

# MOXY BY MARRIOTT

MENLO PARK, CA  
OCTOBER 12, 2022

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### PROJECT TEAM

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### SCOPE OF WORK

PROPOSED 8-STORY HOTEL BUILDING, CONSISTING OF 163 ROOMS AND 124 PARKING SPACES.

LEVEL 1: PARKING, SERVICE AREAS, ELEVATORS TO JUMP LOBBY LEVELS 2-3: ABOVE GRADE PARKING

LEVEL 4: JUMP LOBBY INCLUDING AN INDOOR/OUTDOOR LOUNGE, FITNESS CENTER AND LIBRARY. LEVELS 5-8: GUESTROOMS & BACK OF HOUSE.

THE GUESTROOM LEVELS WILL BEGIN AT 44'-8" (LEVEL 5) ABOVE THE FINISHED FLOOR.



CO-00 - COVER SHEET



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3 HOUR RATED HORIZONTAL SEPARATION REQUIRED PER 2019 CBC 510.2



**BUILDING CLASSIFICATION:** R1 (2019 CBC SECTION 310.2)

**PROJECT DESCRIPTION:** THE 8-STORY HOTEL STRUCTURE IS COMPOSED OF 5 LEVELS OF TYPE IB LOAD BEARING METAL STUD CONSTRUCTION OVER A 3-LEVEL TYPE IA CAST-IN-PLACE CONCRETE PODIUM. THE HOTEL WILL CONSIST OF 163 KEYS OF GUESTROOMS.

**ALLOWABLE HEIGHT AND AREA TYPE IA (2019 CBC Tables 504.3, 504.4, and 506.2):**

- |                               |                   |
|-------------------------------|-------------------|
| 1. Maximum Number of Stories: | Unlimited Stories |
| 2. Maximum Height:            | Unlimited Height  |
| 3. Maximum Area:              | Unlimited Area    |

**ALLOWABLE HEIGHT AND AREA TYPE IB (CBC Tables 504.3, 504.4, and 506.2):**

- |                               |                |
|-------------------------------|----------------|
| 1. Maximum Number of Stories: | 12             |
| 2. Maximum Height:            | 180'           |
| 3. Maximum Area:              | Unlimited Area |

FAR SF TABLE (ALL LEVELS)		
Level	Name	Area
LEVEL 01		
LEVEL 01	BOH	817 SF
LEVEL 01	COFFEE	1664 SF
LEVEL 01	ELEV. 1	89 SF
LEVEL 01	ELEV. 2	168 SF
LEVEL 01	JUMP LOBBY	1115 SF
LEVEL 01	MENS	174 SF
LEVEL 01	STAIR A	251 SF
LEVEL 01	STAIR B	238 SF
LEVEL 01	STAIR C	235 SF
LEVEL 01	VALET OFFICE	101 SF
LEVEL 01	WOMENS	172 SF
LEVEL 04		
LEVEL 04	BOH	370 SF
LEVEL 04	ELEV. 1	89 SF
LEVEL 04	ELEV. 2	168 SF
LEVEL 04	FITNESS	444 SF
LEVEL 04	GUESTROOMS	3998 SF
LEVEL 04	KITCHEN	755 SF
LEVEL 04	LAUNDRY	434 SF
LEVEL 04	MAIN LOBBY	2919 SF
LEVEL 04	RESTROOMS	803 SF
LEVEL 04	STAIR A	254 SF
LEVEL 04	STAIR B	239 SF
LEVEL 04	STAIR C	235 SF
LEVEL 04	STORAGE	88 SF
LEVEL 05		
LEVEL 05	ELEV. 2	168 SF
LEVEL 05	GUESTROOMS	9726 SF
LEVEL 05	STAIR A	251 SF
LEVEL 05	STAIR B	239 SF
LEVEL 06		
LEVEL 06	ELEV. 2	168 SF
LEVEL 06	GUESTROOMS	9726 SF
LEVEL 06	STAIR A	251 SF
LEVEL 06	STAIR B	239 SF
LEVEL 07		
LEVEL 07	ELEV. 2	168 SF
LEVEL 07	GUESTROOMS	9726 SF
LEVEL 07	STAIR A	251 SF
LEVEL 07	STAIR B	239 SF
LEVEL 08		
LEVEL 08	ELEV. 2	168 SF
LEVEL 08	GUESTROOMS	9726 SF
LEVEL 08	STAIR A	251 SF
LEVEL 08	STAIR B	239 SF
ROOF		
ROOF	ELEV. 2	168 SF
ROOF	STAIR A	251 SF
ROOF	STAIR B	239 SF
TOTAL SF		58014 SF



SITE

Google Earth  
Image Landsat / Copernicus

CO-01 - SITE LOCATION



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REAR VIEW



SIDE VIEW



SIDE VIEW



FRONT & SIDE VIEW



FRONT VIEW



REAR VIEW

EXISTING BUILDING TO BE DEMOLISHED  
EXISTING BUILDING HEIGHT : 20' - 22' TALL

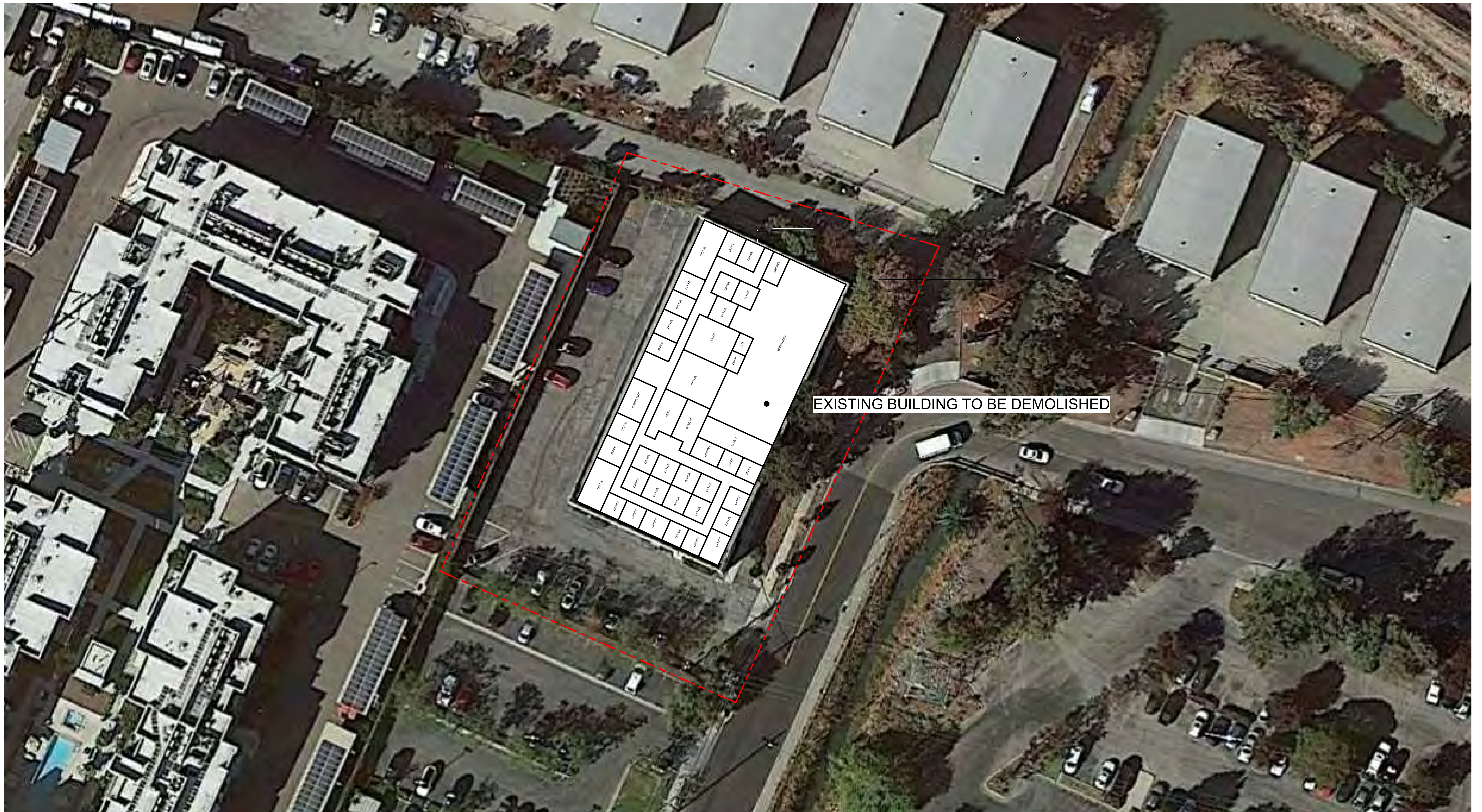
CO-02 - EXISTING CONDITIONS



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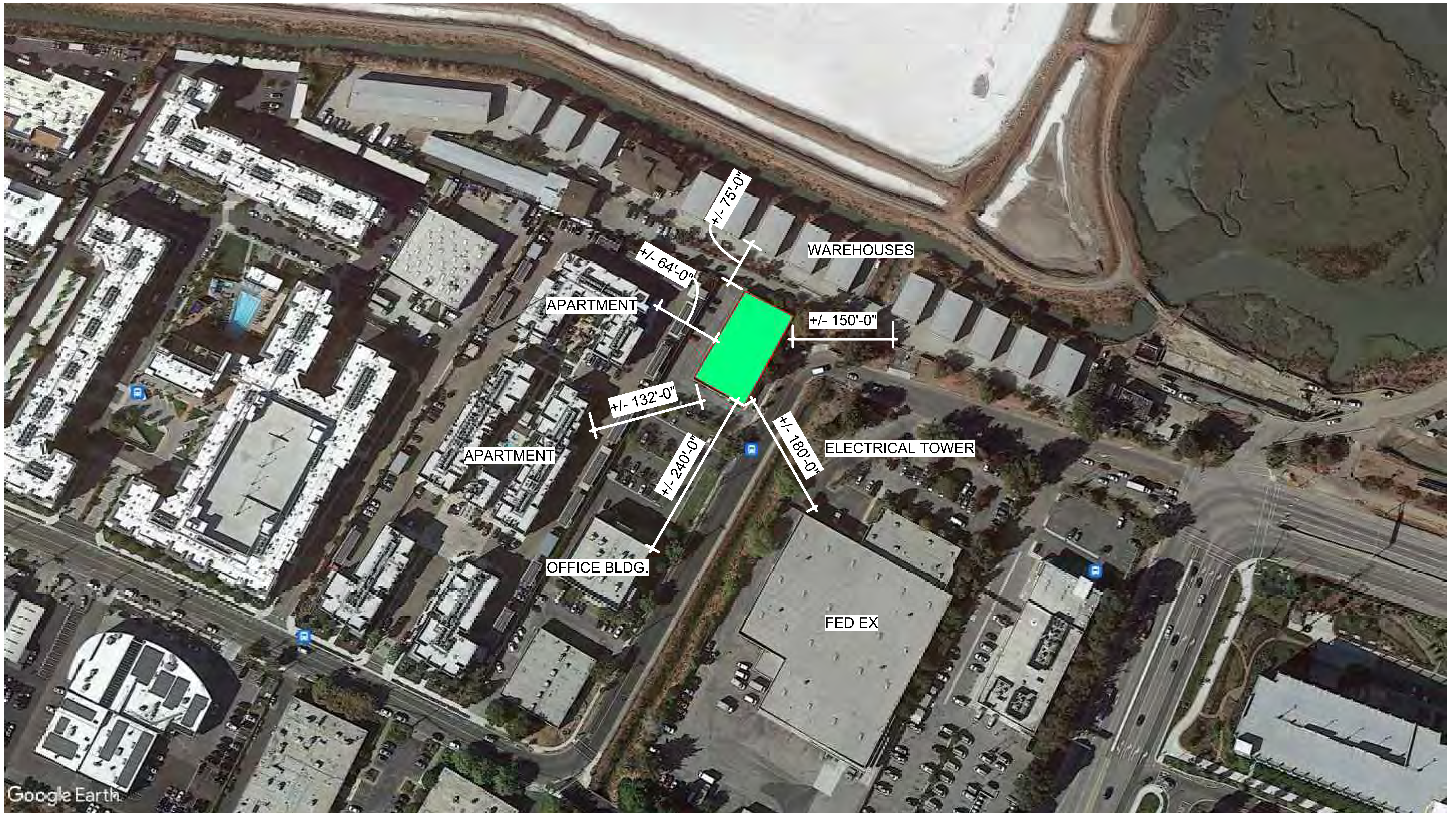
CO-03 - EXISTING CONDITIONS



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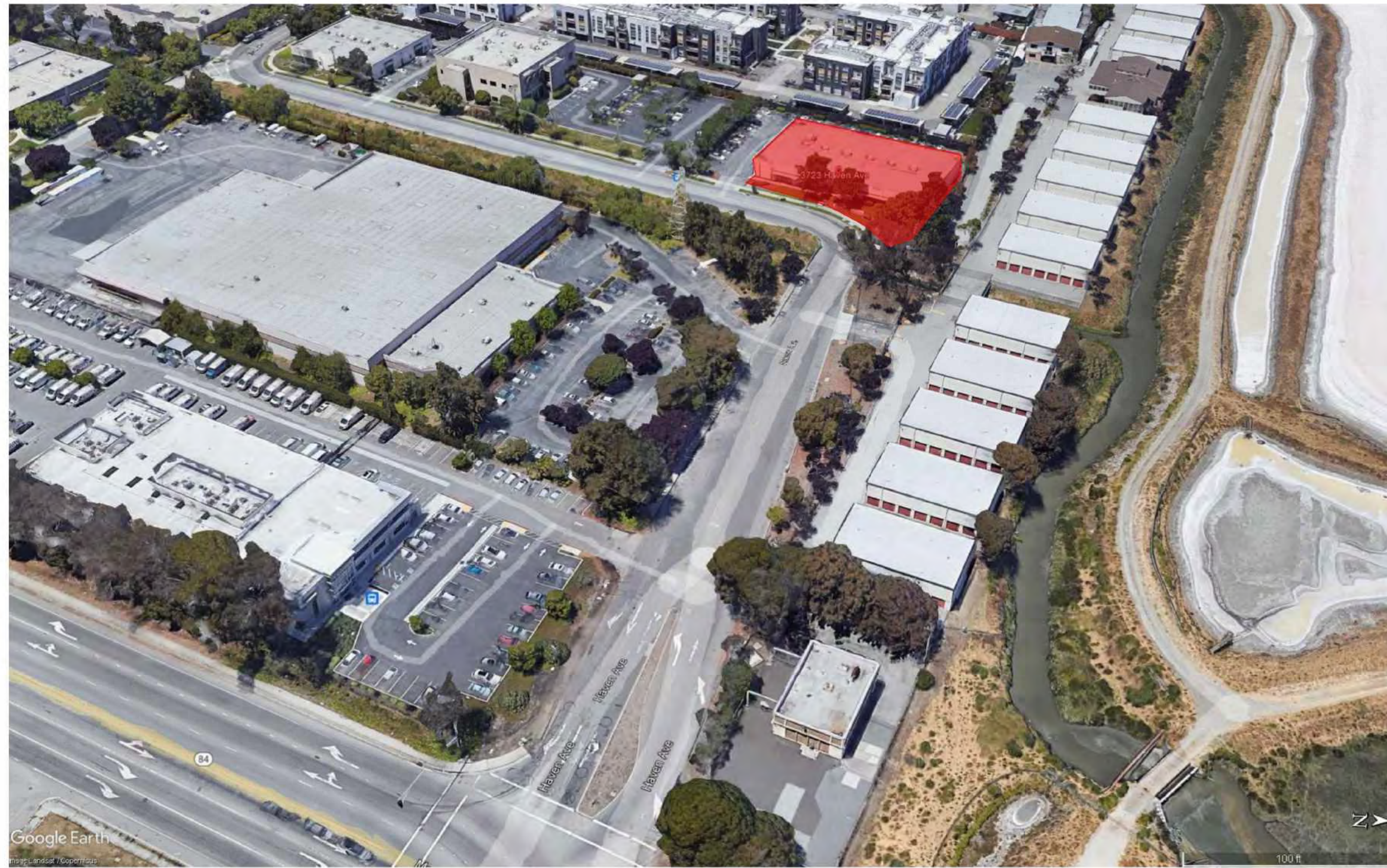
CO-04 - NEIGHBORING BLDG DISTANCE



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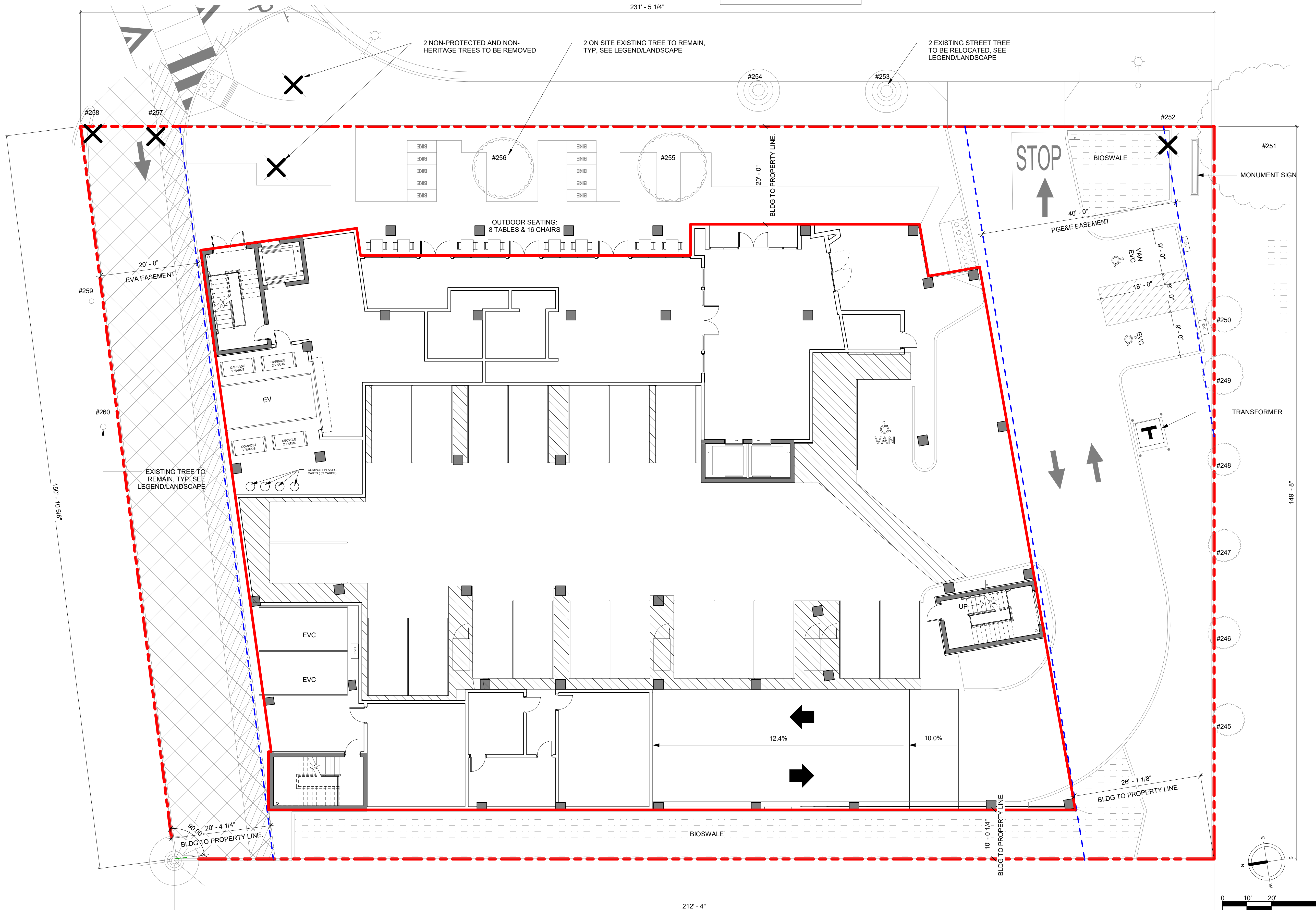
CO-05 - SITE ELEVATION



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HAVEN AVENUE



SITE LEGEND

- PROPERTY LINE
- 394'-0" FINISHED FLOOR OR GRADE ELEVATION
- T TRANSFORMER
- O EXISTING TREE TO REMAIN
- O EXISTING TREE TO BE RELOCATED
- X EXISTING TREE TO BE REMOVED
- X EXISTING NON-PROTECTED AND NON-HERITAGE TREE TO BE REMOVED

SITE DATA

1. **ADDRESS** 3723 HAVEN AVENUE  
MENLO PARK, CA 94035
2. **SITE AREA** ~ 0.76 ACRES (33,192 SF)
3. **ZONING** O-B (OFFICE-BONUS)  
CITY OF MENLO PARK  
MAX FAR 1.75 (58,086 MAX GSF)
4. **PARKING SUMMARY**

PARKING USE	PARKING REQUIRED (RATIO)	PARKING PROVIDED
HOTEL	75 SPACES/163 GUESTROOM	124 SPACES
	123 PARKING REQUIRED	124 SPACES PROVIDED

**BICYCLE PARKING PROVIDED**  
 LEVEL 1 = 14 (4 BIKE LOCKERS PROVIDED)  
 LEVEL 2 = 4 (4 BIKE LOCKERS PROVIDED)  
 LEVEL 3 = 4 (4 BIKE LOCKERS PROVIDED)  
 TOTAL = 22 SPACES TOTAL OF WHICH 12 ARE BIKE LOCKERS
5. **PROPERTY SETBACKS (REFER TO SITE PLAN)**

AT STREET:	5 FEET, 25 FEET MAX
POWERLINE EASEMENT:	40 FEET
FIRE LANE:	15-30 FEET (20 FEET REQUESTED)
FROM ROW (PRIVATE EASEMENT):	20 FEET
7. **AVERAGE BASE ELEVATION**

EAST ELEVATION:	+11.05
SOUTH ELEVATION:	+10.025
WEST ELEVATION:	+9.325
NORTH ELEVATION:	+10.35
FEMA BASE FLOOD ELEVATION	+10.0
DESIGN FLOOD ELEVATION	+11.0 DFE

BUILDING DATA

LEVEL	GUESTROOMS
LEVEL 4	15 GUESTROOMS
LEVEL 5	37 GUESTROOMS
LEVEL 6	37 GUESTROOMS
LEVEL 7	37 GUESTROOMS
LEVEL 8	37 GUESTROOMS
	163 GUESTROOMS

**ELECTRIC VEHICLE PARKING**

	EV (STANDARD)	EVC (STANDARD)	EVC (VAN ACC)	EVC (STD ACC)
LEVEL 1	1	2	2	1
LEVEL 2	6	9		2
LEVEL 3	6	9		2
TOTAL	13	20	2	5

- ELECTRIC VEHICLE PARKING REQUIREMENTS**
- EVC CHARGING STATIONS = (.15 x 123) = 19
  - EV = (.10 x 123) = 13







**LEVEL 01 - FAR SF TABLE**

Level	Name	Area
<b>EXCLUDED FROM FAR</b>		
LEVEL 01	EXCLUDED 16.04.325 (2)	1395 SF
LEVEL 01	EXCLUDED 16.04.325 (3)	12051 SF
LEVEL 01	EXCLUDED 16.04.325 (6)	470 SF
<b>INCLUDED IN FAR</b>		
LEVEL 01	BOH	817 SF
LEVEL 01	COFFEE	1664 SF
LEVEL 01	ELEV. 1	89 SF
LEVEL 01	ELEV. 2	168 SF
LEVEL 01	JUMP LOBBY	1115 SF
LEVEL 01	MENS	174 SF
LEVEL 01	STAIR A	251 SF
LEVEL 01	STAIR B	238 SF
LEVEL 01	STAIR C	235 SF
LEVEL 01	VALET OFFICE	101 SF
LEVEL 01	WOMENS	172 SF
<b>TOTAL SF</b>		<b>18940 SF</b>

**ELECTRIC VEHICLE PARKING**

	EV (STANDARD)	EVC (STANDARD)	EVC (VAN ACC)	EVC (STD-ACC)
LEVEL 1	1	2	1	2
LEVEL 2	6	9		2
LEVEL 3	6	9		2
<b>TOTAL</b>	<b>13</b>	<b>20</b>	<b>1</b>	<b>4</b>

**ELECTRIC VEHICLE PARKING REQUIREMENTS**

- EVC CHARGING STATIONS = (15 x 127) = 20
- EV = (10 x 127) = 13

CO-07 - LEVEL 1



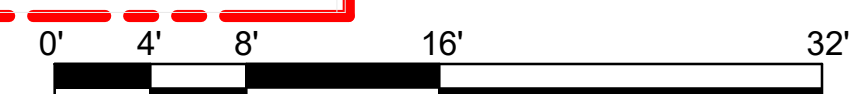
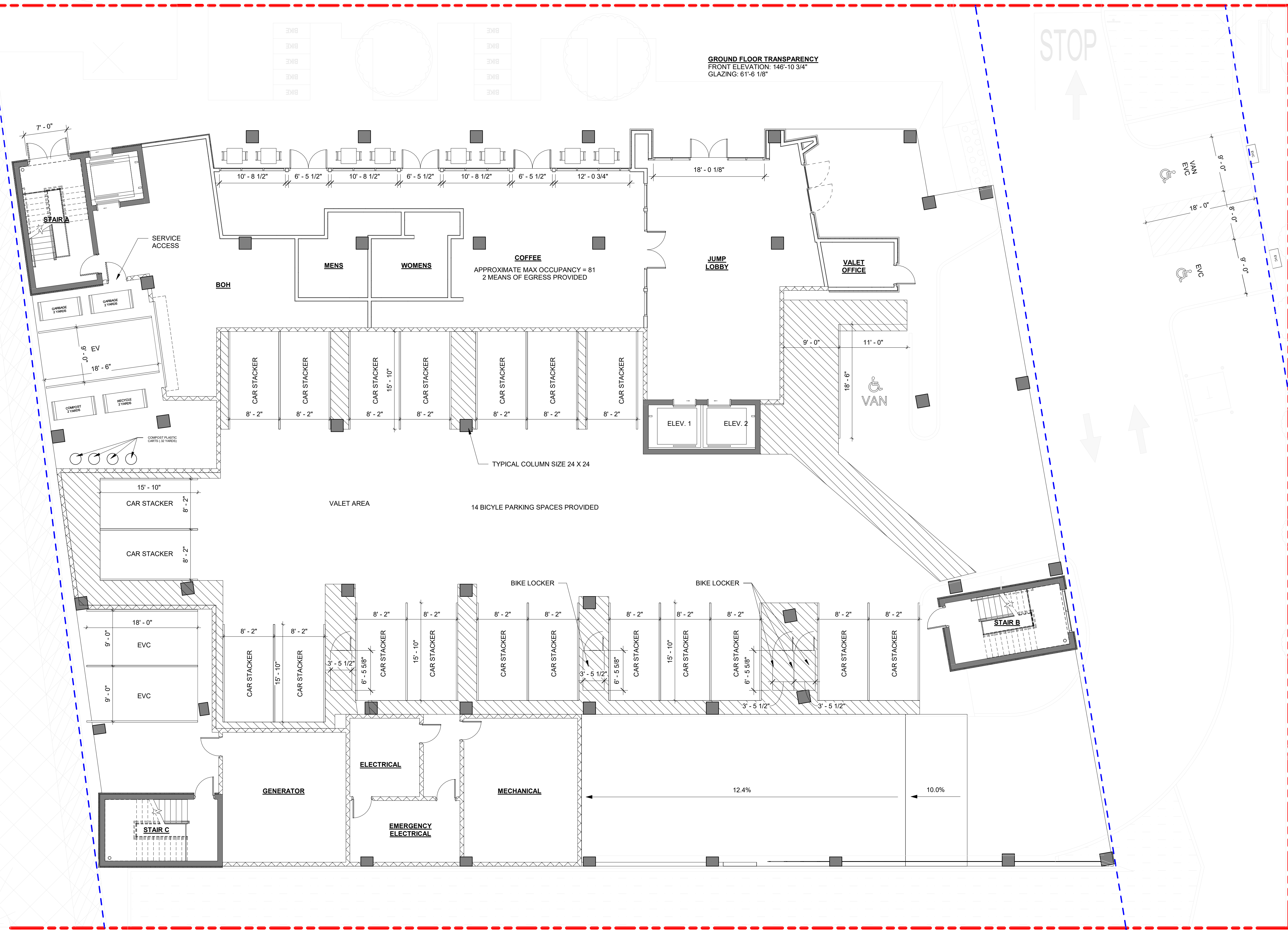
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	ELECTRIC VEHICLE PARKING			
	EV (STANDARD)	EVC (STANDARD)	EVC (VAN ACC)	EVC (STD-ACC)
LEVEL 1	1	2	1	2
LEVEL 2	6	9		2
LEVEL 3	6	9		2
TOTAL	13	20	1	4

ELECTRIC VEHICLE PARKING REQUIREMENTS

- EVC CHARGING STATIONS = (15 x 127) = 20
- EV = (10 x 127) = 13



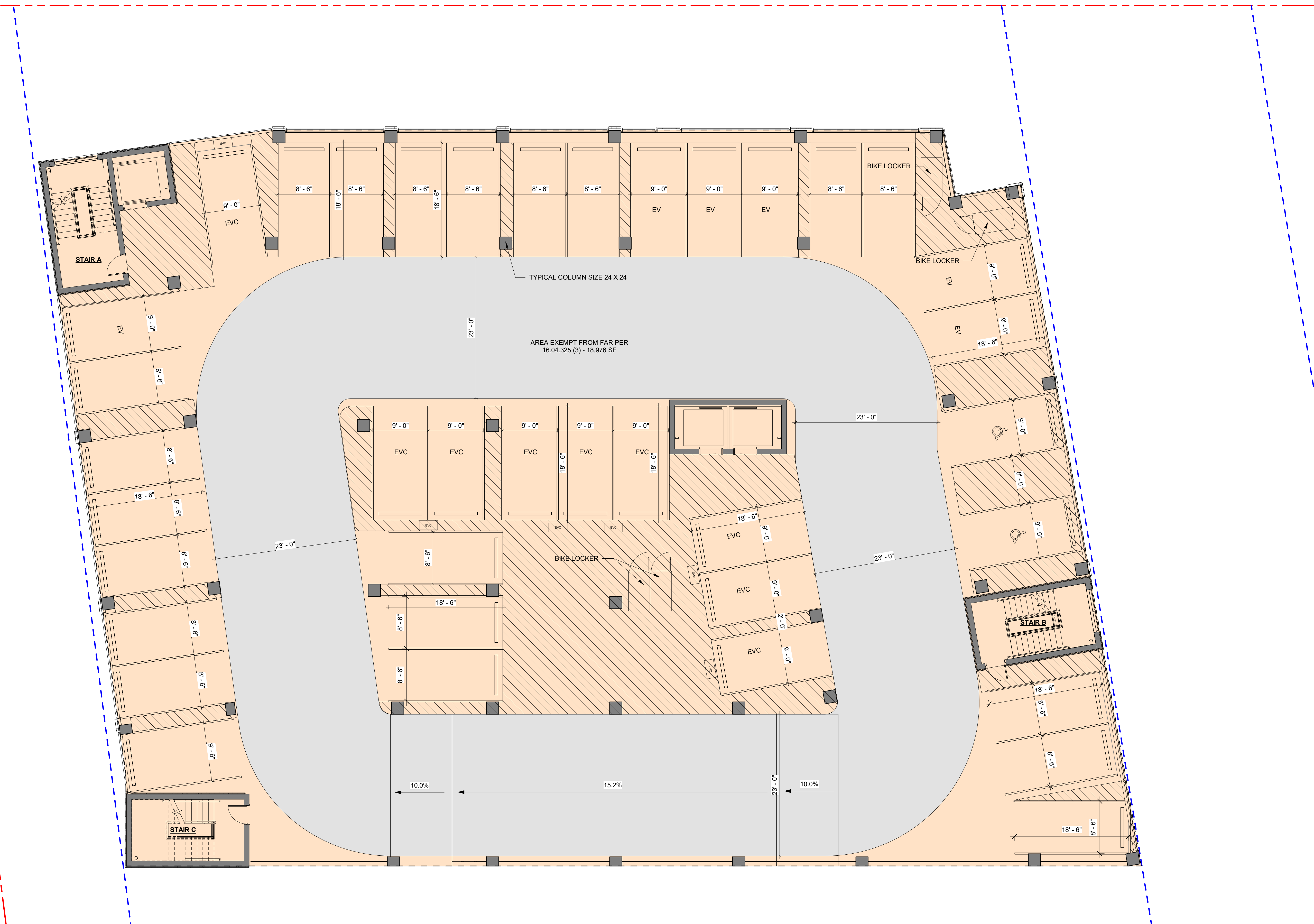
CO-07A - LEVEL 1



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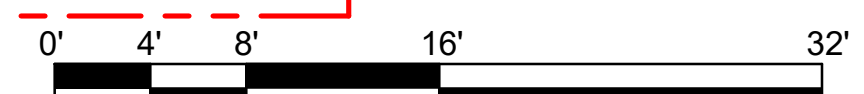


LEVEL 02 - FAR SF TABLE		
Level	Name	Area
EXCLUDED FROM FAR		
LEVEL 02	EXCLUDED 16.04.325 (3)	18,976 SF
TOTAL SF		18,976 SF

	ELECTRIC VEHICLE PARKING			
	EV (STANDARD)	EVC (STANDARD)	EVC (VAN ACC)	EVC (STD-ACC)
LEVEL 1	1	2	1	
LEVEL 2	6	9		2
LEVEL 3	6	9		2
TOTAL	13	20	1	4

ELECTRIC VEHICLE PARKING REQUIREMENTS

- EVC CHARGING STATIONS = (15 x 127) = 20
- EV = (10 x 127) = 13



CO-08 - LEVEL 2



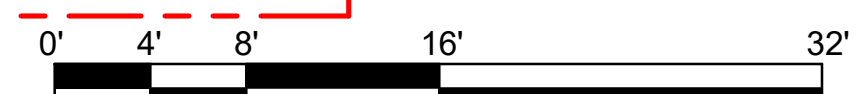
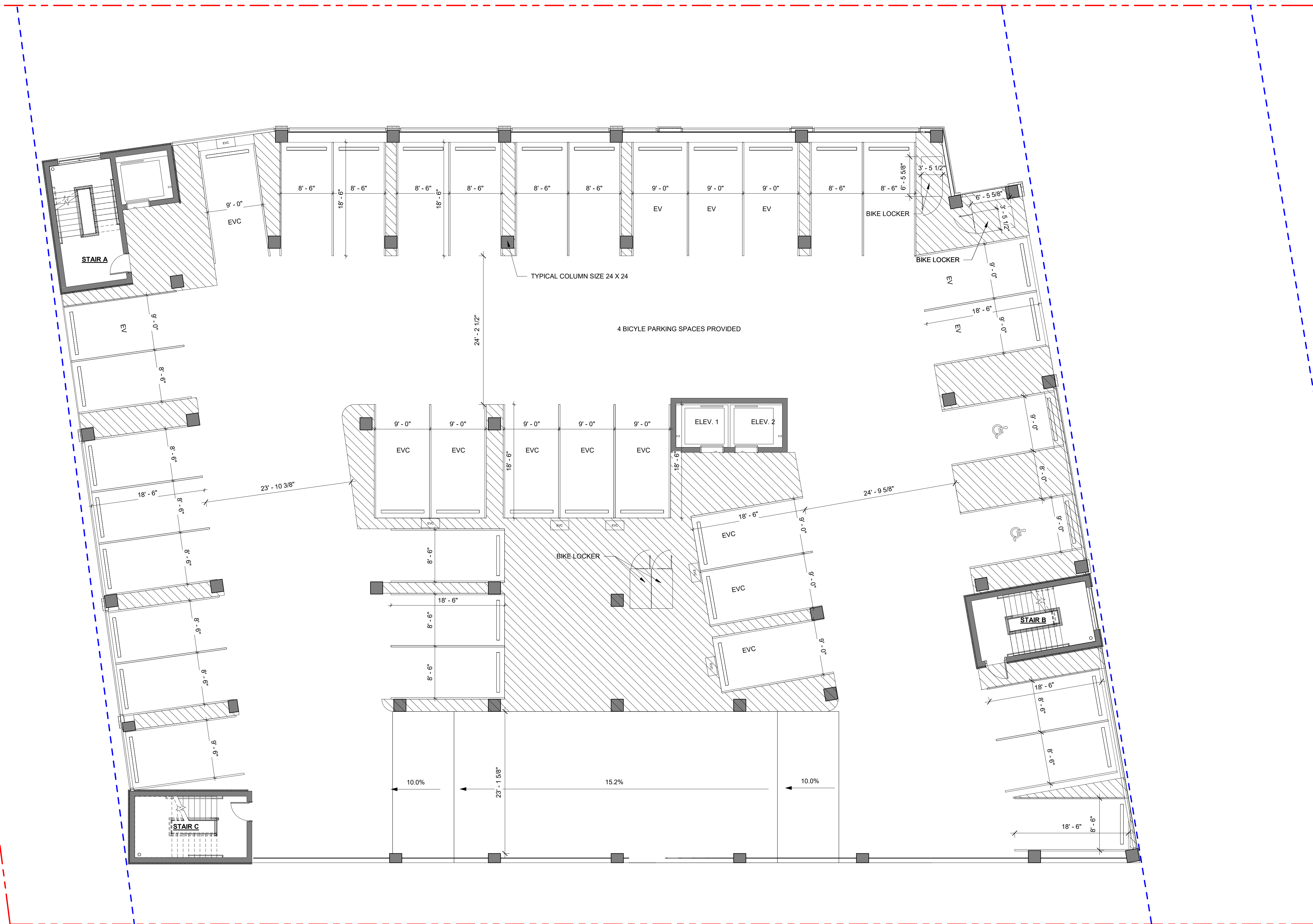
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	ELECTRIC VEHICLE PARKING			
	EV (STANDARD)	EVC (STANDARD)	EVC (VAN ACC)	EVC (STD-ACC)
LEVEL 1	1	2	1	
LEVEL 2	6	9		2
LEVEL 3	6	9		2
TOTAL	13	20	1	4

ELECTRIC VEHICLE PARKING REQUIREMENTS

- EVC CHARGING STATIONS = (15 x 127) = 20
- EV = (10 x 127) = 13



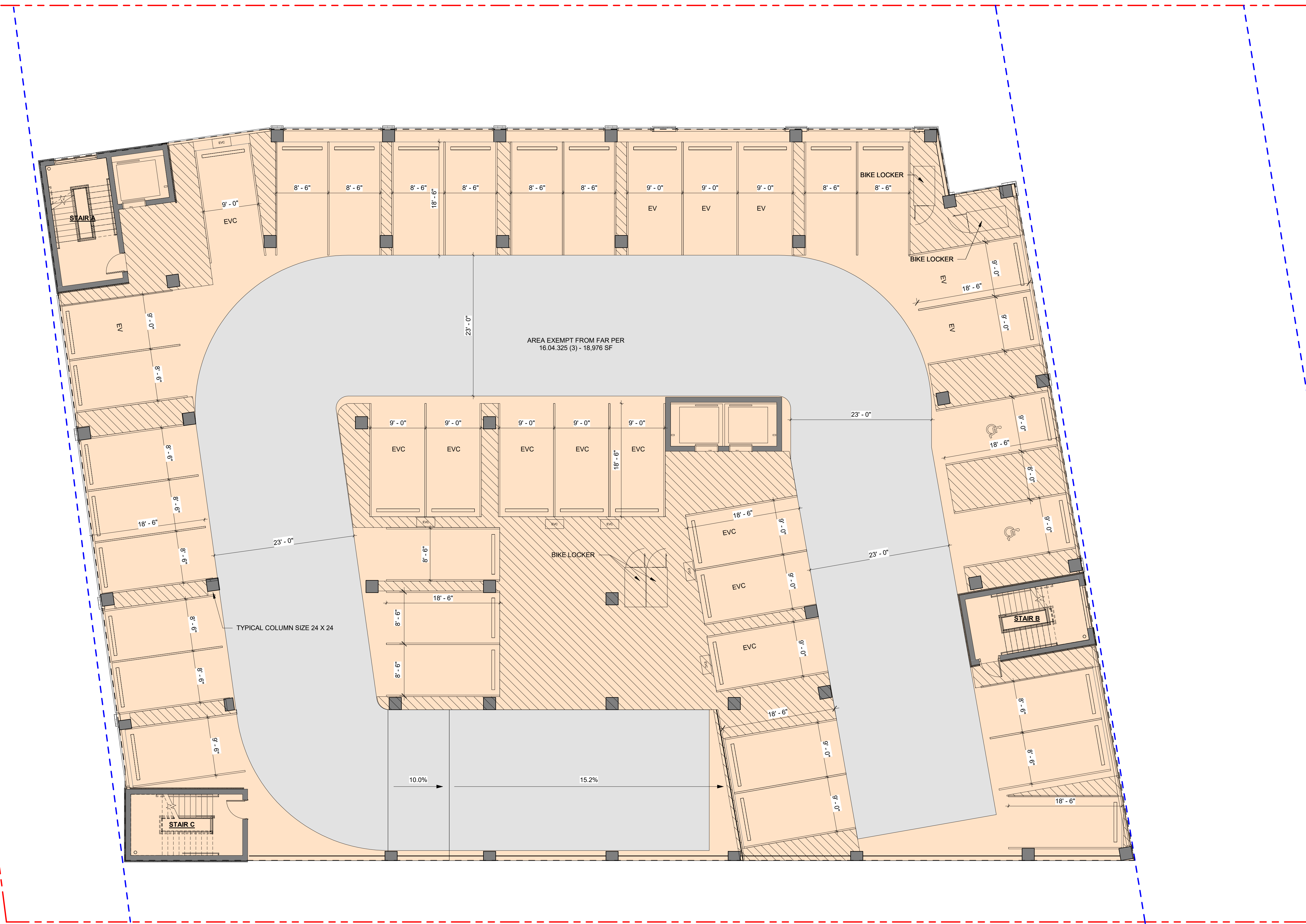
CO-08A - LEVEL 2



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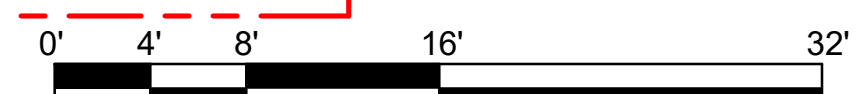


Level	Name	Area
EXCLUDED FROM FAR		
LEVEL 03	EXCLUDED 16.04.325 (3)	18976 SF
TOTAL SF		18976 SF

	EV (STANDARD)	EVC (STANDARD)	EVC (VAN ACC)	EVC (STD-ACC)
LEVEL 1	1	2	1	2
LEVEL 2	6	9		2
LEVEL 3	6	9		2
TOTAL	13	20	1	4

ELECTRIC VEHICLE PARKING REQUIREMENTS

- EVC CHARGING STATIONS = (15 x 127) = 20
- EV = (10 x 127) = 13



CO-09 - LEVEL 3



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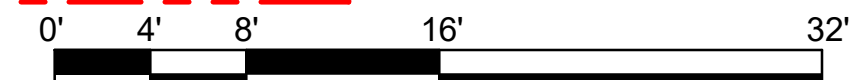
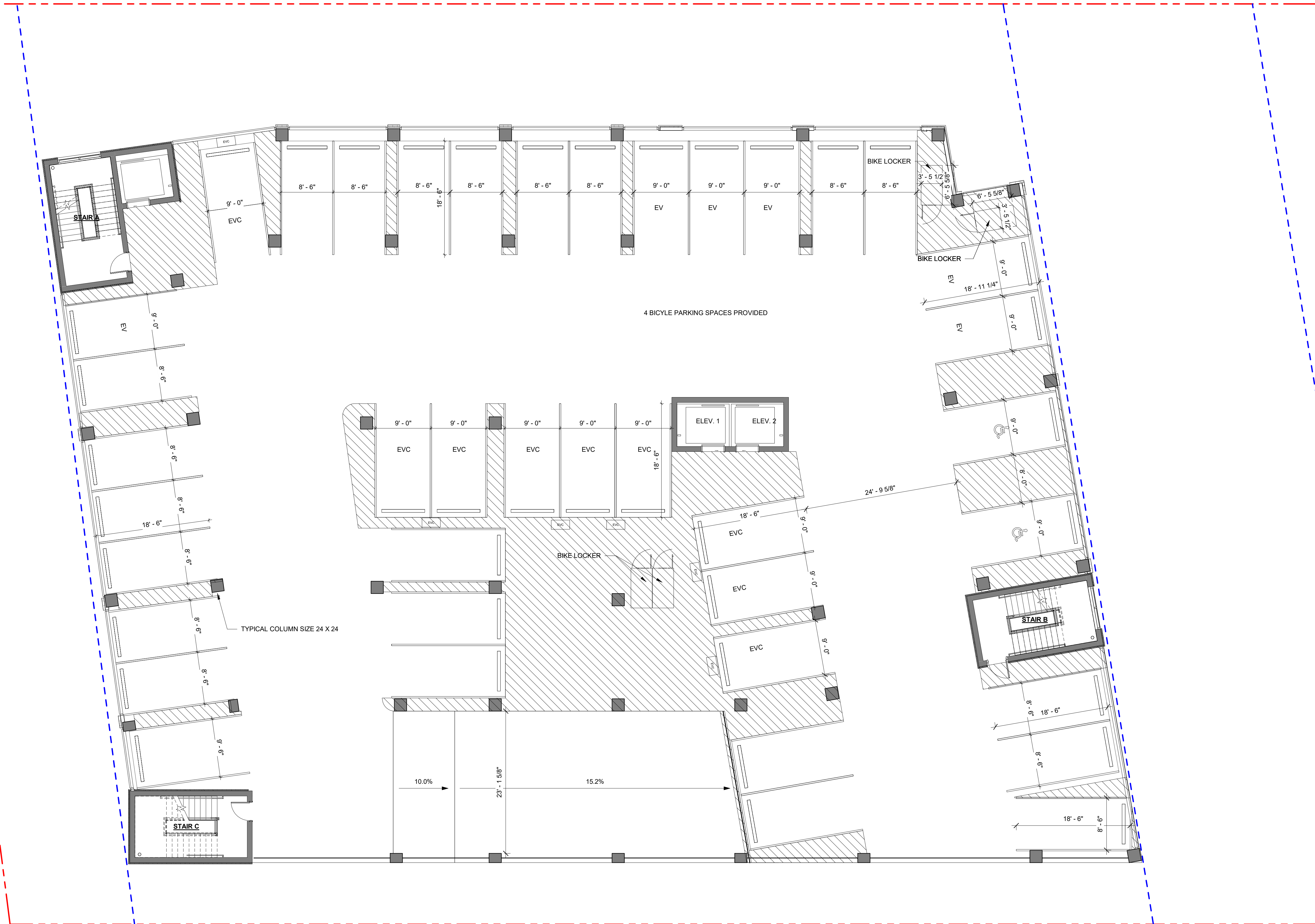
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	ELECTRIC VEHICLE PARKING			
	EV (STANDARD)	EVC (STANDARD)	EVC (VAN ACC)	EVC (STD-ACC)
LEVEL 1	1	2	1	
LEVEL 2	6	9		2
LEVEL 3	6	9		2
TOTAL	13	20	1	4

ELECTRIC VEHICLE PARKING REQUIREMENTS

- EVC CHARGING STATIONS = (15 x 127) = 20
- EV = (10 x 127) = 13



CO-09A - LEVEL 3



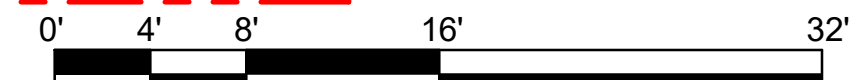
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LEVEL 04 - FAR SF TABLE		
Level	Name	Area
EXCLUDED FROM FAR		
LEVEL 04	EXCLUDED 16.04.325 (4)	8146 SF
INCLUDED IN FAR		
LEVEL 04	BOH	370 SF
LEVEL 04	ELEV. 1	89 SF
LEVEL 04	ELEV. 2	168 SF
LEVEL 04	FITNESS	444 SF
LEVEL 04	GUESTROOMS	3998 SF
LEVEL 04	KITCHEN	755 SF
LEVEL 04	LAUNDRY	434 SF
LEVEL 04	MAIN LOBBY	2919 SF
LEVEL 04	RESTROOMS	803 SF
LEVEL 04	STAIR A	254 SF
LEVEL 04	STAIR B	239 SF
LEVEL 04	STAIR C	235 SF
LEVEL 04	STORAGE	88 SF
TOTAL SF		18942 SF

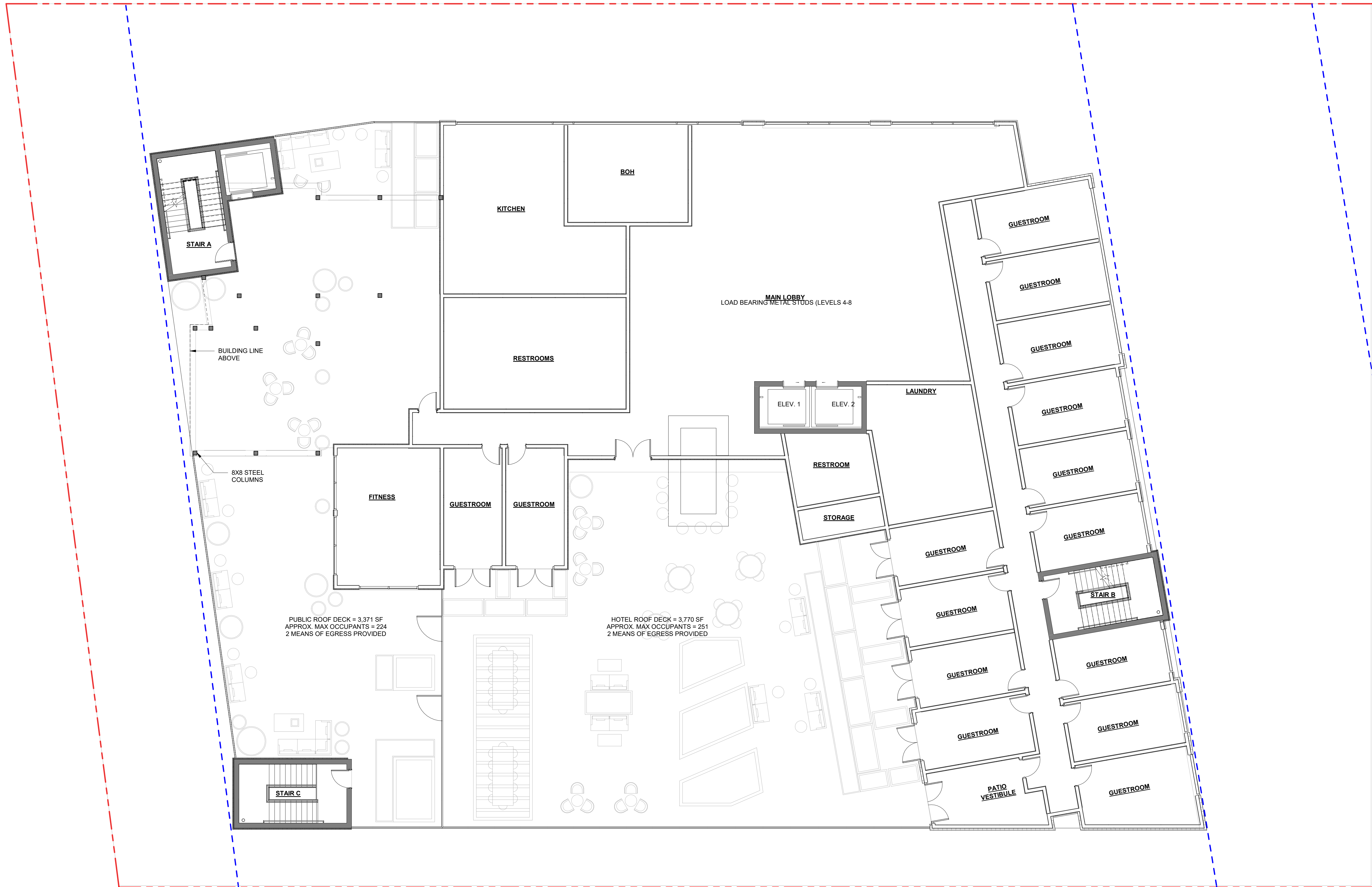


CO-10 - LEVEL 4



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BUILDING LINE ABOVE

8X8 STEEL COLUMNS

PUBLIC ROOF DECK = 3,371 SF  
APPROX. MAX OCCUPANTS = 224  
2 MEANS OF EGRESS PROVIDED

HOTEL ROOF DECK = 3,770 SF  
APPROX. MAX OCCUPANTS = 251  
2 MEANS OF EGRESS PROVIDED

MAIN LOBBY  
LOAD BEARING METAL STUDS (LEVELS 4-8)



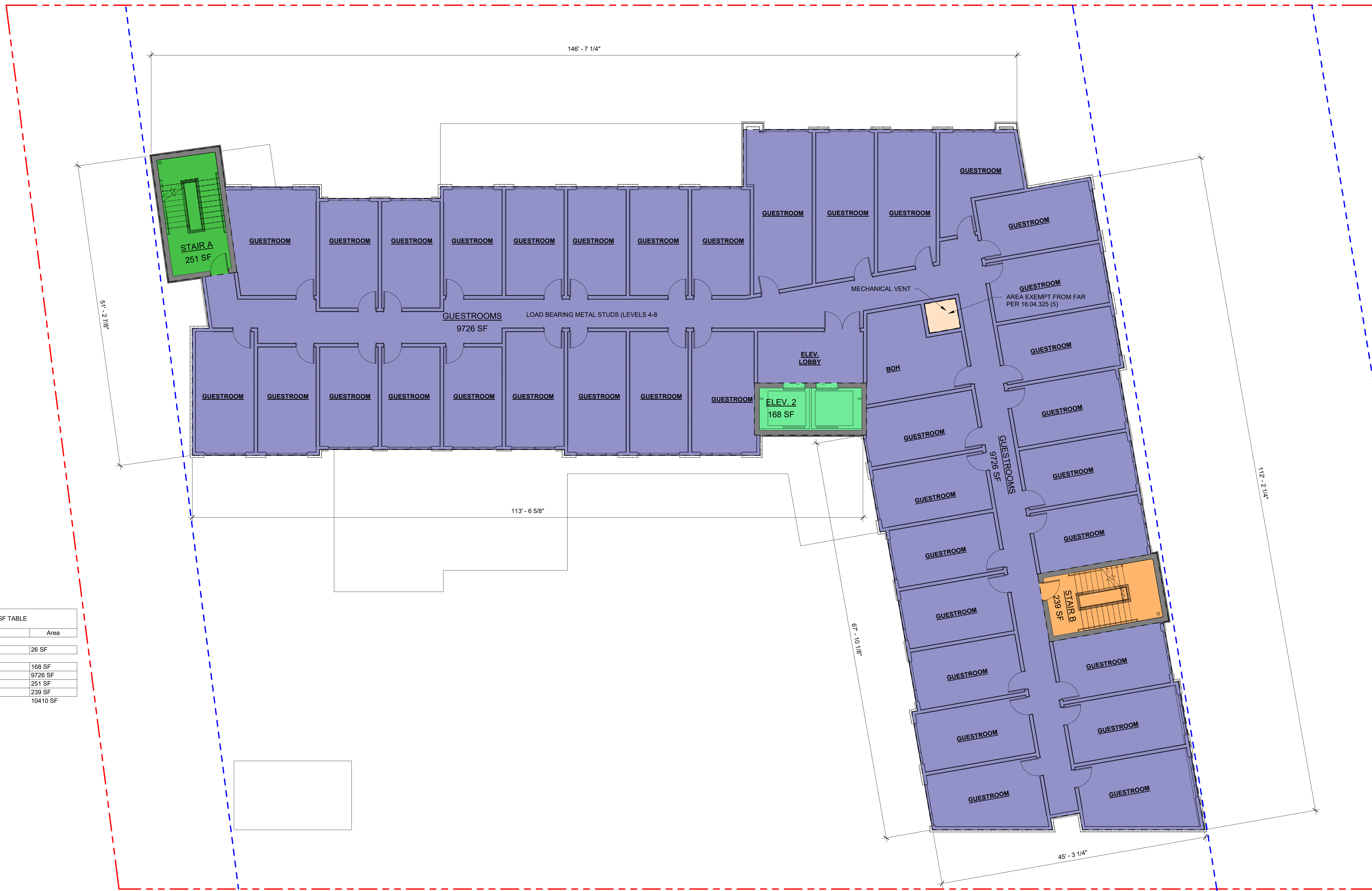
CO-10A - LEVEL 4



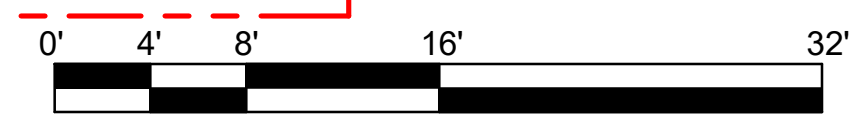
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LEVEL 05 - FAR SF TABLE		
Level	Name	Area
EXCLUDED FROM FAR		
LEVEL 05	EXCLUDED	26 SF
INCLUDED IN FAR		
LEVEL 05	ELEV. 2	168 SF
LEVEL 05	GUESTROOMS	9726 SF
LEVEL 05	STAIR A	251 SF
LEVEL 05	STAIR B	239 SF
TOTAL SF		10410 SF

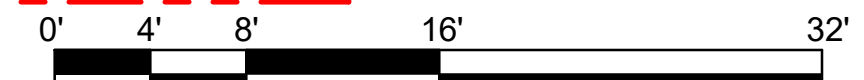


CO-11 - LEVEL 5



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CO-11A - LEVEL 5

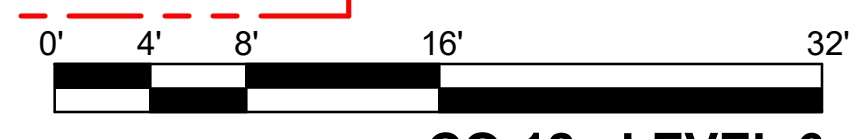


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LEVEL 06 - FAR SF TABLE		
Level	Name	Area
EXCLUDED FROM FAR		
LEVEL 06	EXCLUDED	26 SF
INCLUDED IN FAR		
LEVEL 06	ELEV. 2	168 SF
LEVEL 06	GUESTROOMS	9726 SF
LEVEL 06	STAIR A	251 SF
LEVEL 06	STAIR B	239 SF
TOTAL SF		10410 SF

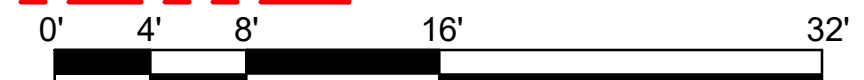


CO-12 - LEVEL 6



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CO-12A - LEVEL 6



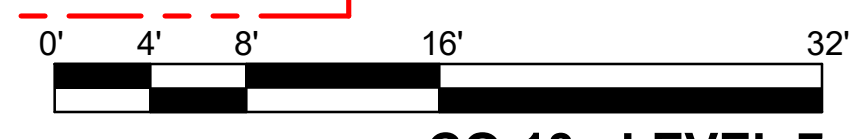
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LEVEL 07 - FAR SF TABLE		
Level	Name	Area
EXCLUDED FROM FAR		
LEVEL 07	EXCLUDED	26 SF
INCLUDED IN FAR		
LEVEL 07	ELEV. 2	168 SF
LEVEL 07	GUESTROOMS	9726 SF
LEVEL 07	STAIR A	251 SF
LEVEL 07	STAIR B	239 SF
TOTAL SF		10410 SF

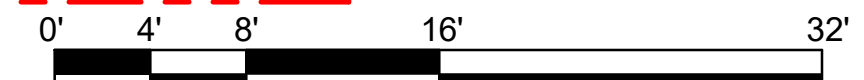


CO-13 - LEVEL 7



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CO-13A - LEVEL 7



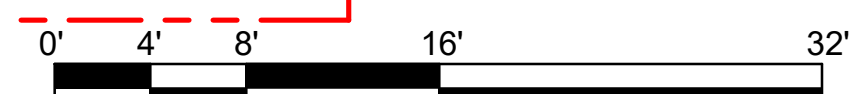
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LEVEL 08 - FAR SF TABLE		
Level	Name	Area
EXCLUDED FROM FAR		
LEVEL 08	EXCLUDED	26 SF
INCLUDED IN FAR		
LEVEL 08	ELEV. 2	168 SF
LEVEL 08	GUESTROOMS	9726 SF
LEVEL 08	STAIR A	251 SF
LEVEL 08	STAIR B	239 SF
TOTAL SF		10410 SF



CO-14 - LEVEL 8

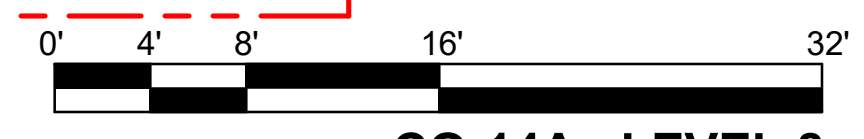


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CO-14A - LEVEL 8



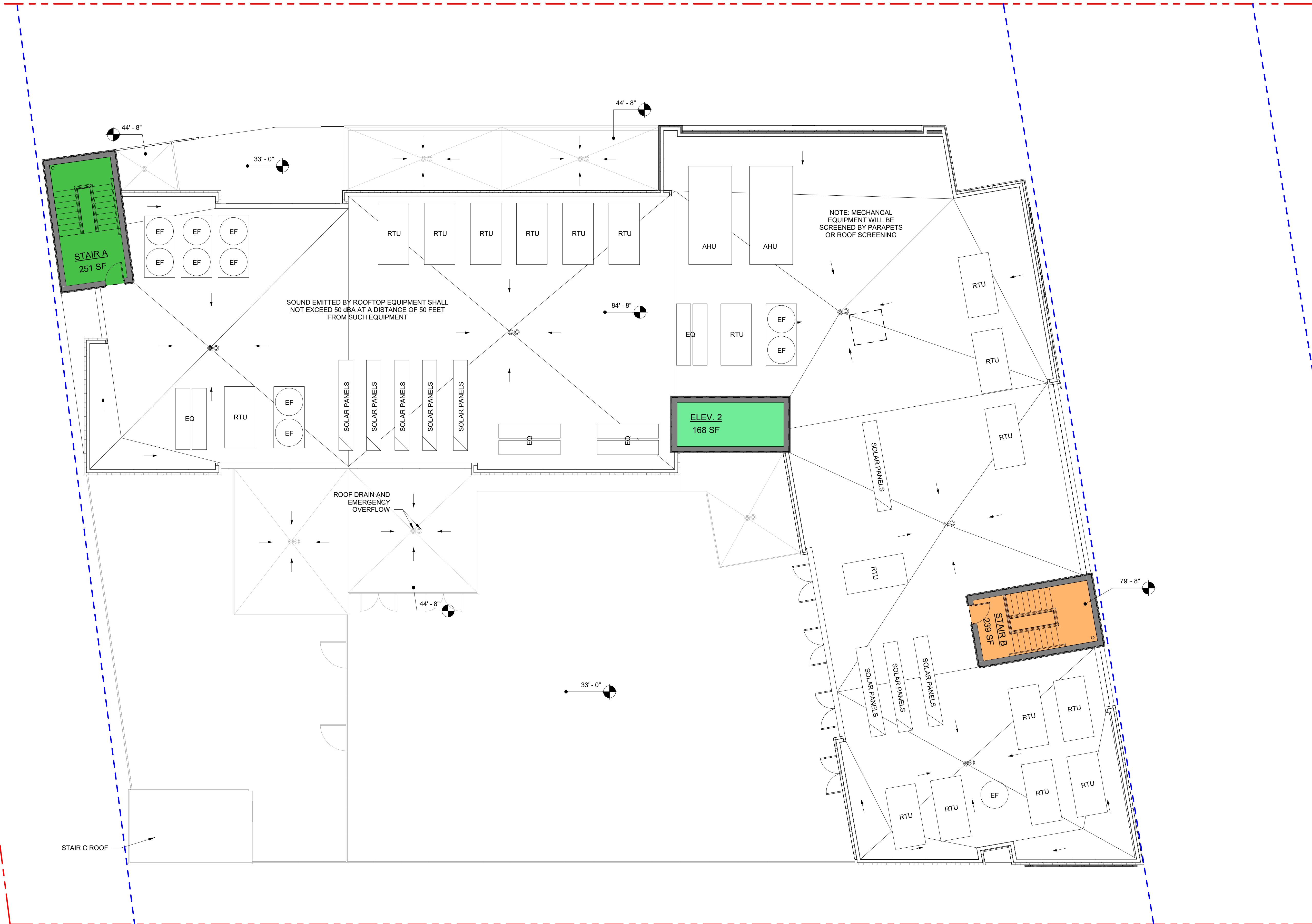


**GSF LEGEND**

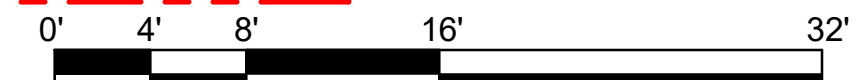
- ELEV. 2
- STAIR A
- STAIR B

**ROOF - FAR SF TABLE**

Level	Name	Area
INCLUDED IN FAR		
ROOF	ELEV. 2	168 SF
ROOF	STAIR A	251 SF
ROOF	STAIR B	239 SF
TOTAL SF		658 SF



STAIR C ROOF

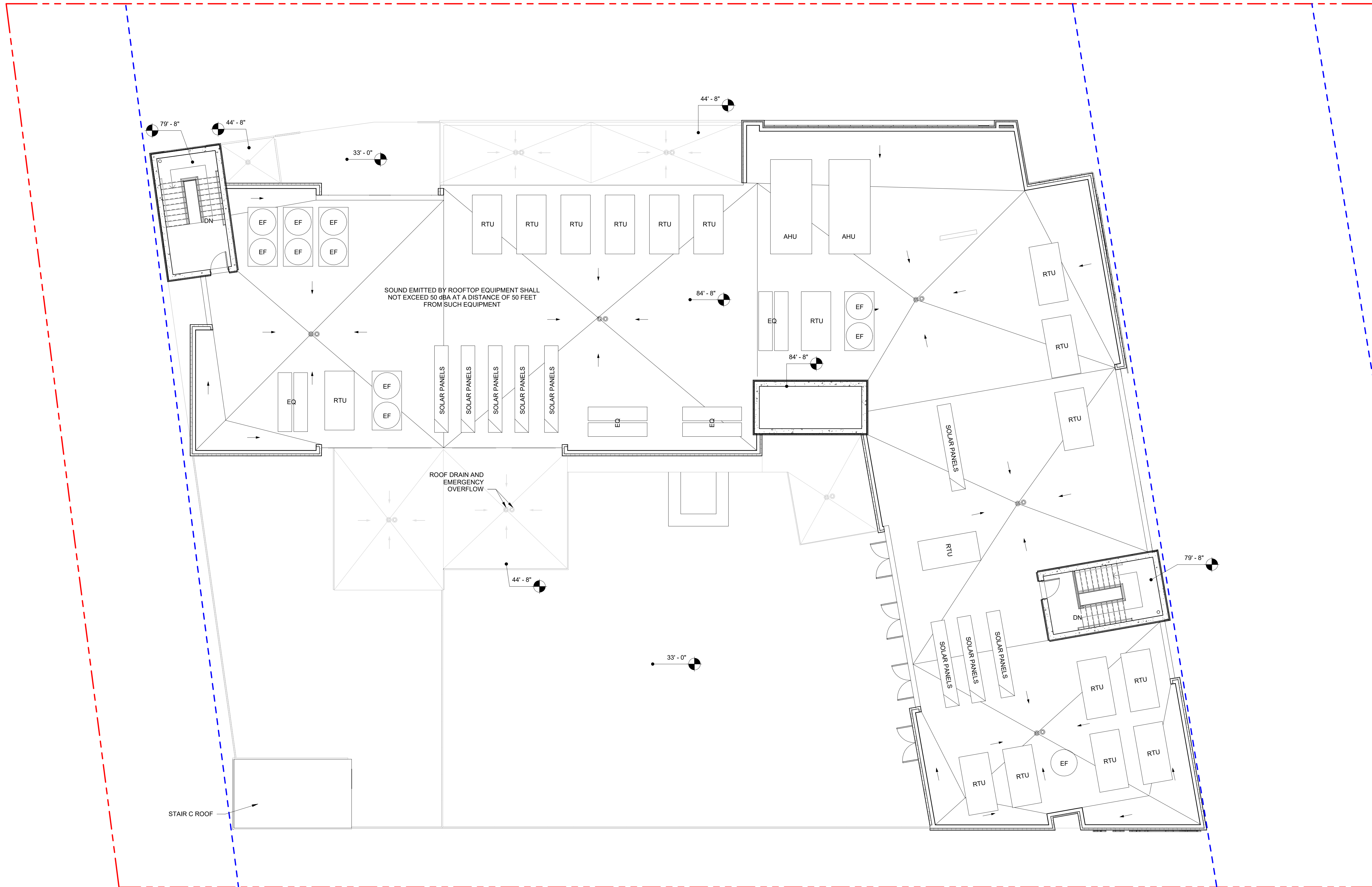


**CO-15 - ROOF PLAN**



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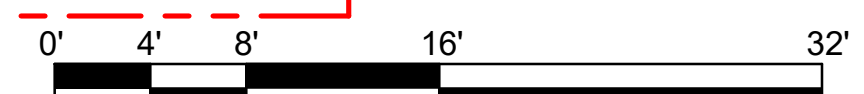




SOUND EMITTED BY ROOFTOP EQUIPMENT SHALL NOT EXCEED 50 dBA AT A DISTANCE OF 50 FEET FROM SUCH EQUIPMENT

ROOF DRAIN AND EMERGENCY OVERFLOW

STAIR C ROOF

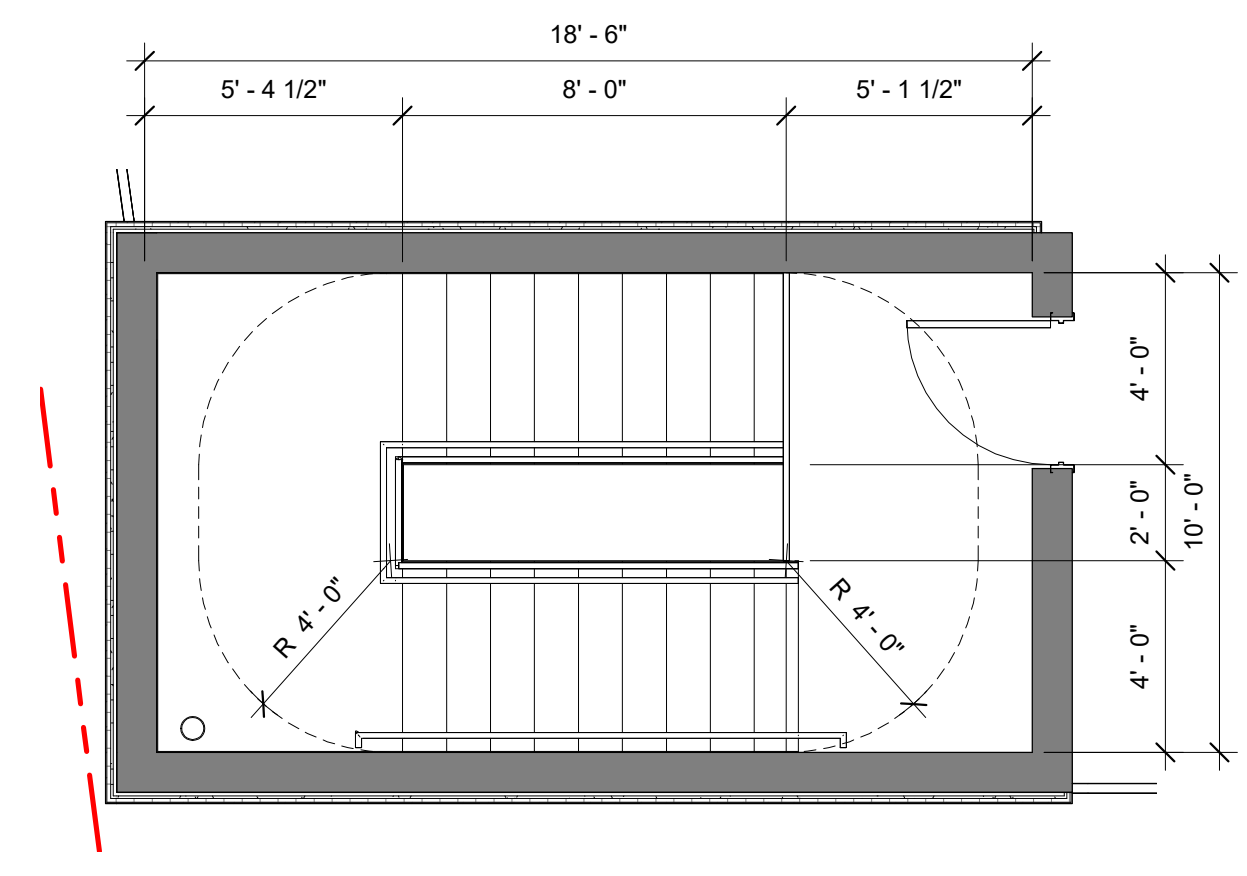


CO-15A - ROOF PLAN

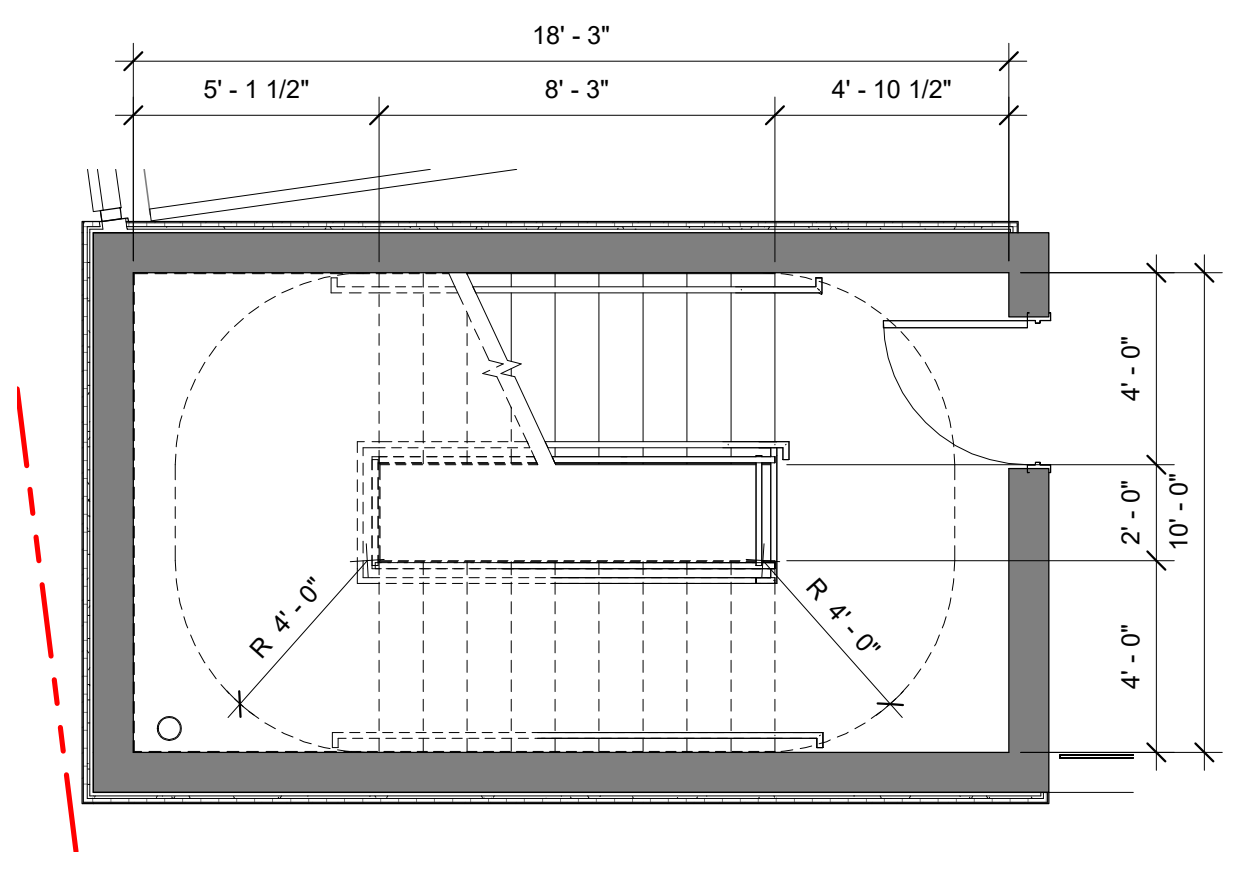


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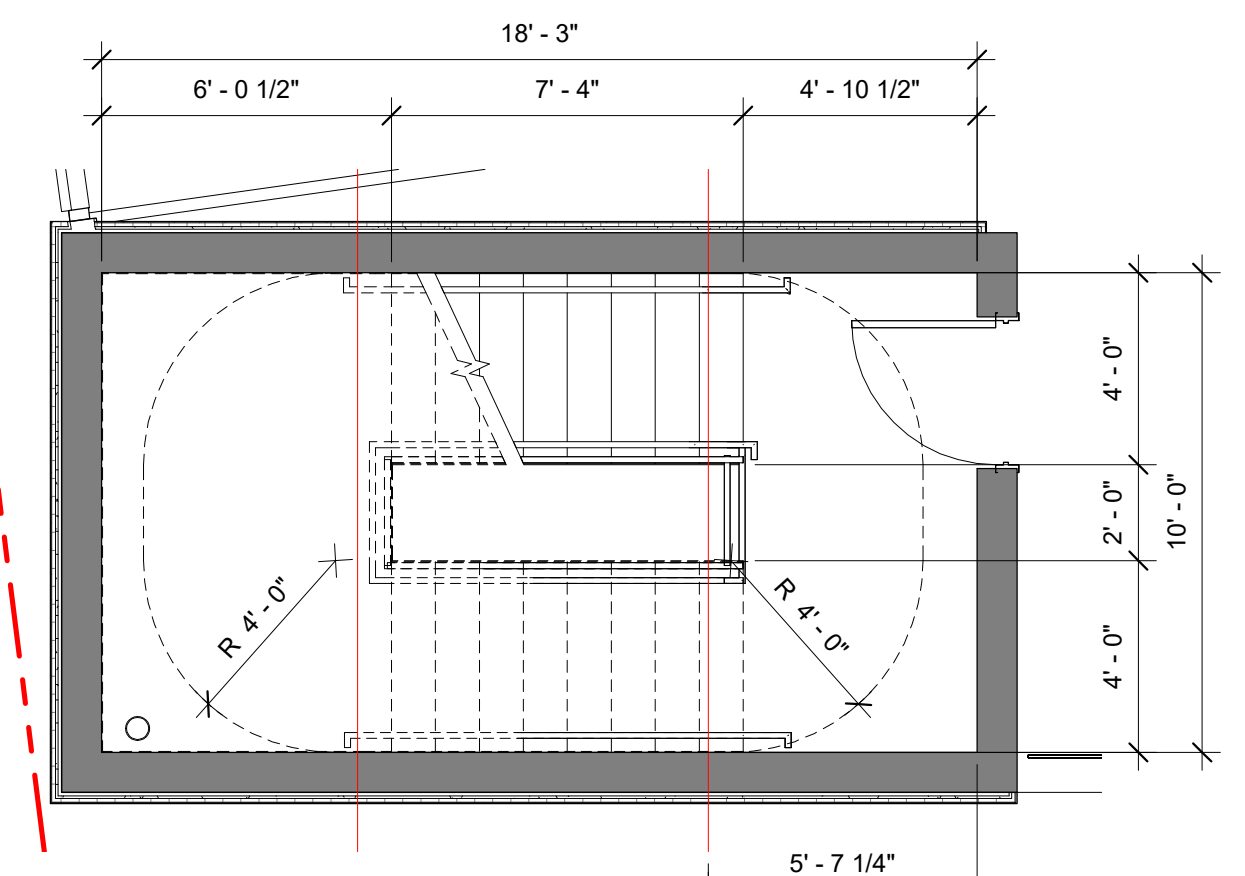




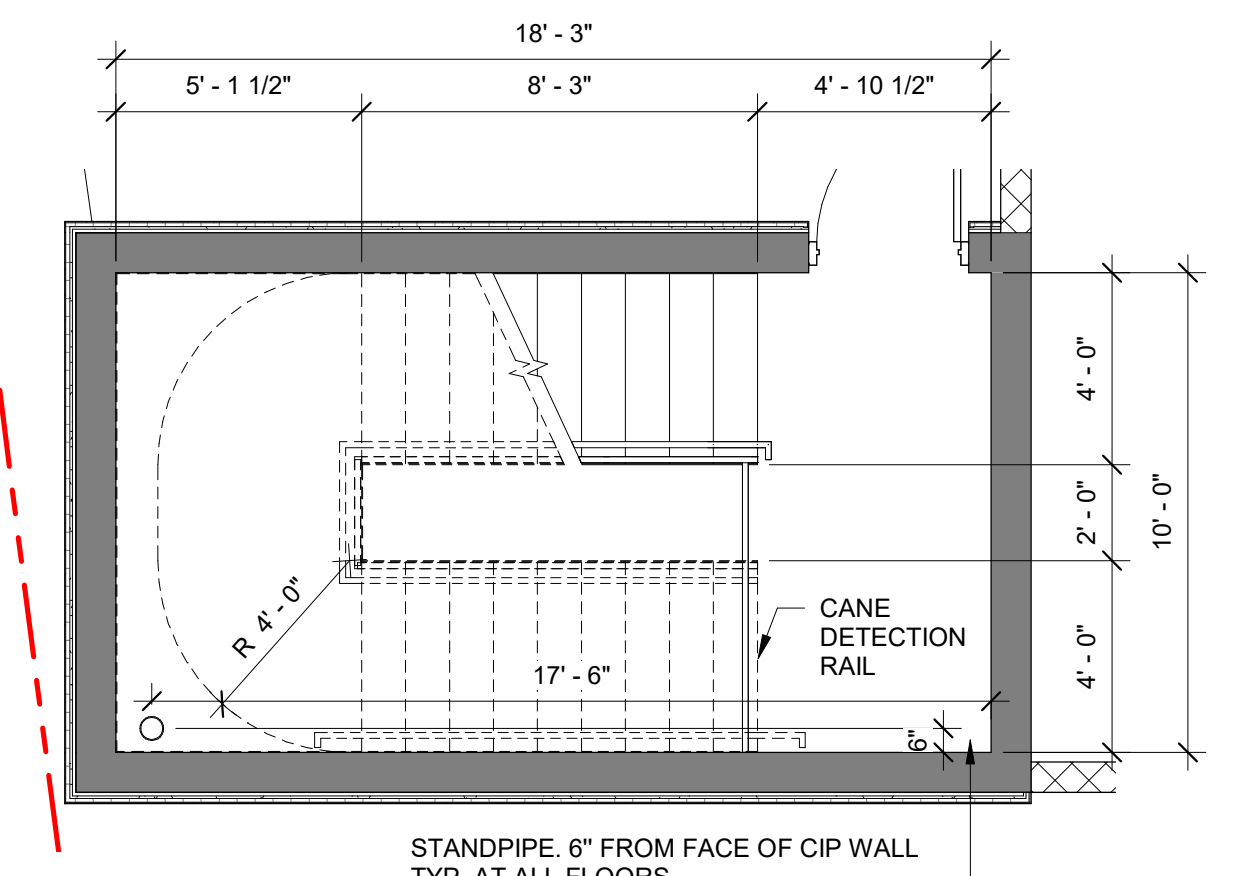
12 STAIR C - LEVEL 04  
SCALE: 1/4" = 1'-0"



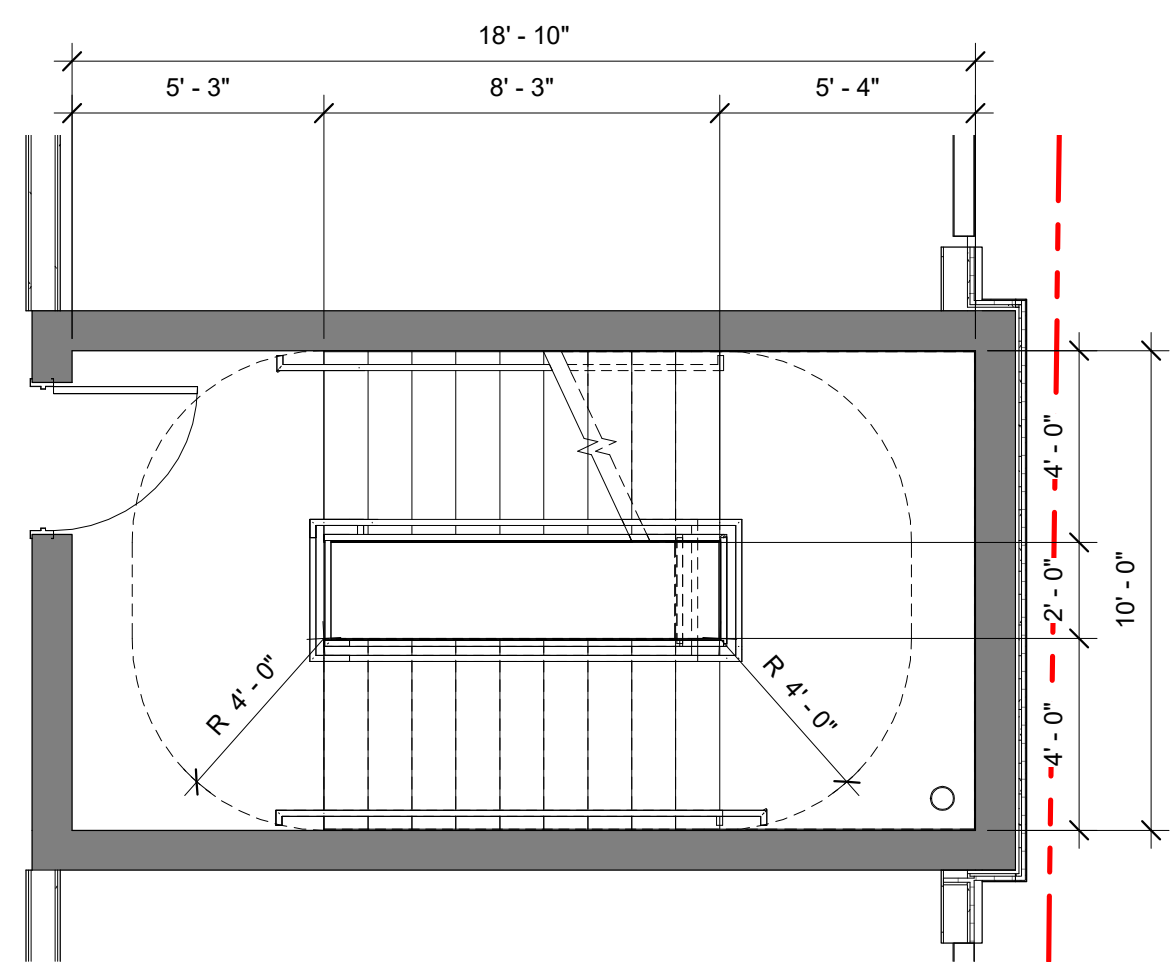
9 STAIR C - LEVEL 03  
SCALE: 1/4" = 1'-0"



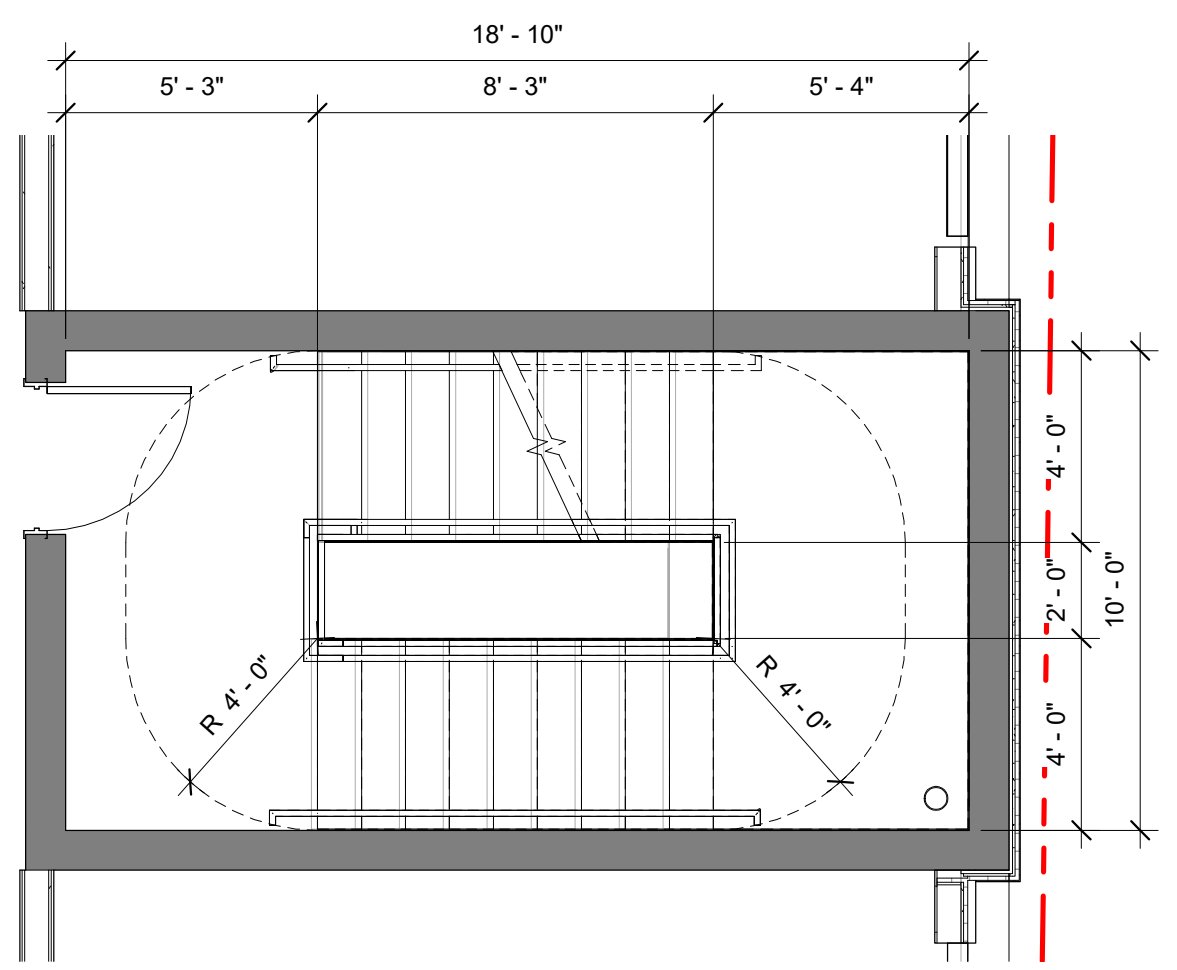
6 STAIR C - LEVEL 02  
SCALE: 1/4" = 1'-0"



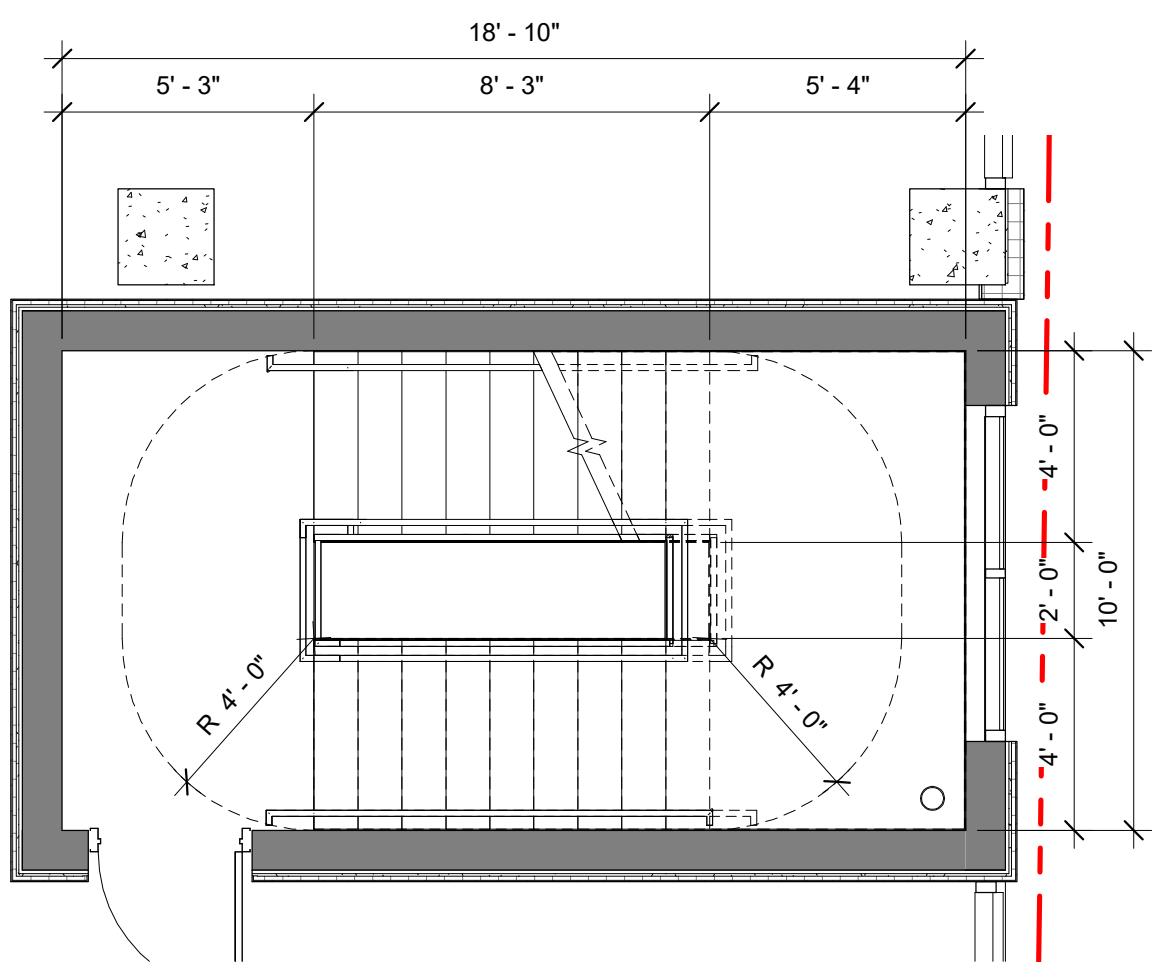
3 STAIR C - LEVEL 01  
SCALE: 1/4" = 1'-0"



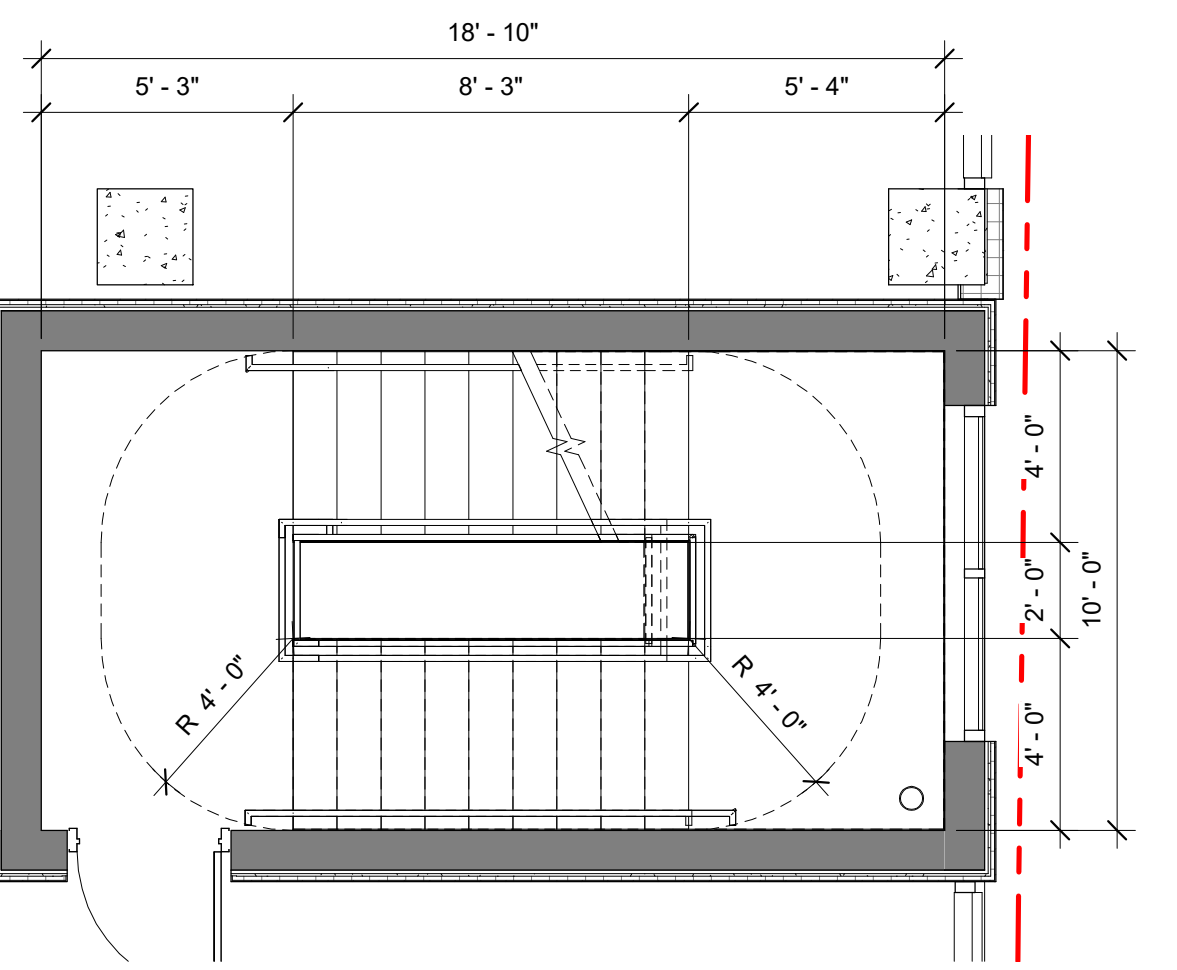
14 STAIR B - LEVEL 05-08  
SCALE: 1/4" = 1'-0"



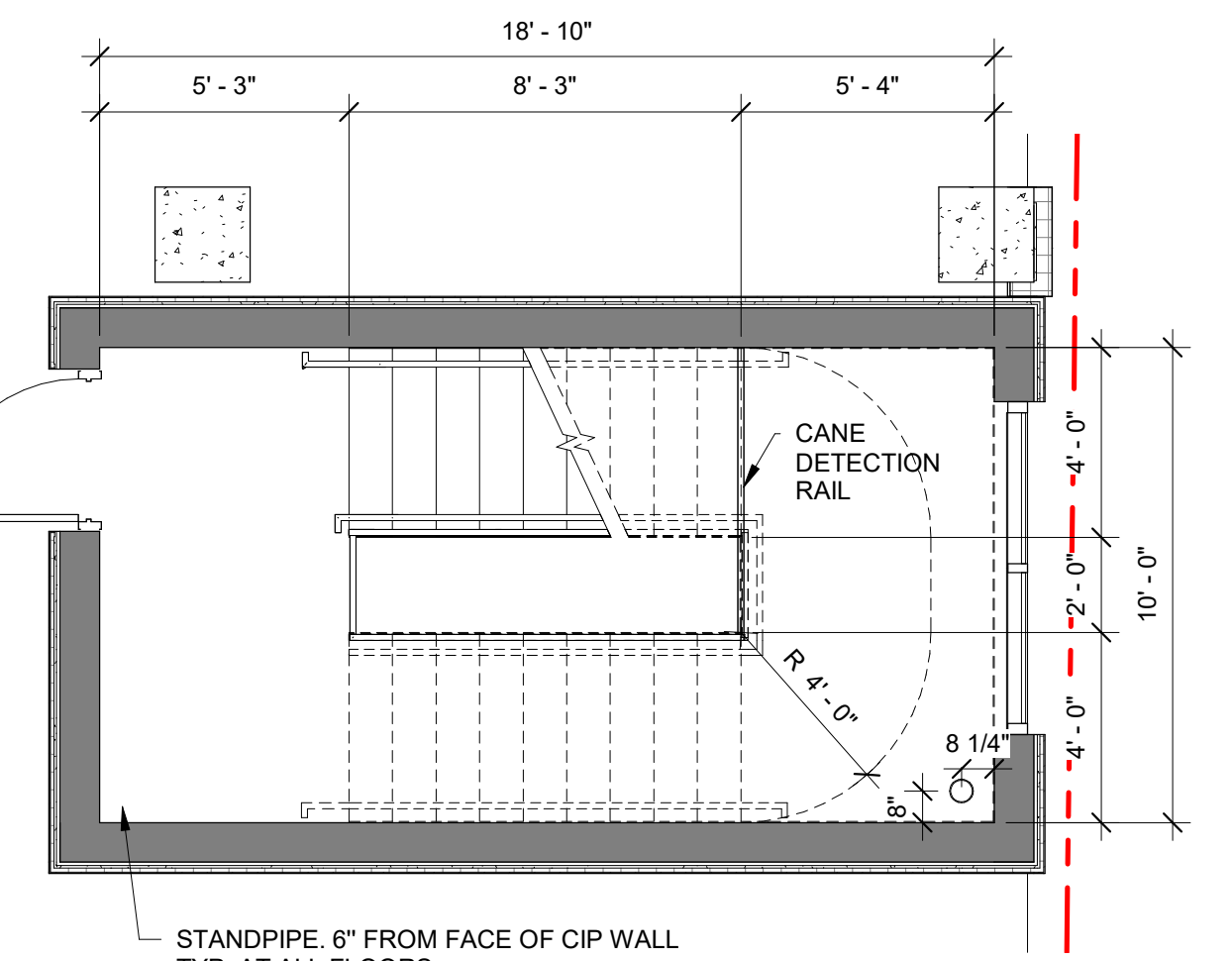
11 STAIR B - LEVEL 04  
SCALE: 1/4" = 1'-0"



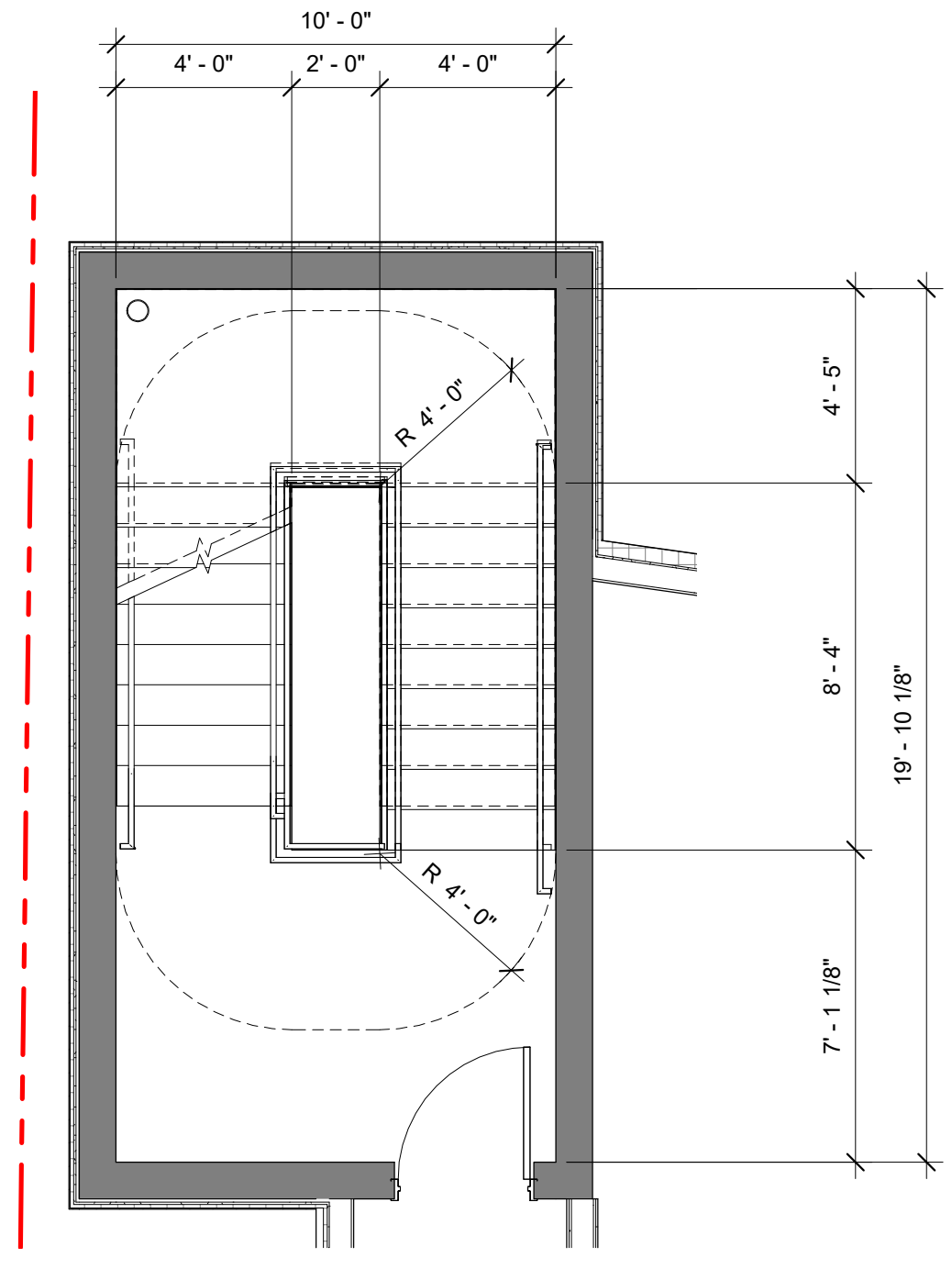
8 STAIR B - LEVEL 03  
SCALE: 1/4" = 1'-0"



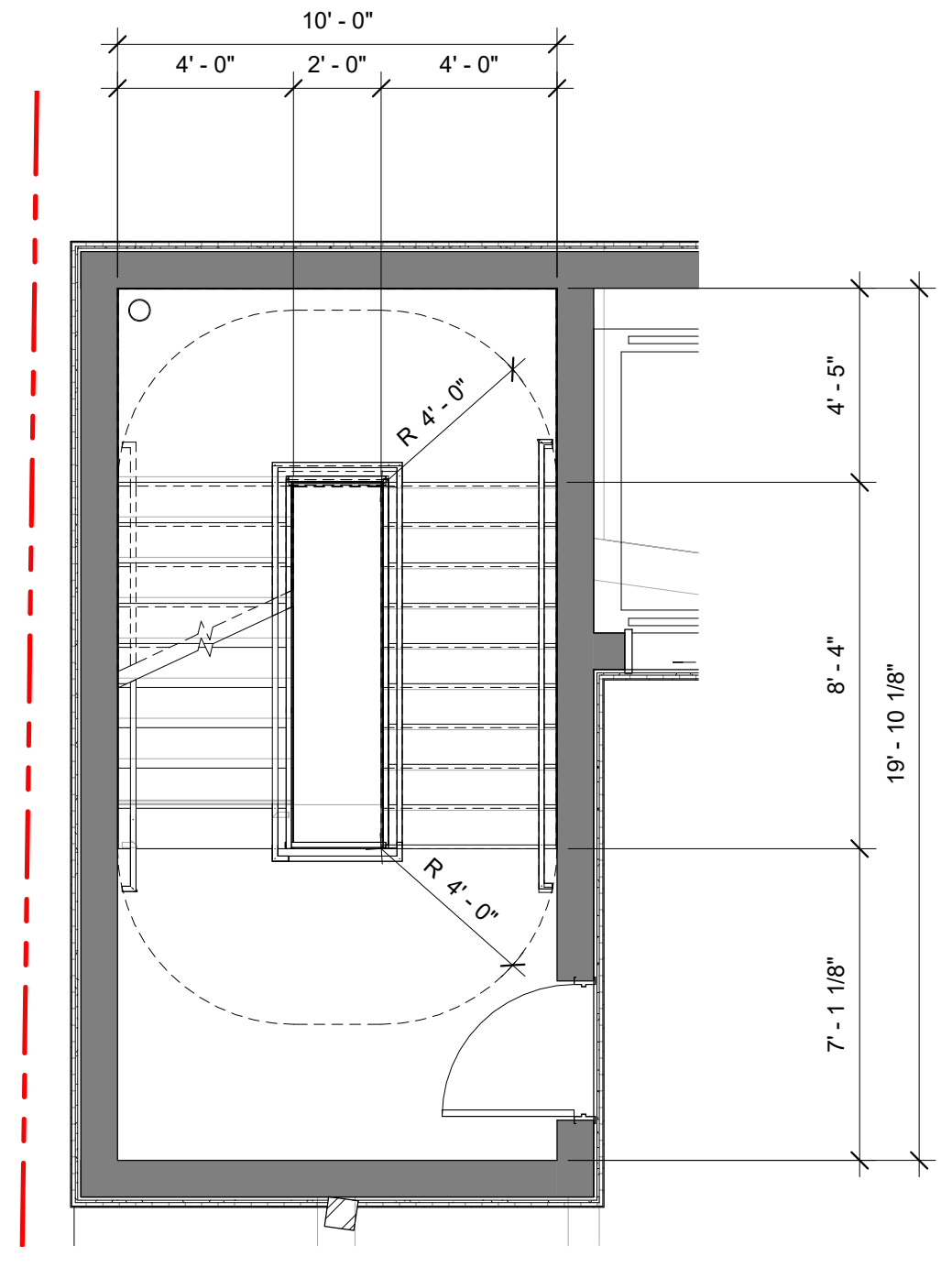
5 STAIR B - LEVEL 02  
SCALE: 1/4" = 1'-0"



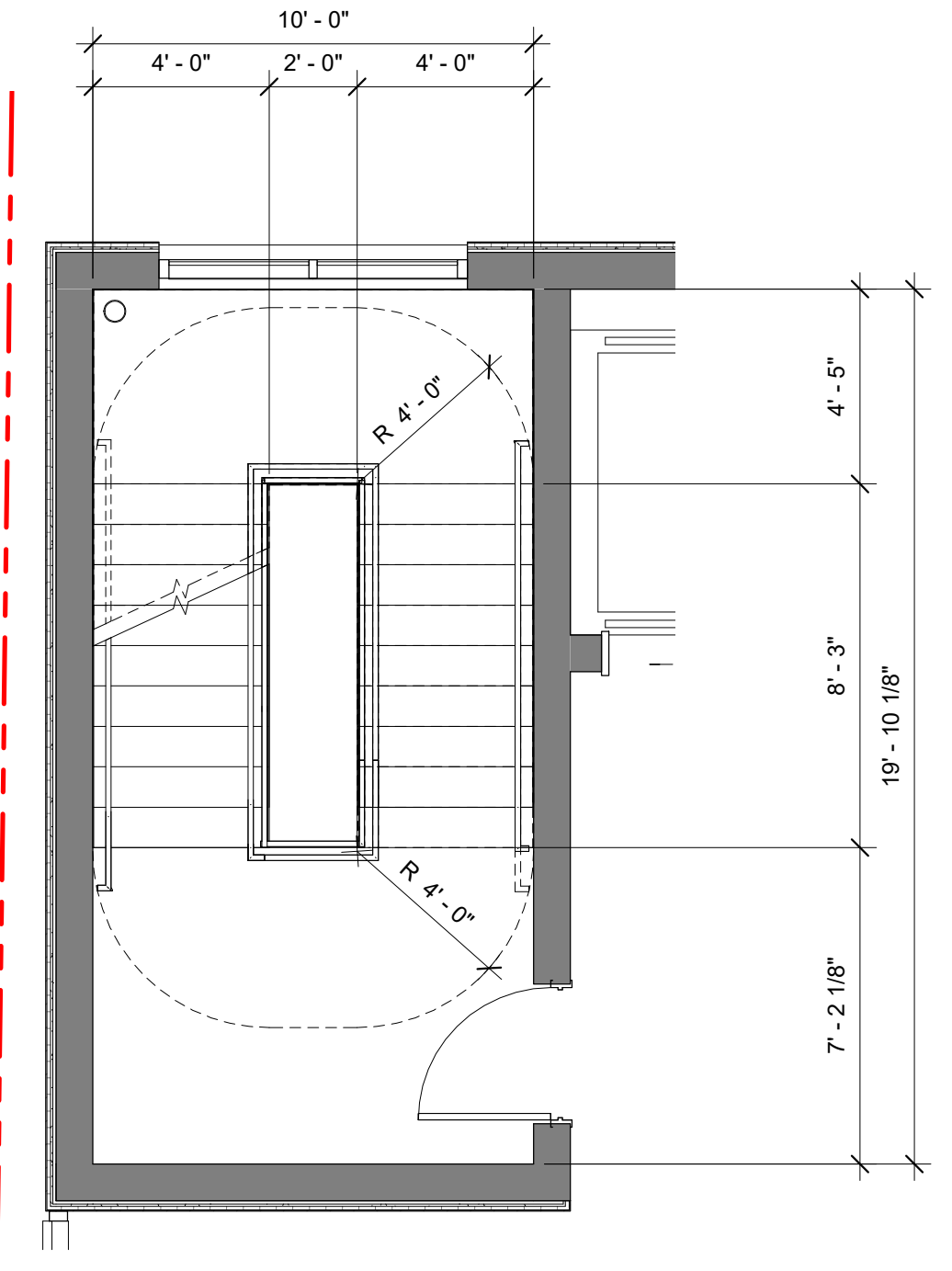
2 STAIR B - LEVEL 01  
SCALE: 1/4" = 1'-0"



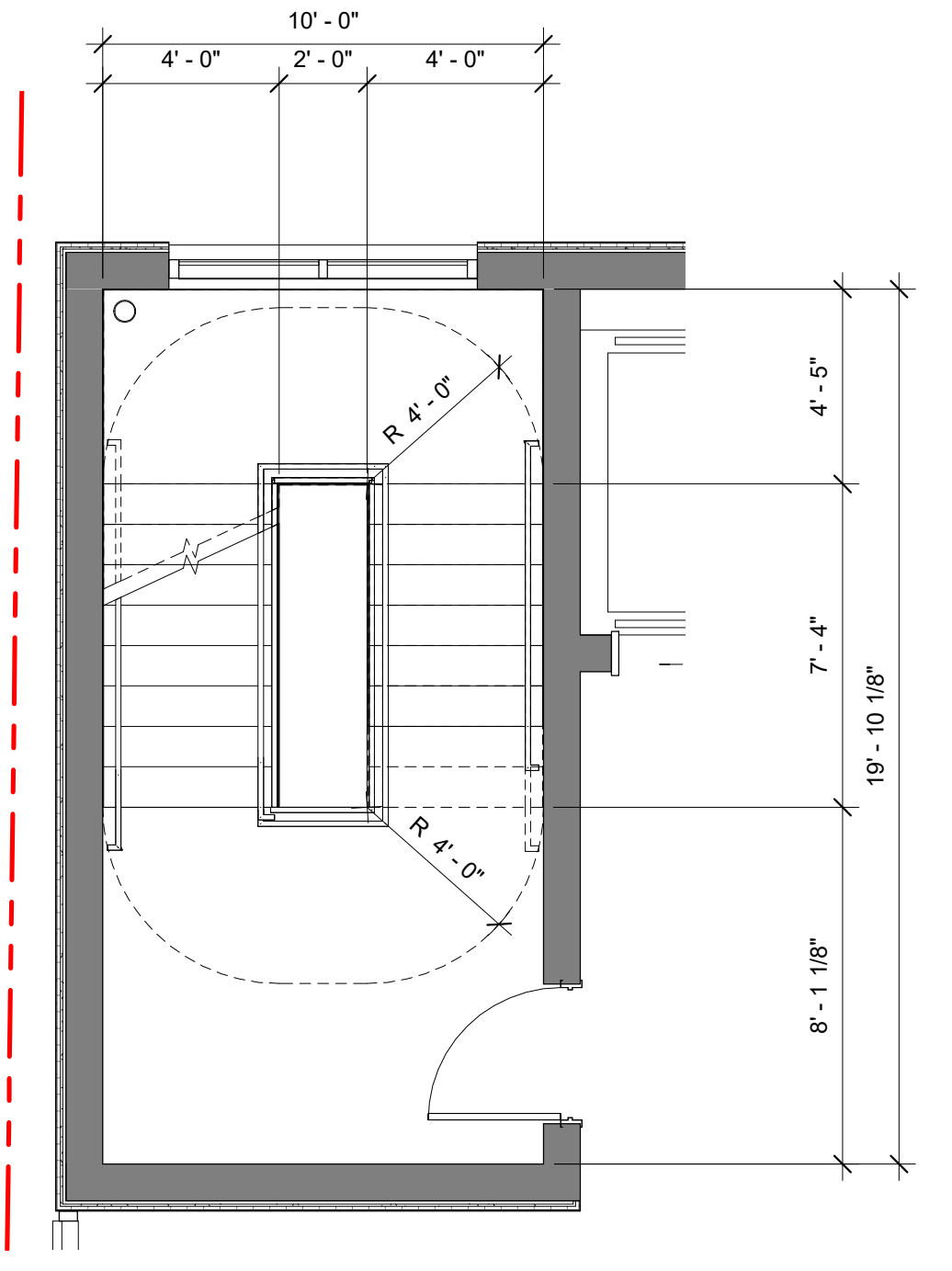
13 STAIR A - LEVEL 05-08  
SCALE: 1/4" = 1'-0"



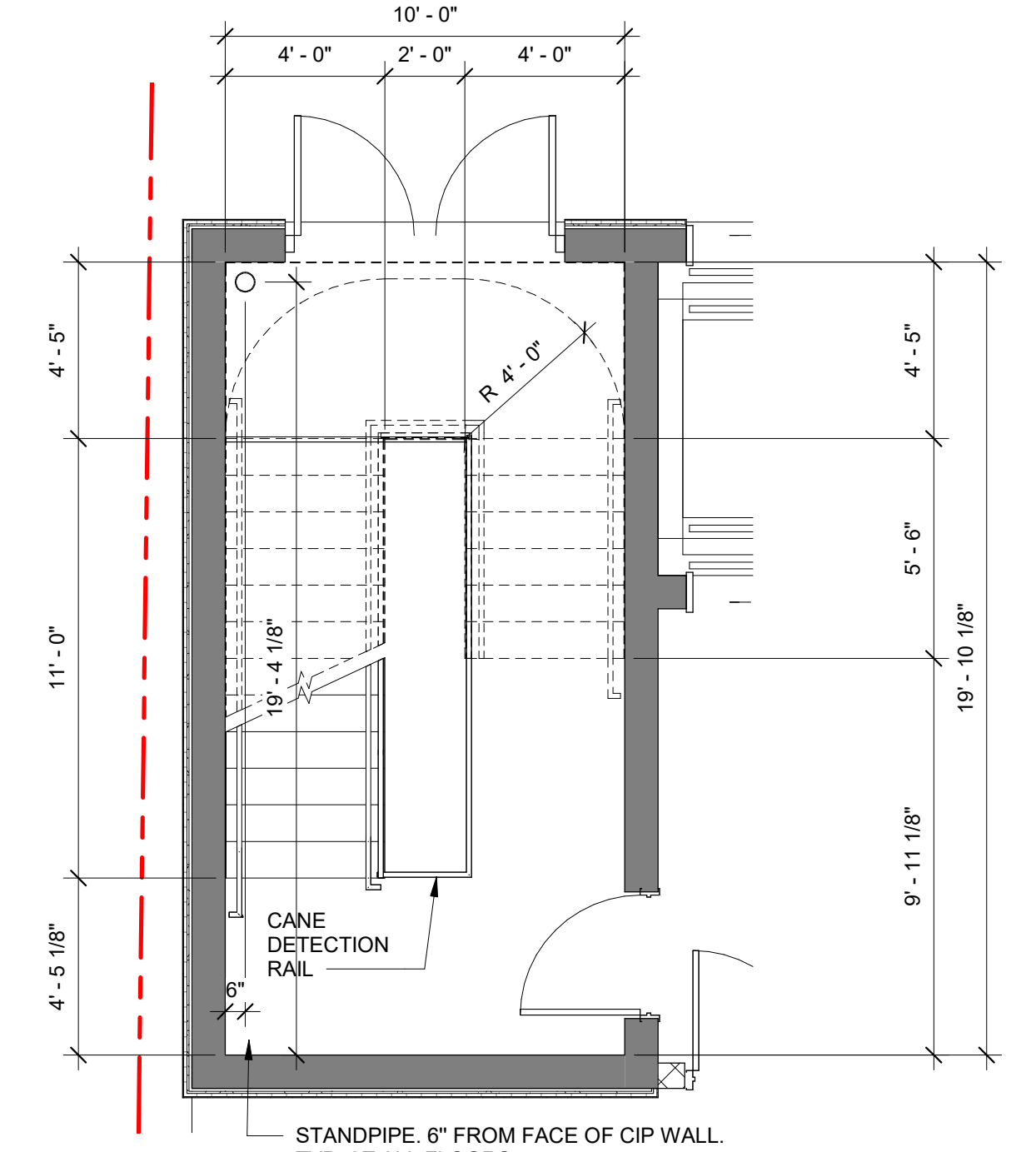
10 STAIR A - LEVEL 04  
SCALE: 1/4" = 1'-0"



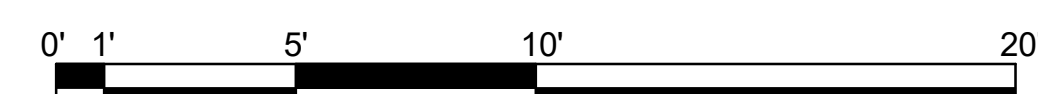
7 STAIR A - LEVEL 03  
SCALE: 1/4" = 1'-0"



4 STAIR A - LEVEL 02  
SCALE: 1/4" = 1'-0"



1 STAIR A - LEVEL 01  
SCALE: 1/4" = 1'-0"



CO-17 - STAIR PLANS



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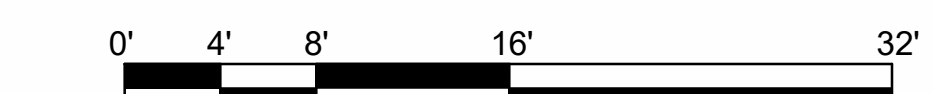
EXTERIOR FINISHES			
TAG	DESCRIPTION	MANUFACTURER	COLOR/ FINISH
DIVISION 06			
WP-1	WOOD PANELING	NICHIHA	TECHNO GRAY
DIVISION 07			
MC-1	METAL COPING	SEE SPECIFICATIONS	MATCH EIFS-1/MP-1/C P-1/ST-1
MP-1	COMPOSITE METAL PANEL	AMERICLAD	SILVERSMITH
MP-2	COMPOSITE METAL PANEL	AMERICLAD	NIGHT HORIZON
MP-3	COMPOSITE METAL PANEL	AMERICLAD	VARIES
PS-1	PARKING DECK SCREENING	KAYNEMAILE	SILVER
SC-1	STEEL RAILING/CABLING	TBD	SILVER
DIVISION 08			
AW-1	ALUMINUM WINDOW	SEE SPECIFICATIONS	TBD
GR-1	GLASS RAILING - FRITTED GLASS	TBD	TBD
DIVISION 09			
ST-1	STUCCO FIELD COLOR (SMOOTH TROWELED)	TBD	HIGH REFLECTIVE WHITE
ST-2	STUCCO ACCENT COLOR (SMOOTH TROWELED)	TBD	ENDLESS SEA

EAST ELEVATION EXTERIOR FINISH  
TOTAL: 14,842 SF

STUCCO - 3,113 SF (21%)

**AVERAGE NATURAL GRADE:**  
 EAST ELEVATION: +11.05  
 SOUTH ELEVATION: +10.025  
 WEST ELEVATION: +9.325  
 NORTH ELEVATION: +10.35

**GROUND FLOOR TRANSPARENCY:**  
 894 SF OF TOTAL WINDOW AREA  
 1718 SF OF TOTAL WALL AREA



CO-25 - EAST (FRONT) ELEVATION



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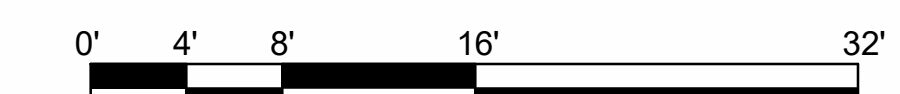
EXTERIOR FINISHES			
TAG	DESCRIPTION	MANUFACTURER	COLOR/ FINISH
DIVISION 06			
WP-1	WOOD PANELING	NICHIHA	TECHNO GRAY
DIVISION 07			
MC-1	METAL COPING	SEE SPECIFICATIONS	MATCH EIFS-1/MP-1/C P-1/ST-1
MP-1	COMPOSITE METAL PANEL	AMERICLAD	SILVERSMITH
MP-2	COMPOSITE METAL PANEL	AMERICLAD	NIGHT HORIZON
MP-3	COMPOSITE METAL PANEL	AMERICLAD	VARIES
PS-1	PARKING DECK SCREENING	KAYNEMAILE	SILVER
SC-1	STEEL RAILING/CABLING	TBD	SILVER
DIVISION 08			
AW-1	ALUMINUM WINDOW	SEE SPECIFICATIONS	TBD
GR-1	GLASS RAILING - FRITTED GLASS	TBD	TBD
DIVISION 09			
ST-1	STUCCO FIELD COLOR (SMOOTH TROWELED)	TBD	HIGH REFLECTIVE WHITE
ST-2	STUCCO ACCENT COLOR (SMOOTH TROWELED)	TBD	ENDLESS SEA

WEST ELEVATION EXTERIOR FINISH  
TOTAL: 15,322 SF

STUCCO - 4,057 SF SF (26%)

AVERAGE NATURAL GRADE:  
EAST ELEVATION: +11.05  
SOUTH ELEVATION: +10.025  
WEST ELEVATION: +9.325  
NORTH ELEVATION: +10.35

AVERAGE GRADE  
10' - 2 1/4"  
FEMA FLOOD ELEVATION  
10' - 0"



CO-26 - WEST (REAR) ELEVATION



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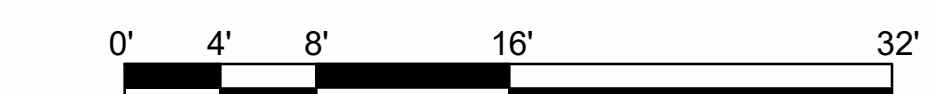




EXTERIOR FINISHES			
TAG	DESCRIPTION	MANUFACTURER	COLOR/FINISH
DIVISION 06			
WP-1	WOOD PANELING	NICHIHA	TECHNO GRAY
DIVISION 07			
MC-1	METAL COPING	SEE SPECIFICATIONS	MATCH EIFS-1/MP-1/C P-1/ST-1
MP-1	COMPOSITE METAL PANEL	AMERICLAD	SILVERSMITH
MP-2	COMPOSITE METAL PANEL	AMERICLAD	NIGHT HORIZON
MP-3	COMPOSITE METAL PANEL	AMERICLAD	VARIES
PS-1	PARKING DECK SCREENING	KAYNEMAILE	SILVER
SC-1	STEEL RAILING/CABLING	TBD	SILVER
DIVISION 08			
AW-1	ALUMINUM WINDOW	SEE SPECIFICATIONS	TBD
GR-1	GLASS RAILING - FRITTED GLASS	TBD	TBD
DIVISION 09			
ST-1	STUCCO FIELD COLOR (SMOOTH TROWELED)	TBD	HIGH REFLECTIVE WHITE
ST-2	STUCCO ACCENT COLOR (SMOOTH TROWELED)	TBD	ENDLESS SEA

NORTH ELEVATION EXTERIOR FINISH:  
 TOTAL: 10,323 SF  
 STUCCO - 2,877 SF SF (28%)

AVERAGE NATURAL GRADE:  
 EAST ELEVATION: +11.05  
 SOUTH ELEVATION: +10.025  
 WEST ELEVATION: +9.325  
 NORTH ELEVATION: +10.35



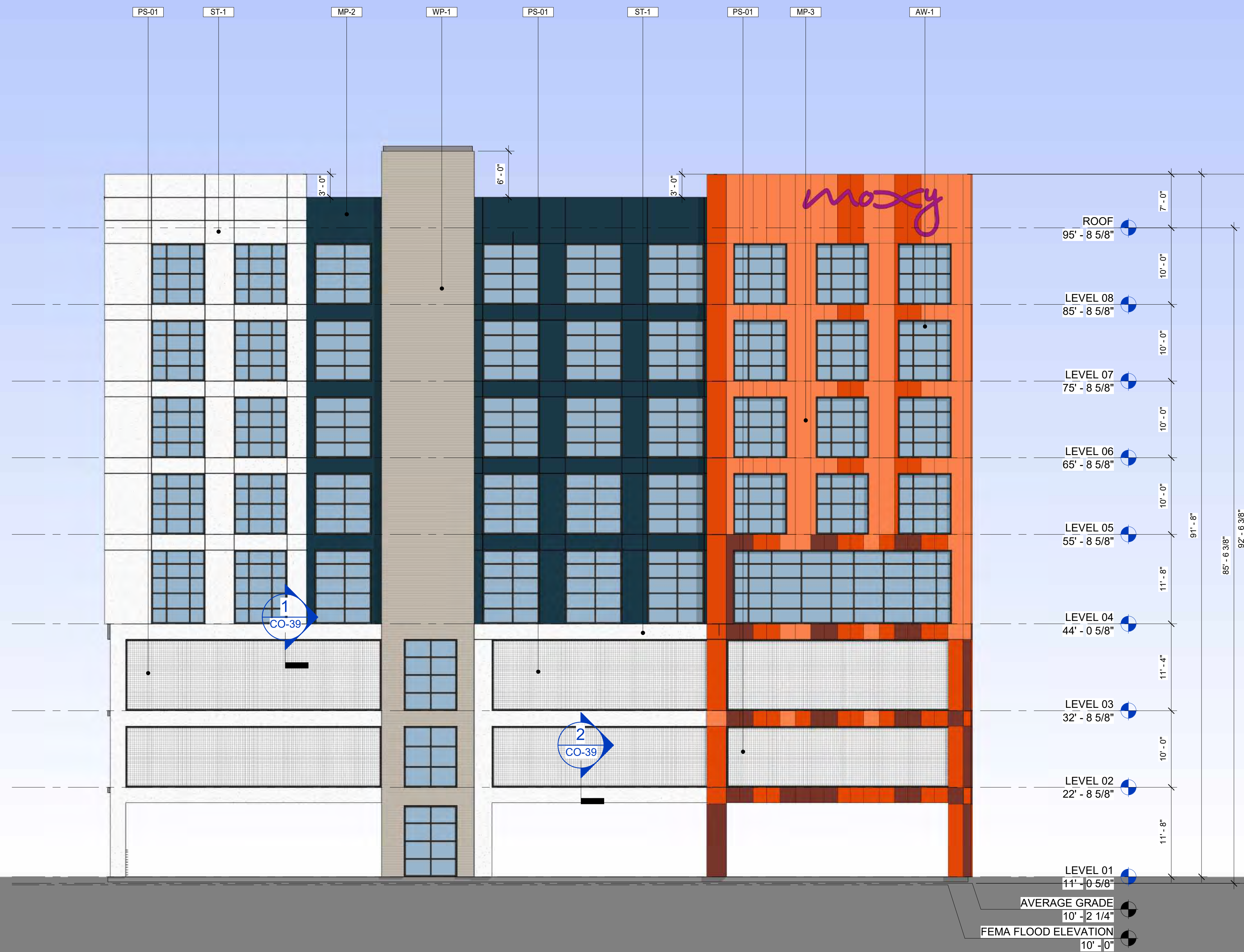
CO-27 - NORTH (LEFT) ELEVATION




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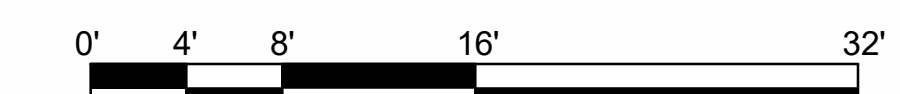
EXTERIOR FINISHES			
TAG	DESCRIPTION	MANUFACTURER	COLOR/FINISH
DIVISION 06			
WP-1	WOOD PANELING	NICHIHA	TECHNO GRAY
DIVISION 07			
MC-1	METAL COPING	SEE SPECIFICATIONS	MATCH EIFS-1/MP-1/C P-1/ST-1
MP-1	COMPOSITE METAL PANEL	AMERICLAD	SILVERSMITH
MP-2	COMPOSITE METAL PANEL	AMERICLAD	NIGHT HORIZON
MP-3	COMPOSITE METAL PANEL	AMERICLAD	VARIES
PS-1	PARKING DECK SCREENING	KAYNEMAILE	SILVER
SC-1	STEEL RAILING/CABLING	TBD	SILVER
DIVISION 08			
AW-1	ALUMINUM WINDOW	SEE SPECIFICATIONS	TBD
GR-1	GLASS RAILING - FRITTED GLASS	TBD	TBD
DIVISION 09			
ST-1	STUCCO FIELD COLOR (SMOOTH TROWELED)	TBD	HIGH REFLECTIVE WHITE
ST-2	STUCCO ACCENT COLOR (SMOOTH TROWELED)	TBD	ENDLESS SEA



**SOUTH ELEVATION EXTERIOR FINISH:**  
**TOTAL: 10,083 SF**

 **STUCCO - 2,594 SF SF (26%)**

**AVERAGE NATURAL GRADE:**  
 EAST ELEVATION: +11.05  
 SOUTH ELEVATION: +10.025  
 WEST ELEVATION: +9.325  
 NORTH ELEVATION: +10.35

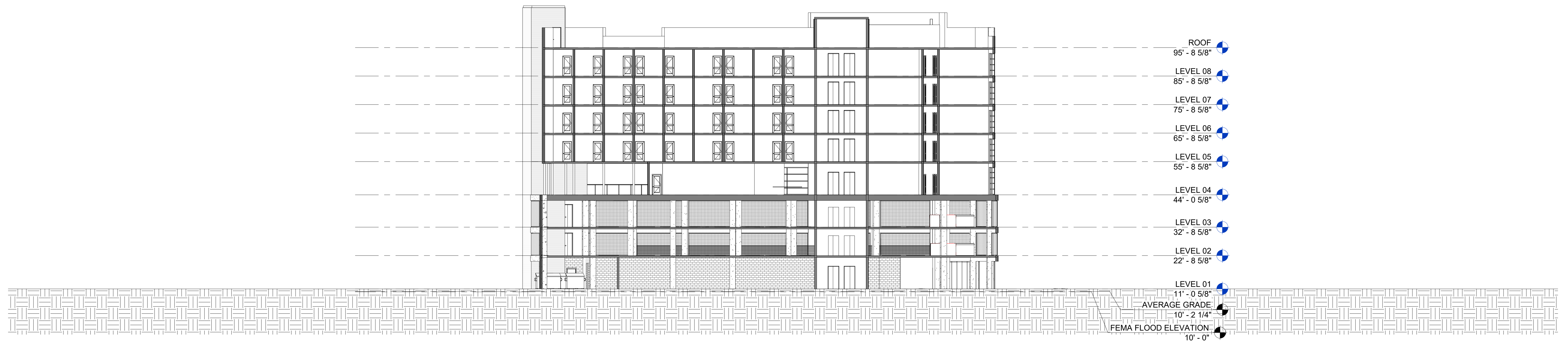


**CO-28 - SOUTH (RIGHT) ELEVATION**



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CO-29 - BUILDING SECTION



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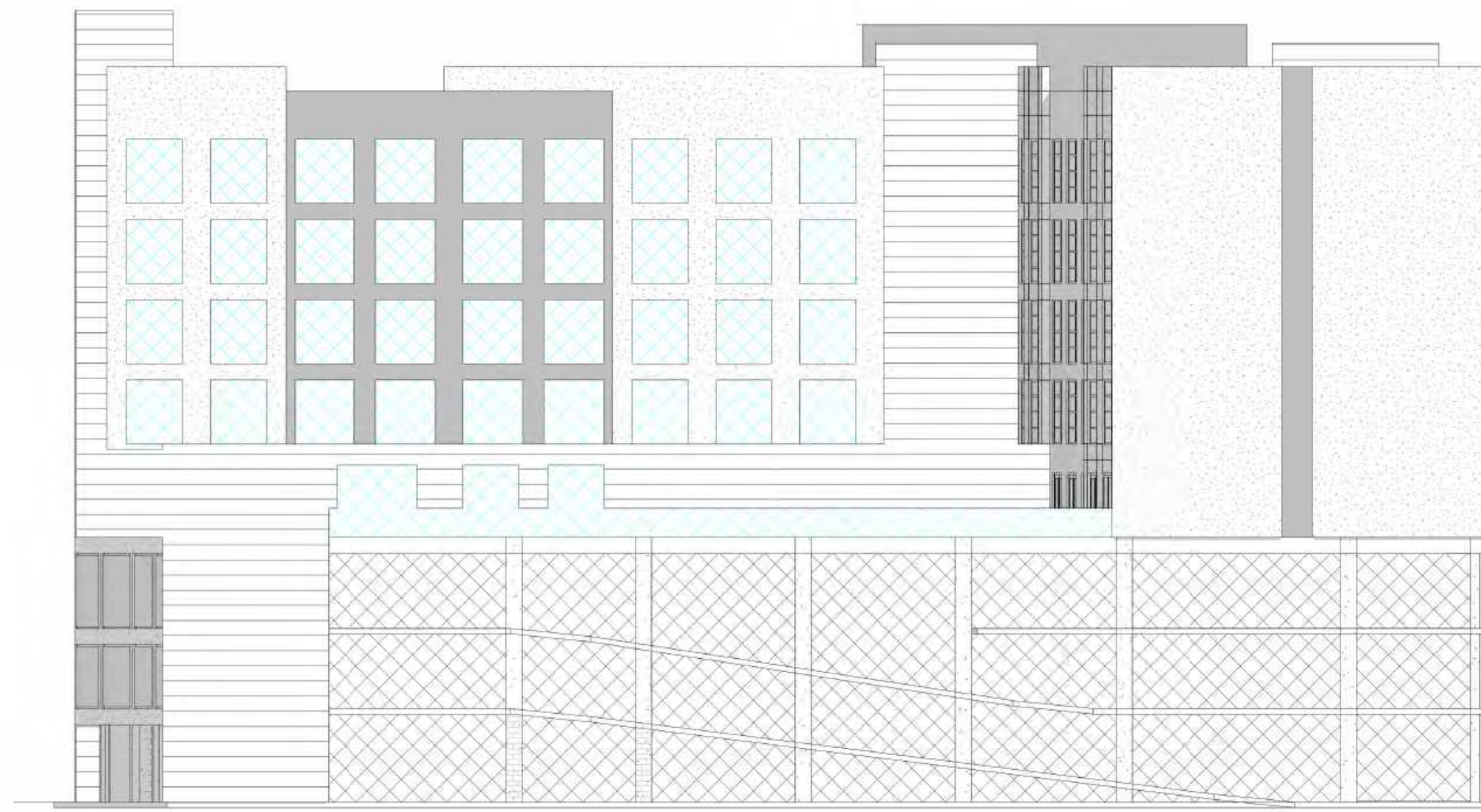


## MATERIAL CALCULATION LEGEND


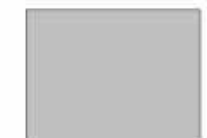





**SOUTH ELEVATION ( SIDE)**

STUCCO		
	2818 SF	27%
METAL PANEL		
	1045 SF	10%
WOOD PANELING		
	962 SF	10%
OPENING (GLAZING)		
	2955 SF	29%
OPENING (NON-GLAZED)		
	2469 SF	24%
<b>TOTAL</b>	<b>10,250 SF</b>	<b>100%</b>



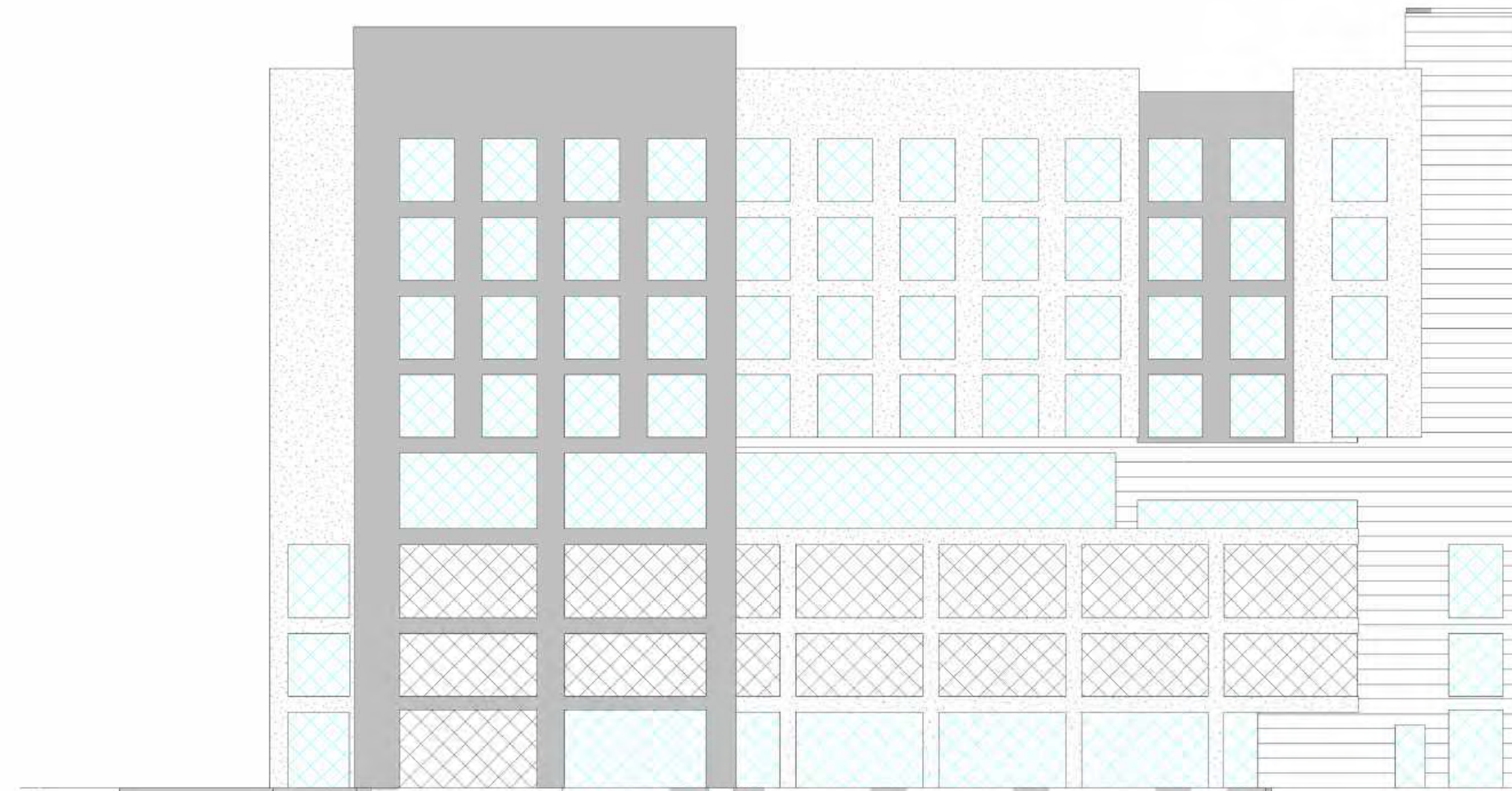
**WEST ELEVATION (REAR)**

STUCCO		
	4124 SF	28%
METAL PANEL		
	1267 SF	10%
WOOD PANELING		
	2834 SF	19%
OPENING (GLAZING)		
	2557 SF	17%
OPENING (NON-GLAZED)		
	3840 SF	26%
<b>TOTAL</b>	<b>14,622 SF</b>	<b>100%</b>



**NORTH ELEVATION (SIDE)**

STUCCO		
	2692 SF	25%
METAL PANEL		
	1058 SF	10%
WOOD PANELING		
	3033 SF	28%
OPENING (GLAZING)		
	1901 SF	18%
OPENING (NON-GLAZED)		
	2027 SF	19%
<b>TOTAL</b>	<b>10,711 SF</b>	<b>100%</b>



**EAST ELEVATION (FRONT)**

STUCCO		
	3312 SF	22%
METAL PANEL		
	2923 SF	19%
WOOD PANELING		
	1888 SF	13%
OPENING (GLAZING)		
	4790 SF	32%
OPENING (NON-GLAZED)		
	2023 SF	14%
<b>TOTAL</b>	<b>14,937 SF</b>	<b>100%</b>



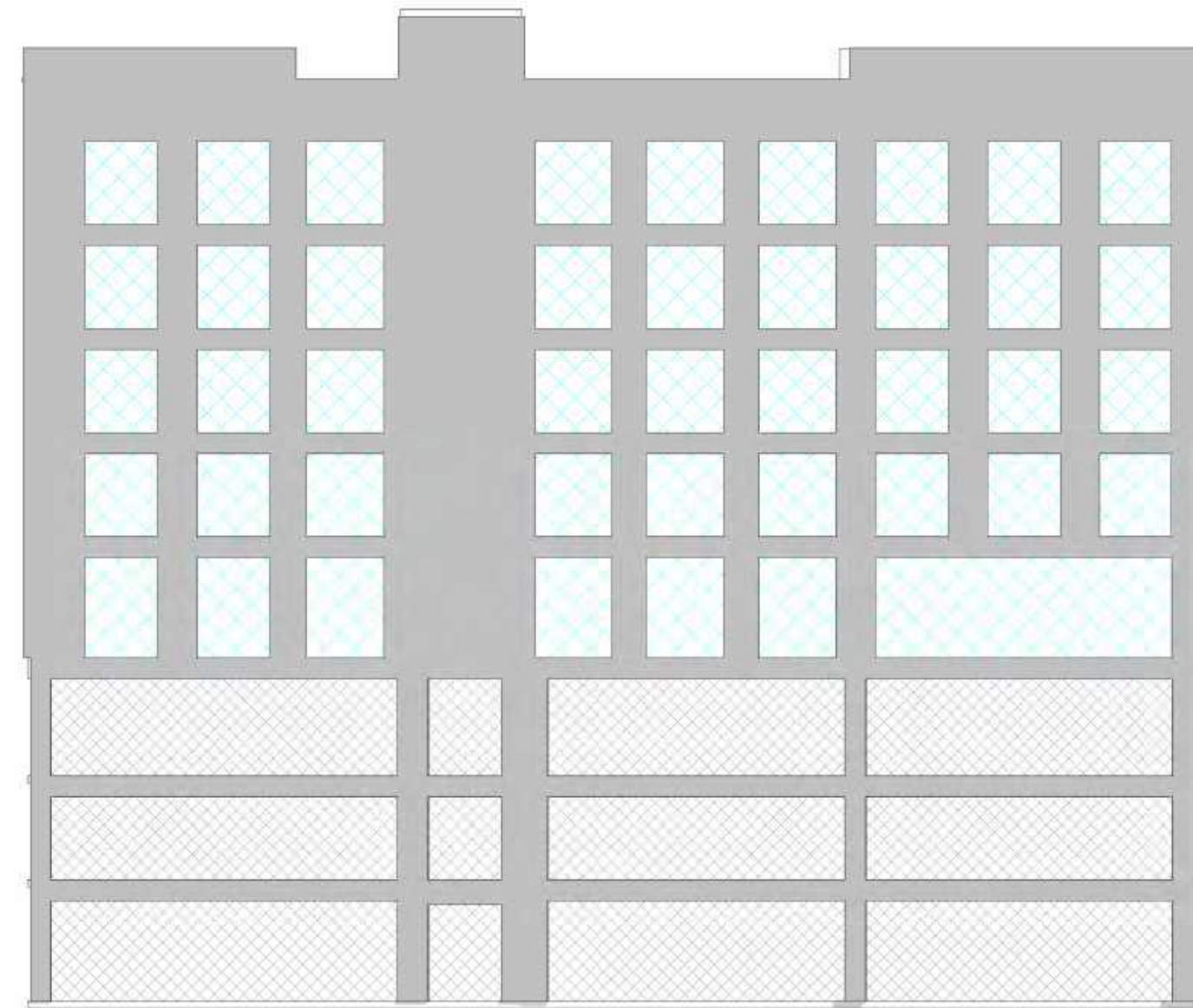
**CO-30 - MATERIAL CALCULATION**



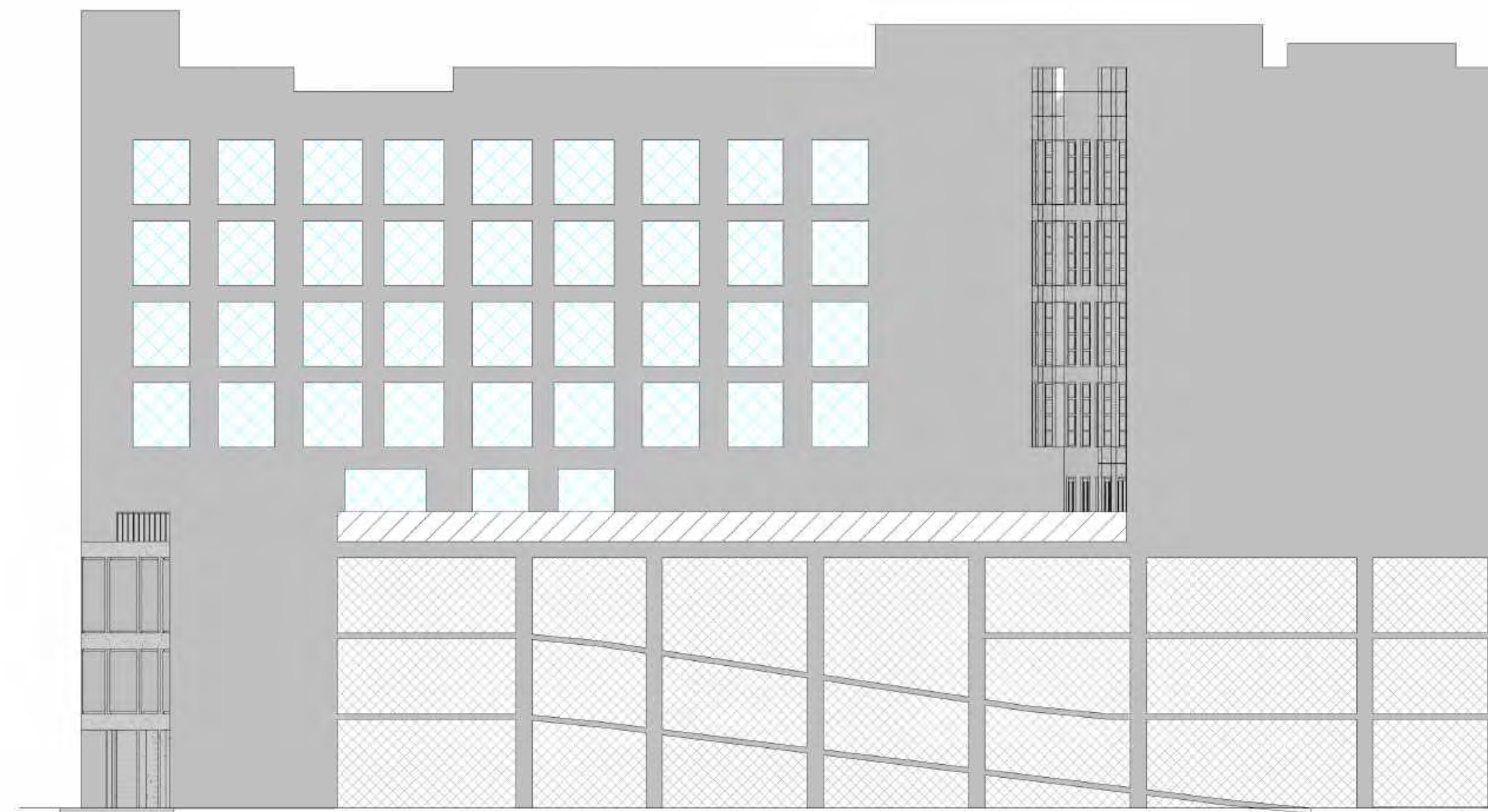
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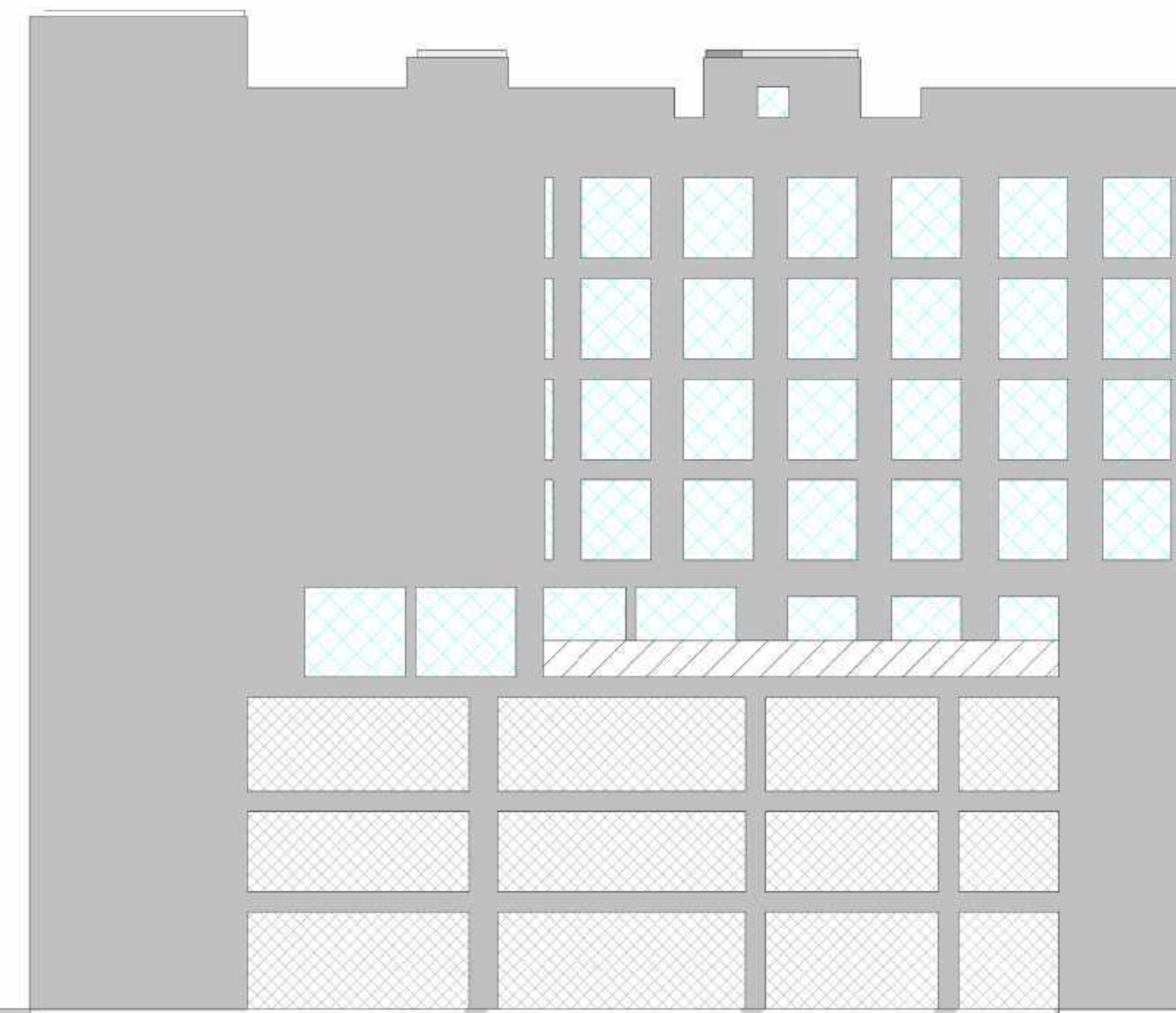
# OPAQUE/TRANSPARENCY CALCULATION






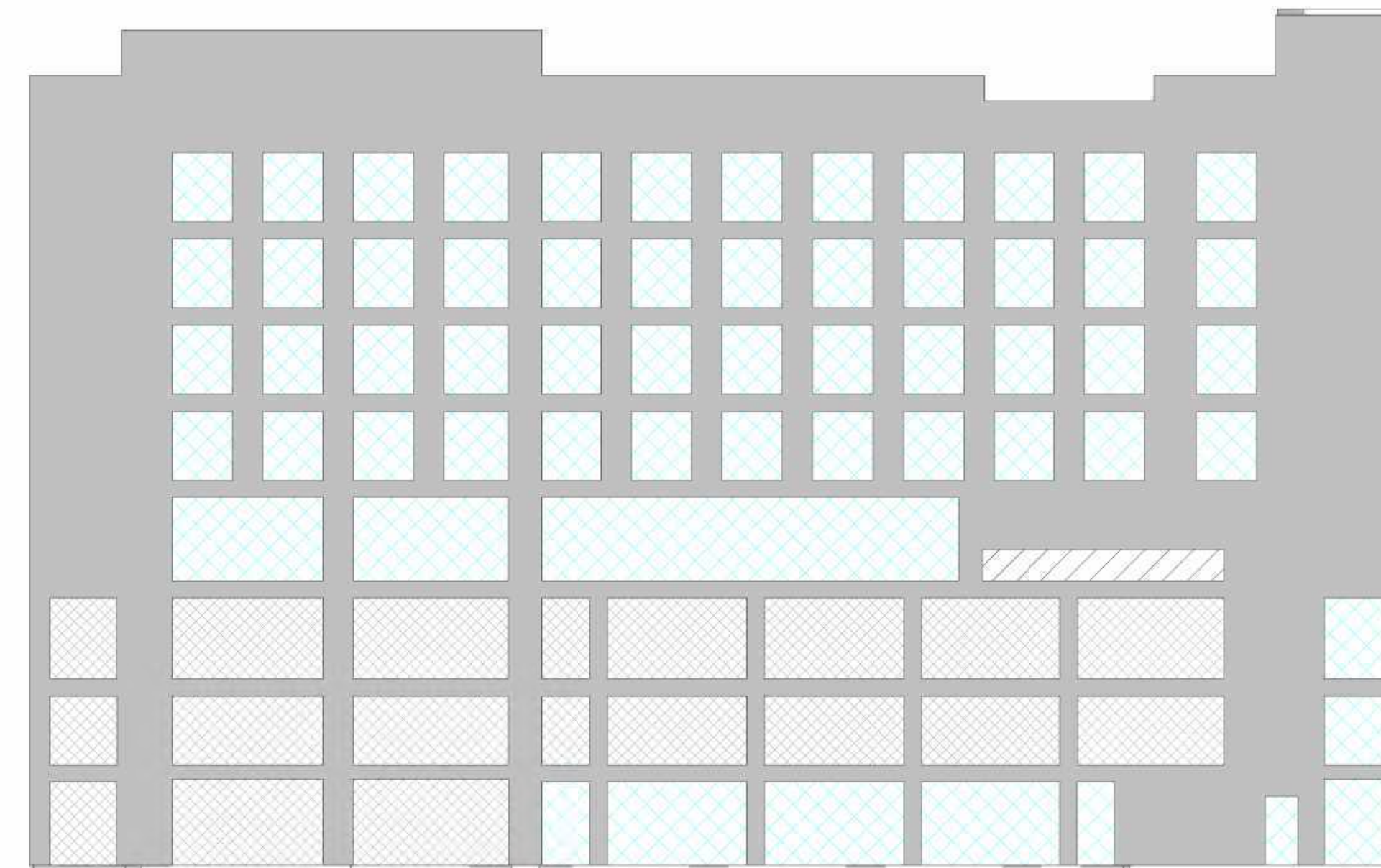
SOUTH ELEVATION ( SIDE)		
TRANSPARENT (BIRD FRIENDLY)		
	2,769 SF	27%
FRITTED GLASS		
	N/A	N/A
GARAGE SCREENING		
	2,655	26%
OPAQUE		
	4,824 SF	47%
<b>TOTAL</b>	<b>10,250 SF</b>	<b>100%</b>




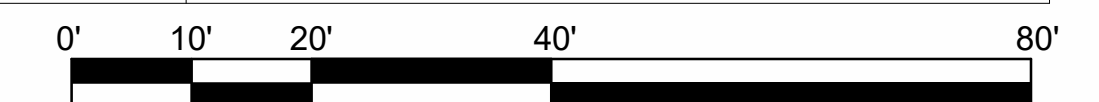
WEST ELEVATION (REAR)		
TRANSPARENT (BIRD FRIENDLY)		
	2,199 SF	14%
FRITTED GLASS		
	358 SF	2%
GARAGE SCREENING		
	3,840 SF	25%
OPAQUE		
	9,148 SF	59%
<b>TOTAL</b>	<b>15,545 SF</b>	<b>100%</b>



NORTH ELEVATION (SIDE)		
TRANSPARENT (BIRD FRIENDLY)		
	1,772 SF	16%
FRITTED GLASS		
	188 SF	2%
GARAGE SCREENING		
	1,993 SF	19%
OPAQUE		
	6,812 SF	63%
<b>TOTAL</b>	<b>10,765 SF</b>	<b>100%</b>



EAST ELEVATION (FRONT)		
TRANSPARENT (BIRD FRIENDLY)		
	4,375 SF	29%
FRITTED GLASS		
	103 SF	1%
GARAGE SCREENING		
	2,412 SF	16%
OPAQUE		
	8,123 SF	54%
<b>TOTAL</b>	<b>15,014 SF</b>	<b>100%</b>



CO-31 - OPAQUE/TRANSPARENCY DIAGRAM



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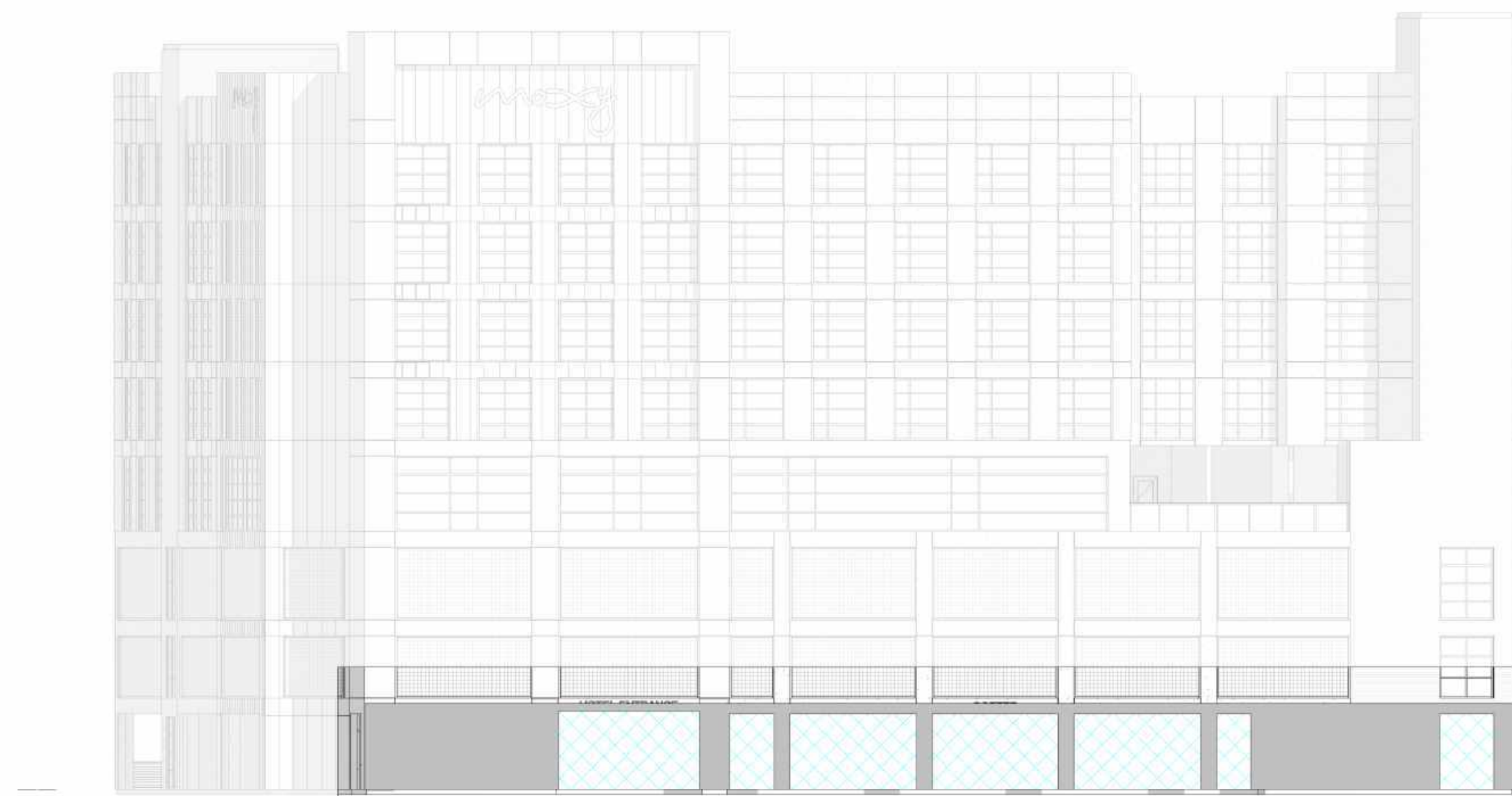
**OPAQUE/TRANSPARENCY CALCULATION - GROUND LEVEL**



**EXTERIOR FINISHES**

TAG	DESCRIPTION	MANUFACTURER	COLOR/ FINISH
DIVISION 06			
WP-1	WOOD PANELING	NICHIHA	TECHNO GRAY
DIVISION 07			
MC-1	METAL COPING	SEE SPECIFICATIONS	MATCH EIFS-1/MP-1/C P-1/ST-1
MP-1	COMPOSITE METAL PANEL	AMERICLAD	SILVERSMITH
MP-2	COMPOSITE METAL PANEL	AMERICLAD	NIGHT HORIZON
MP-3	COMPOSITE METAL PANEL	AMERICLAD	VARIES
PS-1	PARKING DECK SCREENING	KAYNEMAILE	SILVER
SC-1	STEEL RAILING/CABLING	TBD	SILVER
DIVISION 08			
AW-1	ALUMINUM WINDOW	SEE SPECIFICATIONS	TBD
GR-1	GLASS RAILING - FRITTED GLASS	TBD	TBD
DIVISION 09			
ST-1	STUCCO FIELD COLOR (SMOOTH TROWELED)	TBD	HIGH REFLECTIVE WHITE
ST-2	STUCCO ACCENT COLOR (SMOOTH TROWELED)	TBD	ENDLESS SEA

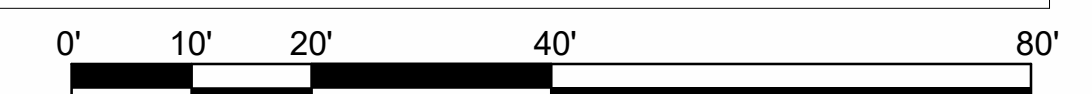
AREA OF INTEREST	5268 SF	100%
STUCCO (ST-1)	839 SF	16%
COMPOSITE METAL PANEL (MP-1)	635 SF	12%
WOOD PANELING (WP-1)	596 SF	11%
GLAZING	3198 SF	61%



TOTAL WINDOW AREA = 813 SF  
TOTAL WALL AREA TO STRUCTURE = 1,616 SF

**EAST ELEVATION (FRONT)**

TRANSPARENT	813 SF	50%
TOTAL WALL AREA TO STRUCTURE	1,616 SF	



**CO-32 - GROUND FLOOR GLAZING DIAGRAM**

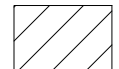




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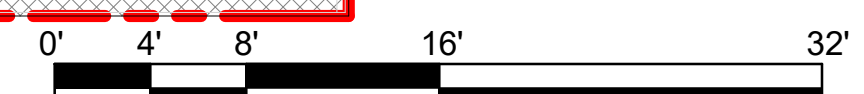




**LEGEND**

-  ASPHALT DRIVEWAY 905 SF
-  LANDSCAPE PLANTER 2,113 SF
-  DECORATIVE HARDSCAPE 1,579 SF

SETBACK AREA = 4,598 SF  
 REQUIRED LANDSCAPE = 1,841 SF  
 INFILTRATION AREA = 920 SF



CO-34 - HARDSCAPE/LANDSCAPE DIAGRAM - LEVEL 01



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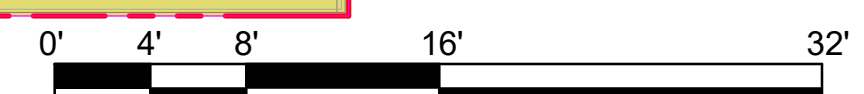


TOTAL SITE AREA = 33,192 SF  
 30% OPEN SPACE REQUIRED = 9,958 SF  
 50% OF 9,958 SF = 4,979 SF

OPEN SPACE AREA SCHEDULE	
Name	Area
LANDSCAPE	2376 SF
LANDSCAPE PLANTERS	2227 SF
NON PUBLIC OPEN SPACE	3249 SF
PUBLIC OPEN SPACE	5393 SF
TOTAL	13245 SF

**LEGEND**

- LANDSCAPE
- LANDSCAPE PLANTERS
- NON PUBLIC OPEN SPACE
- PUBLIC OPEN SPACE



CO-35 - OPEN SPACES DIAGRAM - LEVEL 04



**MOXY BY MARRIOTT**  
 MENLO PARK, CA  
 ENTITLEMENT SET • 10/12/2022  
 21-03.01

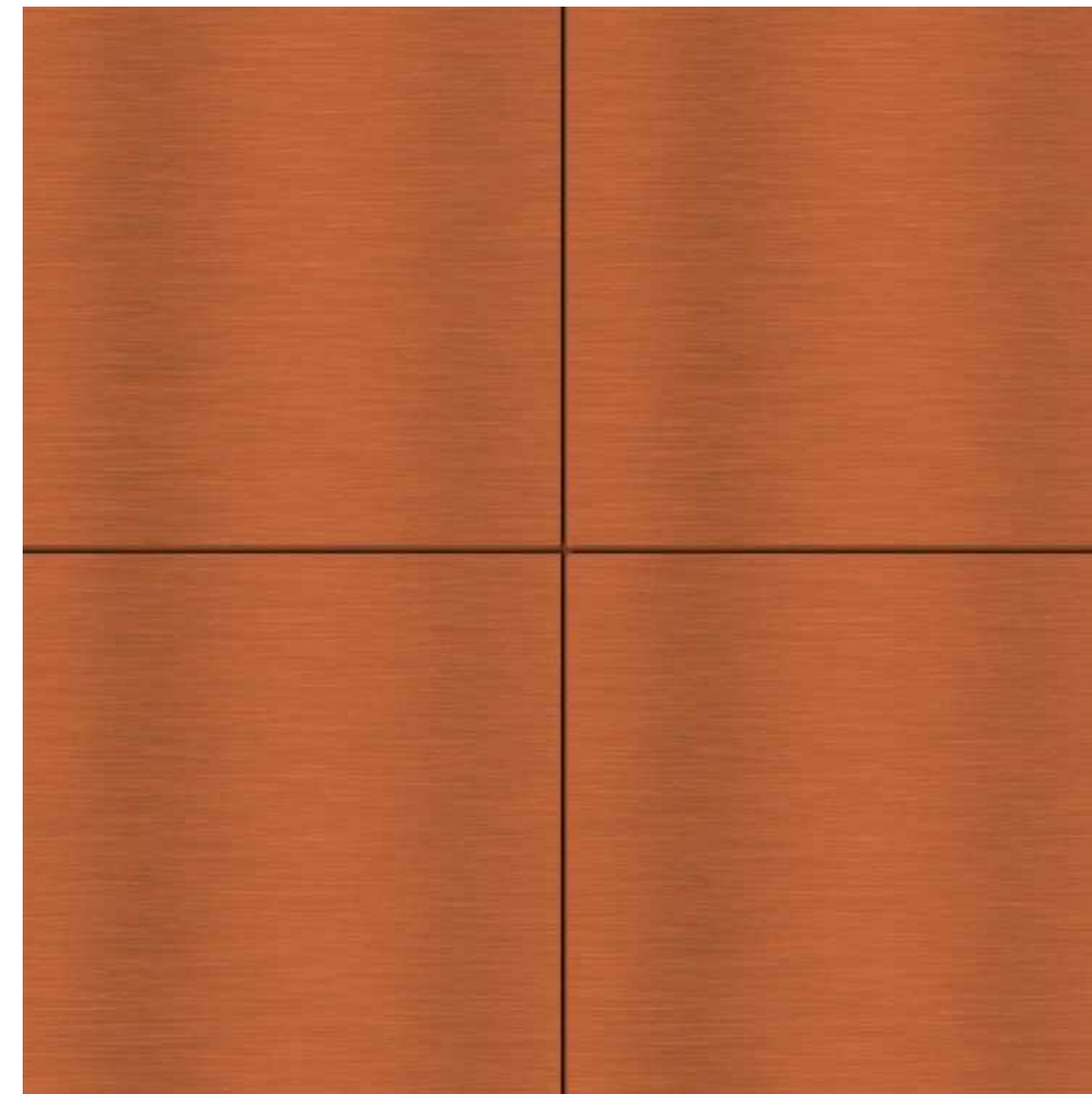




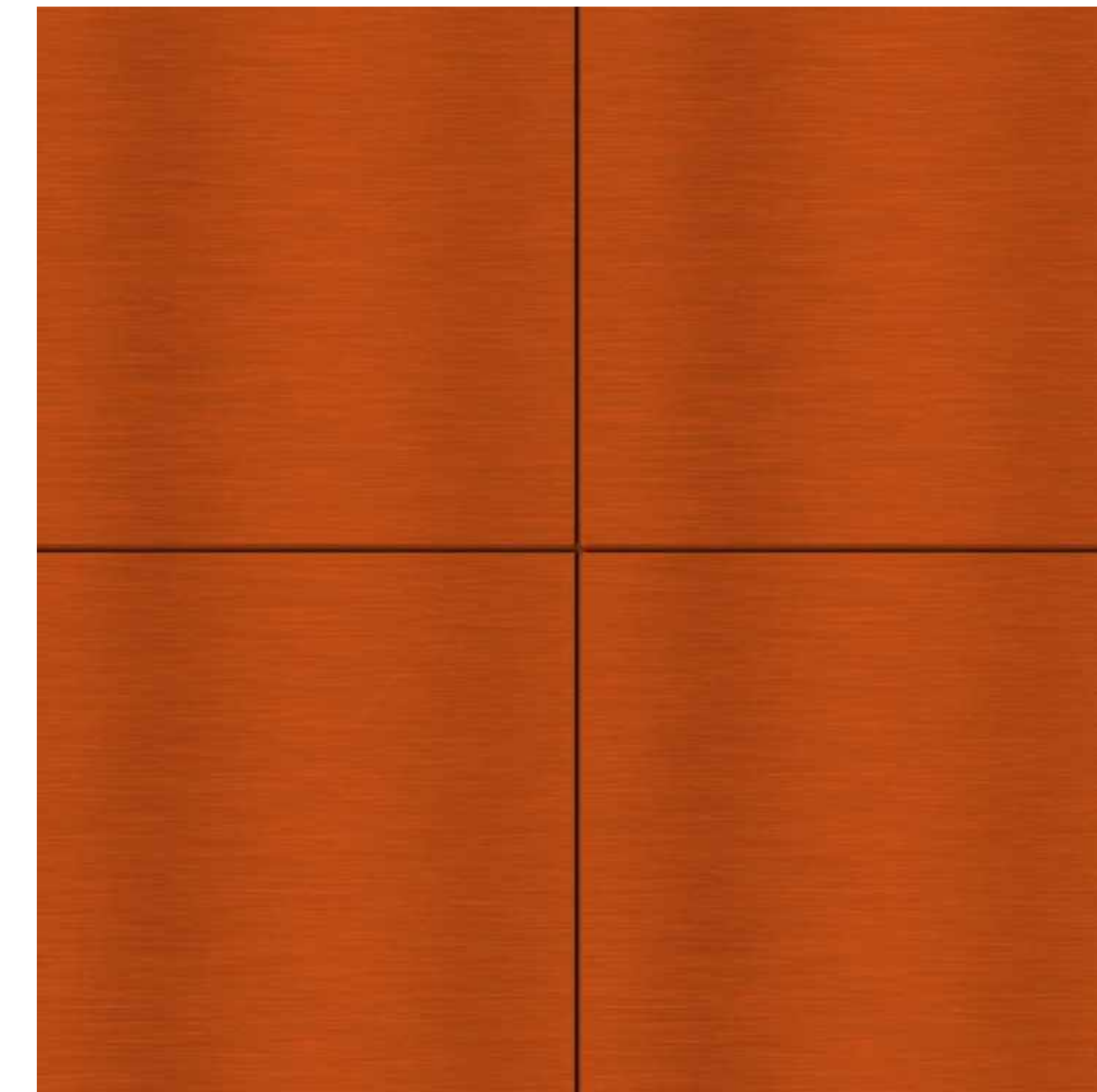
GLASS RAILING  
MANUFACTURER: AQUAVIEW  
COLOR: SILVER



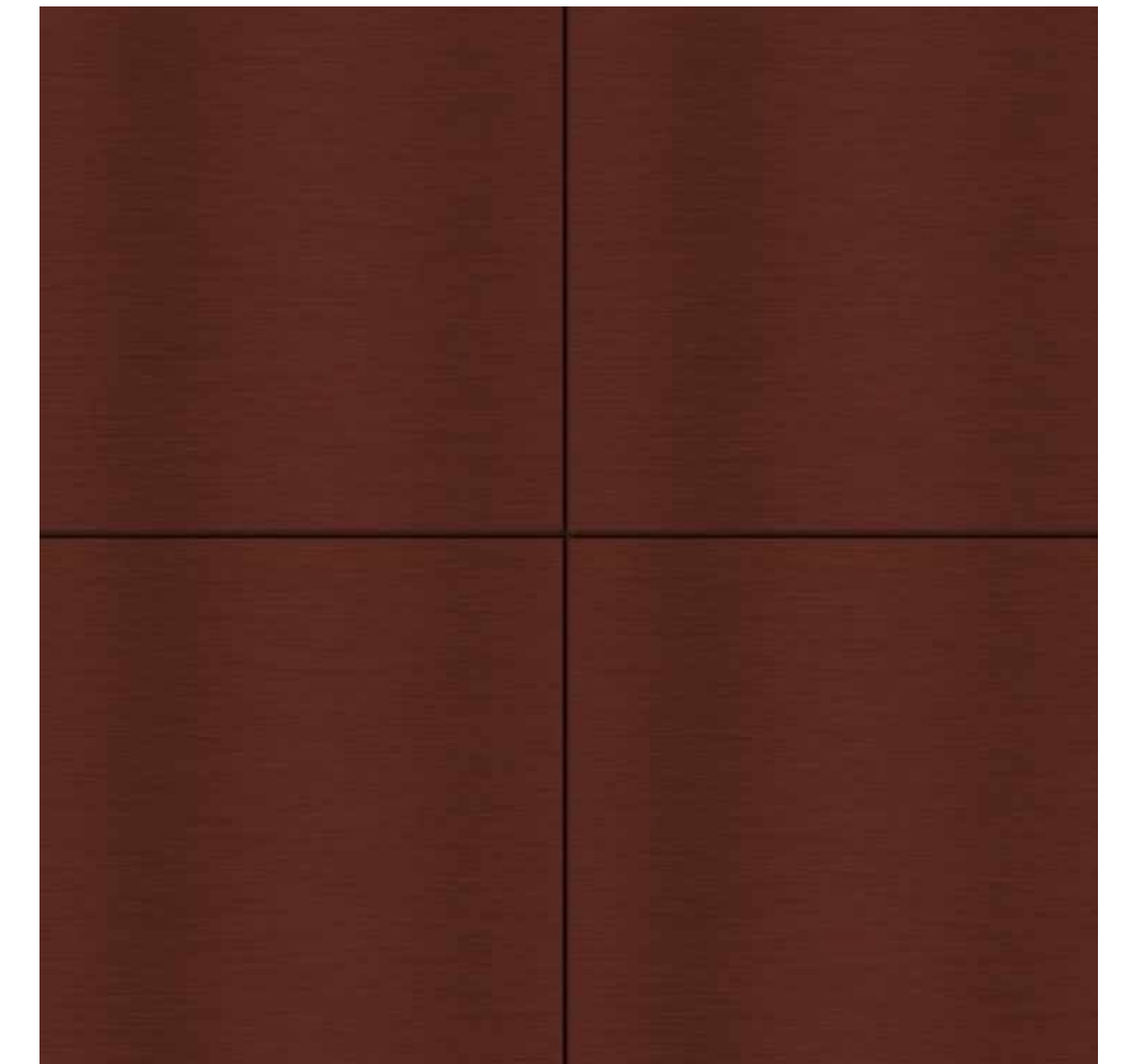
WP-1 WOOD PANELING  
NICHHA SIDING  
TECHNO GRAY



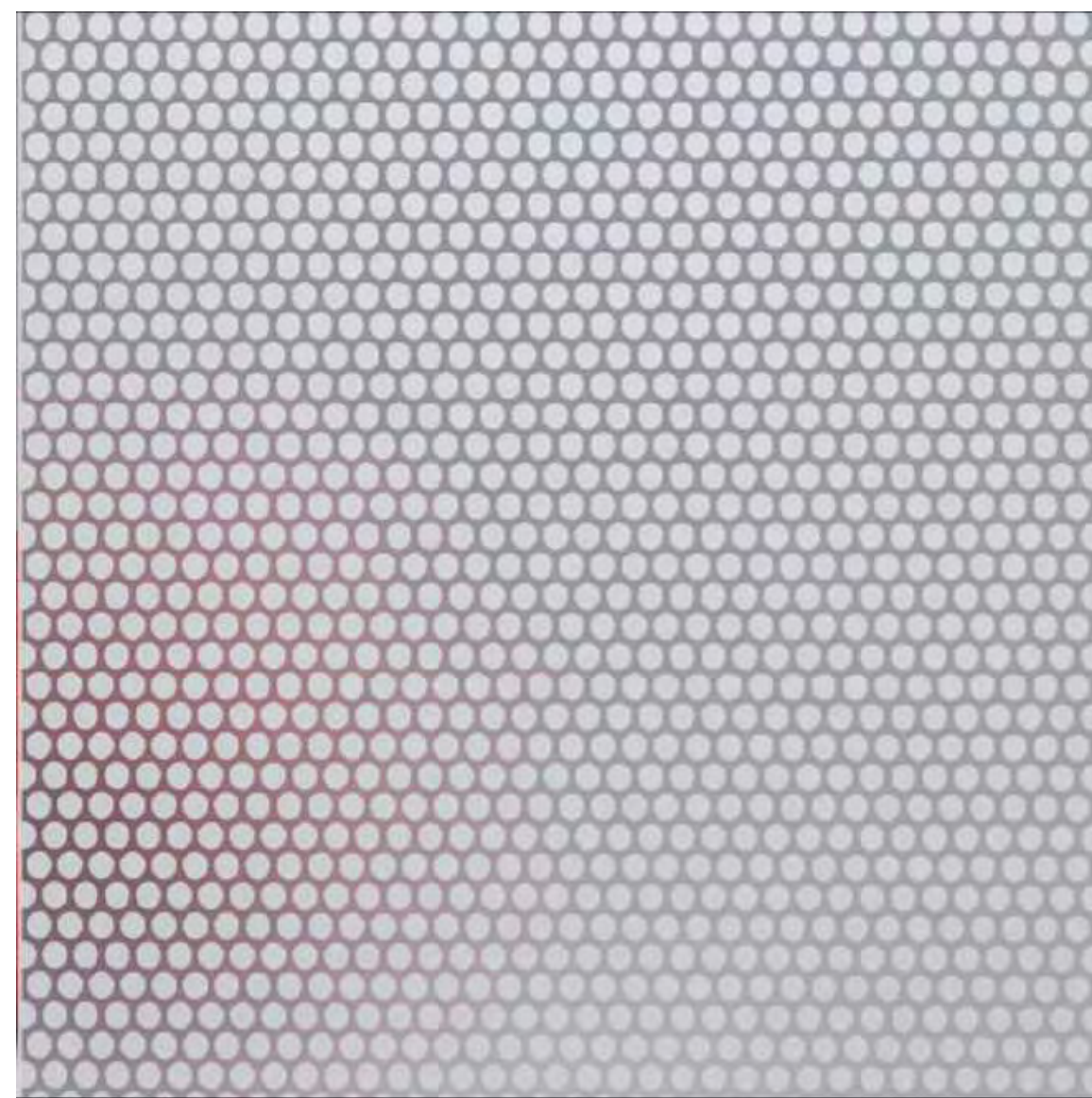
MP-3 AMERICLAD METAL PANEL  
OSAGE ORANGE  
PANTONE: 150C



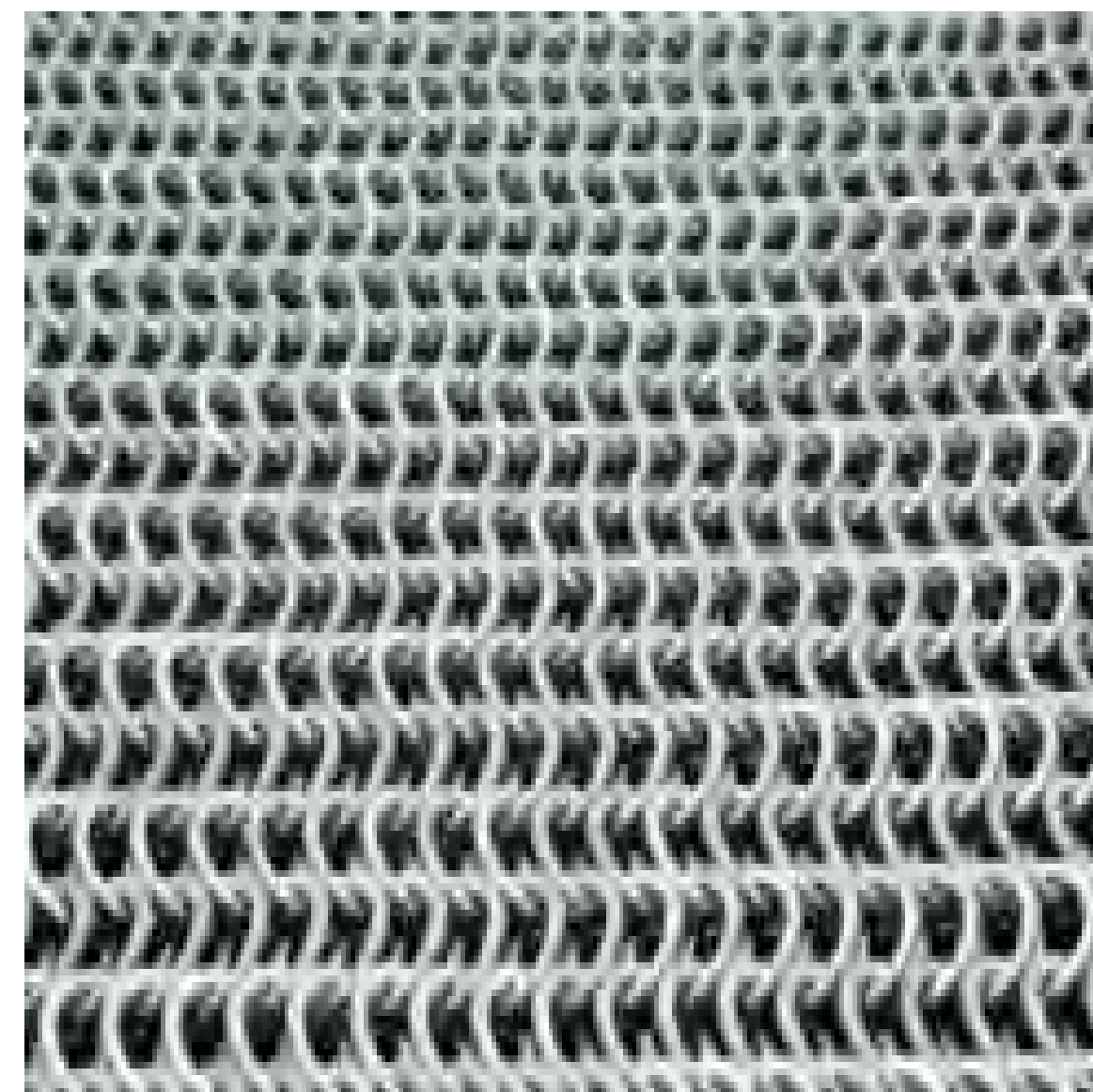
MP-3 AMERICLAD METAL PANEL  
INVIGORATE  
PANTONE: 158C



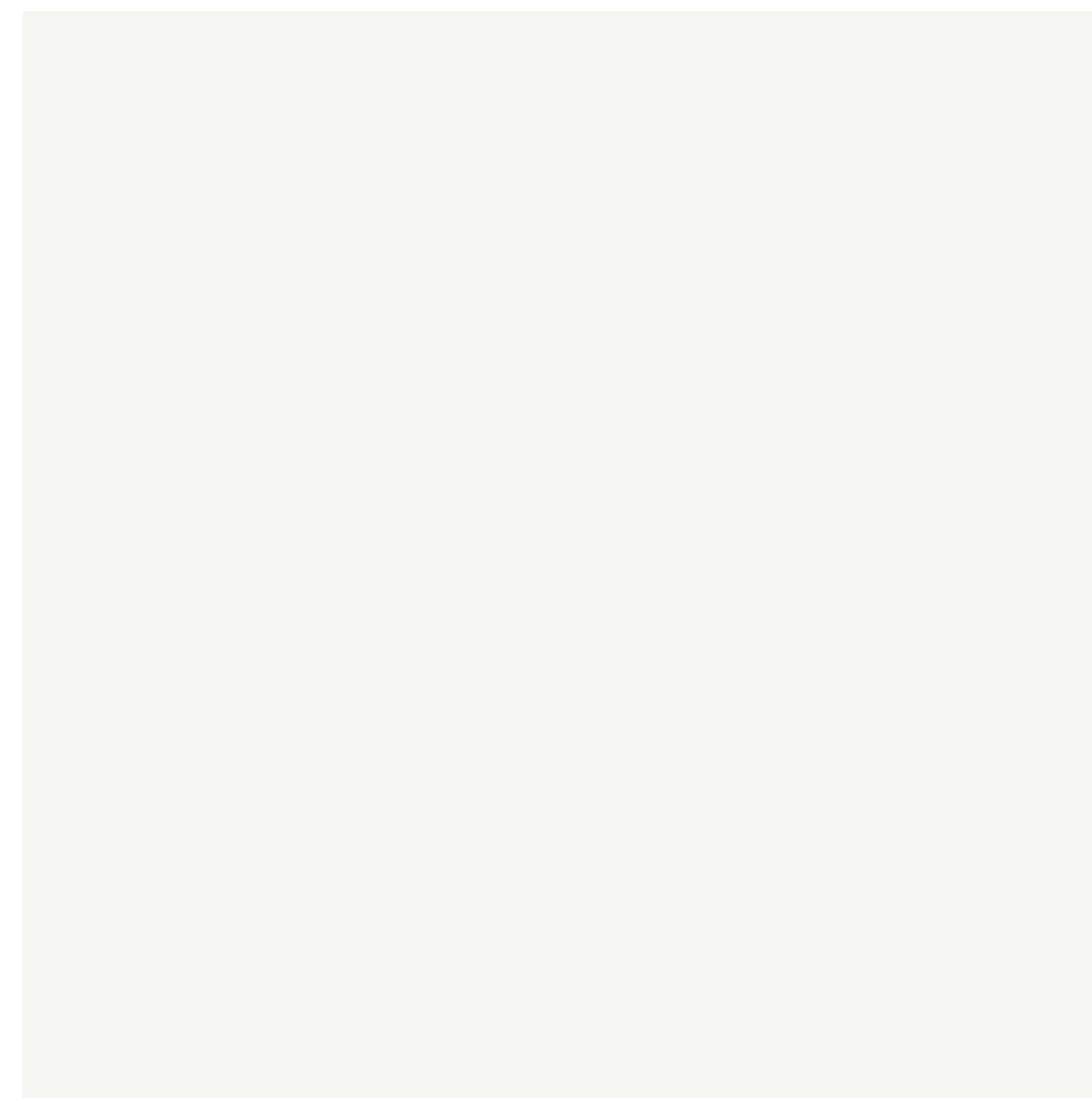
MP-3 AMERICLAD METAL PANEL  
BOLERO



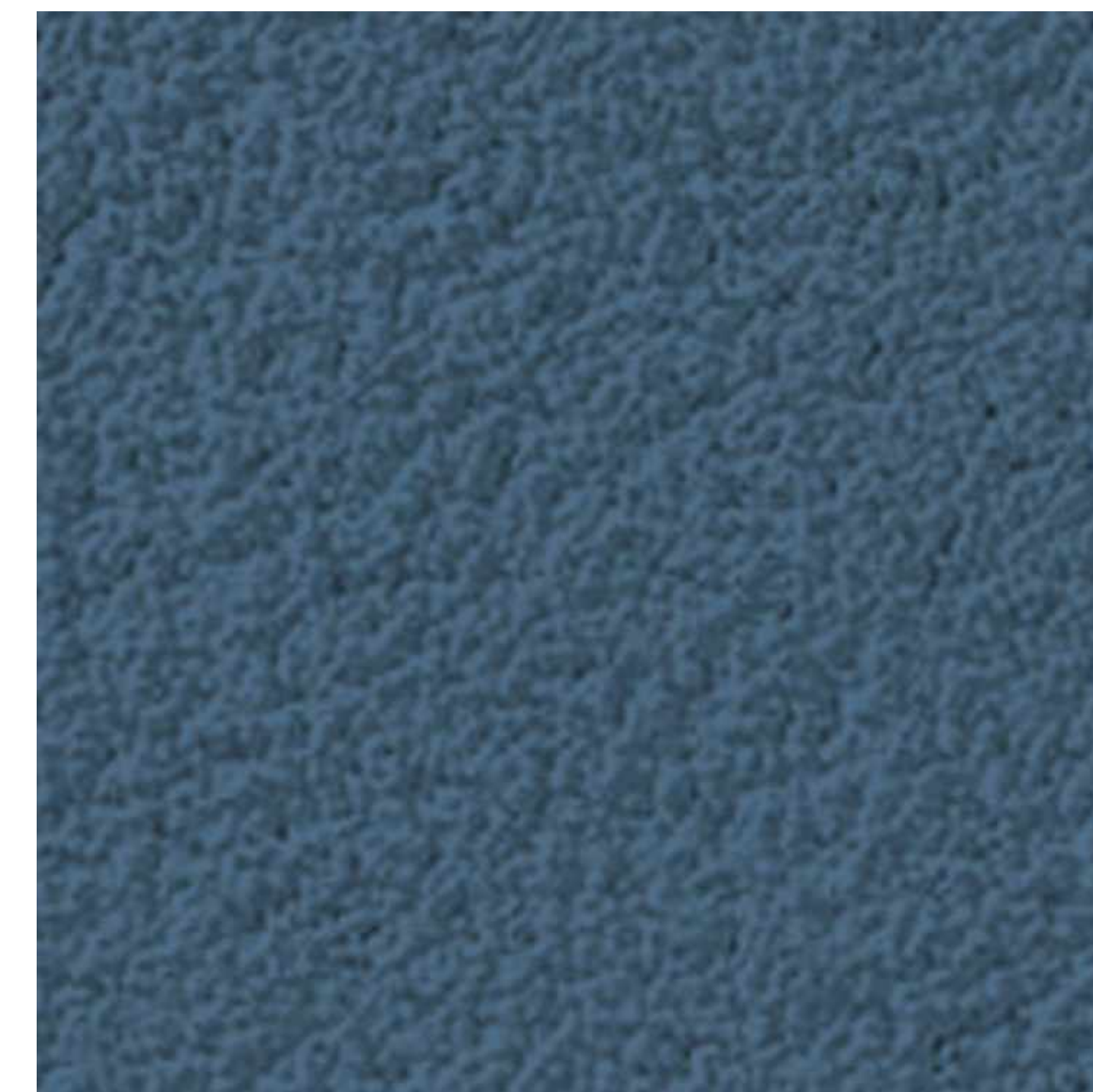
FRITTED GLASS AT GLASS  
RAILING



PARKING GARAGE SCREEN  
MANUFACTURER: KAYNEMAILE  
COLOR: SILVER



ST-1 STUCCO FIELD  
COLOR: HIGH REFLECTIVE WHITE



EIFS  
SW 9150 - ENDLESS SEA



MC-1 METAL COPING



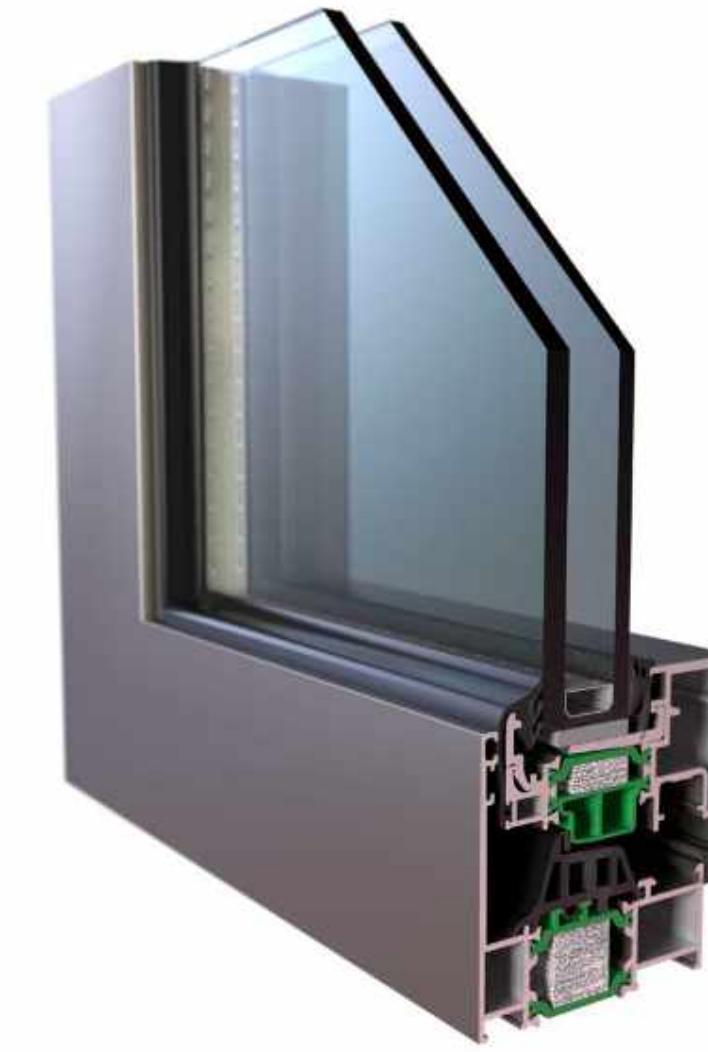
MP-1 AMERICLAD METAL PANEL  
SILVER SMITH



MP-2 AMERICLAD METAL PANEL  
NIGHT HORIZON



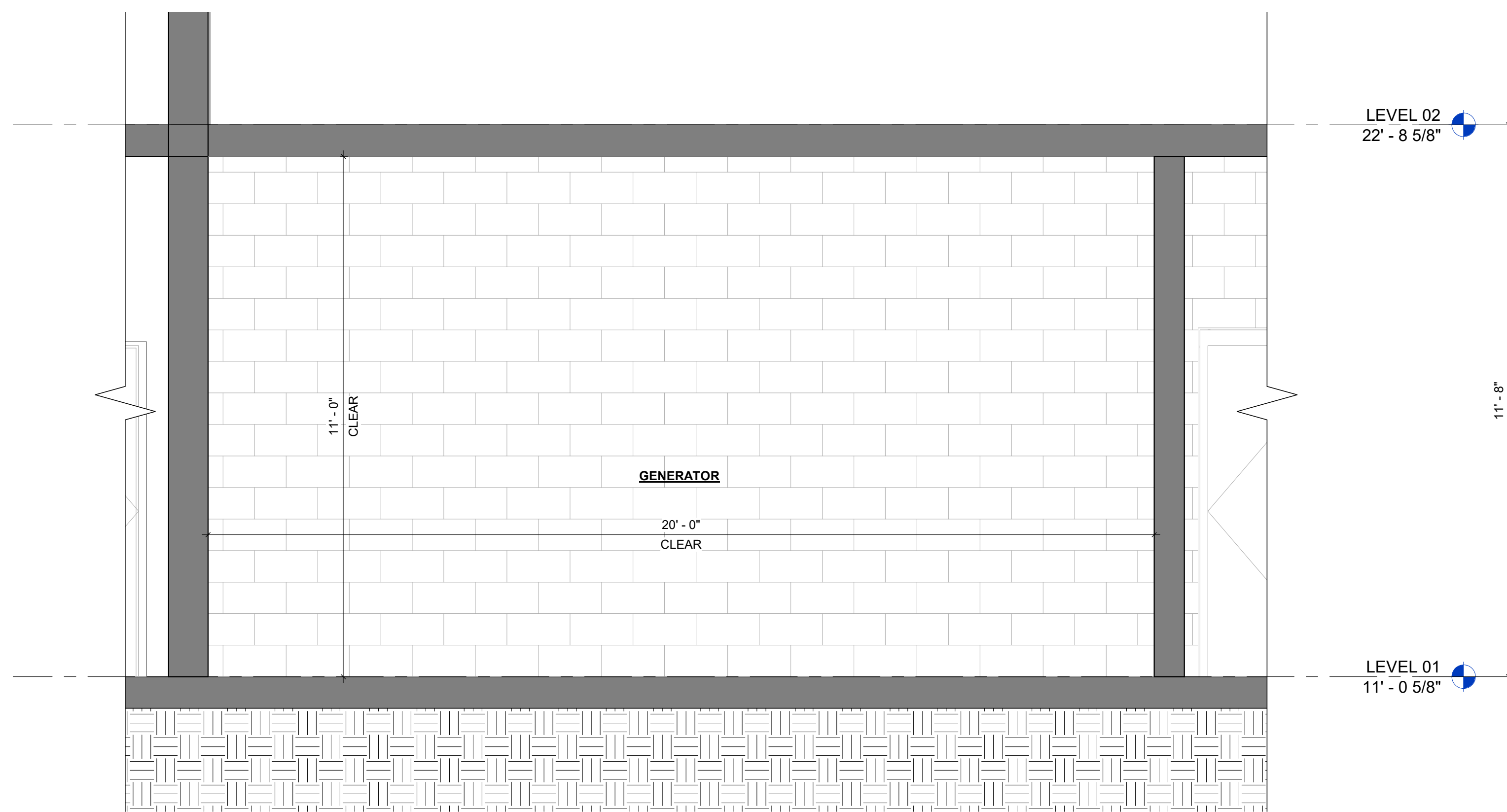
SC-1 STEEL RAILING/CABLING



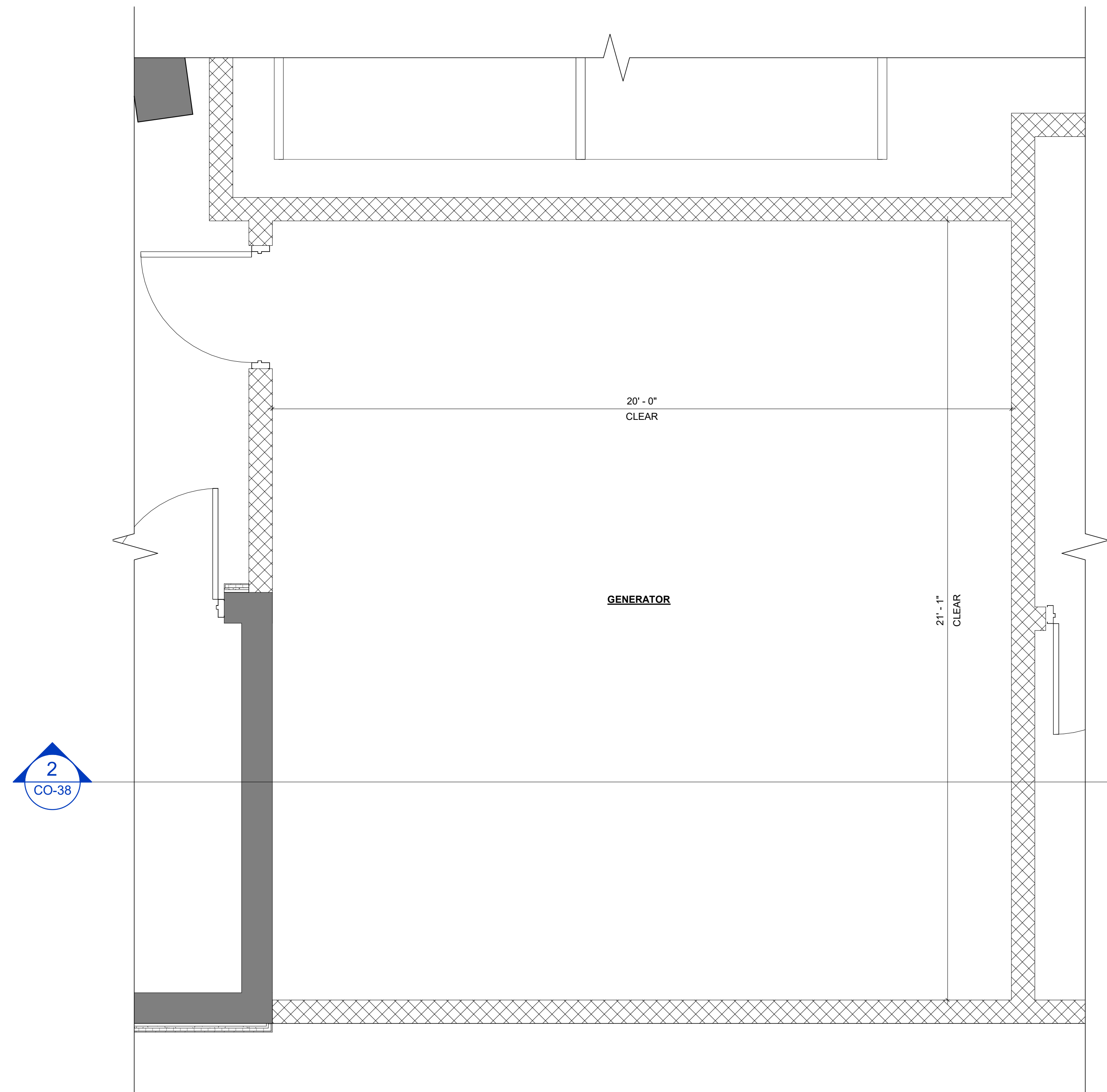
AW-1 ALUMINUM WINDOW



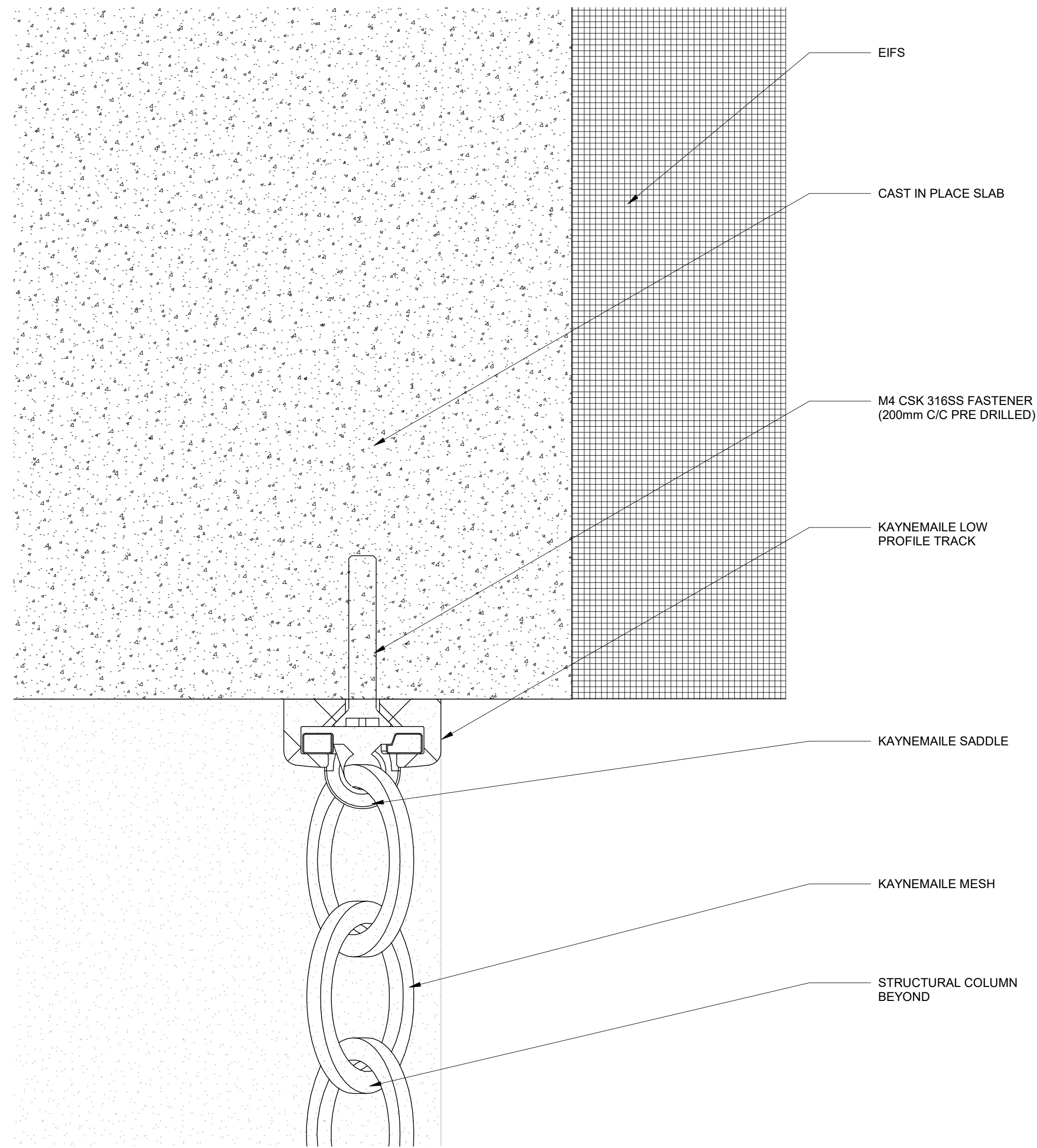




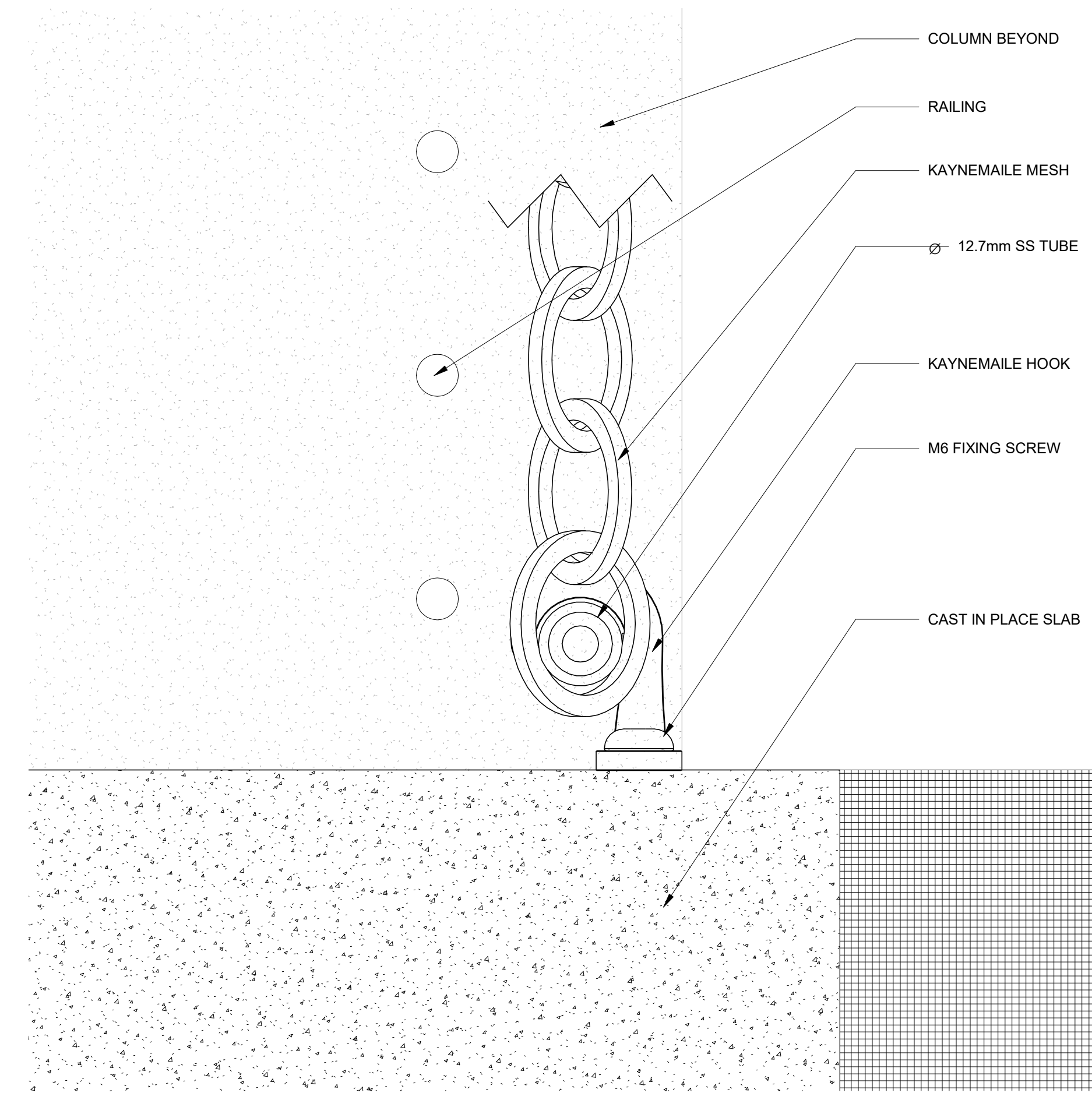
2 GENERATOR SECTION  
SCALE: 1/2" = 1'-0"



1 GENERATOR PLAN  
SCALE: 1/2" = 1'-0"



DETAIL 2



DETAIL 1

# GENERAL ABBREVIATIONS / LEGEND

BFP	BACKFLOW PREVENTER	○ MW	MONITORING WELL
CB	CATCH BASIN	○	POWER POLE
CL	CENTERLINE	○	IRON PIPE
DCV	DETECTOR CHECK VALVE	○	RAILROAD SPIKE
DE	DIRT ELEVATION	○	STANDARD CITY MONUMENT
DWY	DRIVEWAY	○	SURVEY MONUMENT
E	ELECTRICAL LINE	○	STORM DRAIN MANHOLE
EB	ELECTRIC BOX	○	STREET SIGN
EP	EDGE OF PAVEMENT	○	STREET LIGHT
EX	EXISTING	○	WATER VALVE
FDC	FIRE DEPARTMENT CONNECTION	○	TREE WITH SIZE
FF	FINISHED FLOOR	○	TREE REMOVAL
FL	FLOWLINE	○	TRANSFORMER
FS	FINISHED SURFACE/FIRE SERVICES	○	BARBED WIRE FENCE
G	GAS PIPE	○	CHAIN-LINKED FENCE
GB	GRADE BREAK	○	WOOD FENCE
GM	GAS METER	○	SAWCUT LINE
GP	GUARD POST	○	WALL
GR	GRATE	○	
GRD	GROUND FINISH SURFACE	○	
HCR	HANDICAP RAMP	○	
INV	INVERT	○	
JP	JOINT POLE	○	
JT	JOINT TRENCH	○	
LF	LINEAR FEET	○	
MW	MONITORING WELL	○	
OHE	OVERHEAD ELECTRIC	○	
OHT	OVERHEAD TELEPHONE	○	
PAE	PUBLIC ACCESS EASEMENT	○	
PB	PULL BOX	○	
PCC	PORTLAND CEMENT CONCRETE	○	
PG&E	PACIFIC GAS & ELECTRIC	○	
PIV	POST INDICATOR VALVE	○	
PUE	PUBLIC UTILITY EASEMENT	○	
PVC	POLYVINYL CHLORIDE PIPE	○	
R	RIDGE LINE	○	
RCP	REINFORCED CONCRETE PIPE	○	
RPP	REDUCED PRESSURE PRINCIPLE BACKFLOW	○	
SD	STORM DRAIN PIPE	○	
SDCB	STORM DRAIN CATCH BASIN	○	
SDCO	STORM DRAIN CLEANOUT	○	
SDMH	STORM DRAIN MANHOLE	○	
SS	SANITARY SEWER PIPE	○	
SSCO	SANITARY SEWER CLEANOUT	○	
SSMH	SANITARY SEWER MANHOLE	○	
SW	SIDEWALK	○	
T	TELEPHONE LINE	○	
TC	TOP OF CURB	○	
TH	TOP OF CONCRETE HEADER	○	
TORW	TOP OF RETAINING WALL	○	
TP	TELEPHONE POLE	○	
TS	TRAFFIC SIGNAL	○	
TSB	TRAFFIC SIGNAL BOX	○	
VG	VALLEY GUTTER	○	
W	WATER PIPE	○	
WM	WATER METER	○	

SD	EXISTING STORM DRAIN CATCH BASIN	○	EXISTING FIRE HYDRANT
WM	EXISTING WATER METER / GAS METER	○	EXISTING SANITARY SEWER MANHOLE
○	EXISTING SANITARY SEWER CLEANOUT	○	EXISTING WATER VALVE
○	EXISTING FIRE HYDRANT	○	EXISTING GAS VALVE
○	EXISTING SANITARY SEWER MANHOLE	○	EXISTING CONTOUR
○	EXISTING WATER VALVE	○	EXISTING ELEVATION
○	EXISTING GAS VALVE	○	TC - TOP OF CURB ELEVATION
○	EXISTING CONTOUR	○	FS - FINISHED SURFACE
○	EXISTING ELEVATION	○	GR - GRATE ELEVATION
○	TC - TOP OF CURB ELEVATION	○	FL - FLOW LINE
○	FS - FINISHED SURFACE	○	HP - HIGH POINT
○	GR - GRATE ELEVATION	○	PROPOSED CONTOUR
○	FL - FLOW LINE	○	SLOPE
○	HP - HIGH POINT	○	PROPOSED CURB
○	PROPOSED CONTOUR	○	PROPOSED BIOSWALE CURB
○	SLOPE	○	PROPOSED CURB AND GUTTER
○	PROPOSED CURB	○	PROPOSED FIRE LANE
○	PROPOSED BIOSWALE CURB	○	HANDICAP RAMP
○	PROPOSED CURB AND GUTTER	○	
○	PROPOSED FIRE LANE	○	
○	HANDICAP RAMP	○	

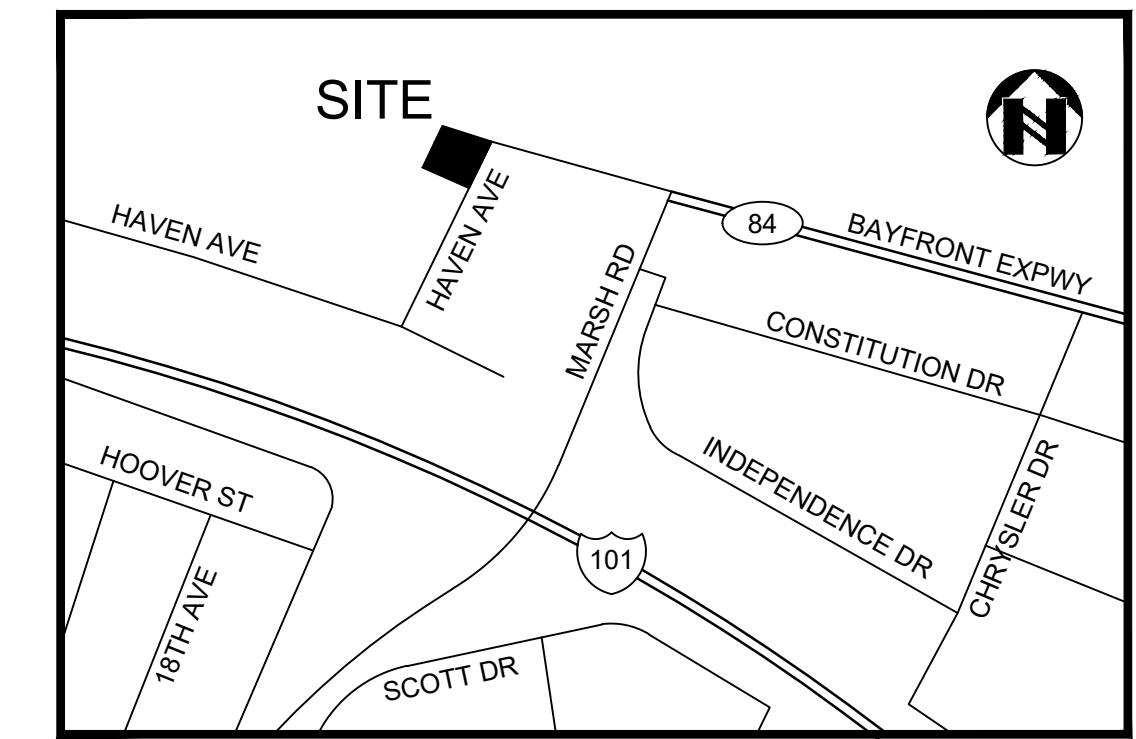
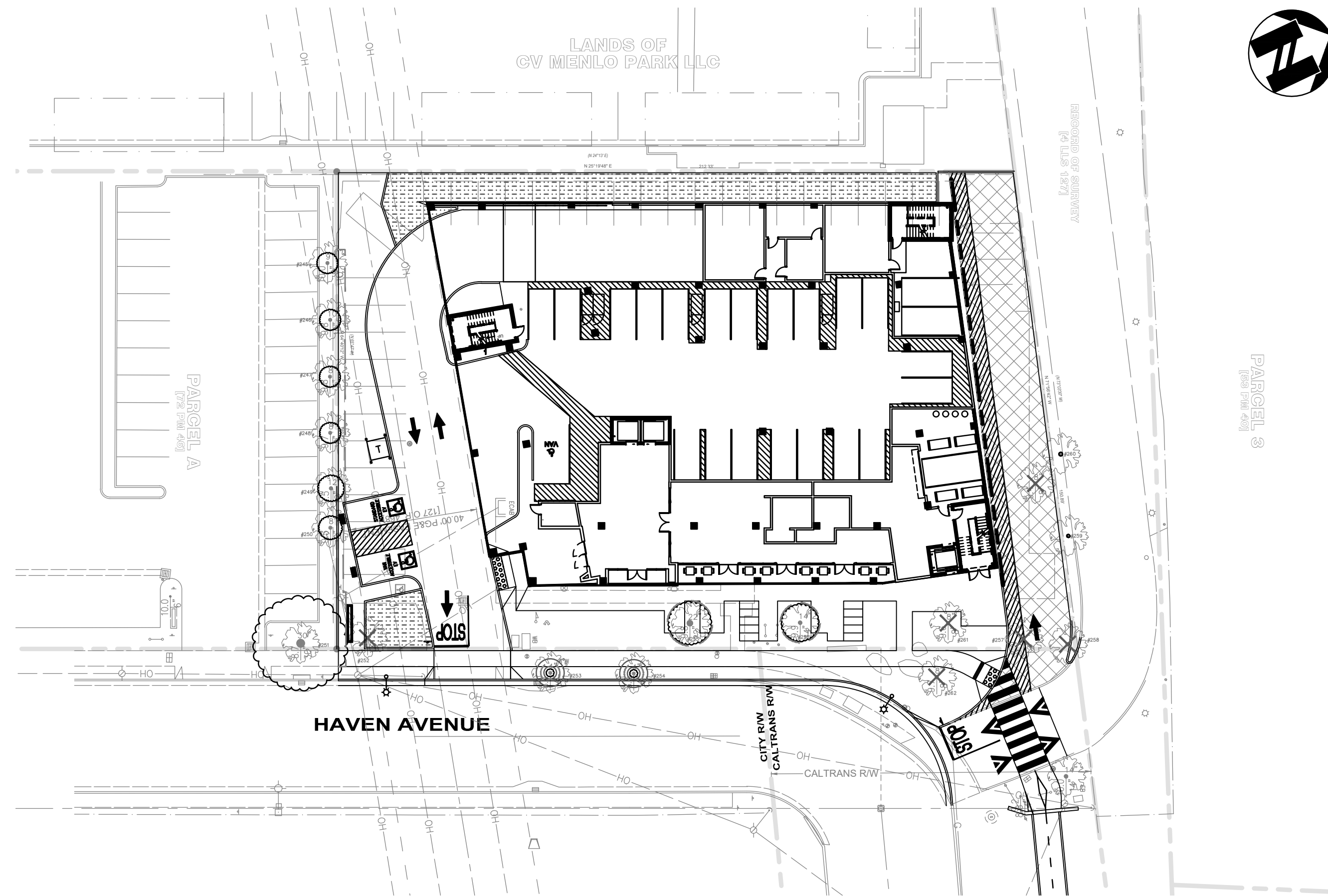
  

6" W	EXISTING WATER LINE	○	PROPOSED GAS VALVE
2" G	EXISTING GAS LINE	○	OVERLAND RELEASE
8" SS	EXISTING SANITARY SEWER LINE	○	CONTROLLER CABINET
SD	EXISTING STORM DRAIN LINE	○	FIRE HYDRANT
E	EXISTING ELECTRICAL LINE	○	GUY POLE
TEL	EXISTING TELEPHONE LINE	○	HANDICAP SPACE
6" FS	PROPOSED FIRE SERVICE	○	PROPOSED STORM DRAIN CATCH BASIN
W	PROPOSED WATER LINE	○	PROPOSED WATER METER / GAS METER
2" G	PROPOSED GAS LINE	○	PROPOSED SANITARY SEWER CLEANOUT
S	PROPOSED SANITARY SEWER LINE	○	PROPOSED STORM DRAIN CLEANOUT
E	PROPOSED STORM DRAIN LINE	○	PROPOSED FIRE HYDRANT
E	PROPOSED ELECTRICAL LINE	○	PROPOSED SANITARY SEWER MANHOLE/STORM DRAIN MANHOLE
TEL	PROPOSED TELEPHONE LINE	○	
JUT	PROPOSED JOINT UTILITY TRENCH	○	
R	RIDGE LINE	○	
X	PROPOSED FENCE	○	
---	PROPERTY LINE	○	
---	MATCH LINE	○	
---	LIMIT OF DEMOLITION	○	
GB	GRADE BREAK	○	
307	PROPOSED CONTOUR	○	

# MENLO PARK HOTEL

3723 HAVEN AVENUE  
MENLO PARK, CA 94025

SITE KEY MAP 1"=30'



VICINITY MAP N.T.S.

## SHEET INDEX

### CIVIL

- C-1.1 COVER SHEET
- C-2.1 HORIZONTAL CONTROL PLAN
- C-3.1 GRADING PLAN
- C-4.1 UTILITY PLAN
- C-5.1 STORM WATER CONTROL PLAN
- C-6.1 PRE-DEVELOPMENT HYDROLOGY MAP
- C-6.2 POST-DEVELOPMENT HYDROLOGY MAP
- C-7.1 FIRE TRUCK EXHIBIT

- T-1 TOPOGRAPHIC/ BOUNDARY MAP
- SL-1 PHOTOMETRIC PLAN

## PROJECT DATA

**A.P.N.:** 055-170-350 (PARCEL TWO)

### BASIS OF BEARING

THE BEARING OF SOUTH 70°06'12" EAST TAKEN ON THE CENTERLINE OF HAVEN AVENUE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY NO. 2629 FILED FOR RECORD ON OCTOBER 8, 2014 IN VOLUME 40 OF LLS MAPS AT PAGE 38, SAN MATEO COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

### FLOOD NOTES

THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 06081C0306F, DATED APRIL 5, 2019, AS BEING LOATED IN FLOOD ZONE "AE" (EL 10);

AREAS OF THE 1% ANNUAL FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANGE OF BEING EQUALED OT EXCEEDED IN ANY GIVEN YEAR; BASE FLOOD ELEVATIONS DETERMINED.

INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE (WWW.FEMA.GOV) ON SEPTEMBER 22, 2020.

### BENCHMARK

NGS BENCHMARK "X572 RESET":  
FOUND 2.5" BRASS DISK IN A MONUMENT BOX LOCATED ON THE SOUTHERLY SIDE OF BAYFRONT EXPRESSWAY ALONG A BIKE PATH, EAST OF WILLOW ROAD.  
ELEVATION: 9.30 FEET (GPS OBSERVED) (DATUM) NAVD 1988

## PROJECT CONTACTS

### OWNER

FPG DEVELOPMENT GROUP  
222 LAKEVIEW AVENUE, SUITE 200  
WEST PALM BEACH, FL 33401  
RICHARD A. MIELBY  
PHONE: (561) 227-1366  
EMAIL: RMIELBY@FPG-CORP.COM

### CIVIL ENGINEER

ams associates, inc.  
801 YGNACIO VALLEY ROAD, SUITE 220  
WALNUT CREEK, CA 94596  
AL SHAGHAGHI  
PHONE: (925) 943-2777  
FAX: (925) 943-2778  
EMAIL: AL@AMSASSOCIATES.US

### ARCHITECT

ELEVATE ARCHITECTURE STUDIO  
1775 THE EXCHANGE SE, SUITE 530  
ATLANTA, GA 30339  
NITIN PATEL  
PHONE: (828) 508-1866  
EMAIL: NPATEL@ELEVATEARCHITECT.COM

### LANDSCAPE ARCHITECT

GATES + ASSOCIATES  
2671 CROW CANYON RD  
SAN RAMON, CA 94583  
ERIK GELLERMAN  
PHONE: (925) 738-8176 EXT.248  
CELL: (925) 389-9568  
EMAIL: ERIK@GATES.COM

### PLANNING DIVISION

CITY OF MENLO PARK  
MATTHEW PRUTER  
ASSOCIATE PLANNER  
CITY HALL - 1ST FLOOR  
701 LAUREL ST.  
MENLO PARK, CA 94025  
PHONE: (650) 330-6703  
EMAIL: MAPRUTER@MENLOPARK.ORG

### FIRE DISTRICT

MENLO PARK FIRE PROTECTION DISTRICT  
300 MIDDLEFIELD ROAD  
MENLO PARK, CA 94025

### SEWER DISTRICT

WEST BAY SANITARY DISTRICT  
500 LAUREL STREET  
MENLO PARK, CA 94025  
PHONE: (650) 321-0384  
EMAIL: INFO@WESTBAYSANITARY.ORG

### WATER DISTRICT

MENLO PARK MUNICIPAL WATER DISTRICT  
333 BURGESS DR  
MENLO PARK, CA 94025  
PHONE: (650) 330-6780

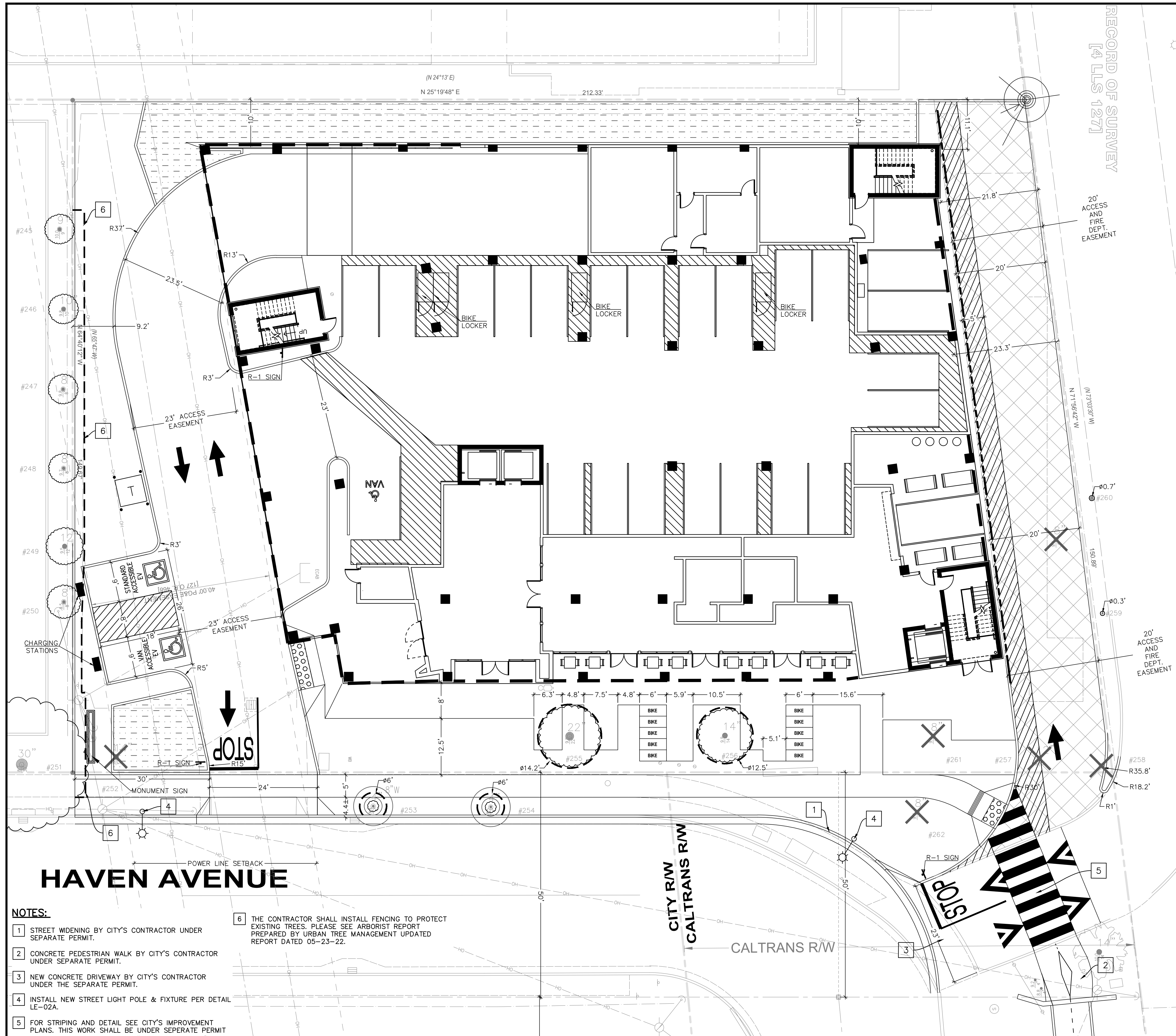
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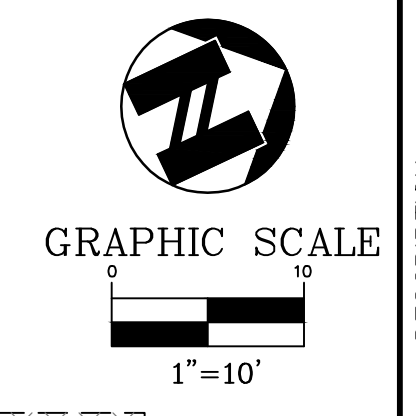
COVER SHEET	C-1.1
OF	
PROJECT	18-2439

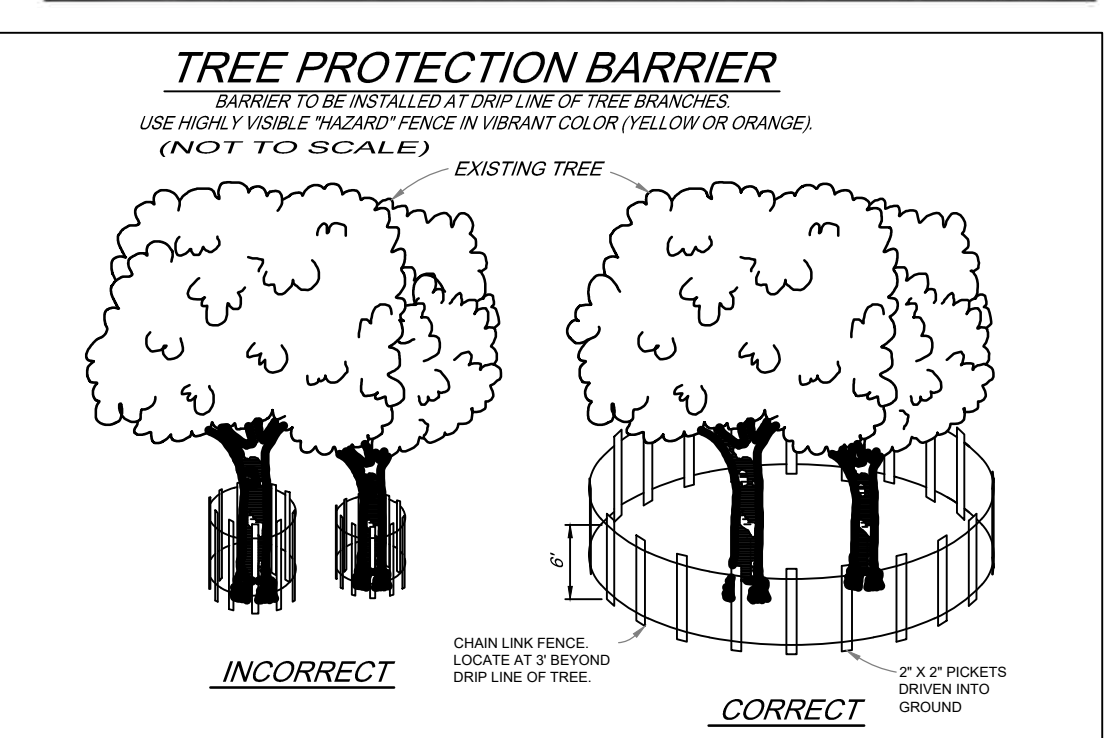
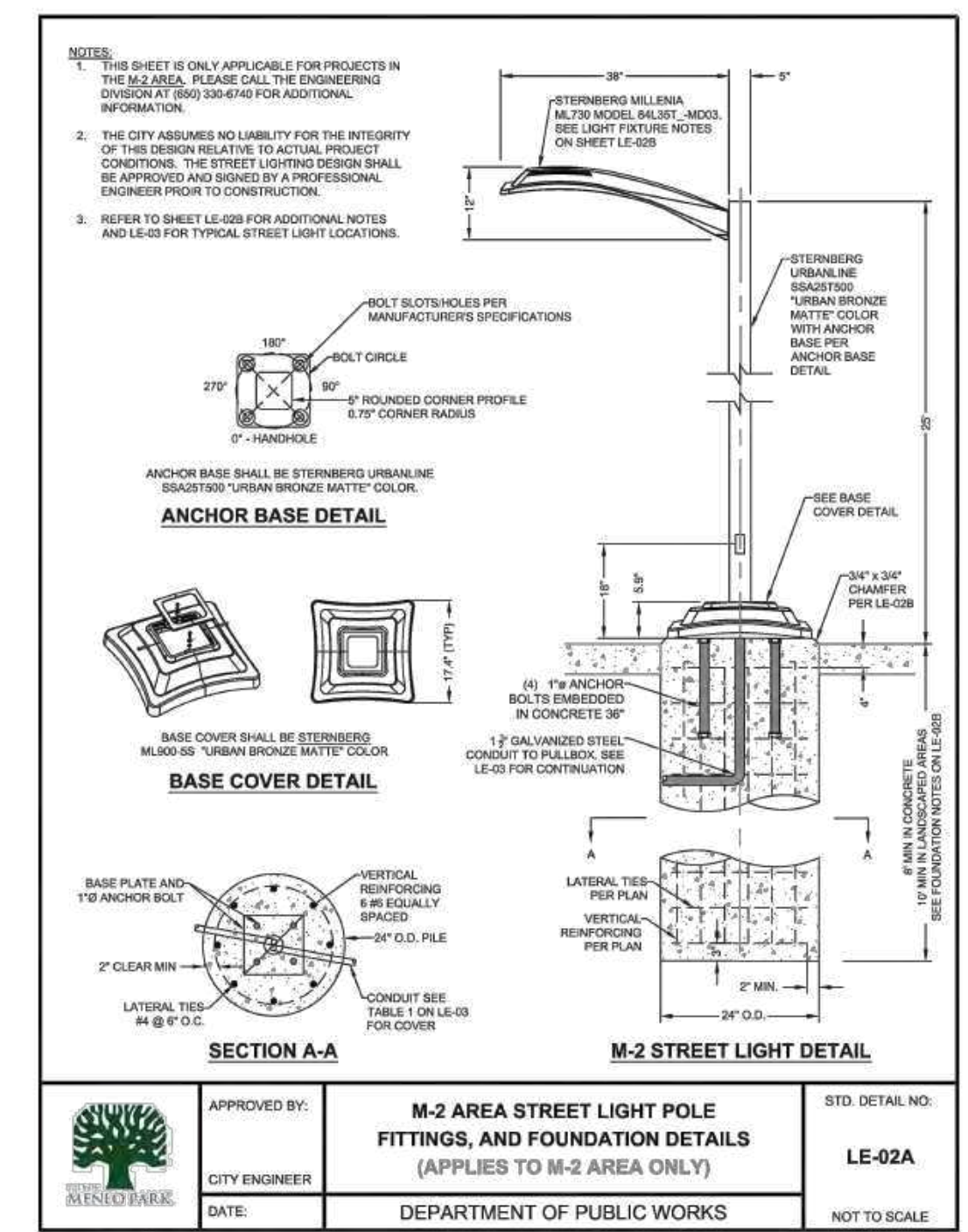
801 YGNACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778	associates, inc. PLANNING ENGINEERING SURVEYING
CALIFORNIA	
SAN MATEO COUNTY	
MENLO PARK	



RECORD OF SURVEY  
[4 LLS 127]



- NOTES AND LEGENDS**
- CONCRETE PAVEMENT WITH SCORE JOINT
  - ACCESS AND EASEMENT LINE
  - BIO-RETENTION AREA
  - PROPERTY LINE
  - EXISTING TREES TO BE REMOVED
  - EXISTING TREES TO BE PROTECTED (6-FOOT CHAIN LINK FENCING)
  - EXISTING TREES TO BE RELOCATED SEE LANDSCAPING PLANS
  - NEW COLUMN
  - BUILDING OUTLINE



- NOTES:**
- 1 STREET WIDENING BY CITY'S CONTRACTOR UNDER SEPARATE PERMIT.
  - 2 CONCRETE PEDESTRIAN WALK BY CITY'S CONTRACTOR UNDER SEPARATE PERMIT.
  - 3 NEW CONCRETE DRIVEWAY BY CITY'S CONTRACTOR UNDER THE SEPARATE PERMIT.
  - 4 INSTALL NEW STREET LIGHT POLE & FIXTURE PER DETAIL LE-02A.
  - 5 FOR STRIPING AND DETAIL SEE CITY'S IMPROVEMENT PLANS. THIS WORK SHALL BE UNDER SEPARATE PERMIT

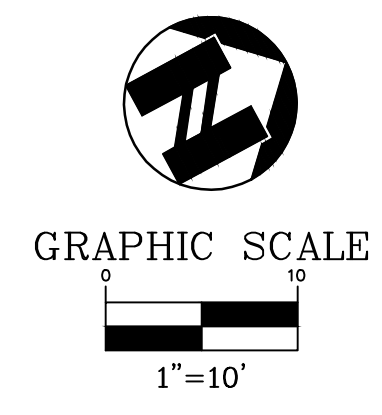
6 THE CONTRACTOR SHALL INSTALL FENCING TO PROTECT EXISTING TREES. PLEASE SEE ARBORIST REPORT PREPARED BY URBAN TREE MANAGEMENT UPDATED REPORT DATED 05-23-22.

DATE:	10-12-22	REV #	BY	DATE	DESCRIPTION
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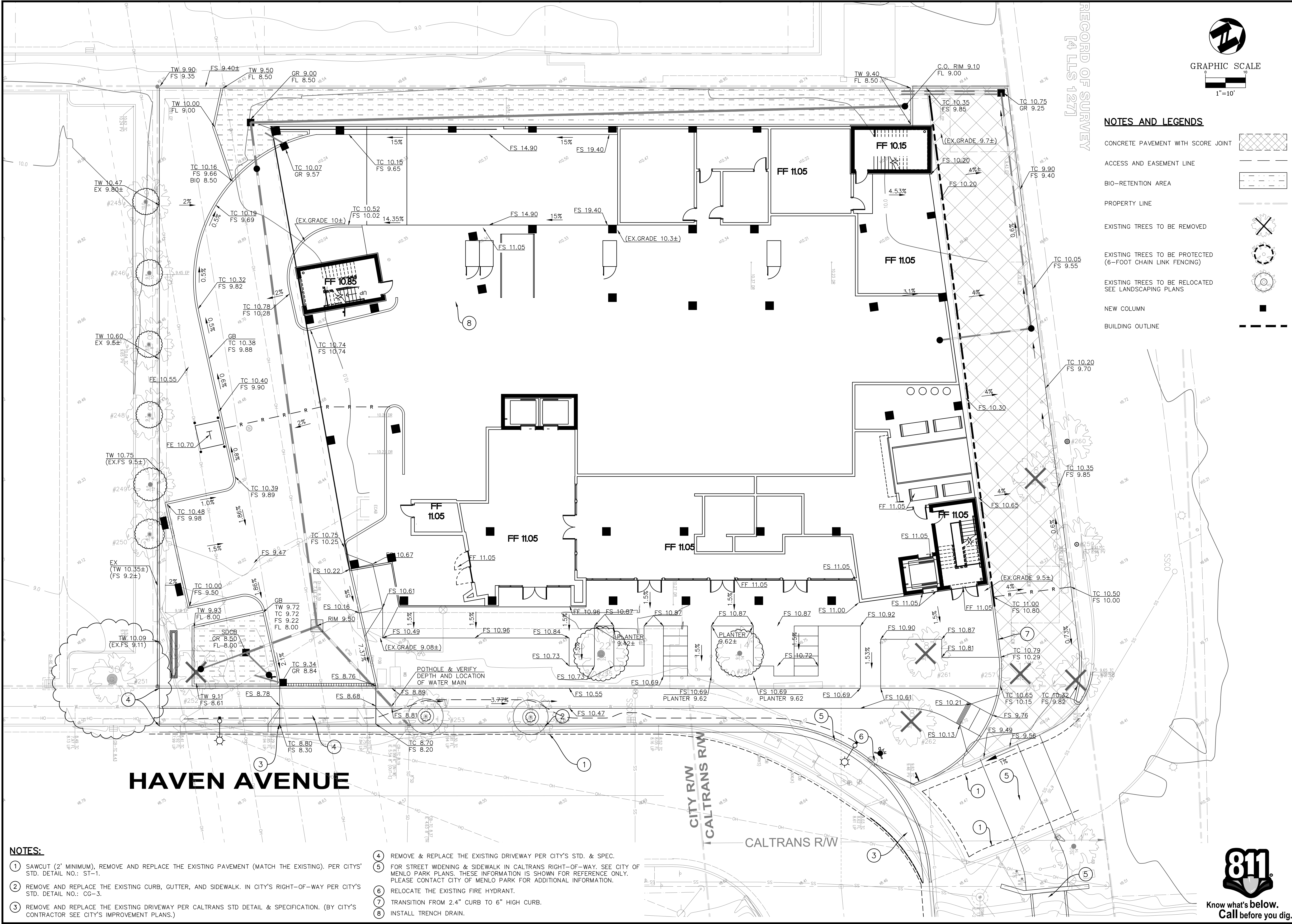
<b>ams</b> associates, inc.	801 YGNACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778
HORIZONTAL CONTROL PLAN OF PROJECT	FPG DEVELOPMENT GROUP 3723 HAVEN AVENUE SAN MATEO COUNTY CALIFORNIA
SHEET C-21	18-2439

RECORD OF SURVEY  
[4 LLS 127]



**NOTES AND LEGENDS**

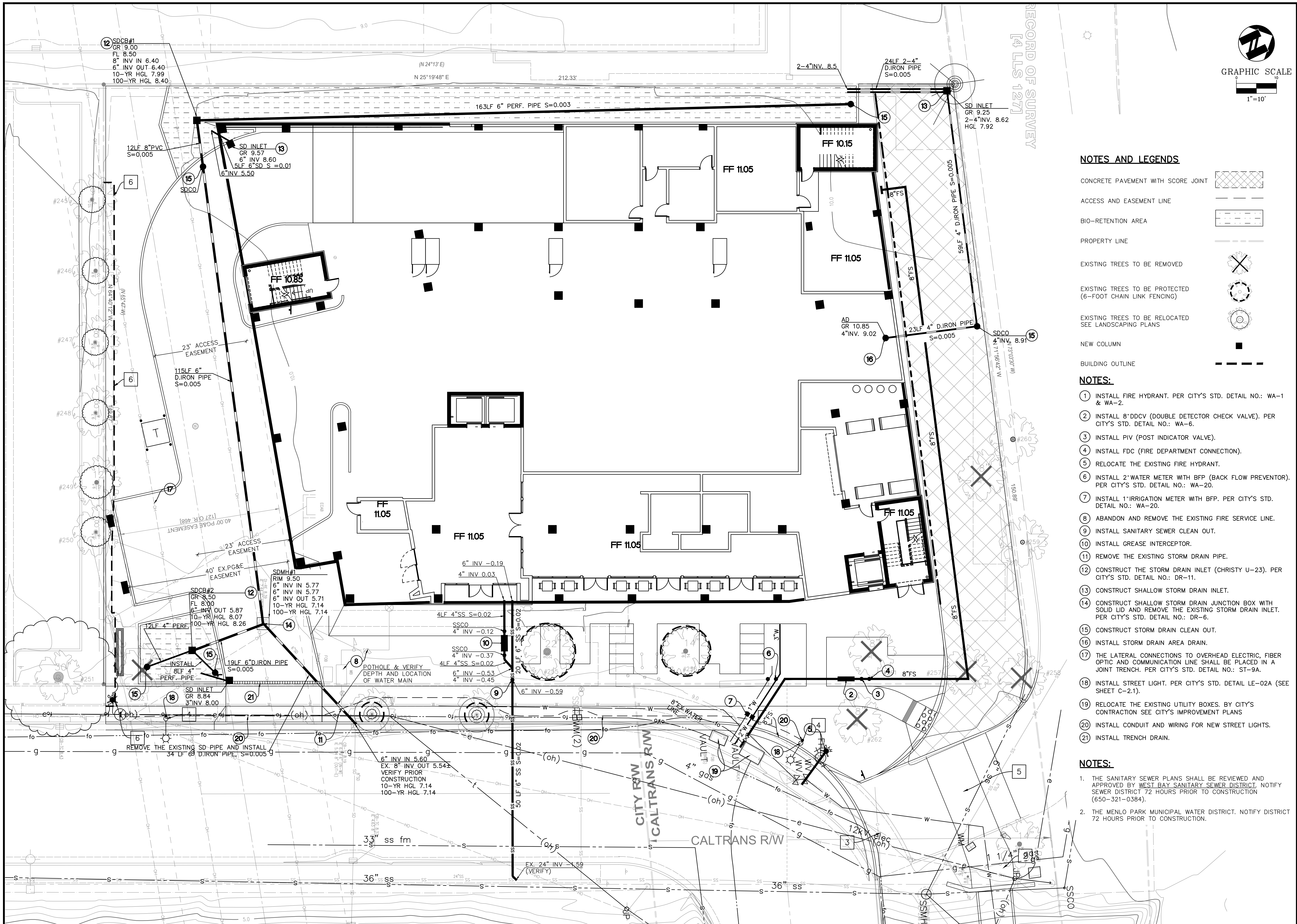
CONCRETE PAVEMENT WITH SCORE JOINT	
ACCESS AND EASEMENT LINE	
BIO-RETENTION AREA	
PROPERTY LINE	
EXISTING TREES TO BE REMOVED	
EXISTING TREES TO BE PROTECTED (6-FOOT CHAIN LINK FENCING)	
EXISTING TREES TO BE RELOCATED (SEE LANDSCAPING PLANS)	
NEW COLUMN	
BUILDING OUTLINE	



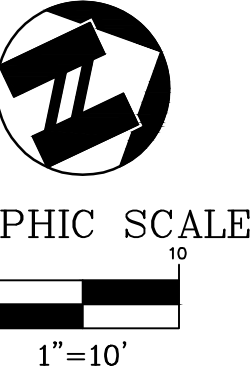
- NOTES:**
- ① SAWCUT (2' MINIMUM), REMOVE AND REPLACE THE EXISTING PAVEMENT (MATCH THE EXISTING). PER CITY'S STD. DETAIL NO.: ST-1.
  - ② REMOVE AND REPLACE THE EXISTING CURB, GUTTER, AND SIDEWALK. IN CITY'S RIGHT-OF-WAY PER CITY'S STD. DETAIL NO.: CG-3.
  - ③ REMOVE AND REPLACE THE EXISTING DRIVEWAY PER CALTRANS STD DETAIL & SPECIFICATION. (BY CITY'S CONTRACTOR SEE CITY'S IMPROVEMENT PLANS.)
  - ④ REMOVE & REPLACE THE EXISTING DRIVEWAY PER CITY'S STD. & SPEC.
  - ⑤ FOR STREET WIDENING & SIDEWALK IN CALTRANS RIGHT-OF-WAY. SEE CITY OF MENLO PARK PLANS. THESE INFORMATION IS SHOWN FOR REFERENCE ONLY. PLEASE CONTACT CITY OF MENLO PARK FOR ADDITIONAL INFORMATION.
  - ⑥ RELOCATE THE EXISTING FIRE HYDRANT.
  - ⑦ TRANSITION FROM 2.4" CURB TO 6" HIGH CURB.
  - ⑧ INSTALL TRENCH DRAIN.

DATE: 10-12-22	REV #	BY	DATE	DESCRIPTION
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FILE PATH: 2439Grads.dwg				
associates, inc. PLANNING ENGINEERING SURVEYING				
801 YGNACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778				
<b>GRADING PLAN</b> FPG DEVELOPMENT GROUP		CALIFORNIA		
3723 HAVEN AVENUE MENLO PARK		SAN MATEO COUNTY		
SHEET C-31 OF	PROJECT 18-2439			





RECORD OF SURVEY  
[4 LLS 127]



**NOTES AND LEGENDS**

- CONCRETE PAVEMENT WITH SCORE JOINT
- ACCESS AND EASEMENT LINE
- BIO-RETENTION AREA
- PROPERTY LINE
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE PROTECTED (6-FOOT CHAIN LINK FENCING)
- EXISTING TREES TO BE RELOCATED SEE LANDSCAPING PLANS
- NEW COLUMN
- BUILDING OUTLINE

**NOTES:**

1. INSTALL FIRE HYDRANT. PER CITY'S STD. DETAIL NO.: WA-1 & WA-2.
2. INSTALL 8" DDCV (DOUBLE DETECTOR CHECK VALVE). PER CITY'S STD. DETAIL NO.: WA-6.
3. INSTALL PIV (POST INDICATOR VALVE).
4. INSTALL FDC (FIRE DEPARTMENT CONNECTION).
5. RELOCATE THE EXISTING FIRE HYDRANT.
6. INSTALL 2" WATER METER WITH BFP (BACK FLOW PREVENTOR). PER CITY'S STD. DETAIL NO.: WA-20.
7. INSTALL 1" IRRIGATION METER WITH BFP. PER CITY'S STD. DETAIL NO.: WA-20.
8. ABANDON AND REMOVE THE EXISTING FIRE SERVICE LINE.
9. INSTALL SANITARY SEWER CLEAN OUT.
10. INSTALL GREASE INTERCEPTOR.
11. REMOVE THE EXISTING STORM DRAIN PIPE.
12. CONSTRUCT THE STORM DRAIN INLET (CHRISTY U-23). PER CITY'S STD. DETAIL NO.: DR-11.
13. CONSTRUCT SHALLOW STORM DRAIN INLET.
14. CONSTRUCT SHALLOW STORM DRAIN JUNCTION BOX WITH SOLID LID AND REMOVE THE EXISTING STORM DRAIN INLET. PER CITY'S STD. DETAIL NO.: DR-6.
15. CONSTRUCT STORM DRAIN CLEAN OUT.
16. INSTALL STORM DRAIN AREA DRAIN.
17. THE LATERAL CONNECTIONS TO OVERHEAD ELECTRIC, FIBER OPTIC AND COMMUNICATION LINE SHALL BE PLACED IN A JOINT TRENCH. PER CITY'S STD. DETAIL NO.: ST-9A.
18. INSTALL STREET LIGHT. PER CITY'S STD. DETAIL LE-02A (SEE SHEET C-2.1).
19. RELOCATE THE EXISTING UTILITY BOXES. BY CITY'S CONTRACTION SEE CITY'S IMPROVEMENT PLANS
20. INSTALL CONDUIT AND WIRING FOR NEW STREET LIGHTS.
21. INSTALL TRENCH DRAIN.

**NOTES:**

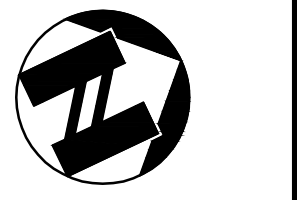
1. THE SANITARY SEWER PLANS SHALL BE REVIEWED AND APPROVED BY WEST BAY SANITARY SEWER DISTRICT. NOTIFY SEWER DISTRICT 72 HOURS PRIOR TO CONSTRUCTION (650-321-0384).
2. THE MENLO PARK MUNICIPAL WATER DISTRICT. NOTIFY DISTRICT 72 HOURS PRIOR TO CONSTRUCTION.

DESCRIPTION	DATE	BY	REV #
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PROJ. MGR:			
FILE PATH: 2439UH.dwg			

UTILITY PLAN	801 YGNACIO VALLEY ROAD	PLANNING	ENGINEERING	SURVEYING
OF	SUITE 220			
PROJECT	WALNUT CREEK, CA 94596			
18-2439	925-943-2777	FAX 925-943-2778		
	SAN MATEO COUNTY	CALIFORNIA		
	MENLO PARK			

DRAINAGE AREA	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	PERVIOUS AREA X 0.1 (SF)	EFFECTIVE IMPERVIOUS AREA (EIA) (SF)	REQUIRED BIORETENTION AREA (SF) (EIA*0.04)	BIORETENTION PROVIDED (SF)
DMA 1	28,805	24,733	2,374	237	24,970	999	1,699
DMA 2	4,405	3,508	681	68	3,576	143	216

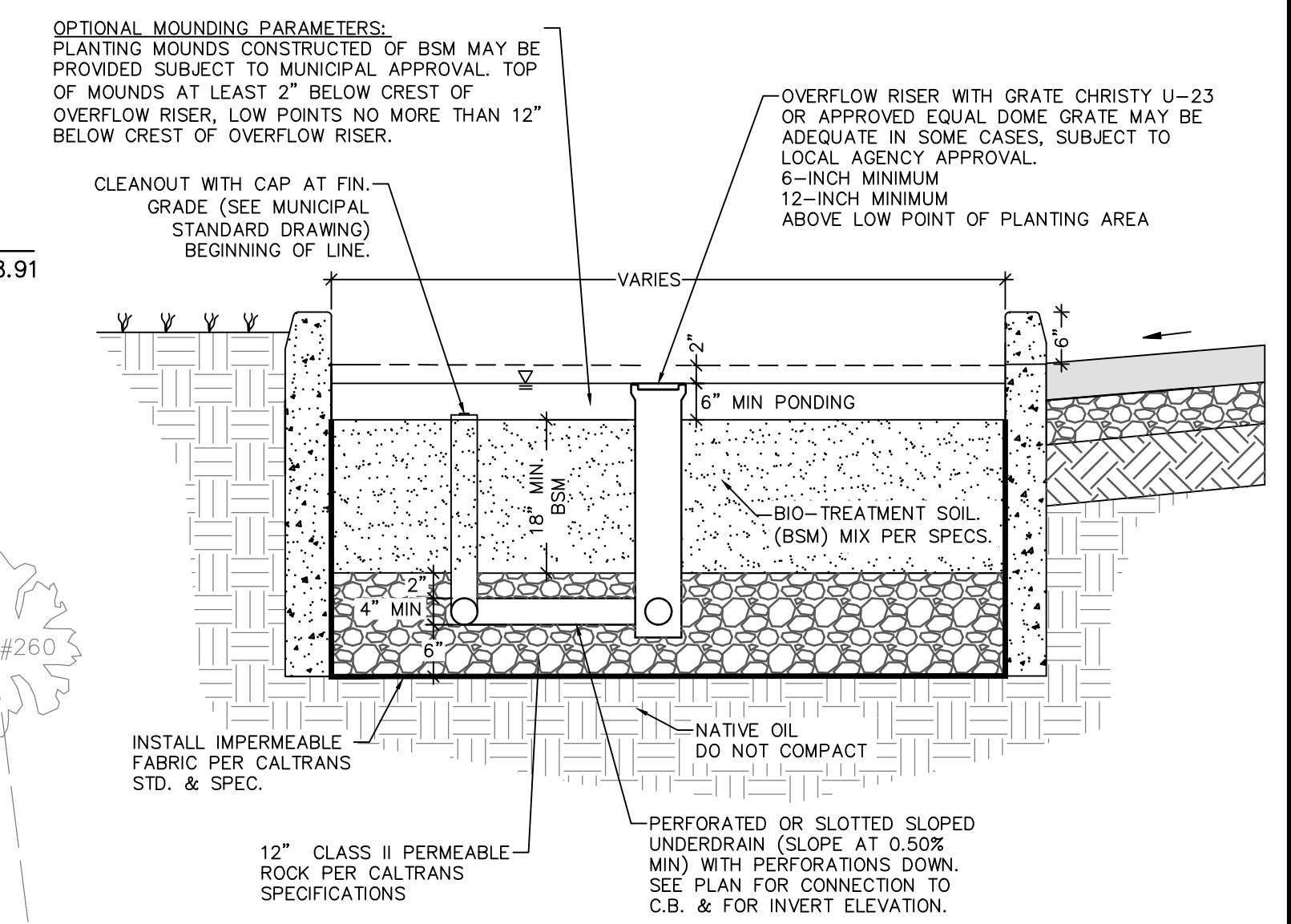


GRAPHIC SCALE



**NOTES AND LEGENDS**

- CONCRETE PAVEMENT WITH SCORE JOINT
- ACCESS AND EASEMENT LINE
- BIO-RETENTION AREA
- PROPERTY LINE
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE PROTECTED (6-FOOT CHAIN LINK FENCING)
- EXISTING TREES TO BE RELOCATED SEE LANDSCAPING PLANS
- NEW COLUMN
- OVERLAND FLOW



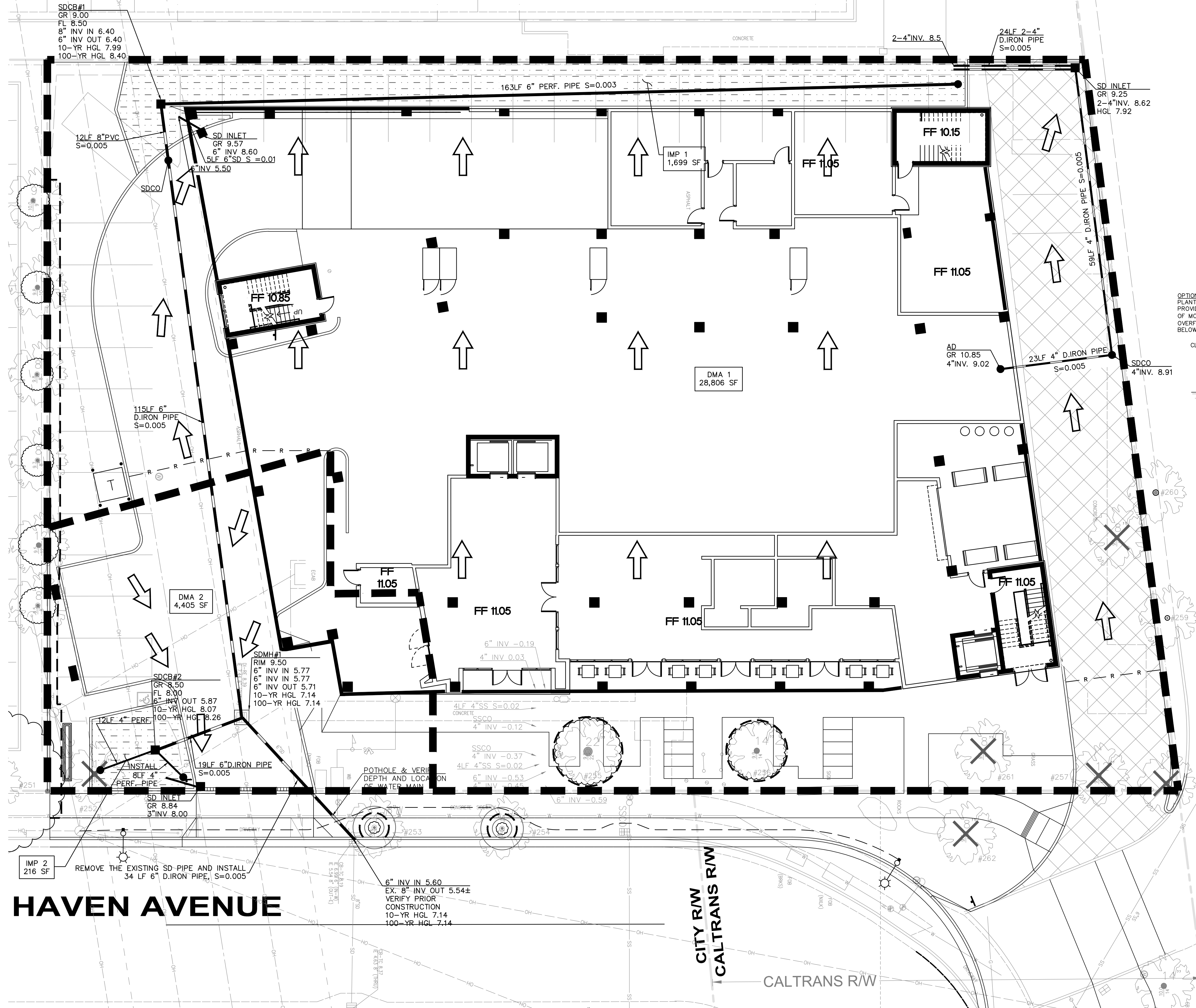
**BIORETENTION FACILITY**  
NOT TO SCALE

**NOTE:**  
THE DESIGNED CHOSEN BIO-RETENTION AREA ON A FEW PLACES FOR TREATMENT OF RUN-OFFS FOR IMPERVIOUS AREAS. AS SHOWN ON THIS DRAWING.

NEW AREAS	
IMPERVIOUS AREA =	28,240 FT <sup>2</sup> = 0.65 AC (86%)
PERVIOUS AREA =	4,970 FT <sup>2</sup> = 0.11 AC (14%)
TOTAL =	33,210 FT <sup>2</sup> = 0.76 AC

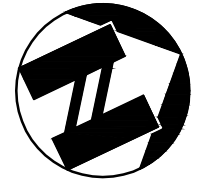
EXISTING AREAS	
IMPERVIOUS AREA =	28,174 FT <sup>2</sup> = 0.65 AC (86%)
PERVIOUS AREA =	5,036 FT <sup>2</sup> = 0.11 AC (14%)
TOTAL =	33,210 FT <sup>2</sup> = 0.76 AC



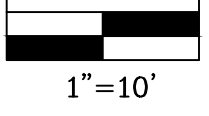
**HAVEN AVENUE**

SHEET C-51 OF PROJECT 18-2439  
 STORMWATER CONTROL PLAN  
 FPG DEVELOPMENT GROUP  
 3723 HAVEN AVENUE  
 MENLO PARK  
 SAN MATEO COUNTY  
 CALIFORNIA  
 ASSOCIATES, INC. PLANNING ENGINEERING SURVEYING  
 801 YGNACIO VALLEY ROAD  
 SUITE 220  
 WALNUT CREEK, CA 94596  
 925-943-2777 FAX 925-943-2778  
 DATE: 10-12-22 REV # 1  
 SCALE: 1"=10'  
 DESIGNED: [Signature]  
 DRAWN: [Signature]  
 CHECKED: [Signature]  
 PROJ. MGR: [Signature]  
 FILE PATH: 2439SW.dwg

CV MENLO PARK LLC



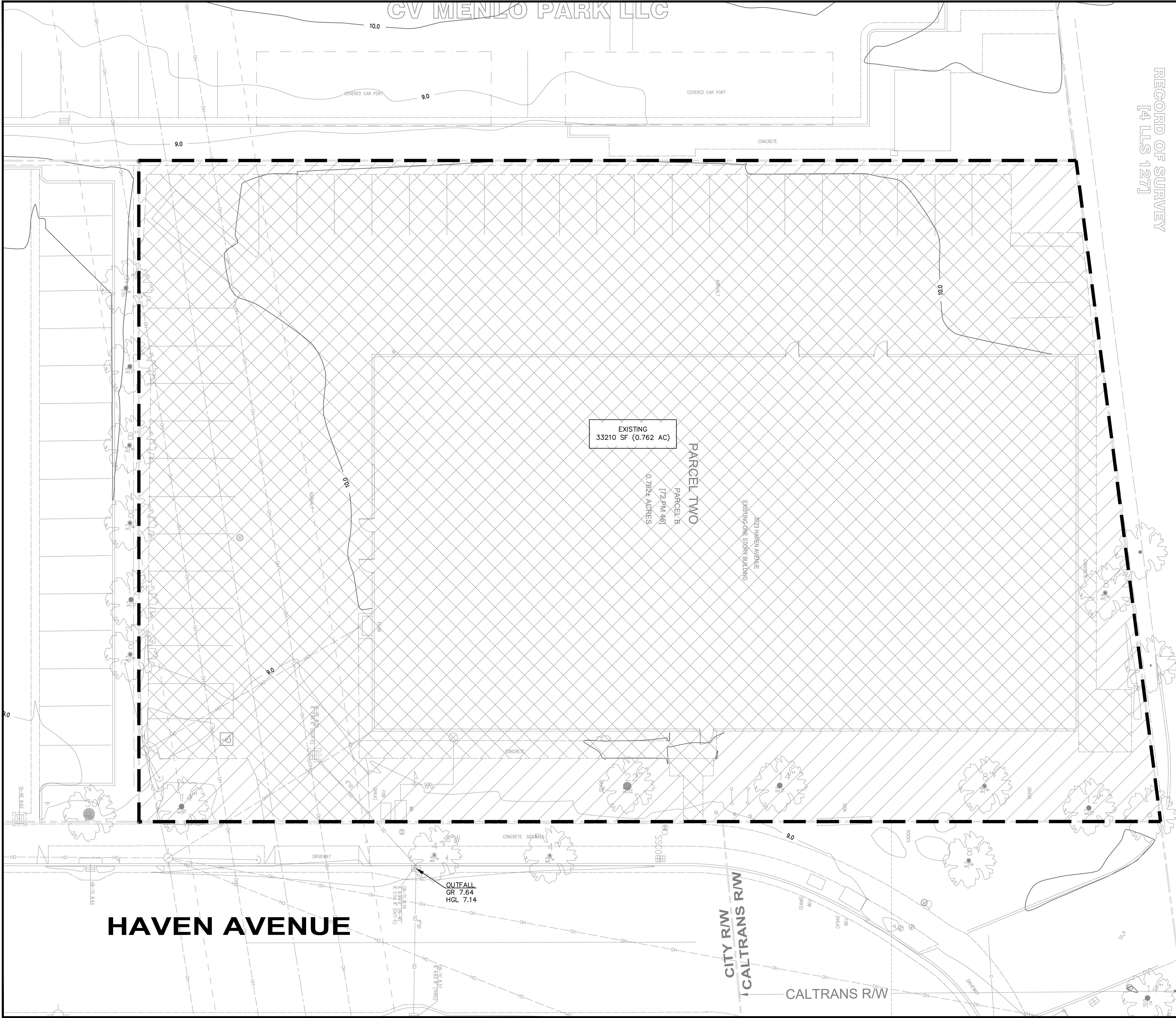
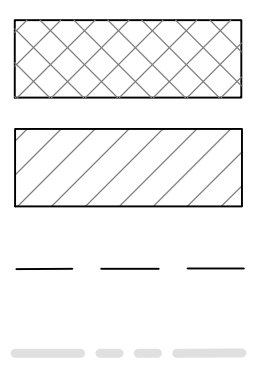
GRAPHIC SCALE



RECORD OF SURVEY  
[4 LLS 127]

**NOTES AND LEGENDS**

- IMPERVIOUS AREA (C=0.95)
- PERVIOUS AREA (C=0.35)
- ACCESS AND EASEMENT LINE
- PROPERTY LINE



EXISTING  
33210 SF (0.762 AC)

PARCEL TWO  
PARCEL B  
[72 PM 48]  
0.7624 ACRES

8723 HAVEN AVENUE  
EXISTING ONE STORY BUILDING

**EXISTING AREAS**  
 IMPERVIOUS AREA = 28,174 FT<sup>2</sup> = 0.65 AC (86%)  
 PERVIOUS AREA = 5,036 FT<sup>2</sup> = 0.11 AC (14%)  
 TOTAL = 33,210 FT<sup>2</sup> = 0.76 AC

RUN-OFF COEFFICIENT (EXISTING) = 0.86  
 (SEE HYDROLOGY REPORT 1-3)  
 MINIMUM TIME OF CONCENTRATION = 10 MIN.

**WATERSHED**  
 ATHERTON CHANNEL

HAVEN AVENUE

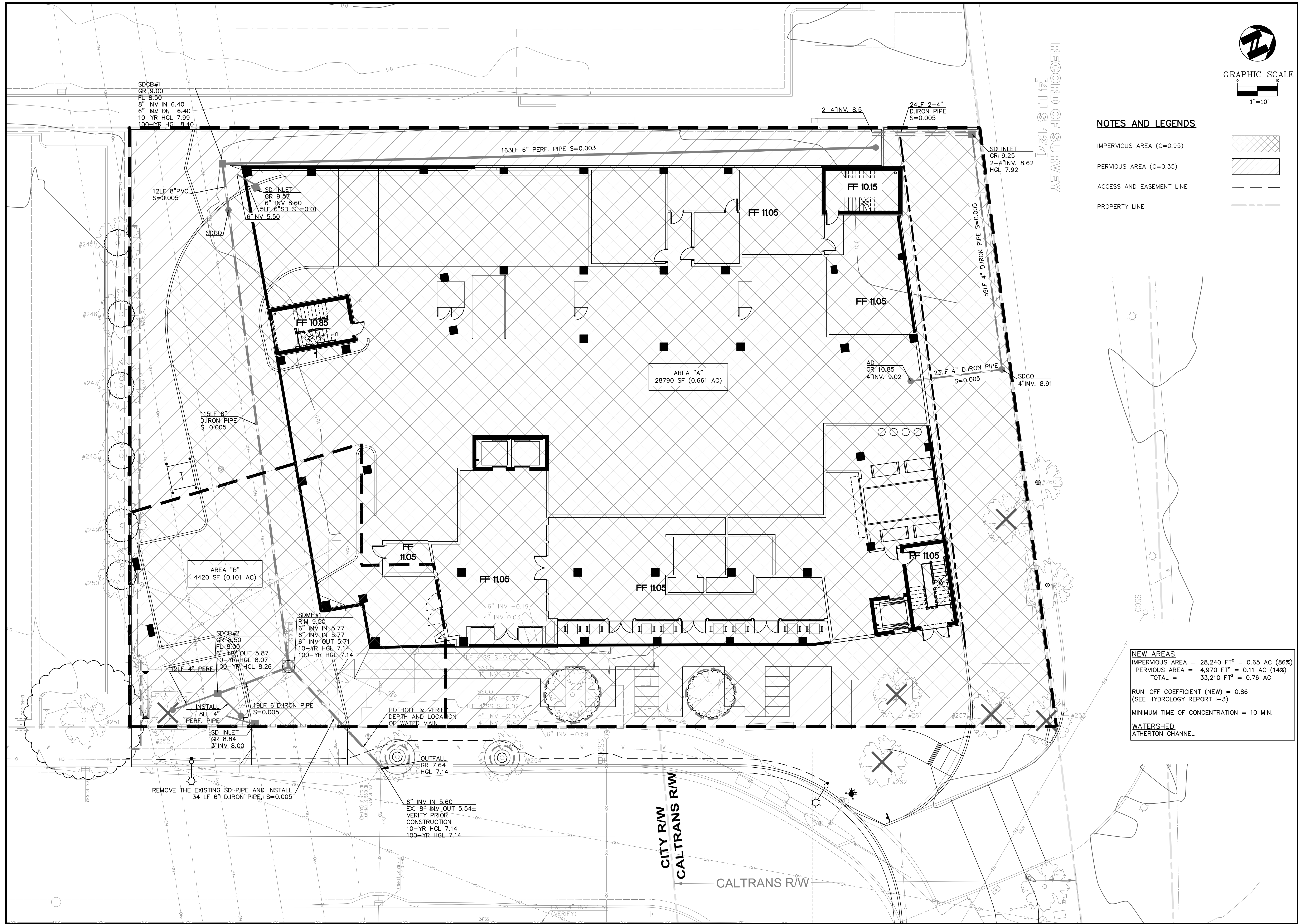
CITY R/W  
CALTRANS R/W

CALTRANS R/W

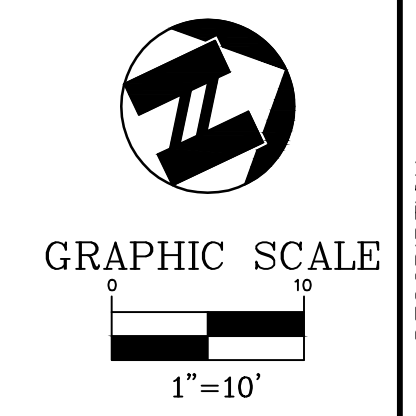
OUTFALL  
GR 7.64  
HGL 7.14

SHEET <b>C-61</b>	PROJECT <b>18-2439</b>	<b>PRE-DEVELOPMENT HYDROLOGY MAP</b>				MENLO PARK	SAN MATEO COUNTY	CALIFORNIA
		FPG DEVELOPMENT GROUP						
OF		3723 HAVEN AVENUE				PLANNING ENGINEERING SURVEYING		
PROJECT		801 YGNACIO VALLEY ROAD				SURVEYING		
DATE: 10-12-22		REV #	BY	DATE	DESCRIPTION			
SCALE: 1"=10'		△						
DESIGNED:		△						
DRAWN:		△						
CHECKED:		△						
PROJ. MGR:		△						
FILE PATH:		2439Hydro_Fre.dwg						





RECORD OF SURVEY  
 [4 LLS 127]



- ### NOTES AND LEGENDS
- IMPERVIOUS AREA (C=0.95)
  - PERVIOUS AREA (C=0.35)
  - ACCESS AND EASEMENT LINE
  - PROPERTY LINE

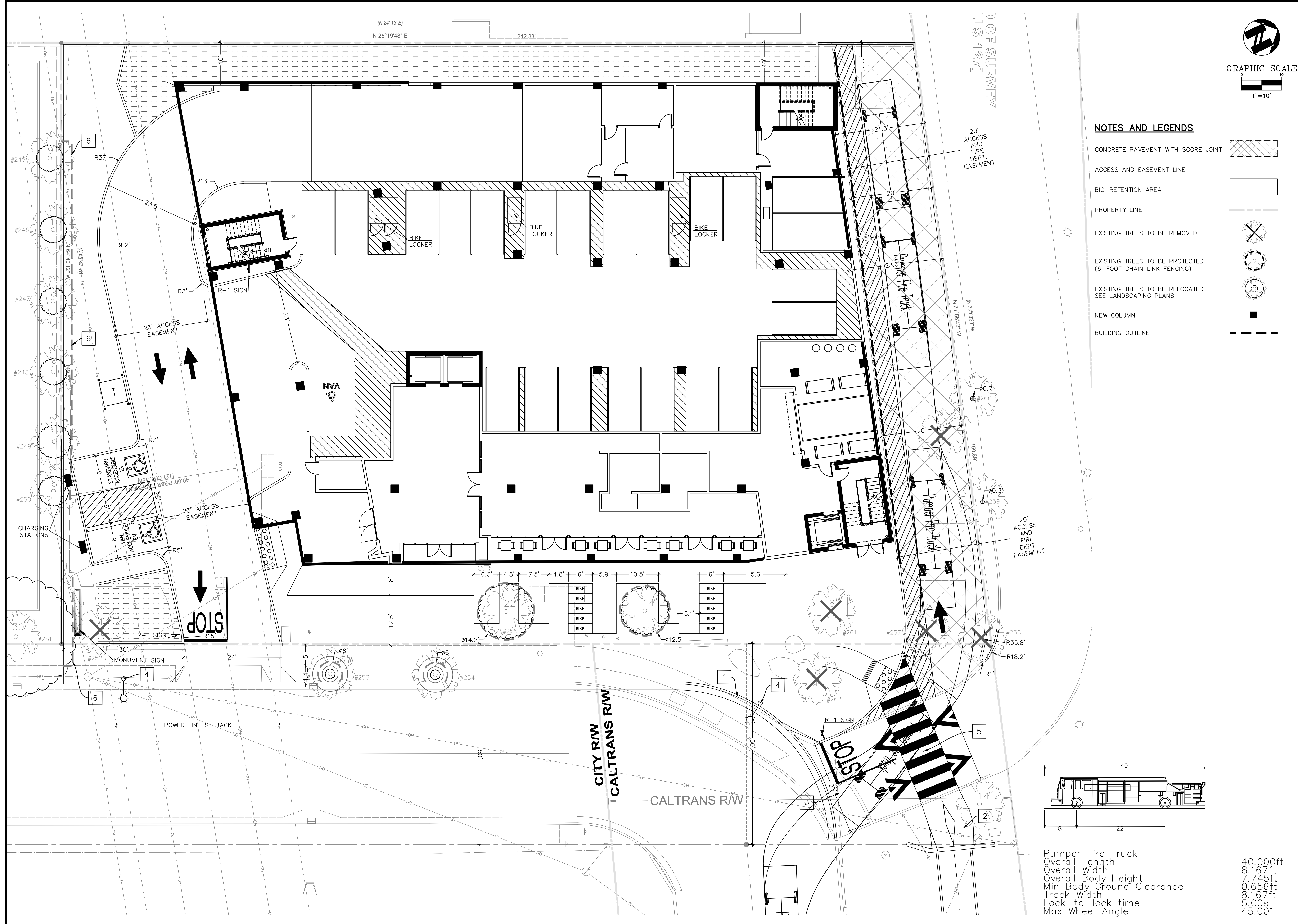
**NEW AREAS**  
 IMPERVIOUS AREA = 28,240 FT<sup>2</sup> = 0.65 AC (86%)  
 PERVIOUS AREA = 4,970 FT<sup>2</sup> = 0.11 AC (14%)  
 TOTAL = 33,210 FT<sup>2</sup> = 0.76 AC

RUN-OFF COEFFICIENT (NEW) = 0.86  
 (SEE HYDROLOGY REPORT I-3)

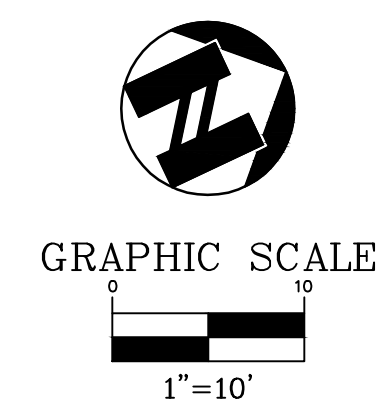
MINIMUM TIME OF CONCENTRATION = 10 MIN.

WATERSHED  
 ATHERTON CHANNEL

<b>SHEET</b> C-6.2	<b>PROJECT</b> OF	<b>DATE</b> 10-12-22	<b>REV #</b> 1	<b>BY</b> [Signature]	<b>DESCRIPTION</b>
<b>PROJECT</b> 18-2439		<b>SCALE</b> 1"=10'		<b>DESIGNED:</b> [Signature]	
<b>PROJECT</b> 18-2439		<b>DRAWN:</b> [Signature]		<b>CHECKED:</b> [Signature]	
<b>PROJECT</b> 18-2439		<b>PROJ. MGR:</b> [Signature]		<b>FILE PATH:</b> 2439Hydro_Post.dwg	
<b>POST-DEVELOPMENT HYDROLOGY MAP</b>					
<b>FPG DEVELOPMENT GROUP</b>					
801 YGNACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778					
3723 HAVEN AVENUE MENLO PARK CALIFORNIA					
SAN MATEO COUNTY PLANNING ENGINEERING SURVEYING					
<b>ams</b> associates, inc.					

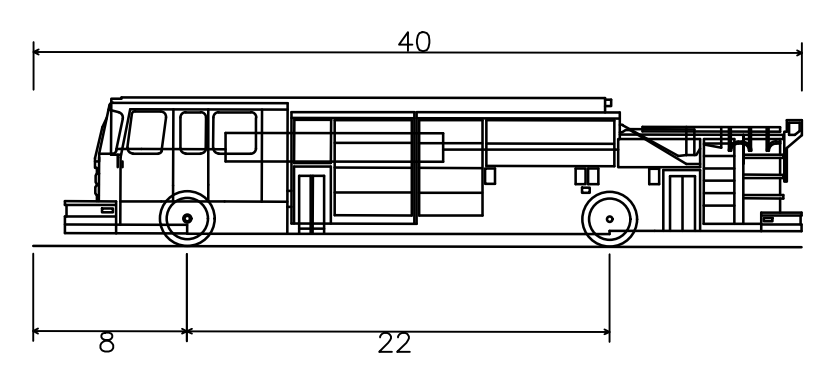


OF SURVEY  
LS 1271



**NOTES AND LEGENDS**

- CONCRETE PAVEMENT WITH SCORE JOINT
- ACCESS AND EASEMENT LINE
- BIO-RETENTION AREA
- PROPERTY LINE
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE PROTECTED (6-FOOT CHAIN LINK FENCING)
- EXISTING TREES TO BE RELOCATED SEE LANDSCAPING PLANS
- NEW COLUMN
- BUILDING OUTLINE



Pumper Fire Truck  
Overall Length 40.000ft  
Overall Width 8.167ft  
Overall Body Height 7.745ft  
Min Body Ground Clearance 0.656ft  
Track Width 8.167ft  
Lock-to-lock time 5.00s  
Max Wheel Angle 45.00°

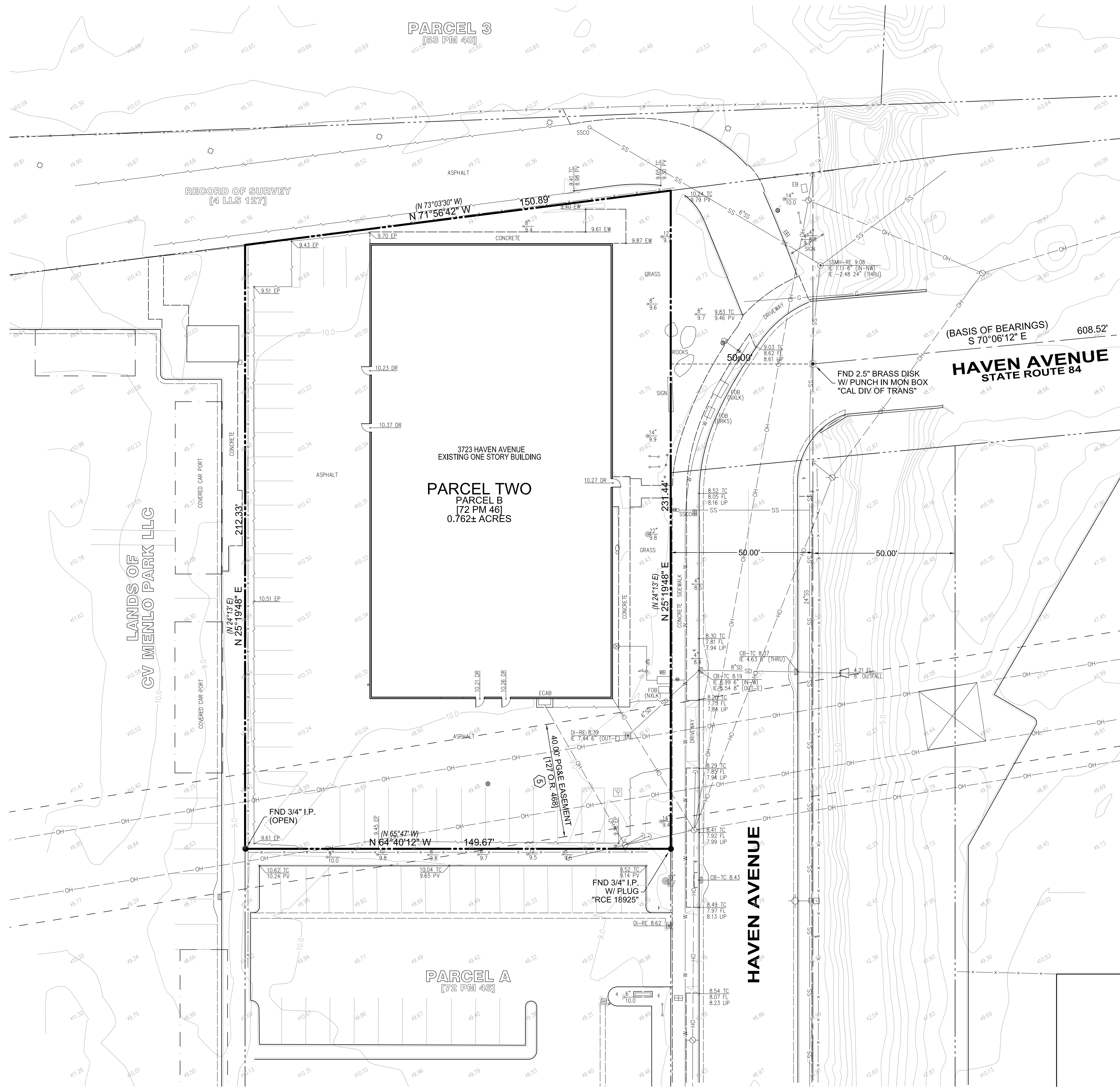
SHEET	C-71	OF	PROJECT	18-2439	MENLO PARK	SAN MATEO COUNTY	CALIFORNIA	PLANNING	ENGINEERING	SURVEYING	DESCRIPTION	DATE	BY	REV #	DATE	SCALE	DESIGNED:	DRAWN:	CHECKED:	PROJ. MGR:	FILE PATH:

**ams**  
associates, inc. PLANNING ENGINEERING SURVEYING

801 YGNACIO VALLEY ROAD  
SUITE 220  
WALNUT CREEK, CA 94596  
925-943-2777 FAX 925-943-2778

**FIRE TRUCK EXHIBIT**  
FPG DEVELOPMENT GROUP

3723 HAVEN AVENUE  
SAN MATEO COUNTY CALIFORNIA



**LEGEND**

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
CENTERLINE	---
EASEMENT	---
BUILDING LINE W/ DOOR	---
BUILDING OVERHANG	---
FOUND MONUMENT AS NOTED	●
FOUND IRON PIPE OR AS NOTED	○
LIGHT	○
STREET LIGHT	○
FIRE HYDRANT	○
SANITARY SEWER MANHOLE	○
CLEAN OUT	○
GAS METER	○
UTILITY POLE W/ GUY WIRE	○
VALVE	○
CATCH BASIN / DROP INLET	○
WATER METER	○
FIRE DEPARTMENT CONNECTION	○
BACK FLOW PREVENTER	○
POST INDICATOR VALVE	○
UTILITY BOX (SIZE VARIES)	○
SIGN	○
RECORD INFORMATION W/ REFERENCE	(100.00)①
TITLE REPORT EXCEPTION NUMBER	①
CURB	---
CURB & GUTTER	---
CONCRETE	---
FENCE	---
SPOT ELEVATION	x 32.1
CONTOUR	---
INDEX CONTOUR	15
RETAINING WALL	---
EDGE OF PAVEMENT	---
SANITARY SEWER	SS
STORM DRAIN	SD
WATER	W
OVERHEAD	OH

**ABBREVIATIONS**

CB	CATCH BASIN
DI	DROP INLET
DR	DOOR
EB	ELECTRIC BOX
ECAB	ELECTRICAL CABINET
EP	EDGE OF PAVEMENT
EW	EDGE OF WALK
FND	FOUND
FL	FLOW LINE
FOB	FIBER OPTIC BOX
IE	INVERT ELEVATION
I.P.	IRON PIPE
LIP	LIP OF GUTTER
MON	MONUMENT
O.R.	OFFICIAL RECORD
PV	PAVEMENT
PG&E	PACIFIC GAS & ELECTRIC
RE	RIM ELEVATION
SSCO	SANITARY SEWER CLEAN OUT
SMMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
WB	WATER BOX

**NOTES**

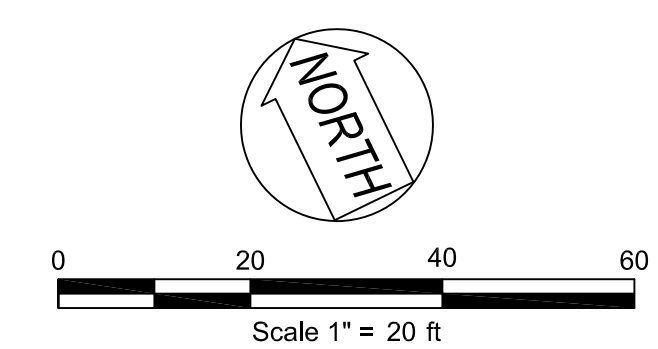
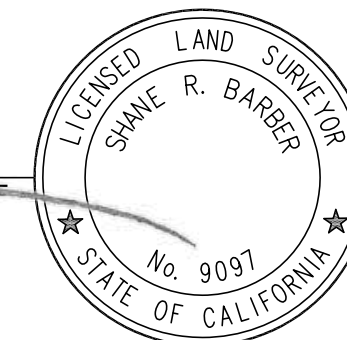
- All distances shown hereon are in feet and decimals thereof.
- This survey was prepared from information furnished in a Preliminary Title Report prepared by Chicago Title Company dated February 14, 2018, Order No.: 58210307-582-LE-JJ. No liability is assumed for matters of record not stated in said Preliminary Title Report that may affect the boundary lines, exceptions, or easements affecting the property.
- Physical items shown on this survey are limited to those items visible as of the date of this survey. Subsurface structures, if any, are not shown with the exception of underground utility lines. The locations of these underground utility lines have been compiled from available plans and no warranty is implied as to the exact location of these lines. Said subsurface objects may include, but are not limited to, concrete footings, slabs, shoring, structural piles, utility vaults, piping, underground tanks, and any other subsurface structures not revealed by a surface inspection.
- A.P.N.: 055-170-350 (PARCEL TWO)
- Basis of Bearings:  
The bearing of South 70°06'12" East taken on the centerline of Haven Avenue as shown on that certain Record of Survey No. 2629 filed for record on October 8, 2014 in Volume 40 of LLS Maps at Page 38, San Mateo County Records was taken as the Basis of all Bearings shown hereon.
- Benchmark:  
NGS Benchmark "X572 Reset":  
Found 2.5" Brass Disk in a monument box located on the southerly side of Bayfront Expressway along a bike path, east of Willow Road.  
Elevation: 9.30 feet (GPS Observed) (Datum) NAVD 1988
- Flood Zone Note:  
The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 060321 0306 E, dated October 16, 2012, as being located in Flood Zone "AE" (EL 10);  
Areas of the 1% annual flood (100-year flood), also know as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year; Base Flood elevations determined.  
Information was obtained from the FEMA website (www.fema.gov) on December 17, 2018.

**SURVEYOR'S CERTIFICATE**

I certify that this parcel's boundary was established by me or under my supervision and is based on a field survey in conformance with the Land Surveyor's Act. All Monuments are of the character and occupy the positions indicated and are sufficient to enable the survey to be retraced.

18 DEC. 2018  
DATE

PREPARED BY OR UNDER THE SUPERVISION OF  
SHANE R. BARBER, L.S. 9097  
sbarber@barbersurveying.com

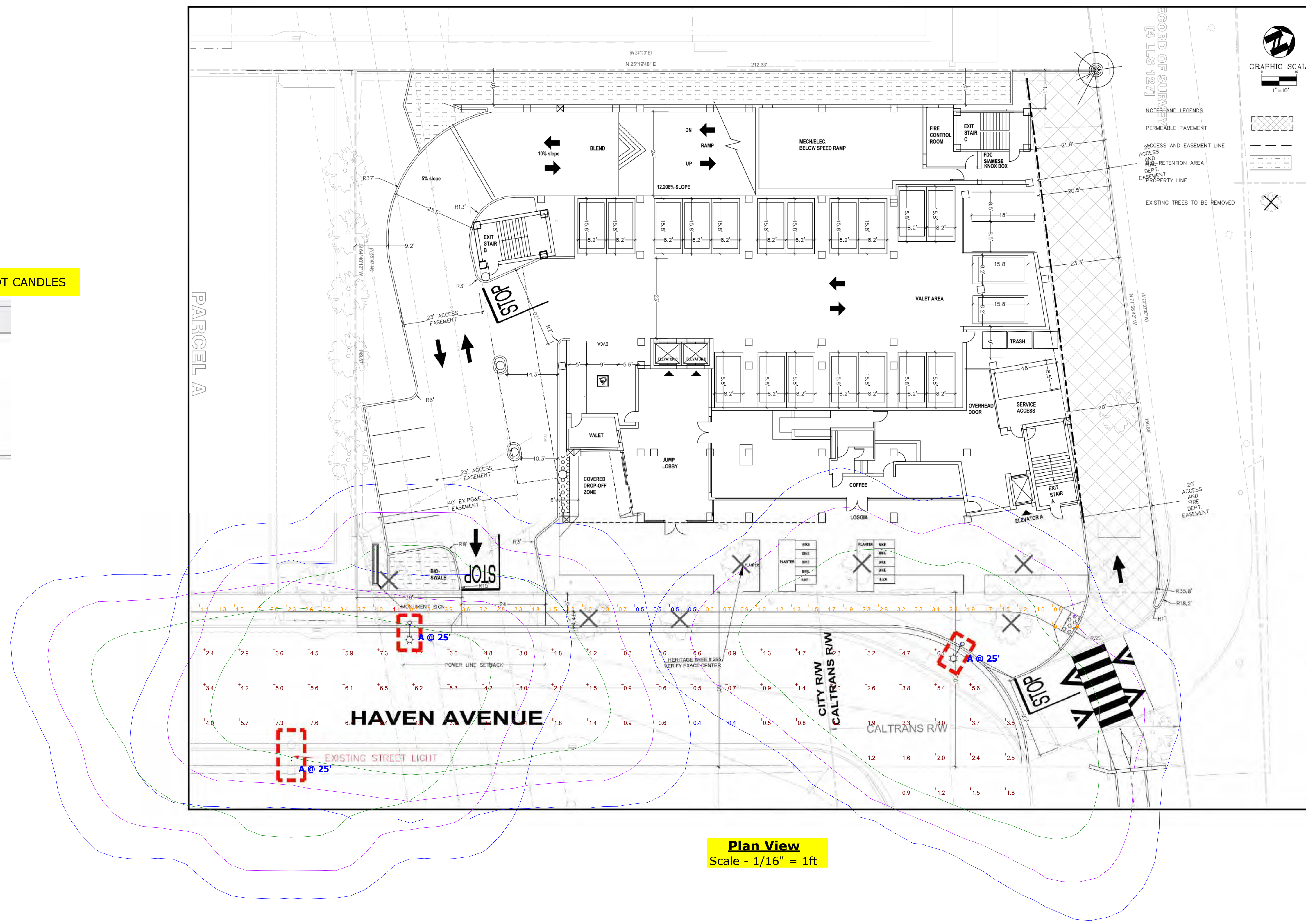


DATE:	DEC. 2018	REV #		BY		DESCRIPTION		
SCALE:	1" = 20'	DESIGNED:	SB	DRAWN:	SB			
CHECKED:		PROJ. MGR:	AS					
FILE PATH:								
<b>TOPOGRAPHIC / BOUNDARY SURVEY</b>								
<b>FOR: FPG DEVELOPMENT GROUP</b>								
801 YGNACIO VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778								
associates, inc. PLANNING ENGINEERING SURVEYING								
CALIFORNIA								
3723 HAVEN AVENUE								
SAN MATEO COUNTY								
MENLO PARK								
SHEET	T-1	OF	1					PROJECT
<b>18-2439</b>								

PHOTOMETRIC TEMPLATE BELOW IS IN FOOT CANDLES

**Iso-Illuminance Contours**

<input checked="" type="checkbox"/>		0.25
<input checked="" type="checkbox"/>		0.5
<input checked="" type="checkbox"/>		1



DATE: 09-22-20	REV: #	BY:	DATE:
SCALE: 1"=10'			
DESIGNED:			
CHECKED:			
PROJ. MGR:			
FILE PATH:	X:\18-2439_Menlo Park_18-2439.dwg		

801 YONKOD VALLEY ROAD SUITE 230 MENLO PARK, CA 94028 925-943-2777 FAX 925-943-2778	DESIGNING	ENGINEERING	SUPERVISING
<b>ams</b>	ASSOCIATES, INC.		
<b>HORIZONTAL CONTROL PLAN</b>	CALIFORNIA		
<b>FPG DEVELOPMENT GROUP</b>	SAN MATEO COUNTY		
3723 HAVEN AVENUE	MENLO PARK		
<b>C-21</b>	<b>18-2439</b>		

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Efficiency	Distribution	Polar Plot
	<b>A</b>	3	Sternberg Lighting	ML730-40L40T3-MDL016-CA	Large size Millenia Arm Mount fixture, LEDII T3revB optic, Clear Acrylic Flat	Luxeon 50-50	1	ML730-40L40T3-MDL016-CA.IES	20317	0.9	172.5	100%		

LAYOUT BASED ON THE FOLLOWING:  
 FIXTURES MOUNTED AT 25' AFG  
 CALC POINTS TAKEN AT GRADE LEVEL  
 CALC POINTS ARE 10' X 10' ON CENTER  
 SIDEWALK CALC'S ARE 5' X 5' ON CENTER

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ROADWAY	+	3.1 fc	7.7 fc	0.4 fc	19.3:1	7.8:1
SIDEWALK	+	1.9 fc	4.1 fc	0.5 fc	8.2:1	3.8:1

Disclaimer: This lighting design is not a professional engineering drawing and is provided for informational purposes only, without warranty as to accuracy, completeness, reliability or otherwise. Designlight is not responsible for specifying the lighting or illumination requirements for any specific project. It is the obligation of the end-user to consult with a professional engineering advisor to determine whether this lighting design meets the applicable project requirements for lighting system performance, safety, suitability and effectiveness for use in a particular application. End-user environment and application (including, but not limited to, voltage variation and dirt accumulation) can cause actual field performance to differ from the calculated photometric performance represented in this lighting design. In no event will Designlight be responsible for any loss resulting from any use of this lighting design.

# MOXY HOTEL

## MENLO PARK, CALIFORNIA

### ABBREVIATIONS

AC	ASPHALT CONCRETE
CONC.	CONCRETE
(E), EXIST	EXISTING
E	ELECTRICAL
G	GAS
GV	GAS VALVE
HSB	HEAVY SANDBLAST
HT	HEIGHT
IC	IRRIGATION CONTROL
IRR	IRRIGATION
JB	JUNCTION BOX
LSB	LIGHT SANDBLAST
MFR	MANUFACTURER
MIN.	MINIMUM
MED	MEDIUM
MSB	MEDIUM SANDBLAST
(N)	NEW
NIC	NOT IN CONTRACT
NO.	NUMBER
NTS	NOT TO SCALE
O.C.	ON CENTER
OFCl	OWNER FURNISHED, CONTRACTOR INSTALLED
<b>PA</b>	PLANTING AREA
PL	PROPERTY LINE
PR	PROPOSED
R	RADIUS—ALL RADII GIVEN FOR WALLS ARE DIMENSIONED TO OUTSIDE OF WALLS
(R)	RELOCATED
SIM.	SIMILAR
S.A.D.	SEE ARCHITECTURAL DRAWINGS
S.C.D.	SEE CIVIL DRAWINGS
S.E.D.	SEE ELECTRICAL DRAWINGS
S.S.D.	SEE STRUCTURAL DRAWINGS
S.M.D.	SEE MECHANICAL DRAWINGS
S.P.D.	SEE PLUMBING CONSULTANT DRAWINGS
SB	SANDBLAST
SP	SPACING
SD	STORM DRAIN
SQ.	SQUARE
SS	STAINLESS STEEL
SS	SANITARY SEWER (CIVIL)
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
S/W	SIDEWALK
TBD	TO BE DETERMINED
T.B.D.	TO BE DETERMINED
TYP.	TYPICAL
UNO	UNLESS OTHERWISE NOTED
W	WATER LINE (CIVIL)
WP	WATERPROOF
W.P.M.	WATERPROOF MEMBRANE
	SCORELINE

### LAYOUT NOTES

- CONTRACTOR SHALL VERIFY ALL UTILITIES, GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL WRITTEN DIMENSIONS SUPERCEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF THE BUILDING, WALL, BACK OF CURB, EDGE OF WALK, PROPERTY LINE, OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL DIMENSIONS AT BUILDING ARE TO FACE OF BUILDING. ALL DIMENSIONS AT ROADWAY ARE TO FACE OF CURB.
- ALL ANGLES ARE 45 DEGREE, 90 DEGREE, OR 135 DEGREE UNLESS OTHERWISE NOTED.
- ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH.
- ALL RETURN RADII AND CURB DATA ARE TO FACE OF CURB.
- WHENEVER BOTTOM OF WALL (BW) ELEVATION IS GIVEN, IT IS FINISH PAVEMENT OR GRADE ELEVATION AT FACE OF WALL.
- SCORE LINES IN SIDEWALKS SHALL BE SPACED TO EQUAL THE WIDTH OF THE WALKWAY, UNLESS OTHERWISE SHOWN. EXPANSION JOINTS IN SIDEWALKS SHALL BE 20" ON CENTER MAXIMUM.
- EXPANSION JOINTS IN CONCRETE WALLS SHALL BE AT 40' O.C. MAXIMUM.
- BUILDING LAYOUT AND LOCATION, SIDEWALK, CURB AND GUTTER, GRADING AND DRAINAGE IS BASED ON DRAWINGS PREPARED BY THE ARCHITECT AND THE CIVIL ENGINEER.
- STATIONING HEREON IS ALONG CONSTRUCTION CENTERLINE UNLESS OTHERWISE SHOWN OR INDICATED.
- ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO THE CONTRACTOR ON A TIME AND EXPENSES BASIS AND PAID FOR BY THE CONTRACTOR.
- SEE IRRIGATION DRAWINGS FOR GENERAL SYSTEM REQUIREMENTS AND FOR LOCATION OF IRRIGATION MAINLINE PIPING. SLEEVES TO ACCOMMODATE IRRIGATION PIPING, SIZED AS NEEDED, SHALL BE IN PLACE UNDER AND THROUGH SLABS AND WALLS, PRIOR TO POURING.
- PROVIDE CONTINUOUS HEADERS AT THE EDGES OF ALL AC PAVING, SHRUB AREAS, LAWN AREAS, DECOMPOSED GRANITE WHERE IT IS NOT CONSTRAINED BY A CONCRETE PAVING OR MOW BAND.
- ALL CONCRETE PAVEMENTS SHALL BE DOWELED INTO CURBS, SIDEWALKS, AND BUILDING FOUNDATIONS.
- REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION, SECTIONS, REINFORCEMENT, AND PREPARATION. IN CASE OF DISCREPANCY THE GEOTECHNICAL REPORT SHALL GOVERN.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- ANY AND ALL WORK WITHIN CITY RIGHT OF WAY SHALL CONFORM TO ALL CITY STANDARD DETAILS AND SPECIFICATIONS.
- CONCRETE FOOTINGS INSTALLED FOR ALL SITE FURNISHINGS, SPORTS EQUIPMENT, ETC... IN DECORATIVE PAVEMENT, ASPHALT PAVING, DECOMPOSED GRANITE, CONCRETE PAVING, AND PLANTERS SHALL BE HELD BELOW GRADE.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED AS REQUIRED. ANY DAMAGED ITEMS SHALL BE FULLY REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE TO THE FULL SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
- ALL QUANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON HORIZONTAL MEASUREMENTS.
- ALL PATTERNS, LINE TYPES, AND SYMBOLS SHOWN WITHIN THE PLAN SET REFERENCE THE LAYOUT LEGEND AND ARE PART OF THE SCOPE OF WORK. CALLOUTS ARE SHOWN FOR CLARIFICATION OF WORK, BUT DO NOT INDICATE EVERY AND ALL INSTANCES OF SUCH WORK. THE CONTRACTOR SHALL REQUEST CLARIFICATION TO ANY ITEMS (INCLUDING BUT NOT LIMITED TO PAVING, WALLS, FINISHES, COLORS, FENCING, FOUNTAINS, POTS, AND SITE FURNITURE) NOT CLEARLY IDENTIFIED TO BE PART OF THE SCOPE OF WORK PRIOR TO BID.
- THE CONTRACT DRAWINGS MUST BE ACCOMPANIED BY CONTRACT SPECIFICATIONS. THE CONTRACTOR MUST CONTACT THE LANDSCAPE ARCHITECT AT 925-736-8176 FOR SPECIFICATIONS IF NOT RECEIVED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK AND MATERIALS OF THE CONTRACT DOCUMENTS INCLUDING ALL WORK AND MATERIALS PROVIDED BY SUBCONTRACTORS. ALL QUALIFICATIONS OF THE CONTRACT DOCUMENTS INCLUDING ALL SPECIFIC EXCLUSIONS OF ANY WORK, DETAILS, MATERIALS, AND INCIDENTALS SHALL BE CONFIRMED AND ACCEPTED IN WRITING BY THE CONTRACTOR AND OWNER UPON FINALIZATION OF BIDS AND CONTRACT. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ALL QUALIFICATIONS AND NOTIFICATIONS.

### LAYOUT LEGEND

	AC PAVING	
	PEDESTRIAN CONCRETE PAVING FINISH: BROOM COLOR: STANDARD GREY	1 L4.2
	INTERLOCKING PAVERS FINISH: TBD COLOR: TBD	2 L4.2
	INTERLOCKING PAVERS FINISH: TBD COLOR: TBD	2 L4.2
	24\"X48\" DECORATIVE PAVERS	
	24\"X48\" DECORATIVE PAVERS	
	BIKE RACK MODEL:H-2892BL COLOR:BLACK FINISH:POWDER COATING MOUNT:SURFACE INSTALL PER MFR SPECS	
	DECORATIVE POT	
	RECTANGULAR POT	
	LIVEROOF SYSTEM	

### SHEET NUMBER

- L0.1
- L0.2
- L1.1
- L1.2
- L2.1
- L2.2
- L3.1
- L4.1
- L4.2

### SHEET INDEX

	SHEET TITLE
	COVER SHEET
	PLANTING NOTES
	TREE REMOVAL PLAN
	TREE INVENTORY AND TREE PROTECTION NOTES
	GROUND LEVEL ILLUSTRATIVE SITE PLAN
	LEVEL 4 ILLUSTRATIVE SITE PLAN
	PLANT PALETTE
	PLANTING DETAILS
	CONSTRUCTION DETAILS

**GATES**  
**+ASSOCIATES**  
LANDSCAPE ARCHITECTURE  
LAND PLANNING · URBAN DESIGN  
2671 CROW CANYON RD. SAN RAMON, CA 94583  
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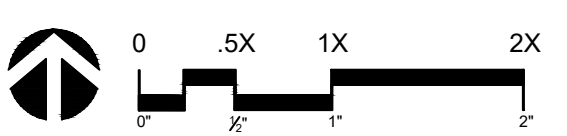
**MOXY**  
**HOTEL**

HAVEN AVENUE  
MENLO PARK  
CALIFORNIA

ISSUE:      DESCRIPTION:      DATE:

**NOT FOR  
CONSTRUCTION**

PROJECT NUMBER: P5673  
DRAWN: MF, JT  
CHECK: EG  
DATE: 05/18/22  
SCALE: SCALE



COVER SHEET

**L0.1**

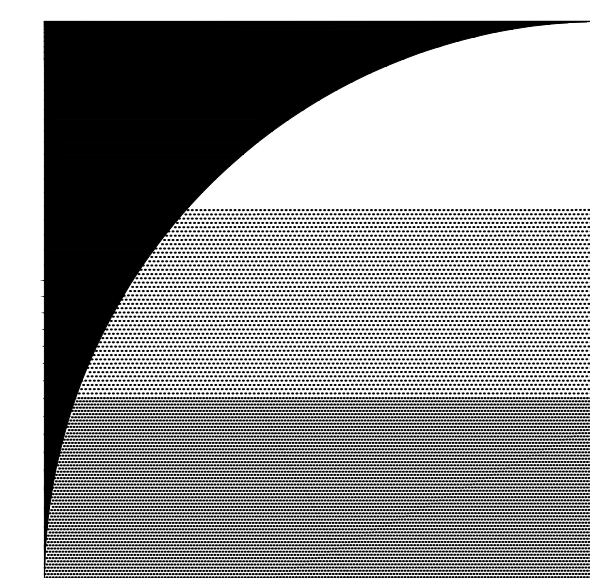
of -

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION AND LANDSCAPE DESIGN

SIGNATURE

DATE





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**+ASSOCIATES**  
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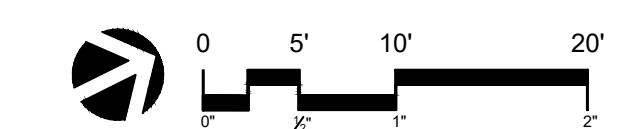
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TREE REMOVAL PLAN

**L1.1**

LEGEND

SEE SHEET L1.2 FOR ALL EXISTING TREE INFORMATION.

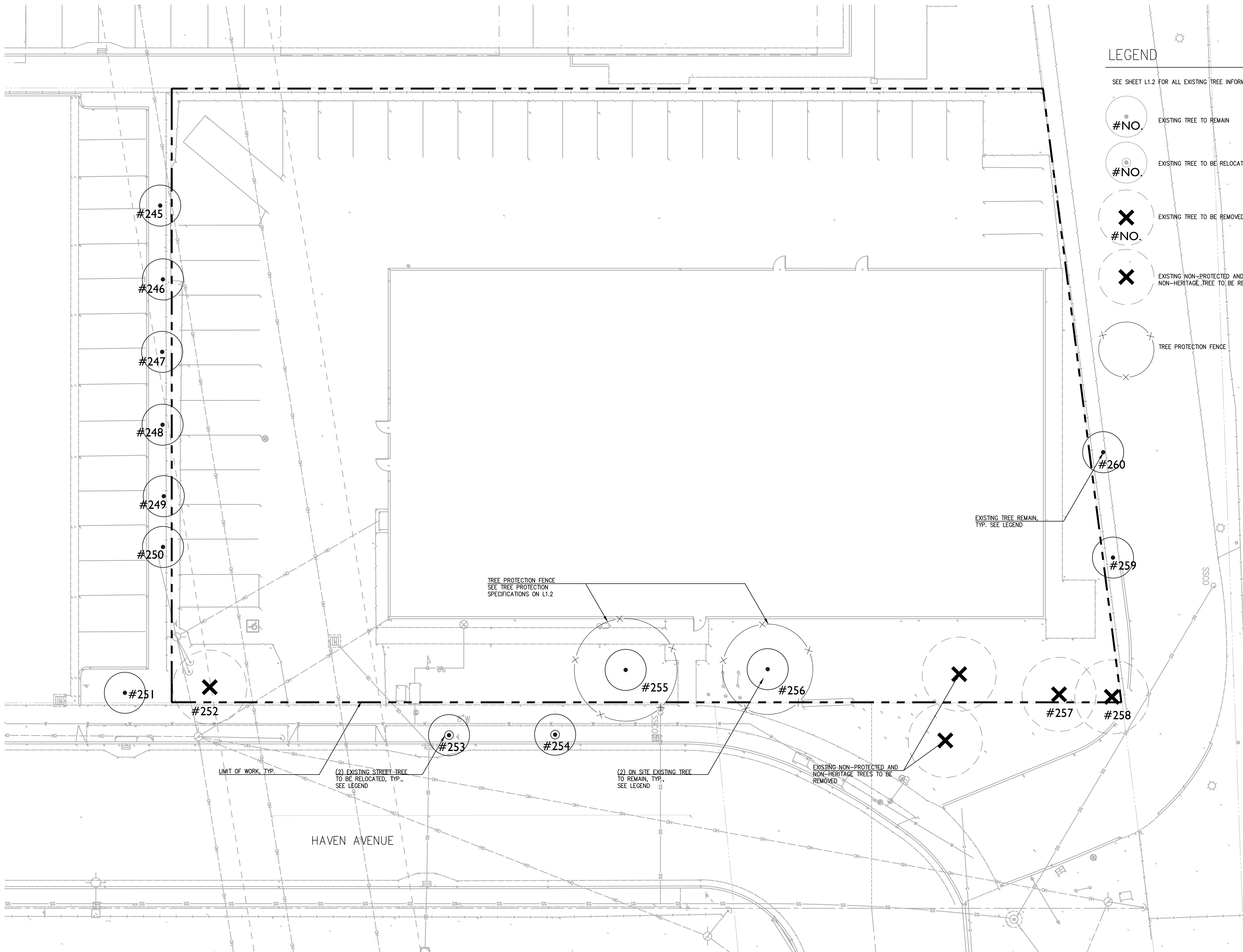
#NO. EXISTING TREE TO REMAIN

#NO. EXISTING TREE TO BE RELOCATED

X #NO. EXISTING TREE TO BE REMOVED

X EXISTING NON-PROTECTED AND NON-HERITAGE TREE TO BE REMOVED

TREE PROTECTION FENCE



## TREE INVENTORY

### OFF SITE TREES TO BE RELOCATED

TAG NO.	COMMON NAME	BOTANICAL NAME	DIAMETER (INCHES)
253	LITTLE LEAF LINDEN	TILIA TOMENTOSA	2"
254	LITTLE LEAF LINDEN	TILIA TOMENTOSA	3"

### ON SITE TREES TO BE REMOVED

TAG NO.	COMMON NAME	BOTANICAL NAME	DIAMETER (INCHES)
252	OLIVE	OLEA SPP.	14"
257	MONTEREY PINE	PINUS RADIATA	25"
258	SYCAMORE	PLATANUS SPP.	14"

### OFF SITE TREES TO REMAIN

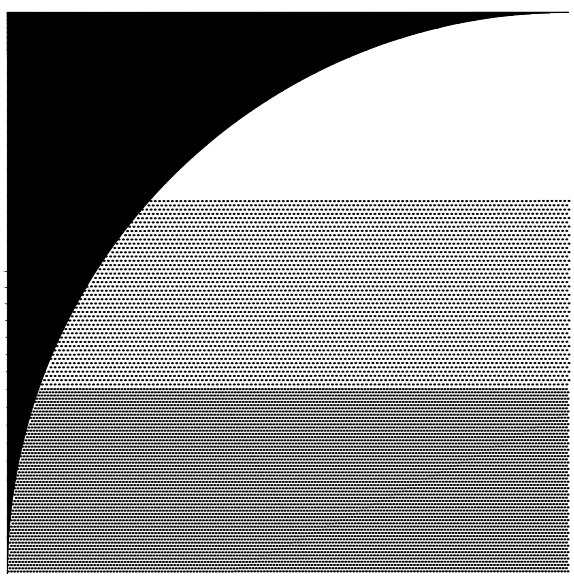
TAG NO.	COMMON NAME	BOTANICAL NAME	DIAMETER (INCHES)
245	LOCUST	GLEDITSIA SPP.	8"
246	LOCUST	GLEDITSIA SPP.	8"
247	LOCUST	GLEDITSIA SPP.	8"
248	LOCUST	GLEDITSIA SPP.	8"
249	LOCUST	GLEDITSIA SPP.	10"
250	LOCUST	GLEDITSIA SPP.	9"
251	OLIVE	OLEA SPP.	36"
255	ASH	FRAXINUS SPP.	17"
256	ASH	FRAXINUS SPP.	15"
259	RED PLUM	PRUNUS SPP.	4"
260	RED PLUM	PRUNUS SPP.	9"

## TREE PROTECTION SPECIFICATIONS – CITY OF MENLO PARK

- A 6" LAYER OF COARSE MULCH OR WOODCHIPS IS TO BE PLACED BENEATH THE DRIPLINE OF THE PROTECTED TREES. MULCH IS TO BE KEPT 12" FROM THE TRUNK.
- A PROTECTIVE BARRIER OF 6' CHAIN LINK FENCING SHALL BE INSTALLED AROUND THE DRIPLINE OF PROTECTED TREE(S). THE FENCING CAN BE MOVED WITHIN THE DRIPLINE IF AUTHORIZED BY THE PROJECT ARBORIST OR CITY ARBORIST BUT NOT CLOSER THAN 2' FROM THE TRUNK OF ANY TREE. FENCE POSTS SHALL BE 1.5" IN DIAMETER AND ARE TO BE DRIVEN 2' INTO THE GROUND. THE DISTANCE BETWEEN POSTS SHALL NOT BE MORE THAN 10'. THIS ENCLOSED AREA IS THE TREE PROTECTION ZONE (TPZ).
- MOVABLE BARRIERS OF CHAIN LINK FENCING SECURED TO CEMENT BLOCKS CAN BE SUBSTITUTED FOR FIXED FENCING IF THE PROJECT ARBORIST AND CITY ARBORIST AGREE THAT THE FENCING WILL HAVE TO BE MOVED TO ACCOMMODATE CERTAIN PHASES OF CONSTRUCTION. THE BUILDER MAY NOT MOVE THE FENCE WITHOUT AUTHORIZATION FROM THE PROJECT ARBORIST OR CITY ARBORIST.
- WHERE THE CITY ARBORIST OR PROJECT ARBORIST HAS DETERMINED THAT TREE PROTECTION FENCING WILL INTERFERE WITH THE SAFETY OF WORK CREWS, TREE WRAP MAY BE USED AS AN ALTERNATIVE FORM OF TREE PROTECTION. WOODEN SLATS AT LEAST ONE INCH THICK ARE TO BE BOUND SECURELY, EDGE TO EDGE, AROUND THE TRUNK. A SINGLE LAYER OR MORE OF ORANGE PLASTIC CONSTRUCTION FENCING IS TO BE WRAPPED AND SECURED AROUND THE OUTSIDE OF THE WOODEN SLATS. MAJOR SCAFFOLD LIMBS MAY REQUIRE PROTECTION AS DETERMINED BY THE CITY ARBORIST OR PROJECT ARBORIST. STRAW WADDLE MAY ALSO BE USED AS A TRUNK WRAP BY COILING THE WADDLE AROUND THE TRUNK UP TO A MINIMUM HEIGHT OF SIX FEET FROM GRADE. A SINGLE LAYER OR MORE OF ORANGE PLASTIC CONSTRUCTION FENCING IS TO BE WRAPPED AND SECURED AROUND THE STRAW WADDLE.
- AVOID THE FOLLOWING CONDITIONS.  
DO NOT:
  - ALLOW RUN OFF OF SPILLAGE OF DAMAGING MATERIALS INTO THE AREA BELOW ANY TREE CANOPY.
  - STORE MATERIALS, STOCKPILE SOIL, OR PARK OR DRIVE VEHICLES WITHIN THE TPZ.
  - CUT, BREAK, SKIN, OR BRUISE ROOTS, BRANCHES, OR TRUNKS WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE CITY ARBORIST.
  - ALLOW FIRES UNDER AND ADJACENT TO TREES.
  - DISCHARGE EXHAUST INTO FOLIAGE.
  - SECURE CABLE, CHAIN, OR ROPE TO TREES OR SHRUBS.
  - TRENCH, DIG, OR OTHERWISE EXCAVATE WITHIN THE DRIPLINE OR TPZ OF THE TREE(S) WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE CITY ARBORIST.
  - APPLY SOIL STERILANTS UNDER PAVEMENT NEAR EXISTING TREES.
- ONLY EXCAVATION BY HAND OR COMPRESSED AIR SHALL BE ALLOWED WITHIN THE DRIPLINE OF TREES. MACHINE TRENCHING SHALL NOT BE ALLOWED.
- AVOID INJURY TO TREE ROOTS. WHEN A DITCHING MACHINE, WHICH IS BEING USED OUTSIDE OF THE DRIPLINE OF TREES, ENCOUNTERS ROOTS SMALLER THAN 2", THE WALL OF THE TRENCH ADJACENT TO THE TREES SHALL BE HAND TRIMMED, MAKING CLEAR, CLEAN CUTS THROUGH THE ROOTS. ALL DAMAGED, TORN AND CUT ROOTS SHALL BE GIVEN A CLEAN CUT TO REMOVE RAGGED EDGES, WHICH PROMOTE DECAY. TRENCHES SHALL BE FILLED WITHIN 24 HOURS, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREES SHALL BE KEPT SHADED WITH FOUR LAYERS OF DAMPENED, UNTREATED BURLAP, WETTED AS FREQUENTLY AS NECESSARY TO KEEP THE BURLAP WET. ROOTS 2" OR LARGER, WHEN ENCOUNTERED, SHALL BE REPORTED IMMEDIATELY TO THE PROJECT ARBORIST, WHO WILL DECIDE WHETHER THE CONTRACTOR MAY CUT THE ROOT AS MENTIONED ABOVE OR SHALL EXCAVATE BY HAND OR WITH COMPRESSED AIR UNDER THE ROOT. ROOT IS TO BE PROTECTED WITH DAMPENED BURLAP.
- ROUTE PIPES OUTSIDE OF THE AREA THAT IS 10 TIMES THE DIAMETER OF A PROTECTED TREE TO AVOID CONFLICT WITH ROOTS.
- WHERE IT IS NOT POSSIBLE TO REROUTE PIPES OR TRENCHES, THE CONTRACTOR SHALL BORE BENEATH THE DRIPLINE OF THE TREE. THE BORING SHALL TAKE PLACE NOT LESS THAN 3' BELOW THE SURFACE OF THE SOIL IN ORDER TO AVOID ENCOUNTERING FEEDER ROOTS.
- TREES THAT HAVE BEEN IDENTIFIED IN THE ARBORISTS REPORT AS BEING IN POOR HEALTH AND/OR POSING A HEALTH OR SAFETY RISK, MAY BE REMOVED OR PRUNED BY MORE THAN ONE-THIRD, SUBJECT TO APPROVAL OF THE REQUIRED PERMIT BY THE PLANNING DIVISION. PRUNING OF EXISTING LIMBS AND ROOTS SHALL ONLY OCCUR UNDER THE DIRECTION OF A CERTIFIED ARBORIST.
- ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPORTED TO THE PROJECT ARBORIST OR CITY ARBORIST WITHIN SIX HOURS SO THAT REMEDIAL ACTION CAN BE TAKEN.
- AN ISA CERTIFIED ARBORIST OR ASCA REGISTERED CONSULTING ARBORIST SHALL BE RETAINED AS THE PROJECT ARBORIST TO MONITOR THE TREE PROTECTION SPECIFICATIONS. THE PROJECT ARBORIST SHALL BE RESPONSIBLE FOR THE PRESERVATION OF THE DESIGNATED TREES. SHOULD THE BUILDER FAIL TO FOLLOW THE TREE PROTECTION SPECIFICATIONS, IT SHALL BE THE RESPONSIBILITY OF THE PROJECT ARBORIST TO REPORT THE MATTER TO THE CITY ARBORIST AS AN ISSUE OF NON-COMPLIANCE.
- VIOLATION OF ANY OF THE ABOVE PROVISIONS MAY RESULT IN SANCTIONS OR OTHER DISCIPLINARY ACTION.

## MONTHLY INSPECTIONS

- IT IS REQUIRED THAT THE SITE ARBORIST PROVIDE PERIODIC INSPECTIONS DURING CONSTRUCTION. FOUR-WEEK INTERVALS WOULD BE SUFFICIENT TO ACCESS AND MONITOR THE EFFECTIVENESS OF THE TREE PROTECTION PLAN AND TO PROVIDE RECOMMENDATIONS FOR ANY ADDITIONAL CARE OR TREATMENT.



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**MOXY**  
**HOTEL**

HAVEN AVENUE  
 MENLO PARK  
 CALIFORNIA

ISSUE:      DESCRIPTION:      DATE:

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 CONSTRUCTION

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 SCALE:



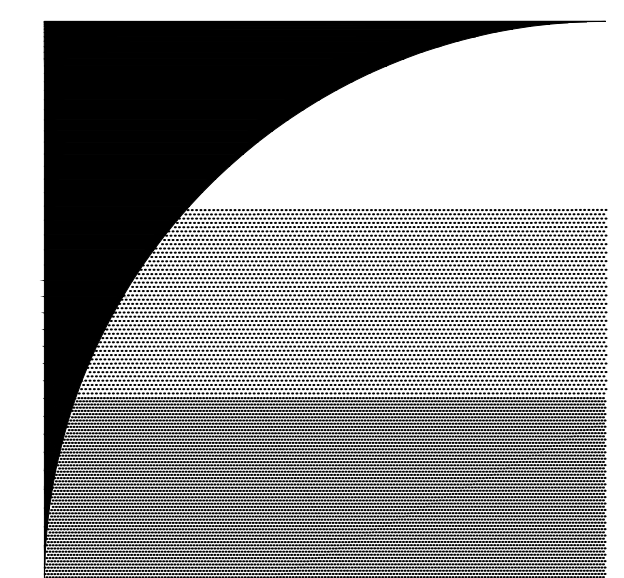
TREE INVENTORY AND  
 TREE PROTECTION  
 NOTES

**L1.2**





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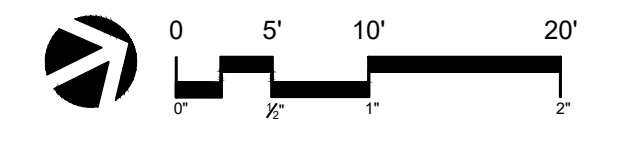
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GROUND LEVEL  
 ILLUSTRATIVE  
 SITE PLAN

**L2.1**



TREES



*Cotinus coggygria*  
Smoke Tree



*Dodonaea viscosa* 'Purpurea'  
Hopseed Bush



*Ginkgo biloba* 'Princeton Sentry'  
Maidenhair Tree



*Koelreuteria paniculata*  
Golden Rain Tree



*Trisaniopsis laurina* 'Elegant'  
Elegant Water Gum

SHRUBS



*Agave attenuata* 'Blue Flame'  
Blue Flame Agave



*Bouteloua gracilis* 'Blonde Ambition'  
Blue Grama



*Calamagrostis x Acutiflora* 'Karl Foerster'  
Feather Reed Grass



*Carpenteria californica* 'Elizabeth'  
Bush Anemone



*Dietes grandiflora* 'Variegata'  
Variegated Fortnight Lily



*Festuca mairei*  
Atlas Fescue



*Lamandra longifolia* 'Breeze'  
Dwarf Mat Rush



*Muhlenbergia rigens*  
Deer Grass



*Perovskia atriplicifolia* 'Little Spire'  
Russian Sage



*Rhamnus californica* 'Mound San Bruno'  
Coffeeberry



*Salvia leucantha* 'Santa Barbara'  
Mexican Sage Bush



*Teucrium fruticans* 'Compacta'  
Bush Germander

ACCENT SHRUBS



*Erigeron karvinskianus*  
Santa Barbara Daisy



*Eriogonum grande rubescens*  
Red Buckwheat



*Cistus x pulverulentus* 'Sunset'  
Magenta Rock Rose



*Coprosma x kirkii* 'Variegata'  
Variegated Kirkii Coprosma



*Limonium perezii*  
Sea Lavender



*Salvia* 'Bee's Bliss'  
Bee's Bliss Sage

STORMWATER TREATMENT SHRUBS



*Achillea millefolium* 'Terra Cotta'  
Terra Cotta Yarrow



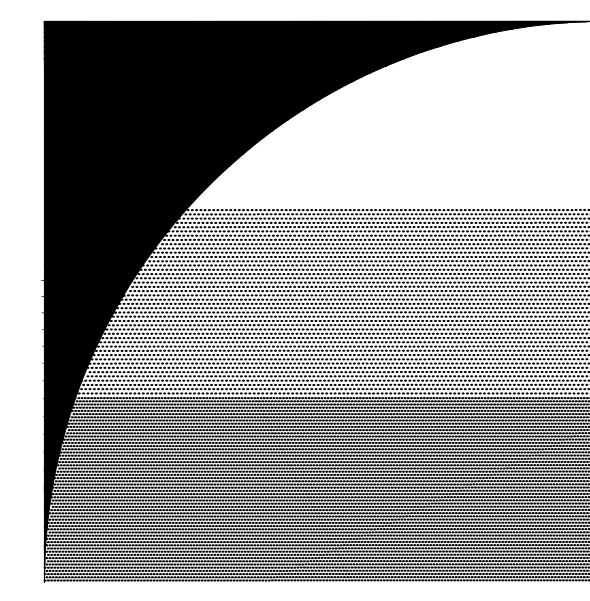
*Chondropetalum tectorum* 'El Campo'  
Small Cape Rush



*Juncus patens* 'Carmen's Grey'  
Spreading Rush



*Leymus condensatus* 'Canyon Prince'  
Canyon Prince Wild Rye



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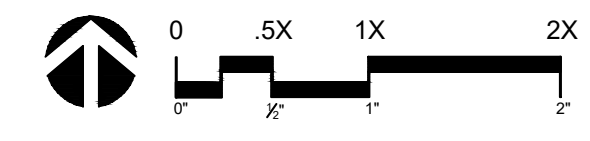
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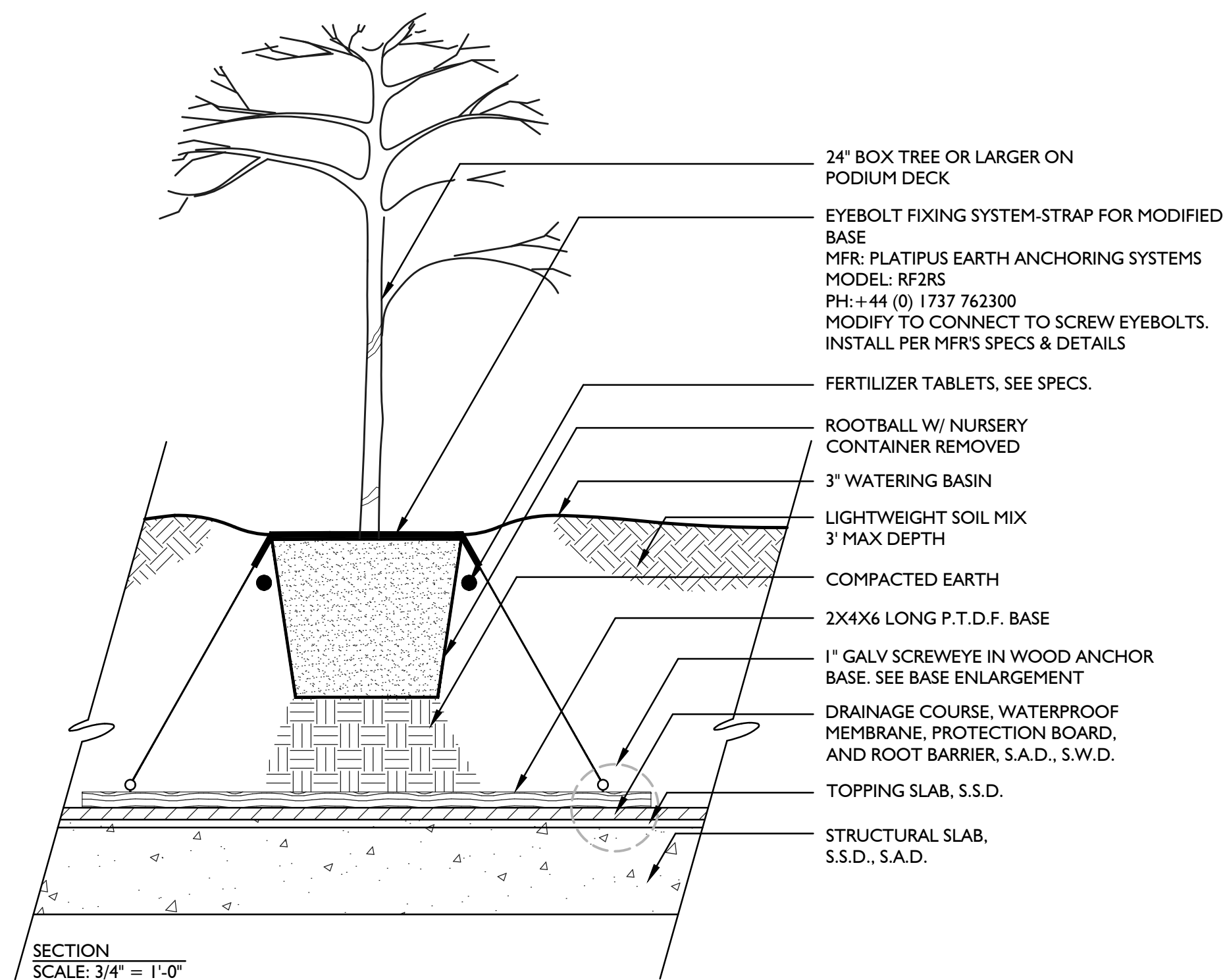
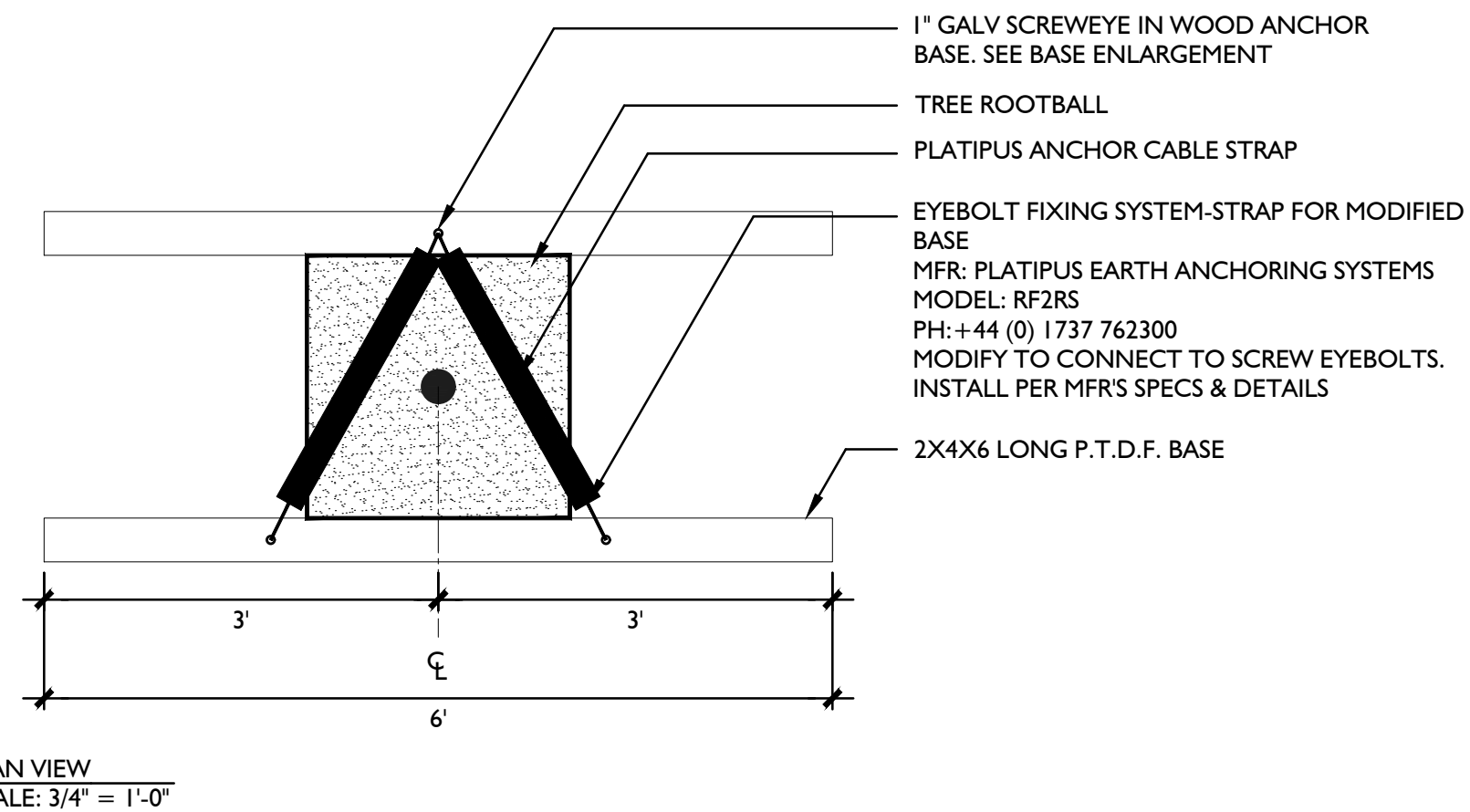
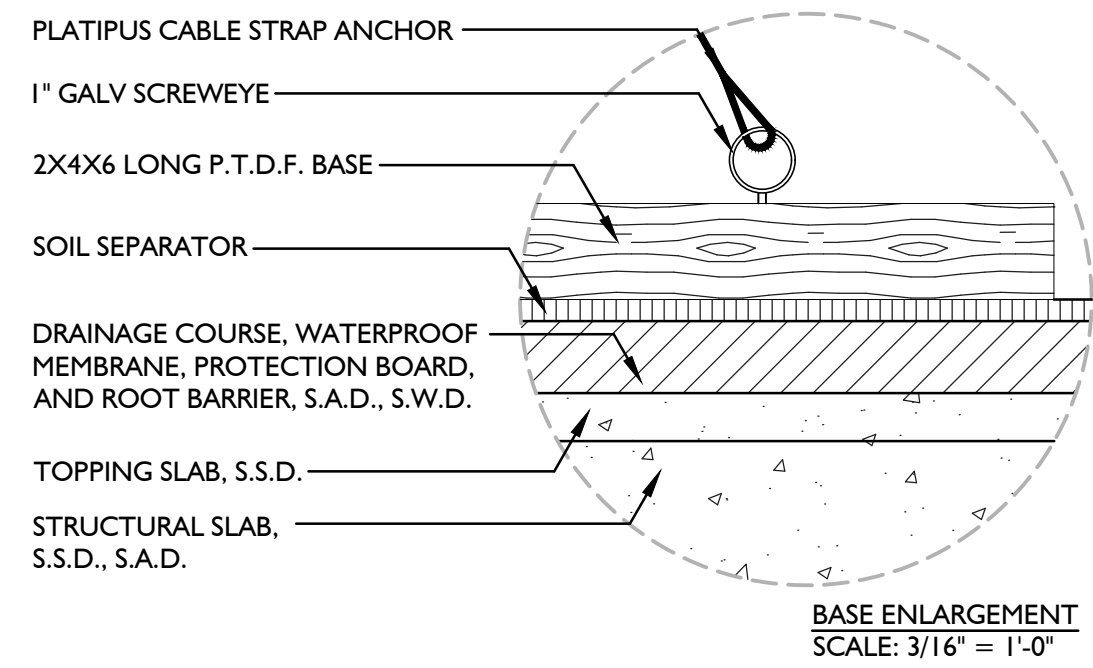
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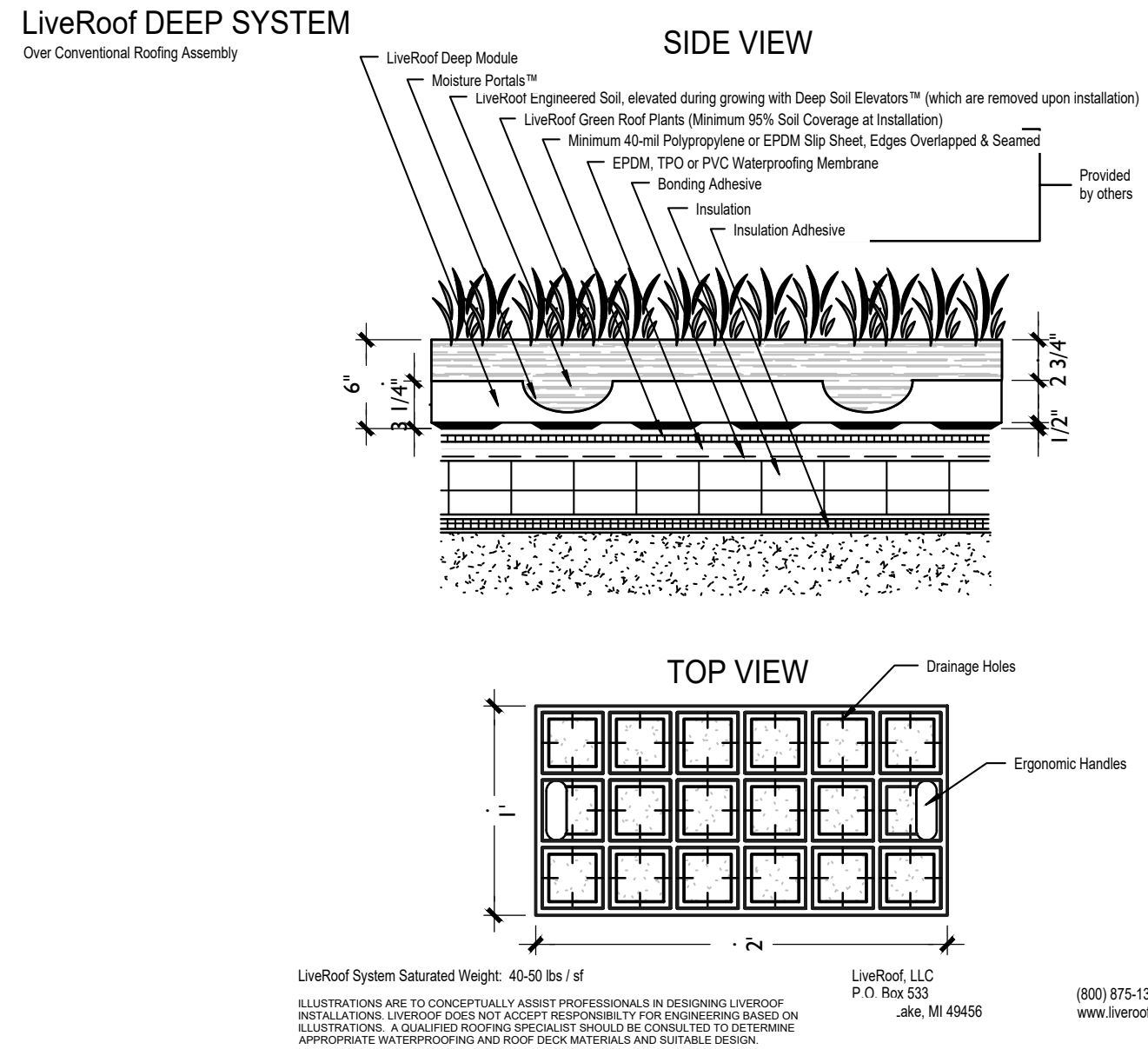
PLANT PALETTE

**L3.1**

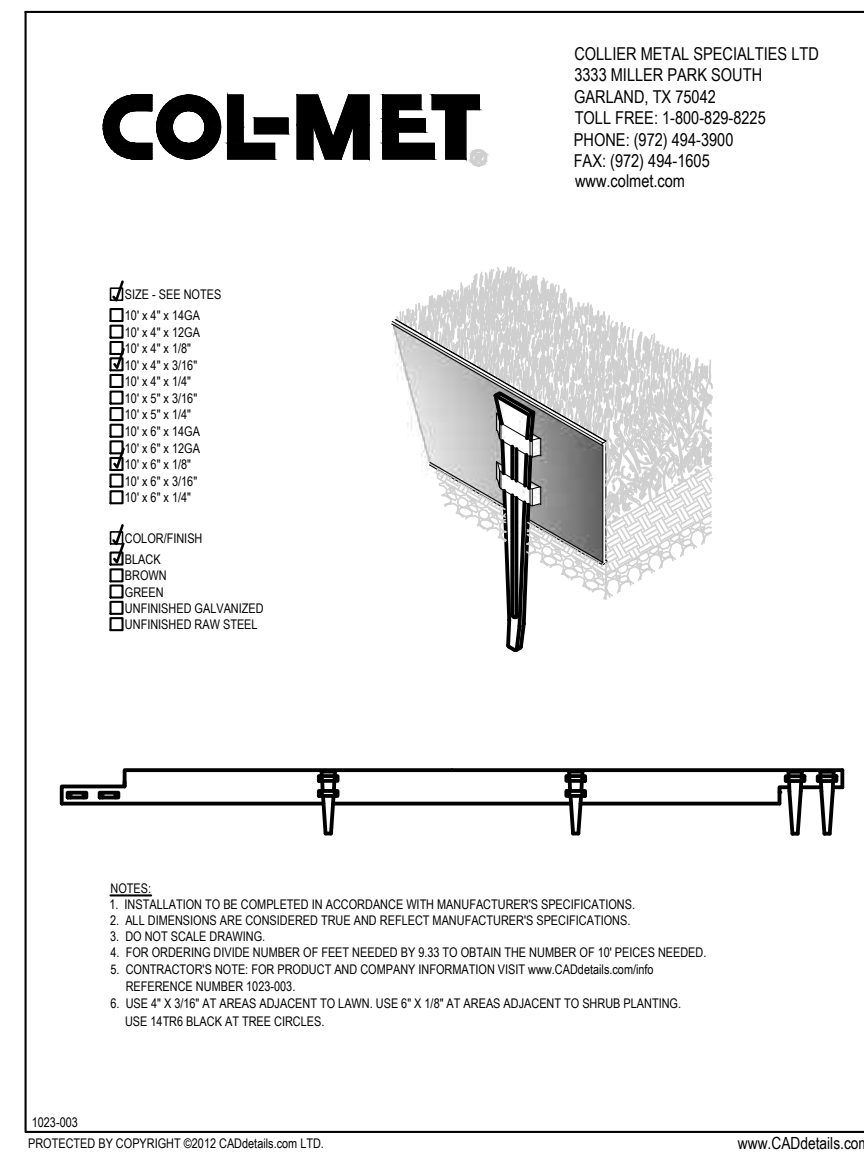
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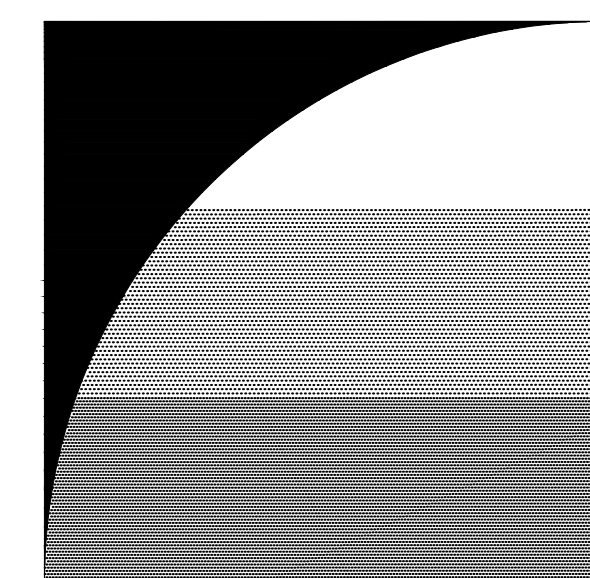


**7 TREE GUYING ON PODIUM DECK**  
SCALE: 3/4" = 1'-0"



**6 LIVEROOF DEEP MODULES**  
SCALE: NTS





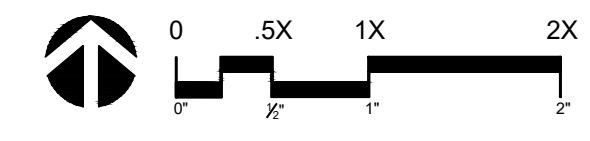
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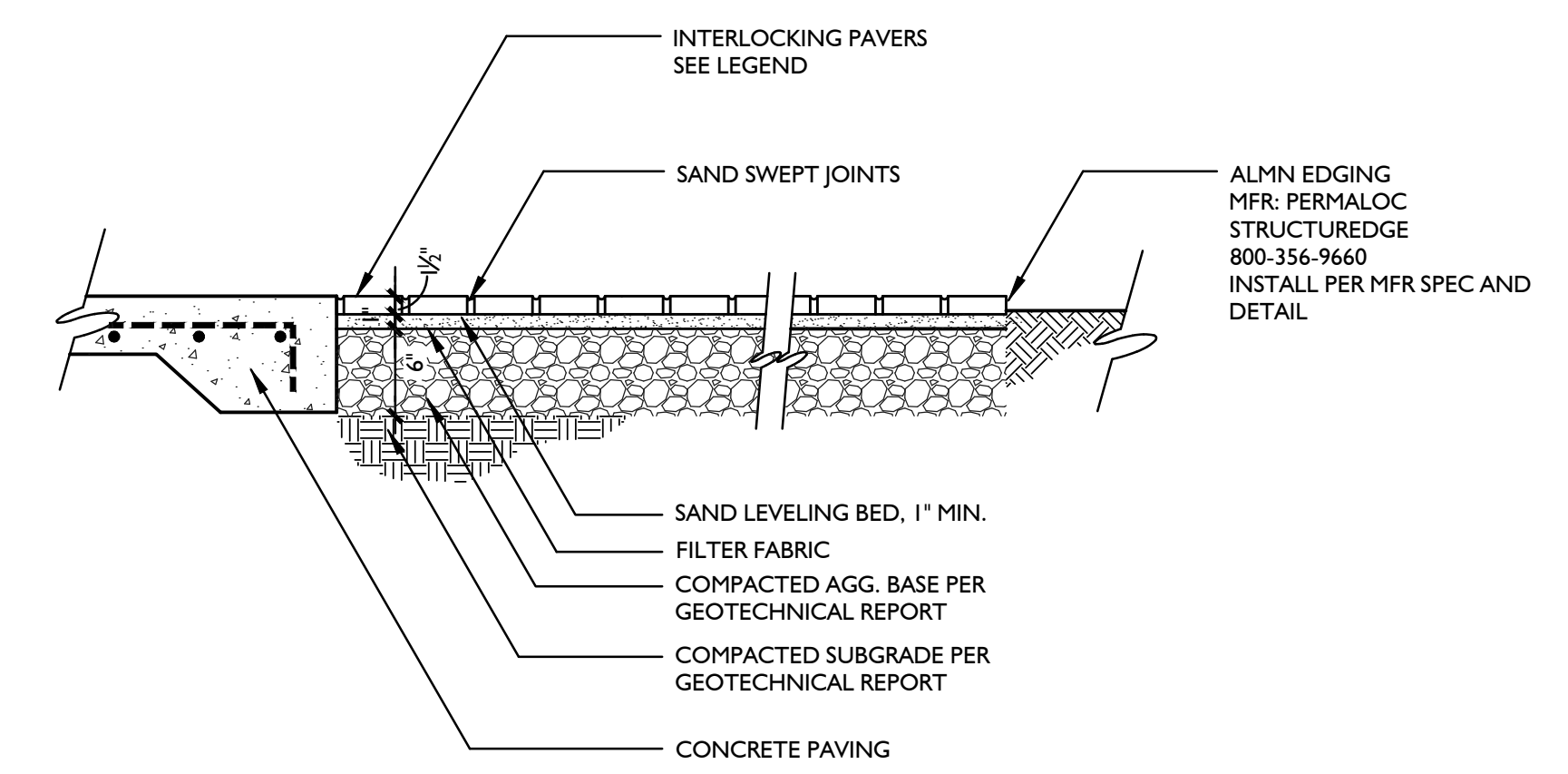
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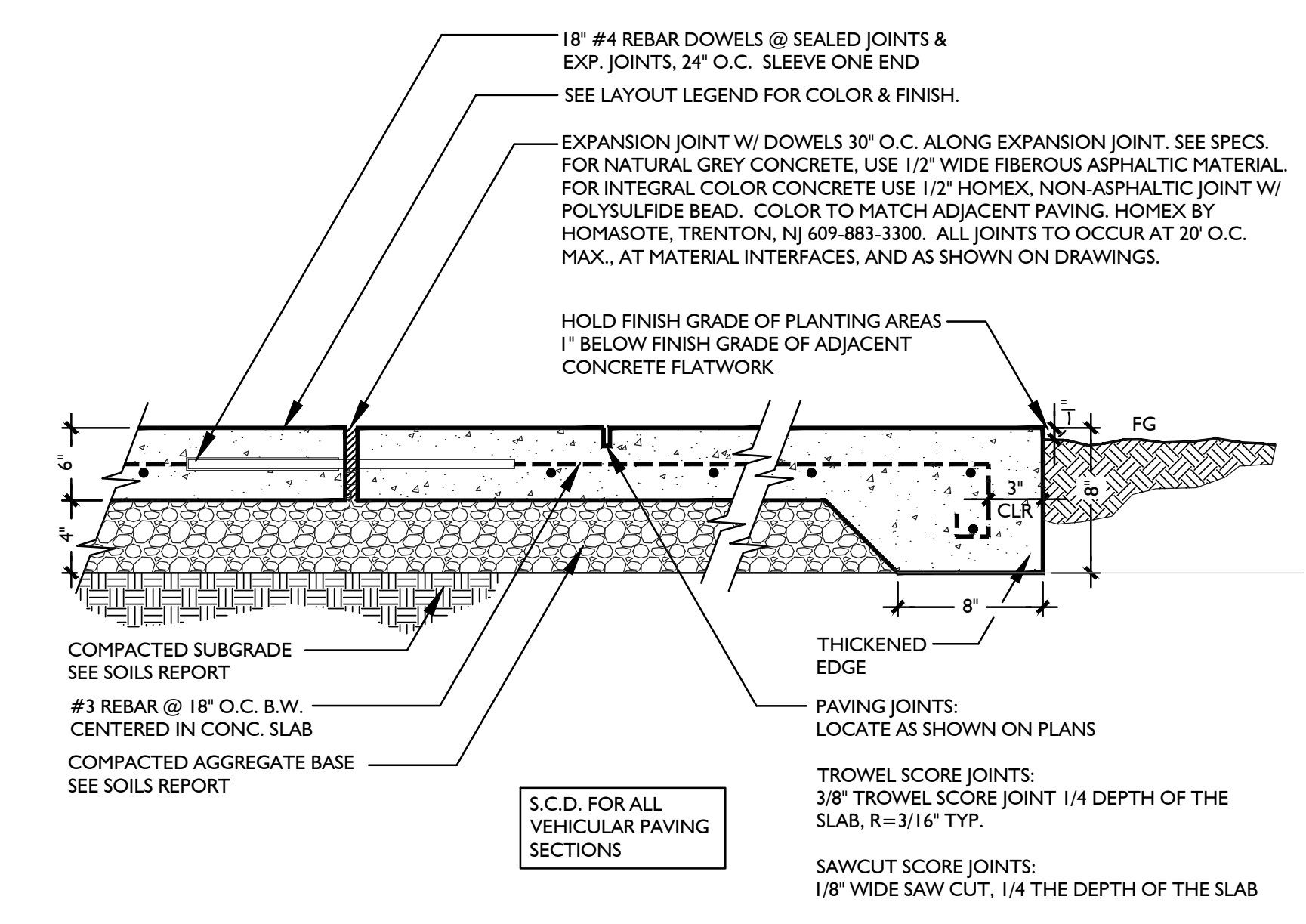


**CONSTRUCTION  
 DETAILS**

**L4.2**



**2 INTERLOCKING PAVERS ON SAND**  
 SCALE: 1" = 1'-0"



**1 CONCRETE PAVING**  
 SCALE: 1 1/2" = 1'-0"