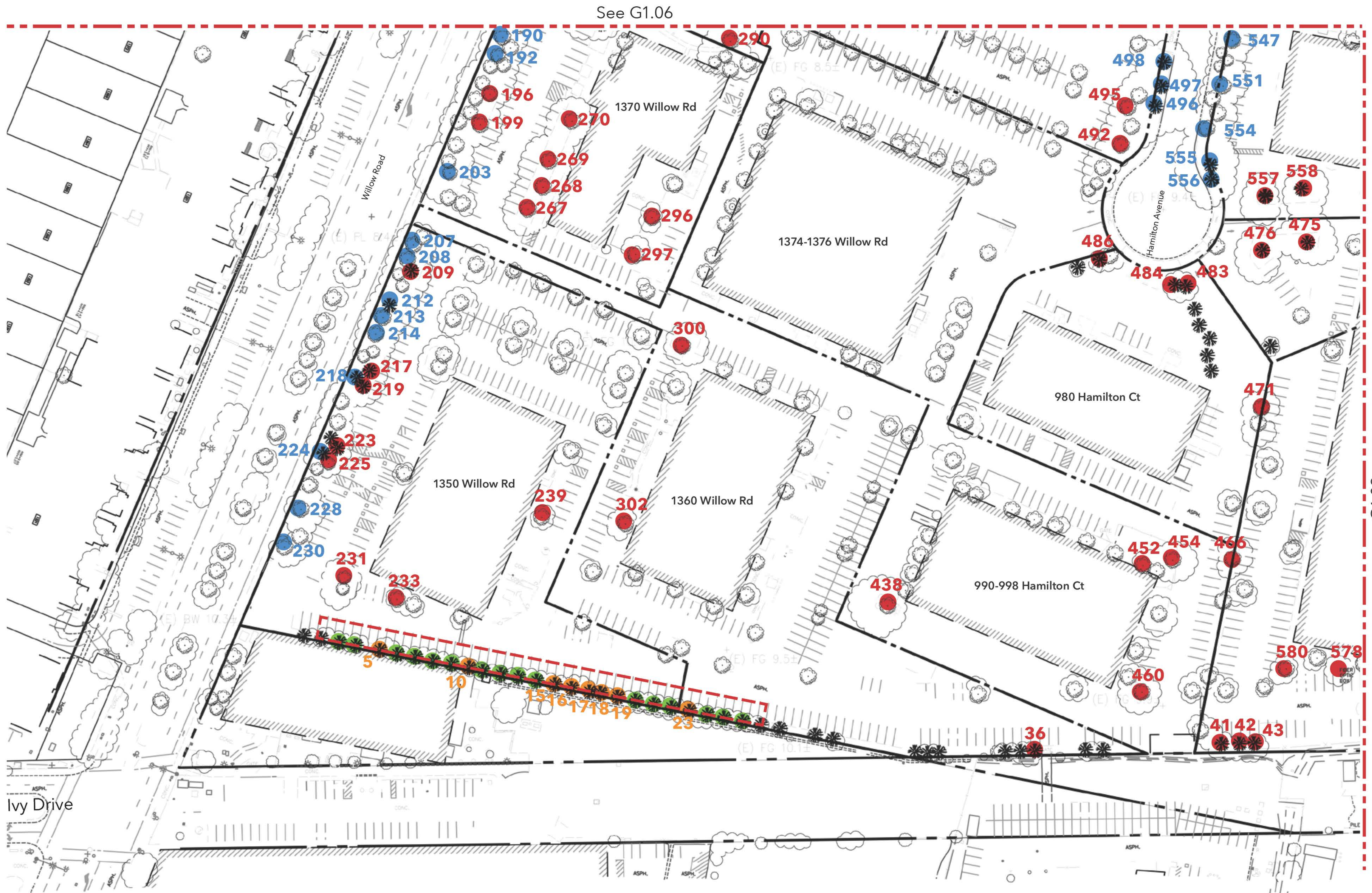


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See G1.06

See G1.09



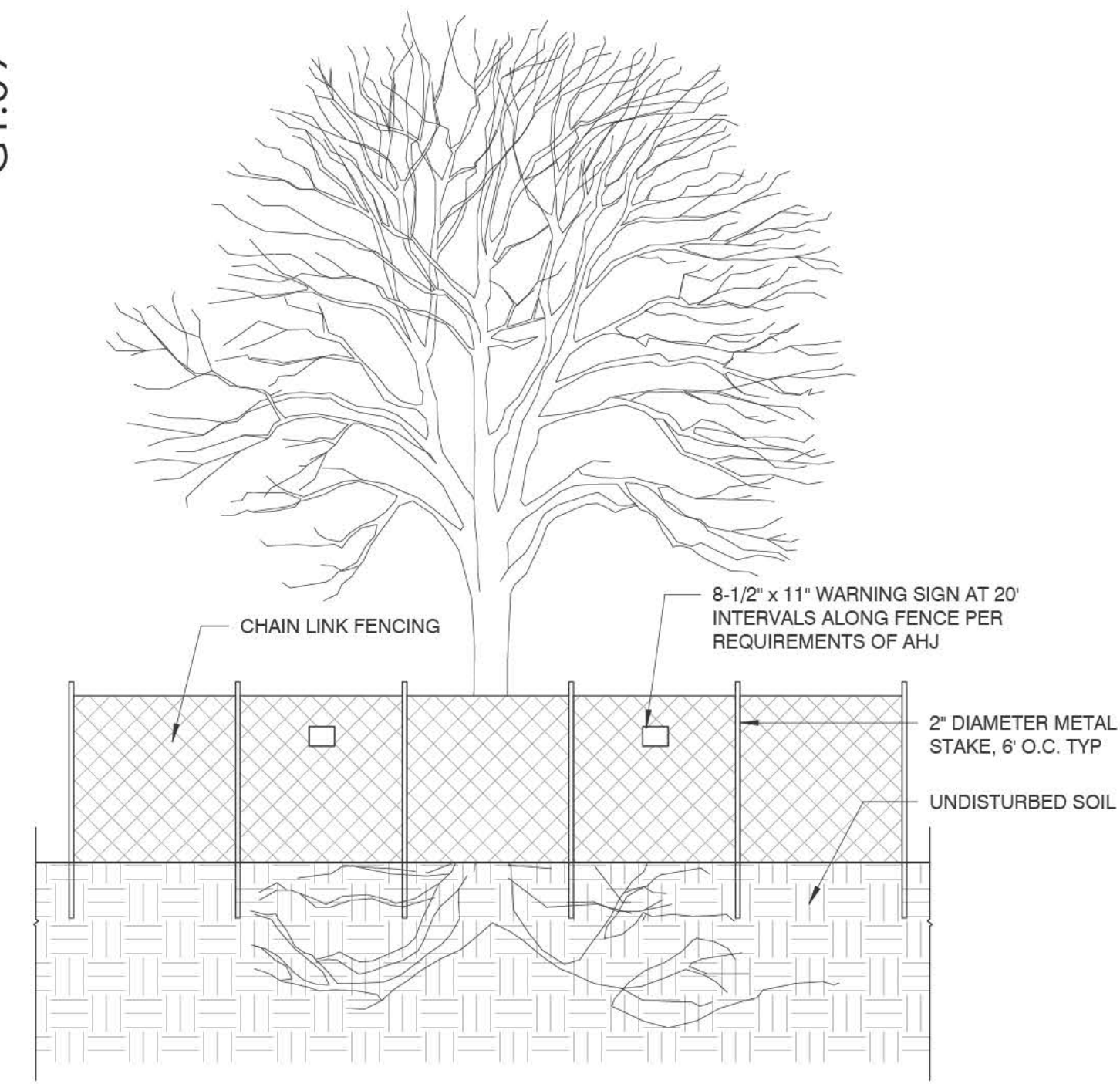
See G1.06

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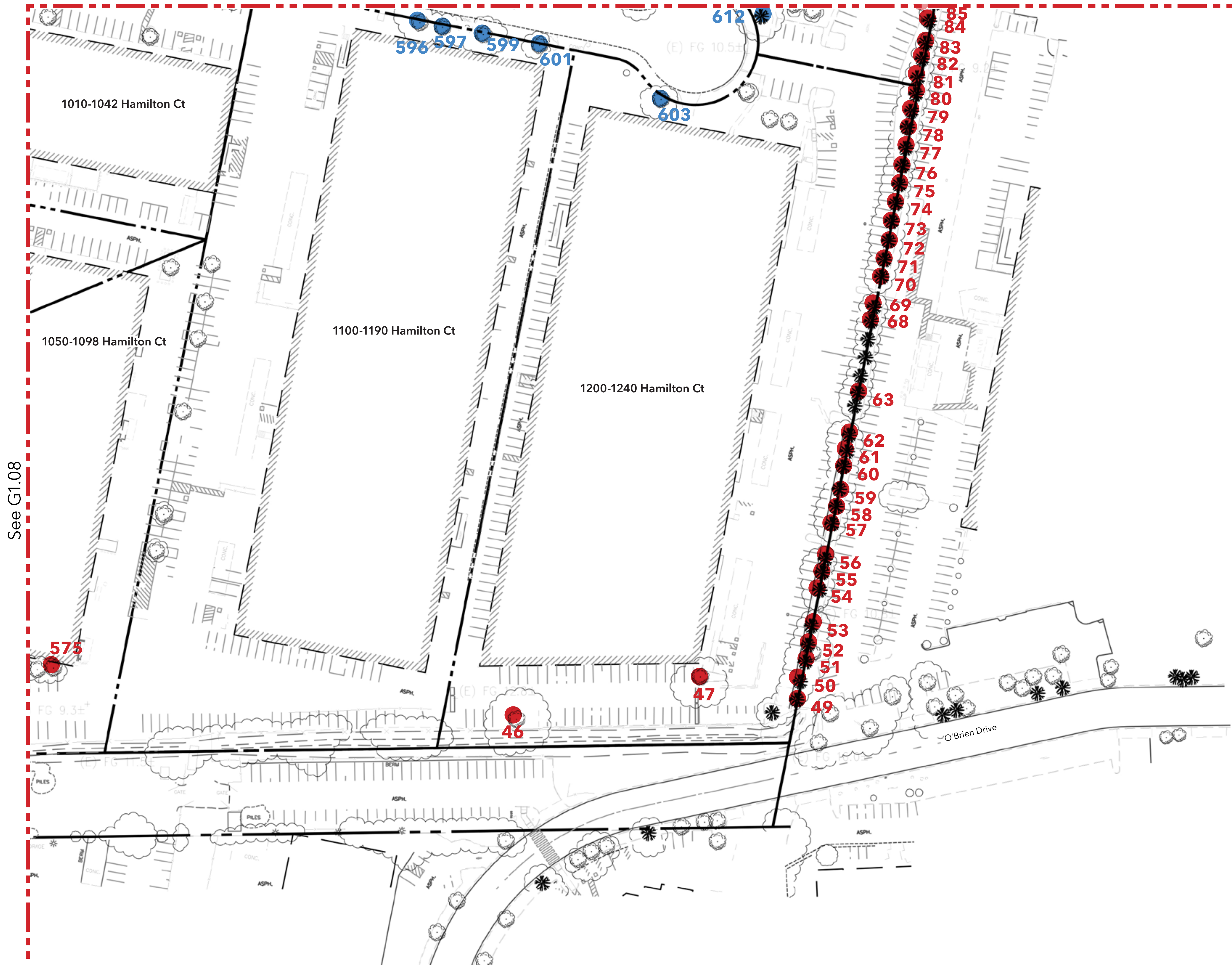
23' Tree Protection Zone** for Trees to be Preserved
 ** Per Menlo Park Municipal Code section 13.24.030 Maintenance and Preservation of Heritage Trees.



TEMP. TREE PROTECTION DETAIL
 SCALE: 3/16" = 1' - 0"

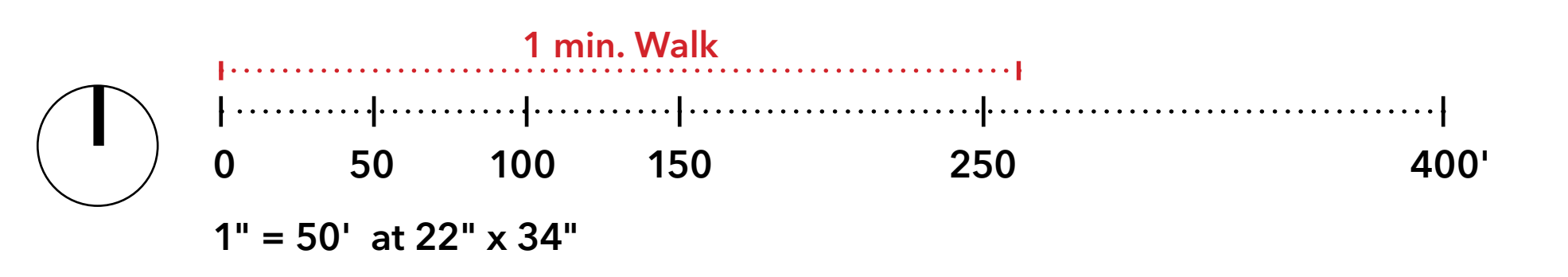
- NOTES**
- TREE IDENTIFICATION NUMBERS REFERENCE ARBORIST REPORT BY ERIC FOLMER DATED 2/1/2020, AND ARBORIST REPORT BY SBCA DATED 06/15/2021.
 - PROTECTIVE FENCING INSTALLED PRIOR TO ARRIVAL OF MATERIALS, VEHICLES, OR EQUIPMENT.
 - MOVING TREE PROTECTION FENCE PROHIBITED WITHOUT AUTHORIZATION FROM PROJECT ARBORIST AND CITY STAFF.
 - TREE PROTECTION ZONE COVERS PRIMARY ROOT PLATES (PRP) AT A MIN.
 - FOR DEMOLITION WITHIN AREAS OF TREE PROTECTION SEE PROJECT ARBORIST SPECIFICATIONS.

See G1.07



See G1.08

Heritage Tree Removal Summary		
	Total Trees To-Be Removed	760
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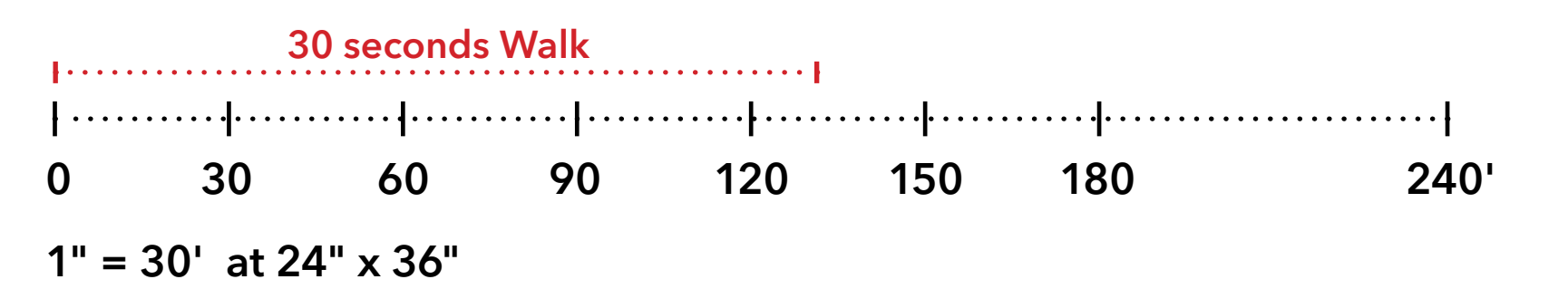
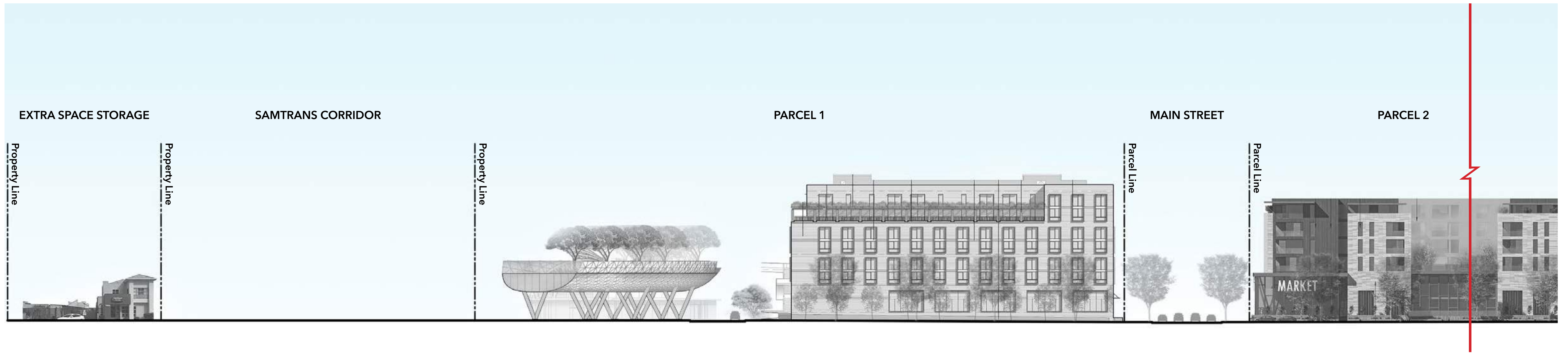
LEGEND	
1	Town Square
2	Grocery Store on Ground Level
3	Publicly Accessible Park
4	Publicly Accessible Dog Park
5	Elevated Park Access (Elevator and Stairs)
6	Elevated Park
7	Hotel
8	Mixed-Use Block
9	Residential Block
10a	Office Campus
10b	Meeting & Collaboration Space
11	Parking Garage with Transit Hub on Ground Level
12	Proposed Multi-use Pathway
13	Willow Road Tunnel
14	Realigned Hamilton Avenue
15	Hamilton Avenue Parcel North
16	Hamilton Avenue Parcel South

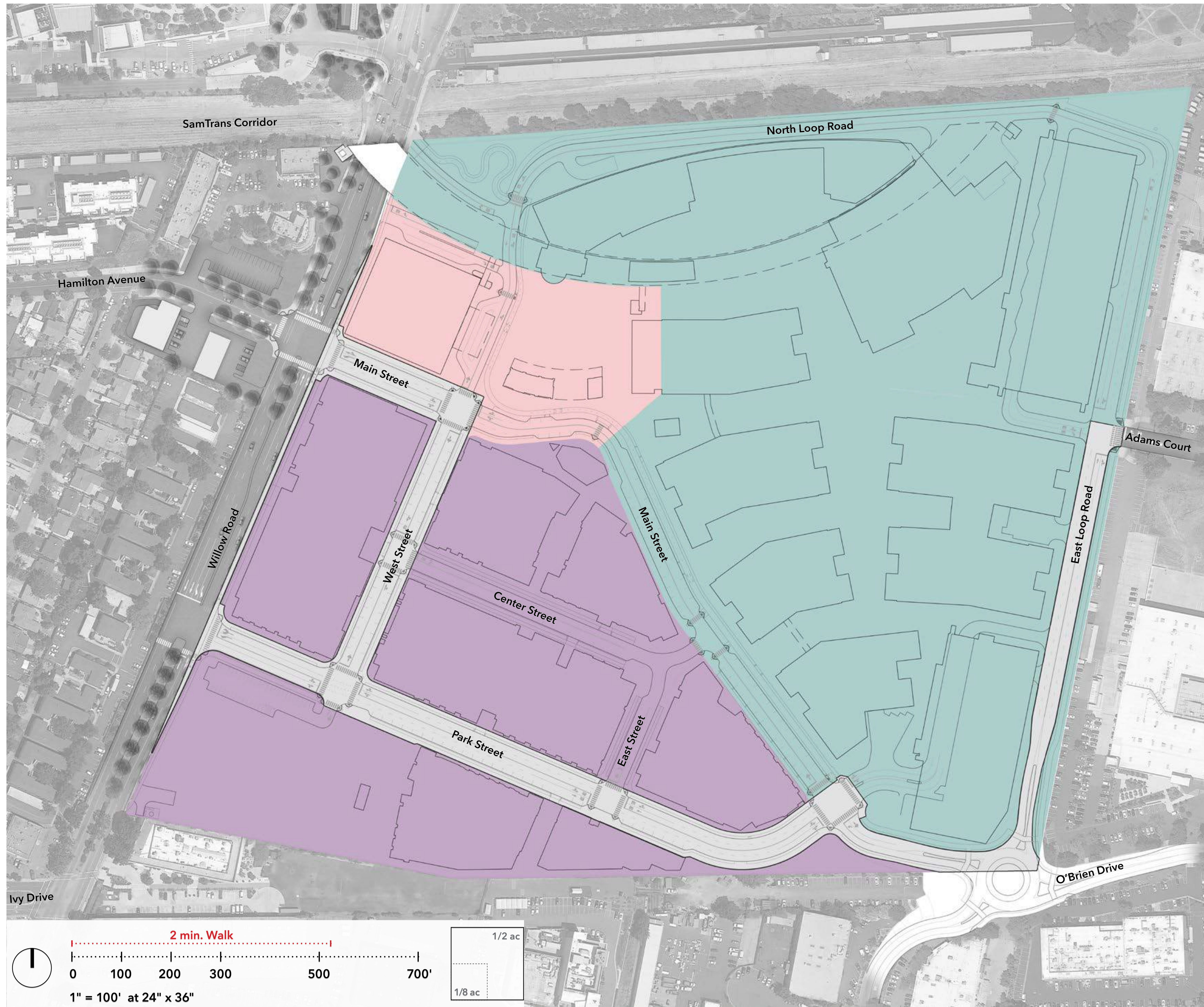




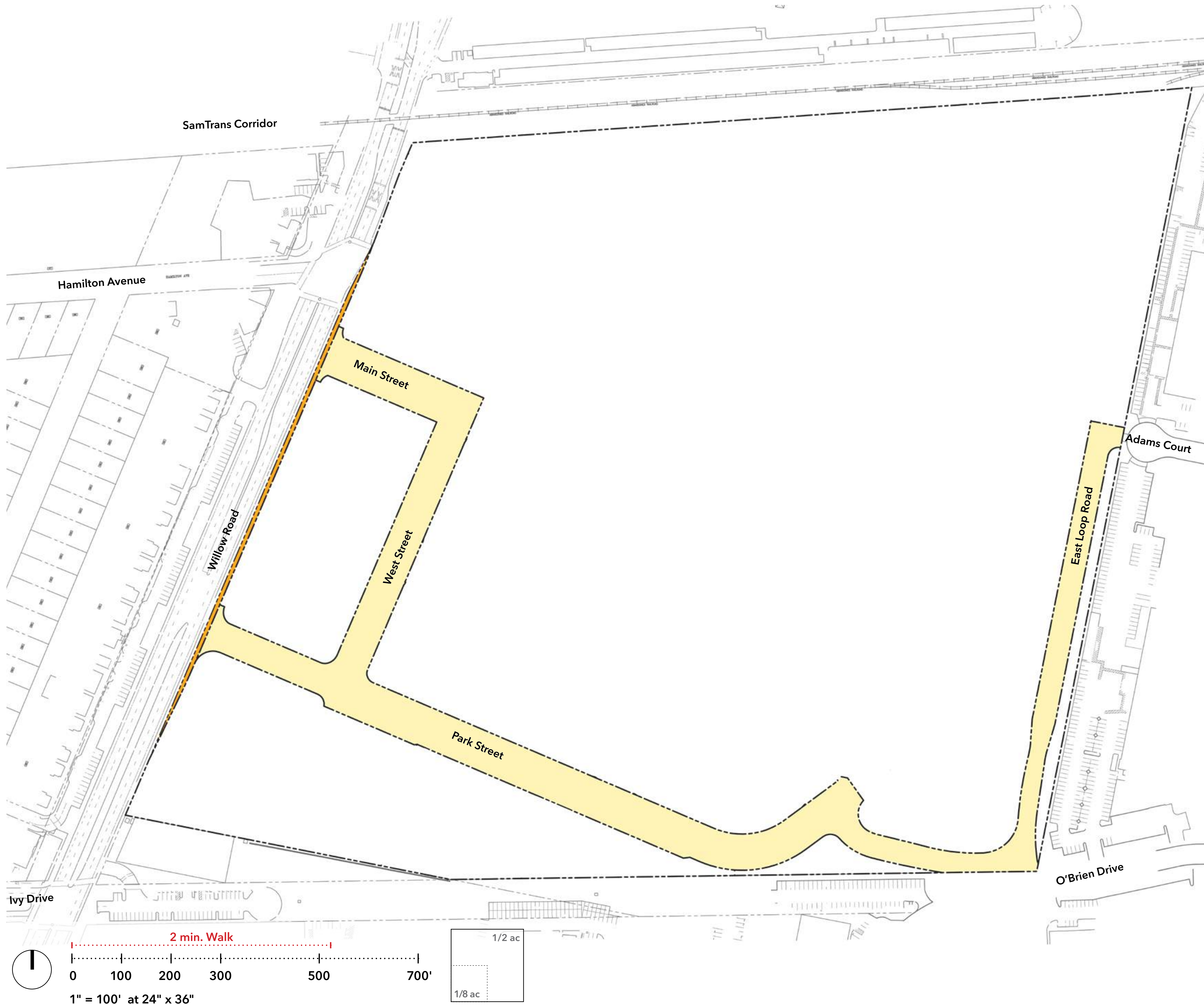








LEGEND		
	Town Square District	4.33 acre
	Campus District	31.72 acre
	Residential / Shopping District	17.67 acre
	Public R.O.W.	5.64 acre
	Total	59.36 acre



ZONING DISTRICT FAR AREA SUMMARY

Aggregate Site Area (ASA)	2,585,538.50 sf
Existing & Zoning Public ROW	226,340.70 sf
ASA minus Existing & Zoning ROW	2,359,197.80 sf
Required O FAR Area	1,599,273.00 sf
Required O FAR Area % of Total (O FAR Area) / (ASA - ROW)	67.79 %
Required R-MU FAR Area	759,924.80 sf
Required R-MU FAR Area % of Total (R-MU FAR Area) / (ASA - ROW)	32.21 %

PROPOSED FAR AREA SUMMARY

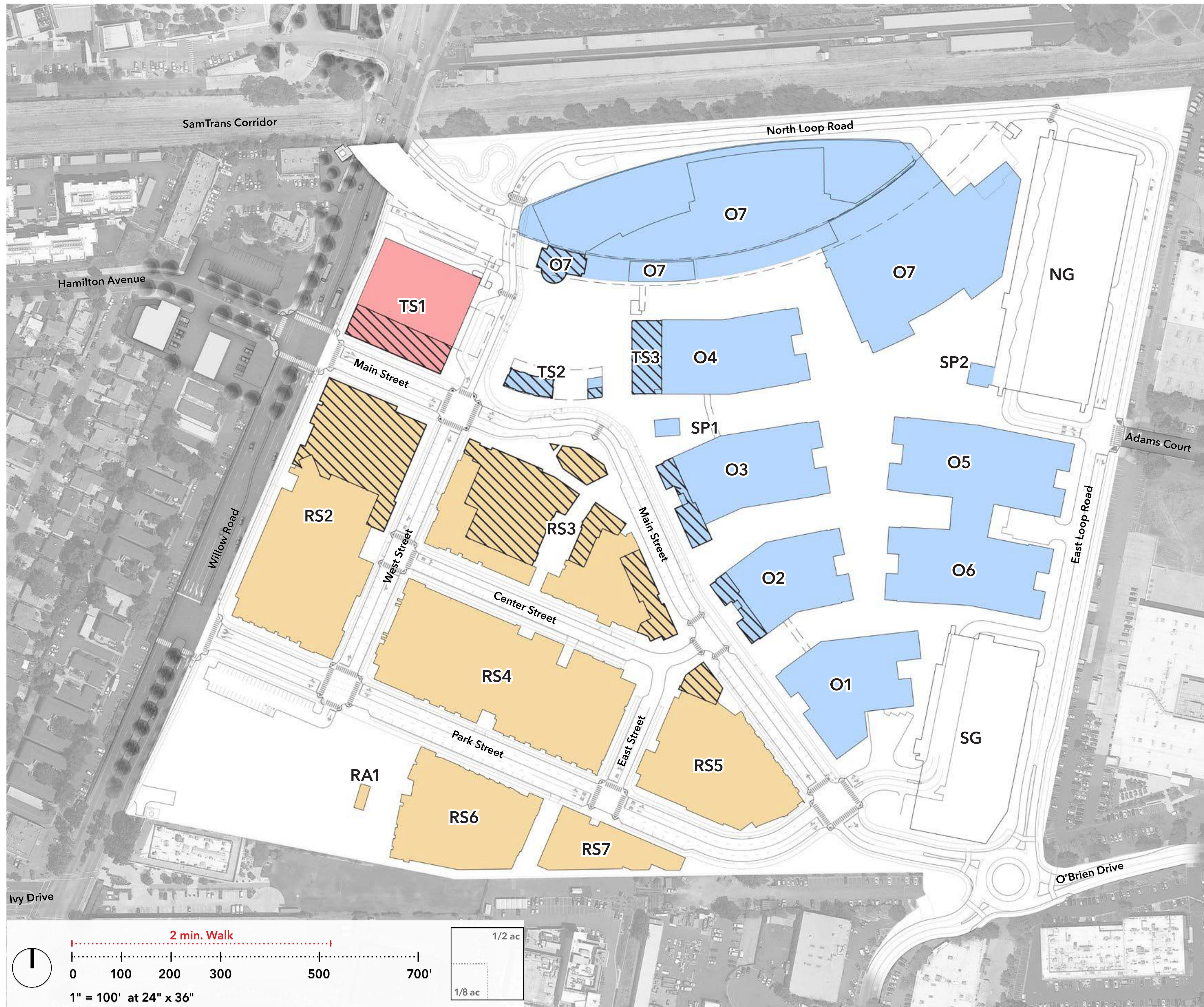
Caltrans ROW Dedication	8,344.72 sf
Proposed Public ROW (Caltrans ROW Dedication Included)	245,458.71 sf
Public ROW Increase above Existing & Zoning Public ROW (Proposed ROW - Existing & Zoning R.O.W.)	19,118.01 sf
ASA minus Proposed ROW	2,340,079.79 sf
New O FAR Area Zoning Existing O FAR Area - (ROW Increase x Zoning O FAR Area %)	1,586,312.90 sf
Zoning R-MU FAR Area Revised Existing R-MU FAR Area - (ROW Increase x Zoning R-MU FAR Area %)	753,766.89 sf

MAXIMUM BUILDABLE AREA SUMMARY

ZD Compliant Total Office	1,774,754.62 sf*
ZD Compliant Total Commercial Area	396,578.23 sf
ZD Compliant Residential (max)	1,695,975.50 sf
ZD Compliant Residential (max)	1,730 units**

* Includes the "non-residential" GFA permitted under the R-MU zoning which allows for office uses.
 ** Residential FAR is variable, ranging from 30 developable units per acre (FAR 0.9) to 100 developable units per acre (FAR 2.25).

Note: Parcels may be further subdivided for subphasing, financing, or other development purposes.



LEGEND	
■	Office
■	Hotel
■	Residential
■	Commercial / Retail

PROPOSED FAR AREA SUMMARY	
R - MU	753,766.89 sf*
O	1,586,312.90 sf**
Public R.O.W.	245,458.71 sf
Total	2,585,538.50 sf (59.36 Acre)

* Includes 55,461.49 sf of private R.O.W.
** Includes 257,474.32 sf of private R.O.W.

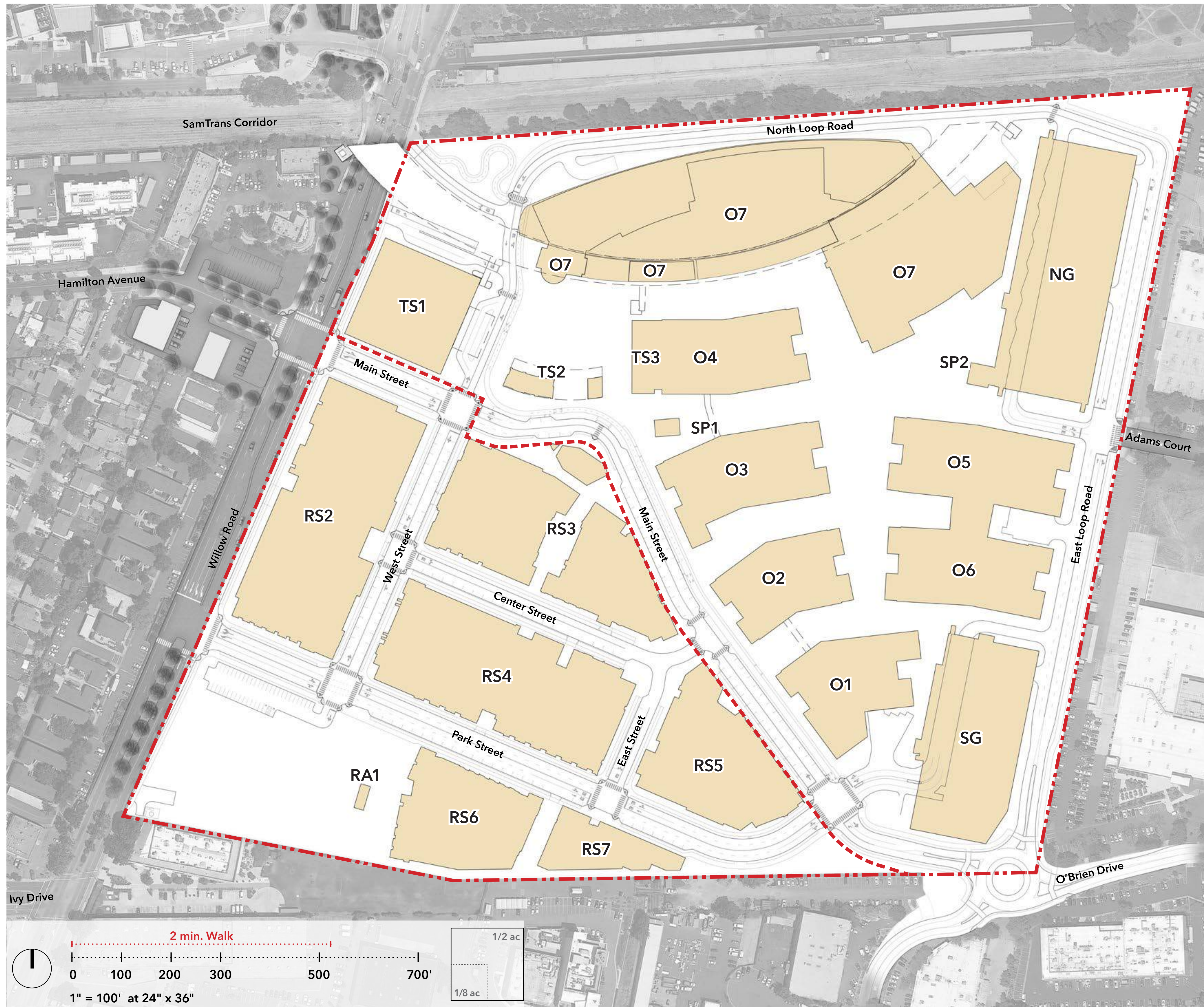
MAXIMUM BUILDABLE AREA SUMMARY PER ZONING					
Use	O			R-MU	
	Office	Commercial	Hotel	Residential	Non-Residential
Bonus Level GFA	(O FAR 100%) 1,586,312.90	(O FAR 25%) 396,578.23	(O FAR 175%) 2,776,047.58	(R-MU FAR 225%) 1,695,975.50	(R-MU FAR 25%) 188,441.72
Total Allowable GFA	1,774,754.62***	396,578.23	2,776,047.58	1,695,975.50	-
Allowable Units	-	-	-	1,730 unit	-

*** Includes the "non-residential" GFA permitted under the R-MU zoning which allows for office uses.

CDP STANDARDS				
Use	Office	Hotel	Residential	Retail
Maximum GFA	1,600,000	172,000	1,695,975.50	200,000
Maximum Units	-	-	1,730 unit	-

ILLUSTRATIVE GFA / UNIT COUNT AS DEPICTED****				
Bldg #	Office	Hotel	Residential	Retail
O1	132,477	-	-	-
O2	160,271	-	-	6,470
O3	210,081	-	-	7,638
O4	168,810	-	-	-
O5	236,151	-	-	-
O6	216,824	-	-	-
O7	455,157	-	-	16,157
SP1	1,678	-	-	-
SP2	2,500	-	-	-
TS1	-	149,776	-	13,999
TS2	364	-	-	4,588
TS3	-	-	-	14,149
RS2	-	-	316,572	39,595
RS3	-	-	412,529	54,632
RS4	-	-	433,170.75	-
RS5	-	-	242,257.75	4,390
RS6	-	-	210,180	-
RS7	-	-	80,266	-
RA1	-	-	1,000	-
Total	1,584,313	149,776	1,695,975.50	161,618
			1,730 unit	

**** Refer to Appendix 1 for illustrative parcel-by-parcel details.
Note: Square footage and unit count depicted is illustrative and may be subject to change, but will remain compliant with Maximum Buildable Area Summary per Zoning and CDP Standards.



LEGEND	
	Site Boundary
	Land Use Boundary

BUILDING HEIGHT MAXIMUM PER ZONING			
Zone	Maximum Height (ft)	Height (ft)	Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot increase in height and maximum height.
R-MU	70	52.5	
O	110	67.5, except hotels	

CDP STANDARDS		
Zone	Maximum Height (ft)	Height (ft)
R-MU	85*	62.5
O	120	70

* Includes maximum height adjustment for R-MU zoning district.

ILLUSTRATIVE BUILDING HEIGHT AS DEPICTED**					
Zone	Bldg#	Individual Bldg Max. Height	Zoning Max. Height	Individual Bldg Height***	Zoning Height***
R-MU	RS2	77.15	84.15	59.81	61.47
	RS3	84.15		66.31	
	RS4	76.61		61.02	
	RS5	77.89		60.16	
	RS6	79.78		62.92	
	RS7	76.06		53.24	
	RA1	15.16		15.16	
O	O1	67.46	118.04	57.69	66.84
	O2	83.41		79.70	
	O3	83.13		78.26	
	O4	82.31		76.28	
	O5	83.17		80.37	
	O6	82.27		73.98	
	O7	118.04		57.13	
	SP1	27.75		27.75	
	SP2	30.50		30.50	
	NG	89.30		80.27	
	SG	79.37		72.78	
	TS1	84.48		58.84	
	TS2	35.32		34.48	
TS3	36.81	27.31			

** Refer to Appendix 2 for illustrative parcel-by-parcel details.
 *** Heights depicted are calculated based on average weighted height across zoning districts.

Note: Building heights depicted are illustrative and may be subject to change, but will remain compliant with Building Height Maximum per Zoning and CDP Standards.



LEGEND	
	Open Space (Publicly Accessible)
	Elevated Open Space (Publicly Accessible)
	At-grade Open Space (No Public Access)*
	Above-grade Open Space (No Public Access)**

* Includes covered open space.
 ** Includes above-grade open space such as, roof and podium level decks, terraces, balconies, gardens, etc.

PROPOSED FAR AREA SUMMARY	
R - MU	753,766.89 sf***
O	1,586,312.90 sf****
Public R.O.W.	245,458.71 sf
Total	2,585,538.50 sf (59.36 Acre)

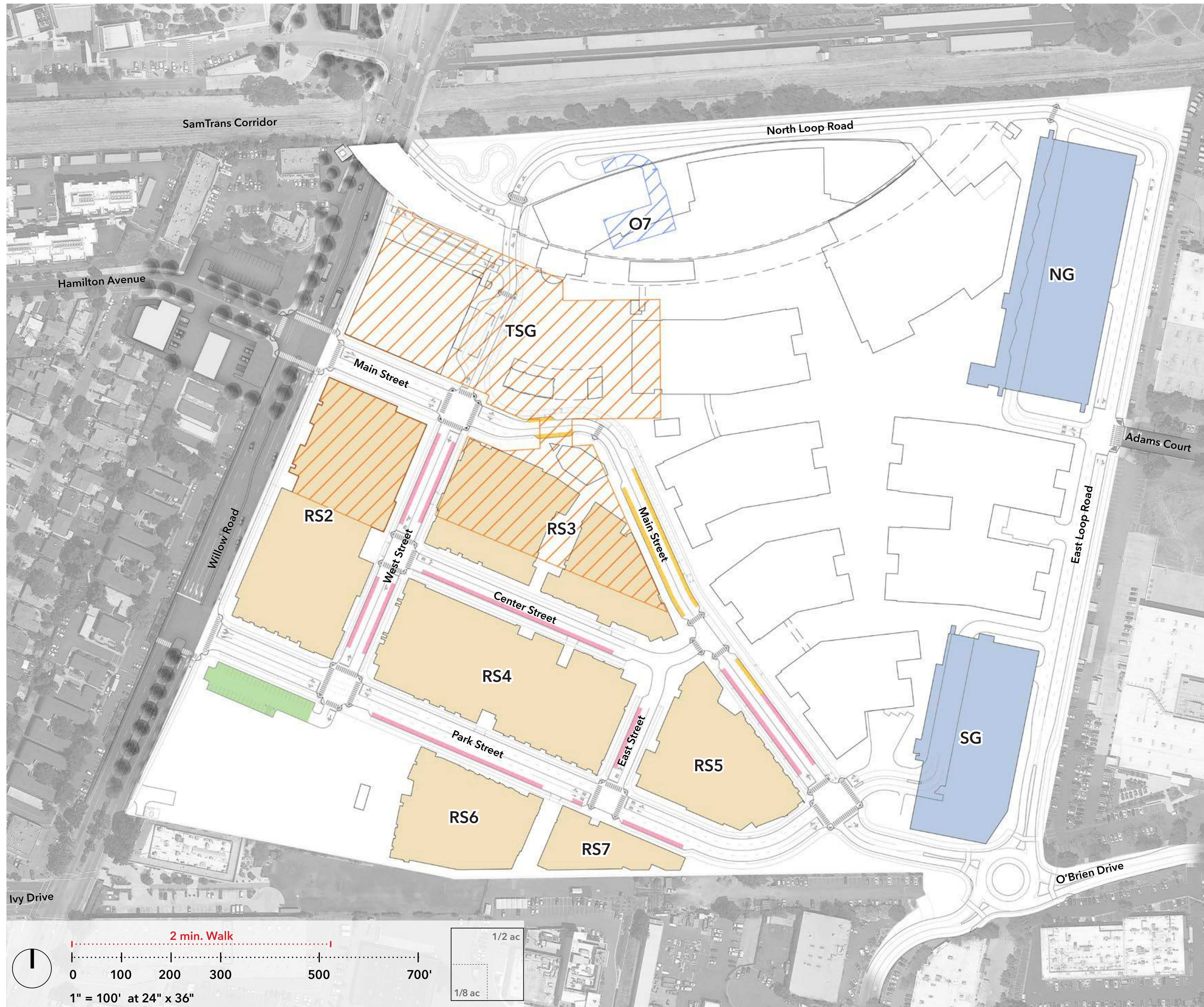
*** Includes 55,461.49 sf of private R.O.W.
 **** Includes 257,474.32 sf of private R.O.W.

OPEN SPACE REQUIREMENT PER ZONING		
Land Use	Minimum Open Space	Minimum Publicly Accessible
R - MU	188,441.72 sf (25%)	47,110.43 sf (25%)
O	475,893.87 sf (30%)	237,946.94 sf (50%)
Total	664,335.59 sf	285,057.37 sf

CDP STANDARDS		
Land Use	Minimum Open Space	Minimum Publicly Accessible
R - MU	370,000 sf	160,000 sf
O	487,000 sf	200,000 sf
Total	857,000 sf	360,000 sf

ILLUSTRATIVE OPEN SPACE AS DEPICTED*****		
Land Use	Open Space	Publicly Accessible
R - MU	400,442 sf	175,047 sf
O	540,117 sf	209,980 sf
Total	940,559 sf	385,027 sf

***** Refer to Appendix 3 for illustrative parcel-by-parcel details.
 Note: Open space depicted are illustrative and may be subject to change, but will remain compliant with Open Space Requirement per Zoning and CDP Standards.



LEGEND	
	Office Parking Structure
	Office Parking (Subgrade)
	Off-street Residential
	Shared Parking (Subgrade)
	Park Parking
	On-Street Parking
	Passenger Loading / Service

PARKING REQUIREMENT PER ZONING

Land Use	Development Maximum	Menlo Park Municipal Code			
		Minimum		Maximum	
		Ratio	Spaces	Ratio	Spaces
Office	1,600,000 sf	2.0/1,000sf	3,200	3.0/1,000sf	4,800
Residential	1,730 unit	1.0/unit	1,730	1.5/unit	2,595
Retail	200,000 sf	2.5/1,000sf	500	3.3/1,000sf	660
Hotel	193 room	0.75/room	145	1.1/room	213
Total	-	-	5,575	-	8,268

CDP STANDARDS

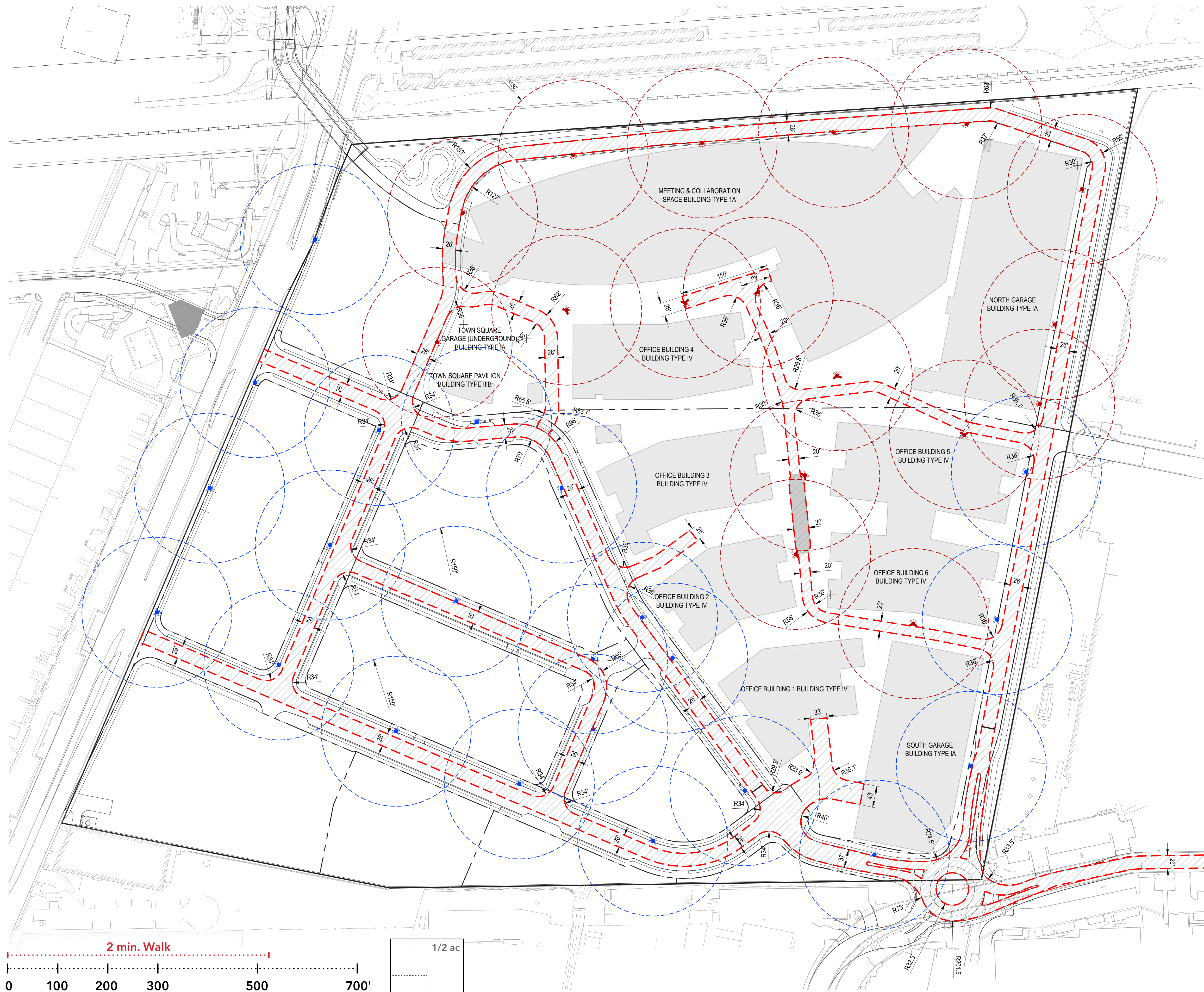
Land Use	Development Maximum	Minimum		Maximum	
		Ratio	Spaces	Ratio	Spaces
Office*	1,600,000 sf	2.0/1,000sf	3,200	2.3/1,000sf	3,700
Residential*	1,730 unit	-	1,670	-	1,695
Non-senior	1,610 unit	1.0/unit	1,610	1.5/unit	1,635
Senior**	120 unit	0.5/unit	60	0.5/unit	60
Shared***	-	-	1,052	-	1,080
Public Park Off-Street	-	-	38	-	41
Total	-	-	5,960	-	6,516

ILLUSTRATIVE PARKING AS DEPICTED****





Land Use	Location	Spaces
Office*	NG / SG / O7	3,680
Residential*	RS2-7	1,694
Non-senior	RS2 / RS3 / TSG	1,061
Senior	/ On-Street / Passenger Loading	
Public Park Off-Street	Publicly Accessible Park	41
Total	-	6,476

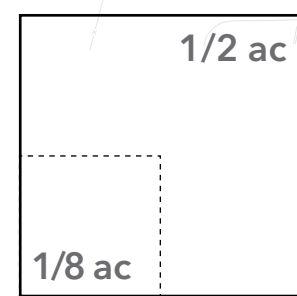
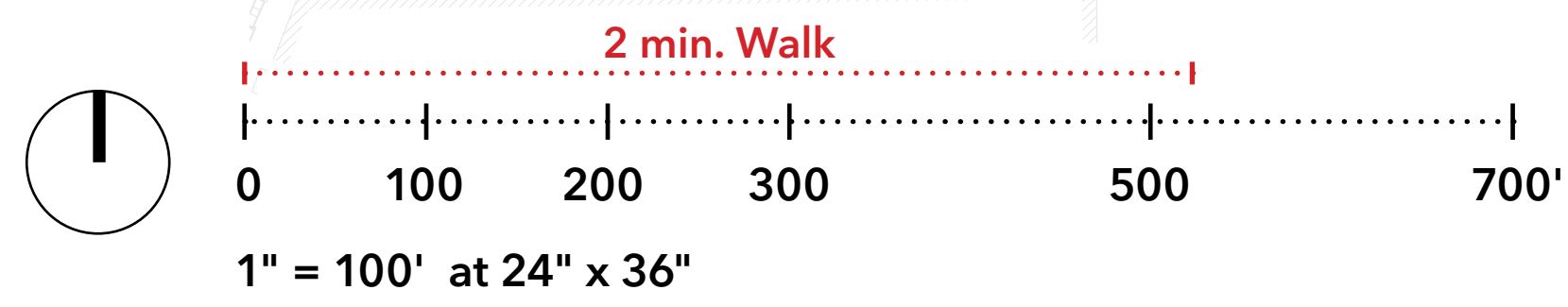
* Excludes visitor parking, which is included in Shared Parking.
 ** Includes parking count adjustment for senior residential land use.
 *** Shared parking includes office visitor, residential visitor, retail, and hotel uses.
 **** Refer to Appendix 4 for illustrative parcel-by-parcel details.

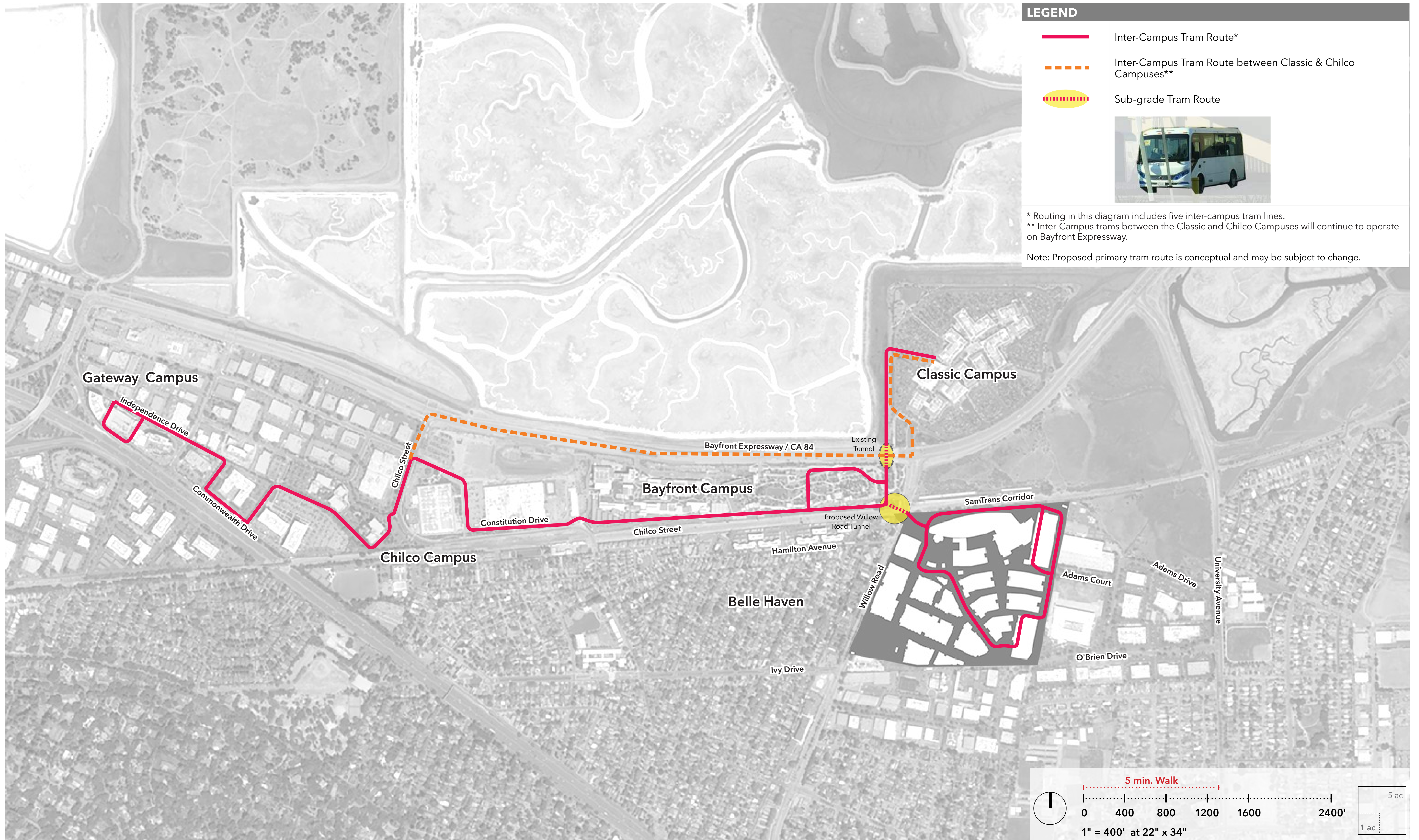
Note: Parking depicted is illustrative and may be subject to change, but will remain compliant with Parking Requirements per Zoning and CDP Standards.




LEGEND

-  Public Fire Hydrant
-  Private Fire Hydrant
-  Fire Lane
-  150' Radius for Fire Hose



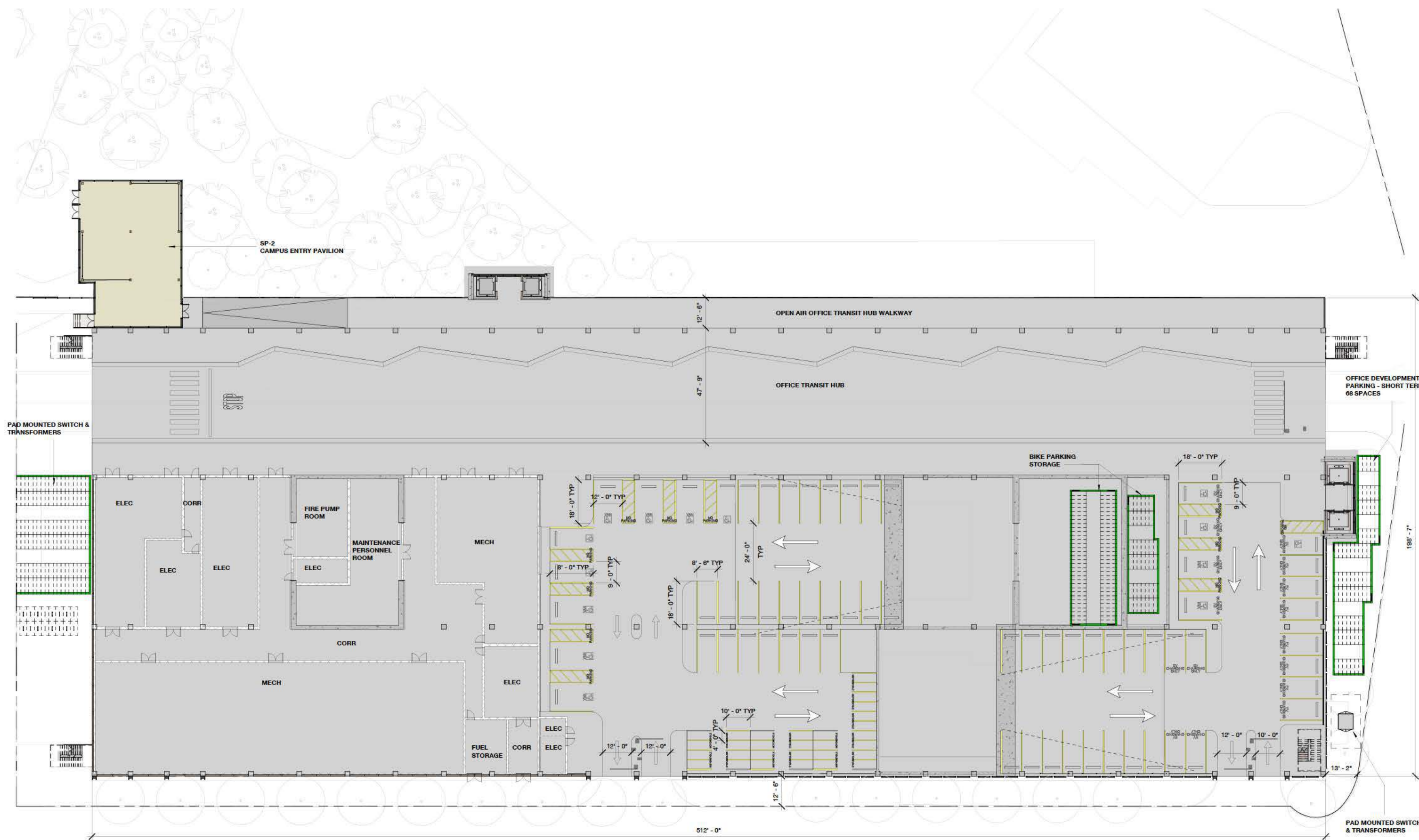




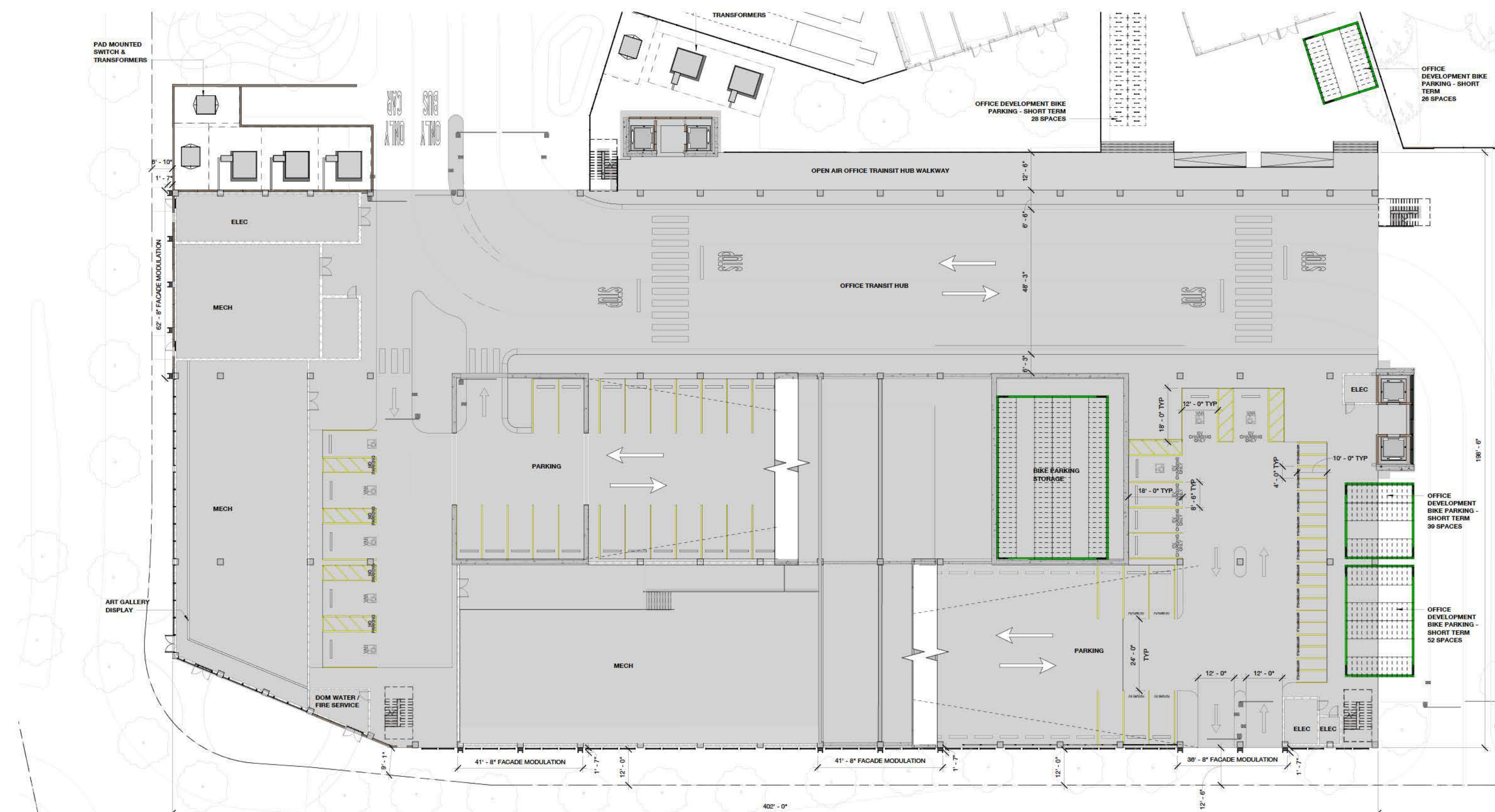
LEGEND	
	Inter-Campus Tram Route
	Sub-grade Tram Route
	Tram Stop
	
<p>Note: Proposed primary tram route is conceptual and may be subject to change.</p>	



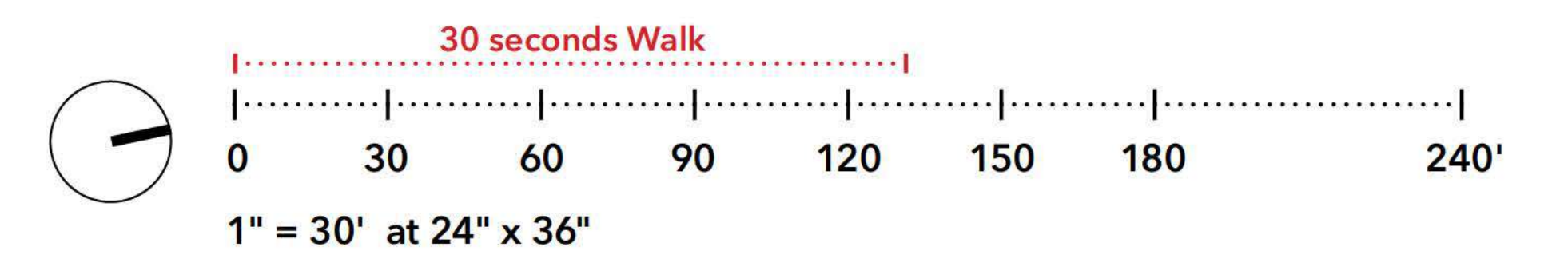
LEGEND	
	Commuter Shuttle Route
	Shuttle Passenger Loading
	Existing Public Bus Route
	Relocated Public Bus Stop
<p>Note: Proposed primary tram route is conceptual and may be subject to change.</p>	



NORTH GARAGE - LEVEL 1



SOUTH GARAGE - LEVEL 1





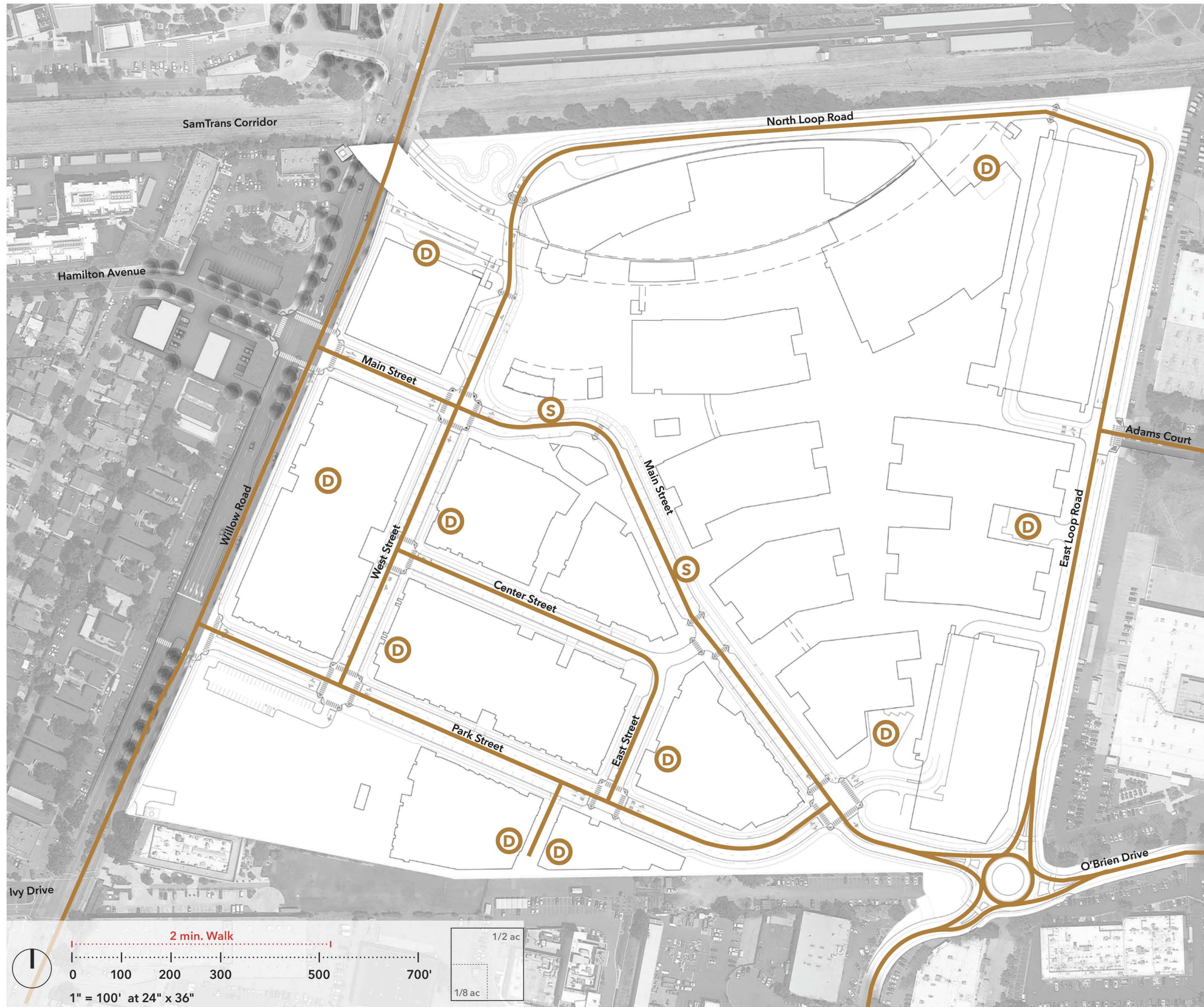
LEGEND	
	Vehicular Route
	Restricted Vehicular Route
	Sub-grade Vehicular Route
	Passenger Loading / Drop-off (Metered Parking at Off-Peak Hours)
	Passenger Loading / Drop-off
	Garage Access
	FB Commuter Shuttle and Tram Only Approach




Note: Proposed primary vehicle route is conceptual and may be subject to change.



LEGEND	
	Vehicular Route
	Restricted Vehicular Route
	Sub-grade Vehicular Route
	Passenger Loading / Drop-off (Metered Parking at Off-Peak Hours)
	Passenger Loading / Drop-off
	Garage Access
	FB Commuter Shuttle and Tram Only Approach

Note: Proposed primary vehicle route is conceptual and may be subject to change.



LEGEND	
	Service Vehicular Route
	On-Street Service Loading Area
	Off-Street Service Loading Area
Note: Proposed service vehicle route is conceptual and may be subject to change.	



LEGEND	
	Existing Pedestrian Circulation
	Pedestrian Circulation
	Subgrade Pedestrian Circulation
	Elevated Park Pedestrian Circulation
	Internal Campus Pedestrian Circulation
	Potential Future Connection
	Multi-Use Pathway
	Elevated Park Multi-Use Pathway
	Furnishing Zone
	Elevated Park Access
	Secure Campus Entry
	Transit Hub

Note:

- Proposed primary pedestrian is conceptual and may be subject to change.
- Refer to Appendix 4 for parcel-by-parcel details on short and long term bike parking.



LEGEND	
	Multi-Use Pathway
	Elevated Park Multi-Use Pathway
	Existing Class II Bikeway
	Class IV Bikeway
	Subgrade Class IV Bikeway
	Class III Bikeway
	On-Street Bike Circulation
	Suggested Bike Routes*
	Potential Future Connection
	Furnishing Zone
	Transit Hub

* Information Source:
 • Menlo Park Comprehensive Bicycle Development Plan, City of Menlo Park, 2005
 • San Mateo Bike Map Southeast Booklet, City/County Association of Governments of San Mateo County

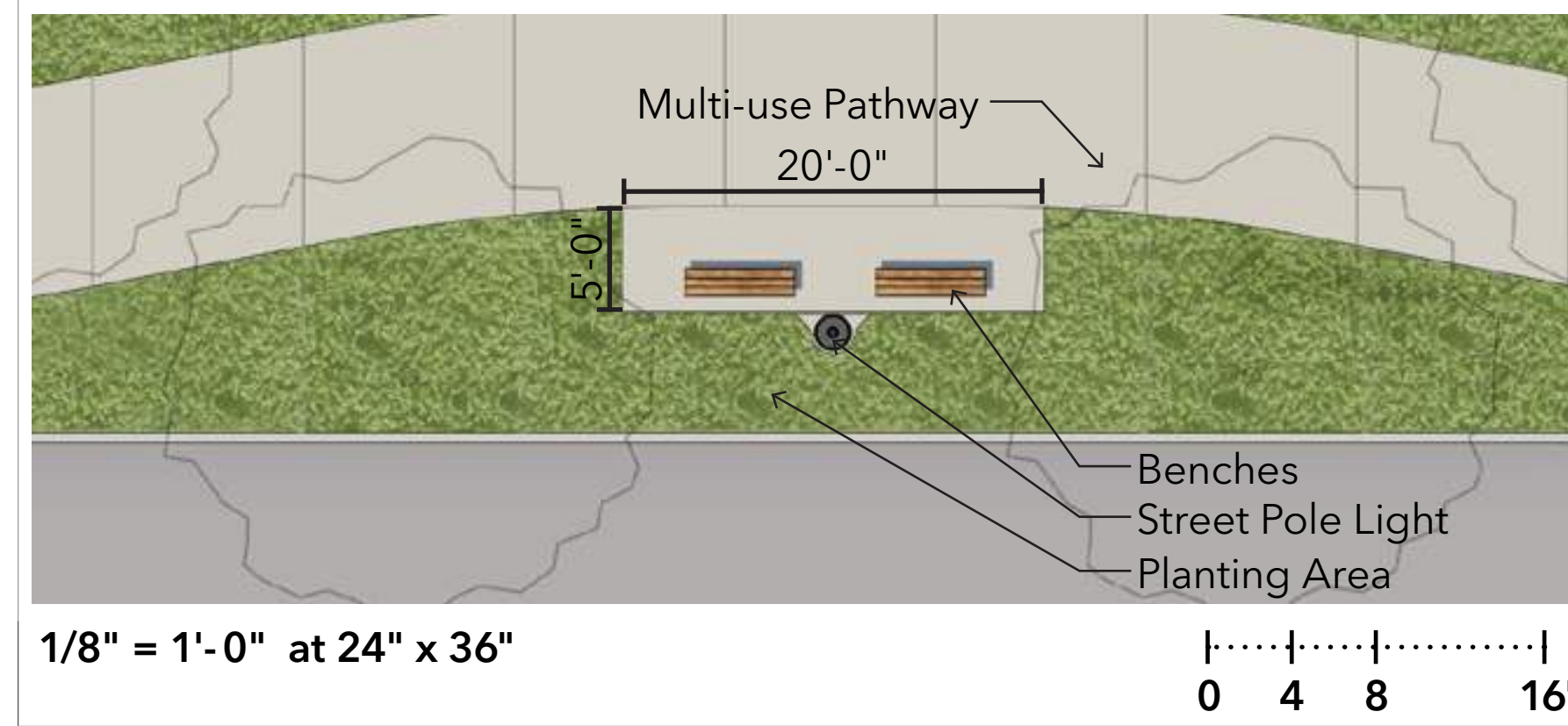
• Proposed primary bike route is conceptual and may be subject to change.
 • Refer to Appendix 4 for parcel-by-parcel details on short and long term bike parking.

BICYCLE PARKING REQUIREMENT PER ZONING					
Land Use	Development Maximum	Menlo Park Municipal Code			
		Short-Term Ratio	Short-Term Spaces	Long-Term Ratio	Long-Term Spaces
Office	1,600,000 sf	20% of 1.0/5,000sf	64	80% of 1.0/5,000sf	256
Hotel	172,000 sf	20% of 1.0/5,000sf	7	80% of 1.0/5,000sf	28
Residential	1,730 unit	10% of 1.5/1unit	260	1.5/1unit	2,595
Commercial	200,000 sf	80% of 1.0/5,000sf	32	20% of 1.0/5,000sf	8

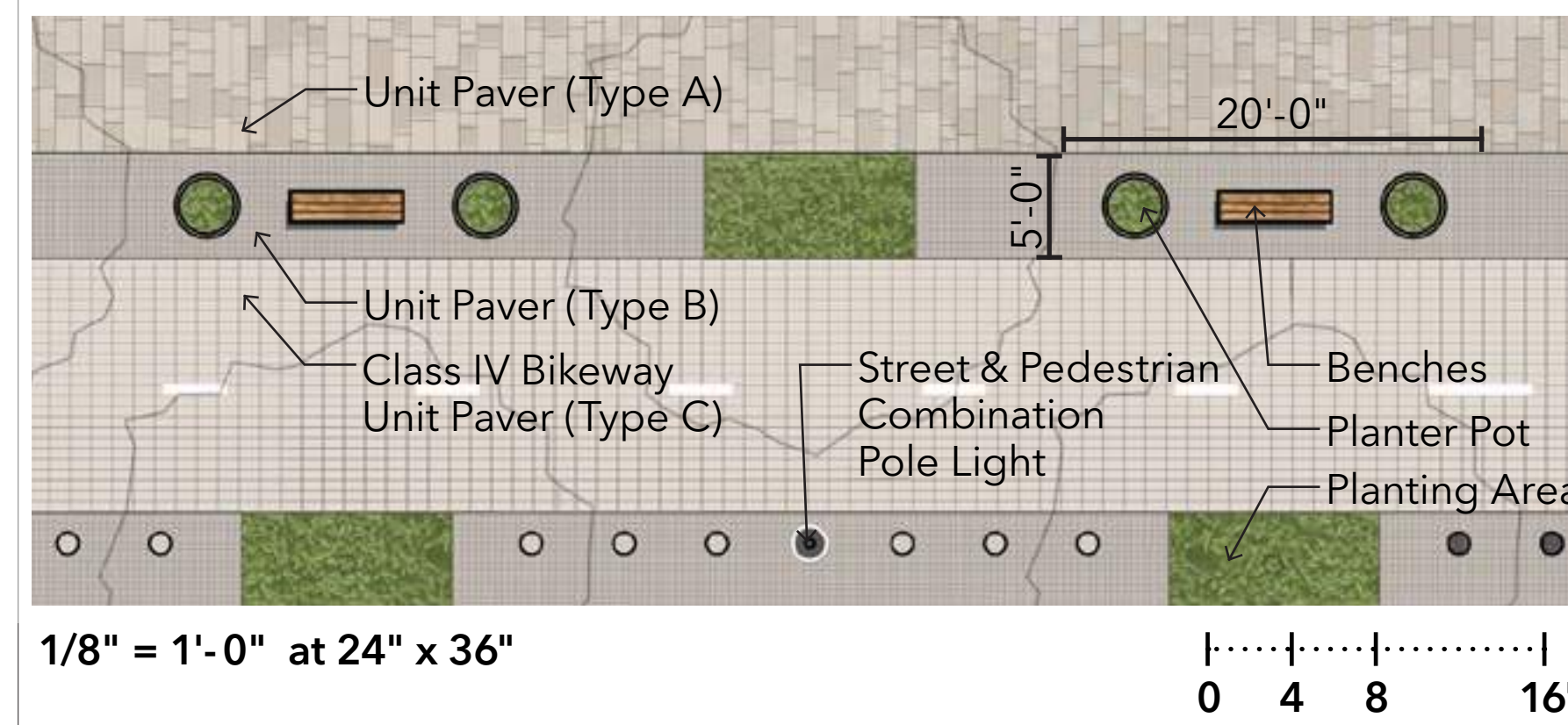
CDP STANDARDS			
Land Use	Development Maximum	Short-Term Ratio / Spaces	Long-Term Ratio / Spaces
Office	1,600,000 sf	133 spaces	340 spaces
Hotel	172,000 sf	Per zoning code	Per zoning code
Residential	1,730 unit	Per zoning code	Per zoning code
Commercial	200,000 sf	Per zoning code	Per zoning code

Note: Bicycle parking depicted is illustrative and may be subject to change, but will remain compliant with Parking Requirements per Zoning and CDP Standards.

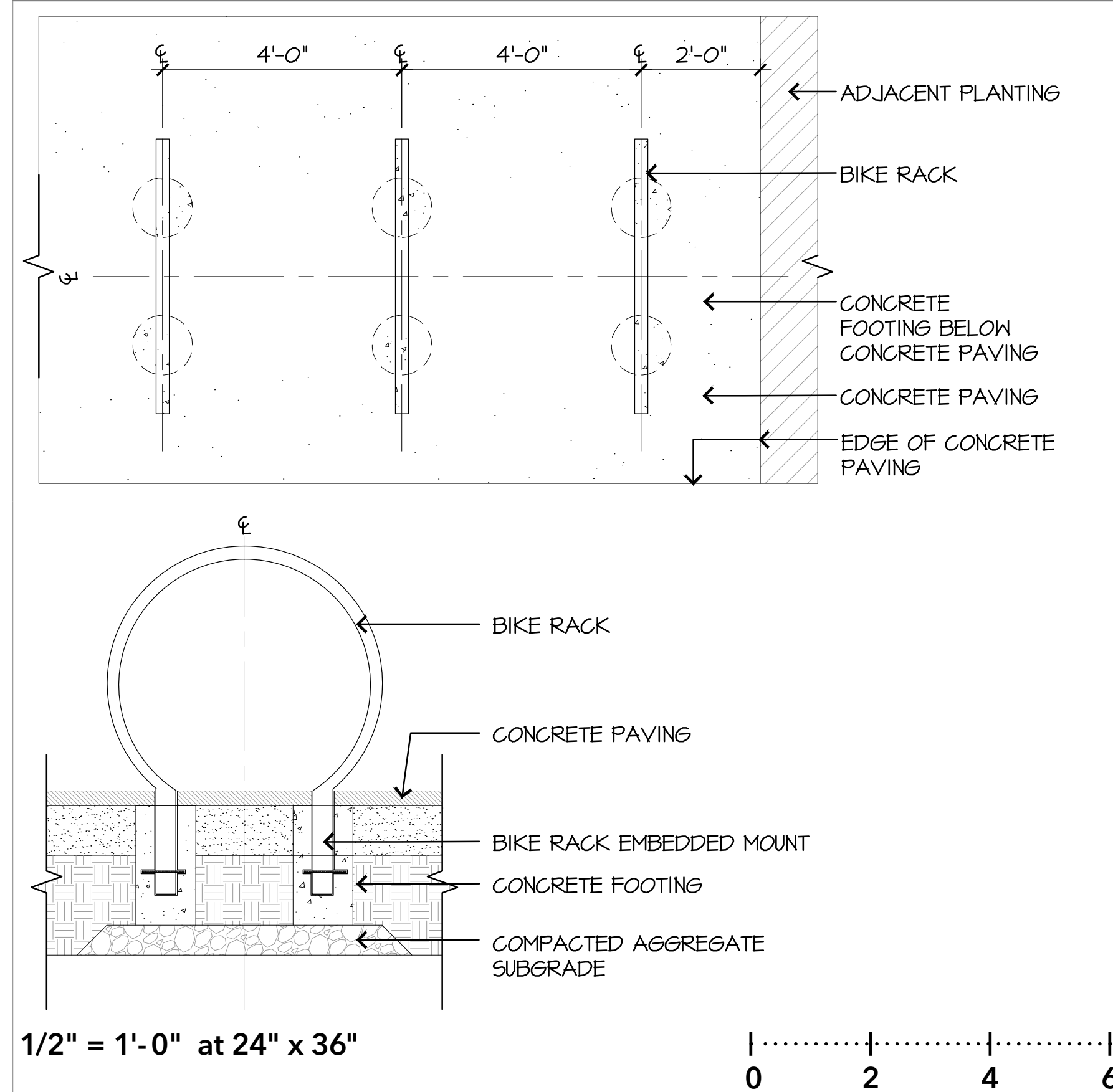
TYPICAL FURNISHING ZONE @ MULTI-USE PATHWAY



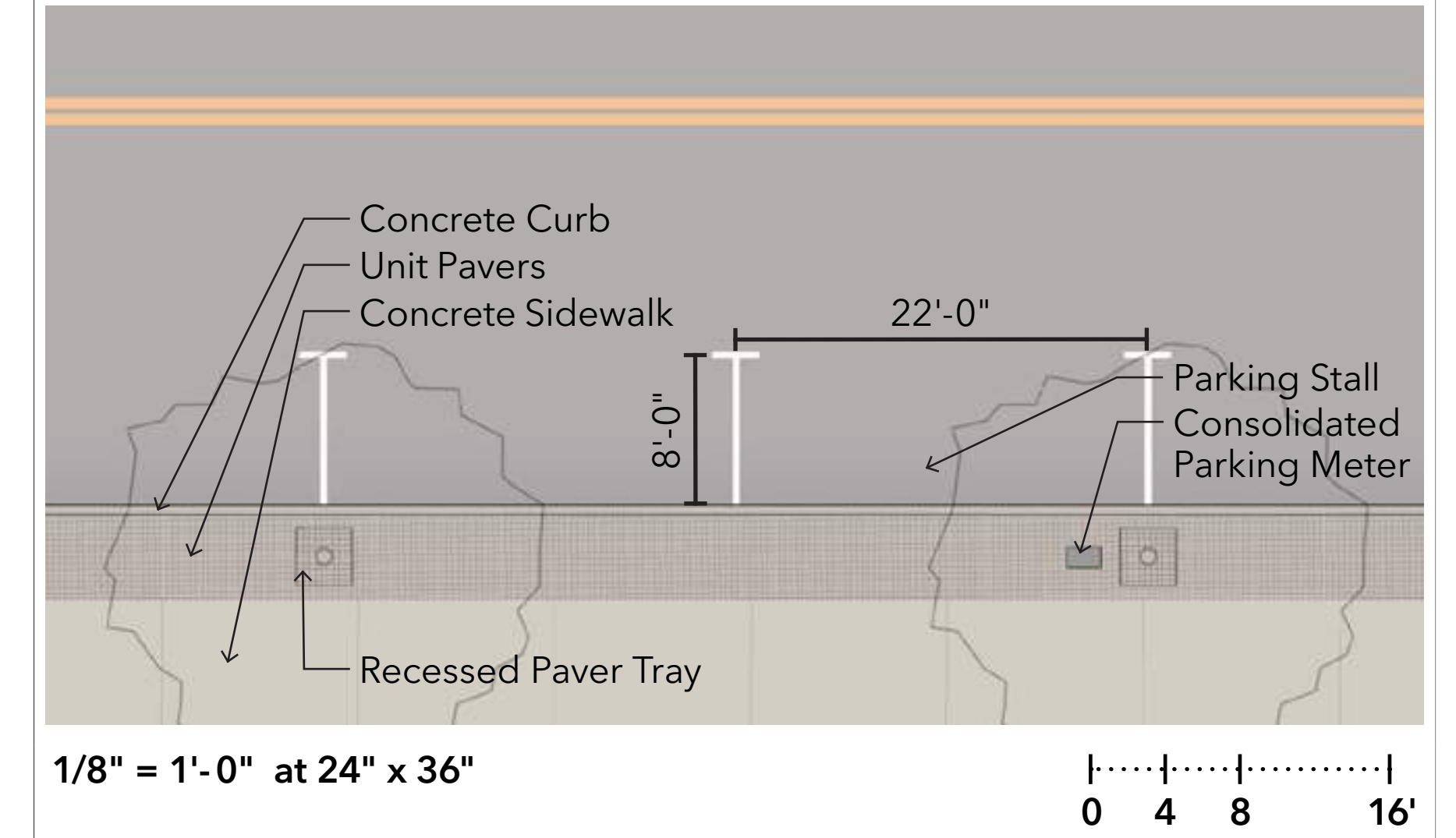
TYPICAL FURNISHING ZONE @ MAIN STREET



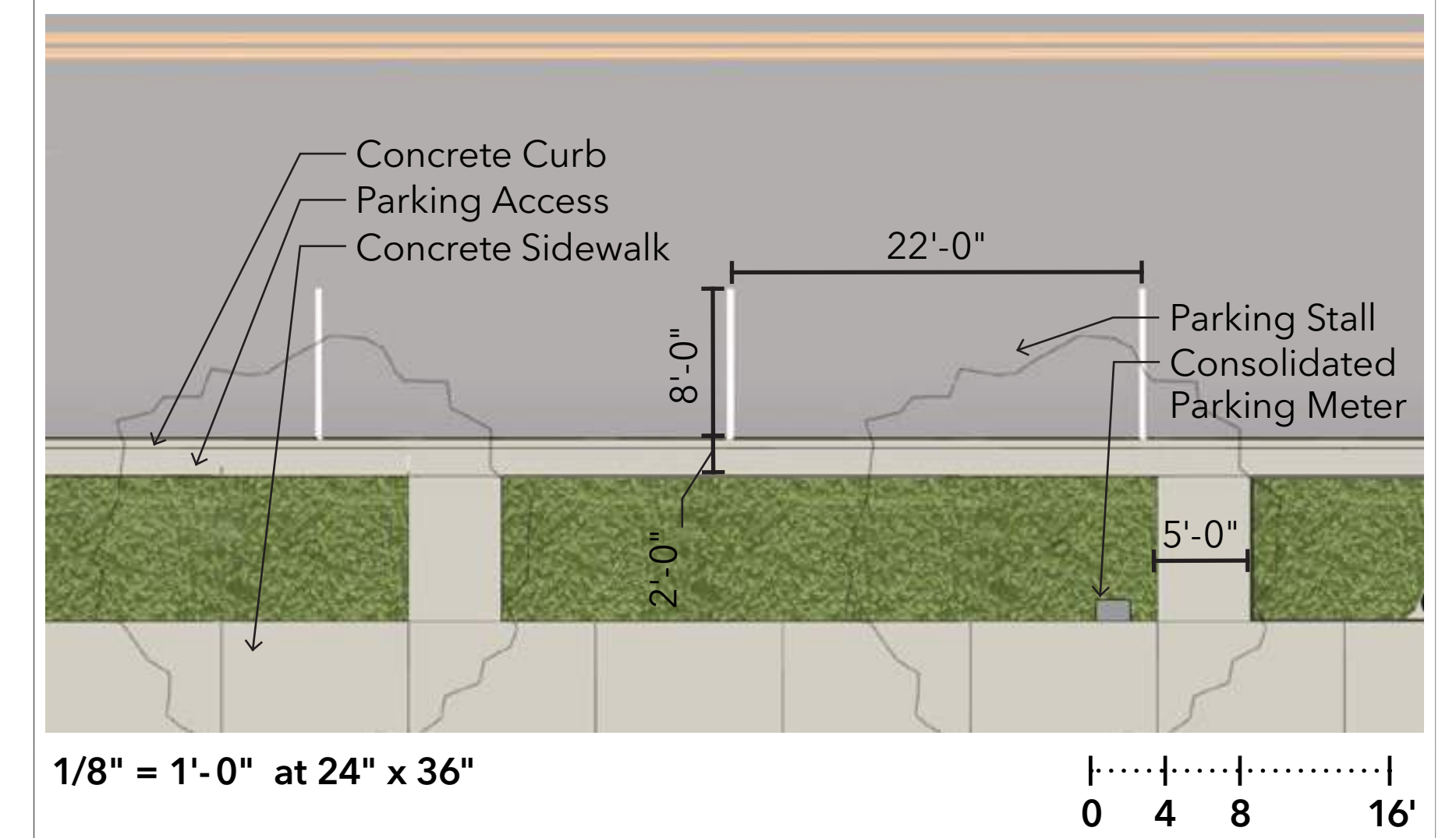
TYPICAL COMMERCIAL SHORT-TERM BICYCLE PARKING



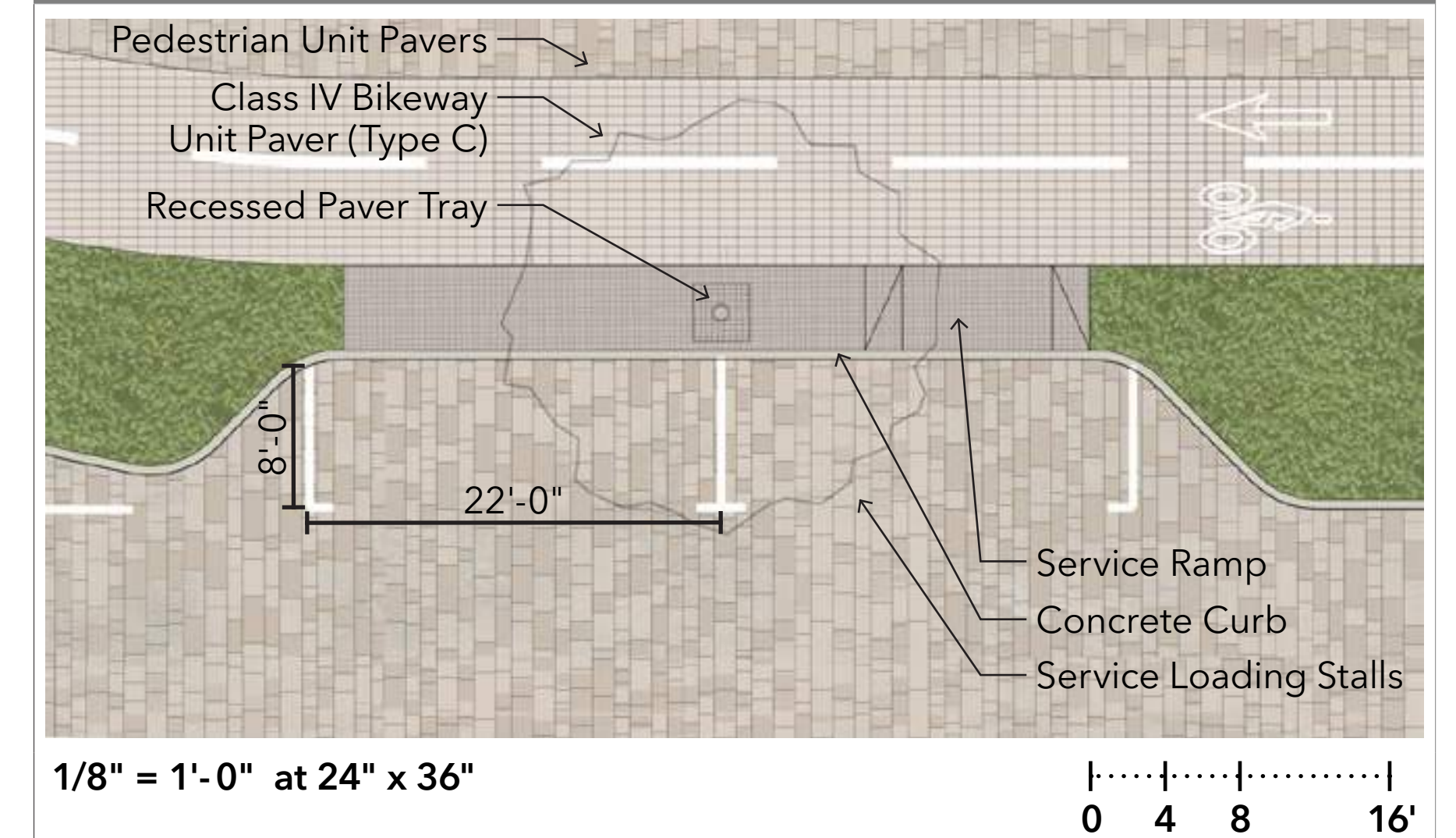
TYPICAL STREET PARKING & LOADING ALONG PAVING



TYPICAL STREET PARKING ALONG PLANTING



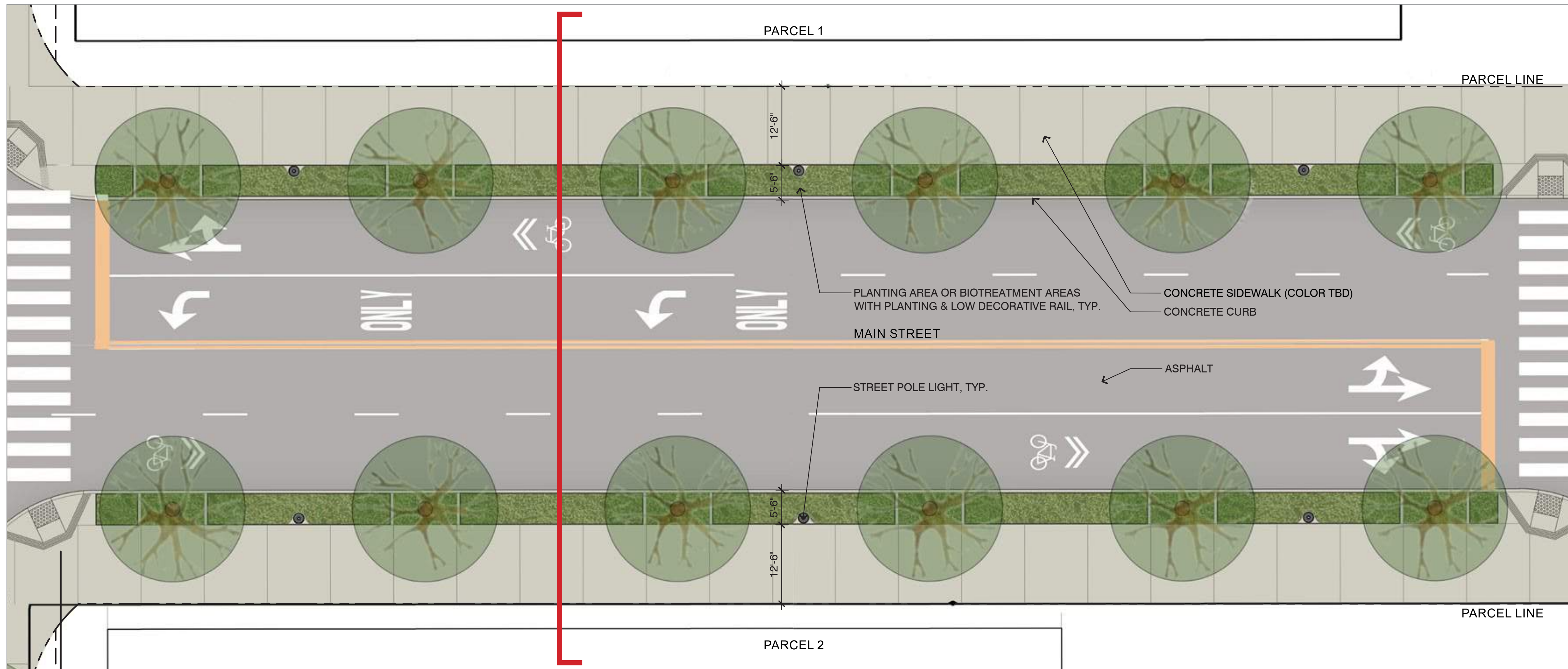
TYPICAL ON-STREET SERVICE LOADING AREA



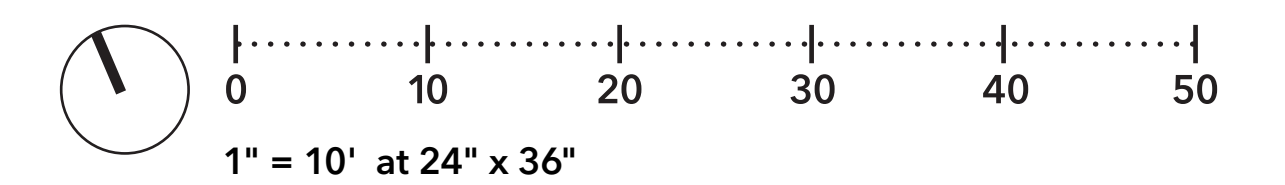
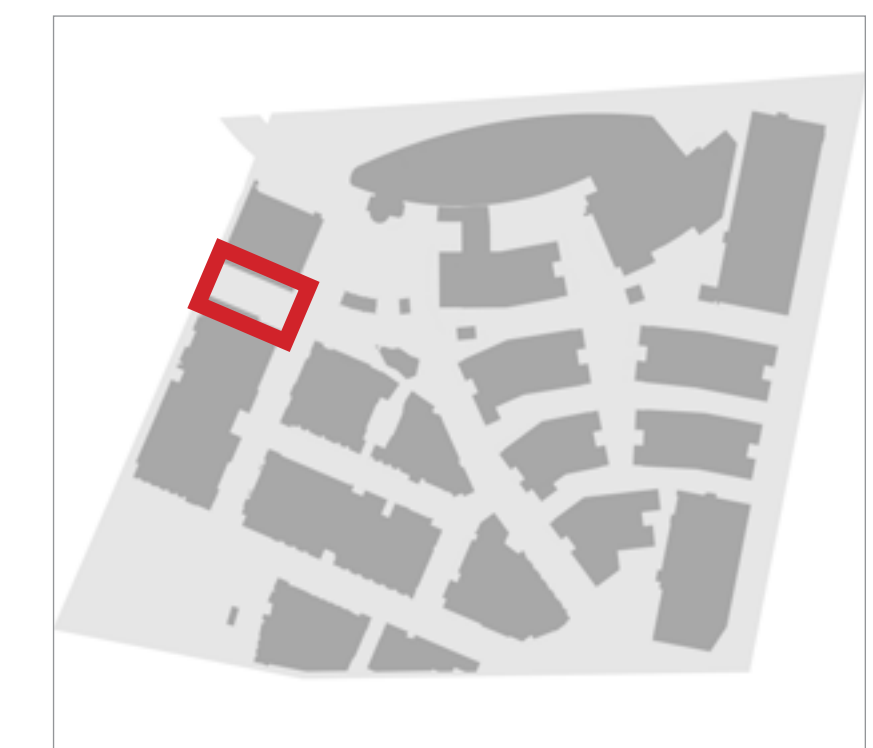




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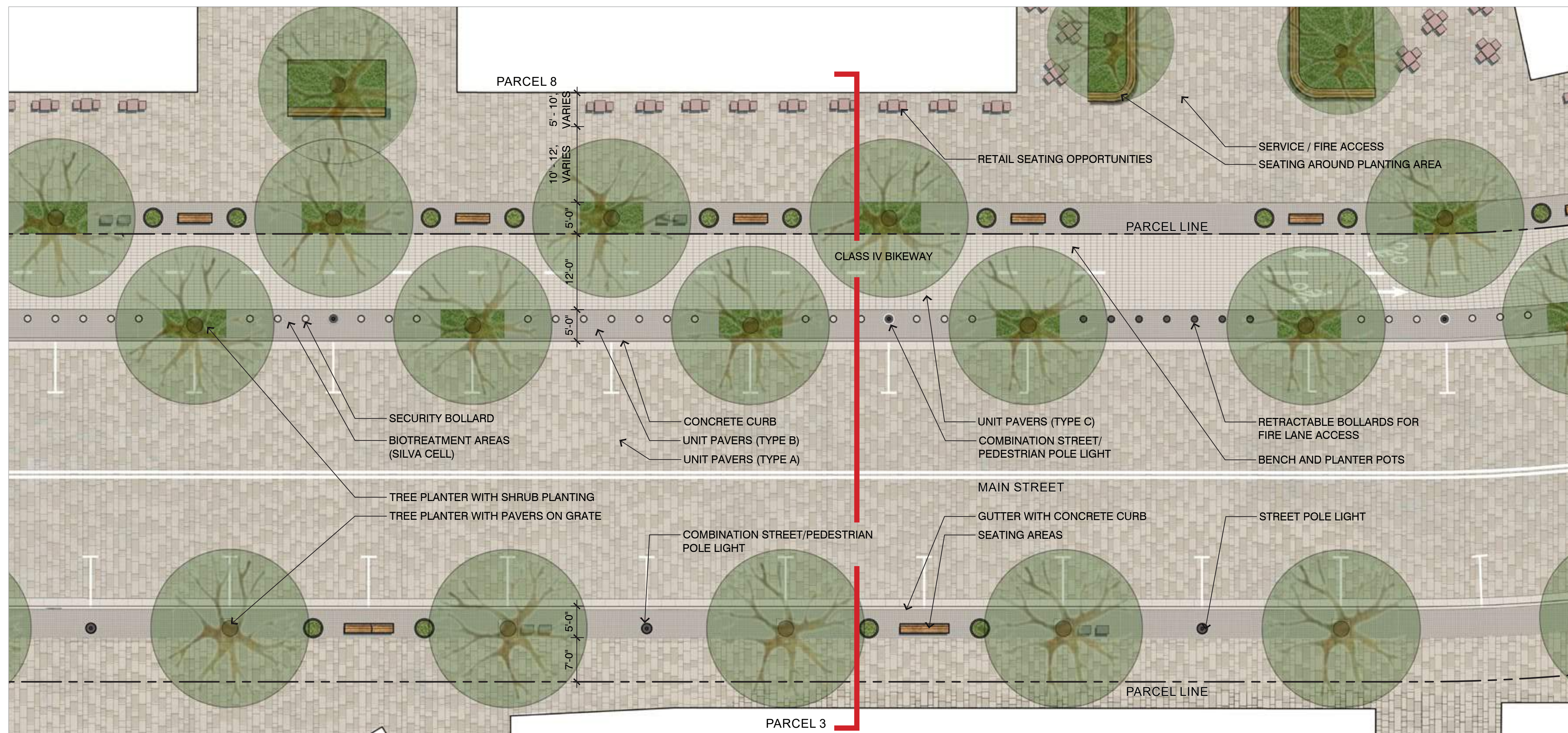


PLAN ENLARGEMENT

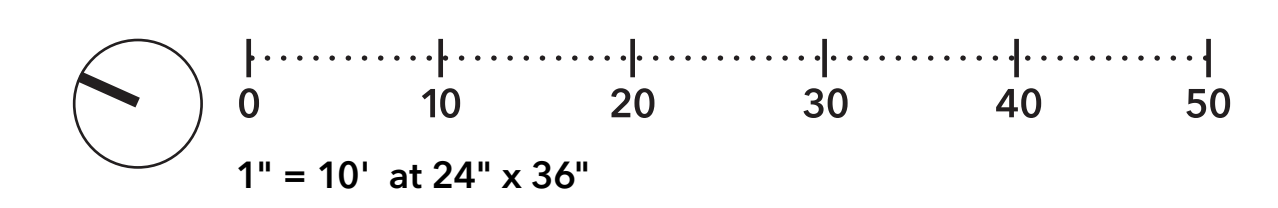
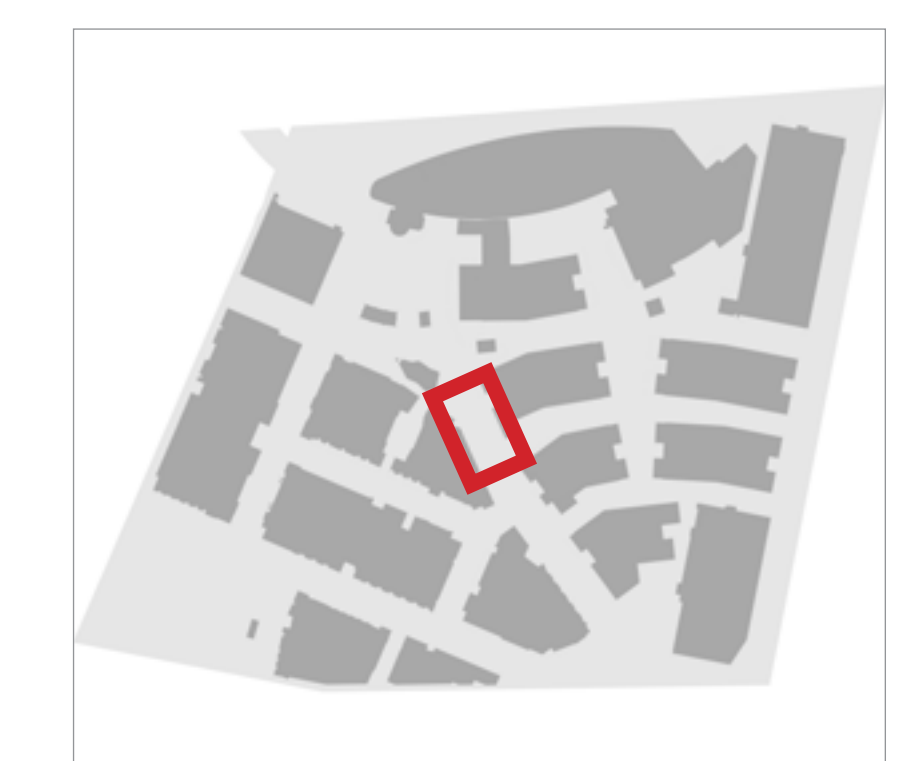




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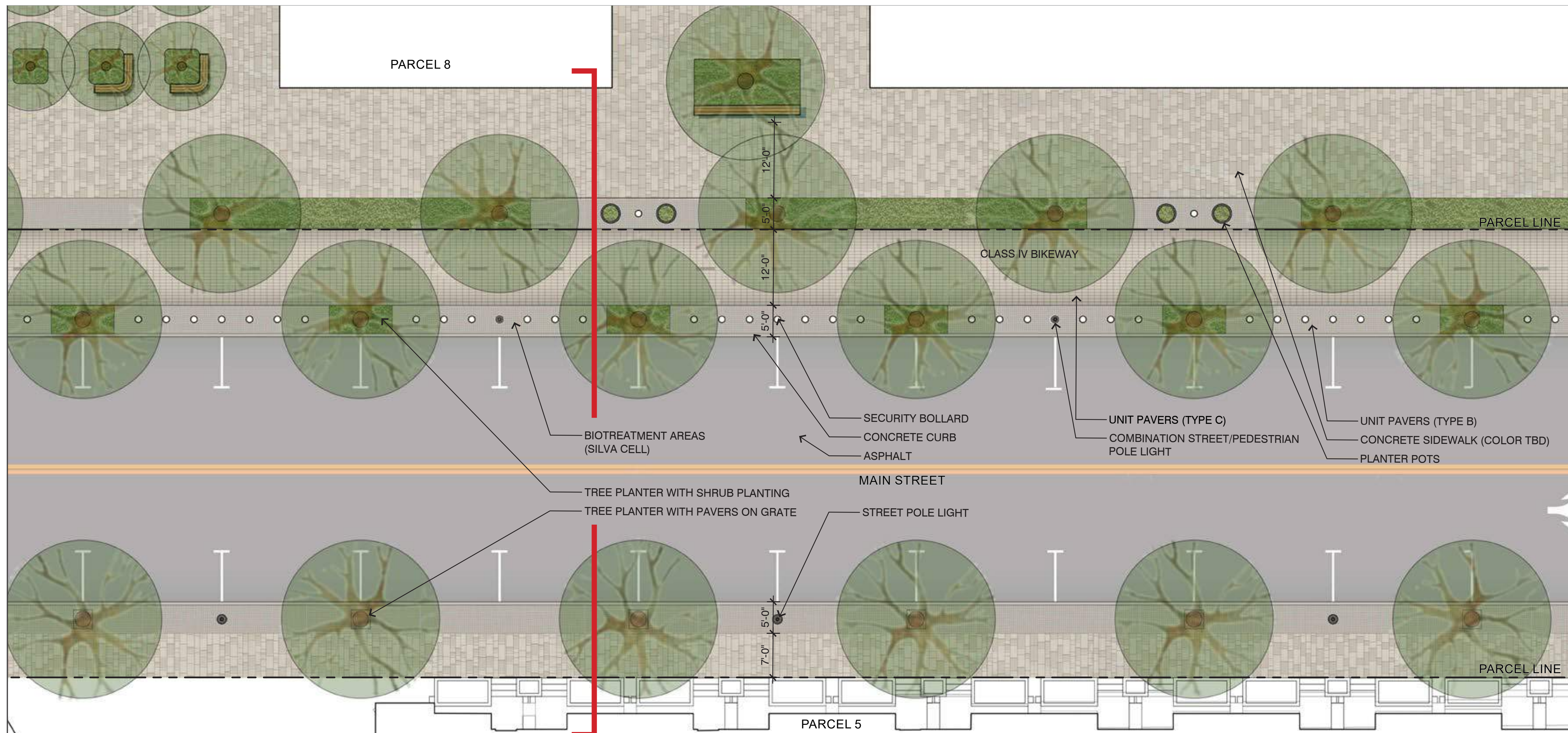


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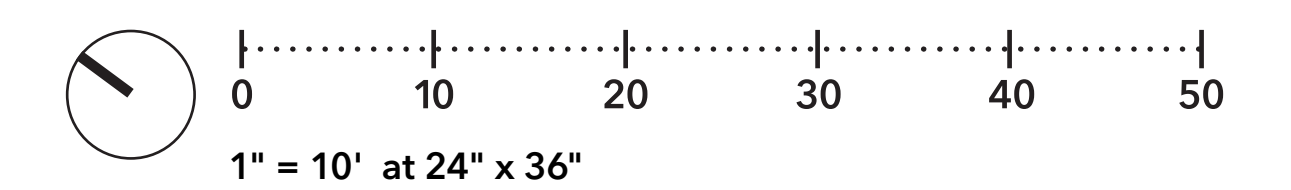
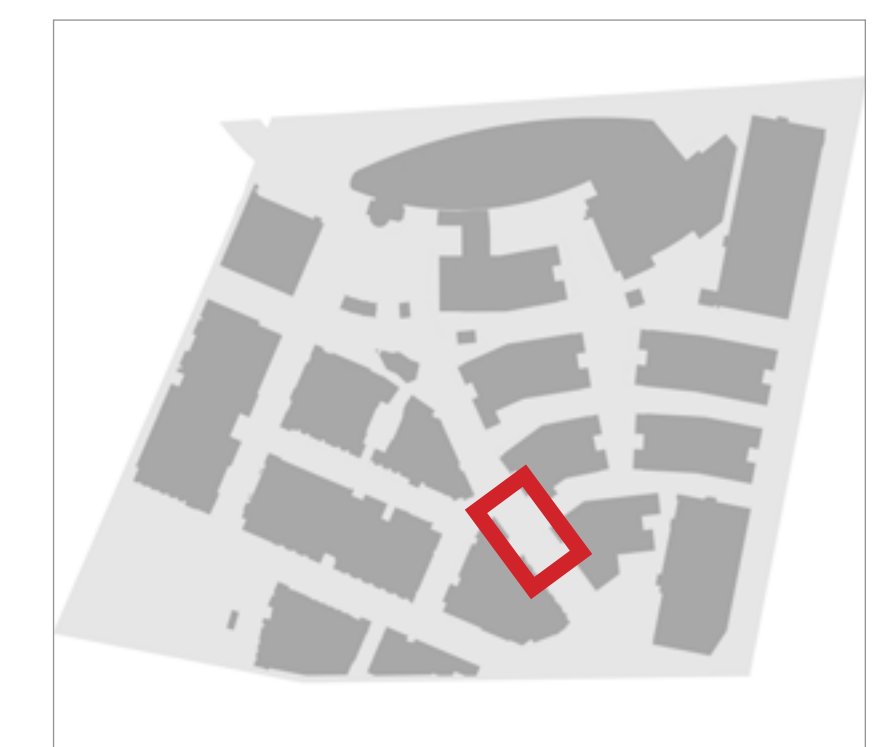




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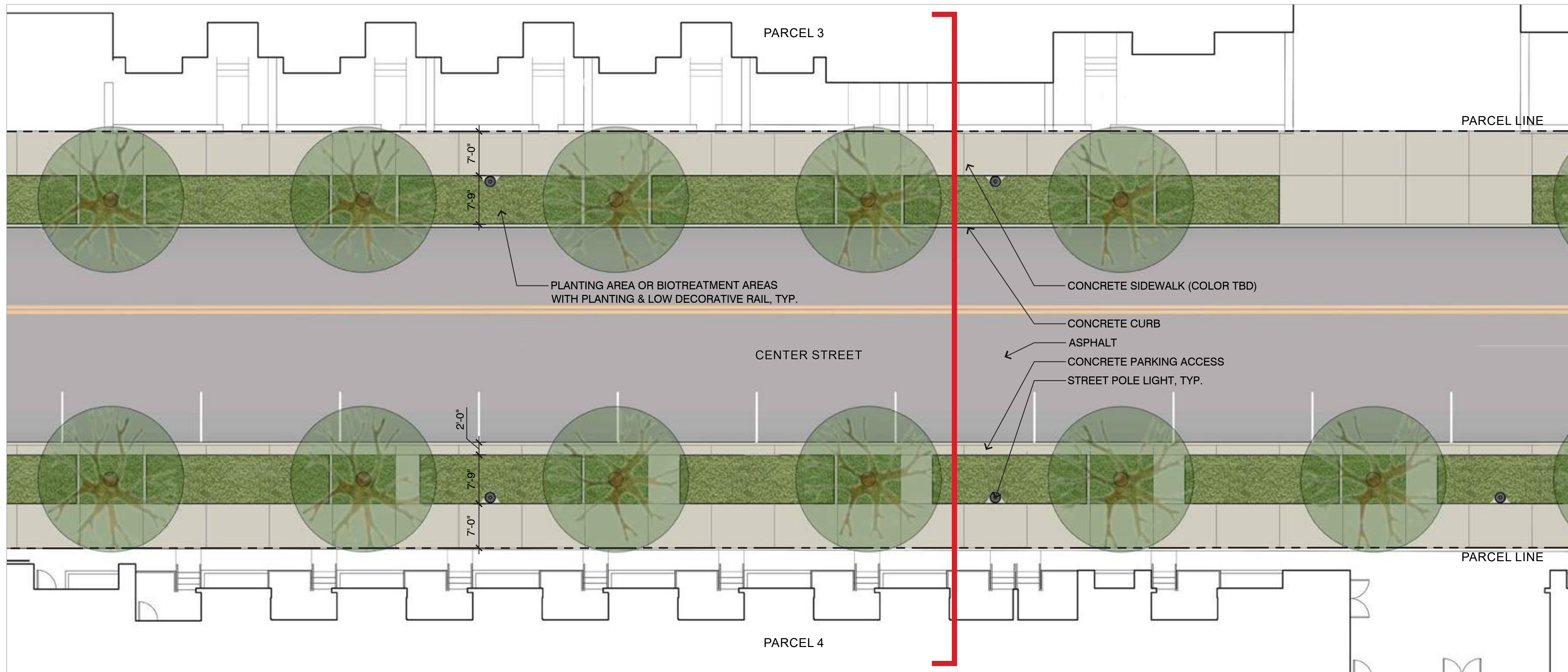


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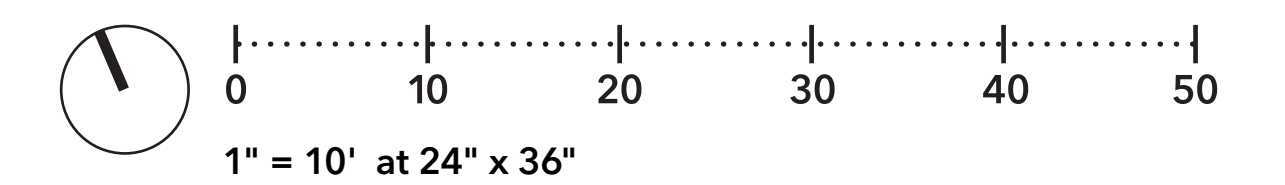
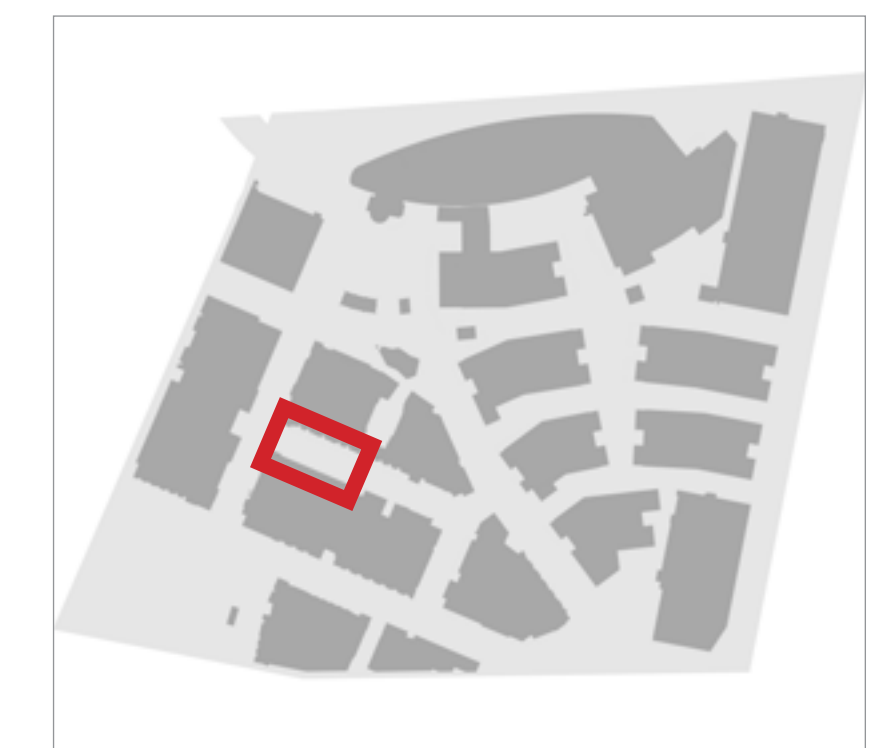




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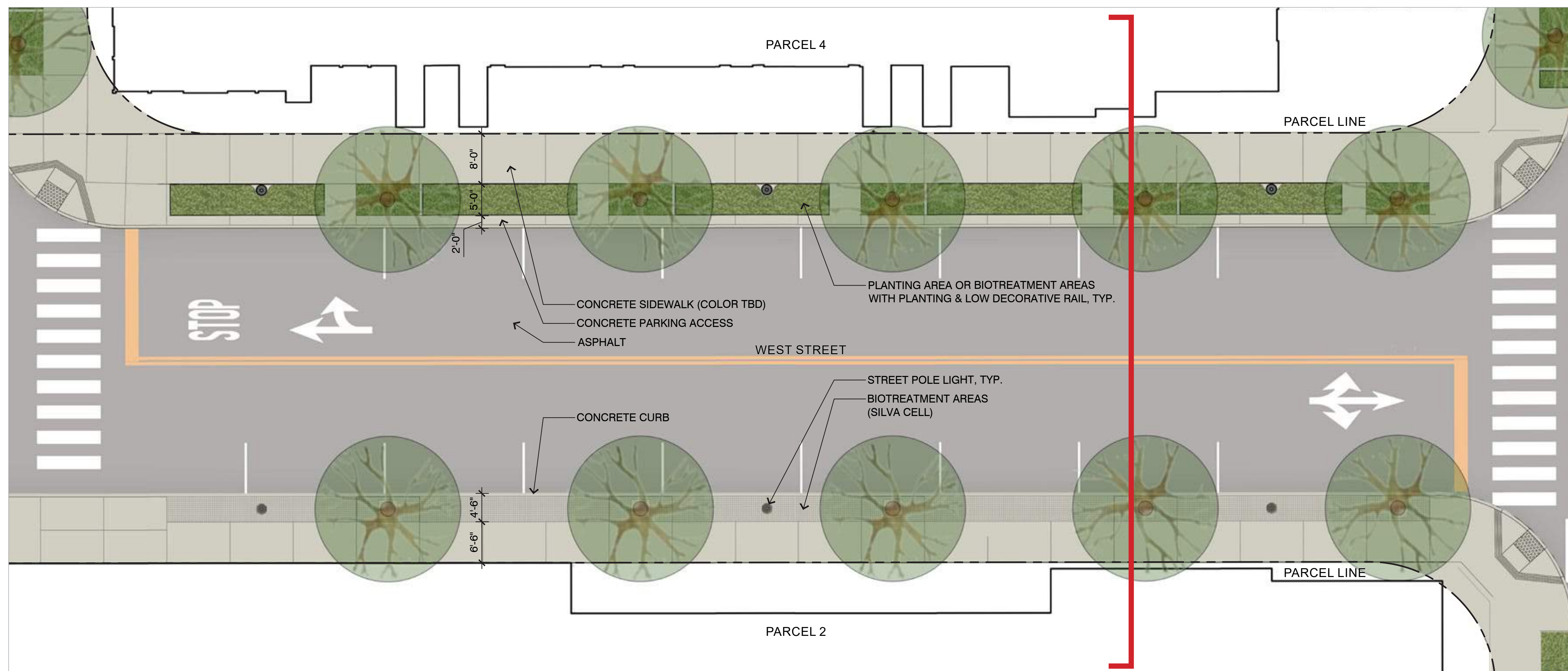


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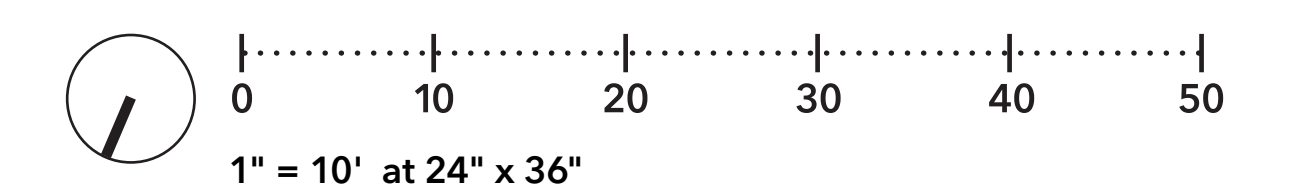
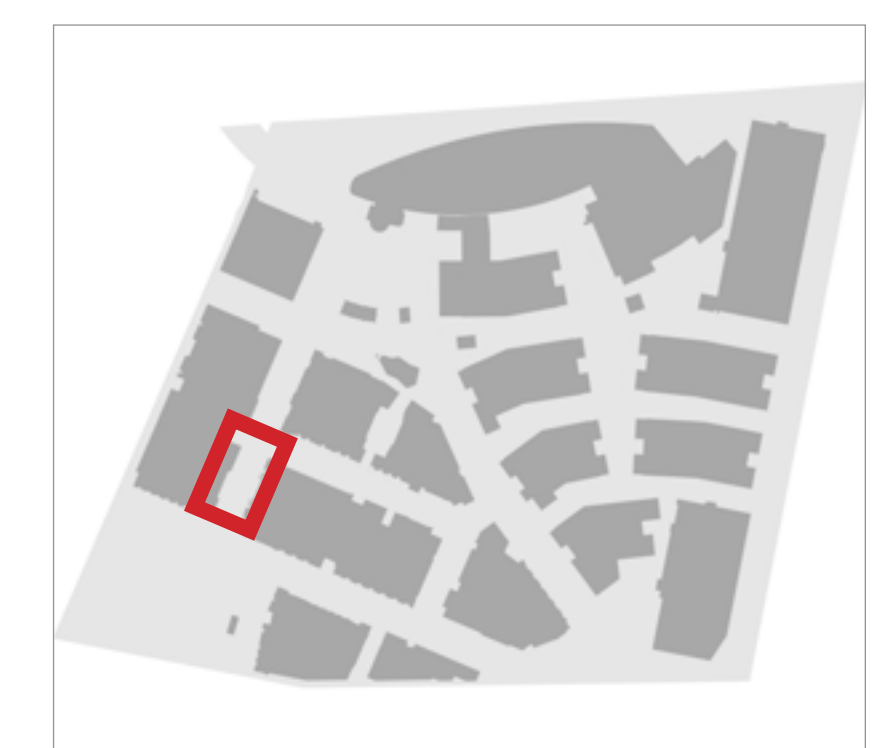




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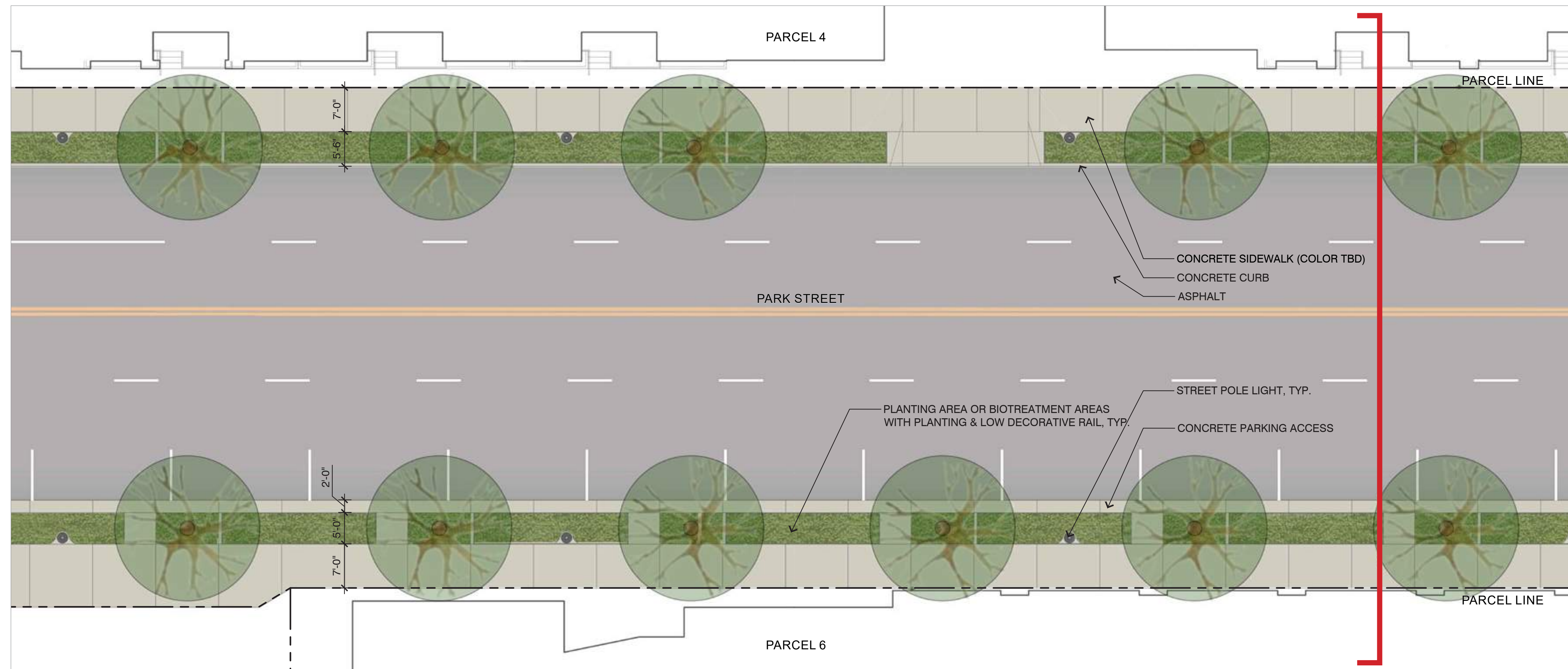


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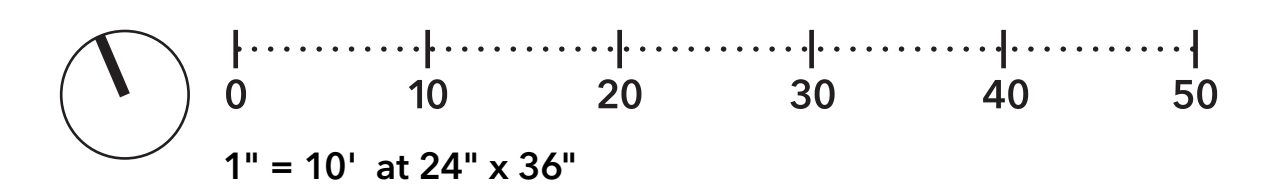
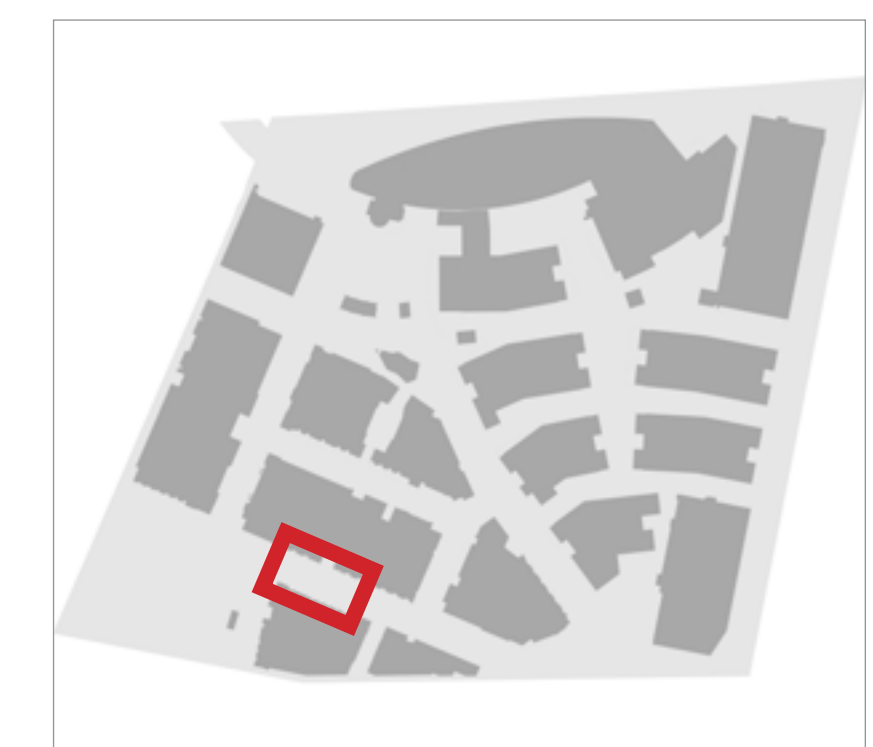


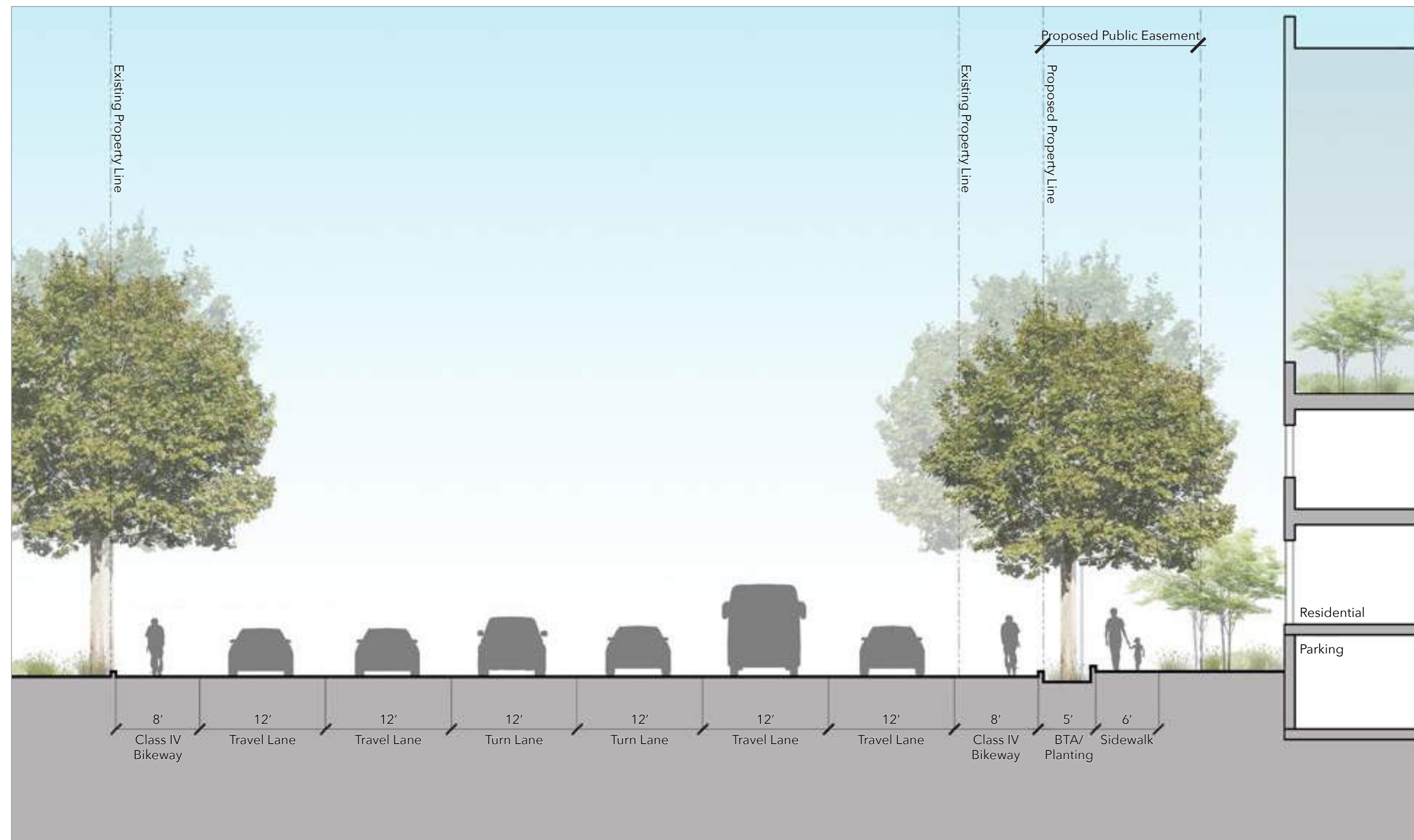


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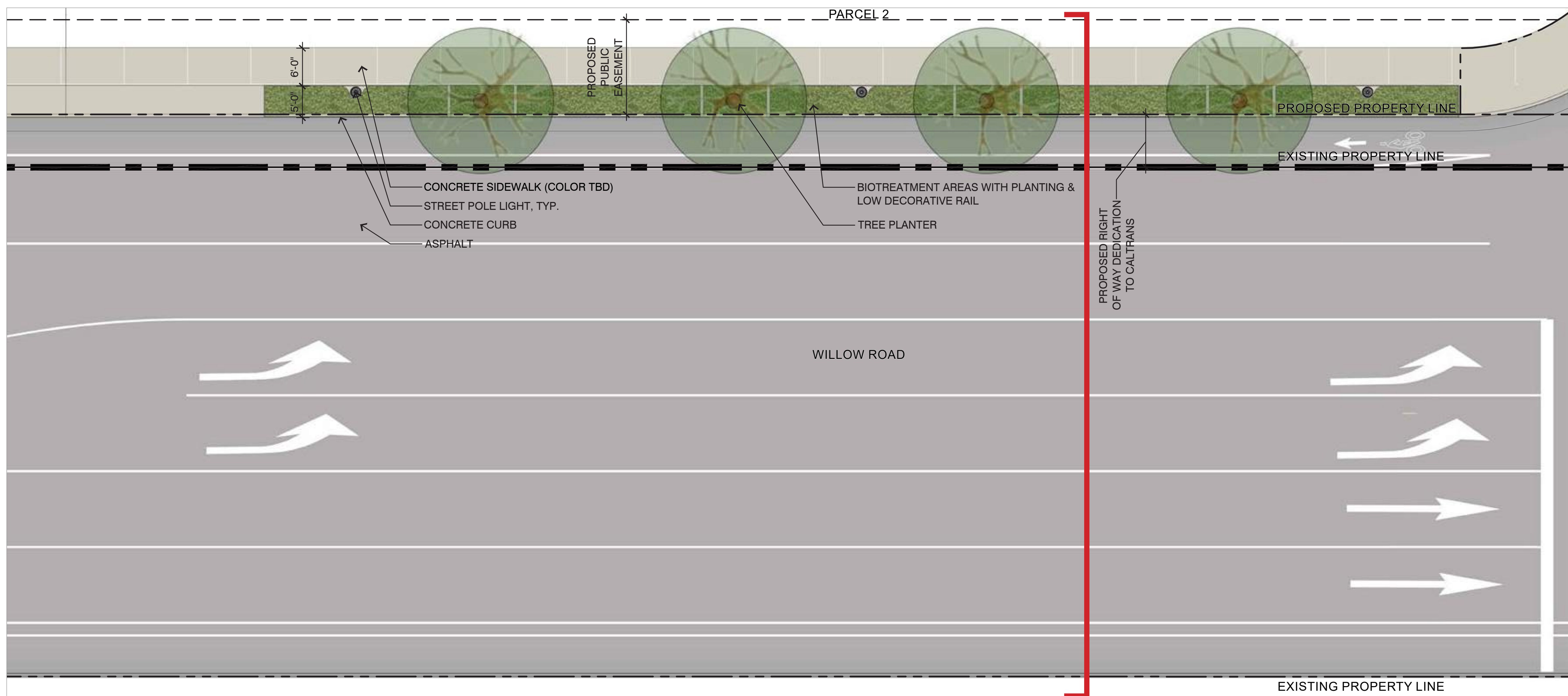


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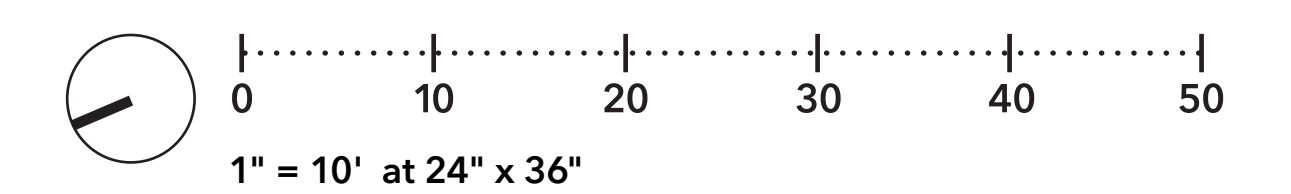
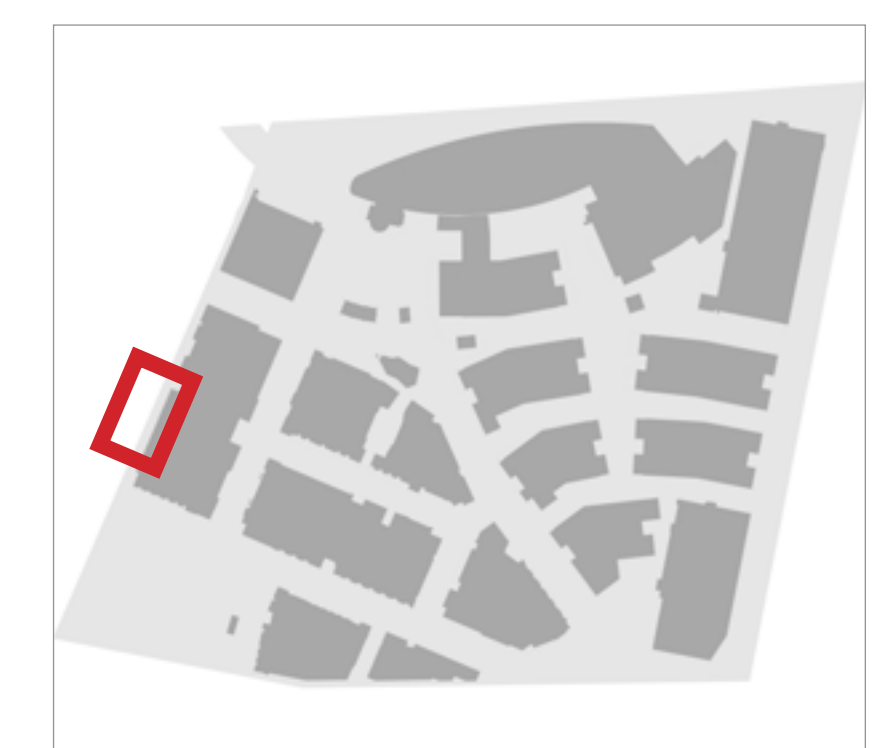




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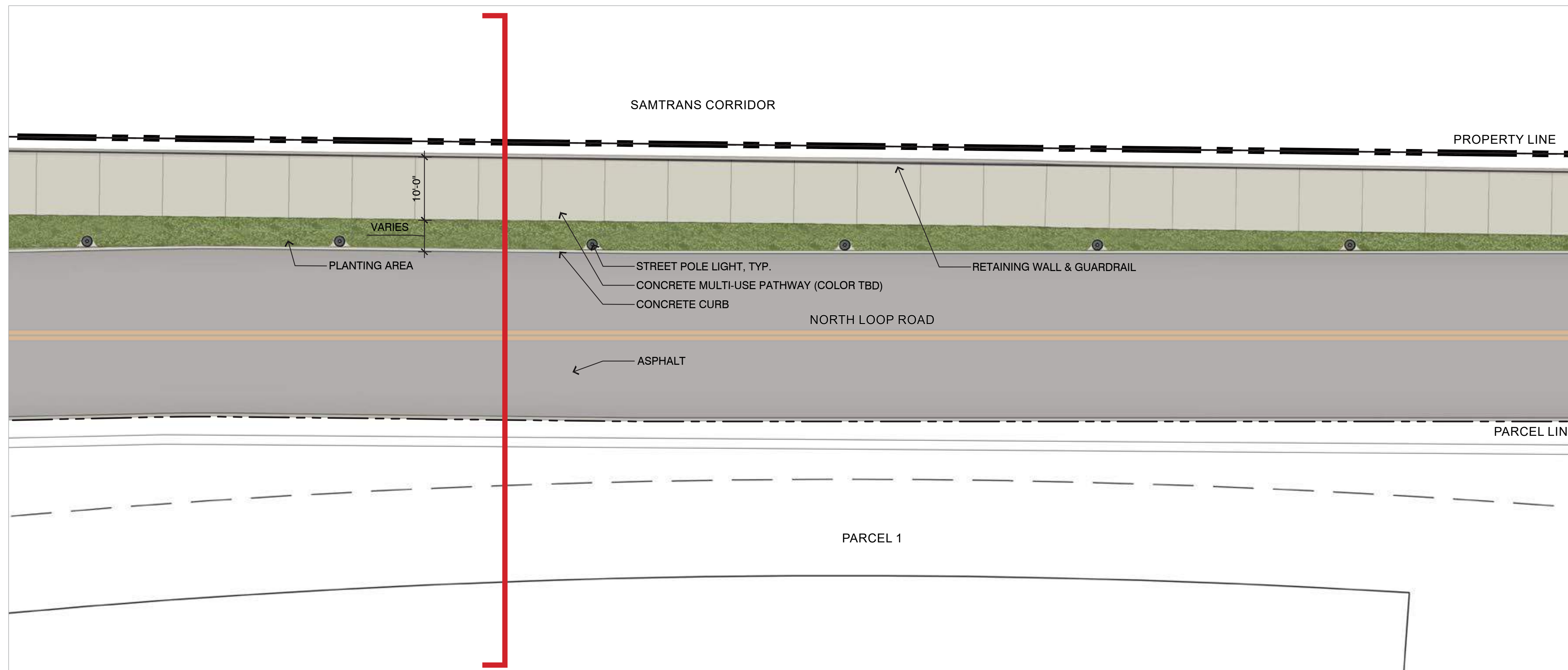


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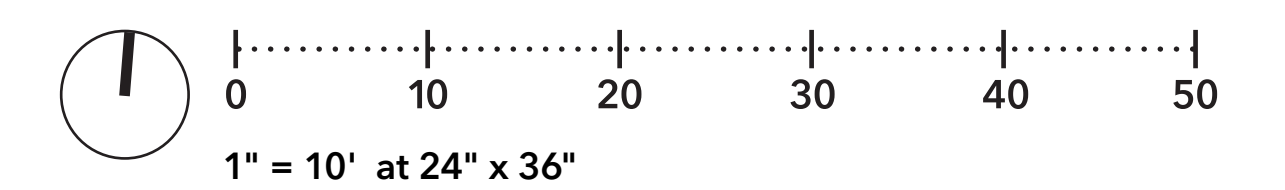
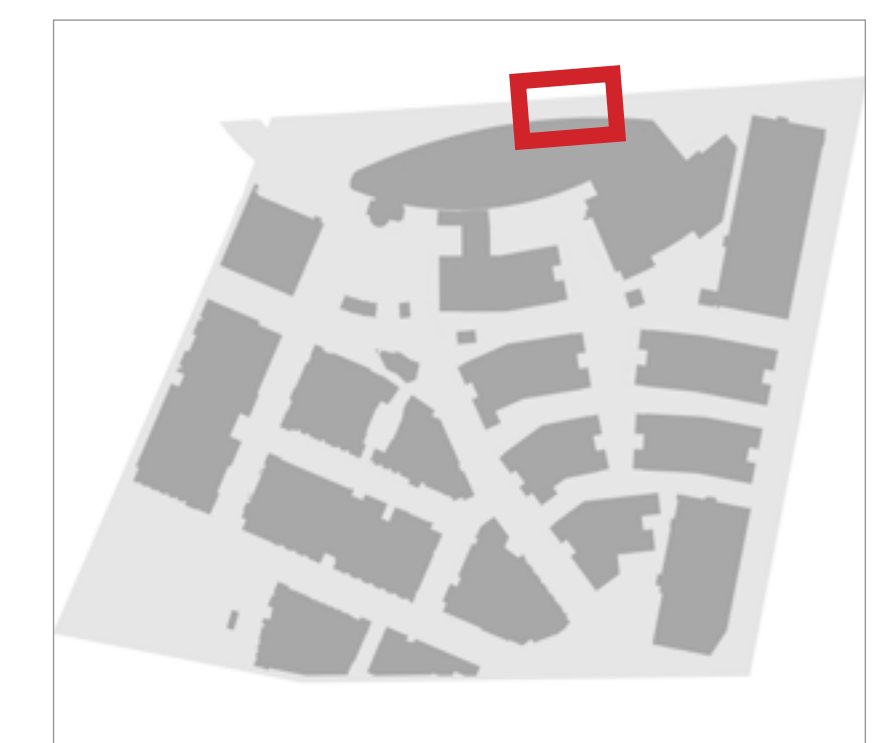


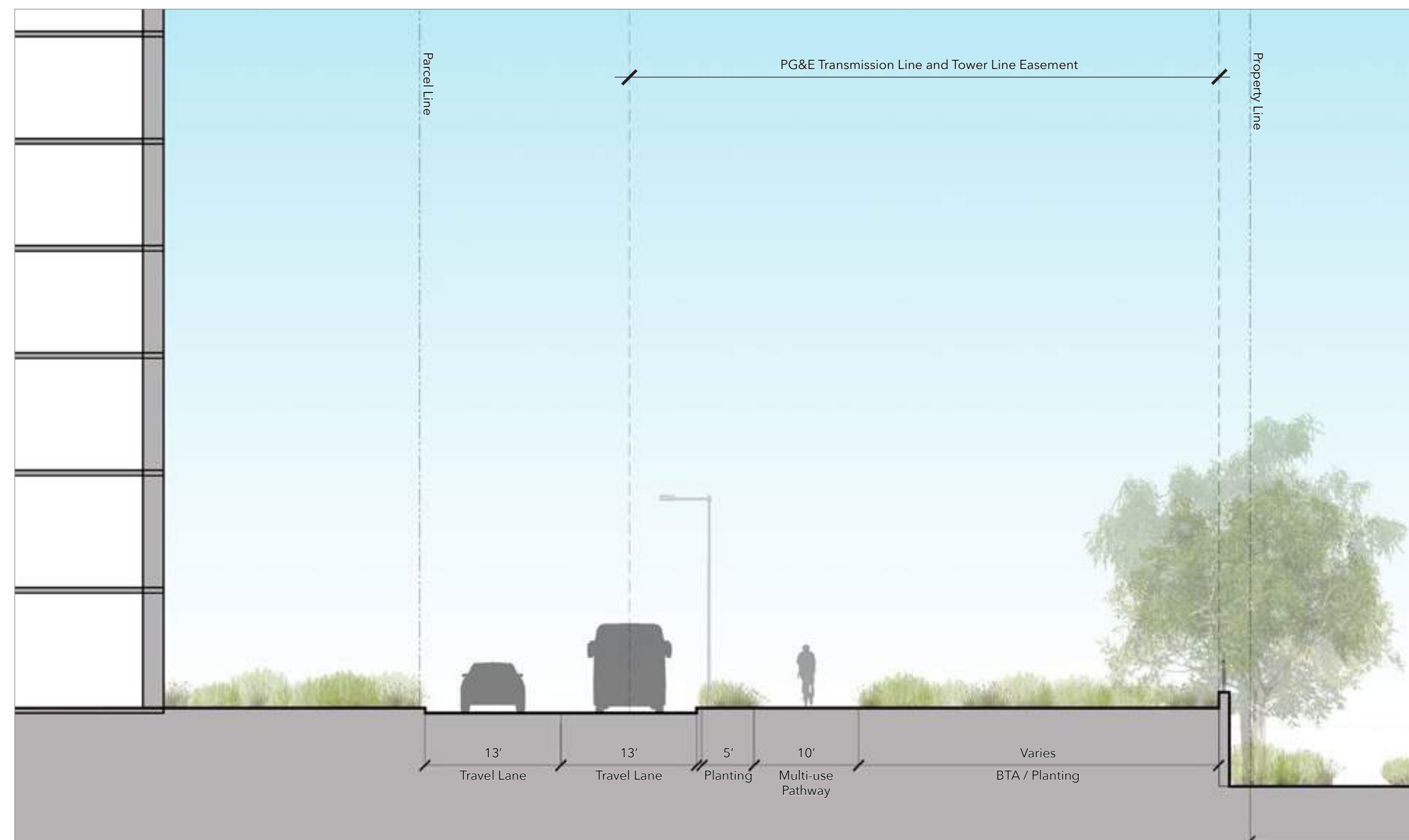


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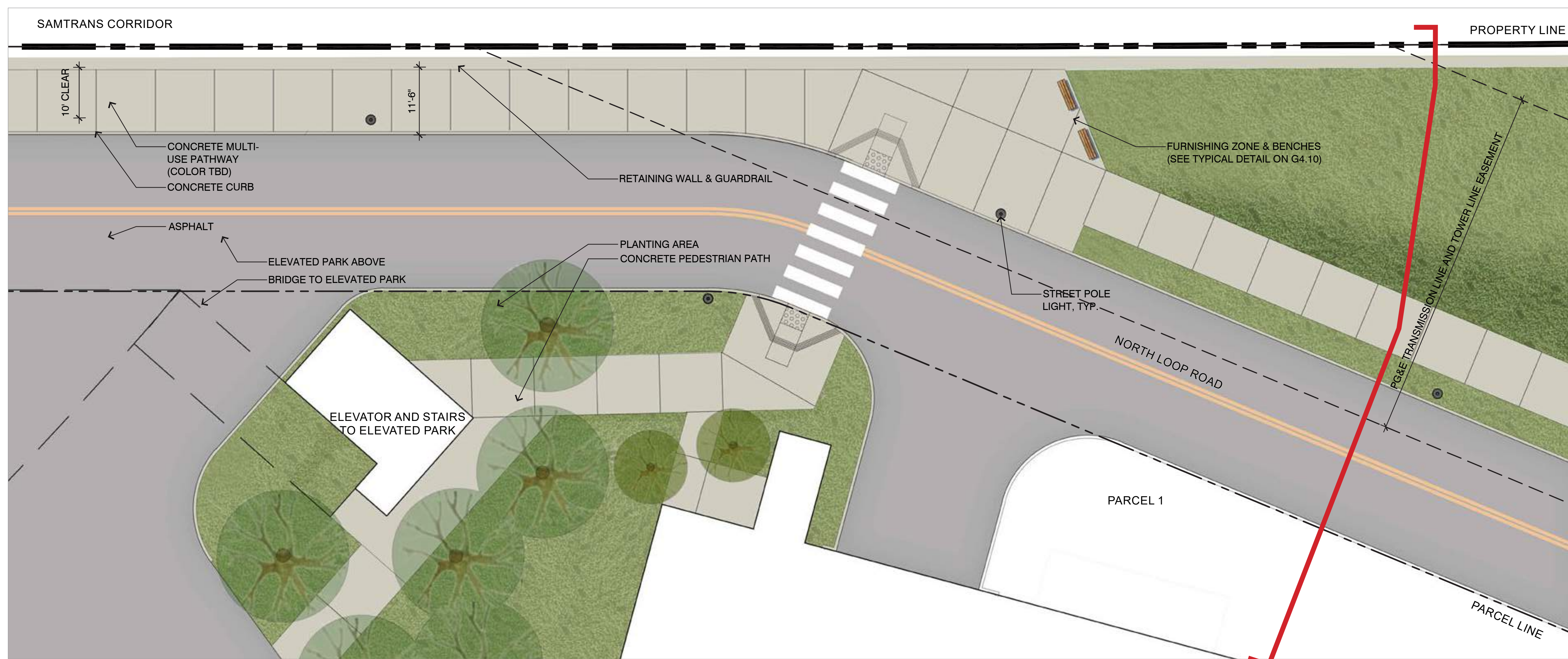


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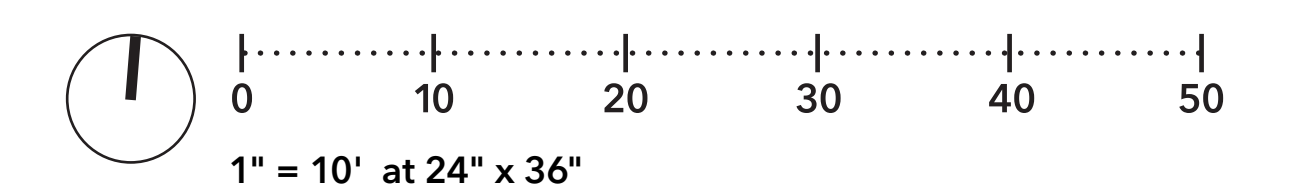
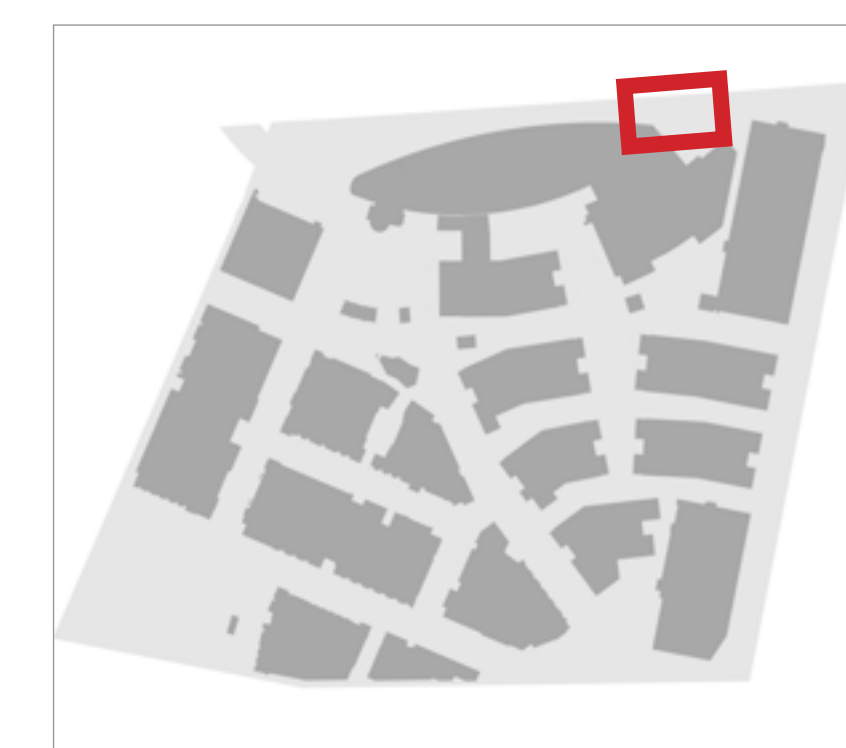


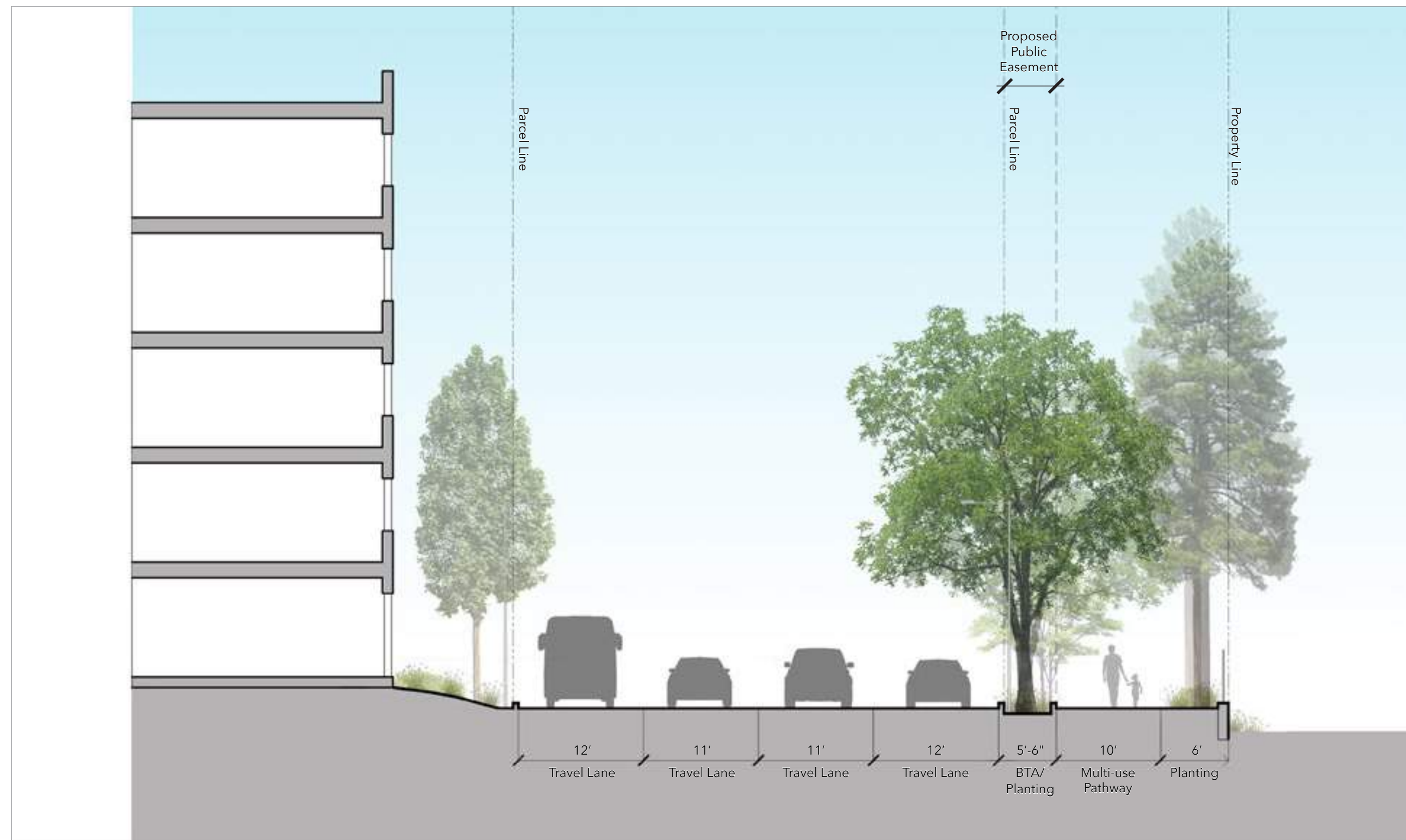


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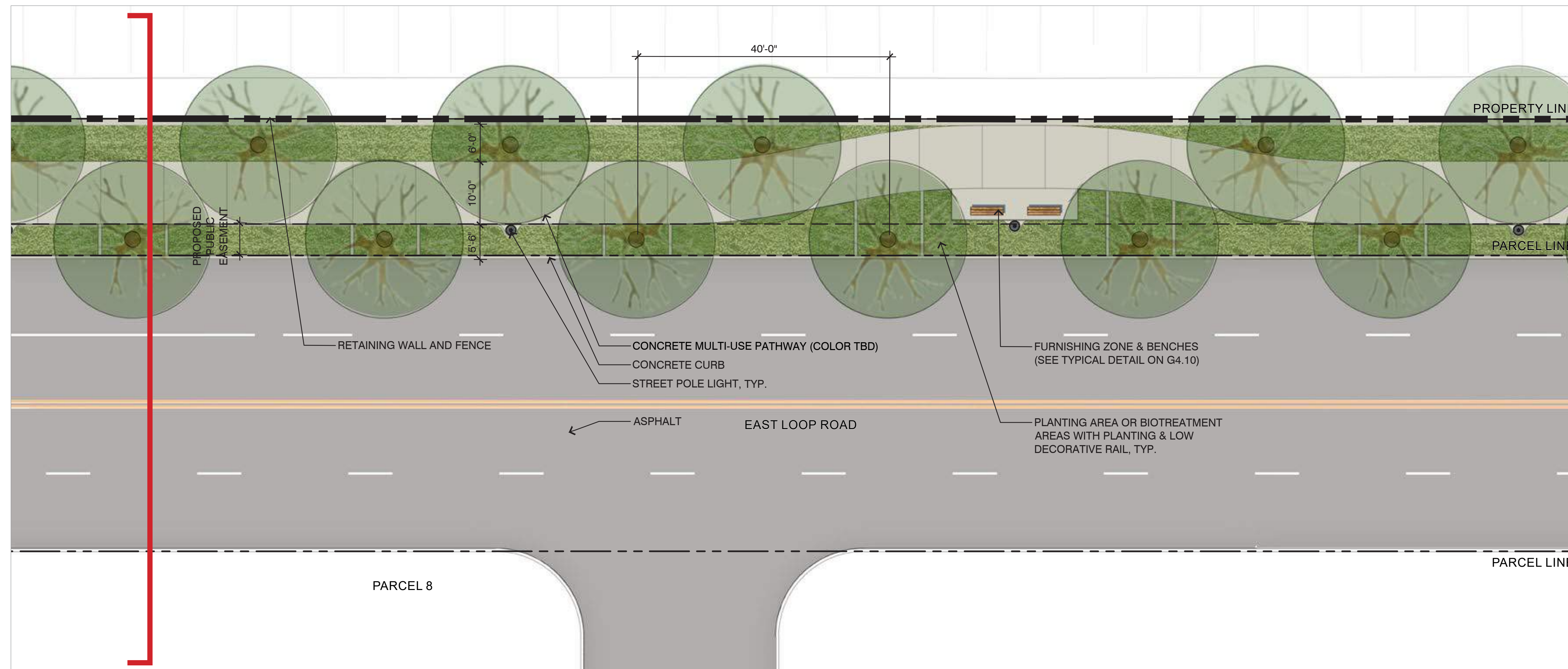


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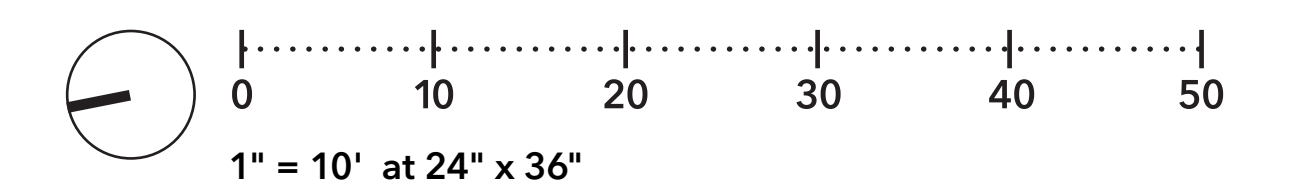
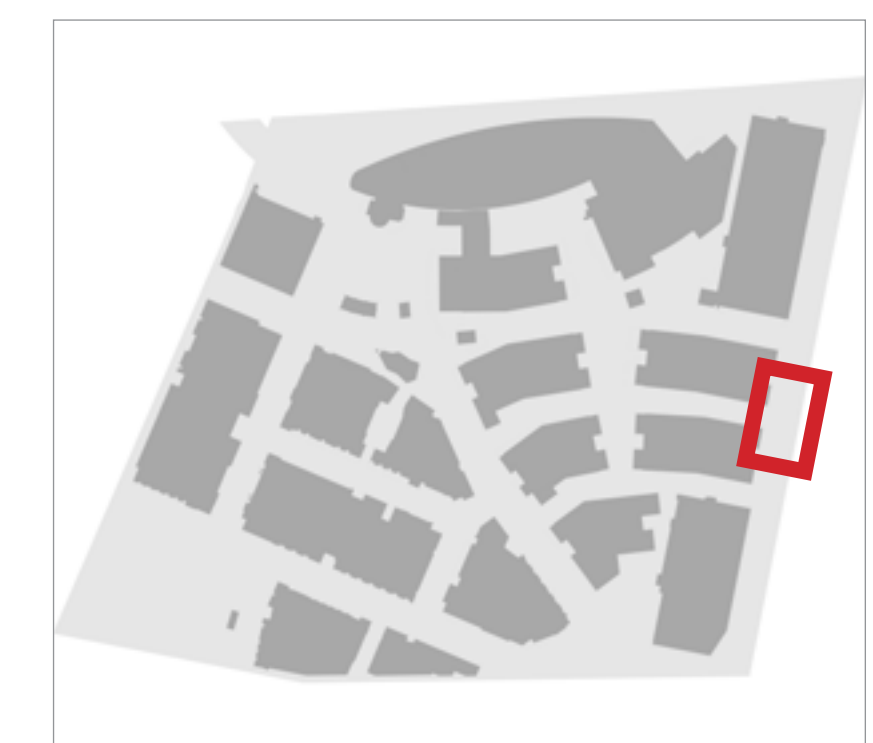


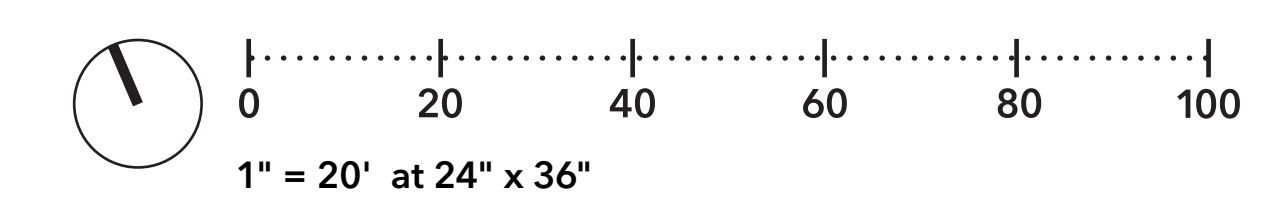
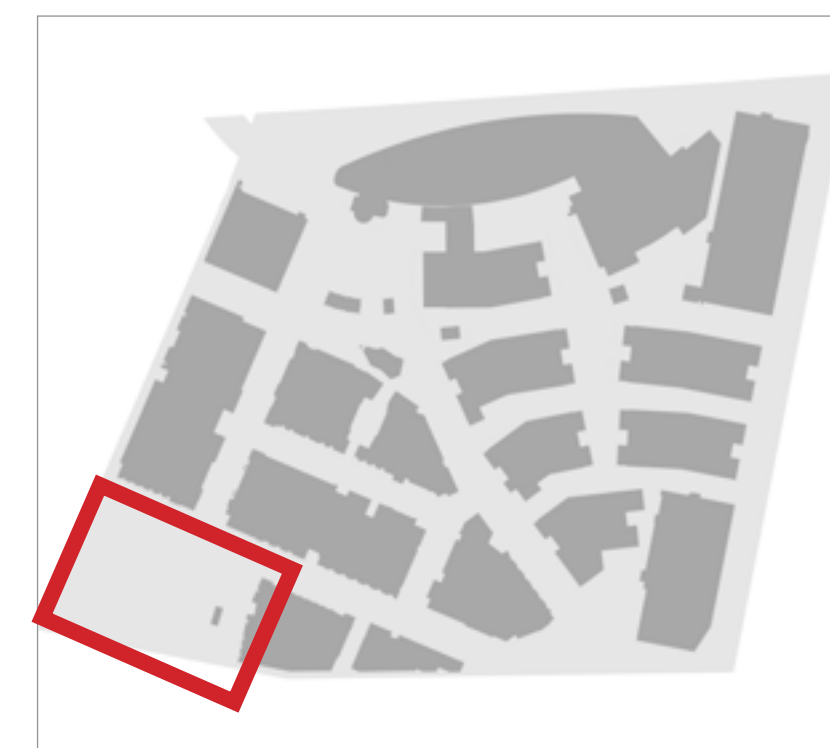


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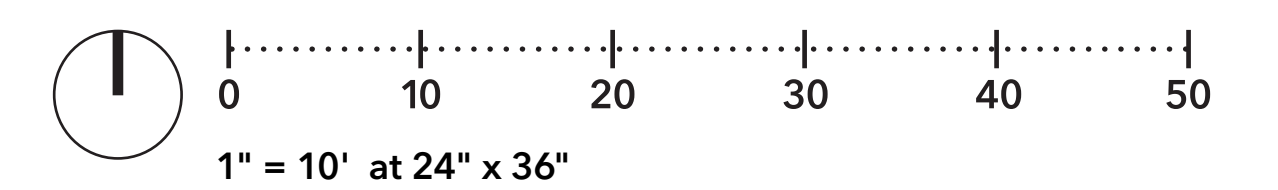
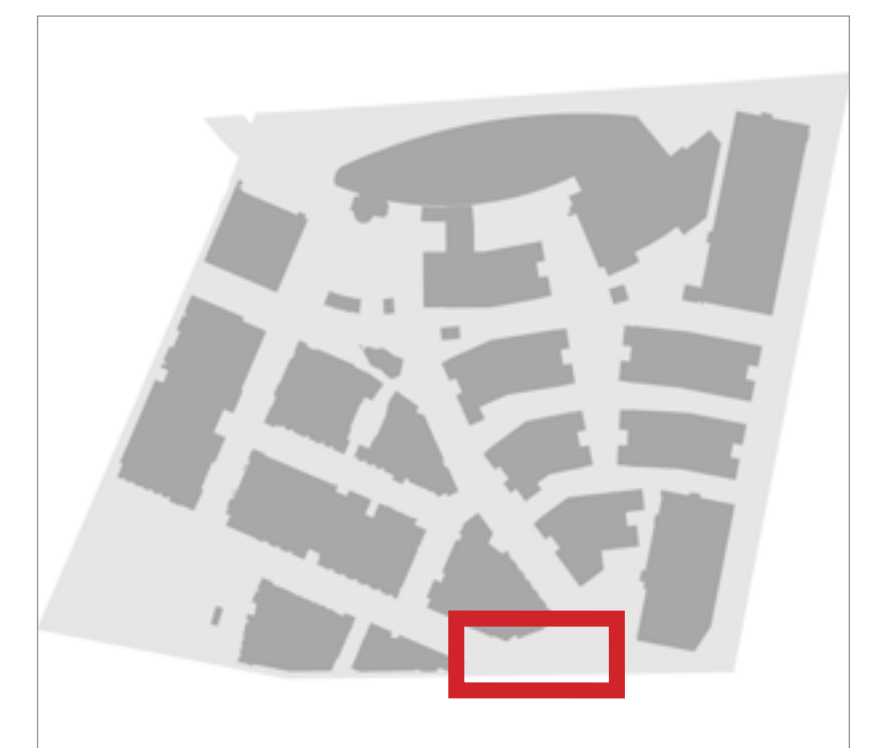


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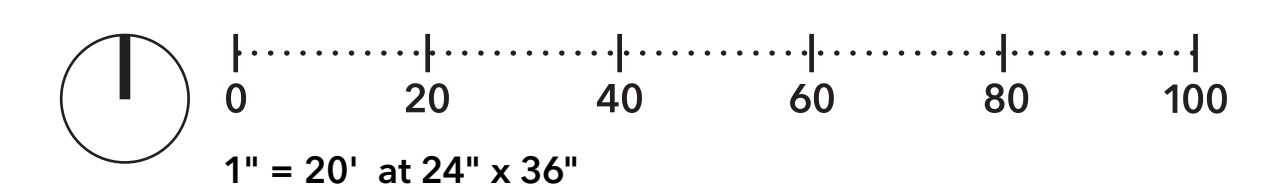
PLAN ENLARGEMENT



PLAN ENLARGEMENT

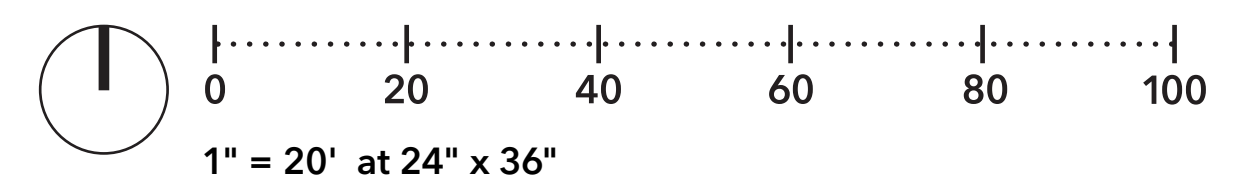
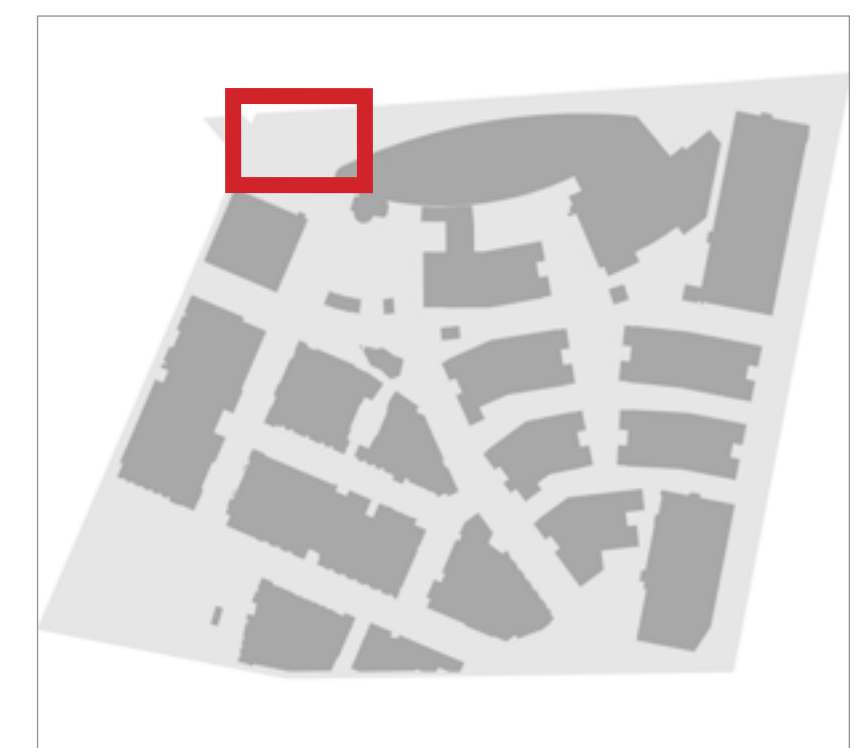


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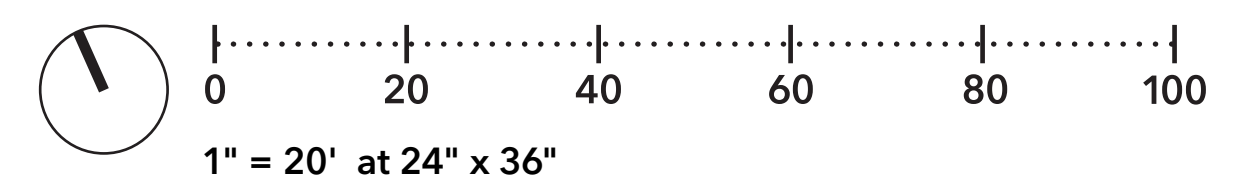
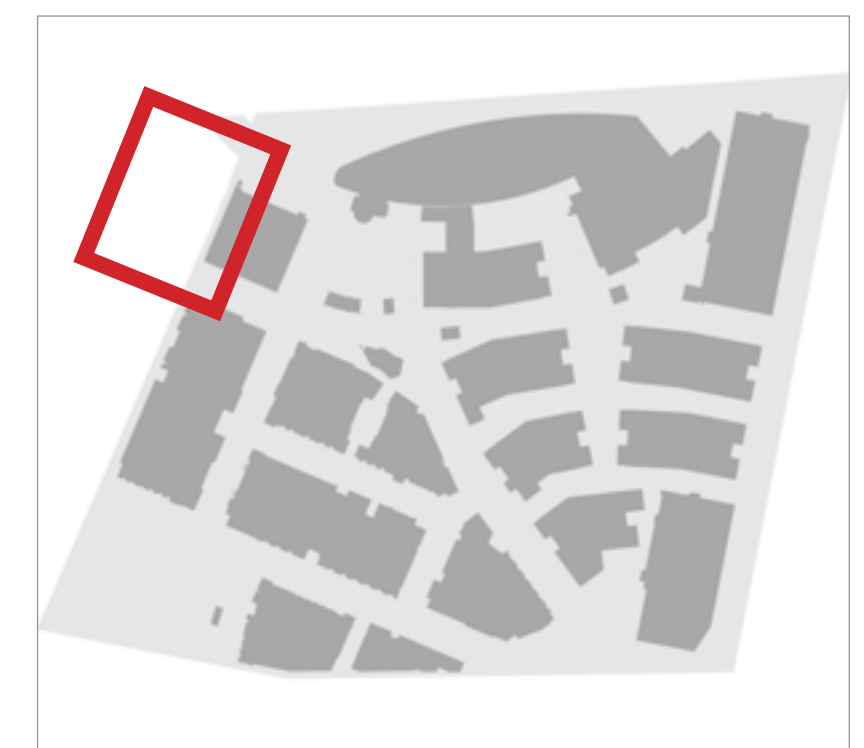
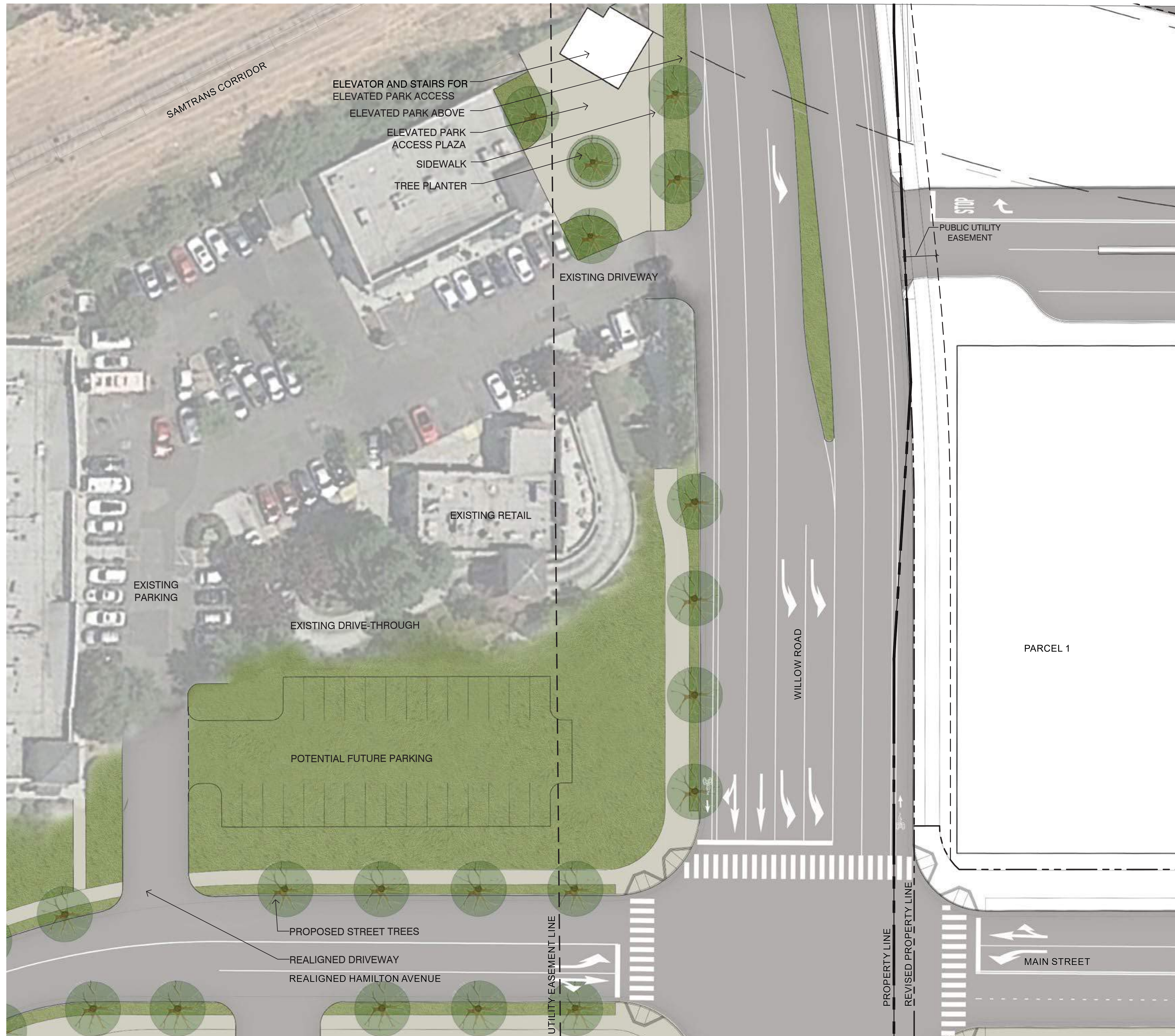




- RETAINING WALL
- 5' CONCRETE PEDESTRIAN PATH
- BIOTREATMENT AREAS
- 12' CONCRETE BIKE PATH
- BOULDERS
- RETAINING WALL
- ELEVATED PARK ABOVE
- STRUCTURE FOR ELEVATED PARK



PLAN ENLARGEMENT





LEGEND				
	BOTANIC NAME (COMMON NAME)	QUANTITY	SIZE	WUCOLS
○	Existing Tree to Remain <i>Pinus canariensis</i> (Canary Island Pine)	23	-	-
●	<i>Alnus rhombifolia</i> (White Alder)	10	48" box	High
●	<i>Arbutus 'Marina'</i> (Marina Arbutus)	13	48" box	Low
●	<i>Magnolia grandiflora</i> (Southern Magnolia)	21	48" box	Medium
●	<i>Pinus canariensis</i> (Canary Island Pine)	33	48" box	Low
●	<i>Pistacia chinensis</i> (Chinese Pistache)	2	48" box	Low
●	<i>Platanus x acerifolia</i> 'Morton Circle' (Exclamation London Plane Tree)	118	48" box	Medium
●	<i>Platanus racemosa</i> (California Sycamore)	53	48" box	Medium
●	<i>Ulmus parvifolia</i> cv. (Chinese Elm)	38	48" box	Low
●	<i>Zelkova serrata</i> cv. (Zelkova)	68	60" box	Medium
Total Proposed Tree		356		

Note: Structural soil to be used under sidewalk and plaza adjoining street trees.

TREE VALUATION			
QUANTITY	UNIT SIZE	UNIT VALUE	VALUE
0	#5	\$ 100	\$ -
55	#5	\$ 200	\$ 11,000
369	24" box	\$ 400	\$ 147,000
103	36" box	\$ 1,200	\$ 123,000
670	48" box	\$ 5,000	\$ 3,350,000
110	60" box	\$ 7,000	\$ 770,000
294	72" box	\$ 10,000	\$ 2,940,000
12	84" box	\$ 12,000	\$ 144,000
34	96" box	\$ 15,000	\$ 510,000
2	108" box	\$ 17,000	\$ 34,000
2	120" box	\$ 20,000	\$ 40,000
1,651			\$ 8,070,000

Note: Current valuation includes all proposed trees within Willow Village, and excludes the publicly accessible park. Pending park design.



● White Alder
Alnus rhombifolia



● Marina Arbutus
Arbutus 'Marina'



● Southern Magnolia
Magnolia grandiflora



● Canary Island Pine
Pinus canariensis



● Chinese Pistache
Pistacia chinensis



● Exclamation London Plane Tree
Platanus x acerifolia 'Morton Circle'



● California Sycamore
Platanus racemosa



● Chinese Evergreen Elm
Ulmus parvifolia cv.



● Zelkova
Zelkova serrata cv.

WATER USE ESTIMATION & IRRIGATION SCHEDULE - PUBLIC REALM

WATER TYPE		Recycled
CITY	Pen. Area	
ETO	45.1	
DATE		

Nearest City to project with published ET data

REGULAR LANDSCAPE AREAS												MONTHLY ETO												TOTAL RUN TIME IN MINUTES PER DAY		ETWU (GALLONS PER YEAR)		PERCENTAGE OF LANDSCAPE	
STATION/HYDROZONE	DIR	AREA (sq. ft.)	WATER USE TYPE (LW-MW-MW-MED)	PLANT TYPE	IRRIGATION TYPE	PLANT FACTOR (PF)	IRRIGATION EFFICIENCY (IE)	PRECIP. RATE / APPLICATION RATE (IN/HR)	ETAP (GPD)	CYCLE PER DAY	DAYS PER WEEK	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	ETWU (GALLONS PER YEAR)	PERCENTAGE OF LANDSCAPE				
Tree-Low	0	21337	LW	SHRUBS	DRIP (1/2" 30')	0.3	0.81	0.0	0.4	2	2	0.0	0.0	0.0	0.0	11.0	15.0	18.0	18.0	14.0	14.0	9.0	5.0	0.0	215,132	18%			
Tree-Mid	0	4000	MW	SHRUBS	DRIP (1/2" 30')	0.3	0.81	0.0	0.6	2	2	0.0	0.0	0.0	0.0	22.0	22.0	22.0	22.0	14.0	14.0	9.0	0.0	233,360	4%				
Tree-High	0	1000	MW	SHRUBS	DRIP (1/2" 30')	0.3	0.81	0.0	1.0	2	2	0.0	0.0	0.0	0.0	18.0	18.0	20.0	20.0	14.0	14.0	9.0	0.0	25,920	1%				
Grass	0	1000	LW	SHRUBS	DRIP (1/2" 30')	0.3	0.81	0.0	0.4	2	2	0.0	0.0	0.0	0.0	11.0	15.0	18.0	18.0	14.0	14.0	9.0	0.0	15,715	1%				
Grass	0	1000	LW	SHRUBS	DRIP (1/2" 30')	0.3	0.81	0.0	0.4	2	2	0.0	0.0	0.0	0.0	11.0	15.0	18.0	18.0	14.0	14.0	9.0	0.0	15,715	1%				
TOTAL		18,471																							1,024,796	8%			

THE IRRIGATION VALVE SCHEDULE SHOWN ABOVE IS INTENDED TO BE USED AS A GUIDELINE ONLY AND INDICATES THE APPROXIMATE RUN TIMES IN MINUTES FOR EACH VALVE BASED ON ESTIMATED WEEKLY WATER REQUIREMENTS FOR ESTABLISHED PLANT MATERIAL. THE TIMES SHOWN ARE APPROXIMATE AND HAVE BEEN DEVELOPED FROM LOCAL AND CURRENT AVERAGES FOR EVAPOTRANSPIRATION, AND REFLECT THE WATER REQUIREMENTS OF THE PLANT MATERIAL BASED ON PLANT TYPE AND THE APPROXIMATE PRECIPITATION OR APPLICATION RATES OF THE IRRIGATION SYSTEM TYPE. ACTUAL RUN TIMES MAY BE DIFFERENT DEPENDING ON A VARIETY OF FACTORS INCLUDING TOPOGRAPHY, SOIL STRUCTURE, SUN AND WIND EXPOSURE, WEATHER, ACTUAL PLANT WATER REQUIREMENTS, OVERALL PRECIPITATION RATE OF ZONE, ETC.

SPECIAL LANDSCAPE AREAS			
HYDROZONE #	HYDROZONE NAME	AREA (sq. ft.)	Percentage of Landscape
ALL		118,871	100%

MAWA		
GALLONS/YR	ACRE FEET/YR	HCF/YR
1,188,464	9.72	4,238.30

ETWU		
GALLONS/YR	ACRE FEET/YR	HCF/YR
1,024,796	8.39	3,362.39

SITE IRRIGATION EFFICIENCY		
SITE PLANT FACTOR	MAWA COMPLIANT	YES
48.4%	0.25	YES

REGULAR LANDSCAPE AREAS	
ETAF Calculations	
TOTAL ETAF x AREA	38,721
TOTAL AREA	118,871
AVG. ETAF	32.66%

MAWA FORMULA	
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR	ETWU FORMULA
MAWA = (ETWU / IE) x 0.81	ETWU = (ETAF x AREA) x 0.81

ETAF = REFERENCE EVAPOTRANSPIRATION
 IE = IRRIGATION EFFICIENCY (0.81 = BUBBLER/DRIP)
 0.81 = ET ADJUSTMENT FACTOR
 PF = PLANT FACTOR FOR HYDROZONES
 IE = IRRIGATION EFFICIENCY (0.75 = FOLIAR/SPRAY)
 LA = LANDSCAPED AREA (SQUARE FEET)
 HA = HYDROZONE AREA (SQ. FT.)
 0.82 = CONVERSION FACTOR (GALLONS/SQ. FT./YR)



Agave
Agave spp.



Berkeley Sedge
Carex divulsa



Dietes
Dietes spp.



New Zealand Flax
Phormium cv.



Aloe
Aloe spp.



California Wild Lilac
Ceanothus spp.



Grevillea
Grevillea 'Noelii'



Rosemary
Rosmarinus officinalis cv.



Kangaroo Paw
Anigozanthos cv.



Small Cape Rush
Chondropetalum tectorum



Pine Muhly
Muhlenburgia dubia



Sage
Salvia spp.



Bench Example



BTA Low Decorative Rail Example



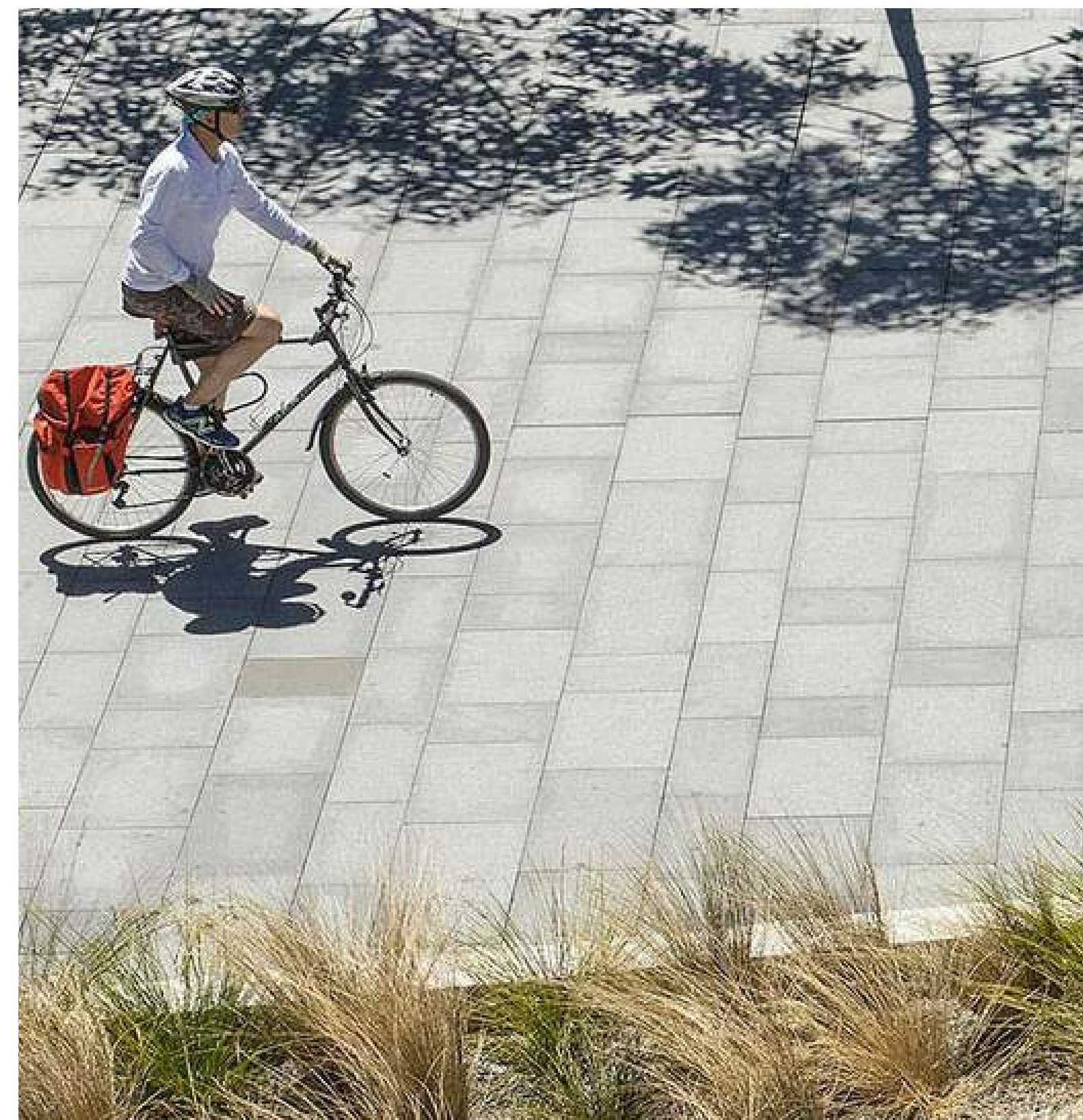
Security Bollard Example



Retractable Bollard Example



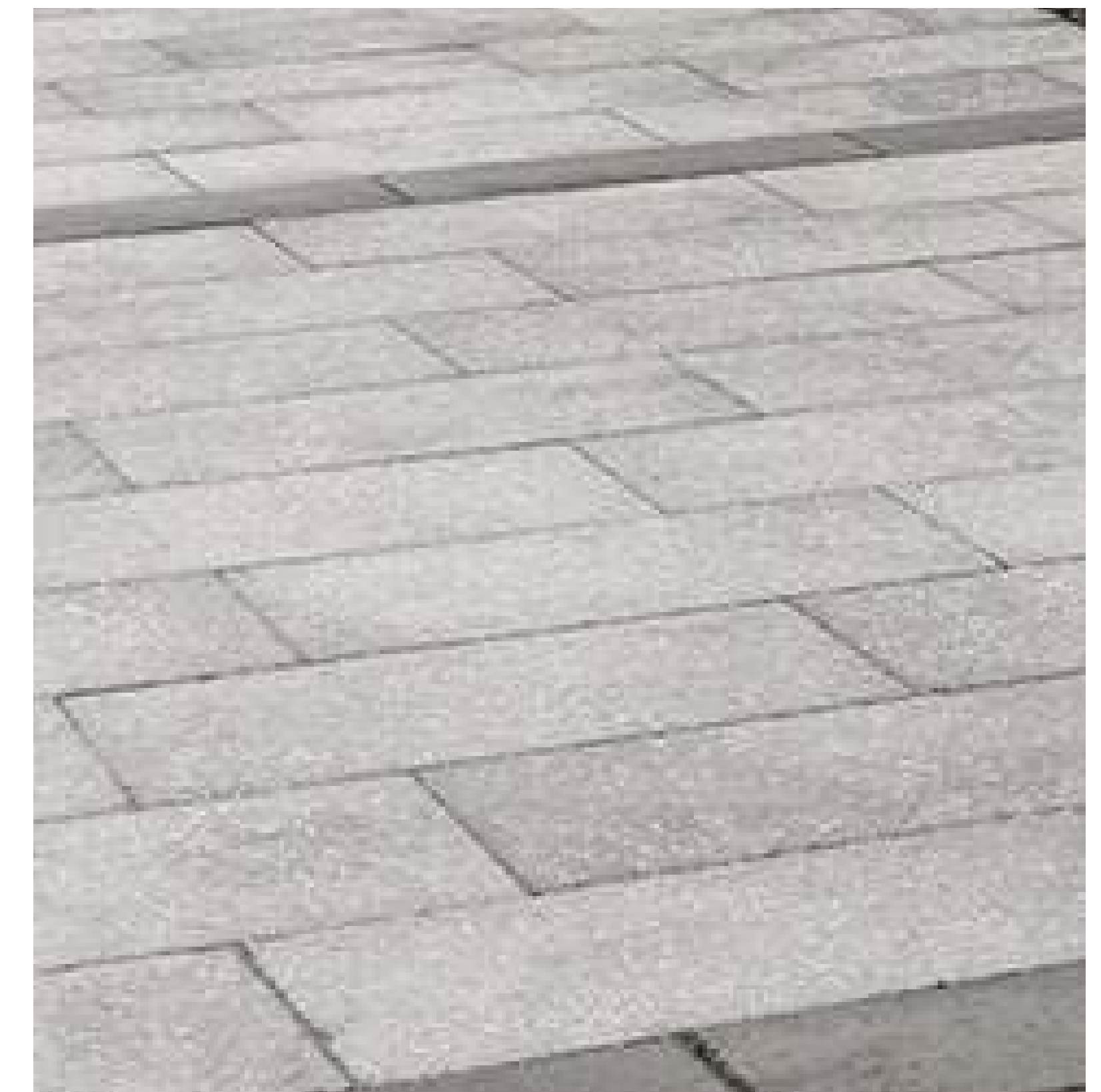
Dog Park Raised Tree Planter Example



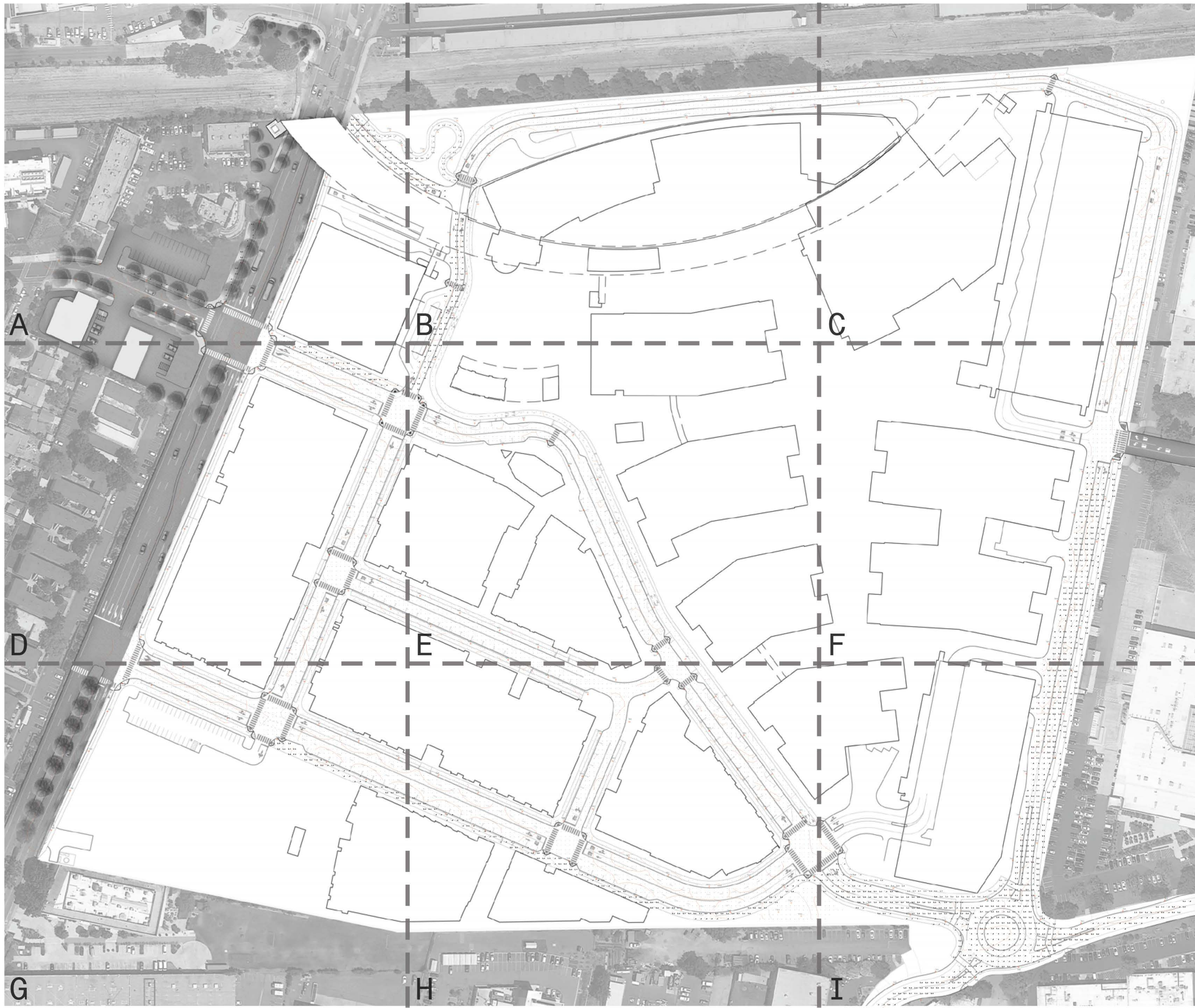
Main Street Paving Example
Unit Pavers (Type A)



Accent Band Example
Unit Pavers (Type B)



Bikeway Example
Unit Pavers (Type C)



Calculation Summary
Scene: Types

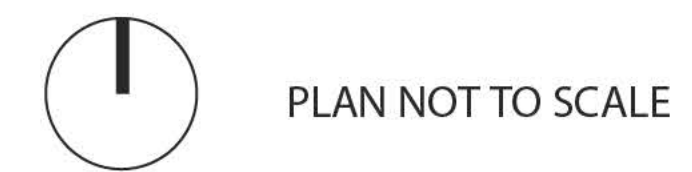
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bike Path 2 Top	Illuminance	Fc	1.64	5.8	0.2	8.20	29.00
Bike Path new Top	Illuminance	Fc	1.23	4.4	0.2	6.15	22.00
Bike Path North Loop_Top	Illuminance	Fc	0.92	1.7	0.1	9.20	17.00
Dog Park 1 Top	Illuminance	Fc	1.78	4.3	0.1	17.80	43.00
East Loop Road B Top	Illuminance	Fc	0.77	2.0	0.2	3.85	10.00
East Loop Road Top	Illuminance	Fc	0.66	1.5	0.2	3.30	7.50
Int Center Park Top	Illuminance	Fc	2.41	4.7	0.6	4.02	7.83
Int Center West Top	Illuminance	Fc	2.97	4.8	0.7	4.24	6.86
Int East Loop Main Top	Illuminance	Fc	1.72	5.7	0.2	8.60	28.50
Int East Loop Top	Illuminance	Fc	2.67	4.9	0.5	5.34	9.80
Int Main B Main C Top	Illuminance	Fc	2.60	5.1	0.6	4.33	8.50
Int Main West Top	Illuminance	Fc	2.63	4.8	0.7	3.76	6.86
Int Park Main Top	Illuminance	Fc	2.19	4.8	0.2	10.95	24.00
Int Park Parc5 Top	Illuminance	Fc	3.13	4.9	1.0	3.13	4.90
Int Willow road Main St A Top	Illuminance	Fc	2.03	5.0	0.3	6.77	16.67
Multi-use Pathway 2 Top	Illuminance	Fc	0.57	3.3	0.2	2.85	16.50
Multiuse Pathway 1 Top	Illuminance	Fc	0.51	1.4	0.1	5.10	14.00
North Loop Road Top	Illuminance	Fc	1.08	2.7	0.2	5.40	13.50
O'Brien Drive East Top	Illuminance	Fc	0.84	4.6	0.2	4.20	23.00
O'Brien Drive West Top	Illuminance	Fc	1.11	4.6	0.2	5.55	23.00
Fed Parcel 1 Top	Illuminance	Fc	0.72	2.4	0.2	3.60	12.00
Fed Parcel 2 Top	Illuminance	Fc	0.86	3.7	0.2	4.30	18.50
Fed Parcel 3 Top	Illuminance	Fc	0.59	1.1	0.2	2.95	5.50
Fed Parcel 4 Top	Illuminance	Fc	0.66	3.1	0.2	3.30	15.50
Fed Parcel 5 Top	Illuminance	Fc	0.63	3.8	0.2	3.15	19.00
Fed Parcel 6 7 8 Top	Illuminance	Fc	0.84	3.4	0.2	4.20	17.00
Fed Parcel A Top	Illuminance	Fc	0.70	2.7	0.2	3.50	11.00
Fed Parcel Willow Road West Top	Illuminance	Fc	0.89	3.6	0.2	4.45	18.00
Road Center Main Top	Illuminance	Fc	0.73	1.7	0.2	3.65	8.50
Road Center St Top	Illuminance	Fc	0.92	2.9	0.3	2.73	9.67
Road Hamilton Avenue Top	Illuminance	Fc	0.75	1.6	0.2	3.75	8.00
road Main St A 1 Top	Illuminance	Fc	0.87	2.5	0.4	2.18	6.25
Road Main St B Top	Illuminance	Fc	0.89	2.6	0.2	4.45	13.00
Road Main St C Top	Illuminance	Fc	0.95	3.0	0.4	2.38	7.50
Road Main St D Top	Illuminance	Fc	1.12	3.3	0.2	6.65	16.50
Road Park St A Top	Illuminance	Fc	0.75	1.7	0.3	2.50	5.67
Road Park St B Top	Illuminance	Fc	0.61	1.5	0.3	2.03	5.00
Road Park St C Top	Illuminance	Fc	0.68	1.7	0.2	3.40	8.50
Tunnel Top	Illuminance	Fc	0.75	1.6	0.2	3.75	8.00
West St A Top	Illuminance	Fc	0.89	3.5	0.2	4.45	17.50
West St B Top	Illuminance	Fc	0.84	1.8	0.3	2.80	6.00
West St C Top	Illuminance	Fc	0.74	2.3	0.2	3.70	11.50
Willow Road Top	Illuminance	Fc	1.36	4.6	0.2	6.80	23.00

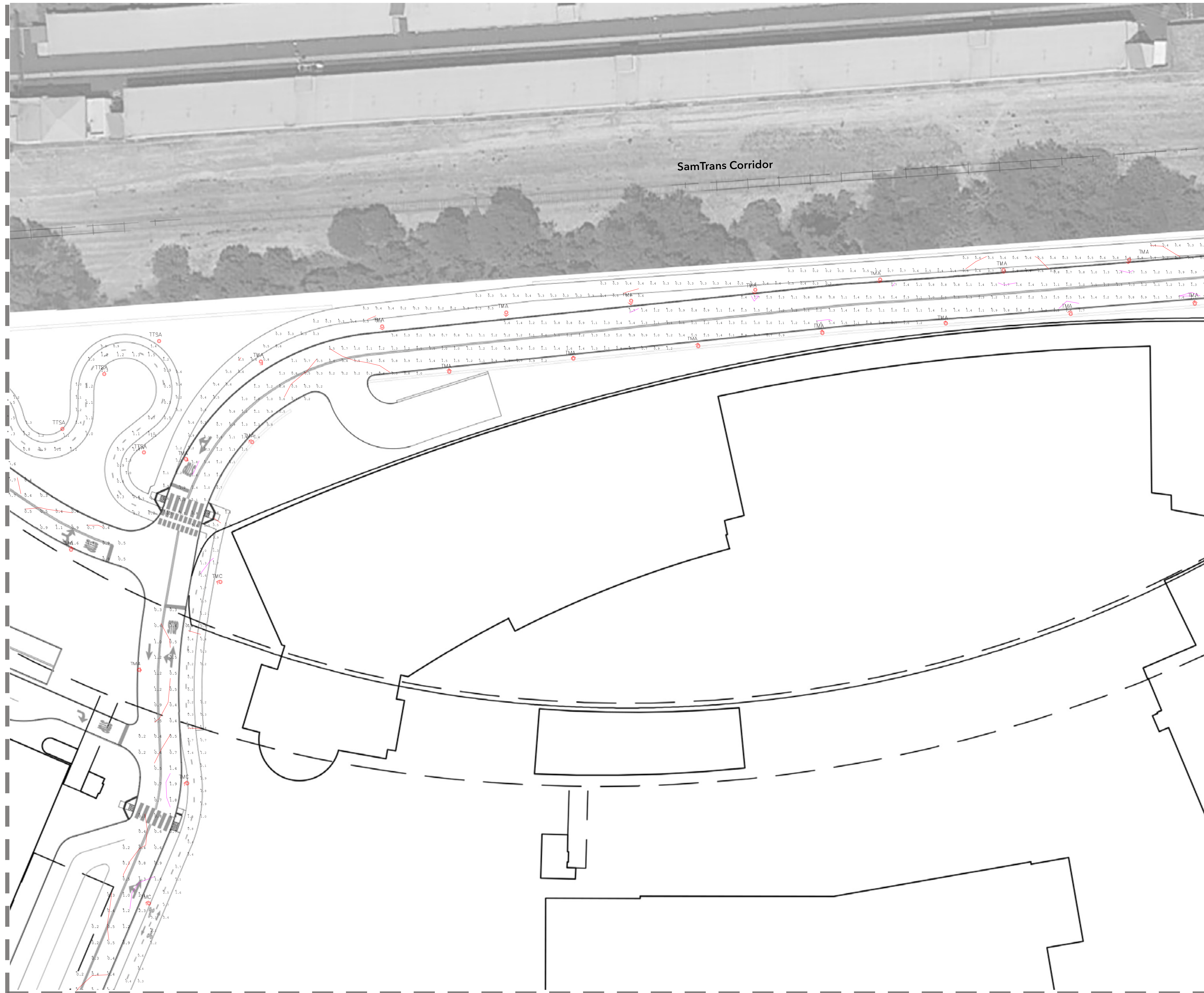
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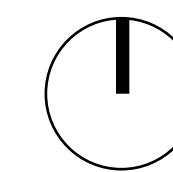
Calculation Summary
Scene: Types

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bike Path 2 Top	Illuminance	Fc	1.64	5.8	0.2	8.20	29.00
Bike Path new Top	Illuminance	Fc	1.23	4.4	0.2	6.15	22.00
Bike Path North Loop Top	Illuminance	Fc	0.92	1.7	0.1	9.20	17.00
Dog Park 1 Top	Illuminance	Fc	1.78	4.3	0.1	17.80	43.00
East Loop Road B Top	Illuminance	Fc	0.77	2.0	0.2	3.85	10.00
East Loop Road Top	Illuminance	Fc	0.66	1.5	0.2	3.30	7.50
Int Center Park Top	Illuminance	Fc	2.41	4.7	0.6	4.02	7.83
Int Center West Top	Illuminance	Fc	2.97	4.8	0.7	4.24	6.86
Int East Loop Main Top	Illuminance	Fc	1.72	5.7	0.2	8.60	28.50
Int East Loop Top	Illuminance	Fc	2.67	4.9	0.5	5.34	9.80
Int Main B Main C Top	Illuminance	Fc	2.60	5.1	0.6	4.33	8.50
Int Main West Top	Illuminance	Fc	2.63	4.8	0.7	3.76	6.86
Int Park Main Top	Illuminance	Fc	2.19	4.8	0.2	10.95	24.00
Int Park Parc5 Top	Illuminance	Fc	3.13	4.9	1.0	3.13	4.90
Int Willow road Main St A Top	Illuminance	Fc	2.03	5.0	0.3	6.77	16.67
Multi-use Pathway 2 Top	Illuminance	Fc	0.57	3.3	0.2	2.85	16.50
Multiuse Pathway 1 Top	Illuminance	Fc	0.51	1.4	0.1	5.10	14.00
North Loop Road Top	Illuminance	Fc	1.08	2.7	0.2	5.40	13.50
O Brien Drive East Top	Illuminance	Fc	0.84	4.6	0.2	4.20	23.00
O Brien Drive West Top	Illuminance	Fc	1.11	4.6	0.2	5.55	23.00
Fed Parcel 1 Top	Illuminance	Fc	0.72	2.4	0.2	3.60	12.00
Fed Parcel 2 Top	Illuminance	Fc	0.86	3.7	0.2	4.30	18.50
Fed Parcel 3 Top	Illuminance	Fc	0.59	1.1	0.2	2.95	5.50
Fed Parcel 4 Top	Illuminance	Fc	0.66	3.1	0.2	3.30	15.50
Fed Parcel 5 Top	Illuminance	Fc	0.63	3.8	0.2	3.15	19.00
Fed Parcel 6 7 8 Top	Illuminance	Fc	0.84	3.4	0.2	4.20	17.00
Fed Parcel A Top	Illuminance	Fc	0.70	2.7	0.2	3.50	11.00
Fed Parcel Willow Road West Top	Illuminance	Fc	0.89	3.6	0.2	4.45	18.00
Road Center Main Top	Illuminance	Fc	0.73	1.7	0.2	3.65	8.50
Road Center St Top	Illuminance	Fc	0.92	2.9	0.3	2.73	9.67
Road Hamilton Avenue Top	Illuminance	Fc	0.75	1.6	0.2	3.75	8.00
Road Main St A 1 Top	Illuminance	Fc	0.87	2.5	0.4	2.18	6.25
Road Main St B Top	Illuminance	Fc	0.89	2.6	0.2	4.45	13.00
Road Main St C Top	Illuminance	Fc	0.95	3.0	0.4	2.38	7.50
Road Main St D Top	Illuminance	Fc	1.12	3.3	0.2	3.65	16.50
Road Park St A Top	Illuminance	Fc	0.75	1.7	0.3	2.50	5.67
Road Park St B Top	Illuminance	Fc	0.61	1.5	0.3	2.03	5.00
Road Park St C Top	Illuminance	Fc	0.68	1.7	0.2	2.40	6.50
Tunnel Top	Illuminance	Fc	0.75	1.6	0.2	3.75	8.00
West St A Top	Illuminance	Fc	0.89	3.5	0.2	4.45	17.50
West St B Top	Illuminance	Fc	0.84	1.8	0.3	2.80	6.00
West St C Top	Illuminance	Fc	0.74	2.3	0.2	3.70	11.50
Willow Road Top	Illuminance	Fc	1.36	4.6	0.2	6.80	23.00



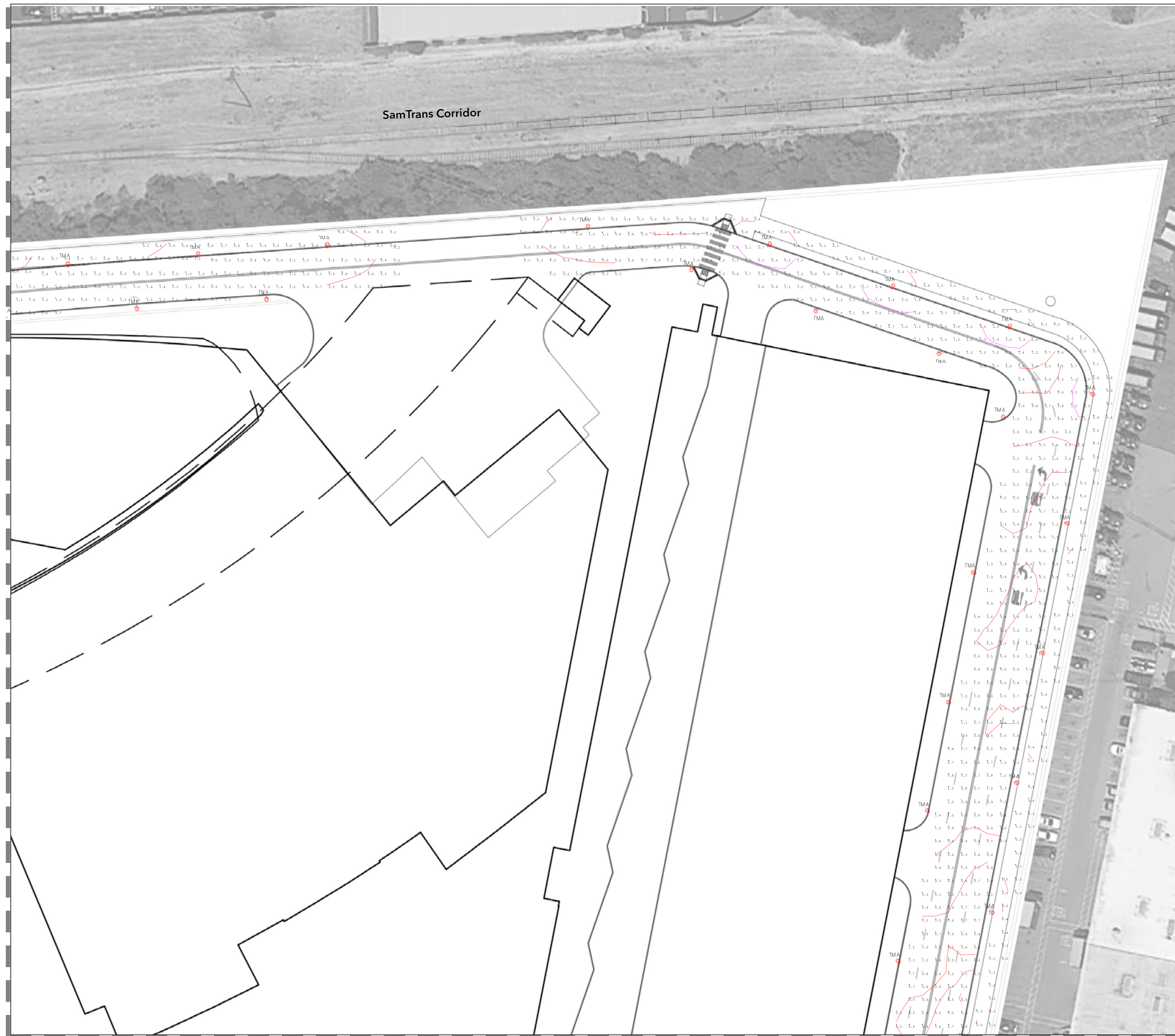


Calculation Summary						
Scene: Types						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Bike Path 2 Top	Illuminance	Fc	1.64	5.8	0.2	8.20
Bike Path new Top	Illuminance	Fc	1.23	4.4	0.2	6.15
Bike Path North Loop Top	Illuminance	Fc	0.92	1.7	0.1	9.20
Dog Park 1 Top	Illuminance	Fc	1.78	4.3	0.1	17.80
East Loop Road B Top	Illuminance	Fc	0.77	2.0	0.2	3.85
East Loop Road Top	Illuminance	Fc	0.66	1.9	0.2	3.30
Int Center Park Top	Illuminance	Fc	2.41	4.7	0.6	4.02
Int Center West Top	Illuminance	Fc	2.97	4.8	0.7	4.24
Int East Loop Main Top	Illuminance	Fc	1.72	3.7	0.2	8.60
Int East Loop Top	Illuminance	Fc	2.67	4.9	0.5	5.34
Int Main B Main C Top	Illuminance	Fc	2.60	5.1	0.6	4.33
Int Main West Top	Illuminance	Fc	2.63	4.8	0.7	3.76
Int Park Main Top	Illuminance	Fc	2.19	4.8	0.2	10.95
Int Park Parc5 Top	Illuminance	Fc	3.13	4.9	1.0	3.13
Int Willow road Main St A Top	Illuminance	Fc	2.03	5.0	0.3	6.77
Multi-use Pathway 2 Top	Illuminance	Fc	0.57	3.3	0.2	2.85
Multi-use Pathway 1 Top	Illuminance	Fc	0.51	1.4	0.1	5.10
North Loop Road Top	Illuminance	Fc	1.08	2.7	0.2	5.40
O Brien Drive East Top	Illuminance	Fc	0.84	4.6	0.2	4.20
O Brien Drive West Top	Illuminance	Fc	1.11	4.6	0.2	5.55
Ped Parcel 1 Top	Illuminance	Fc	0.72	2.4	0.2	3.60
Ped Parcel 2 Top	Illuminance	Fc	0.86	3.7	0.2	4.30
Ped Parcel 3 Top	Illuminance	Fc	0.59	1.1	0.2	2.95
Ped Parcel 4 Top	Illuminance	Fc	0.66	3.1	0.2	3.30
Ped Parcel 5 Top	Illuminance	Fc	0.63	3.8	0.2	3.15
Ped Parcel 6 7 8 Top	Illuminance	Fc	0.84	3.4	0.2	4.20
Ped Parcel A Top	Illuminance	Fc	0.70	2.2	0.2	3.50
Ped Parcel Willow Road West Top	Illuminance	Fc	0.89	3.6	0.2	4.45
Road Center Main Top	Illuminance	Fc	0.73	1.7	0.2	3.65
Road Center St Top	Illuminance	Fc	0.82	2.9	0.3	2.73
Road Hamilton Avenue Top	Illuminance	Fc	0.75	1.6	0.2	3.75
Road Main St A 1 Top	Illuminance	Fc	0.87	2.5	0.4	2.18
Road Main St B Top	Illuminance	Fc	0.89	2.6	0.2	4.45
Road Main St C Top	Illuminance	Fc	0.95	3.0	0.4	2.38
Road Main St D Top	Illuminance	Fc	1.13	3.1	0.2	5.65
Road Park St A Top	Illuminance	Fc	0.75	1.7	0.3	2.50
Road Park St B Top	Illuminance	Fc	0.61	1.5	0.3	2.03
Road Park St C Top	Illuminance	Fc	0.68	1.7	0.2	2.40
Tunnel Top	Illuminance	Fc	0.75	1.6	0.2	3.75
West St A Top	Illuminance	Fc	0.89	3.5	0.2	4.45
West St B Top	Illuminance	Fc	0.84	1.8	0.3	2.80
West St C Top	Illuminance	Fc	0.74	2.3	0.2	3.70
Willow Road Top	Illuminance	Fc	1.36	4.6	0.2	6.80



PLAN NOT TO SCALE

0.5 FC 1.6 FC



Calculation Summary						
Scene: Lypes						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Bike Path 2 Top	Illuminance	FC	1.64	5.8	0.2	8.20
Bike Path new Top	Illuminance	FC	1.23	4.4	0.2	6.15
Bike Path North Loop Top	Illuminance	FC	0.92	1.7	0.1	9.20
Dog Park 1 Top	Illuminance	FC	1.78	4.3	0.1	17.80
East Loop Road B Top	Illuminance	FC	0.77	2.0	0.2	3.85
East Loop Road Top	Illuminance	FC	0.66	1.9	0.2	3.30
Int Center Park Top	Illuminance	FC	2.41	4.7	0.6	4.02
Int Center West Top	Illuminance	FC	2.97	4.8	0.7	4.24
Int East Loop Main Top	Illuminance	FC	1.72	5.7	0.2	8.60
Int East Loop Top	Illuminance	FC	2.67	4.9	0.5	5.34
Int Main B Main C Top	Illuminance	FC	2.60	5.1	0.6	4.33
Int Main West Top	Illuminance	FC	2.63	4.8	0.7	3.76
Int Park Main Top	Illuminance	FC	2.19	4.8	0.2	10.95
Int Park Parc5 Top	Illuminance	FC	3.13	4.9	1.0	3.13
Int Willow road Main St A Top	Illuminance	FC	2.03	5.0	0.3	6.77
Multi-use Pathway 2 Top	Illuminance	FC	0.57	3.3	0.2	2.85
Multilane Pathway 1 Top	Illuminance	FC	0.51	1.4	0.1	5.10
North Loop Road Top	Illuminance	FC	1.08	2.7	0.2	5.40
O Brien Drive East Top	Illuminance	FC	0.84	4.6	0.2	4.20
O Brien Drive West Top	Illuminance	FC	1.11	4.6	0.2	5.55
Ped Parcel 1 Top	Illuminance	FC	0.72	2.4	0.2	3.60
Ped Parcel 2 Top	Illuminance	FC	0.86	3.7	0.2	4.30
Ped Parcel 3 Top	Illuminance	FC	0.59	1.1	0.2	2.95
Ped Parcel 4 Top	Illuminance	FC	0.66	3.1	0.2	3.30
Ped Parcel 5 Top	Illuminance	FC	0.63	3.8	0.2	3.15
Ped Parcel 6 7 8 Top	Illuminance	FC	0.84	3.4	0.2	4.20
Ped Parcel A Top	Illuminance	FC	0.70	2.2	0.2	3.50
Ped Parcel Willow Road West Top	Illuminance	FC	0.89	3.6	0.2	4.45
Road Center Main Top	Illuminance	FC	0.73	1.7	0.2	3.65
Road Center St Top	Illuminance	FC	0.82	2.9	0.3	2.73
Road Hamilton Avenue Top	Illuminance	FC	0.75	1.6	0.2	3.75
Road Main St A 1 Top	Illuminance	FC	0.87	2.5	0.4	2.18
Road Main St B Top	Illuminance	FC	0.89	2.6	0.2	4.45
Road Main St C Top	Illuminance	FC	0.95	3.0	0.4	2.38
Road Main St D Top	Illuminance	FC	1.13	3.3	0.2	5.65
Road Park St A Top	Illuminance	FC	0.75	1.7	0.3	2.50
Road Park St B Top	Illuminance	FC	0.61	1.5	0.3	2.03
Road Park St C Top	Illuminance	FC	0.68	1.7	0.2	3.40
Tunnel Top	Illuminance	FC	0.75	1.6	0.2	3.75
West St A Top	Illuminance	FC	0.89	3.5	0.2	4.45
West St B Top	Illuminance	FC	0.84	1.8	0.3	2.80
West St C Top	Illuminance	FC	0.74	2.3	0.2	3.70
Willow Road Top	Illuminance	FC	1.36	4.6	0.2	6.80

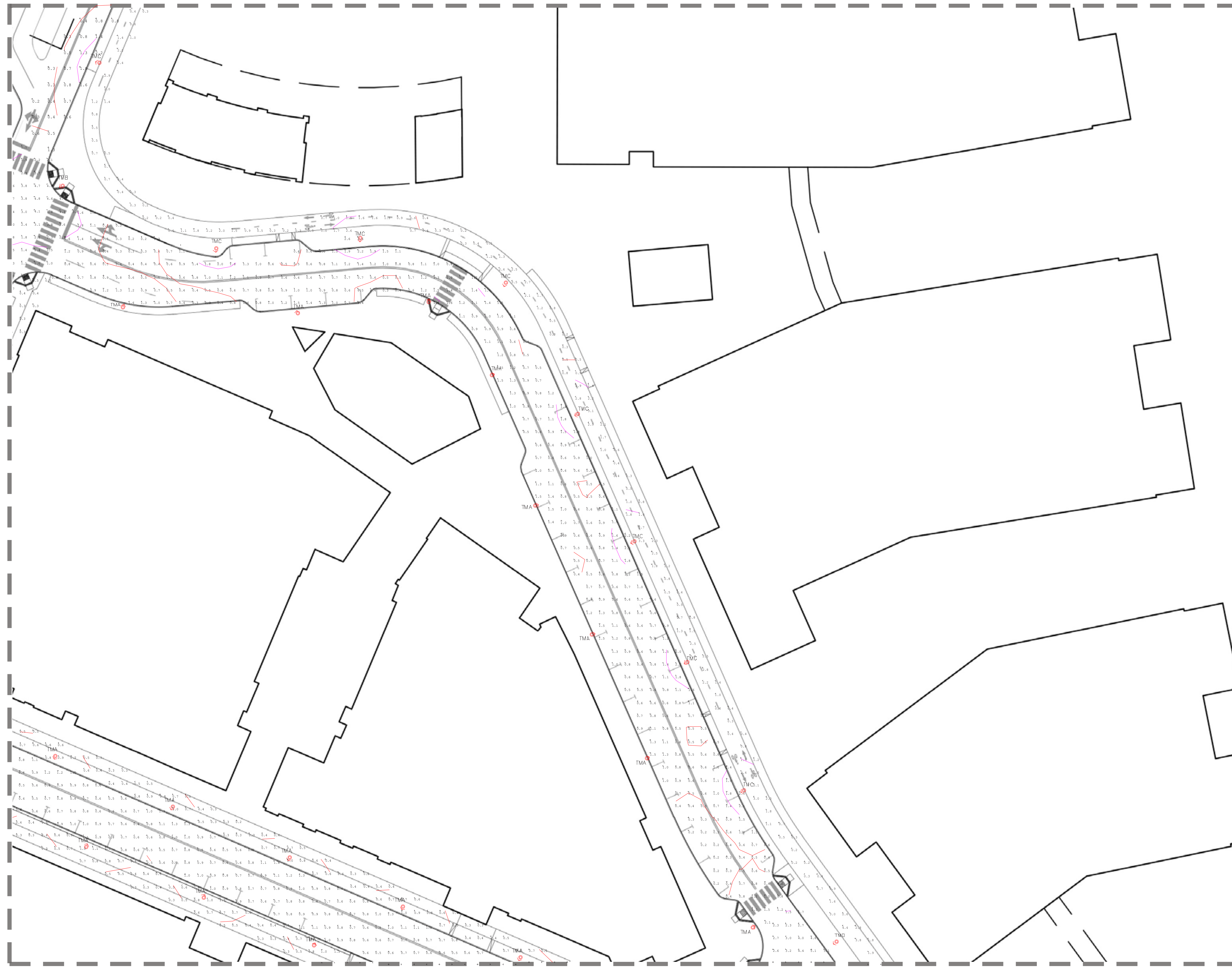
PLAN NOT TO SCALE



Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min Max/Min
Scene: Types						
Bike Path 2 Top	Illuminance	Fc	1.64	5.8	0.2	8.20 29.00
Bike Path new Top	Illuminance	Fc	1.23	4.4	0.2	6.15 22.00
Bike Path North Loop Top	Illuminance	Fc	0.92	1.7	0.1	9.20 17.00
Dog Park 1 Top	Illuminance	Fc	1.78	4.3	0.1	17.80 43.00
East Loop Road B Top	Illuminance	Fc	0.77	2.0	0.2	3.85 10.00
East Loop Road Top	Illuminance	Fc	0.66	1.9	0.2	3.30 7.90
Int Center ParK Top	Illuminance	Fc	2.41	4.7	0.6	4.02 7.83
Int Center West Top	Illuminance	Fc	2.97	4.8	0.7	4.24 6.86
Int East Loop Main Top	Illuminance	Fc	1.72	5.7	0.2	8.60 28.50
Int East Loop Top	Illuminance	Fc	2.67	4.9	0.5	5.34 9.80
Int Main B Main C Top	Illuminance	Fc	2.60	5.1	0.6	4.33 8.50
Int Main West Top	Illuminance	Fc	2.63	4.8	0.7	3.76 6.86
Int Park Main Top	Illuminance	Fc	2.19	4.8	0.2	10.95 24.00
Int Park Parc5 Top	Illuminance	Fc	3.13	4.9	1.0	3.13 4.90
Int Willow road Main St A Top	Illuminance	Fc	2.03	5.0	0.3	6.77 16.67
Multi-use Pathway 2 Top	Illuminance	Fc	0.57	3.3	0.2	2.85 16.50
Multiuse Pathway 1 Top	Illuminance	Fc	0.51	1.4	0.1	5.10 14.00
North Loop Road Top	Illuminance	Fc	1.08	2.7	0.2	5.40 13.50
O Brien Drive East Top	Illuminance	Fc	0.84	4.6	0.2	4.20 23.00
O Brien Drive West Top	Illuminance	Fc	1.11	4.6	0.2	5.55 23.00
Ped Parcel 1 Top	Illuminance	Fc	0.72	2.4	0.2	3.60 12.00
Ped Parcel 2 Top	Illuminance	Fc	0.86	3.7	0.2	4.30 18.50
Ped Parcel 3 Top	Illuminance	Fc	0.59	1.1	0.2	2.95 5.50
Ped Parcel 4 Top	Illuminance	Fc	0.66	3.1	0.2	3.30 15.50
Ped Parcel 5 Top	Illuminance	Fc	0.63	3.8	0.2	3.15 19.00
Ped Parcel 6 7 8 Top	Illuminance	Fc	0.84	3.4	0.2	4.20 17.00
Ped Parcel A Top	Illuminance	Fc	0.70	2.7	0.2	3.50 11.00
Ped Parcel Willow Road West Top	Illuminance	Fc	0.89	3.6	0.2	4.45 18.00
Road Center Main Top	Illuminance	Fc	0.73	1.7	0.2	3.65 8.50
Road Center St Top	Illuminance	Fc	0.92	2.9	0.3	2.73 9.67
Road Hamilton Avenue Top	Illuminance	Fc	0.75	1.6	0.2	3.75 9.00
road Main St A 1 Top	Illuminance	Fc	0.87	2.5	0.4	2.18 6.25
Road Main St B Top	Illuminance	Fc	0.89	2.6	0.2	4.45 13.00
Road Main St C Top	Illuminance	Fc	0.95	3.0	0.4	2.38 7.50
Road Main St D Top	Illuminance	Fc	1.13	3.3	0.2	5.65 16.50
Road Park St A Top	Illuminance	Fc	0.75	1.7	0.3	2.50 5.67
Road Park St B Top	Illuminance	Fc	0.61	1.5	0.3	2.03 5.00
Road Park St C Top	Illuminance	Fc	0.68	1.7	0.2	2.40 6.50
Tunnel Top	Illuminance	Fc	0.75	1.6	0.2	3.75 8.00
West St A Top	Illuminance	Fc	0.89	3.5	0.2	4.45 17.50
West St B Top	Illuminance	Fc	0.84	1.8	0.3	2.80 6.00
West St C Top	Illuminance	Fc	0.74	2.3	0.2	3.70 11.50
Willow Road Top	Illuminance	Fc	1.36	4.6	0.2	6.80 23.00

0.5 FC 1.6 FC

PLAN NOT TO SCALE

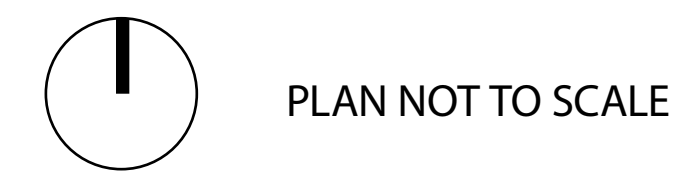


Calculation Summary						
Scene: Types						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Bike Path 2 Top	Illuminance	FC	1.64	5.8	0.2	8.20
Bike Path new Top	Illuminance	FC	1.23	4.4	0.2	6.15
Bike Path North Loop Top	Illuminance	FC	0.92	1.7	0.1	9.20
Dog Park 1 Top	Illuminance	FC	1.78	4.3	0.1	17.80
East Loop Road B Top	Illuminance	FC	0.77	2.0	0.2	3.85
East Loop Road Top	Illuminance	FC	0.66	1.9	0.2	3.30
Int Center Park Top	Illuminance	FC	2.41	4.7	0.6	4.02
Int Center West Top	Illuminance	FC	2.97	4.8	0.7	4.24
Int East Loop Main Top	Illuminance	FC	1.72	5.7	0.2	8.60
Int East Loop Top	Illuminance	FC	2.67	4.9	0.5	5.34
Int Main B Main C Top	Illuminance	FC	2.60	5.1	0.6	4.33
Int Main West Top	Illuminance	FC	2.63	4.8	0.7	3.76
Int Park Main Top	Illuminance	FC	2.19	4.8	0.2	10.95
Int Park Parc5 Top	Illuminance	FC	3.13	4.9	1.0	3.13
Int Willow road Main St A Top	Illuminance	FC	2.03	5.0	0.3	6.77
Multi-use Pathway 2 Top	Illuminance	FC	0.57	3.3	0.2	2.85
Mullaus Pathway 1 Top	Illuminance	FC	0.51	1.4	0.1	5.10
North Loop Road Top	Illuminance	FC	1.08	2.7	0.2	5.40
O'Brien Drive East Top	Illuminance	FC	0.84	4.6	0.2	4.20
O'Brien Drive West Top	Illuminance	FC	1.11	4.6	0.2	5.55
Ped Parcel 1 Top	Illuminance	FC	0.72	2.4	0.2	3.60
Ped Parcel 2 Top	Illuminance	FC	0.86	3.7	0.2	4.30
Ped Parcel 3 Top	Illuminance	FC	0.59	1.1	0.2	2.95
Ped Parcel 4 Top	Illuminance	FC	0.66	3.1	0.2	3.30
Ped Parcel 5 Top	Illuminance	FC	0.63	3.8	0.2	3.15
Ped Parcel 6 7 8 Top	Illuminance	FC	0.84	3.4	0.2	4.20
Ped Parcel A Top	Illuminance	FC	0.70	2.2	0.2	3.50
Ped Parcel Willow Road West Top	Illuminance	FC	0.89	3.6	0.2	4.45
Road Center Main Top	Illuminance	FC	0.73	1.7	0.2	3.65
Road Center St Top	Illuminance	FC	0.82	2.9	0.3	2.73
Road Hamilton Avenue Top	Illuminance	FC	0.75	1.6	0.2	3.75
Road Main St A 1 Top	Illuminance	FC	0.87	2.5	0.4	2.18
Road Main St B Top	Illuminance	FC	0.89	2.6	0.2	4.45
Road Main St C Top	Illuminance	FC	0.95	3.0	0.4	2.38
Road Main St D Top	Illuminance	FC	1.13	3.3	0.2	5.65
Road Park St A Top	Illuminance	FC	0.75	1.7	0.3	2.50
Road Park St B Top	Illuminance	FC	0.61	1.5	0.3	2.03
Road Park St C Top	Illuminance	FC	0.68	1.7	0.2	3.40
Tunnel Top	Illuminance	FC	0.75	1.6	0.2	3.75
West St A Top	Illuminance	FC	0.89	3.5	0.2	4.45
West St B Top	Illuminance	FC	0.84	1.8	0.3	2.80
West St C Top	Illuminance	FC	0.74	2.3	0.2	3.70
Willow Road Top	Illuminance	FC	1.36	4.6	0.2	6.80

PLAN NOT TO SCALE



Calculation Summary						
Scene: Lypes						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Bike Path 2 Top	Illuminance	Fc	1.64	5.8	0.2	8.20
Bike Path new Top	Illuminance	Fc	1.23	4.4	0.2	6.15
Bike Path North Loop Top	Illuminance	Fc	0.92	1.7	0.1	9.20
Dog Park 1 Top	Illuminance	Fc	1.78	4.3	0.1	17.80
East Loop Road B Top	Illuminance	Fc	0.77	2.0	0.2	3.85
East Loop Road Top	Illuminance	Fc	0.66	1.9	0.2	3.30
Int Center Park Top	Illuminance	Fc	2.41	4.7	0.6	4.02
Int Center West Top	Illuminance	Fc	2.97	4.8	0.7	4.24
Int East Loop Main Top	Illuminance	Fc	1.72	3.7	0.2	8.60
Int East Loop Top	Illuminance	Fc	2.67	4.9	0.5	5.34
Int Main B Main C Top	Illuminance	Fc	2.60	5.1	0.6	4.33
Int Main West Top	Illuminance	Fc	2.63	4.8	0.7	3.76
Int Park Main Top	Illuminance	Fc	2.19	4.8	0.2	10.95
Int Park Parc5 Top	Illuminance	Fc	3.13	4.9	1.0	3.13
Int Willow road Main St A Top	Illuminance	Fc	2.03	5.0	0.3	6.77
Multi-use Pathway 2 Top	Illuminance	Fc	0.57	3.3	0.2	2.85
Multilane Pathway 1 Top	Illuminance	Fc	0.51	1.4	0.1	5.10
North Loop Road Top	Illuminance	Fc	1.08	2.7	0.2	5.40
O Brien Drive East Top	Illuminance	Fc	0.84	4.6	0.2	4.20
O Brien Drive West Top	Illuminance	Fc	1.11	4.6	0.2	5.55
Ped Parcel 1 Top	Illuminance	Fc	0.72	2.4	0.2	3.60
Ped Parcel 2 Top	Illuminance	Fc	0.86	3.7	0.2	4.30
Ped Parcel 3 Top	Illuminance	Fc	0.59	1.1	0.2	2.95
Ped Parcel 4 Top	Illuminance	Fc	0.66	3.1	0.2	3.30
Ped Parcel 5 Top	Illuminance	Fc	0.63	3.8	0.2	3.15
Ped Parcel 6 7 8 Top	Illuminance	Fc	0.84	3.4	0.2	4.20
Ped Parcel A Top	Illuminance	Fc	0.70	2.2	0.2	3.50
Ped Parcel Willow Road West Top	Illuminance	Fc	0.89	3.6	0.2	4.45
Road Center Main Top	Illuminance	Fc	0.73	1.7	0.2	3.65
Road Center St Top	Illuminance	Fc	0.82	2.9	0.3	2.73
Road Hamilton Avenue Top	Illuminance	Fc	0.75	1.6	0.2	3.75
Road Main St A 1 Top	Illuminance	Fc	0.87	2.5	0.4	2.18
Road Main St B Top	Illuminance	Fc	0.89	2.6	0.2	4.45
Road Main St C Top	Illuminance	Fc	0.95	3.0	0.4	2.38
Road Main St D Top	Illuminance	Fc	1.13	3.1	0.2	5.65
Road Park St A Top	Illuminance	Fc	0.75	1.7	0.3	2.50
Road Park St B Top	Illuminance	Fc	0.61	1.5	0.3	2.03
Road Park St C Top	Illuminance	Fc	0.68	1.7	0.2	3.40
Tunnel Top	Illuminance	Fc	0.75	1.6	0.2	3.75
West St A Top	Illuminance	Fc	0.89	3.5	0.2	4.45
West St B Top	Illuminance	Fc	0.84	1.8	0.3	2.80
West St C Top	Illuminance	Fc	0.74	2.3	0.2	3.70
Willow Road Top	Illuminance	Fc	1.36	4.6	0.2	6.80



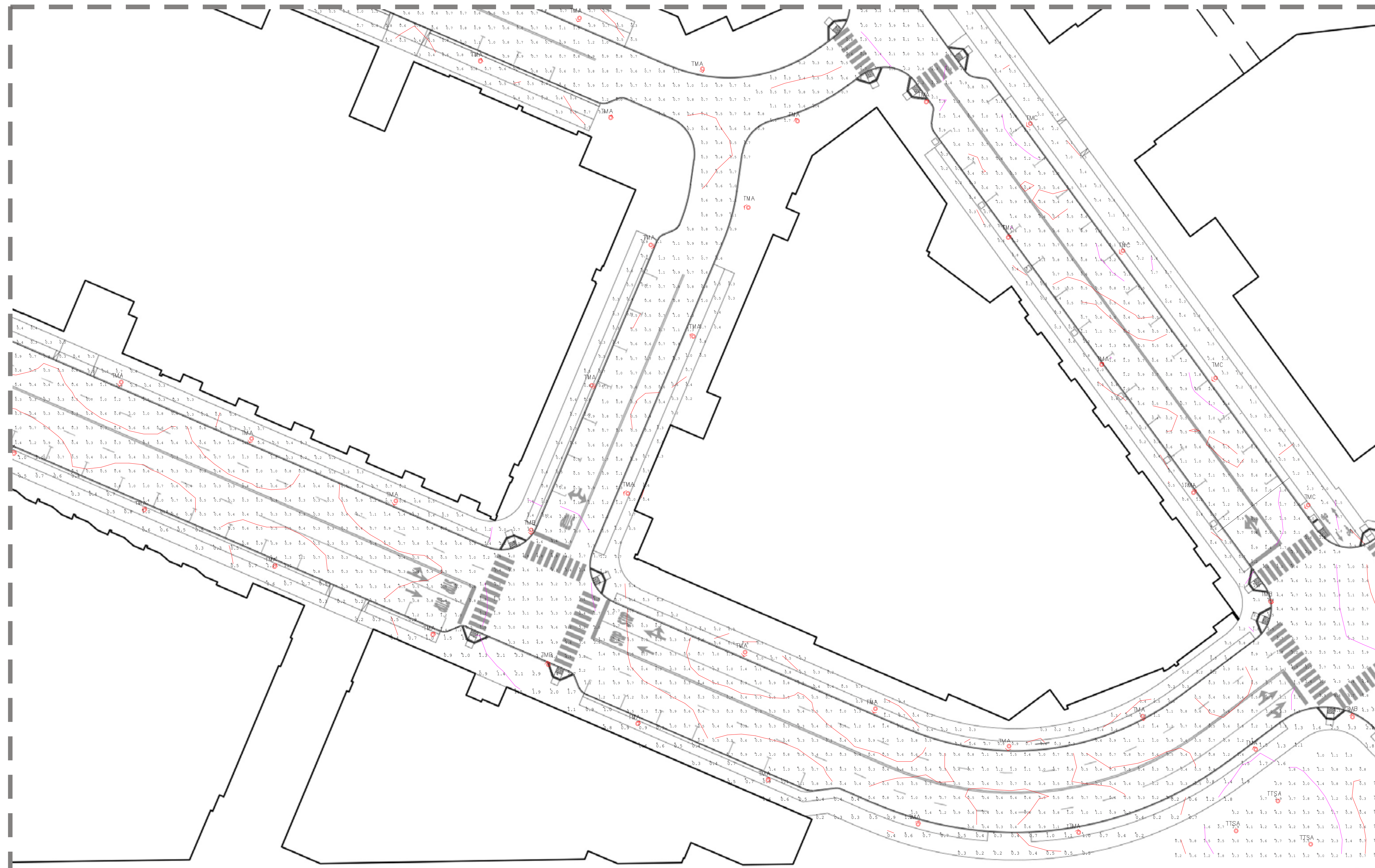
0.5 FC 1.6 FC



Calculation Summary						
Scene: Lypes						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Bike Path 2_Top	Illuminance	Fc	1.64	5.8	0.2	8.20
Bike Path new_Top	Illuminance	Fc	1.23	4.4	0.2	6.15
Bike Path North Loop_Top	Illuminance	Fc	0.92	1.7	0.1	9.20
Dog Park 1_Top	Illuminance	Fc	1.78	4.3	0.1	17.80
East Loop Road B_Top	Illuminance	Fc	0.77	2.0	0.2	3.85
East Loop Road_Top	Illuminance	Fc	0.66	1.5	0.2	3.30
Int Center Park_Top	Illuminance	Fc	2.41	4.7	0.6	4.02
Int Center West_Top	Illuminance	Fc	2.97	4.8	0.7	4.24
Int East Loop Main_Top	Illuminance	Fc	1.72	5.7	0.2	8.60
Int East Loop_Top	Illuminance	Fc	2.67	4.9	0.5	5.34
Int Main B Main C_Top	Illuminance	Fc	2.60	5.1	0.6	4.33
Int Main West_Top	Illuminance	Fc	2.63	4.8	0.7	3.76
Int Park Main_Top	Illuminance	Fc	2.19	4.8	0.2	10.95
Int Park Parc5_Top	Illuminance	Fc	3.13	4.9	1.0	3.13
Int Willow road Main St A_Top	Illuminance	Fc	2.03	5.0	0.3	6.77
Multi-use Pathway 2_Top	Illuminance	Fc	0.57	3.3	0.2	2.85
Multiuse Pathway 1_Top	Illuminance	Fc	0.51	1.4	0.1	5.10
North Loop Road_Top	Illuminance	Fc	1.08	2.7	0.2	5.40
O Brien Drive East_Top	Illuminance	Fc	0.84	4.6	0.2	4.20
O Brien Drive West_Top	Illuminance	Fc	1.11	4.6	0.2	5.55
Ped Parcel 1_Top	Illuminance	Fc	0.72	2.4	0.2	3.60
Ped Parcel 2_Top	Illuminance	Fc	0.86	3.7	0.2	4.30
Ped Parcel 3_Top	Illuminance	Fc	0.59	1.1	0.2	2.95
Ped Parcel 4_Top	Illuminance	Fc	0.66	3.1	0.2	3.30
Ped Parcel 5_Top	Illuminance	Fc	0.63	3.8	0.2	3.15
Ped Parcel 6 7 8_Top	Illuminance	Fc	0.84	3.4	0.2	4.20
Ped Parcel A_Top	Illuminance	Fc	0.70	2.2	0.2	3.50
Ped Parcel Willow Road West_Top	Illuminance	Fc	0.89	3.6	0.2	4.45
Road Center Main_Top	Illuminance	Fc	0.73	1.7	0.2	3.65
Road Center St_Top	Illuminance	Fc	0.82	2.9	0.3	2.73
Road Hamilton Avenue_Top	Illuminance	Fc	0.75	1.6	0.2	3.75
road Main St A 1_Top	Illuminance	Fc	0.87	2.5	0.4	2.18
Road Main St B_Top	Illuminance	Fc	0.89	2.6	0.2	4.45
Road Main St C_Top	Illuminance	Fc	0.95	3.0	0.4	2.38
Road Main St D_Top	Illuminance	Fc	1.13	3.3	0.2	5.65
Road Park St A_Top	Illuminance	Fc	0.75	1.7	0.3	2.50
Road Park St B_Top	Illuminance	Fc	0.61	1.5	0.3	2.03
Road Park St C_Top	Illuminance	Fc	0.68	1.7	0.2	3.40
Tunnel_Top	Illuminance	Fc	0.75	1.6	0.2	3.75
West St A_Top	Illuminance	Fc	0.89	3.5	0.2	4.45
West St B_Top	Illuminance	Fc	0.84	1.8	0.3	2.80
West St C_Top	Illuminance	Fc	0.74	2.3	0.2	3.70
Willow Road_Top	Illuminance	Fc	1.36	4.6	0.2	6.80

PLAN NOT TO SCALE

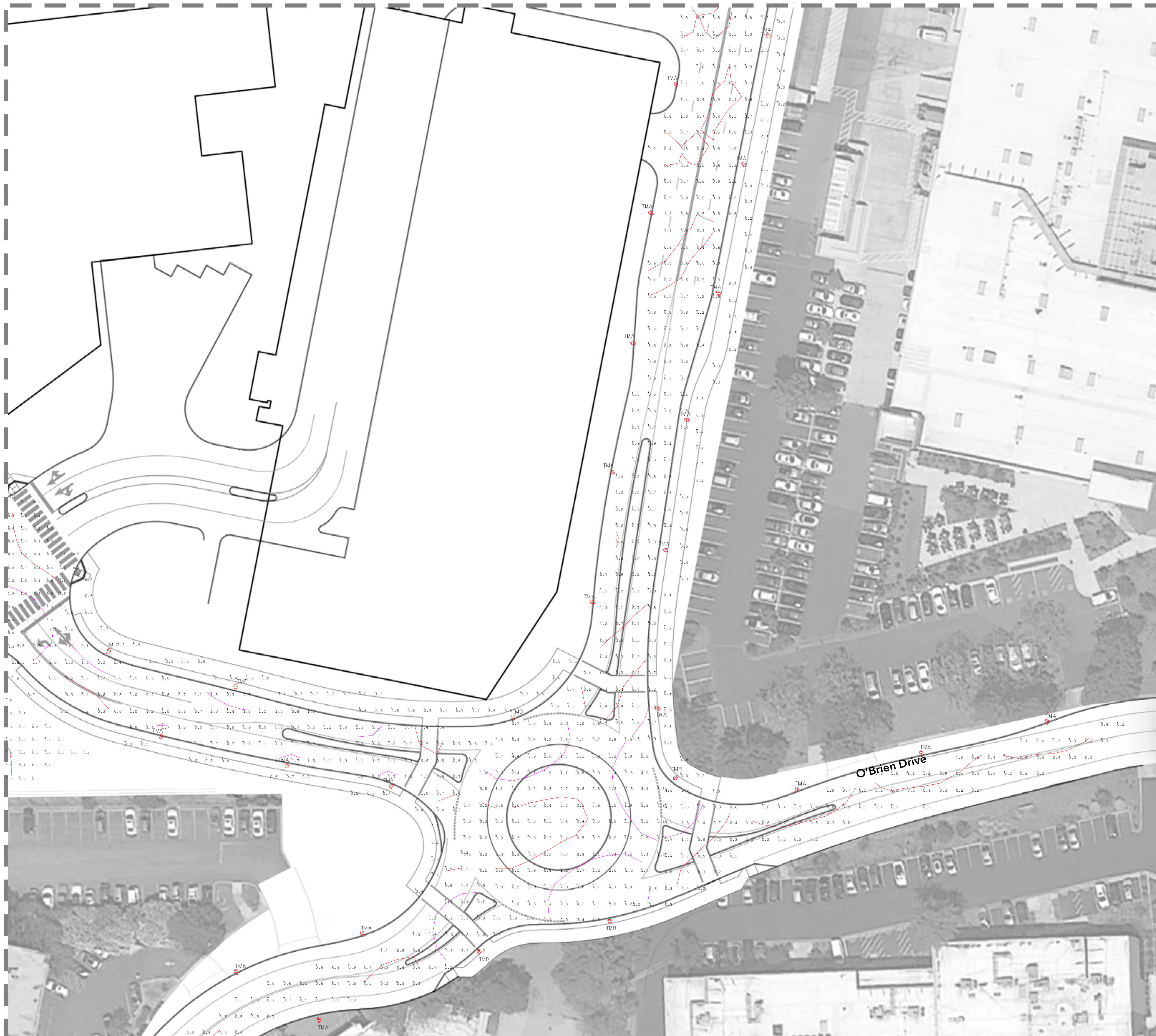
0.5 FC 1.6 FC



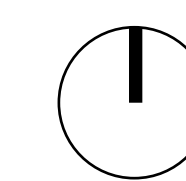
Calculation Summary						
Scene: Types						
Label	CalcType	Units	Avg	Max	Min	Avg/Min Max/Min
Bike Path 2 Top	Illuminance	FC	1.64	5.8	0.2	8.20 29.00
Bike Path new Top	Illuminance	FC	1.23	4.4	0.2	6.15 22.00
Bike Path North Loop Top	Illuminance	FC	0.92	1.7	0.1	9.20 17.00
Dog Park 1 Top	Illuminance	FC	1.78	4.3	0.1	17.80 43.00
East Loop Road B Top	Illuminance	FC	0.77	2.0	0.2	3.85 10.00
East Loop Road Top	Illuminance	FC	0.66	1.9	0.2	3.30 7.50
Int Center Park Top	Illuminance	FC	2.41	4.7	0.6	4.02 7.83
Int Center West Top	Illuminance	FC	2.97	4.8	0.7	4.24 6.86
Int East Loop Main Top	Illuminance	FC	1.72	5.7	0.2	8.60 28.50
Int East Loop Top	Illuminance	FC	2.67	4.9	0.5	5.34 9.80
Int Main B Main C Top	Illuminance	FC	2.60	5.1	0.6	4.33 8.50
Int Main West Top	Illuminance	FC	2.63	4.8	0.7	3.76 6.86
Int Park Main Top	Illuminance	FC	2.19	4.8	0.2	10.95 24.00
Int Park Parc5 Top	Illuminance	FC	3.13	4.9	1.0	3.13 4.90
Int Willow road Main St A Top	Illuminance	FC	2.03	5.0	0.3	6.77 16.67
Multi-use Pathway 2 Top	Illuminance	FC	0.57	3.3	0.2	2.85 16.50
Multilane Pathway 1 Top	Illuminance	FC	0.51	1.4	0.1	5.10 14.00
North Loop Road Top	Illuminance	FC	1.08	2.7	0.2	5.40 13.50
O Brien Drive East Top	Illuminance	FC	0.84	4.6	0.2	4.20 23.00
O Brien Drive West Top	Illuminance	FC	1.11	4.6	0.2	5.55 23.00
Ped Parcel 1 Top	Illuminance	FC	0.72	2.4	0.2	3.60 12.00
Ped Parcel 2 Top	Illuminance	FC	0.86	3.7	0.2	4.30 18.50
Ped Parcel 3 Top	Illuminance	FC	0.59	1.1	0.2	2.95 5.50
Ped Parcel 4 Top	Illuminance	FC	0.66	3.1	0.2	3.30 15.50
Ped Parcel 5 Top	Illuminance	FC	0.63	3.8	0.2	3.15 19.00
Ped Parcel 6 7 8 Top	Illuminance	FC	0.84	3.4	0.2	4.20 17.00
Ped Parcel A Top	Illuminance	FC	0.70	2.2	0.2	3.50 11.00
Ped Parcel Willow Road West Top	Illuminance	FC	0.89	3.6	0.2	4.45 18.00
Road Center Main Top	Illuminance	FC	0.73	1.7	0.2	3.65 8.50
Road Center St Top	Illuminance	FC	0.82	2.9	0.3	2.73 9.67
Road Hamilton Avenue Top	Illuminance	FC	0.75	1.6	0.2	3.75 8.00
Road Main St A 1 Top	Illuminance	FC	0.87	2.5	0.4	2.18 6.25
Road Main St B Top	Illuminance	FC	0.89	2.6	0.2	4.45 13.00
Road Main St C Top	Illuminance	FC	0.95	3.0	0.4	2.38 7.50
Road Main St D Top	Illuminance	FC	1.13	3.1	0.2	5.65 16.50
Road Park St A Top	Illuminance	FC	0.75	1.7	0.3	2.50 5.67
Road Park St B Top	Illuminance	FC	0.61	1.5	0.3	2.03 5.00
Road Park St C Top	Illuminance	FC	0.68	1.7	0.2	3.40 8.50
Tunnel Top	Illuminance	FC	0.75	1.6	0.2	3.75 8.00
West St A Top	Illuminance	FC	0.89	3.5	0.2	4.45 17.50
West St B Top	Illuminance	FC	0.84	1.8	0.3	2.80 6.00
West St C Top	Illuminance	FC	0.74	2.3	0.2	3.70 11.50
Willow Road Top	Illuminance	FC	1.36	4.6	0.2	6.80 23.00

PLAN NOT TO SCALE

0.5 FC 1.6 FC



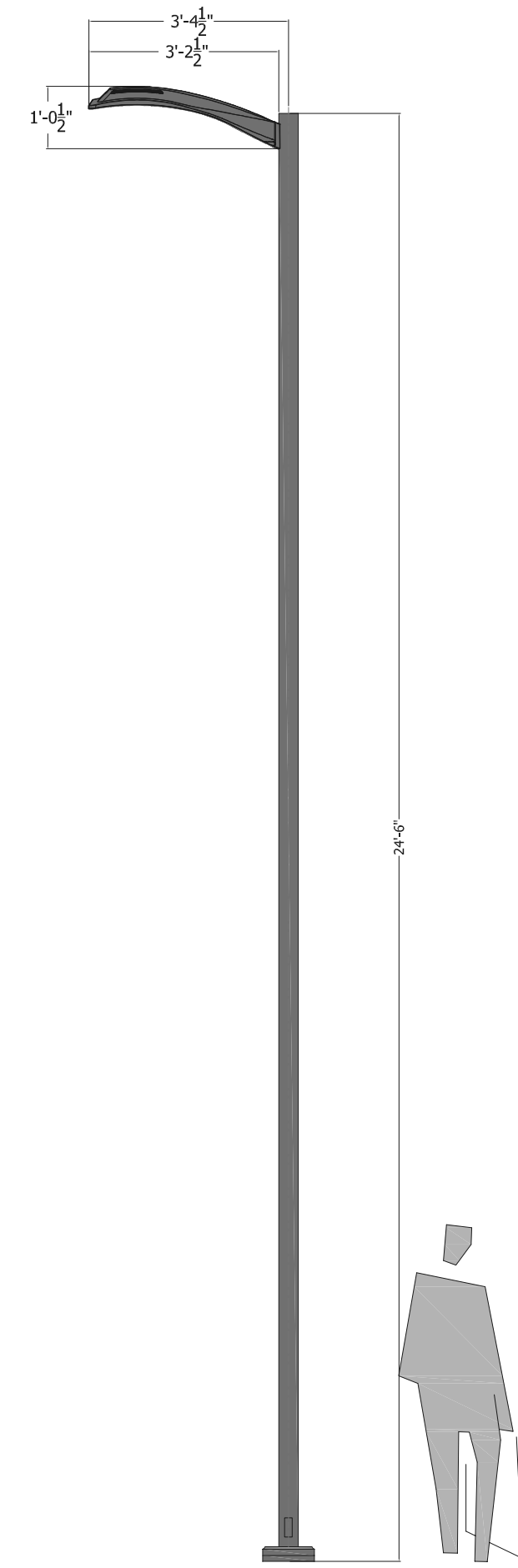
Calculation Summary						
Scene: Types						
Label	CalcType	Units	Avg	Max	Min	Avg/Min Max/Min
Bike Path 2_Top	Illuminance	Fc	1.64	5.8	0.2	8.20 29.00
Bike Path new_Top	Illuminance	Fc	1.23	4.4	0.2	6.15 22.00
Bike Path North Loop_Top	Illuminance	Fc	0.92	1.7	0.1	9.20 17.00
Dog Park 1_Top	Illuminance	Fc	1.78	4.3	0.1	17.80 43.00
East Loop Road B_Top	Illuminance	Fc	0.77	2.0	0.2	3.85 10.00
East Loop Road_Top	Illuminance	Fc	0.66	1.5	0.2	3.30 7.50
Int Center Park_Top	Illuminance	Fc	2.41	4.7	0.6	4.02 7.83
Int Center West_Top	Illuminance	Fc	2.97	4.8	0.7	4.24 6.86
Int East Loop Main_Top	Illuminance	Fc	1.72	5.7	0.2	8.60 28.50
Int East Loop_Top	Illuminance	Fc	2.67	4.9	0.5	5.34 9.80
Int Main B Main C_Top	Illuminance	Fc	2.60	5.1	0.6	4.33 8.50
Int Main West_Top	Illuminance	Fc	2.63	4.8	0.7	3.76 6.86
Int Park Main_Top	Illuminance	Fc	2.19	4.8	0.2	10.95 24.00
Int Park Parc5_Top	Illuminance	Fc	3.13	4.9	1.0	3.13 4.90
Int Willow road Main St A_Top	Illuminance	Fc	2.03	5.0	0.3	6.77 16.67
Multi-use Pathway 2_Top	Illuminance	Fc	0.57	3.3	0.2	2.85 16.50
Multiuse Pathway 1_Top	Illuminance	Fc	0.51	1.4	0.1	5.10 14.00
North Loop Road_Top	Illuminance	Fc	1.08	2.7	0.2	5.40 13.50
O'Brien Drive East_Top	Illuminance	Fc	0.84	4.6	0.2	4.20 23.00
O'Brien Drive West_Top	Illuminance	Fc	1.11	4.6	0.2	5.55 23.00
Ped Parcel 1_Top	Illuminance	Fc	0.72	2.4	0.2	3.60 12.00
Ped Parcel 2_Top	Illuminance	Fc	0.86	3.7	0.2	4.30 18.50
Ped Parcel 3_Top	Illuminance	Fc	0.59	1.1	0.2	2.95 5.50
Ped Parcel 4_Top	Illuminance	Fc	0.66	3.1	0.2	3.30 15.50
Ped Parcel 5_Top	Illuminance	Fc	0.63	3.8	0.2	3.15 19.00
Ped Parcel 6 7 8_Top	Illuminance	Fc	0.84	3.4	0.2	4.20 17.00
Ped Parcel A_Top	Illuminance	Fc	0.70	2.2	0.2	3.50 11.00
Ped Parcel Willow Road West_Top	Illuminance	Fc	0.89	3.6	0.2	4.45 18.00
Road Center Main_Top	Illuminance	Fc	0.73	1.7	0.2	3.65 8.50
Road Center St_Top	Illuminance	Fc	0.82	2.9	0.3	2.73 9.67
Road Hamilton Avenue_Top	Illuminance	Fc	0.75	1.6	0.2	3.75 8.00
Road Main St A 1_Top	Illuminance	Fc	0.87	2.5	0.4	2.18 6.25
Road Main St B_Top	Illuminance	Fc	0.89	2.6	0.2	4.45 13.00
Road Main St C_Top	Illuminance	Fc	0.95	3.0	0.4	2.38 7.50
Road Main St D_Top	Illuminance	Fc	1.13	3.3	0.2	5.65 16.50
Road Park St A_Top	Illuminance	Fc	0.75	1.7	0.3	2.50 5.67
Road Park St B_Top	Illuminance	Fc	0.61	1.5	0.3	2.03 5.00
Road Park St C_Top	Illuminance	Fc	0.68	1.7	0.2	3.40 8.50
Tunnel_Top	Illuminance	Fc	0.75	1.6	0.2	3.75 8.00
West St A_Top	Illuminance	Fc	0.89	3.5	0.2	4.45 17.50
West St B_Top	Illuminance	Fc	0.84	1.8	0.3	2.80 6.00
West St C_Top	Illuminance	Fc	0.74	2.3	0.2	3.70 11.50
Willow Road_Top	Illuminance	Fc	1.36	4.6	0.2	6.80 23.00



PLAN NOT TO SCALE

0.5 FC 1.6 FC

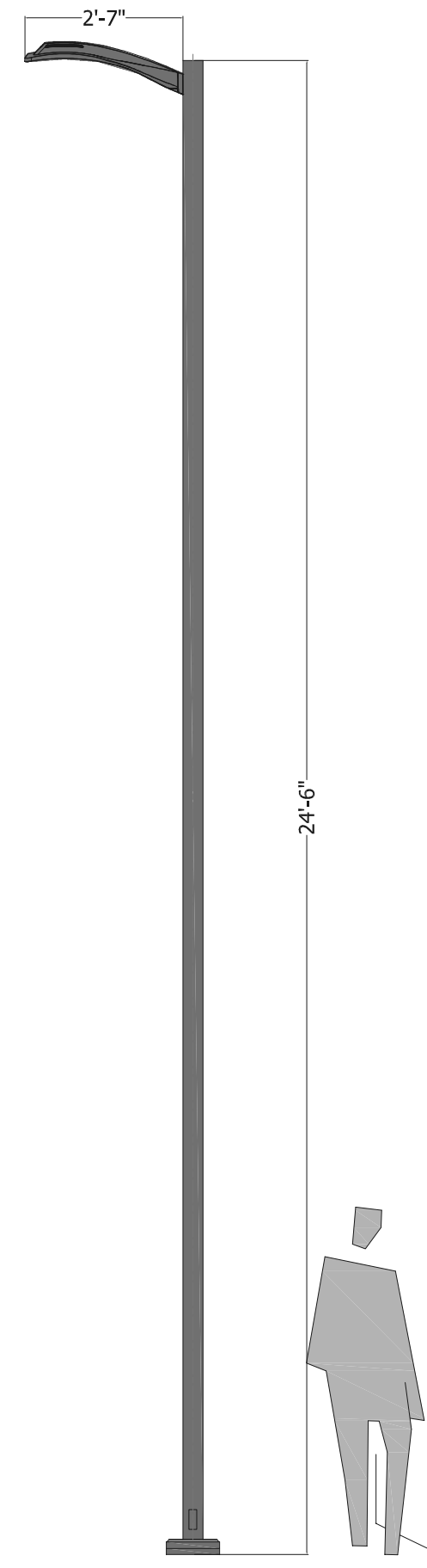
STERNBERG MILLENIA PROPOSED TYPOLOGIES



Type TMB- ML730 - At intersection

STREET COMPONENT

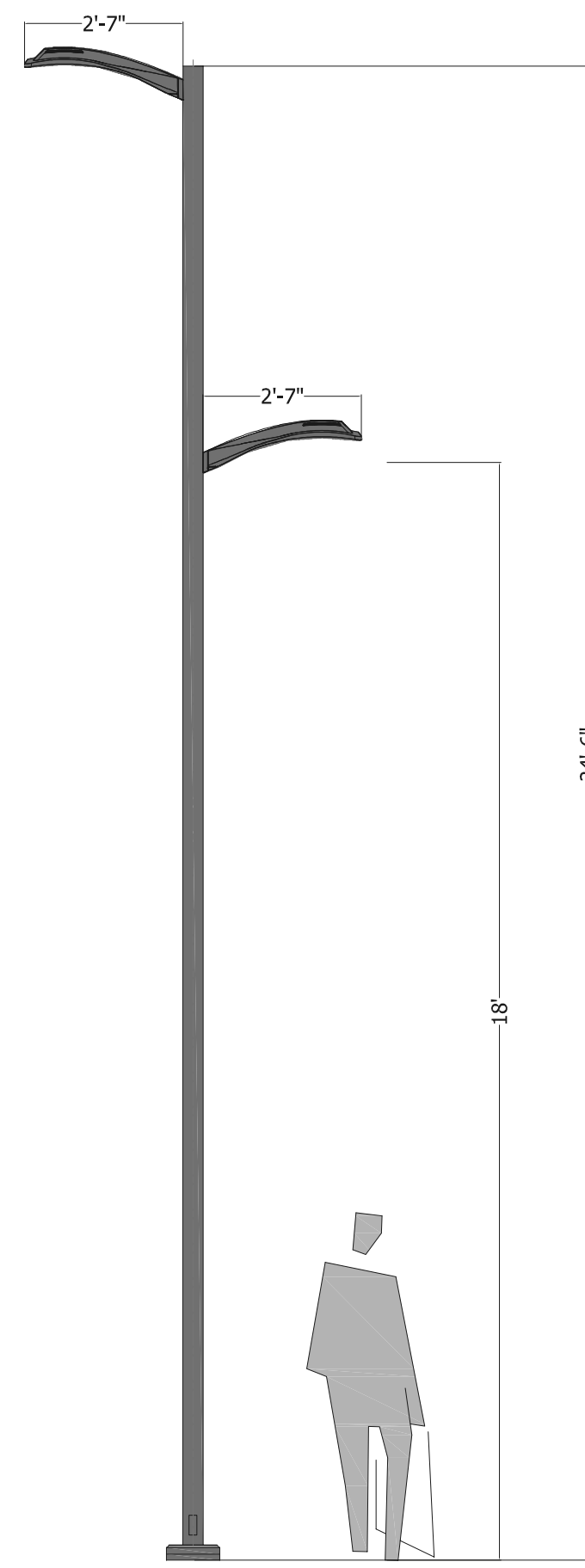
Fixture ordering code : Sternberg Millenia- ML730-32L30T4-MDL018-SV1
Pole height : 25'
Fixture head size : 12"Hx20.5"Wx38"L
Wattage : 154w
Lumen package : 16,560 lm
Number of LEDs : 32L
Distribution : T4
Lens : SV1: (Flat Soft Vue Light Difused Acrylic)
Color Temperature : 3,000K
Driver : MDL018
Pole Finish : Black



Type TMA - ML630 - Typical streets

STREET COMPONENT

Fixture ordering code : Sternberg Millenia- ML630-12L30T2-MDL018-SV1
Pole height : 18'
Fixture head size : 9"Hx16"Wx30"L
Wattage : 27 W
Lumen package : 2,990 lm
Number of LEDs : 12L
Distribution : T2
Lens : SV1: (Flat Soft Vue Light Difused Acrylic)
Color Temperature : 3,000K
Driver : MDL018
Pole Finish : Black



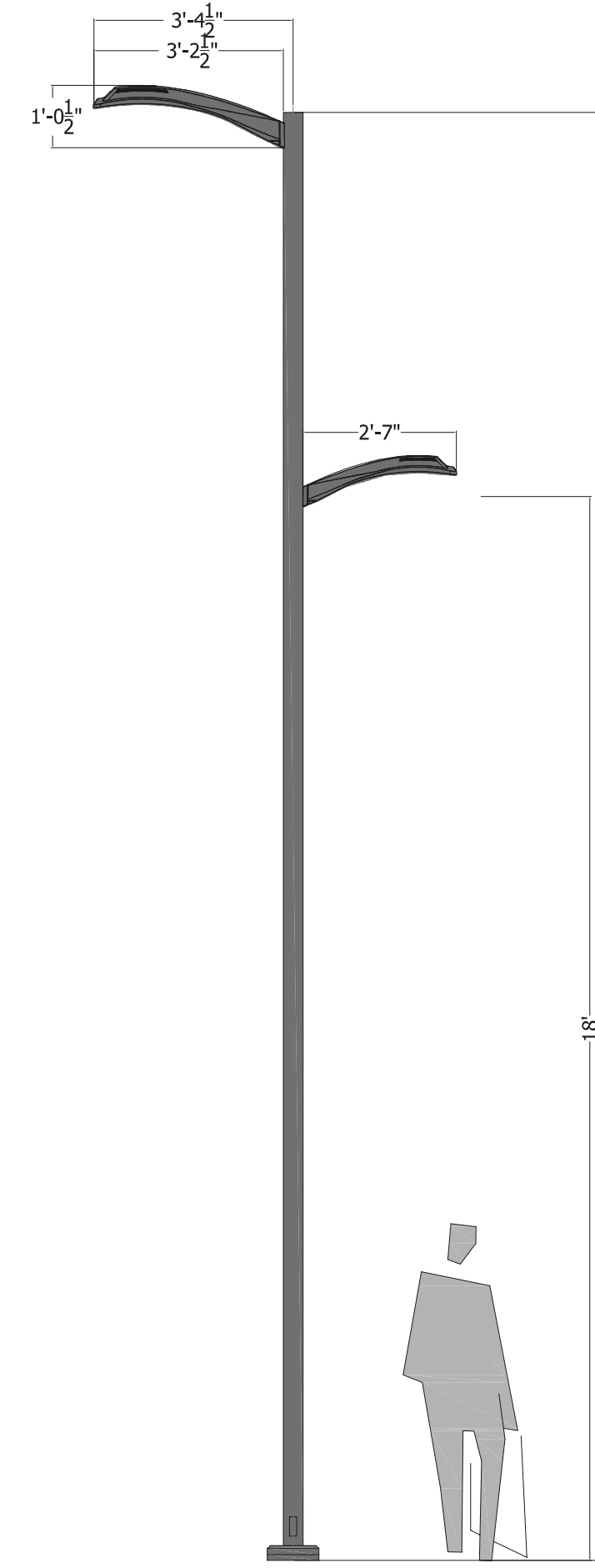
Type TMC - ML630 - Main street + ML630 - pedestrian on Main street

STREET COMPONENT (Type TMA)

Fixture ordering code : Sternberg Millenia- ML730-32L30T4-MDL018-SV1
Pole height : 25'
Fixture head size : 12"Hx20.5"Wx38"L
Wattage : 154w
Lumen package : 16,560 lm
Number of LEDs : 32L
Distribution : T4
Lens : SV1: (Flat Soft Vue Light Difused Acrylic)
Color Temperature : 3,000K
Driver : MDL018
Pole Finish : Black

PEDESTRIAN COMPONENT (Type TMA)

Fixture ordering code : Sternberg Millenia- ML630-12L30T2-MDL018-SV1
Pole height : 18'
Fixture head size : 9"Hx16"Wx30"L
Wattage : 27 W
Lumen package : 2,990 lm
Number of LEDs : 12L
Distribution : T2
Lens : SV1: (Flat Soft Vue Light Difused Acrylic)
Color Temperature : 3,000K
Driver : MDL018
Pole Color : Black



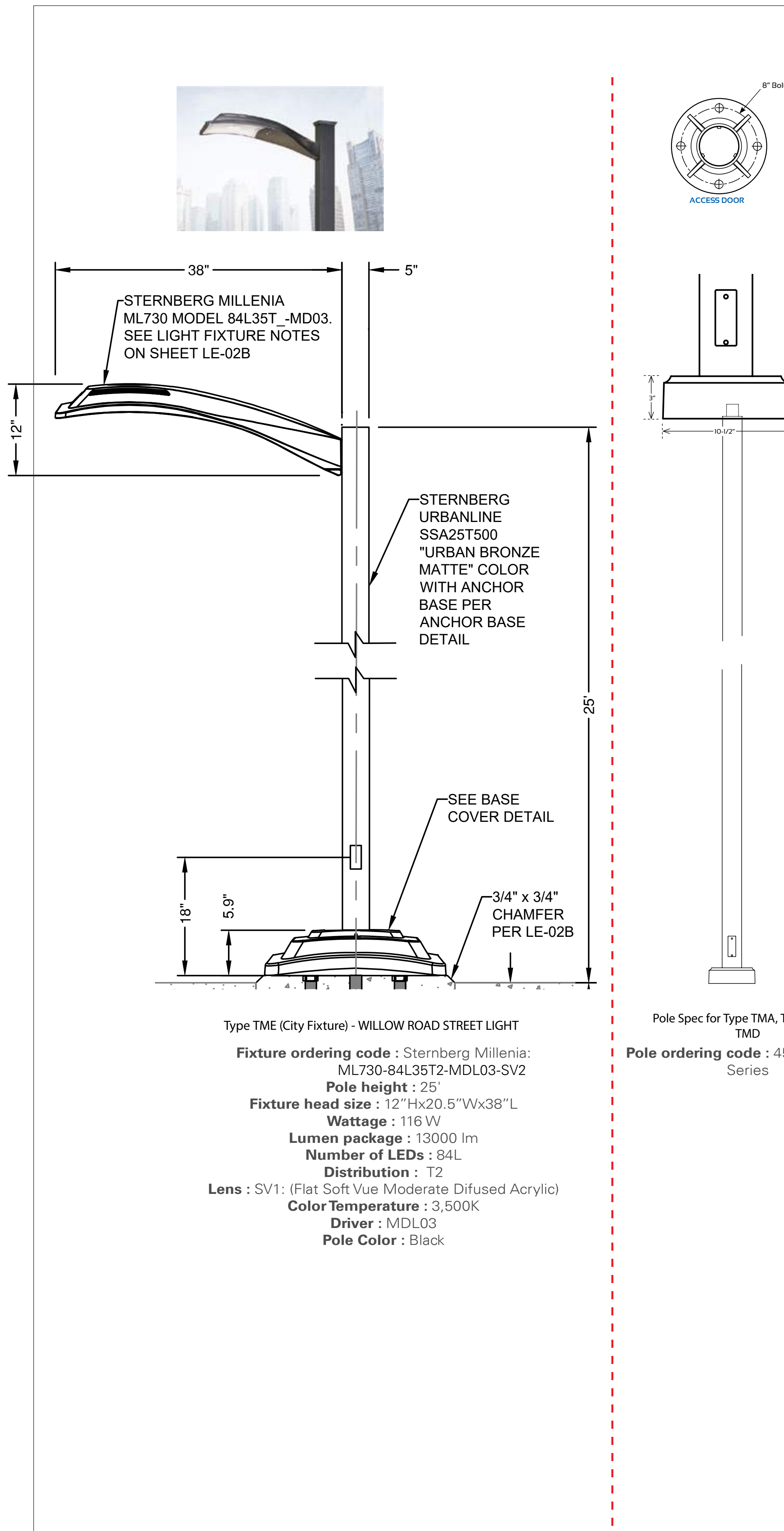
Type TMD - ML730 - At intersection + ML630 - pedestrian on Intersection

STREET COMPONENT (Type TMB)

Fixture ordering code : Sternberg Millenia- ML730-32L30T4-MDL018-SV1
Pole height : 25'
Fixture head size : 12"Hx20.5"Wx38"L
Wattage : 154w
Lumen package : 16,560 lm
Number of LEDs : 32L
Distribution : T4
Lens : SV1: (Flat Soft Vue Light Difused Acrylic)
Color Temperature : 3,000K
Driver : MDL018
Pole Finish : Black

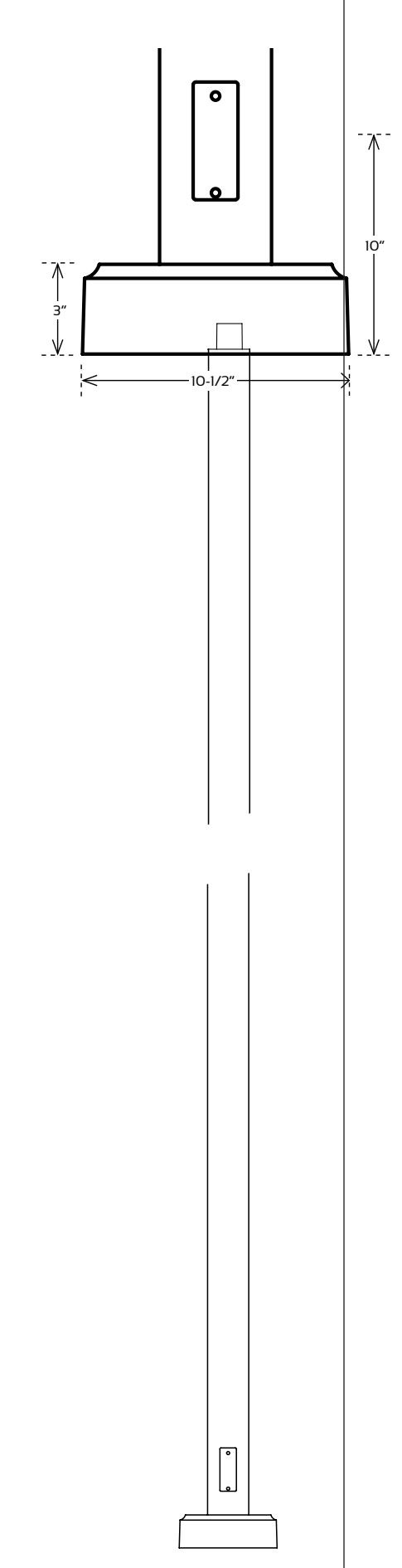
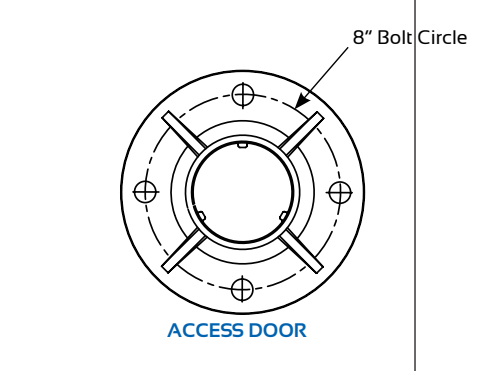
PEDESTRIAN COMPONENT (Type TMA)

Fixture ordering code : Sternberg Millenia- ML630-12L30T2-MDL018-SV1
Pole height : 18'
Fixture head size : 9"Hx16"Wx30"L
Wattage : 27 W
Lumen package : 2,990 lm
Number of LEDs : 12L
Distribution : T2
Lens : SV1: (Flat Soft Vue Light Difused Acrylic)
Color Temperature : 3,000K
Driver : MDL018
Pole Color : Black



Type TME (City Fixture) - WILLOW ROAD STREET LIGHT

Fixture ordering code : Sternberg Millenia: ML730-84L35T2-MDL03-SV2
Pole height : 25'
Fixture head size : 12"Hx20.5"Wx38"L
Wattage : 116 W
Lumen package : 13000 lm
Number of LEDs : 84L
Distribution : T2
Lens : SV1: (Flat Soft Vue Moderate Difused Acrylic)
Color Temperature : 3,500K
Driver : MDL03
Pole Color : Black

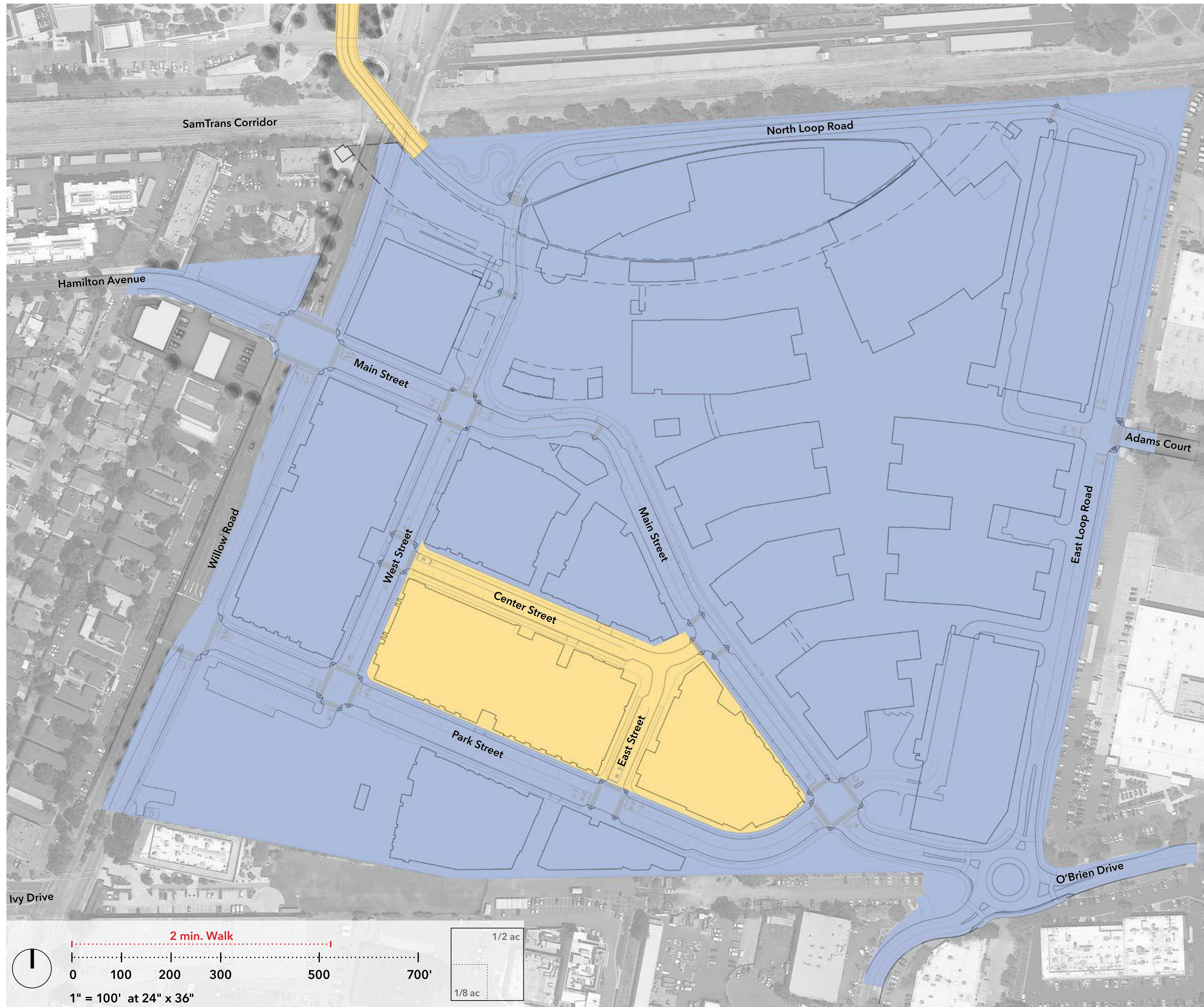


Pole Spec for Type TMA, TMB, TMC & TMD
Pole ordering code : 450 Lexington Series

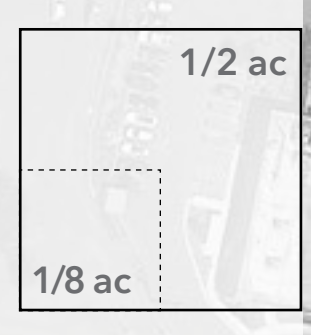


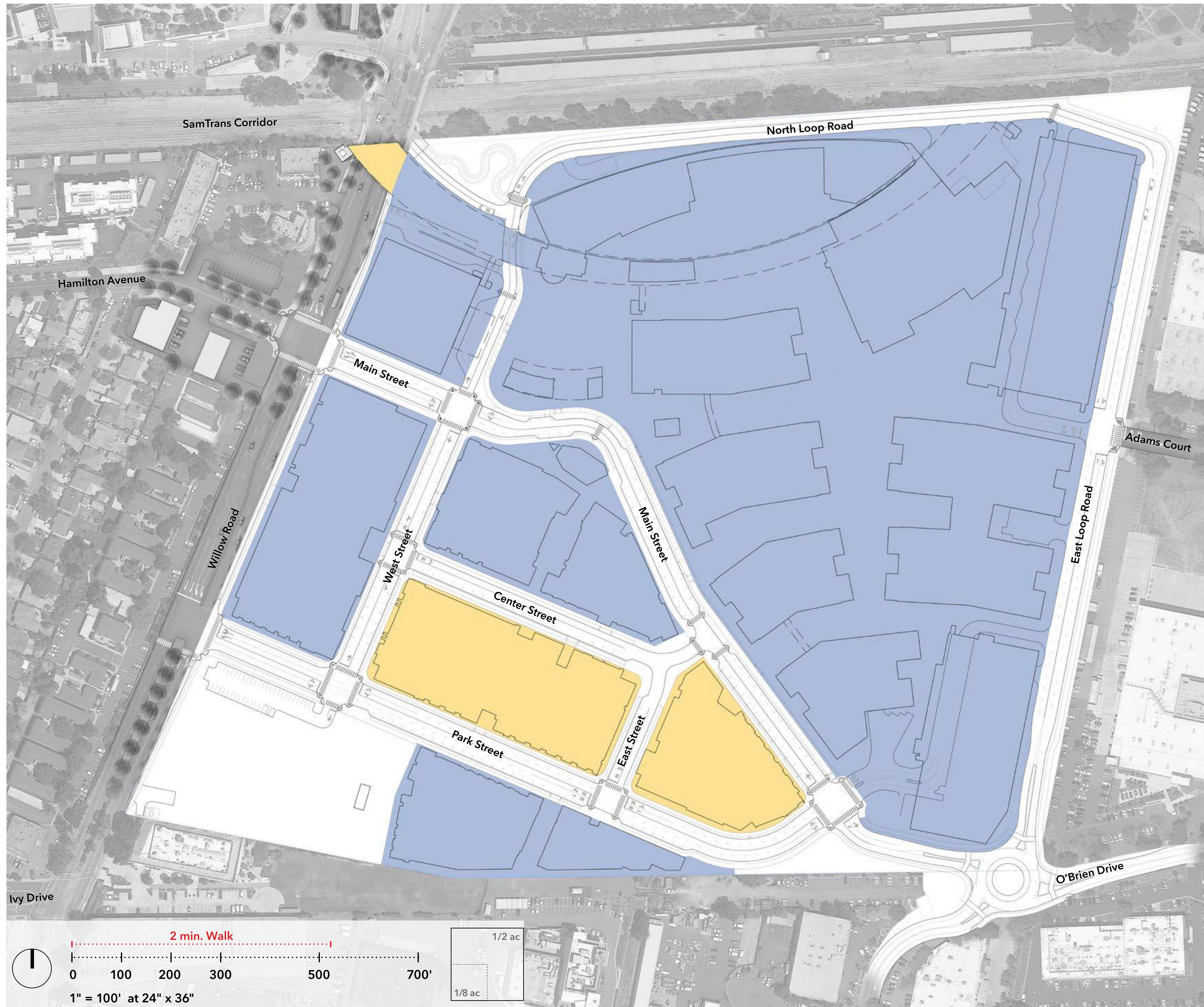
Type TTSA- NORTH WEST STREET LIGHT

Fixture ordering code : Selux : Exelia Gen5 LED
Pole height : 12'
Wattage : 66 W
Lumen package : 5962 lm
Distribution : Asymmetric
Color Temperature : 3,000K

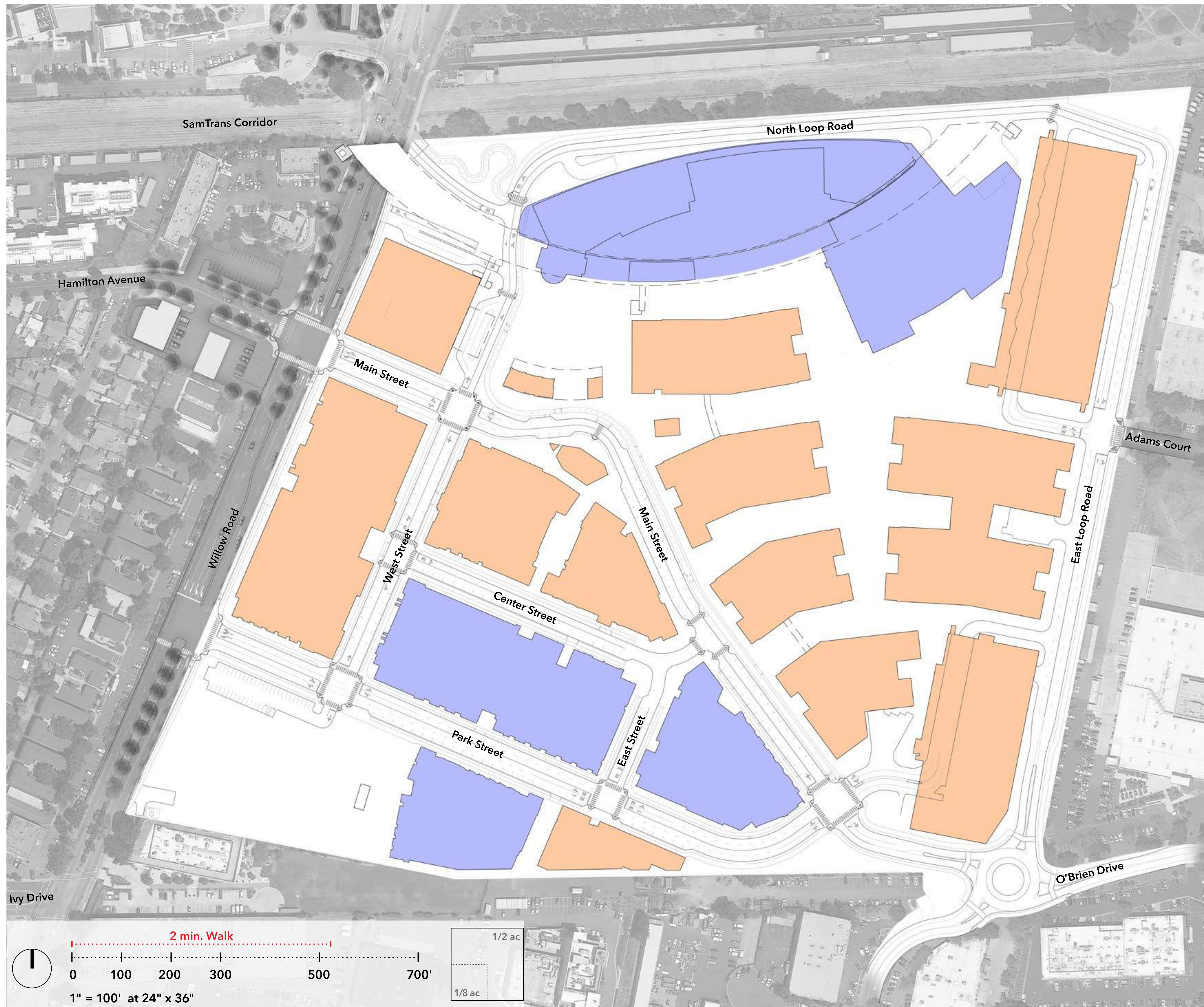


LEGEND	
	Phase 1
	Phase 2






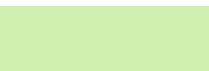


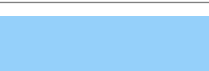
ILLUSTRATIVE VERTICAL CONSTRUCTION PHASING SUMMARY AS DEPICTED				
	Office (sf)	Retail (sf)	Hotel (sf)	Residential Units
Phase 1	1,585,176	200,000	149,776	1,044
Phase 2	-	-	-	686
Total	1,585,176	Up to 200,000	149,776	1,730



LEGEND	
	2025
	2026

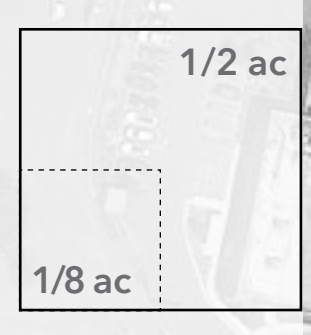


LEGEND

	Publicly Accessible Open Space*
	At-Grade Quasi-Publicly Accessible Open Space**
	Above-Grade Quasi-Publicly Accessible Open Space**
	Publicly Accessible Public R.O.W.
	Publicly Accessible Private R.O.W.

Note: All areas above will be owned and maintained by the Property Owner's Association.

* Generally accessible daily.
 ** Publicly accessible but subject to limiting public access for various events.





LEGEND	
	Open Space (Publicly Accessible)
	Elevated Open Space (Publicly Accessible)
	At-grade Open Space (No Public Access)*
	Above-grade Open Space (No Public Access)**

* Includes covered open space.
 ** Includes above-grade open space such as, roof and podium level decks, terraces, balconies, gardens, etc.

ILLUSTRATIVE OPEN SPACE AS DEPICTED: PHASE 1*		
Land Use	Open Space	Publicly Accessible
R - MU	313,234 sf	175,047 sf
O	540,117 sf	209,980 sf
Total	853,351 sf	385,027 sf

* Refer to Appendix 3 for illustrative parcel-by-parcel details.




LEGEND	
	At-grade Open Space (No Public Access)*
	Above-grade Open Space (No Public Access)**

* Includes covered open space.
 ** Includes above-grade open space such as, roof and podium level decks, terraces, balconies, gardens, etc.

ILLUSTRATIVE OPEN SPACE AS DEPICTED: PHASE 2*		
Land Use	Open Space	Publicly Accessible
R - MU	87,208 sf	-
O	-	-
Total	87,208 sf	-

* Refer to Appendix 3 for parcel-by-parcel details.



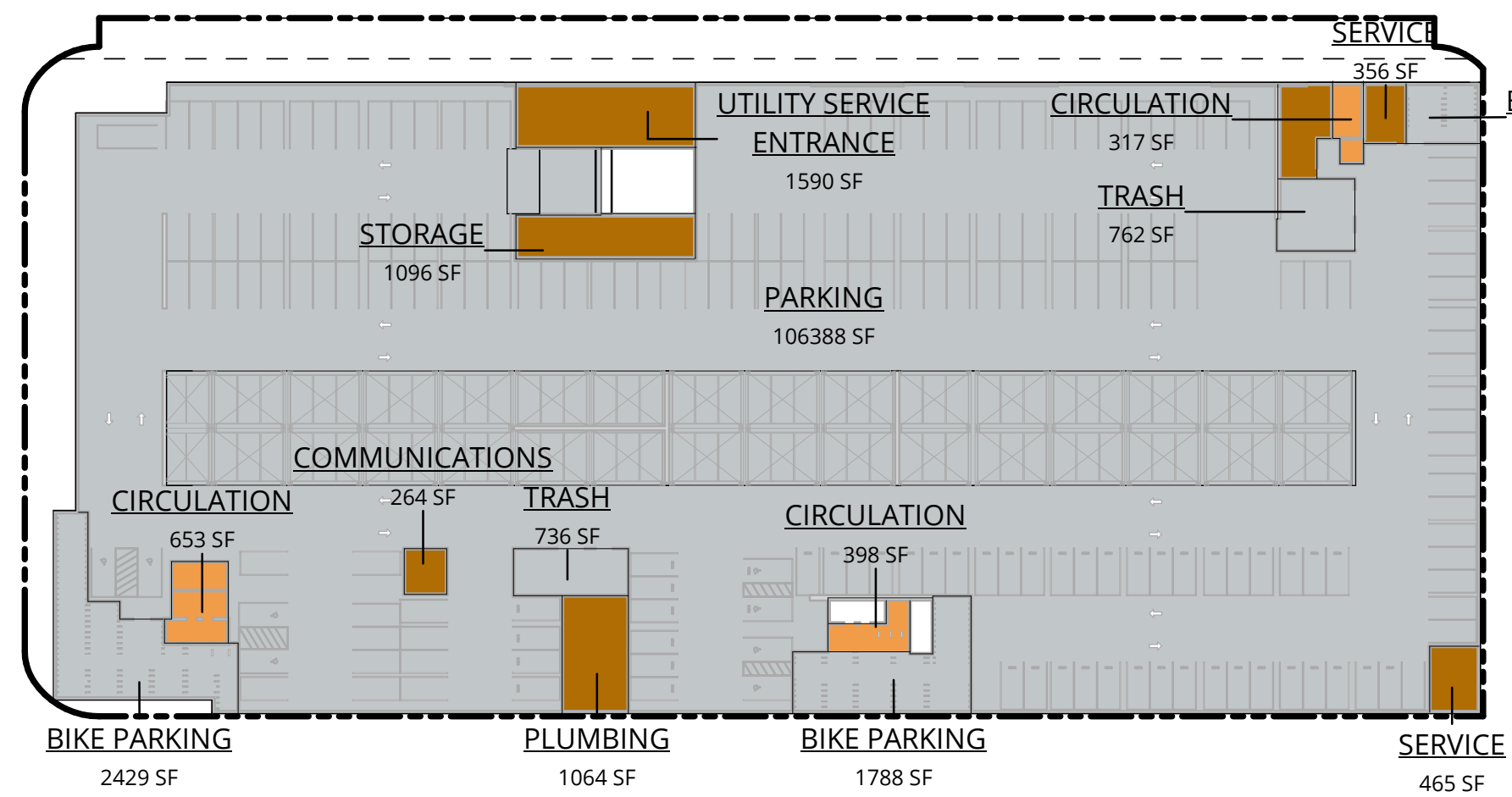
LEGEND			
	Emergency Generator		

EMERGENCY GENERATOR SUMMARY			
Use	Location	Quantity	Generator Size
Hotel	TS1	1	600KW / 750KVA
Accessory/Convention	NG	2	(2) 750KW / 1,000KVA
Office	SG	2	(2) 1,750KW / 2,188KVA
	RS2	1	1,000 KW
	RS3	1	750 KW
	RS4	1	500 KW
	RS5	1	500 KW
	RS6	1	250 KW
	RS7	1	150 KW
West Bay District Sanitary Pump Station	Publicly Accessible Park	1	500 KW
Off-Site Retail	Hamilton Avenue Parcel North	1	150 KW

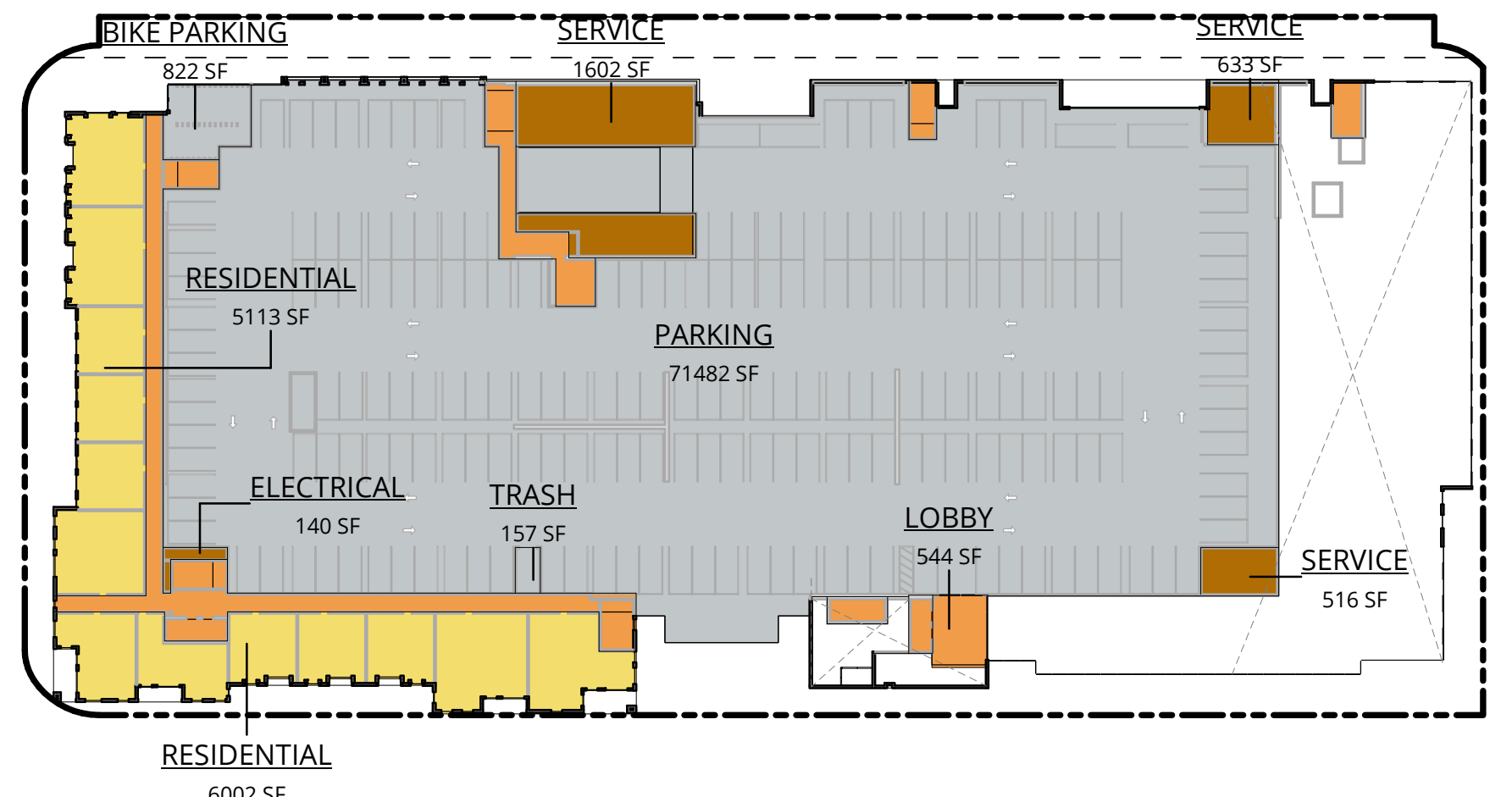
Note: Generators will be located in the the basement or ground floor level. Specific locations will be provided with architectural review plans.

APPENDIX 1

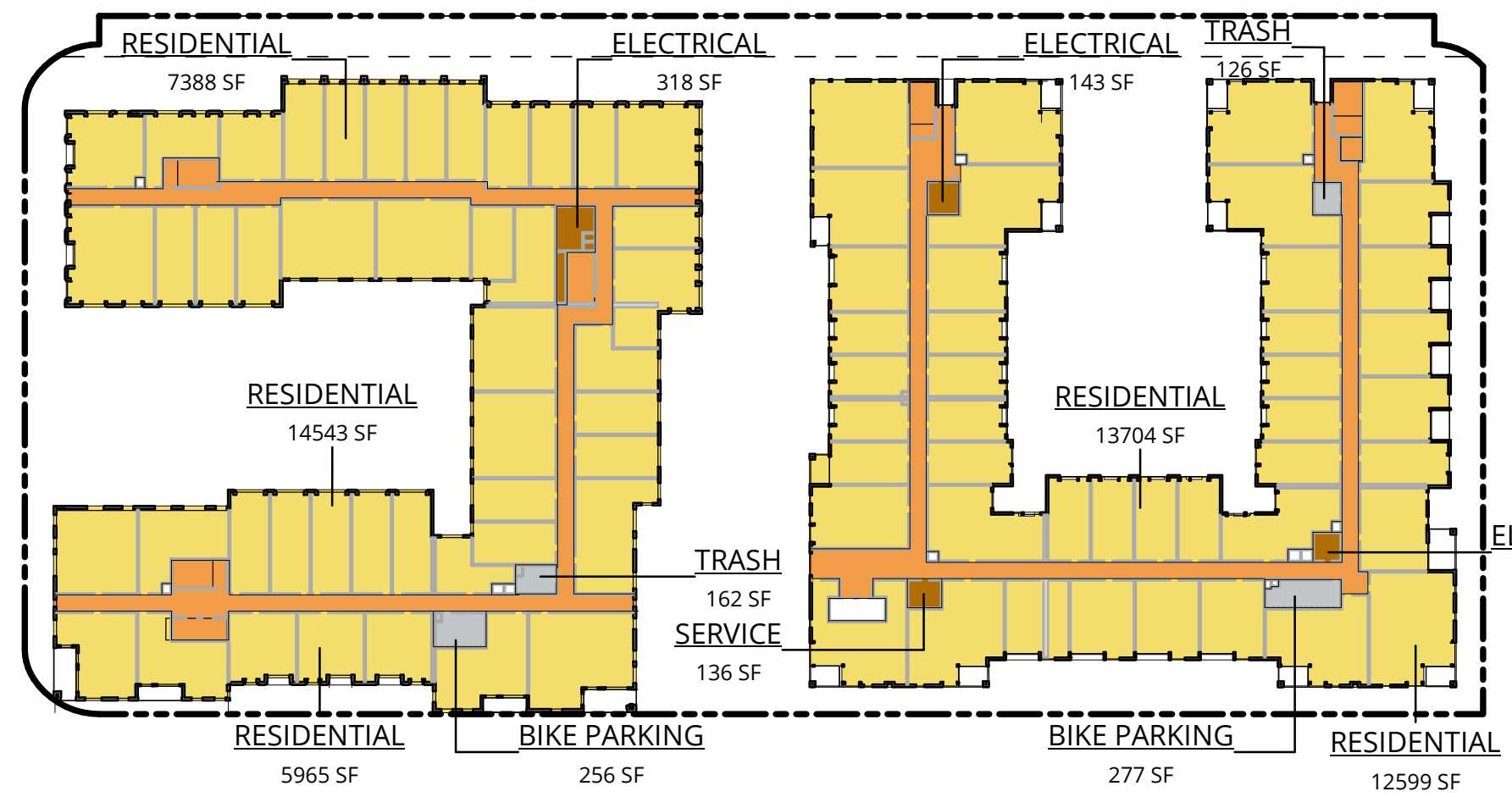
PARCEL 1-8
ILLUSTRATIVE GFA



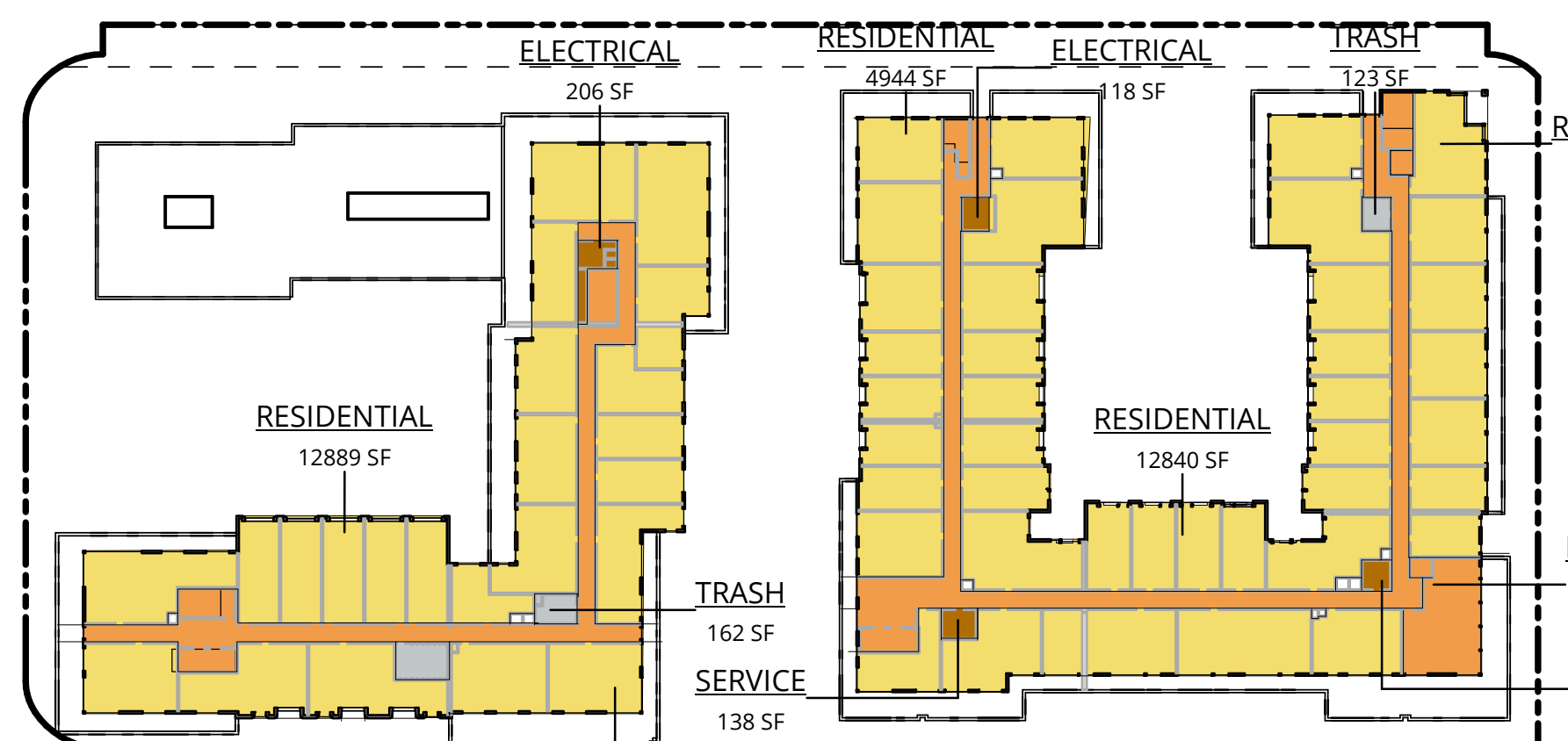
P1 GFA - LEVEL P1
1" = 60'-0"



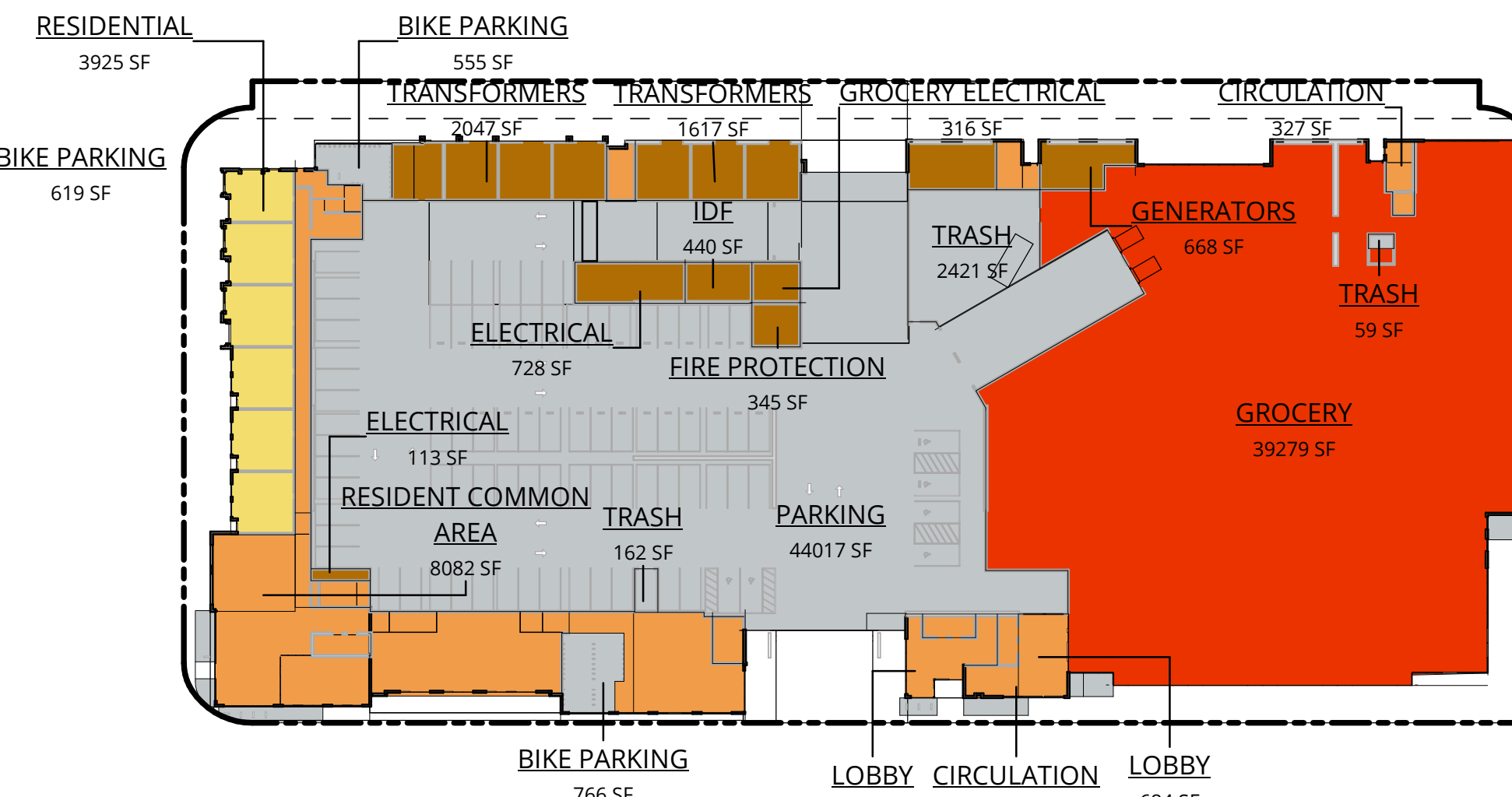
2 GFA - LEVEL 2
1" = 60'-0"



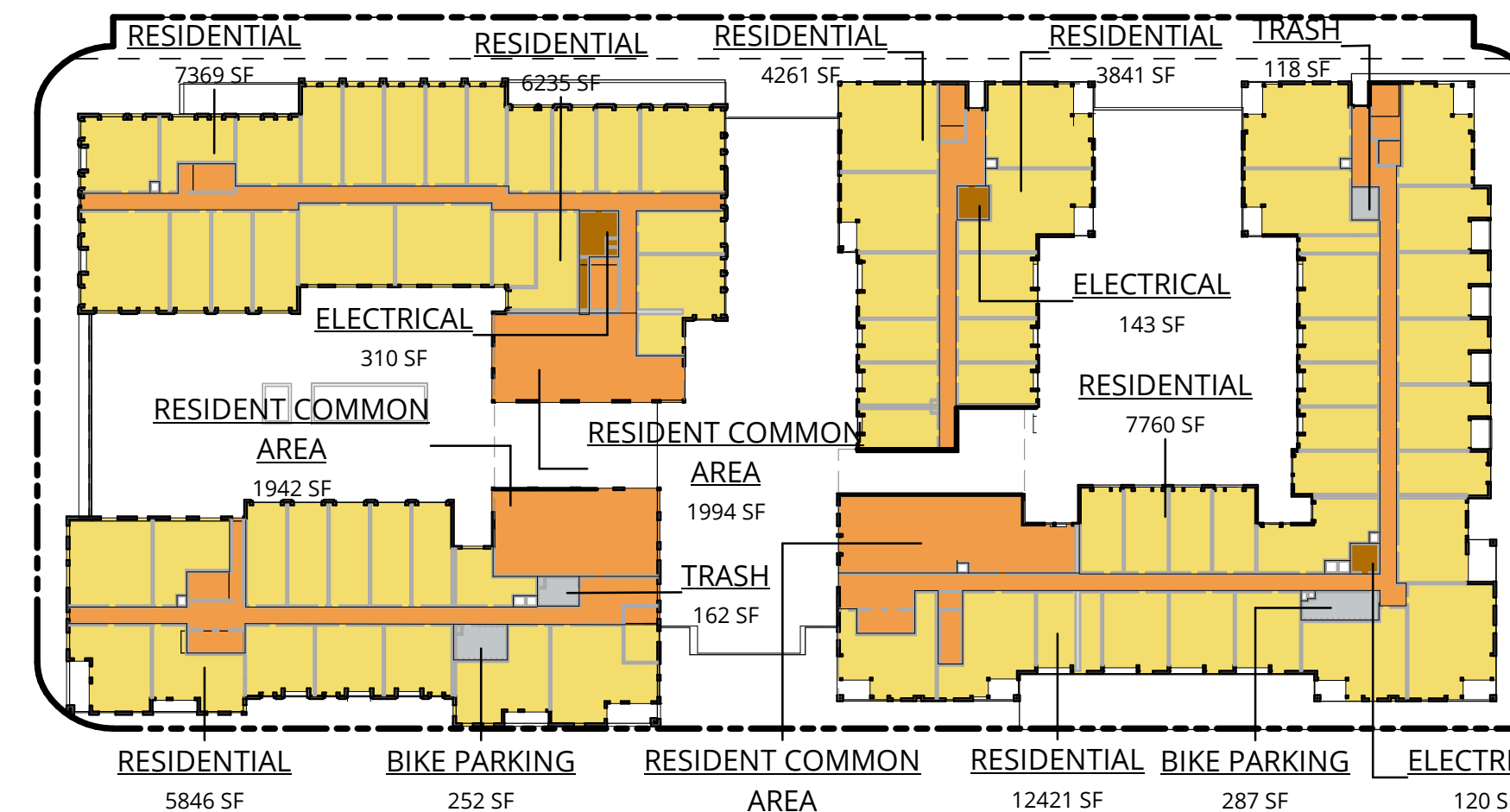
4 GFA - LEVEL 4
1" = 60'-0"



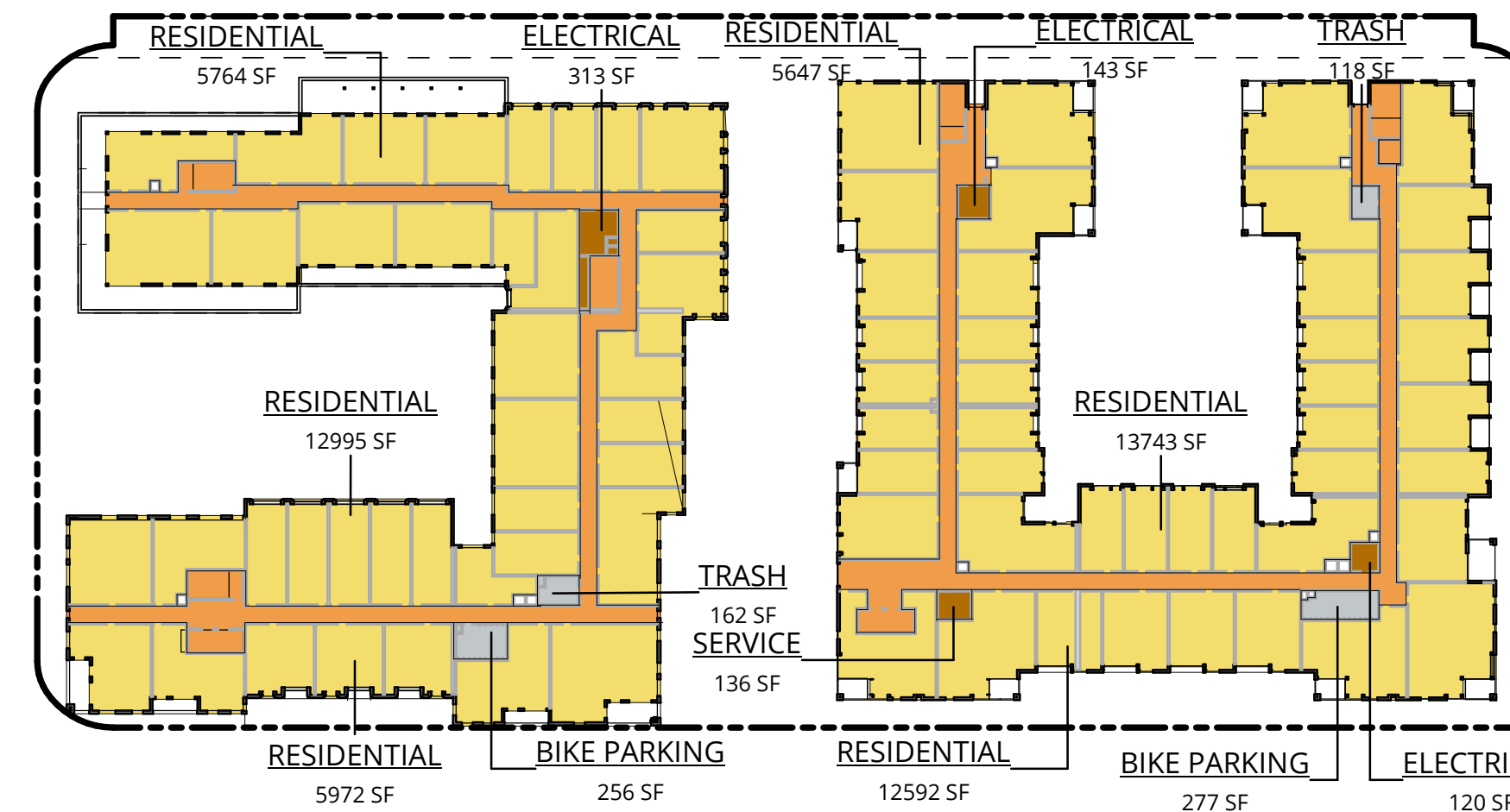
6 GFA - LEVEL 6
1" = 60'-0"



1 GFA - LEVEL 1
1" = 60'-0"



3 GFA - LEVEL 3
1" = 60'-0"



5 GFA - LEVEL 5
1" = 60'-0"

GROSS FLOOR AREA	
Name	AREA

EXCLUDED FROM GFA PER ZONING CODE

LEVEL P1	
BIKE PARKING	4,837 SF
PARKING	106,388 SF
TRASH	1,497 SF
TOTAL	112,722 SF

LEVEL 1	
BIKE PARKING	1,322 SF
PARKING	45,176 SF
TRANSFORMERS	3,665 SF
TRASH	2,642 SF
TOTAL	52,804 SF

LEVEL 2	
BIKE PARKING	822 SF
PARKING	71,482 SF
TRASH	157 SF
TOTAL	72,461 SF

LEVEL 3	
BIKE PARKING	539 SF
TRASH	280 SF
VENT SHAFT	187 SF
TOTAL	1,006 SF

LEVEL 4	
BIKE PARKING	533 SF
TRASH	288 SF
VENT SHAFT	189 SF
TOTAL	1,011 SF

LEVEL 5	
BIKE PARKING	533 SF
TRASH	280 SF
VENT SHAFT	189 SF
TOTAL	1,002 SF

LEVEL 6	
BIKE PARKING	257 SF
TRASH	285 SF
VENT SHAFT	170 SF
TOTAL	712 SF

EXCLUDED FROM GFA PER ZONING CODE 241,719 SF

LEGEND

- RESIDENTIAL
- RETAIL
- CIRCULATION / LOBBY / COMMON AREA
- UTILITY / SERVICE
- EXCLUDED FROM GFA

GROSS FLOOR AREA	
Name	AREA

INCLUDED IN GFA PER ZONING CODE

RETAIL	
LEVEL 1	
GROCERY	39,279 SF
GROCERY ELECTRICAL	316 SF
TOTAL	39,595 SF

RETAIL 39,595 SF

RESIDENTIAL	
LEVEL P1	
CIRCULATION	1,368 SF
COMMUNICATIONS	264 SF
PLUMBING	1,064 SF
SERVICE	1,455 SF
STORAGE	1,096 SF
UTILITY SERVICE ENTRANCE	1,590 SF
TOTAL	6,838 SF

LEVEL 1	
CIRCULATION	3,654 SF
ELECTRICAL	841 SF
FIRE PROTECTION	345 SF
GENERATORS	668 SF
IDF	440 SF
LOBBY	1,465 SF
RESIDENT COMMON AREA	8,082 SF
RESIDENTIAL	3,925 SF
SERVICE	729 SF
TOTAL	20,149 SF

LEVEL 2	
CIRCULATION	5,415 SF
ELECTRICAL	140 SF
LOBBY	544 SF
RESIDENTIAL	11,115 SF
SERVICE	3,656 SF
TOTAL	20,871 SF

LEVEL 3	
CIRCULATION	8,971 SF
ELECTRICAL	573 SF
RESIDENT COMMON AREA	6,176 SF
RESIDENTIAL	54,263 SF
TOTAL	69,983 SF

LEVEL 4	
CIRCULATION	9,187 SF
ELECTRICAL	580 SF
RESIDENTIAL	64,210 SF
SERVICE	136 SF
TOTAL	74,114 SF

LEVEL 5	
CIRCULATION	9,308 SF
ELECTRICAL	576 SF
RESIDENTIAL	60,995 SF
SERVICE	136 SF
TOTAL	71,015 SF

LEVEL 6	
CIRCULATION	7,580 SF
ELECTRICAL	444 SF
RESIDENT COMMON AREA	1,086 SF
RESIDENTIAL	44,354 SF
SERVICE	138 SF
TOTAL	53,602 SF

RESIDENTIAL	316,572 SF
INCLUDED IN GFA PER ZONING CODE	356,166 SF
TOTAL GFA	597,885 SF

GFA SUBTOTALS		GFA SUBTOTALS	
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INCLUDED IN GFA PER ZONING CODE

RETAIL	
GROCERY	39,279 SF
GROCERY ELECTRICAL	316 SF
TOTAL	39,595 SF
RESIDENTIAL	
CIRCULATION	45,484 SF
LOBBY	2,009 SF
RESIDENT COMMON AREA	15,344 SF
RESIDENTIAL	238,862 SF
COMMUNICATIONS	264 SF
ELECTRICAL	3,154 SF
FIRE PROTECTION	345 SF
GENERATORS	668 SF
IDF	440 SF
PLUMBING	1,064 SF

EXCLUDED FROM GFA PER ZONING CODE

SERVICE	6,251 SF
UTILITY SERVICE ENTRANCE	1,590 SF
STORAGE	1,096 SF
RESIDENTIAL	316,572 SF
INCLUDED IN GFA PER ZONING CODE	356,166 SF
EXCLUDED FROM GFA PER ZONING CODE	
TRANSFORMERS	3,665 SF
BIKE PARKING	8,843 SF
PARKING	223,046 SF
VENT SHAFT	735 SF
TRASH	5,429 SF
TOTAL	241,719 SF
EXCLUDED FROM GFA PER ZONING CODE	241,719 SF
TOTAL GFA	597,885 SF

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 2
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

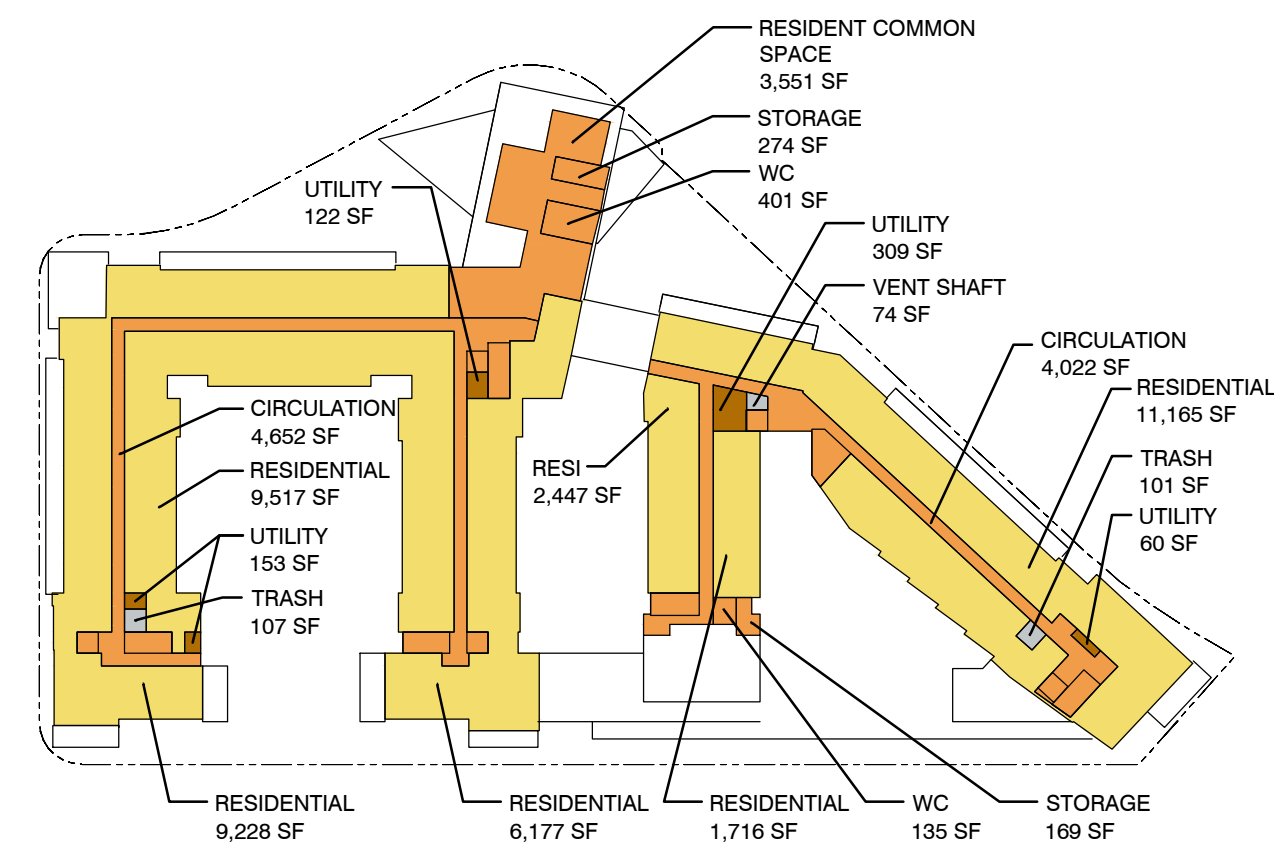
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DATE	ISSUE
09/07/2021	ACP

REVISIONS		
NO.	DATE	ISSUE

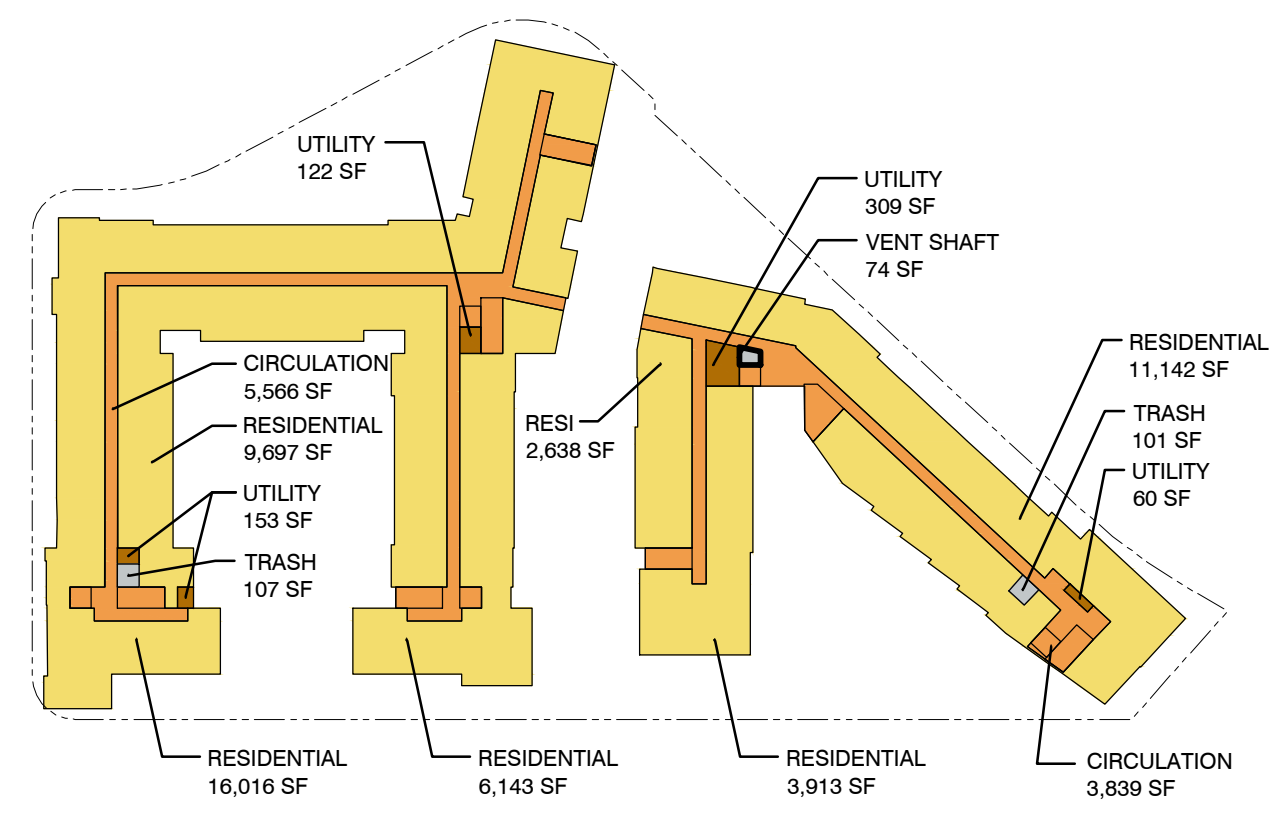
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SQUARE FOOTAGE PLANS

DRAWING NO:
***A9.04**

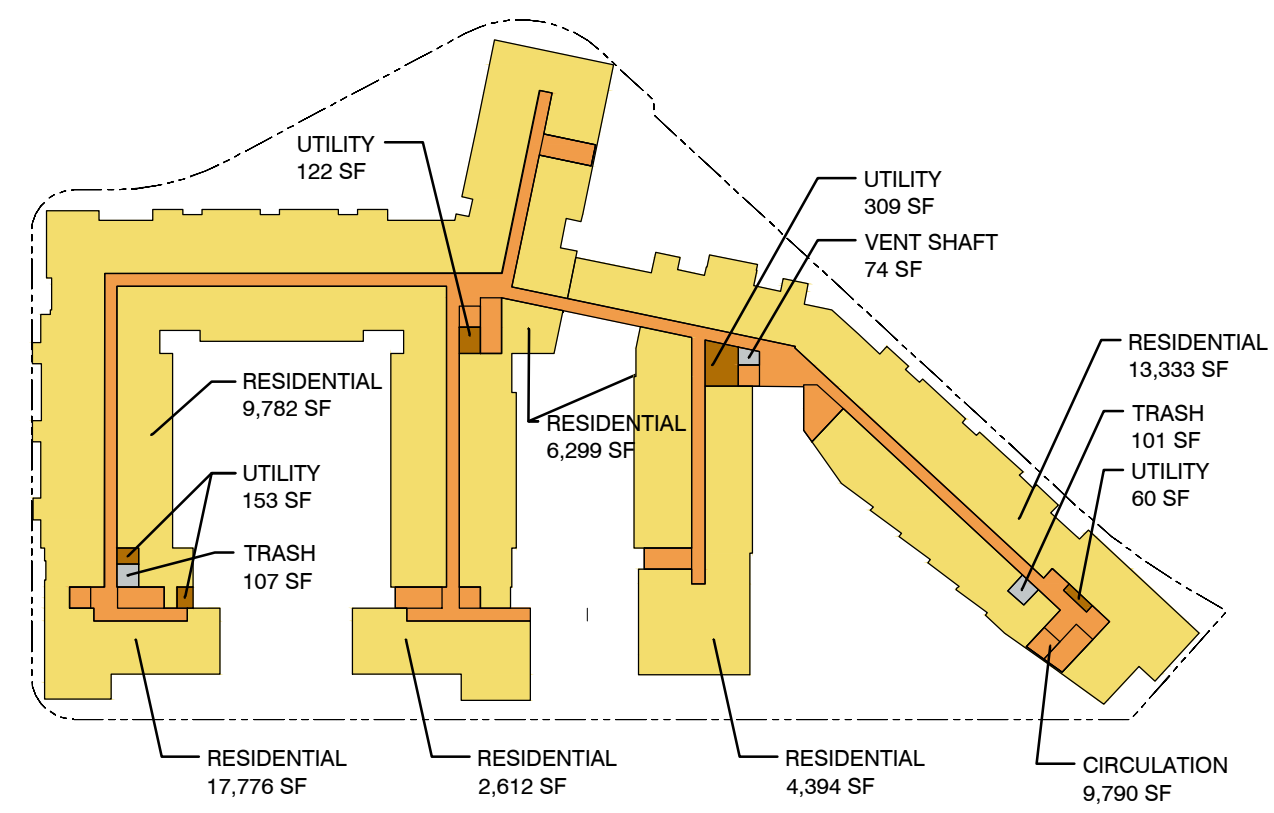




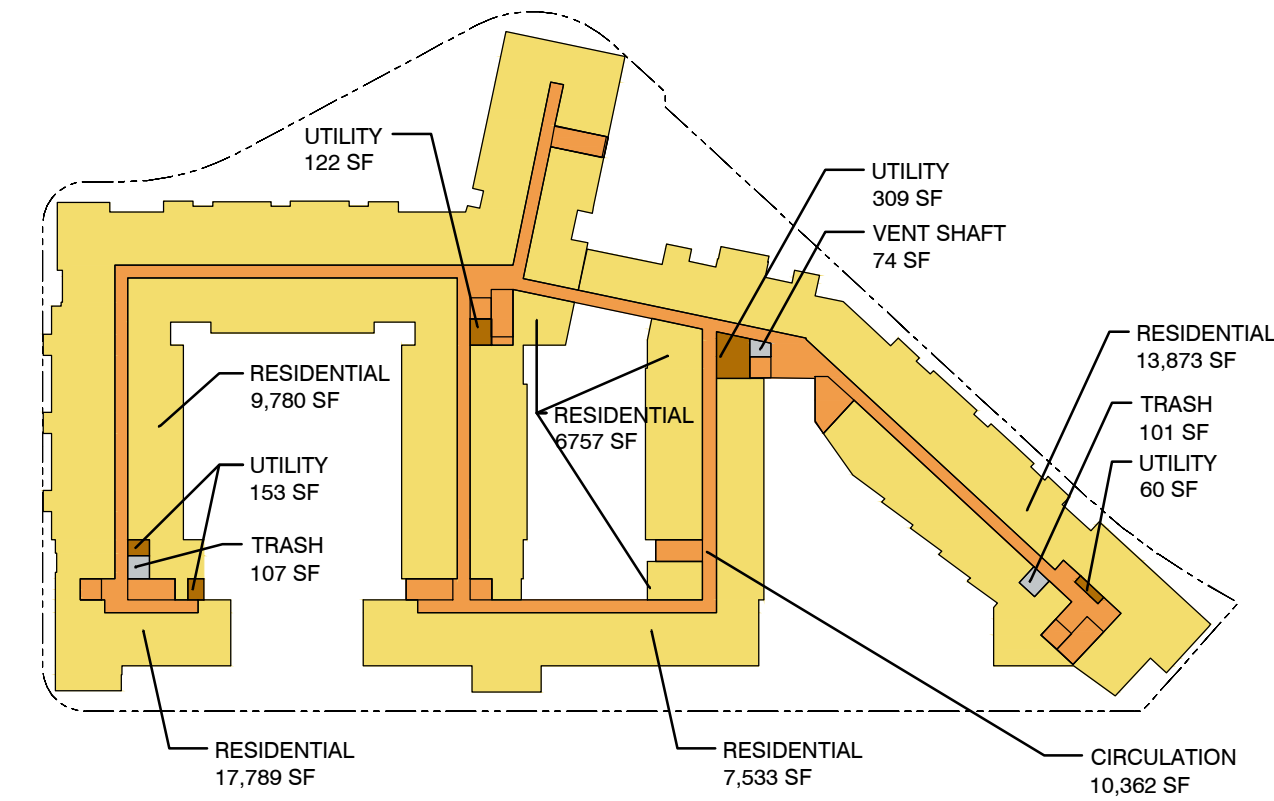
LEVEL 07



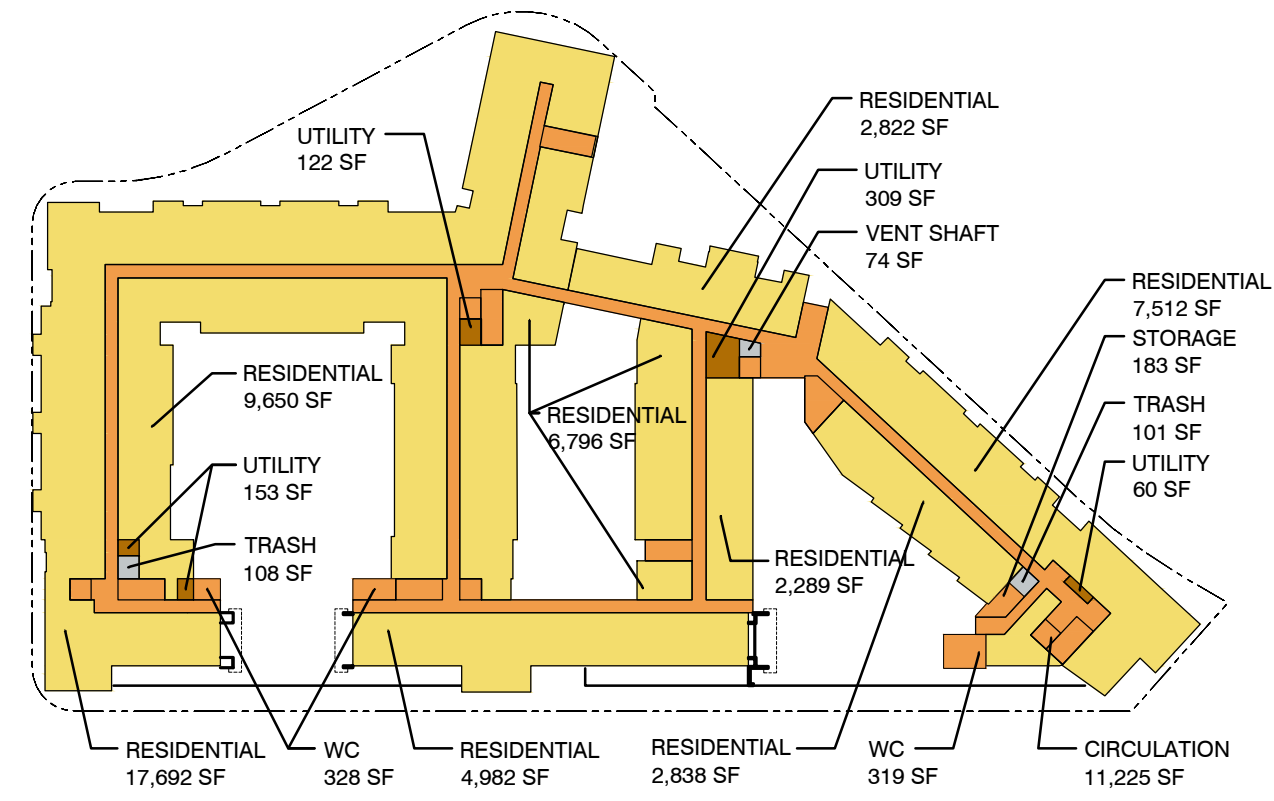
LEVEL 06



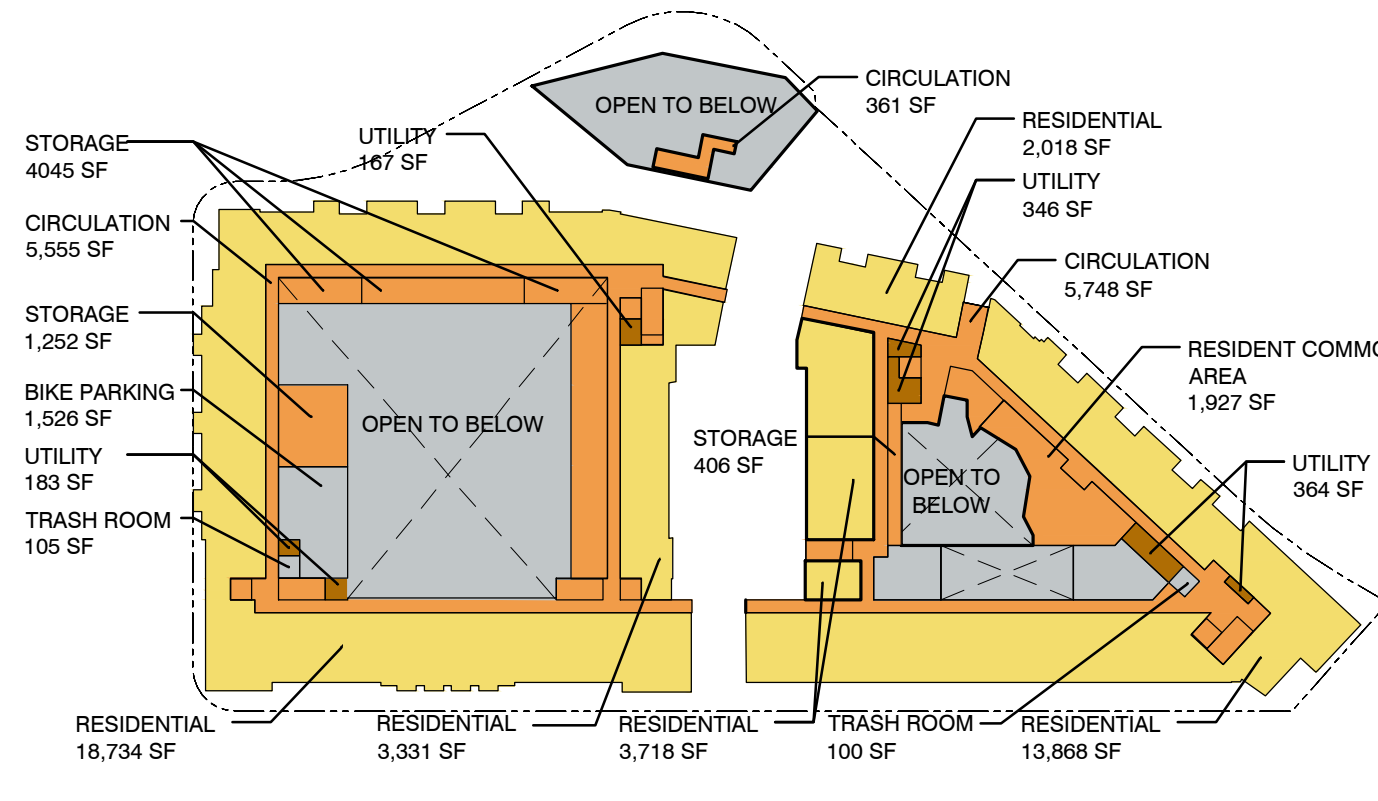
LEVEL 05



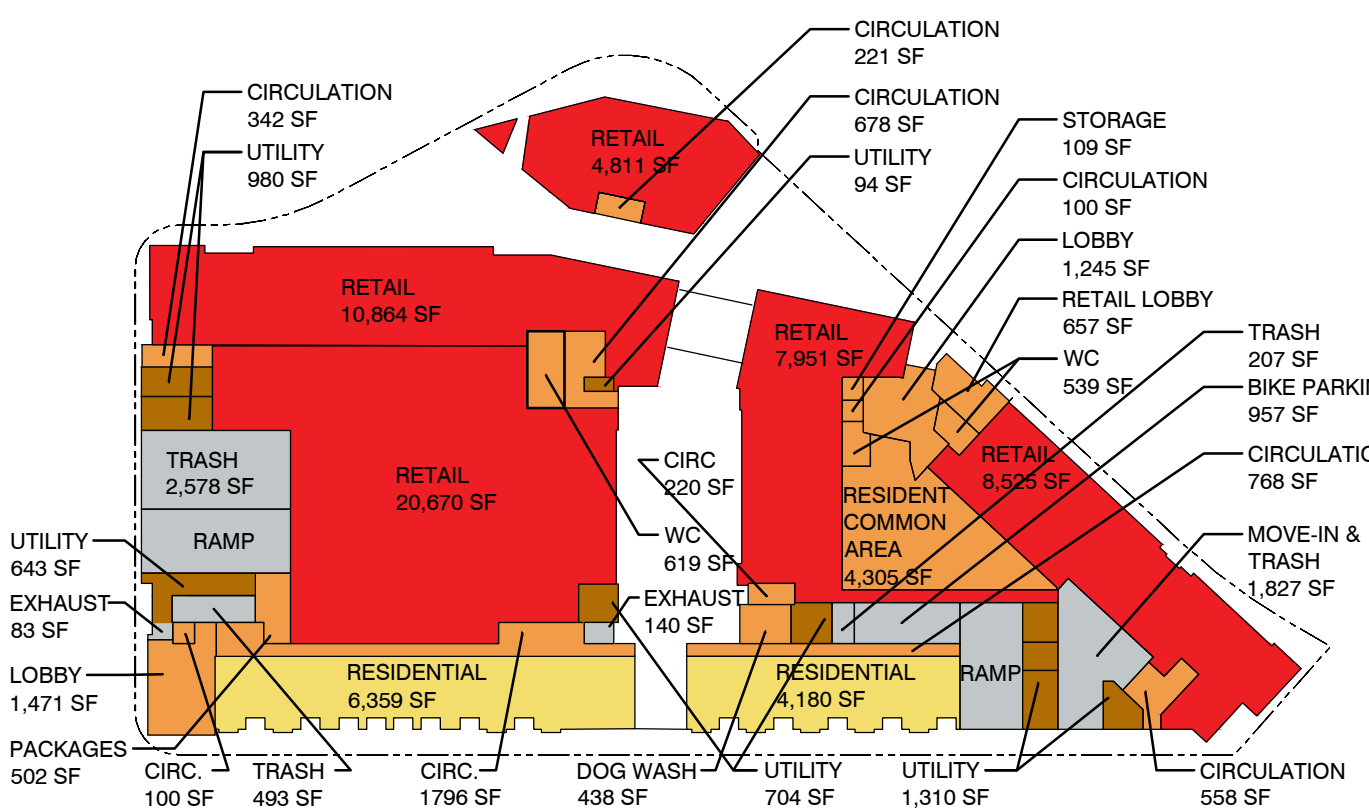
LEVEL 04



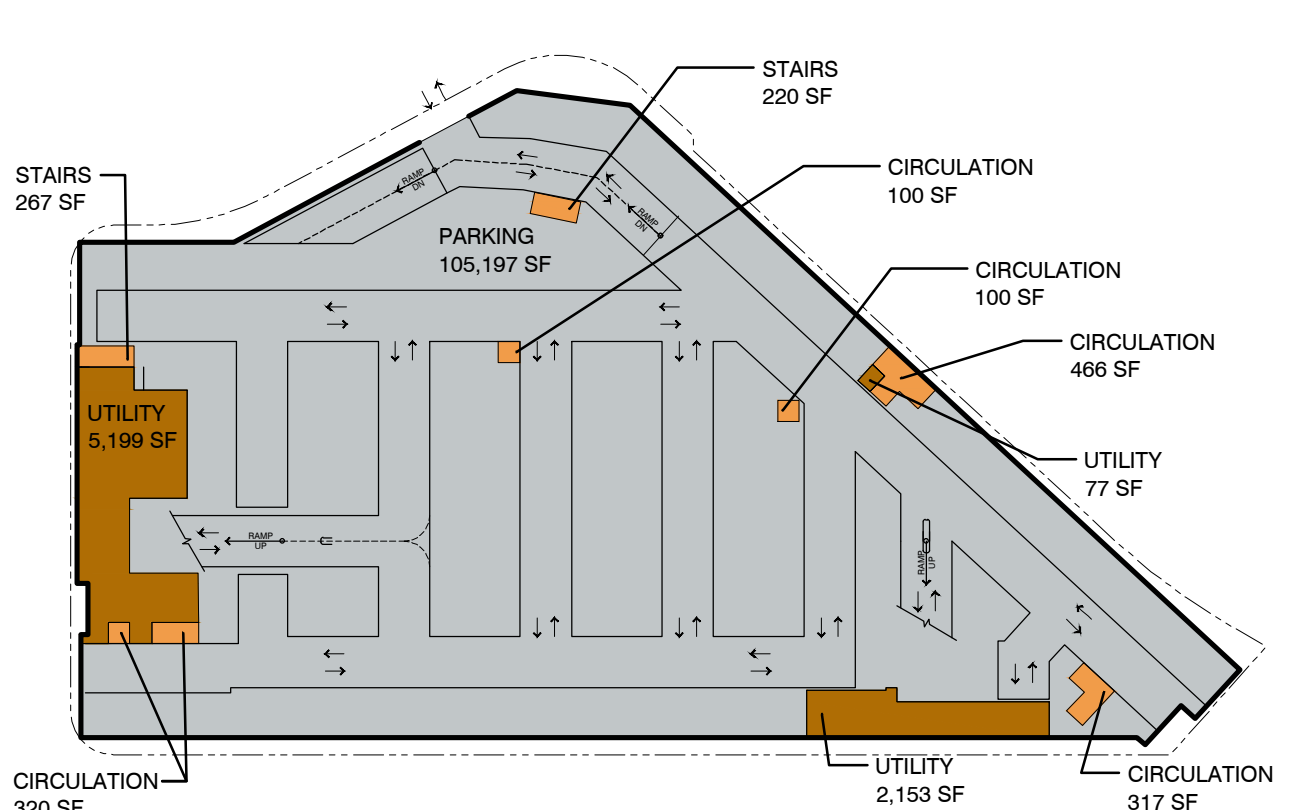
LEVEL 03



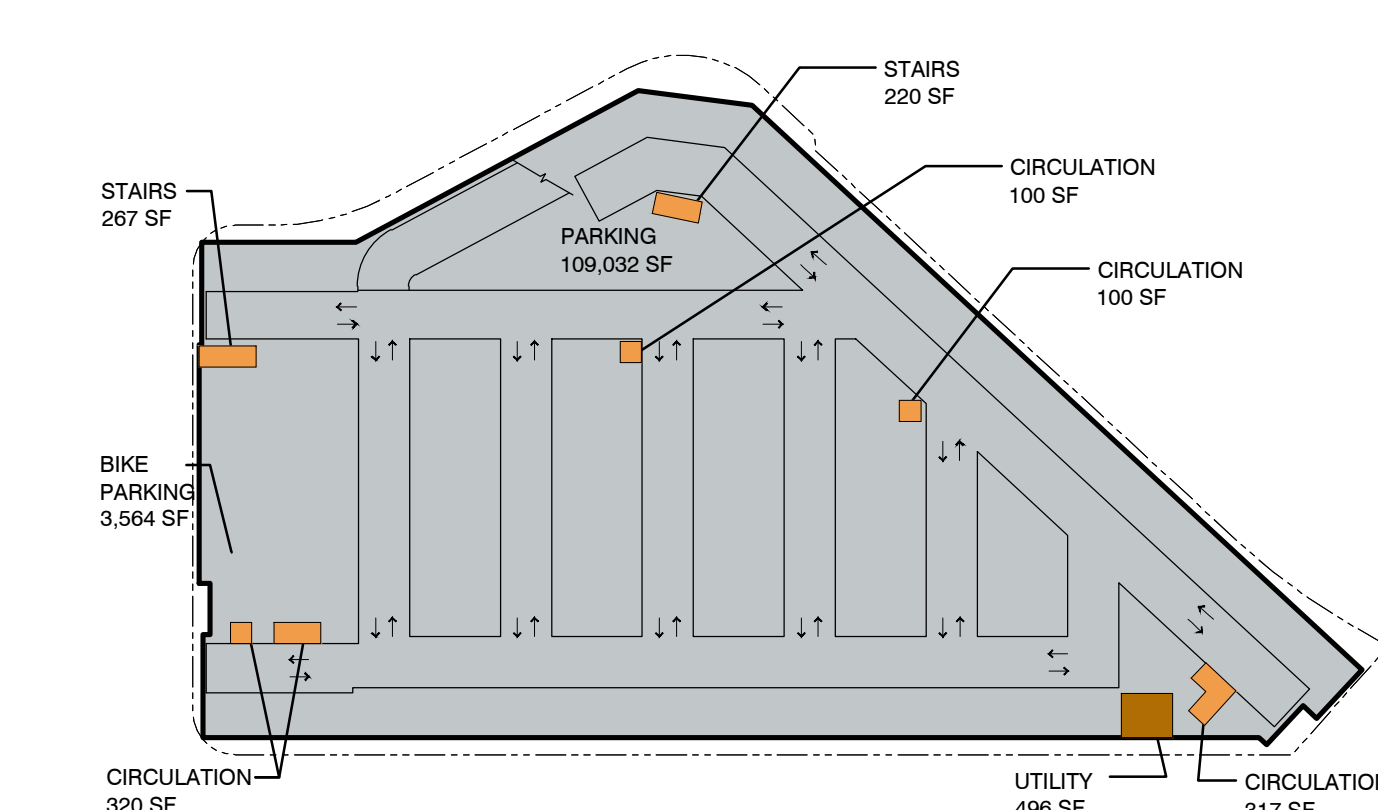
LEVEL 02



LEVEL 01



LEVEL BASEMENT 01



LEVEL BASEMENT 02

GROSS FLOOR AREA

CATEGORY	ZONING GFA
----------	------------

LEVEL B2	
UTILITY	496
	496

LEVEL B1	
UTILITY	7,429
	7,429

LEVEL 1	
CIRCULATION	4,783
LOBBY	3,373
STORAGE	109
WC	1,158
DOG WASH	438
RESIDENT COMMON AREA	4,807
RESIDENTIAL	10,539
RETAIL	52,817
UTILITY	3,731
	81,755

LEVEL 2	
CIRCULATION	11,664
STORAGE	5,703
RESIDENT COMMON AREA	1,927
RESIDENTIAL	41,669
UTILITY	1,060
	62,023

LEVEL 3	
CIRCULATION	11,225
STORAGE	183
WC	647
RESIDENTIAL	54,581
UTILITY	644
	67,280

LEVEL 4	
CIRCULATION	10,362
RESIDENTIAL	55,732
UTILITY	644
	66,094

LEVEL 5	
CIRCULATION	9,790
RESIDENTIAL	54,196
UTILITY	644
	64,630

LEVEL 6	
CIRCULATION	9,405
RESIDENTIAL	49,549
UTILITY	644
	59,598

LEVEL 7	
CIRCULATION	8,674
STORAGE	443
WC	536
RESIDENT COMMON AREA	3,551
RESIDENTIAL	40,250
UTILITY	644
	54,098

GFA SUBTOTALS - INCLUDED PER CODE

RETAIL	
RETAIL	52,817
LOBBY	657
WC	1,158
	54,632

RESIDENTIAL	
CIRCULATION	69,017
LOBBY	2,716
STORAGE	6,438
WC	1,183
DOG WASH	438
RESIDENT COMMON AREA	10,285
RESIDENTIAL	306,516
UTILITY	15,936
	412,529

TOTAL INCLUDED GFA	467,161
(PER ZONING CODE)	

GROSS FLOOR AREA

CATEGORY	EXCLUDED GFA
----------	--------------

VEHICULAR PARKING	109,032
BIKE PARKING	3,564
CIRCULATION	1,324
	113,920

VEHICULAR PARKING	105,197
CIRCULATION	1,790
	106,987

BIKE PARKING	957
TRASH	5,105
EXHAUST	223
	6,285

BIKE PARKING	1,526
TRASH ROOM	205
	1,731

TRASH ROOM	209
VENT STACK	74
	283

TRASH ROOM	208
VENT STACK	74
	282

TRASH ROOM	208
VENT STACK	74
	282

TRASH ROOM	208
VENT STACK	74
	282

TRASH ROOM	208
VENT STACK	74
	282

GFA SUBTOTALS - EXCLUDED PER CODE

EXCLUDED PER ZONING CODE	
VEHICULAR PARKING	214,229
BIKE PARKING	6,047
TRASH	6,351
VENT STACK/EXHAUST	593

TOTAL EXCLUDED GFA	227,220
(PER ZONING CODE)	

TOTAL GFA	694,381
------------------	----------------

LEGEND

- RETAIL
- RESIDENTIAL
- CIRCULATION / COMMON AREA / LOBBY
- UTILITY / SERVICE
- EXCLUDED FROM GFA

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 3
Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS B20 A1. DO NOT SCALE.
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SIZING CLARIFICATION FROM ARCHITECT FOR
MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
9/7/2021	ACP

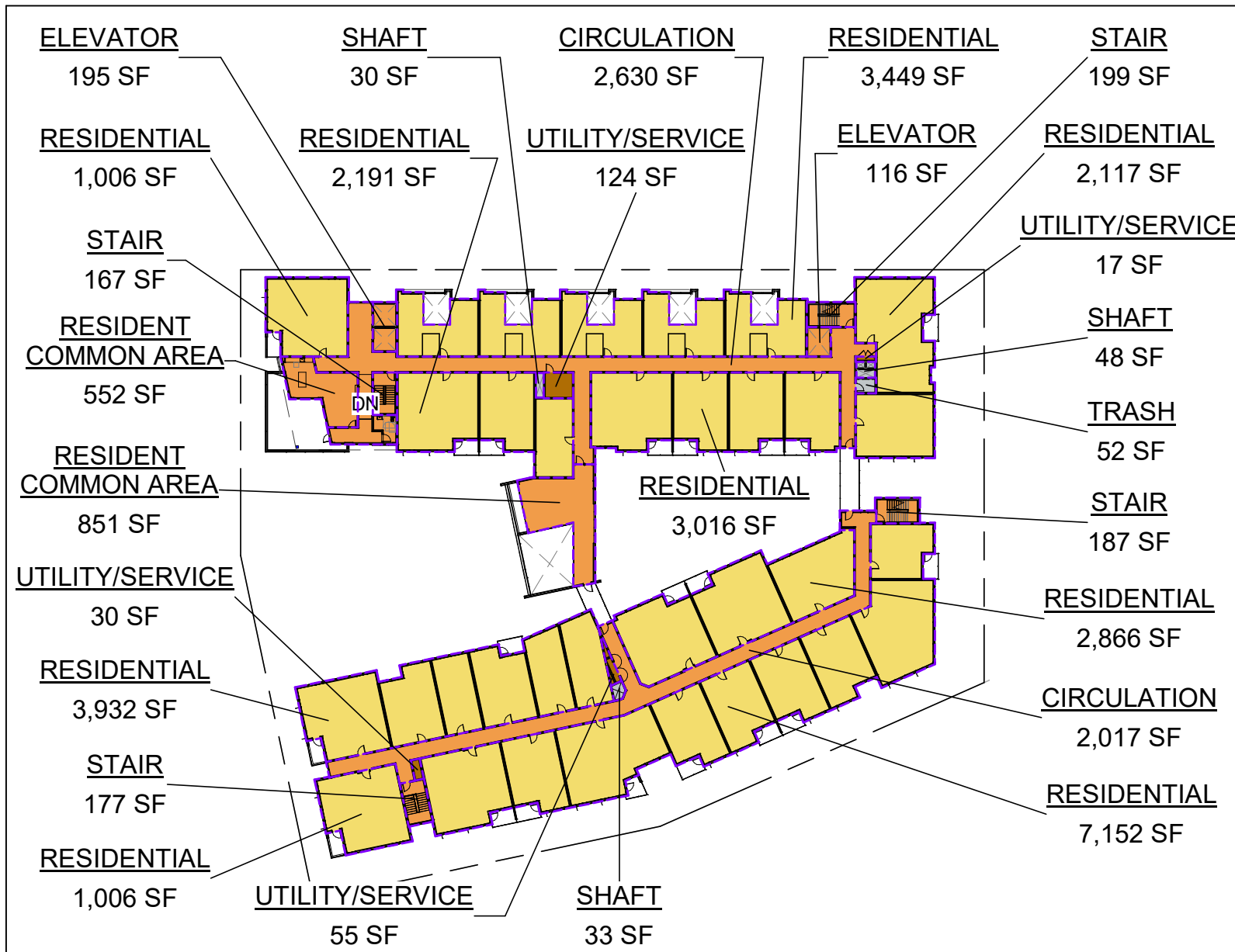
REVISIONS

NO.	DATE	ISSUE

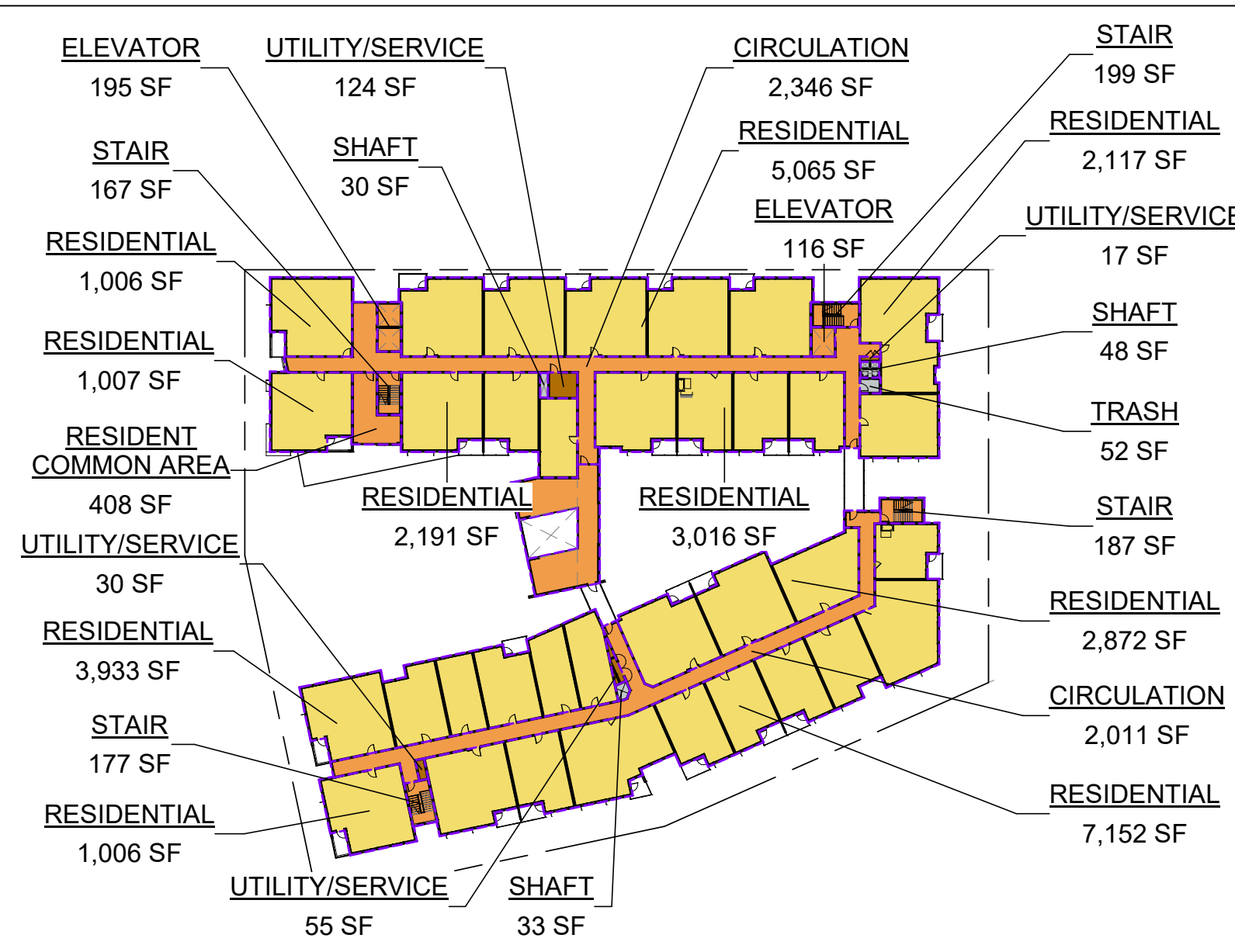
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AREA SQUAREFOOTAGE
PLAN

DRAWING NO:
A9.04

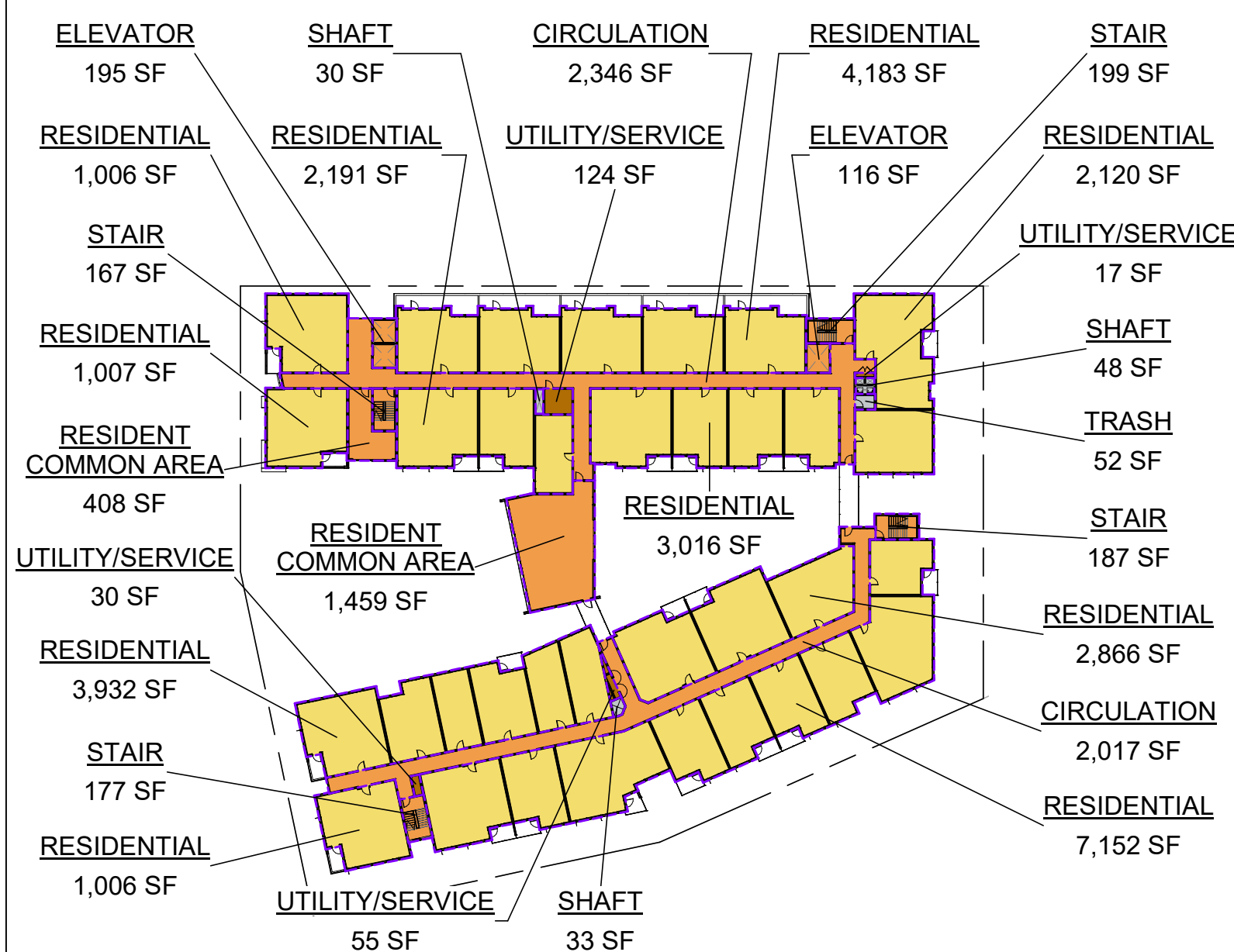
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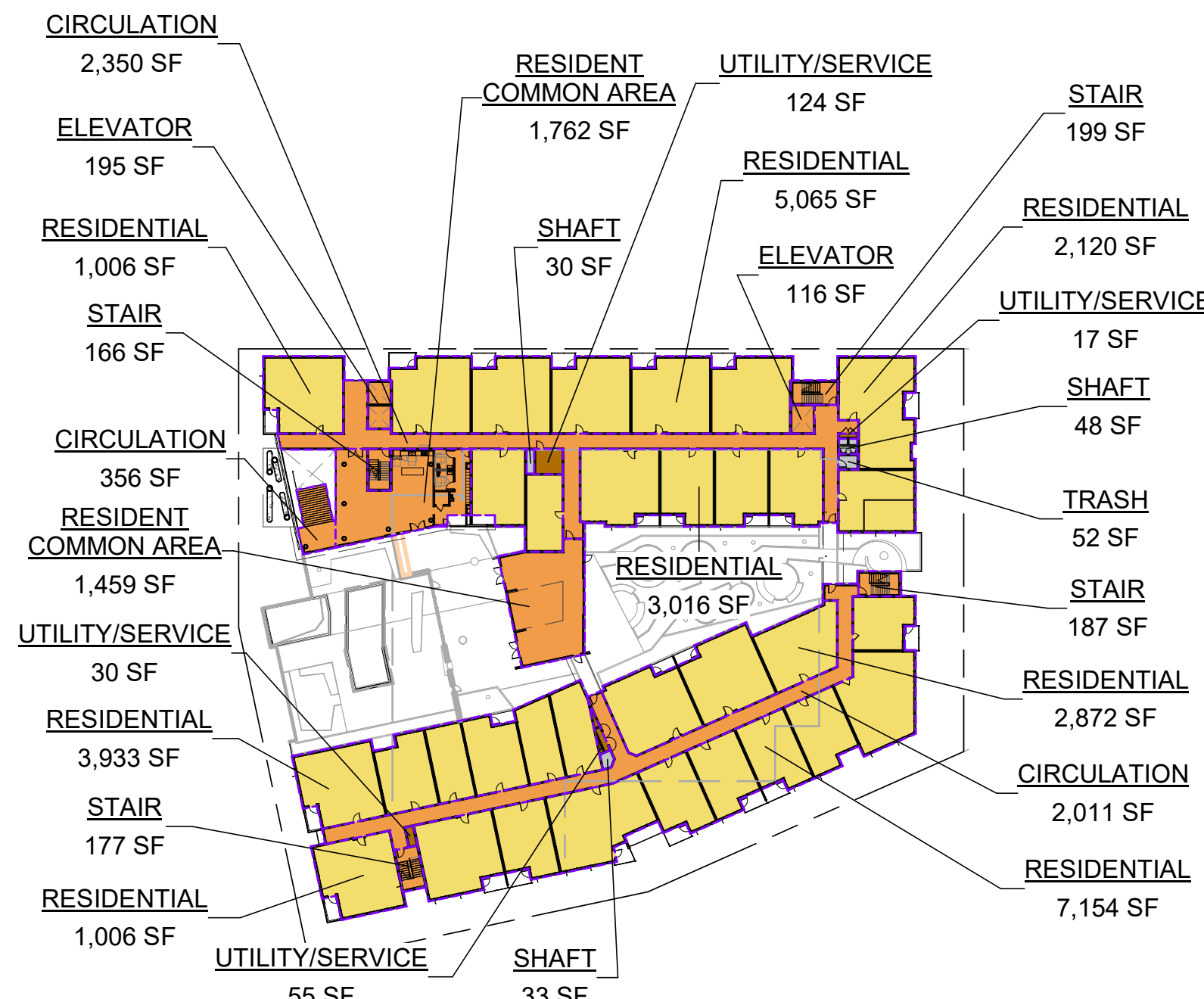
LEVEL 7
1" = 60'-0"



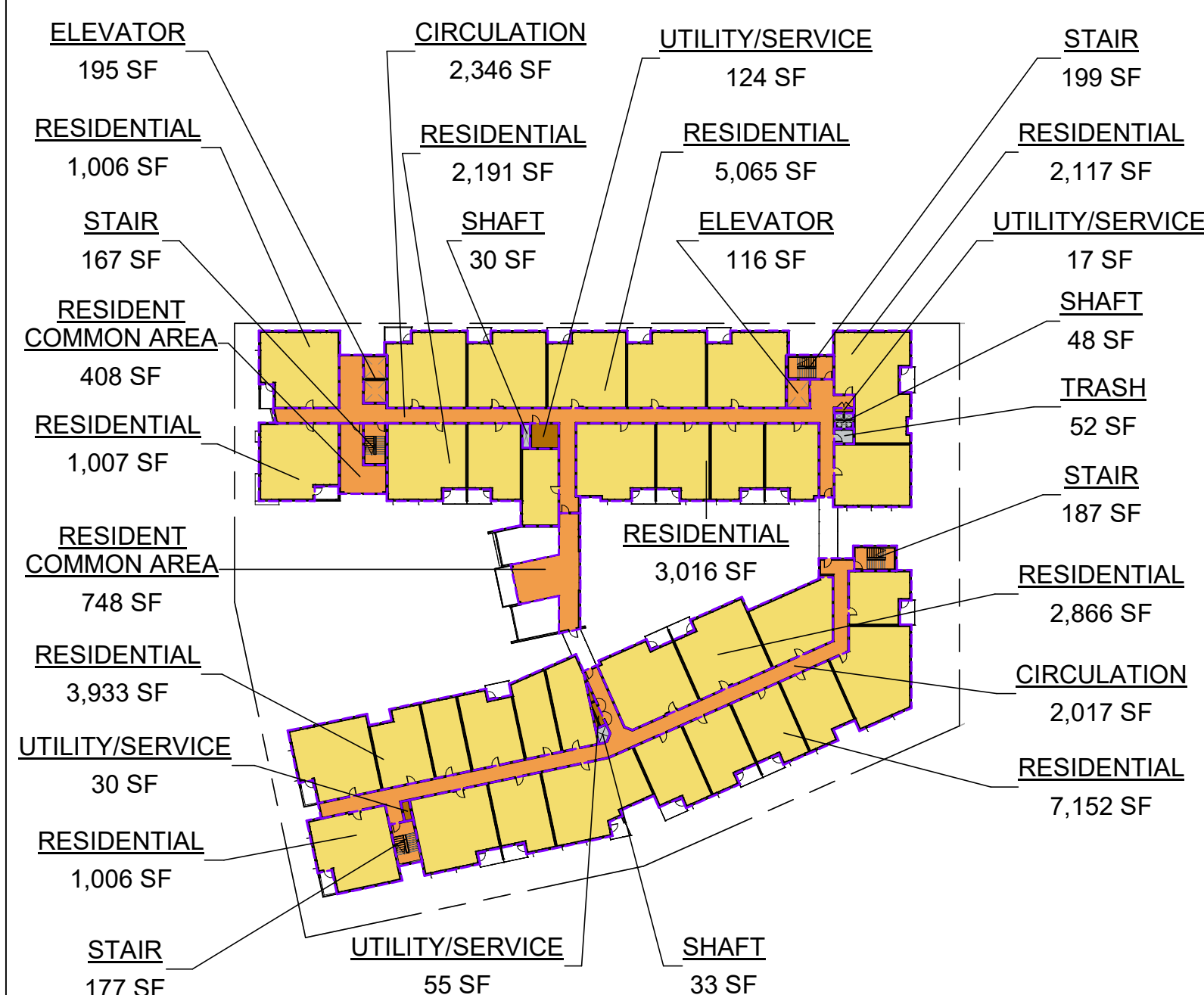
LEVEL 4
1" = 60'-0"



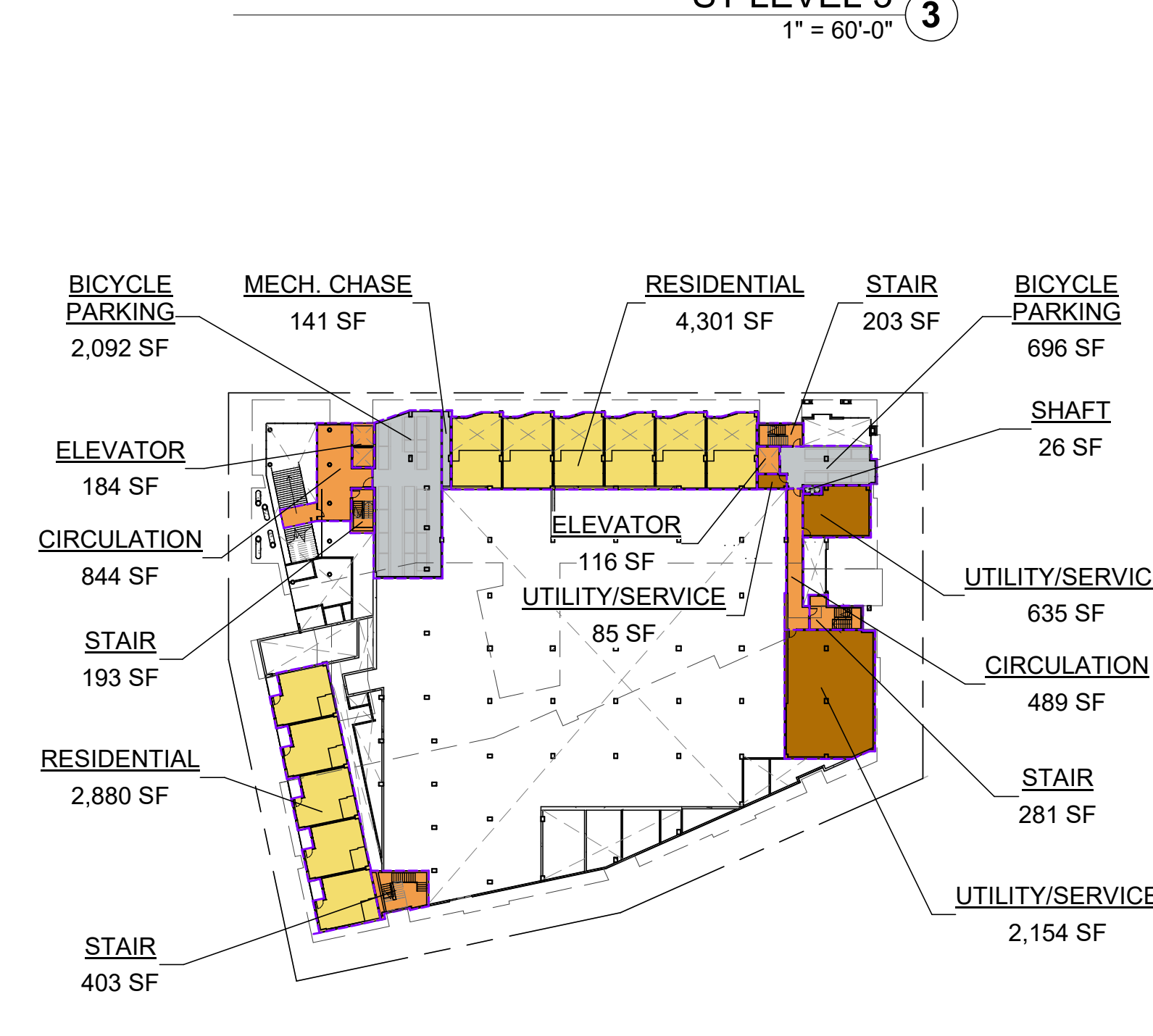
LEVEL 6
1" = 60'-0"



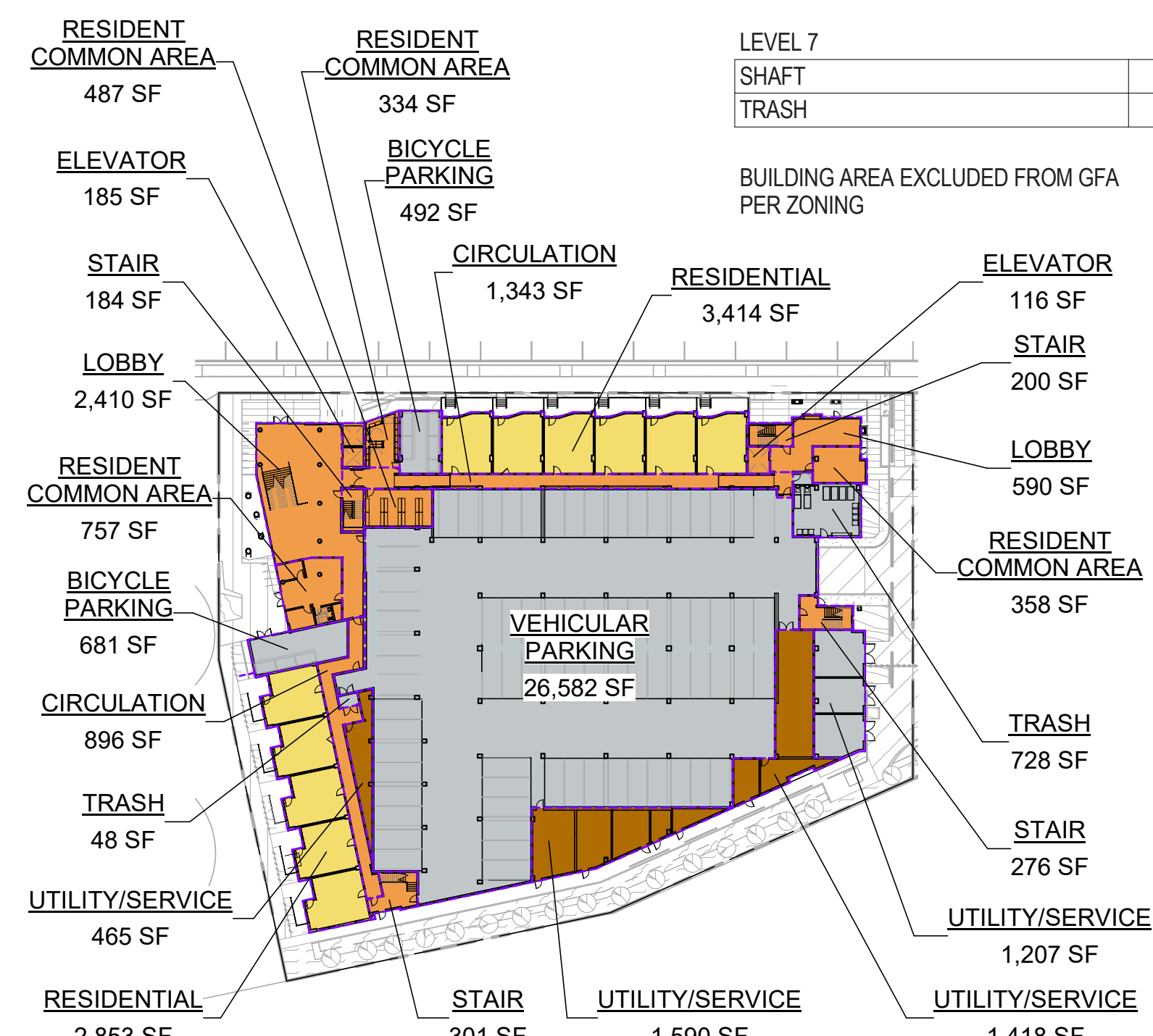
ST LEVEL 3
1" = 60'-0"



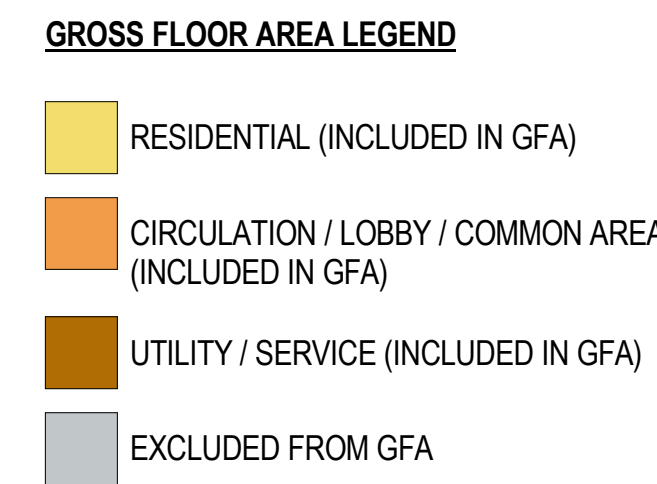
LEVEL 5
1" = 60'-0"



LEVEL 2
1" = 60'-0"



LEVEL 1
1" = 60'-0"



GROSS FLOOR AREA BY PROGRAM

PROGRAM	AREA	ZONING CODE REFERENCE
BUILDING AREA EXCLUDED FROM GFA PER ZONING		
BICYCLE PARKING	3,961 SF	EXCLUDED PER 16.04.325(C)(3)
MECH. CHASE	141 SF	EXCLUDED PER 16.04.325(C)(1)
SHAFT	582 SF	EXCLUDED PER 16.04.325(C)(5)
TRASH	1,036 SF	EXCLUDED PER 16.04.325(C)(6)
UTILITY/SERVICE	1,207 SF	EXCLUDED PER 16.04.325(C)(2)
VEHICULAR PARKING	26,582 SF	EXCLUDED PER 16.04.325(C)(3)
BUILDING AREA EXCLUDED FROM GFA PER ZONING		
33,509 SF		

BUILDING AREA INCLUDED IN GFA PER ZONING		
CIRCULATION	26,021 SF	INCLUDED PER 16.04.325(A)
ELEVATOR	2,157 SF	INCLUDED PER 16.04.325(B)(7)
LOBBY	3,000 SF	INCLUDED PER 16.04.325(A)
RESIDENT COMMON AREA	11,091 SF	INCLUDED PER 16.04.325(A)
RESIDENTIAL	154,745 SF	INCLUDED PER 16.04.325(A)
STAIR	5,687 SF	INCLUDED PER 16.04.325(B)(7)
UTILITY/SERVICE	7,480 SF	INCLUDED PER 16.04.325(A), 16.04.325(B)(4), & 16.04.325
BUILDING AREA INCLUDED IN GFA PER ZONING		
210,180 SF		
TOTAL BUILDING AREA		
243,689 SF		

GROSS FLOOR AREA		GROSS FLOOR AREA	
PROGRAM	AREA	PROGRAM	AREA

BUILDING AREA EXCLUDED FROM GFA PER ZONING		BUILDING AREA INCLUDED IN GFA PER ZONING	
Not Placed		Not Placed	
SHAFT	0 SF	UTILITY/SERVICE	0 SF
0 SF		0 SF	

LEVEL 1	BICYCLE PARKING	1,173 SF	LEVEL 1	CIRCULATION	2,239 SF
LEVEL 1	TRASH	776 SF	LEVEL 1	ELEVATOR	301 SF
LEVEL 1	UTILITY/SERVICE	1,207 SF	LEVEL 1	LOBBY	3,000 SF
LEVEL 1	VEHICULAR PARKING	26,582 SF	LEVEL 1	RESIDENT COMMON AREA	1,935 SF
29,737 SF		LEVEL 1		RESIDENTIAL	6,267 SF

LEVEL 2	BICYCLE PARKING	2,788 SF	LEVEL 2	STAIR	962 SF
LEVEL 2	MECH. CHASE	141 SF	LEVEL 2	UTILITY/SERVICE	3,473 SF
LEVEL 2	SHAFT	26 SF	LEVEL 2	CIRCULATION	1,333 SF
LEVEL 2		2,954 SF	LEVEL 2	ELEVATOR	300 SF

LEVEL 3	SHAFT	111 SF	LEVEL 3	RESIDENTIAL	7,181 SF
LEVEL 3	TRASH	52 SF	LEVEL 3	STAIR	1,080 SF
LEVEL 3		163 SF	LEVEL 3	UTILITY/SERVICE	2,874 SF

LEVEL 4	SHAFT	111 SF	LEVEL 4	CIRCULATION	4,717 SF
LEVEL 4	TRASH	52 SF	LEVEL 4	ELEVATOR	311 SF
LEVEL 4		163 SF	LEVEL 4	RESIDENT COMMON AREA	3,221 SF

LEVEL 5	SHAFT	111 SF	LEVEL 5	RESIDENTIAL	27,352 SF
LEVEL 5	TRASH	52 SF	LEVEL 5	STAIR	728 SF
LEVEL 5		163 SF	LEVEL 5	UTILITY/SERVICE	227 SF

LEVEL 6	SHAFT	111 SF	LEVEL 6	CIRCULATION	4,357 SF
LEVEL 6	TRASH	52 SF	LEVEL 6	ELEVATOR	311 SF
LEVEL 6		163 SF	LEVEL 6	RESIDENT COMMON AREA	1,509 SF

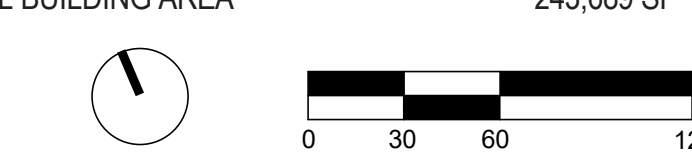
LEVEL 7	SHAFT	111 SF	LEVEL 7	RESIDENTIAL	29,367 SF
LEVEL 7	TRASH	52 SF	LEVEL 7	STAIR	729 SF
LEVEL 7		163 SF	LEVEL 7	UTILITY/SERVICE	227 SF

BUILDING AREA EXCLUDED FROM GFA PER ZONING		33,509 SF		
LEVEL 5		CIRCULATION		4,363 SF
LEVEL 5		ELEVATOR		311 SF
LEVEL 5		RESIDENT COMMON AREA		1,156 SF
LEVEL 5		RESIDENTIAL		29,361 SF
LEVEL 5		STAIR		729 SF
LEVEL 5		UTILITY/SERVICE		227 SF
LEVEL 5		TOTAL		36,147 SF

LEVEL 6		CIRCULATION		4,363 SF
LEVEL 6		ELEVATOR		311 SF
LEVEL 6		RESIDENT COMMON AREA		1,867 SF
LEVEL 6		RESIDENTIAL		28,480 SF
LEVEL 6		STAIR		729 SF
LEVEL 6		UTILITY/SERVICE		227 SF
LEVEL 6		TOTAL		35,977 SF

LEVEL 7		CIRCULATION		4,648 SF
LEVEL 7		ELEVATOR		311 SF
LEVEL 7		RESIDENT COMMON AREA		1,403 SF
LEVEL 7		RESIDENTIAL		26,737 SF
LEVEL 7		STAIR		729 SF
LEVEL 7		UTILITY/SERVICE		227 SF
LEVEL 7		TOTAL		34,054 SF

BUILDING AREA INCLUDED IN GFA PER ZONING		210,180 SF	
TOTAL BUILDING AREA		243,689 SF	



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 6
Menlo Park, CA

SCALE: 1" = 60'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR USER CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

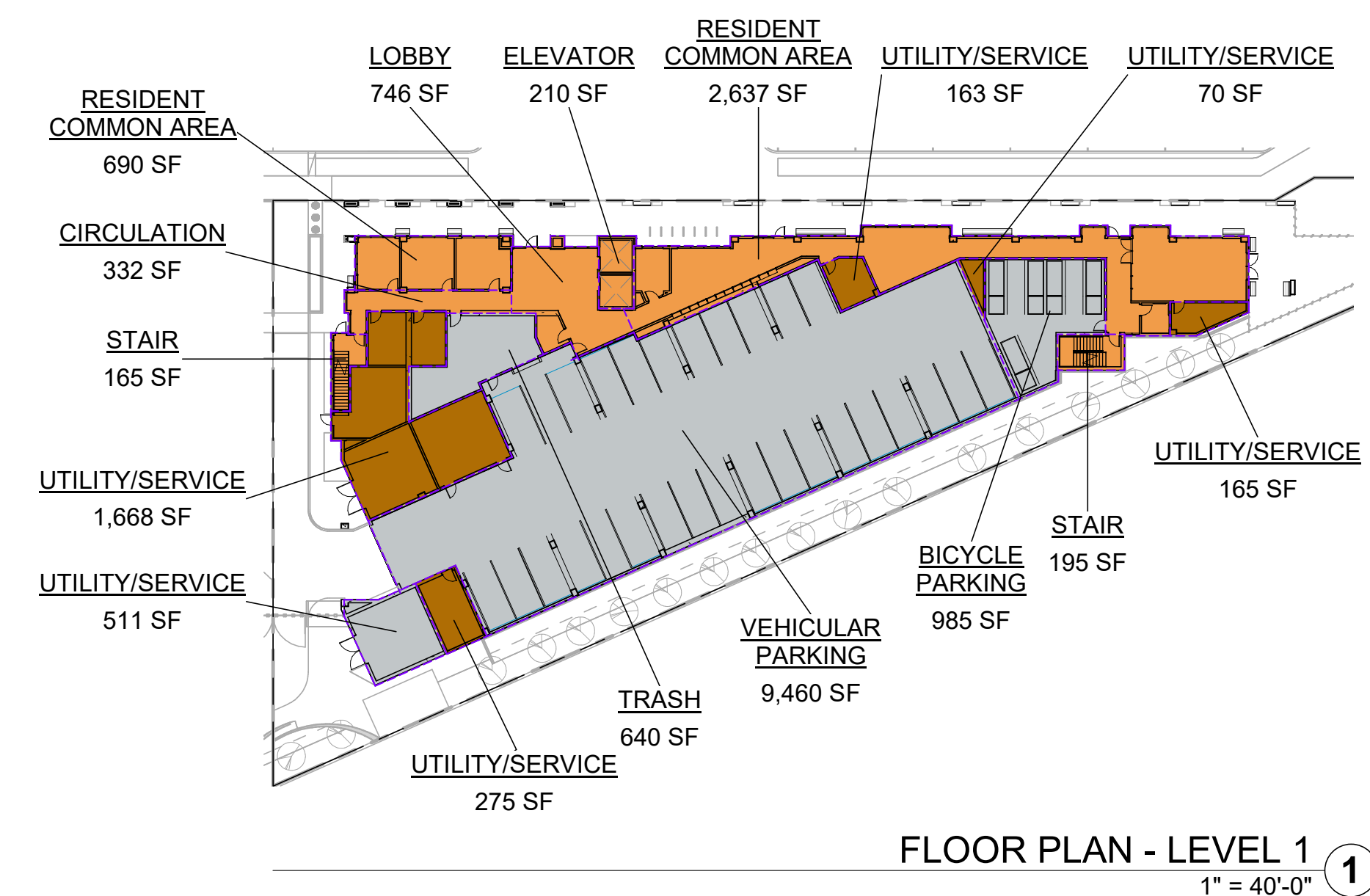
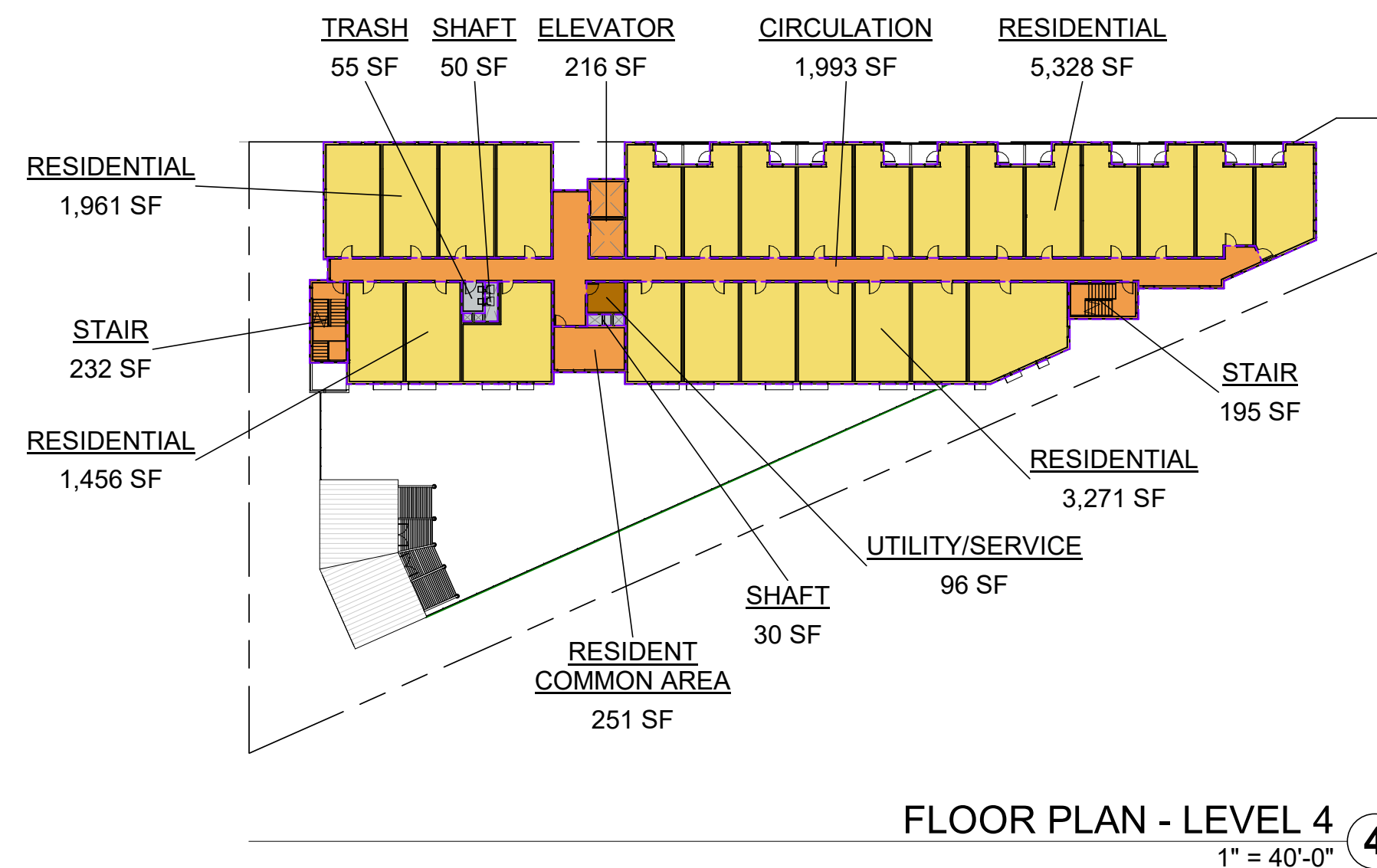
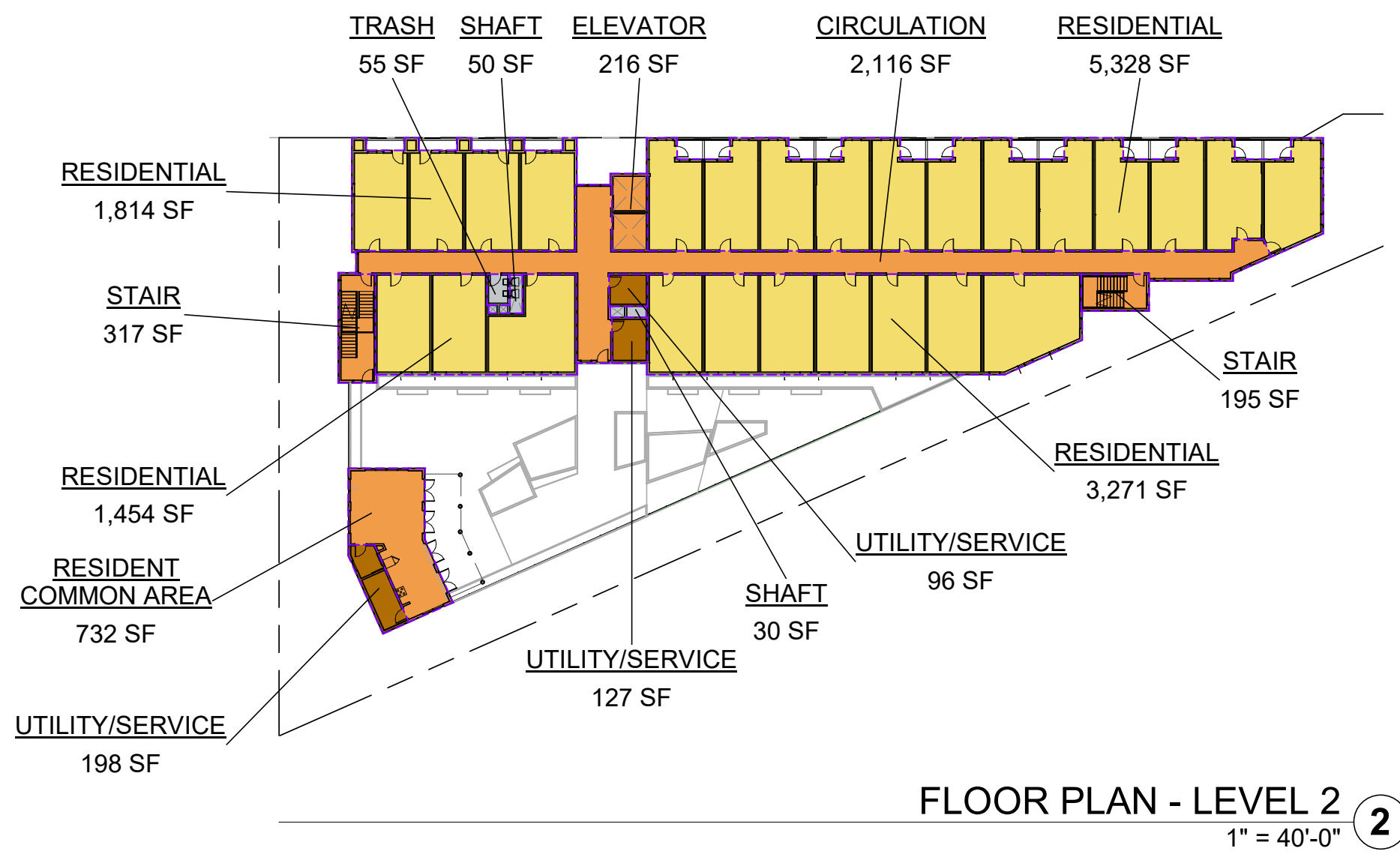
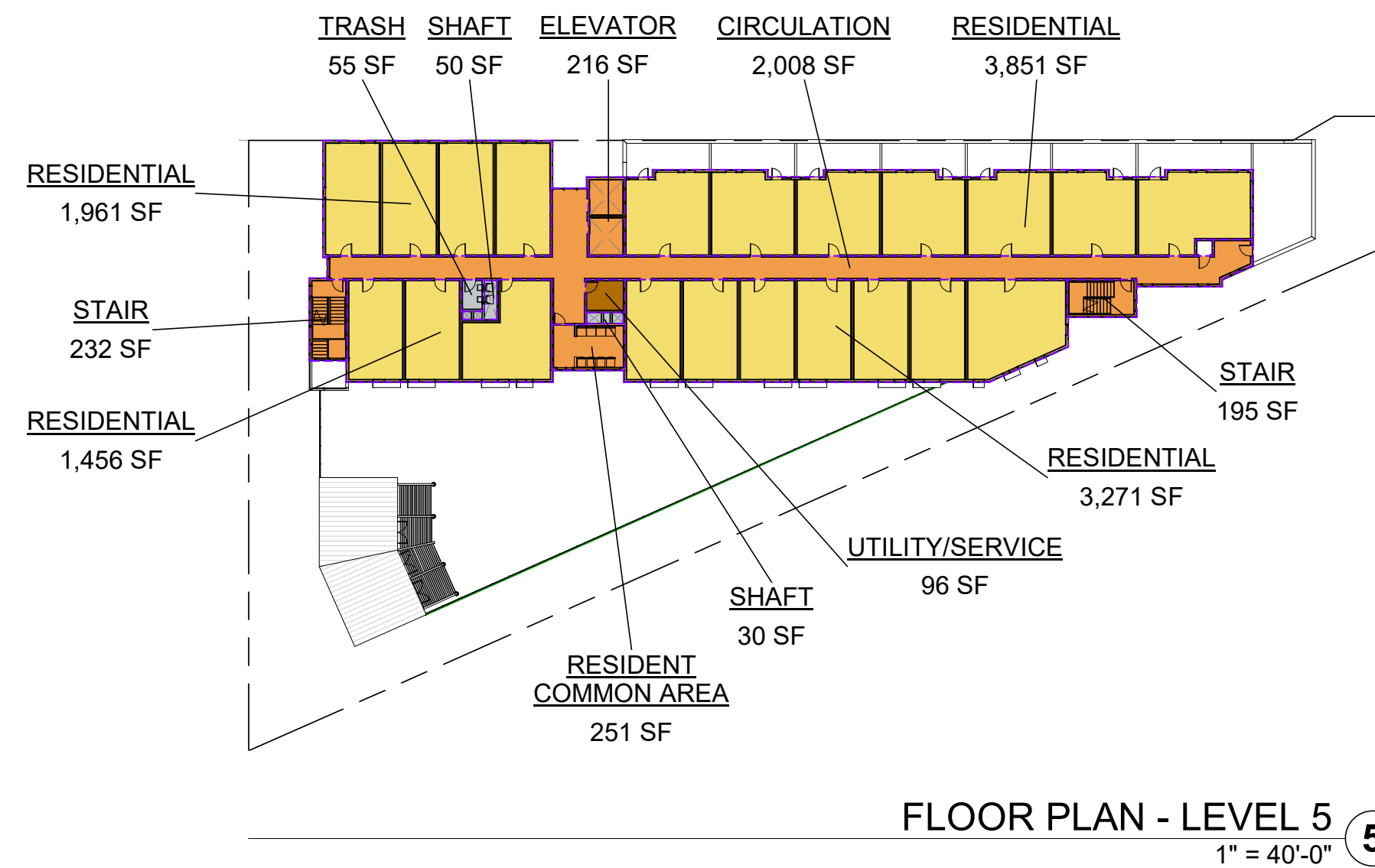
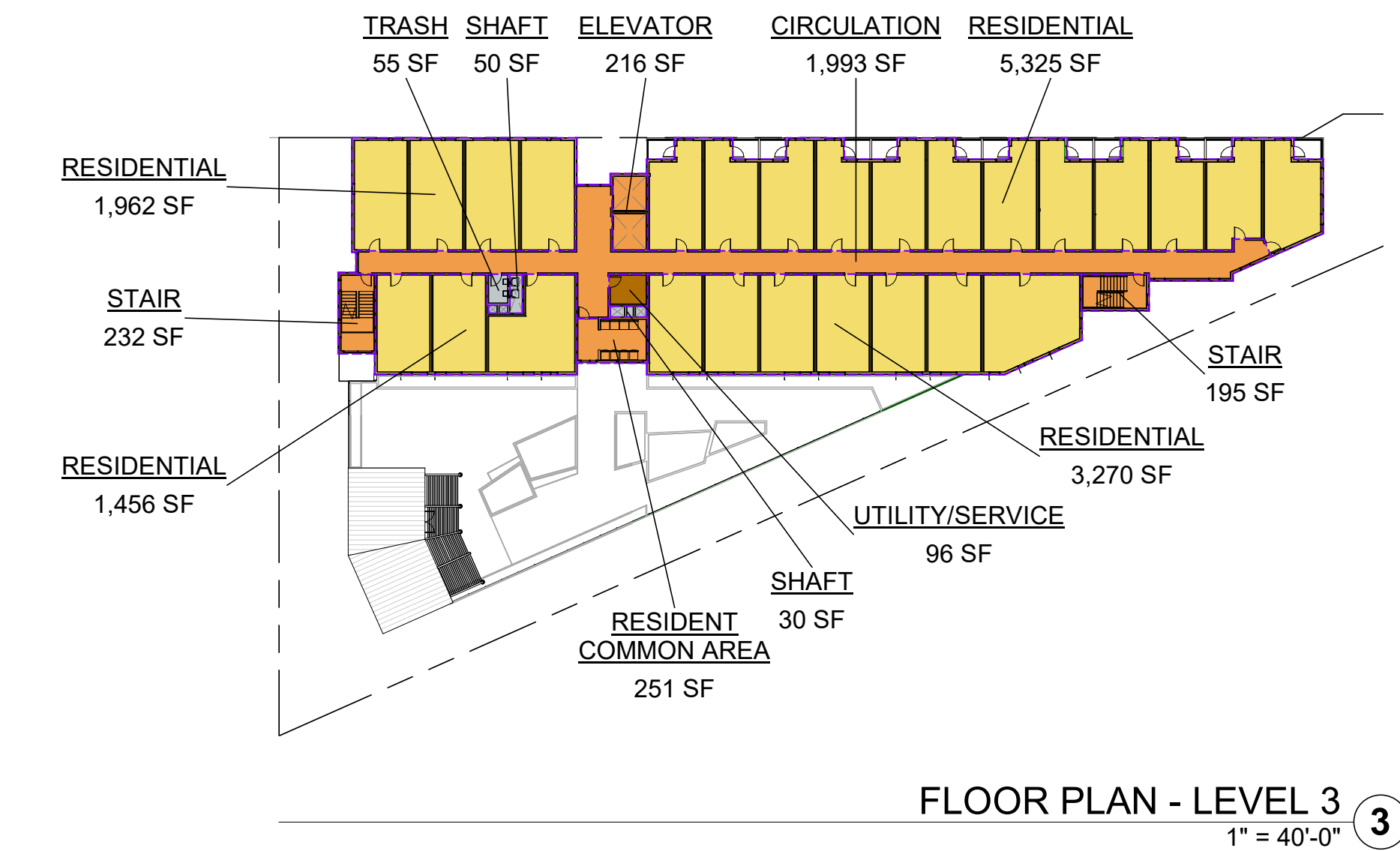
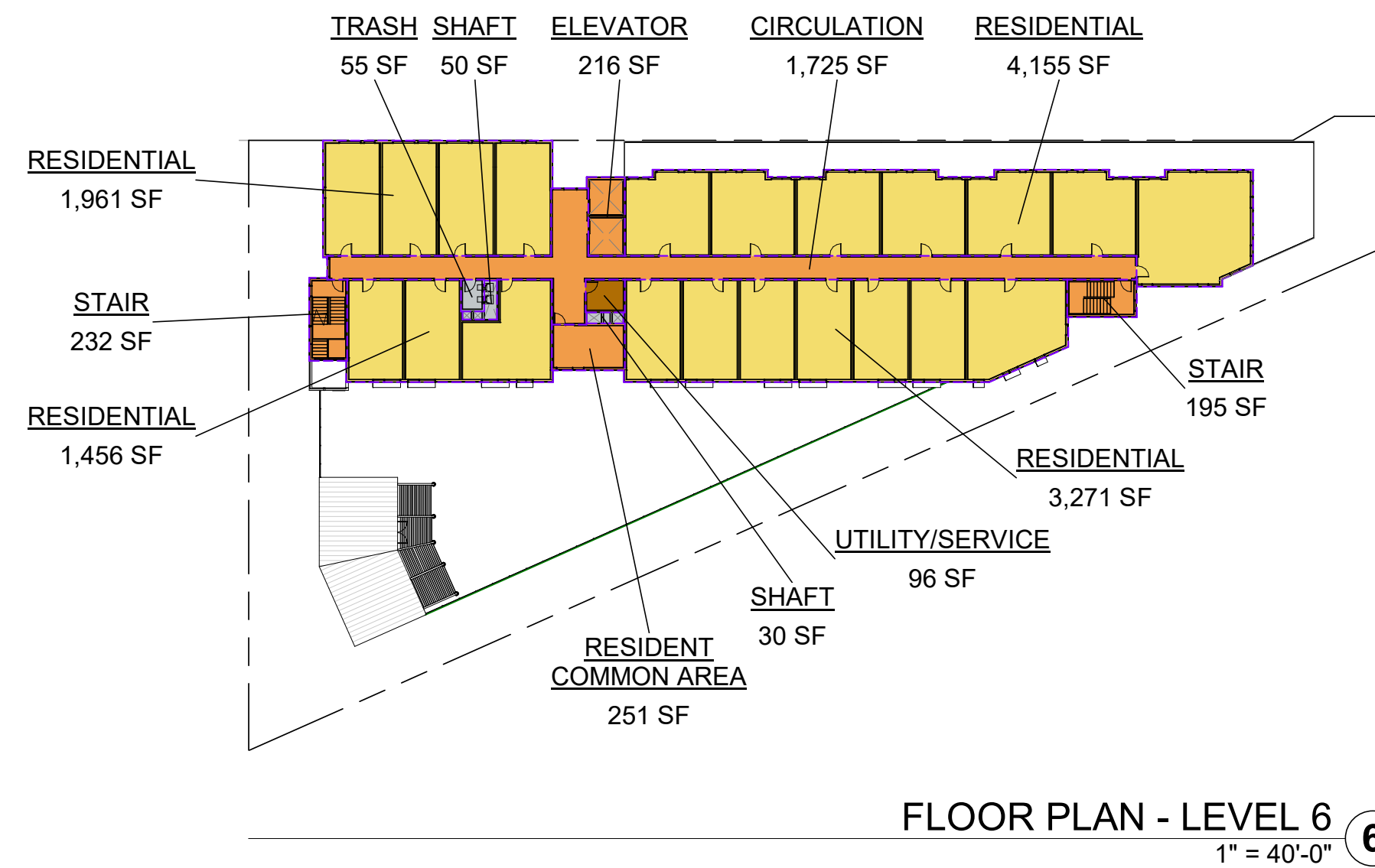
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DRAWING TITLE:
SQUARE FOOTAGE PLANS

DRAWING NO:
A9.04



GROSS FLOOR AREA BY PROGRAM		
PROGRAM	AREA	ZONING CODE REFERENCE
BUILDING AREA EXCLUDED FROM GFA PER ZONING		
BICYCLE PARKING	985 SF	EXCLUDED PER 16.04.325(C)(3)
SHAFT	400 SF	EXCLUDED PER 16.04.325(C)(5)
TRASH	914 SF	EXCLUDED PER 16.04.325(C)(6)
UTILITY/SERVICE	511 SF	EXCLUDED PER 16.04.325(C)(2)
VEHICULAR PARKING	9,460 SF	EXCLUDED PER 16.04.325(C)(3)
BUILDING AREA EXCLUDED FROM GFA PER ZONING		
12,270 SF		
BUILDING AREA INCLUDED IN GFA PER ZONING		
CIRCULATION	10,166 SF	INCLUDED PER 16.04.325(A)
ELEVATOR	1,290 SF	INCLUDED PER 16.04.325(B)(7)
LOBBY	746 SF	INCLUDED PER 16.04.325(A)
RESIDENT COMMON AREA	5,064 SF	INCLUDED PER 16.04.325(A)
RESIDENTIAL	57,276 SF	INCLUDED PER 16.04.325(A)
STAIR	2,576 SF	INCLUDED PER 16.04.325(B)(7)
UTILITY/SERVICE	3,147 SF	INCLUDED PER 16.04.325(A), 16.04.325(B)(4), & 16.04.325
BUILDING AREA INCLUDED IN GFA PER ZONING		
80,266 SF		
TOTAL BUILDING AREA		
92,536 SF		

GROSS FLOOR AREA	
NAME	AREA
BUILDING AREA EXCLUDED FROM GFA PER ZONING	
LEVEL 1	
BICYCLE PARKING	985 SF
TRASH	640 SF
UTILITY/SERVICE	511 SF
VEHICULAR PARKING	9,460 SF
LEVEL 2	
SHAFT	80 SF
TRASH	55 SF
LEVEL 3	
SHAFT	80 SF
TRASH	55 SF
LEVEL 4	
SHAFT	80 SF
TRASH	55 SF
LEVEL 5	
SHAFT	80 SF
TRASH	55 SF
LEVEL 6	
SHAFT	80 SF
TRASH	55 SF
BUILDING AREA EXCLUDED FROM GFA PER ZONING	
12,270 SF	

GROSS FLOOR AREA	
NAME	AREA
BUILDING AREA INCLUDED IN GFA PER ZONING	
LEVEL 1	
CIRCULATION	332 SF
ELEVATOR	210 SF
LOBBY	746 SF
RESIDENT COMMON AREA	3,328 SF
STAIR	360 SF
UTILITY/SERVICE	2,342 SF
LEVEL 2	
CIRCULATION	2,116 SF
ELEVATOR	216 SF
RESIDENT COMMON AREA	732 SF
RESIDENTIAL	11,867 SF
STAIR	511 SF
UTILITY/SERVICE	422 SF
LEVEL 3	
CIRCULATION	1,993 SF
ELEVATOR	216 SF
RESIDENT COMMON AREA	251 SF
RESIDENTIAL	12,012 SF
STAIR	426 SF
UTILITY/SERVICE	96 SF
LEVEL 4	
CIRCULATION	1,993 SF
ELEVATOR	216 SF
RESIDENT COMMON AREA	251 SF
RESIDENTIAL	12,016 SF
STAIR	426 SF
UTILITY/SERVICE	96 SF
LEVEL 5	
CIRCULATION	2,008 SF
ELEVATOR	216 SF
RESIDENT COMMON AREA	251 SF
RESIDENTIAL	10,539 SF
STAIR	426 SF
UTILITY/SERVICE	96 SF
LEVEL 6	
CIRCULATION	1,725 SF
ELEVATOR	216 SF
RESIDENT COMMON AREA	251 SF
RESIDENTIAL	10,843 SF
STAIR	426 SF
UTILITY/SERVICE	96 SF
BUILDING AREA INCLUDED IN GFA PER ZONING	
80,266 SF	
TOTAL BUILDING AREA	
92,536 SF	

GROSS FLOOR AREA LEGEND

- RESIDENTIAL (INCLUDED IN GFA)
- CIRCULATION / LOBBY / COMMON AREA (INCLUDED IN GFA)
- UTILITY / SERVICE (INCLUDED IN GFA)
- EXCLUDED FROM GFA



SCALE: 1" = 40'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

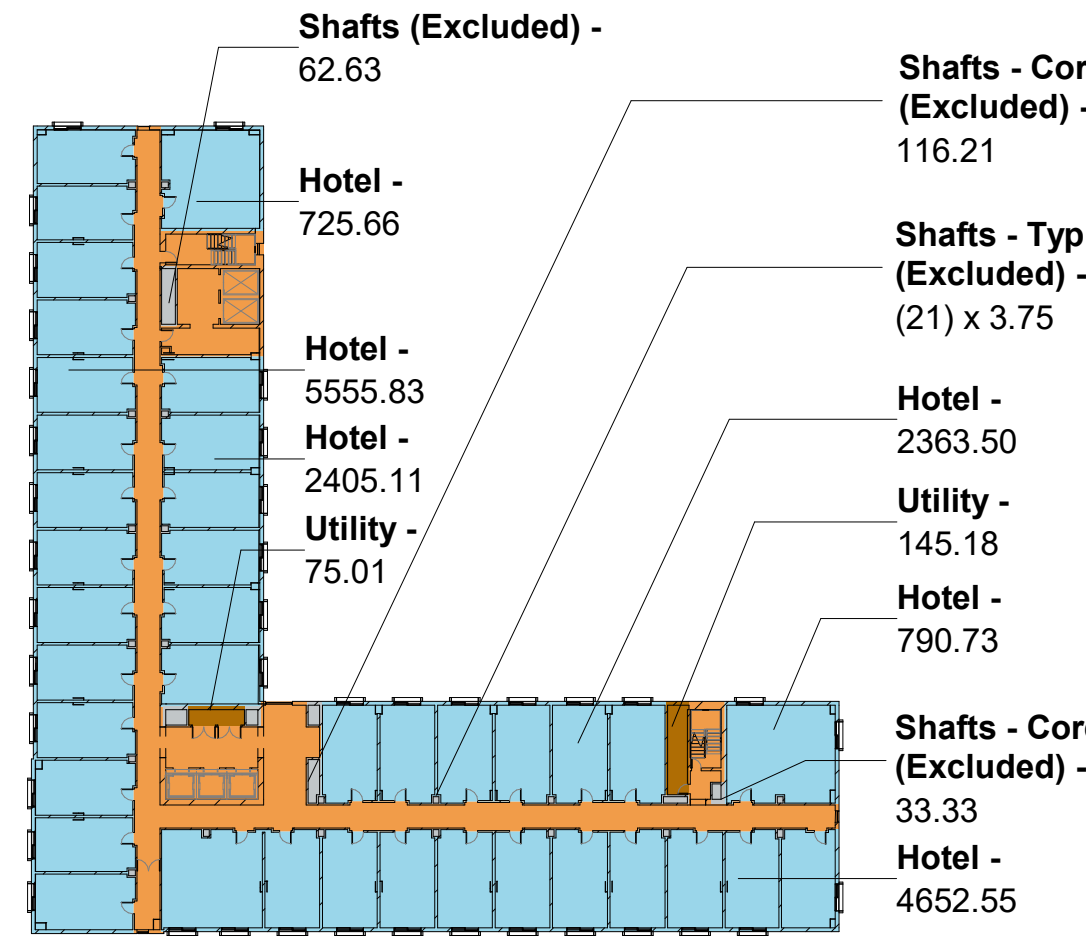
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09/07/2021	ACP

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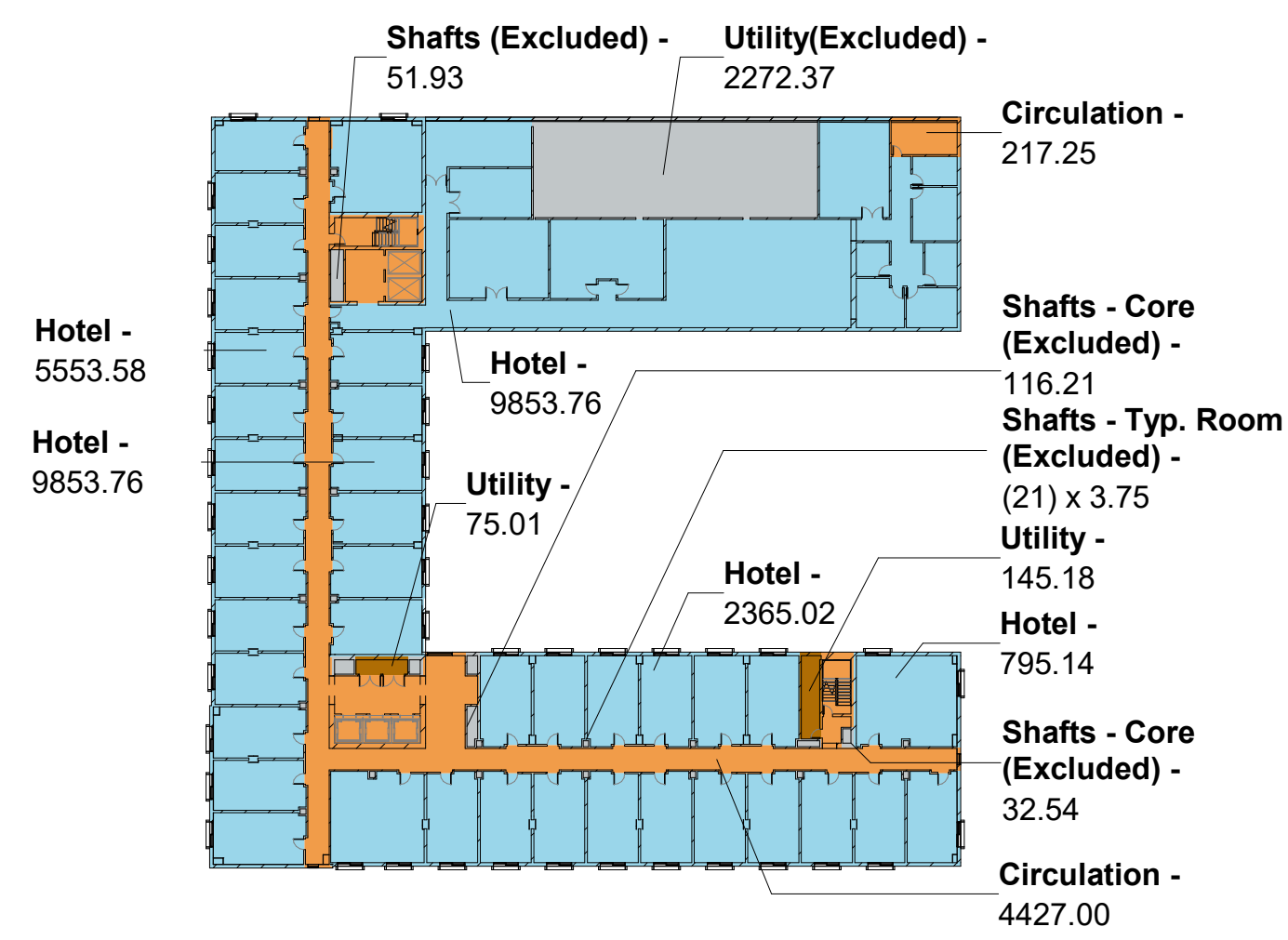
NO.	DATE	ISSUE

Key

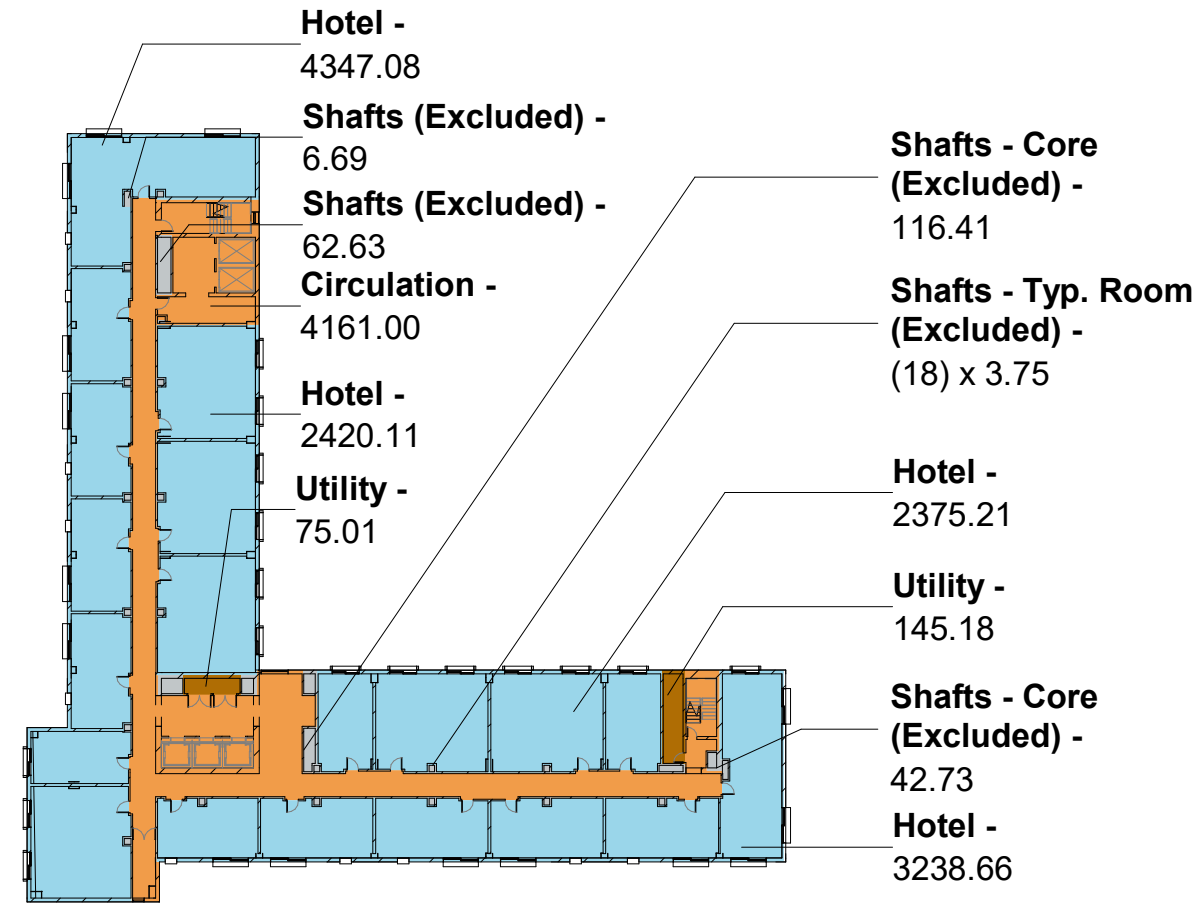
Hotel
Retail
Circulation/Lobby/Common Area
Utility/Service
Excluded From GFA



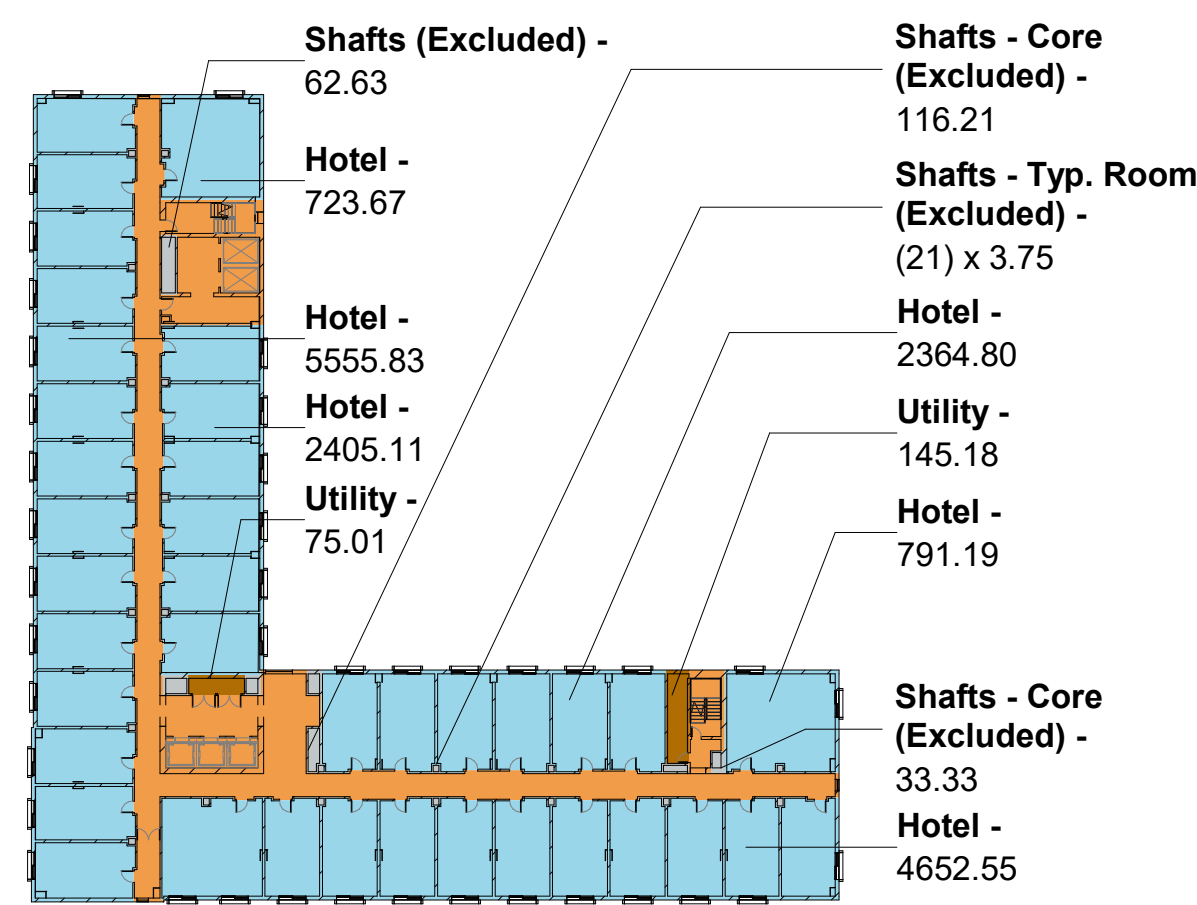
6 HOTEL LEVEL 5 - AREA PLAN
1" = 50'-0"



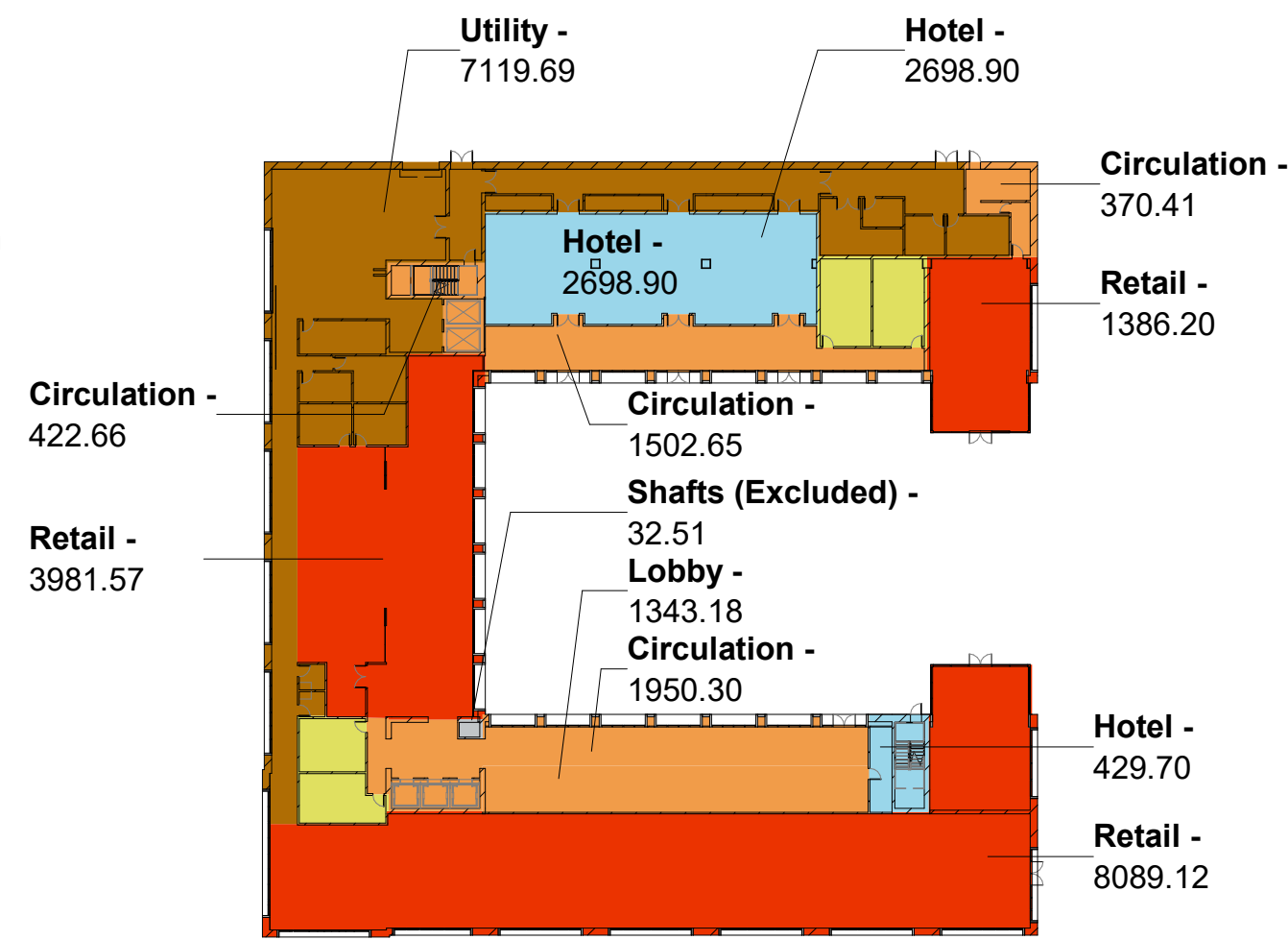
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1" = 50'-0"



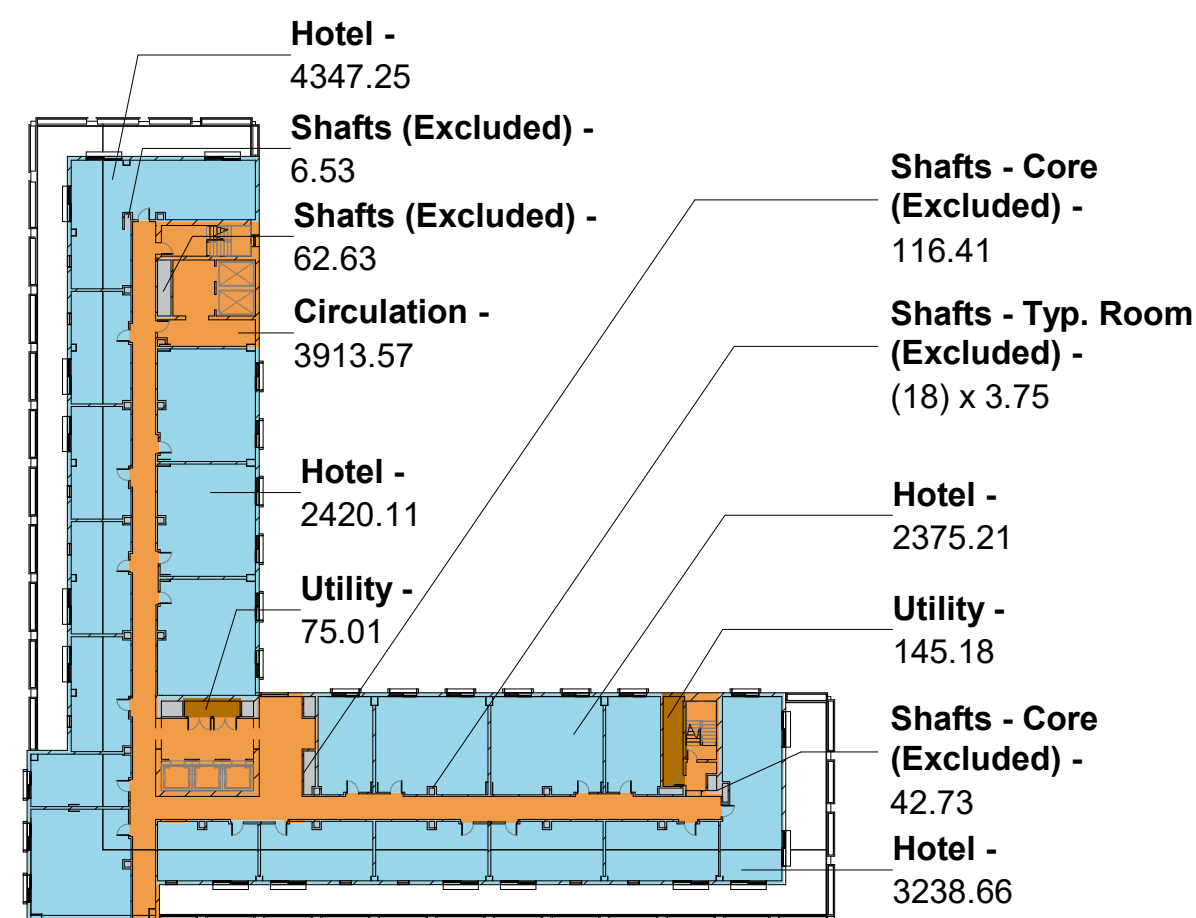
8 HOTEL LEVEL 7 - AREA PLAN
1" = 50'-0"



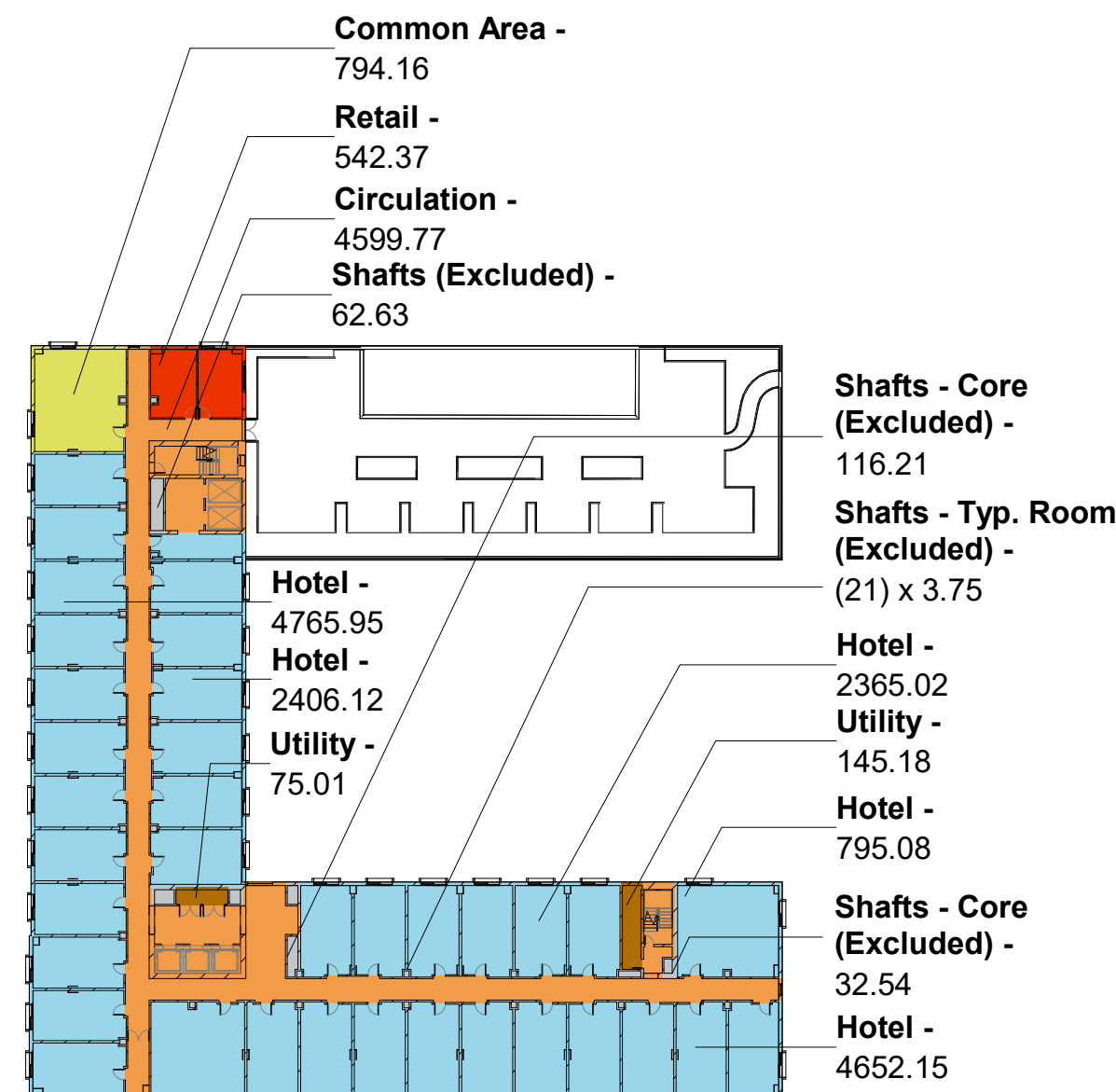
5 HOTEL LEVEL 4 - AREA PLAN
1" = 50'-0"



2 HOTEL LEVEL 1 - AREA PLAN
1" = 50'-0"



7 HOTEL LEVEL 6 - AREA PLAN
1" = 50'-0"



4 HOTEL LEVEL 3 - AREA PLAN
1" = 50'-0"



3 BASEMENT - AREA PLAN
1" = 50'-0"

ACP - GFA - Included	
Name	Area

BASEMENT 1	
Utility -	7517.82 SF

TOWN SQUARE LEVEL X	
Circulation -	4246.02 SF
Common Area -	1313.56 SF
Hotel -	3128.60 SF
Lobby -	1343.18 SF
Retail -	13456.89 SF
Utility -	7119.69 SF

HOTEL LEVEL 2	
Circulation -	4644.25 SF
Hotel -	23214.85 SF
Utility -	220.20 SF

HOTEL LEVEL 3	
Circulation -	4599.77 SF
Common Area -	794.16 SF
Hotel -	15193.03 SF
Retail -	542.37 SF
Utility -	220.20 SF

HOTEL LEVEL 4	
Circulation -	4634.75 SF
Hotel -	16493.15 SF
Utility -	220.20 SF

HOTEL LEVEL 5	
Circulation -	4634.52 SF
Hotel -	16493.38 SF
Utility -	220.20 SF

HOTEL LEVEL 6	
Circulation -	4161.00 SF
Hotel -	12381.23 SF
Utility -	220.20 SF

HOTEL LEVEL 7	
Circulation -	4161.00 SF
Hotel -	12381.07 SF
Utility -	220.20 SF
	163775.49 SF

ACP - GFA - Excluded	
Name	Area

BASEMENT 1	
Bicycle Parking (Excluded) -	320.25 SF
Circulation (Excluded) -	673.64 SF
Elevator & Stairs (Excluded) -	1571.60 SF
Parking (Excluded) -	60406.68 SF

TOWN SQUARE LEVEL X	
Shafts (Excluded) -	32.51 SF

HOTEL LEVEL 2	
Shafts (Excluded) -	280.30 SF
Utility(Excluded) -	2272.37 SF

HOTEL LEVEL 3	
Shafts (Excluded) -	290.93 SF

HOTEL LEVEL 4	
Shafts (Excluded) -	291.68 SF

HOTEL LEVEL 5	
Shafts (Excluded) -	291.68 SF

HOTEL LEVEL 6	
Shafts (Excluded) -	296.03 SF

HOTEL LEVEL 7	
Shafts (Excluded) -	296.19 SF
	67023.85 SF

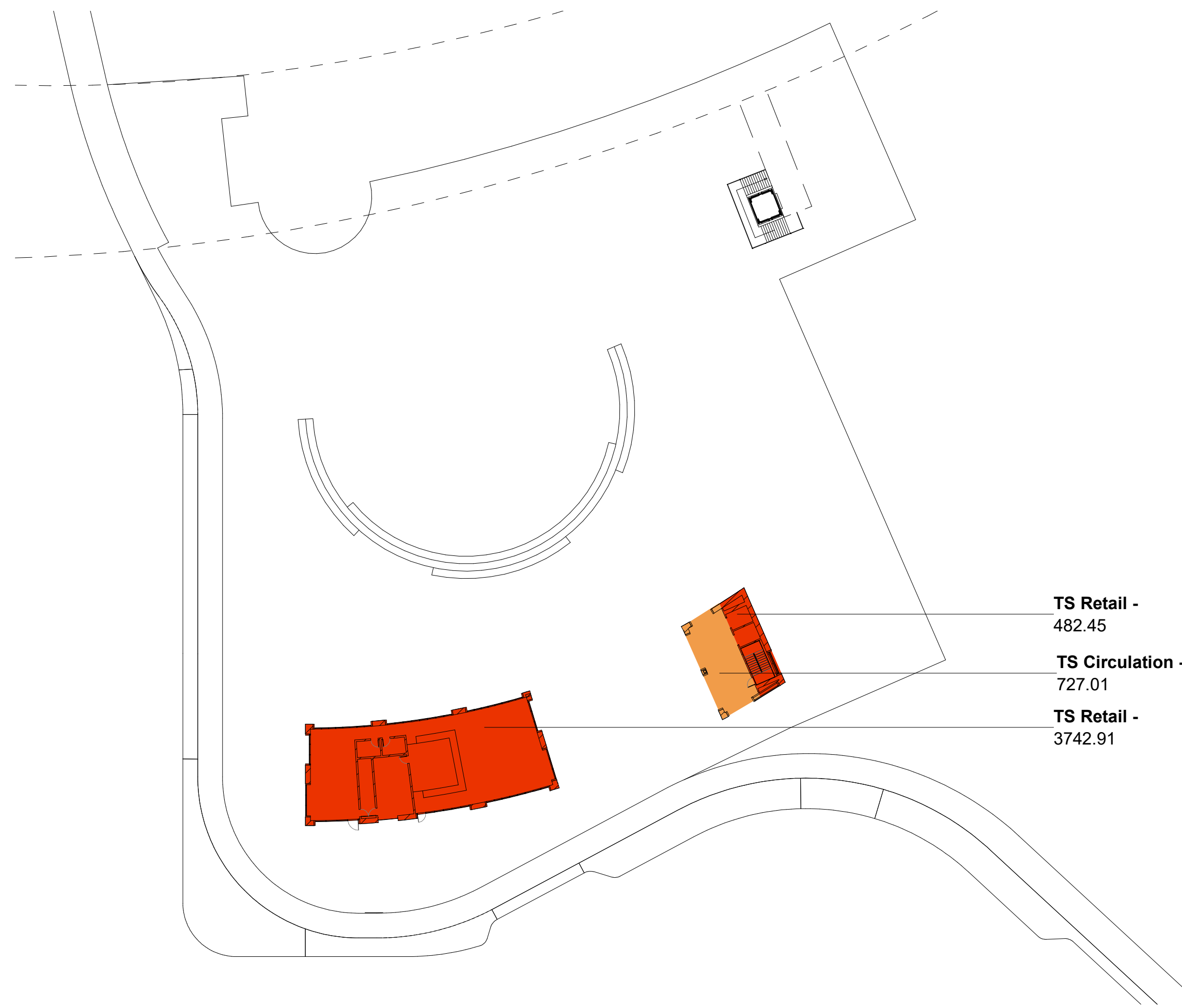
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ACP - TS - GFA - Included	
Name	Area

TOWN SQUARE LEVEL X	
TS Circulation -	727.01 SF
TS Retail -	4225.36 SF
	4952.38 SF

ACP - TS - GFA - Excluded	
Name	Area

BASEMENT 1	
TS Circulation (Excluded) -	401 SF
TS Elevator & Stairs (Excluded) -	1072 SF
TS Parking (Excluded) -	91685 SF
TS Shafts (Excluded) -	334 SF
	93492 SF

- TS Retail - 482.45
- TS Circulation - 727.01
- TS Retail - 3742.91

Key

- Retail
- Circulation/Lobby/Common Area
- Excluded From GFA

2 TOWN SQUARE PAVILION - LEVEL 1
1" = 40'-0"



- TS Circulation (Excluded) - 137.81
- TS Elevator & Stairs (Excluded) - 687.98
- TS Shafts (Excluded) - 333.56
- TS Parking (Excluded) - 91685.45
- TS Elevator & Stairs (Excluded) - 383.68
- TS Circulation (Excluded) - 263.15

1 TOWN SQUARE PAVILION - BASEMENT
1" = 40'-0"

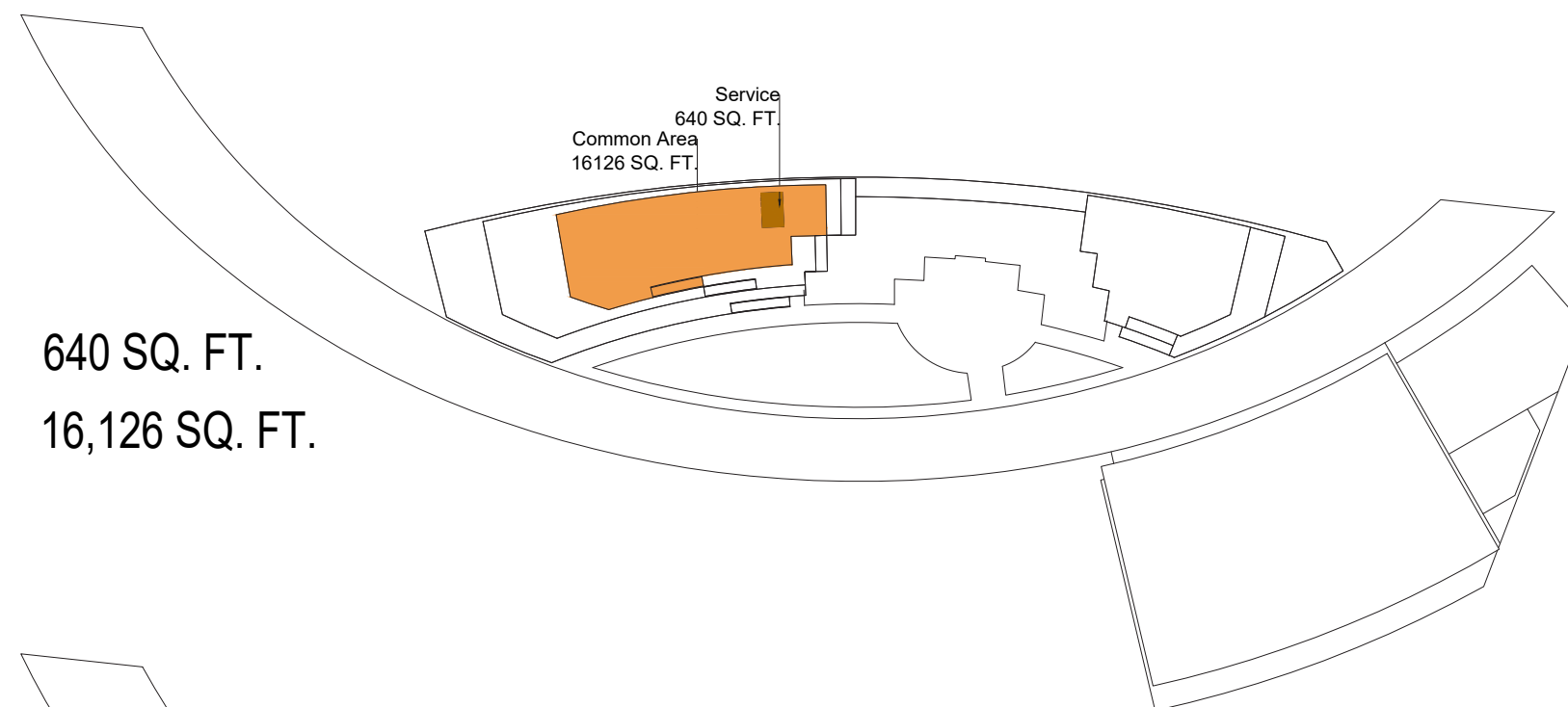
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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Utility / Service
Circulation / Common Area

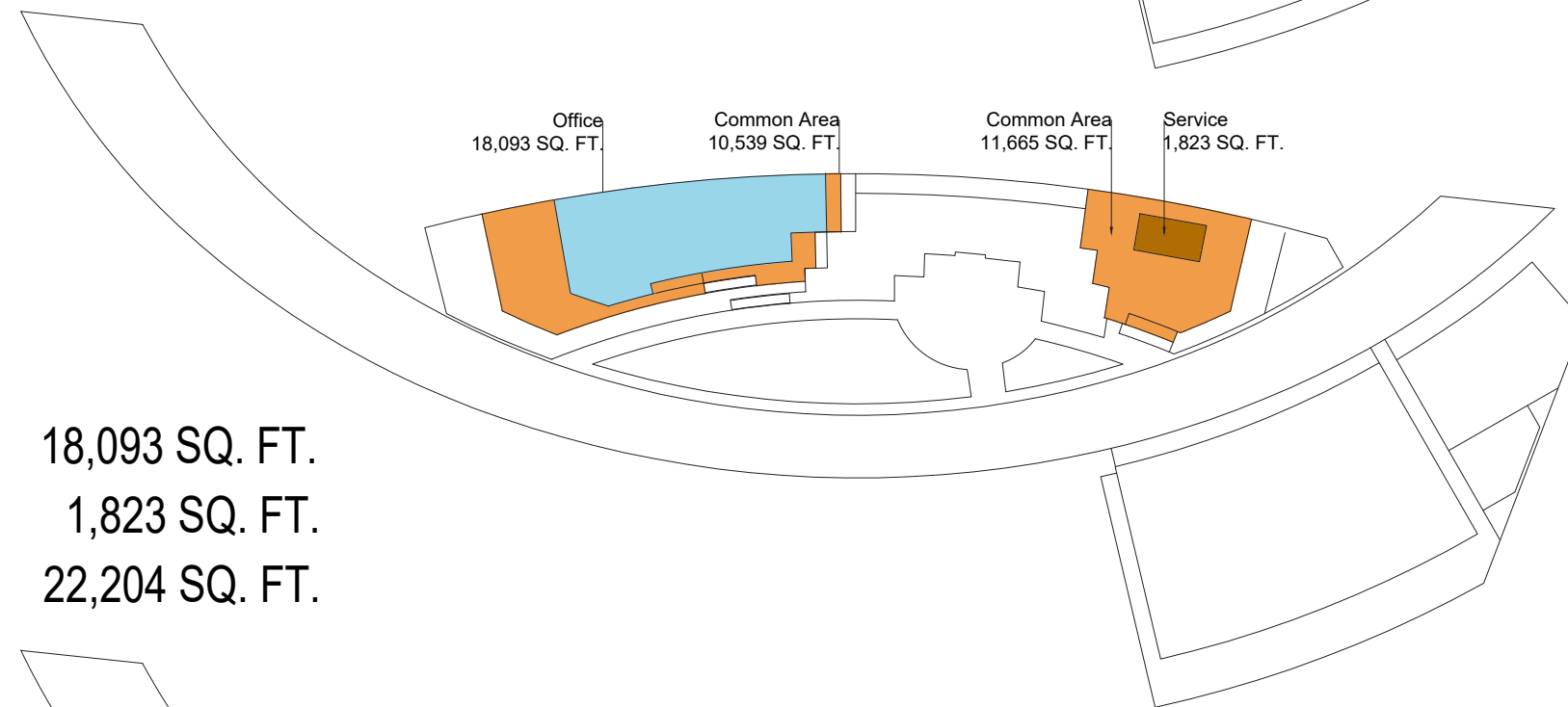
640 SQ. FT.
16,126 SQ. FT.



LEVEL 4

Office
Utility / Service
Circulation / Common Area

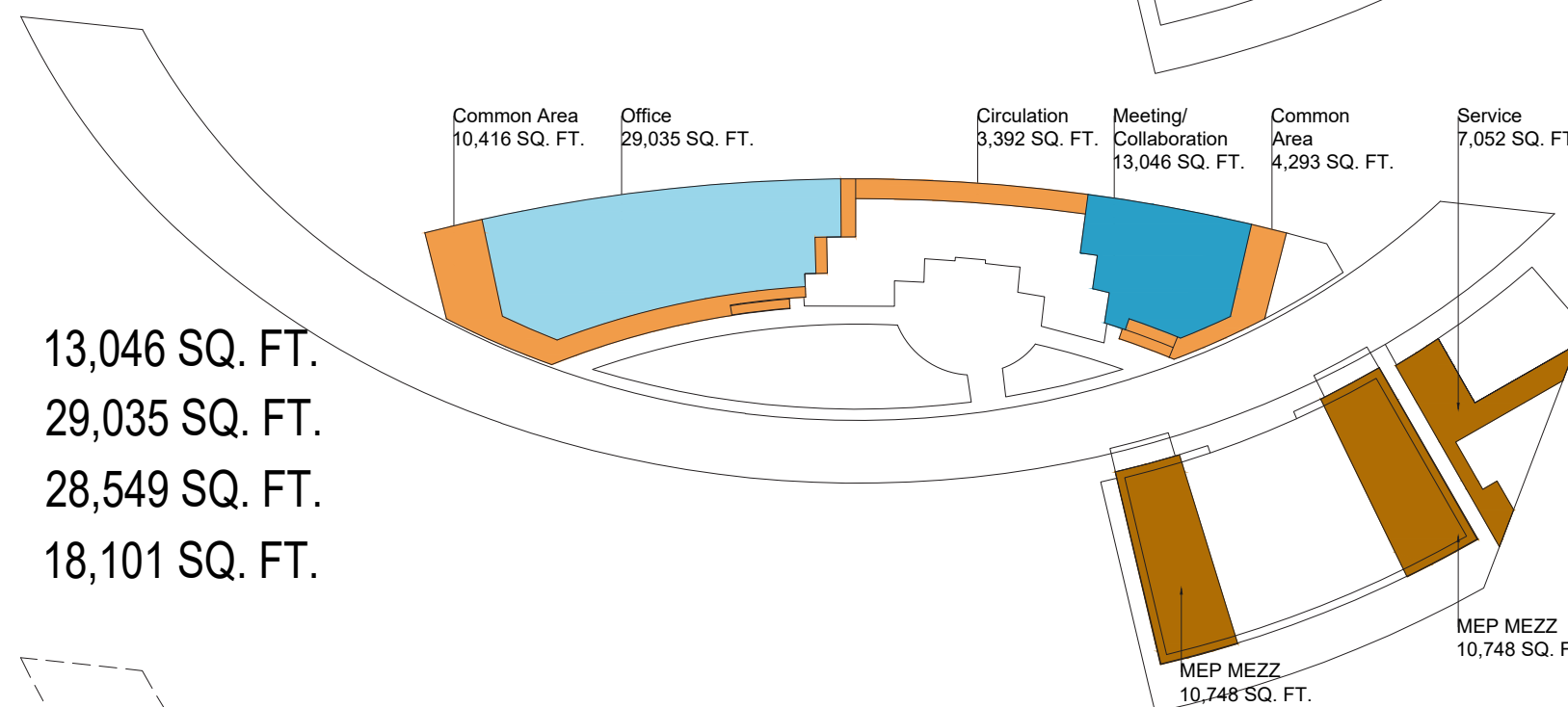
18,093 SQ. FT.
1,823 SQ. FT.
22,204 SQ. FT.



LEVEL 3

Meeting & Collaboration
Office
Utility / Service
Circulation / Common Area

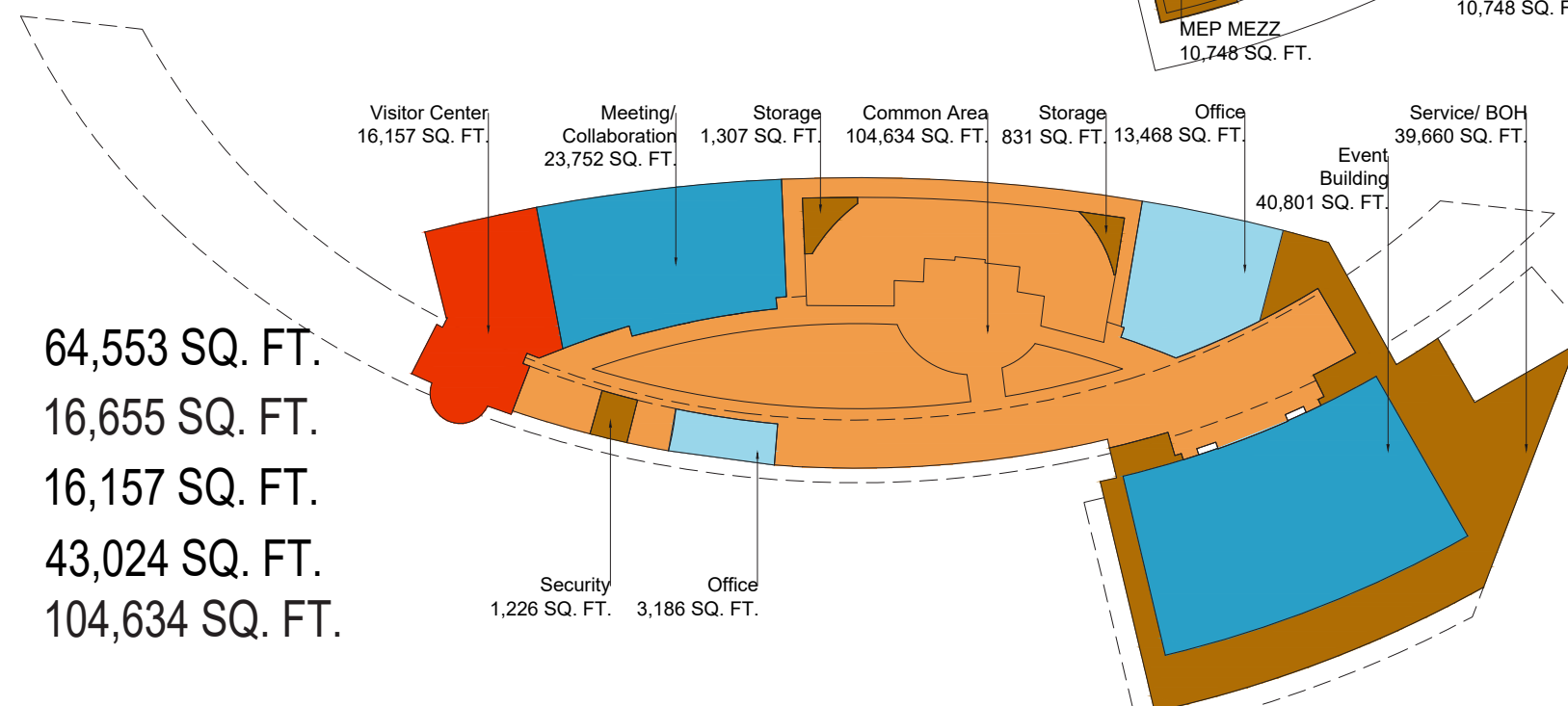
13,046 SQ. FT.
29,035 SQ. FT.
28,549 SQ. FT.
18,101 SQ. FT.



LEVEL 2

Meeting & Collaboration
Office
Retail
Utility/ Service
Circulation / Common Area

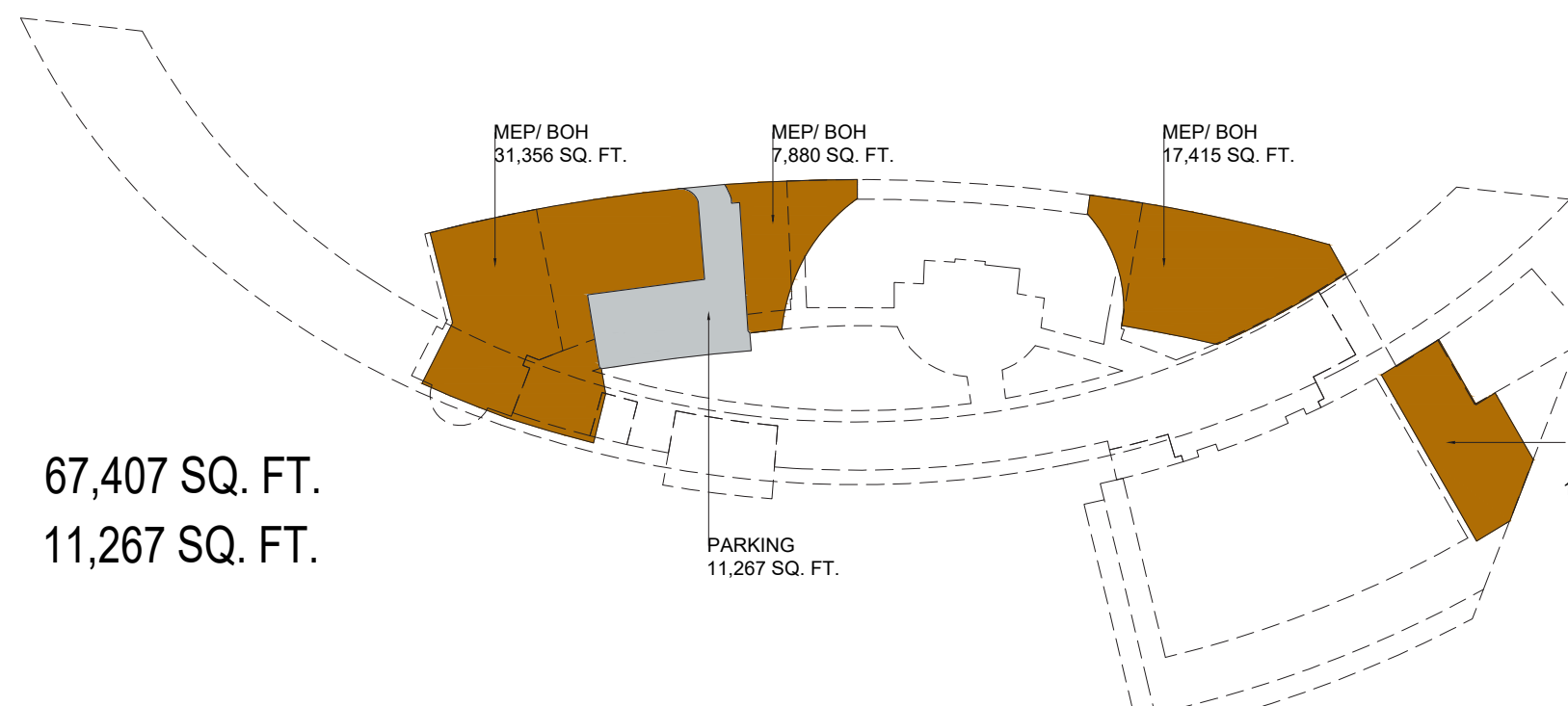
64,553 SQ. FT.
16,655 SQ. FT.
16,157 SQ. FT.
43,024 SQ. FT.
104,634 SQ. FT.



LEVEL 1

Utility/ Service
Excluded from GFA

67,407 SQ. FT.
11,267 SQ. FT.



LEVEL B1

Gross Areas by Floor		Total Gross Area (sf)
Level 4	Total	16,766
Common Area		16,766
Level 3	Total	42,120
Office		19,916
Common Area		22,204
Level 2	Total	88,731
Meeting & Collaboration		13,046
Office		29,035
Common Area		18,101
Service		28,549
Level 1	Total	245,023
Meeting & Collaboration		64,553
Office		16,655
Visitor Center		16,157
Utility/ Service		43,024
Common Area*		104,634
Basement	Total	78,674
Utility/ Service		67,407
Parking		11,267

TOTAL GFA 471,314 sf

Gross Areas by Floor Excluded from GFA per Zoning Code		Total Gross Area (sf)
Basement	Total	34,217
Basement MEP		22,950
Parking		11,267

TOTAL EXCLUDED GFA 34,217 sf

TOTAL GFA PER ZONING CODE 437,097 sf

1 SQUARE FOOTAGE AND BUILDING COVERAGE

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1
Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS 1/8" = 1'-0". DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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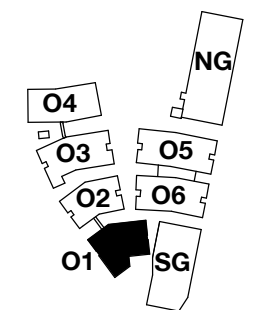
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NO.	DATE	ISSUE

DRAWING TITLE:
SQUARE FOOTAGE AND BUILDING COVERAGE

DRAWING NO:

A9.04



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion) & 8
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FEET/DIMENSIONS ONLY. FOR USE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DRAWING TITLE:
Square Footage Plan - Building O1

DRAWING NO:

A9.04.1

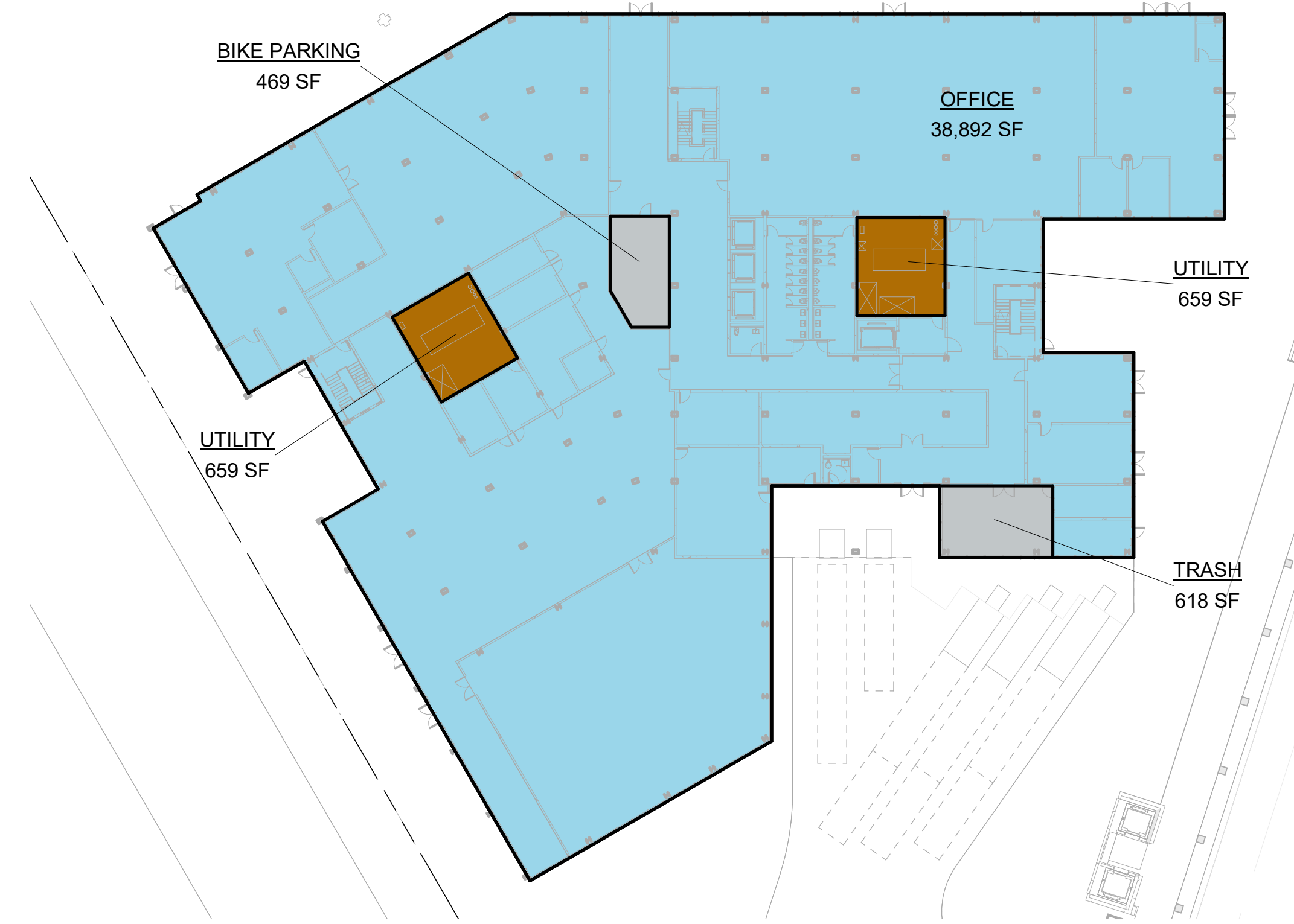
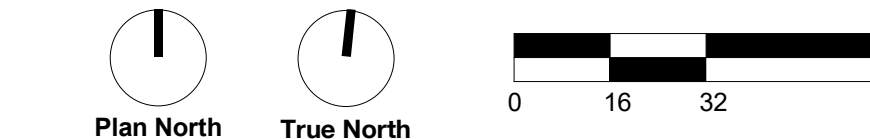
GROSS FLOOR AREA - O1 INCLUSIONS	
Name	Area
LEVEL 1 OFFICE	38,892 SF
LEVEL 2 OFFICE	34,464 SF
LEVEL 3 OFFICE	31,269 SF
LEVEL 4 OFFICE	27,853 SF
INCLUDED IN GFA PER ZONING CODE	132,477 SF

GROSS FLOOR AREA - O1 EXCLUSIONS	
Name	Area
LEVEL 1 BIKE PARKING	469 SF
LEVEL 1 TRASH	618 SF
LEVEL 1 UTILITY	1,318 SF
LEVEL 2 UTILITY	1,318 SF
LEVEL 3 UTILITY	1,318 SF
LEVEL 4 UTILITY	1,318 SF
EXCLUDED IN GFA PER ZONING CODE	6,360 SF

GFA BY LAND USE LEGEND	
SWATCH	USE
	Office
	Retail
	Circulation / Lobby / Common Area
	Utility / Service
	Excluded from GFA

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS	
1,128,792 SF	

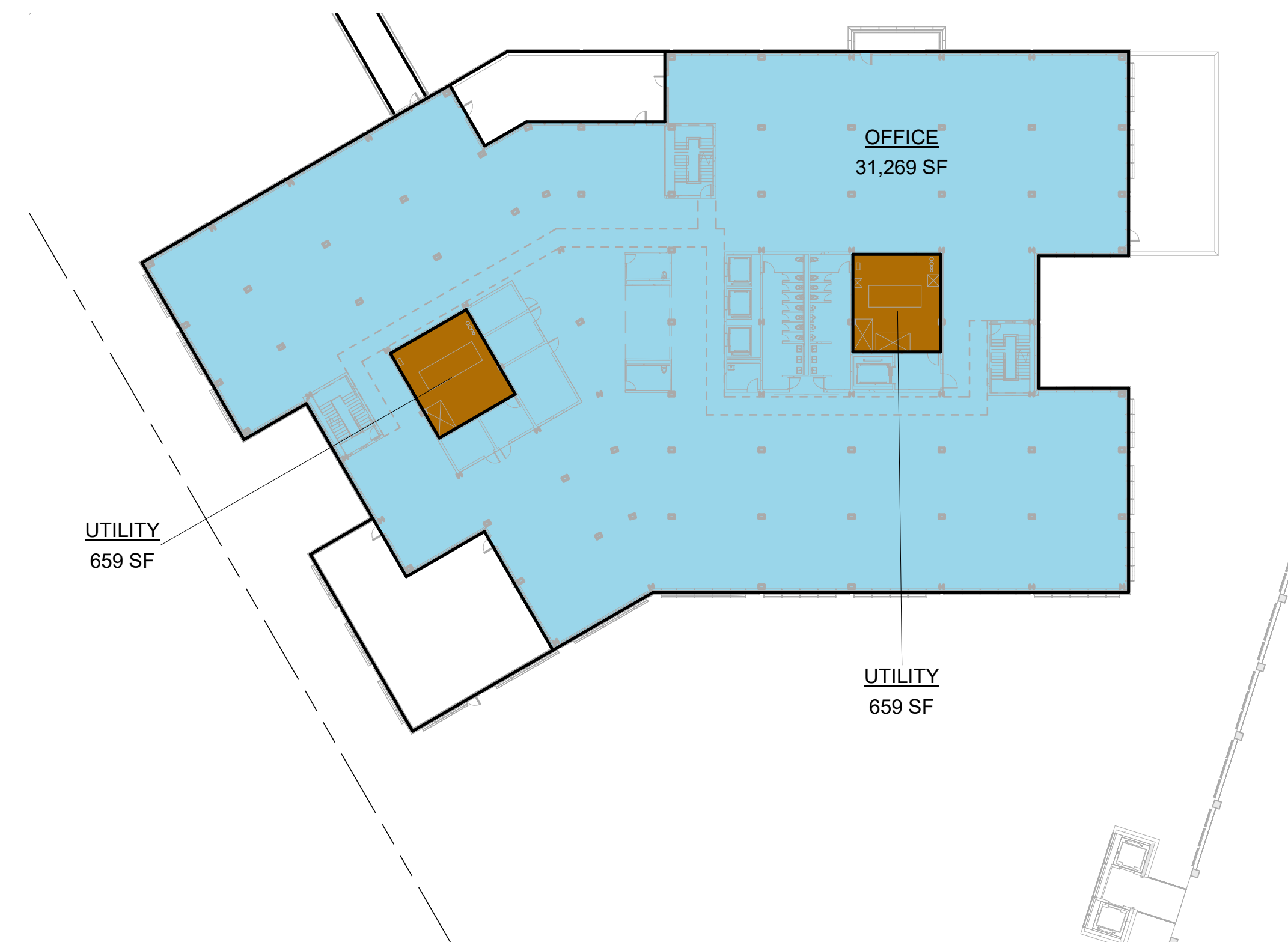
GROSS FLOOR AREA - TOTAL RETAIL*	
*Retail area not counted in Office GFA. See Master Plan CDP.	
28,258 SF	



1 LEVEL 1 - O1
1/32" = 1'-0"



2 LEVEL 2 - O1
1/32" = 1'-0"



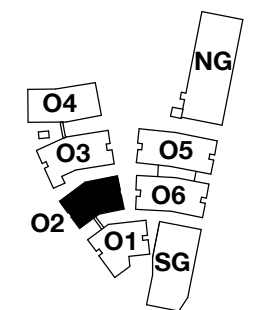
3 LEVEL 3 - O1
1/32" = 1'-0"



4 LEVEL 4 - O1
1/32" = 1'-0"

GFA SUMMARY - TOTAL OFFICE CAMPUS

GROSS FLOOR AREA - O1 TOTALS / LEVEL		GROSS FLOOR AREA - O2 TOTALS / LEVEL		GROSS FLOOR AREA - O3 TOTALS / LEVEL		GROSS FLOOR AREA - O4 TOTALS / LEVEL		GROSS FLOOR AREA - O5 TOTALS / LEVEL		GROSS FLOOR AREA - O6 TOTALS / LEVEL		GROSS FLOOR AREA - PAVILION TOTALS / LEVEL	
Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	38,892 SF	LEVEL 1	27,977 SF	LEVEL 1	37,138 SF	LEVEL 1	35,846 SF	LEVEL 1	50,895 SF	LEVEL 1	47,839 SF	LEVEL 1	4,178 SF
LEVEL 2	34,464 SF	LEVEL 2	35,584 SF	LEVEL 2	46,449 SF	LEVEL 2	37,737 SF	LEVEL 2	48,434 SF	LEVEL 2	44,498 SF	LEVEL 2	4,178 SF
LEVEL 3	31,269 SF	LEVEL 3	34,322 SF	LEVEL 3	45,566 SF	LEVEL 3	35,843 SF	LEVEL 3	49,372 SF	LEVEL 3	44,498 SF	TOTAL	4,178 SF
LEVEL 4	27,853 SF	LEVEL 4	34,322 SF	LEVEL 4	42,408 SF	LEVEL 4	31,109 SF	LEVEL 4	45,142 SF	LEVEL 4	41,411 SF		
TOTAL	132,477 SF	LEVEL 5	28,066 SF	LEVEL 5	38,520 SF	LEVEL 5	28,275 SF	LEVEL 5	42,308 SF	LEVEL 5	38,577 SF		
		TOTAL	160,271 SF	TOTAL	210,081 SF	TOTAL	168,810 SF	TOTAL	236,151 SF	TOTAL	216,824 SF		



SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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GROSS FLOOR AREA - O2 INCLUSIONS

Name	Area
LEVEL 1	
OFFICE	27,977 SF
OFFICE	27,977 SF
LEVEL 2	
OFFICE	35,584 SF
OFFICE	35,584 SF
LEVEL 3	
OFFICE	34,322 SF
OFFICE	34,322 SF
LEVEL 4	
OFFICE	34,322 SF
OFFICE	34,322 SF
LEVEL 5	
OFFICE	28,066 SF
OFFICE	28,066 SF
INCLUDED IN GFA PER ZONING CODE	160,271 SF

GROSS FLOOR AREA - O2 EXCLUSIONS

Name	Area
LEVEL 1	
BIKE PARKING	427 SF
TRASH	587 SF
UTILITY	1,414 SF
UTILITY	2,428 SF
LEVEL 2	
UTILITY	1,414 SF
UTILITY	1,414 SF
LEVEL 3	
UTILITY	1,414 SF
UTILITY	1,414 SF
LEVEL 4	
UTILITY	1,414 SF
UTILITY	1,414 SF
LEVEL 5	
UTILITY	1,414 SF
UTILITY	1,414 SF
EXCLUDED FROM GFA PER ZONING CODE	8,085 SF

GROSS FLOOR AREA - O2 RETAIL INCLUSIONS*

*Retail area not counted in Office GFA. See Master Plan CDP.

Name	Area
RETAIL	6,470 SF
INCLUDED IN GFA PER ZONING CODE	6,470 SF

GROSS FLOOR AREA - O2 RETAIL EXCLUSIONS*

*Retail area not counted in Office GFA. See Master Plan CDP.

Name	Area
RETAIL TRASH	584 SF
EXCLUDED FROM GFA PER ZONING CODE	584 SF

GFA BY LAND USE LEGEND

SWATCH	USE
	Office
	Retail
	Circulation / Lobby / Common Area
	Utility / Service
	Excluded from GFA

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS

1,128,792 SF

GROSS FLOOR AREA - TOTAL RETAIL*

*Retail area not counted in Office GFA. See Master Plan CDP.

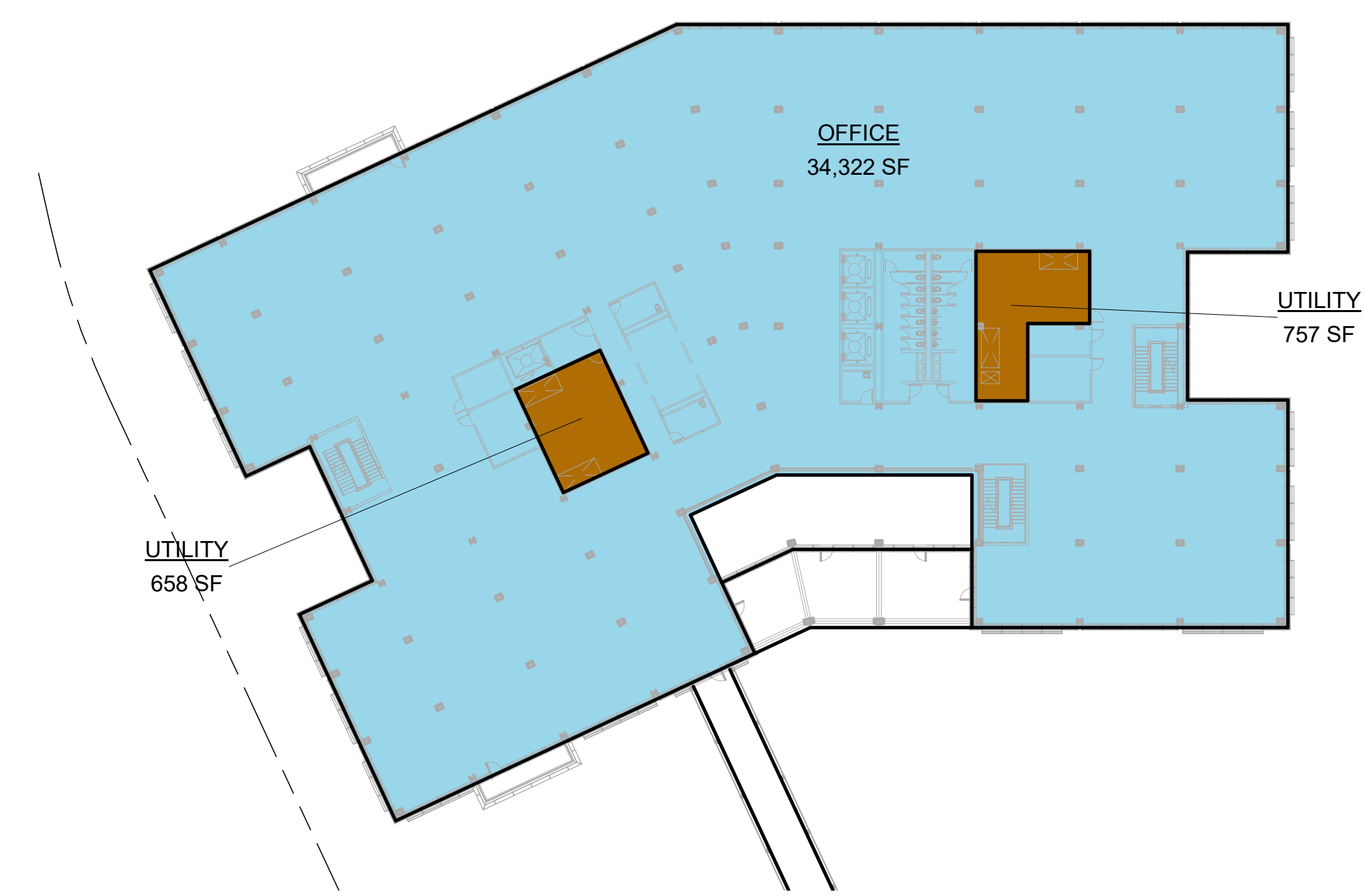
28,258 SF



1 LEVEL 1 - O2
 1/32" = 1'-0"



2 LEVEL 2 - O2
 1/32" = 1'-0"



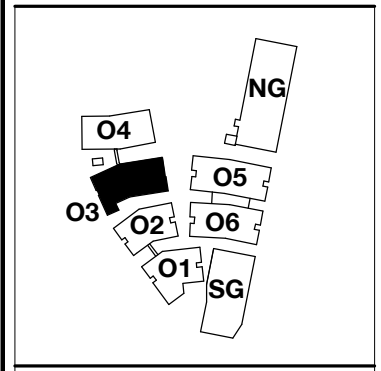
3 LEVEL 3 - O2
 1/32" = 1'-0"



4 LEVEL 4 - O2
 1/32" = 1'-0"



5 LEVEL 5 - O2
 1/32" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
09/07/2021	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Square Footage Plan -
 Building O3

DRAWING NO:
A9.04.3

GROSS FLOOR AREA - O3 INCLUSIONS	
Name	Area
LEVEL 1 OFFICE	37,138 SF
LEVEL 2 OFFICE	46,449 SF
LEVEL 3 OFFICE	45,566 SF
LEVEL 4 OFFICE	42,408 SF
LEVEL 5 OFFICE	38,520 SF
INCLUDED IN GFA PER ZONING CODE	210,081 SF

GROSS FLOOR AREA - O3 EXCLUSIONS	
Name	Area
LEVEL 1 BIKE PARKING	368 SF
LEVEL 1 TRASH	1,551 SF
LEVEL 1 UTILITY	1,354 SF
LEVEL 2 UTILITY	1,354 SF
LEVEL 3 UTILITY	1,354 SF
LEVEL 4 UTILITY	1,354 SF
LEVEL 5 UTILITY	1,354 SF
EXCLUDED IN GFA PER ZONING CODE	8,688 SF

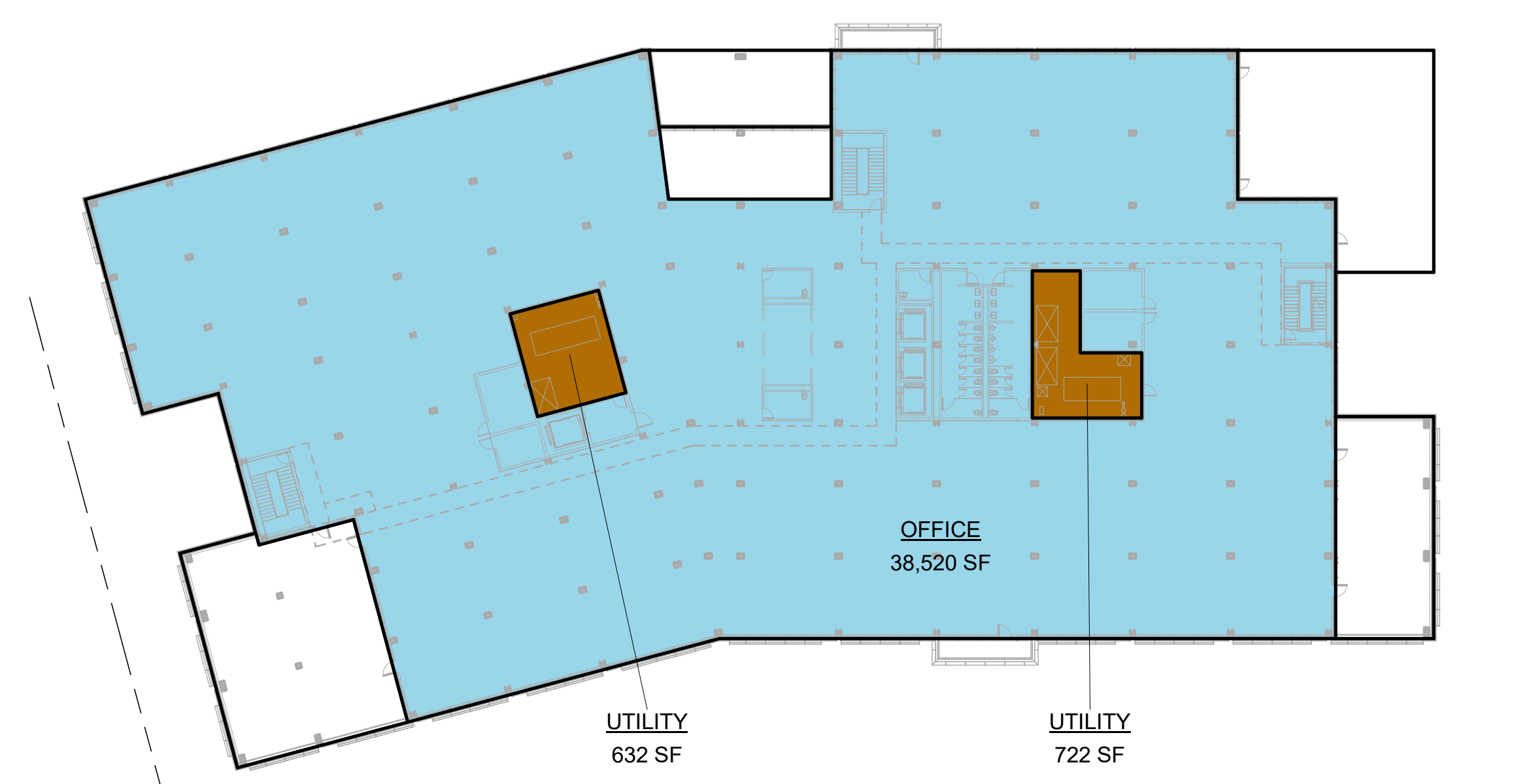
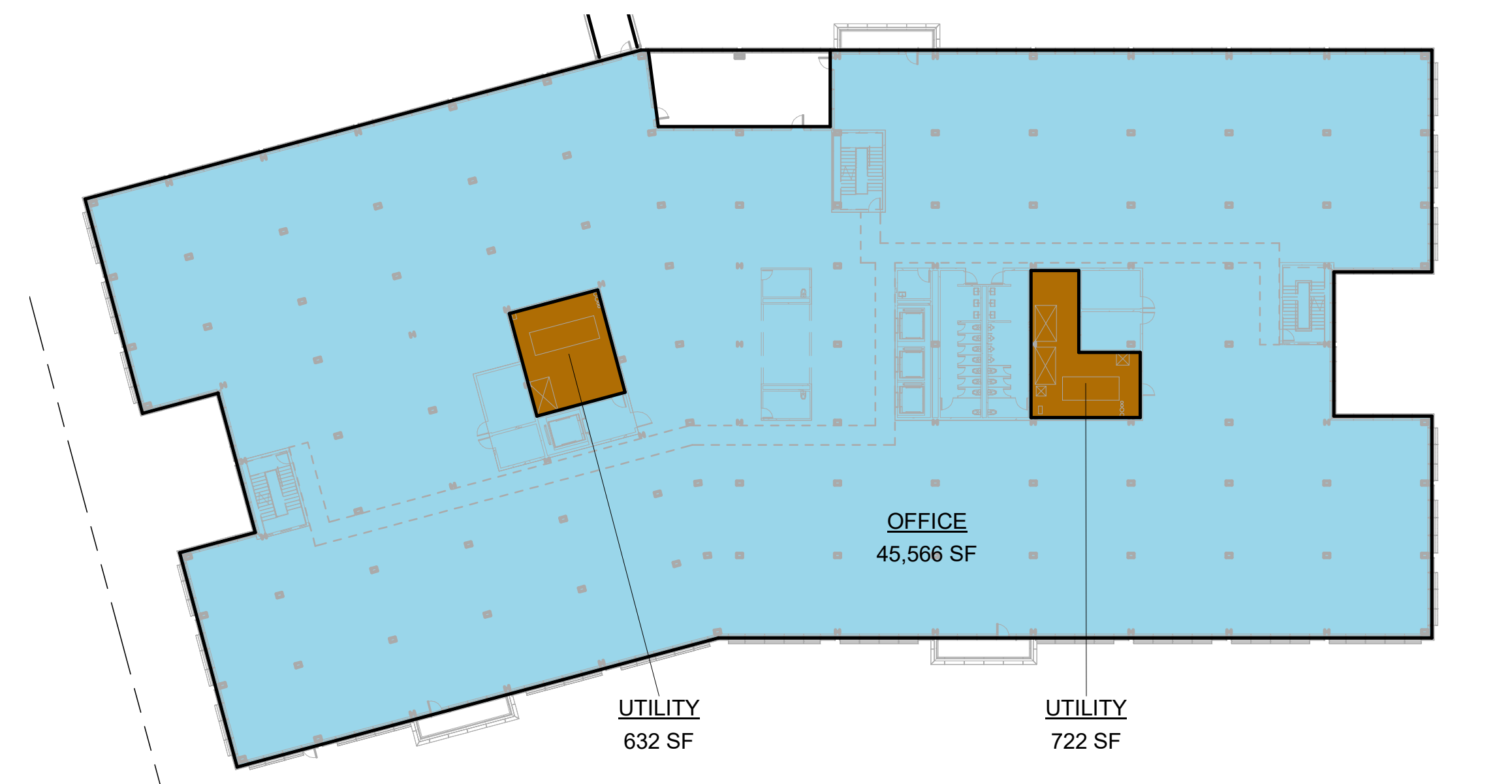
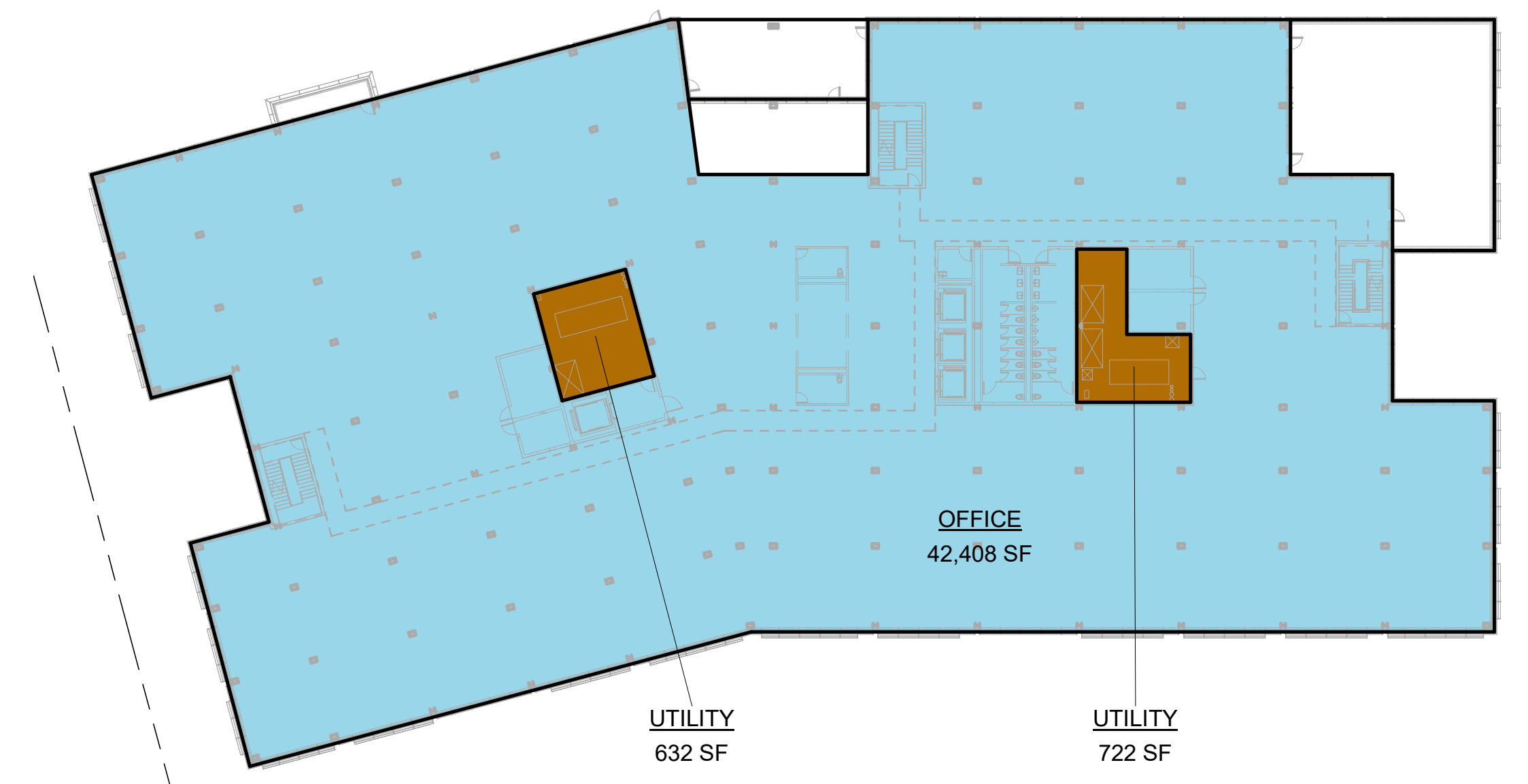
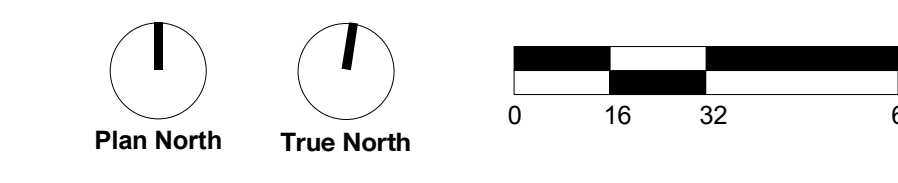
GROSS FLOOR AREA - O3 RETAIL INCLUSIONS*	
Name	Area
RETAIL	7,638 SF
INCLUDED IN GFA PER ZONING CODE	7,638 SF

GROSS FLOOR AREA - O3 RETAIL EXCLUSIONS*	
Name	Area
RETAIL TRASH	573 SF
EXCLUDED FROM GFA PER ZONING CODE	573 SF

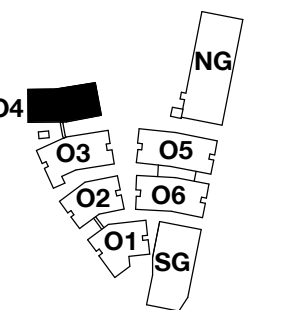
GFA BY LAND USE LEGEND	
SWATCH	USE
	Office
	Retail
	Circulation / Lobby / Common Area
	Utility / Service
	Excluded from GFA

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS
1,128,792 SF

GROSS FLOOR AREA - TOTAL RETAIL*	
<small>*Retail area not counted in Office GFA. See Master Plan CDP.</small>	
28,258 SF	



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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:
 Square Footage Plan - Building O4

DRAWING NO:
A9.04.4

GROSS FLOOR AREA - O4 INCLUSIONS

Name	Area
LEVEL 1 OFFICE	35,846 SF
LEVEL 2 OFFICE	37,737 SF
LEVEL 3 OFFICE	35,843 SF
LEVEL 4 OFFICE	31,109 SF
LEVEL 5 OFFICE	28,275 SF
INCLUDED IN GFA PER ZONING CODE	168,810 SF

GROSS FLOOR AREA - O4 EXCLUSIONS

Name	Area
LEVEL 1 BIKE PARKING	421 SF
LEVEL 1 TRASH	1,425 SF
LEVEL 1 UTILITY	1,357 SF
LEVEL 2 UTILITY	1,357 SF
LEVEL 3 UTILITY	1,357 SF
LEVEL 4 UTILITY	1,357 SF
LEVEL 5 UTILITY	1,357 SF
EXCLUDED IN GFA PER ZONING CODE	8,632 SF

GROSS FLOOR AREA - O4 RETAIL INCLUSIONS*
*Retail area not counted in Office GFA. See Master Plan CDP.

Name	Area
RETAIL	4,258 SF
RETAIL UTILITY	9,891 SF
INCLUDED IN GFA PER ZONING CODE	14,149 SF

GROSS FLOOR AREA - O4 RETAIL EXCLUSIONS*
*Retail area not counted in Office GFA. See Master Plan CDP.

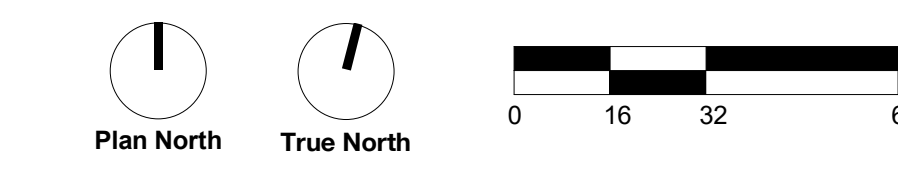
Name	Area
RETAIL TRASH	621 SF
RETAIL UTILITY	1,360 SF
BIKE PARKING	302 SF
EXCLUDED FROM GFA PER ZONING CODE	2,283 SF

GFA BY LAND USE LEGEND

SWATCH	USE
[Blue Swatch]	Office
[Red Swatch]	Retail
[Orange Swatch]	Circulation / Lobby / Common Area
[Brown Swatch]	Utility / Service
[Grey Swatch]	Excluded from GFA

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS
 1,128,792 SF

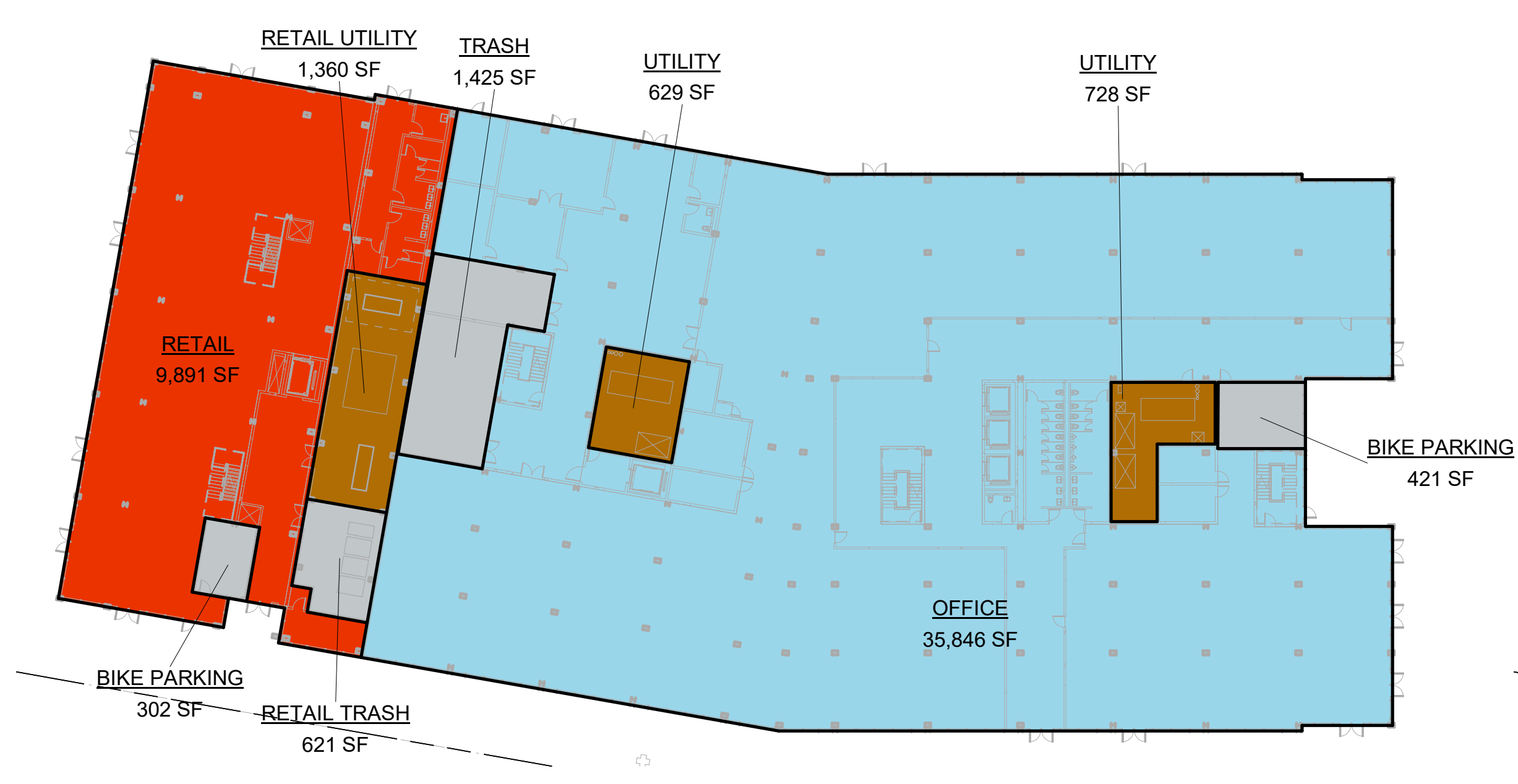
GROSS FLOOR AREA - TOTAL RETAIL*
*Retail area not counted in Office GFA. See Master Plan CDP.
 28,258 SF



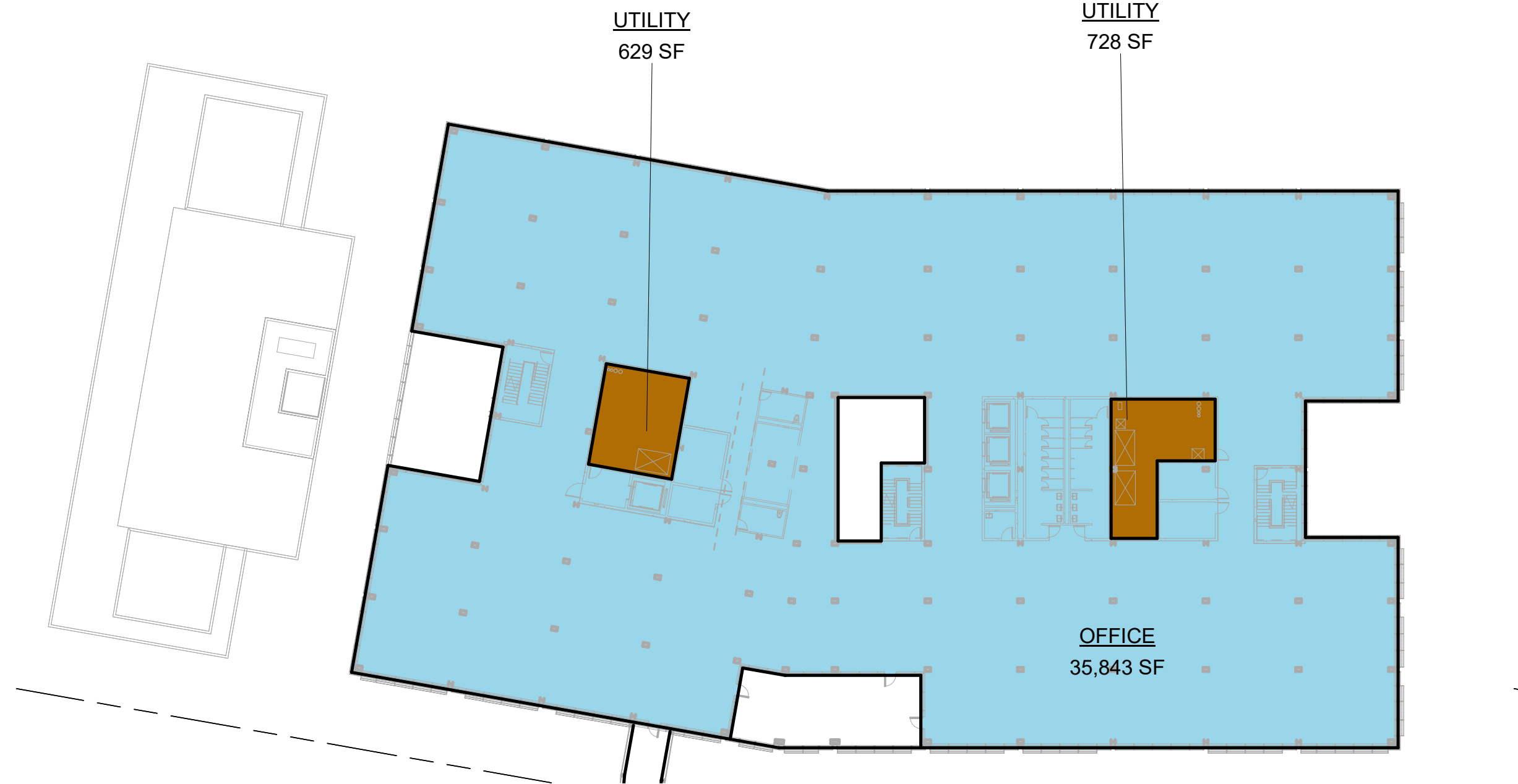
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4 LEVEL 4 - O4
 1/32" = 1'-0"



1 LEVEL 1 - O4
 1/32" = 1'-0"

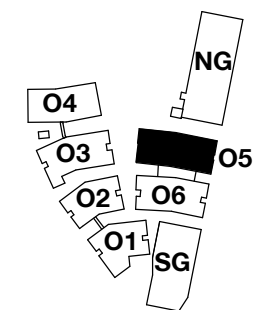


3 LEVEL 3 - O4
 1/32" = 1'-0"



5 LEVEL 5 - O4
 1/32" = 1'-0"

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: As indicated
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NO.	DATE	ISSUE

DRAWING TITLE:
 Square Footage Plan -
 Building O5

DRAWING NO:
A9.04.5

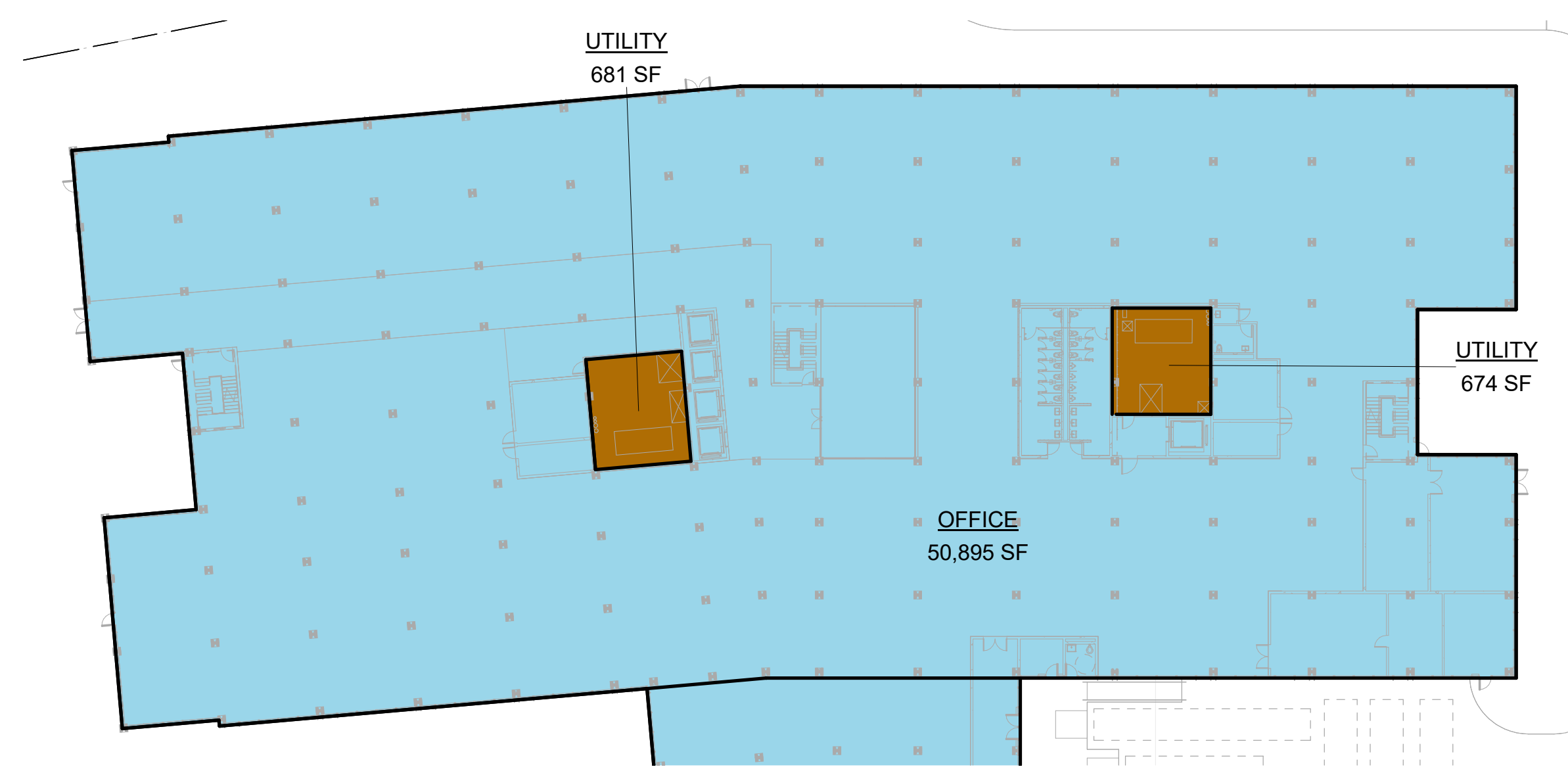
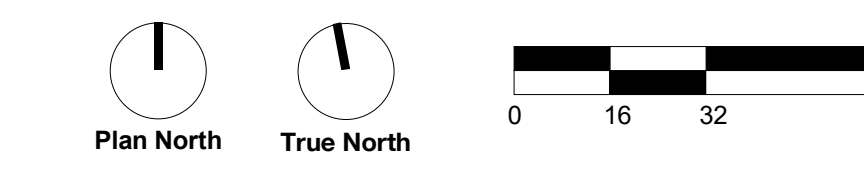
GROSS FLOOR AREA - O5 INCLUSIONS	
Name	Area
LEVEL 1 OFFICE	50,895 SF
LEVEL 2 OFFICE	48,434 SF
LEVEL 3 OFFICE	49,372 SF
LEVEL 4 OFFICE	45,142 SF
LEVEL 5 OFFICE	42,308 SF
INCLUDED IN GFA PER ZONING CODE	236,151 SF

GROSS FLOOR AREA - O5 EXCLUSIONS	
Name	Area
LEVEL 1 UTILITY	1,355 SF
LEVEL 2 UTILITY	3,195 SF
LEVEL 3 UTILITY	2,256 SF
LEVEL 4 UTILITY	2,256 SF
LEVEL 5 UTILITY	2,256 SF
EXCLUDED IN GFA PER ZONING CODE	11,319 SF

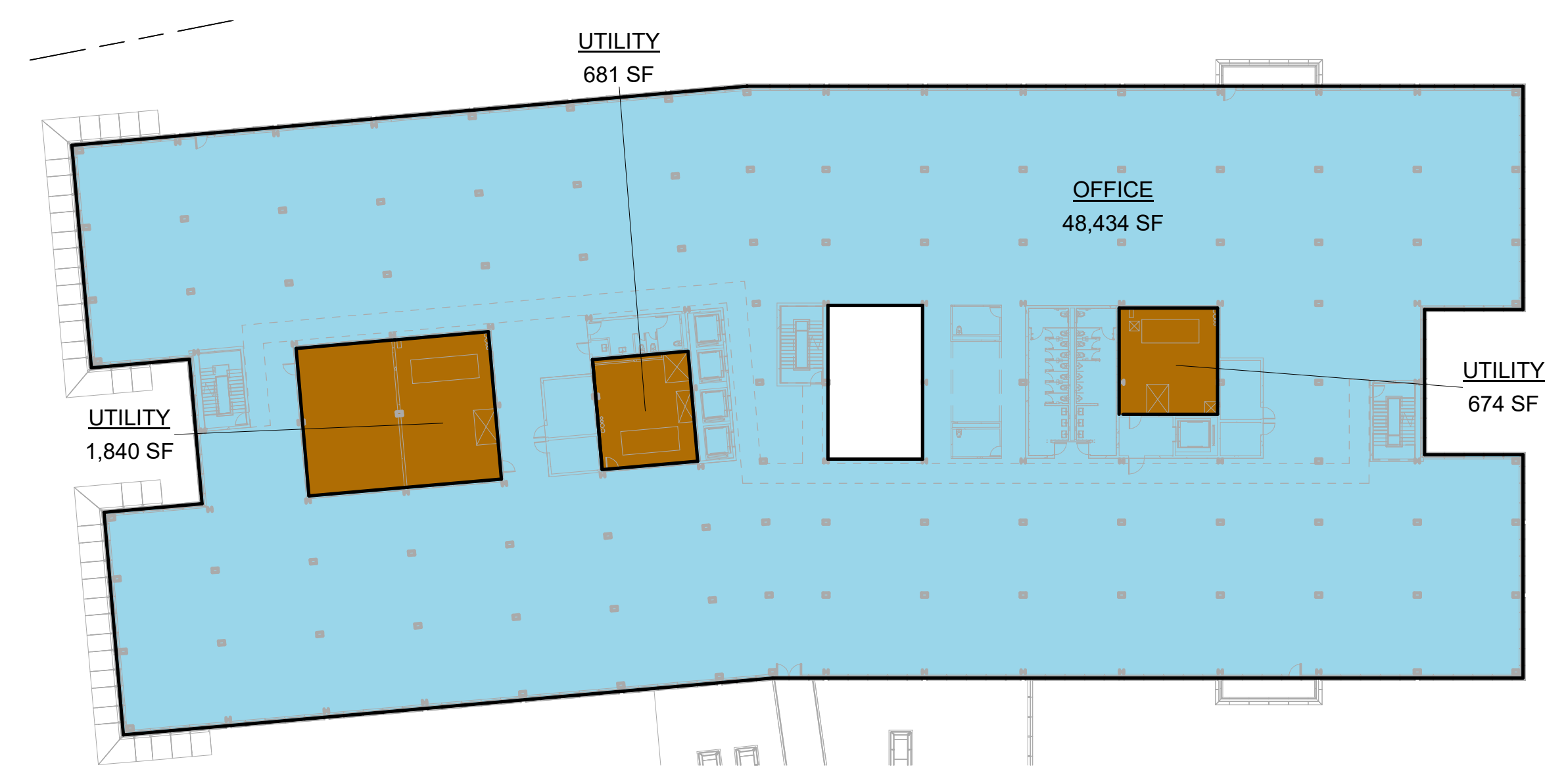
GFA BY LAND USE LEGEND	
SWATCH	USE
	Office
	Retail
	Circulation / Lobby / Common Area
	Utility / Service
	Excluded from GFA

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS
 1,128,792 SF

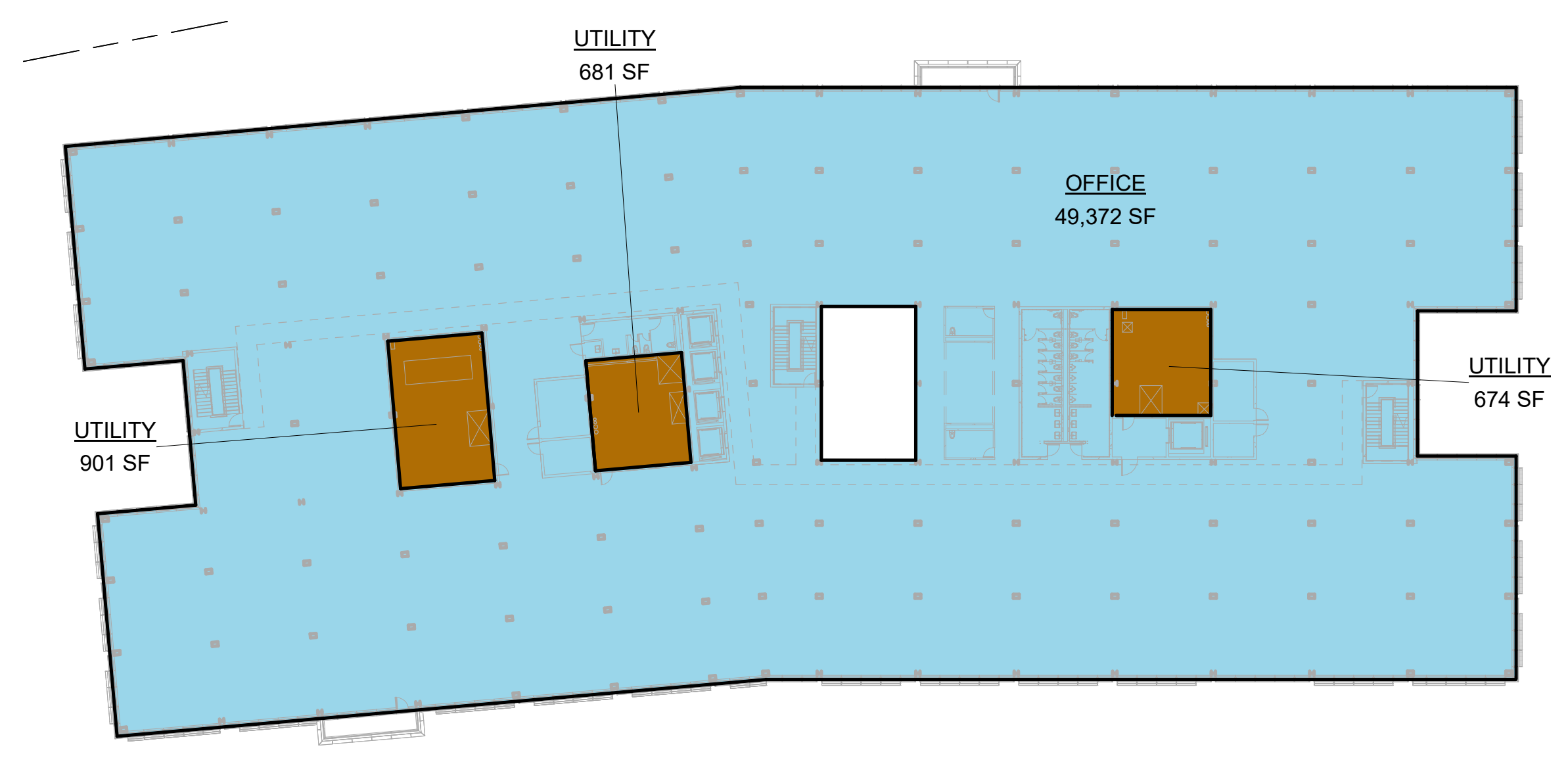
GROSS FLOOR AREA - TOTAL RETAIL*
*Retail area not counted in Office GFA. See Master Plan CDP.
 28,258 SF



1 LEVEL 1 - O5
 1/32" = 1'-0"



2 LEVEL 2 - O5
 1/32" = 1'-0"



3 LEVEL 3 - O5
 1/32" = 1'-0"

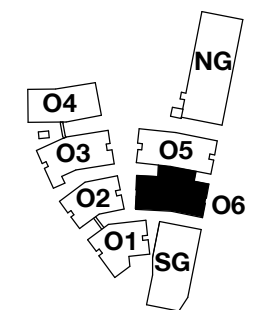


4 LEVEL 4 - O5
 1/32" = 1'-0"



5 LEVEL 5 - O5
 1/32" = 1'-0"

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: As indicated
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DRAWING TITLE:
 Square Footage Plan -
 Building O6

DRAWING NO:
A9.04.6

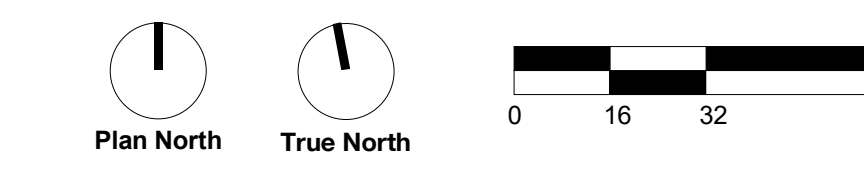
GROSS FLOOR AREA - O6 INCLUSIONS	
Name	Area
LEVEL 1 OFFICE	47,839 SF
LEVEL 2 OFFICE	44,498 SF
LEVEL 3 OFFICE	44,498 SF
LEVEL 4 OFFICE	41,411 SF
LEVEL 5 OFFICE	38,577 SF
INCLUDED IN GFA PER ZONING CODE	216,824 SF

GROSS FLOOR AREA - O6 EXCLUSIONS	
Name	Area
LEVEL 1 BIKE PARKING	377 SF
LEVEL 1 TRASH	2,058 SF
LEVEL 1 UTILITY	2,295 SF
LEVEL 2 UTILITY	2,295 SF
LEVEL 3 UTILITY	2,295 SF
LEVEL 4 UTILITY	2,295 SF
LEVEL 5 UTILITY	2,295 SF
EXCLUDED IN GFA PER ZONING CODE	13,908 SF

GFA BY LAND USE LEGEND	
SWATCH	USE
	Office
	Retail
	Circulation / Lobby / Common Area
	Utility / Service
	Excluded from GFA

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS
 1,128,792 SF

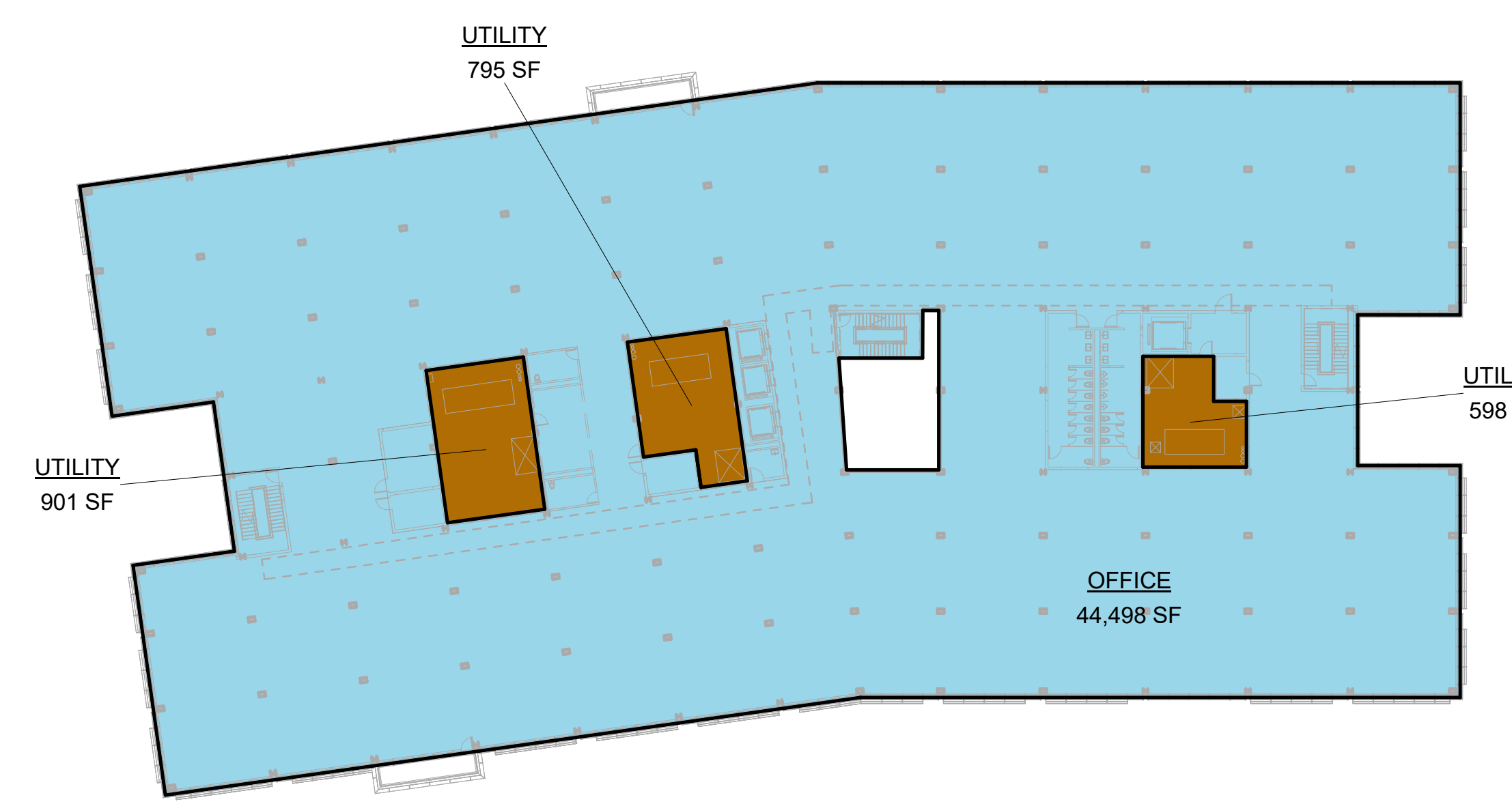
GROSS FLOOR AREA - TOTAL RETAIL*
*Retail area not counted in Office GFA. See Master Plan CDP.
 28,258 SF



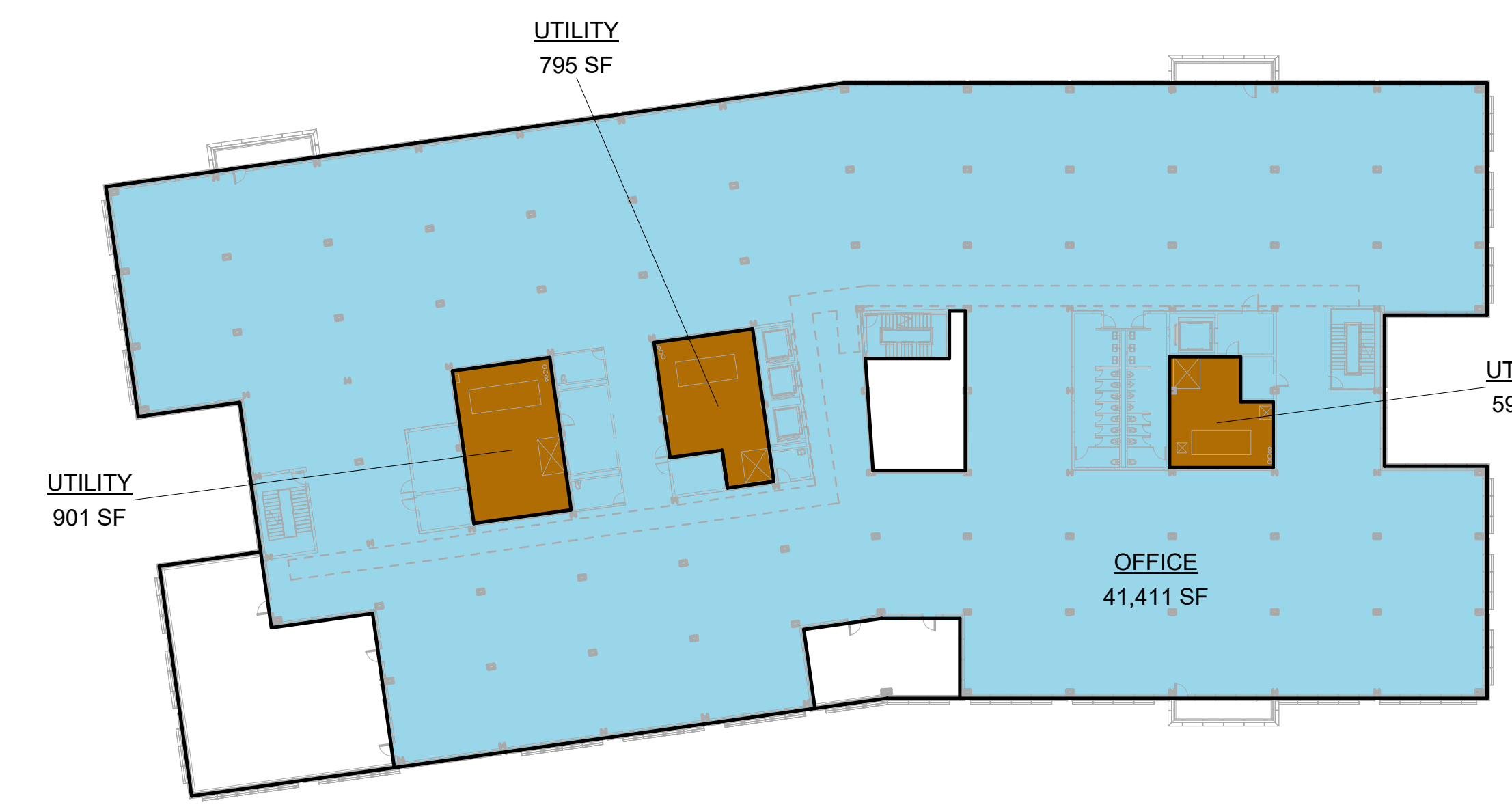
1 LEVEL 1 - O6
 1/32" = 1'-0"



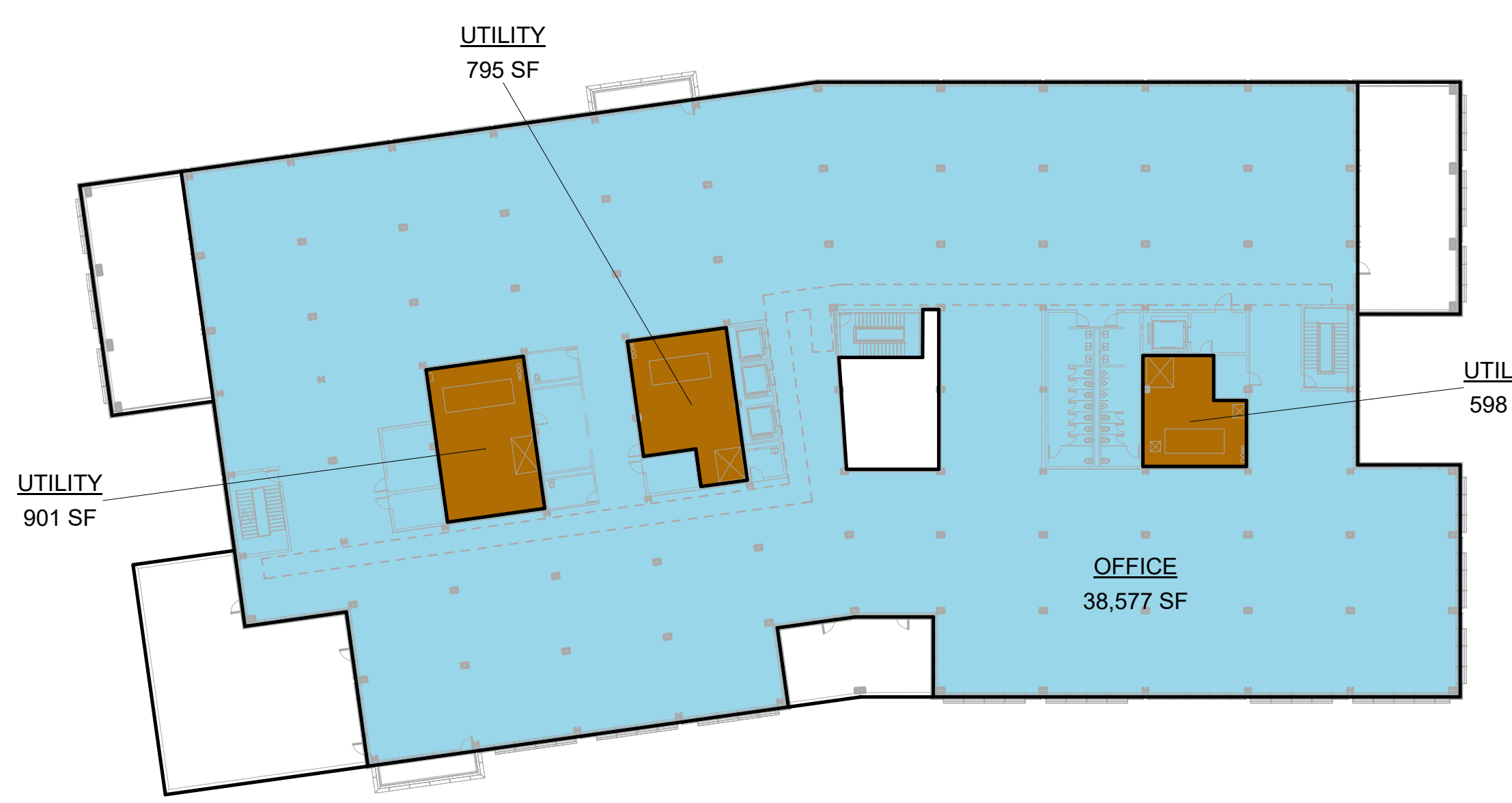
2 LEVEL 2 - O6
 1/32" = 1'-0"



3 LEVEL 3 - O6
 1/32" = 1'-0"

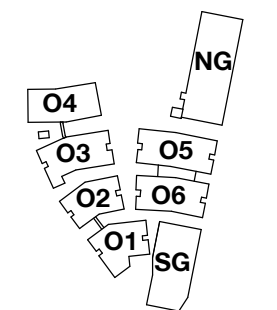


4 LEVEL 4 - O6
 1/32" = 1'-0"



5 LEVEL 5 - O6
 1/32" = 1'-0"

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE

DRAWING TITLE:
 Square Footage Plan - Pavilions

DRAWING NO:
A9.04.7

GROSS FLOOR AREA - PAVILION INCLUSIONS

Name	Area
LEVEL 1 OFFICE	4,178 SF
INCLUDED IN GFA PER ZONING CODE	4,178 SF

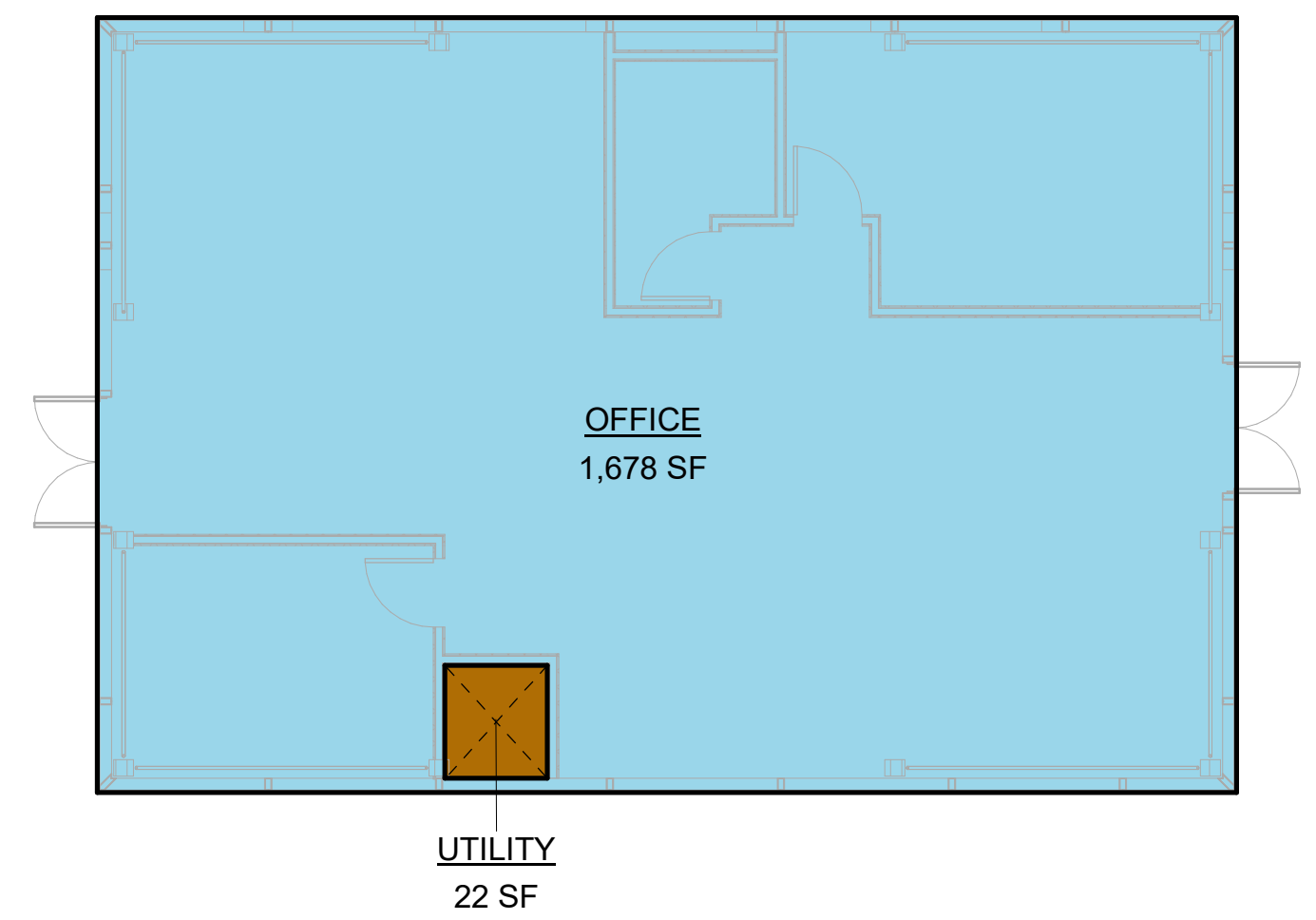
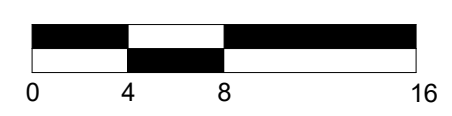
GROSS FLOOR AREA - PAVILION EXCLUSIONS

Name	Area
LEVEL 1 UTILITY	51 SF
EXCLUDED IN GFA PER ZONING CODE	51 SF

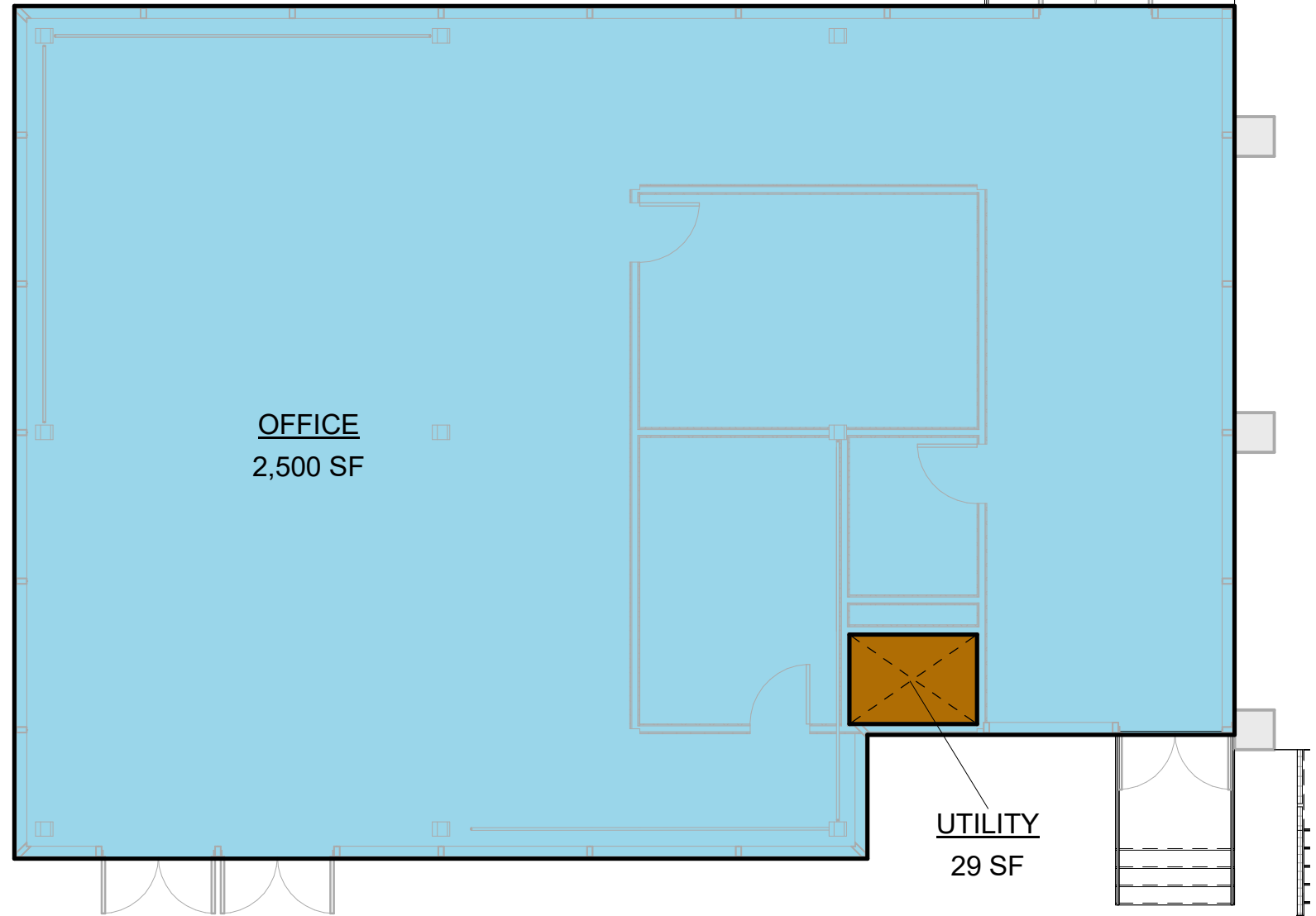
GFA BY LAND USE LEGEND	
SWATCH	USE
 	Office
 	Retail
 	Circulation / Lobby / Common Area
 	Utility / Service
 	Excluded from GFA

GROSS FLOOR AREA - TOTAL OFFICE CAMPUS
 1,128,792 SF

GROSS FLOOR AREA - TOTAL RETAIL*
*Retail area not counted in Office GFA. See Master Plan CDP.
 28,258 SF



1 LEVEL 1 - SP1
 1/8" = 1'-0"



2 LEVEL 1 - SP2
 1/8" = 1'-0"

APPENDIX 2

PARCEL 1-8 ILLUSTRATIVE BUILDING HEIGHT

BUILDING HEIGHT

Menlo Park Municipal Code 16.04.330 Definitions

Except as otherwise provided in this chapter, "height of structure" means the vertical distance from the average level of the highest and lowest points of the natural grade of the portion of the lot covered by the structure to the topmost point of the structure, excluding elevator equipment rooms, ventilating and air conditioning equipment and chimneys. (Ord. 938 § 1 (part), 2005; Ord. 822 § 2 (part), 1991; Prior code § 30.232)

Menlo Park Municipal Code 16.45.050 Development Regulations

Height: 52.5 feet; Maximum Height: 70 feet
A parapet used to screen mechanical equipment is not included in the height or maximum height. The maximum allowed height for rooftop mechanical equipment is 14 feet, except for elevator towers and associated equipment, which may be 20 feet.

Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot increase in height and maximum height.

Proposal / Notes: This project is subject to flooding and sea level rise, and therefore qualifies for the 10-foot increase in height and maximum height. See below for calculations.

BUILDING HEIGHT CALCUATIONS

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
3	9.19	13.00	3.81	28.67	32.48	39,328.00	1,277,373.44
5	9.19	13.00	3.81	52.00	55.81	2,824.00	157,607.00
6	9.19	13.00	3.81	63.00	66.81	19,563.00	1,307,004.03
Roof	9.19	13.00	3.81	73.34	77.15	54,734.00	4,222,728.10
Total						116,449.00	6,964,712.57
Weighted Average Height (ft)						59.81	
Proposed Maximum Height (ft)						77.15	

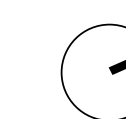
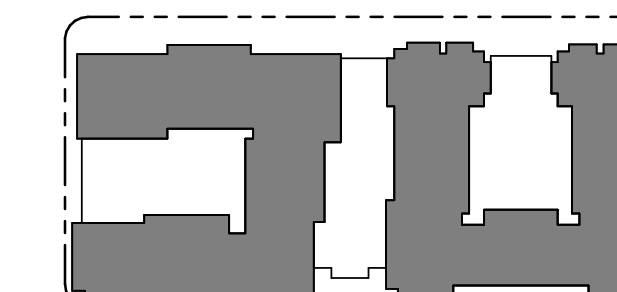


LEGEND

- +32.48
- +55.81
- +66.81
- +77.15

ROOF PLAN - BUILDING HEIGHT DIAGRAM

1/32" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 2
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SETS CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE

DRAWING TITLE:
BUILDING HEIGHT ANALYSIS PLAN

DRAWING NO:
***A9.05**

BUILDING HEIGHT

HEIGHT REGULATIONS PER CITY OF MENLO PARK MUNICIPAL CODE

PROPOSAL / NOTES: THIS PROJECT IS SUBJECT TO FLOODING AND SEA LEVEL RISE, AND THEREFORE QUALIFIES FOR THE 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT. SEE BELOW FOR CALCULATIONS.

HEIGHT OF STRUCTURE - 16.04.330

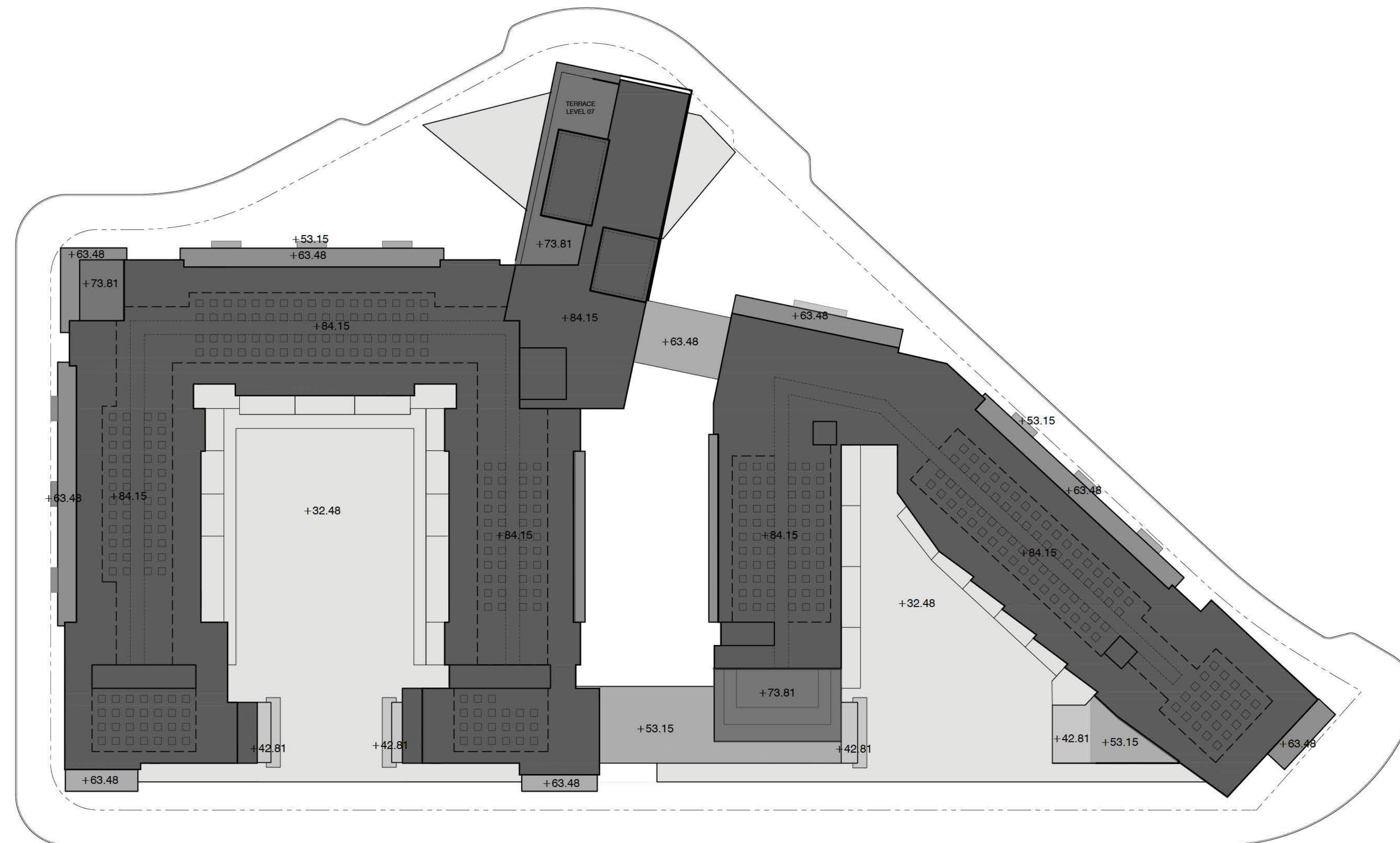
EXCEPT AS OTHERWISE PROVIDED IN THIS CHAPTER, "HEIGHT OF STRUCTURE" MEANS THE VERTICAL DISTANCE FROM THE AVERAGE LEVEL OF THE HIGHEST AND LOWEST POINT OF THE NATURAL GRADE OF THE PORTION OF THE LOT COVERED BY THE STRUCTURE TO THE TOPMOST POINT OF THE STRUCTURE, EXCLUDING ELEVATOR EQUIPMENT ROOMS, VENTILATING AND AIR CONDITIONING EQUIPMENT AND CHIMNEYS.

- MAXIMUM HEIGHT
16.45.050 (70-FT. + 10-FT. = 80-FT.)

BONUS LEVEL DEVELOPMENTS SHALL NOT EXCEED 70-FEET IN HEIGHT, EXCEPT THAT PROPERTIES WITHIN THE FLOOD ZONE OR SUBJECT TO FLOODING AND SEA LEVEL RISE ARE ALLOWED A 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.

- MAXIMUM AVERAGE HEIGHT
16.45.050 (52.5-FT. + 10-FT. = 62.5-FT.)

BONUS LEVEL DEVELOPMENTS SHALL NOT EXCEED 52.5-FEET IN AVERAGE HEIGHT, EXCEPT THAT PROPERTIES WITHIN THE FLOOD ZONE OR SUBJECT TO FLOODING AND SEA LEVEL RISE ARE ALLOWED A 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.



LEGEND

- +32.48
- +42.81
- +53.15
- +63.48
- +73.81
- +84.15

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
Level 3	9.35	14.50	5.15	27.33	32.48	28,110	913,013
Level 4	9.35	14.50	5.15	37.66	42.81	1,235	52,870
Level 5	9.35	14.50	5.15	48.00	53.15	2,910	154,667
Level 6	9.35	14.50	5.15	58.33	63.48	6,250	396,750
Level 7	9.35	14.50	5.15	68.66	73.81	3,765	277,895
Roof	9.35	14.50	5.15	79.00	84.15	56,465	4,751,530
Total						98,735	6,546,724
Weighted Average Height (ft)							66.31
Proposed Maximum Height (ft)							84.15

16.04.330 Height of structure.	Except as otherwise provided in this chapter, "height of structure" means the vertical distance from the average level of the highest and lowest points of the natural grade of the portion of the lot covered by the structure to the topmost point of the structure, excluding elevator equipment rooms, ventilating and air conditioning equipment and chimneys. (Ord. 938 § 1 (part), 2005; Ord. 822 § 2 (part), 1991; Prior code § 30.232)
16.45.050 Development regulations.	Height: 52.5 feet; Maximum height: 70 feet A parapet used to screen mechanical equipment is not included in the height or maximum height. The maximum allowed height for rooftop mechanical equipment is 14 feet, except for elevator towers and associated equipment, which may be 20 feet. Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot increase in height and maximum height.

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 3
Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE

DRAWING TITLE:
BUILDING HEIGHT
ANALYSIS PLAN

DRAWING NO.:

A9.05

R-MU BUILDING HEIGHT ANALYSIS Parcel 6							
Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
UPPER ROOF (SLOPED)	9.74	12.90	3.16	76.62	79.78	3,358	267,901
UPPER ROOF (LOUNGE)				76.37	79.53	1,522	121,045
ROOF (MAIN ROOF)				73.85	77.01	32,486	2,501,747
LEVEL 7 (ROOF DECK)				63.35	66.51	318	21,150
LEVEL 6 (UPPER PRIVATE TERRACES)				51.60	54.76	1,039	56,896
LEVEL 4 (LOWER ROOF)				32.10	35.26	515	18,159
LEVEL 3 (PODIUM)				20.52	23.68	13,201	312,600
TOTAL						52,439	3,299,497
Weighted Average Height (ft)							62.92
Proposed Maximum Height (ft)							79.78

MENLO PARK ZONING CODE REQUIREMENTS

16.04.330: HEIGHT OF STRUCTURE (DEFINITION)

EXCEPT AS OTHERWISE PROVIDED IN THIS CHAPTER, "HEIGHT OF STRUCTURE" MEANS THE VERTICAL DISTANCE FROM THE AVERAGE LEVEL OF THE HIGHEST AND LOWEST POINTS OF THE NATURAL GRADE OF THE PORTION OF THE LOT COVERED BY THE STRUCTURE TO THE TOPMOST POINT OF THE STRUCTURE, EXCLUDING ELEVATOR EQUIPMENT ROOMS, VENTILATING AND AIR CONDITIONING EQUIPMENT AND CHIMNEYS.

16.45.050: HEIGHT

"HEIGHT" IS DEFINED AS AVERAGE HEIGHT OF ALL BUILDINGS ON ONE SITE, WHERE A MAXIMUM HEIGHT CANNOT BE EXCEEDED. MAXIMUM HEIGHT DOES NOT INCLUDE ROOF-MOUNTED EQUIPMENT AND UTILITIES.

HEIGHT: 52.5 FEET

MAXIMUM HEIGHT: 70 FEET

A PARAPET USED TO SCREEN MECHANICAL EQUIPMENT IS NOT INCLUDED IN THE HEIGHT OR MAXIMUM HEIGHT. THE MAXIMUM ALLOWED HEIGHT FOR ROOFTOP MECHANICAL EQUIPMENT IS 14 FEET, EXCEPT FOR ELEVATOR TOWERS AND ASSOCIATED EQUIPMENT, WHICH MAY BE 20 FEET.

PROPERTIES WITHIN THE FLOOD ZONE OR SUBJECT TO FLOODING AND SEA LEVEL RISE ARE ALLOWED A 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.

PROPOSED DESIGN

MAXIMUM HEIGHT:

ALLOWED PER ZONING CODE: 70' + 10' = 80'
PROPOSED DESIGN: 80' ABOVE NATURAL GRADE

(SEE ELEVATION SHEETS AND PLAN DIAGRAM FOR MAXIMUM BUILDING HEIGHT DIMENSIONS)

AVERAGE HEIGHT:

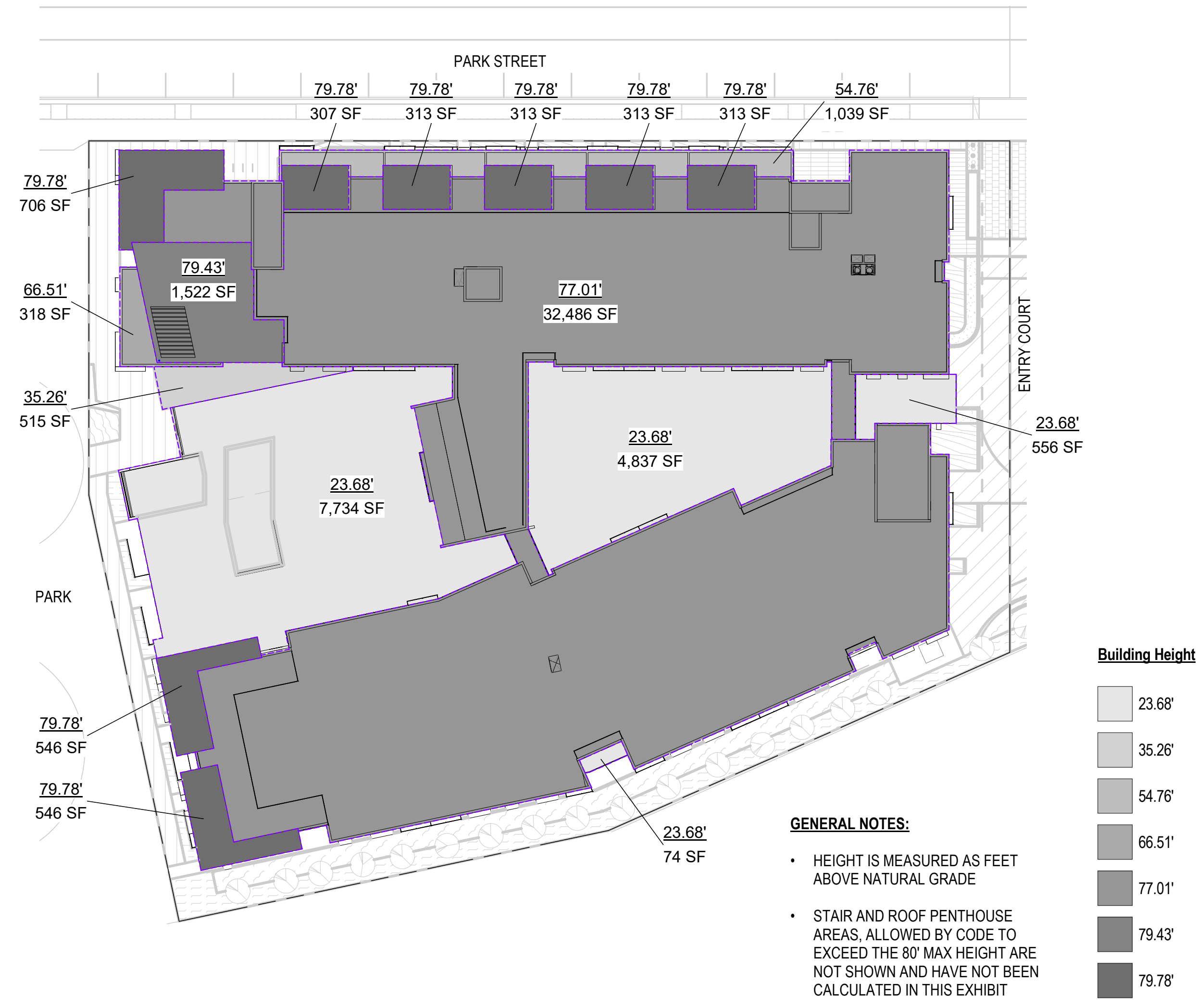
ALLOWED PER ZONING CODE: 52.5' + 10' = 62.5'
PROPOSED DESIGN: 62.92' ABOVE NATURAL GRADE

(SEE PLAN DIAGRAM FOR ROOF AREAS AND HEIGHTS. SEE TABLE FOR AVERAGE HEIGHT CALCULATIONS.)

NOTES:

THIS PROJECT IS SUBJECT TO FLOODING AND SEA LEVEL RISE, AND THEREFORE QUALIFIES FOR THE 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.

AVERAGE HEIGHT COMPLIANCE IS REGULATED AT A MASTERPLAN-WIDE LEVEL FOR WILLOW VILLAGE.



P6 - BUILDING HEIGHT CALCULATION - ROOF 1
1" = 30'-0"

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 6
Menlo Park, CA

SCALE: 1" = 30'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE

DRAWING TITLE:
BUILDING HEIGHT ANALYSIS PLAN

DRAWING NO:
A9.05



R-MU BUILDING HEIGHT ANALYSIS
Parcel 7

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
UPPER ROOF (WEST)	9.58	13.55	3.97	72.09	76.06	1,988	151,207
UPPER ROOF (EAST)				67.54	71.51	4,007	286,541
ROOF (MAIN ROOF)				64.28	68.25	7,806	532,760
LEVEL 5 (TERRACE)				42.95	46.92	1,865	87,506
LEVEL 3 (PAVILION ROOF)				30.03	34.00	931	31,654
LOWER ROOF (STAIR)				22.62	26.59	83	2,207
LEVEL 2 (PODIUM)				12.45	16.42	5,536	90,901
				TOTAL		22,216	1,182,775

Weighted Average Height (ft)	53.24
Proposed Maximum Height (ft)	76.06

MENLO PARK ZONING CODE REQUIREMENTS

16.04.330: HEIGHT OF STRUCTURE (DEFINITION)

EXCEPT AS OTHERWISE PROVIDED IN THIS CHAPTER, "HEIGHT OF STRUCTURE" MEANS THE VERTICAL DISTANCE FROM THE AVERAGE LEVEL OF THE HIGHEST AND LOWEST POINTS OF THE NATURAL GRADE OF THE PORTION OF THE LOT COVERED BY THE STRUCTURE TO THE TOPMOST POINT OF THE STRUCTURE, EXCLUDING ELEVATOR EQUIPMENT ROOMS, VENTILATING AND AIR CONDITIONING EQUIPMENT AND CHIMNEYS.

16.45.050: HEIGHT

"HEIGHT" IS DEFINED AS AVERAGE HEIGHT OF ALL BUILDINGS ON ONE SITE, WHERE A MAXIMUM HEIGHT CANNOT BE EXCEEDED. MAXIMUM HEIGHT DOES NOT INCLUDE ROOF-MOUNTED EQUIPMENT AND UTILITIES.

HEIGHT: 52.5 FEET

MAXIMUM HEIGHT: 70 FEET

A PARAPET USED TO SCREEN MECHANICAL EQUIPMENT IS NOT INCLUDED IN THE HEIGHT OR MAXIMUM HEIGHT. THE MAXIMUM ALLOWED HEIGHT FOR ROOFTOP MECHANICAL EQUIPMENT IS 14 FEET, EXCEPT FOR ELEVATOR TOWERS AND ASSOCIATED EQUIPMENT, WHICH MAY BE 20 FEET.

PROPERTIES WITHIN THE FLOOD ZONE OR SUBJECT TO FLOODING AND SEA LEVEL RISE ARE ALLOWED A 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.

PROPOSED DESIGN

MAXIMUM HEIGHT:

ALLOWED PER ZONING CODE: 70' + 10' = 80'
PROPOSED DESIGN: 76.06' ABOVE NATURAL GRADE

(SEE ELEVATION SHEETS AND PLAN DIAGRAM FOR MAXIMUM BUILDING HEIGHT DIMENSIONS)

AVERAGE HEIGHT:

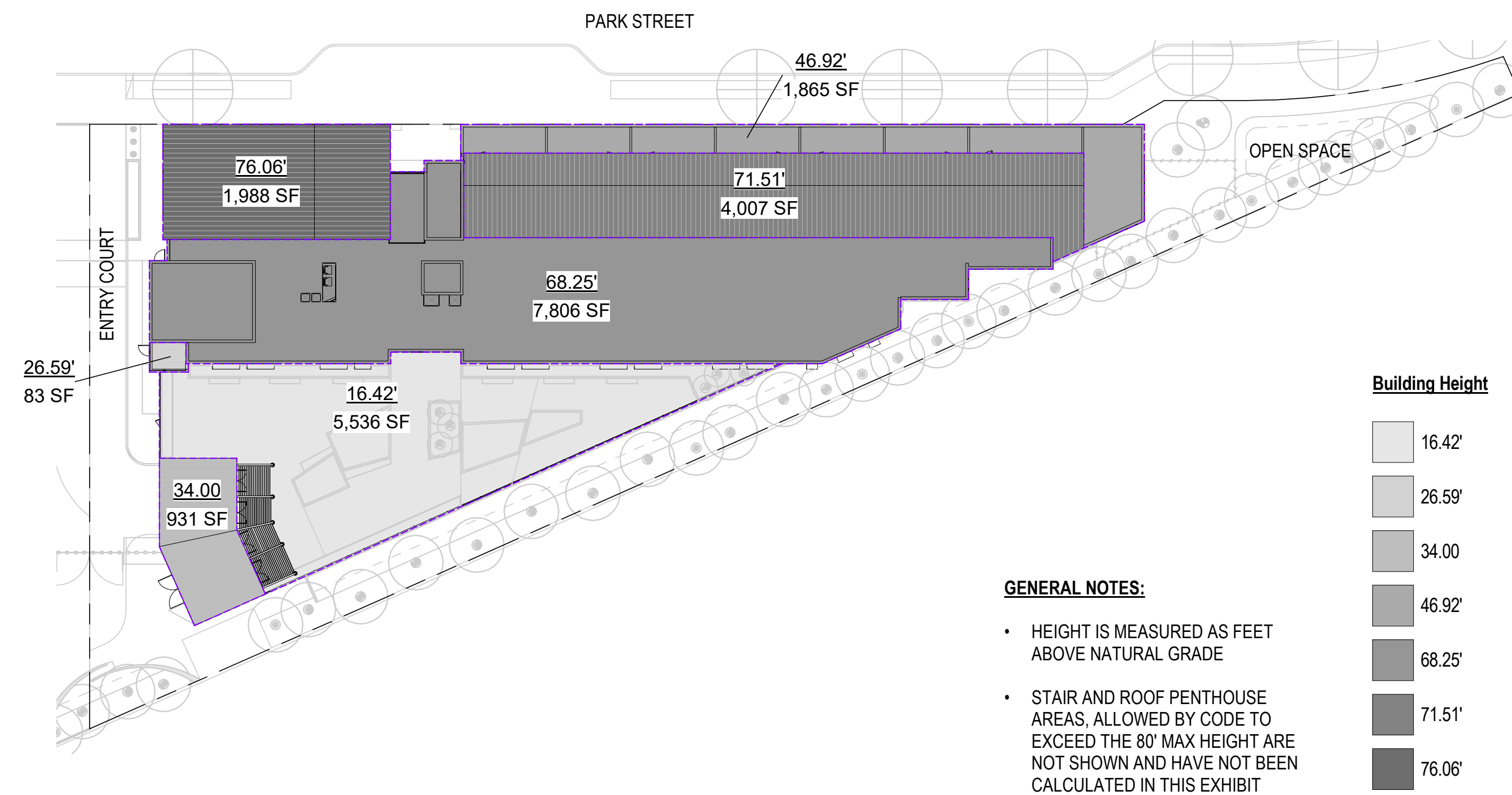
ALLOWED PER ZONING CODE: 52.5' + 10' = 62.5'
PROPOSED DESIGN: 53.24' ABOVE NATURAL GRADE

(SEE PLAN DIAGRAM FOR ROOF AREAS AND HEIGHTS. SEE TABLE FOR AVERAGE HEIGHT CALCULATIONS.)

NOTES:

THIS PROJECT IS SUBJECT TO FLOODING AND SEA LEVEL RISE, AND THEREFORE QUALIFIES FOR THE 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.

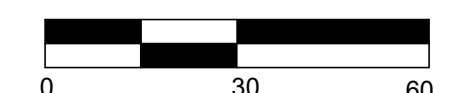
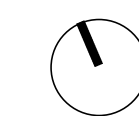
AVERAGE HEIGHT COMPLIANCE IS REGULATED AT A MASTERPLAN-WIDE LEVEL FOR WILLOW VILLAGE.



GENERAL NOTES:

- HEIGHT IS MEASURED AS FEET ABOVE NATURAL GRADE
- STAIR AND ROOF PENTHOUSE AREAS, ALLOWED BY CODE TO EXCEED THE 80' MAX HEIGHT ARE NOT SHOWN AND HAVE NOT BEEN CALCULATED IN THIS EXHIBIT

BUILDING HEIGHT ANALYSIS ①
1" = 30'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 7
Menlo Park, CA

SCALE: 1" = 30'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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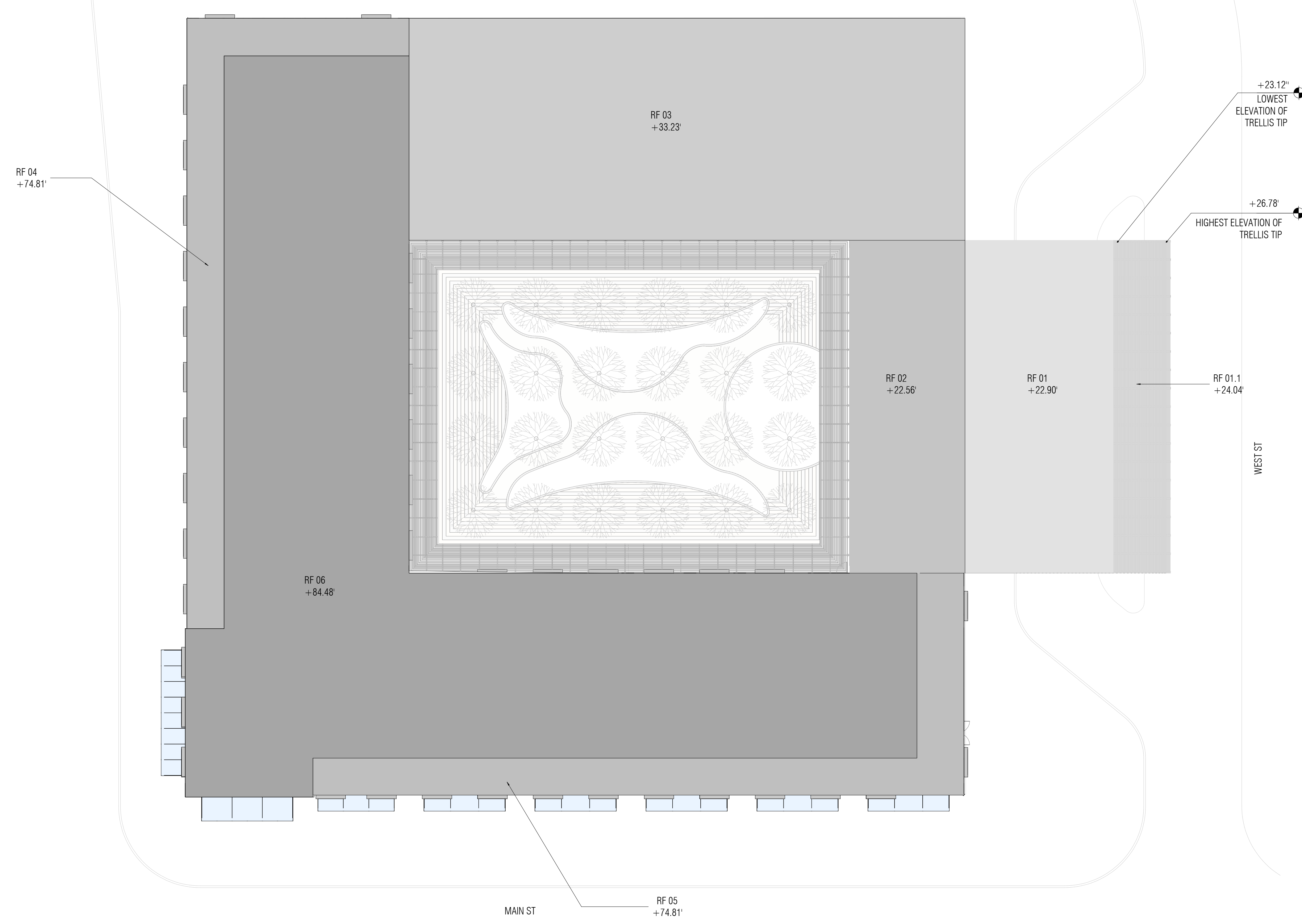
REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:
BUILDING HEIGHT ANALYSIS PLAN

DRAWING NO:
A9.05

Building Height Analysis							
Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. To roof)	Roof Height (Nat. To roof)	Footprint (SF)	Roof Height x Footprint
RF 01	8.94'	14.50'	5.56'	17.34'	22.90'	3,615	82,771
RF 01.1	8.94'	14.50'	5.56'	18.48'	24.04'	1,385	33,294
RF 02	8.94'	14.50'	5.56'	17.00'	22.56'	2,810	63,384
RF 03	8.94'	14.50'	5.56'	27.67'	33.23'	9,015	299,538
RF 04	8.94'	14.50'	5.56'	69.25'	74.81'	2,160	161,589
RF 05	8.94'	14.50'	5.56'	69.25'	74.81'	2,400	179,543
RF 06	8.94'	14.50'	5.56'	78.92'	84.48'	17,084	1,448,825
Weighted Average Height						58.84'	
Proposed Maximum Height						84.48'	



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
09/07/2021	ACP

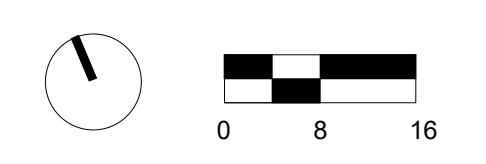
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Willow Village Hotel
 Building Height Analysis Plan

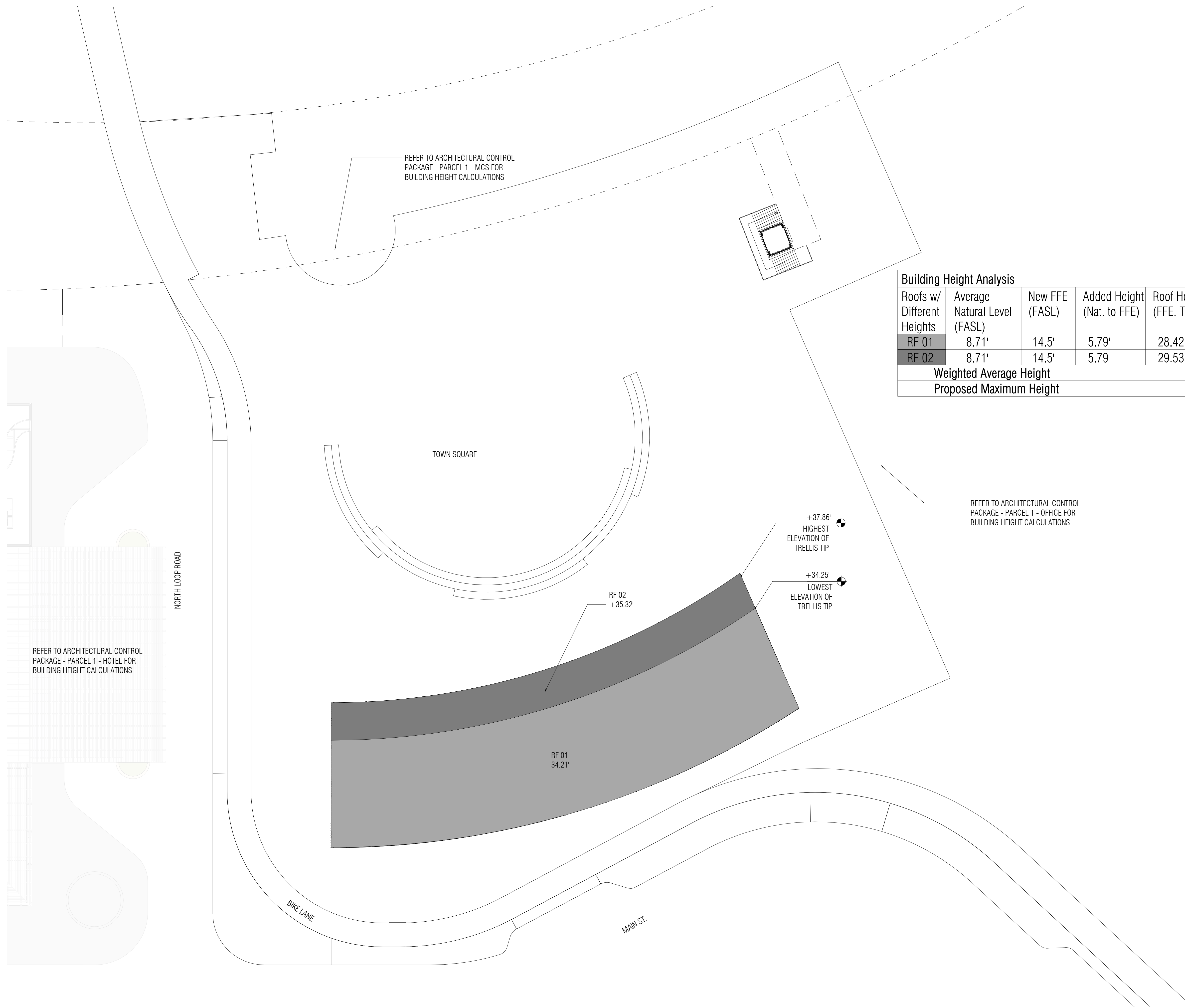
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1 BUILDING HEIGHT ANALYSIS PLAN
 1/16" = 1'-0"



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Building Height Analysis							
Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. To roof)	Roof Height (Nat. To roof)	Footprint (SF)	Roof Height x Footprint
RF 01	8.71'	14.5'	5.79'	28.42'	34.21'	8,858.00	303,032.18
RF 02	8.71'	14.5'	5.79	29.53'	35.32'	2,905.00	102,604.60
Weighted Average Height						34.48'	
Proposed Maximum Height						35.32'	

1 TOWN SQUARE PAVILION - ROOF
1" = 20'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
Menlo Park, CA

SCALE: 1" = 20'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

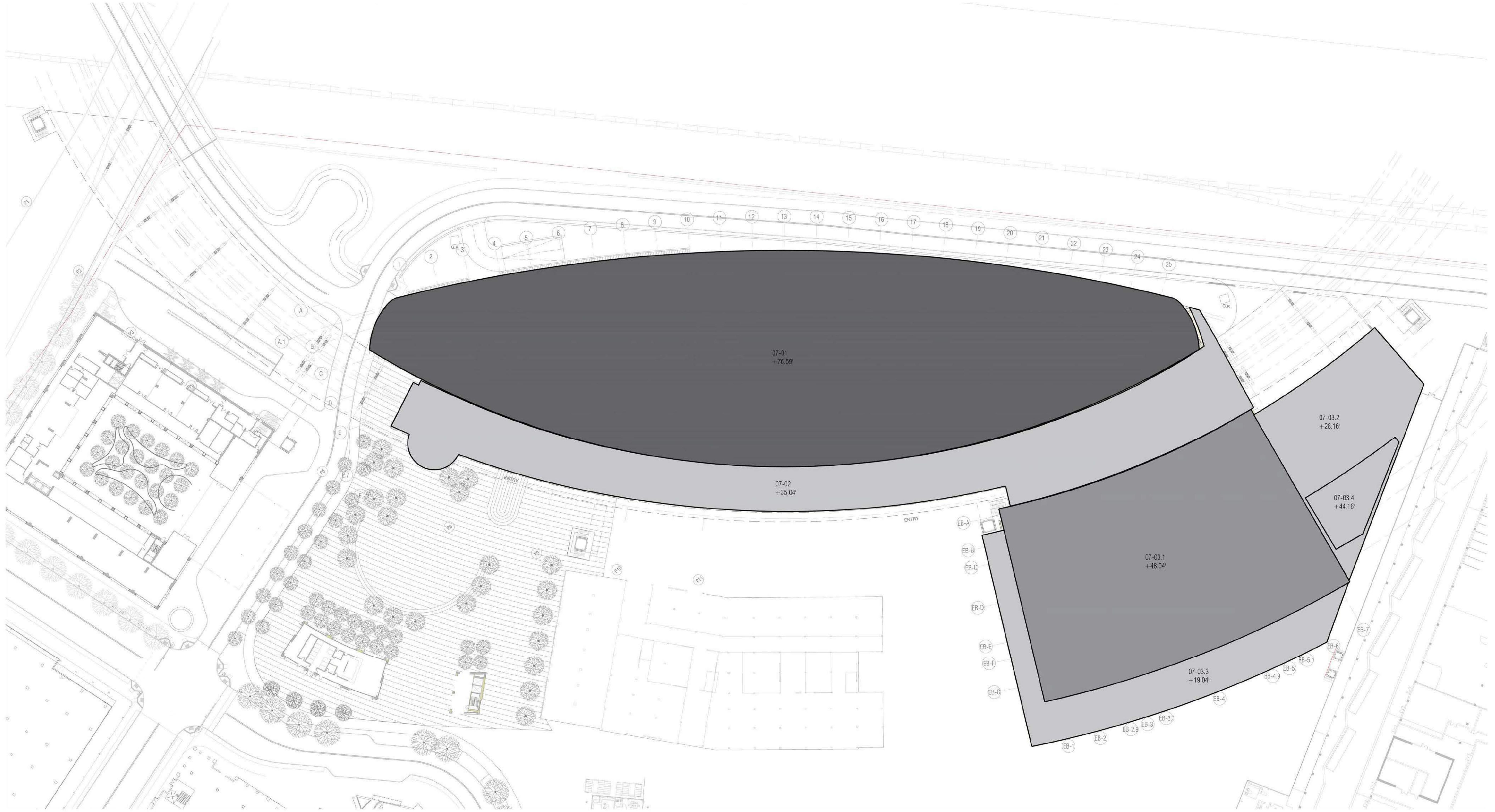
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DATE	ISSUE
08/17/2021	ACP DRAFT

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DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
Building Height Analysis Plan

DRAWING NO:
A9.05

Building #	Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Average Height (FFE. to roof)	Average Height (Nat. to roof)	Footprint (SF)	Average Height x Footprint
1-Jul	9.96	15	5.04	71.55	76.59	129,085	9,887,024
						129,085	9,887,024
MC 02	9.96	15	5.04	30.00	35.04	46,637	1,634,160
						46,637	1,634,160
MC 03.1	9.96	15	5.04	43.00	48.04	56,863	2,731,699
MC 03.2	9.96	15	5.04	23.12	28.16	4,237	119,314
MC 03.3	9.96	15	5.04	14.00	19.04	16,811	320,081
MC 03.4	9.96	15	5.04	39.12	44.16	15,554	686,865
						93,465	3,857,959
MCS - WEIGHTED AVERAGE HEIGHT (FT)				57.13			
MCS - PROPOSED MAXIMUM HEIGHT (FT)				116.44			



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1
 Menlo Park, CA

SCALE: 1"=50'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. OR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
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DRAWING TITLE:
**BUILDING HEIGHT
 DIAGRAM**

DRAWING NO:
A9.05

9/7/2021
OFFICE BUILDING HEIGHT ANALYSIS
Parcel # 1(Portion) & 8

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O1-Roof	10.54	15.00	4.46	63.00	67.46	31,627	2,133,557.42
O1-2	10.54	15.00	4.46	18.00	22.46	6,790	152,503.40
O1-3	10.54	15.00	4.46	33.00	37.46	2,857	107,023.22
O1-4	10.54	15.00	4.46	48.00	52.46	2,312	121,287.52
Total						43,586	2,514,371.56
Bldg 1 - Weighted Average Height (ft)							57.69
Bldg 1 - Proposed Maximum Height (ft)							67.46

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O2-Roof	9.59	15.00	5.41	78.00	83.41	32,408	2,703,151.28
O2-2	9.59	15.00	5.41	18.00	23.41	968	22,660.88
O2-5	9.59	15.00	5.41	63.00	68.41	5,815	397,804.15
Total						39,191	3,123,616.31
Bldg 2 - Weighted Average Height (ft)							79.70
Bldg 2 - Proposed Maximum Height (ft)							83.41

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O3-Roof	9.87	15.00	5.13	78.00	83.13	42,573	3,539,093.49
O3-2	9.87	15.00	5.13	18.00	23.13	1,563	36,152.19
O3-3	9.87	15.00	5.13	33.00	38.13	724	27,606.12
O3-4	9.87	15.00	5.13	48.00	53.13	2,204	117,098.52
O3-5	9.87	15.00	5.13	63.00	68.13	3,612	246,085.56
Total						50,676	3,966,035.88
Bldg 3 - Weighted Average Height (ft)							78.26
Bldg 3 - Proposed Maximum Height (ft)							83.13

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
TS3- Roof	10.69	15.00	4.31	32.50	36.81	4,257	156,700.17
O4-2	10.69	15.00	4.31	18.00	22.31	3,064	68,357.84
TS3-2	10.69	15.00	4.31	18.00	22.31	5,029	112,196.99
Total						12,350	337,255.00
TS3 - Weighted Average Height (ft)							27.31
TS3 - Proposed Maximum Height (ft)							36.81

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O4-Roof	10.69	15.00	4.31	78.00	82.31	31,860	2,622,396.60
O4-3	10.69	15.00	4.31	33.00	37.31	1,622	60,516.82
O4-4	10.69	15.00	4.31	48.00	52.31	4,408	230,582.48
O4-5	10.69	15.00	4.31	63.00	67.31	2,608	175,544.48
Total						40,498	3,089,040.38
Bldg 4 - Weighted Average Height (ft)							76.28
Bldg 4 - Proposed Maximum Height (ft)							82.31

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O5-Roof	9.83	15.00	5.17	78.00	83.17	47,625	3,960,971.25
O5-4	9.83	15.00	5.17	48.00	53.17	3,734	198,536.78
O5-5	9.83	15.00	5.17	63.00	68.17	2,608	177,787.36
Total						53,967	4,337,295.39
Bldg 5 - Weighted Average Height (ft)							80.37
Bldg 5 - Proposed Maximum Height (ft)							83.17

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O6-Roof	10.73	15.00	4.27	78.00	82.27	43,497	3,578,498.19
O6-2	10.73	15.00	4.27	18.00	22.27	5,464	121,683.28
O6-4	10.73	15.00	4.27	48.00	52.27	2,777	145,153.79
O6-5	10.73	15.00	4.27	63.00	67.27	2,608	175,440.16
Total						54,346	4,020,775.42
Bldg 6 - Weighted Average Height (ft)							73.98
Bldg 6 - Proposed Maximum Height (ft)							82.27

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
NG-T/PV	10.20	12.00	1.80	87.50	89.30	51,189	4,571,177.70
NG-7	10.20	12.00	1.80	75.00	76.80	48,242	3,704,985.60
NG-2	10.20	12.00	1.80	22.75	24.55	361	8,862.55
NG-1	10.20	12.00	1.80	15.00	16.80	4,328	72,710.40
Total						104,120	8,357,736.25
NG - Weighted Average Height (ft)							80.27
NG - Proposed Maximum Height (ft)							89.30

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
SG-T/PV	10.88	13.00	2.12	77.25	79.37	38,431	3,050,268.47
SG-6	10.88	13.00	2.12	64.75	66.87	36,941	2,470,244.67
SG-5	10.88	13.00	2.12	55.50	57.62	2,320	133,678.40
Total						77,692	5,654,191.54
SG - Weighted Average Height (ft)							72.78
SG - Proposed Maximum Height (ft)							79.37

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
SP1	9.00	15.00	6.00	21.75	27.75	4,074	113,053.50
Total						4,074	113,053.50
SP1 - Weighted Average Height (ft)							27.75
SP1 - Proposed Maximum Height (ft)							27.75

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
SP2	9.00	15.00	6.00	24.50	30.50	2,528	77,104.00
Total						2,528	77,104.00
SP2 - Weighted Average Height (ft)							30.50
SP2 - Proposed Maximum Height (ft)							30.50

Grand Total						483,028	35,590,475.23
Total Campus - Weighted Average Height (ft)							73.68

16.04.330 Height of structure.	Except as otherwise provided in this chapter, "height of structure" means the vertical distance from the <u>average level of the highest and lowest points of the natural grade</u> of the portion of the lot covered by the structure to the topmost point of the structure, excluding elevator equipment rooms, ventilating and air conditioning equipment and chimneys. (Ord. 938 § 1 (part), 2005; Ord. 822 § 2 (part), 1991; Prior code § 30.232)
16.43.050 Development regula	Height: 67.5 feet; Maximum height: 110 feet A parapet used to screen mechanical equipment is not included in the height or maximum height. The maximum allowed height for rooftop mechanical equipment is 14 feet, except for elevator towers and associated Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot increase in height and maximum height.

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

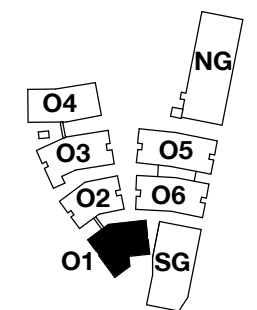
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09/07/2021	ACP

REVISIONS		
NO.	DATE	ISSUE

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Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O1-Roof	10.54	15.00	4.46	63.00	67.46	31,627	2,133,557.42
O1-2	10.54	15.00	4.46	18.00	22.46	6,790	152,503.40
O1-3	10.54	15.00	4.46	33.00	37.46	2,857	107,023.22
O1-4	10.54	15.00	4.46	48.00	52.46	2,312	121,287.52
Total						43,586	2,514,371.56
Bldg 1 - Weighted Average Height (ft)							57.69
Bldg 1 - Proposed Maximum Height (ft)							67.46



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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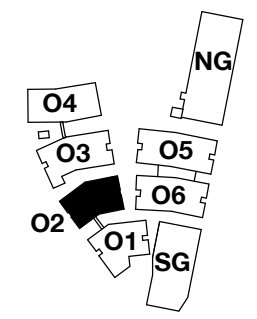
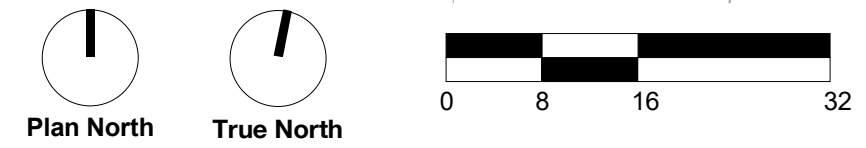
DRAWING TITLE:
Building Height Analysis
 Plan - O1

DRAWING NO:
A9.05.1

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Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O2-Roof	9.59	15.00	5.41	78.00	83.41	32,408	2,703,151.28
O2-2	9.59	15.00	5.41	18.00	23.41	968	22,660.88
O2-5	9.59	15.00	5.41	63.00	68.41	5,815	397,804.15
Total						39,191	3,123,616.31
Bldg 2 - Weighted Average Height (ft)							79.70
Bldg 2 - Proposed Maximum Height (ft)							83.41



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

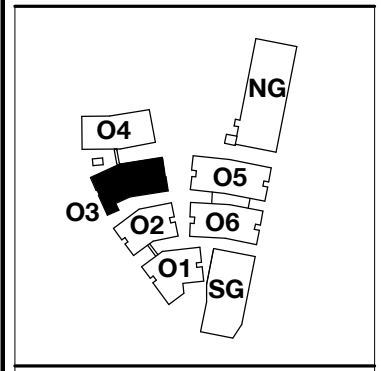
SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
**Building Height Analysis
 Plan - O2**

DRAWING NO:
A9.05.2



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: 1/16" = 1'-0"
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NO.	DATE	ISSUE

DRAWING TITLE:
Building Height Analysis
 Plan - O3

DRAWING NO:
A9.05.3

SP1 - L3
+15'

O3 - L3
+33'

O3 - L4
+48'

O3 - ROOF
+78'

O3 - L5
+63'

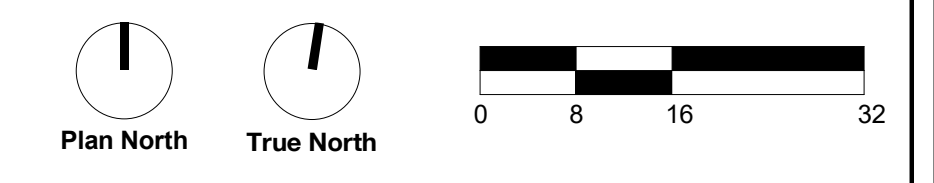
O3 - L5
+63'

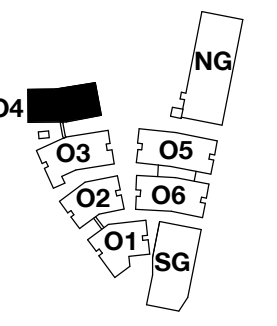
O3 - L2
+18'

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O3-Roof	9.87	15.00	5.13	78.00	83.13	42,573	3,539,093.49
O3-2	9.87	15.00	5.13	18.00	23.13	1,563	36,152.19
O3-3	9.87	15.00	5.13	33.00	38.13	724	27,606.12
O3-4	9.87	15.00	5.13	48.00	53.13	2,204	117,098.52
O3-5	9.87	15.00	5.13	63.00	68.13	3,612	246,085.56
Total						50,676	3,966,035.88
Bldg 3 - Weighted Average Height (ft)					78.26		
Bldg 3 - Proposed Maximum Height (ft)					83.13		

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
SP1	9.00	15.00	6.00	21.75	27.75	4,074	113,053.50
Total						4,074	113,053.50
SP1 - Weighted Average Height (ft)					27.75		
SP1 - Proposed Maximum Height (ft)					27.75		

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: 1/16" = 1'-0"
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DATE	ISSUE
09/07/2021	ACP

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NO.	DATE	ISSUE

DRAWING TITLE:
**Building Height Analysis
 Plan - O4**

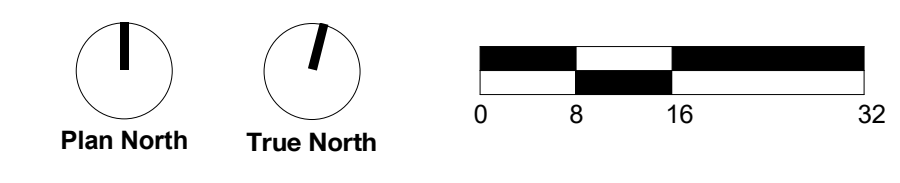
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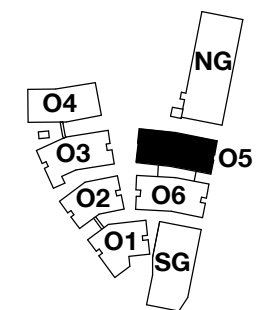


Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
TS3-Roof	10.69	15.00	4.31	32.50	36.81	4,257	156,700.17
O4-2	10.69	15.00	4.31	18.00	22.31	3,064	68,357.84
TS3-2	10.69	15.00	4.31	18.00	22.31	5,029	112,196.99
Total						12,350	337,255.00
TS3 - Weighted Average Height (ft)							27.31
TS3 - Proposed Maximum Height (ft)							36.81

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O4-Roof	10.69	15.00	4.31	78.00	82.31	31,860	2,622,396.60
O4-3	10.69	15.00	4.31	33.00	37.31	1,622	60,516.82
O4-4	10.69	15.00	4.31	48.00	52.31	4,408	230,582.48
O4-5	10.69	15.00	4.31	63.00	67.31	2,608	175,544.48
Total						40,498	3,089,040.38
Bldg 4 - Weighted Average Height (ft)							76.28
Bldg 4 - Proposed Maximum Height (ft)							82.31

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: 1/16" = 1'-0"
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MILESTONES

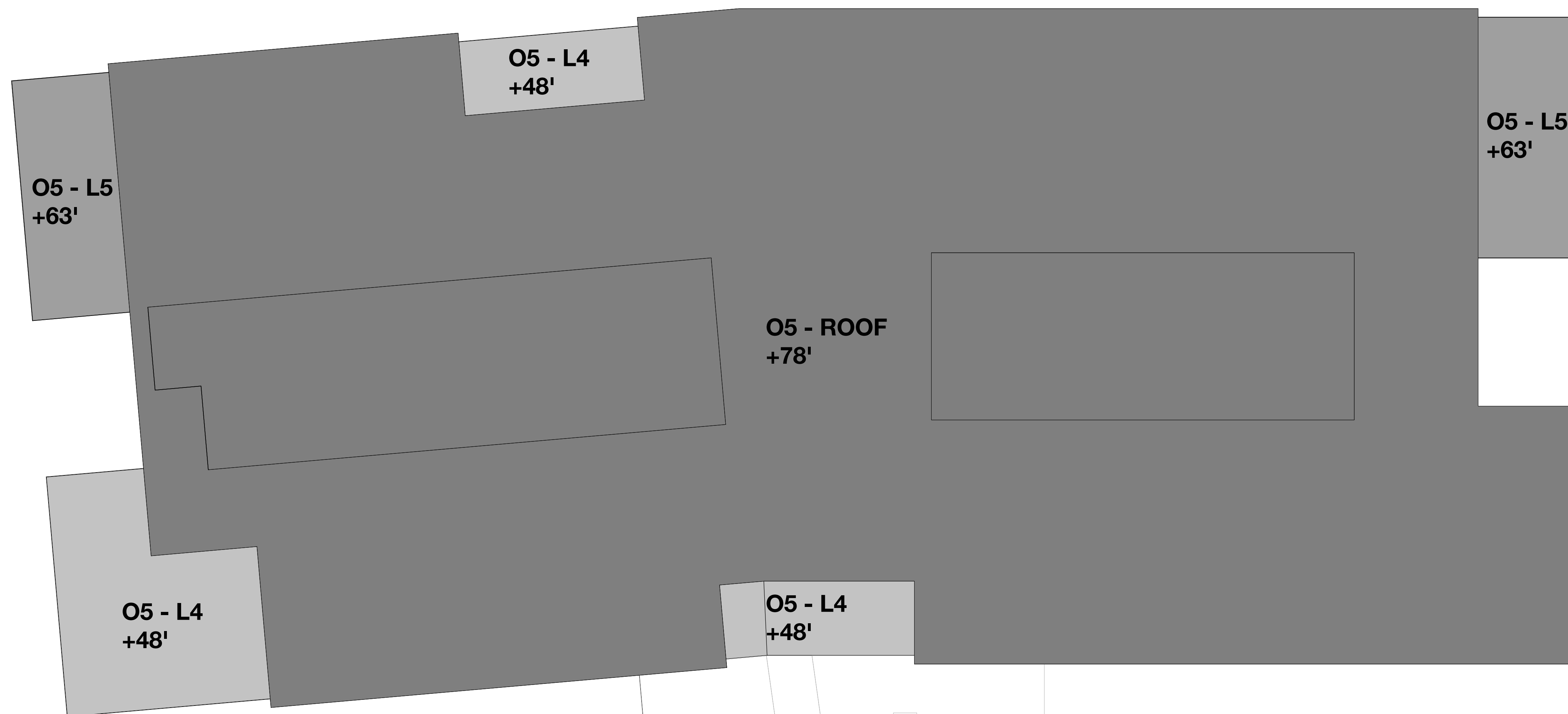
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NO.	DATE	ISSUE

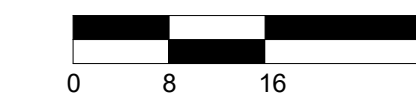
DRAWING TITLE:
**Building Height Analysis
 Plan - O5**

DRAWING NO:
A9.05.5

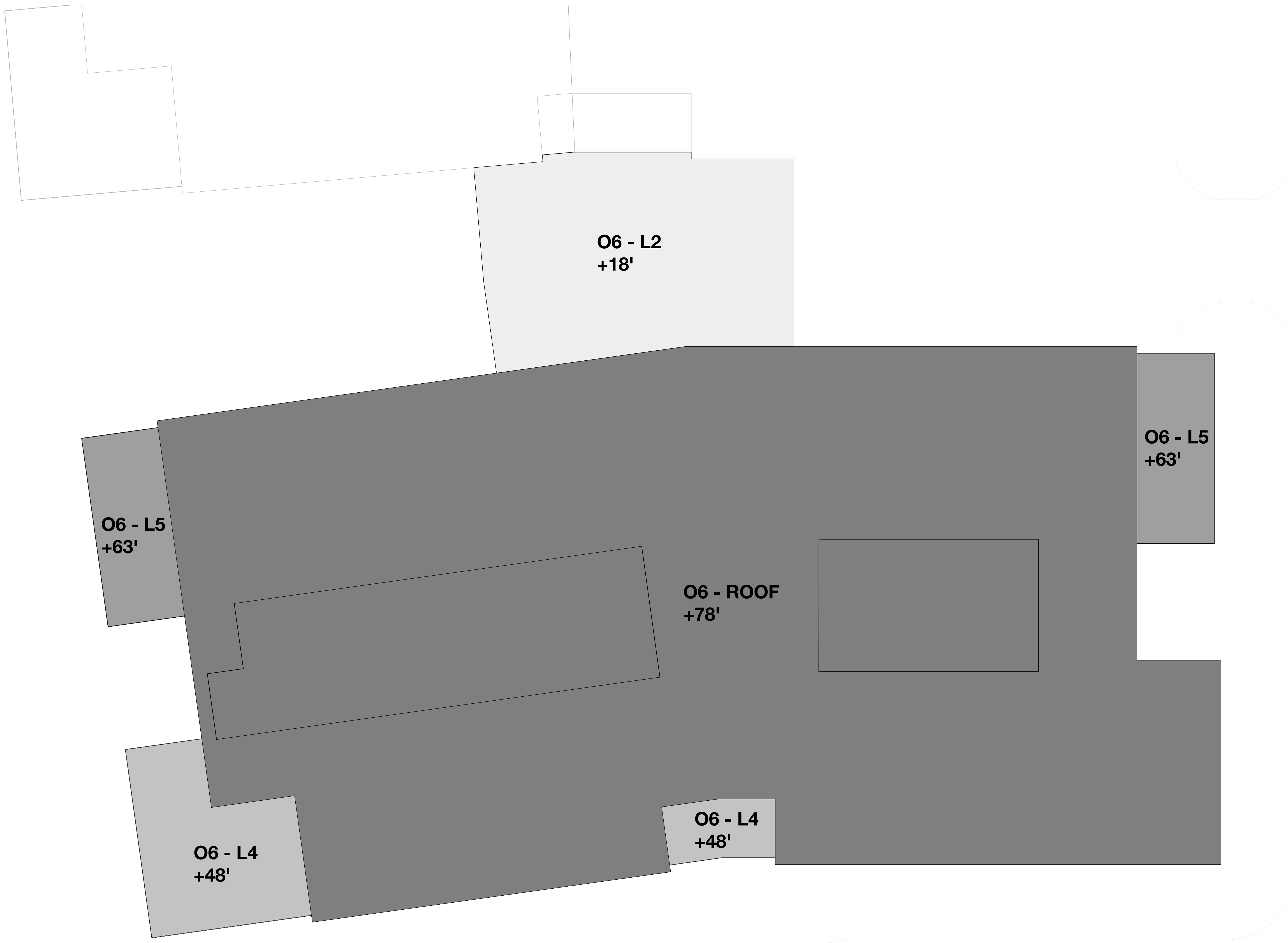


Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O5-Roof	9.83	15.00	5.17	78.00	83.17	47,625	3,960,971.25
O5-4	9.83	15.00	5.17	48.00	53.17	3,734	198,536.78
O5-5	9.83	15.00	5.17	63.00	68.17	2,608	177,787.36
Total						53,967	4,337,295.39
Bldg 5 - Weighted Average Height (ft)							80.37
Bldg 5 - Proposed Maximum Height (ft)							83.17

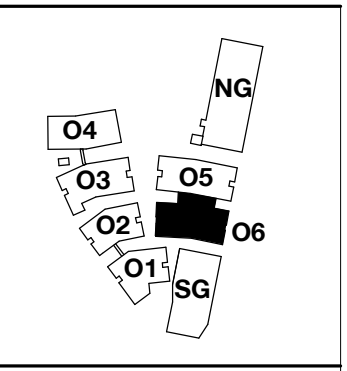
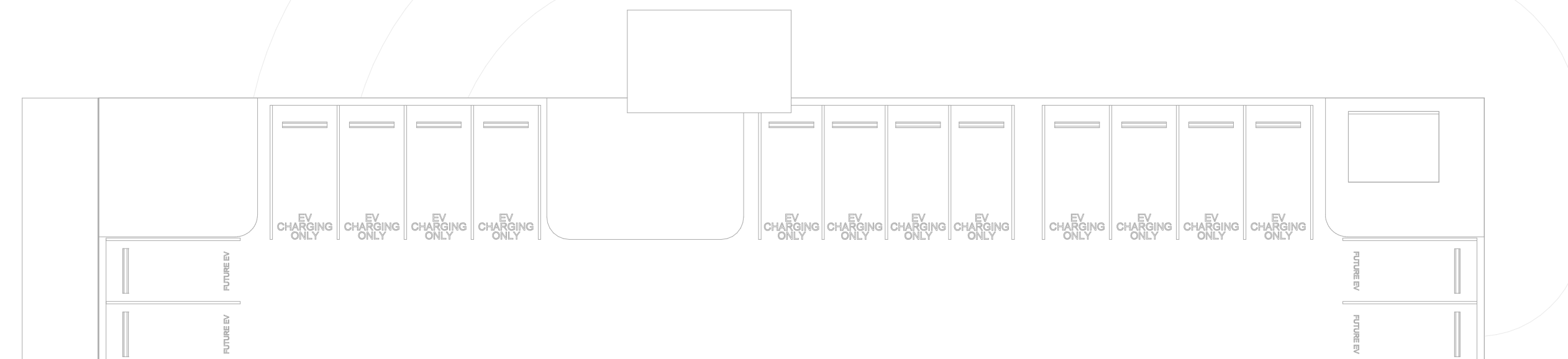
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Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O6-Roof	10.73	15.00	4.27	78.00	82.27	43,497	3,578,498.19
O6-2	10.73	15.00	4.27	18.00	22.27	5,464	121,683.28
O6-4	10.73	15.00	4.27	48.00	52.27	2,777	145,153.79
O6-5	10.73	15.00	4.27	63.00	67.27	2,608	175,440.16
Total						54,346	4,020,775.42
Bldg 6 - Weighted Average Height (ft)							73.98
Bldg 6 - Proposed Maximum Height (ft)							82.27



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: 1/16" = 1'-0"
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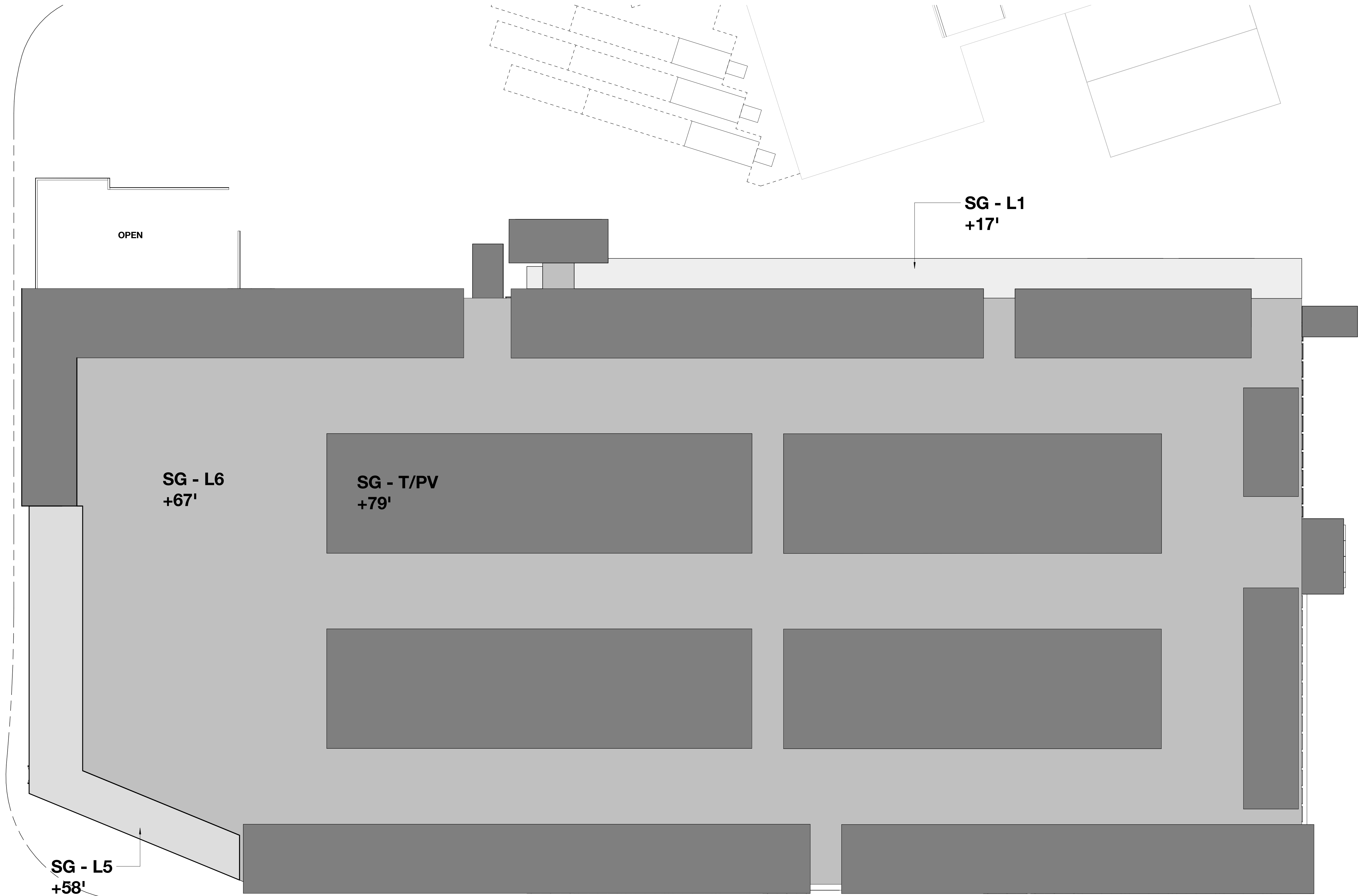
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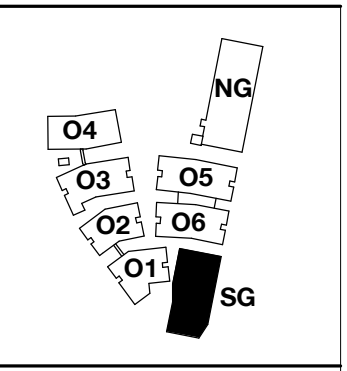
DRAWING TITLE:
**Building Height Analysis
 Plan - O6**

DRAWING NO:
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Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
SG-T/PV	10.88	13.00	2.12	77.25	79.37	38,431	3,050,268.47
SG-6	10.88	13.00	2.12	64.75	66.87	36,941	2,470,244.67
SG-5	10.88	13.00	2.12	55.50	57.62	2,320	133,678.40
Total						77,692	5,654,191.54
SG - Weighted Average Height (ft)							72.78
SG - Proposed Maximum Height (ft)							79.37



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

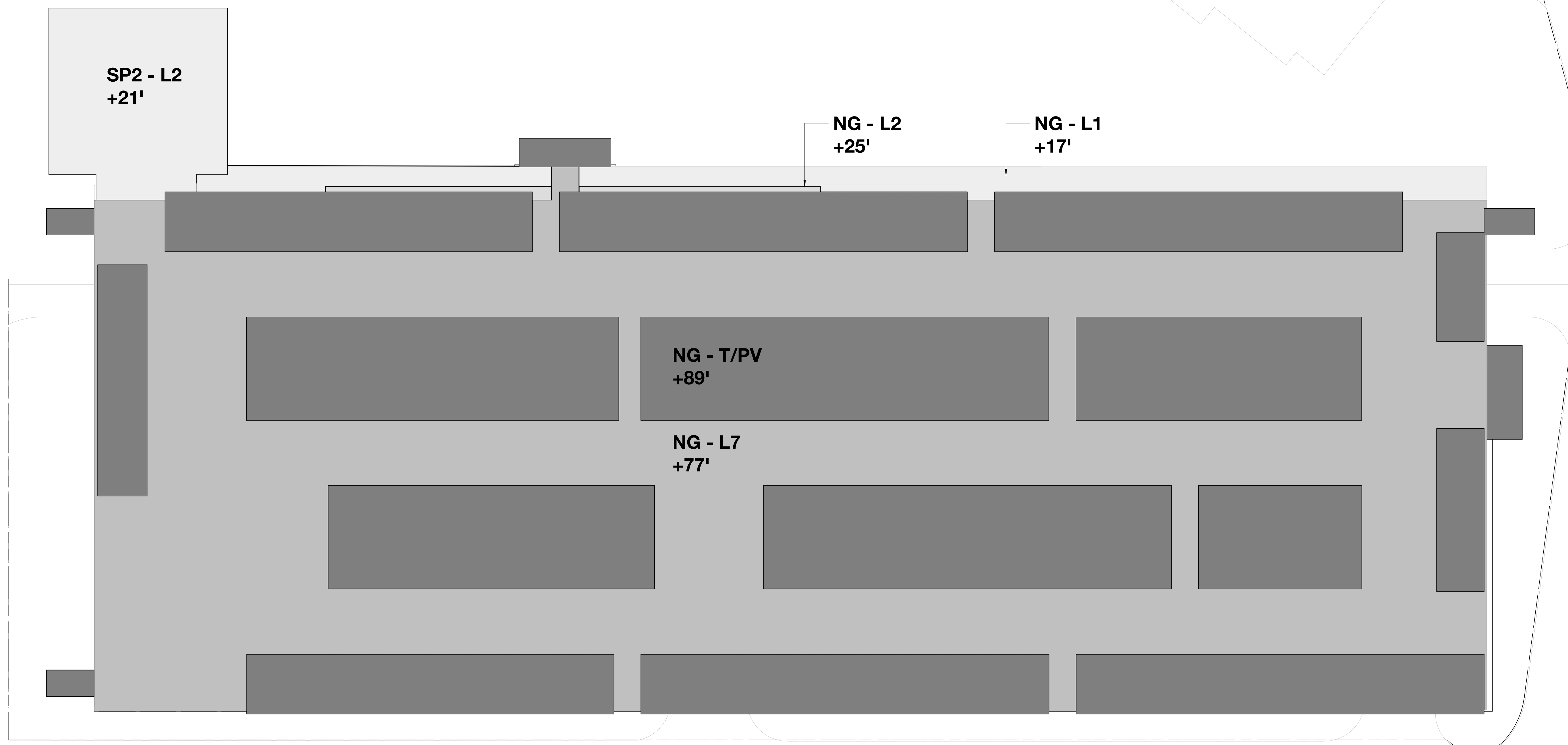
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DATE	ISSUE
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DRAWING TITLE:
**Building Height Analysis
 Plan - South Garage**

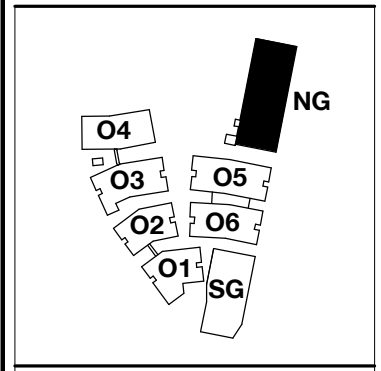
DRAWING NO:
A9.05.7





Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
NG-T/PV	10.20	12.00	1.80	87.50	89.30	51,189	4,571,177.70
NG-7	10.20	12.00	1.80	75.00	76.80	48,242	3,704,985.60
NG-2	10.20	12.00	1.80	22.75	24.55	361	8,862.55
NG-1	10.20	12.00	1.80	15.00	16.80	4,328	72,710.40
Total						104,120	8,357,736.25
NG - Weighted Average Height (ft)							80.27
NG - Proposed Maximum Height (ft)							89.30

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
SP2	9.00	15.00	6.00	24.50	30.50	2,528	77,104.00
Total						2,528	77,104.00
SP2 - Weighted Average Height (ft)							30.50
SP2 - Proposed Maximum Height (ft)							30.50



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

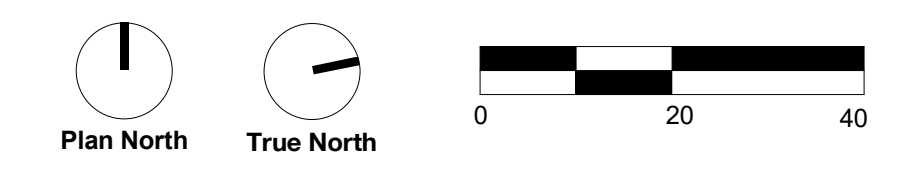
SCALE: 1" = 20'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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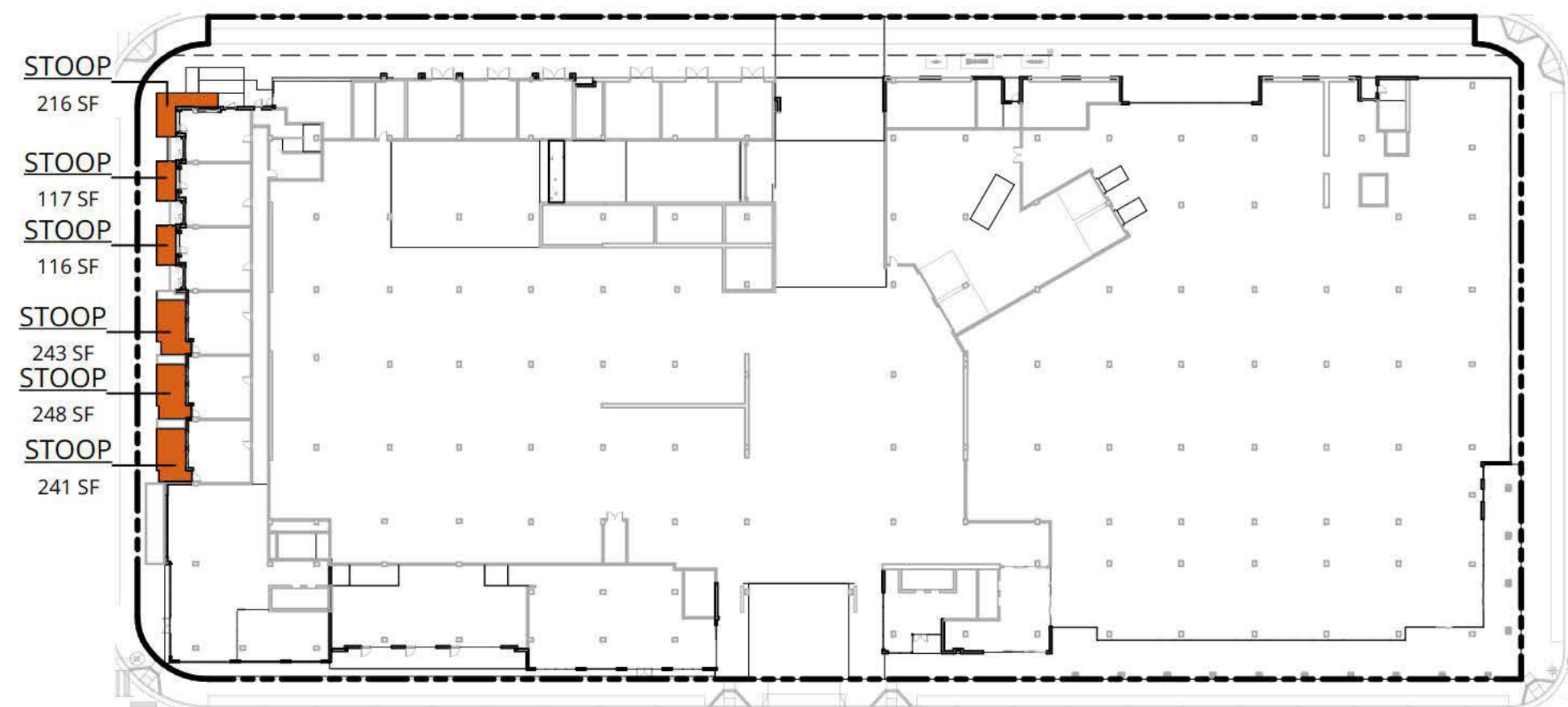
DRAWING TITLE:
**Building Height Analysis
 Plan - North Garage**

DRAWING NO:
A9.05.8



APPENDIX 3

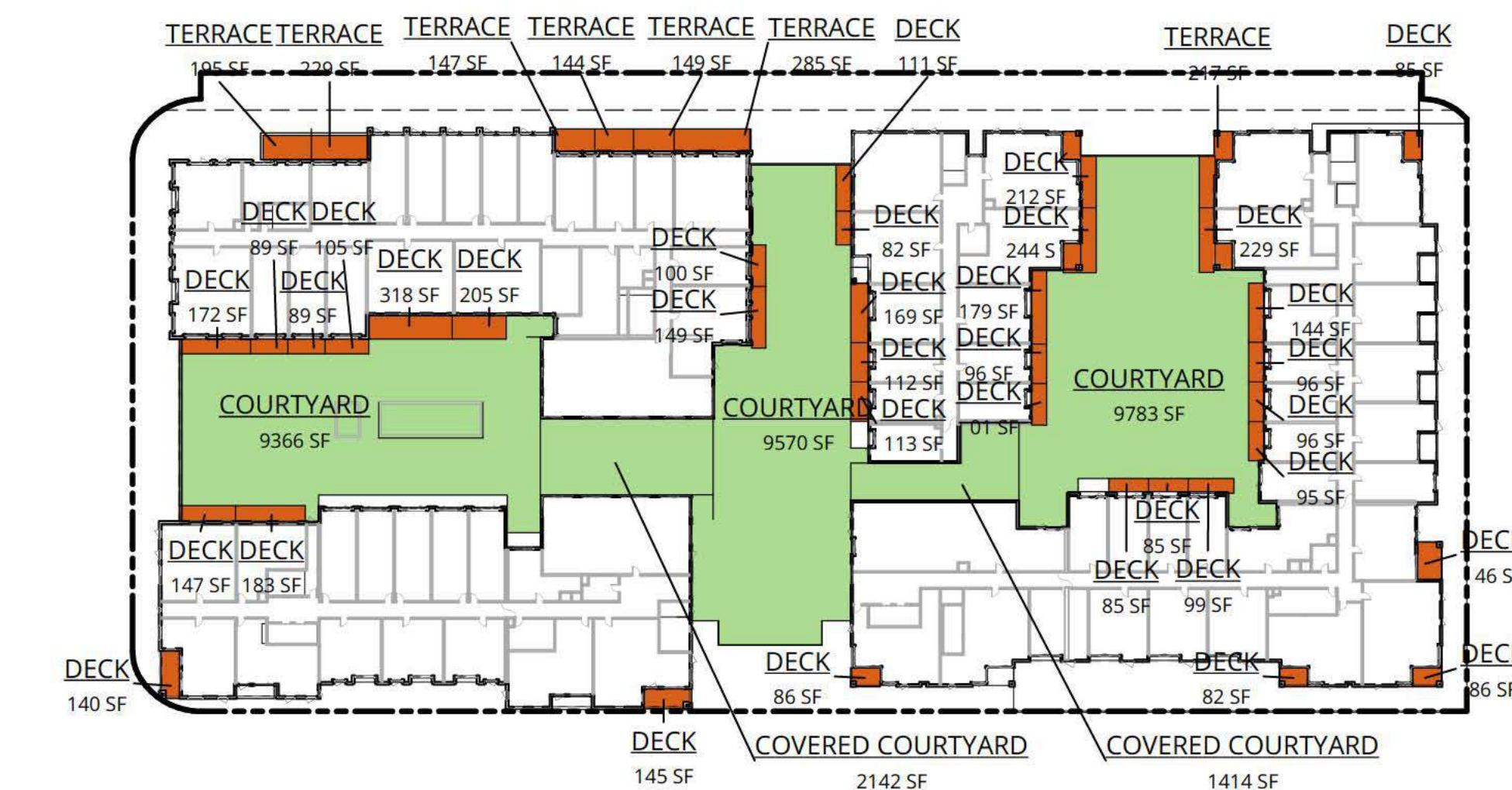
PARCEL 1-8 ILLUSTRATIVE OPEN SPACE



1 OPEN SPACE - LEVEL 1
1" = 60'-0"



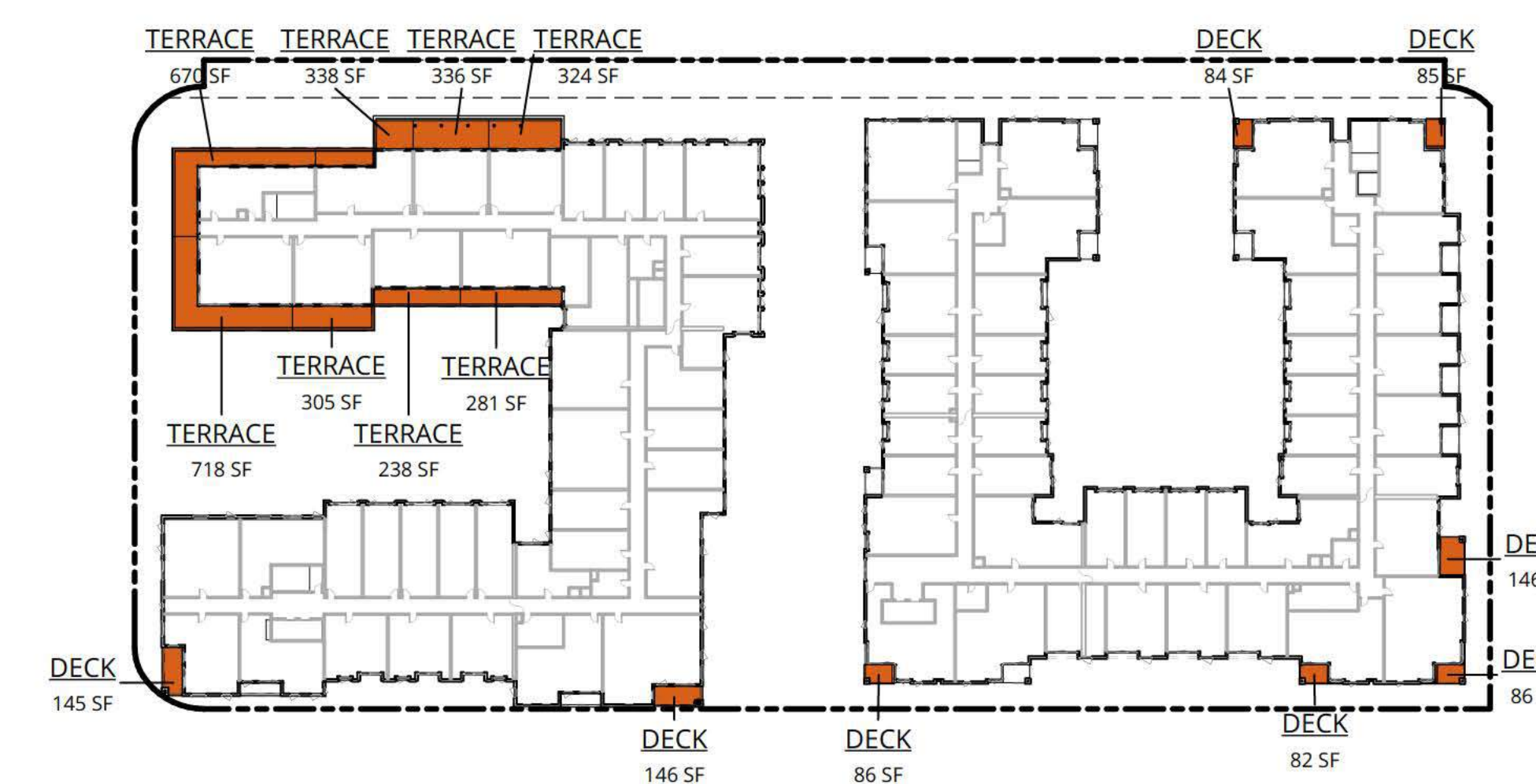
2 OPEN SPACE - LEVEL 2
1" = 60'-0"



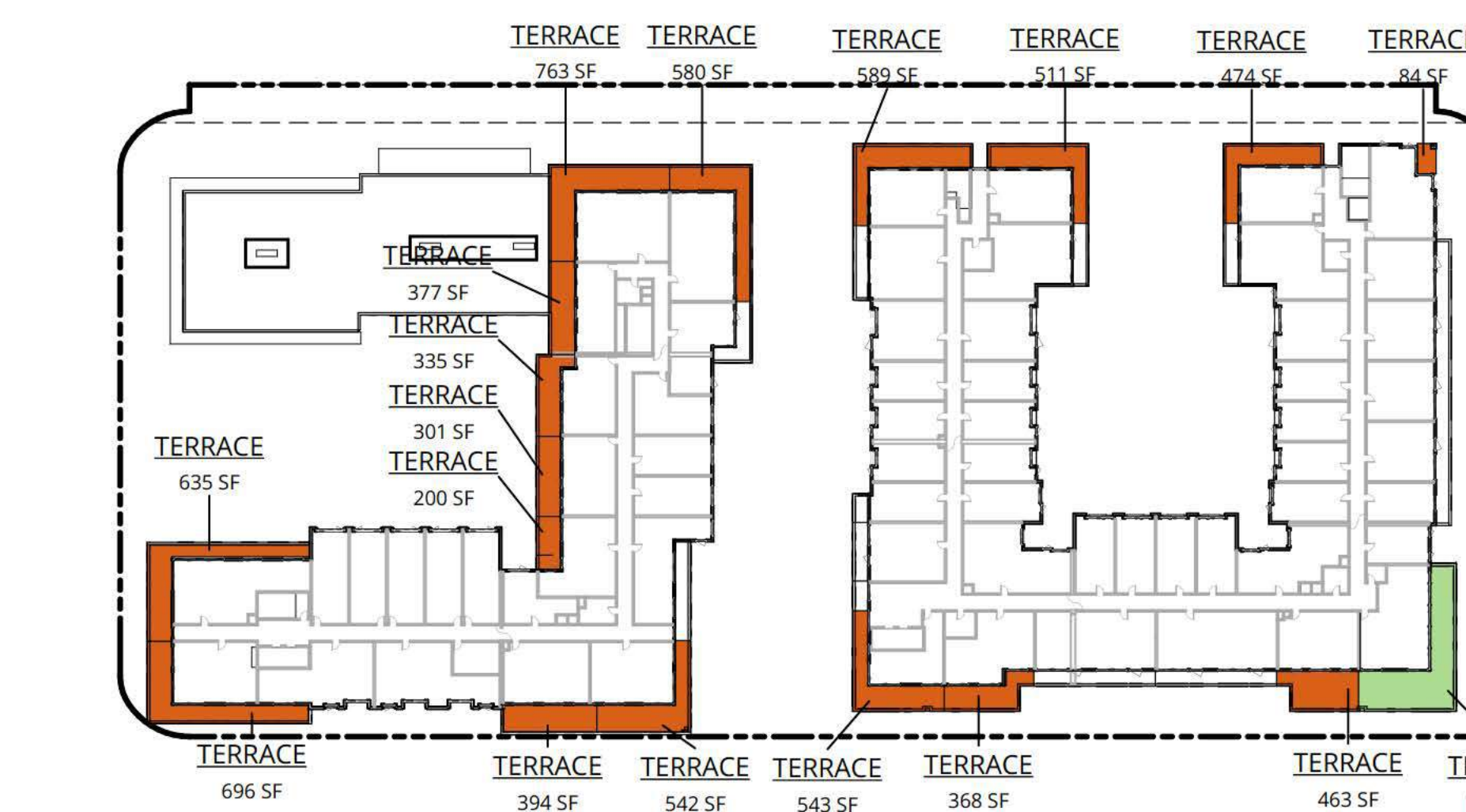
3 OPEN SPACE - LEVEL 3
1" = 60'-0"



4 OPEN SPACE - LEVEL 4
1" = 60'-0"



5 OPEN SPACE - LEVEL 5
1" = 60'-0"



6 OPEN SPACE - LEVEL 6
1" = 60'-0"

LEGEND

- PRIVATE OPEN SPACE
- RESIDENT COMMON OPEN SPACE

OPEN SPACE

Menlo Park Municipal Code 16.45.120(4) Open Space
(C) Residential developments shall have a minimum of common open space and private open space. These requirements are counted towards the minimum amount of open space equal to twenty-five percent (25%) of the total lot area.

(i) One hundred (100) square feet of open space per unit shall be created as common open space or a minimum of eighty (80) square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of six (6) feet by six (6) feet;

(ii) In the case of a mix of private and common open space, such common open space shall be provided at a ratio equal to one and one-quarter (1.25) square feet for each one (1) square foot of private open space that is not provided.

(iii) Depending on the number of dwelling units, common open space shall be provided to meet the following criteria:
c. One hundred one (101) or more units: minimum of one (1) space, forty (40) feet minimum dimension (one thousand six hundred (1,600) square feet total, minimum).

(D) All open spaces shall:
(i) Interface with adjacent buildings via direct connections through doors, windows, and entryways;
(ii) Be integrated as part of building modulation and articulation to enhance building facade and should be sited and designed to be appropriate for the size of the development and accommodate different activities, groups and both active and passive uses;
(iii) Incorporate landscaping design that includes:
a. Sustainable stormwater features;
b. A minimum landscaping bed no less than three (3) feet in length or width and five (5) feet in depth for infiltration planting;
c. Native species able to grow to their maximum size without shearing.

(E) All exterior landscaping counts towards open space requirements.

Proposal / Notes: See open space calculations provided below.

Open Space Summary

Lot Area: 137,540 SF 100%

Open Space	Area	% of Total Lot Area
Private Open Space:	20,326 SF	15%
Common Open Space:	33,314 SF	24%
Total:	53,640 SF	39%
Minimum Required:		25%
Total provided is greater than minimum required. Therefore project complies.		

Public Open Space: 0 SF 0%

Private and Common Open Space Mix

Min. Private Open...	80 SF
Min. Common Open Space/Unit:	100 SF

Min. area of Common Open Space required to replace (1) square foot of Private Open Space that is not provided: 1.25 SF

Provided Private Open...	Unit Count	Area/Unit	Total Area
Units with 80SF+ of Private Open Space:	91	Varies - Always >80SF	20,326 SF
Total:			20,326 SF

Required Common Open...	Unit Count	Area/Unit	Total Area
Units with no Private Open Space:	236	100 SF	23,600 SF
Total Required:			23,600 SF
Common Open Space Provided:			33,314 SF
Total provided is greater than minimum required. Therefore project complies.			

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 2
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

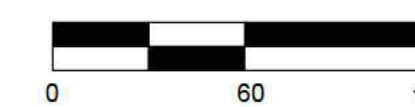
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DRAWING TITLE:
OPEN SPACE PLANS

DRAWING NO:
***A9.06**



OPEN SPACE

Menlo Park Municipal Code 16.45.120(4) Open Space

(C) Residential developments shall have a minimum of common open space and private open space. These requirements are counted towards the minimum amount of open space equal to twenty-five per-cent (25%) of the total lot area.

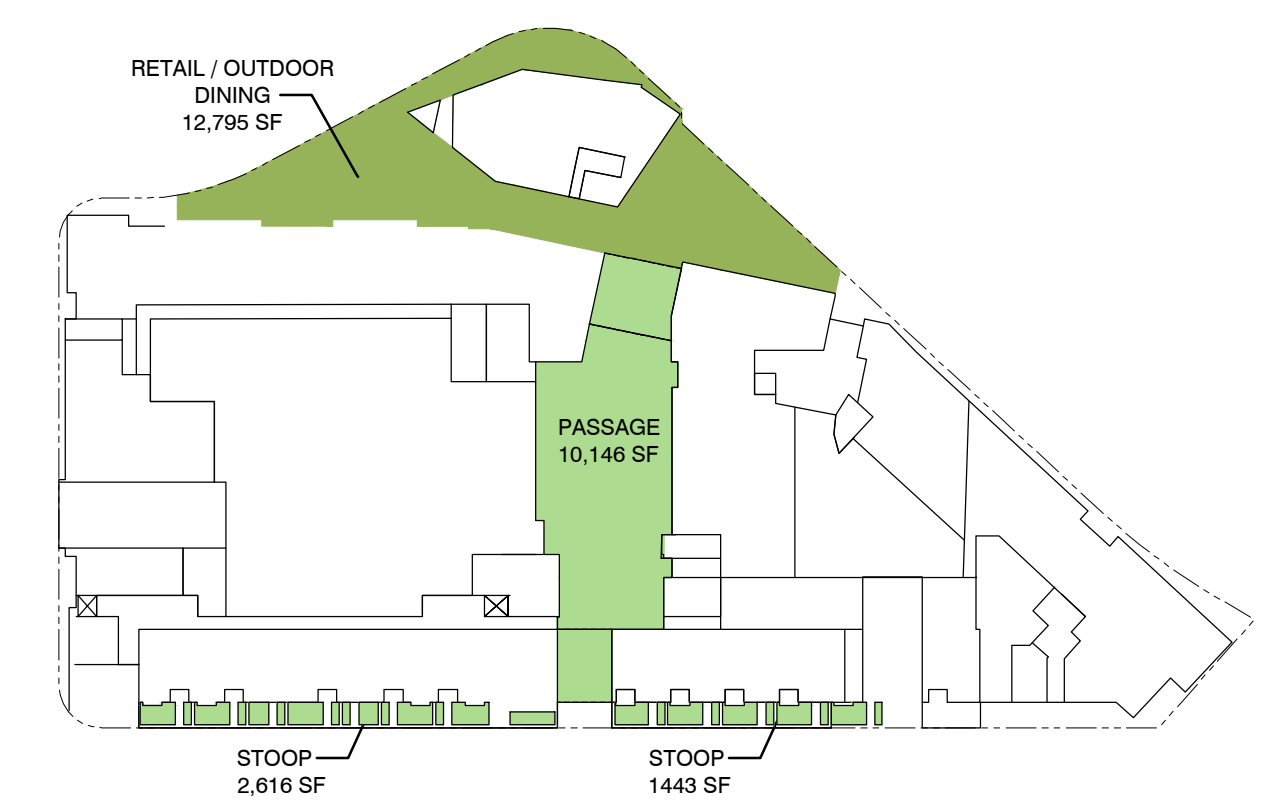
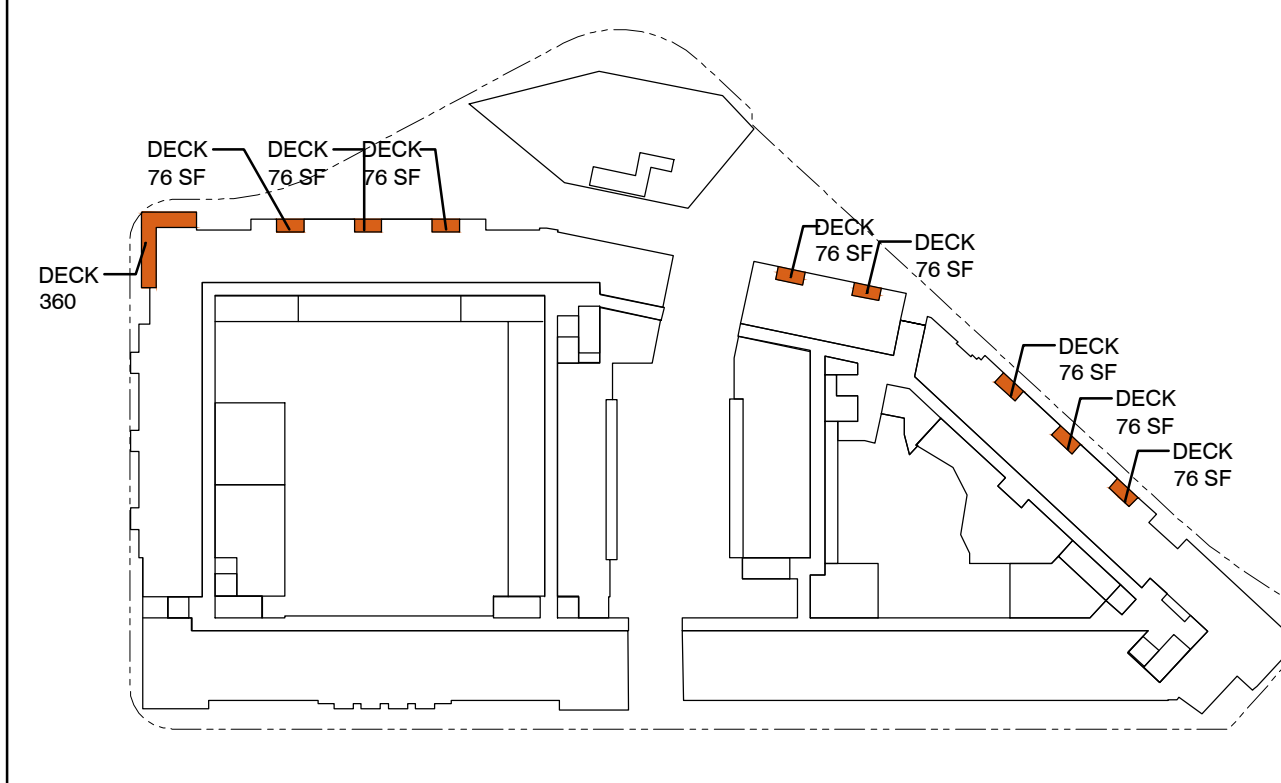
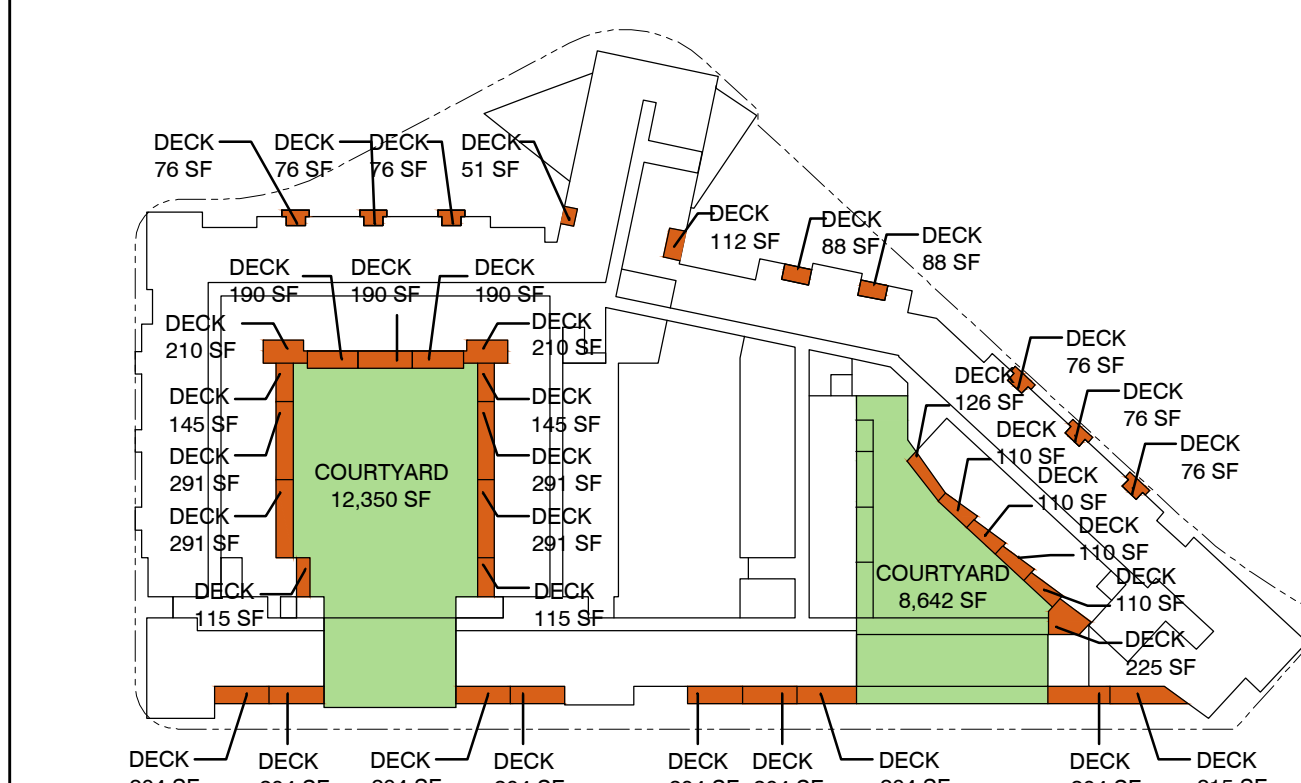
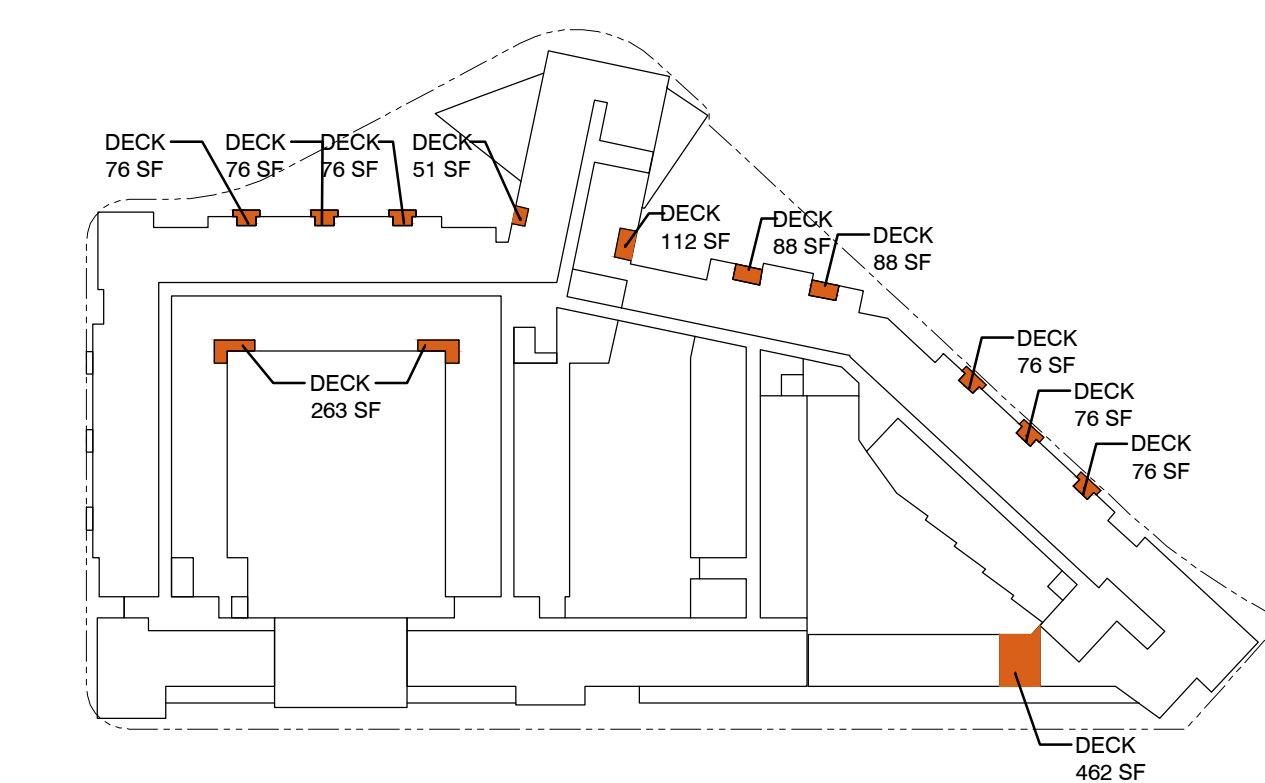
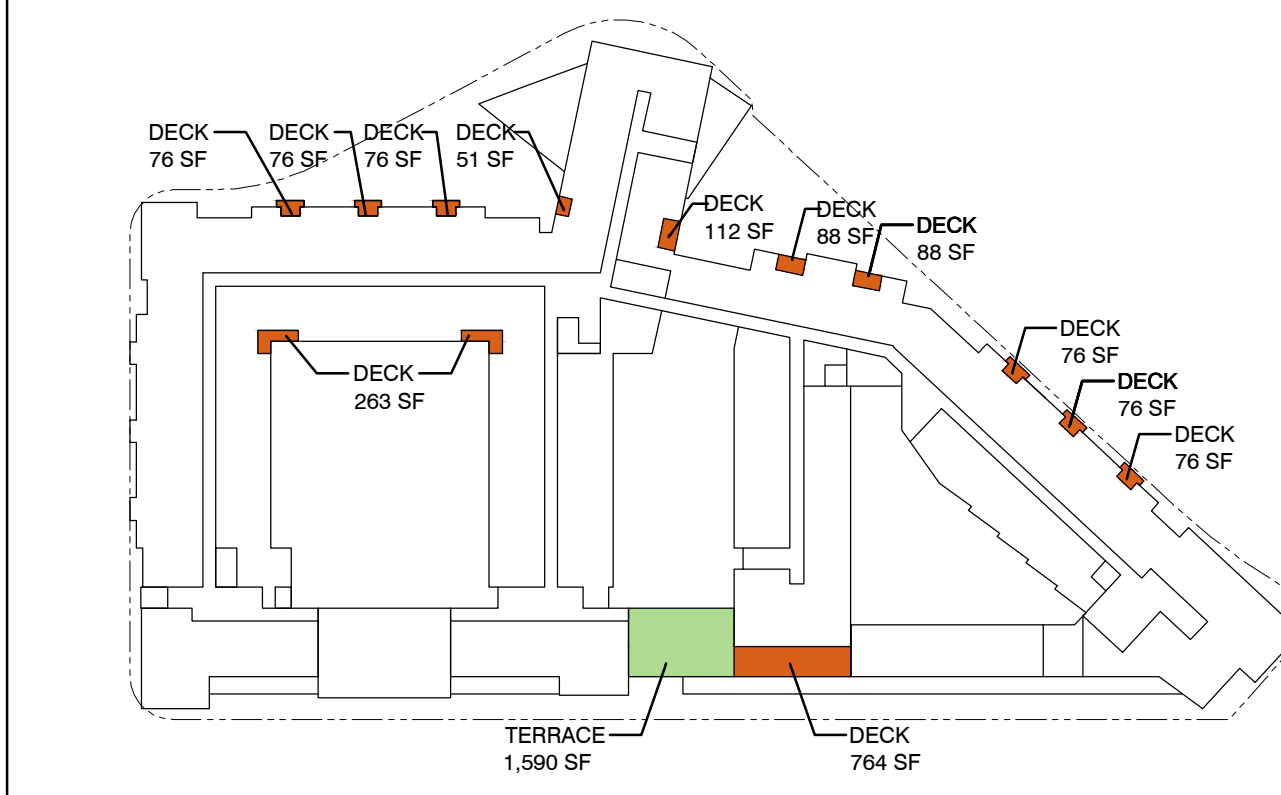
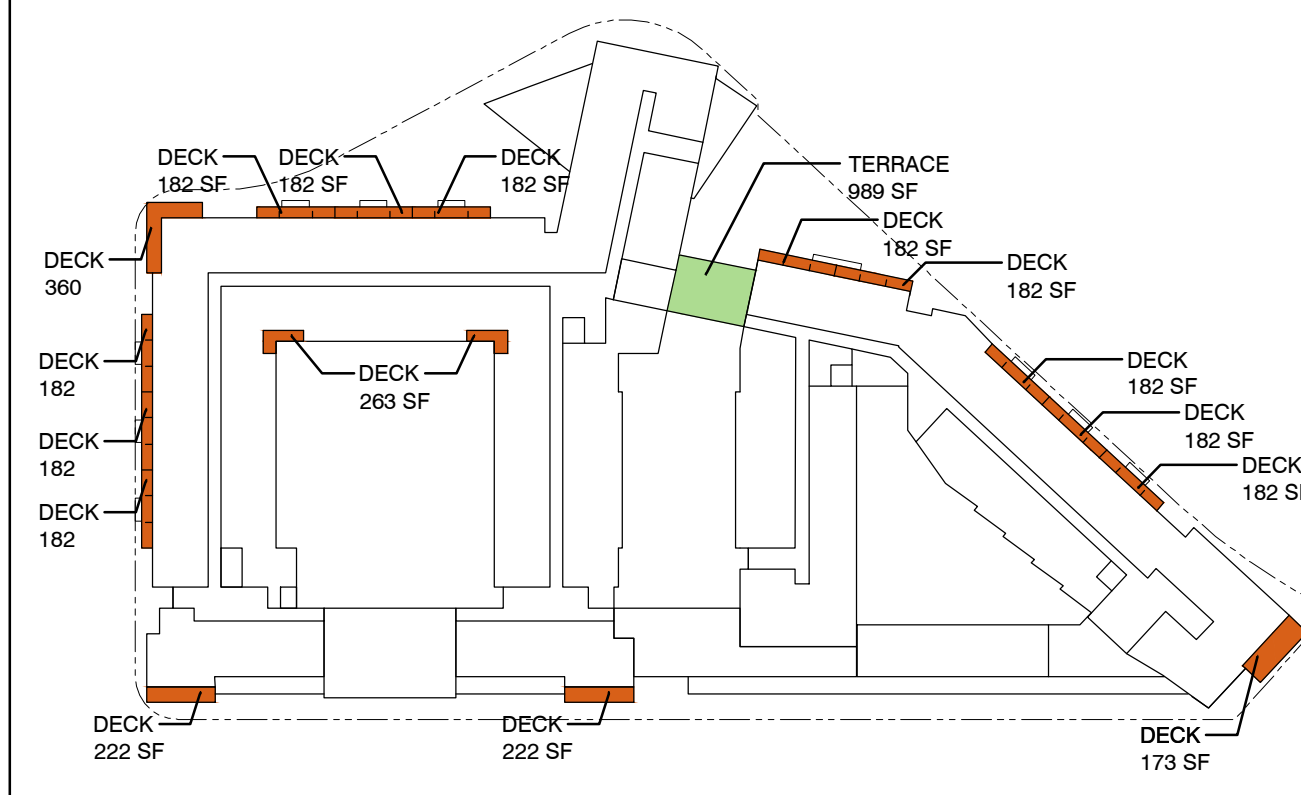
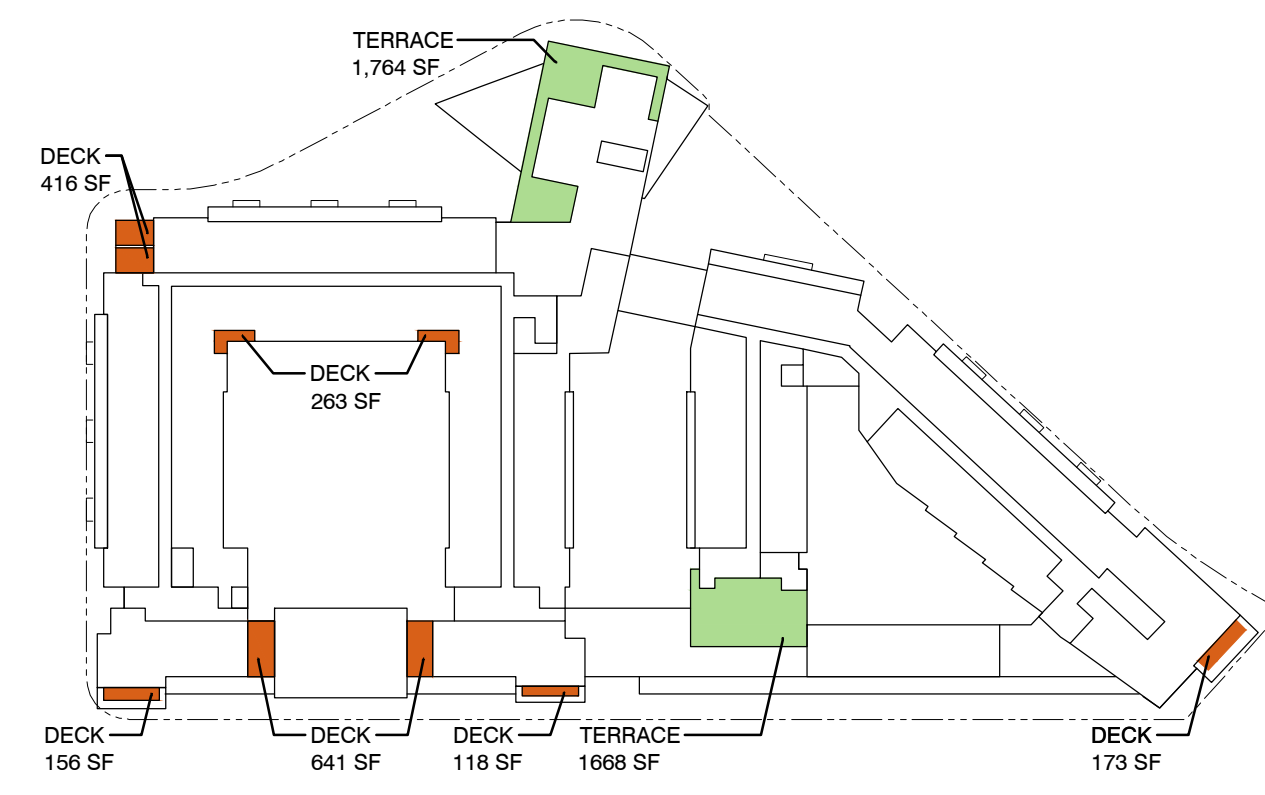
- (i) One hundred (100) square feet of open space per unit shall be created as common open space or a minimum of eighty (80) square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of six (6) feet by six (6) feet;
- (ii) In the case of a mix of private and common open space, such common open space shall be provided at a ratio equal to one and one-quarter (1.25) square feet for each one (1) square foot of private open space that is not provided.
- (iii) Depending on the number of dwelling units, common open space shall be provided to meet the following criteria:
 - c. One hundred one (101) or more units: minimum of one (1) space, forty (40) feet minimum dimension (one thousand six hundred (1,600) square feet total, minimum).

(D) All open spaces shall:

- (i) Interface with adjacent buildings via direct connections through doors, windows, and entryways;
- (ii) Be integrated as part of building modulation and articulation to enhance building facade and should be sited and designed to be appropriate for the size of the development and accommodate different activities, groups and both active and passive uses;
- (iii) Incorporate landscaping design that includes:
 - a. Sustainable stormwater features;
 - b. A minimum landscaping bed no less than three (3) feet in length or width and five (5) feet in depth for infiltration planting;
 - c. Native species able to grow to their maximum size without shearing.

(E) All exterior landscaping counts towards open space requirements.

Proposal / Notes: See open space calculations provided below.



OPEN SPACE SUMMARY				
	Publicly Accessible Open Space	Common Open Space	Private Open Space	TOTAL
LEVEL 1	12,795.00	12,576.00	-	25,371.00
LEVEL 2	-	-	997.00	997.00
LEVEL 3	-	20,990.00	6,258.00	27,248.00
LEVEL 4	-	-	1,530.00	1,530.00
LEVEL 5	-	1,590.00	1,841.00	3,431.00
LEVEL 6	-	989.00	3,234.00	4,223.00
LEVEL 7	-	3,432.00	1,767.00	5,199.00
TOTAL	12,795.00	39,577.00	15,627.00	62,800.00
Percent	10%	32%	12%	54%
Required				31.25%

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 3
Menlo Park, CA

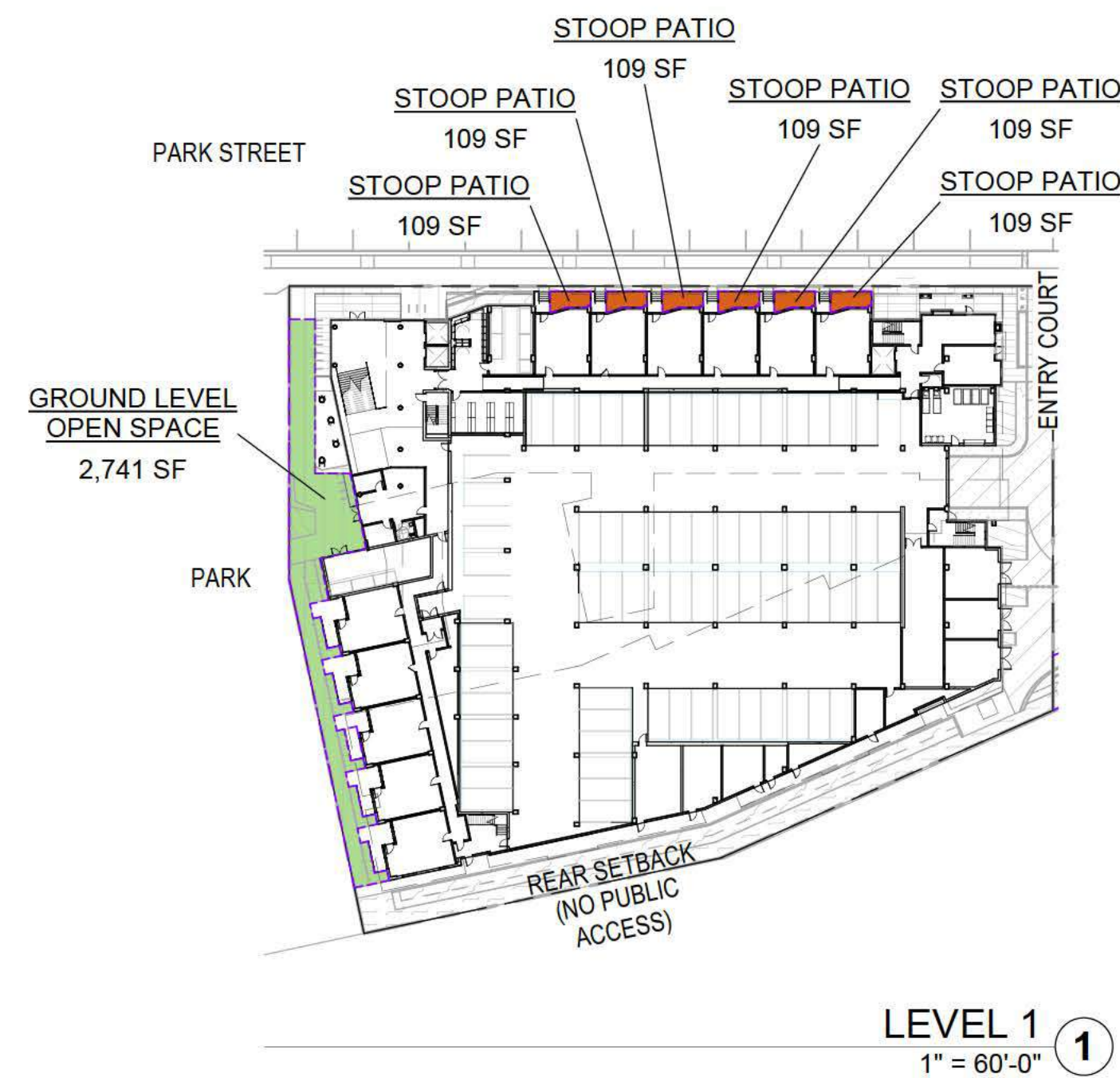
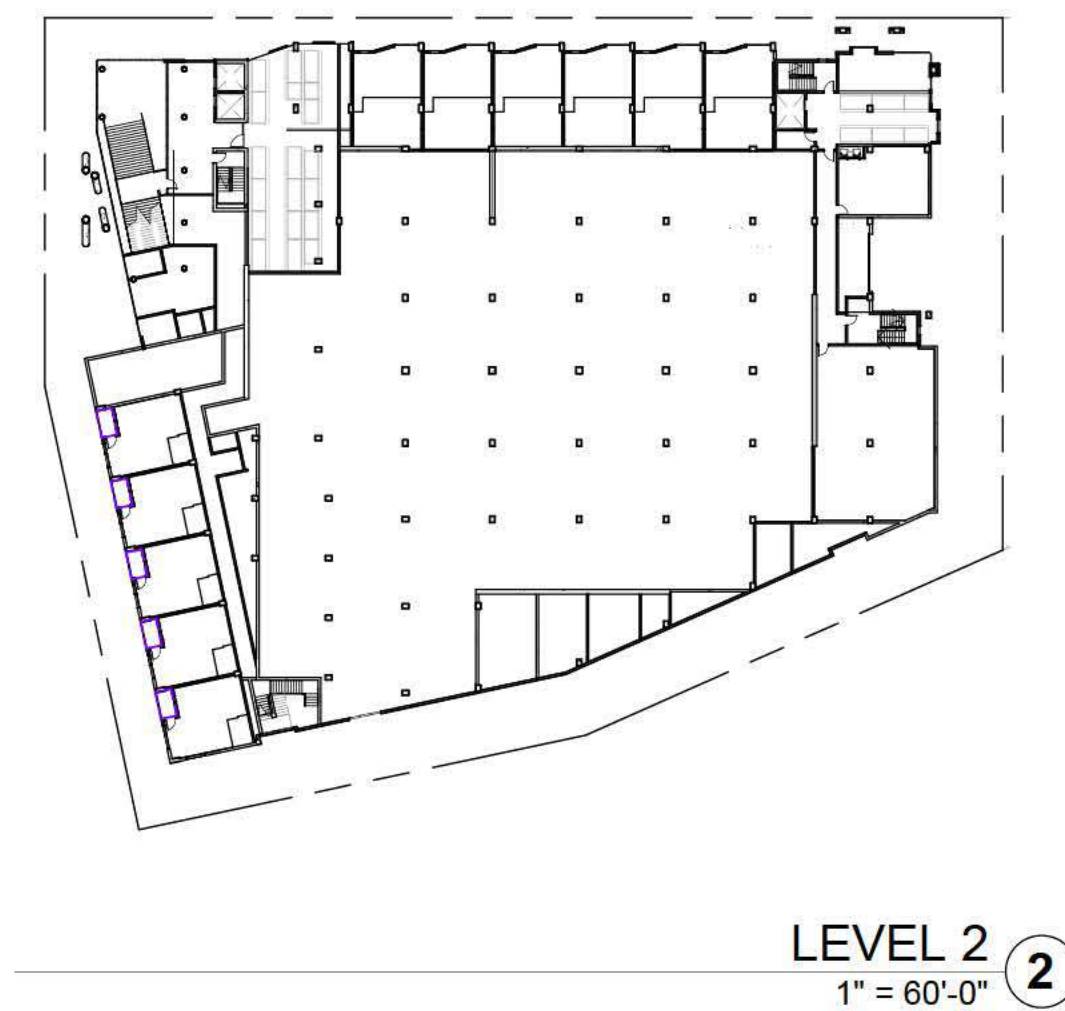
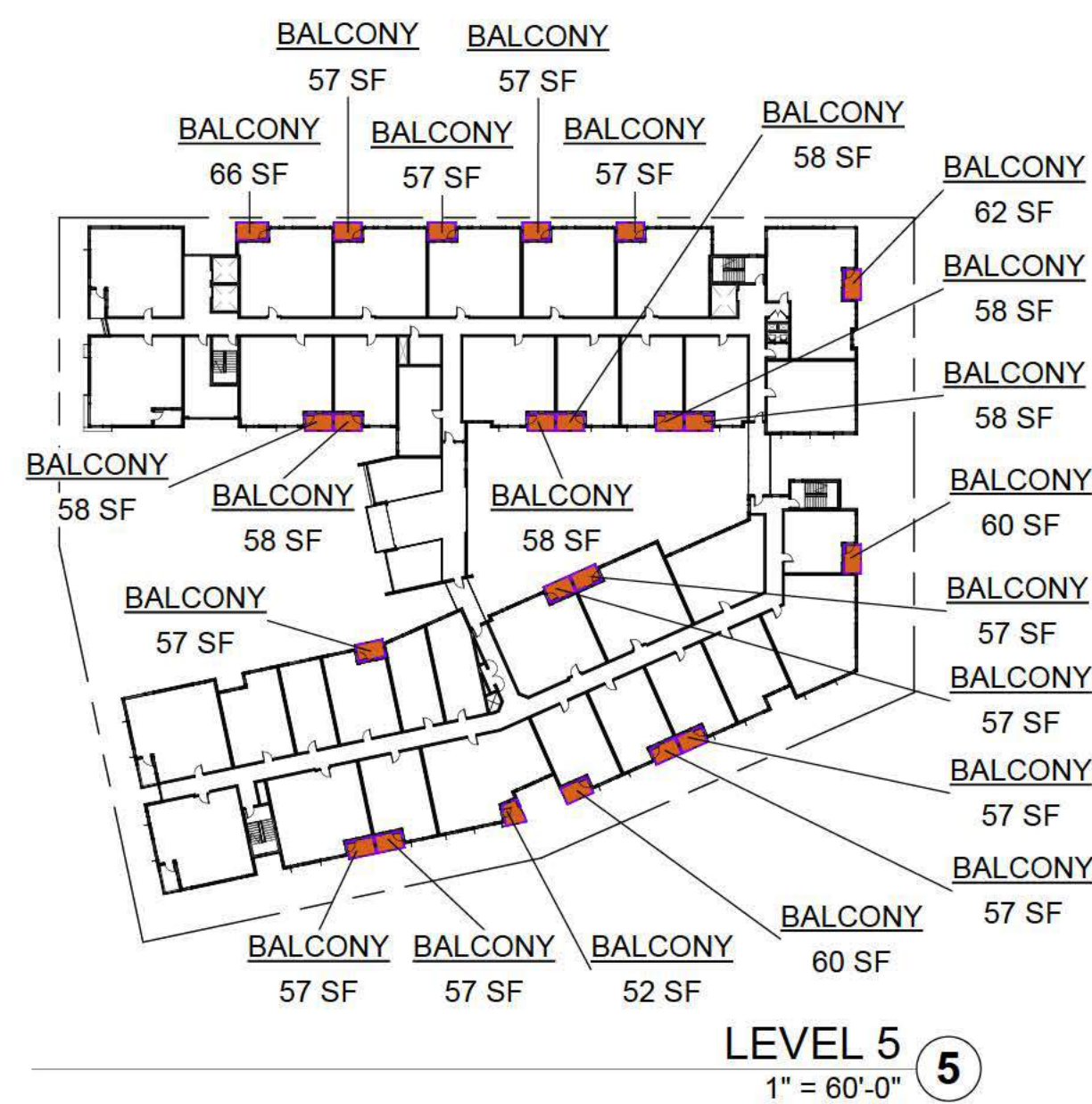
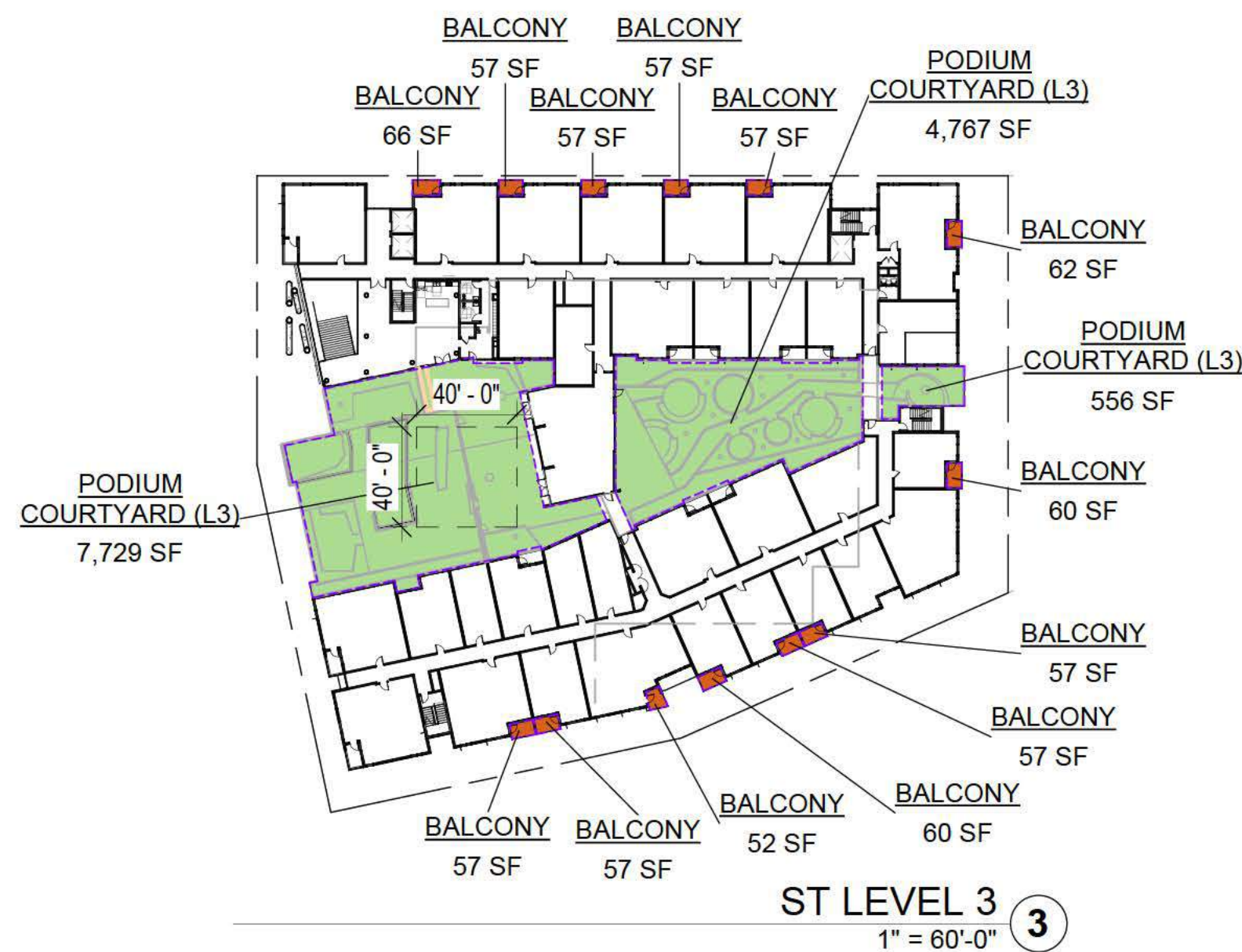
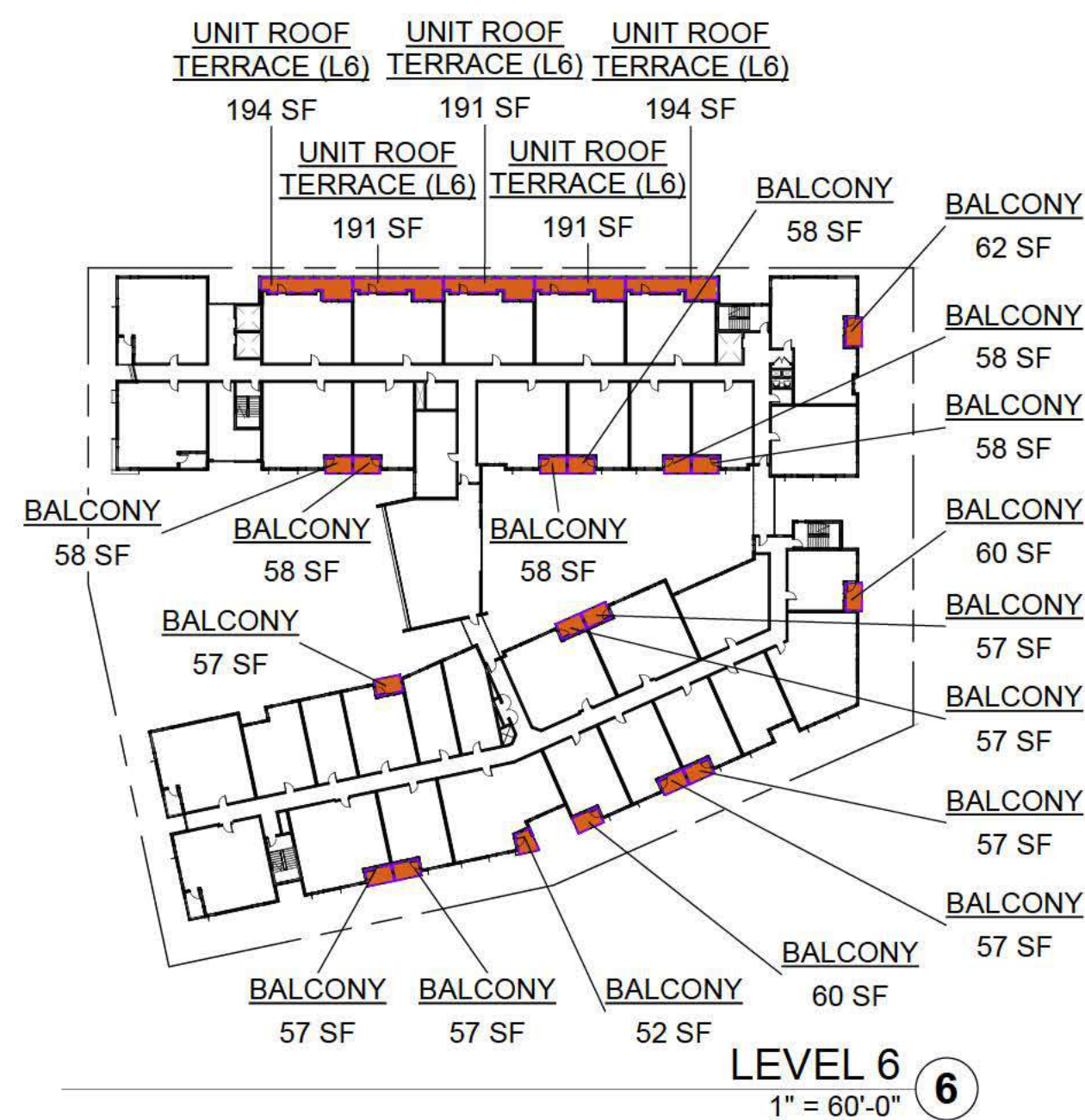
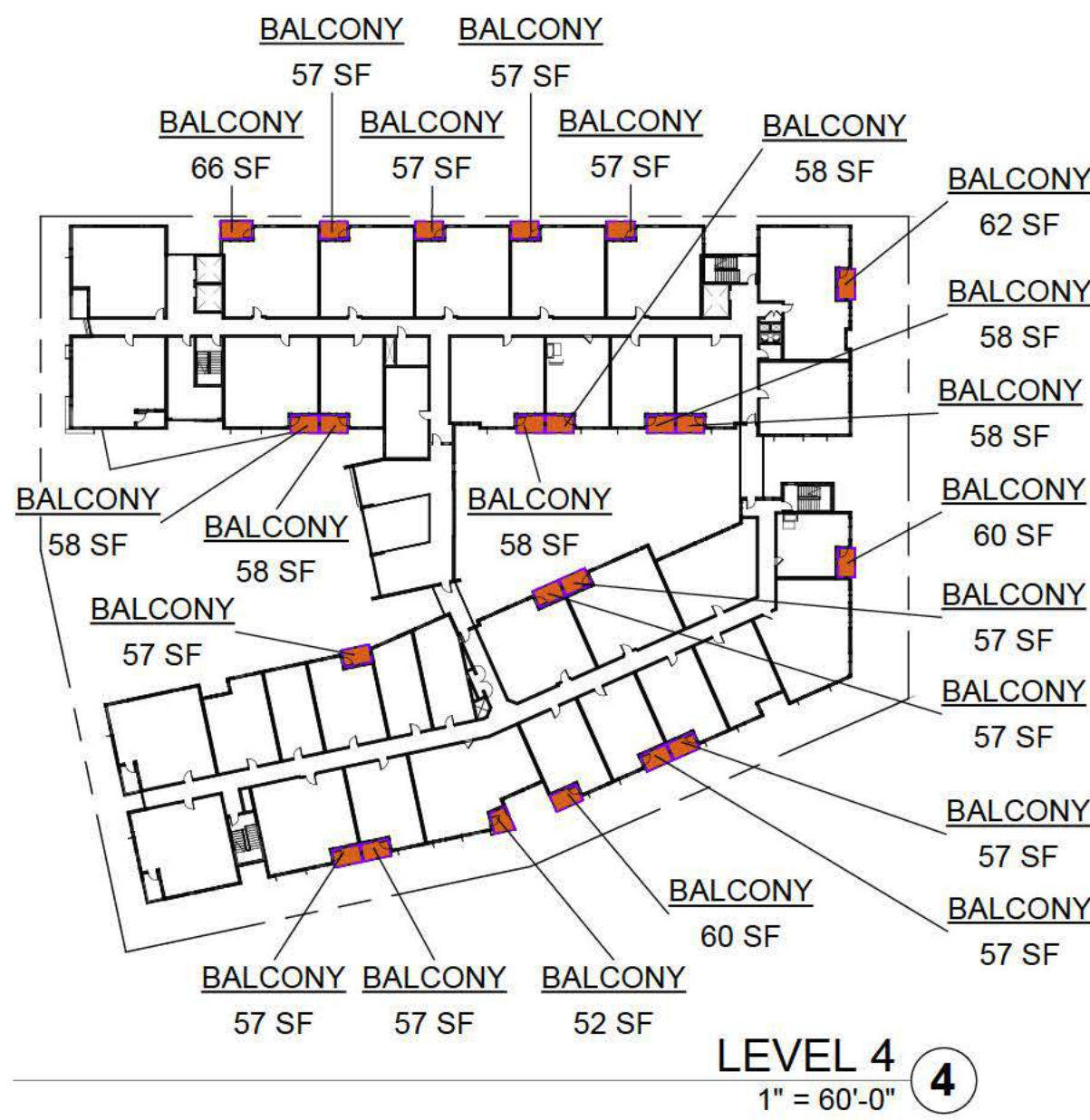
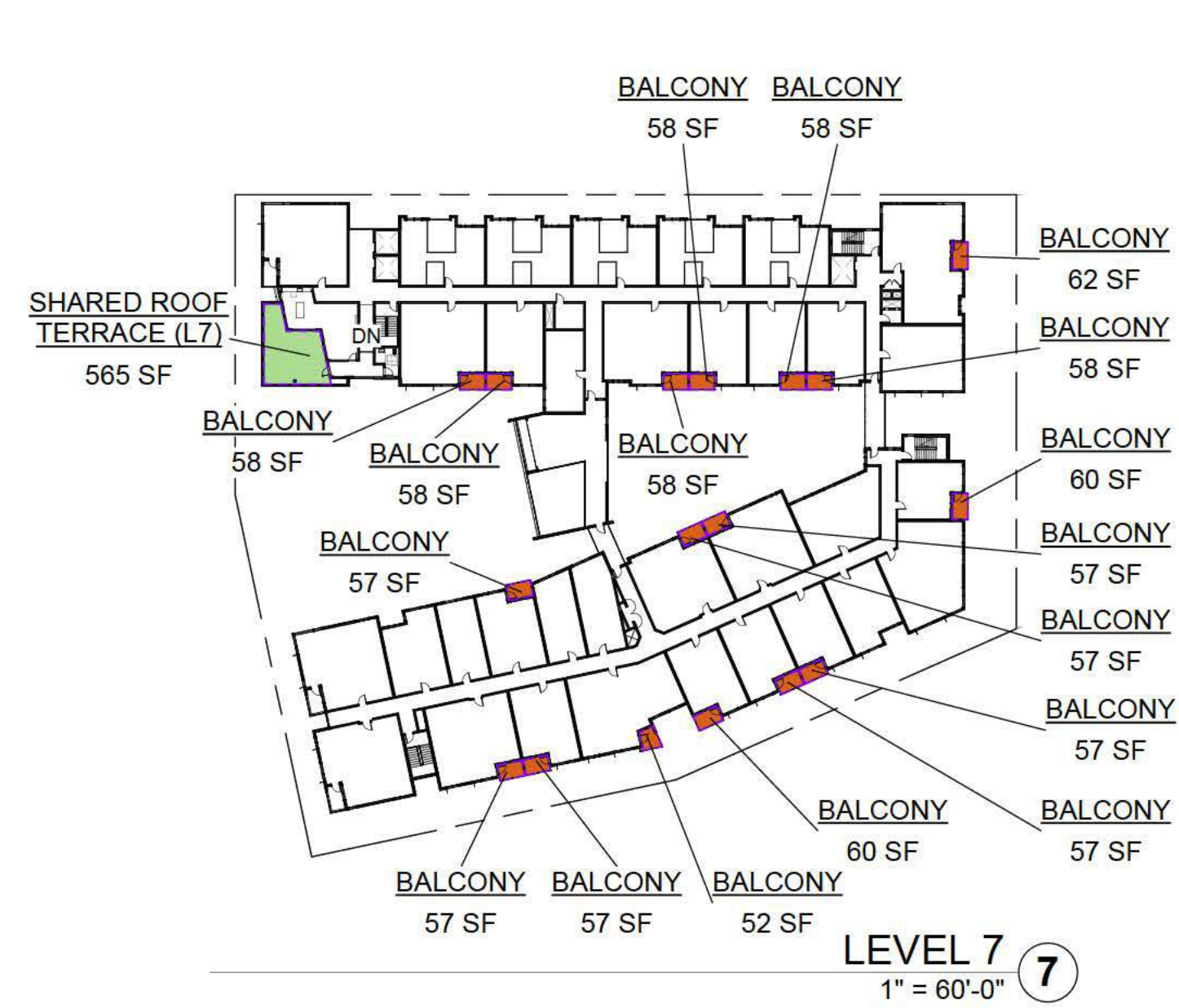
SCALE:
NOTE: THIS DRAWING IS B20 A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE

DRAWING TITLE:
OPEN SPACE DIAGRAM

DRAWING NO:
A9.06



Name	Open Space Type	Open Space Location	Area
GROUND LEVEL OPEN SPACE	COMMON OPEN SPACE	L1	2,741 SF
GROUND LEVEL OPEN SPACE: 2			2,741 SF
PODIUM COURTYARD (L3): 2	COMMON OPEN SPACE	L3	13,052 SF
PODIUM COURTYARD (L3): 3			13,052 SF
SHARED ROOF TERRACE (L7)	COMMON OPEN SPACE	L7	565 SF
SHARED ROOF TERRACE (L7): 1			565 SF
BALCONY	PRIVATE OPEN SPACE	L3-L7	5,260 SF
BALCONY: 91			5,260 SF
STOOP PATIO	PRIVATE OPEN SPACE	L1	651 SF
STOOP PATIO: 6			651 SF
UNIT ROOF TERRACE (L6)	PRIVATE OPEN SPACE	L6	961 SF
UNIT ROOF TERRACE (L6): 5			961 SF
PRIVATE OPEN SPACE			6,872 SF
Total Open Space			23,230 SF

PARCEL 6 OPEN SPACE ANALYSIS:

OPEN SPACE SUMMARY:

LOT AREA:	64,315 SF	100%
OPEN SPACE	AREA	% OF TOTAL AREA
PRIVATE OPEN SPACE	6,872 SF	10%
COMMON OPEN SPACE	16,358 SF	25%
TOTAL	23,230 SF	35%
MINIMUM REQUIRED		25%

PRIVATE & COMMON OPEN SPACE MIX:

MIN. REQUIRED OPEN SPACE (IF PRIVATE):
80 SF/UNIT * 176 UNITS = **14,080 SF**

MIN. REQUIRED OPEN SPACE (IF COMMON):
100 SF/UNIT * 176 UNITS = **17,600 SF**

MIN. AREA OF COMMON OPEN SPACE TO REPLACE (1) SF OF REQUIRED PRIVATE OPEN SPACE THAT IS NOT PROVIDED: **1.25 SF**

CALCULATION:	
14,080	SF (REQ. PRIVATE OPEN SPACE)
- 6,872	SF (PROVIDED PRIVATE OPEN SPACE)
7,208	SF (REQ. PRIVATE OPEN SPACE THAT IS NOT PROVIDED)
x 1.25	SF (RATIO OF REQ. COMMON OPEN SPACE TO PRIVATE)
9,010	SF (MIN. REQUIRED COMMON OPEN SPACE)
16,358	SF (PROVIDED COMMON OPEN SPACE) > 9,010 SF = COMPLIANT

MENLO PARK ZONING CODE REQUIREMENTS

16.45.120 (4): OPEN SPACE

(C) RESIDENTIAL DEVELOPMENTS SHALL HAVE A MINIMUM OF COMMON OPEN SPACE AND PRIVATE OPEN SPACE. THESE REQUIREMENTS ARE COUNTED TOWARDS THE MINIMUM AMOUNT OF OPEN SPACE EQUAL TO TWENTY-FIVE PERCENT (25%) OF THE TOTAL LOT AREA.

(I) ONE HUNDRED (100) SQUARE FEET OF OPEN SPACE PER UNIT SHALL BE CREATED AS COMMON OPEN SPACE OR A MINIMUM OF EIGHTY (80) SQUARE FEET OF OPEN SPACE PER UNIT CREATED AS PRIVATE OPEN SPACE, WHERE PRIVATE OPEN SPACE SHALL HAVE A MINIMUM DIMENSION OF SIX (6) FEET BY SIX (6) FEET;

(II) IN THE CASE OF A MIX OF PRIVATE AND COMMON OPEN SPACE, SUCH COMMON OPEN SPACE SHALL BE PROVIDED AT A RATIO EQUAL TO ONE AND ONE-QUARTER (1.25) SQUARE FEET FOR EACH ONE (1) SQUARE FOOT OF PRIVATE OPEN SPACE THAT IS NOT PROVIDED.

(III) DEPENDING ON THE NUMBER OF DWELLING UNITS, COMMON OPEN SPACE SHALL BE PROVIDED TO MEET THE FOLLOWING CRITERIA:
C. ONE HUNDRED ONE (101) OR MORE UNITS:
MINIMUM OF ONE (1) SPACE, FORTY (40) FEET
MINIMUM DIMENSION (ONE THOUSAND SIX HUNDRED (1,600) SQUARE FEET TOTAL, MINIMUM).

(D) ALL OPEN SPACES SHALL:

(I) INTERFACE WITH ADJACENT BUILDINGS VIA DIRECT CONNECTIONS THROUGH DOORS, WINDOWS, AND ENTRYWAYS;

(II) BE INTEGRATED AS PART OF BUILDING MODULATION AND ARTICULATION TO ENHANCE BUILDING FACADE AND SHOULD BE SITED AND DESIGNED TO BE APPROPRIATE FOR THE SIZE OF THE DEVELOPMENT AND ACCOMMODATE DIFFERENT ACTIVITIES, GROUPS AND BOTH ACTIVE AND PASSIVE USES;

(III) INCORPORATE LANDSCAPING DESIGN THAT INCLUDES:

- A. SUSTAINABLE STORMWATER FEATURES;
- B. A MINIMUM LANDSCAPING BED NO LESS THAN THREE (3) FEET IN LENGTH OR WIDTH AND FIVE (5) FEET IN DEPTH FOR INFILTRATION PLANTING;
- C. NATIVE SPECIES ABLE TO GROW TO THEIR MAXIMUM SIZE WITHOUT SHEARING.

(E) ALL EXTERIOR LANDSCAPING COUNTS TOWARDS OPEN SPACE REQUIREMENTS.

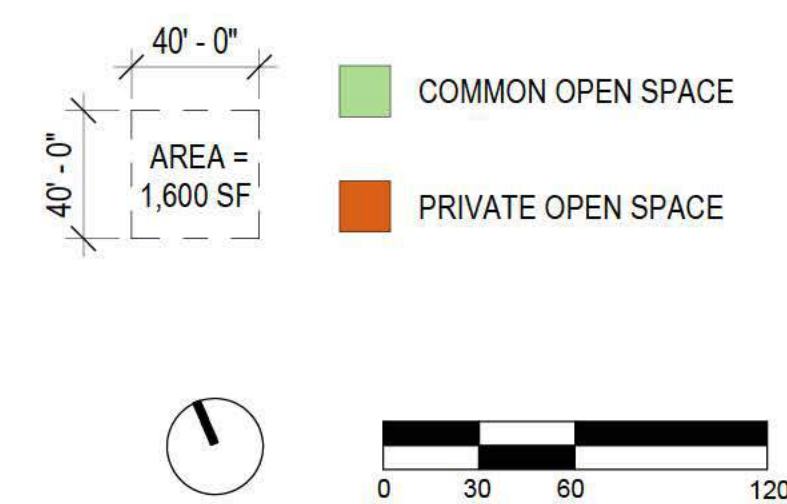
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE REQUIRED DIMENSIONS ONLY. OR USE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

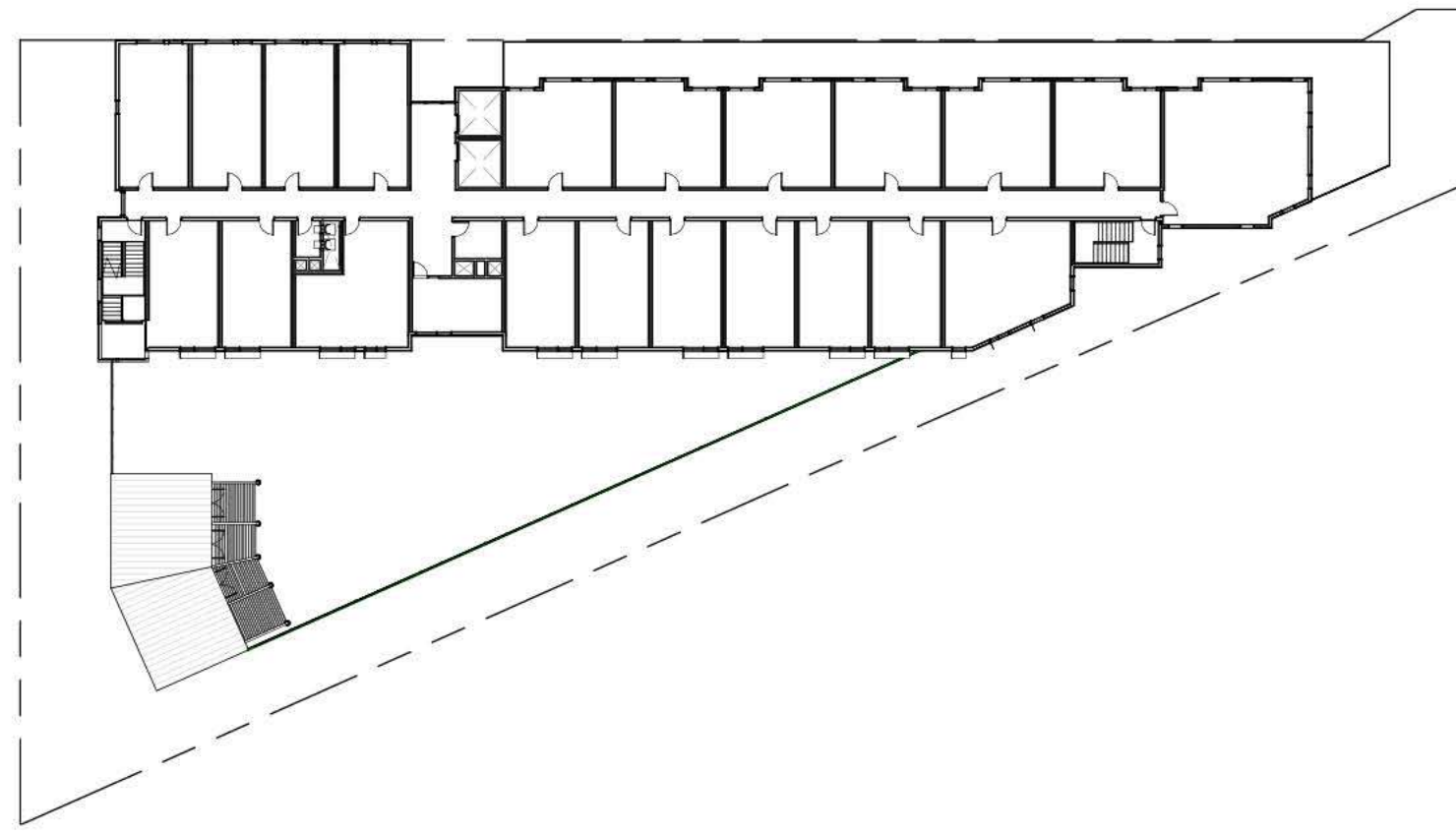
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09/07/2021	ACP

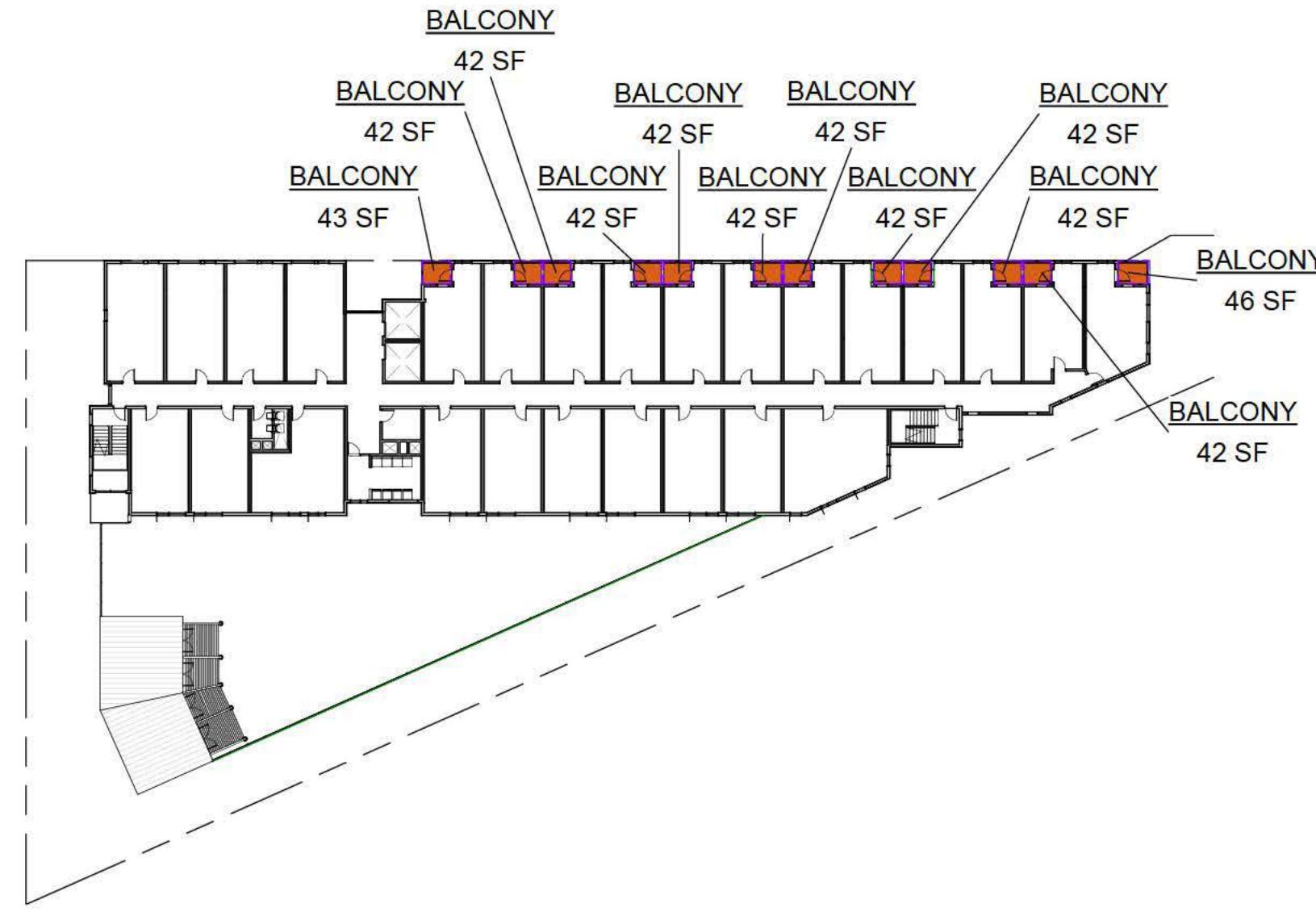
REVISIONS

NO.	DATE	ISSUE

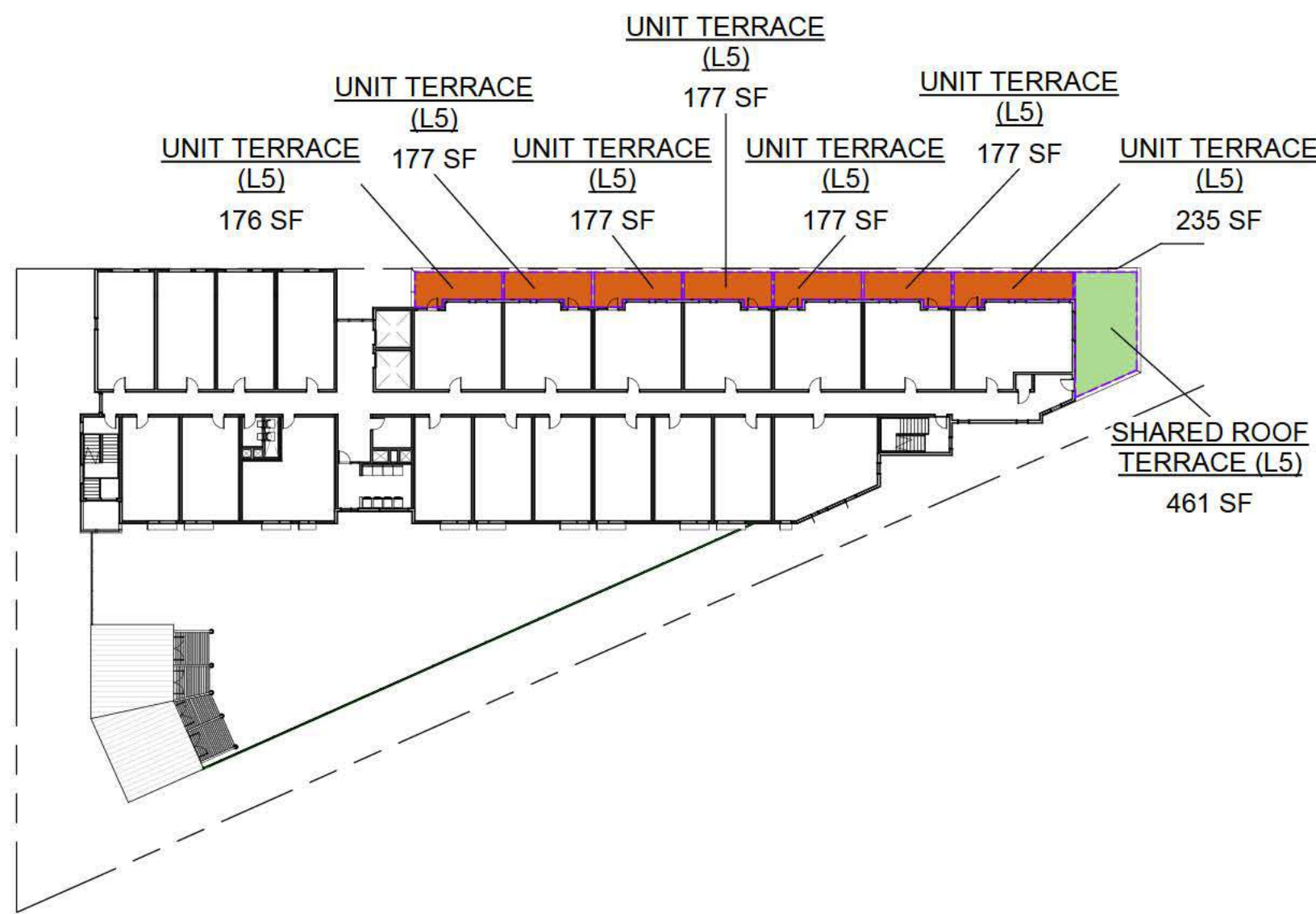




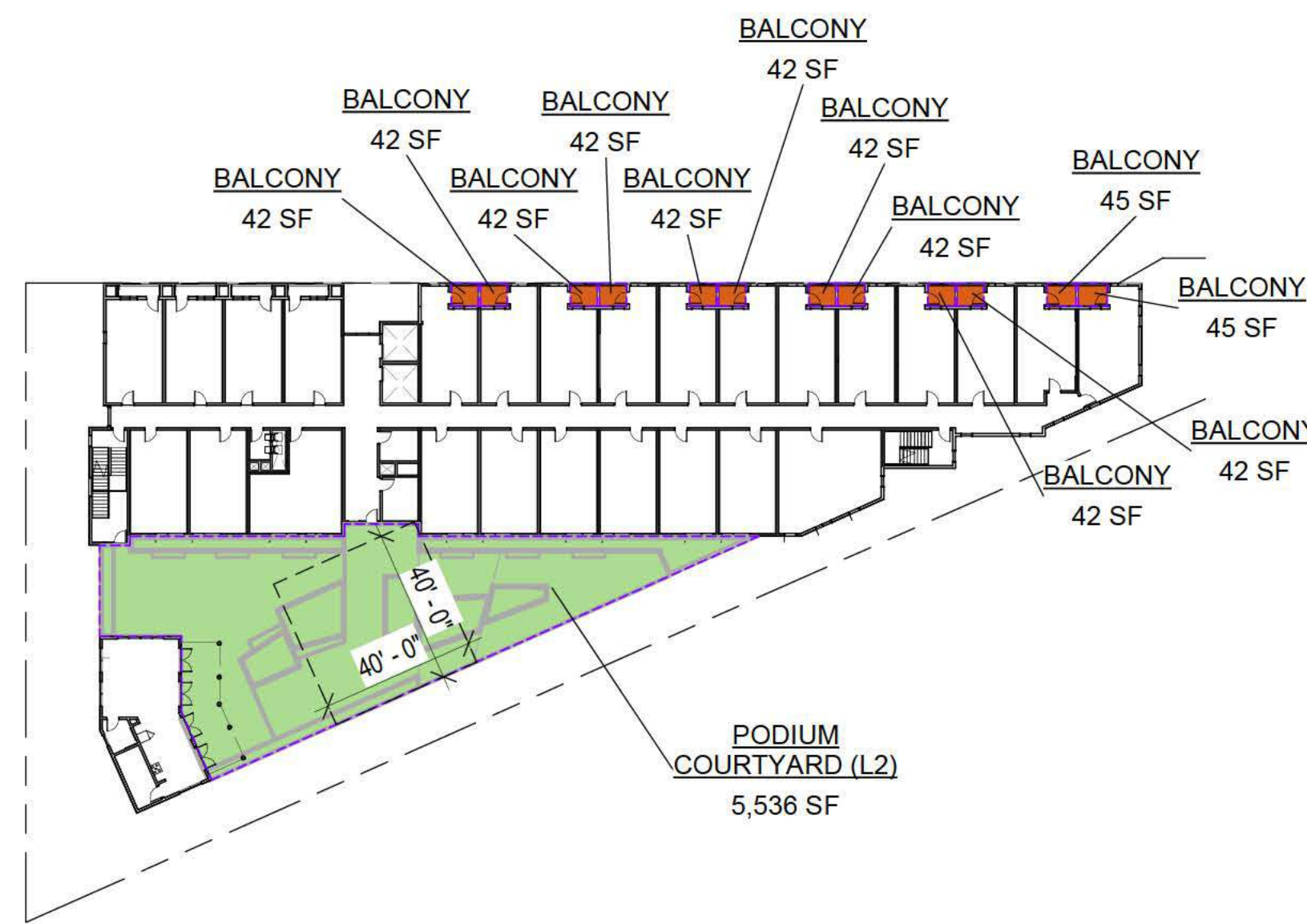
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1" = 40'-0" ⑥



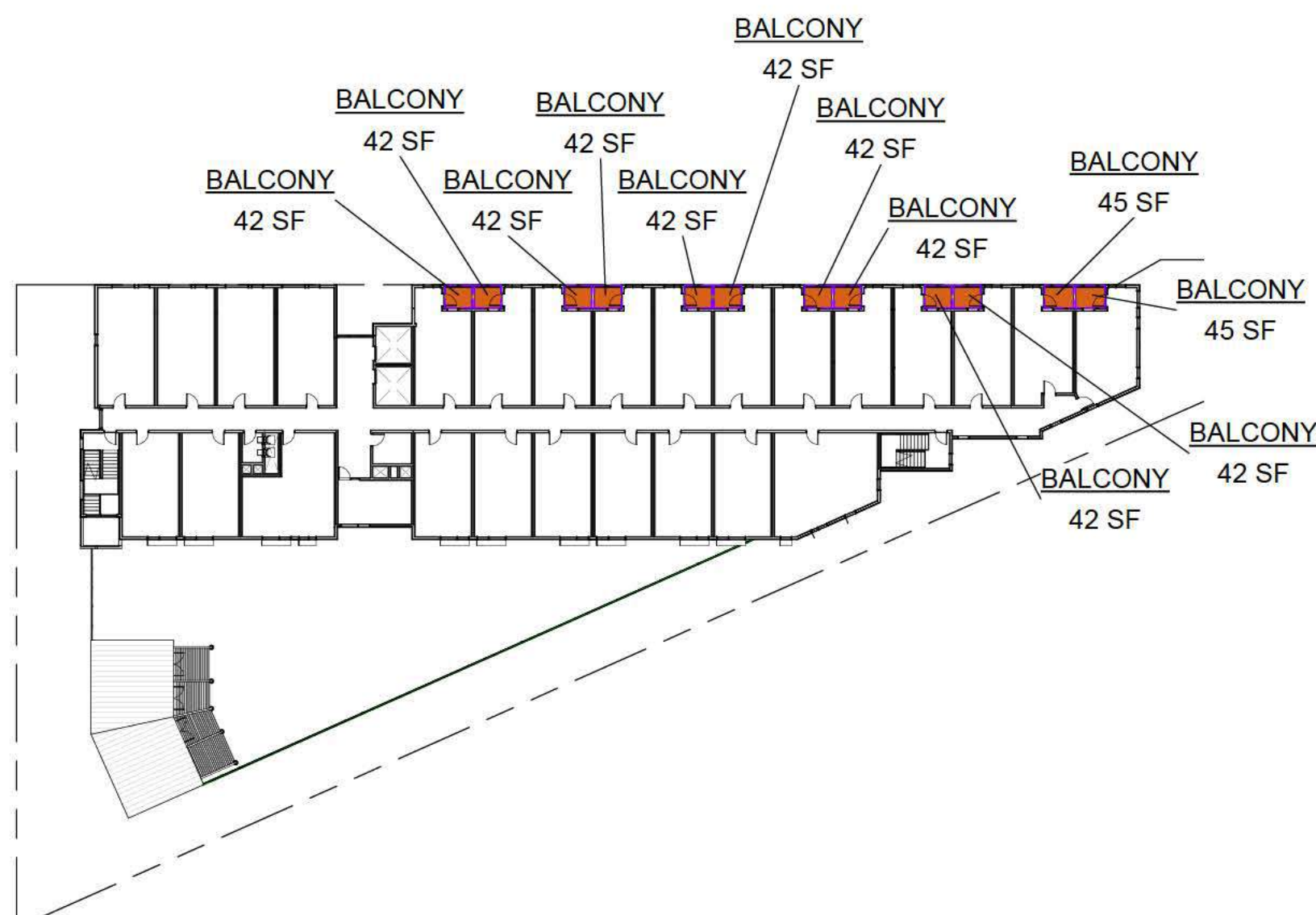
LEVEL 3
1" = 40'-0" ③



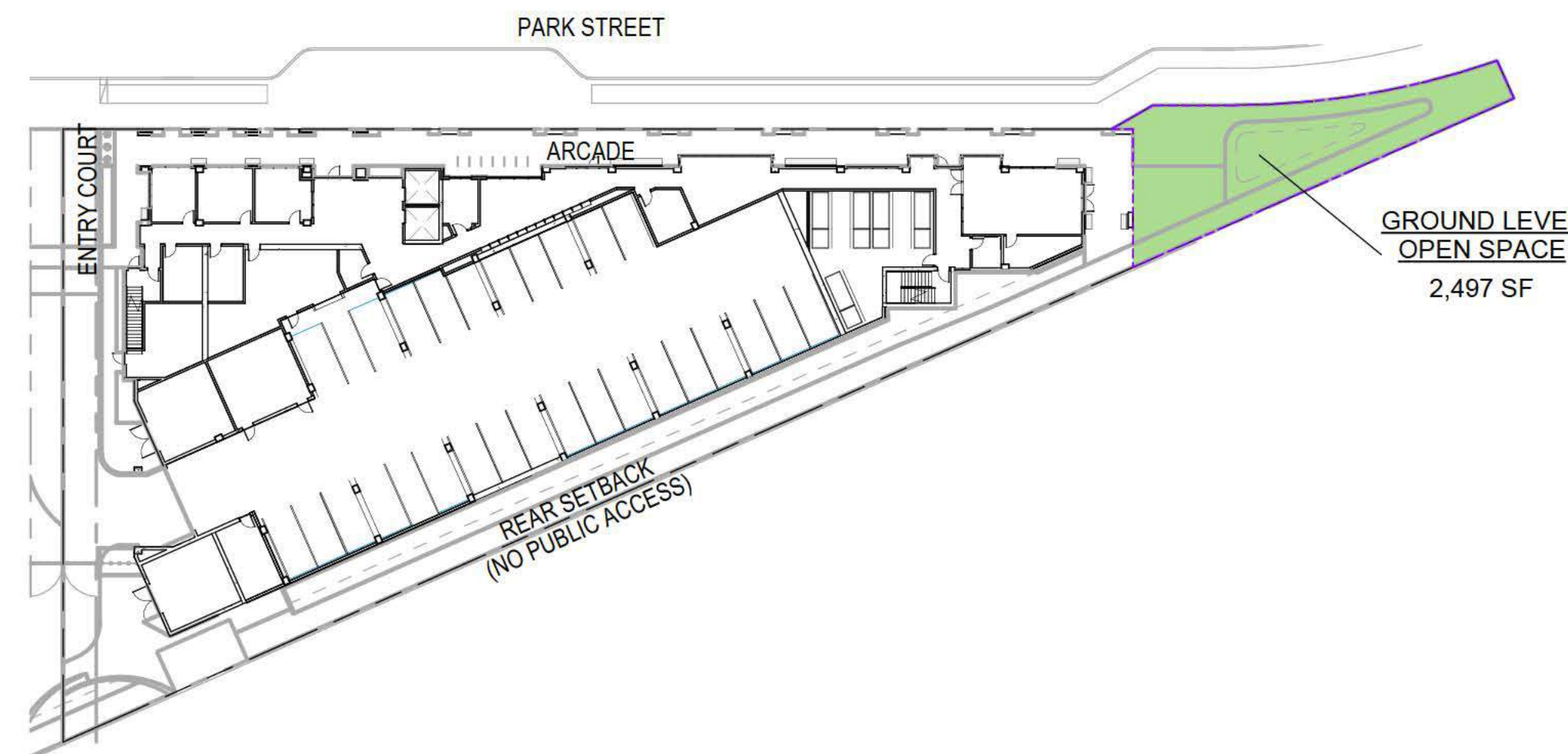
LEVEL 5
1" = 40'-0" ⑤



LEVEL 2
1" = 40'-0" ②



LEVEL 4
1" = 40'-0" ④



LEVEL 1
1" = 40'-0" ①

PARCEL 7 - OPEN SPACE AREA CALCS

Name	Open Space Type	Open Space Location	Area
GROUND LEVEL OPEN SPACE	COMMON OPEN SPACE	LEVEL 1 GROUND	2,497 SF
GROUND LEVEL OPEN SPACE: 2			2,497 SF
PODIUM COURTYARD (L2): 1	COMMON OPEN SPACE	LEVEL 2	5,536 SF
PODIUM COURTYARD (L2): 1			5,536 SF
SHARED ROOF TERRACE (L5)	COMMON OPEN SPACE	LEVEL 5	461 SF
SHARED ROOF TERRACE (L5): 1			461 SF
COMMON OPEN SPACE			8,494 SF
BALCONY	PRIVATE OPEN SPACE	LEVELS 2-4	1,522 SF
BALCONY: 36			1,522 SF
UNIT TERRACE (L5)	PRIVATE OPEN SPACE	LEVEL 5	1,297 SF
UNIT TERRACE (L5): 7			1,297 SF
PRIVATE OPEN SPACE			2,818 SF
Total Open Space			11,312 SF

PARCEL 7 OPEN SPACE ANALYSIS:

OPEN SPACE SUMMARY:

OPEN SPACE	AREA	% OF TOTAL AREA
PRIVATE OPEN SPACE	2,818 SF	9%
COMMON OPEN SPACE	8,494 SF	26%
TOTAL	11,312 SF	35%
MINIMUM REQUIRED		25%

PRIVATE & COMMON OPEN SPACE MIX:

MIN. REQUIRED OPEN SPACE (IF PRIVATE):
80 SF/UNIT * 120 UNITS = 9,600 SF

MIN. REQUIRED OPEN SPACE (IF COMMON):
100 SF/UNIT * 120 UNITS = 12,000 SF

MIN. AREA OF COMMON OPEN SPACE TO REPLACE (1) SF OF REQUIRED PRIVATE OPEN SPACE THAT IS NOT PROVIDED: 1.25 SF

CALCULATION:
 9,600 SF (REQ. PRIVATE OPEN SPACE)
 - 2,818 SF (PROVIDED PRIVATE OPEN SPACE)
 6,782 SF (REQ. PRIVATE OPEN SPACE THAT IS NOT PROVIDED)
 x 1.25 SF (RATIO OF REQ. COMMON OPEN SPACE TO PRIVATE)
 8,478 SF (MIN. REQUIRED COMMON OPEN SPACE)
 8,494 SF (PROVIDED COMMON OPEN SPACE) > 8,478 SF = COMPLIANT

MENLO PARK ZONING CODE REQUIREMENTS

16.45.120 (4): OPEN SPACE

(C) RESIDENTIAL DEVELOPMENTS SHALL HAVE A MINIMUM OF COMMON OPEN SPACE AND PRIVATE OPEN SPACE. THESE REQUIREMENTS ARE COUNTED TOWARDS THE MINIMUM AMOUNT OF OPEN SPACE EQUAL TO TWENTY-FIVE PERCENT (25%) OF THE TOTAL LOT AREA.

(I) ONE HUNDRED (100) SQUARE FEET OF OPEN SPACE PER UNIT SHALL BE CREATED AS COMMON OPEN SPACE OR A MINIMUM OF EIGHTY (80) SQUARE FEET OF OPEN SPACE PER UNIT CREATED AS PRIVATE OPEN SPACE, WHERE PRIVATE OPEN SPACE SHALL HAVE A MINIMUM DIMENSION OF SIX (6) FEET BY SIX (6) FEET;

(II) IN THE CASE OF A MIX OF PRIVATE AND COMMON OPEN SPACE, SUCH COMMON OPEN SPACE SHALL BE PROVIDED AT A RATIO EQUAL TO ONE AND ONE-QUARTER (1.25) SQUARE FEET FOR EACH ONE (1) SQUARE FOOT OF PRIVATE OPEN SPACE THAT IS NOT PROVIDED.

(III) DEPENDING ON THE NUMBER OF DWELLING UNITS, COMMON OPEN SPACE SHALL BE PROVIDED TO MEET THE FOLLOWING CRITERIA:

C. ONE HUNDRED ONE (101) OR MORE UNITS:
 MINIMUM OF ONE (1) SPACE, FORTY (40) FEET
 MINIMUM DIMENSION (ONE THOUSAND SIX HUNDRED (1,600) SQUARE FEET TOTAL, MINIMUM).

(D) ALL OPEN SPACES SHALL:

(I) INTERFACE WITH ADJACENT BUILDINGS VIA DIRECT CONNECTIONS THROUGH DOORS, WINDOWS, AND ENTRYWAYS;

(II) BE INTEGRATED AS PART OF BUILDING MODULATION AND ARTICULATION TO ENHANCE BUILDING FACADE AND SHOULD BE SITED AND DESIGNED TO BE APPROPRIATE FOR THE SIZE OF THE DEVELOPMENT AND ACCOMMODATE DIFFERENT ACTIVITIES, GROUPS AND BOTH ACTIVE AND PASSIVE USES;

(III) INCORPORATE LANDSCAPING DESIGN THAT INCLUDES:

- A. SUSTAINABLE STORMWATER FEATURES;
- B. A MINIMUM LANDSCAPING BED NO LESS THAN THREE (3) FEET IN LENGTH OR WIDTH AND FIVE (5) FEET IN DEPTH FOR INFILTRATION PLANTING;
- C. NATIVE SPECIES ABLE TO GROW TO THEIR MAXIMUM SIZE WITHOUT SHEARING.

(E) ALL EXTERIOR LANDSCAPING COUNTS TOWARDS OPEN SPACE REQUIREMENTS.

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 7
 Menlo Park, CA

SCALE: 1" = 40'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY. OR USE CALIBRATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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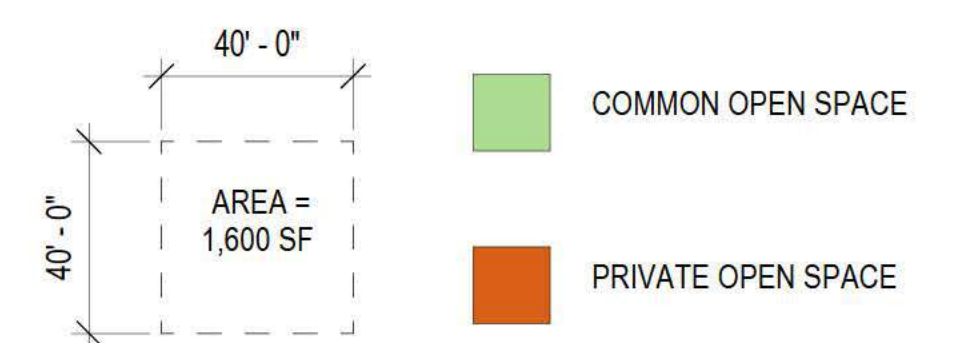
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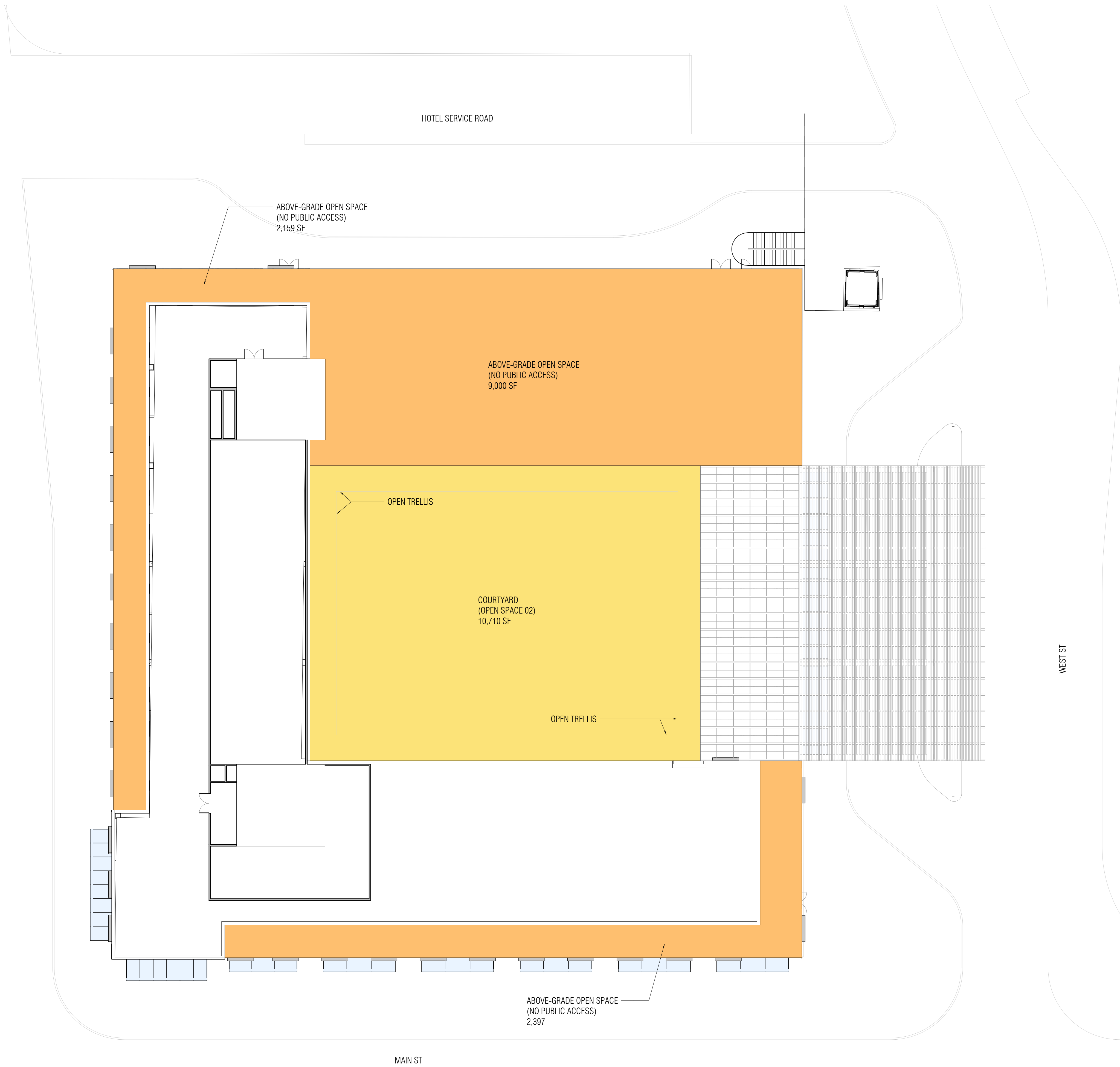
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 OPEN SPACE PLANS

DRAWING NO.:

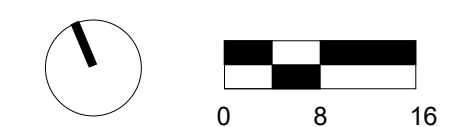
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OPEN SPACE SUMMARY - HOTEL		
	OPEN SPACE	AREA (FT ²)
	ABOVE-GRADE OPEN SPACE (NO PUBLIC ACCESS)	13,556
	AT-GRADE OPEN SPACE (NO PUBLIC ACCESS)	10,710
	TOTAL	24,266



1 OPEN SPACE DIAGRAM
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
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DRAWING TITLE:
Willow Village Hotel
Open Space Plan

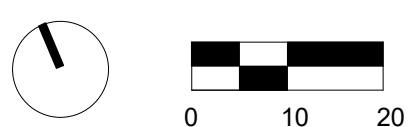
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OPEN SPACE SUMMARY	
OPEN SPACE	AREA (FT ²)
OPEN SPACE (PUBLICLY ACCESSIBLE)	54,461
AT-GRADE OPEN SPACE (NO PUBLIC ACCESS)	8,682
TOTAL	63,143

1 TOWN SQUARE PAVILION - LEVEL 1
1" = 20'-0"



WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Town Square
 Peninsula Innovation Partners
 Menlo Park, CA

SCALE: 1" = 20'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

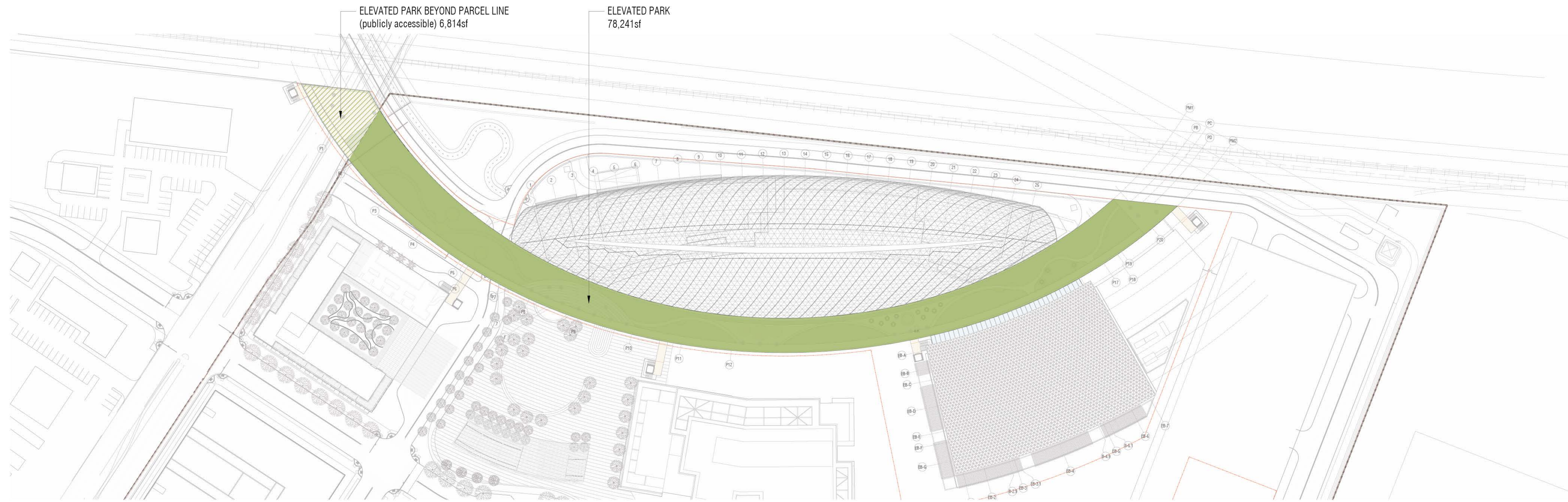
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DATE	ISSUE
08/17/2021	ACP DRAFT

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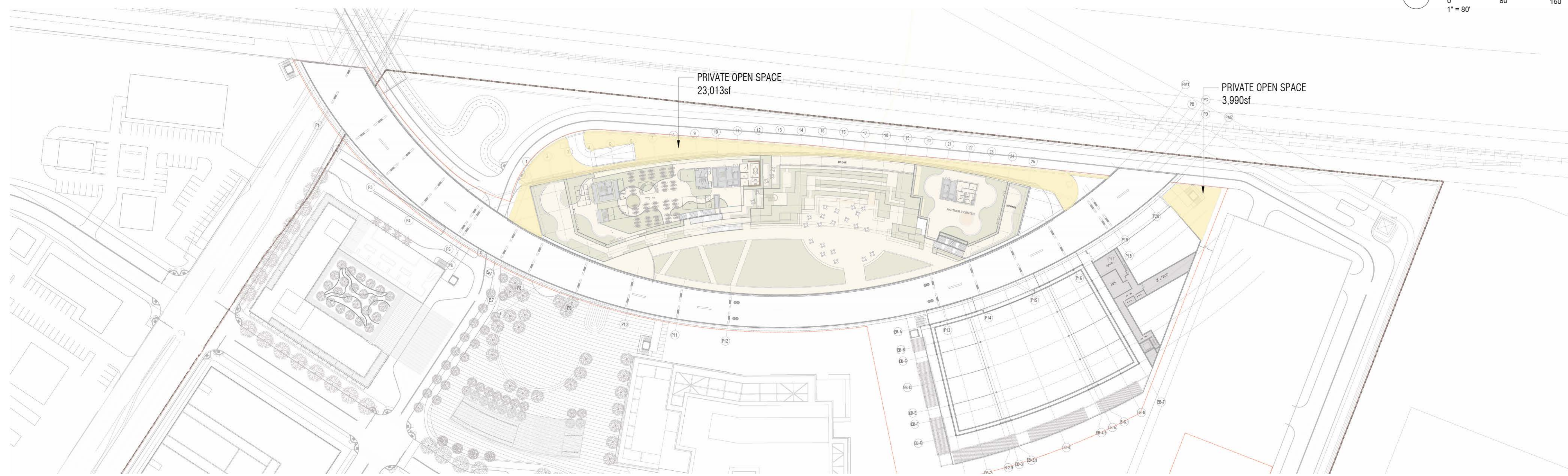
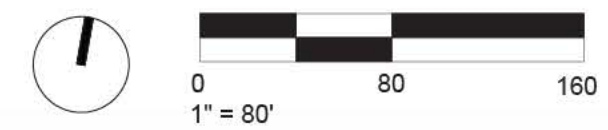
DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
 Open Space Plan

DRAWING NO:
A9.06

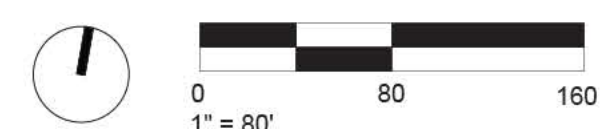
	OPEN SPACE	AREA (SF)
	PUBLICLY ACCESSIBLE	78,241
	NO PUBLIC ACCESS	27,003
	TOTAL	105,244



2 PUBLIC OPEN SPACE DIAGRAM



1 PRIVATE OPEN SPACE DIAGRAM



SCALE: 1"=80'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

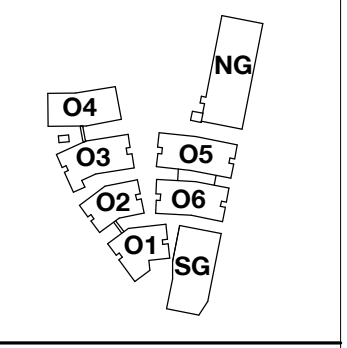
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DATE	ISSUE
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NO.	DATE	ISSUE

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Open Space Summary	
Open Space Above Grade - No Public Access	45,512 SF
Open Space at Grade - No Public Access	224,674 SF
Grand total	270,186 SF



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: 1" = 80'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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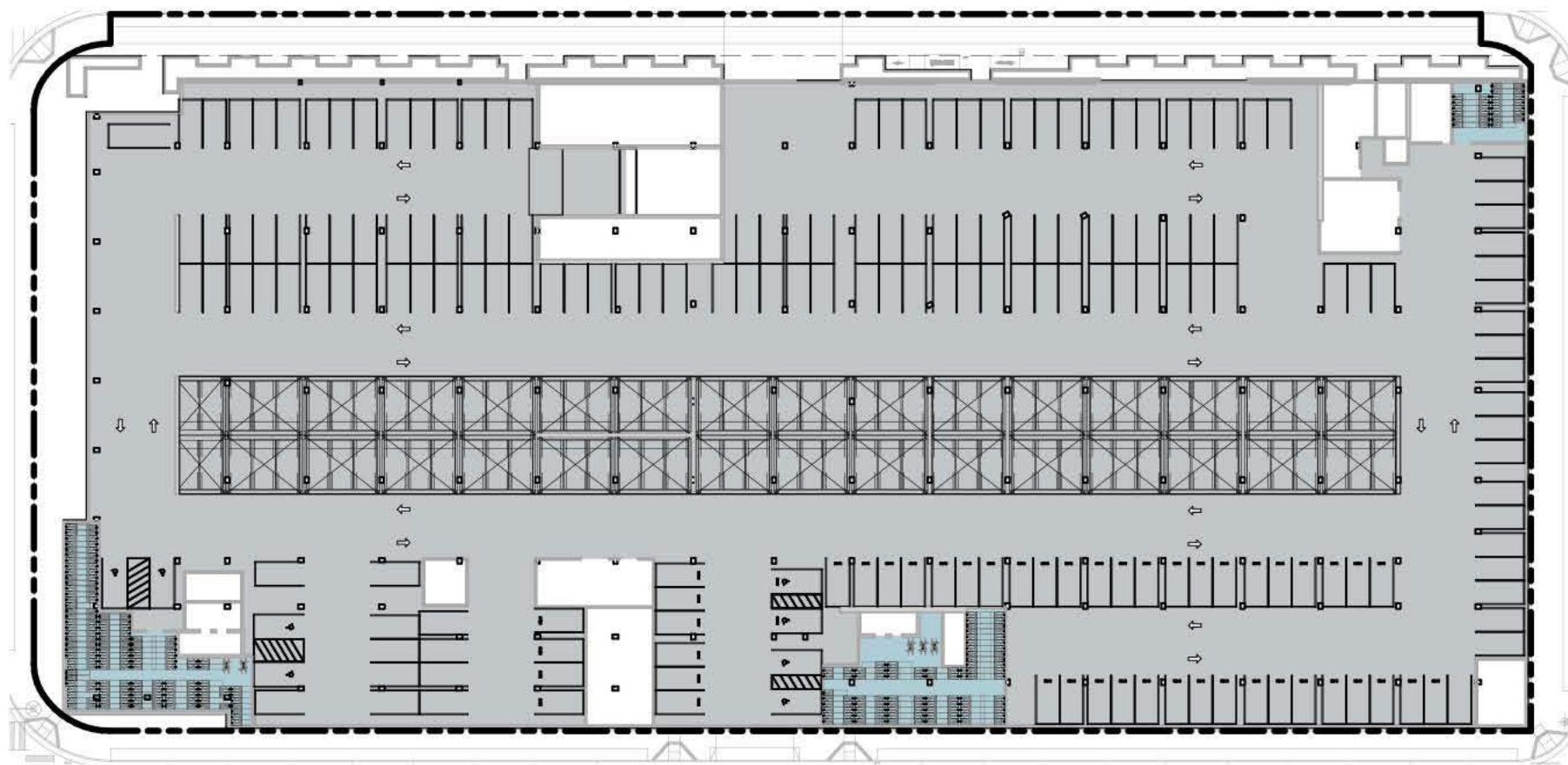
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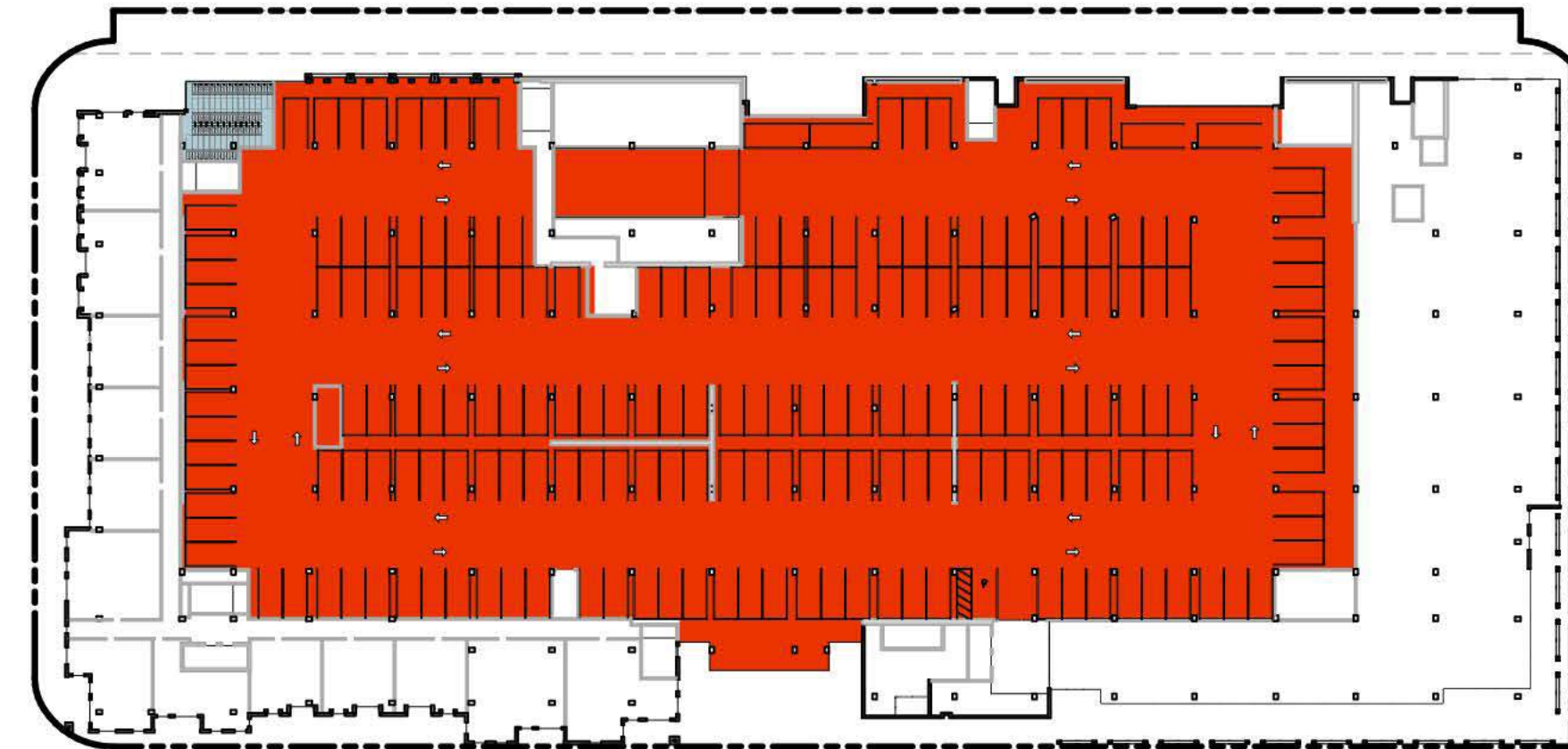
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APPENDIX 4

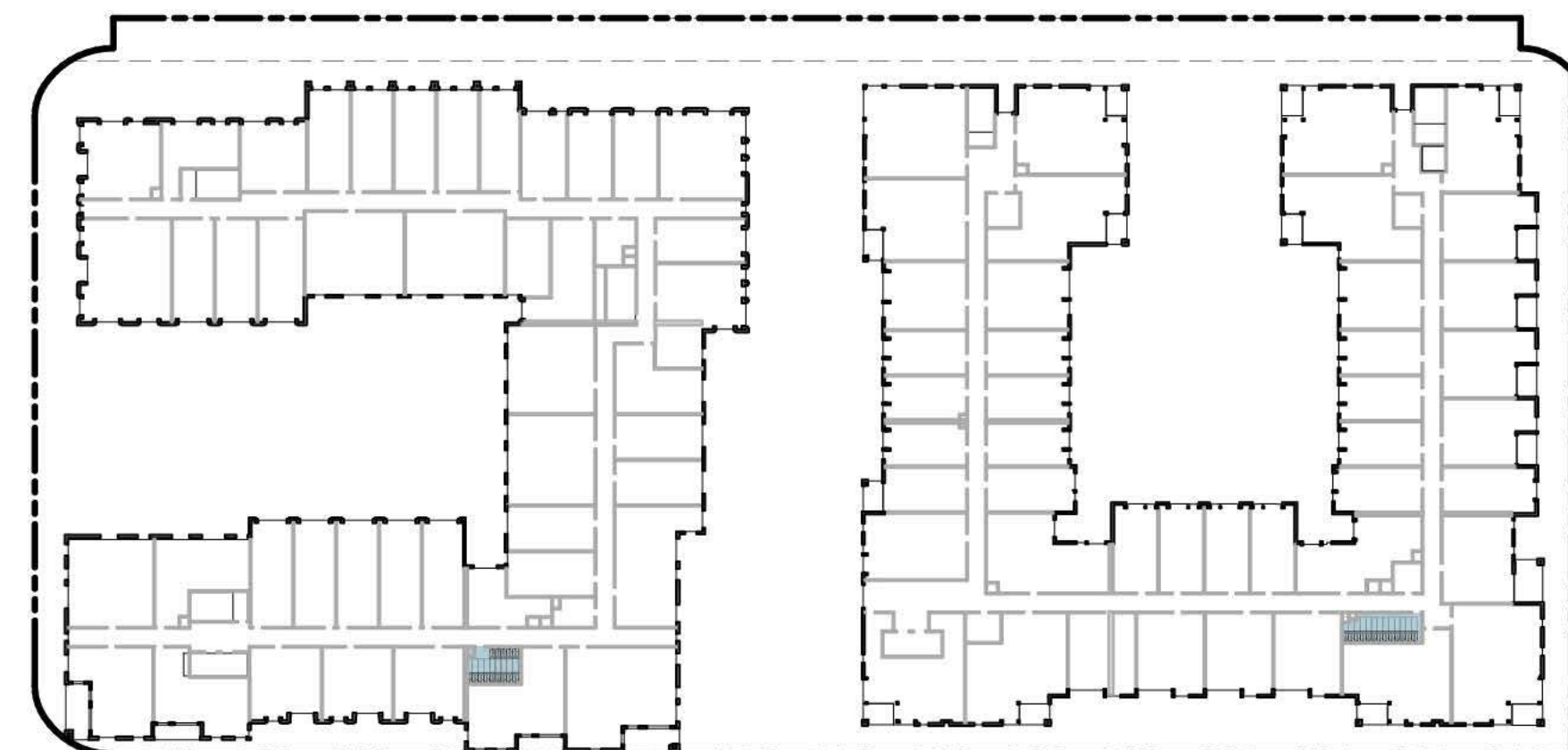
PARCEL 1-8 ILLUSTRATIVE PARKING



0 PARKING - LEVEL P1
1" = 60'-0"



2 PARKING - LEVEL 2
1" = 60'-0"



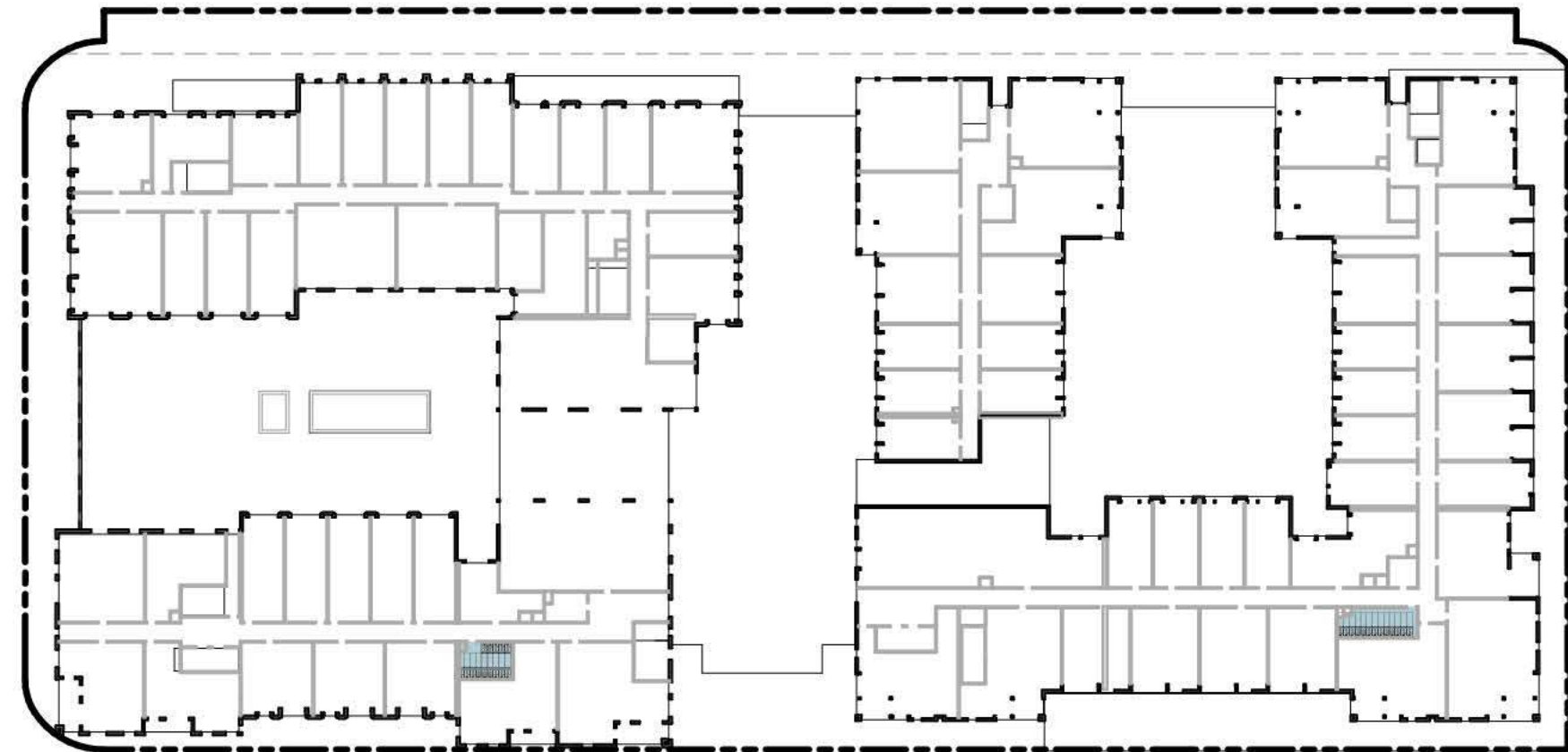
4 PARKING - LEVEL 4
1" = 60'-0"



6 PARKING - LEVEL 6
1" = 60'-0"



1 PARKING - LEVEL 1
1" = 60'-0"

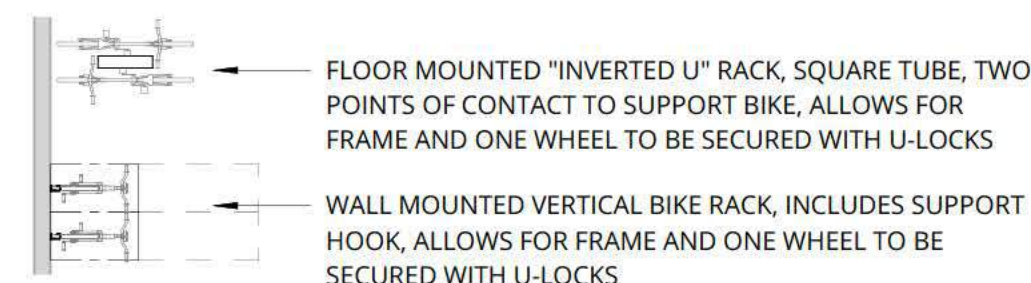


3 PARKING - LEVEL 3
1" = 60'-0"



5 PARKING - LEVEL 5
1" = 60'-0"

BIKE PARKING TYPES



RESIDENTIAL EVSE SPACES

PER MENLO PARK MUNICIPAL CODE 12.18.030 & 12.18.050:
FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY AND WIRING TO ACCOMMODATE A 208/240-VOLT DEDICATED BRANCH CIRCUIT AND INSTALL EVSE IN 15 PERCENT OF THE TOTAL NUMBER OF REQUIRED ELECTRIC VEHICLE CHARGING SPACES (EV SPACES) ASSOCIATED WITH THE BUILDING CALCULATIONS FOR THE REQUIRED NUMBER OF EV SPACES SHALL BE ROUNDED UP TO THE NEAREST WHOLE NUMBER

	TOTAL SPACES	DWELLING UNITS	EVSE SPACES CALC	REQUIRED EVSE SPACES
RESIDENTIAL:	352	327	327x15%=49.05	50

NONRESIDENTIAL EVSE SPACES

PER TABLE 5.106.5.3.3 AS AMENDED BY MENLO PARK MUNICIPAL CODE 12.18.110:
FOR NEW CONSTRUCTION BUILDINGS GREATER THAN 9,999 SQ. FT. THE NUMBER OF EV CHARGING SPACES REQUIRED IS 15% OF TOTAL NUMBER OF REQUIRED PARKING STALLS AND INSTALL EVSE IN 10% OF THE TOTAL REQUIRED NUMBER OF PARKING STALLS, WITH A MINIMUM OF 1, IN CHARGING SPACE(S).

	TOTAL SPACES	EV CHARGING SPACES CALC	REQUIRED EV CHARGING SPACES	EVSE SPACES CALC	REQUIRED EVSE SPACES
PUBLIC:	282	282x15%=42.3	43	282x10%=28.2	29

PROPOSED EVSE SPACES ARE INDICATED WITH AN "EVSE" TAG AT THE FRONT OF THE SPACE ON A2.00 - A2.02

PARKING PLANS

- RESIDENTIAL CAR PARKING
- COMMERCIAL CAR PARKING
- COMMERCIAL LONG TERM BIKE PARKING
- COMMERCIAL SHORT TERM BICYCLE PARKING
- RESIDENTIAL LONG TERM BICYCLE PARKING
- RESIDENTIAL SHORT TERM BICYCLE PARKING

RESIDENTIAL PARKING

16.45.080 Parking standards
Residential units Minimum Spaces (Per Unit or 1,000 Sq. Ft.) Maximum Spaces (Per Unit or 1,000 Sq. Ft.)
1 per Unit 1.5 per Unit
Proposed Units 327 327 spaces Min 491 spaces Max

_CAR PARKING SCHEDULE_RESIDENTIAL

Level	Type Comments	Spaces per Parking Unit	Count	Total Space Count
-------	---------------	-------------------------	-------	-------------------

PARKING PIT

PARKING PIT	PUZZLE 2W X 2H	3	2	6
PARKING PIT	PUZZLE 3W X 2H	5	30	150
				156

LEVEL P1

LEVEL P1	ACCESSIBLE 9 X 18	1	8	8
LEVEL P1	PARALLEL 8.5 X 22	1	1	1
LEVEL P1	STANDARD 8.5 X 17.5	1	186	186
				195

Grand total

351

RETAIL PARKING

16.45.080 Parking standards
Retail Minimum Spaces (Per Unit or 1,000 Sq. Ft.) Maximum Spaces (Per Unit or 1,000 Sq. Ft.)
2.5 3.3
Retail 39,288SF 99 spaces Min 130 spaces Max**

**Refer to Masterplan plan set for parking allocation

_CAR PARKING SCHEDULE_COMMERCIAL

Level	Type Comments	Spaces per Parking Unit	Count	Total Space Count
-------	---------------	-------------------------	-------	-------------------

LEVEL 1

LEVEL 1	ACCESSIBLE 9 X 18	1	6	6
LEVEL 1	STANDARD 8.5 X 17.5	1	77	77
				83

LEVEL 2

LEVEL 2	ACCESSIBLE 9 X 18	1	1	1
LEVEL 2	PARALLEL 8.5 X 22	1	4	4
LEVEL 2	STANDARD 8.5 X 17.5	1	195	195
				200

Grand total

283

RESIDENTIAL BIKE PARKING

16.45.080 Parking standards
Residential units Minimum Spaces Per Unit - Long Term Minimum Spaces Per Unit - Short Term
1.5 per Unit 10% additional
Proposed Units 327 491 spaces Min - Long Term 50 spaces additional - Short Term

_BIKE PARKING SCHEDULE_RESIDENTIAL

Level	Parking Type	Parking Duration	Spaces per Parking Unit	Count	Total Parking Capacity
-------	--------------	------------------	-------------------------	-------	------------------------

RESIDENTIAL

LEVEL P1	RESIDENTIAL	LONG TERM	1	276	276
BIKE ROOM	RESIDENTIAL	LONG TERM	1	25	25
LEVEL 1	RESIDENTIAL	LONG TERM	1	44	44
LEVEL 2	RESIDENTIAL	LONG TERM	1	47	47
LEVEL 3	RESIDENTIAL	LONG TERM	1	27	27
LEVEL 4	RESIDENTIAL	LONG TERM	1	28	28
LEVEL 5	RESIDENTIAL	LONG TERM	1	28	28
LEVEL 6	RESIDENTIAL	LONG TERM	1	16	16
					491

LEVEL 1	RESIDENTIAL	SHORT TERM	2	25	50
					50

Grand total

541

COMMERCIAL BIKE PARKING

16.45.080 Parking standards
Retail Minimum Spaces Per Unit - Long Term Minimum Spaces Per Unit - Short Term
1 per 5,000 sq. ft. of gross floor area - 20% 1 per 5,000 sq. ft. of gross floor area - 80%
Retail 39,288SF 2 Min - Long Term 7 Min - Short Term

_BIKE PARKING SCHEDULE_COMMERCIAL

Level	Parking Type	Parking Duration	Spaces per Parking Unit	Count	Total Parking Capacity
-------	--------------	------------------	-------------------------	-------	------------------------

RETAIL

LEVEL 1	RETAIL	LONG TERM	2	1	2
					2
LEVEL 1	RETAIL	SHORT TERM	2	4	8
					8

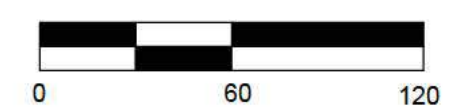
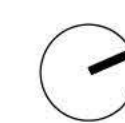
Grand total

10

SCALE: As indicated
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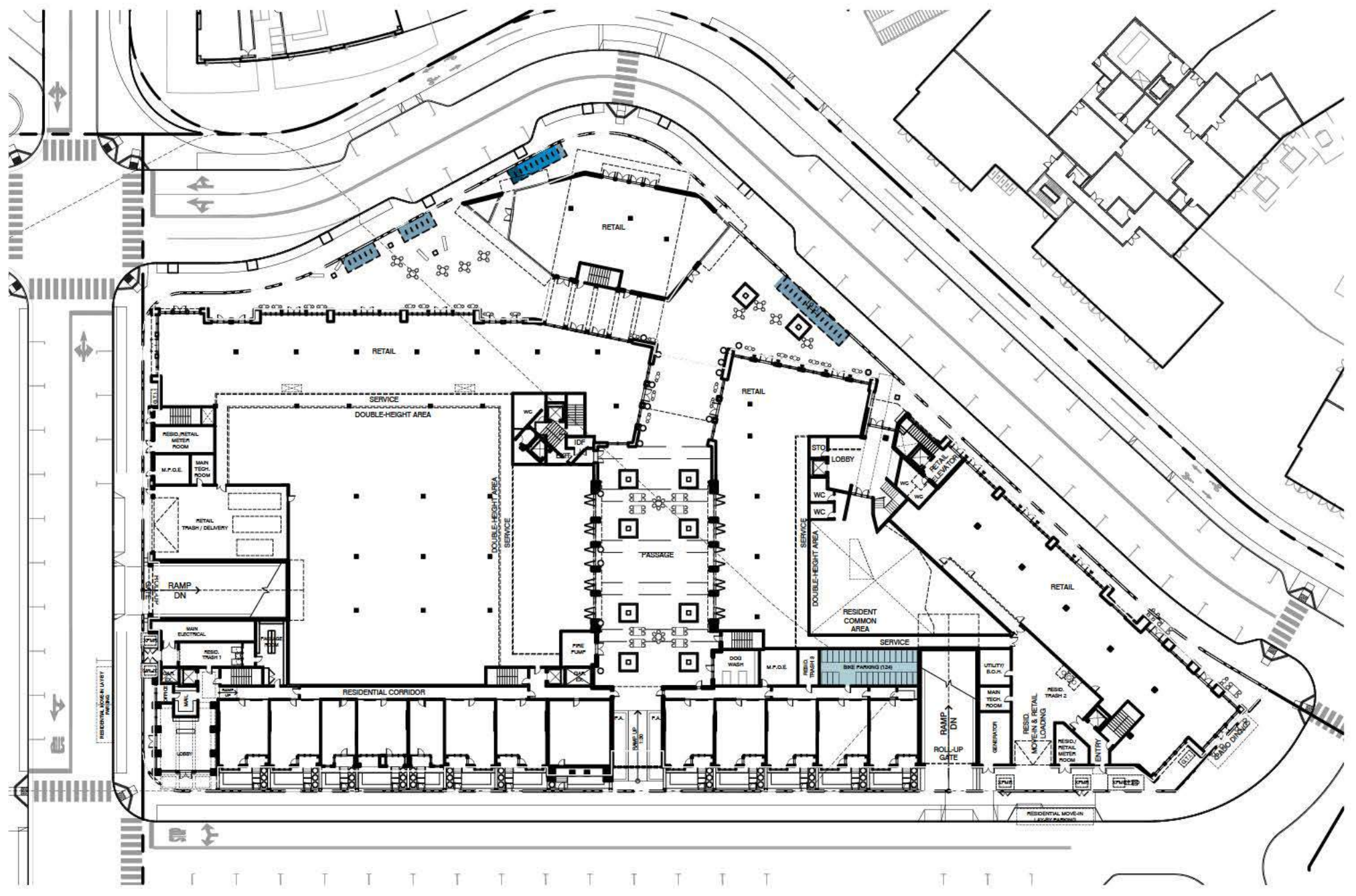
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DATE	ISSUE
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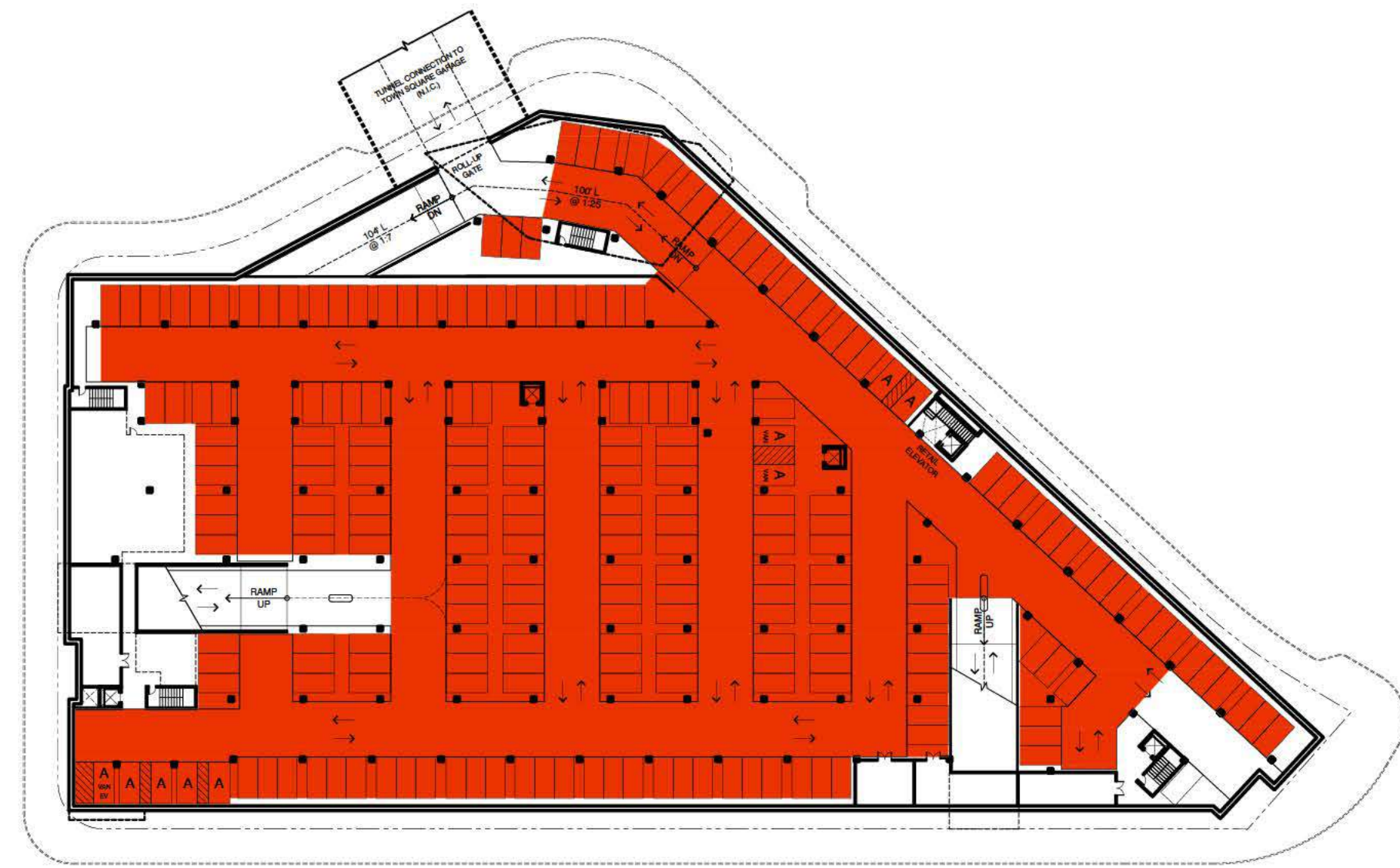


LEGEND

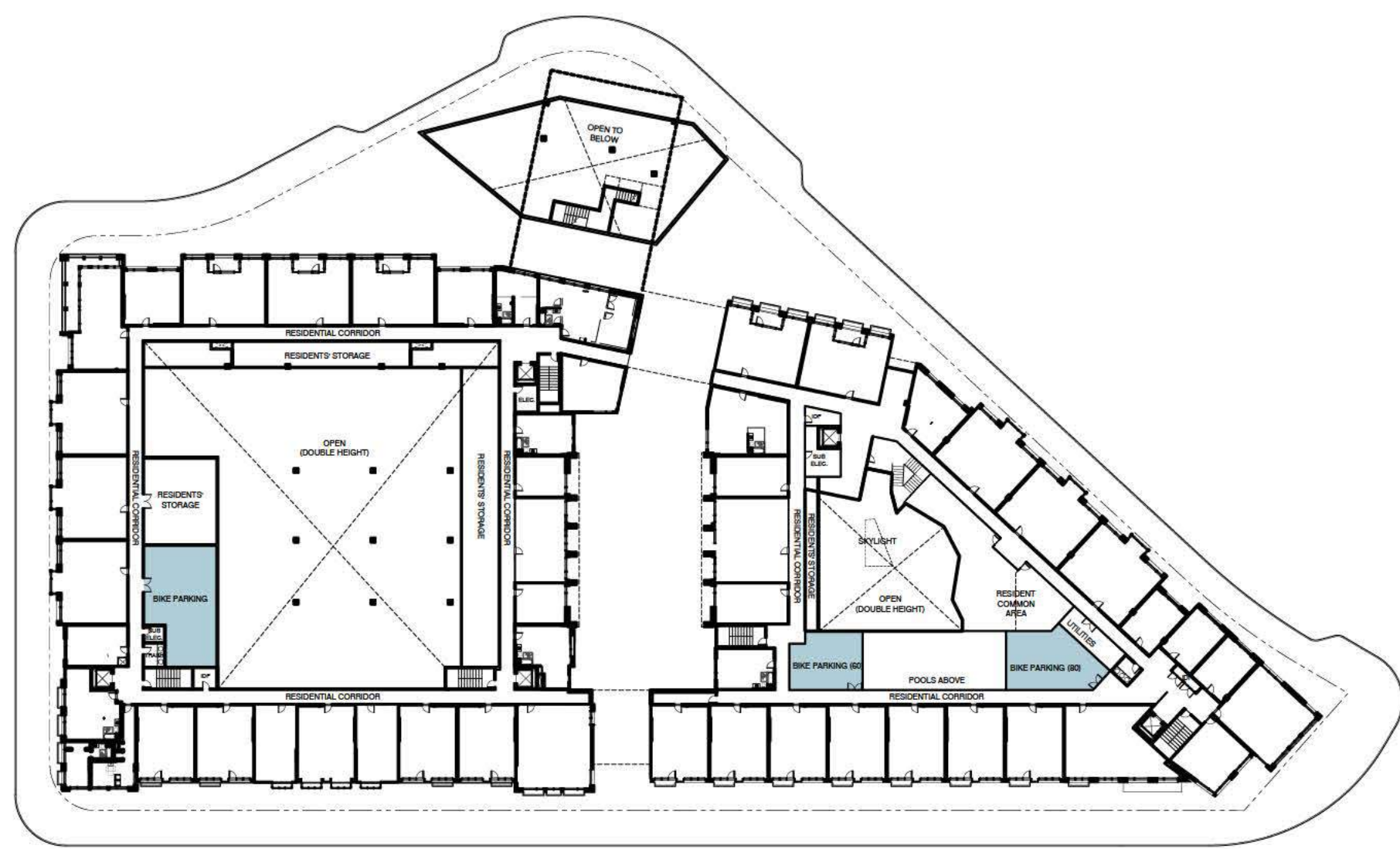
- RESIDENTIAL VEHICLE PARKING
- COMMERCIAL VEHICLE PARKING
- RESIDENTIAL LONG-TERM BIKE PARKING
- RESIDENTIAL SHORT-TERM BIKE PARKING
- RETAIL LONG-TERM BIKE PARKING
- RETAIL SHORT-TERM BIKE PARKING



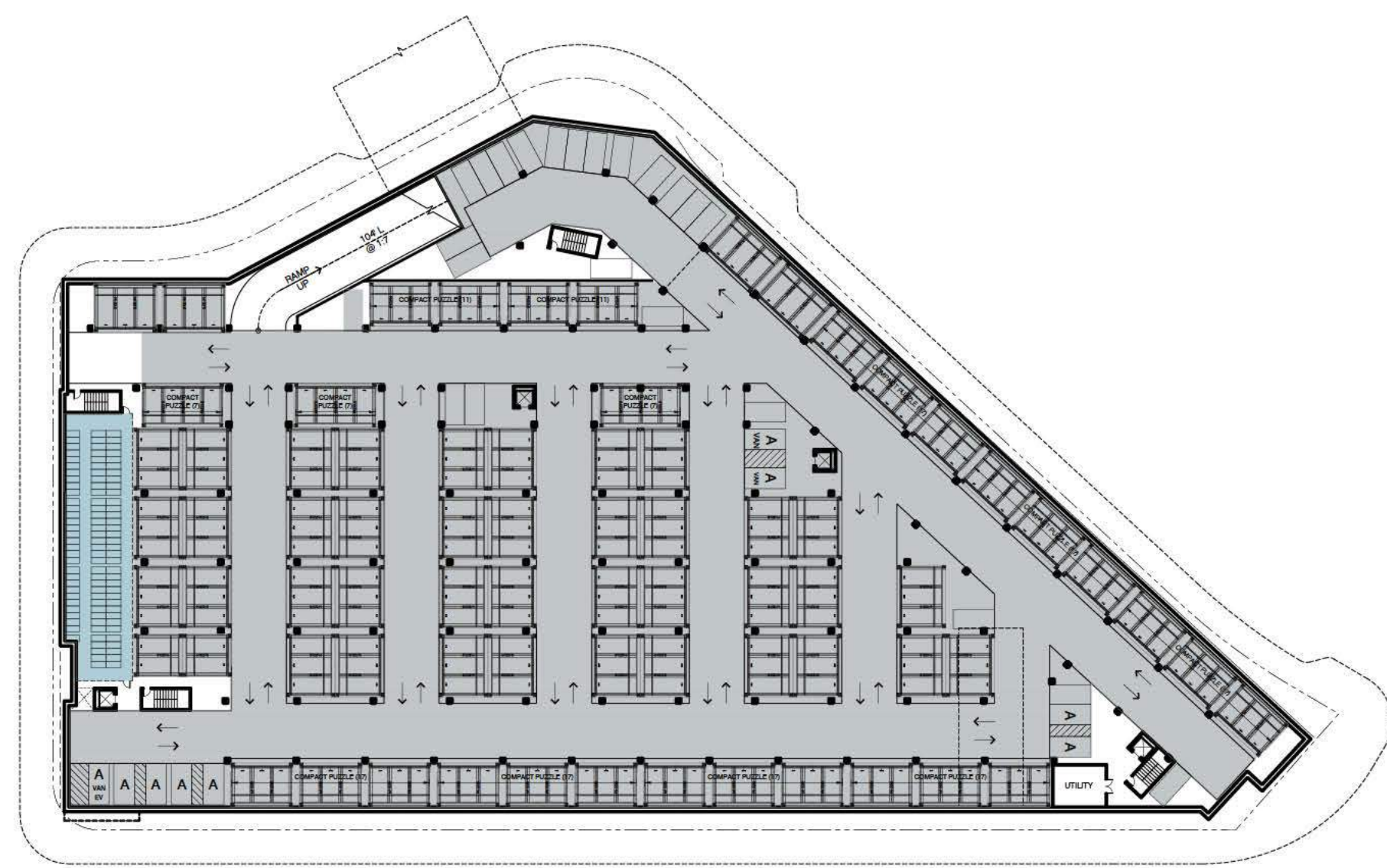
LEVEL 01 - PARKING



LEVEL B1 - PARKING



LEVEL 2 - PARKING



LEVEL B2 - PARKING

PARKING COUNT

Level	Type	Spaces per Type	Count	Total
Residential Vehicle Parking				
16,45,080 Parking Standards				
Req. of spaces - 4500' (base)				
Min 1 per Unit				
Max 1.5 per Unit				
179 Spaces Min.				
629 Spaces Max.				
Residential (as-built) Parking Provision				
Level	Type	Spaces per Type	Count	Total
B2	Puzzle 3Wx2-1	3	37	185
B3	Tandem Puzzle 2Wx2H	7	7	7
B4	Tandem Puzzle 3Wx2H	11	9	33
B5	Compad. Puzzle 4Wx2-1	7	9	31
B6	Compad. Puzzle 6Wx2-1	11	2	22
B7	Compad. Puzzle 9Wx2-1	17	7	119
B2	Standard 8.5x17.5	1	23	23
B2	ADA Parking - 9x18	1	6	6
B2	ADA Van - 12x18	1	2	2
B2	Ada Van EV - 12x18	1	1	1
Total Residential Parking Spaces Provided				438
Residential EVSE Spaces				
Per Menlo Park Municipal Code 12.16.030 & 12.16.030				
For each parking unit, total of total spaces and when to accommodate a 208/240V dedicated branch circuit and total 100% of the total number of req. electric vehicle charging spaces (EV spaces) associated with the building construction for the required number of EV spaces that are rounded up to the nearest whole unit.				
419% 5% = 62.85				
63 EVSE Spaces Req.				
COMMERCIAL PARKING				
16,45,080 Parking Standards				
Req. of spaces - 50,000SF (base)				
Min 2.5 per 1,000 SF				
Max 3.3 per 1,000 SF				
137.5				
182 **				
**Refer to Masterplan Set for parking allocations				
Commercial Building Provision				
Level	Type	Spaces per Type	Count	Total
B1	Standard 8.5x17.5	1	212	212
B1	ADA Parking - 9x18	1	6	6
B1	ADA Van - 12x18	1	2	2
B1	Ada Van EV - 12x18	1	1	1
Total Commercial Parking Spaces Provided				221
Non-Residential EVSE Spaces				
Per Table 12.16.033 as amended by Menlo Park Municipal Code 12.16.116				
For new construction building greater than 1,000 SF the number of EV Charging Spaces required is 10% of total number of required parking (base and total) EVSE is 10% of total required number of parking (base and total) with a minimum of 1, in charging spaces.				
182% 5% = 27.3				
182% 0% = 18.2				
28 EV Charging Spaces Req.				
19 EVSE Spaces Req.				
Residential (as-built) Bike Parking				
16,45,080 Parking Standards				
Req. of spaces - 4500' (base)				
Long Term 1.5 per Unit				
Short Term 10% additional				
629				
63				
Long Term (as-built) Bike Parking Provision				
Level	Type	Spaces per Type	Count	Total
B2	Long Term	4	85	340
L1	Long Term	4	35	124
L2	Long Term	4	38	148
Total Long Term (as-built) Bike Parking Spaces Provided				608
Short Term (as-built) Bike Parking Provision				
Level	Type	Spaces per Type	Count	Total
L1	Short Term	2	32	64
Total Short Term (as-built) Bike Parking Spaces Provided				64
Residential (as-built) Bike Parking				
16,45,080 Parking Standards				
Req. of spaces - 50,000SF (base)				
Long Term 1 per 5,000SF GFA - 20%				
Short Term 1 per 5,000SF GFA - 80%				
22				
9				
Commercial Building Provision				
Level	Type	Spaces per Type	Count	Total
L1	Long Term - Bike Rack	2	2	4
L1	Short Term - Bike Rack	2	4	8
Total Commercial Building Bike Parking Spaces Provided				12

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 3
Menlo Park, CA

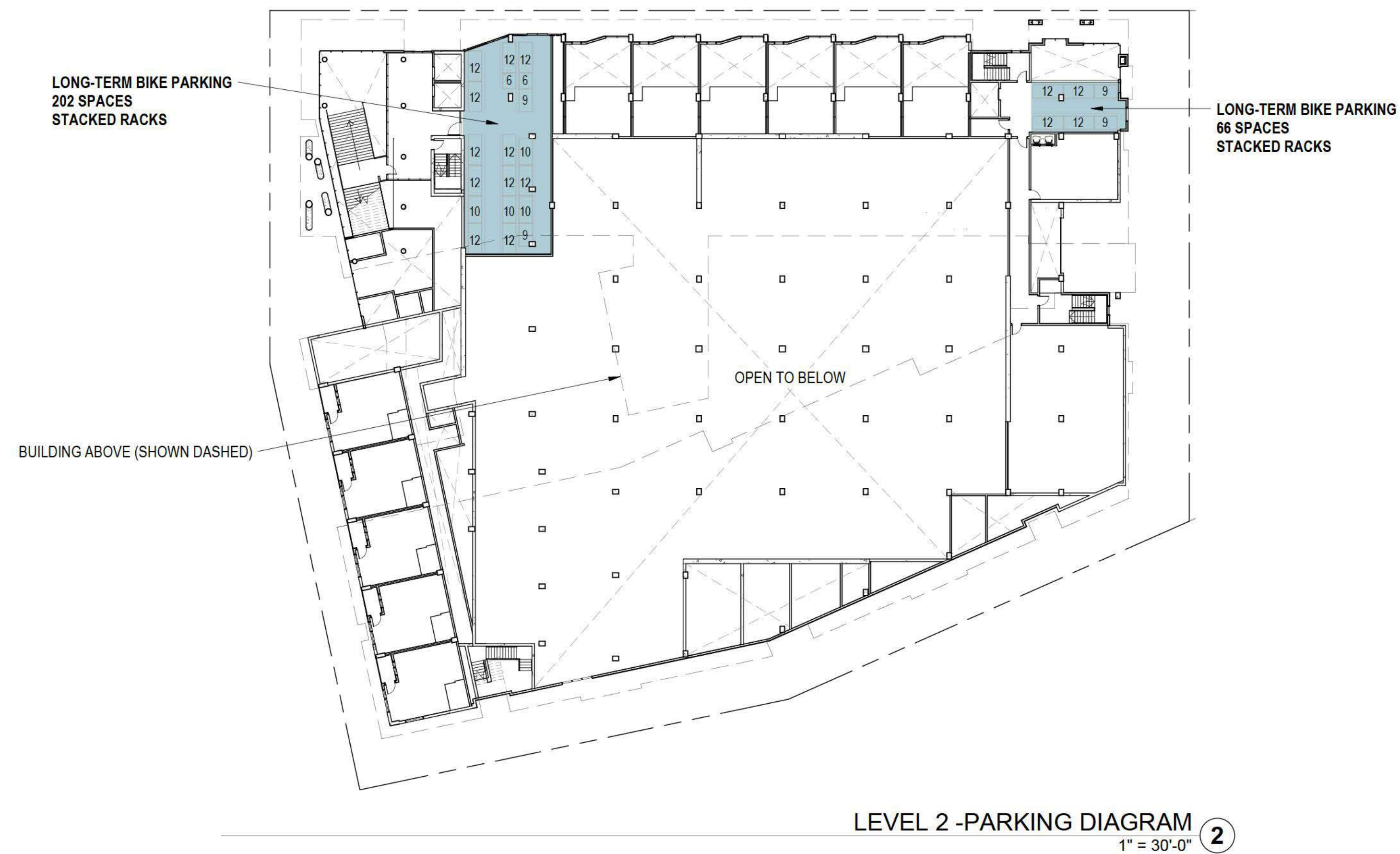
SCALE:
NOTE: THIS DRAWING IS TO BE USED AS A GUIDE ONLY. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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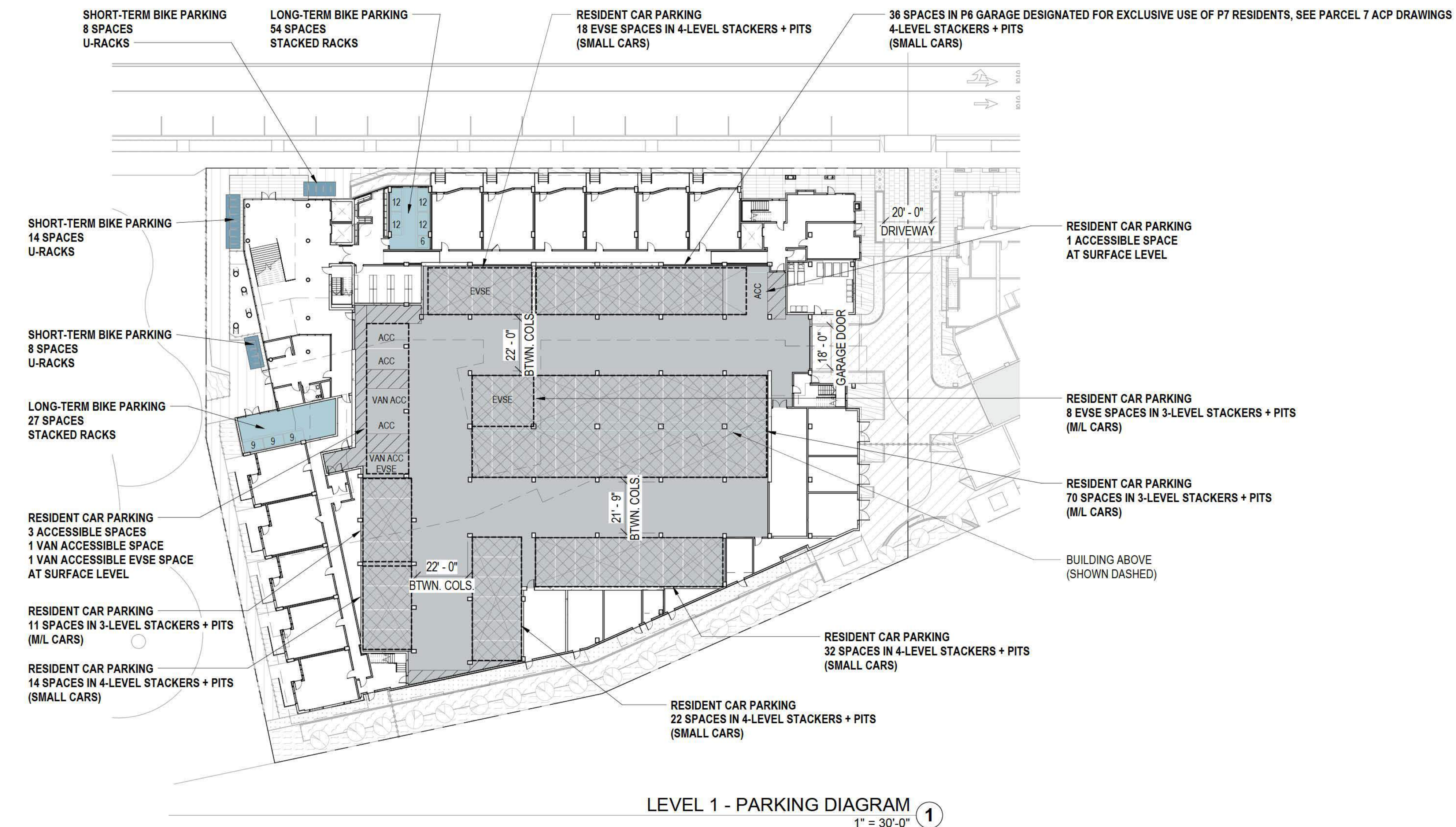
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NO.	DATE	ISSUE

DRAWING TITLE:
PARKING COUNT
DIAGRAM

DRAWING NO:
A9.14



LEVEL 2 - PARKING DIAGRAM 2
1" = 30'-0"



LEVEL 1 - PARKING DIAGRAM 1
1" = 30'-0"

RESIDENTIAL CAR PARKING - EVSE SPACES

MENLO PARK ZONING CODE REQUIREMENTS

12.18.030 & 12.18.050: CALIFORNIA GREEN BUILDING STANDARDS CODE AMENDMENTS

FOR EACH DWELLING UNIT, INSTALLATION OF A LISTED RACEWAY AND WIRING TO ACCOMMODATE A 208/240-VOLT DEDICATED BRANCH CIRCUIT.

INSTALL EVSE IN 15 PERCENT OF THE TOTAL NUMBER OF REQUIRED ELECTRIC VEHICLE CHARGING SPACES (EV SPACES) ASSOCIATED WITH THE BUILDING INCLUSIVE OF LANDSCAPE RESERVE PARKING, FOR ALL TYPES OF PARKING FACILITIES, BUT IN NO CASE LESS THAN ONE.

CALCULATIONS FOR THE REQUIRED NUMBER OF EV SPACES SHALL BE ROUNDED UP TO THE NEAREST WHOLE NUMBER.

RESIDENTIAL UNITS	EVSE CALC.	REQ. EVSE SPACES
178	178 * 15% = 26.7	27 REQ. EVSE SPACES

27 EVSE SPACES PROVIDED.
REMAINING 154 SPACES PROVIDED WITH RACEWAY AND WIRING PER 12.18.50.

RESIDENTIAL CAR PARKING

16.45.08: PARKING STANDARDS

RESIDENTIAL UNITS	MIN. REQ. SPACES	MAX. ALLOWED SPACES
	1 PER UNIT	1.5 PER UNIT
PROPOSED UNITS: 178	178 SPACES MIN.	267 SPACES MAX.

PARCEL 6 - RESIDENTIAL CAR PARKING	
TYPE	COUNT

SPACES IN STACKERS:

3-LEVEL STACKER SPACE	82
4-LEVEL STACKER SPACE	93
TOTAL:	175

SPACES AT SURFACE LEVEL:

ACCESSIBLE (18' x 9')	4
VAN ACCESSIBLE (18' x 9')	2
TOTAL:	6

GRAND TOTAL: 181

181 SPACES PROVIDED IS > MIN. REQ. SPACES & < MAX. ALLOWED SPACES = COMPLIANT

NOTE: 36 SPACES IN P6 GARAGE ARE FOR USE OF P7. THOSE SPACES ARE COUNTED IN P7'S PARKING TOTALS AND EXCLUDED FROM P6'S PARKING TOTALS. SEE P7 ACP DRAWINGS.

RESIDENTIAL BIKE PARKING

16.45.08: PARKING STANDARDS

RESIDENTIAL UNITS	MIN. LONG-TERM SPACES	MIN. SHORT-TERM SPACES
	1.5 PER UNIT	10% ADDITIONAL
PROPOSED UNITS: 178	267 LONG-TERM SPACES MIN.	18 SHORT-TERM SPACES MIN.

PARCEL 6 - RESIDENTIAL BIKE PARKING	
LEVEL	COUNT

LONG-TERM SPACES (STACKED RACKS):

LEVEL 1 (INSIDE)	81
LEVEL 2 (INSIDE)	268
TOTAL:	349

SHORT-TERM SPACES (U-RACKS):

LEVEL 1 (OUTSIDE)	30
TOTAL:	30

GRAND TOTAL: 379

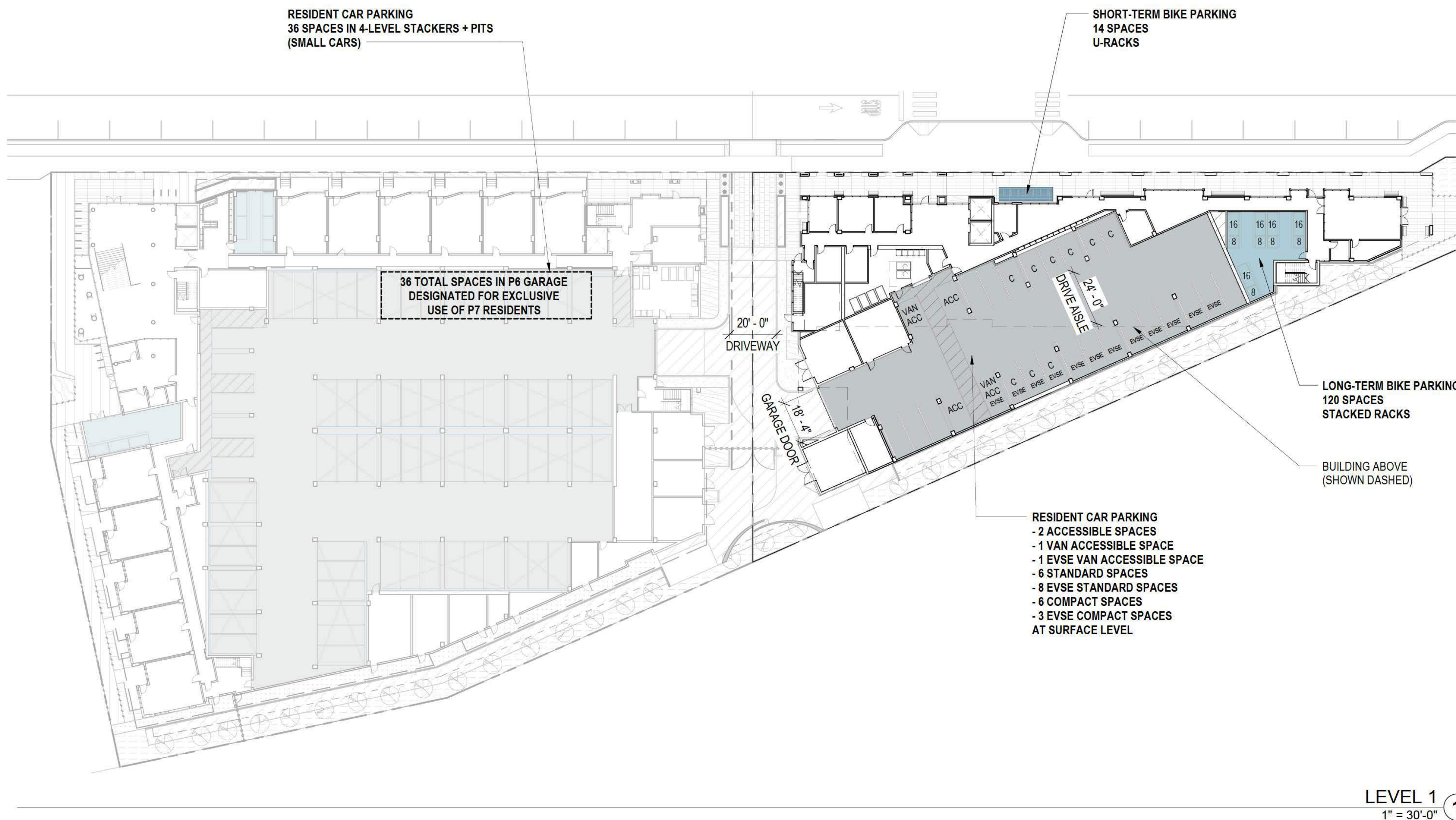
349 LONG-TERM SPACES PROVIDED > 267 MIN. REQ. LONG-TERM SPACES = COMPLIANT

30 SHORT-TERM SPACES PROVIDED > 18 MIN. REQ. SHORT-TERM SPACES = COMPLIANT

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LEVEL 1
1" = 30'-0" ①

RESIDENTIAL CAR PARKING - EVSE SPACES

MENLO PARK ZONING CODE REQUIREMENTS

12.18.030 & 12.18.050: CALIFORNIA GREEN BUILDING STANDARDS CODE AMENDMENTS

FOR EACH DWELLING UNIT, INSTALLATION OF A LISTED RACEWAY AND WIRING TO ACCOMMODATE A 208/240-VOLT DEDICATED BRANCH CIRCUIT.

FOR 100 PERCENT BELOW MARKET RATE HOUSING DEVELOPMENTS, EVSE SHALL BE PROVIDED FOR A MINIMUM OF 10 PERCENT OF THE TOTAL NUMBER OF DWELLING UNITS.

CALCULATIONS FOR THE REQUIRED NUMBER OF EV SPACES SHALL BE ROUNDED UP TO THE NEAREST WHOLE NUMBER.

RESIDENTIAL UNITS	EVSE CALC.	REQ. EVSE SPACES
120	120 * 10% = 12	12 REQ. EVSE SPACES
12 EVSE SPACES PROVIDED. REMAINING 51 SPACES PROVIDED WITH RACEWAY AND WIRING PER 12.18.50.		

RESIDENTIAL CAR PARKING

16.45.08: PARKING STANDARDS

RESIDENTIAL UNITS	MIN. SPACES	MAX. SPACES
	1 PER UNIT	1.5 PER UNIT
PROPOSED UNITS: 120	120 SPACES MIN.	180 SPACES MAX.

PARCEL 7 - RESIDENTIAL CAR PARKING	
TYPE	COUNT

SPACES AT SURFACE LEVEL AT P7:

ACCESSIBLE (18' x 9')	2
VAN ACCESSIBLE (18' x 9')	2
STANDARD (18' x 8'-6")	14
COMPACT (16' x 8'-6")	9
TOTAL:	27

SPACES IN STACKERS AT P6:

4-LEVEL STACKER SPACE	36
TOTAL:	36

GRAND TOTAL: 63

63 SPACES PROVIDED IS < 120 MIN. REQ. SPACES & < 180 MAX. REQ. SPACES = DOES NOT COMPLY. SEE ADJUSTMENT REQUEST IN APPENDIX.

NOTE: 36 SPACES INCLUDED IN TABLE ABOVE ARE LOCATED AT PARCEL 6 AND ARE DESIGNATED FOR USE BY PARCEL 7.

RESIDENTIAL BIKE PARKING

16.45.08: PARKING STANDARDS

RESIDENTIAL UNITS	MIN. LONG-TERM SPACES	MIN. SHORT-TERM SPACES
	1.5 PER UNIT	10% ADDITIONAL
PROPOSED UNITS: 120	180 LONG-TERM SPACES MIN.	12 SHORT-TERM SPACES MIN.

PARCEL 7 - RESIDENTIAL BIKE PARKING	
LEVEL	COUNT

LONG-TERM SPACES (STACKED RACKS):

LEVEL 1 (INSIDE)	120
TOTAL:	120

SHORT-TERM SPACES (U-RACKS):

LEVEL 1 (OUTSIDE)	14
TOTAL:	14

GRAND TOTAL: 134

120 LONG-TERM SPACES PROVIDED < 180 MIN. REQ. LONG-TERM SPACES = DOES NOT COMPLY. SEE ADJUSTMENT REQUEST IN APPENDIX 1.

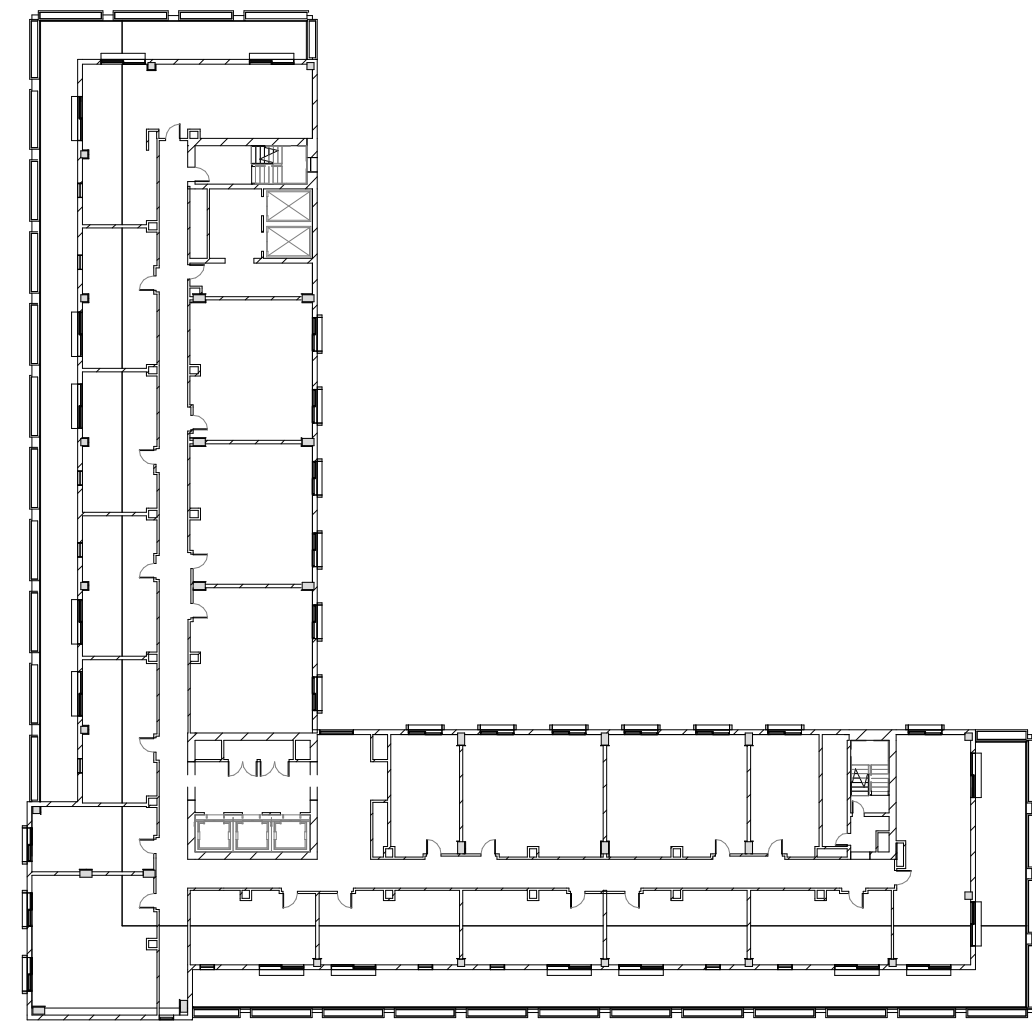
14 SHORT-TERM SPACES PROVIDED > 12 MIN. REQ. SHORT-TERM SPACES = COMPLIES.

SCALE: 1" = 30'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

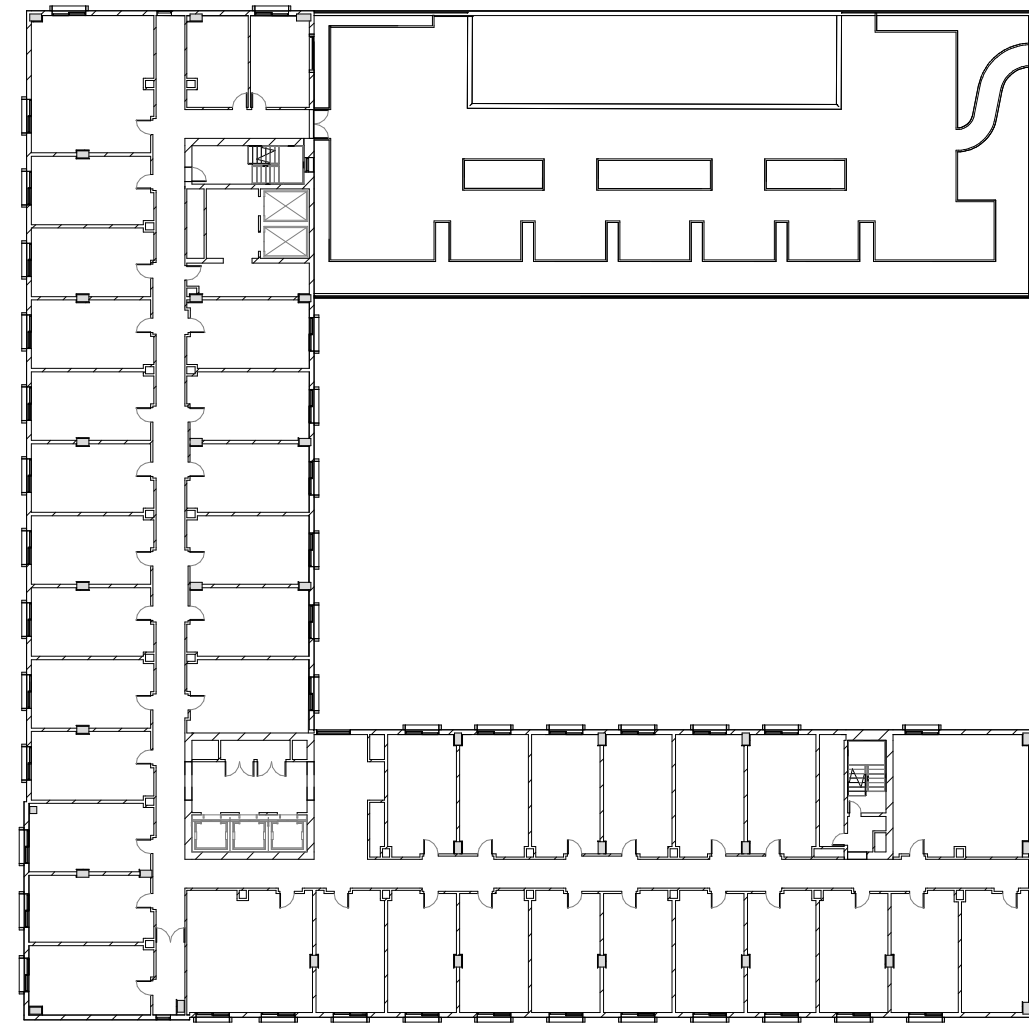
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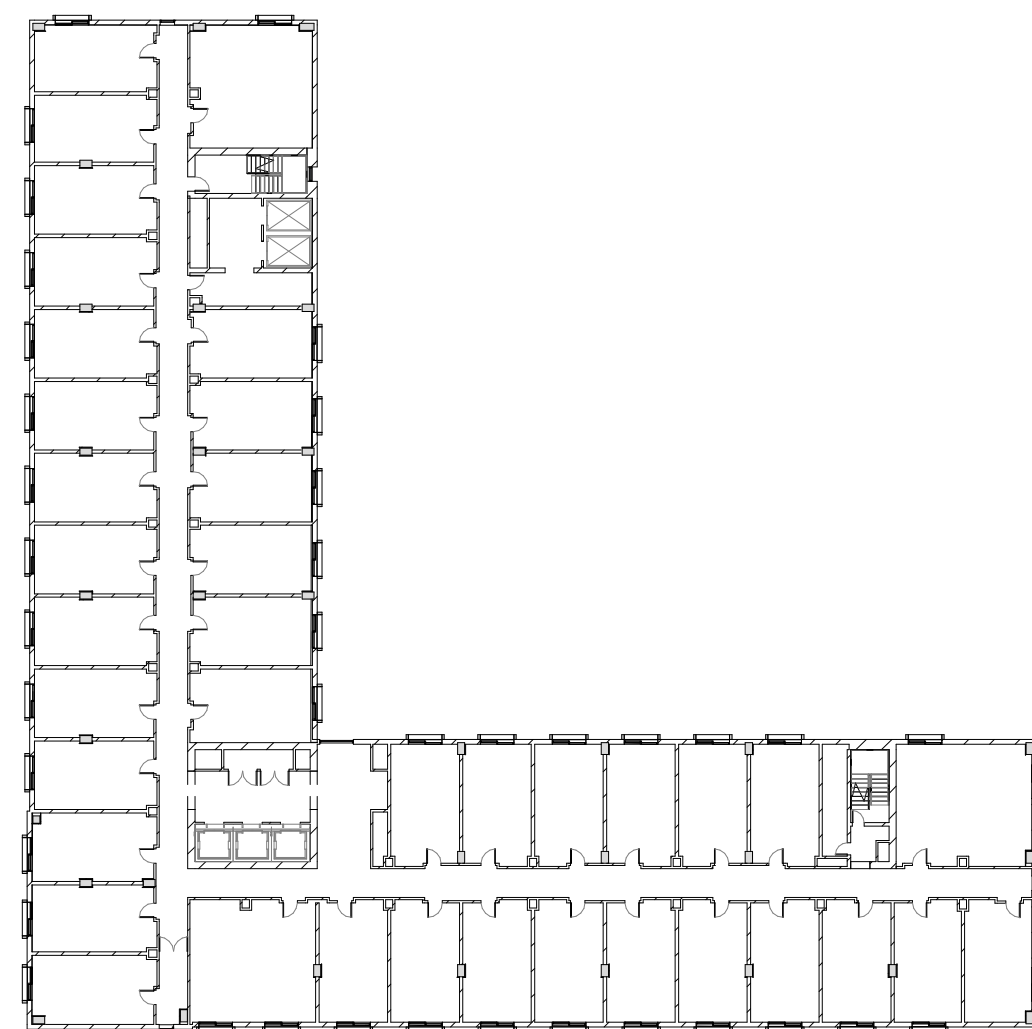




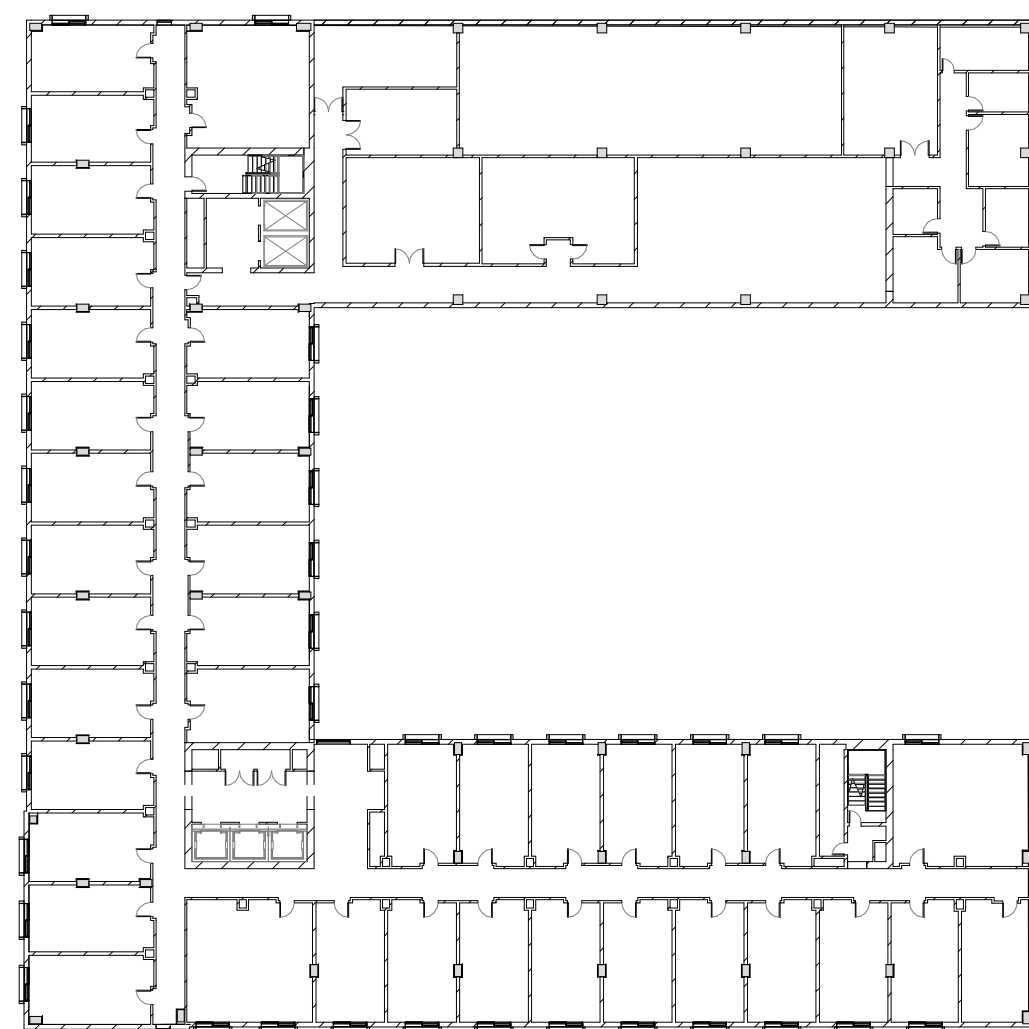
7 Hotel Level 6
1" = 40'-0"



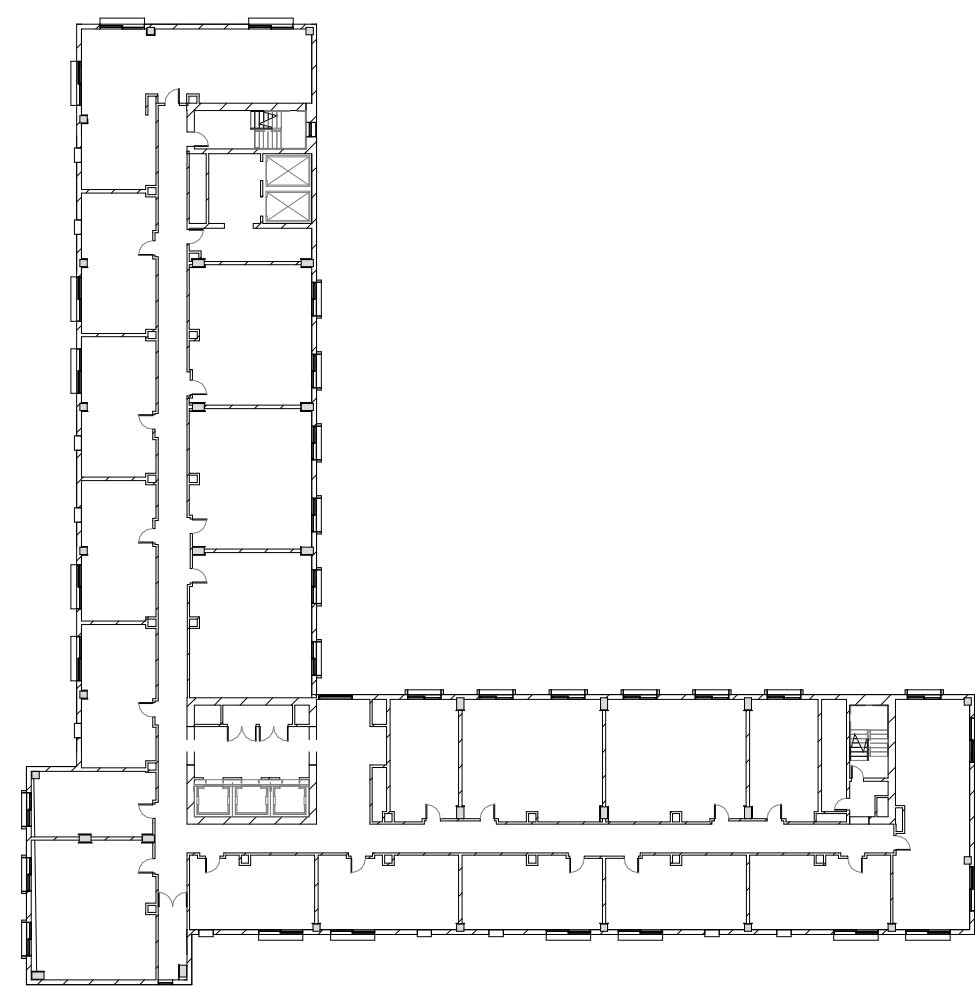
4 Hotel Level 3
1" = 40'-0"



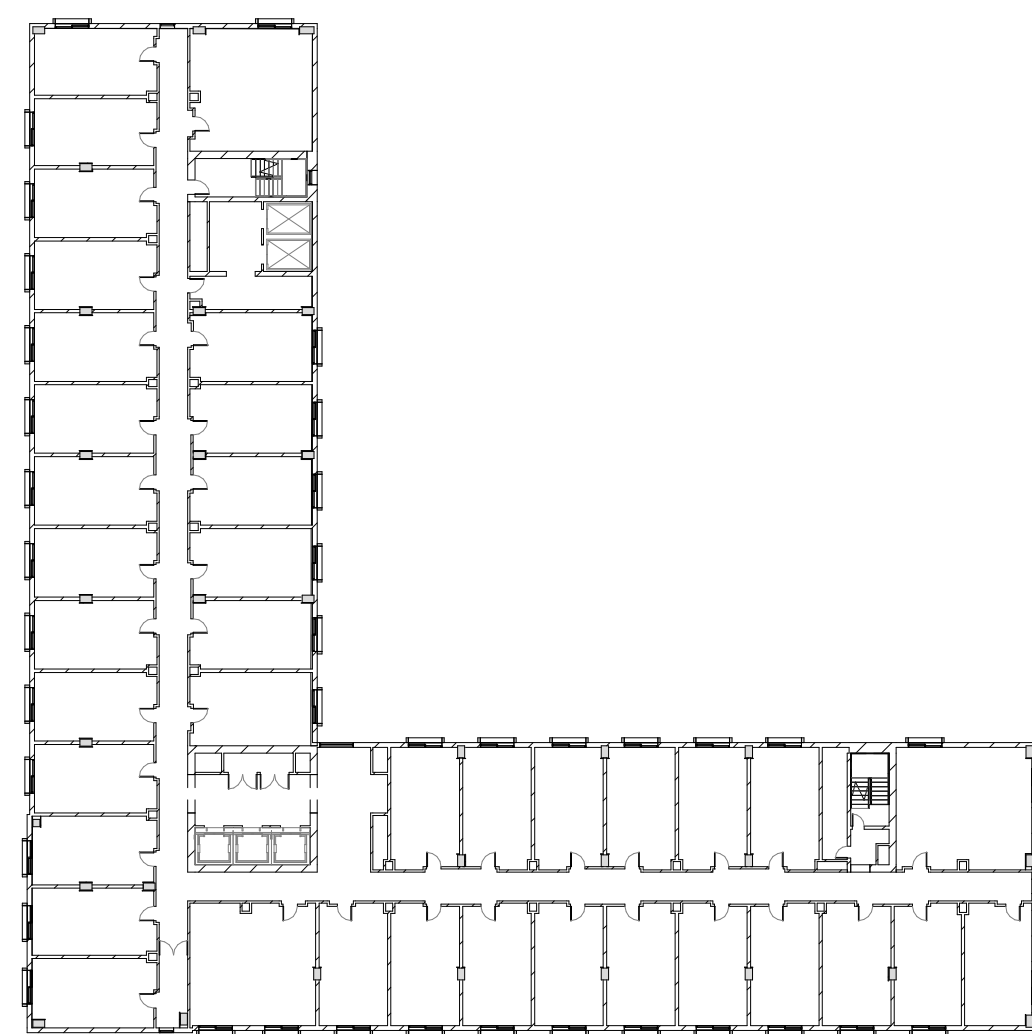
6 Hotel Level 5
1" = 40'-0"



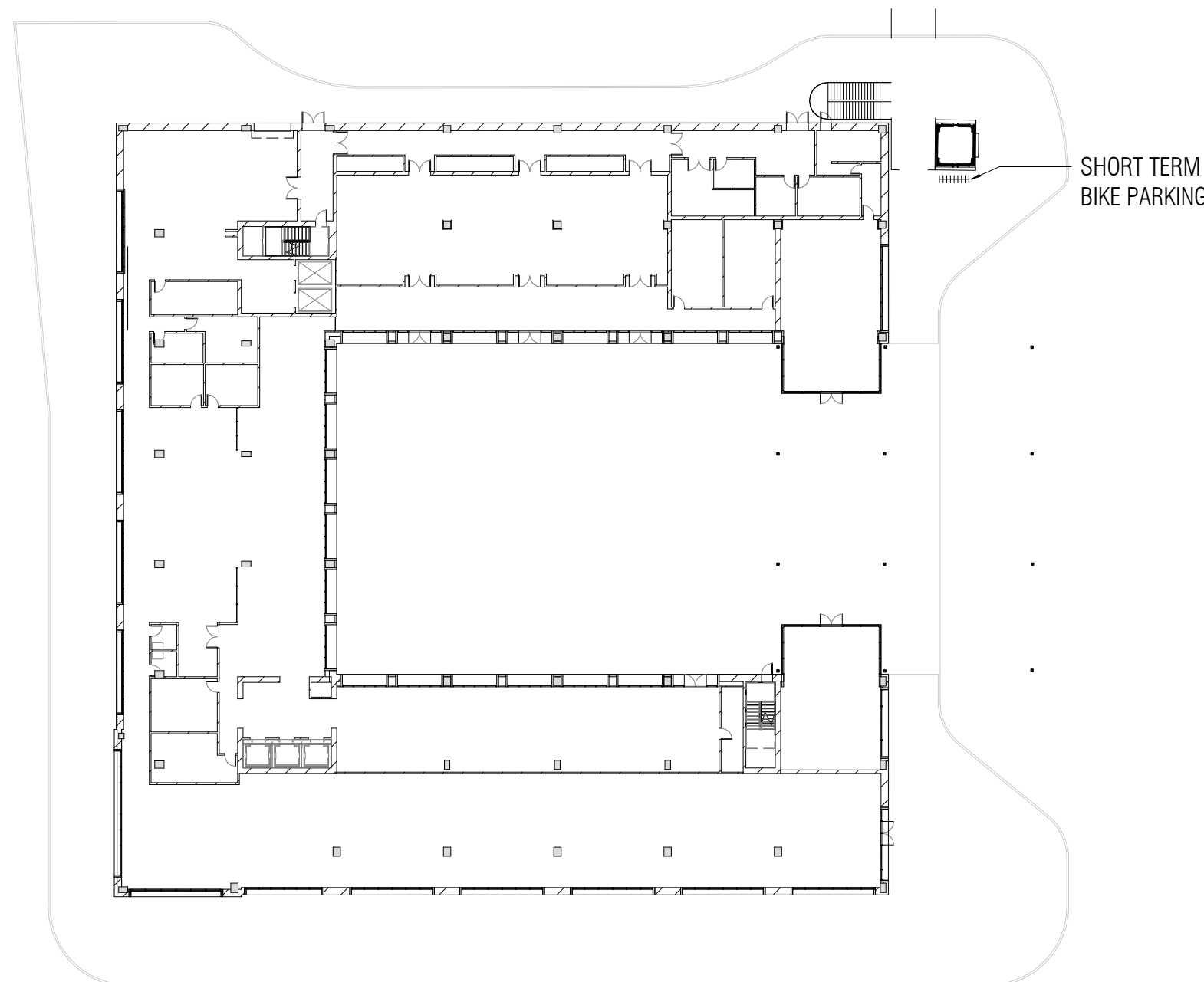
3 Hotel Level 2
1" = 40'-0"



8 Hotel Level 7
1" = 40'-0"



5 Hotel Level 4
1" = 40'-0"



2 Hotel Level 1
1" = 40'-0"

Hotel Parking		
16.43.090 Parking Standards		
Hotel	Minimum Spaces (Per Guest Room)	Maximum Spaces (Per Guest Room)
	0.75	1.1
Hotel 193 Guest Rooms	145 Spaces Minimum	212 Spaces Maximum

Hotel EVSE Spaces					
Per Menlo Park Municipal Code 12.18.110					
A minimum of 15% of total required number of parking stalls are to be EV Spaces with installed EVSE in 10% of the total required number of parking stalls, with a minimum of 1, in charging space(s).					
	Total Spaces	EV Spaces Calculation	Required EV Spaces	EVSE Spaces Calculation	Required EVSE Spaces
Hotel	145	145x15%=21.75	22	145x10%=14.5	15

Basement Parking Schedule				
Level	Type	Spaces per Parking Unit	Count	Total Space Count
Basement	EV Future 8.5x18	1	7	7
Basement	EV Standard 8.5x18	1	15	15
Basement	HC Standard 9x18	1	2	2
Basement	Stacker 9x18	2	38	76
Basement	Standard 8.5x18	1	68	68
Grand Total				168

Bike Parking Schedule				
	Area	Short Term	Long Term	Total
Retail*	13,966	2	1	3
Hotel**	151,604	6	24	30
Total	165,570	8	25	33

*20% long term and 80% short term for retail.
**80% long term and 20% short term for for hotel.

SCALE: 1" = 40'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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1 Note Basement Plan
1" = 30'-0"

Total Parking		
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Total VS Spaces				
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Base e t Park g Sc edu e				
eve	Type	Spaces pe Park g	Co	S ace Co
B s en	V u . x			
B s	V a			
Basement	HC Standard 9x18	1	2	2
B s	g			
B s	x			
	G a			

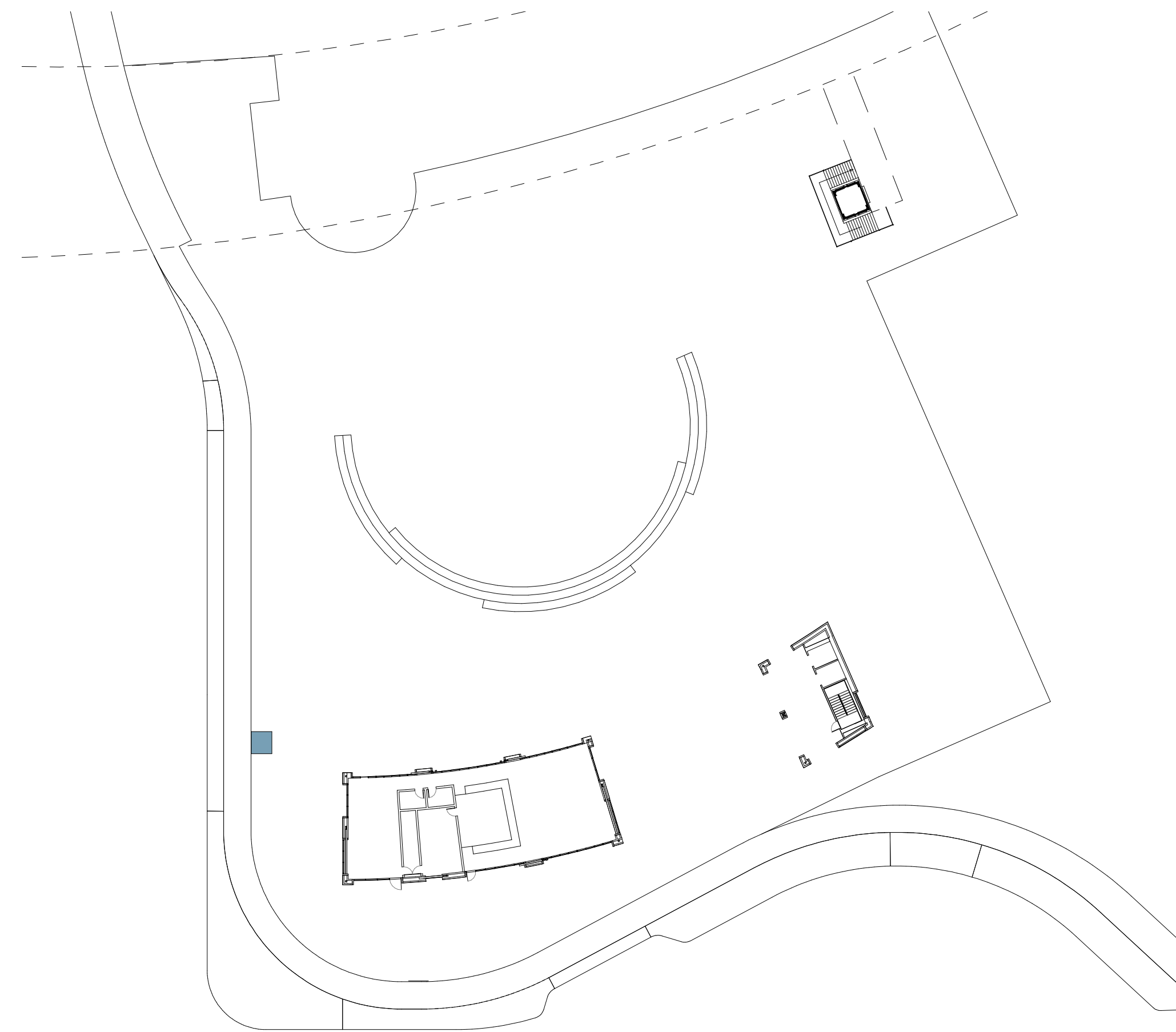
Base Parking Sched e				
	A ea	r		0
	6			
e *	1 4			
Total	65,570	8	25	33

KEY

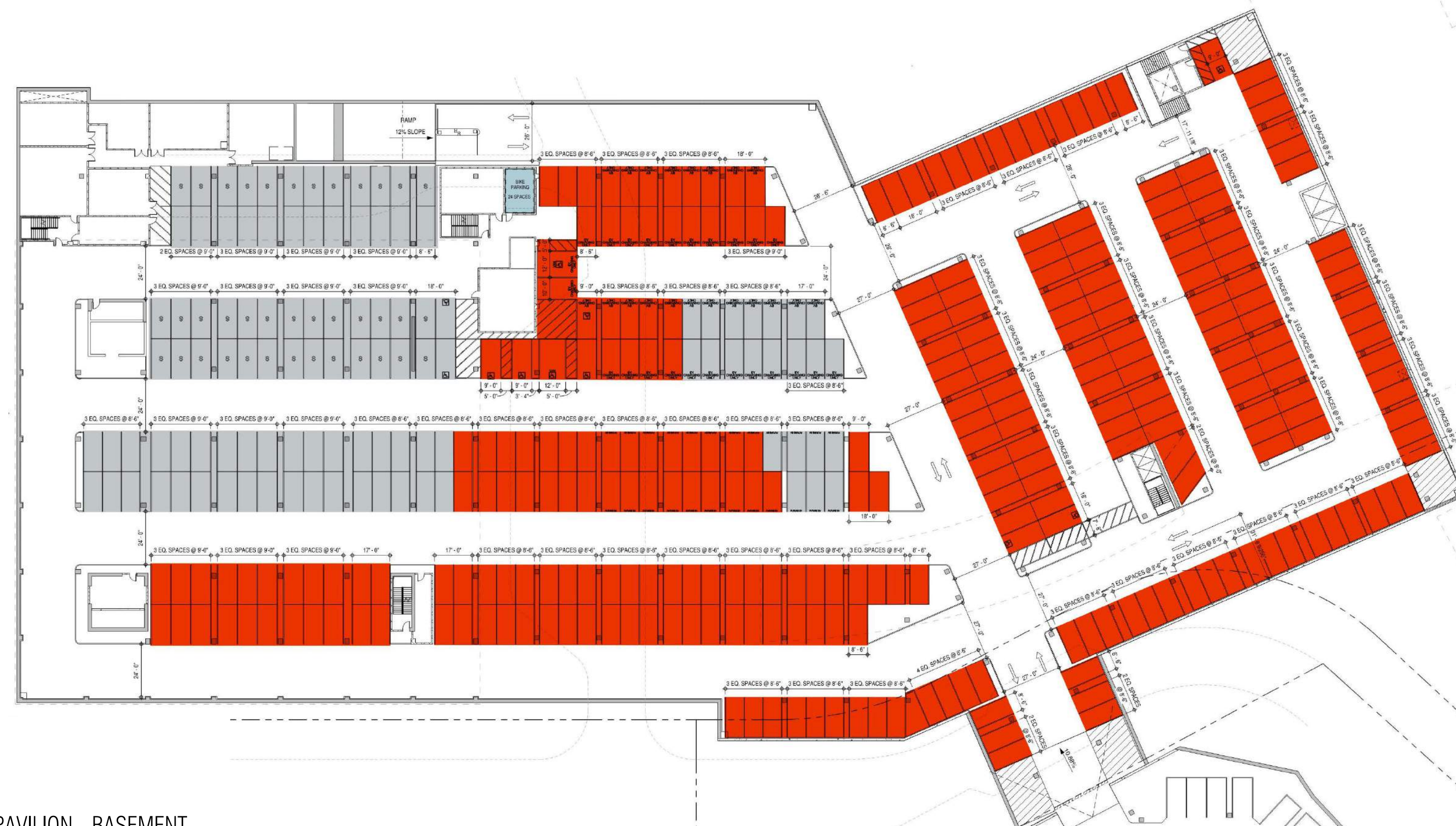
- COMMERCIAL PARKING
- HOTEL PARKING - 146 SPACES
- LONG TERM BICYCLE PARKING
- STACKER (HOTEL)

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1 TOWN SQUARE PAVILION - LEVEL 1
1" = 40'-0"



2 TOWN SQUARE PAVILION - BASEMENT
1" = 40'-0"

Town Square Parking		
16.43.090 Parking Standards		
Retail	Minimum Spaces (Per 1,000 Sq. Ft)	Maximum Spaces (Per 1,000 Sq. Ft.)
	2.5	3.3
Retail 6,725 SF	18 Spaces Minimum	24 Spaces Maximum

Town Square EVSE Spaces					
Per Menlo Park Municipal Code 12.18.110					
A minimum of 15% of total required number of parking stalls are to be EV Spaces with installed EVSE in 10% of the total required number of parking stalls, with a minimum of 1, in charging space(s).					
	Total Spaces	EV Spaces Calculation	Required EV Spaces	EVSE Spaces Calculation	Required EVSE Spaces
Retail	18	18x15%=2.7	3	18x10%=1.8	2

Basement Parking Schedule				
Level	Type	Spaces per Parking Unit	Count	Total Space Count
Basement	Ev Future 8.5*18	1	17	17
Basement	EV HC Ambulatory 9x18	1	1	1
Basement	EV HC Standard 9x18	1	1	1
Basement	EV HC Van 12x18	1	1	1
Basement	EV Standard 8.5x18	1	27	27
Basement	HC Standard 9x18	1	7	7
Basement	HC Van 12x18	1	1	1
Basement	Standard 8.5x18	1	212	212
Grand Total				267

Bike Parking Schedule*				
	Area	Short Term	Long Term	Total
Retail*	4,188	1	0	1

*20% long term and 80% short term for retail.

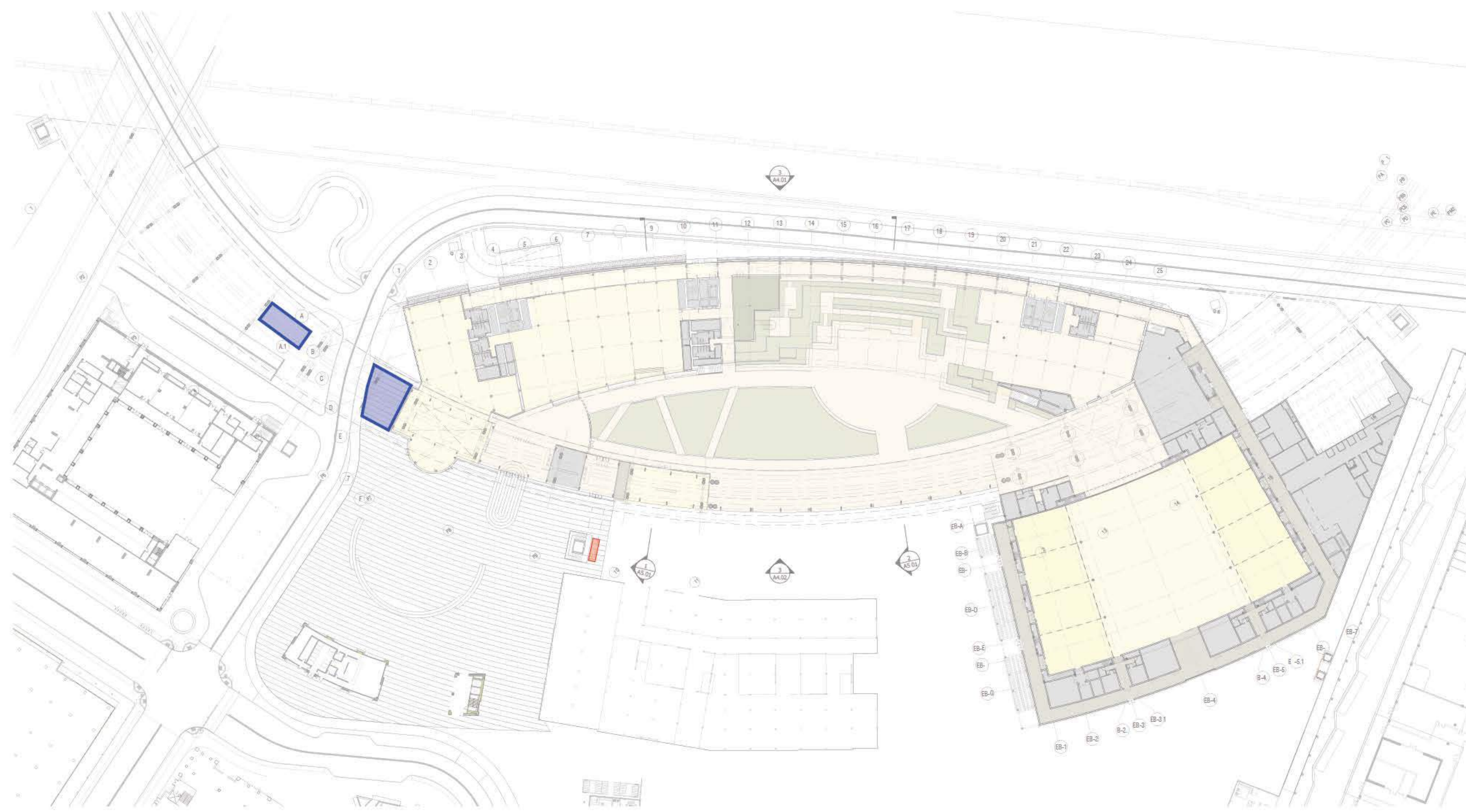
KEY

- COMMERCIAL PARKING
- HOTEL PARKING - 146 SPACES
- LONG TERM BICYCLE PARKING
- Ⓢ STACKER

SCALE: 1" = 40'-0"
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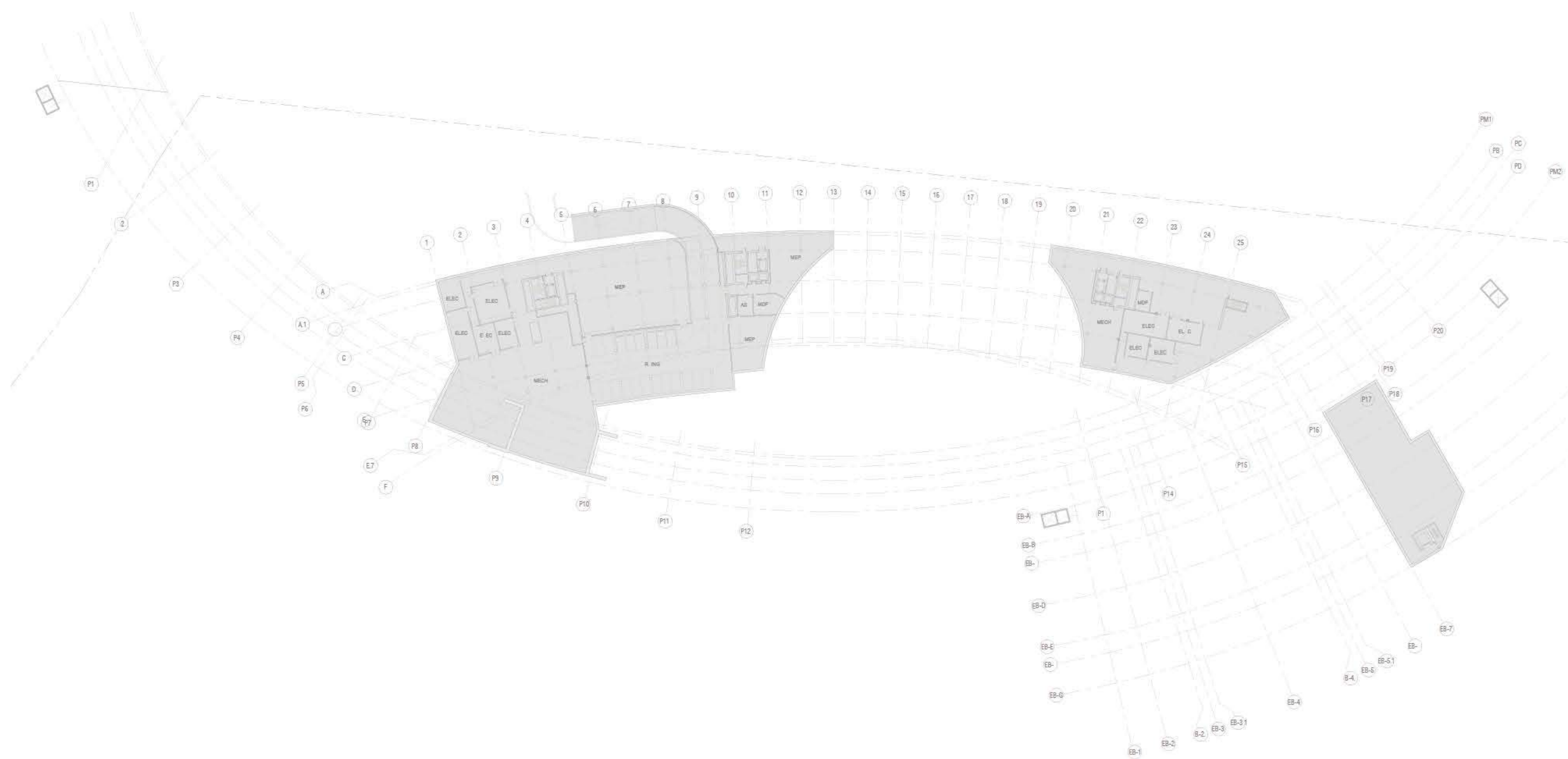
1 LEVEL 01 PLAN

MCS OFFICE BIKE PARKING COUNT

16.43 090 Parking Standards

Office	1 per 5,000sf of gross area	
Office	296,596 sf	60 spots
Long Term	(80%)	48 spots
Short Term	(20%)	12 spots

- Long Term Bike Parking
- Short Term Bike Parking



1 BASEMENT PLAN

MCS OFFICE PARKING

16.43.090 Parking Standards

Office	Minimum Spaces (Per 1,000 Sq. Ft.)	Maximum Spaces (Per 1,000 Sq. Ft.)
Office 296,596 ¹	297 Spaces Min ²	891 Spaces Max

¹ Building area calculated from total Gross Area for Fully Enclosed "Interior"
² Refer to Masterplan plan set for parking allocation. Spspaces serving MCS are included with the Office Campus.

MCS OFFICE EVSE SPACES

Per Menlo Park Municipal Code 12.18.110
 A minimum of 15% of total required number of parking stalls are to be EV Spaces with installed EVSE in 10% of the total required number of parking stalls, with a minimum of 1, in charging space(s).

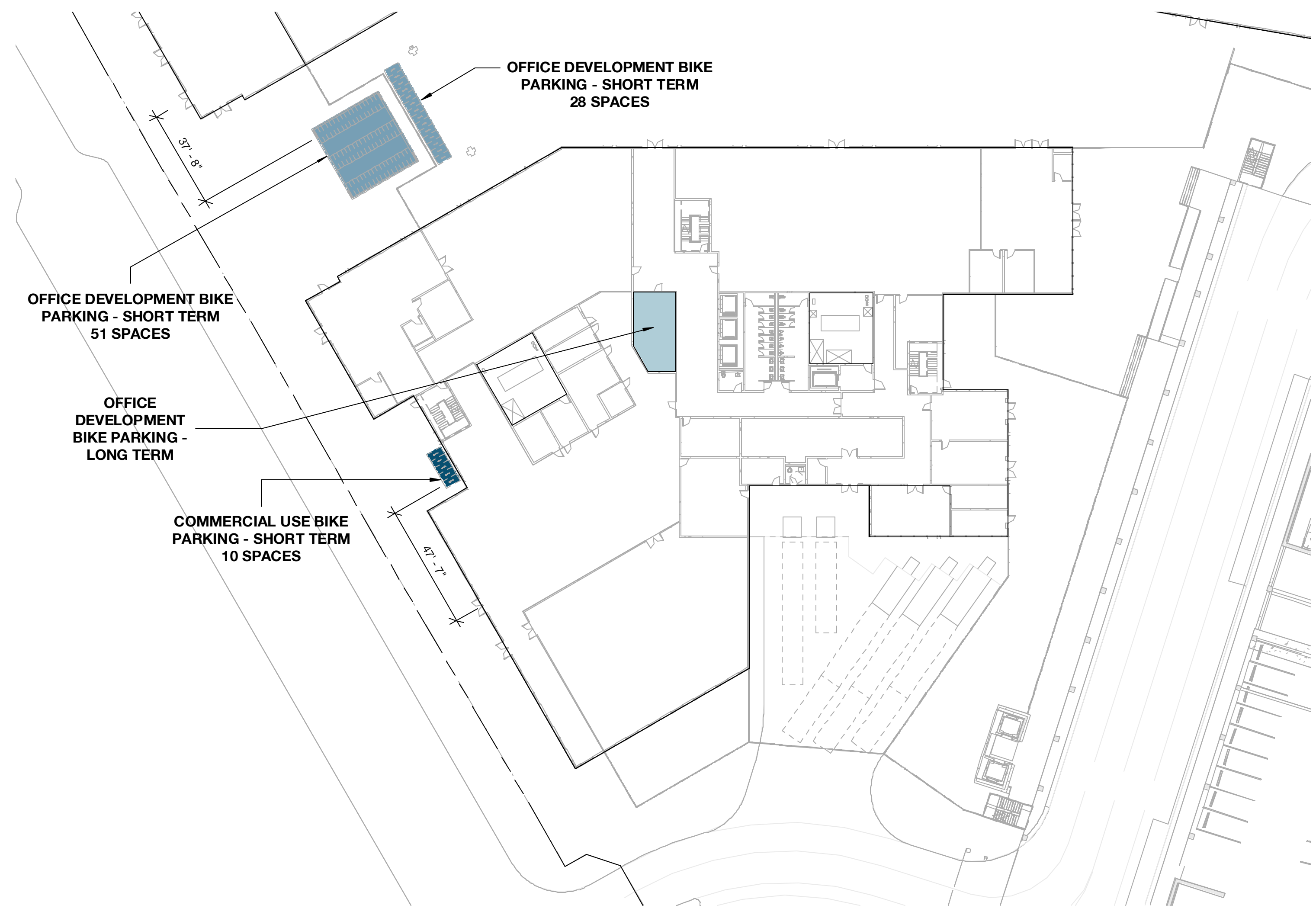
Office	TOTAL SPACES	EV SPACES CALC	REQUIRED EV SPACES	EVSE SPACES CALC	REQUIRED EVSE SPACES
Office	594	594x15%=89.1	90	594x10%=59.4	60

ENTITLE CAR PARKING SCHEDULE OFFICE				
Level	Type Comments	Spaces per Parking Unit	Count	Total Space Count
BASEMENT				
BASEMENT	HC VAN 12 X 18	1	1	1
BASEMENT	STANDARD 8.5 X 18	1	1	1
BASEMENT	EV STANDARD 8.5 X 18	1	13	13
Grand Total				15

*634-958 ADDITIONAL PARKING AT NORTH GARAGE

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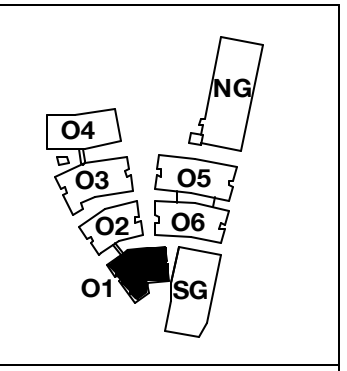
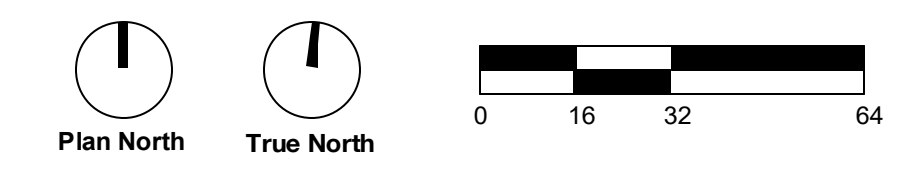


1 LEVEL 1 Parking - O1
1/32" = 1'-0"

BIKE PARKING SCHEDULE - COMMERCIAL			
Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	COMMERCIAL	SHORT TERM	44
LEVEL 1	COMMERCIAL	LONG TERM	2

BIKE PARKING SCHEDULE - OFFICE			
Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	OFFICE	SHORT TERM	772
LEVEL 1	OFFICE	LONG TERM	680

PARKING BY LAND USE LEGEND	
SWATCH	USE
[Light Blue Swatch]	Office Car Parking
[Orange Swatch]	Commercial Car Parking
[Dark Blue Swatch]	Commercial Bicycle Parking
[Medium Blue Swatch]	Short Term Bicycle Parking
[Light Blue Swatch]	Long Term Bicycle Parking



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion) & 8
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

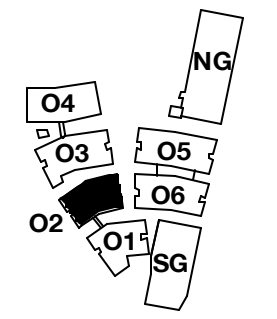
MILESTONES	
DATE	ISSUE
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NO.	DATE	ISSUE

DRAWING TITLE:
Parking Count Diagram - Building O1

DRAWING NO:
A9.14.1



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: As indicated

NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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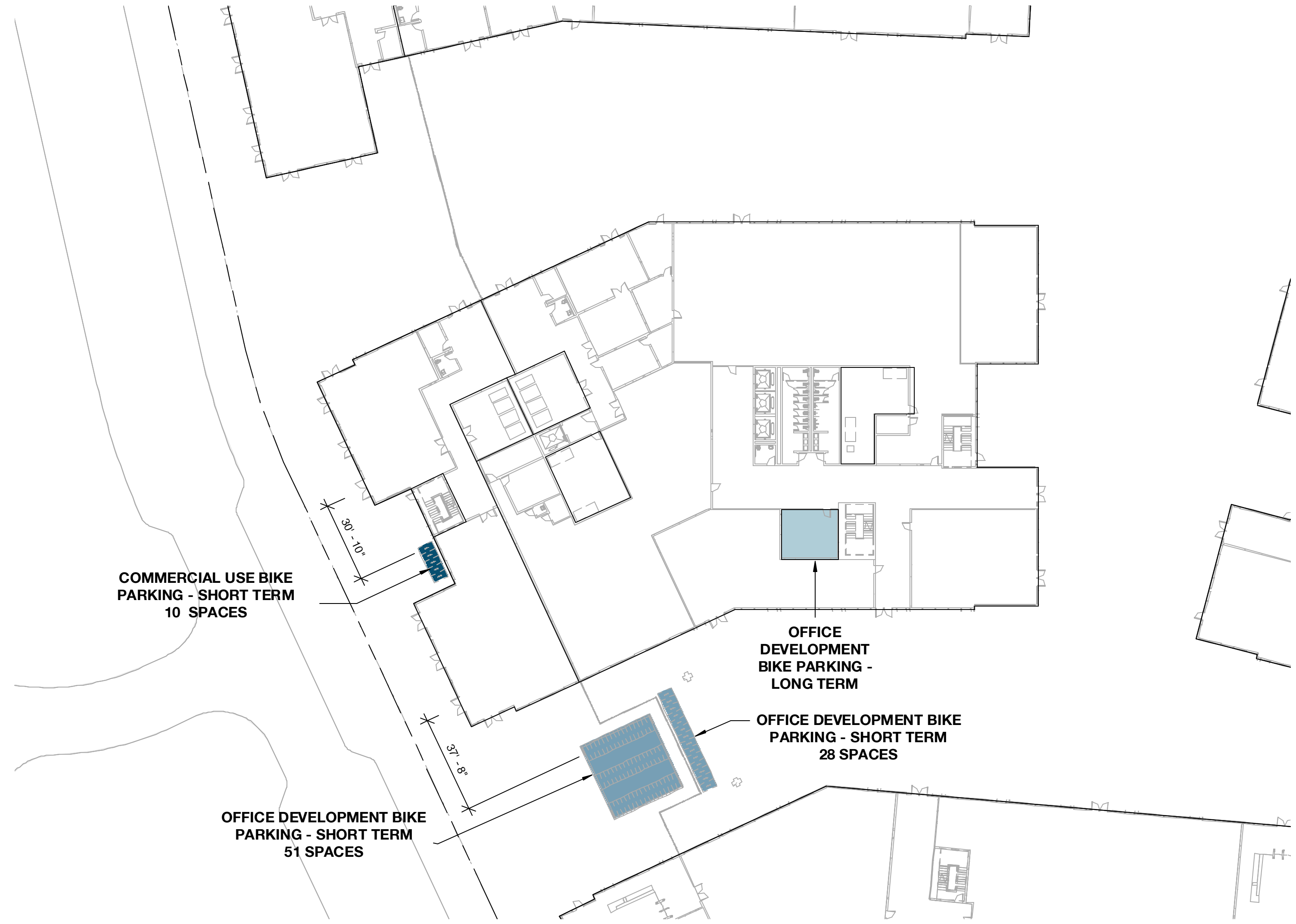
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DRAWING TITLE:

Parking Count Diagram - Building O2

DRAWING NO:

A9.14.2

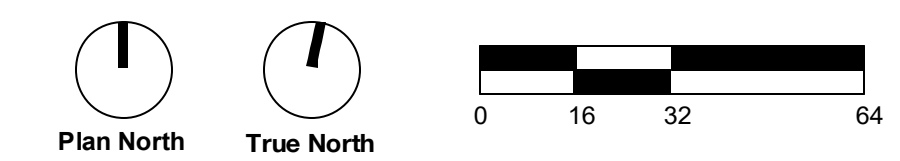


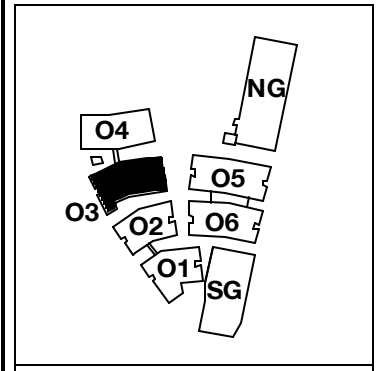
1 LEVEL 1 Parking - O2
 1/32" = 1'-0"

Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	COMMERCIAL	SHORT TERM	44
LEVEL 1	COMMERCIAL	LONG TERM	2

Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	OFFICE	SHORT TERM	772
LEVEL 1	OFFICE	LONG TERM	680

SWATCH	USE
	Office Car Parking
	Commercial Car Parking
	Commercial Bicycle Parking
	Short Term Bicycle Parking
	Long Term Bicycle Parking





PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

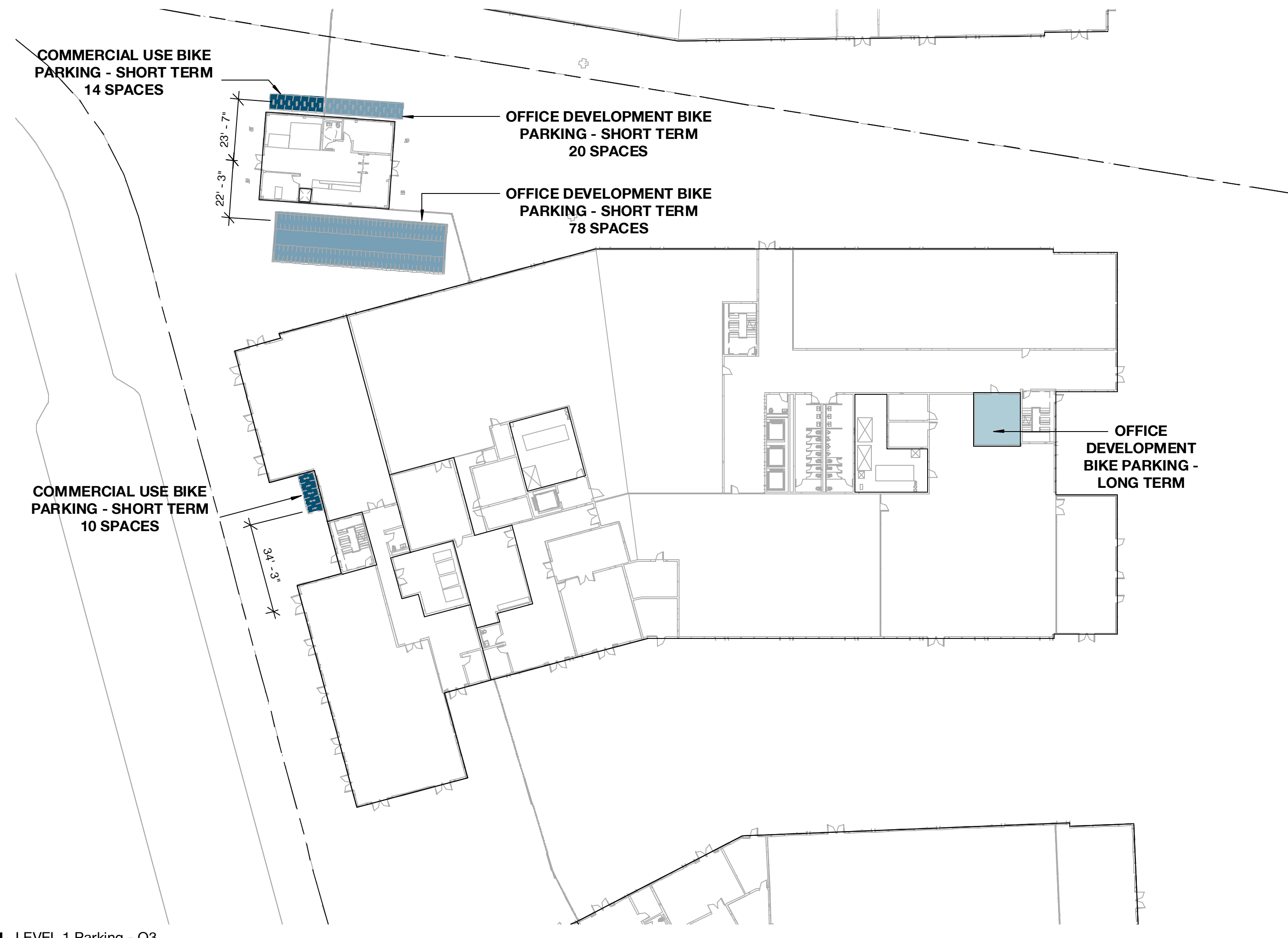
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. DO NOT CLIP OR TRIM FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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09/07/2021	ACP

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DRAWING TITLE:
Parking Count Diagram - Building O3

DRAWING NO:
A9.14.3

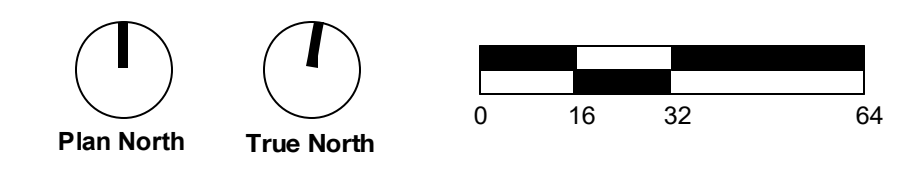


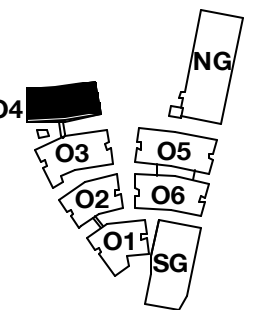
1 LEVEL 1 Parking - O3
 1/32" = 1'-0"

BIKE PARKING SCHEDULE - COMMERCIAL			
Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	COMMERCIAL	SHORT TERM	44
LEVEL 1	COMMERCIAL	LONG TERM	2

BIKE PARKING SCHEDULE - OFFICE			
Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	OFFICE	SHORT TERM	772
LEVEL 1	OFFICE	LONG TERM	680

PARKING BY LAND USE LEGEND	
SWATCH	USE
	Office Car Parking
	Commercial Car Parking
	Commercial Bicycle Parking
	Short Term Bicycle Parking
	Long Term Bicycle Parking





PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: As indicated

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DRAWING TITLE:

Parking Count Diagram - Building O4

DRAWING NO:

A9.14.4

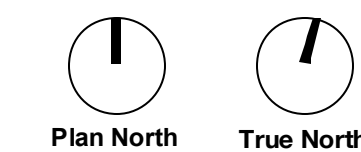


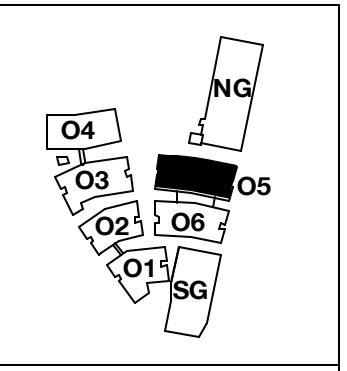
1 LEVEL 1 Parking - O4
 1/32" = 1'-0"

BIKE PARKING SCHEDULE - COMMERCIAL			
Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	COMMERCIAL	SHORT TERM	44
LEVEL 1	COMMERCIAL	LONG TERM	2

BIKE PARKING SCHEDULE - OFFICE			
Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	OFFICE	SHORT TERM	772
LEVEL 1	OFFICE	LONG TERM	680

PARKING BY LAND USE LEGEND	
SWATCH	USE
	Office Car Parking
	Commercial Car Parking
	Commercial Bicycle Parking
	Short Term Bicycle Parking
	Long Term Bicycle Parking





PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

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DRAWING TITLE:
Parking Count Diagram - Building O5

DRAWING NO:
A9.14.5

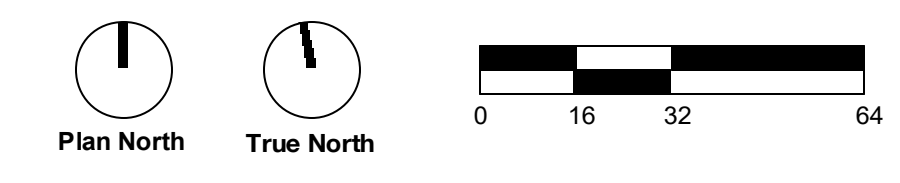


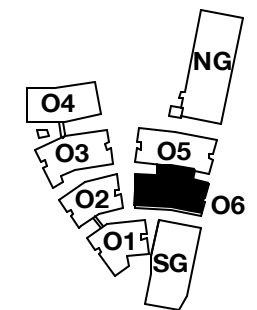
1 LEVEL 1 Parking - O5
 1/32" = 1'-0"

BIKE PARKING SCHEDULE - COMMERCIAL			
Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	COMMERCIAL	SHORT TERM	44
LEVEL 1	COMMERCIAL	LONG TERM	2

BIKE PARKING SCHEDULE - OFFICE			
Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	OFFICE	SHORT TERM	772
LEVEL 1	OFFICE	LONG TERM	680

PARKING BY LAND USE LEGEND	
SWATCH	USE
	Office Car Parking
	Commercial Car Parking
	Commercial Bicycle Parking
	Short Term Bicycle Parking
	Long Term Bicycle Parking





PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: As indicated

NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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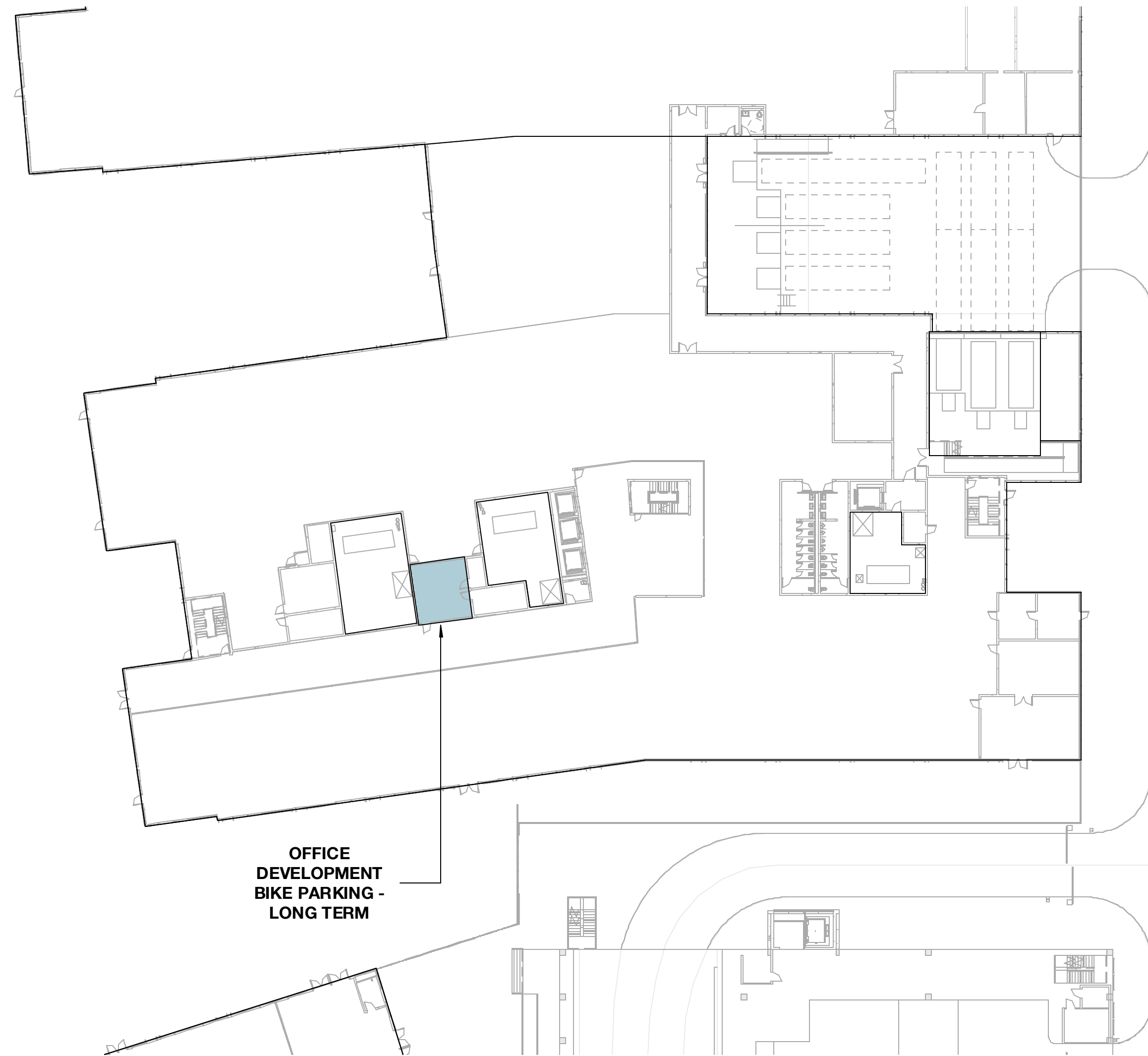
NO.	DATE	ISSUE

DRAWING TITLE:

Parking Count Diagram - Building O6

DRAWING NO:

A9.14.6

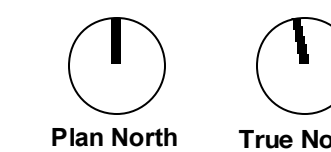


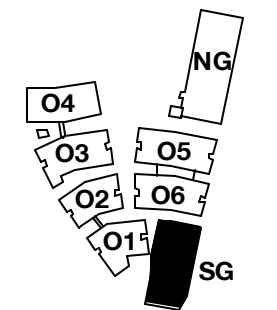
1 LEVEL 1 Parking - O6
 1/32" = 1'-0"

BIKE PARKING SCHEDULE - COMMERCIAL			
Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	COMMERCIAL	SHORT TERM	44
LEVEL 1	COMMERCIAL	LONG TERM	2

BIKE PARKING SCHEDULE - OFFICE			
Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	OFFICE	SHORT TERM	772
LEVEL 1	OFFICE	LONG TERM	680

PARKING BY LAND USE LEGEND	
SWATCH	USE
	Office Car Parking
	Commercial Car Parking
	Commercial Bicycle Parking
	Short Term Bicycle Parking
	Long Term Bicycle Parking





PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE

DRAWING TITLE:
Parking Count Diagram - South Garage

DRAWING NO:
A9.14.7

CAR PARKING SCHEDULE OFFICE SOUTH GARAGE

SOUTH GARAGE PARKING SCHEDULE	
Type Mark	Count
EV Future	135
EV HC Ambulatory	4
EV HC Standard	4
EV HC Van	2
EV Standard	126
Expectant Mother	14
HC Standard	20
HC Van	4
Motorcycle	20
Standard	952
Vanpool	20
TOTAL COMBINED:	1301

SOUTH GARAGE EV COUNT	
10% Day 1 EV spaces	136
10% Future EV spaces	135
TOTAL COMBINED:	271

36 Charging Stations Required Day 1

SG LEVEL 1 PARKING SCHEDULE	
Type Mark	Count
EV Future	4
EV HC Standard	1
EV HC Van	1
EV Standard	2
HC Standard	1
HC Van	4
Motorcycle	20
Standard	89
TOTAL COMBINED:	124

SG LEVEL 1 MEZZANINE PARKING SCHEDULE	
Type Mark	Count
EV Future	12
EV HC Ambulatory	2
EV Standard	16
Standard	113
TOTAL COMBINED:	143

SG LEVEL 2 PARKING SCHEDULE	
Type Mark	Count
EV Future	10
EV HC Ambulatory	2
EV HC Standard	3
EV Standard	27
Expectant Mother	14
HC Standard	19
Standard	130
Vanpool	20
TOTAL COMBINED:	225

SG LEVEL 3 PARKING SCHEDULE	
Type Mark	Count
EV Future	19
EV Standard	28
Standard	188
TOTAL COMBINED:	235

SG LEVEL 4 PARKING SCHEDULE	
Type Mark	Count
EV Future	19
EV Standard	28
Standard	188
TOTAL COMBINED:	235

SG LEVEL 5 PARKING SCHEDULE	
Type Mark	Count
EV Future	35
EV Standard	12
Standard	122
TOTAL COMBINED:	169

SG LEVEL 6 PARKING SCHEDULE	
Type Mark	Count
EV Future	36
EV Standard	12
Standard	122
TOTAL COMBINED:	170

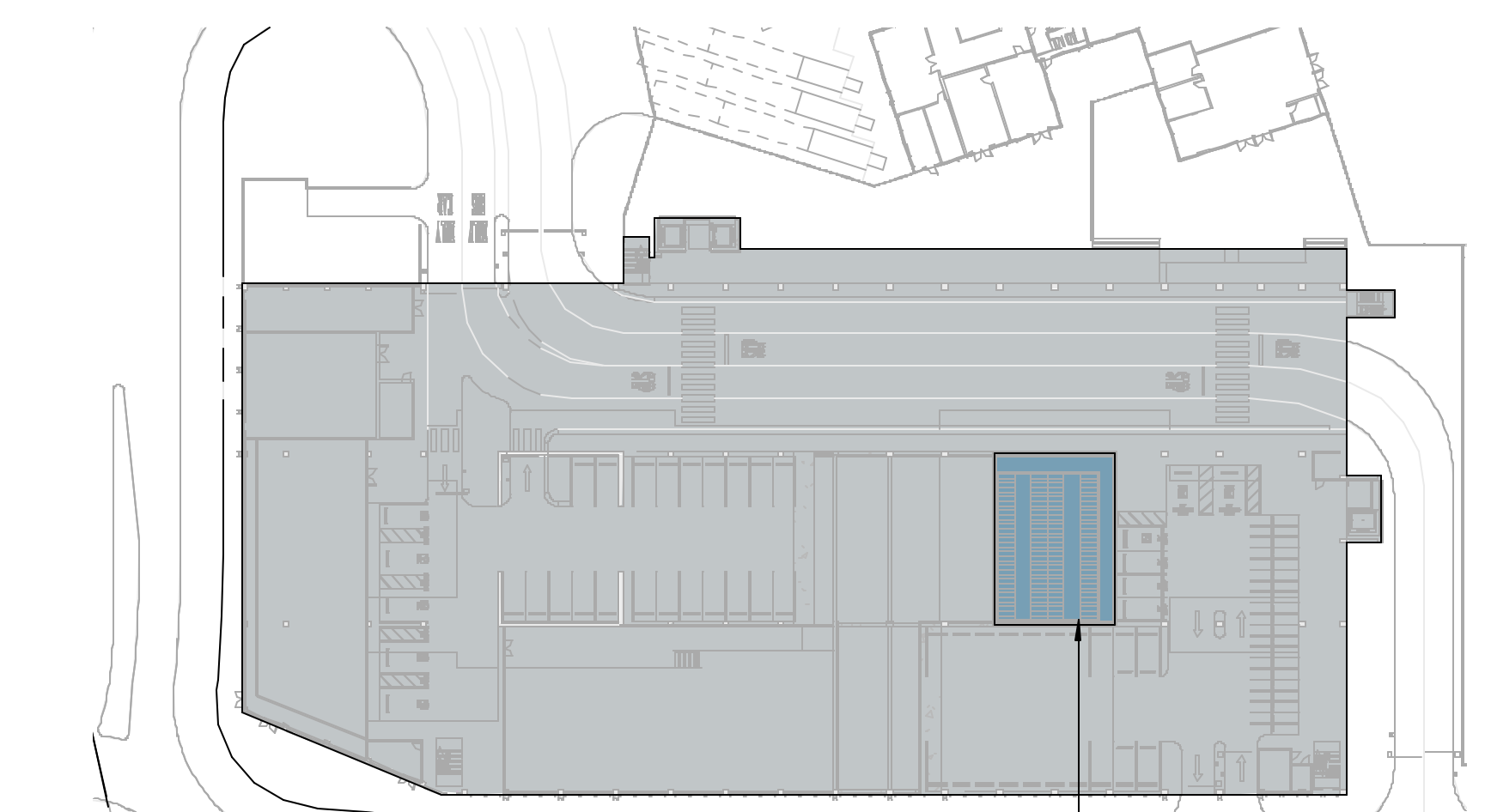
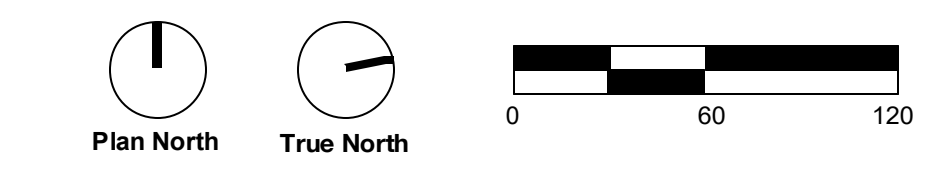
BIKE PARKING SCHEDULE - COMMERCIAL

Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	COMMERCIAL	SHORT TERM	44
LEVEL 1	COMMERCIAL	LONG TERM	2

BIKE PARKING SCHEDULE - OFFICE

Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	OFFICE	SHORT TERM	772
LEVEL 1	OFFICE	LONG TERM	680

PARKING BY LAND USE LEGEND	
SWATCH	USE
	Office Car Parking
	Commercial Car Parking
	Commercial Bicycle Parking
	Short Term Bicycle Parking
	Long Term Bicycle Parking

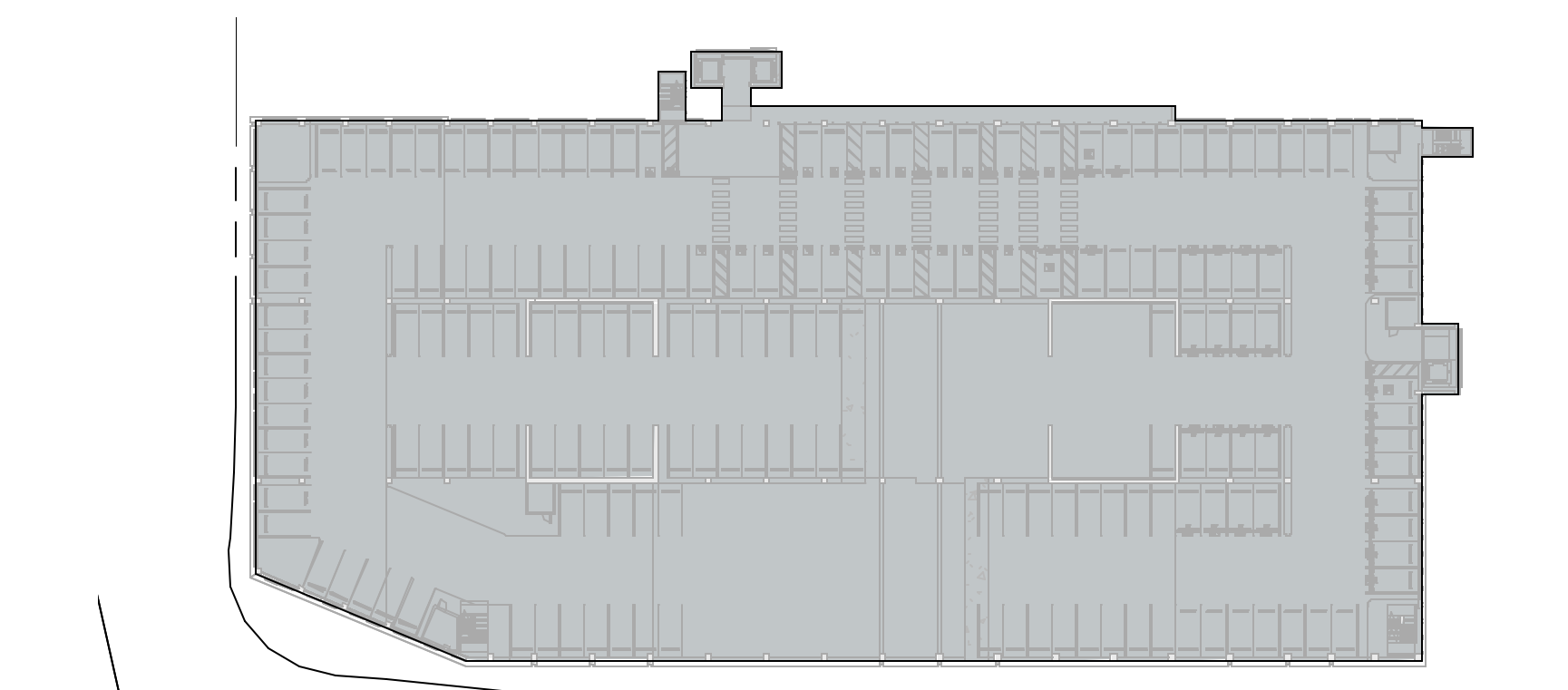


1 SG LEVEL 1
 1" = 60'-0"

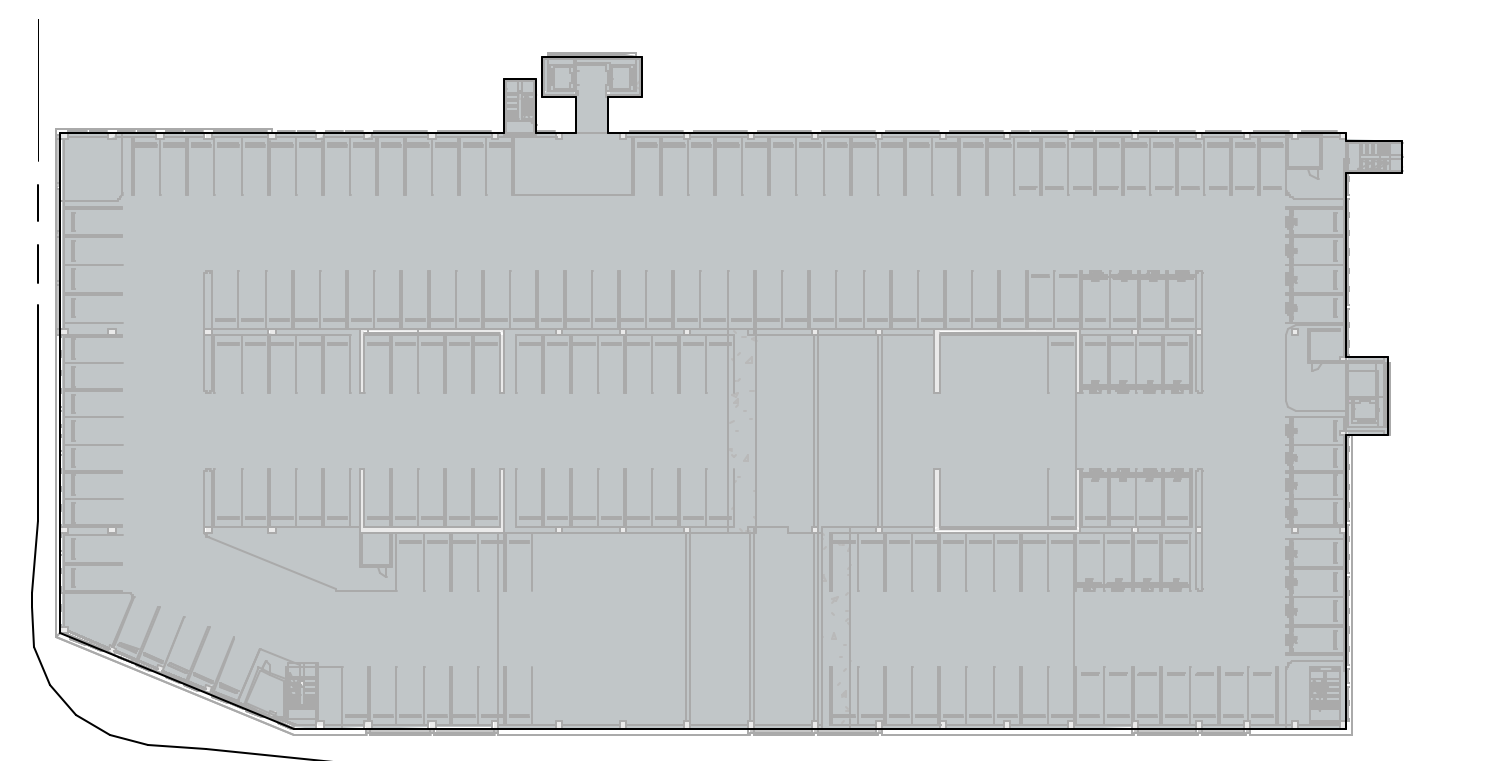
OFFICE DEVELOPMENT BIKE PARKING - SHORT TERM



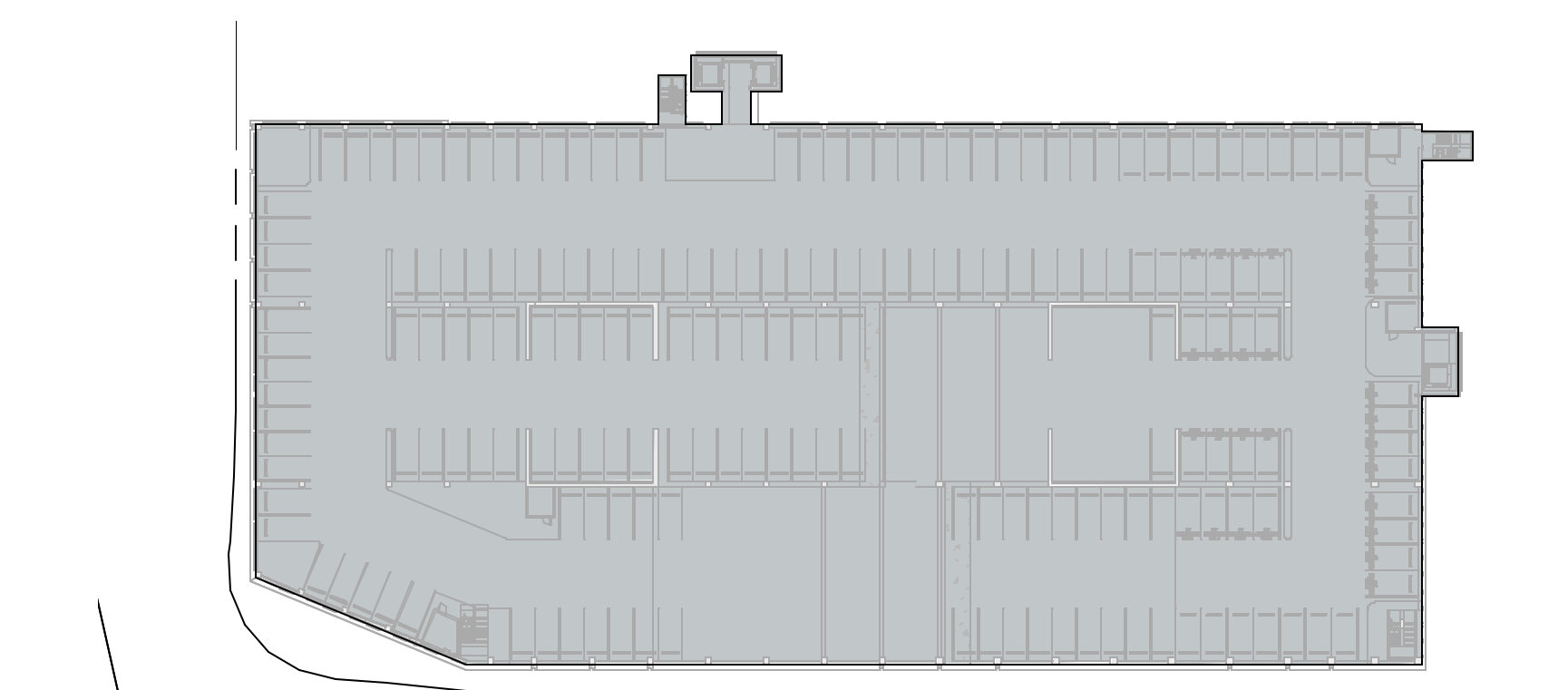
2 SG LEVEL 1 MEZZ.
 1" = 60'-0"



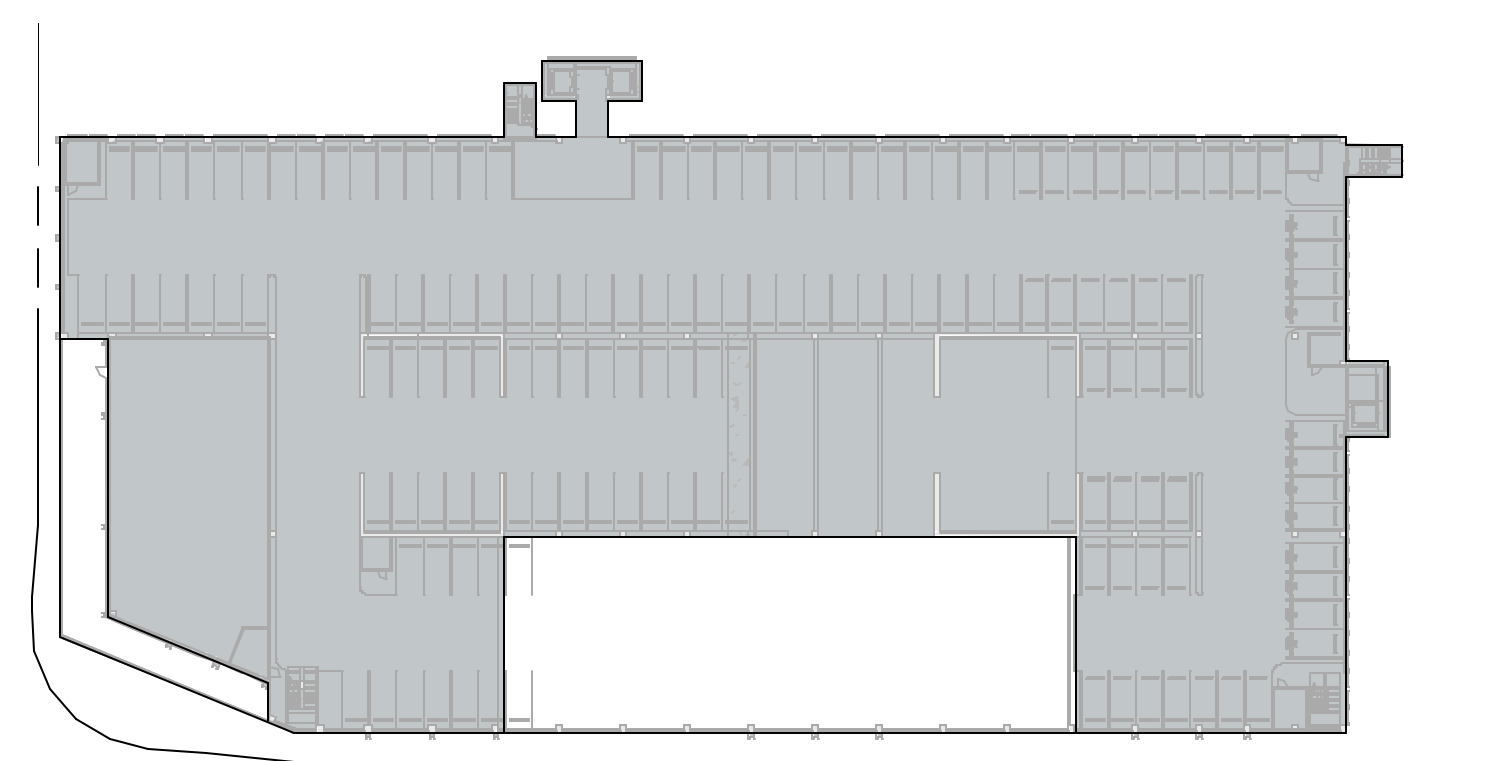
3 SG LEVEL 2
 1" = 60'-0"



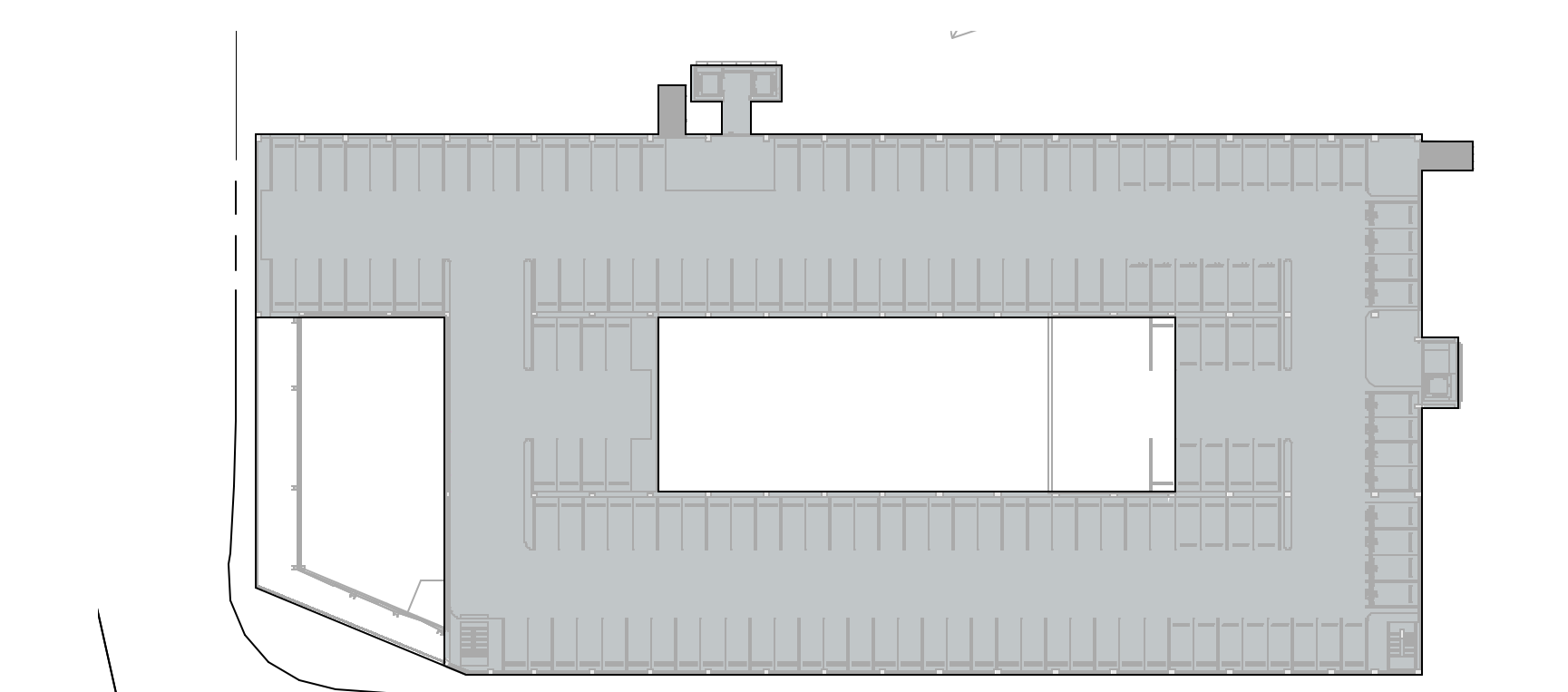
4 SG LEVEL 3
 1" = 60'-0"



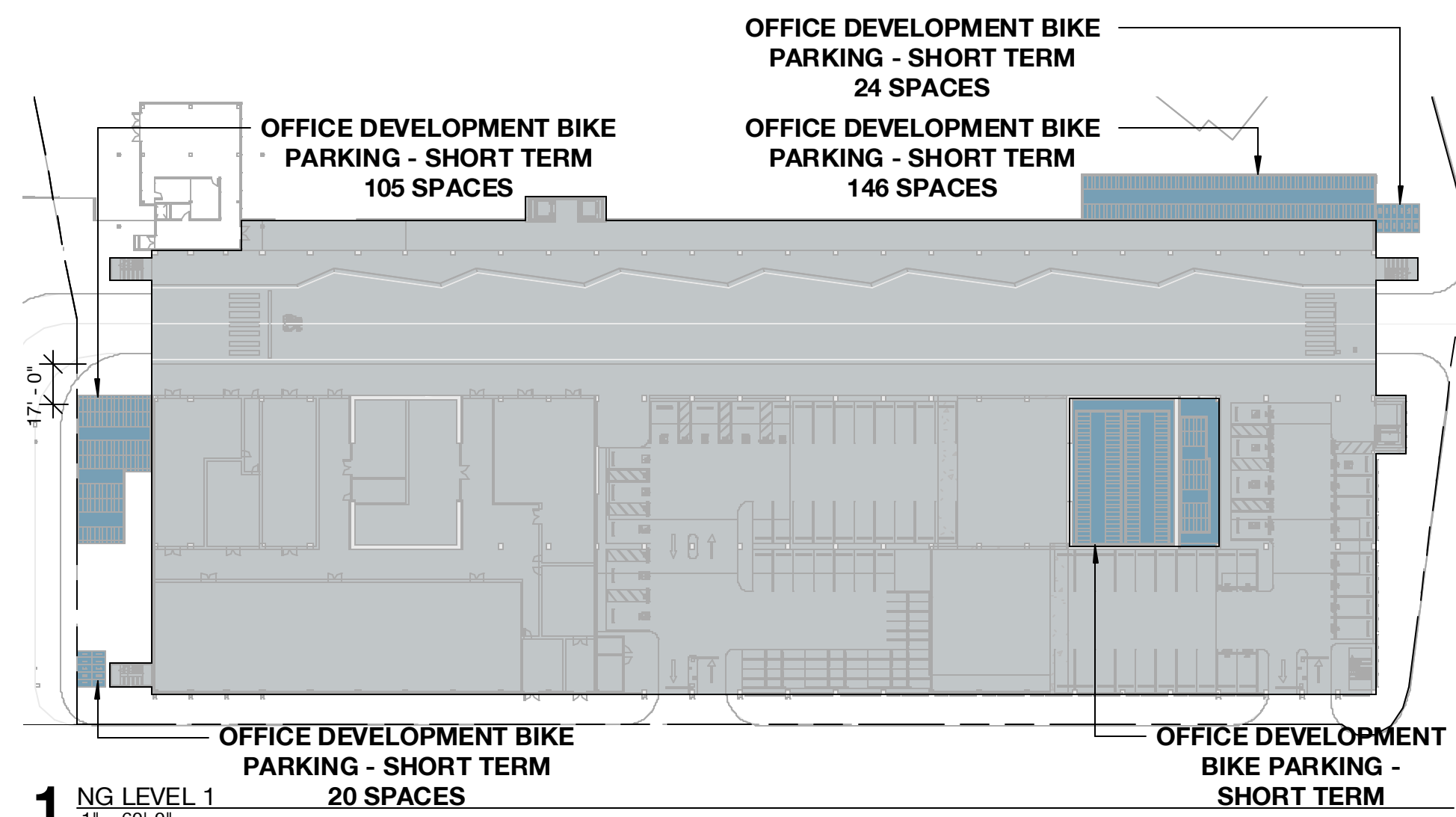
5 SG LEVEL 4
 1" = 60'-0"



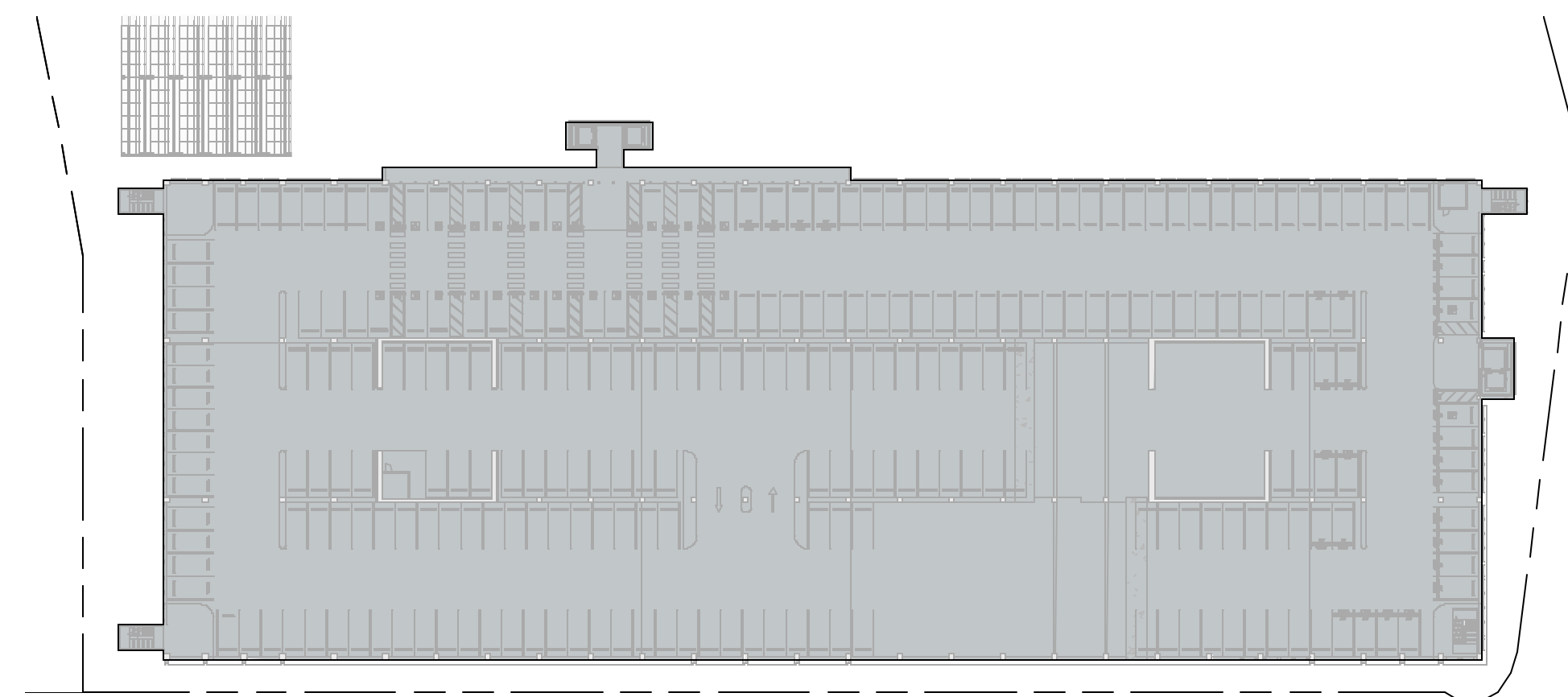
6 SG LEVEL 5
 1" = 60'-0"



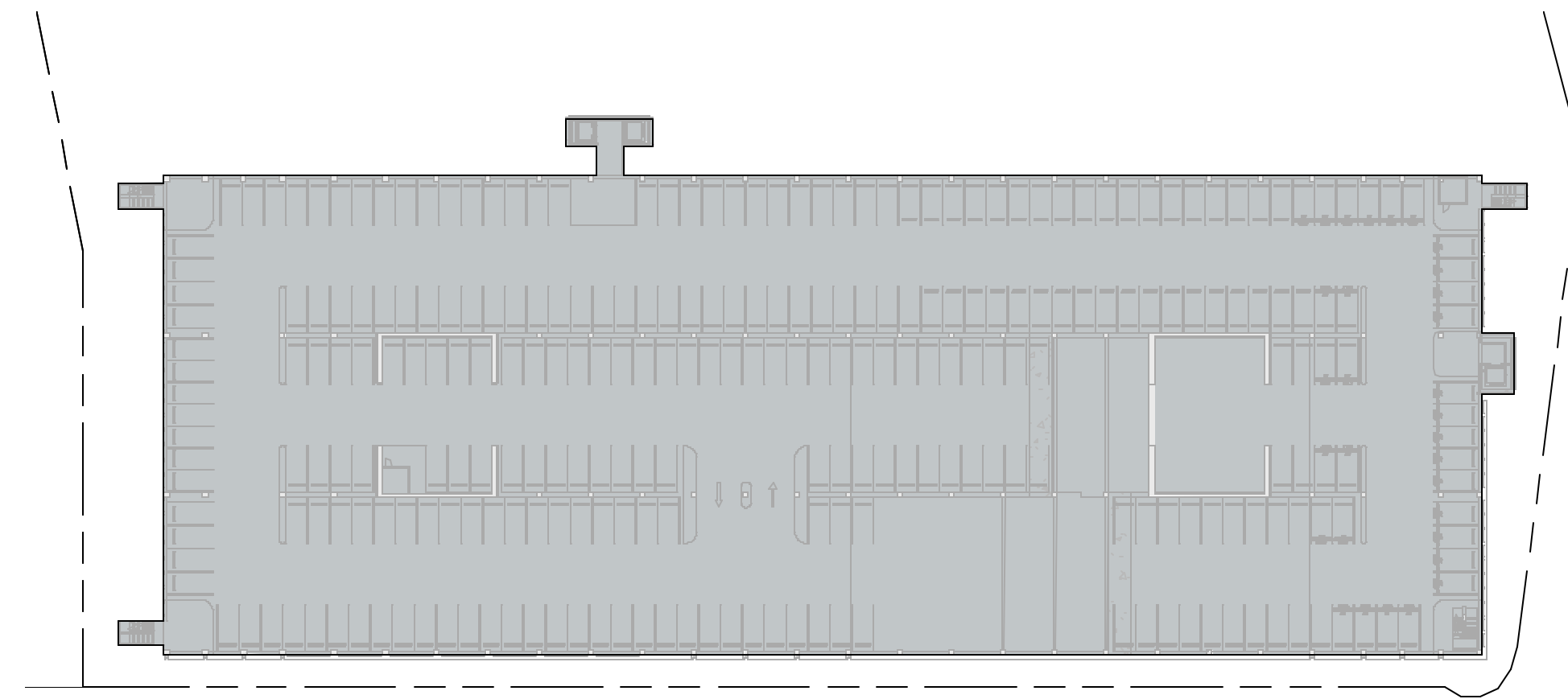
7 SG LEVEL 6
 1" = 60'-0"



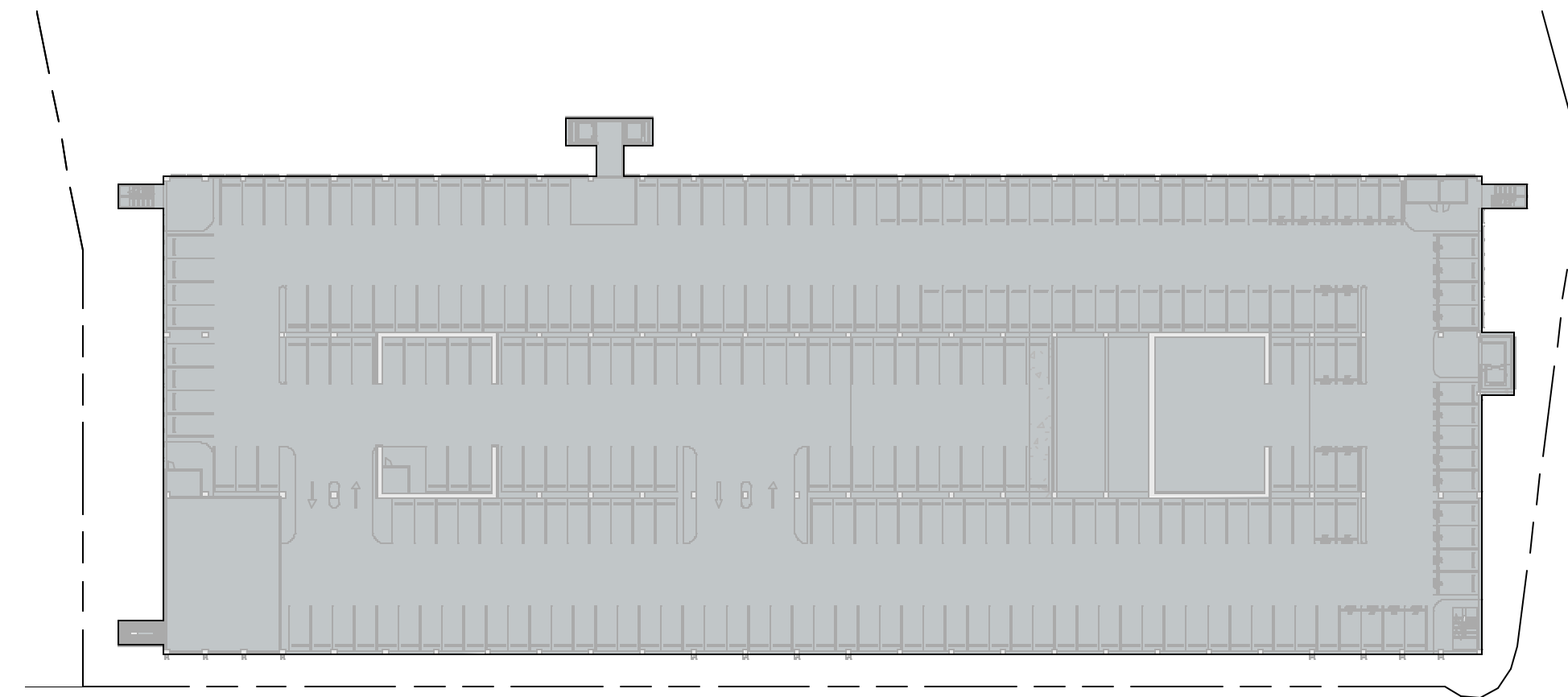
1 NG LEVEL 1
1" = 60'-0"



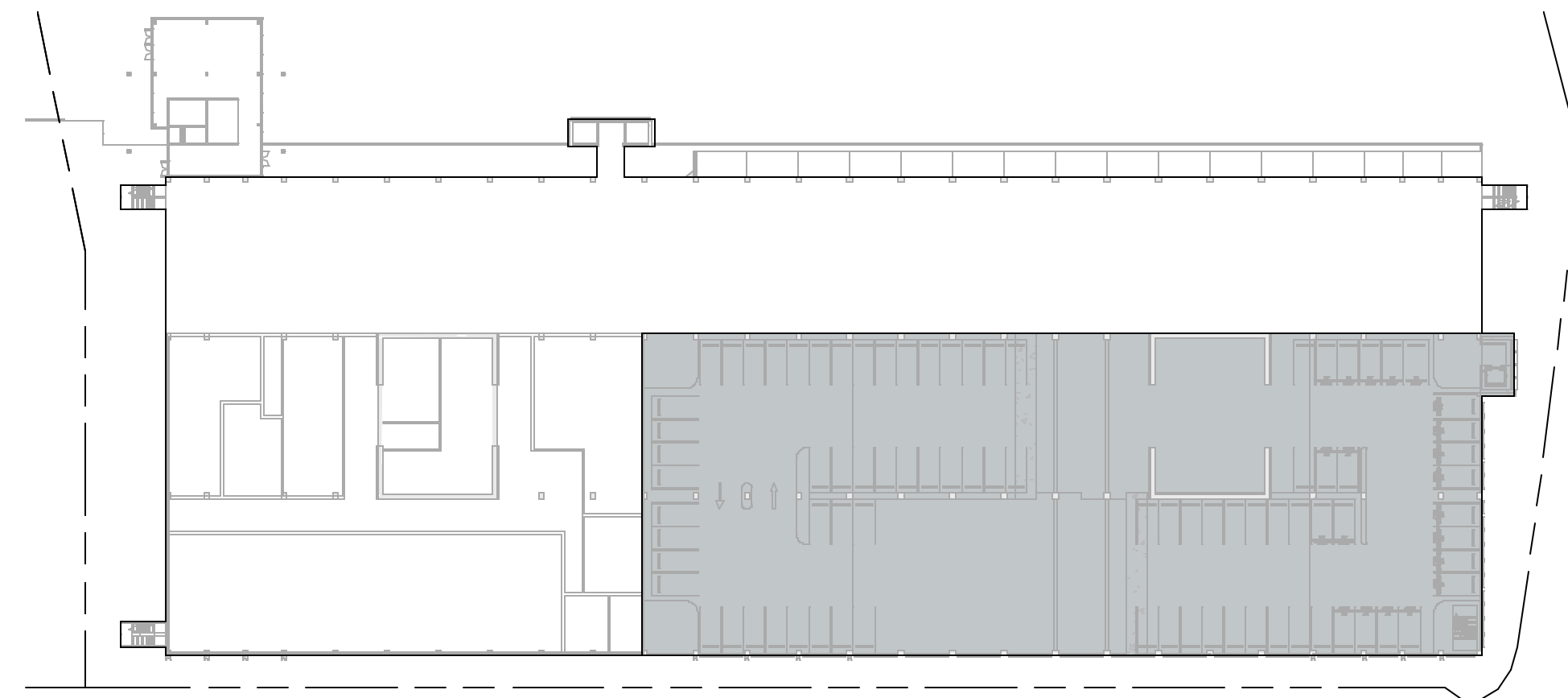
3 NG LEVEL 2
1" = 60'-0"



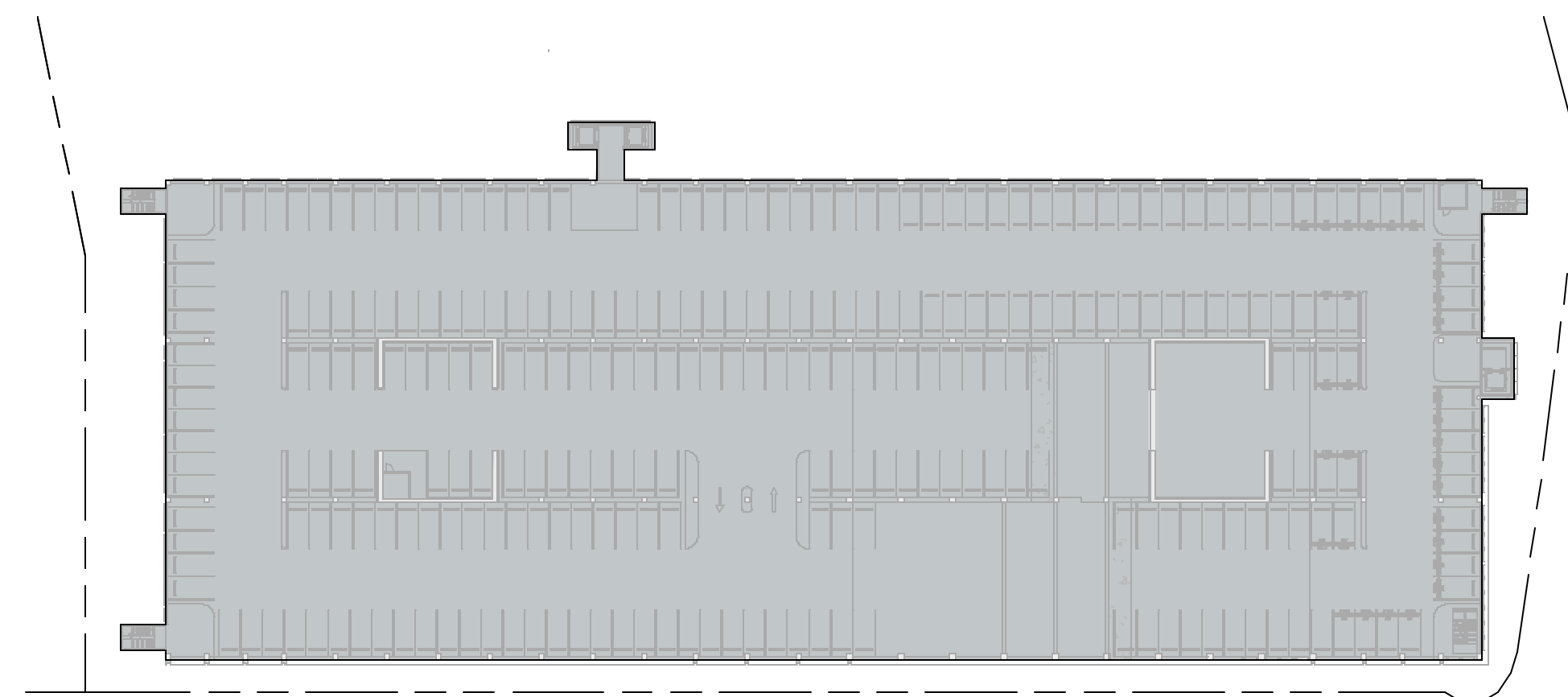
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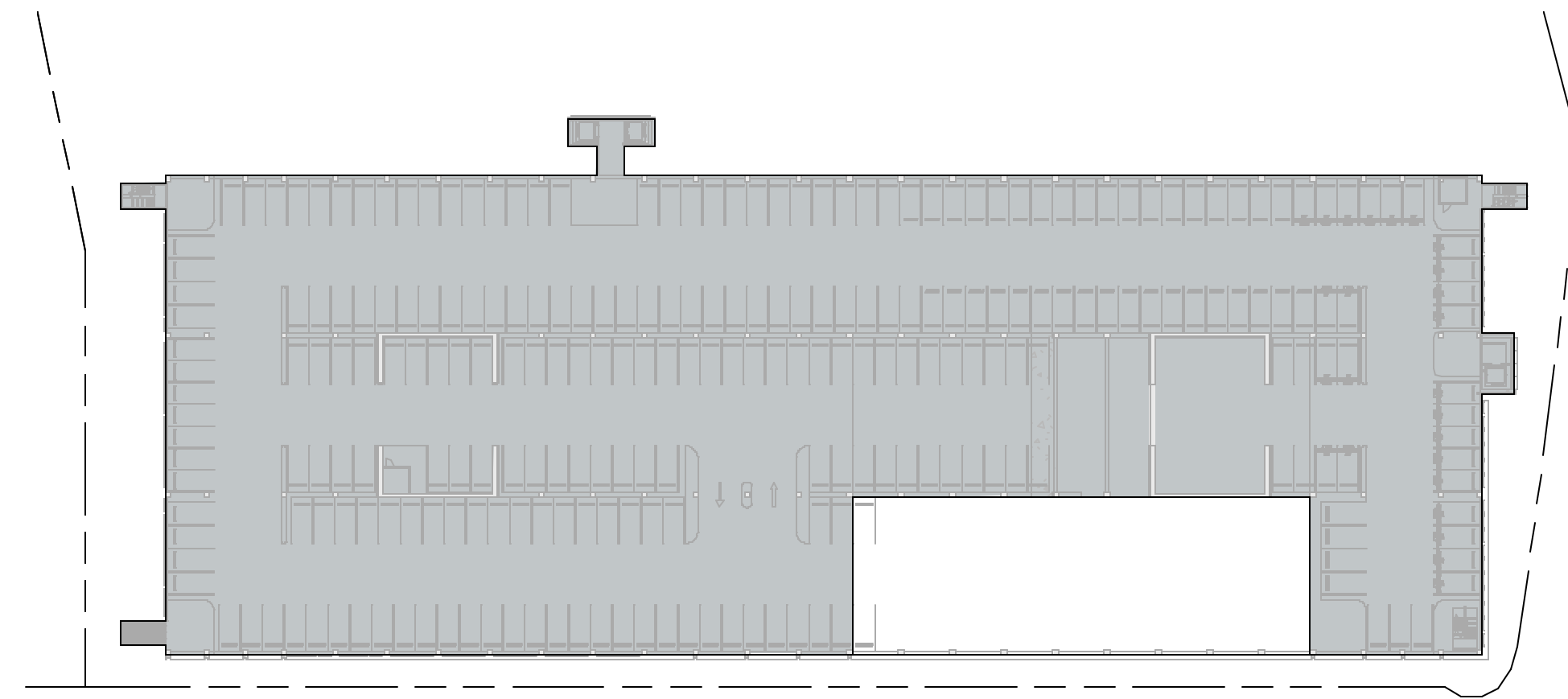
7 NG LEVEL 6
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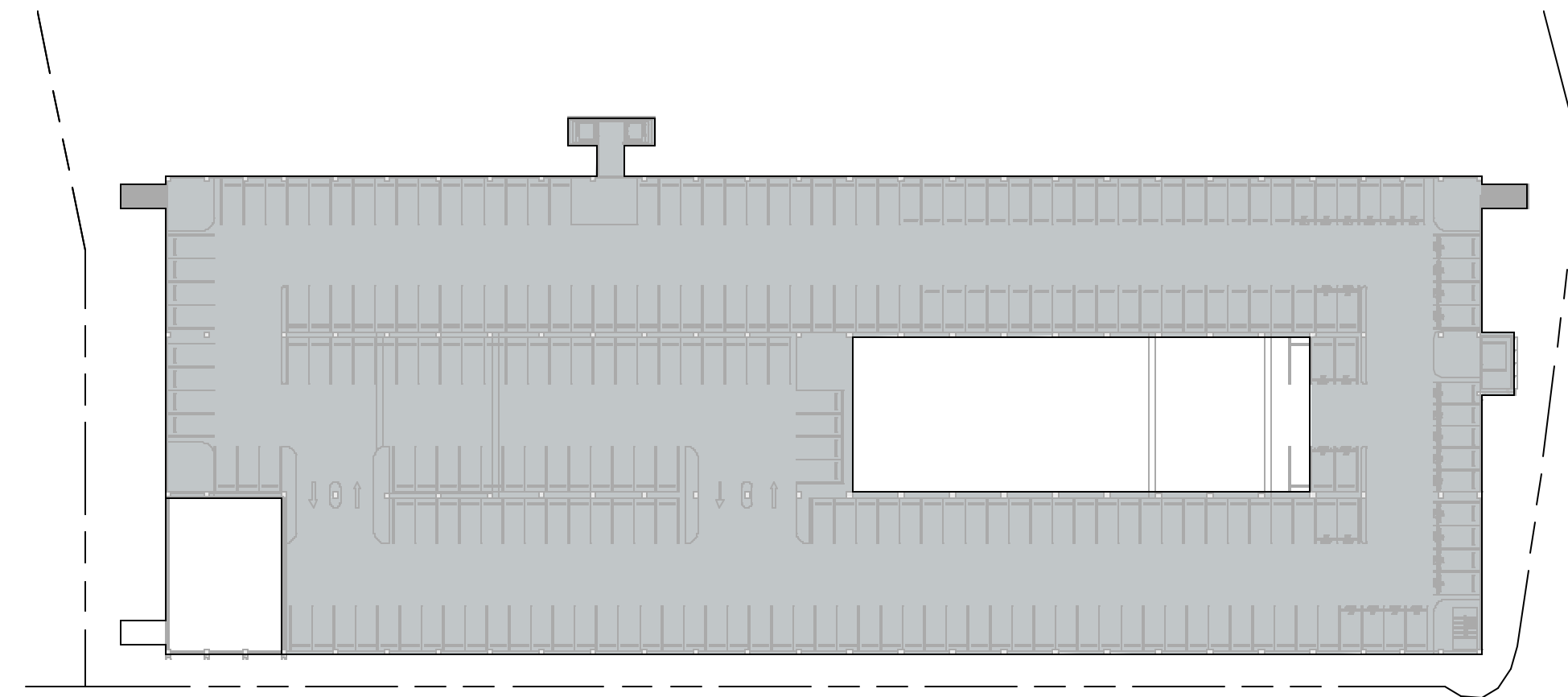
2 NG LEVEL 1 MEZZ.
1" = 60'-0"



4 NG LEVEL 3
1" = 60'-0"



6 NG LEVEL 5
1" = 60'-0"



8 NG LEVEL 7
1" = 60'-0"

CAR PARKING SCHEDULE OFFICE NORTH GARAGE

NORTH GARAGE PARKING SCHEDULE	
Type Mark	Count
EV Future	206
EV HC Ambulatory	6
EV HC Standard	5
EV HC Van	2
EV Standard	201
Expectant Mother	20
HC Standard	25
HC Van	6
Motorcycle	30
Standard	1501
Vanpool	30
TOTAL COMBINED:	2032

NORTH GARAGE EV COUNT	
Type Mark	Count
10% Day 1 EV spaces	214
10% Future EV spaces	206
TOTAL COMBINED:	420

64 Charging Stations Required Day 1

NG LEVEL 1 PARKING SCHEDULE	
Type Mark	Count
EV HC Standard	3
EV HC Van	2
EV Standard	11
HC Standard	3
HC Van	6
Motorcycle	30
Standard	91
TOTAL COMBINED:	146

NG LEVEL 1 MEZZANINE PARKING SCHEDULE	
Type Mark	Count
EV HC Ambulatory	2
EV Standard	19
Standard	109
TOTAL COMBINED:	130

NG LEVEL 2 PARKING SCHEDULE	
Type Mark	Count
EV Future	26
EV HC Ambulatory	4
EV HC Standard	2
EV Standard	22
Expectant Mother	20
HC Standard	22
Standard	176
Vanpool	30
TOTAL COMBINED:	302

NG LEVEL 3 PARKING SCHEDULE	
Type Mark	Count
EV Future	36
EV Standard	31
Standard	246
TOTAL COMBINED:	313

NG LEVEL 4 PARKING SCHEDULE	
Type Mark	Count
EV Future	36
EV Standard	31
Standard	246
TOTAL COMBINED:	313

NG LEVEL 5 PARKING SCHEDULE	
Type Mark	Count
EV Future	36
EV Standard	25
Standard	210
TOTAL COMBINED:	271

NG LEVEL 6 PARKING SCHEDULE	
Type Mark	Count
EV Future	36
EV Standard	31
Standard	231
TOTAL COMBINED:	298

NG LEVEL 7 PARKING SCHEDULE	
Type Mark	Count
EV Future	36
EV Standard	31
Standard	192
TOTAL COMBINED:	259

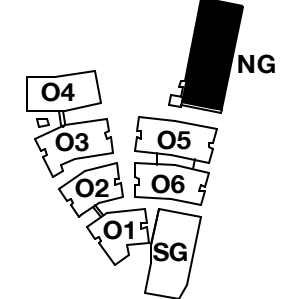
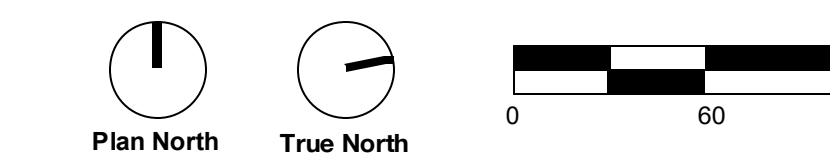
BIKE PARKING SCHEDULE - COMMERCIAL

Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	COMMERCIAL	SHORT TERM	44
LEVEL 1	COMMERCIAL	LONG TERM	2

BIKE PARKING SCHEDULE - OFFICE

Level	Bike Parking Type	Parking Duration	Count
LEVEL 1	OFFICE	SHORT TERM	772
LEVEL 1	OFFICE	LONG TERM	680

PARKING BY LAND USE LEGEND	
SWATCH	USE
[Light Blue]	Office Car Parking
[Orange]	Commercial Car Parking
[Dark Blue]	Commercial Bicycle Parking
[Medium Blue]	Short Term Bicycle Parking
[Light Blue]	Long Term Bicycle Parking



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 (Portion) & 8
Menlo Park, CA

SCALE: As indicated
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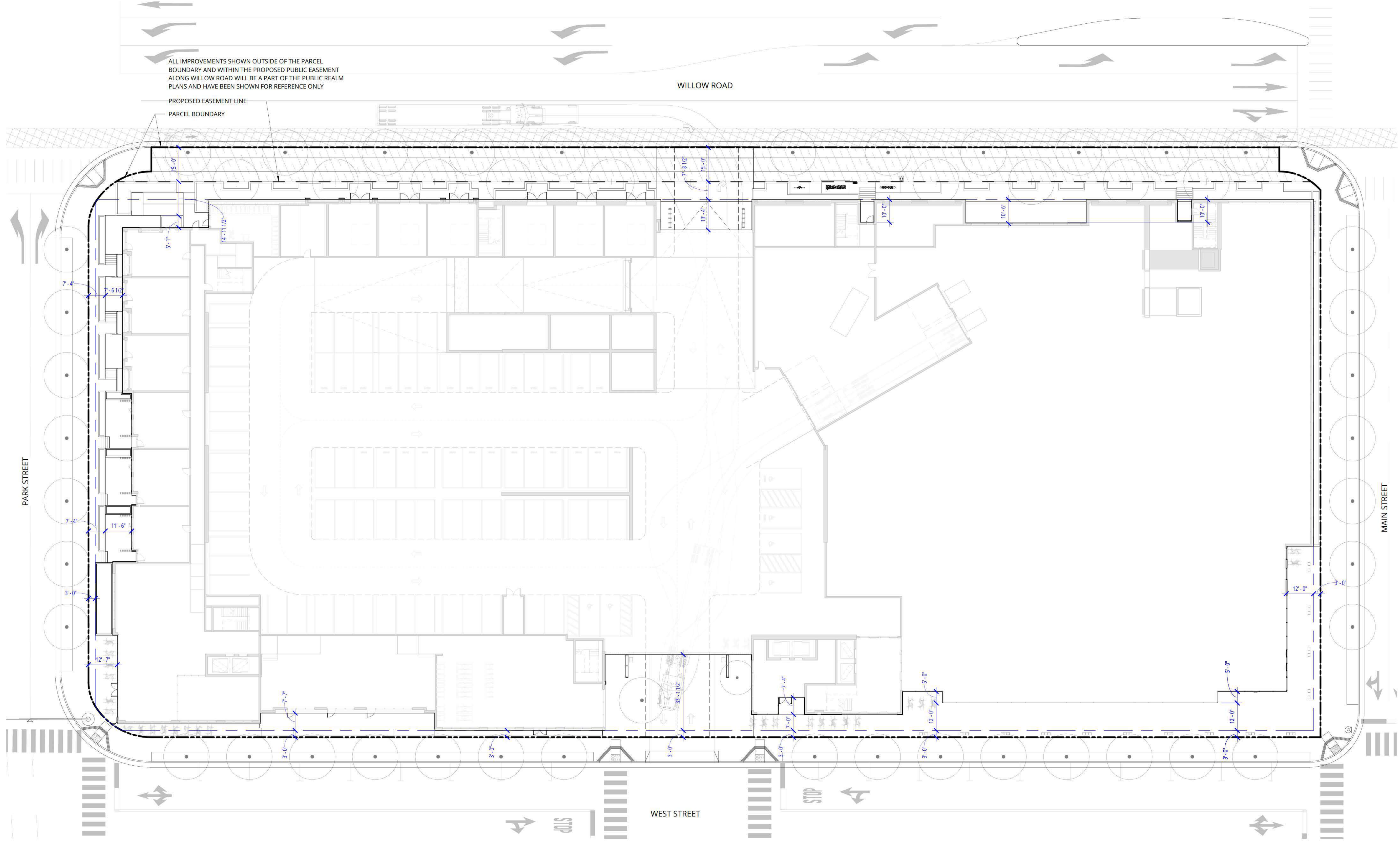
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Parking Count Diagram - North Garage

DRAWING NO:

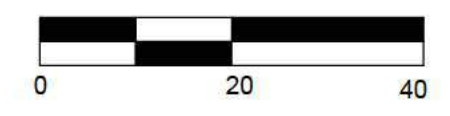
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APPENDIX 5

PARCEL 1-8 ILLUSTRATIVE SITE PLAN



1 SITE PLAN
1" = 20'-0"



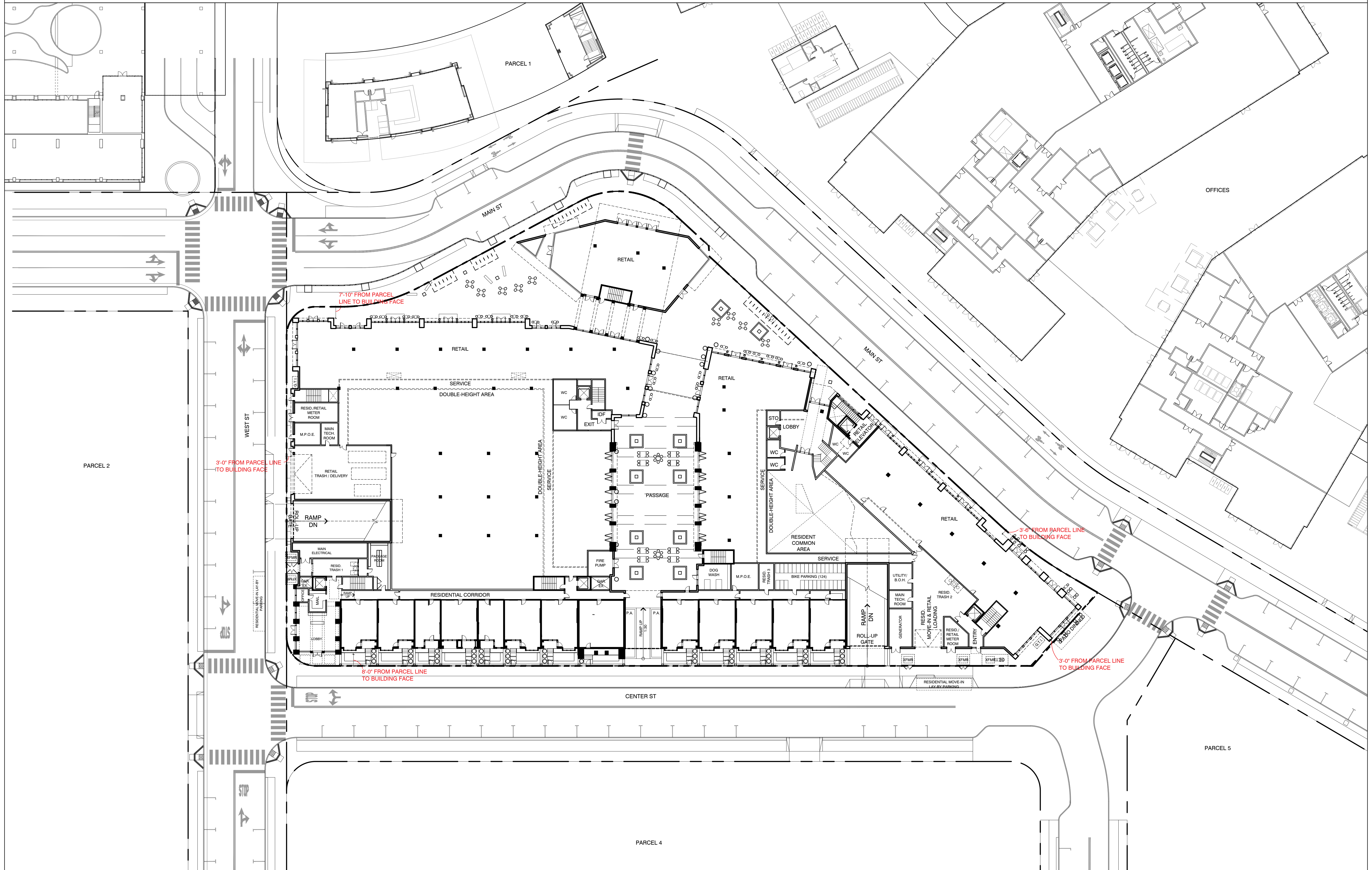
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GENERAL NOTES

A. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION INCLUDING SITE WALLS, GRADING, PLANTING, ETC.



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 3
 Menlo Park, CA

SCALE:
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DRAWING TITLE:
SITE PLAN

DRAWING NO:
A1.01

PARCEL 4

PARCEL 5

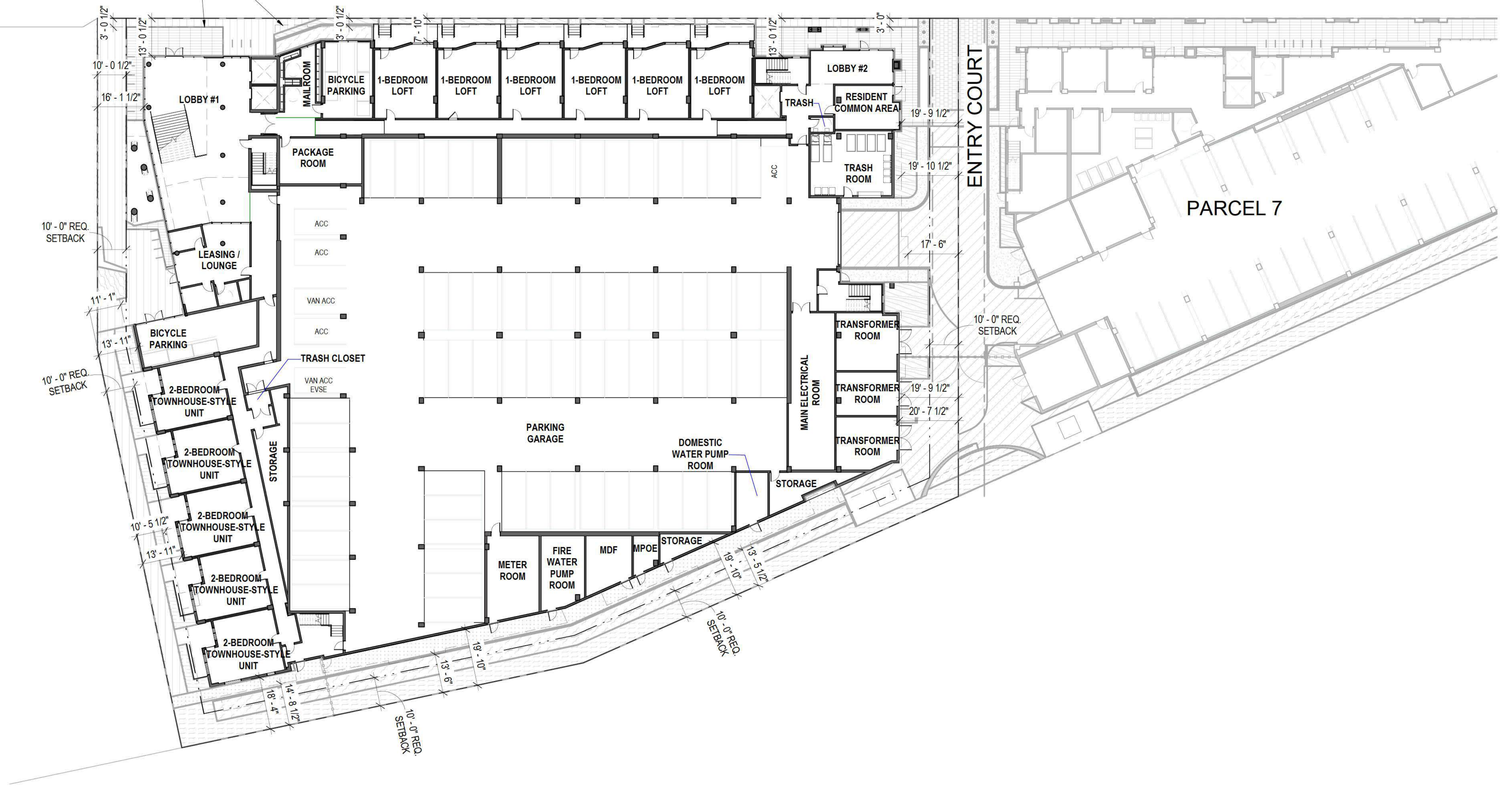
PARK STREET

CENTER STREET

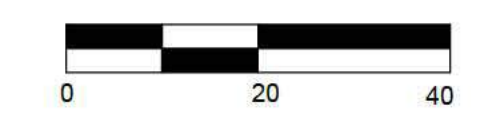
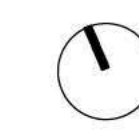
PARCEL 7

PARK

BUILDING PROJECTION ABOVE (DASHED LINE), TYP.



SITE PLAN 1
1" = 20'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 6
Menlo Park, CA

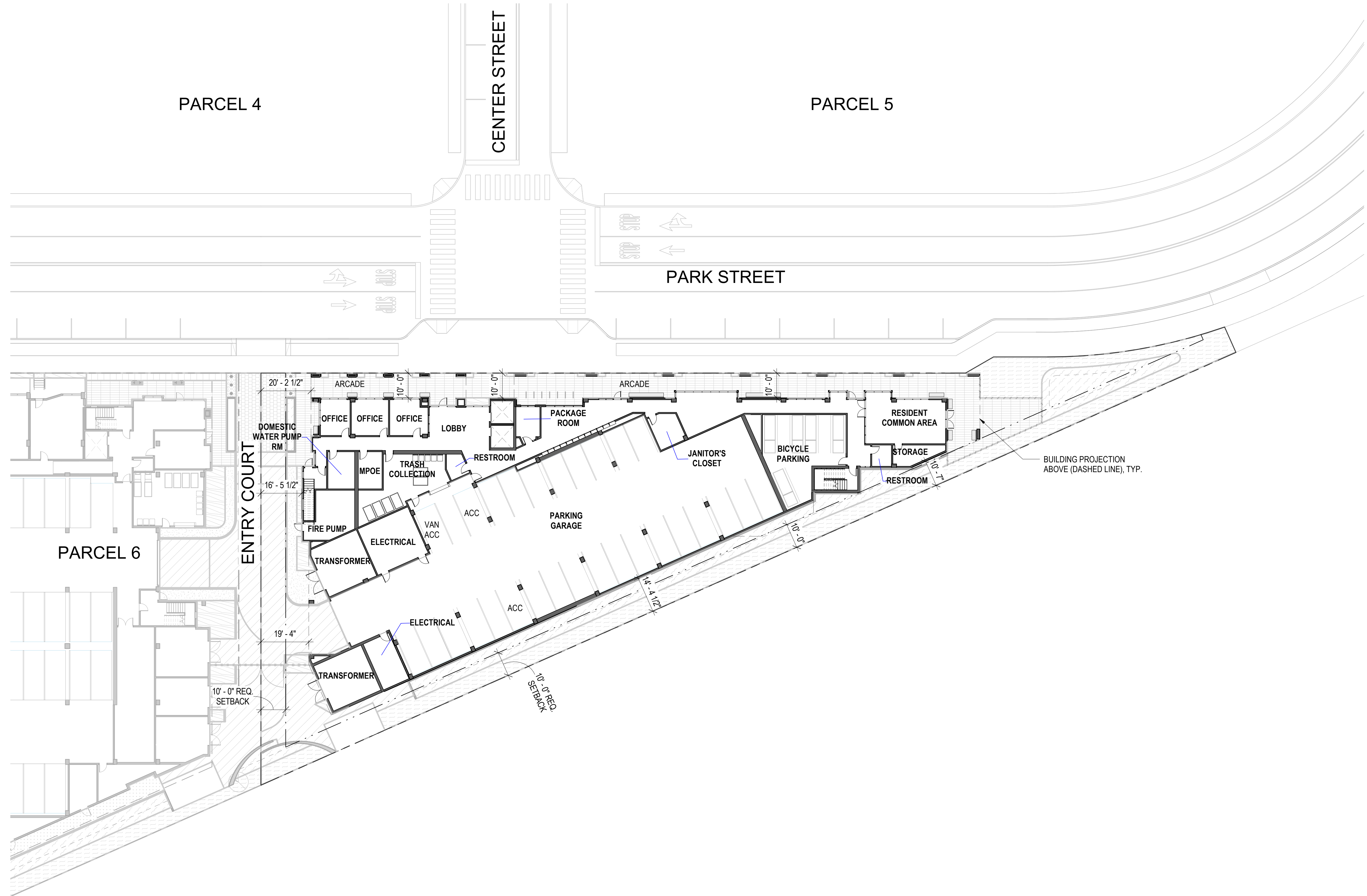
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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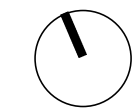
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DRAWING TITLE:
SITE PLAN

DRAWING NO:
A1.01



SITE PLAN 1
1" = 20'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 7
Menlo Park, CA

SCALE: 1" = 20'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

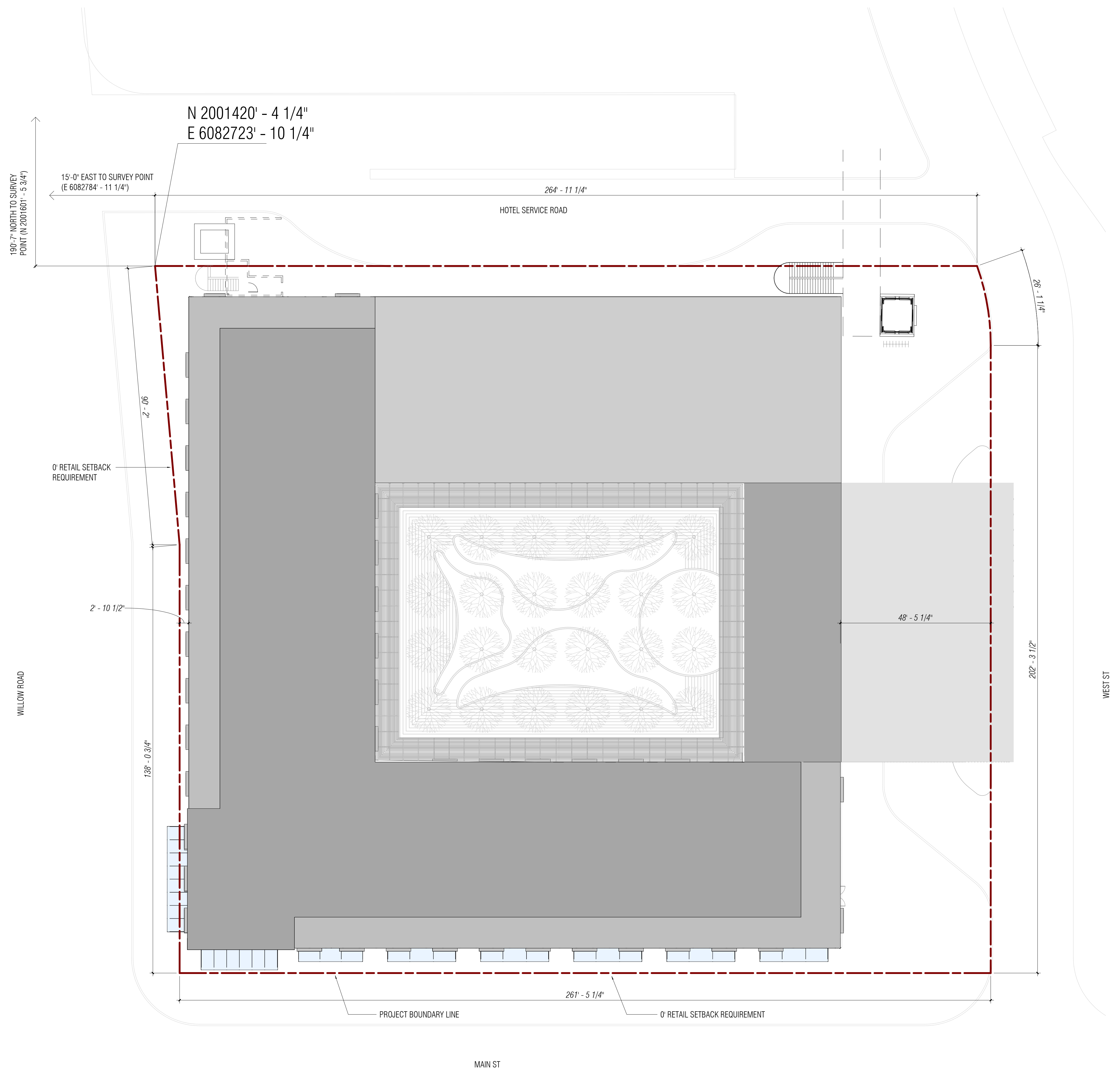
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DATE	ISSUE
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DRAWING TITLE:
SITE PLAN

DRAWING NO:
A1.01

1 SITE PLAN
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SURE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

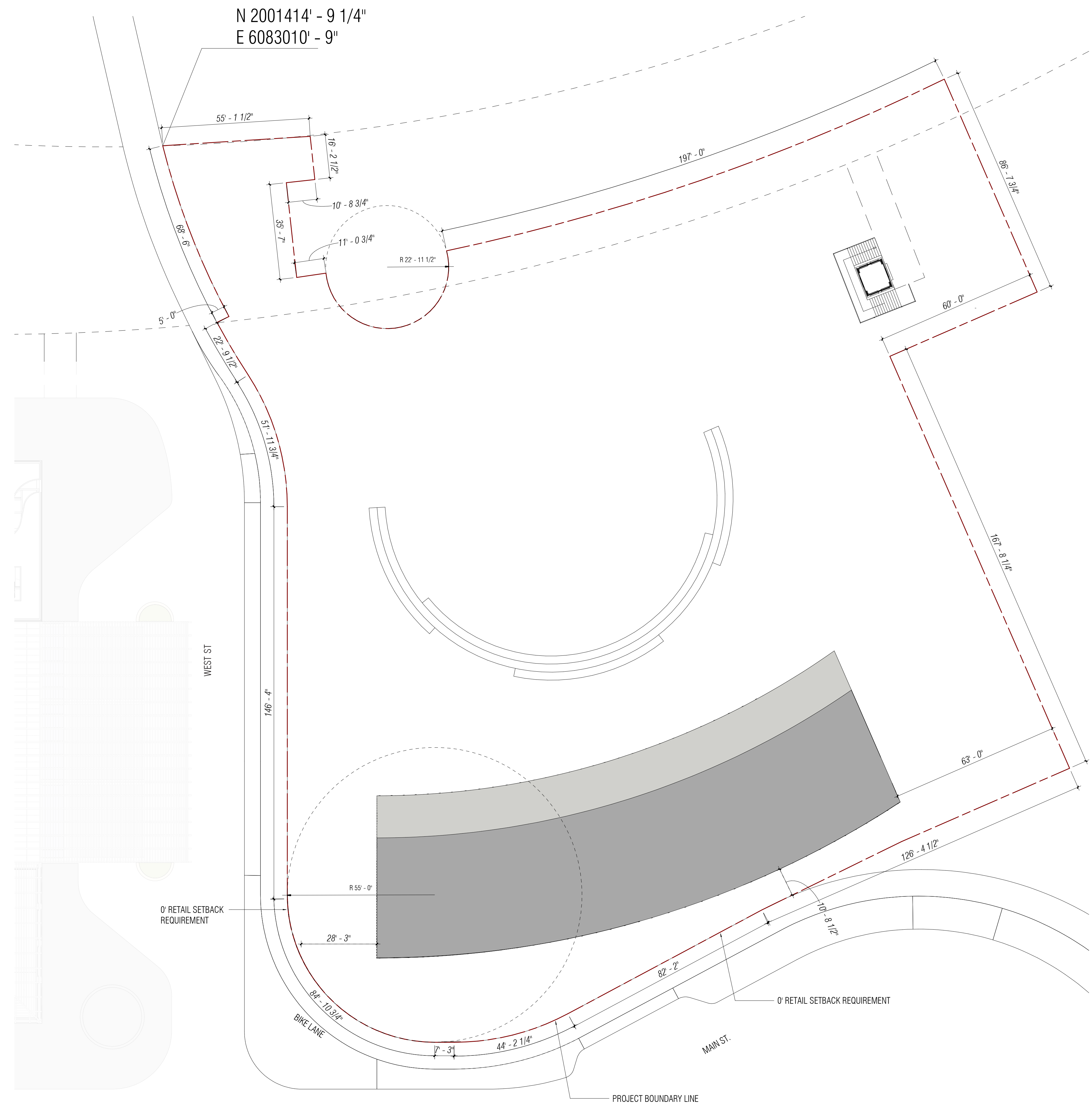
MILESTONES	
DATE	ISSUE
09/07/2021	ACP

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NO.	DATE	ISSUE

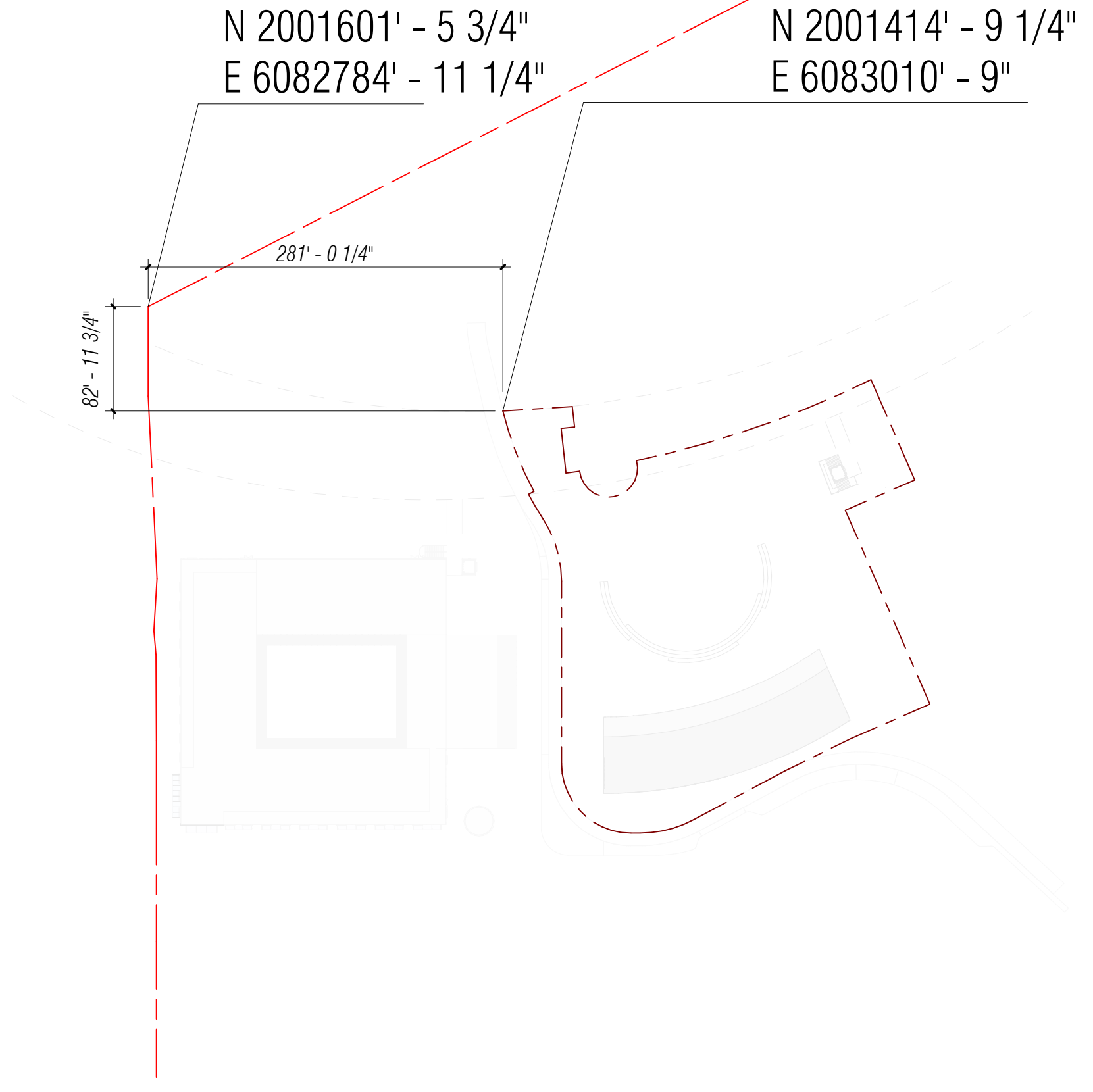
DRAWING TITLE:
Willow Village Hotel
Site Plan

DRAWING NO:
A1.01

8/12/2021 11:11:39 AM



1 SITE PLAN
1" = 20'-0"



2 SITE LOCATION PLAN
1" = 100'-0"

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Town Square
Menlo Park, CA

PENINSULA INNOVATION PARTNERS

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

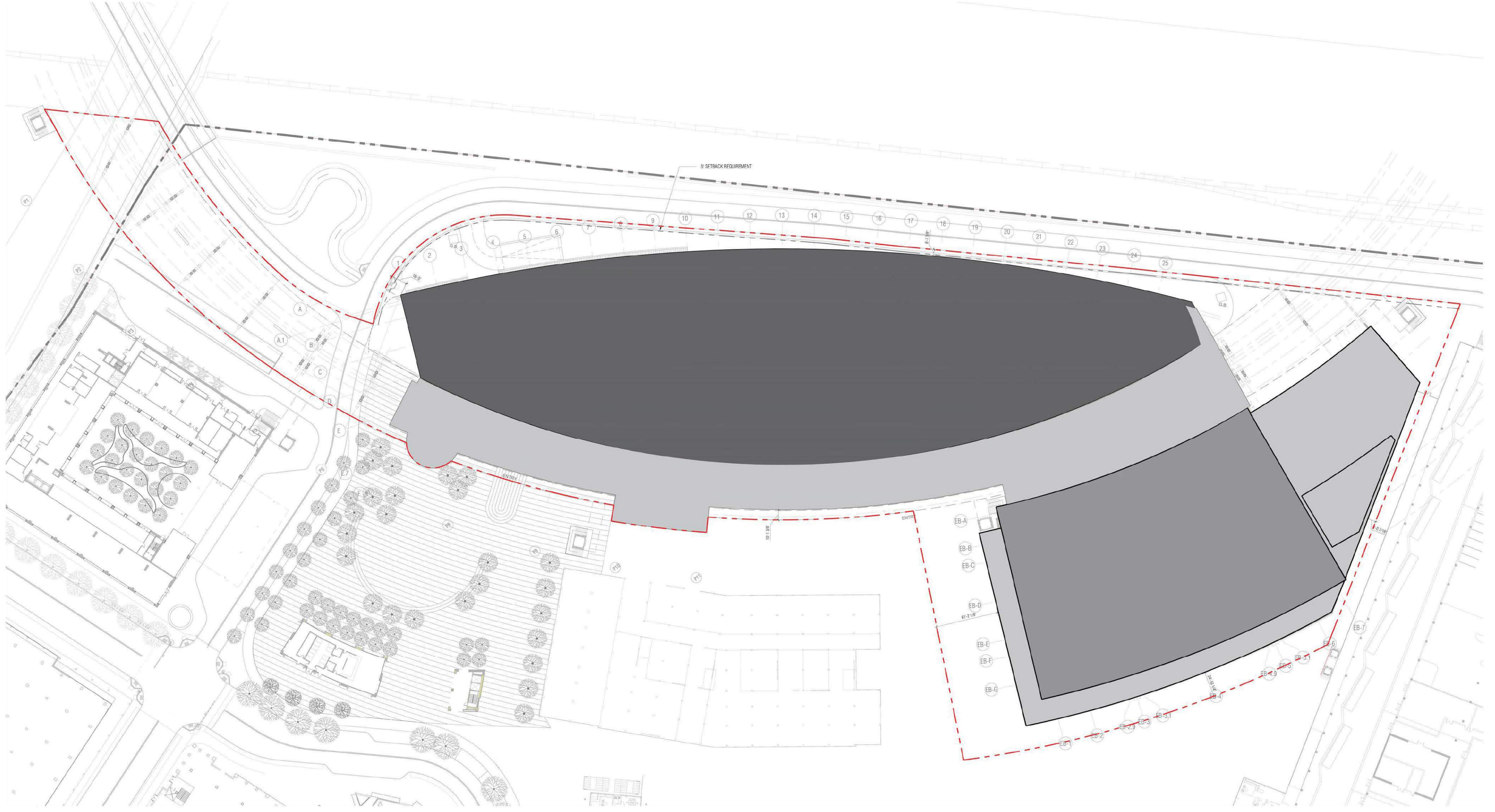
DATE	ISSUE
09/07/2021	ACP

REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:
WILLOW VILLAGE TOWN SQUARE
Site Plan

DRAWING NO:
A1.01



1 SITE PLAN



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1
 Menlo Park, CA

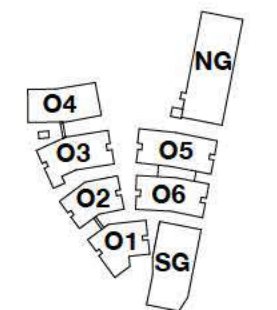
SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
09/07/2021	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
SITE PLAN

DRAWING NO:
A1.01



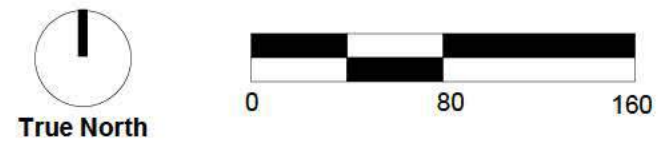
SCALE: 1" = 80'-0"
 NOTE: THIS DRAWING IS 2D. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY. OR SEE CLARIFICATIONS FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT RECORDED.

MILESTONES

DATE	ISSUE
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NO.	DATE	ISSUE



APPENDIX 6

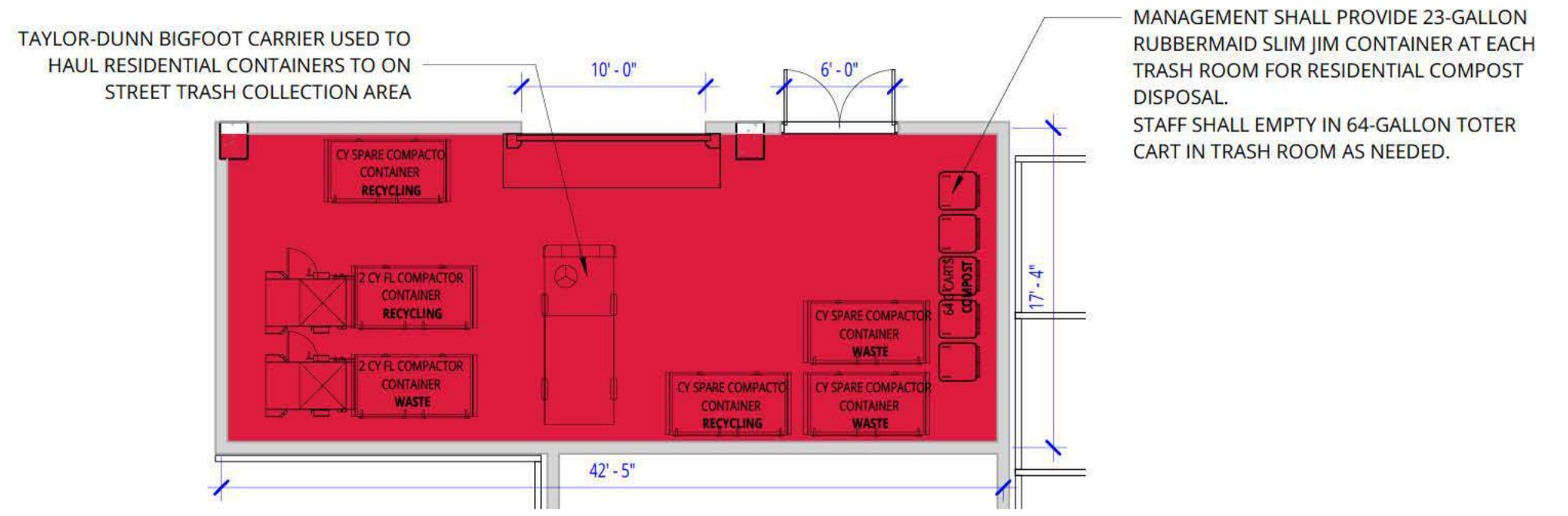
PARCEL 1-8

ILLUSTRATIVE REFUSE, RECYCLING, AND ZERO WASTE DIAGRAM

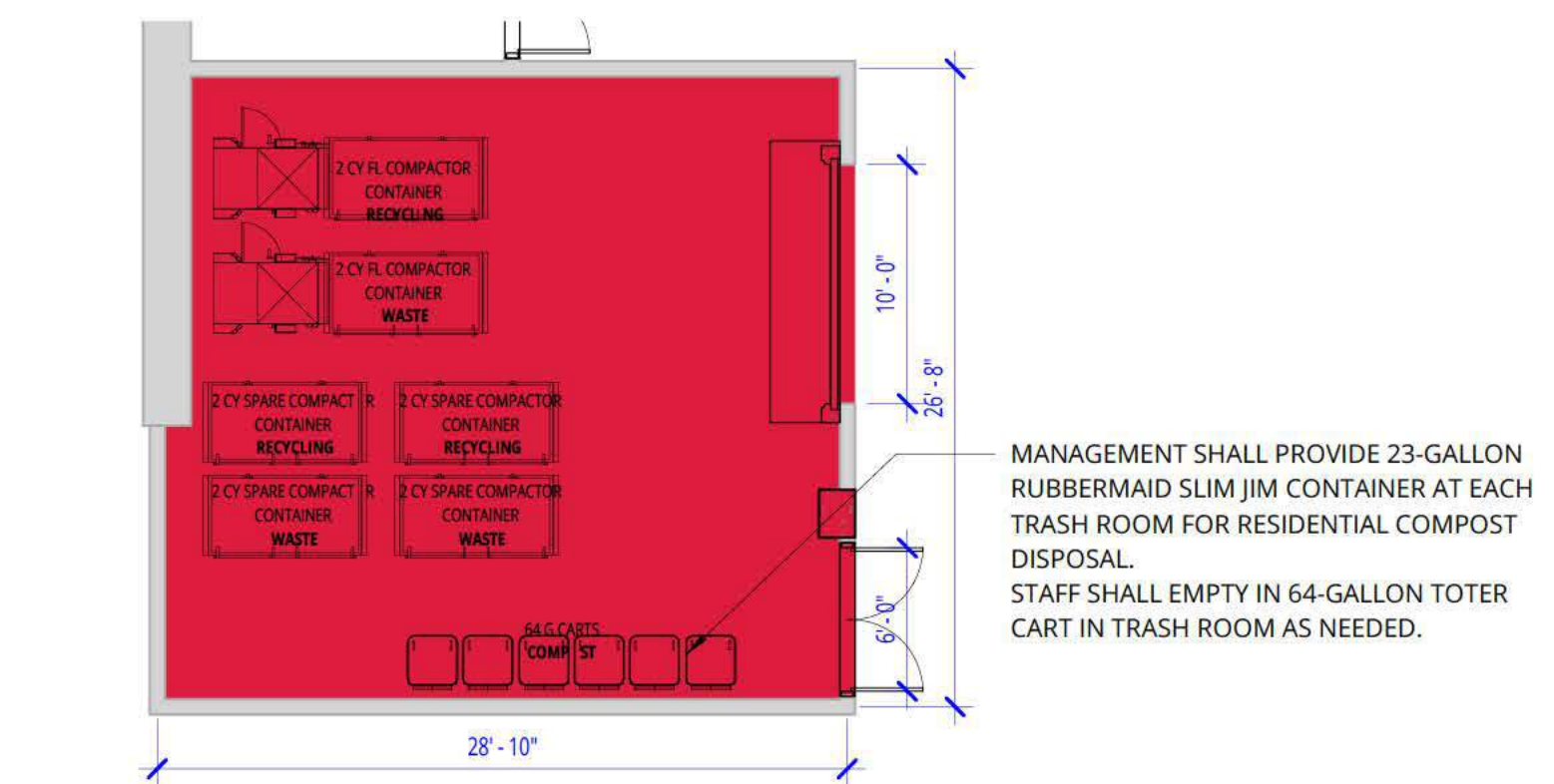
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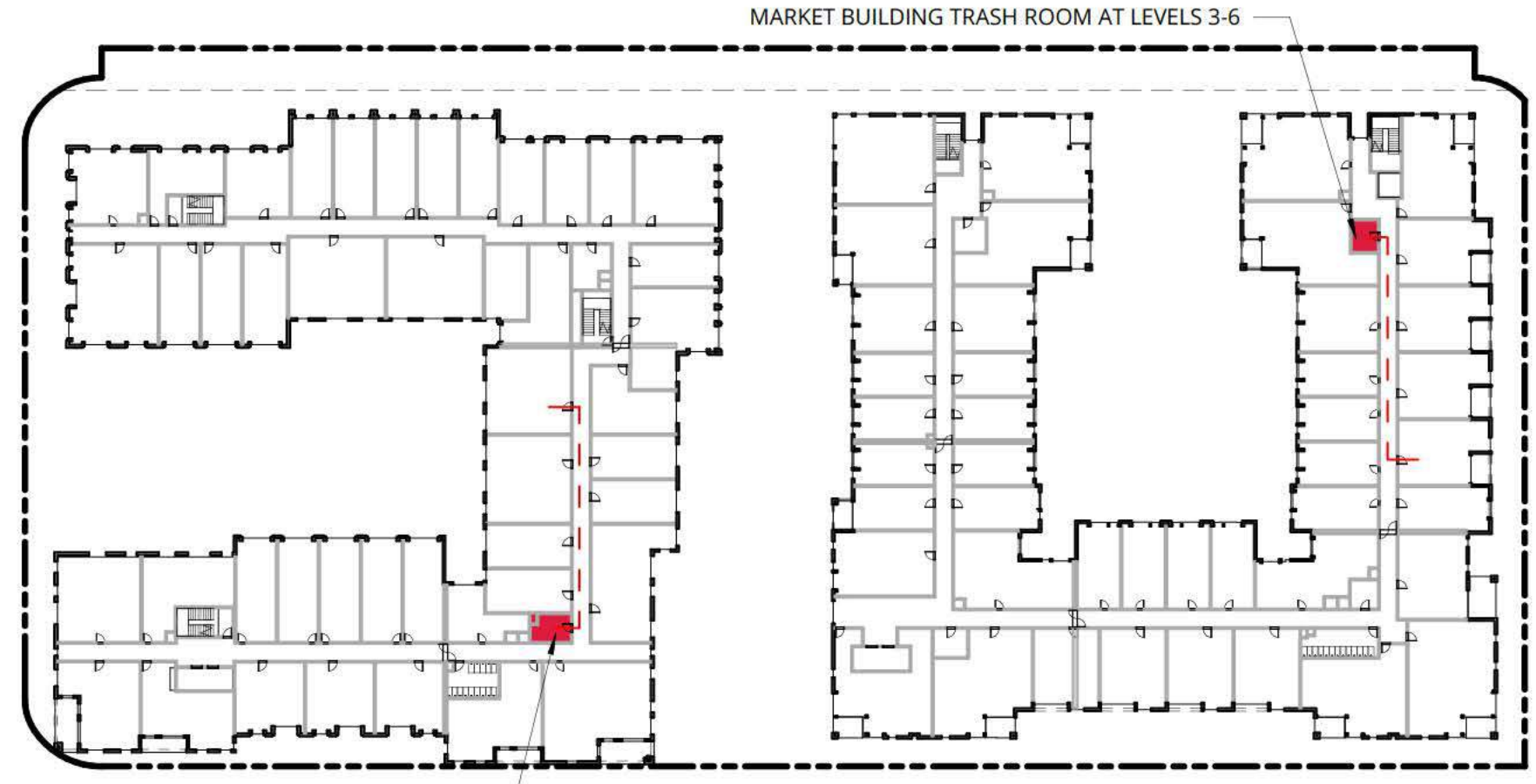
6 GROCERY TRASH ROOM
3/32" = 1'-0"



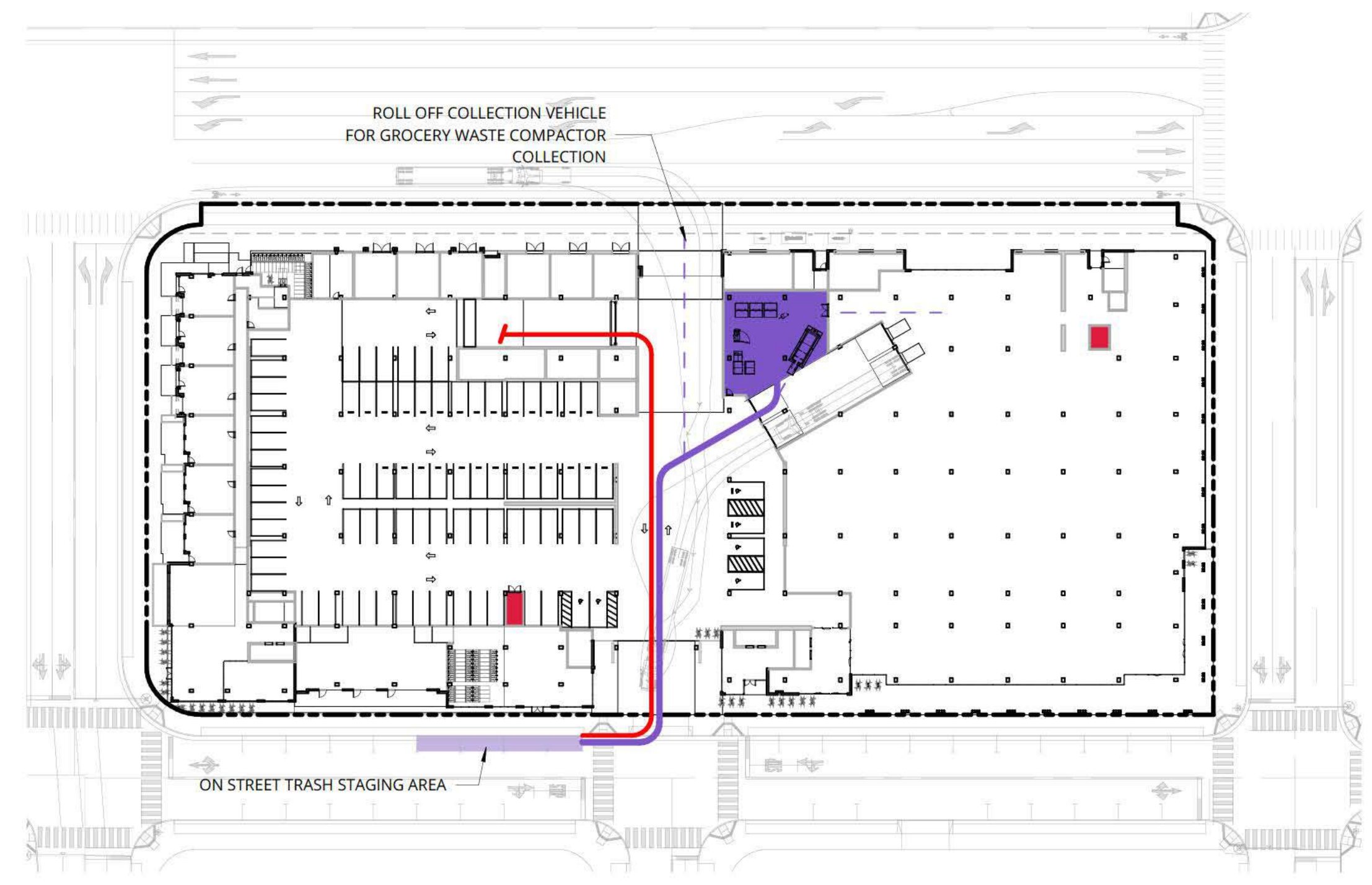
5 PARK BLDG TRASH ROOM
1/8" = 1'-0"



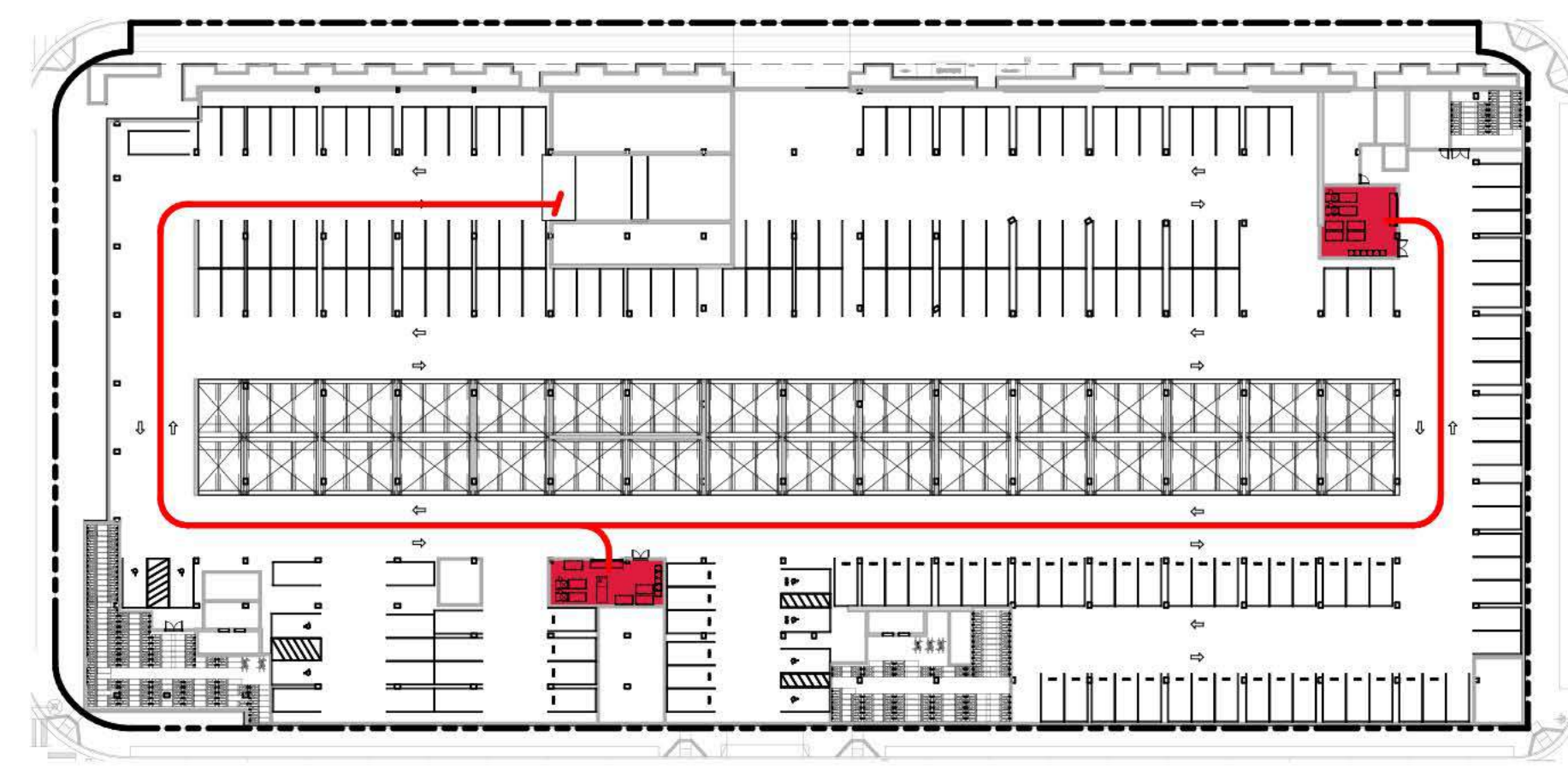
4 MARKET BLDG TRASH ROOM
1/8" = 1'-0"



3 TRASH PLAN OVERALL LEVEL 4
1" = 60'-0"



2 TRASH PLAN OVERALL LEVEL 1
1" = 60'-0"



1 TRASH PLAN OVERALL LEVEL P1
1" = 60'-0"

LEGEND

- RESIDENTIAL TRASH ROOM / CHUTE
- GROCERY TRASH ROOM
- TRASH COLLECTION AREA
- RESIDENTIAL TRASH CADDY ROUTE
- GROCERY TRASH CADDY ROUTE
- - - RESIDENTIAL TRASH CIRCULATION
- - - GROCERY TRASH CIRCULATION

PRELIMINARY PLAN

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 2
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. USE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

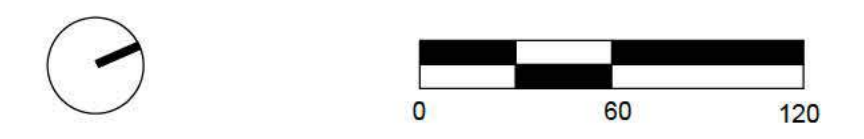
DATE	ISSUE
09/07/2021	ACP

REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:
**REFUSE, RECYCLING,
AND ZERO WASTE
DIAGRAM**

DRAWING NO:
***A9.20**

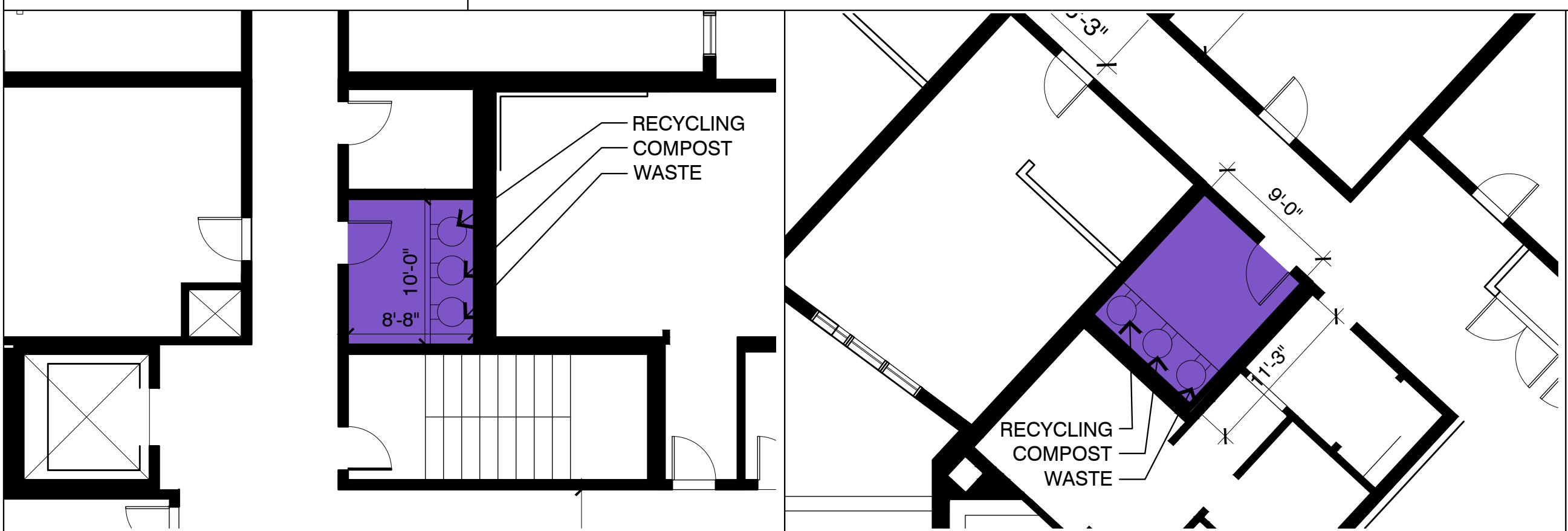


LEGEND

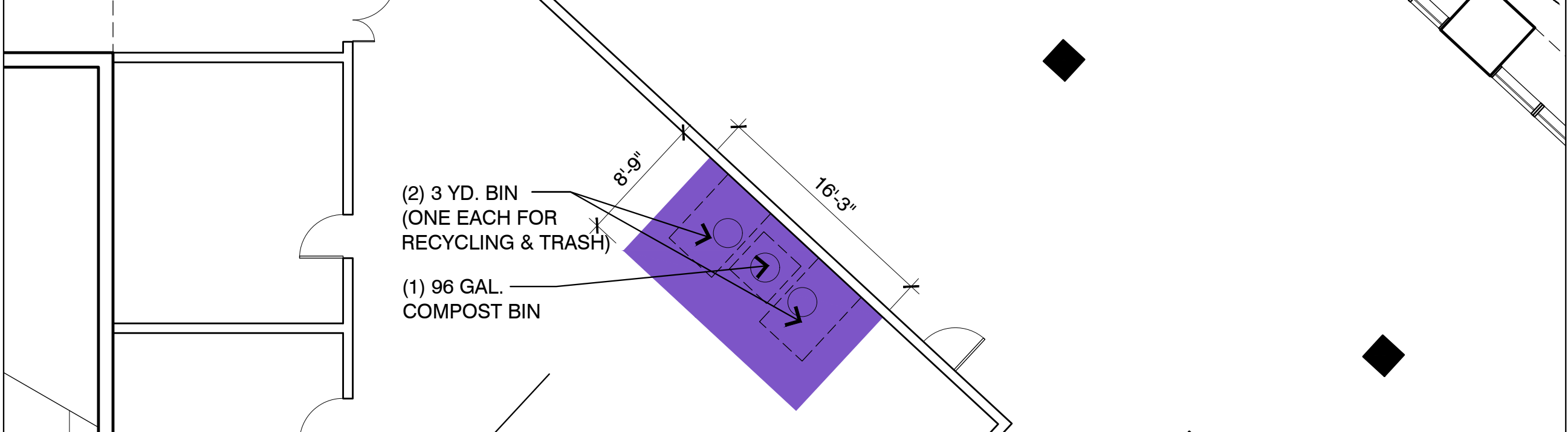
- TRASH CIRCULATION ROUTE
- TRASH ROOMS
- TRASH COLLECTIONS AREAS

GENERAL NOTES

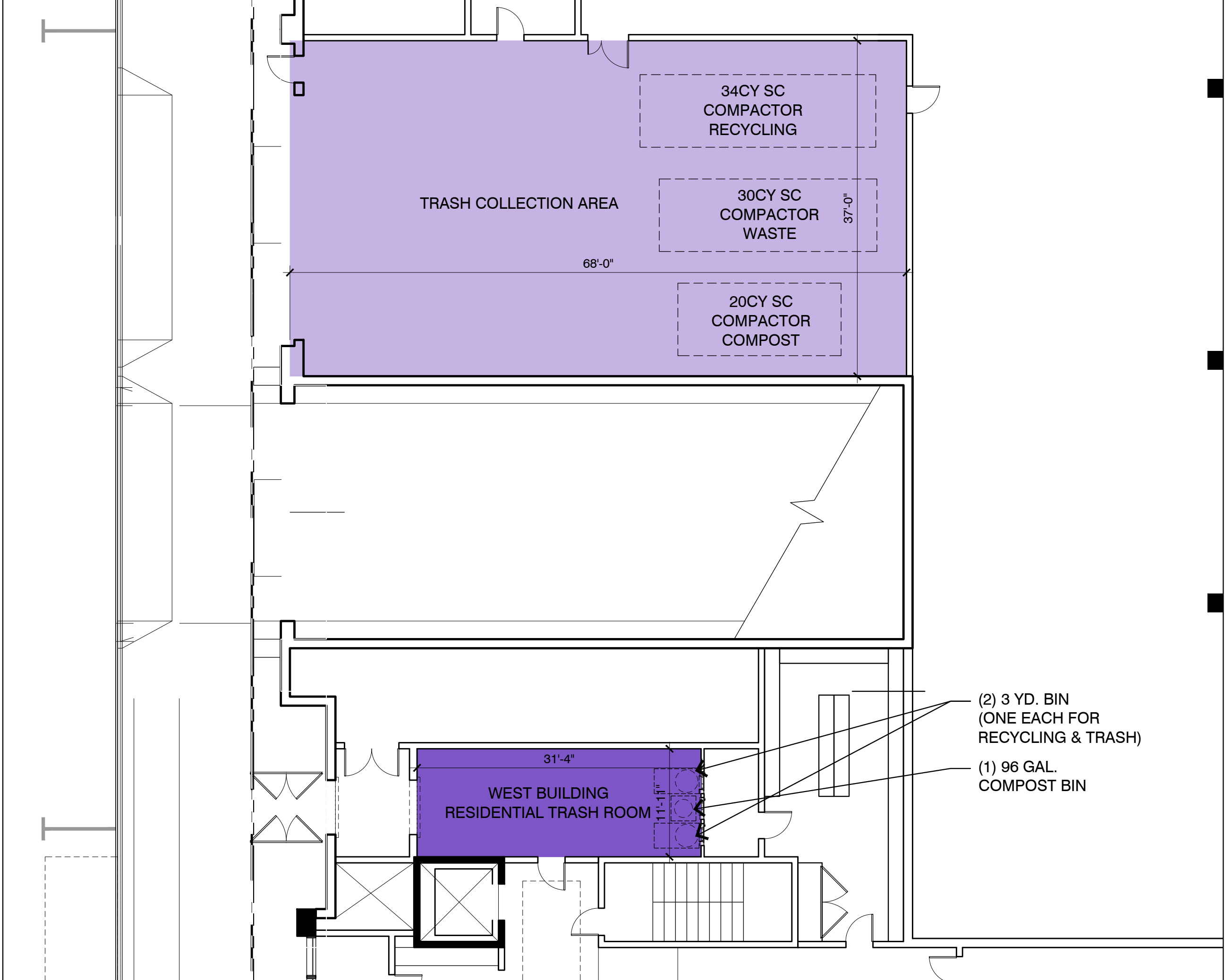
A. ALL PLANS ARE PRELIMINARY.
 B. ALL UNITS PROVIDED WITH 3 STREAM COLLECTION FACILITIES.
 C. TRASH CHUTES FOR 3 STREAM DEPOSITS FROM EACH UNIT PROVIDED ON EACH FLOOR.



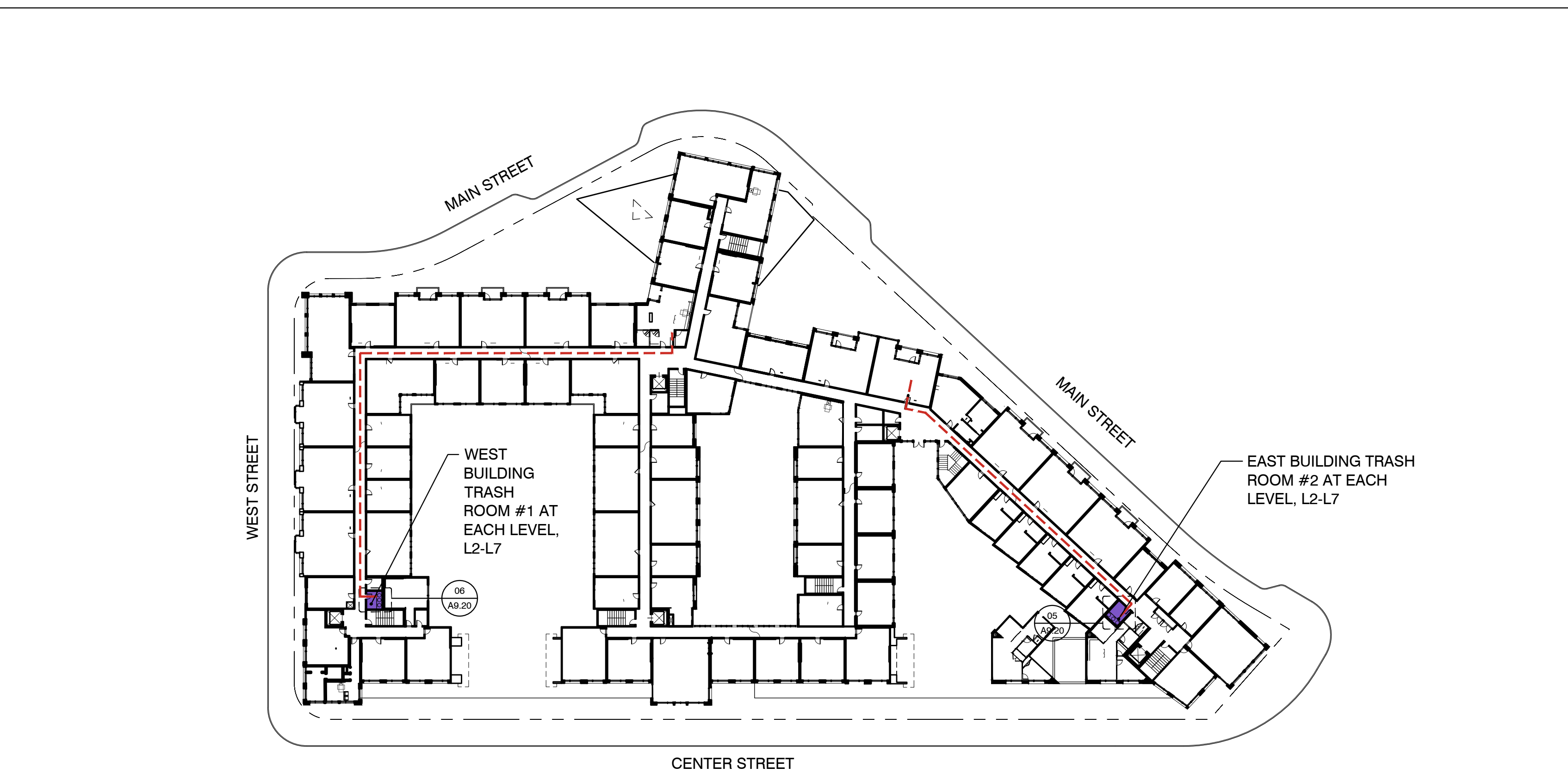
06 - WEST BUILDING TRASH ROOM AT L2-L7 1/8"=1' 05 - EAST BUILDING TRASH ROOM AT L2-L7 1/8"=1'



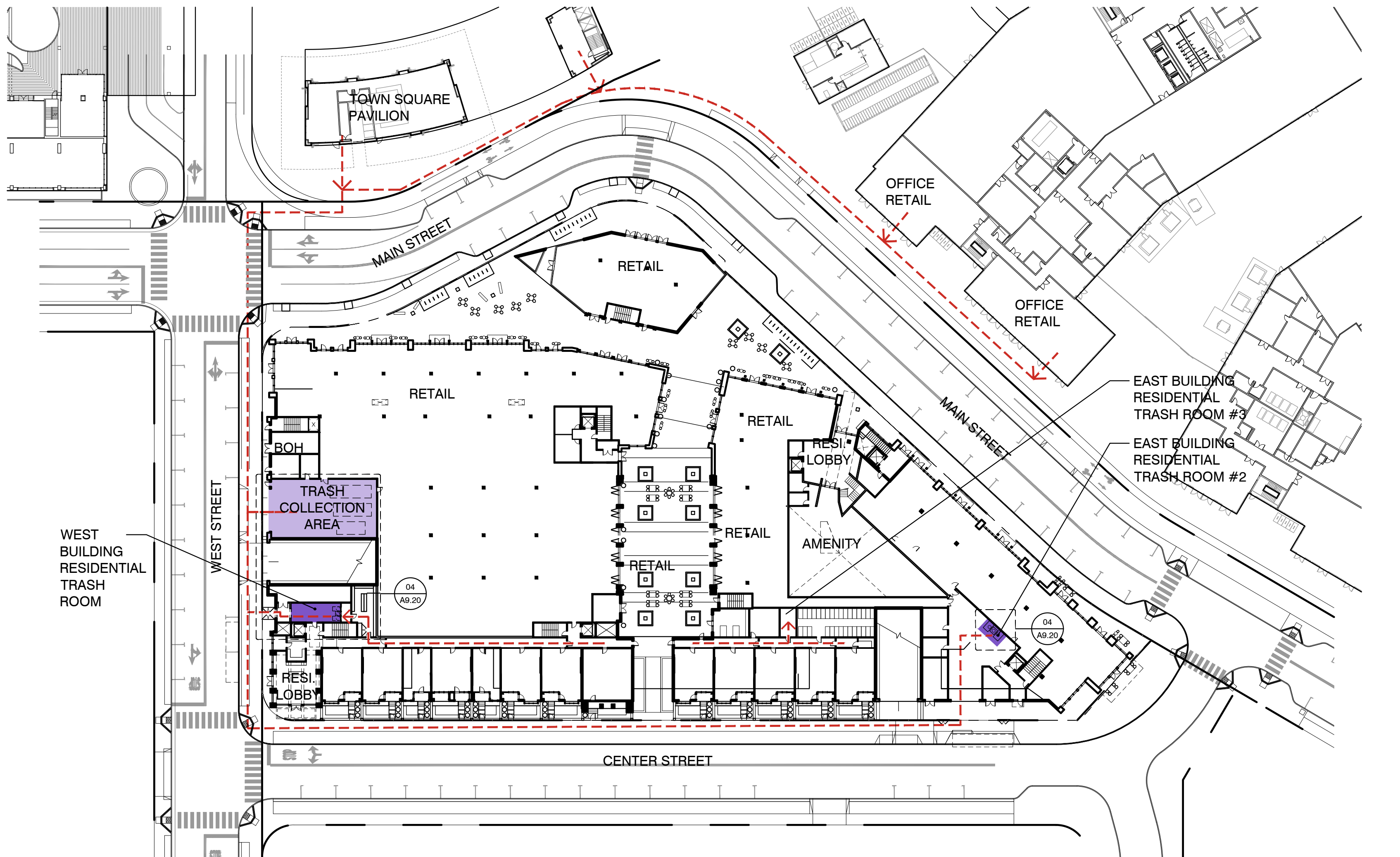
04 - LEVEL 01 EAST BUILDING RESIDENTIAL TRASH ROOM 1/8"=1'-0"



03 - LEVEL 01 WEST BUILDING TRASH COLLECTION AREA 1/8"=1'-0"



02 - FLOOR PLAN - LEVEL 04 1" = 40'-0"



01 - FLOOR PLAN - LEVEL 01 1" = 40'-0"

WILLOW VILLAGE
 Architectural Control Package - Parcel 3
 Peninsula Innovation Partners
 Menlo Park, CA

SCALE:
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
9/7/2021	ACP

REVISIONS

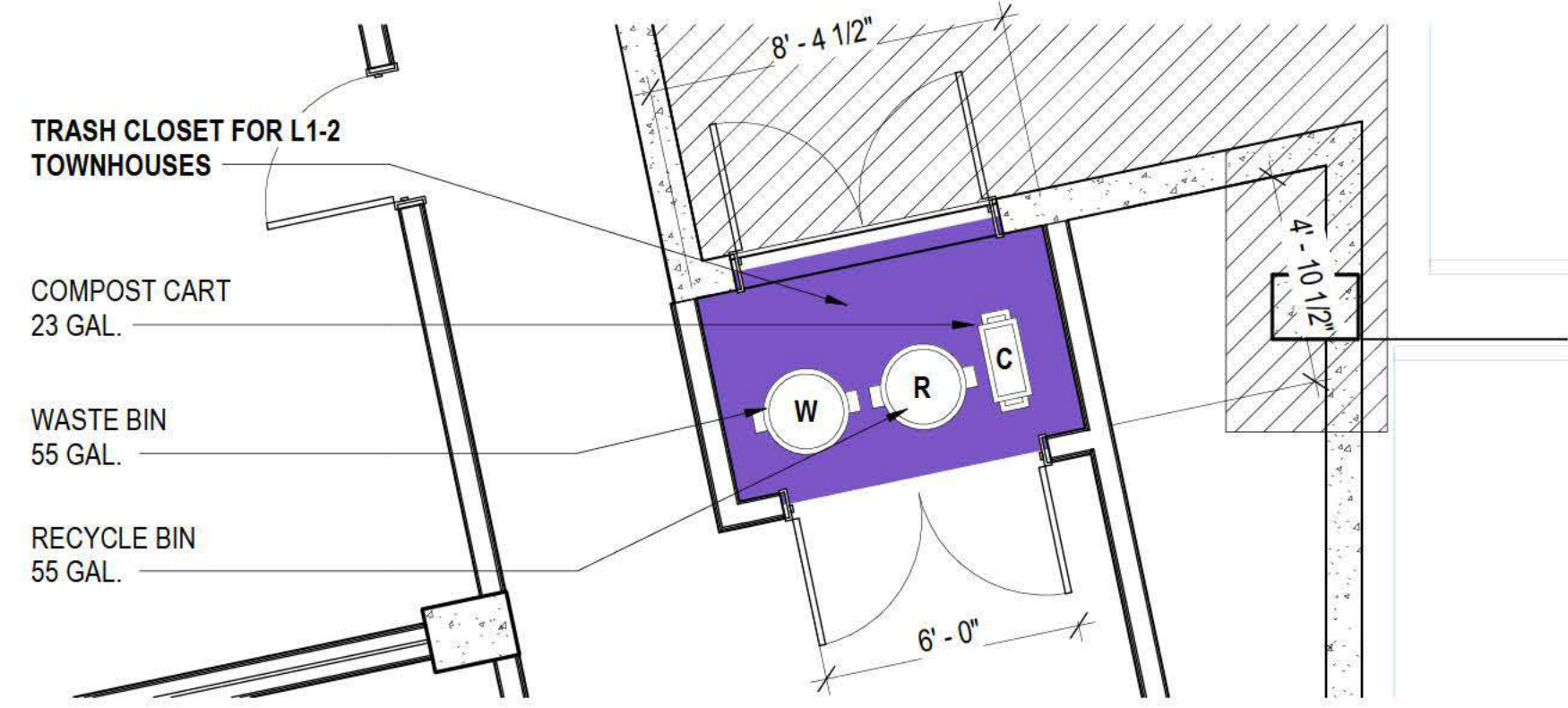
NO.	DATE	ISSUE
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DRAWING TITLE:
**REFUSE, RECYCLING,
 AND ZERO WASTE DIAGRAM**

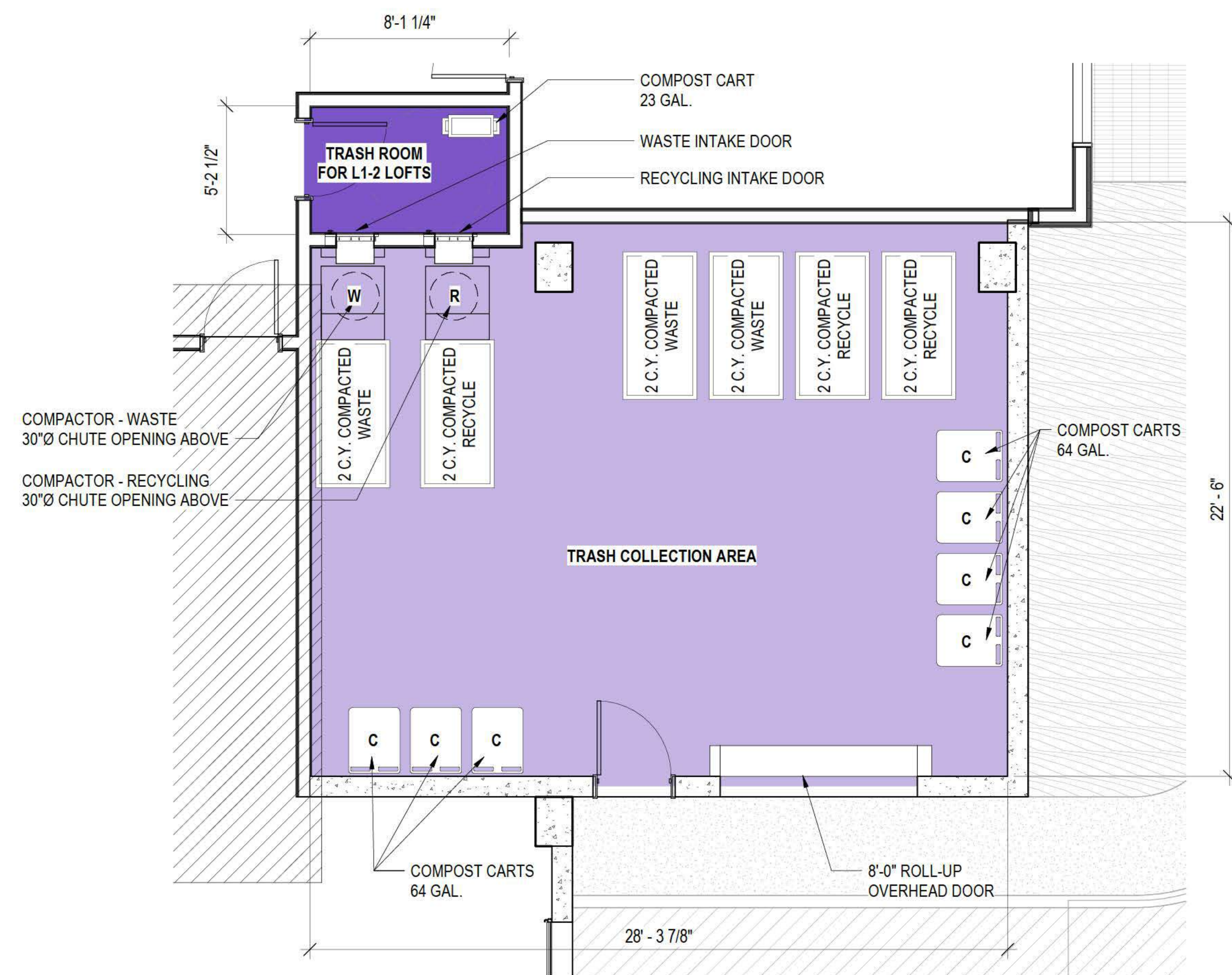
DRAWING NO:
A9.20



LEVEL 3-7, TYP. - TRASH ROOM
1/4" = 1'-0" 5



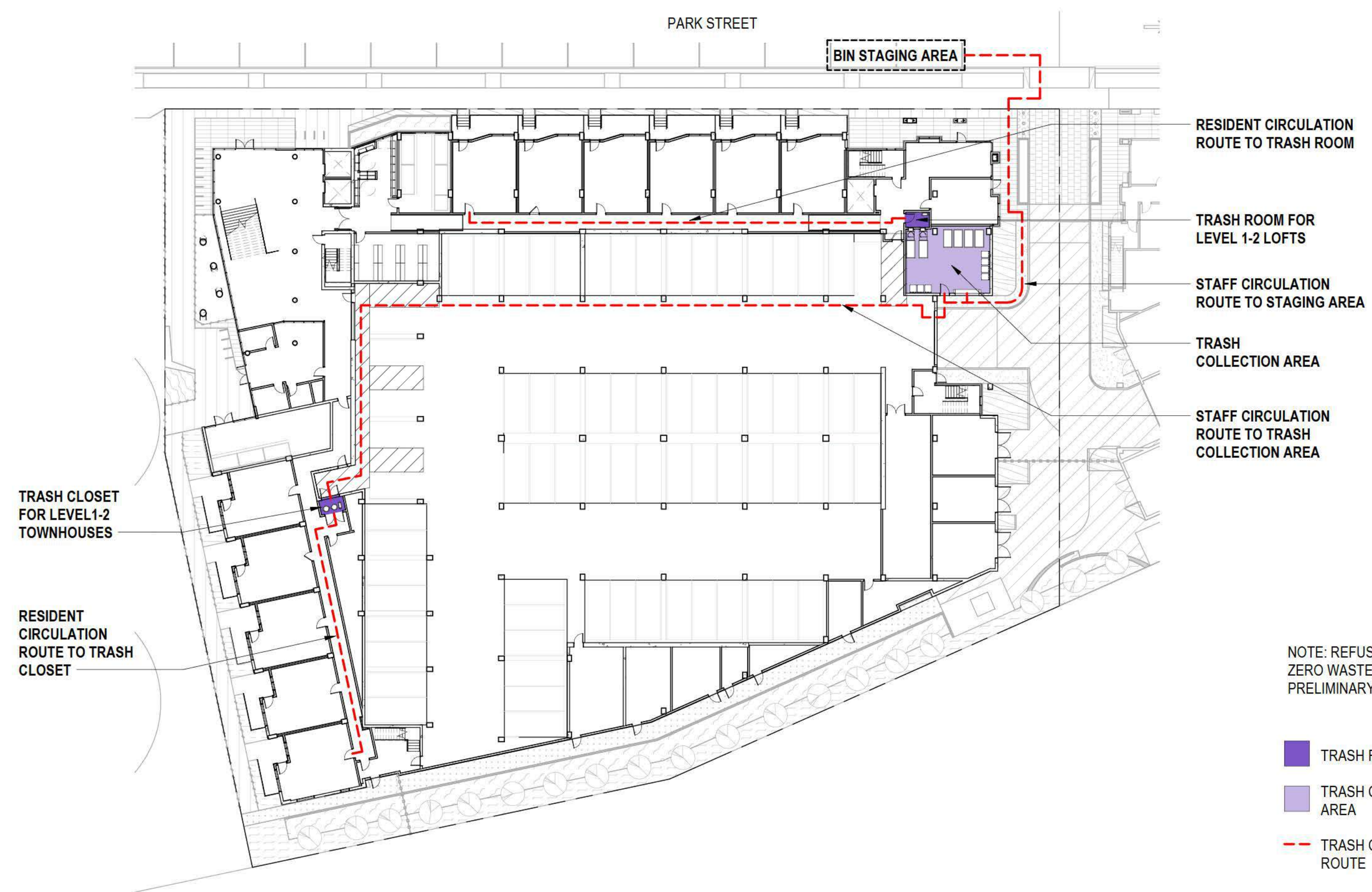
LEVEL 1 - ENLARGED TRASH CLOSET
1/4" = 1'-0" 4



LEVEL 1 - ENLARGED TRASH COLLECTION AREA & TRASH ROOM
1/4" = 1'-0" 3



LEVEL 3-7, TYP. - REFUSE, RECYCLING & ZERO WASTE DIAGRAM
1" = 30'-0" 2

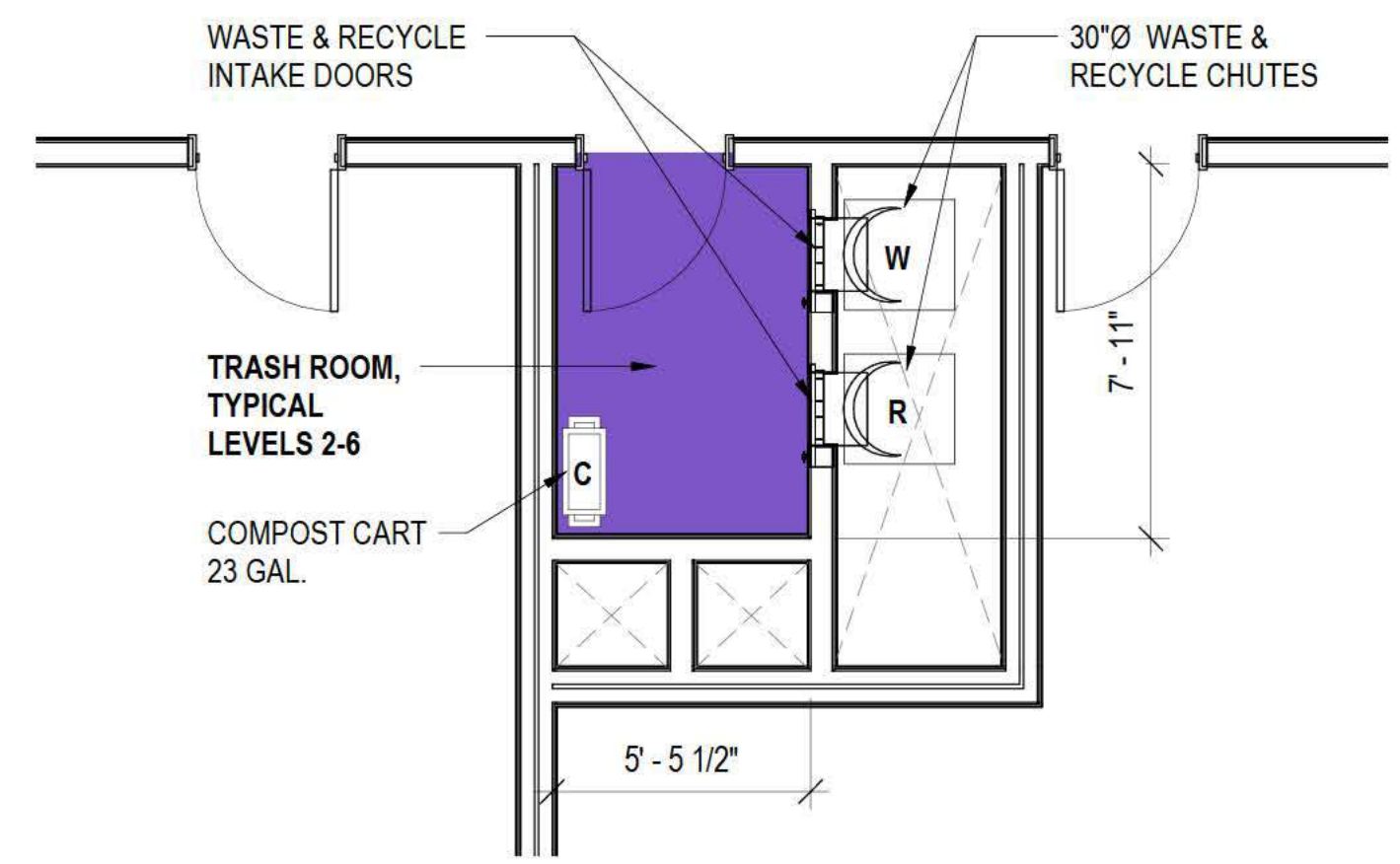


LEVEL 1 - REFUSE, RECYCLING & ZERO WASTE DIAGRAM
1" = 30'-0" 1

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FEET DIMENSIONS ONLY, OR USE CLARIFICATION FROM ARCHITECT FOR REQUIREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
09/07/2021	ACP

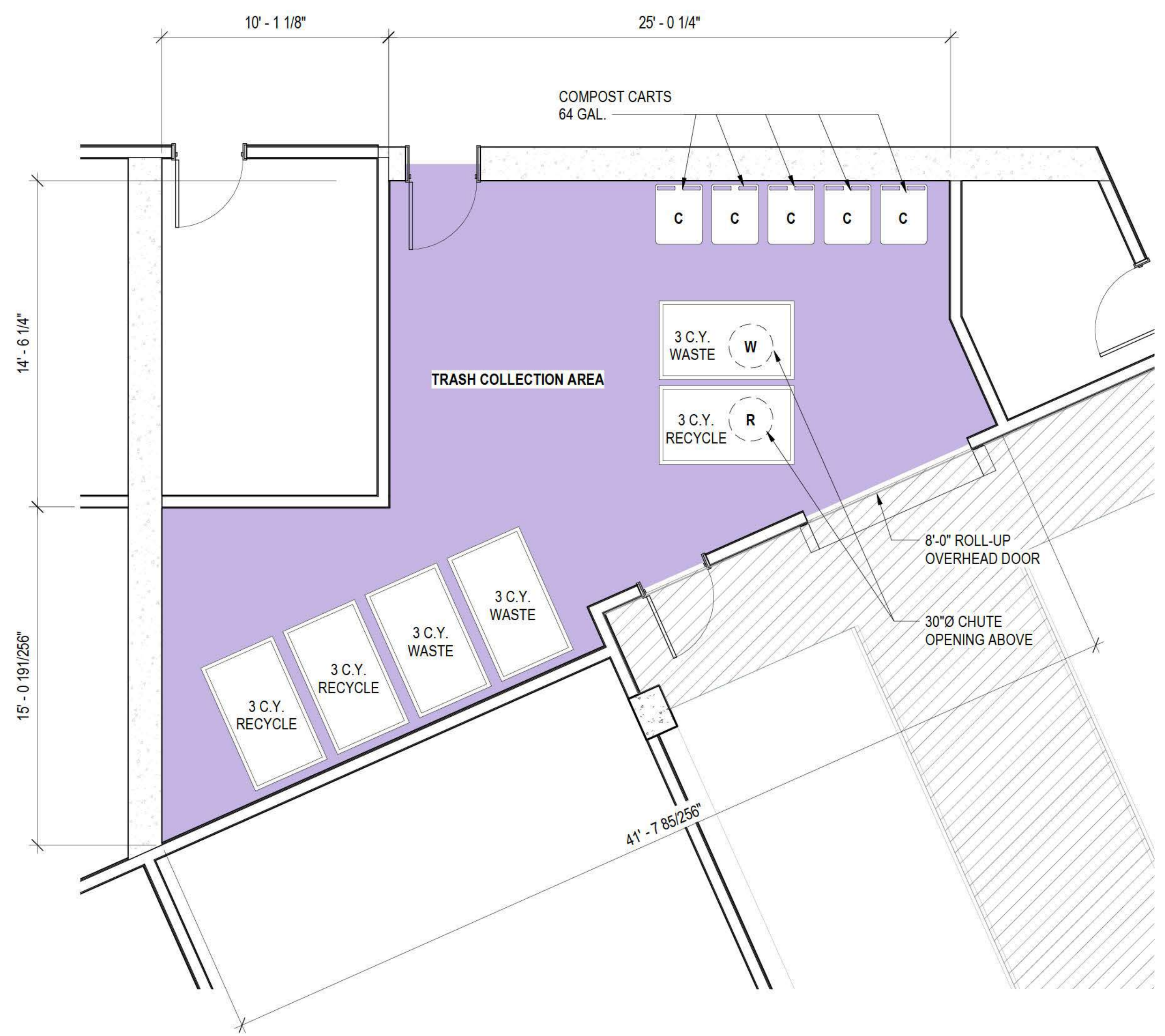
REVISIONS		
NO.	DATE	ISSUE



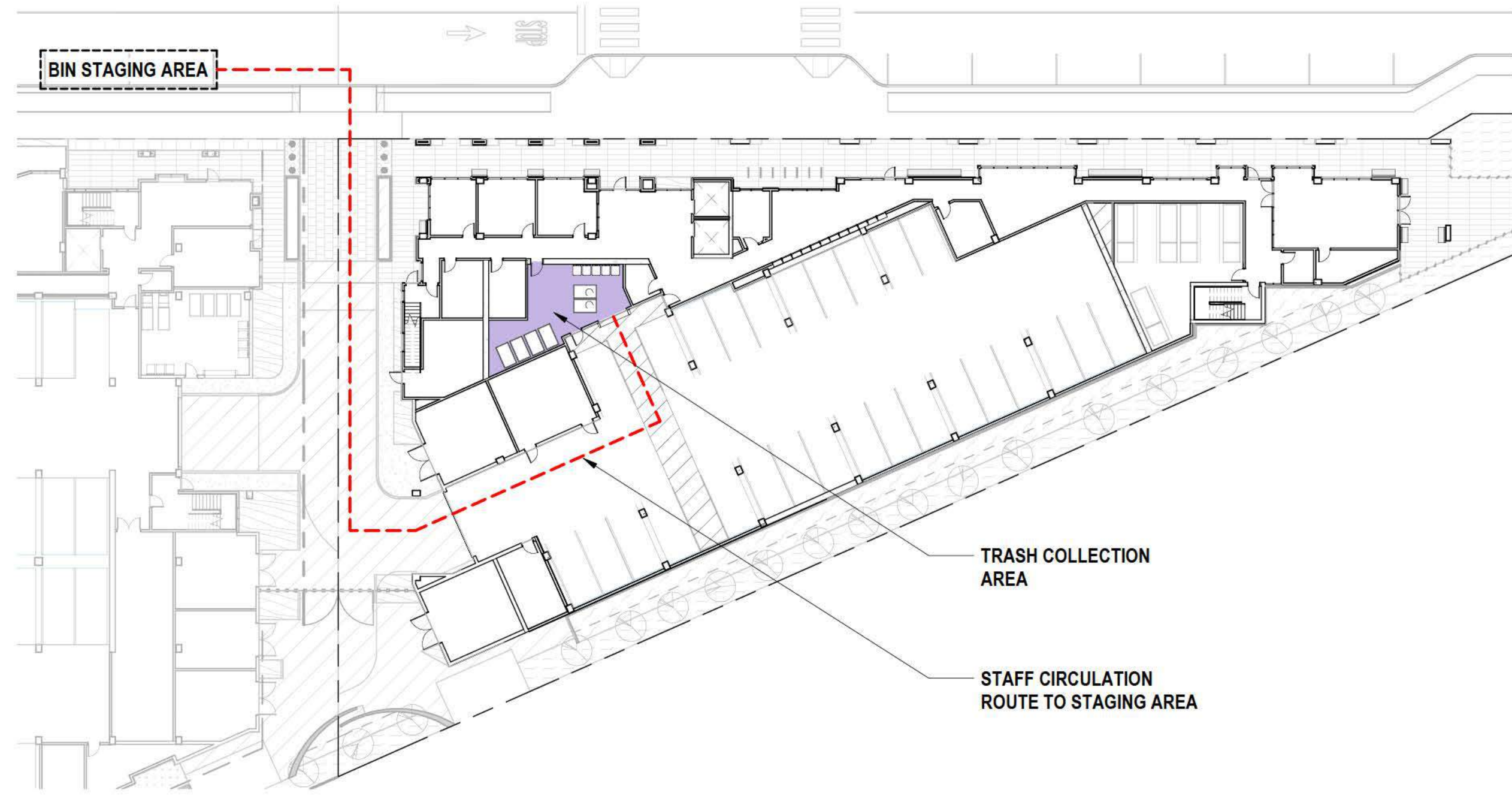
LEVEL 2-6, TYP. - TRASH ROOM
1/4" = 1'-0" ④



LEVEL 2-6, TYP. - REFUSE, RECYCLING & ZERO WASTE DIAGRAM
1" = 30'-0" ②



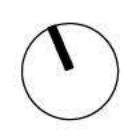
LEVEL 1 - ENLARGED TRASH COLLECTION AREA
1/4" = 1'-0" ③



LEVEL 1 - REFUSE, RECYCLING & ZERO WASTE DIAGRAM
1" = 30'-0" ①

NOTE: REFUSE, RECYCLING, AND ZERO WASTE PLANS ARE PRELIMINARY

- TRASH ROOM
- TRASH COLLECTION AREA
- TRASH CIRCULATION ROUTE



8/31/2021 11:10:22 AM

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR REQUIREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
09/07/2021	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
REFUSE, RECYCLING & ZERO WASTE DIAGRAM

DRAWING NO:
A9.20

1 HOTEL LEVEL 01
1/16" = 1'-0"



Key

- Trash Room
- Trash Collection Area
- Trash Circulation

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
09/07/2021	ACP

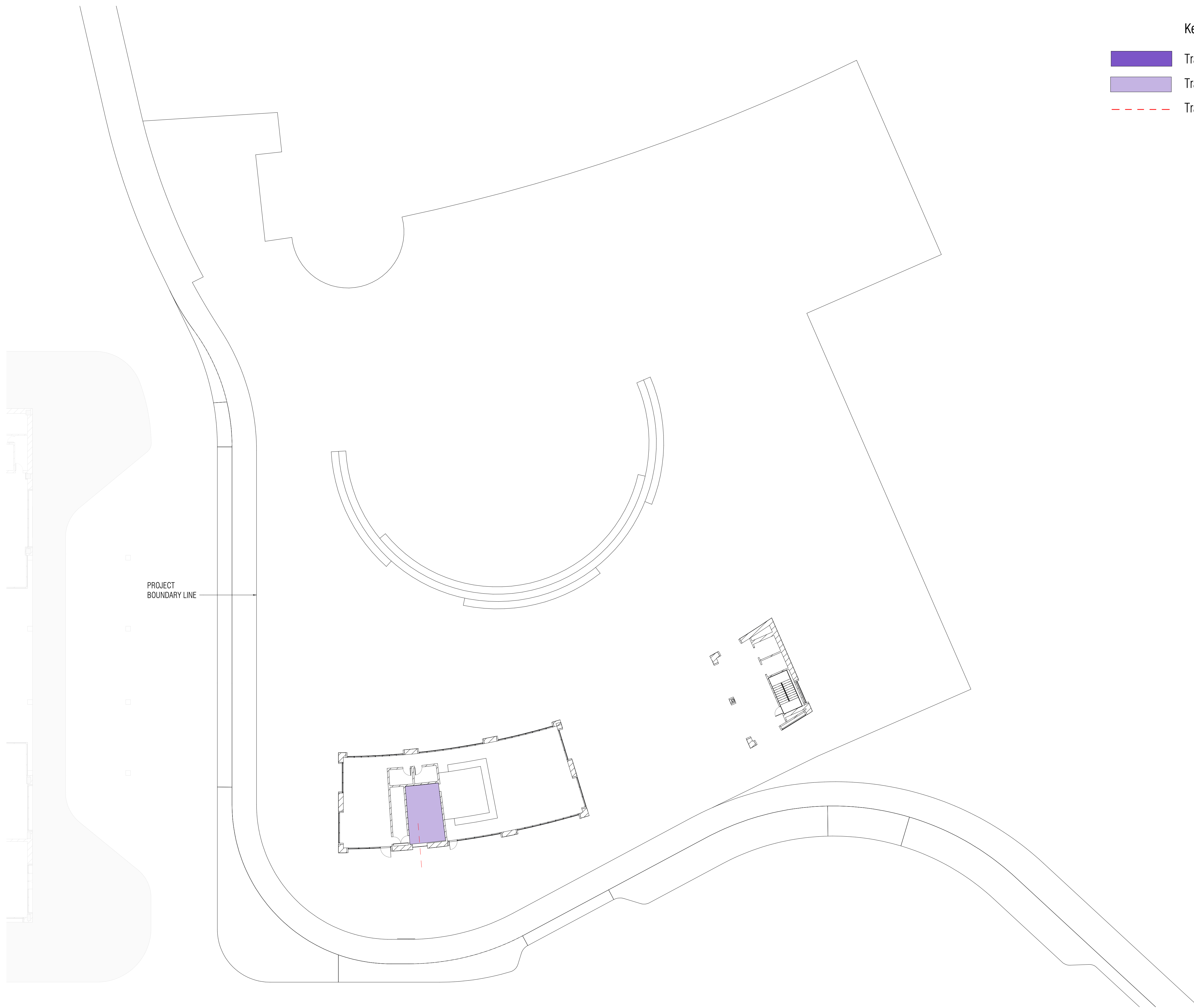
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Willow Village Hotel
 Refuse, Recycling and Zero Waste
 Diagram

DRAWING NO:
A9.20

PENINSULA INNOVATION PARTNERS

8/10/2021 9:36:59 PM



Key

- Trash Rooms
- Trash Collection Area
- Trash Circulation

3 TOWN SQUARE PAVILION - LEVEL 1
1" = 20'-0"

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

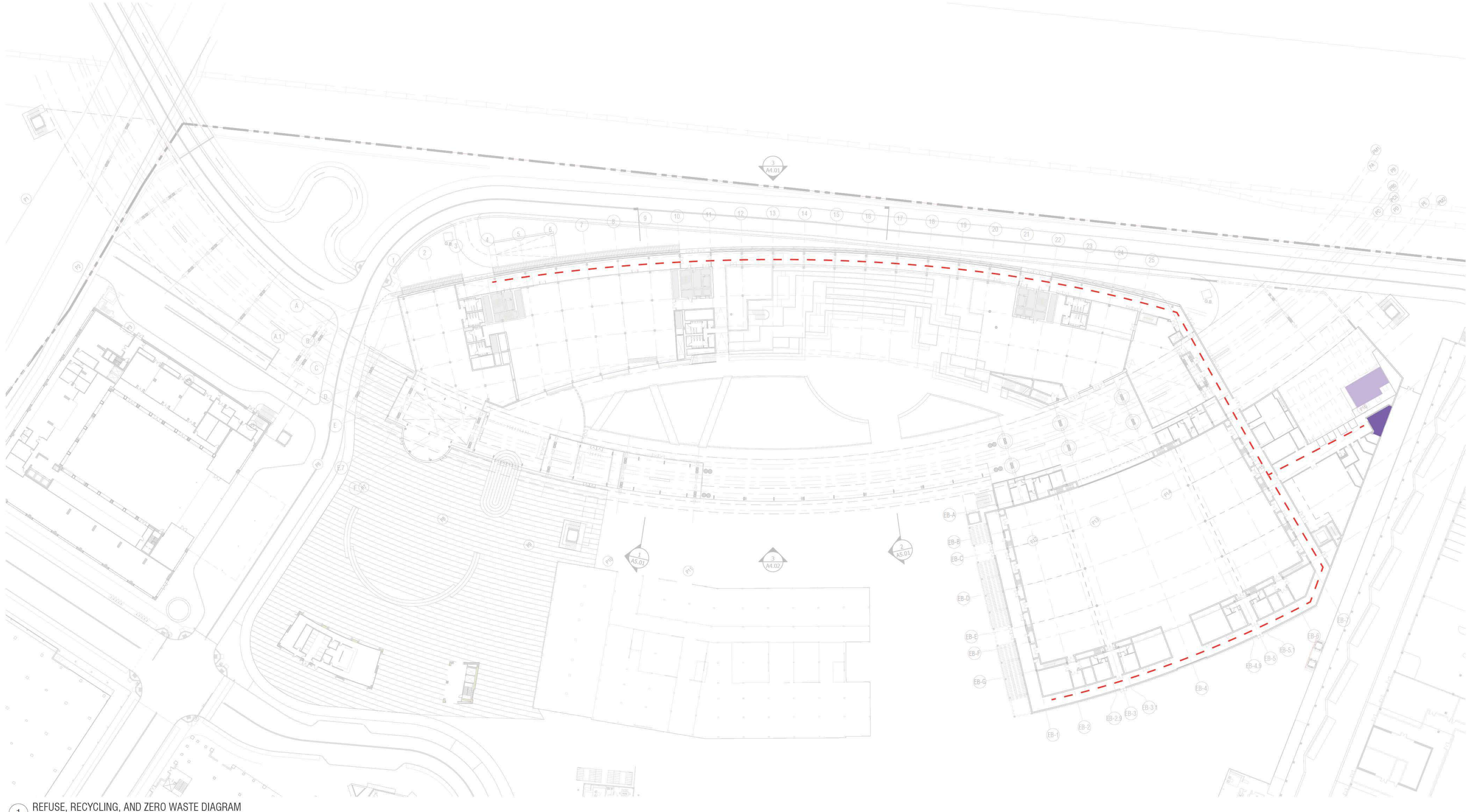
MILESTONES	
DATE	ISSUE
09/07/2021	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
**Willow Village Hotel
Refuse, Recycling and Zero Waste
Diagram**

DRAWING NO:
A9.20

PENINSULA INNOVATION PARTNERS



1 REFUSE, RECYCLING, AND ZERO WASTE DIAGRAM
1" = 40'-0"

- - - TRASH CIRCULATION ROUTE
- TRASH ROOM
- TRASH COLLECTION AREA

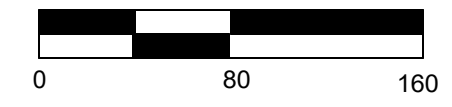
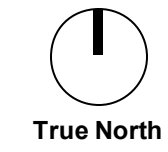
SCALE:
NOTE: THIS DRAWING IS 2D. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
09/07/2021	ACP

REVISIONS		
NO.	DATE	ISSUE



1 Garbage Removal Site Plan - Level 1
 1" = 80'-0"



DRAWING TITLE:

Refuse, Recycling, and
Zero Waste Diagram

DRAWING NO.:

A9.20

REVISIONS

NO.	DATE	ISSUE

MILESTONES

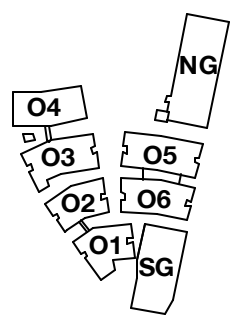
DATE	ISSUE
09/07/2021	ACP

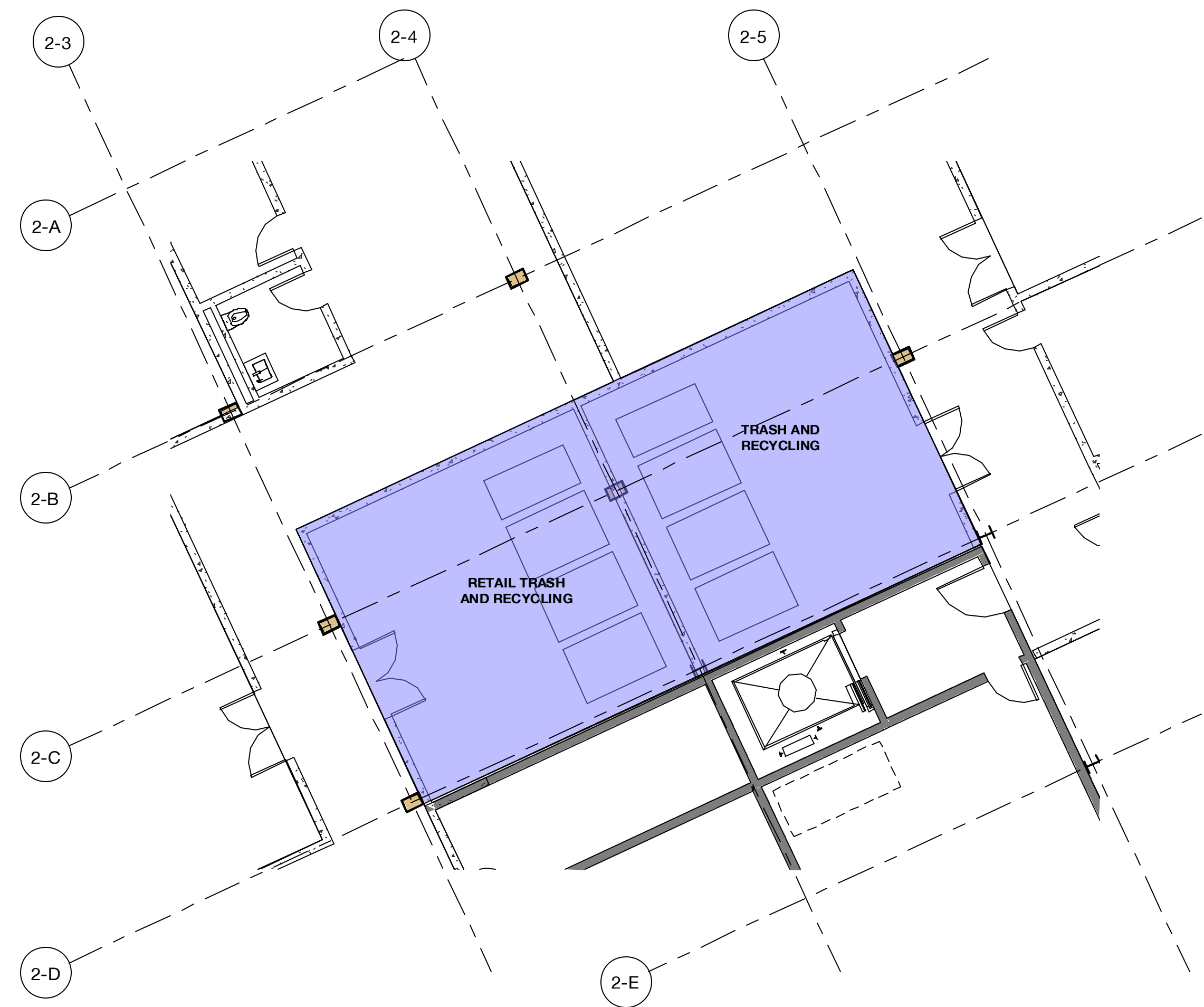
SCALE: 1" = 80'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

WILLOW VILLAGE

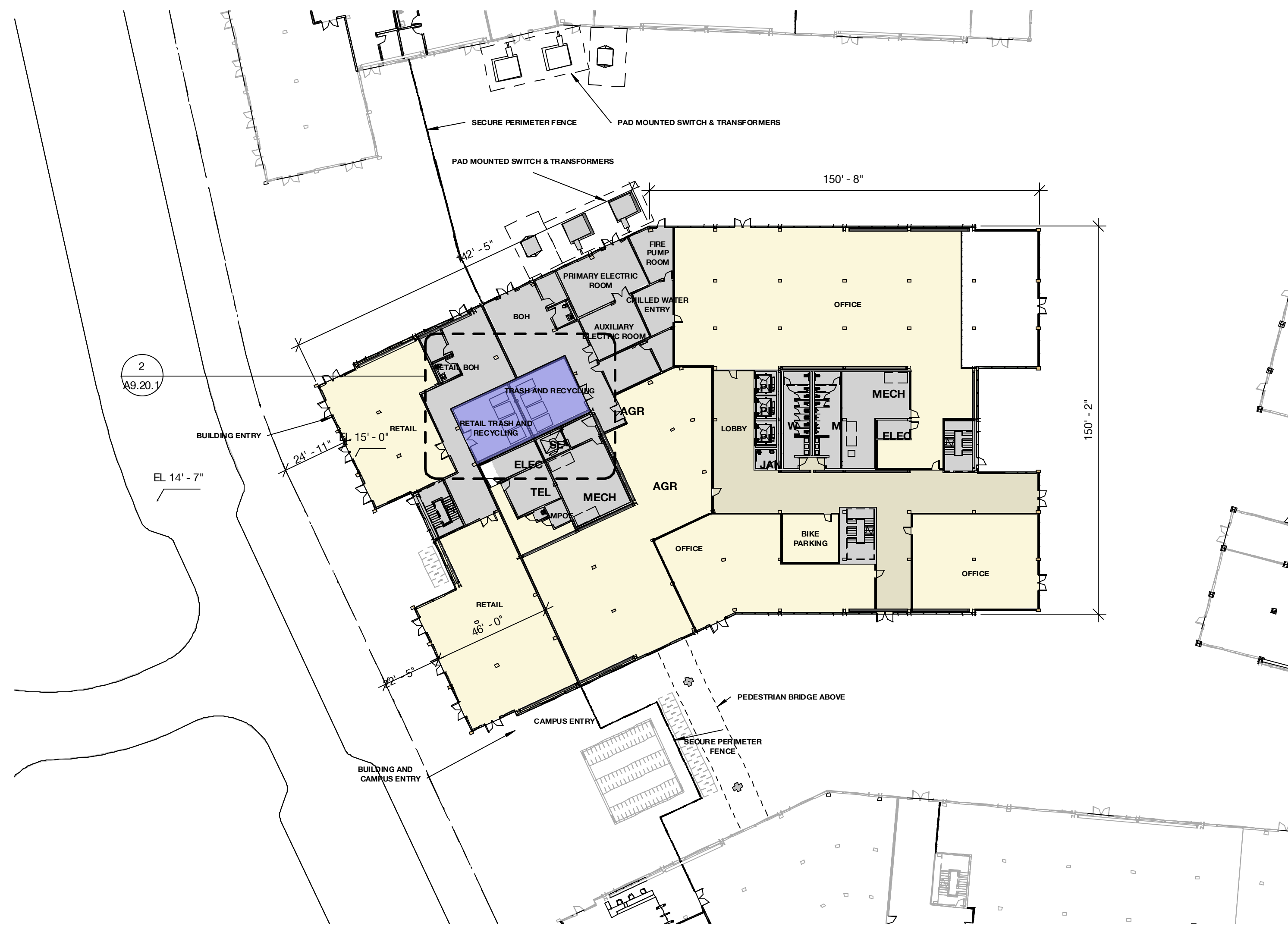
Architectural Control Package - Parcel 1 (Portion) & 8
 Menlo Park, CA

PENINSULA INNOVATION PARTNERS





2 Building 02 - Level 1 - Trash Removal - Callout 1
1/8" = 1'-0"



1 Building 02 - Level 1 - Trash Removal
1/32" = 1'-0"



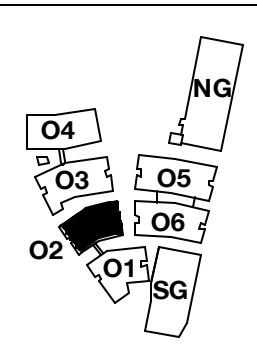
SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR DIMENSION LINES FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

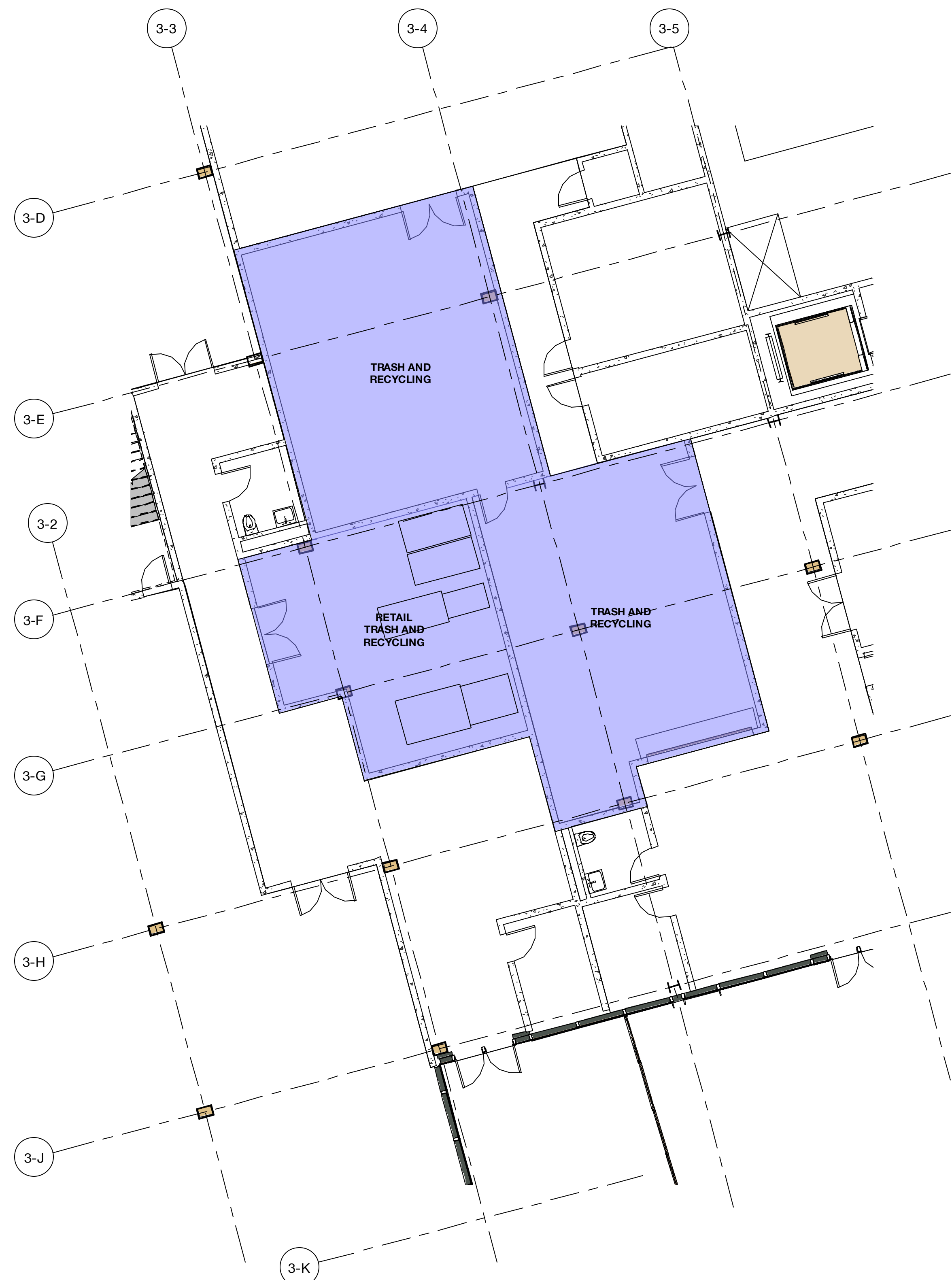
MILESTONES	
DATE	ISSUE
09/07/2021	ACP

REVISIONS		
NO.	DATE	ISSUE

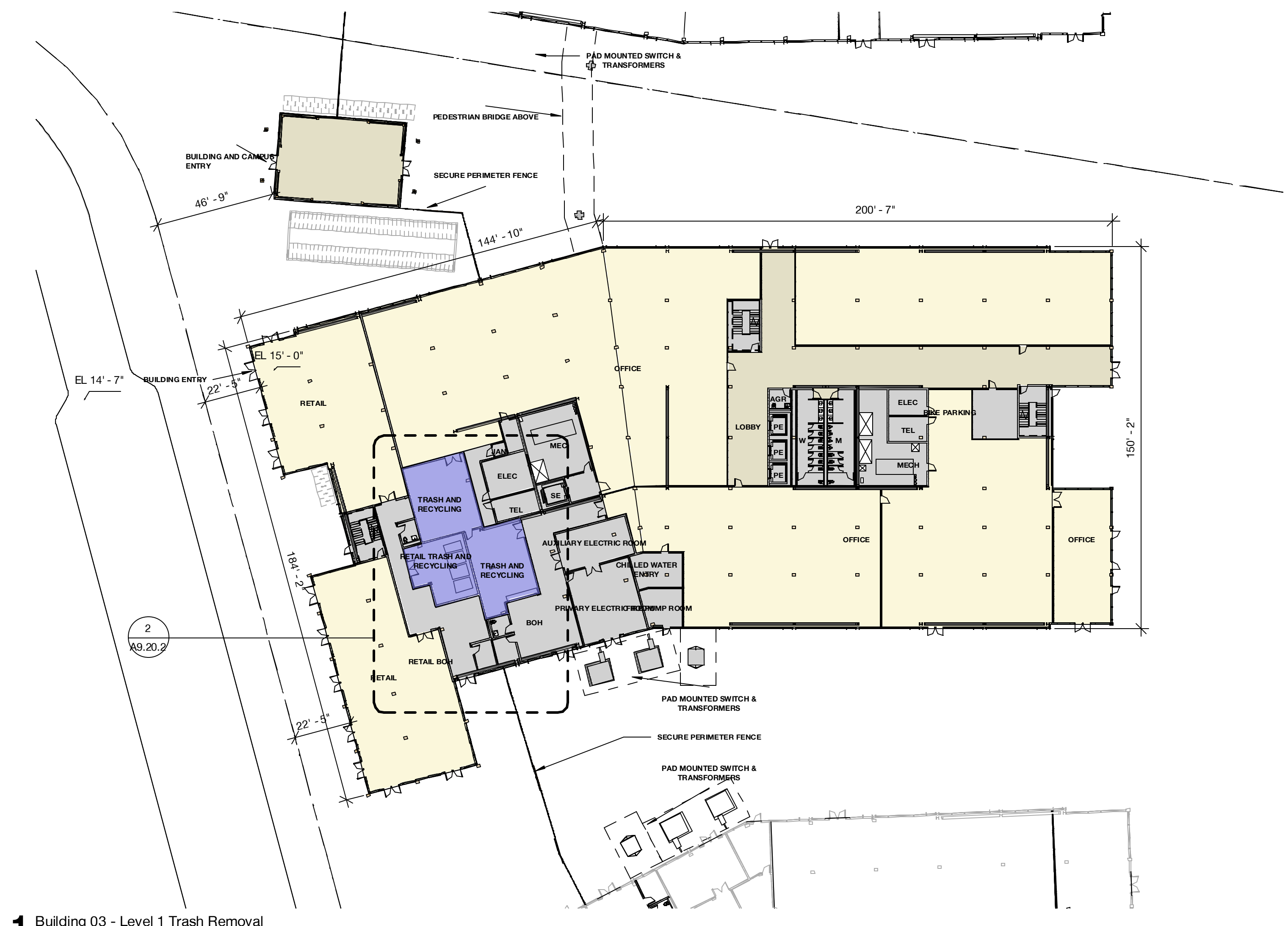
DRAWING TITLE:
Refuse, Recycling, and
Zero Waste Diagram - O2

DRAWING NO:
A9.20.1

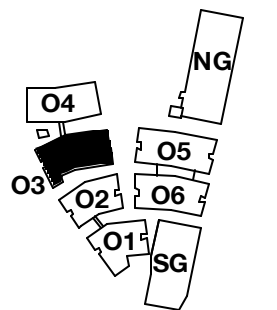




2 Building 03 - Level 1 Trash Removal - Callout 1
1/8" = 1'-0"



1 Building 03 - Level 1 Trash Removal
1/32" = 1'-0"



SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR DIMENSIONS INDICATED FROM ANNOTATED DIMENSION LINES THAT ARE NOT INDICATED.

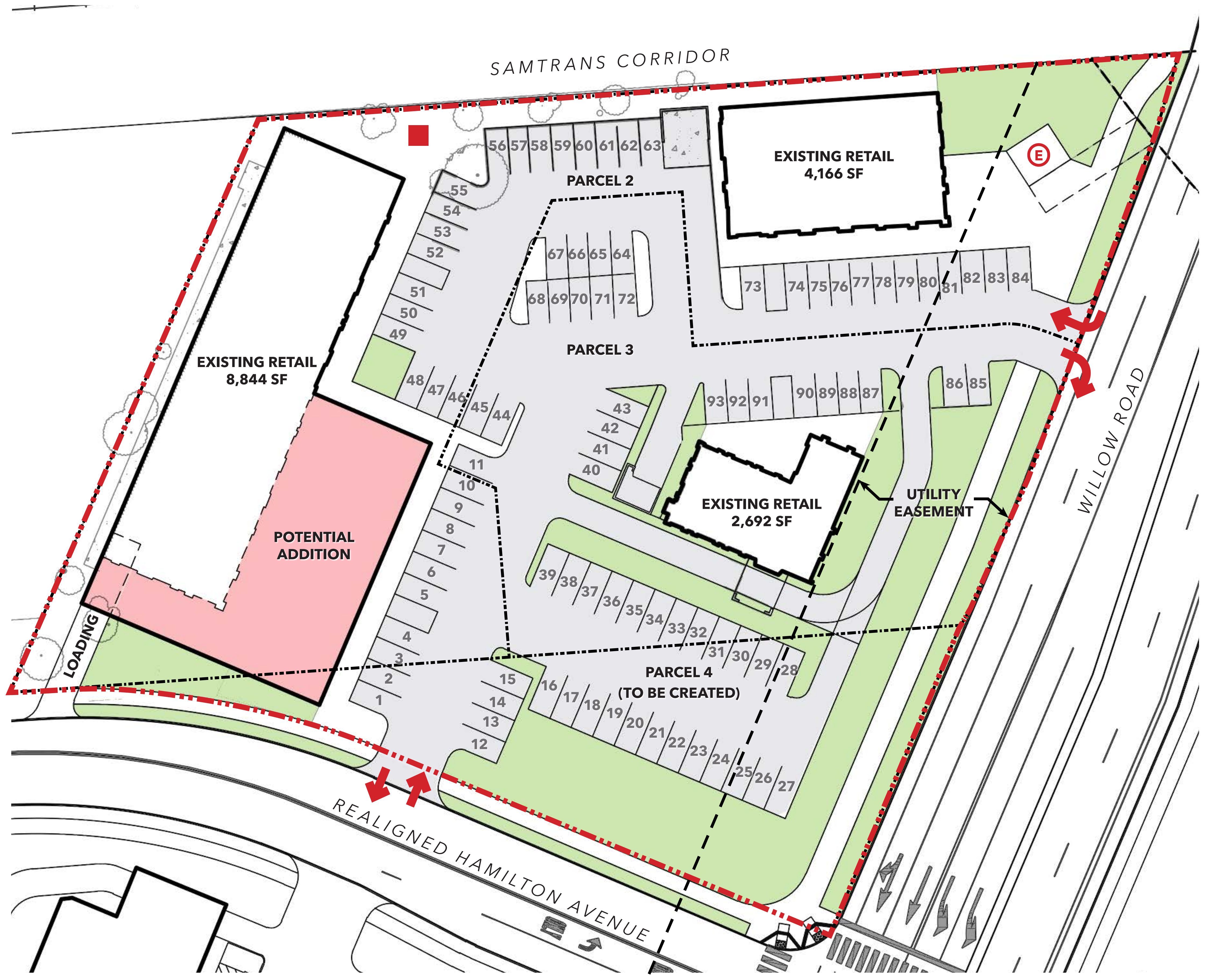
MILESTONES	
DATE	ISSUE
09/07/2021	ACP

REVISIONS		
NO.	DATE	ISSUE



APPENDIX 7

CONCEPTUAL HAMILTON PARCELS



LEGEND

- Existing Parcel Boundary
- Existing Easement Boundary
- Proposed Parcel Boundary
- Proposed Added Built Area
- Proposed Landscaped Area
- Proposed Generator*
- Proposed Elevator to Elevated Park Access
- Driveway Access

*Generator to be place within sound attenuating enclosure.

SITE AREA

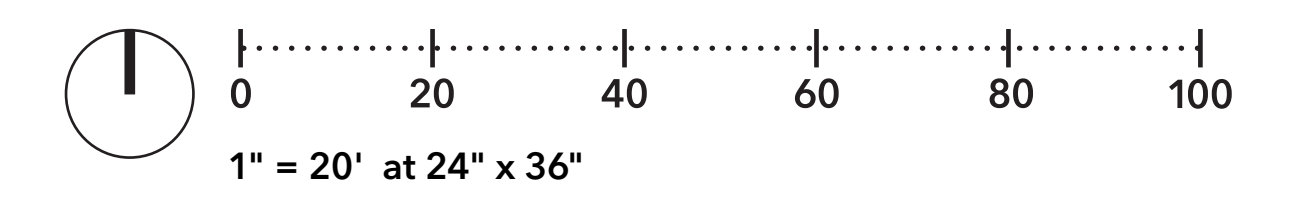
Existing Total Site Area (Parcels 2 & 3)	+/- 1.81 acre
Proposed Site Area (Parcels 2, 3, 4)	+/- 2.21 acre

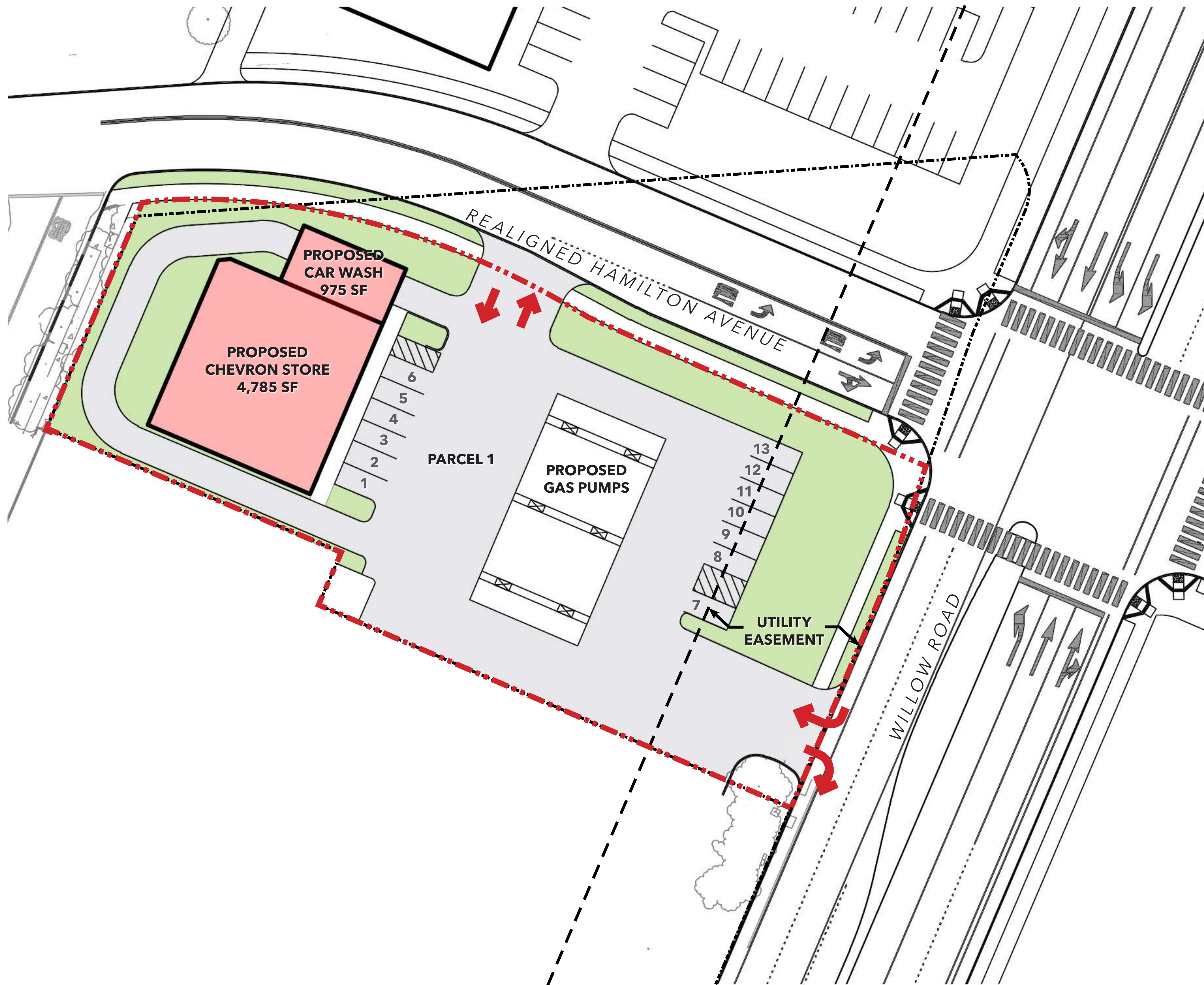
BUILT AREA

Existing Total Area	15,702 sf
Potential Area Added	Up to 6,700 sf
Proposed Potential Total Area	Up to 22,402 sf

PARKING

Proposed Total Parking	93 spaces
Proposed Parking Ratio	4.16 spaces/ksf





LEGEND	
	Existing Parcel Boundary
	Existing Easement Boundary
	Proposed Parcel Boundary
	Proposed Built Area
	Proposed Landscaped Area
	Driveway Access

SITE AREA	
Existing Site Area	+/- 1.33 acre
Proposed Site Area	+/- 0.97 acre

BUILT AREA	
Proposed Total Area	5,760 sf

PARKING	
Proposed Total Parking	13 spaces
Proposed Parking Ratio	2.26 spaces/ksf



APPENDIX 8

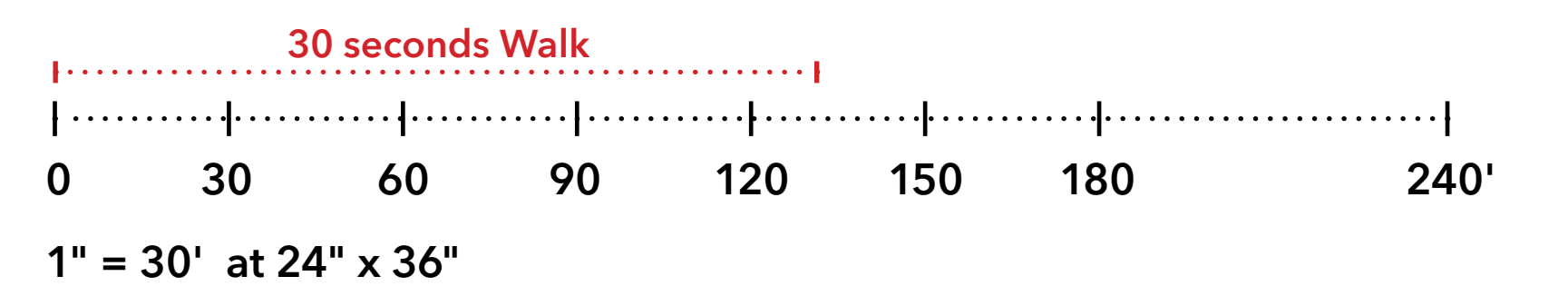
EXISTING LAND USE ENLARGEMENT

Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	46,640	0	0

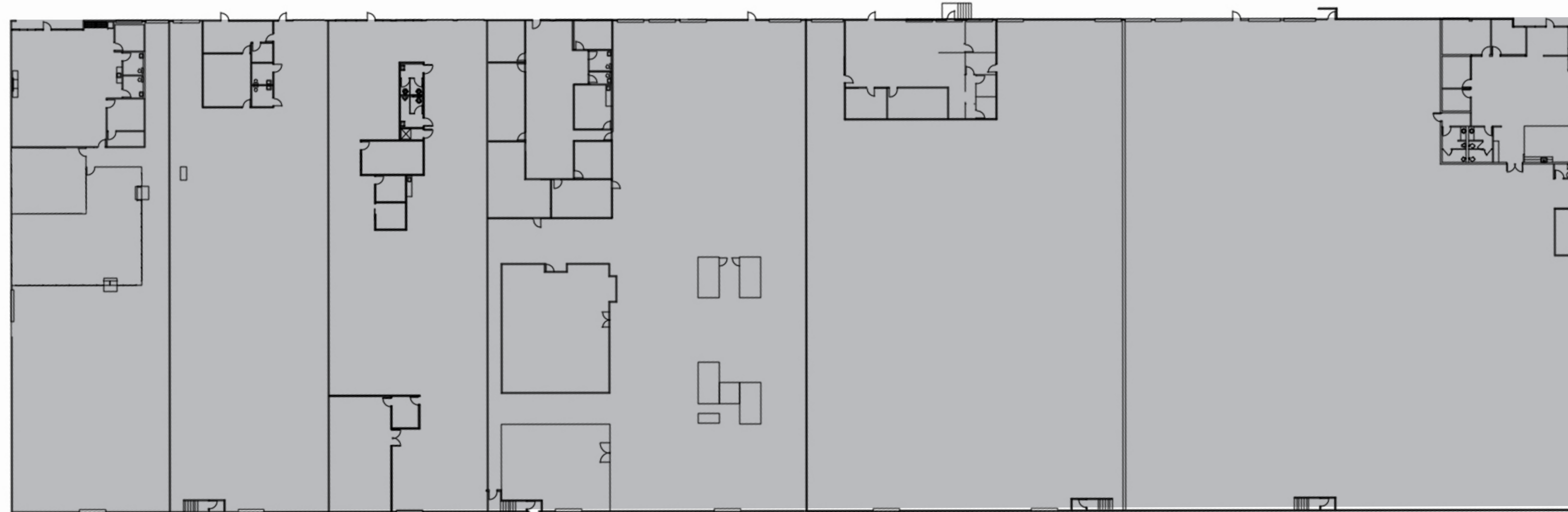


Level 1

MPK 40
1050-1098 Hamilton Avenue

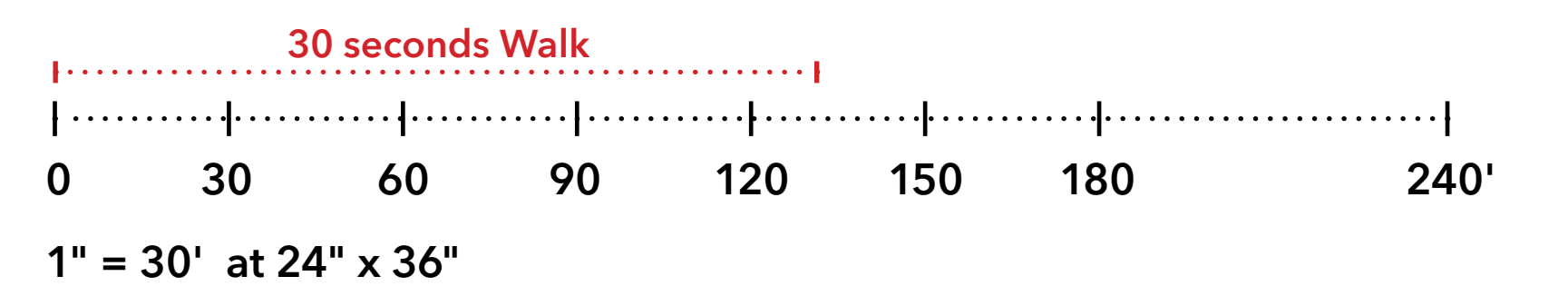


Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	0	0	109,620



Level 1

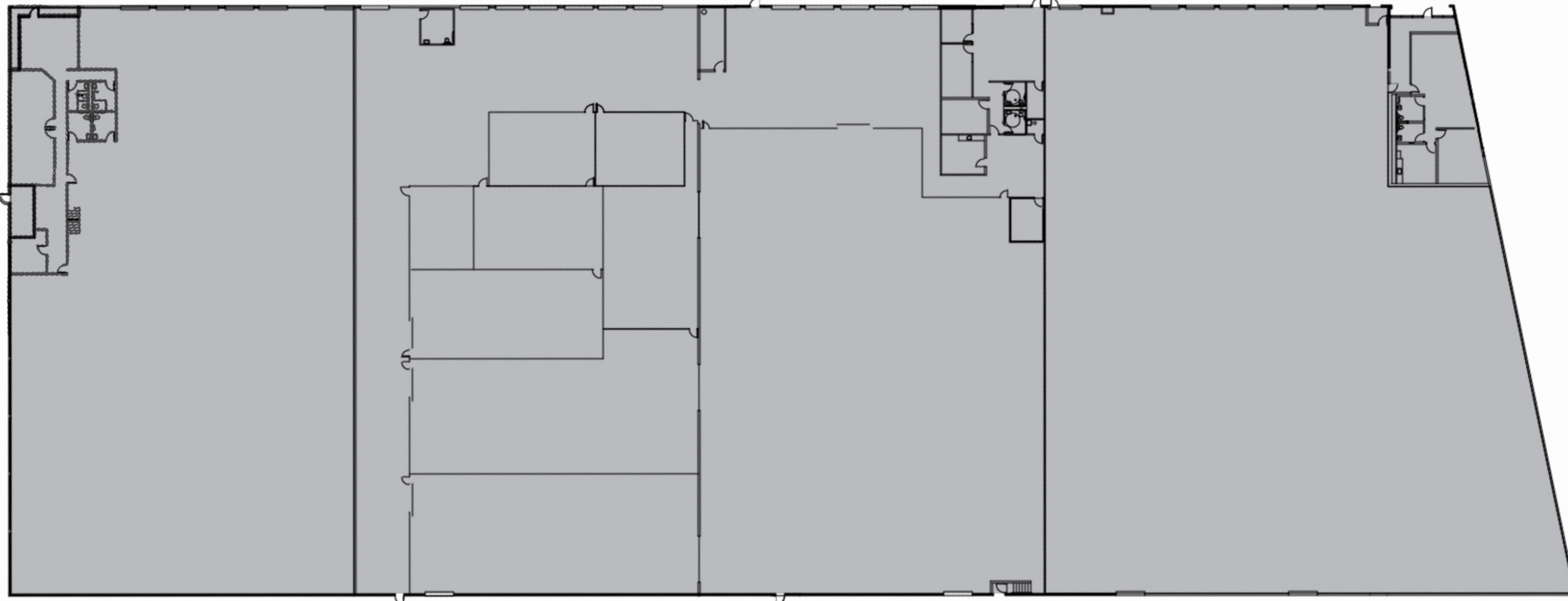
MPK 41
1100-1190 Hamilton Court



Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	0	0	107,350

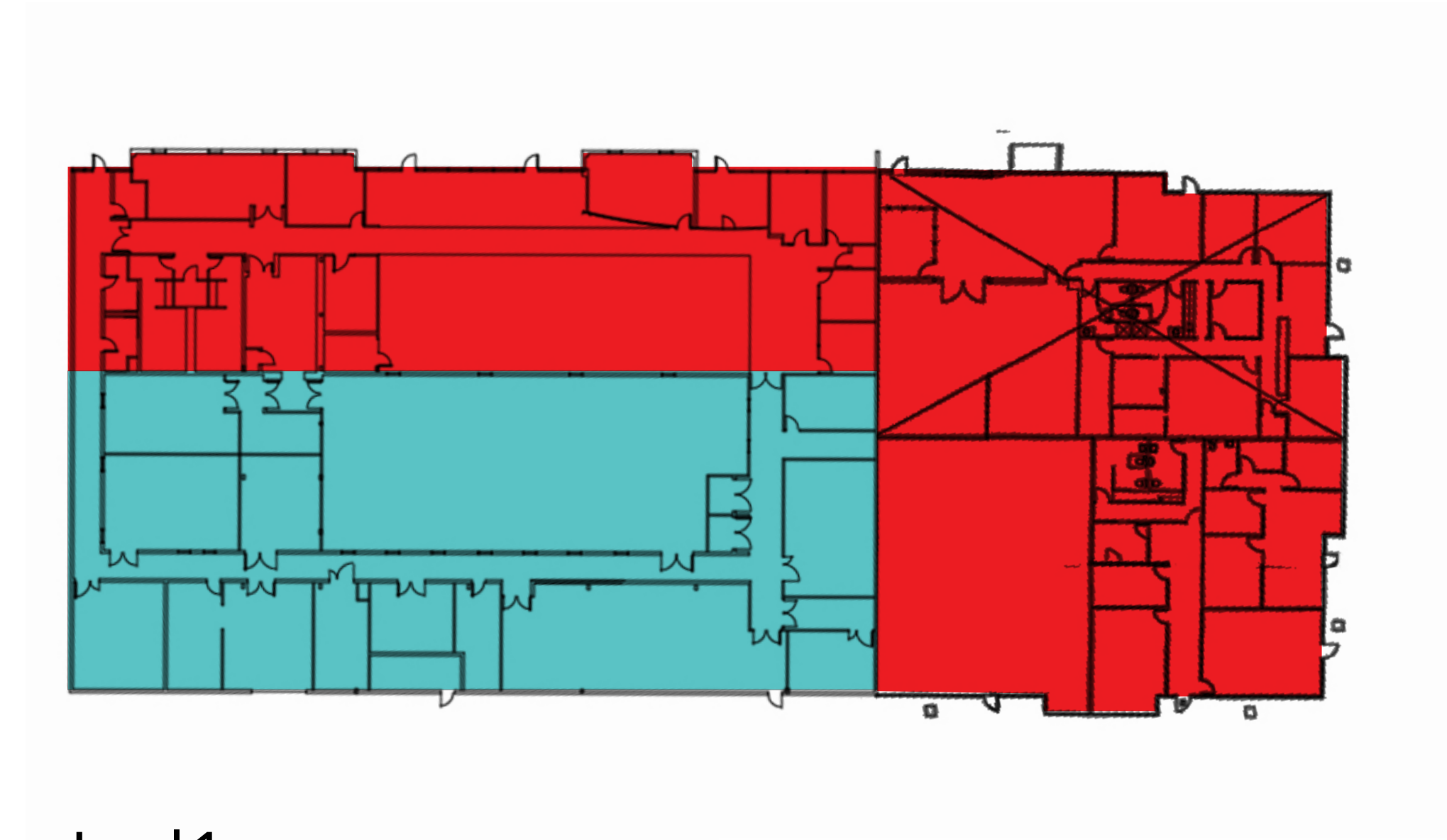
Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	10,250	10,590	0

Note: Tenants are Satellite Healthcare and Community Legal Services.



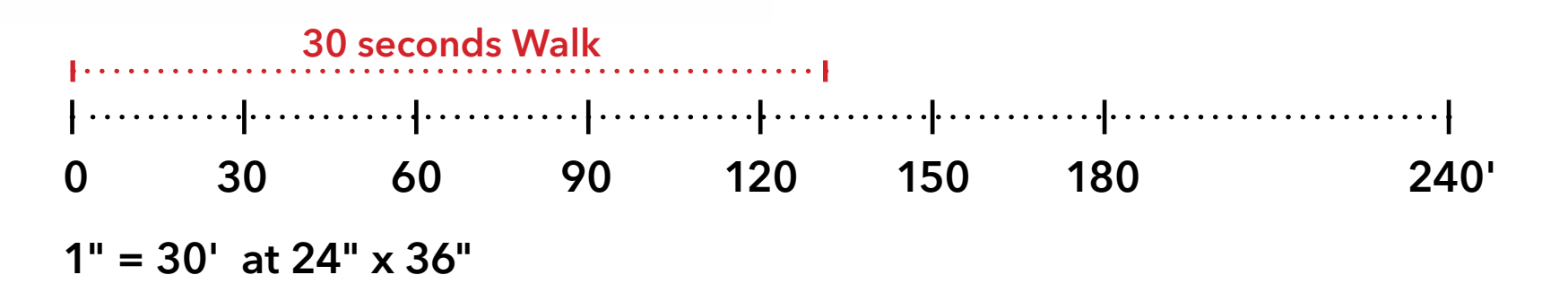
Level 1

MPK 42
1200-1280 Hamilton Court

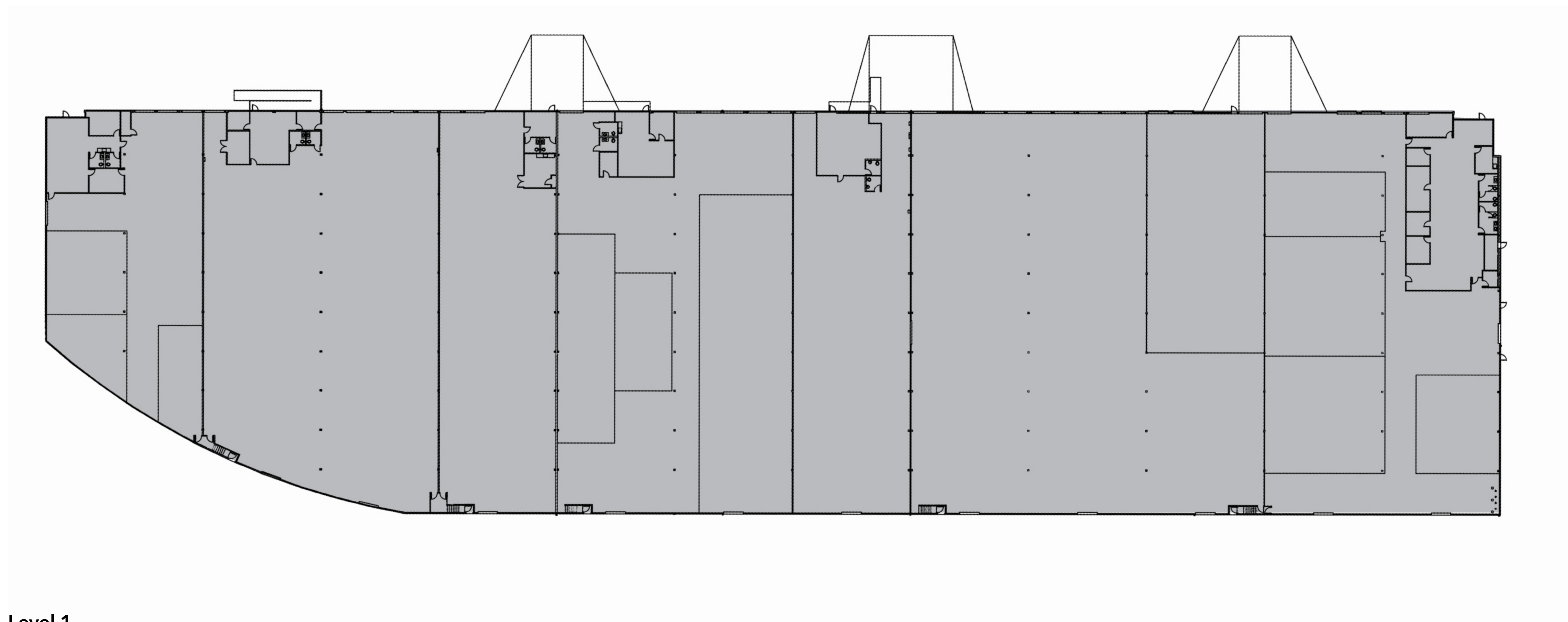


Level 1

MPK 43
1010-1042 Hamilton Court

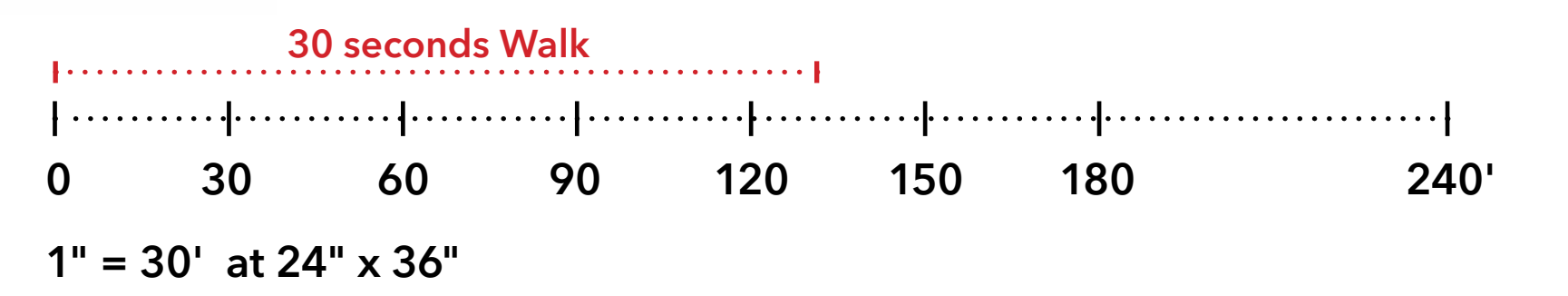


Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	0	0	145,080

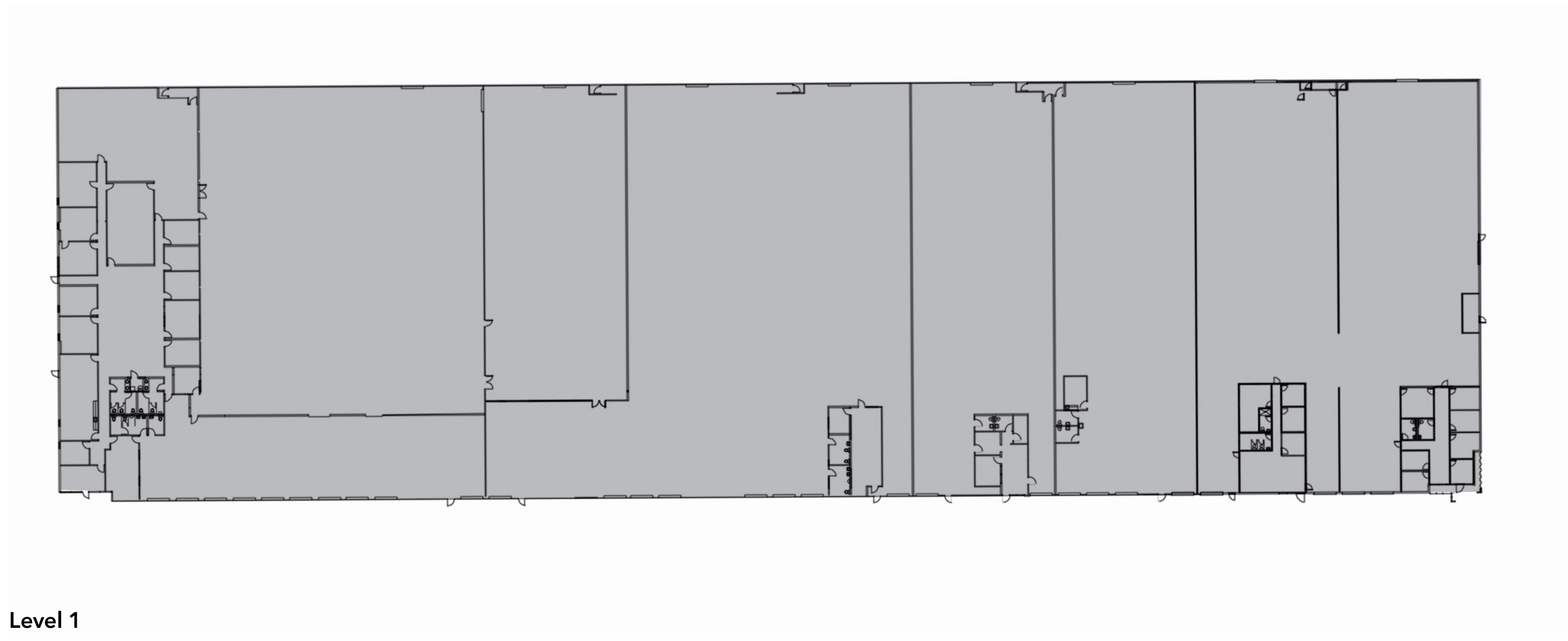


Level 1

MPK 44
1205-1275 Hamilton Court

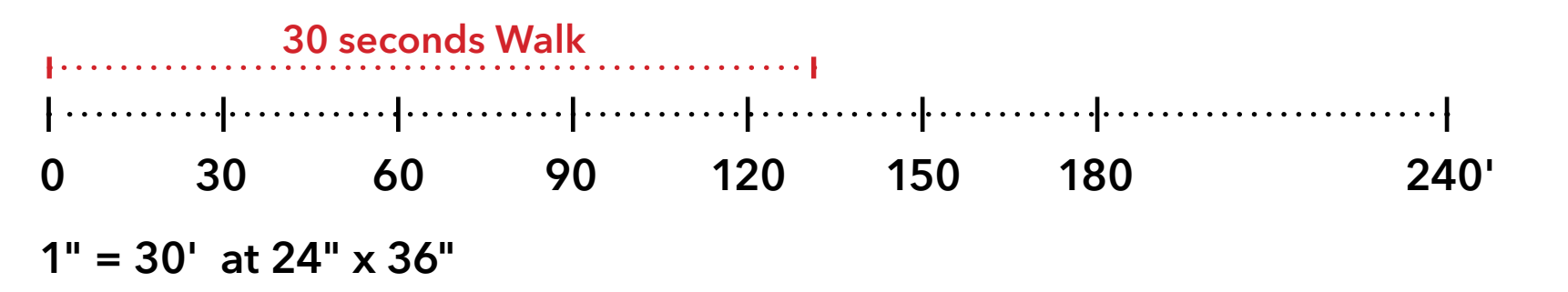


Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	0	0	118,740



Level 1

MPK 45
1105-1195 Hamilton Court



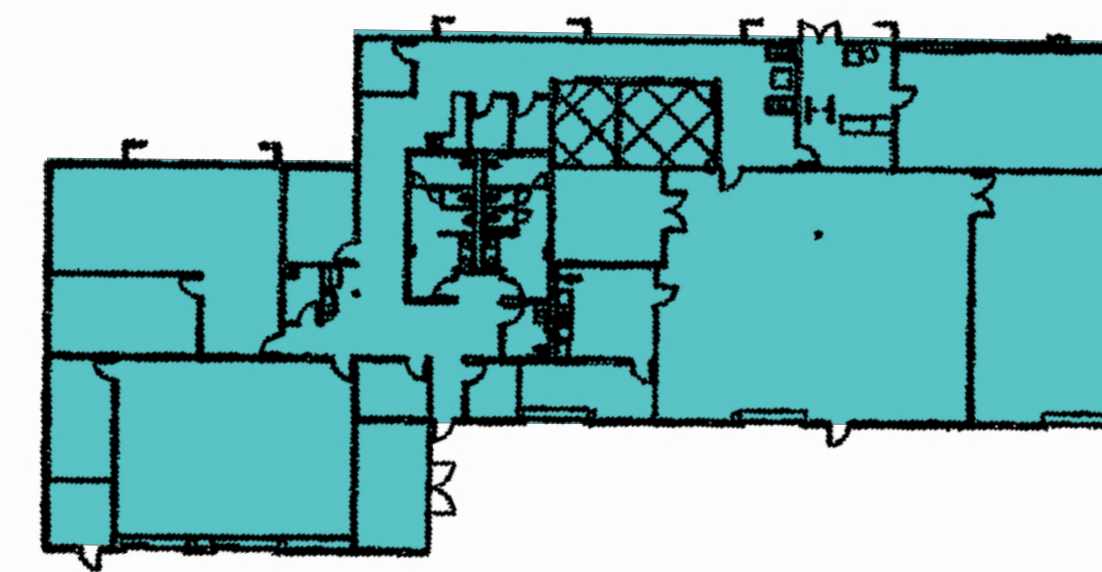
Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	56,340	0	0

Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	0	10,400	0



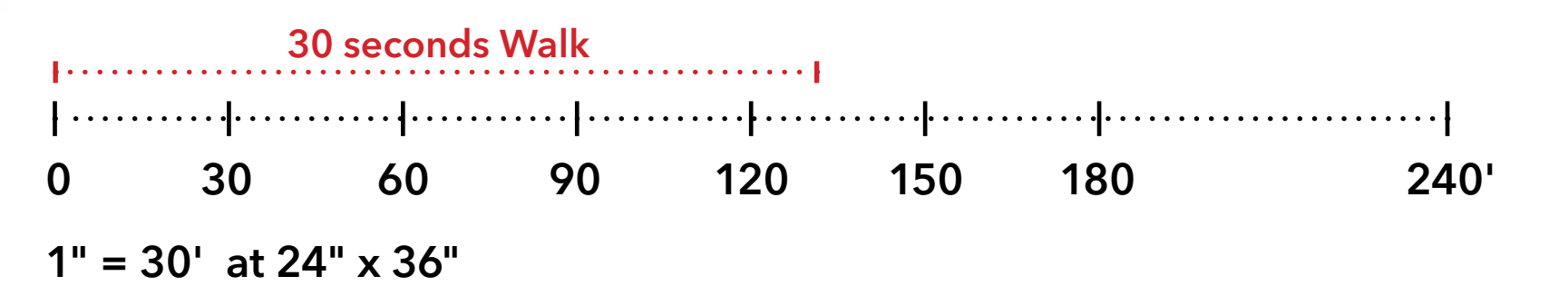
Level 1

MPK 46
1003-1005 Hamilton Avenue



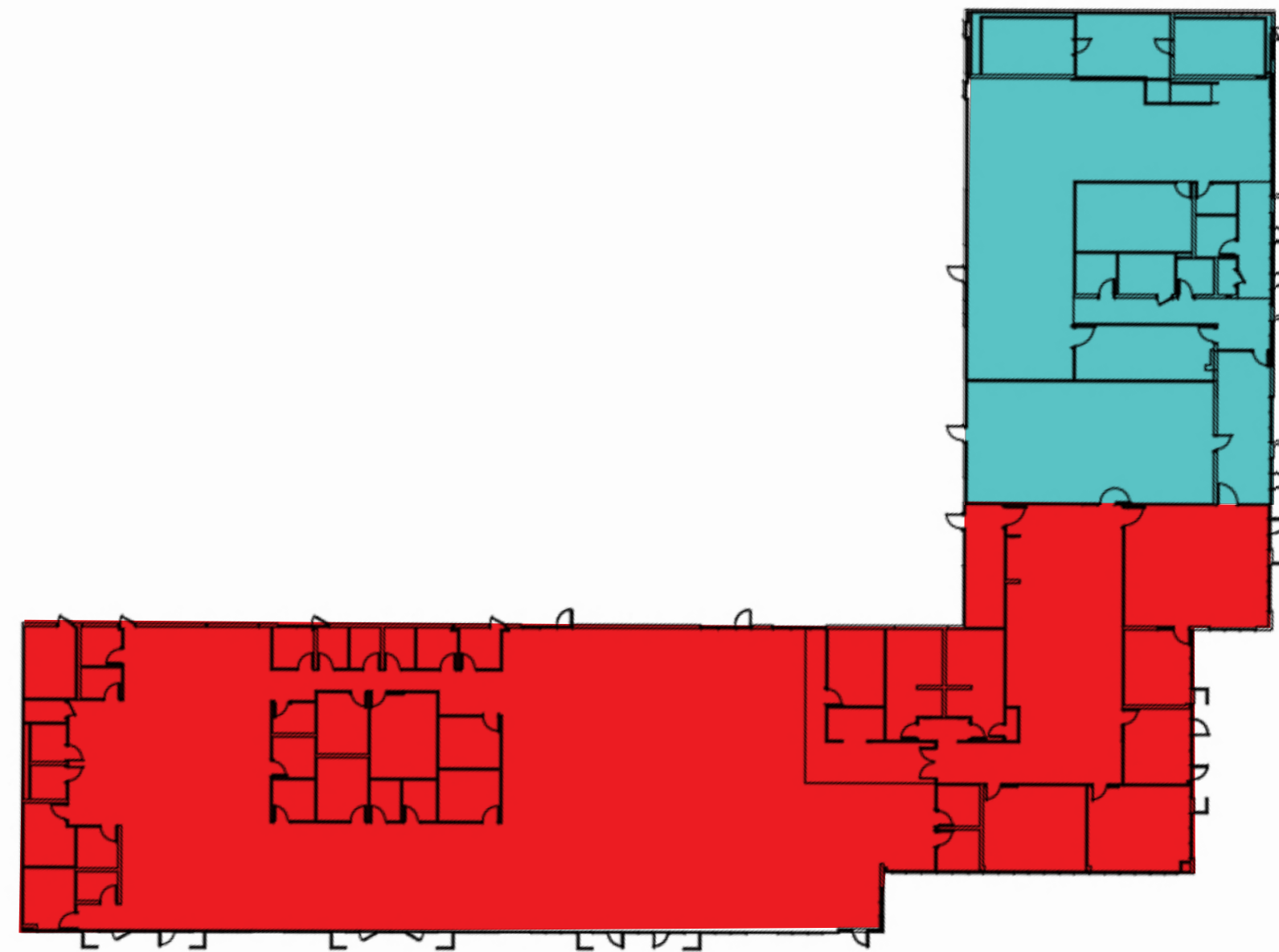
Level 1

MPK 47
959-967 Hamilton Avenue



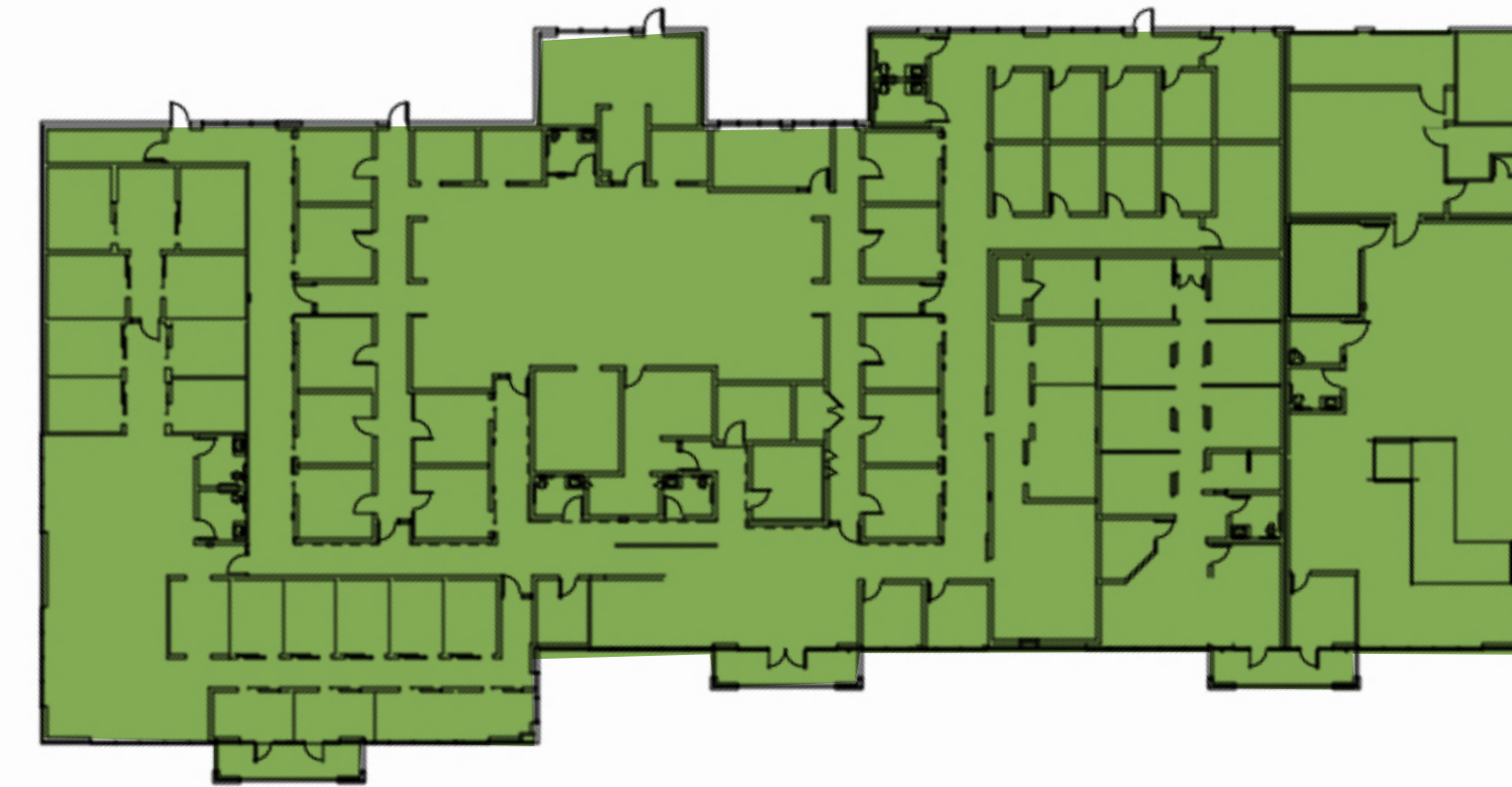
Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	14,410	5,750	0

Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)	Health Center (GSF)
Total	0	0	0	24,060



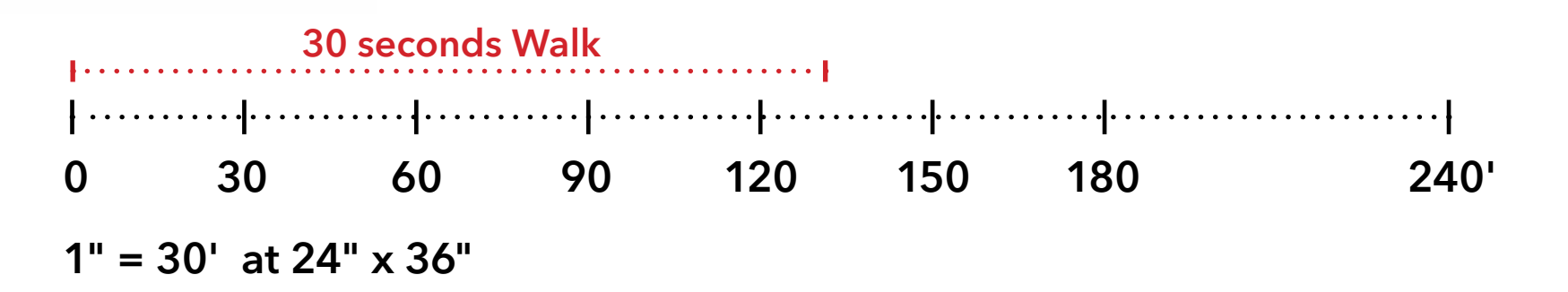
Level 1

MPK 48
927-953 Hamilton Avenue



Level 1

MPK 49
923-925 Hamilton Avenue

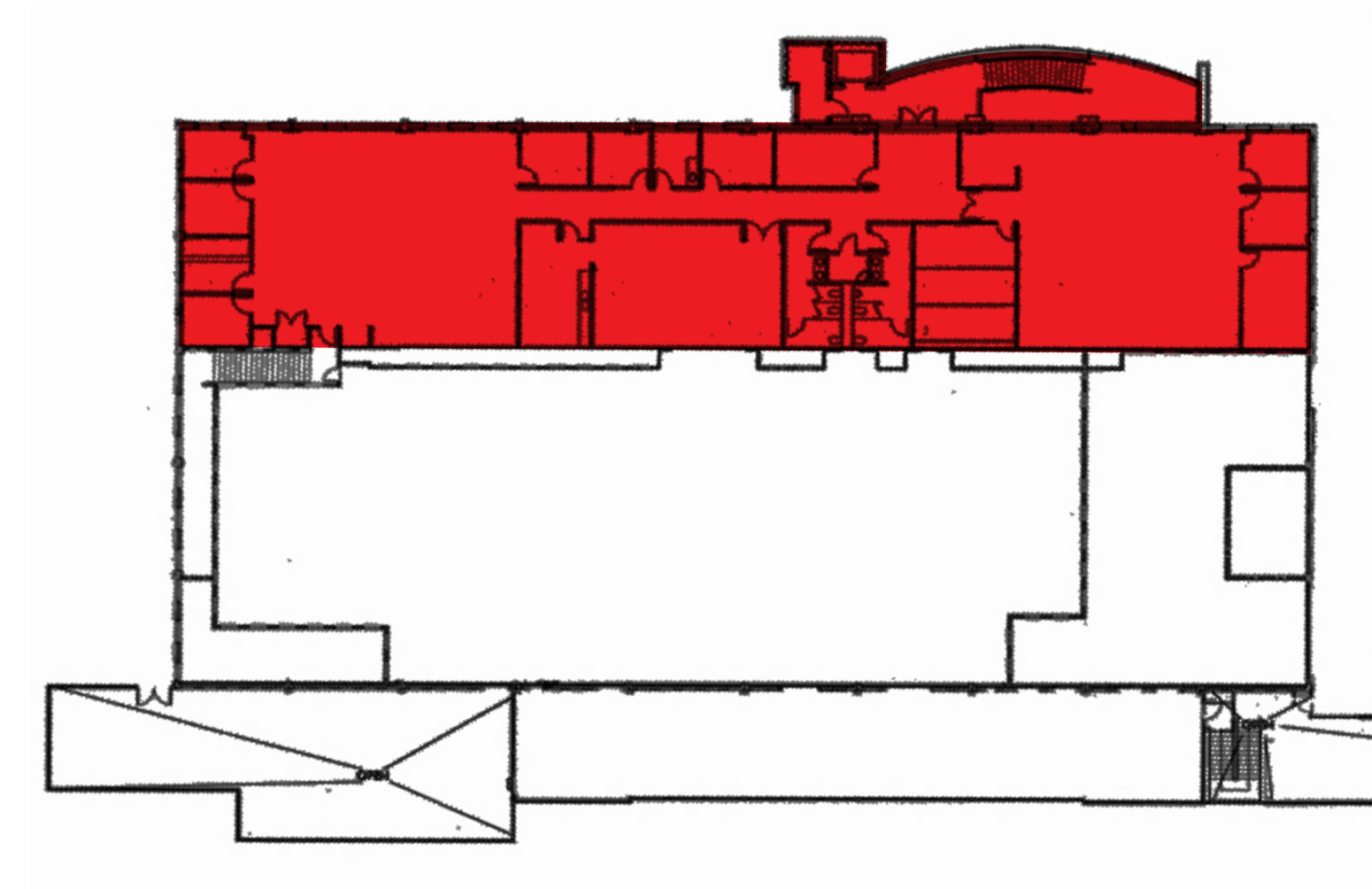


Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	15,200*	0	0

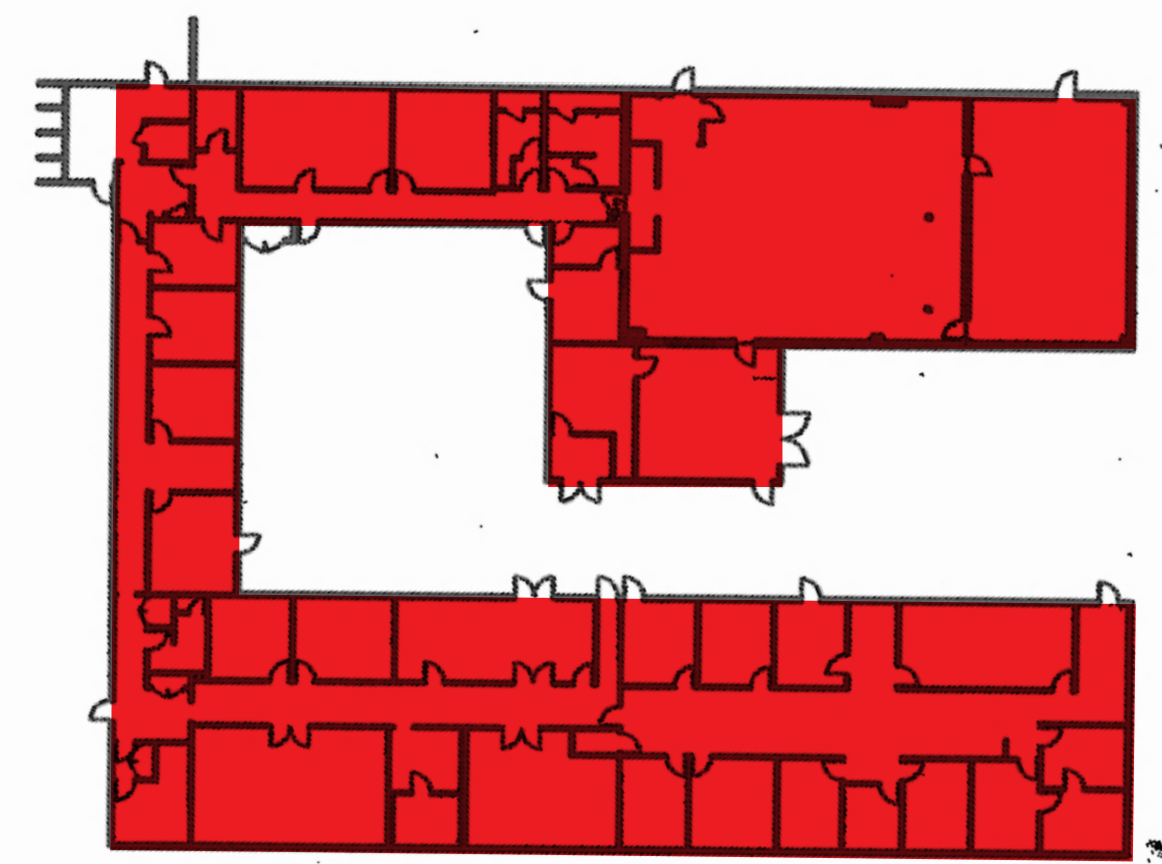
* Most recent land use.

Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)	Lab & Manufacture (GSF)
1	0	0	0	21,300*
2	2,270*	0	0	0
Total	2,270	0	0	21,300

Note: Level 2 mechanical duct platform (white area below) is excluded from total GSF.
* Most recent land use.

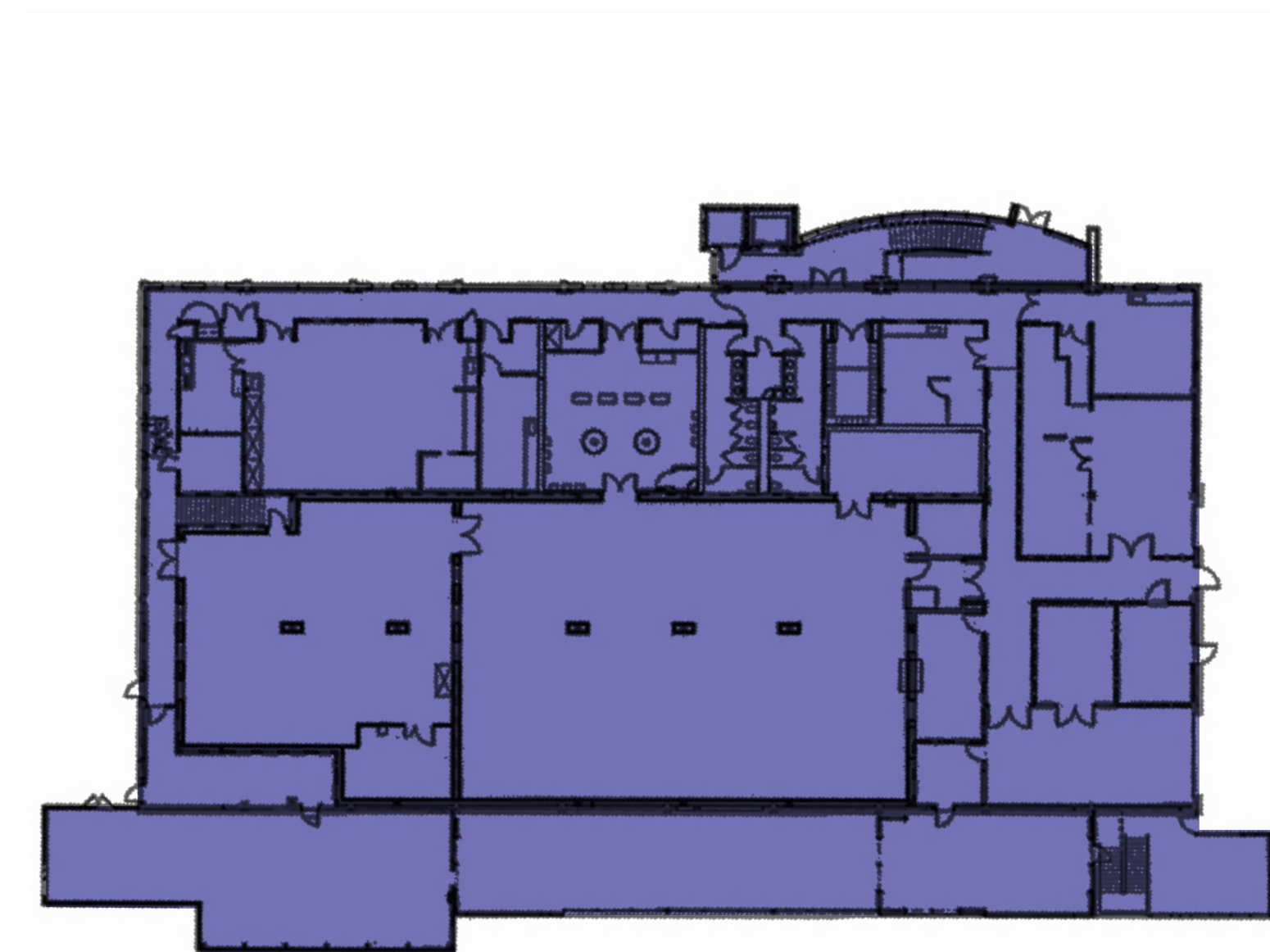


Level 2



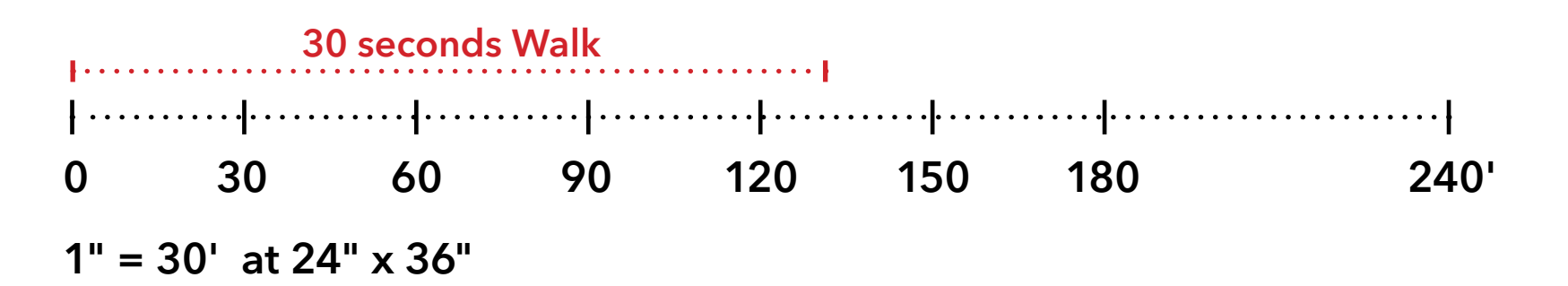
Level 1

MPK 50
1390 Willow Road



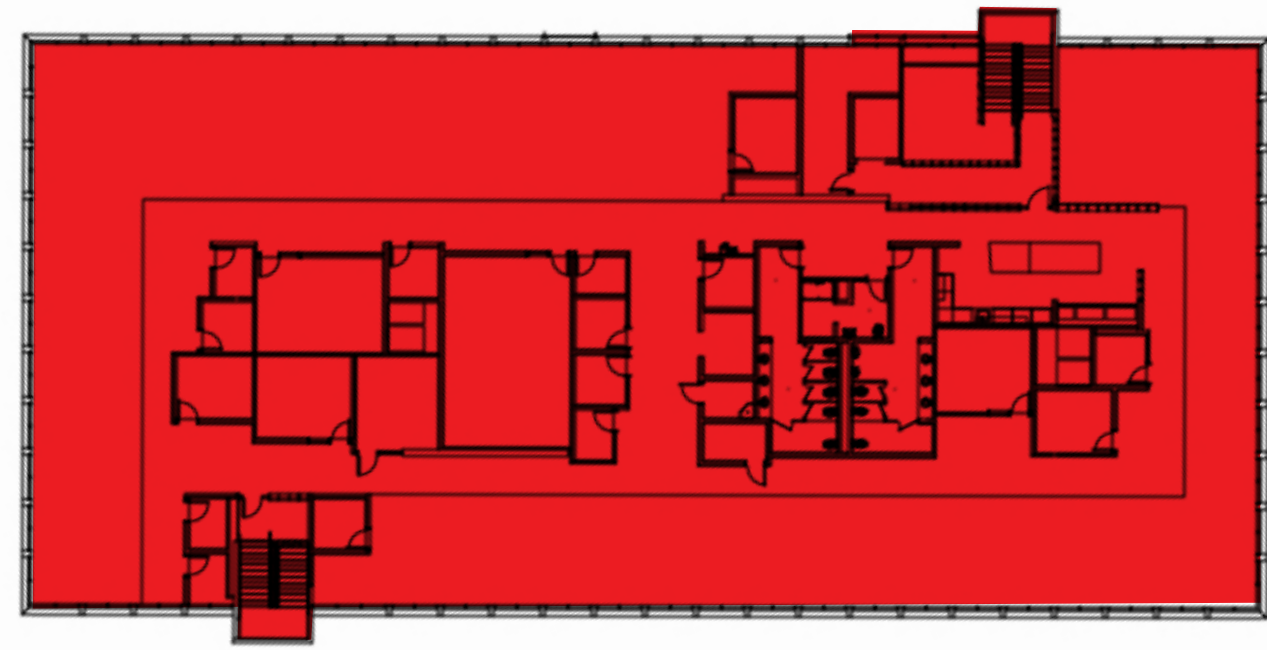
Level 1

MPK 51
940 Hamilton Avenue

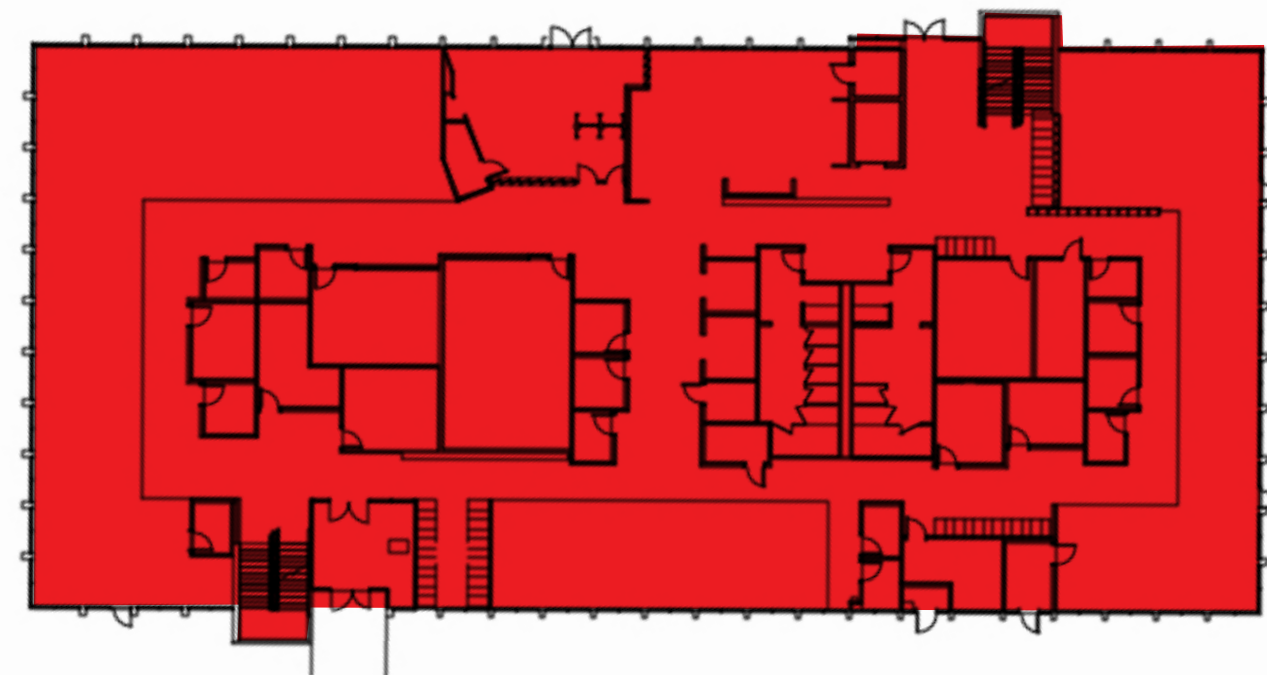


Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)
1	17,125	0	0
2	17,765	0	0
Total	34,890	0	0

Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	0	19,970	0

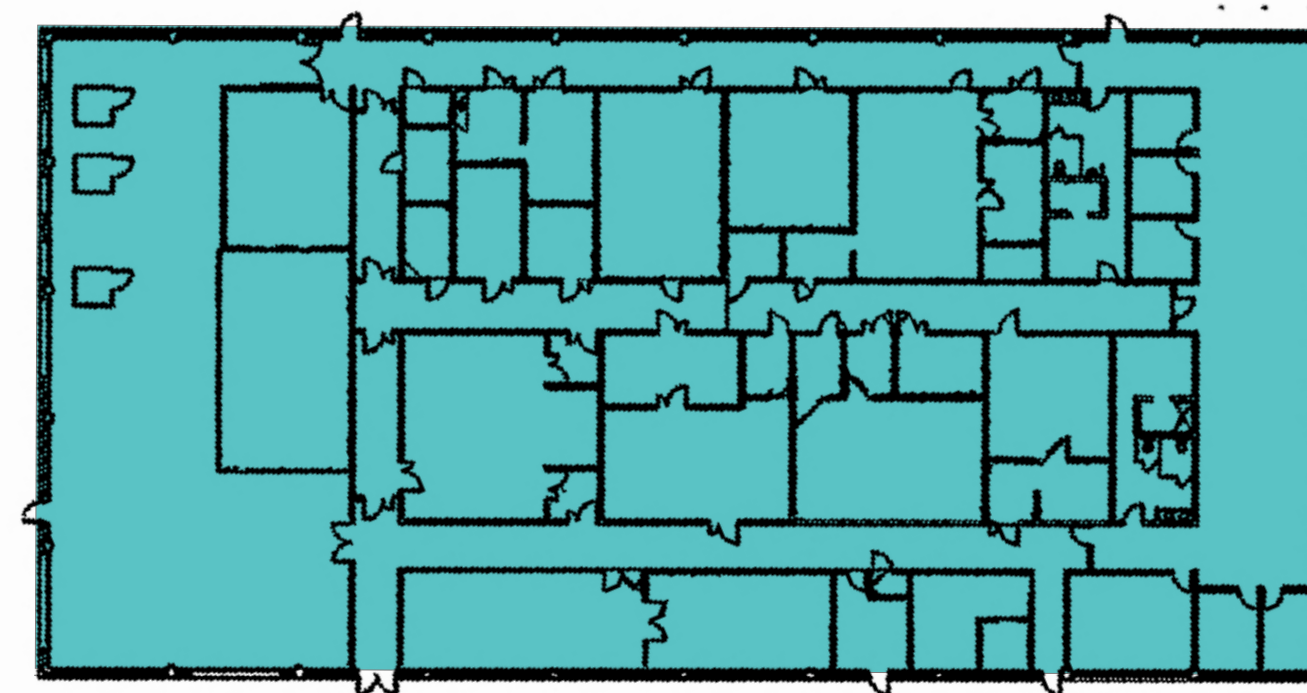


Level 2



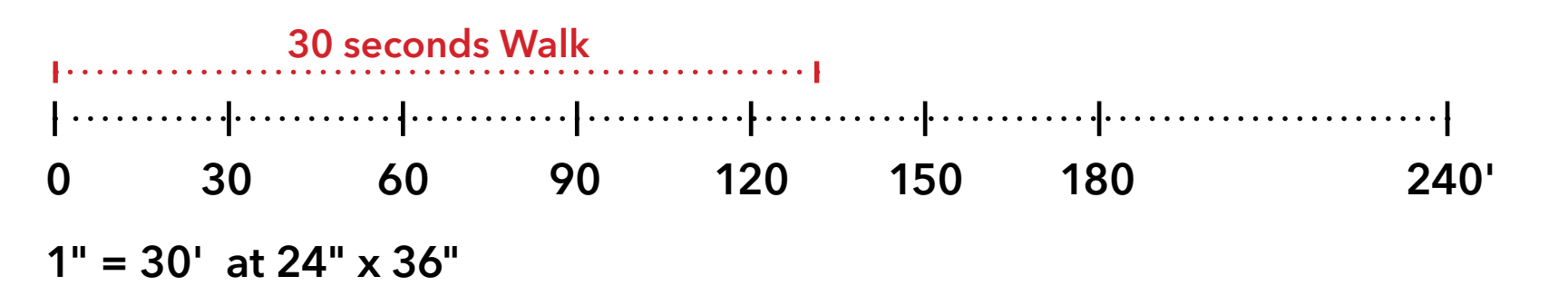
Level 1

MPK 52
1380 Willow Road



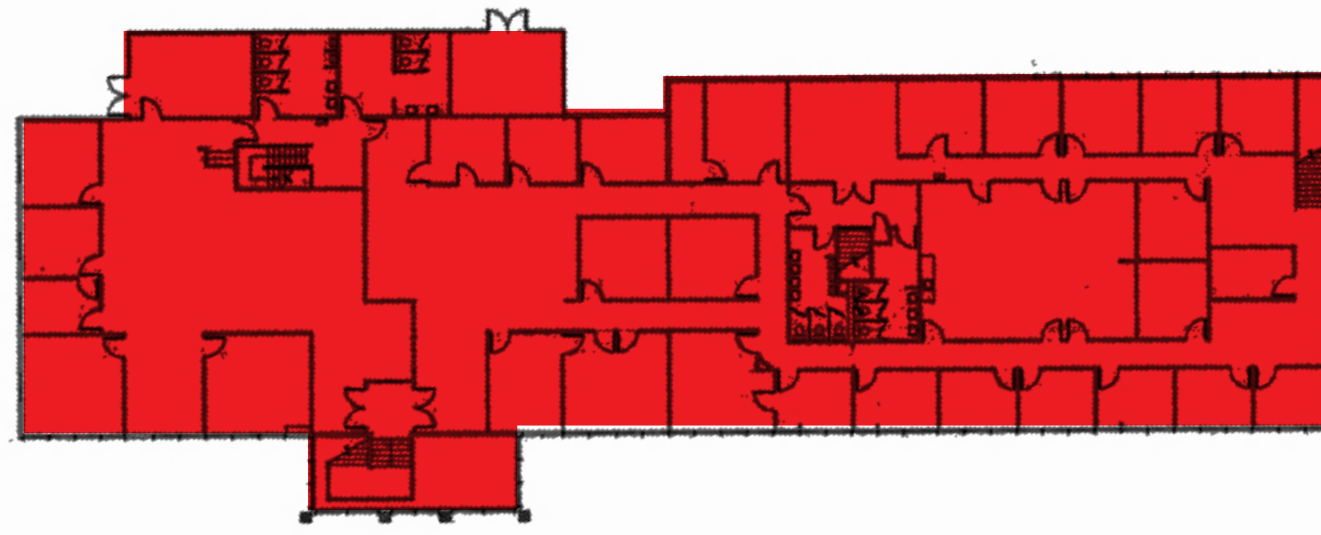
Level 1

MPK 53
960 Hamilton Avenue

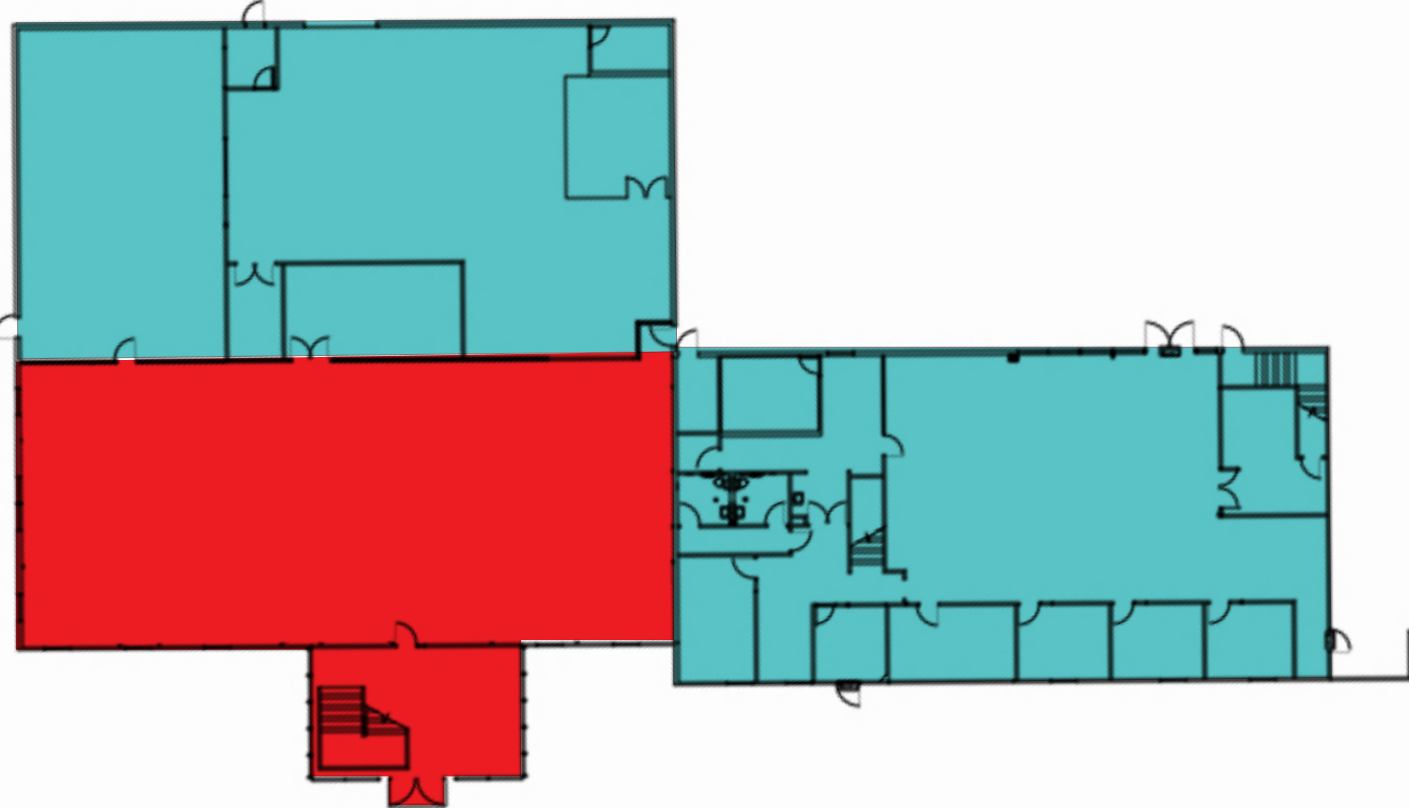


Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)
1	5,020*	10,050**	0
2	11,670*	0	0
Total	16,690	10,050	0

* Most recent land use.
** Current land use.



Level 2

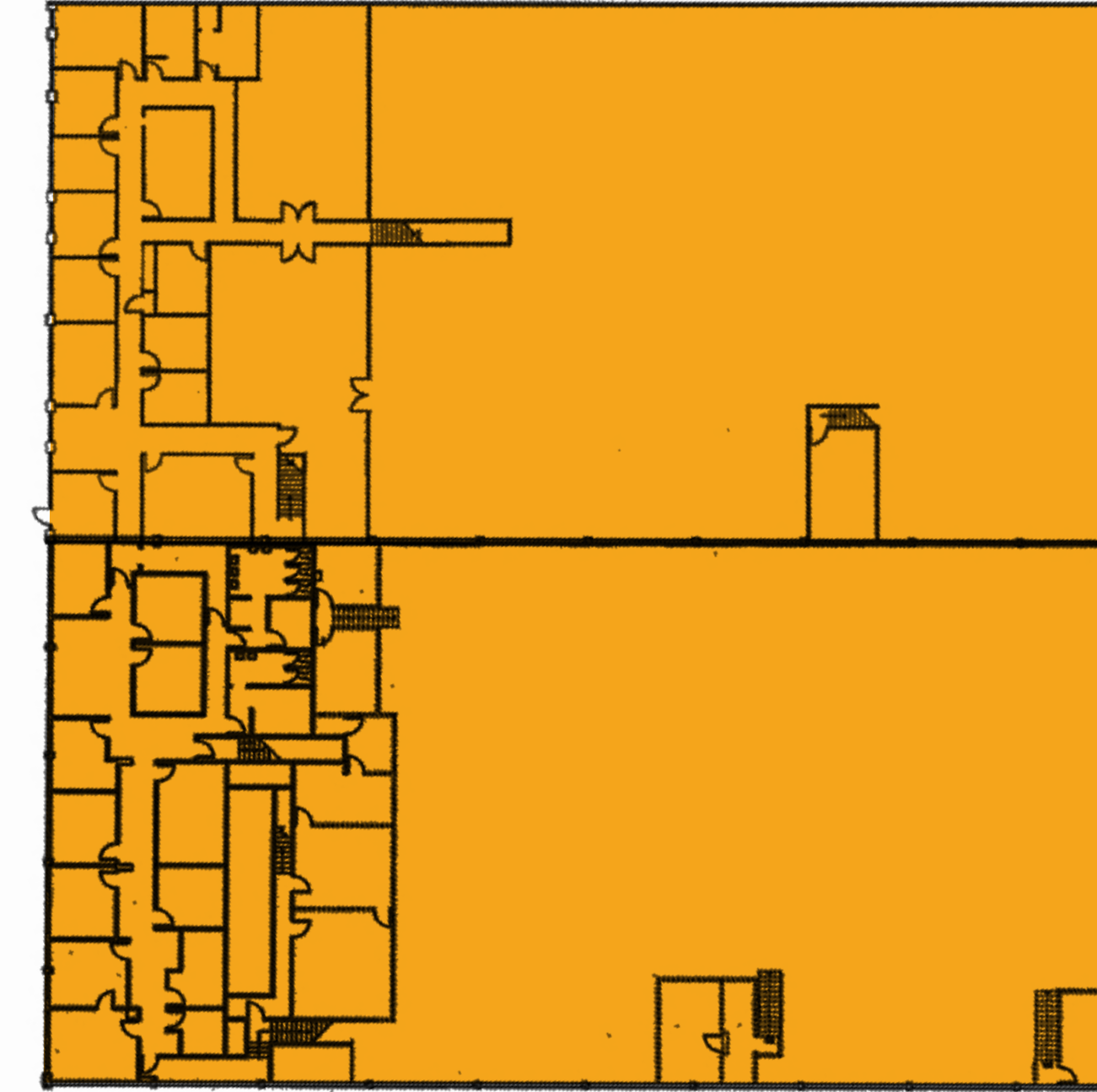


Level 1

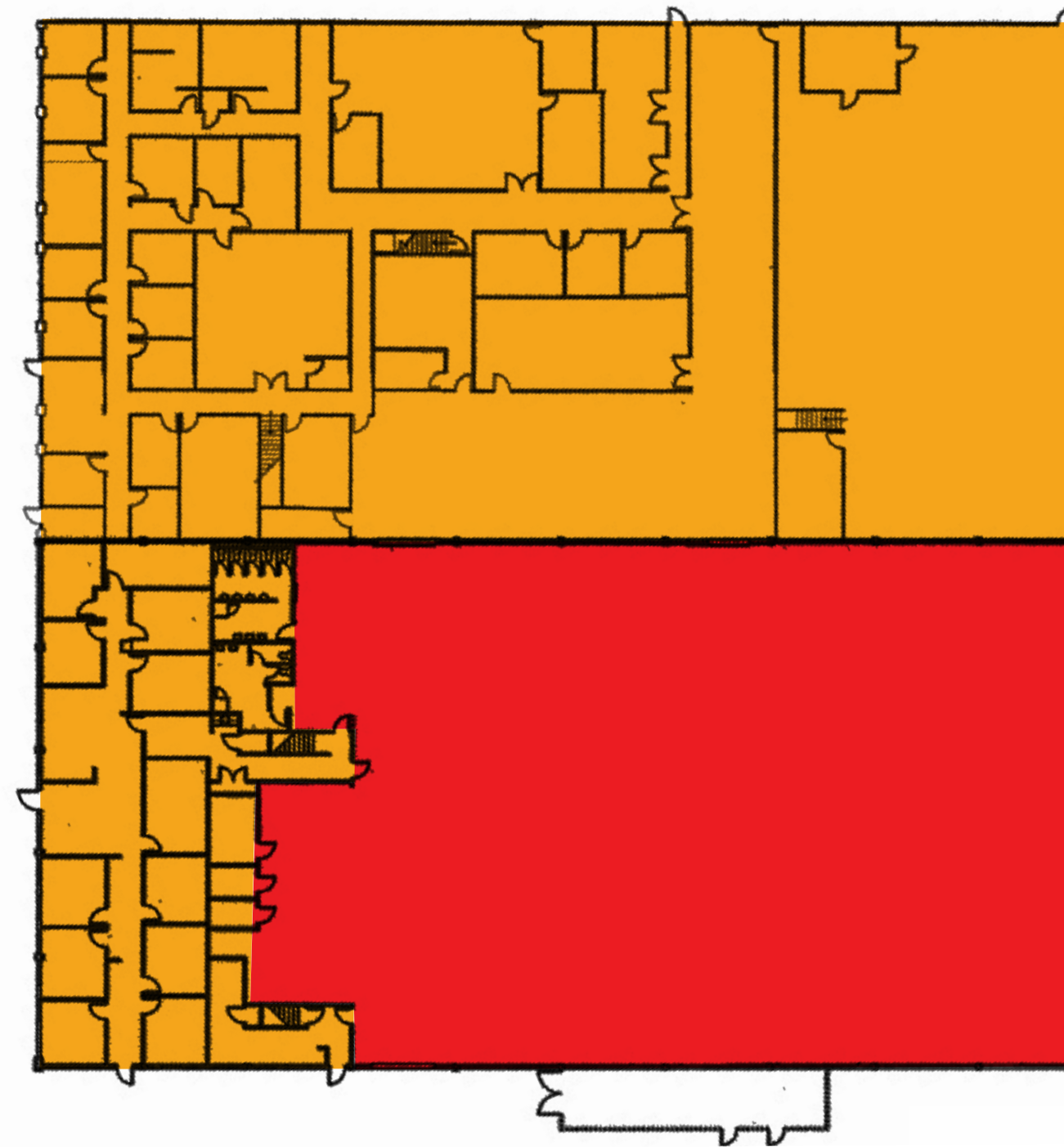
MPK 54
1370 Willow Road

Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)	Former Fire Department (GSF)
1	15,345**	0	0	24,705*
2	0	0	0	40,050*
Total	15,345	0	0	64,755

* Most recent land use.
** Current land use.

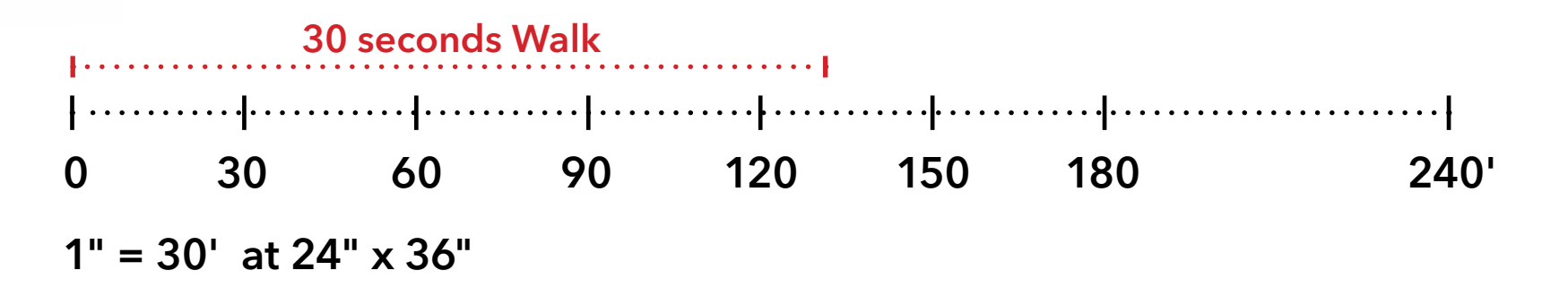


Level 2



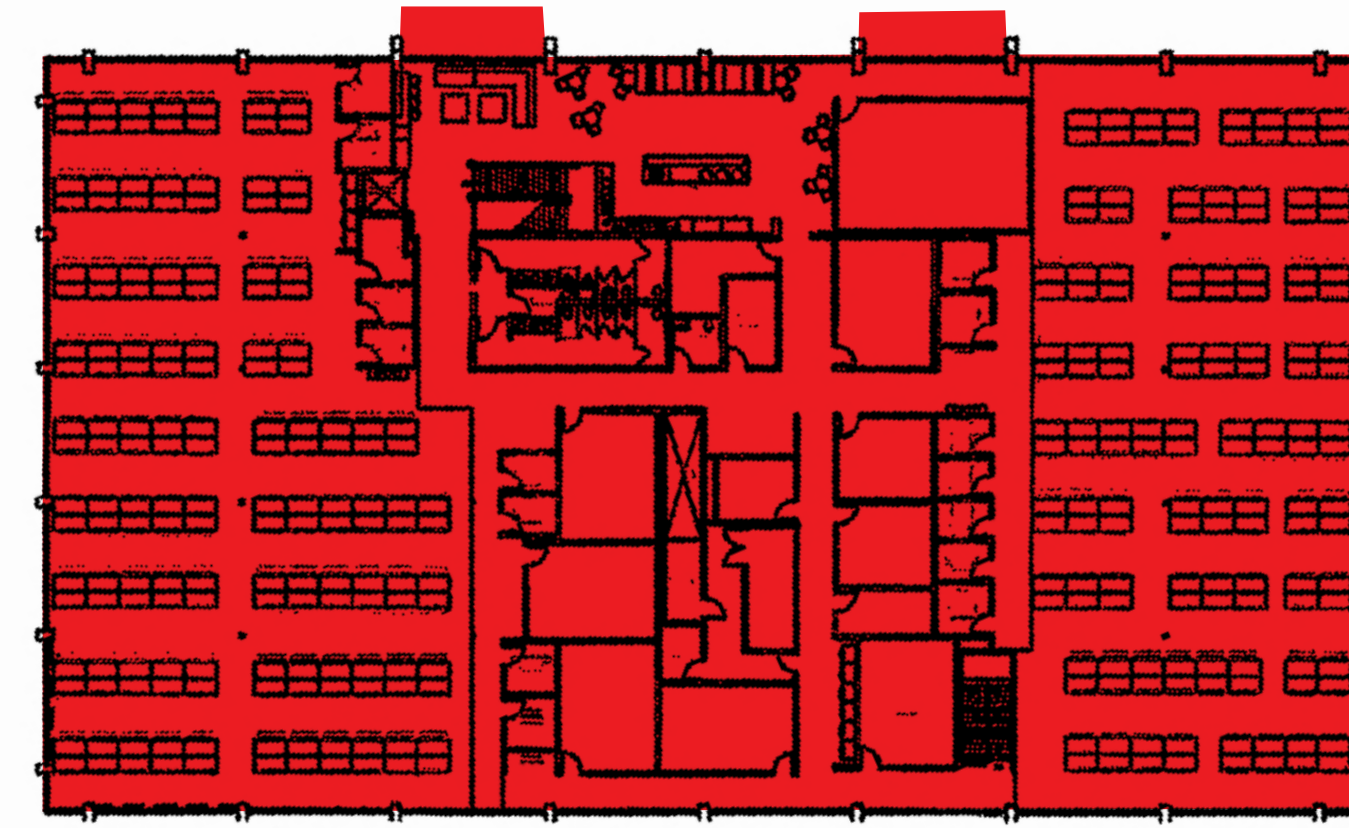
Level 1

MPK 55
1374-1376 Willow Road

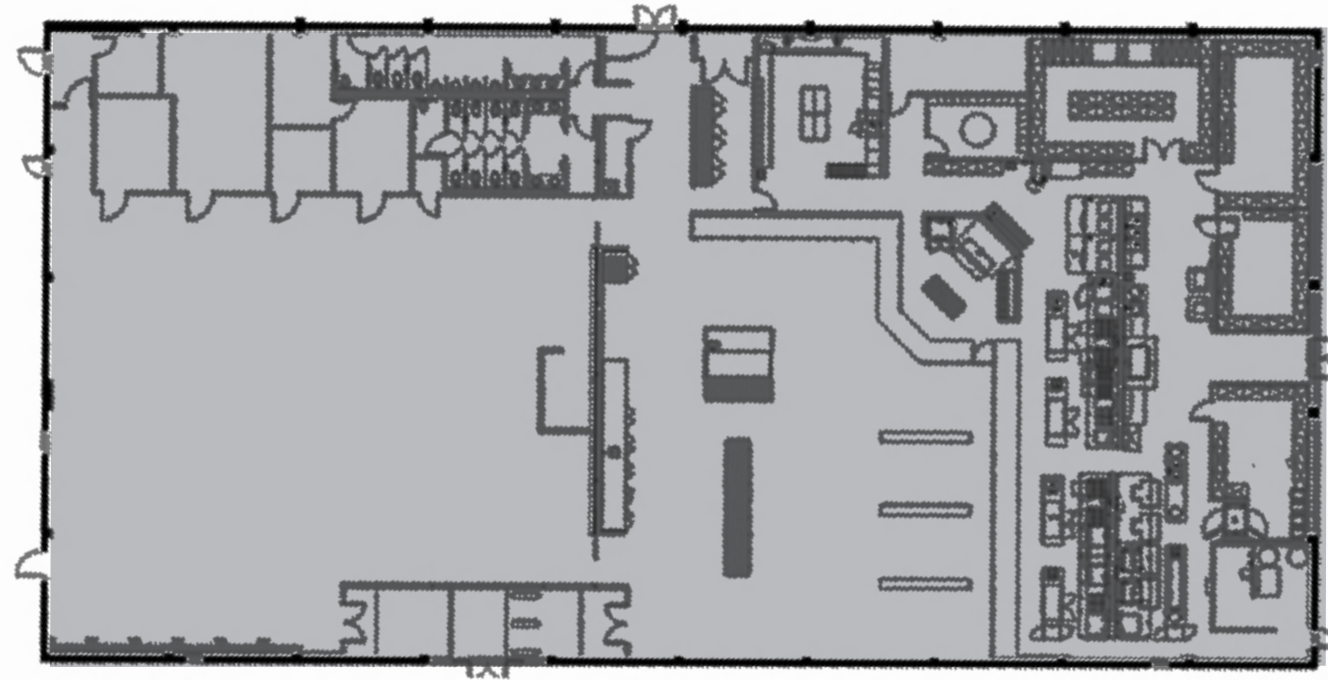


Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	0	0	19,990

Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)
1	25,250	0	0
2	25,250	0	0
Total	50,500	0	0



Level 2



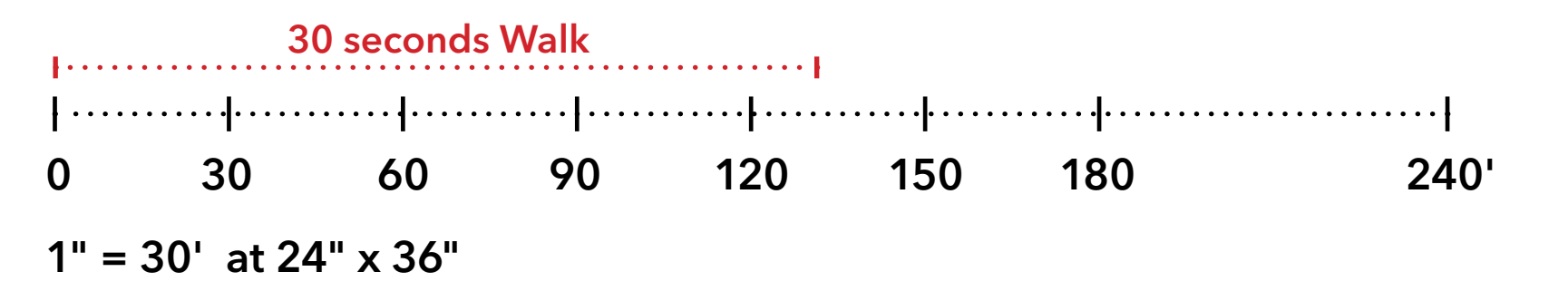
Level 1

MPK 56
980 Hamilton Avenue



Level 1

MPK 57
1350 Willow Road



Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)
1	23,825	0	0
2	24,135	0	0
Total	47,960	0	0

Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	17,700	8,060	0

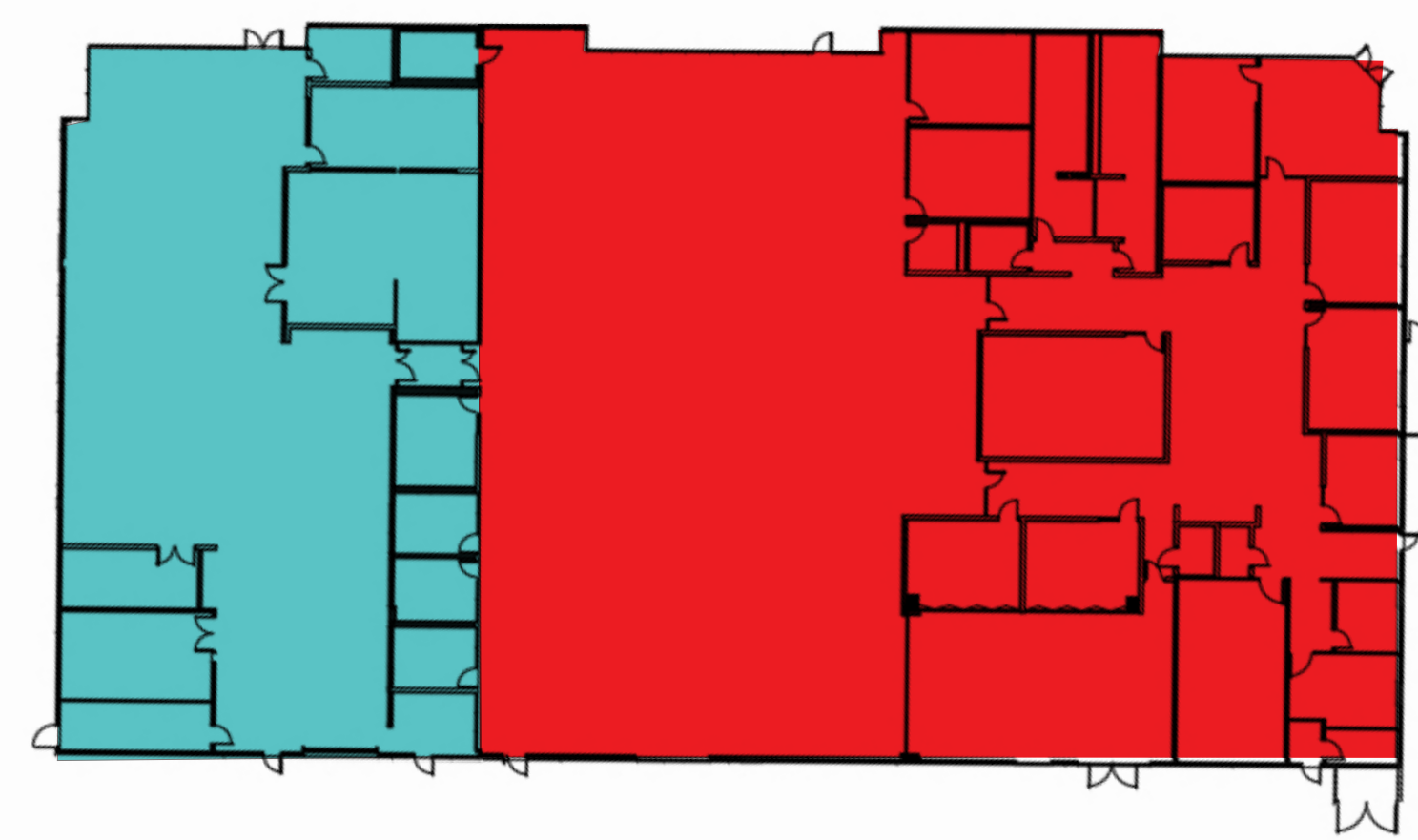


Level 2



Level 1

MPK 58
1360 Willow Road



Level 1

MPK 59
990-998 Hamilton Avenue

