

# WILLOW VILLAGE

Menlo Park, CA

## MASTER PLAN CONDITIONAL DEVELOPMENT PERMIT

Peninsula Innovation Partners  
October 19, 2022

Note:

The following terms in this Masterplan shall have definitions per the CDP Narrative Text as indicated:

"Standards" (defined per Section 2.2.1), "Conceptual" (defined per Section 2.2.2), and "Illustrative" (defined per Section 2.2.3)

### TABLE OF CONTENTS

G1.01	Project Context	G4.02	Conceptual Fire Access Plan	G5.11	Conceptual Street Enlargement - East Loop Road & Multi-use Pathway	G5.32	Conceptual Lighting Fixture Types
G1.02	Existing Condition Aerial Map	G4.03	Conceptual Inter-Campus Tram Route	G5.12	Conceptual Publicly Accessible Park	G5.33	Conceptual Lighting Fixture Types
G1.03	Zoning Map	G4.04	Conceptual Primary Tram Route	G5.13	Conceptual Publicly Accessible Dog Park	G6.01	(Not Used)
G1.04	Existing Land Use Map	G4.05	Conceptual Shuttle Route	G5.14	Conceptual Willow Road Tunnel / MPK20 Portal	G6.02	(Not Used)
G1.05	General Plan/Zoning FAR Area Determination	G4.06	Conceptual Transit Center Enlargement	G5.15	Conceptual Willow Road Tunnel / Willow Village Portal	G6.03	(Not Used)
G1.06	Heritage Tree Removal Plan	G4.07	Conceptual Vehicular Circulation Plan	G5.16	(Not Used)	G6.04	Conceptual Operations and Maintenance Responsibility Diagram
G1.07	Heritage Tree Removal Plan	G4.08	Variant: Conceptual Vehicular Circulation Plan	G5.17	Conceptual Realigned Hamilton Avenue & Elevated Park Access	G6.05	(Not Used)
G1.08	Heritage Tree Removal Plan	G4.09	Conceptual Service Circulation Plan	G5.18	Conceptual Public Realm Tree Planting Plan	G6.06	(Not Used)
G1.09	Heritage Tree Removal Plan	G4.10	Conceptual Pedestrian Circulation Plan	G5.19	Conceptual Representative Tree Palette	G6.07	Conceptual Emergency Location Plan
G2.01	Conceptual Master Plan	G4.11	Conceptual Bicycle Circulation Plan	G5.20	Conceptual Representative Shrub Palette	Appendix 1	Parcel 1-8 Illustrative GFA
G2.02	Illustrative Main Street Entry	G4.12	Conceptual Circulation Details	G5.21	Conceptual Representative Material Palette	Appendix 2	Parcel 1-8 Illustrative Building Height
G2.03	Illustrative Main Street	G5.01	Conceptual Public Realm Landscape Plan	G5.22	Conceptual Lighting Plan: Overall	Appendix 3	Parcel 1-8 Illustrative Open Space
G2.04	Illustrative Campus District	G5.02	Conceptual Street Enlargement - Main Street A	G5.23	Conceptual Lighting Plan: Quadrant A	Appendix 4	Parcel 1-8 Illustrative Parking
G2.05	Illustrative Publicly Accessible Park	G5.03	Conceptual Street Enlargement - Main Street B	G5.24	Conceptual Lighting Plan: Quadrant B	Appendix 5	Parcel 1-8 Illustrative Site Plan
G2.06	Conceptual Willow Road Elevation	G5.04	Conceptual Street Enlargement - Main Street C	G5.25	Conceptual Lighting Plan: Quadrant C	Appendix 6	Parcel 1-8 Illustrative Refuse, Recycling, and Zero Waste Diagram
G3.01	Conceptual District Plan	G5.05	Conceptual Street Enlargement - Center Street	G5.26	Conceptual Lighting Plan: Quadrant D	Appendix 7	Conceptual Hamilton Parcels
G3.02	Conceptual Public ROW Plan	G5.06	Conceptual Street Enlargement - West Street	G5.27	Conceptual Lighting Plan: Quadrant E	Appendix 8	Existing Land Use Enlargement
G3.03	Illustrative GFA / Unit Count Plan	G5.07	Conceptual Street Enlargement - Park Street	G5.28	Conceptual Lighting Plan: Quadrant F	Appendix 9	Off-Site Heritage Tree Removal Plans
G3.04	Illustrative Building Height Plan	G5.08	Conceptual Street Enlargement - Willow Road	G5.29	Conceptual Lighting Plan: Quadrant G	Appendix 10	Conceptual On-Site Recycled Water System
G3.05	Illustrative Open Space Plan	G5.09	Conceptual Street Enlargement - North Loop Road & Multi-use Pathway (A)	G5.30	Conceptual Lighting Plan: Quadrant H		
G4.01	Illustrative Parking Plan	G5.10	Conceptual Street Enlargement - North Loop Road & Multi-use Pathway (B)	G5.31	Conceptual Lighting Plan: Quadrant I		



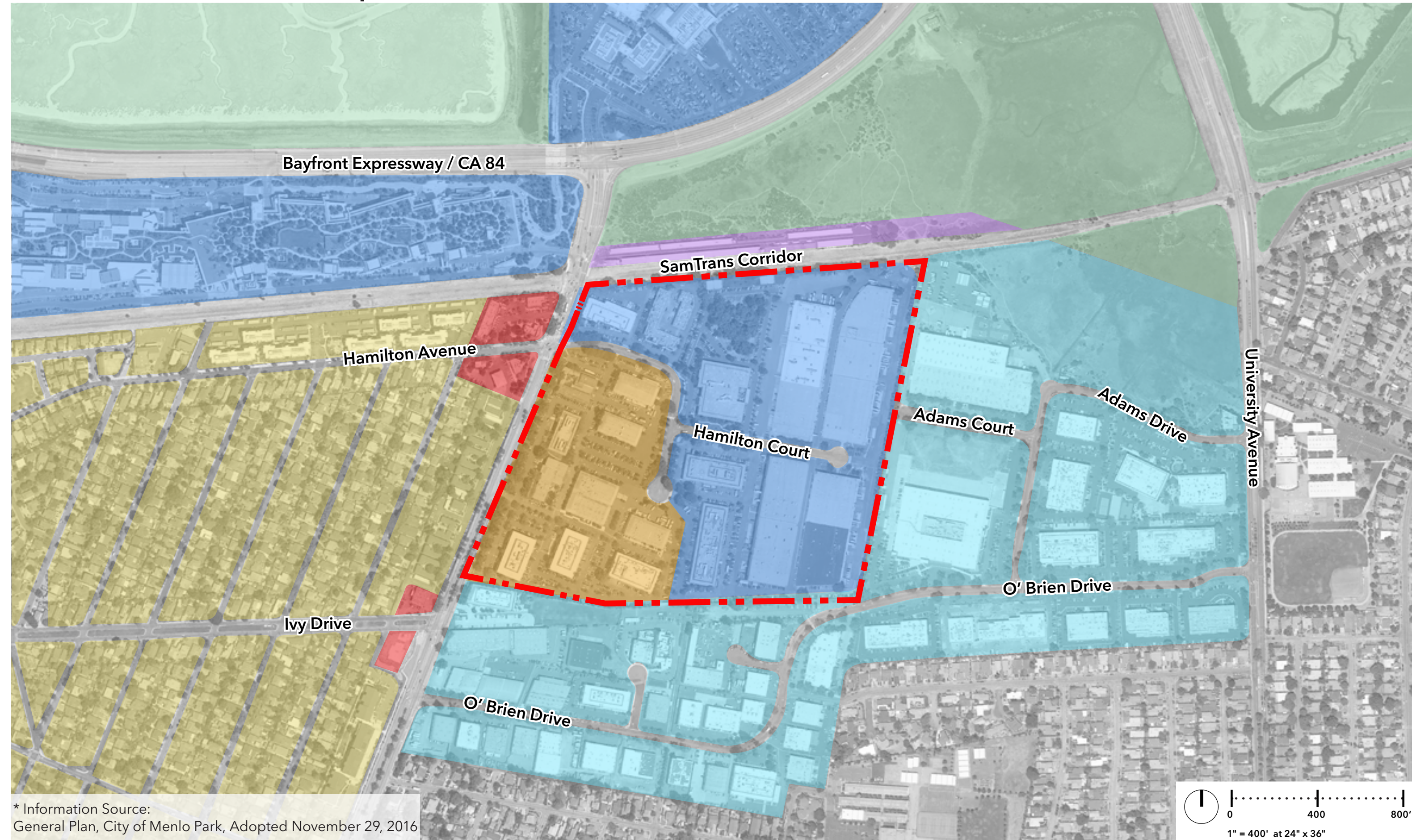
Location Map



Assessor's Parcel Numbers



General Plan Land Use Map



General Plan

**Office.** This designation provides for office and R&D uses, business-oriented community education and training facilities, supportive sales and personal services, corporate housing, and hotel uses. The designation also accommodates existing and new light-industrial or residential uses in the vicinity. Hotels are allowed as options in several locations. The maximum base FAR shall be 45 percent and the maximum bonus FAR with community amenities shall be 100 percent. Maximum FAR for corporate housing shall be 60 percent, for retail and service uses shall be 25 percent, and for hotels shall be 175 percent

**Mixed Use Residential.** This designation provides for higher density housing to meet the needs of all income levels. It also allows mixed use developments with integrated or stand-alone supportive sales and service uses, and uses that are consistent with the Office Designation. Sales uses can range from small-scale businesses that serve nearby employment to a large-format grocery to serve adjacent neighborhoods. This designation is intended to promote live/work/play environments oriented toward pedestrians, transit, and bicycle use, especially for commuting to nearby jobs. The maximum base residential density shall not exceed 30 units per acre, and the maximum bonus FAR is 100 units per acre. Maximum base FAR for residential uses shall be 90 percent, and a maximum of 225 percent for bonus FAR. Non-residential uses shall have a maximum base FAR of 15 percent and bonus FAR of 25 percent.

General Plan Land Use Designations

- Residential
- Baylands
- Life Sciences
- Office
- Mixed Use Residential
- Light Industrial
- Commercial Business Park

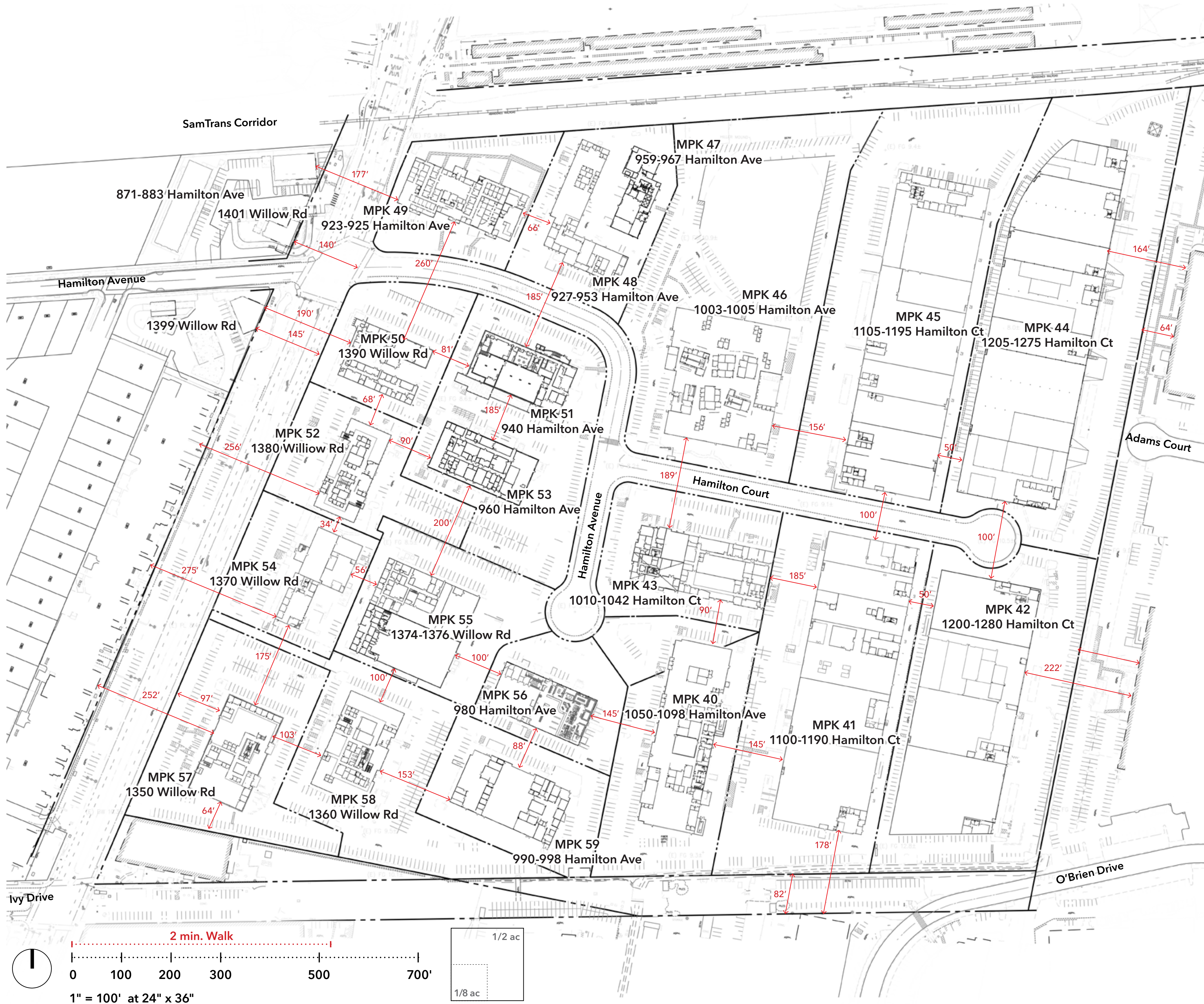








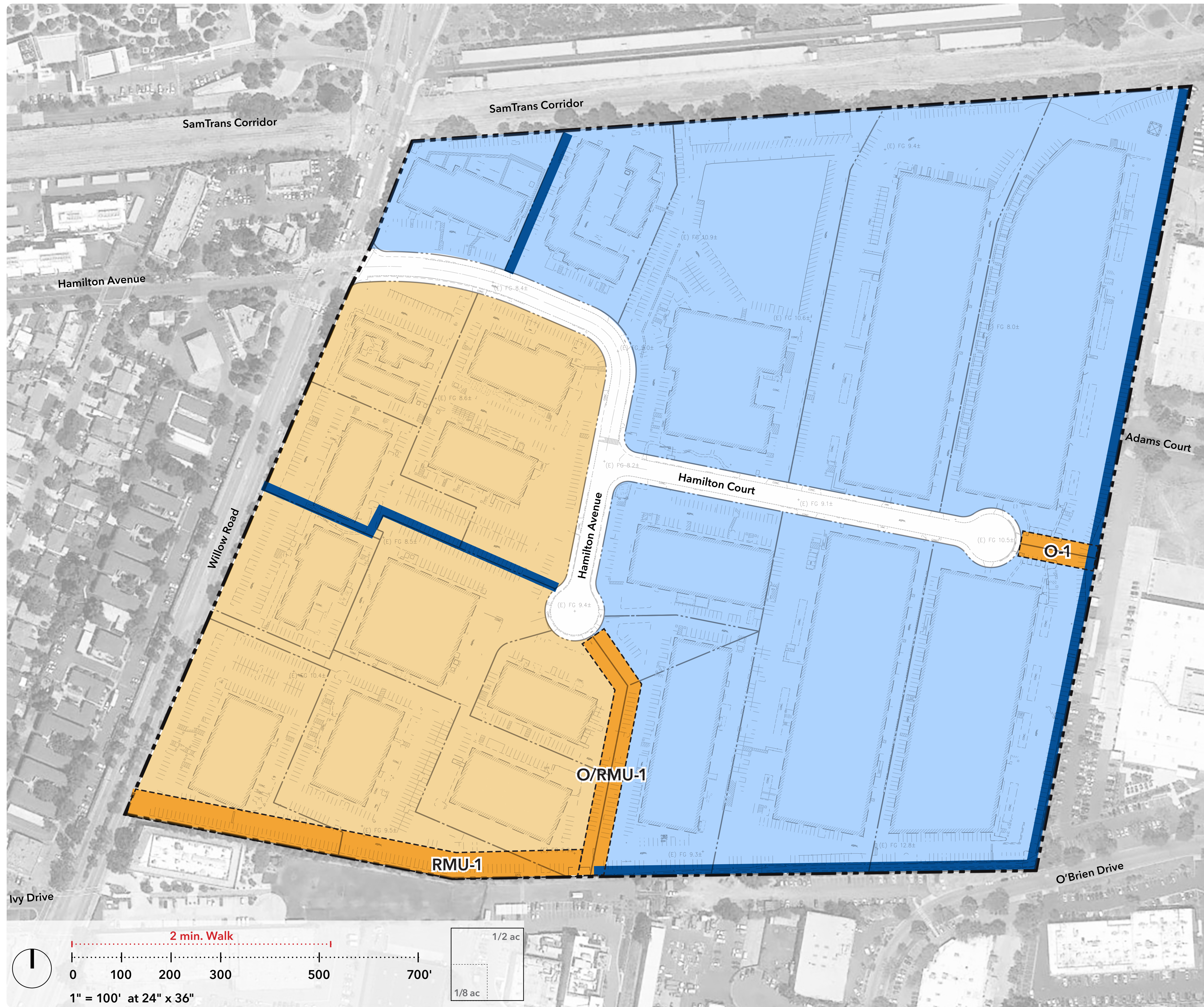




EXISTING LAND USE AREA SUMMARY						
Land Use by Bldg	Bldg#	Land Use Breakdown (GSF)				Area (GSF)
		Office	R&D	Warehouse	Lab & Manufacture	
Office	MPK 40	46,640	-	-	-	46,640
	MPK 46	56,340	-	-	-	56,340
	MPK 49	24,060	-	-	-	24,060
	MPK 50	15,200	-	-	-	15,200
	MPK 52	34,890	-	-	-	34,890
	MPK 57	50,500	-	-	-	50,500
	MPK 58	47,960	-	-	-	47,960
<b>Office Subtotal</b>						275,590
Office & R&D	MPK 43	10,250	10,590	-	-	20,840
	MPK 48	14,410	5,750	-	-	20,160
	MPK 54	16,690	10,050	-	-	26,740
	MPK 59	17,700	8,060	-	-	25,760
<b>Office &amp; R&amp;D Subtotal</b>						93,500
Office & Warehouse	MPK 55	15,345	-	64,755	-	80,100
<b>Office &amp; Warehouse Subtotal</b>						80,100
Office & Lab & Manufacture	MPK 51	2,270	-	-	21,300	23,570
<b>Office &amp; Lab &amp; Manufacture Subtotal</b>						23,570
R&D	MPK 47	-	10,400	-	-	10,400
	MPK 53	-	19,970	-	-	19,970
<b>R&amp;D Subtotal</b>						30,370
Warehouse	MPK 41	-	-	109,620	-	109,620
	MPK 42	-	-	107,350	-	107,350
	MPK 44	-	-	145,080	-	145,080
	MPK 45	-	-	118,740	-	118,740
	MPK 56	-	-	19,990	-	19,990
<b>Warehouse Subtotal</b>						500,780
<b>Total Land Use</b>		<b>352,255</b>	<b>64,820</b>	<b>565,535</b>	<b>21,300</b>	
<b>Total Project Site</b>		<b>1,003,910</b>				

Note: Refer to Appendix 8 for building-by-building details.





LEGEND	
	Site Boundary
	General Plan Office
	General Plan Residential Mixed Use
	General Plan Mixed Use Collector
	General Plan Paseo

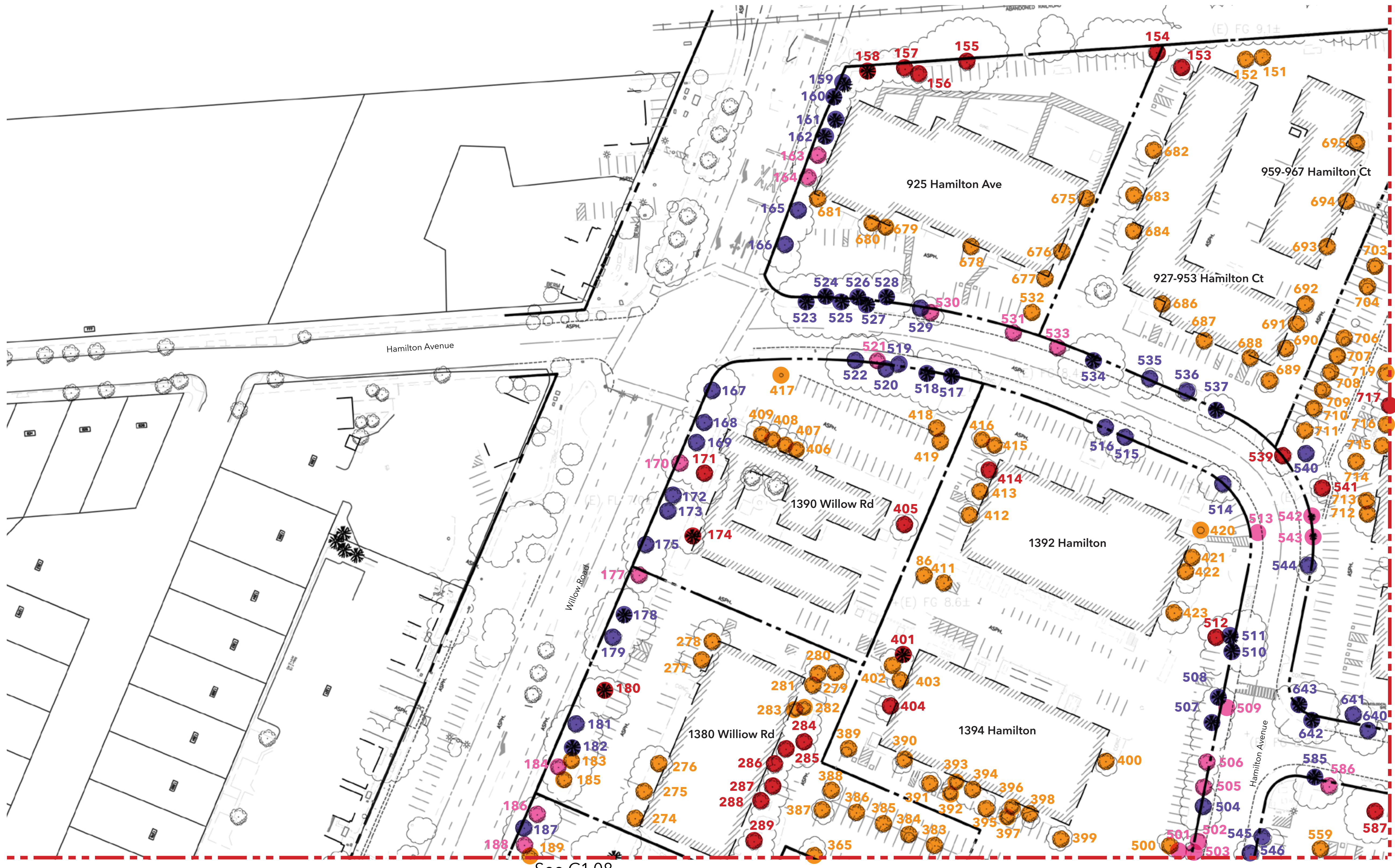
GENERAL PLAN AREA SUMMARY		
	Area (sf)	Area (acre)
Aggregate Site Area (ASA)	2,585,538.50	59.36
Existing ROW Area	128,737.50	2.96
Existing ASA Minus Existing ROW Area	2,456,801.00	56.40
General Plan Office Area	1,624,248.00	37.29
General Plan Residential Mixed Use Area	832,553.00	19.11

ZONING ROW AREA SUMMARY			
To-Be Deducted from Zoning	#	Area (sf)	Sub-total
O	O-1*	9,480.00	O - 24,975.00 sf; R-MU - 72,628.20 sf
R-MU	RMU-1*	57,133.20	
50% O; 50% R-MU	O/RMU-1*	30,990.00	
<b>Total</b>			<b>97,603.20 sf</b>

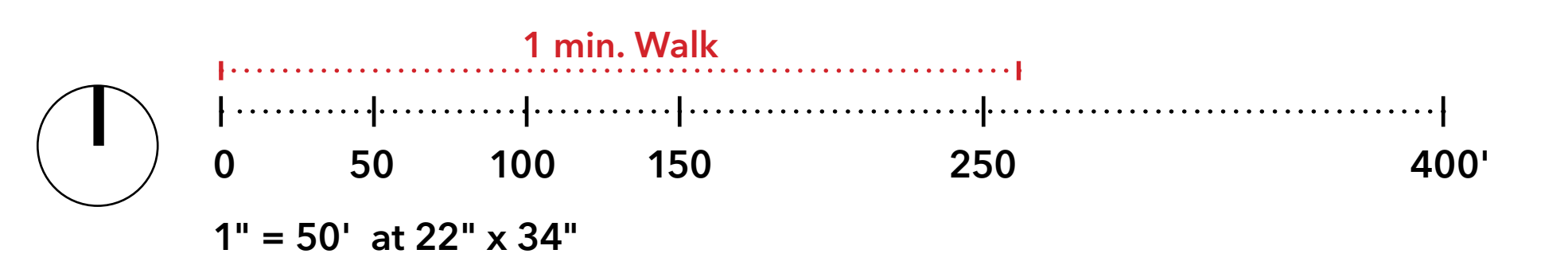
\*Proposed Mixed-Use Collector ROW width = 60 feet  
\*\*Paseos are not included in the General Plan ROW area calculations

ZONING DISTRICT FAR AREA SUMMARY		
	Area (sf)	Area (acre)
Aggregate Site Area (ASA)	2,585,538.50	59.36
Required O FAR Area General Plan O Area – ROW Area to-be deducted from O Zoning	1,599,273.00	36.71
Required R-MU FAR Area General Plan R-MU Area – ROW Area to-be deducted from R-MU Zoning	759,924.80	17.45
<b>Total Zoning ROW Area</b>	<b>226,340.70</b>	<b>5.20</b>
<b>ASA minus Existing ROW &amp; Zoning ROW</b>	<b>2,359,197.80</b>	<b>54.16</b>

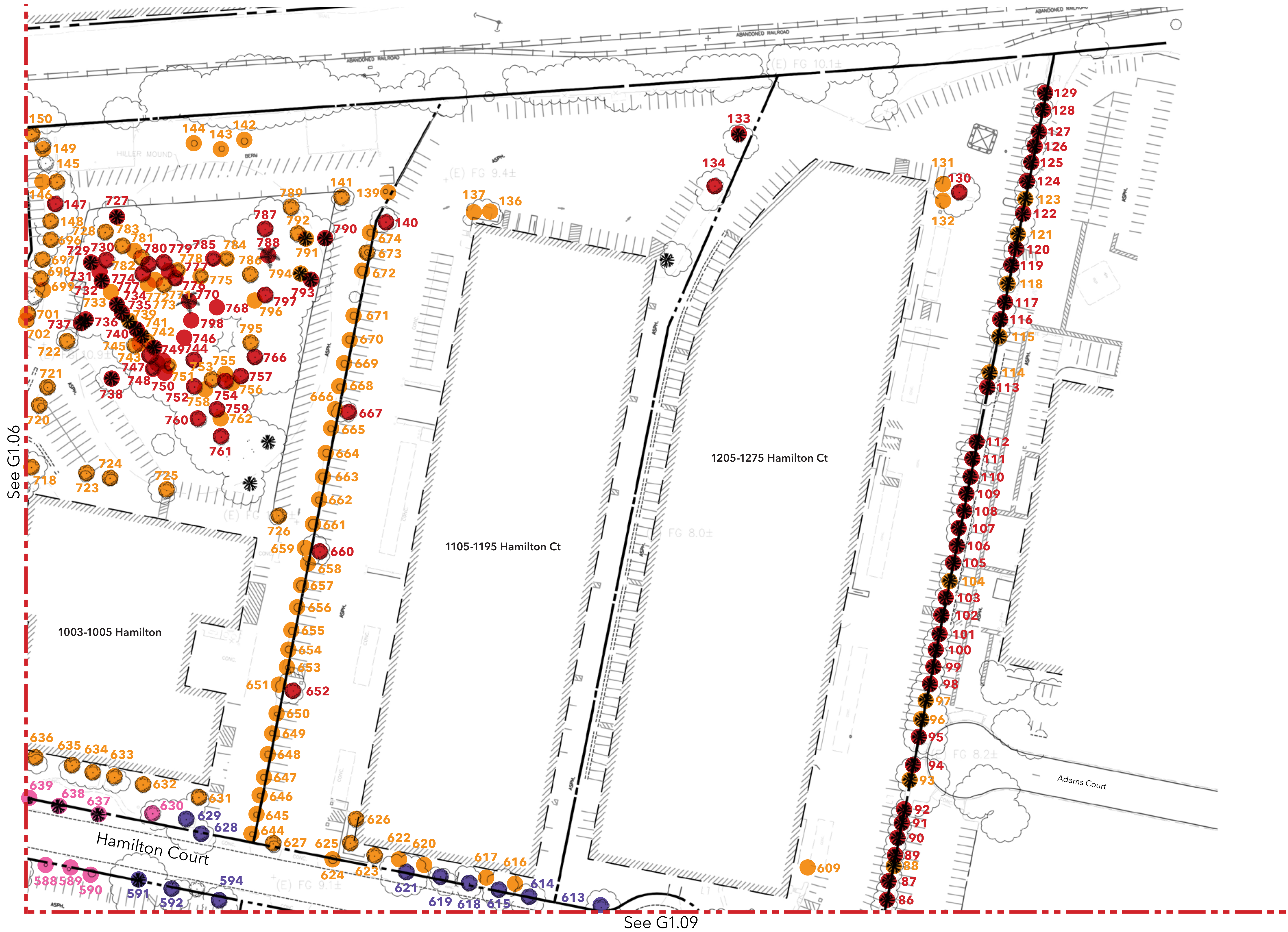




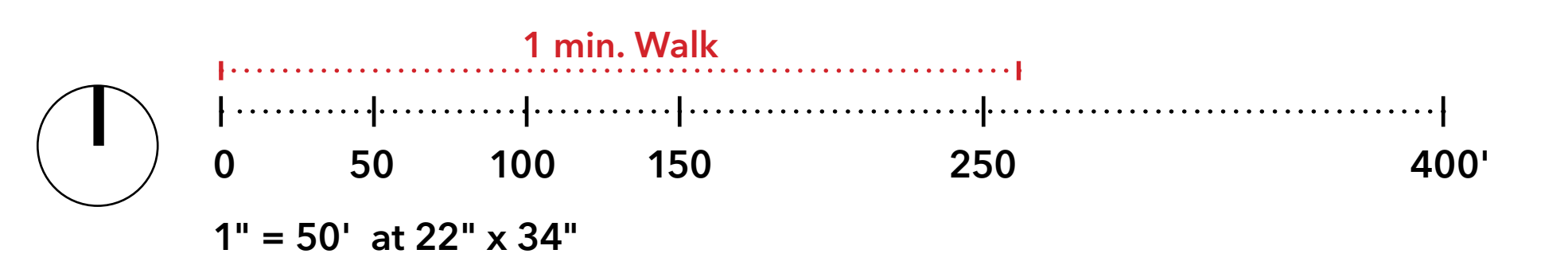
TREE INVENTORY SUMMARY		
Total Trees		805
Trees To-Be Removed		781
	Heritage Street Tree	87
	Heritage Tree	189
	Non-heritage Street Tree	54
	Non-heritage Tree	451
Trees To Remain		24
	Heritage Street Tree	N/A
	Heritage Tree	8
	Non-heritage Street Tree	N/A
	Non-heritage Tree	16
<small>Note: All tree replacements will meet minimum tree replacement value determined by the arborist, SBCA Tree Consulting, per arborist report dated August 16, 2022.</small>		





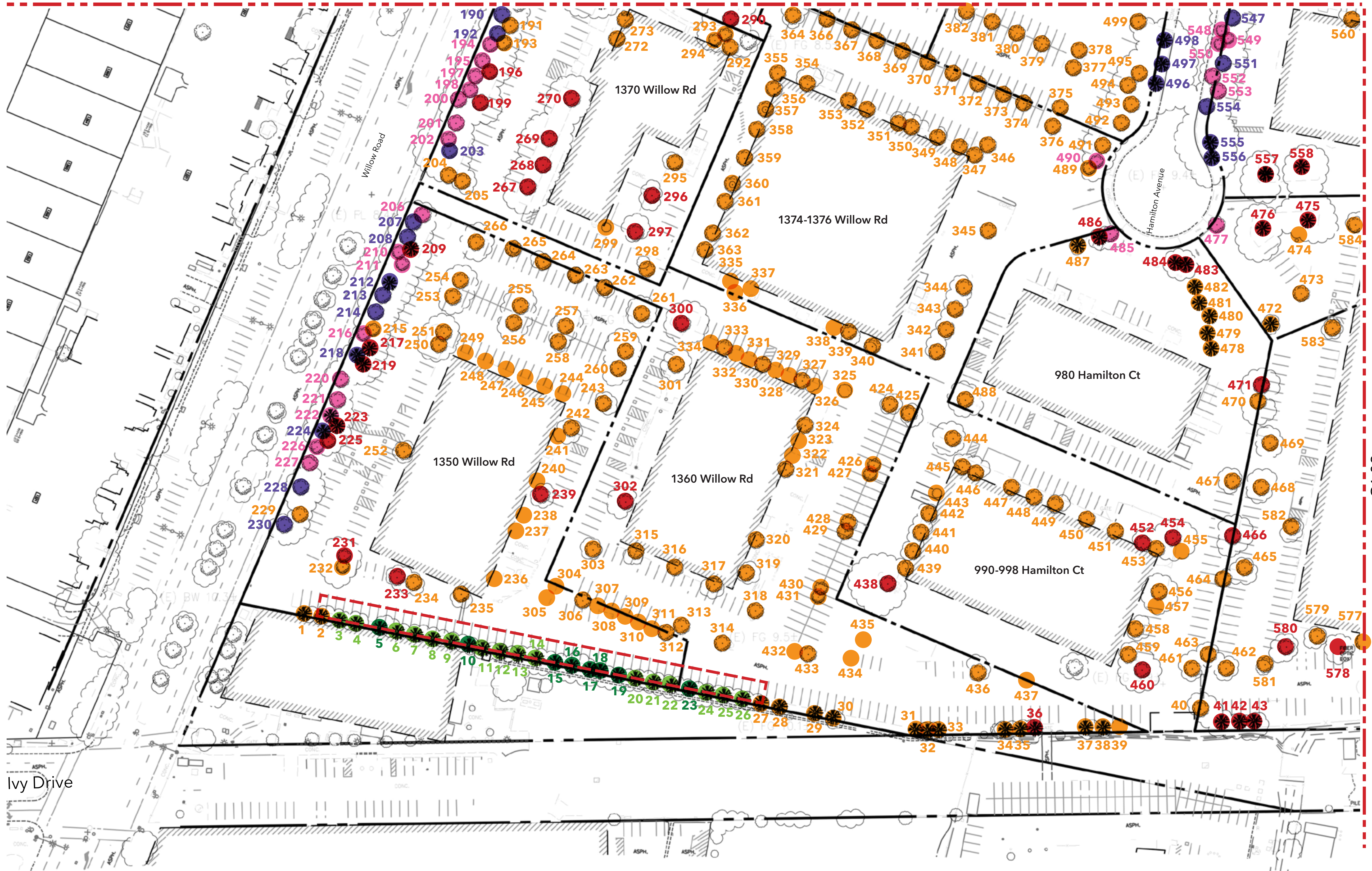


TREE INVENTORY SUMMARY		
Total Trees		805
<b>Trees To-Be Removed</b>		
	Heritage Street Tree	87
	Heritage Tree	189
	Non-heritage Street Tree	54
	Non-heritage Tree	451
<b>Trees To Remain</b>		
	Heritage Street Tree	N/A
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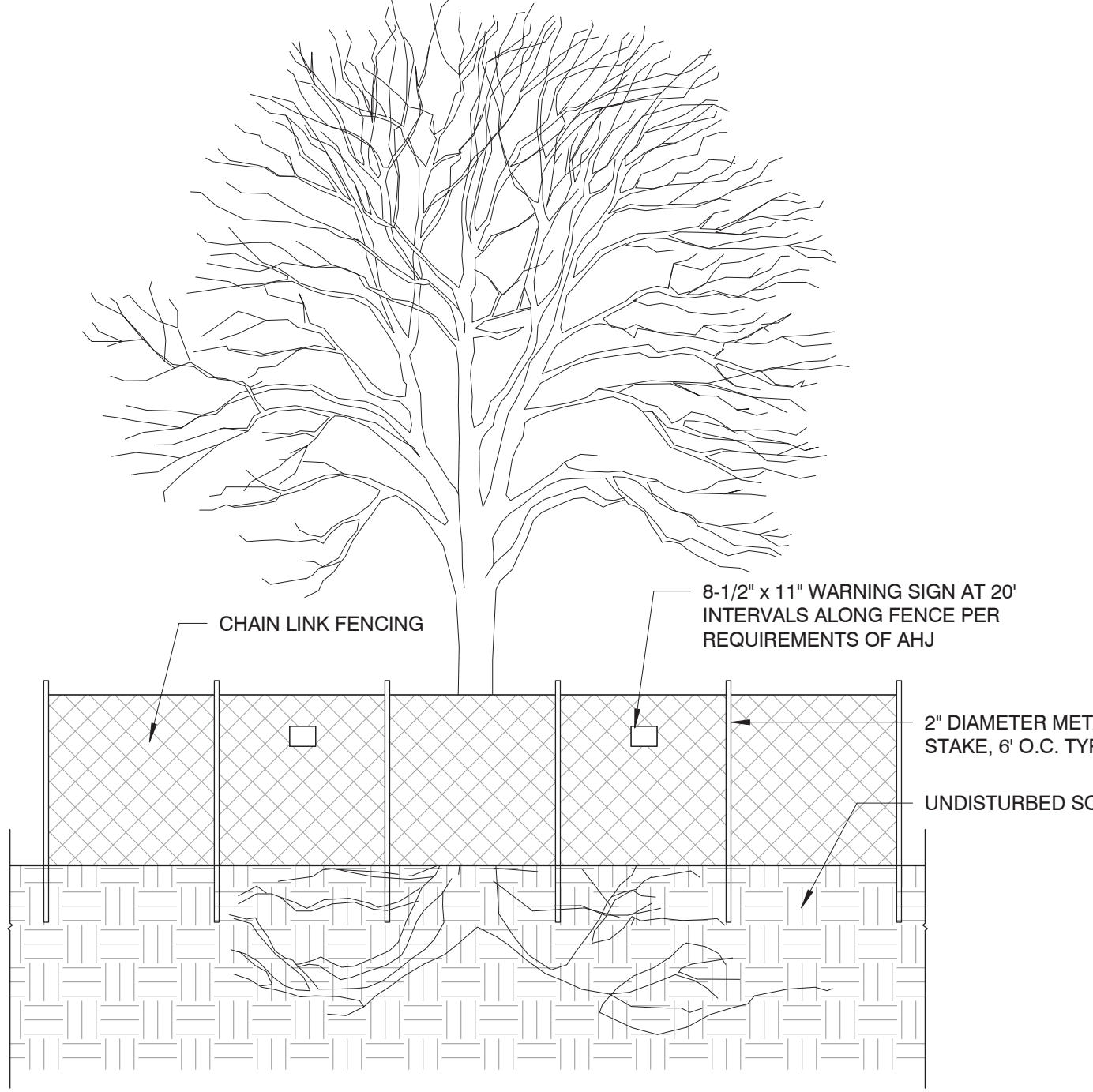
See G1.06



**TREE INVENTORY SUMMARY**

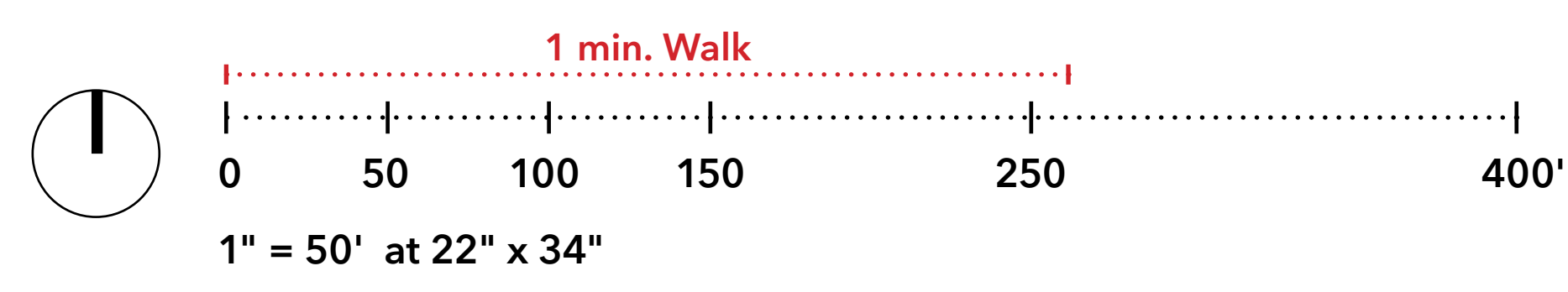
<b>Total Trees</b>		<b>805</b>
<b>Trees To-Be Removed</b>		<b>781</b>
	Heritage Street Tree	87
	Heritage Tree	189
	Non-heritage Street Tree	54
	Non-heritage Tree	451
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Note: All tree replacements will meet minimum tree replacement value determined by the arborist, SBCA Tree Consulting, per arborist report dated August 16, 2022.



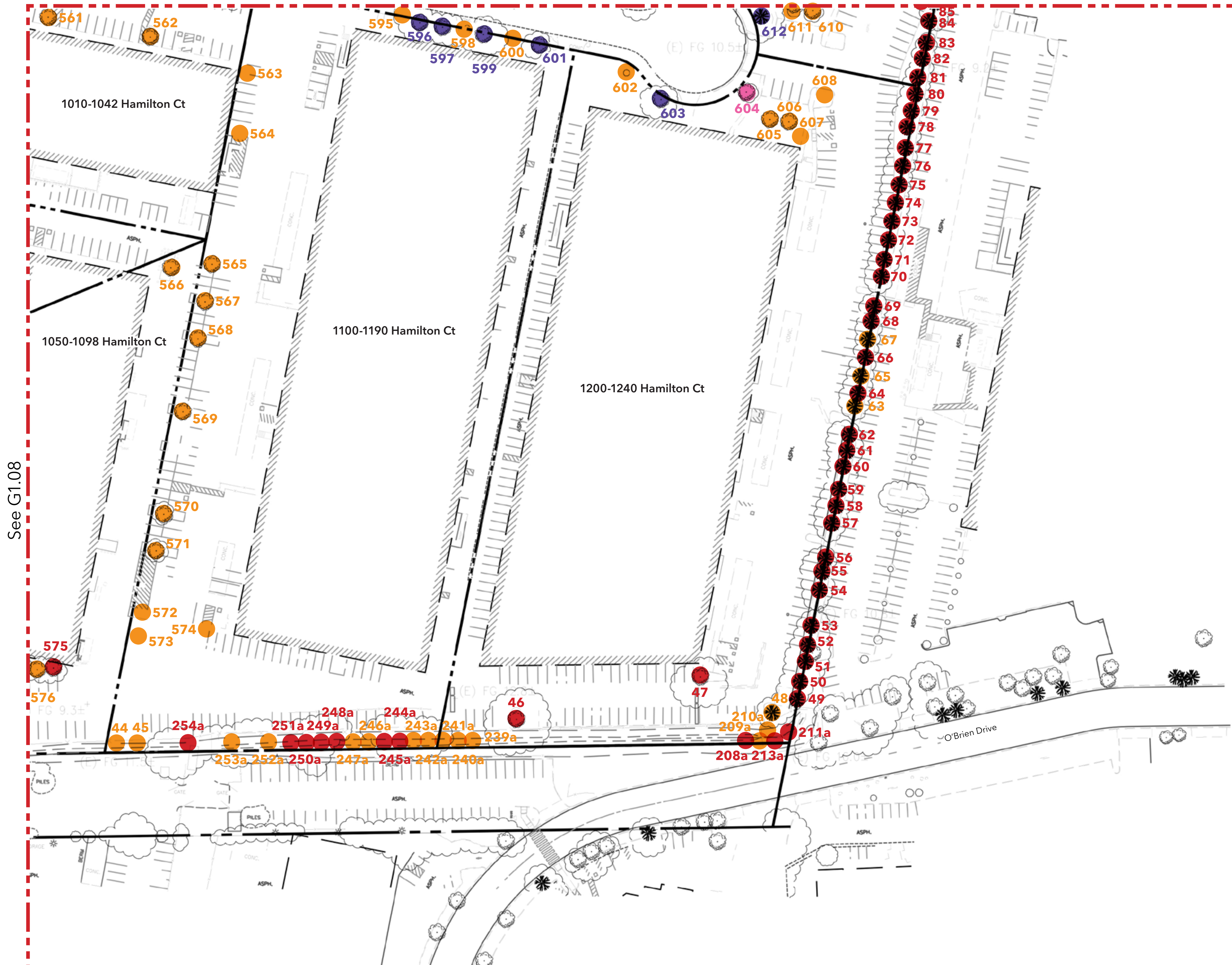
**TEMP. TREE PROTECTION DETAIL**  
SCALE: 3/16" = 1' - 0"

- NOTES**
- TREE IDENTIFICATION NUMBERS REFERENCE ARBORIST REPORT BY ERIC FOLMER DATED 2/1/2020, AND ARBORIST REPORT BY SBCA DATED 06/15/2021.
  - PROTECTIVE FENCING INSTALLED PRIOR TO ARRIVAL OF MATERIALS, VEHICLES, OR EQUIPMENT.
  - MOVING TREE PROTECTION FENCE PROHIBITED WITHOUT AUTHORIZATION FROM PROJECT ARBORIST AND CITY STAFF.
  - TREE PROTECTION ZONE COVERS PRIMARY ROOT PLATES (PRP) AT A MIN.
  - FOR DEMOLITION WITHIN AREAS OF TREE PROTECTION SEE PROJECT ARBORIST SPECIFICATIONS.














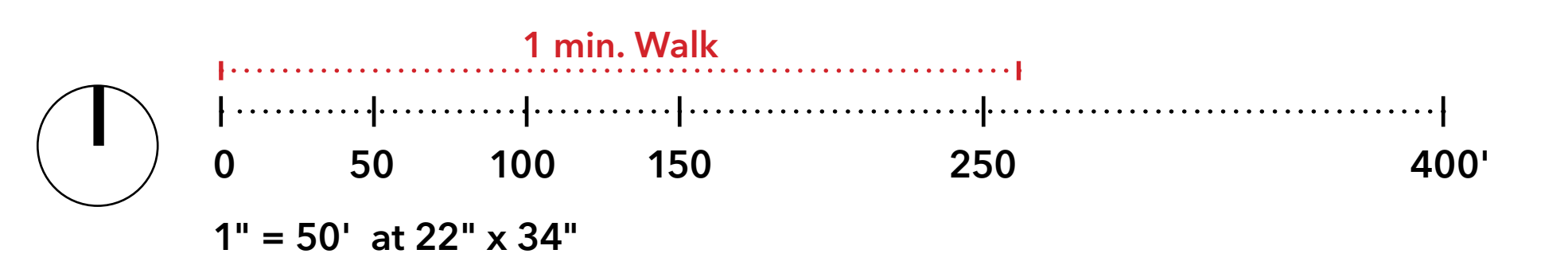
See G1.07



See G1.08

TREE INVENTORY SUMMARY		
<b>Total Trees</b>		<b>805</b>
<b>Trees To-Be Removed</b>		<b>781</b>
 	Heritage Street Tree	87
	Heritage Tree	189
	Non-heritage Street Tree	54
	Non-heritage Tree	451
<b>Trees To Remain</b>		<b>24</b>
	Heritage Street Tree	N/A
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	Non-heritage Tree	16

Note: All tree replacements will meet minimum tree replacement value determined by the arborist, SBCA Tree Consulting, per arborist report dated August 16, 2022.







LEGEND	
1	Town Square
2	Grocery Store on Ground Level
3	Publicly Accessible Park
4	Publicly Accessible Dog Park
5	Elevated Park Access (Elevator and Stairs)
6	Elevated Park
7	Hotel
8	Mixed-Use Block
9	Residential Block
10a	Office Campus
10b	Meeting & Collaboration Space
11	Parking Garage with Transit Hub on Ground Level
12	Proposed Multi-use Pathway
13	Willow Road Tunnel
14	Realigned Hamilton Avenue
15	Hamilton Avenue Parcel North
16	Hamilton Avenue Parcel South

Note: Willow Road improvements are subject to Caltrans approval.









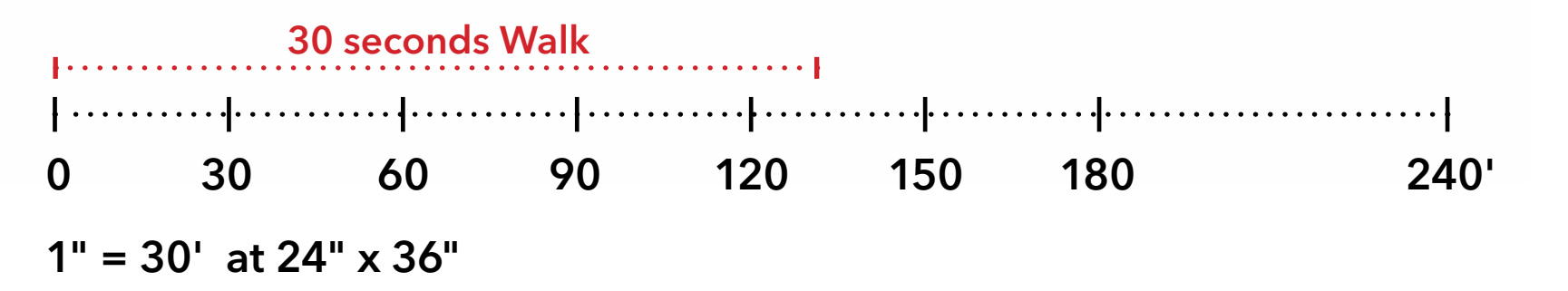
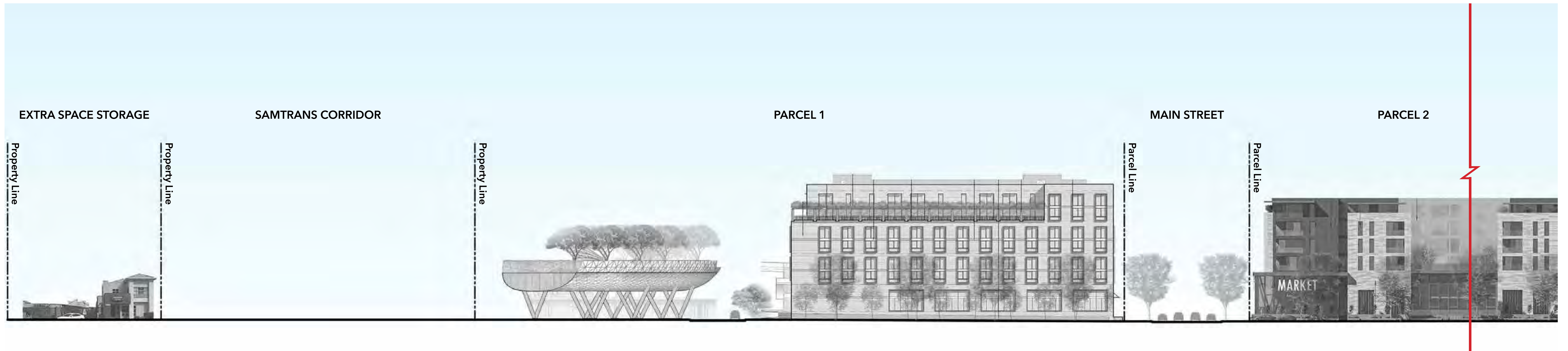




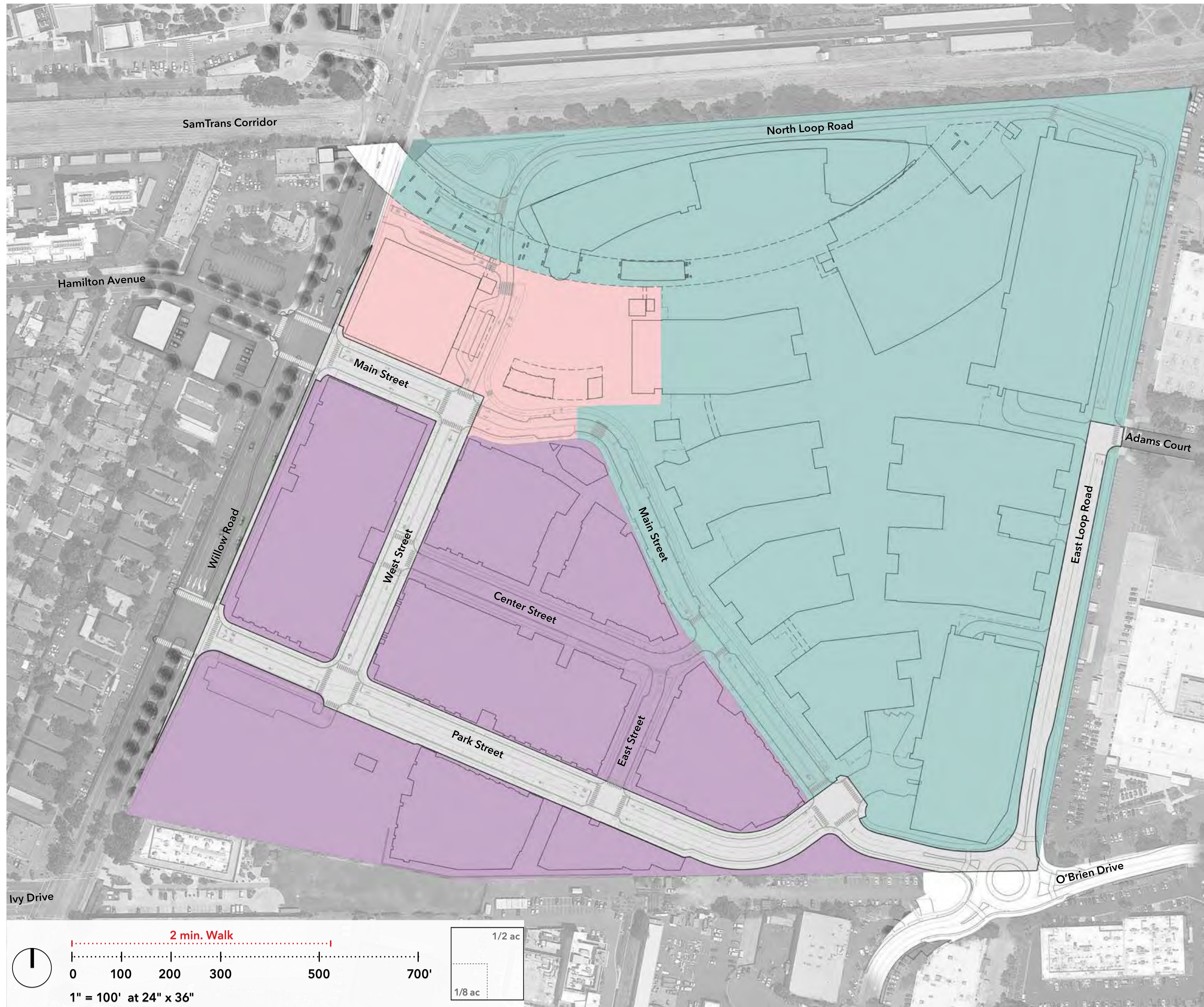






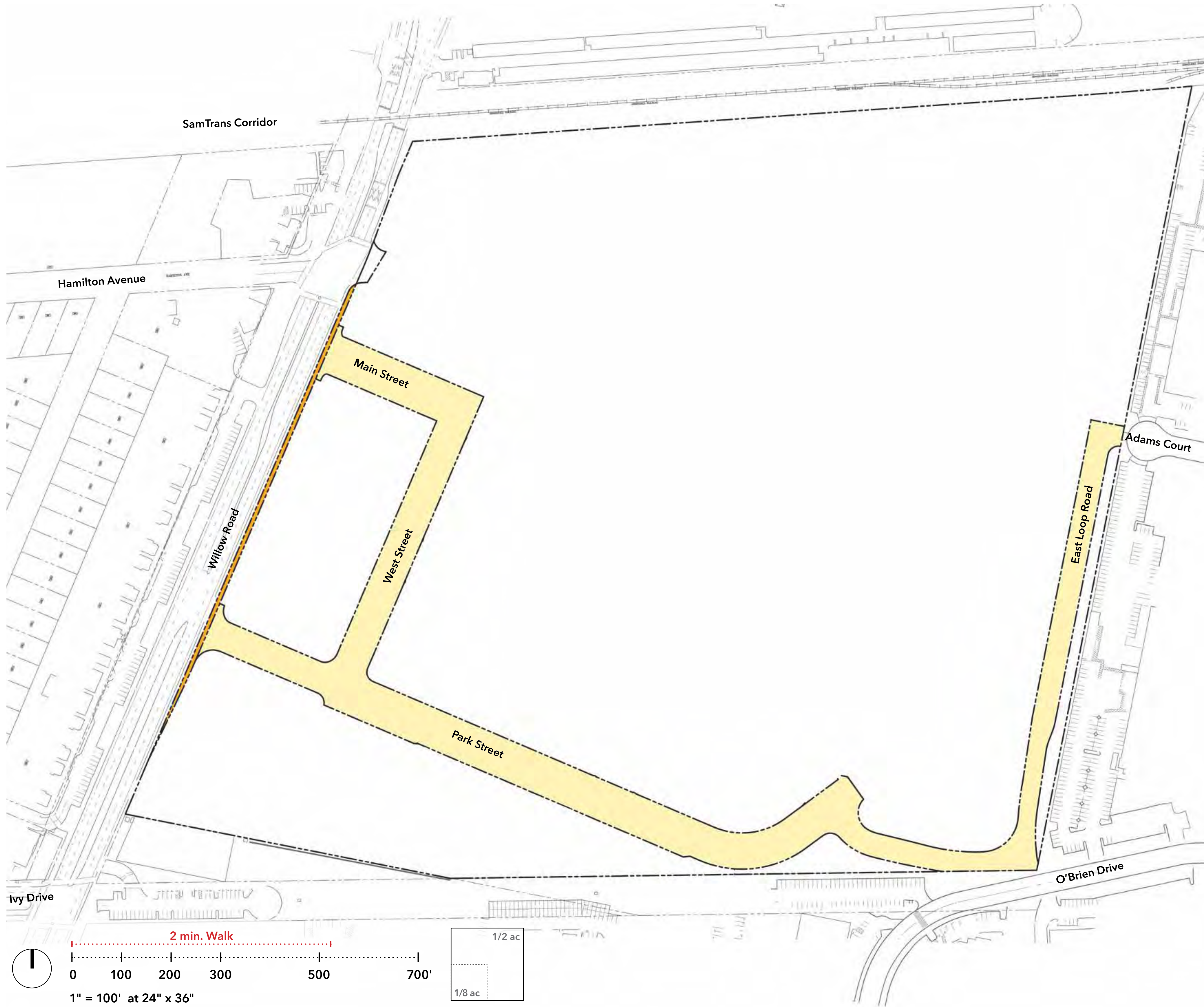






LEGEND		
<span style="display:inline-block; width:15px; height:10px; background-color: #f8a4a4; border:1px solid black;"></span>	Town Square District	4.19 acre
<span style="display:inline-block; width:15px; height:10px; background-color: #a4d4d4; border:1px solid black;"></span>	Campus District	32.04 acre
<span style="display:inline-block; width:15px; height:10px; background-color: #c4a4d4; border:1px solid black;"></span>	Residential / Shopping District	17.67 acre
<span style="display:inline-block; width:15px; height:10px; background-color: #d4d4d4; border:1px solid black;"></span>	Public R.O.W.	5.46 acre
	<b>Total</b>	<b>59.36 acre</b>





**ZONING DISTRICT FAR AREA SUMMARY**

Aggregate Site Area (ASA)	2,585,538.50 sf
Existing & Zoning Public ROW	226,340.70 sf
ASA minus Existing & Zoning ROW	2,359,197.80 sf
Required O FAR Area	1,599,273.00 sf
Required O FAR Area % of Total (O FAR Area) / (ASA - ROW)	67.79 %
Required R-MU FAR Area	759,924.80 sf
Required R-MU FAR Area % of Total (R-MU FAR Area) / (ASA - ROW)	32.21 %

**PROPOSED FAR AREA SUMMARY**

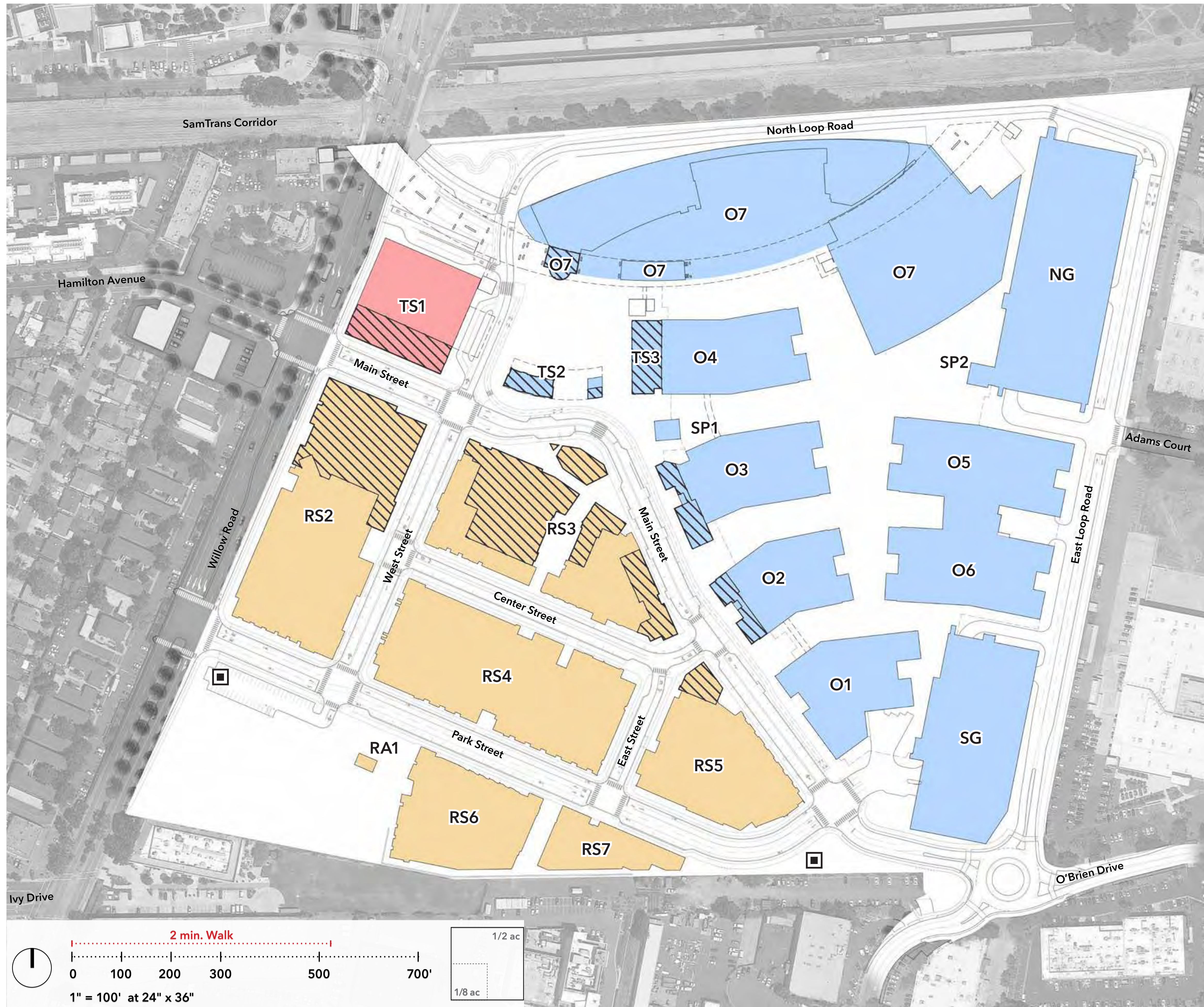
Caltrans ROW Dedication	7,940.58 sf
Proposed Public ROW (Caltrans ROW Dedication Included)	237,967.59 sf
Public ROW Increase above Existing & Zoning Public ROW (Proposed ROW - Existing & Zoning R.O.W.)	11,626.89 sf
ASA minus Proposed ROW	2,347,570.91 sf
New O FAR Area Zoning Existing O FAR Area - (ROW Increase x Zoning O FAR Area %)	1,591,391.27 sf
New R-MU FAR Area Zoning Existing R-MU FAR Area - (ROW Increase x Zoning R-MU FAR Area %)	756,179.64 sf

**MAXIMUM BUILDABLE AREA SUMMARY**

ZD Compliant Total Office	1,780,436.18 sf*
ZD Compliant Total Commercial Area	397,847.82 sf
ZD Compliant Residential (max)	1,701,404.20 sf
ZD Compliant Residential (max)	1,735 units**

\* Includes the "non-residential" GFA permitted under the R-MU zoning which allows for office uses.  
 \*\* Residential FAR is variable, ranging from 30 developable units per acre (FAR 0.9) to 100 developable units per acre (FAR 2.25).  
 Note: Parcels may be further subdivided for subphasing, financing, or other development purposes.





LEGEND	
<span style="display:inline-block; width:15px; height:10px; background-color:blue; border:1px solid black;"></span>	Office
<span style="display:inline-block; width:15px; height:10px; background-color:red; border:1px solid black;"></span>	Hotel
<span style="display:inline-block; width:15px; height:10px; background-color:yellow; border:1px solid black;"></span>	Residential
<span style="display:inline-block; width:15px; height:10px; background: repeating-linear-gradient(45deg, transparent, transparent 2px, black 2px, black 4px); border:1px solid black;"></span>	Commercial / Retail

PROPOSED FAR AREA SUMMARY	
R - MU	756,179.64 sf*
O	1,591,391.27 sf**
Public R.O.W.	237,967.59 sf
<b>Total</b>	<b>2,585,538.50 sf (59.36 Acre)</b>

\* Includes 55,461.49 sf of private R.O.W.  
 \*\* Includes 251,651.98 sf of private R.O.W.

MAXIMUM BUILDABLE AREA SUMMARY PER ZONING					
Use	O			R-MU	
	Office	Commercial	Hotel	Residential	Non-Residential
Bonus Level GFA	(O FAR 100%) 1,591,391.27	(O FAR 25%) 397,847.82	(O FAR 175%) 2,783,413.34	(R-MU FAR 225%) 1,701,404.20	(R-MU FAR 25%) 189,044.91
<b>Total Allowable GFA</b>	<b>1,780,436.18***</b>	<b>397,847.82</b>	<b>2,783,413.34</b>	<b>1,701,404.20</b>	<b>-</b>
Allowable Units	-	-	-	1,735 units	-

\*\*\* Includes the "non-residential" GFA permitted under the R-MU zoning which allows for office uses.

CDP STANDARDS				
Use	Office	Hotel	Residential	Retail
Maximum GFA	1,600,000	172,000	1,696,406	200,000
Maximum Units	-	-	1,730 units	-

ILLUSTRATIVE GFA / UNIT COUNT AS DEPICTED****				
Bldg #	Office	Hotel	Residential	Retail
O1	132,055	-	-	-
O2	159,634	-	-	6,679
O3	208,229	-	-	8,555
O4	168,466	-	-	-
O5	236,331	-	-	-
O6	214,336	-	-	-
O7	419,063	-	-	13,475
SP1	1,905	-	-	-
SP2/NG	2,685	-	-	-
SG	239	-	-	-
TS1	-	149,295	-	13,450
TS2	596	-	-	4,182
TS3	-	-	-	14,807
RS2	-	-	316,563	43,650
RS3	-	-	432,019	58,821
RS4	-	-	422,563.5	-
RS5	-	-	231,650.5	4,390
RS6	-	-	209,657	-
RS7	-	-	82,353	-
RA1	-	-	1,000	-
RA2****	-	-	600	-
<b>Total</b>	<b>1,543,539</b>	<b>149,295</b>	<b>1,696,406</b>	<b>168,009</b>
			1,730 units	

\*\*\*\* Refer to Appendix 1 for illustrative parcel-by-parcel details.  
 \*\*\*\* Potential West Bay Sanitary District Pump Station location alternatives.  
 Note: Square footage and unit count depicted is illustrative and may be subject to change, but will remain compliant with Maximum Buildable Area Summary per Zoning and CDP Standards.





LEGEND	
	Site Boundary
	Land Use Boundary

BUILDING HEIGHT MAXIMUM PER ZONING			
Zone	Maximum Height (ft)	Height (ft)	Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot increase in height and maximum height.
R-MU	70	52.5	
O	110	67.5, except hotels	

CDP STANDARDS		
Zone	Maximum Height (ft)	Height (ft)
R-MU	85*	62.5
O	120	70

\* Includes maximum height adjustment for R-MU zoning district.

ILLUSTRATIVE BUILDING HEIGHT AS DEPICTED**					
Zone	Bldg#	Individual Bldg Max. Height	Zoning Max. Height	Individual Bldg Height***	Zoning Height***
R-MU	RS2	78.14	84.15	60.82	62.23
	RS3	84.15		68.88	
	RS4	76.61		61.02	
	RS5	77.89		60.16	
	RS6	79.78		62.92	
	RS7	76.06		53.83	
	RA1	15.16		15.16	
	RA2****	20.00		20.00	
O	O1	67.46	118.04	58.85	68.35
	O2	83.41		79.88	
	O3	83.13		78.89	
	O4	82.31		76.97	
	O5	83.17		80.66	
	O6	82.27		76.51	
	O7	118.04		58.59	
	SP1	26.75		26.75	
	SP2	30.58		30.58	
	NG	92.55		83.95	
	SG	83.29		73.53	
	TS1	84.48		58.86	
	TS2	35.32		34.48	
TS3	37.77	31.73			

\*\* Refer to Appendix 2 for illustrative parcel-by-parcel details.  
 \*\*\* Heights depicted are calculated based on average weighted height across zoning districts.  
 \*\*\*\* See G3.03 for potential RA2 location alternatives.  
 Note: Building heights depicted are illustrative and may be subject to change, but will remain compliant with Building Height Maximum per Zoning and CDP Standards.





LEGEND	
<span style="display:inline-block; width:15px; height:10px; background-color:green;"></span>	Open Space (Publicly Accessible)
<span style="display:inline-block; width:15px; height:10px; background: repeating-linear-gradient(45deg, transparent, transparent 2px, black 2px, black 4px);"></span>	Elevated Open Space (Publicly Accessible)
<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span>	At-grade Open Space (No Public Access)*
<span style="display:inline-block; width:15px; height:10px; background-color:orange;"></span>	Above-grade Open Space (No Public Access)**

\* Includes covered open space.  
 \*\* Includes above-grade open space such as, roof and podium level decks, terraces, balconies, gardens, etc.

PROPOSED FAR AREA SUMMARY	
R - MU	756,179.64 sf***
O	1,591,391.27 sf****
Public R.O.W.	237,967.59 sf
<b>Total</b>	<b>2,585,538.50 sf (59.36 Acre)</b>

\*\*\* Includes 55,461.49 sf of private R.O.W.  
 \*\*\*\* Includes 251,651.98 sf of private R.O.W.

OPEN SPACE REQUIREMENT PER ZONING		
Land Use	Minimum Open Space	Minimum Publicly Accessible
R - MU	189,044.91 sf (25%)	47,261.23 sf (25%)
O	477,417.38 sf (30%)	238,708.69 sf (50%)
<b>Total</b>	<b>666,462.29 sf</b>	<b>285,969.92 sf</b>

CDP STANDARDS		
Land Use	Minimum Open Space	Minimum Publicly Accessible
R - MU	370,000 sf	160,000 sf
O	487,000 sf	200,000 sf
<b>Total</b>	<b>857,000 sf</b>	<b>360,000 sf</b>

ILLUSTRATIVE OPEN SPACE AS DEPICTED*****		
Land Use	Open Space	Publicly Accessible
R - MU	409,388 sf	180,326 sf
O	508,880 sf	202,031 sf
<b>Total</b>	<b>918,268 sf</b>	<b>382,357 sf</b>

\*\*\*\*\* Refer to Appendix 3 for illustrative parcel-by-parcel details.  
 Note: Open space depicted are illustrative and may be subject to change, but will remain compliant with Open Space Requirement per Zoning and CDP Standards.





LEGEND	
	Office Parking Structure
	Office Parking (Subgrade)
	Off-street Residential
	Shared Parking
	Park Parking
	On-Street Parking
	Passenger & Commercial Loading / Service

PARKING REQUIREMENT PER ZONING					
Land Use	Development Maximum	Menlo Park Municipal Code			
		Minimum		Maximum	
		Ratio	Spaces	Ratio	Spaces
Office	1,600,000 sf	2.0/1,000sf	3,200	3.0/1,000sf	4,800
Residential	1,730 unit	1.0/unit	1,730	1.5/unit	2,595
Retail	200,000 sf	2.5/1,000sf	500	3.3/1,000sf	660
Hotel	193 room	0.75/room	145	1.1/room	213
<b>Total</b>	-	-	5,575	-	8,268

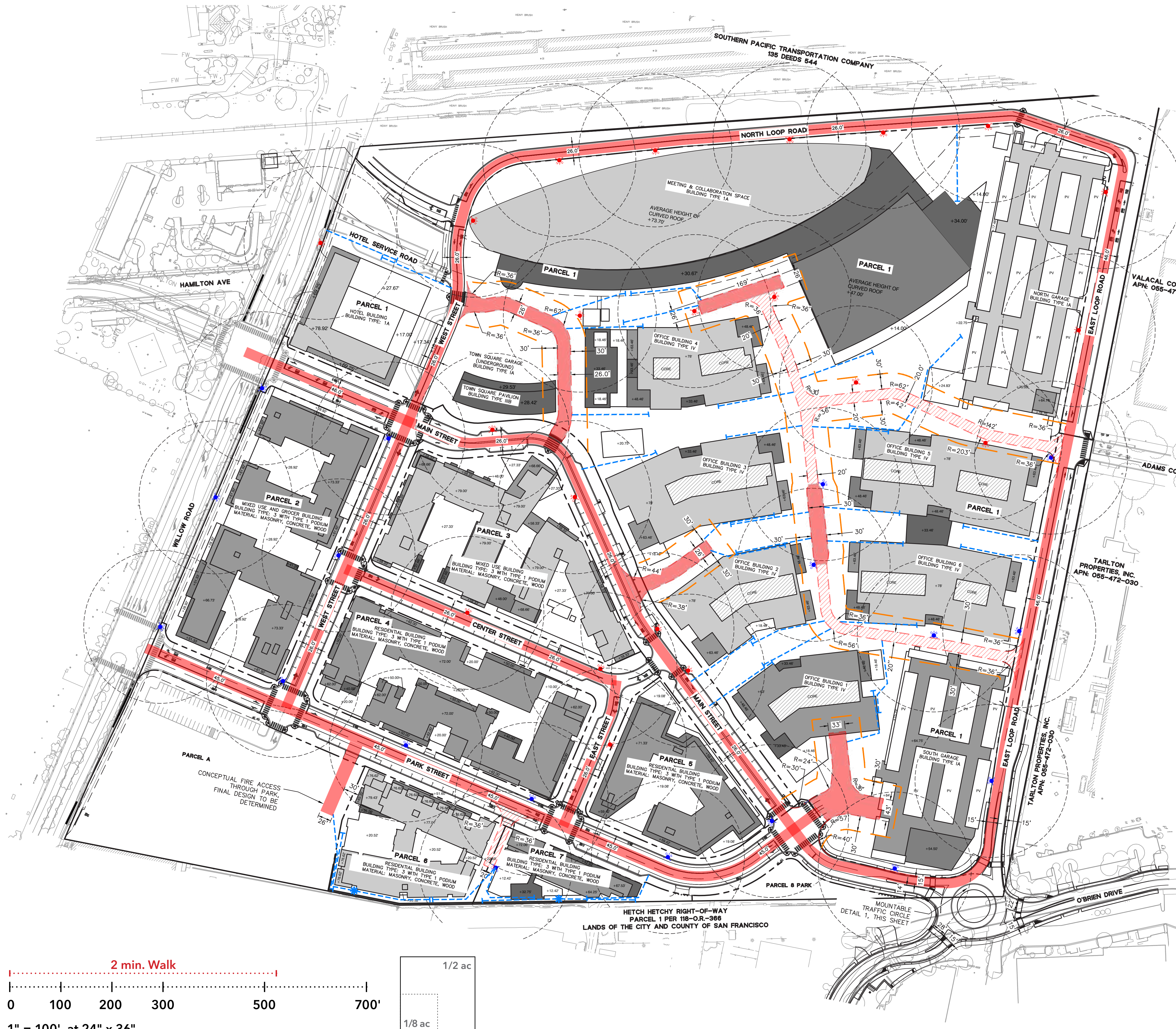
CDP STANDARDS					
Land Use	Development Maximum	Minimum		Maximum	
		Ratio	Spaces	Ratio	Spaces
Office*	1,600,000 sf	2.0/1,000sf	3,200	2.3/1,000sf	3,700
Residential*	1,730 unit	-	1,670	-	1,695
Non-senior	1,610 unit	1.0/unit	1,610	1.02/unit	1,635
Senior**	120 unit	0.5/unit	60	0.5/unit	60
Shared***	-	-	1,052	-	1,080
Public Park Off-Street	-	-	38	-	41
<b>Total</b>	-	-	5,960	-	6,516

ILLUSTRATIVE PARKING AS DEPICTED****		
Land Use	Location	Spaces
Office*	NG / SG / O7	3,369
Residential*	RS2-7	1,681
Shared***	RS2 / RS3 / TSG / On-Street / Passenger & Commercial Loading*****	1,077
Public Park Off-Street	Publicly Accessible Park	41
<b>Total</b>	-	6,168

\* Excludes visitor parking, which is included in Shared Parking. Proposed illustrative senior parking is 0.5 space/unit within the total.  
 \*\* Includes parking count adjustment for senior residential land use.  
 \*\*\* Shared parking includes office visitor, residential visitor, retail, and hotel uses.  
 \*\*\*\* Refer to Appendix 4 for illustrative parcel-by-parcel details.  
 \*\*\*\*\* Passenger & Commercial Loading / Service Spaces could be used as on-street parking at limited times.

Note: Parking depicted is illustrative and may be subject to change, but will remain compliant with Parking Requirements per Zoning and CDP Standards.

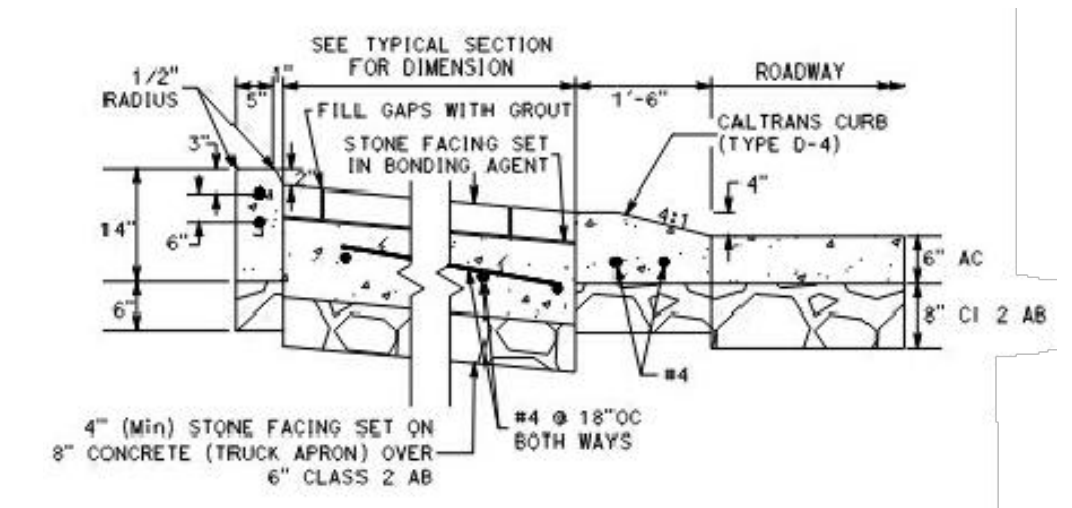




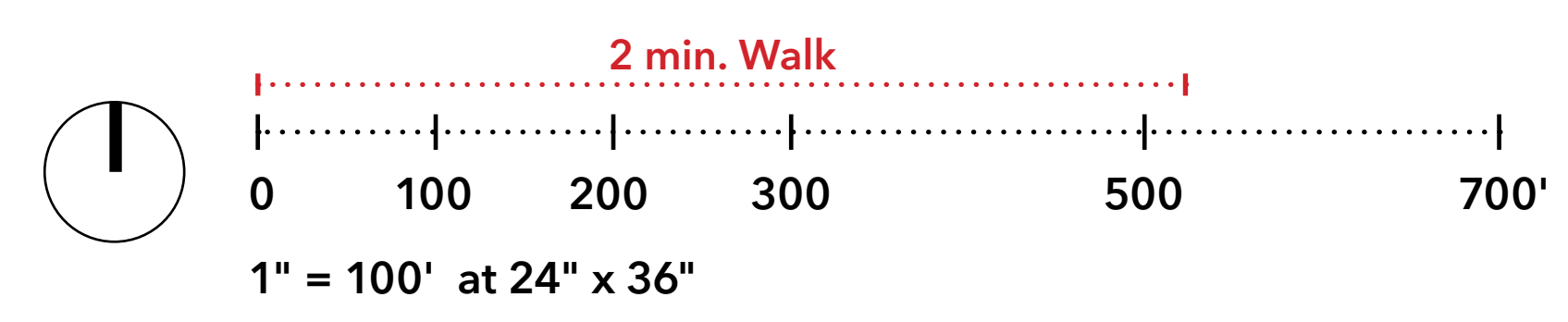
LEGEND	
	Public Fire Hydrant
	Private Fire Hydrant
	150' Radius Fire Hydrant Spacing
	150' Fire Hose Pull
	30' Offset of Fire Lane
	Property Line
	Emergency Vehicle Access (26' Aerial Access)
	Emergency Vehicle Access (20' Wide Access)
	Automatic Wet Stand Pipe

BUILDING HEIGHT	
	0' - 30'
	31' - 45'
	46' - 60'
	61' - 75'
	76' +

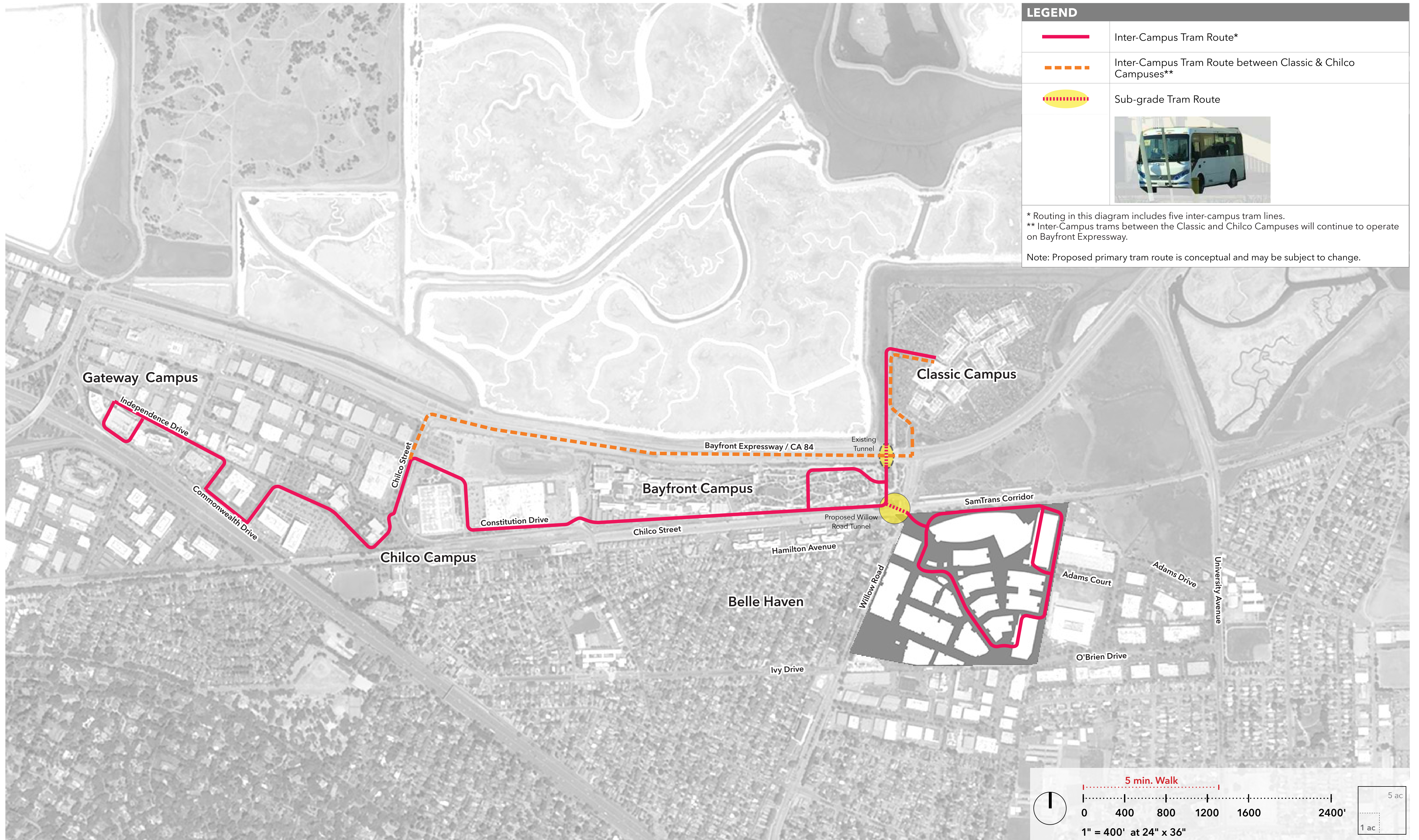
Note: Approved fire apparatus access roads shall be capable of supporting the imposed load of fire apparatus weighing up to 75,000 lbs.



TRUCK APRON AND CURB DETAIL 1











**LEGEND**

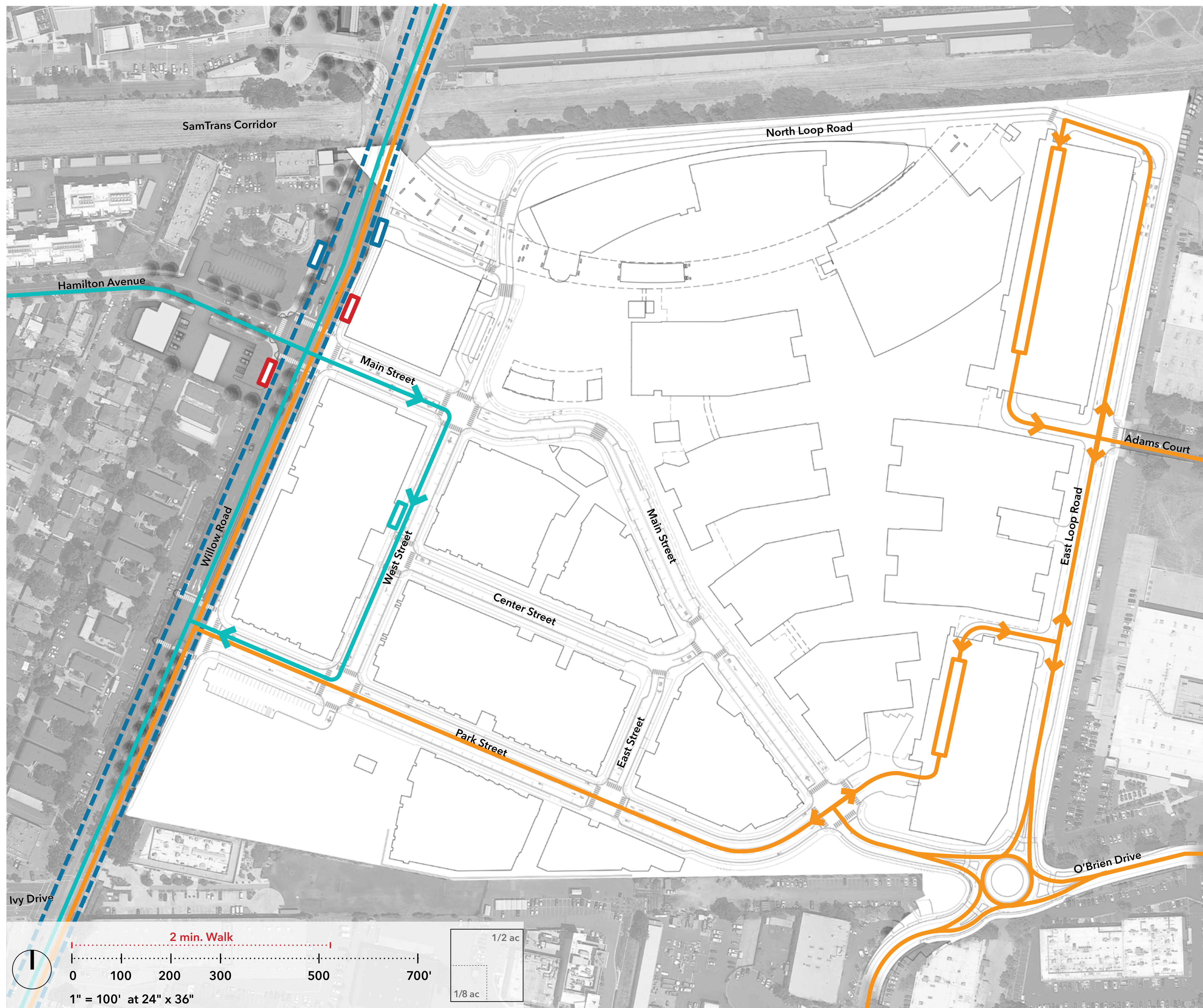
- Inter-Campus Tram Route
- ⋯ Sub-grade Tram Route
- Tram Stop











Note: Proposed primary tram route is conceptual and may be subject to change.



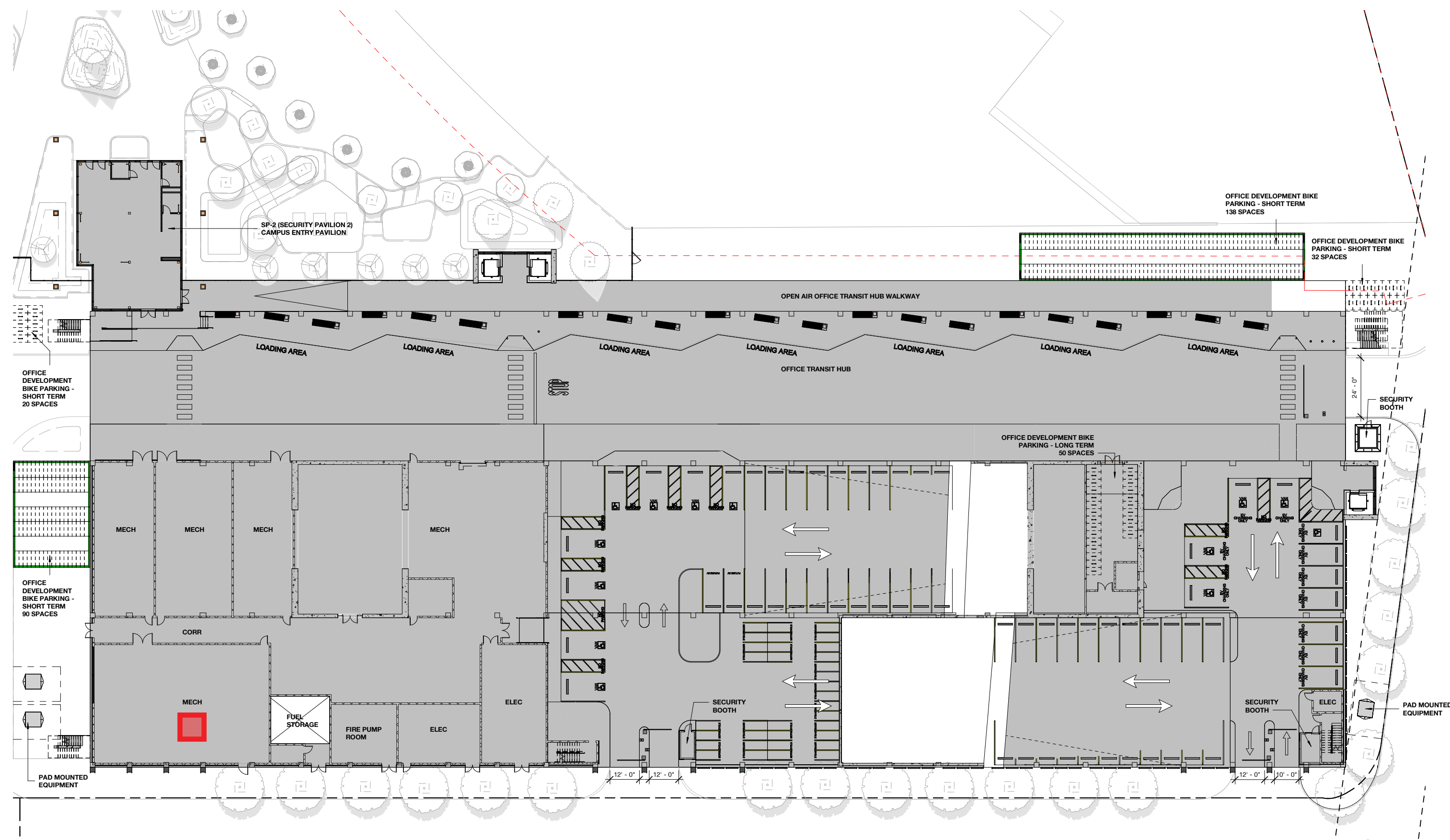




LEGEND	
	Commuter Shuttle Route
	Shuttle Passenger Loading
	
	Existing Public Bus Route
	Existing Public Bus Stop (To Be Relocated)
	Relocated Public Bus Stop
	Community Shuttle Route
	Community Shuttle Stop
Note: Proposed primary tram route is conceptual and may be subject to change.	

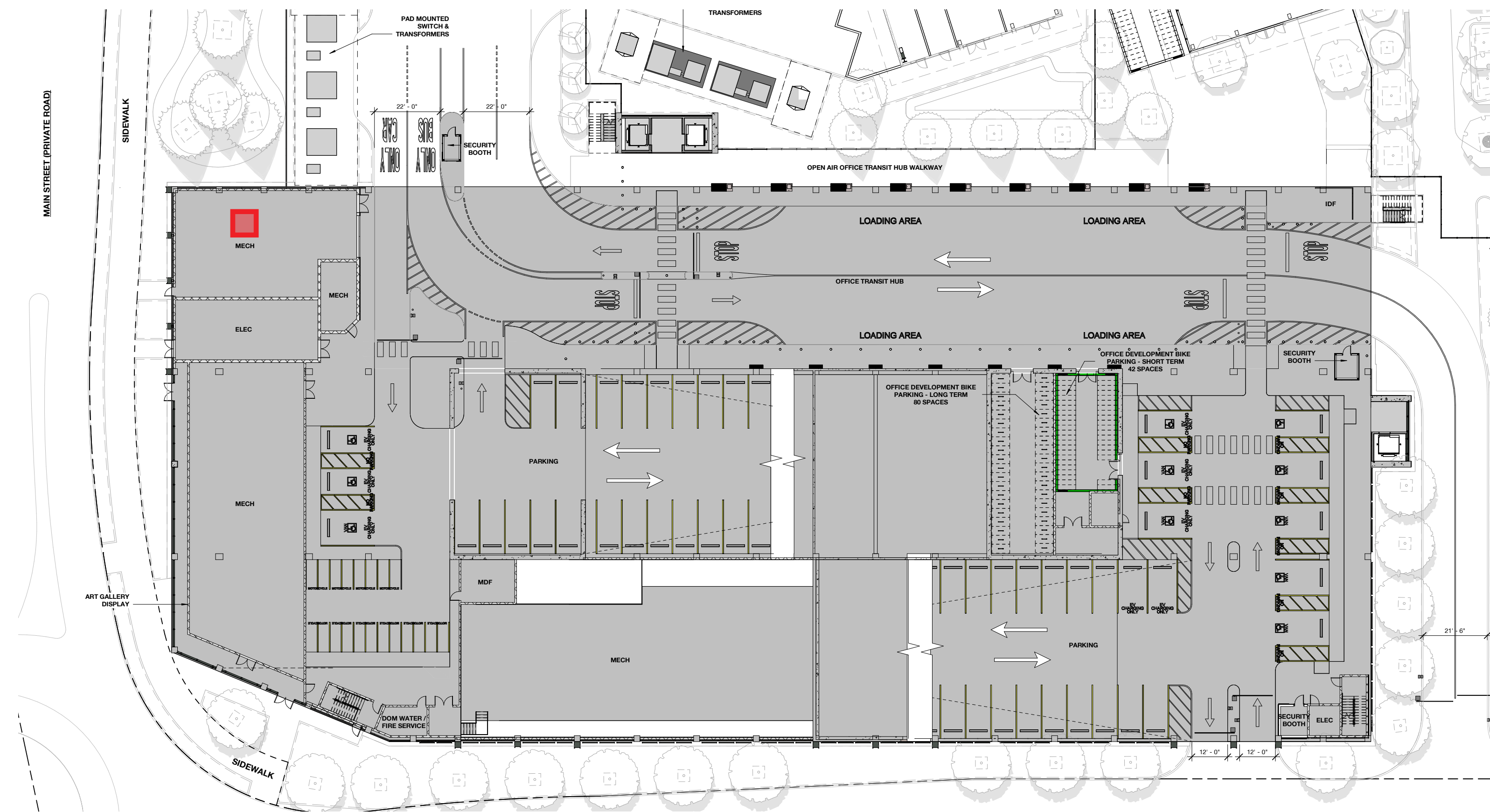




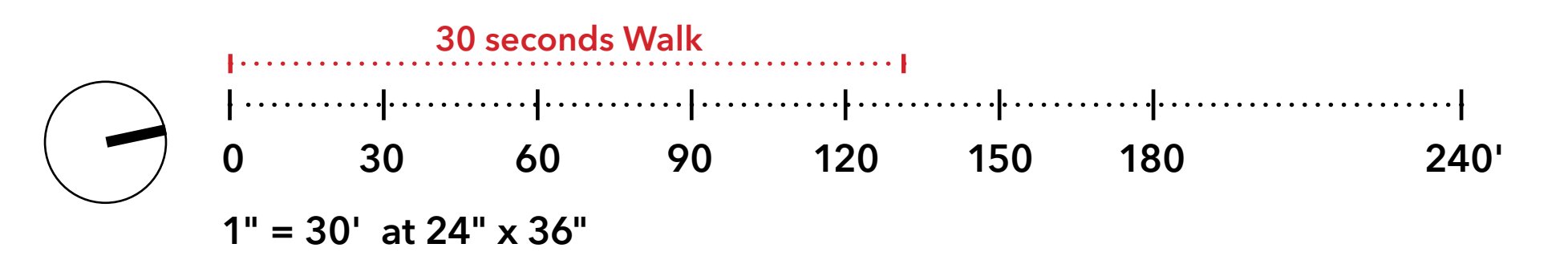
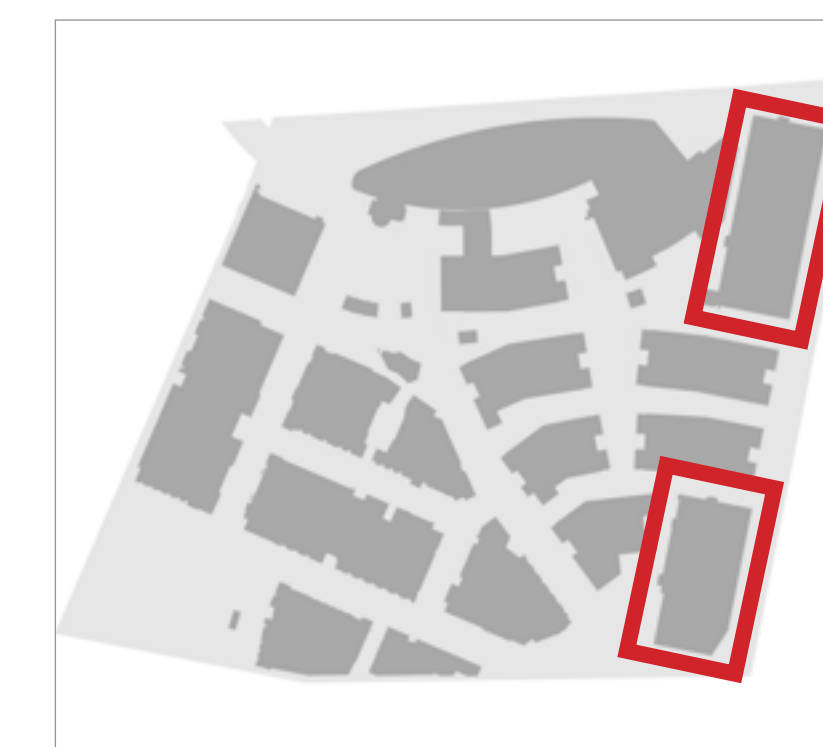


LEGEND	
<span style="color: red;">■</span>	Emergency Generator

**NORTH GARAGE - LEVEL 1**



**SOUTH GARAGE - LEVEL 1**







LEGEND	
	Vehicular Route
	Restricted Vehicular Route
	Sub-grade Vehicular Route
	Passenger & Commercial Loading / Service (Metered Parking at Off-Peak Hours)
	Passenger & Commercial Loading / Drop-off
	Garage Access
	FB Commuter Shuttle and Tram Only Approach

Note: Proposed primary vehicle route is conceptual and may be subject to change. Proposed lane configurations are conceptual and subject to additional review and refinement.

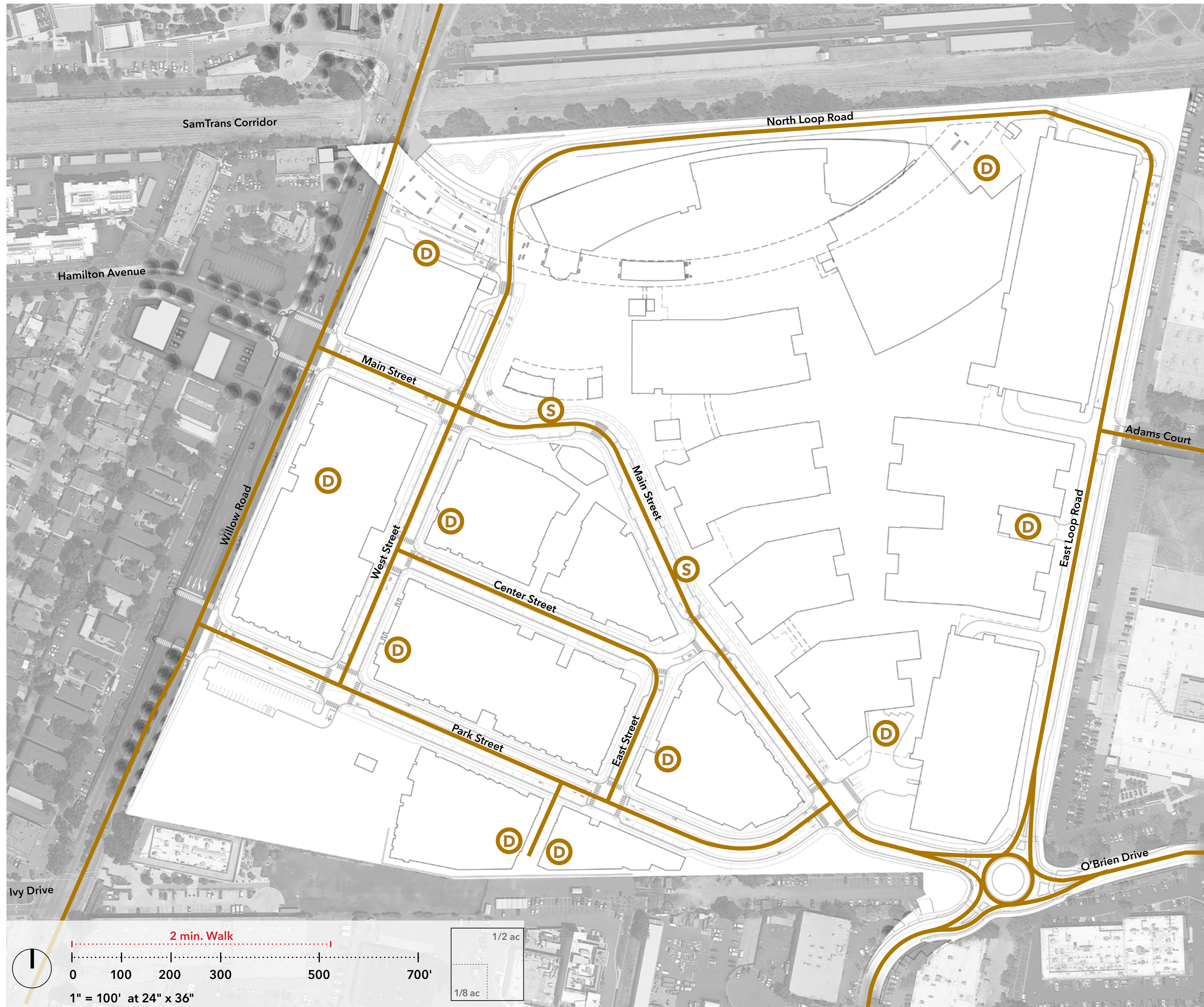







LEGEND	
	Vehicular Route
	Restricted Vehicular Route
	Sub-grade Vehicular Route
	Passenger & Commercial Loading / Service (Metered Parking at Off-Peak Hours)
	Passenger & Commercial Loading / Drop-off
	Garage Access
	FB Commuter Shuttle and Tram Only Approach

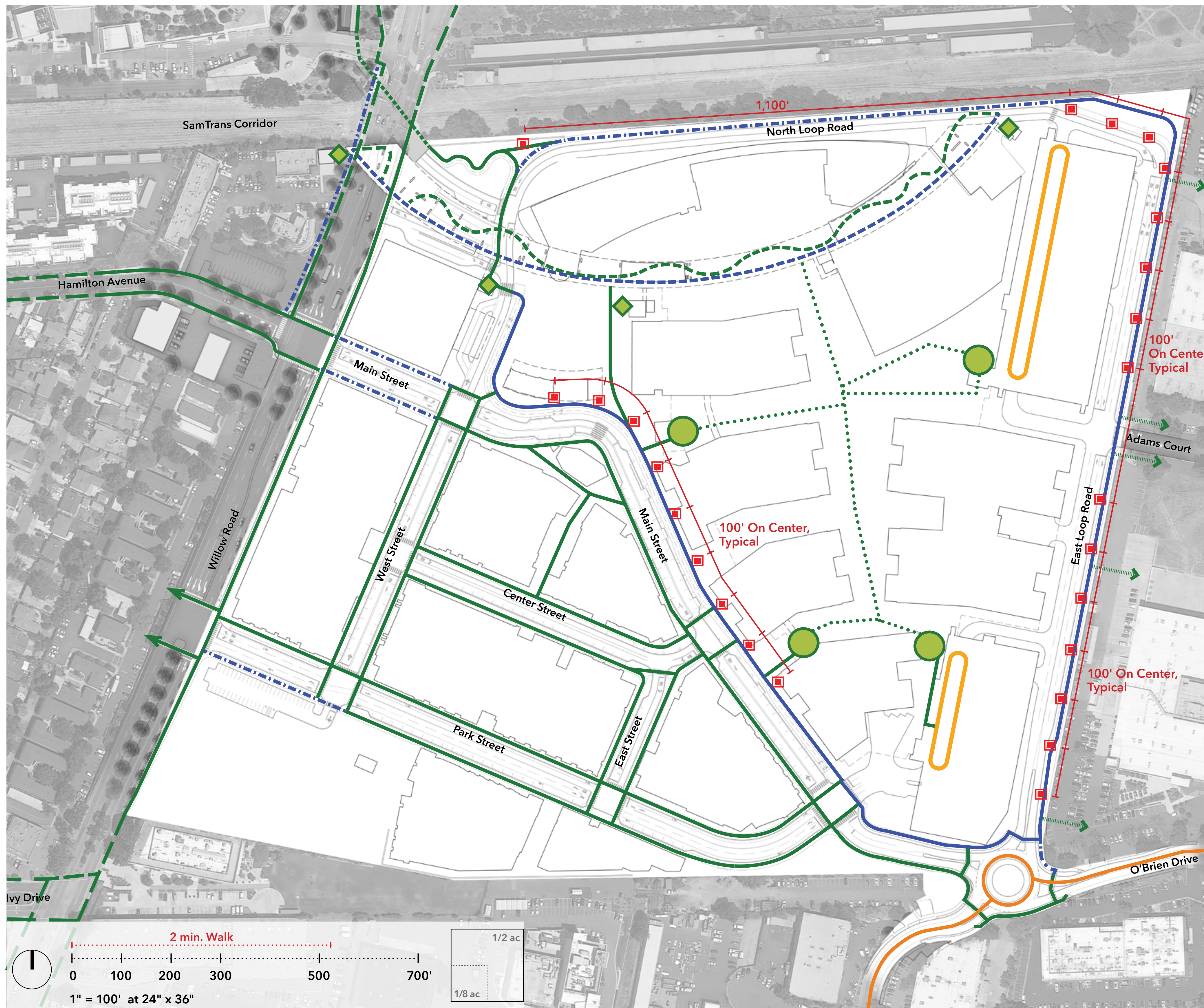
Note: Proposed primary vehicle route is conceptual and may be subject to change. Proposed lane configurations are conceptual and subject to additional review and refinement.





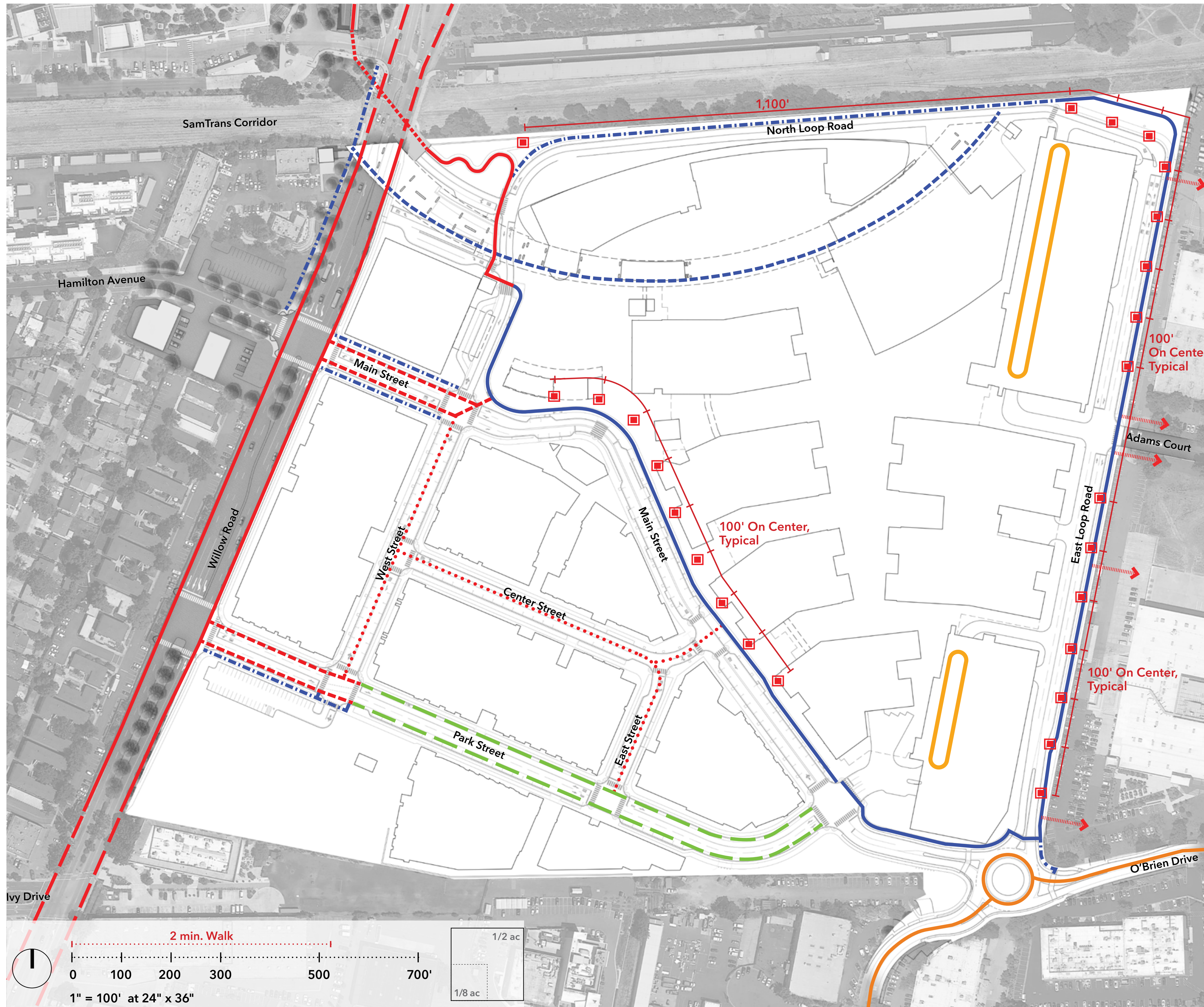
LEGEND	
	Service Vehicular Route
	On-Street Service Loading Area
	Off-Street Service Loading Area
Note: Proposed service vehicle route is conceptual and may be subject to change.	





LEGEND	
	Existing Pedestrian Circulation
	Pedestrian Circulation
	Subgrade Pedestrian Circulation
	Elevated Park Pedestrian Circulation
	Internal Campus Pedestrian Circulation
	Potential Future Connection
	Paseo (+/- 3,490 LF)
	Multi-Use Pathway
	Elevated Park Multi-Use Pathway
	Furnishing Zone
	Elevated Park Access (Publicly Accessible)
	Secure Campus Entry
	Transit Hub
Note: • Proposed primary pedestrian is conceptual and may be subject to change. • Refer to Appendix 4 for parcel-by-parcel details on short and long term bike parking.	





**LEGEND**

- Paseo (+/- 3,490 LF)
- - - Multi-Use Pathway
- - - - Elevated Park Multi-Use Pathway
- - - Existing Class II Bikeway
- - - Class II Bikeway
- Class IV Bikeway
- · · · · Subgrade Class IV Bikeway
- · - · - Class III Bikeway
- · · · · On-Street Bike Circulation
- Suggested Bike Routes\*
- - - - -> Potential Future Connection
- Furnishing Zone
- Transit Hub

\* Information Source:  
 • Menlo Park Comprehensive Bicycle Development Plan, City of Menlo Park, 2005  
 • San Mateo Bike Map Southeast Booklet, City/County Association of Governments of San Mateo County

- Proposed primary bike route is conceptual and may be subject to change.
- Refer to Appendix 4 for parcel-by-parcel details on short and long term bike parking.

**BICYCLE PARKING REQUIREMENT PER ZONING**

Land Use	Development Maximum	Menlo Park Municipal Code			
		Short-Term Ratio	Spaces	Long-Term Ratio	Spaces
Office	1,600,000 sf	20% of 1.0/5,000sf	64	80% of 1.0/5,000sf	256
Hotel	172,000 sf	20% of 1.0/5,000sf	7	80% of 1.0/5,000sf	28
Residential	1,730 unit	10% of 1.5/1unit	260	1.5/1unit	2,595
Commercial	200,000 sf	80% of 1.0/5,000sf	32	20% of 1.0/5,000sf	8

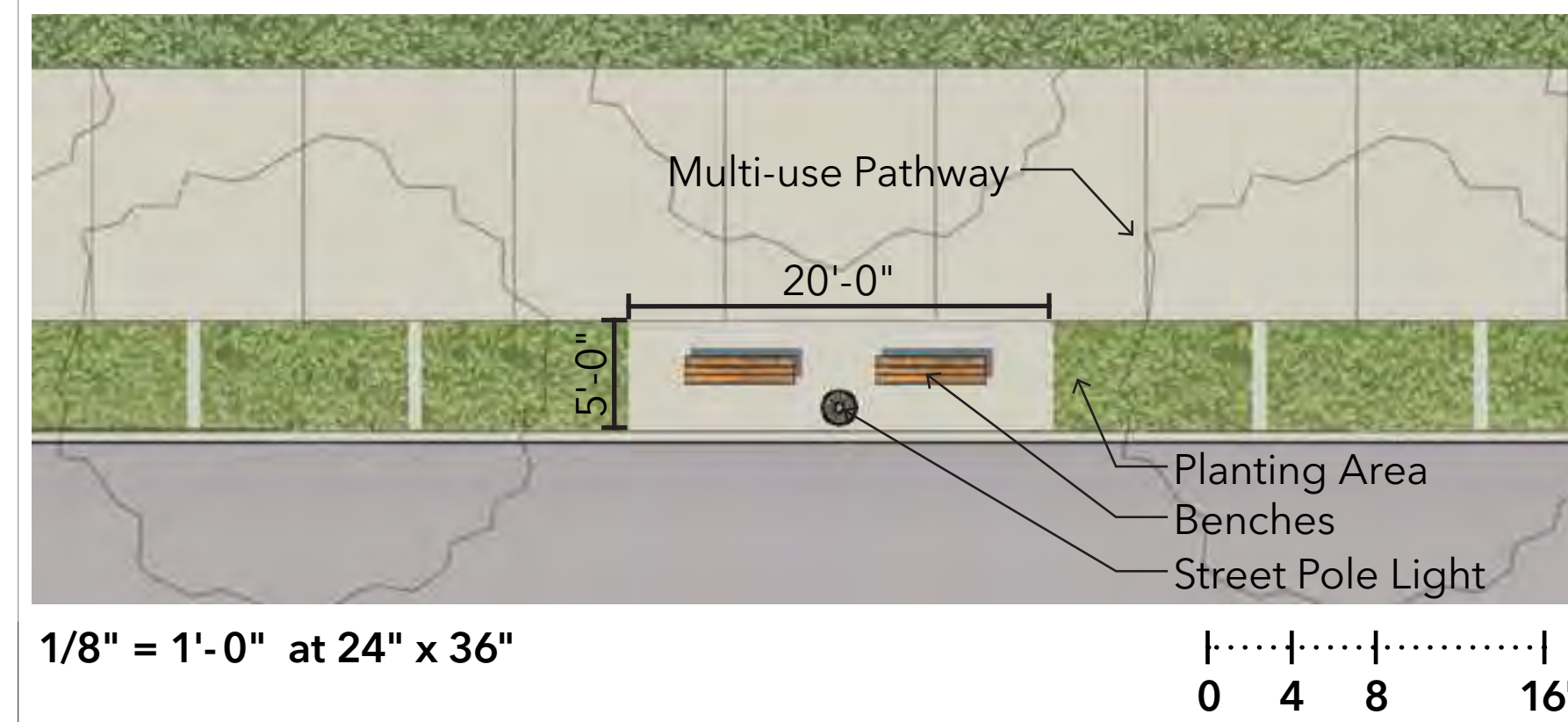
**CDP STANDARDS**

Land Use	Development Maximum	Short-Term Ratio / Spaces	Long-Term Ratio / Spaces
Office	1,600,000 sf	133 spaces	340 spaces
Hotel	172,000 sf	Per zoning code	Per zoning code
Residential	1,730 unit	Per zoning code	Per zoning code
Commercial	200,000 sf	Per zoning code	Per zoning code

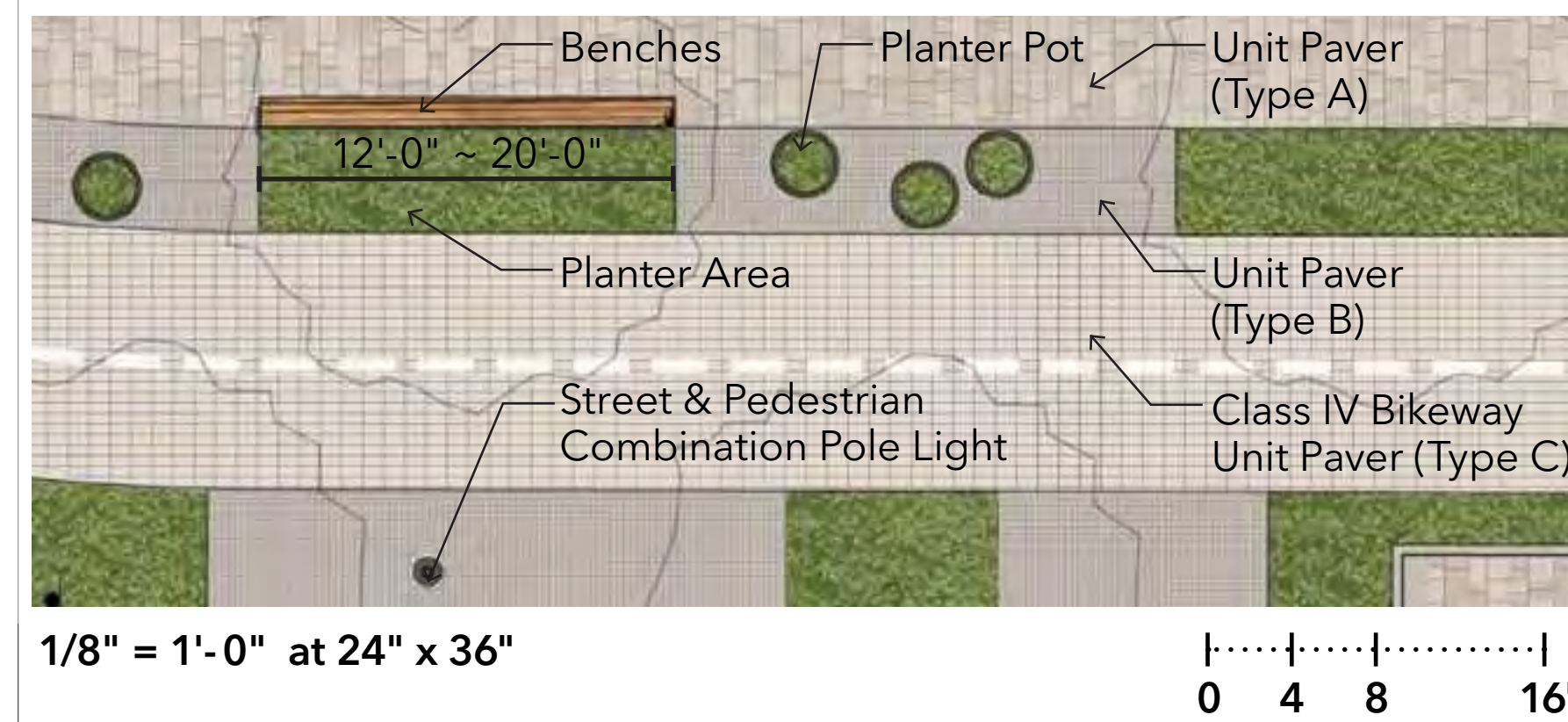
Note: Bicycle parking depicted is illustrative and may be subject to change, but will remain compliant with Parking Requirements per Zoning and CDP Standards.



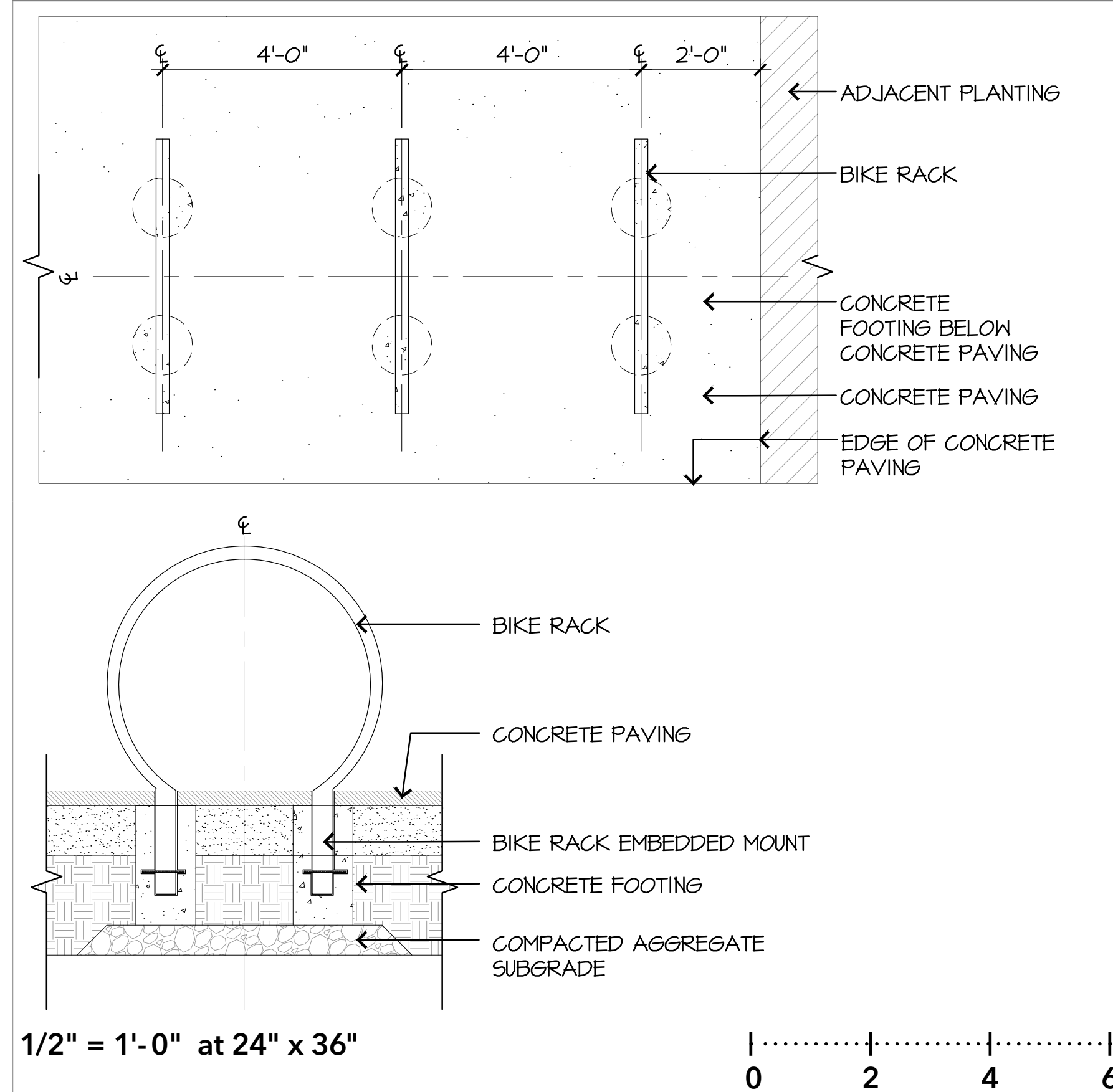
**TYPICAL FURNISHING ZONE @ MULTI-USE PATHWAY**



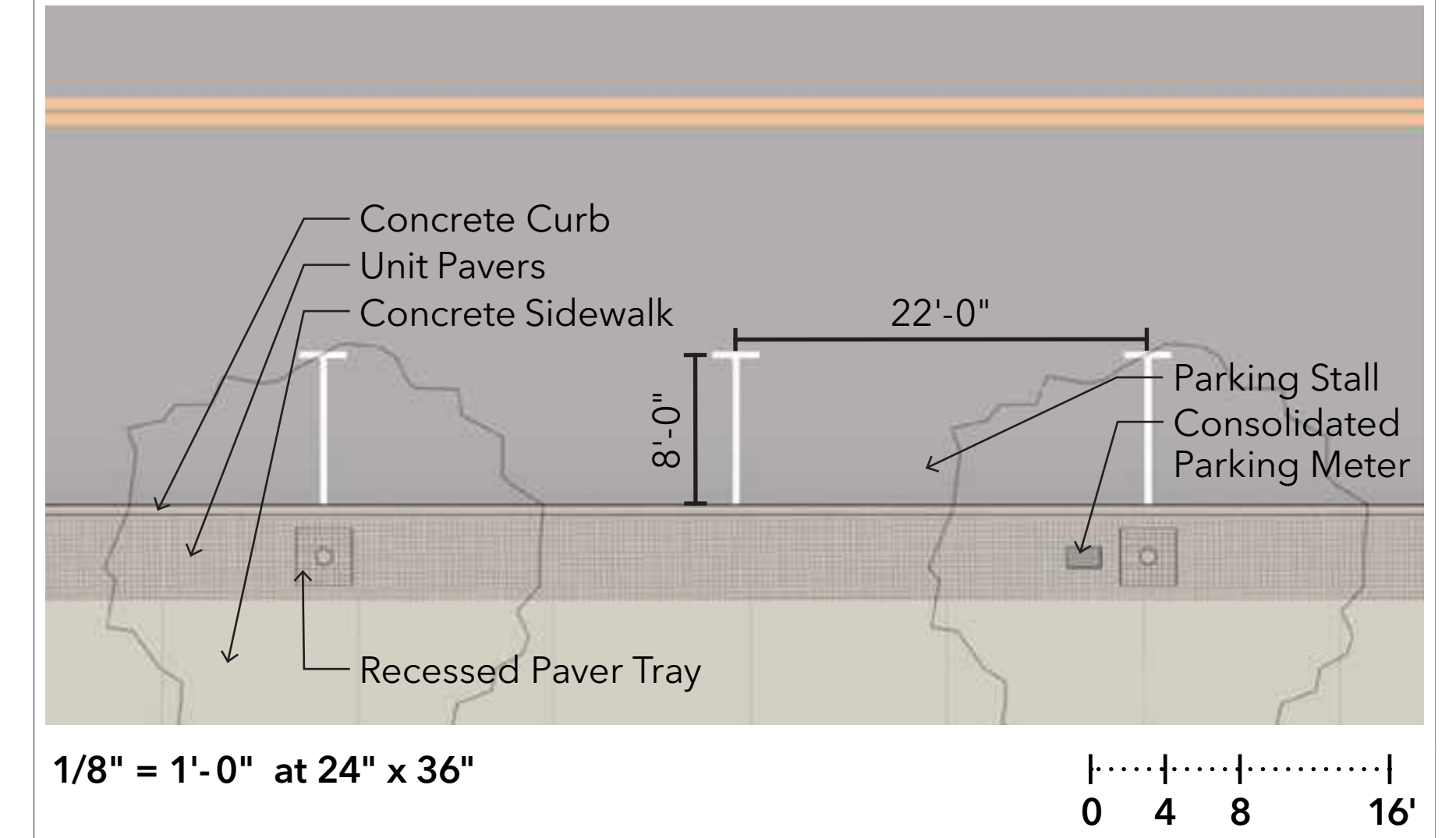
**TYPICAL FURNISHING ZONE @ MAIN STREET**



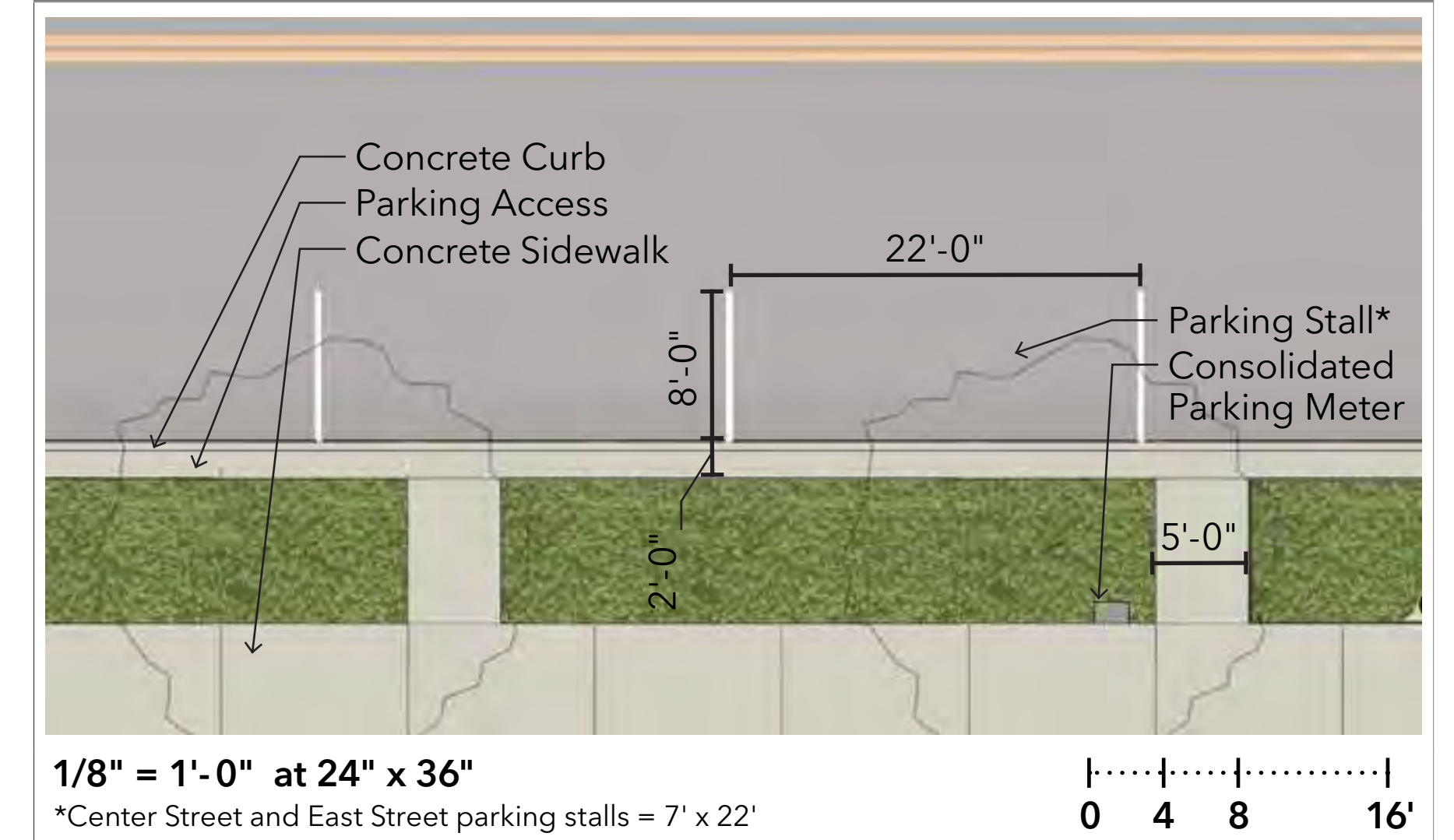
**TYPICAL COMMERCIAL SHORT-TERM BICYCLE PARKING**



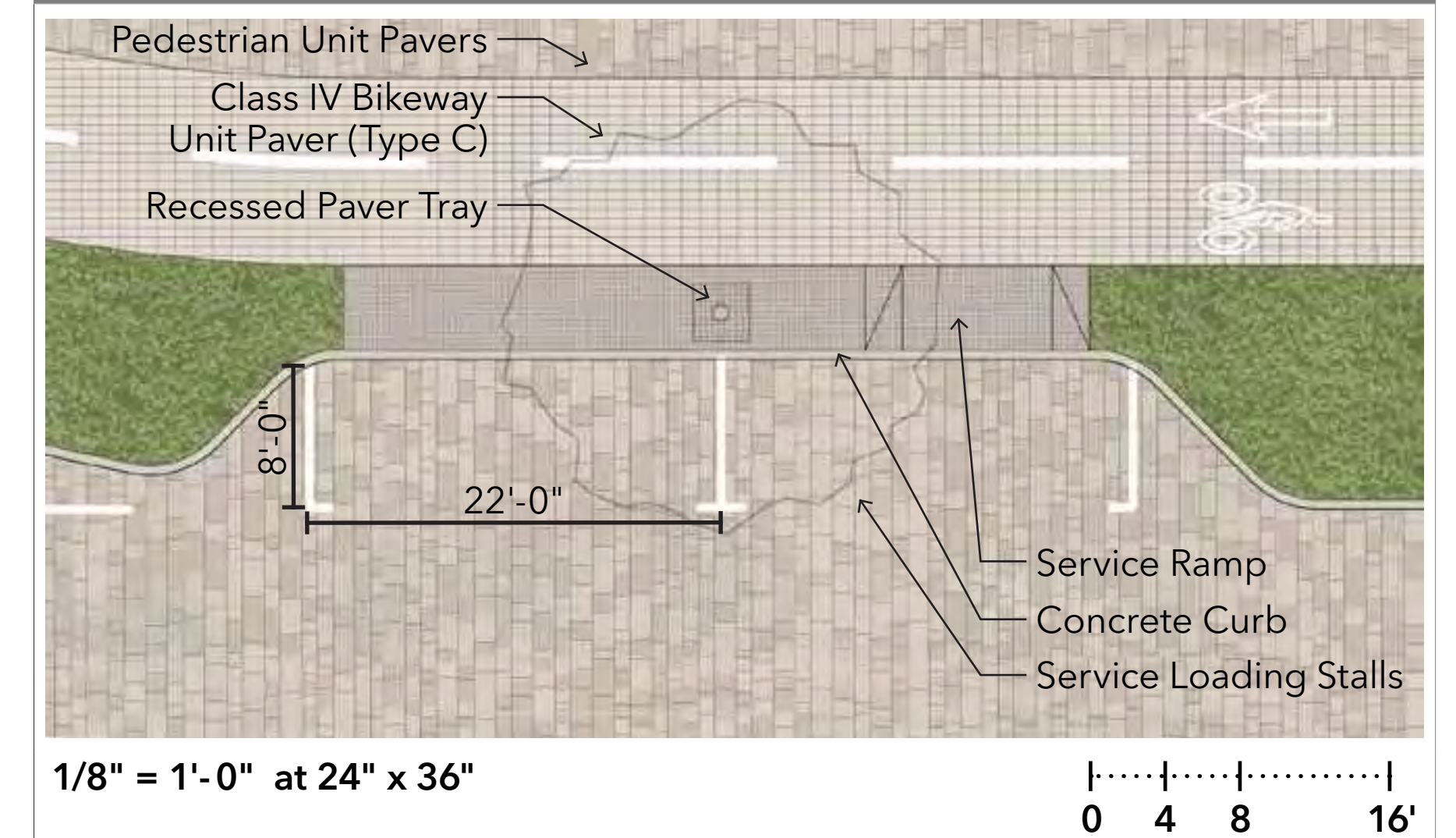
**TYPICAL STREET PARKING & LOADING ALONG PAVING**



**TYPICAL STREET PARKING ALONG PLANTING**



**TYPICAL ON-STREET SERVICE LOADING AREA**



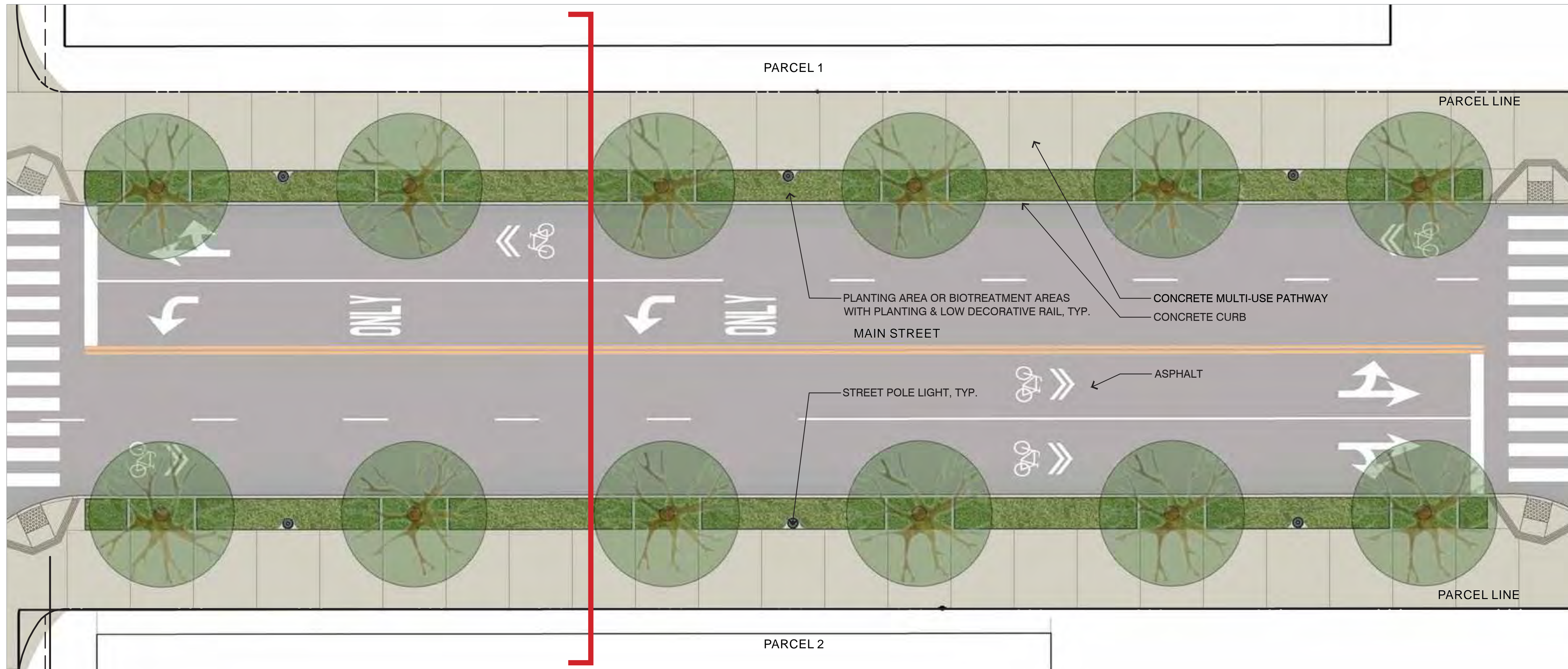




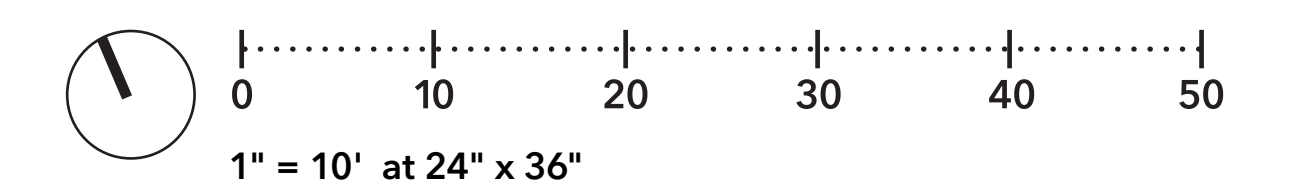
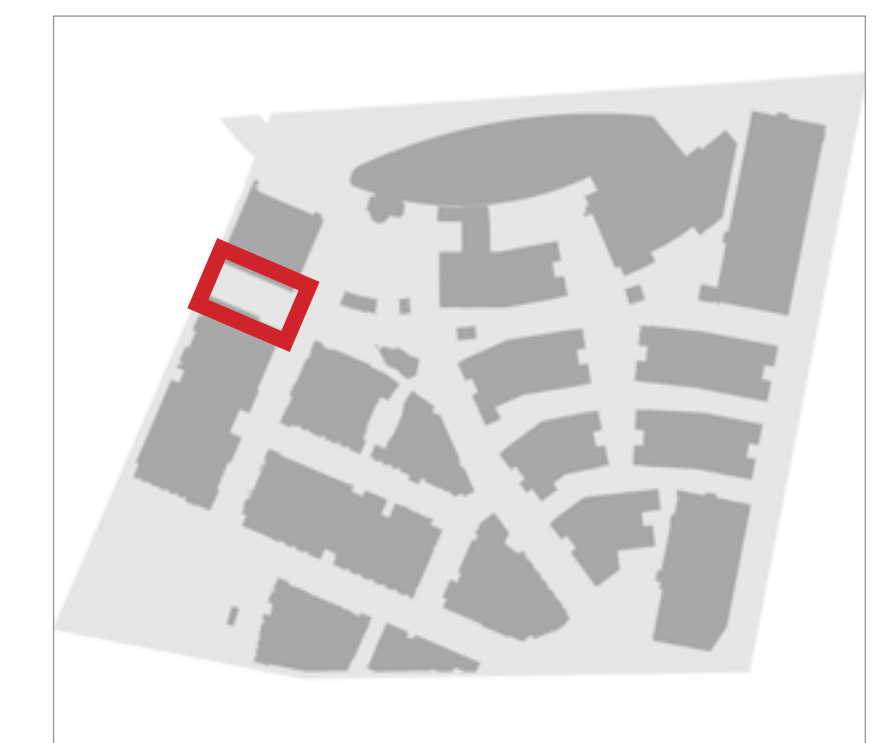




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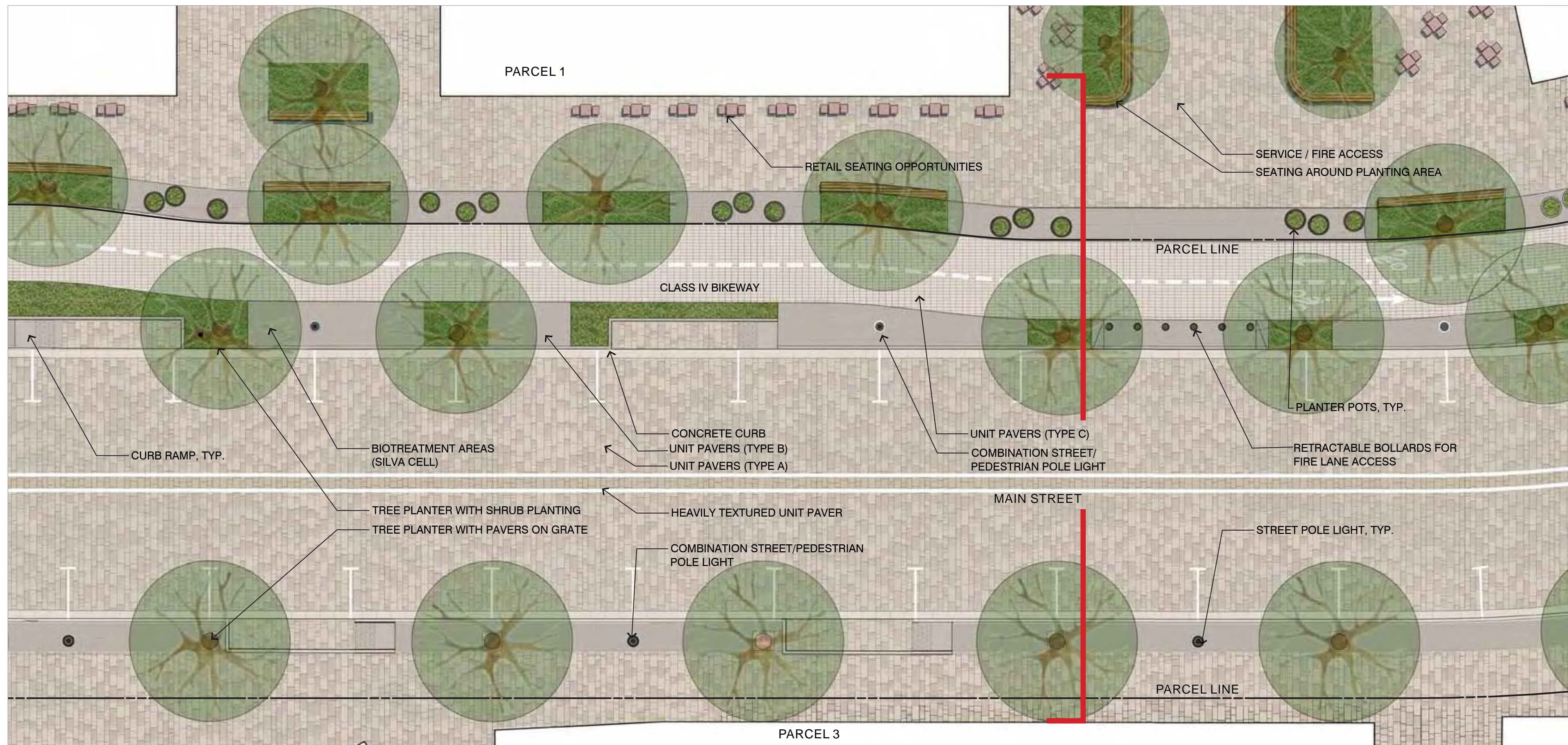
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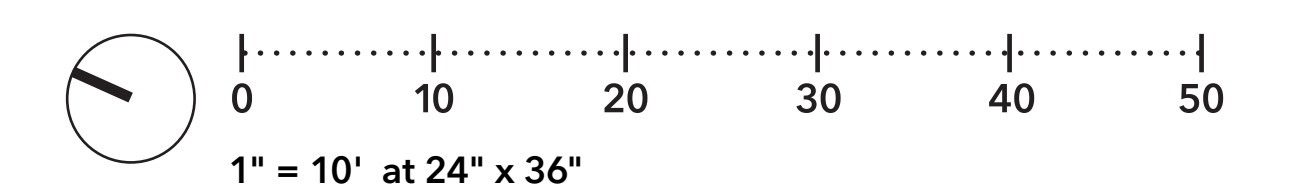
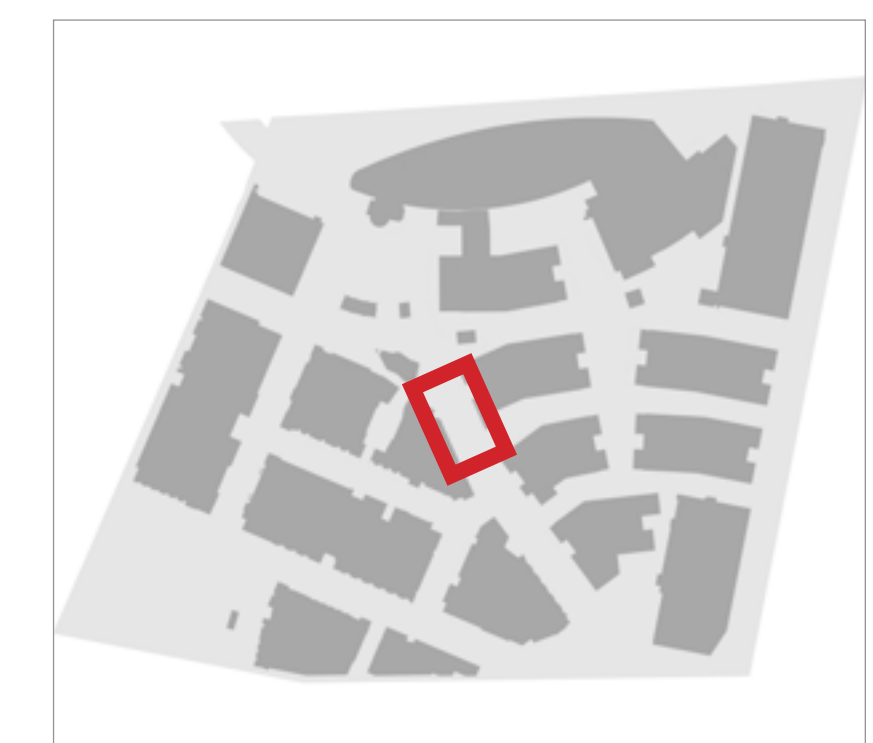




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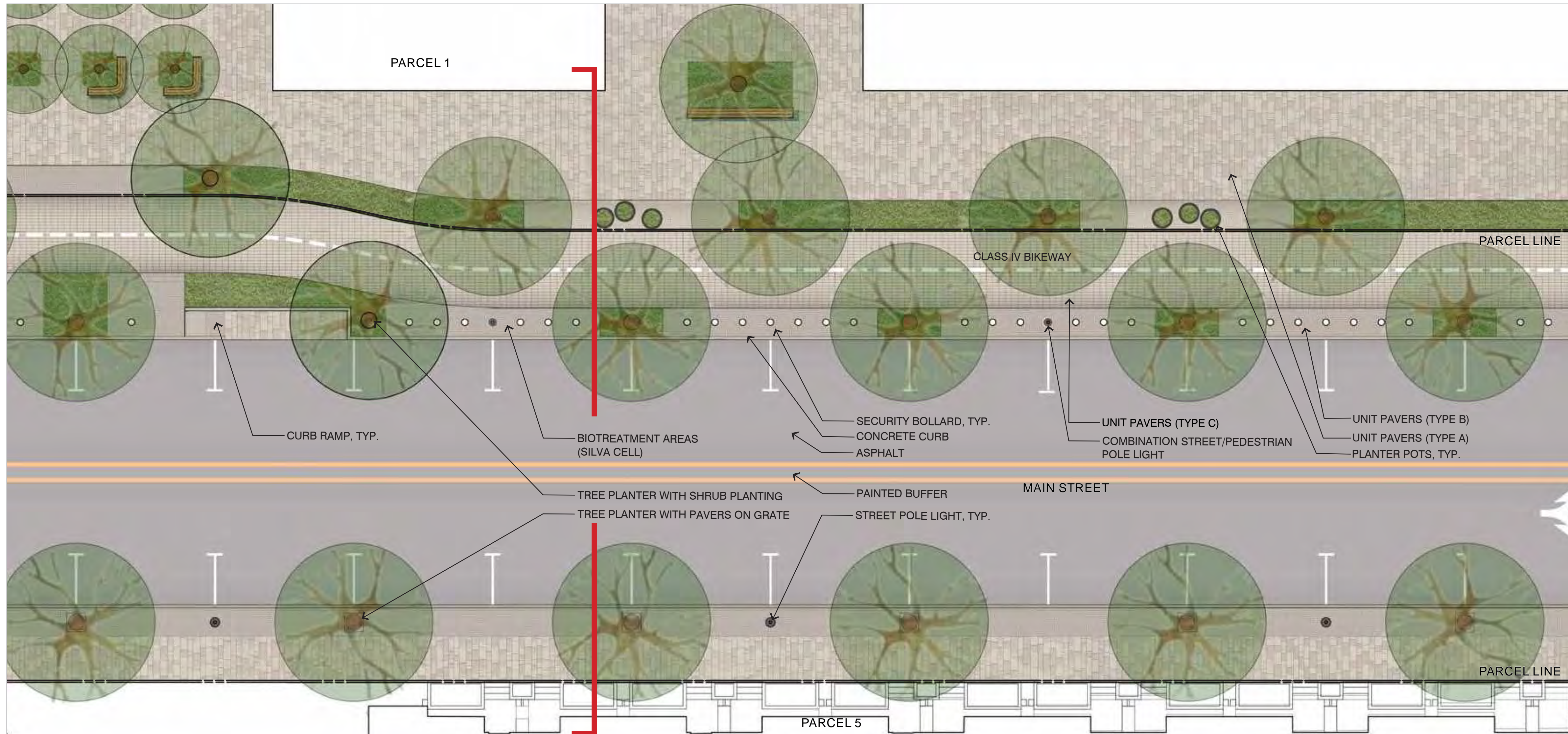
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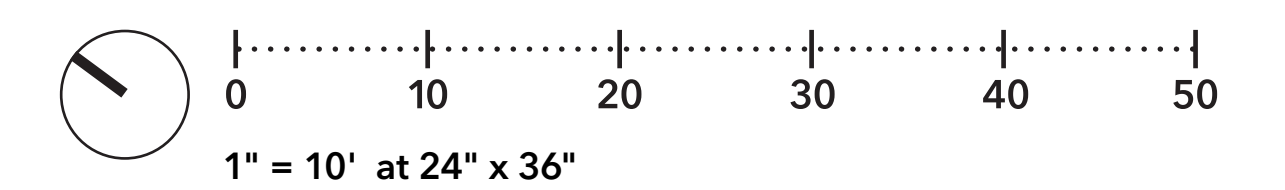
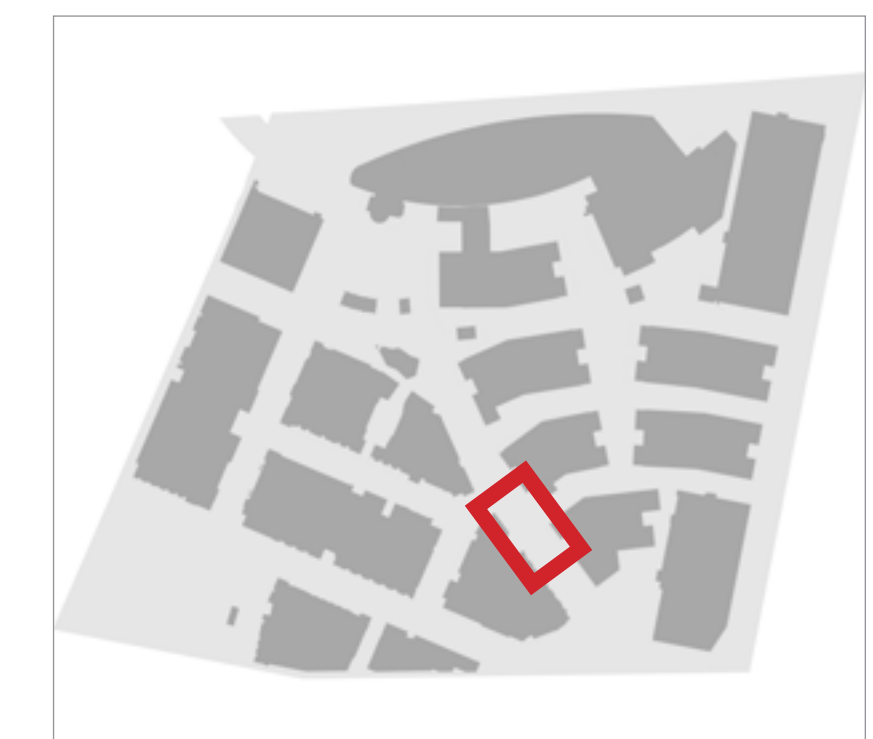




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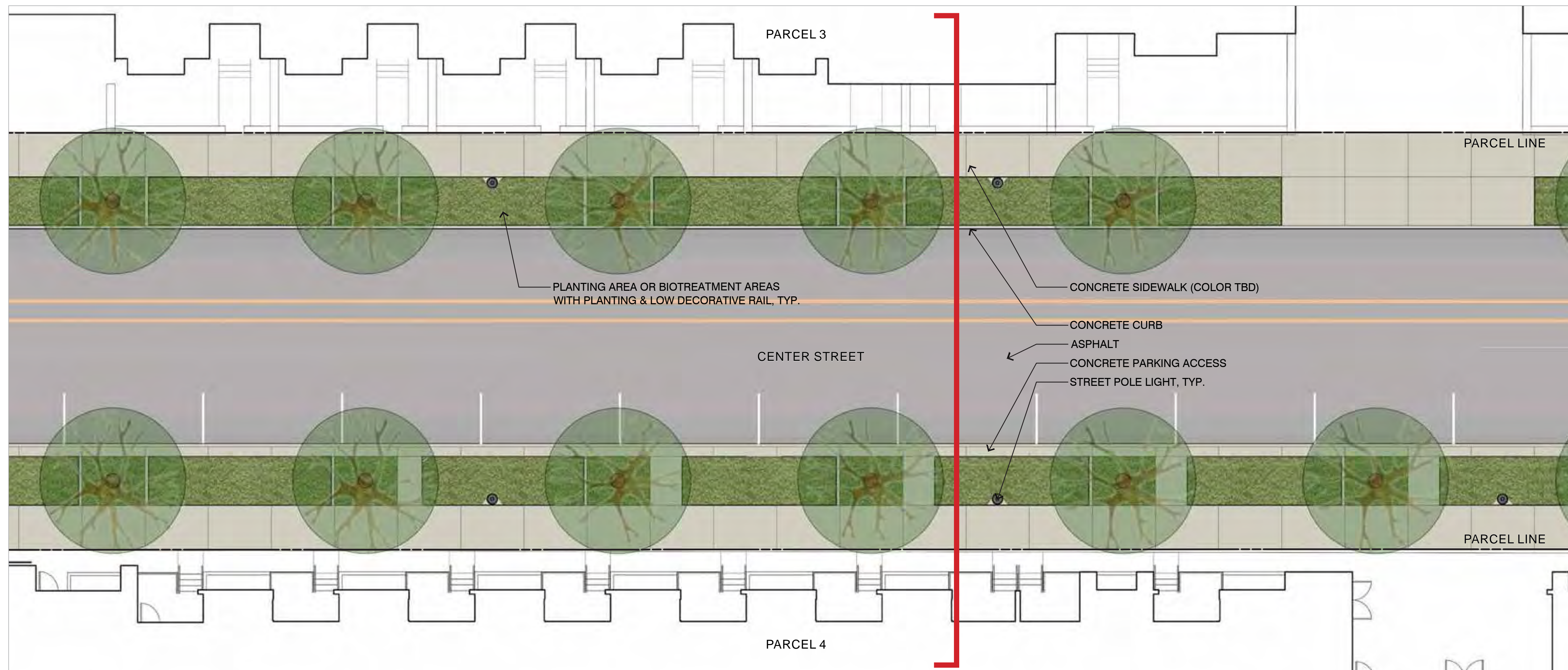
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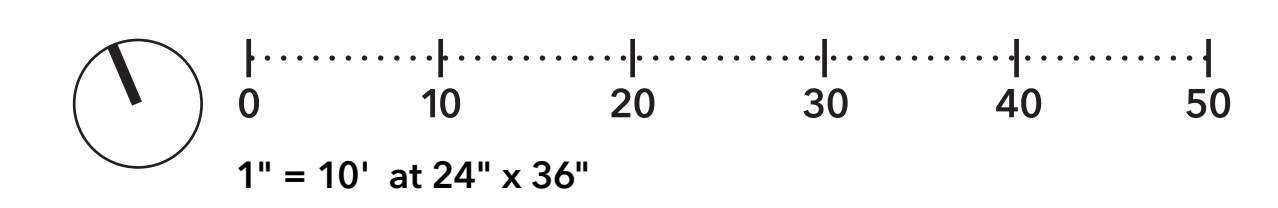
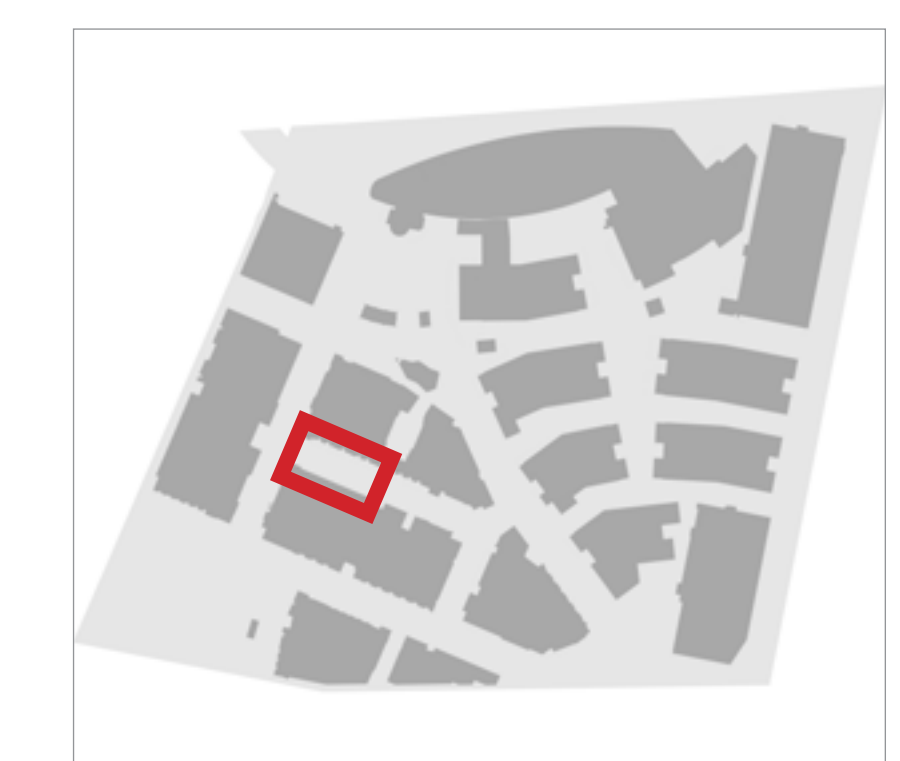




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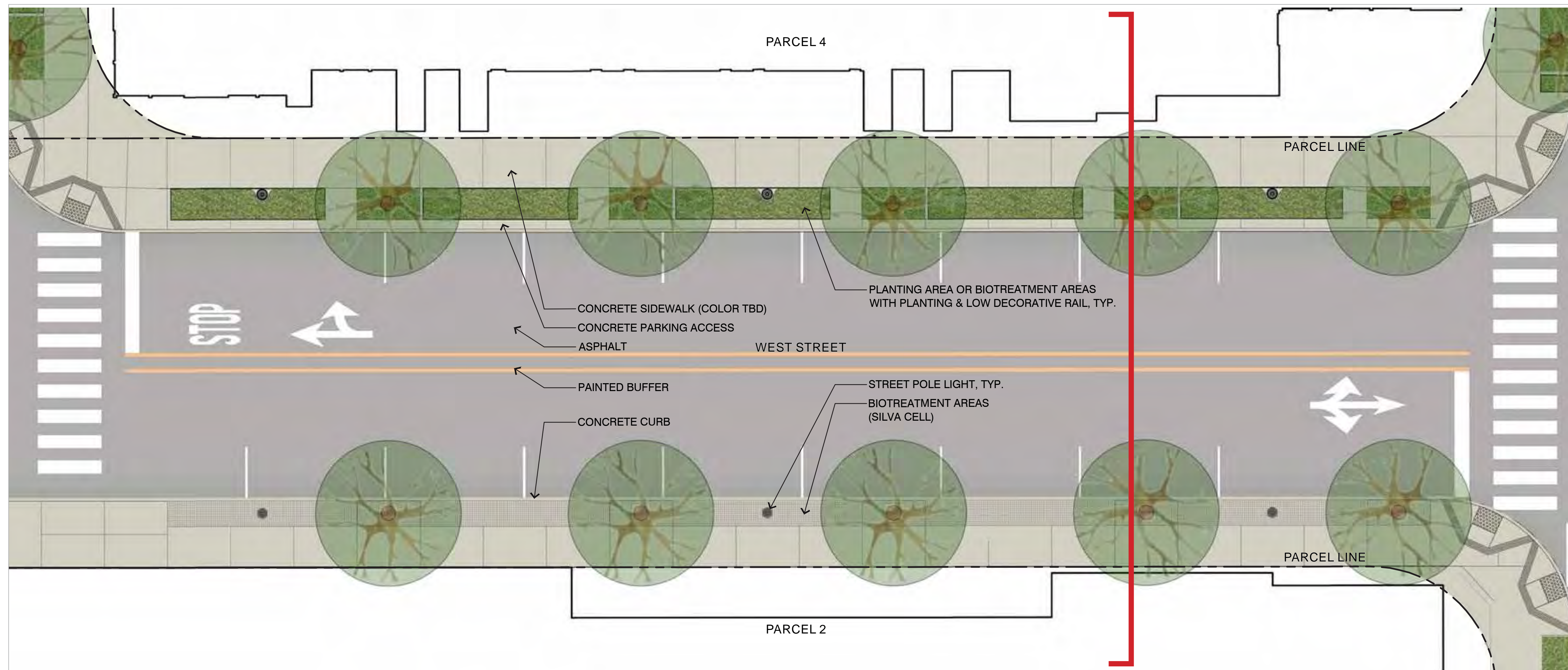
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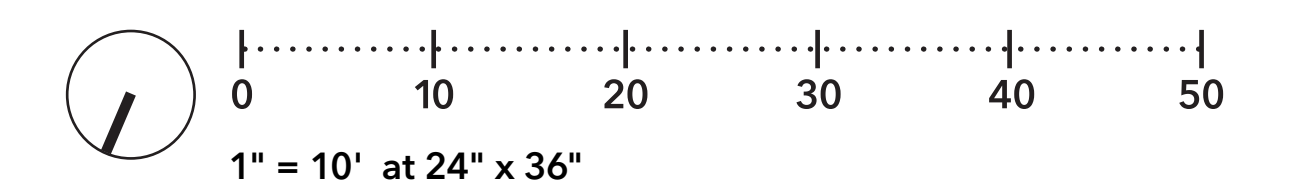
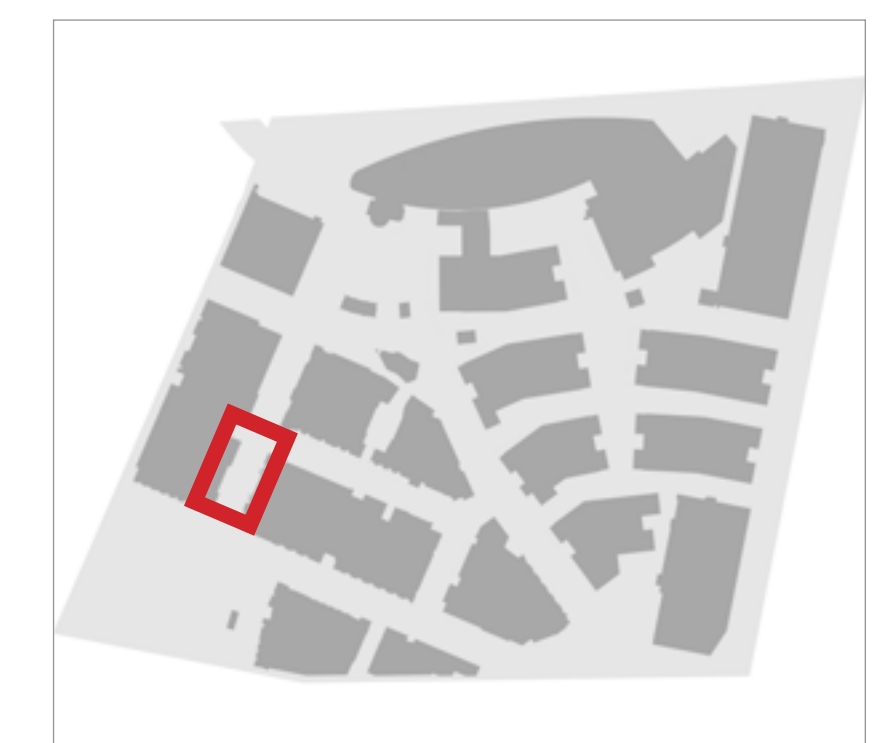




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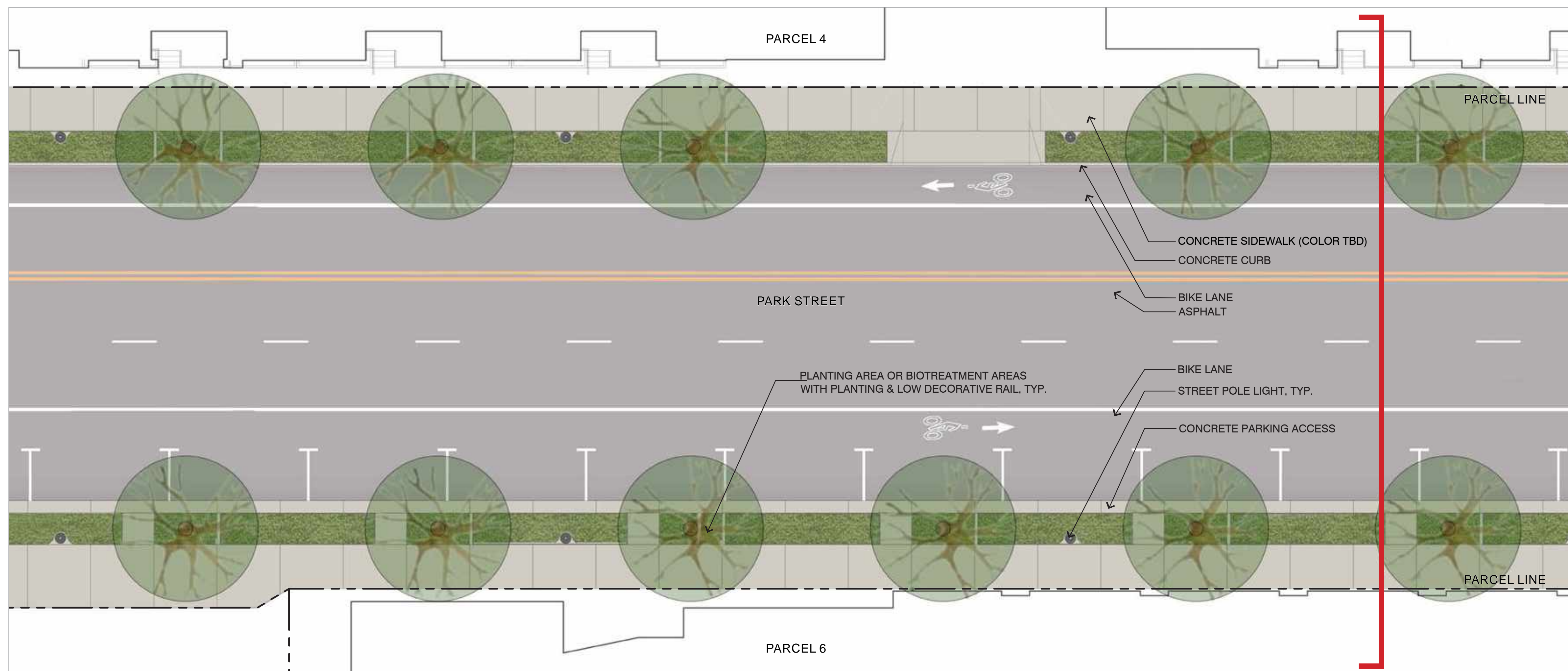
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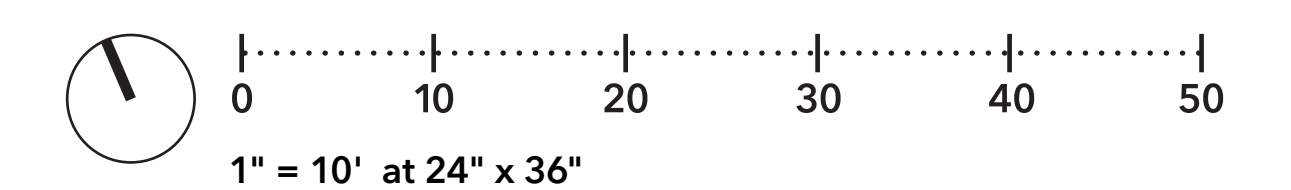
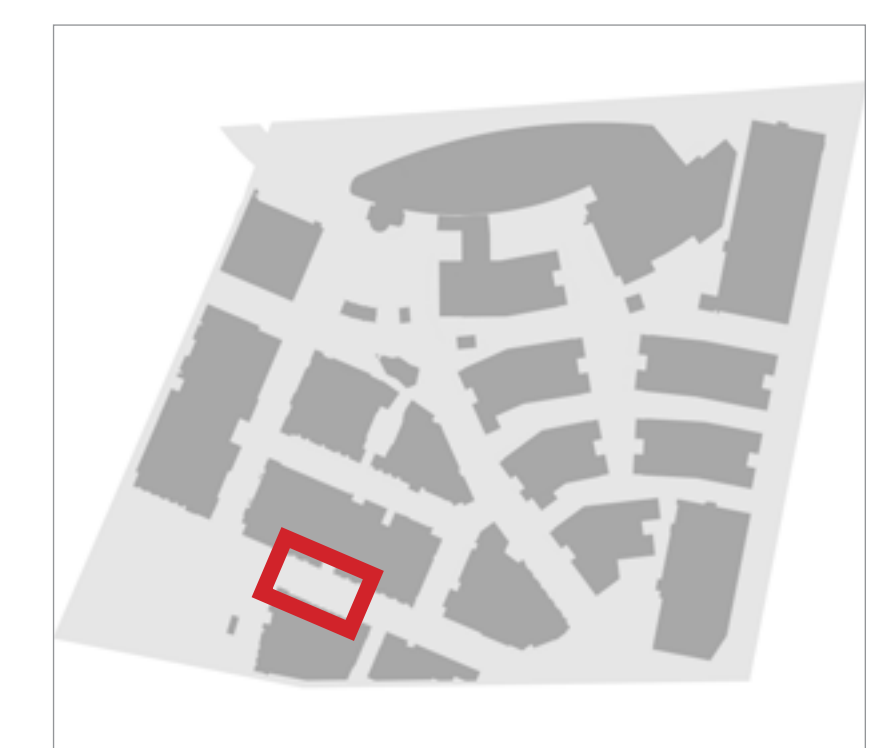




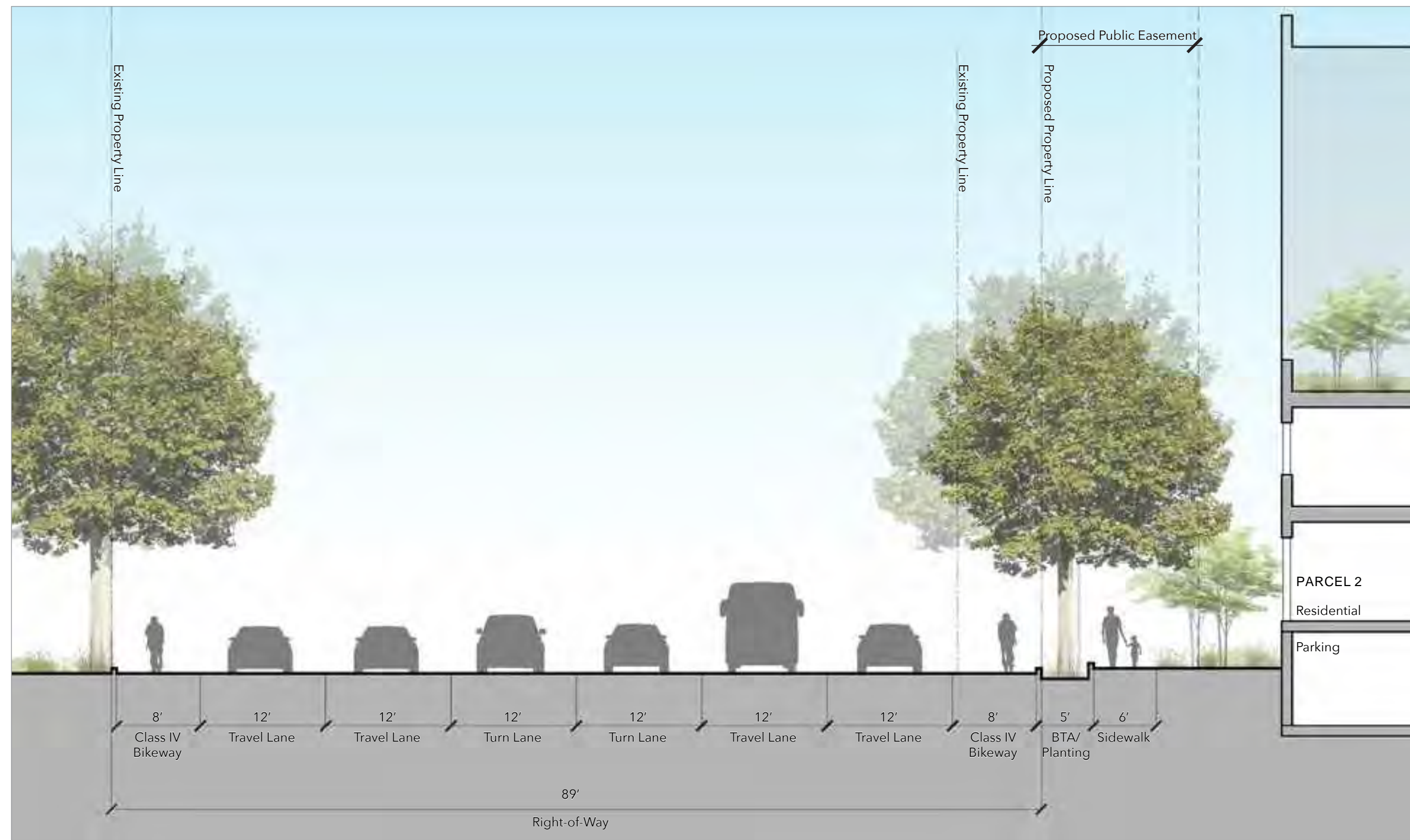
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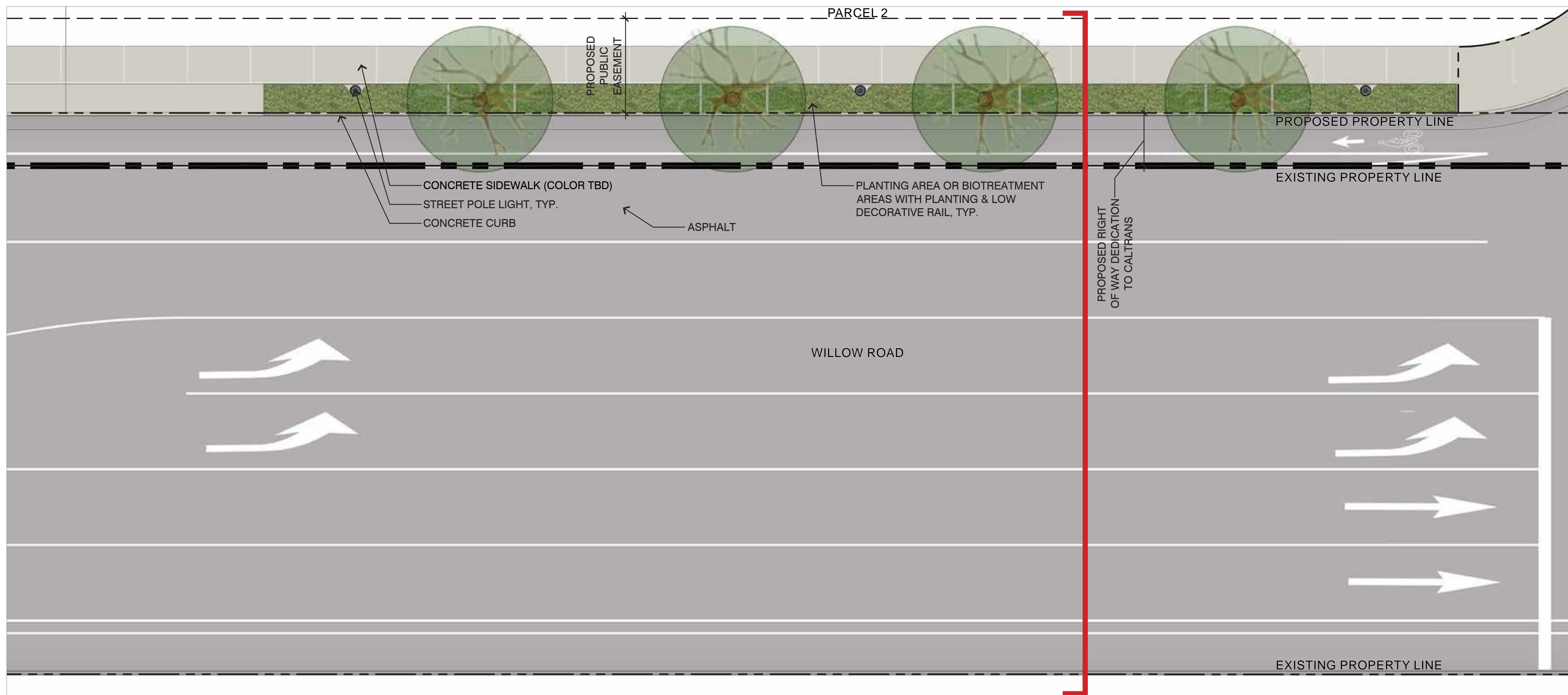
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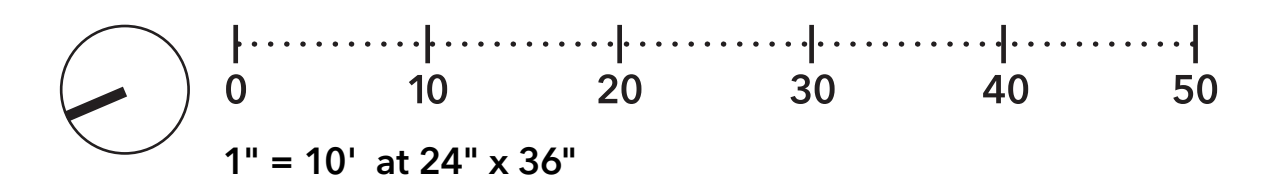
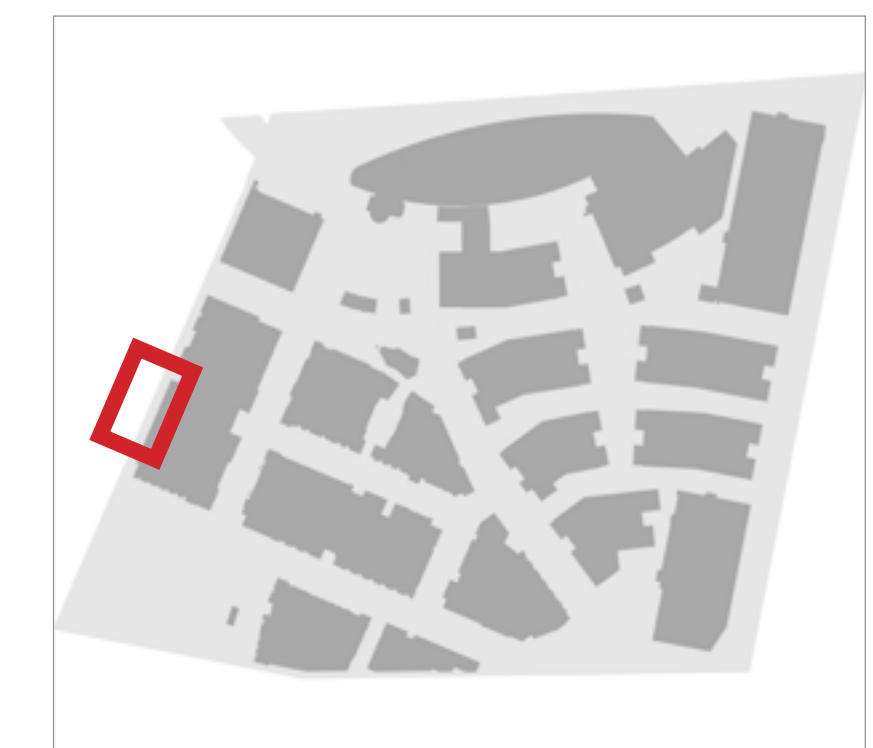




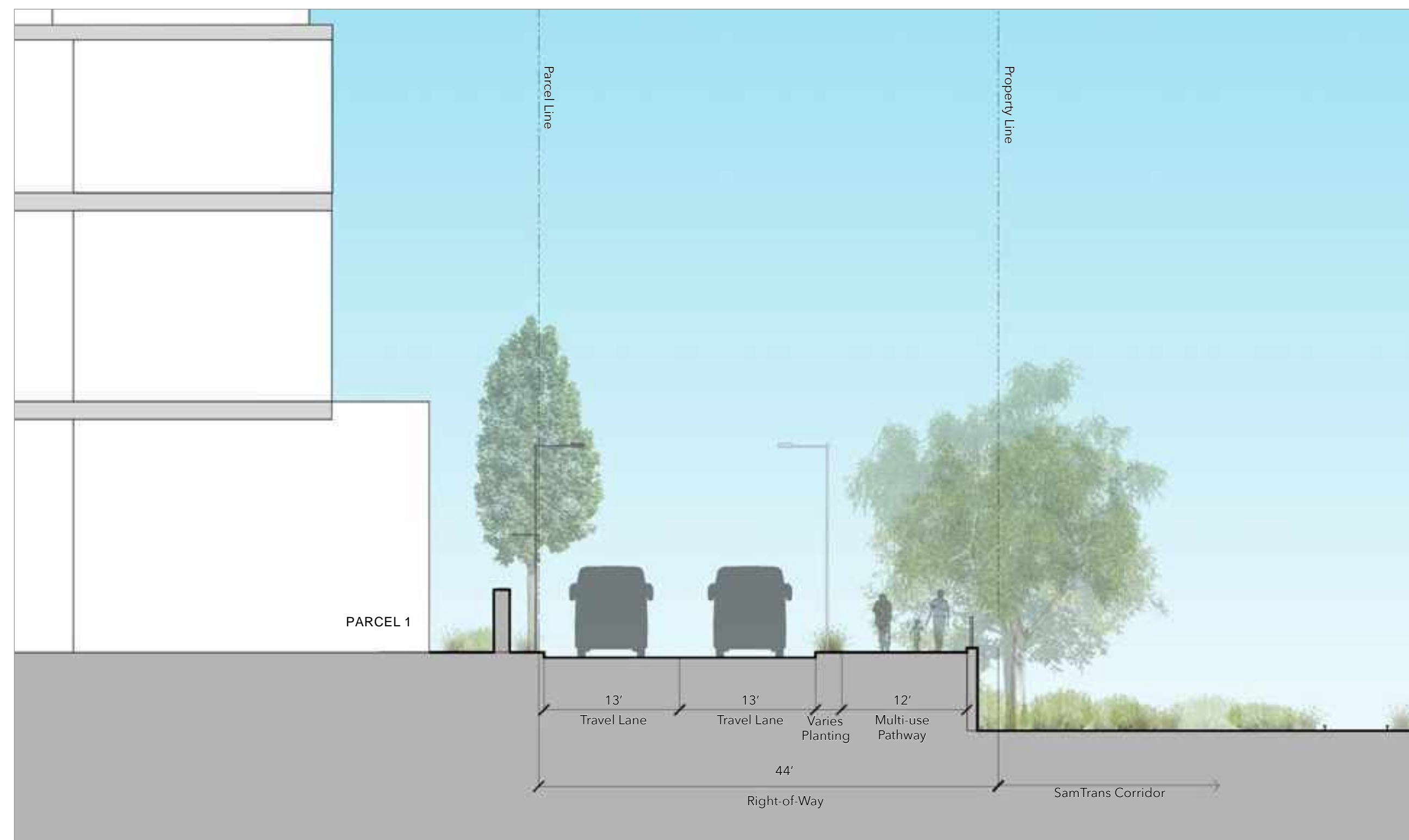
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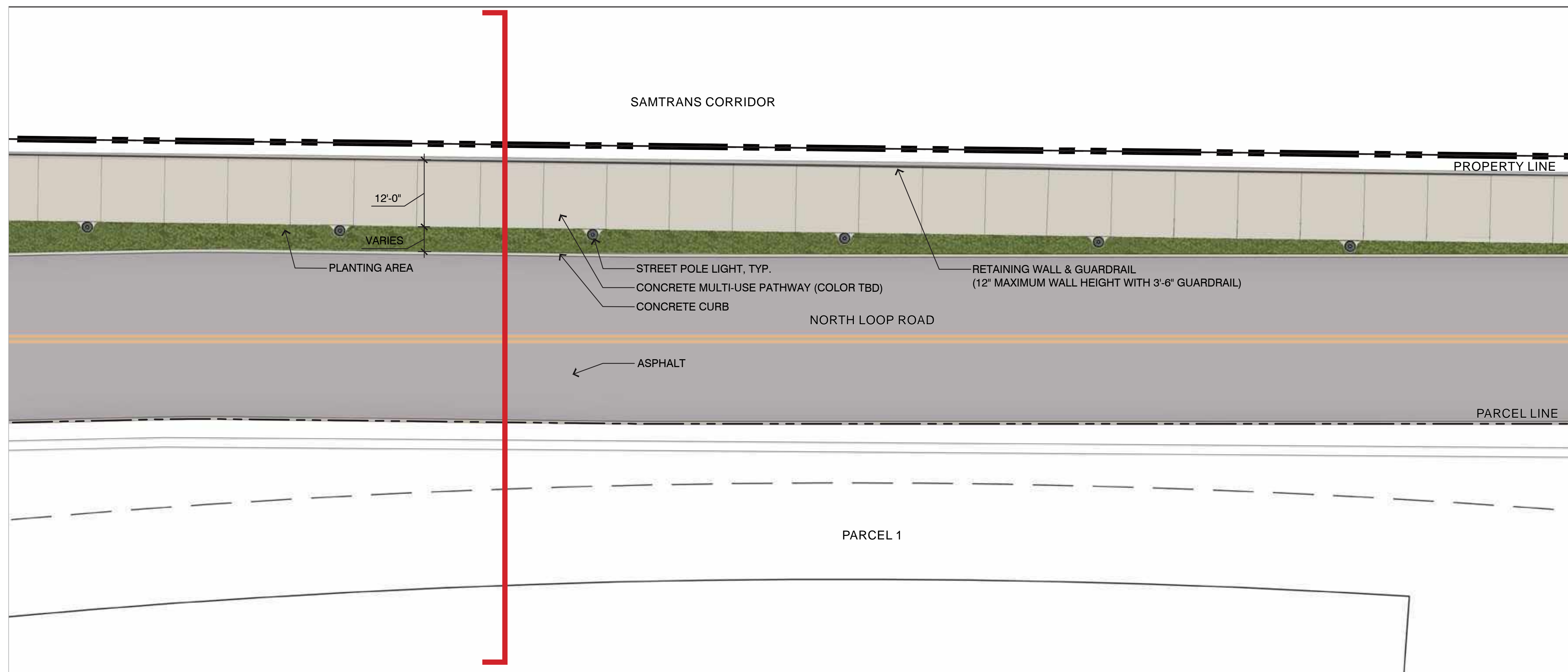
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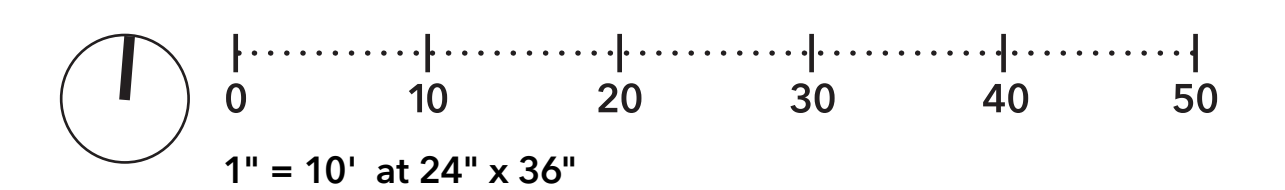
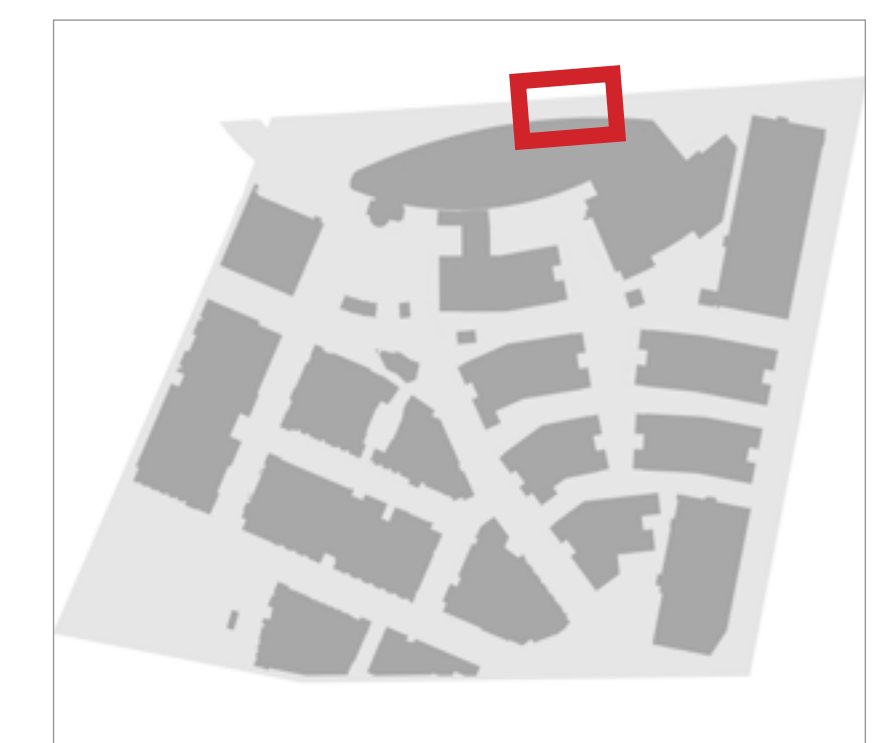




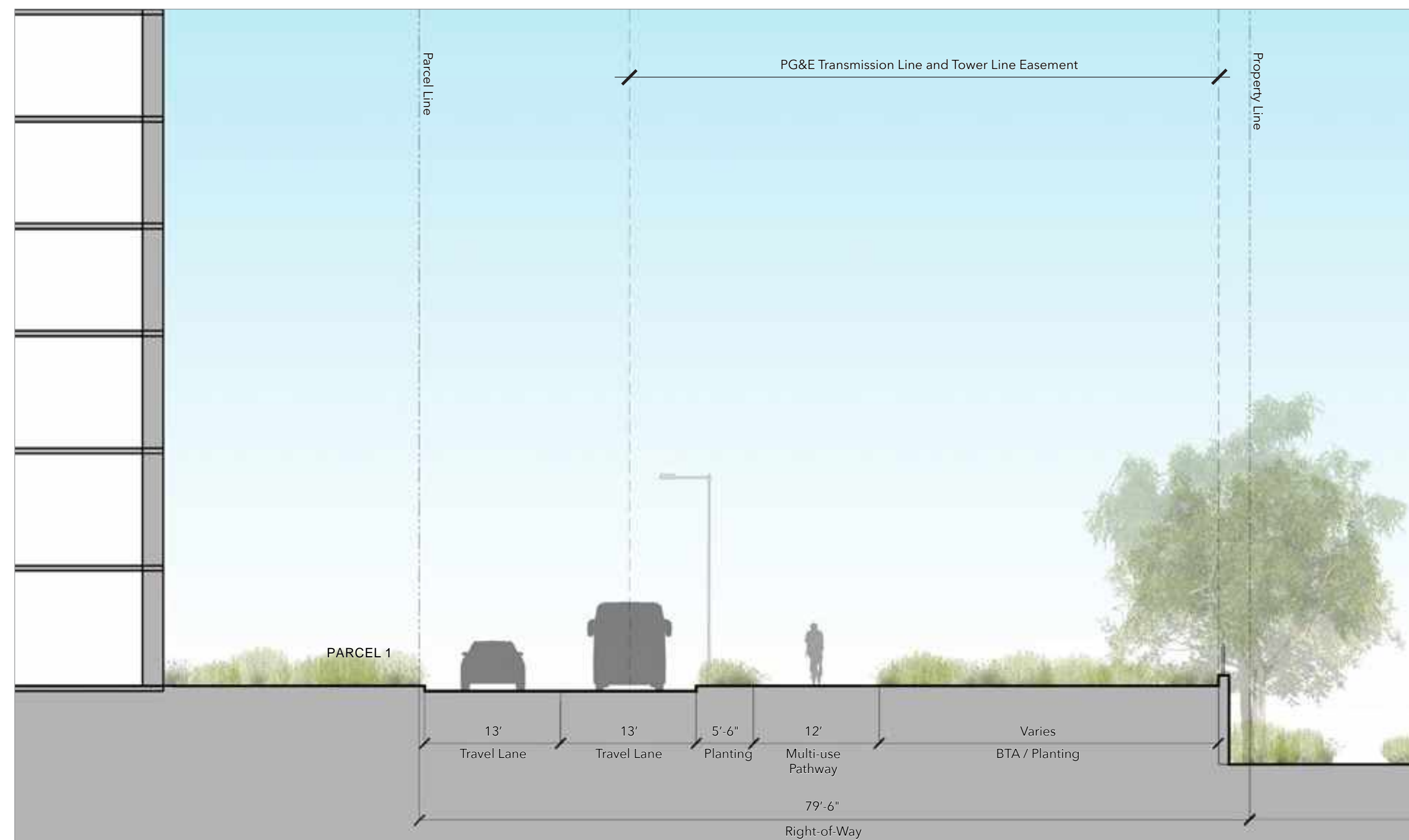
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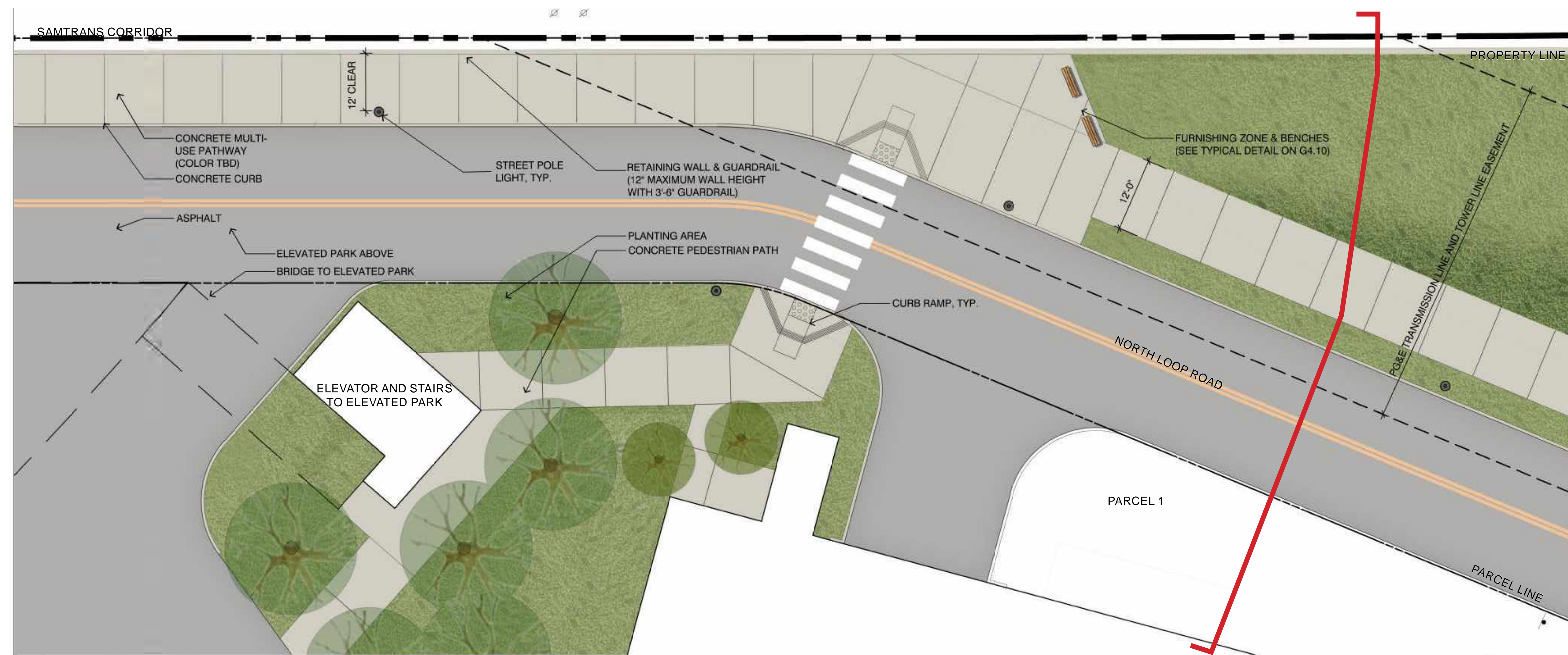
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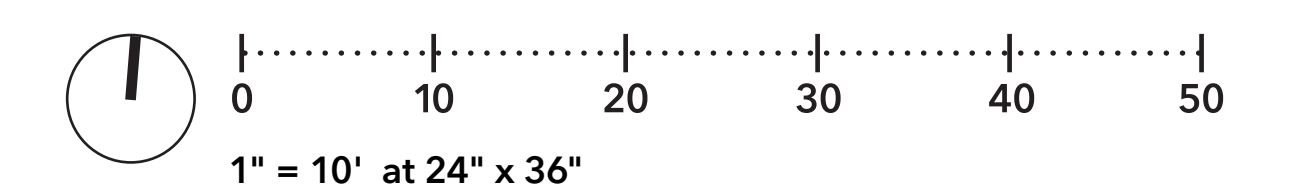
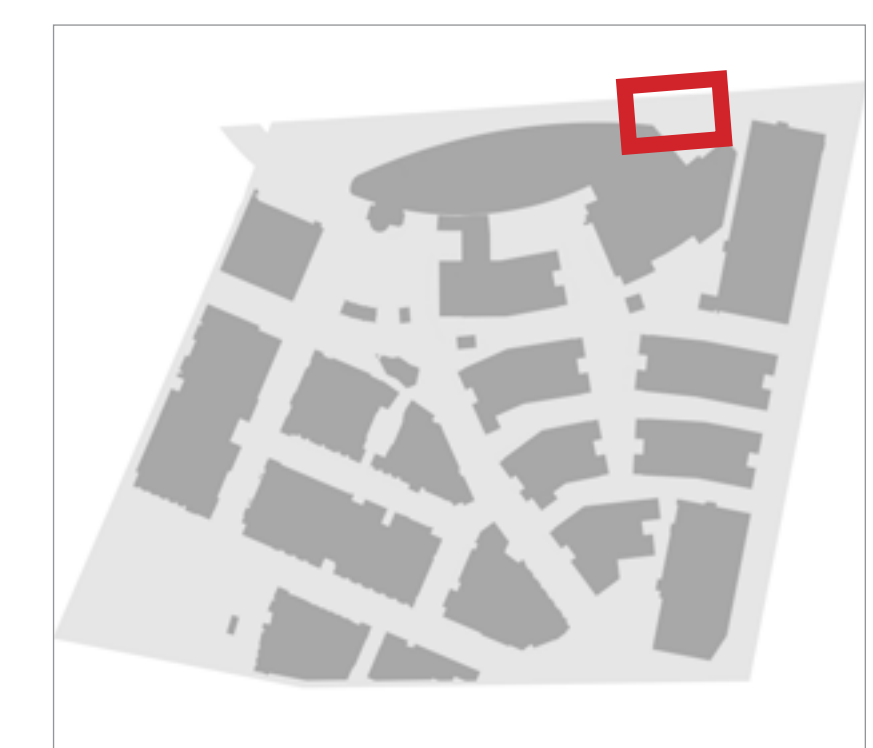




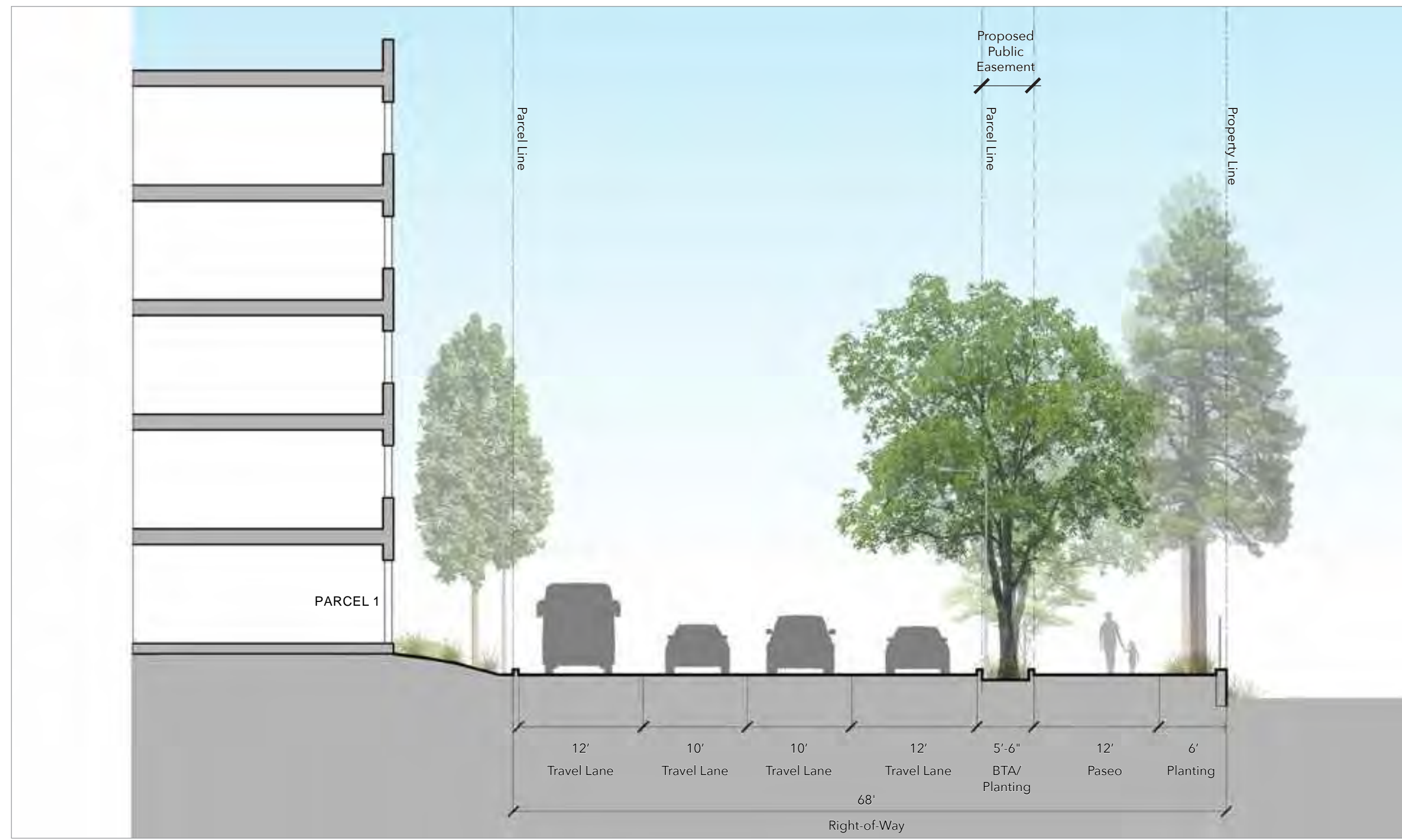
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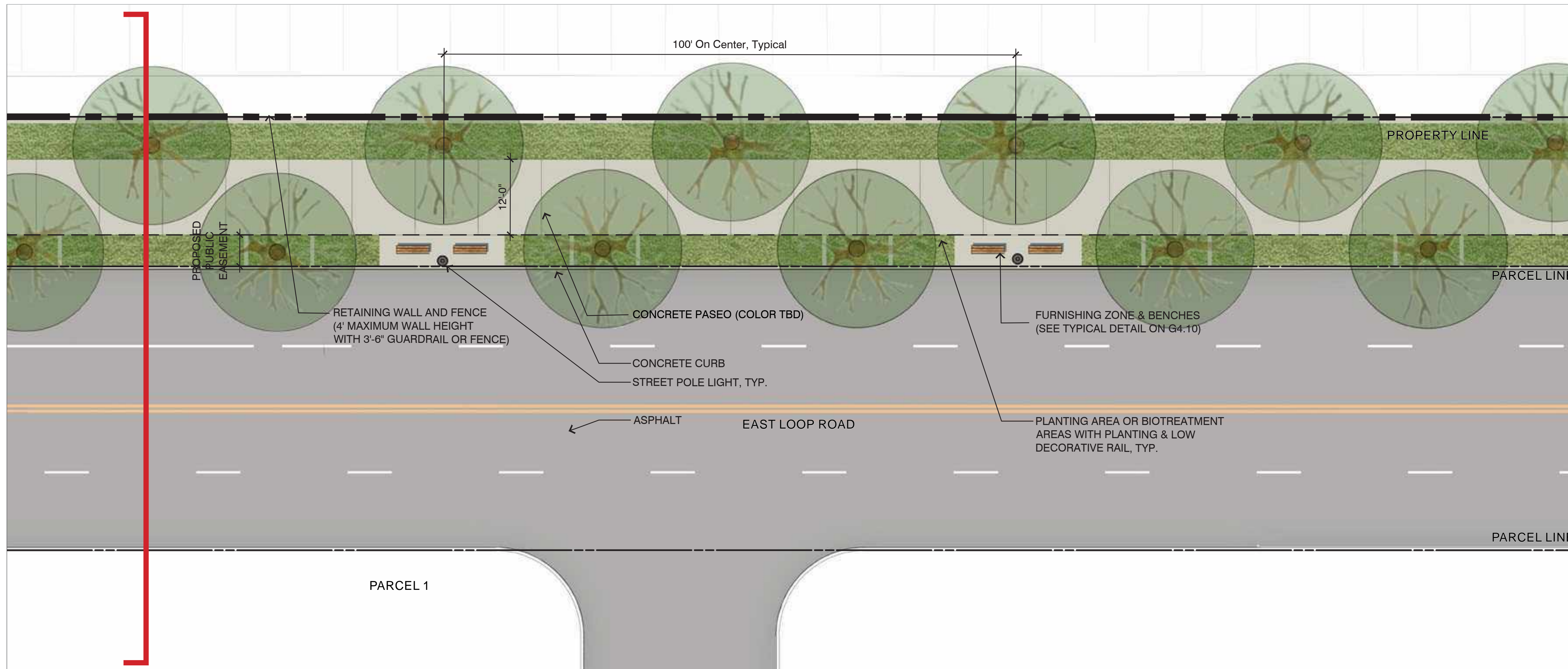
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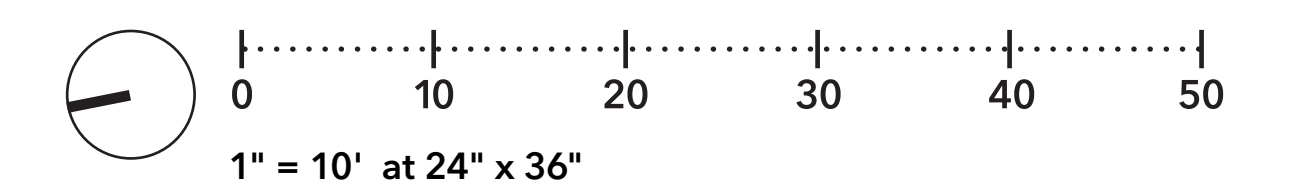
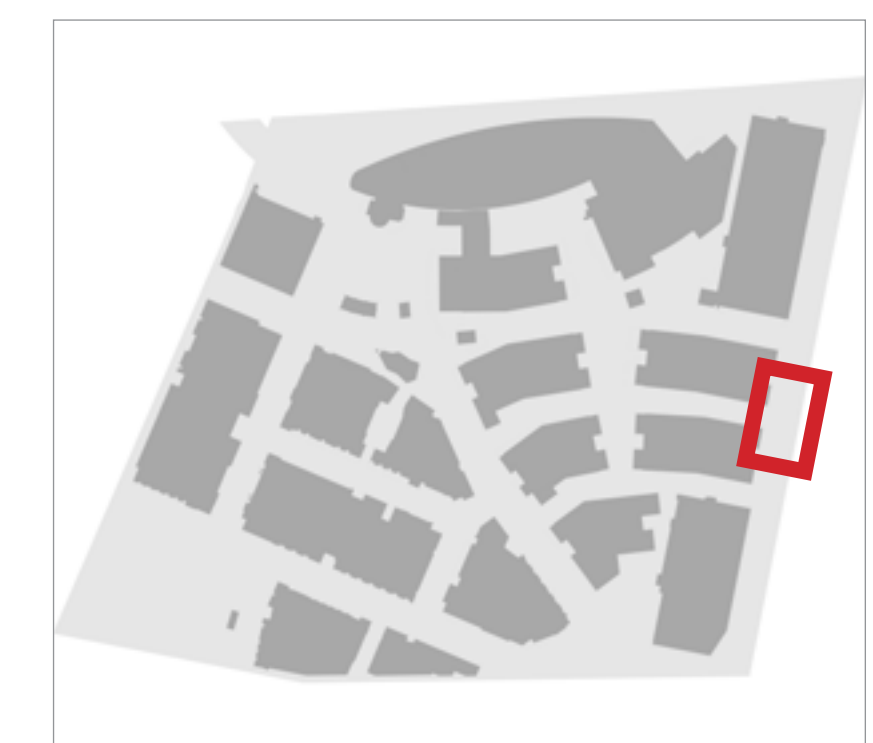




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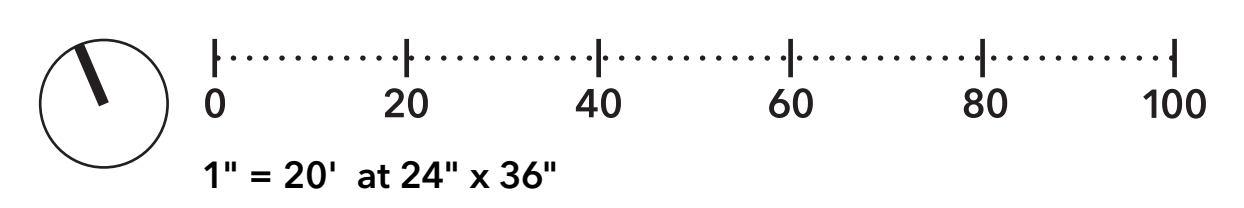
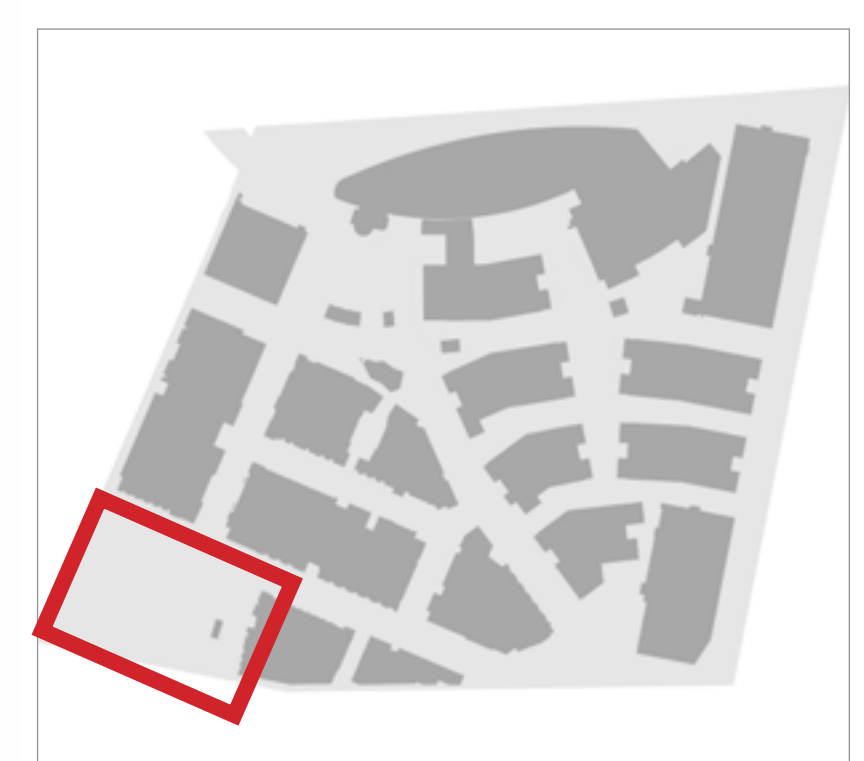
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PARCEL 6

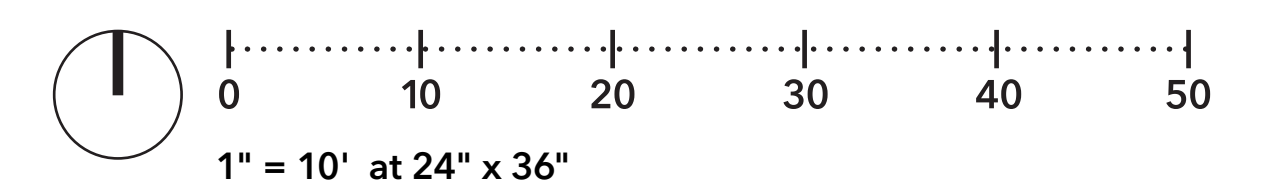
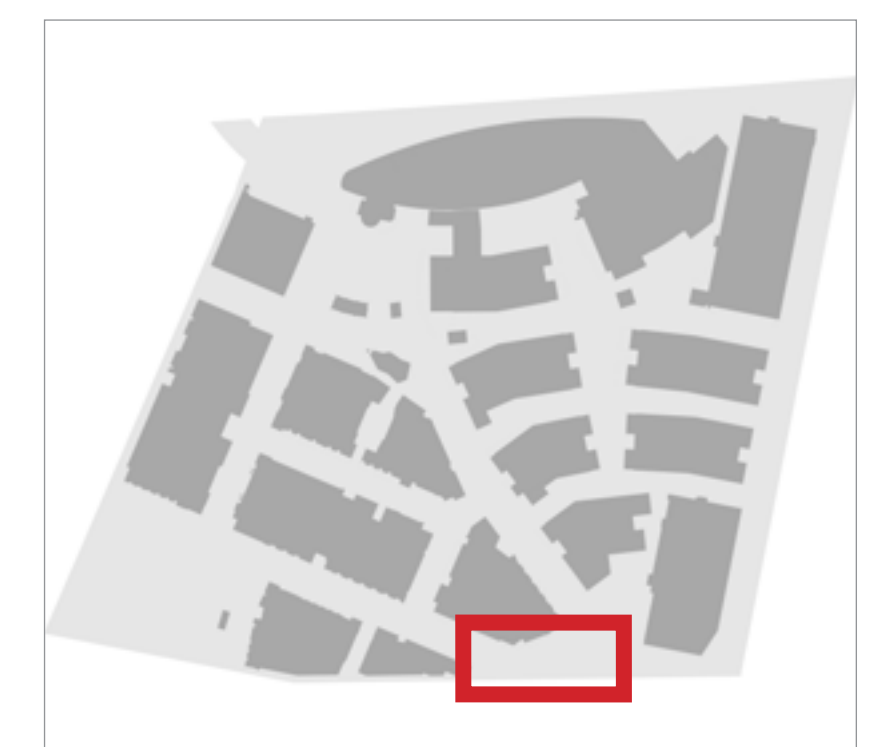


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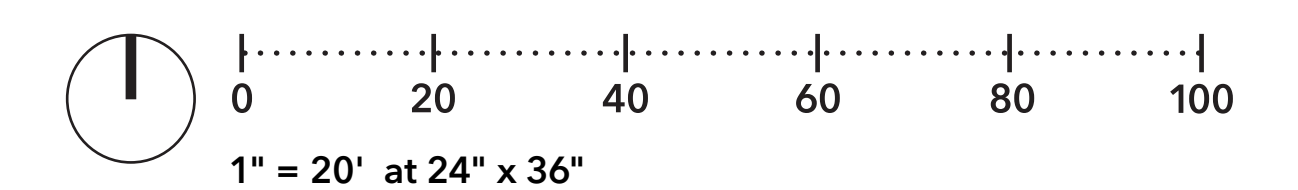




**PLAN ENLARGEMENT**







**PLAN ENLARGEMENT**

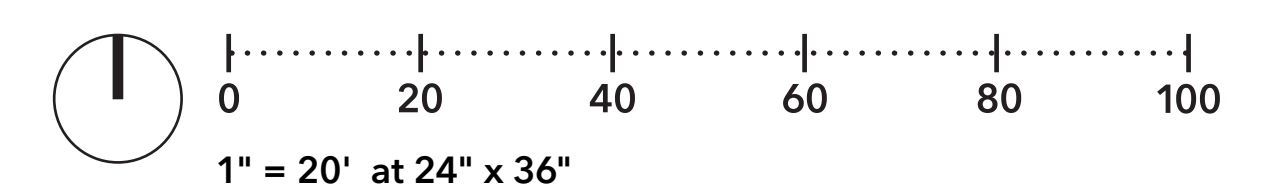
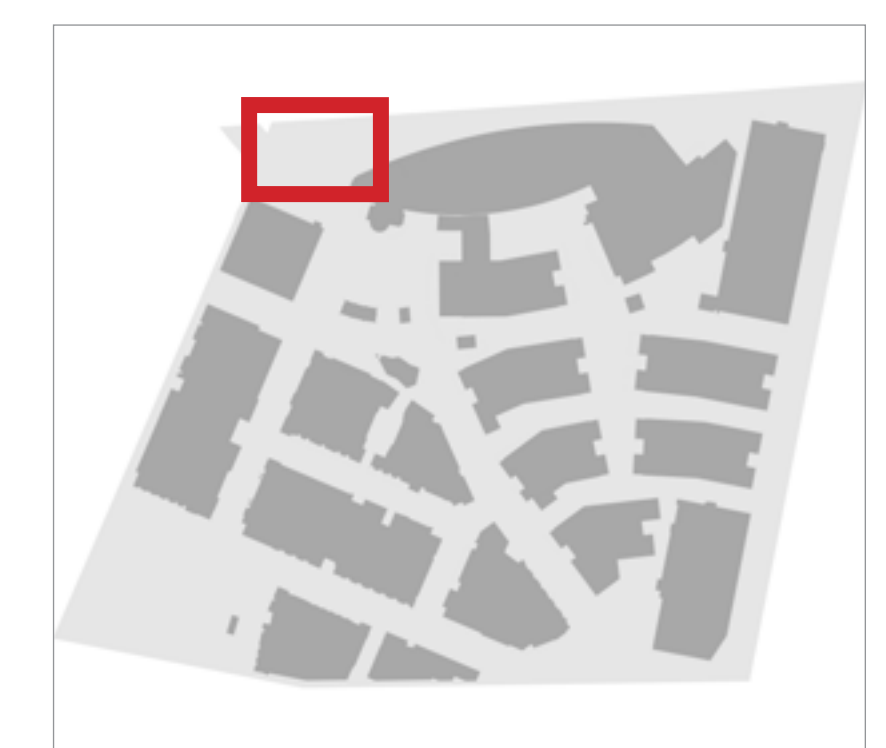
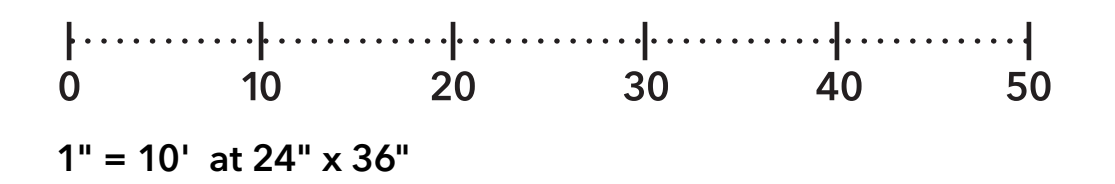




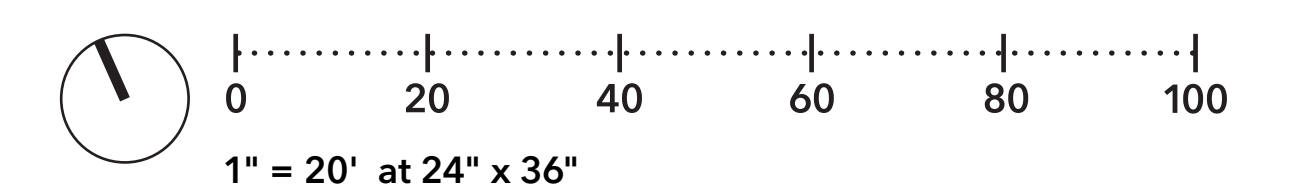
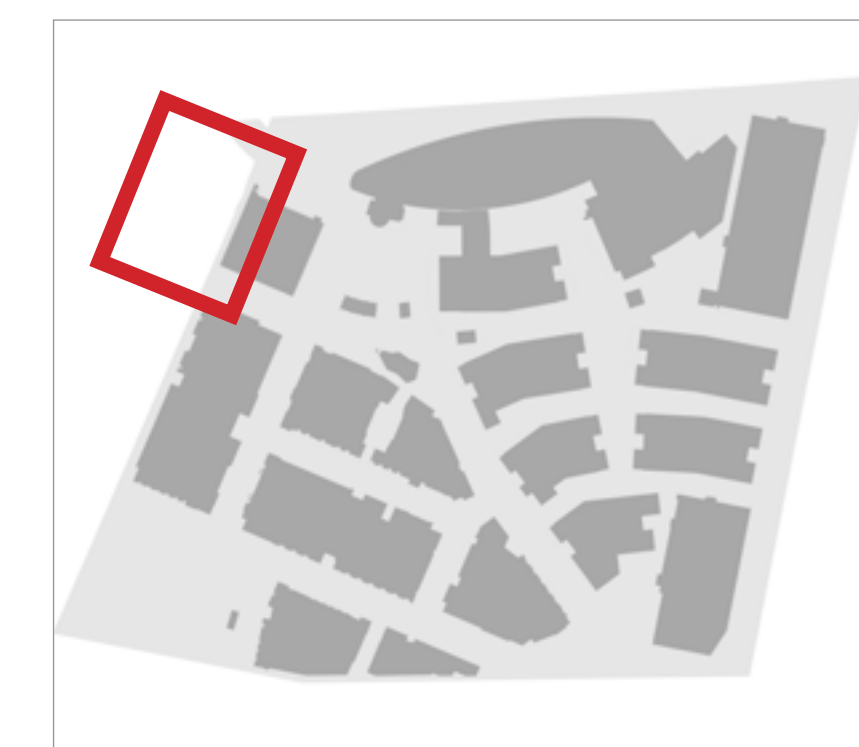
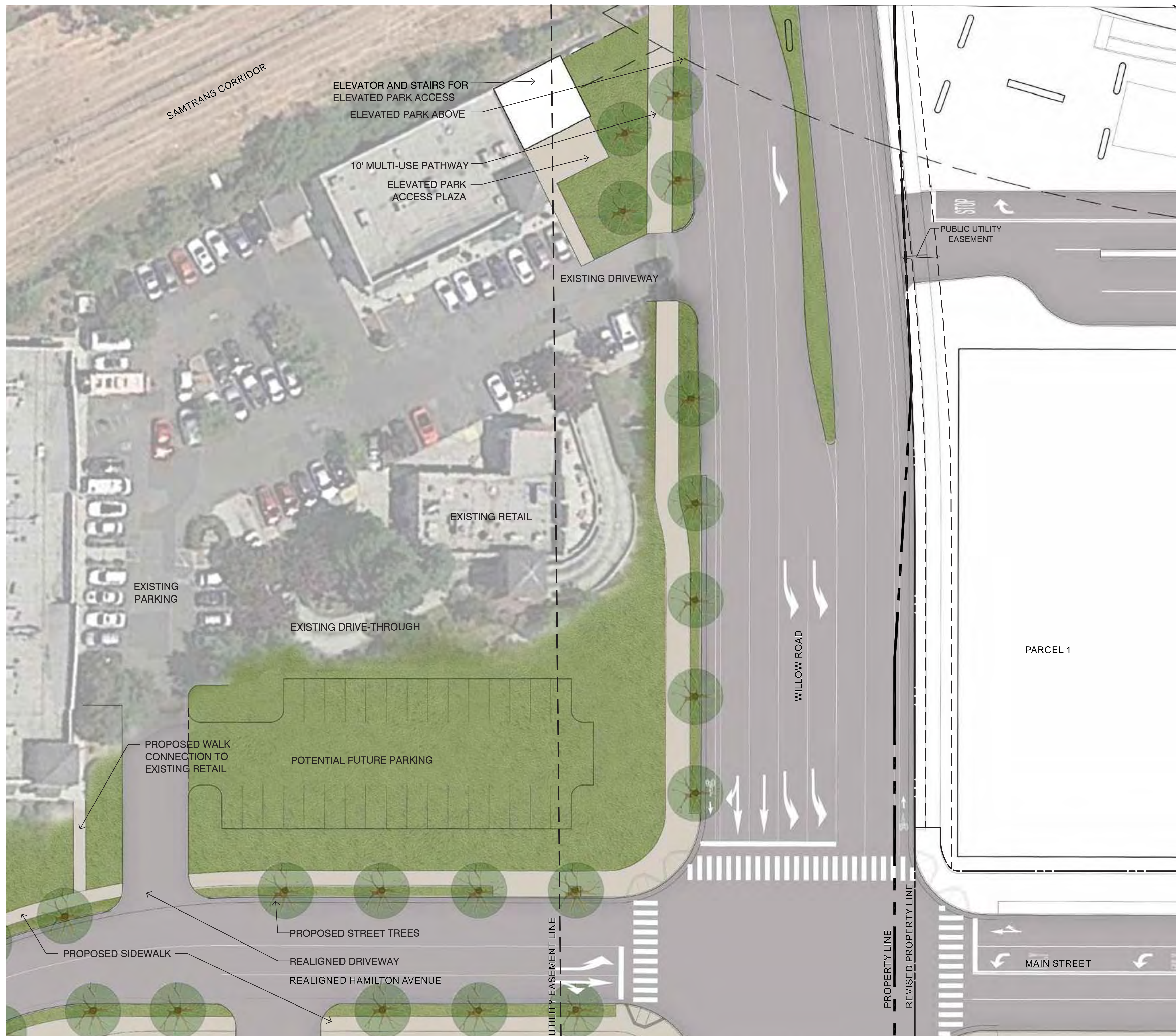
PLAN ENLARGEMENT



SECTION











LEGEND				
	BOTANIC NAME (COMMON NAME)	QUANTITY	SIZE	WUCOLS
○	Existing Tree to Remain <i>Pinus canariensis</i> (Canary Island Pine)	23	-	-
●	<i>Aesculus californica</i> (California Buckeye)	10	36" box	Very Low
●	<i>Arbutus 'Marina'</i> (Marina Arbutus)	13	48" box	Low
●	<i>Cedrus atlantica 'Glauca Fastigiata'</i> (Columnar Blue Atlas Cedar)	30	48" box	Medium
●	<i>Ginkgo biloba 'Autumn Gold'</i> (Autumn Gold Ginkgo)	52	48" box	Medium
●	<i>Koelreuteria bipinnata</i> (Chinese Flame Tree)	38	48" box	Medium
●	<i>Lagerstroemia 'Natchez'</i> (Natchez Crape Myrtle)	12	48" box	Low
●	<i>Lophostemon confertus</i> (Brisbane Box)	21	48" box	Medium
●	<i>Pistacia chinensis 'Keith Davey'</i> (Keith Davey Chinese Pistache)	2	48" box	Low
●	<i>Platanus x hispanica 'Exclamation'</i> (Exclamation London Plane Tree)	11 61	36" box 48" box	Medium
●	<i>Quercus frainetto 'Forest Green'</i> (Hungarian Oak)	38	48" box	Medium
●	<i>Zelkova serrata 'Green Vase'</i> (Green Vase Zelkova)	69	60" box	Medium
Total Proposed Tree		357		

Note: Structural soil to be used under sidewalk and plaza adjoining street trees.

PRIVATE TREE VALUATION				
QUANTITY	UNIT SIZE	UNIT VALUE	VALUE	
27	36" box	\$ 1,200	\$	32,400
448	48" box	\$ 5,000	\$	2,240,000
279	60" box	\$ 7,000	\$	1,953,000
129	72" box	\$ 10,000	\$	1,290,000
28	84" box	\$ 12,000	\$	336,000
4	96" box	\$ 15,000	\$	60,000
915			\$	5,911,400

Note: Current valuation includes proposed at-grade trees meeting heritage tree replacement criteria within Willow Village and off-site areas, including Willow ROW, Hamilton Realignment, and O'Brien Roundabout (excludes public street trees, Parcels 4&5).

PUBLIC STREET TREE VALUATION				
QUANTITY	UNIT SIZE	UNIT VALUE	VALUE	
12	36" box	\$ 1,200	\$	14,400
108	48" box	\$ 5,000	\$	540,000
17	60" box	\$ 7,000	\$	119,000
137			\$	673,400

Note: Compliance with the minimum replacement value and replacement tree criteria of the heritage trees (public street trees and private trees) will be reviewed through each ACP and confirmed through project build out.





● California Buckeye  
*Aesculus californica*



● Marina Arbutus  
*Arbutus 'Marina'*



● Columnar Blue Atlas Cedar  
*Cedrus atlantica 'Glauca Fastigiata'*



● Raywood Ash  
*Fraxinus oxycarpa 'Raywood'*



● Autumn Gold Ginkgo  
*Ginkgo biloba 'Autumn Gold'*



● Chinese Flame Tree  
*Koelreuteria bipinnata*



● Natchez Crape Myrtle  
*Lagerstroemia 'Natchez'*



● Little Gem Southern Magnolia  
*Magnolia grandiflora 'Little Gem'*



● Keith Davey Chinese Pistache  
*Pistacia chinensis 'Keith Davey'*



● Exclamation London Plane Tree  
*Platanus x hispanica 'Exclamation'*



● Hungarian Oak  
*Quercus frainetto 'Forest Green'*



● Green Vase Zelkova  
*Zelkova serrata 'Green Vase'*





**Kangaroo Paw**  
*Anigozanthos cv.*



**Berkeley Sedge**  
*Carex divulsa*



**California Wild Lilac**  
*Ceanothus spp.*



**Small Cape Rush**  
*Chondropetalum tectorum*



**Dietes**  
*Dietes spp.*



**Pine Muhly**  
*Muhlenburgia dubia*



**New Zealand Flax**  
*Phormium cv.*



**Rosemary**  
*Rosmarinus officinalis cv.*



**Sage**  
*Salvia spp.*

WATER USE ESTIMATION & IRRIGATION SCHEDULE - PUBLIC REALM																										
WATER TYPE		Name: City to project with published ET data*																								
CITY	Rate																									
ET0	45.1																									
REGULAR LANDSCAPE AREAS																										
STATION/HYDROZONE	SRF	AREA (sq ft) (sq)	WATER USE TYPE (LW-HIGH, MW-MED, LW-LOW)	PLANT TYPE	IRRIGATION TYPE	PLANT FACTOR (PF)	IRRIGATION EFFICIENCY (IE)	PRECIP. RATE / APPLICATION RATE (in/hr)	ET0 (in)	CYCLES PER DAY	DAYS PER WEEK	MONTHLY ET0												ETWU (GALLONS PER YEAR)	PERCENTAGE OF LANDSCAPE	
STATION/HYDROZONE	SRF	AREA (sq ft) (sq)	WATER USE TYPE (LW-HIGH, MW-MED, LW-LOW)	PLANT TYPE	IRRIGATION TYPE	PLANT FACTOR (PF)	IRRIGATION EFFICIENCY (IE)	PRECIP. RATE / APPLICATION RATE (in/hr)	ET0 (in)	CYCLES PER DAY	DAYS PER WEEK	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC	ETWU (GALLONS PER YEAR)	PERCENTAGE OF LANDSCAPE	
Zone - Low	0	2137	LW	SHRUBS	DRIP	0.3	0.81	0.0	0.4	2	2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	21,137	18%
Zone - Med	0	4000	MW	SHRUBS	DRIP	0.3	0.81	0.0	0.6	2	2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	20,000	17%
Zone - High	0	1000	HW	SHRUBS	DRIP	0.3	0.81	0.0	1.0	2	2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	10,000	8%
TOTAL		18,471																								

SPECIAL LANDSCAPE AREAS			
HYDROZONE #	HYDROZONE NAME	AREA (sq ft) (sq)	Percentage of Landscape
ALL		118,871	100%

MAWA		
GALLONS/YR	ACRE FEET/YR	HCF/YR
1,188,464	9.72	4,238.30

ETWU		
GALLONS/YR	ACRE FEET/YR	HCF/YR
1,034,726	8.19	3,363.30

SITE IRRIGATION EFFICIENCY		
SITE PLANT FACTOR	MAWA COMPLIANT	
48.4%	0.25	YES

REGULAR LANDSCAPE AREAS		
ETAF Calculations	TOTAL ETAF x AREA	AVG. ETAF
	38,721	2.09
	118,871	
	32.66%	

THE IRRIGATION VALVE SCHEDULE SHOWN ABOVE IS INTENDED TO BE USED AS A GUIDELINE ONLY AND INDICATES THE APPROXIMATE RUN TIMES IN MINUTES FOR EACH VALVE BASED ON ESTIMATED WEEKLY WATER REQUIREMENTS FOR ESTABLISHED PLANT MATERIAL. THE TIMES SHOWN ARE APPROXIMATE AND HAVE BEEN DEVELOPED FROM LOCAL AND CURRENT AVERAGES FOR EVAPOTRANSPIRATION, AND REFLECT THE WATER REQUIREMENTS OF THE PLANT MATERIAL BASED ON PLANT TYPE AND THE APPROXIMATE PRECIPITATION OR APPLICATION RATES OF THE IRRIGATION SYSTEM TYPE. ACTUAL RUN TIMES MAY BE DIFFERENT DEPENDING ON A VARIETY OF FACTORS INCLUDING TOPOGRAPHY, SOIL STRUCTURE, SUN AND WIND EXPOSURE, WEATHER, ACTUAL PLANT WATER REQUIREMENTS, OVERALL PRECIPITATION RATE OF ZONE, ETC.

MAWA FORMULA		ETWU FORMULA	
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR	MAWA = (ET0 x 0.45) x 0.55 x 4.54	ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR	ETWU = (ET0 x ETAF) x 4.54

ET0 = REFERENCE EVAPOTRANSPIRATION  
 0.45 = ET ADJUSTMENT FACTOR  
 0.55 = LANDSCAPE AREA (SQ FT)  
 4.54 = CONVERSION FACTOR (GALLONS/SQ FT/YR)

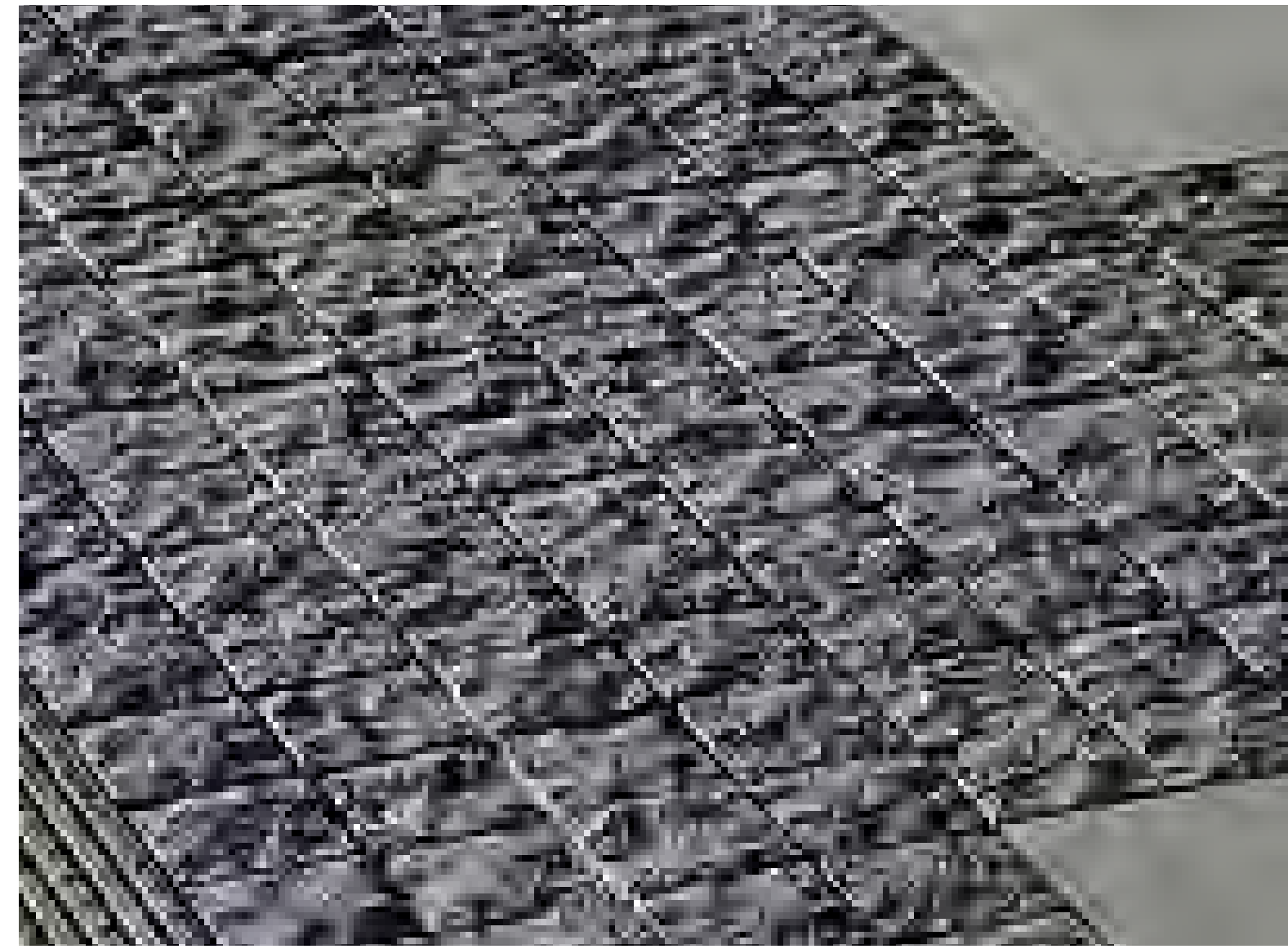
PF = PLANT FACTOR FOR HYDROZONES  
 HW = HYDROZONE AREA (SQ FT)  
 0.62 = CONVERSION FACTOR (GALLONS/SQ FT/YR)

IE = IRRIGATION EFFICIENCY (0.81 = BUBBLER/DRIP)  
 IE = IRRIGATION EFFICIENCY (0.75 = FOLIAGE/SPRAY)





Unit Paver (Type A) Example



Unit Paver (Type B) Example



Unit Paver (Type C) Example



Permeable Paver Example



Movable Seating Example



Raised Tree Planter Example



Circular Seating Example



Bench Example



BTA Low Decorative Rail Example



Security Bollard Example



Retractable Bollard Example



Shade Canopy Example





Calculation Summary

Scene Type	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bike Path 2_Top	Illuminance	Fc	2.62	7.3	0.4	6.55	18.25
Bike Path New_Top	Illuminance	Fc	1.00	3.1	0.2	5.00	15.50
Bike Path North Loop_Top	Illuminance	Fc	2.47	4.2	0.4	6.18	10.50
Loop Park 1_Top	Illuminance	Fc	1.83	4.5	0.1	18.30	45.00
East Loop Road B_Top	Illuminance	Fc	1.99	4.4	0.6	3.32	7.33
East Loop Road_Top	Illuminance	Fc	1.77	4.0	0.5	3.54	8.00
Int Center Park_Top	Illuminance	Fc	1.73	4.4	0.6	2.88	7.33
Int Center West_Top	Illuminance	Fc	2.95	4.5	0.6	3.42	7.50
Int East Loop Main_Top	Illuminance	Fc	1.93	6.9	0.5	3.86	13.80
Int East Loop_Top	Illuminance	Fc	1.81	4.5	0.4	4.53	11.25
Int Main B Main C_Top	Illuminance	Fc	1.34	2.8	0.3	4.47	9.33
Int Main West_Top	Illuminance	Fc	1.72	4.3	0.5	3.44	8.60
Int North Loop_Top	Illuminance	Fc	1.88	3.7	0.8	2.35	4.63
Int Park Main_Top	Illuminance	Fc	1.67	4.3	0.2	8.35	21.50
Int Park Parc5_Top	Illuminance	Fc	2.24	4.5	0.7	3.20	6.43
Int Willow and_Top	Illuminance	Fc	1.36	4.1	0.5	2.72	8.20
Int Willow road Main St A_Top	Illuminance	Fc	1.38	4.5	0.3	4.60	15.00
Multi-use Pathway 2_Top	Illuminance	Fc	1.31	3.2	0.4	3.28	8.00
Multi-use Pathway 1_Top	Illuminance	Fc	0.87	4.8	0.2	4.35	24.00
North Loop Road 1_Top	Illuminance	Fc	1.14	5.7	0.2	5.70	28.50
North Loop Road_Top_1	Illuminance	Fc	0.88	3.8	0.2	4.40	19.00
O'Brien Drive East_Top	Illuminance	Fc	1.21	4.4	0.2	6.05	22.00
O'Brien Drive West_Top	Illuminance	Fc	1.57	4.1	0.4	3.93	10.25
Ped Parcel 1_Top	Illuminance	Fc	1.26	2.7	0.5	2.52	5.40
Ped Parcel 2_Top	Illuminance	Fc	1.51	4.0	0.4	3.78	10.00
Ped Parcel 3_Top	Illuminance	Fc	0.94	3.6	0.2	4.70	18.00
Ped Parcel 4_Top	Illuminance	Fc	1.00	2.9	0.2	5.00	14.50
Ped Parcel 5_Top	Illuminance	Fc	0.96	3.7	0.2	4.80	18.00
Ped Parcel 6 7 8_Top	Illuminance	Fc	1.73	5.5	0.3	5.77	18.33
Ped Parcel A_Top	Illuminance	Fc	1.69	4.1	0.4	4.23	10.25
Ped Parcel Willow RD 1_Top	Illuminance	Fc	2.87	6.7	0.4	7.18	16.75
Ped Parcel Willow RD 2_Top	Illuminance	Fc	2.94	6.3	0.3	9.80	21.00
Ped Parcel Willow RD 3_Top	Illuminance	Fc	3.00	6.8	1.0	3.00	6.80
Ped Parcel Willow Road West_Top	Illuminance	Fc	1.46	3.3	0.5	2.92	6.60
Road Center Main_Top	Illuminance	Fc	0.62	1.6	0.2	3.10	8.00
Road Center St_Top	Illuminance	Fc	0.77	2.7	0.2	3.85	13.50
Road Hamilton Avenue_Top	Illuminance	Fc	1.94	4.4	0.5	3.88	8.80
Road Main St A 1_Top	Illuminance	Fc	1.85	4.6	0.6	3.08	7.67
Road Main St B_Top	Illuminance	Fc	0.85	2.5	0.2	4.25	12.50
Road Main St C_Top	Illuminance	Fc	0.92	2.7	0.4	2.30	6.75
Road Main St D_Top	Illuminance	Fc	2.70	7.1	0.6	4.50	11.83
Road Park St A_Top	Illuminance	Fc	1.79	4.5	0.5	2.98	7.50
Road Park St B_Top	Illuminance	Fc	1.60	4.1	0.4	4.00	10.25
Road Park St C_Top	Illuminance	Fc	1.66	4.3	0.4	4.15	10.75
West St A_Top	Illuminance	Fc	1.79	4.5	0.3	3.48	11.25
West St B_Top	Illuminance	Fc	1.96	4.5	0.6	3.27	7.50
West St C_Top	Illuminance	Fc	1.44	4.2	0.2	3.70	11.00
West St D_Top	Illuminance	Fc	1.44	4.2	0.2	5.65	10.50

Note: Lighting compliance within private parcels would be determined through each ACPS.

PLAN NOT TO SCALE





Calculation Summary

Scene/Type	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bike Path 2_Top	Illuminance	Fc	2.62	7.3	0.4	6.55	18.25
Bike Path New_Top	Illuminance	Fc	1.00	3.1	0.2	5.00	15.50
Bike Path North Loop_Top	Illuminance	Fc	2.47	4.2	0.4	6.18	10.50
Loop Park 1_Top	Illuminance	Fc	1.83	4.5	0.1	18.30	45.00
East Loop Road B_Top	Illuminance	Fc	1.99	4.4	0.6	3.32	7.33
East Loop Road Top	Illuminance	Fc	1.77	4.0	0.5	3.54	8.00
Int Center Park_Top	Illuminance	Fc	1.73	4.4	0.6	2.88	7.33
Int Center West_Top	Illuminance	Fc	2.05	4.5	0.6	3.42	7.50
Int East Loop Main_Top	Illuminance	Fc	1.93	6.9	0.5	3.86	13.80
Int East Loop_Top	Illuminance	Fc	1.81	4.5	0.4	4.53	11.25
Int Main B Main C_Top	Illuminance	Fc	1.34	2.8	0.3	4.43	9.33
Int Main West_Top	Illuminance	Fc	1.72	4.3	0.5	3.44	8.60
Int North Loop_Top	Illuminance	Fc	1.88	3.7	0.8	2.35	4.63
Int Park Main_Top	Illuminance	Fc	1.67	4.3	0.2	8.35	21.50
Int Park Parc5_Top	Illuminance	Fc	2.24	4.5	0.7	3.20	6.43
Int Willow and_Top	Illuminance	Fc	1.36	4.1	0.5	2.72	8.20
Int Willow road Main St A_Top	Illuminance	Fc	1.38	4.5	0.3	4.60	15.00
Multi-use Pathway 2_Top	Illuminance	Fc	1.31	3.2	0.4	3.28	8.00
Multi-use Pathway 1_Top	Illuminance	Fc	0.87	4.8	0.2	4.35	24.00
North Loop Road 1_Top	Illuminance	Fc	1.14	5.7	0.2	5.70	28.50
North Loop Road_Top_1	Illuminance	Fc	0.88	3.8	0.2	4.40	19.00
O'Brien Drive East_Top	Illuminance	Fc	1.21	4.4	0.2	6.05	22.00
O'Brien Drive West_Top	Illuminance	Fc	1.57	4.1	0.4	3.93	10.25
Ped Parcel 1_Top	Illuminance	Fc	1.26	2.7	0.5	2.52	5.40
Ped Parcel 2_Top	Illuminance	Fc	1.51	4.0	0.4	3.78	10.00
Ped Parcel 3_Top	Illuminance	Fc	0.94	3.6	0.2	4.70	18.00
Ped Parcel 4_Top	Illuminance	Fc	1.00	2.9	0.2	5.00	14.50
Ped Parcel 5_Top	Illuminance	Fc	0.96	3.7	0.2	4.80	18.00
Ped Parcel 6 7 8_Top	Illuminance	Fc	1.73	5.5	0.3	5.77	18.33
Ped Parcel A_Top	Illuminance	Fc	1.69	4.1	0.4	4.23	10.25
Ped Parcel Willow RD 1_Top	Illuminance	Fc	2.87	6.7	0.2	6.35	16.75
Ped Parcel Willow RD 2_Top	Illuminance	Fc	2.94	6.3	0.3	9.80	21.00
Ped Parcel Willow RD 3_Top	Illuminance	Fc	3.00	6.8	1.0	3.00	6.80
Ped Parcel Willow Road West_Top	Illuminance	Fc	1.46	3.3	0.5	2.92	6.60
Road Center Main_Top	Illuminance	Fc	0.62	1.6	0.2	3.10	8.00
Road Center St_Top	Illuminance	Fc	0.77	2.7	0.2	3.85	13.50
Road Hamilton Avenue_Top	Illuminance	Fc	1.94	4.4	0.5	3.88	8.80
Road Main St A 1_Top	Illuminance	Fc	1.85	4.6	0.6	3.08	7.67
Road Main St B_Top	Illuminance	Fc	0.85	2.5	0.2	4.25	12.50
Road Main St C_Top	Illuminance	Fc	0.92	2.7	0.4	2.30	6.75
Road Main St D_Top	Illuminance	Fc	2.70	7.1	0.6	4.50	11.83
Road Park St A_Top	Illuminance	Fc	1.78	4.5	0.5	2.98	7.50
Road Park St B_Top	Illuminance	Fc	1.60	4.1	0.4	4.00	10.25
Road Park St C_Top	Illuminance	Fc	1.66	4.3	0.4	4.15	10.75
West St A_Top	Illuminance	Fc	1.78	4.5	0.3	4.48	13.25
West St B_Top	Illuminance	Fc	1.96	4.5	0.6	3.27	7.50
West St C_Top	Illuminance	Fc	0.74	2.2	0.2	3.70	11.00
Willow Road_Top	Illuminance	Fc	1.13	6.1	0.2	5.68	30.50

PLAN NOT TO SCALE



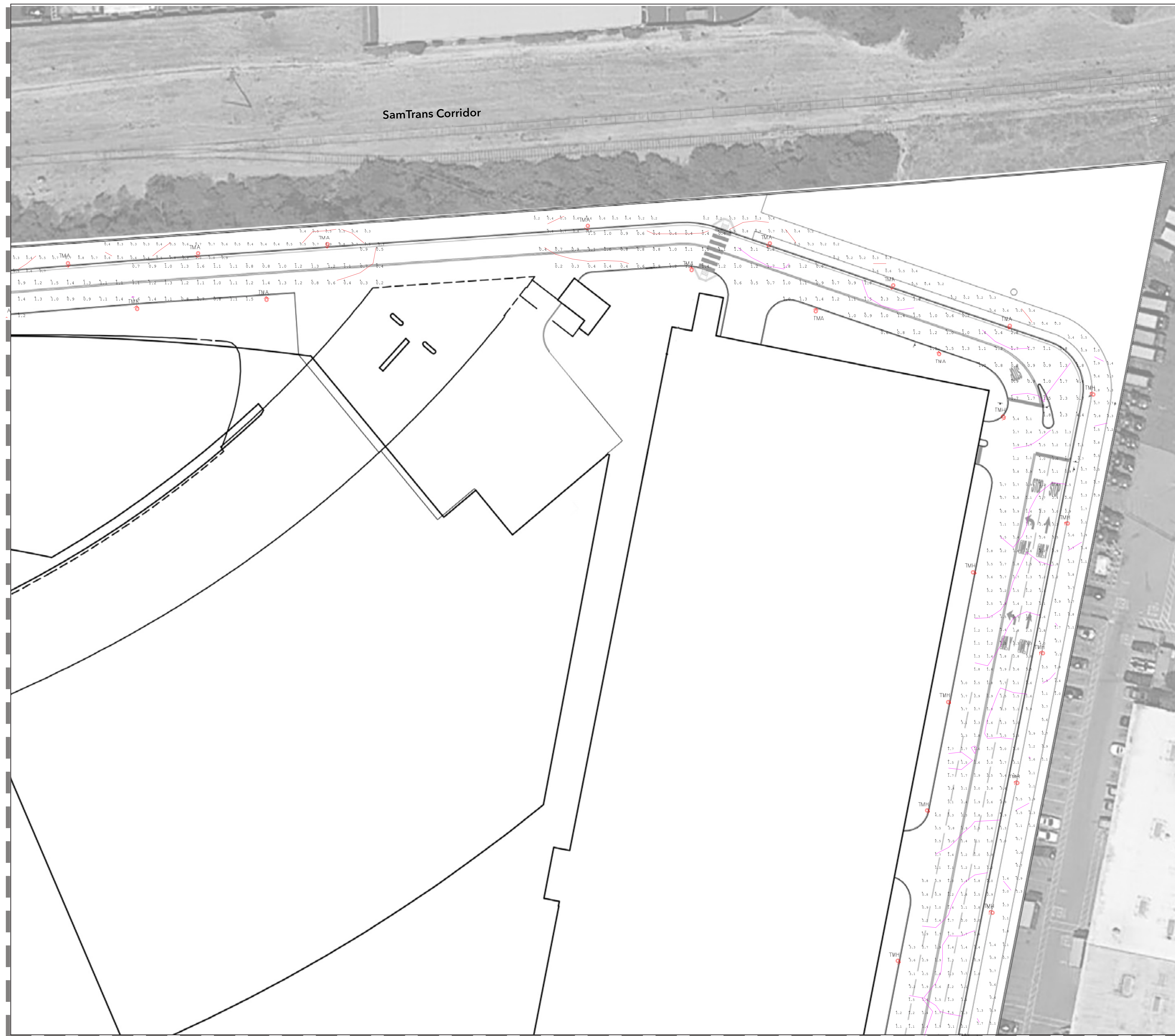


SamTrans Corridor

Scene: type	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bike Path 2_Top	Illuminance	Fc	2.62	7.3	0.4	6.55	18.25
Bike Path New_Top	Illuminance	Fc	1.00	3.1	0.2	5.00	15.50
Bike Path North Loop_Top	Illuminance	Fc	2.47	4.2	0.4	6.18	10.50
Dog Park 1_Top	Illuminance	Fc	1.83	4.5	0.1	18.30	45.00
East Loop Road B_Top	Illuminance	Fc	1.99	4.4	0.6	3.32	7.33
East Loop Road_Top	Illuminance	Fc	1.77	4.0	0.5	3.54	8.00
Int Center Park_Top	Illuminance	Fc	1.73	4.4	0.6	2.88	7.33
Int Center West_Top	Illuminance	Fc	2.05	4.5	0.6	3.42	7.50
Int East Loop Main_Top	Illuminance	Fc	1.93	6.9	0.5	3.86	13.80
Int East Loop_Top	Illuminance	Fc	1.81	4.5	0.4	4.53	11.25
Int Main B Main C_Top	Illuminance	Fc	1.34	2.8	0.3	4.47	9.33
Int Main West_Top	Illuminance	Fc	1.72	4.3	0.5	3.44	8.60
Int North Loop_Top	Illuminance	Fc	1.88	3.7	0.8	2.35	4.63
Int Park Main_Top	Illuminance	Fc	1.67	4.3	0.2	8.35	21.50
Int Park Parc5_Top	Illuminance	Fc	2.24	4.5	0.7	3.20	6.43
Int Willow and_Top	Illuminance	Fc	1.36	4.1	0.5	2.72	8.20
Int Willow road Main St A_Top	Illuminance	Fc	1.38	4.5	0.3	4.60	15.00
Multi-use Pathway 2_Top	Illuminance	Fc	1.31	3.2	0.4	3.28	8.00
Multi-use Pathway 1_Top	Illuminance	Fc	0.87	4.8	0.2	4.35	24.00
North Loop Road 1_Top	Illuminance	Fc	1.14	5.7	0.2	5.70	28.50
North Loop Road_Top_1	Illuminance	Fc	0.88	3.8	0.2	4.40	19.00
O'Brien Drive East_Top	Illuminance	Fc	1.21	4.4	0.2	6.05	22.00
O'Brien Drive West_Top	Illuminance	Fc	1.57	4.1	0.4	3.93	10.25
Ped Parcel 1_Top	Illuminance	Fc	1.26	2.7	0.5	2.52	5.40
Ped Parcel 2_Top	Illuminance	Fc	1.51	4.0	0.4	3.78	10.00
Ped Parcel 3_Top	Illuminance	Fc	0.94	3.6	0.2	4.70	18.00
Ped Parcel 4_Top	Illuminance	Fc	1.00	2.9	0.2	5.00	14.50
Ped Parcel 5_Top	Illuminance	Fc	0.96	3.7	0.2	4.80	18.50
Ped Parcel 6 7 8_Top	Illuminance	Fc	1.73	5.5	0.3	5.77	18.33
Ped Parcel A_Top	Illuminance	Fc	1.69	4.1	0.4	4.23	10.25
Ped Parcel Willow Rd 1_Top	Illuminance	Fc	2.87	6.7	0.4	7.18	16.75
Ped Parcel Willow Rd 2_Top	Illuminance	Fc	2.94	6.3	0.3	9.80	21.00
Ped Parcel Willow Rd 3_Top	Illuminance	Fc	3.00	6.8	1.0	3.00	6.80
Ped Parcel Willow Road West_Top	Illuminance	Fc	1.46	3.3	0.5	2.92	6.60
Road Center Main_Top	Illuminance	Fc	0.62	1.6	0.2	3.10	8.00
Road Center St_Top	Illuminance	Fc	0.77	2.7	0.3	3.85	13.50
Road Hamilton Avenue_Top	Illuminance	Fc	1.94	4.4	0.5	3.88	8.80
Road Main St A 1_Top	Illuminance	Fc	1.85	4.6	0.6	3.08	7.67
Road Main St B_Top	Illuminance	Fc	0.85	2.5	0.2	4.25	12.50
Road Main St C_Top	Illuminance	Fc	0.92	2.7	0.4	2.30	6.75
Road Main St D_Top	Illuminance	Fc	2.70	7.1	0.6	4.50	11.83
Road Park St A_Top	Illuminance	Fc	1.79	4.5	0.5	2.98	7.50
Road Park St B_Top	Illuminance	Fc	1.60	4.1	0.4	4.00	10.25
Road Park St C_Top	Illuminance	Fc	1.66	4.3	0.4	4.15	10.75
West St A_Top	Illuminance	Fc	1.79	4.5	0.3	4.48	13.25
West St B_Top	Illuminance	Fc	1.96	4.5	0.6	3.27	7.50
West St C_Top	Illuminance	Fc	0.74	2.2	0.2	3.70	11.00
Willow Road_Top	Illuminance	Fc	1.13	6.1	0.2	5.65	30.50

PLAN NOT TO SCALE





Calculation Summary						
Scene/Type	CalcType	Units	Avg	Max	Min	Avg/Min Max/Min
Bike Path 2_Top	Illuminance	Fc	2.62	7.3	0.4	6.55 18.25
Bike Path New_Top	Illuminance	Fc	1.00	3.1	0.2	5.00 15.50
Bike Path North Loop_Top	Illuminance	Fc	2.47	4.2	0.4	6.18 10.50
Loop Park 1_Top	Illuminance	Fc	1.83	4.5	0.1	18.30 45.00
East Loop Road B_Top	Illuminance	Fc	1.99	4.4	0.6	3.32 7.33
East Loop Road_Top	Illuminance	Fc	1.77	4.0	0.5	3.54 8.00
Int Center Park_Top	Illuminance	Fc	1.73	4.4	0.6	2.88 7.33
Int Center West_Top	Illuminance	Fc	2.05	4.5	0.6	3.42 7.50
Int East Loop Main_Top	Illuminance	Fc	1.93	6.9	0.5	3.86 13.80
Int East Loop_Top	Illuminance	Fc	1.81	4.5	0.4	4.53 11.25
Int Main B Main C_Top	Illuminance	Fc	1.34	2.8	0.3	4.47 9.33
Int Main West_Top	Illuminance	Fc	1.72	4.3	0.5	3.44 8.60
Int North Loop_Top	Illuminance	Fc	1.88	3.7	0.8	2.35 4.63
Int Park Main_Top	Illuminance	Fc	1.67	4.3	0.2	8.35 21.50
Int Park Parc5_Top	Illuminance	Fc	2.24	4.5	0.7	3.20 6.43
Int Willow and_Top	Illuminance	Fc	1.36	4.1	0.5	2.72 8.20
Int Willow road Main St A_Top	Illuminance	Fc	1.38	4.5	0.3	4.60 15.00
Multi-use Pathway 2_Top	Illuminance	Fc	1.31	3.2	0.4	3.28 8.00
Multi-use Pathway 1_Top	Illuminance	Fc	0.87	4.8	0.2	4.35 24.00
North Loop Road 1_Top	Illuminance	Fc	1.14	5.7	0.2	5.70 28.50
North Loop Road_Top_1	Illuminance	Fc	0.88	3.8	0.2	4.40 19.00
O'Brien Drive East_Top	Illuminance	Fc	1.21	4.4	0.2	6.05 22.00
O'Brien Drive West_Top	Illuminance	Fc	1.57	4.1	0.4	3.93 10.25
Ped Parcel 1_Top	Illuminance	Fc	1.26	2.7	0.5	2.52 5.40
Ped Parcel 2_Top	Illuminance	Fc	1.51	4.0	0.4	3.78 10.00
Ped Parcel 3_Top	Illuminance	Fc	0.94	3.6	0.2	4.70 18.00
Ped Parcel 4_Top	Illuminance	Fc	1.00	2.9	0.2	5.00 14.50
Ped Parcel 5_Top	Illuminance	Fc	0.96	3.7	0.2	4.80 18.50
Ped Parcel 6 7 8_Top	Illuminance	Fc	1.73	5.5	0.3	5.77 18.33
Ped Parcel A_Top	Illuminance	Fc	1.69	4.1	0.4	4.23 10.25
Ped Parcel Willow RD 1_Top	Illuminance	Fc	2.87	6.7	0.4	7.18 16.75
Ped Parcel Willow RD 2_Top	Illuminance	Fc	2.94	6.3	0.3	9.80 21.00
Ped Parcel Willow RD 3_Top	Illuminance	Fc	3.00	6.8	1.0	3.00 6.80
Ped Parcel Willow Road West_Top	Illuminance	Fc	1.46	3.3	0.5	2.92 6.60
Road Center Main_Top	Illuminance	Fc	0.62	1.6	0.2	3.10 8.00
Road Center St_Top	Illuminance	Fc	0.77	2.7	0.3	3.85 13.50
Road Hamilton Avenue_Top	Illuminance	Fc	1.94	4.4	0.5	3.88 8.80
Road Main St A 1_Top	Illuminance	Fc	1.85	4.6	0.6	3.08 7.67
Road Main St B_Top	Illuminance	Fc	0.85	2.5	0.2	4.25 12.50
Road Main St C_Top	Illuminance	Fc	0.92	2.7	0.4	2.30 6.75
Road Main St D_Top	Illuminance	Fc	2.70	7.1	0.6	4.50 11.83
Road Park St A_Top	Illuminance	Fc	1.78	4.5	0.5	2.98 7.50
Road Park St B_Top	Illuminance	Fc	1.60	4.1	0.4	4.00 10.25
Road Park St C_Top	Illuminance	Fc	1.66	4.3	0.4	4.15 10.75
West St A_Top	Illuminance	Fc	1.79	4.5	0.4	4.48 13.25
West St B_Top	Illuminance	Fc	1.96	4.5	0.6	3.27 7.50
West St C_Top	Illuminance	Fc	0.74	2.2	0.2	3.70 11.00
Willow Road_Top	Illuminance	Fc	1.13	6.1	0.2	5.65 30.50





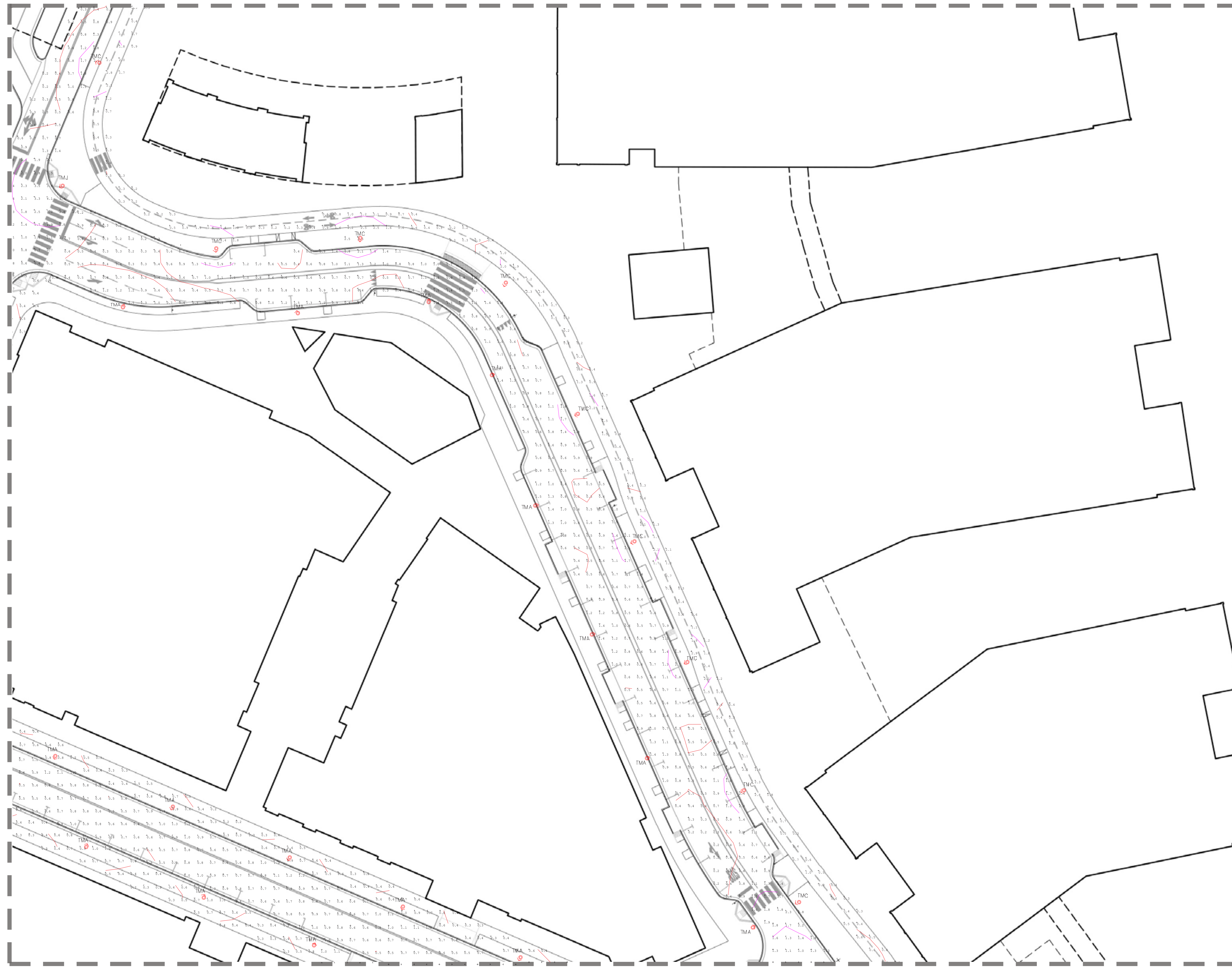
Calculation Summary

Scene/Type	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bike Path 2_Top	Illuminance	FC	2.62	7.3	0.4	6.55	18.25
Bike Path New_Top	Illuminance	FC	1.00	3.1	0.2	5.00	15.50
Bike Path North Loop_Top	Illuminance	FC	2.47	4.2	0.4	6.18	10.50
Loop Park 1_Top	Illuminance	FC	1.83	4.5	0.1	18.30	45.00
East Loop Road B_Top	Illuminance	FC	1.99	4.4	0.6	3.32	7.33
East Loop Road Top	Illuminance	FC	1.77	4.0	0.5	3.54	8.00
Int Center Park_Top	Illuminance	FC	1.73	4.4	0.6	2.88	7.33
Int Center West_Top	Illuminance	FC	2.05	4.5	0.6	3.42	7.50
Int East Loop Main_Top	Illuminance	FC	1.93	6.9	0.5	3.86	13.80
Int East Loop_Top	Illuminance	FC	1.81	4.5	0.4	4.53	11.25
Int Main B Main C_Top	Illuminance	FC	1.34	2.8	0.3	4.47	9.33
Int Main West_Top	Illuminance	FC	1.72	4.3	0.5	3.44	8.60
Int North Loop_Top	Illuminance	FC	1.88	3.7	0.8	2.35	4.63
Int Park Main_Top	Illuminance	FC	1.67	4.3	0.2	8.35	21.50
Int Park Parc5_Top	Illuminance	FC	2.24	4.5	0.7	3.20	6.43
Int Willow and_Top	Illuminance	FC	1.36	4.1	0.5	2.72	8.20
Int Willow road Main St A_Top	Illuminance	FC	1.38	4.5	0.3	4.60	15.00
Multi-use Pathway 2_Top	Illuminance	FC	1.31	3.2	0.4	3.28	8.00
Multi-use Pathway 1_Top	Illuminance	FC	0.87	4.8	0.2	4.35	24.00
North Loop Road 1_Top	Illuminance	FC	1.14	5.7	0.2	5.70	28.50
North Loop Road_Top_1	Illuminance	FC	0.88	3.8	0.2	4.40	19.00
O'Brien Drive East_Top	Illuminance	FC	1.21	4.4	0.2	6.05	22.00
O'Brien Drive West_Top	Illuminance	FC	1.57	4.1	0.4	3.93	10.25
Ped Parcel 1_Top	Illuminance	FC	1.26	2.7	0.5	2.52	5.40
Ped Parcel 2_Top	Illuminance	FC	1.51	4.0	0.4	3.78	10.00
Ped Parcel 3_Top	Illuminance	FC	0.94	3.6	0.2	4.70	18.00
Ped Parcel 4_Top	Illuminance	FC	1.00	2.9	0.2	5.00	14.50
Ped Parcel 5_Top	Illuminance	FC	0.96	3.7	0.2	4.80	18.50
Ped Parcel 6 7 8_Top	Illuminance	FC	1.73	5.5	0.3	5.77	18.33
Ped Parcel A_Top	Illuminance	FC	1.69	4.1	0.4	4.23	10.25
Ped Parcel Willow RD 1_Top	Illuminance	FC	2.87	6.7	0.4	4.18	16.75
Ped Parcel Willow RD 2_Top	Illuminance	FC	2.94	6.3	0.3	9.80	21.00
Ped Parcel Willow RD 3_Top	Illuminance	FC	3.00	6.8	1.0	3.00	6.80
Ped Parcel Willow Road West_Top	Illuminance	FC	1.46	3.3	0.5	2.92	6.60
Road Center Main_Top	Illuminance	FC	0.62	1.6	0.2	3.10	8.00
Road Center St_Top	Illuminance	FC	0.77	2.7	0.2	3.85	13.50
Road Hamilton Avenue_Top	Illuminance	FC	1.94	4.4	0.5	3.88	8.80
Road Main St A 1_Top	Illuminance	FC	1.85	4.6	0.6	3.08	7.67
Road Main St B_Top	Illuminance	FC	0.85	2.5	0.2	4.25	12.50
Road Main St C_Top	Illuminance	FC	0.92	2.7	0.4	2.30	6.75
Road Main St D_Top	Illuminance	FC	2.70	7.1	0.6	4.50	11.83
Road Park St A_Top	Illuminance	FC	1.79	4.5	0.5	2.98	7.50
Road Park St B_Top	Illuminance	FC	1.60	4.1	0.4	4.00	10.25
Road Park St C_Top	Illuminance	FC	1.66	4.3	0.4	4.15	10.75
West St A_Top	Illuminance	FC	1.79	4.5	0.3	4.48	13.25
West St B_Top	Illuminance	FC	1.96	4.5	0.6	3.27	7.50
West St C_Top	Illuminance	FC	0.74	2.2	0.2	3.70	11.00
Willow Road_Top	Illuminance	FC	1.13	6.1	0.2	5.68	30.50

PLAN NOT TO SCALE

0.5 FC 1.6 FC





Calculation Summary							
Scene: type	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bike Path 2_Top	Illuminance	Fc	2.62	7.3	0.4	6.55	18.25
Bike Path New_Top	Illuminance	Fc	1.00	3.1	0.2	5.00	15.50
Bike Path North Loop_Top	Illuminance	Fc	2.47	4.2	0.4	6.18	10.50
Dog Park 1_Top	Illuminance	Fc	1.83	4.5	0.1	18.30	45.00
East Loop Road B_Top	Illuminance	Fc	1.99	4.4	0.6	3.32	7.33
East Loop Road_Top	Illuminance	Fc	1.77	4.0	0.5	3.54	8.00
Int Center Park_Top	Illuminance	Fc	1.73	4.4	0.6	2.88	7.33
Int Center West_Top	Illuminance	Fc	2.95	4.5	0.6	3.42	7.50
Int East Loop_Top	Illuminance	Fc	1.93	6.9	0.5	3.86	13.80
Int East Loop_Top	Illuminance	Fc	1.81	4.5	0.4	4.53	11.25
Int Main B Main C_Top	Illuminance	Fc	1.34	2.8	0.3	4.47	9.33
Int Main West_Top	Illuminance	Fc	1.72	4.3	0.5	3.44	8.60
Int North Loop_Top	Illuminance	Fc	1.88	3.7	0.8	2.35	4.63
Int Park Main_Top	Illuminance	Fc	1.67	4.3	0.2	8.35	21.50
Int Park Parc5_Top	Illuminance	Fc	2.24	4.5	0.7	3.20	6.43
Int Willow and_Top	Illuminance	Fc	1.36	4.1	0.5	2.72	8.20
Int Willow road Main St A_Top	Illuminance	Fc	1.38	4.5	0.3	4.60	15.00
Multi-use Pathway 2_Top	Illuminance	Fc	1.31	3.2	0.4	3.28	8.00
Multi-use Pathway 1_Top	Illuminance	Fc	0.87	4.8	0.2	4.35	24.00
North Loop Road 1_Top	Illuminance	Fc	1.14	5.7	0.2	5.70	28.50
North Loop Road_Top_1	Illuminance	Fc	0.88	3.8	0.2	4.40	19.00
O'Brien Drive East_Top	Illuminance	Fc	1.21	4.4	0.2	6.05	22.00
O'Brien Drive West_Top	Illuminance	Fc	1.57	4.1	0.4	3.93	10.25
Ped Parcel 1_Top	Illuminance	Fc	1.26	2.7	0.5	2.52	5.40
Ped Parcel 2_Top	Illuminance	Fc	1.51	4.0	0.4	3.78	10.00
Ped Parcel 3_Top	Illuminance	Fc	0.94	3.6	0.2	4.70	18.00
Ped Parcel 4_Top	Illuminance	Fc	1.00	2.9	0.2	5.00	14.50
Ped Parcel 5_Top	Illuminance	Fc	0.96	3.7	0.2	4.80	18.50
Ped Parcel 6 7 8_Top	Illuminance	Fc	1.73	5.5	0.3	5.77	18.33
Ped Parcel A_Top	Illuminance	Fc	1.69	4.1	0.4	4.23	10.25
Ped Parcel Willow RD 1_Top	Illuminance	Fc	2.87	6.7	0.4	7.18	16.75
Ped Parcel Willow RD 2_Top	Illuminance	Fc	2.94	6.3	0.3	9.80	21.00
Ped Parcel Willow RD 3_Top	Illuminance	Fc	3.00	6.8	1.0	3.00	6.80
Ped Parcel Willow Road West_Top	Illuminance	Fc	1.46	3.3	0.5	2.92	6.60
Road Center Main_Top	Illuminance	Fc	0.62	1.6	0.2	3.10	8.00
Road Center St_Top	Illuminance	Fc	0.77	2.7	0.3	3.88	13.50
Road Hamilton Avenue_Top	Illuminance	Fc	1.94	4.4	0.5	3.88	8.80
Road Main St A 1_Top	Illuminance	Fc	1.85	4.6	0.6	3.08	7.67
Road Main St B_Top	Illuminance	Fc	0.85	2.5	0.2	4.25	12.50
Road Main St C_Top	Illuminance	Fc	0.92	2.7	0.4	2.30	6.75
Road Main St D_Top	Illuminance	Fc	2.70	7.1	0.6	4.50	11.83
Road Park St A_Top	Illuminance	Fc	1.78	4.5	0.5	2.98	7.50
Road Park St B_Top	Illuminance	Fc	1.60	4.1	0.4	4.00	10.25
Road Park St C_Top	Illuminance	Fc	1.66	4.3	0.4	4.15	10.75
West St A_Top	Illuminance	Fc	1.78	4.5	0.3	4.48	13.25
West St B_Top	Illuminance	Fc	1.96	4.5	0.6	3.27	7.50
West St C_Top	Illuminance	Fc	0.74	2.2	0.2	3.70	11.00
Willow Road_Top	Illuminance	Fc	1.13	6.1	0.2	5.68	30.50





Calculation Summary						
Scene Type	CalcType	Units	Avg	Max	Min	Avg/Min Max/Min
Bike Path 2_Top	Illuminance	FC	2.62	7.3	0.4	6.55 18.25
Bike Path New_Top	Illuminance	FC	1.00	3.1	0.2	5.00 15.50
Bike Path North Loop_Top	Illuminance	FC	2.47	4.2	0.4	6.18 10.50
Loop Park 1_Top	Illuminance	FC	1.83	4.5	0.1	18.30 45.00
East Loop Road B_Top	Illuminance	FC	1.99	4.4	0.6	3.32 7.33
East Loop Road_Top	Illuminance	FC	1.77	4.0	0.5	3.54 8.00
Int Center Park_Top	Illuminance	FC	1.73	4.4	0.6	2.88 7.33
Int Center West_Top	Illuminance	FC	2.05	4.5	0.6	3.42 7.50
Int East Loop Main_Top	Illuminance	FC	1.93	6.9	0.5	3.86 13.80
Int East Loop_Top	Illuminance	FC	1.81	4.5	0.4	4.53 11.25
Int Main B Main C_Top	Illuminance	FC	1.34	2.8	0.3	4.43 9.33
Int Main West_Top	Illuminance	FC	1.72	4.3	0.5	3.44 8.60
Int North Loop_Top	Illuminance	FC	1.88	3.7	0.8	2.35 4.63
Int Park Main_Top	Illuminance	FC	1.67	4.3	0.2	8.35 21.50
Int Park Parc5_Top	Illuminance	FC	2.24	4.5	0.7	3.20 6.43
Int Willow and_Top	Illuminance	FC	1.36	4.1	0.5	2.72 8.20
Int Willow road Main St A_Top	Illuminance	FC	1.38	4.5	0.3	4.60 15.00
Multi-use Pathway 2_Top	Illuminance	FC	1.31	3.2	0.4	3.28 8.00
Multi-use Pathway 1_Top	Illuminance	FC	0.87	4.8	0.2	4.35 24.00
North Loop Road 1_Top	Illuminance	FC	1.14	5.7	0.2	5.70 28.50
North Loop Road_Top_1	Illuminance	FC	0.88	3.8	0.2	4.40 19.00
O Brien Drive East_Top	Illuminance	FC	1.21	4.4	0.2	6.05 22.00
O Brien Drive West_Top	Illuminance	FC	1.57	4.1	0.4	3.93 10.25
Ped Parcel 1_Top	Illuminance	FC	1.26	2.7	0.5	2.52 5.40
Ped Parcel 2_Top	Illuminance	FC	1.51	4.0	0.4	3.78 10.00
Ped Parcel 3_Top	Illuminance	FC	0.94	3.6	0.2	4.70 18.00
Ped Parcel 4_Top	Illuminance	FC	1.00	2.9	0.2	5.00 14.50
Ped Parcel 5_Top	Illuminance	FC	0.96	3.7	0.2	4.80 18.50
Ped Parcel 6 7 8_Top	Illuminance	FC	1.73	5.5	0.3	5.77 18.33
Ped Parcel A_Top	Illuminance	FC	1.69	4.1	0.4	4.23 10.25
Ped Parcel Willow RD 1_Top	Illuminance	FC	2.87	6.7	0.4	4.18 16.95
Ped Parcel Willow RD 2_Top	Illuminance	FC	2.94	6.3	0.3	9.80 21.00
Ped Parcel Willow RD 3_Top	Illuminance	FC	3.00	6.8	1.0	3.00 6.80
Ped Parcel Willow Road West_Top	Illuminance	FC	1.46	3.3	0.5	2.92 6.60
Road Center St_Top	Illuminance	FC	0.62	1.6	0.2	3.10 8.00
Road Center St_Top	Illuminance	FC	0.77	2.7	0.3	3.85 13.50
Road Hamilton Avenue_Top	Illuminance	FC	1.94	4.4	0.5	3.88 8.80
Road Main St A 1_Top	Illuminance	FC	1.85	4.6	0.6	3.08 7.67
Road Main St B_Top	Illuminance	FC	0.85	2.5	0.2	4.25 12.50
Road Main St C_Top	Illuminance	FC	0.92	2.7	0.4	2.30 6.75
Road Main St D_Top	Illuminance	FC	2.70	7.1	0.6	4.50 11.83
Road Park St A_Top	Illuminance	FC	1.79	4.5	0.5	2.98 7.50
Road Park St B_Top	Illuminance	FC	1.60	4.1	0.4	4.00 10.25
Road Park St C_Top	Illuminance	FC	1.66	4.3	0.4	4.15 10.75
West St A_Top	Illuminance	FC	1.79	4.5	0.4	4.48 13.25
West St B_Top	Illuminance	FC	1.96	4.5	0.6	3.27 7.50
West St C_Top	Illuminance	FC	0.74	2.2	0.2	3.70 11.00
Willow Road_Top	Illuminance	FC	1.13	6.1	0.2	5.68 30.50

PLAN NOT TO SCALE

0.5 FC 1.6 FC





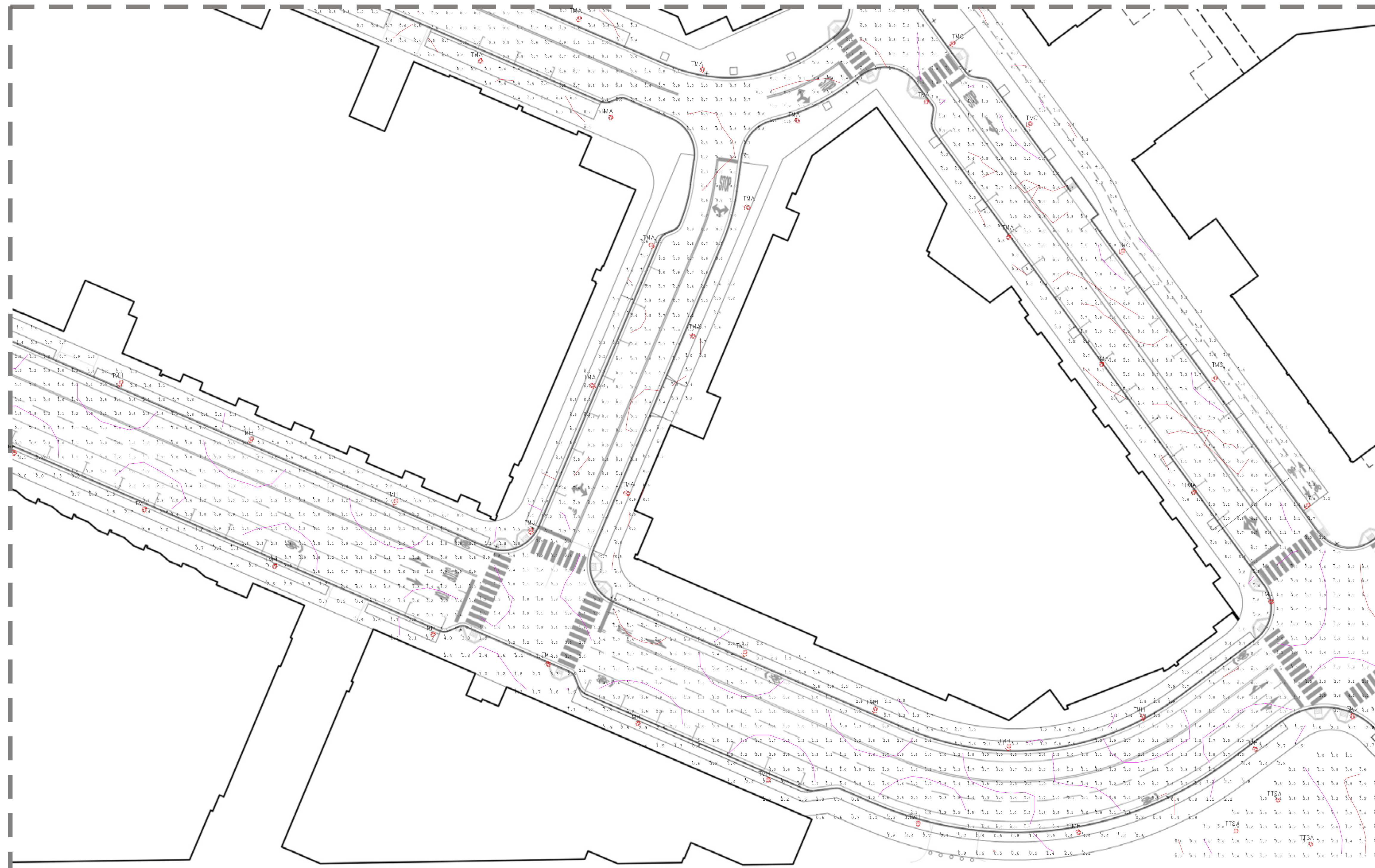
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Calculation Summary

Scene/Type	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bike Path 2_Top	Illuminance	Fc	2.62	7.3	0.4	6.55	18.25
Bike Path New_Top	Illuminance	Fc	1.00	3.1	0.2	5.00	15.50
Bike Path North Loop_Top	Illuminance	Fc	2.47	4.2	0.4	6.18	10.50
Dog Park 1_Top	Illuminance	Fc	1.83	4.5	0.1	18.30	45.00
East Loop Road 8_Top	Illuminance	Fc	1.99	4.4	0.6	3.32	7.33
East Loop Road_Top	Illuminance	Fc	1.77	4.0	0.5	3.54	8.00
Int Center Park_Top	Illuminance	Fc	1.73	4.4	0.6	2.88	7.33
Int Center West_Top	Illuminance	Fc	2.95	4.5	0.6	3.42	7.50
Int East Loop Main_Top	Illuminance	Fc	1.93	6.9	0.5	3.86	13.80
Int East Loop_Top	Illuminance	Fc	1.81	4.5	0.4	4.53	11.25
Int Main B Main C_Top	Illuminance	Fc	1.34	2.8	0.3	4.47	9.33
Int Main West_Top	Illuminance	Fc	1.72	4.3	0.5	3.44	8.60
Int North Loop_Top	Illuminance	Fc	1.88	3.7	0.8	2.35	4.63
Int Park Main_Top	Illuminance	Fc	1.67	4.3	0.2	8.35	21.50
Int Park Parc5_Top	Illuminance	Fc	2.24	4.5	0.7	3.20	6.43
Int Willow and_Top	Illuminance	Fc	1.36	4.1	0.5	2.72	8.20
Int Willow road Main St A_Top	Illuminance	Fc	1.38	4.5	0.3	4.60	15.00
Multi-use Pathway 2_Top	Illuminance	Fc	1.31	3.2	0.4	3.28	8.00
Multi-use Pathway 1_Top	Illuminance	Fc	0.87	4.8	0.2	4.35	24.00
North Loop Road 1_Top	Illuminance	Fc	1.14	5.7	0.2	5.70	28.50
North Loop Road_Top_1	Illuminance	Fc	0.88	3.8	0.2	4.40	19.00
O'Brien Drive East_Top	Illuminance	Fc	1.21	4.4	0.2	6.05	22.00
O'Brien Drive West_Top	Illuminance	Fc	1.57	4.1	0.4	3.93	10.25
Ped Parcel 1_Top	Illuminance	Fc	1.26	2.7	0.5	2.52	5.40
Ped Parcel 2_Top	Illuminance	Fc	1.51	4.0	0.4	3.78	10.00
Ped Parcel 3_Top	Illuminance	Fc	0.94	3.6	0.2	4.70	18.00
Ped Parcel 4_Top	Illuminance	Fc	1.00	2.9	0.2	5.00	14.50
Ped Parcel 5_Top	Illuminance	Fc	0.96	3.7	0.2	4.80	18.00
Ped Parcel 6 7 8_Top	Illuminance	Fc	1.73	5.5	0.3	5.77	18.33
Ped Parcel A_Top	Illuminance	Fc	1.69	4.1	0.4	4.23	10.25
Ped Parcel Willow RD 1_Top	Illuminance	Fc	2.87	6.7	0.4	7.18	16.75
Ped Parcel Willow RD 2_Top	Illuminance	Fc	2.94	6.3	0.3	9.80	21.00
Ped Parcel Willow RD 3_Top	Illuminance	Fc	3.00	6.8	1.0	3.00	6.80
Ped Parcel Willow Road West_Top	Illuminance	Fc	1.46	3.3	0.5	2.92	6.60
Road Center Main_Top	Illuminance	Fc	0.62	1.6	0.2	3.10	8.00
Road Center St_Top	Illuminance	Fc	0.77	2.7	0.3	3.85	13.50
Road Hamilton Avenue_Top	Illuminance	Fc	1.94	4.4	0.5	3.88	8.80
Road Main St A 1_Top	Illuminance	Fc	1.85	4.6	0.6	3.08	7.67
Road Main St B_Top	Illuminance	Fc	0.85	2.5	0.2	4.25	12.50
Road Main St C_Top	Illuminance	Fc	0.92	2.7	0.4	2.30	6.75
Road Main St D_Top	Illuminance	Fc	2.70	7.1	0.6	4.50	11.83
Road Park St A_Top	Illuminance	Fc	1.78	4.5	0.5	2.98	7.50
Road Park St B_Top	Illuminance	Fc	1.60	4.1	0.4	4.00	10.25
Road Park St C_Top	Illuminance	Fc	1.66	4.3	0.4	4.15	10.75
West St A_Top	Illuminance	Fc	1.78	4.5	0.3	4.48	13.25
West St B_Top	Illuminance	Fc	1.96	4.5	0.6	3.27	7.50
West St C_Top	Illuminance	Fc	0.74	2.2	0.2	3.70	11.00
Willow Road_Top	Illuminance	Fc	1.13	6.1	0.2	5.65	30.50

PLAN NOT TO SCALE





**Calculation Summary**

Scene: type	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bike Path 2_Top	Illuminance	FC	2.62	7.3	0.4	6.55	18.25
Bike Path New_Top	Illuminance	FC	1.00	3.1	0.2	5.00	15.50
Bike Path North Loop_Top	Illuminance	FC	2.47	4.2	0.4	6.18	10.50
Loop Park 1_Top	Illuminance	FC	1.83	4.5	0.1	18.30	45.00
East Loop Road 8_Top	Illuminance	FC	1.99	4.4	0.6	3.32	7.33
East Loop Road_Top	Illuminance	FC	1.77	4.0	0.5	3.54	8.00
Int Center Park_Top	Illuminance	FC	1.73	4.4	0.6	2.88	7.33
Int Center West_Top	Illuminance	FC	2.05	4.5	0.6	3.42	7.50
Int East Loop Main_Top	Illuminance	FC	1.93	6.9	0.5	3.86	13.80
Int East Loop_Top	Illuminance	FC	1.81	4.5	0.4	4.53	11.25
Int Main B Main C_Top	Illuminance	FC	1.34	2.8	0.3	4.47	9.33
Int Main West_Top	Illuminance	FC	1.72	4.3	0.5	3.44	8.60
Int North Loop_Top	Illuminance	FC	1.88	3.7	0.8	2.35	4.63
Int Park Main_Top	Illuminance	FC	1.67	4.3	0.2	8.35	21.50
Int Park Parc5_Top	Illuminance	FC	2.24	4.5	0.7	3.20	6.43
Int Willow and_Top	Illuminance	FC	1.36	4.1	0.5	2.72	8.20
Int Willow road Main St A_Top	Illuminance	FC	1.38	4.5	0.3	4.60	15.00
Multi-use Pathway 2_Top	Illuminance	FC	1.31	3.2	0.4	3.28	8.00
Multi-use Pathway 1_Top	Illuminance	FC	0.87	4.8	0.2	4.35	24.00
North Loop Road 1_Top	Illuminance	FC	1.14	5.7	0.2	5.70	28.50
North Loop Road_Top_1	Illuminance	FC	0.88	3.8	0.2	4.40	19.00
O'Brien Drive East_Top	Illuminance	FC	1.21	4.4	0.2	6.05	22.00
O'Brien Drive West_Top	Illuminance	FC	1.57	4.1	0.4	3.93	10.25
Ped Parcel 1_Top	Illuminance	FC	1.26	2.7	0.5	2.52	5.40
Ped Parcel 2_Top	Illuminance	FC	1.51	4.0	0.4	3.78	10.00
Ped Parcel 3_Top	Illuminance	FC	0.94	3.6	0.2	4.70	18.00
Ped Parcel 4_Top	Illuminance	FC	1.00	2.9	0.2	5.00	14.50
Ped Parcel 5_Top	Illuminance	FC	0.96	3.7	0.2	4.80	18.50
Ped Parcel 6 7 8_Top	Illuminance	FC	1.73	5.5	0.3	5.77	18.33
Ped Parcel A_Top	Illuminance	FC	1.69	4.1	0.4	4.23	10.25
Ped Parcel Willow RD 1_Top	Illuminance	FC	2.87	6.7	0.4	4.18	16.75
Ped Parcel Willow RD 2_Top	Illuminance	FC	2.94	6.3	0.3	9.80	21.00
Ped Parcel Willow RD 3_Top	Illuminance	FC	3.00	6.8	1.0	3.00	6.80
Ped Parcel Willow Road West_Top	Illuminance	FC	1.46	3.3	0.5	2.92	6.60
Road Center Main_Top	Illuminance	FC	0.62	1.6	0.2	3.10	8.00
Road Center St_Top	Illuminance	FC	0.77	2.7	0.3	3.88	13.50
Road Hamilton Avenue_Top	Illuminance	FC	1.94	4.4	0.5	3.88	8.80
Road Main St A 1_Top	Illuminance	FC	1.85	4.6	0.6	3.08	7.67
Road Main St B_Top	Illuminance	FC	0.85	2.5	0.1	4.25	12.50
Road Main St C_Top	Illuminance	FC	0.92	2.7	0.4	2.10	6.75
Road Main St D_Top	Illuminance	FC	2.70	7.1	0.6	4.50	11.83
Road Park St A_Top	Illuminance	FC	1.78	4.5	0.5	2.98	7.50
Road Park St B_Top	Illuminance	FC	1.60	4.1	0.4	4.00	10.25
Road Park St C_Top	Illuminance	FC	1.66	4.3	0.4	4.15	10.75
West St A_Top	Illuminance	FC	1.79	4.5	0.3	4.48	13.25
West St B_Top	Illuminance	FC	1.96	4.5	0.6	3.27	7.50
West St C_Top	Illuminance	FC	0.74	2.2	0.2	3.70	11.00
Willow Road_Top	Illuminance	FC	1.13	6.1	0.2	5.68	30.50

PLAN NOT TO SCALE

0.5 FC      1.6 FC





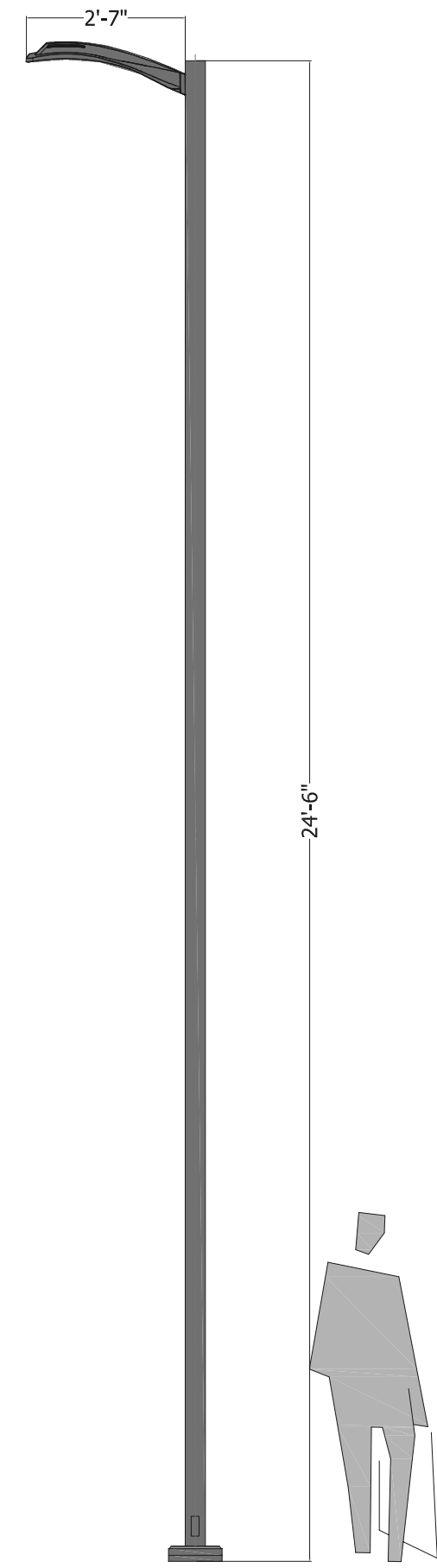
Calculation Summary						
Scene/Type	CalcType	Units	Avg	Max	Min	Avg/Min Max/Min
Bike Path 2_Top	Illuminance	FC	2.62	7.3	0.4	6.55 18.25
Bike Path New_Top	Illuminance	FC	1.00	3.1	0.2	5.00 15.50
Bike Path North Loop_Top	Illuminance	FC	2.47	4.2	0.4	6.18 10.50
Loop Park 1_Top	Illuminance	FC	1.83	4.5	0.1	18.30 45.00
East Loop Road B_Top	Illuminance	FC	1.99	4.4	0.6	3.32 7.33
East Loop Road_Top	Illuminance	FC	1.77	4.0	0.5	3.54 8.00
Int Center Park_Top	Illuminance	FC	1.73	4.4	0.6	2.88 7.33
Int Center West_Top	Illuminance	FC	2.95	4.5	0.6	3.42 7.50
Int East Loop Main_Top	Illuminance	FC	1.93	6.9	0.5	3.86 11.80
Int East Loop_Top	Illuminance	FC	1.81	4.5	0.4	4.53 11.25
Int Main B Main C_Top	Illuminance	FC	1.34	2.8	0.3	4.47 9.33
Int Main West_Top	Illuminance	FC	1.72	4.3	0.5	3.44 8.60
Int North Loop_Top	Illuminance	FC	1.88	3.7	0.8	2.35 4.63
Int Park Parc5_Top	Illuminance	FC	1.67	4.3	0.2	8.35 21.50
Int Park Parc5_Top	Illuminance	FC	2.24	4.5	0.7	3.20 6.43
Int Willow and_Top	Illuminance	FC	1.36	4.1	0.5	2.72 8.20
Int Willow road Main St A_Top	Illuminance	FC	1.38	4.5	0.3	4.60 15.00
Multi-use Pathway 2_Top	Illuminance	FC	1.31	3.2	0.4	3.28 8.00
Multi-use Pathway 1_Top	Illuminance	FC	0.87	4.8	0.2	4.35 24.00
North Loop Road 1_Top	Illuminance	FC	1.14	5.7	0.2	5.70 28.50
North Loop Road_Top_1	Illuminance	FC	0.88	3.8	0.2	4.40 19.00
O'Brien Drive East_Top	Illuminance	FC	1.21	4.4	0.2	6.05 22.00
O'Brien Drive West_Top	Illuminance	FC	1.57	4.1	0.4	3.93 10.25
Ped Parcel 1_Top	Illuminance	FC	1.26	2.7	0.5	2.52 5.40
Ped Parcel 2_Top	Illuminance	FC	1.51	4.0	0.4	3.78 10.00
Ped Parcel 3_Top	Illuminance	FC	0.94	3.6	0.2	4.70 18.00
Ped Parcel 4_Top	Illuminance	FC	1.00	2.9	0.2	5.00 14.50
Ped Parcel 5_Top	Illuminance	FC	0.96	3.7	0.2	4.80 18.50
Ped Parcel 6 7 8_Top	Illuminance	FC	1.73	5.5	0.3	5.77 18.33
Ped Parcel A_Top	Illuminance	FC	1.69	4.1	0.4	4.23 10.25
Ped Parcel Willow RD 1_Top	Illuminance	FC	2.87	6.7	0.4	7.18 16.75
Ped Parcel Willow RD 2_Top	Illuminance	FC	2.94	6.3	0.3	9.80 21.00
Ped Parcel Willow RD 3_Top	Illuminance	FC	3.00	6.8	1.0	3.00 6.80
Ped Parcel Willow Road West_Top	Illuminance	FC	1.46	3.3	0.5	2.92 6.60
Road Center St_Top	Illuminance	FC	0.62	1.6	0.2	3.10 8.00
Road Center St_Top	Illuminance	FC	0.77	2.7	0.3	3.85 13.50
Road Hamilton Avenue_Top	Illuminance	FC	1.94	4.4	0.5	3.88 8.80
Road Main St A 1_Top	Illuminance	FC	1.85	4.6	0.6	3.08 7.67
Road Main St B_Top	Illuminance	FC	0.85	2.5	0.2	4.25 12.50
Road Main St C_Top	Illuminance	FC	0.92	2.7	0.4	2.30 6.75
Road Main St D_Top	Illuminance	FC	2.70	7.1	0.6	4.50 11.83
Road Park St A_Top	Illuminance	FC	1.79	4.5	0.5	2.98 7.50
Road Park St B_Top	Illuminance	FC	1.60	4.1	0.4	4.00 10.25
Road Park St C_Top	Illuminance	FC	1.66	4.3	0.4	4.15 10.75
West St A_Top	Illuminance	FC	1.79	4.5	0.3	4.48 13.25
West St B_Top	Illuminance	FC	1.96	4.5	0.6	3.27 7.50
West St C_Top	Illuminance	FC	0.74	2.2	0.2	3.70 11.00
Willow Road_Top	Illuminance	FC	1.13	6.1	0.2	5.68 30.50

0.5 FC 1.6 FC

PLAN NOT TO SCALE



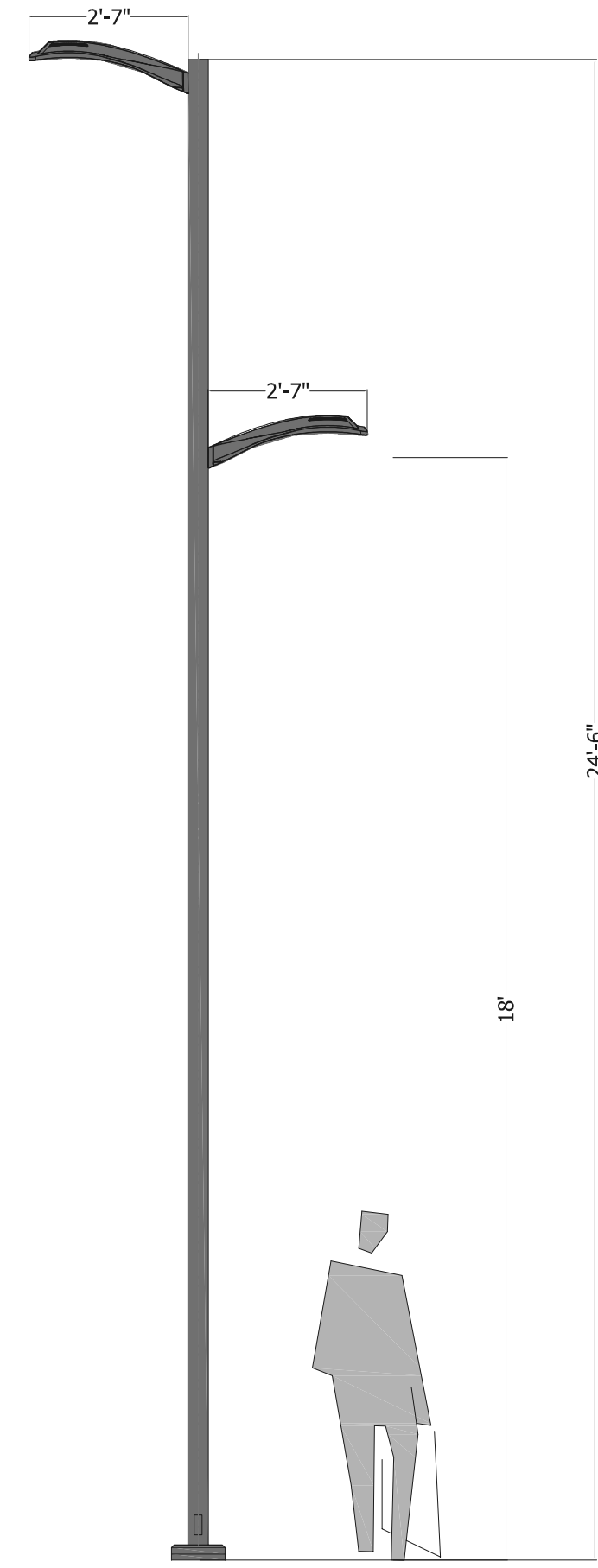
# STERNBERG MILLENIA PROPOSED TYPOLOGIES



Type TMA

**STREET COMPONENT**

Fixture ordering code : Sternberg Millenia  
**ML630-12L30T2-MDL008-SV1**  
 Pole height : 18'  
 Fixture head size : 9"Hx16"Wx30"L  
 Wattage : 27 W  
 Lumen package : 3132 lm  
 Number of LEDs : 12L  
 Distribution : T2  
 Lens : SV1: (Flat Soft Vue Light Difused Acrylic)  
 Color Temperature : 3,000K  
 Driver : MDL008  
 Pole Finish: Urban Bronze Matte  
 BUG Rating : B1 U0 G1  
 Fixture to include photocell and integral dimmable driver



Type TMC

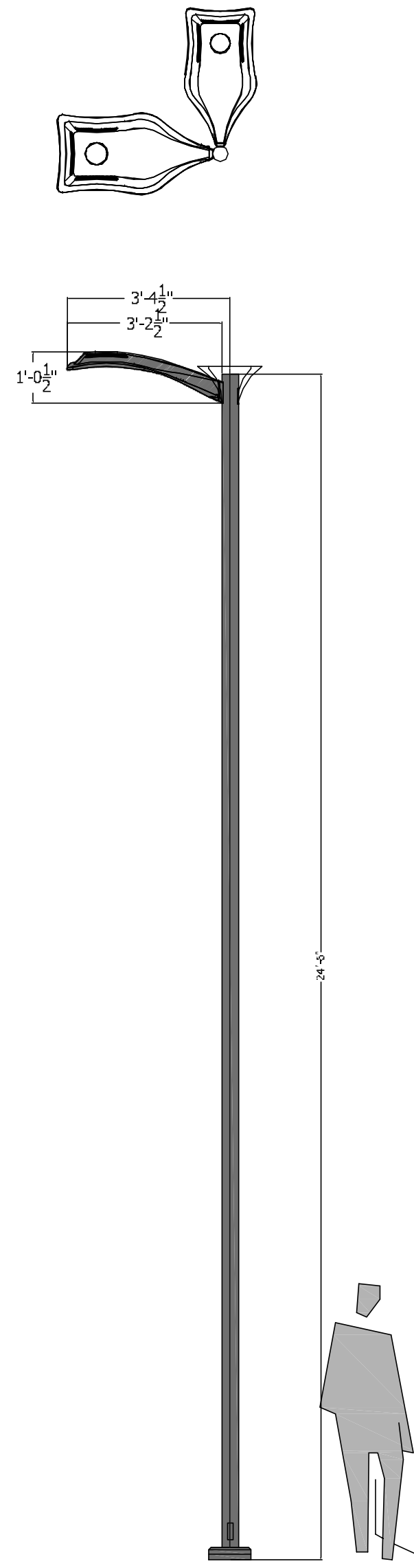
**STREET COMPONENT (Type TMA)**

Fixture ordering code : Sternberg Millenia  
**ML630-12L30T2-MDL008-SV1**  
 Pole height : 25'  
 Fixture head size : 9"Hx16"Wx30"L  
 Wattage : 27 W  
 Lumen package : 3132 lm  
 Number of LEDs : 12L  
 Distribution : T2  
 Lens : SV1: (Flat Soft Vue Light Difused Acrylic)  
 Color Temperature : 3,000K  
 Driver : MDL008  
 Pole Finish: Urban Bronze Matte  
 BUG Rating : B1 U0 G1

**PEDESTRIAN COMPONENT (Type TMA)**

Fixture ordering code : Sternberg Millenia  
**ML630-12L30T2-MDL008-SV1**  
 Pole height : 18'  
 Fixture head size : 9"Hx16"Wx30"L  
 Wattage : 27 W  
 Lumen package : 3132 lm  
 Number of LEDs : 12L  
 Distribution : T2  
 Lens : SV1: (Flat Soft Vue Light Difused Acrylic)  
 Color Temperature : 3,000K  
 Driver : MDL008  
 Pole Finish: Urban Bronze Matte  
 BUG Rating : B1 U0 G1

Fixture to include photocell and integral dimmable driver



Type TMF

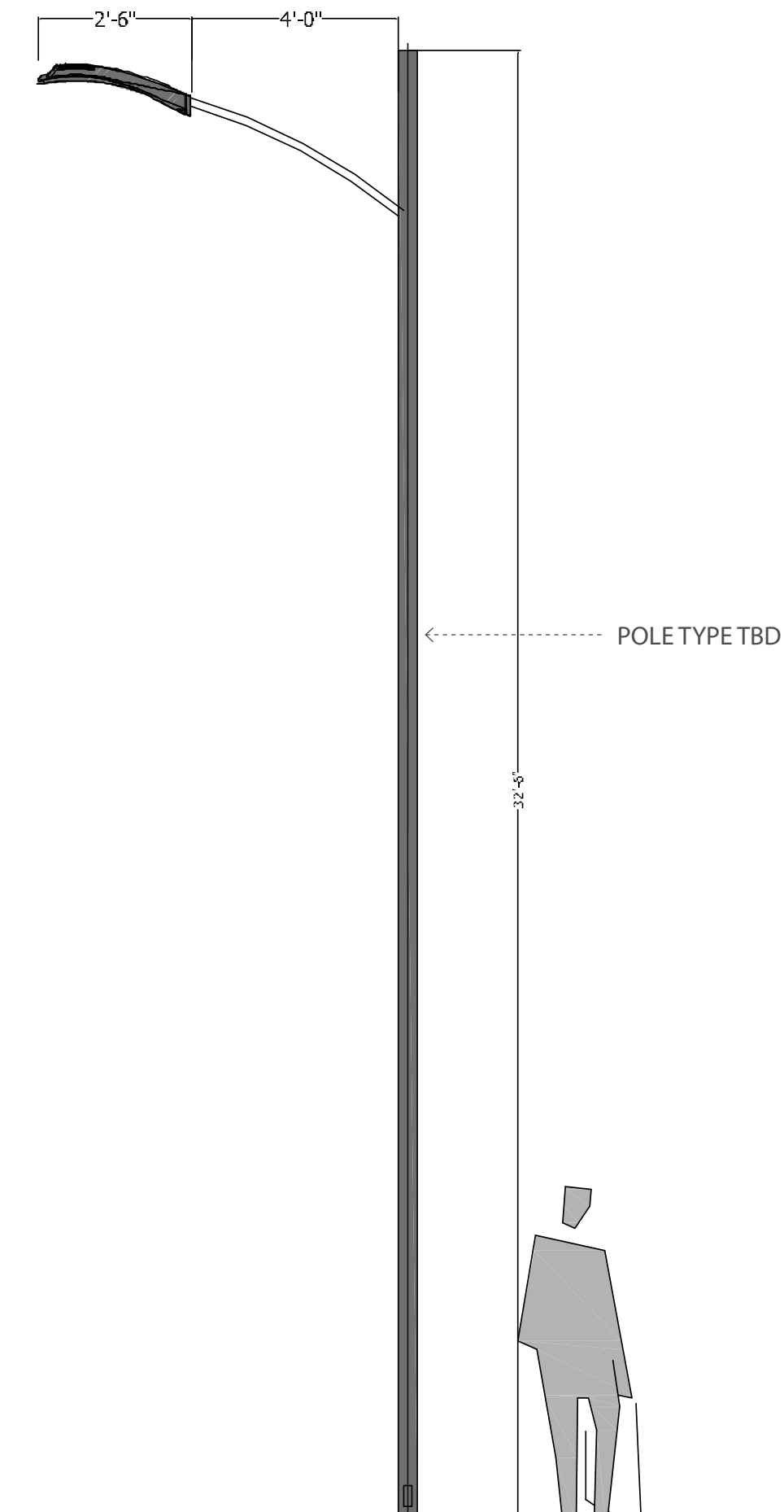
**STREET COMPONENT (Type TMJ)**

Fixture ordering code : Sternberg Millenia  
**ML730-32L30T4-MDL014-SV2**  
 Pole height : 25'  
 Fixture head size : 12"Hx20.5"Wx38"L  
 Wattage : 117 w  
 Lumen package : 12,351 lm  
 Number of LEDs : 32L  
 Distribution : T4  
 Lens : SV2: (Flat Soft Vue Moderate Difused Acrylic)  
 Color Temperature : 3,000K  
 Driver : MDL014  
 Pole Finish : Urban Bronze Matte  
 BUG Rating : B2 U0 G2

**STREET COMPONENT (Type TMH)**

Fixture ordering code : Sternberg Millenia  
**ML730-24L30T2-MDL014-SV2**  
 Pole height : 25'  
 Fixture head size : 9"Hx16"Wx30"L  
 Wattage : 88 W  
 Lumen package : 13043 lm  
 Number of LEDs : 24L  
 Distribution : T2  
 Lens : SV2: (Flat Soft Vue Moderate Difused Acrylic)  
 Color Temperature : 3,000K  
 Driver : MDL014  
 Pole Finish: Urban Bronze Matte  
 BUG Rating : B2 U0 G2

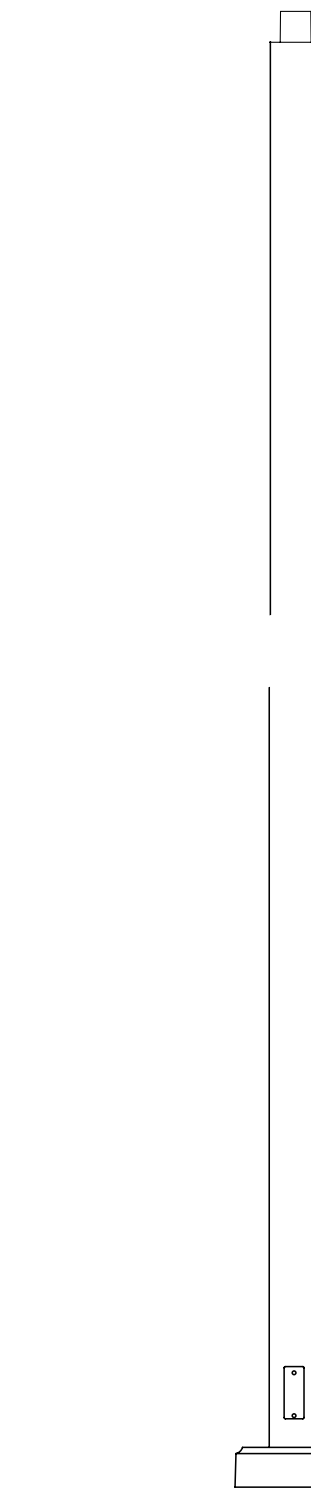
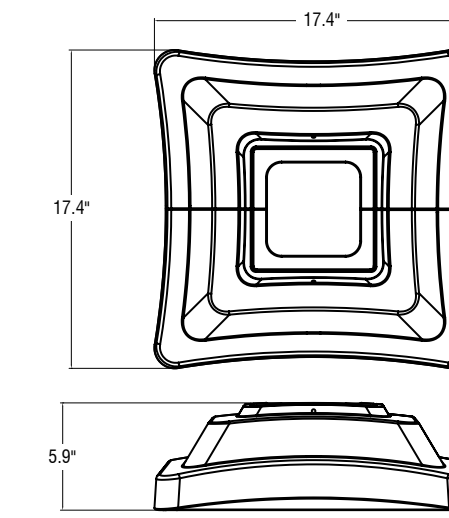
Fixture to include photocell and integral dimmable driver



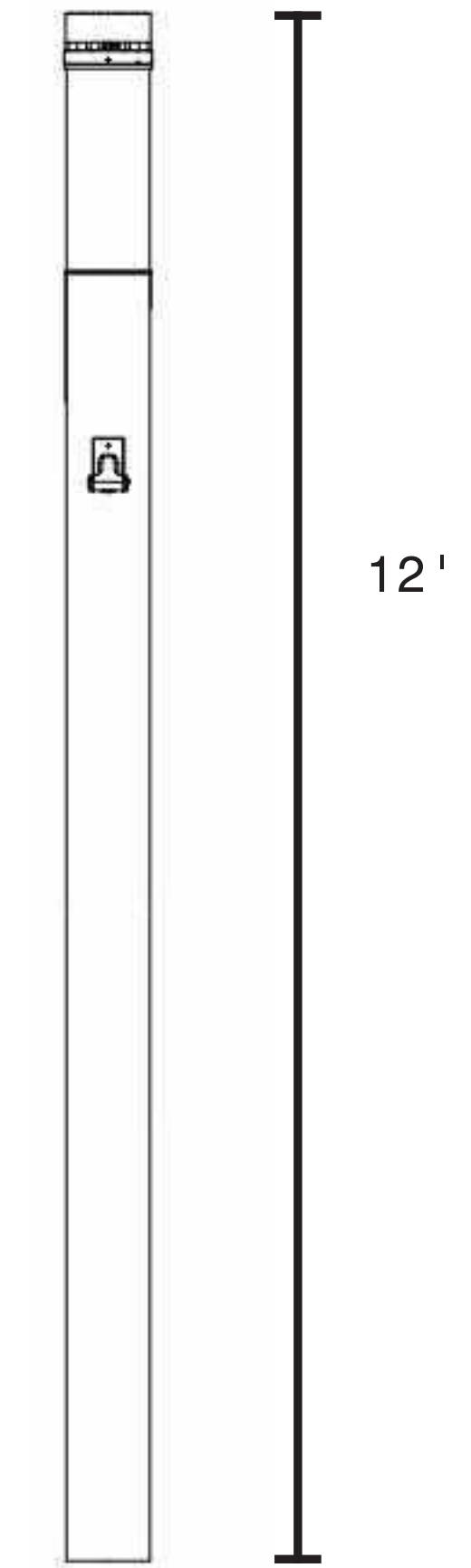
Type TMG

**STREET COMPONENT (Type TMG)**

Fixture ordering code : Cree Lighting - LEDway Series  
**STR-LWY-3M-HT-08-E-SV-700**  
 Pole height : 32.5'  
 Fixture head size : 4.7"Hx10.6"Wx26.8"L  
 Lumen package : 14,200 lm  
 Number of LEDs : 80L  
 Distribution : T3  
 Color Temperature : 3,000K  
 Pole Finish: Urban Bronze Matte  
 BUG Rating : B3 U0 G3  
 Fixture to include photocell and integral dimmable driver



Pole Spec for Type TMA, TMB, TMC & TMD  
 Pole ordering code : ML900 5S UB  
 Pole Finish: Urban Bronze Matte

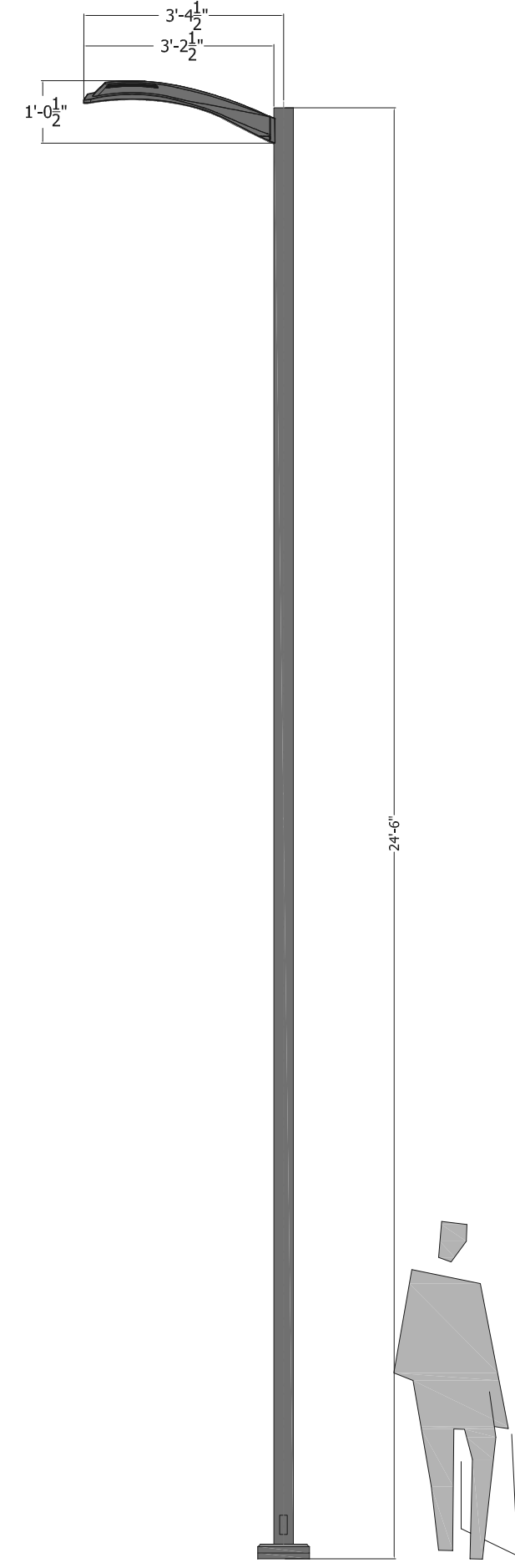


Type TTSA- NORTH WEST STREET LIGHT

Fixture ordering code : Selux :  
 Exelia Gen5 LED  
 Pole height : 12'  
 Wattage : 66 W  
 Lumen package : 5962 lm  
 Distribution : Asymmetric  
 Color Temperature : 3,000K  
 BUG Rating : B3-U0-G2



# STERNBERG MILLENIA PROPOSED TYPOLOGIES

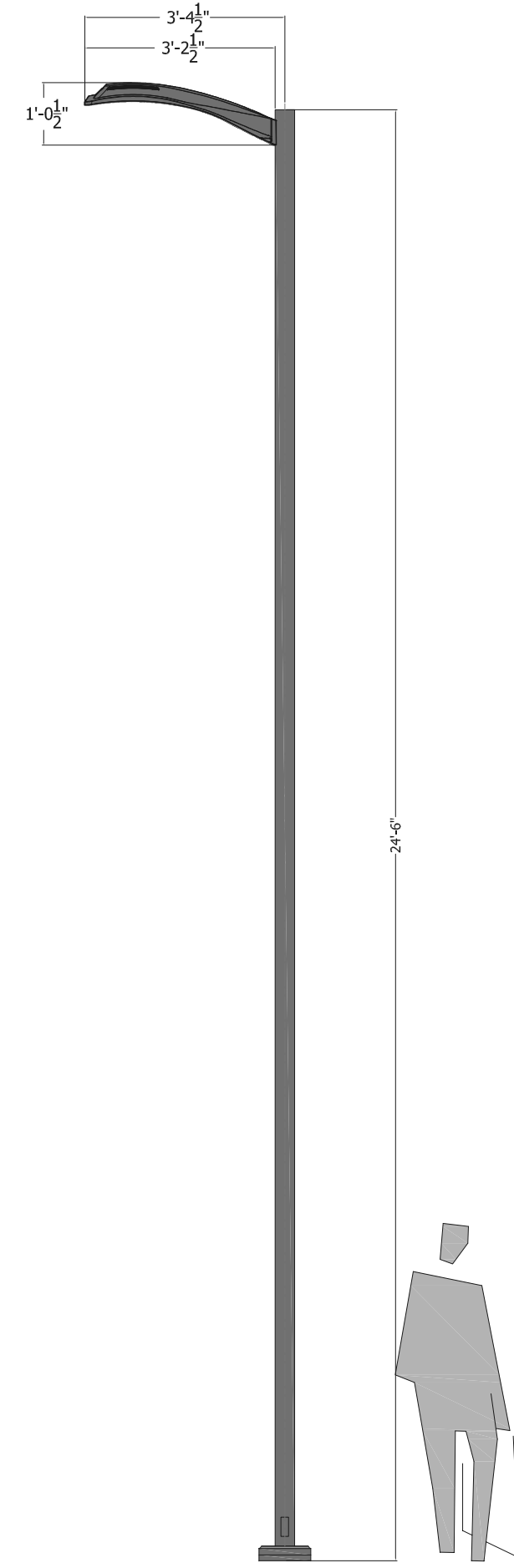


Type TMH

**STREET COMPONENT**

Fixture ordering code : Sternberg Millenia  
**ML730-24L30T2-MDL014-SV2**  
 Pole height : 18'  
 Fixture head size : 9"Hx16"Wx30"L  
 Wattage : 88 W  
 Lumen package : 13043 lm  
 Number of LEDs : 24L  
 Distribution : T2  
 Lens : SV2: (Flat Soft Vue Moderate Difused Acrylic)  
 Color Temperature : 3,000K  
 Driver : MDL014  
 Pole Finish: Urban Bronze Matte  
 BUG Rating : B2 U0 G2

Fixture to include photocell and integral dimmable driver

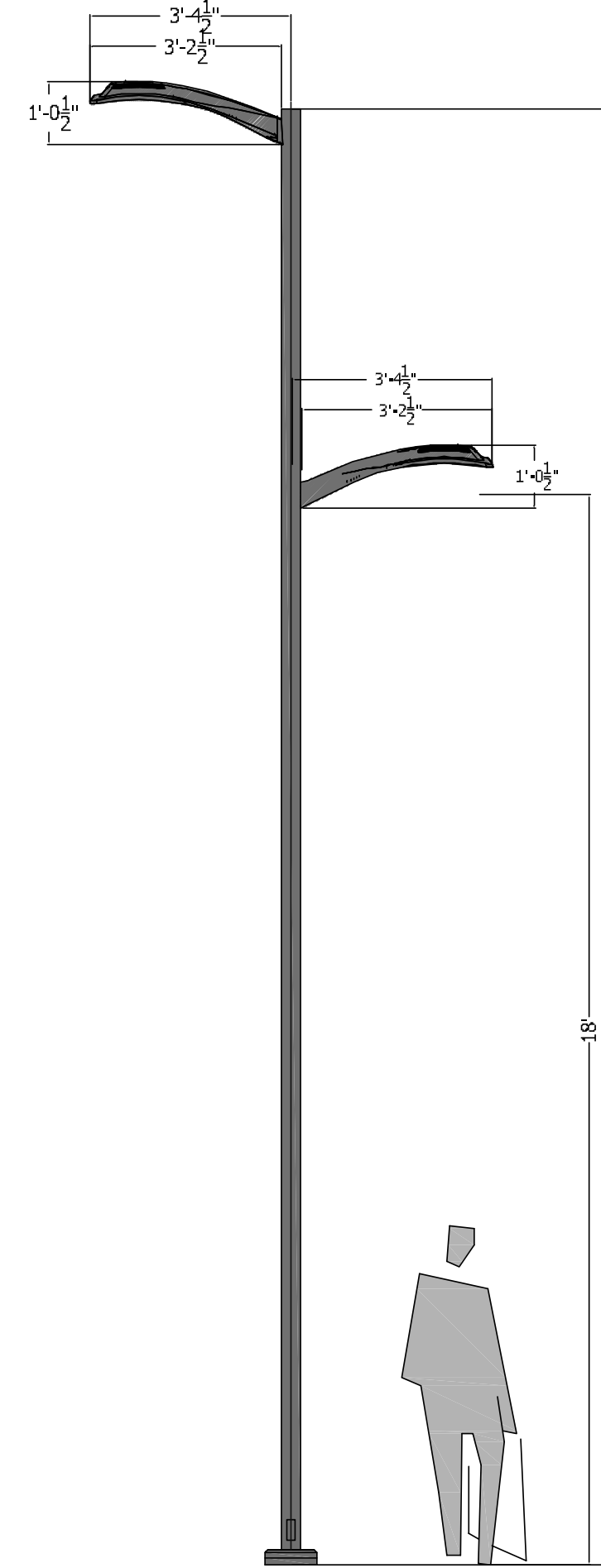


Type TMJ

**STREET COMPONENT**

Fixture ordering code : Sternberg Millenia  
**ML730-32L30T4-MDL014-SV2**  
 Pole height : 25'  
 Fixture head size : 12"Hx20.5"Wx38"L  
 Wattage : 117 w  
 Lumen package : 12,351 lm  
 Number of LEDs : 32L  
 Distribution : T4  
 Lens : SV2: (Flat Soft Vue Moderate Difused Acrylic)  
 Color Temperature : 3,000K  
 Driver : MDL014  
 Pole Finish: Urban Bronze Matte  
 BUG Rating : B2 U0 G2

Fixture to include photocell and integral dimmable driver

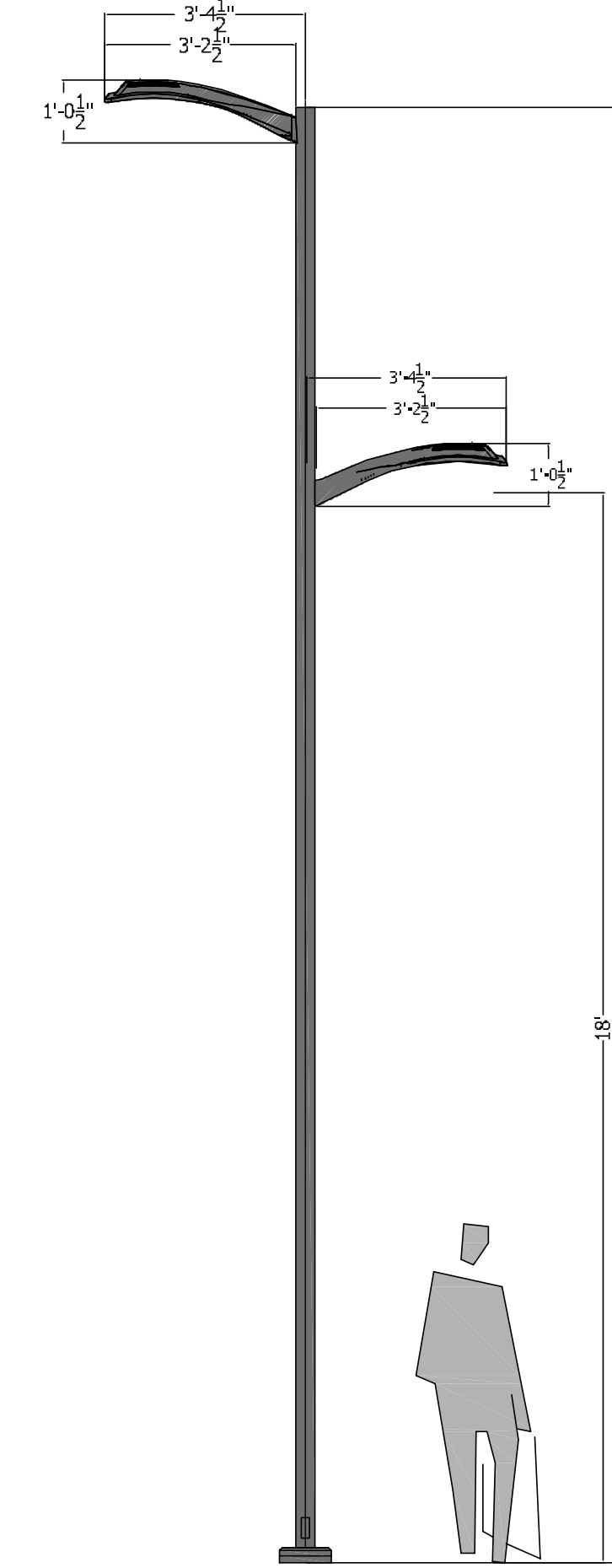


Type TMK

**STREET COMPONENT (Type TMH)**

Fixture ordering code : Sternberg Millenia  
**ML730-24L30T2-MDL014-SV2**  
 Pole height : 25'  
 Fixture head size : 9"Hx16"Wx30"L  
 Wattage : 88 W  
 Lumen package : 13043 lm  
 Number of LEDs : 24L  
 Distribution : T2  
 Lens : SV2: (Flat Soft Vue Moderate Difused Acrylic)  
 Color Temperature : 3,000K  
 Driver : MDL014  
 Pole Finish: Urban Bronze Matte  
 BUG Rating : B2 U0 G2

**PEDESTRIAN COMPONENT (Type TMH)**  
 Fixture ordering code : Sternberg Millenia  
**ML730-24L30T2-MDL014-SV2**  
 Pole height : 18'  
 Fixture head size : 9"Hx16"Wx30"L  
 Wattage : 88 W  
 Lumen package : 13043 lm  
 Number of LEDs : 24L  
 Distribution : T2  
 Lens : SV2: (Flat Soft Vue Moderate Difused Acrylic)  
 Color Temperature : 3,000K  
 Driver : MDL014  
 Pole Finish: Urban Bronze Matte  
 BUG Rating : B2 U0 G2  
 Fixture to include photocell and integral dimmable driver

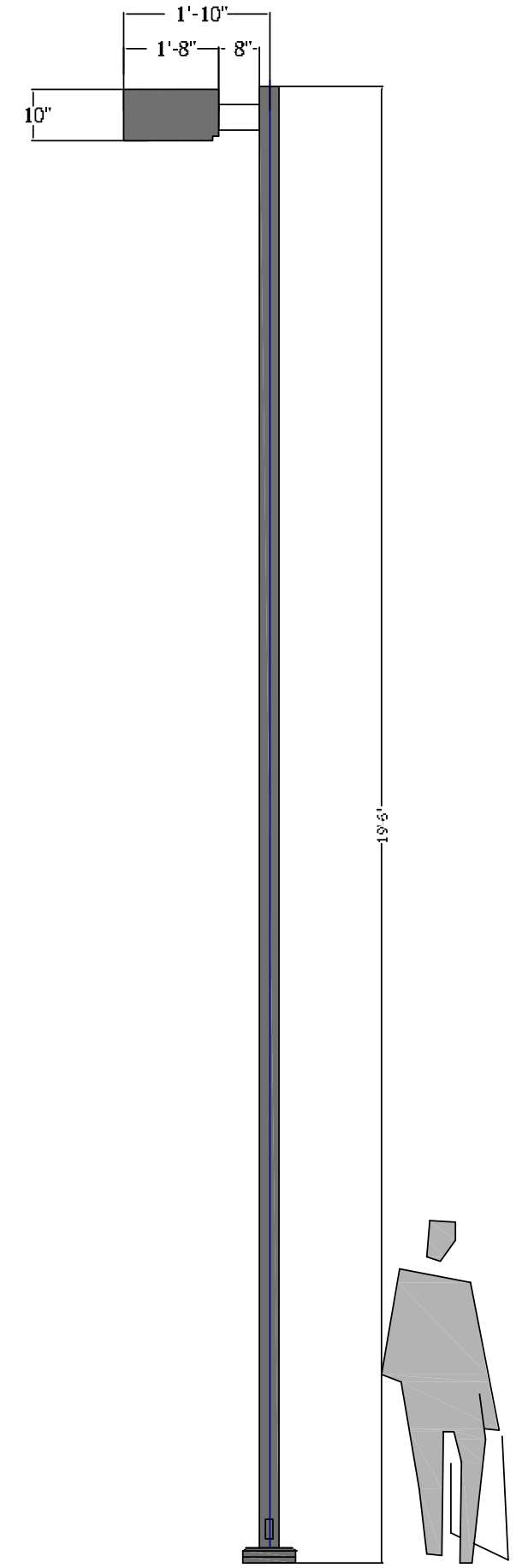


Type TML

**STREET COMPONENT (Type TMJ)**

Fixture ordering code : Sternberg Millenia  
**ML730-32L30T4-MDL014-SV2**  
 Pole height : 25'  
 Fixture head size : 12"Hx20.5"Wx38"L  
 Wattage : 117 w  
 Lumen package : 12,351 lm  
 Number of LEDs : 32L  
 Distribution : T4  
 Lens : SV2: (Flat Soft Vue Moderate Difused Acrylic)  
 Color Temperature : 3,000K  
 Driver : MDL014  
 Pole Finish: Urban Bronze Matte  
 BUG Rating : B2 U0 G2

**PEDESTRIAN COMPONENT (Type TMH)**  
 Fixture ordering code : Sternberg Millenia  
**ML730-24L30T2-MDL014-SV2**  
 Pole height : 18'  
 Fixture head size : 9"Hx16"Wx30"L  
 Wattage : 88 W  
 Lumen package : 13043 lm  
 Number of LEDs : 24L  
 Distribution : T2  
 Lens : SV2: (Flat Soft Vue Moderate Difused Acrylic)  
 Color Temperature : 3,000K  
 Driver : MDL014  
 Pole Finish: Urban Bronze Matte  
 BUG Rating : B2 U0 G2  
 Fixture to include photocell and integral dimmable driver



Type TMP





**STREET COMPONENT**

Fixture ordering code : Kim Lighting  
**KSS20-4120-1-EKG-DB-BC-PC-LAB**  
 Pole height : 19.5'  
 Fixture head size : 10"Hx16 11/16"Wx 19 13/16"L  
 Wattage : 250w  
 Lamp - 100HPS240  
 Pole Finish: Urban Bronze Matte

Fixture to include photocell and integral dimmable driver





LEGEND			
		Ownership	Maintenance Responsibilities
	At-Grade Open Space	Private	Private
	Above-Grade Open Space	Private	Private
	Public Right of Way	City of Menlo Park	City of Menlo Park
	Private Right of Way	Private	Private





LEGEND	
<span style="color: red;">■</span>	Emergency Generator

**EMERGENCY GENERATOR SUMMARY**

Use	Location	Quantity	Generator Size
Hotel	TS1	1	600KW / 750KVA
Accessory/Convention	NG	2	(2) 750KW / 1,000KVA
Office	SG	2	(2) 1,750KW / 2,188KVA
	RS2	1	1,000 KW
	RS3	1	750 KW
	RS4	1	500 KW
	RS5	1	500 KW
	RS6	1	250 KW
	RS7	1	150 KW
West Bay District Sanitary Pump Station	RA2*	1	500 KW
Off-Site Retail	Hamilton Avenue Parcel North	1	150 KW

\* To be located in one of two possible locations.  
 Note: Generators will be located in the the basement or ground floor level. Specific locations will be provided with architectural review plans.

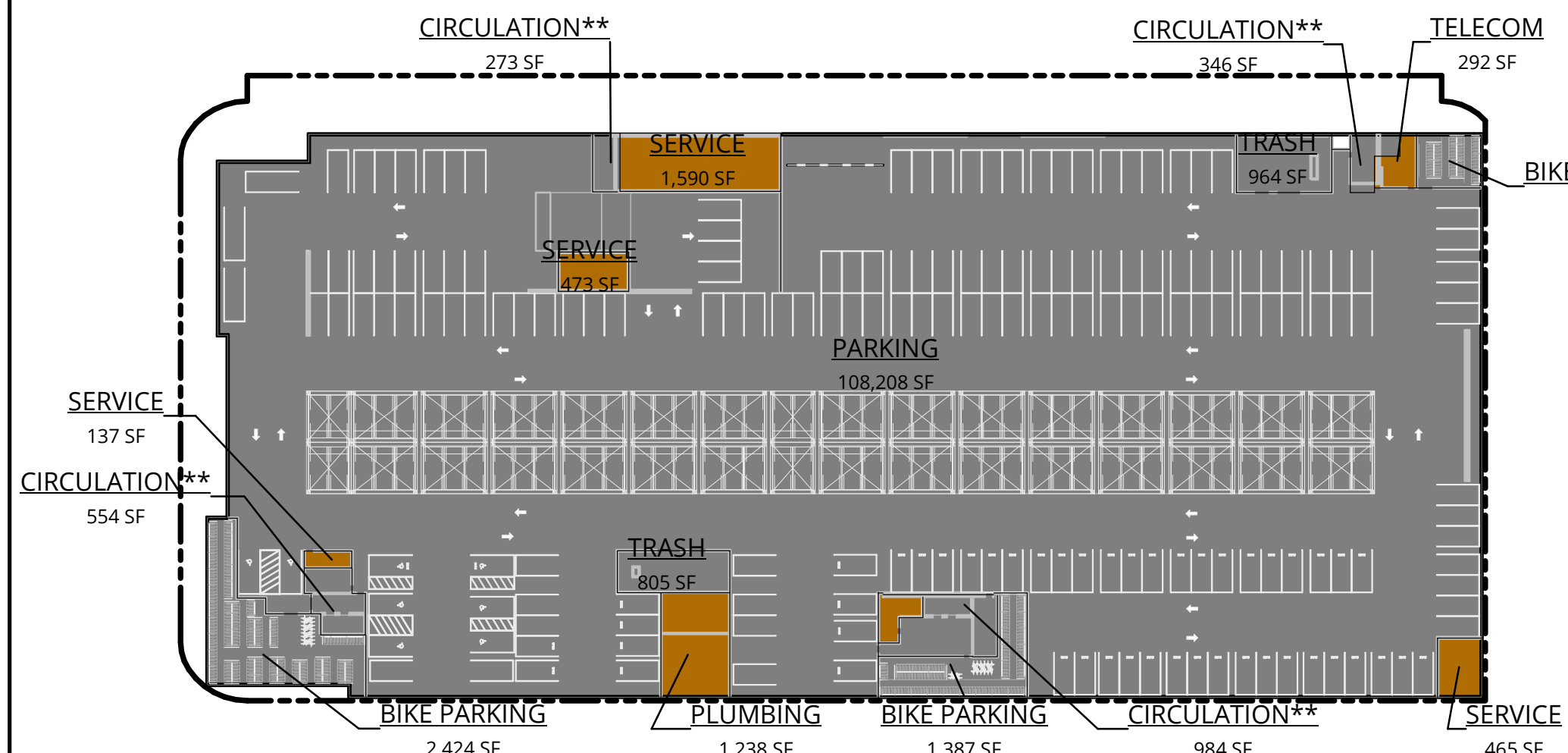


# APPENDIX 1

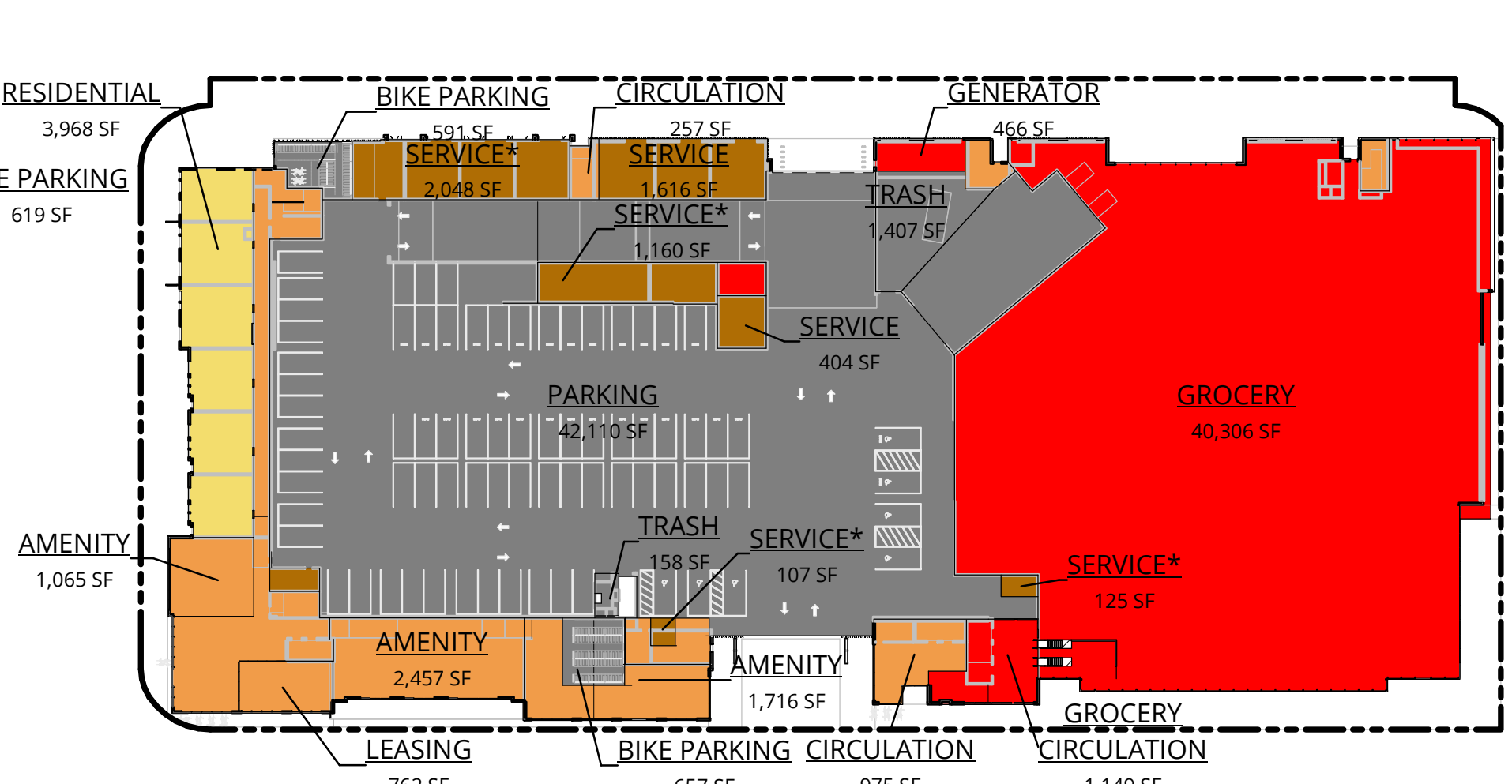
## PARCEL 1-8 ILLUSTRATIVE GFA

Diagrams included in this CDP are conceptual.  
Compliance will be reviewed with the  
Architectural Control Plans (ACPs).

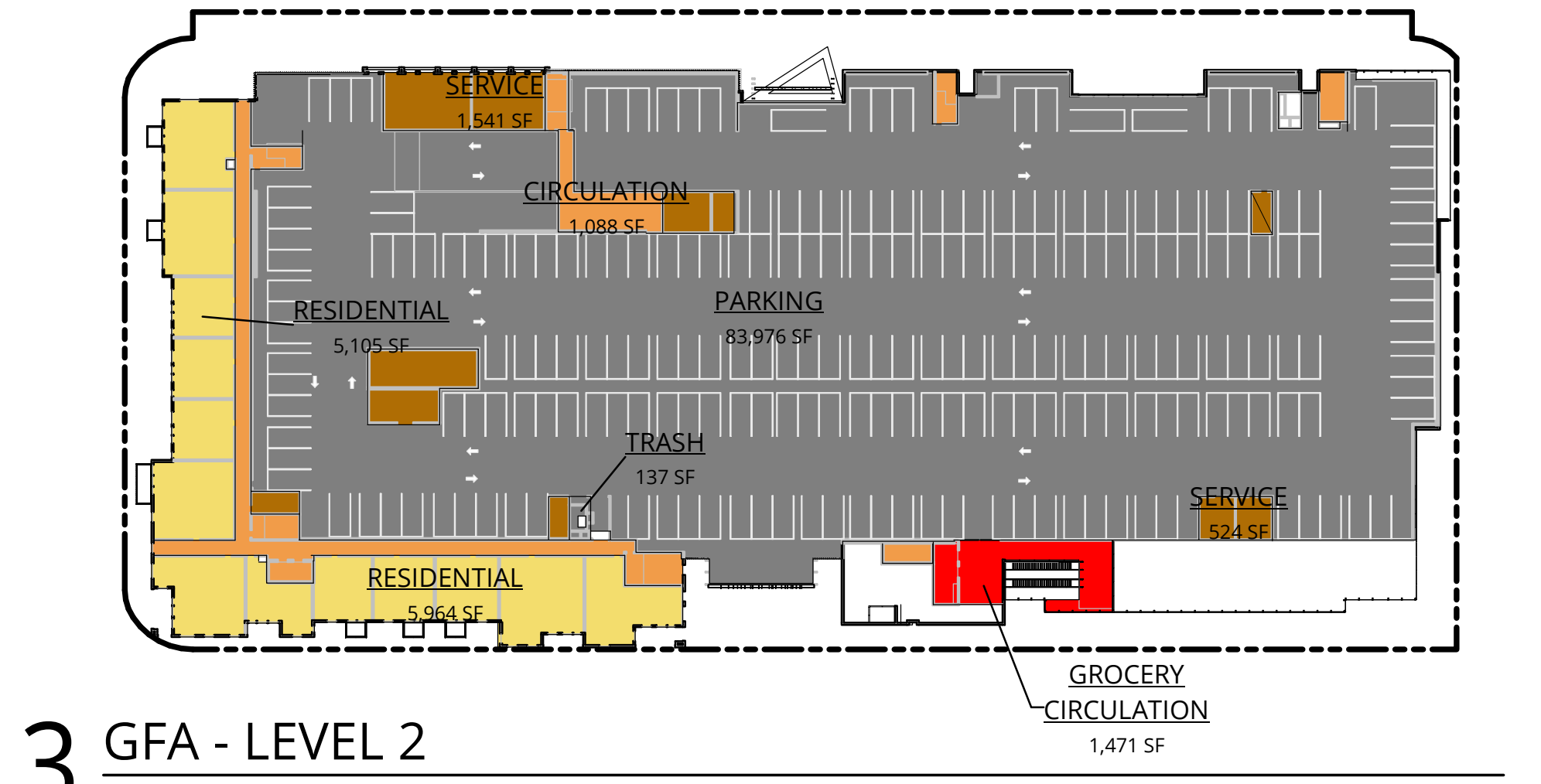




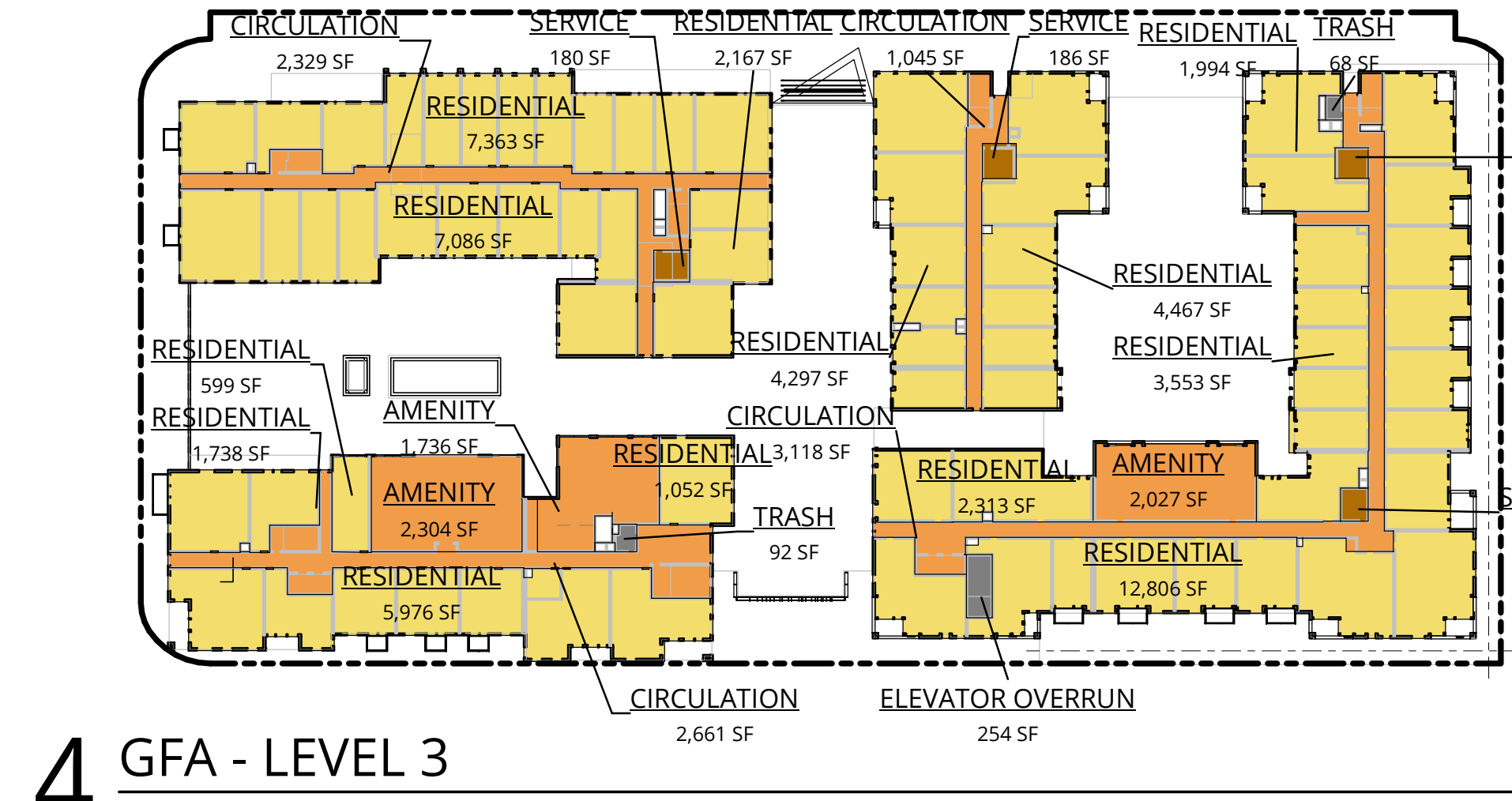
**1 GFA - LEVEL P1**  
1" = 60'-0"



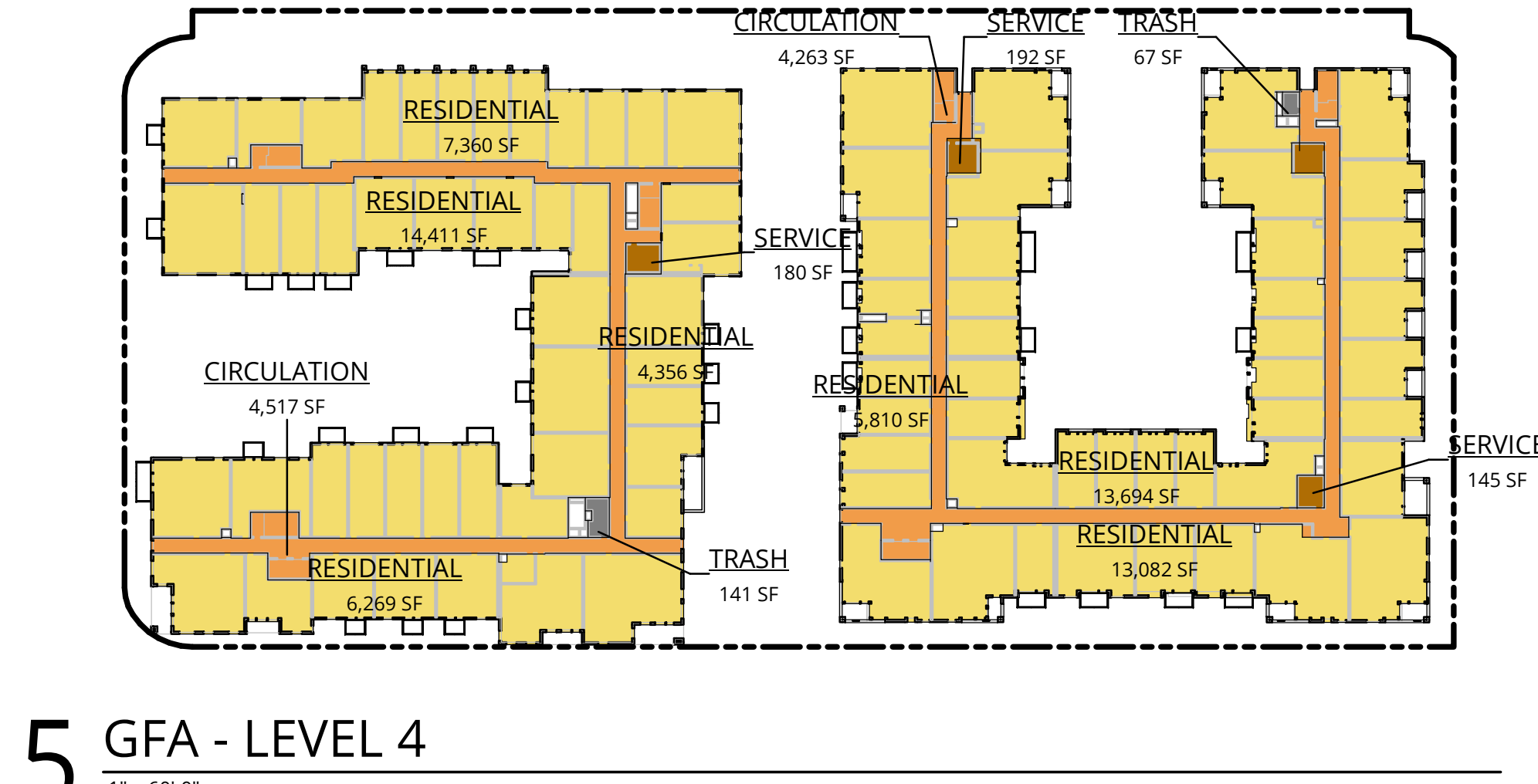
**2 GFA - LEVEL 1**  
1" = 60'-0"



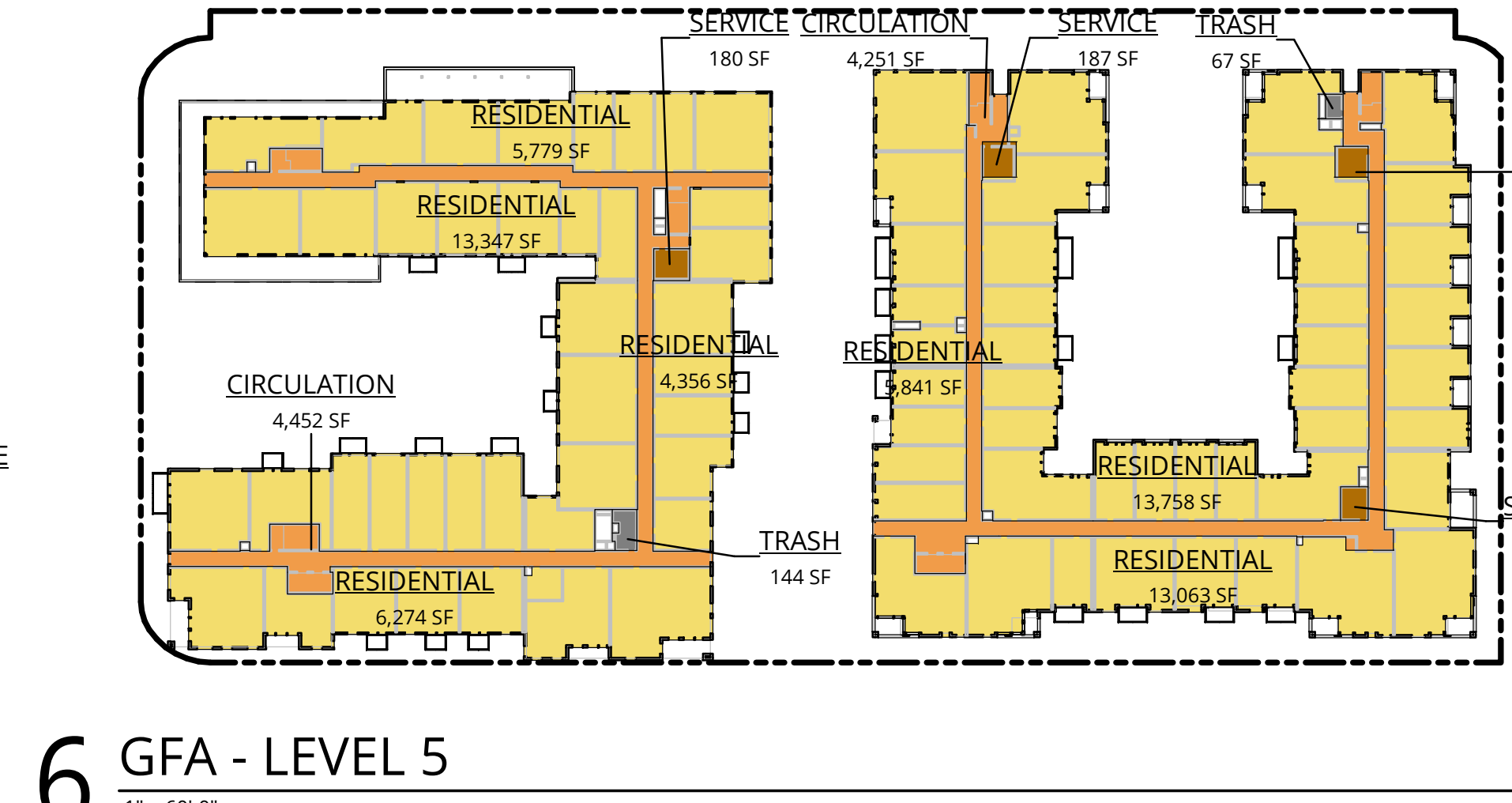
**3 GFA - LEVEL 2**  
1" = 60'-0"



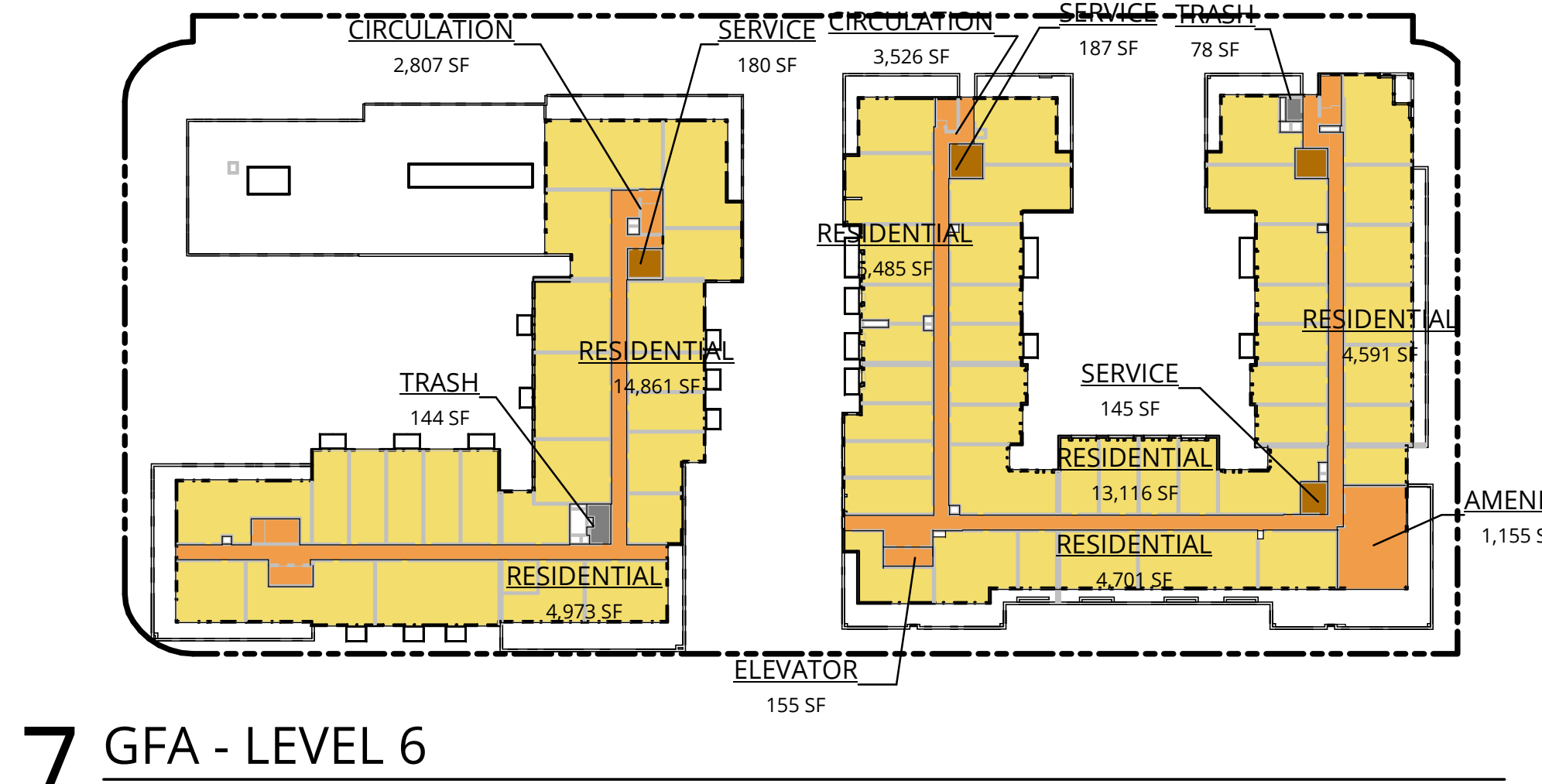
**4 GFA - LEVEL 3**  
1" = 60'-0"



**5 GFA - LEVEL 4**  
1" = 60'-0"



**6 GFA - LEVEL 5**  
1" = 60'-0"



**7 GFA - LEVEL 6**  
1" = 60'-0"

GROSS FLOOR AREA (GFA)	
Name	Area

**EXCLUDED FROM GFA PER ZONING CODE**

Name	Area
LEVEL P1	
BIKE PARKING	4,430 SF
CIRCULATION**	2,157 SF
PARKING	108,208 SF
TRASH	1,769 SF
<b>TOTAL</b>	<b>116,563 SF</b>

Name	Area
LEVEL 1	
BIKE PARKING	1,248 SF
LOADING	2,798 SF
PARKING	42,110 SF
SERVICE*	3,440 SF
TRASH	1,565 SF
<b>TOTAL</b>	<b>51,159 SF</b>

Name	Area
LEVEL 2	
PARKING	83,976 SF
TRASH	137 SF
<b>TOTAL</b>	<b>84,114 SF</b>

Name	Area
LEVEL 3	
ELEVATOR OVERRUN	254 SF
TRASH	159 SF
<b>TOTAL</b>	<b>413 SF</b>

Name	Area
LEVEL 4	
TRASH	208 SF
<b>TOTAL</b>	<b>208 SF</b>

Name	Area
LEVEL 5	
TRASH	212 SF
<b>TOTAL</b>	<b>212 SF</b>

Name	Area
LEVEL 6	
TRASH	222 SF
<b>TOTAL</b>	<b>222 SF</b>

**EXCLUDED FROM GFA PER ZONING CODE**

Name	Area
<b>TOTAL</b>	<b>252,891 SF</b>

GROSS FLOOR AREA (GFA)	
Name	Area

**INCLUDED IN GFA PER ZONING CODE**

Name	Area
LEVEL P1	
PLUMBING	1,238 SF
SERVICE	2,930 SF
TELECOM	292 SF
<b>TOTAL</b>	<b>4,460 SF</b>

Name	Area
LEVEL 1	
AMENITY	5,238 SF
CIRCULATION	5,715 SF
GENERATOR	466 SF
PARKING	40,306 SF
GROCERY CIRCULATION	1,149 SF
GROCERY ELECTRICAL	258 SF
LEASING	762 SF
RESIDENTIAL	3,968 SF
SERVICE	2,201 SF
<b>TOTAL</b>	<b>60,064 SF</b>

Name	Area
LEVEL 2	
CIRCULATION	5,033 SF
GROCERY CIRCULATION	1,471 SF
RESIDENTIAL	11,069 SF
SERVICE	4,178 SF
<b>TOTAL</b>	<b>21,750 SF</b>

Name	Area
LEVEL 3	
AMENITY	6,066 SF
CIRCULATION	9,153 SF
RESIDENTIAL	55,413 SF
SERVICE	671 SF
<b>TOTAL</b>	<b>71,303 SF</b>

Name	Area
LEVEL 4	
CIRCULATION	8,780 SF
RESIDENTIAL	64,982 SF
SERVICE	676 SF
<b>TOTAL</b>	<b>74,438 SF</b>

Name	Area
LEVEL 5	
CIRCULATION	8,703 SF
RESIDENTIAL	62,418 SF
SERVICE	672 SF
<b>TOTAL</b>	<b>71,794 SF</b>

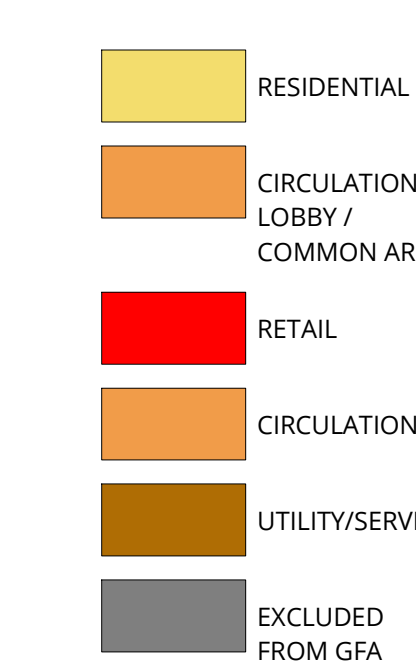
Name	Area
LEVEL 6	
AMENITY	1,155 SF
CIRCULATION	6,695 SF
ELEVATOR	155 SF
RESIDENTIAL	47,728 SF
SERVICE	672 SF
<b>TOTAL</b>	<b>56,405 SF</b>

**INCLUDED IN GFA PER ZONING CODE**

Name	Area
<b>TOTAL</b>	<b>360,213 SF</b>

**TOTAL GFA:** 613,105 SF

**LEGEND**



\*UTILITY SPACES GENERATE NOISE, BUT ARE ONLY PERMITTED TO BE EXCLUDED FROM GROSS FLOOR AREA UP TO 1% OF THE MAXIMUM PERMITTED GROSS FLOOR AREA PER 16.04.325(C)(2). ASTERISKS INDICATE A SERVICE SPACE CHOSEN TO REPRESENT THIS MAXIMUM PERMITTED EXCLUDED AREA  
 \*\*CIRCULATION ON LEVEL P1 IS EXCLUSIVELY USED TO ACCESS PARKING AND IS THEREFORE EXCLUDED PER 16.03.325(C)(3)

GROSS FLOOR AREA (GFA) SUBTOTALS		
Name	Area	Zoning Code:

**EXCLUDED FROM GFA PER ZONING CODE**

Name	Area	EXCLUDED PER 16.04.325(C)(3)
RESIDENTIAL	5,677 SF	EXCLUDED PER 16.04.325(C)(3)
BIKE PARKING	2,157 SF	EXCLUDED PER 16.04.325(C)(3)
CIRCULATION**	108,208 SF	EXCLUDED PER 16.04.325(C)(3)
PARKING	3,440 SF	EXCLUDED PER 16.04.325(C)(2)
SERVICE*	2,866 SF	EXCLUDED PER 16.04.325(C)(6)
<b>RESIDENTIAL</b>	<b>122,347 SF</b>	
ELEVATOR OVERRUN	254 SF	EXCLUDED PER 16.04.325(C)(1)
LOADING	2,798 SF	EXCLUDED PER 16.04.325(C)(3)
PARKING	126,086 SF	EXCLUDED PER 16.04.325(C)(3)
TRASH	1,407 SF	EXCLUDED PER 16.04.325(C)(6)
<b>RETAIL</b>	<b>130,544 SF</b>	
<b>EXCLUDED FROM GFA PER ZONING CODE</b>	<b>252,891 SF</b>	

GROSS FLOOR AREA (GFA) SUBTOTALS		
Name	Area	Zoning Code:

**INCLUDED IN GFA PER ZONING CODE**

Name	Area	INCLUDED PER 16.04.325(A)
AMENITY	12,459 SF	INCLUDED PER 16.04.325(A)
CIRCULATION	44,079 SF	INCLUDED PER 16.04.325(A)
ELEVATOR	155 SF	EXCLUDED PER 16.04.325(C)(3)
LEASING	762 SF	INCLUDED PER 16.04.325(A)
PLUMBING	1,238 SF	INCLUDED PER 16.04.325(B)(4)
RESIDENTIAL	245,579 SF	INCLUDED PER 16.04.325(A)
SERVICE	11,999 SF	INCLUDED PER 16.04.325(B)(4)
TELECOM	292 SF	INCLUDED PER 16.04.325(B)(4)
<b>RESIDENTIAL</b>	<b>316,563 SF</b>	

GROSS FLOOR AREA (GFA) SUBTOTALS		
Name	Area	Zoning Code:

**RETAIL**

Name	Area	INCLUDED PER 16.04.325(B)(4)
GENERATOR	466 SF	INCLUDED PER 16.04.325(B)(4)
GROCERY	40,306 SF	INCLUDED PER 16.04.325(A)
GROCERY CIRCULATION	2,620 SF	INCLUDED PER 16.04.325(A)
GROCERY ELECTRICAL	258 SF	INCLUDED PER 16.04.325(B)(4)
<b>RETAIL</b>	<b>43,651 SF</b>	
<b>INCLUDED IN GFA PER ZONING CODE</b>	<b>360,213 SF</b>	
<b>TOTAL GFA</b>	<b>613,105 SF</b>	

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
 Architectural Control Package - Parcel 2  
 Menlo Park, CA

SCALE: 1" = 60'-0"  
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
4/11/2022	ACP

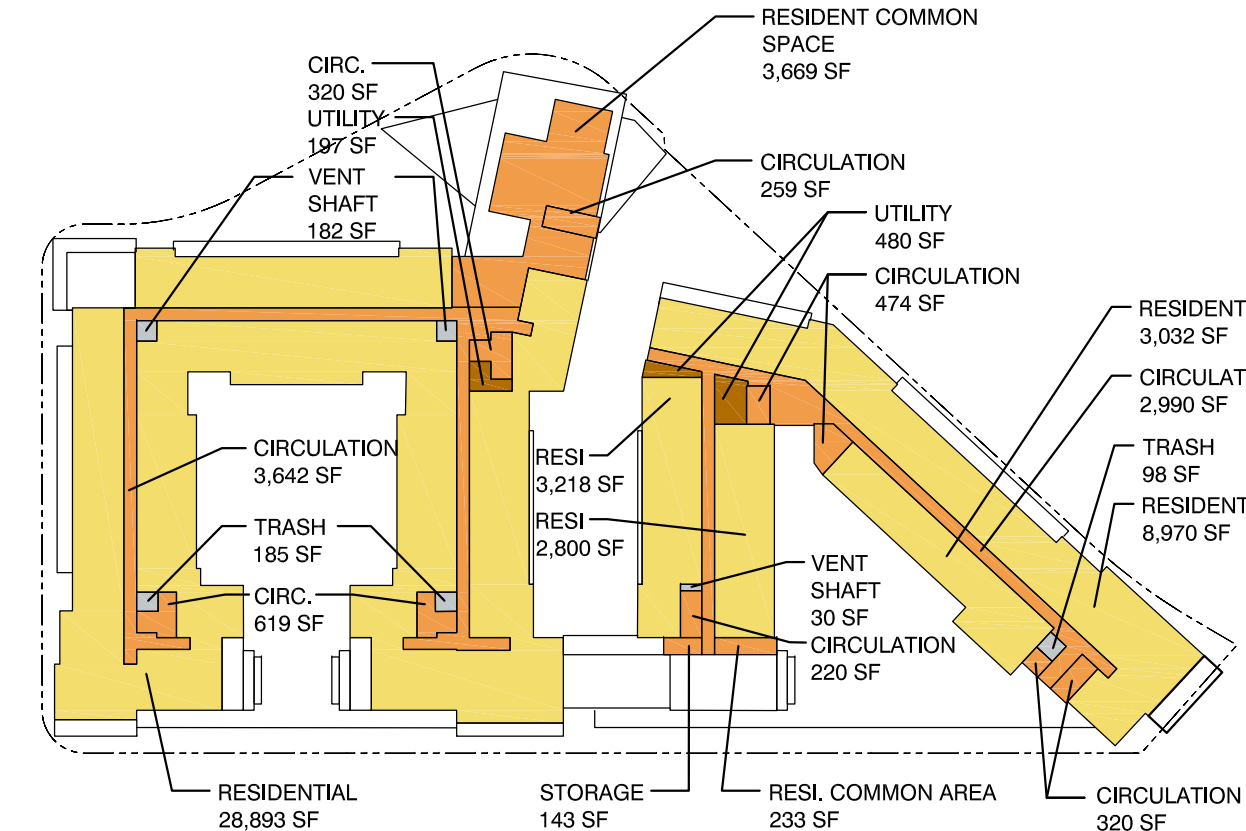
REVISIONS		
NO.	DATE	ISSUE

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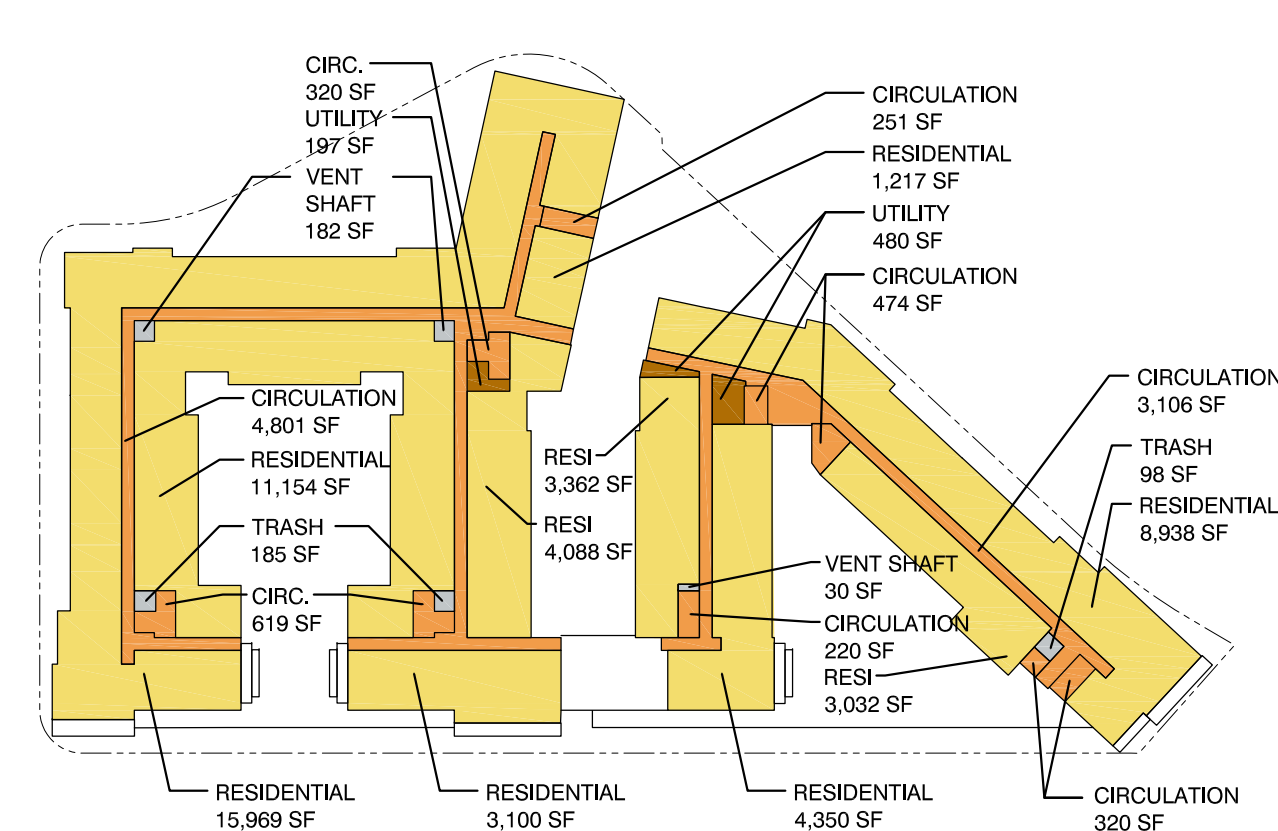
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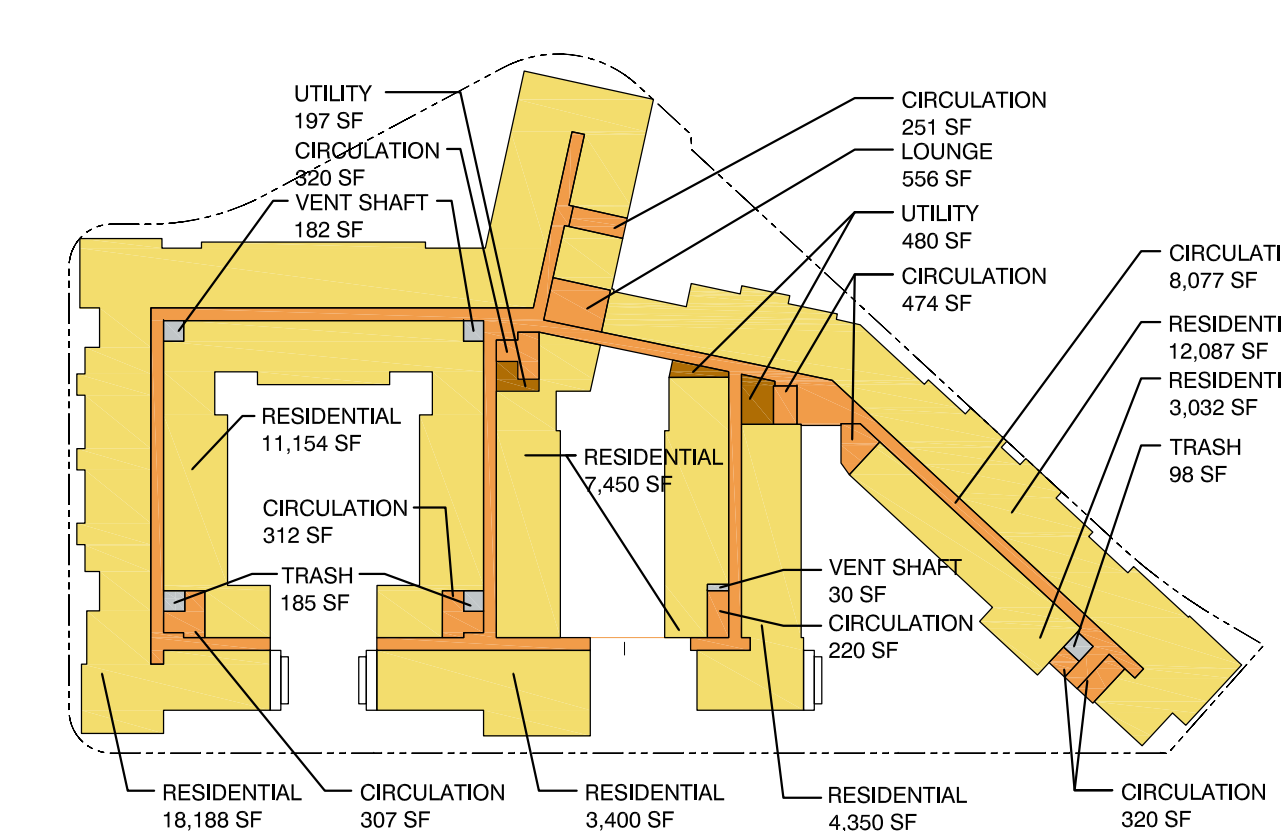




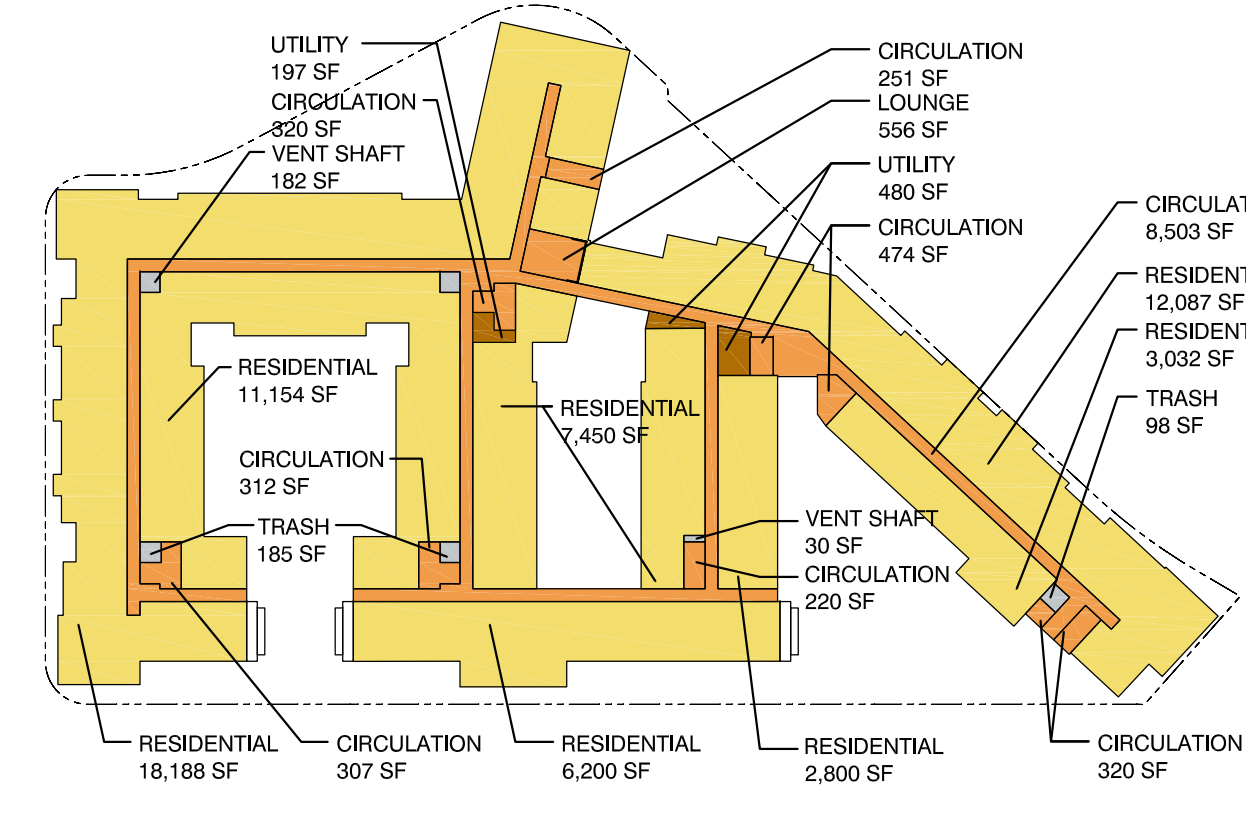
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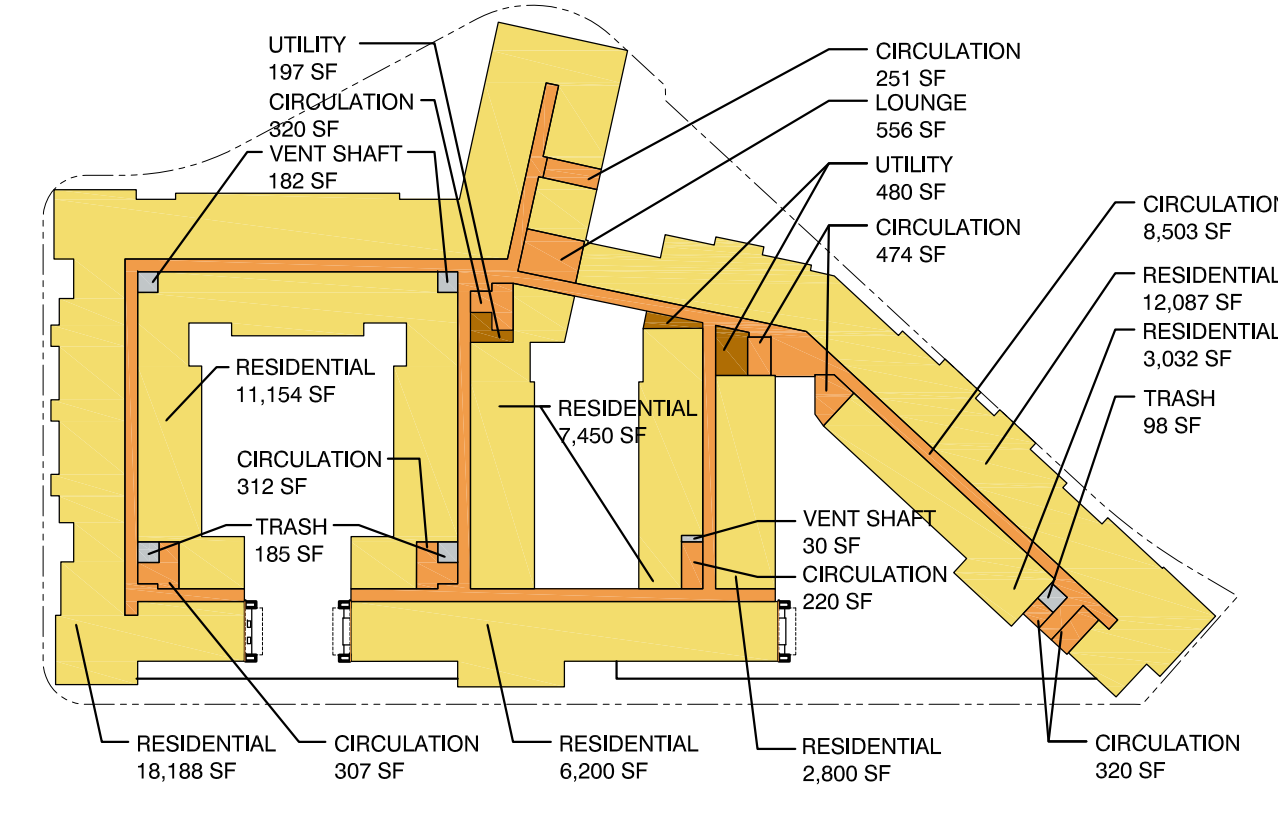
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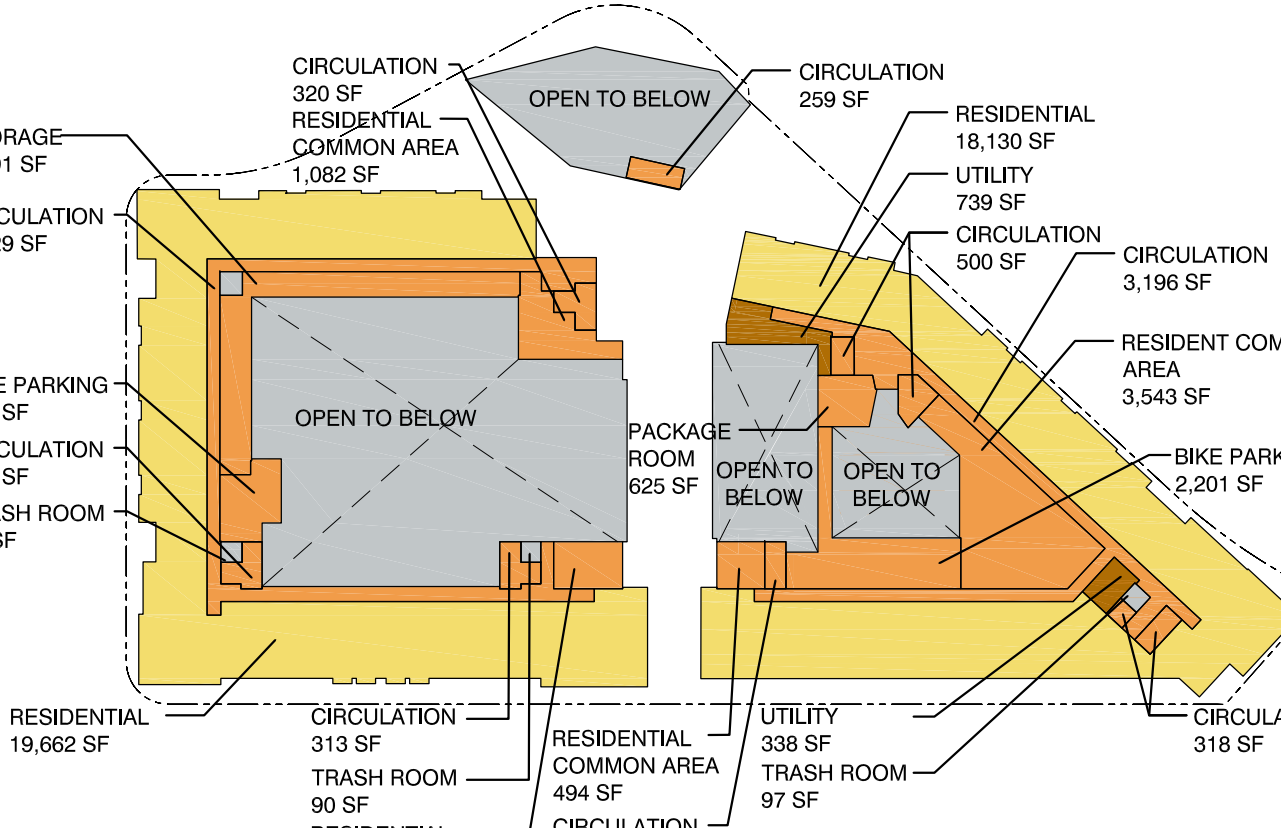
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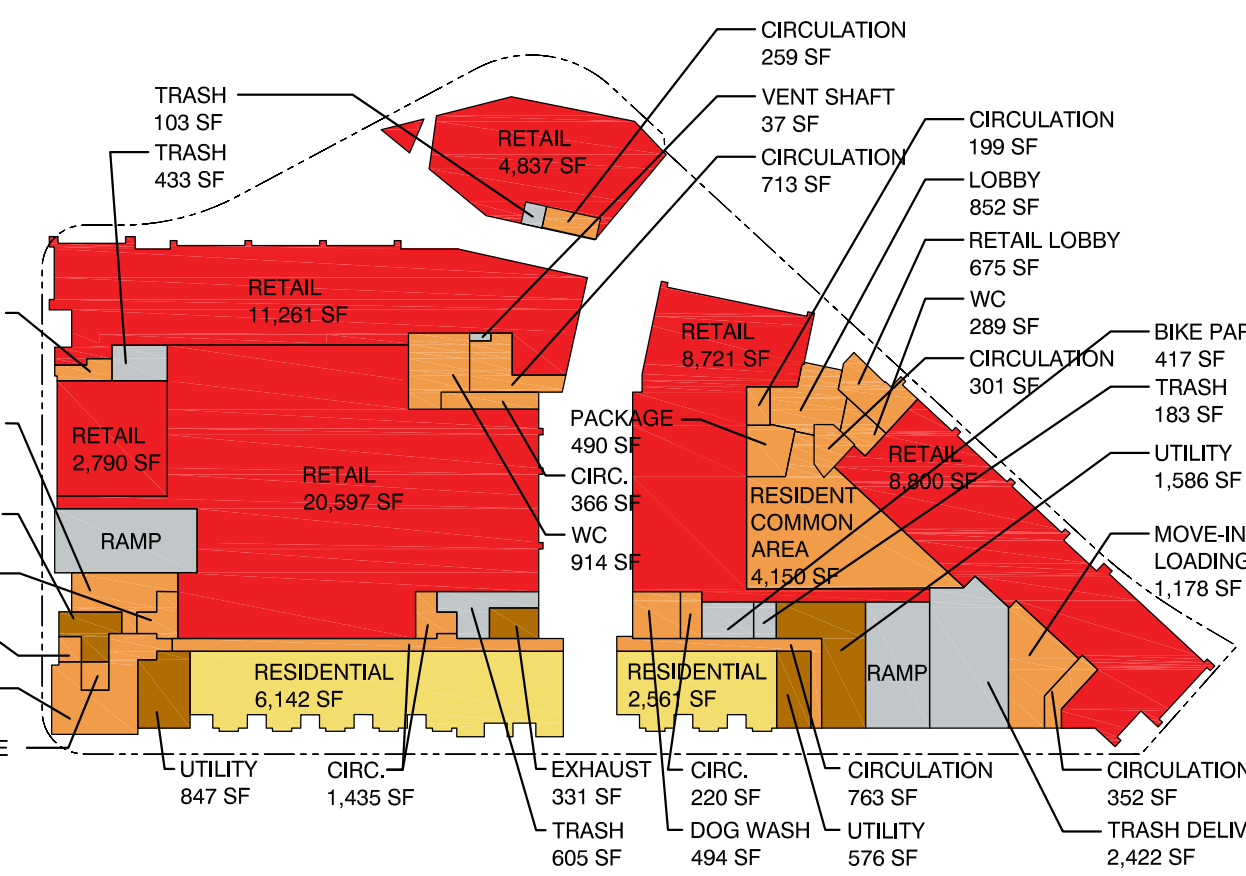
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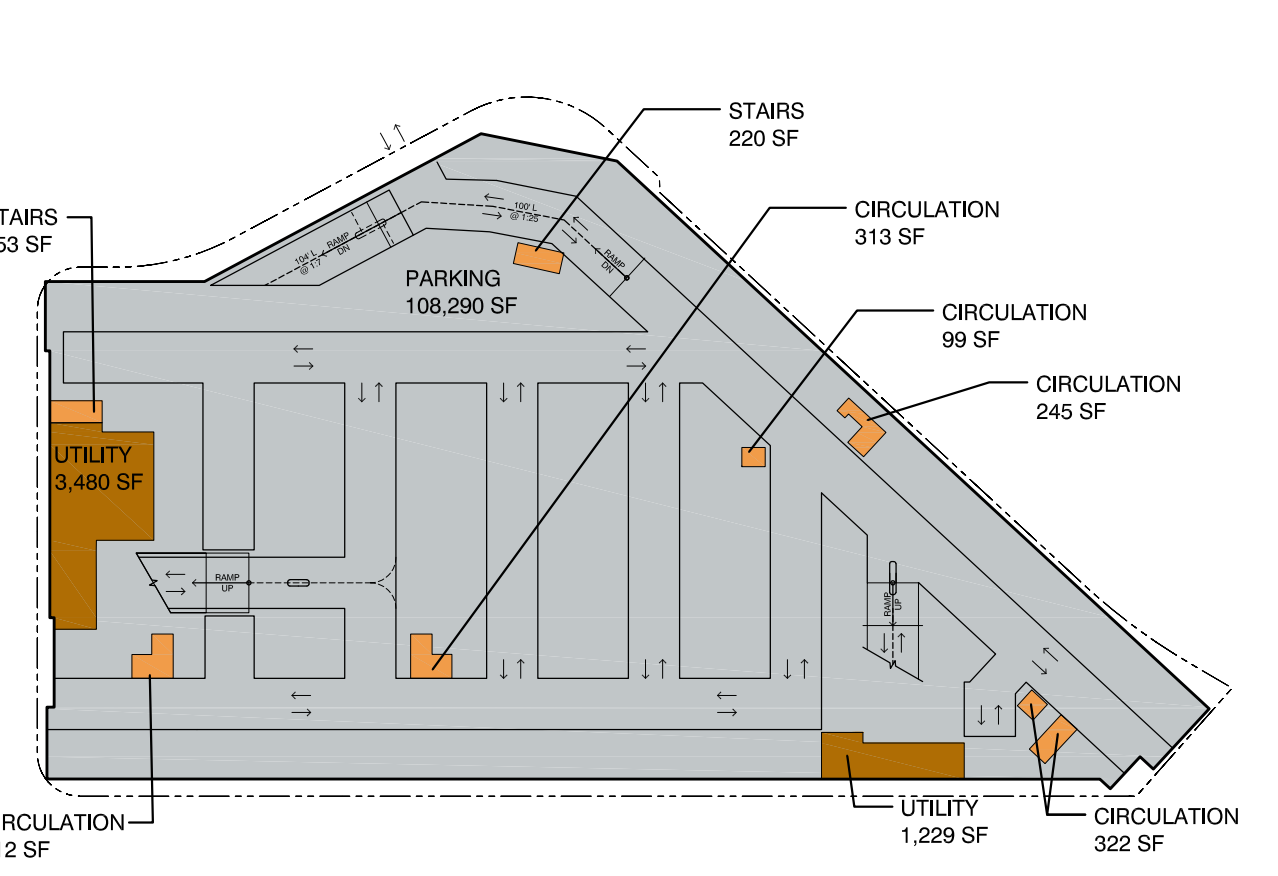
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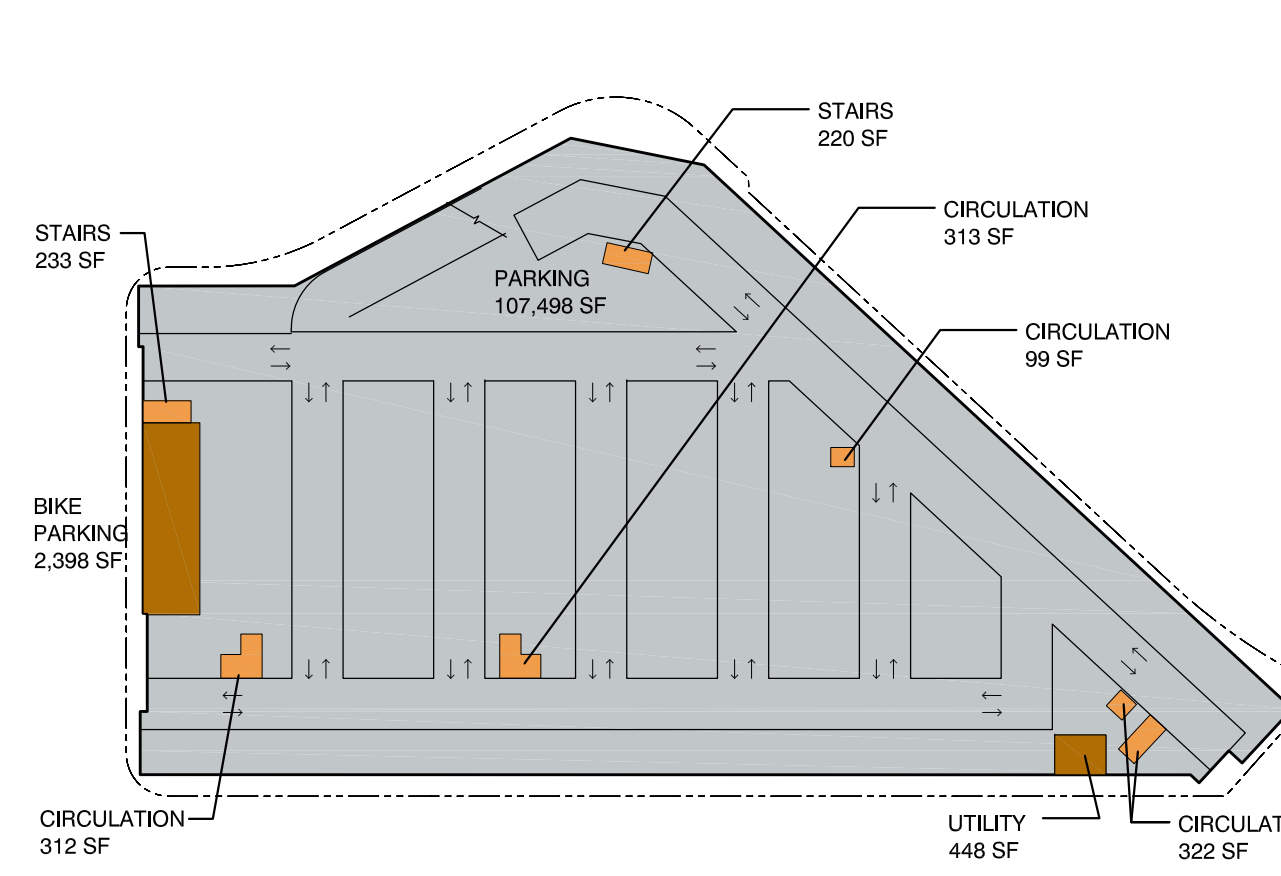
LEVEL 02



LEVEL 01



LEVEL BASEMENT 01



LEVEL BASEMENT 02

GROSS FLOOR AREA (ZONING 1)

CATEGORY	ZONING GFA
LEVEL B2	448
UTILITY	448
<b>LEVEL B1</b>	<b>4,709</b>
UTILITY	4,709
<b>LEVEL 1</b>	<b>86,113</b>
CIRCULATION	4,922
LOBBY	3,058
STORAGE	169
WC	1,203
DOG WASH	494
RESIDENT COMMON AREA	4,150
RESIDENTIAL	8,703
RETAIL	57,006
UTILITY	3,493
PACKAGE	490
OFFICE	125
MOVE-IN & LOADING	2,300
<b>LEVEL 2</b>	<b>57,176</b>
CIRCULATION	9,062
STORAGE	2,791
RESIDENT COMMON AREA	5,829
RESIDENTIAL	37,792
UTILITY	1,077
PACKAGE ROOM	625
<b>LEVEL 3</b>	<b>72,851</b>
CIRCULATION	10,707
LOUNGE	556
RESIDENTIAL	60,911
UTILITY	677
<b>LEVEL 4</b>	<b>72,851</b>
CIRCULATION	10,707
RESIDENTIAL	60,911
UTILITY	677
LOUNGE	556
<b>LEVEL 5</b>	<b>71,175</b>
CIRCULATION	10,281
RESIDENTIAL	59,661
UTILITY	677
LOUNGE	556
<b>LEVEL 6</b>	<b>65,998</b>
CIRCULATION	10,111
RESIDENTIAL	55,210
UTILITY	677
<b>LEVEL 7</b>	<b>60,479</b>
CIRCULATION	8,844
STORAGE	143
RESIDENT COMMON AREA	3,902
RESIDENTIAL	46,913
UTILITY	677
<b>GFA SUBTOTALS - INCLUDED PER CODE</b>	<b>58,821</b>
<b>RETAIL</b>	<b>57,006</b>
RETAIL	57,006
LOBBY	657
WC	1,158
<b>RESIDENTIAL</b>	<b>67,897</b>
CIRCULATION	2,401
LOBBY	3,659
STORAGE	2,361
WC	494
DOG WASH	13,881
RESIDENT COMMON AREA	330,101
RESIDENTIAL	11,225
UTILITY	432,019
<b>TOTAL INCLUDED GFA (PER ZONING CODE)</b>	<b>490,840</b>

GROSS FLOOR AREA (ZONING 2)

CATEGORY	EXCLUDED GFA
VEHICULAR PARKING	107,498
BIKE PARKING	2,398
CIRCULATION	1,499
<b>LEVEL 1</b>	<b>111,395</b>
VEHICULAR PARKING	108,290
CIRCULATION	1,764
<b>LEVEL 2</b>	<b>110,054</b>
BIKE PARKING	417
TRASH	387
EXHAUST	368
<b>LEVEL 3</b>	<b>495</b>
TRASH ROOM	283
VENT STACK	212
<b>LEVEL 4</b>	<b>495</b>
TRASH ROOM	283
VENT STACK	212
<b>LEVEL 5</b>	<b>495</b>
TRASH ROOM	283
VENT STACK	212
<b>LEVEL 6</b>	<b>495</b>
TRASH ROOM	283
VENT STACK	212
<b>LEVEL 7</b>	<b>495</b>
TRASH ROOM	283
VENT STACK	212
<b>GFA SUBTOTALS - EXCLUDED PER CODE</b>	<b>215,788</b>
<b>EXCLUDED PER ZONING CODE</b>	<b>215,788</b>
VEHICULAR PARKING	215,788
BIKE PARKING	5,949
TRASH	2,007
VENT STACK/EXHAUST	1,428
<b>TOTAL EXCLUDED GFA (PER ZONING CODE)</b>	<b>225,172</b>
<b>TOTAL GFA</b>	<b>716,012</b>

MENLO PARK ZONING CODE REQUIREMENTS

16.04.325 (C): AREAS EXCLUDED FROM GROSS FLOOR AREAS (DEFINITION)

- (2) AREAS OF A BUILDING OR BUILDINGS DEDICATED TO THE ENCLOSURE OF NOISE GENERATING EQUIPMENT AND GENERATORS, NOT TO EXCEED ONE PERCENT (1%) OF THE MAXIMUM ALLOWED GROSS FLOOR AREA OF THE LOT. THIS EXCLUSION APPLIES TO EQUIPMENT UTILIZED FOR THE OPERATION OF THE OF THE BUILDING SYSTEMS AND DOES NOT APPLY TO EQUIPMENT UTILIZED IN CONNECTION WITH A BUSINESS OPERATING WITHIN A BUILDING;
- (3) ALL AREAS DEVOTED TO COVERED PARKING AND RELATED CIRCULATION FOR AUTOMOBILES AND BICYCLES, INCLUDING GARAGES, CARPORTS, BELOW GRADE PARKING STRUCTURES, AND ABOVE GRADE PARKING STRUCTURES;

NOTE: UTILITY ROOMS IN P3 BUILDING WILL HAVE SOME SORT OF NOISE GENERATING EQUIPMENT SUCH AS COOLERS. PER 16.04.325(C)(2) CODE, ONLY ONE PERCENT (1%) OF THE MAXIMUM ALLOWED GROSS FLOOR AREA OF THE LOT IS EXCLUDED FROM GFA.

TOTAL BUILDING AREA INCLUDED IN GFA = 490,943 SF  
 490,943 X 0.01 = 4,909 SF MAXIMUM AREA DEDICATED TO THE NOISE GENERATING EQUIPMENT ALLOWED TO BE EXCLUDED FROM GFA

NOISE GENERATING UTILITY / SERVICES EXCLUDED FROM GFA IN P3 = X,XXX SF < 4,909 SF

LEGEND

- RETAIL
- RESIDENTIAL
- CIRCULATION / COMMON AREA / LOBBY
- UTILITY / SERVICE
- EXCLUDED FROM GFA

SCALE:  
 NOTE: THIS DRAWING IS NOT TO SCALE. DIMENSIONS, USE REQUIRED DIMENSIONS ONLY. OR SEE CALLOUTS FOR DIMENSIONS FROM ARCHITECT'S PLAN. MEASUREMENTS THAT ARE NOT INDICATED.

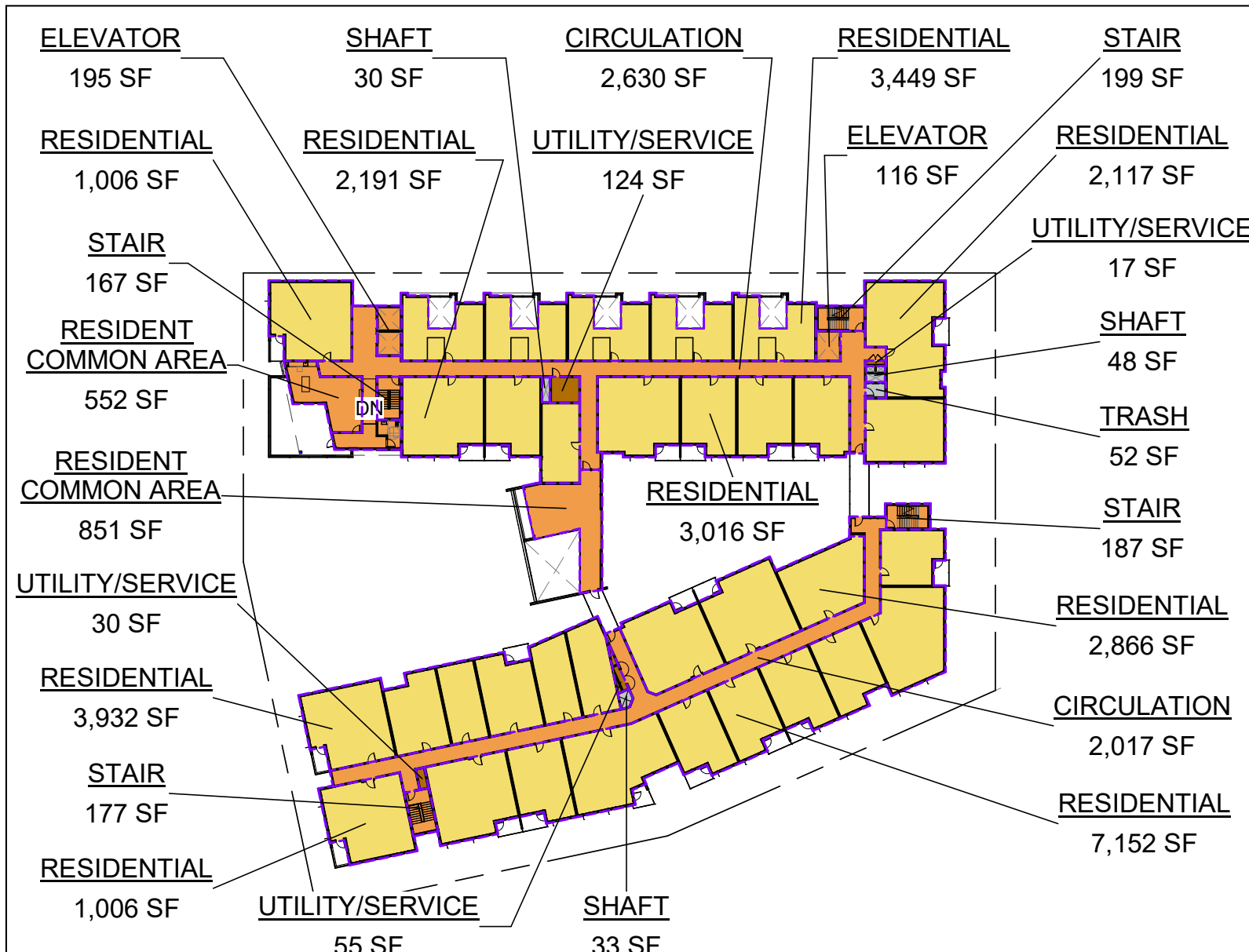
MILESTONES

DATE	ISSUE
4/11/2022	ACP

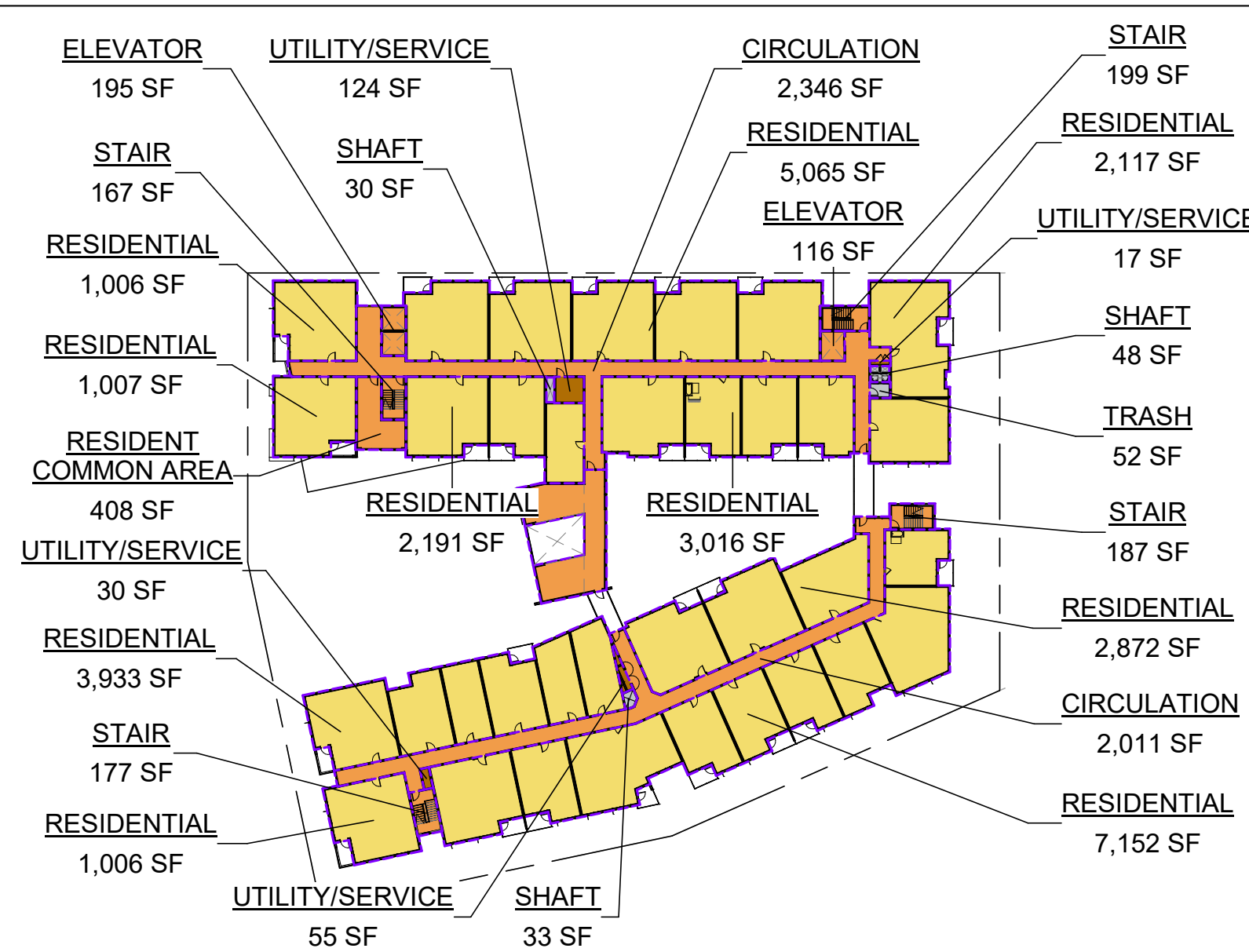
REVISIONS

NO.	DATE	ISSUE

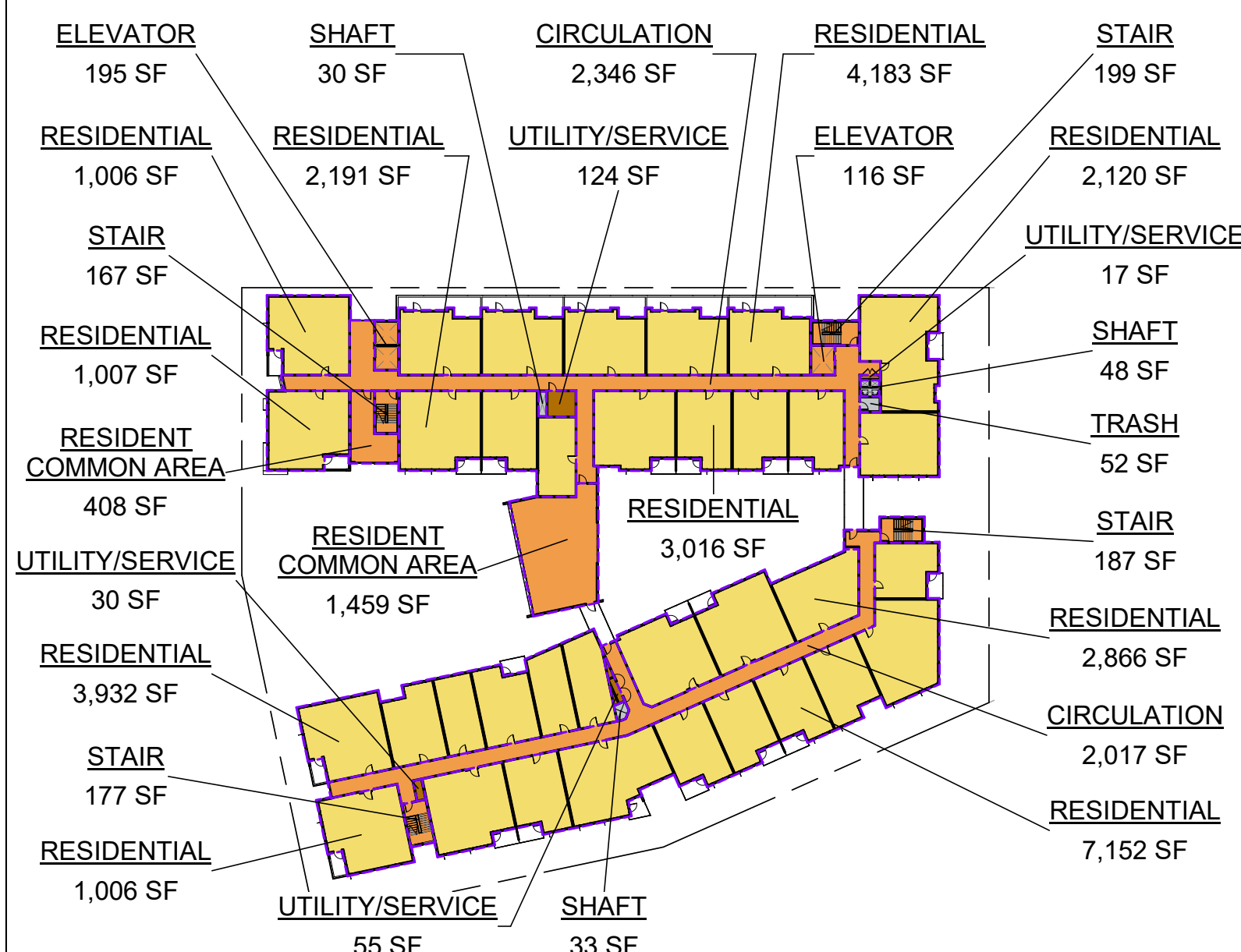




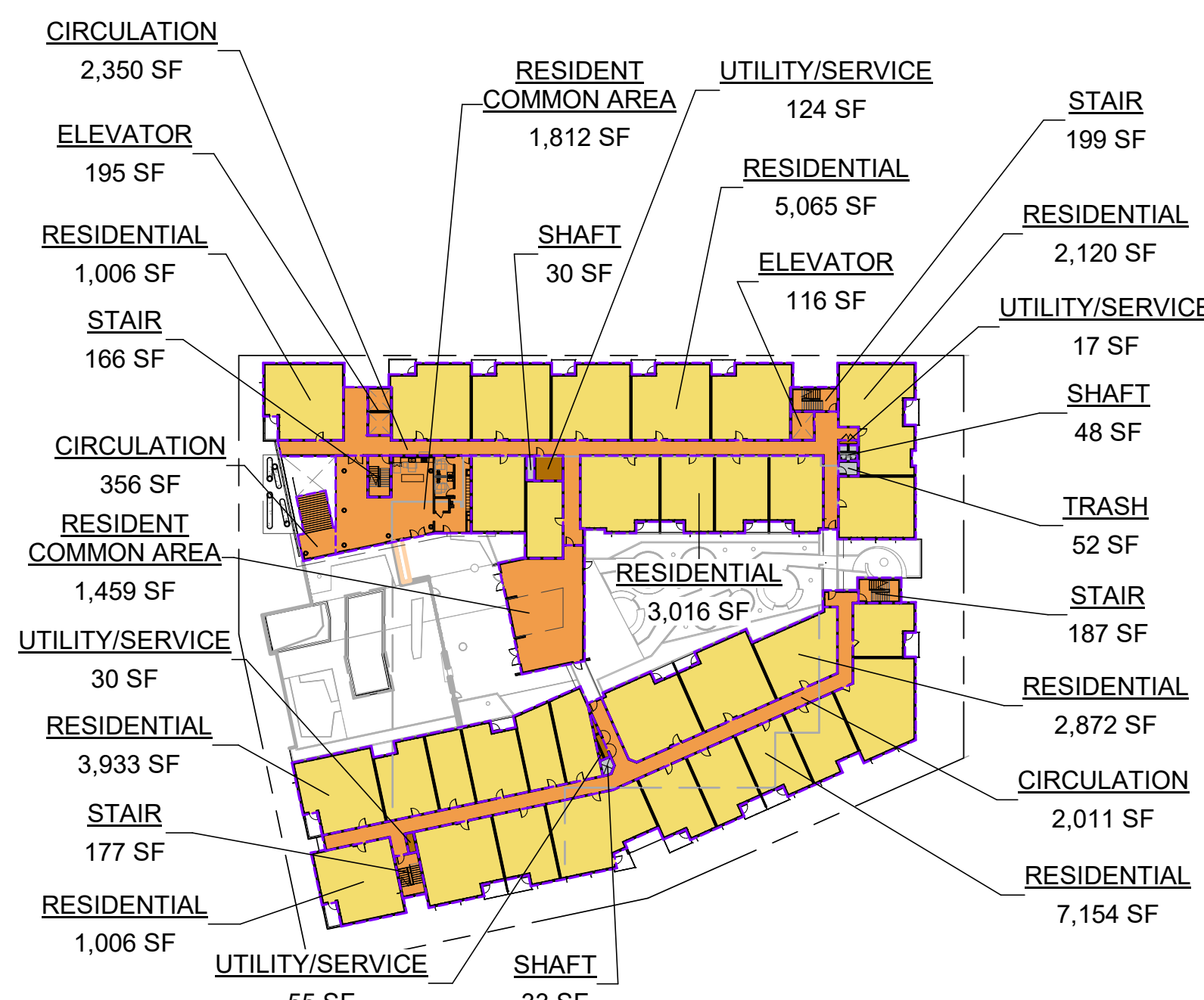
LEVEL 7  
1" = 60'-0"



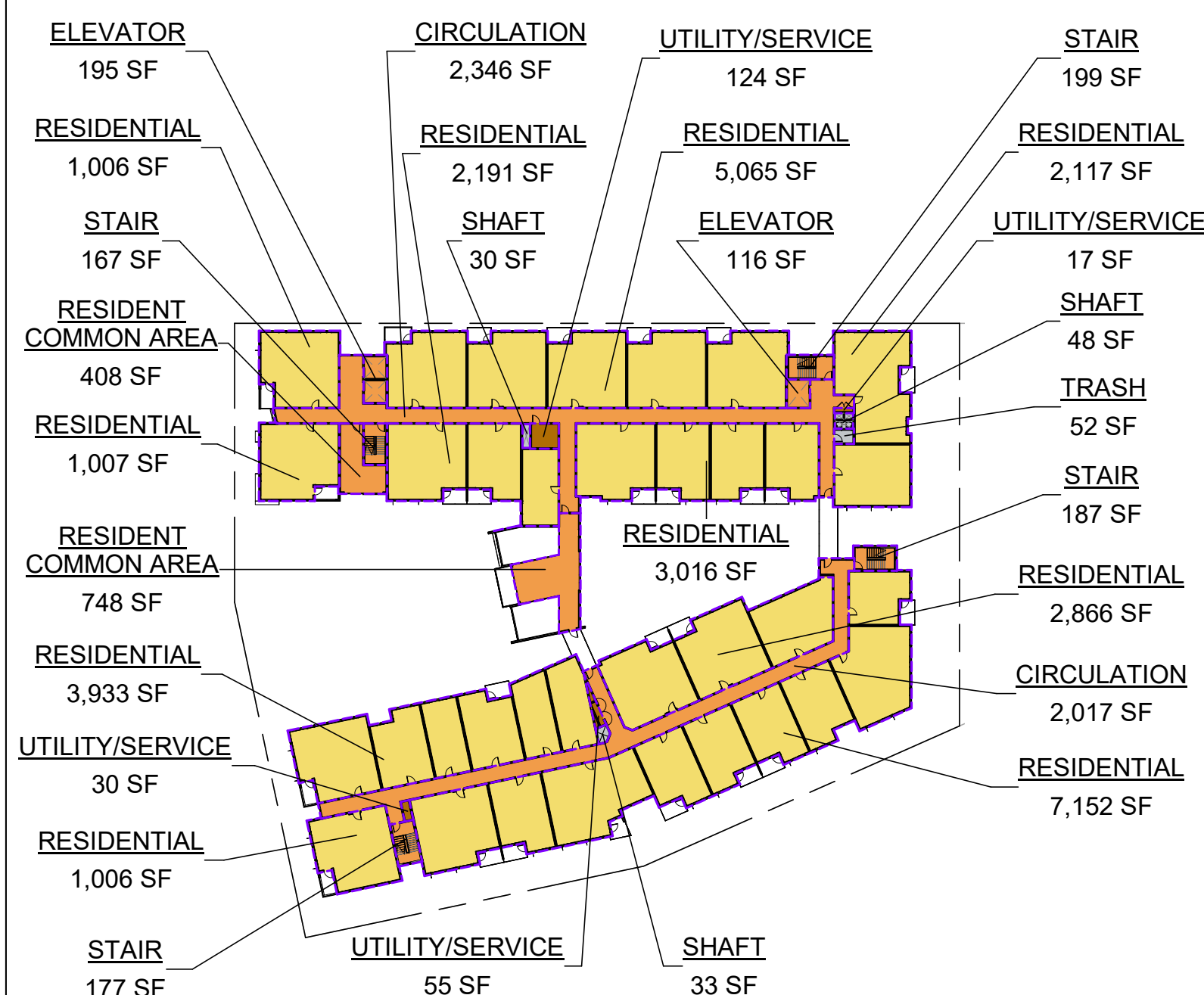
LEVEL 4  
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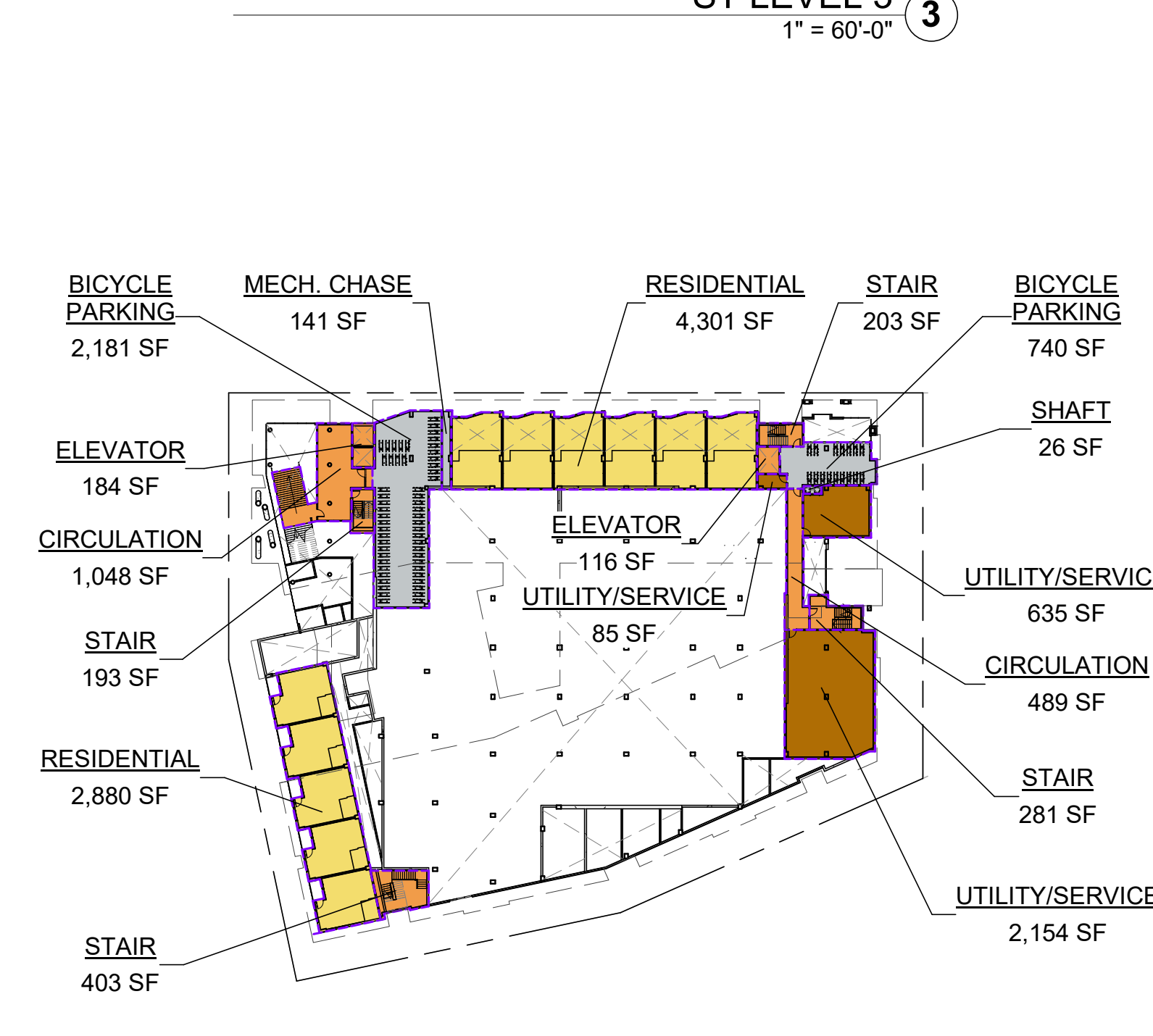
LEVEL 6  
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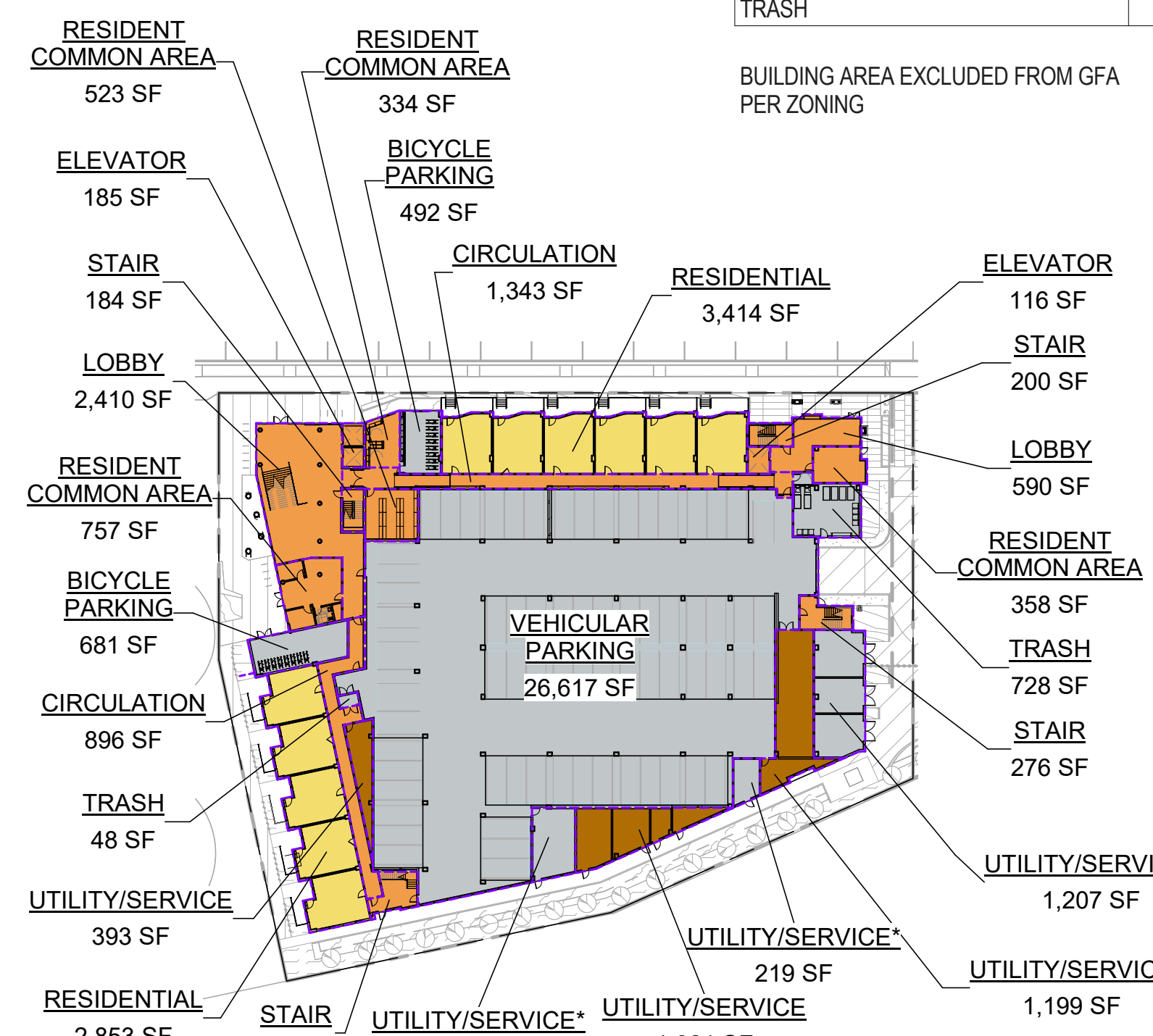
ST LEVEL 3  
1" = 60'-0"



LEVEL 5  
1" = 60'-0"



LEVEL 2  
1" = 60'-0"



LEVEL 1  
1" = 60'-0"

**MENLO PARK ZONING CODE REQUIREMENTS**

16.04.325 (C): AREAS EXCLUDED FROM GROSS FLOOR AREAS (DEFINITION)

(2) AREAS OF A BUILDING OR BUILDINGS DEDICATED TO THE ENCLOSURE OF NOISE GENERATING EQUIPMENT, SUCH AS BUILDING MECHANICAL EQUIPMENT AND GENERATORS, NOT TO EXCEED ONE PERCENT (1%) OF THE MAXIMUM ALLOWED GROSS FLOOR AREA OF THE LOT. THIS EXCLUSION APPLIES TO EQUIPMENT UTILIZED FOR THE OPERATION OF THE BUILDING SYSTEMS AND DOES NOT APPLY TO EQUIPMENT UTILIZED IN CONNECTION WITH A BUSINESS OPERATING WITHIN A BUILDING;

(3) ALL AREAS DEVOTED TO COVERED PARKING AND RELATED CIRCULATION FOR AUTOMOBILES AND BICYCLES, INCLUDING GARAGES, CARPORTS, BELOW GRADE PARKING STRUCTURES, AND ABOVE GRADE PARKING STRUCTURES;

NOTE: UTILITY ROOMS IN P6 BUILDING WILL HAVE SOME SORT OF NOISE GENERATING EQUIPMENTS SUCH AS COOLERS. PER 16.04.325(C)(2) CODE, ONLY ONE PERCENT (1%) OF THE MAXIMUM ALLOWED GROSS FLOOR AREA OF THE LOT IS EXCLUDED FROM GFA.

TOTAL BUILDING AREA INCLUDED IN GFA = 209,657 SF

209,657 X 0.01 = 2,096 SF MAXIMUM AREA DEDICATED TO THE NOISE GENERATING EQUIPMENT ALLOWED TO BE EXCLUDED FROM GFA

NOISE GENERATING UTILITY/SERVICES EXCLUDED FROM GFA IN P6 = 1,994 SF < 2,096 SF

\* INCLUDED IN 1% GFA EXCLUSION

**GROSS FLOOR AREA LEGEND**

- RESIDENTIAL (INCLUDED IN GFA)
- CIRCULATION / LOBBY / COMMON AREA (INCLUDED IN GFA)
- UTILITY / SERVICE (INCLUDED IN GFA)
- EXCLUDED FROM GFA

**GROSS FLOOR AREA BY PROGRAM**

PROGRAM	AREA	ZONING CODE REFERENCE
BUILDING AREA EXCLUDED FROM GFA PER ZONING		
BICYCLE PARKING	4,094 SF	EXCLUDED PER 16.04.325(C)(3)
MECH. CHASE	141 SF	EXCLUDED PER 16.04.325(C)(1)
SHAFT	582 SF	EXCLUDED PER 16.04.325(C)(5)
TRASH	1,036 SF	EXCLUDED PER 16.04.325(C)(6)
UTILITY/SERVICE*	1,994 SF	EXCLUDED PER 16.04.325(C)(2)
VEHICULAR PARKING	26,617 SF	EXCLUDED PER 16.04.325(C)(3)
BUILDING AREA EXCLUDED FROM GFA PER ZONING		
TOTAL BUILDING AREA		
244,122 SF		

PROGRAM	AREA	ZONING CODE REFERENCE
BUILDING AREA INCLUDED IN GFA PER ZONING		
CIRCULATION	26,224 SF	INCLUDED PER 16.04.325(A)
ELEVATOR	2,157 SF	INCLUDED PER 16.04.325(B)(7)
LOBBY	3,000 SF	INCLUDED PER 16.04.325(A)
RESIDENT COMMON AREA	11,177 SF	INCLUDED PER 16.04.325(A)
RESIDENTIAL	154,791 SF	INCLUDED PER 16.04.325(A)
STAIR	5,687 SF	INCLUDED PER 16.04.325(B)(7)
UTILITY/SERVICE	6,621 SF	INCLUDED PER 16.04.325(A), 16.04.325(B)(4), & 16.04.325
BUILDING AREA INCLUDED IN GFA PER ZONING		
TOTAL BUILDING AREA		
209,657 SF		

PROGRAM	AREA	PROGRAM	AREA
BUILDING AREA EXCLUDED FROM GFA PER ZONING			
LEVEL 1			
BICYCLE PARKING	1,173 SF	CIRCULATION	2,239 SF
TRASH	776 SF	ELEVATOR	301 SF
UTILITY/SERVICE*	1,994 SF	LOBBY	3,000 SF
VEHICULAR PARKING	26,617 SF	RESIDENT COMMON AREA	1,972 SF
		RESIDENTIAL	6,267 SF
		STAIR	962 SF
		UTILITY/SERVICE	2,614 SF
		LEVEL 2	
		CIRCULATION	1,537 SF
		ELEVATOR	300 SF
		RESIDENTIAL	7,181 SF
		STAIR	1,080 SF
		UTILITY/SERVICE	2,874 SF
		LEVEL 3	
		CIRCULATION	4,717 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	3,271 SF
		RESIDENTIAL	27,399 SF
		STAIR	728 SF
		UTILITY/SERVICE	227 SF
		LEVEL 4	
		CIRCULATION	4,357 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,509 SF
		RESIDENTIAL	29,367 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		LEVEL 5	
		CIRCULATION	4,363 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,156 SF
		RESIDENTIAL	29,361 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		LEVEL 6	
		CIRCULATION	4,363 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,867 SF
		RESIDENTIAL	28,480 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		LEVEL 7	
		CIRCULATION	4,648 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,403 SF
		RESIDENTIAL	26,737 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		BUILDING AREA INCLUDED IN GFA PER ZONING	
		TOTAL BUILDING AREA	
		244,122 SF	

PROGRAM	AREA	PROGRAM	AREA
BUILDING AREA EXCLUDED FROM GFA PER ZONING			
LEVEL 1			
BICYCLE PARKING	1,173 SF	CIRCULATION	2,239 SF
TRASH	776 SF	ELEVATOR	301 SF
UTILITY/SERVICE*	1,994 SF	LOBBY	3,000 SF
VEHICULAR PARKING	26,617 SF	RESIDENT COMMON AREA	1,972 SF
		RESIDENTIAL	6,267 SF
		STAIR	962 SF
		UTILITY/SERVICE	2,614 SF
		LEVEL 2	
		CIRCULATION	1,537 SF
		ELEVATOR	300 SF
		RESIDENTIAL	7,181 SF
		STAIR	1,080 SF
		UTILITY/SERVICE	2,874 SF
		LEVEL 3	
		CIRCULATION	4,717 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	3,271 SF
		RESIDENTIAL	27,399 SF
		STAIR	728 SF
		UTILITY/SERVICE	227 SF
		LEVEL 4	
		CIRCULATION	4,357 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,509 SF
		RESIDENTIAL	29,367 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		LEVEL 5	
		CIRCULATION	4,363 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,156 SF
		RESIDENTIAL	29,361 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		LEVEL 6	
		CIRCULATION	4,363 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,867 SF
		RESIDENTIAL	28,480 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		LEVEL 7	
		CIRCULATION	4,648 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,403 SF
		RESIDENTIAL	26,737 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		BUILDING AREA INCLUDED IN GFA PER ZONING	
		TOTAL BUILDING AREA	
		244,122 SF	

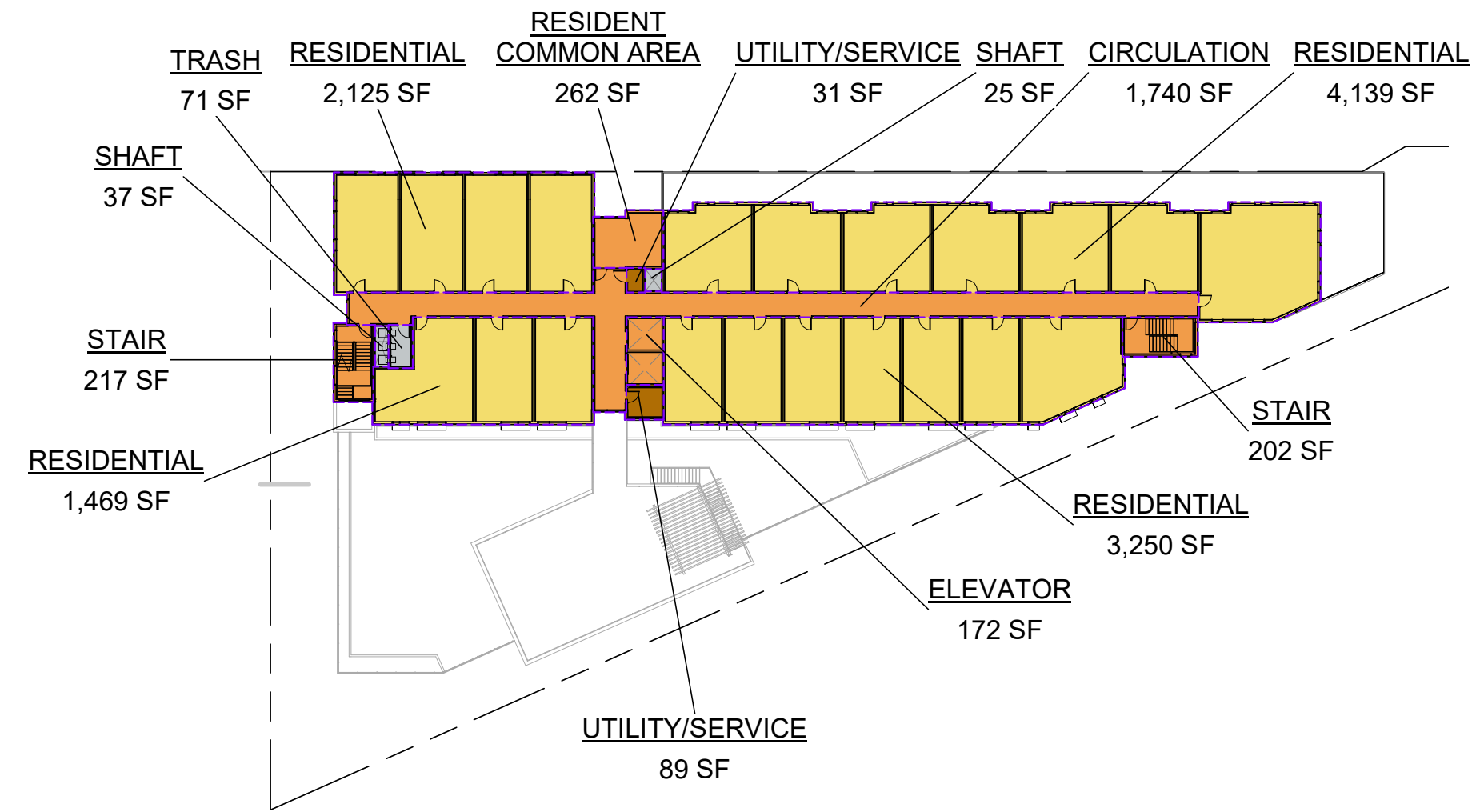
PROGRAM	AREA	PROGRAM	AREA
BUILDING AREA EXCLUDED FROM GFA PER ZONING			
LEVEL 1			
BICYCLE PARKING	1,173 SF	CIRCULATION	2,239 SF
TRASH	776 SF	ELEVATOR	301 SF
UTILITY/SERVICE*	1,994 SF	LOBBY	3,000 SF
VEHICULAR PARKING	26,617 SF	RESIDENT COMMON AREA	1,972 SF
		RESIDENTIAL	6,267 SF
		STAIR	962 SF
		UTILITY/SERVICE	2,614 SF
		LEVEL 2	
		CIRCULATION	1,537 SF
		ELEVATOR	300 SF
		RESIDENTIAL	7,181 SF
		STAIR	1,080 SF
		UTILITY/SERVICE	2,874 SF
		LEVEL 3	
		CIRCULATION	4,717 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	3,271 SF
		RESIDENTIAL	27,399 SF
		STAIR	728 SF
		UTILITY/SERVICE	227 SF
		LEVEL 4	
		CIRCULATION	4,357 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,509 SF
		RESIDENTIAL	29,367 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		LEVEL 5	
		CIRCULATION	4,363 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,156 SF
		RESIDENTIAL	29,361 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		LEVEL 6	
		CIRCULATION	4,363 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,867 SF
		RESIDENTIAL	28,480 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		LEVEL 7	
		CIRCULATION	4,648 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,403 SF
		RESIDENTIAL	26,737 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		BUILDING AREA INCLUDED IN GFA PER ZONING	
		TOTAL BUILDING AREA	
		244,122 SF	

PROGRAM	AREA	PROGRAM	AREA
BUILDING AREA EXCLUDED FROM GFA PER ZONING			
LEVEL 1			
BICYCLE PARKING	1,173 SF	CIRCULATION	2,239 SF
TRASH	776 SF	ELEVATOR	301 SF
UTILITY/SERVICE*	1,994 SF	LOBBY	3,000 SF
VEHICULAR PARKING	26,617 SF	RESIDENT COMMON AREA	1,972 SF
		RESIDENTIAL	6,267 SF
		STAIR	962 SF
		UTILITY/SERVICE	2,614 SF
		LEVEL 2	
		CIRCULATION	1,537 SF
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		RESIDENTIAL	7,181 SF
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		LEVEL 3	
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		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		LEVEL 5	
		CIRCULATION	4,363 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,156 SF
		RESIDENTIAL	29,361 SF
		STAIR	729 SF
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		LEVEL 6	
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		RESIDENT COMMON AREA	1,867 SF
		RESIDENTIAL	28,480 SF
		STAIR	729 SF
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		LEVEL 7	
		CIRCULATION	4,648 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,403 SF
		RESIDENTIAL	26,737 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
		BUILDING AREA INCLUDED IN GFA PER ZONING	
		TOTAL BUILDING AREA	
		244,122 SF	

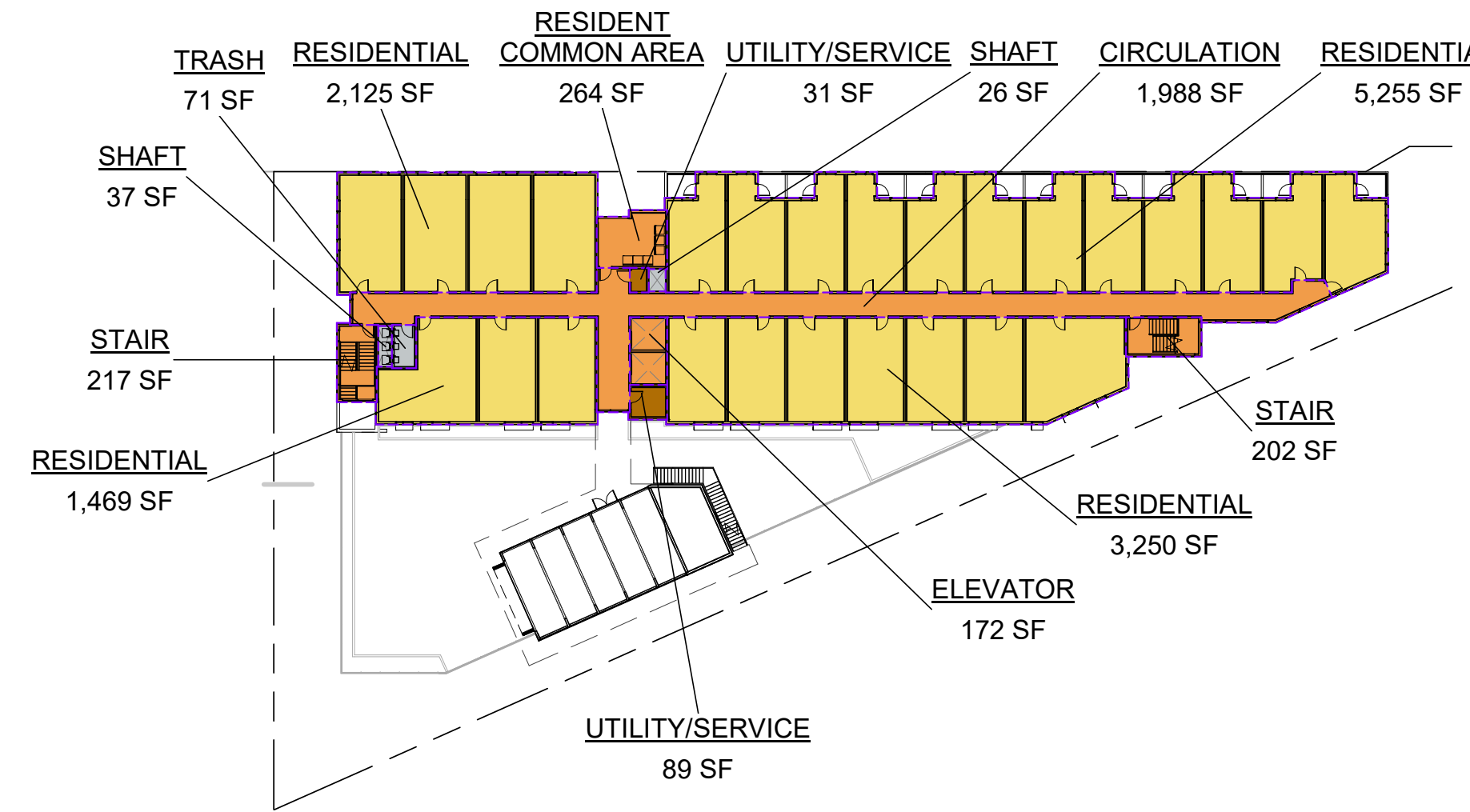
PROGRAM	AREA	PROGRAM	AREA
BUILDING AREA EXCLUDED FROM GFA PER ZONING			
LEVEL 1			
BICYCLE PARKING	1,173 SF	CIRCULATION	2,239 SF
TRASH	776 SF	ELEVATOR	301 SF
UTILITY/SERVICE*	1,994 SF	LOBBY	3,000 SF
VEHICULAR PARKING	26,617 SF	RESIDENT COMMON AREA	1,972 SF
		RESIDENTIAL	6,267 SF
		STAIR	962 SF
		UTILITY/SERVICE	2,614 SF
		LEVEL 2	
		CIRCULATION	1,537 SF
		ELEVATOR	300 SF
		RESIDENTIAL	7,181 SF
		STAIR	1,080 SF
		UTILITY/SERVICE	2,874 SF
		LEVEL 3	
		CIRCULATION	4,717 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	3,271 SF
		RESIDENTIAL	27,399 SF
		STAIR	728 SF
		UTILITY/SERVICE	227 SF
		LEVEL 4	
		CIRCULATION	4,357 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,509 SF
		RESIDENTIAL	29,367 SF
		STAIR	729 SF
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		LEVEL 5	
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		LEVEL 6	
		CIRCULATION	4,363 SF
		ELEVATOR	311 SF
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		RESIDENTIAL	28,480 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF
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		CIRCULATION	4,648 SF
		ELEVATOR	311 SF
		RESIDENT COMMON AREA	1,403 SF
		RESIDENTIAL	26,737 SF
		STAIR	729 SF
		UTILITY/SERVICE	227 SF



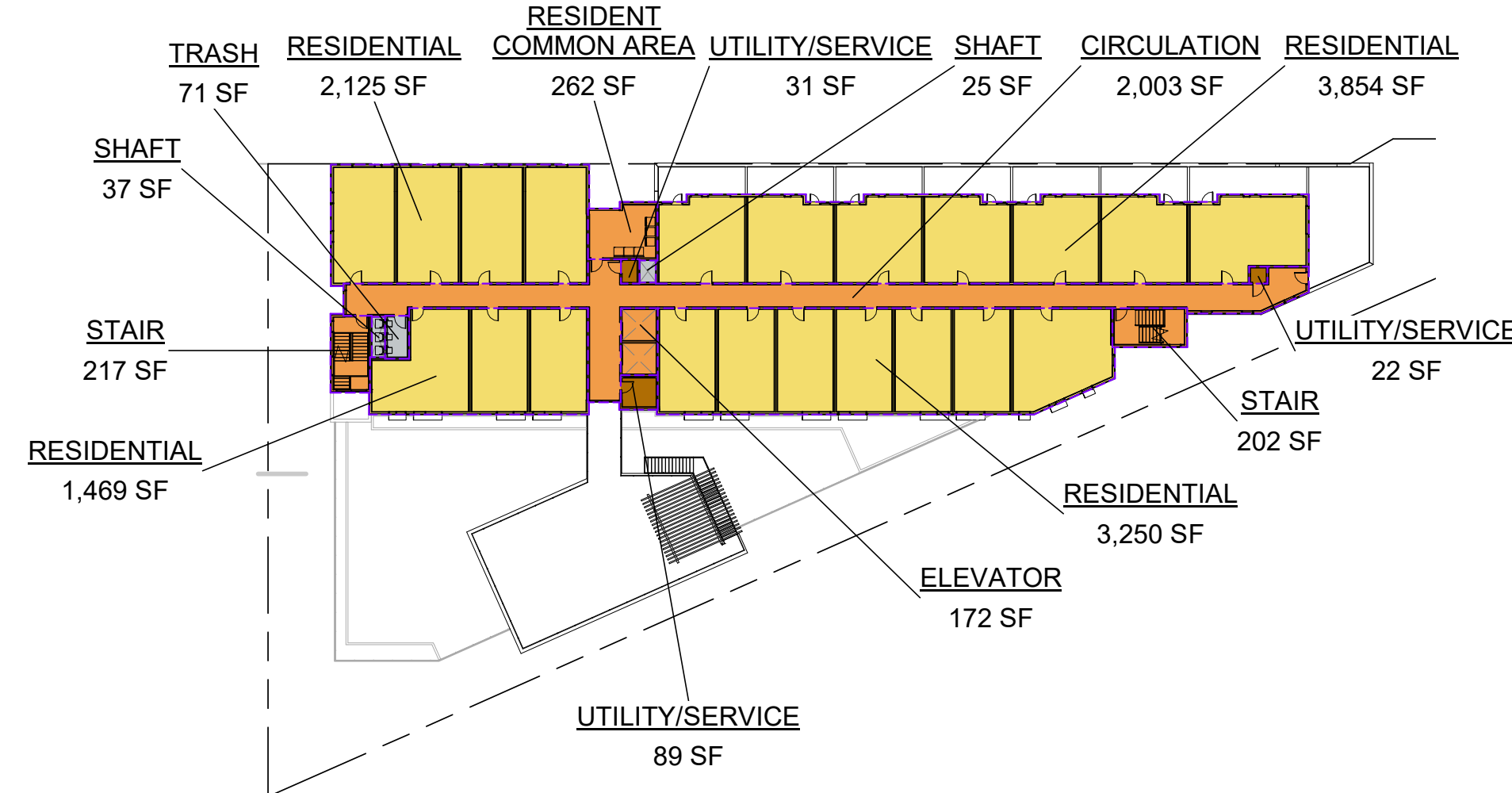
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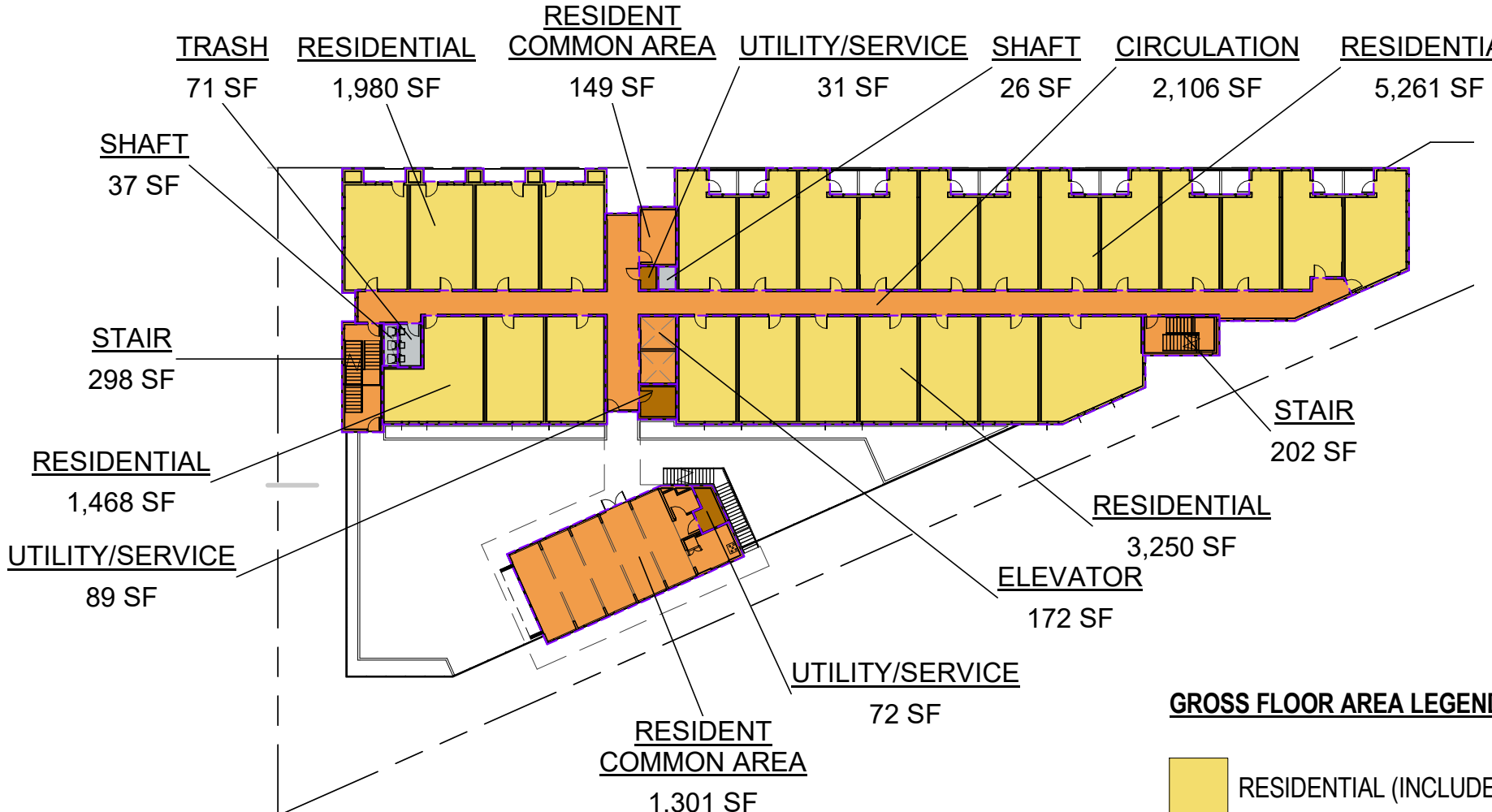
FLOOR PLAN - LEVEL 6  
1" = 40'-0" ⑥



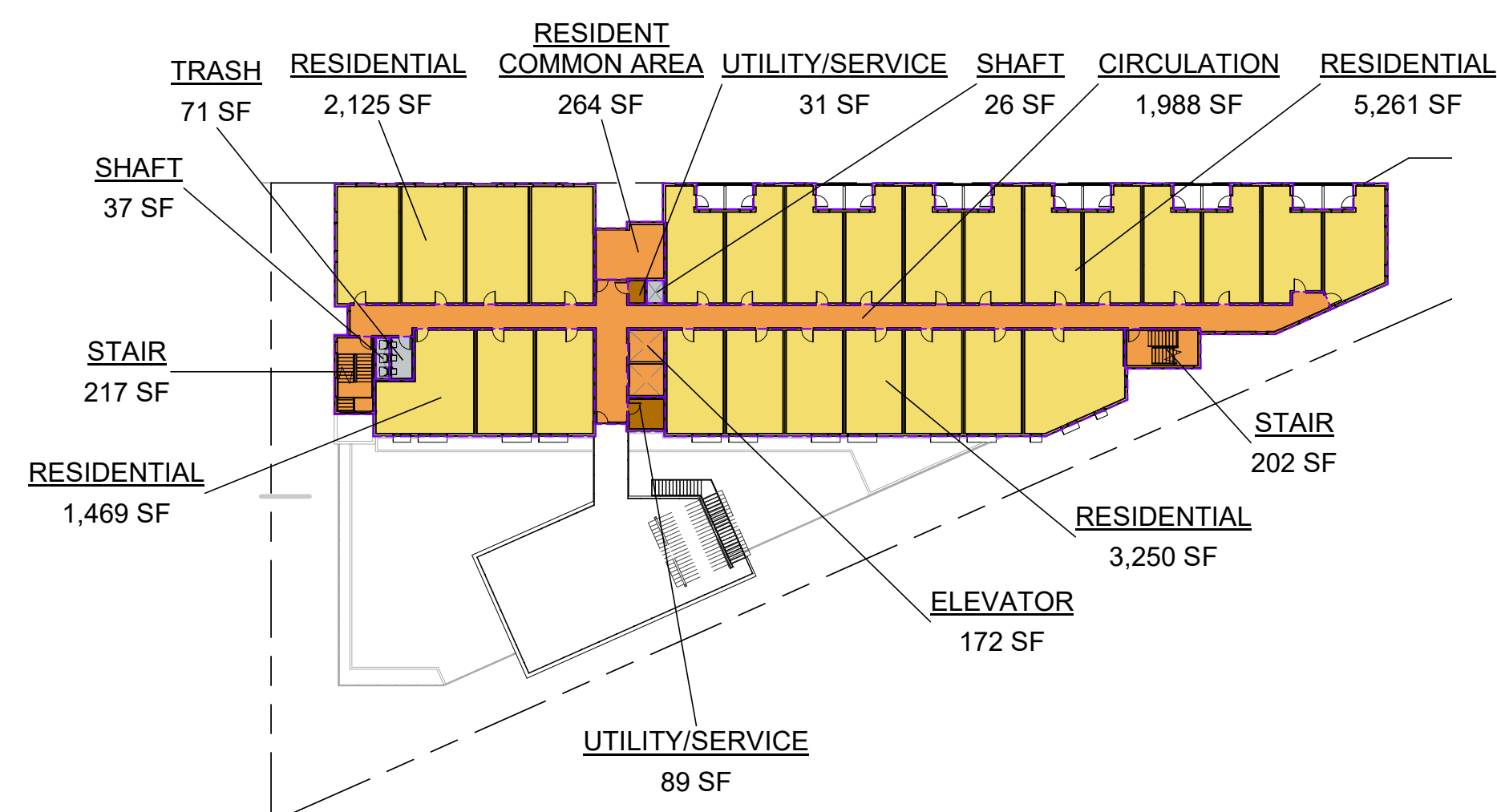
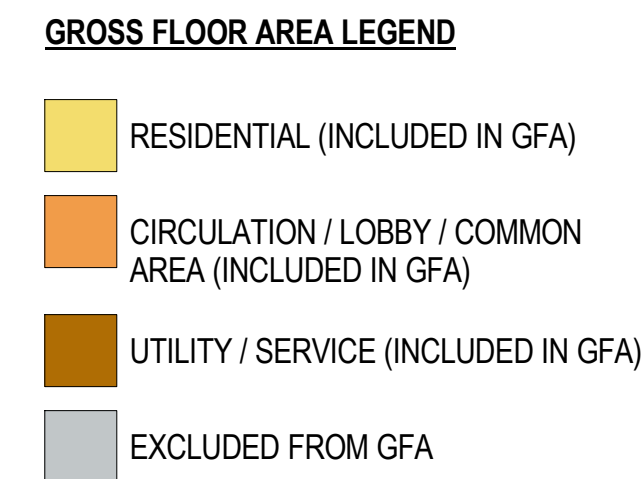
FLOOR PLAN - LEVEL 3  
1" = 40'-0" ③



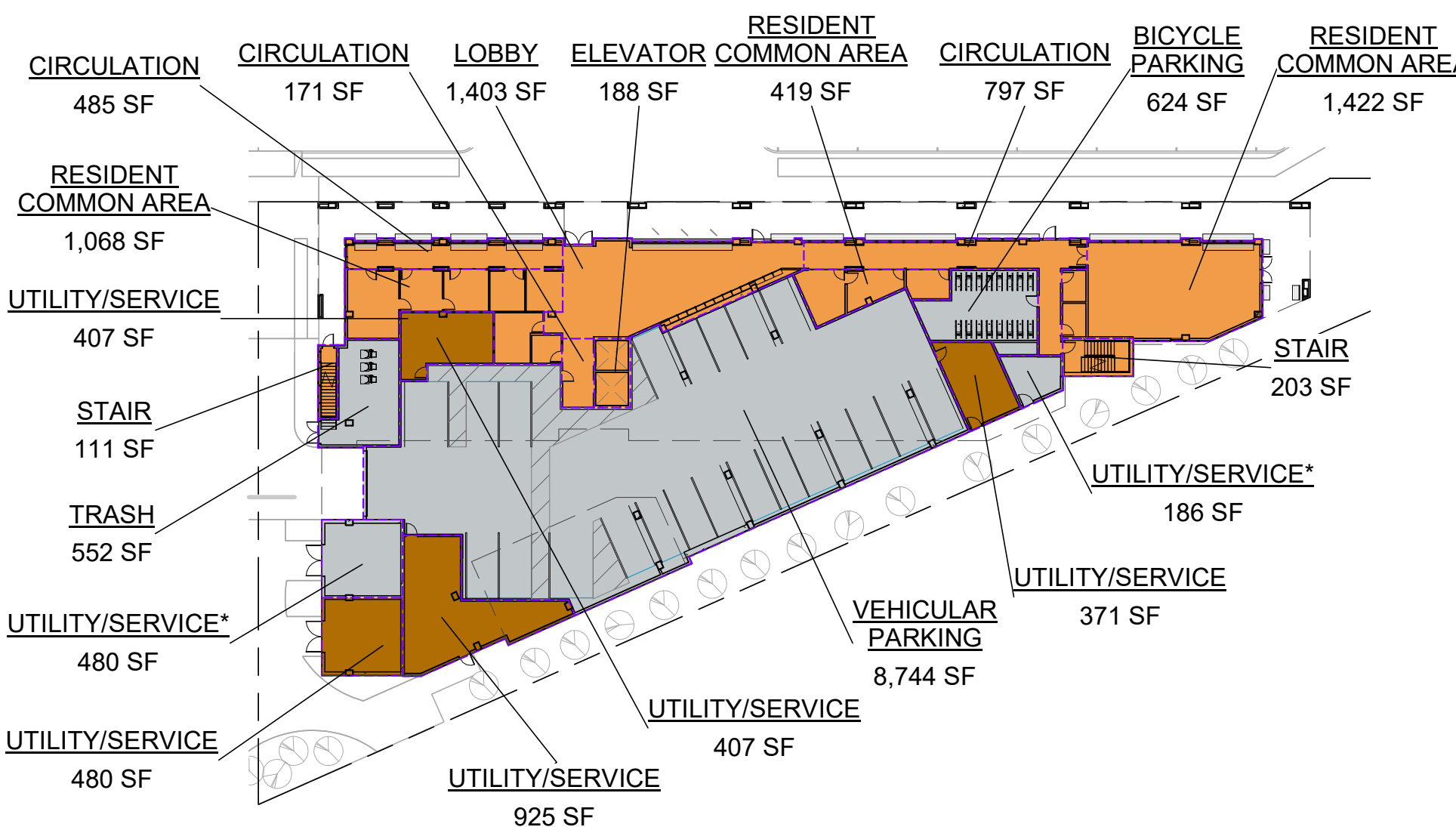
FLOOR PLAN - LEVEL 5  
1" = 40'-0" ⑤



FLOOR PLAN - LEVEL 2  
1" = 40'-0" ②



FLOOR PLAN - LEVEL 4  
1" = 40'-0" ④



FLOOR PLAN - LEVEL 1  
1" = 40'-0" ①

GROSS FLOOR AREA BY PROGRAM		
PROGRAM	AREA	ZONING CODE REFERENCE
BUILDING AREA EXCLUDED FROM GFA PER ZONING		
BICYCLE PARKING	624 SF	EXCLUDED PER 16.04.325(C)(3)
SHAFT	311 SF	EXCLUDED PER 16.04.325(C)(5)
TRASH	910 SF	EXCLUDED PER 16.04.325(C)(6)
UTILITY/SERVICE*	666 SF	EXCLUDED PER 16.04.325(C)(2)
VEHICULAR PARKING	8,744 SF	EXCLUDED PER 16.04.325(C)(3)
BUILDING AREA EXCLUDED FROM GFA PER ZONING	11,253 SF	
BUILDING AREA INCLUDED IN GFA PER ZONING		
CIRCULATION	11,278 SF	INCLUDED PER 16.04.325(A), 16.04.325(B)(4), & 16.04.325
ELEVATOR	1,047 SF	INCLUDED PER 16.04.325(B)(7)
LOBBY	1,403 SF	INCLUDED PER 16.04.325(A)
RESIDENT COMMON AREA	5,410 SF	INCLUDED PER 16.04.325(A), 16.04.325(B)(4), & 16.04.325
RESIDENTIAL	57,845 SF	INCLUDED PER 16.04.325(A)
STAIR	2,490 SF	INCLUDED PER 16.04.325(B)(7)
UTILITY/SERVICE	2,880 SF	INCLUDED PER 16.04.325(A), 16.04.325(B)(4), & 16.04.325
BUILDING AREA INCLUDED IN GFA PER ZONING	82,353 SF	
TOTAL BUILDING AREA	93,606 SF	

GROSS FLOOR AREA	
NAME	AREA

BUILDING AREA EXCLUDED FROM GFA PER ZONING	
LEVEL 1	
BICYCLE PARKING	624 SF
TRASH	552 SF
UTILITY/SERVICE*	666 SF
VEHICULAR PARKING	8,744 SF
	10,585 SF
LEVEL 2	
SHAFT	62 SF
TRASH	71 SF
	134 SF
LEVEL 3	
SHAFT	62 SF
TRASH	71 SF
	134 SF
LEVEL 4	
SHAFT	62 SF
TRASH	71 SF
	134 SF
LEVEL 5	
SHAFT	62 SF
TRASH	71 SF
	133 SF
LEVEL 6	
SHAFT	62 SF
TRASH	71 SF
	133 SF
BUILDING AREA EXCLUDED FROM GFA PER ZONING	11,253 SF

GROSS FLOOR AREA	
NAME	AREA

BUILDING AREA INCLUDED IN GFA PER ZONING	
LEVEL 1	
CIRCULATION	1,453 SF
ELEVATOR	188 SF
LOBBY	1,403 SF
RESIDENT COMMON AREA	2,909 SF
STAIR	314 SF
UTILITY/SERVICE	2,184 SF
	8,451 SF
LEVEL 2	
CIRCULATION	2,106 SF
ELEVATOR	172 SF
RESIDENT COMMON AREA	1,450 SF
RESIDENTIAL	11,959 SF
STAIR	500 SF
UTILITY/SERVICE	192 SF
	16,379 SF
LEVEL 3	
CIRCULATION	1,988 SF
ELEVATOR	172 SF
RESIDENT COMMON AREA	264 SF
RESIDENTIAL	12,099 SF
STAIR	419 SF
UTILITY/SERVICE	121 SF
	15,068 SF
LEVEL 4	
CIRCULATION	1,988 SF
ELEVATOR	172 SF
RESIDENT COMMON AREA	264 SF
RESIDENTIAL	12,106 SF
STAIR	419 SF
UTILITY/SERVICE	121 SF
	15,068 SF
LEVEL 5	
CIRCULATION	2,003 SF
ELEVATOR	172 SF
RESIDENT COMMON AREA	262 SF
RESIDENTIAL	10,699 SF
STAIR	419 SF
UTILITY/SERVICE	142 SF
	13,696 SF
LEVEL 6	
CIRCULATION	1,740 SF
ELEVATOR	172 SF
RESIDENT COMMON AREA	262 SF
RESIDENTIAL	10,983 SF
STAIR	419 SF
UTILITY/SERVICE	121 SF
	13,696 SF
BUILDING AREA INCLUDED IN GFA PER ZONING	82,353 SF
TOTAL BUILDING AREA	93,606 SF

**MENLO PARK ZONING CODE REQUIREMENTS**

16.04.325 (C): AREAS EXCLUDED FROM GROSS FLOOR AREAS (DEFINITION)

(2) AREAS OF A BUILDING OR BUILDINGS DEDICATED TO THE ENCLOSURE OF NOISE GENERATING EQUIPMENT, SUCH AS BUILDING MECHANICAL EQUIPMENT AND GENERATORS, NOT TO EXCEED ONE PERCENT (1%) OF THE MAXIMUM ALLOWED GROSS FLOOR AREA OF THE LOT. THIS EXCLUSION APPLIES TO EQUIPMENT UTILIZED FOR THE OPERATION OF THE BUILDING SYSTEMS AND DOES NOT APPLY TO EQUIPMENT UTILIZED IN CONNECTION WITH A BUSINESS OPERATING WITHIN A BUILDING;

(3) ALL AREAS DEVOTED TO COVERED PARKING AND RELATED CIRCULATION FOR AUTOMOBILES AND BICYCLES, INCLUDING GARAGES, CARPORTS, BELOW GRADE PARKING STRUCTURES, AND ABOVE GRADE PARKING STRUCTURES;

NOTE: UTILITY ROOMS IN P7 BUILDING WILL HAVE SOME SORT OF NOISE GENERATING EQUIPMENTS SUCH AS COOLERS. PER 16.04.325(C)(2) CODE, ONLY ONE PERCENT (1%) OF THE MAXIMUM ALLOWED GROSS FLOOR AREA OF THE LOT IS EXCLUDED FROM GFA.

TOTAL BUILDING AREA INCLUDED IN GFA = 82,355 SF

82,355 X 0.01 = 823 SF MAXIMUM AREA DEDICATED TO NOISE GENERATING EQUIPMENT ALLOWED TO BE EXCLUDED FROM GFA

NOISE GENERATING UTILITY/SERVICES EXCLUDED FROM GFA IN P7 = 669 SF < 823 SF

\* INCLUDED IN 1% GFA EXCLUSION

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 7  
Menlo Park, CA

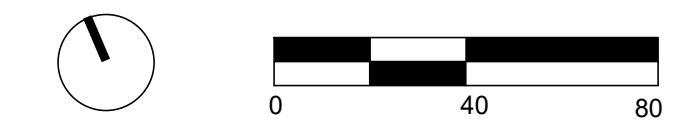
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
SQUARE FOOTAGE PLANS

DRAWING NO:  
A9.04





Key

- Hotel
- Retail
- Circulation/Lobby
- Utility/Service
- Excluded From GFA
- Common Area

ACP - GFA - Included	
Name	Area

BASEMENT 1	
Utility -	6369.87 SF

HOTEL LEVEL 1	
Circulation -	4989.58 SF
Common Area -	1310.52 SF
Hotel -	4003.65 SF
Retail -	13450.31 SF
Utility -	6884.20 SF

HOTEL LEVEL 2	
Circulation -	4671.06 SF
Hotel -	23184.88 SF
Utility -	220.20 SF

HOTEL LEVEL 3	
Circulation -	4635.22 SF
Common Area -	793.71 SF
Hotel -	15706.21 SF
Utility -	220.18 SF

HOTEL LEVEL 4	
Circulation -	4614.07 SF
Hotel -	16522.05 SF
Utility -	220.20 SF

HOTEL LEVEL 5	
Circulation -	4612.66 SF
Hotel -	16522.28 SF
Utility -	220.20 SF

HOTEL LEVEL 6	
Circulation -	4143.81 SF
Hotel -	12433.23 SF
Utility -	220.20 SF

HOTEL LEVEL 7	
Circulation -	4141.89 SF
Hotel -	12435.37 SF
Utility -	220.20 SF
162745.75 SF	

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

ACP - GFA - Excluded	
Name	Area

BASEMENT 1	
Bicycle Parking (Excluded) -	336.73 SF
Circulation (Excluded) -	554.12 SF
Elevator & Stairs (Excluded) -	2639.71 SF
Parking (Excluded) -	61175.41 SF

HOTEL LEVEL 1	
Shafts (Excluded) -	45.85 SF

HOTEL LEVEL 2	
Shafts (Excluded) -	323.73 SF
Utility(Excluded) -	2272.37 SF

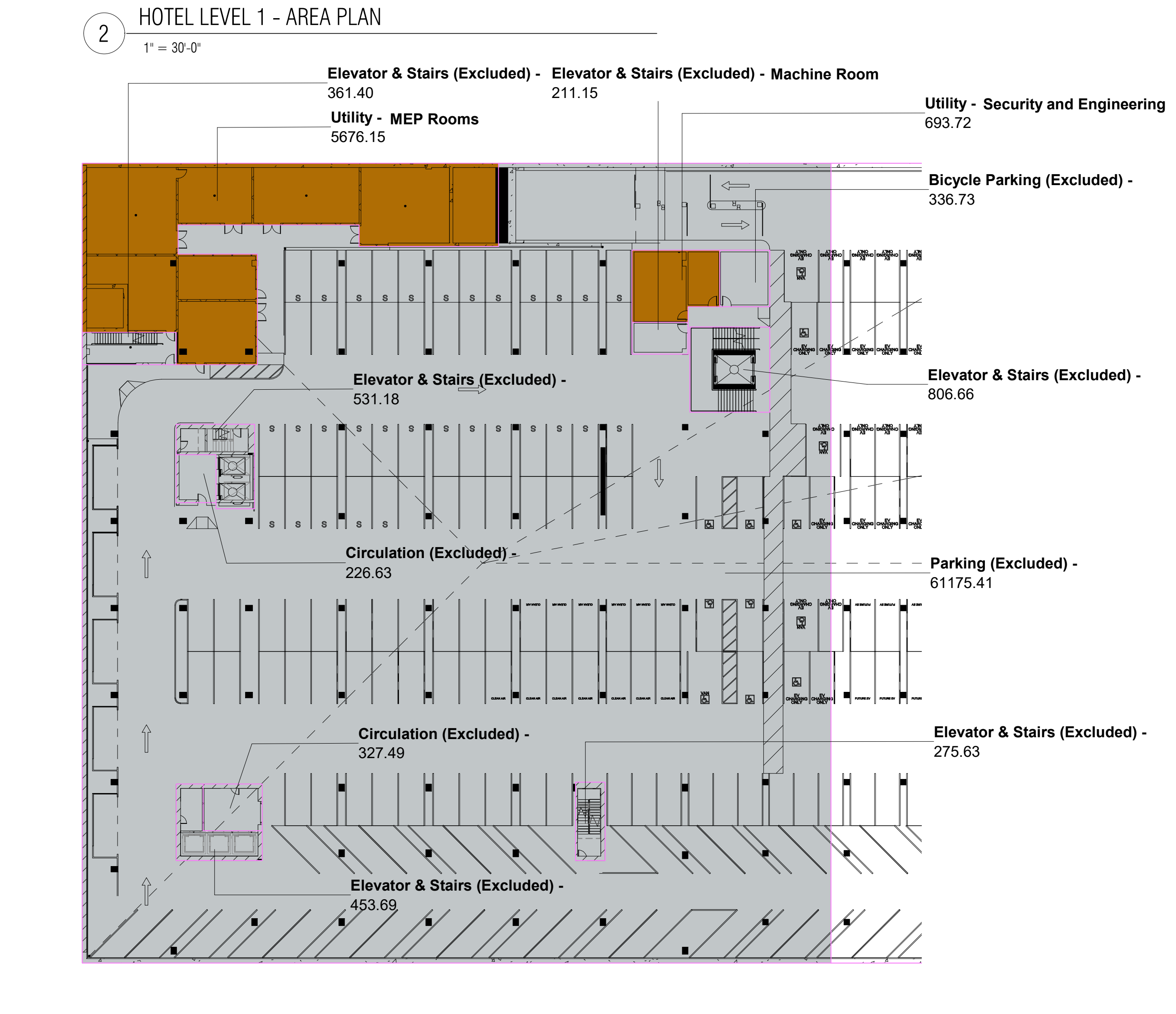
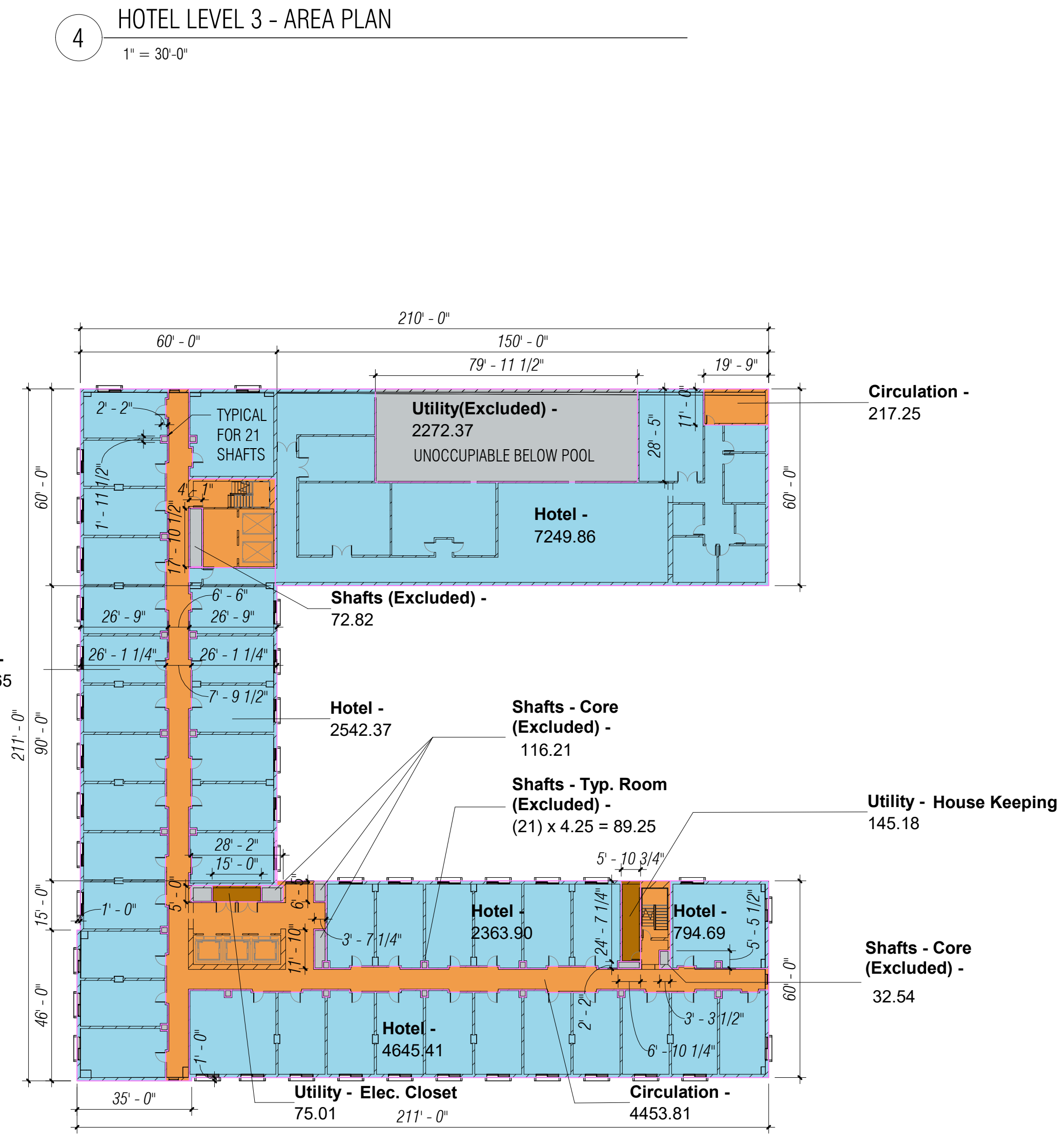
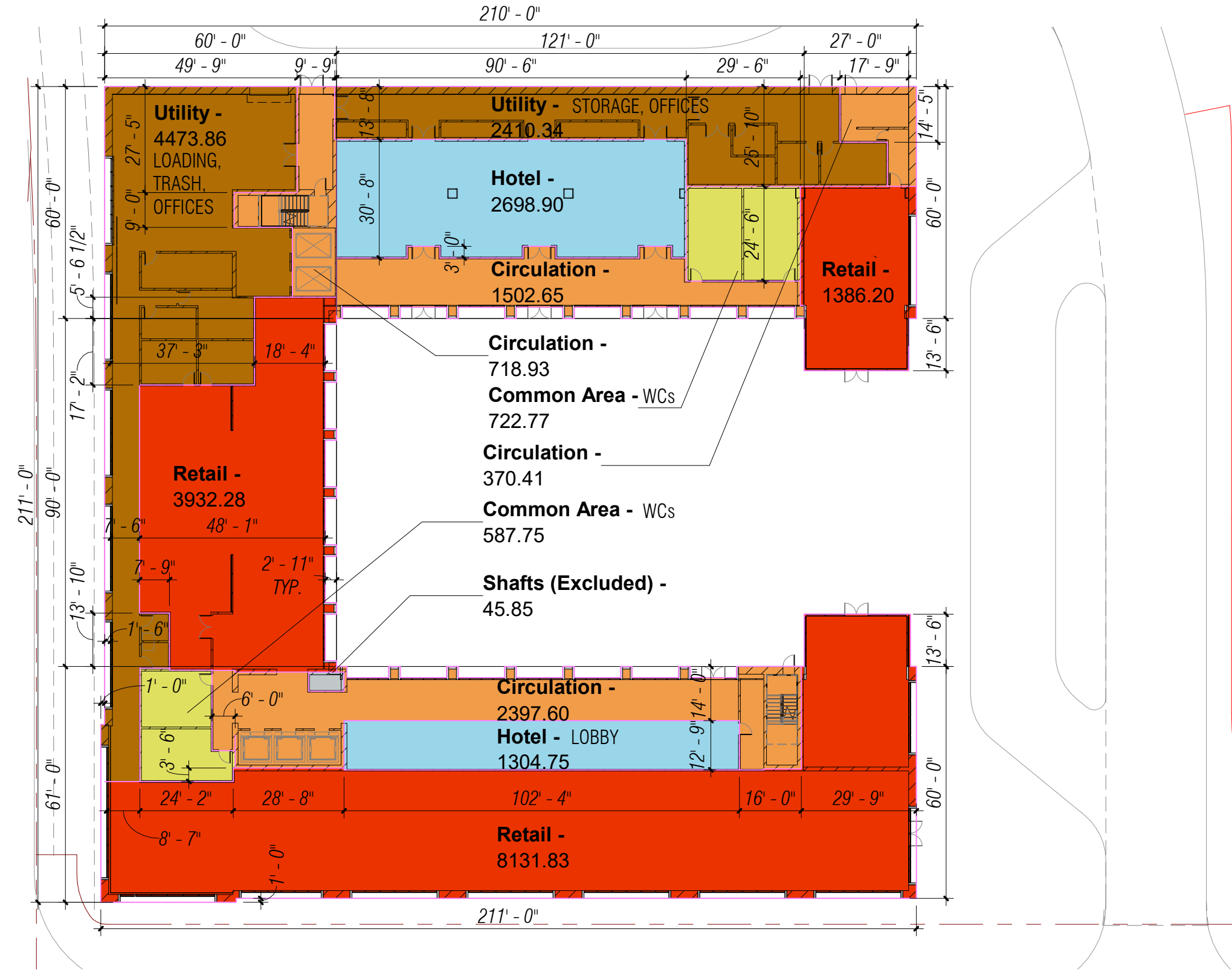
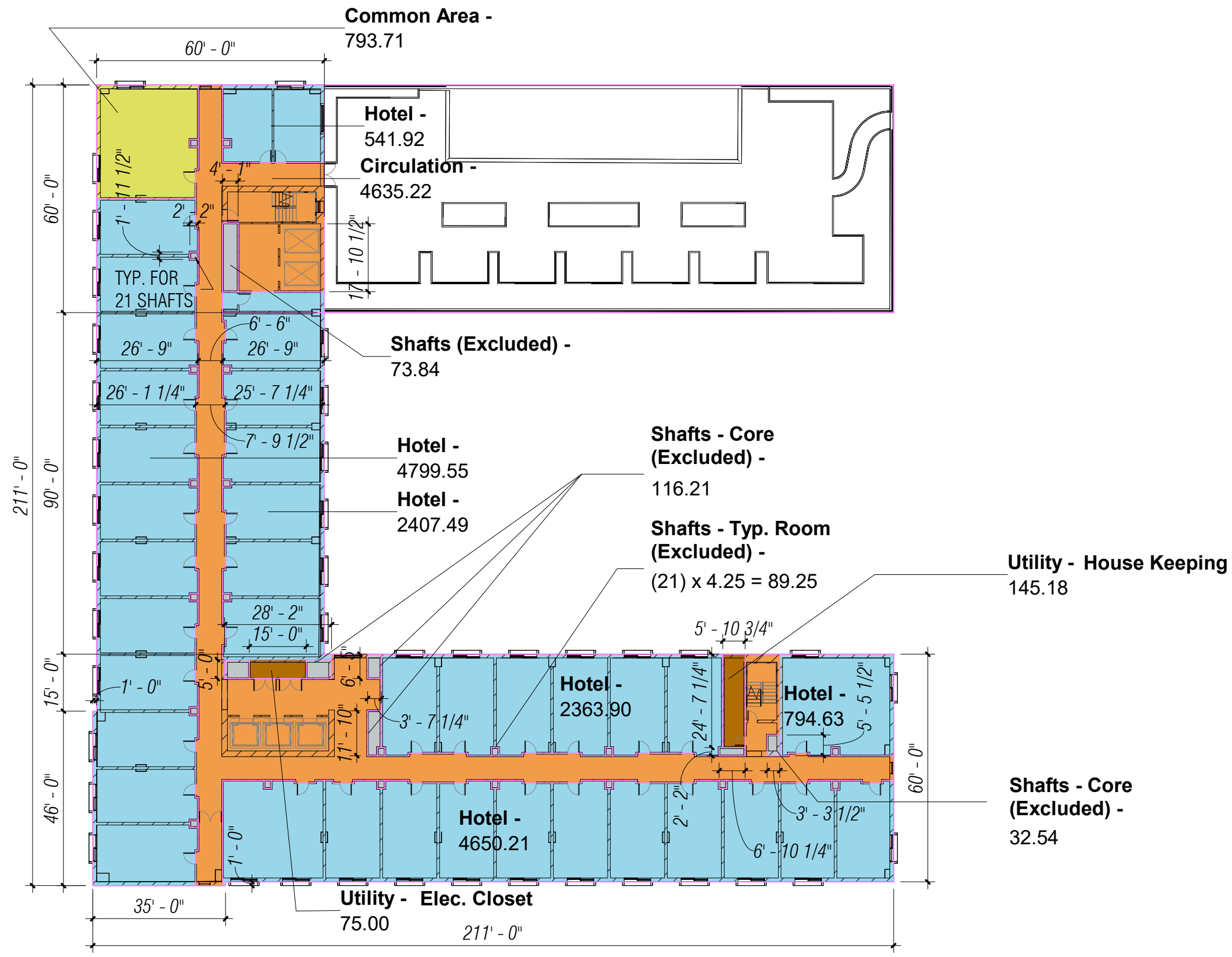
HOTEL LEVEL 3	
Shafts (Excluded) -	324.67 SF

HOTEL LEVEL 4	
Shafts (Excluded) -	323.70 SF

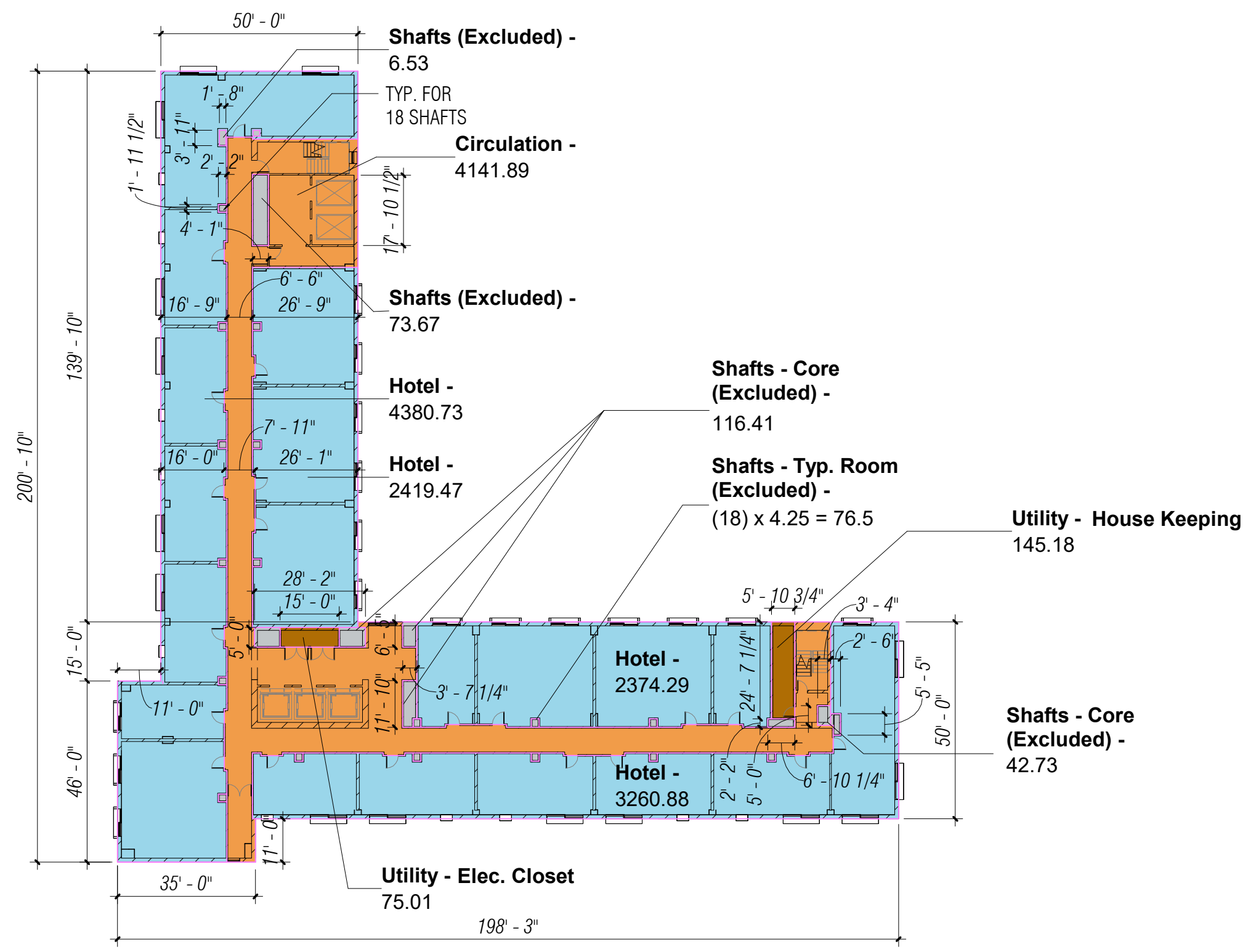
HOTEL LEVEL 5	
Shafts (Excluded) -	324.66 SF

HOTEL LEVEL 6	
Shafts (Excluded) -	326.83 SF

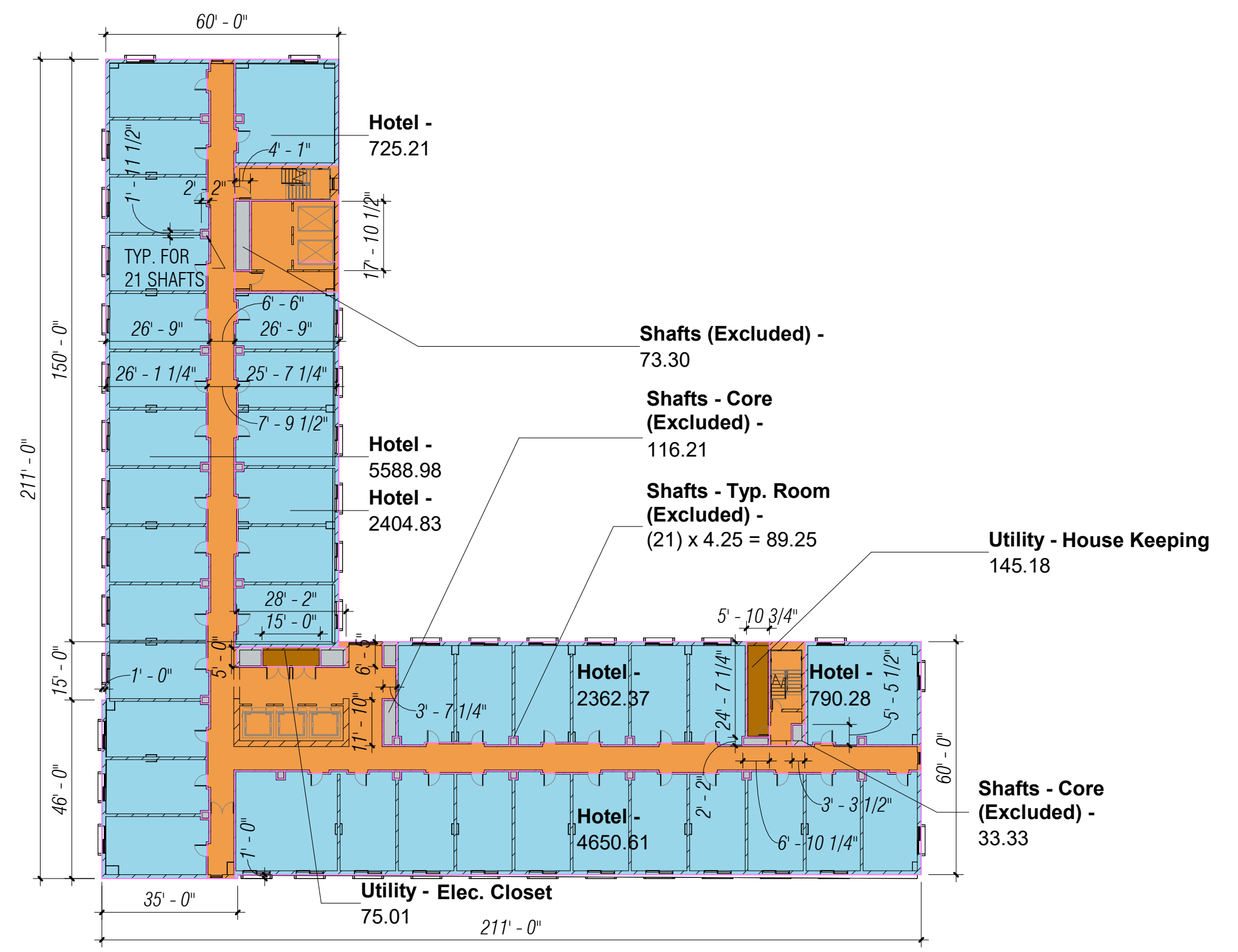
HOTEL LEVEL 7	
Shafts (Excluded) -	326.60 SF
68974.37 SF	



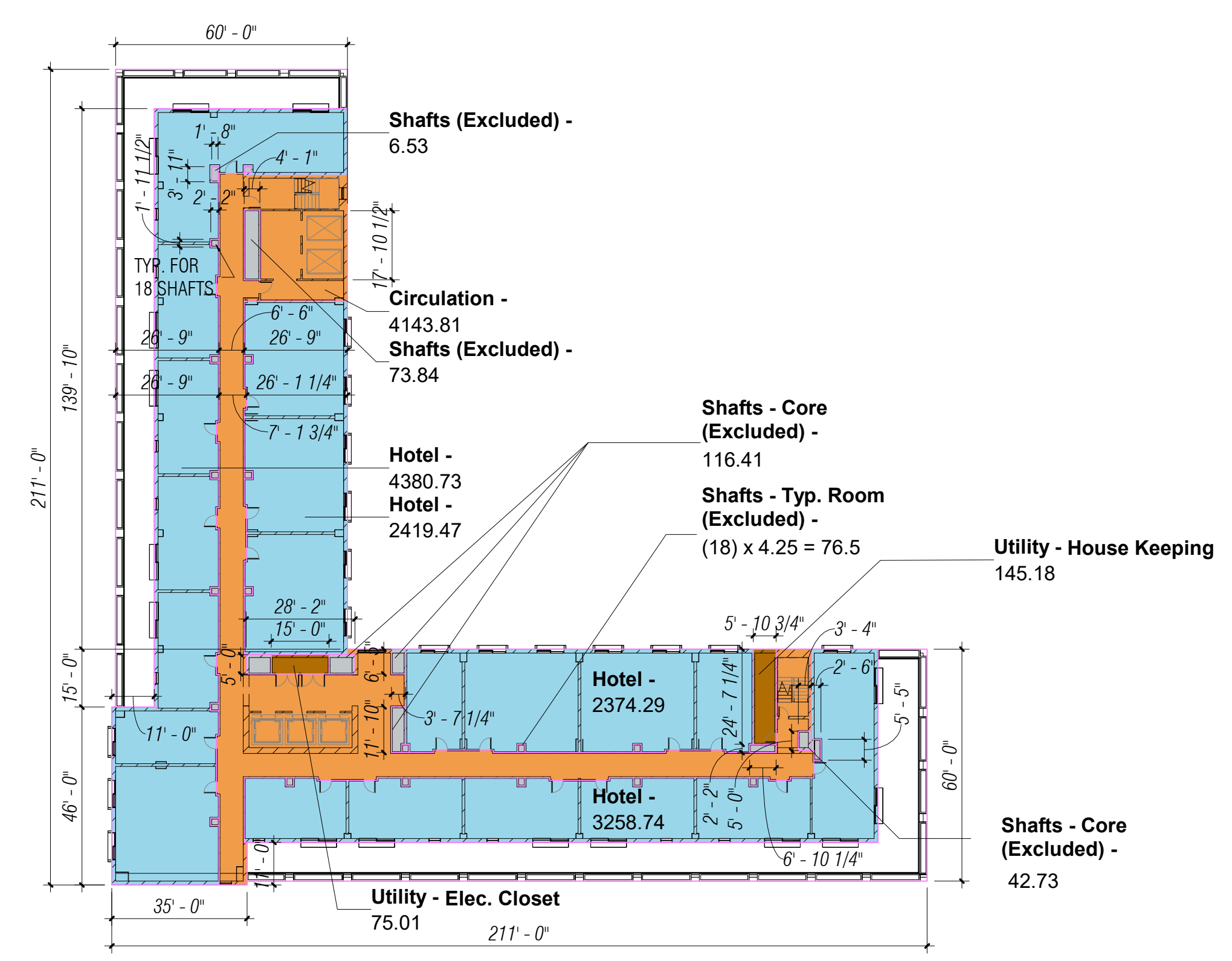




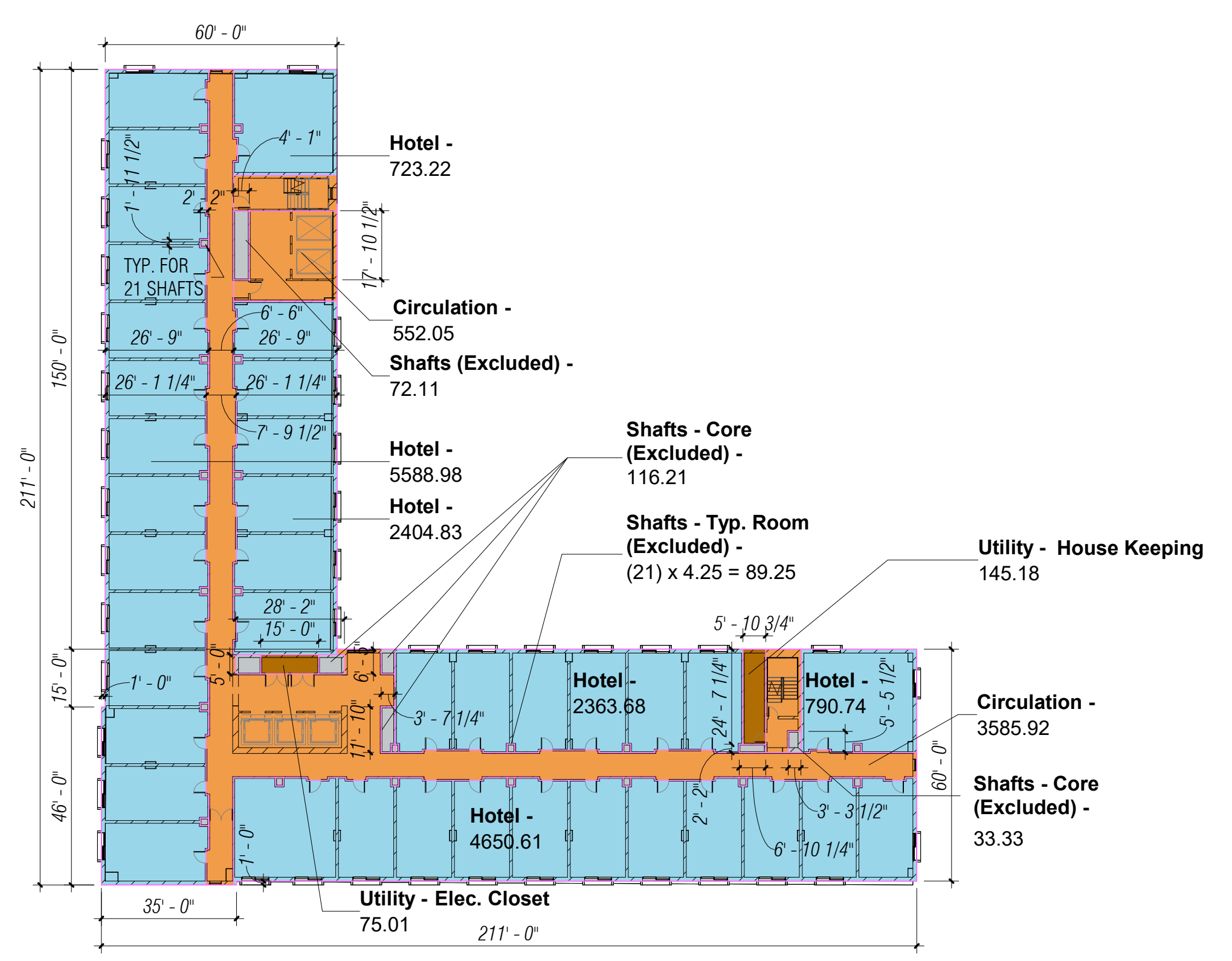
4 HOTEL LEVEL 7 - AREA PLAN  
1" = 30'-0"



2 HOTEL LEVEL 5 - AREA PLAN  
1" = 30'-0"



3 HOTEL LEVEL 6 - AREA PLAN  
1" = 30'-0"



1 HOTEL LEVEL 4 - AREA PLAN  
1" = 30'-0"

**Key**

- Hotel
- Retail
- Circulation/Lobby
- Utility/Service
- Excluded From GFA
- Common Area

**ACP - GFA - Included**

Name	Area
<b>BASEMENT 1</b>	
Utility -	6369.87 SF
<b>HOTEL LEVEL 1</b>	
Circulation -	4989.58 SF
Common Area -	1310.52 SF
Hotel -	4003.65 SF
Retail -	13450.31 SF
Utility -	6884.20 SF
<b>HOTEL LEVEL 2</b>	
Circulation -	4671.06 SF
Hotel -	23184.88 SF
Utility -	220.20 SF
<b>HOTEL LEVEL 3</b>	
Circulation -	4635.22 SF
Common Area -	793.71 SF
Hotel -	15706.21 SF
Utility -	220.18 SF
<b>HOTEL LEVEL 4</b>	
Circulation -	4614.07 SF
Hotel -	16522.05 SF
Utility -	220.20 SF
<b>HOTEL LEVEL 5</b>	
Circulation -	4612.66 SF
Hotel -	16522.28 SF
Utility -	220.20 SF
<b>HOTEL LEVEL 6</b>	
Circulation -	4143.81 SF
Hotel -	12433.23 SF
Utility -	220.20 SF
<b>HOTEL LEVEL 7</b>	
Circulation -	4141.89 SF
Hotel -	12435.37 SF
Utility -	220.20 SF

**ACP - GFA - Excluded**

Name	Area
<b>BASEMENT 1</b>	
Bicycle Parking (Excluded) -	336.73 SF
Circulation (Excluded) -	554.12 SF
Elevator & Stairs (Excluded) -	2639.71 SF
Parking (Excluded) -	6175.41 SF
<b>HOTEL LEVEL 1</b>	
Shafts (Excluded) -	45.85 SF
<b>HOTEL LEVEL 2</b>	
Shafts (Excluded) -	323.73 SF
Utility (Excluded) -	2272.37 SF
<b>HOTEL LEVEL 3</b>	
Shafts (Excluded) -	324.67 SF
<b>HOTEL LEVEL 4</b>	
Shafts (Excluded) -	323.70 SF
<b>HOTEL LEVEL 5</b>	
Shafts (Excluded) -	324.66 SF
<b>HOTEL LEVEL 6</b>	
Shafts (Excluded) -	326.83 SF
<b>HOTEL LEVEL 7</b>	
Shafts (Excluded) -	326.60 SF
	68974.37 SF

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 - Hotel  
 Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

**MILESTONES**

DATE	ISSUE
04/11/2022	ACP

**REVISIONS**

NO.	DATE	ISSUE

DRAWING TITLE:  
 Willow Village Hotel  
 Square Footage Plan

DRAWING NO:  
**A9.04b**





2 TOWN SQUARE PAVILION - LEVEL 1  
1" = 40'-0"

ACP - TS - GFA - Included	
Name	Area

Not Placed	
TS Retail -	0.00 SF

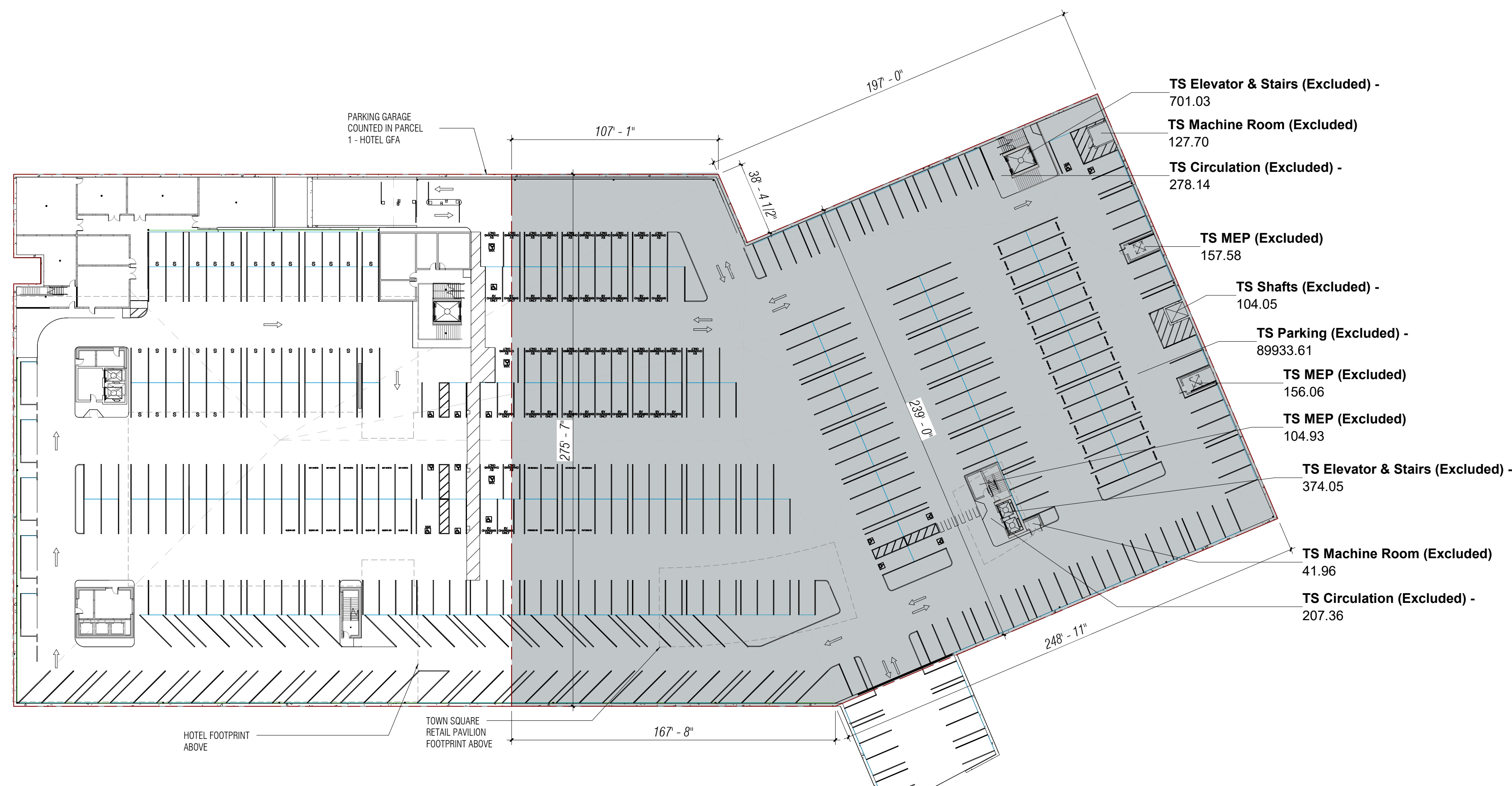
TS - TOWN SQUARE LEVEL	
TS Circulation -	1191.02 SF
TS Retail SF	3586.55 SF
	4777.56 SF

ACP - TS - GFA - Excluded	
Name	Area

TS - BASEMENT 1	
TS Circulation (Excluded) -	485.51 SF
TS Elevator & Stairs (Excluded) -	1075.08 SF
TS Machine Room (Excluded)	169.66 SF
TS MEP (Excluded)	418.57 SF
TS Parking (Excluded) -	89933.61 SF
TS Shafts (Excluded) -	104.05 SF
	92186.48 SF

**Key**

- Retail
- Circulation/Lobby/Common Area
- Excluded From GFA



1 TOWN SQUARE PAVILION - BASEMENT  
1" = 40'-0"

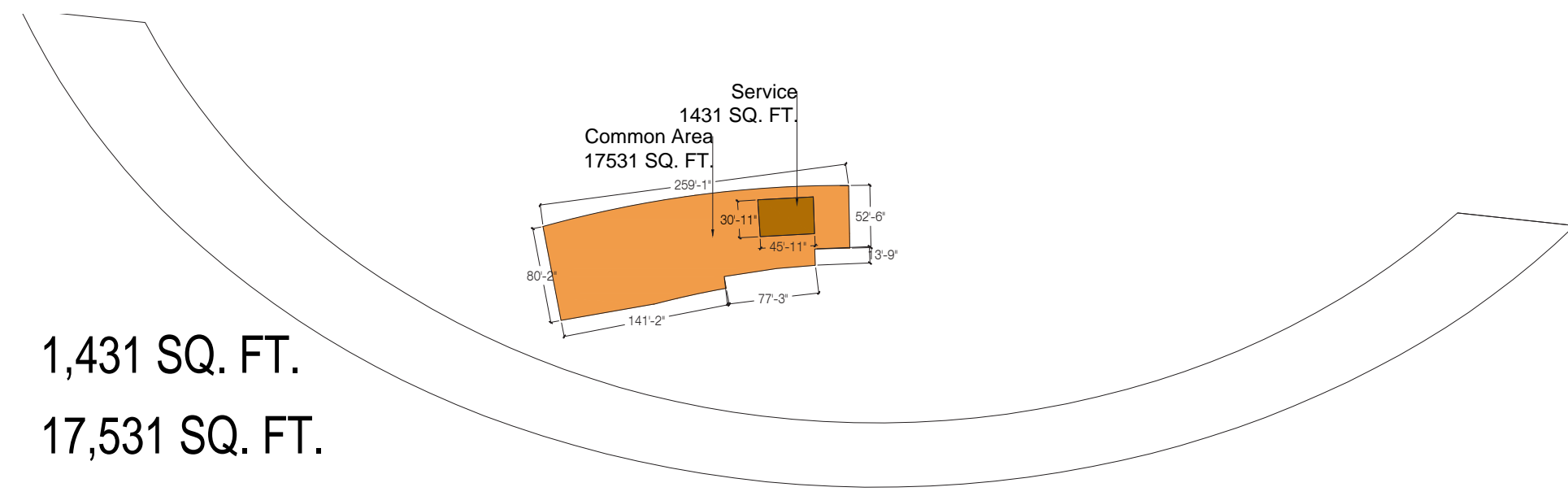
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

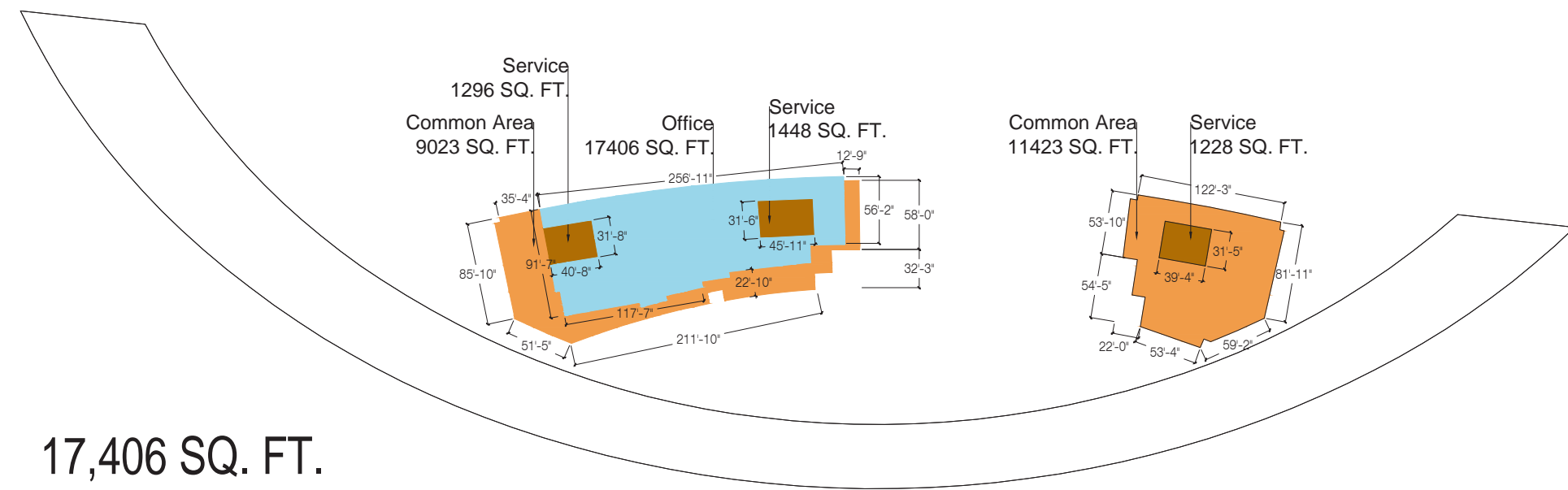


Utility / Service 1,431 SQ. FT.  
 Circulation / Common Area 17,531 SQ. FT.



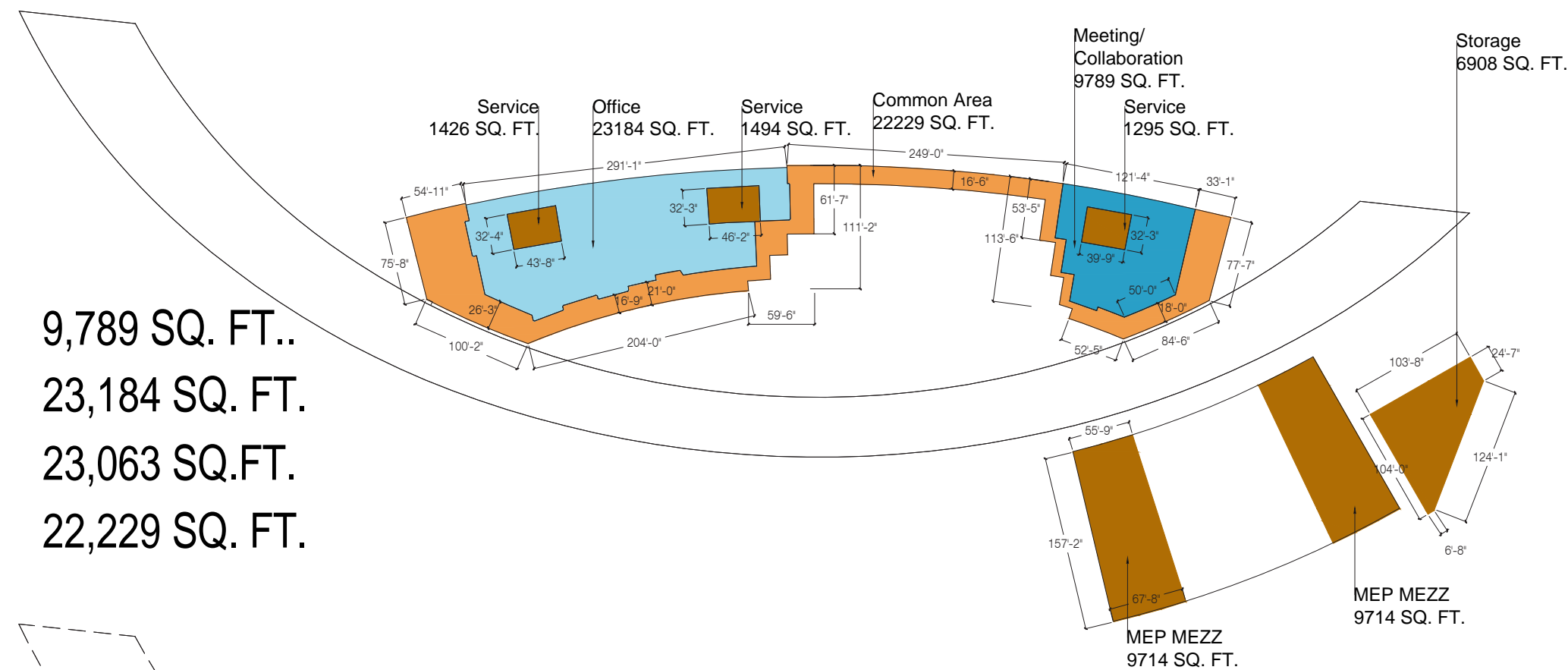
LEVEL 4

Office 17,406 SQ. FT.  
 Utility / Service 3,972 SQ. FT.  
 Circulation / Common Area 20,446 SQ. FT.



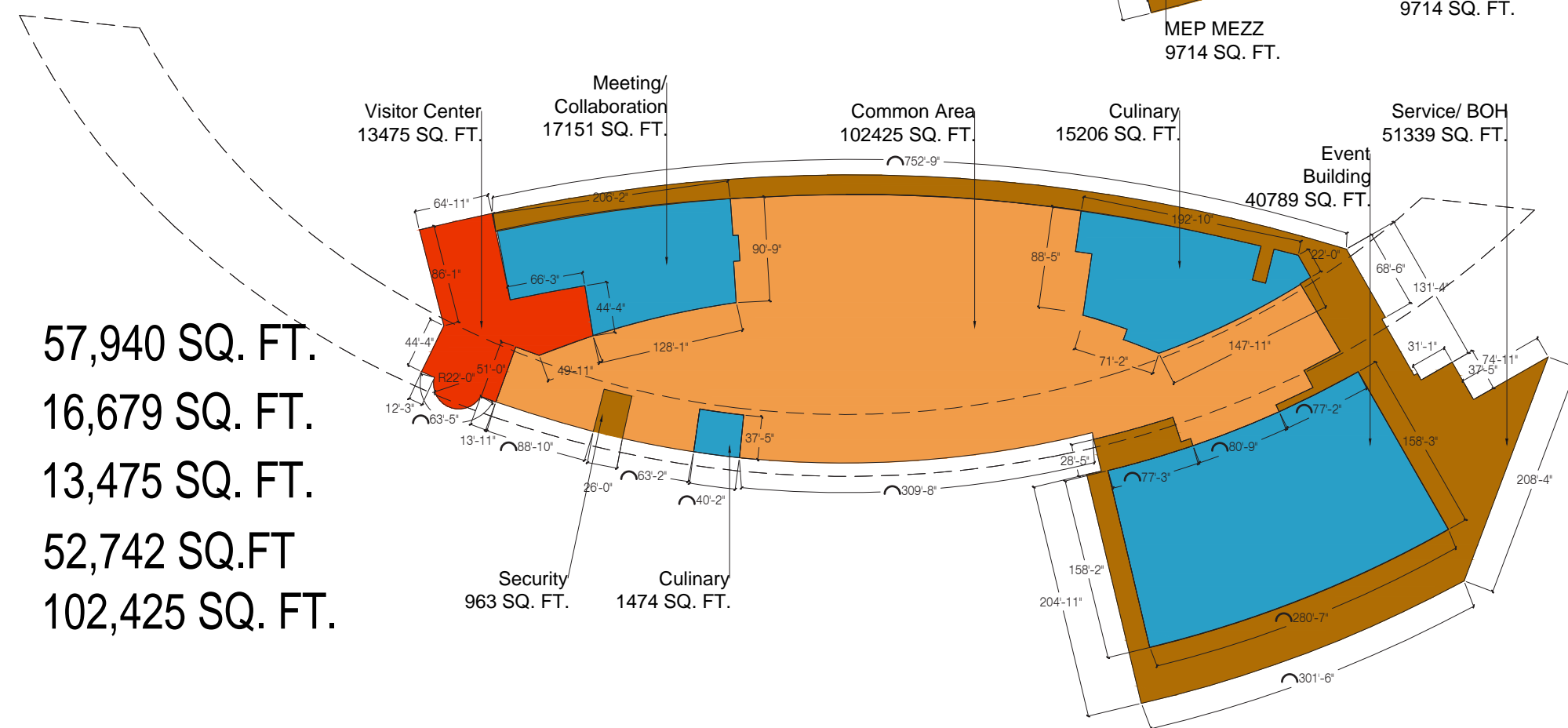
LEVEL 3

Meeting & Collaboration 9,789 SQ. FT..  
 Office 23,184 SQ. FT.  
 Utility / Service 23,063 SQ.FT.  
 Circulation / Common Area 22,229 SQ. FT.



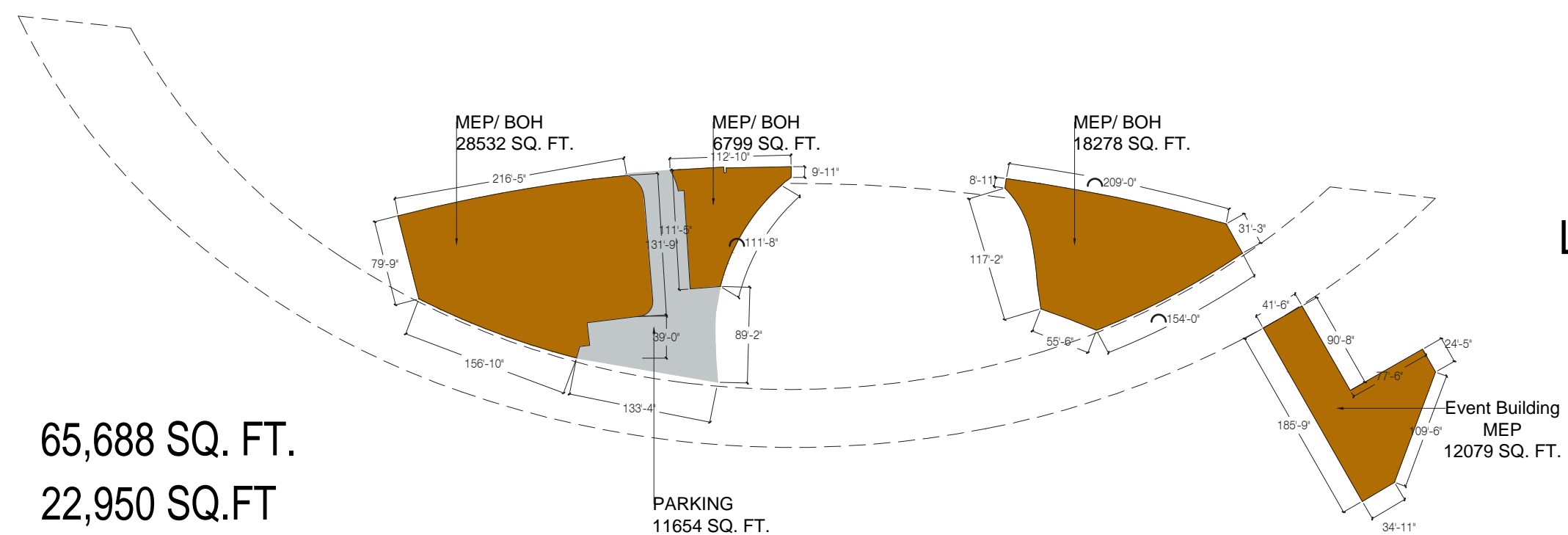
LEVEL 2

Meeting & Collaboration 57,940 SQ. FT.  
 Culinary 16,679 SQ. FT.  
 Retail 13,475 SQ. FT.  
 Utility/ Service 52,742 SQ.FT  
 Circulation / Common Area 102,425 SQ. FT.



LEVEL 1

Utility/ Service 65,688 SQ. FT.  
 Excluded from GFA 22,950 SQ.FT



LEVEL B1

ACP GFA	
Name	Area
<b>Level 4</b>	
Landscaped Terrace (Utility)	1,431
Terrace Common Area	17,531
<b>Level 3</b>	
Workplace	17,406
Terrace Common Area	20,446
Utility Service	3,972
<b>Level 2</b>	
Workplace	23,184
Meeting Collaboration	9,789
Terrace Common Area	22,229
Utility Service	4,215
Event Building BOH	26,336
<b>Level 1</b>	
Meeting & Collaboration	17,151
Visitor Center	13,475
Culinary	16,679
Event Building	40,789
Service BOH	52,742
Common Area / Circulation	102,425
<b>Basement</b>	
Basement MEP	42,738
Basement MEP (Exempted Area)	22,950
Parking	11,654
<b>TOTAL GFA</b>	<b>432,538</b>

Excluded from GFA per Zoning Code	Total Gross Area (sf)
<b>Basement</b>	
Basement MEP	22,950
Parking	11,654

Total Excluded GFA 34,604

SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY, OR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

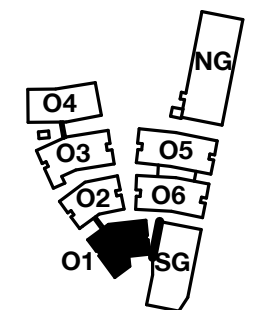
MILESTONES	
DATE	ISSUE
04/11/2022	ACP Submittal

REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
 SQUARE FOOTAGE  
 AND BUILDING  
 COVERAGE





SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

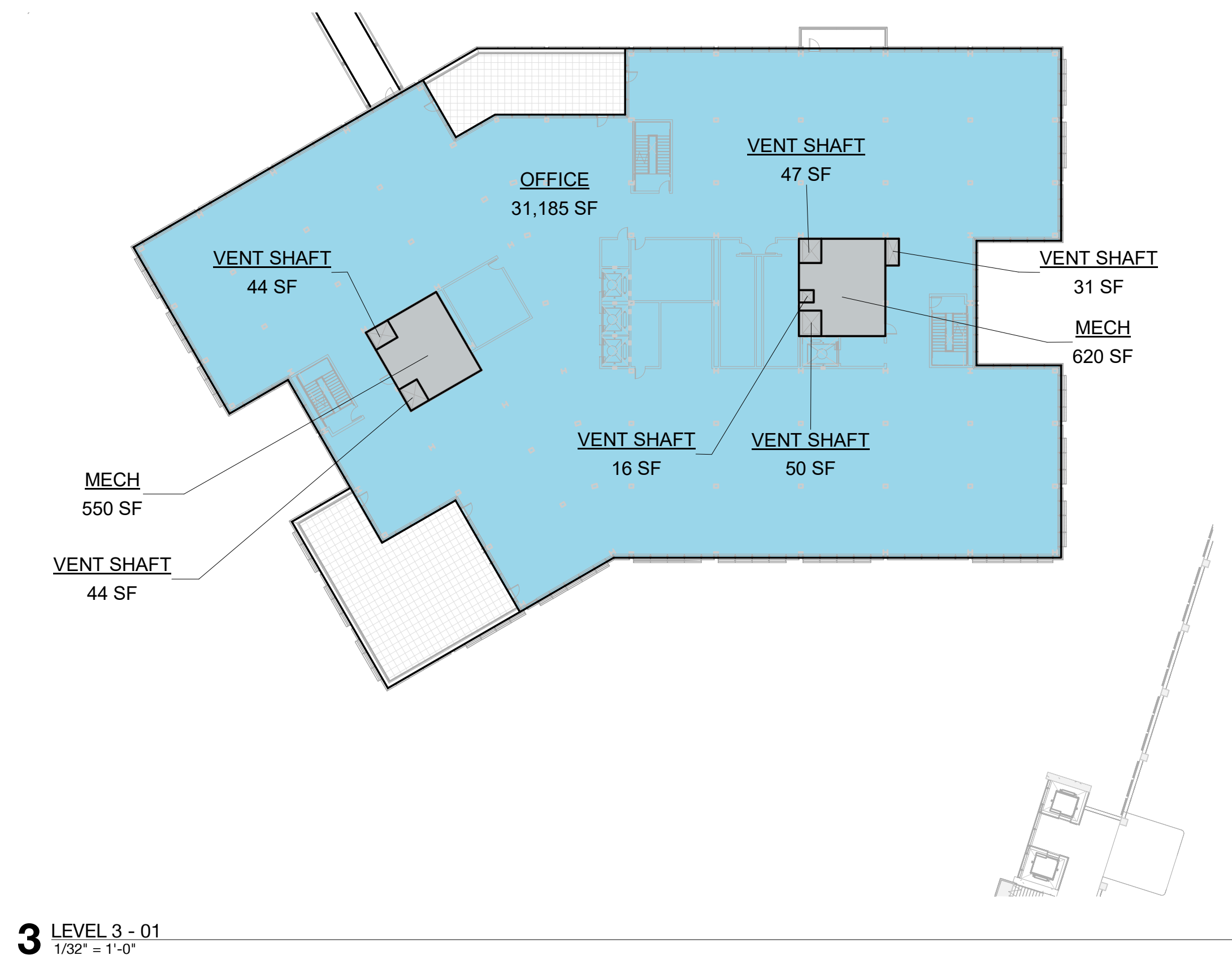
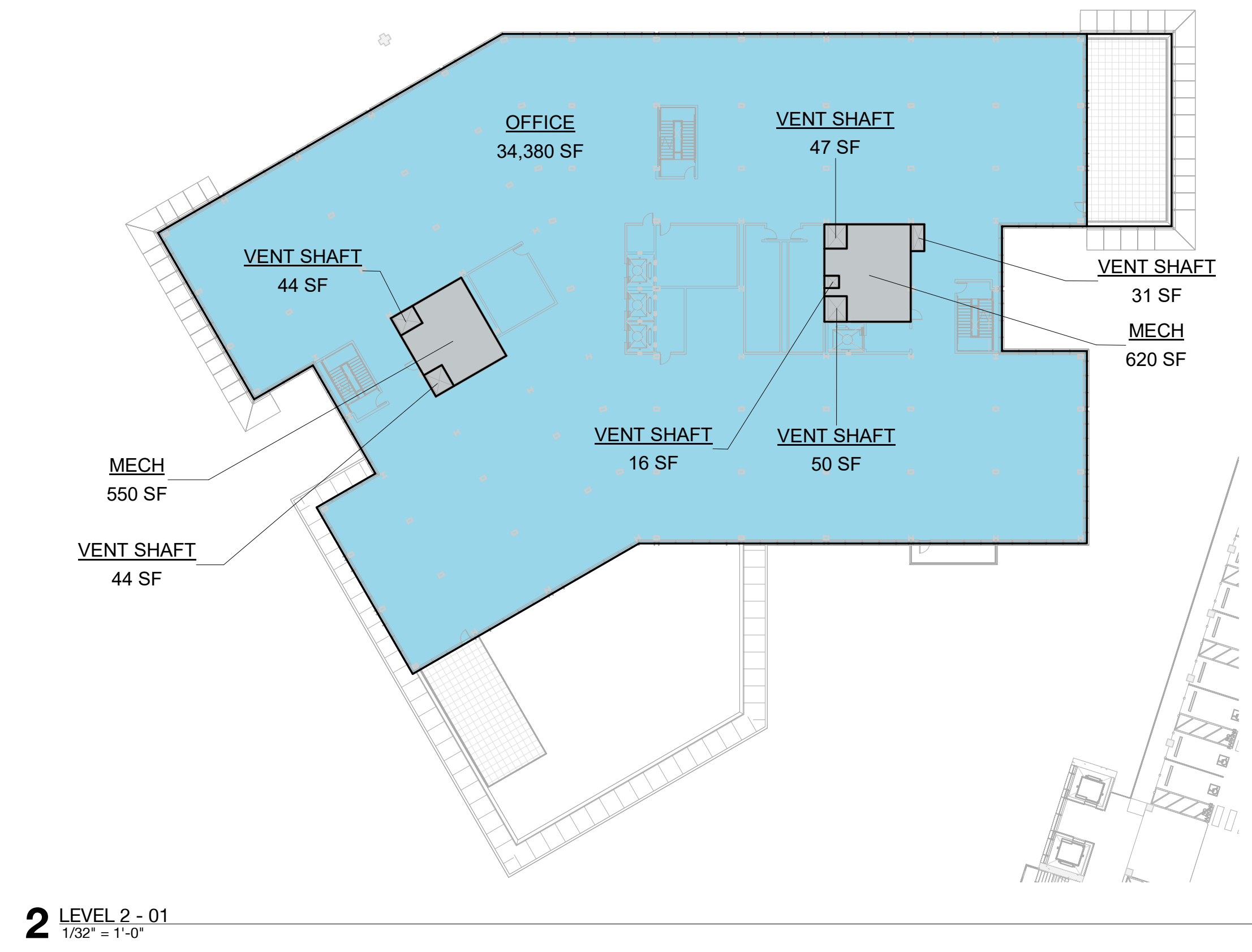
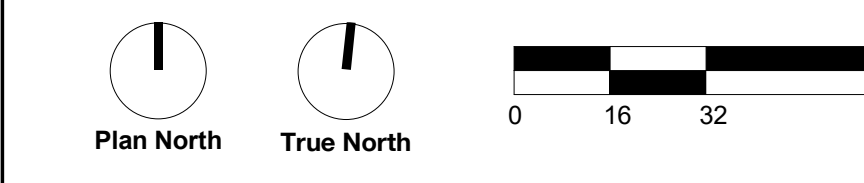
GROSS FLOOR AREA - 01 INCLUSIONS	
Name	Area
LEVEL 1 OFFICE	39,500 SF
LEVEL 2 OFFICE	34,380 SF
LEVEL 3 OFFICE	31,185 SF
LEVEL 4 OFFICE	27,709 SF
INCLUDED IN GFA PER ZONING CODE	132,774 SF

GROSS FLOOR AREA - 01 EXCLUSIONS	
Name	Area
LEVEL 1 MECH	1,372 SF
LEVEL 1 TRASH	541 SF
LEVEL 1 VENT SHAFT	31 SF
LEVEL 2 MECH	1,170 SF
LEVEL 2 VENT SHAFT	232 SF
LEVEL 3 MECH	1,170 SF
LEVEL 3 VENT SHAFT	232 SF
LEVEL 4 MECH	1,170 SF
LEVEL 4 VENT SHAFT	232 SF
EXCLUDED IN GFA PER ZONING CODE	6,151 SF

GFA BY LAND USE LEGEND	
SWATCH	USE
<span style="display:inline-block; width:10px; height:10px; background-color:blue;"></span>	Office
<span style="display:inline-block; width:10px; height:10px; background-color:orange;"></span>	Retail
<span style="display:inline-block; width:10px; height:10px; background-color:yellow;"></span>	Circulation / Lobby / Common Area
<span style="display:inline-block; width:10px; height:10px; background-color:grey;"></span>	Utility / Service
<span style="display:inline-block; width:10px; height:10px; background-color:white;"></span>	Excluded from GFA

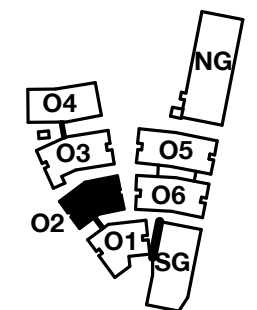
GROSS FLOOR AREA - TOTAL OFFICE CAMPUS	
	<b>1,125,873 SF</b>

GROSS FLOOR AREA - TOTAL RETAIL*	
<small>*Retail area not counted in Office GFA. See Master Plan CDP.</small>	
	<b>29,100 SF</b>



GFA SUMMARY - TOTAL OFFICE CAMPUS															
GROSS FLOOR AREA - 01 TOTALS / LEVEL		GROSS FLOOR AREA - 02 TOTALS / LEVEL		GROSS FLOOR AREA - 03 TOTALS / LEVEL		GROSS FLOOR AREA - 04 TOTALS / LEVEL		GROSS FLOOR AREA - 05 TOTALS / LEVEL		GROSS FLOOR AREA - 06 TOTALS / LEVEL		GROSS FLOOR AREA - PAVILION TOTALS / LEVEL		GROSS FLOOR AREA - GARAGE TOTALS / LEVEL	
Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	39,500 SF	LEVEL 1	28,752 SF	LEVEL 1	37,509 SF	LEVEL 1	36,023 SF	LEVEL 1	50,786 SF	LEVEL 1	47,287 SF	LEVEL 1	1,905 SF	SG LEVEL 1	239 SF
LEVEL 2	34,380 SF	LEVEL 2	35,513 SF	LEVEL 2	46,141 SF	LEVEL 2	37,415 SF	LEVEL 2	48,968 SF	LEVEL 2	44,686 SF	TOTAL	1,905 SF	NG LEVEL 1	2,685 SF
LEVEL 3	31,185 SF	LEVEL 3	34,163 SF	LEVEL 3	45,259 SF	LEVEL 3	35,528 SF	LEVEL 3	49,270 SF	LEVEL 3	44,008 SF			TOTAL	2,924 SF
LEVEL 4	27,709 SF	LEVEL 4	32,771 SF	LEVEL 4	42,040 SF	LEVEL 4	30,838 SF	LEVEL 4	45,039 SF	LEVEL 4	40,921 SF				
TOTAL	132,774 SF	LEVEL 5	28,883 SF	LEVEL 5	28,004 SF	LEVEL 5	28,004 SF	LEVEL 5	42,205 SF	LEVEL 5	38,087 SF				
		TOTAL	160,082 SF	TOTAL	209,123 SF	TOTAL	167,808 SF	TOTAL	236,268 SF	TOTAL	214,989 SF				





SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
04/11/2022	ACP

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NO.	DATE	ISSUE

**GROSS FLOOR AREA - 02 INCLUSIONS**

Name	Area
LEVEL 1 OFFICE	28,752 SF
LEVEL 2 OFFICE	28,752 SF
LEVEL 3 OFFICE	35,513 SF
LEVEL 4 OFFICE	34,163 SF
LEVEL 5 OFFICE	32,771 SF
OFFICE	28,883 SF
INCLUDED IN GFA PER ZONING CODE	160,082 SF

**GROSS FLOOR AREA - 02 EXCLUSIONS**

Name	Area
LEVEL 1 MECH	1,412 SF
TRASH	370 SF
VENT SHAFT	21 SF
LEVEL 2 MECH	1,170 SF
VENT SHAFT	261 SF
LEVEL 3 MECH	1,170 SF
VENT SHAFT	261 SF
LEVEL 4 MECH	1,170 SF
VENT SHAFT	261 SF
LEVEL 5 MECH	1,170 SF
VENT SHAFT	261 SF
EXCLUDED FROM GFA PER ZONING CODE	7,529 SF

**GROSS FLOOR AREA - 02 RETAIL INCLUSIONS\***  
\*Retail area not counted in Office GFA. See Master Plan CDP.

Name	Area
LEVEL 1 RETAIL	6,643 SF
INCLUDED IN GFA PER ZONING CODE	6,643 SF

**GROSS FLOOR AREA - 02 RETAIL EXCLUSIONS\***  
\*Retail area not counted in Office GFA. See Master Plan CDP.

Name	Area
LEVEL 1 RETAIL VENT SHAFT	53 SF
LEVEL 2 RETAIL VENT SHAFT	53 SF
LEVEL 3 RETAIL VENT SHAFT	53 SF
LEVEL 4 RETAIL VENT SHAFT	53 SF
LEVEL 5 RETAIL VENT SHAFT	53 SF
EXCLUDED FROM GFA PER ZONING CODE	594 SF

**GFA BY LAND USE LEGEND**

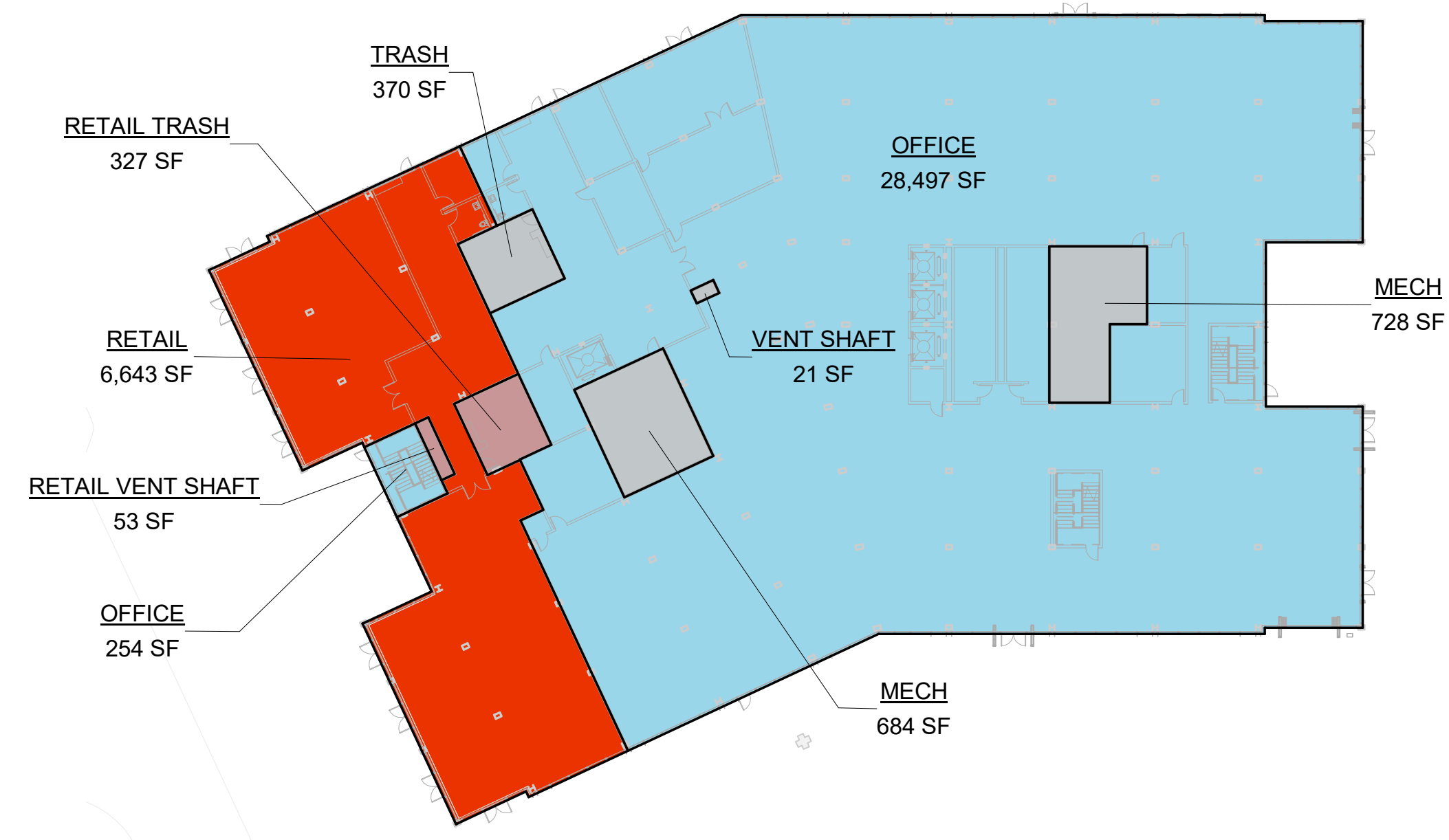
SWATCH	USE
Blue	Office
Red	Retail
Orange	Circulation / Lobby / Common Area
Yellow	Utility / Service
Grey	Excluded from GFA

**GROSS FLOOR AREA - TOTAL OFFICE CAMPUS**

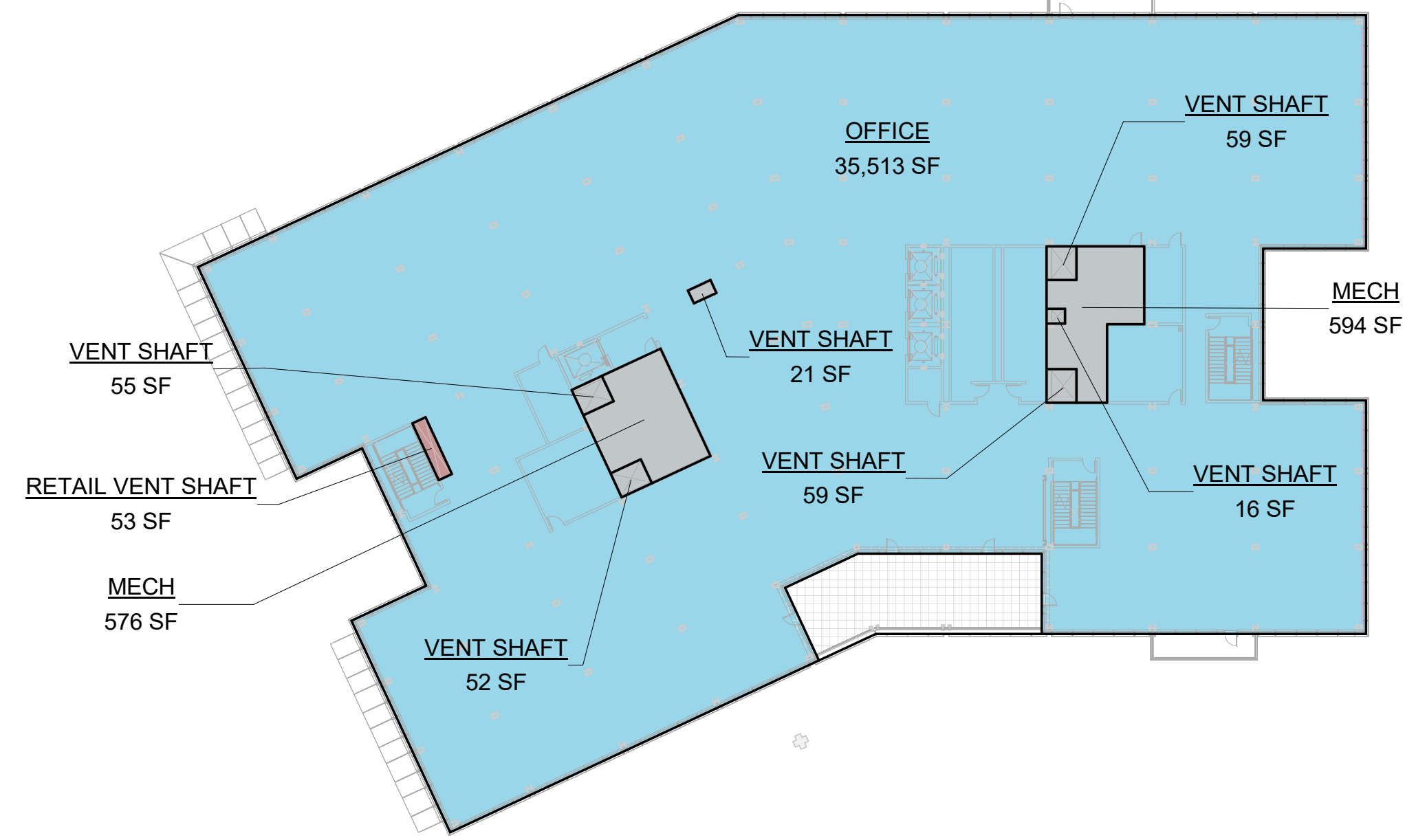
**1,125,873 SF**

**GROSS FLOOR AREA - TOTAL RETAIL\***  
\*Retail area not counted in Office GFA. See Master Plan CDP.

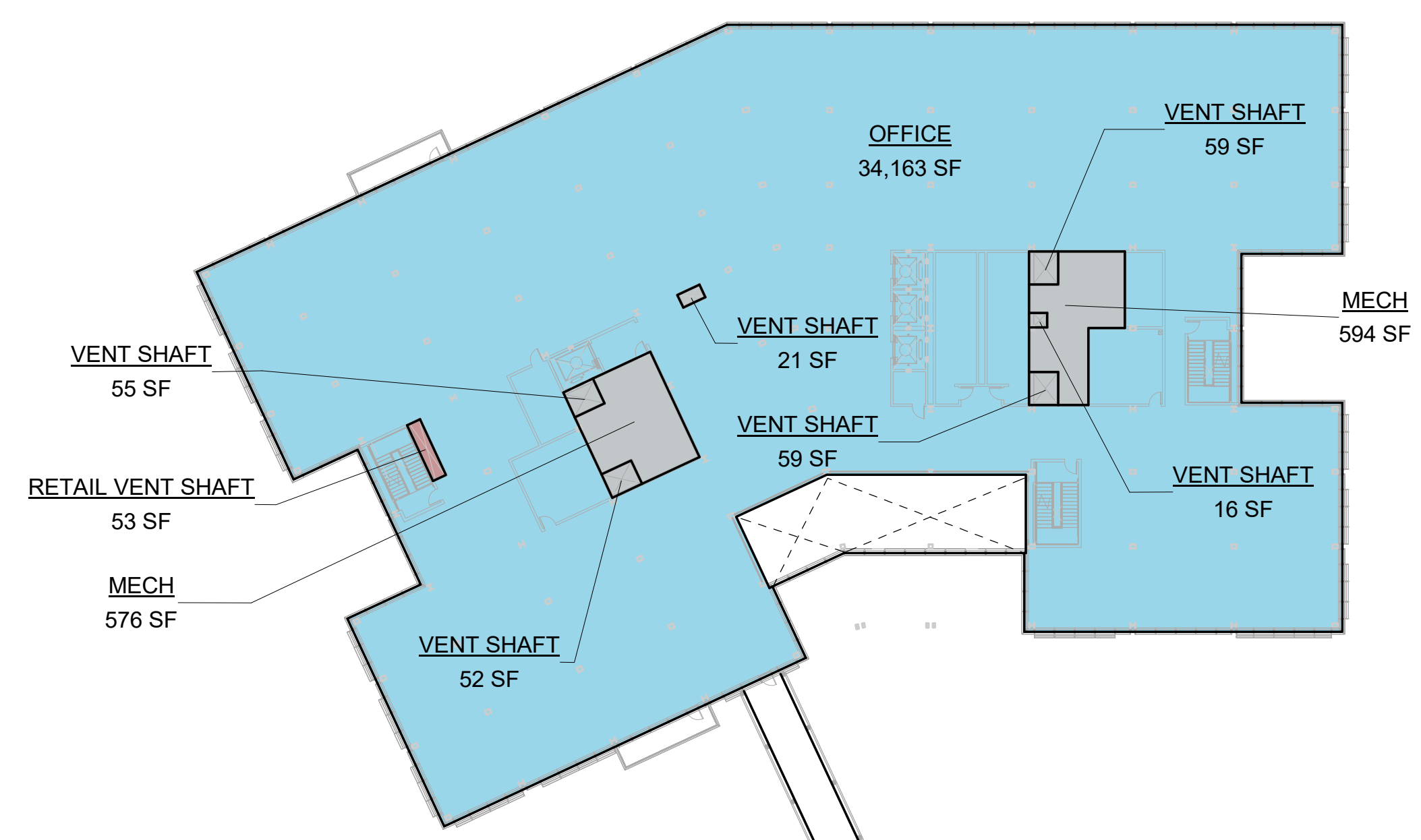
**29,100 SF**



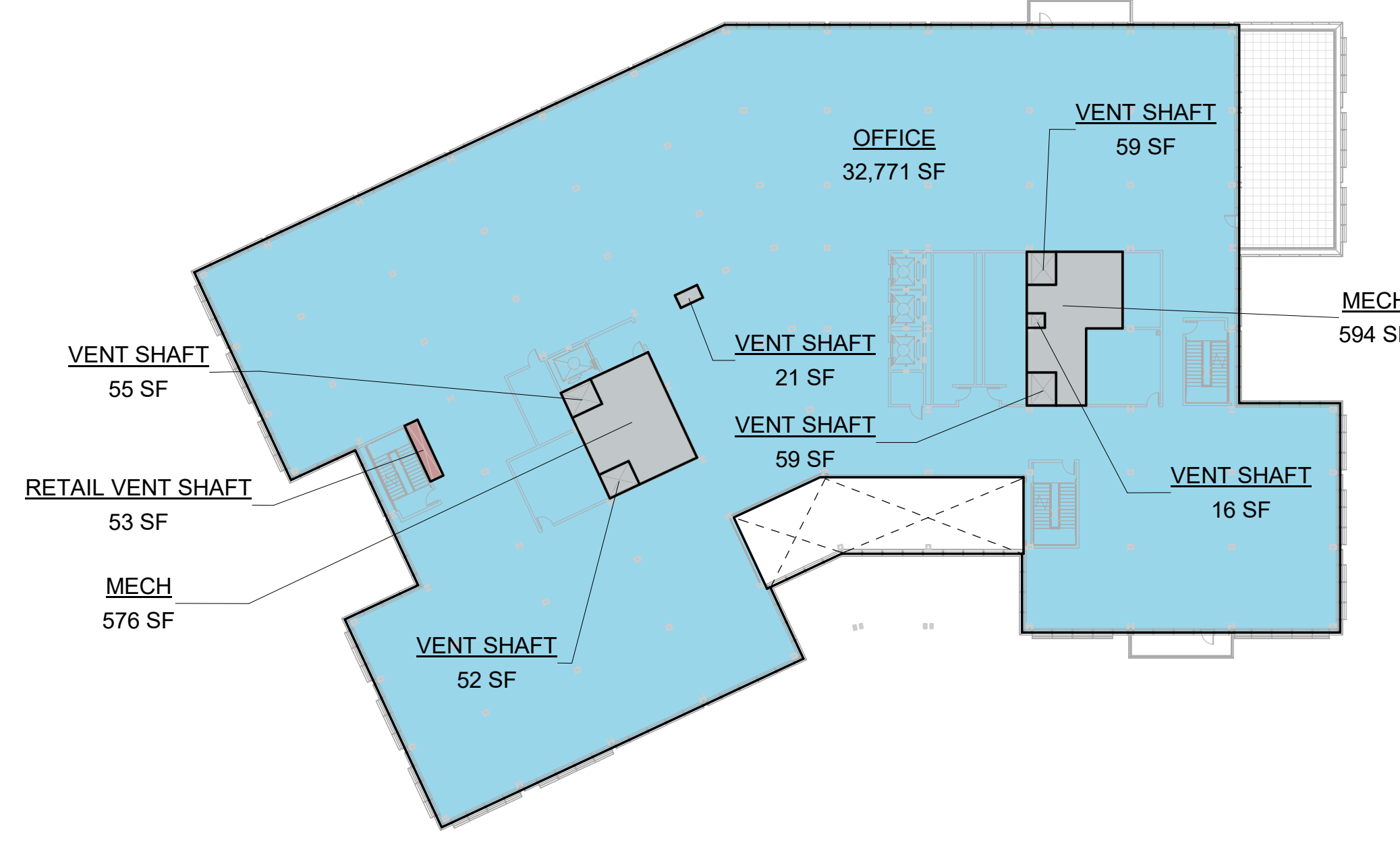
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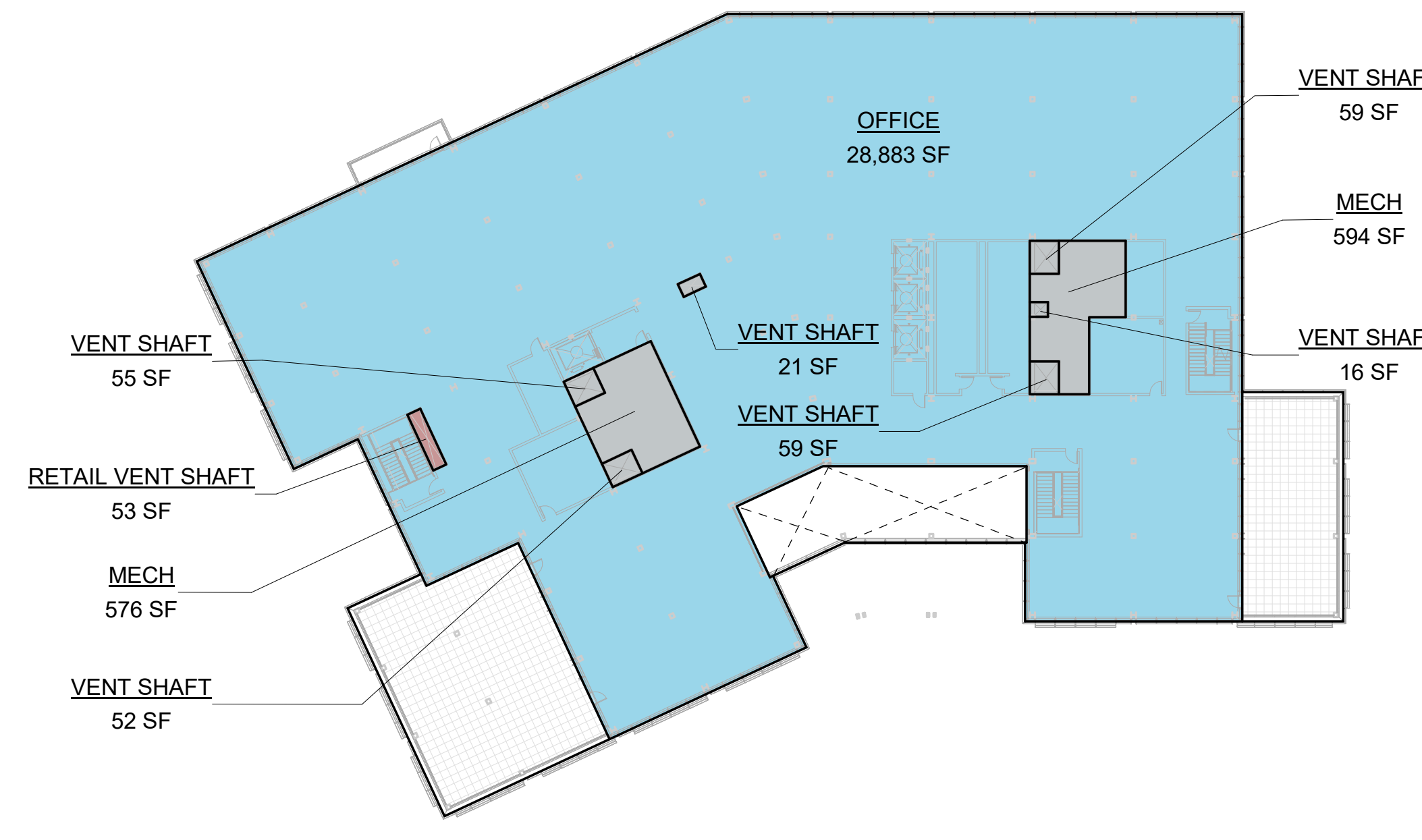
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**3** LEVEL 3 - O2  
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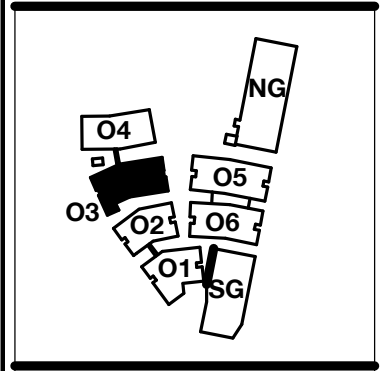


**4** LEVEL 4 - O2  
 1/32" = 1'-0"



**5** LEVEL 5 - O2  
 1/32" = 1'-0"





PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/11/2022	ACP

REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
 Square Footage Plan -  
 Building 03

DRAWING NO:  
**A9.04.3**

**GROSS FLOOR AREA - O3 INCLUSIONS**

Name	Area
LEVEL 1	
OFFICE	37,509 SF
OFFICE	37,509 SF
LEVEL 2	
OFFICE	46,141 SF
OFFICE	46,141 SF
LEVEL 3	
OFFICE	45,259 SF
OFFICE	45,259 SF
LEVEL 4	
OFFICE	42,040 SF
OFFICE	42,040 SF
LEVEL 5	
OFFICE	38,173 SF
OFFICE	38,173 SF
INCLUDED IN GFA PER ZONING CODE	209,123 SF

**GROSS FLOOR AREA - O3 EXCLUSIONS**

Name	Area
LEVEL 1	
MECH	1,609 SF
TRASH	459 SF
TRASH	2,068 SF
LEVEL 2	
MECH	1,378 SF
VENT SHAFT	230 SF
VENT SHAFT	1,608 SF
LEVEL 3	
MECH	1,378 SF
VENT SHAFT	230 SF
VENT SHAFT	1,608 SF
LEVEL 4	
MECH	1,378 SF
VENT SHAFT	230 SF
VENT SHAFT	1,608 SF
LEVEL 5	
MECH	1,378 SF
VENT SHAFT	230 SF
VENT SHAFT	1,608 SF
EXCLUDED IN GFA PER ZONING CODE	8,499 SF

**GROSS FLOOR AREA - O3 RETAIL INCLUSIONS\***  
\*Retail area not counted in Office GFA. See Master Plan CDP.

Name	Area
LEVEL 1	
RETAIL	8,756 SF
RETAIL	8,756 SF
INCLUDED IN GFA PER ZONING CODE	8,756 SF

**GROSS FLOOR AREA - O3 RETAIL EXCLUSIONS\***  
\*Retail area not counted in Office GFA. See Master Plan CDP.

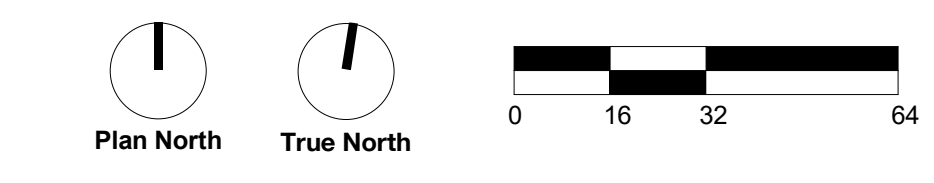
Name	Area
LEVEL 1	
RETAIL TRASH	477 SF
RETAIL VENT SHAFT	53 SF
RETAIL VENT SHAFT	531 SF
LEVEL 2	
RETAIL VENT SHAFT	53 SF
RETAIL VENT SHAFT	53 SF
LEVEL 3	
RETAIL VENT SHAFT	53 SF
RETAIL VENT SHAFT	53 SF
LEVEL 4	
RETAIL VENT SHAFT	53 SF
RETAIL VENT SHAFT	53 SF
LEVEL 5	
RETAIL VENT SHAFT	53 SF
RETAIL VENT SHAFT	53 SF
EXCLUDED FROM GFA PER ZONING CODE	744 SF

**GFA BY LAND USE LEGEND**

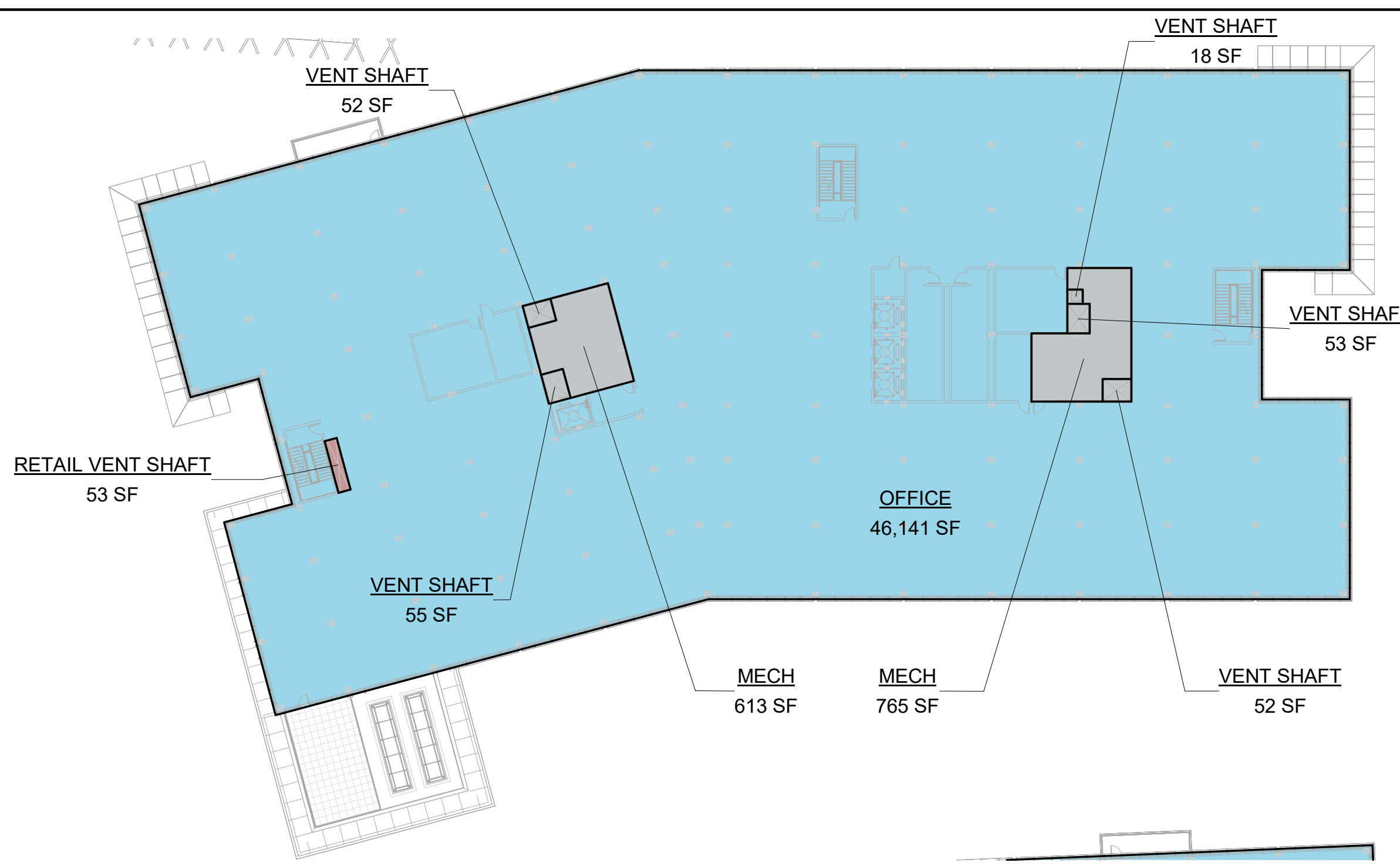
SWATCH	USE
Blue	Office
Red	Retail
Orange	Circulation / Lobby / Common Area
Yellow	Utility / Service
Grey	Excluded from GFA

**GROSS FLOOR AREA - TOTAL OFFICE CAMPUS**  
**1,125,873 SF**

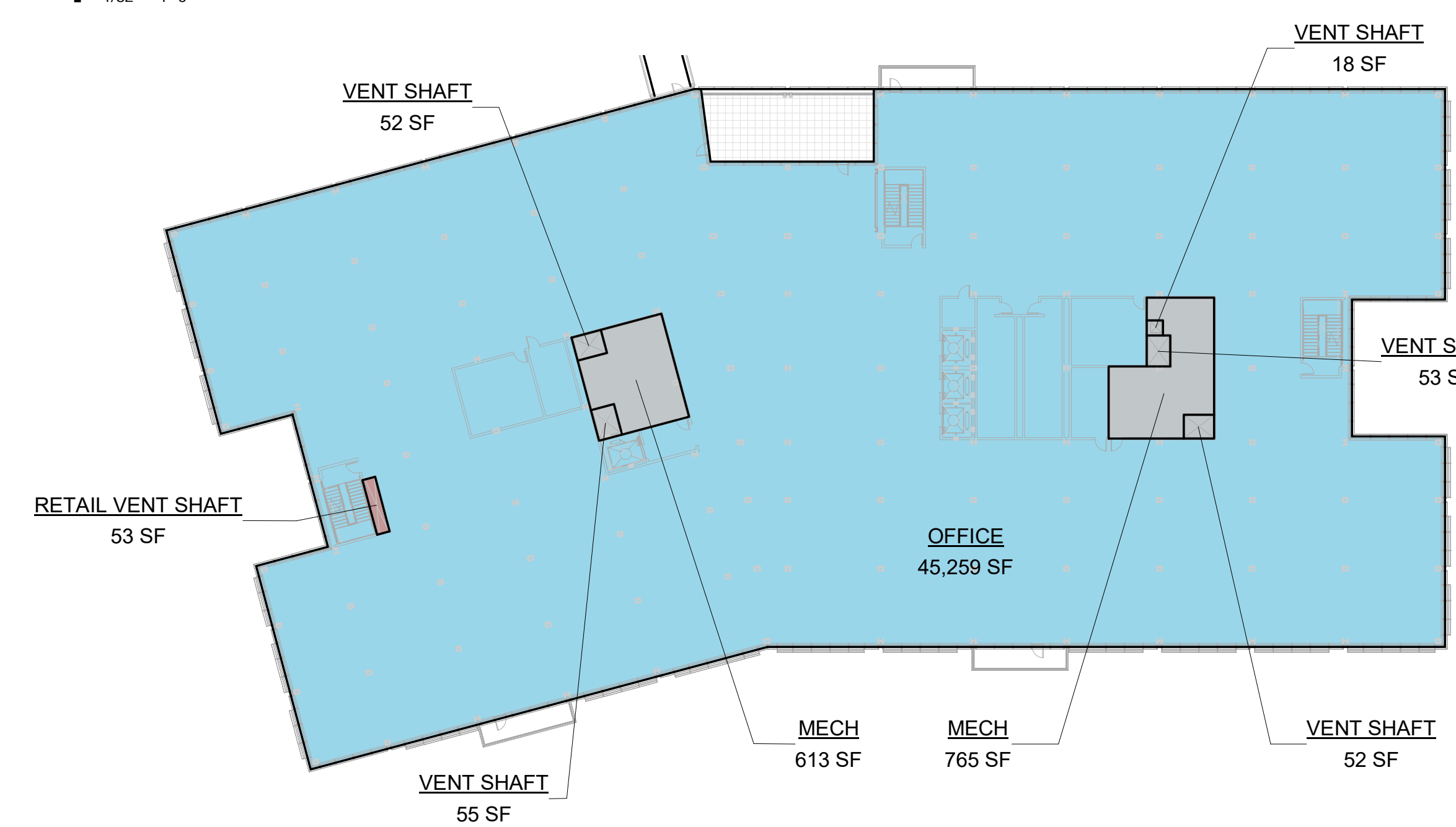
**GROSS FLOOR AREA - TOTAL RETAIL\***  
\*Retail area not counted in Office GFA. See Master Plan CDP.  
**29,100 SF**



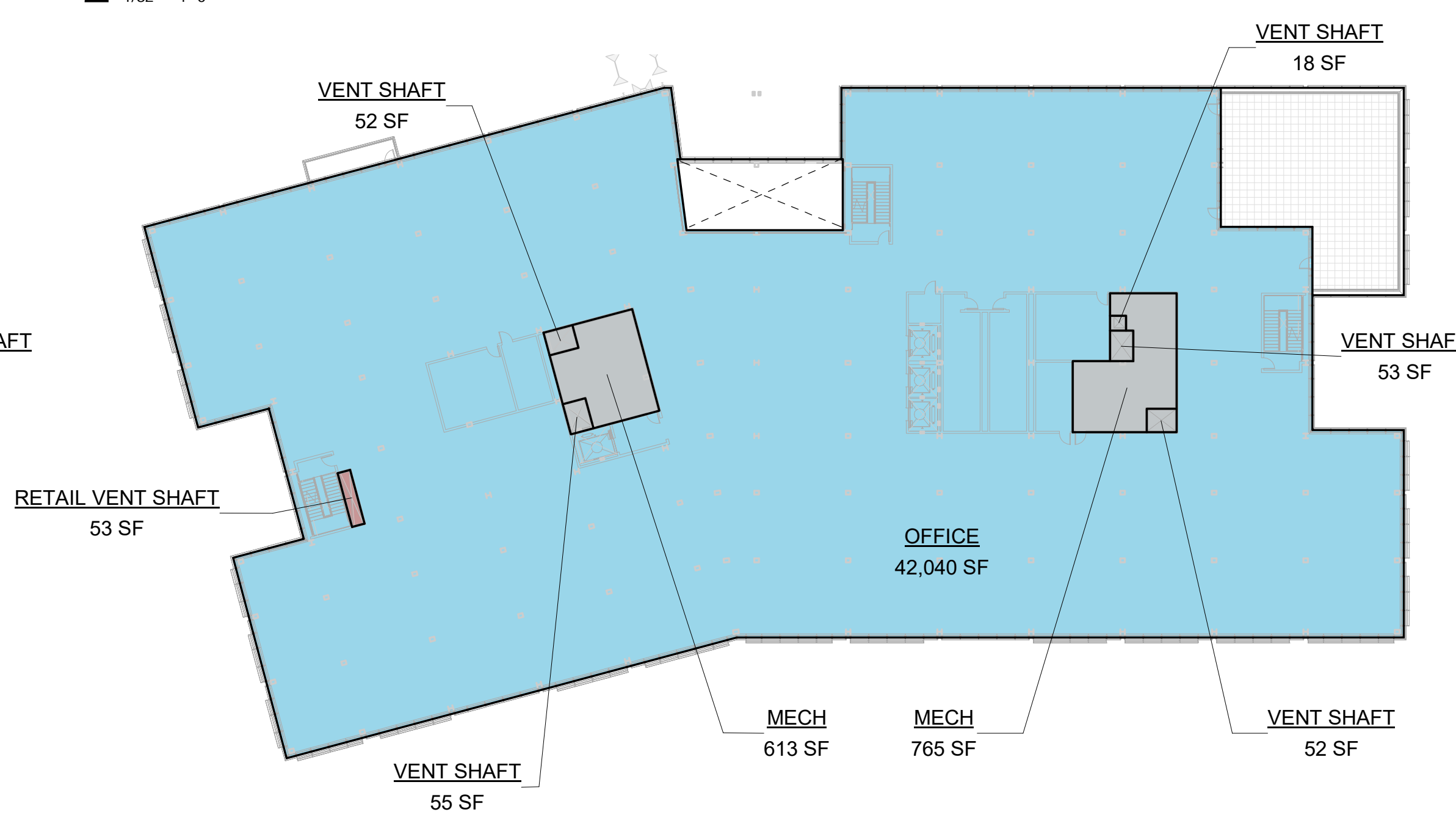
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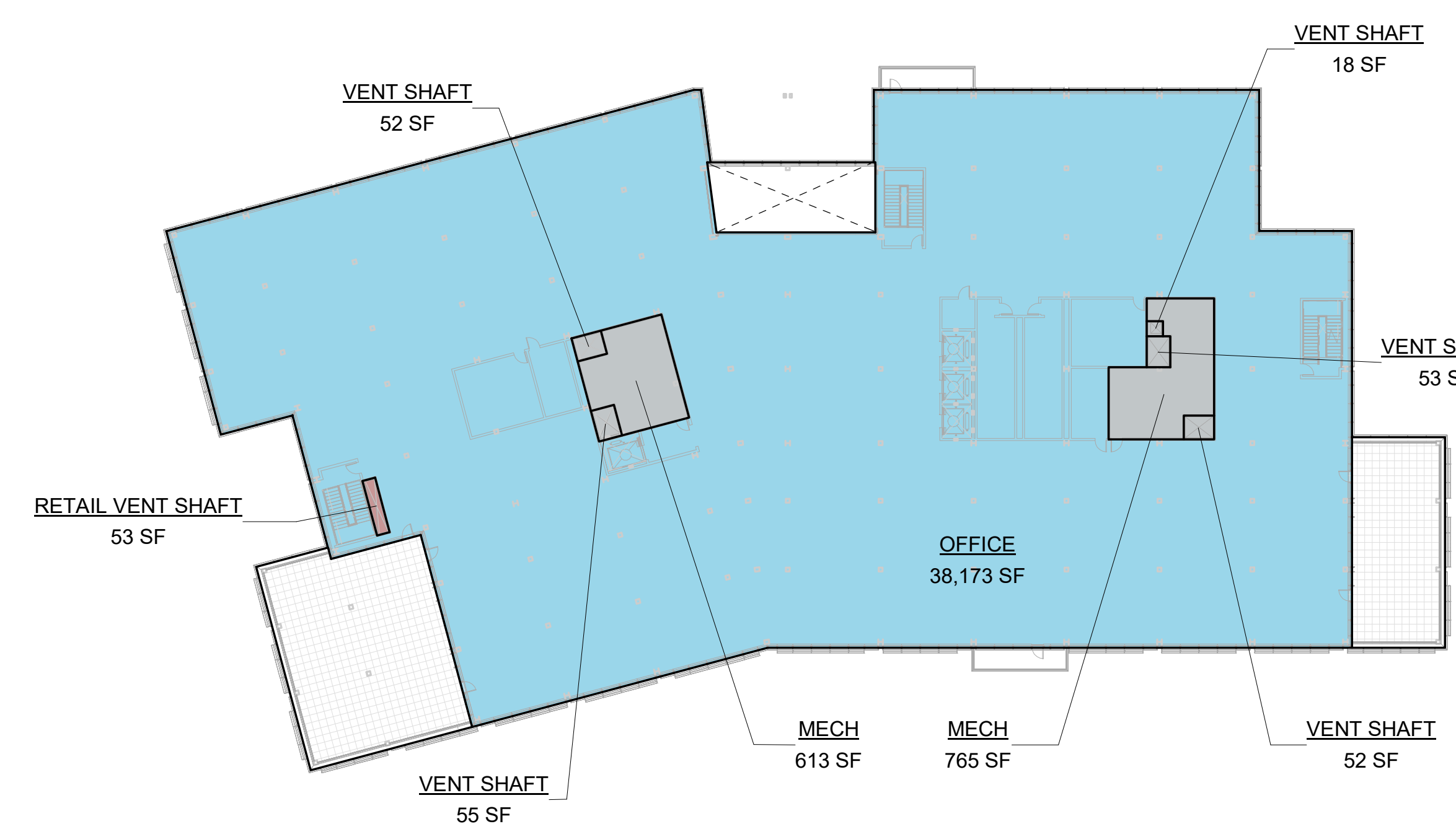
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**3** LEVEL 3 - O3  
 1/32" = 1'-0"



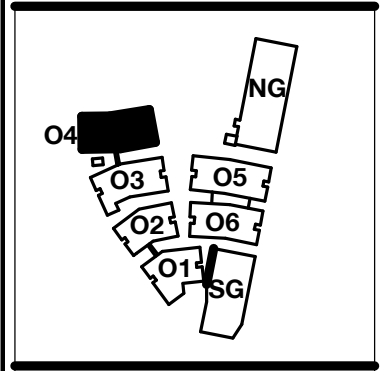
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**5** LEVEL 5 - O3  
 1/32" = 1'-0"

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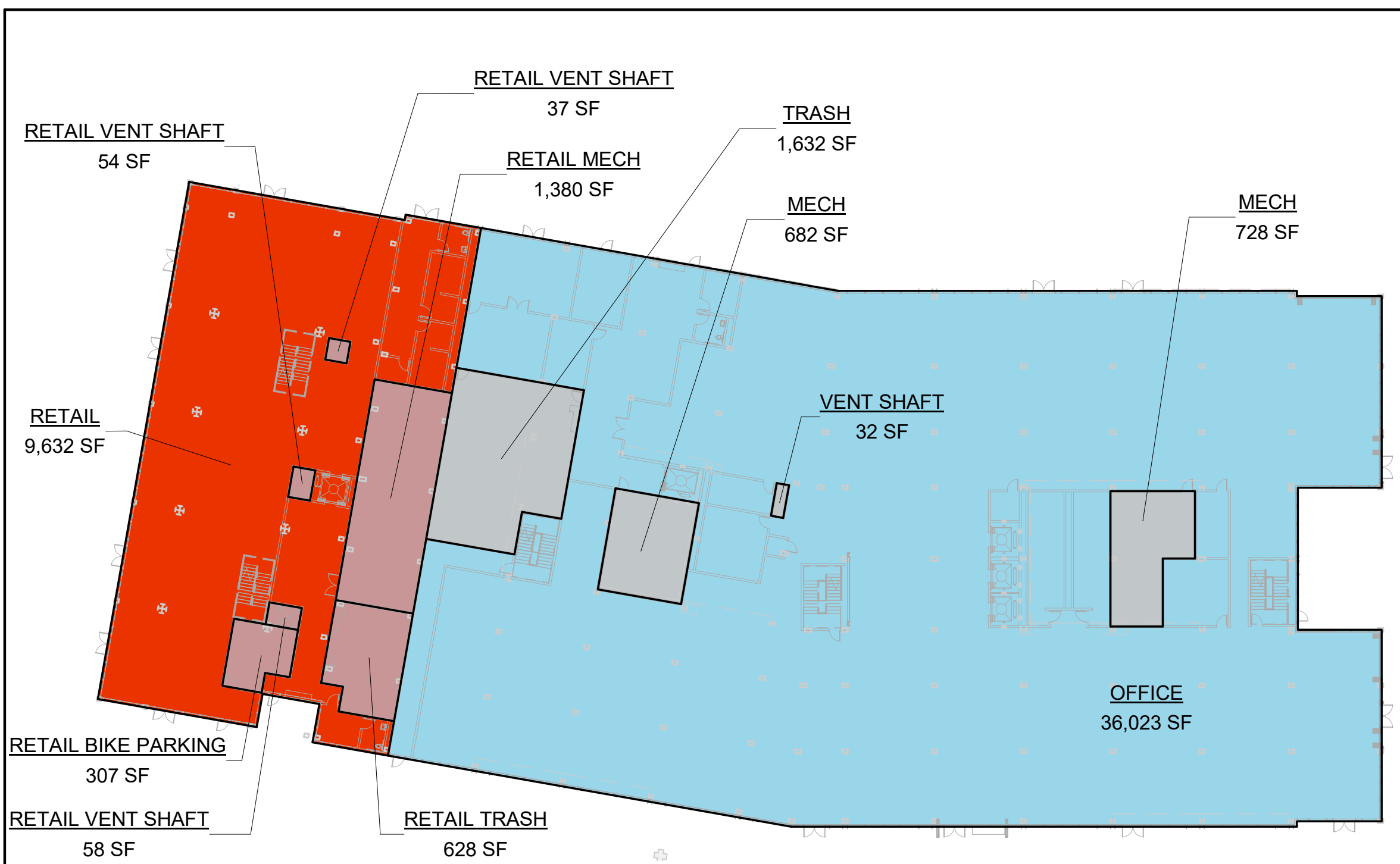
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NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEE CLARIFICATIONS FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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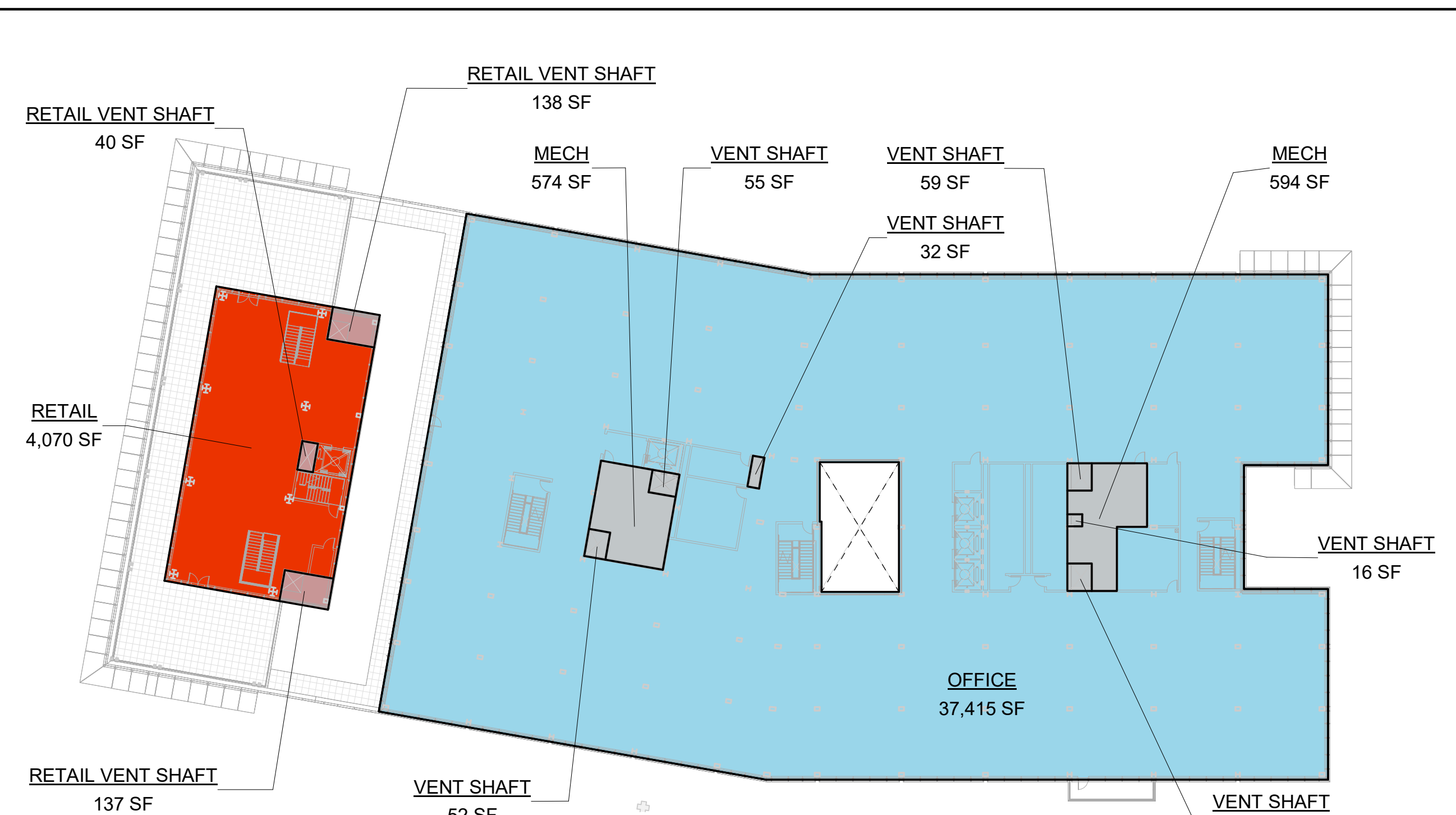
DATE	ISSUE
04/11/2022	ACP

REVISIONS

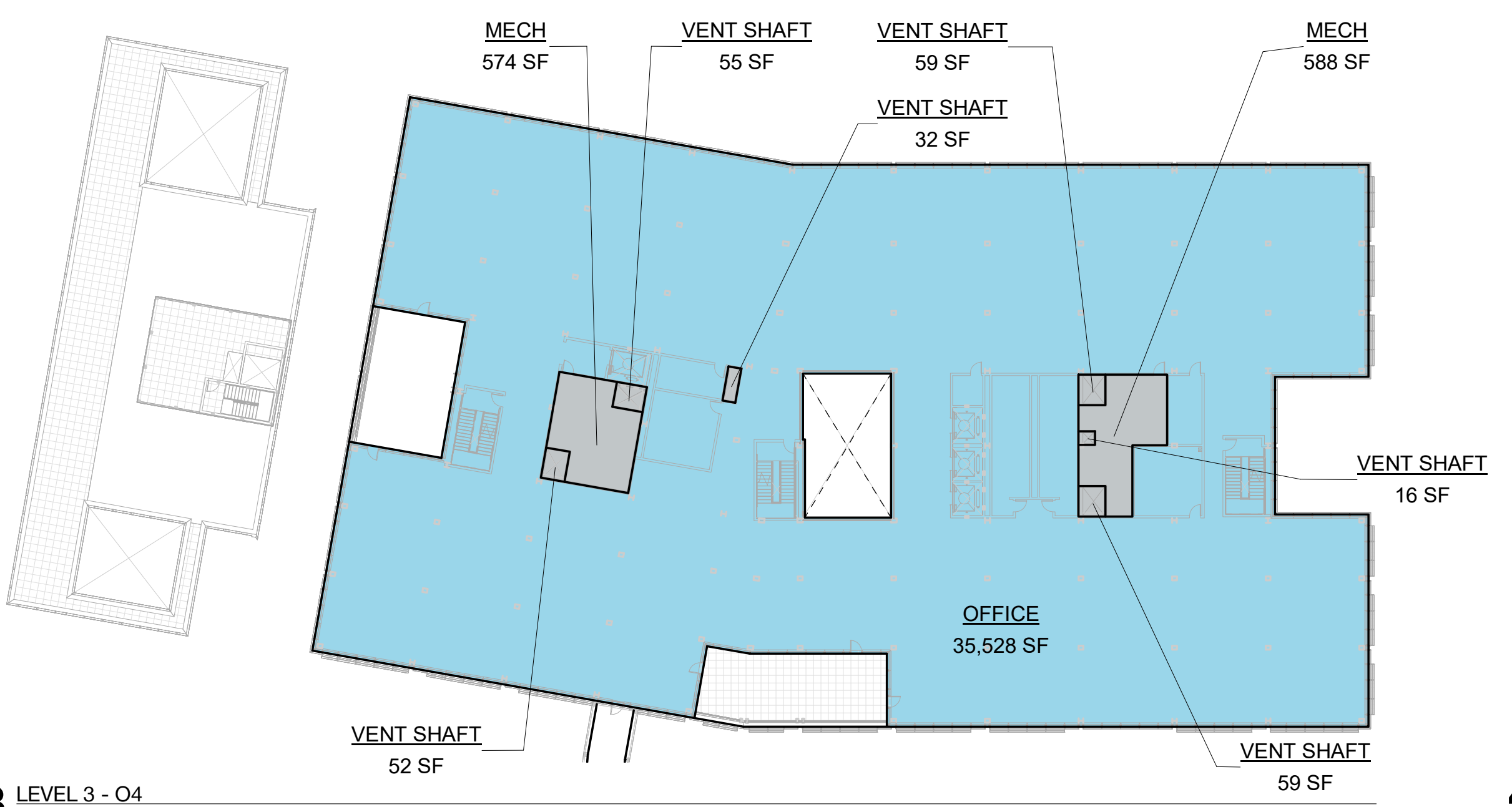
NO.	DATE	ISSUE



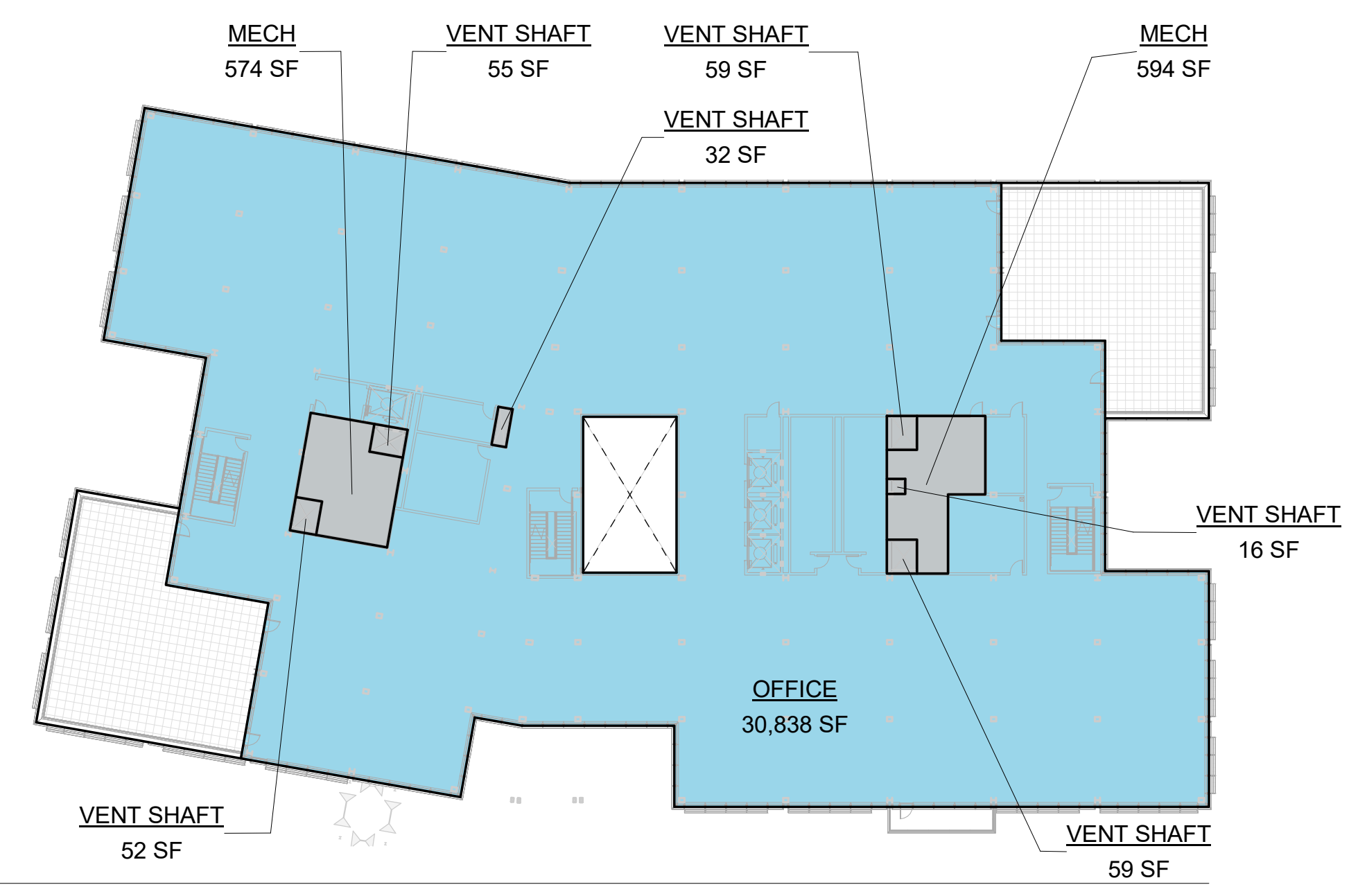
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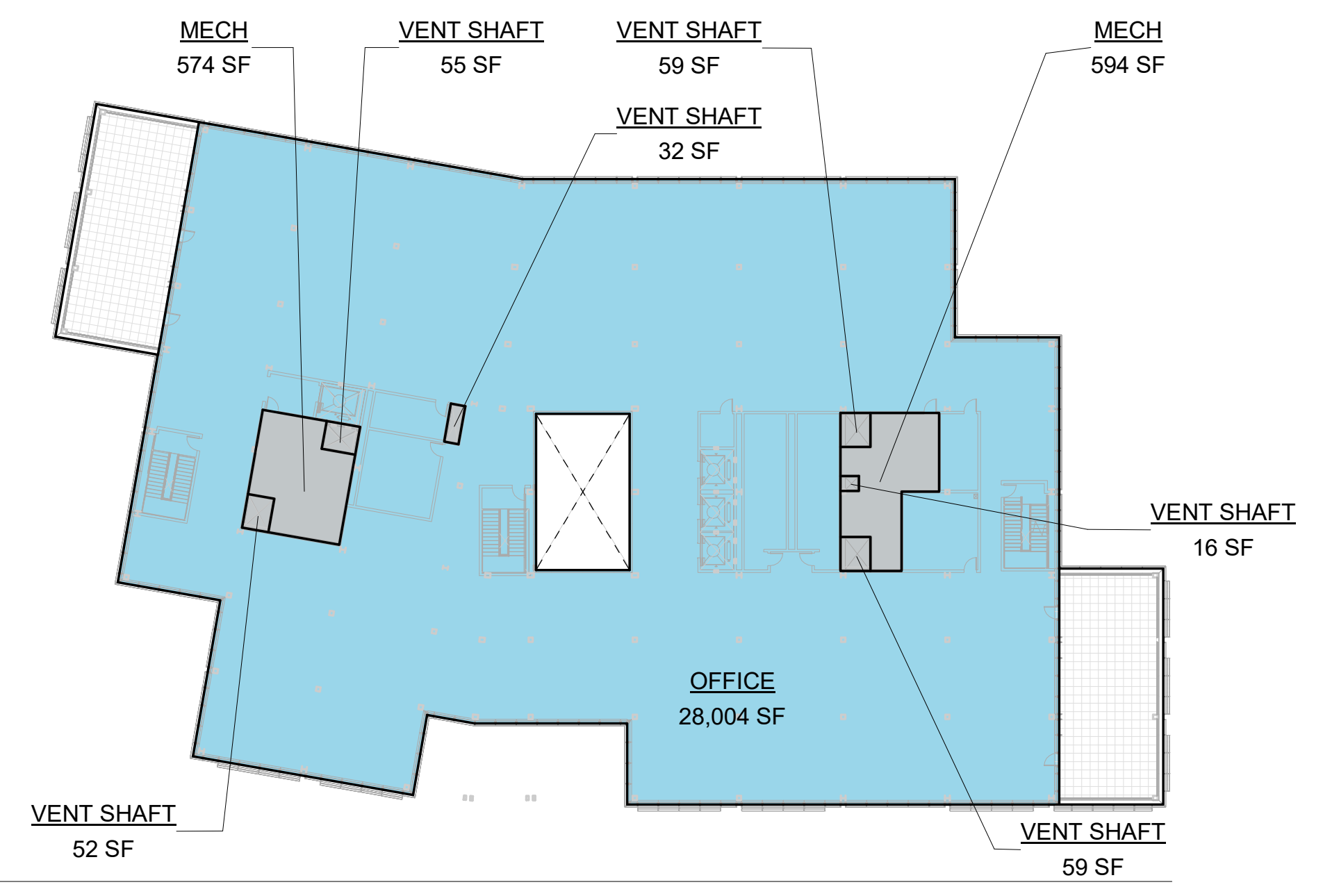
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**3** LEVEL 3 - O4  
 1/32" = 1'-0"



**4** LEVEL 4 - O4  
 1/32" = 1'-0"



**5** LEVEL 5 - O4  
 1/32" = 1'-0"

**GROSS FLOOR AREA - O4 INCLUSIONS**

Name	Area
LEVEL 1 OFFICE	36,023 SF
LEVEL 2 OFFICE	37,415 SF
LEVEL 3 OFFICE	35,528 SF
LEVEL 4 OFFICE	30,838 SF
LEVEL 5 OFFICE	28,004 SF
INCLUDED IN GFA PER ZONING CODE	167,808 SF

**GROSS FLOOR AREA - O4 EXCLUSIONS**

Name	Area
LEVEL 1 MECH	1,409 SF
LEVEL 1 TRASH	1,632 SF
LEVEL 1 VENT SHAFT	32 SF
LEVEL 2 MECH	1,168 SF
LEVEL 2 VENT SHAFT	273 SF
LEVEL 3 MECH	1,162 SF
LEVEL 3 VENT SHAFT	273 SF
LEVEL 4 MECH	1,168 SF
LEVEL 4 VENT SHAFT	273 SF
LEVEL 5 MECH	1,168 SF
LEVEL 5 VENT SHAFT	273 SF
EXCLUDED IN GFA PER ZONING CODE	8,835 SF

**GROSS FLOOR AREA - O4 RETAIL INCLUSIONS\***  
\*Retail area not counted in Office GFA. See Master Plan CDP.

Name	Area
LEVEL 1 RETAIL	9,632 SF
LEVEL 2 RETAIL	4,070 SF
INCLUDED IN GFA PER ZONING CODE	13,702 SF

**GROSS FLOOR AREA - O4 RETAIL EXCLUSIONS\***  
\*Retail area not counted in Office GFA. See Master Plan CDP.

Name	Area
LEVEL 1 RETAIL TRASH	628 SF
LEVEL 1 RETAIL MECH	1,380 SF
LEVEL 1 RETAIL BIKE PARKING	307 SF
LEVEL 1 RETAIL VENT SHAFT	58 SF
LEVEL 1 RETAIL VENT SHAFT	54 SF
LEVEL 1 RETAIL VENT SHAFT	37 SF
LEVEL 2 RETAIL VENT SHAFT	2,464 SF
LEVEL 2 RETAIL VENT SHAFT	138 SF
LEVEL 2 RETAIL VENT SHAFT	40 SF
LEVEL 2 RETAIL VENT SHAFT	137 SF
EXCLUDED FROM GFA PER ZONING CODE	315 SF
EXCLUDED FROM GFA PER ZONING CODE	2,779 SF

**GFA BY LAND USE LEGEND**

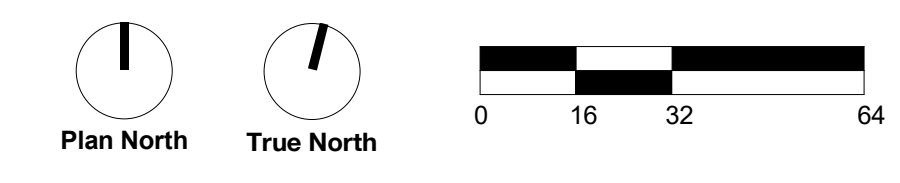
SWATCH	USE
Blue	Office
Red	Retail
Light Blue	Circulation / Lobby / Common Area
Grey	Utility / Service
White	Excluded from GFA

**GROSS FLOOR AREA - TOTAL OFFICE CAMPUS**

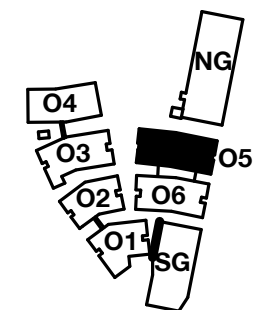
**1,125,873 SF**

**GROSS FLOOR AREA - TOTAL RETAIL\***  
\*Retail area not counted in Office GFA. See Master Plan CDP.

**29,100 SF**







SCALE: As indicated  
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MILESTONES	
DATE	ISSUE
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REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
 Square Footage Plan -  
 Building 05

DRAWING NO:  
**A9.04.5**

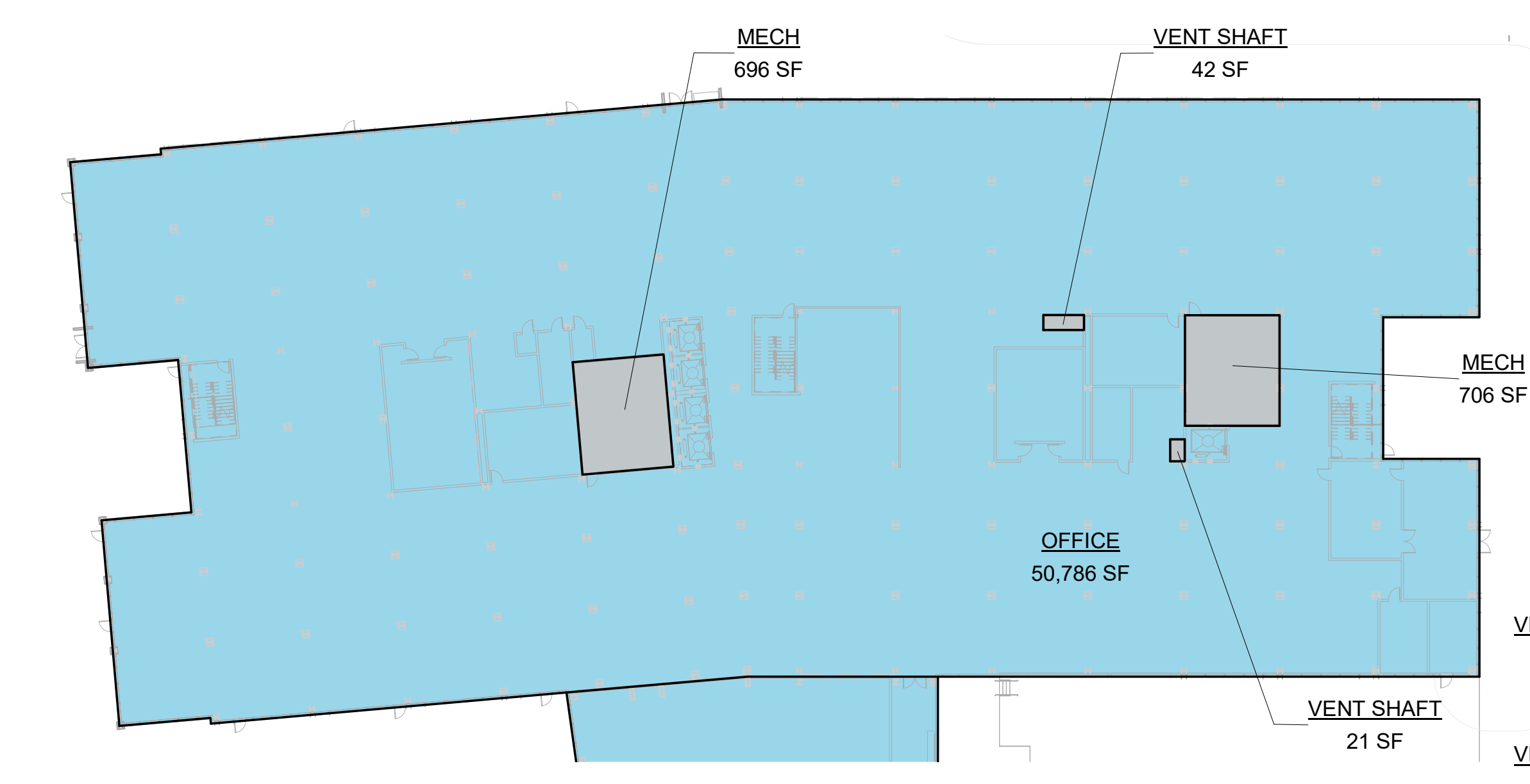
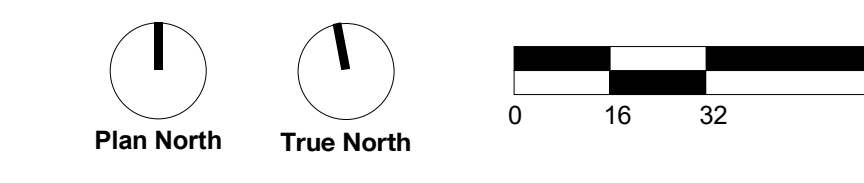
GROSS FLOOR AREA - O5 INCLUSIONS	
Name	Area
LEVEL 1	
OFFICE	50,786 SF
OFFICE	50,786 SF
LEVEL 2	
OFFICE	48,968 SF
OFFICE	48,968 SF
LEVEL 3	
OFFICE	49,270 SF
OFFICE	49,270 SF
LEVEL 4	
OFFICE	45,039 SF
OFFICE	45,039 SF
LEVEL 5	
OFFICE	42,205 SF
OFFICE	42,205 SF
INCLUDED IN GFA PER ZONING CODE	236,268 SF

GROSS FLOOR AREA - O5 EXCLUSIONS	
Name	Area
LEVEL 1	
MECH	1,402 SF
VENT SHAFT	63 SF
VENT SHAFT	1,465 SF
LEVEL 2	
MECH	2,345 SF
VENT SHAFT	408 SF
VENT SHAFT	2,753 SF
LEVEL 3	
MECH	2,043 SF
VENT SHAFT	408 SF
VENT SHAFT	2,451 SF
LEVEL 4	
MECH	2,043 SF
VENT SHAFT	408 SF
VENT SHAFT	2,451 SF
LEVEL 5	
MECH	2,043 SF
VENT SHAFT	408 SF
VENT SHAFT	2,451 SF
EXCLUDED IN GFA PER ZONING CODE	11,572 SF

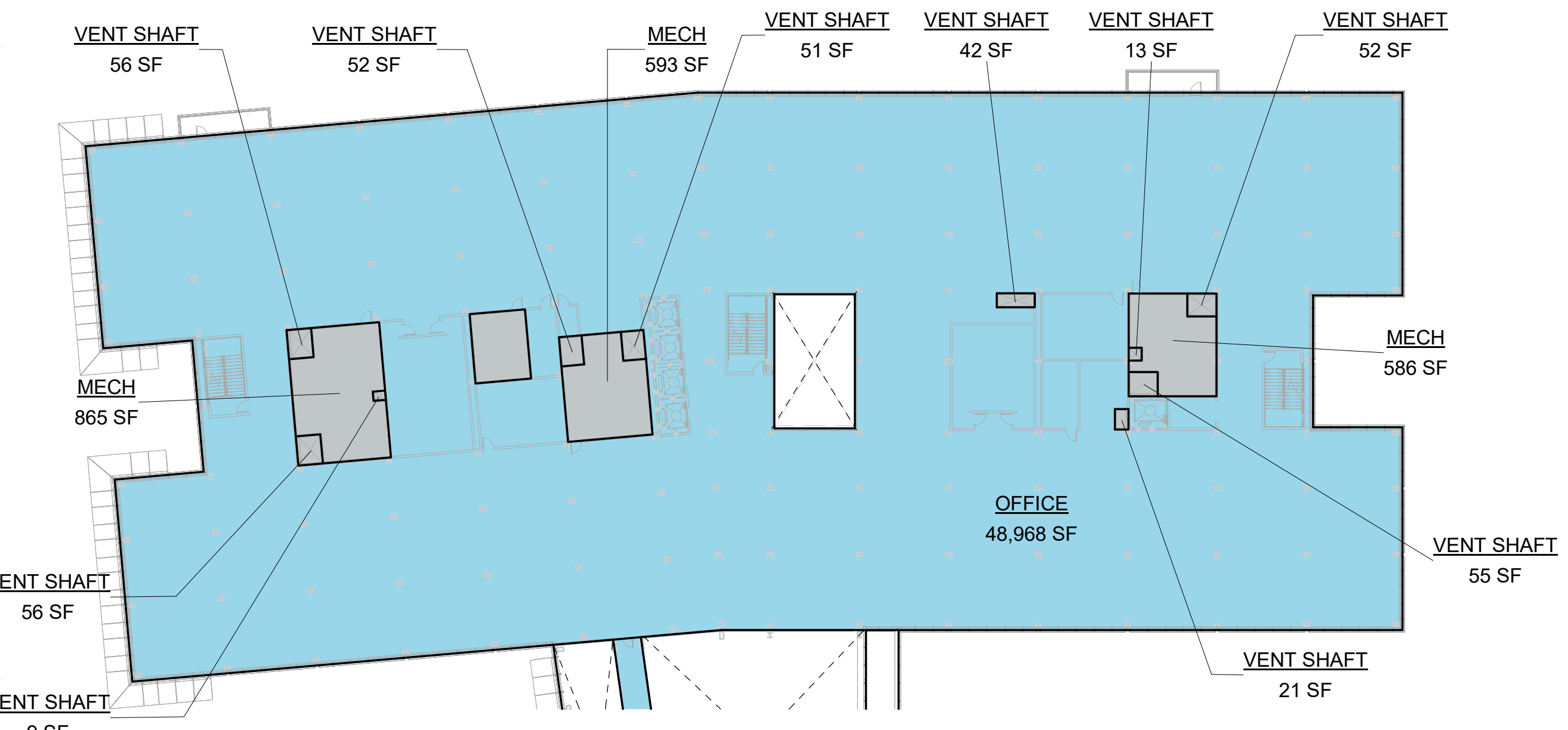
GFA BY LAND USE LEGEND	
SWATCH	USE
<span style="background-color: #e0e0e0; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Office
<span style="background-color: #ffcc99; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Retail
<span style="background-color: #ffcc99; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Circulation / Lobby / Common Area
<span style="background-color: #ffcc99; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Utility / Service
<span style="background-color: #e0e0e0; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Excluded from GFA

**GROSS FLOOR AREA - TOTAL OFFICE CAMPUS**  
**1,125,873 SF**

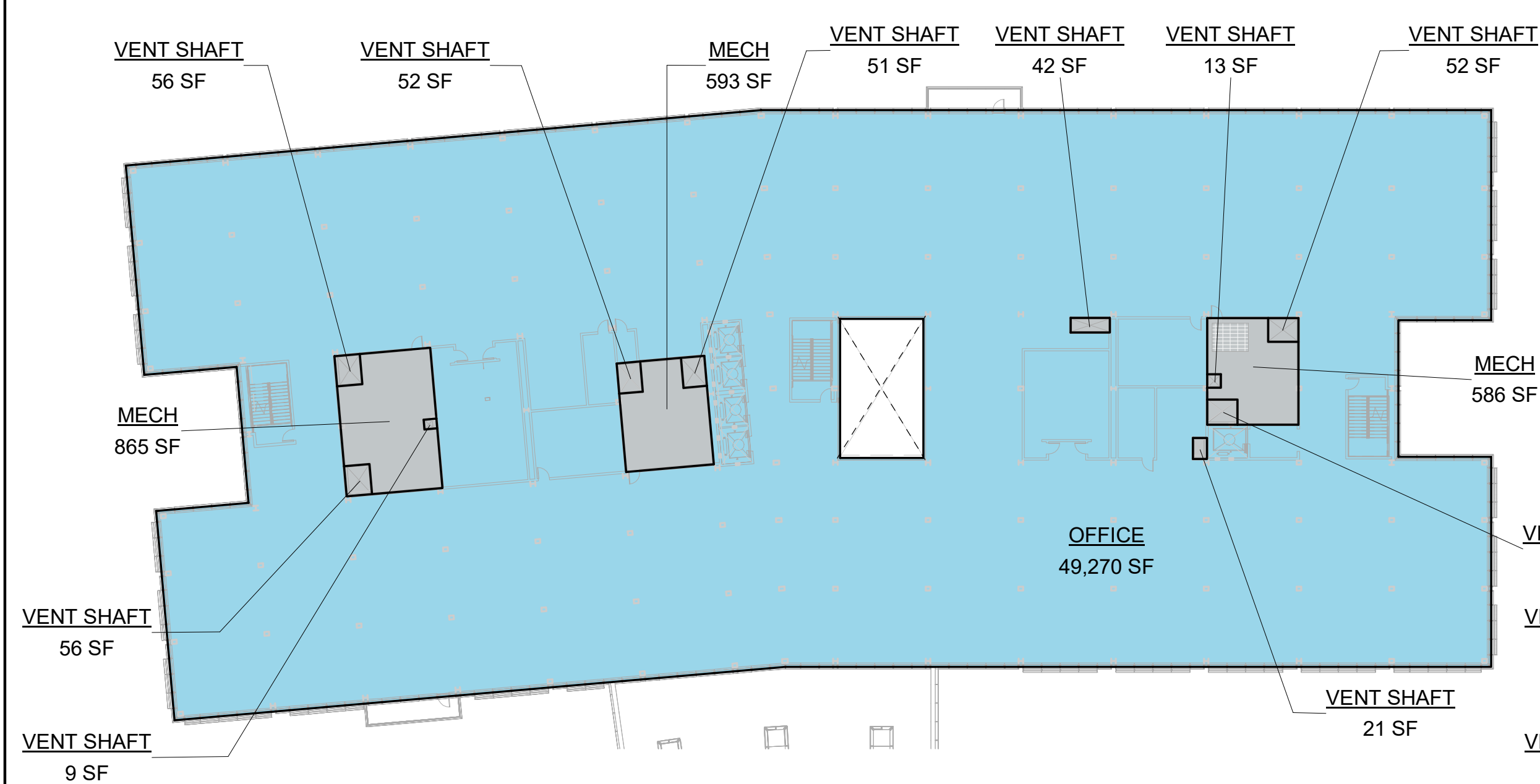
**GROSS FLOOR AREA - TOTAL RETAIL\***  
 \*Retail area not counted in Office GFA. See Master Plan CDP.  
**29,100 SF**



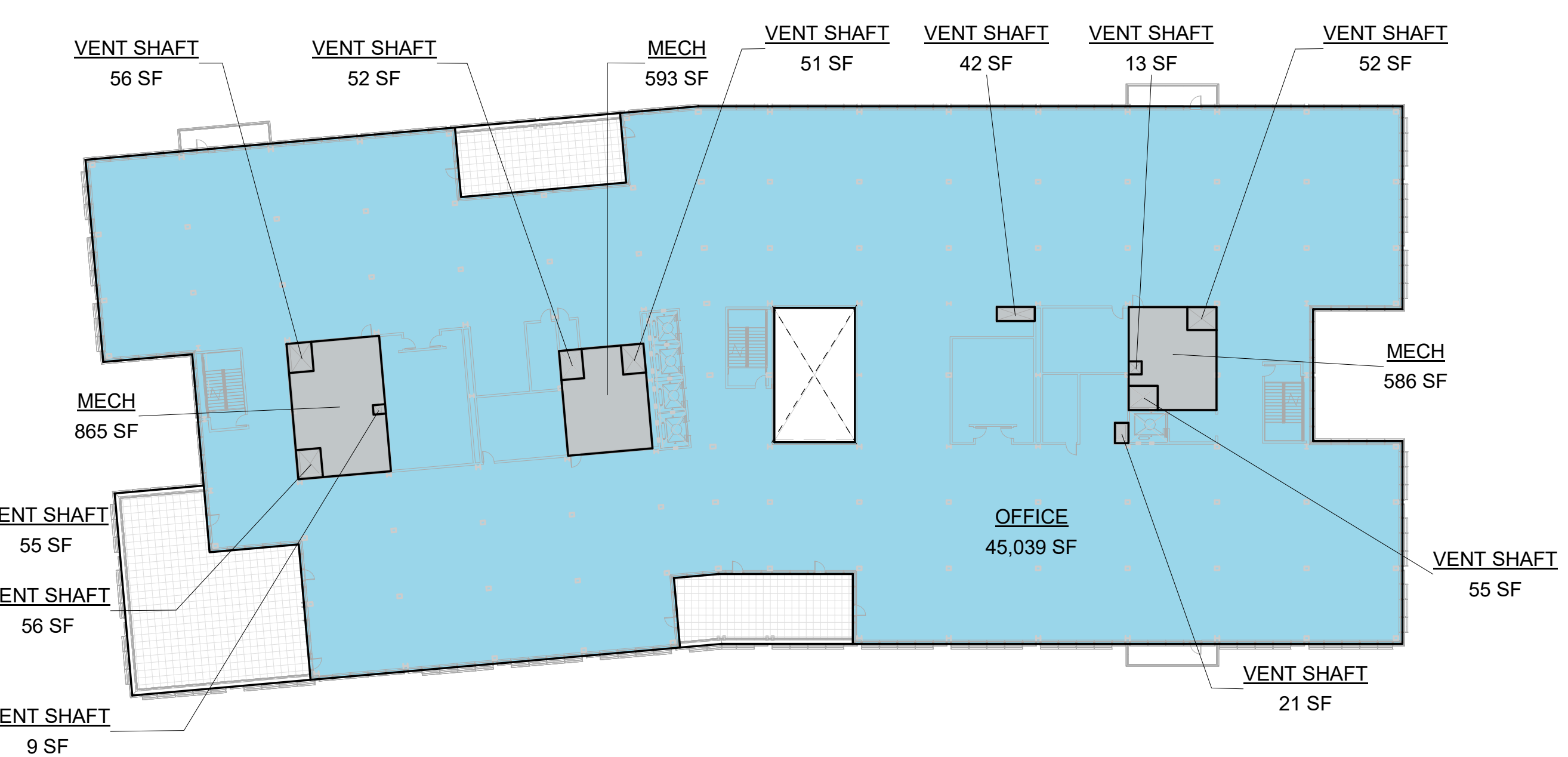
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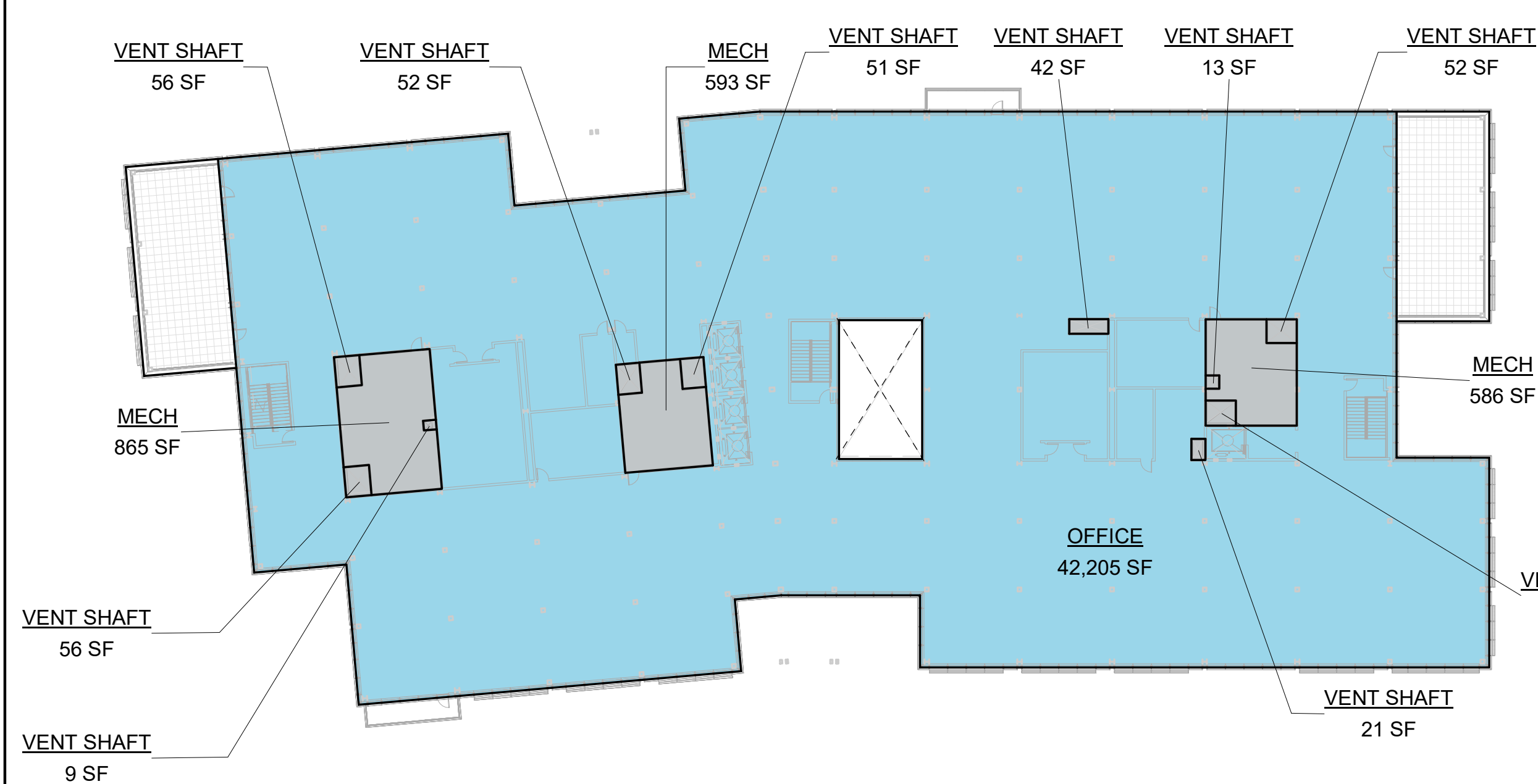
**2** LEVEL 2 - O5  
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**3** LEVEL 3 - O5  
 1/32" = 1'-0"



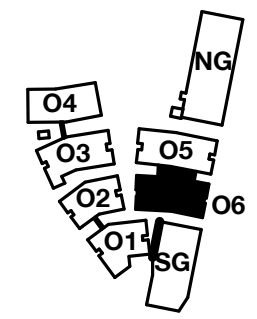
**4** LEVEL 4 - O5  
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**5** LEVEL 5 - O5  
 1/32" = 1'-0"

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SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/11/2022	ACP

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NO.	DATE	ISSUE

DRAWING TITLE:  
 Square Footage Plan -  
 Building 06

DRAWING NO:  
**A9.04.6**

**GROSS FLOOR AREA - O6 INCLUSIONS**

Name	Area
LEVEL 1	
OFFICE	47,287 SF
	47,287 SF
LEVEL 2	
OFFICE	44,686 SF
	44,686 SF
LEVEL 3	
OFFICE	44,008 SF
	44,008 SF
LEVEL 4	
OFFICE	40,921 SF
	40,921 SF
LEVEL 5	
OFFICE	38,087 SF
	38,087 SF
INCLUDED IN GFA PER ZONING CODE	214,989 SF

**GROSS FLOOR AREA - O6 EXCLUSIONS**

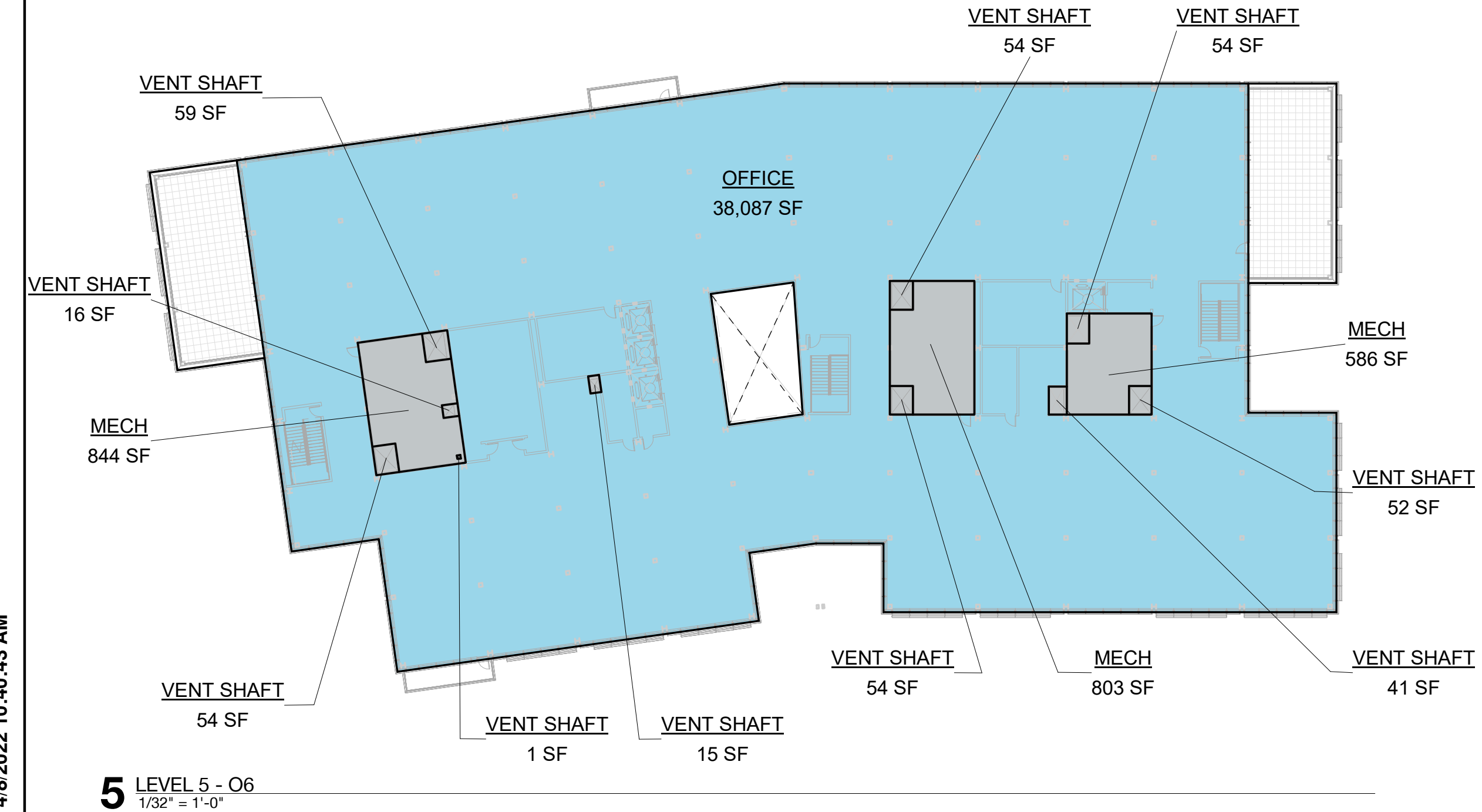
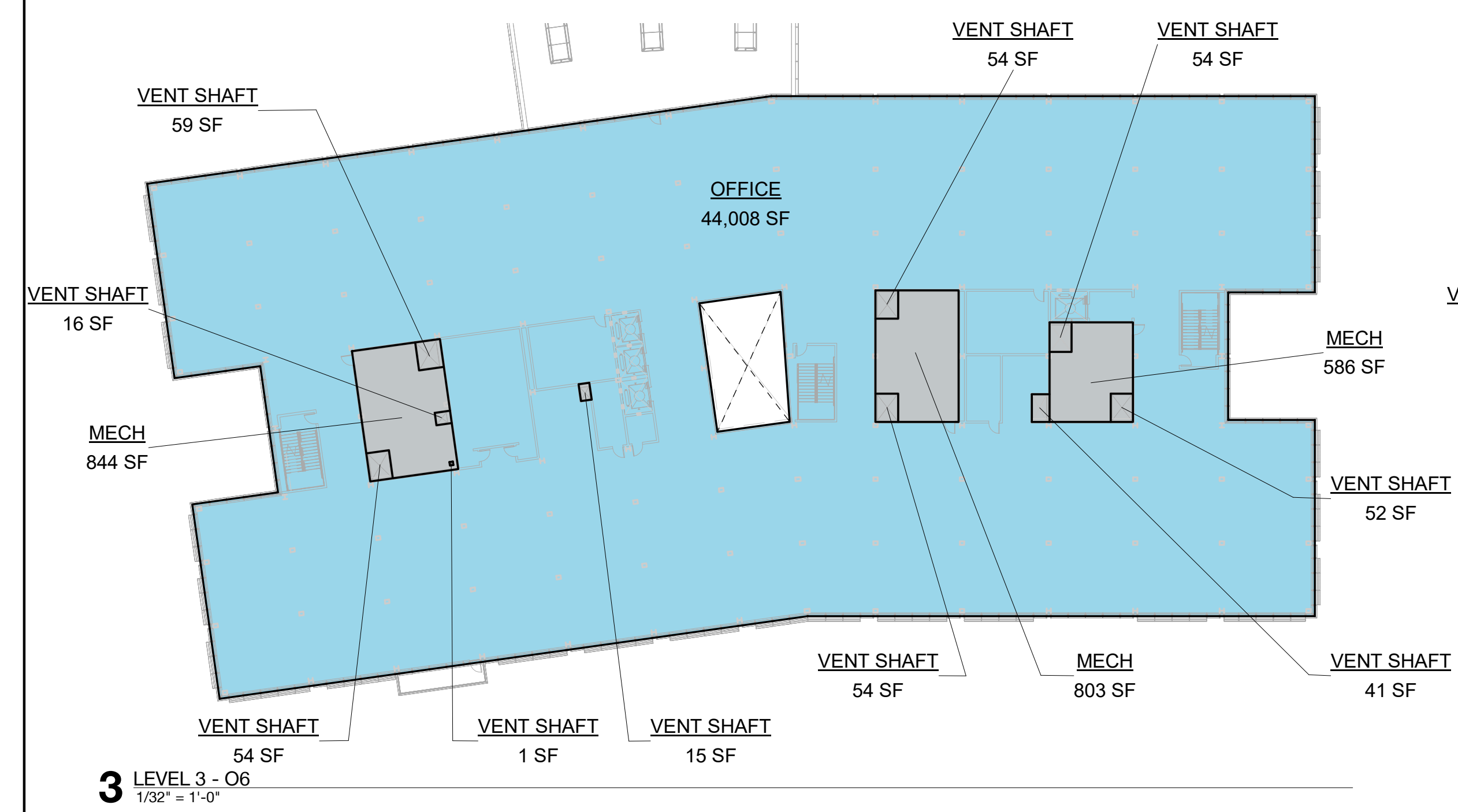
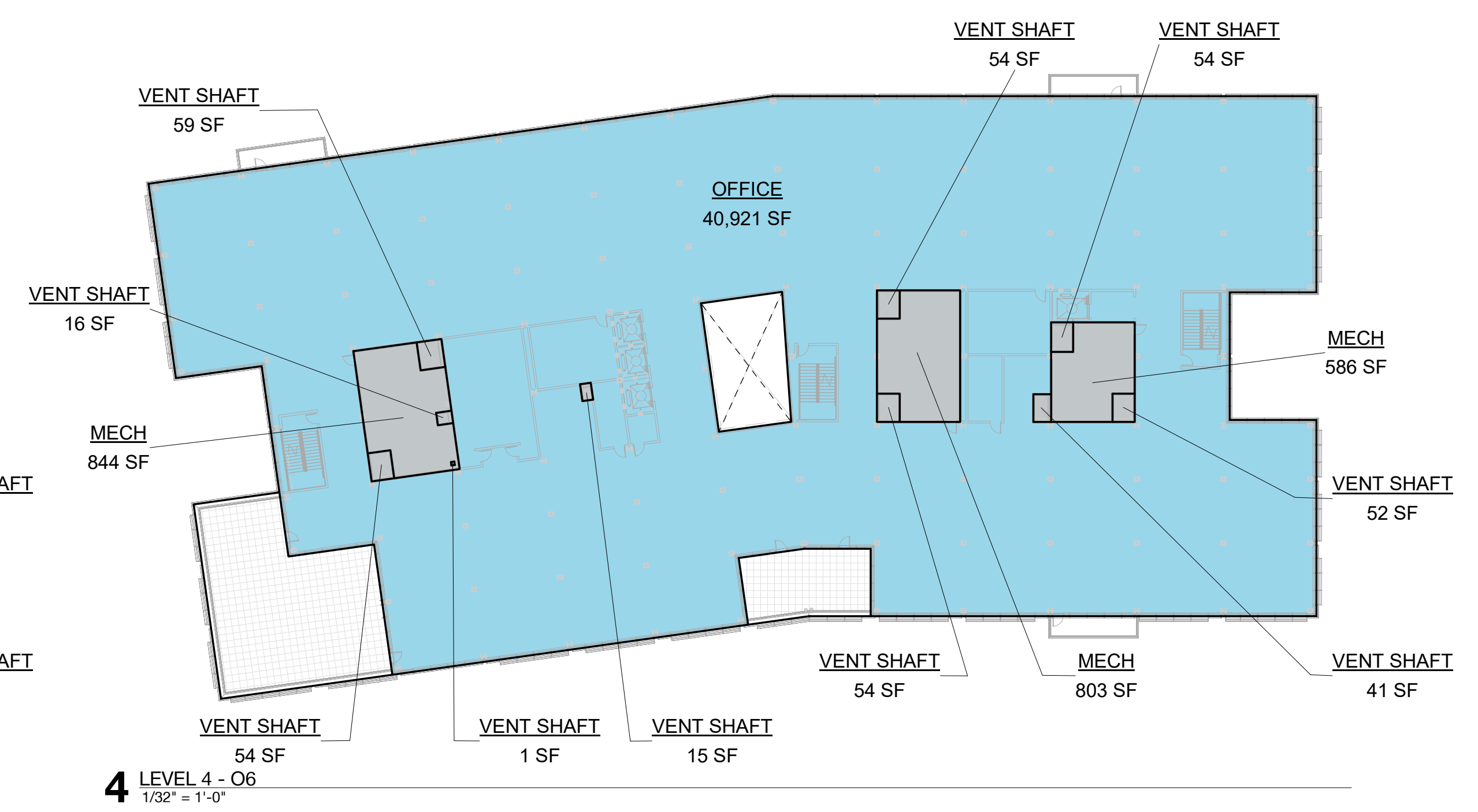
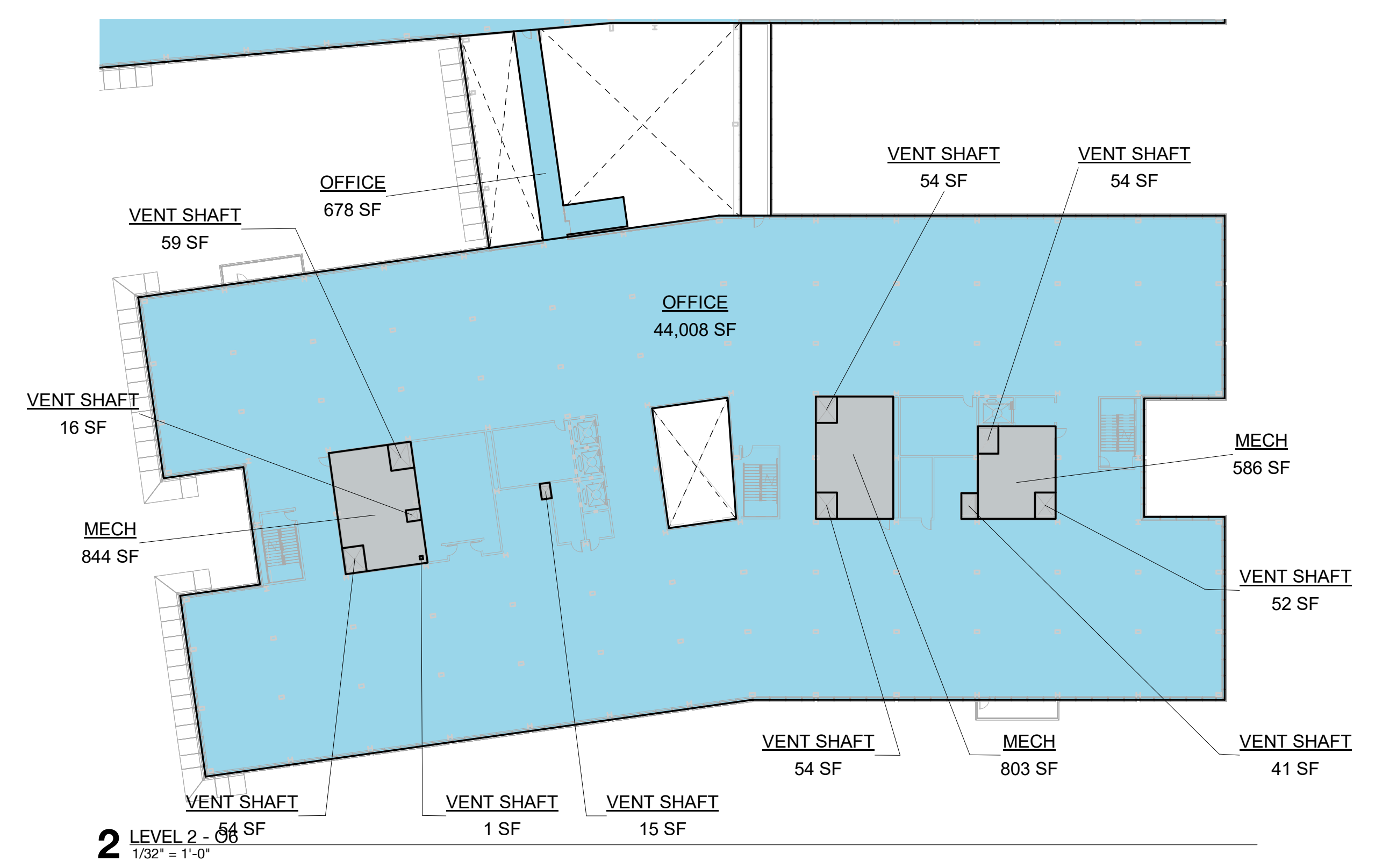
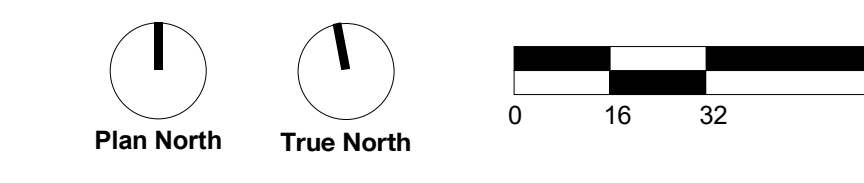
Name	Area
LEVEL 1	
MECH	2,581 SF
TRASH	2,689 SF
VENT SHAFT	41 SF
	5,311 SF
LEVEL 2	
MECH	2,234 SF
VENT SHAFT	399 SF
	2,633 SF
LEVEL 3	
MECH	2,234 SF
VENT SHAFT	399 SF
	2,633 SF
LEVEL 4	
MECH	2,234 SF
VENT SHAFT	399 SF
	2,633 SF
LEVEL 5	
MECH	2,234 SF
VENT SHAFT	399 SF
	2,633 SF
EXCLUDED IN GFA PER ZONING CODE	15,842 SF

**GFA BY LAND USE LEGEND**

SWATCH	USE
<span style="background-color: #e0e0e0; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Office
<span style="background-color: #ffcc99; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Retail
<span style="background-color: #ffcc99; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Circulation / Lobby / Common Area
<span style="background-color: #ffcc99; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Utility / Service
<span style="background-color: #e0e0e0; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Excluded from GFA

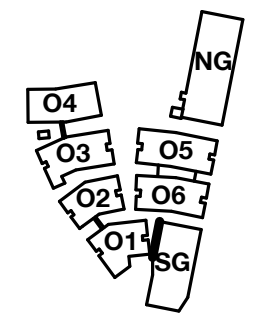
**GROSS FLOOR AREA - TOTAL OFFICE CAMPUS**  
**1,125,873 SF**

**GROSS FLOOR AREA - TOTAL RETAIL\***  
 \*Retail area not counted in Office GFA. See Master Plan CDP.  
**29,100 SF**



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PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
 Square Footage Plan - Pavilion

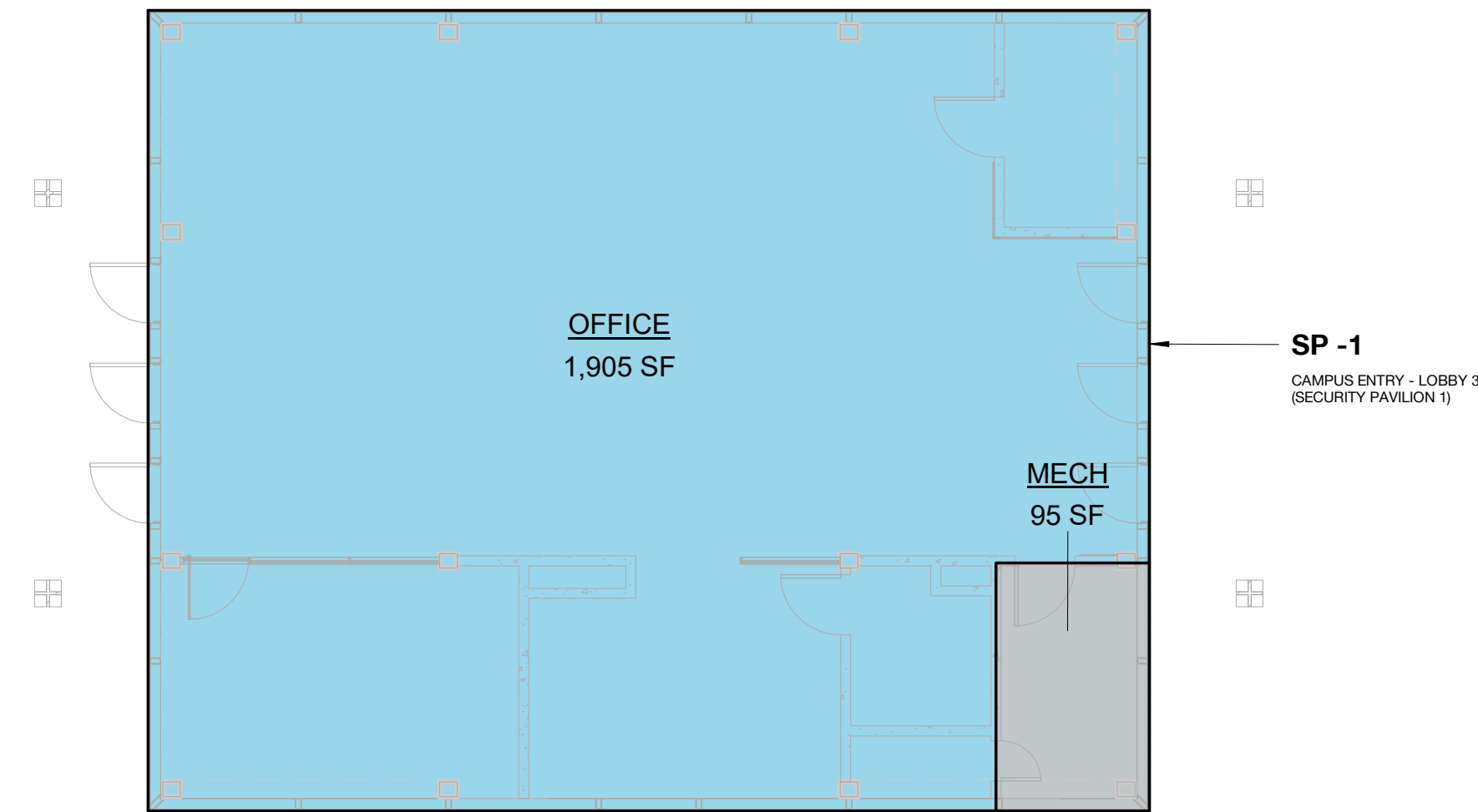
DRAWING NO:  
**A9.04.7**

**GROSS FLOOR AREA - PAVILION INCLUSIONS**

Name	Area
LEVEL 1	
OFFICE	1,905 SF
INCLUDED IN GFA PER ZONING CODE	1,905 SF

**GROSS FLOOR AREA - PAVILION EXCLUSIONS**

Name	Area
LEVEL 1	
MECH	95 SF
EXCLUDED IN GFA PER ZONING CODE	95 SF

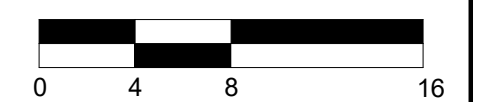


**1** LEVEL 1 - SP1  
 1/8" = 1'-0"

GFA BY LAND USE LEGEND	
SWATCH	USE
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<span style="display:inline-block; width:10px; height:10px; background-color:orange;"></span>	Retail
<span style="display:inline-block; width:10px; height:10px; background-color:yellow;"></span>	Circulation / Lobby / Common Area
<span style="display:inline-block; width:10px; height:10px; background-color:lightgrey;"></span>	Utility / Service
<span style="display:inline-block; width:10px; height:10px; background-color:darkgrey;"></span>	Excluded from GFA

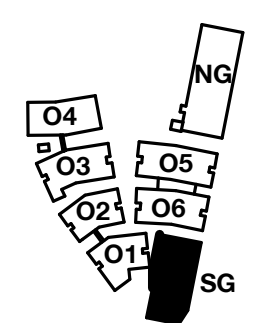
**GROSS FLOOR AREA - TOTAL OFFICE CAMPUS**  
 1,125,873 SF

**GROSS FLOOR AREA - TOTAL RETAIL\***  
\*Retail area not counted in Office GFA. See Master Plan CDP.  
 29,100 SF



Note : See A9.04.9 Square Footage Plans for SP-2 (Security Pavilion 2)





PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
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REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
 Square Footage Plan -  
 South Garage

DRAWING NO:  
**A9.04.8**

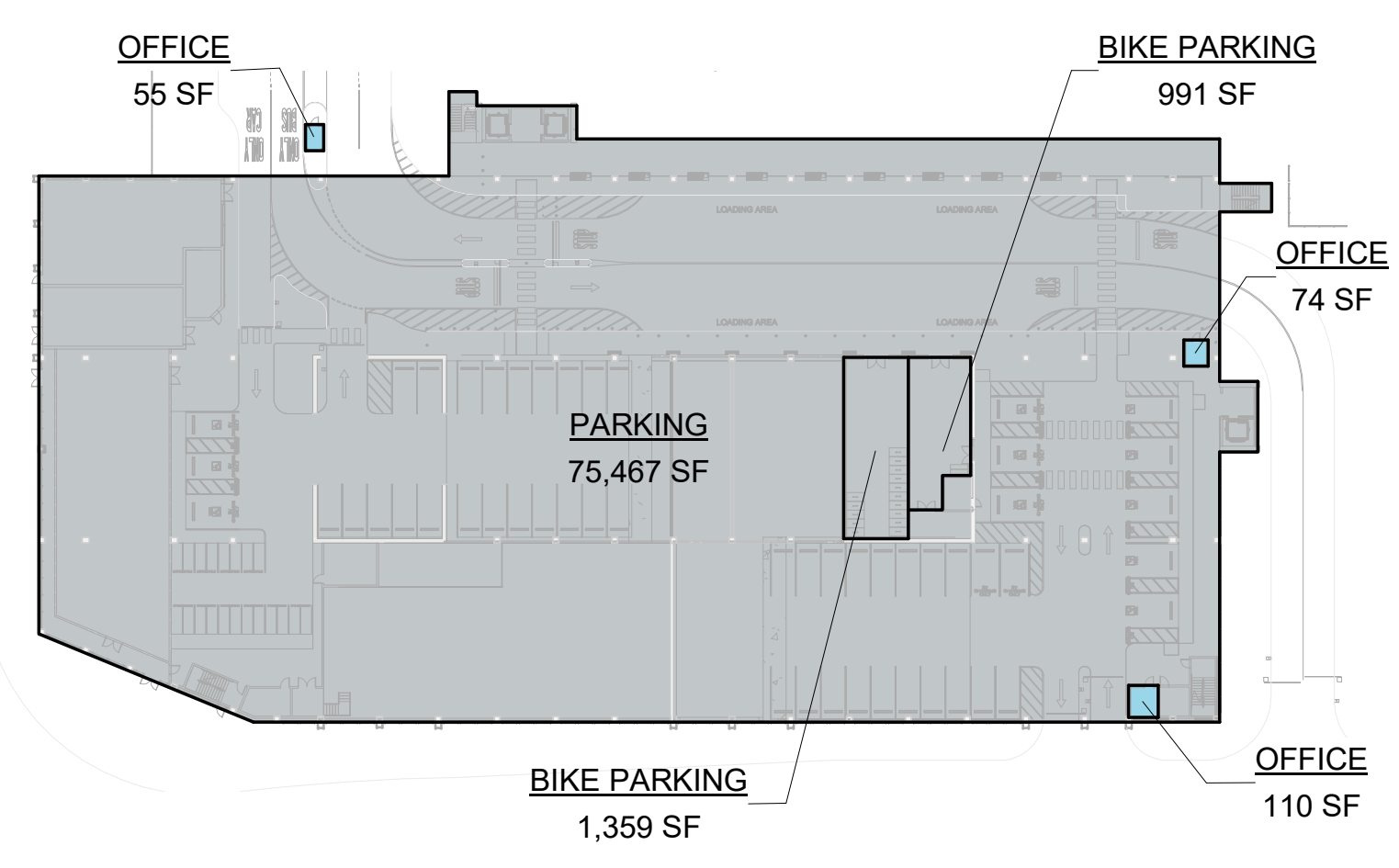
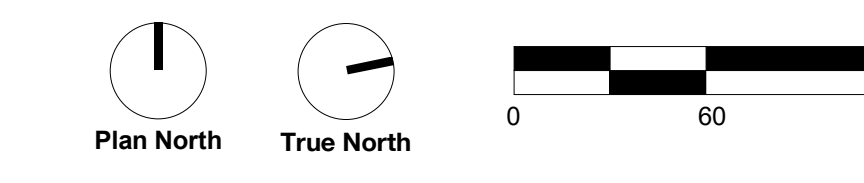
GROSS FLOOR AREA - SG INCLUSIONS	
Name	Area
SG LEVEL 1	
OFFICE	239 SF
INCLUDED IN GFA PER ZONING CODE	239 SF

GROSS FLOOR AREA - SG EXCLUSIONS	
Name	Area
SG LEVEL 1	
BIKE PARKING	2,350 SF
PARKING	75,467 SF
SG LEVEL 2	77,816 SF
PARKING	44,777 SF
SG LEVEL 3	44,777 SF
PARKING	75,897 SF
SG LEVEL 4	75,897 SF
PARKING	75,156 SF
SG LEVEL 5	75,156 SF
PARKING	75,156 SF
SG LEVEL 6	
PARKING	62,252 SF
SG LEVEL 7	
PARKING	57,535 SF
EXCLUDED FROM GFA PER ZONING CODE	468,588 SF

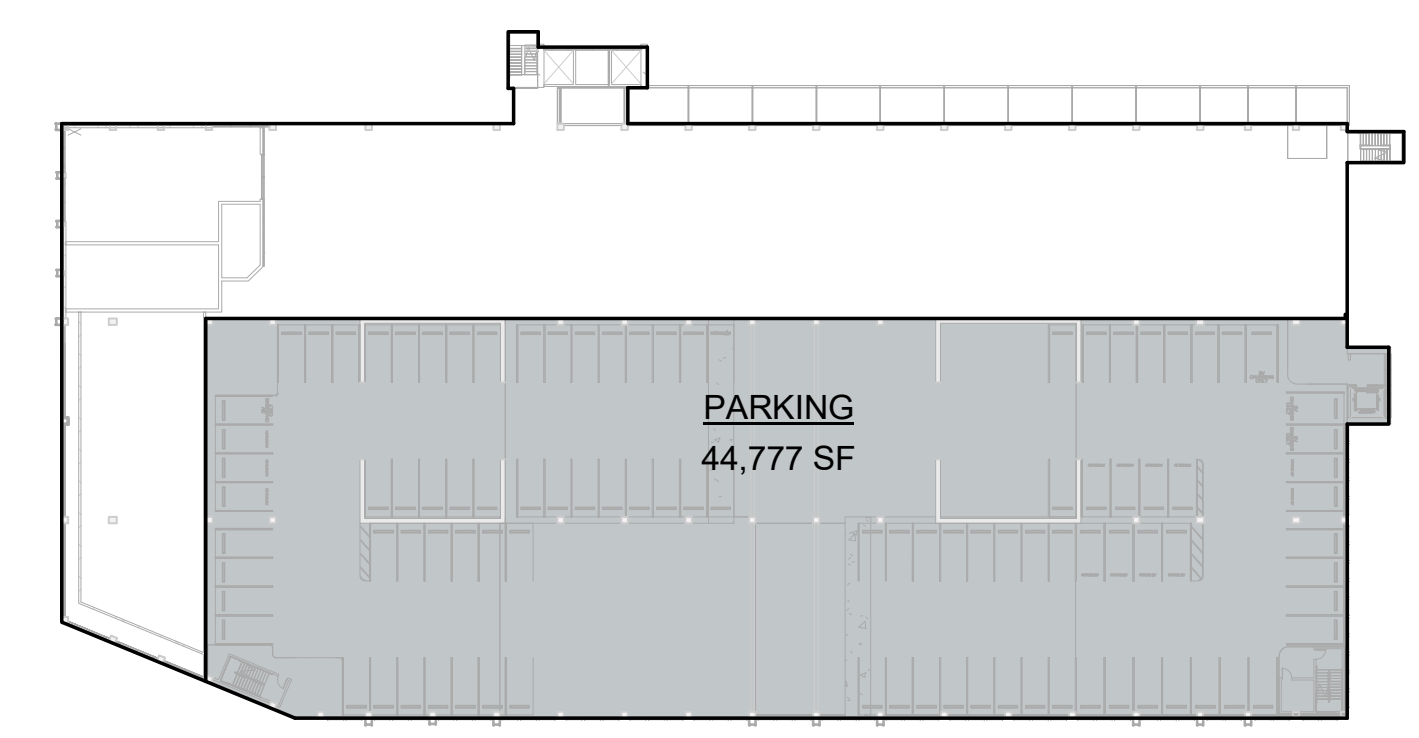
GFA BY LAND USE LEGEND	
SWATCH	USE
	Office
	Retail
	Circulation / Lobby / Common Area
	Utility / Service
	Excluded from GFA

**GROSS FLOOR AREA - TOTAL OFFICE CAMPUS**  
 1,125,873 SF

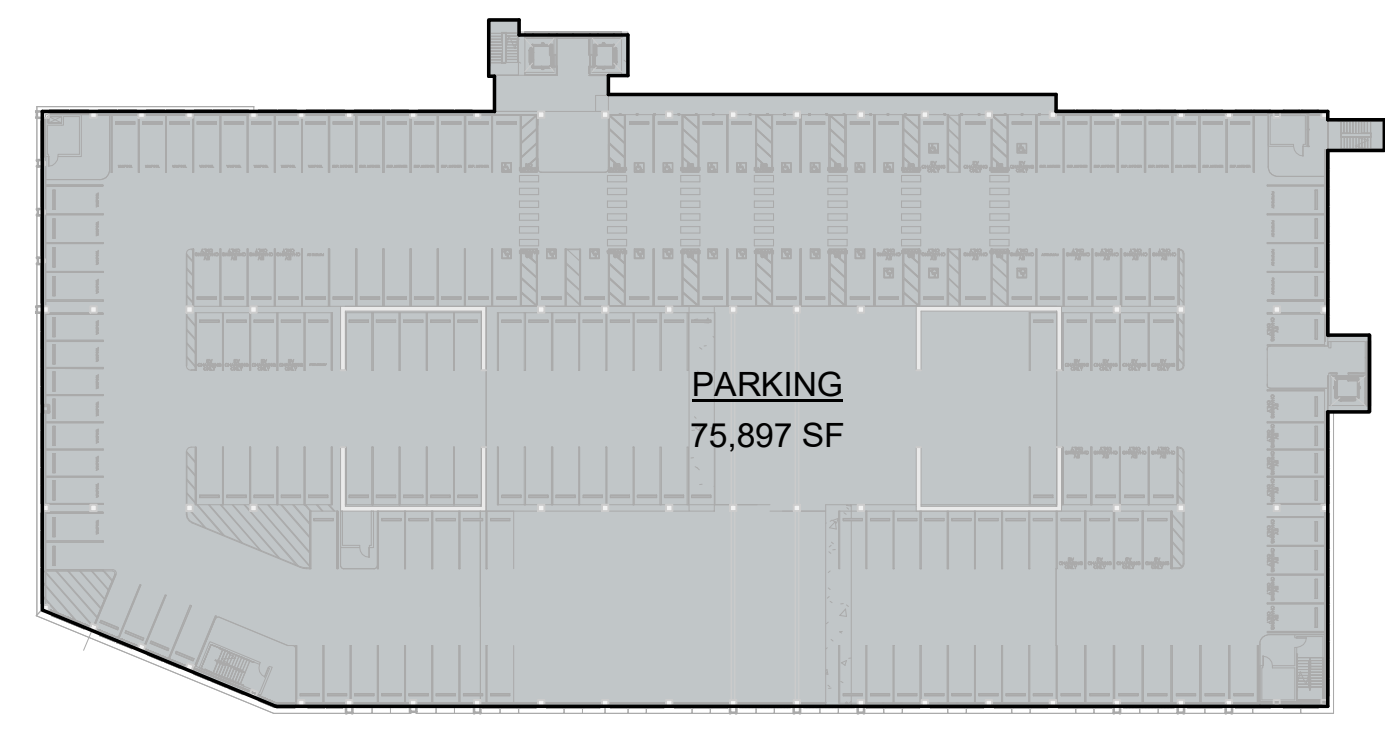
**GROSS FLOOR AREA - TOTAL RETAIL\***  
\*Retail area not counted in Office GFA. See Master Plan CDP.  
 29,100 SF



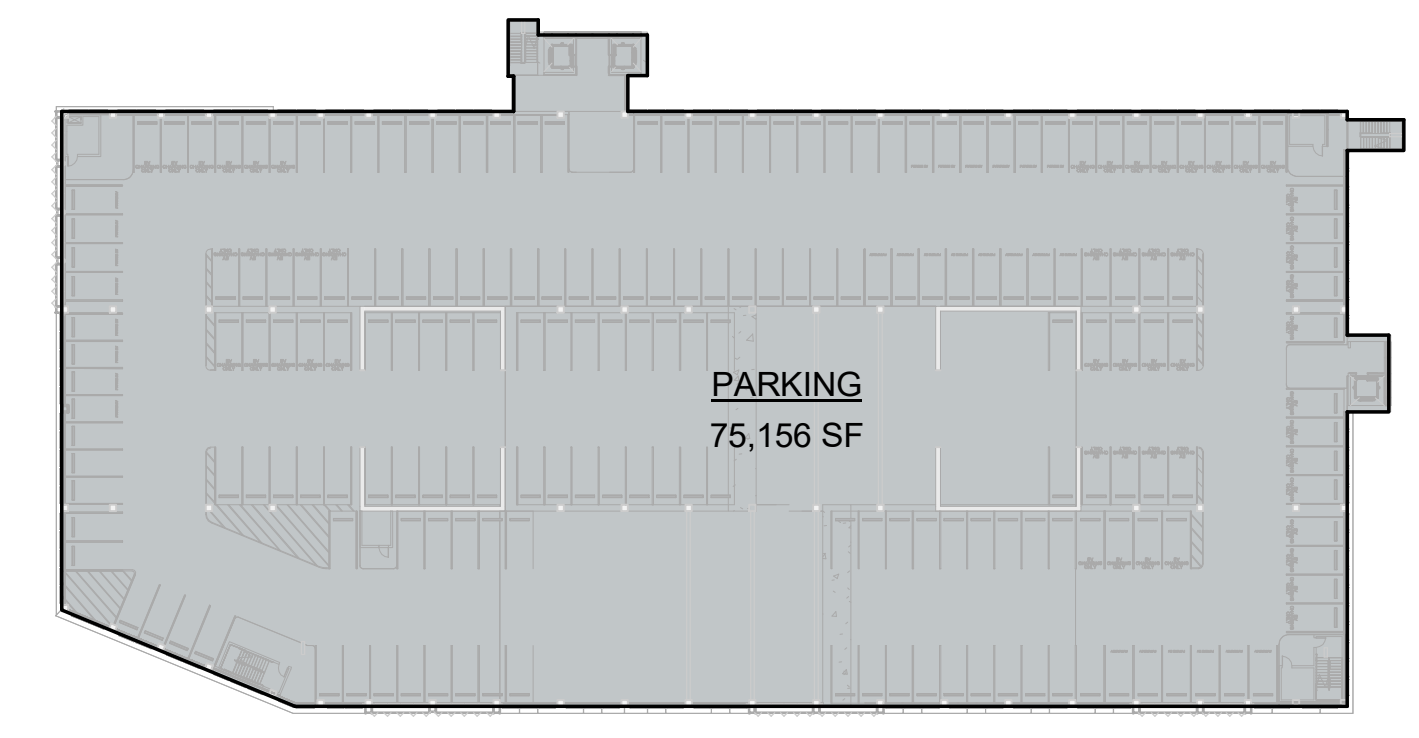
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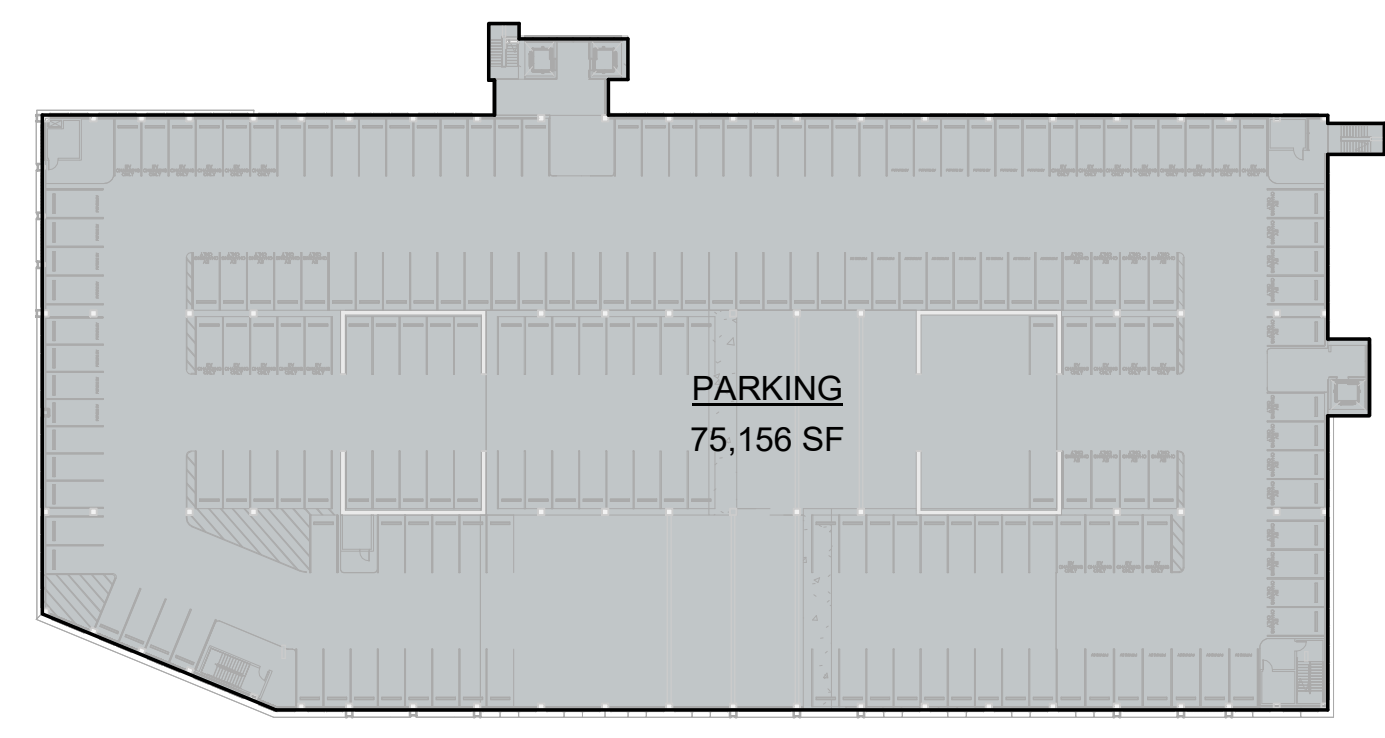
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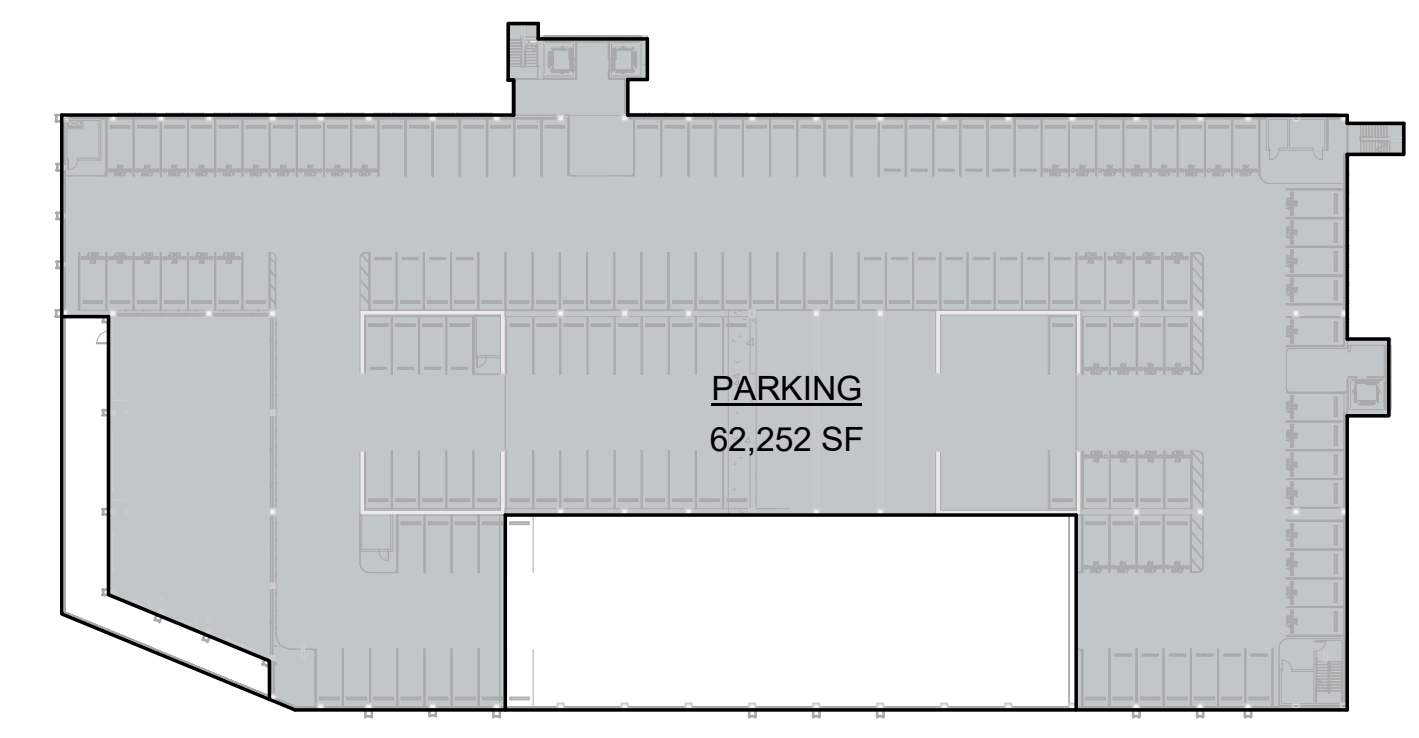
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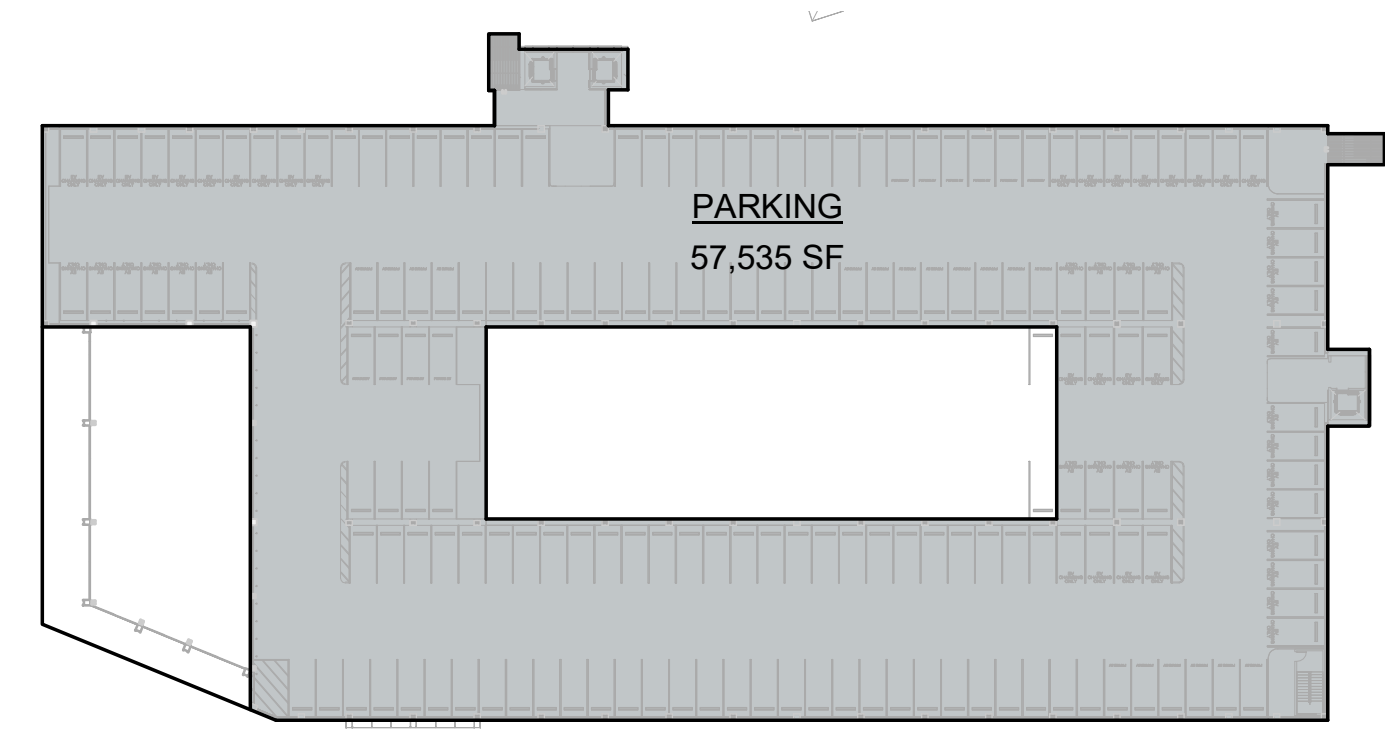
**4** SG LEVEL 4 - GFA  
 1" = 60'-0"



**5** SG LEVEL 5 - GFA  
 1" = 60'-0"

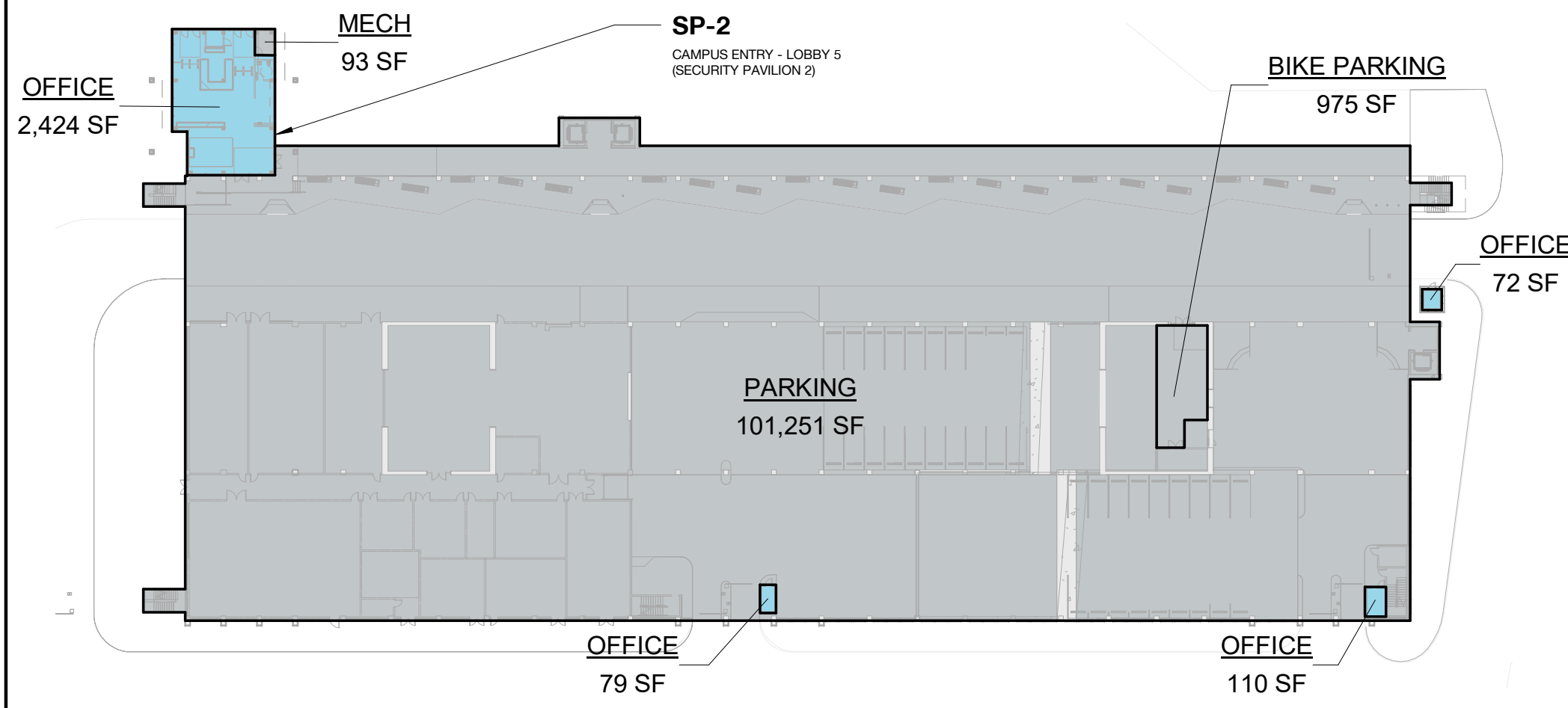


**6** SG LEVEL 6 - GFA  
 1" = 60'-0"

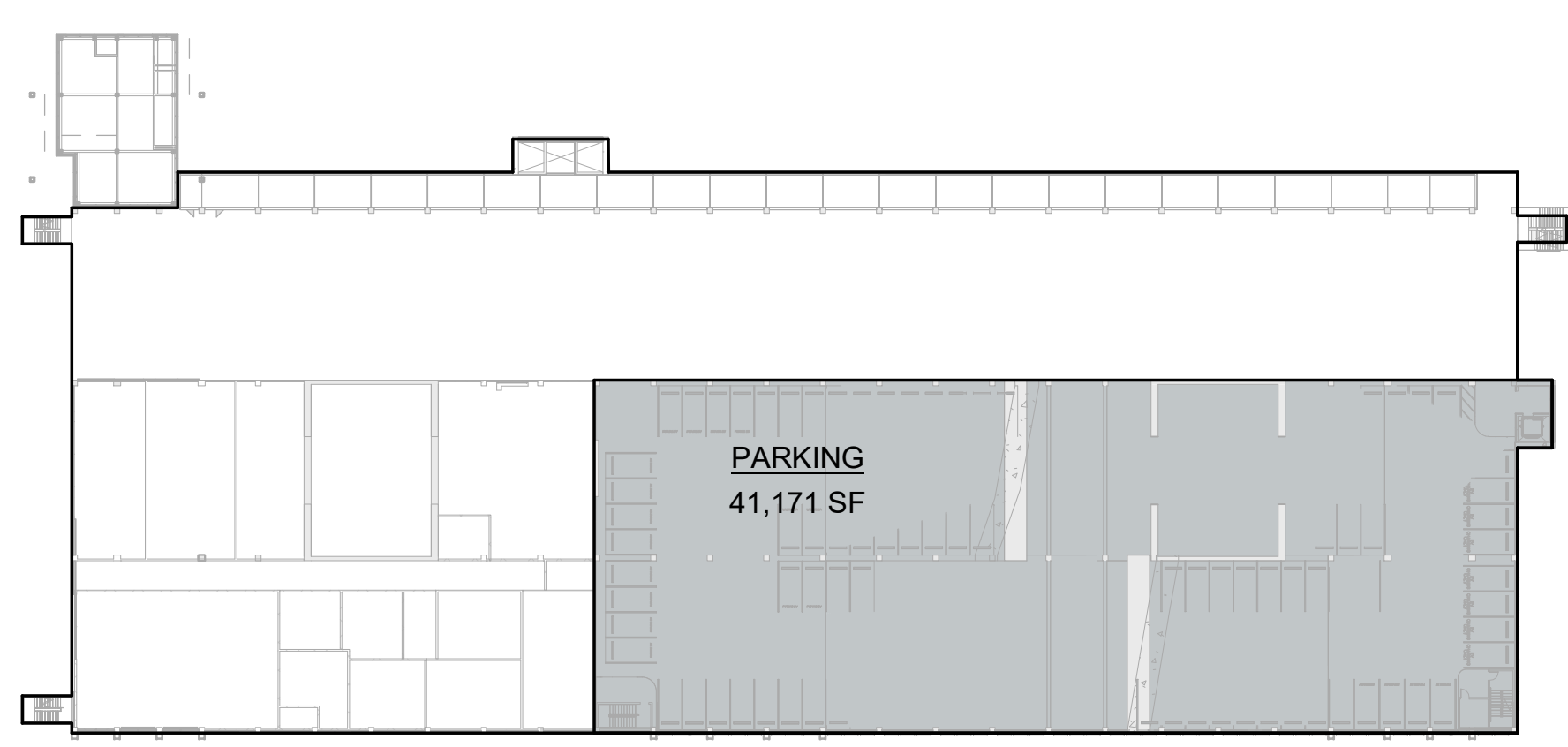


**7** SG LEVEL 7 - GFA  
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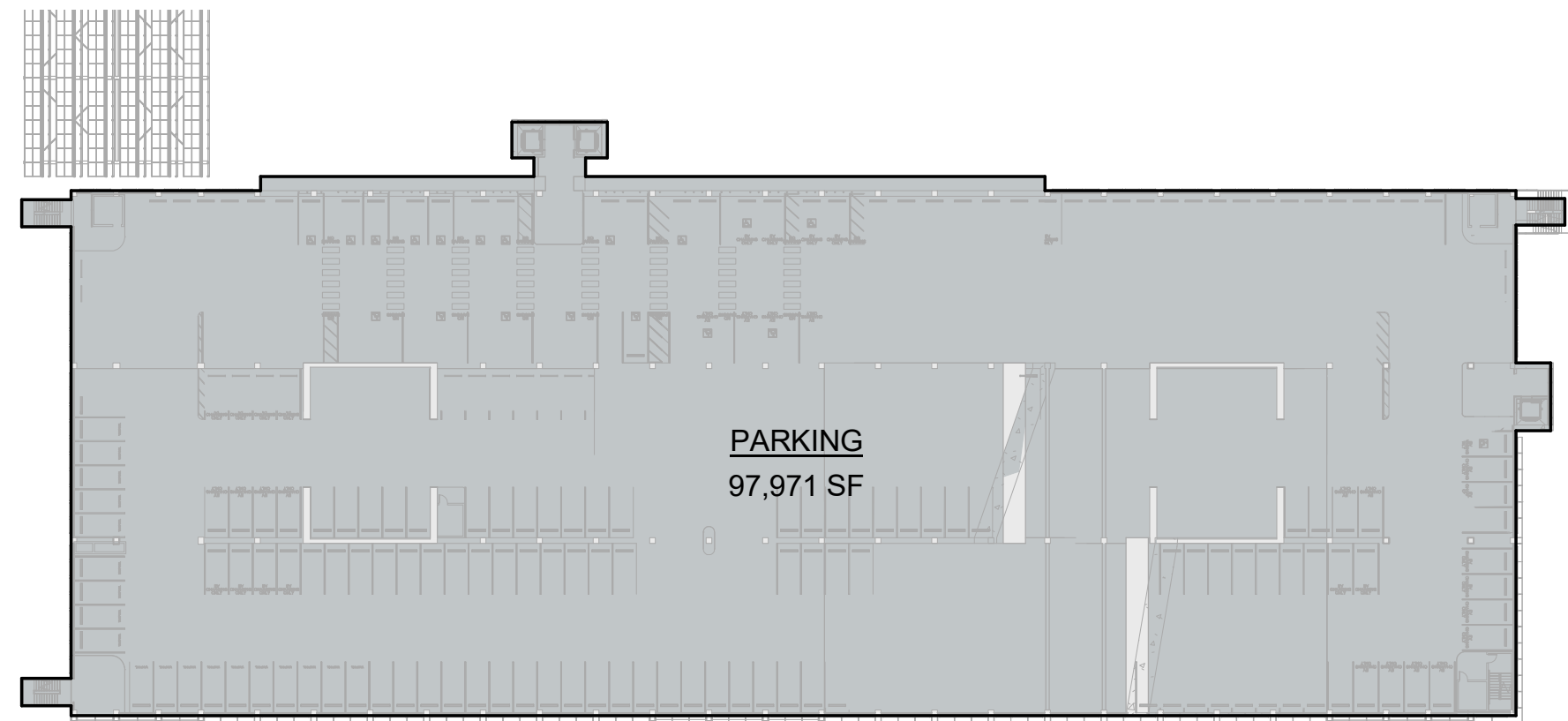




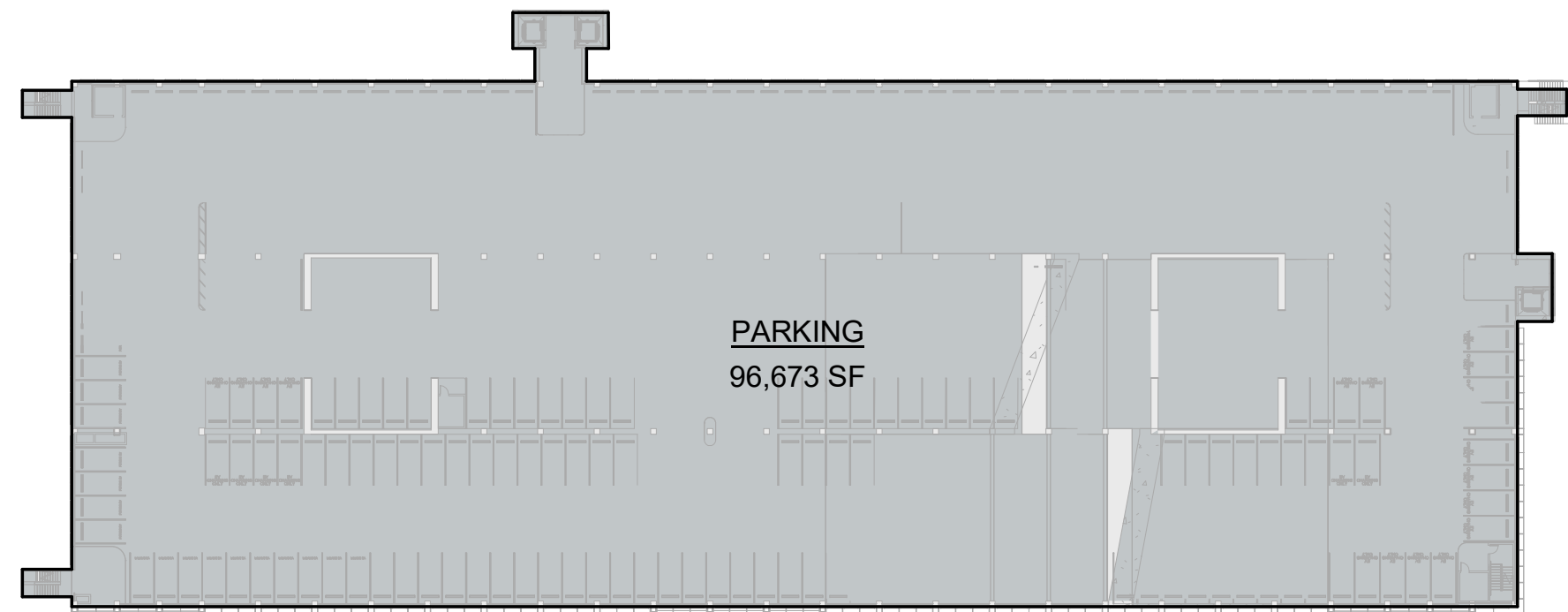
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1" = 60'-0"



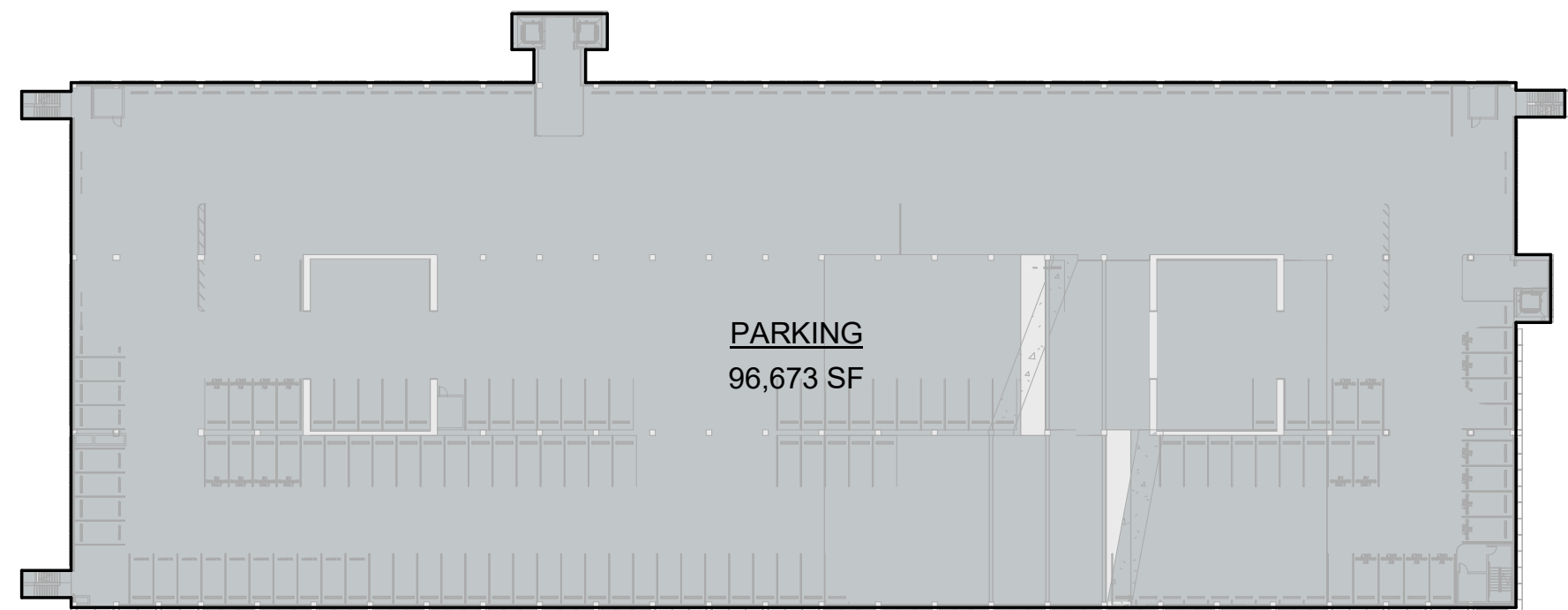
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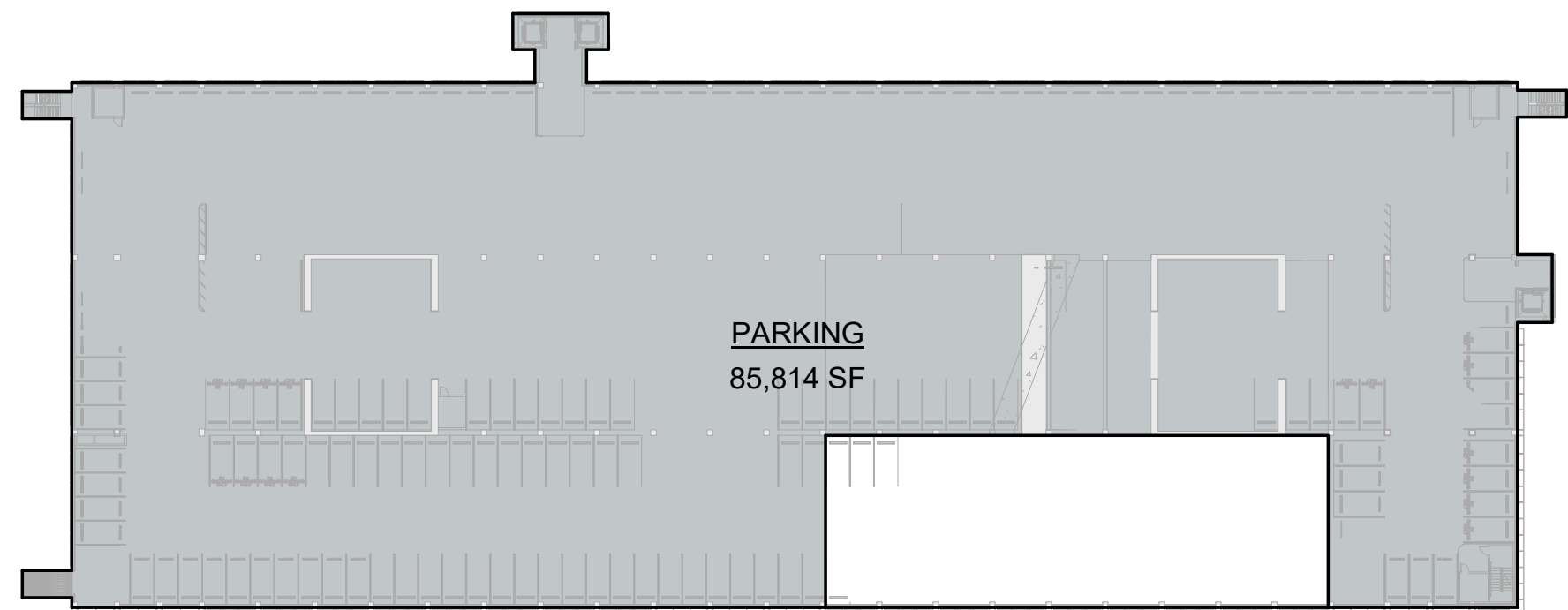
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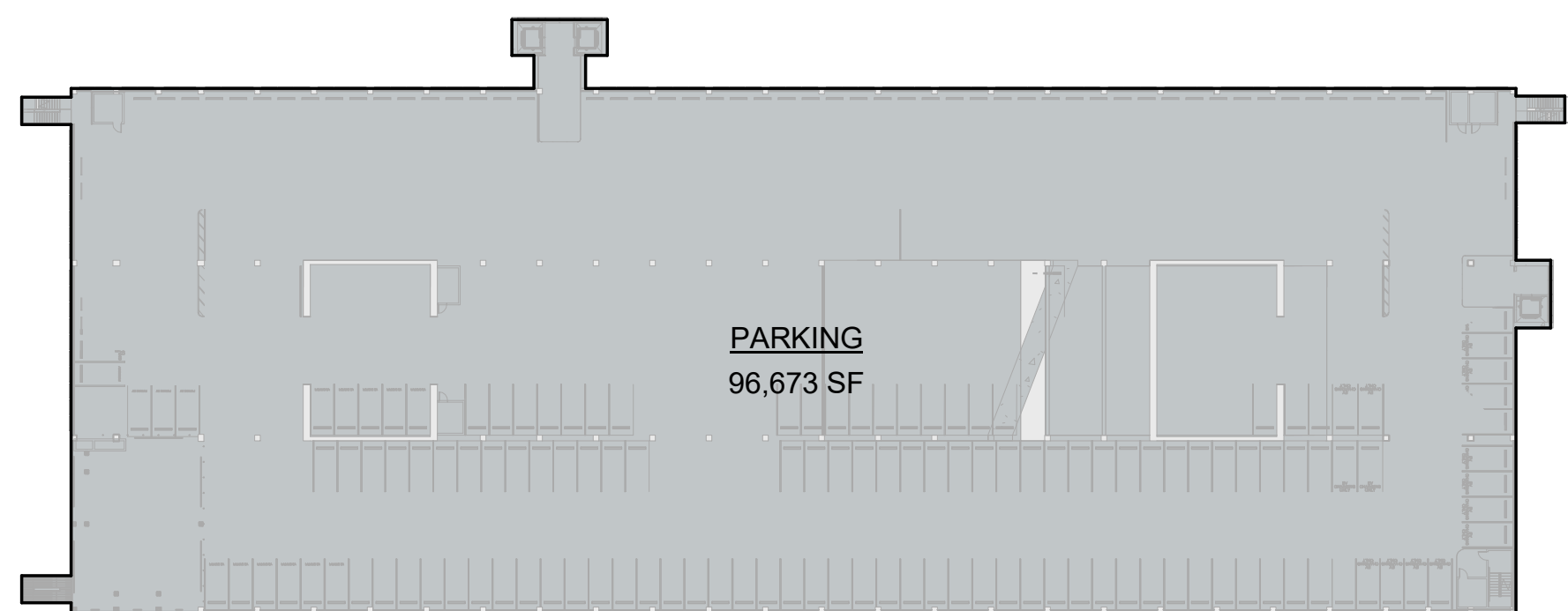
**4** NG LEVEL 4 - GFA  
1" = 60'-0"



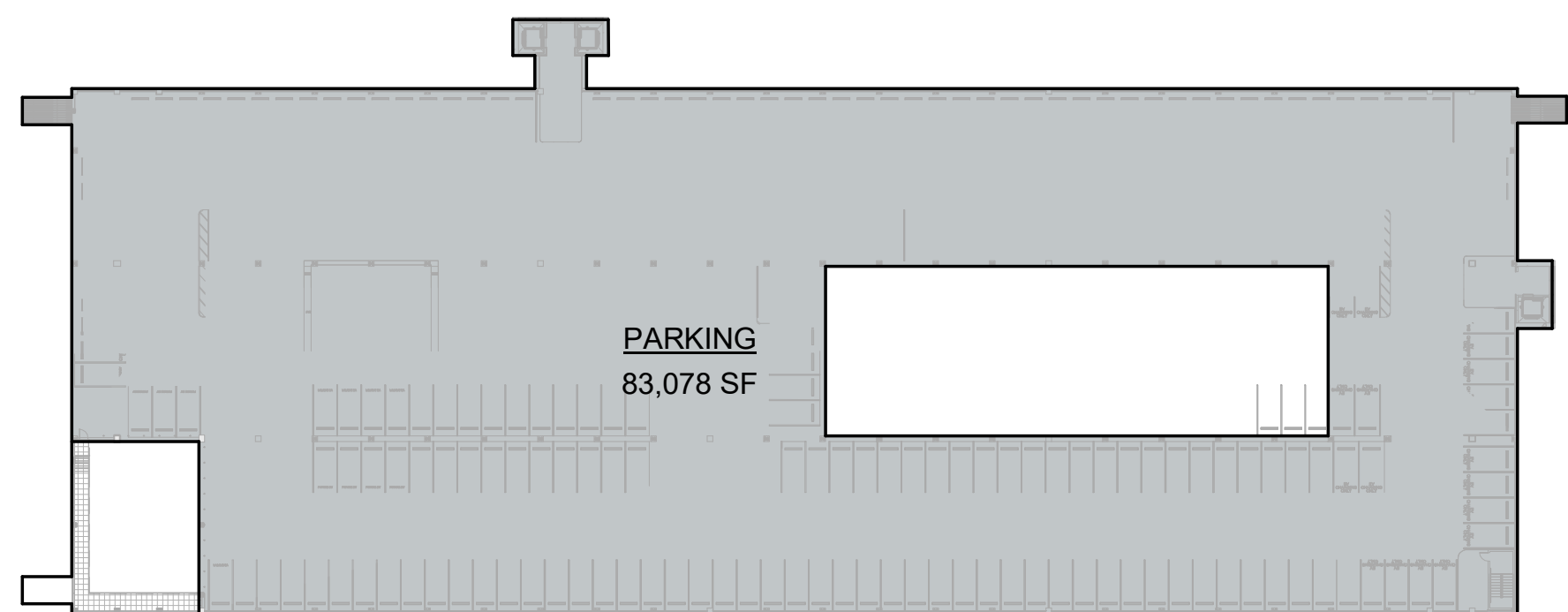
**5** NG LEVEL 5 - GFA  
1" = 60'-0"



**6** NG LEVEL 6 - GFA  
1" = 60'-0"



**7** NG LEVEL 7 - GFA  
1" = 60'-0"



**8** NG LEVEL 8 - GFA  
1" = 60'-0"

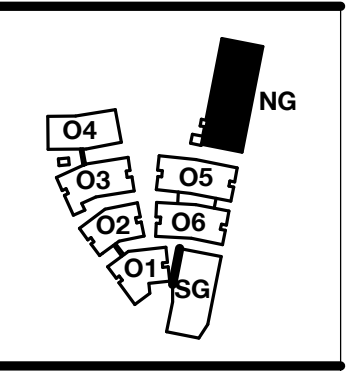
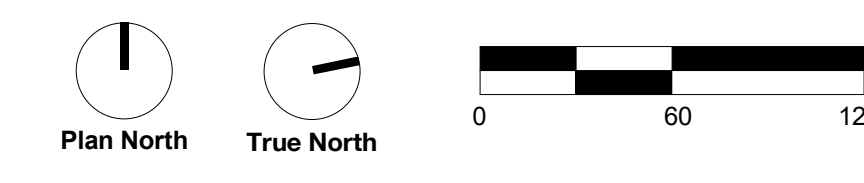
GROSS FLOOR AREA - NG INCLUSIONS	
Name	Area
NG LEVEL 1 OFFICE	2,685 SF
INCLUDED IN GFA PER ZONING CODE	2,685 SF

GROSS FLOOR AREA - NG EXCLUSIONS	
Name	Area
NG LEVEL 1 BIKE PARKING	975 SF
MECH	93 SF
PARKING	101,251 SF
NG LEVEL 2 PARKING	41,171 SF
NG LEVEL 3 PARKING	97,971 SF
NG LEVEL 4 PARKING	96,673 SF
NG LEVEL 5 PARKING	96,673 SF
NG LEVEL 6 PARKING	85,814 SF
NG LEVEL 7 PARKING	96,673 SF
NG LEVEL 8 PARKING	83,078 SF
EXCLUDED FROM GFA PER ZONING CODE	700,371 SF

GFA BY LAND USE LEGEND	
SWATCH	USE
[Blue]	Office
[Red]	Retail
[Orange]	Circulation / Lobby / Common Area
[Yellow]	Utility / Service
[Grey]	Excluded from GFA

**GROSS FLOOR AREA - TOTAL OFFICE CAMPUS**  
1,125,873 SF

**GROSS FLOOR AREA - TOTAL RETAIL\***  
\*Retail area not counted in Office GFA. See Master Plan CDP.  
29,100 SF



**WILLOW VILLAGE**  
Architectural Control Package - Parcel 1 (Portion)  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
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04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
Square Footage Plan - North Garage

DRAWING NO:  
**A9.04.9**

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# APPENDIX 2

## PARCEL 1-8 ILLUSTRATIVE BUILDING HEIGHT

Diagrams included in this CDP are conceptual.  
Compliance will be reviewed with the  
Architectural Control Plans (ACPs).



## BUILDING HEIGHT

### Menlo Park Municipal Code 16.04.330 Definitions

Except as otherwise provided in this chapter, "height of structure" means the vertical distance from the average level of the highest and lowest points of the natural grade of the portion of the lot covered by the structure to the topmost point of the structure, excluding elevator equipment rooms, ventilating and air conditioning equipment and chimneys. (Ord. 938 § 1 (part), 2005; Ord. 822 § 2 (part), 1991; Prior code § 30.232)

### Menlo Park Municipal Code 16.45.050 Development Regulations

Height: 52.5 feet; Maximum Height: 70 feet  
A parapet used to screen mechanical equipment is not included in the height or maximum height. The maximum allowed height for rooftop mechanical equipment is 14 feet, except for elevator towers and associated equipment, which may be 20 feet.  
Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot increase in height and maximum height.

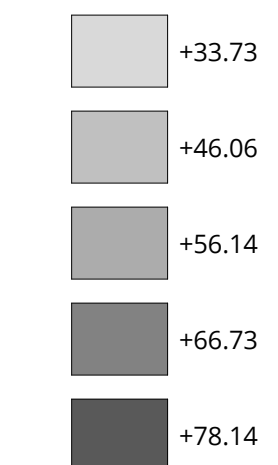
**Proposal / Notes:** This project is subject to flooding and sea level rise, and therefore qualifies for the 10-foot increase in height and maximum height. See below for calculations.

## BUILDING HEIGHT CALCUATIONS

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
3	9.19	14.00	4.81	28.92	33.73	39,799.00	1,342,420.27
4	9.19	14.00	4.81	41.25	46.06	205.00	9,442.30
5	9.19	14.00	4.81	51.33	56.14	2,855.00	160,279.70
6	9.19	14.00	4.81	61.92	66.73	17,207.00	1,148,223.11
Roof	9.19	14.00	4.81	73.33	78.14	57,317.00	4,478,750.38
Total						117,383.00	7,139,115.76
<b>Weighted Average Height (ft)</b>						60.82	
<b>Proposed Maximum Height (ft)</b>						78.14	



## BUILDING HEIGHT KEY



## ROOF PLAN - BUILDING HEIGHT DIAGRAM

1/32" = 1'-0"

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

### MILESTONES

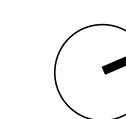
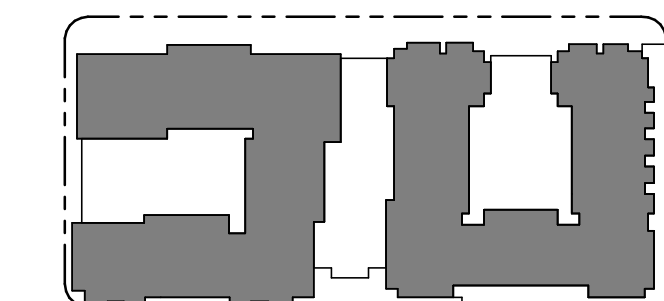
DATE	ISSUE
4/11/2022	ACP

### REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
**BUILDING HEIGHT ANALYSIS PLAN**

DRAWING NO:  
**\*A9.05**





# BUILDING HEIGHT

HEIGHT REGULATIONS PER CITY OF MENLO PARK  
MUNICIPAL CODE

PROPOSAL / NOTES: THIS PROJECT IS SUBJECT TO FLOODING AND SEA LEVEL RISE, AND THEREFORE QUALIFIES FOR THE 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT. SEE BELOW FOR CALCULATIONS.

HEIGHT OF STRUCTURE - 16.04.330

EXCEPT AS OTHERWISE PROVIDED IN THIS CHAPTER, EIGHT OF STRUCTURE" MEANS THE VERTICAL DISTANCE FROM THE AVERAGE LEVEL OF THE HIGHEST AND LOWEST POINT OF THE NATURAL GRADE OF THE PORTION OF THE LOT COVERED BY THE STRUCTURE TO THE TOPMOST POINT OF THE STRUCTURE, EXCLUDING ELEVATOR EQUIPMENT ROOMS, VENTILATING AND AIR CONDITIONING EQUIPMENT AND CHIMNEYS.

- MAXIMUM HEIGHT  
16.45.050 (70-FT. + 10-FT.=80-FT.)

BONUS LEVEL DEVELOPMENTS SHALL NOT EXCEED 70-FEET IN HEIGHT, EXCEPT THAT PROPERTIES WITHIN THE FLOOD ZONE OR SUBJECT TO FLOODING AND SEA LEVEL RISE ARE ALLOWED A 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.

- MAXIMUM AVERAGE HEIGHT  
16.45.050 (52.5-FT. + 10-FT. = 62.5-FT.)

BONUS LEVEL DEVELOPMENTS SHALL NOT EXCEED 52.5-FEET IN AVERAGE HEIGHT, EXCEPT THAT PROPERTIES WITHIN THE FLOOD ZONE OR SUBJECT TO FLOODING ARE SEA LEVEL RISE ARE ALLOWED A 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.



## LEGEND

- +32.48
- +42.81
- +53.15
- +63.48
- +73.81
- +84.15

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
Level 3	9.35	14.50	5.15	27.33	32.48	24,469	794,753
Level 4	9.35	14.50	5.15	37.66	42.81	418	17,895
Level 5	9.35	14.50	5.15	48.00	53.15	1,661	88,282
Level 6	9.35	14.50	5.15	58.33	63.48	5,457	346,410
Level 7	9.35	14.50	5.15	68.66	73.81	4,888	360,783
Roof	9.35	14.50	5.15	79.00	84.15	61,124	5,143,585
<b>Total</b>						<b>98,017</b>	<b>6,751,708</b>
<b>Weighted Average Height (ft)</b>						68.88	
<b>Proposed Maximum Height (ft)</b>						84.15	

16.04.330 Height of structure.	Except as otherwise provided in this chapter, "height of structure" means the vertical distance from the average level of the highest and lowest points of the natural grade of the portion of the lot covered by the structure to the topmost point of the structure, excluding elevator equipment rooms, ventilating and air conditioning equipment and chimneys. (Ord. 938 § 1 (part), 2005: Ord. 822 § 2 (part), 1991: Prior code § 30.232)
16.45.050 Development regulations.	Height: 52.5 feet; Maximum height: 70 feet A parapet used to screen mechanical equipment is not included in the height or maximum height. The maximum allowed height for rooftop mechanical equipment is 14 feet, except for elevator towers and associated equipment, which may be 20 feet. Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot increase in height and maximum height.

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 3  
Menlo Park, CA

SCALE:  
NOTE: THIS DRAWING IS NOT TO SCALE. DIMENSIONS USE FEET AND INCHES ONLY. SEE CLASSIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

### MILESTONES

DATE	ISSUE
4/11/2022	ACP

### REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
**BUILDING HEIGHT ANALYSIS PLAN**

DRAWING NO:

**A9.05**



R-MU BUILDING HEIGHT ANALYSIS Parcel 6							
Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
UPPER ROOF (SLOPED)	9.74	12.90	3.16	76.62	79.78	3,358	267,901
UPPER ROOF (LOUNGE)				76.37	79.53	1,522	121,045
ROOF (MAIN ROOF)				73.85	77.01	32,486	2,501,747
LEVEL 7 (ROOF DECK)				63.35	66.51	318	21,150
LEVEL 6 (UPPER PRIVATE TERRACES)				51.60	54.76	1,039	56,896
LEVEL 4 (LOWER ROOF)				32.10	35.26	515	18,159
LEVEL 3 (PODIUM)				20.52	23.68	13,201	312,600
TOTAL							
<b>Weighted Average Height (ft)</b>				<b>62.92</b>			
<b>Proposed Maximum Height (ft)</b>				<b>79.78</b>			

**MENLO PARK ZONING CODE REQUIREMENTS**

**16.04.330: HEIGHT OF STRUCTURE (DEFINITION)**

EXCEPT AS OTHERWISE PROVIDED IN THIS CHAPTER, "HEIGHT OF STRUCTURE" MEANS THE VERTICAL DISTANCE FROM THE AVERAGE LEVEL OF THE HIGHEST AND LOWEST POINTS OF THE NATURAL GRADE OF THE PORTION OF THE LOT COVERED BY THE STRUCTURE TO THE TOPMOST POINT OF THE STRUCTURE, EXCLUDING ELEVATOR EQUIPMENT ROOMS, VENTILATING AND AIR CONDITIONING EQUIPMENT AND CHIMNEYS.

**16.45.050: HEIGHT**

"HEIGHT" IS DEFINED AS AVERAGE HEIGHT OF ALL BUILDINGS ON ONE SITE, WHERE A MAXIMUM HEIGHT CANNOT BE EXCEEDED. MAXIMUM HEIGHT DOES NOT INCLUDE ROOF-MOUNTED EQUIPMENT AND UTILITIES.

HEIGHT: 52.5 FEET

MAXIMUM HEIGHT: 70 FEET

A PARAPET USED TO SCREEN MECHANICAL EQUIPMENT IS NOT INCLUDED IN THE HEIGHT OR MAXIMUM HEIGHT. THE MAXIMUM ALLOWED HEIGHT FOR ROOFTOP MECHANICAL EQUIPMENT IS 14 FEET, EXCEPT FOR ELEVATOR TOWERS AND ASSOCIATED EQUIPMENT, WHICH MAY BE 20 FEET.

PROPERTIES WITHIN THE FLOOD ZONE OR SUBJECT TO FLOODING AND SEA LEVEL RISE ARE ALLOWED A 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.

**PROPOSED DESIGN**

**MAXIMUM HEIGHT:**

ALLOWED PER ZONING CODE: 70' + 10' = 80'  
PROPOSED DESIGN: 80' ABOVE NATURAL GRADE

(SEE ELEVATION SHEETS AND PLAN DIAGRAM FOR MAXIMUM BUILDING HEIGHT DIMENSIONS)

**AVERAGE HEIGHT:**

ALLOWED PER ZONING CODE: 52.5' + 10' = 62.5'  
PROPOSED DESIGN: 62.92' ABOVE NATURAL GRADE

(SEE PLAN DIAGRAM FOR ROOF AREAS AND HEIGHTS. SEE TABLE FOR AVERAGE HEIGHT CALCULATIONS.)

**NOTES:**

THIS PROJECT IS SUBJECT TO FLOODING AND SEA LEVEL RISE, AND THEREFORE QUALIFIES FOR THE 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.

AVERAGE HEIGHT COMPLIANCE IS REGULATED AT A MASTERPLAN-WIDE LEVEL FOR WILLOW VILLAGE.

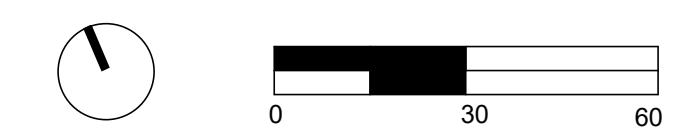


P6 - BUILDING HEIGHT CALCULATION - ROOF 1  
1" = 30'-0"

SCALE: 1" = 30'-0"  
NOTE: THIS DRAWING IS SO A1. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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R-MU BUILDING HEIGHT ANALYSIS  
Parcel 7

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
UPPER ROOF (WEST)	9.58	13.58	4.00	72.06	76.06	2,164	164,594
UPPER ROOF (EAST)				67.53	71.53	4,014	287,121
ROOF (MAIN ROOF)				64.25	68.25	7,775	530,644
LEVEL 5 (TERRACE)				42.92	46.92	1,860	87,271
LEVEL 4 (PAVILION ROOF)				32.75	36.75	2,202	80,924
LOWER ROOF (STAIR)				22.59	26.59	80	2,127
LEVEL 2 (PODIUM)				12.42	16.42	4,776	78,422
				TOTAL		22,871	1,231,103

Weighted Average Height (ft)	53.83
Proposed Maximum Height (ft)	76.06

**MENLO PARK ZONING CODE REQUIREMENTS**

**16.04.330:** HEIGHT OF STRUCTURE (DEFINITION)

EXCEPT AS OTHERWISE PROVIDED IN THIS CHAPTER, "HEIGHT OF STRUCTURE" MEANS THE VERTICAL DISTANCE FROM THE AVERAGE LEVEL OF THE HIGHEST AND LOWEST POINTS OF THE NATURAL GRADE OF THE PORTION OF THE LOT COVERED BY THE STRUCTURE TO THE TOPMOST POINT OF THE STRUCTURE, EXCLUDING ELEVATOR EQUIPMENT ROOMS, VENTILATING AND AIR CONDITIONING EQUIPMENT AND CHIMNEYS.

**16.45.050:** HEIGHT

"HEIGHT" IS DEFINED AS AVERAGE HEIGHT OF ALL BUILDINGS ON ONE SITE, WHERE A MAXIMUM HEIGHT CANNOT BE EXCEEDED. MAXIMUM HEIGHT DOES NOT INCLUDE ROOF-MOUNTED EQUIPMENT AND UTILITIES.

HEIGHT: 52.5 FEET

MAXIMUM HEIGHT: 70 FEET

A PARAPET USED TO SCREEN MECHANICAL EQUIPMENT IS NOT INCLUDED IN THE HEIGHT OR MAXIMUM HEIGHT. THE MAXIMUM ALLOWED HEIGHT FOR ROOFTOP MECHANICAL EQUIPMENT IS 14 FEET, EXCEPT FOR ELEVATOR TOWERS AND ASSOCIATED EQUIPMENT, WHICH MAY BE 20 FEET.

PROPERTIES WITHIN THE FLOOD ZONE OR SUBJECT TO FLOODING AND SEA LEVEL RISE ARE ALLOWED A 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.

**PROPOSED DESIGN**

**MAXIMUM HEIGHT:**

ALLOWED PER ZONING CODE: 70' + 10' = 80'

PROPOSED DESIGN: 76.06' ABOVE NATURAL GRADE

(SEE ELEVATION SHEETS AND PLAN DIAGRAM FOR MAXIMUM BUILDING HEIGHT DIMENSIONS)

**AVERAGE HEIGHT:**

ALLOWED PER ZONING CODE: 52.5' + 10' = 62.5'

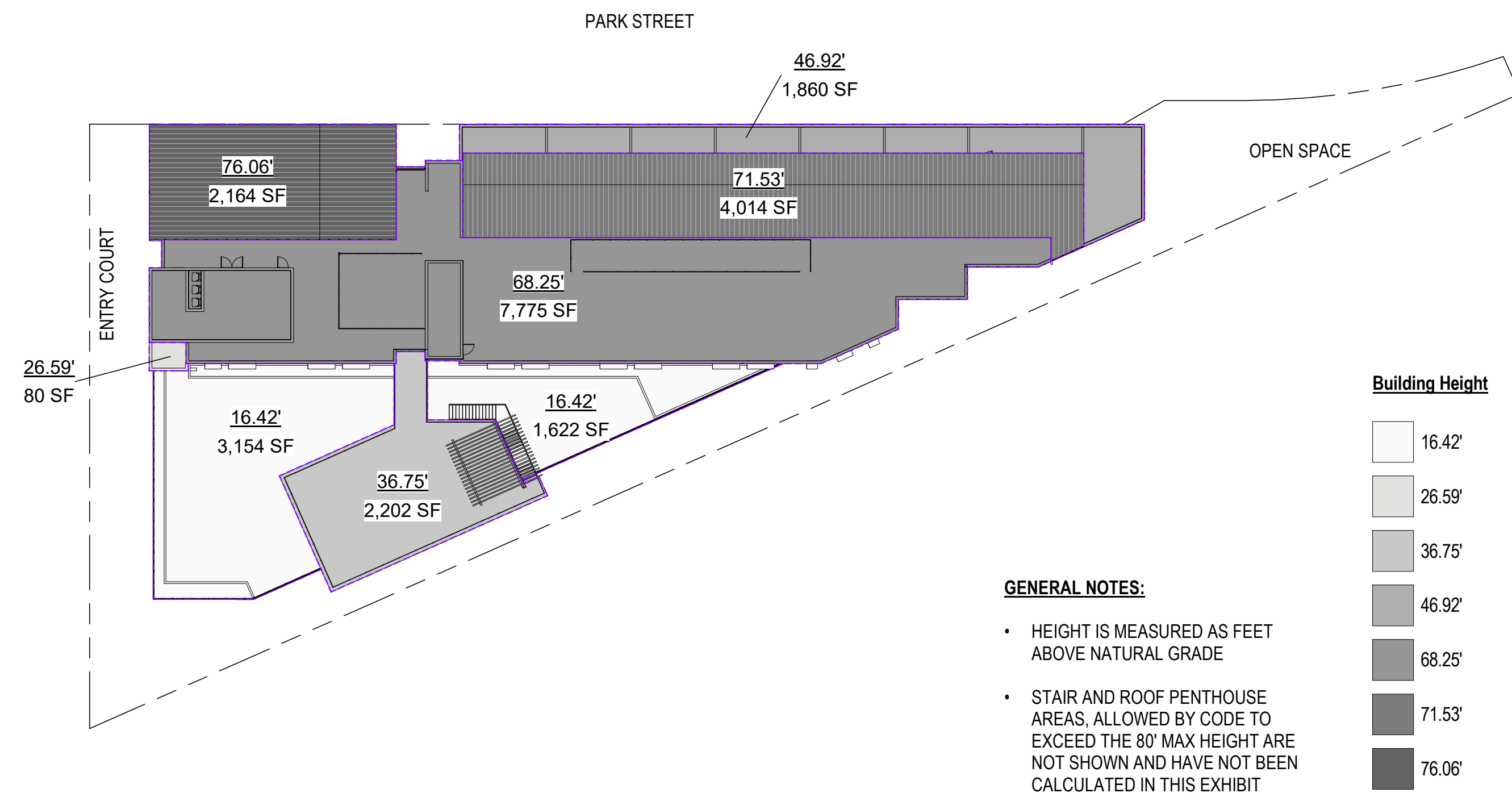
PROPOSED DESIGN: 53.83' ABOVE NATURAL GRADE

(SEE PLAN DIAGRAM FOR ROOF AREAS AND HEIGHTS. SEE TABLE FOR AVERAGE HEIGHT CALCULATIONS.)

**NOTES:**

THIS PROJECT IS SUBJECT TO FLOODING AND SEA LEVEL RISE, AND THEREFORE QUALIFIES FOR THE 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.

AVERAGE HEIGHT COMPLIANCE IS REGULATED AT A MASTERPLAN-WIDE LEVEL FOR WILLOW VILLAGE.



BUILDING HEIGHT ANALYSIS ①  
1" = 30'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: 1" = 30'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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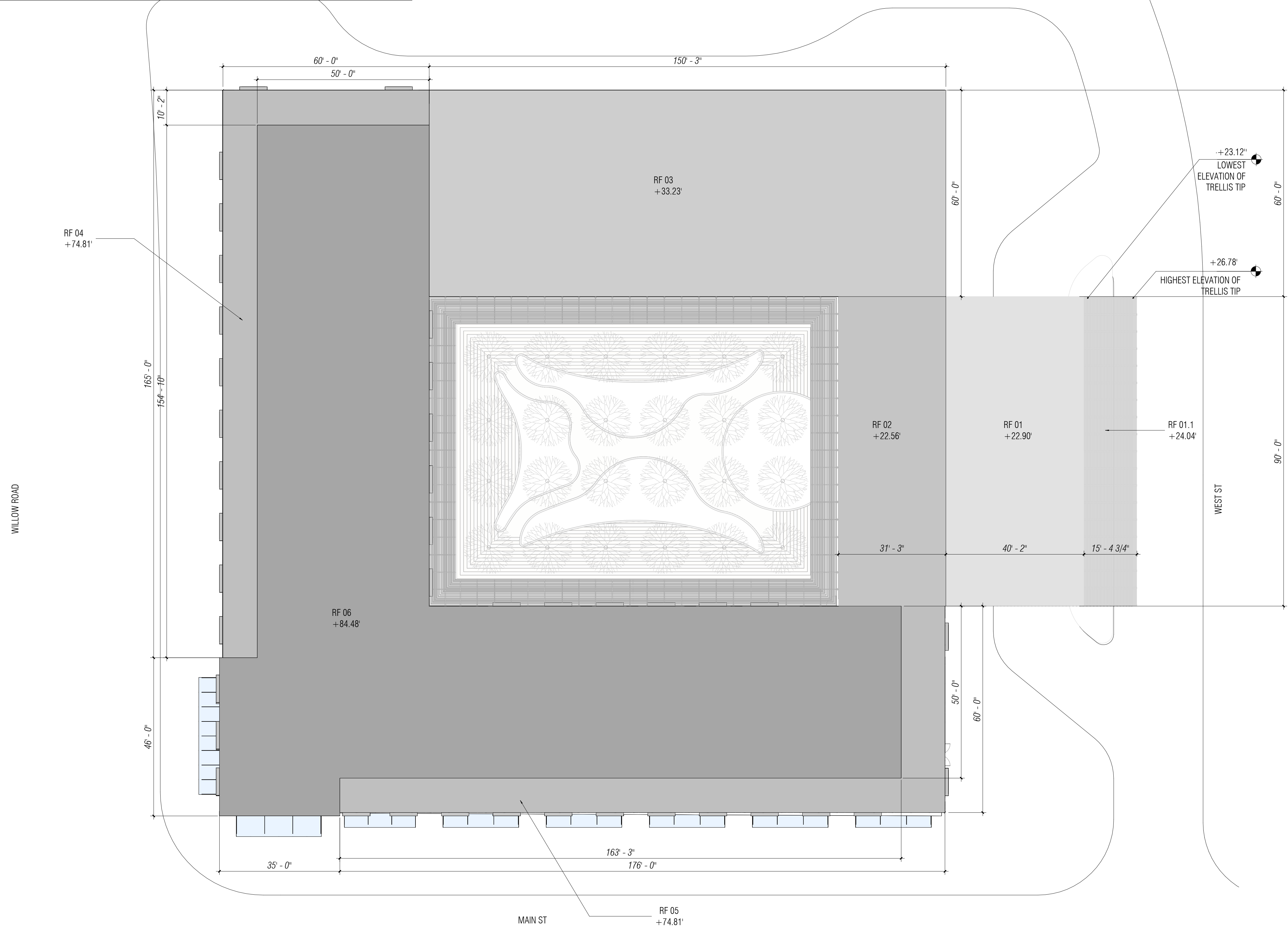
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NO.	DATE	ISSUE

DRAWING TITLE:  
BUILDING HEIGHT ANALYSIS PLAN

DRAWING NO:  
A9.05



Building Height Analysis							
Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. To roof)	Roof Height (Nat. To roof)	Footprint (SF)	Roof Height x Footprint
RF 01	8.94'	14.50'	5.56'	17.34'	22.90'	3,615	82,784
RF 01.1	8.94'	14.50'	5.56'	18.48'	24.04'	1,385	33,296
RF 02	8.94'	14.50'	5.56'	17.00'	22.56'	2,812	63,439
RF 03	8.94'	14.50'	5.56'	27.67'	33.23'	9,015	299,569
RF 04	8.94'	14.50'	5.56'	69.25'	74.81'	2,160	161,590
RF 05	8.94'	14.50'	5.56'	69.25'	74.81'	2,400	179,544
RF 06	8.94'	14.50'	5.56'	78.92'	84.48'	17,125	1,446,720
Weighted Average Height						58.86'	
Proposed Maximum Height						84.48'	



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1 BUILDING HEIGHT ANALYSIS PLAN  
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 1 - Hotel  
Menlo Park, CA

SCALE: 1/16" = 1'-0"  
NOTE: THIS DRAWING IS SO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

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NO.	DATE	ISSUE

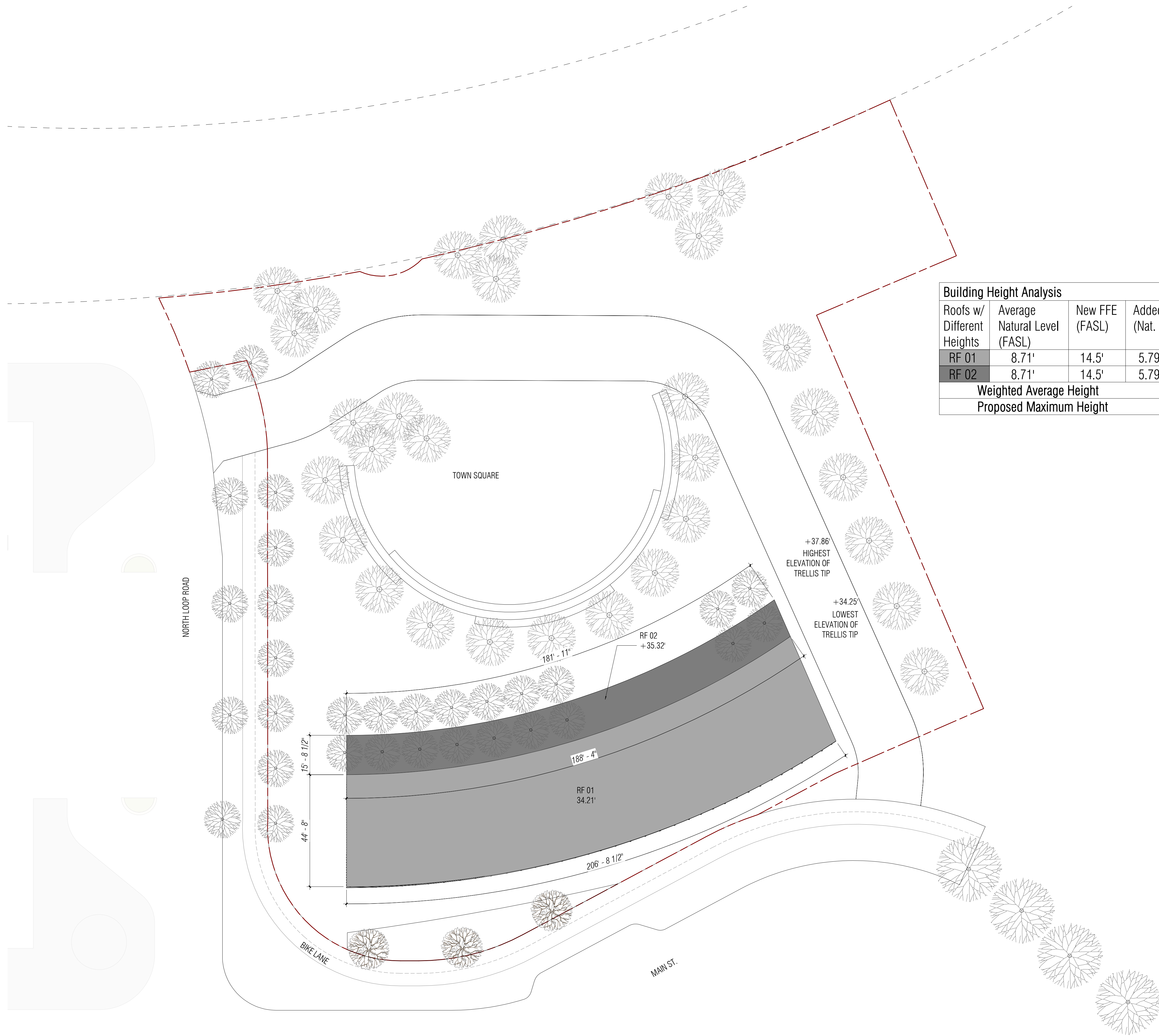
DRAWING TITLE:  
Willow Village Hotel  
Building Height Analysis plan

DRAWING NO:  
**A9.05**



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1 TOWN SQUARE PAVILION - ROOF  
1" = 20'-0"



Building Height Analysis							
Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. To roof)	Roof Height (Nat. To roof)	Footprint (SF)	Roof Height x Footprint
RF 01	8.71'	14.5'	5.79'	28.42'	34.21'	8,858.00	303,032.18
RF 02	8.71'	14.5'	5.79	29.53'	35.32'	2,905.00	102,604.60
Weighted Average Height						34.48'	
Proposed Maximum Height						29.53'	

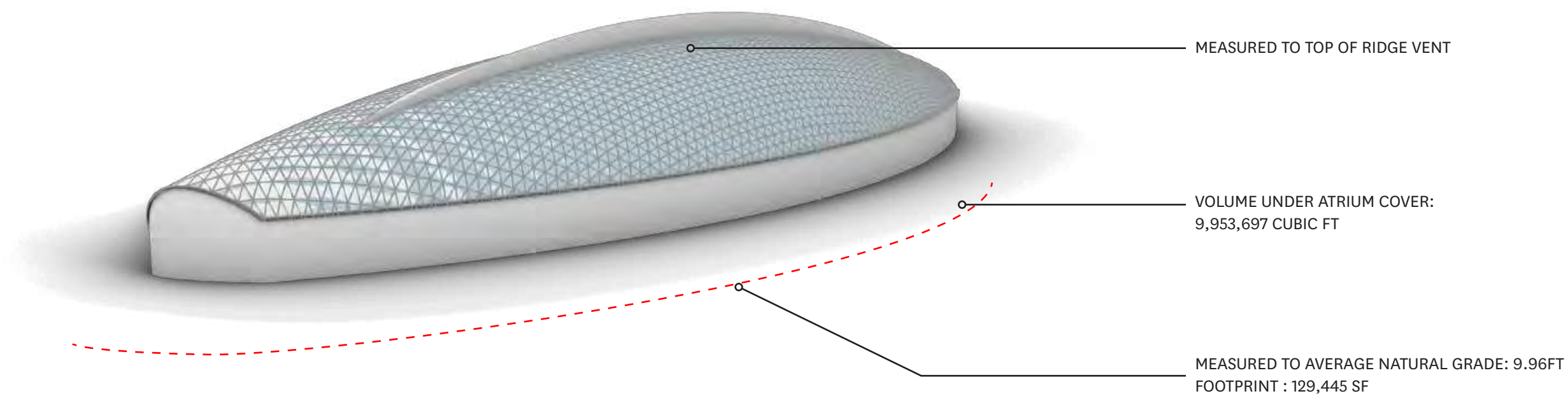
SCALE: 1" = 20'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR SEE CLARIFICATIONS FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
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NO.	DATE	ISSUE



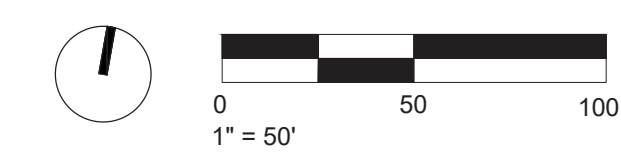
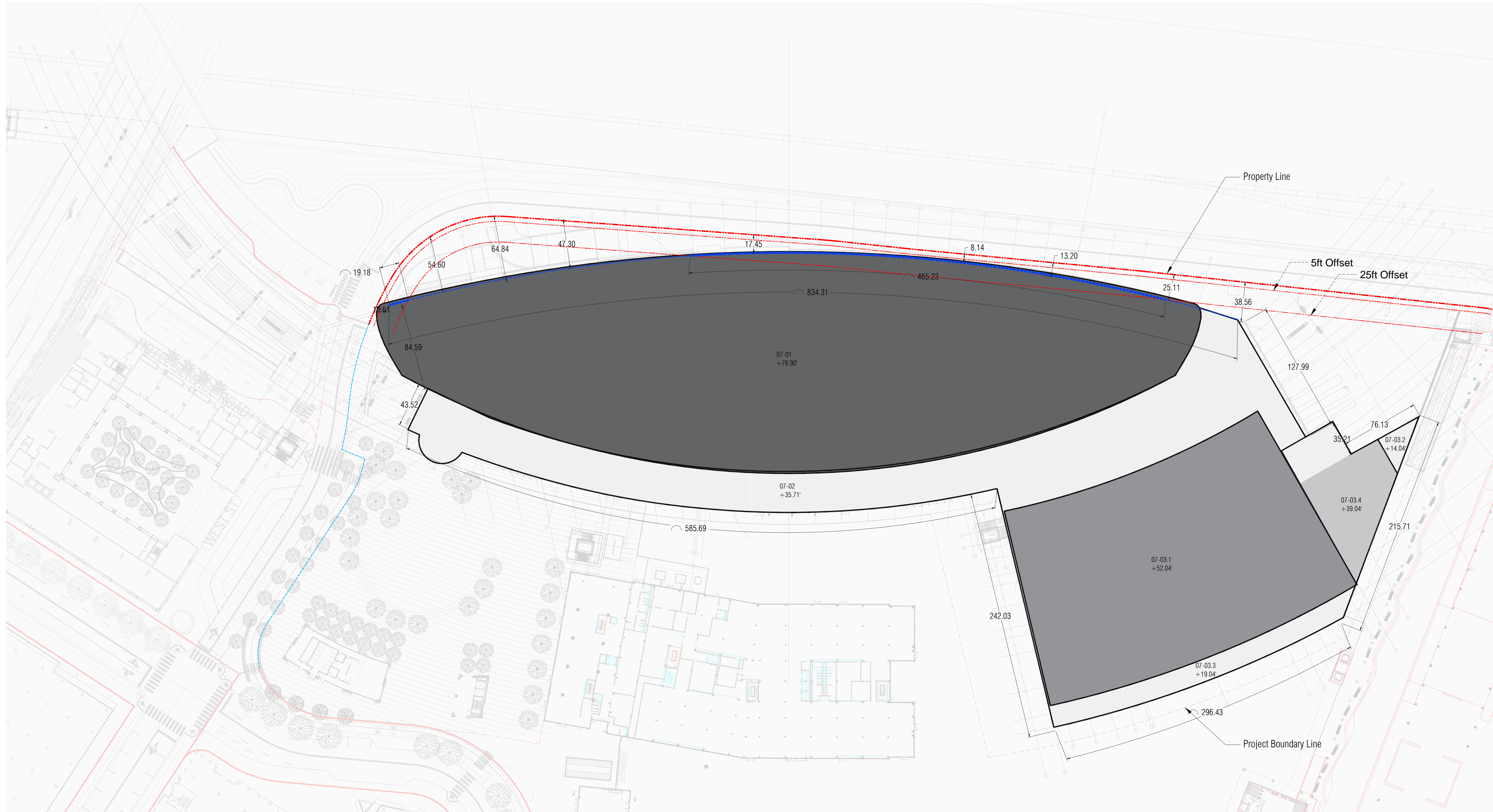




MC 01 CALCULATION METHOD

Building #	Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Average Height (FFE. to roof)	Average Height (Nat. to roof)	Footprint (SF)	Average Height x Footprint
MC 01	9.96	15	5.04	73.70	78.74	126,420	9,953,697
						<b>126,420</b>	<b>9,953,697</b>
MC 02	9.96	15	5.04	30.67	35.71	46,637	1,665,407
						<b>46,637</b>	<b>1,665,407</b>
MC 03.1	9.96	15	5.04	47.00	52.04	56,863	2,959,151
MC 03.2	9.96	15	5.04	21.00	26.04	4,237	110,331
MC 03.3	9.96	15	5.04	14.00	19.04	16,811	320,081
MC 03.4	9.96	15	5.04	34.00	39.04	15,554	607,228
						<b>93,465</b>	<b>3,996,792</b>

MCS - WEIGHTED AVERAGE HEIGHT (FT)	58.59
MCS - PROPOSED MAXIMUM HEIGHT (FT)	118.04



**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1  
 Menlo Park, CA

SCALE: 1"=50'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
04/11/2022	ACP Submittal

REVISIONS		
NO.	DATE	ISSUE

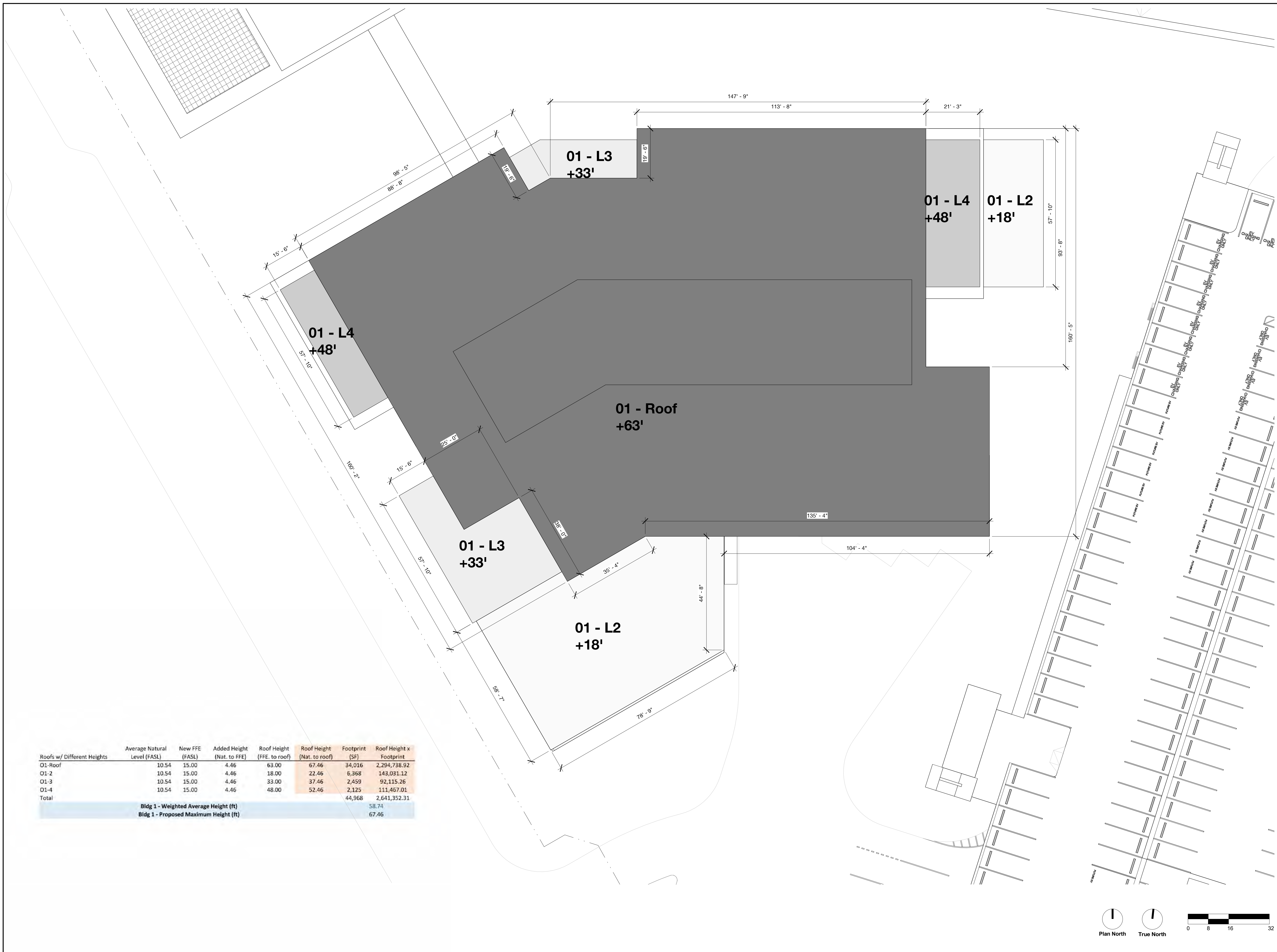
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**BUILDING HEIGHT DIAGRAM**

DRAWING NO:  
**A9.06**

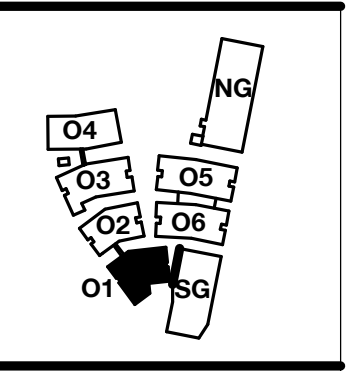
PENINSULA INNOVATION PARTNERS



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Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O1-Roof	10.54	15.00	4.46	63.00	67.46	34,016	2,294,738.92
O1-2	10.54	15.00	4.46	18.00	22.46	6,368	143,031.12
O1-3	10.54	15.00	4.46	33.00	37.46	2,459	92,115.26
O1-4	10.54	15.00	4.46	48.00	52.46	2,125	111,467.01
<b>Total</b>						<b>44,968</b>	<b>2,641,352.31</b>
<b>Bldg 1 - Weighted Average Height (ft)</b>							<b>58.74</b>
<b>Bldg 1 - Proposed Maximum Height (ft)</b>							<b>67.46</b>



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

SCALE: 1/16" = 1'-0"  
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

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NO.	DATE	ISSUE

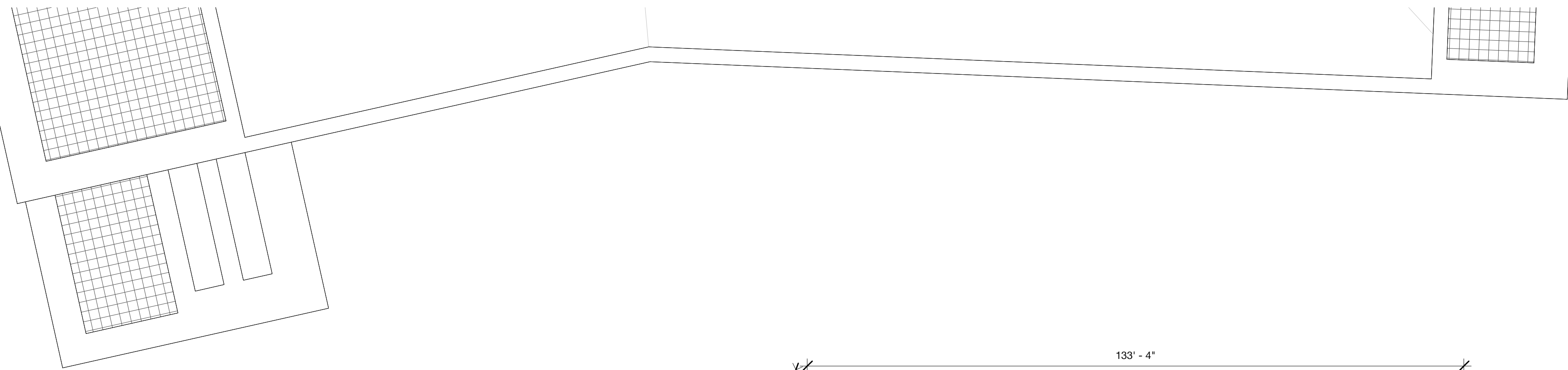
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**Building Height Analysis**  
 Plan - 01

DRAWING NO:  
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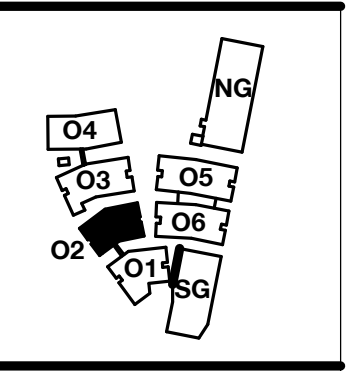
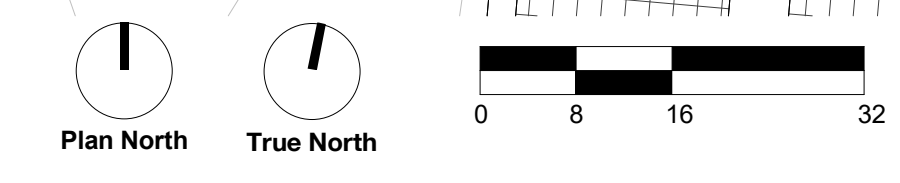




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Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O2-Roof	9.59	15.00	5.41	78.00	83.41	35,465	2,958,123.97
O2-2	9.59	15.00	5.41	18.00	23.41	998	23,367.63
O2-4	9.59	15.00	5.41	48.00	53.41	1,191	63,602.23
O2-5	9.59	15.00	5.41	63.00	68.41	3,467	237,159.00
<b>Total</b>						<b>41,121</b>	<b>3,282,252.83</b>
<b>Bldg 2 - Weighted Average Height (ft)</b>							<b>79.82</b>
<b>Bldg 2 - Proposed Maximum Height (ft)</b>							<b>83.41</b>



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

SCALE: 1/16" = 1'-0"  
NOTE: THIS DRAWING IS 80% A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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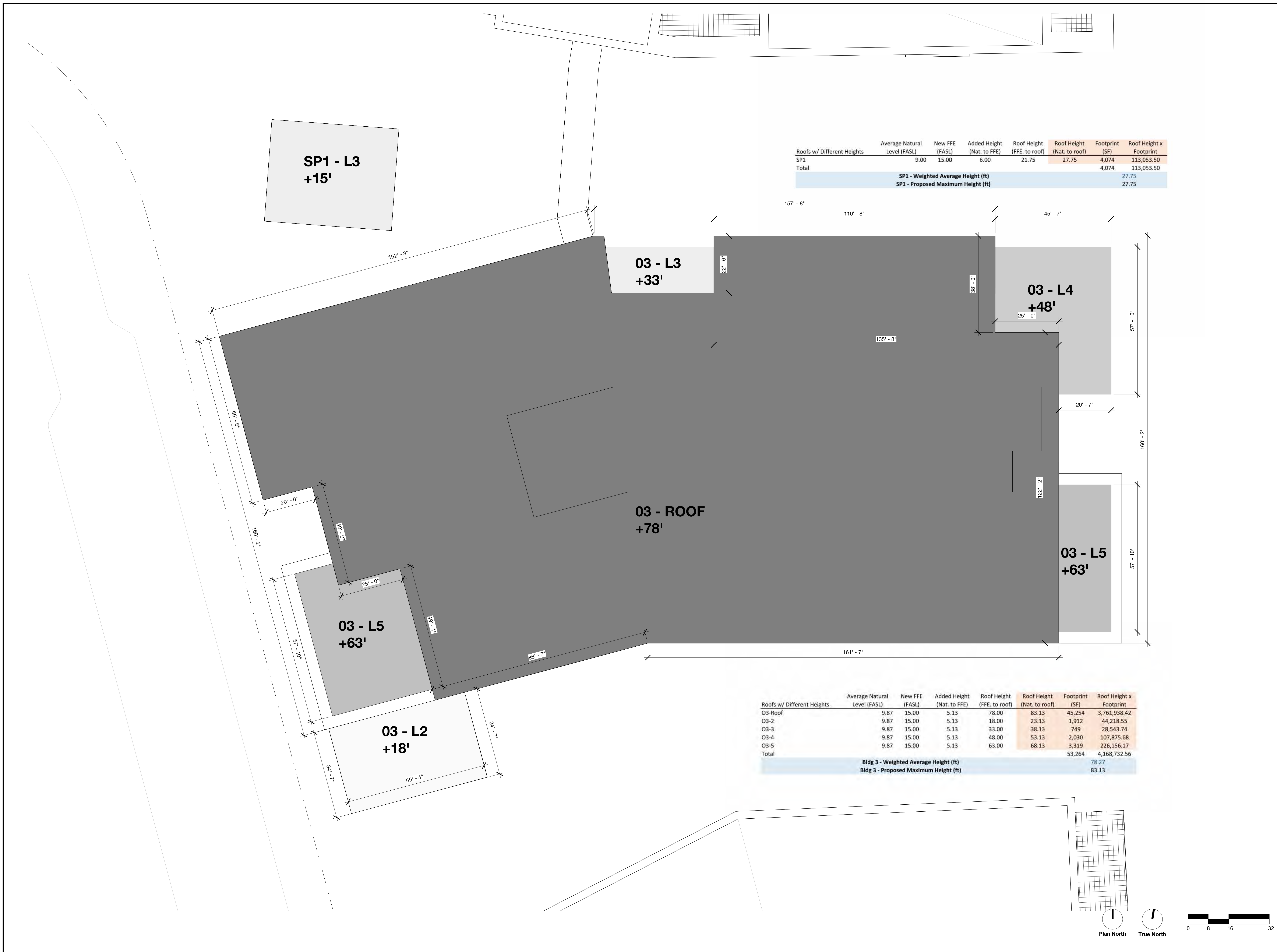
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DRAWING TITLE:  
**Building Height Analysis**  
 Plan - 02

DRAWING NO:  
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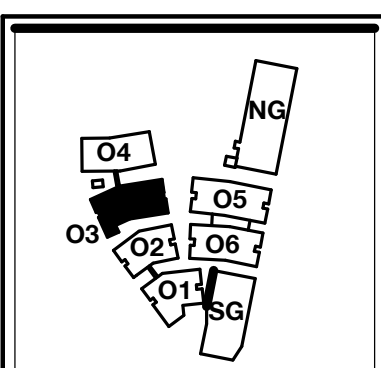


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Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
SP1	9.00	15.00	6.00	21.75	27.75	4,074	113,053.50
<b>Total</b>						<b>4,074</b>	<b>113,053.50</b>
<b>SP1 - Weighted Average Height (ft)</b>							27.75
<b>SP1 - Proposed Maximum Height (ft)</b>							27.75

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
03-Roof	9.87	15.00	5.13	78.00	83.13	45,254	3,761,938.42
03-2	9.87	15.00	5.13	18.00	23.13	1,912	44,218.55
03-3	9.87	15.00	5.13	33.00	38.13	749	28,543.74
03-4	9.87	15.00	5.13	48.00	53.13	2,030	107,875.68
03-5	9.87	15.00	5.13	63.00	68.13	3,319	226,156.17
<b>Total</b>						<b>53,264</b>	<b>4,168,732.56</b>
<b>Bldg 3 - Weighted Average Height (ft)</b>							78.27
<b>Bldg 3 - Proposed Maximum Height (ft)</b>							83.13



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

SCALE: 1/16" = 1'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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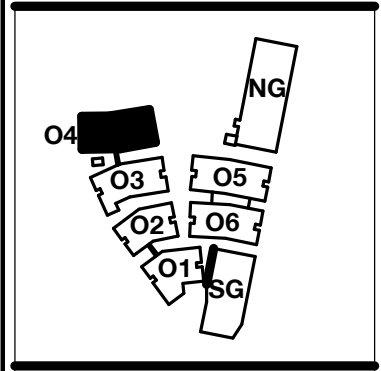
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DRAWING TITLE:  
**Building Height Analysis**  
 Plan - 03

DRAWING NO:  
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PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

SCALE: 1/16" = 1'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR USER CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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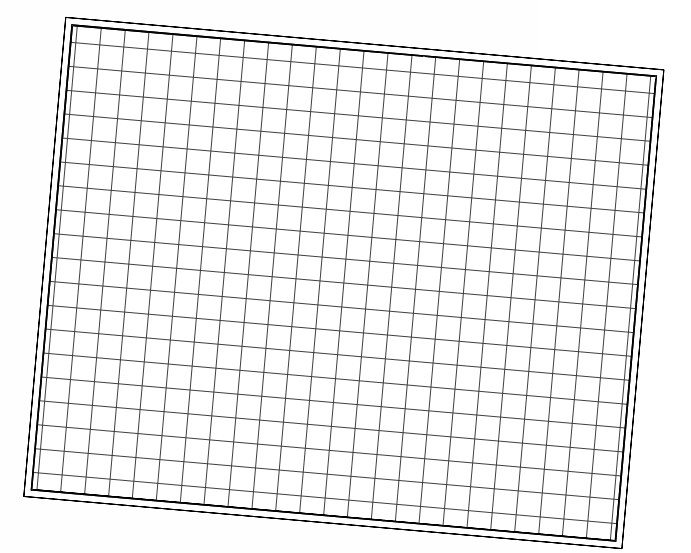
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 Plan - 04

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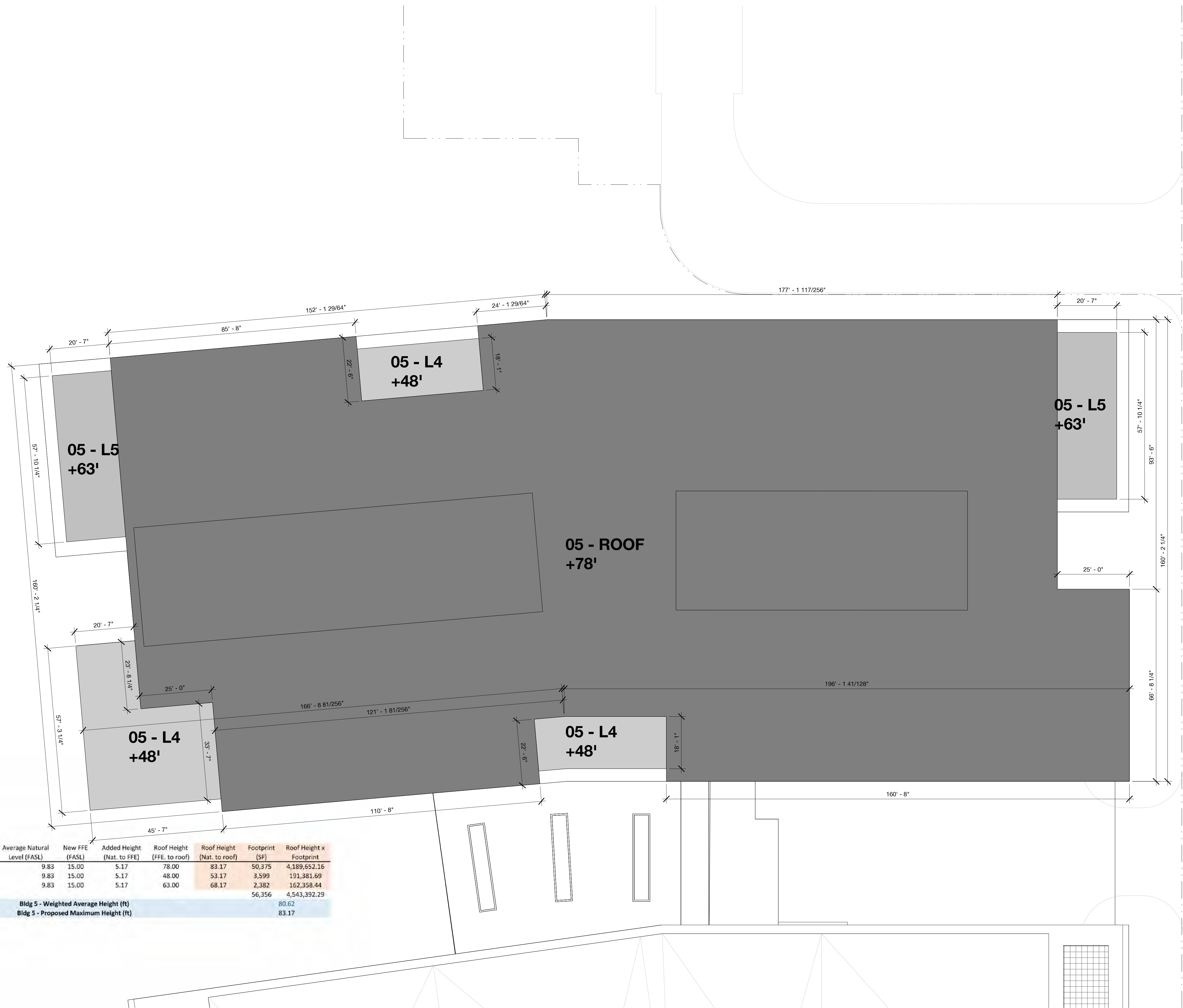


Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
TS3-Roof	10.69	15.00	4.31	33.00	37.31	7,493	279,573.16
TS3-2	10.69	15.00	4.31	18.00	22.31	5,036	112,362.08
<b>Total</b>						<b>12,530</b>	<b>391,935.24</b>
<b>TS3 - Weighted Average Height (ft)</b>							<b>31.28</b>
<b>TS3 - Proposed Maximum Height (ft)</b>							<b>37.31</b>

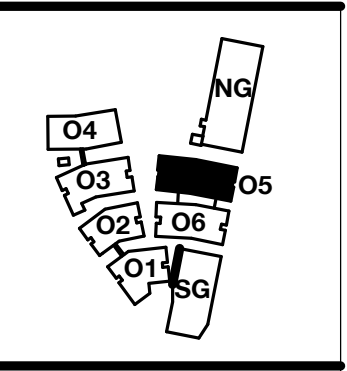
Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
04-Roof	10.69	15.00	4.31	78.00	82.31	34,763	2,861,358.99
04-3	10.69	15.00	4.31	33.00	37.31	1,457	54,368.13
04-4	10.69	15.00	4.31	48.00	52.31	3,895	203,750.59
04-5	10.69	15.00	4.31	63.00	67.31	2,266	152,519.08
<b>Total</b>						<b>42,381</b>	<b>3,271,996.79</b>
<b>Bldg 4 - Weighted Average Height (ft)</b>							<b>77.20</b>
<b>Bldg 4 - Proposed Maximum Height (ft)</b>							<b>82.31</b>







Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
05-Roof	9.83	15.00	5.17	78.00	83.17	50,375	4,189,652.16
05-4	9.83	15.00	5.17	48.00	53.17	3,599	191,381.69
05-5	9.83	15.00	5.17	63.00	68.17	2,382	162,358.44
<b>Total</b>						<b>56,356</b>	<b>4,543,392.29</b>
<b>Bldg 5 - Weighted Average Height (ft)</b>						80.62	
<b>Bldg 5 - Proposed Maximum Height (ft)</b>						83.17	



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

SCALE: 1/16" = 1'-0"  
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
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DRAWING TITLE:  
**Building Height Analysis**  
 Plan - 05

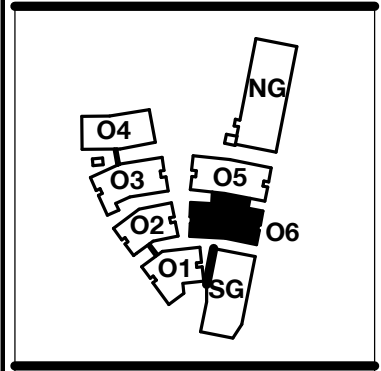
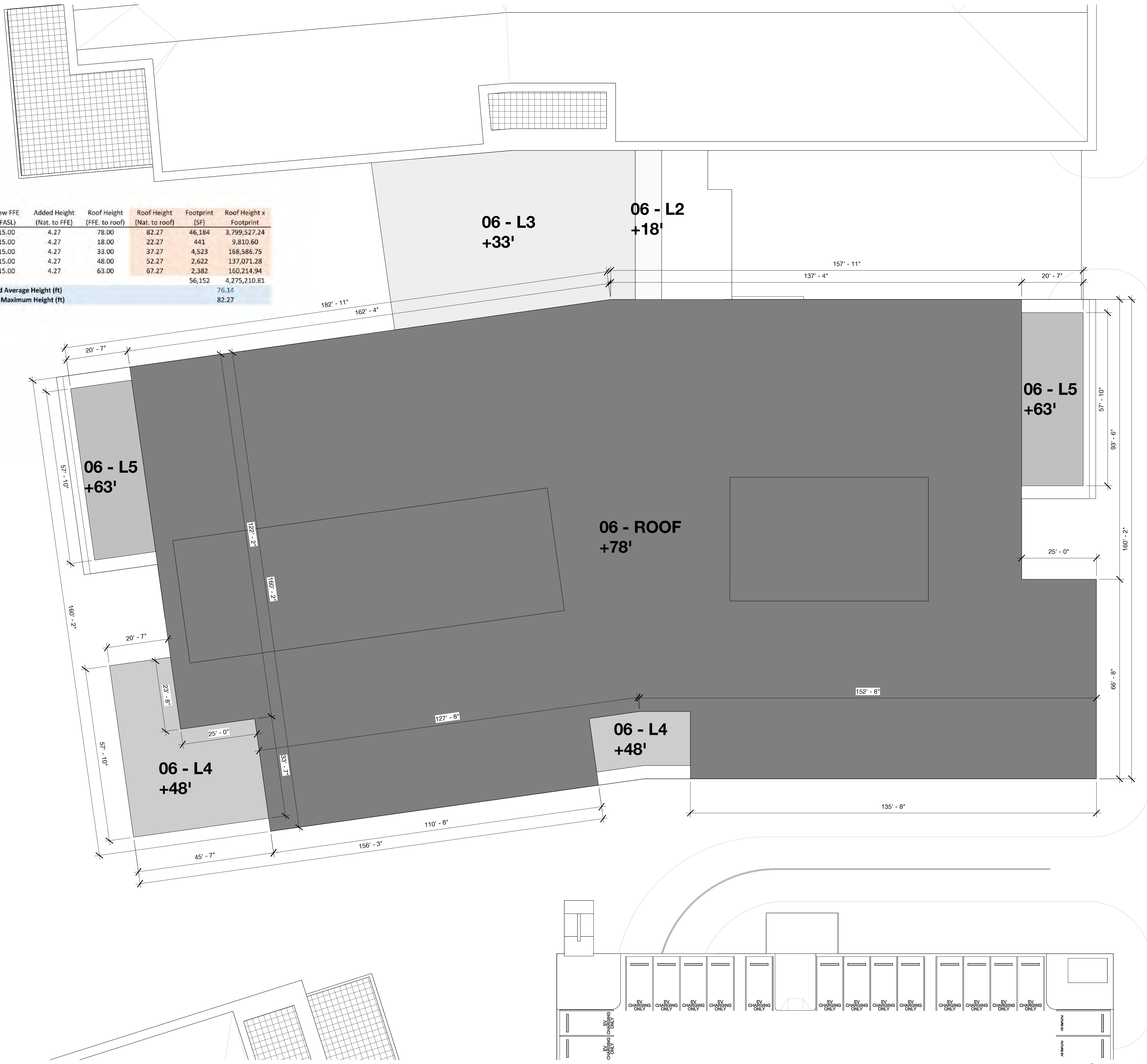
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Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE, to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
O6-Roof	10.73	15.00	4.27	78.00	82.27	46,184	3,799,527.24
O6-2	10.73	15.00	4.27	18.00	22.27	441	9,810.60
O6-3	10.73	15.00	4.27	33.00	37.27	4,523	168,586.75
O6-4	10.73	15.00	4.27	48.00	52.27	2,622	137,071.28
O6-5	10.73	15.00	4.27	63.00	67.27	2,382	160,214.94
<b>Total</b>						<b>56,152</b>	<b>4,275,210.81</b>
<b>Bldg 6 - Weighted Average Height (ft)</b>						76.14	
<b>Bldg 6 - Proposed Maximum Height (ft)</b>						82.27	



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

SCALE: 1/16" = 1'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

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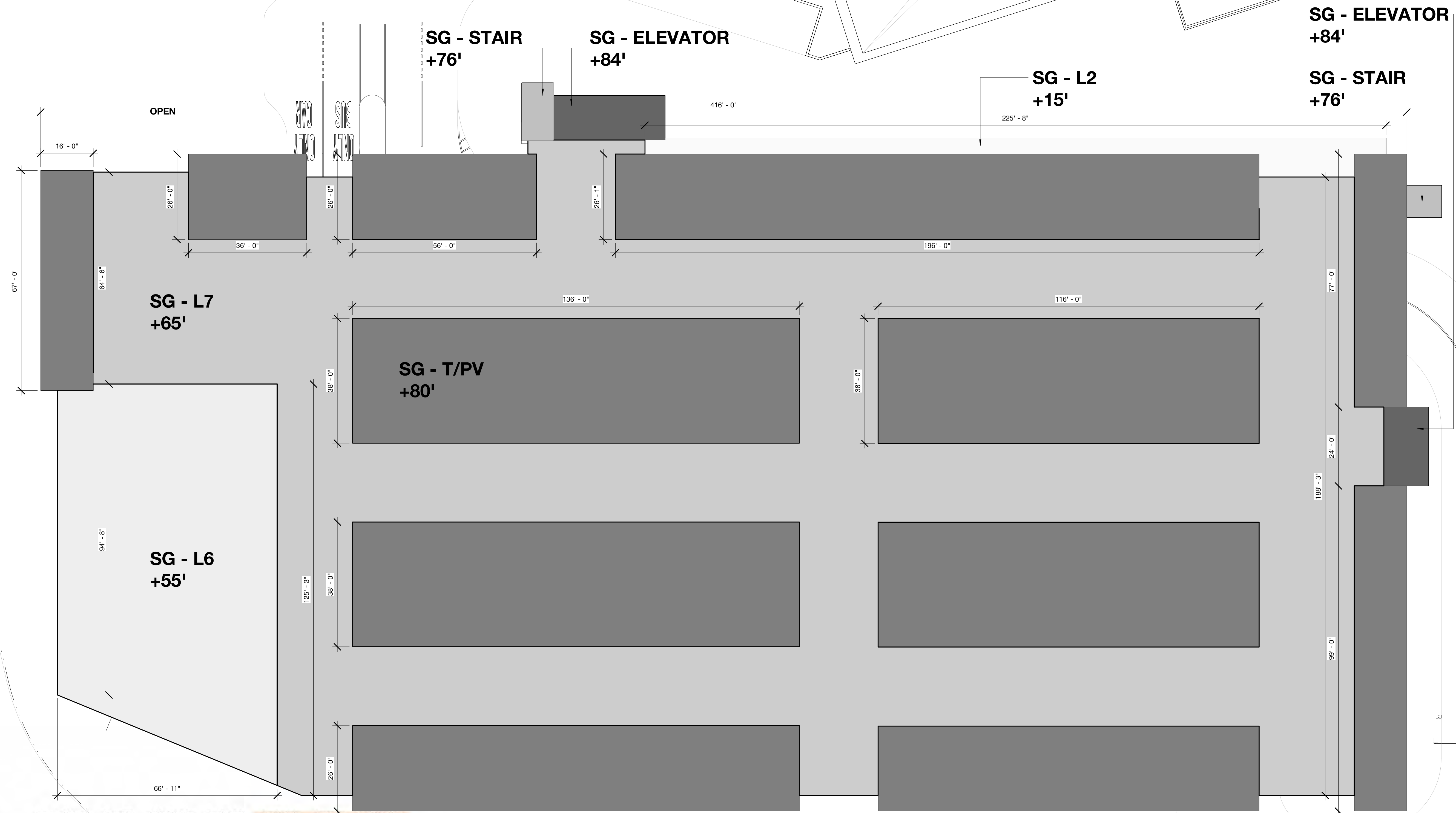
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**Building Height Analysis**  
 Plan - 06

DRAWING NO:  
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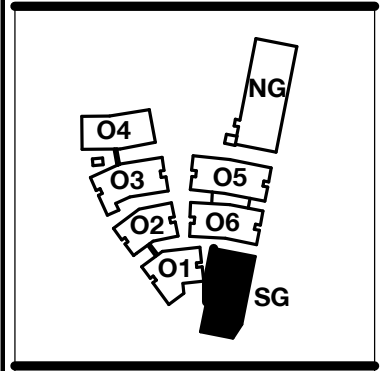




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Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE	Added Height (Nat. to FFE)	Roof Height (FFE, to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
SG-ELEVATOR	10.88	13.00	2.12	84	86.12	784.36	67,549.08
SG-T/PV	10.88	13.00	2.12	79.50	81.62	37,074	3,025,953.76
SG-STAIR	10.88	13.00	2.12	76.11	78.23	277.05	21,673.62
SG-7	10.88	13.00	2.12	64.75	66.87	35,869	2,398,535.96
SG-6	10.88	13.00	2.12	54.50	56.62	7,235	409,619.09
SG-2	10.88	13.00	2.12	15.00	17.12	2,679	45,859.69
<b>Total</b>						<b>83,917</b>	<b>5,855,782.43</b>
							<b>SG - Weighted Average Height (ft) 69.78</b>
							<b>SG - Proposed Maximum Height (ft) 81.62</b>



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

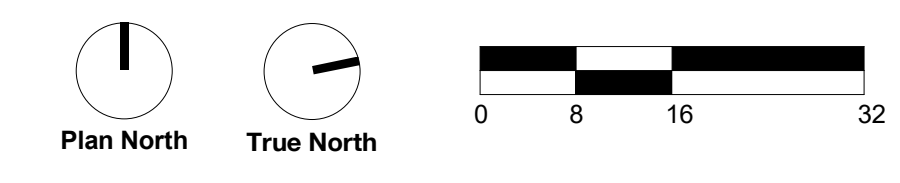
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DATE	ISSUE
04/11/2022	ACP

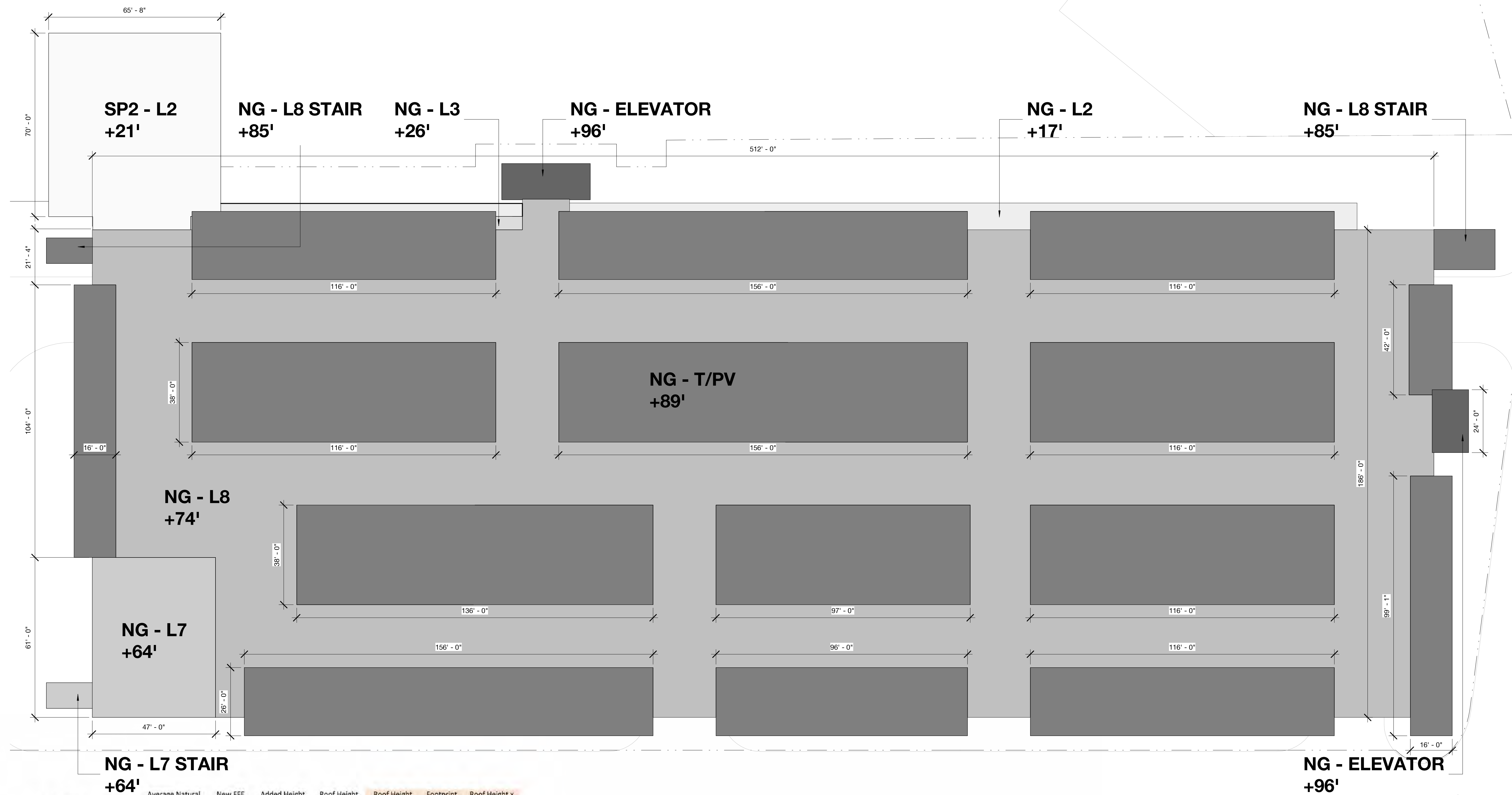
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**Building Height Analysis**  
 Plan - South Garage

DRAWING NO:  
**A9.05.7**

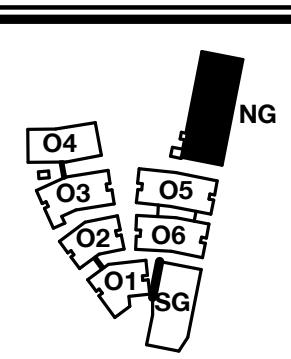






Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
NG-ELEVATOR	10.20	13.00	2.80	96.25	99.05	797.32	78,974.55
NG-8 STAIR	10.20	13.00	2.80	85.46	88.26	530.96	46,862.53
NG-7 STAIR	10.20	13.00	2.80	64.11	66.91	171.97	11,506.51
NG-T/PV	10.20	13.00	2.80	88.75	91.55	51,606	4,724,486.27
NG-8	10.20	13.00	2.80	74.00	76.80	48,013	3,687,405.31
NG-7	10.20	13.00	2.80	63.75	66.55	2,867	190,800.85
NG-3	10.20	13.00	2.80	25.75	28.55	54	1,541.70
NG-2	10.20	13.00	2.80	17.46	20.26	1,558	31,558.39
<b>Total</b>						<b>105,598</b>	<b>8,635,792.52</b>
<b>NG - Weighted Average Height (ft)</b>							<b>81.78</b>
<b>NG - Proposed Maximum Height (ft)</b>							<b>91.55</b>

Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
SP2	9.00	15.00	6.00	23.23	29.23	4,787	139,931.03
<b>Total</b>						<b>4,787</b>	<b>139,931.03</b>
<b>SP2 - Weighted Average Height (ft)</b>							<b>29.23</b>
<b>SP2 - Proposed Maximum Height (ft)</b>							<b>29.23</b>



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

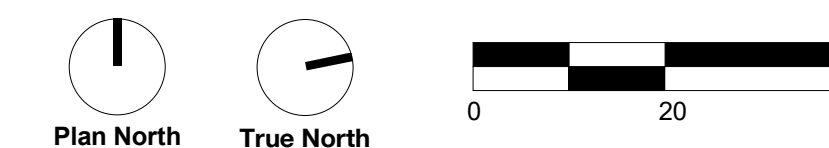
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DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**Building Height Analysis**  
 Plan - North Garage

DRAWING NO:  
**A9.05.8**



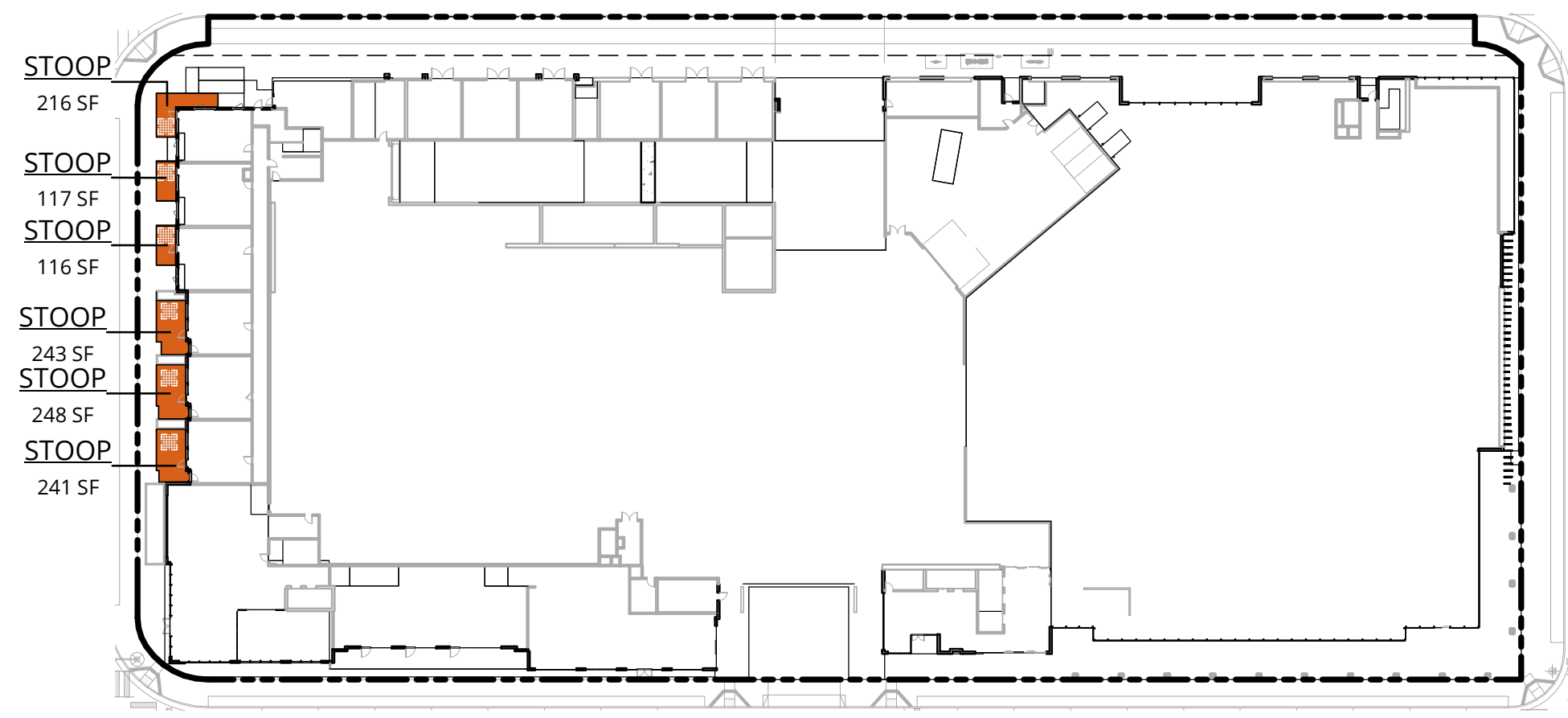


# APPENDIX 3

## PARCEL 1-8 ILLUSTRATIVE OPEN SPACE

Diagrams included in this CDP are conceptual.  
Compliance will be reviewed with the  
Architectural Control Plans (ACPs).

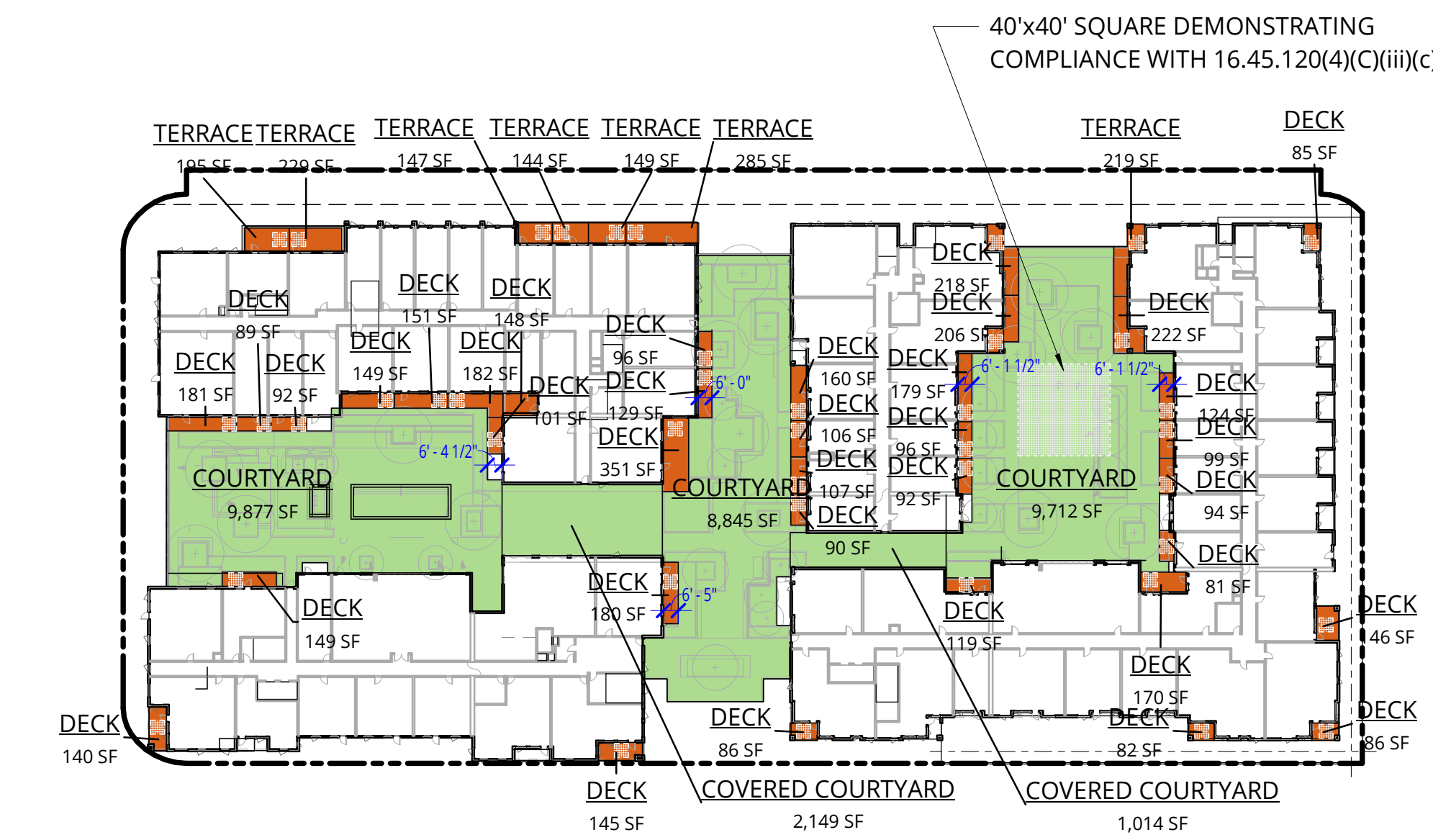




**1 OPEN SPACE - LEVEL 1**  
1" = 60'-0"



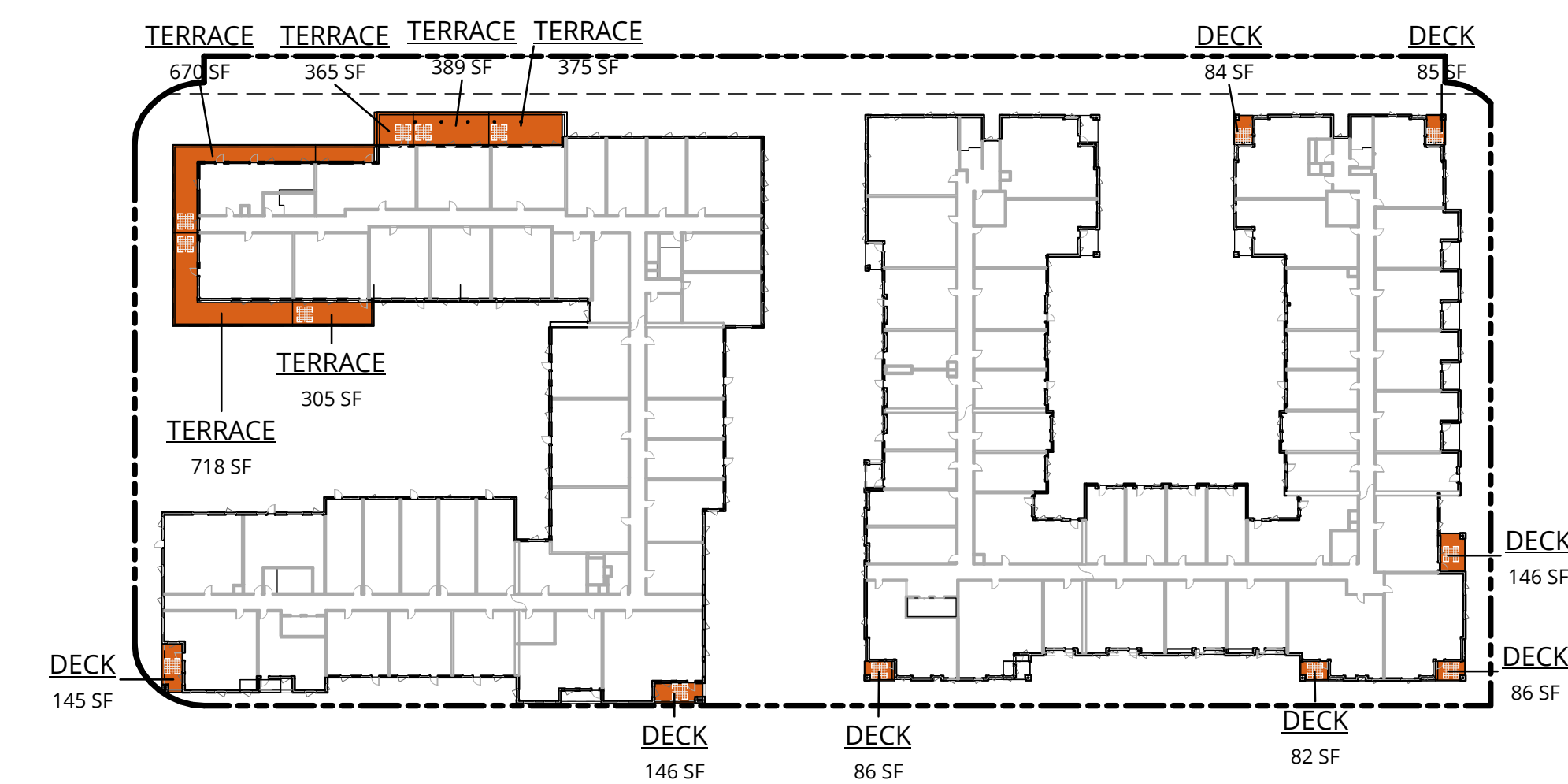
**2 OPEN SPACE - LEVEL 2**  
1" = 60'-0"



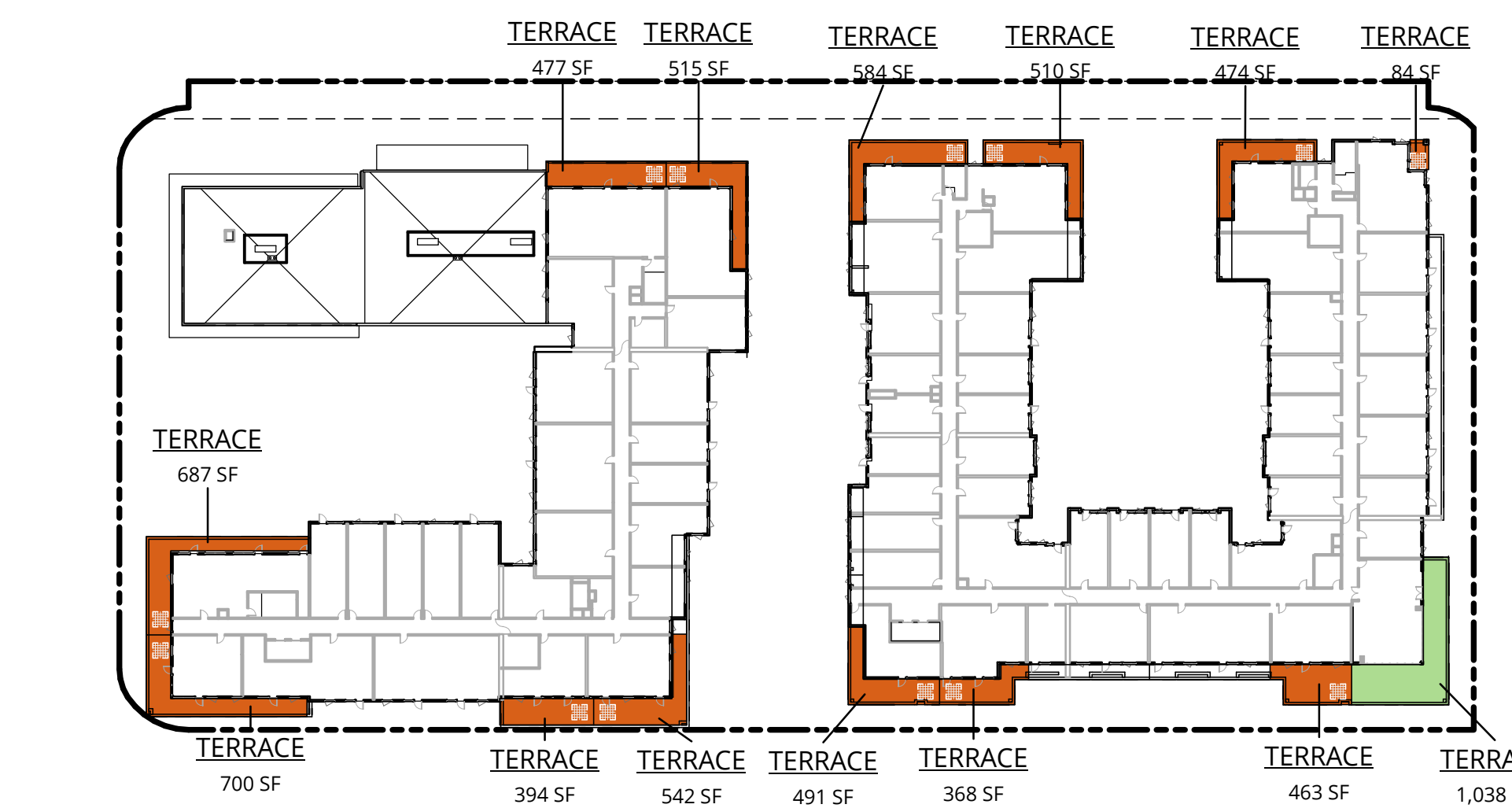
**3 OPEN SPACE - LEVEL 3**  
1" = 60'-0"



**4 OPEN SPACE - LEVEL 4**  
1" = 60'-0"



**5 OPEN SPACE - LEVEL 5**  
1" = 60'-0"



**6 OPEN SPACE - LEVEL 6**  
1" = 60'-0"

**LEGEND**

- 6'x6' BOX TO SHOW MINIMUM DIMENSION COMPLIANCE WITH 16.45.120(4)(C)(i), TYP.
- PRIVATE OPEN SPACE
- RESIDENT COMMON OPEN SPACE

**OPEN SPACE**

**Menlo Park Municipal Code 16.45.120(4) Open Space**  
(C) Residential developments shall have a minimum of common open space and private open space. These requirements are counted towards the minimum amount of open space equal to twenty-five percent (25%) of the total lot area.

(i) One hundred (100) square feet of open space per unit shall be created as common open space or a minimum of eighty (80) square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of six (6) feet by six (6) feet;

(ii) In the case of a mix of private and common open space, such common open space shall be provided at a ratio equal to one and one-quarter (1.25) square feet for each one (1) square foot of private open space that is not provided.

(iii) Depending on the number of dwelling units, common open space shall be provided to meet the following criteria:  
c. One hundred one (101) or more units: minimum of one (1) space, forty (40) feet minimum dimension (one thousand six hundred (1,600) square feet total, minimum).

(D) All open spaces shall:  
(i) Interface with adjacent buildings via direct connections through doors, windows, and entryways;  
(ii) Be integrated as part of building modulation and articulation to enhance building facade and should be sited and designed to be appropriate for the size of the development and accommodate different activities, groups and both active and passive uses;  
(iii) Incorporate landscaping design that includes:  
a. Sustainable stormwater features;  
b. A minimum landscaping bed no less than three (3) feet in length or width and five (5) feet in depth for infiltration planting;  
c. Native species able to grow to their maximum size without shearing.

(E) All exterior landscaping counts towards open space requirements.

**Proposal / Notes:** See open space calculations provided below.

**Open Space Summary**

Lot Area:	137,540 SF	100%
<b>Open Space</b>		<b>% of Total Lot Area</b>
Private Open Space:	18,626 SF	14%
Common Open Space:	32,635 SF	24%
<b>Total:</b>	<b>51,261 SF</b>	<b>37%</b>
<b>Minimum Required:</b>		<b>25%</b>
Total provided is greater than minimum required. Therefore project complies.		
Public Open Space:	0 SF	0%

**Private and Common Open Space...**

Min. Private Open Space/Unit:	80 SF
Min. Common Open Space/Unit:	100 SF

Min. area of Common Open Space required to replace (1) square foot of Private Open Space that is not provided: 1.25 SF

Provided Private Open Space	Unit Count	Area/Unit	Total Area
Units with 80SF+ of Private Open Space:	86	Varies - Always >80SF	18,626 SF
<b>Total:</b>			<b>18,626 SF</b>

Required Common Open Space	Unit Count	Area/Unit	Total Area
Units without Private Open Space:	246	100 SF	24,600 SF
<b>Total Required:</b>			<b>24,600 SF</b>
<b>Common Open Space Provided:</b>			<b>32,635 SF</b>
Total provided is greater than minimum required. Therefore project complies.			

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

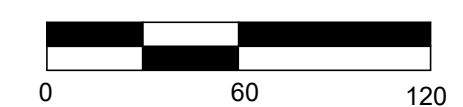
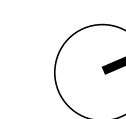
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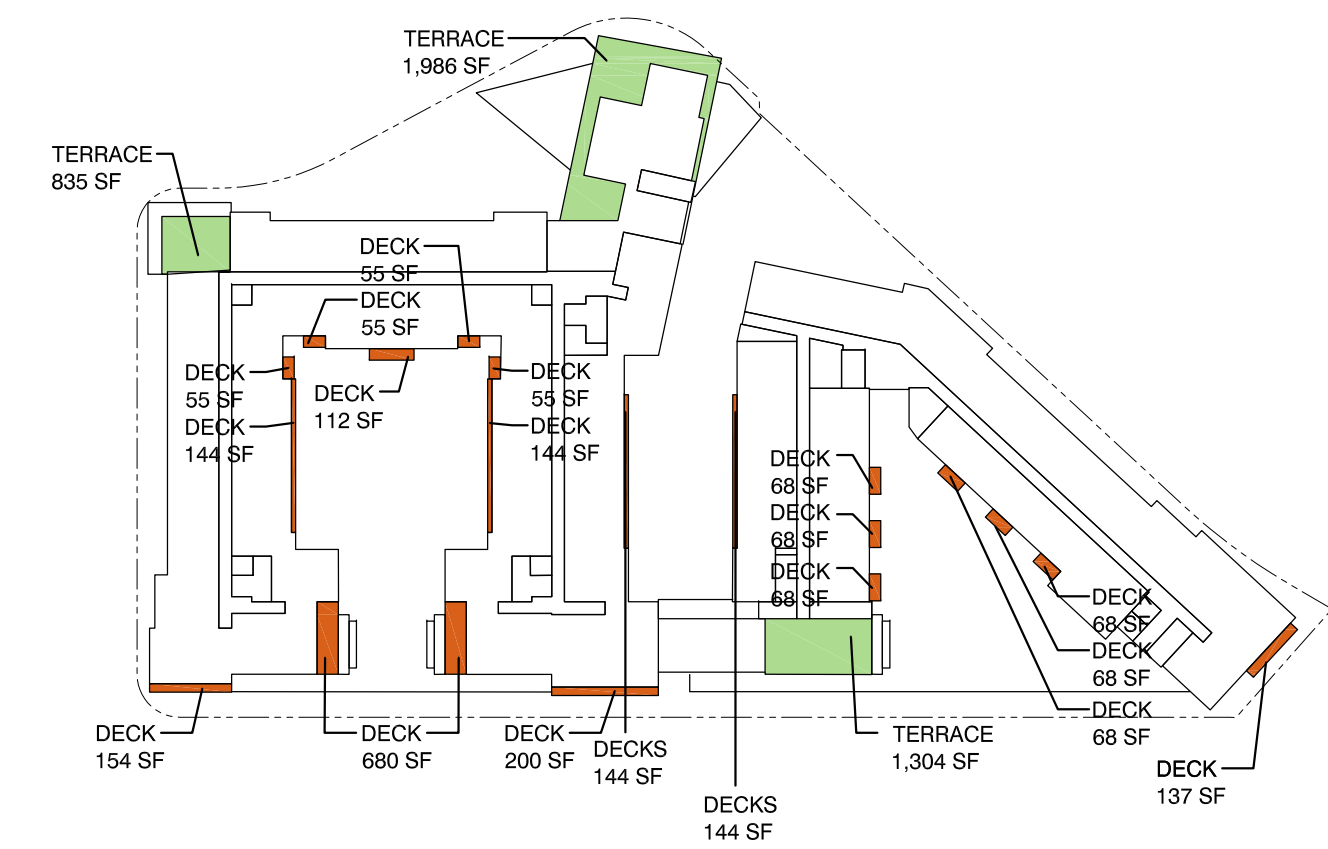
REVISIONS		
NO.	DATE	ISSUE

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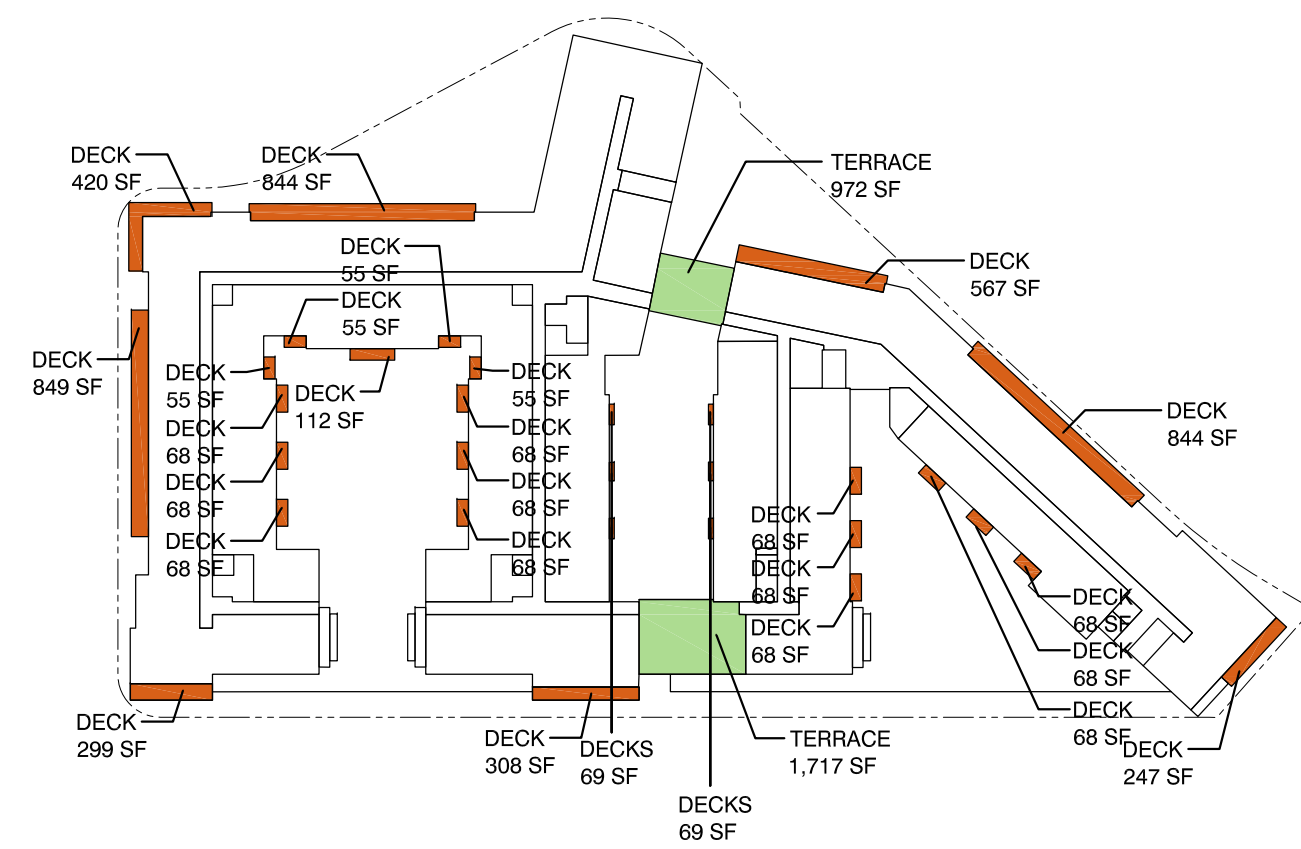
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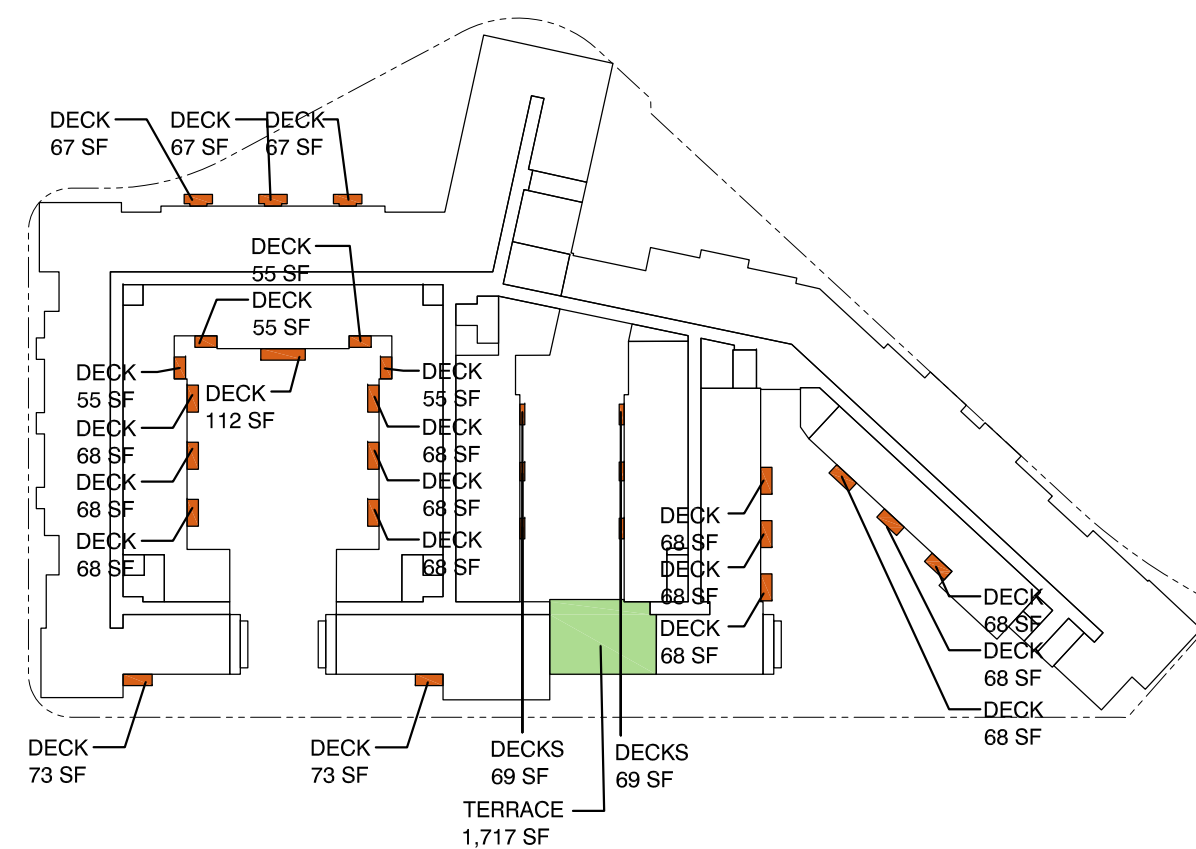




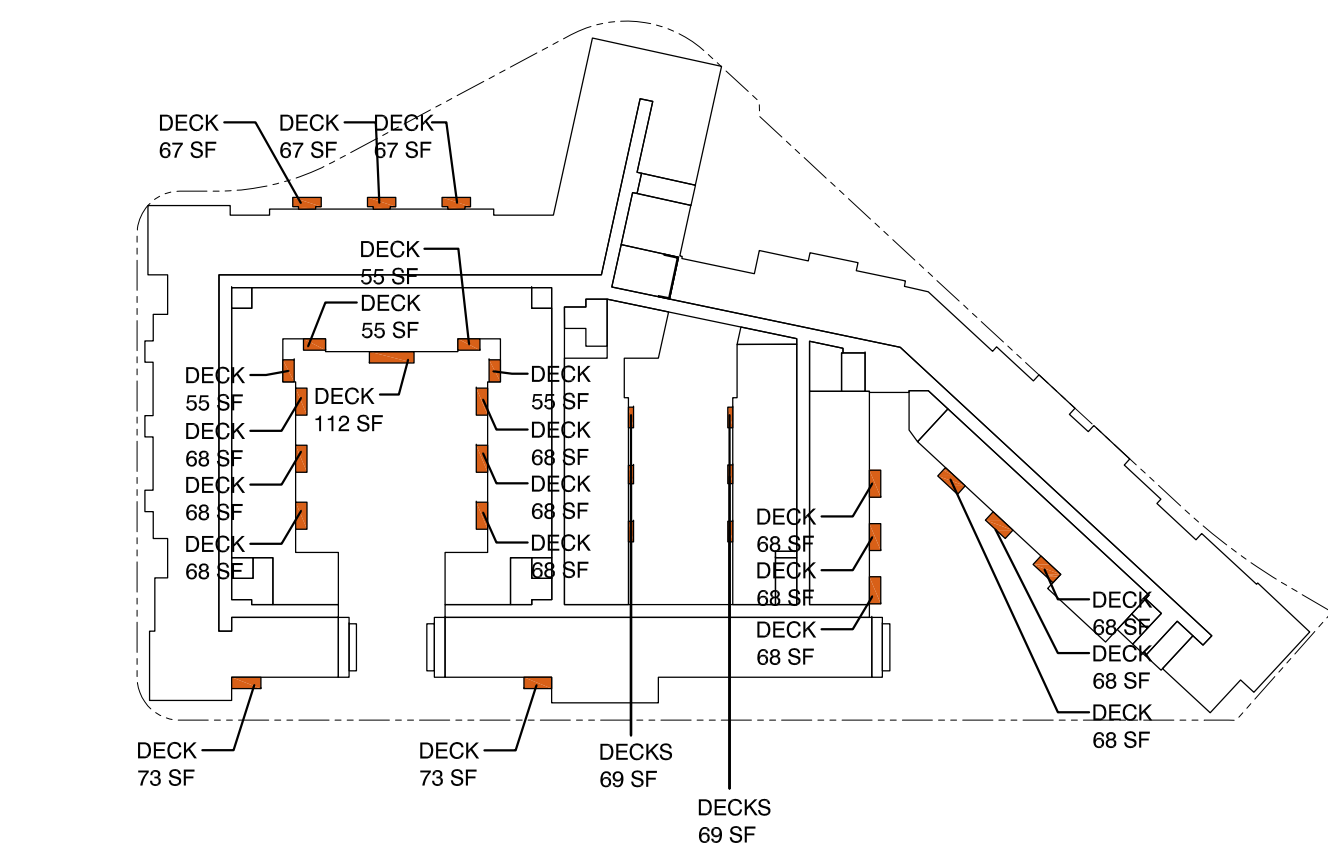
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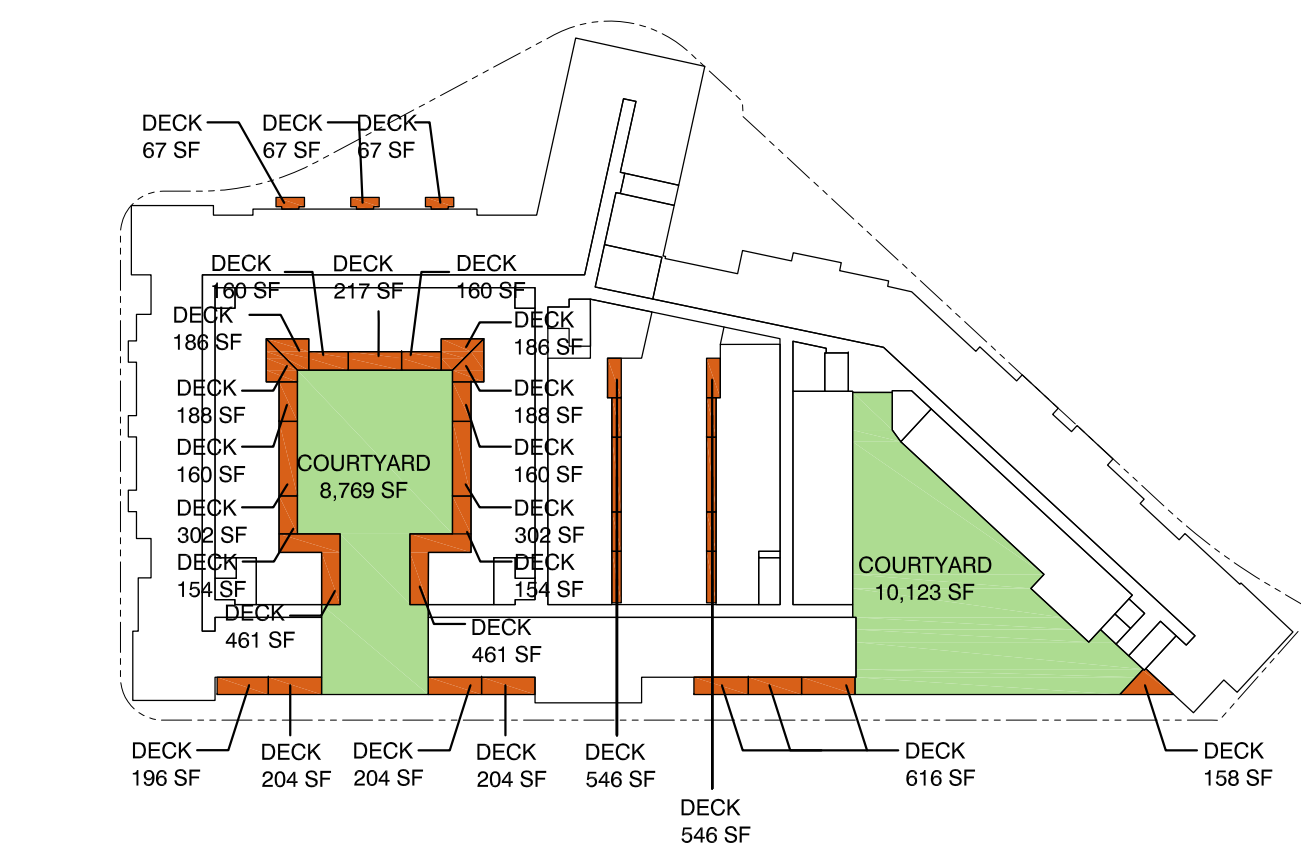
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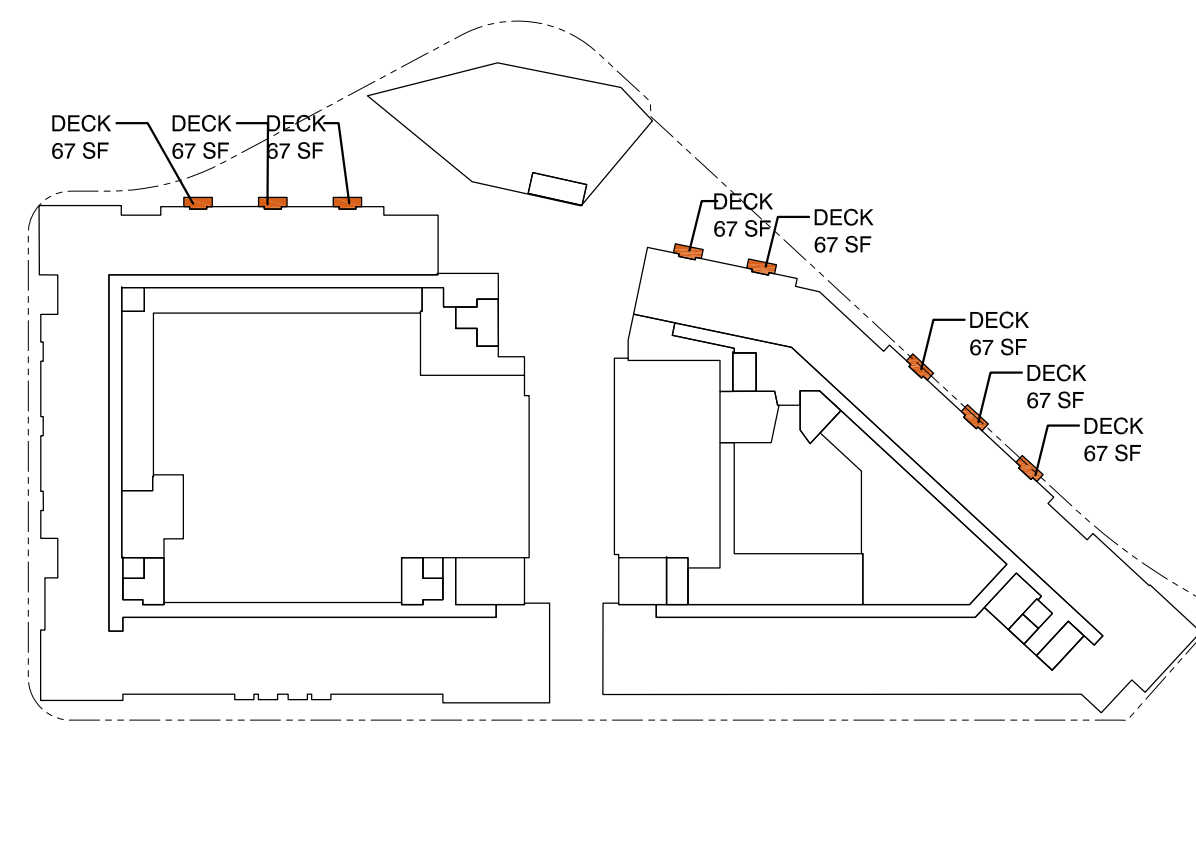
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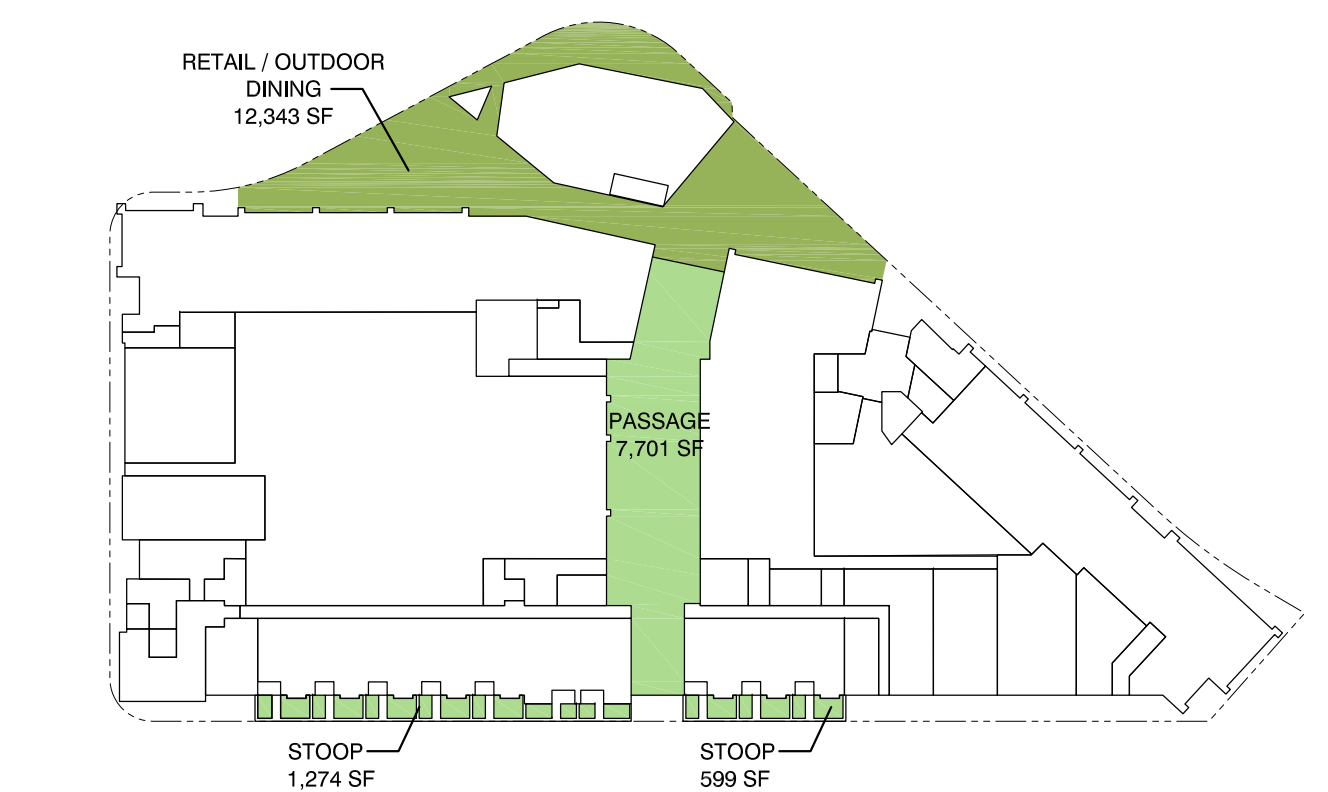
LEVEL 04



LEVEL 03



LEVEL 02



LEVEL 01

PARCEL 3 - OPEN SPACE AREA CALCS			
NAME	OPEN SPACE TYPE	OPEN SPACE LOCATION	AREA
GROUND LEVEL OPEN SPACE	COMMON OPEN SPACE	LEVEL 1 GROUND	9,574 SF
GROUND LEVEL OPEN SPACE: 2			9,574 SF
PODIUM COURTYARD (L3)	COMMON OPEN SPACE	LEVEL 3	18,892 SF
PODIUM LEVEL OPEN SPACE: 2			18,892 SF
SHARED TERRACES (L5)	COMMON OPEN SPACE	LEVEL 5	1,717 SF
SHARED TERRACES (L5)			1,717 SF
SHARED TERRACES (L6)	COMMON OPEN SPACE	LEVEL 6	2,689 SF
SHARED TERRACES (L6)			2,689 SF
SHARED TERRACES (L7)	COMMON OPEN SPACE	LEVEL 7	4,125 SF
SHARED TERRACES (L7)			4,125 SF
COMMON OPEN SPACE			36,997 SF
BALCONY	PRIVATE OPEN SPACE < 80SF		
BALCONY: 128			8,286 SF
PRIVATE OPEN SPACE < 80 SF			8,286 SF
UNIT TERRACE	PRIVATE OPEN SPACE > 80SF		
UNIT TERRACE (L3):			4,863 SF
UNIT TERRACE (L6):			4,378 SF
UNIT TERRACE (L7):			740 SF
PRIVATE OPEN SPACE > 80 SF			9,981 SF
TOTAL OPEN SPACE			55,264 SF

PARCEL 3 OPEN SPACE ANALYSIS:

OPEN SPACE SUMMARY:

LOT AREA:	125,342 SF	100%
-----------	------------	------

OPEN SPACE	AREA	% OF TOTAL AREA
PRIVATE OPEN SPACE	18,267 SF	15%
COMMON OPEN SPACE	36,997 SF	30%
TOTAL	55,264 SF	45%
MINIMUM REQUIRED		25%

PROVIDED PRIVATE OPEN SPACE	UNIT COUNT	AREA/UNIT	TOTAL AREA
UNITS WITH 80SF OR MORE PRIVATE OPEN SPACE	50 VARIES (>80SF)		9,981 SF
UNITS WITH LESS THAN 80SF PRIVATE OPEN SPACE	128 VARIES (<80SF)		8,286 SF
TOTAL	178		18,267 SF

PRIVATE & COMMON OPEN SPACE MIX:

MIN. REQUIRED PRIVATE OPEN SPACE FOR 419 UNITS:  
80 SF/UNIT \* 419 UNITS = 33,520 SF

MIN. AREA OF COMMON OPEN SPACE TO REPLACE (1) SF OR REQUIRED PRIVATE OPEN SPACE THAT IS NOT PROVIDED: 1.25 SF

CALCULATION:		
33,520	SF (REQ. PRIVATE OPEN SPACE)	
9,981	SF (PROVIDED PRIVATE OPEN SPACE)	
23,539	SF (REQ. PRIVATE OPEN SPACE THAT IS NOT PROVIDED)	
x 1.25	SF (RATIO OF REQ. COMMON OPEN SPACE TO PRIVATE)	
29,423.75	SF (MIN. REQUIRED COMMON OPEN SPACE)	
36,997	SF (PROVIDED COMMON OPEN SPACE) > 29,423.75 SF = COMPLIANT	

## OPEN SPACE

### Menlo Park Municipal Code 16.45.120(4) Open Space

(C) Residential developments shall have a minimum of common open space and private open space. These requirements are counted towards the minimum amount of open space equal to twenty-five per-cent (25%) of the total lot area.

- (i) One hundred (100) square feet of open space per unit shall be created as common open space or a minimum of eighty (80) square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of six (6) feet by six (6) feet;
- (ii) In the case of a mix of private and common open space, such common open space shall be provided at a ratio equal to one and one-quarter (1.25) square feet for each one (1) square foot of private open space that is not provided.
- (iii) Depending on the number of dwelling units, common open space shall be provided to meet the following criteria:
  - c. One hundred one (101) or more units: minimum of one (1) space, forty (40) feet minimum dimension (one thousand six hundred (1,600) square feet total, minimum).

(D) All open spaces shall:

- (i) Interface with adjacent buildings via direct connections through doors, windows, and entryways;
- (ii) Be integrated as part of building modulation and articulation to enhance building facade and should be sited and designed to be appropriate for the size of the development and accommodate different activities, groups and both active and passive uses;
- (iii) Incorporate landscaping design that includes:
  - a. Sustainable stormwater features;
  - b. A minimum landscaping bed no less than three (3) feet in length or width and five (5) feet in depth for infiltration planting;
  - c. Native species able to grow to their maximum size without shearing.

(E) All exterior landscaping counts towards open space requirements.

Proposal / Notes: See open space calculations provided below.

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NOTE: THIS DRAWING IS BEING AS-NO-PROF SCALE. DIMENSIONS USE REQUIRED DIMENSIONS ONLY. SEE CLARIFICATIONS FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

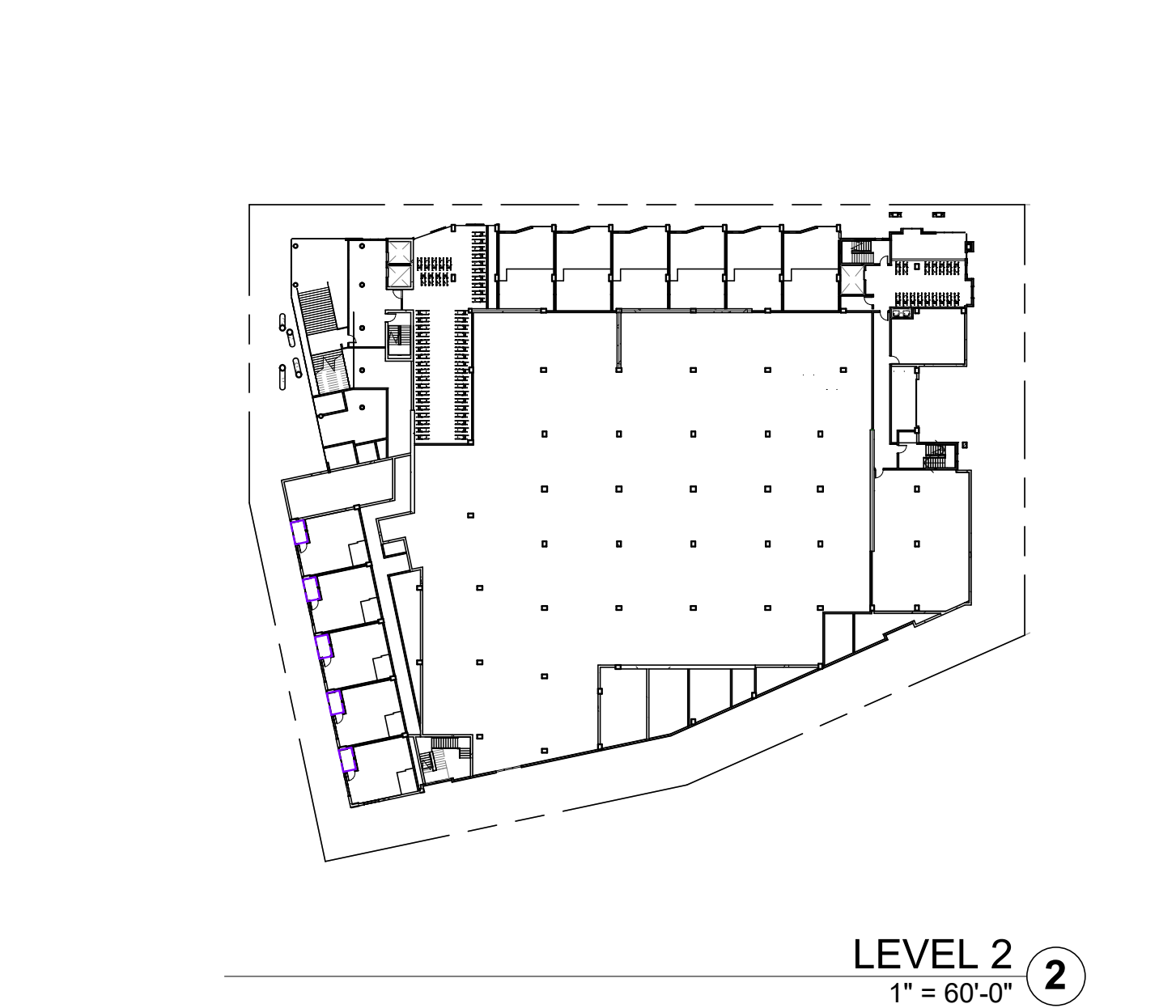
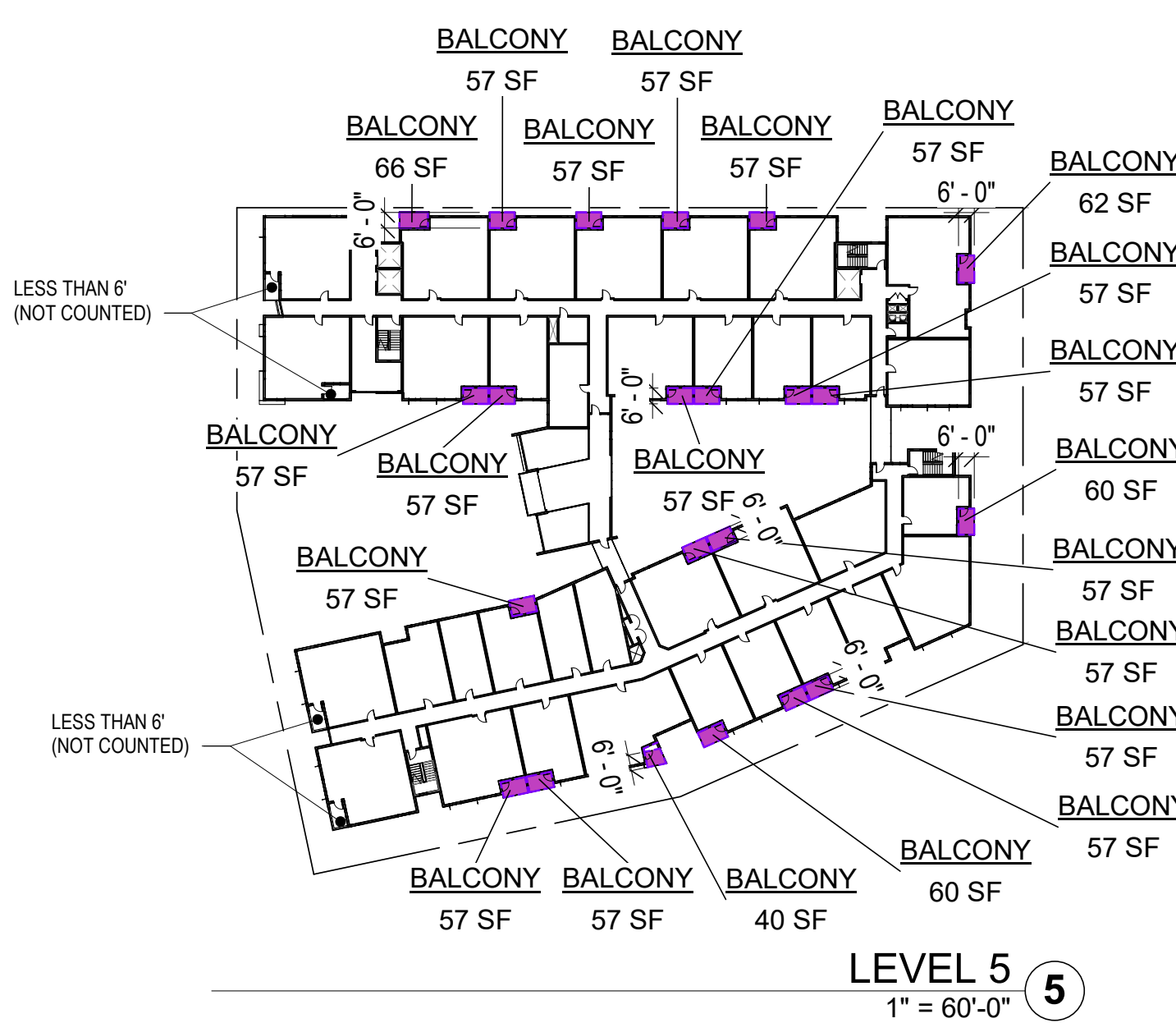
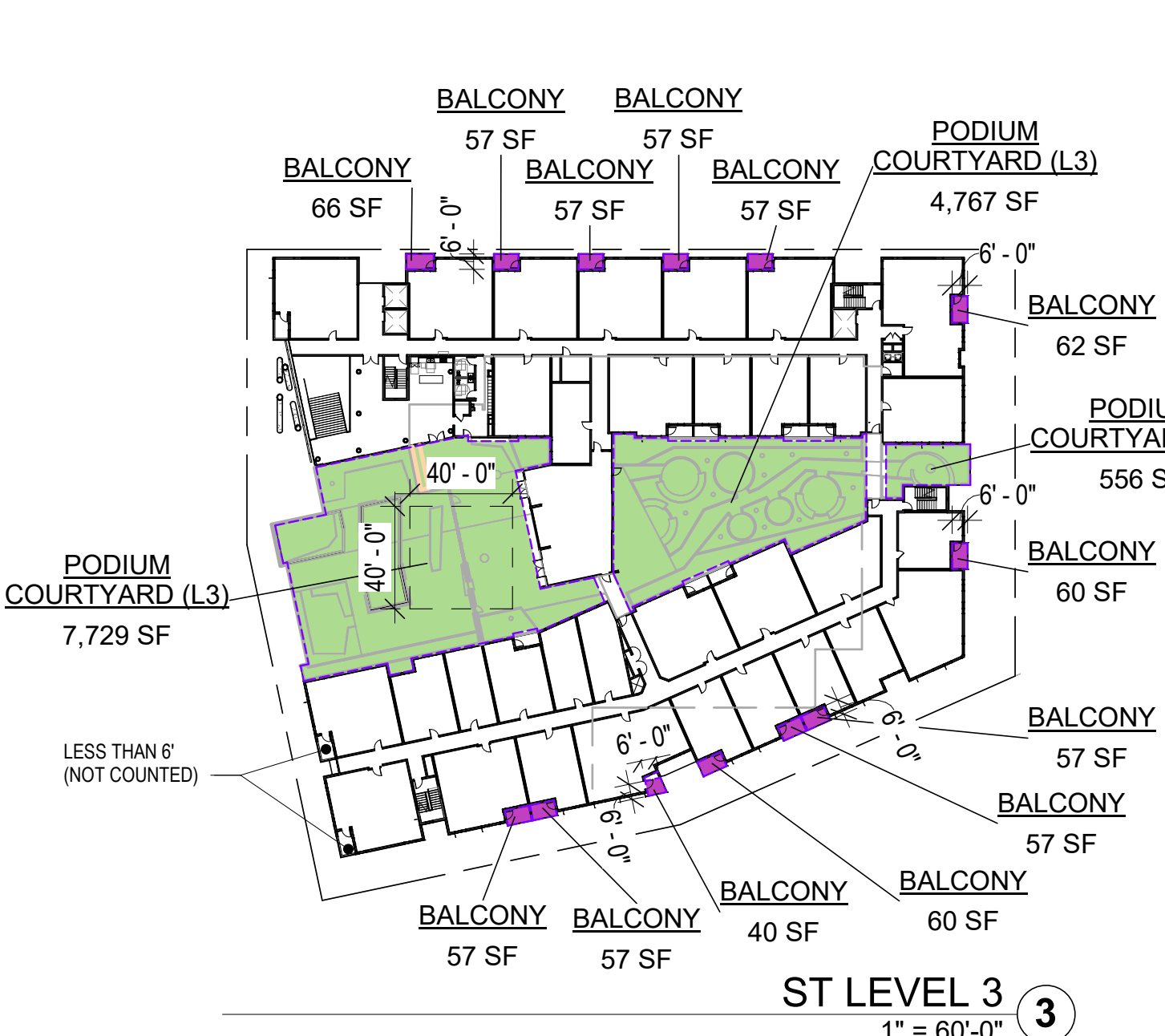
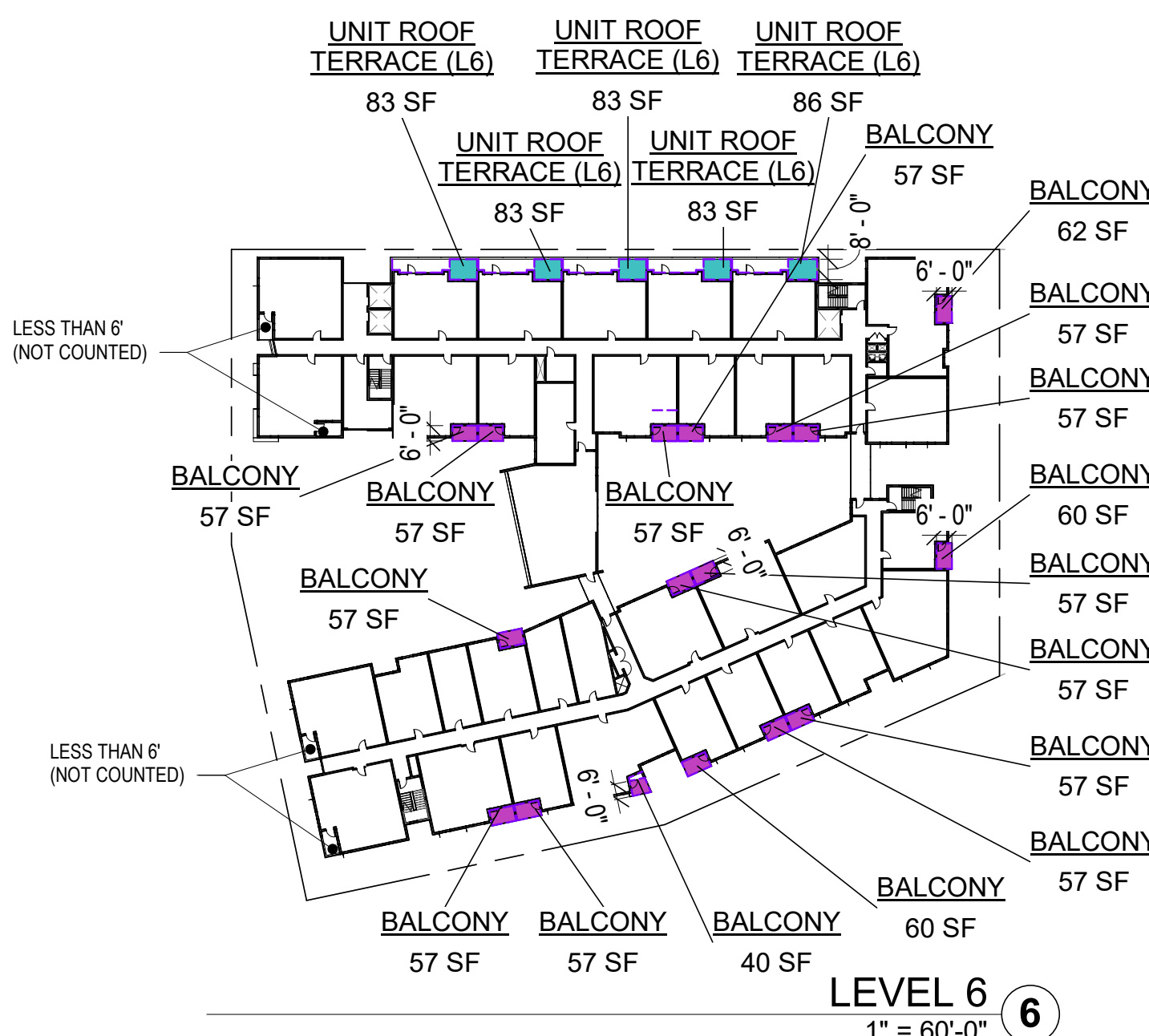
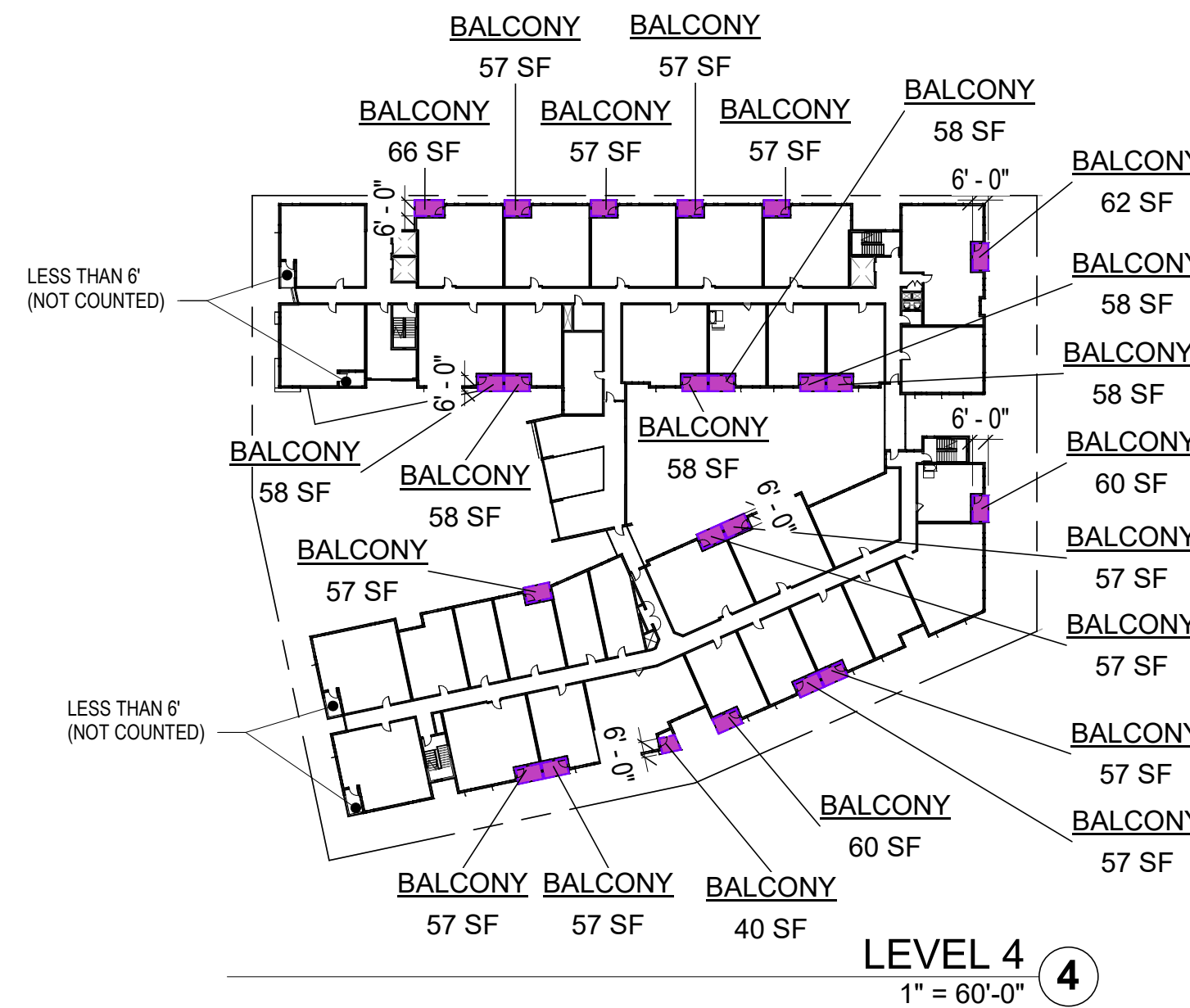
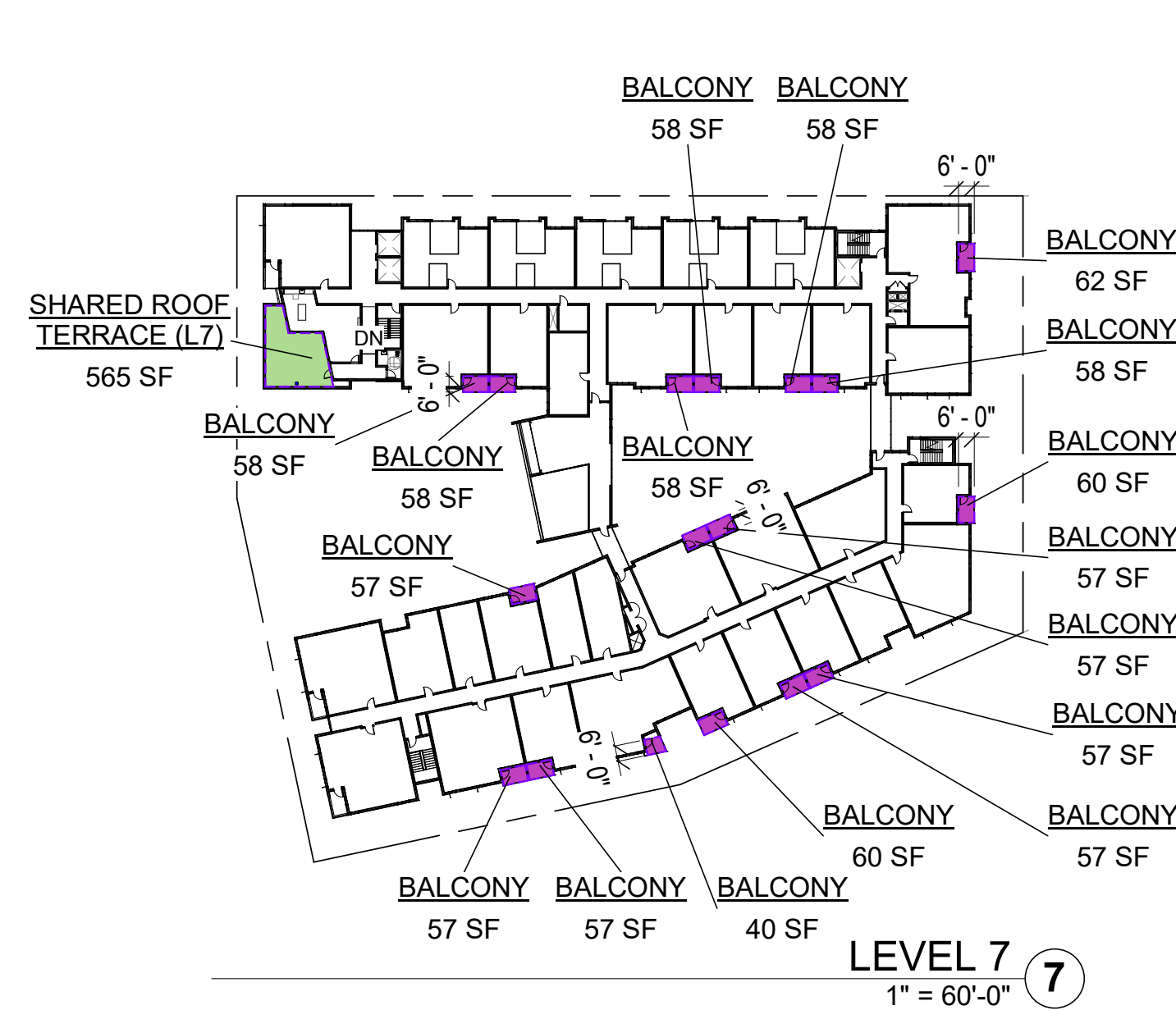
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PARCEL 6 - OPEN SPACE AREA CALCS			
Name	Open Space Type	Open Space Location	Area
GROUND LEVEL OPEN SPACE	COMMON OPEN SPACE	L1	2,736 SF
GROUND LEVEL OPEN SPACE: 2			2,736 SF
PODIUM COURTYARD (L3): 3	COMMON OPEN SPACE	L3	13,052 SF
PODIUM COURTYARD (L3): 3			13,052 SF
SHARED ROOF TERRACE (L7): 1	COMMON OPEN SPACE	L7	565 SF
SHARED ROOF TERRACE (L7): 1			565 SF
BALCONY	PRIVATE OPEN SPACE <80SF	L3-L7	5,192 SF
BALCONY: 91			5,192 SF
PRIVATE OPEN SPACE <80SF			5,192 SF
STOOP PATIO	PRIVATE OPEN SPACE >80SF	L1	605 SF
STOOP PATIO: 6			605 SF
UNIT ROOF TERRACE (L6)	PRIVATE OPEN SPACE >80SF	L6	418 SF
UNIT ROOF TERRACE (L6): 5			418 SF
PRIVATE OPEN SPACE >80SF			1,023 SF
Total Open Space			22,569 SF

**PARCEL 6 OPEN SPACE ANALYSIS:**

**OPEN SPACE SUMMARY:**

LOT AREA:	64,315 SF	100%
OPEN SPACE	AREA	% OF TOTAL AREA
PRIVATE OPEN SPACE	6,215 SF	10%
COMMON OPEN SPACE	16,354 SF	25%
<b>TOTAL</b>	<b>22,569 SF</b>	<b>35%</b>
<b>MINIMUM REQUIRED</b>		<b>25%</b>

PROVIDED PRIVATE OPEN SPACE	Unit Count	Area/Unit	Total Area
Units with 80SF or more Private Open Space:	11	Varies (>80SF)	1,023 SF
Units with less than 80SF Private Open Space:	167	Varies (<80SF)	5,192 SF
Total:	178		6,215 SF

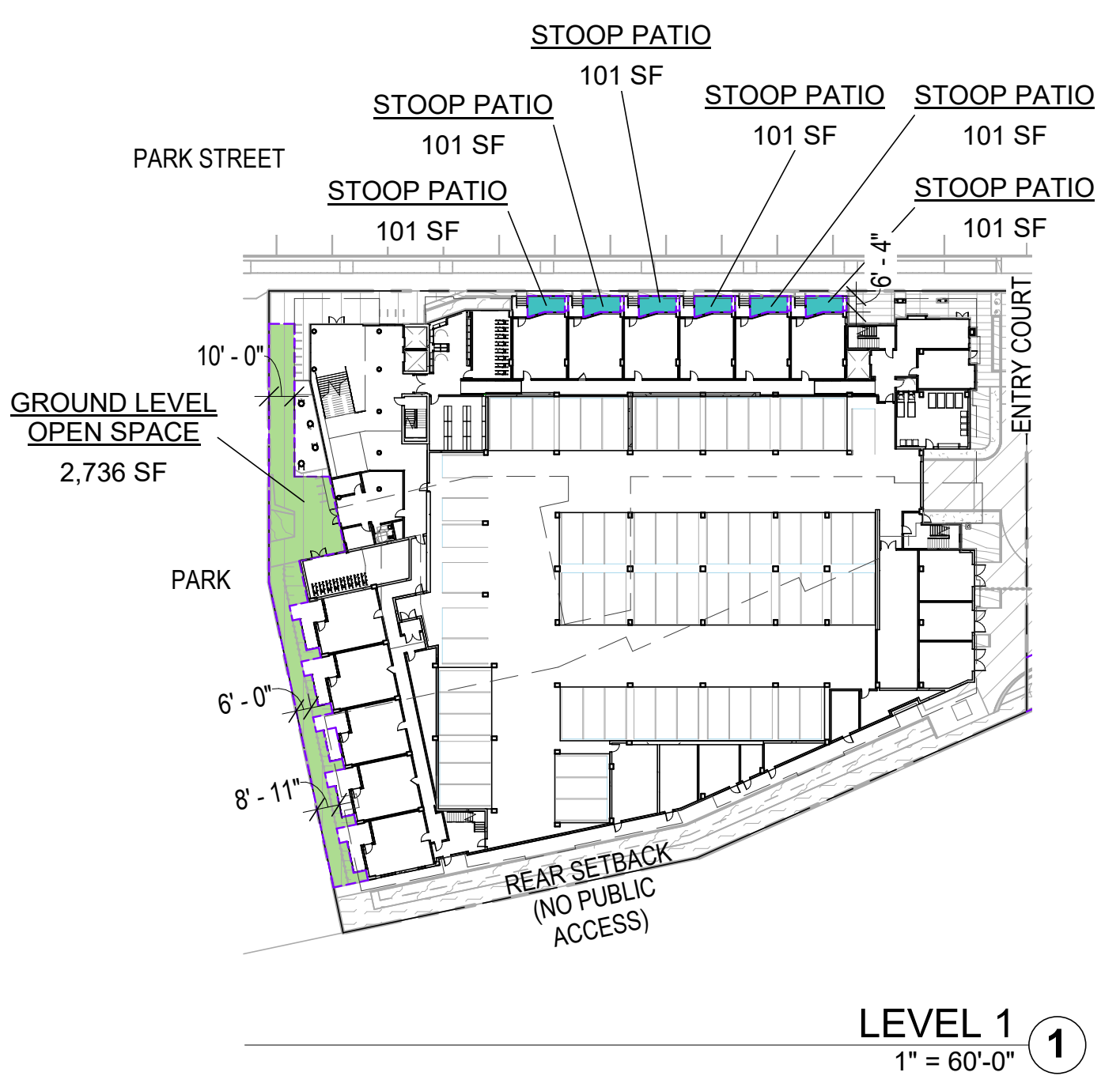
**PRIVATE & COMMON OPEN SPACE MIX:**

MIN. REQUIRED PRIVATE OPEN SPACE FOR 167 UNITS:  
80 SF/UNIT \* 167 UNITS = 13,360 SF

MIN. AREA OF COMMON OPEN SPACE TO REPLACE (1) SF OF REQUIRED PRIVATE OPEN SPACE THAT IS NOT PROVIDED: 1.25 SF

CALCULATION:

13,360	SF (REQ. PRIVATE OPEN SPACE)
- 5,192	SF (PROVIDED PRIVATE OPEN SPACE)
8,168	SF (REQ. PRIVATE OPEN SPACE THAT IS NOT PROVIDED)
x 1.25	SF (RATIO OF REQ. COMMON OPEN SPACE TO PRIVATE)
10,210	SF (MIN. REQUIRED COMMON OPEN SPACE)
16,354	SF (PROVIDED COMMON OPEN SPACE) > 10,210 SF = COMPLIANT



**MENLO PARK ZONING CODE REQUIREMENTS**

**16.45.120 (4): OPEN SPACE**

(C) RESIDENTIAL DEVELOPMENTS SHALL HAVE A MINIMUM OF COMMON OPEN SPACE AND PRIVATE OPEN SPACE. THESE REQUIREMENTS ARE COUNTED TOWARDS THE MINIMUM AMOUNT OF OPEN SPACE EQUAL TO TWENTY-FIVE PERCENT (25%) OF THE TOTAL LOT AREA.

(I) ONE HUNDRED (100) SQUARE FEET OF OPEN SPACE PER UNIT SHALL BE CREATED AS COMMON OPEN SPACE OR A MINIMUM OF EIGHTY (80) SQUARE FEET OF OPEN SPACE PER UNIT CREATED AS PRIVATE OPEN SPACE, WHERE PRIVATE OPEN SPACE SHALL HAVE A MINIMUM DIMENSION OF SIX (6) FEET BY SIX (6) FEET;

(II) IN THE CASE OF A MIX OF PRIVATE AND COMMON OPEN SPACE, SUCH COMMON OPEN SPACE SHALL BE PROVIDED AT A RATIO EQUAL TO ONE AND ONE-QUARTER (1.25) SQUARE FEET FOR EACH ONE (1) SQUARE FOOT OF PRIVATE OPEN SPACE THAT IS NOT PROVIDED.

(III) DEPENDING ON THE NUMBER OF DWELLING UNITS, COMMON OPEN SPACE SHALL BE PROVIDED TO MEET THE FOLLOWING CRITERIA:  
C. ONE HUNDRED ONE (101) OR MORE UNITS:  
MINIMUM OF ONE (1) SPACE, FORTY (40) FEET  
MINIMUM DIMENSION (ONE THOUSAND SIX HUNDRED (1,600) SQUARE FEET TOTAL, MINIMUM).

(D) ALL OPEN SPACES SHALL:

(I) INTERFACE WITH ADJACENT BUILDINGS VIA DIRECT CONNECTIONS THROUGH DOORS, WINDOWS, AND ENTRYWAYS;

(II) BE INTEGRATED AS PART OF BUILDING MODULATION AND ARTICULATION TO ENHANCE BUILDING FACADE AND SHOULD BE SITED AND DESIGNED TO BE APPROPRIATE FOR THE SIZE OF THE DEVELOPMENT AND ACCOMMODATE DIFFERENT ACTIVITIES, GROUPS AND BOTH ACTIVE AND PASSIVE USES;

(III) INCORPORATE LANDSCAPING DESIGN THAT INCLUDES:  
A. SUSTAINABLE STORMWATER FEATURES;  
B. A MINIMUM LANDSCAPING BED NO LESS THAN THREE (3) FEET IN LENGTH OR WIDTH AND FIVE (5) FEET IN DEPTH FOR INFILTRATION PLANTING;  
C. NATIVE SPECIES ABLE TO GROW TO THEIR MAXIMUM SIZE WITHOUT SHEARING.

(E) ALL EXTERIOR LANDSCAPING COUNTS TOWARDS OPEN SPACE REQUIREMENTS.

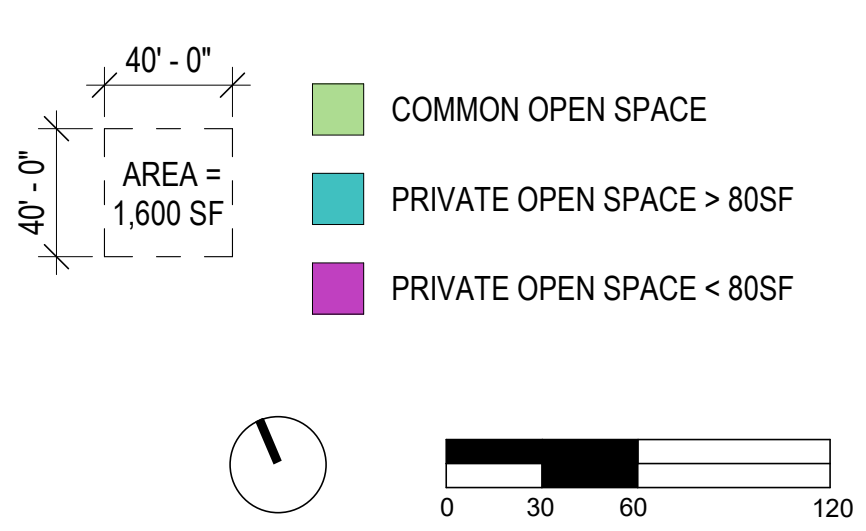
**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 6  
 Peninsula Innovation Partners  
 Menlo Park, CA

SCALE: 1" = 60'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE REQUIRED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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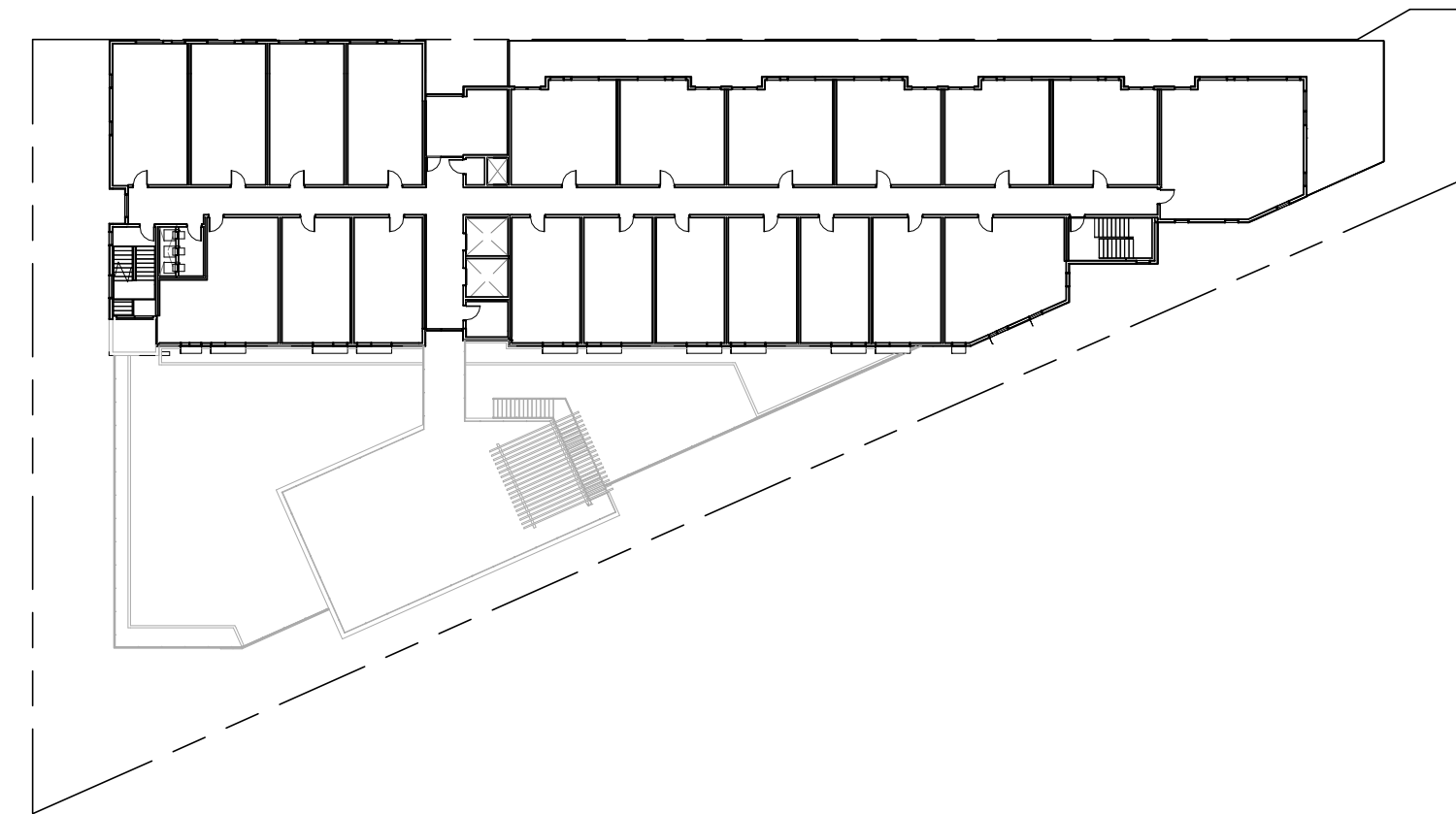
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NO.	DATE	ISSUE

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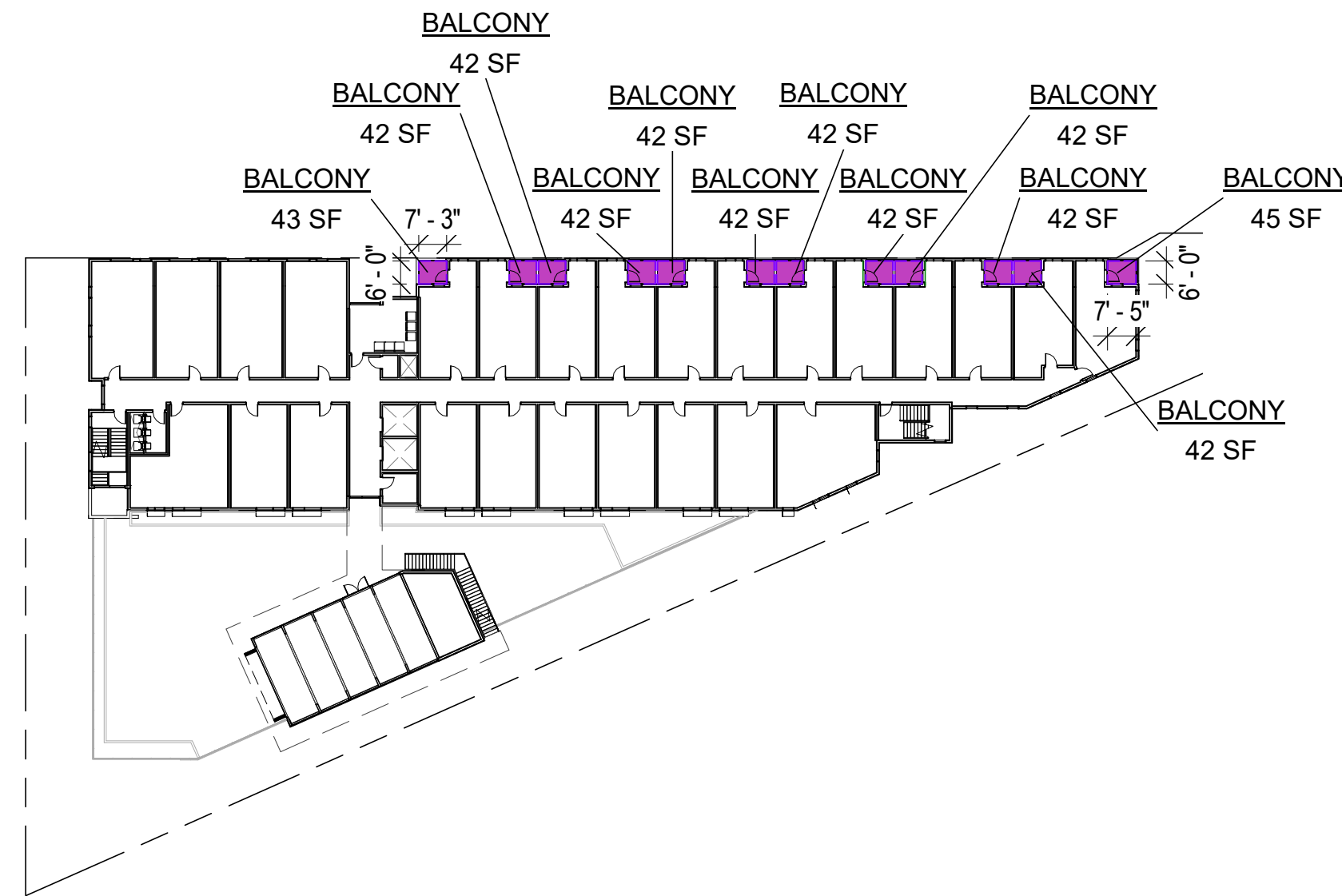




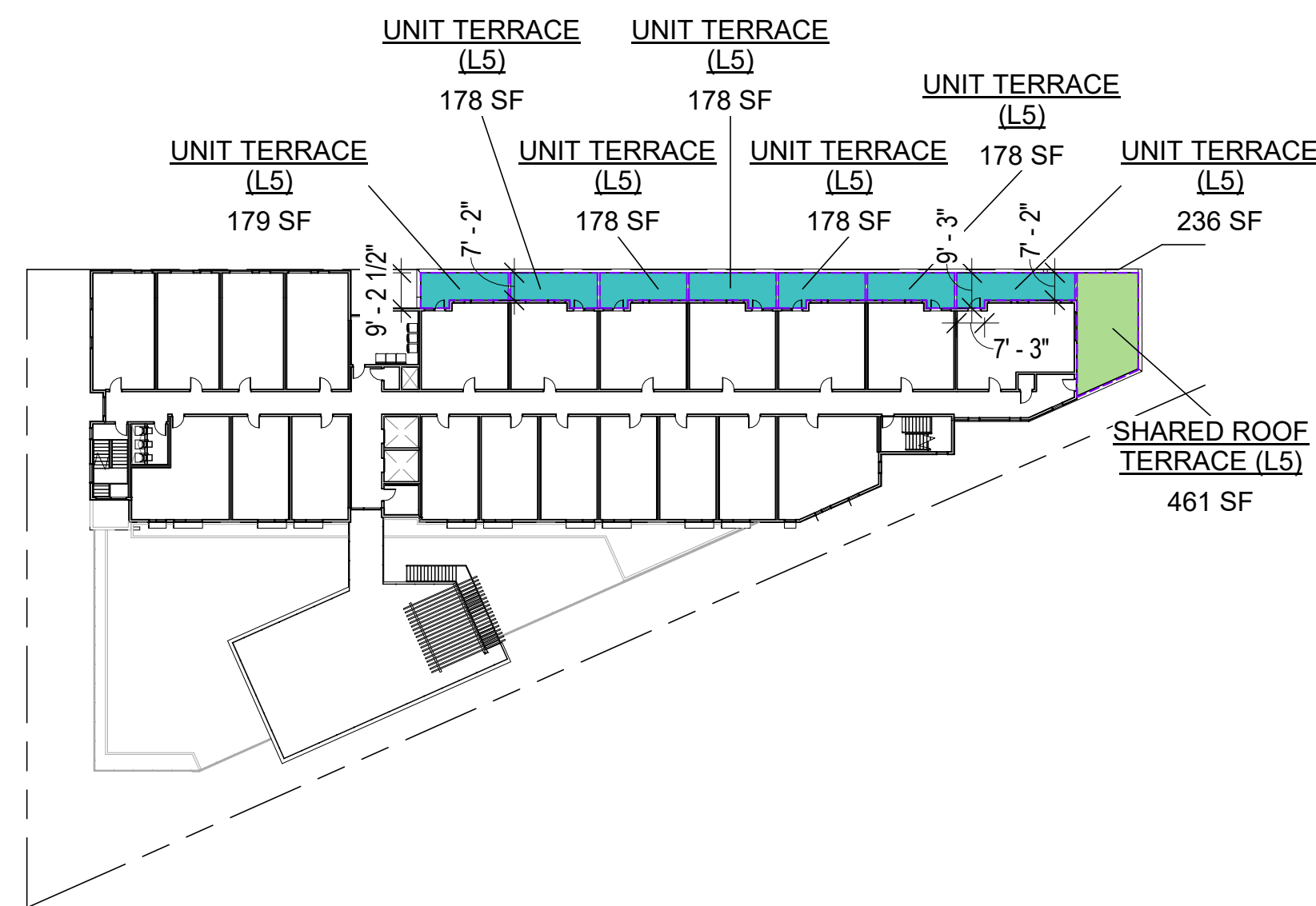
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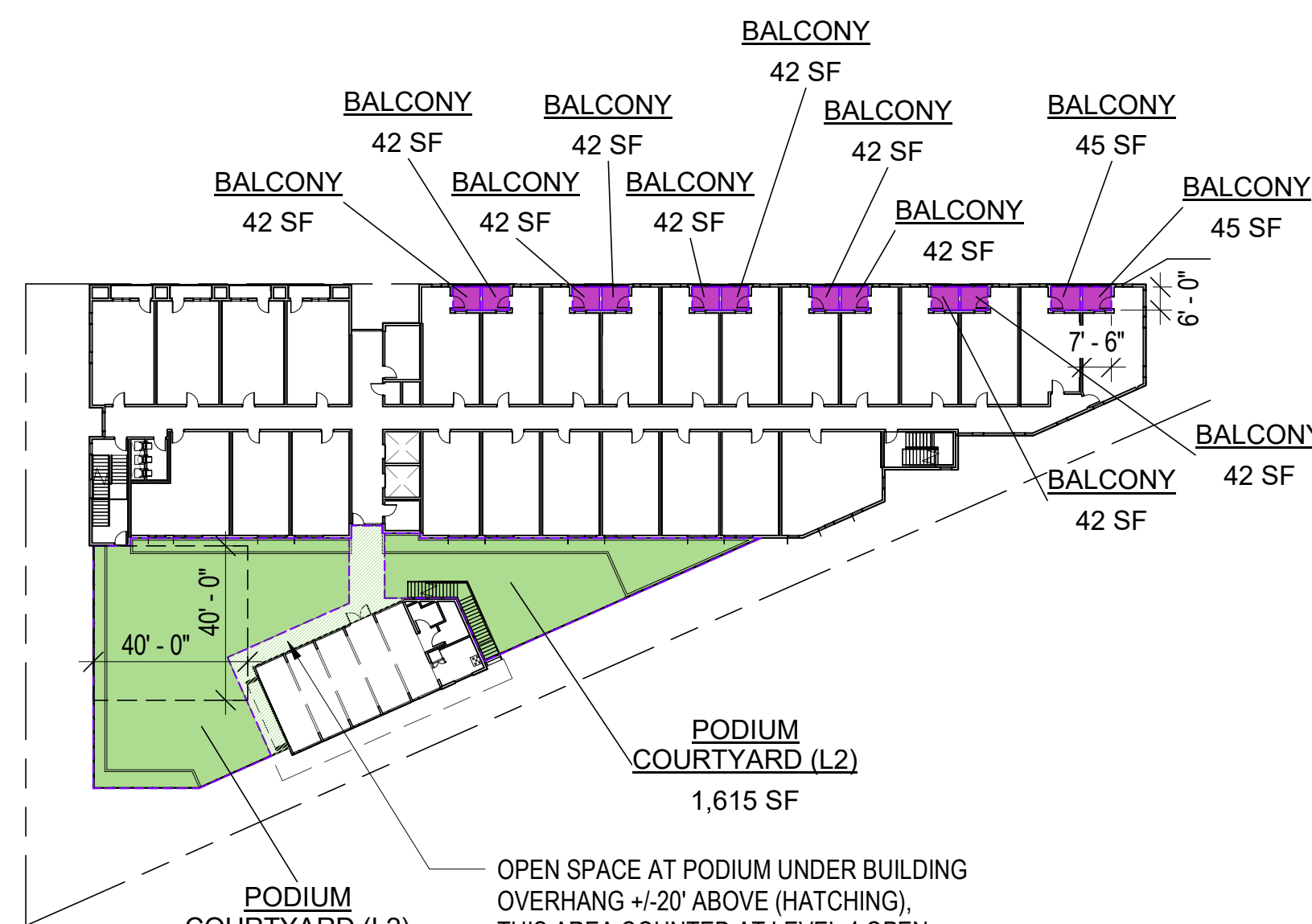
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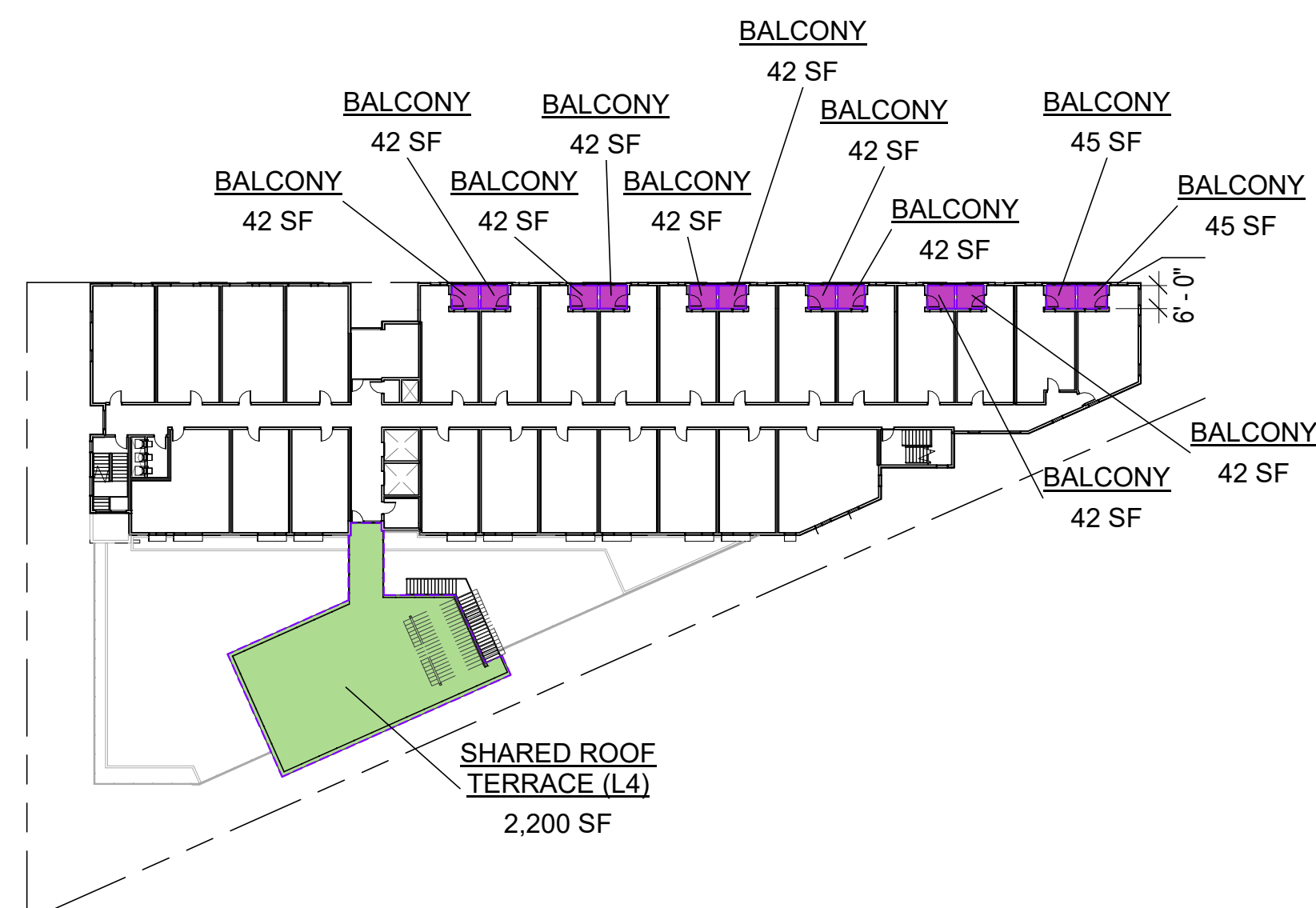
LEVEL 3  
1" = 40'-0" ③



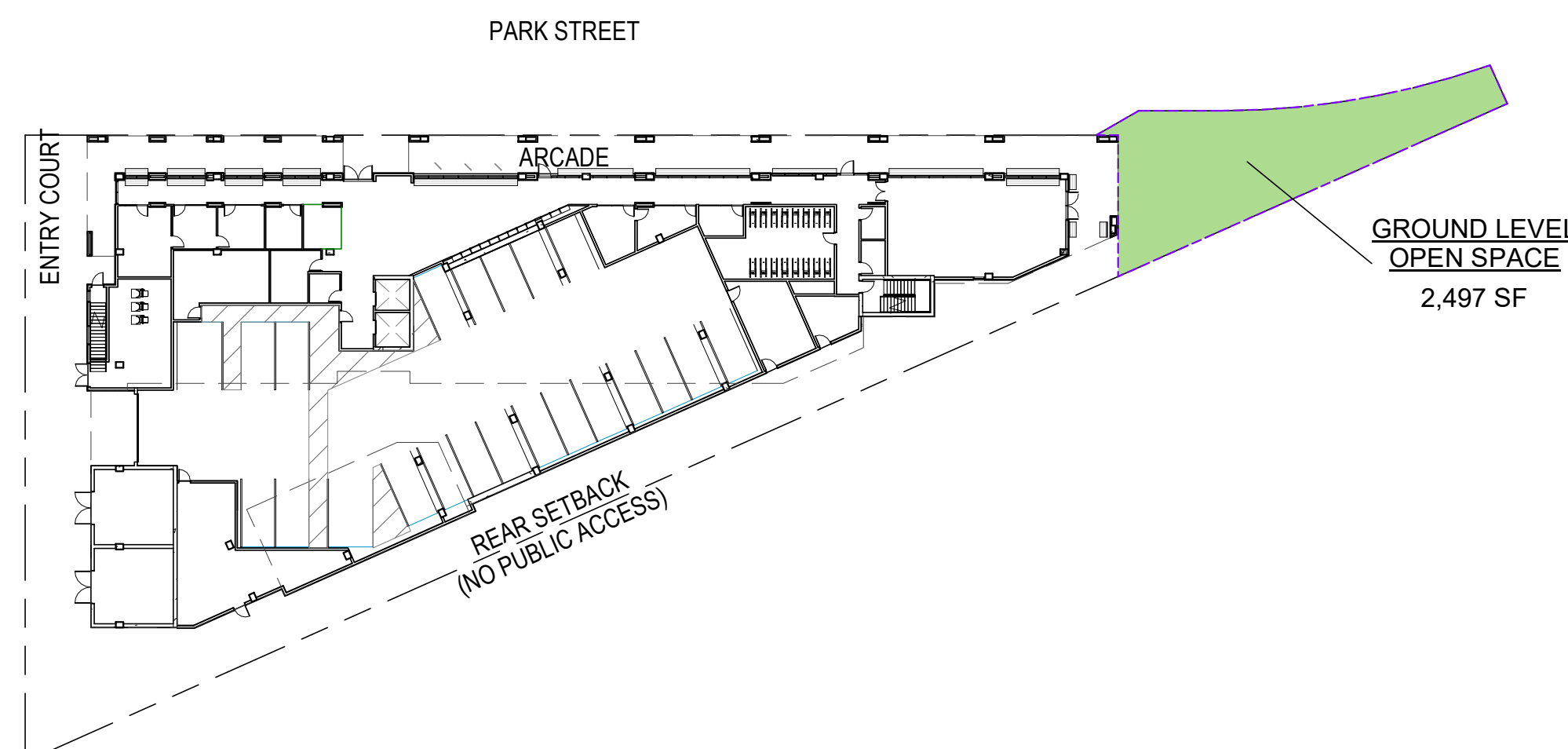
LEVEL 5  
1" = 40'-0" ⑤



LEVEL 2  
1" = 40'-0" ②



LEVEL 4  
1" = 40'-0" ④



LEVEL 1  
1" = 40'-0" ①

PARCEL 7 - OPEN SPACE AREA CALCS			
Name	Open Space Type	Open Space Location	Area
GROUND LEVEL OPEN SPACE	COMMON OPEN SPACE	LEVEL 1 GROUND	2,497 SF
GROUND LEVEL OPEN SPACE: 2			2,497 SF
PODIUM COURTYARD (L2)	COMMON OPEN SPACE	LEVEL 2	4,765 SF
PODIUM COURTYARD (L2): 2			4,765 SF
SHARED ROOF TERRACE (L4)	COMMON OPEN SPACE	LEVEL 4	2,200 SF
SHARED ROOF TERRACE (L4): 1			2,200 SF
SHARED ROOF TERRACE (L5)	COMMON OPEN SPACE	LEVEL 5	461 SF
SHARED ROOF TERRACE (L5): 1			461 SF
COMMON OPEN SPACE			9,923 SF
BALCONY	PRIVATE OPEN SPACE	LEVELS 2-4	1,534 SF
BALCONY: 36			1,534 SF
PRIVATE OPEN SPACE <80SF			1,534 SF
UNIT TERRACE (L5)	PRIVATE OPEN SPACE	LEVEL 5	1,303 SF
UNIT TERRACE (L5): 7			1,303 SF
PRIVATE OPEN SPACE >80SF			1,303 SF
Total Open Space			12,760 SF

PARCEL 7 OPEN SPACE ANALYSIS:

OPEN SPACE SUMMARY:

LOT AREA: 32,101 SF 100%

OPEN SPACE	AREA	% OF TOTAL AREA
PRIVATE OPEN SPACE	2,837 SF	9%
COMMON OPEN SPACE	9,923 SF	31%
TOTAL	12,760 SF	40%
MINIMUM REQUIRED		25%

PROVIDED PRIVATE OPEN SPACE	Unit Count	Area/Unit	Total Area
Units with 80SF or more Private Open Space:	7	Varies (>80SF)	1,303 SF
Units with less than 80SF Private Open Space:	113	Varies (<80SF)	1,534 SF
Total:	120		2,837 SF

PRIVATE & COMMON OPEN SPACE MIX:

MIN. REQUIRED PRIVATE OPEN SPACE FOR 113 UNITS:  
80 SF/UNIT \* 113 UNITS = 9,040 SF

MIN. AREA OF COMMON OPEN SPACE TO REPLACE (1) SF OF REQUIRED PRIVATE OPEN SPACE THAT IS NOT PROVIDED: 1.25 SF

CALCULATION:  
9,040 SF (REQ. PRIVATE OPEN SPACE)  
- 1,534 SF (PROVIDED PRIVATE OPEN SPACE)  
7,506 SF (REQ. PRIVATE OPEN SPACE THAT IS NOT PROVIDED)  
x 1.25 SF (RATIO OF REQ. COMMON OPEN SPACE TO PRIVATE)  
9,383 SF (MIN. REQUIRED COMMON OPEN SPACE)  
9,923 SF (PROVIDED COMMON OPEN SPACE) > 9,383 SF = COMPLIANT

MENLO PARK ZONING CODE REQUIREMENTS

16.45.120 (4): OPEN SPACE

(C) RESIDENTIAL DEVELOPMENTS SHALL HAVE A MINIMUM OF COMMON OPEN SPACE AND PRIVATE OPEN SPACE. THESE REQUIREMENTS ARE COUNTED TOWARDS THE MINIMUM AMOUNT OF OPEN SPACE EQUAL TO TWENTY-FIVE PERCENT (25%) OF THE TOTAL LOT AREA.

(I) ONE HUNDRED (100) SQUARE FEET OF OPEN SPACE PER UNIT SHALL BE CREATED AS COMMON OPEN SPACE OR A MINIMUM OF EIGHTY (80) SQUARE FEET OF OPEN SPACE PER UNIT CREATED AS PRIVATE OPEN SPACE, WHERE PRIVATE OPEN SPACE SHALL HAVE A MINIMUM DIMENSION OF SIX (6) FEET BY SIX (6) FEET;

(II) IN THE CASE OF A MIX OF PRIVATE AND COMMON OPEN SPACE, SUCH COMMON OPEN SPACE SHALL BE PROVIDED AT A RATIO EQUAL TO ONE AND ONE-QUARTER (1.25) SQUARE FEET FOR EACH ONE (1) SQUARE FOOT OF PRIVATE OPEN SPACE THAT IS NOT PROVIDED.

(III) DEPENDING ON THE NUMBER OF DWELLING UNITS, COMMON OPEN SPACE SHALL BE PROVIDED TO MEET THE FOLLOWING CRITERIA:  
C. ONE HUNDRED ONE (101) OR MORE UNITS:  
MINIMUM OF ONE (1) SPACE, FORTY (40) FEET  
MINIMUM DIMENSION (ONE THOUSAND SIX HUNDRED (1,600) SQUARE FEET TOTAL, MINIMUM).

(D) ALL OPEN SPACES SHALL:

(I) INTERFACE WITH ADJACENT BUILDINGS VIA DIRECT CONNECTIONS THROUGH DOORS, WINDOWS, AND ENTRYWAYS;

(II) BE INTEGRATED AS PART OF BUILDING MODULATION AND ARTICULATION TO ENHANCE BUILDING FACADE AND SHOULD BE SITED AND DESIGNED TO BE APPROPRIATE FOR THE SIZE OF THE DEVELOPMENT AND ACCOMMODATE DIFFERENT ACTIVITIES, GROUPS AND BOTH ACTIVE AND PASSIVE USES;

(III) INCORPORATE LANDSCAPING DESIGN THAT INCLUDES:  
A. SUSTAINABLE STORMWATER FEATURES;  
B. A MINIMUM LANDSCAPING BED NO LESS THAN THREE (3) FEET IN LENGTH OR WIDTH AND FIVE (5) FEET IN DEPTH FOR INFILTRATION PLANTING;  
C. NATIVE SPECIES ABLE TO GROW TO THEIR MAXIMUM SIZE WITHOUT SHEARING.

(E) ALL EXTERIOR LANDSCAPING COUNTS TOWARDS OPEN SPACE REQUIREMENTS.

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: 1" = 40'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE REQUIRED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR REQUIREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/11/2022	ACP

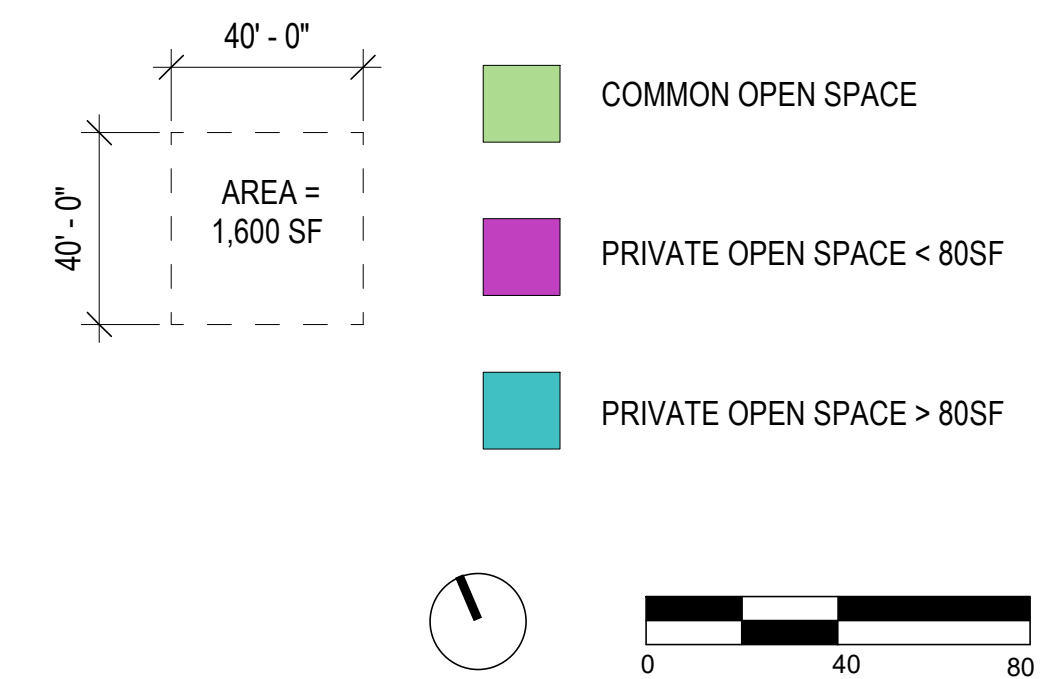
REVISIONS

NO.	DATE	ISSUE
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OPEN SPACE PLANS

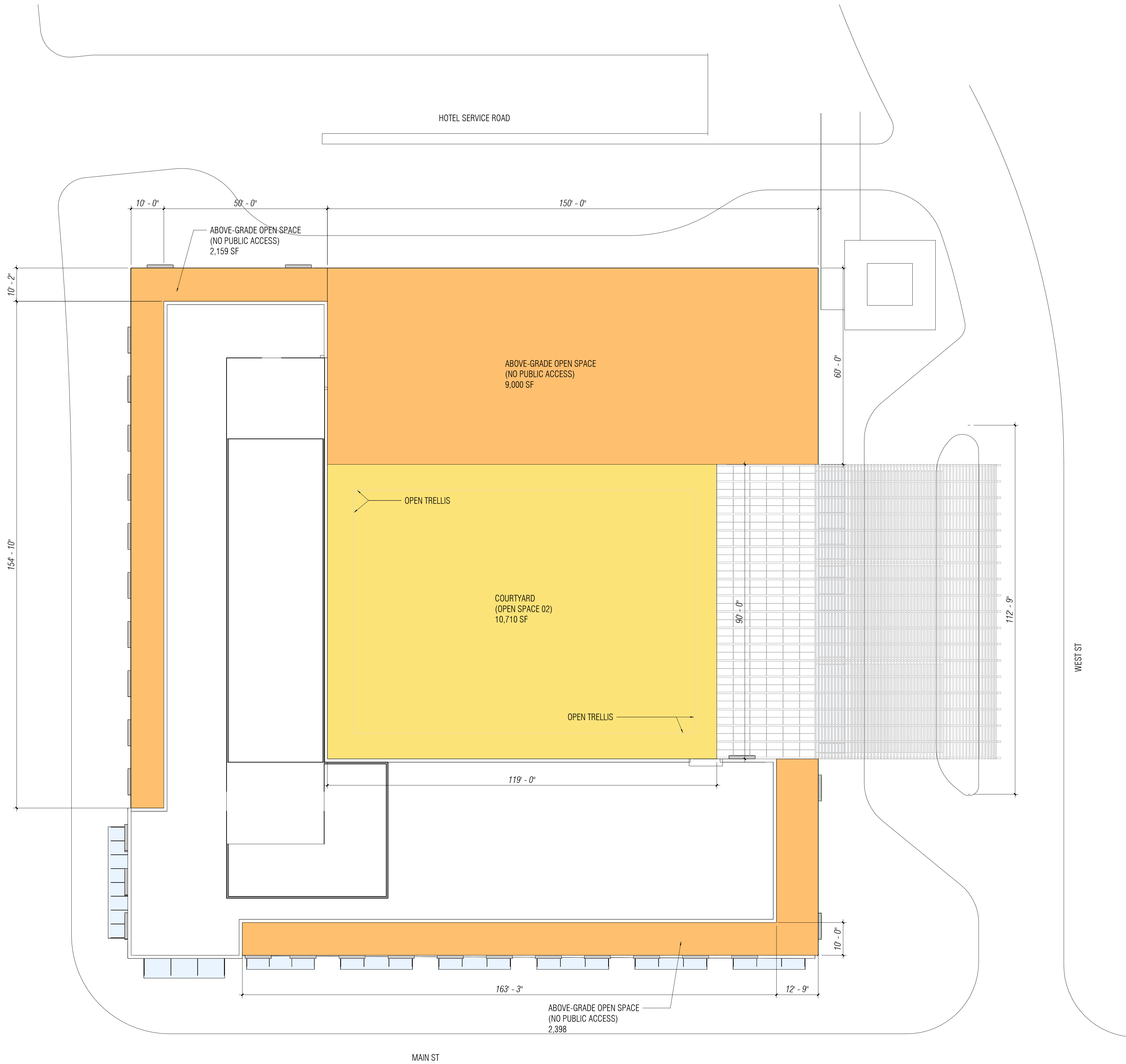
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A9.06

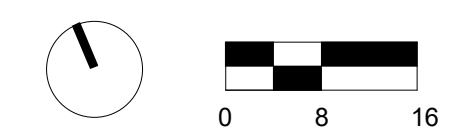




OPEN SPACE SUMMARY - HOTEL		
	OPEN SPACE	AREA (FT <sup>2</sup> )
	ABOVE-GRADE OPEN SPACE (NO PUBLIC ACCESS)	13,557
	AT-GRADE OPEN SPACE (NO PUBLIC ACCESS)	10,710
	<b>TOTAL</b>	<b>24,267</b>



1 OPEN SPACE DIAGRAM  
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 1 - Hotel  
Menlo Park, CA

SCALE: 1/16" = 1'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
Willow Village Hotel  
Open Space Plan

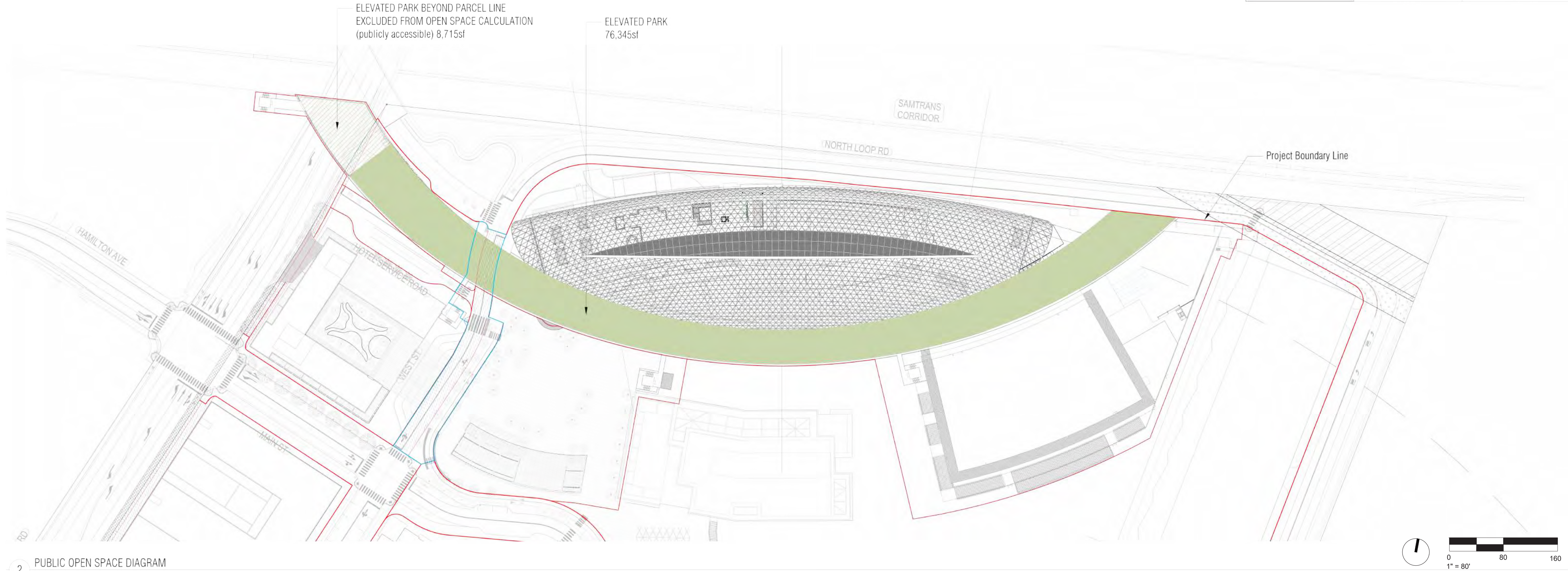
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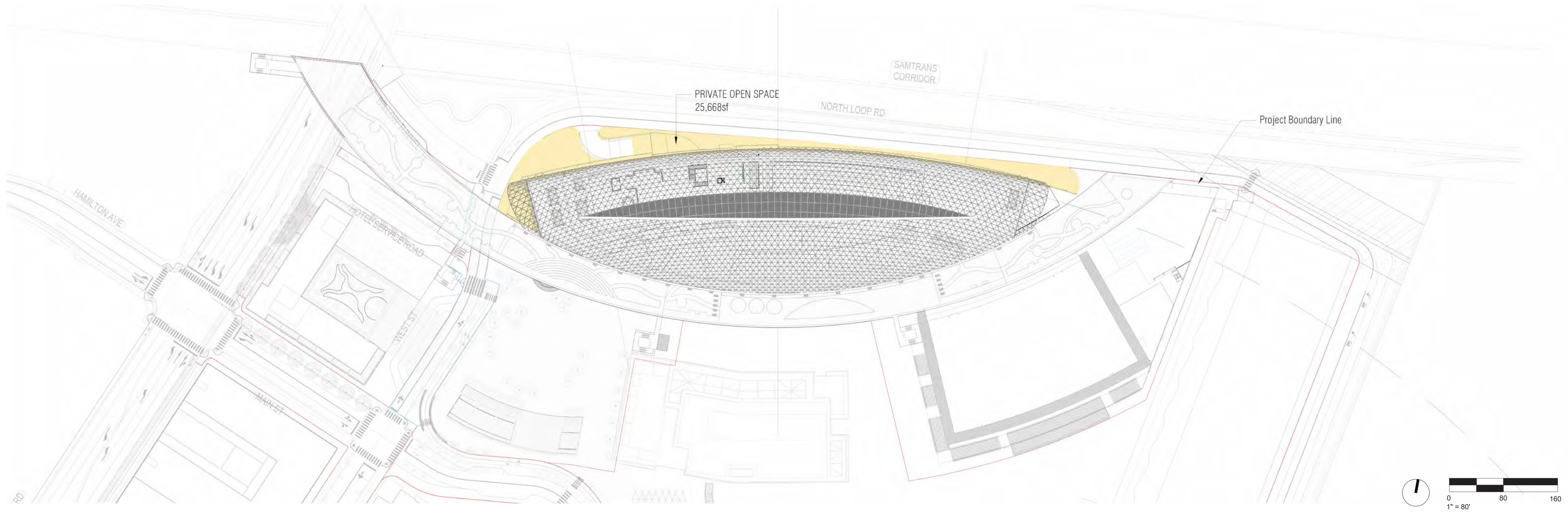




	OPEN SPACE	AREA (SF)
	PUBLICLY ACCESSIBLE	76,345
	NO PUBLIC ACCESS	25,668
	TOTAL	104,146



2 PUBLIC OPEN SPACE DIAGRAM



1 PRIVATE OPEN SPACE DIAGRAM

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 1  
Menlo Park, CA

SCALE: 1"=80'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP Submittal

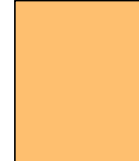

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**OPEN SPACE  
DIAGRAM**

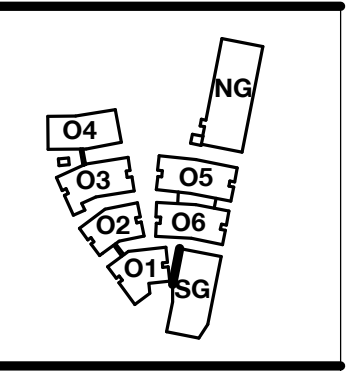
DRAWING NO:  
**A9.07**





Open Space Summary	
 Open Space Above Grade - No Public Access	40,956 SF
 Open Space at Grade - No Public Access	206,433 SF
<b>Grand total</b>	<b>247,389 SF</b>

--- NOTE: ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND DEMONSTRATING ZONING COMPLIANCE PURPOSES. THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR PROPERTY BOUNDARIES



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS 80% A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
 Open Space Plan

DRAWING NO:  
**A9.06**

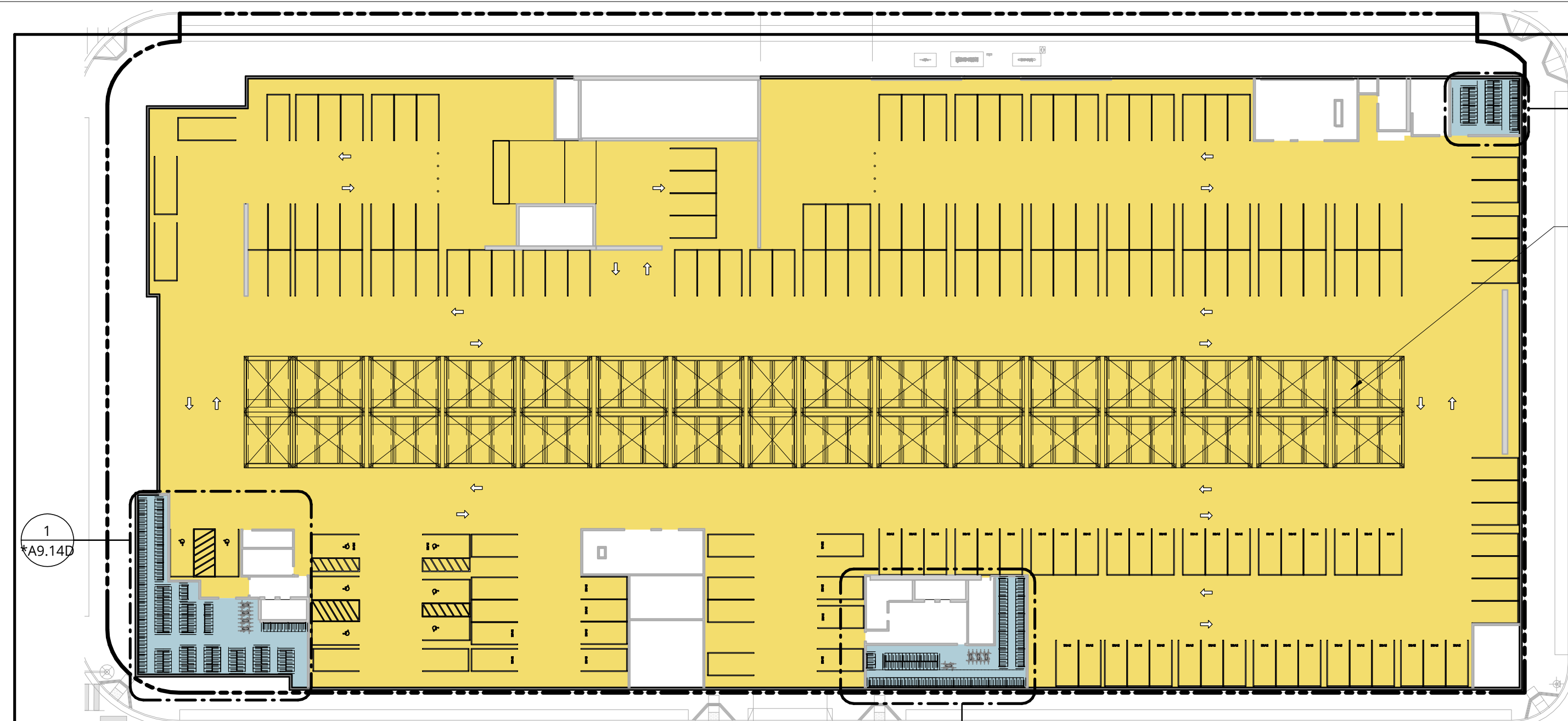


# APPENDIX 4

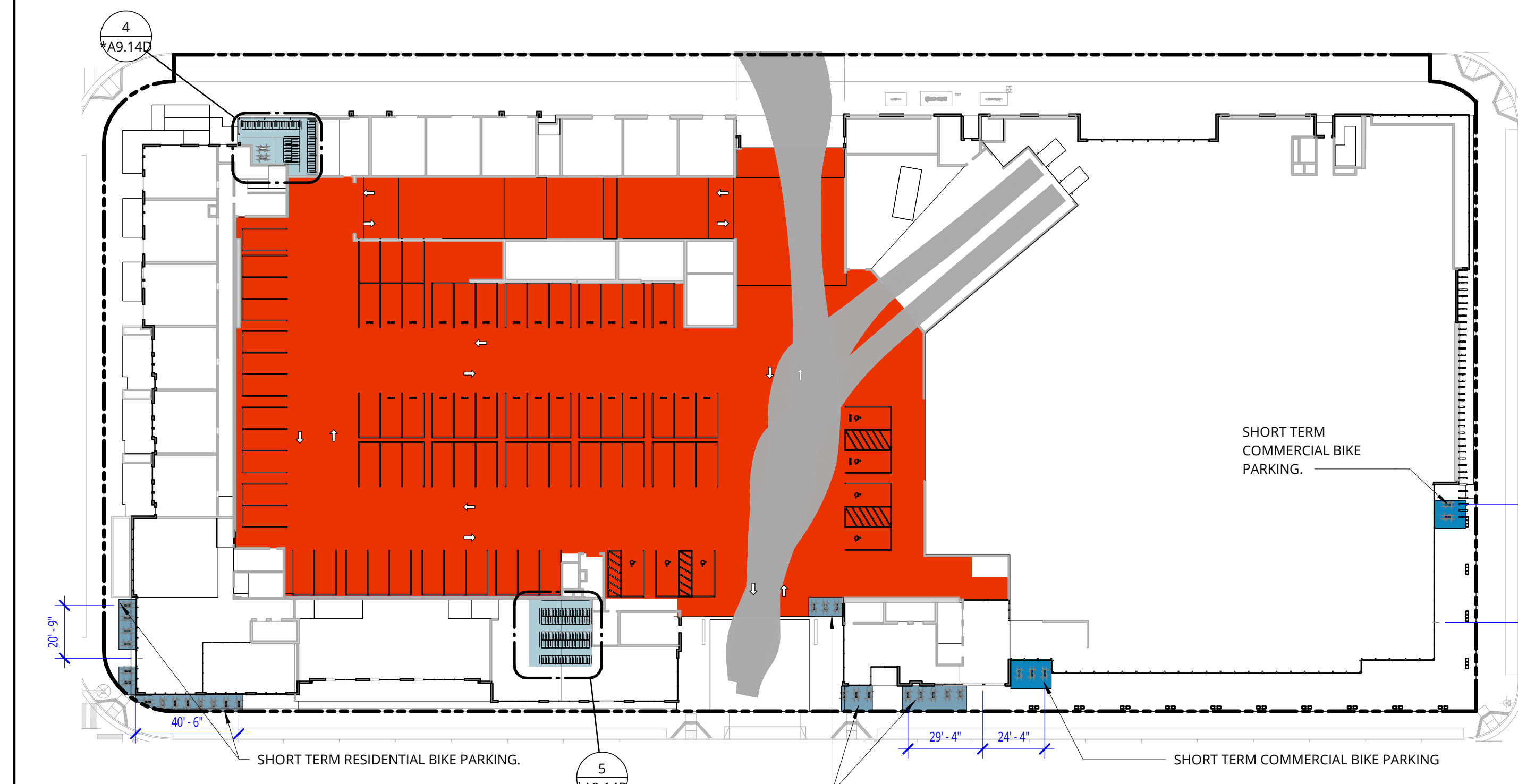
## PARCEL 1-8 ILLUSTRATIVE PARKING

Diagrams included in this CDP are conceptual.  
Compliance will be reviewed with the  
Architectural Control Plans (ACPs).



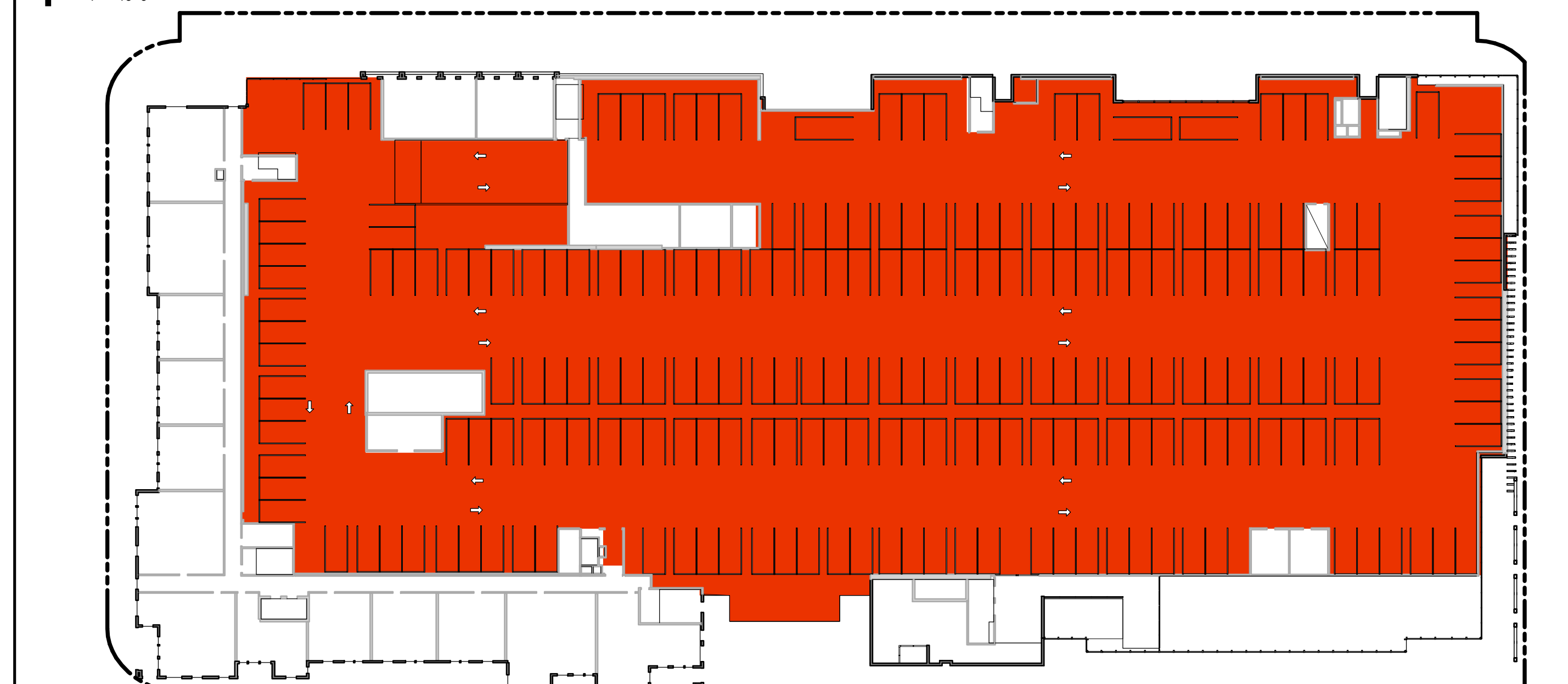


**P1 PARKING - LEVEL P1**  
1" = 40'-0"



**1 PARKING - LEVEL 1**  
1" = 40'-0"

DIMENSIONS INDICATE DISTANCE FROM FURTHEST BIKE RACK IN GROUPING TO BUILDING ENTRY



**2 PARKING - LEVEL 2**  
1" = 40'-0"

- RESIDENTIAL CAR PARKING
- COMMERCIAL CAR PARKING
- COMMERCIAL LONG TERM BICYCLE PARKING
- COMMERCIAL SHORT TERM BICYCLE PARKING
- RESIDENTIAL LONG TERM BICYCLE PARKING
- RESIDENTIAL SHORT TERM BICYCLE PARKING

**RETAIL PARKING**

16.45.080 Parking standards		
Retail	Minimum Spaces (Per Unit or 1,000 Sq. Ft.)	Maximum Spaces (Per Unit or 1,000 Sq. Ft.)
	2.5	3.3
Retail 39,288SF	99 spaces Min	130 spaces Max**

\*\*Refer to Masterplan plan set for parking allocation

_CAR PARKING SCHEDULE_COMMERCIAL				
Level	Type Comments	Spaces per Parking Unit	Count	Total Space Count
<b>LEVEL 1</b>				
LEVEL 1	ACCESSIBLE 9 X 18	1	7	7
LEVEL 1	STANDARD 8.5 X 17.5	1	69	69
				76
<b>LEVEL 2</b>				
LEVEL 2	PARALLEL 8.5 X 22	1	3	3
LEVEL 2	STANDARD 8.5 X 17.5	1	218	218
				221
Grand total				297

**COMMERCIAL BIKE PARKING**

16.45.080 Parking standards		
Retail	Minimum Spaces Per Unit - Long Term	Minimum Spaces Per Unit - Short Term
	1 per 5,000 sq. ft. of gross floor area - 20%	1 per 5,000 sq. ft. of gross floor area - 80%
Retail 39,288SF	2 Min - Long Term	7 Min - Short Term

_BIKE PARKING SCHEDULE_COMMERCIAL					
Level	Parking Type	Parking Duration	Spaces per Parking Unit	Count	Total Parking Capacity
<b>RETAIL</b>					
LEVEL 1	RETAIL	LONG TERM	2	1	2
					2
LEVEL 1	RETAIL	SHORT TERM	2	4	8
					8
Grand total					10

**RESIDENTIAL EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT) SPACES**

PER MENLO PARK MUNICIPAL CODE 12.18.030 & 12.18.050:  
FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY AND WIRING TO ACCOMMODATE A 208/240-VOLT DEDICATED BRANCH CIRCUIT AND INSTALL EVSE IN 15 PERCENT OF THE TOTAL NUMBER OF REQUIRED ELECTRIC VEHICLE CHARGING SPACES (EV SPACES) ASSOCIATED WITH THE BUILDING CALCULATIONS FOR THE REQUIRED NUMBER OF EV SPACES SHALL BE ROUNDED UP TO THE NEAREST WHOLE NUMBER

	TOTAL SPACES	DWELLING UNITS	EVSE SPACES CALC	REQUIRED EVSE SPACES
RESIDENTIAL:	352	327	327x15%=49.05	50

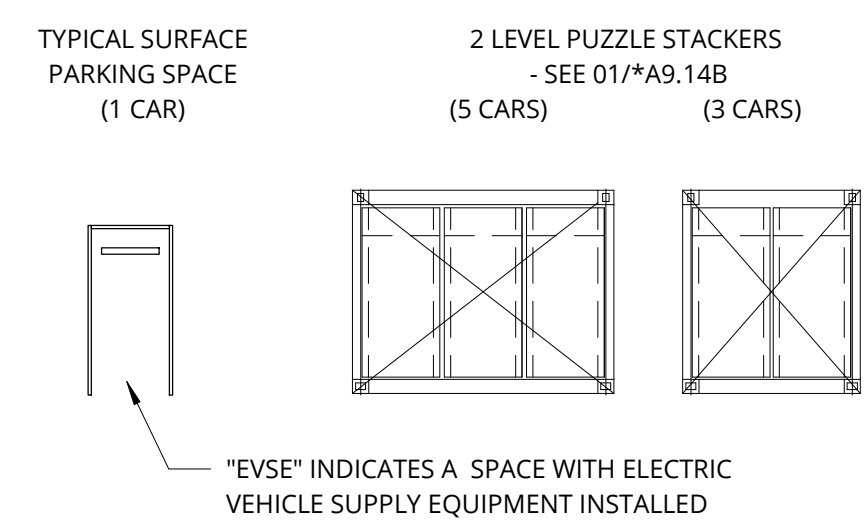
**NONRESIDENTIAL EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT) SPACES**

PER TABLE 5.106.5.3.3 AS AMENDED BY MENLO PARK MUNICIPAL CODE 12.18.110:  
FOR NEW CONSTRUCTION BUILDINGS GREATER THAN 9,999 SQ. FT. THE NUMBER OF EV CHARGING SPACES REQUIRED IS 15% OF TOTAL NUMBER OF REQUIRED PARKING STALLS AND INSTALL EVSE IN 10% OF THE TOTAL REQUIRED NUMBER OF PARKING STALLS, WITH A MINIMUM OF 1, IN CHARGING SPACE(S).

	TOTAL SPACES	EV CHARGING SPACES CALC	REQUIRED EV CHARGING SPACES	EVSE SPACES CALC	REQUIRED EVSE SPACES
PUBLIC:	282	282x15%=42.3	43	282x10%=28.2	29

PROPOSED EVSE SPACES ARE INDICATED WITH AN "EVSE" TAG AT THE FRONT OF THE SPACE ON A2.00 - A2.02

**CAR PARKING TYPES**



**BIKE PARKING TYPES**

"EVSE" INDICATES A SPACE WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT INSTALLED

**RESIDENTIAL PARKING**

16.45.080 Parking standards		
Residential units	Minimum Spaces (Per Unit or 1,000 Sq. Ft.)	Maximum Spaces (Per Unit or 1,000 Sq. Ft.)
	1 per Unit	1.5 per Unit
Proposed Units 327	327 spaces Min	491 spaces Max

_CAR PARKING SCHEDULE_RESIDENTIAL				
Level	Type Comments	Spaces per Parking Unit	Count	Total Space Count
<b>PARKING PIT</b>				
PARKING PIT	PUZZLE 2W X 2H	3	4	12
PARKING PIT	PUZZLE 3W X 2H	5	28	140
				152
<b>LEVEL P1</b>				
LEVEL P1	ACCESSIBLE 9 X 18	1	8	8
LEVEL P1	PARALLEL 8.5 X 22	1	5	5
LEVEL P1	STANDARD 8.5 X 17.5	1	171	171
				184
Grand total				336

**RESIDENTIAL BIKE PARKING**

16.45.080 Parking standards		
Residential units	Minimum Spaces Per Unit - Long Term	Minimum Spaces Per Unit - Short Term
	1.5 per Unit	10% additional
Proposed Units 327	491 spaces Min - Long Term	50 spaces additional - Short Term

_BIKE PARKING SCHEDULE_RESIDENTIAL				
Building	Parking Type	Parking Duration	Count	Total Parking Capacity
<b>RESIDENTIAL</b>				
LEVEL 1 - BIKE ROOM 1	RESIDENTIAL	LONG TERM	3	56
LEVEL 1 - BIKE ROOM 2	RESIDENTIAL	LONG TERM	5	50
LEVEL P1 - BIKE ROOM 1	RESIDENTIAL	LONG TERM	16	212
LEVEL P1 - BIKE ROOM 2	RESIDENTIAL	LONG TERM	9	136
LEVEL P1 - BIKE ROOM 3	RESIDENTIAL	LONG TERM	3	38
				492
	RESIDENTIAL	SHORT TERM	25	50
				50
Grand total				542

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

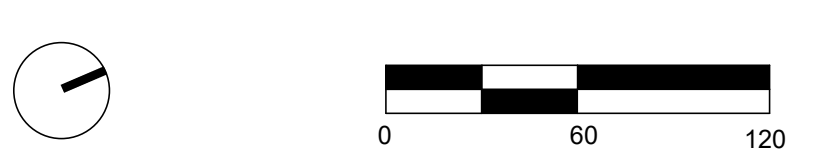
SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
4/11/2022	ACP

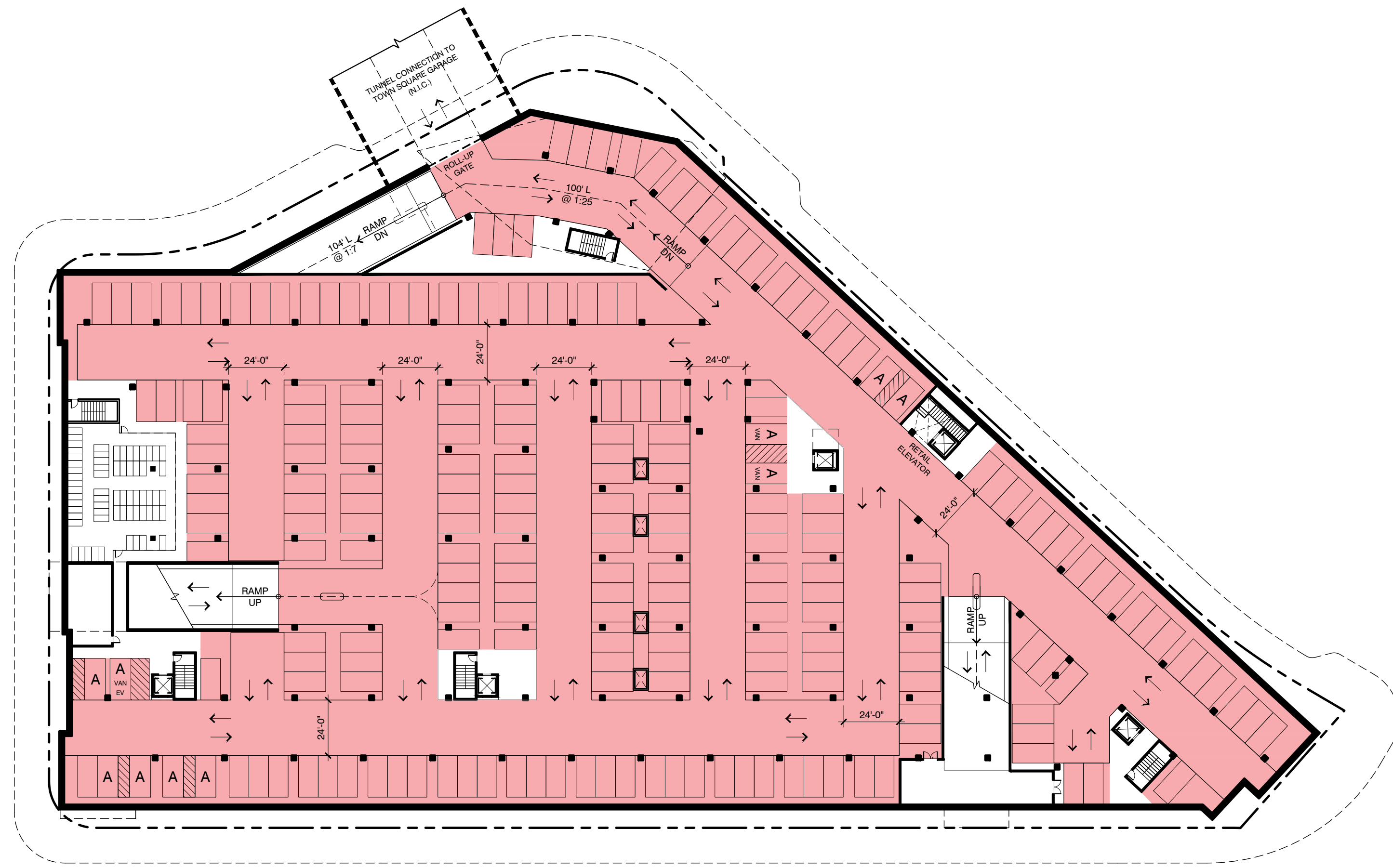
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**PARKING COUNT DIAGRAM**

DRAWING NO:  
**\*A9.14**







LEVEL B1 - PARKING

1" = 40'-0"



LEVEL B2 - PARKING

1" = 40'-0"

# PARKING COUNT

## RESIDENTIAL PARKING

16.45.080 Parking Standards

### Requirements - 419 Units

Min	1 per Unit	419 Spaces Min.
Max	1.5 per Unit	629 Spaces Max.

### Provided Residential Parking

Level	Type	Spaces per Type	Count	Total
B2	Puzzle 3Wx2H	5	28	140
B2	Tandem Puzzle 2Wx2H	6	1	6
B2	Tandem Puzzle 3Wx2H	10	1	10
B2	Tandem Puzzle 4Wx2H	14	1	14
B2	Compact Puzzle 4Wx2H	7	10	70
B2	Compact Puzzle 6Wx2H	11	2	22
B2	Compact Puzzle 9Wx2H	17	7	119
B2	Standard 8.5x18	1	30	30
B2	ADA Parking - 9x18	1	6	6
B2	ADA Van - 12x18	1	2	2
B2	ADA Van EV - 12x18	1	1	1

**Total Residential Parking Spaces Provided: 420**

### Residential EVSE Spaces

Per Menlo Park Municipal Code 12.18.030 & 12.18.050

For each dwelling unit, install a listed raceway and wiring to accommodate a 208/240 V dedicated branch circuit and install EVSE in 15% of the total number of req. electric vehicle charging spaces (EV spaces) associated with the building calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

419\*15% = 62.85      63 EVSE Spaces Req.

### COMMERCIAL PARKING

16.45.080 Parking Standards

### Requirements - 58,500 SF Retail

Min	2.5 per 1,000 Ft	147
Max	3.3 per 1,000 ft	194

\*\*Refer to Masterplan Set for parking allocations

### Commercial Parking Provided:

Level	Type	Spaces per Type	Count	Total
B1	Standard 8.5x17.5	1	213	213
B1	ADA Parking - 9x18	1	7	7
B1	ADA Van - 12x18	1	2	2
B1	ADA Van EV - 12x18	1	1	1

**Total Commercial Parking Spaces Provided: 222**

### Non-Residential EVSE Spaces

Per Table 5.106.5.3.3, as amended by Menlo Park Municipal Code 12.18.110:

For new construction buildings greater than 9,999 Sq.Ft. the number of EV Charging Spaces required is 15% of total number of required parking stalls and install EVSE in 10% of total required number of parking stalls, with a minimum of 1, in charging space(s).

182\*15% = 27.3      28 EV Charging Spaces Req.  
182\*10% = 18.2      19 EVSE Spaces Req.

## LEGEND

- RESIDENTIAL VEHICLE PARKING
- COMMERCIAL VEHICLE PARKING
- STANDARD PARKING SPACE
- ACCESSIBLE PARKING SPACE
- PUZZLE PARKING SPACES (3)
- PUZZLE PARKING SPACES (5)
- PUZZLE PARKING SPACES (7)

## NOTES

- LEVEL B2 CONTAINS ALL RESIDENTIAL PARKING. MOST RESIDENTIAL PARKING OCCURS IN PUZZLE LIFTS.
- LEVEL B1 PARKING IS PROVIDED FOR RESIDENTIAL VISITORS, RETAIL CUSTOMERS, AND VISITORS TO THE TOWN SQUARE, OFFICE BUILDINGS ACROSS MAIN STREET, AND "M.C.S. / MEETING & COLLABORATION SPACE".
- A TUNNEL IS PLANNED TO CONNECT UNDER MAIN STREET NORTH TO THE UNDERGROUND TOWN SQUARE GARAGE. NOT A PART OF THIS SUBMISSION.

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 3  
Menlo Park, CA

SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

### MILESTONES

DATE	ISSUE
4/11/2022	ACP

### REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
CAR PARKING COUNT  
DIAGRAM

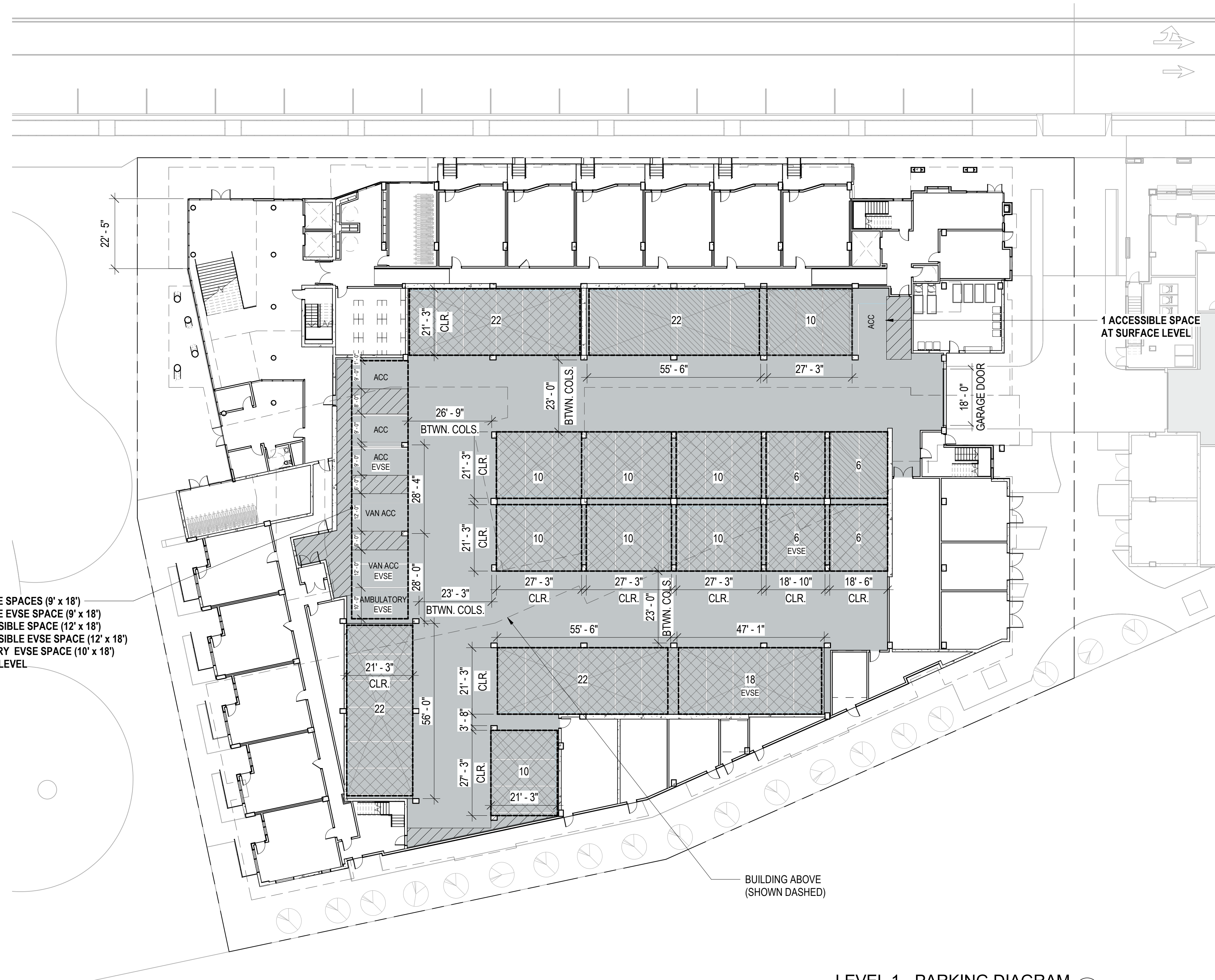
DRAWING NO.:

A9.14



1" = 40'-0" NOTES





LEVEL 1 - PARKING DIAGRAM 1  
1" = 20'-0"

2 ACCESSIBLE SPACES (9' x 18')  
1 ACCESSIBLE EVSE SPACE (9' x 18')  
1 VAN ACCESSIBLE SPACE (12' x 18')  
1 VAN ACCESSIBLE EVSE SPACE (12' x 18')  
1 AMBULATORY EVSE SPACE (10' x 18')  
AT SURFACE LEVEL

1 ACCESSIBLE SPACE  
AT SURFACE LEVEL

BUILDING ABOVE  
(SHOWN DASHED)

**GENERAL NOTES:**

- ALL PARKING SPACES IN P6 ARE INTENDED FOR RESIDENT USERS, INCLUDING 36 PARKING SPACES FOR P7 RESIDENTS.
- DRIVE AISLES ARE TWO WAY WITH MINIMUM 23' CLEAR WIDTH
- ALL ACCESSIBLE PARKING SPACES, INCLUDING ACCESSIBLE VAN AND AMBULATORY PARKING SPACES ARE AT SURFACE LEVEL
- ALL PARKING SPACES, EXCEPT ACCESSIBLE PARKING SPACES, ARE IN 3 OR 4 HEIGHT PUZZLE LIFT STRUCTURES WITH PITS
- SEE SHEET A9.14B, NUMBER 1 FOR MORE DETAILS ON PUZZLE LIFT STRUCTURES USED IN P6
- SEE SHEET A9.14B, NUMBER 2 FOR MORE DETAILS ON PUZZLE LIFT STRUCTURE WITH EVSE

**RESIDENTIAL CAR PARKING - EVSE SPACES**

**MENLO PARK ZONING CODE REQUIREMENTS**

12.18.030 & 12.18.050: CALIFORNIA GREEN BUILDING STANDARDS CODE AMENDMENTS

FOR EACH DWELLING UNIT, INSTALLATION OF A LISTED RACEWAY AND WIRING TO ACCOMMODATE A 208/240-VOLT DEDICATED BRANCH CIRCUIT.

INSTALL EVSE IN 15 PERCENT OF THE TOTAL NUMBER OF REQUIRED ELECTRIC VEHICLE CHARGING SPACES (EV SPACES) ASSOCIATED WITH THE BUILDING INCLUSIVE OF LANDSCAPE RESERVE PARKING, FOR ALL TYPES OF PARKING FACILITIES, BUT IN NO CASE LESS THAN ONE.

CALCULATIONS FOR THE REQUIRED NUMBER OF EV SPACES SHALL BE ROUNDED UP TO THE NEAREST WHOLE NUMBER.

RESIDENTIAL UNITS	EVSE CALC.	REQ. EVSE SPACES
178	178 * 15% = 26.7	27 REQ. EVSE SPACES

27 EVSE SPACES PROVIDED (INCLUDING 1 VAN ACCESSIBLE, 1 STANDARD ACCESSIBLE AND 1 AMBULATORY).

REMAINING 152 SPACES PROVIDED WITH RACEWAY AND WIRING PER 12.18.50.

**RESIDENTIAL CAR PARKING**

16.45.08: PARKING STANDARDS

RESIDENTIAL UNITS	MIN. REQ. SPACES	MAX. ALLOWED SPACES
	1 PER UNIT	1.5 PER UNIT

PROPOSED UNITS: 178 178 SPACES MIN. 267 SPACES MAX.

PARCEL 6 - RESIDENTIAL CAR PARKING	
TYPE	COUNT

SPACES IN STACKERS:	
3-LEVEL PUZZLE LIFT SPACE	10
4-LEVEL PUZZLE LIFT SPACE	162
TOTAL:	172

SPACES AT SURFACE LEVEL:	
ACCESSIBLE (18' x 9')	4
VAN ACCESSIBLE (18' x 9')	2
AMBULATORY (18' x 10')	1
TOTAL:	7

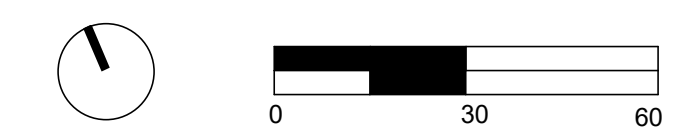
GRAND TOTAL: 179

179 SPACES PROVIDED IS > MIN. REQ. SPACES & < MAX. ALLOWED SPACES = COMPLIANT

NOTE: 38 SPACES IN P6 GARAGE ARE FOR USE OF P7. THOSE SPACES ARE COUNTED IN P7'S PARKING TOTALS AND EXCLUDED FROM P6'S PARKING TOTALS. SEE P7 ACP DRAWINGS.

**LEGEND**

- 4-LEVEL PUZZLE LIFTS - PITS (4-HIGH 01/A9.14B LIFT TYPE) (38 SPACES IN P6 GARAGE DESIGNATED FOR EXCLUSIVE USE OF P7 RESIDENTS)
- 4-LEVEL PUZZLE LIFTS - PITS (4-HIGH 01/A9.14B LIFT TYPE)
- ACCESSIBLE PARKING SPACE (9' X 18')
- PARKING SPACE WITH ELECTRIC VEHICLE CHARGING STATION
- 2-WIDE PUZZLE PARKING SPACE (5 OR 6)
- 3-WIDE PUZZLE PARKING SPACE (10)
- 5-WIDE PUZZLE PARKING SPACE (18)
- 6-WIDE PUZZLE PARKING SPACE (22)



SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE REQUIRED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DRAWING TITLE:  
 CAR PARKING COUNT  
 DIAGRAM

DRAWING NO:  
**A9.14**



**RESIDENTIAL CAR PARKING**

16.45.08: PARKING STANDARDS

RESIDENTIAL UNITS	MIN. SPACES	MAX. SPACES
	1 PER UNIT	1.5 PER UNIT

PROPOSED UNITS: 120    120 SPACES MIN.    180 SPACES MAX.

PARCEL 7 - RESIDENTIAL CAR PARKING	
TYPE	COUNT

**SPACES AT SURFACE LEVEL AT P7:**

ACCESSIBLE (18' x 9')	3
VAN ACCESSIBLE (18' x 12')	2
STANDARD (18' x 8'-6")	13
COMPACT (16' x 8'-6")	4
<b>TOTAL:</b>	<b>22</b>

**SPACES IN STACKERS AT P6:**

4-LEVEL STACKER SPACE	38
<b>TOTAL:</b>	<b>38</b>

**GRAND TOTAL: 60**

60 SPACES PROVIDED IS < 120 MIN. REQ. SPACES & < 180 MAX. REQ. SPACES  
= DOES NOT COMPLY. SEE ADJUSTMENT REQUEST IN APPENDIX.

NOTE: 38 SPACES INCLUDED IN TABLE ABOVE ARE LOCATED AT PARCEL 6  
AND ARE DESIGNATED FOR USE BY PARCEL 7 RESIDENTS.

**RESIDENTIAL CAR PARKING - EVSE SPACES**

**MENLO PARK ZONING CODE REQUIREMENTS**

12.18.030 & 12.18.050: CALIFORNIA GREEN BUILDING STANDARDS CODE AMENDMENTS

FOR EACH DWELLING UNIT, INSTALLATION OF A LISTED RACEWAY AND WIRING TO ACCOMMODATE A 208/240-VOLT DEDICATED BRANCH CIRCUIT.

FOR 100 PERCENT BELOW MARKET RATE HOUSING DEVELOPMENTS, EVSE SHALL BE PROVIDED FOR A MINIMUM OF 10 PERCENT OF THE TOTAL NUMBER OF DWELLING UNITS.

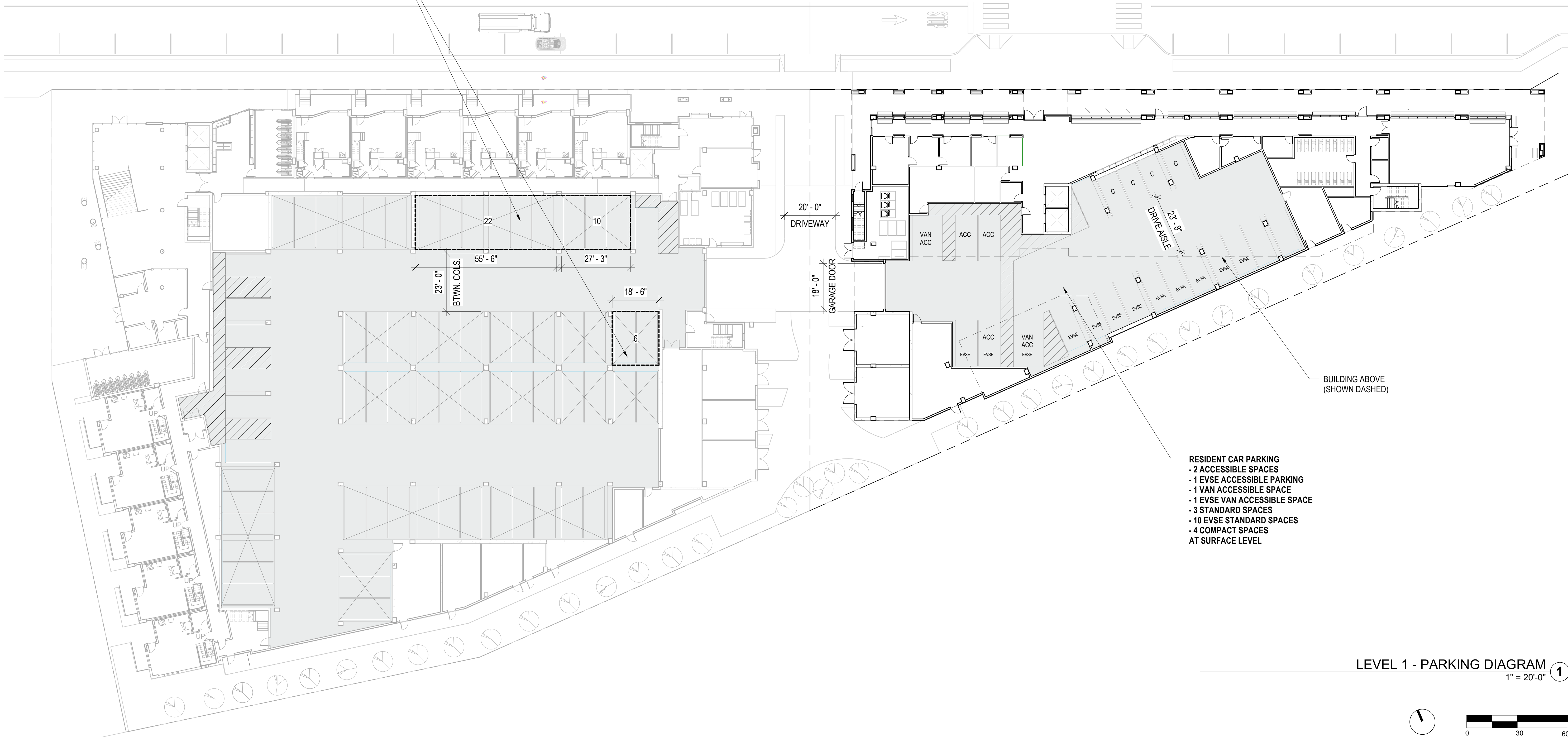
CALCULATIONS FOR THE REQUIRED NUMBER OF EV SPACES SHALL BE ROUNDED UP TO THE NEAREST WHOLE NUMBER.

RESIDENTIAL UNITS    EVSE CALC.    REQ. EVSE SPACES

120    120 \* 10% = 12    **12 REQ. EVSE SPACES**

12 EVSE SPACES PROVIDED (INCLUDING 1 VAN ACCESSIBLE AND 1 STANDARD ACCESSIBLE).  
REMAINING 48 SPACES PROVIDED WITH RACEWAY AND WIRING PER 12.18.50.

38 TOTAL SPACES IN P6 GARAGE DESIGNATED  
FOR EXCLUSIVE USE OF P7 RESIDENTS  
4-LEVEL PUZZLE LIFTS + PITS  
(4-HIGH 01/A9.14B LIFT TYPE)



**LEVEL 1 - PARKING DIAGRAM** ①  
1" = 20'-0"



SCALE: 1" = 20'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR REQUIREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE



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1 Hotel Basement Plan  
1" = 30'-0"

Hotel Parking		
16.43.090 Parking Standards		
Hotel	Minimum Spaces (Per Guest Room)	Maximum Spaces (Per Guest Room)
	0.75	1.1
Hotel 193 Guest Rooms	145 Spaces Minimum	212 Spaces Maximum

Hotel EVSE Spaces					
Per Menlo Park Municipal Code 12.18.110					
A minimum of 15% of total required number of parking stalls are to be EV Spaces with installed EVSE in 10% of the total required number of parking stalls, with a minimum of 1, in charging space(s).					
	Total Spaces	EV Spaces Calculation	Required EV Spaces	EVSE Spaces Calculation	Required EVSE Spaces
Hotel	145	145x15%=21.75	22	145x10%=14.5	15

Basement Parking Schedule				
Level	Type	Spaces per Parking Unit	Count	Total Space Count
Basement	EV Future 8.5x18	1	7	7
Basement	EV Standard 8.5x18	1	15	15
Basement	HC Standard 9x18	1	2	2
Basement	Stacker 9x18	2	37	74
Basement	Standard 8.5x18	1	70	70
Grand Total				168

Bike Parking Schedule				
	Area	Short Term	Long Term	Total
Retail*	13,966	2	1	3
Hotel**	151,604	6	24	30
Total	165,570	8	25	33

\*20% long term and 80% short term for retail.  
\*\*80% long term and 20% short term for for hotel.

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 1 - Hotel  
Menlo Park, CA

SCALE: 1" = 30'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE REQUIRED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

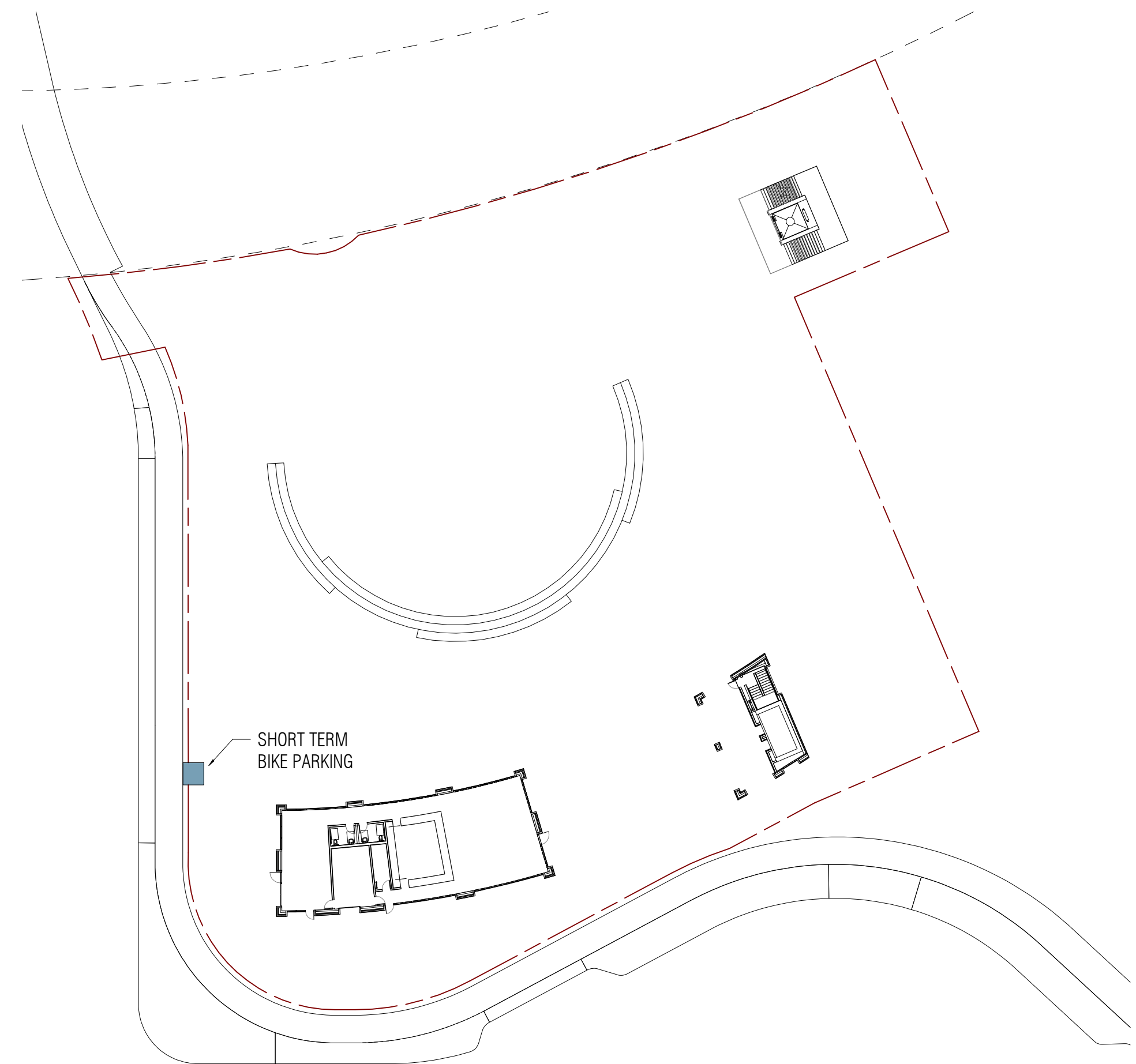
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DATE	ISSUE
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NO.	DATE	ISSUE

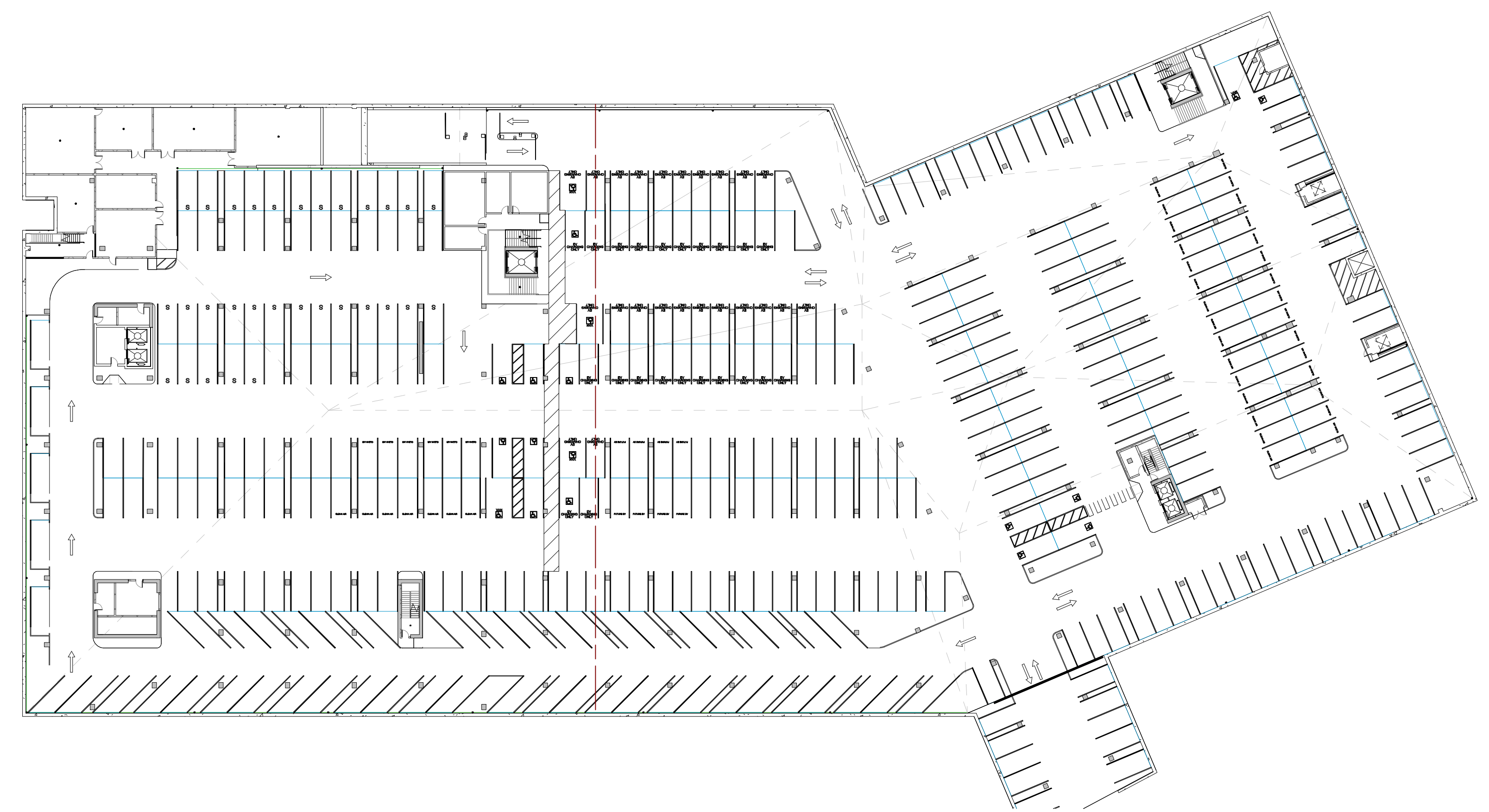
DRAWING TITLE:  
Willow Village Hotel  
Parking Count Diagram

DRAWING NO:  
**A9.14b**





1 TOWN SQUARE PAVILION - LEVEL 1  
1" = 40'-0"



2 TOWN SQUARE PAVILION - BASEMENT  
1" = 40'-0"

Town Square Parking		
16.43.090 Parking Standards		
Retail	Minimum Spaces (Per 1,000 Sq. Ft)	Maximum Spaces (Per 1,000 Sq. Ft.)
	2.5	3.3
Retail 6,725 SF	18 Spaces Minimum	24 Spaces Maximum

Town Square EVSE Spaces					
Per Menlo Park Municipal Code 12.18.110					
A minimum of 15% of total required number of parking stalls are to be EV Spaces with installed EVSE in 10% of the total required number of parking stalls, with a minimum of 1, in charging space(s).					
	Total Spaces	EV Spaces Calculation	Required EV Spaces	EVSE Spaces Calculation	Required EVSE Spaces
Retail	18	18x15%=2.7	3	18x10%=1.8	2

Basement Parking Schedule				
Level	Type	Spaces per Parking Unit	Count	Total Space Count
Basement	Ev Future 8.5*18	1	15	15
Basement	EV HC Ambulatory 9x18	1	2	2
Basement	EV HC Standard 9x18	1	2	2
Basement	EV HC Van 12x18	1	1	1
Basement	EV Standard 8.5x18	1	29	29
Basement	HC Standard 9x18	1	7	7
Basement	HC Van 12x18	1	3	3
Basement	Standard 8.5x18	1	208	208
Grand Total				267

Bike Parking Schedule*				
	Area	Short Term	Long Term	Total
Retail*	4,188	1	0	1

\*20% long term and 80% short term for retail.

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 1 - Town Square  
Menlo Park, CA

SCALE: 1" = 40'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DRAWING TITLE:  
WILLOW VILLAGE TOWN SQUARE  
Parking Count Diagram

DRAWING NO:  
**A9.14**





2 MCS - LEVEL 1 PLAN

**MCS OFFICE & ACCESSORY BIKE PARKING COUNT**

16.43.090 Parking Standards

Office / Accessory 1 per 5,000sf of gross area

Office / Accessory	296,596 sf	60 spots
Long Term	(80%)	48 spots
Short Term	(20%)	12 spots

- Long Term Bike Parking
- Short Term Bike Parking



1 MCS - BASEMENT PLAN

**MCS PARKING**

16.43.090 Parking Standards

Office / Accessory	Minimum Spaces (Per 1,000 Sq. Ft)	Maximum Spaces (Per 1,000 Sq. Ft.)
Office / Accessory 389,800 SF <sup>1</sup>	2	3
	780 Spaces Min <sup>2</sup>	1170 Spaces Max

<sup>1</sup> Building area calculated from total Gross Area for Fully Enclosed Interior

<sup>2</sup> Refer to Masterplan plan set for parking allocation. Additional spaces serving MCS are included with the Office Campus.

**MCS EVSE SPACES**

Per Menlo Park Municipal Code 12.18.110

A minimum of 15% of total required number of parking stalls are to be EV Spaces with installed EVSE in 10% of the total required number of parking stalls, with a minimum of 1, in charging space(s).

	TOTAL SPACES	EV SPACES CALC	REQUIRED EV SPACES	EVSE SPACES CALC	REQUIRED EVSE SPACES
Office and Accessory	780	780x15%=117	117	780x10%=78	78

ENTITLE_CAR PARKING SCHEDULE_OFFICE/ ACCESSORY				
Level	Type Comments	Spaces per Parking Unit	Count	Total Space Count
<b>BASEMENT</b>				
BASEMENT	STANDARD 8.5 X 18	1	1	1
BASEMENT	EV STANDARD 8.5 X 18	1	10	10
Grand Total				11

<sup>1</sup>634-958 ADDITIONAL PARKING AT NORTH GARAGE

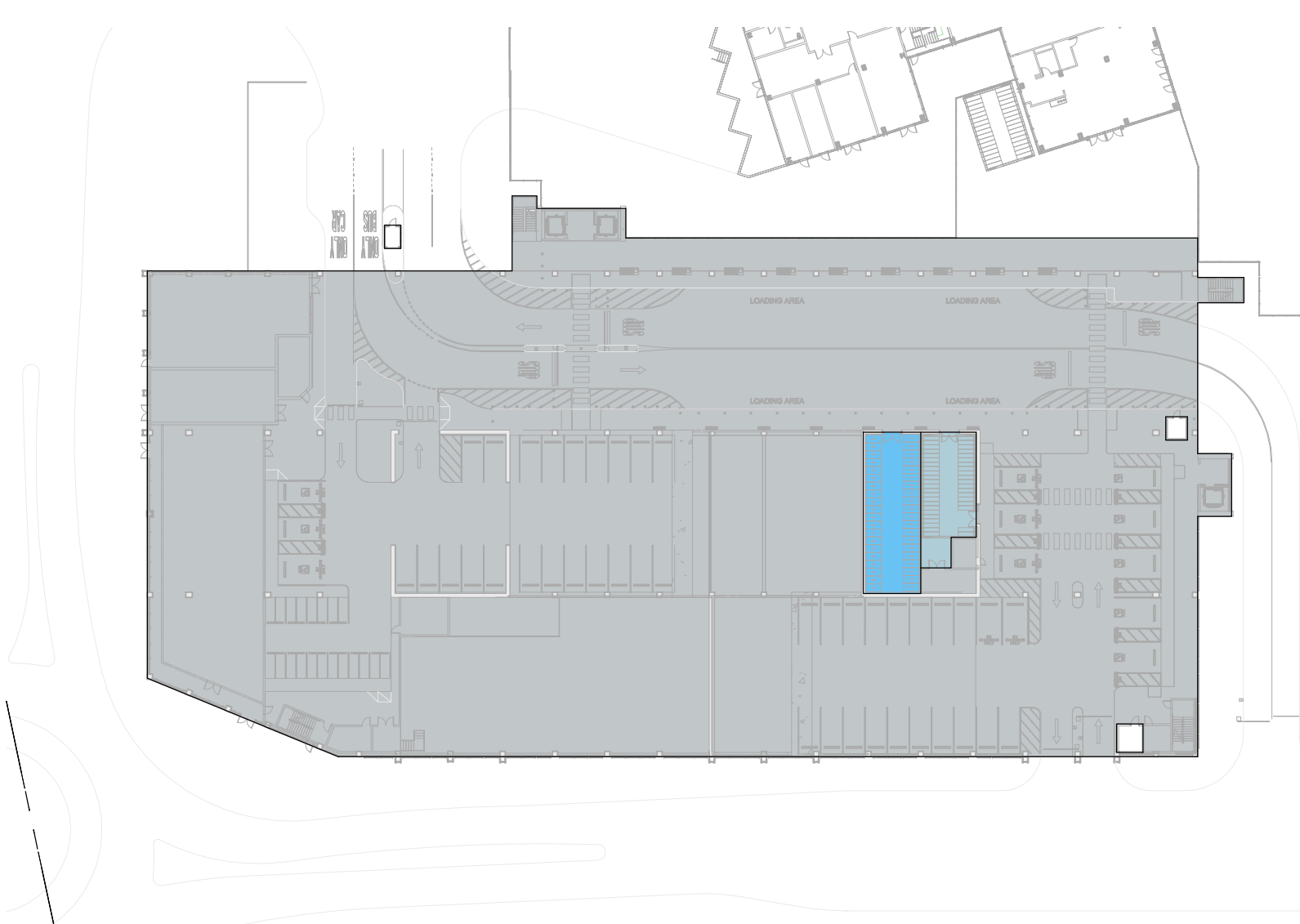
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04/11/2022	ACP Submittal

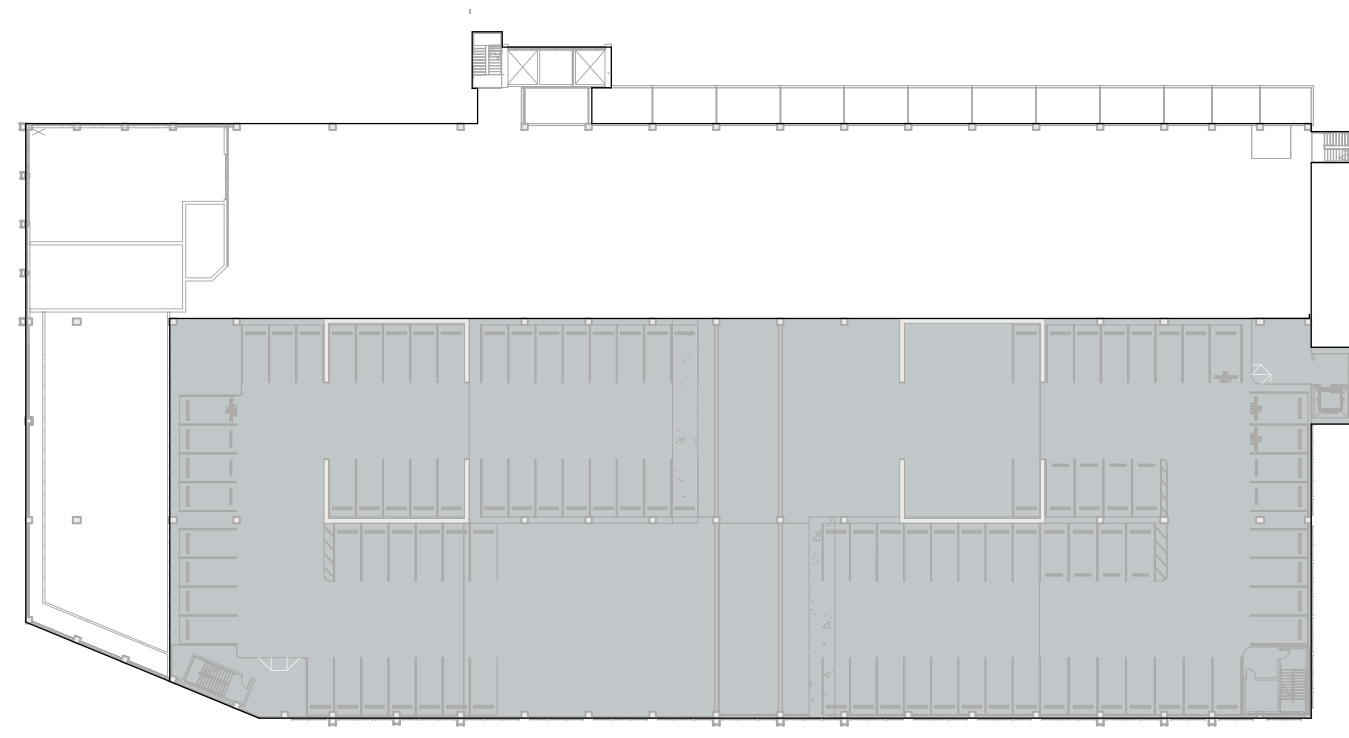
**REVISIONS**

NO.	DATE	ISSUE

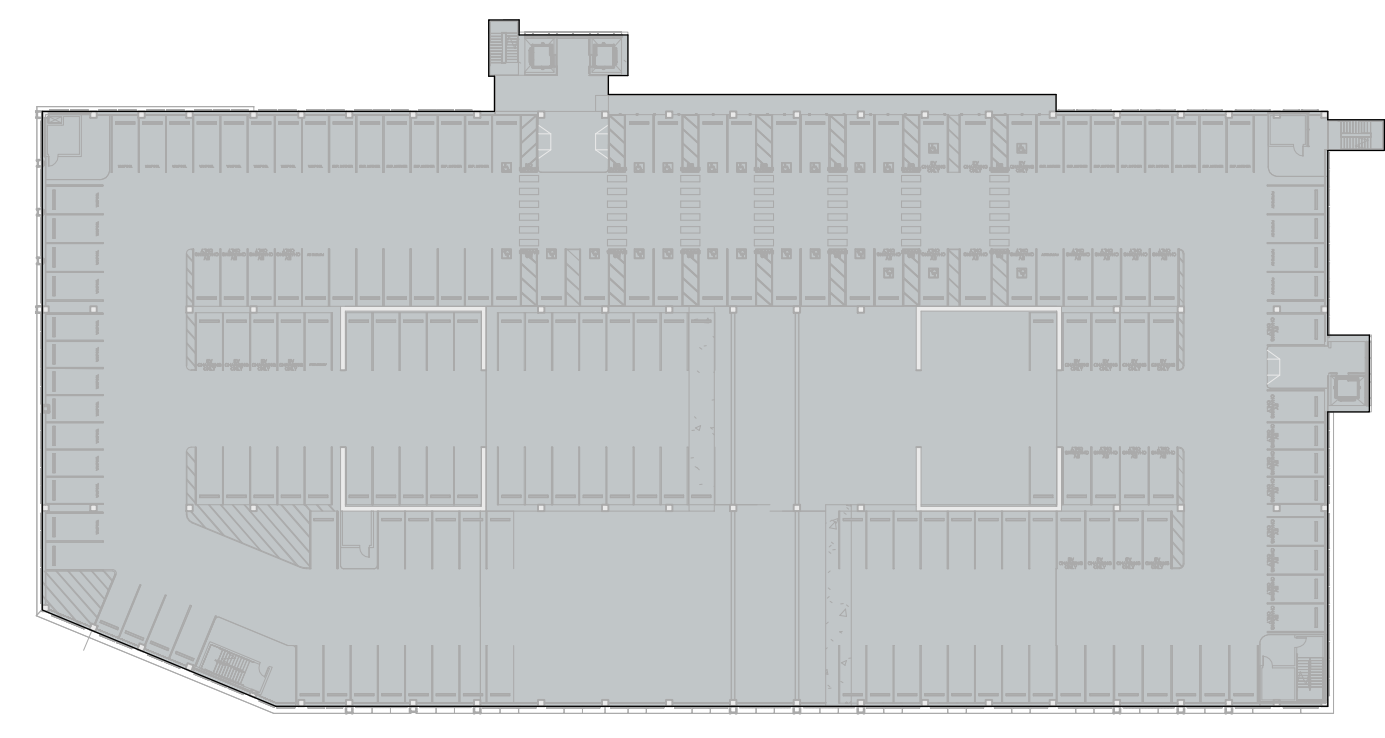




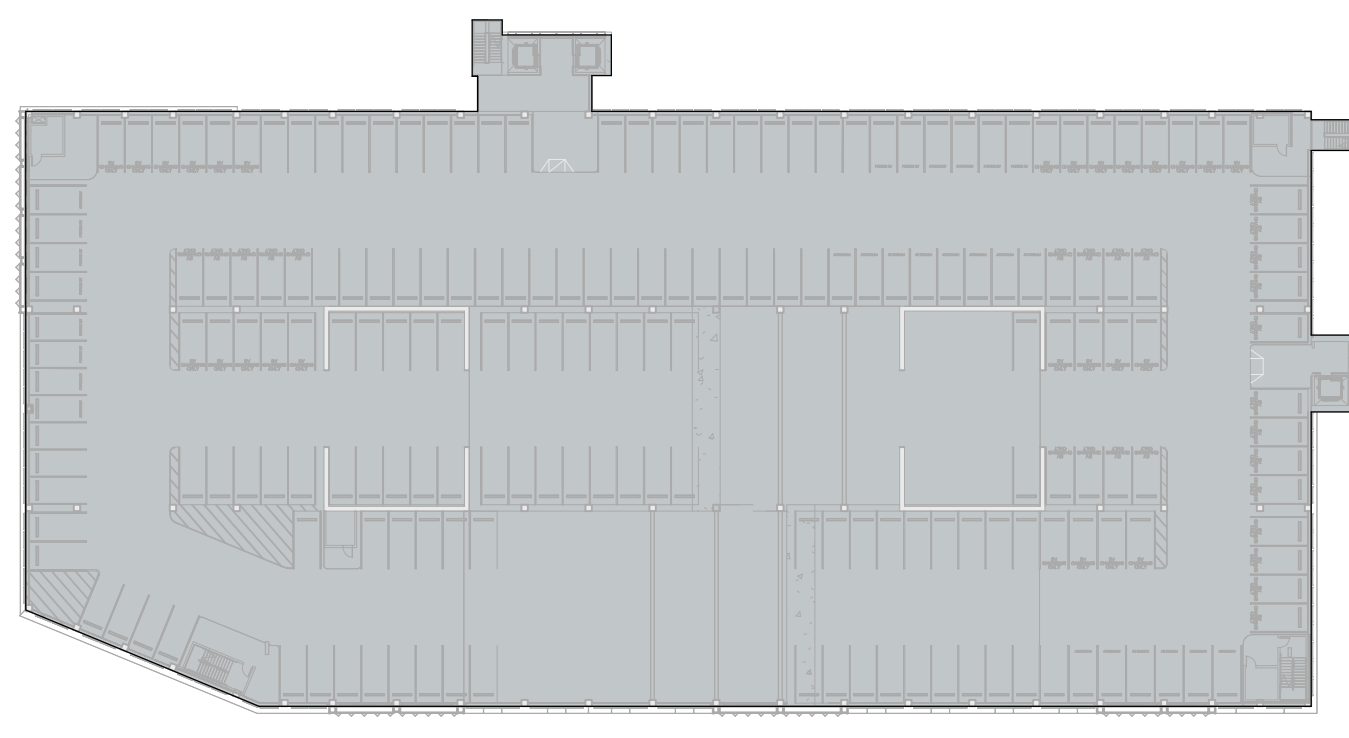
**1** SG LEVEL 1 - PARKING  
1" = 60'-0"



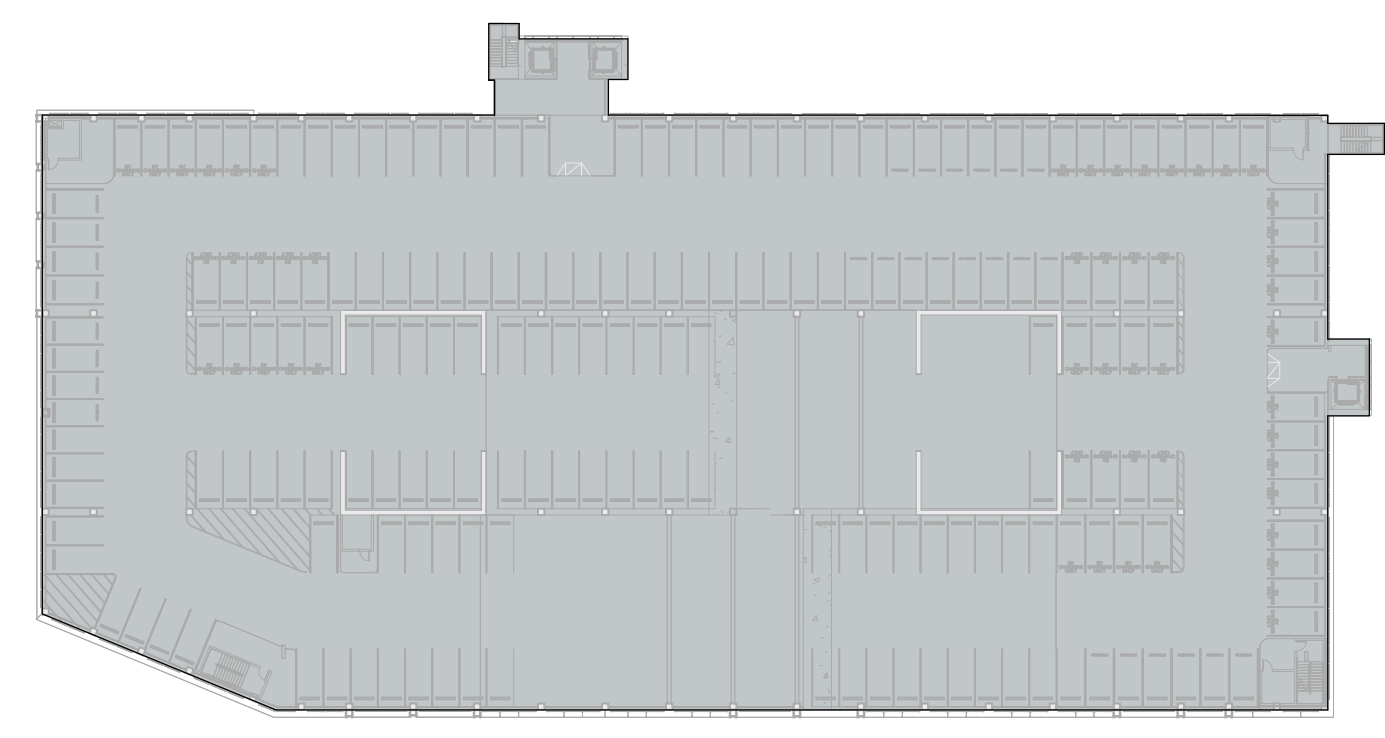
**2** SG LEVEL 2 - PARKING  
1" = 60'-0"



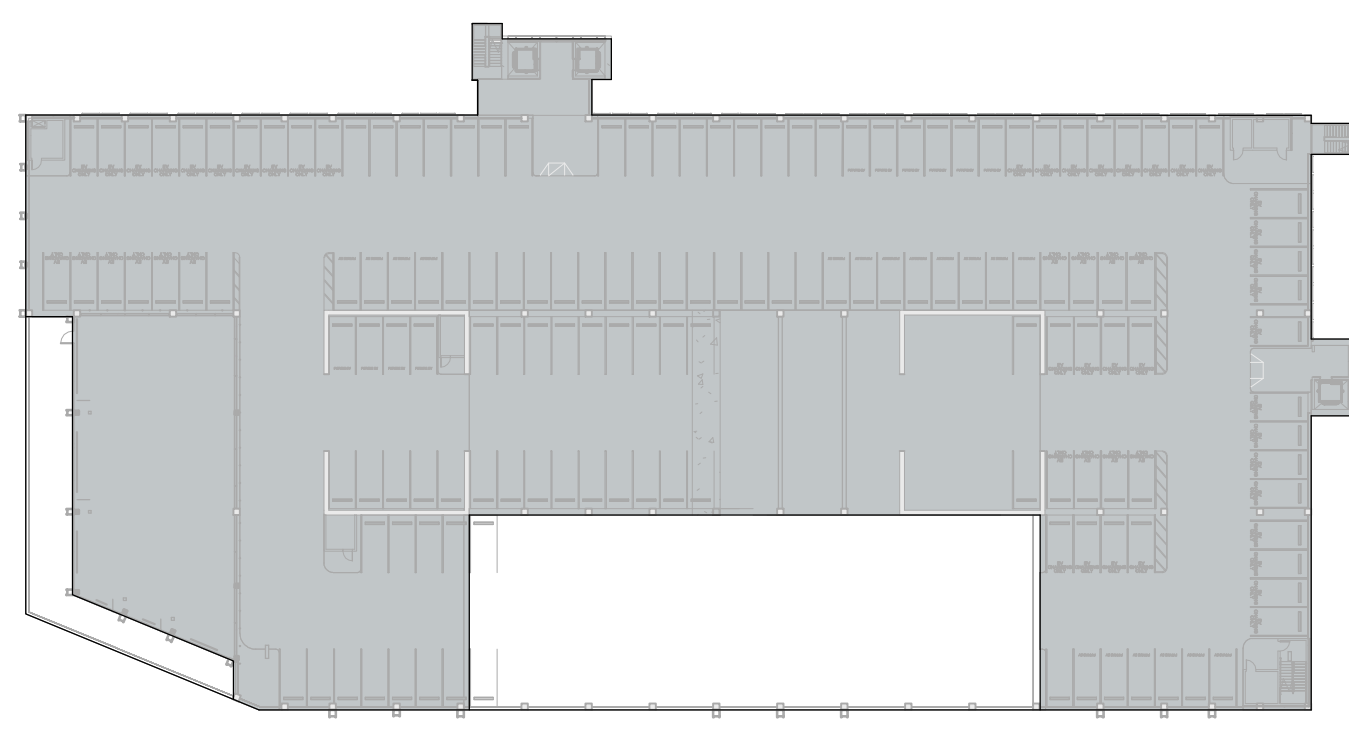
**3** SG LEVEL 3 - PARKING  
1" = 60'-0"



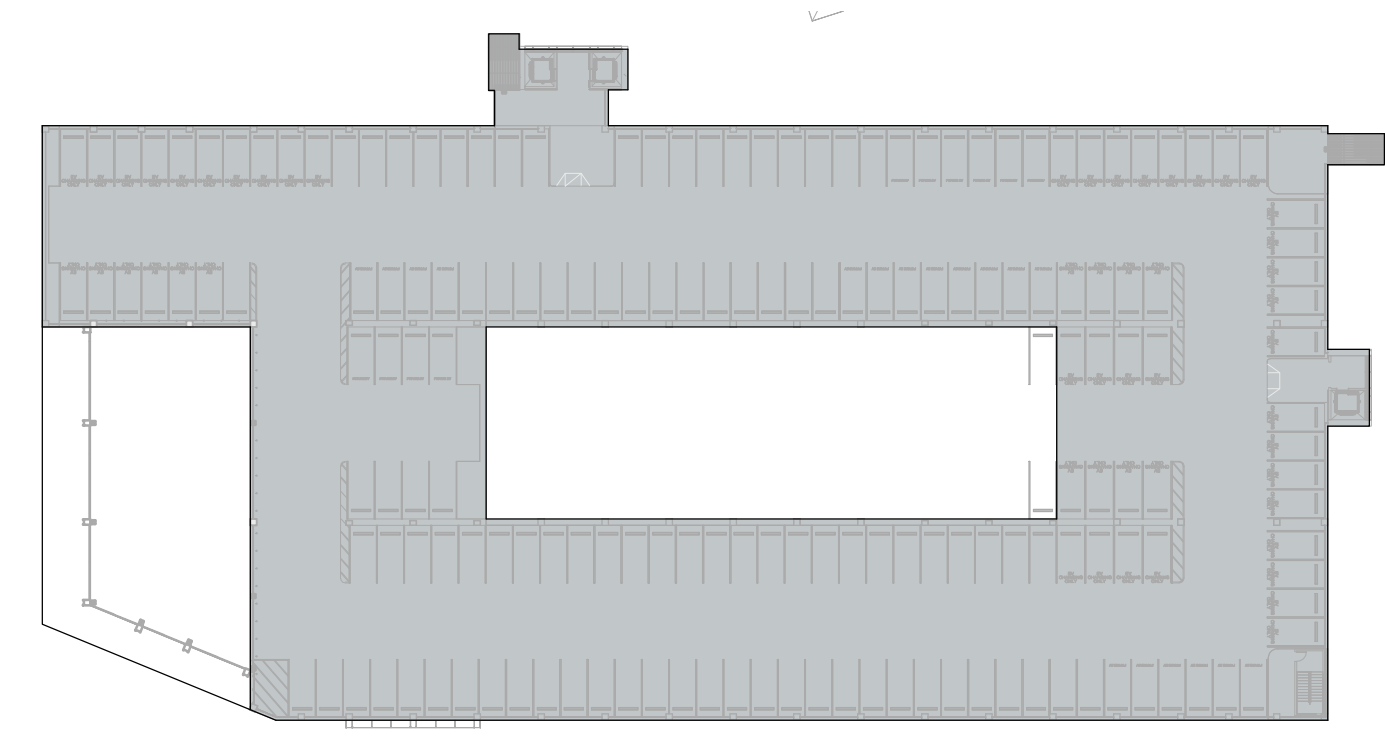
**4** SG LEVEL 4 - PARKING  
1" = 60'-0"



**5** SG LEVEL 5 - PARKING  
1" = 60'-0"



**6** SG LEVEL 6 - PARKING  
1" = 60'-0"



**7** SG LEVEL 7 - PARKING  
1" = 60'-0"

**CAR PARKING SCHEDULE OFFICE SOUTH GARAGE**

Type Mark	Count
EV Future	132
EV HC Ambulatory	8
EV HC Standard	8
EV HC Van	3
EV Standard	245
Expectant Mother	14
HC Standard	20
HC Van	4
Motorcycle	20
Standard	844
Vanpool	20
<b>TOTAL COMBINED:</b>	<b>1318</b>

Type Mark	Count
EV HC Ambulatory	2
EV HC Standard	3
EV HC Van	3
HC Standard	1
HC Van	4
Motorcycle	20
Standard	91
<b>TOTAL COMBINED:</b>	<b>124</b>

Type Mark	Count
EV Future	13
EV HC Ambulatory	2
EV Standard	2
Standard	127
<b>TOTAL COMBINED:</b>	<b>144</b>

Type Mark	Count
EV Future	7
EV HC Ambulatory	4
EV HC Standard	5
EV Standard	31
Expectant Mother	14
HC Standard	19
Standard	127
Vanpool	20
<b>TOTAL COMBINED:</b>	<b>227</b>

Type Mark	Count
EV Future	28
EV Standard	53
Standard	158
<b>TOTAL COMBINED:</b>	<b>239</b>

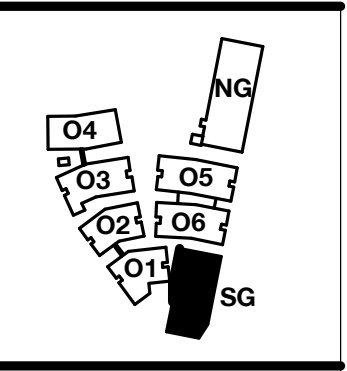
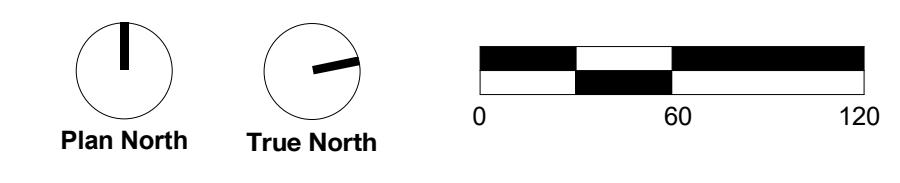
Type Mark	Count
EV Future	28
EV Standard	53
Standard	158
<b>TOTAL COMBINED:</b>	<b>239</b>

Type Mark	Count
EV Future	28
EV Standard	53
Standard	90
<b>TOTAL COMBINED:</b>	<b>171</b>

Type Mark	Count
EV Future	28
EV Standard	53
Standard	93
<b>TOTAL COMBINED:</b>	<b>174</b>

SWATCH	USE
[Grey]	Office Car Parking
[Red]	Commercial Car Parking
[Blue]	Commercial Bicycle Parking
[Light Blue]	Short Term Bicycle Parking
[Dark Blue]	Long Term Bicycle Parking

\*See sheet A9.14 for bike parking counts



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 1 (Portion)  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

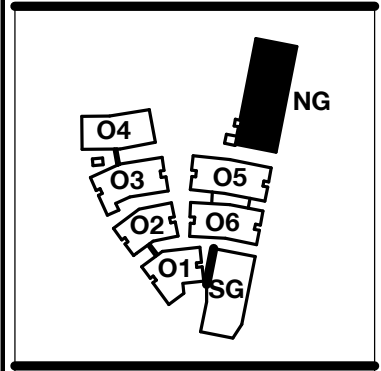
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DRAWING TITLE:  
**Parking Count Diagram - South Garage**

DRAWING NO:  
**A9.14.7**





PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DRAWING TITLE:  
**Parking Count Diagram - North Garage**

DRAWING NO:  
**A9.14.8**

**CAR PARKING SCHEDULE OFFICE NORTH GARAGE**

**NORTH GARAGE PARKING SCHEDULE**

Type Mark	Count
EV Future	204
EV HC Ambulatory	11
EV HC Standard	11
EV HC Van	4
EV Standard	382
Expectant Mother	21
HC Standard	25
HC Van	6
Motorcycle	34
Standard	1311
Vanpool	31
<b>TOTAL COMBINED:</b>	<b>2040</b>

**NG LEVEL 1 PARKING SCHEDULE**

Type Mark	Count
EV Future	2
EV HC Standard	2
EV HC Van	4
EV Standard	6
HC Standard	2
HC Van	6
Motorcycle	34
Standard	90
<b>TOTAL COMBINED:</b>	<b>146</b>

**NG LEVEL 2 PARKING SCHEDULE**

Type Mark	Count
EV Future	22
EV HC Ambulatory	2
EV Standard	7
Standard	95
<b>TOTAL COMBINED:</b>	<b>126</b>

**NG LEVEL 3 PARKING SCHEDULE**

Type Mark	Count
EV HC Ambulatory	9
EV HC Standard	9
EV Standard	52
Expectant Mother	21
HC Standard	23
Standard	155
Vanpool	31
<b>TOTAL COMBINED:</b>	<b>300</b>

**NG LEVEL 4 PARKING SCHEDULE**

Type Mark	Count
EV Future	35
EV Standard	65
Standard	215
<b>TOTAL COMBINED:</b>	<b>315</b>

**NG LEVEL 5 PARKING SCHEDULE**

Type Mark	Count
EV Future	35
EV Standard	65
Standard	215
<b>TOTAL COMBINED:</b>	<b>315</b>

**NG LEVEL 6 PARKING SCHEDULE**

Type Mark	Count
EV Future	44
EV Standard	57
Standard	172
<b>TOTAL COMBINED:</b>	<b>273</b>

**NG LEVEL 7 PARKING SCHEDULE**

Type Mark	Count
EV Future	32
EV Standard	65
Standard	205
<b>TOTAL COMBINED:</b>	<b>302</b>

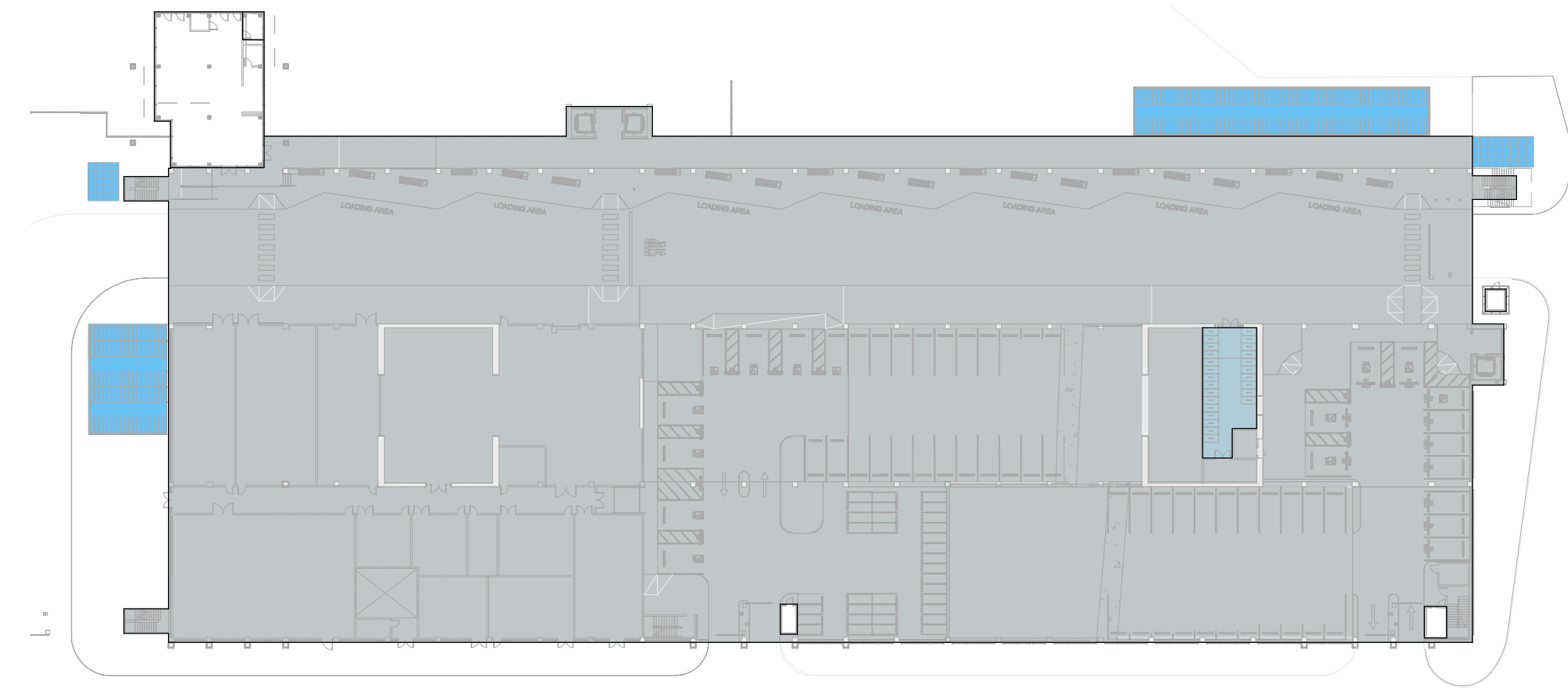
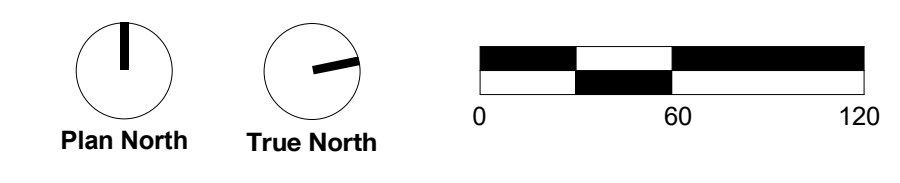
**NG LEVEL 8 PARKING SCHEDULE**

Type Mark	Count
EV Future	34
EV Standard	65
Standard	164
<b>TOTAL COMBINED:</b>	<b>263</b>

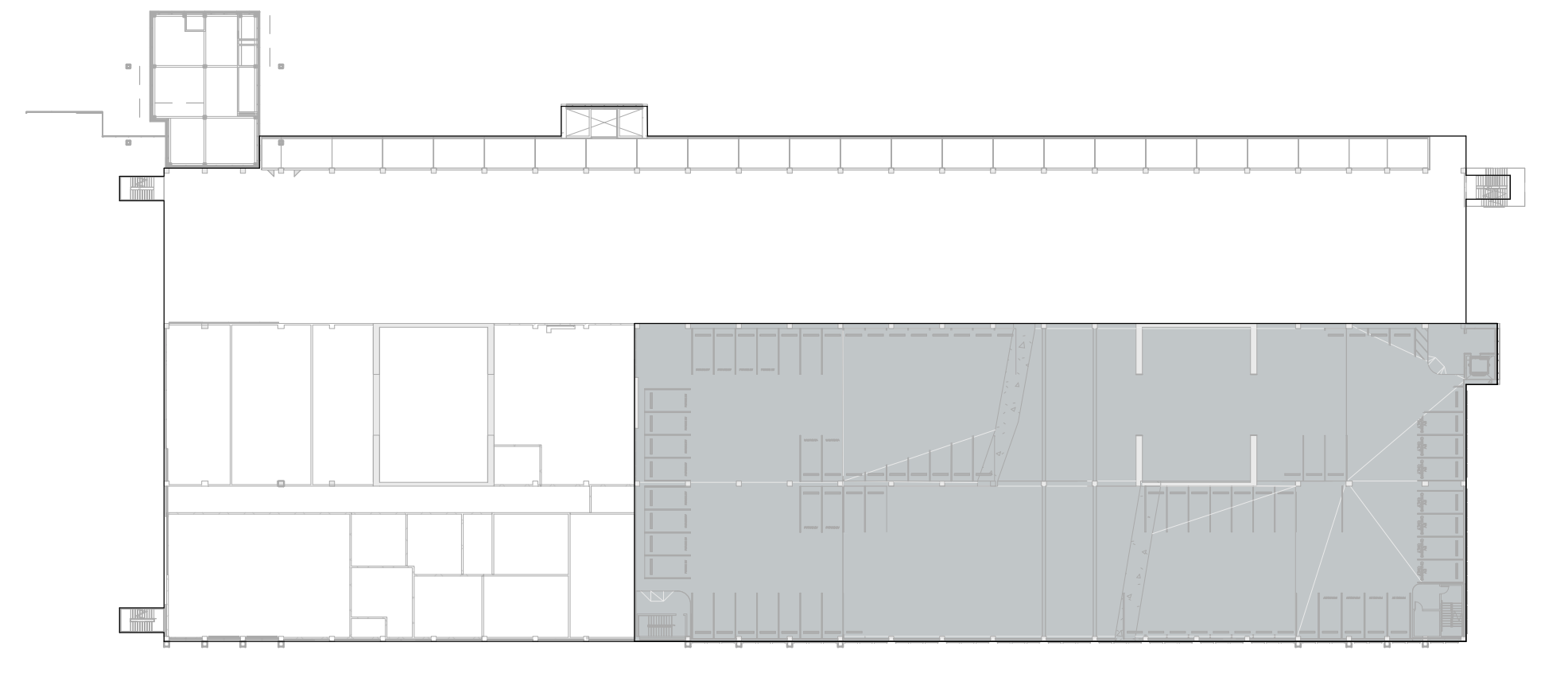
**PARKING BY LAND USE LEGEND**

SWATCH	USE
[Grey]	Office Car Parking
[Red]	Commercial Car Parking
[Blue]	Commercial Bicycle Parking
[Light Blue]	Short Term Bicycle Parking
[Dark Blue]	Long Term Bicycle Parking

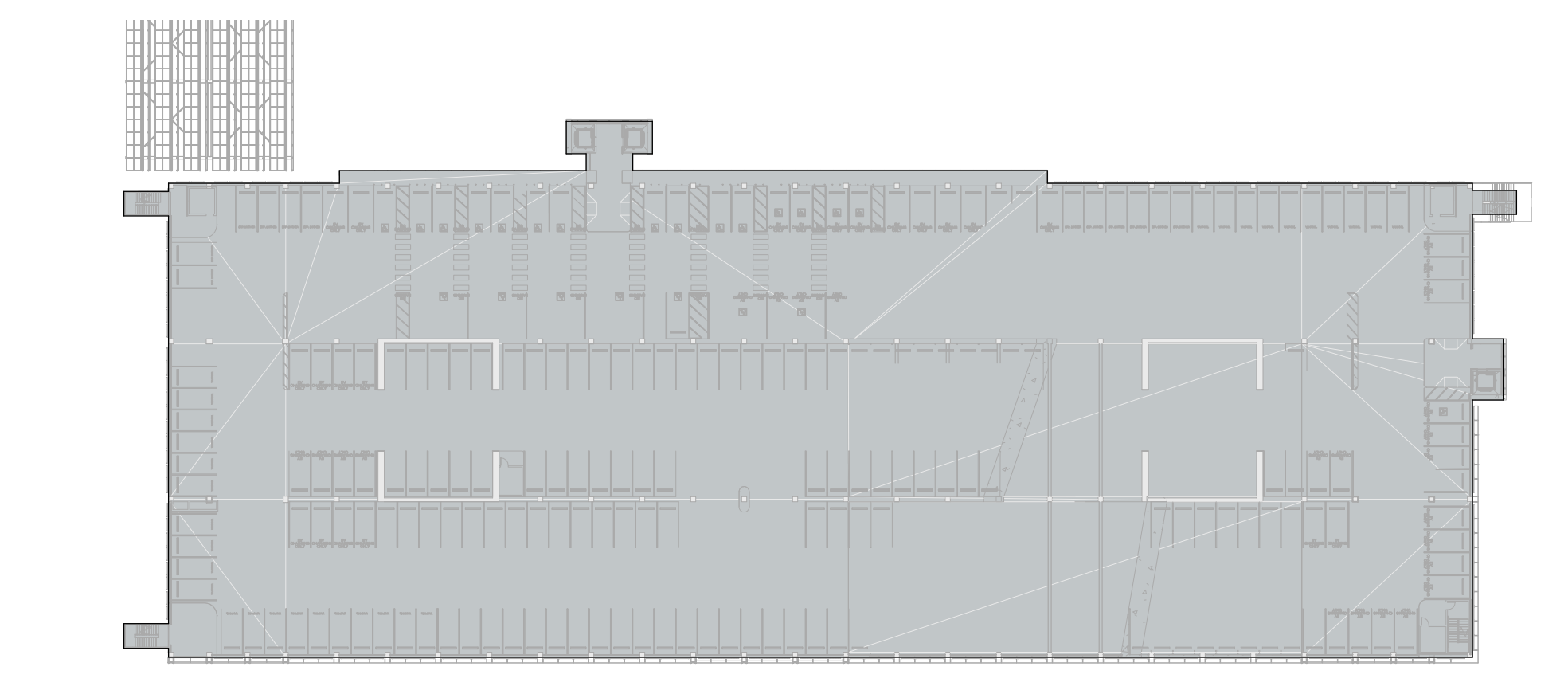
\*See sheet A9.14 for bike parking counts



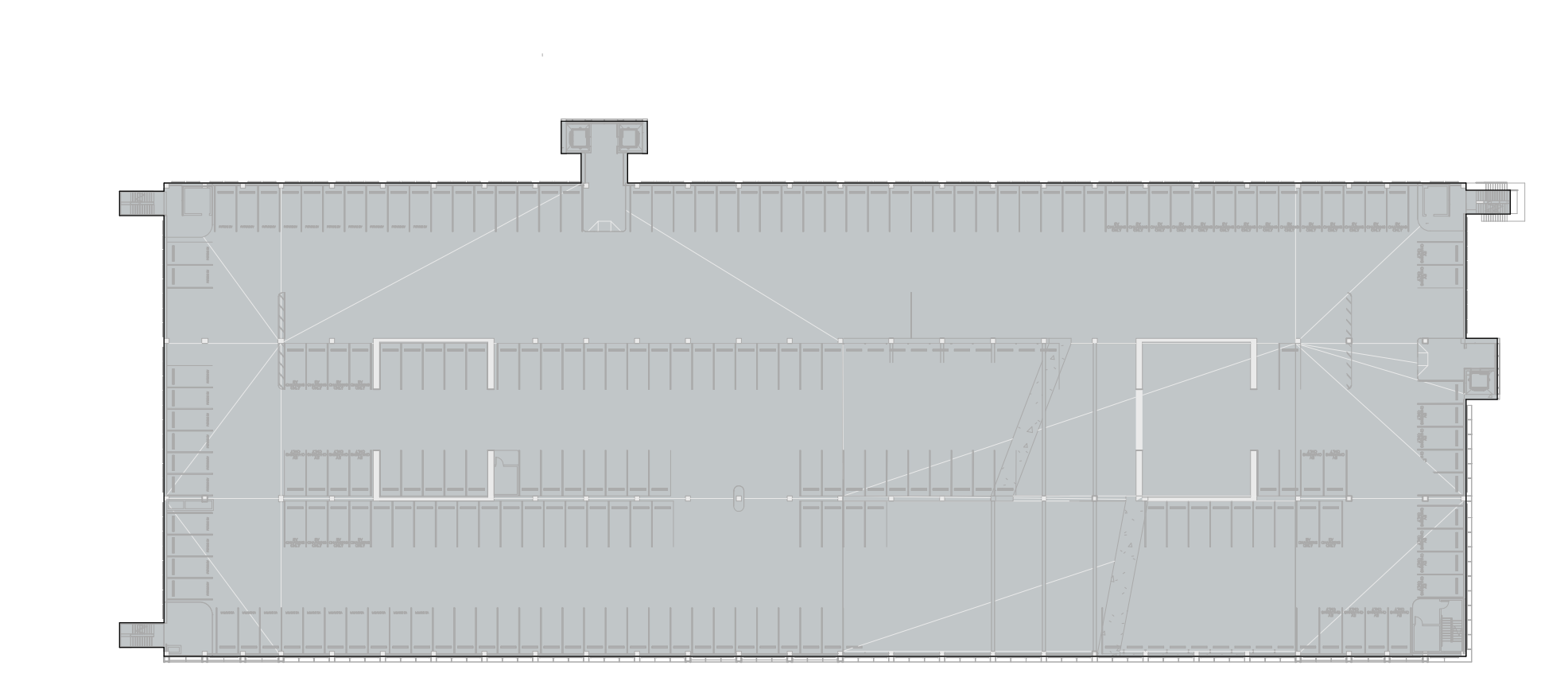
**1 NG LEVEL 1 - PARKING**  
 1" = 60'-0"



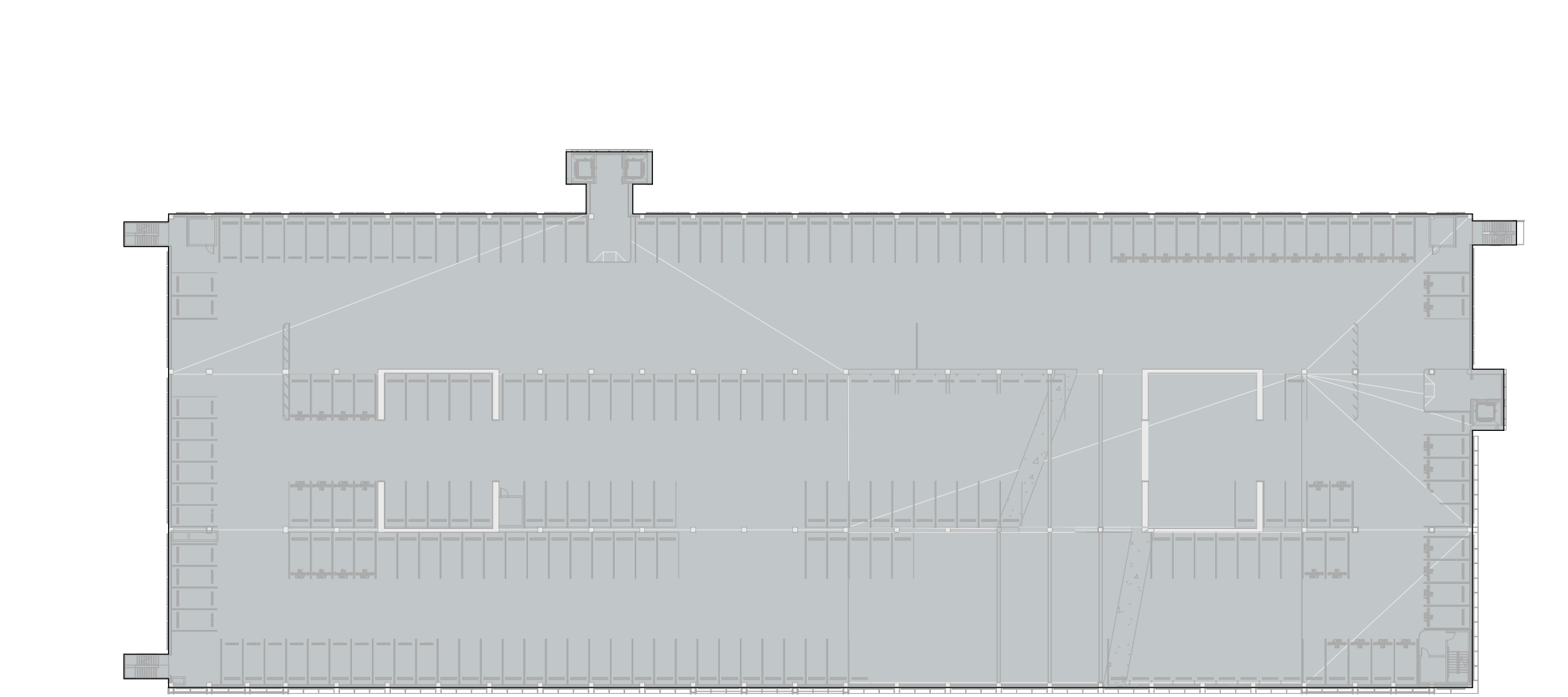
**2 NG LEVEL 2 - PARKING**  
 1" = 60'-0"



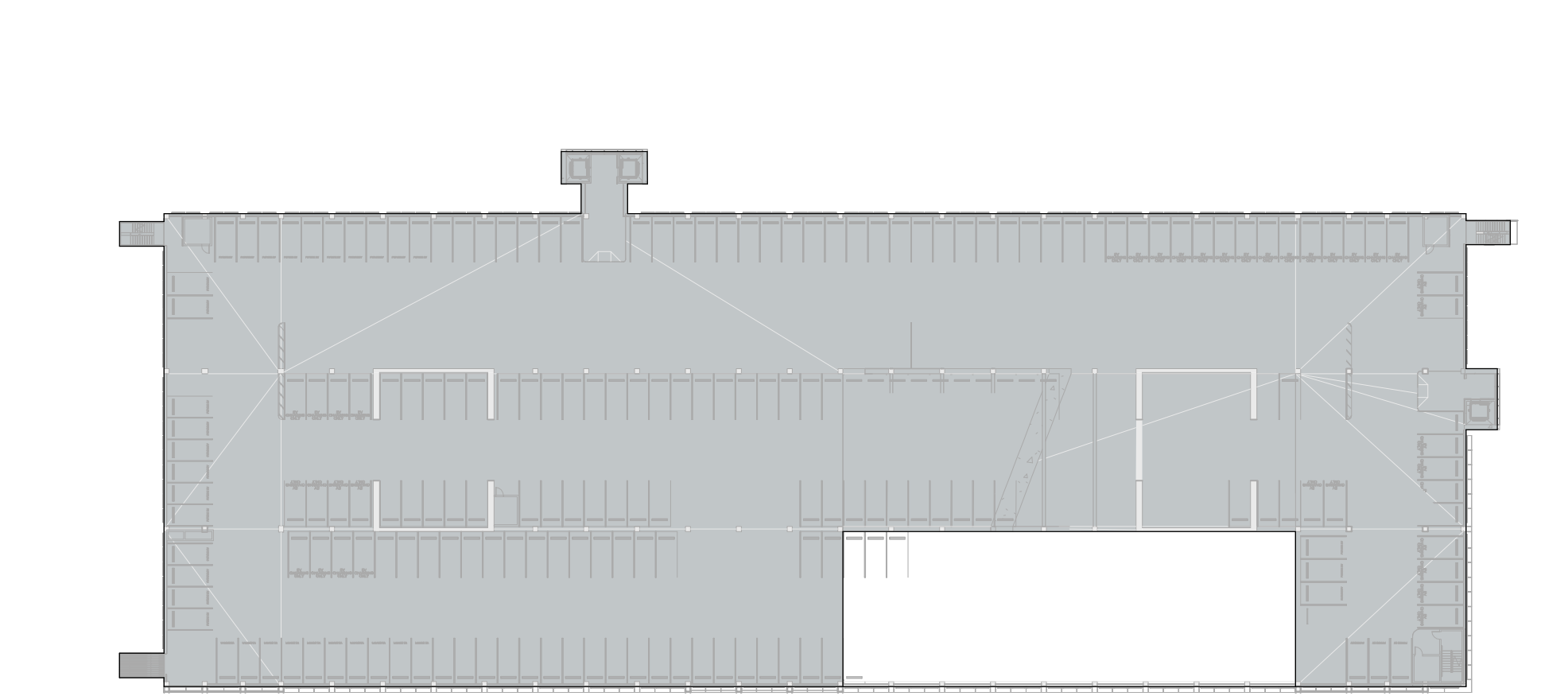
**3 NG LEVEL 3 - PARKING**  
 1" = 60'-0"



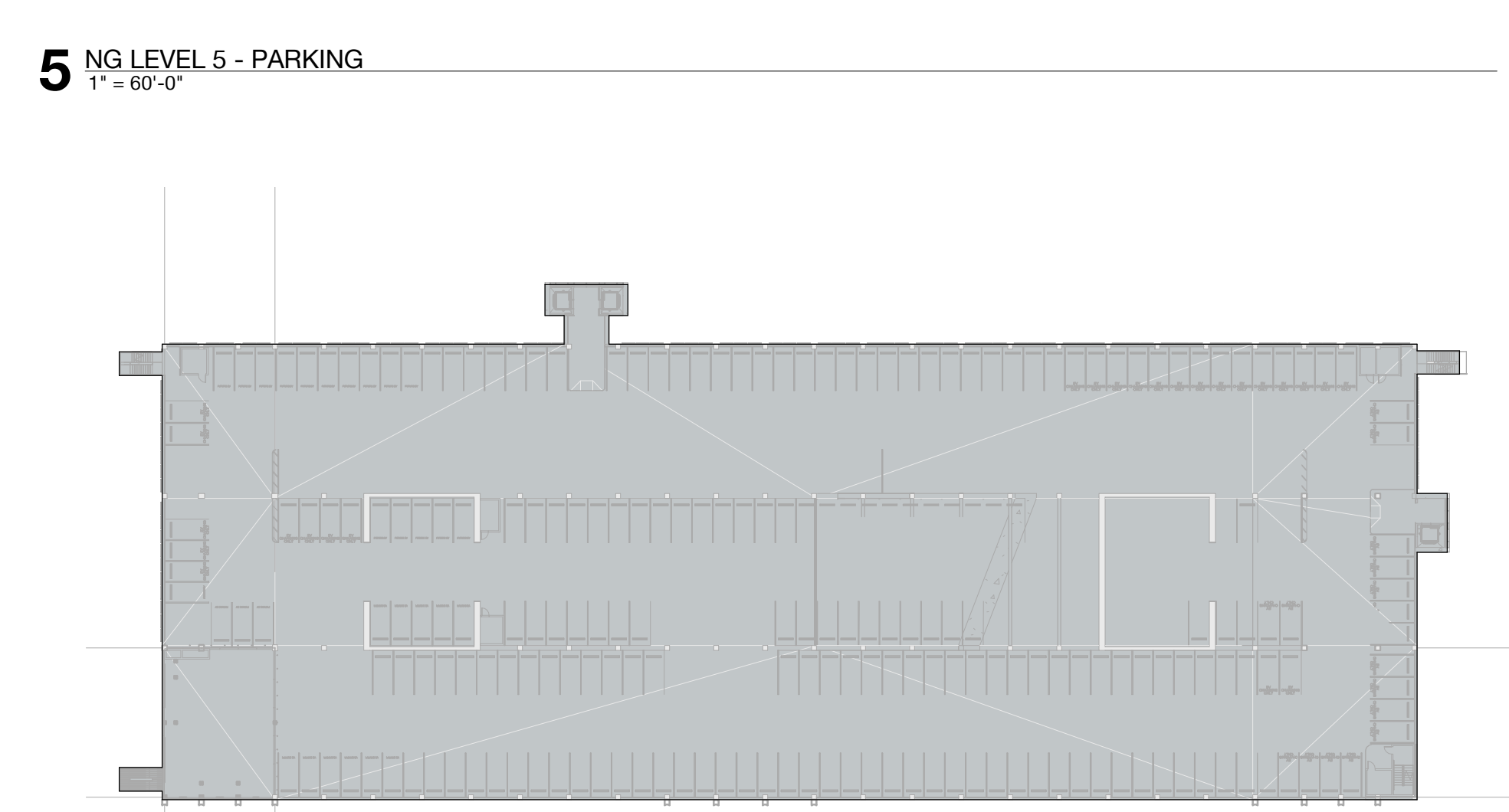
**4 NG LEVEL 4 - PARKING**  
 1" = 60'-0"



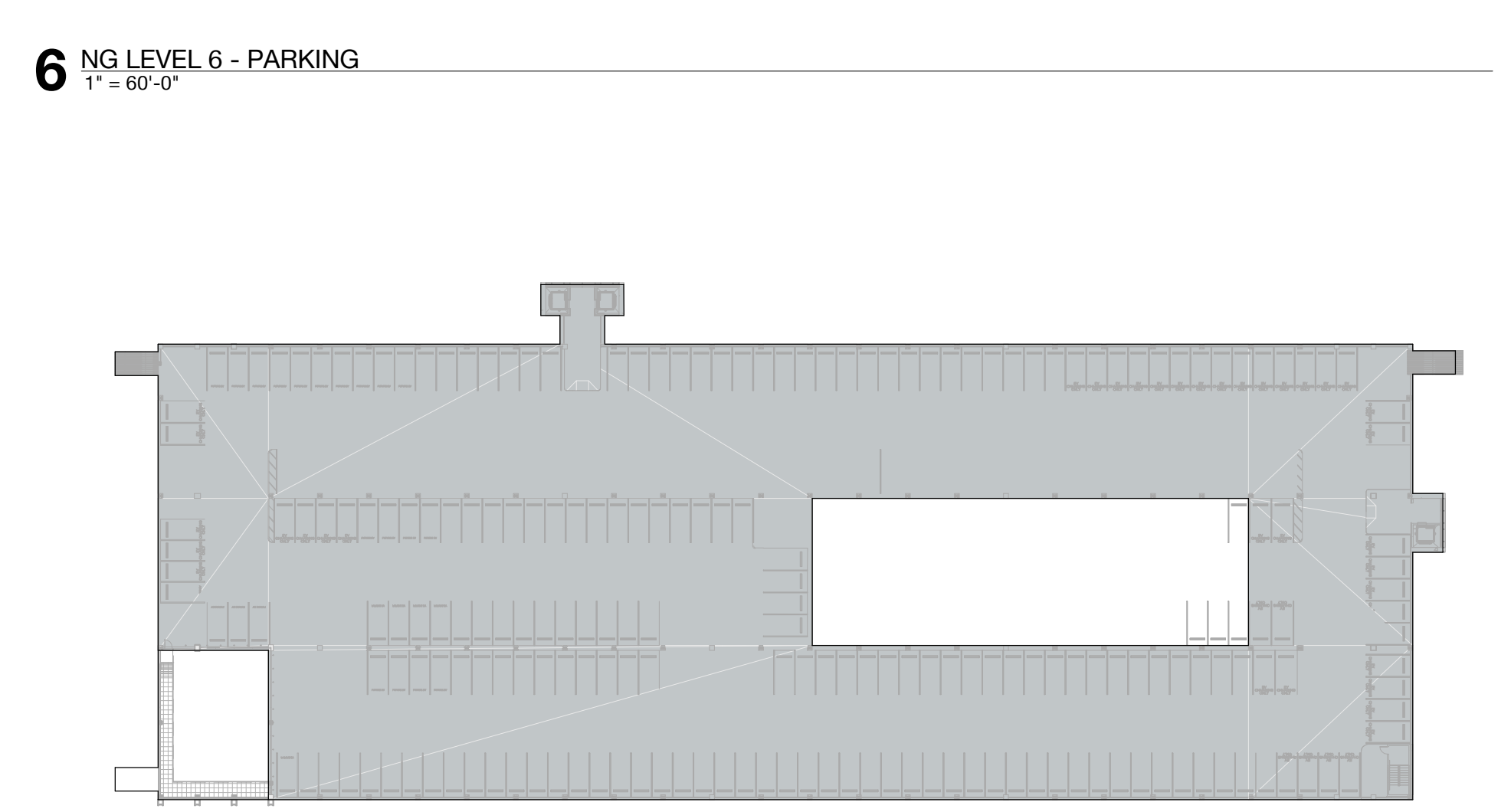
**5 NG LEVEL 5 - PARKING**  
 1" = 60'-0"



**6 NG LEVEL 6 - PARKING**  
 1" = 60'-0"



**7 NG LEVEL 7 - PARKING**  
 1" = 60'-0"



**8 NG LEVEL 8 - PARKING**  
 1" = 60'-0"

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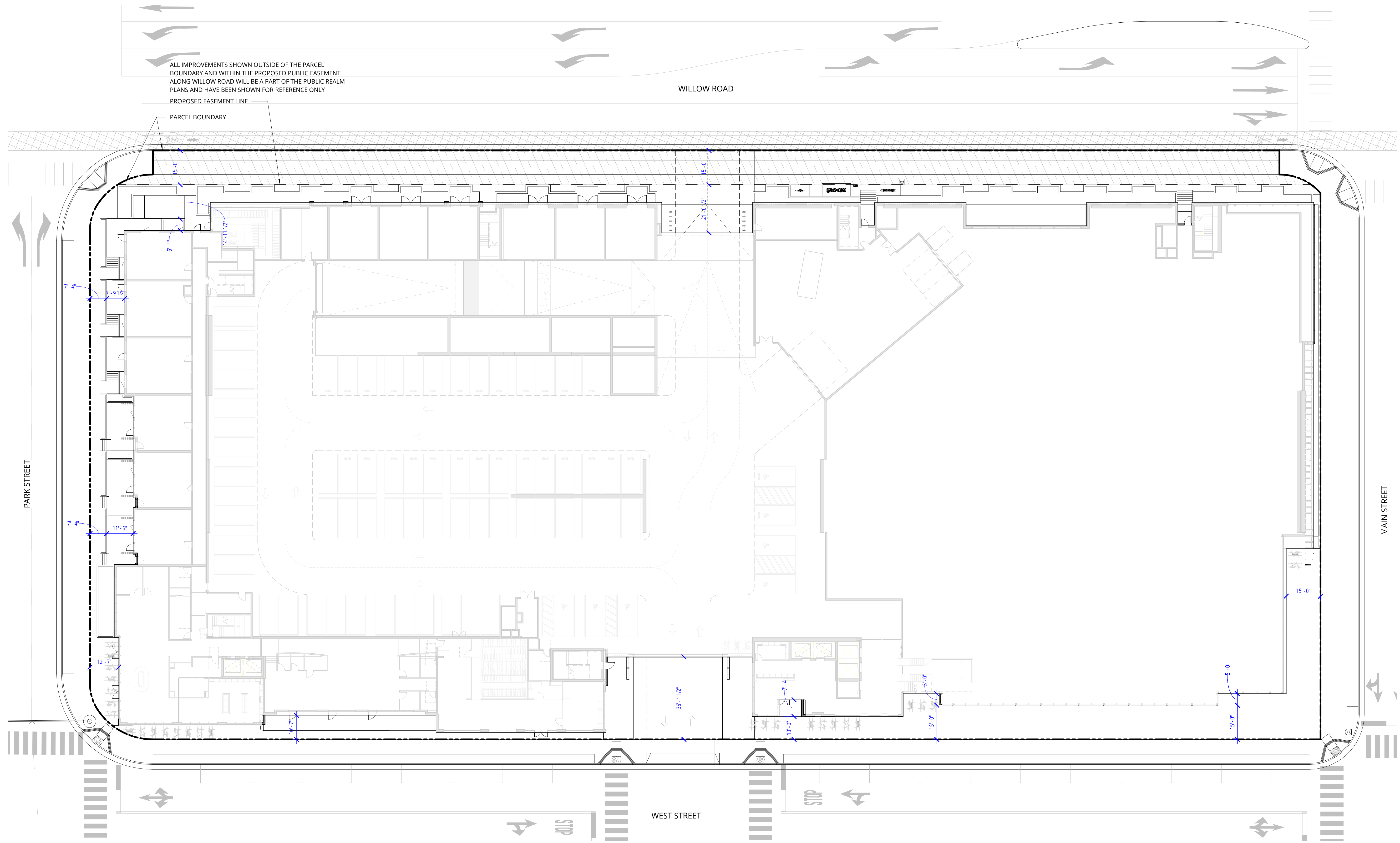


# APPENDIX 5

## PARCEL 1-8 ILLUSTRATIVE SITE PLAN

Diagrams included in this CDP are conceptual.  
Compliance will be reviewed with the  
Architectural Control Plans (ACPs).





**1 SITE PLAN**  
1" = 20'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

SCALE: 1" = 20'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DRAWING TITLE:  
**SITE PLAN**

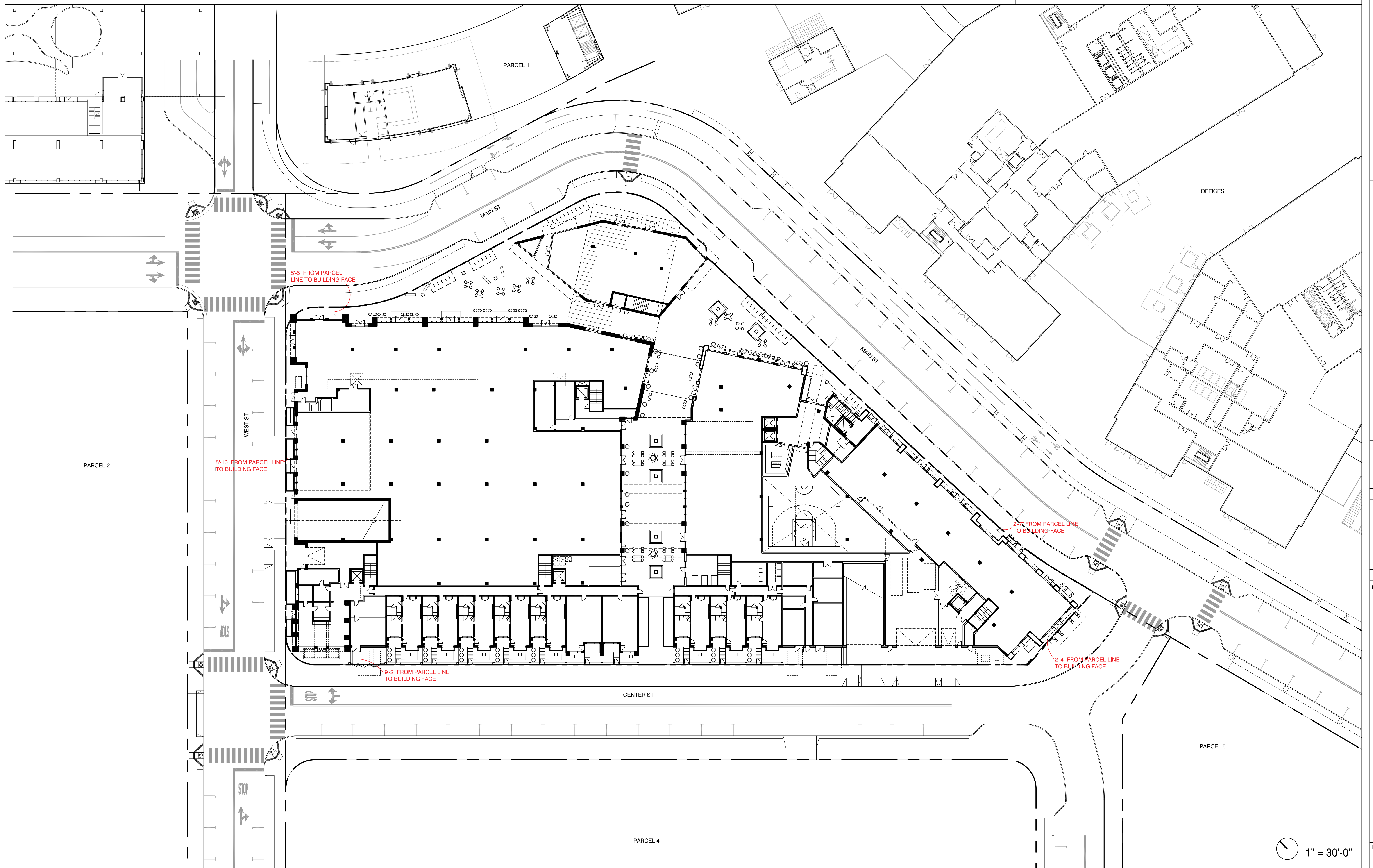
DRAWING NO:  
**\*A1.01**



GENERAL NOTES

A. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION INCLUDING SITE WALLS, GRADING, PLANTING, ETC.

KEY



SITE PLAN

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 3  
Menlo Park, CA

SCALE:  
NOTE: THIS DRAWING IS NOT TO SCALE. DIMENSIONS, USE FIGURED DIMENSIONS ONLY. OR SEE CLARIFICATIONS FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DRAWING TITLE:  
SITE PLAN

DRAWING NO:  
**A1.01**



PARCEL 4

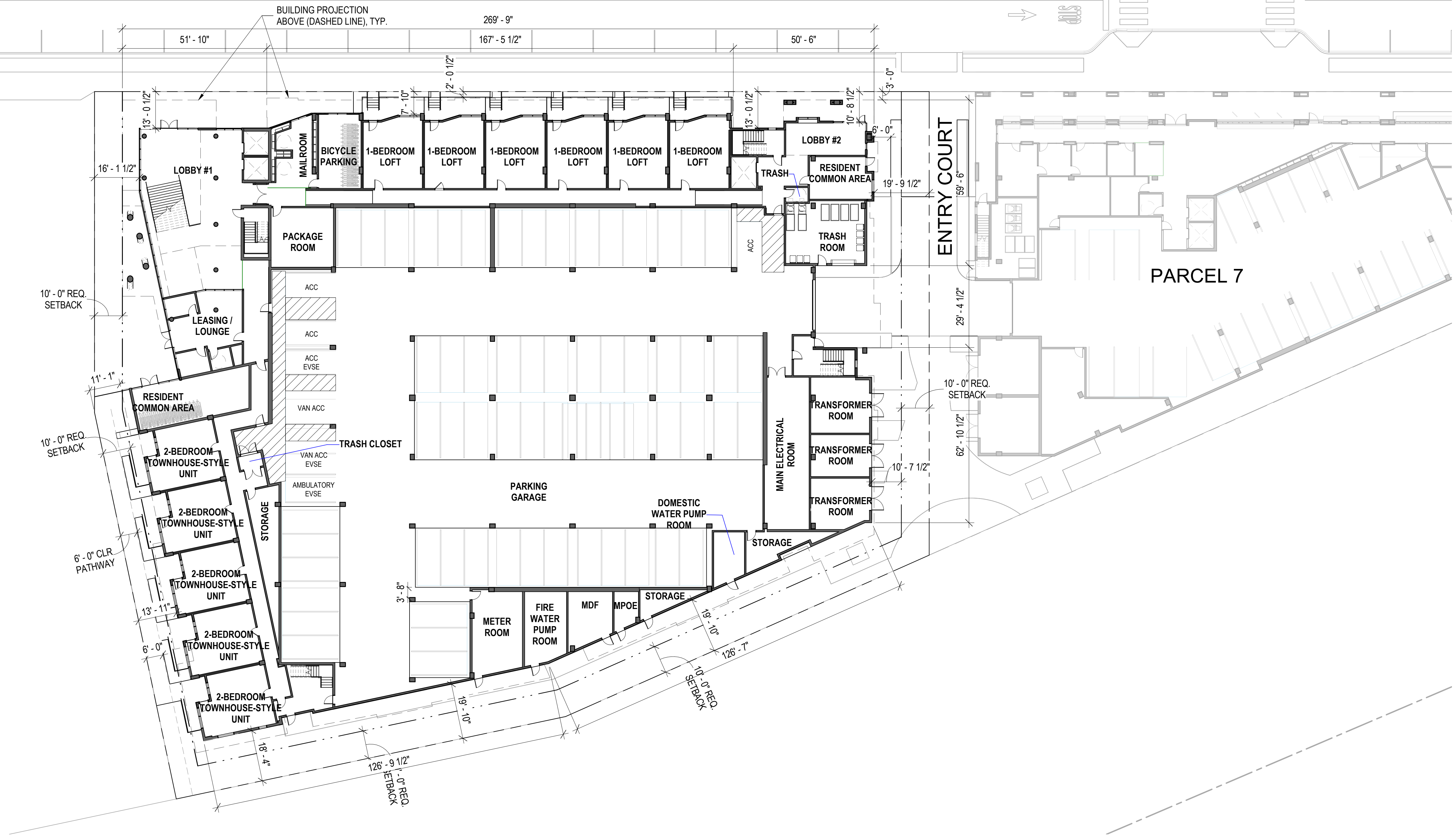
PARCEL 5

PARK STREET

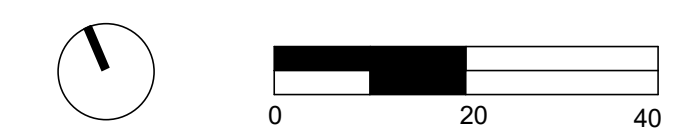
EAST STREET

PARCEL 7

PARK



SITE PLAN 1  
1" = 20'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 6  
Menlo Park, CA

SCALE: 1" = 20'-0"  
NOTE: THIS DRAWING IS SO A1. DO NOT SCALE. DRAWINGS USE REQUIRED DIMENSIONS ONLY. FOR SURE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

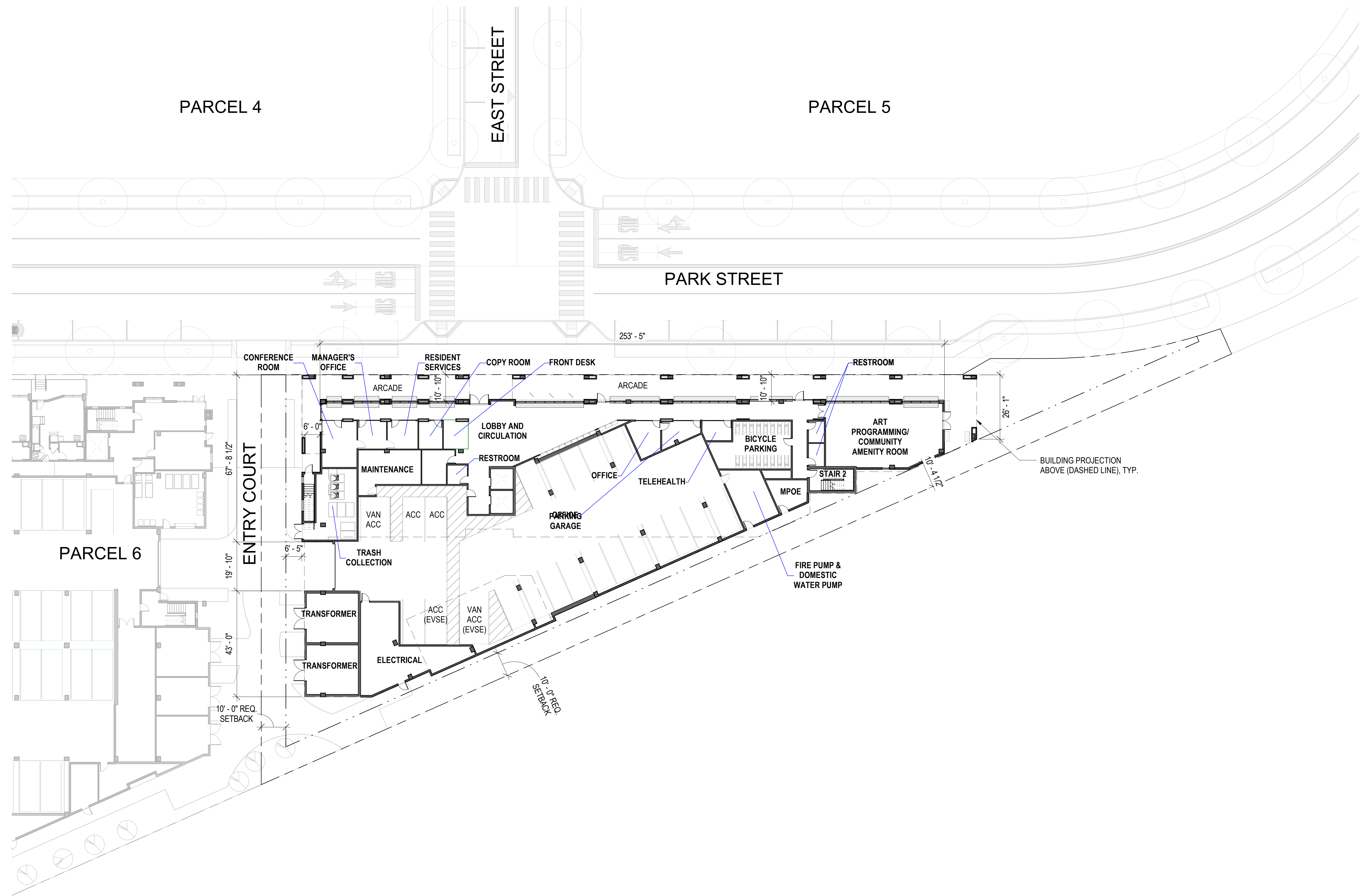
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DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

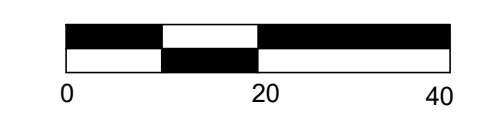
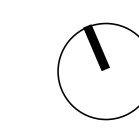
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SITE PLAN

DRAWING NO:  
A1.01





SITE PLAN 1  
1" = 20'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: 1" = 20'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

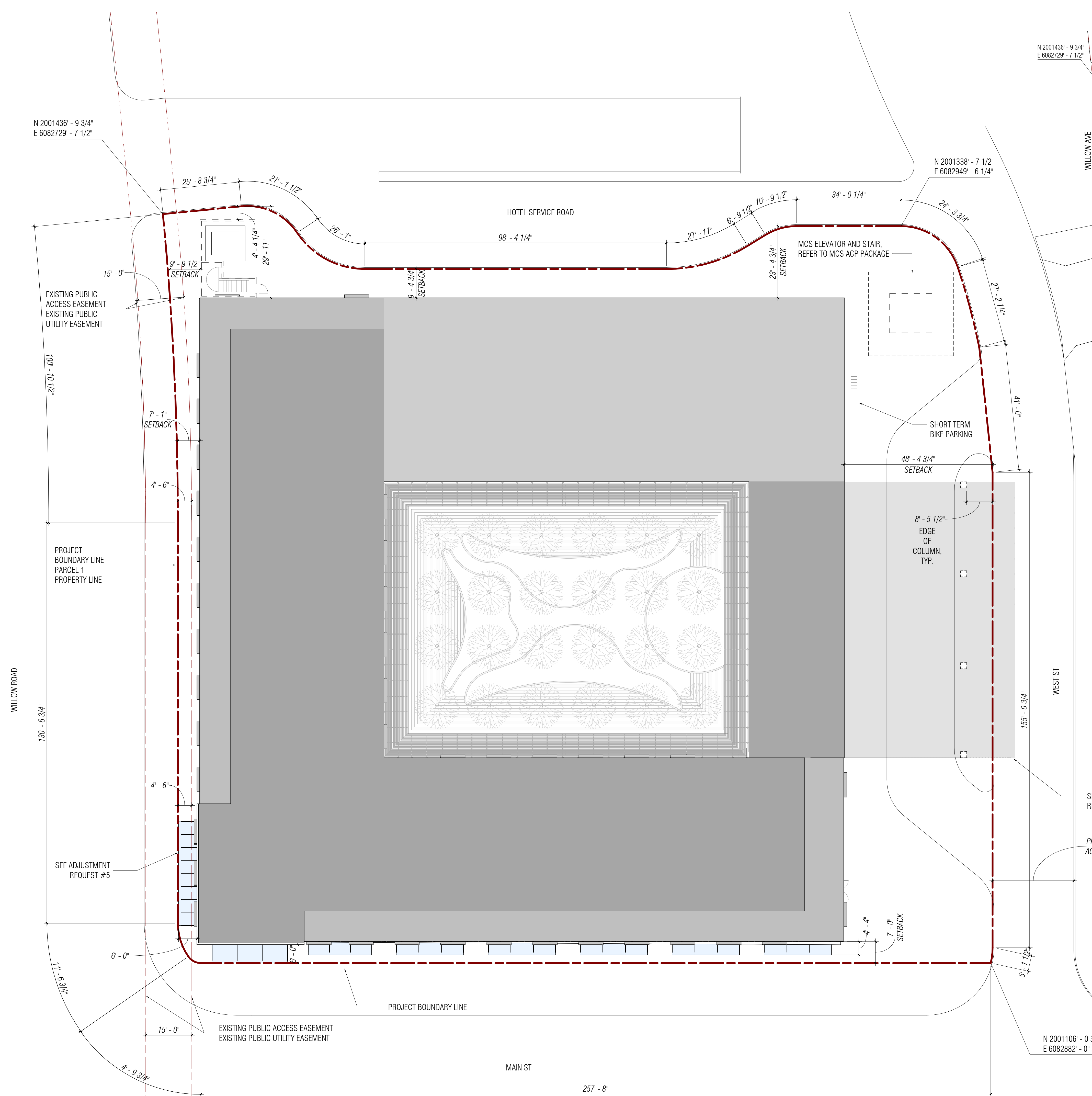
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**SITE PLAN**

DRAWING NO:  
**A1.01**

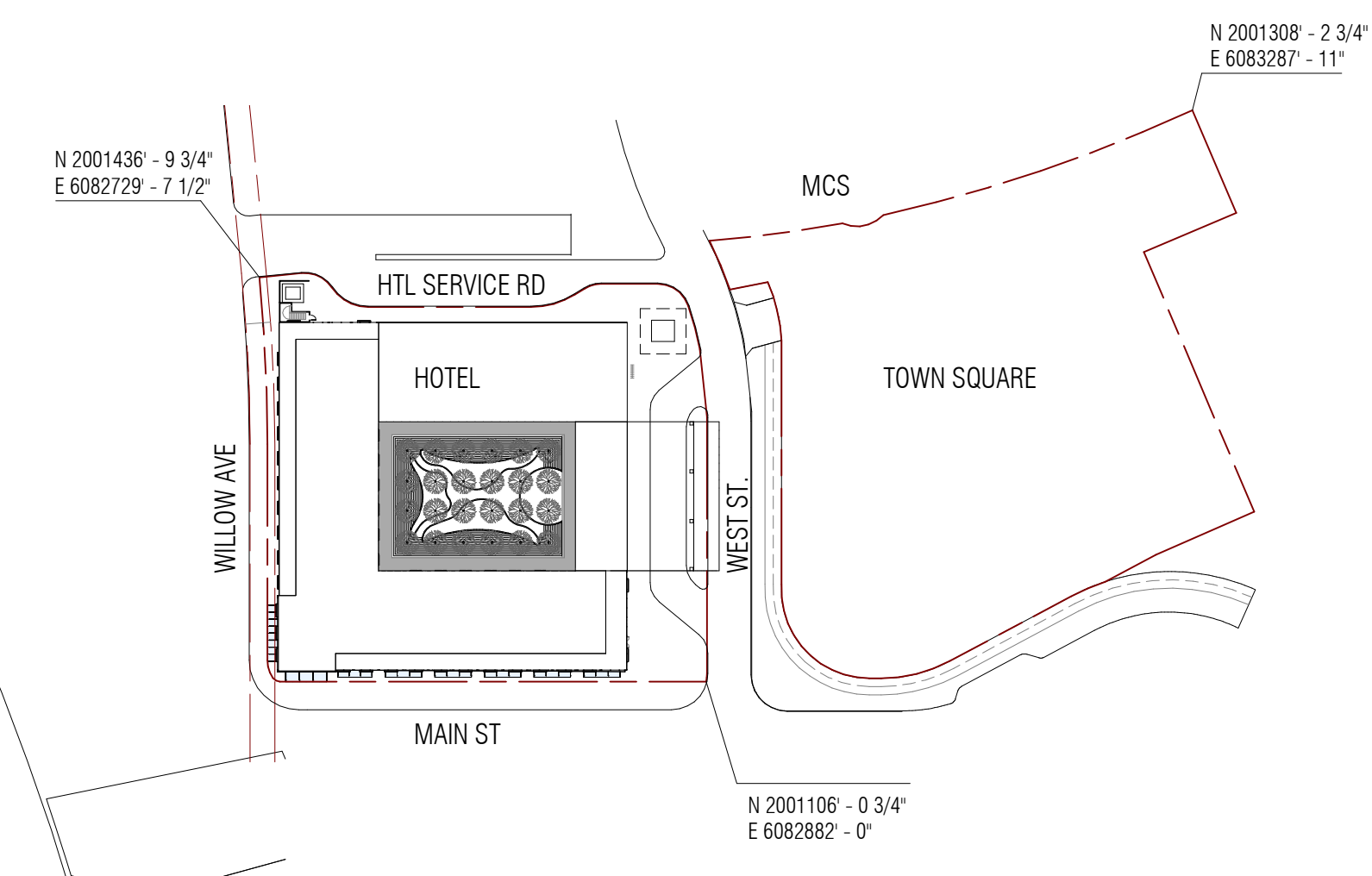


3/21/2022 4:46:45 PM

1 SITE PLAN  
1/16" = 1'-0"



2 SITE LOCATION PLAN  
1" = 100'-0"



FOR TOWN SQUARE PORTION OF PARCEL 1,  
REFER TO:  
ARCHITECTURAL CONTROL PACKAGE -  
PARCEL 1 - TOWN SQUARE

SEE ADJUSTMENT  
REQUEST #6  
  
PROPOSED PUBLIC  
ACCESS EASEMENT

NOTE:  
ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND  
DEMONSTRATING ZONING COMPLIANCE PURPOSES.  
THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR  
PROPERTY BOUNDARIES

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 1 - Hotel  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE.  
DRAWINGS USE FEET DIMENSIONS ONLY, OR  
SEE CLARIFICATION FROM ARCHITECT FOR  
MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

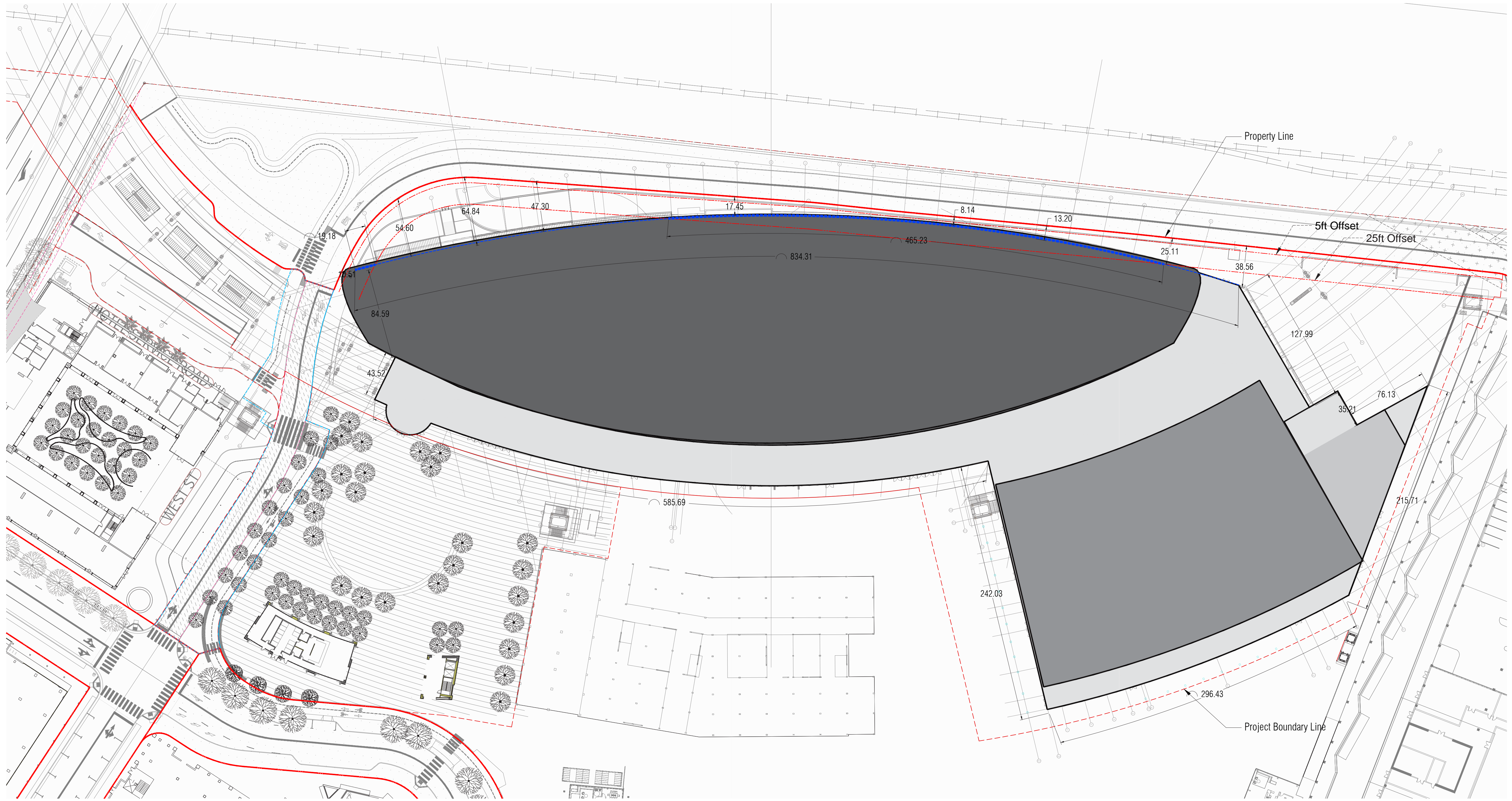
DRAWING TITLE:  
Willow Village Hotel  
Site Plan

DRAWING NO:  
**A1.01**

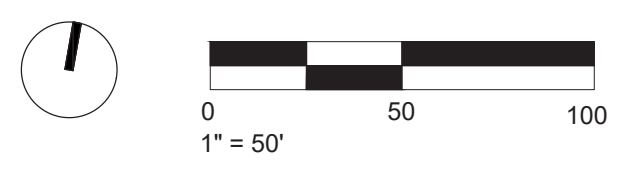








1 SITE PLAN



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1  
 Menlo Park, CA

SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP Submittal

REVISIONS		
NO.	DATE	ISSUE

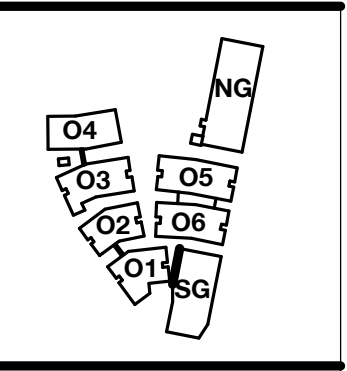
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**SITE PLAN**

DRAWING NO:  
**A1.01**





--- NOTE: ACP BOUNDARY LINES ARE ONLY FOR DESIGN AND DEMONSTRATING ZONING COMPLIANCE PURPOSES. THEY DO NOT REPRESENT NOR IMPLY ANY PARCEL OR PROPERTY BOUNDARIES



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1 (Portion)  
 Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEE CLARIFICATIONS FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**Proposed Site Plan**

DRAWING NO:  
**A1.01.1**



# APPENDIX 6

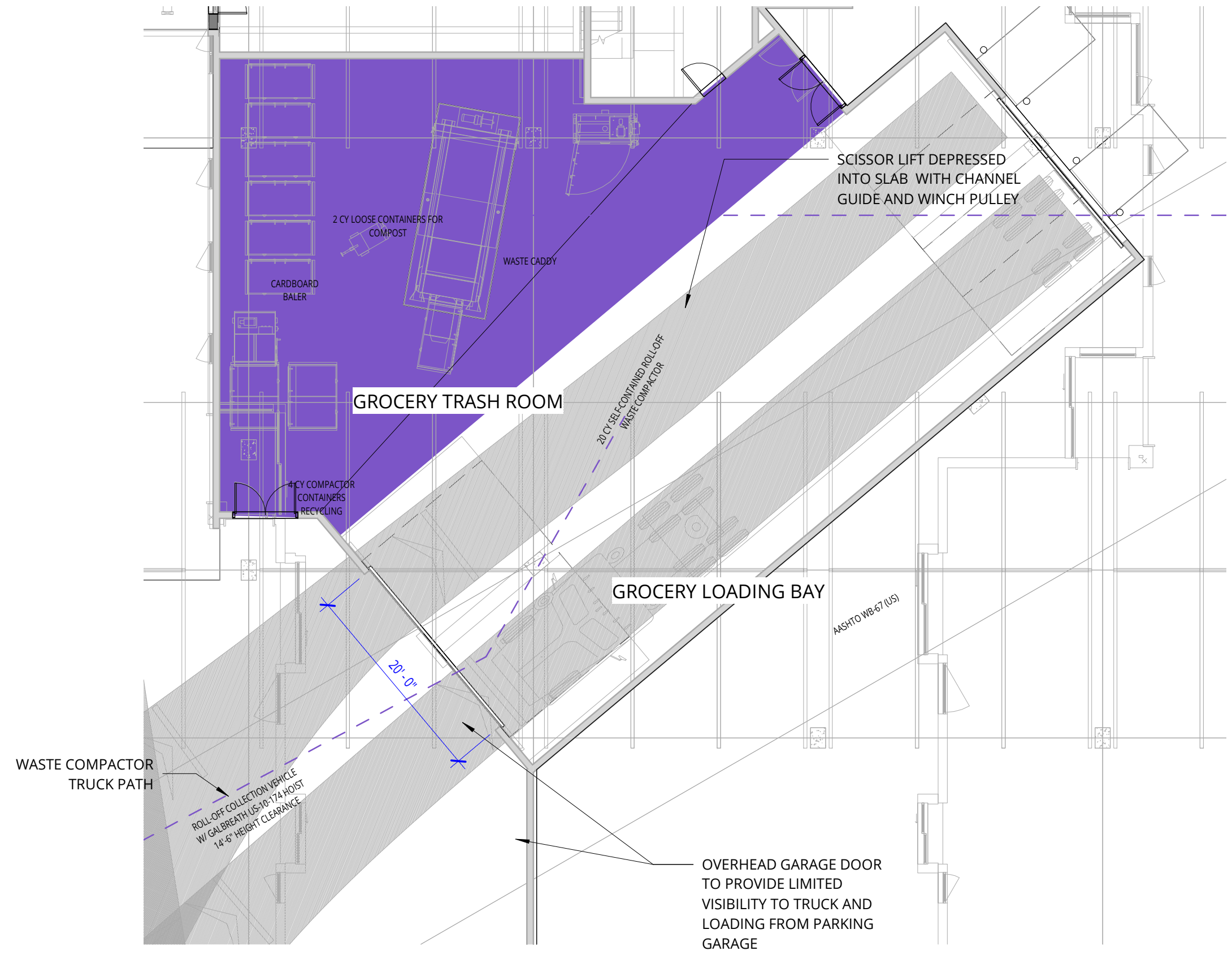
## PARCEL 1-8

### ILLUSTRATIVE REFUSE, RECYCLING, AND ZERO WASTE DIAGRAM

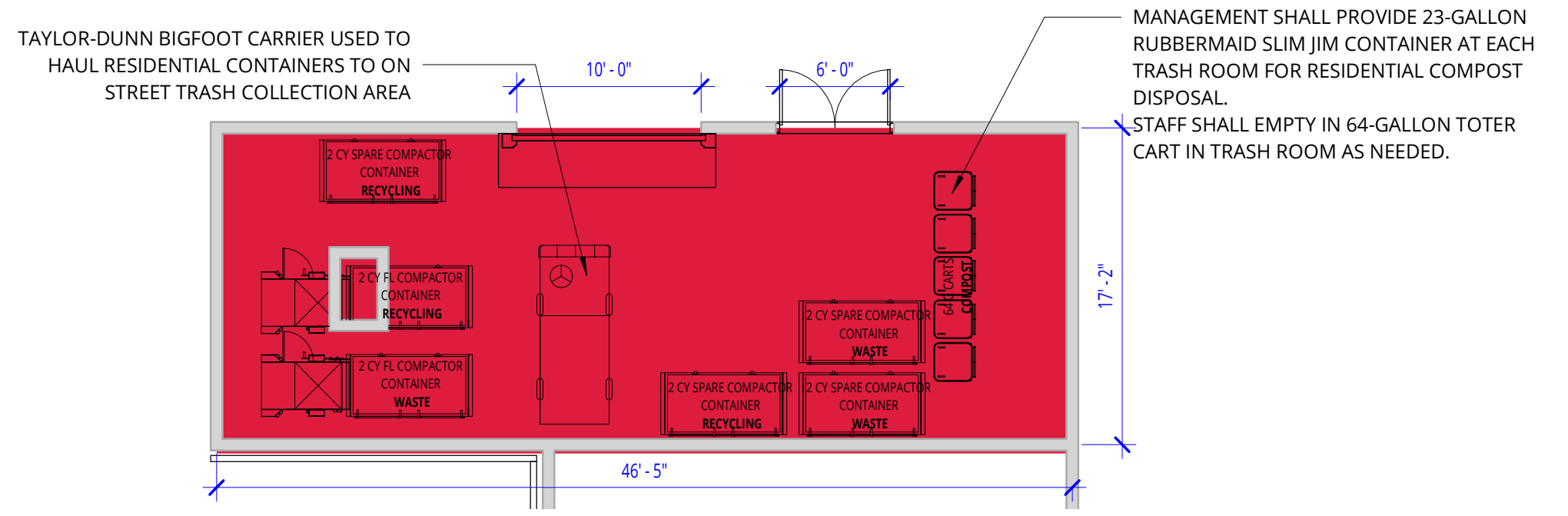
Diagrams included in this CDP are conceptual. Parcels will comply with applicable Zero Waste Management requirements per the Zoning Ordinance and City's Implementing Guidelines during the ACP and building permit phase.



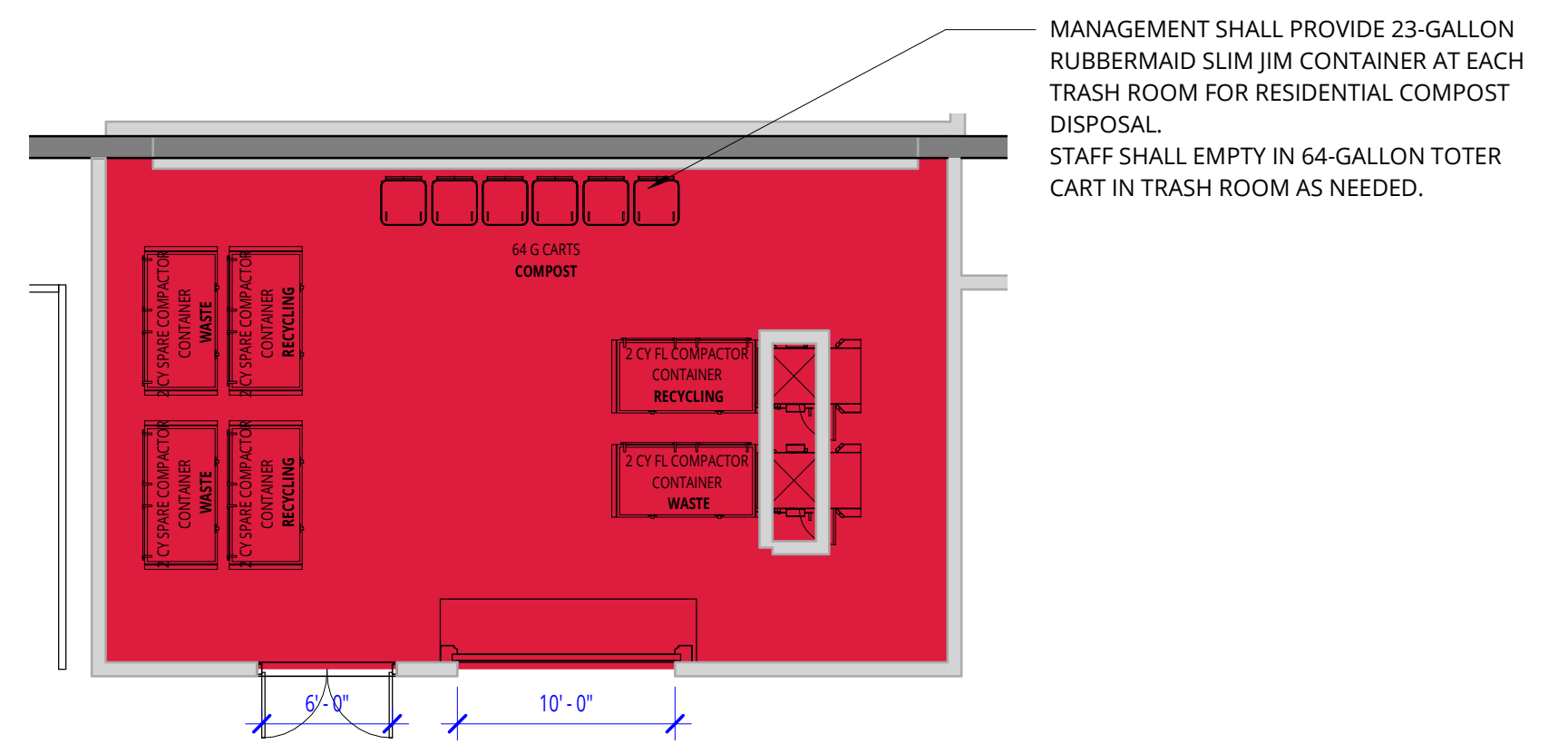
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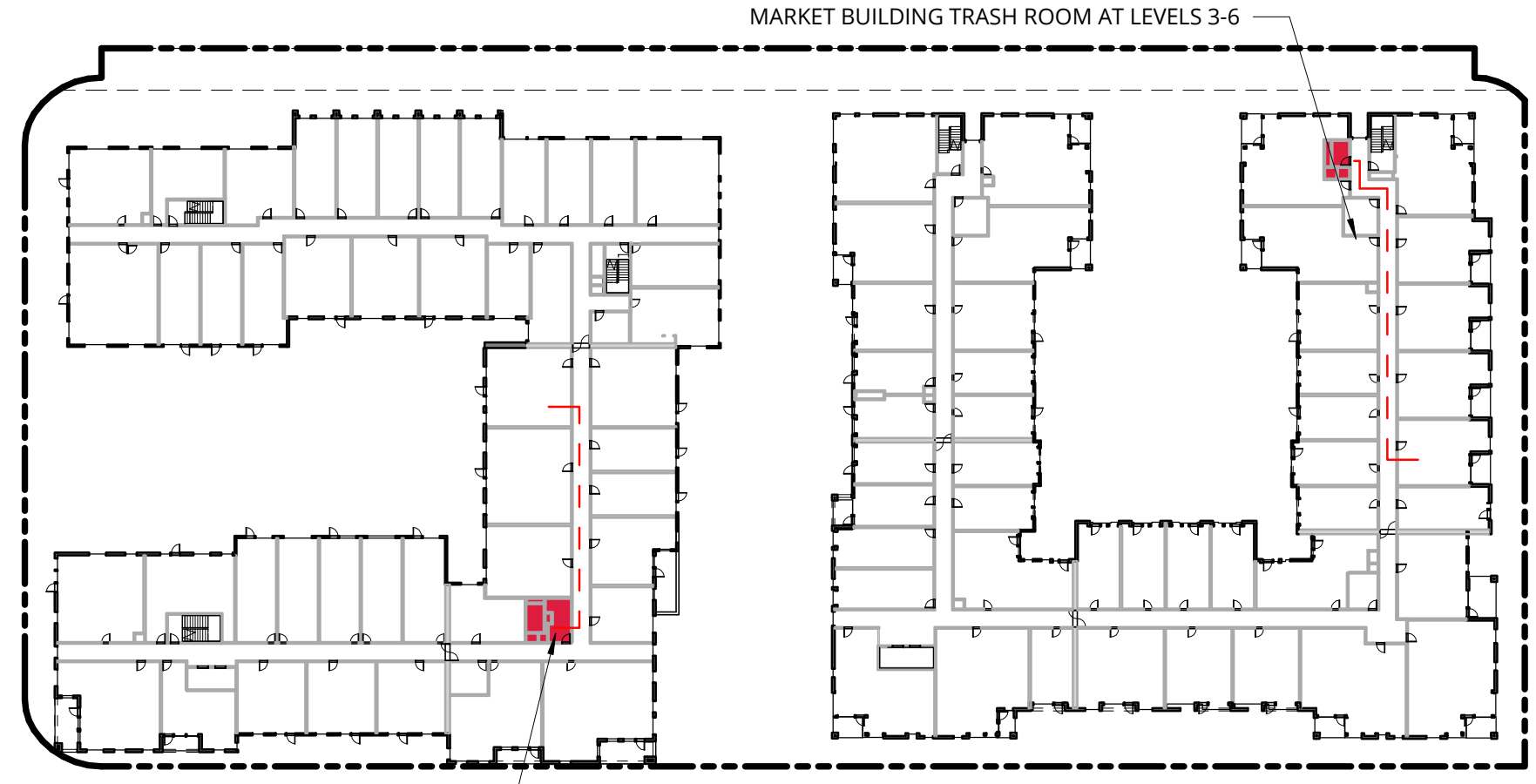
**6 GROCERY TRASH ROOM**  
3/32" = 1'-0"



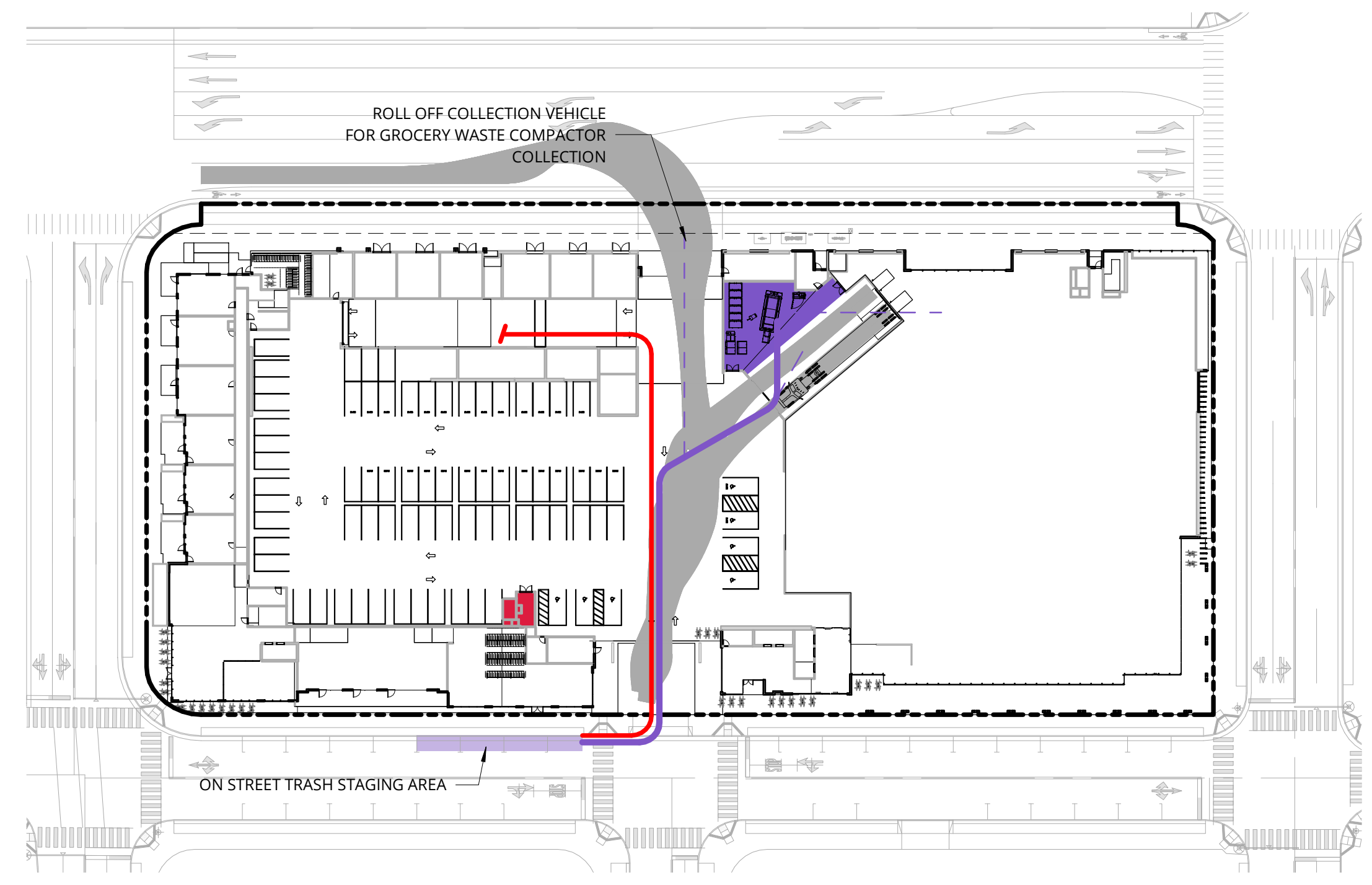
**5 PARK BLDG TRASH ROOM**  
1/8" = 1'-0"



**4 MARKET BLDG TRASH ROOM**  
1/8" = 1'-0"



**3 TRASH PLAN OVERALL LEVEL 4**  
1" = 60'-0"



**2 TRASH PLAN OVERALL LEVEL 1**  
1" = 60'-0"



**1 TRASH PLAN OVERALL LEVEL P1**  
1" = 60'-0"

**LEGEND**

- RESIDENTIAL TRASH ROOM / CHUTE
- GROCERY TRASH ROOM
- TRASH COLLECTION AREA
- TRASH ROOM RESIDENTIAL TRASH CADDY ROUTE
- GROCERY TRASH CADDY ROUTE
- - - RESIDENTIAL TRASH CIRCULATION
- - - GROCERY TRASH CIRCULATION

**\*PRELIMINARY PLAN\***

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 2  
Menlo Park, CA

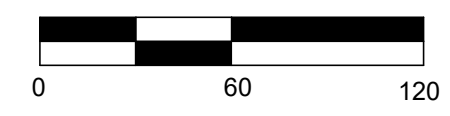
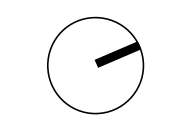
SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
4/11/2022	ACP

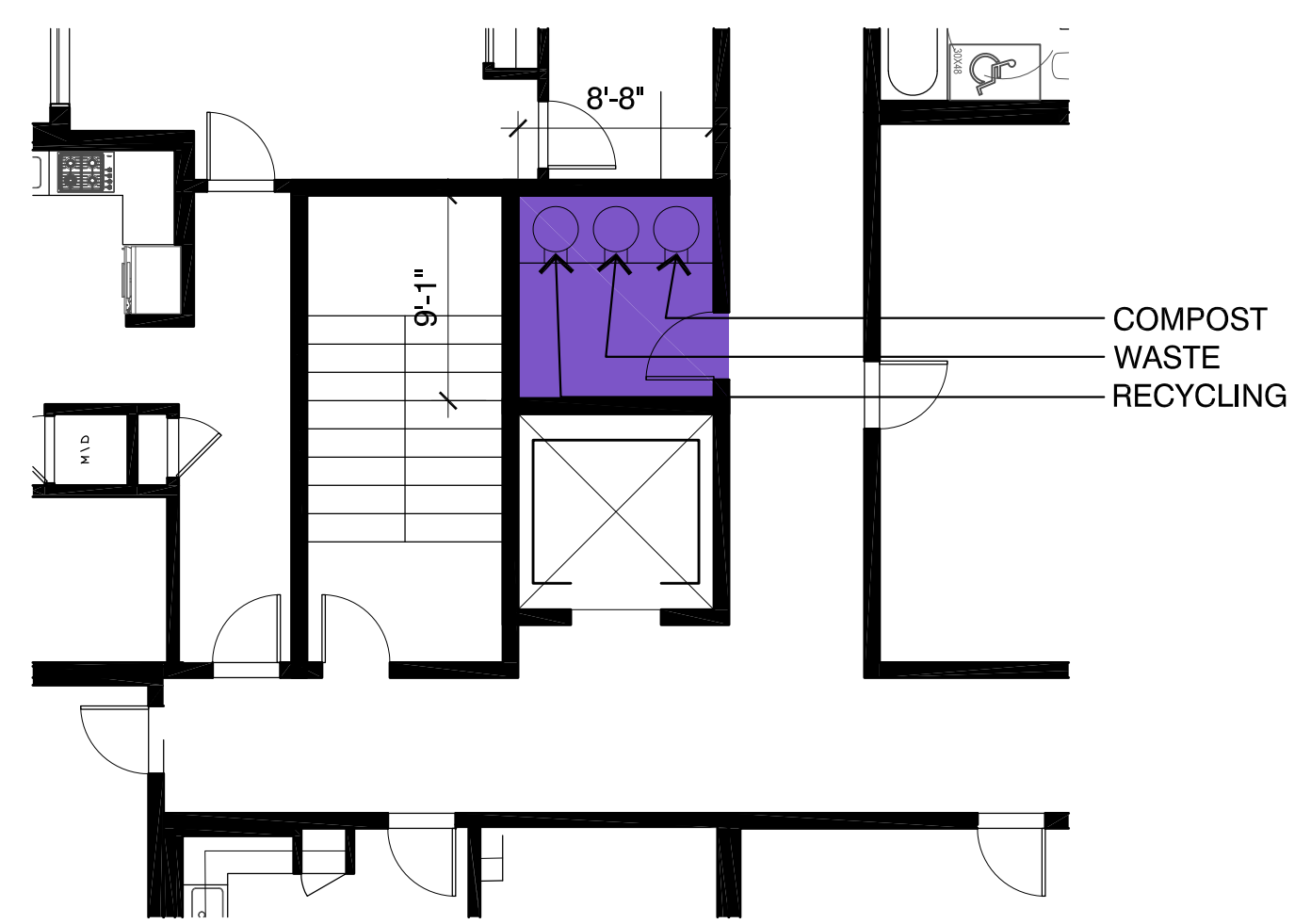
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**REFUSE, RECYCLING, AND ZERO WASTE DIAGRAM**

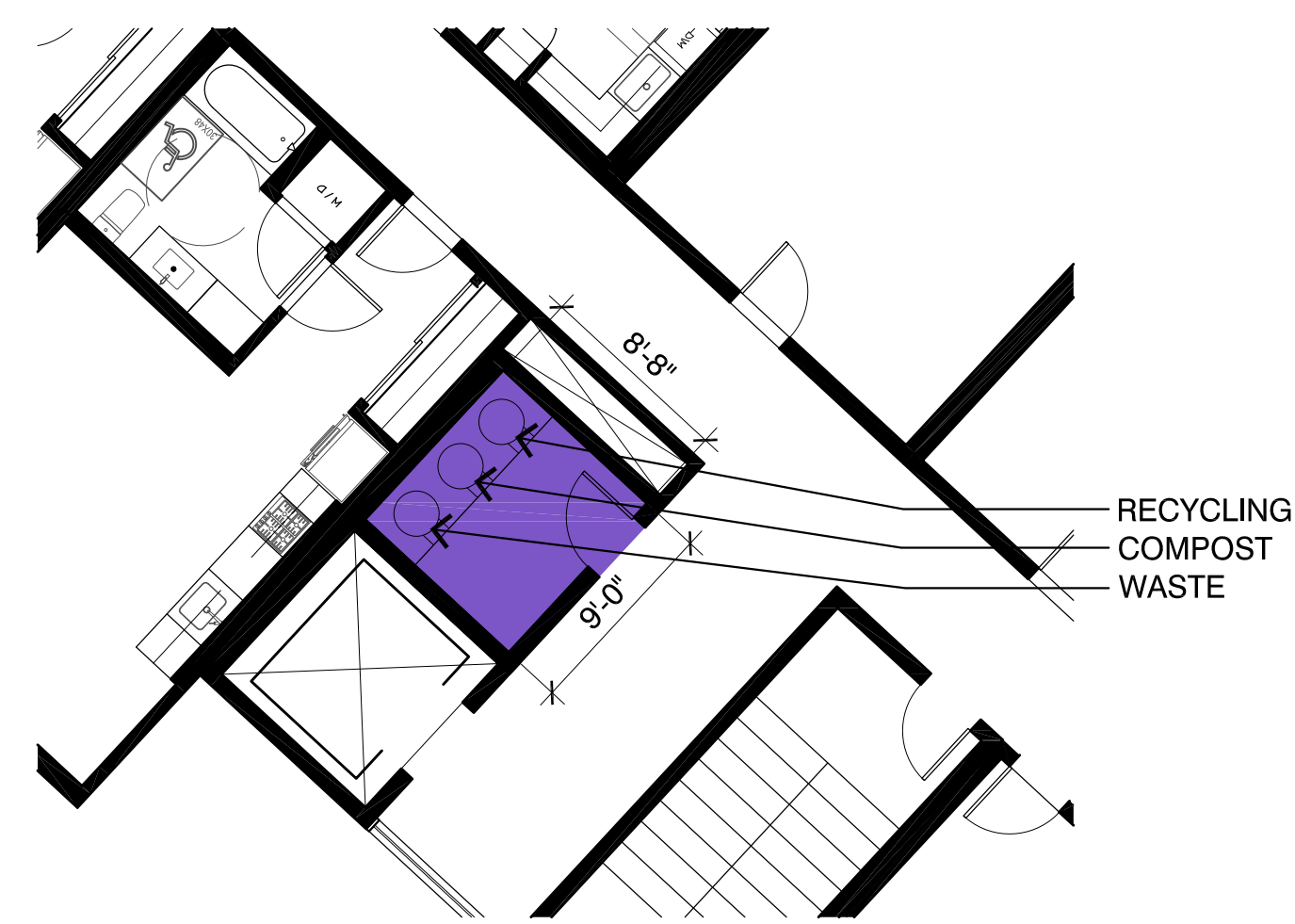
DRAWING NO:  
**\*A9.20**



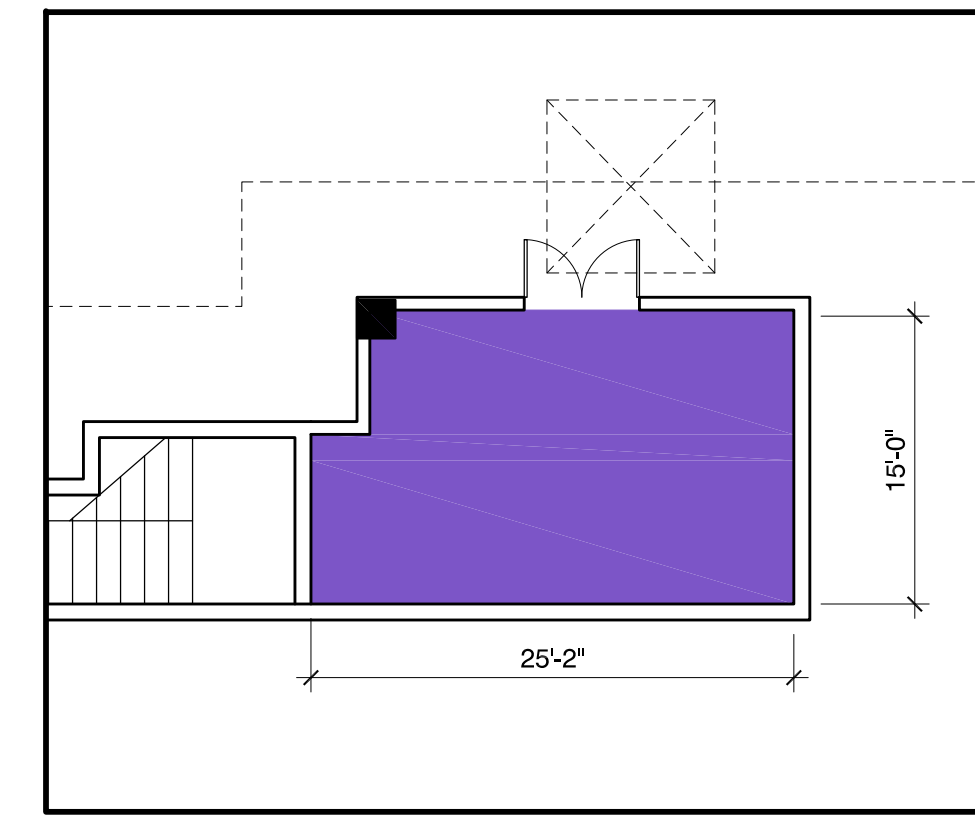




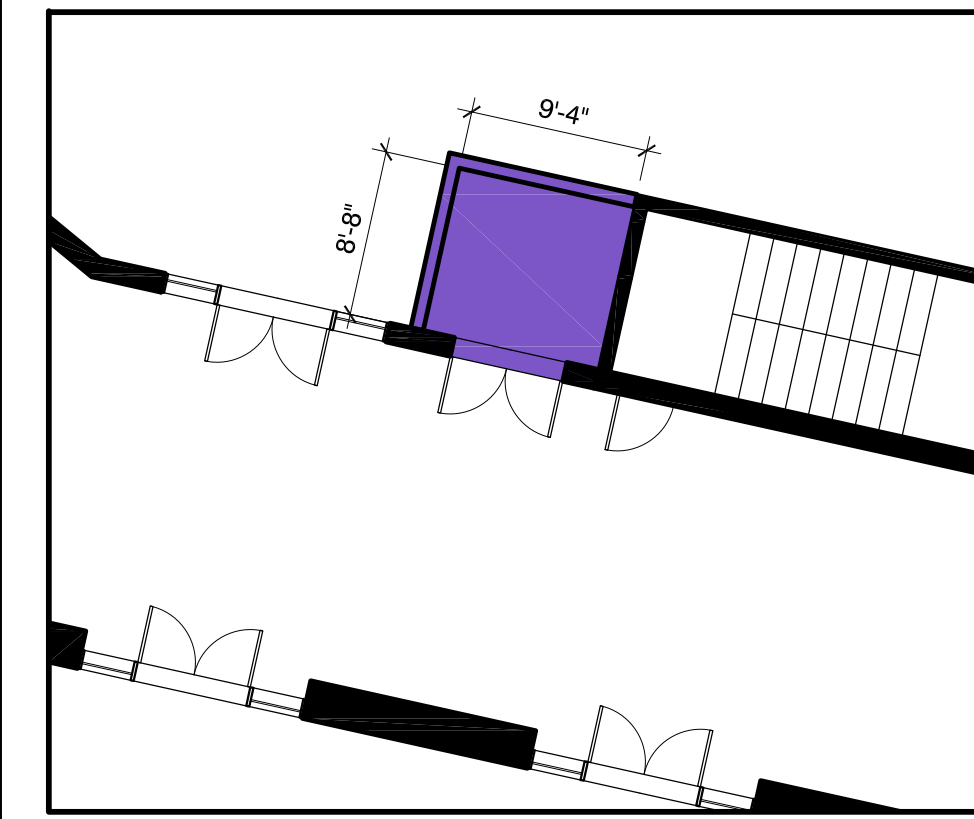
07 - WEST BUILDING TRASH ROOM AT L2-L7 1/8"=1'-0"



06 - EAST BUILDING TRASH ROOM AT L2-L7 1/8"=1'-0"



09 - WEST BLDG. COMM. TRASH RM. @ L1



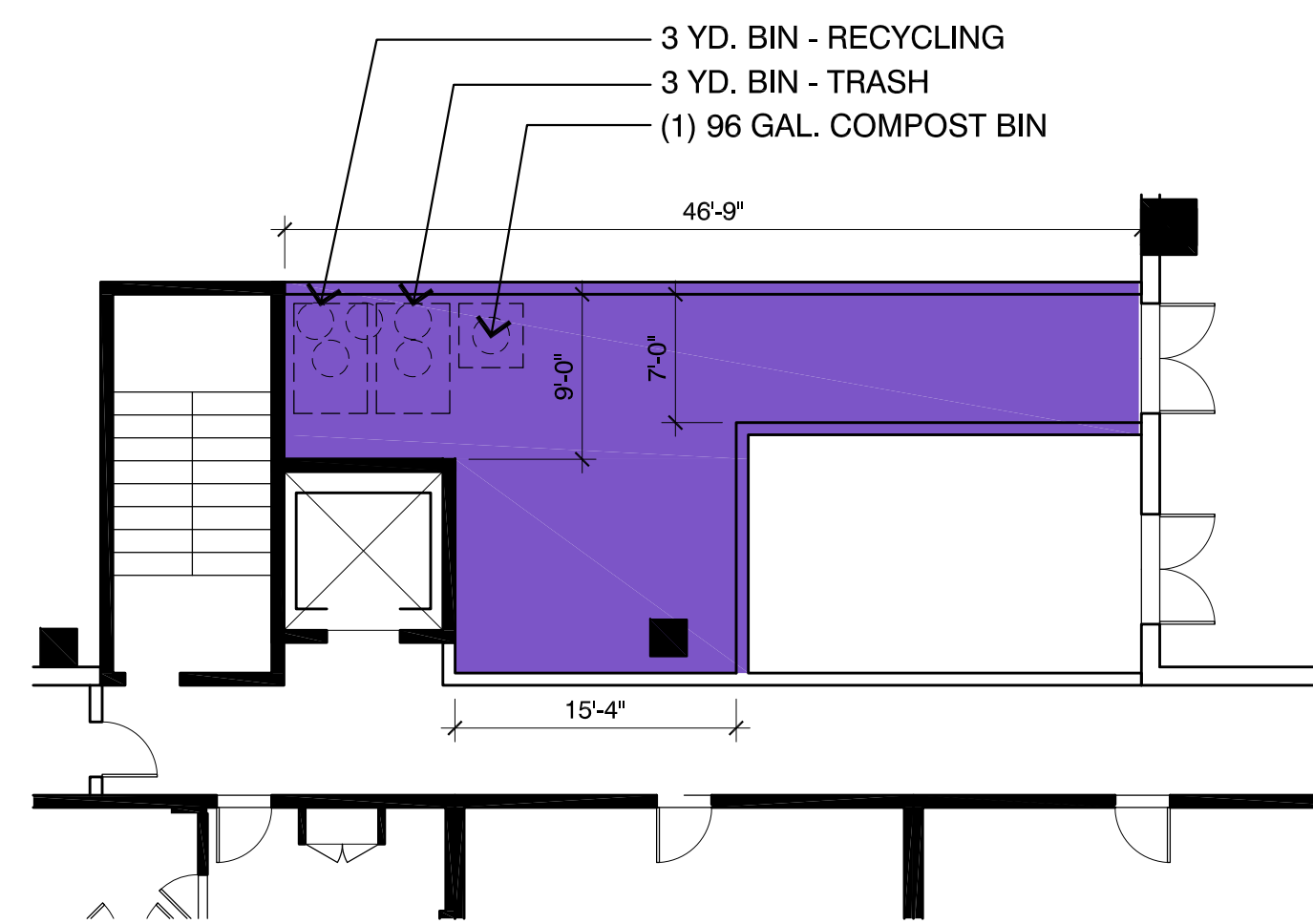
08 - DIAMOND COMM. TRASH ROOM

**GENERAL NOTES**

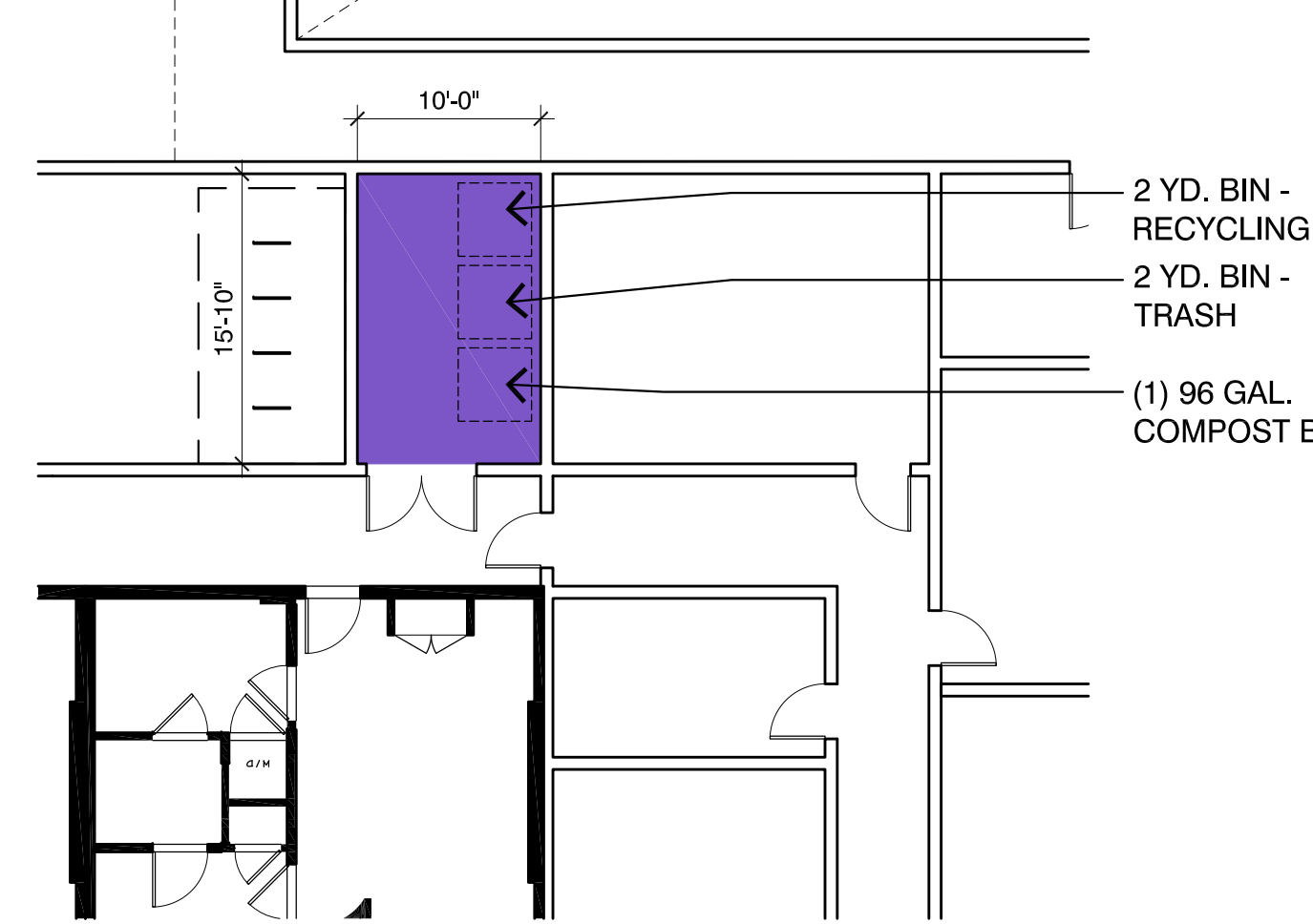
- A. ALL PLANS ARE PRELIMINARY.
- B. ALL UNITS PROVIDED WITH 3 STREAM COLLECTION FACILITIES.
- C. TRASH CHUTES FOR 3 STREAM DEPOSITS FROM EACH UNIT PROVIDED ON EACH FLOOR.

**LEGEND**

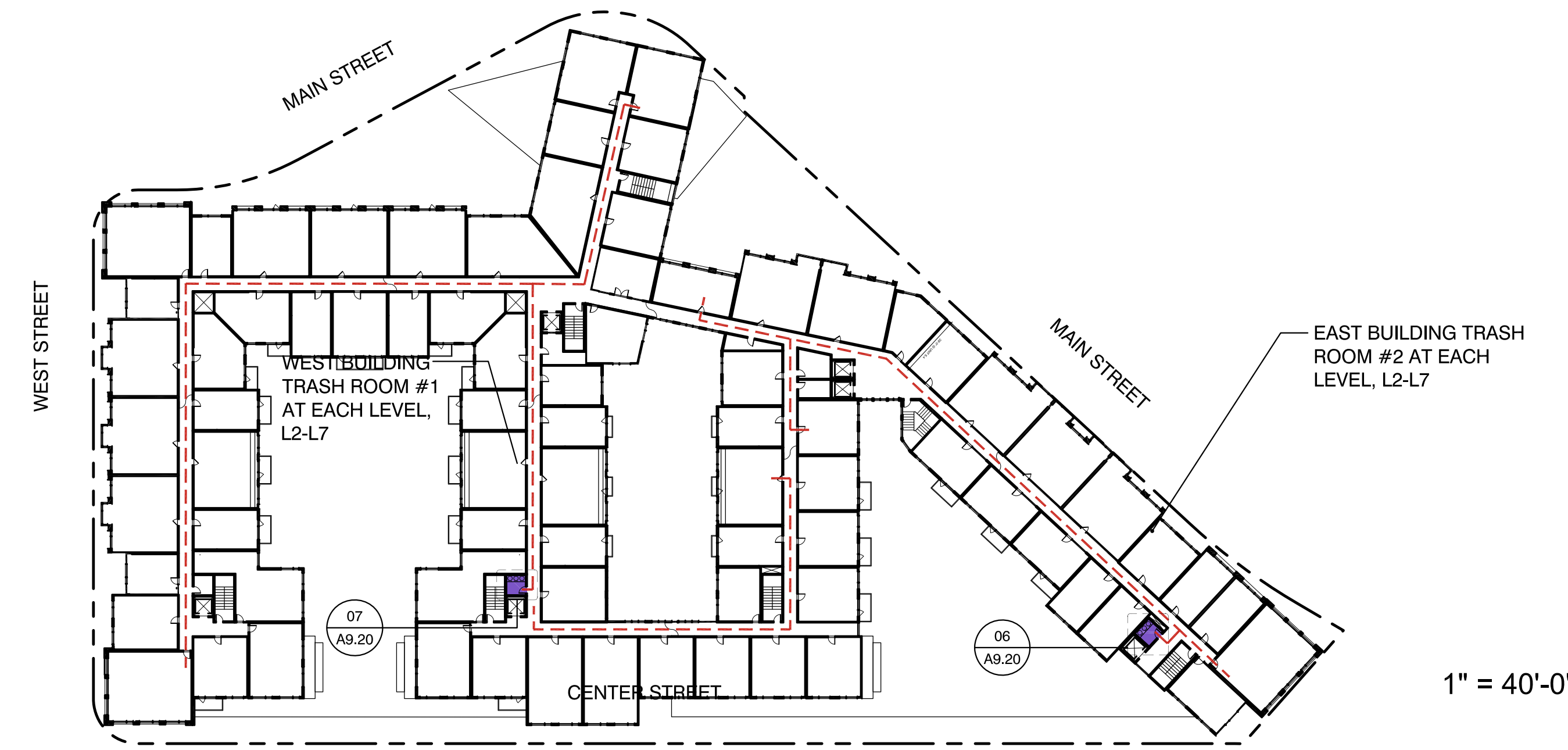
- TRASH CIRCULATION ROUTE
- TRASH ROOMS
- TRASH COLLECTIONS AREAS



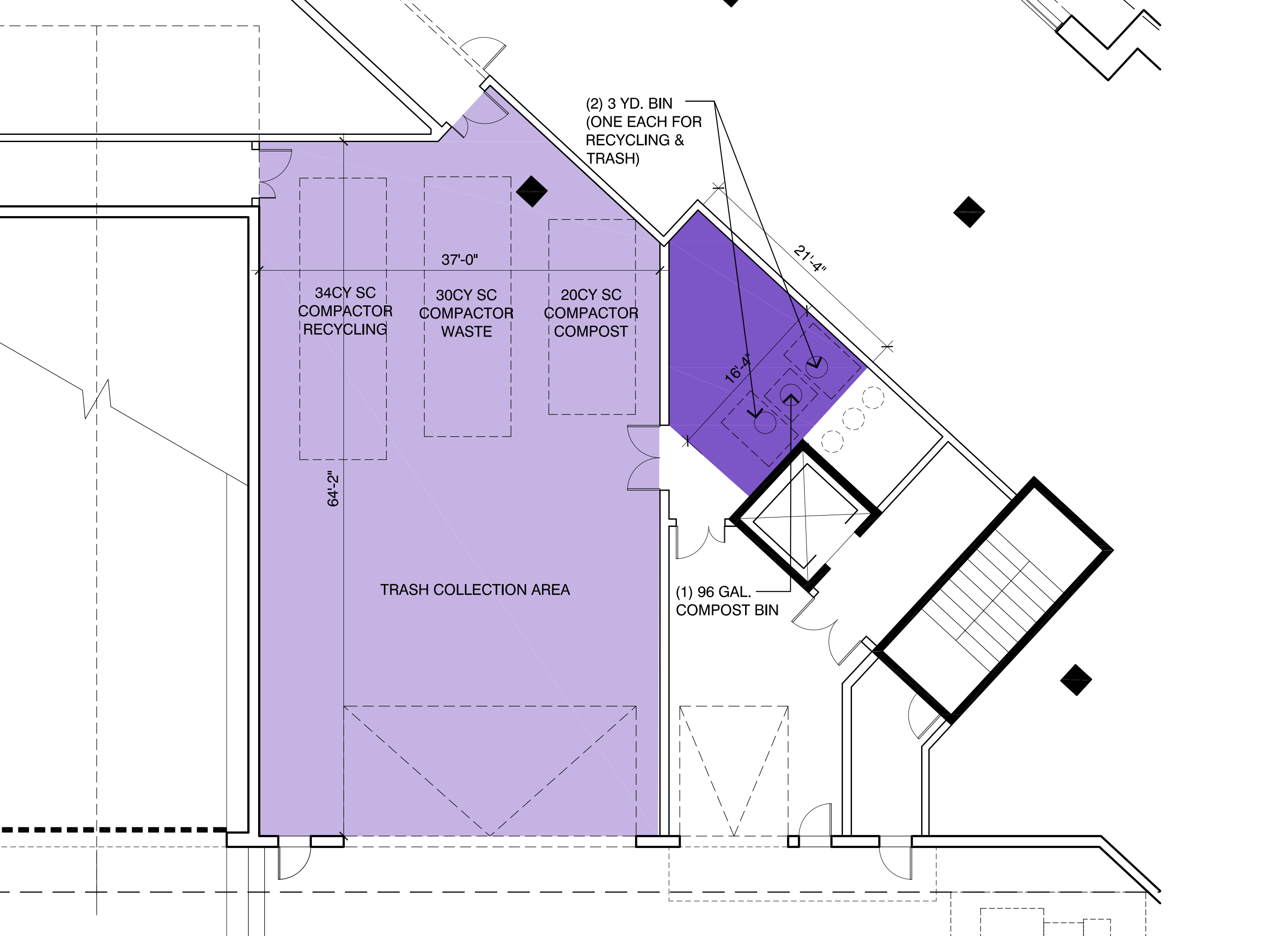
05 - WEST BUILDING RESIDENTIAL TRASH ROOM AT L1



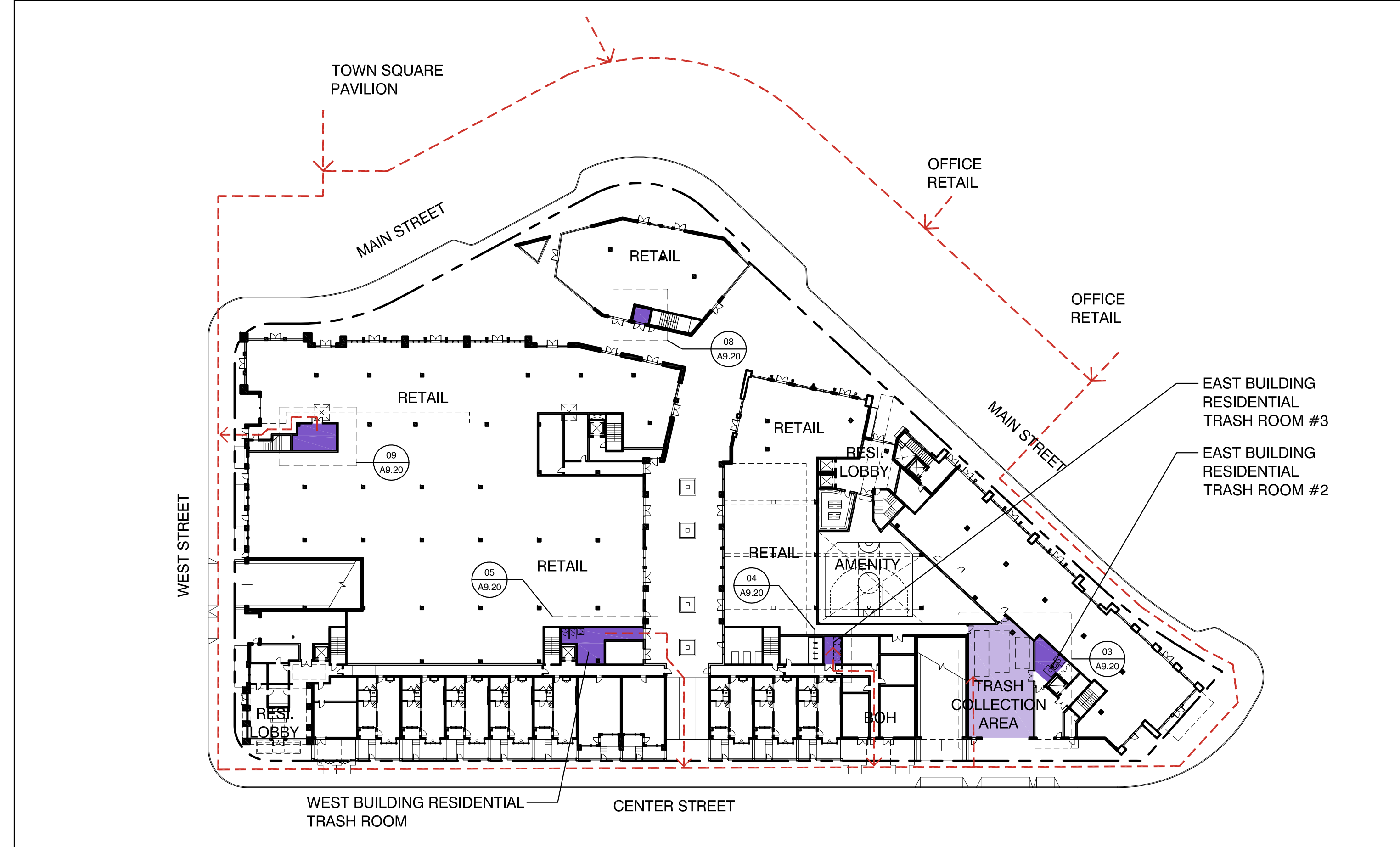
04 - EAST BUILDING RESID. TRASH ROOM AT L1 1/8"=1'-0"



02 - FLOOR PLAN - LEVEL 04 1" = 40'-0"



03 - LEVEL 01 EAST BUILDING TRASH COLLECTION AREA 1/8"=1'-0"



01 - FLOOR PLAN - LEVEL 01 1" = 40'-0"

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 3  
 Menlo Park, CA  
 PENINSULA INNOVATION PARTNERS

SCALE:  
NOTE: THIS DRAWING IS USED AS A GUIDE ONLY. DIMENSIONS, USE REQUIRED DIMENSIONS ONLY. SEE CLARIFICATIONS FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

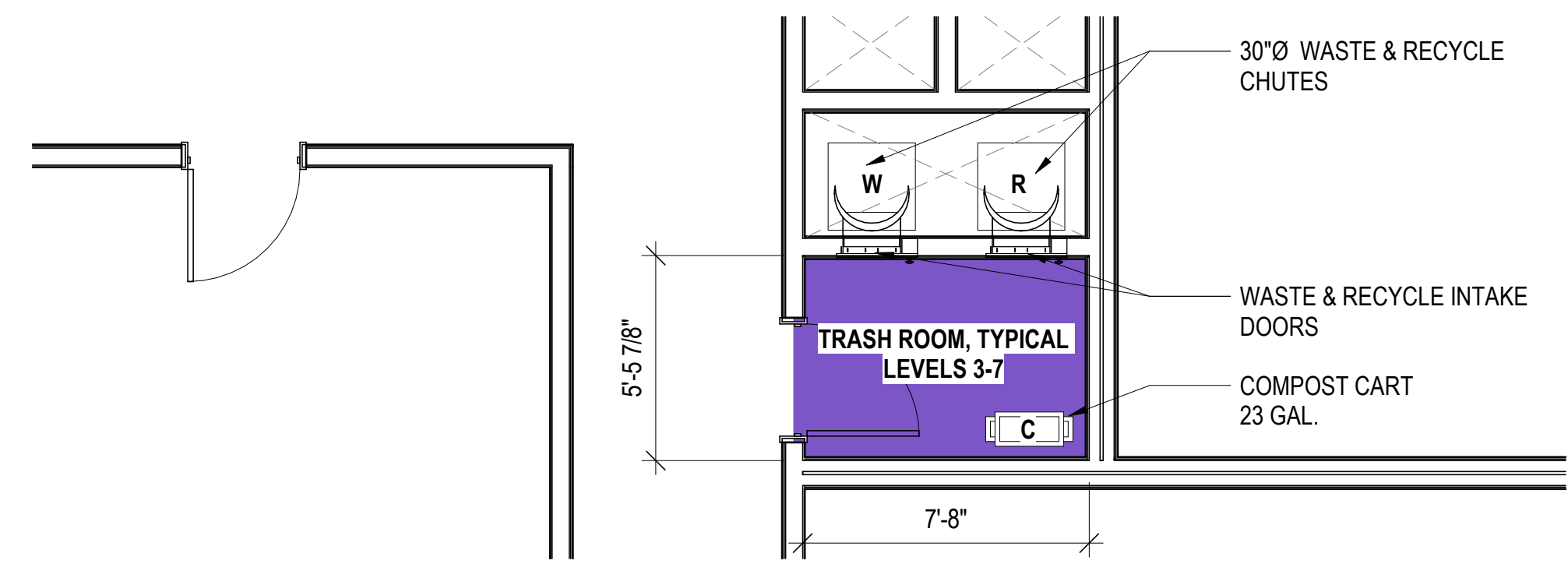
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DATE	ISSUE
4/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

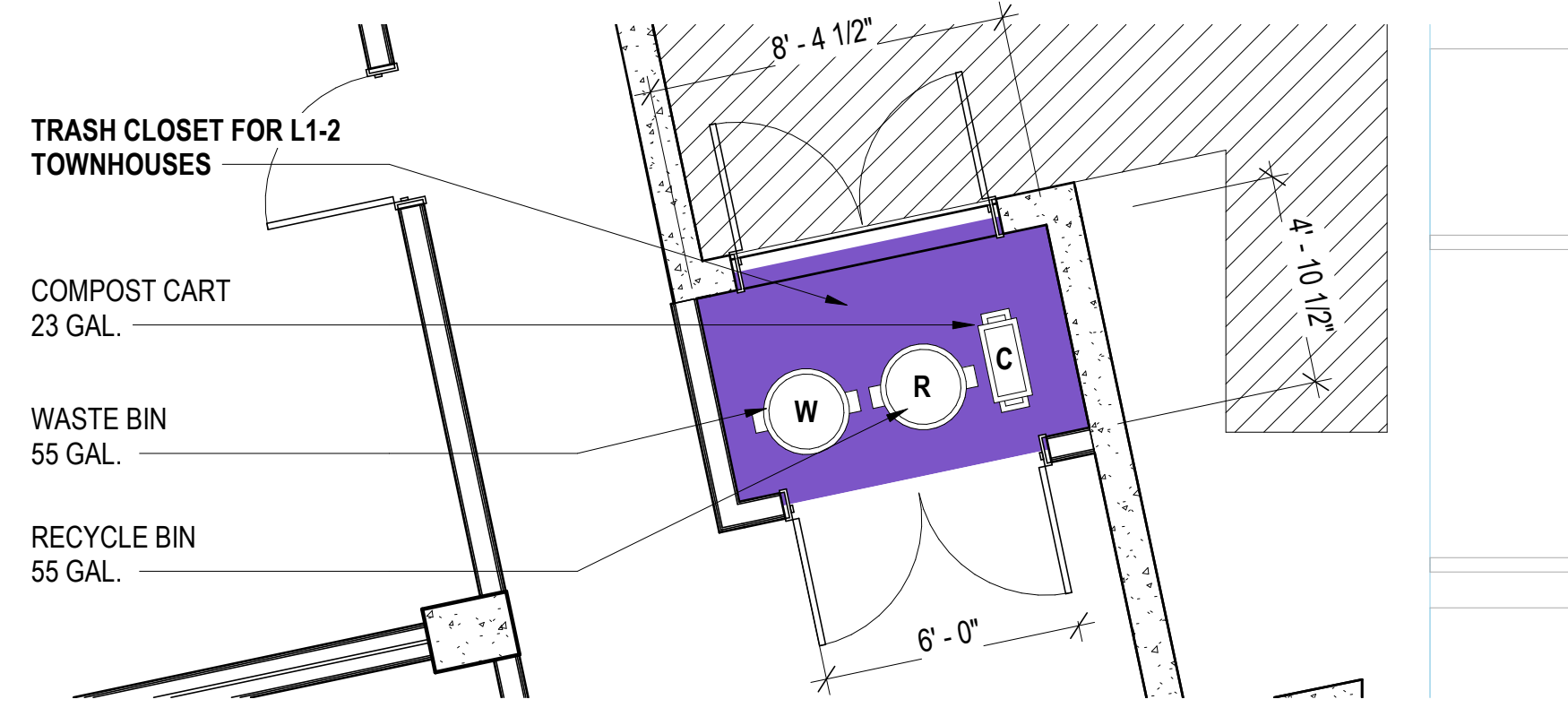
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**REFUSE, RECYCLING,  
 AND ZERO WASTE PLANS**

DRAWING NO:  
**A9.20**

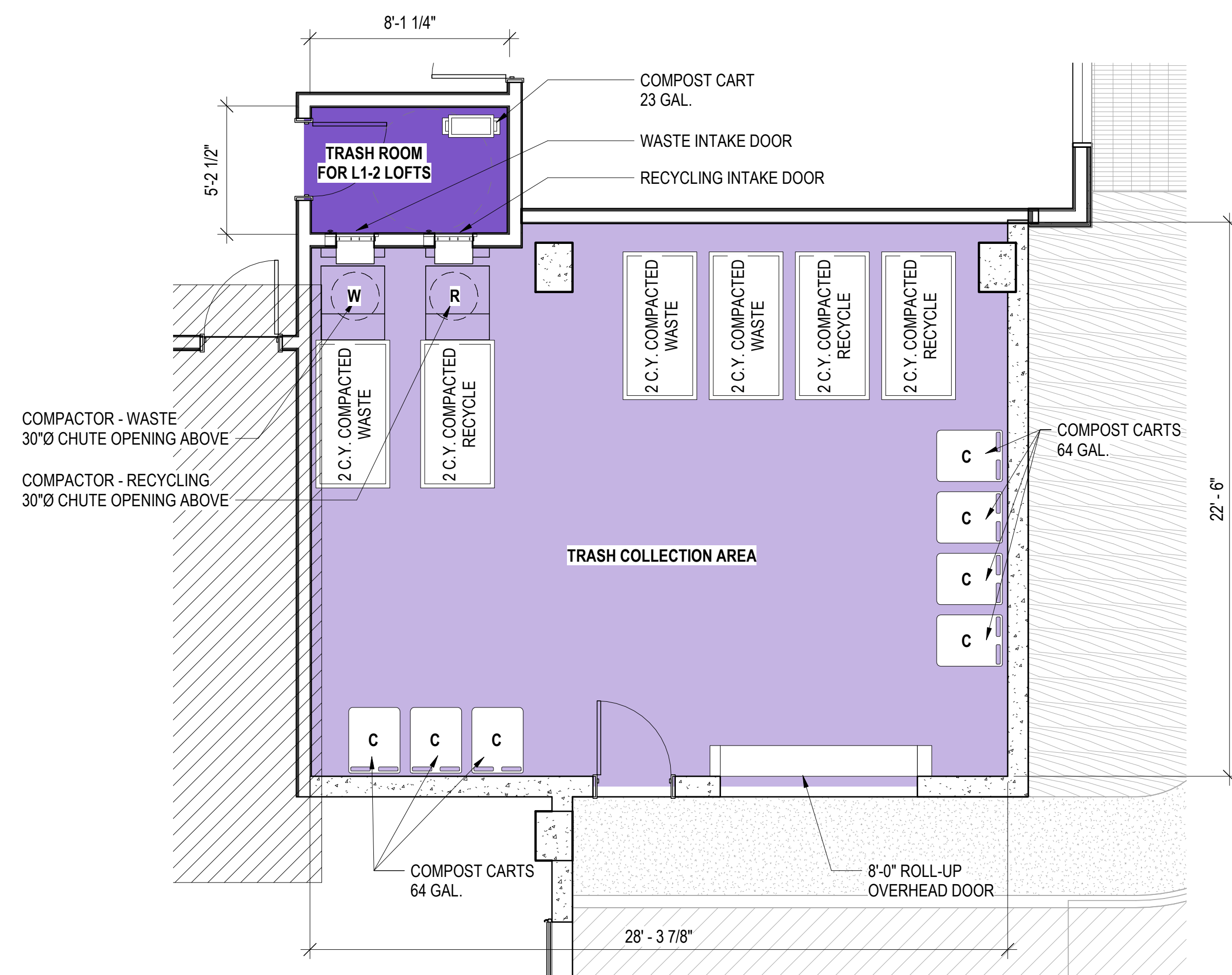




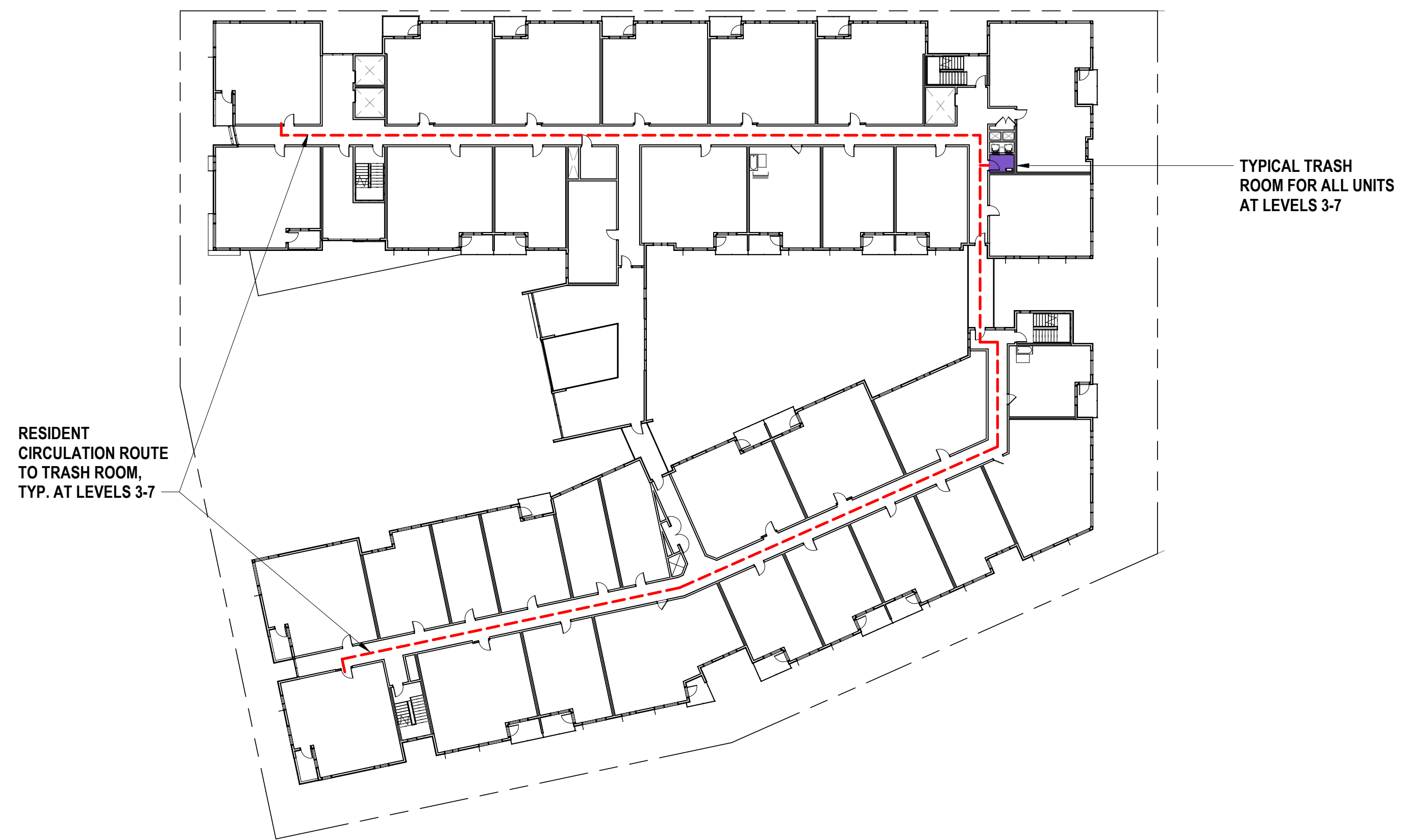
LEVEL 3-7, TYP. - TRASH ROOM  
1/4" = 1'-0" 5



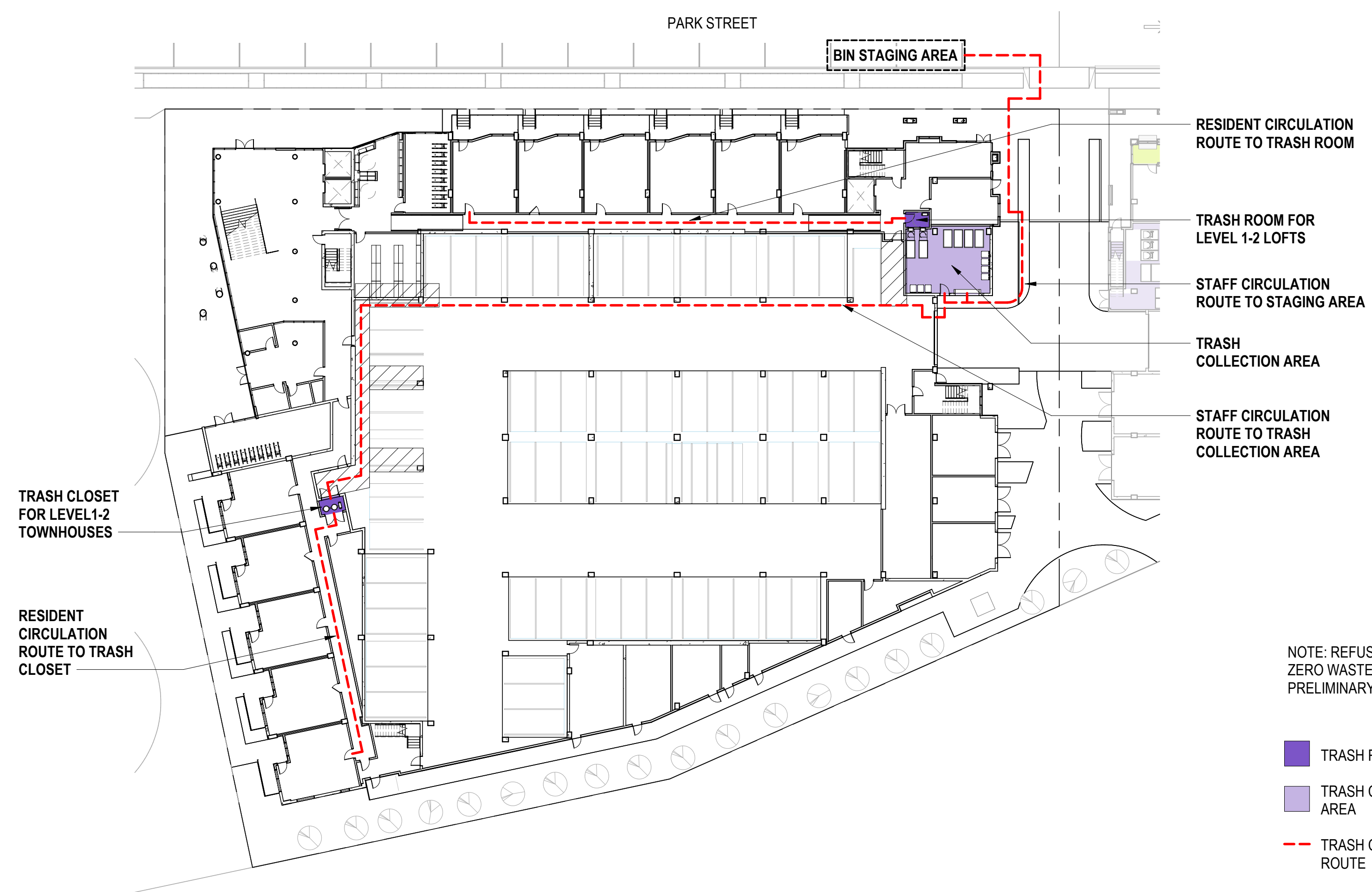
LEVEL 1 - ENLARGED TRASH CLOSET  
1/4" = 1'-0" 4



LEVEL 1 - ENLARGED TRASH COLLECTION AREA & TRASH ROOM  
1/4" = 1'-0" 3



LEVEL 3-7, TYP. - REFUSE, RECYCLING & ZERO WASTE DIAGRAM  
1" = 30'-0" 2



LEVEL 1 - REFUSE, RECYCLING & ZERO WASTE DIAGRAM  
1" = 30'-0" 1

NOTE: REFUSE, RECYCLING, AND ZERO WASTE PLANS ARE PRELIMINARY

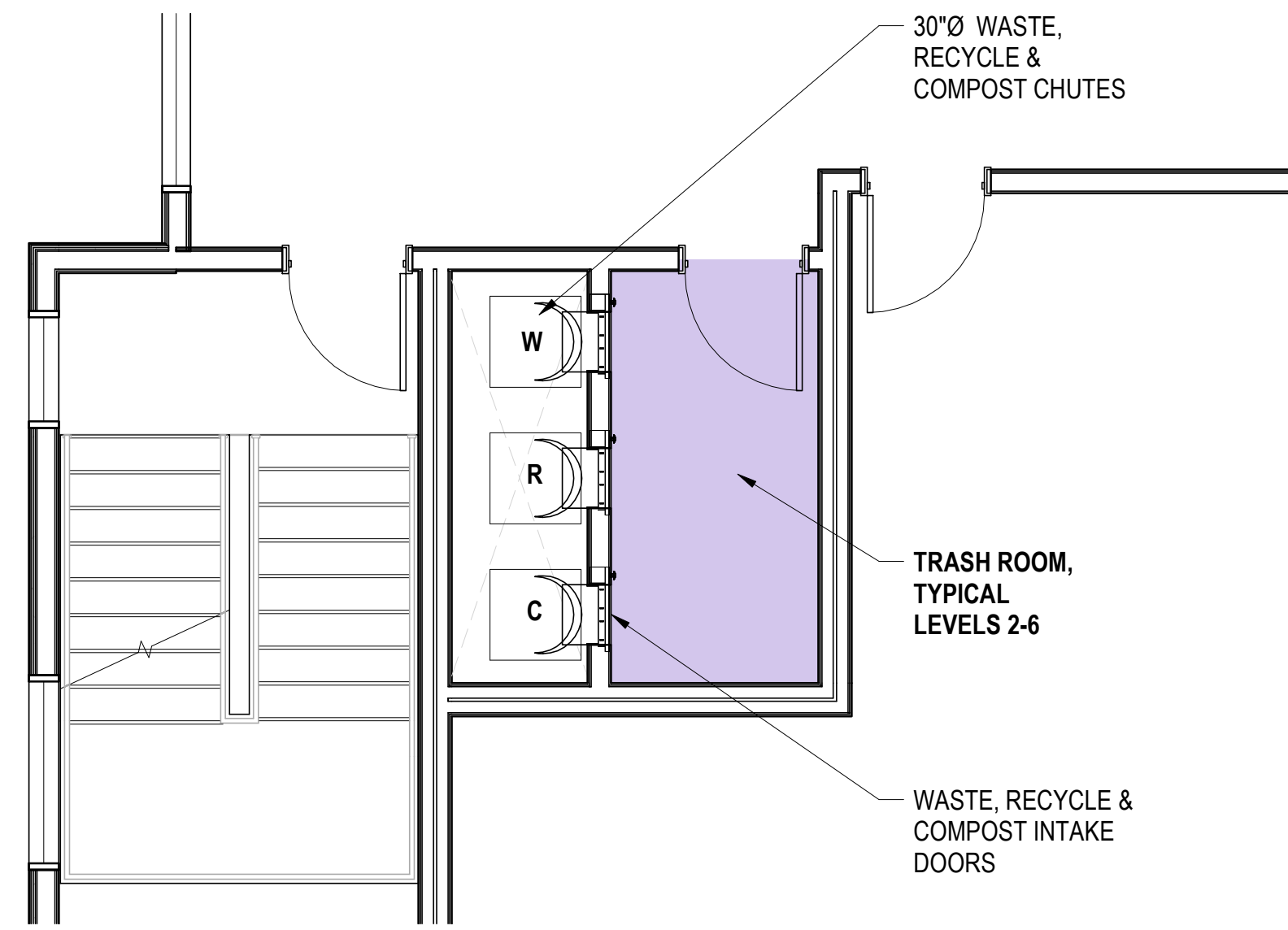
- TRASH ROOM
- TRASH COLLECTION AREA
- TRASH CIRCULATION ROUTE

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE REQUIRED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

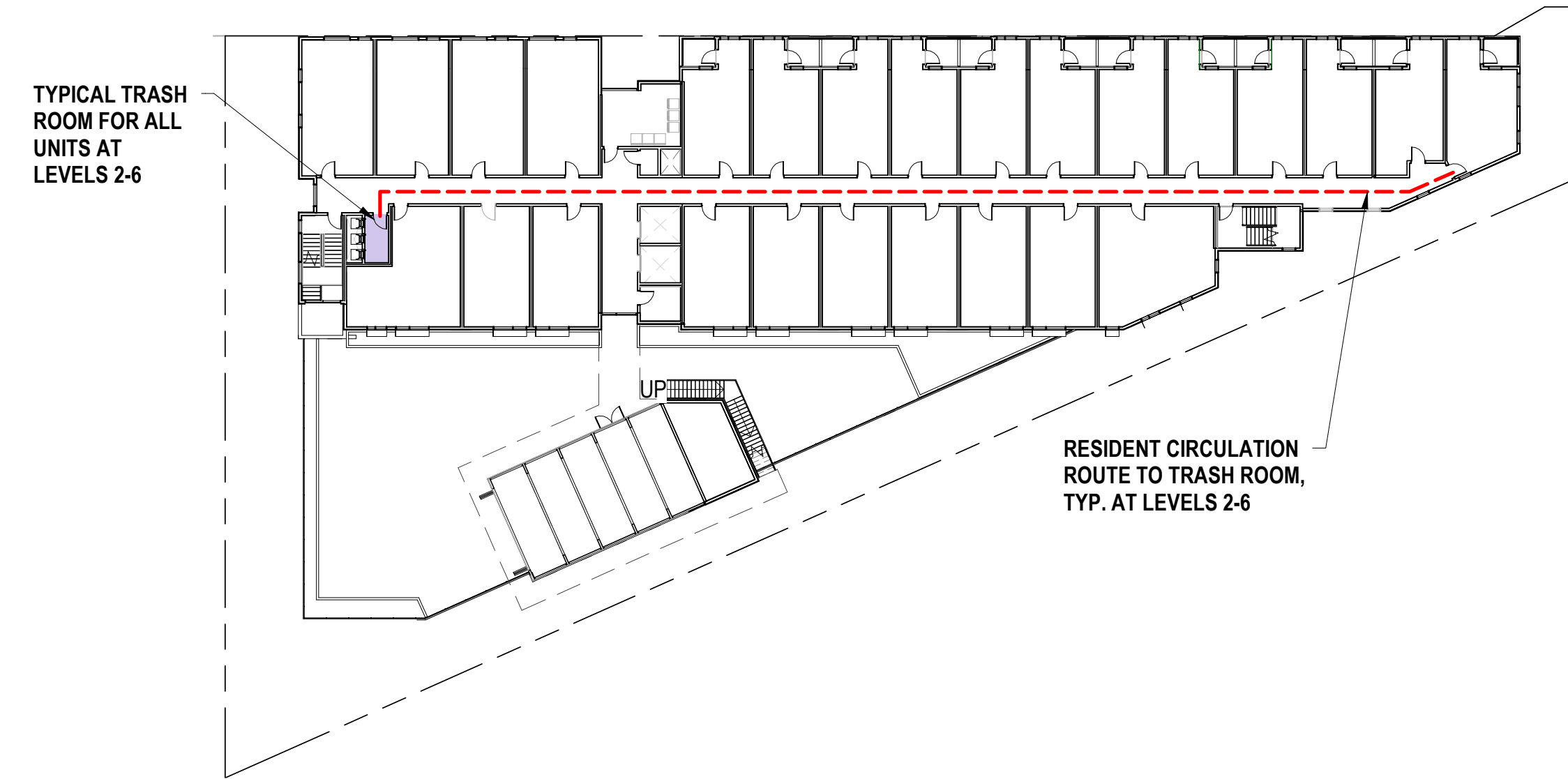
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DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

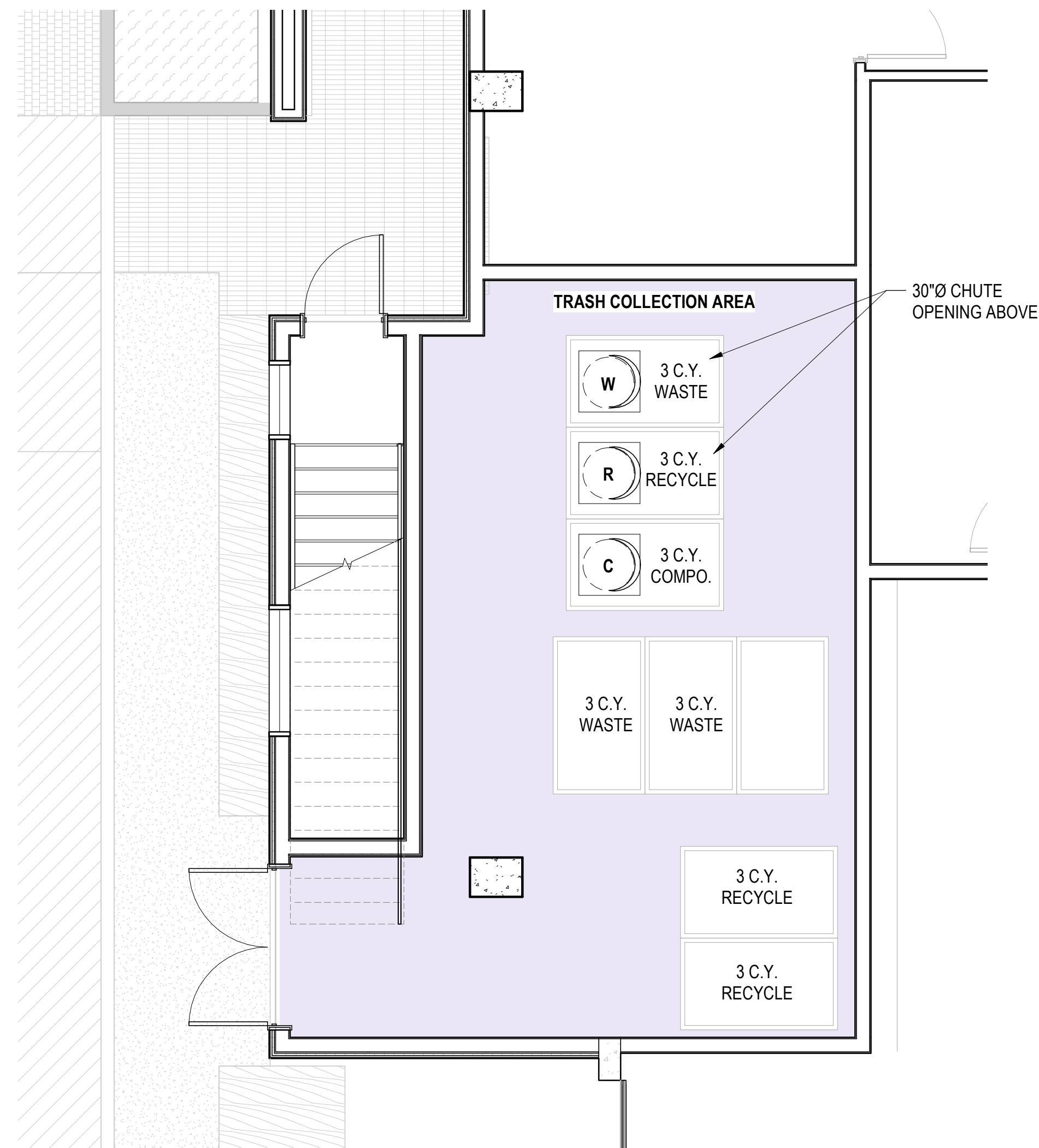




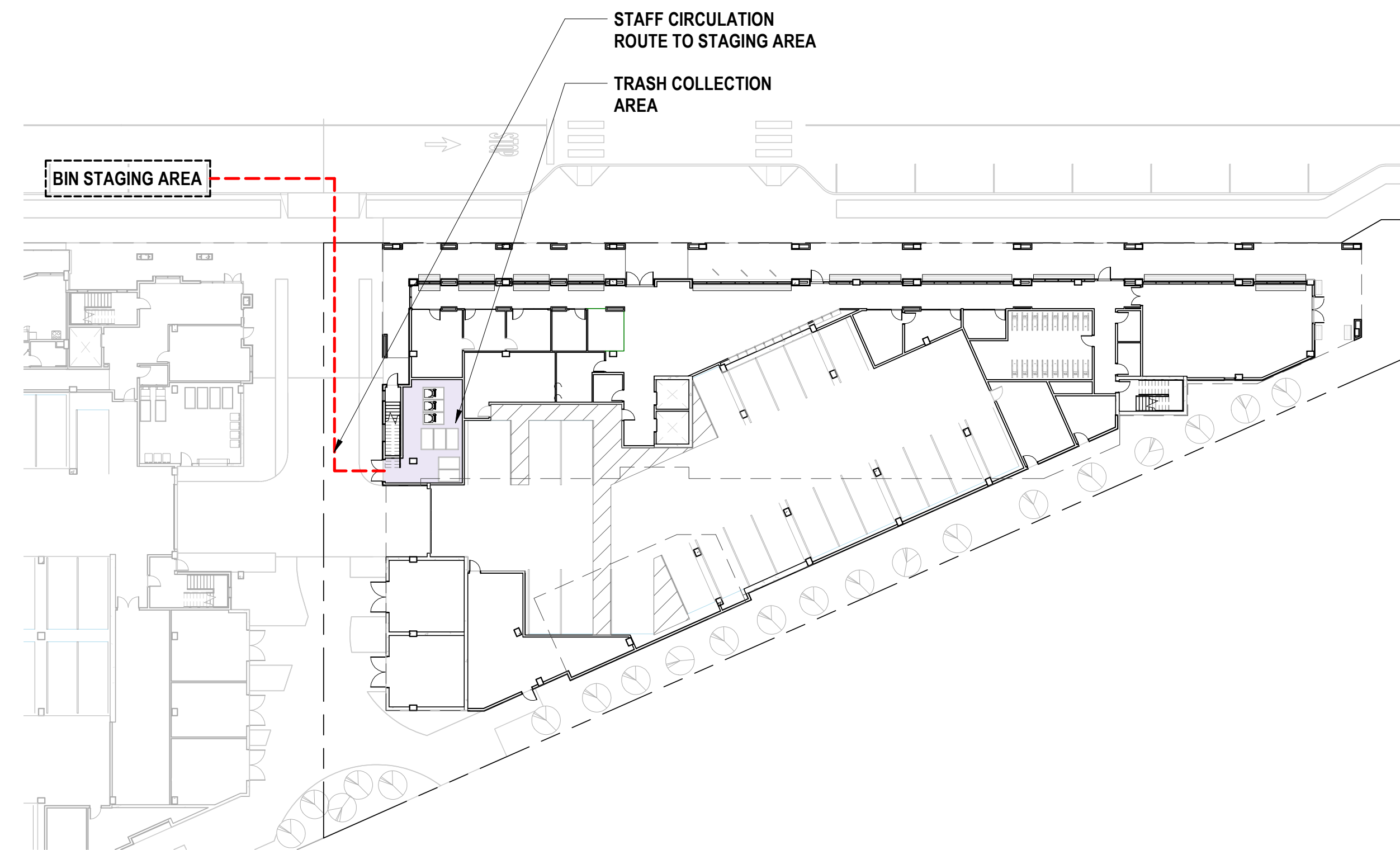
LEVEL 2-6, TYP. - TRASH ROOM  
1/4" = 1'-0" 4



LEVEL 2-6, TYP. - REFUSE, RECYCLING & ZERO WASTE DIAGRAM  
1" = 30'-0" 2



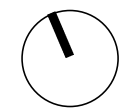
LEVEL 1 - ENLARGED TRASH COLLECTION AREA  
1/4" = 1'-0" 3



LEVEL 1 - REFUSE, RECYCLING & ZERO WASTE DIAGRAM  
1" = 30'-0" 1

NOTE: REFUSE, RECYCLING, AND ZERO WASTE PLANS ARE PRELIMINARY

- TRASH ROOM
- TRASH COLLECTION AREA
- TRASH CIRCULATION ROUTE



SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**REFUSE, RECYCLING & ZERO WASTE DIAGRAM**

DRAWING NO:  
**A9.20**



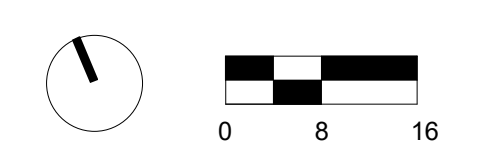
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1 HOTEL LEVEL 01  
1/16" = 1'-0"



**Key**

- Trash Room
- Trash Collection Area
- Trash Circulation



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 1 - Hotel  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/11/2022	ACP

REVISIONS

NO.	DATE	ISSUE

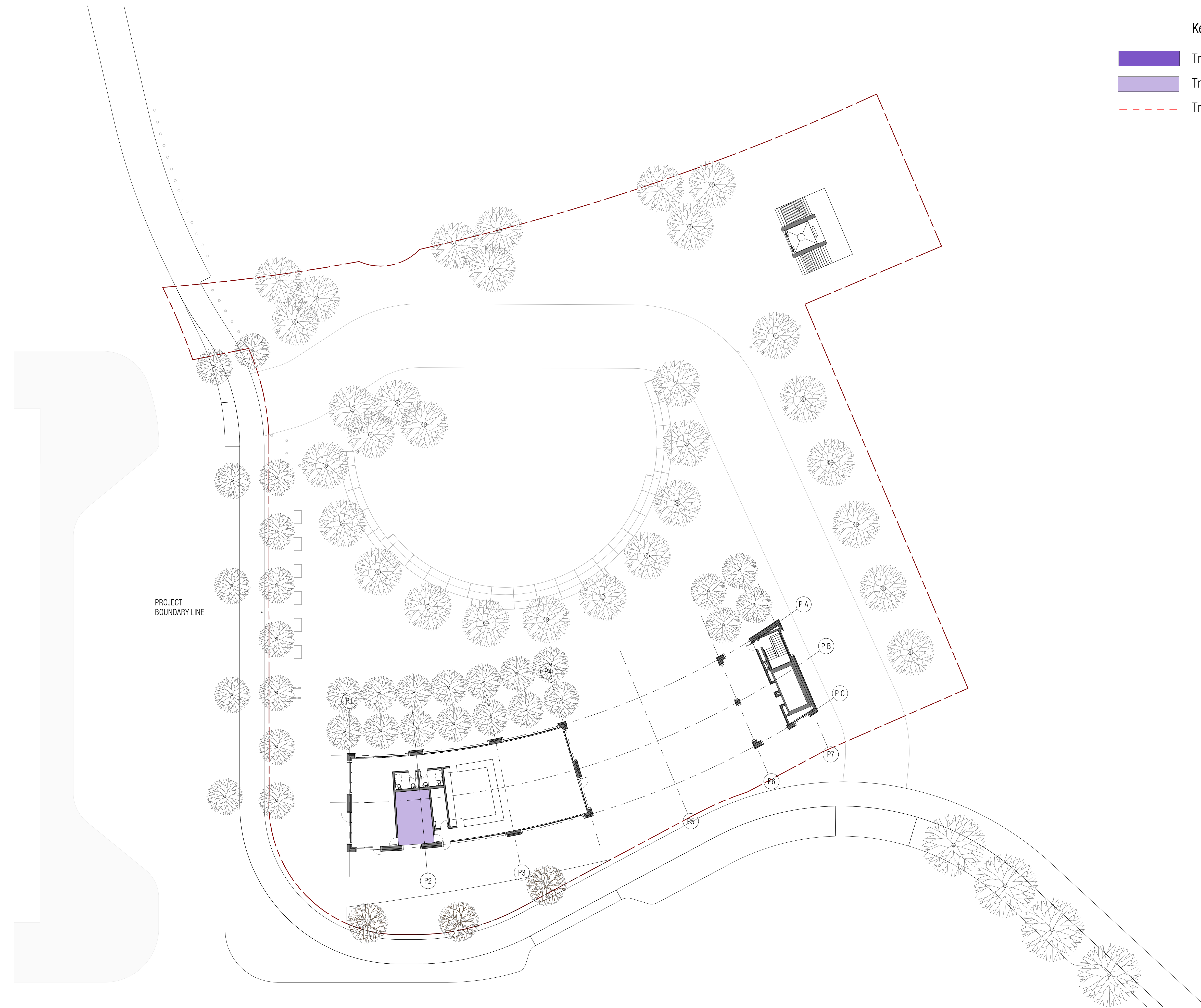
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Willow Village Hotel  
Refuse, Recycling and Zero Waste  
Diagram

DRAWING NO:  
**A9.20**



3/21/2022 9:26:58 PM

3 TOWN SQUARE PAVILION - LEVEL 1  
1" = 20'-0"



- Key
- Trash Rooms
  - Trash Collection Area
  - Trash Circulation

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 1 - Hotel  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

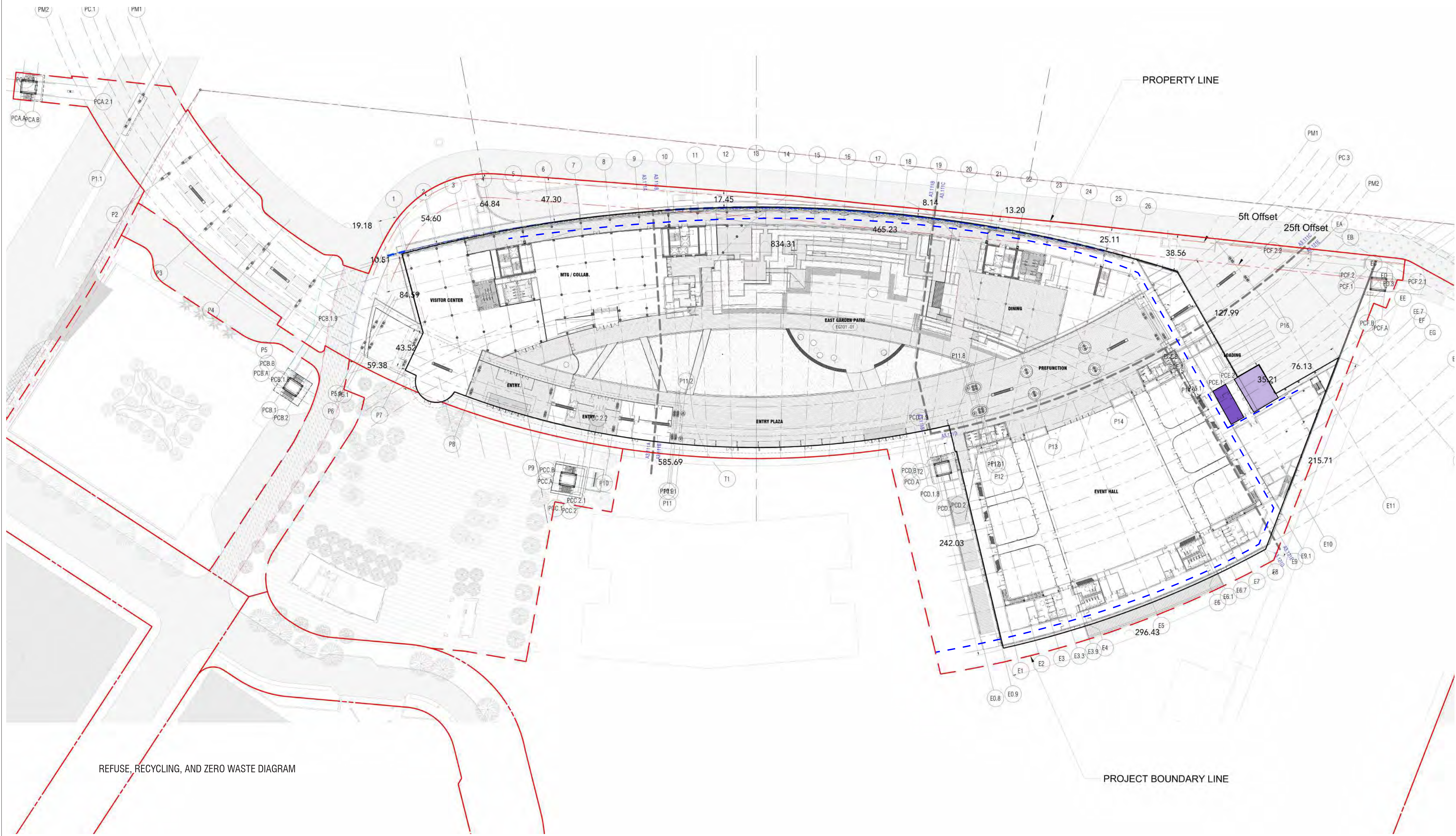
MILESTONES	
DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
Willow Village Hotel  
Refuse, Recycling and Zero Waste  
Diagram

DRAWING NO:  
**A9.20**





REFUSE, RECYCLING, AND ZERO WASTE DIAGRAM

- TRASH CIRCULATION ROUTE
- TRASH ROOM
- TRASH COLLECTION AREA

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 1  
 Menlo Park, CA

SCALE:  
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
04/11/2022	ACP Submittal

REVISIONS		
NO.	DATE	ISSUE

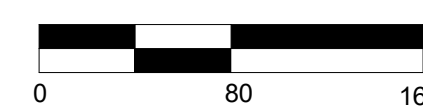
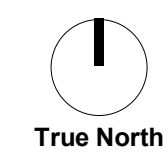
DRAWING TITLE:  
**REFUSE, RECYCLING,  
 ZERO WASTE DIAGRAM**

DRAWING NO:  
**A9.16**





**1** Garbage Removal Site Plan - Level 1  
 1" = 80'-0"



DRAWING TITLE:

Refuse, Recycling, and  
Zero Waste Diagram

DRAWING NO:

**A9.20**

SCALE: 1" = 80'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
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REVISIONS

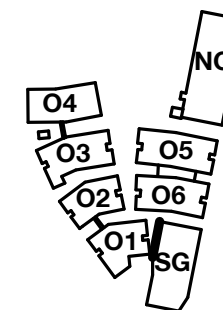
NO.	DATE	ISSUE

**WILLOW VILLAGE**

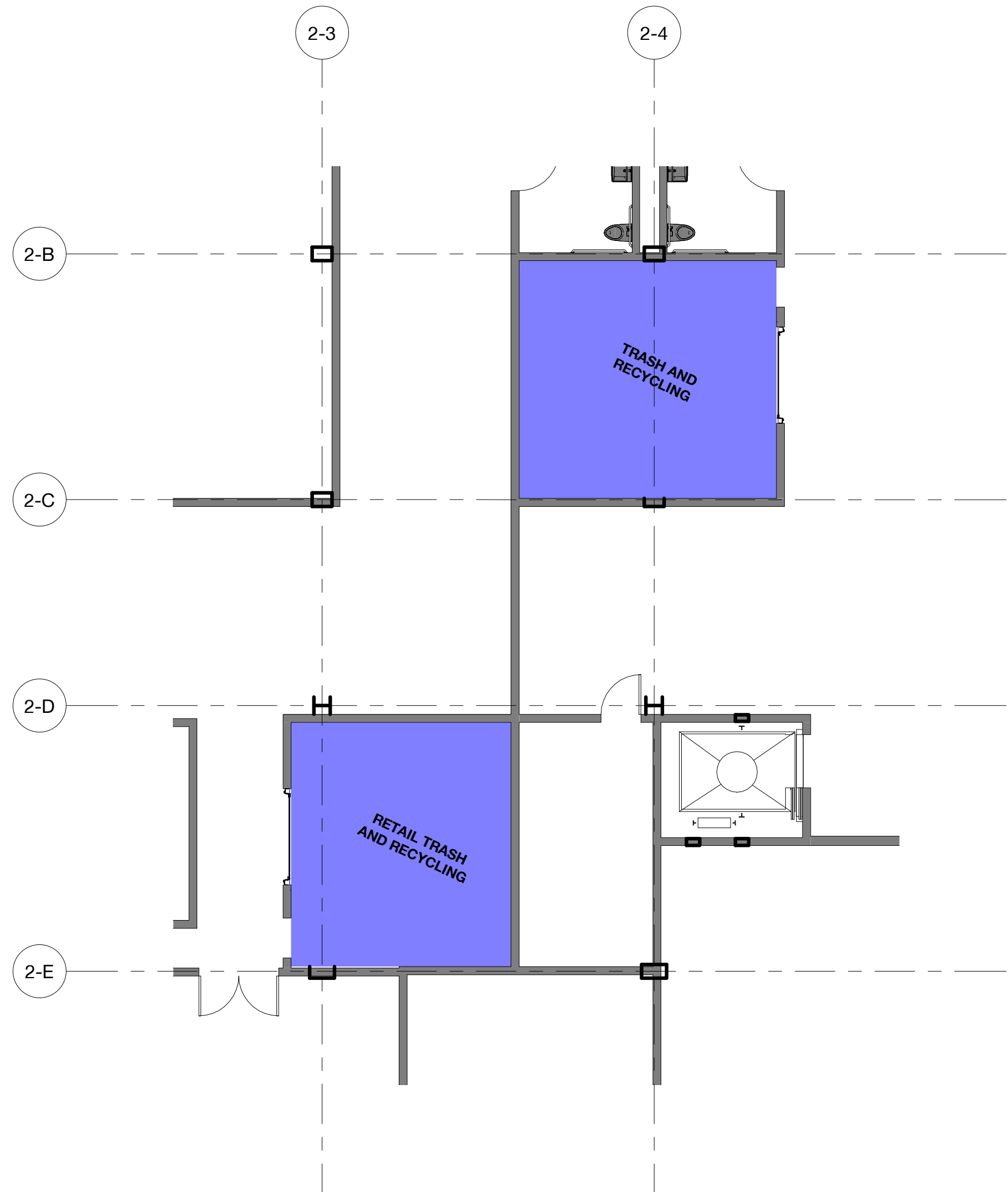
Architectural Control Package - Parcel 1 (Portion)

Menlo Park, CA

PENINSULA INNOVATION PARTNERS



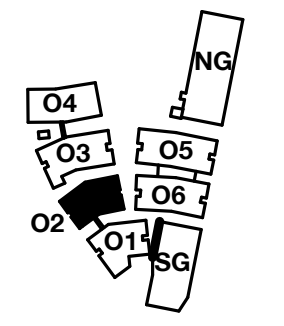




**2** Building 02 - Level 1 - Trash Removal - Enlarged Plan  
1/8" = 1'-0"



**1** Building 02 - Level 1 - Trash Removal  
1/32" = 1'-0"



SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

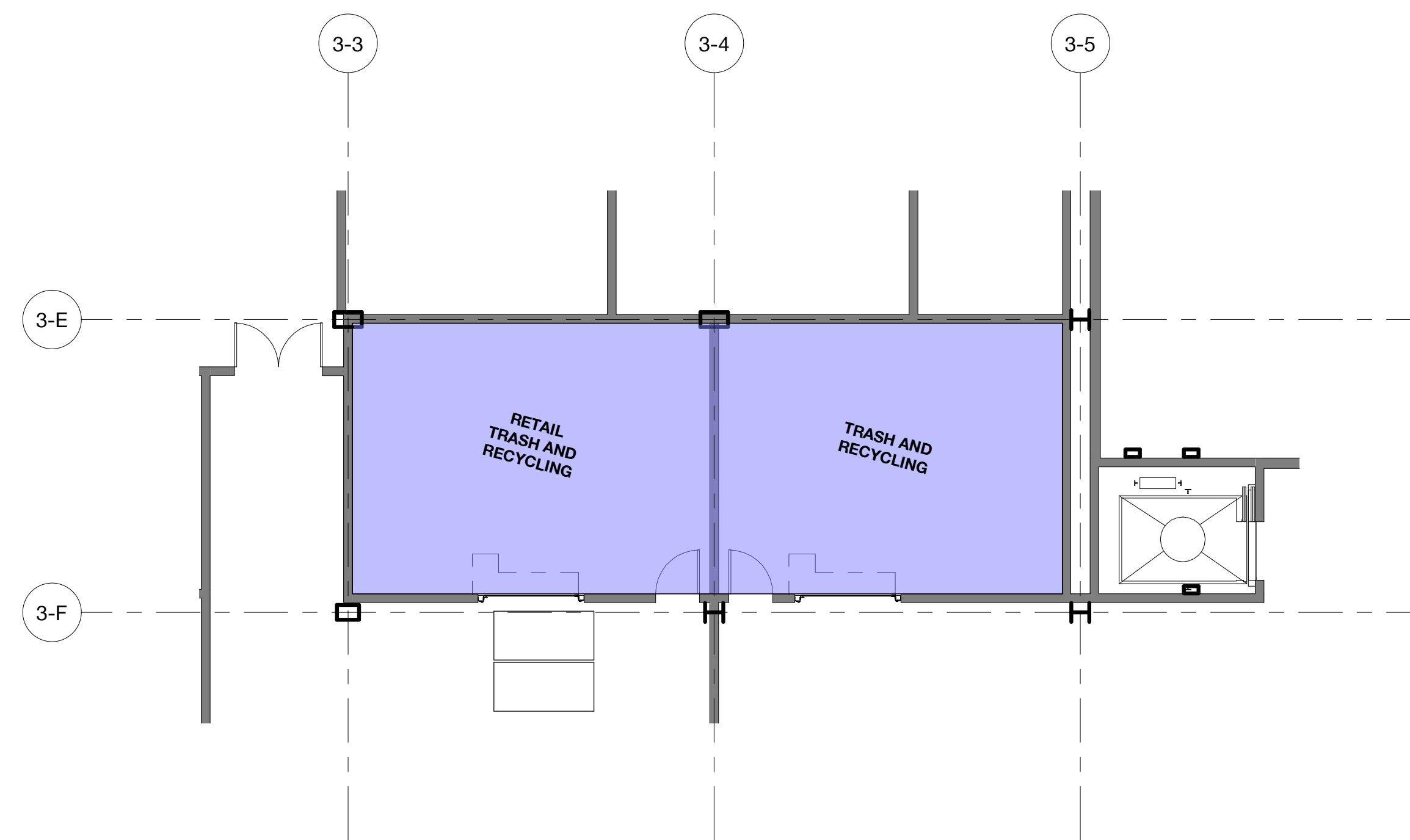
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
Refuse, Recycling, and  
Zero Waste Diagram -  
Building 02

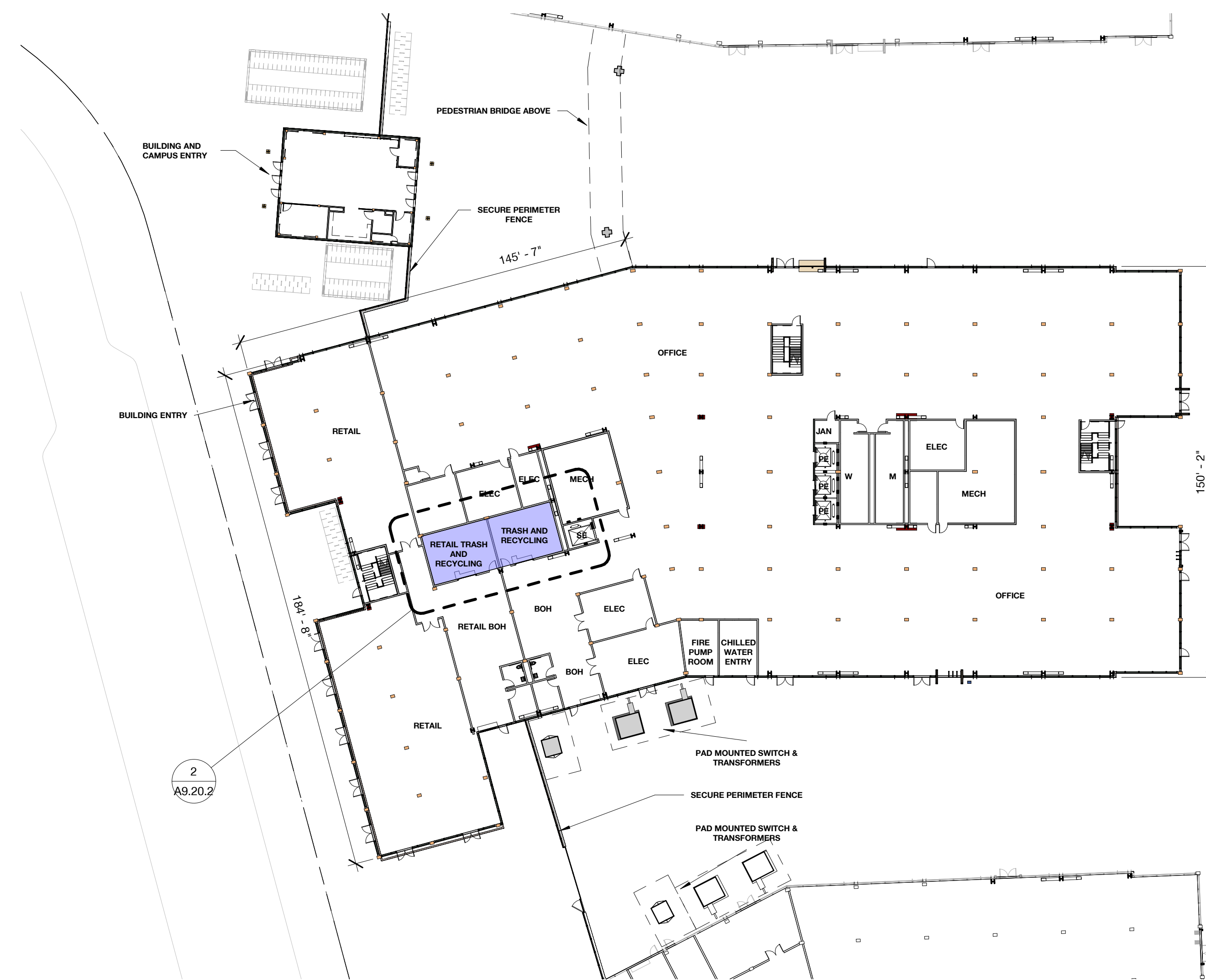
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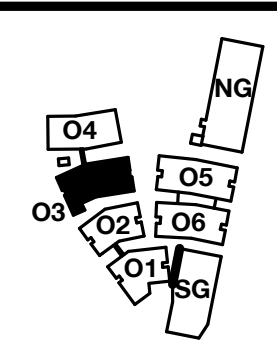




**2** Building 03 - Level 1 Trash Removal - Enlarged Plan  
1/8" = 1'-0"



**1** Building 03 - Level 1 Trash Removal  
1/32" = 1'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 1 (Portion)  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/11/2022	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
Refuse, Recycling, and  
Zero Waste Diagram -  
Building 03

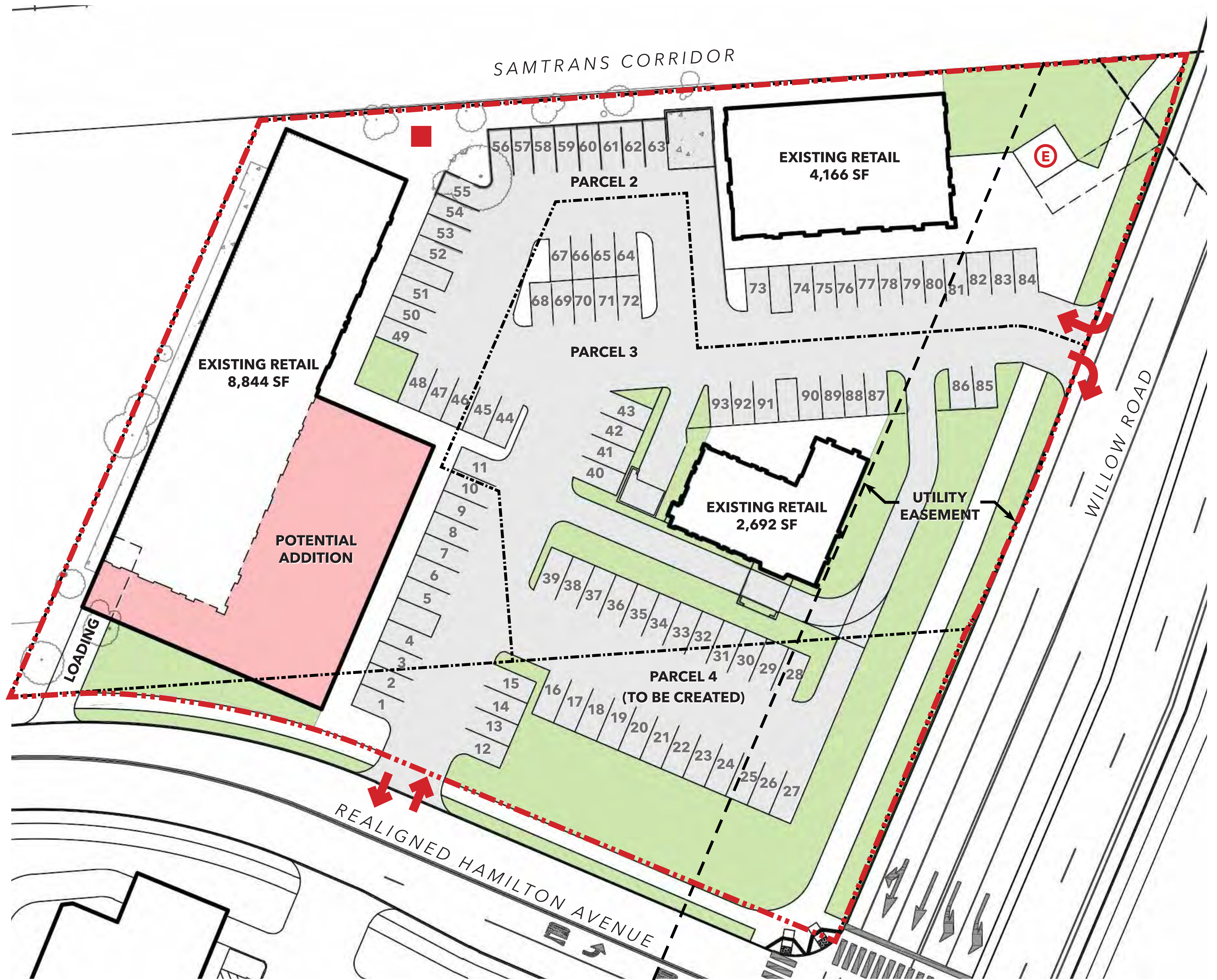
DRAWING NO:  
**A9.20.2**



# APPENDIX 7

## CONCEPTUAL HAMILTON PARCELS





**LEGEND**

- Existing Parcel Boundary
- Existing Easement Boundary
- Proposed Parcel Boundary
- Proposed Added Built Area
- Proposed Landscaped Area
- Proposed Generator\*
- Proposed Elevator to Elevated Park Access
- Driveway Access

\*Generator to be place within sound attenuating enclosure.

**SITE AREA**

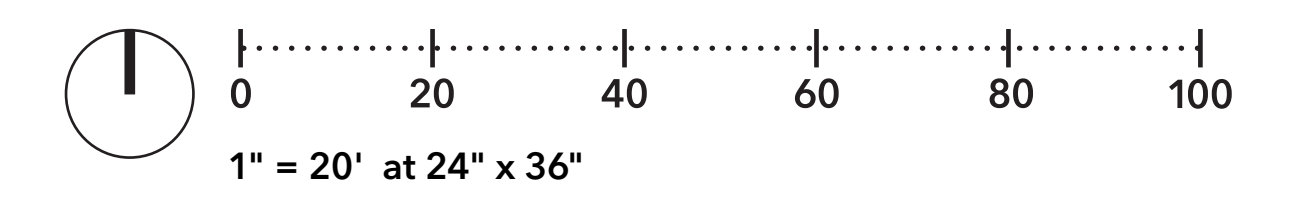
Existing Total Site Area (Parcels 2 & 3)	+/- 1.81 acre
Proposed Site Area (Parcels 2, 3, 4)	+/- 2.21 acre

**BUILT AREA**

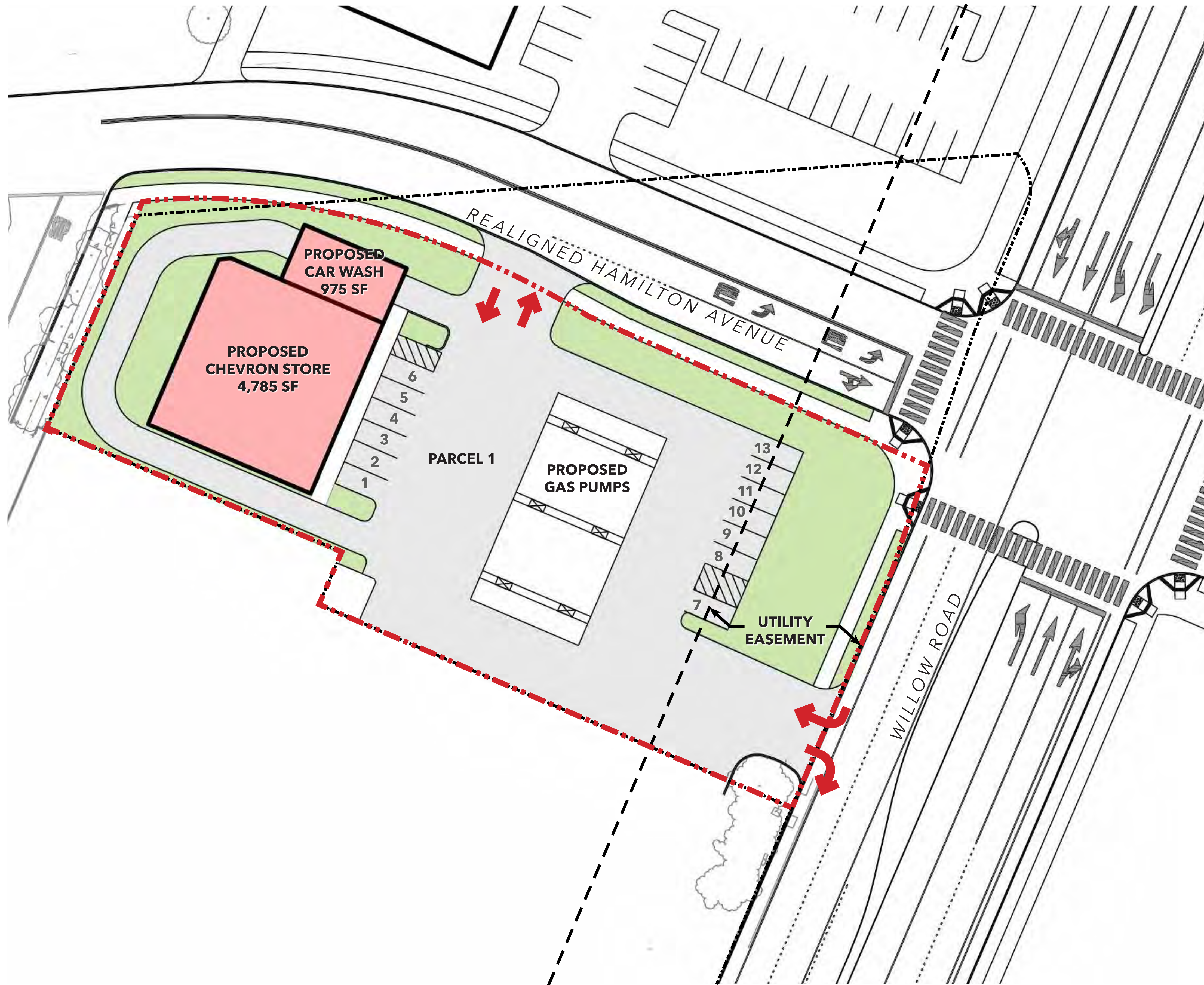
Existing Total Area	15,702 sf
Potential Area Added	Up to 6,700 sf
Proposed Potential Total Area	Up to 22,402 sf

**PARKING**

Proposed Total Parking	93 spaces
Proposed Parking Ratio	4.16 spaces/ksf





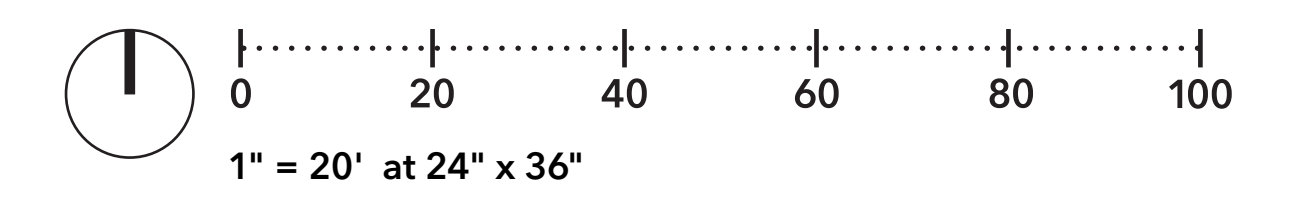


LEGEND	
	Existing Parcel Boundary
	Existing Easement Boundary
	Proposed Parcel Boundary
	Proposed Built Area
	Proposed Landscaped Area
	Driveway Access

SITE AREA	
Existing Site Area	+/- 1.33 acre
Proposed Site Area	+/- 0.97 acre

BUILT AREA	
Proposed Total Area	5,760 sf

PARKING	
Proposed Total Parking	13 spaces
Proposed Parking Ratio	2.26 spaces/ksf



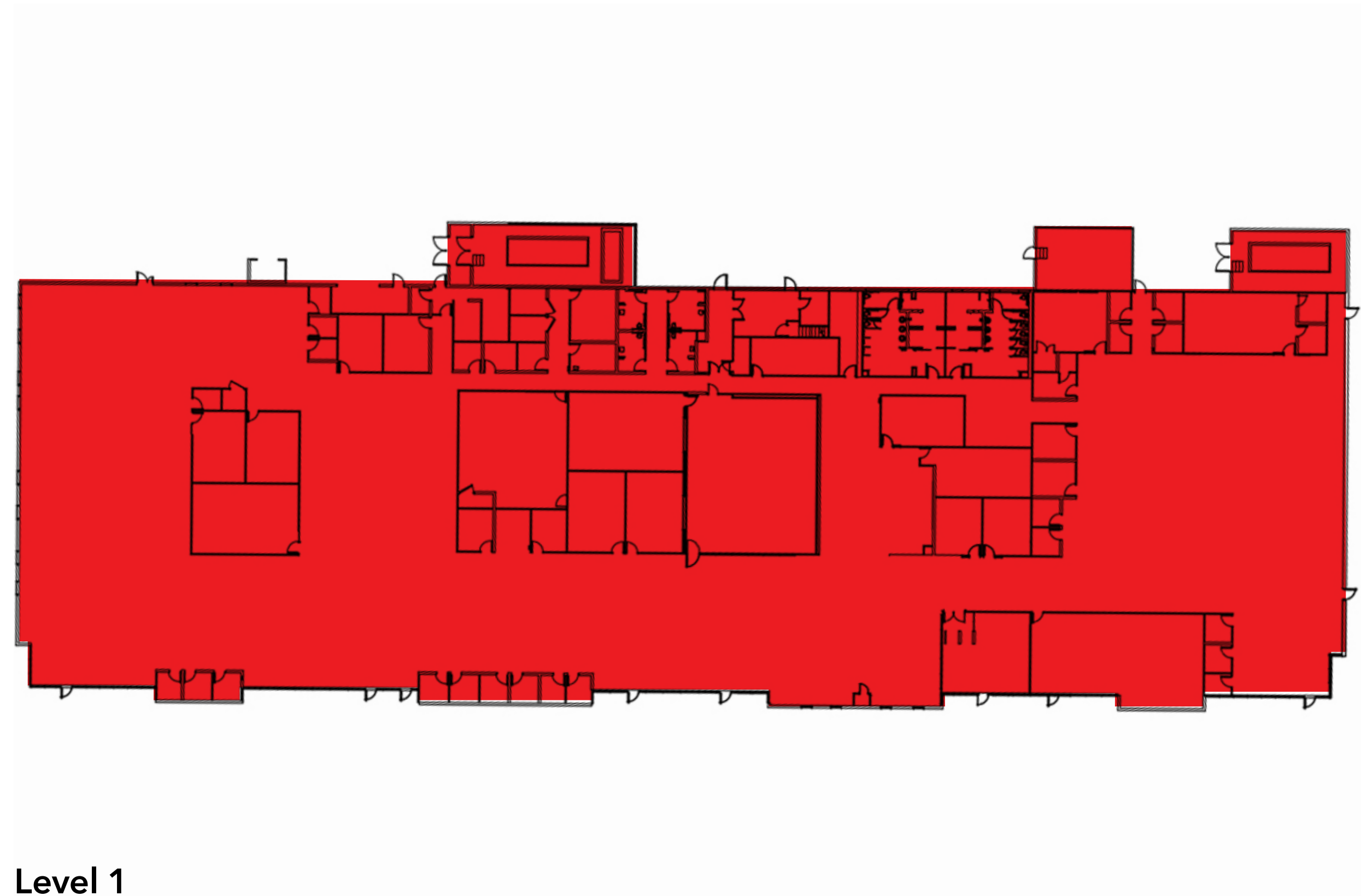


# APPENDIX 8

## EXISTING LAND USE ENLARGEMENT

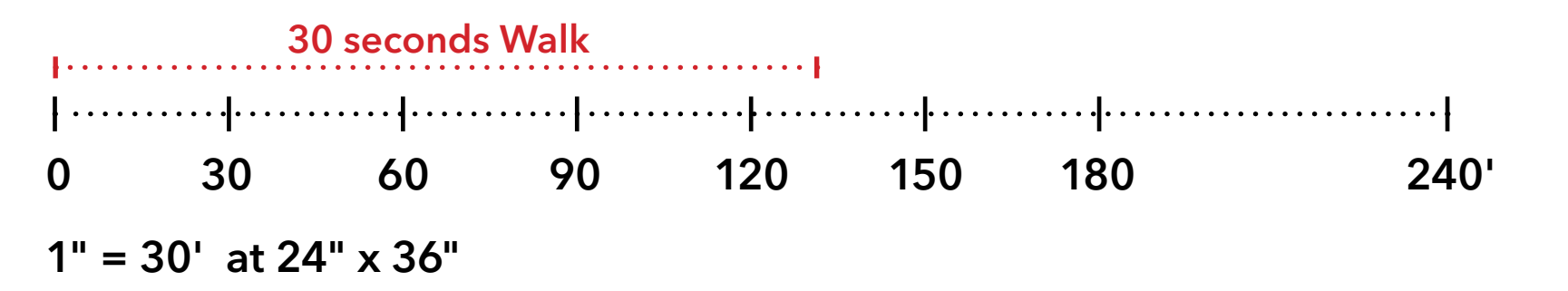


Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	46,640	0	0



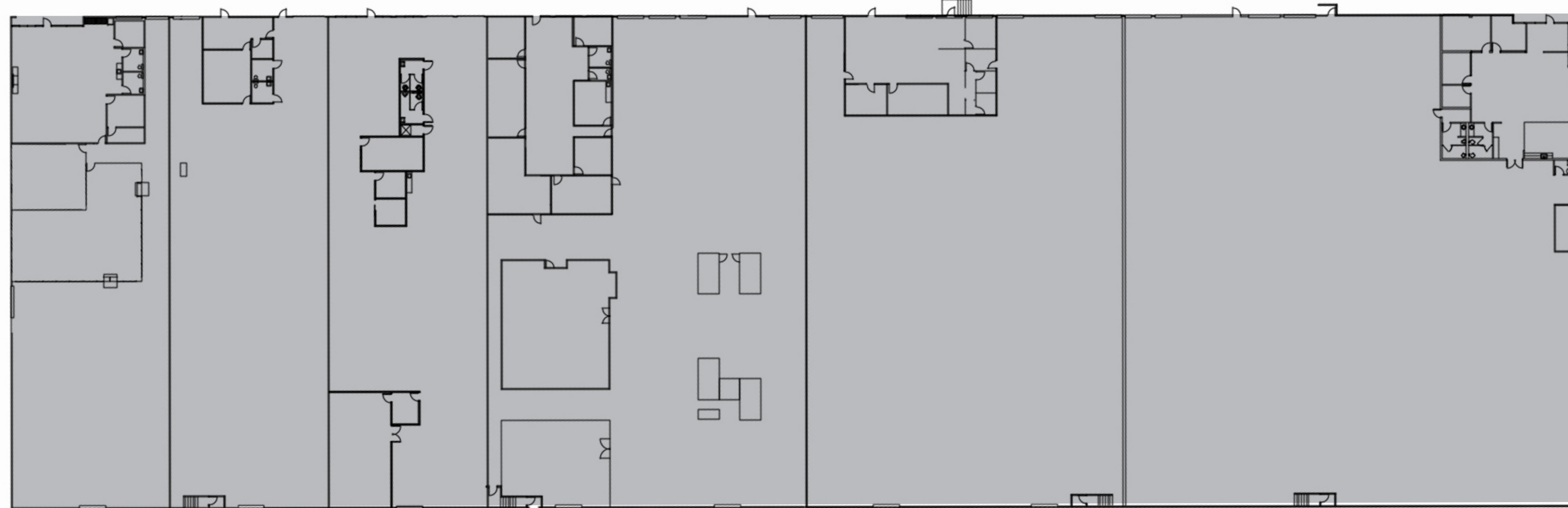
Level 1

MPK 40  
1050-1098 Hamilton Avenue



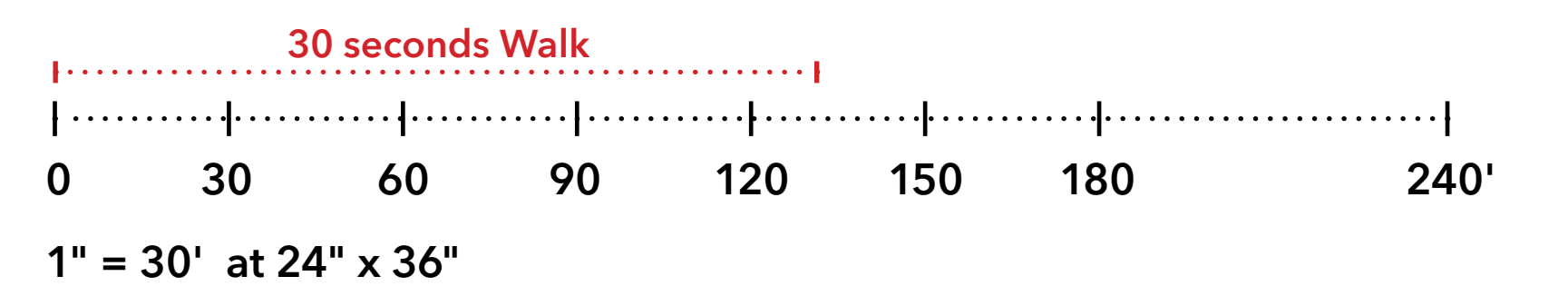


Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	0	0	109,620



Level 1

MPK 41  
1100-1190 Hamilton Court

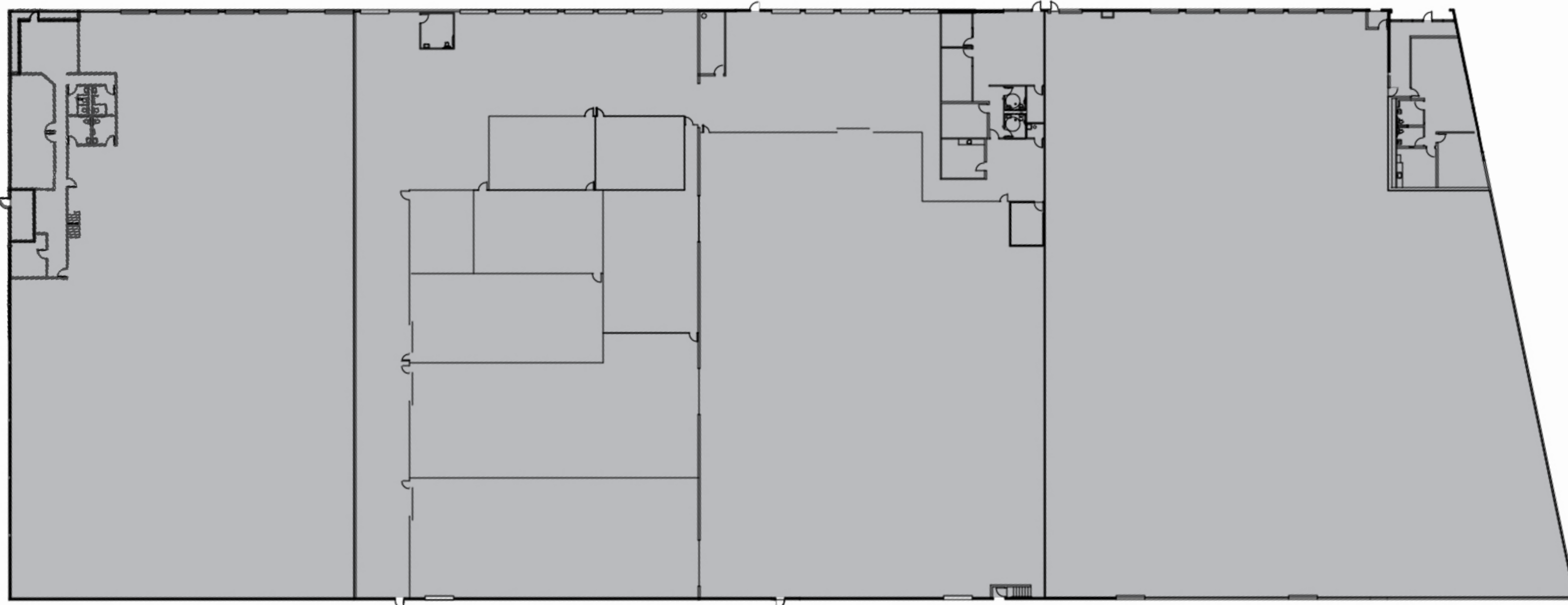




Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	0	0	107,350

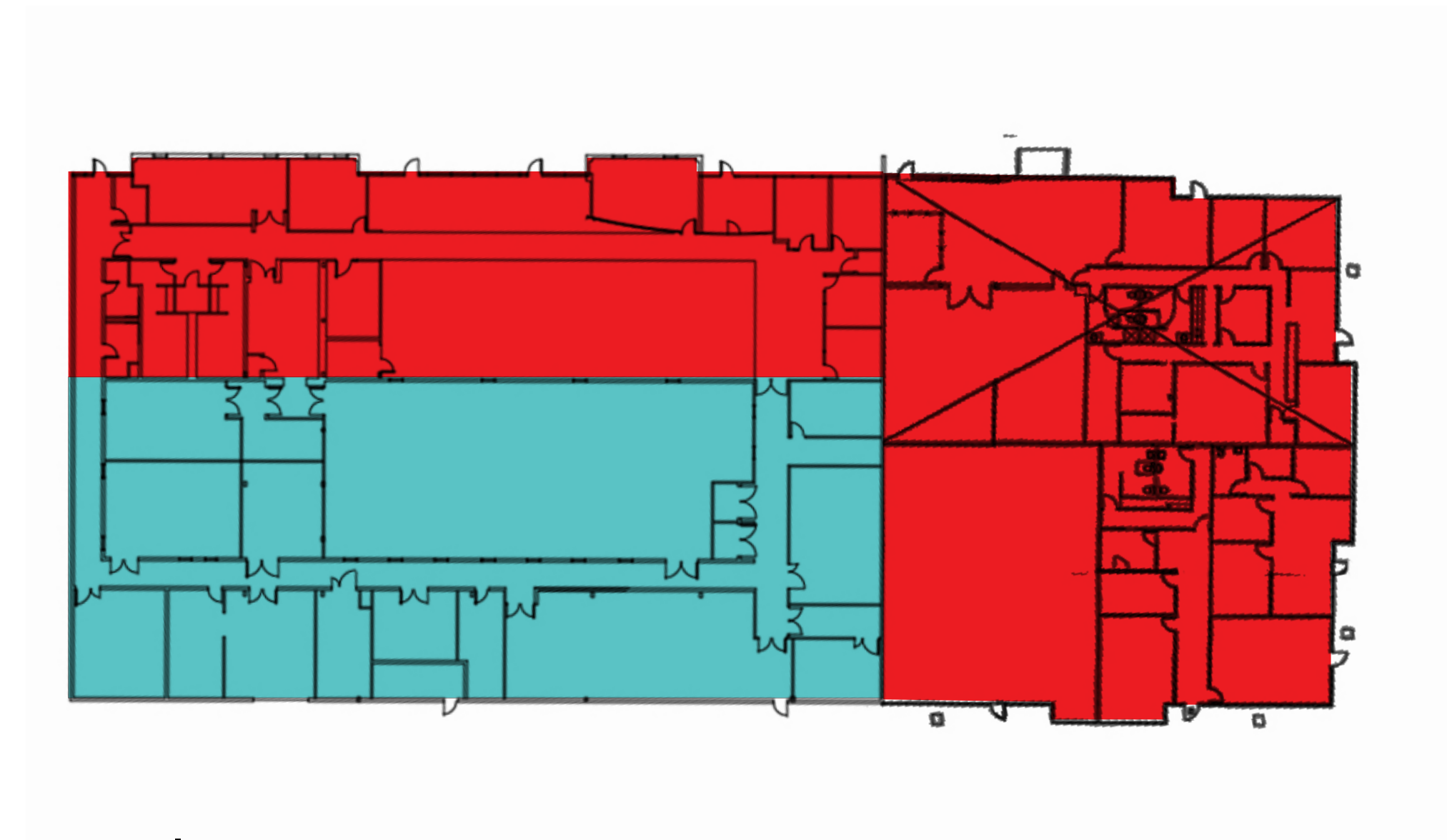
Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	10,250	10,590	0

Note: Tenants are Satellite Healthcare and Community Legal Services.



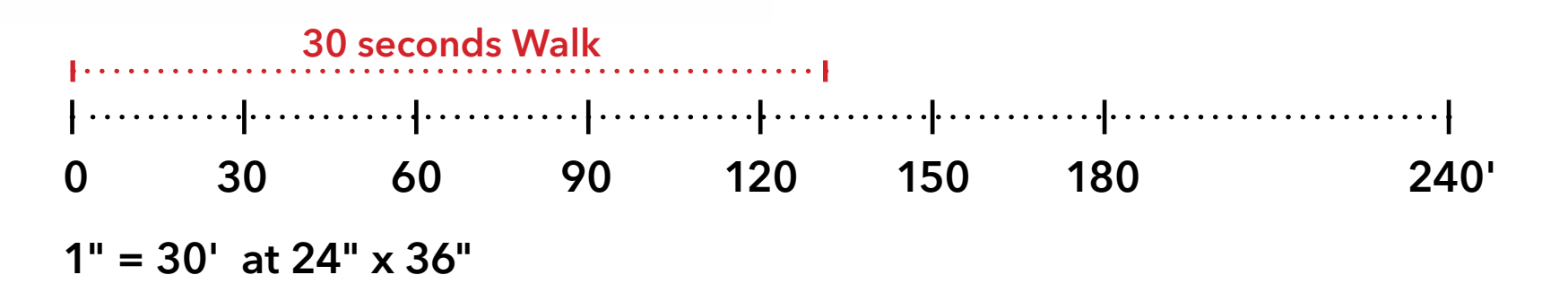
Level 1

MPK 42  
1200-1280 Hamilton Court



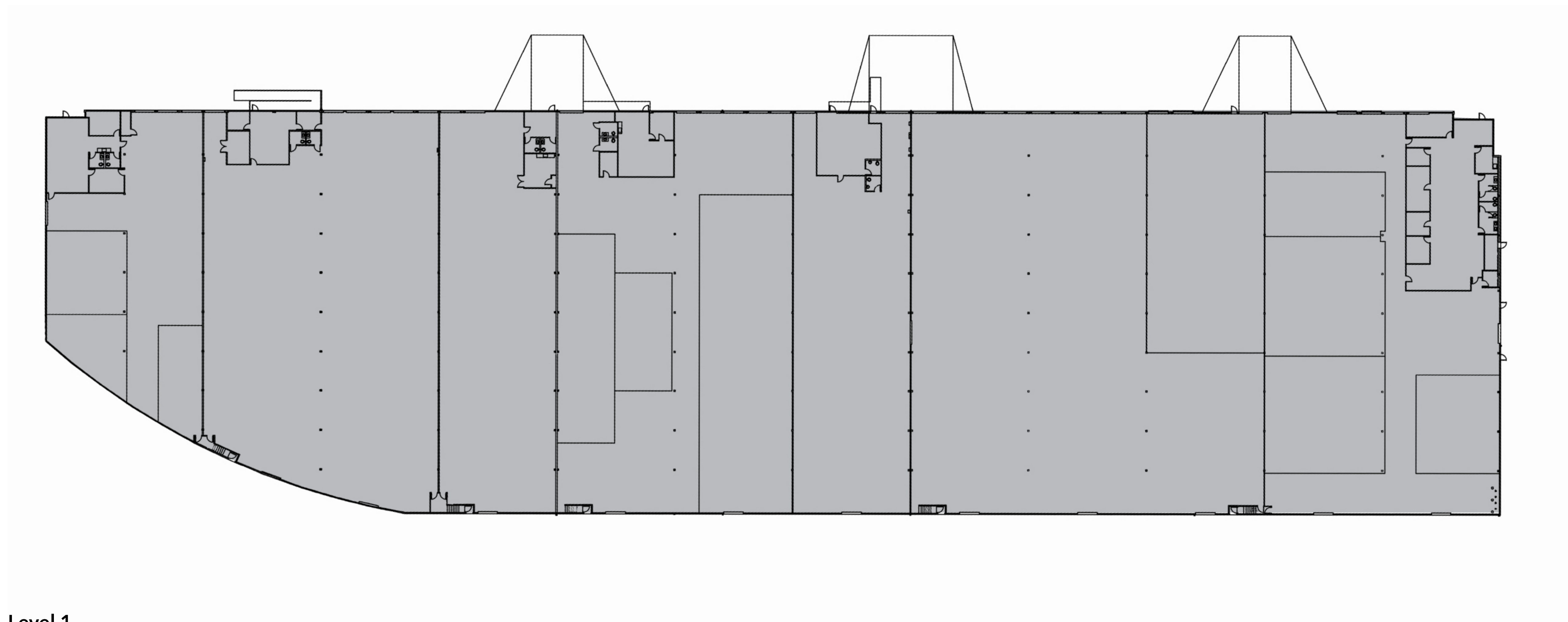
Level 1

MPK 43  
1010-1042 Hamilton Court



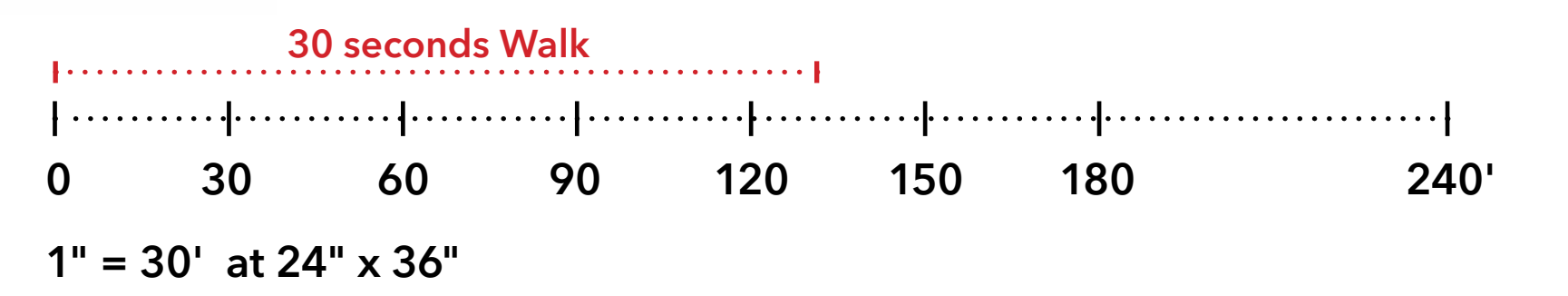


Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	0	0	145,080



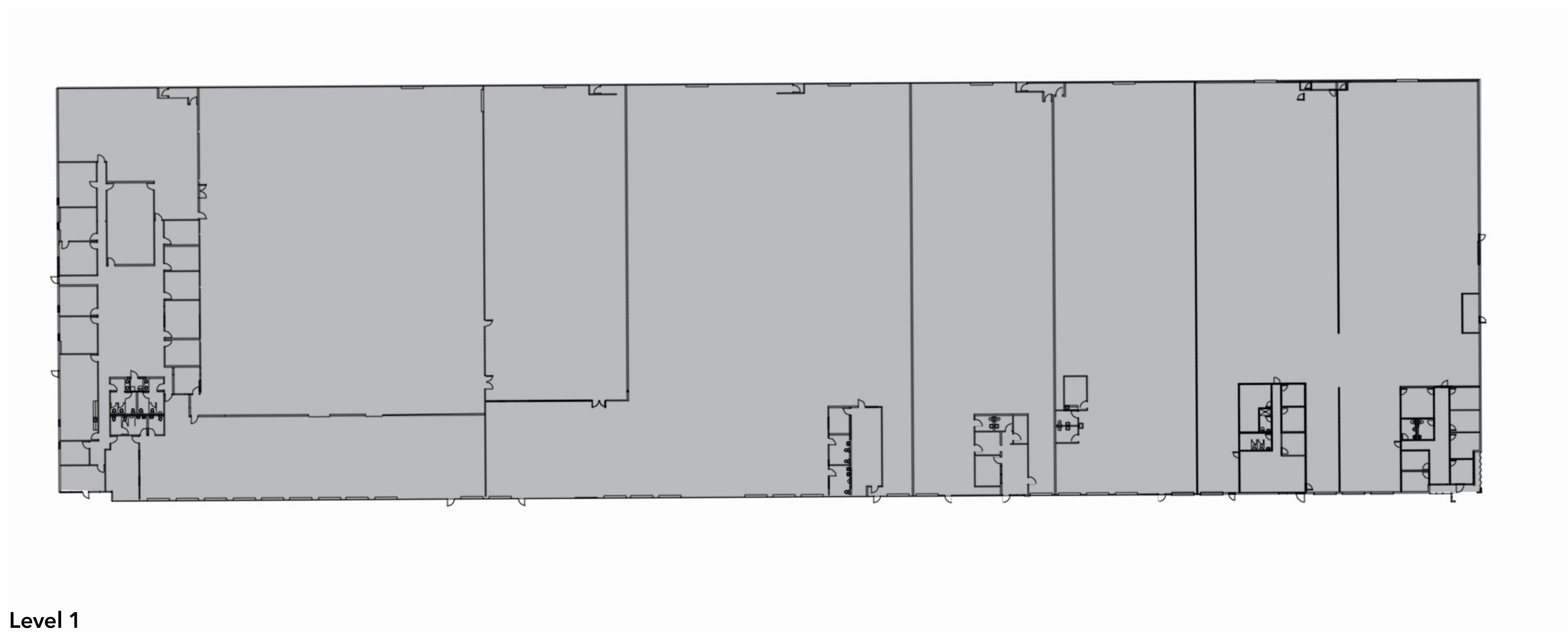
Level 1

MPK 44  
1205-1275 Hamilton Court



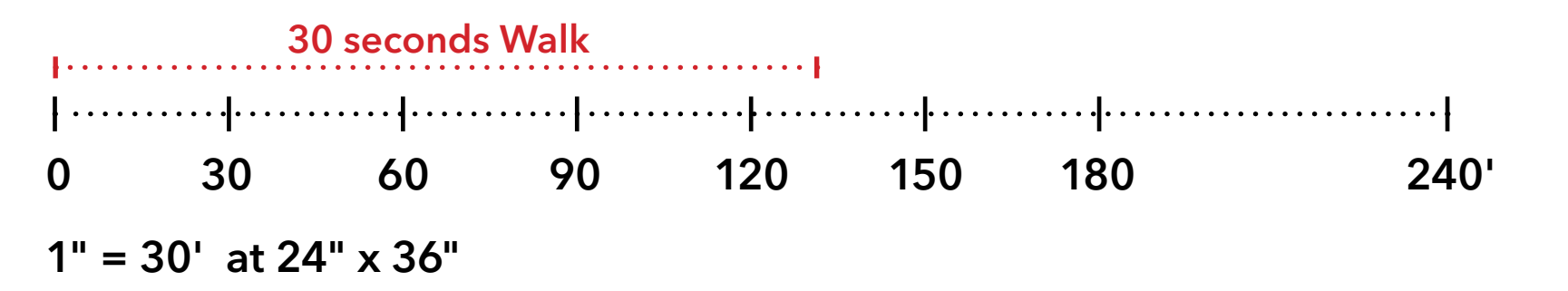


Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	0	0	118,740



Level 1

MPK 45  
1105-1195 Hamilton Court





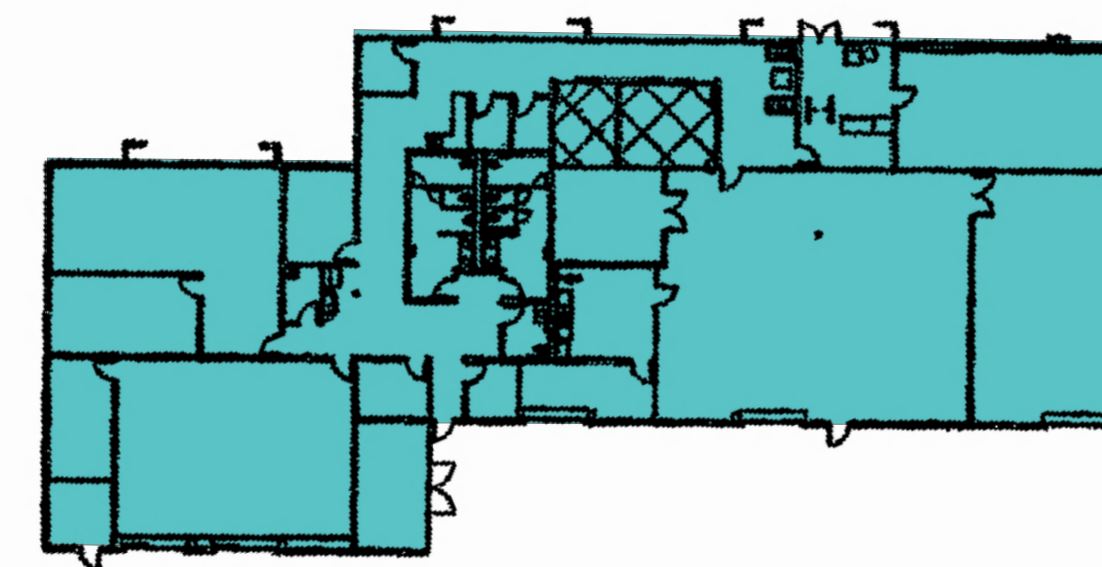
Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	56,340	0	0

Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	0	10,400	0



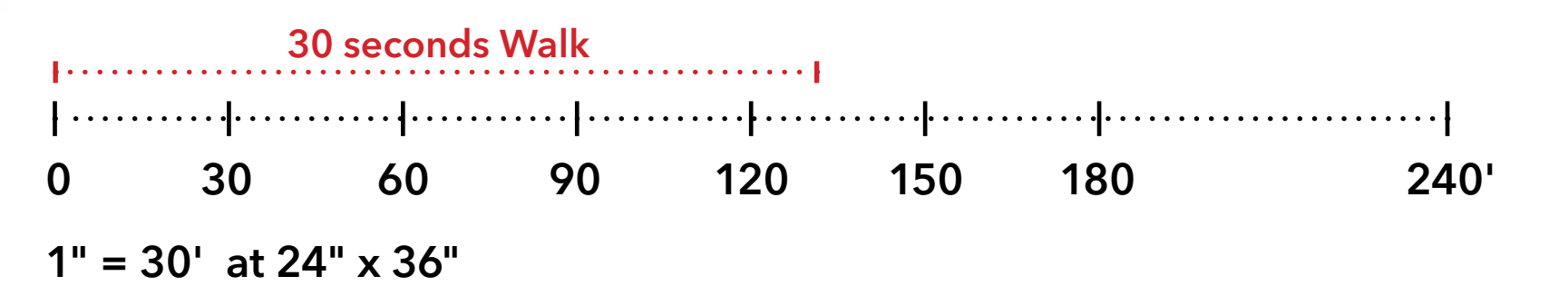
Level 1

MPK 46  
1003-1005 Hamilton Avenue



Level 1

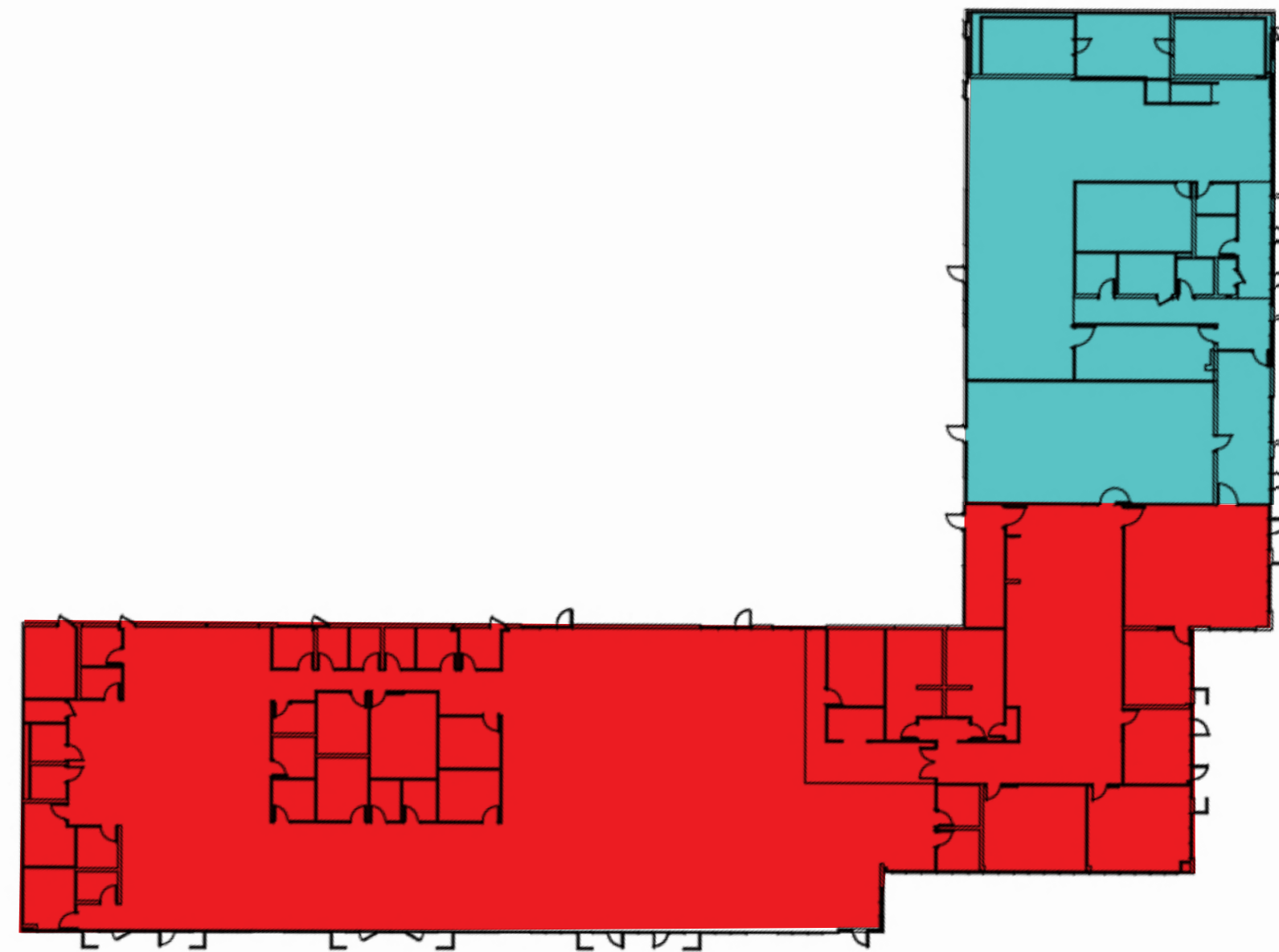
MPK 47  
959-967 Hamilton Avenue





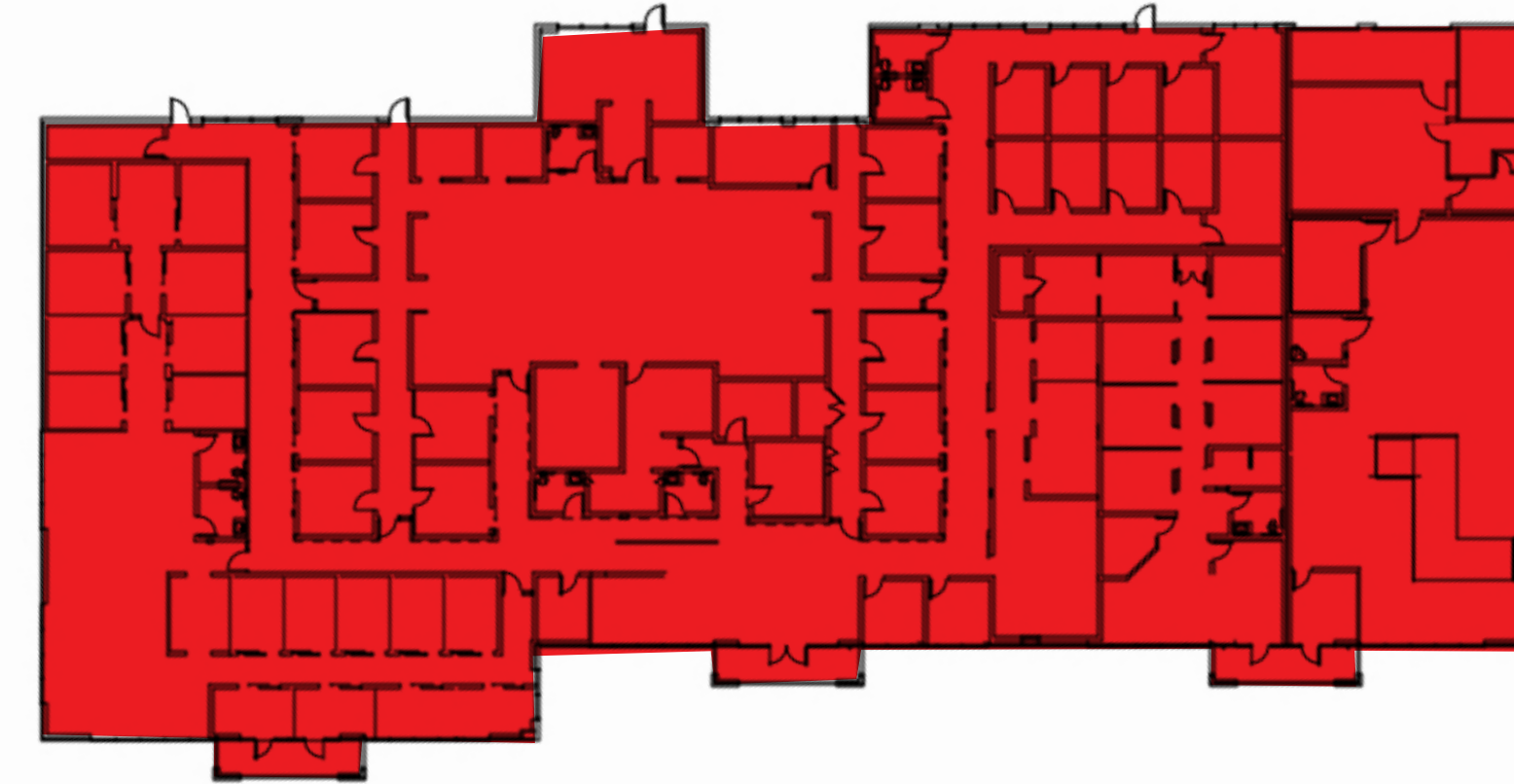
Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	14,410	5,750	0

Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	24,060	0	0



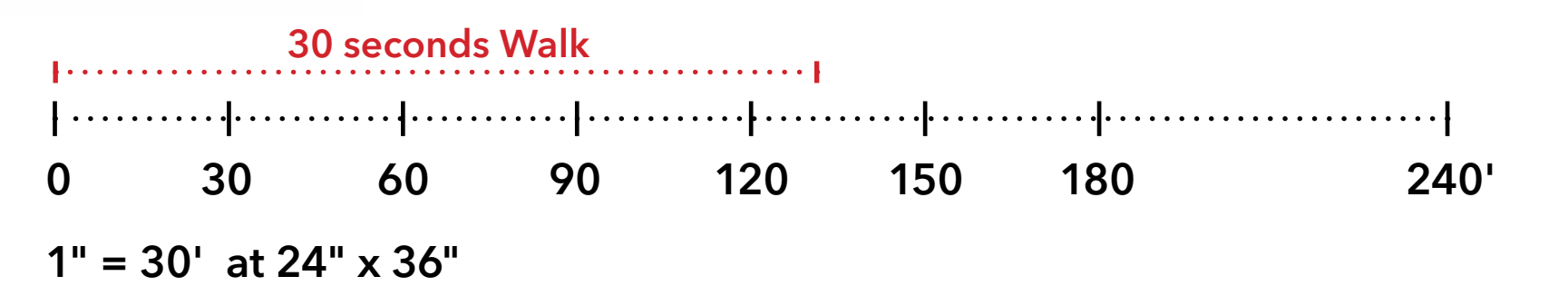
Level 1

MPK 48  
927-953 Hamilton Avenue



Level 1

MPK 49  
923-925 Hamilton Avenue



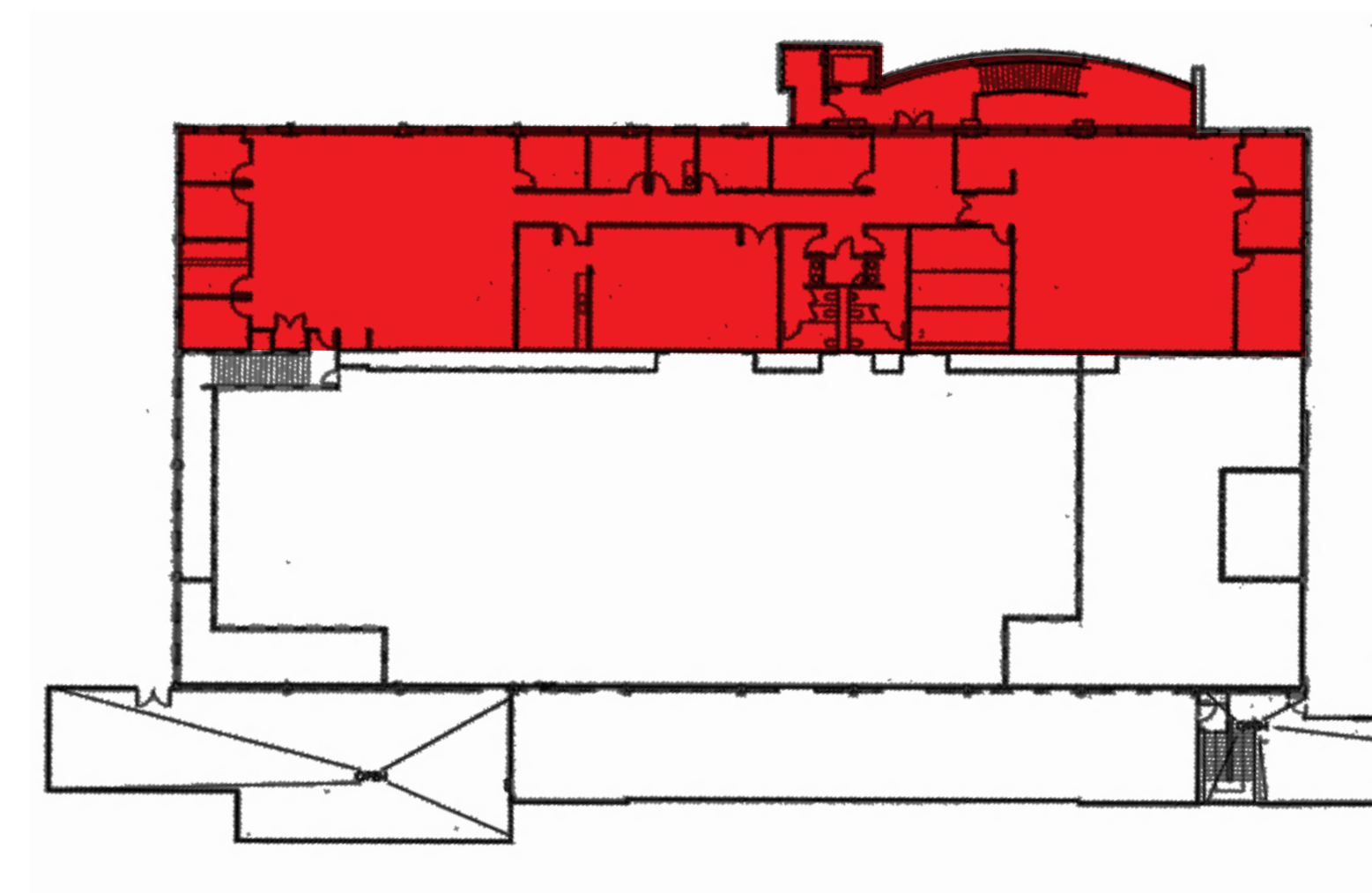


Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
<b>Total</b>	15,200*	0	0

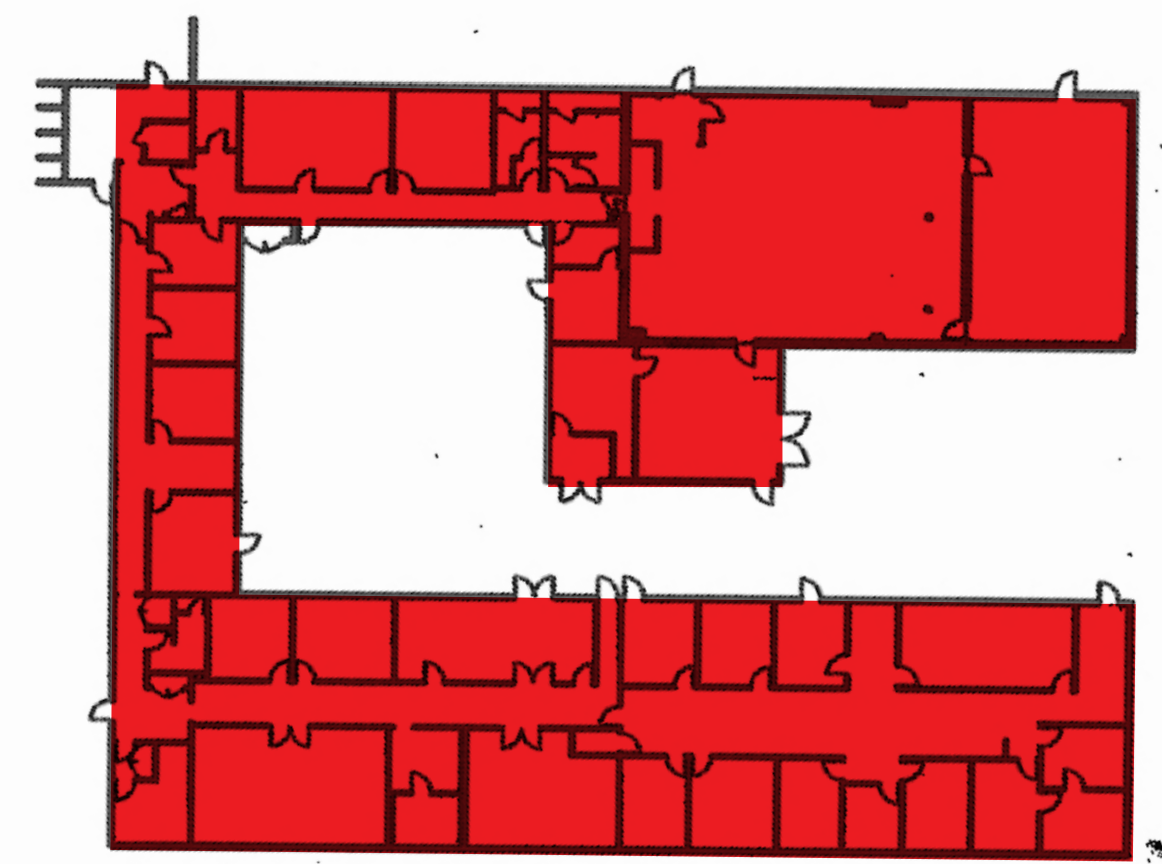
\* Most recent land use.

Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)	Lab & Manufacture (GSF)
<b>1</b>	0	0	0	21,300*
<b>2</b>	2,270*	0	0	0
<b>Total</b>	2,270	0	0	21,300

Note: Level 2 mechanical duct platform (white area below) is excluded from total GSF.  
\* Most recent land use.

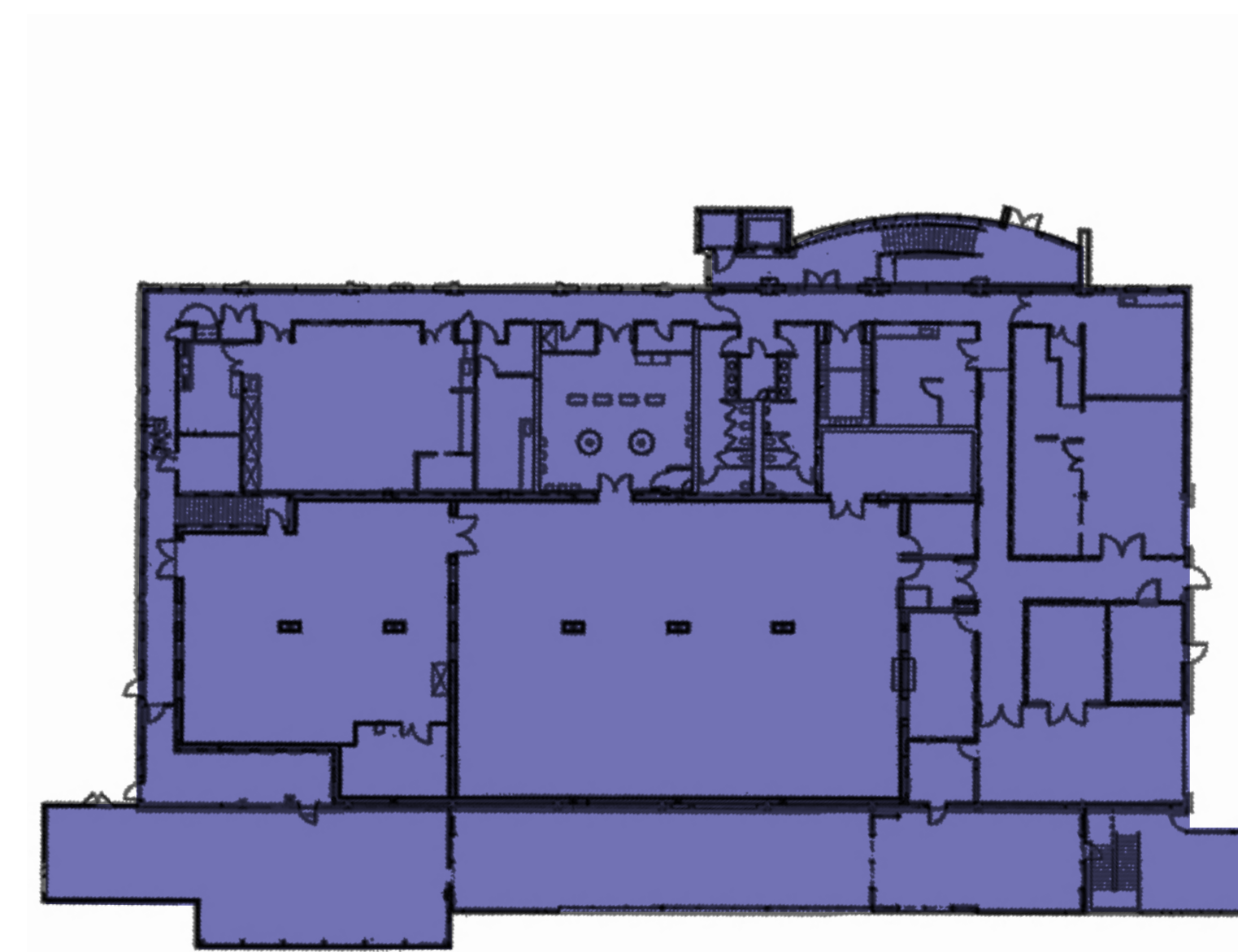


Level 2



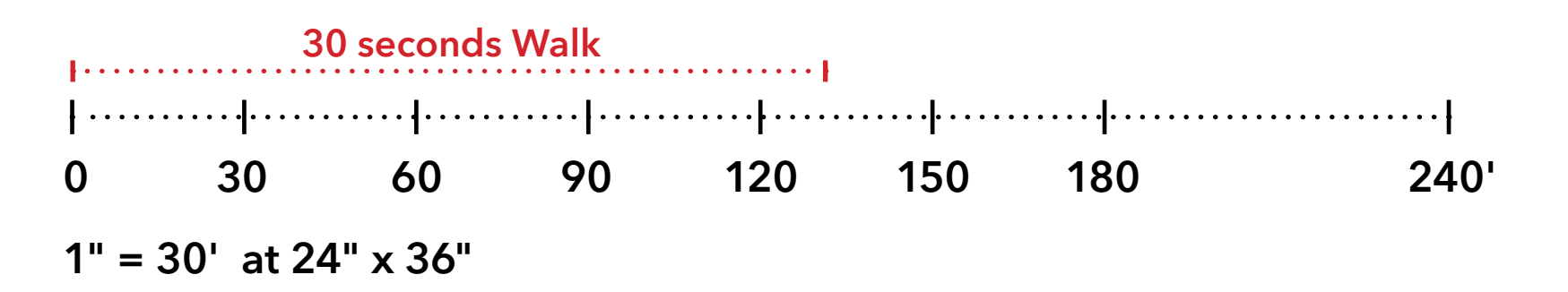
Level 1

MPK 50  
1390 Willow Road



Level 1

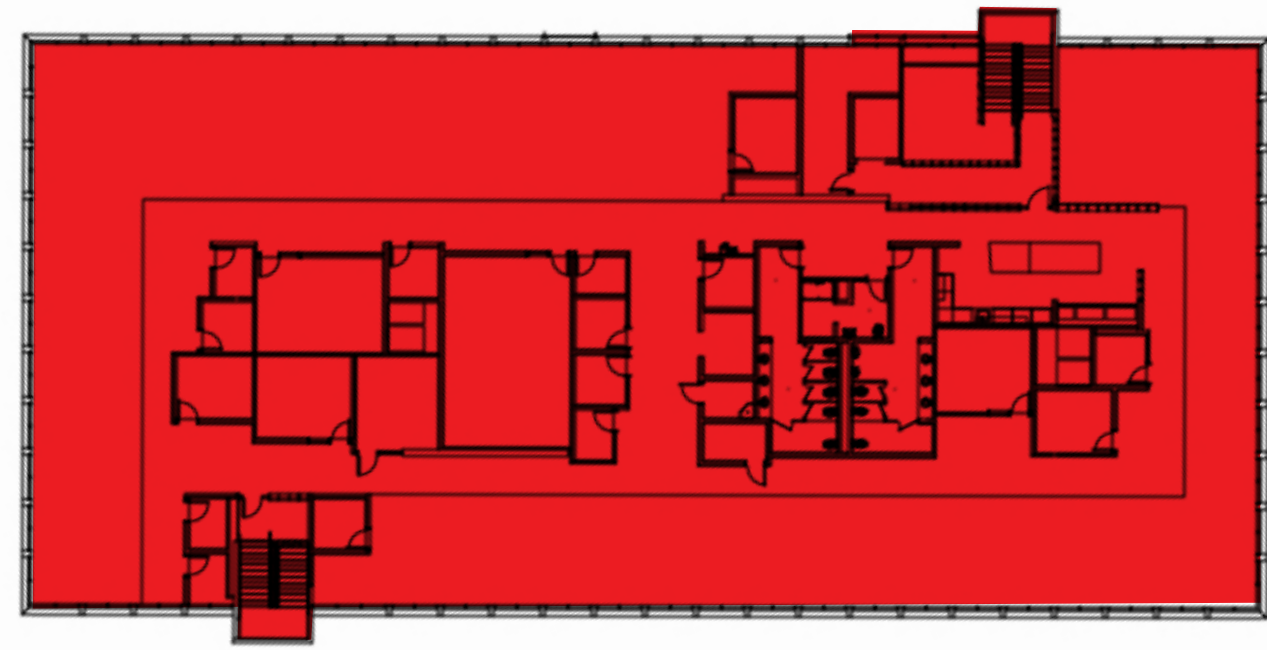
MPK 51  
940 Hamilton Avenue



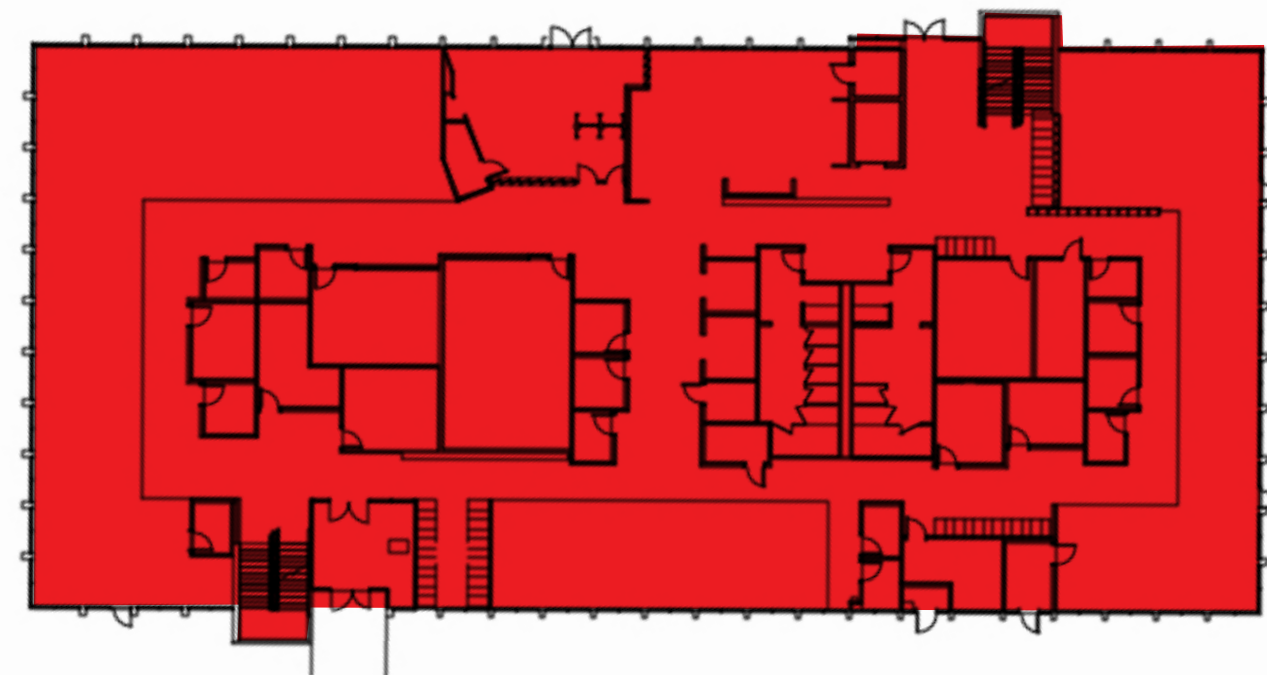


Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)
1	17,125	0	0
2	17,765	0	0
<b>Total</b>	<b>34,890</b>	<b>0</b>	<b>0</b>

Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)
<b>Total</b>	<b>0</b>	<b>19,970</b>	<b>0</b>

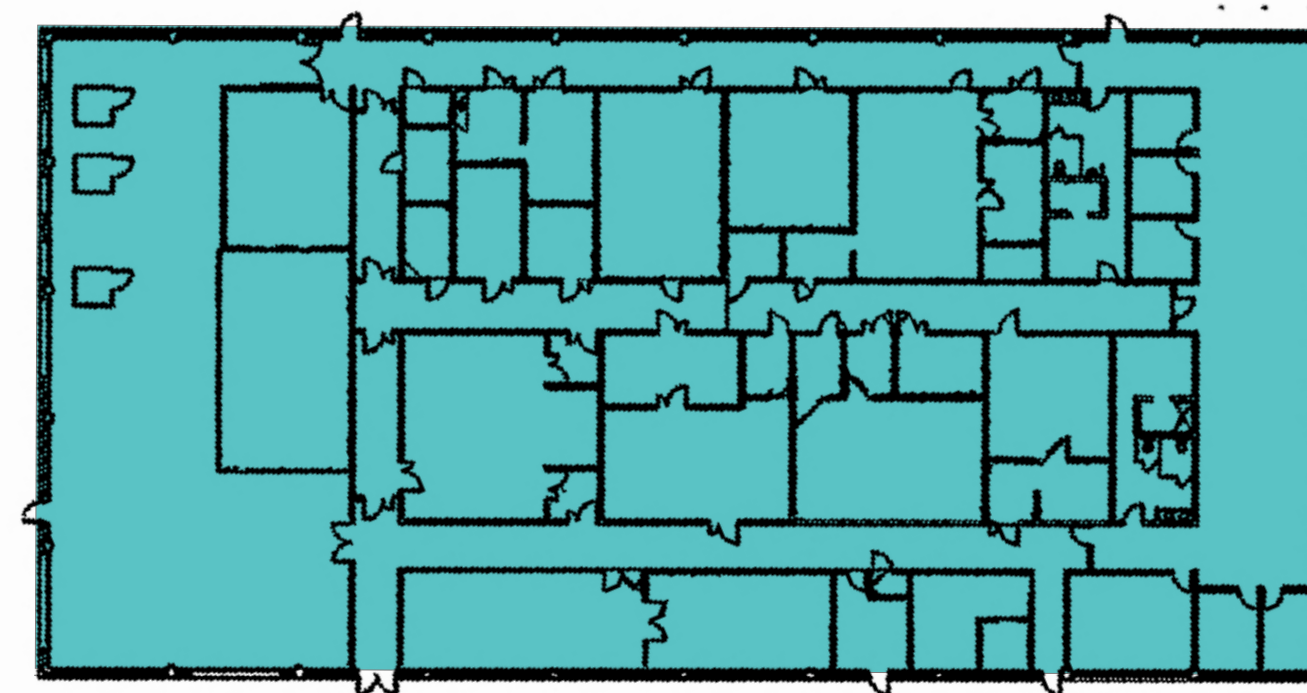


Level 2



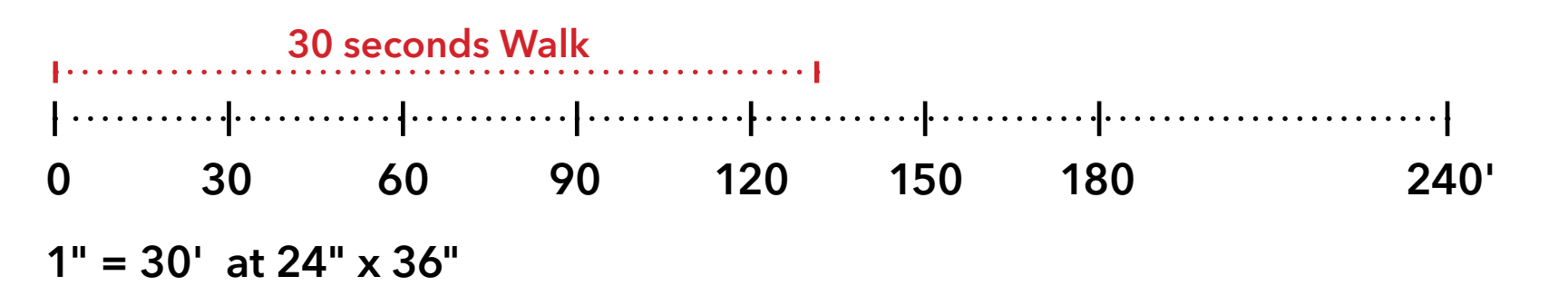
Level 1

MPK 52  
1380 Willow Road



Level 1

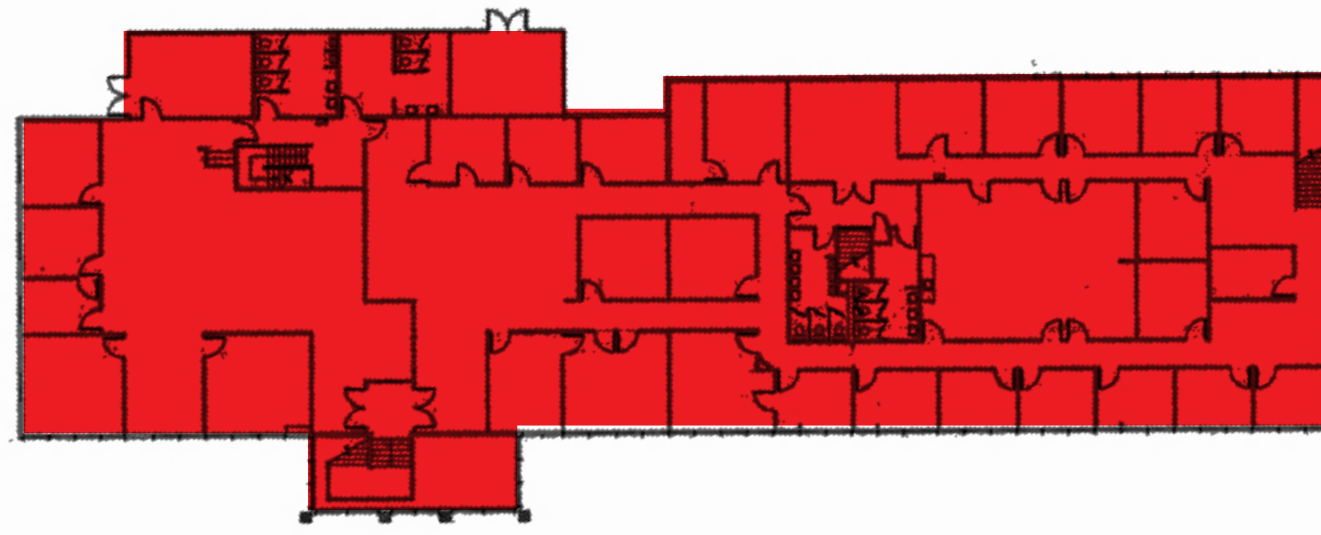
MPK 53  
960 Hamilton Avenue



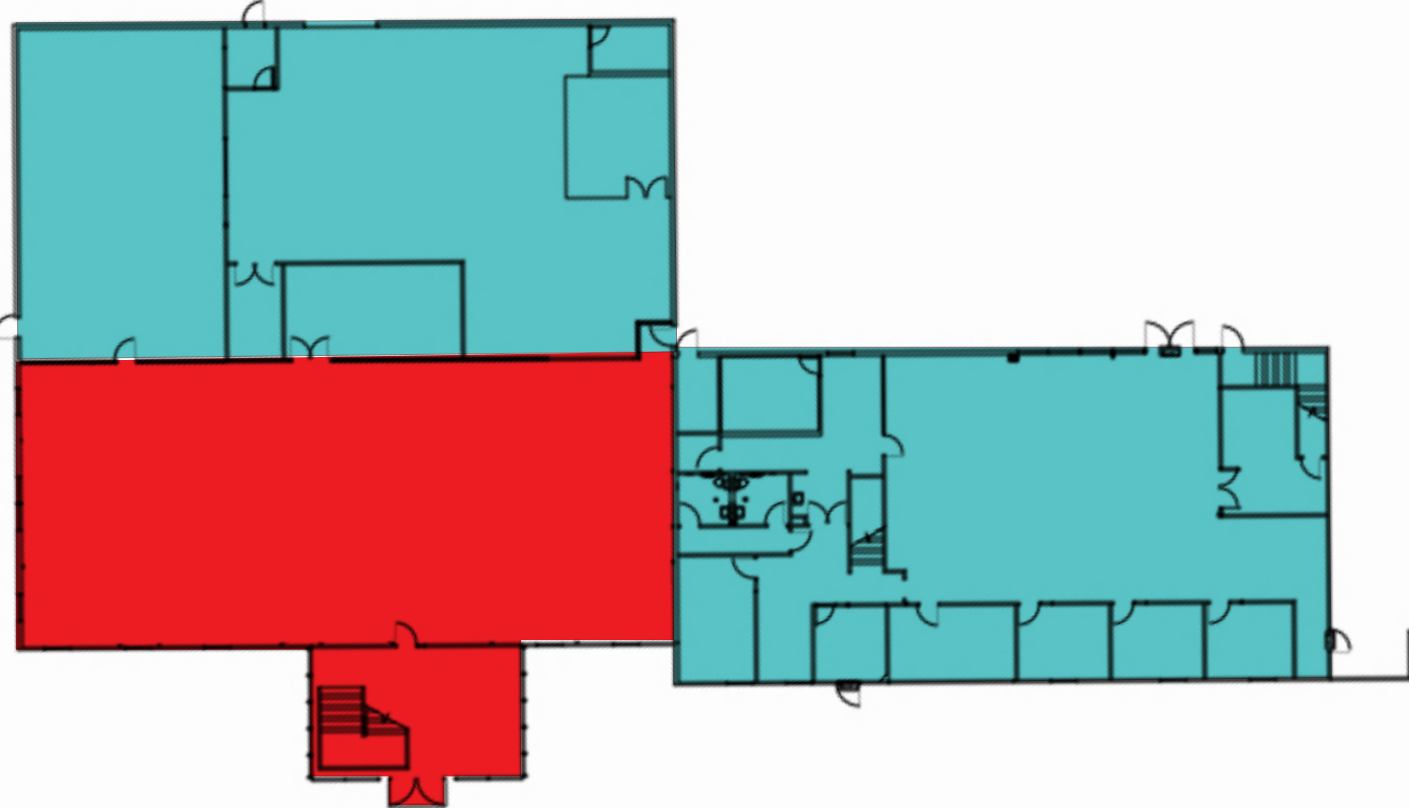


Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)
1	5,020*	10,050**	0
2	11,670*	0	0
<b>Total</b>	<b>16,690</b>	<b>10,050</b>	<b>0</b>

\* Most recent land use.  
\*\* Current land use.



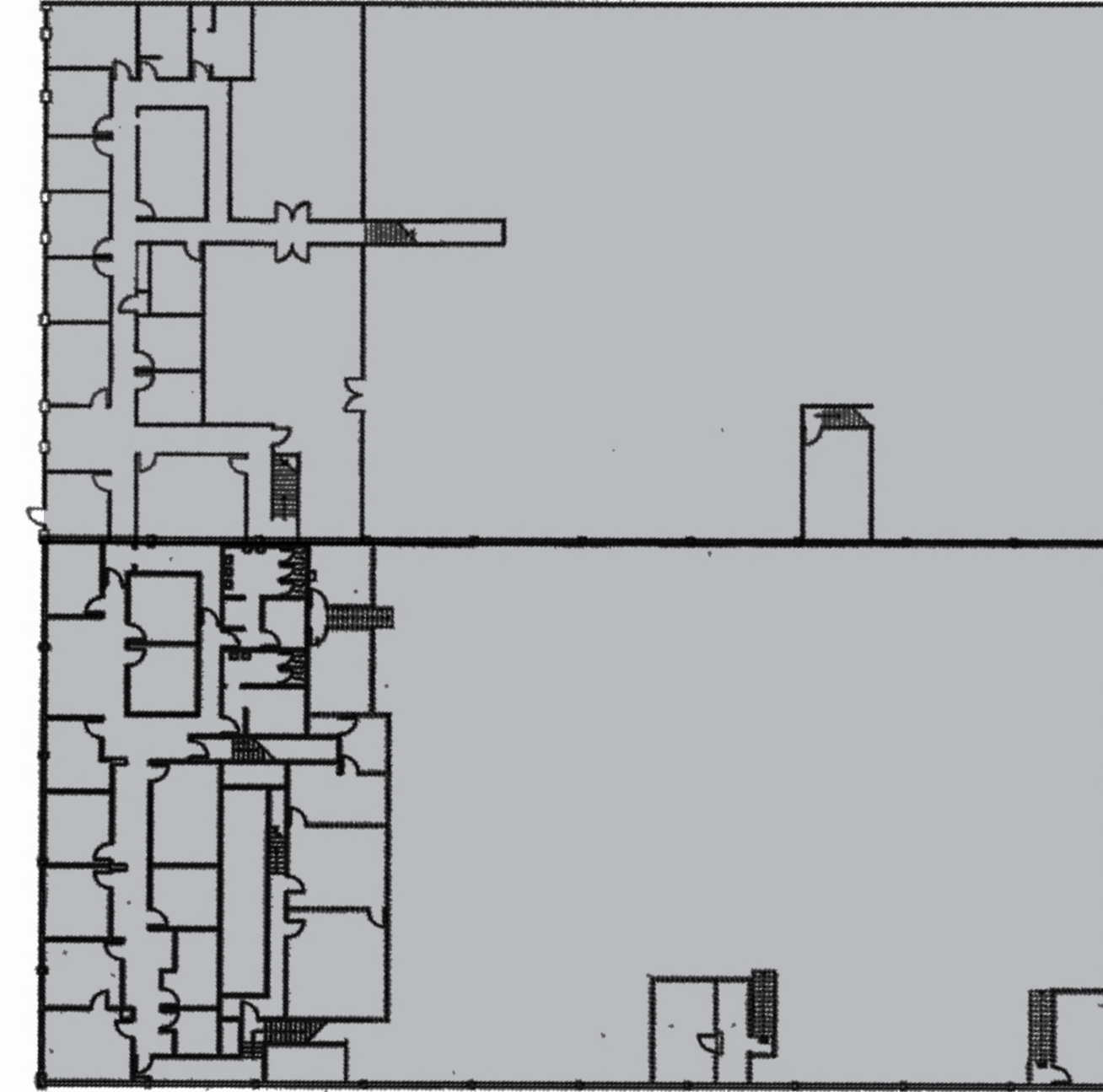
Level 2



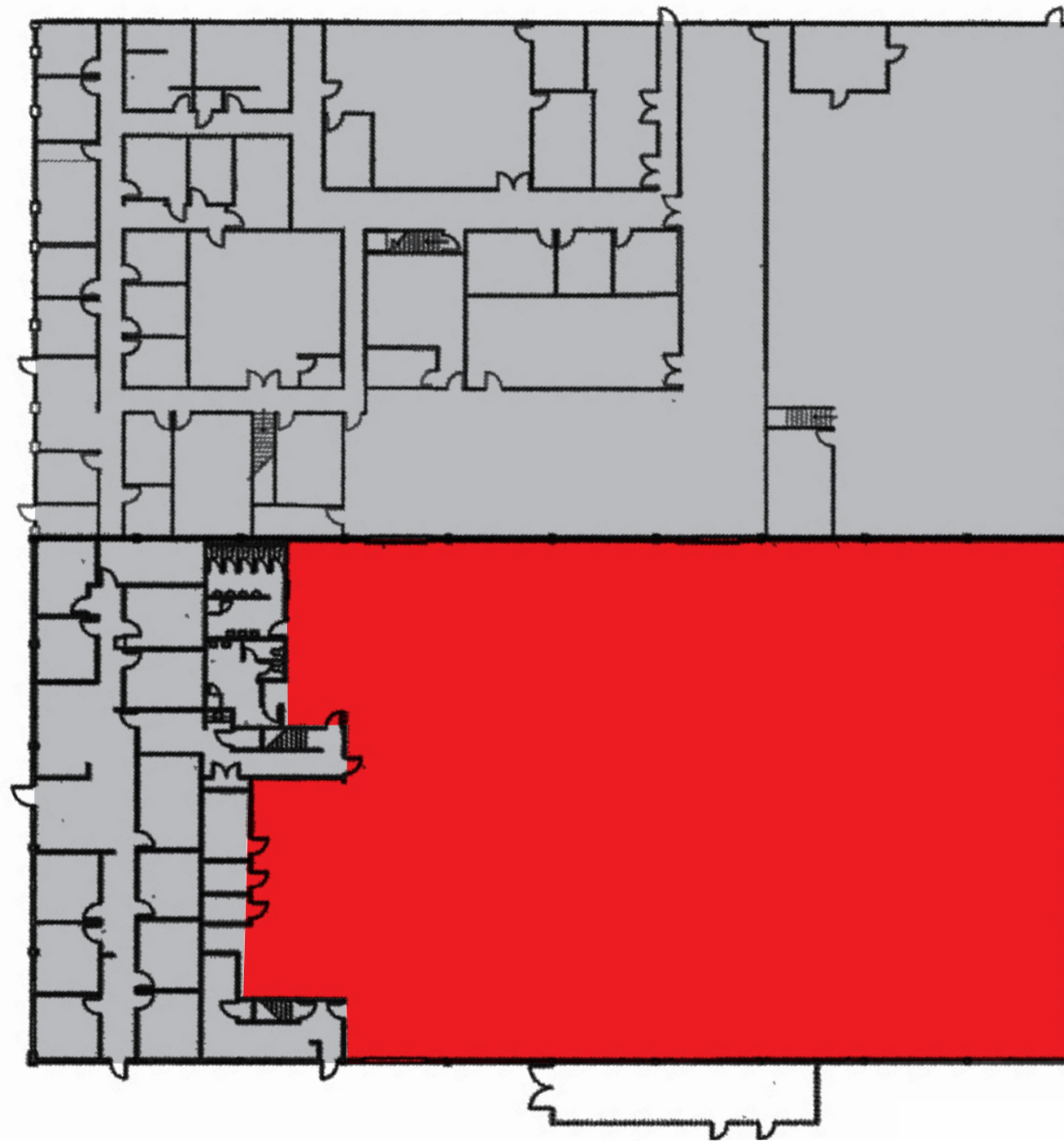
Level 1

MPK 54  
1370 Willow Road

Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)
1	15,345	0	24,705
2	0	0	40,050
<b>Total</b>	<b>15,345</b>	<b>0</b>	<b>64,755</b>

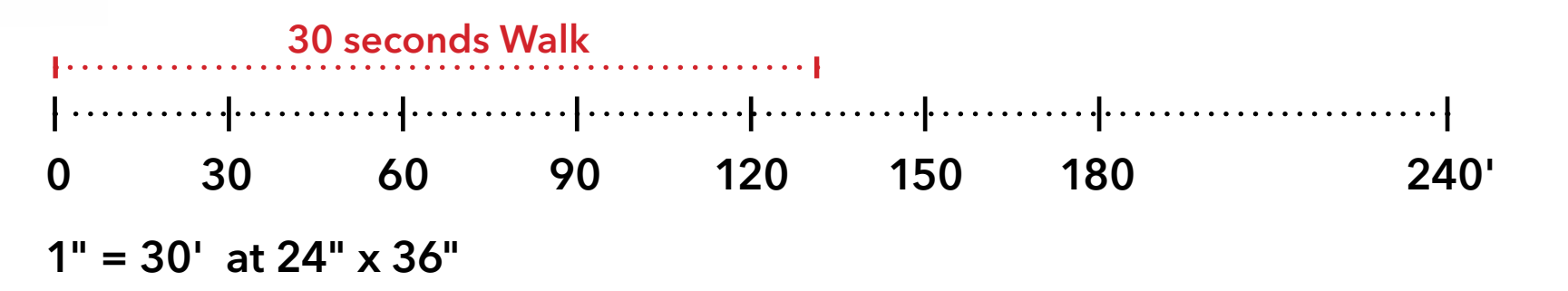


Level 2



Level 1

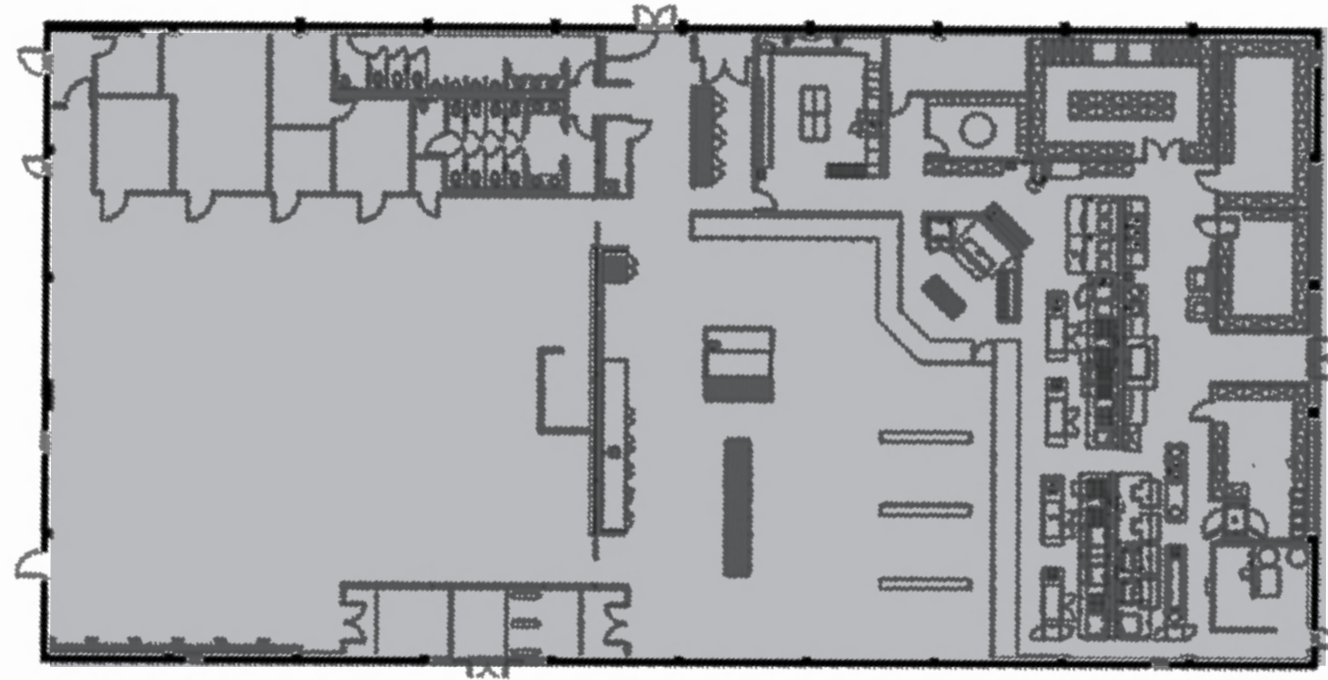
MPK 55  
1374-1376 Willow Road





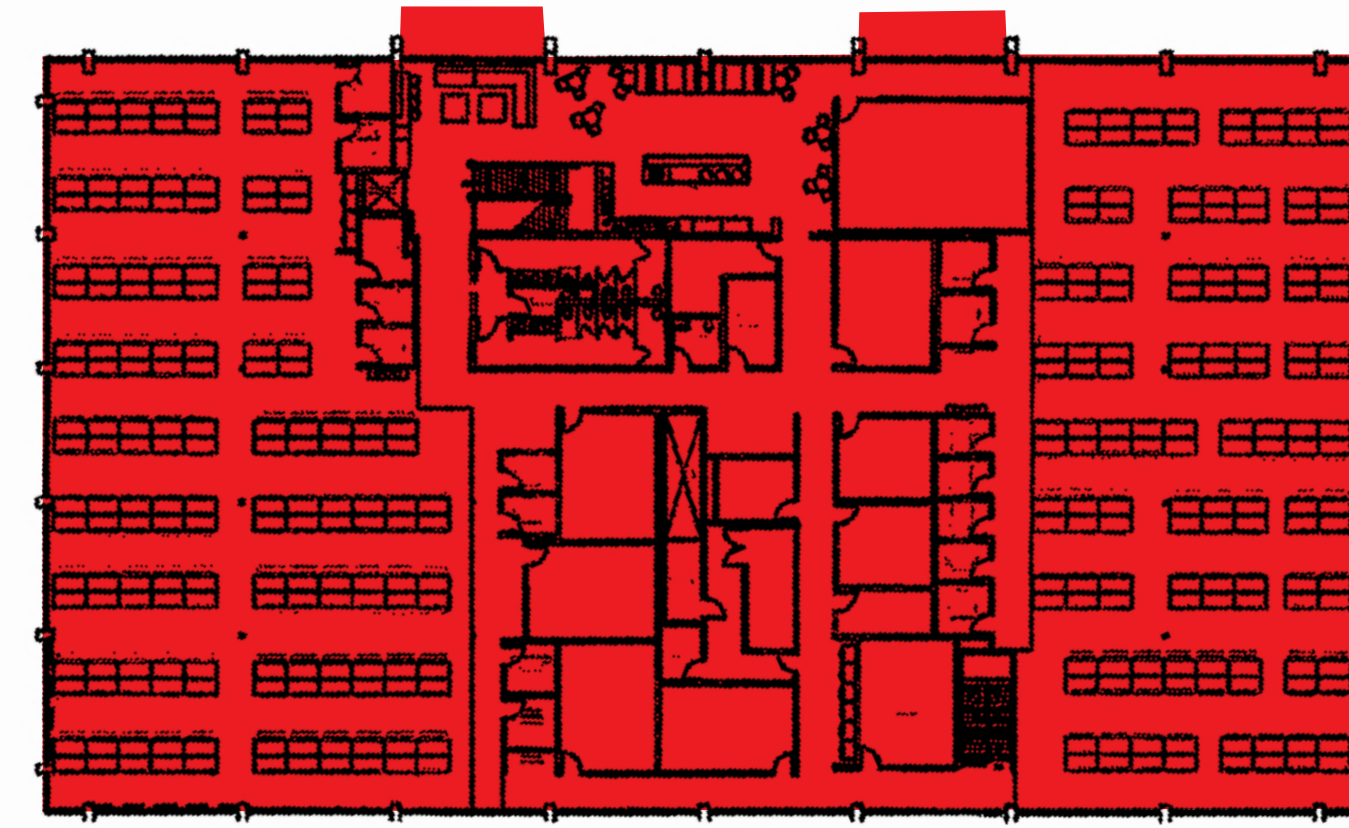
Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
Total	0	0	19,990

Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)
1	25,250	0	0
2	25,250	0	0
Total	50,500	0	0



Level 1

MPK 56  
980 Hamilton Avenue

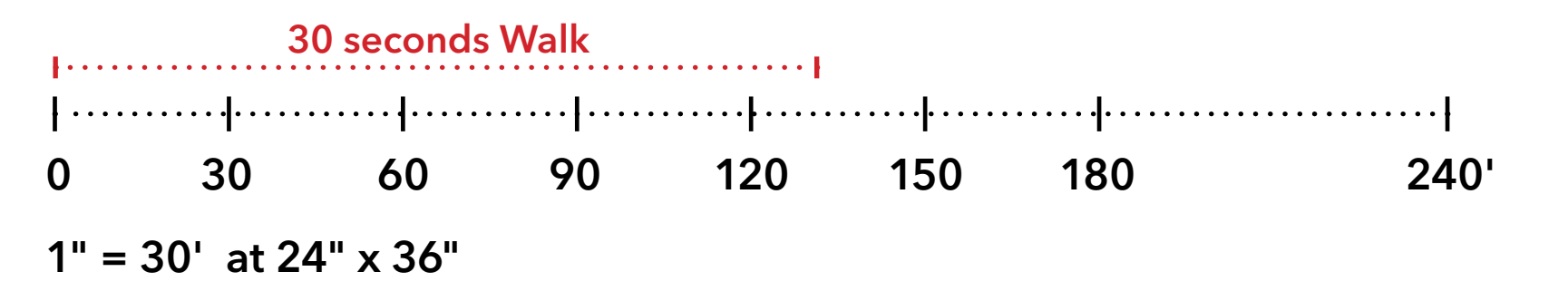


Level 2



Level 1

MPK 57  
1350 Willow Road



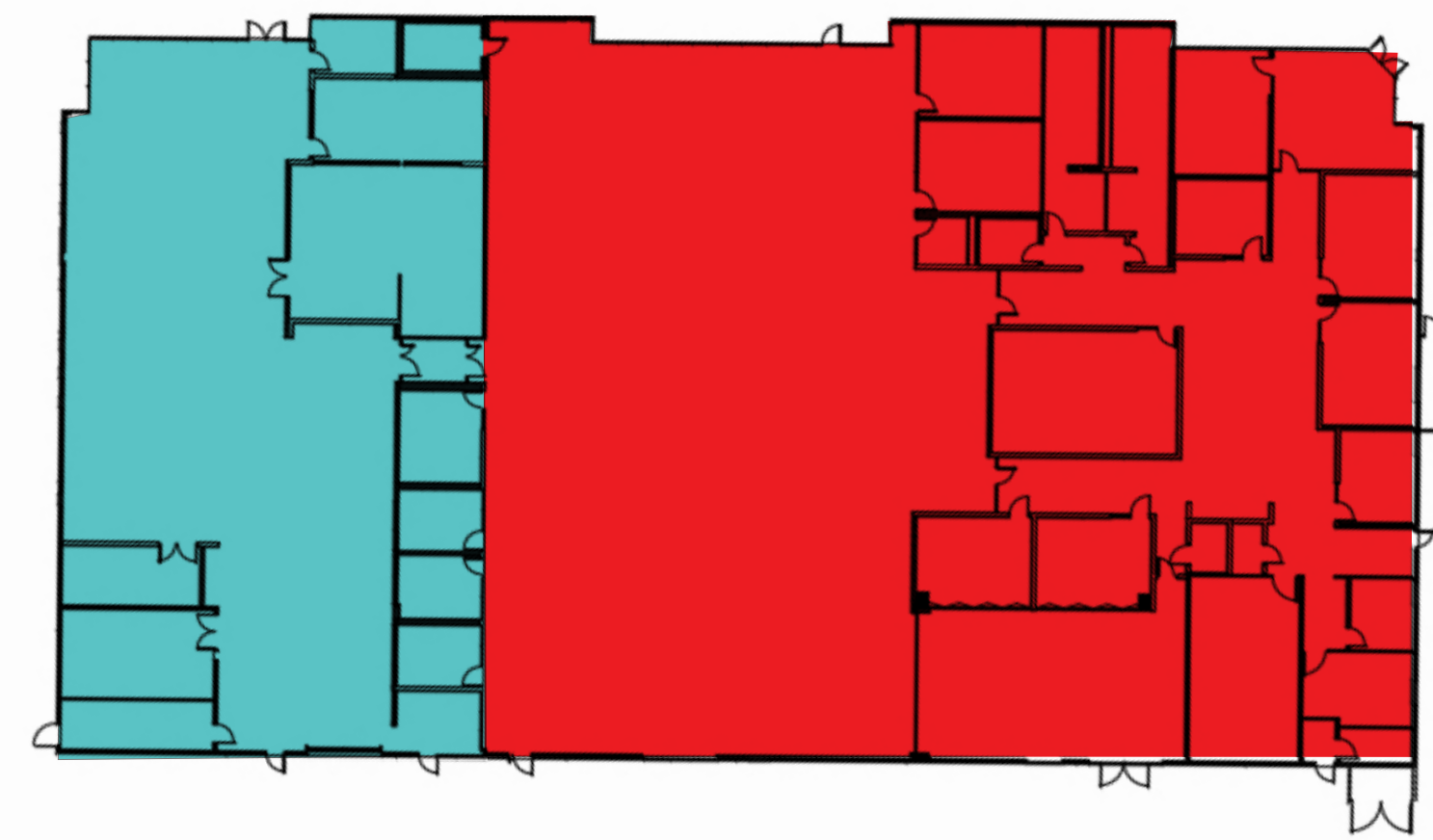


Use / Level	Office (GSF)	R&D (GSF)	Warehouse (GSF)
1	23,825	0	0
2	24,135	0	0
<b>Total</b>	<b>47,960</b>	<b>0</b>	<b>0</b>

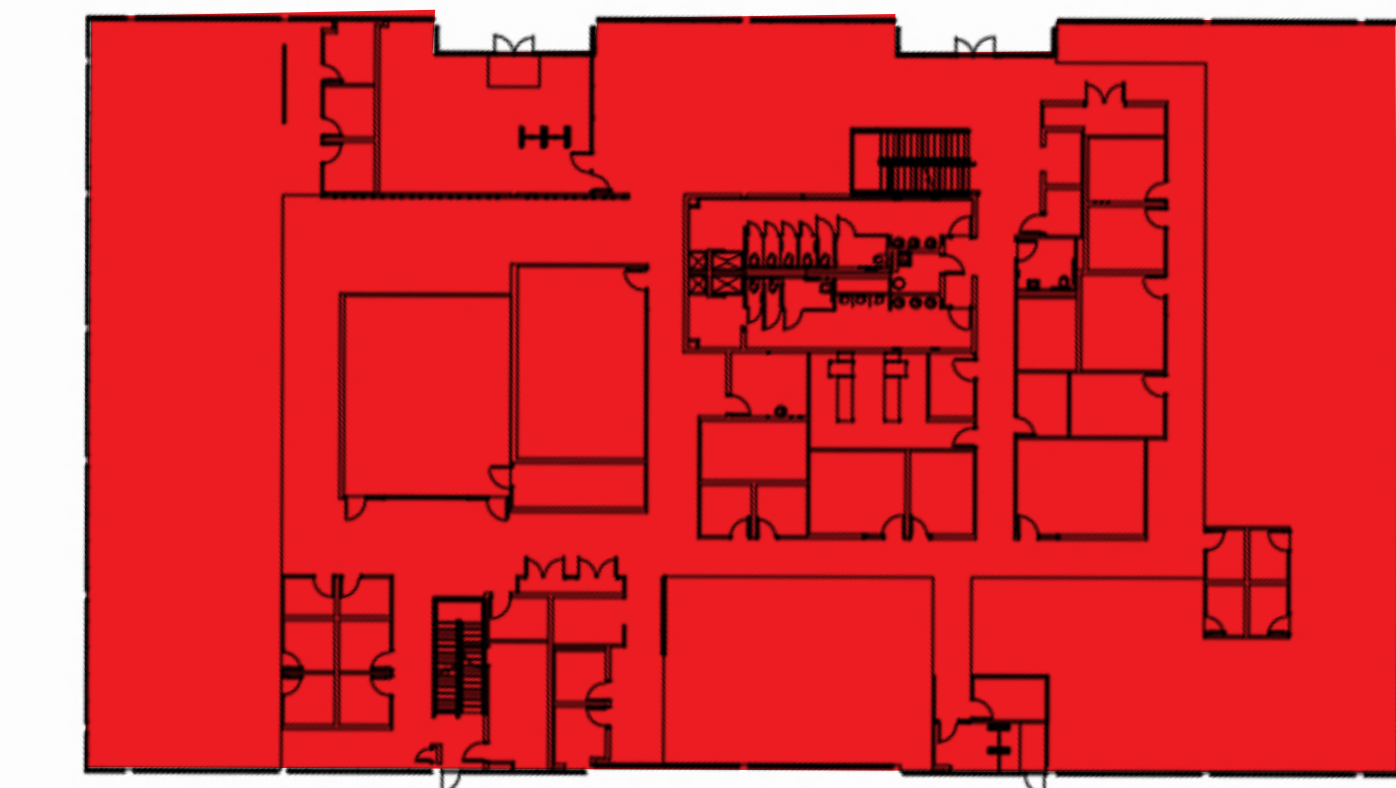


Level 2

Use	Office (GSF)	R&D (GSF)	Warehouse (GSF)
<b>Total</b>	<b>17,700</b>	<b>8,060</b>	<b>0</b>



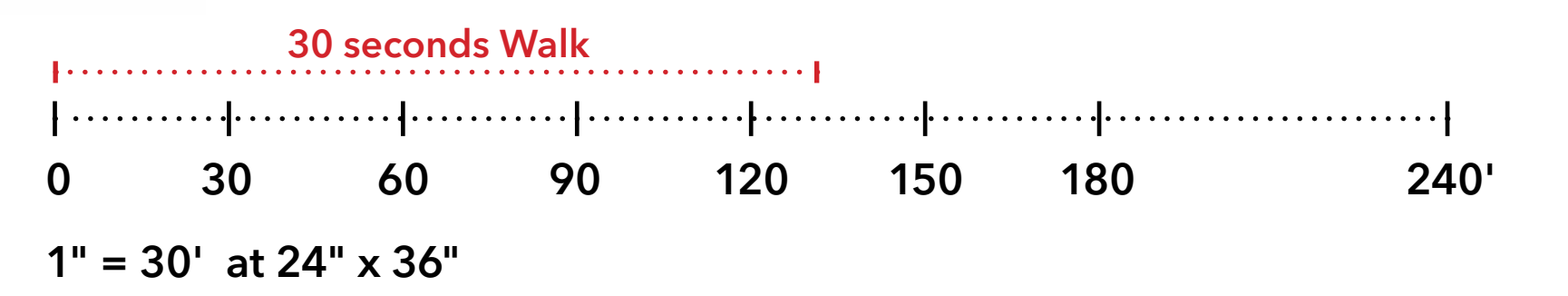
Level 1



Level 1

MPK 58  
1360 Willow Road

MPK 59  
990-998 Hamilton Avenue














# APPENDIX 9

## OFF-SITE HERITAGE TREE REMOVAL PLANS



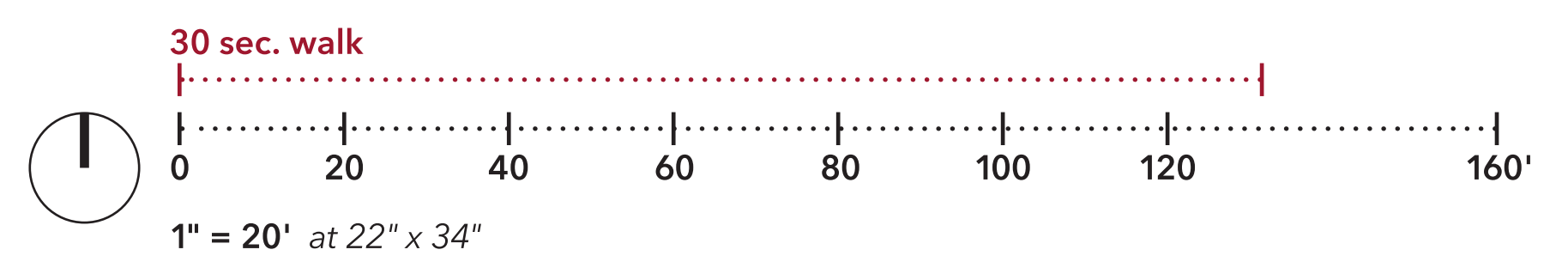


TREE INVENTORY SUMMARY		
<b>Total Trees</b>		<b>82</b>
<b>Trees To-Be Removed</b>		<b>28</b>
	Heritage Street Tree	N/A
	Heritage Tree	N/A
	Non-heritage Street Tree	19
	Non-heritage Tree	9
<b>Trees To Remain</b>		<b>54</b>
	Heritage Street Tree	N/A
	Heritage Tree	7
	Non-heritage Street Tree	6
	Non-heritage Tree	41
<small>Note: All tree replacements will meet minimum tree replacement value determined by the arborist, SBCA Tree Consulting, per arborist report dated August 16, 2022.</small>		
	Proposed Parcel Line	

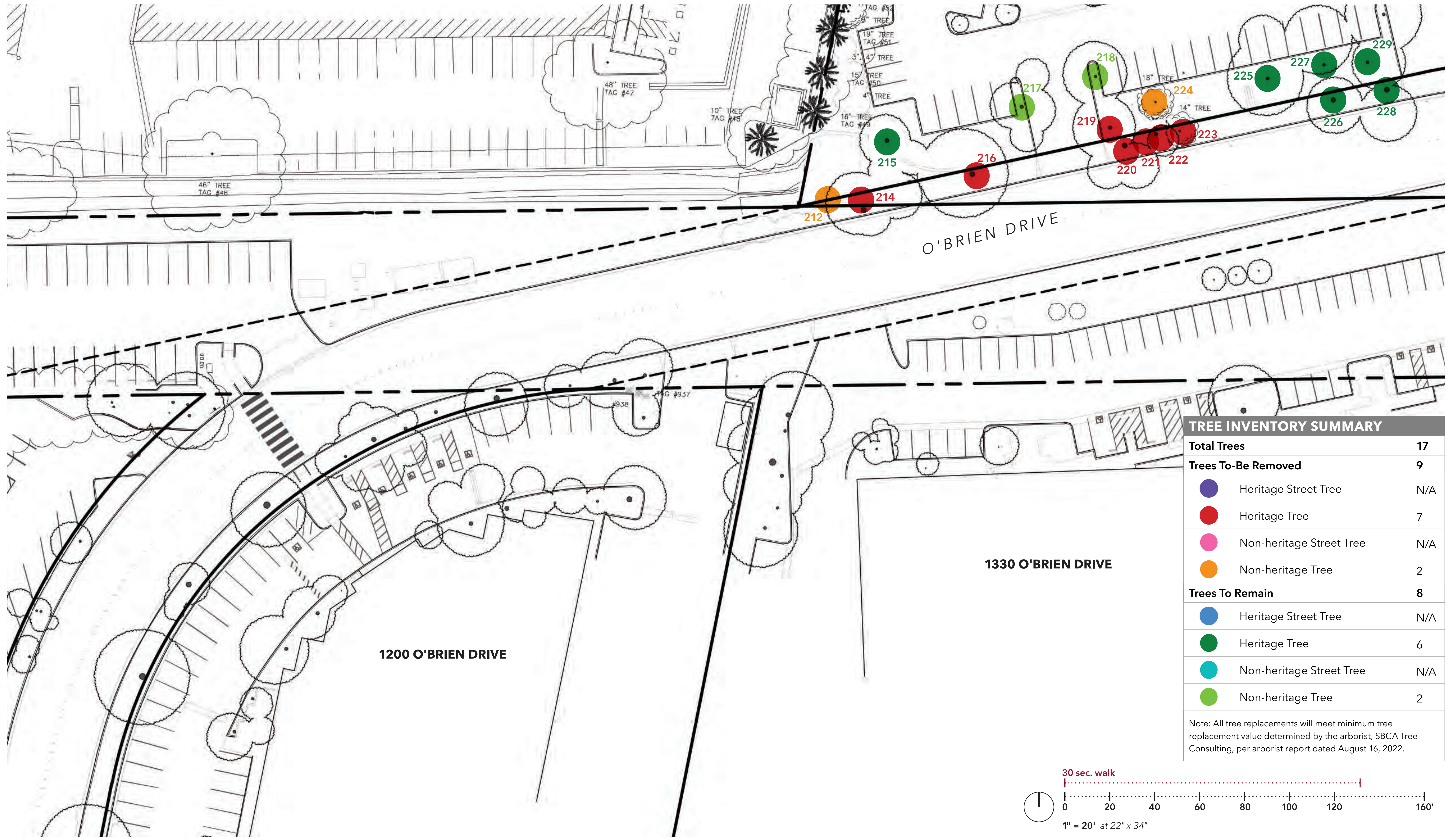




TREE INVENTORY SUMMARY		
Total Trees		59
<b>Trees To-Be Removed</b>		
	Heritage Street Tree	N/A
	Heritage Tree	3
	Non-heritage Street Tree	5
	Non-heritage Tree	25
<b>Trees To Remain</b>		
	Heritage Street Tree	N/A
	Heritage Tree	8
	Non-heritage Street Tree	5
	Non-heritage Tree	13
<small>Note: All tree replacements will meet minimum tree replacement value determined by the arborist, SBCA Tree Consulting, per arborist report dated August 16, 2022.</small>		
	Proposed Parcel Line	

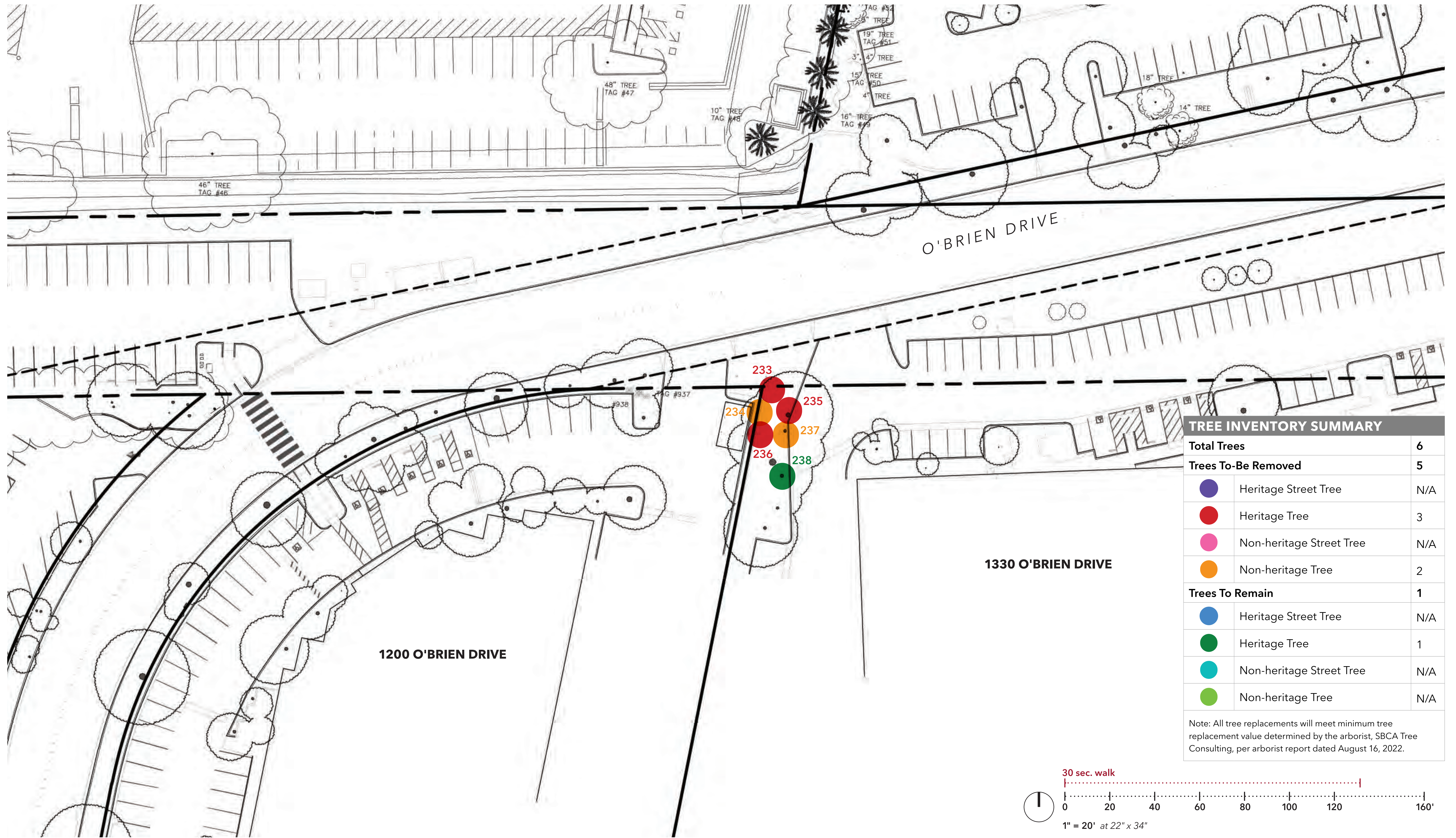












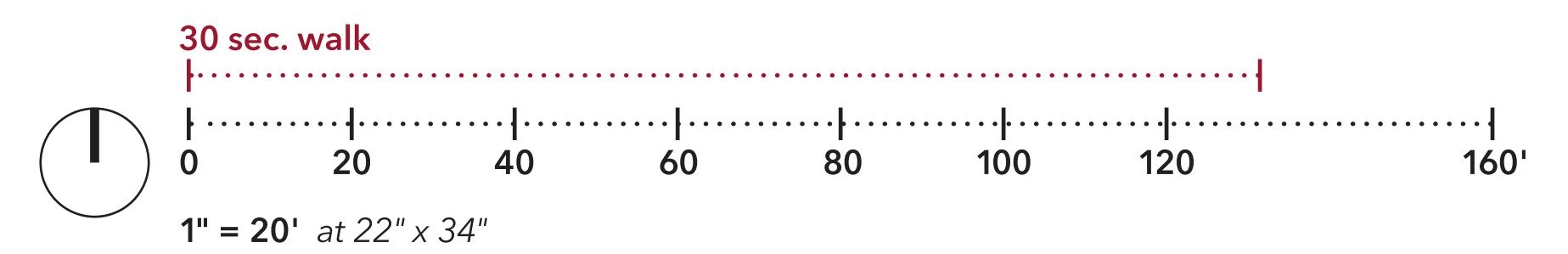


TREE INVENTORY SUMMARY		
<b>Total Trees</b>		<b>17</b>
<b>Trees To-Be Removed</b>		<b>9</b>
	Heritage Street Tree	N/A
	Heritage Tree	7
	Non-heritage Street Tree	N/A
	Non-heritage Tree	2
<b>Trees To Remain</b>		<b>8</b>
	Heritage Street Tree	N/A
	Heritage Tree	6
	Non-heritage Street Tree	N/A
	Non-heritage Tree	2
<small>Note: All tree replacements will meet minimum tree replacement value determined by the arborist, SBCA Tree Consulting, per arborist report dated August 16, 2022.</small>		





TREE INVENTORY SUMMARY		
<b>Total Trees</b>		6
<b>Trees To-Be Removed</b>		5
	Heritage Street Tree	N/A
	Heritage Tree	3
	Non-heritage Street Tree	N/A
	Non-heritage Tree	2
<b>Trees To Remain</b>		1
	Heritage Street Tree	N/A
	Heritage Tree	1
	Non-heritage Street Tree	N/A
	Non-heritage Tree	N/A
<small>Note: All tree replacements will meet minimum tree replacement value determined by the arborist, SBCA Tree Consulting, per arborist report dated August 16, 2022.</small>		










# APPENDIX 10

## CONCEPTUAL ON-SITE RECYCLED WATER SYSTEM





LEGEND	
	Recycled Water Pipe