

**STAFF REPORT****City Council**

Meeting Date: 1/26/2021
Staff Report Number: 21-014-CC

Regular Business: Consideration of design elements for the Menlo Park Community Campus pool

Recommendation

Staff recommends that the City Council approve the revised pool layout for the Menlo Park community campus (MPCC) located at 100-110 Terminal Avenue as shown in Attachment A.

Policy Issues

This project is one of the City's top priorities. A timely decision on the pool layout assists in maintaining the project schedule.

Background

On January 12, 2021, the City Council approved the Menlo Park Community Campus project at 100-110 Terminal Avenue and directed additional review and potential refinements to the pool layout. This staff report focuses on the pool layout. Information related to the project, including all previous meetings, is available on the City-maintained webpage (Attachment B.)

AnalysisCity Council direction on the pool review

The City Council referred the latest pool layout (Attachment C) to the City Council subcommittee for potential refinements subject to the following parameters and final layout approval by the City Council at a special meeting (if needed) no later than January 29, 2021:

- Comply with the Class 2 CEQA exemption
- Fit within the proposed fence line of the pool as show on the project plans
- Be code compliant
- Create no implications for the main building in terms of plumbing fixtures, etc.
- Fit within the pool budget (City Council action would be required to amend project budget and funding agreement)

Pool facilities design elements

The new pool facilities would be constructed in approximately the same location as the existing pool. The existing pool house, which is located at the southeast corner of the lot, would be demolished and a new pool mechanical equipment building would be constructed near the southern property line, close to the PG&E substation. Locker rooms, storage, a lifeguard room, check in and pool operator office space would be integrated into the new community center building. The pool design utilizes the 2017 Belle Haven Pool Audit and Master Plan (Attachment D) as a guiding document to develop programmatic features, while recognizing certain constraints identified above.

A new six-lane performance pool with seven-foot depth can be programmed for lap swim, swim team practice, water polo, smaller swim meets and other more traditional pool activities. Lap lanes are standard 2.5 meters in width allowing shared use during lap swim. A side stair entry and shallow water area (required by code) has been incorporated since the pool layout presented at the January 12, 2021 City Council meeting allowing the full six lanes to be at the desired depth.

The second pool is a shallower warm water pool that can be utilized for children's lessons, aquatics classes and therapy programs. The pool is 35-feet by 55-feet and ranges in-depth from 3.5 feet to 5 feet. The design features an elongated stair access on one side provides a welcoming entry area into the pool. The pool can have lap lanes established, when desired for lap swim. In order to maximize the programmable area, a wading area (18-inch water depth) was removed since the January 12 City Council meeting documents. A beach entry element was evaluated by the design team, but determined to require too much space to incorporate for the value added. In place of the wading area and zero-depth beach entry, an expanded splash pad and play features area is proposed.

Additionally, a focus was made to provide more family seating and shade features. The pool deck area is larger than the existing Belle Haven pool deck and roughly the same size as shown in the master plan document. The project design team feels that the area can be fitted with furnishings to develop an inviting area for families to come swim, play and relax.

Subcommittee review

Since the January 12 City Council meeting, staff met twice with the City Council subcommittee comprised of Vice Mayor Nash and City Councilmember Taylor. The subcommittee expressed support for the revised layout given the established constraints.

Project schedule

If the City Council approves the pool layout January 26, the pool component of the project will stay on track for concurrent completion with the new building. Assuming this remains a high priority project for the City, the project schedule would remain as follows:

- June 2021 – Facility closures
- July to August 2021 – Remediation and demolition
- Spring 2023 – Facilities re-opening

Impact on City Resources

Staff estimates the value of the offer at approximately \$40 million. The City's share of the project includes commitments at both a base level and project enhancements totaling \$15.752 from various funding sources as detailed in Table 1. The cost estimate for the new pool facility is \$7.4 million.

Table 1: Base level budget funding and project enhancements	
Item	Budget
General fund CIP	\$2.098
Library system improvement fund	\$1.484
Recreation in lieu fund	\$1.570
Water capital fund	\$0.800
Parks and Water Bond Act of 2018 (Proposition 68) Grant	\$0.198
Grants and bonations (total target \$1.000M)	\$0.802
Measure T general obligation recreation bonds	\$8.800
Total	\$15.752

Any grants and donations in excess of \$1 million would offset the use of Measure T funds. The Menlo Park Library Foundation (Foundation) graciously stepped forward with an offer to fundraise for the project with an ambitious goal of \$2-3 million in donations.

Environmental Review

On January 12, the City Council found this project categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15302 Replacement of Existing Facilities. The project has substantially the same purpose and capacity as the existing facilities, and this exemption allows for reasonable increases in square footage to accommodate replacement facilities. On January 21, staff filed a Notice of Exemption with the San Mateo County clerk.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. In addition, the City sent electronic notices via Nextdoor, Facebook and directly to project email and text update subscribers from the project page (Attachment B.)

Attachments

- A. Updated pool program layout, dated January 22, 2021
- B. Hyperlink – project page: menlopark.org/communitycampus
- C. Pool layout attached to the January 12, 2021 City Council staff report
- D. 2017 Belle Haven Pool audit and master plan: menlopark.org/DocumentCenter/View/18560/Belle-Haven-Pool-Facility-Audit-and-Master-Plan

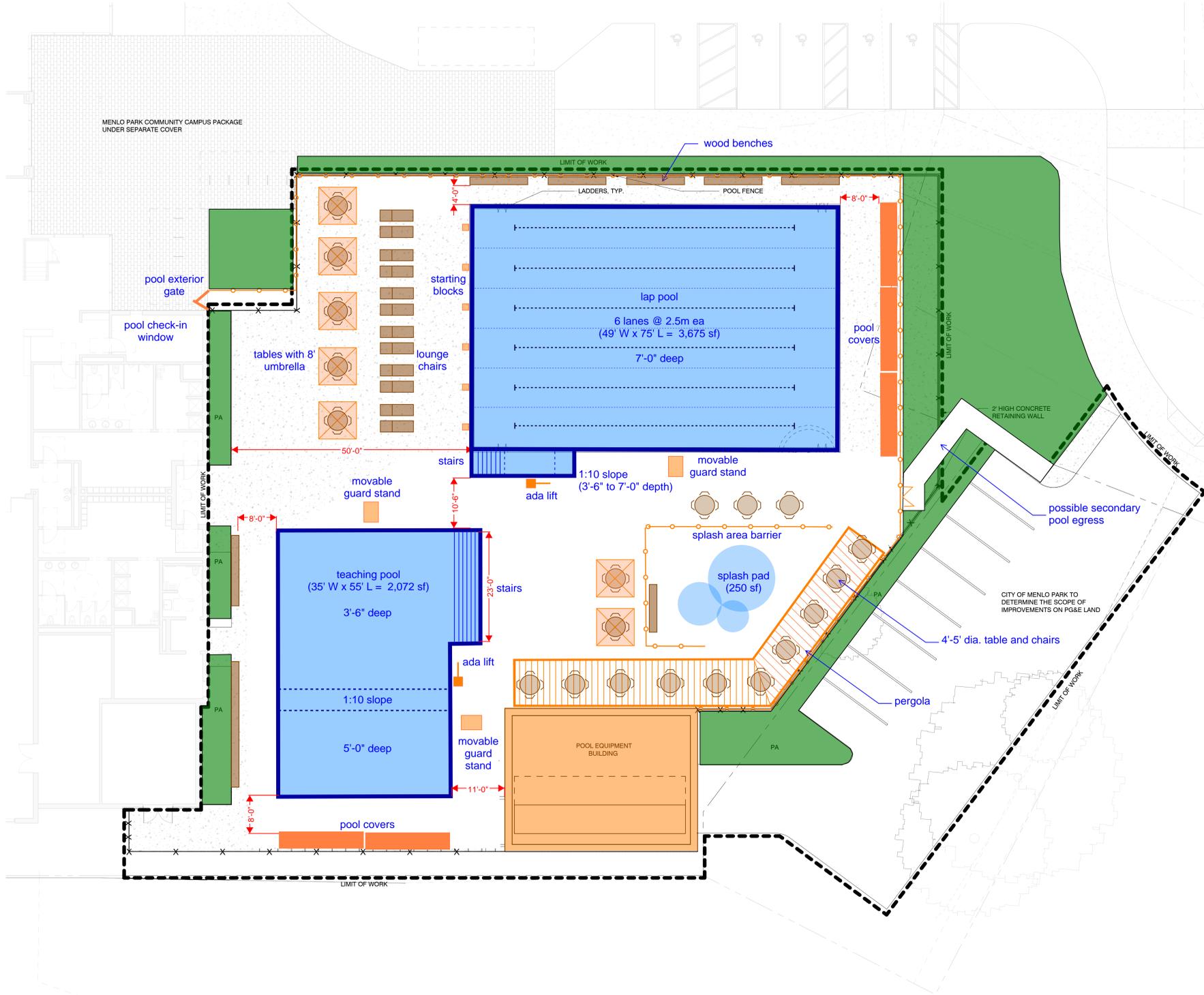
Report prepared by:
 Justin Murphy, Deputy City Manager
 Chris Lamm, Assistant Public Works Director

PAVING LEGEND

1P.1 POOL DECK CONCRETE

HART HOWERTON
SAN FRANCISCO
One Union Street, San Francisco, CA 94111
Tel: 415-489-2200 Fax: 415-489-2201
Email: HF@hartowerton.com

SPLASH PAD OPPORTUNITIES



NOT FOR CONSTRUCTION

Menlo Park Community Campus
100 Terminal Avenue
Menlo Park, CA 94025

SCALE: As indicated
DATE: 10/16/20 ISSUE: 50% SD

REVISIONS

NO.	DATE	ISSUE

POOL MATERIAL PLAN
LP1.01

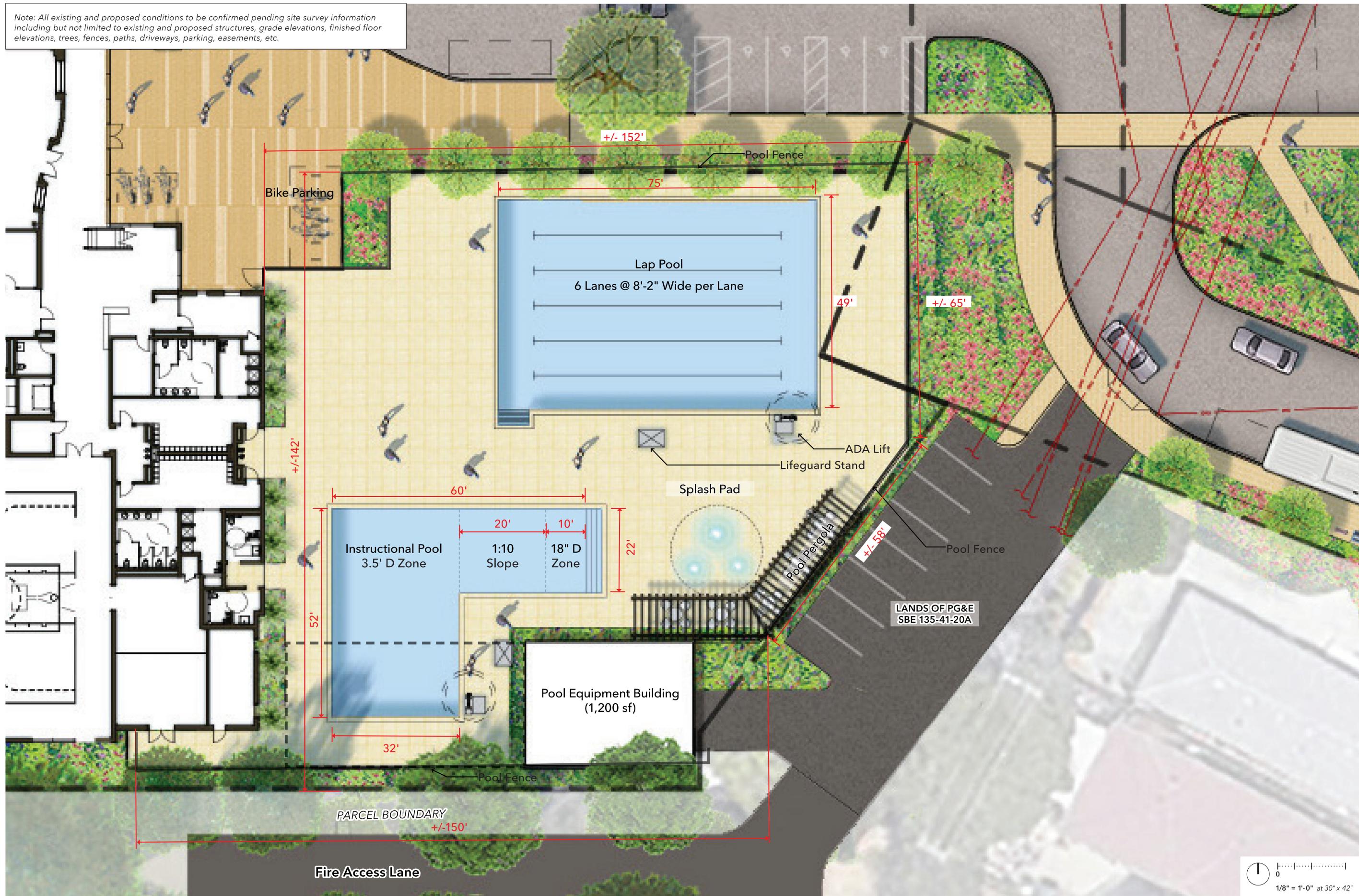
PROJECT #: 19144
DRAWN BY: YZ
CHECKED BY: JL EH
DRAWING NO: LP1.01

PREFERRED POOL PROGRAM LAYOUT

01.22.21



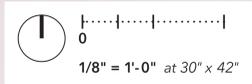
Note: All existing and proposed conditions to be confirmed pending site survey information including but not limited to existing and proposed structures, grade elevations, finished floor elevations, trees, fences, paths, driveways, parking, easements, etc.



Pool Enlargement Plan

Menlo Park Community Campus, Menlo Park, California

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