



COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

701 Laurel Street
Menlo Park, CA 94025
phone: (650) 330-6702
fax: (650) 327-1653
planning@menlopark.org
<http://www.menlopark.org>

FLOOR AREA AND BUILDING COVERAGE DIAGRAMS

When Are Floor Area and Building Coverage Calculations and Diagrams Required As Part of a Plan Set?

For projects with new construction that are adding floor area (either Floor Area Limit (FAL) or Gross Floor Area (GFA)) and/or building coverage, the Planning Division requires diagrams for the calculation of floor area and building coverage. Please provide an additional sheet in the project plan set with these diagrams drawn at a recognized graphic scale so that the square footages listed can be checked for accuracy. The diagrams should at minimum be no smaller than half the scale of the equivalent floor plans.

The diagrams should be overlaid on the proposed floor plans (walls and stairs must be visible), with each floor divided into a minimum number of discrete polygons, listing the length, width, and area of each. For curves or other non-rectangular shapes, list the method of area calculation.

On the ground floor calculation plan, use a unique area calculation box for the garage or carport space. In addition, show area calculation boxes for covered porches, trellises, or any other area that counts as building coverage but not floor area. Shade the building coverage boxes with a distinct pattern.

Floor Area Limit (FAL), Gross Floor Area (GFA), and Building Coverage Defined

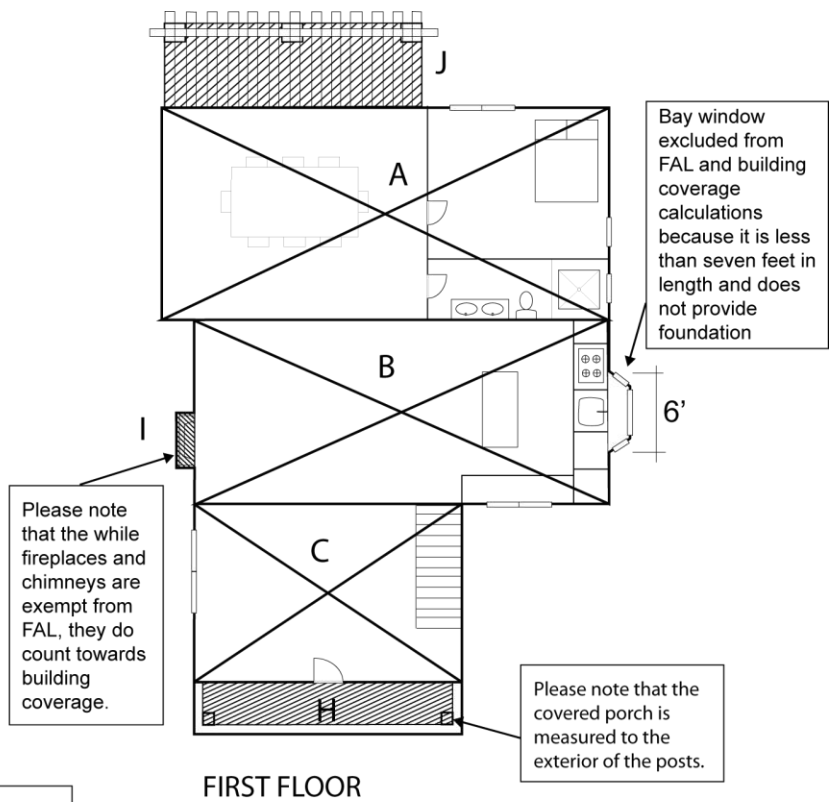
Floor Area Limit (FAL) is used in single-family and R-2 zoning districts, and establishes the maximum amount of square footage permitted to build on a property. FAL is the square footage of all above-ground levels of the house, accessory buildings, and garages or carports. For more details, please see Zoning Ordinance Sections 16.04.313 ("Floor area") and 16.04.314 ("Floor area limit").

Gross Floor Area (GFA) establishes how the maximum amount of floor area is calculated in all other districts of the city. GFA does not include areas devoted to covered parking or enclosures solely for trash and recycling, but does include a number of areas that FAL does not count. For more details, please see Zoning Ordinance Section 16.04.325 ("Gross floor area").

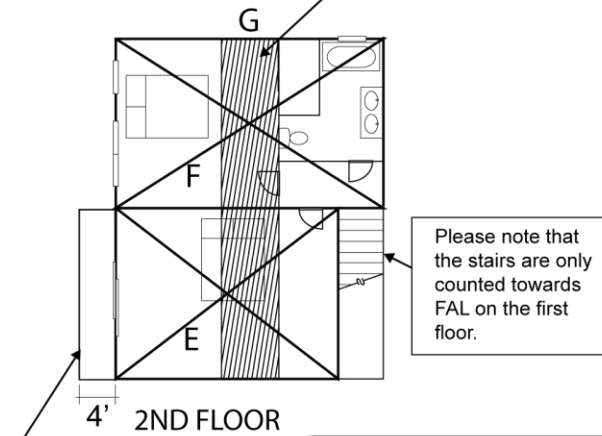
Building coverage (or "land coverage") is the percentage of the project site permitted to be covered by buildings, as measured from the ground upward, exclusive of any eave not in excess of six feet. Building coverage can be considered the footprint of all buildings on the site. Building coverage includes all structures with roofs, including semi-solid roofs such as trellises and arbors. Building coverage is measured in addition to FAL/GFA in many zoning districts.

Floor area limit calculation		
Area	Dimensions	SF
A	14' x 15'	490
B	12' x 30'	360
C	12' x 15'	180
D Garage	12' x 22'	264
E	12' x 14'	168
F	12' x 15'	180
G Attic ≥5	24' x 4'	96
TOTAL FAL		1,738

Building coverage calculation		
Area	Dimensions	SF
H	4' x 15'	60
I	1.5' x 4'	6
J	13' x 6'	78
K	14' x 13'	182
First floor and garage		1,642
TOTAL BUILDING COVERAGE		1,968

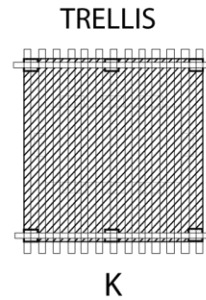
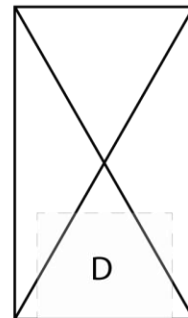


Please note that attic spaces in two-story residences with a height of five feet or greater (from above the ceiling joist to immediately below the roof sheathing inclusive of all roof framing) are counted toward the total floor area limit.



Balcony excluded from FAL and building coverage because it acts as an eave that overhangs less than six feet.

NOTE: This example drawing uses FAL. If GFA is applicable to a project, calculations will differ, although the basic format will be the same.



Please label the polygons with a number or letter and provide a summary table, totaling the square footage for each polygon and the overall total for both building coverage and floor area.

Please note that your drawings should be scaled and should include a graphic and written scale.