



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021	C.U.P. SUBMITTAL
10-28-2021	C.U.P. RESPONSE 1
06-22-2022	C.U.P. RESPONSE 2
10-28-2022	C.U.P. RESPONSE 3

COVER SHEET



© 2020

985 & 1001 O'BRIEN DRIVE 1320 WILLOW ROAD MENLO PARK, CA 94025

PROJECT DATA

BASE FLOOD ELEVATION: 12.8 FT

MUNICIPAL CODE:

CBC 2019
 BUILDING OCCUPANCY: BUSINESS (B)
 TYPE OF CONSTRUCTION: I-B
 FIRE PROTECTION: FULLY SPRINKLERED
 ALLOWABLE AREA: UNLIMITED
 ALLOWABLE HEIGHT: 180 FT; 12 STORIES

ZONING REQUIREMENTS:

LEGAL JURISDICTION: MENLO PARK, CA
 ZONING DESIGNATION: LS-B
 MAXIMUM HEIGHT: 110 FT + 10 FT FLOOD ZONE
 FAR MAX (1.25): 229,520 SF
 COMMERCIAL FAR MAX (0.1): 18,361 SF

PARKING STANDARDS

R&D: 1.5 - 2.5 SPACES / 1000 SF

EV STALLS

10% OF TOTAL + 5% EV READY

BICYCLE: 1 PER 5,000 SF

SHORT TERM: 20% & LONG TERM: 80%

REQUIRED:

SHORT TERM: 9

LONG TERM: 38

TOTAL: 47

"FLOOD ZONE NOTE: PROJECT TO BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS AND THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE.

PROJECT SITE AREA: 183,616 SF

PHASE 1:

SITE: 123,738 SF
 (N) 1005 O'BRIEN DR: 154,381 SF (1.25 FAR)

PHASE 2:

SITE: 59,878 SF
 (N) 1320 WILLOW RD: 73,617 SF (1.23 FAR)

SUMMARY:

R&D AREA: 227,998 SF (1.24 FAR)

BUILDING HEIGHTS:

LEVEL 1 ELEVATION: 14.8 FT (2FT ABOVE BFE)

1005 O'BRIEN DR
 SEE SHEETS A9.5 & A10.1 - A10.3

1320 WILLOW RD
 SEE SHEETS A11.5 & - A12.1 - A12.3

PARKING:

CAR: SEE SHEET A13.1 FOR COUNT
 SEE SHEET A6.1, A6.2 & A13.2 - A13.3 FOR LAYOUT
 BICYCLE: SEE SHEET 13.4

SHOWERS

1005 O'BRIEN DR: 6 (PHASE 1)

1320 WILLOW RD: 2 (PHASE 2)

TOTAL: 8

PROJECT TEAM

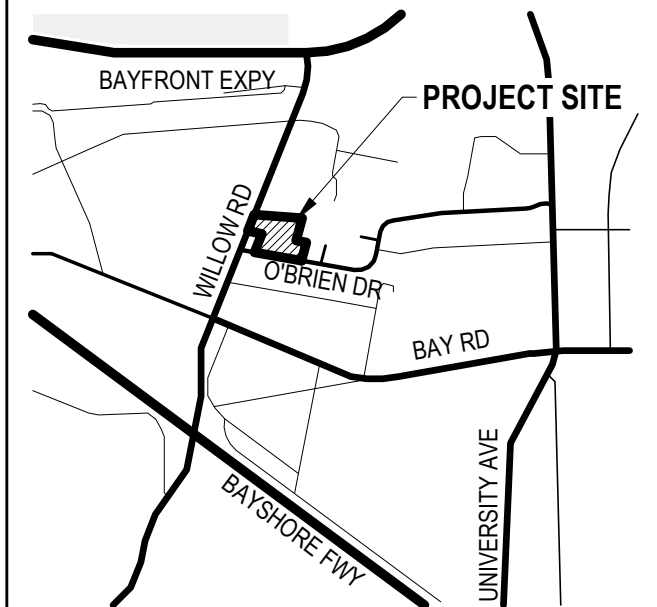
BUILDING OWNER:

O'BRIEN DRIVE PORTFOLIO
 c/o TARLTON PROPERTIES
 1530 O'BRIEN DRIVE, SUITE C
 MENLO PARK, CA 94025
 PHONE: 650.330.3600
 CONTACT: ANTHONY BONIFACIO

ARCHITECT:

DES ARCHITECTS + ENGINEERS
 399 BRADFORD STREET
 REDWOOD CITY, CA 94063
 PHONE: 650.364.6453
 CONTACT: ELKE MACGREGOR

PROJECT LOCATION



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

PROJECT DATA



SHEET LIST

Sheet Number	Sheet Name	Sheet Number	Sheet Name	Sheet Number	Sheet Name
G0	COVER SHEET	A9.4	1005 O'BRIEN LEVEL 3-5	A12.7	1320 WILLOW 3D VIEW OPEN SPACE
G1A	PROJECT DATA	A9.5	1005 O'BRIEN ROOF DECK	A12.8	1320 WILLOW 3D MASSING
G1B	SHEET INDEX	A9.6	1005 O'BRIEN ROOF PLAN	A12.9	GARAGE MATERIAL BOARD
G1C	SHEET INDEX	A10	1005 BUILDING MATERIAL BOARD	A13.0	GARAGE ELEVATIONS
G2.1A	1005 OBD - LEED SCORECARD	A10.1	1005 O'BRIEN BUILDING ELEVATIONS	A13.1	PARKING COUNT & GARAGE SECTION
G2.1B	1005 OBD - LEED BOUNDARY SITE PLAN	A10.2	1005 O'BRIEN BUILDING ELEVATIONS	A13.2	GARAGE PLANS PHASE 1
G2.2A	1302 WILLOW - LEED SCORECARD	A10.3A	1005 O'BRIEN CROSS SECTION & STREETScape - PHASE 1	A13.3	GARAGE PLANS PHASE 2
G2.2B	1320 WILLOW - LEED BOUNDARY SITE PLAN	A10.3B	1320 WILLOW CROSS SECTION & STREETScape - PHASE 1	A13.4	LONG TERM BIKE STORAGE
A1	EXISTING SITE CONDITIONS - AERIAL PLAN	A10.4	1005 O'BRIEN 3D MASSING	A13.5	GARAGE 3D MASSING - PHASE 1
A2	EXISTING SITE CONDITIONS - SITE PHOTOS	A10.5	1005 O'BRIEN 3D MASSING	A13.6	GARAGE 3D MASSING - PHASE 2
A3.1	EXISTING SITE PLAN	A10.6	1005 O'BRIEN 3D MASSING	A13.7	GARAGE 3D MASSING - PHASE 2
A3.2	PHASING PLAN - PHASE 1	A10.7	1005 O'BRIEN 3D MASSING	A14	TRASH ENCLOSURE - 1005 O'BRIEN & 1320 WILLOW
A3.3	PHASING PLAN - PHASE 2	A10.8	1005 O'BRIEN 3D MASSING	L1.1	EXISTING TREE PLAN
A4.1	985 OBD EXISTING GROSS AREA	A10.20	SPORTS COURT 3D MASSING	L1.2	EXISTING TREE DISPOSITION TABLE
A4.2	1001 OBD EXISTING GROSS AREA	A10.21	SPORTS COURT 3D MASSING	L2.1A	PHASE 1 PROPOSED LANDSCAPE PLAN
A4.3	1320 WILLOW EXISTING GROSS AREA	A11	PHASE 1 HEIGHT CALCULATION	L2.1B	PHASE 2 PROPOSED LANDSCAPE PLAN
A5.1	985 O'BRIEN DR TOPOGRAPHIC SURVEY	A11.1	1320 WILLOW BLDG. MODULATION	L2.1C	LANDSCAPE SPACE DIAGRAM
A5.2	1001 O'BRIEN DR TOPOGRAPHIC SURVEY	A11.1A	1320 WILLOW GROSS FLOOR AREA DIAGRAMS	L2.1D	PROPOSED AMENITY PLAN AT PUBLIC SPACE
A5.3	1320 WILLOW RD TOPOGRAPHIC SURVEY	A11.1B	1320 WILLOW GROSS FLOOR AREA DIAGRAMS	L2.2A	PHASE 1 ENLARGED ROOF DECK PLAN
A6.1	PHASE 1 PROPOSED SITE PLAN	A11.2	1320 WILLOW LEVEL 1	L2.2B	PHASE 2 ENLARGED ROOF DECK PLAN
A6.2	PHASE 2 PROPOSED SITE PLAN	A11.3	1320 WILLOW LEVEL 2	L2.3A	PHASE 1 PROPOSED PLANTING PLAN
A7	NEIGHBORHOOD OPEN SPACE	A11.4	1320 WILLOW LEVEL 3	L2.3B	PHASE 2 PROPOSED PLANTING PLAN
A7.1	PHASE 1 OPEN SPACE DIAGRAM	A11.5	1320 WILLOW LEVEL 4 /ROOF DECK	L3	PROPOSED LANDSCAPE IMAGERY
A7.2	PHASE 2 OPEN SPACE DIAGRAM	A11.6	1320 WILLOW ROOF	L4	PROPOSED PUBLIC AMENITY IMAGERY
A7.3	PHASE 1 & 2 FRONTAGE DIAGRAM	A11.7	PHASE 2 HEIGHT CALCULATION	C1.1	FIRE TRUCK TURNING AND HYDRANT EXHIBIT
A7.4	OVERALL SITE LANDSCAPE AREA CALCS	A12	1320 BUILDING MATERIAL BOARD	C1.2	RECOLOGY TRUCK TURNING EXHIBIT
A8	SITE SERVICE / EMERGENCY PLAN	A12.1	1320 WILLOW BUILDING ELEVATIONS	C1.3	DELIVERY TRUCK EXHIBIT
A9	1005 O'BRIEN BLDG. MODULATION	A12.2	1320 WILLOW BUILDING ELEVATIONS	C2.1	PHASE 1 PRELIMINARY GRADING PLAN
A9.1A	1005 O'BRIEN GROSS FLOOR AREA DIAGRAMS	A12.3A	1320 WILLOW CROSS SECTION & STREETScape - PHASE 2	C2.2	PHASE 2 PRELIMINARY GRADING PLAN
A9.1B	1005 O'BRIEN GROSS FLOOR AREA DIAGRAMS	A12.3B	1005 O'BRIEN CROSS SECTION & STREETScape - PHASE 2	C3.1A	PHASE 1 PRELIMINARY STORMWATER MANAGEMENT PLAN
A9.2	1005 O'BRIEN LEVEL 1	A12.4	1320 WILLOW 3D MASSING	C3.1B	PHASE 1 OVERALL EXISTING PERVIOUS/IMPERVIOUS AREA
A9.3	1005 O'BRIEN LEVEL 2	A12.5	1320 WILLOW 3D MASSING		
		A12.6	1320 WILLOW 3D MASSING		

BIM 360//Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

SHEET INDEX

G1B



SHEET LIST

Sheet Number	Sheet Name
C3.1C	PHASE 1 OVERALL PROPOSED PERVIOUS/IMPERVIOUS AREA
C3.2A	PHASE 2 PRELIMINARY STORMWATER MANAGEMENT PLAN
C3.2B	PHASE 2 OVERALL EXISTING PERVIOUS/IMPERVIOUS AREA
C3.2C	PHASE 2 OVERALL PROPOSED PERVIOUS/IMPERVIOUS AREA
C4.1	PHASE 1 PRELIMINARY UTILITY PLAN
C4.2	PHASE 2 PRELIMINARY UTILITY PLAN
C6.1	PHASE 1 GRADING SECTIONS
C6.2	PHASE 2 GRADING SECTIONS
LP.1	PHASE 1 PHOTOMETRY PLAN
LP.2	PHASE 2 PHOTOMETRY PLAN

B:\M 360\Tarlton - MenloParkLabs\10025002_A_10050BD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

SHEET INDEX





LEED v4 for BD+C: Core and Shell
Project Checklist

Project Name: 1005 O'Brien Drive
Date: 10/28/22

Y ? N
1 0 0

Credit Integrative Process 1

7 3 10 Location and Transportation 20

7	3	10	Credit	LEED for Neighborhood Development Location	20
2			Credit	Sensitive Land Protection	2
	3		Credit	High Priority Site	3
2		4	Credit	Surrounding Density and Diverse Uses	6
		6	Credit	Access to Quality Transit	6
1			Credit	Bicycle Facilities	1
1			Credit	Reduced Parking Footprint	1
1			Credit	Green Vehicles	1

5 2 4 Sustainable Sites 11

Y			Prereq	Construction Activity Pollution Prevention	Required
1			Credit	Site Assessment	1
	2		Credit	Site Development - Protect or Restore Habitat	2
1			Credit	Open Space	1
		3	Credit	Rainwater Management	3
1		1	Credit	Heat Island Reduction	2
1			Credit	Light Pollution Reduction	1
1			Credit	Tenant Design and Construction Guidelines	1

8 2 1 Water Efficiency 11

Y			Prereq	Outdoor Water Use Reduction	Required
Y			Prereq	Indoor Water Use Reduction	Required
Y			Prereq	Building-Level Water Metering	Required
1	1		Credit	Outdoor Water Use Reduction	2
4	1	1	Credit	Indoor Water Use Reduction	6
2			Credit	Cooling Tower Water Use	2
1			Credit	Water Metering	1

22 11 Energy and Atmosphere 33

Y			Prereq	Fundamental Commissioning and Verification	Required
Y			Prereq	Minimum Energy Performance	Required
Y			Prereq	Building-Level Energy Metering	Required
Y			Prereq	Fundamental Refrigerant Management	Required
3	3		Credit	Enhanced Commissioning	6
11	7		Credit	Optimize Energy Performance	18
1			Credit	Advanced Energy Metering	1
1	1		Credit	Demand Response	2
3			Credit	Renewable Energy Production	3
1			Credit	Enhanced Refrigerant Management	1
2			Credit	Green Power and Carbon Offsets	2

5 9 Materials and Resources 14

Y			Prereq	Storage and Collection of Recyclables	Required
Y			Prereq	Construction and Demolition Waste Management Planning	Required
	6		Credit	Building Life-Cycle Impact Reduction	6
1	1		Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
1	1		Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
1	1		Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit	Construction and Demolition Waste Management	2

8 2 Indoor Environmental Quality 10

Y			Prereq	Minimum Indoor Air Quality Performance	Required
Y			Prereq	Environmental Tobacco Smoke Control	Required
2			Credit	Enhanced Indoor Air Quality Strategies	2
3			Credit	Low-Emitting Materials	3
1			Credit	Construction Indoor Air Quality Management Plan	1
1	2		Credit	Daylight	3
1			Credit	Quality Views	1

6 Innovation 6

1			Credit	Green Cleaning / IPM	1
1			Credit	Green Building Education	1
1			Credit	Active Tenant or EP Renewable Energy	1
1			Credit	Pilot: MRpc87 verified C&D Recycling Rate	1
1			Credit	EP: HPD, LEM, EPD or Enhance IAQ	1
1			Credit	LEED Accredited Professional	1

3 1 Regional Priority 4

		1	Credit	RP: Access to quality transit (5)	1
1			Credit	RP: Optimize Energy Performance (10)	1
1			Credit	RP: Indoor Water Use Reduction (4)	1
1			Credit	Regional Priority: BPDO-Raw Materials	1

65 29 16 TOTALS Possible Points: **110**

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

10-28-2022 C.U.P RESPONSE 3

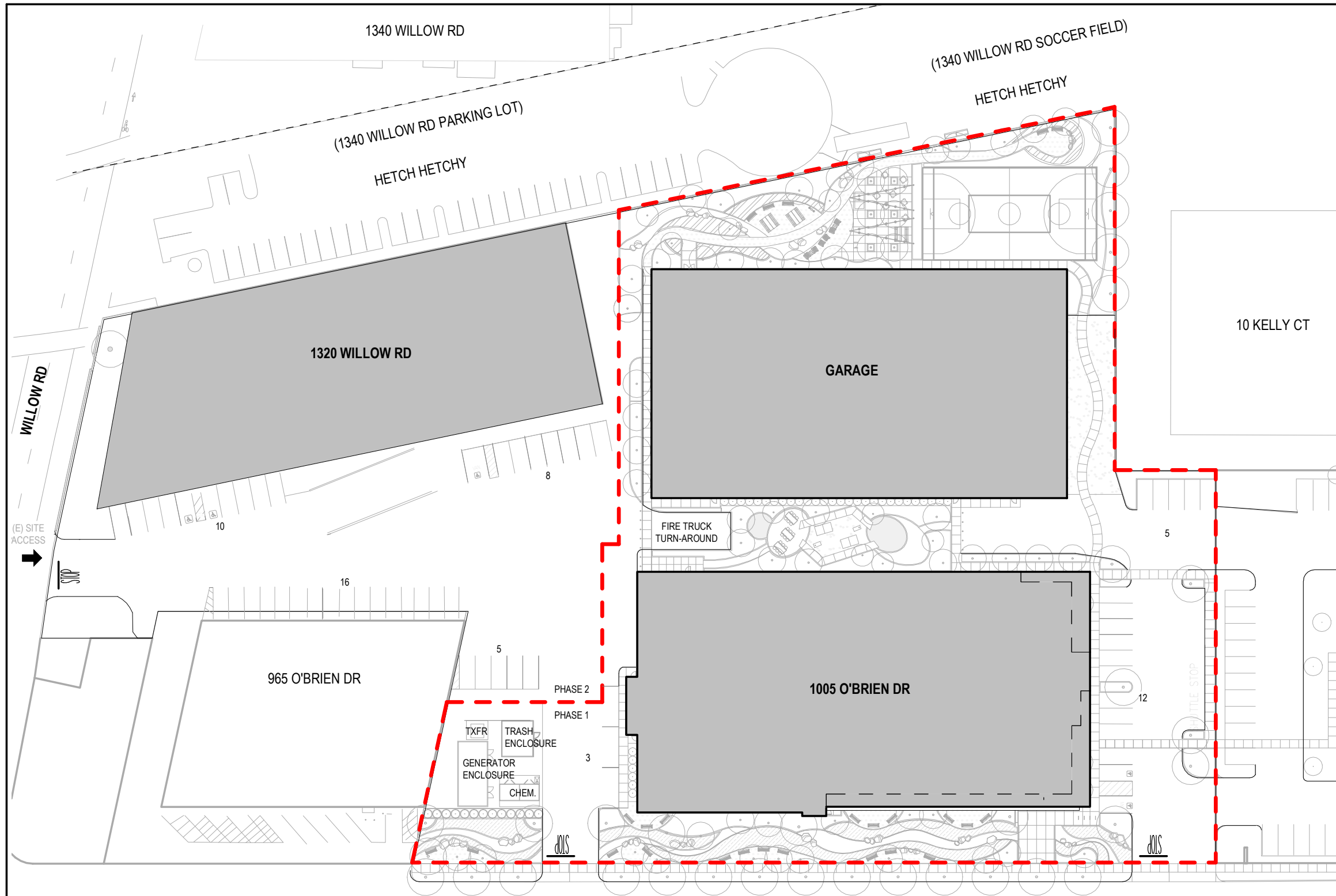
1005 OBD - LEED SCORECARD

G2.1A



© 2020

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



LEGEND

--- LEED BOUNDARY LINE



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

10-28-2022 C.U.P RESPONSE 3

1005 OBD - LEED BOUNDARY SITE PLAN

G2.1B



© 2020



LEED v4 for BD+C: Core and Shell
Project Checklist

Project Name: 1320 Willow Road
Date: 10/28/22

Y ? N
1 0 0

Credit Integrative Process 1

7 3 10 Location and Transportation 20

7	3	10	Credit	LEED for Neighborhood Development Location	20
2			Credit	Sensitive Land Protection	2
	3		Credit	High Priority Site	3
2		4	Credit	Surrounding Density and Diverse Uses	6
		6	Credit	Access to Quality Transit	6
1			Credit	Bicycle Facilities	1
1			Credit	Reduced Parking Footprint	1
1			Credit	Green Vehicles	1

5 2 4 Sustainable Sites 11

Y			Prereq	Construction Activity Pollution Prevention	Required
1			Credit	Site Assessment	1
	2		Credit	Site Development - Protect or Restore Habitat	2
1			Credit	Open Space	1
		3	Credit	Rainwater Management	3
1		1	Credit	Heat Island Reduction	2
1			Credit	Light Pollution Reduction	1
1			Credit	Tenant Design and Construction Guidelines	1

6 2 3 Water Efficiency 11

Y			Prereq	Outdoor Water Use Reduction	Required
Y			Prereq	Indoor Water Use Reduction	Required
Y			Prereq	Building-Level Water Metering	Required
1	1		Credit	Outdoor Water Use Reduction	2
4	1	1	Credit	Indoor Water Use Reduction	6
		2	Credit	Cooling Tower Water Use	2
1			Credit	Water Metering	1

20 13 Energy and Atmosphere 33

Y			Prereq	Fundamental Commissioning and Verification	Required
Y			Prereq	Minimum Energy Performance	Required
Y			Prereq	Building-Level Energy Metering	Required
Y			Prereq	Fundamental Refrigerant Management	Required
3	3		Credit	Enhanced Commissioning	6
9	9		Credit	Optimize Energy Performance	18
1			Credit	Advanced Energy Metering	1
1	1		Credit	Demand Response	2
3			Credit	Renewable Energy Production	3
1			Credit	Enhanced Refrigerant Management	1
2			Credit	Green Power and Carbon Offsets	2

2 12 Materials and Resources 14

Y			Prereq	Storage and Collection of Recyclables	Required
Y			Prereq	Construction and Demolition Waste Management Planning	Required
	6		Credit	Building Life-Cycle Impact Reduction	6
	2		Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
	2		Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
	2		Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit	Construction and Demolition Waste Management	2

6 4 Indoor Environmental Quality 10

Y			Prereq	Minimum Indoor Air Quality Performance	Required
Y			Prereq	Environmental Tobacco Smoke Control	Required
2			Credit	Enhanced Indoor Air Quality Strategies	2
1	2		Credit	Low-Emitting Materials	3
1			Credit	Construction Indoor Air Quality Management Plan	1
1	2		Credit	Daylight	3
1			Credit	Quality Views	1

6 Innovation 6

1			Credit	Green Cleaning / IPM	1
1			Credit	Green Building Education	1
1			Credit	Active Tenant or EP Renewable Energy	1
1			Credit	Pilot: MRpc87 verified C&D Recycling Rate	1
1			Credit	EP: HPD, LEM, EPD or Enhance IAQ	1
1			Credit	LEED Accredited Professional	1

2 1 1 Regional Priority 4

		1	Credit	RP: Access to quality transit (5)	1
	1		Credit	RP: Optimize Energy Performance (10)	1
1			Credit	RP: Indoor Water Use Reduction (4)	1
1			Credit	Regional Priority: BPDO-Raw Materials	1

55 37 18 TOTALS Possible Points: **110**

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

10-28-2022 C.U.P RESPONSE 3

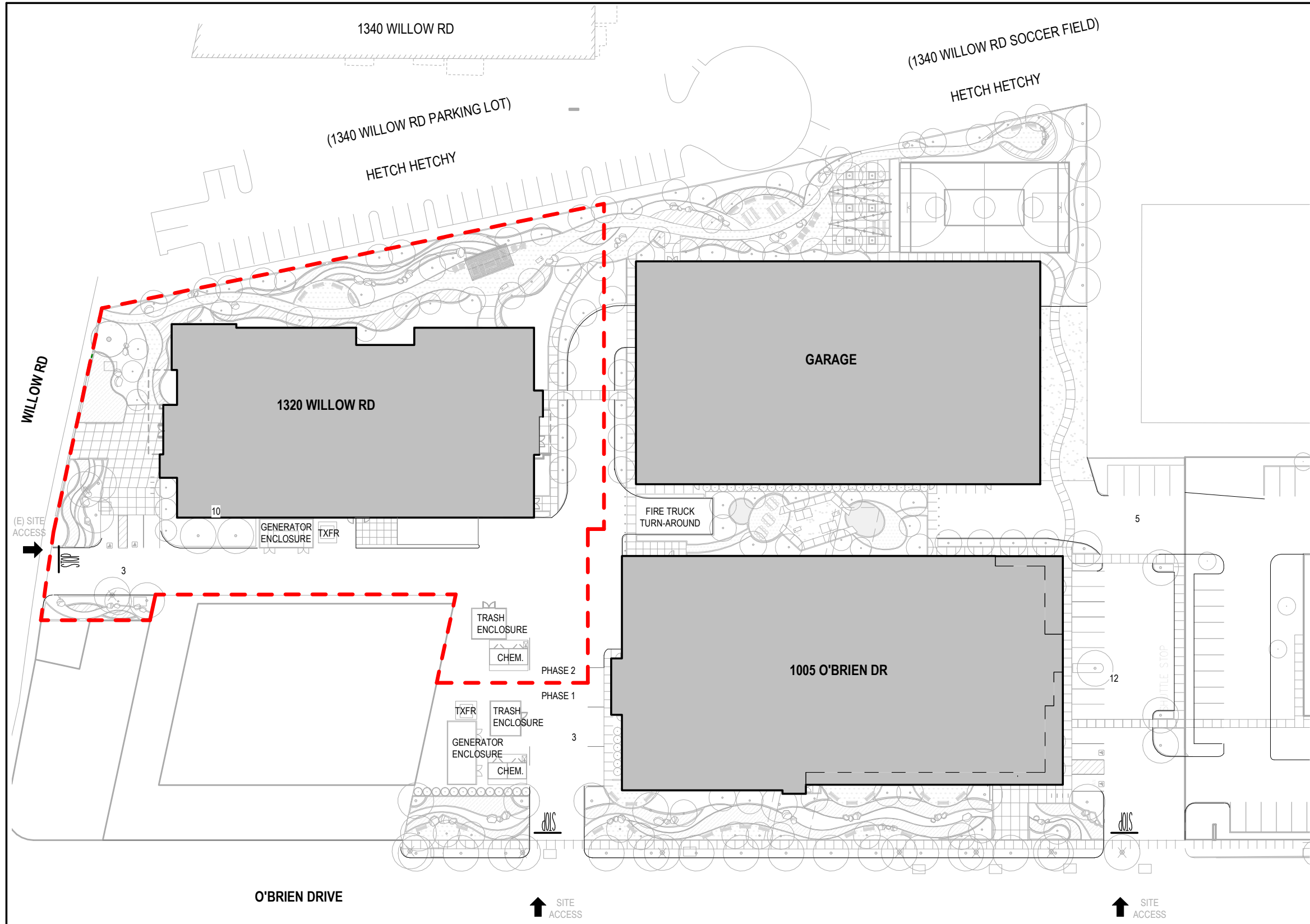
1302 WILLOW - LEED SCORECARD

G2.2A




© 2020

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



LEGEND

	LEED BOUNDARY LINE
---	--------------------



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

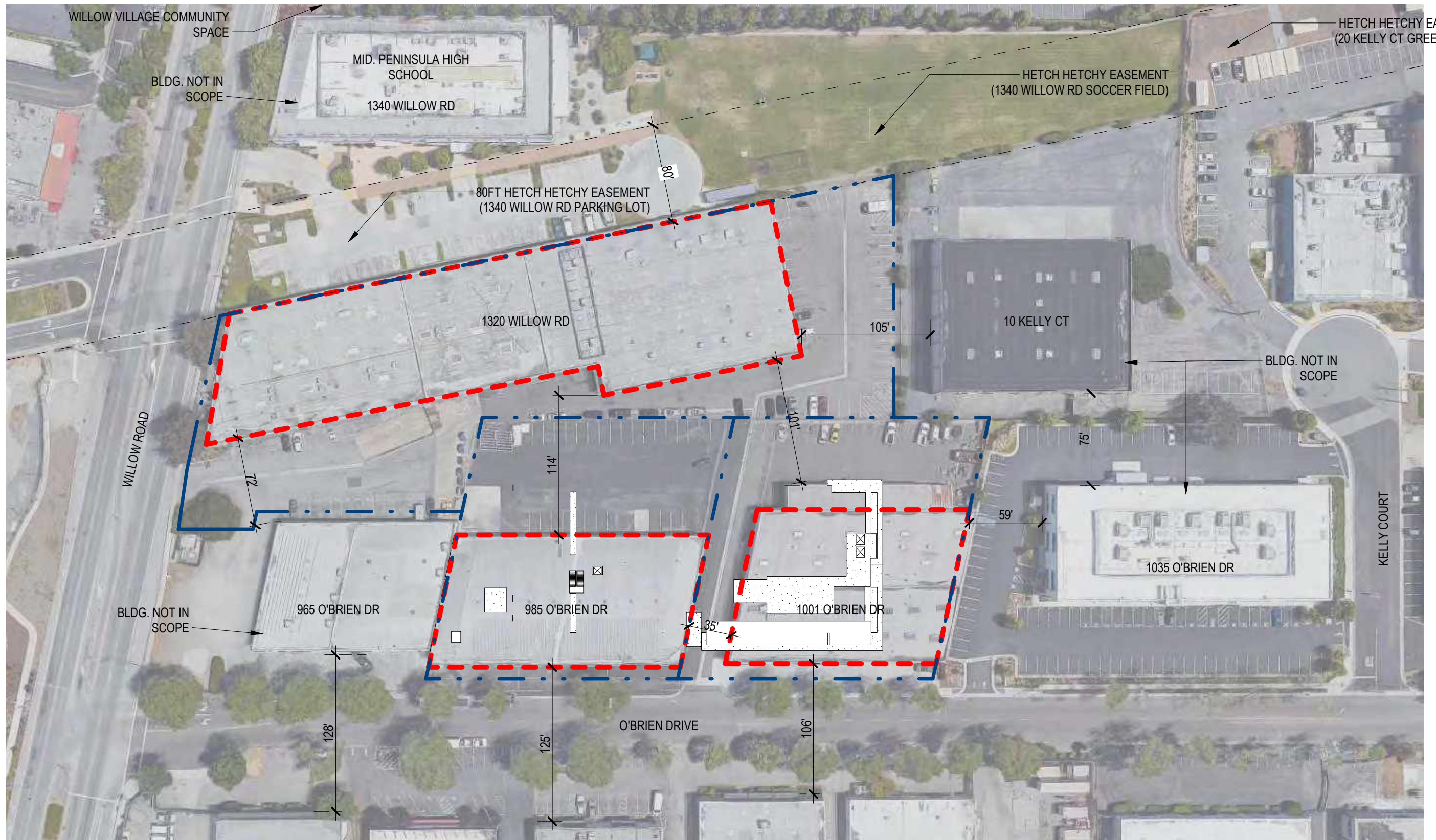
10-28-2022 C.U.P RESPONSE 3

1320 WILLOW - LEED BOUNDARY
 SITE PLAN

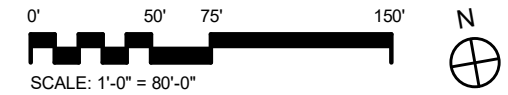
G2.2B



© 2020



- - - - - PROPERTY LINES
 - - - - - PROPOSED BUILDINGS TO BE DEMOLISHED



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

**EXISTING SITE CONDITIONS -
 AERIAL PLAN**





1A 1320 WILLOW RD - NW ELEVATION



1B 1320 WILLOW RD - SW ELEVATION



2A 1001 O'BRIEN DR - SW ELEVATION



2B 1001 O'BRIEN DR - S ELEVATION



2C 1001 O'BRIEN DR - SE ELEVATION



3A 985 O'BRIEN DR - S ELEVATION



3B 985 O'BRIEN DR - SE ELEVATION



4 10 KELLY CT - E ELEVATION



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

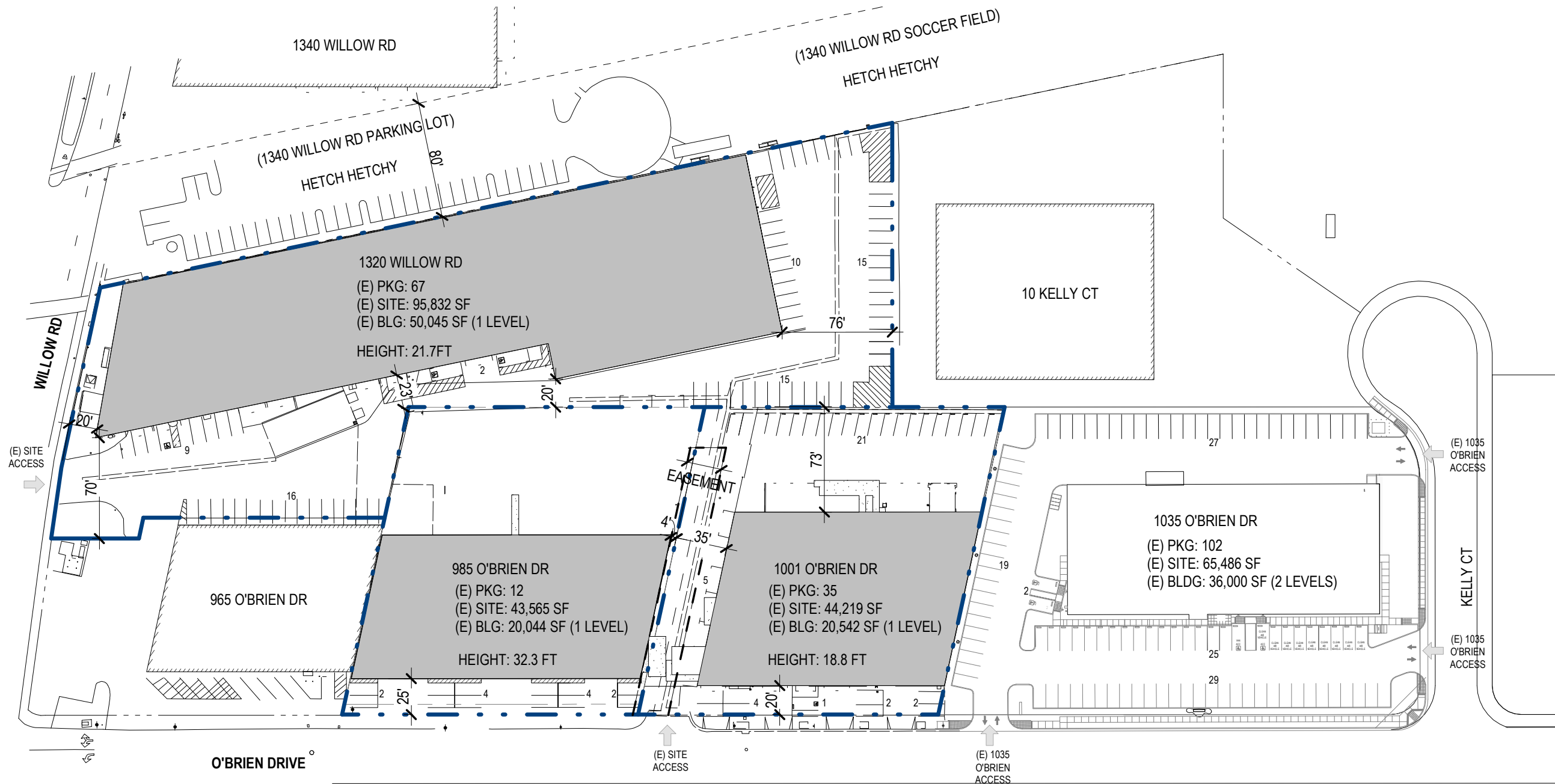


985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

EXISTING SITE CONDITIONS - SITE
PHOTOS





1 EXISTING SITE PLAN
 1" = 80'-0"

- · — · — · — EXISTING PROPERTY LINES
- - - - - 20.42' INGRESS EGRESS EASEMENT & NON-EXCLUSIVE DRAINAGE FOR RAIN WATER (TO BE REMOVED)



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

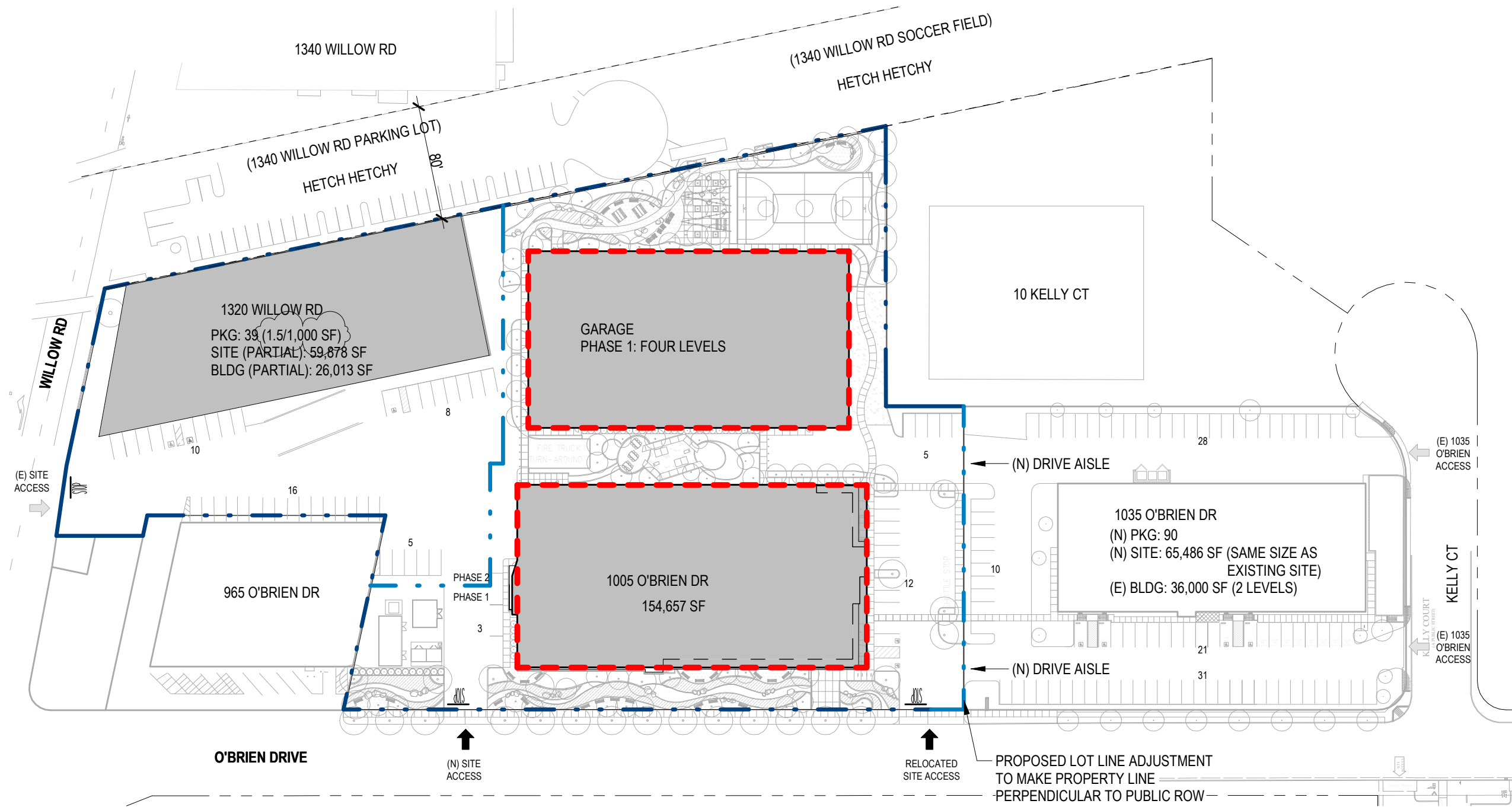
04-15-2021 D.R.T. REVIEW
 06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2

EXISTING SITE PLAN

A3.1



© 2020

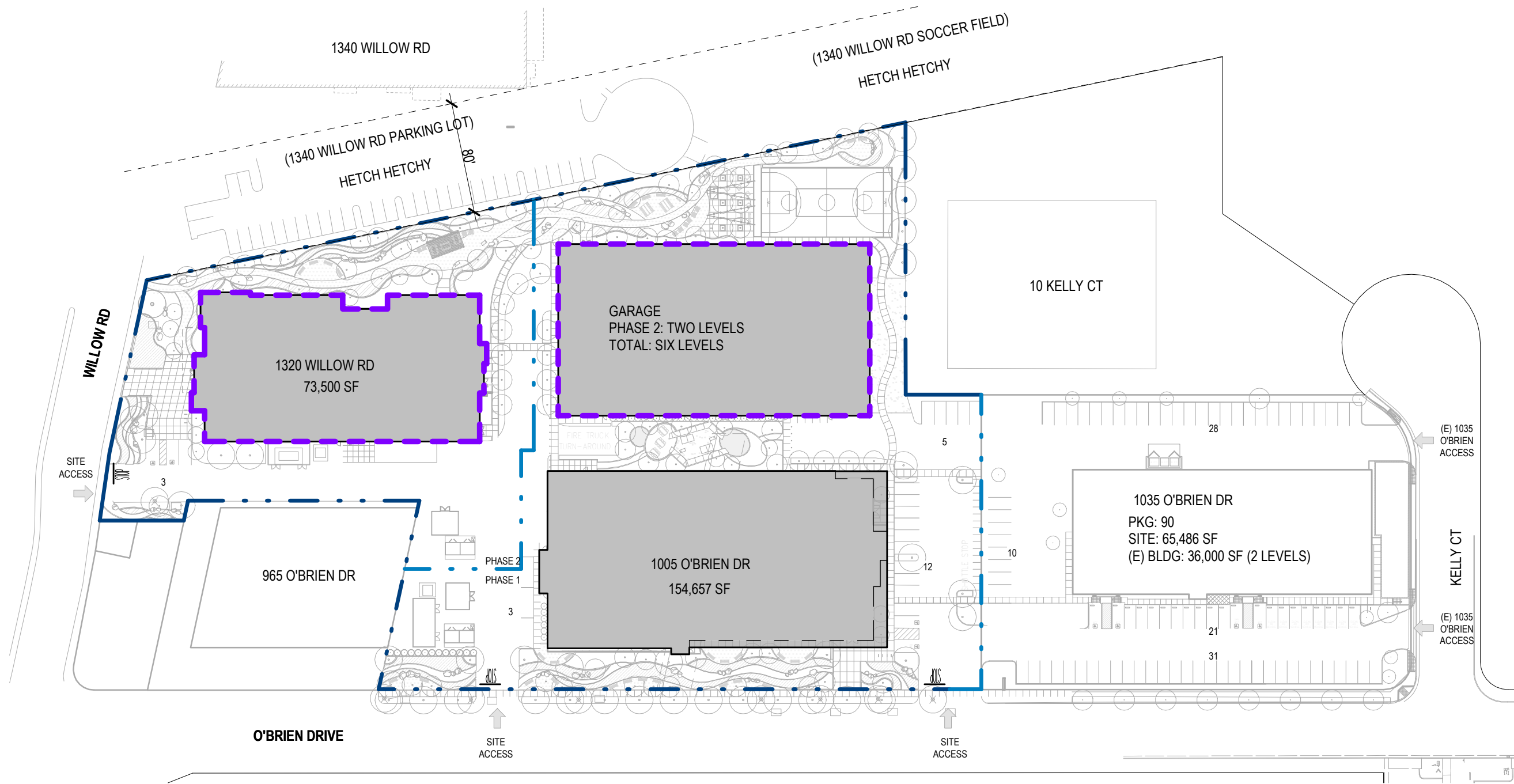


1 PHASE 1
1" = 80'-0"

PHASE 1 SITE: 123,738 SF

- · — · — · — · EXISTING PROPERTY LINES
- · — · — · — · LOT LINE ADJUSTMENT DURING PHASE 1
- - - - - PHASE 1 BUILDINGS



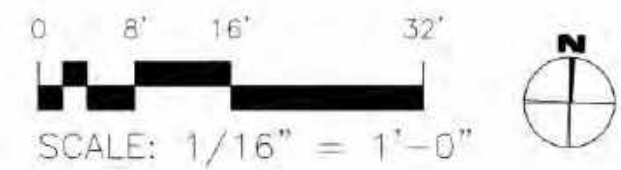
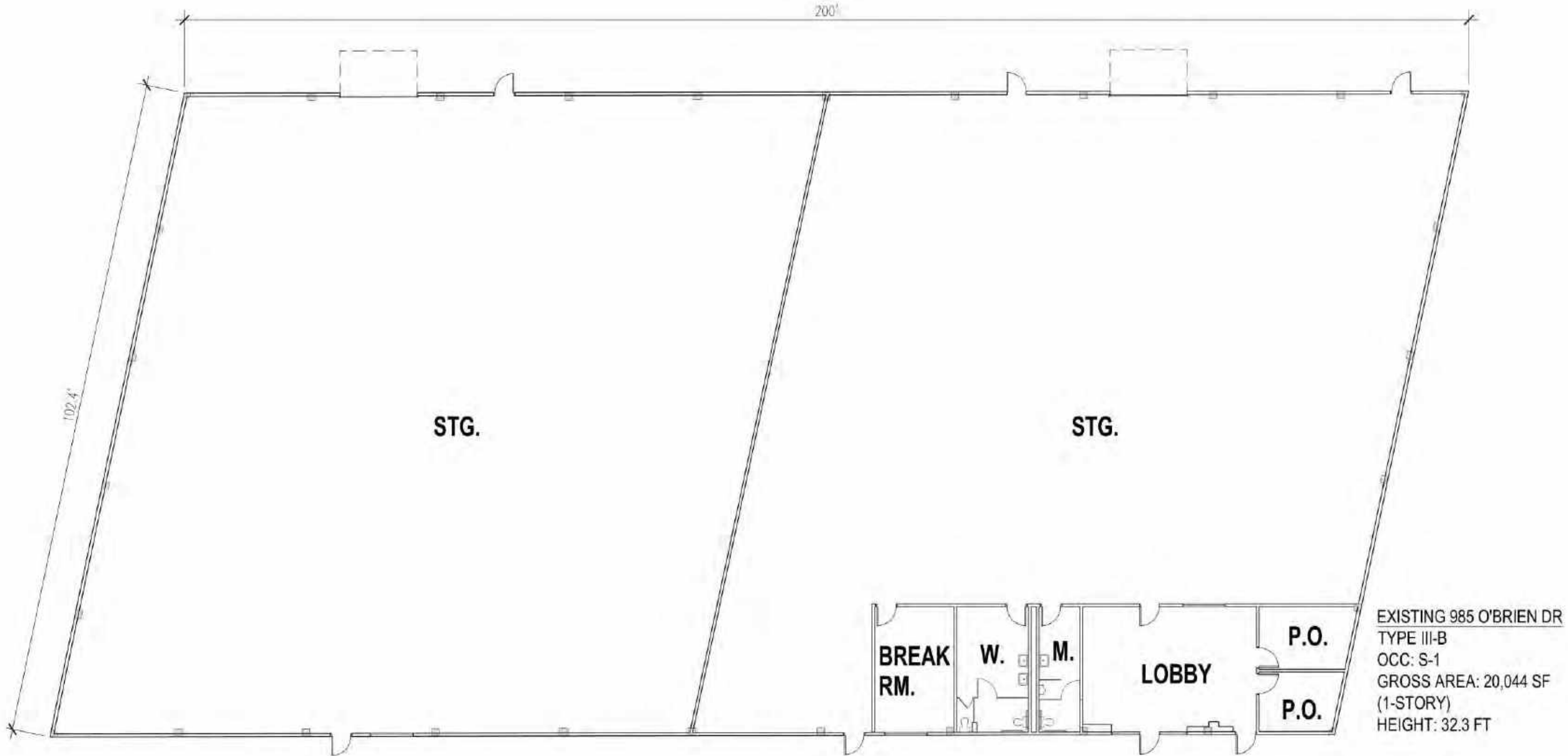


1 PHASE 2
1" = 80'-0"

PHASE 2 SITE: 59,878 SF

- · — · — EXISTING PROPERTY LINES
- · — · — LOT LINE ADJUSTMENT DURING PHASE 1
- - - - - PHASE 2 BUILDINGS





BLDG TO BE DEMOLISHED



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

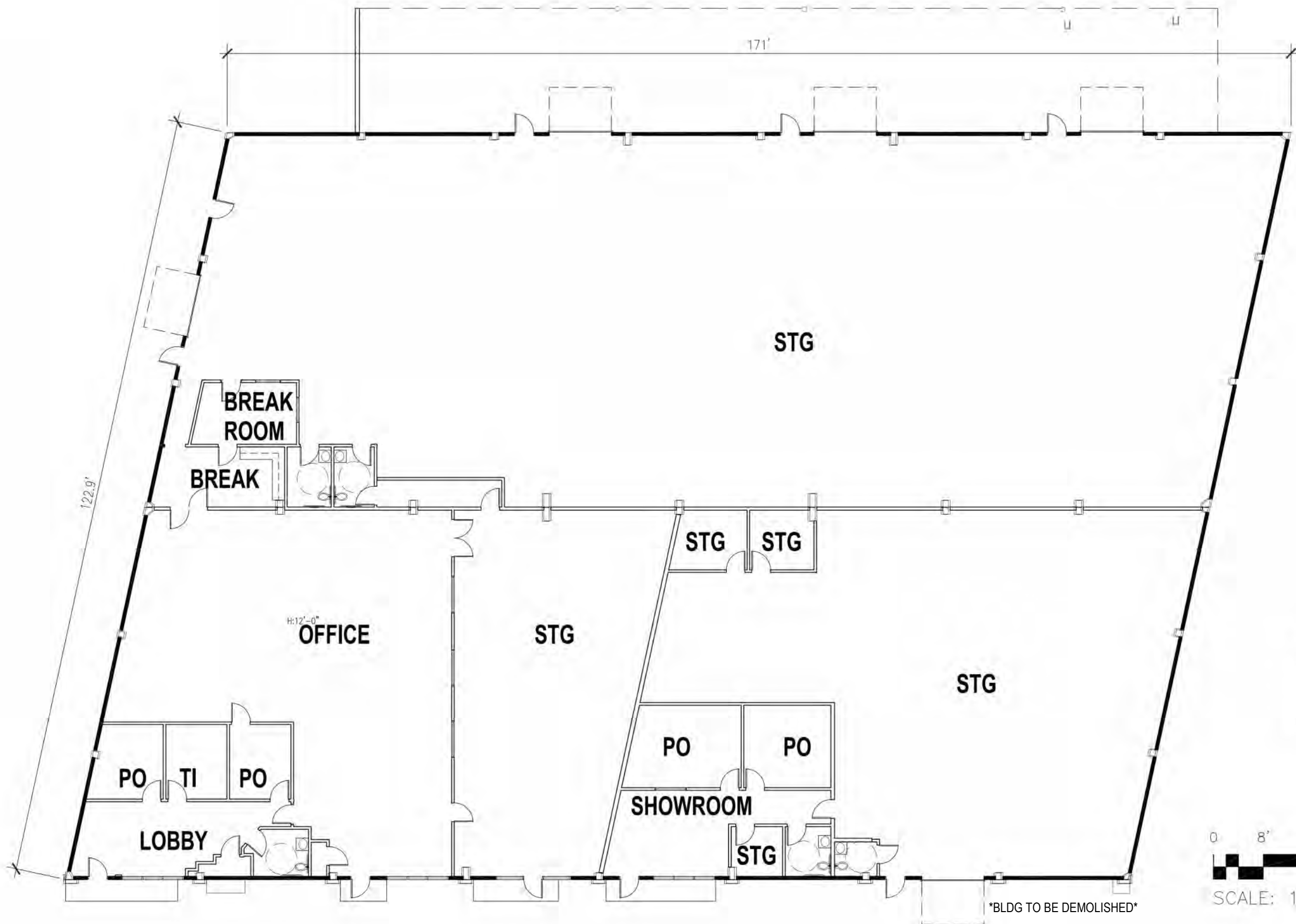
06-23-2021	C.U.P. SUBMITTAL
10-28-2021	C.U.P. RESPONSE 1
06-22-2022	C.U.P. RESPONSE 2
10-28-2022	C.U.P. RESPONSE 3

985 OBD EXISTING GROSS AREA

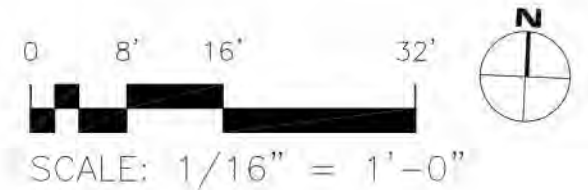
A4.1



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



EXISTING 1001 O'BRIEN DR
 TYPE III-B
 OCC: S-1/B
 GROSS AREA: 20,542 SF
 (1-STORY)
 HEIGHT: 18.8 FT



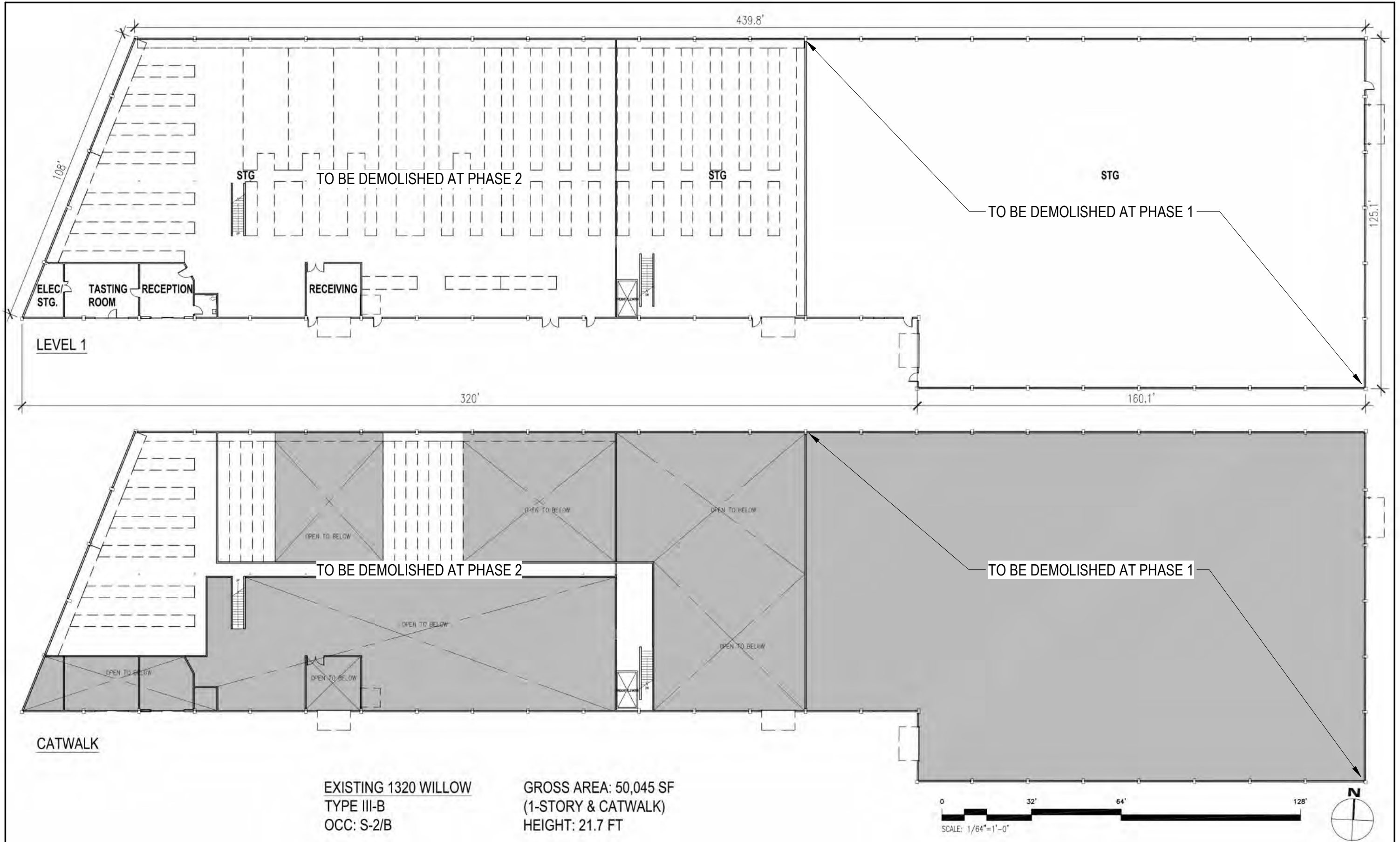
985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

1001 OBD EXISTING GROSS AREA

A4.2
 DES ARCHITECTS ENGINEERS

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



EXISTING 1320 WILLOW
 TYPE III-B
 OCC: S-2/B

GROSS AREA: 50,045 SF
 (1-STORY & CATWALK)
 HEIGHT: 21.7 FT



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

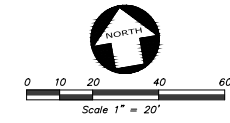
06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW EXISTING GROSS
 AREA

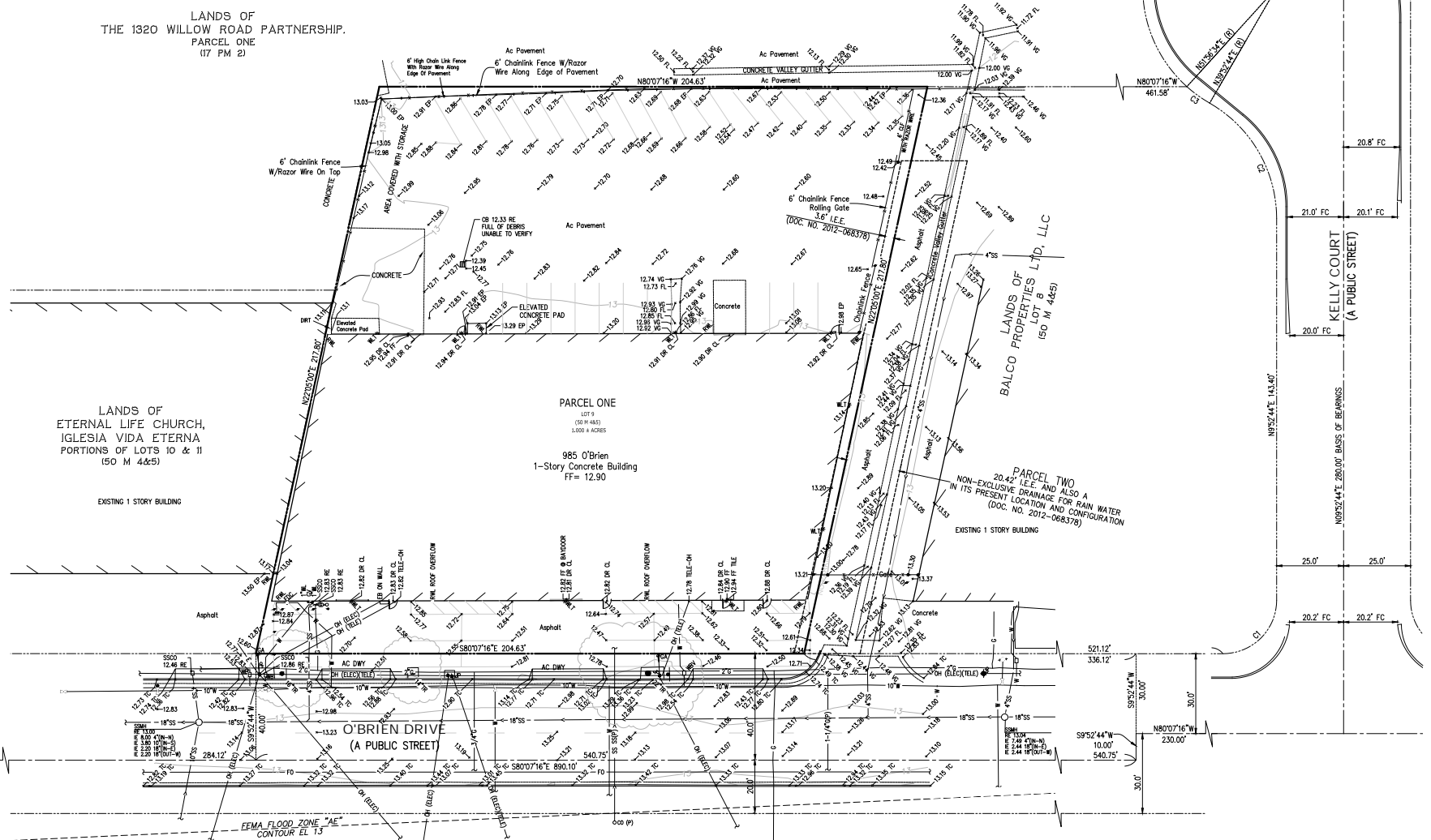
A4.3



CURVE TABLE			
CURVE #	RADIUS	DELTA	LENGTH
C1	20.00'	90°00'00"	31.42'
C2	50.00'	60°00'00"	52.36'
C3	50.00'	120°35'50"	10.53'



- LEGEND**
- ASPHALT BERM
 - BUILDING LINE
 - CONCRETE CURB & GUTTER
 - MAJOR CONTOUR LINE
 - MIRROR CONTOUR LINE
 - CRIBWAY
 - EASEMENT LINE
 - EDGE OF PAVEMENT
 - EDGE OF WATER/FLOWLINE
 - ELECTRIC LINE
 - FENCE LINE
 - FEMA FLOOD ZONE CONTOUR (APPROXIMATE LOCATION)
 - FIBER OPTICS LINE
 - GAS LINE-VALVE & METER
 - LOT LINE
 - MONUMENT/MONUMENT LINE
 - OVERHEAD POWER LINE
 - PROPERTY LINE
 - SANITARY SEWER LINE-MANHOLE & CLEANOUT
 - SPOT ELEVATION
 - STORM DRAIN LINE-MANHOLE & CATCH BASIN
 - WATER LINE & VALVE
 - WELL
- ABBREVIATIONS**
- AC ASPHALT CONCRETE
 - AD AREA DRAIN
 - BEG BEGIN
 - BLD BUILDING
 - BOL BOLLARD
 - CB CATCH BASIN
 - CL CENTER LINE
 - CLN CHAIN LINK FENCE
 - CO CLEANOUT
 - DI DRAIN INLET
 - DS DOWN SPOUT
 - DWY DRIVEWAY
 - E EAST
 - EB ELECTRIC BOX
 - ELEC ELECTRICAL LINE
 - EP EDGE OF PAVEMENT
 - FC FACE OF CURB
 - FF FINISH FLOOR
 - FH FIRE HYDRANT
 - FL FLOW LINE
 - FO FOUNDATION
 - FM FACE OF MALL
 - FN FIBER OPTICS
 - FOG FOG SIGNAL
 - GA GAS
 - GV GAS VALVE
 - GM GAS METER/METER
 - GM GUY ANCHOR
 - GV GUY VALVE
 - I.E.E. INGRESS EGRESS EASEMENT
 - IE INVERT ELEVATION
 - JP JOINT POWER POLE
 - LP LIP OF GUTTER
 - LL LANE LINE
 - LT LIGHT
 - MON MONUMENT
 - N NORTH
 - OP OVERHEAD
 - P PAVEMENT
 - PG PAGE
 - PM PARCEL MAP
 - RE RM ELEVATION
 - RF ROOF LINE
 - RR RAILROAD RAIL
 - RWL RAIN WATER LEADER
 - S SOUTH
 - SMH STORM DRAIN MANHOLE
 - SS SANITARY SEWER
 - SSCO SANITARY SEWER CLEANOUT
 - SMH SANITARY SEWER MANHOLE
 - TO TOP OF CURB
 - TELE TELEPHONE LINE
 - TR TREE
 - VG VALLEY GUTTER
 - W WEST
 - WB WATER BOX
 - WBV WATER BOX WITH VALVE
 - WL WATER LINE
 - WL WALL LIGHT
 - WV WATER VALVE



NOTES

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED DECEMBER 16, 2020, ORDER NUMBER NCS-104975-SM. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING ON-SITE UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED BY FIELD LOCATING AND MAPPED BY SUBDYNAMIC LOCATING SERVICES, INC. ON 02-29-2021. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 0608100307E FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH AN EFFECTIVE DATE OF OCTOBER 12, 2012, AS BEING LOCATED IN FLOOD ZONE "AE". ACCORDING TO FEMA THE DEFINITION OF ZONE "AE" IS: SPECIAL FLOOD HAZARD AREA WITH BASE FLOOD ELEVATIONS DETERMINED.
- BENCHMARK: W-150, U.S. COAST GEODETIC SURVEY BENCHMARK DISK STAMPED "W 150", "1983" SET IN TOP OF CONCRETE MONUMENT, 0.8 MILE NORTHEAST ALONG WILLOW ROAD FROM THE INTERSECTION OF BAYSHORE HIGHWAY AT MENLO PARK, AT THE NORTHEAST CITY LIMITS OF MENLO PARK, AT THE CROSSING OF THE SOUTHERN PACIFIC COMPANY RAILROAD, 35 FEET WEST OF THE CENTER LINE OF THE ROAD, 19.5 FEET NORTH OF THE NORTH RAIL, 10.3 FEET NORTHWEST OF THE SOUTHWEST CORNER OF THE CONCRETE BASE OF A CROSSING SIGNAL, 1.0 FOOT EAST OF A WITNESS POST, ABOUT LEVEL WITH THE TRACK AND THE ROAD, FLUSH WITH THE GROUND, AND SET IN TOP OF A CONCRETE POST. ELEVATION: 9.884 FEET (NGVD 1988 DATUM).
- BASES OF BEARINGS: THE BEARING OF NORTH 09°52'44" EAST TAKEN ON THE CENTERLINE OF KELLY COURT AS SHOWN THAT CERTAIN PARCEL MAP FILED FOR RECORD ON FEBRUARY 27, 1991 IN BOOK 64 OF PARCEL MAPS AT PAGE 66, SAN MATEO COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.
- CORNER RECORD NOTE: THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

NOTE: THIS SITE HAS FIBER OPTIC LINES LOCATED ON OR ADJACENT TO IT.

J.R. Usher
 PREPARED BY OR UNDER THE SUPERVISION OF
 DATE 02-23-2021
 JAWY R. VOL P.L.S. 9229



DATE	FEB. 2021
SCALE	AS SHOWN
SURVEYOR	JRW
DRAWN BY	DWA
JOB NO.	A13116-4
SHEET	C1.0
OF	1 SHEET

TOPOGRAPHIC SURVEY
 OF
 985 O'BRIEN DRIVE
 O'BRIEN DRIVE PORTFOLIO, LLC

KIER+WRIGHT
 2805 Collier Canyon Road
 Livermore, CA 94551
 Phone: (925) 346-8188
 www.kierwright.com

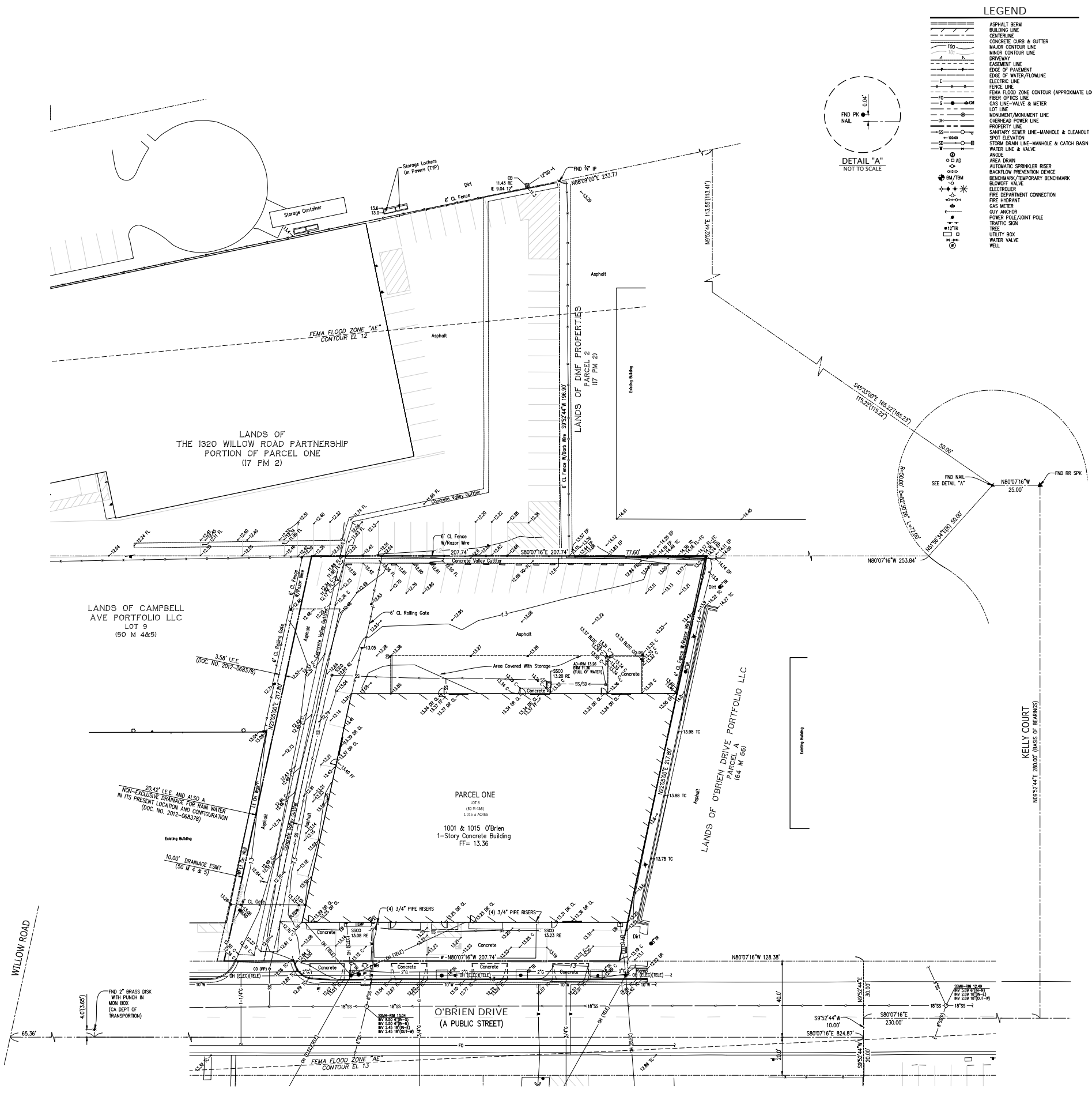
CALIFORNIA

- 04-15-2021 D.R.T. REVIEW
- 06-23-2021 C.U.P. SUBMITTAL
- 10-28-2021 C.U.P. RESPONSE 1
- 03-08-2022 C.U.P. RESPONSE 2

A5.1
 N.T.S.

SCALED TOPO AS AN ATTACHMENT

2025_A15124-3-DWG(SURVEY) (TOP) (15-A15124-3.dwg 2-23-21 03:00:00 PM kwh/bs)

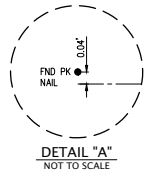
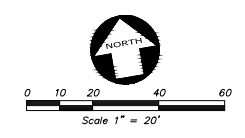


LEGEND

Table listing symbols for various survey features: ASPHALT BERM, BUILDING LINE, CENTERLINE, CONCRETE CURB & GUTTER, MAJOR CONTOUR LINE, MINOR CONTOUR LINE, DRIVEWAY, EASEMENT LINE, EDGE OF PAVEMENT, EDGE OF WATER/FLOWLINE, ELECTRIC LINE, FENCE LINE, FEMA FLOOD ZONE CONTOUR (APPROXIMATE LOCATION), FIBER OPTICS LINE, GAS LINE-VALVE & METER, LOT LINE, MONUMENT/ADJUNCTION LINE, OVERHEAD POWER LINE, PROPERTY LINE, SANITARY SEWER LINE-MANHOLE & CLEANOUT, SPOT ELEVATION, STORM DRAIN LINE-MANHOLE & CATCH BASIN, WATER LINE & VALVE, ANODE, AREA DRAIN, AUTOMATIC SPRINKLER RISER, BACKFLOW PREVENTION DEVICE, BENCHMARK/TEMPORARY BENCHMARK, BLOWOFF VALVE, ELECTRODE, FIRE DEPARTMENT CONNECTION, FIRE HYDRANT, GAS METER, GUY ANCHOR, POWER POLE/JOINT POLE, TRAFFIC SIGN, UTILITY BOX, WATER VALVE, WELL.

ABBREVIATIONS

Table of abbreviations for survey features: AC (ASPHALT CONCRETE), AD (AREA DRAIN), BEG (BEGIN), BL (BUILDING LINE), BLDG (BUILDING), BOLL (BOLLARD), BR (BOTTOM RAMP), CB (CATCH BASIN), CL (CENTER LINE), CLF (CHAIN LINK FENCE), CO (CLEANOUT), DI (DRAIN INLET), DR (DOOR), DS (DOWN SPOUT), DWY (DRIVEWAY), EAST, EB (ELECTRIC BOX), ELEC (ELECTRICAL LINE), EP (EDGE OF PAVEMENT), FC (FACE OF CURB), FF (FINISH FLOOR), FH (FIRE HYDRANT), FL (FLOW LINE), FOND (FOUND), FO (FIBER OPTICS), FWM (FACE OF WALL), GA (GUY ANCHOR), GAS (GAS LINE), GMA (GAS MARKER/METER), GUY (GUY ANCHOR), GV (GAS VALVE), I.E.E. (INDESTRUCTIBLE EASEMENT), IE (INVERT ELEVATION), IP (IRON PIPE), JFP (JOINT POWER POLE), LG (LINE OF GUTTER), LL (LINE LINE), LT (LIGHT), M (MONUMENT), MON (MONUMENT), N (NORTH), OH (OVERHEAD), PG (PAGE), PMS (PANEL MAP), RE (RIM ELEVATION), RL (ROOF LINE), RAIL (RAILROAD RAIL), RNL (RAIN WATER LEADER), S (SOUTH), SDR (STORM DRAIN MANHOLE), SS (SANITARY SEWER), SSCD (SANITARY SEWER CLEAN OUT), SSMH (SANITARY SEWER MANHOLE), TC (TOP OF CURB), TEL (TELEPHONE LINE), TR (TREE), V (VALLEY), W (WEST), WB (WATER BOX), WWT (WATER BOX WITH VALVE), WDE (WIDE), WV (WATER VALVE).



NOTES

- 1. THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED DECEMBER 17, 2020, ORDER NO. NS-1040174-SM. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- 2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- 3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING ON-SITE UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED BY FIELD LOCATING AND MAPPED BY SUBDYNAMIC LOCATING SERVICES, INC. ON 02-29-2021. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- 4. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 060810307E FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH AN EFFECTIVE DATE OF OCTOBER 12, 2012, AS BEING LOCATED IN FLOOD ZONE "AE". ACCORDING TO FEMA THE DEFINITION OF ZONE "AE" IS SPECIAL FLOOD HAZARD AREA WITH BASE FLOOD ELEVATIONS (ETERMINED).
- 5. FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD83 DATUM. SEE BENCHMARK NOTE FOR DATUM CONVERSIONS.
- 6. BENCHMARK: W-150; U.S. COAST GEODETIC SURVEY BENCHMARK DISK STAMPED "W 150", "1933" SET IN TOP OF CONCRETE MONUMENT, 0.8 MILE NORTHEAST ALONG WILLOW ROAD FROM THE INTERSECTION OF BAYSHORE HIGHWAY AT MENLO PARK, AT THE NORTHEAST CITY LIMITS OF MENLO PARK, AT THE CROSSING OF THE SOUTHERN PACIFIC COMPANY RAILROAD, 35 FEET WEST OF THE CENTER LINE OF THE ROAD, 19.5 FEET NORTH OF THE NORTH RAIL, 10.3 FEET NORTHWEST OF THE SOUTHWEST CORNER OF THE CONCRETE BASE OF A CROSSING SIGNAL, 1.0 FOOT EAST OF A WITNESS POST, ABOUT LEVEL WITH THE TRACK AND THE ROAD, FLUSH WITH THE GROUND, AND SET IN TOP OF A CONCRETE POST. ELEVATION: 9.884 FEET (NGVD 1988 DATUM).
- 7. BASIS OF BEARING: THE BEARING OF NORTH 09°52'44" EAST TAKEN ON THE CENTERLINE OF KELLY COURT AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON FEBRUARY 27, 1991 IN BOOK 64 OF PARCEL MAPS AT PAGE 56, SAN MATEO COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.
- 8. CORNER RECORD NOTE: THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(b) OF THE PROFESSIONAL LAND SURVEYORS ACT.

NOTE: THIS SITE HAS FIBER OPTIC LINES LOCATED ON OR ADJACENT TO IT.

Signature of J.R. Ujeda, dated 02-23-2021. Text: 'PREPARED BY OR UNDER THE SUPERVISION OF JIMMY R. VIOLA, P.L.S., 6256'. Includes a circular seal for 'LICENSED LAND SURVEYOR JIMMY R. VIOLA No. 6256 STATE OF CALIFORNIA'.

TOPOGRAPHIC SURVEY OF 1001-1015 O'BRIEN DRIVE FOR O'BRIEN DRIVE PORTFOLIO, LLC. Includes Kier+Wright logo, California state information, and a revision table with columns for NO., REVISION, and DATE.

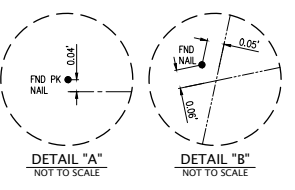
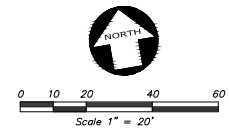
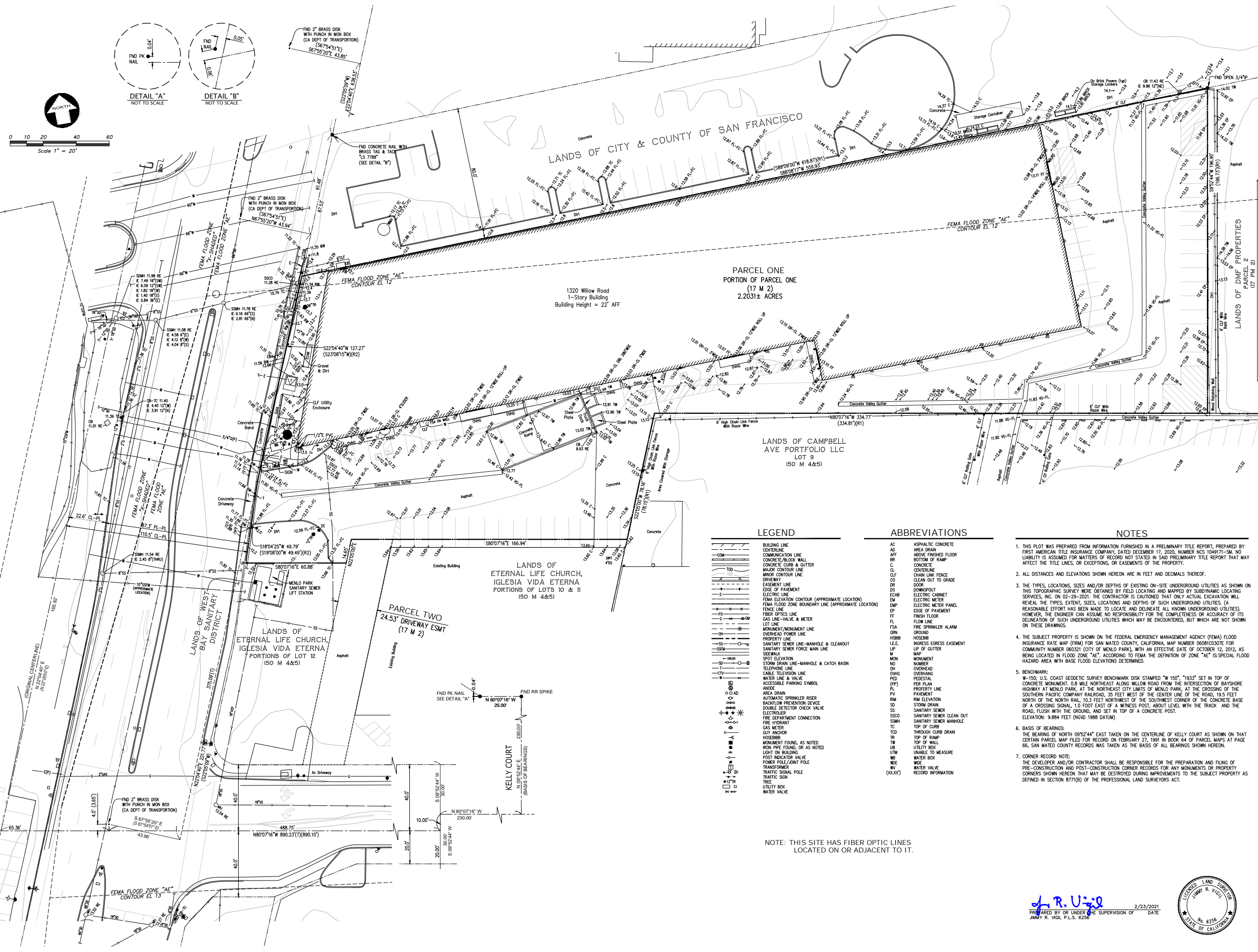
Revision table with columns: NO., REVISION, DATE. Entries include: 04-15-2021 D.R.T. REVIEW, 06-23-2021 C.U.P. SUBMITTAL, 10-28-2021 C.U.P. RESPONSE 1, 03-08-2022 C.U.P. RESPONSE 2.

A5.2 N.T.S.

SCALED TOPO AS AN ATTACHMENT

Sheet information table: DATE FEB. 2021, SCALE AS SHOWN, SURVEYOR JRV, DRAWN BY DWA, JOB NO. A15124-5, SHEET C1.0 OF 1 SHEET.

2/23/2021 10:00 AM SURVEY\TOPO\15-A15124-4.dwg 2-23-21 03:04:39 PM vwh/whs



LEGEND	ABBREVIATIONS
	AC ASPHALT CONCRETE
	AD AREA DRAIN
	AFF ABOVE FINISHED FLOOR
	BR BOTTOM OF RAMP
	C CONCRETE
	CL CENTERLINE
	CLF CHAIN LINK FENCE
	CO CLEAN OUT TO GRADE
	DS DOWNSPOUT
	ECAB ELECTRIC CABINET
	EM ELECTRIC METER
	EMP ELECTRIC METER PANEL
	EP EDGE OF PAVEMENT
	FF FINISH FLOOR
	FL FLOW LINE
	FSA FIRE SPRINKLER ALARM
	GRN GROUND
	HSBB HOSEBB
	I.E.E. INGRESS EGRESS EASEMENT
	LP LIP OF GUTTER
	MON MONUMENT
	NO NUMBER
	OVNG OVERHANG
	PEDEST PEDESTAL
	PL PLASTER
	PPV PROPERTY LINE
	PV PAVEMENT
	RY RIM ELEVATION
	SD STORM DRAIN
	SS SANITARY SEWER
	SSC SANITARY SEWER CLEAN OUT
	SSMH SANITARY SEWER MANHOLE
	TC TOP OF CURB
	TCD THROUGH CURB DRAIN
	TR TOP OF RAMP
	TW TOP OF WALL
	UB UTILITY BOX
	UM UNABLE TO MEASURE
	WB WATER BOX
	WDE WDE
	WI WATER VALVE
	WRE RECORD INFORMATION

NOTES

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED DECEMBER 17, 2020, NUMBER WCS 1049171-04. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING ON-SITE UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED BY FIELD LOCATING AND MAPPED BY SUBDYNAMIC LOCATING SERVICES, INC. ON 02-29-2021. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 060321 FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH AN EFFECTIVE DATE OF OCTOBER 12, 2012, AS BEING LOCATED IN FLOOD ZONE "AE". ACCORDING TO FEMA THE DEFINITION OF ZONE "AE" IS: SPECIAL FLOOD HAZARD AREA WITH BASE FLOOD ELEVATIONS DETERMINED.
- BENCHMARK: W-150, U.S. COAST GEODETIC SURVEY BENCHMARK DISK STAMPED "W 150", "1933" SET IN TOP OF CONCRETE MONUMENT, 0.8 MILE NORTHEAST ALONG WILLOW ROAD FROM THE INTERSECTION OF BAYSHORE HIGHWAY AT MENLO PARK, AT THE NORTHEAST CITY LIMITS OF MENLO PARK, AT THE CROSSING OF THE SOUTHERN PACIFIC COMPANY RAILROAD, 35 FEET WEST OF THE CENTER LINE OF THE ROAD, 19.5 FEET NORTH OF THE NORTH RAIL, 10.3 FEET NORTHWEST OF THE SOUTHWEST CORNER OF THE CONCRETE BASE OF A CROSSING SIGNAL, 1.0 FOOT EAST OF A WITNESS POST, ABOUT LEVEL WITH THE TRACK AND THE ROAD, FLUSH WITH THE GROUND, AND SET IN TOP OF A CONCRETE POST. ELEVATION: 9.884 FEET (NGVD 1988 DATUM).
6. BASIS OF BEARINGS: THE BEARING OF NORTH 09°52'44" EAST TAKEN ON THE CENTERLINE OF KELLY COURT AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON FEBRUARY 27, 1991 IN BOOK 64 OF JUNEI MAPS AT PAGE 66, SAN MATEO COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.
7. CORNER RECORD NOTE: THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

NOTE: THIS SITE HAS FIBER OPTIC LINES LOCATED ON OR ADJACENT TO IT.

J. R. U. 2/23/2021
PREPARED BY OR UNDER THE SUPERVISION OF DATE
JIMMY R. WOIL P.L.S. 6256



DATE	REVISION
FEB. 2021	
AS SHOWN	
IRV	
KRW	
A15124-4	
C1.0	
1	

KIER+WRIGHT
2850 Colma-Cupertino Road
Livermore, CA 94551
Phone: (925) 245-0288
www.kierwright.com

TOPOGRAPHIC SURVEY
1320 WILLOW ROAD
ON
O'BRIEN DRIVE PORTFOLIO, LLC
MENLO PARK, CALIFORNIA

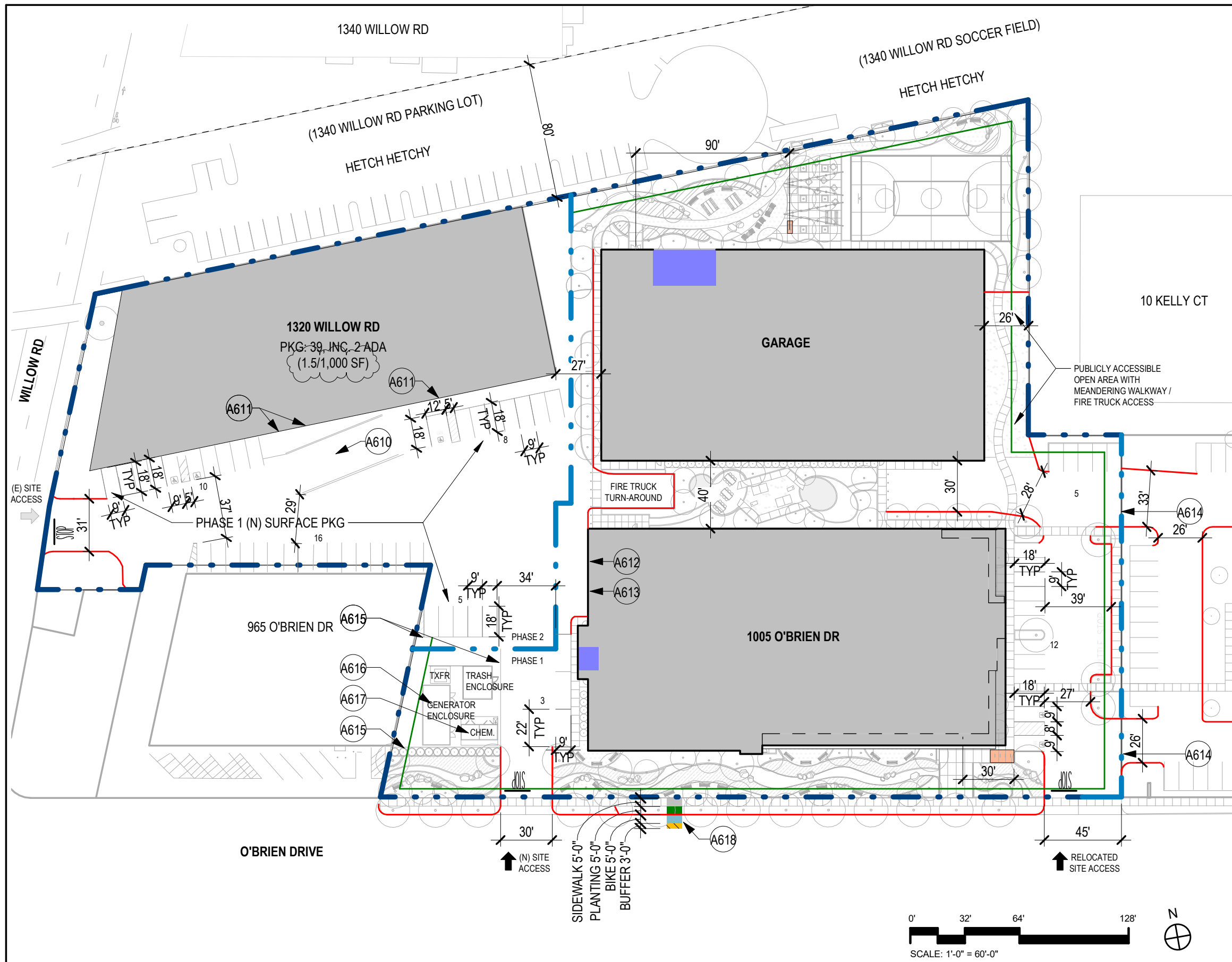
04-15-2021 D.R.T. REVIEW
06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
03-08-2022 C.U.P. RESPONSE 2

A5.3

N.T.S.

SCALED TOPO AS AN ATTACHMENT

SHEET C1.0 OF 1 SHEET



SHEET NOTES

KEYNOTES

A610	(E) RECESSED LOADING DOCK
A611	(E) ROLL UP DOOR
A612	(N) LOADING DOCK W/ROLL UP DOOR
A613	(N) ROLL UP DOOR
A614	(N) PROPOSED ACCESS INTO NEIGHBORING PROPERTY
A615	(N) SERVICE YARD SCREENING
A616	(N) GENERATOR
A617	POTENTIAL CHEMICAL STORAGE (TBD - FUTURE TENANT)
A618	PROPOSED STREET/SIDEWALK IMPROVEMENTS (SEPARATE PROJECT, FOR REFERENCE ONLY)

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED LOT LINE ADJUSTMENT
- LS-ZONING SETBACKS
- FIRE LANE - NO PARKING
- SITE COVERAGE
- ENCLOSED LONG-TERM BICYCLE
SEE SHEET A9.2 & A13.4
- EXTERIOR LOOPS, SHORT-TERM
SEE SHEET A13.4 FOR BIKE PARKING COUNT
- TRANSFORMER

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



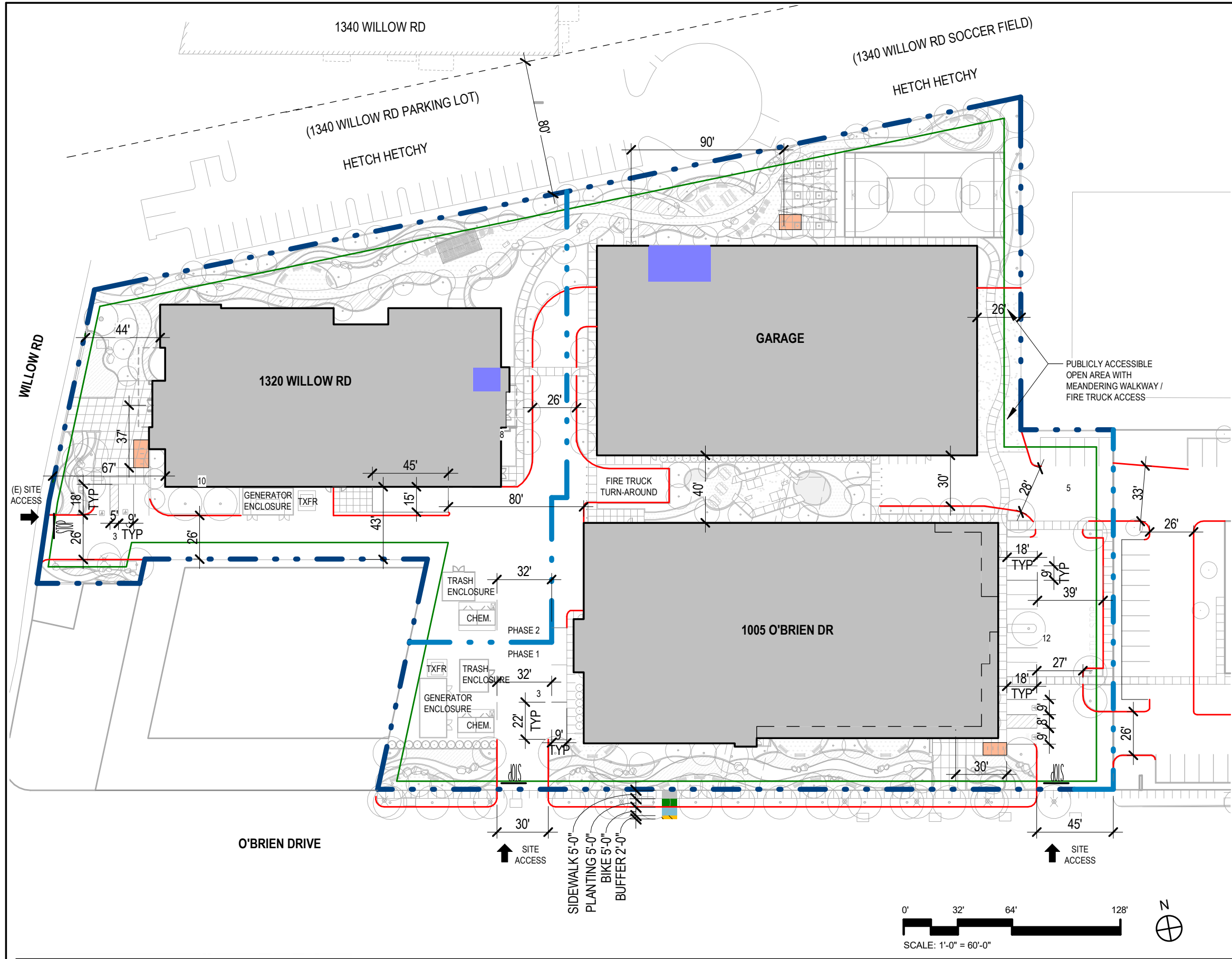
985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

PHASE 1 PROPOSED SITE PLAN



© 2020



SHEET NOTES

KEYNOTES

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED LOT LINE ADJUSTMENT
- LS-ZONING SETBACKS
- FIRE LANE - NO PARKING
- SITE COVERAGE
- ENCLOSED LONG-TERM BICYCLE
SEE SHEET A11.2 & A13.4
- EXTERIOR LOOPS SHORT-TERM
SEE SHEET A13.4 FOR BIKE PARKING COUNT
- TXFR TRANSFORMER

SCALE: 1" = 60'-0"

0' 32' 64' 128'

N

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

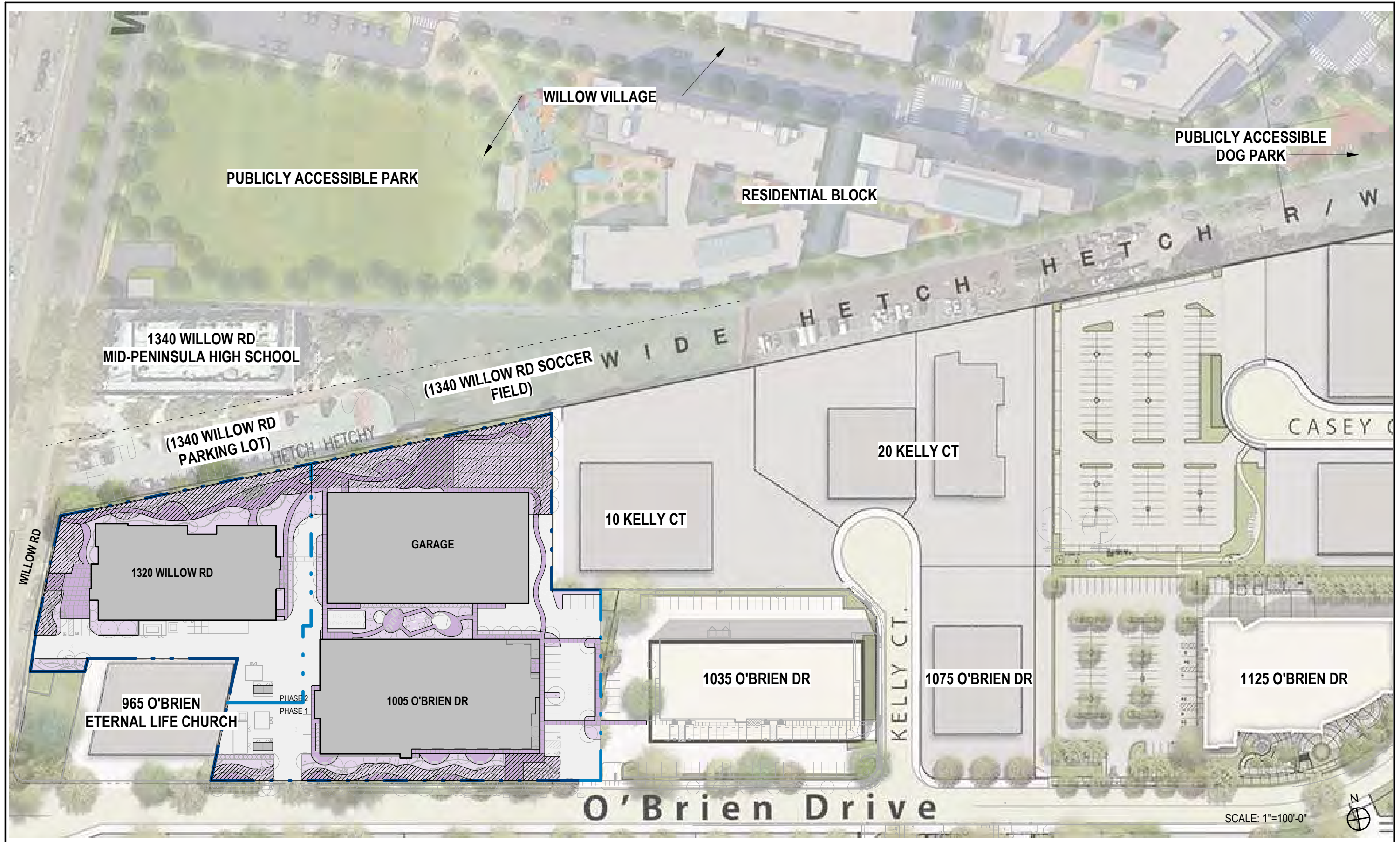


985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

PHASE 2 PROPOSED SITE PLAN





BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

NEIGHBORHOOD OPEN SPACE



SCALE: 1"=100'-0"

© 2020






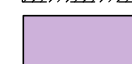
SHEET NOTES

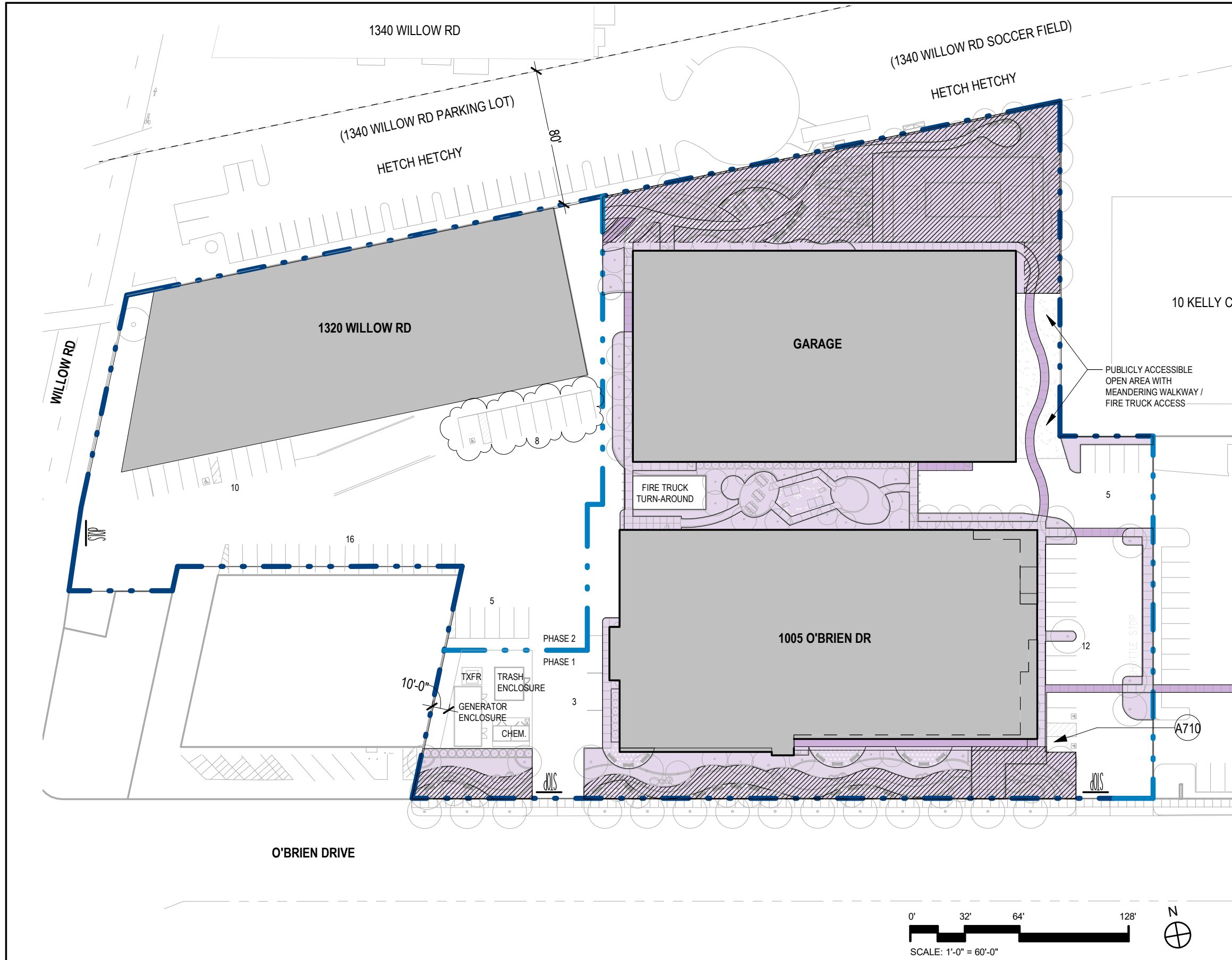
KEYNOTES

A710	SIGNAGE TO DIRECT PUBLIC TO OPEN SPACE ADJACENT TO HETCH HETCHY
------	---

PHASE 1
AREA: 123,738 SF
SITE COVERAGE: 59,860 SF (48%)
OPEN SPACE:
 REQUIRED = 24,748 SF (20% OF SITE)
 PROVIDED = 38,559 SF (31% OF SITE)
PUBLIC OPEN SPACE:
 REQUIRED = 12,374 SF (50% OF REQ'D OPEN SPACE)
 PROVIDED = 21,633 SF (87% OF REQ'D OPEN SPACE)

LEGEND

-  EXISTING PROPERTY LINE
-  PROPOSED LOT LINE ADJUSTMENT
-  SITE COVERAGE
-  OPEN SPACE
-  PUBLIC OPEN SPACE
-  PEDESTRIAN PATHS (PAVER, CONCRETE, DG)



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

PHASE 1 OPEN SPACE DIAGRAM



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

SHEET NOTES

PHASE 2
AREA: 59,878 SF

SITE COVERAGE: 21,494 SF

OPEN SPACE:
REQUIRED = 11,976 SF (20% OF SITE)
PROVIDED = 20,785 SF (35% OF SITE)

PUBLIC OPEN SPACE:
REQUIRED = 5,988 SF (50% OF REQ'D OPEN SPACE)
PROVIDED = 9,902 SF (83% OF REQ'D OPEN SPACE)







PHASE 1 + 2
PROJECT SITE AREA: 182,616 SF

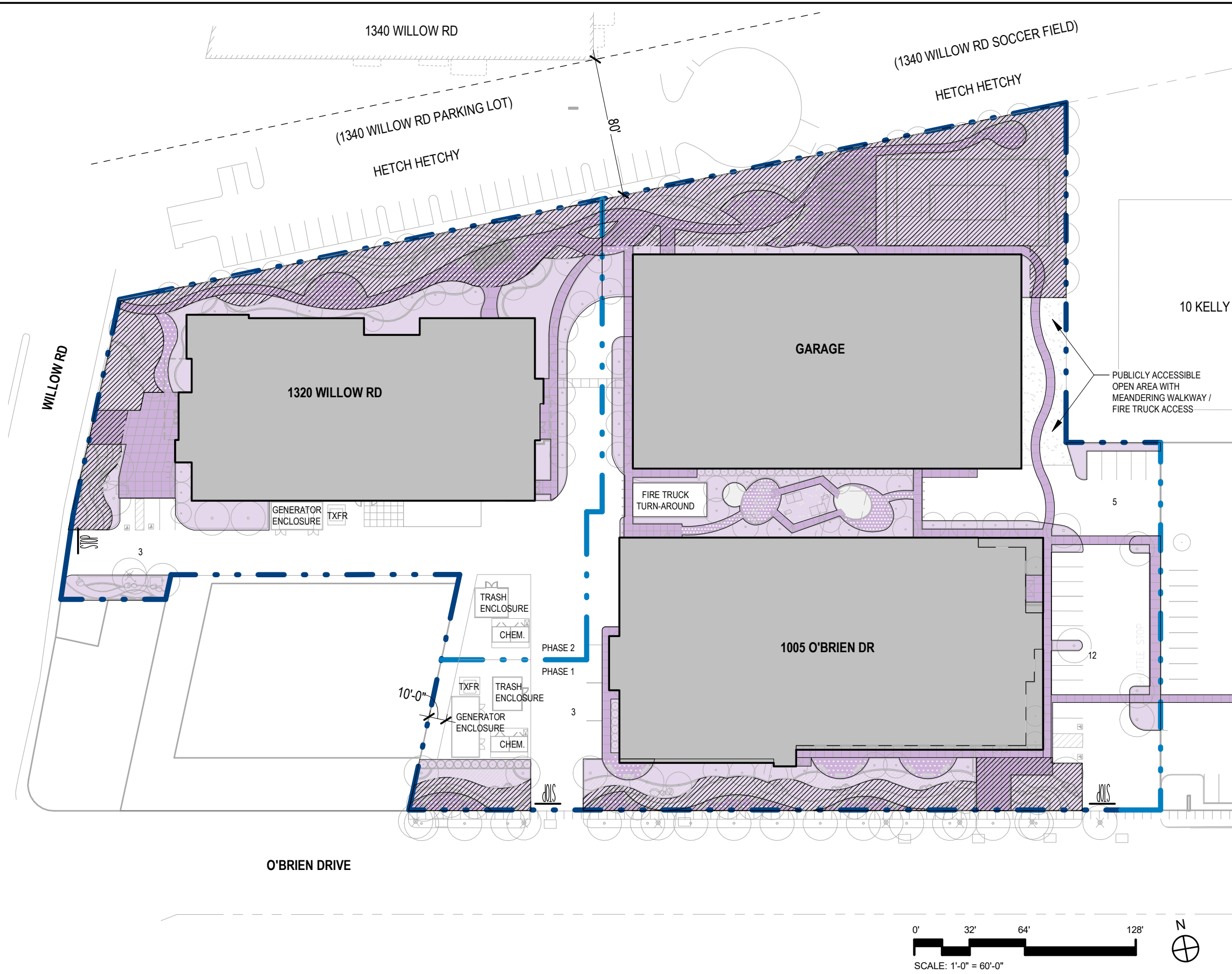
SITE COVERAGE: 80,354 SF (ALL STRUCTURES)

OPEN SPACE:
REQUIRED = 36,724 SF (20% OF SITE)
PROVIDED = 59,344 SF (32% OF SITE)

PUBLIC OPEN SPACE:
REQUIRED = 18,362 SF (50% OF REQ'D OPEN SPACE)
PROVIDED = 31,535 SF (86% OF REQ'D OPEN SPACE)

LEGEND

-  EXISTING PROPERTY LINE
-  PROPOSED LOT LINE ADJUSTMENT
-  SITE COVERAGE
-  OPEN SPACE
-  PUBLIC OPEN SPACE
-  PEDESTRIAN PATHS (PAVER, CONCRETE, DG)



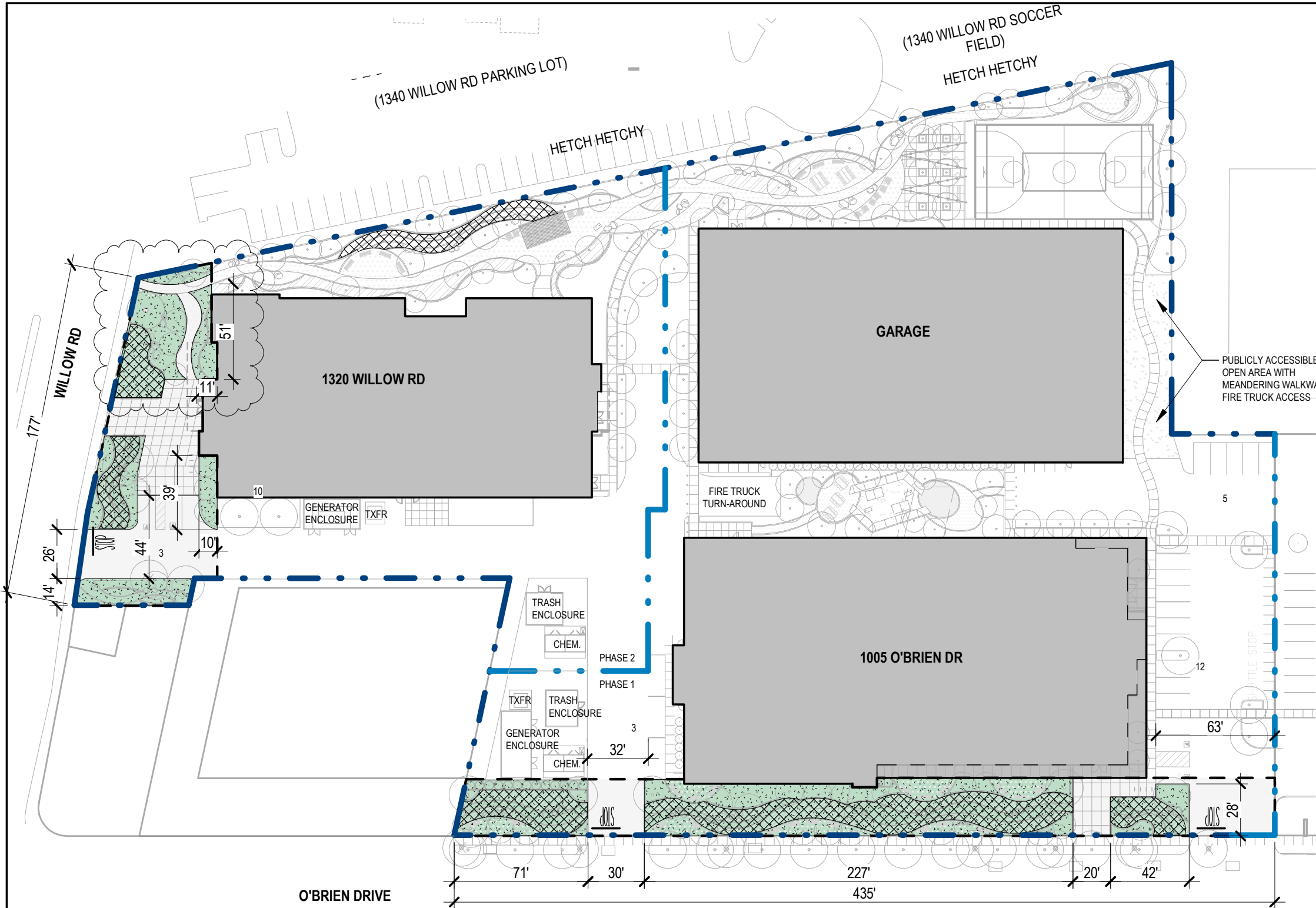
985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

PHASE 2 OPEN SPACE DIAGRAM

A7.2





SHEET NOTES

PHASE 1
FRONTAGE: 13,070 SF

FRONTAGE LANDSCAPE:
 REQUIRED = 3,268 SF (25% OF FRONTAGE)
 PROVIDED = 9,620 SF (75% OF FRONTAGE)

FRONTAGE STORMWATER TREATMENT:
 REQUIRED = 1,634 SF (50% OF FRONTAGE LANDSCAPE)
 PROVIDED = 4,900 SF (300% OF REQUIRED AREA)

PHASE 2
FRONTAGE: 9,964 SF

FRONTAGE LANDSCAPE:
 REQUIRED = 2,491 SF (25% OF FRONTAGE)
 PROVIDED = 4,674 SF (47% OF FRONTAGE)

FRONTAGE STORMWATER TREATMENT:
 REQUIRED = 1,246 SF (50% OF FRONTAGE LANDSCAPE)
 PROVIDED = 1,160 SF (93% OF REQUIRED AREA)

PHASE 1 + 2
FRONTAGE: 23,034 SF

FRONTAGE LANDSCAPE:
 REQUIRED = 5,759 SF (25% OF FRONTAGE)
 PROVIDED = 14,494 SF (63% OF FRONTAGE)

FRONTAGE STORMWATER TREATMENT:
 REQUIRED = 2,880 SF (50% OF FRONTAGE LANDSCAPE)
 PROVIDED = 6,060 SF (210% OF FRONTAGE LANDSCAPE)

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED LOT LINE ADJUSTMENT
- SITE COVERAGE
- FRONTAGE
- FRONTAGE LANDSCAPE
- STORMWATER TREATMENT

PHASE 1		PHASE 2	
FRONTAGE: 435'		FRONTAGE: 177'	
PKG ALONG FRONTAGE		PKG ALONG FRONTAGE	
MAX	PROPOSED	MAX	PROPOSED
108.75' (25%)	95' (22%)	44.25' (25%)	44' (25%)



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

PHASE 1 & 2 FRONTAGE DIAGRAM







SHEET NOTES

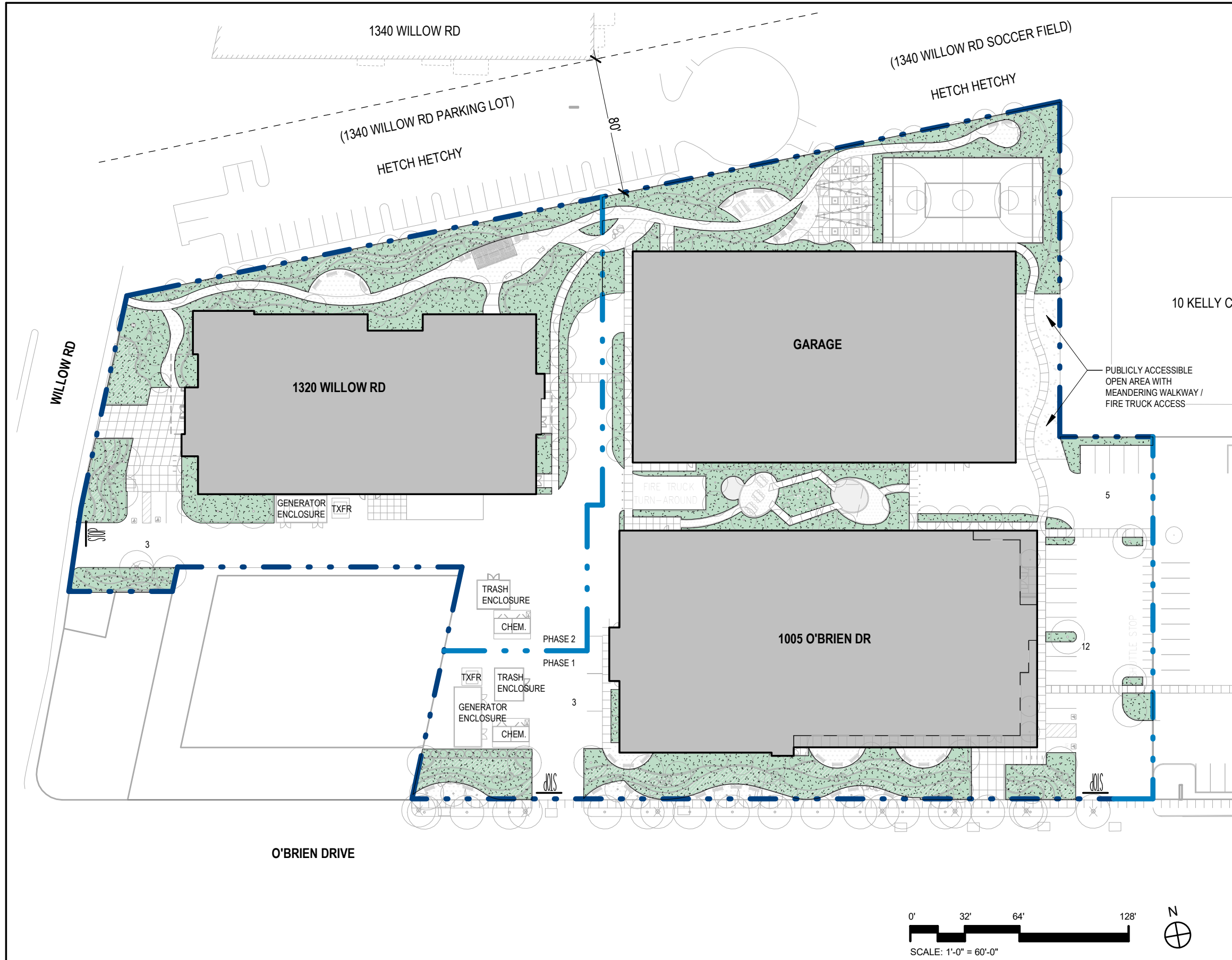
PHASE 1
AREA: 123,738 SF
LANDSCAPE AREA: 19,889 SF (16%)

PHASE 2
AREA: 59,878 SF
LANDSCAPE AREA: 14,026 SF (23%)

PHASE 1 + 2
PROJECT SITE AREA: 182,616 SF
PROJECT SITE
LANDSCAPE AREA: 33,915 SF (19%)

LEGEND

-  EXISTING PROPERTY LINE
-  PROPOSED LOT LINE ADJUSTMENT
-  SITE COVERAGE
-  LANDSCAPE



WILLOW RD

1340 WILLOW RD

(1340 WILLOW RD SOCCER FIELD)

(1340 WILLOW RD PARKING LOT)

HETCH HETCHY

1320 WILLOW RD

GARAGE

10 KELLY CT

PUBLICLY ACCESSIBLE
 OPEN AREA WITH
 MEANDERING WALKWAY /
 FIRE TRUCK ACCESS

GENERATOR
 ENCLOSURE TXFR

FIRE TRUCK
 TURN-AROUND

5

TRASH
 ENCLOSURE

CHEM.

PHASE 2

PHASE 1

12

TXFR

TRASH
 ENCLOSURE

GENERATOR
 ENCLOSURE

CHEM.

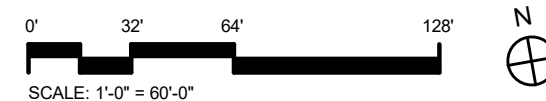
3

1005 O'BRIEN DR

12

12

O'BRIEN DRIVE



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

OVERALL SITE LANDSCAPE AREA
 CALCS

A7.4




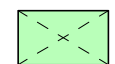
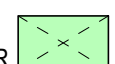



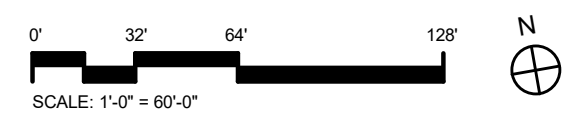
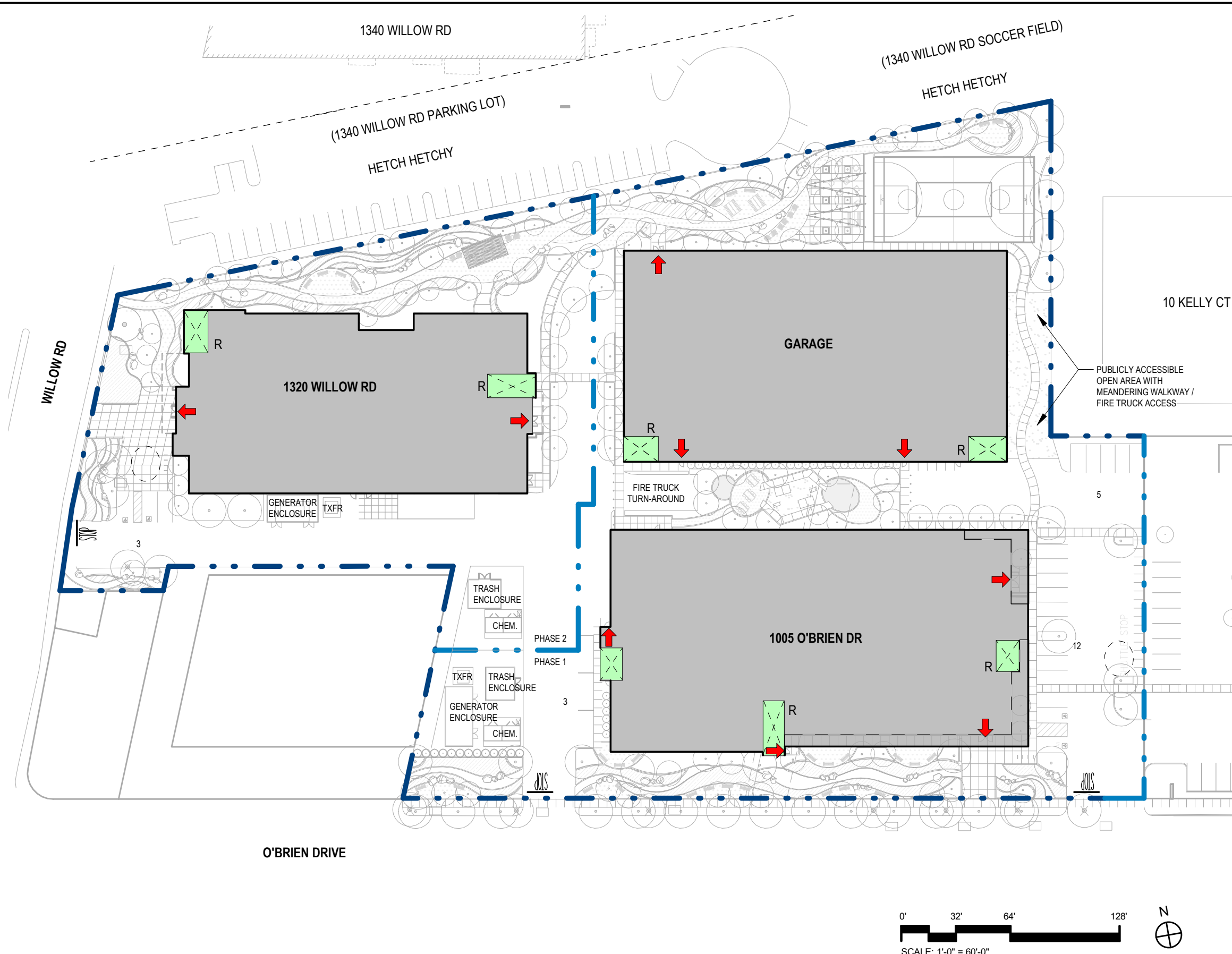
© 2020

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

SHEET NOTES

LEGEND

-  EXISTING PROPERTY LINE
-  PROPOSED LOT LINE ADJUSTMENT
-  EGRESS / EXIT
-  STAIR TOWER
-  STAIR TOWER WITH ROOF ACCESS
-  SAFETY GATHERING AREA

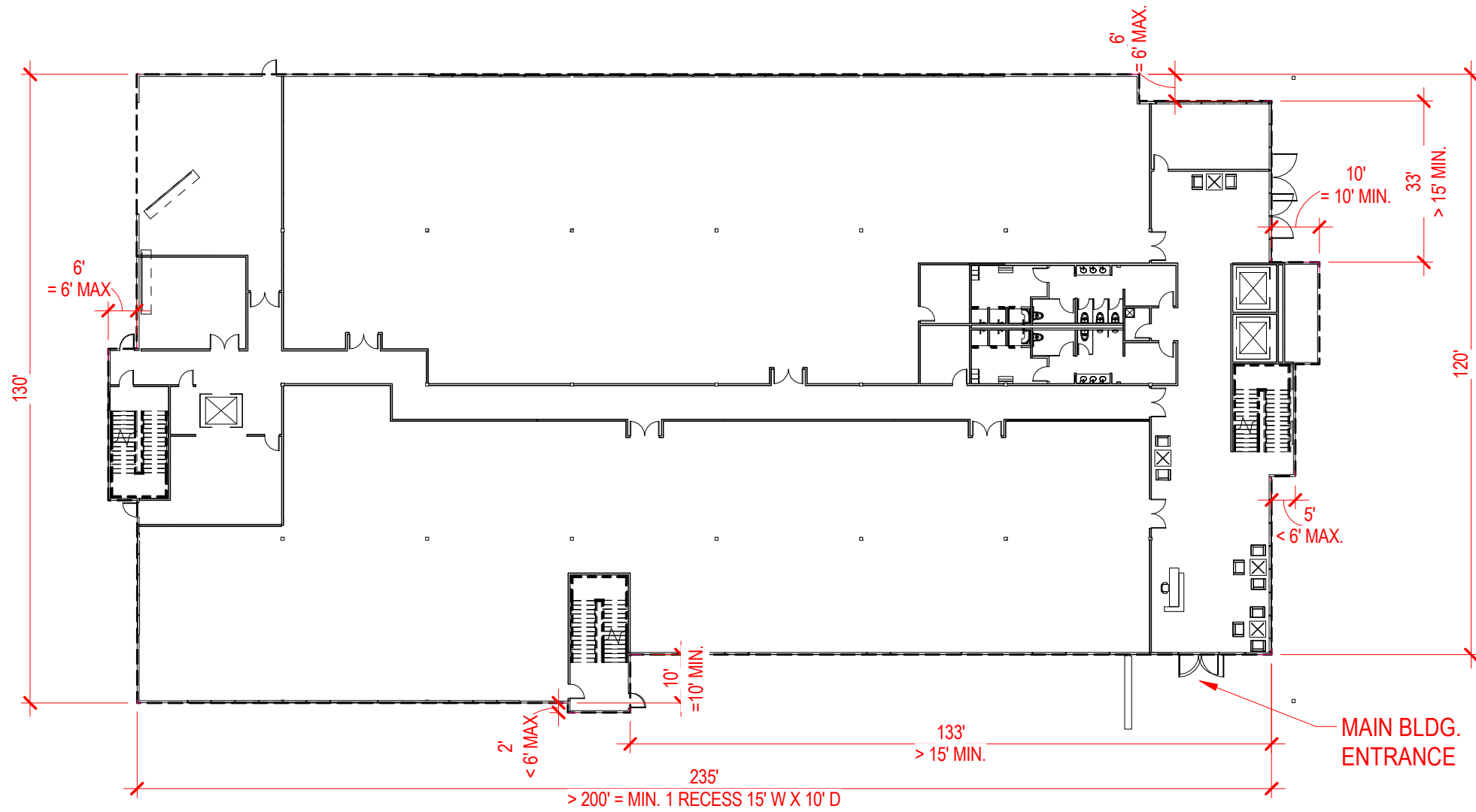


985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

SITE SERVICE / EMERGENCY PLAN



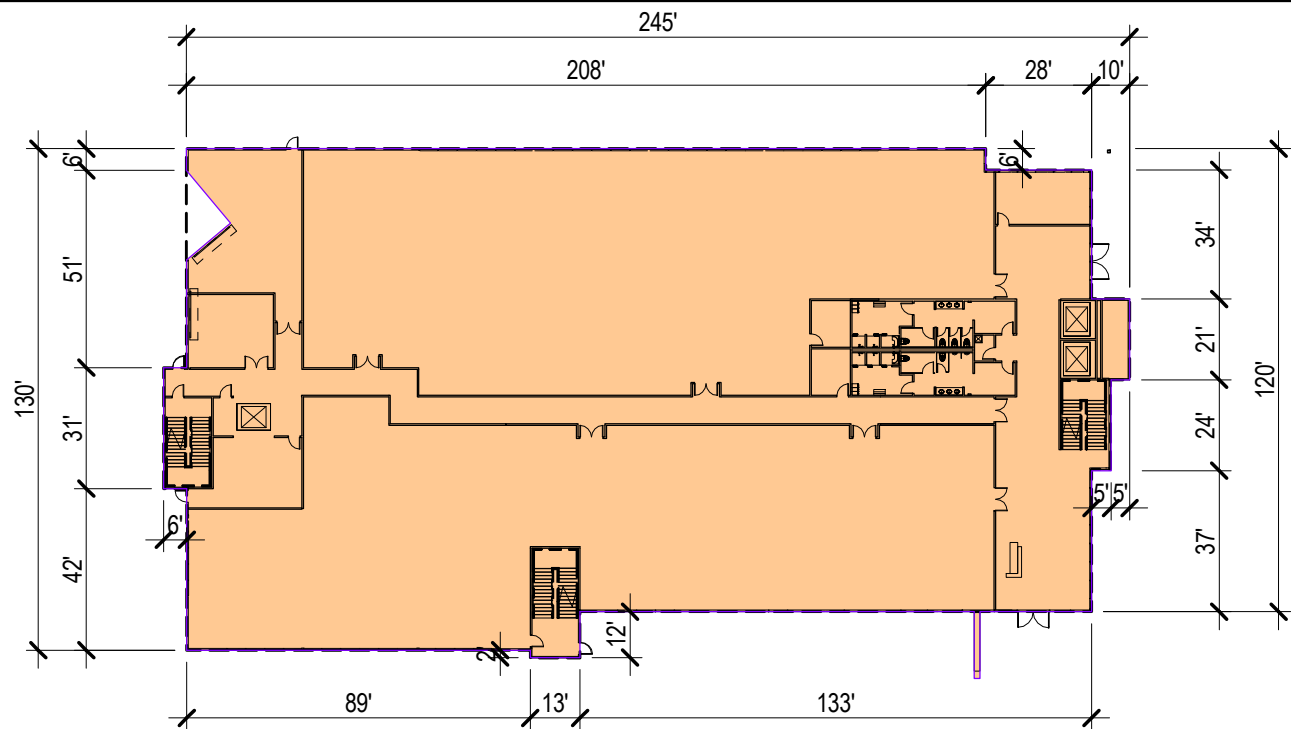


985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

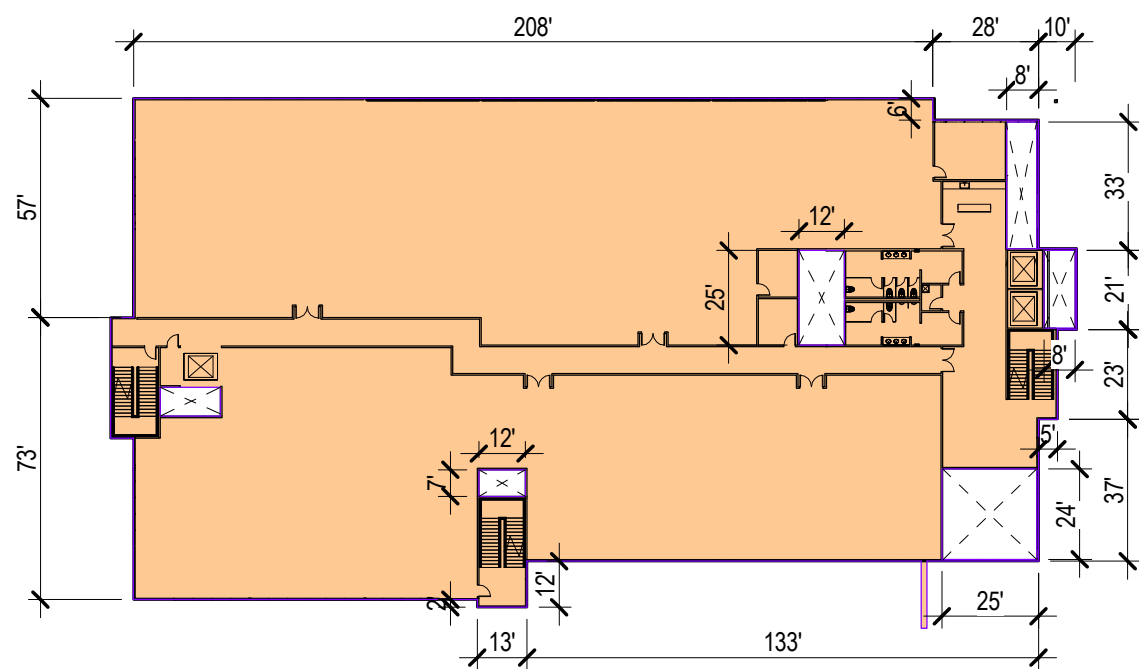
10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2

1005 O'BRIEN BLDG. MODULATION





1 1005 LEVEL 1
1" = 50'-0"



2 1005 LEVEL 2
1" = 50'-0"



SHEET NOTES

GROSS FLOOR AREA:

LEVEL 1 R&D AREA	29,643 SF
LEVEL 2 R&D AREA	28,265 SF
LEVEL 3 R&D AREA	30,962 SF
LEVEL 4 R&D AREA	30,962 SF
LEVEL 5 R&D AREA	30,962 SF
ROOF STAIRS & ELEV.	1,407 SF
ROOF CONFERENCE	1,670 SF
ROOF STORAGE	510 SF

TOTAL: 154,381 SF

OUTDOOR ROOF DECK:

CIRCULATION:	1,517 SF
LANDSCAPE:	1,403 SF
SEATING/OPEN AREA:	953 SF
TOTAL:	3,873 SF

LEGEND

BUILDING (FAR)

- R&D AREA
- ROOF STAIRS & ELEVATOR
- CONFERENCE ROOM
- ROOF STORAGE

BUILDING (NOT INCLUDED IN FAR)

- ROOF DECK SEATING
- ROOF DECK CIRCULATION
- ROOF DECK LANDSCAPE
- ROOF (UNOCCUPIED)
- MECHANICAL
- SHAFTS/OPENINGS

SHEET NOTES

GROSS FLOOR AREA:

LEVEL 1 R&D AREA	29,643 SF
LEVEL 2 R&D AREA	28,265 SF
LEVEL 3 R&D AREA	30,962 SF
LEVEL 4 R&D AREA	30,962 SF
LEVEL 5 R&D AREA	30,962 SF
ROOF STAIRS & ELEV.	1,407 SF
ROOF CONFERENCE	1,670 SF
ROOF STORAGE	510 SF

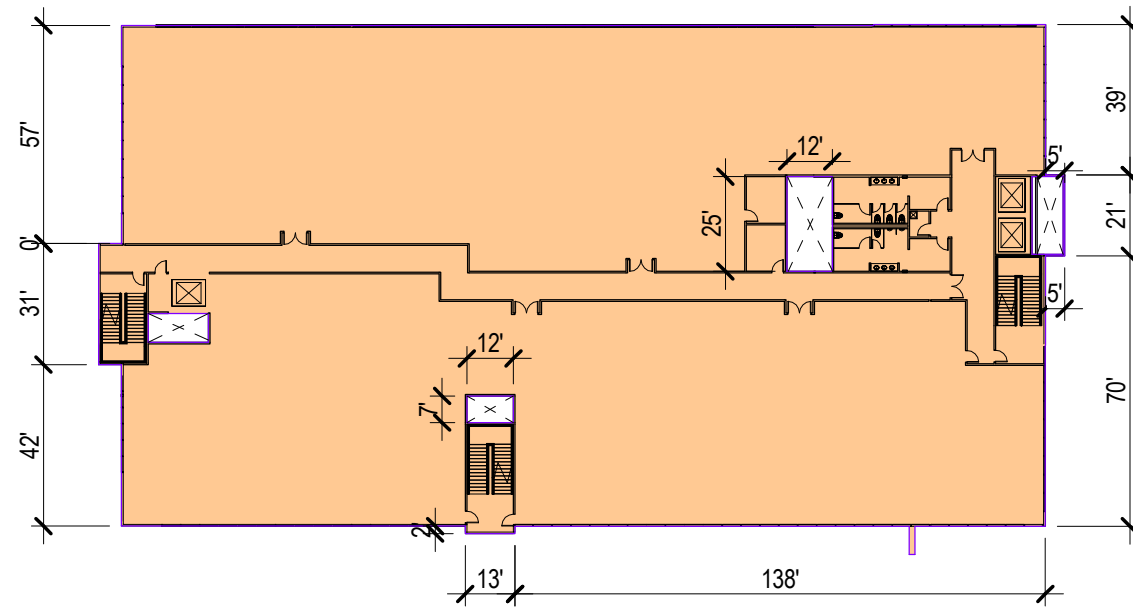
TOTAL: 154,381 SF

OUTDOOR ROOF DECK:

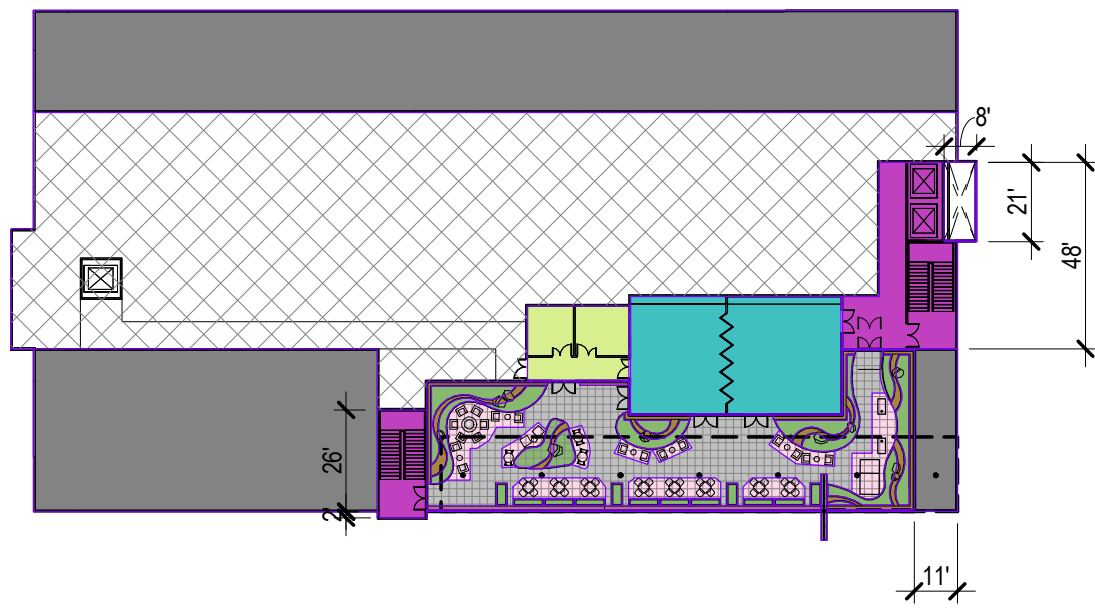
CIRCULATION:	1,517 SF
LANDSCAPE:	1,403 SF
SEATING/OPEN AREA:	953 SF
TOTAL:	3,873 SF

LEGEND

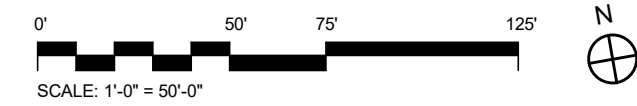
- BUILDING (FAR)**
- R&D AREA
 - ROOF STAIRS & ELEVATOR
 - CONFERENCE ROOM
 - ROOF STORAGE
- BUILDING (NOT INCLUDED IN FAR)**
- ROOF DECK SEATING
 - ROOF DECK CIRCULATION
 - ROOF DECK LANDSCAPE
 - ROOF (UNOCCUPIED)
 - MECHANICAL
 - SHAFTS/OPENINGS



1 1005 LEVEL 3-5
1" = 50'-0"



2 1005 ROOF
1" = 50'-0"



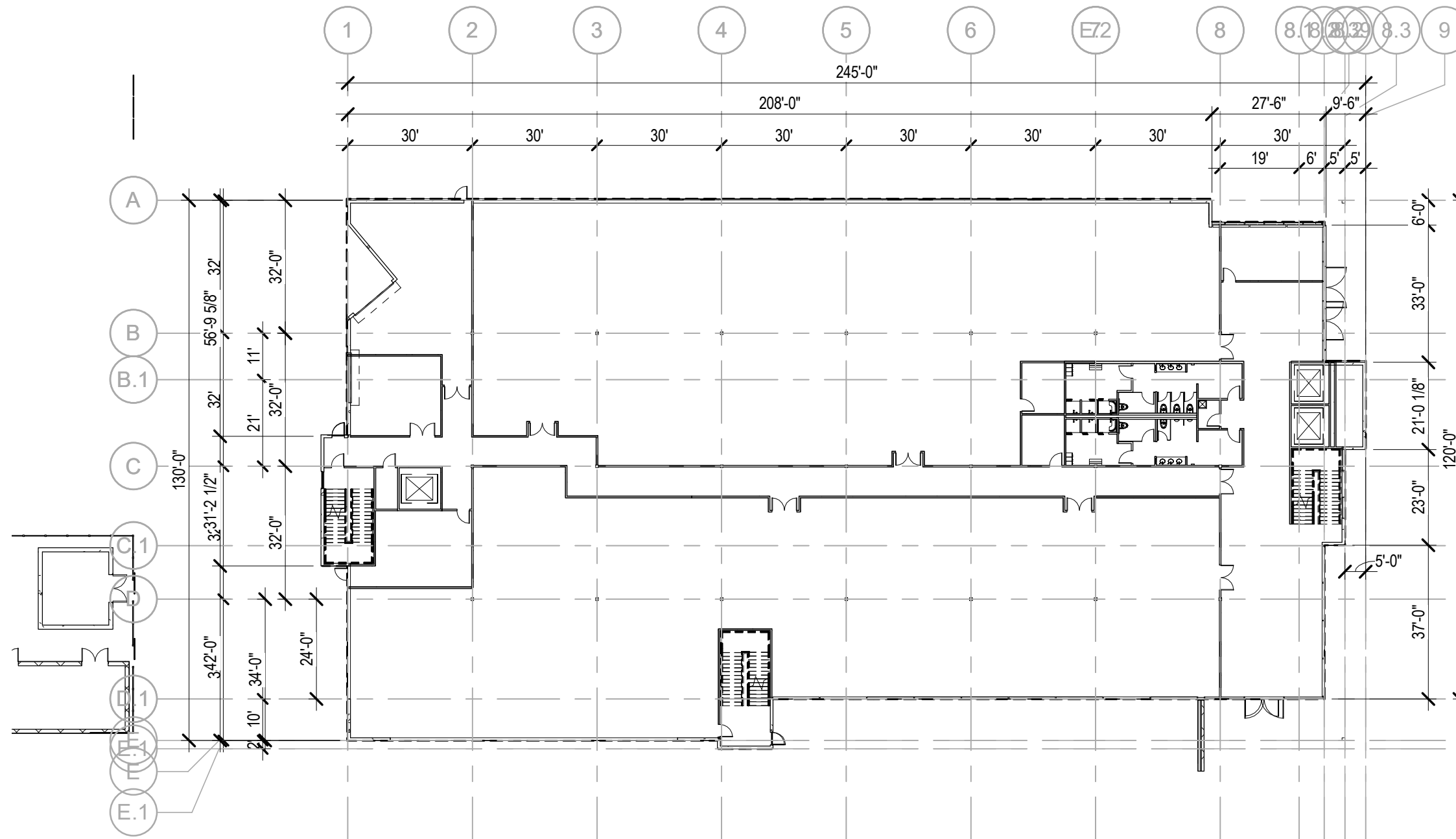
985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1005 O'BRIEN GROSS FLOOR AREA
DIAGRAMS



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

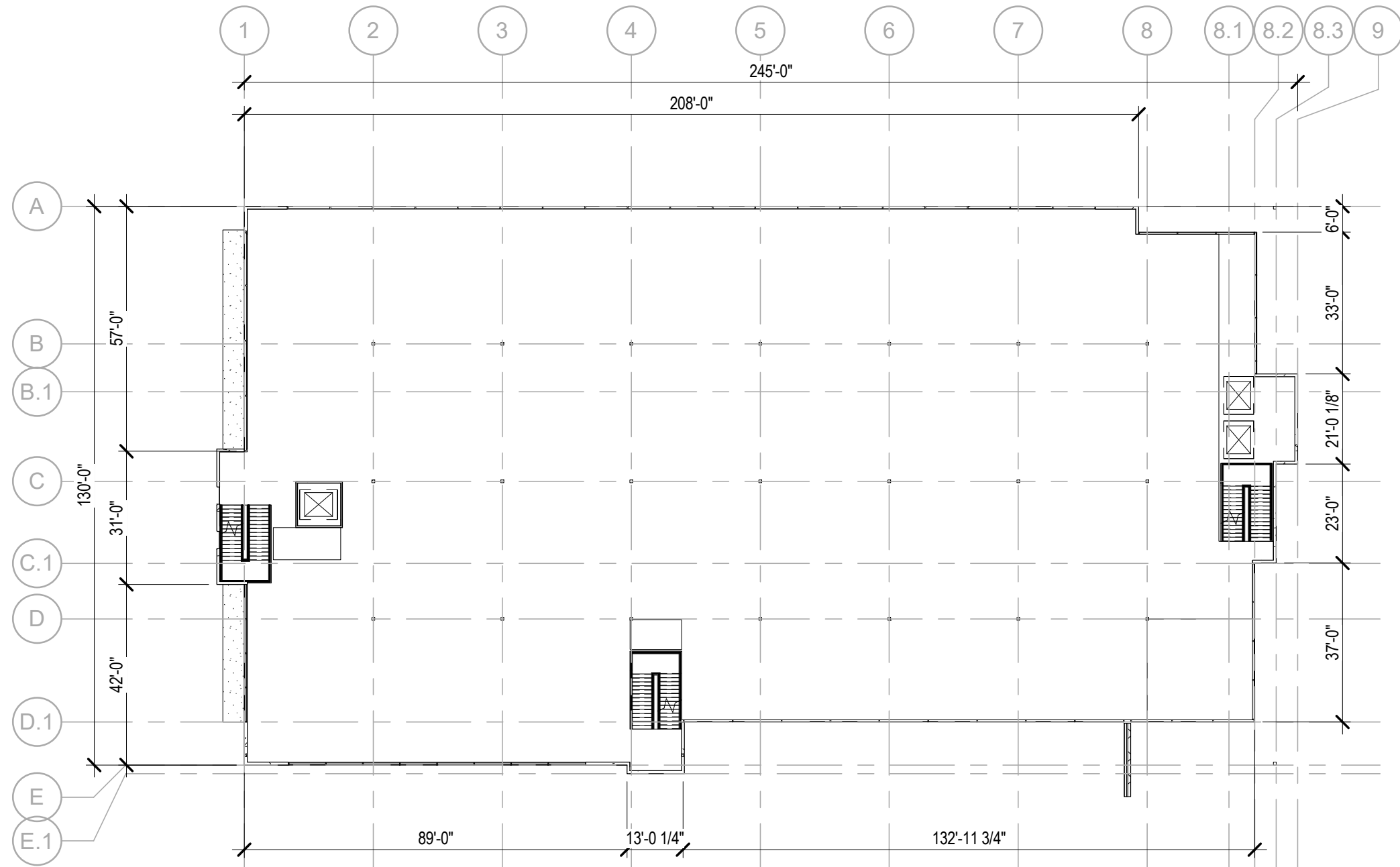
1005 O'BRIEN LEVEL 1

A9.2



© 2020

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

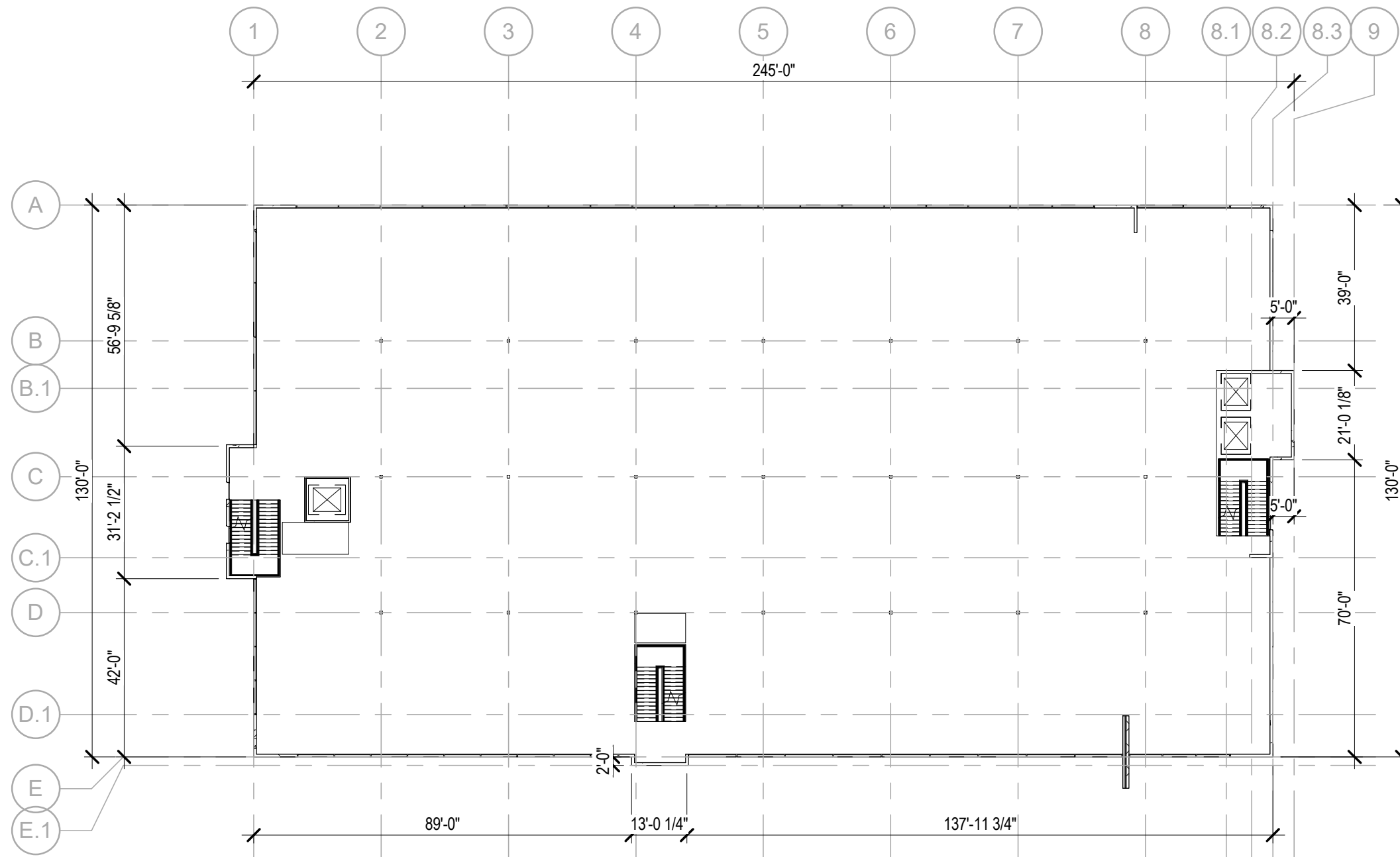
1005 O'BRIEN LEVEL 2

A9.3



© 2020

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

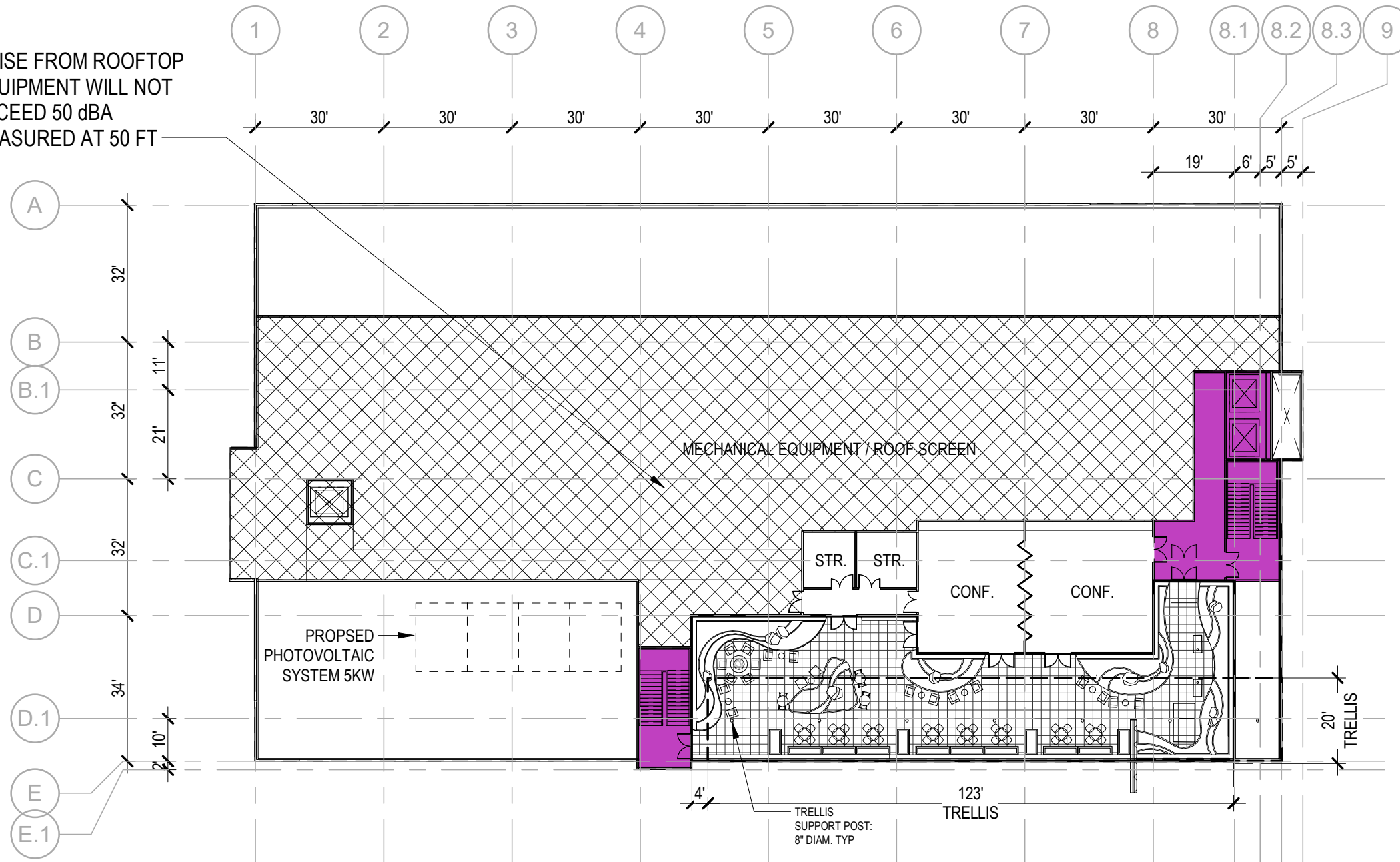
1005 O'BRIEN LEVEL 3-5

A9.4



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

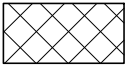


NOISE FROM ROOFTOP EQUIPMENT WILL NOT EXCEED 50 dBA MEASURED AT 50 FT



EMPLOYEE USE ONLY



LEGEND

-  MECHANICAL EQUIPMENT / ROOF SCREEN AREA
-  ROOF ACCESS & CIRCULATION
-  ROOF TOP TRELLIS



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

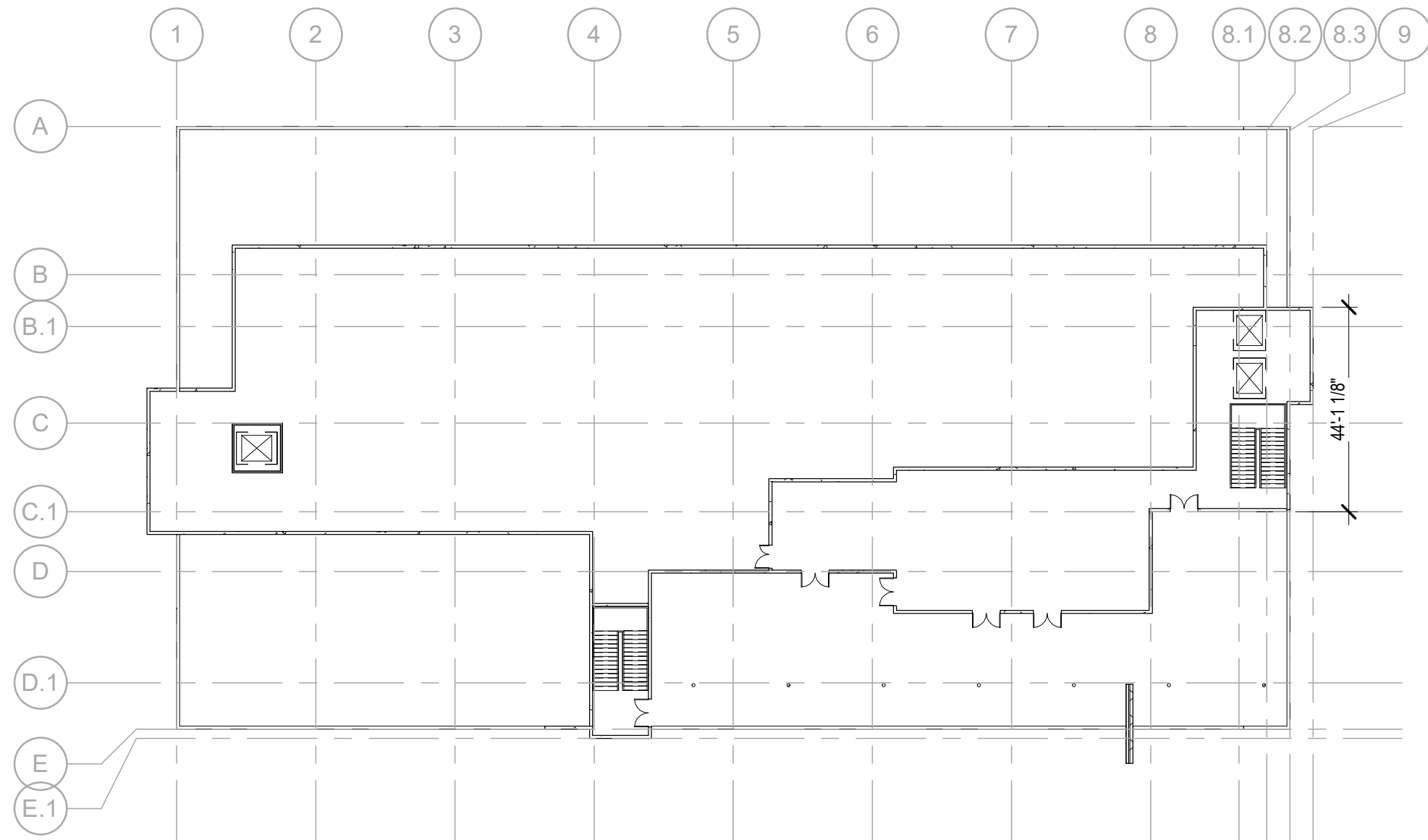
06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1005 O'BRIEN ROOF DECK

A9.5



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1005 O'BRIEN ROOF PLAN

A9.6



© 2020



① GLASS (TYP), LOW-E, TINTED BLUE (BIRD SAFE GLASS)



② GLASS (LOBBY), LOW-E, CLEAR DOUBLE GLASS (BIRD SAFE GLASS)



③ WINDOW MULLIONS: JLR MZG GRAY MICA II



④ METAL PANEL SYSTEM AT LOWER CANOPY



⑤ CORRUGATED METAL PANEL: ROOF SCREEN, WALL CLADDING COLOR TO MATCH DUNN CHARCOAL SKETCH

⑨ PERFORATED METAL AWNINGS POWDER COATED GREY



⑥ GFRC, SANDBLASTED, SMOOTH: COLOR TO MATCH DUNN EDWARDS RECLAIMED WOOD



⑦ GFRC, SANDBLASTED, SMOOTH: COLOR TO MATCH DUNN EDWARDS CHARCOAL SKETCH



⑧ HIGH DENSITY COMPOSITE EXTERIOR CLADDING: WOOD LOOK

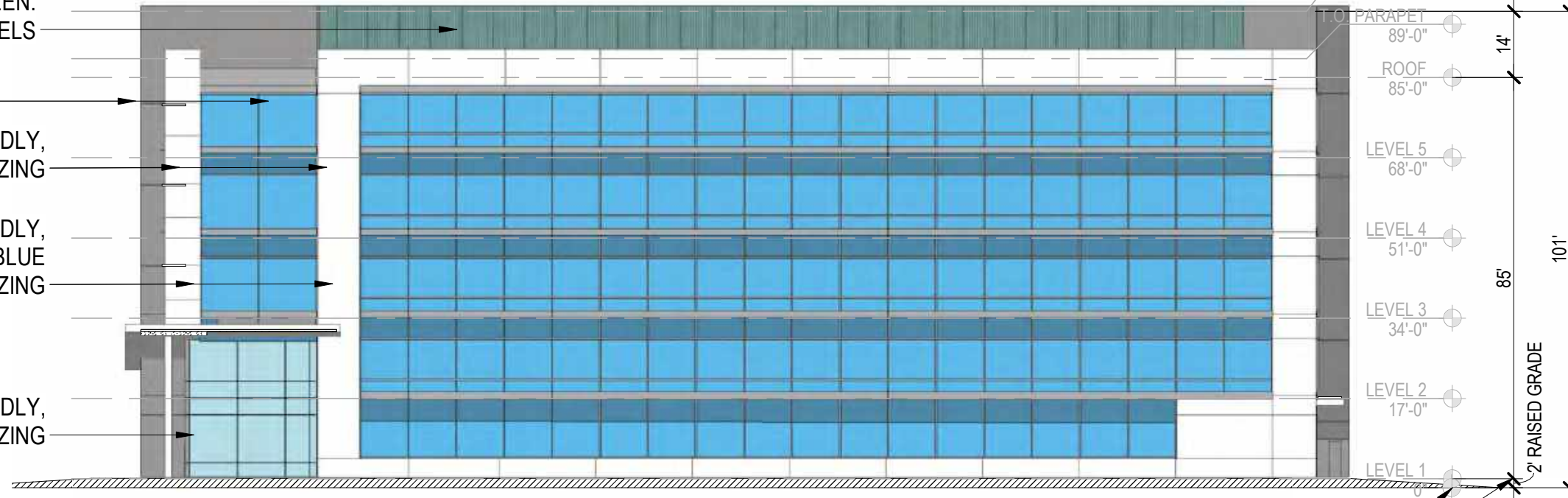


MECH SCREEN:
ALUMINUM PANELS

GFR
BIRD-FRIENDLY,
SPANDREL GLAZING

BIRD-FRIENDLY,
SOLAR BLUE
GLAZING

BIRD-FRIENDLY,
CLEAR GLAZING



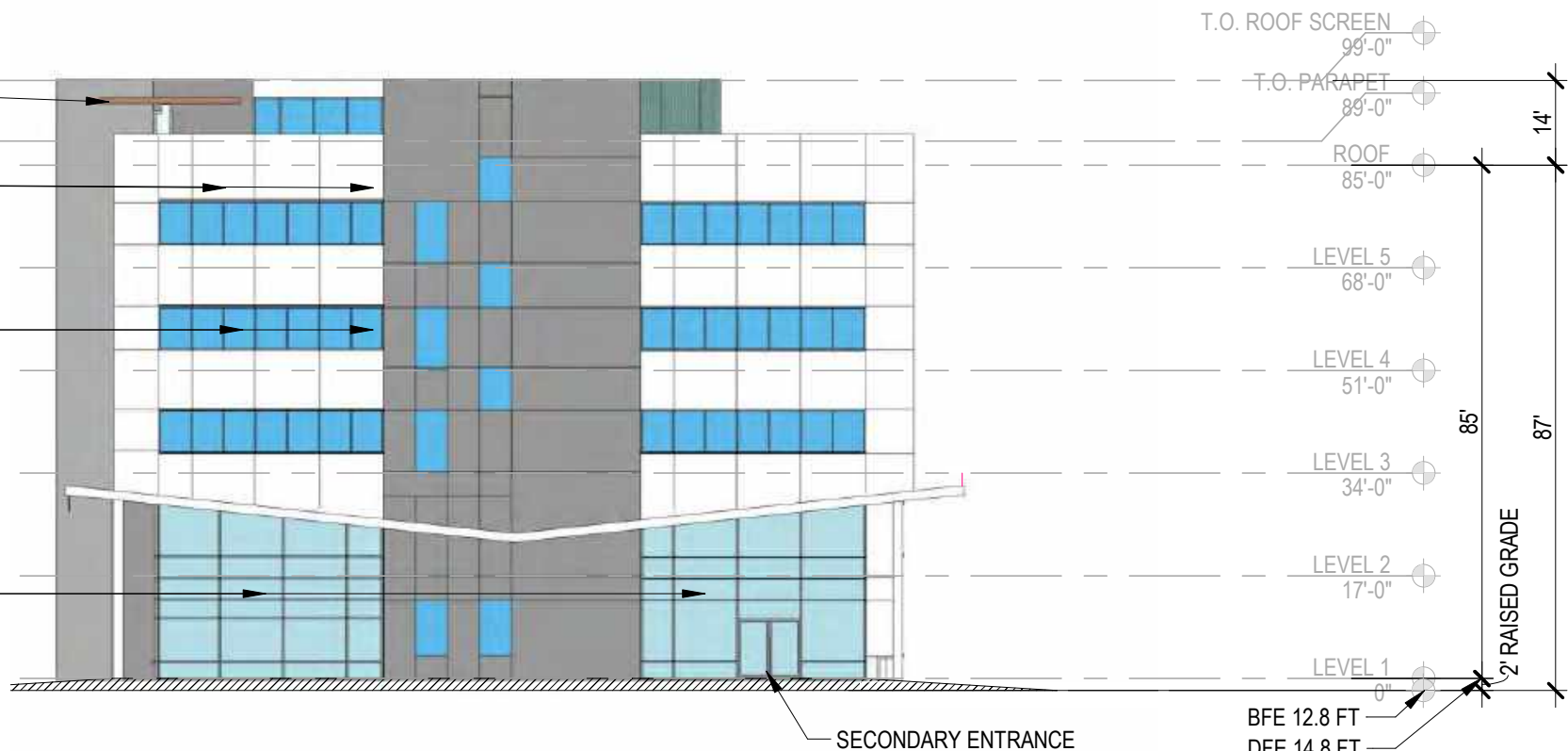
NORTH ELEVATION

TRELLIS W/POWDER COATED EXTRUDED
ALUMINUM LOUVERS

GFR

BIRD-FRIENDLY,
SOLAR BLUE GLAZING



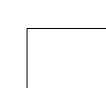



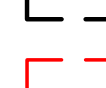
BIRD-FRIENDLY,
CLEAR GLAZING



EAST ELEVATION



LEGEND

-  SOLAR BAN 70, SOLAR BLUE LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
-  VITRO SOLARBAN 70XL, CLEAR LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
-  GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
-  GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
-  CORRUGATED ALUMINUM PANNELLING COLOR TBD
-  GROUND FLOOR FRONTAGE 4,375 SF
-  GROUND FLOOR TRANSPARENCY AT FRONTAGE
REQUIRED: 1,750 SF (40%)
PROVIDED: 2,063 SF (47%)

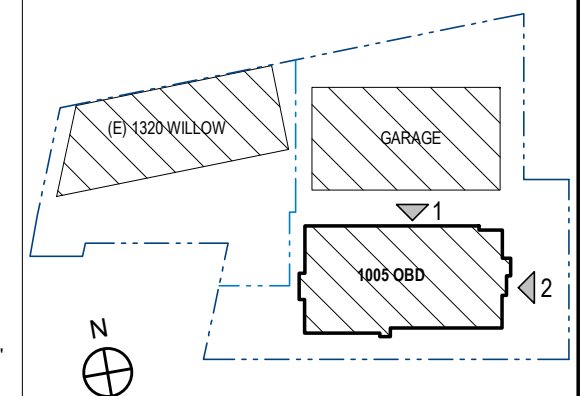
PROPOSED GLAZING RATIO

NORTH ELEVATION: 22,400 SF
SOLAR BLUE GLAZING: 15,000 SF (67%)
CLEAR GLAZING: 810 SF (4%)

EAST ELEVATION: 11,150 SF
SOLAR BLUE GLAZING: 2,000 SF (18%)
CLEAR GLAZING: 2,000 SF (18%)

NOTE:
ALUMINUM FRAMES AT WINDOWS AND DOORS

KEY PLAN



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



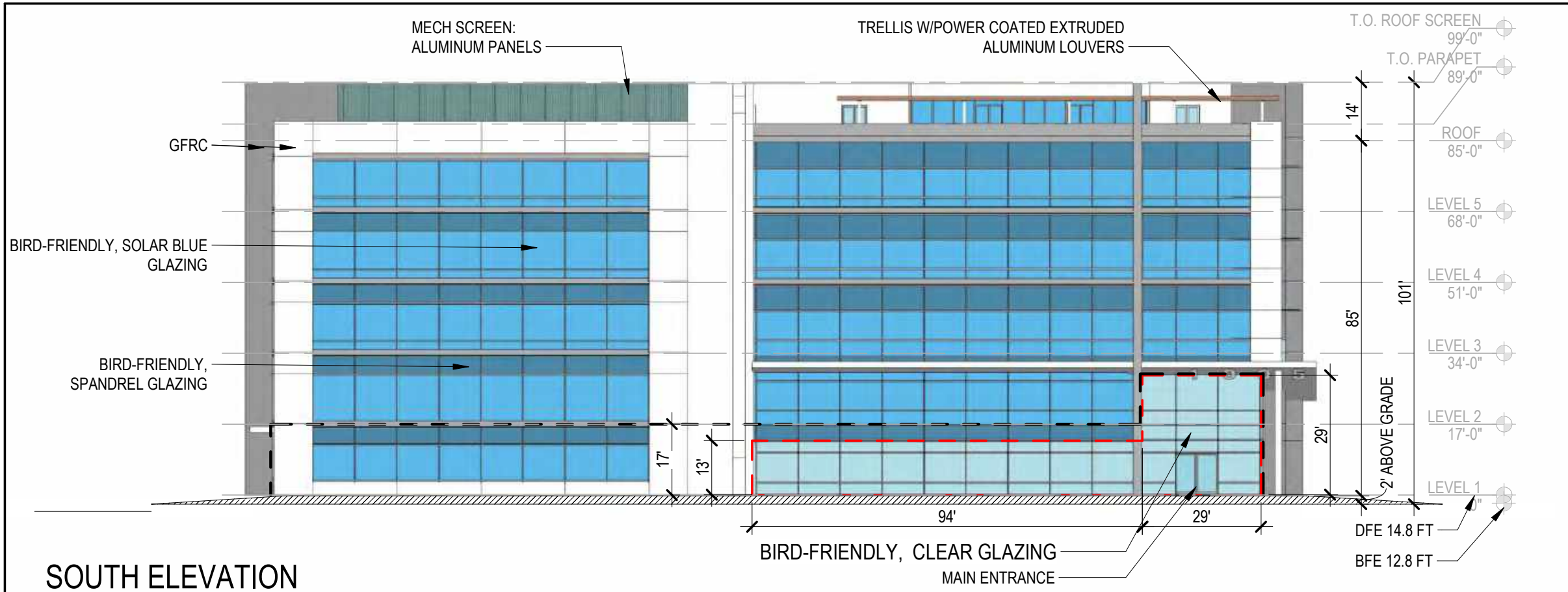
985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1005 O'BRIEN BUILDING
ELEVATIONS

A10.1





SOUTH ELEVATION

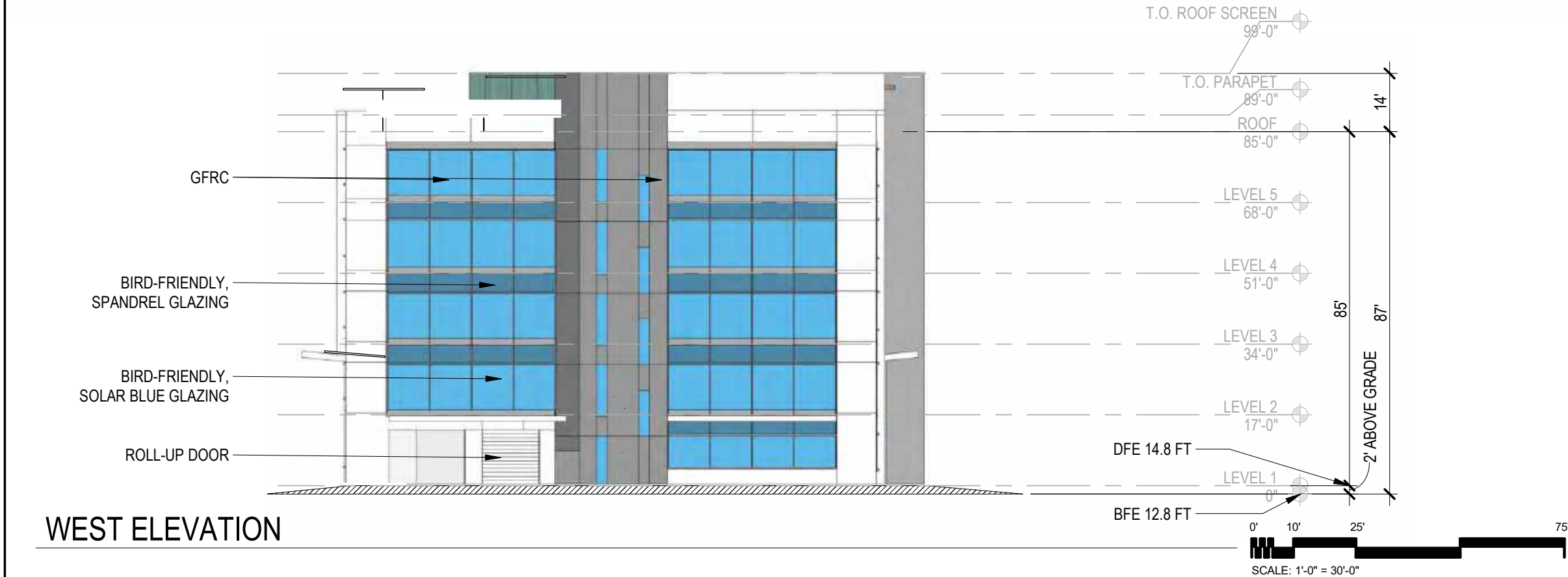
LEGEND

- SOLAR BAN 70, SOLAR BLUE LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- VITRO SOLARBAN 70XL, CLEAR LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- CORRUGATED ALUMINUM PANNELLING COLOR TBD
- GROUND FLOOR FRONTAGE 4,375 SF
- GROUND FLOOR TRANSPARENCY AT FRONTAGE
REQUIRED: 1,750 SF (40%)
PROVIDED: 2,063 SF (47%)

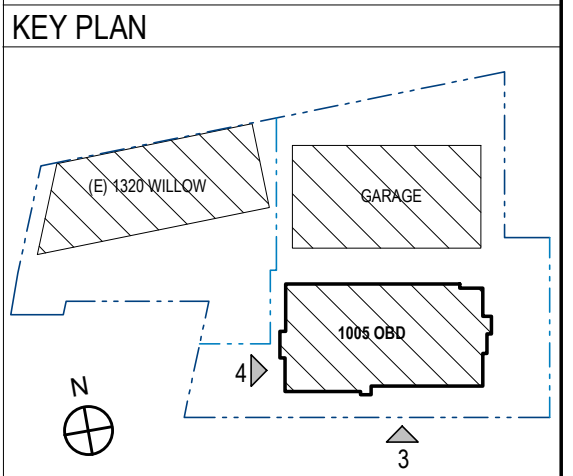
PROPOSED GLAZING RATIO

SOUTH ELEVATION: 22,000 SF
SOLAR BLUE GLAZING: 13,510 SF (61%)
CLEAR GLAZING: 2,063 SF (9%)
WEST ELEVATION: 10,800 SF
SOLAR BLUE GLAZING: 3,700 SF (34%)

NOTE:
ALUMINUM FRAMES AT WINDOWS AND DOORS



WEST ELEVATION



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt

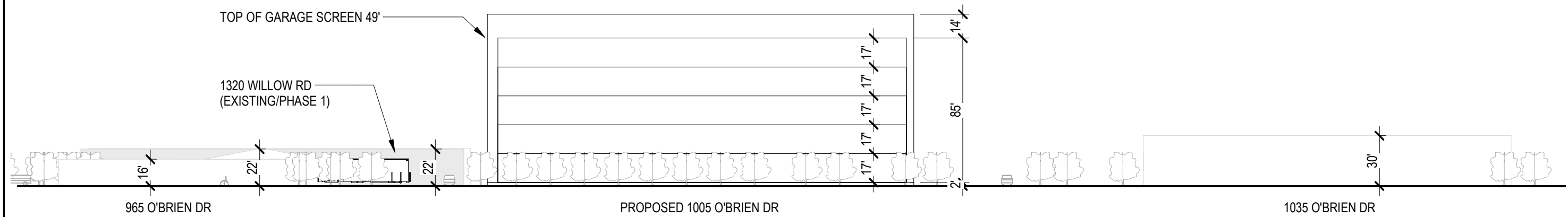


985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

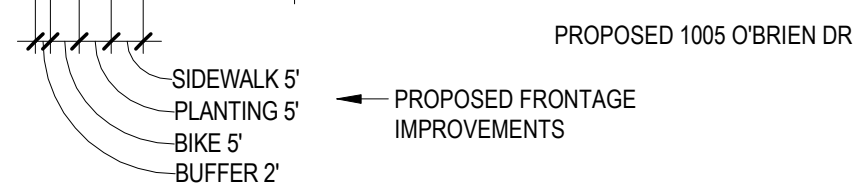
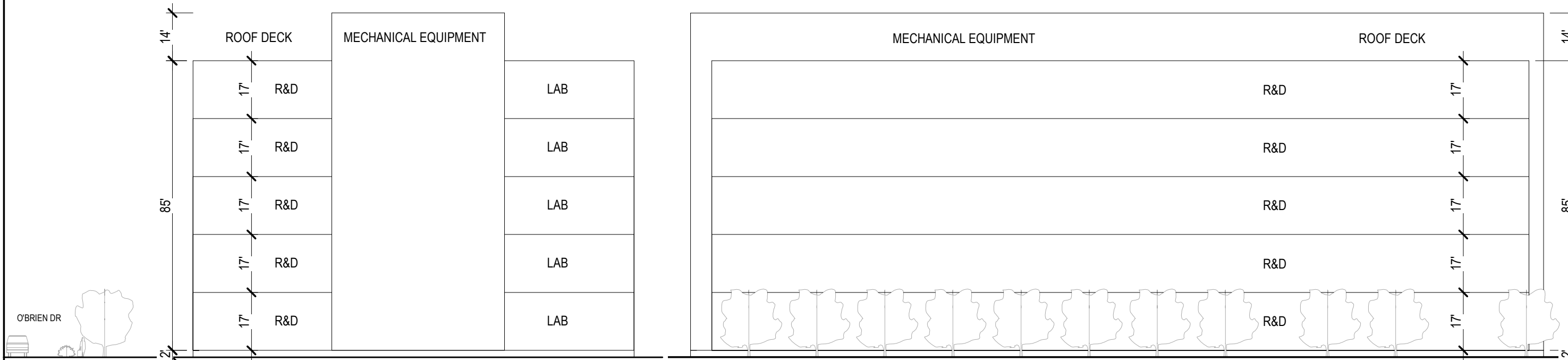
06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1005 O'BRIEN BUILDING
ELEVATIONS





1005 O'BRIEN DR STREETScape - SOUTH



1005 O'BRIEN DR SECTION - EAST

1005 O'BRIEN DR SECTION - SOUTH



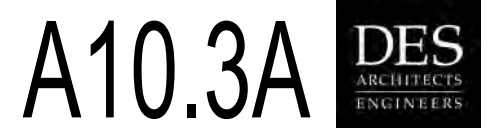
BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



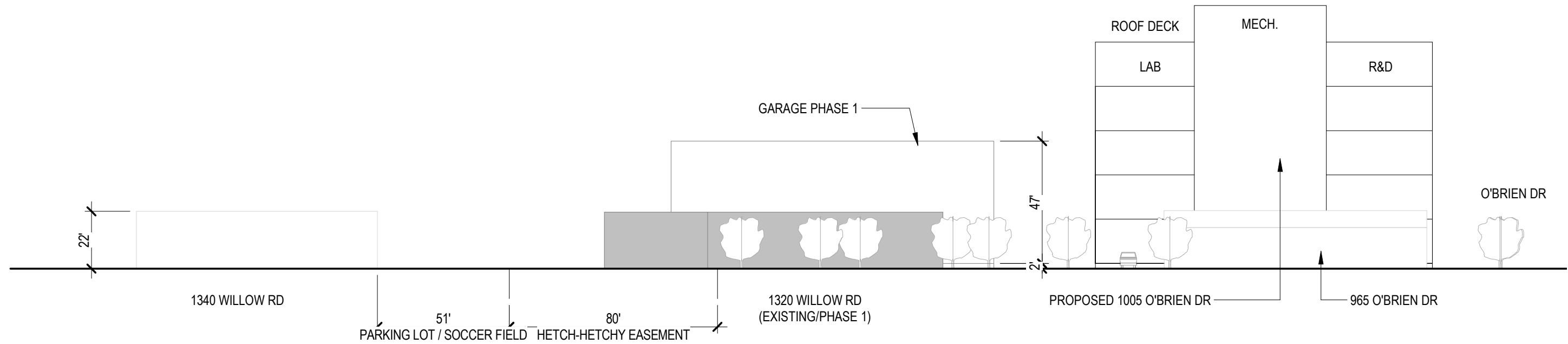
985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

1005 O'BRIEN CROSS SECTION &
 STREETScape - PHASE 1



© 2020



1 WILLOW ROAD - WEST
1" = 40'-0"



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW CROSS SECTION &
STREETSCAPE - PHASE 1

A10.3B



© 2020



FRONT VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1005 O'BRIEN 3D MASSING

A10.4



© 2020



NORTH-EAST VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1005 O'BRIEN 3D MASSING

A10.5





SOUTH-EAST AERIAL VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1005 O'BRIEN 3D MASSING

A10.6



© 2020



NORTH-WEST VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1005 O'BRIEN 3D MASSING

A10.7



© 2020



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1005 O'BRIEN 3D MASSING

A10.8



© 2020



NORTH-EAST VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_10050BD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

SPORTS COURT 3D MASSING

A10.20



© 2020



NORTH VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

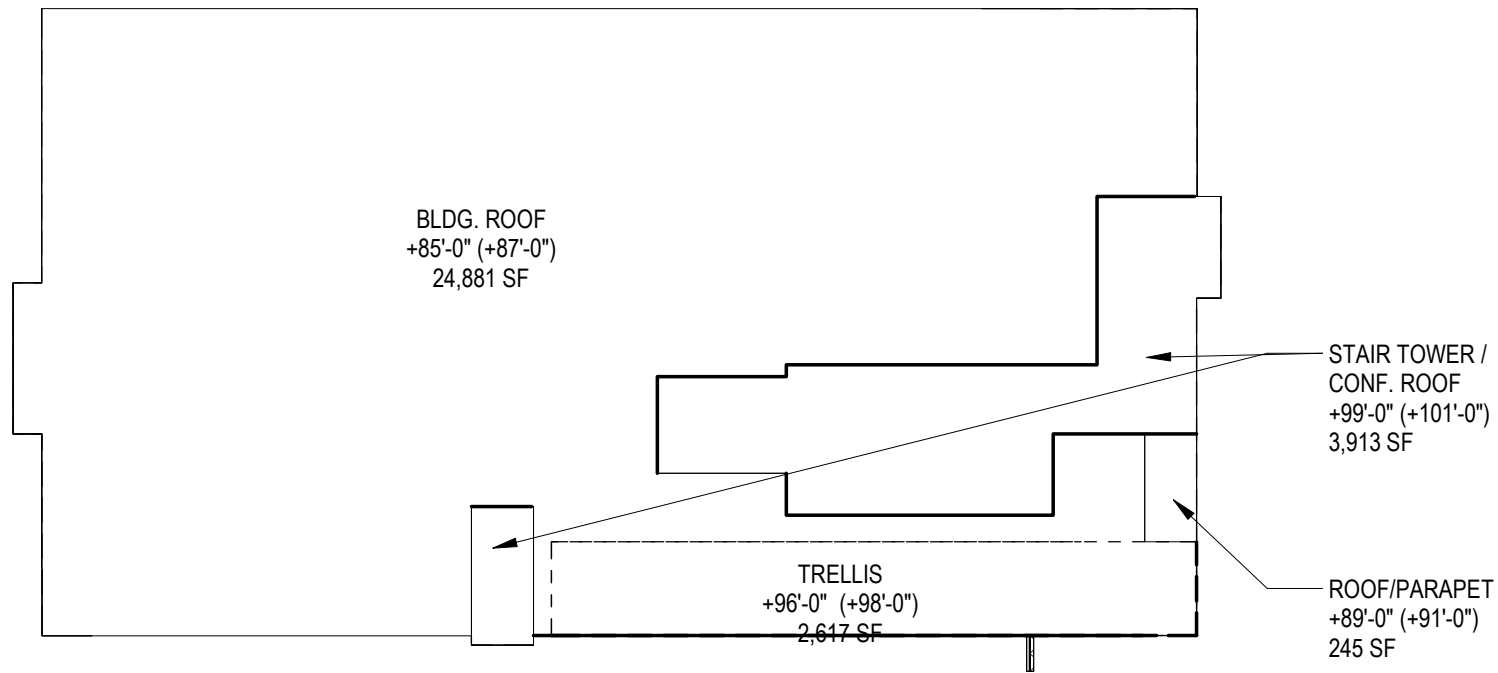
SPORTS COURT 3D MASSING

A10.21

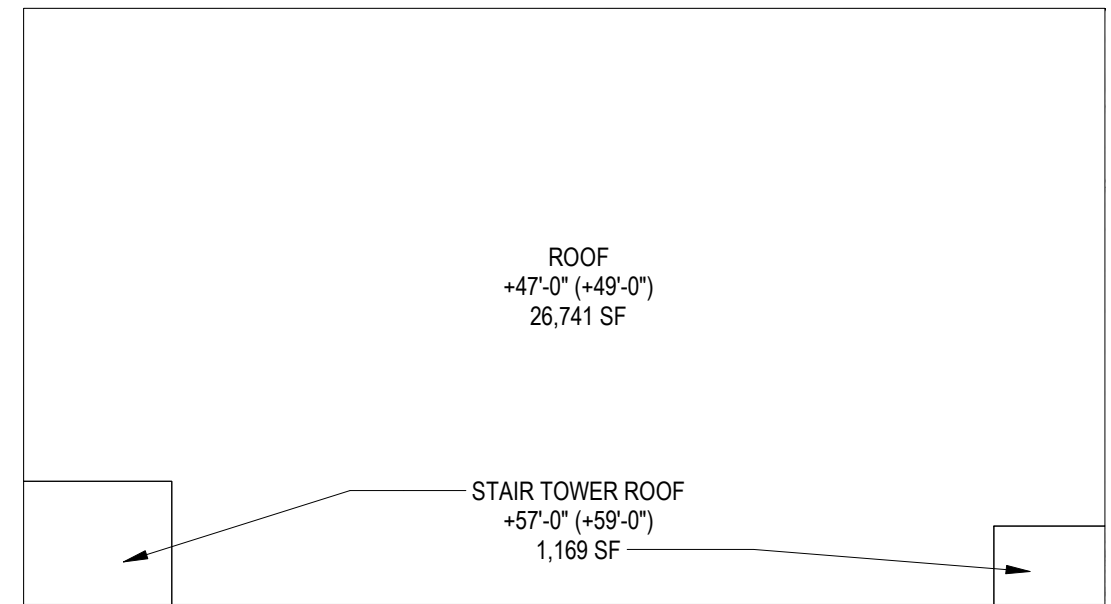


© 2020

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



1 1005 O'BRIEN - PHASE 1
1" = 40'-0"



2 GARAGE PHASE 1
1" = 40'-0"

AVERAGE HEIGHT CALCULATION - PHASE 1				
BUILDING		FLOORPLATE (SF)	BLDG. HEIGHT (FT)*	FLOORPLATE x BLDG. HEIGHT
1005 R&D (85')	BLDG. ROOF	24,881	87	2,164,647
	ROOF/PARAPET	245	91	22,295
	TRELLIS	2,617	98	256,466
	STAIRS / CONF....	3,913	101	395,213
GARAGE - PH1 (47')	GARAGE ROOF	26,741	49	1,310,309
	STAIRS TOWERS	1,169	59	68,971
TOTAL		59,566		4,217,901

AVERAGE HEIGHT (TOTAL FLOORPLATE x BLDG. HEIGHT/TOTAL FLOORPLATE)	70.81
---	-------

AVERAGE HEIGHT MAX. = 77.5 FT (INC. 10FT INCREASE PER IN FLOOD ZONE LOCATION)

* INCLUDES 2FT RAISED GRADE ABOVE EXISTING GRADE TO ACCOMMODATE FLOOD PLAIN REQUIREMENTS.



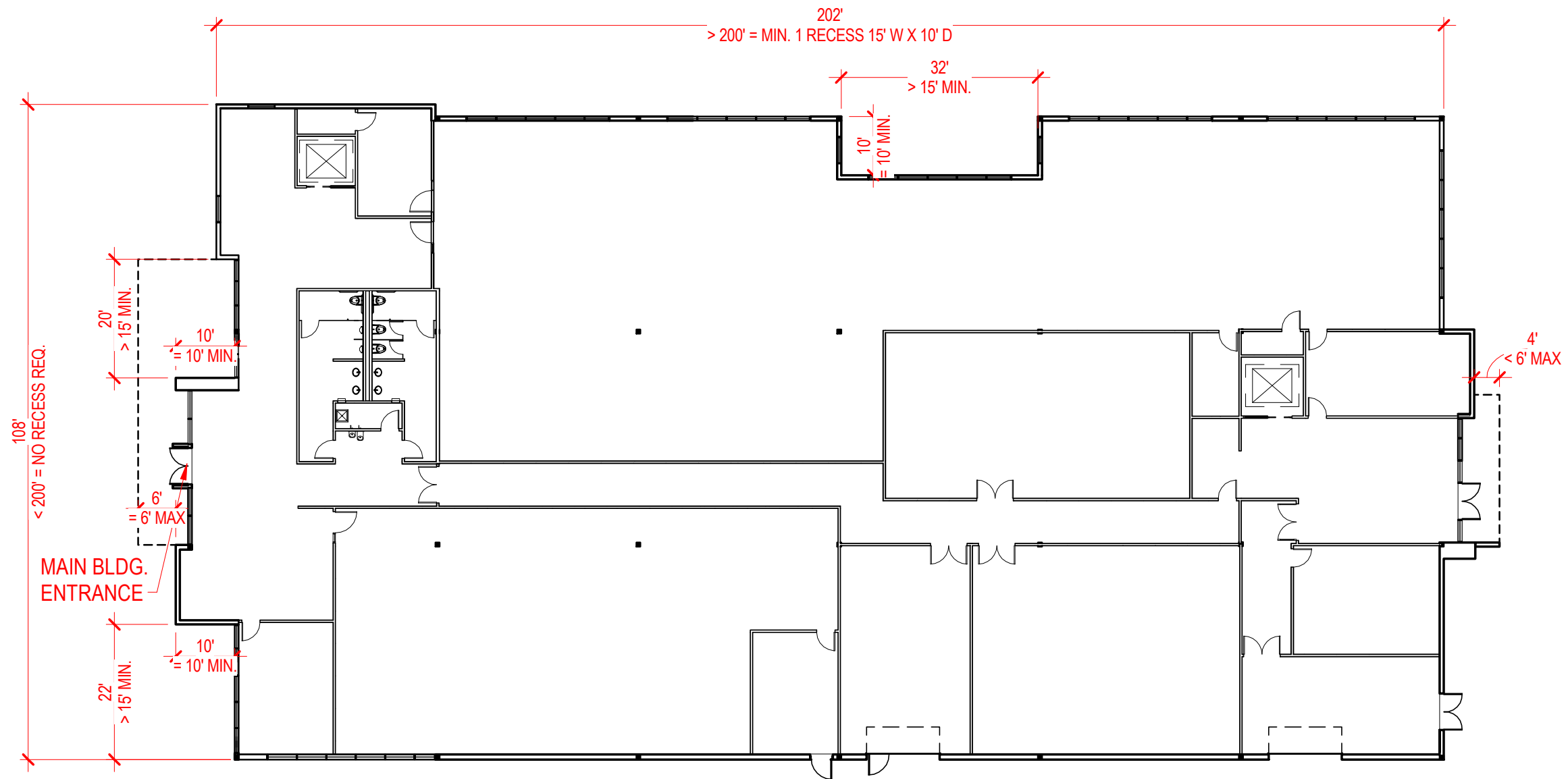
985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

PHASE 1 HEIGHT CALCULATION



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



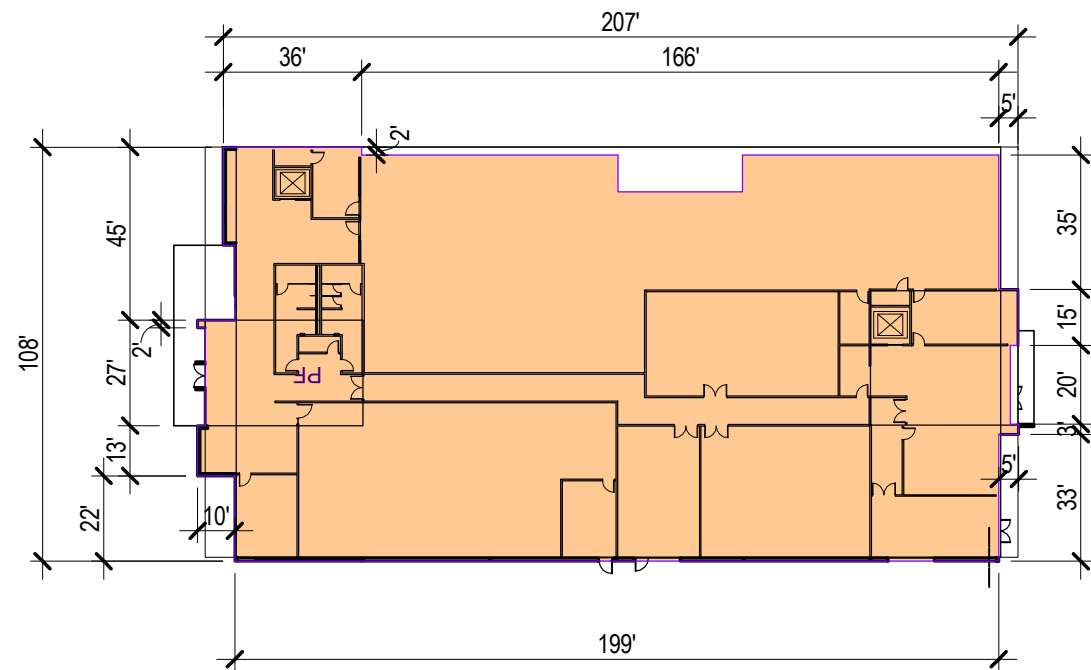
985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

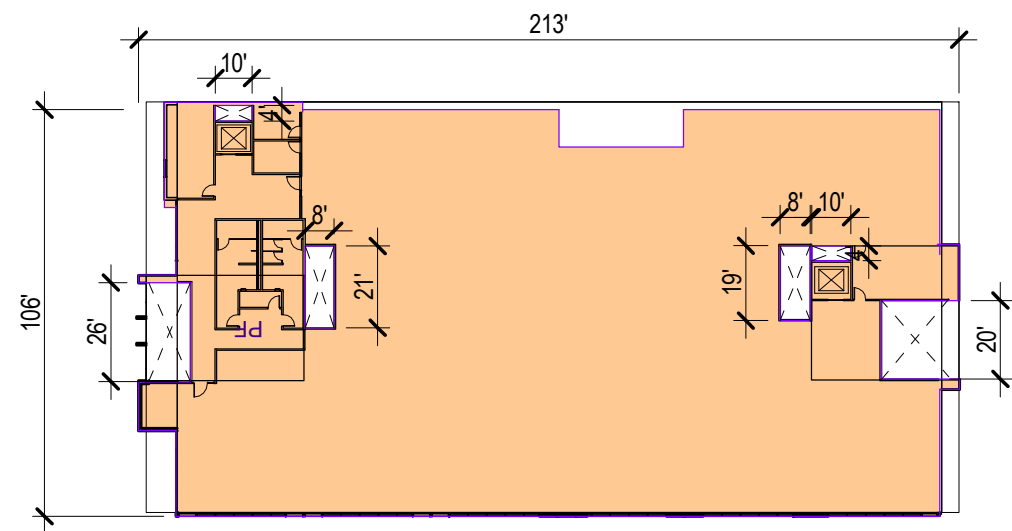
1320 WILLOW BLDG. MODULATION

A11.1





1320 LEVEL 1



1320 LEVEL 2

SHEET NOTES

GROSS FLOOR AREA:	
LEVEL 1 R&D AREA	21,312 SF
LEVEL 2 R&D AREA	20,270 SF
LEVEL 3 R&D AREA	20,923 SF
LEVEL 4 R&D AREA	8,912 SF
ROOF STAIRS & ELEV.	2,200 SF

TOTAL: 73,617 SF

OUTDOOR ROOF DECK:

CIRCULATION:	1,643 SF
LANDSCAPE:	1,538 SF
SEATING/OPEN AREA:	1,168 SF
TOTAL:	4,349 SF

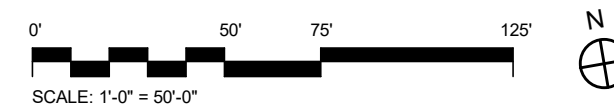
LEGEND

BUILDING (FAR)

- R&D AREA
- ROOF STAIRS & ELEVATOR
- CONFERENCE ROOM
- ROOF STORAGE

BUILDING (NOT INCLUDED IN FAR)

- ROOF DECK SEATING
- ROOF DECK CIRCULATION
- ROOF DECK LANDSCAPE
- ROOF (UNOCCUPIED)
- MECHANICAL
- SHAFTS/OPENINGS



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

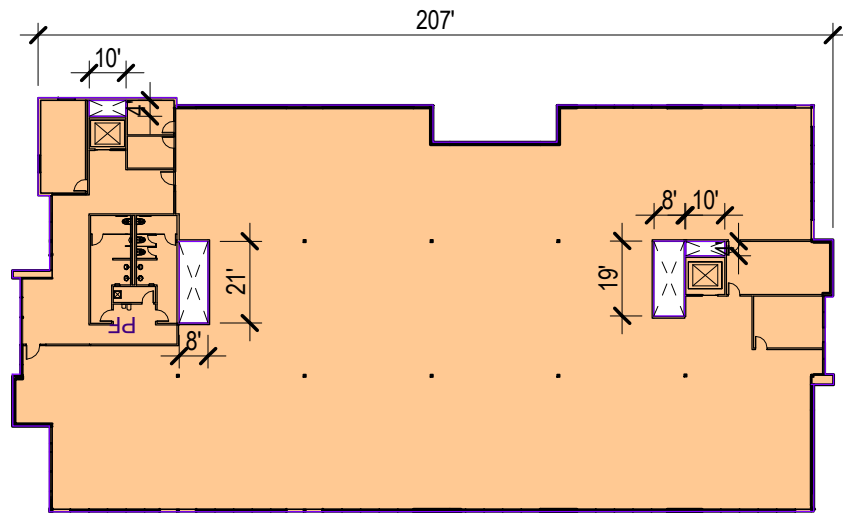
06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW GROSS FLOOR AREA
DIAGRAMS

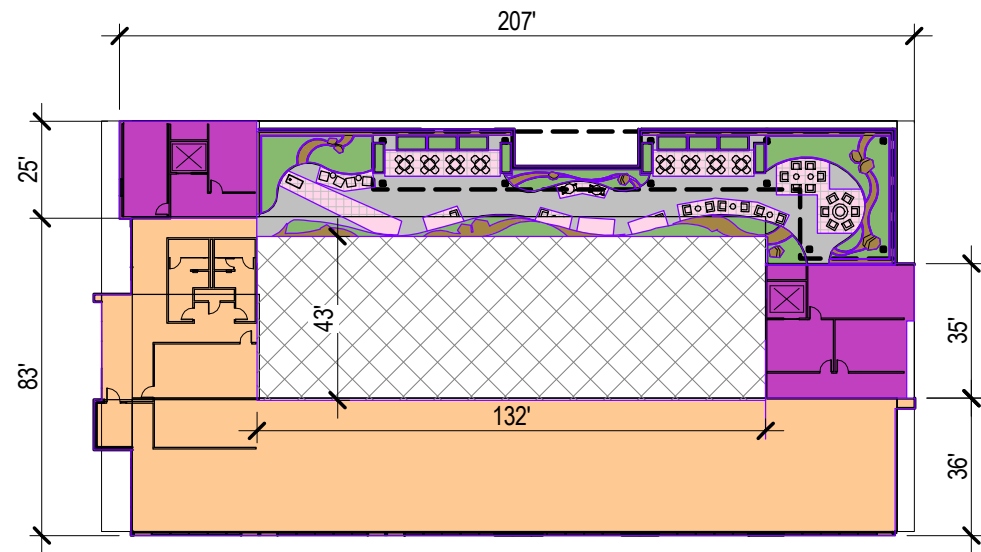
A11.1A



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



1320 LEVEL 3



1320 LEVEL 4/ROOF

SHEET NOTES

GROSS FLOOR AREA:

LEVEL 1 R&D AREA	21,312 SF
LEVEL 2 R&D AREA	20,270 SF
LEVEL 3 R&D AREA	20,923 SF
LEVEL 4 R&D AREA	8,912 SF
ROOF STAIRS & ELEV.	2,200 SF

TOTAL: 73,617 SF

OUTDOOR ROOF DECK:

CIRCULATION:	1,643 SF
LANDSCAPE:	1,538 SF
SEATING/OPEN AREA:	1,168 SF
TOTAL:	4,349 SF

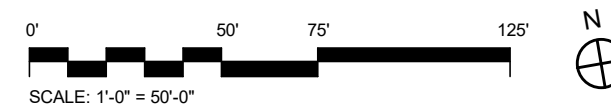
LEGEND

BUILDING (FAR)

- R&D AREA
- ROOF STAIRS & ELEVATOR
- CONFERENCE ROOM
- ROOF STORAGE

BUILDING (NOT INCLUDED IN FAR)

- ROOF DECK SEATING
- ROOF DECK CIRCULATION
- ROOF DECK LANDSCAPE
- ROOF (UNOCCUPIED)
- MECHANICAL
- SHAFTS/OPENINGS



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

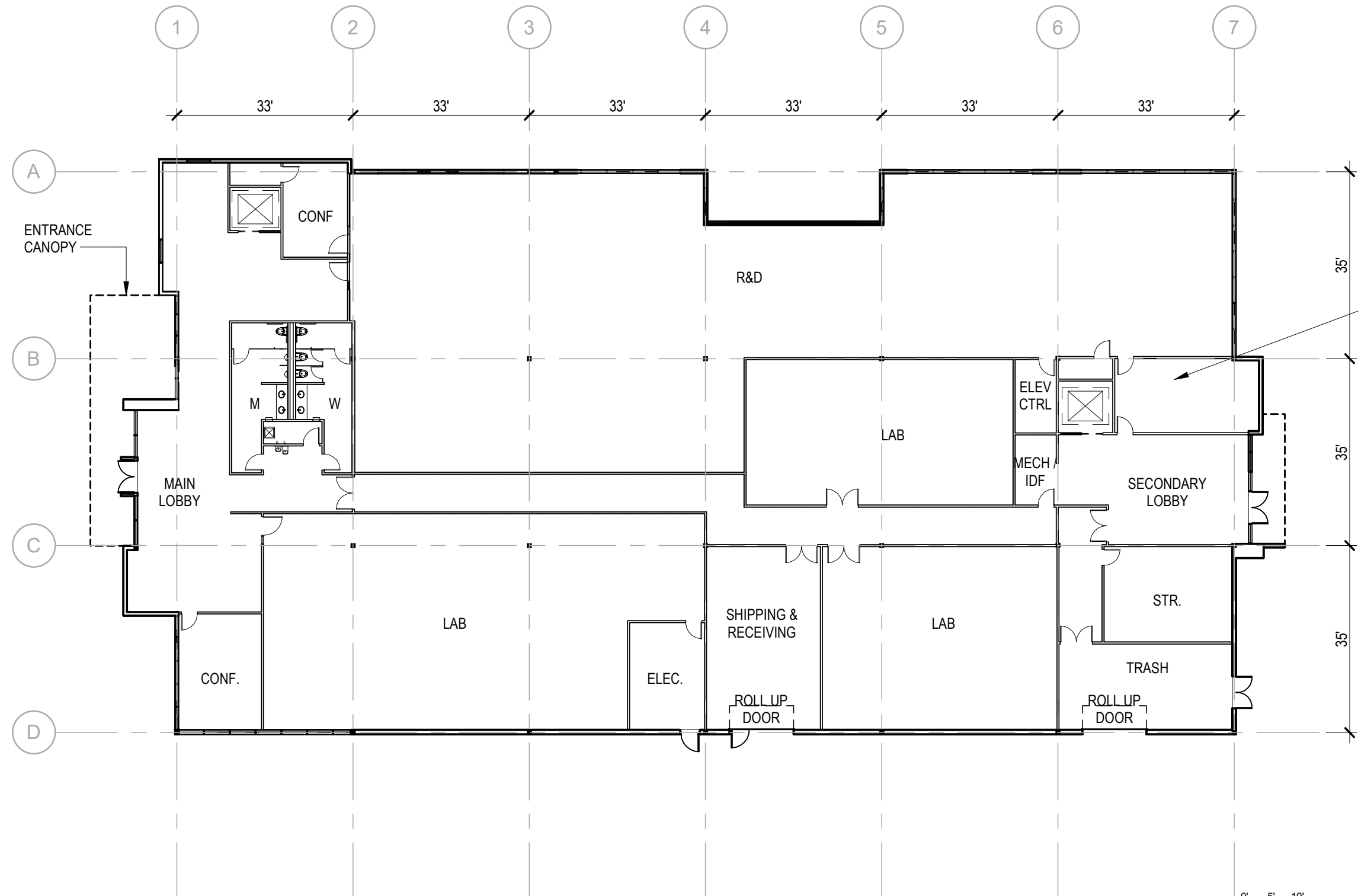
06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW GROSS FLOOR AREA
DIAGRAMS

A11.1B



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

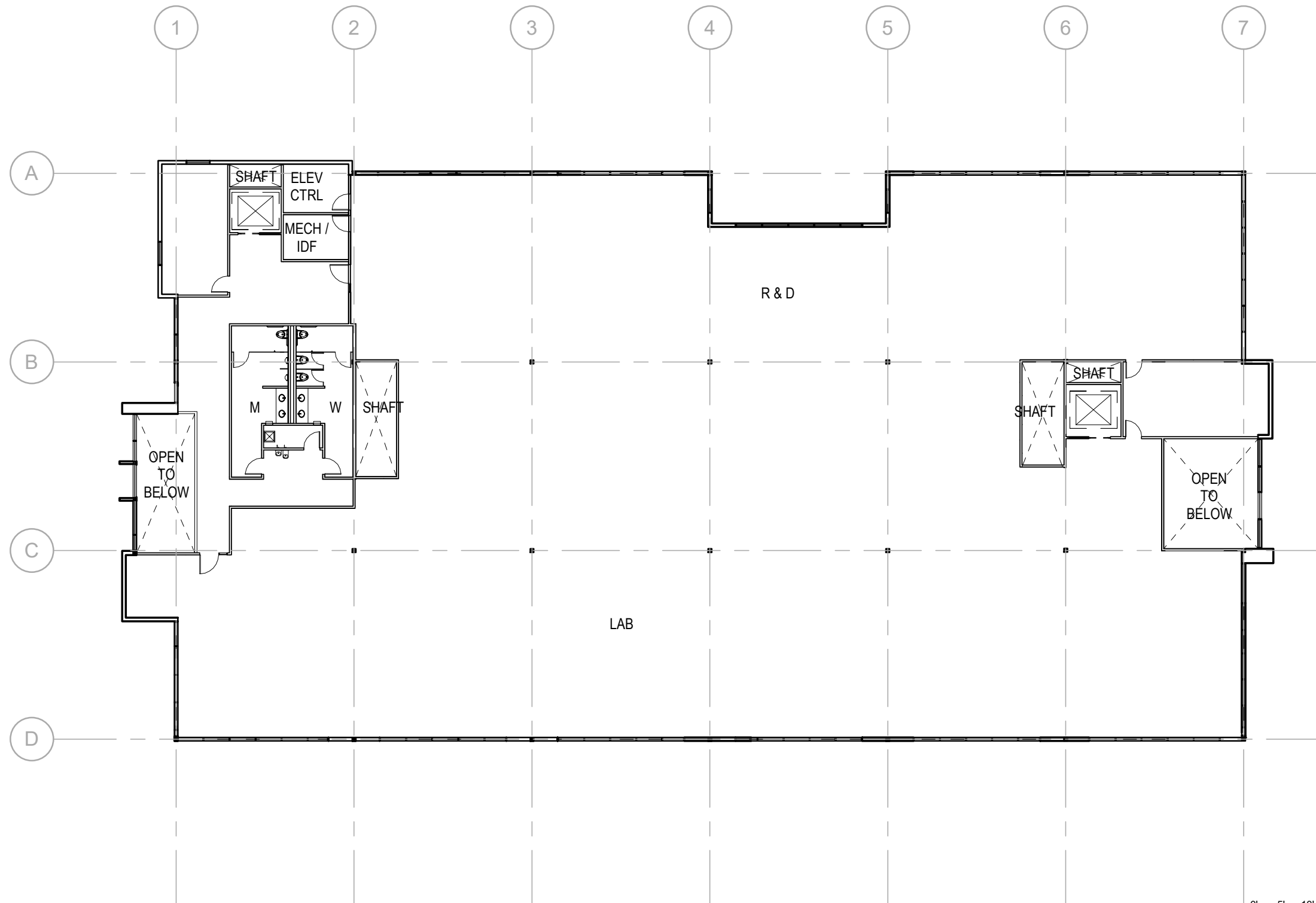
06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW LEVEL 1

A11.2 **DES**
 ARCHITECTS
 ENGINEERS

© 2020

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

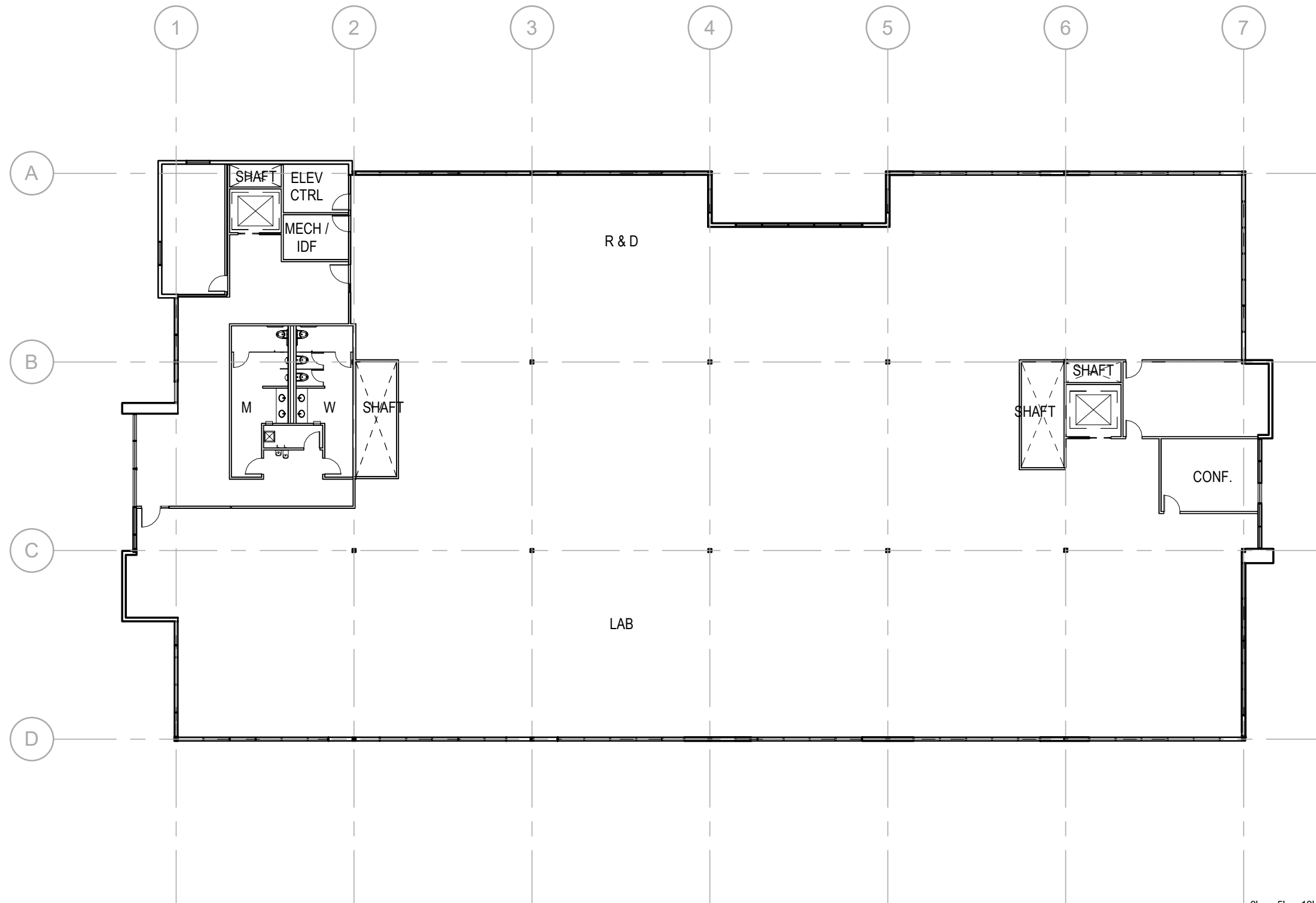
1320 WILLOW LEVEL 2

A11.3



© 2020

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

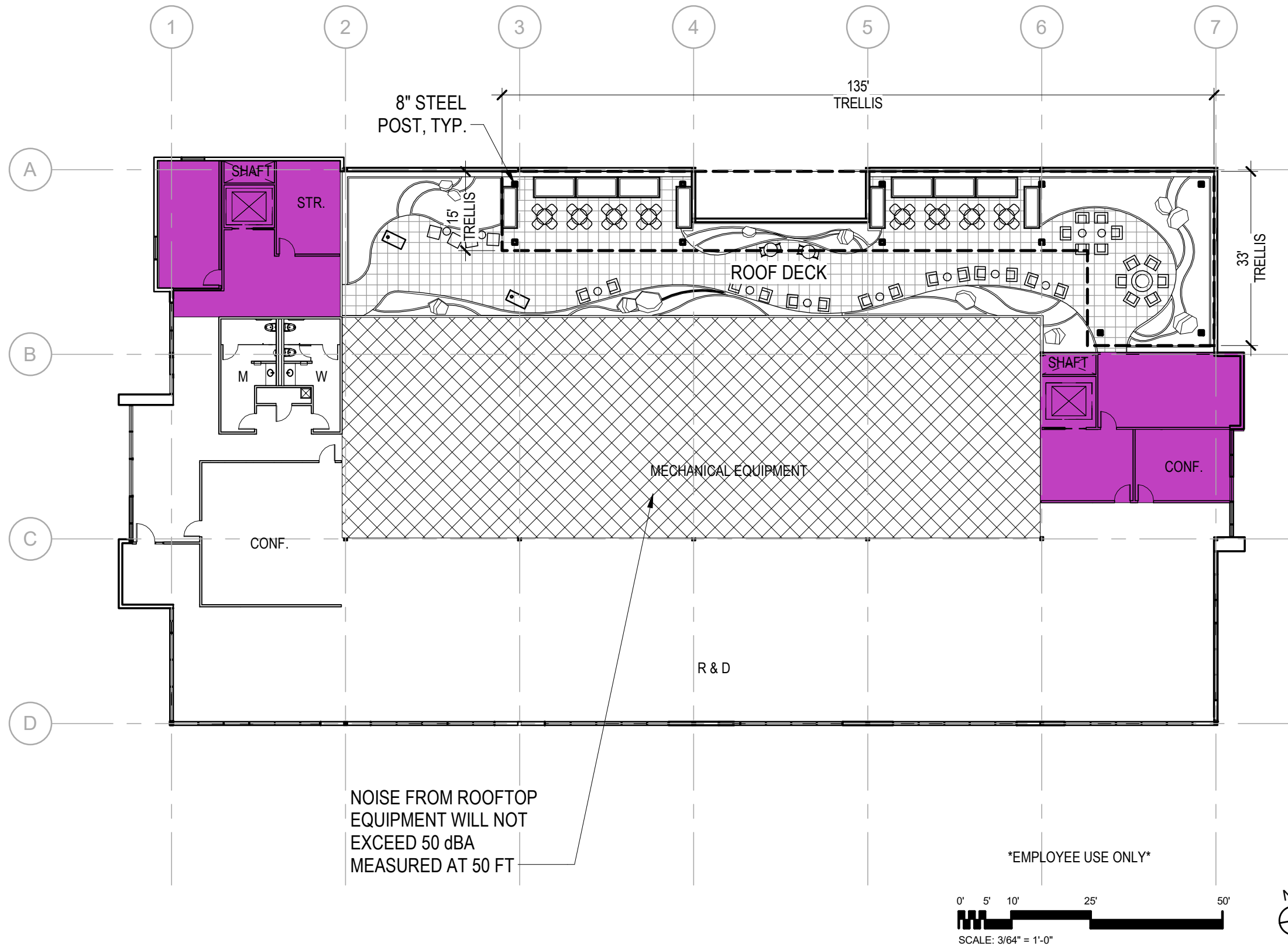
1320 WILLOW LEVEL 3

A11.4






© 2020

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



LEGEND

-  MECHANICAL EQUIPMENT / ROOF SCREEN AREA
-  ROOF ACCESS & CIRCULATION
-  ROOF TOP TRELIS



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

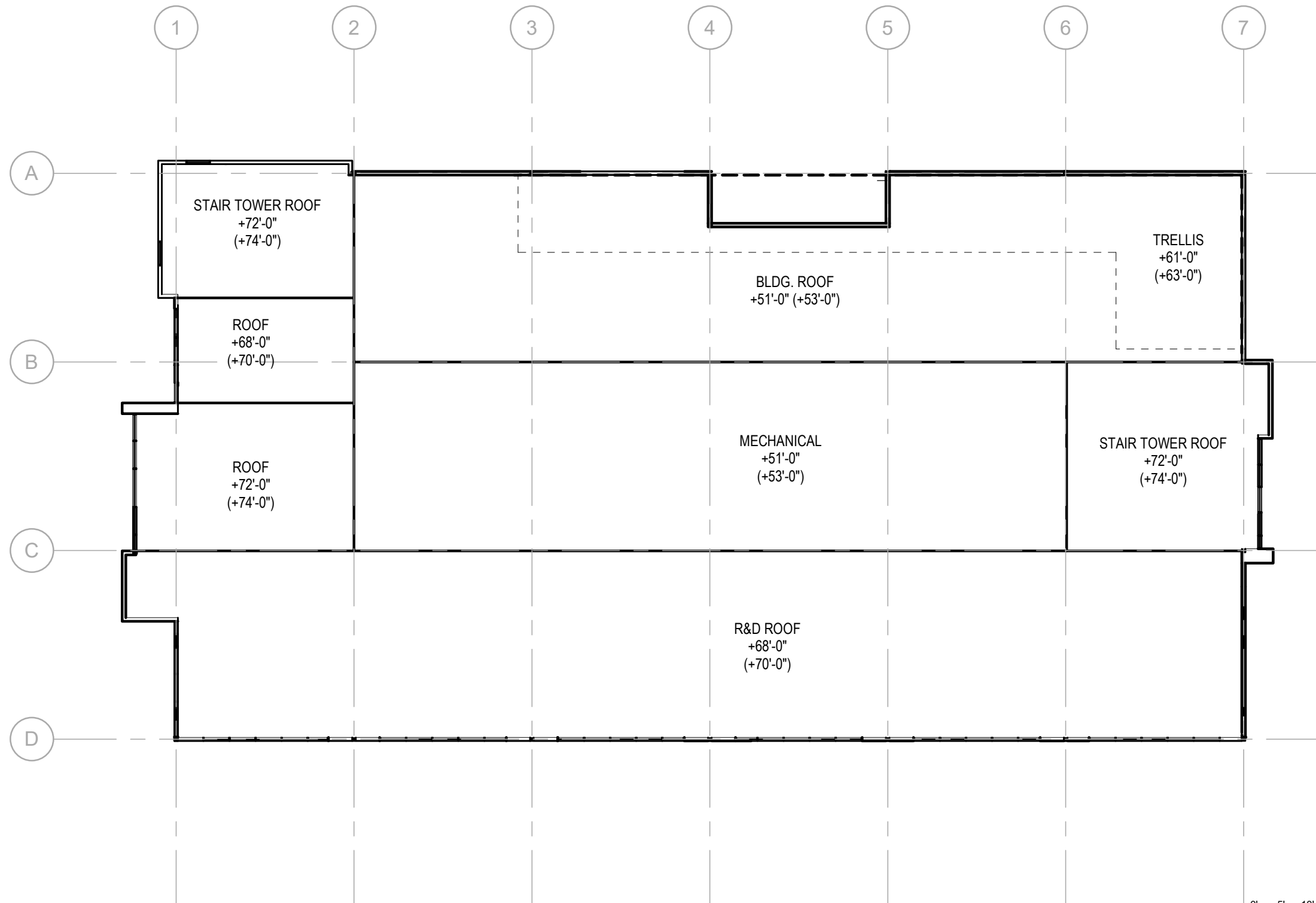
06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW LEVEL 4 / ROOF DECK

A11.5



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

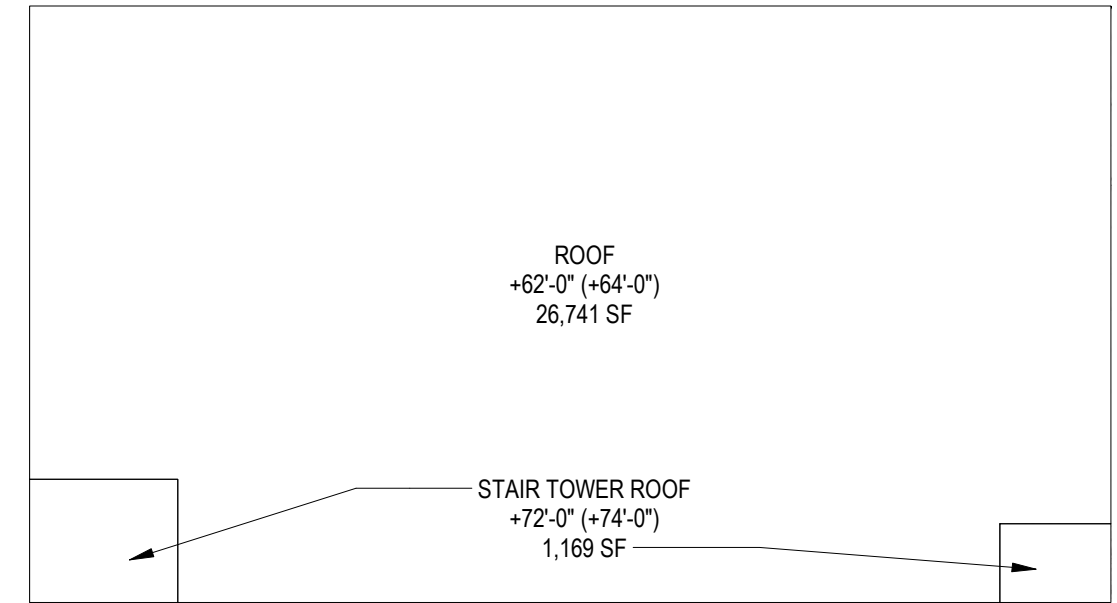
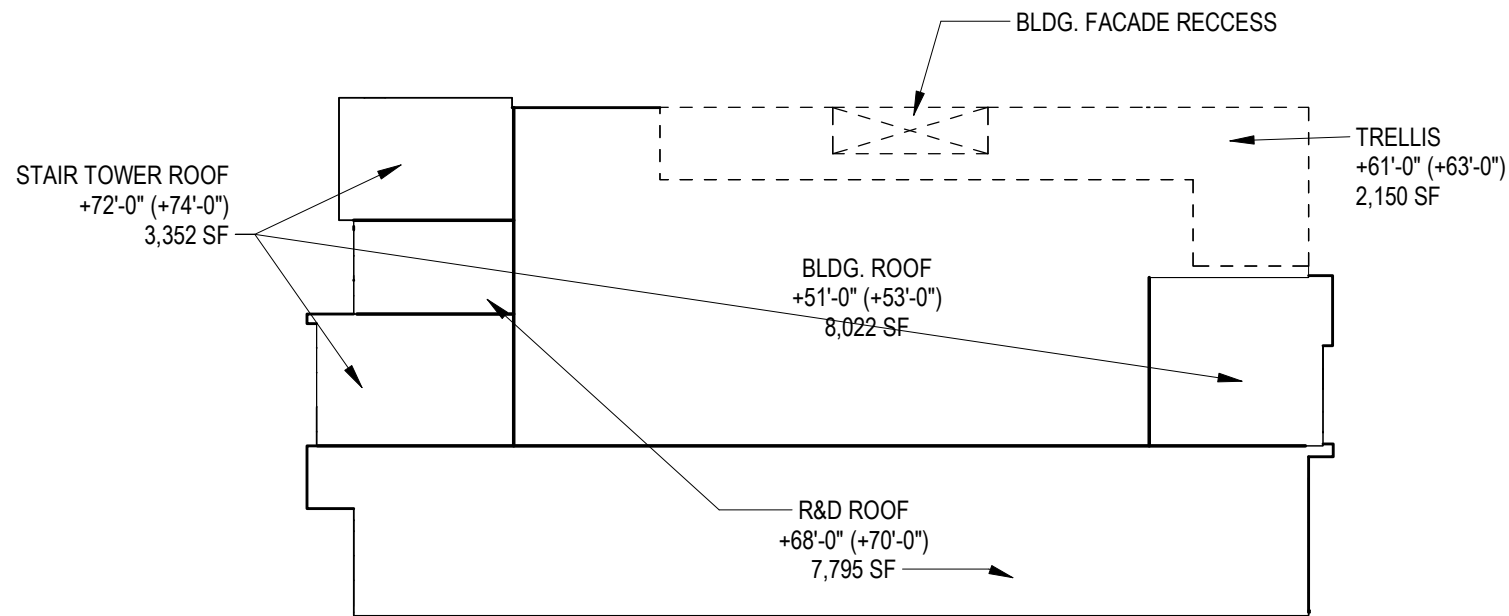
10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW ROOF

A11.6



© 2020



1 1320 WILLOW - PHASE 2
1" = 40'-0"

2 GARAGE PHASE 2
1" = 40'-0"

AVERAGE HEIGHT CALCULATION - PHASE 2				
BUILDING		FLOORPLATE (SF)	BLDG. HEIGHT (FT)*	FLOORPLATE x BLDG. HEIGHT
1005 R&D (85')	BLDG. ROOF	24,881	87	2,164,647
	ROOF/PARAPET	245	91	22,295
	TRELLIS	2,617	98	256,466
	STAIRS / CONF....	3,913	101	395,213
GARAGE - PH2 (62')	GARAGE ROOF	26,741	64	1,711,424
	STAIRS TOWERS	1,169	74	86,506
1320 WILLOW - PH2 (68')	BLDG. ROOF	8,022	53	425,166
	TRELLIS	2,150	63	135,450
	BLDG. ROOF	7,795	70	545,650
	STAIRS TOWERS	3,352	74	248,048
TOTAL		80,885		5,990,865

AVERAGE HEIGHT (TOTAL FLOORPLATE x BLDG. HEIGHT/TOTAL FLOORPLATE)	74.07
---	-------

AVERAGE HEIGHT MAX. = 77.5 FT (INC. 10FT INCREASE PER IN FLOOD ZONE LOCATION)

* INCLUDES 2FT RAISED GRADE ABOVE EXISTING GRADE TO ACCOMMODATE FLOOD PLAIN REQUIREMENTS.

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

PHASE 2 HEIGHT CALCULATION





① GLASS (TYP), LOW-E, TINTED BLUE (BIRD SAFE GLASS)



② GLASS (LOBBY), LOW-E, CLEAR DOUBLE GLASS (BIRD SAFE GLASS)



③ WINDOW MULLIONS: JLR MZG GRAY MICA II



④ METAL PANEL SYSTEM AT ENTRY CANOPY



⑤ CORRUGATED METAL PANEL: ROOF SCREEN, WALL CLADDING COLOR TO MATCH DUNN CHARCOAL SKETCH



⑨ PERFORATED METAL AWNINGS: POWDER COATED GREY

⑩ PAINTED METAL TUBE LOUVERS COLOR TO MATCH DUNN EDWARDS AUTUMN BARK



⑥ GFRC, SANDBLASTED, SMOOTH: COLOR TO MATCH DUNN EDWARDS RECLAIMED WOOD



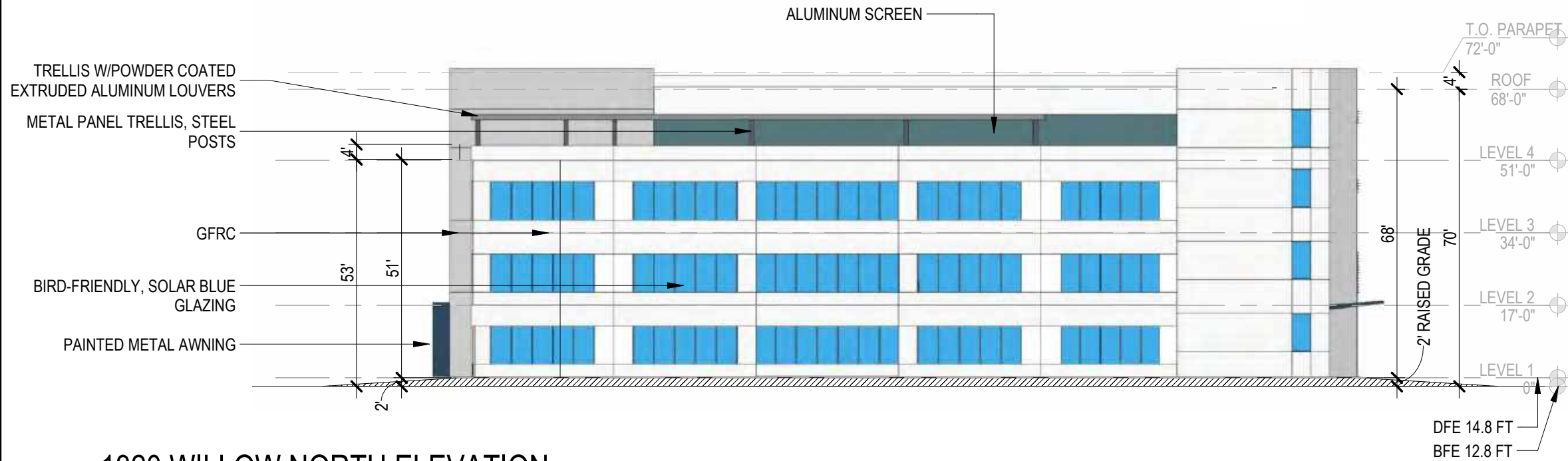
⑦ GFRC, SANDBLASTED, SMOOTH: COLOR TO MATCH DUNN EDWARDS CHARCOAL SKETCH



⑧ TRELLIS: HIGH DENSITY COMPOSITE EXTERIOR CLADDING: WOOD LOOK



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



1320 WILLOW NORTH ELEVATION

LEGEND

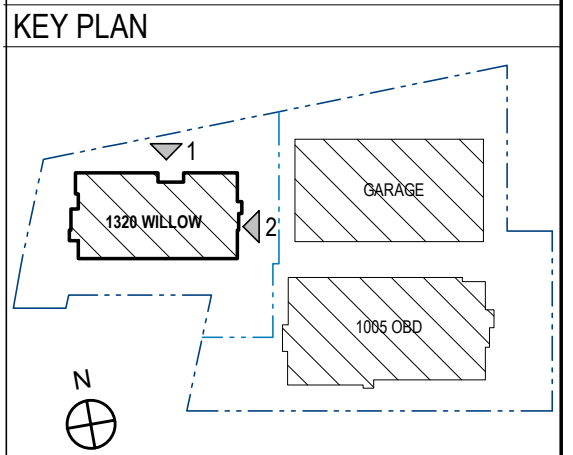
- SOLAR BAN 70, SOLAR BLUE LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- VITRO SOLARBAN 70XL, CLEAR LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- CORRUGATED ALUMINUM PANNELLING COLOR TBD
- GROUND FLOOR FRONTAGE 1,914 SF
- GROUND FLOOR TRANSPARENCY AT FRONTAGE
REQUIRED: 766 SF (40%)
PROVIDED: 939 SF (49%)

PROPOSED GLAZING RATIO

NORTH ELEVATION: 11,000 SF
SOLAR BLUE GLAZING: 3,250 SF (30%)

EAST ELEVATION: 7,200 SF
SOLAR BLUE GLAZING: 2,500 SF (35%)
CLEAR GLAZING: 250 SF (4%)

NOTE:
ALUMINUM FRAMES AT WINDOWS AND DOORS



1320 WILLOW EAST ELEVATION



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

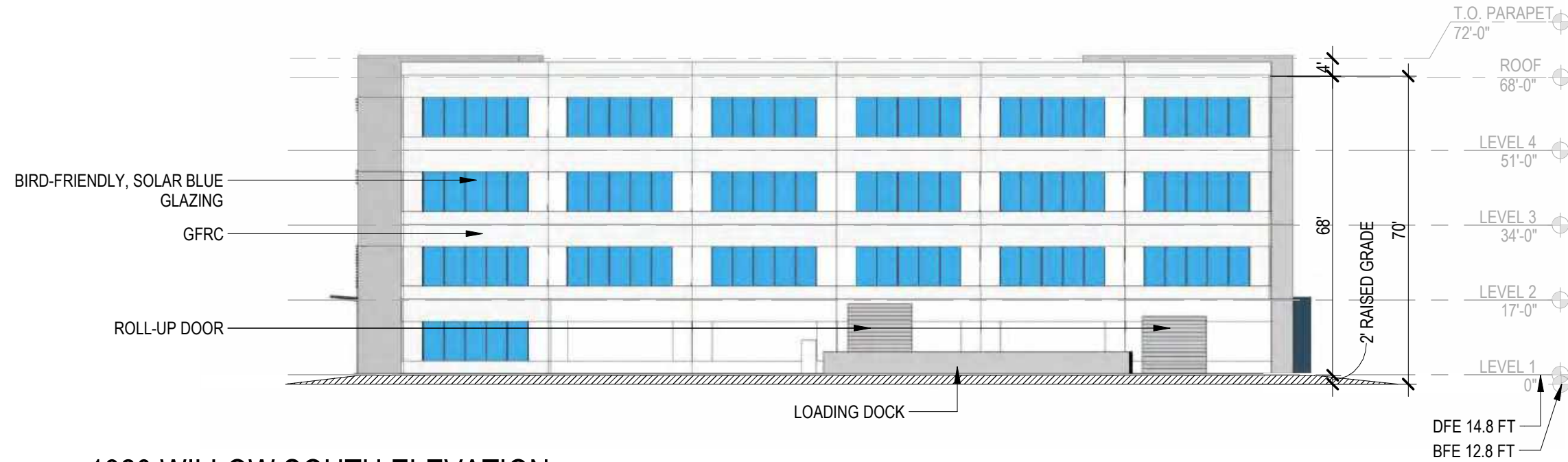
06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW BUILDING
ELEVATIONS

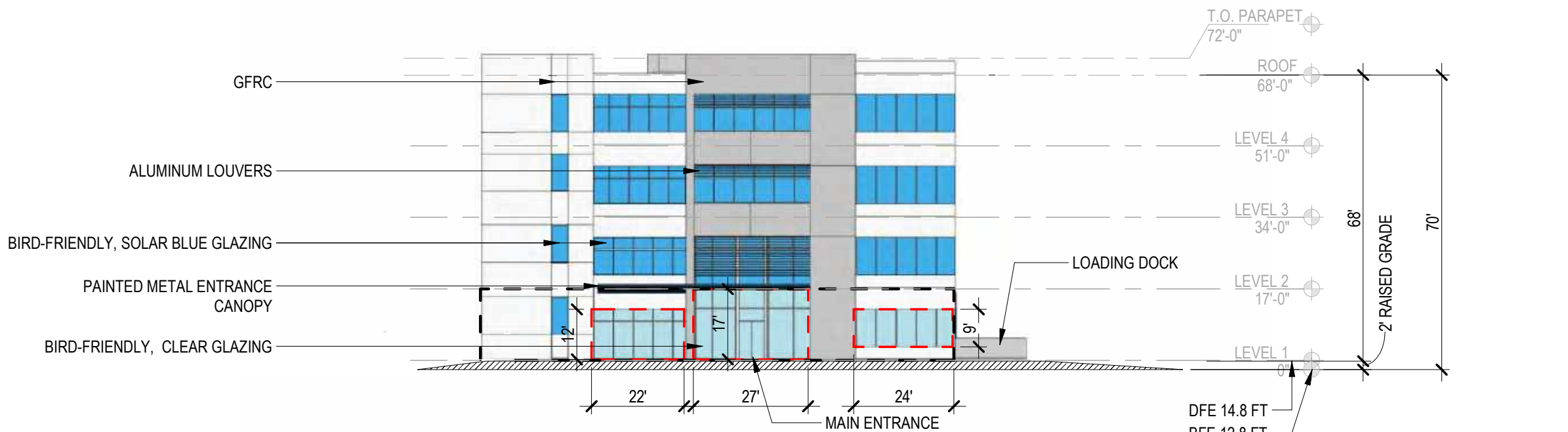
A12.1



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



1320 WILLOW SOUTH ELEVATION



1320 WILLOW WEST ELEVATION

LEGEND

- SOLAR BAN 70, SOLAR BLUE LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- VITRO SOLARBAN 70XL, CLEAR LOW-E GLAZING, WITH A BIRD-FRIENDLY 2" x 4" CERAMIC DOT FRIT PATTERN
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- GLASS FIBER REINFORCED CONCRETE PANELS SAND BLASTED FINISH TBD
- CORRUGATED ALUMINUM PANNELLING COLOR TBD
- GROUND FLOOR FRONTAGE 1,914 SF
- GROUND FLOOR TRANSPARENCY AT FRONTAGE
REQUIRED: 766 SF (40%)
PROVIDED: 939 SF (49%)

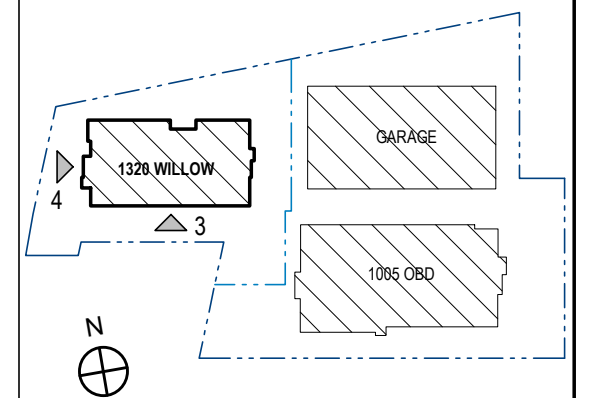
PROPOSED GLAZING RATIO

SOUTH ELEVATION: 14,400 SF
SOLAR BLUE GLAZING: 4,265 SF (30%)

WEST ELEVATION: 8,115 SF
SOLAR BLUE GLAZING: 2,151 SF (27%)
CLEAR GLAZING: 939 SF (12%)

NOTE:
ALUMINUM FRAMES AT WINDOWS AND DOORS

KEY PLAN

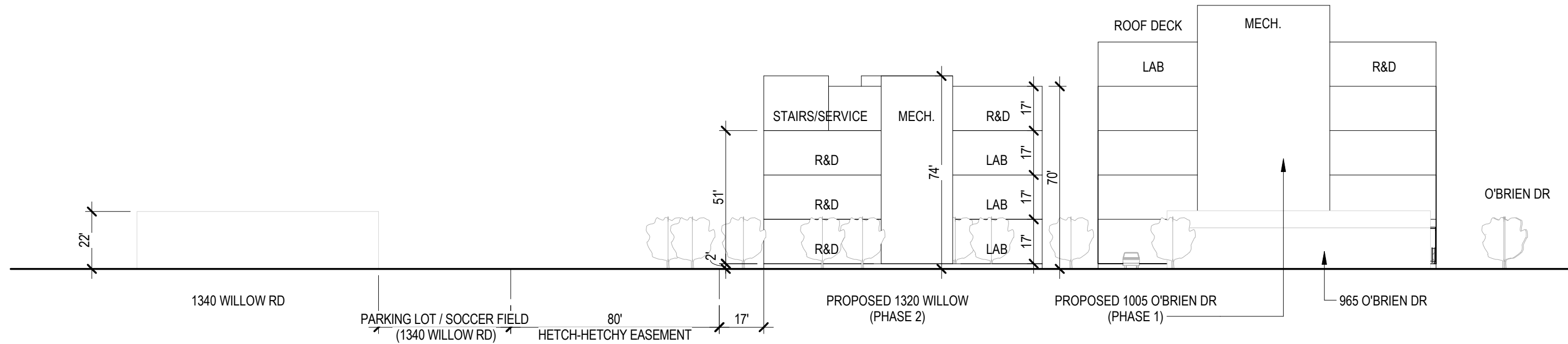


985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

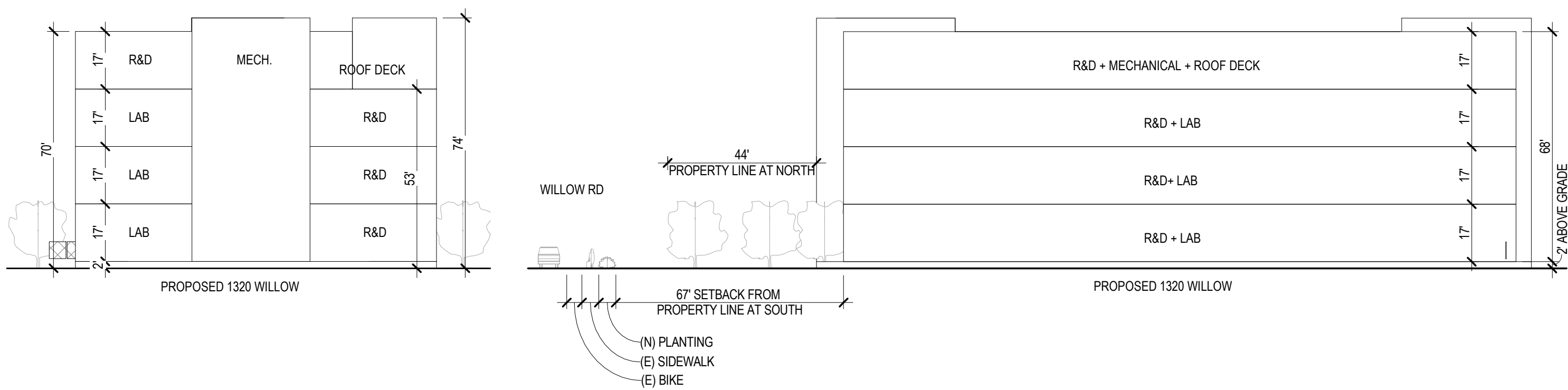
06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW BUILDING
ELEVATIONS





1 1320 WILLOW STREETScape - WEST
 1" = 40'-0"



2 1320 WILLOW SECTION - FACING EAST
 1" = 30'-0"

3 1320 WILLOW SECTION - SOUTH
 1" = 30'-0"



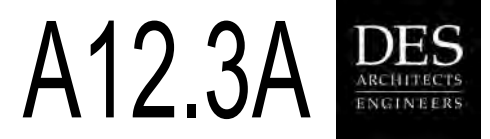
BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



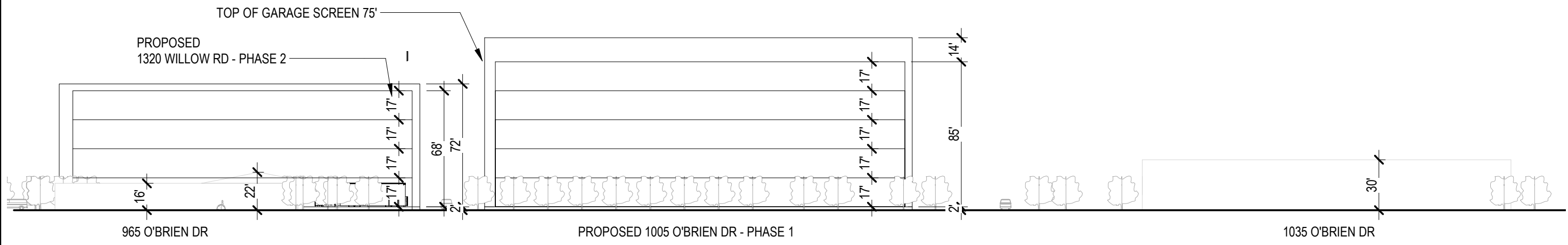
985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW CROSS SECTION &
 STREETScape - PHASE 2



© 2020



1 1005 O'BRIEN DR STREETScape - SOUTH - PHASE 2
 1" = 60'-0"



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

1005 O'BRIEN CROSS SECTION &
 STREETScape - PHASE 2

A12.3B





FRONT VIEW



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW 3D MASSING

A12.4





NORTH-WEST VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW 3D MASSING

A12.5





SOUTH-EAST VIEW



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW 3D MASSING

A12.6





985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

06-23-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW 3D VIEW OPEN
SPACE

A12.7





AERIAL VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

1320 WILLOW 3D MASSING

A12.8



© 2020



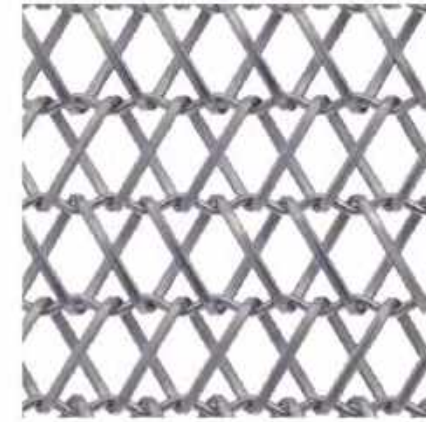
PHASE 1



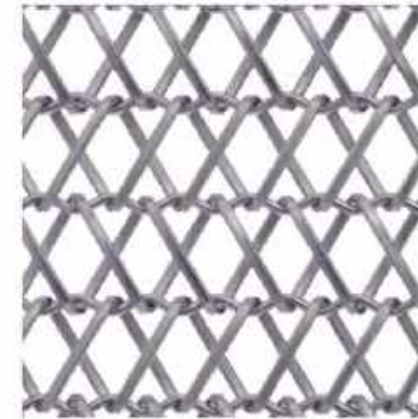
PHASE 2



① CONCRETE STRUCTURE: COLOR TO MATCH DUNN EDWARDS FOSSIL



③ FLEXIBLE METAL MESH: COLOR TO MATCH DUNN EDWARDS CHARCOAL SKETCH



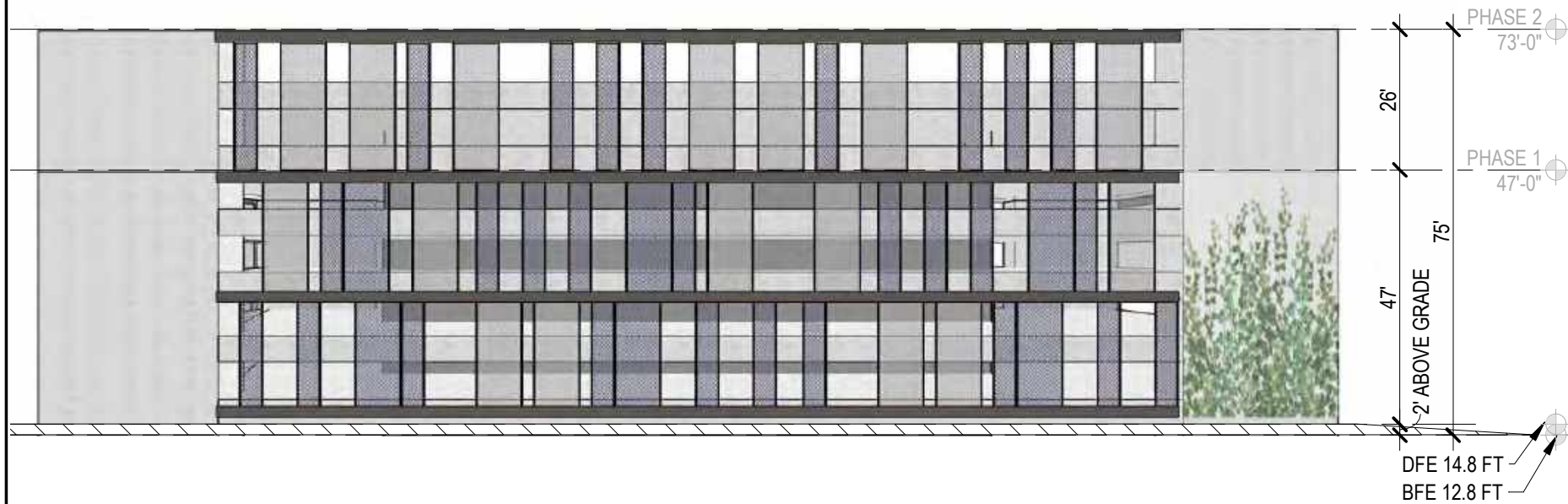
② FLEXIBLE METAL MESH: COLOR TO MATCH DUNN EDWARDS FOSSIL



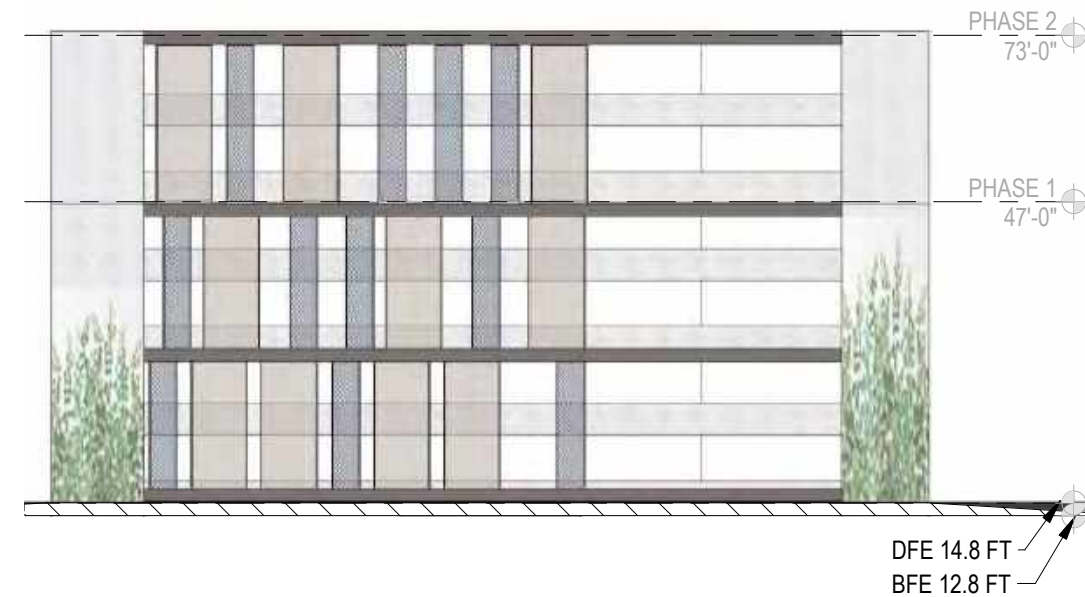
④ METAL STRUCTURE: COLOR TO MATCH DUNN EDWARDS CHARCOAL SKETCH



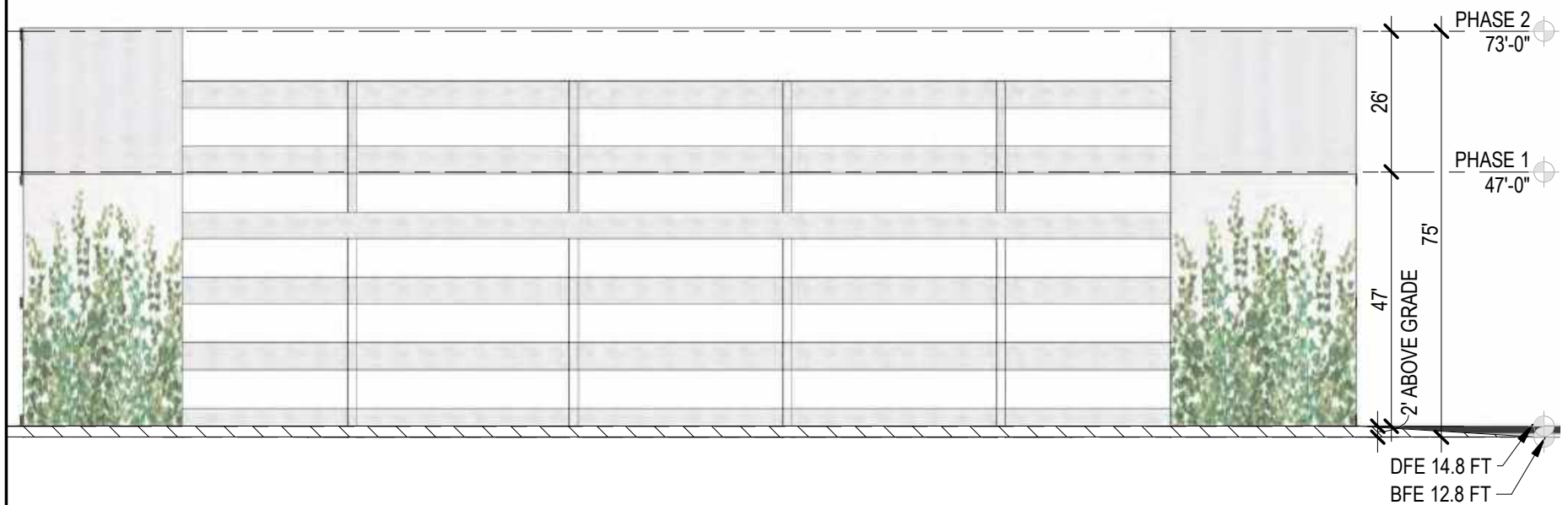
BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



GARAGE NORTH ELEVATION



GARAGE WEST ELEVATION



GARAGE SOUTH ELEVATION



GARAGE EAST ELEVATION



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

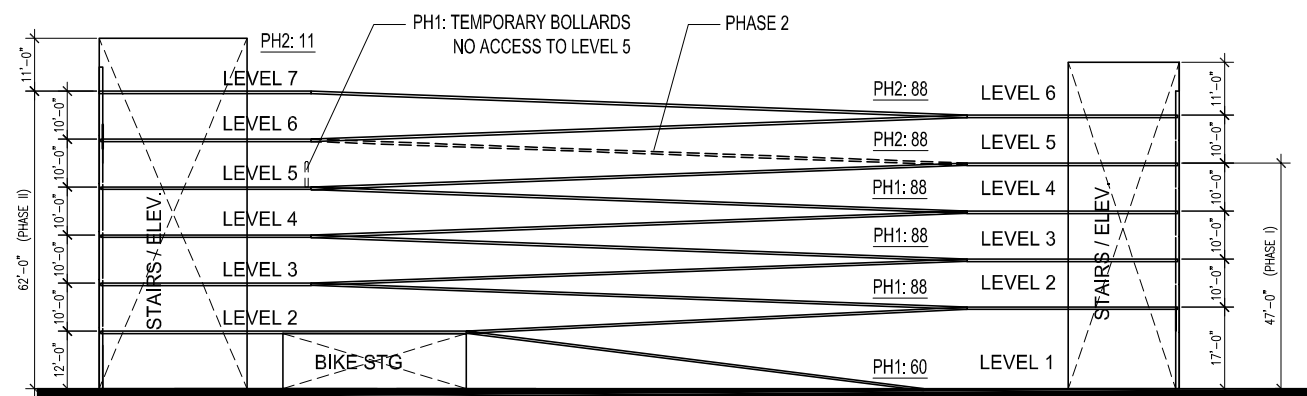
10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

GARAGE ELEVATIONS

A13.0

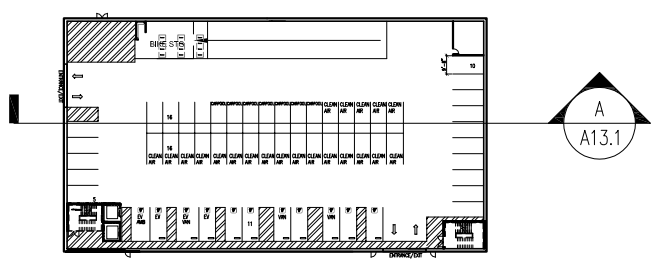


© 2020



A GARAGE SECTION
1'-0" = 40'-0"

KEY PLAN



GARAGE

<u>PHASE 1:</u>	
LEVEL 1	27,900 SF
LEVEL 2	27,900 SF
LEVEL 3	27,900 SF
LEVEL 4	27,900 SF
LEVEL 5	27,900 SF (NOT ACCESSIBLE BY CARS)
	139,500 SF
<u>PHASE 2:</u>	
LEVEL 6	27,900 SF
TOTAL:	5,400 SF
	33,300 SF
LEVEL 7	172,800 SF

TOTAL REQUIRED	PHASE 1	PHASE 2	TOTAL
<u>LS ZONING:</u> RESEARCH & DEVELOPMENT: (1.5 - 2.5 / 1,000 SF)	232 - 387	111 - 186	343 - 573
<u>LEED V4.1:</u> RESEARCH & DEVELOPMENT: (3.4 / 1,000 SF - 20%) MAX	420	200	620
<u>EV / CLEAN AIR SPACES:</u>			
LS ZONING: 10% EVCS	24 - 39	12 - 19	36 - 58
5% EV READY	12 - 20	10 - 10	22 - 30
CALGREEN(TIER 2): 20% EV	47 - 75	23 - 38	70 - 113
8% CLEAN AIR/VANPOOL/CARPOOL	19 - 31	9 - 15	28 - 46
LEED V4.1: 10% EVCS	24 - 39	12 - 19	36 - 58
CBC 2019: ACCESSIBLE EVCS PER TABLE 11B-228.3.2.1	5 - 10 (PH. 1 + PH. 2)		
TOTAL PROVIDED			
<u>LS ZONING:</u> RESEARCH & DEVELOPMENT:	341	193	534 (2.4/1000 SF)
<u>LEED V4.1:</u> RESEARCH & DEVELOPMENT: < 620	341	193	534 (2.4/1000 SF)
<u>EV / CLEAN AIR SPACES:</u>			
EVCS(15%):	54	29	83
EV READY(5%):	18	10	28
CLEAN AIR/VANPOOL/CARPOOL(8%):	28	16	44
CBC 2019: ACCESSIBLE EVCS PER TABLE 11B-228.3.2.1	10		

PARKING SPACES BREAKDOWN		INTERIM AT 1320 WILLOW	PROVIDED AT PHASE 2 (1320 WILLOW)	TOTAL
<u>PROVIDED AT PHASE 1 (1005 O'BRIEN)</u>				
<u>SITE:</u>			<u>SITE:</u>	
STANDARD:	18	36	STANDARD:	1
ACCESSIBLE:	2	3 (1 VAN, 2 STDRD)	ACCESSIBLE:	2
<u>GARAGE (4 LEVELS):</u>			<u>GARAGE (3 LEVELS - ABV. EXISTING):</u>	
STANDARD:	202		STANDARD:	135
ACCESSIBLE:	9 (INC. REQ. FOR PHASE 2)		ACCESSIBLE:	(PROVIDED AT PHASE 1)
EVCS(15%):	54		EVCS(15%):	29
ACCESSIBLE EV:	10 (INC. REQ. FOR PHASE 2) (2 VAN, 4 STDRD, 4 AMBULATORY)		ACCESSIBLE EV:	(PROVIDED AT PHASE 1)
EV READY(5%):	18		EV READY(5%):	10
CLEAN AIR/VANPOOL(6%):	21		CLEAN AIR/VANPOOL(6%):	12
CLEAN AIR/CARPOOL (2%):	7		CLEAN AIR/CARPOOL (2%):	4
1005 O'BRIEN DR:	341 SPACES		1320 WILLOW RD:	193 SPACES
				534 SPACES

BIM 360/Tarltan - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



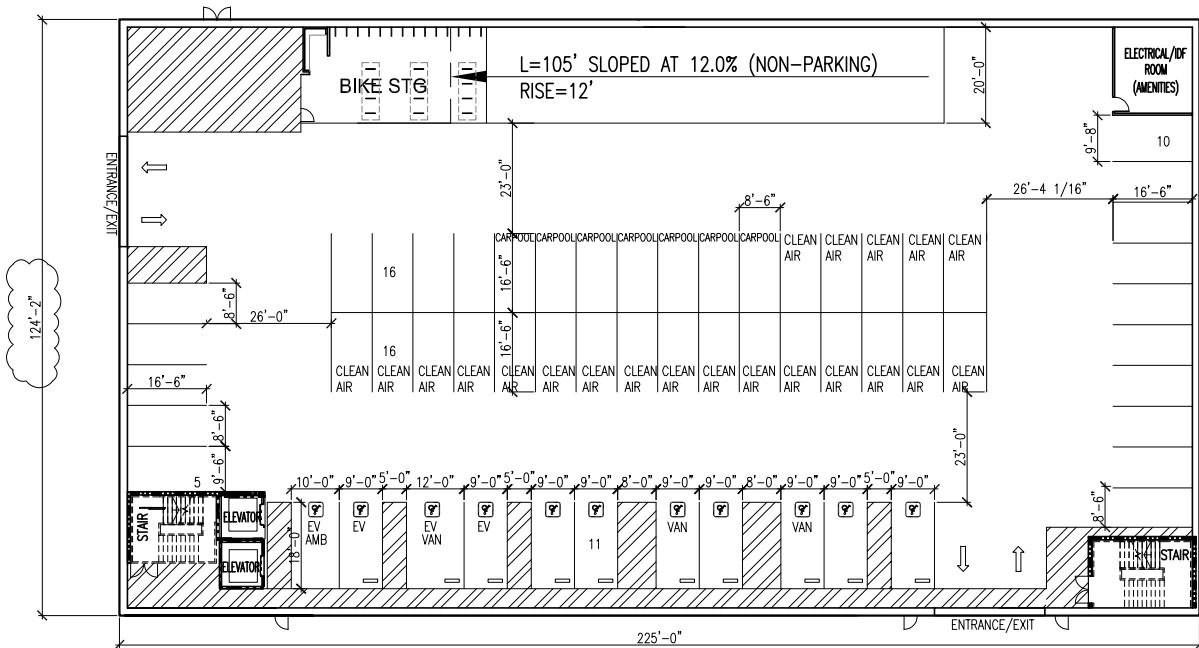
985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
05-26-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

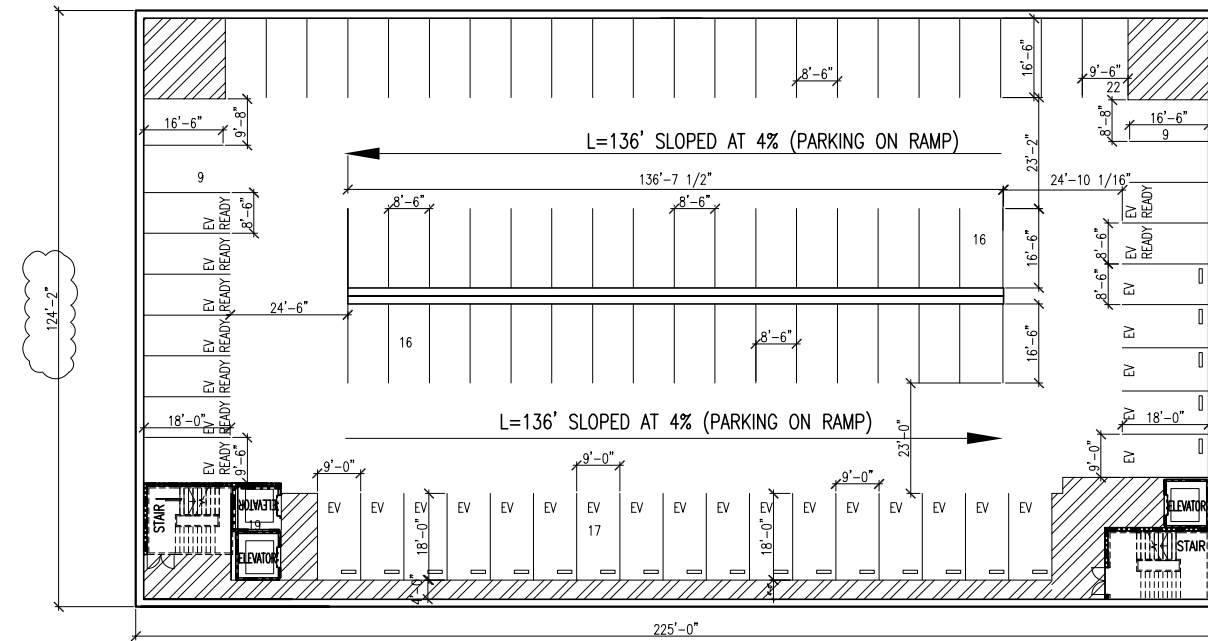
PARKING COUNT &
GARAGE SECTION

A13.1

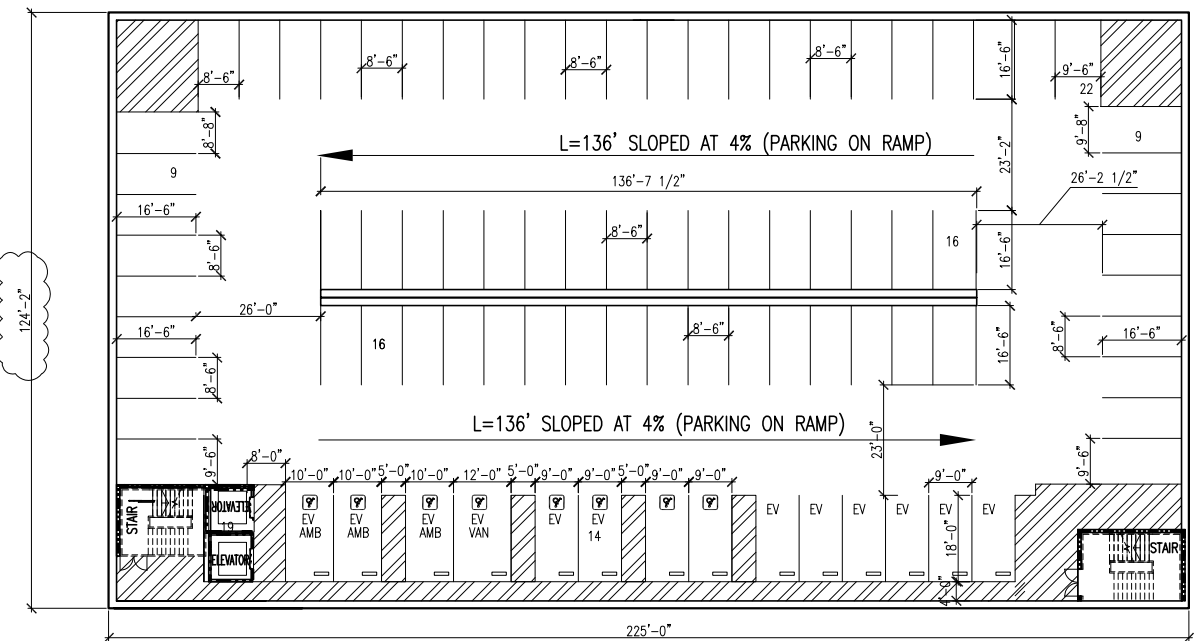




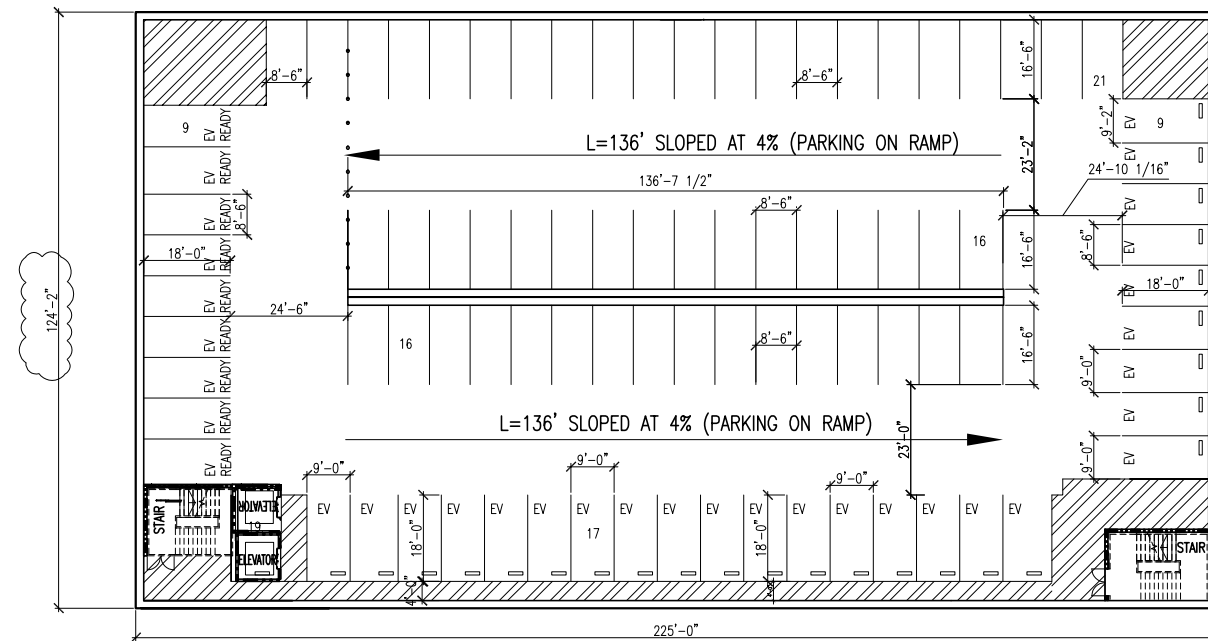
1 LEVEL 1 – NO PARKING ON RAMP (9.5% SLOPE)
1'-0"=40'-0"



3 LEVEL 3 – PARKING ON RAMP (4% CONTINUOUS)
1'-0"=40'-0"



2 LEVEL 2 – PARKING ON RAMP (4% CONTINUOUS)
1'-0"=40'-0"



4 LEVEL 4 – PARKING ON RAMP (4% CONTINUOUS)
1'-0"=40'-0"



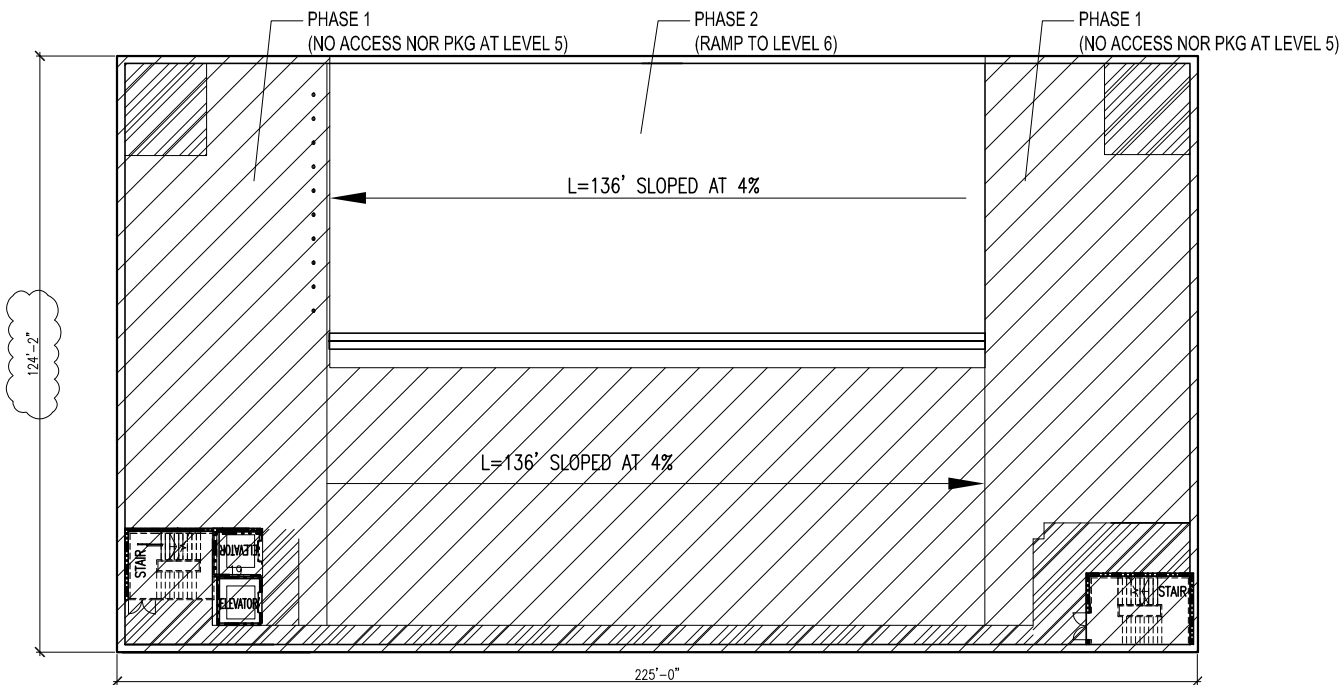
985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

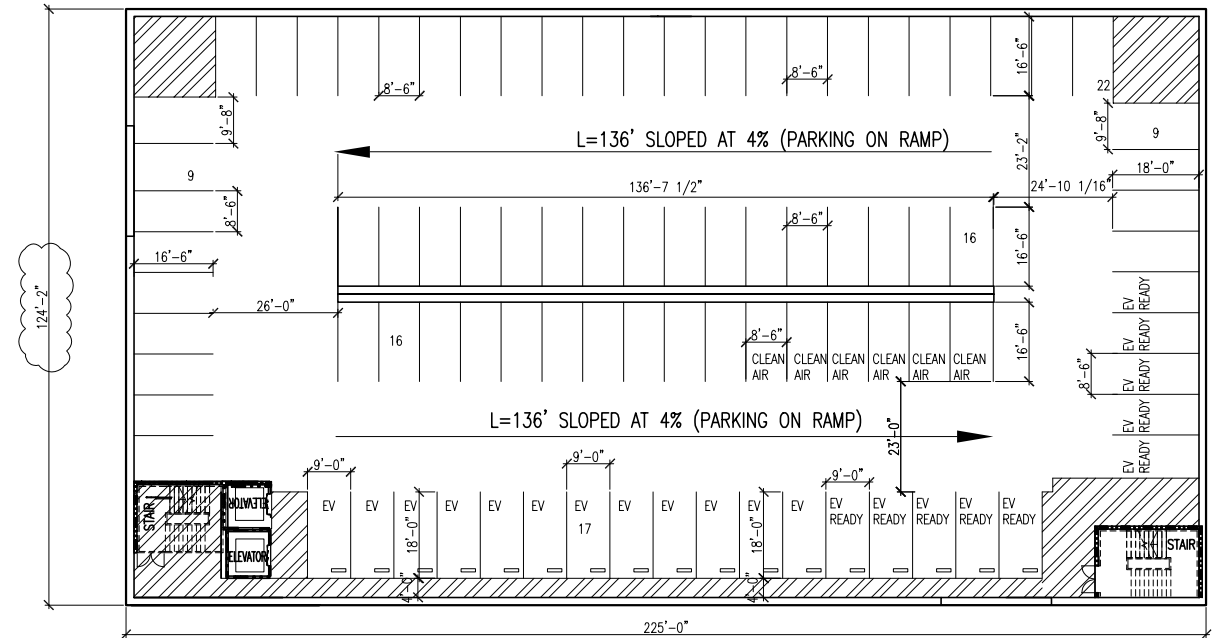
GARAGE PLANS PHASE 1

A13.2

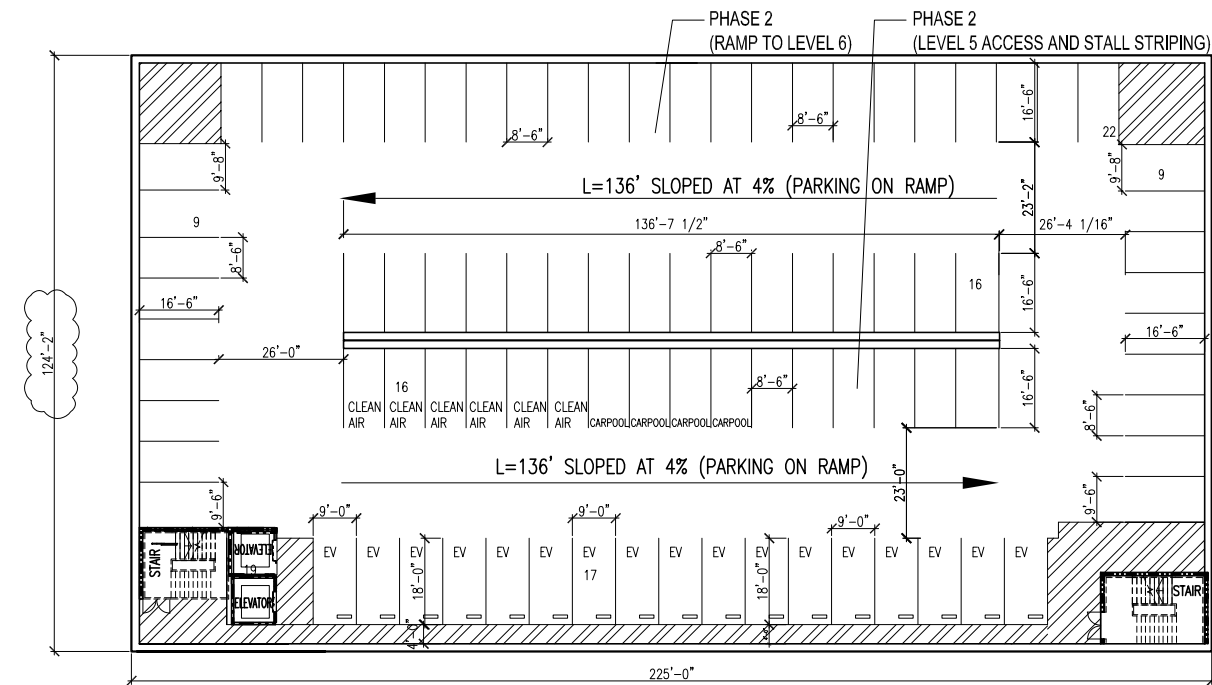




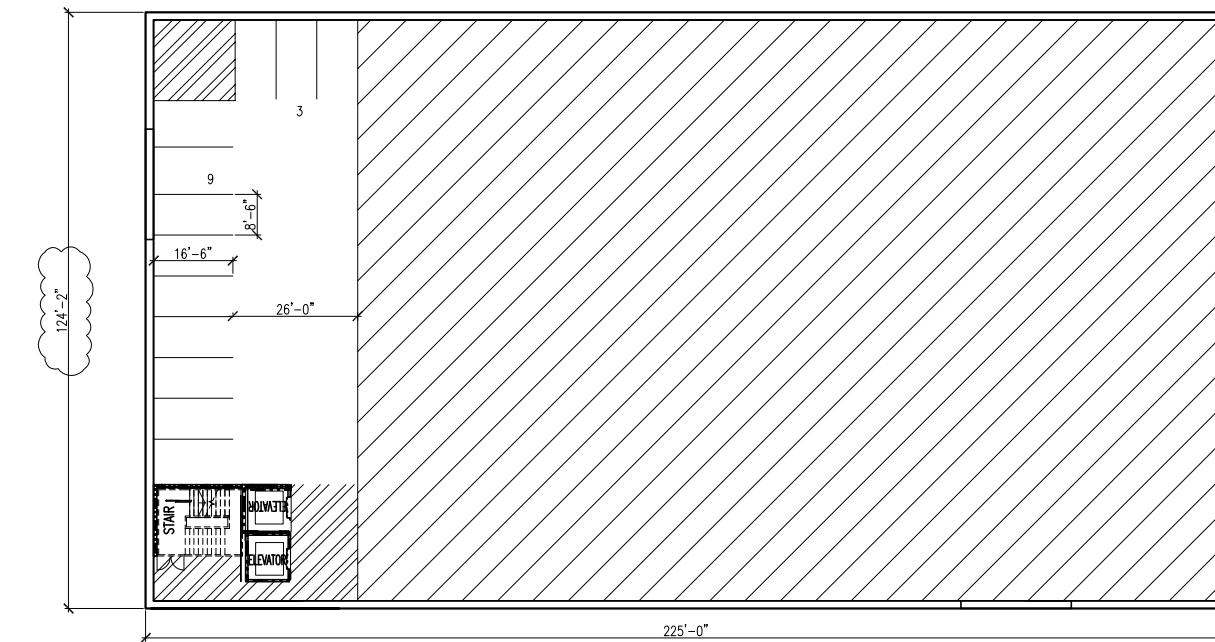
5 LEVEL 5 - RAMP (4% CONTINUOUS) - PHASE 1
1'-0"=40'-0"



6 LEVEL 6 - PARKING ON RAMP (4% CONTINUOUS)
1'-0"=40'-0"



5 LEVEL 5 - PARKING ON RAMP (4% CONTINUOUS) - PHASE 2
1'-0"=40'-0"



7 LEVEL 7
1'-0"=40'-0"

SHORT-TERM BICYCLE STORAGE

REQUIRED:

LS (R&D): 9 (20% OF TOTAL BIKE PARKING)
 CALGREEN: 4 (5% OF VISITOR PARKING, 2 MIN. PER BLDG.)
 LEED V4.1: 8 (4 MIN. PER BUILDING)

PHASE 1:

1005 O'BRIEN DR: 6

PHASE 2:

1320 WILLOW RD: 3

TOTAL REQUIRED: 9

PROVIDED:

PHASE 1:

1005 O'BRIEN DR: 8 (EXTERIOR BUILDING)
 1005 O'BRIEN DR: 4 (SPORTS COURT)

TOTAL PHASE 1: 12

PHASE 2:

1320 WILLOW RD: 8 (EXTERIOR BUILDING)

TOTAL PROVIDED: 20

LONG-TERM BICYCLE STORAGE

REQUIRED:

LS (R&D): 37 (80% OF TOTAL BIKE PARKING)
 CALGREEN: 27 (5% OF PARKING)
 LEED V4.1: 46 (5% OF BLDG. OCC.)

PHASE 1:

1005 O'BRIEN DR: 32

PHASE 2:

1320 WILLOW RD: 14

TOTAL REQUIRED: 46

PROVIDED:

PHASE 1:

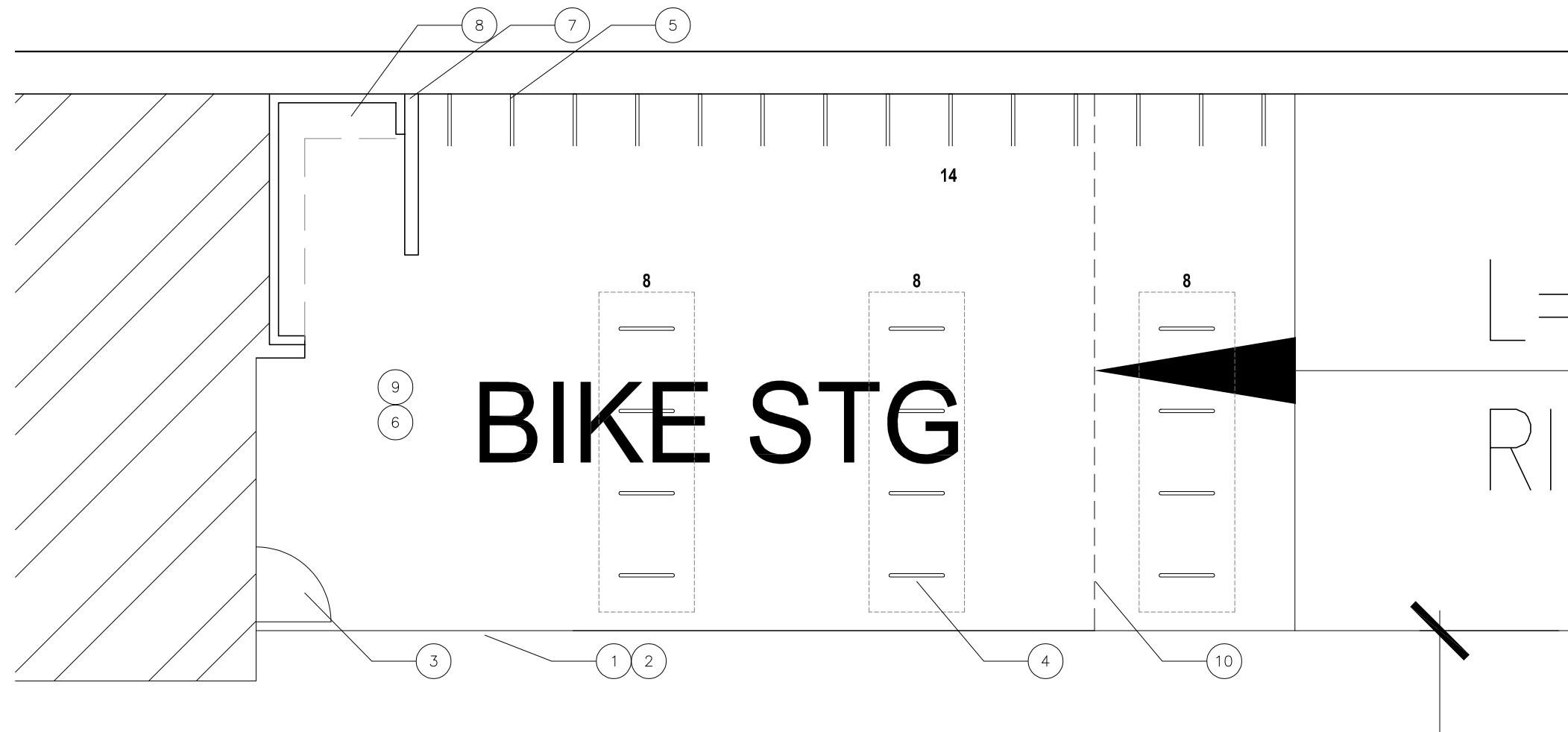
1005 O'BRIEN DR: 28 (GARAGE)
 1005 O'BRIEN DR: 5 (BUILDING LOBBY)
 FUTURE 1320 WILLOW RD: 10 (GARAGE)

TOTAL PHASE 1: 43

PHASE 2:

1320 WILLOW RD: 5 (BUILDING LOBBY)

TOTAL PROVIDED: 48



KEY NOTES

- 1 BIKE RACK CAGE - 2"X2" SQUARE TUBING
- 2 METAL MESH PANEL
- 3 3'X8' HINGE DOOR WITH ELECTRICAL HINGE
- 4 DERO FLOOR MOUNTED POST AND RING RACK
- 5 STEADYRACK CLASSIC RACK TYP.
- 6 EPOXY FLOOR
- 7 FULL HEIGHT 4" STUD FURRED WALLS TO SLAB ABOVE
- 8 HOLLMAN PHENOLIC LOCKERS (PHANTOM CHARCOAL)
- 9 ARMSTRONG PRELUDE XL GRID SYSTEM
- 10 TOP OF RAMP SLOPE ABOVE

BIM 360/Tarltan - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

LONG TERM BIKE STORAGE

A13.4





NORTH-WEST VIEW

BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

GARAGE 3D MASSING - PHASE 1

A13.5



© 2020



NORTH-WEST VIEW

BIM 360/Tarltton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

GARAGE 3D MASSING - PHASE 2

A13.6



© 2020



SOUTH-EAST VIEW

BIM 360/Tarltton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

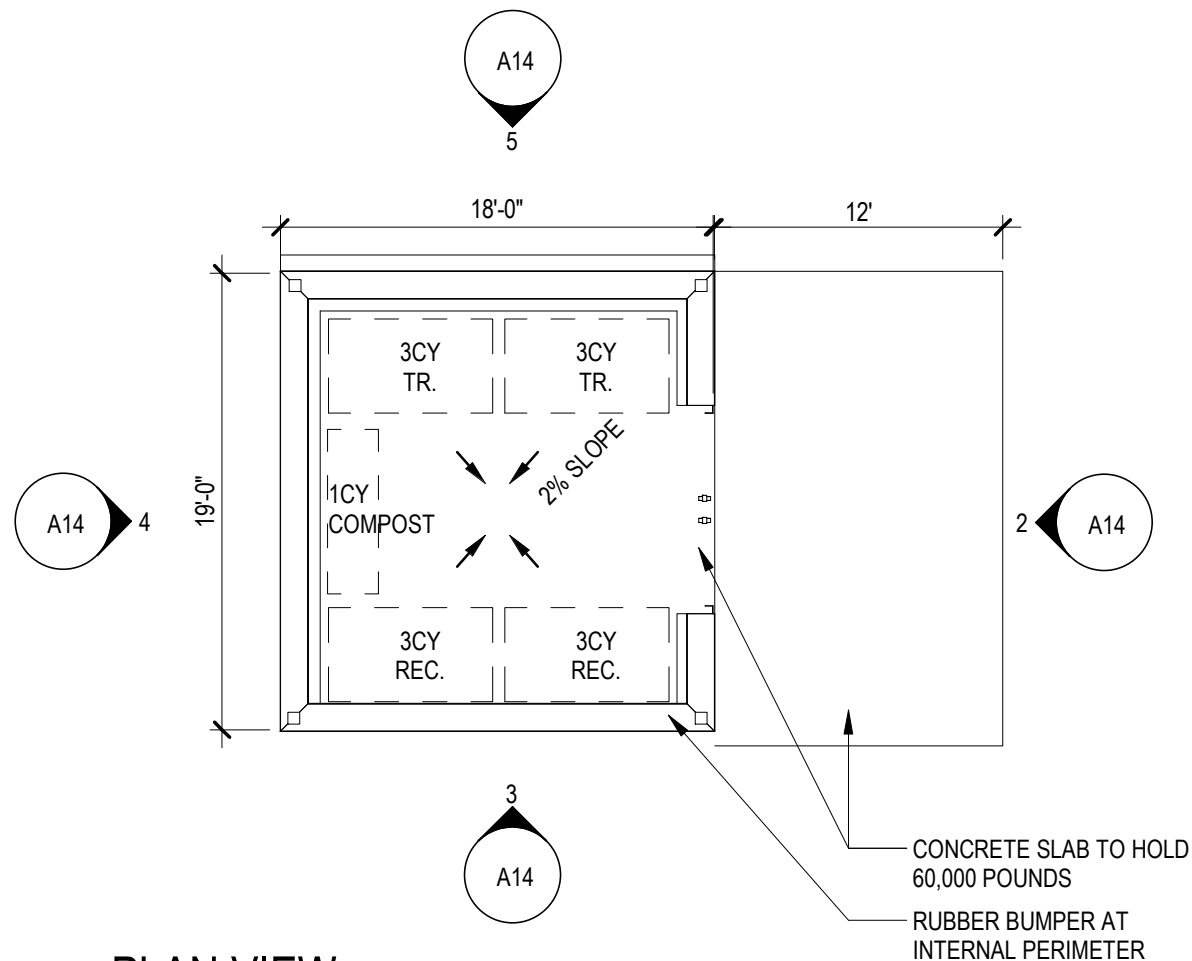
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

GARAGE 3D MASSING - PHASE 2

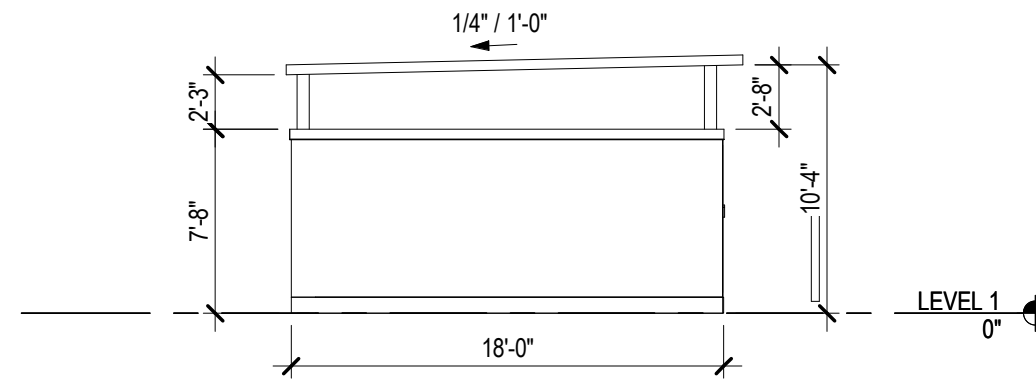
A13.7



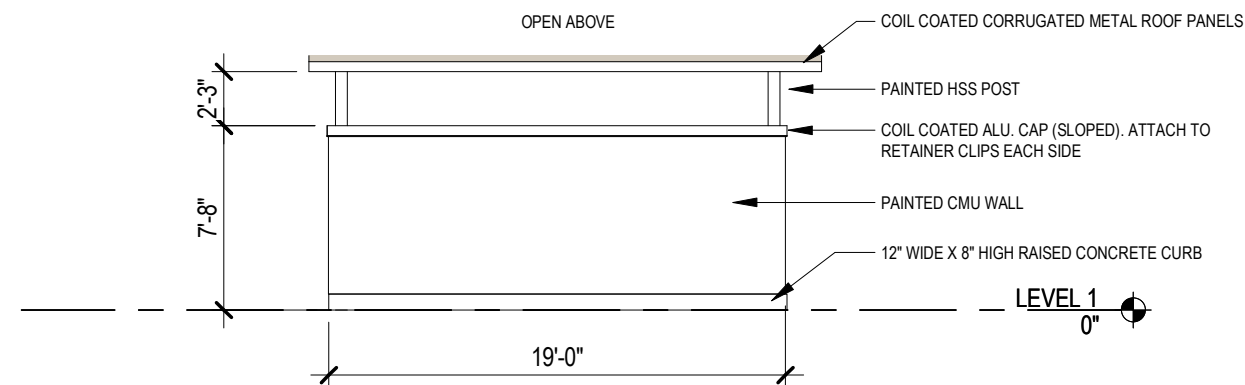
© 2020



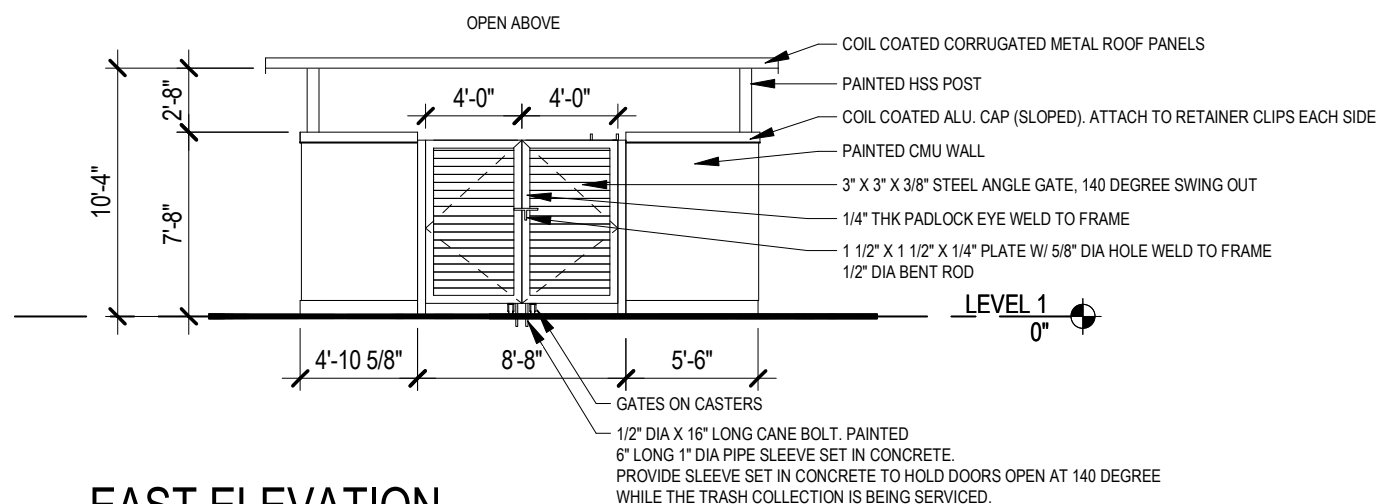
PLAN VIEW



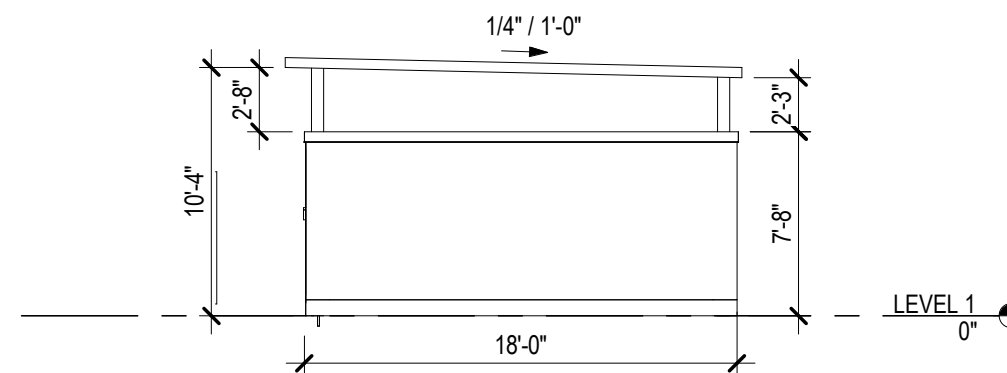
SOUTH ELEVATION



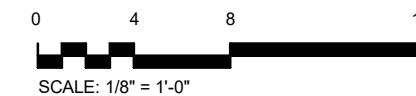
WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



BIM 360/Tarlton - MenloParkLabs/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

TRASH ENCLOSURE - 1005 O'BRIEN
& 1320 WILLOW

A14

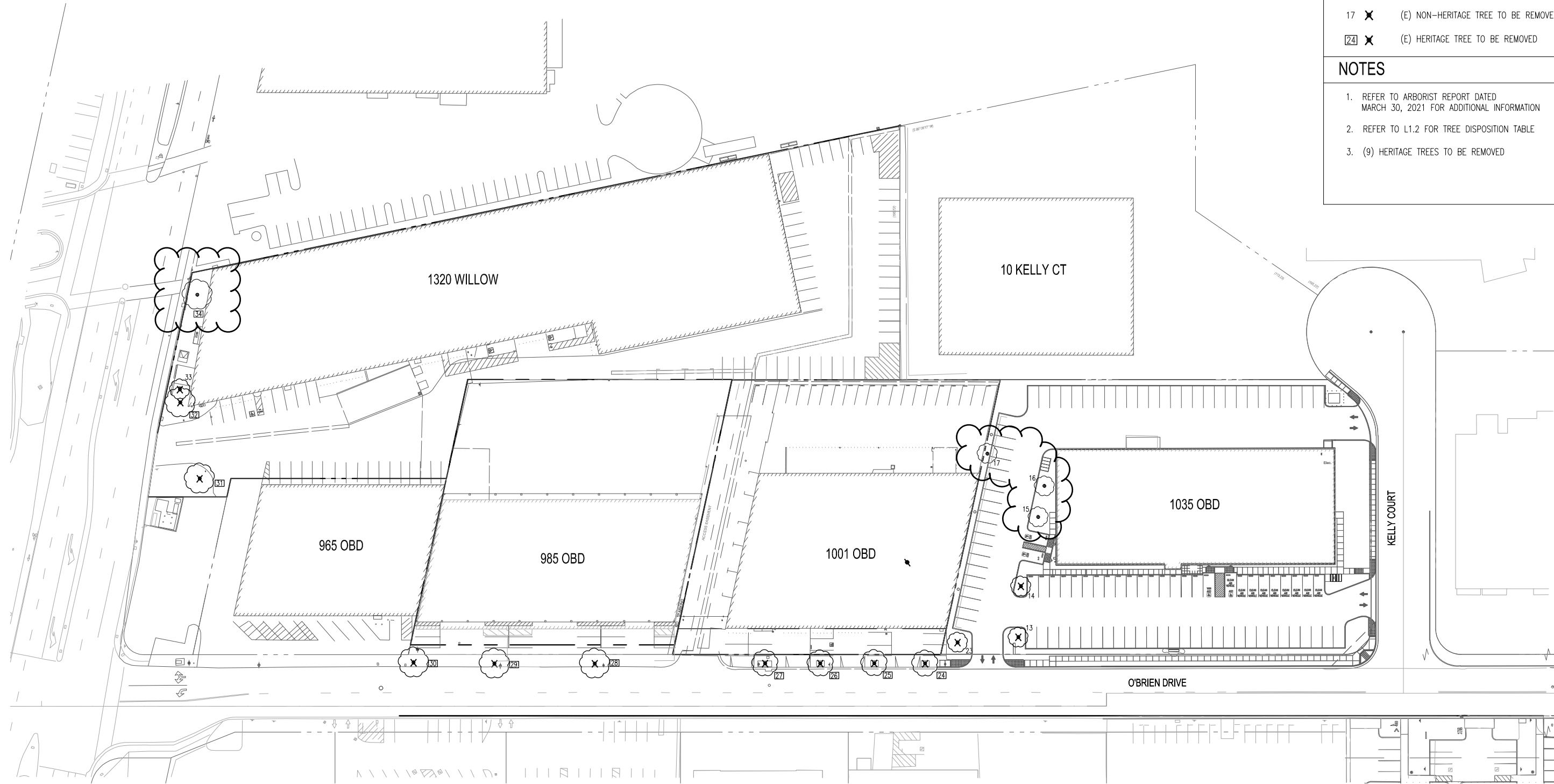


© 2020

BIM 360/Tarltan - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt

LEGEND	
---	PROPERTY LINE
17 ✕	(E) NON-HERITAGE TREE TO BE REMOVED
24 ✕	(E) HERITAGE TREE TO BE REMOVED

NOTES	
1.	REFER TO ARBORIST REPORT DATED MARCH 30, 2021 FOR ADDITIONAL INFORMATION
2.	REFER TO L1.2 FOR TREE DISPOSITION TABLE
3.	(9) HERITAGE TREES TO BE REMOVED



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
 05-26-2021 C.U.P. SUBMITTAL
 10-15-2021 C.U.P. RESPONSE 1
 06-17-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

EXISTING TREE PLAN

L1.1





Prepared by:

David L. Babby
Registered Consulting Arborist® #399
Board-Certified Master Arborist® #WE-4001B
Menlo Park Business License #73953

TREE INVENTORY TABLE

TREE/ TAG NO.	TREE NAME	SIZE			CONDITION				Suitability for Preservation (High/Moderate/Low)	REGULATED			Appraised Value
		Trunk Diameter (in.)	Height (ft.)	Canopy Spread (ft.)	Health Condition (100%=Best, 0%=Worst)	Structural Integrity (100%=Best, 0%=Worst)	Form (100%=Best, 0%=Worst)	Overall Condition (Good/Fair/Poor/Dead)		Heritage Tree	Street Tree	Removal (tbd)	
13	Chinese pistache (<i>Pistacia chinensis</i>)	13	13	12	70%	60%	80%	Good	High	-	-	-	-
Comments: Dormant. Single-staked (and staked should be removed, including the one without the tie).													
14	Columbia London plane (<i>Platanus × h. 'Columbia'</i>)	6.4	35	25	70%	80%	80%	Good	High	-	-	-	-
Comments: Limb emerges at 4' high.													
15	Chinese pistache (<i>Pistacia chinensis</i>)	3.5	15	10	70%	60%	40%	Fair	Moderate	-	-	-	-
Comments: Dormant. Double-staked (and both should be removed). Asymmetrical canopy. Has a slight SW lean.													
16	Chinese pistache (<i>Pistacia chinensis</i>)	3.1	15	10	70%	60%	50%	Fair	Moderate	-	-	-	-
Comments: Dormant. Double-staked (and both should be removed). Low branch encroaches into drive aisle.													
17	Columbia London plane (<i>Platanus × h. 'Columbia'</i>)	7.1	35	20	70%	80%	80%	Good	High	-	-	-	-
Comments: Limbs emerge at 7' high.													
23	Forest Pansy redbud (<i>Cercis e. 'Forest Pansy'</i>)	1	8	10	70%	40%	80%	Fair	Moderate	-	-	-	-
Comments: Recently installed and double-staked. Nursery stake also remains unfavorably attached (and should be removed). Low branching structure. Excessive moisture at base and over rootball.													
24	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	15.8	20	20	40%	30%	50%	Poor	Low	X	X	-	\$500
Comments: Beneath high-voltage wires and reduced in height. Within a square planter covered by landscape fabric and river rock. Driveway apron, curb and gutter are cracked and/or buckled. Multiple leaders emerge at 15' high.													
25	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	15.3	20	25	40%	30%	30%	Poor	Low	X	X	-	\$500
Comments: Beneath high-voltage wires and has been reduced in height. Within square planter covered by landscape fabric and river rock. Has a large, old decaying cut where trunk bifurcates at 6' high.													
26	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	20.7	35	30	40%	20%	50%	Poor	Low	X	X	X	\$0
Comments: I recommend removing asap. Has a massive and hollowed decay column along its entire trunk (street side), and at the wound's top is a fruiting body informing of advanced internal decay. Beneath high-voltage wires and has been reduced in height. Within a square planter covered by landscape fabric and river rock. Adjacent curb and gutter are buckled, and sidewalk is cracked and slightly raised. Multiple leaders emerge 9' high.													
27	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	24.0	30	35	70%	30%	50%	Poor	Low	X	X	-	\$1,200
Comments: Beneath high-voltage wires and has been reduced in height. Within a rectangular-shaped planter covered by landscape fabric and river rock. Near fire hydrant. Adjacent sidewalk is cracked and raised. Multiple leaders emerge at 7' high. At utility pole, and a pronounced buttress root surfaces towards pole. Has a large decayed section along street side limb.													

TREE/ TAG NO.	TREE NAME	SIZE			CONDITION				Suitability for Preservation (High/Moderate/Low)	REGULATED			Appraised Value
		Trunk Diameter (in.)	Height (ft.)	Canopy Spread (ft.)	Health Condition (100%=Best, 0%=Worst)	Structural Integrity (100%=Best, 0%=Worst)	Form (100%=Best, 0%=Worst)	Overall Condition (Good/Fair/Poor/Dead)		Heritage Tree	Street Tree	Removal (tbd)	
28	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	28.3	40	45	60%	40%	50%	Poor	Low	X	X	-	\$2,300
Comments: Beneath high-voltage wires and has been reduced in height. Within a rectangular-shaped planter covered by landscape fabric and river rock (and surrounded by asphalt parking lot along three sides). Canopy is slightly asymmetrical. At utility pole. Adjacent asphalt is raised by roots.													
29	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	15.8	35	25	40%	10%	30%	Poor	Low	X	X	X	\$0
Comments: I recommend removing asap. It has a decay column along the entire trunk, with one large hollow and several other small ones above and below. Beneath high-voltage wires, but not yet reduced in height. Within a square planter covered by landscape fabric and river rock (and surrounded by asphalt parking lot along three sides). Asphalt is raised by roots, and adjacent curb is buckled. Has several old basal wounds. Narrow, asymmetrical canopy and high crown.													
30	Modesto ash (<i>Fraxinus v. 'Modesto'</i>)	21.4	35	35	40%	10%	30%	Poor	Low	X	X	X	\$0
Comments: I recommend removing asap. Along the trunk's west side, at 5' high, is a small wound with advanced internal decay, as evidenced by the large, deteriorating fruiting body (likely Ganoderma) emerging from the hollow. Directly above, along the street side, is an old 8" diameter wound with decay extending above and below. Beneath high-voltage wires and has been reduced in height. Within a square planter covered by landscape fabric and river rock (and surrounded by asphalt along three sides). Roots have cracked and raised surrounding asphalt and adjacent curb/gutter. Asymmetrical canopy.													
31	Italian stone pine (<i>Pinus pinea</i>)	24.4	35	35	80%	50%	60%	Fair	Moderate	X	-	-	\$3,400
Comments: Irregular trunk formation, sweeping SW around 7' high. Adjacent to pole with security camera. Many recent cuts along south section of lower crown.													
32	Silver dollar gum (<i>Eucalyptus polyanthemos</i>)	31.8, 19.8	50	35	60%	30%	40%	Poor	Low	X	?	-	\$3,000
Comments: Possibly a street tree (tbd with survey). Adjacent to building, within a raised planter aligning sidewalk, and adjacent to an FDC hydrant and fire sprinkler vault. Formed by two trunks. The smaller southern one has a large basal wound with extensive decay, and an 11" diameter decaying wound 18" above. The larger, northern trunk bifurcates into codominant leaders 3' above grade. Excessively thin canopy with interior watersprouts.													
33	Marina madrone (<i>Arbutus 'Marina'</i>)	2.9	12	10	80%	40%	40%	Fair	Moderate	-	?	-	-
Comments: Possibly a street tree (tbd with survey). Suppressed, crowded-growing conditions within several feet from #32's nearest trunk. Asymmetrical canopy and buried root collar. Adjacent to building.													
34	Silver dollar gum (<i>Eucalyptus polyanthemos</i>)	27.2	50	30	40%	60%	40%	Poor	Moderate	X	?	-	\$3,600
Comments: Possibly a street tree (tbd with survey). Adjacent to building, and within a raised and narrow planter aligning sidewalk. Extremely thin and sparse canopy with interior watersprouts.													

- NOTES**
- EXCERPTS TAKEN FROM ARBORIST REPORT DATED MARCH 30, 2021
 - ALL TREES, EXCEPT #15-17 AND 34, IN CURRENT SCOPE TO BE REMOVED.
 - TREE #1-12, 18-22 IN FUTURE SCOPE

BIM 360/Tarltan - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
05-26-2021 C.U.P. SUBMITTAL
10-15-2021 C.U.P. RESPONSE 1
06-17-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

EXISTING TREE DISPOSITION TABLE

L1.2



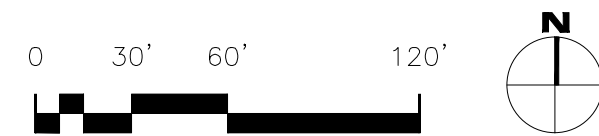


KEY NOTES:

- 1 CANOPY TREE
- 2 ACCENT TREE
- 3 STREET TREE
- 4 SCREEN HEDGES
- 5 BIORETENTION AREA
- 6 COBBLE CREEK WITH BOULDERS
- 7 THEMED PLANTING STRIPS
- 8 PUBLIC GATHERING SPACE
- 9 PUBLIC EVENT PLAZA
- 10 STROLLING PATH
- 11 PUBLIC RESPITE SPACE WITH BENCHES
- 12 SMALL GROUP GATHERING SPACE
- 13 MAIN ENTRY PLAZA
- 14 BIKE RACKS
- 15 OUTDOOR DINING TERRACE
- 16 OUTDOOR ACTIVITY SPACE
- 17 FLEX TURF SPACE AND DRIVABLE SURFACE FOR FIRE TRUCK ACCESS
- 18 CATENARY LIGHT
- 19 DRINKING FOUNTAIN

MATERIAL KEY:

- CONCRETE PAVING
- DECOMPOSED GRANITE PATHS/PAVING, TYP.
- FLAGSTONE PAVING, TYP.



BIM 360/Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

05-26-2021 C.U.P. SUBMITTAL
10-15-2021 C.U.P. RESPONSE 1
06-17-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

PROPOSED LANDSCAPE PLAN - PHASE 1



© 2020

BIM 360/Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt

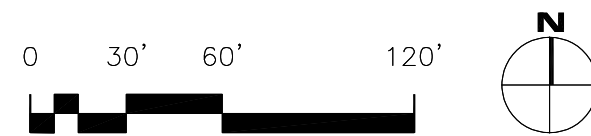


KEY NOTES:

- 1 CANOPY TREE
- 2 ACCENT TREE
- 3 STREET TREE
- 4 SCREEN HEDGES
- 5 BIORETENTION AREA
- 6 COBBLE CREEK WITH BOULDERS
- 7 THEMED PLANTING STRIPS
- 8 PUBLIC GATHERING SPACE
- 9 PUBLIC EVENT PLAZA
- 10 STROLLING PATH
- 11 PUBLIC RESPITE SPACE
- 12 SMALL GROUP GATHERING SPACE
- 13 MAIN ENTRY PLAZA
- 14 BIKE RACKS
- 15 OUTDOOR DINING TERRACE
- 16 OUTDOOR ACTIVITY SPACE
- 17 FLEX TURF SPACE AND DRIVABLE SURFACE FOR FIRE TRUCK ACCESS
- 18 CATENARY LIGHT
- 19 DRINKING FOUNTAIN
- 20 TRELLIS

MATERIAL KEY:

- CONCRETE PAVING
- DECOMPOSED GRANITE PATHS/PAVING, TYP.
- FLAGSTONE PAVING, TYP.

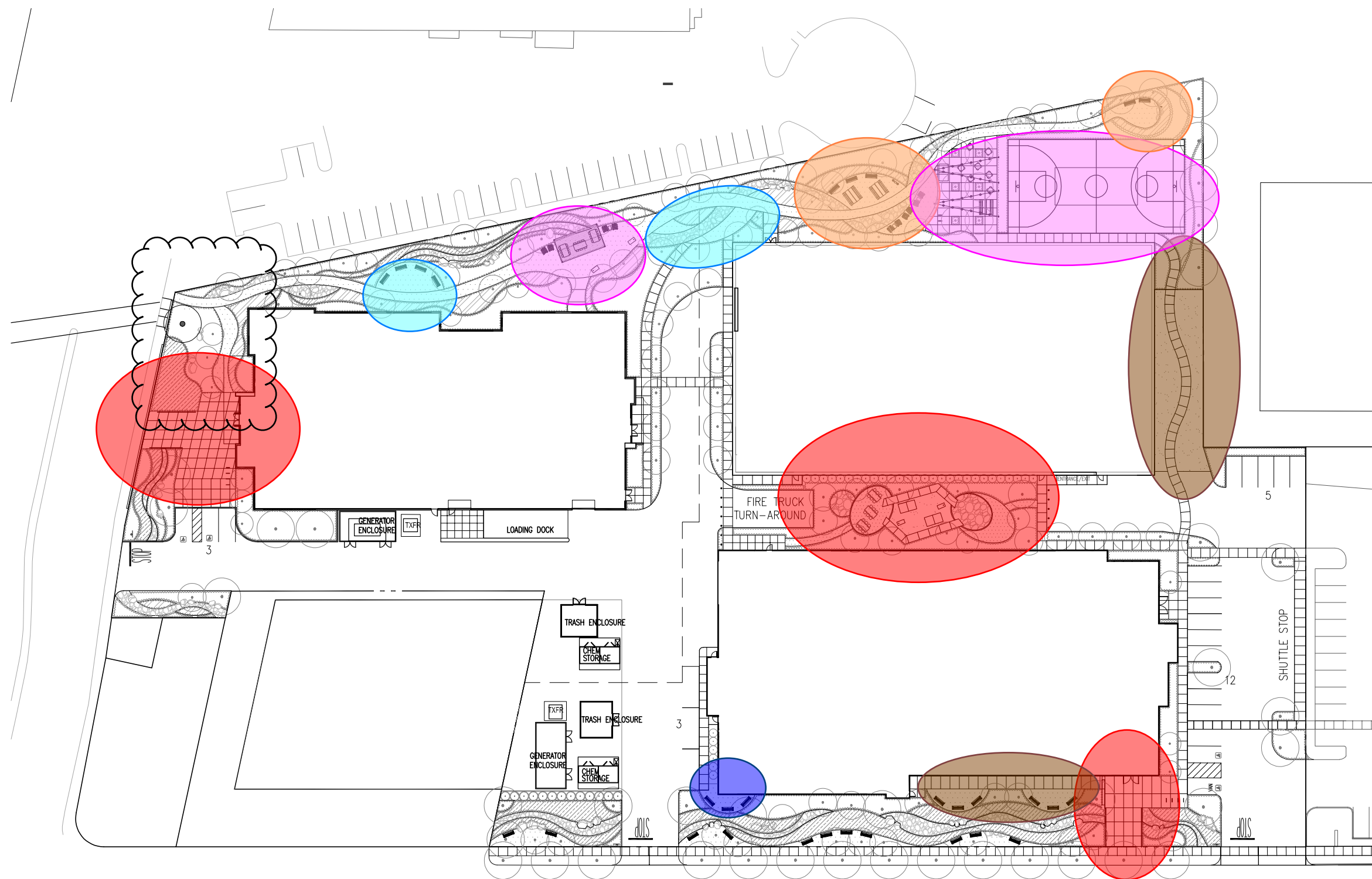


985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

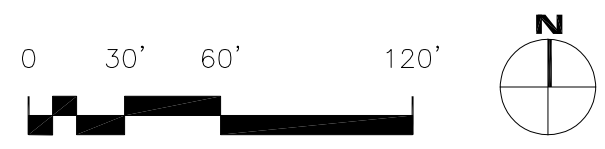
04-15-2021 D.R.T. REVIEW
 05-26-2021 C.U.P. SUBMITTAL
 10-15-2021 C.U.P. RESPONSE 1
 06-17-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

PROPOSED LANDSCAPE PLAN - PHASE 2





- PUBLIC**
- ACTIVE SPACE
 - SEMI-ACTIVE SPACE
 - MEDITATIVE SPACE
- PRIVATE**
- ACTIVE SPACE
 - SEMI-ACTIVE SPACE
 - MEDITATIVE SPACE

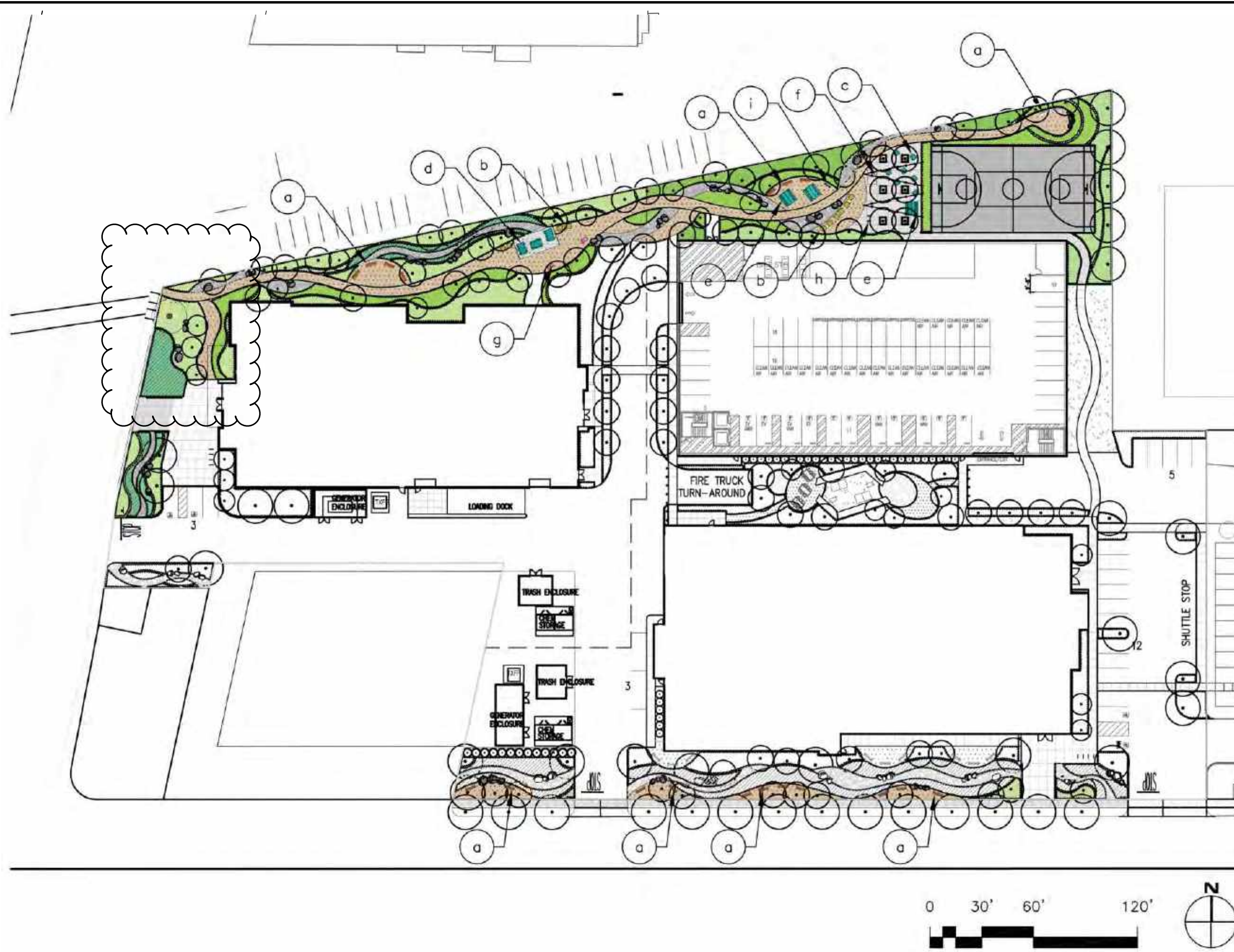


985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

10-15-2021 C.U.P. RESPONSE 1
 06/17/2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

LANDSCAPE SPACE DIAGRAM





KEY NOTES:

- a BENCH
- b ADIRONDACK CHAIR & SIDE TABLE
- c BISTRO TABLE & CHAIRS
- d DINING TABLE & CHAIRS
- e PICNIC TABLE
- f PING PONG TABLE
- g CORN HOLES
- h BIKE RACK
- i DRINKING FOUNTAIN

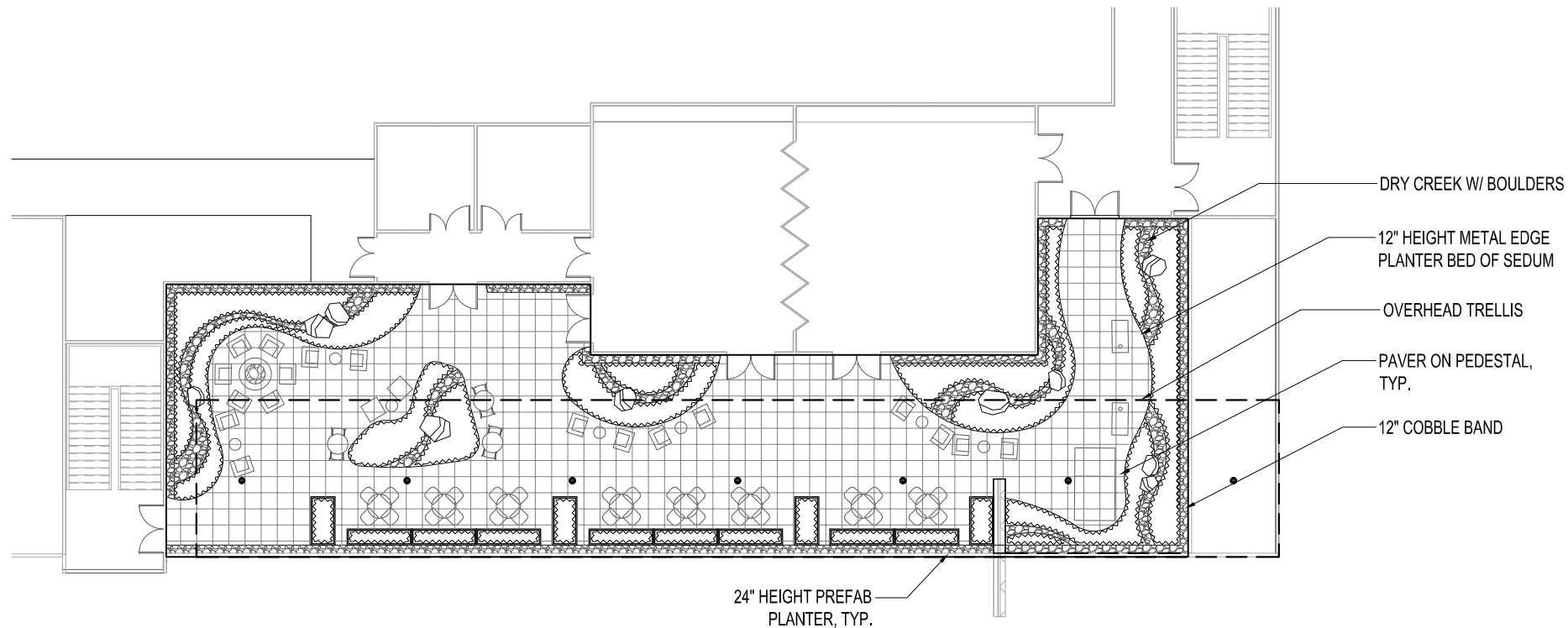


985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

06-17-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

PROPOSED AMENITY PLAN AT PUBLIC SPACE





DRY CREEK W/ BOULDERS

12" HEIGHT METAL EDGE
PLANTER BED OF SEDUM

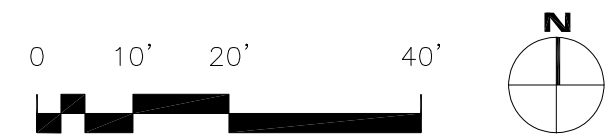
OVERHEAD TRELLIS

PAVER ON PEDESTAL,
TYP.

12" COBBLE BAND

24" HEIGHT PREFAB
PLANTER, TYP.

1 1005 OBD ROOF DECK ENLARGEMENT
SCALE: 1" = 20'-0"



BIM 360/Tarltan - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

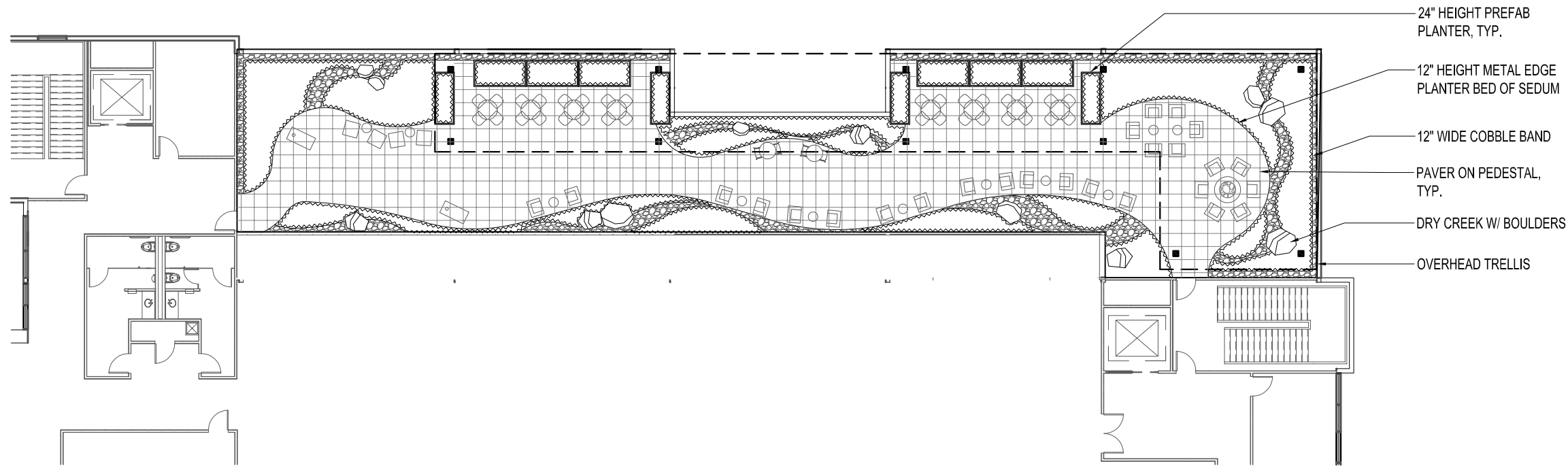
05-26-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-17-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

ENLARGED ROOF DECK PLAN - PHASE 1

L2.2



© 2020



1 1320 WILLOW ROOF DECK ENLARGEMENT
 SCALE: 1" = 20'-0"



BIM 360:/Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



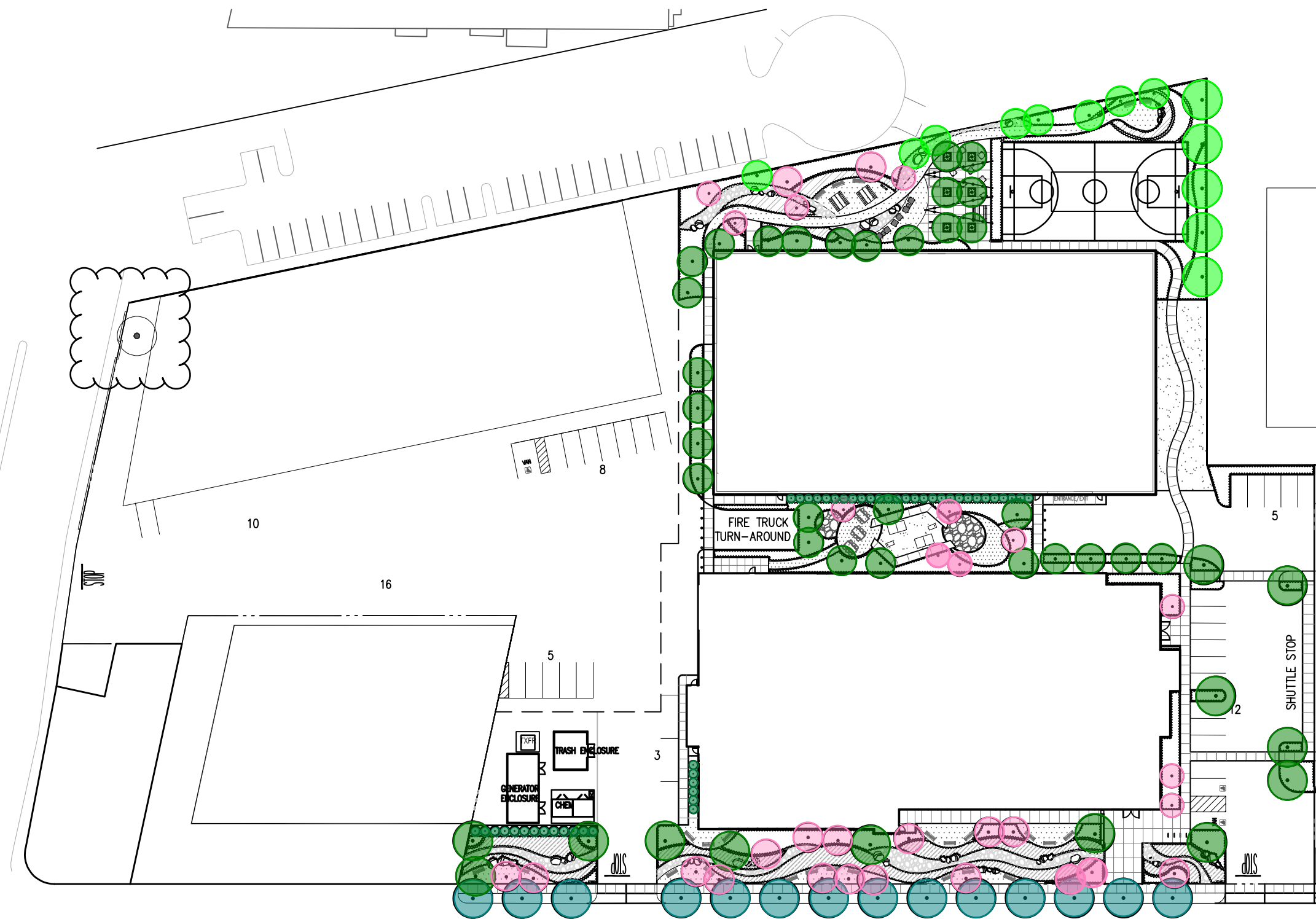
985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

05-26-2021 C.U.P. SUBMITTAL
 10-15-2021 C.U.P. RESPONSE 1
 06-17-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

ENLARGED ROOF DECK PLAN - PHASE 2



BIM 360:/Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



PLANTING PALETTE *All proposed trees to be 24" BOX

	BOTANICAL NAME / COMMON NAME	WUCOLS
● STREET TREE total:14	Fraxinus pennsylvanica 'Patmore' / Patmore Ash	MOD
	Ulmus propinqua 'Emerald Sunshine' / Emerald Sunshine Elm	LOW
	Zelkova serrata 'Schmidtlow' / Wireless Zelkova	MOD
● SCREEN TREE total:13	Pinus canariensis / Canary Island Pine	LOW
	Quercus tomentella / Island Oak	V.LOW
● CANOPY TREE total:42	Acer rubrum 'October Glory' / October Glory Maple	MOD
	Ginkgo biloba 'Autumn Gold' / Autumn Gold ginkgo	MOD
	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	LOW
	Platanus acerifolia 'Columbia' / London Plane Tree	MOD
	Ulmus parvifolia 'True Green' / Chinese Elm 'True Green'	LOW
● ACCENT TREE total:31	Arbutus 'Marina' / NCN	LOW
	Cercis occidentalis / Western Redbud	LOW
	Lophostemon confertus / Brisbane Box	MOD
	Lagerstroemia indica x fauriei 'Muskogee' / Muskogee Crape Myrtle	LOW
	Ulmus parvifolia 'True Green' / Chinese Elm 'True Green'	LOW
	●● SCREEN HEDGE (15 GALLON)	Pittosporum tenuifolium 'Silver Sheen' / Silver Sheen Kohuhu
	Ligustrum japonicum 'Texanum' / Waxleaf Privet	MOD



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

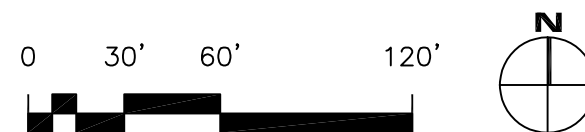
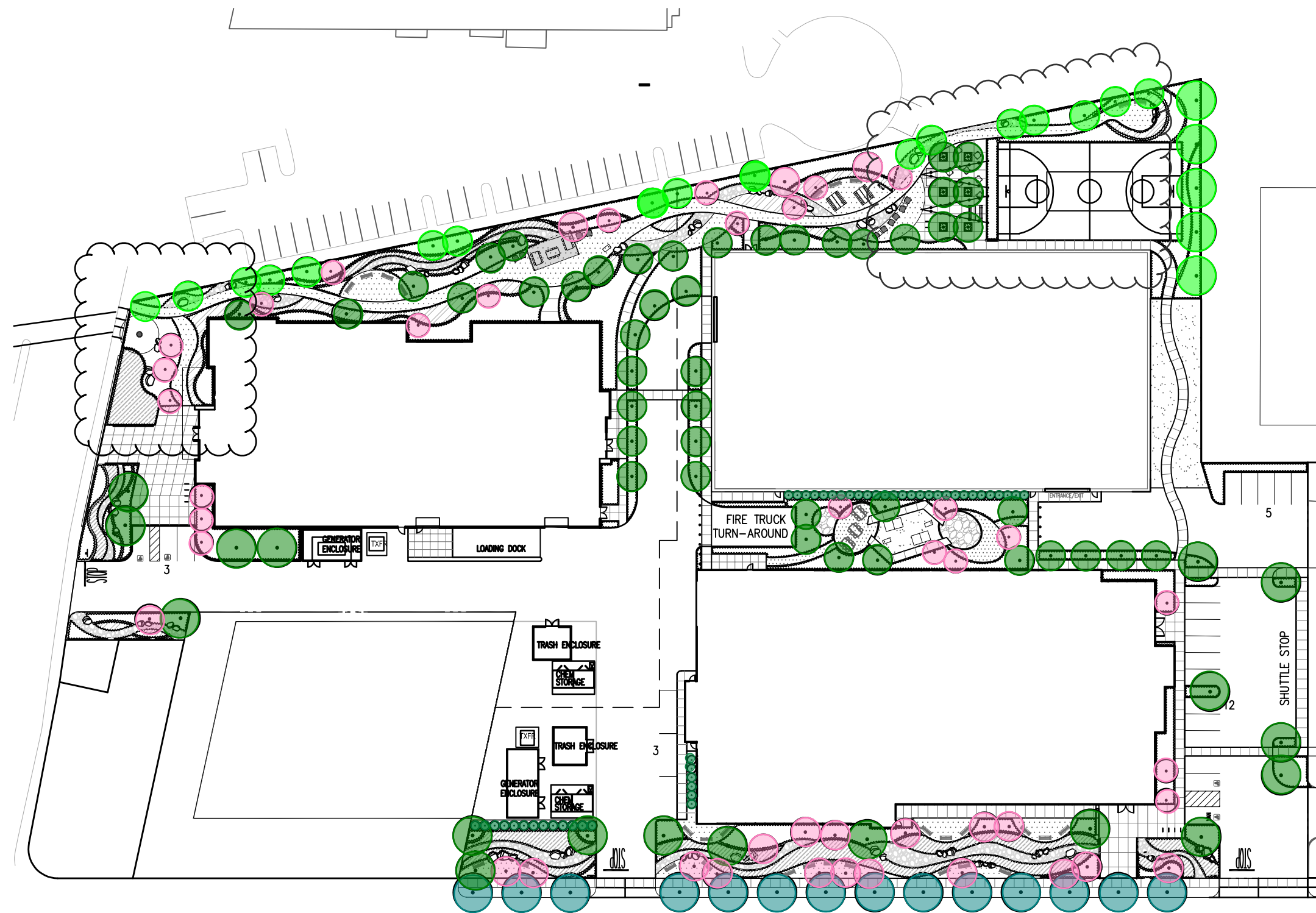
10-15-2021 C.U.P. RESPONSE 1
06-17-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

PROPOSED PLANTING PLAN - PHASE 1



© 2020

BIM 360/Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



PLANTING PALETTE *All proposed trees to be 24" BOX

	BOTANICAL NAME / COMMON NAME	WUCOLS
● STREET TREE total:14	Fraxinus pennsylvanica 'Patmore' / Patmore Ash	MOD
	Ulmus propinqua 'Emerald Sunshine' / Emerald Sunshine Elm	LOW
	Zelkova serrata 'Schmidtlow' / Wireless Zelkova	MOD
● SCREEN TREE total:23	Pinus canariensis / Canary Island Pine	LOW
	Quercus tomentella / Island Oak	V.LOW
● CANOPY TREE total:63	Acer rubrum 'October Glory' / October Glory Maple	MOD
	Ginkgo biloba 'Autumn Gold' / Autumn Gold ginkgo	MOD
	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	LOW
	Platanus acerifolia 'Columbia' / London Plane Tree	MOD
	Ulmus parvifolia 'True Green' / Chinese Elm 'True Green'	LOW
	● ACCENT TREE total:45	Arbutus 'Marina' / NCN
	Cercis occidentalis / Western Redbud	LOW
	Lophostemon confertus / Brisbane Box	MOD
	Lagerstroemia indica x fauriei 'Muskogee' / Muskogee Crape Myrtle	LOW
	Ulmus parvifolia 'True Green' / Chinese Elm 'True Green'	LOW
●● SCREEN HEDGE (15 GALLON)	Pittosporum tenuifolium 'Silver Sheen' / Silver Sheen Kohuhu	MOD
	Ligustrum japonicum 'Texanum' / Waxleaf Privet	MOD



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

10-15-2021 C.U.P. RESPONSE 1
06-17-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

PROPOSED PLANTING PLAN - PHASE 2





a: Bench



b: Lounge chairs & Side Table



c: Bistro Table



d: Dining Table



e: Picnic Table



f: Drinking Fountain



g: Ping Pong Table

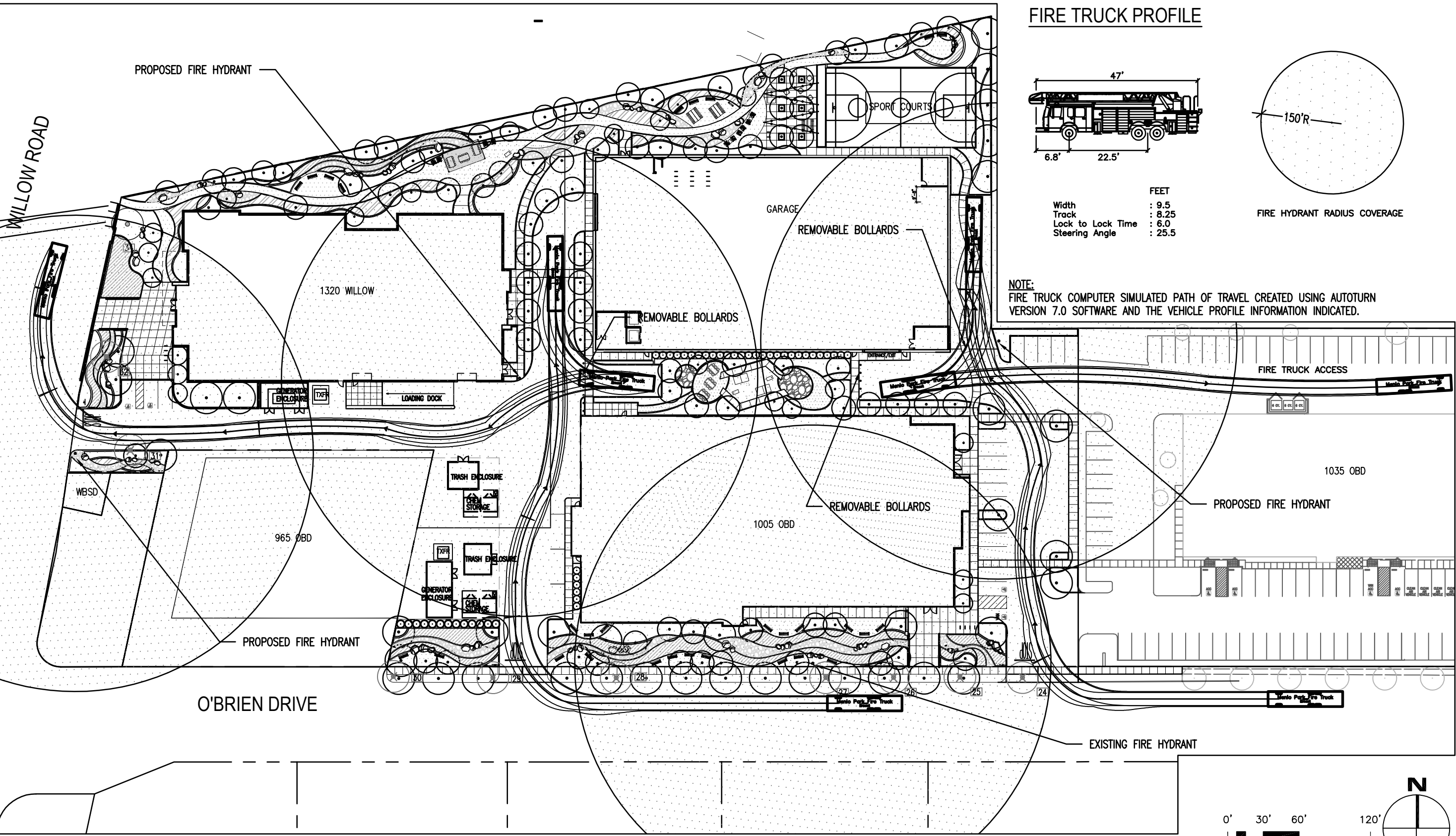


h: Corn Holes

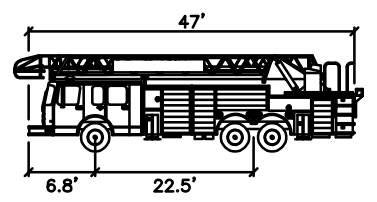


i: Bike Rack

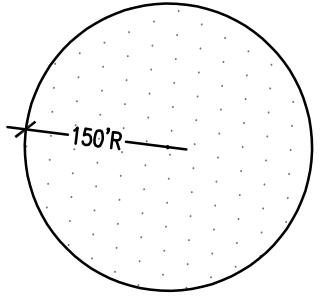




FIRE TRUCK PROFILE



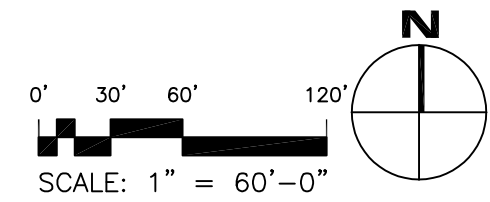
FEET	
Width	: 9.5
Track	: 8.25
Lock to Lock Time	: 6.0
Steering Angle	: 25.5



FIRE HYDRANT RADIUS COVERAGE

NOTE:
 FIRE TRUCK COMPUTER SIMULATED PATH OF TRAVEL CREATED USING AUTOTURN
 VERSION 7.0 SOFTWARE AND THE VEHICLE PROFILE INFORMATION INDICATED.

BIM 360://Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
 05-26-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

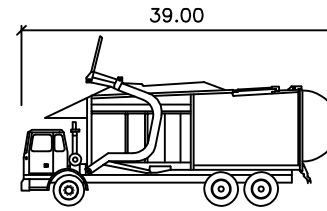
FIRE TRUCK TURNING AND HYDRANT EXHIBIT

C1.1



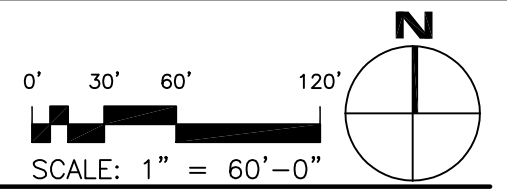
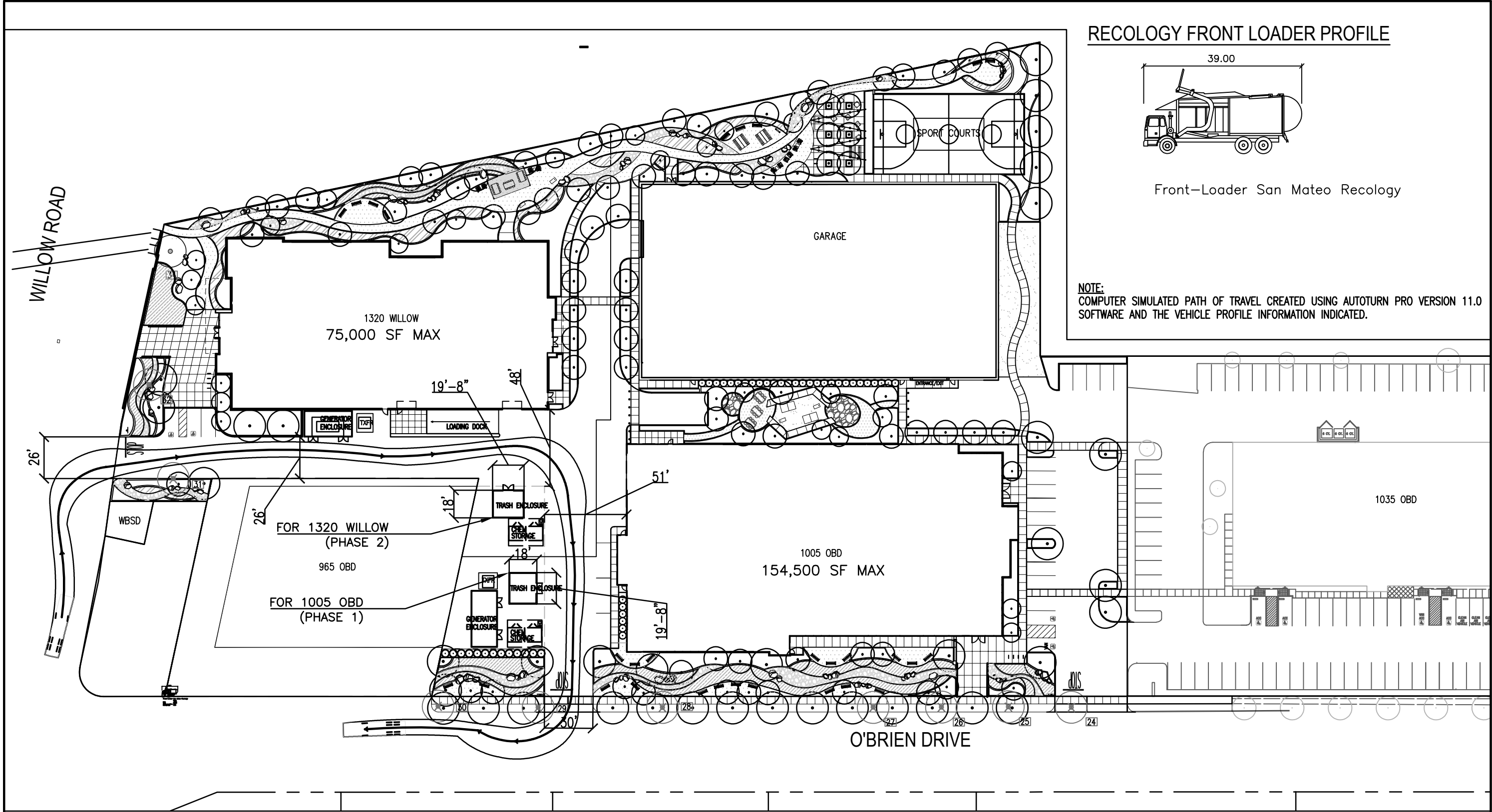
© 2020

RECOLOGY FRONT LOADER PROFILE



Front-Loader San Mateo Recology

NOTE:
COMPUTER SIMULATED PATH OF TRAVEL CREATED USING AUTOTURN PRO VERSION 11.0 SOFTWARE AND THE VEHICLE PROFILE INFORMATION INDICATED.



BIM 360://Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
05-26-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

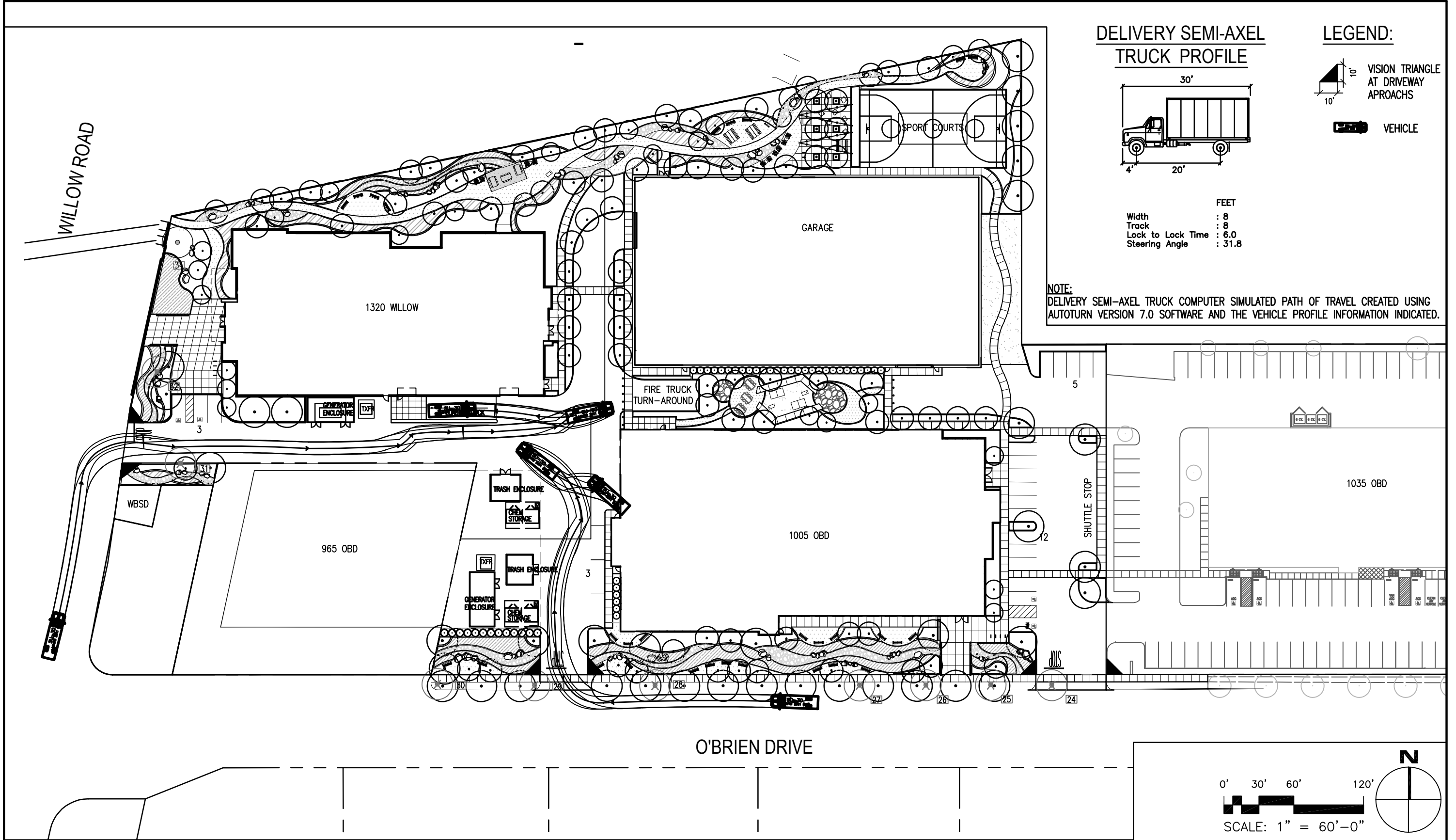
RECOLOGY TRUCK TURNING EXHIBIT

C1.2

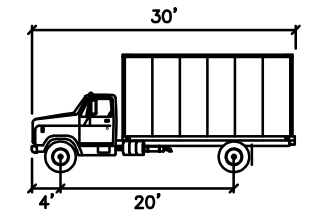


© 2020

BIM 360/Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt

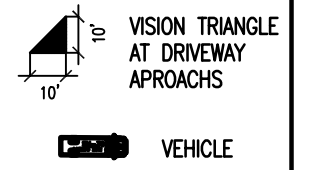


DELIVERY SEMI-AXEL TRUCK PROFILE

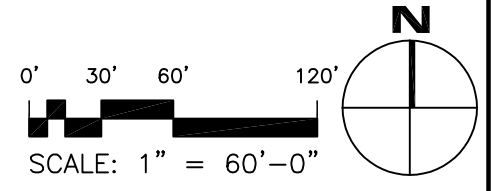


	FEET
Width	: 8
Track	: 8
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

LEGEND:



NOTE:
DELIVERY SEMI-AXEL TRUCK COMPUTER SIMULATED PATH OF TRAVEL CREATED USING AUTOTURN VERSION 7.0 SOFTWARE AND THE VEHICLE PROFILE INFORMATION INDICATED.



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

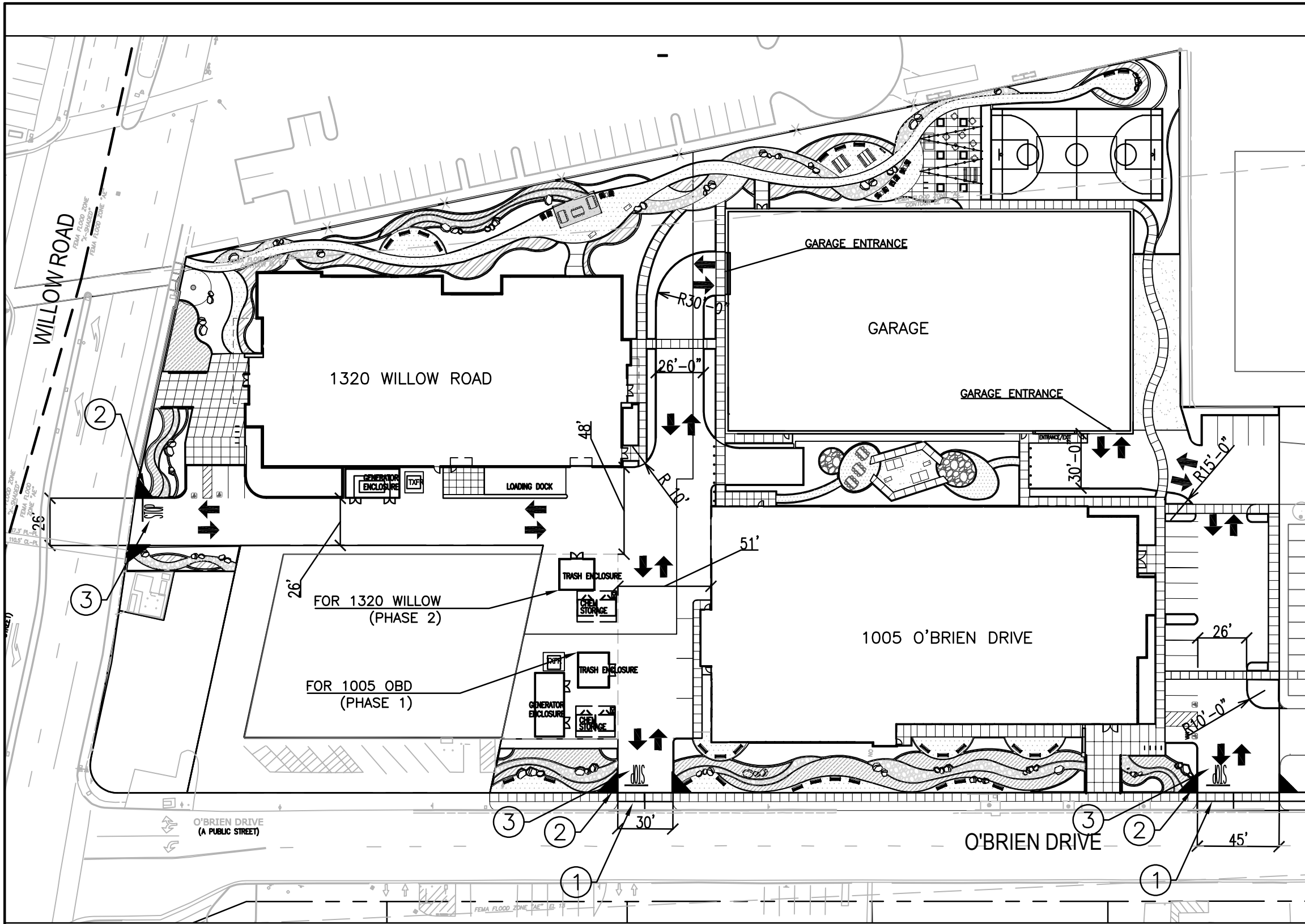
04-15-2021 D.R.T. REVIEW
05-26-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

DELIVERY TRUCK EXHIBIT


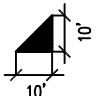
C1.3



© 2020



LEGEND:

-  DIRECTION OF PARKING CIRCULATION
-  VISION TRIANGLE AT DRIVEWAY APPROACHES
- R RADIUS

NOTES:

1. ALL DIMENSIONS TO FACE OF CURB U.N.O. (ALL FTP DIMENSIONS ARE SHOWN TO OUTSIDE WALL EDGES.)
2. ALL SIGNS AND ASSOCIATED STRIPING AND PAVEMENT MARKINGS SHOULD BE INSTALLED AT THESE DRIVEWAYS IN ACCORDANCE WITH THE CALIFORNIA-MUTCD.
3. ALL CURB RADIUS, DRIVEWAY WIDTHS, AND SPACING BETWEEN DRIVEWAYS SHALL MEET THE CITY OF MENLO PARK STALL AND DRIVEWAY GUIDELINE DETAILS.
4. LANDSCAPING PROPOSED ON EACH SIDE OF THE PROPOSED DRIVEWAYS SHOULD NOT OBSTRUCT VIEW OF DRIVERS WHILE EXITING.

KEYNOTES:

- ① PROPOSED DRIVEWAY TO BE INSTALLED PER CITY OF MENLO PARK STANDARD DETAILS
- ② INSTALL STOP SIGN PER CA-MUTCD STANDARD DETAILS.
- ③ INSTALL "STOP" PAVEMENT MARKING PER CA-MUTCD STANDARD DETAILS.

BIM 360/Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
05-26-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

PARKING CIRCULATION AND STRIPING
EXHIBIT

C1.4



© 2020

LEGEND:

- BOUNDARY OF WORK LIMIT
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- FF FINISH FLOOR ELEVATION
- FH FIRE HYDRANT
- FL FLOWLINE
- FG FINISH GRADE
- RIM RIM OF SD CATCH BASIN
- SDCB STORM DRAIN CATCH BASIN
- AD AREA DRAIN
- HP HIGH POINT
- (E) EXISTING
- (P) PROPOSED
- DIRECTION OF SURFACE DRAINAGE
- CATCH BASIN
- BIORETENTION BASIN
- DG PAVEMENT
- COBBLE BAND
- STREET LIGHTS PER CITY STANDARD DETAILS
- LANDSCAPE AREA

NOTE:

1. SEE SHEET C6.1 FOR SECTIONS OF EXISTING AND PROPOSED CONDITIONS ALONG O'BRIEN DRIVE AND BOUNDARY.
2. SLOPES WITHIN THE FIRST 10' MUST SLOPE AWAY FROM THE BUILDING AT 5% MIN. FOR PERVIOUS SURFACES AND 2% MIN. FOR IMPERVIOUS AREAS.
3. ALL OFFSITE IMPROVEMENTS SHALL BE PER CITY OF MENLO PARK STANDARD DETAILS.
4. PER MUNICIPAL CODE CHAPTER 16, ELECTRICAL UNDERGROUNDING (LESS THAN 60KV AND COMMUNICATION LINES).

BENCHMARK:

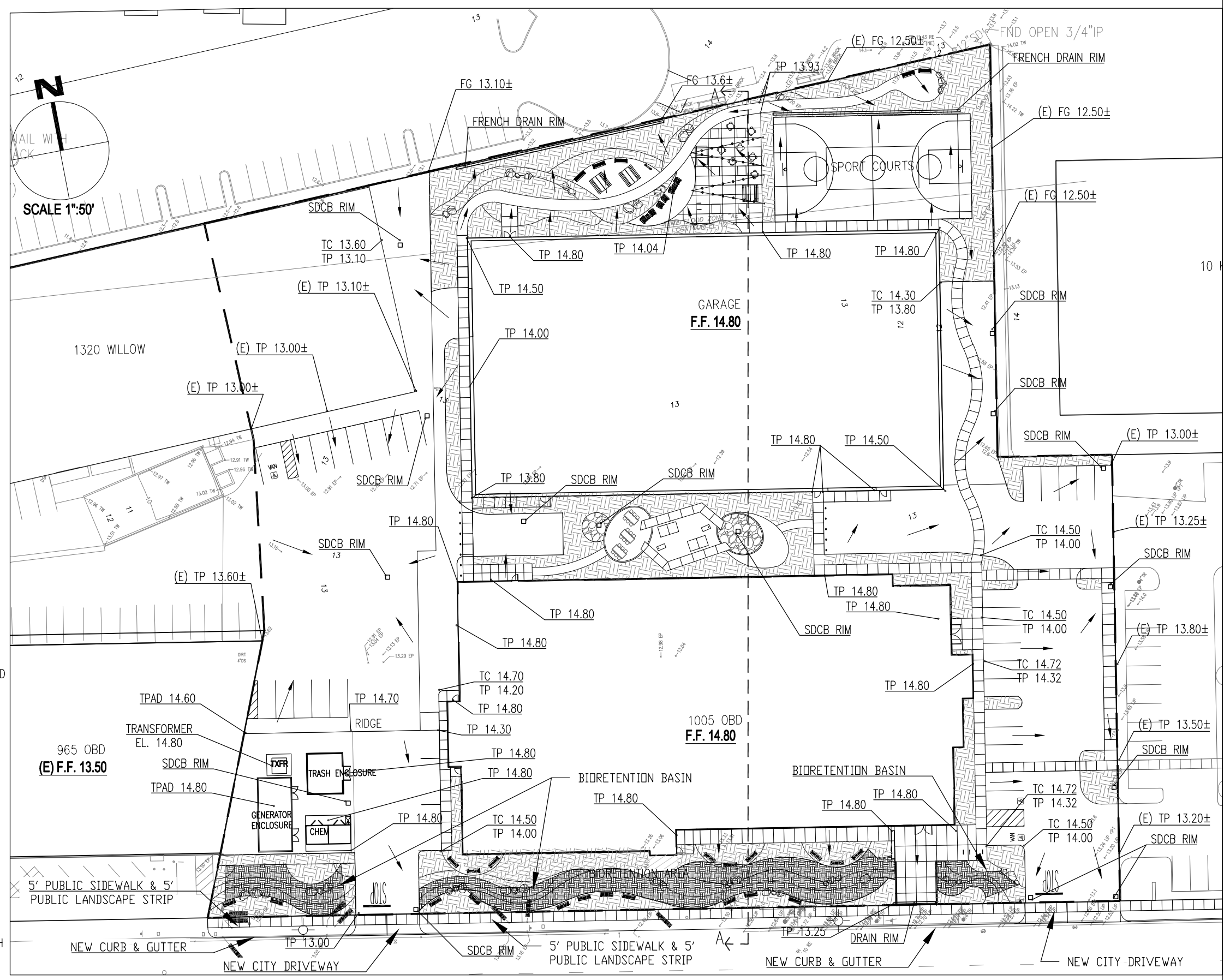
(FROM TOPOGRAPHIC SURVEY PREPARED BY KIER & WRIGHT SURVEYORS: JOB A15124-5 DATED FEB. 2021)

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NUMBER 06081C0307E FOR COMMUNITY PANEL NUMBER 060321 0307 E, DATED OCTOBER 16, 2012, WITH THE SITE BEING LOCATED IN FLOOD ZONE "AE";

BASE FLOOD ELEVATION DETERMINED AS 12.8 FEET.

NOTE: THE PROJECT WILL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS AND CITY'S FLOOD DAMAGE PREVENTION ORDINANCE.










985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

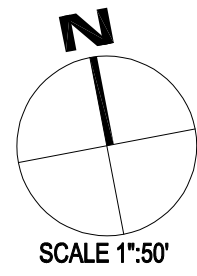
- 04-15-2021 D.R.T. REVIEW
- 05-26-2021 C.U.P. SUBMITTAL
- 10-28-2021 C.U.P. RESPONSE 1
- 06-22-2022 C.U.P. RESPONSE 2
- 10-28-2022 C.U.P. RESPONSE 3

PHASE 1 PRELIMINARY GRADING PLAN



LEGEND:

-  BOUNDARY OF WORK LIMIT
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- FF FINISH FLOOR ELEVATION
- FH FIRE HYDRANT
- FL FLOWLINE
- FG FINISH GRADE
- RIM RIM OF SD CATCH BASIN
- SDCB STORM DRAIN CATCH BASIN
- AD AREA DRAIN
- HP HIGH POINT
- (E) EXISTING
- (P) PROPOSED
-  DIRECTION OF SURFACE DRAINAGE
-  CATCH BASIN
-  BIORETENTION BASIN
-  DG PAVEMENT
-  COBBLE BAND
-  LANDSCAPE AREA



NOTE:

1. SEE SHEET C6.1 FOR SECTIONS OF EXISTING AND PROPOSED CONDITIONS ALONG O'BRIEN DRIVE AND BOUNDARY.
2. SLOPES WITHIN THE FIRST 10' MUST SLOPE AWAY FROM THE BUILDING AT 5% MIN. FOR PERVIOUS SURFACES AND 2% MIN. FOR IMPERVIOUS AREAS.

BENCHMARK:

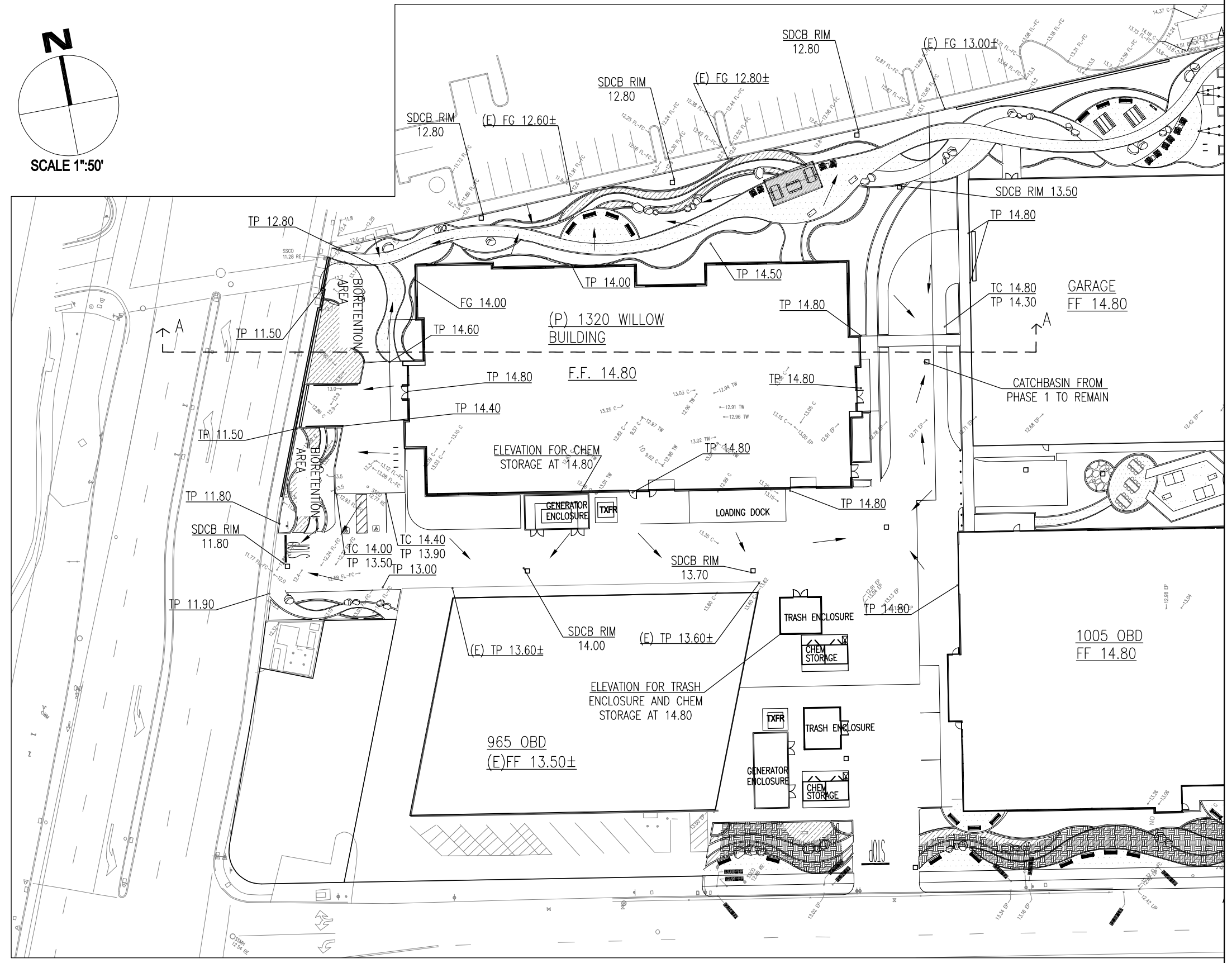
(FROM TOPOGRAPHIC SURVEY PREPARED BY KIER & WRIGHT SURVEYORS: JOB A15124-5 DATED FEB. 2021)

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NUMBER 06081C0307E FOR COMMUNITY PANEL NUMBER 060321 0307 E, DATED OCTOBER 16, 2012, WITH THE SITE BEING LOCATED IN FLOOD ZONE "AE";

BASE FLOOD ELEVATION DETERMINED AS 12.8 FEET.

NOTE: THE PROJECT WILL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS AND CITY'S FLOOD DAMAGE PREVENTION ORDINANCE.



BIM 360/Tarltan - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

- 04-15-2021 D.R.T. REVIEW
- 05-26-2021 C.U.P. SUBMITTAL
- 10-28-2021 C.U.P. RESPONSE 1
- 06-22-2022 C.U.P. RESPONSE 2
- 10-28-2022 C.U.P. RESPONSE 3

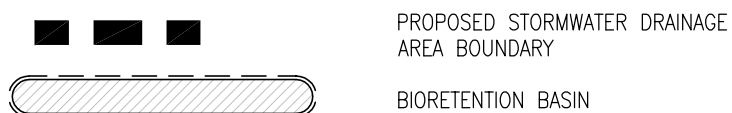
PHASE 2 PRELIMINARY GRADING PLAN



SHEET NOTES:

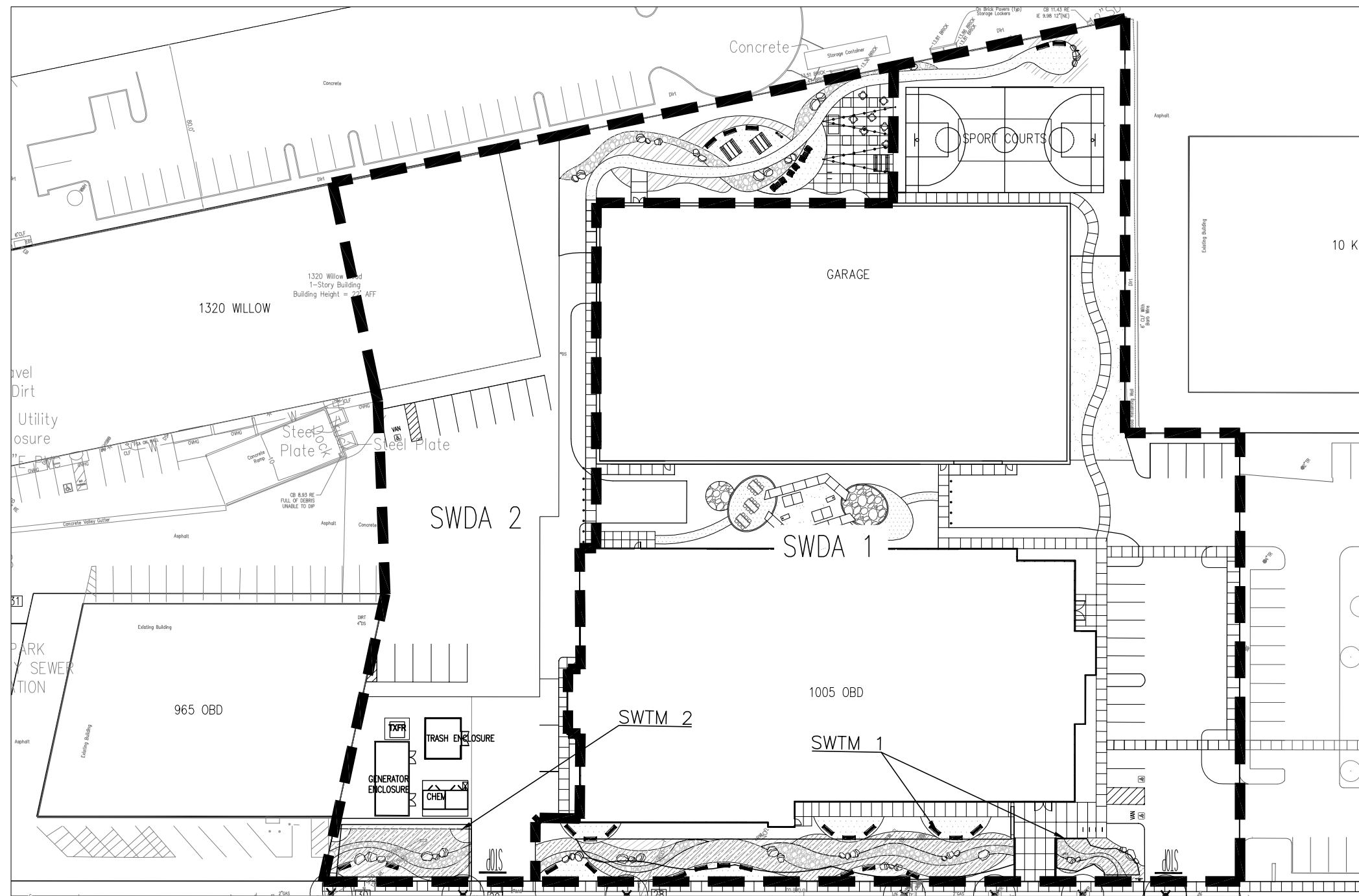
1. DIRECT RUNOFF FROM UNCOVERED PARKING AREAS AND/OR DRIVEWAYS ONTO VEGETATED AREAS.
2. MINIMIZE IMPERVIOUS SURFACES.
3. PRELIMINARY SIZING IS BASED ON THE SIMPLIFIED APPROACH OR FLOW-BASED SIZING APPROACH IN WHICH THE SURFACE AREA OF THE TREATMENT MEASURE IS DESIGNED TO BE 4% OF THE IMPERVIOUS AREA TO BE TREATED.

LEGEND:



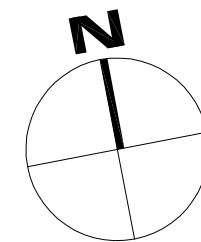
ABBREVIATIONS:

- SWDA STORMWATER DRAINAGE AREA
 SWTM STORMWATER TREATMENT MEASURE



STORMWATER MANAGEMENT TREATMENT MEASURE SUMMARY:

DRAINAGE AREA #	STORMWATER TREATMENT MEASURE	TREATMENT MEASURE DESIGNATION #	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQUIRED (SQ.FT.)	TREATMENT AREA PROVIDED (SQ. FT.)
SWDA 1	BIORETENTION AREA	SWTM 1	103022	84227	18795	3555	3800
SWDA 2	BIORETENTION BASIN	SWTM 2	43533	37664	5869	1506	1510



SCALE 1" = 60'

BIM 360:/Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025




04-15-2021 D.R.T. REVIEW
 05-26-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3

PHASE 1 PRELIMINARY STORMWATER MANAGEMENT PLAN



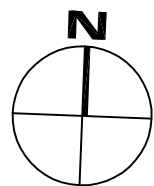
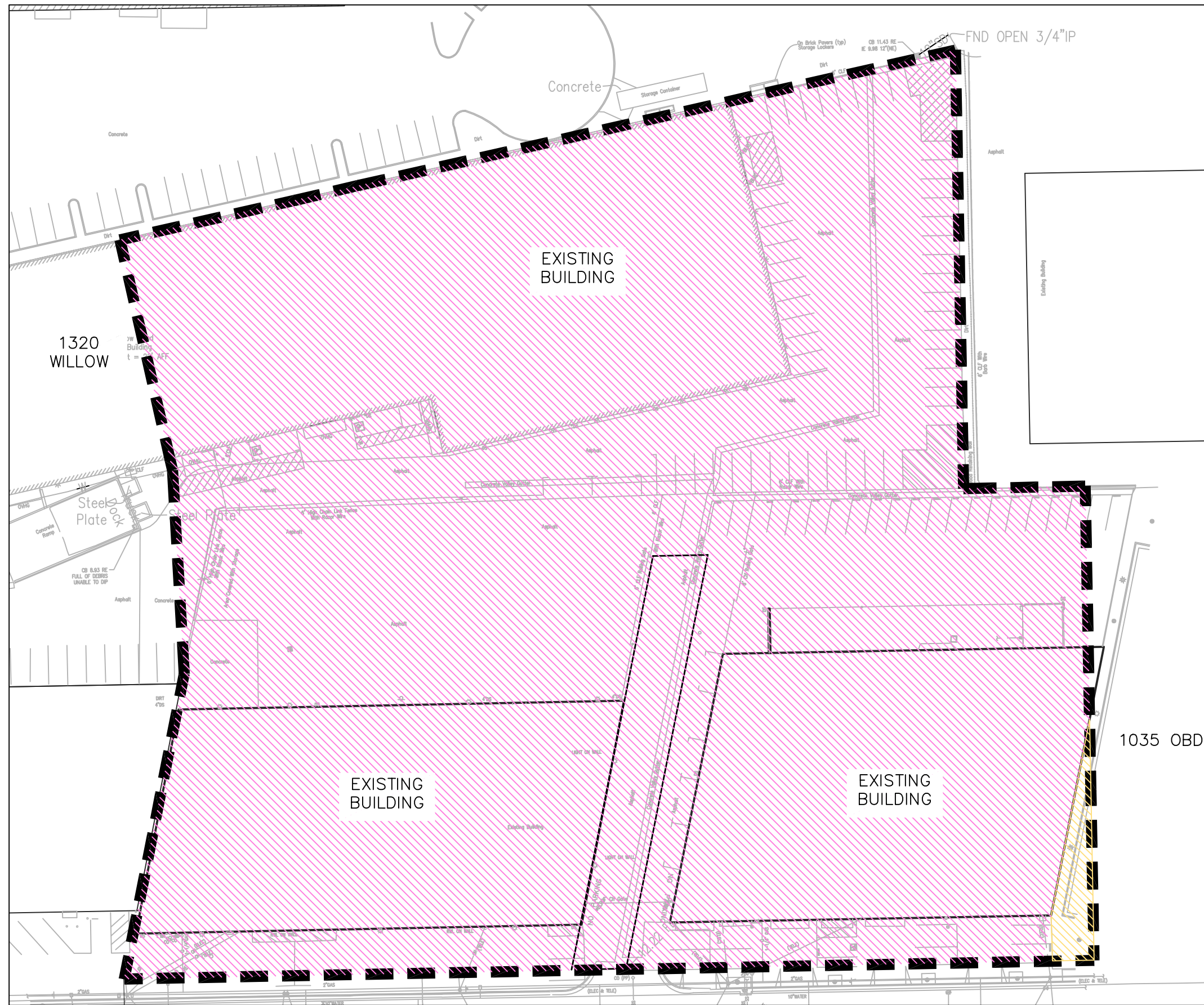
© 2020

LEGEND

-  PROPERTY BOUNDARY
-  EXISTING IMPERVIOUS AREA
-  EXISTING PERVIOUS AREA

IMPERVIOUS/PERVIOUS AREA SUMMARY:

	EXISTING
PERVIOUS AREA (SQ. FT.)	1318
IMPERVIOUS AREA (SQ. FT.)	145237
TOTAL AREA (SQ. FT.)	146555



0' 25' 50' 100'
SCALE: 1" = 50'-0"

BIM 360://Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
05-26-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3





PHASE 1 OVERALL EXISTING PERVIOUS/IMPERVIOUS AREA

C3.1B



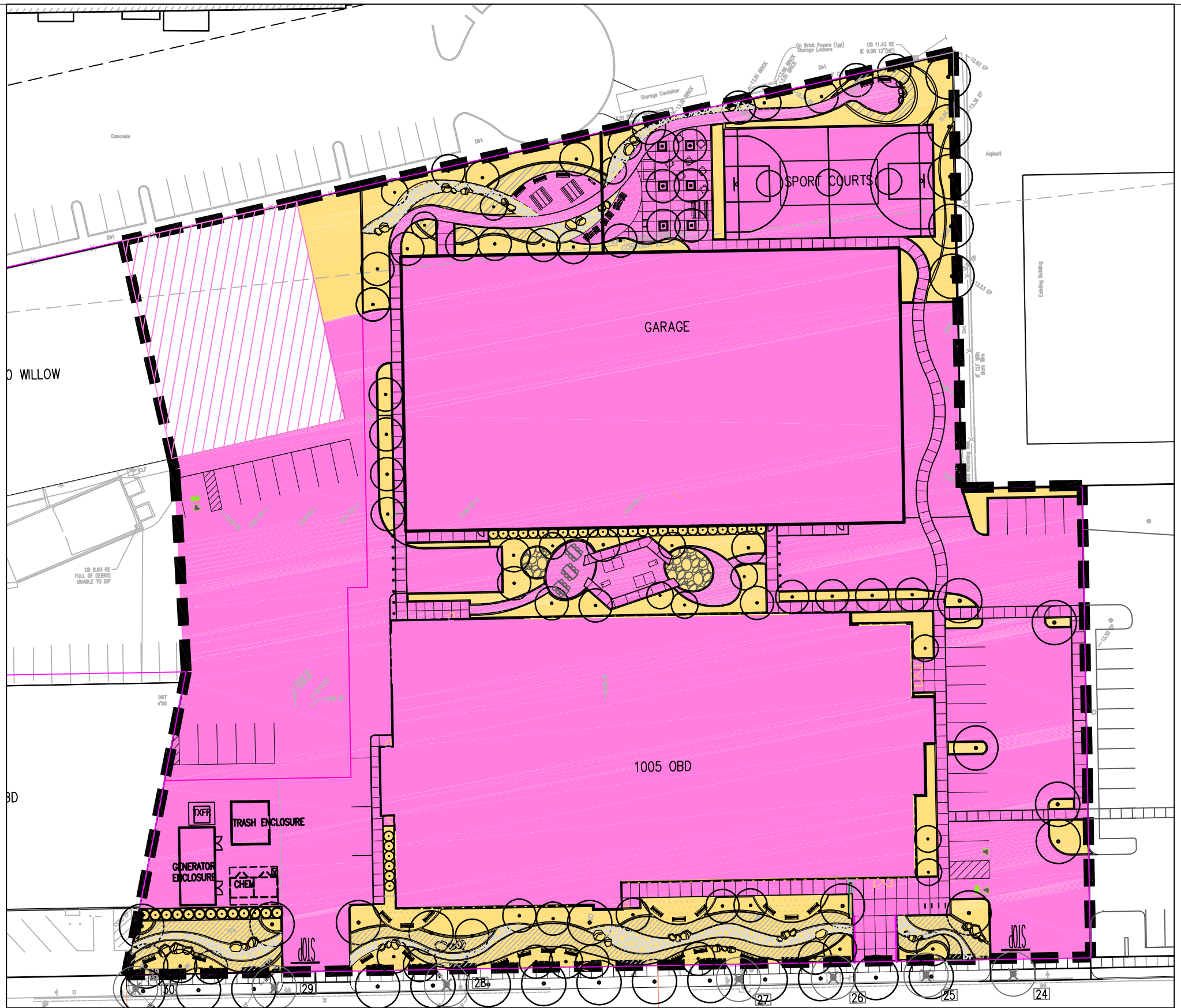
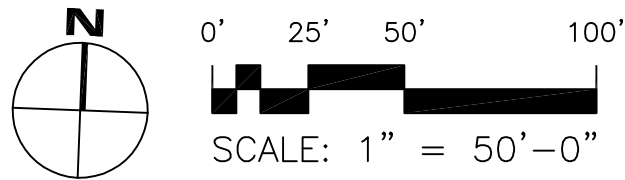
© 2020

LEGEND

-  PROPERTY BOUNDARY
-  EXISTING IMPERVIOUS AREA
-  PROPOSED IMPERVIOUS AREA
-  PROPOSED PERVIOUS AREA

IMPERVIOUS/PERVIOUS AREA SUMMARY:

	PROPOSED
PERVIOUS AREA (SQ. FT.)	24664
IMPERVIOUS AREA (SQ. FT.)	121891
TOTAL AREA (SQ. FT.)	146555



BIM 360/Jarlon - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
05-26-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

PHASE 1 OVERALL PROPOSED PERVIOUS/IMPERVIOUS AREA



© 2020

SHEET NOTES:

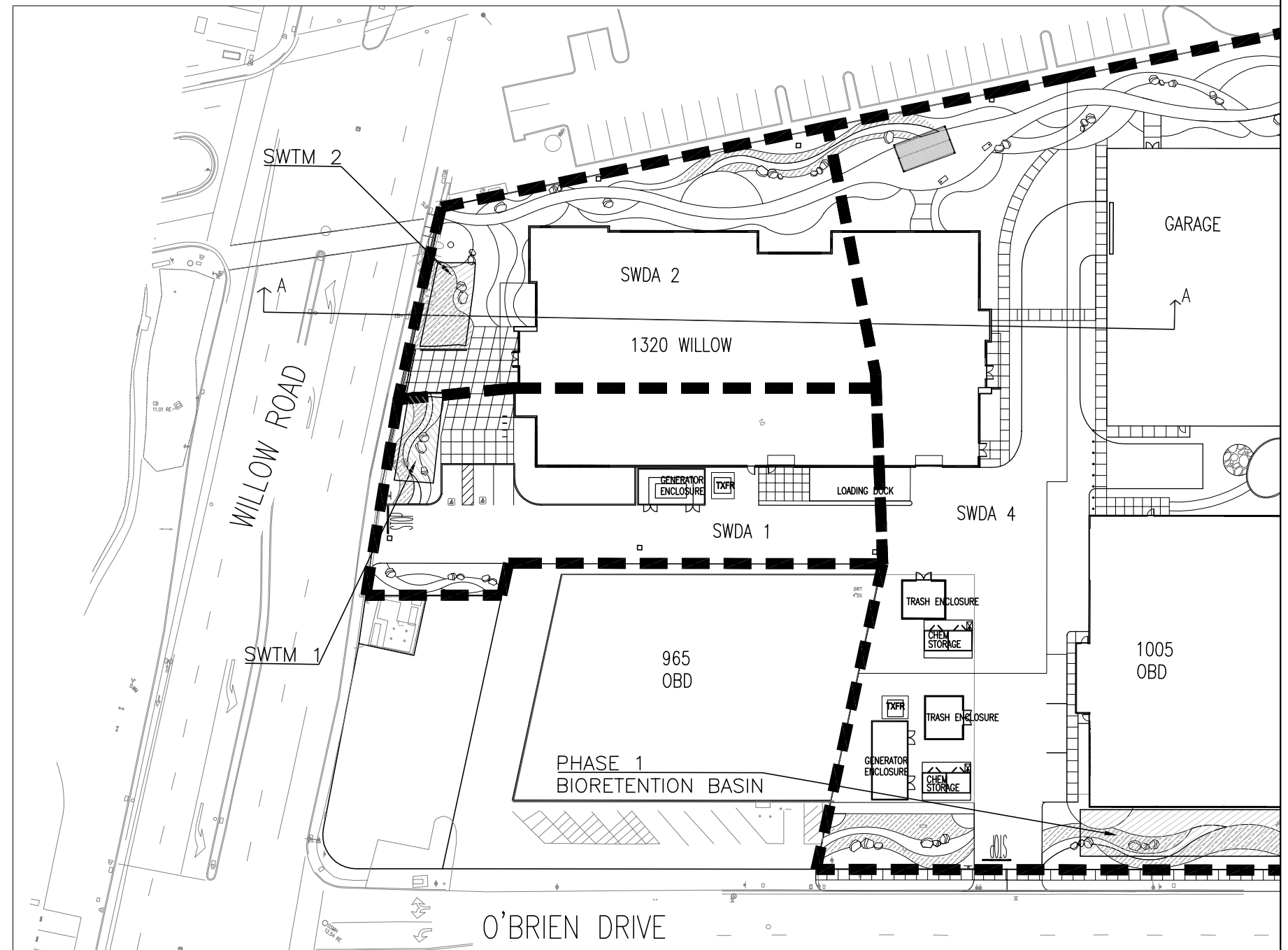
1. DIRECT RUNOFF FROM UNCOVERED PARKING AREAS AND/OR DRIVEWAYS ONTO VEGETATED AREAS.
2. MINIMIZE IMPERVIOUS SURFACES.
3. PROVIDED SELF-TREATING AREAS.
4. PRELIMINARY SIZING IS BASED ON THE SIMPLIFIED APPROACH OR FLOW-BASED SIZING APPROACH IN WHICH THE SURFACE AREA OF THE TREATMENT MEASURE IS DESIGNED TO BE 4% OF THE IMPERVIOUS AREA TO BE TREATED.

LEGEND:

- ■ ■ PROPOSED STORMWATER DRAINAGE AREA BOUNDARY AND LIMIT OF WORK
- ▨ BIORETENTION BASIN

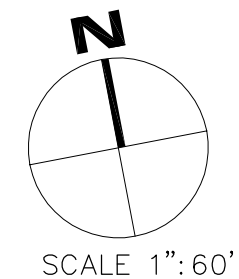
ABBREVIATIONS:

- SWDA STORMWATER DRAINAGE AREA
- SWTM STORMWATER TREATMENT MEASURE



STORMWATER MANAGEMENT TREATMENT MEASURE SUMMARY:

DRAINAGE AREA #	STORMWATER TREATMENT MEASURE	TREATMENT MEASURE DESIGNATION #	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQUIRED (SQ.FT.)	TREATMENT AREA PROVIDED (SQ. FT.)
SWDA 1	BIORETENTION AREA	SWTM 1	18030	14930	3100	597	630
SWDA 2	BIORETENTION AREA	SWTM 2	19170	12800	6370	512	550



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025




04-15-2021 D.R.T. REVIEW
05-26-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

PHASE 2 PRELIMINARY STORMWATER MANAGEMENT PLAN



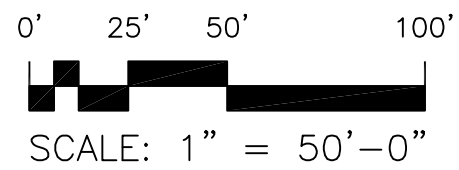
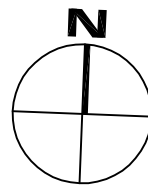
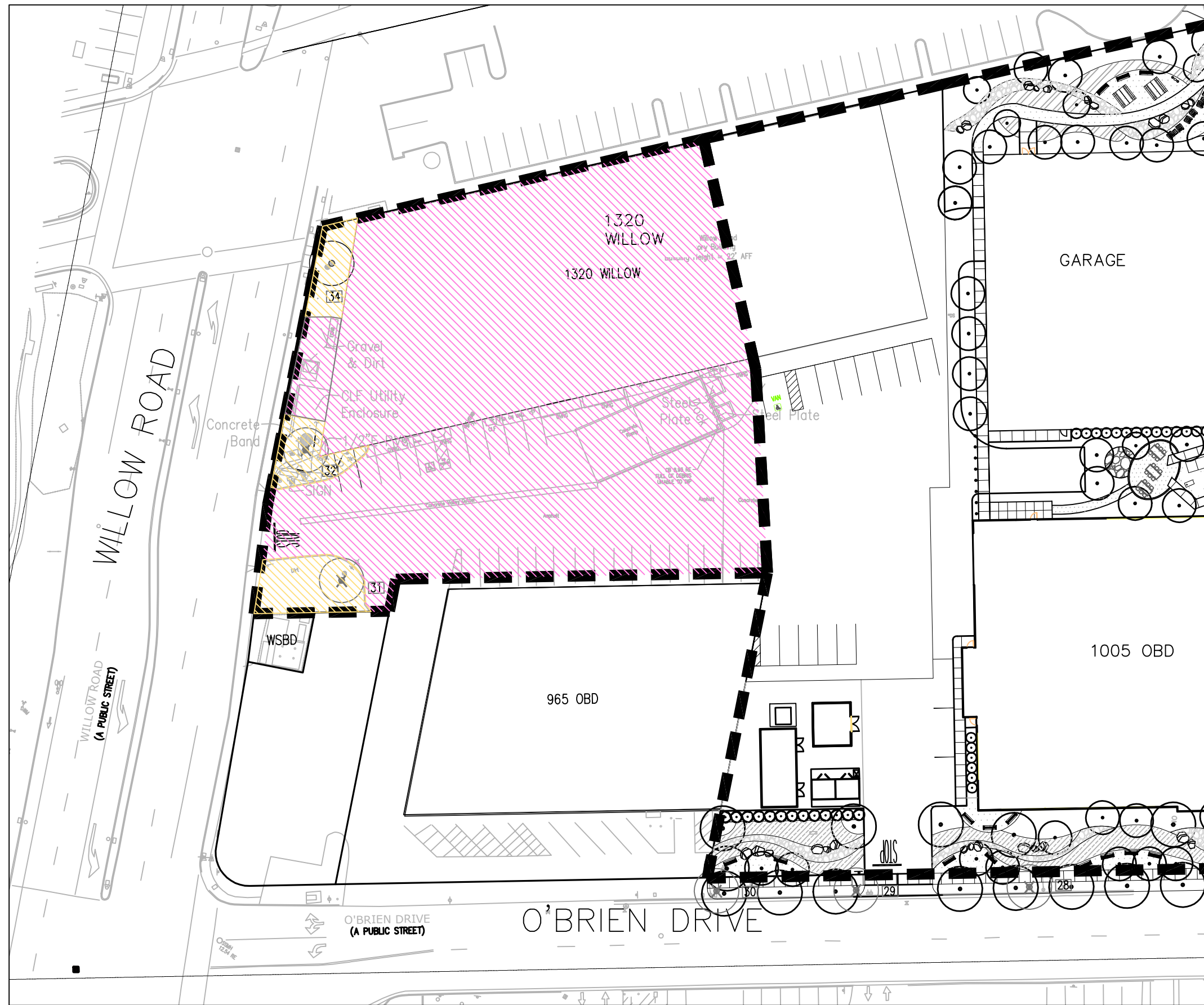
BIM 360://Tarlton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt

LEGEND





-  LIMIT OF DRAINAGE SHED AREA
-  EXISTING IMPERVIOUS AREA
-  EXISTING PERVIOUS AREA

IMPERVIOUS/PERVIOUS AREA SUMMARY:

	EXISTING
PERVIOUS AREA (SQ. FT.)	2612
IMPERVIOUS AREA (SQ. FT.)	34588
TOTAL AREA (SQ. FT.)	37200

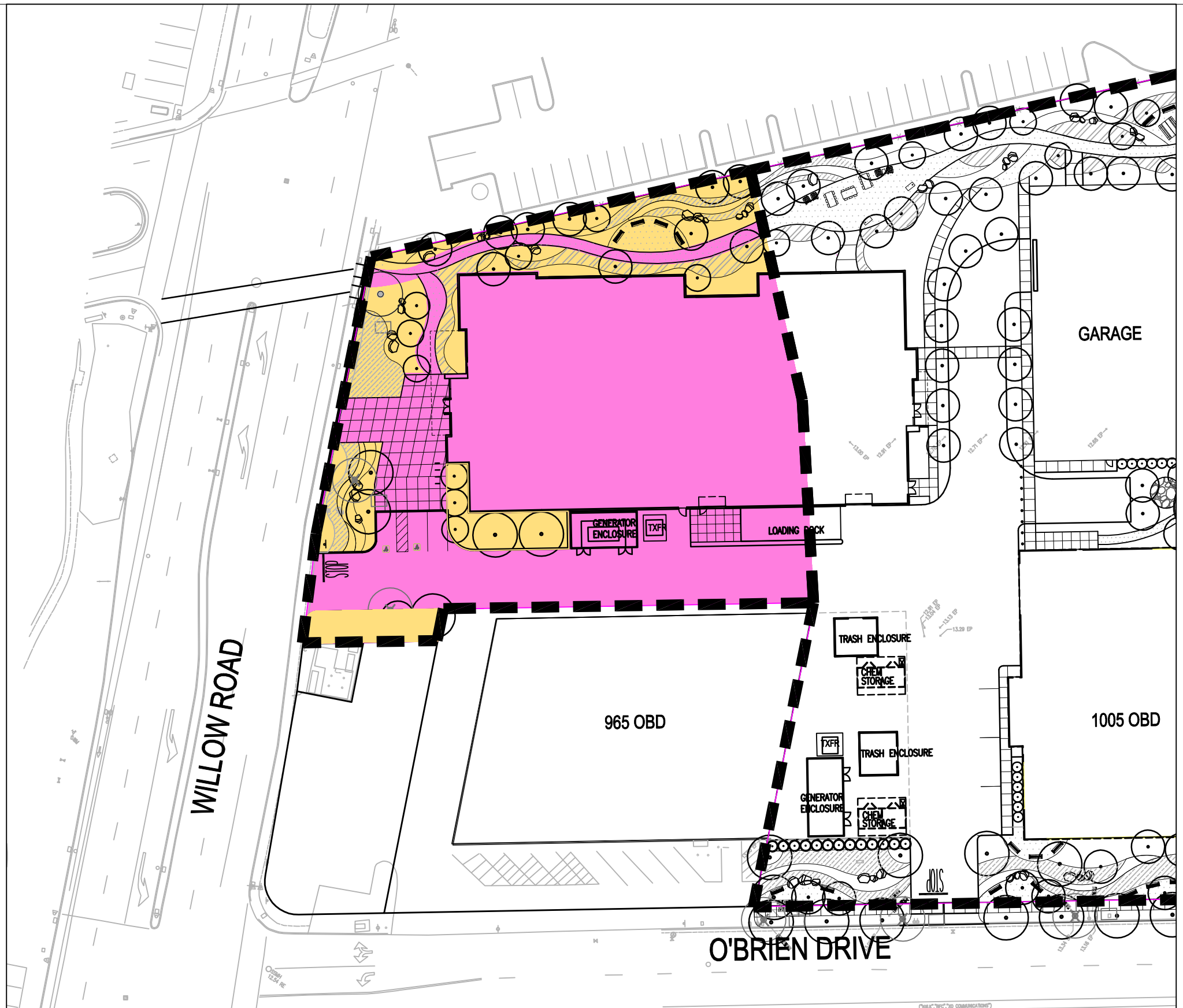
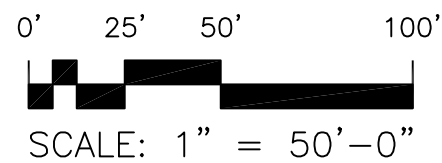
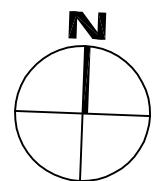


LEGEND

-  LIMIT OF DRAINAGE SHED AREA
-  EXISTING IMPERVIOUS AREA
-  PROPOSED IMPERVIOUS AREA
-  PROPOSED PERVIOUS AREA

IMPERVIOUS/PERVIOUS AREA SUMMARY:

	PROPOSED
PERVIOUS AREA (SQ. FT.)	8876
IMPERVIOUS AREA (SQ. FT.)	28324
TOTAL AREA (SQ. FT.)	37200



BIM 360/Tarltan - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
 1320 WILLOW RD
 MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
 05-26-2021 C.U.P. SUBMITTAL
 10-28-2021 C.U.P. RESPONSE 1
 06-22-2022 C.U.P. RESPONSE 2
 10-28-2022 C.U.P. RESPONSE 3





















PHASE 2 OVERALL PROPOSED PERVIOUS/IMPERVIOUS AREA

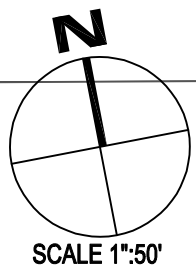
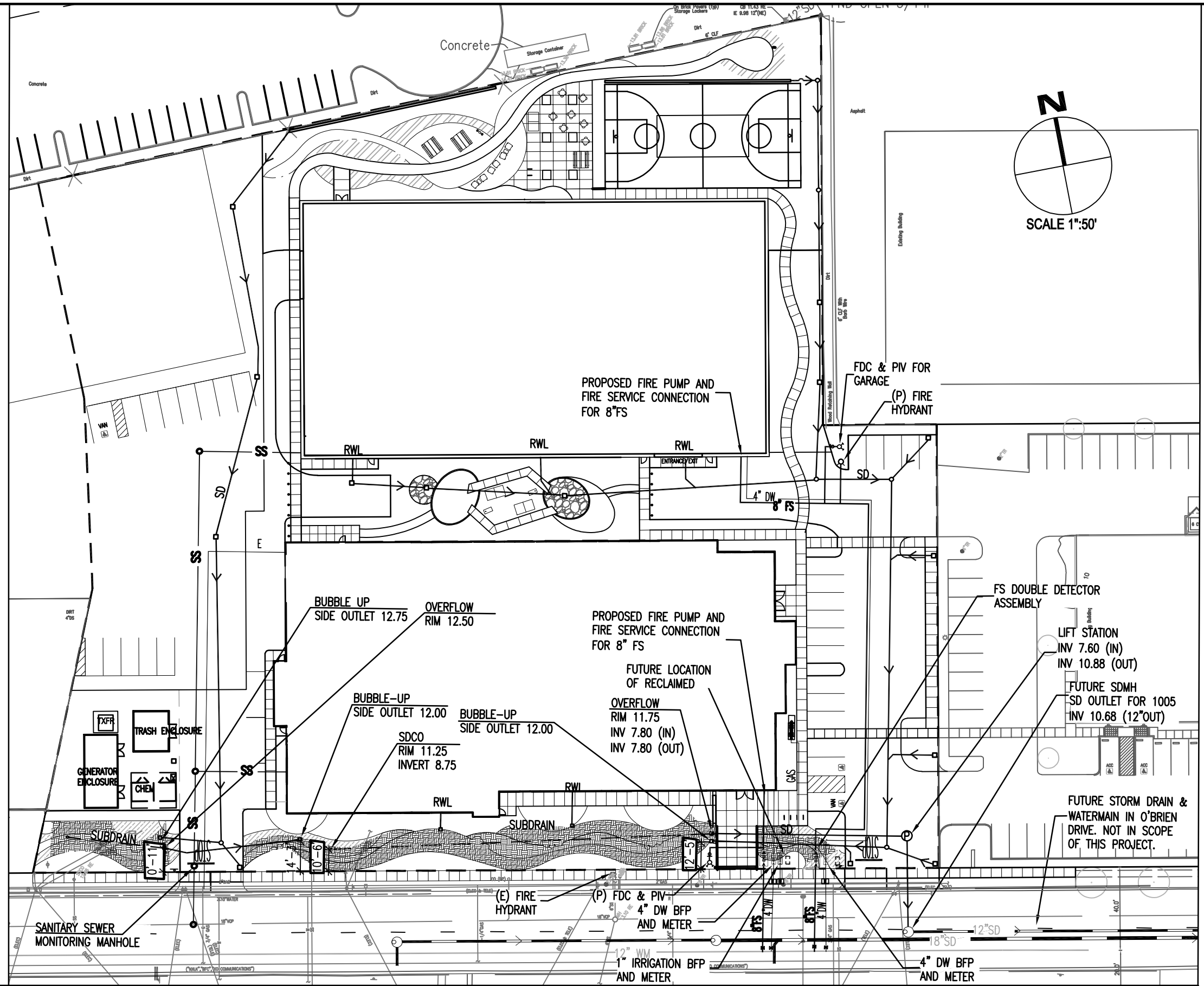


© 2020

ABBREVIATIONS & LEGEND:

BFP	BACKFLOW PREVENTOR
SS	SANITARY SEWER
SD	STORM DRAIN
TP	TOP OF PAVEMENT
TC	TOP OF CURB
E	ELECTRICAL LINE
FF	FINISH FLOOR ELEVATION
FS	FIRE SERVICE
DW	DOMESTIC WATER
(P)	PROPOSED
SDCB	STORM DRAIN CATCH BASIN
AD	AREA DRAIN
JUT	JOINT UTILITY TRENCH
HP	HIGH POINT
(E)	EXISTING
FH	FIRE HYDRANT
RIM	GRATE OF CATCH BASIN, MANHOLE OR AREA DRAIN RIM ELEVATION
RWL	RAIN WATER LEADER
P.O.C.	POINT OF CONNECTION
P.I.V.	POST INDICATOR VALVE
F.D.C.	FIRE DEPT. CONNECTION

	BIORETENTION BASIN
	CATCH BASIN
	STORM DRAIN MANHOLE
	(P) SD
	STORM DRAIN LINE
	(P) FS LINE
	(P) DW LINE
	(P) SS LINE
	PROPOSED BACKFLOW PREVENTOR
	DOUBLE DETECTOR CHECK ASSEMBLY
	SANITARY SEWER MANHOLE
	FDC
	PIV
	FIRE HYDRANT
	BUBBLE-UP STRUCTURE
	OVERFLOW STRUCTURE
	FUTURE GAS REGULATOR
	BOUNDARY OF WORK LIMIT
	WATER METER PROVIDED IN PUBLIC ROW
	WATER VALVES



BIM 360/Jariton - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
05-26-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3


















PHASE 1 PRELIMINARY UTILITY PLAN

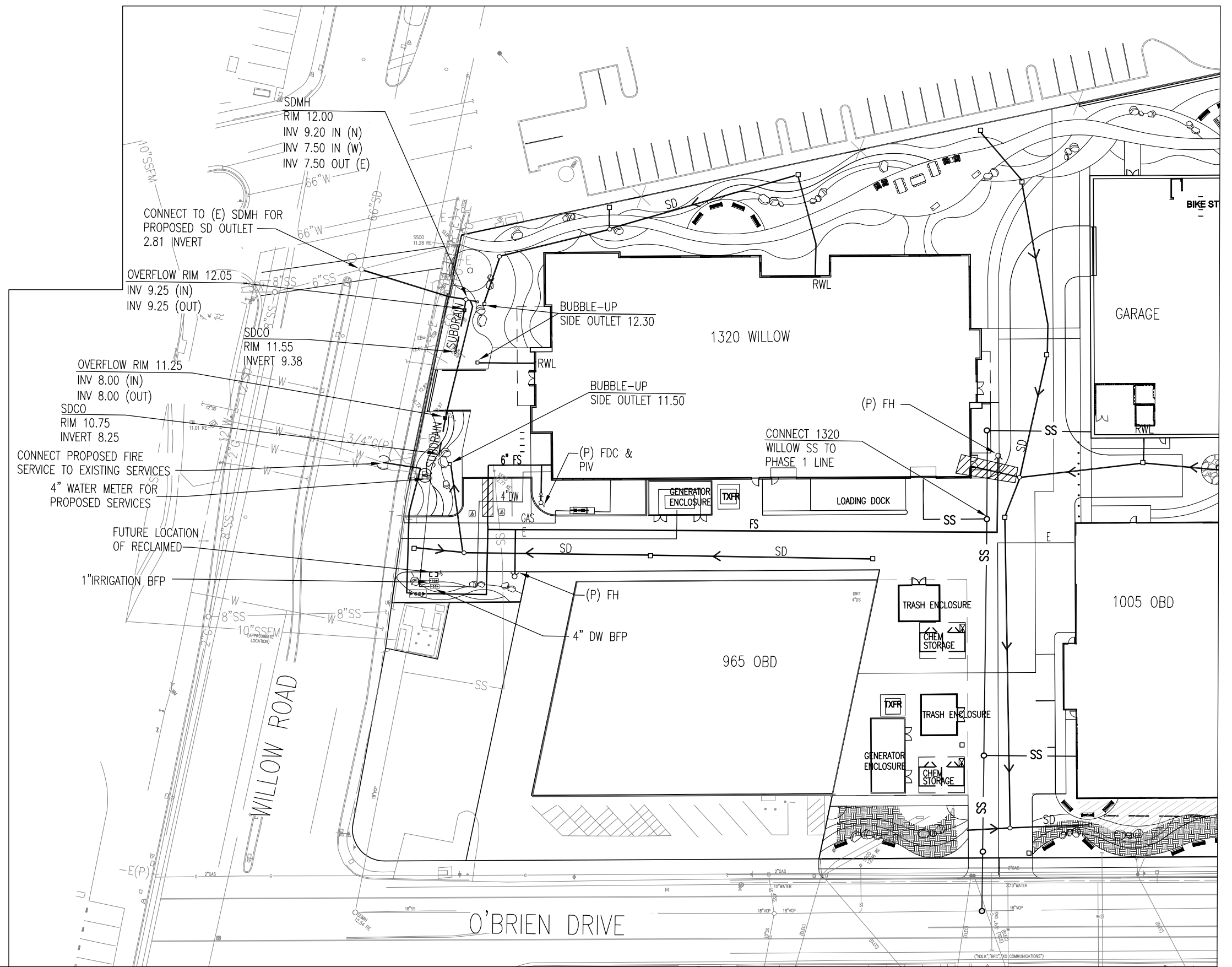
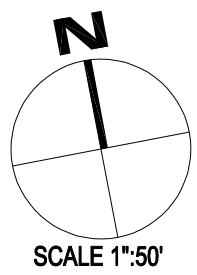


© 2020

ABBREVIATIONS & LEGEND:

- BFP BACKFLOW PREVENTOR
- SS SANITARY SEWER
- SD STORM DRAIN
- TP TOP OF PAVEMENT
- TC TOP OF CURB
- E ELECTRICAL LINE
- FF FINISH FLOOR ELEVATION
- FS FIRE SERVICE
- DW DOMESTIC WATER
- (P) PROPOSED
- SDCB STORM DRAIN CATCH BASIN
- AD AREA DRAIN
- JUT JOINT UTILITY TRENCH
- HP HIGH POINT
- (E) EXISTING
- FH FIRE HYDRANT
- GRATE OF CATCH BASIN, MANHOLE OR AREA DRAIN RIM ELEVATION
- RIM RAIN WATER LEADER
- P.O.C. POINT OF CONNECTION
- P.I.V. POST INDICATOR VALVE
- F.D.C. FIRE DEPT. CONNECTION

-  BIORETENTION BASIN
-  CATCH BASIN
-  STORM DRAIN MANHOLE
-  (P) SD
-  STORM DRAIN LINE
-  (P) FS LINE
-  (P) DW LINE
-  (P) SS LINE
-  PROPOSED BACKFLOW PREVENTOR DOUBLE DETECTOR CHECK ASSEMBLY
-  SANITARY SEWER MANHOLE
-  FDC
-  PIV
-  FIRE HYDRANT
-  BUBBLE-UP STRUCTURE
-  OVERFLOW STRUCTURE
-  FUTURE GAS REGULATOR
-  BOUNDARY OF WORK LIMIT



BIM 360/Tarltan - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
05-26-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

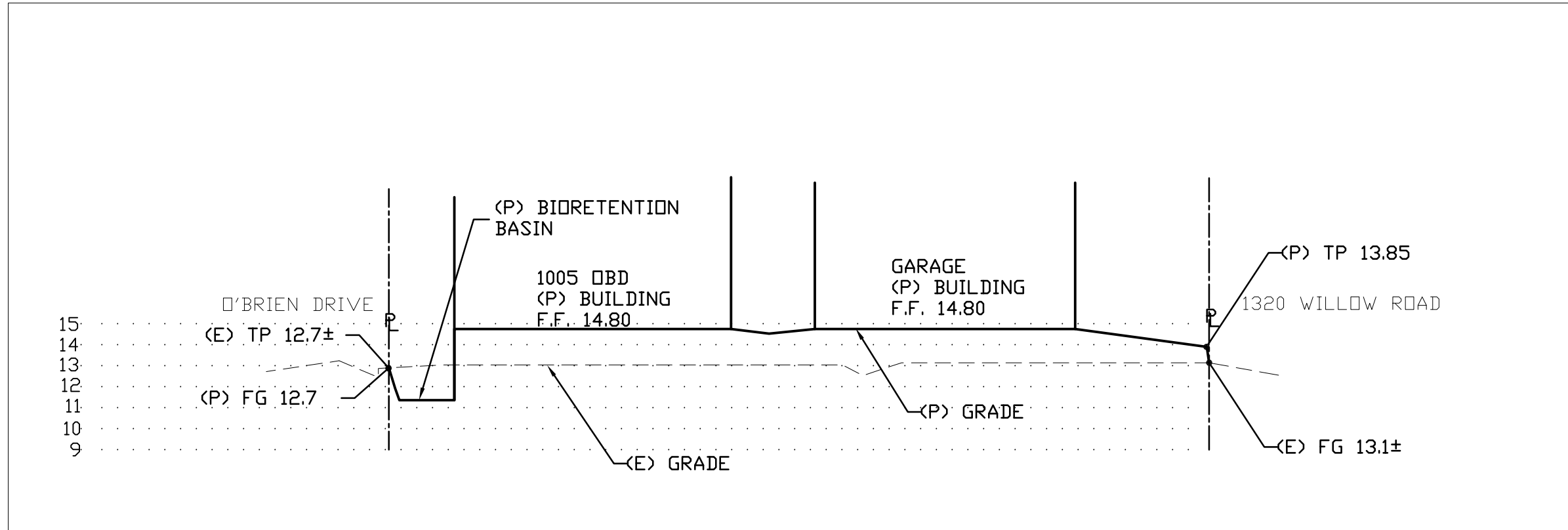
PHASE 2 PRELIMINARY UTILITY PLAN



© 2020

NOTE:

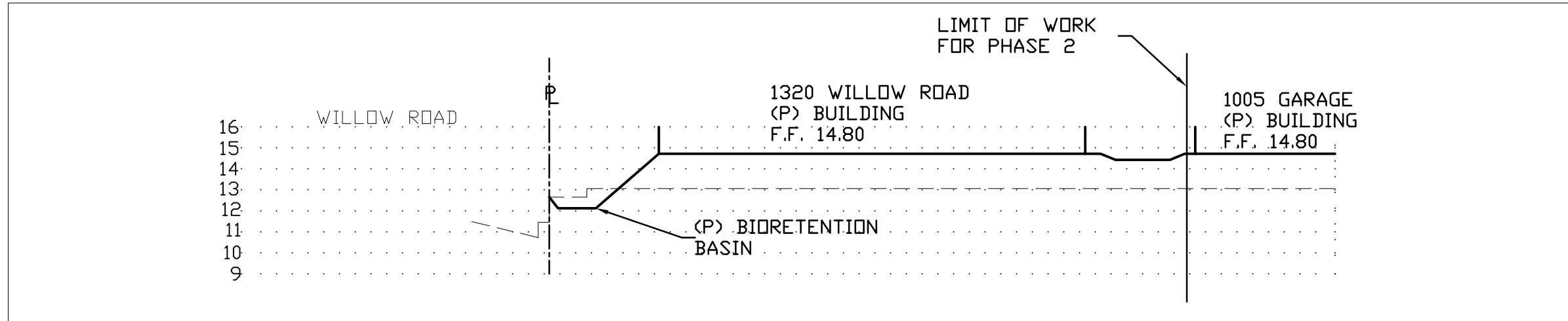
SEE SHEET C2.1 FOR
PROPOSED GRADING AND
DRAINAGE PLAN.



SECTION A TO A: NORTH TO SOUTH
HORIZ. SCALE: 1"=60', VERT. SCALE: 1"=1'

NOTE:

SEE SHEET C2.2 FOR
PROPOSED GRADING AND
DRAINAGE PLAN.



SECTION A TO A: WEST TO EAST
HORIZ. SCALE: 1"=60', VERT. SCALE: 1"=1'

BIM 360/Tarltan - 1005 OBD/10025002_A_1005OBD_SHELL_2020_Central.rvt



985 & 1001 O'BRIEN DR
1320 WILLOW RD
MENLO PARK, CA 94025

04-15-2021 D.R.T. REVIEW
05-26-2021 C.U.P. SUBMITTAL
10-28-2021 C.U.P. RESPONSE 1
06-22-2022 C.U.P. RESPONSE 2
10-28-2022 C.U.P. RESPONSE 3

PHASE 2 GRADING SECTIONS

C6.2



© 2020