



# PARKLINE MASTER PLAN

MENLO PARK, CA

MASTER PLAN CONDITIONAL DEVELOPMENT PERMIT PACKAGE

OCTOBER 31, 2022

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**MENLO PARK, CA  
SITE INFORMATION SUMMARY  
PARKLINE MASTER PLAN PROJECT**

**LOCATION:** 333 RAVENSWOOD AVE.  
**EXISTING ZONING DESIGNATION:** C1(X)  
**EXISTING USE:** OFFICE / R&D  
**PROPOSED USE:** RESIDENTIAL; OFFICE/R&D/LIFE SCIENCE

**APPLICANT:** LANE PARTNERS, LLC  
**PROPERTY OWNER(S):** SRI INTERNATIONAL  
**APPLICATION(S):** PLANNING SUBMISSION\_REV 2  
**DEVELOPMENT MANAGER:** LANE PARTNERS, LLC

SITE AREA SUMMARY	PROPOSED DEVELOPMENT			EXISTING		
	SQUARE FEET	ACRES		SQUARE FEET	ACRES	
TOTAL SITE AREA	2,754,035	63.22		2,754,035	63.22	
OFFICE / R&D SITE AREA	2,318,435	53.22		2,754,035	63.22	
RESIDENTIAL SITE AREA	435,600	10.00		0	0.00	
<b>SITE COVERAGE &amp; FAR CALCULATIONS</b>						
<b>SITE COVERAGE CALCS</b>	<b>COVERAGE (SQ.FT.)</b>	<b>COVERAGE (ACRES)</b>	<b>PERCENTAGE OF COVERAGE</b>	<b>COVERAGE (SQ.FT.)</b>	<b>COVERAGE (ACRES)</b>	<b>PERCENTAGE OF COVERAGE</b>
LANDSCAPING	1,319,804	30.30	48%	767,431	17.62	28%
PAVING	653,487	15.00	24%	1,351,783	31.03	58%
BUILDING COVERAGE	780,744	17.92	28%	634,821	14.57	23%
TOTAL SITE AREA	2,754,035	63.22		2,754,035	63.22	
<b>SITE FAR CALCULATIONS</b>	<b>SITE AREA</b>	<b>GROSS FLOOR AREA</b>	<b>FAR</b>	<b>SITE AREA</b>	<b>GROSS FLOOR AREA</b>	<b>FAR</b>
OFFICE/R&D	2,318,435	1,380,332	0.60	2,754,035	1,380,332	0.50
RESIDENTIAL	435,600	518,599	1.19	0	0	0.00
<b>TOTAL</b>	<b>2,754,035</b>	<b>1,898,931</b>	<b>0.69</b>	<b>2,754,035</b>	<b>1,380,332</b>	<b>0.50</b>

RESIDENTIAL BUILDING AREA SUMMARY			
RESIDENTIAL BUILDING	BUILDING COVERAGE (SF)	GROSS FLOOR AREA (SF)	UNITS (DU)
RESIDENTIAL 1	43,773	139,214	120
RESIDENTIAL 2	71,164	183,506	162
RESIDENTIAL 3	82,903	158,840	149
TOWN HOMES	25,403	37,039	19
<b>TOTAL RESIDENTIAL</b>	<b>223,243</b>	<b>518,599</b>	<b>450</b>
<b>RESIDENTIAL FAR</b>		<b>1.19</b>	
<b>PARKING RATIO</b>		1 SPACE / DU	
<b>RESIDENTIAL DU/ACRE</b>		<b>45 DU/ACRE</b>	

OFFICE/R&D BUILDING SUMMARY			
	BUILDING COVERAGE (SF)	GROSS FLOOR AREA (SF)	PARKING SPACES
<b>OFFICE/R&amp;D BUILDING</b>			
NEW	OFFICE 1	49,769	184,000
	OFFICE 2	49,795	227,300
	OFFICE 3	49,139	227,300
	OFFICE 4	49,564	229,000
	OFFICE 5	49,884	184,000
	OFFICE AMENITY BUILDING	22,486	40,000
	PUBLIC AMENITY BUILDING	2,019	2,002
	<b>SUB-TOTAL NEW BLDGS</b>	<b>272,656</b>	<b>1,093,602</b>
EXISTING	BUILDING P	42,446	183,423
	BUILDING S	12,599	21,241
	BUILDING T	52,985	82,066
	<b>SUB-TOTAL EXISTING BLDGS</b>	<b>108,030</b>	<b>286,730</b>
<b>SUB-TOTAL BUILDINGS</b>	<b>380,686</b>	<b>1,380,332</b>	
<b>OFFICE/R&amp;D PARKING</b>			
PARKING GARAGE 1	47,886	EXCLUDED FOR FAR CALC	2,300
PARKING GARAGE 2	48,488		
PARKING GARAGE 3	54,520		
SURFACE PARKING			500
<b>SUB-TOTAL PARKING</b>	<b>150,894</b>	<b>0</b>	<b>2,800</b>
<b>TOTAL OFFICE/R&amp;D+ PARKING</b>	<b>531,580</b>	<b>1,380,332</b>	<b>2,800</b>
<b>OFFICE / R&amp;D FAR</b>		<b>0.60</b>	
<b>PARKING RATIO</b>		APPROX. 2 SPACES / 1,000 SF	

TREES	EXISTING	EXIST. TO BE REMOVED	NEW
HERITAGE TREE	565	-240	
NON-HERITAGE TREE	810	-520	
NEW			912
<b>TOTAL</b>	<b>1,375</b>	<b>-760</b>	<b>912</b>
<b>TOTAL TREES PROPOSED</b>		<b>1,527</b>	

**NOTES:**  
1. All figures above are approximate.

**Initial Notes for City Review:**

The Master Plan Set includes the next iteration of the site plan which reflects the comments provided to date by the City Council, Planning Commission, City staff and consultants, residents, and stakeholders. The site plan is largely settled from a planning standpoint in terms of building siting and orientation pending further direction from the City.

The current site plan does not include a location for a new affordable housing parcel that would be set aside for future dedication. The project team is currently evaluating options to create an additional parcel in the northeast portion of the site that will accommodate a 100% affordable housing project, and modifications to that portion of the site plan (although not the proposed amenities themselves) are anticipated. The parcel will be dedicated to an affordable housing developer who would be responsible for designing and constructing the affordable housing project as part of a future phase. The location of that parcel as well as adjustments to the data calculations will be addressed in the next submittal.

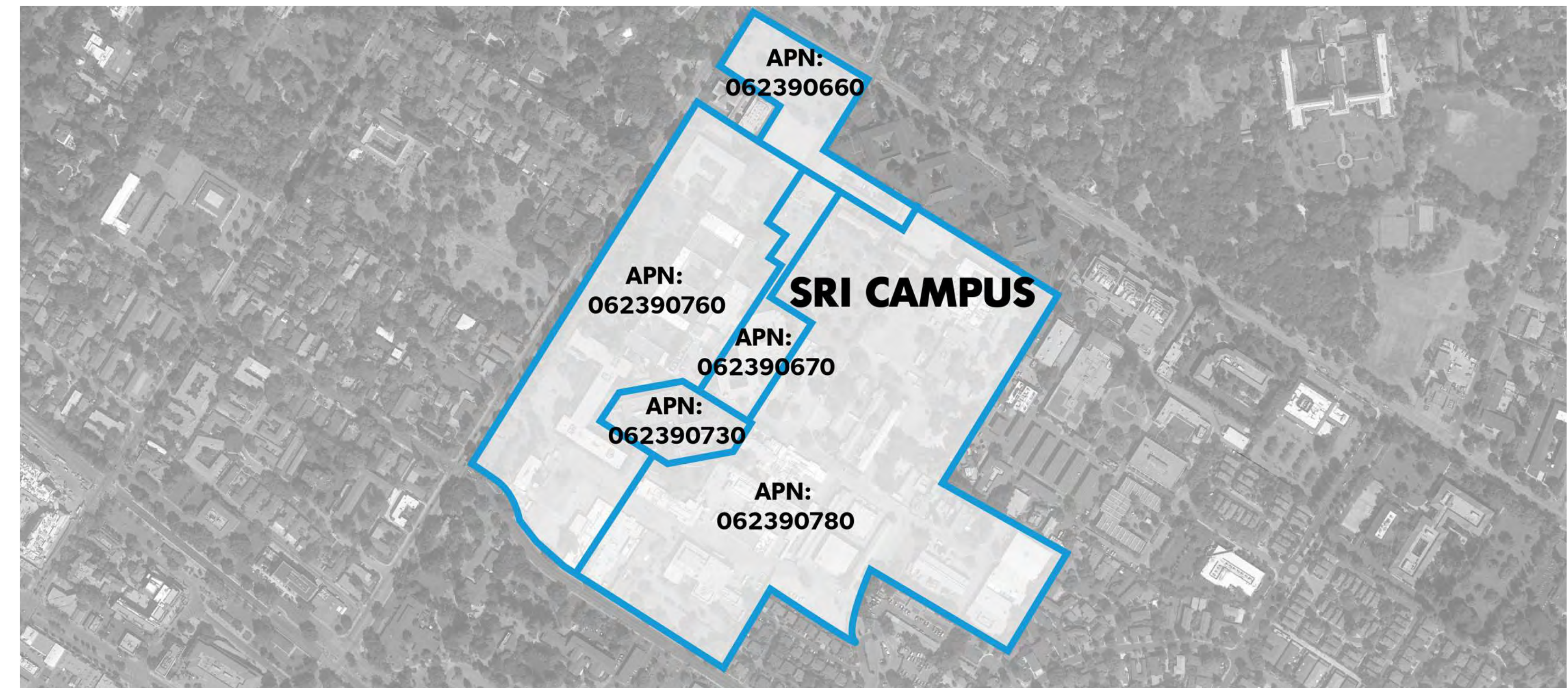
The attached architectural control plan sets reflect the project team's initial approach to designing the initial architectural elements for both the residential and non-residential components of the Master Plan. For the residential component, floor plans and elevations are provided for building Residential 1 and the Town Homes. For the non-residential component, floor plans and elevations are provided for buildings Office 1, Office 2, the Office Amenity Building, and Parking Garage 3. The purpose of these submittals is to elicit the City's feedback on initial architectural design. A full Architectural Control package will be submitted at a later date that reflects the City's and community's input.

The partial architectural control plans for the non-residential portion of the site assume life science/R&D uses with respect to building heights and massing, although the applicant desires flexibility to accommodate potential office uses. Office buildings could lead to certain design changes, such as slight reductions in building heights due to lower floor-to-ceiling standards, although the architectural approach would remain the same under either a life science/R&D scenario or an office scenario.

LOCATION MAP



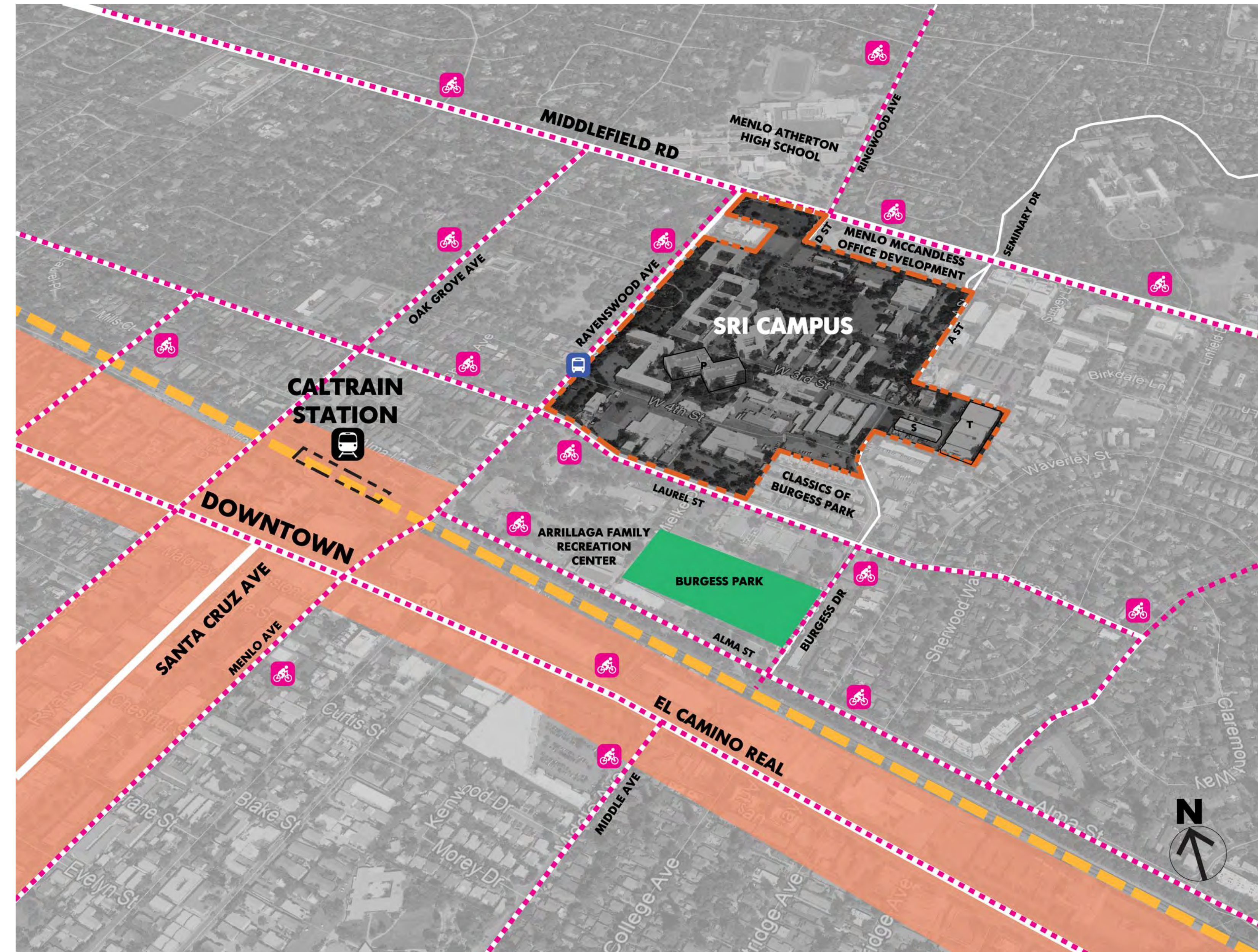
EXISTING PARCELIZATION MAP



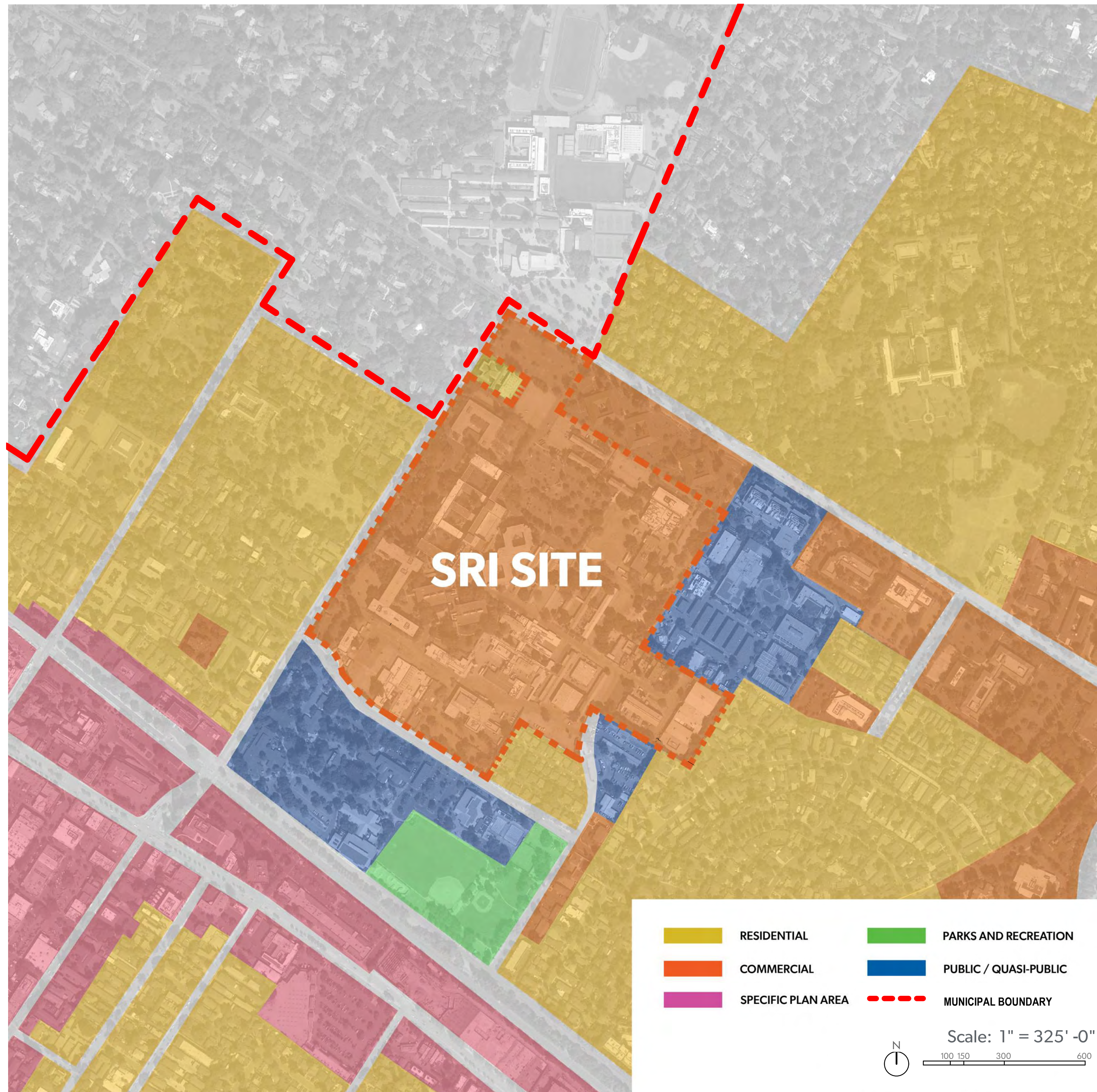
SITE MAP



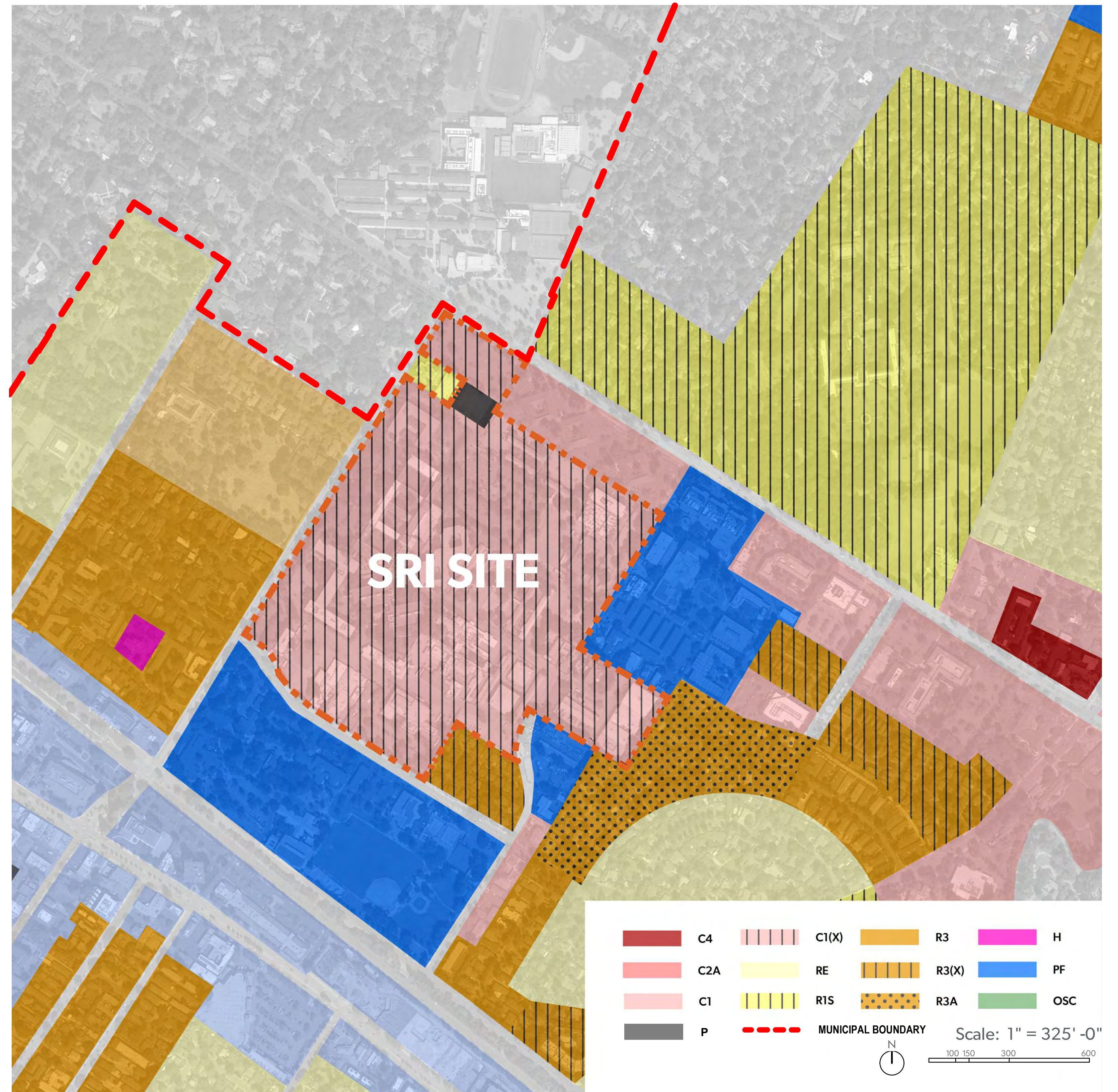
SITE DIAGRAM

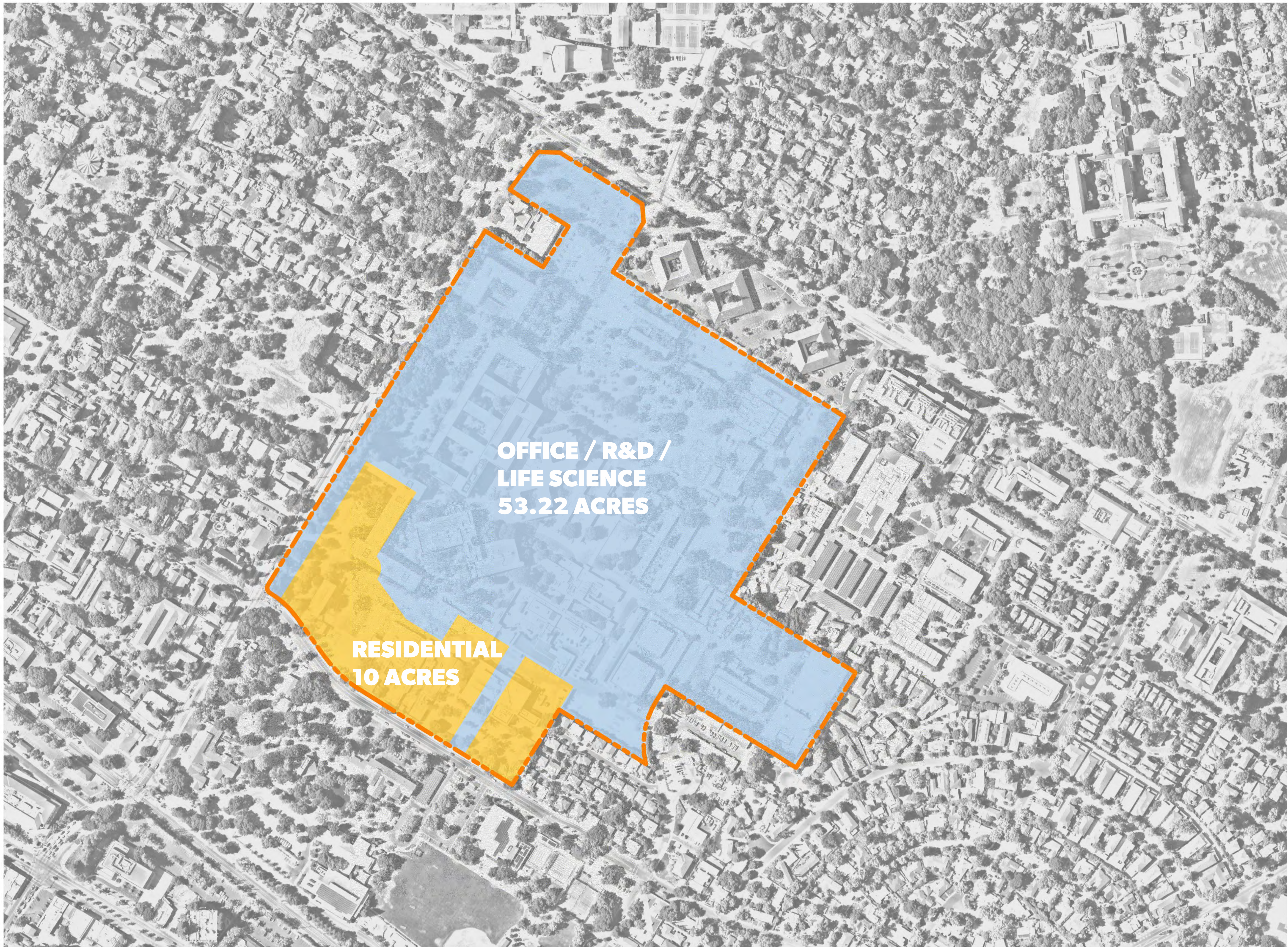


EXISTING GENERAL PLAN MAP

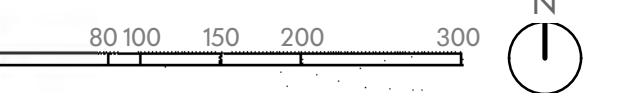


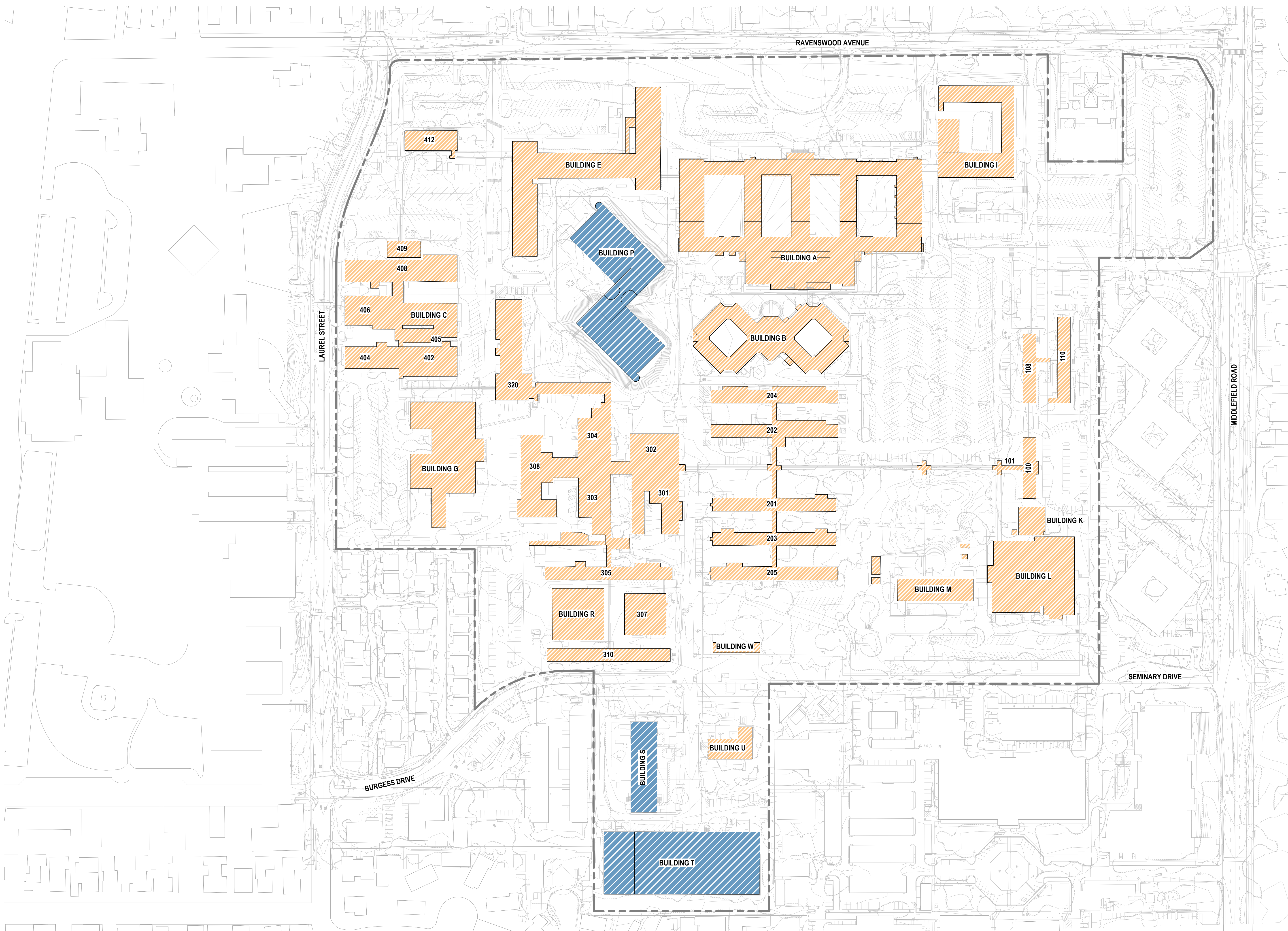
EXISTING ZONING MAP





Scale: 1" = 160'-0"



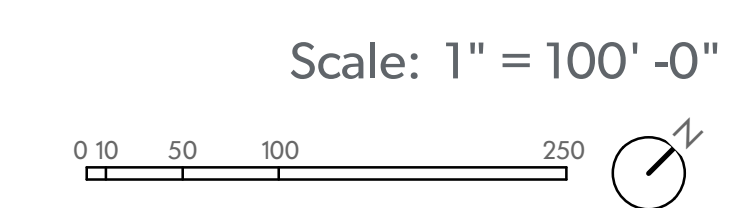


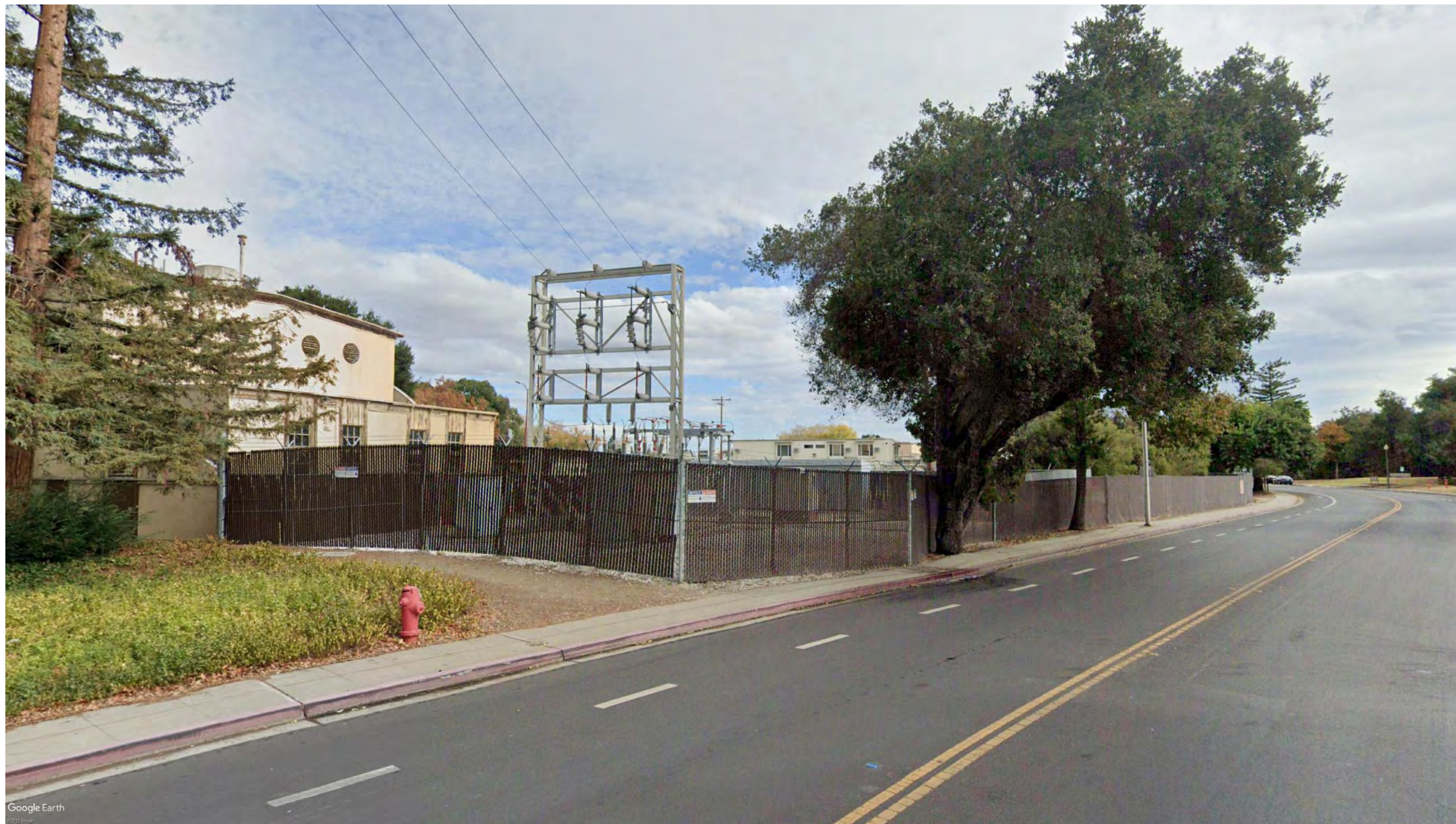
BUILDING NUMBER	BUILDING COVERAGE (SF)	GROSS FLOOR AREA (SF)
A	75,673	276,113
B	33,150	135,110
E	42,995	171,980
G	32,858	59,536
I	24,750	56,920
K	4,101	4,101
L	36,062	75,267
M	12,822	25,772
P	42,446	183,423
R	14,400	23,009
S	12,599	21,241
T	52,985	82,066
U	5,400	5,400
W	1,819	1,819
100	4,503	9,006
108	5,047	10,093
110	6,418	12,836
201	9,128	9,128
202	10,514	10,514
203	10,070	10,070
204	10,557	10,557
205	10,039	10,039
301	19,943	19,943
302 CAF	2,893	2,893
303	4,267	4,267
304	22,978	22,978
305	9,982	9,982
306	14,331	14,331
307	9,600	9,600
309	9,236	9,236
320	19,440	19,440
402/404	16,867	16,867
405	2,055	2,055
406	16,520	16,520
408	15,395	15,395
409	5,527	5,527
412	5,858	5,858
M1	1,440	1,440
SBSTN	595	-
TOTAL	635,263	1,380,332

**LEGEND**

TO BE REMOVED

TO REMAIN





VIEW ON LAUREL TOWARD SOUTH



VIEW ON LAUREL TOWARD NORTH

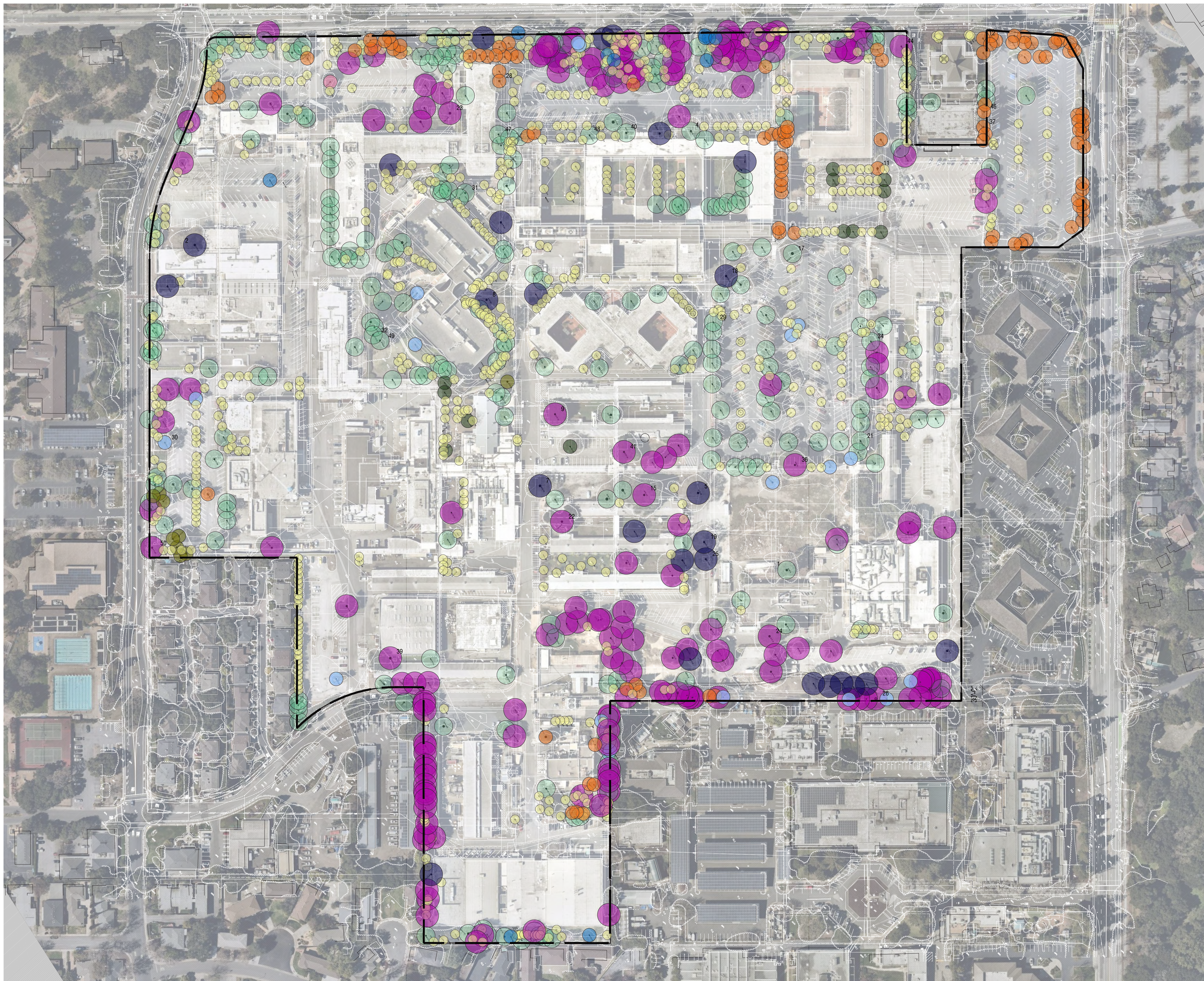


VIEW ON LAUREL TOWARD EAST



VIEW ON MIDDLEFIELD TOWARD CHURCH



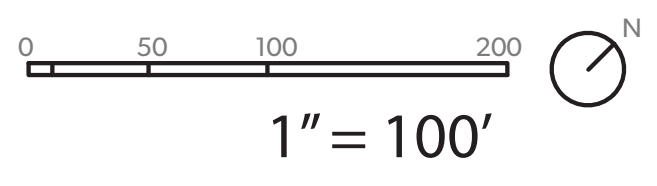


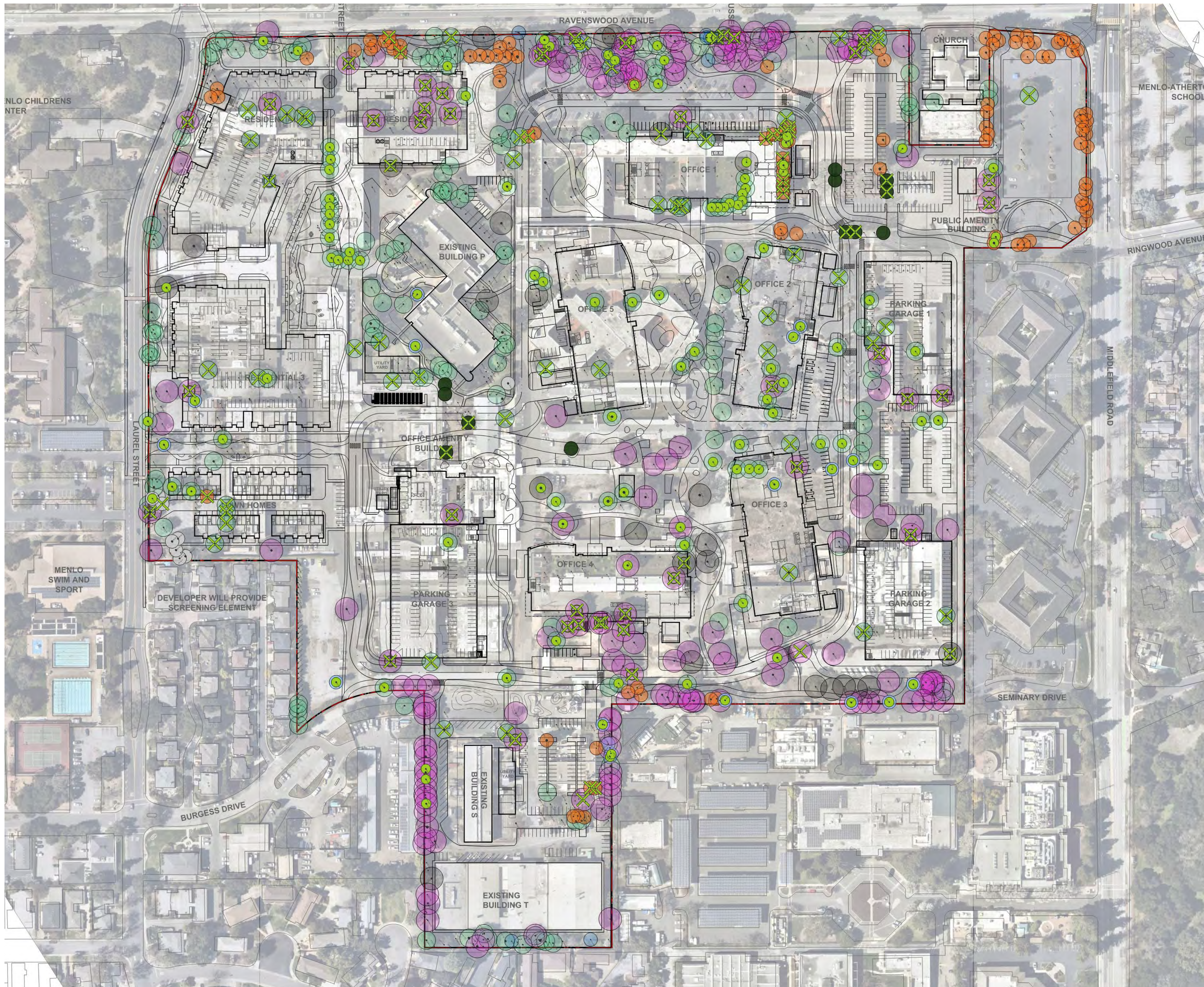
**LEGEND**

- HERITAGE QUERCUS AGRIFOLIA. / COAST LIVE
- HERITAGE QUERCUS LOBATA / VALLEY OAK
- HERITAGE QUERCUS ILEX / HOLLY OAK
- HERITAGE QUERCUS RUBRA / RED OAK
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- HERITAGE PLATANUS RACEMOSA / CA SYCAMORE
- HERITAGE OLEA EUROPEA / OLIVE
- HERITAGE INVASIVE
- HERITAGE OTHERS
- NON HERITAGE

EXISTING HERITAGE	565
QUERCUS AGRIFOLIA / COAST LIVE OAK	206
SEQUOIA SEMPERVIRENS / COAST REDWOOD	113
QUERCUS LOBATA / VALLEY OAK	29
LIQUIDAMBAR STYRACIFLUA / SWEET GUM	17
AFROCARPUS GRACILIOR / AFRICAN FERN PINE	16
PHOENIX CANARIENSIS / CANARY ISLAND PALM	15
OTHERS	169
 EXISTING NON-HERITAGE	 810
 TOTAL EXISTING TREES	 1,375

REFER TO APPENDIX FOR DETAILED TREE DISPOSITION PLANS





**LEGEND**

- HERITAGE QUERCUS AGRIFOLIA / COAST LIVE OAK
- HERITAGE QUERCUS LOBATA / VALLEY OAK
- HERITAGE QUERCUS ILEX / HOLLY OAK
- HERITAGE QUERCUS RUBRA / RED OAK
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD
- HERITAGE PLATANUS RACEMOSA / CA SYCAMORE
- HERITAGE OLEA EUROPEA / OLIVE
- HERITAGE INVASIVE
- HERITAGE OTHERS

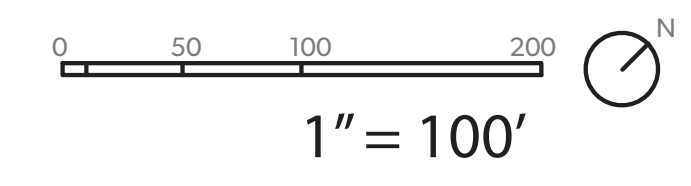
EXISTING TREES	
EXISTING HERITAGE TREES	565
EXISTING NON HERITAGE TREES	810
<b>TOTAL EXISTING TREES</b>	<b>1,375</b>

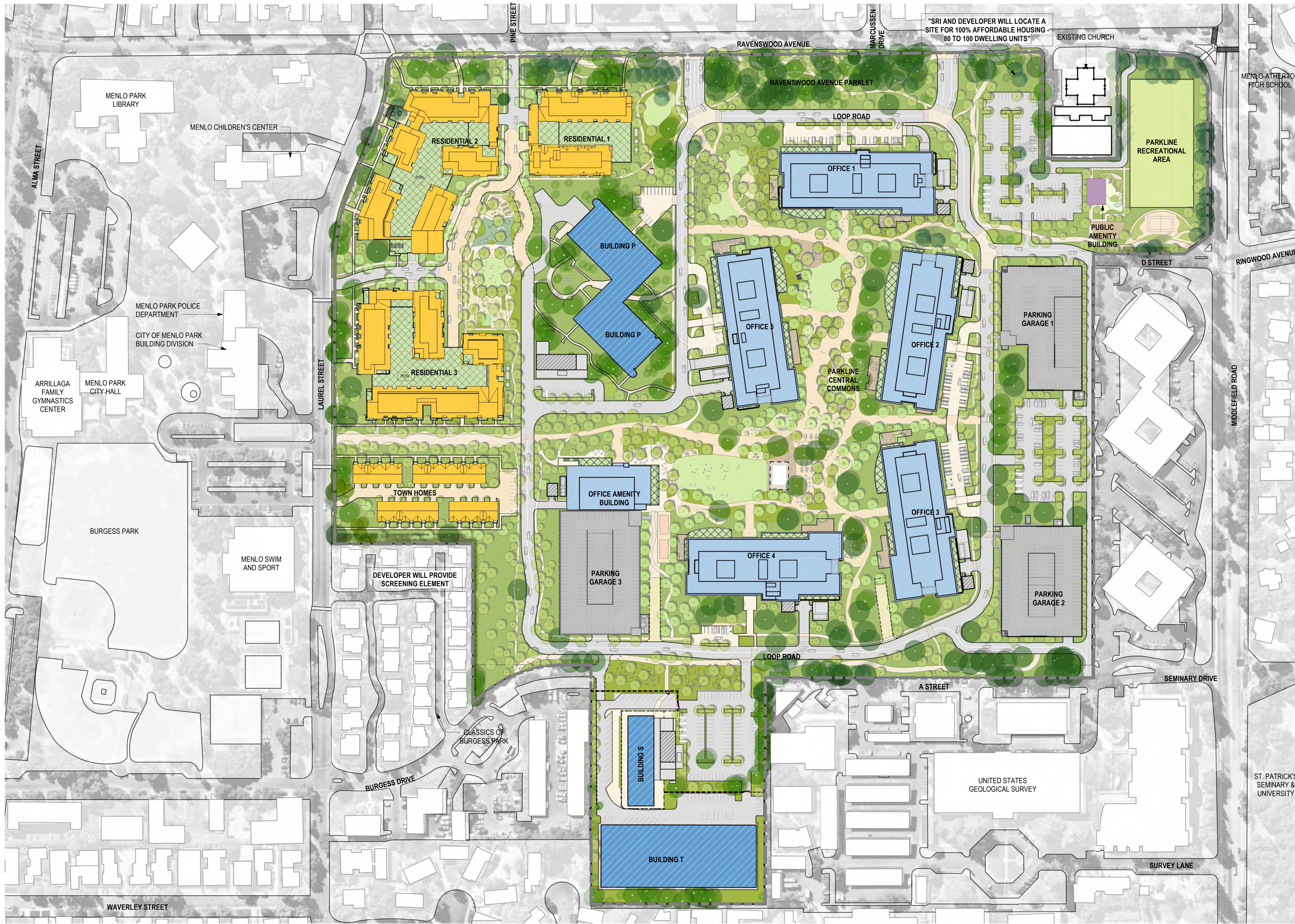
REMOVED HERITAGE TREES	
<span style="color: green;">●</span> HERITAGE UNDESIRABLE/INVASIVE/POOR HEALTH	119
<span style="color: green; border: 1px solid black;">✕</span> SCHEME CONFLICT HERITAGE OAK	45
<span style="color: green; border: 1px solid black;">✕</span> SCHEME CONFLICT OTHER HERITAGE	76
<b>TOTAL REMOVED HERITAGE TREES</b>	<b>240</b>

REMOVED NON-HERITAGE TREES	
UNDESIRABLE/INVASIVE/POOR HEALTH	329
SCHEME CONFLICT	191
<b>TOTAL REMOVED NON-HERITAGE TREES</b>	<b>520</b>

TOTAL TREES IN MASTERPLAN	
TOTAL PRESERVED HERITAGE TREES	325
TOTAL PRESERVED NON-HERITAGE TREES	290
TOTAL PROPOSED NEW TREES	912
<b>TOTAL TREES ON PROPOSED MASTERPLAN</b>	<b>1,527</b>

REFER TO APPENDIX FOR DETAILED TREE DISPOSITION PLANS





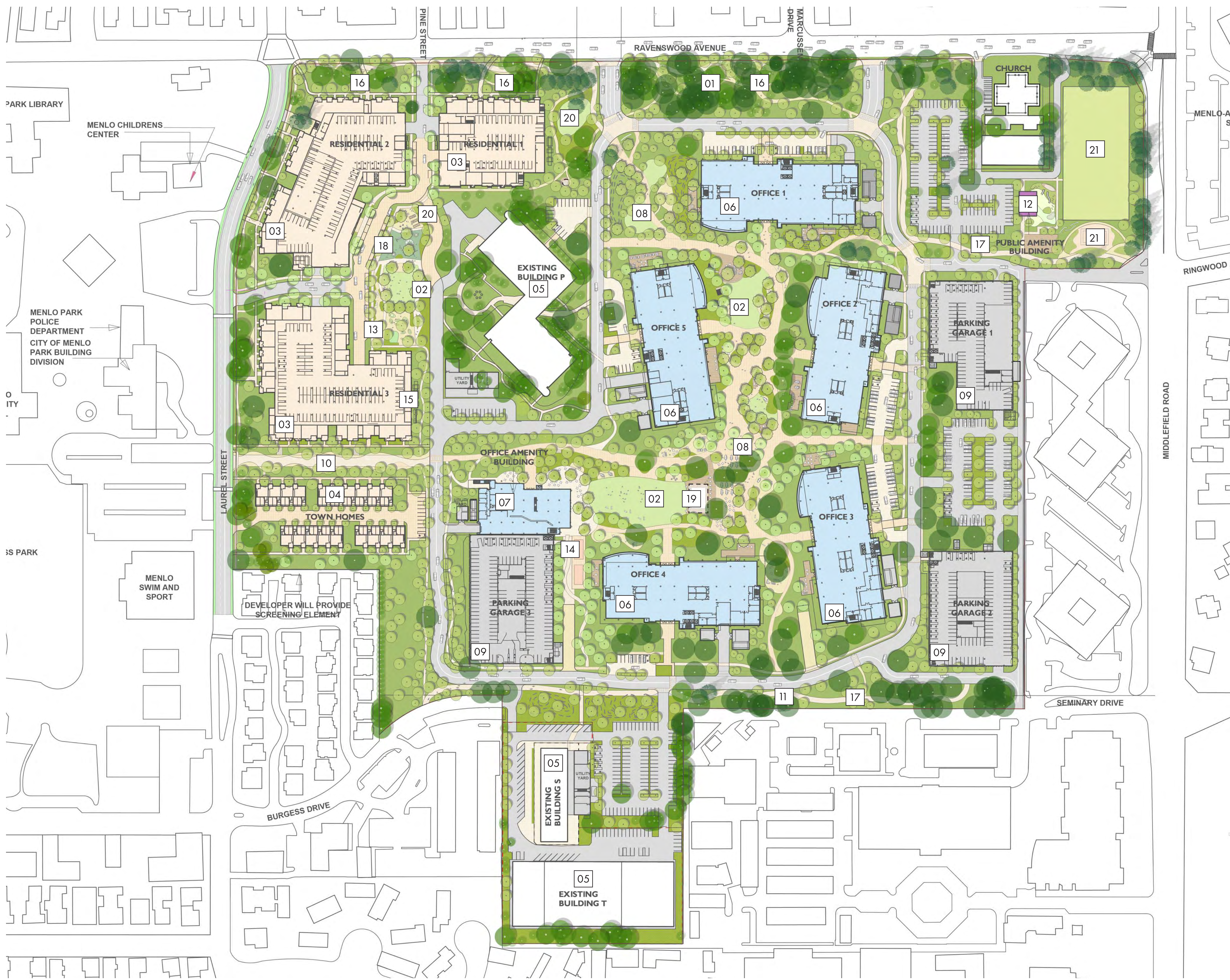
"SRI AND DEVELOPER WILL LOCATE A SITE FOR 100% AFFORDABLE HOUSING - 80 TO 100 DWELLING UNITS"

**LEGEND**

- RESIDENTIAL
- OFFICE
- OFFICE UPPER TERRACE
- PUBLIC AMENITY BUILDING
- EXISTING BUILDINGS
- PARKING GARAGE
- UTILITY YARD / TRASH ENCLOSURE
- FOOTPRINT / ROOF

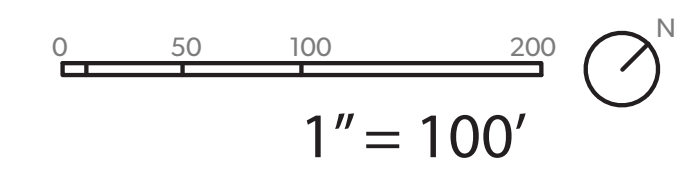


Scale: 1" = 100'-0"  
 0 10 50 100 250



**LEGEND**

- 01 RAVENSWOOD CLASS I SHARED-USE PATH
- 02 FLEXIBLE-USE LAWN
- 03 RESIDENTIAL APARTMENTS
- 04 RESIDENTIAL TOWNHOMES
- 05 EXISTING BUILDINGS TO REMAIN
- 06 OFFICE / R&D BUILDING
- 07 OFFICE AMENITY BUILDING
- 08 MULTI-USE PLAZA
- 09 PARKING GARAGE
- 10 LAUREL STREET PEDESTRIAN CONNECTION
- 11 SEMINARY/BURGESS CLASS I SHARED-USE PATH
- 12 PUBLIC AMENITY BUILDING
- 13 DOG PARK
- 14 PICKLEBALL COURT
- 15 COMMUNITY GARDENS
- 16 EXERCISE STATION
- 17 BIKE REPAIR STATION
- 18 CHILDREN'S PLAYGROUND
- 19 EVENT PAVILION
- 20 BBQ/PICNIC AREA
- 21 RECREATIONAL SPORTS AREA





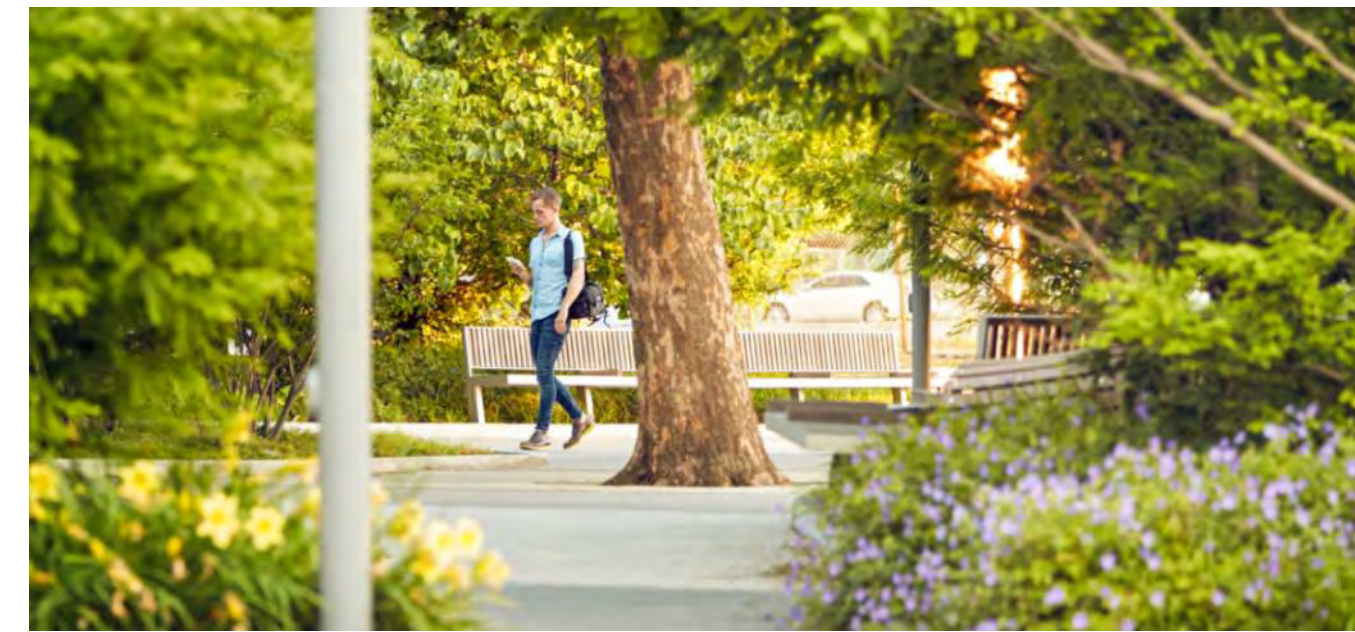
01 RAVENSWOOD CLASS I SHARED-USE PATH



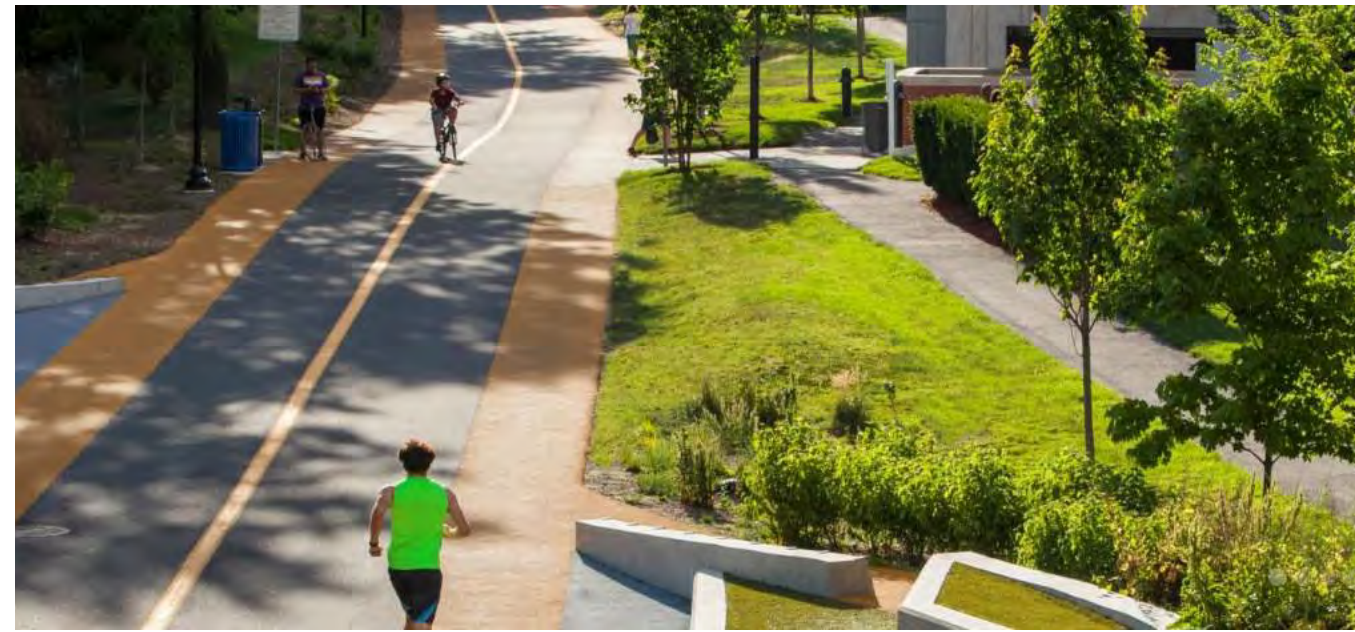
02 FLEXIBLE-USE LAWN



03 MULTI-USE PLAZA



04 LAUREL ST. PEDESTRIAN CONNECTION



05 SEMINARY/BURGESS CLASS I SHARED-USE PATH



06 DOG PARK



07 PICKLEBALL COURTS



08 COMMUNITY GARDEN



09 EXERCISE STATIONS



10 BIKE REPAIR STATION



11 CHILDREN'S PLAYGROUND



12 PERFORMANCE SPACE



13 BBQ/PICNIC AREA



14 SHADY COURTS



15 PARK GAMES



16 FARMERS' MARKET



17 SOCCER FIELD



18 FOOD TRUCKS



19 COMMUNITY FITNESS



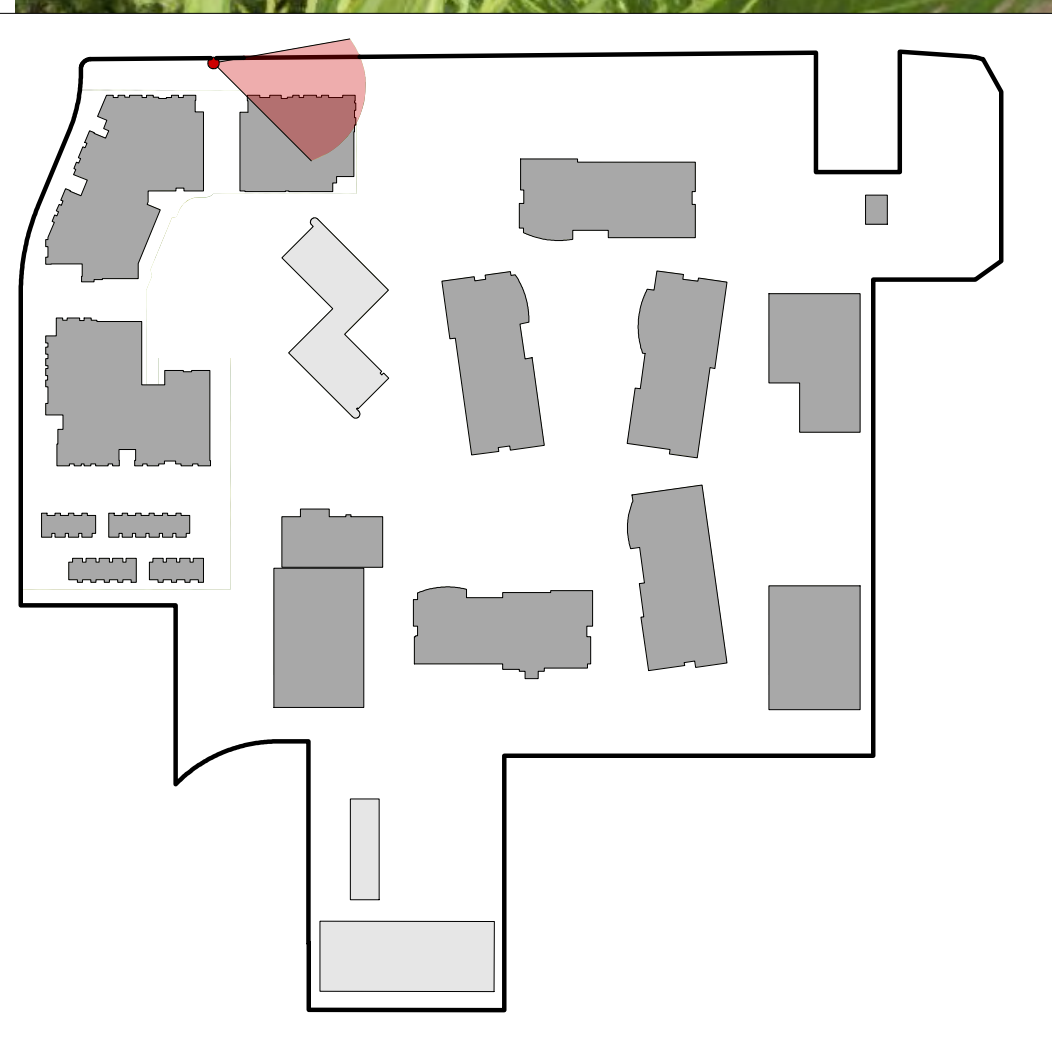
20 MOVIE NIGHT

### LEGEND

- 01 RAVENSWOOD CLASS I SHARED-USE PATH
- 02 FLEXIBLE-USE LAWN
- 03 MULTI-USE PLAZA
- 04 LAUREL STREET PEDESTRIAN CONNECTION
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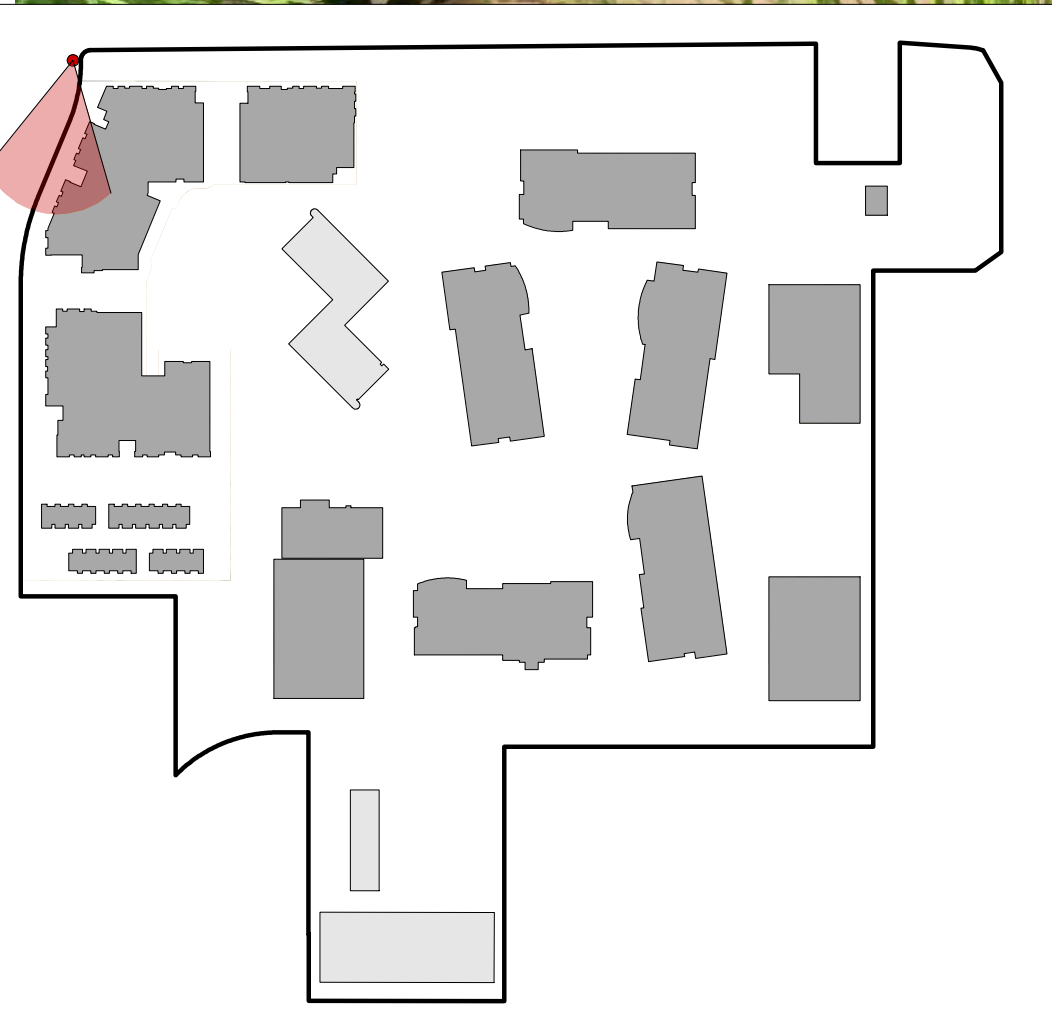


A PARKLET WITH SHARED BICYCLE AND PEDESTRIAN PATHS WILL STRETCH ALONG THE PROJECT AT RAVENSWOOD AVENUE.



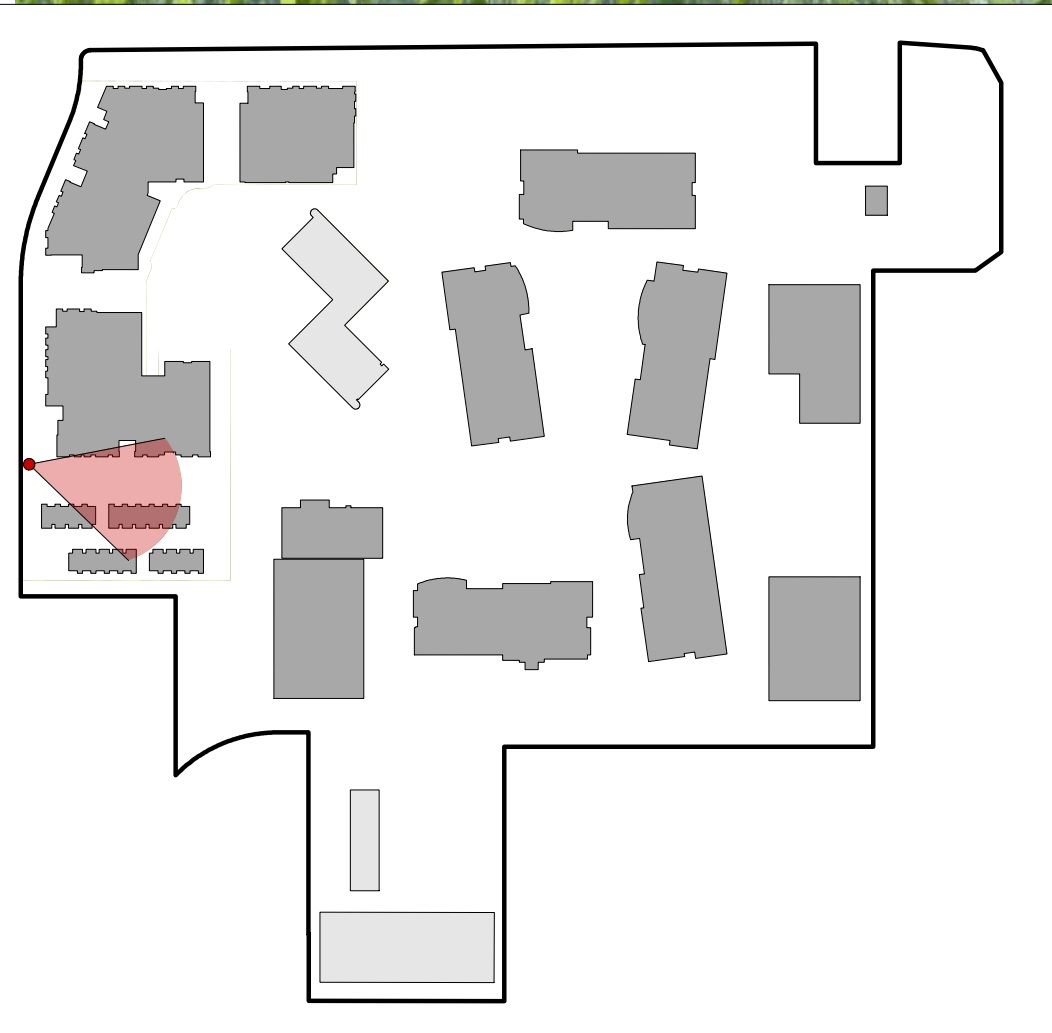


BICYCLES AND PEDESTRIANS TRAVEL ALONG LAUREL STREET WITH "RESIDENTIAL 2" BUILDING AT LEFT.





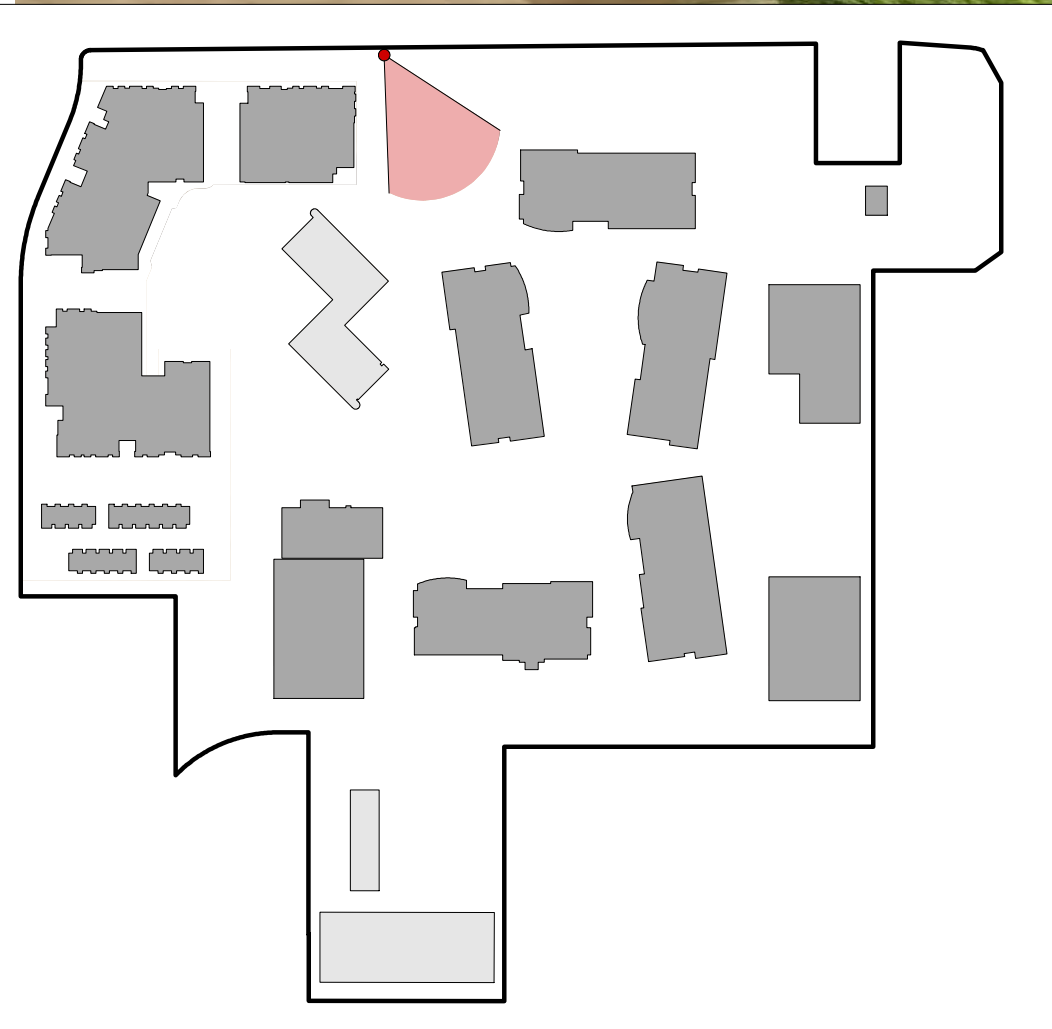
THE LAUREL STREET PEDESTRIAN CONNECTION WILL OFFER EAST-WEST ACCESS TO AND FROM THE PARKLINE CENTRAL COMMONS.





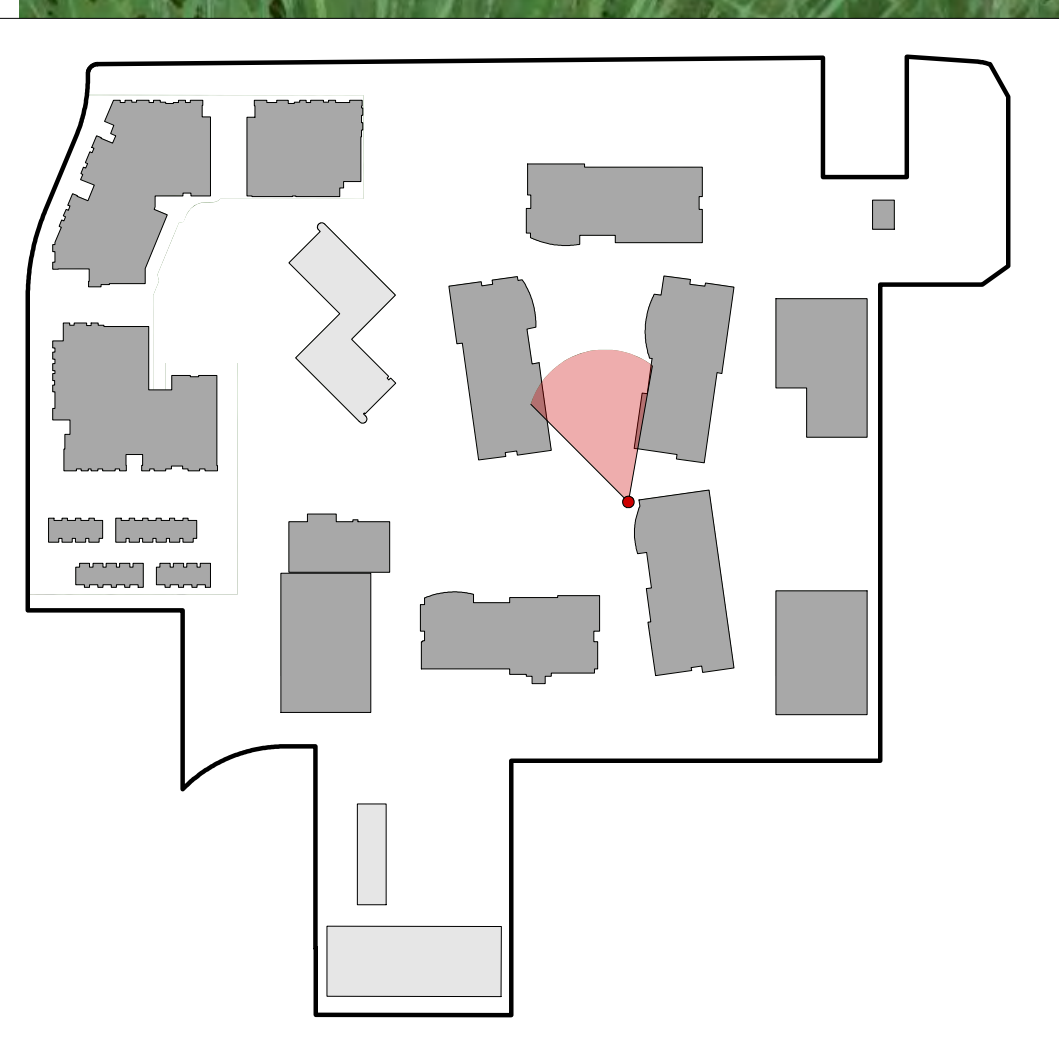


VIEW OF ONE OF TWO MAIN ENTRANCES TO PARKLINE ALONG RAVENSWOOD AVENUE.



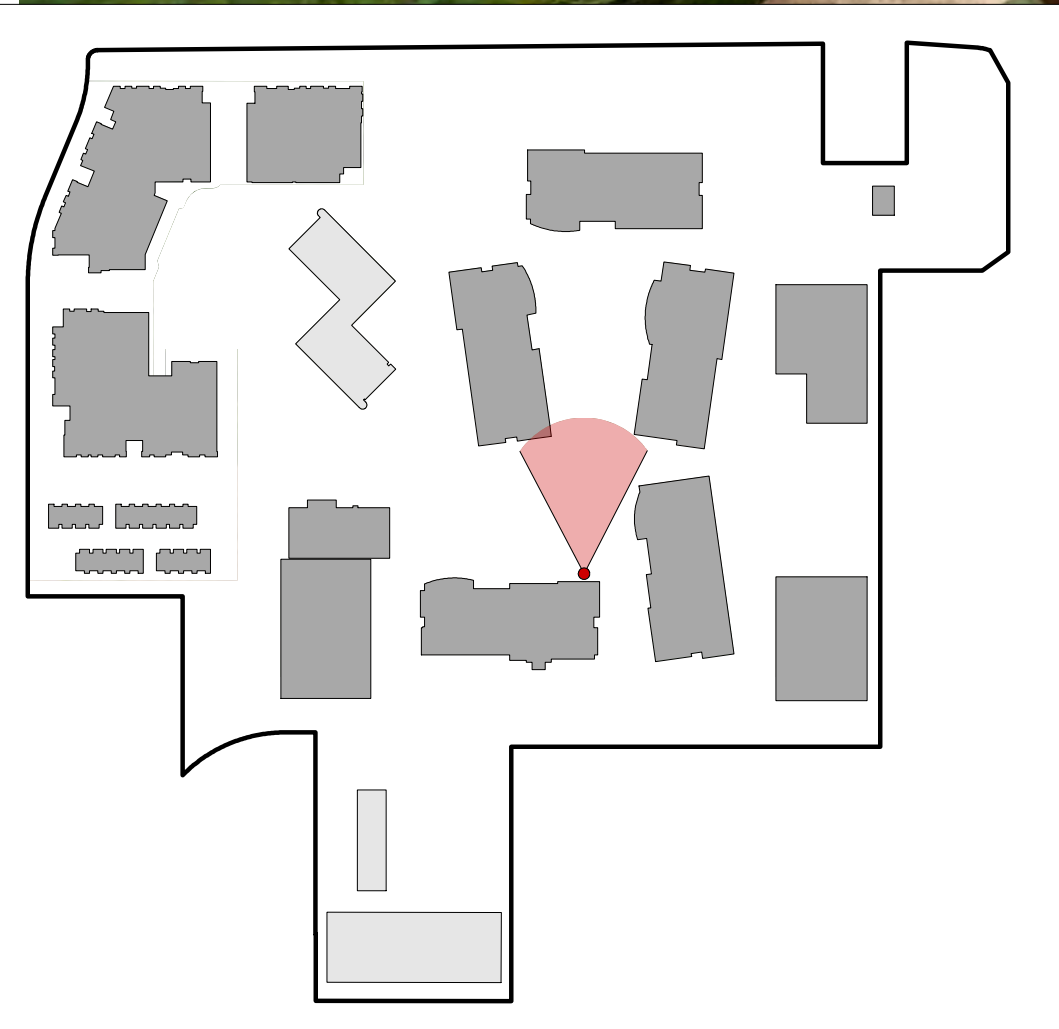


VIEW OF PARKLINE CENTRAL COMMONS WITH "OFFICE 5" BUILDING AT LEFT AND "OFFICE 2" BUILDING AT RIGHT.



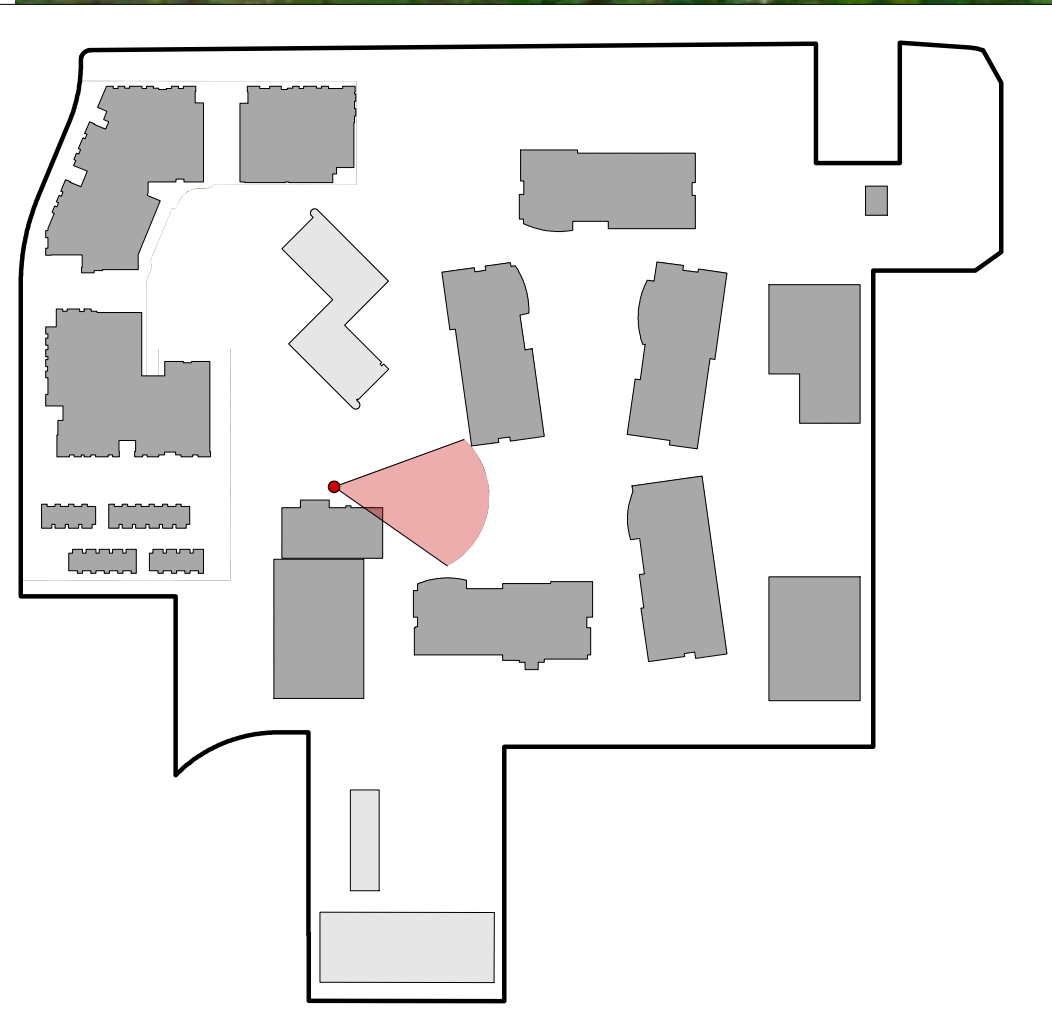


VIEW OF PARKLINE CENTRAL COMMONS, LOOKING TOWARD THE NORTH.



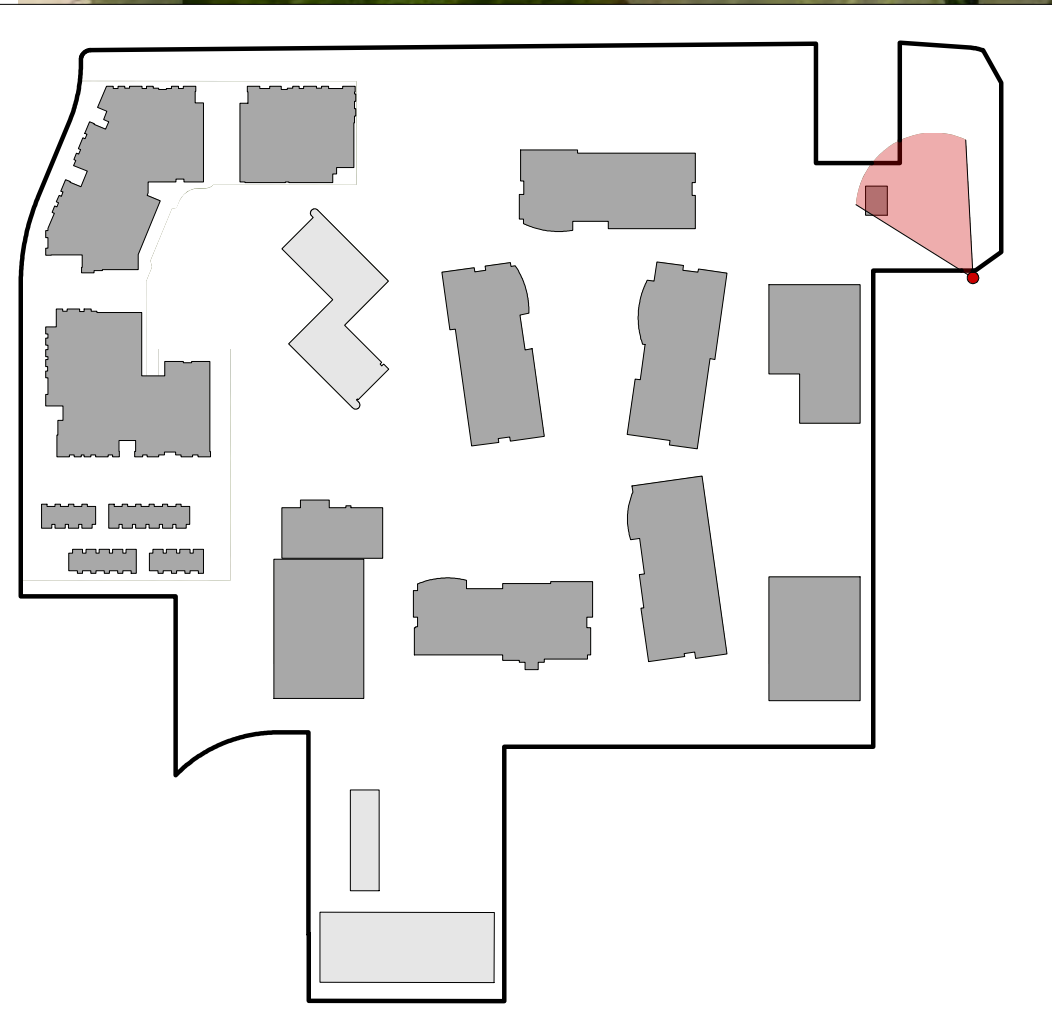


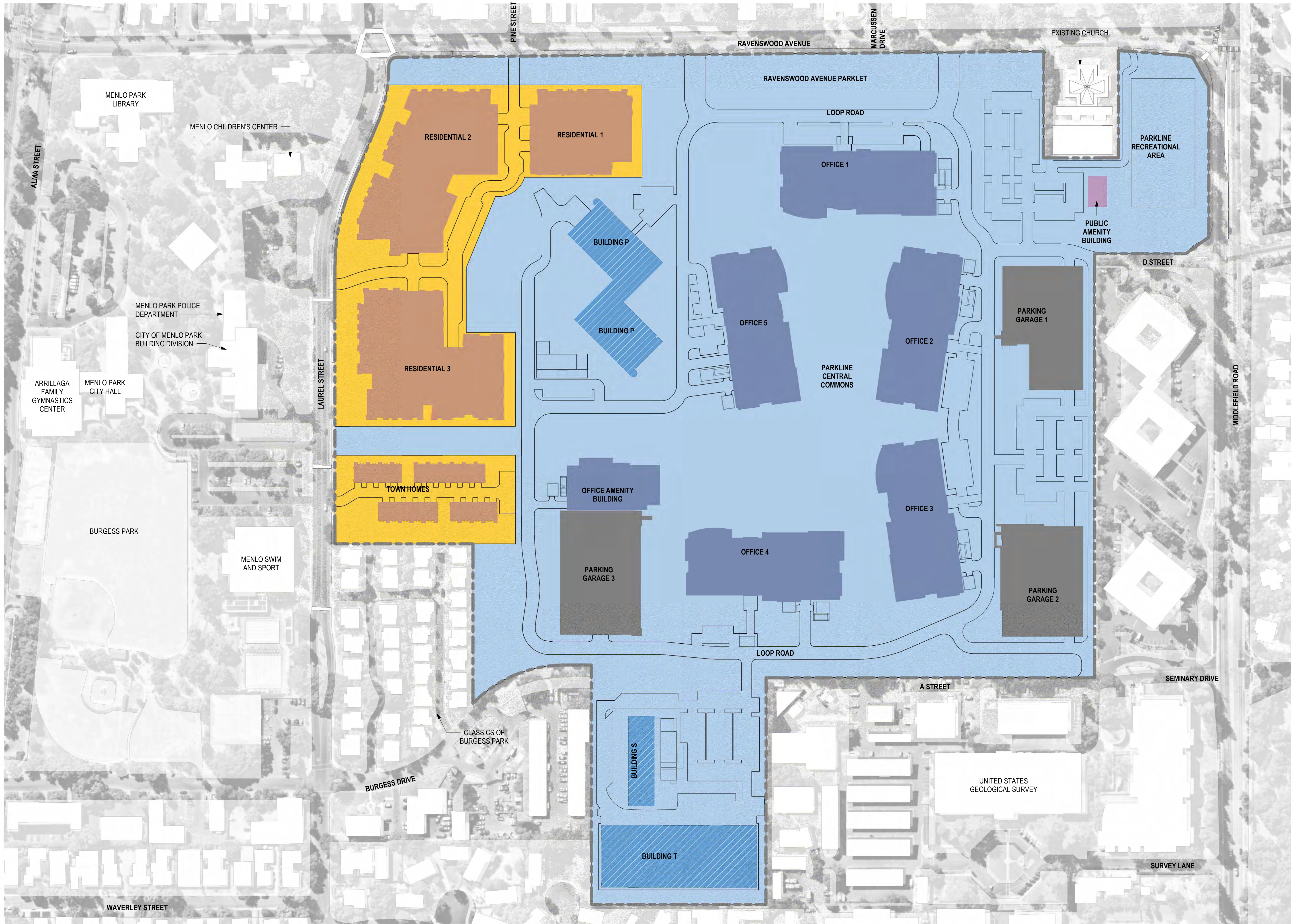
VIEW OF PARKLINE CENTRAL COMMONS WITH THE OFFICE AMENITY BUILDING AT RIGHT.





VIEW OF PARKLINE RECREATIONAL AREA TOWARD THE NORTH.





	SF
RESIDENTIAL SITE AREA	435,600
OFFICE SITE AREA	2,318,435
TOTAL SITE AREA	2,754,035

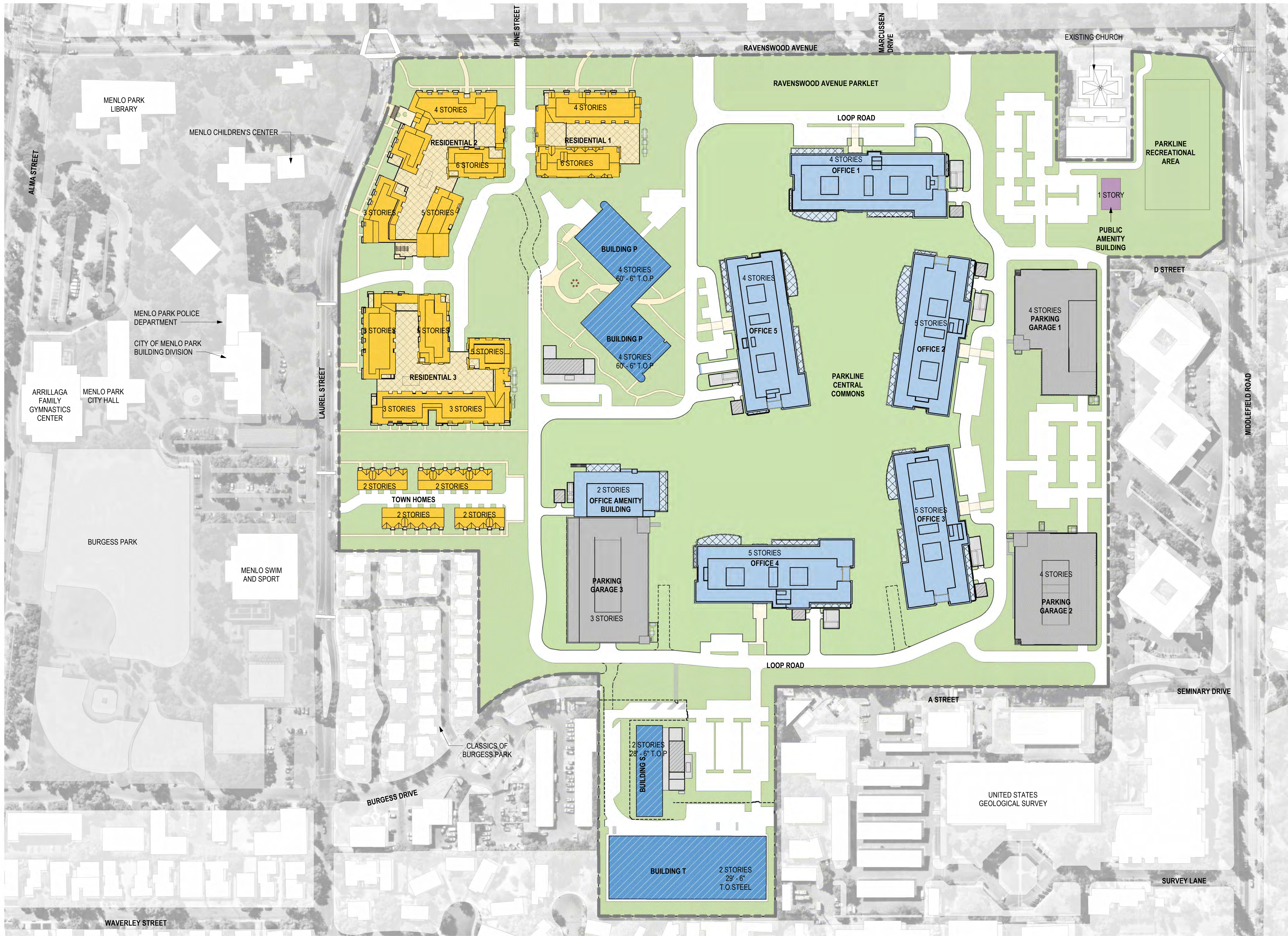
	GSF(SF)	TOTAL(SF)	
10 ACRE	RESIDENTIAL 1	139,214	
FAR 1.19	RESIDENTIAL 2	183,506	
	RESIDENTIAL 3	158,840	
	TOWN HOMES	37,039	
	<b>TOTAL RESIDENTIAL</b>	<b>518,599</b>	

53.22 ACRE FAR 0.60	OFFICE 1	184,000	1,093,602
	OFFICE 2	227,300	
	OFFICE 3	227,300	
	OFFICE 4	229,000	
	OFFICE 5	184,000	
	OFFICE AMENITY BUILDING	40,000	
	PUBLIC COMMUNITY BUILDING	2,002	
EXISTING	BUILDING P	183,423	286,730
	BUILDING S	21,241	
	BUILDING T	82,066	
	<b>TOTAL OFFICE</b>	<b>1,380,332</b>	

NOTE: ENCLOSED UTILITY AND TRASH AREA IS BELOW 3% OF BUILDING AREA AND HAS BEEN EXCLUDED FROM THE GROSS FLOOR AREAS PROVIDED.

LEGEND	
	OFFICE/R&D AREA
	OFFICE/R&D
	RESIDENTIAL AREA
	RESIDENTIAL
	PUBLIC AMENITY BUILDING
	PARKING GARAGE





BUILDING HEIGHT			
BUILDING	APPROX. HEIGHT AT TOP OF PARAPET (FT)	PROPOSED HEIGHT LIMIT	
RESIDENTIAL	RESIDENTIAL 1	52.5-72.5 (4-6 STORIES)	83
	RESIDENTIAL 2	52.5-72.5 (4-6 STORIES)	83
	RESIDENTIAL 3	42.5-62.5 (3-5 STORIES)	73
	TOWN HOMES	25 (2 STORIES)	35
OFFICE/R&D	OFFICE 1	75 (4 STORIES)	85
	OFFICE 2	91 (5 STORIES)	101
	OFFICE 3	91 (5 STORIES)	101
	OFFICE 4	91 (5 STORIES)	101
	OFFICE 5	75 (4 STORIES)	85
	OFFICE AMENITY BUILDING	41 (2 STORIES)	51
	PUBLIC AMENITY BUILDING	20 (1 STORY)	30
	PARKING GARAGE 1	44 (4 STORIES)	54
	PARKING GARAGE 2	44 (4 STORIES)	54
	PARKING GARAGE 3	31 (3 STORIES)	41

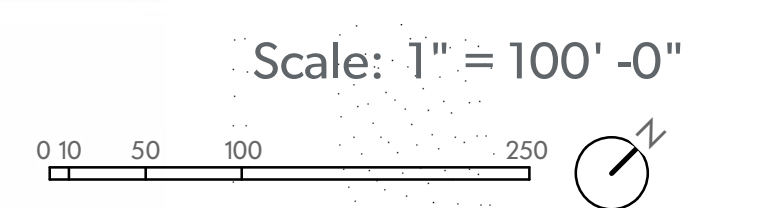
NOTE: PROPOSED BUILDING HEIGHT IS CONCEPTUAL AND MAY BE SUBJECT TO CHANGE.

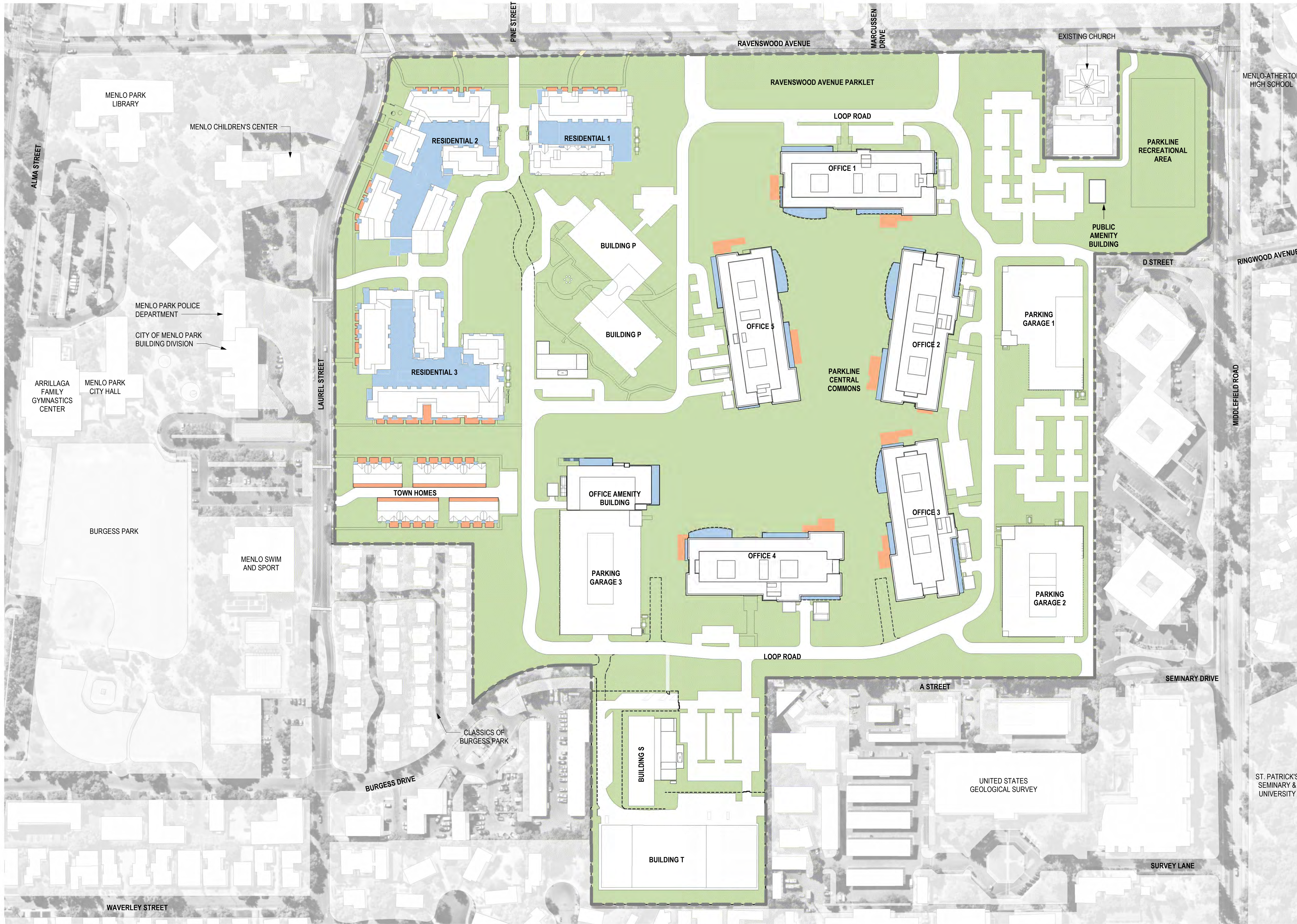
OFFICE BUILDING HEIGHTS ARE MEASURED TO TOP OF STRUCTURE(PARAPET) AND EXCLUDES MECHANICAL SCREENS AND EQUIPMENT OVERRUNS

NOTE: THE HEIGHT OF THE RESIDENTIAL BUILDINGS VARIES FROM 3-6 STORIES WITH LOWER ELEVATIONS FRONTING LAUREL STREET AND RAVENSWOOD AVE.

**LEGEND**

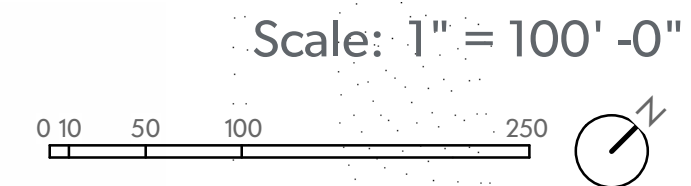
- RESIDENTIAL
- UPPER TERRACES
- OFFICE
- UPPER TERRACES
- PUBLIC AMENITY BUILDING
- PARKING GARAGE
- UTILITY YARD/ TRASH ENCLOSURE
- UTILITY/TRASH ROOF
- EXISTING BUILDINGS



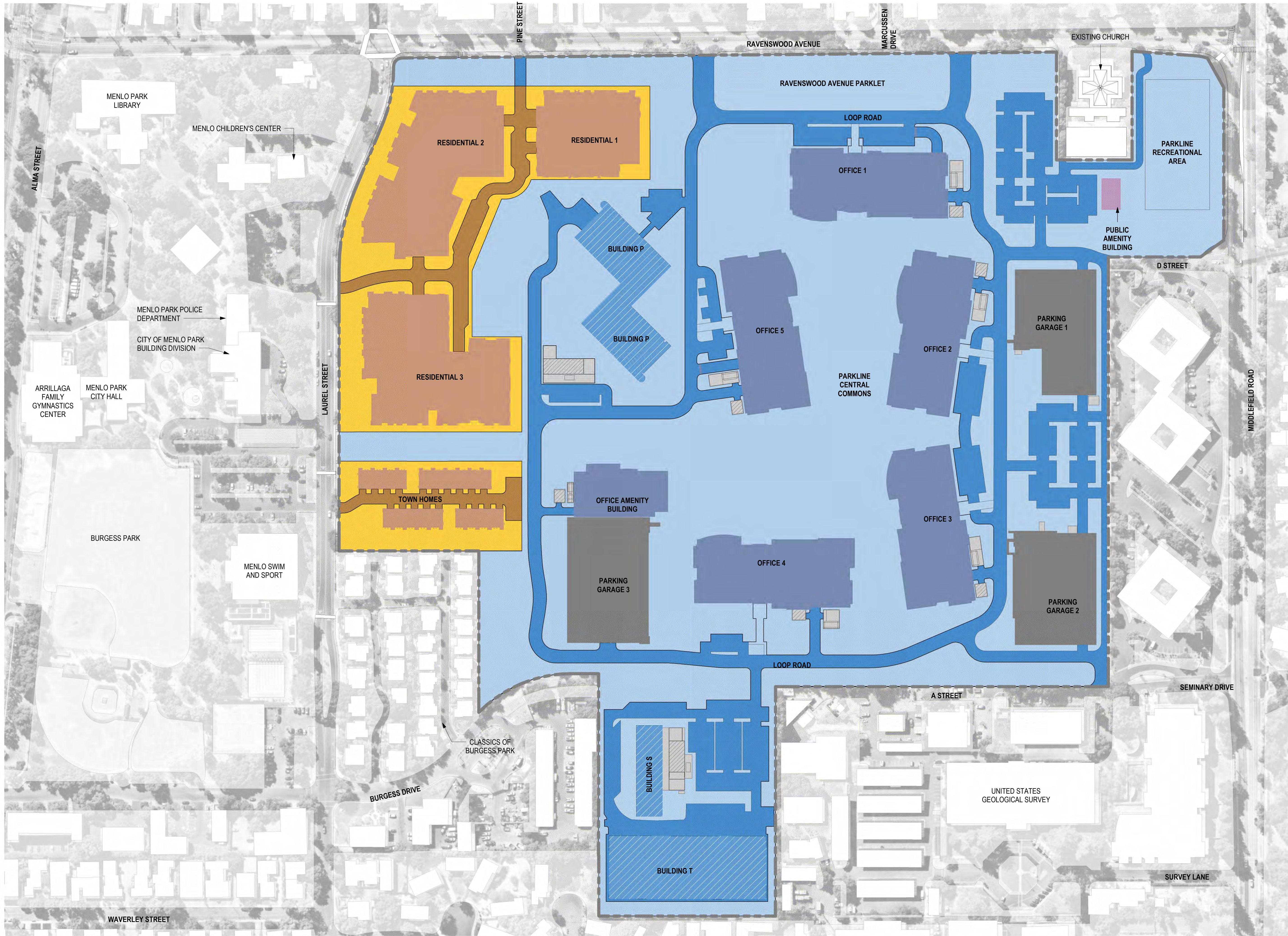


**LEGEND**

- OPEN SPACE
- AT GRADE PRIVATE TENANT SPACE
- ABOVE GRADE PRIVATE TENANT SPACE







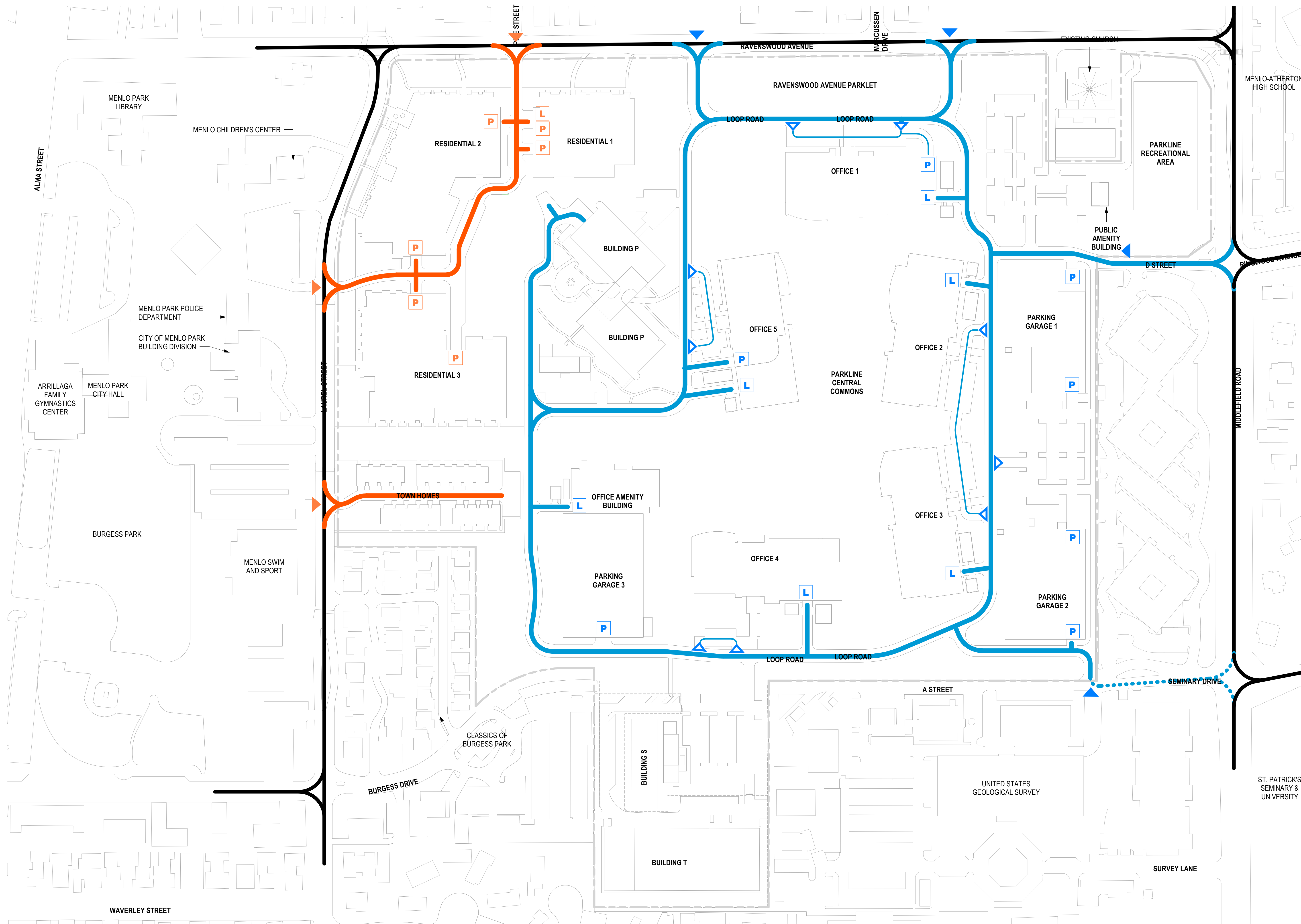
		FOOTPRINT (SF)	TOTAL (SF)
10 ACRE	RESIDENTIAL 1	43,773	223,243
	RESIDENTIAL 2	71,164	
	RESIDENTIAL 3	82,903	
	TOWN HOMES	25,403	

		FOOTPRINT (SF)	TOTAL (SF)
53.22 ACRE	OFFICE 1	49,769	272,656
	OFFICE 2	49,795	
	OFFICE 3	49,139	
	OFFICE 4	49,564	
	OFFICE 5	49,884	
	OFFICE AMENITY BUILDING	22,486	
	PUBLIC AMENITY BUILDING	2,019	
	PARKING GARAGE 1	47,886	
	PARKING GARAGE 2	48,488	
	PARKING GARAGE 3	54,520	
EXISTING	BUILDING P	42,446	108,030
	BUILDING S	12,599	
	BUILDING T	52,985	
<b>SUB-TOTAL OFFICE BUILDINGS</b>		<b>380,686</b>	
<b>TOTAL OFFICE / R&amp;D + PARKING</b>		<b>531,580</b>	

NOTE: PROPOSED BUILDING COVERAGE IS CONCEPTUAL AND MAY BE SUBJECT TO CHANGE.  
 ENCLOSED UTILITY AND TRASH AREA IS BELOW 3% OF BUILDING AREA AND HAS BEEN EXCLUDED FROM THE GROSS FLOOR AREAS PROVIDED.

LEGEND	
<span style="display:inline-block; width:15px; height:10px; background-color: #c85130; border: 1px solid black;"></span>	BUILDING COVERAGE - RESIDENTIAL
<span style="display:inline-block; width:15px; height:10px; background-color: #4a7ebb; border: 1px solid black;"></span>	BUILDING COVERAGE - OFFICE/R&D
<span style="display:inline-block; width:15px; height:10px; background-color: #808080; border: 1px solid black;"></span>	BUILDING COVERAGE - PARKING GARAGE
<span style="display:inline-block; width:15px; height:10px; background-color: #800080; border: 1px solid black;"></span>	BUILDING COVERAGE - PUBLIC AMENITY BUILDING
<span style="display:inline-block; width:15px; height:10px; background-color: #cccccc; border: 1px solid black;"></span>	UTILITY YARD/ TRASH ENCLOSURE
<span style="display:inline-block; width:15px; height:10px; background-color: #cccccc; border: 1px solid black; border-style: dashed;"></span>	UTILITY YARD/ TRASH ENCLOSURE ROOF
<span style="display:inline-block; width:15px; height:10px; background-color: #f0e68c; border: 1px solid black;"></span>	RESIDENTIAL AREA
<span style="display:inline-block; width:15px; height:10px; background-color: #add8e6; border: 1px solid black;"></span>	OFFICE/R&D AREA
<span style="display:inline-block; width:15px; height:10px; background-color: #008080; border: 1px solid black;"></span>	PAVING FOR VEHICLES

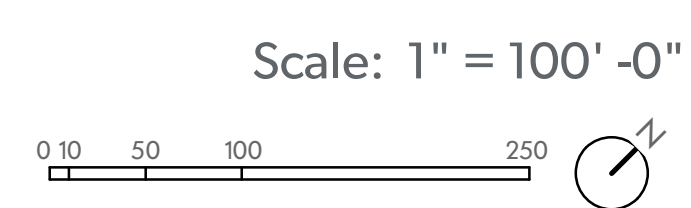


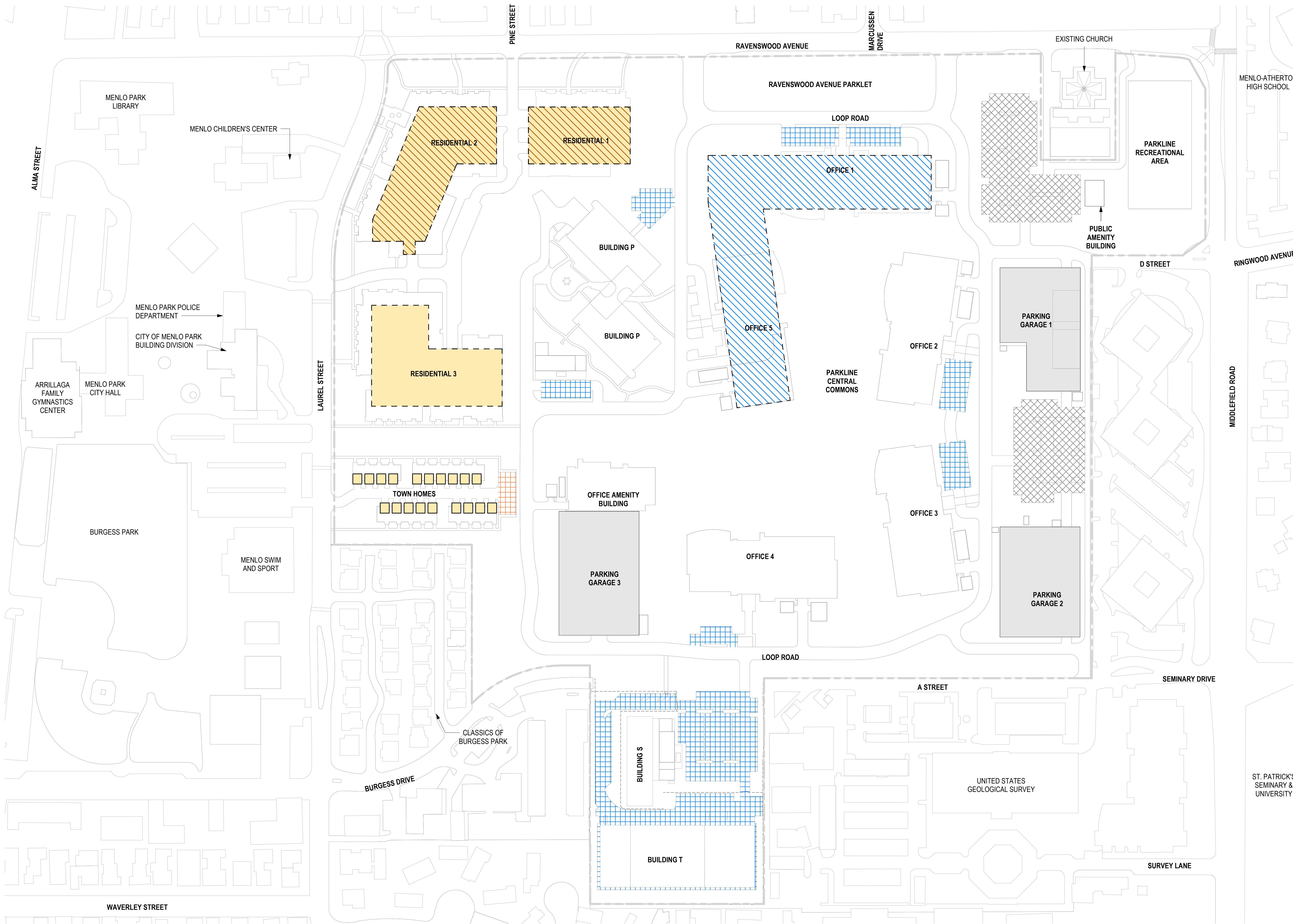


**LEGEND**

- EXISTING
- OFFICE R&D VEHICULAR ROUTE
- PLANNED FUTURE ROUTE
- OFFICE R&D/SURFACE PARKING ROUTE
- RESIDENTIAL VEHICULAR ROUTE
- OFFICE R&D MAIN ENTRY
- RESIDENTIAL MAIN ENTRY
- PASSENGER LOADING/DROP OFF
- L L ENTRY TO LOADING DOCK
- P OFFICE/R&D PARKING ENTRY
- P RESIDENTIAL PARKING ENTRY

THIS DIAGRAM INDICATES VISITOR/GENERAL USER GROUP ACCESS. SEE G4.03 FOR EMERGENCY VEHICLE ACCESS PLAN.



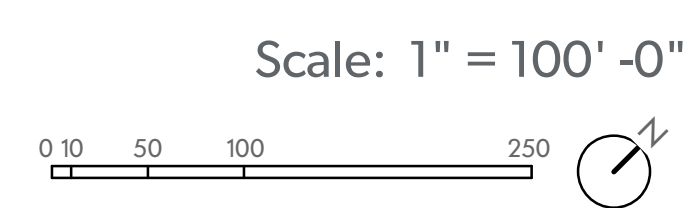


PARKING SPACES	
RESIDENTIAL (BASED ON 450 DUs)	
BUILDING	PROPOSED (MIN.)
TOTAL RESIDENTIAL PARKING	450

OFFICE / R&D (BASED ON 1,380,332 SF)	
BUILDING	PROPOSED (MIN.)
STRUCTURED PARKING	2,050
OFFICE BASEMENT PARKING	250
SURFACE PARKING	500
TOTAL OFFICE / R&D PARKING	2,800








TOTAL PARKING	3,250
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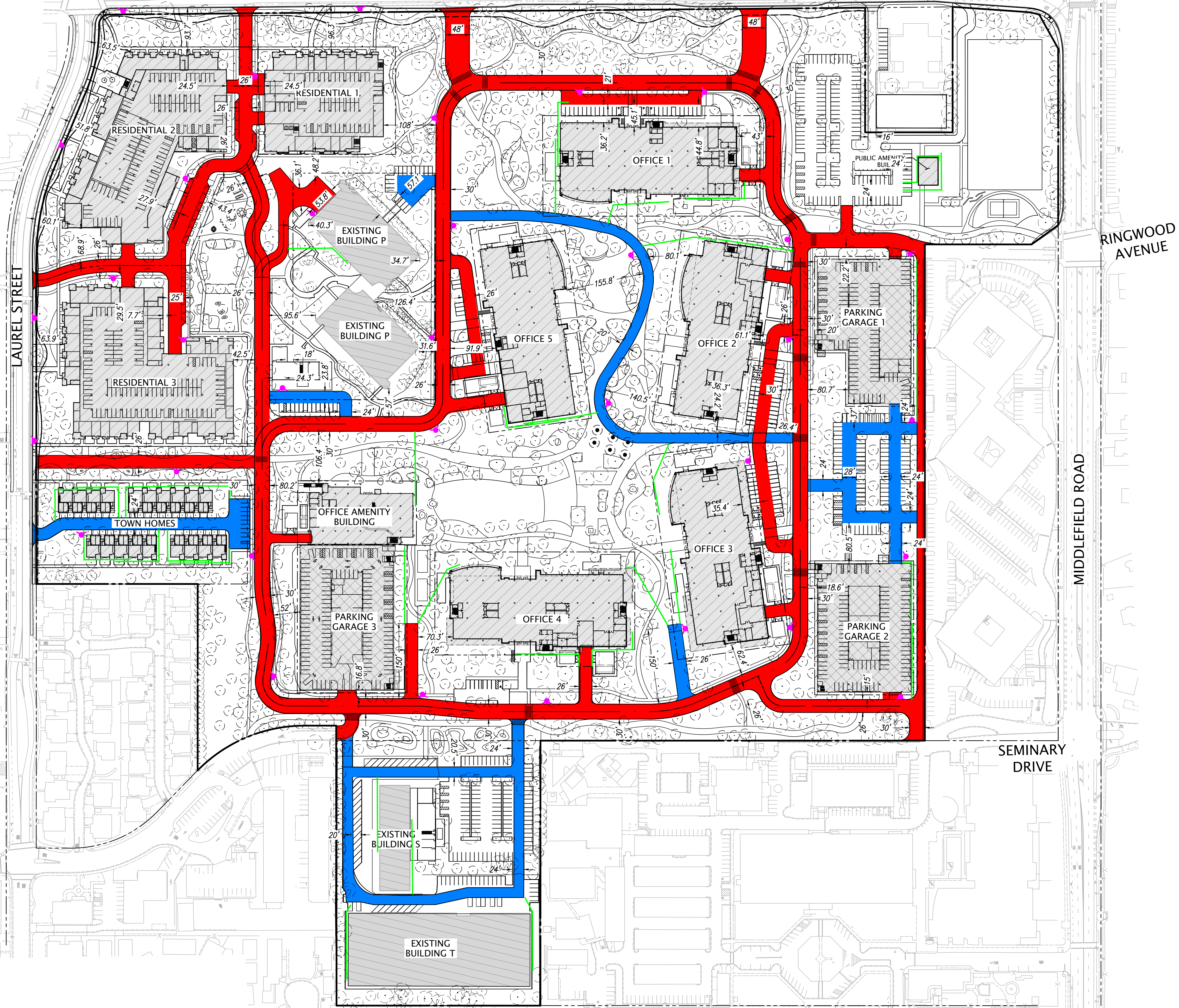
LEGEND	
	OFFICE BELOW GRADE PARKING
	OFFICE SURFACE PARKING
	RESIDENTIAL BELOW GRADE AND PODIUM PARKING
	RESIDENTIAL PODIUM FLOOR PARKING
	RESIDENTIAL SURFACE PARKING
	PARKING GARAGE
	SURFACE PARKING NEAR PARKING GARAGES



RAVENSWOOD AVENUE

LEGEND

-  PROPOSED BUILDING
-  PROPOSED GARAGE
-  EXISTING BUILDING TO REMAIN
-  PROPOSED AERIAL ACCESS ROAD
-  FIRE ACCESS ROAD
-  150' HOSE PULL
-  FIRE HYDRANT



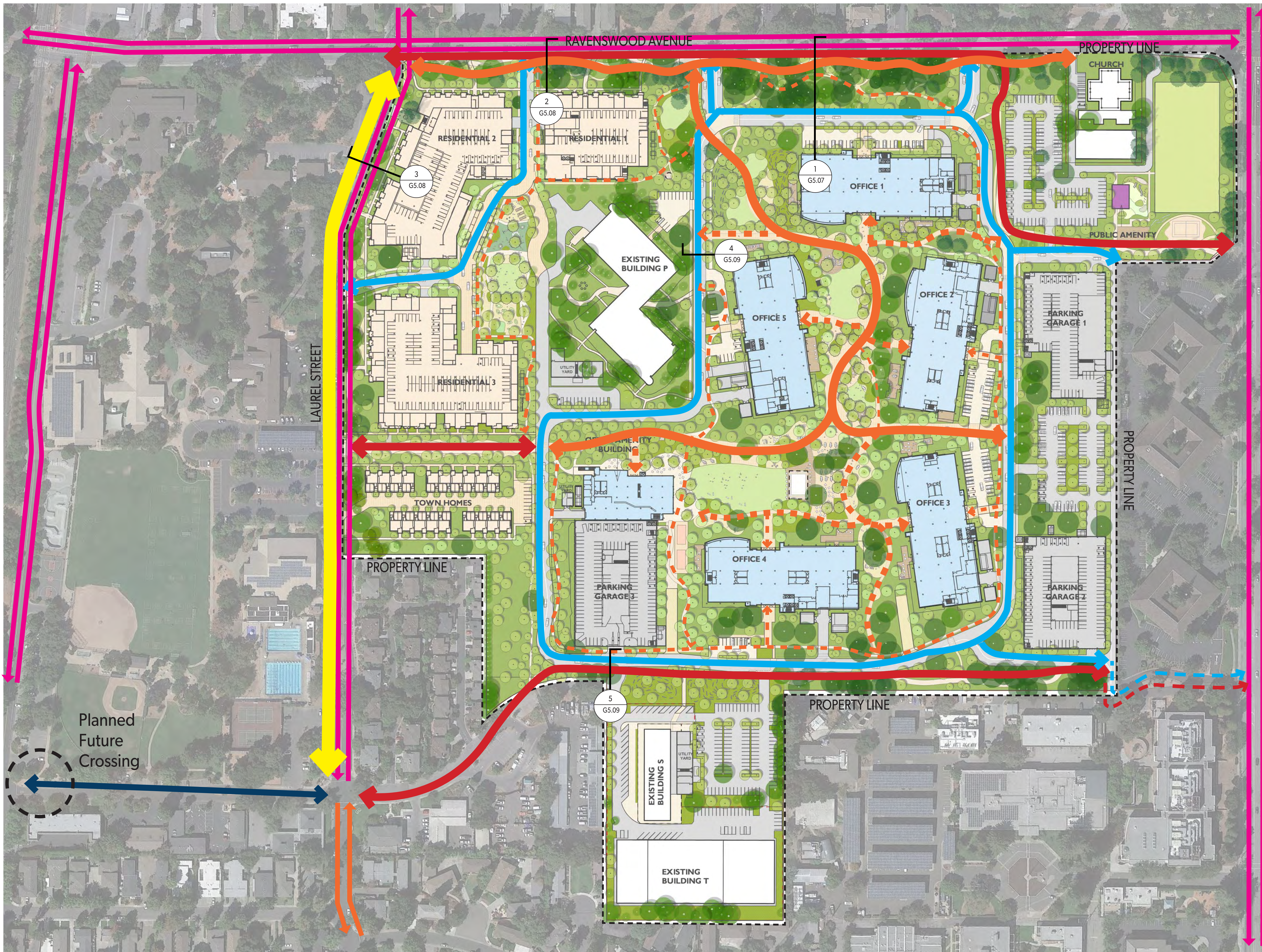
RINGWOOD AVENUE

MIDDLEFIELD ROAD

SEMINARY DRIVE

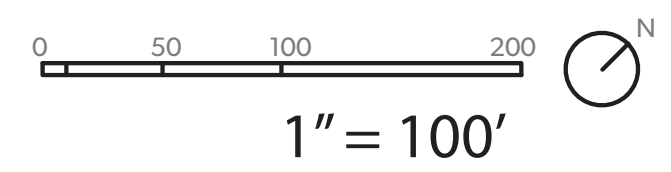


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**LEGEND**

- PROPOSED CLASS I - SHARED USE PATH (INTERNAL)
- PROPOSED CLASS II OR CLASS III - ON STREET OR BUFFERED (LOOP ROAD - OFFICE AND RESIDENTIAL)
- PROPOSED CLASS IV - SEPARATED BIKE LANE (CONVERT EXISTING CLASS II BIKELANE ON LAUREL TO CLASS IV)
- PLANNED FUTURE CROSSING
- PROPOSED PRIMARY PEDESTRIAN CIRCULATION
- PROPOSED SECONDARY PEDESTRIAN CIRCULATION
- EXISTING CLASS II BIKE LANES
- EXISTING CLASS III BIKE LAKES ("SHARROW")





**LEGEND**

- 01 CLASS I - SHARED USE PATH
- 02 CLASS II - ON STREET BIKE LANE
- 03 PEDESTRIAN ONLY PATH
- 04 TREES (EXISTING)
- 05 TREES (PROPOSED)
- 06 PLANTING
- 07 BENCH SEATING
- 08 EXERCISE STATION
- 09 BBQ/PICNIC AREA

1 RAVENSWOOD AVENUE PARKLET WEST ENLARGEMENT



**EXISTING TREES**

- NON HERITAGE TREE
- HERITAGE PLATANUS RACEMOSA
- HERITAGE ALL OTHERS
- HERITAGE QUERCUS SP.
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD

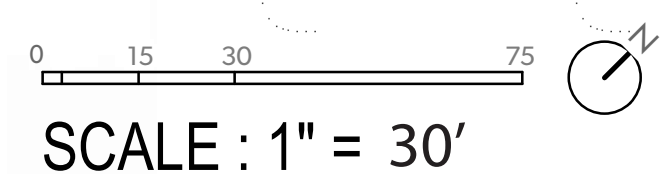
**PROPOSED TREES**

- CANOPY TREE 1

**KEY PLAN**



2 RAVENSWOOD AVENUE PARKLET EAST ENLARGEMENT





**LEGEND**

- 01 CLASS I - SHARED USE PATH
- 02 CLASS II - ON STREET BIKE LANE
- 03 PEDESTRIAN ONLY PATH
- 04 TREES (EXISTING)
- 05 TREES (PROPOSED)
- 06 PLANTING
- 07 BENCH SEATING
- 08 FLEXIBLE MULTI-USE LAWN
- 09 PUBLIC AMENITY BUILDING
- 10 BIKE REPAIR STATION
- 11 FLEX-COURT SPACE
- 12 PLAY SPACE
- 13 FLEX DECK

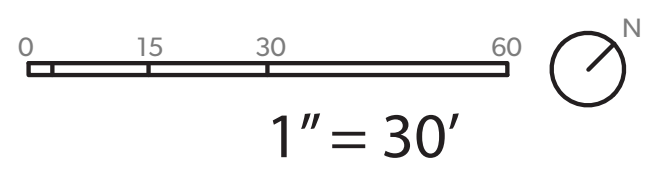
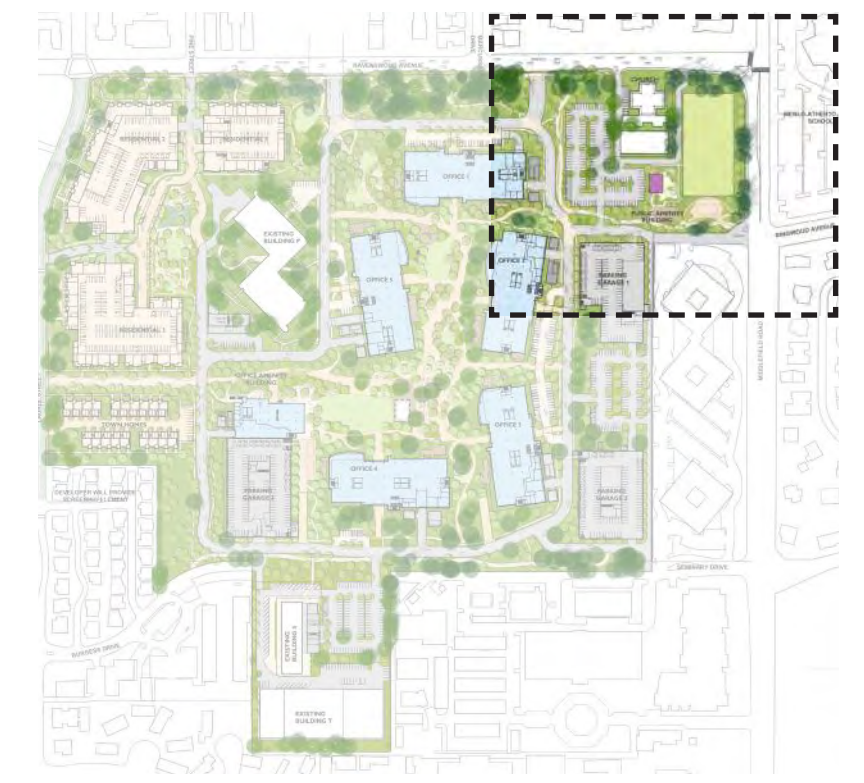
**EXISTING TREES**

- NON HERITAGE TREE
- HERITAGE PLATANUS RACEMOSA
- HERITAGE ALL OTHERS
- HERITAGE QUERCUS SP.
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD

**PROPOSED TREES**

- CANOPY TREE 1

**KEY PLAN**





**LEGEND**

- 01 CLASS I - SHARED USE PATH
- 02 CLASS II - ON STREET BIKE LANE
- 03 PEDESTRIAN ONLY PATH
- 04 TREES (EXISTING)
- 05 TREES (PROPOSED)
- 06 PLANTING
- 07 BENCH SEATING
- 08 FLEXIBLE MULTI-USE LAWN
- 09 BUILDING ENTRY
- 10 TENANT COURT
- 11 PICKLEBALL COURT
- 12 PLAZA
- 13 PERFORMANCE PAVILLION
- 14 OFFICE AMENITY BUILDING

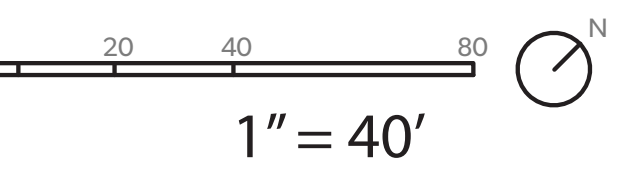
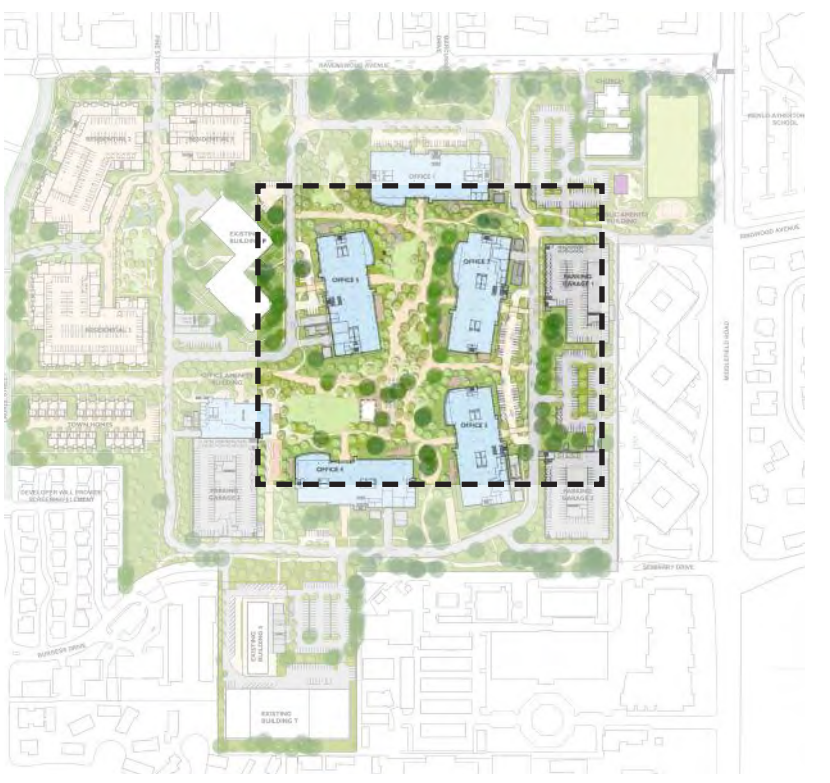
**EXISTING TREES**

- NON HERITAGE TREE
- HERITAGE PLATANUS RACEMOSA
- HERITAGE ALL OTHERS
- HERITAGE QUERCUS SP.
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD TREES

**PROPOSED TREES**

- CANOPY TREE 1

**KEY PLAN**







**LEGEND**

- 01 CLASS I - SHARED USE PATH
- 02 CLASS II - ON STREET BIKE LANE
- 03 PEDESTRIAN ONLY PATH
- 04 TREES (EXISTING)
- 05 TREES (PROPOSED)
- 06 PLANTING
- 07 BENCH SEATING
- 08 FLEXIBLE MULTI-USE LAWN
- 09 BUILDING ENTRY
- 10 BBQ/PICNIC AREA
- 11 CHILDREN'S PLAYGROUND
- 12 DOG PARK
- 13 DROP OFF
- 14 COMMUNITY GARDENS
- 15 CLASS IV - BIKE LANE AT LAUREL ST.

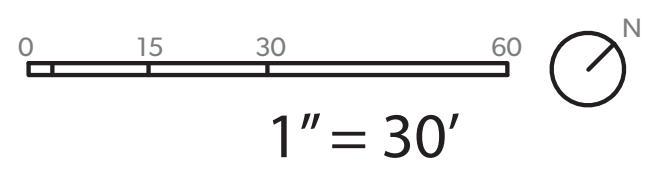
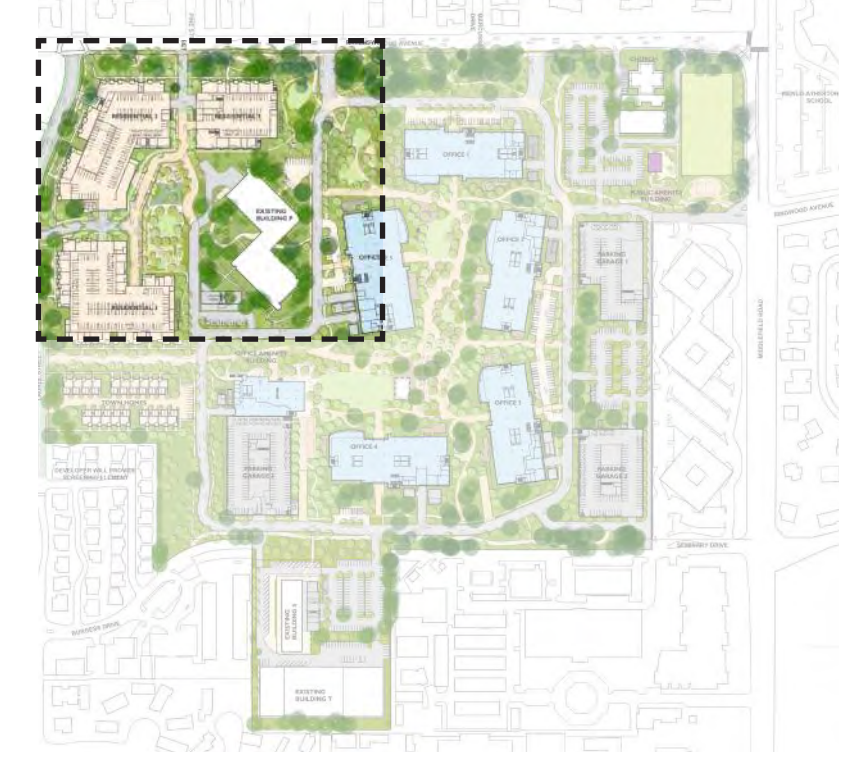
**EXISTING TREES**

- NON HERITAGE TREE
- HERITAGE PLATANUS RACEMOSA
- HERITAGE ALL OTHERS
- HERITAGE QUERCUS SP.
- HERITAGE SEQUOIA SEMPERVIRENS / REDWOOD TREES

**PROPOSED TREES**

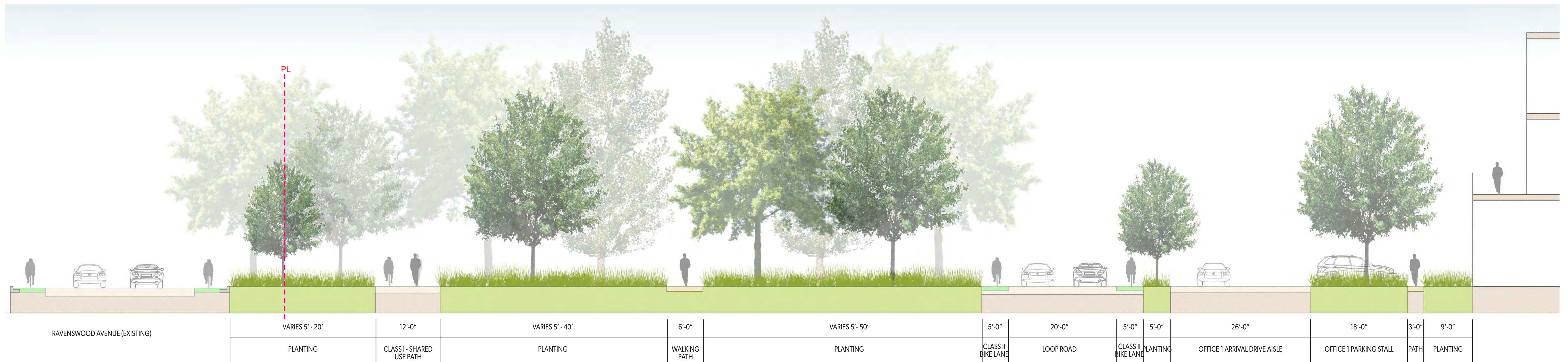
- CANOPY TREE 1

**KEY PLAN**

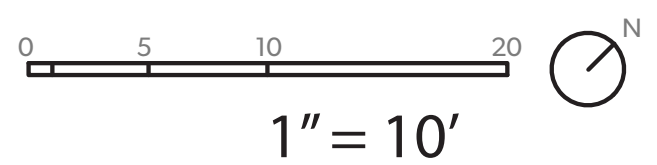
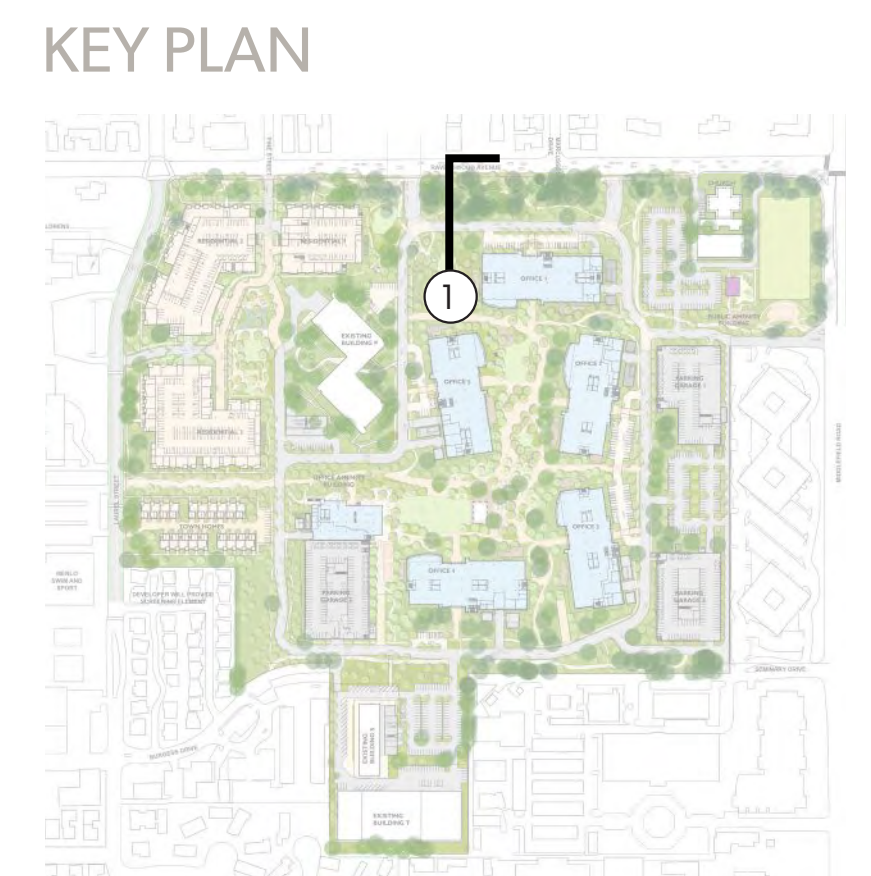


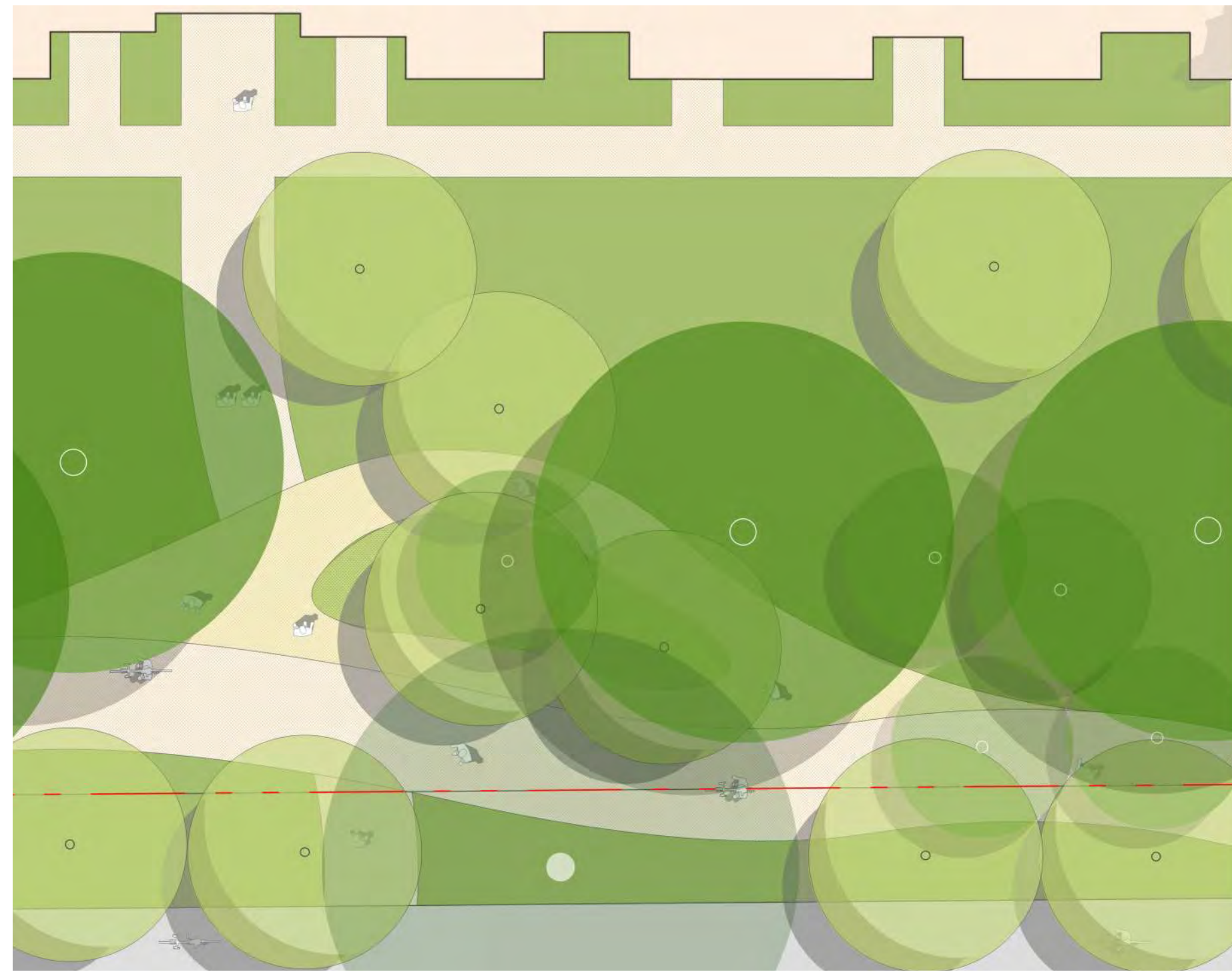


PLAN ENLARGEMENT: RAVENSWOOD AVENUE PARKLET

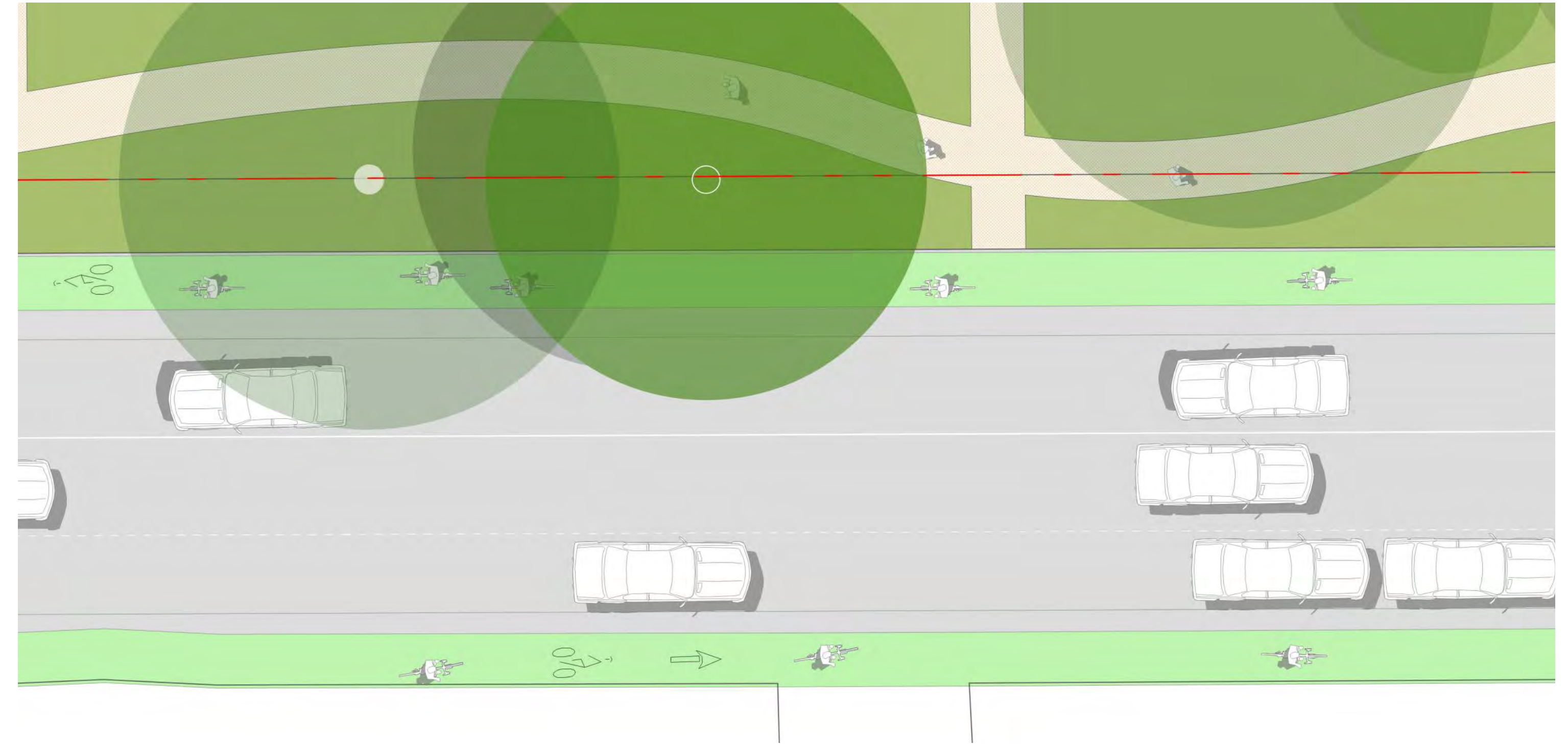


1 RAVENSWOOD AVENUE PARKLET - SECTION 01





PLAN ENLARGEMENT: RAVENSWOOD AVENUE PARKLET

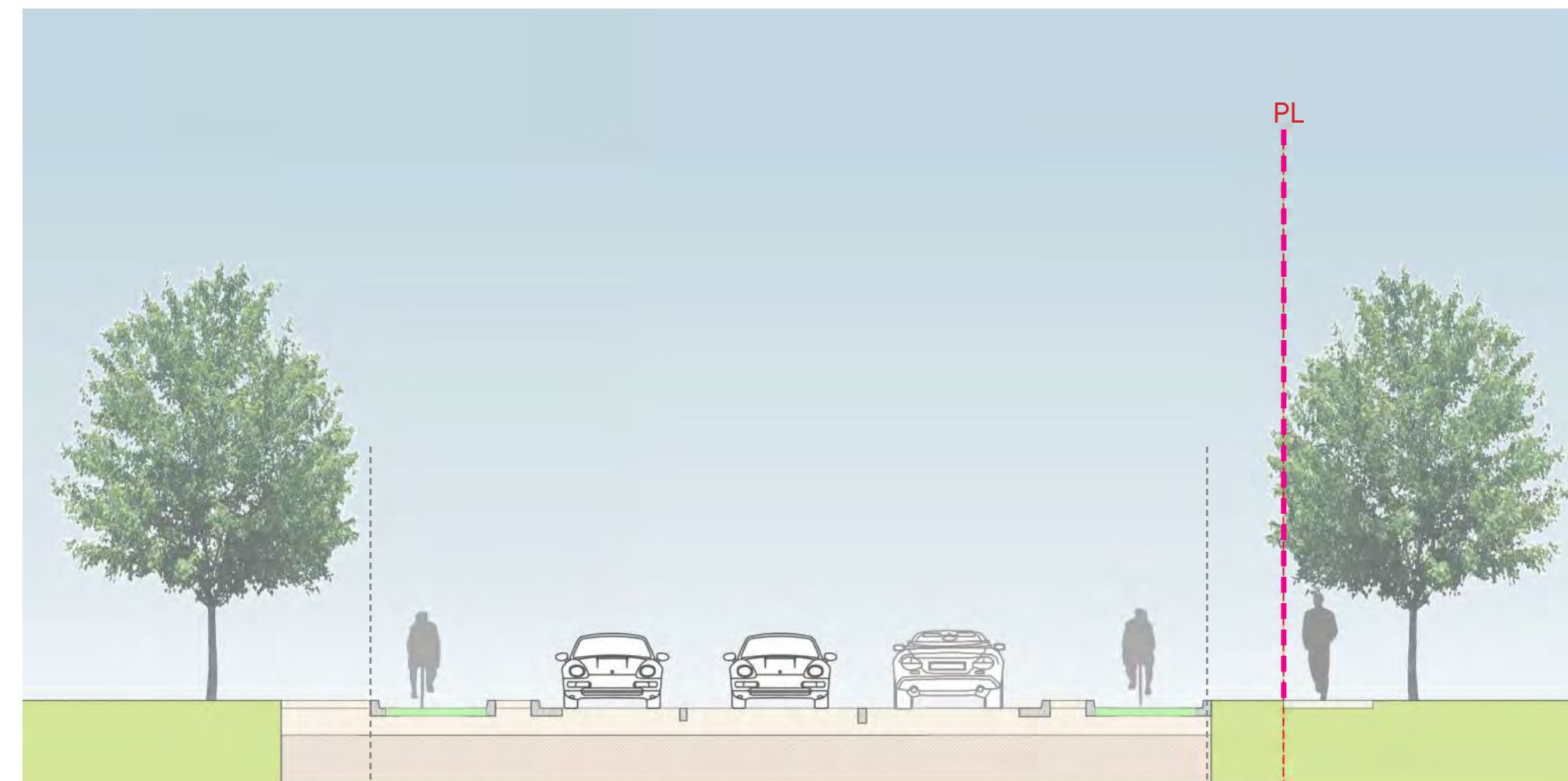


PLAN ENLARGEMENT: LAUREL STREET WITH CLASS IV BIKEWAYS



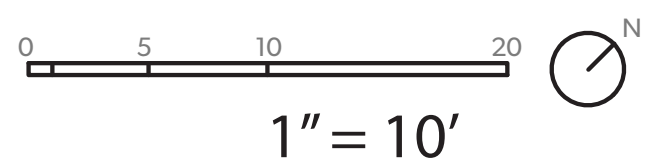
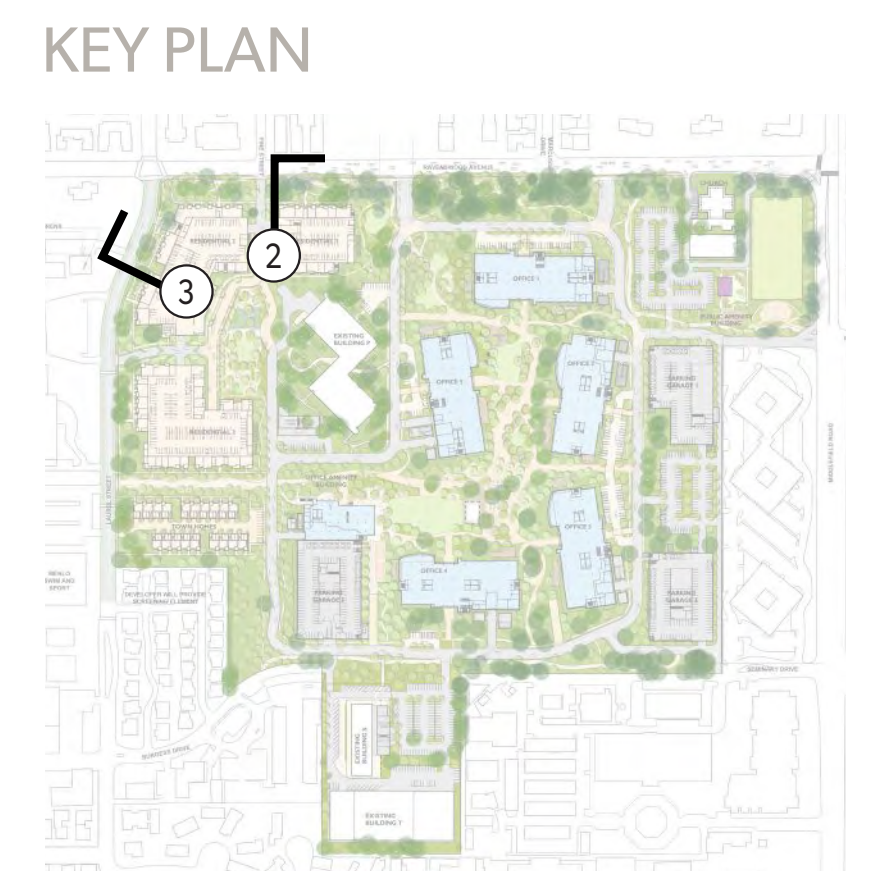
RAVENSWOOD AVENUE	VARIES 5' - 20'	12'-0"	VARIES 5' - 10'	VARIES 50' - 80'
	PLANTING BIKE/WALKING PATH		SECONDARY PATH	PLANTING

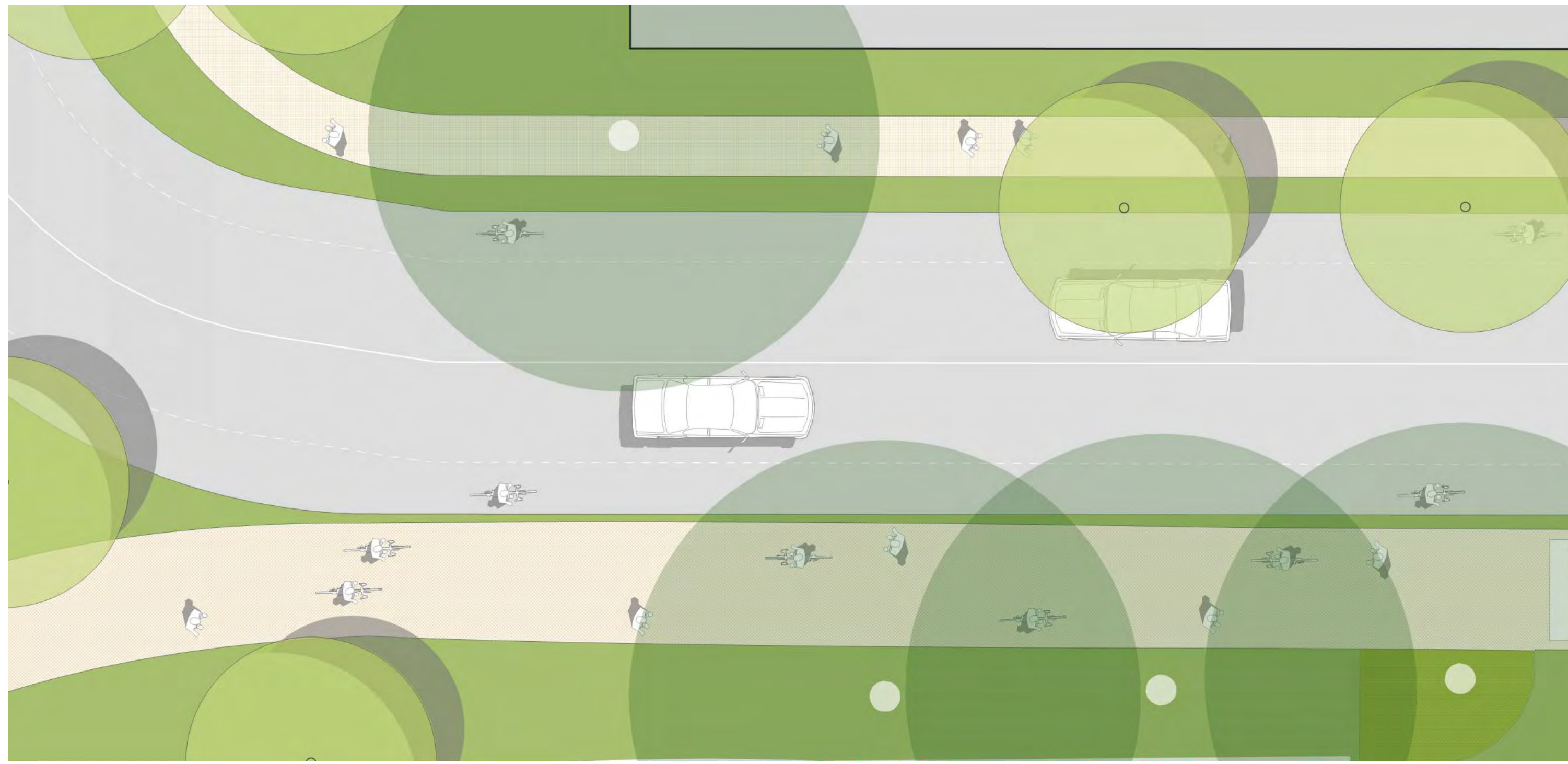
2 RAVENSWOOD AVENUE PARKLET - SECTION 02



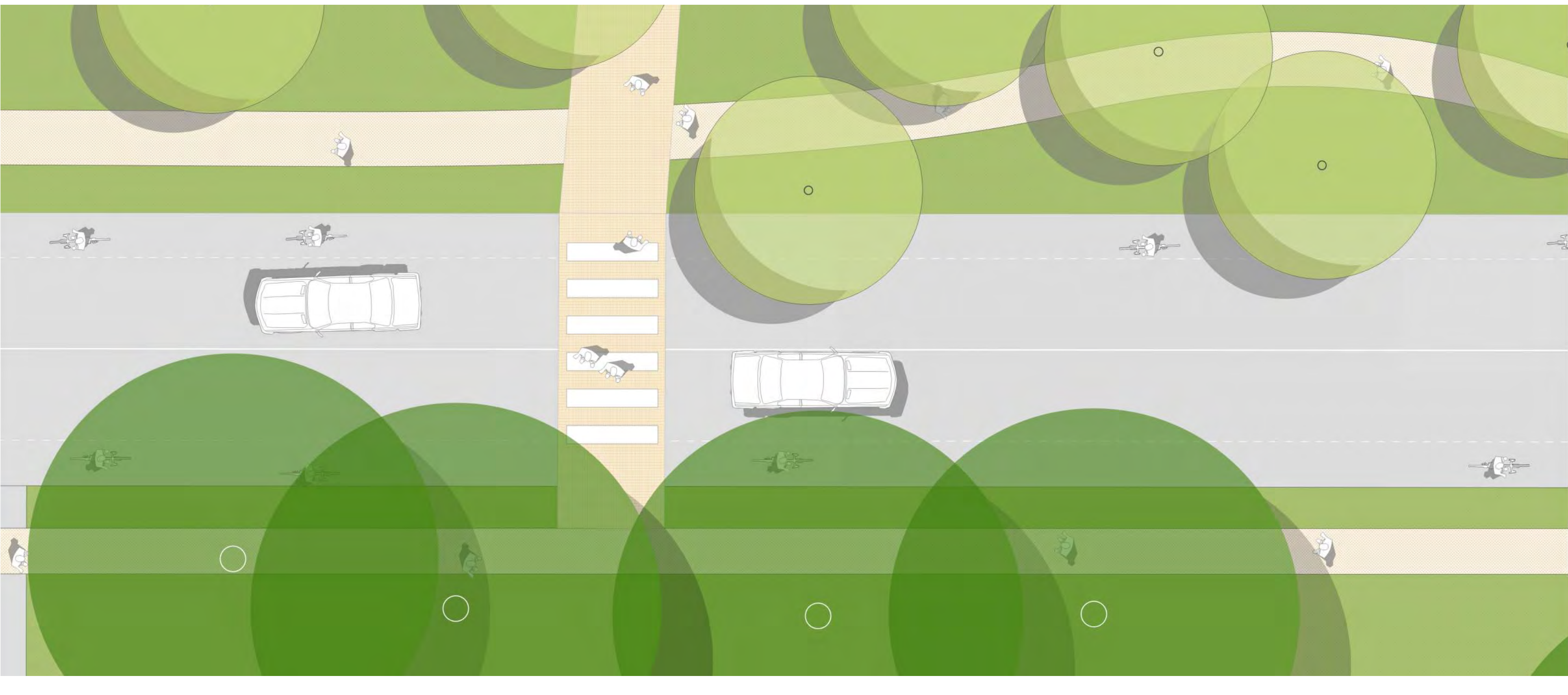
5'-0"	5'-6"	3'-0"	8'-0"	20'-0"	3'-0"	5'-6"	5'-0"
SIDE WALK	CLASS IV BIKE LANE	PARKING		LAUREL STREET		CLASS IV BIKE LANE	SIDE WALK
VERTICAL SEPARATION		45'-0" EXISTING LAUREL STREET R.O.W.			VERTICAL SEPARATION		

3 LAUREL STREET SECTION 03  
Rebuild Street Orientation (5.5' Class IV Bike Lanes)





PLAN ENLARGEMENT: BURGESS DRIVE AT LOOP ROAD



PLAN ENLARGEMENT: LOOP ROAD WITH CLASS II BIKE LANES



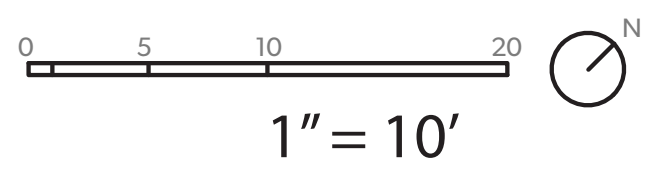
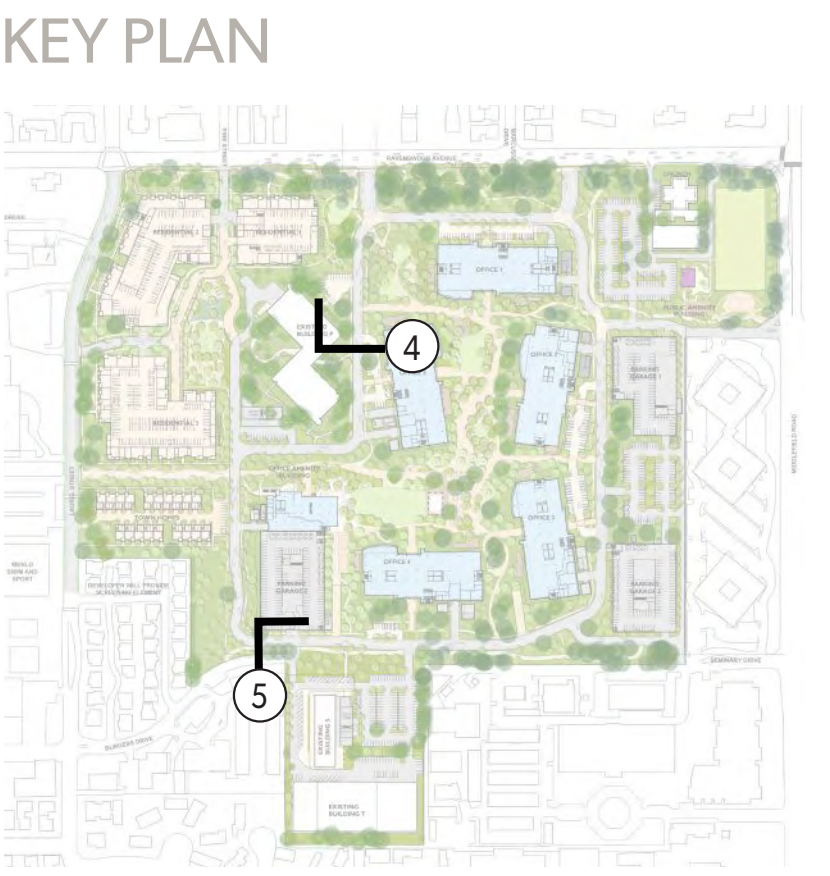
BURGESS DRIVE	20'-0"	12'-0"	6'-0"	10'-0"	22'-0"	ADJACENT PROPERTY
	PLANTING	CLASS I SHARED USE PATH	PLANTING	PEDESTRIAN PATH	PLANTING	

5 PROPOSED BURGESS DRIVE AT LOOP ROAD SECTION



6'-0"	6'-0"	5'-0"	20'-0"	5'-0"	6'-0" (VARIES)	6'-0"
SIDEWALK	PLANTING	CLASS II	LOOP ROAD (PROPOSED)	CLASS II	PLANTING	SIDEWALK

4 LOOP ROAD SECTION - CLASS II BIKE LANE



LARGE TREES: 50'+



Virginia Live Oak  
*Quercus virginiana*



Exclamation Planetree  
*Platanus 'Exclamation'*



Silver Linden  
*Tilia tomentosa*



Monterey Cypress  
*Cupressus macrocarpa*



Tipu Tree  
*Tipuana*

SMALL AND MEDIUM TREES: 35' - 50'



Japanese Zelkova  
*Zelkova serrata 'Green Vase'*



Forest Green Oak  
*Quercus frainetto 'Forest Green'*



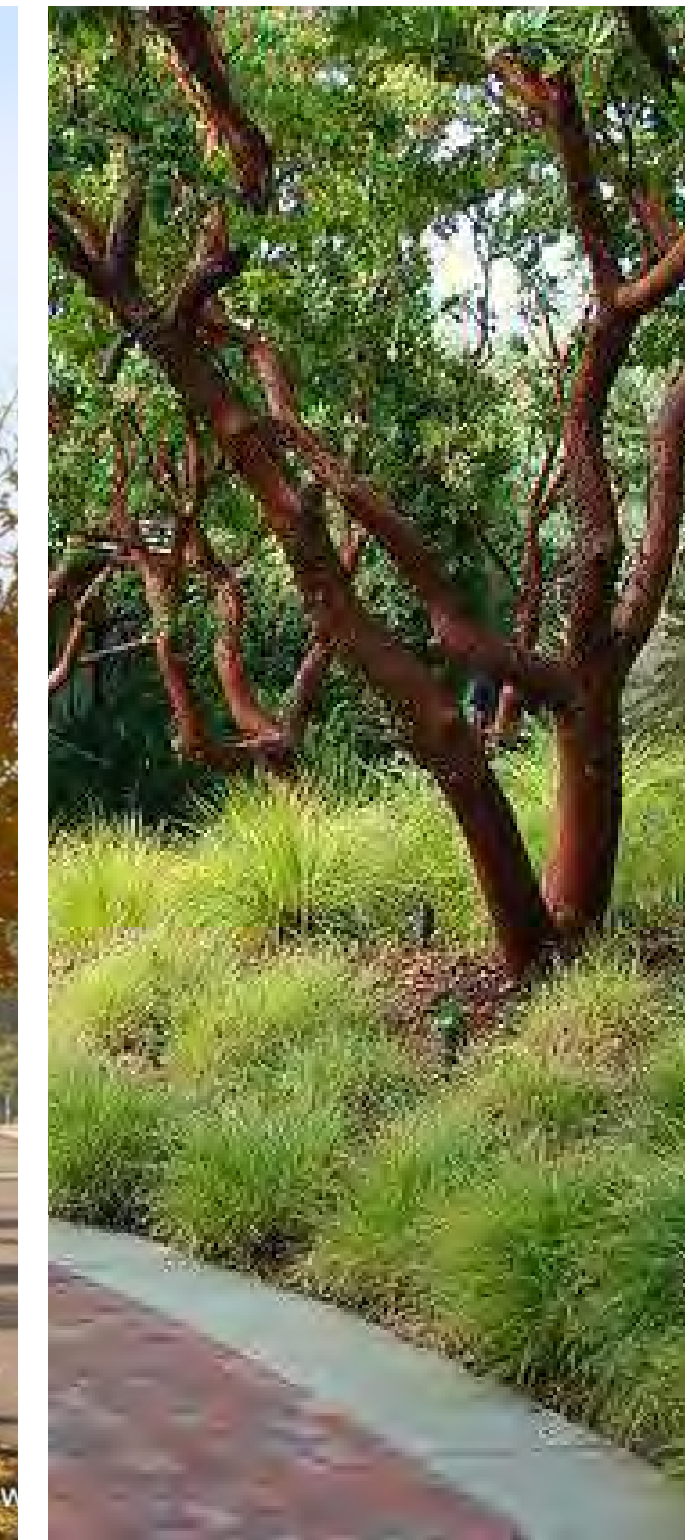
Street Spire Oak  
*Quercus 'Street Spire' (fastigate)*



Netleaf Oak  
*Quercus rugosa*



Red Plush Pistache  
*Pistacia atlantica x integerrima*



Strawberry Tree  
*Arbutus x marina*



Natchez Crape Myrtle  
*Lagerstroemia indica 'Natchez'*



Brisbane Box  
*Lophostemon confertus*



Emerald Sunshine Elm  
*Ulmus propinqua 'Emerald Sunshine'*

ORNAMENTAL/FLOWERING PALETTE



**Common Yarrow**  
*Achillea millefolium*  
Water Usage: LOW



**Grey Musk Sage**  
*Salvia clevelandii* 'Poza Blue'  
Water Usage: LOW



**California Poppy**  
*Eschscholzia californica*  
Water Usage: VERY LOW



**Butterfly Milkweed**  
*Asclepias tuberosa*  
Water Usage: MODERATE



**Wynyabbie Coast Rosemary**  
*Westringia fruticosa* 'Wynyabbie Gem'  
Water Usage: LOW



**Little Sur Coffeeberry**  
*Rhamnus californica* 'Little Sur'  
Water Usage: LOW

SCREENING/HEDGING PALETTE

PLANTING CONCEPT



GRASSES



**John Greenlee's Moor Grass**  
*Sesleria* 'Greenlee'  
Water Usage: MODERATE



**Clarity Blue Dianella**  
*Dianella hybrid* 'Clarity Blue'  
Water Usage: MODERATE



**Dwarf Mat Rush**  
*Lomandra longifolia* 'Breeze'  
Water Usage: LOW



**Fragrant Sumac**  
*Rhus aromatica*  
Water Usage: LOW



**Pacific Mist Manzanita**  
*Arctostaphylos* 'Pacific Mist'  
Water Usage: LOW



**Lady Fern**  
*Athyrium filix-feminina*  
Water Usage: MODERATE

GROUNDCOVER

SHADE

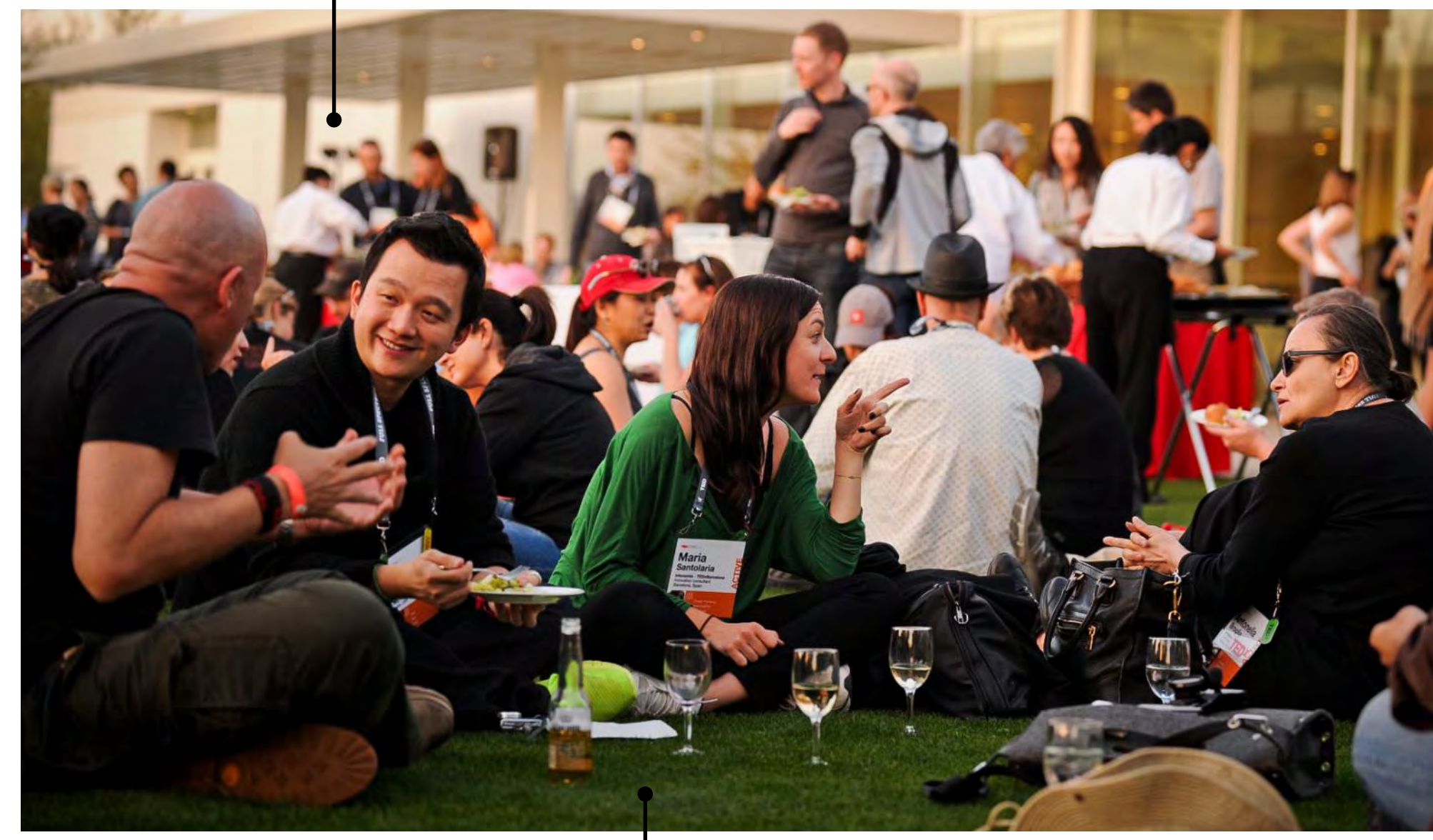


NATIVE LANDSCAPE



HARDSCAPE MEETS SOFTSCAPE

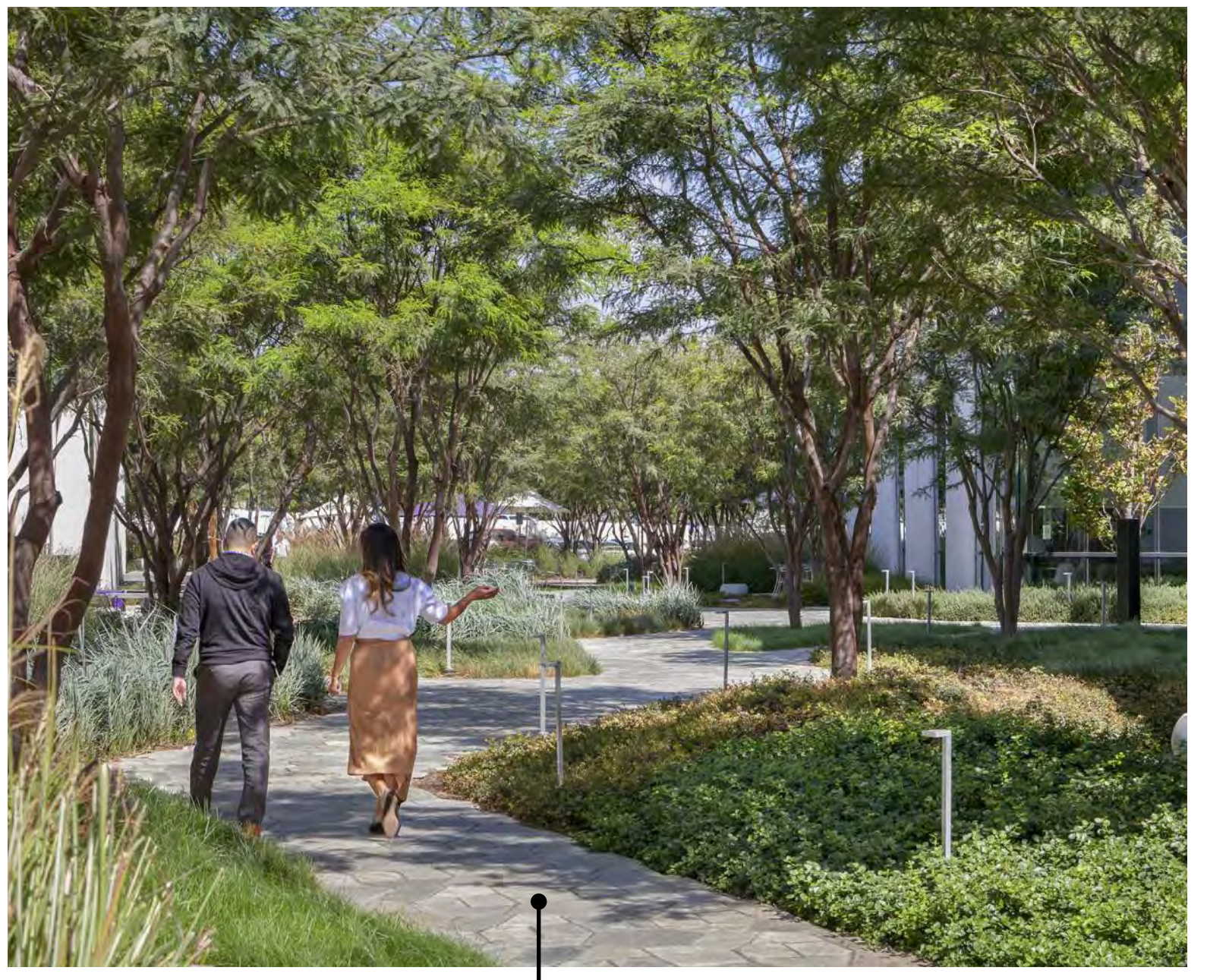
SENSE OF COMMUNITY



SOCIAL GATHERING SPACES



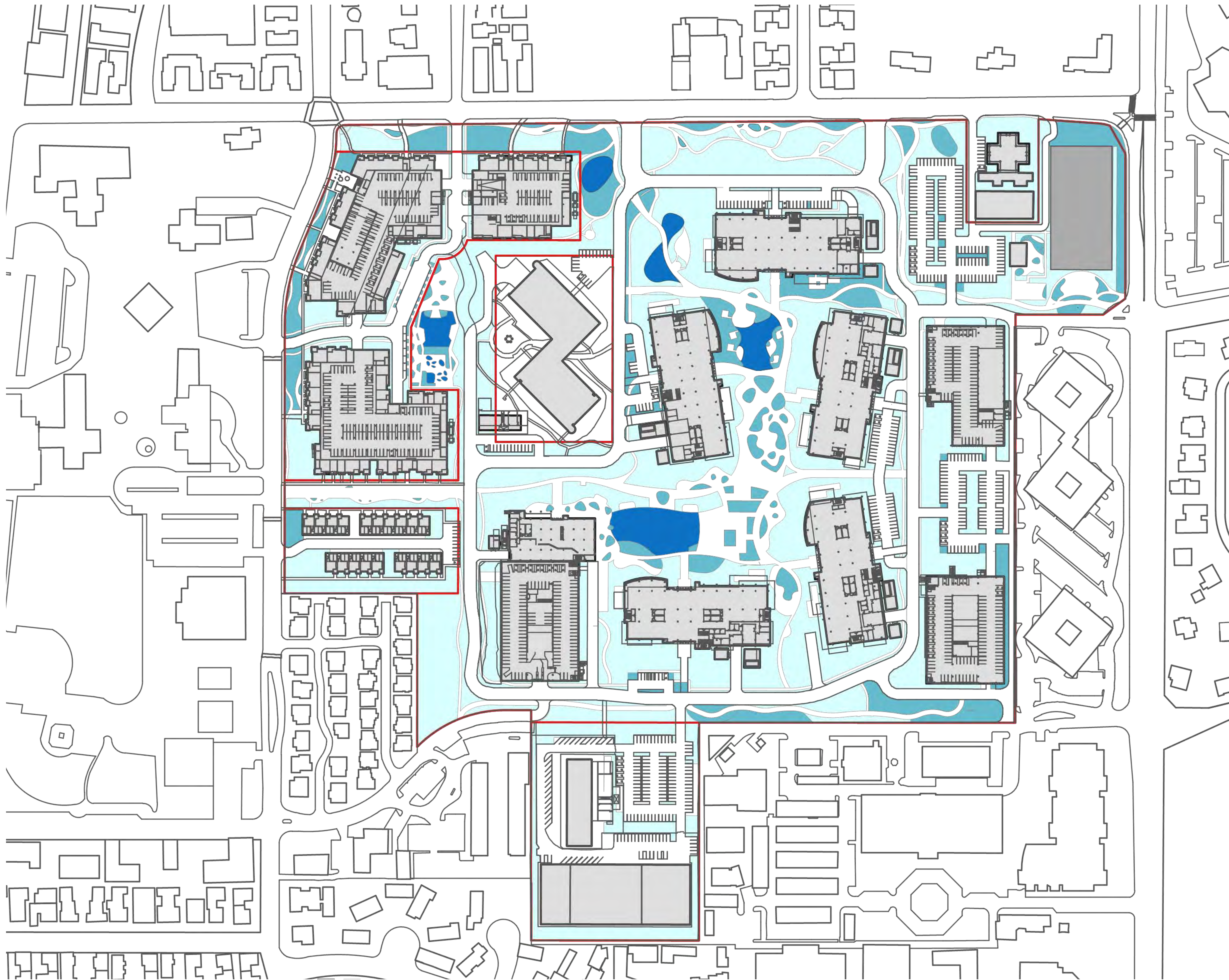
WOOD DECK



MEANDERING PATHS



DG PATHWAYS



### WATER-USE LEGEND

- LOW (854,377 SF / 19.61 ACRES)
- MEDIUM (178,084 SF / 4.09 ACRES)
- HIGH (46,840 SF / 1.08 ACRES)
- SPECIAL-USE SPORTS FIELD (45,000 SF / 1.0)

Maximum Applied Water Allowance Calculations for New and Rehabilitated Non-Residential Landscapes

Enter value in Pale Blue Cells

**Tan Cells Show Results**

Messages and Warnings

Click on the blue cell on right to Pick City Name

ET, of City from Appendix A

Redwood City	Name of City
42.80 (ET, inches/year)	Redwood City
48840 Overhead Landscape Area (ft <sup>2</sup> )	
1,032,491 Drip Landscape Area (ft <sup>2</sup> )	
45000 (SLA (ft <sup>2</sup> ))	
<b>1,124,301</b>	<b>Total Landscape Area</b>
<b>12,683,913</b> Gallons	<b>Results:</b>
<b>1,695,588.97</b> Cubic Feet	MAWA = [(ET <sub>1</sub> - E <sub>pot</sub> ) × (0.62)] × (10.45 × LA) + [(1.0 - 0.45) × SLA]
<b>16,955.98</b> HCF	
<b>38.83</b> Acre-feet	
<b>12.68</b> Millions of Gallons	

Zone	Overhead Spray	High	0.70	46,840	0.75	43,717
Zone 2	Drip	Medium	0.50	178,084	0.81	169,828
Zone 3	Drip	Low	0.25	854,377	0.81	263,692

**Results**

MAWA = 12,683,913

ETWU = 11,050,444 Gallons

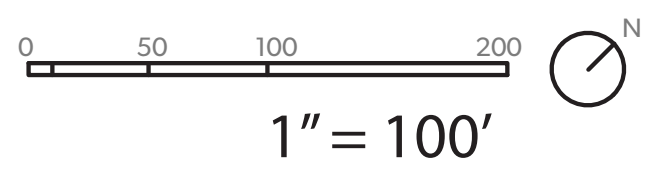
1,477,234 Cubic Feet

14,772.34 HCF

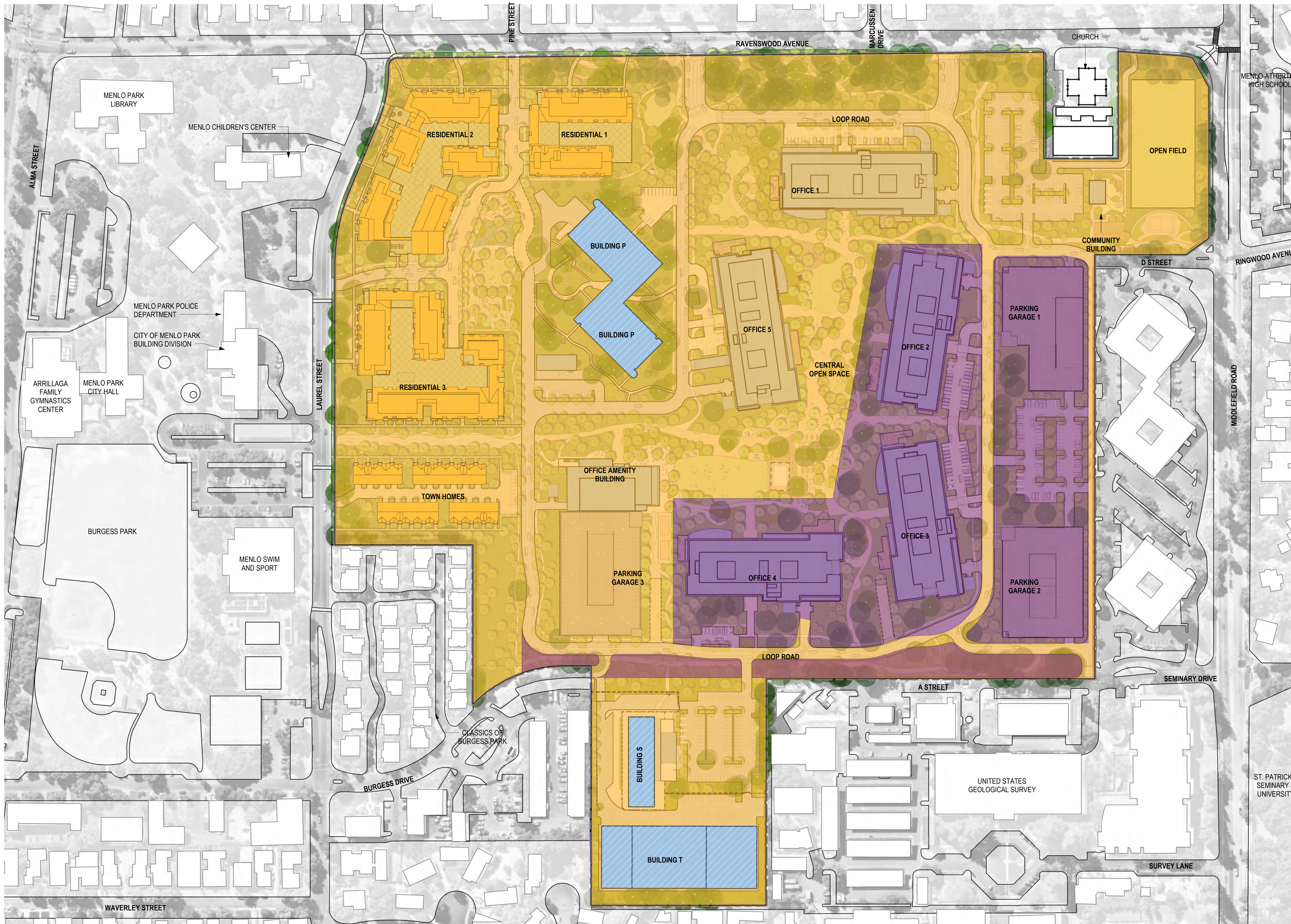
33.91 Acre-feet

11.05 Millions of Gallons

ETWU complies with MAWA

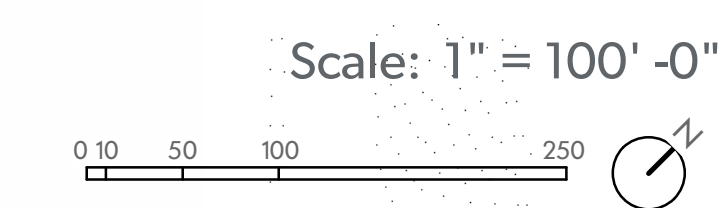






	BUILDING NAME
PHASE 1	RESIDENTIAL 1
	RESIDENTIAL 2
	RESIDENTIAL 3
	TOWN HOMES
	OFFICE 1
	OFFICE 2
	OFFICE AMENITY BUILDING
	PUBLIC AMENITY BUILDING
	PARKING GARAGE 3
	PARKING GARAGE 2
EXISTING TO REMAIN	BUILDING P
	BUILDING S
	BUILDING T
PHASE 2	OFFICE 3
	OFFICE 4
	OFFICE 5
	PARKING GARAGE 1
	PARKING GARAGE 2

NOTE: EXISTING SURFACE PARKING AREAS TO BE USED DURING PHASE 1.



RAVENSWOOD AVENUE

RINGWOOD AVENUE

MIDDLEFIELD ROAD

SEMINARY DRIVE

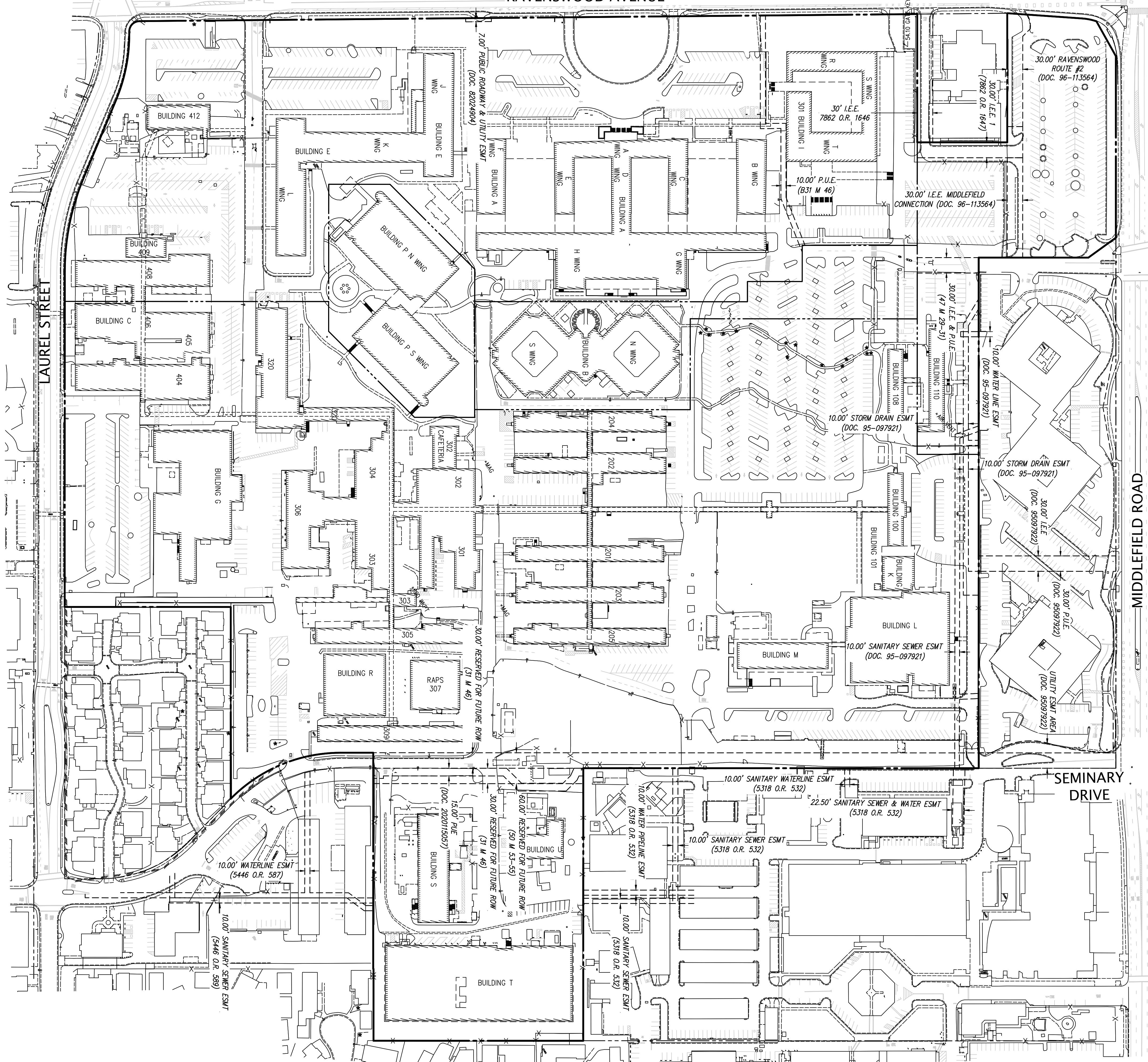
LAUREL STREET

LEGEND

- ABANDONED UTILITY - PER PLAN
- ASPHALT BERM
- BUILDING LINE
- BARRICADE
- CAST IRON PIPE LINE
- CENTERLINE
- CHILLED WATER LINE
- COMMUNICATION LINE
- COMPRESSED AIR
- CONCRETE/BLOCK WALL
- CONCRETE CURB
- CONCRETE CURB & GUTTER
- DUCTILE IRON PIPE LINE
- DRIVEWAY
- EASEMENT LINE
- EDGE OF PAVEMENT
- EDGE OF WATER/FLOWLINE
- EDGE OF ROCK
- ELECTRIC LINE
- FENCE LINE
- FIBER OPTICS LINE
- GAS LINE-VALVE & METER
- GUARD RAIL
- JOINT TRENCH LINE
- LOT LINE
- PIPELINE
- MONUMENT/MONUMENT LINE
- OVERHEAD POWER LINE
- PETROLEUM LINE
- PLANT WASTE LINE
- PROPERTY LINE
- RETAINING WALL
- RECLAIMED WATER LINE & VALVE
- SANITARY SEWER LINE-MANHOLE & CLEANOUT
- SANITARY SEWER LINE OVER 24" DIAMETER
- SANITARY SEWER FORCE MAIN LINE
- SIDEWALK
- SPOT ELEVATION
- STORM DRAIN LINE-MANHOLE & CATCH BASIN
- STORM DRAIN LINE OVER 24" DIAMETER
- STREET LIGHT CONDUIT LINE
- STEAM LINE
- TELEPHONE LINE
- TRAFFIC SIGNAL CONDUIT LINE
- CABLE TELEVISION LINE
- UNKNOWN UTILITY LINE
- WATER LINE & VALVE
- WATER LINE OVER 24" DIAMETER
- ACCESSIBLE PARKING SYMBOL
- ANODE
- AREA DRAIN
- AUTOMATIC SPRINKLER RISER
- BACKFLOW PREVENTION DEVICE
- BENCHMARK/TEMPORARY BENCHMARK
- BLOWOFF VALVE
- DOUBLE DETECTOR CHECK VALVE
- ELECTROLIER
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- FLAG POLE
- GAS METER
- GUY ANCHOR
- HOSEBIBB
- MAIL BOX
- POST INDICATOR VALVE
- POWER POLE/JOINT POLE
- SURVEY CONTROL POINT
- TRANSFORMER
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGN
- UTILITY BOX
- WALK-BOLLARD LIGHT
- WATER VALVE
- WELL

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	HCR	HANDICAP RAMP
AD	AREA DRAIN	IB	IRRIGATION BOX
AFR	ABOVE FINISHED FLOOR	INTX	INTERSECTION
ASR	AUTOMATIC SPRINKLER RISER	L/S	LANDSCAPE
BEG	BEGINNING	LIP	LIP OF GUTTER
COM	COMMUNICATION LINE	LT	LIGHT
CA	CONCRETE	MH	MANHOLE
BL	BUILDING	MON	MONUMENT
BLDG	BUILDING	OH	OVERHEAD
BOL	BOLLARD	ON	OVERHEAD
BR	BOTTOM OF RAMP	PAVR	BRICK PAVERS
BS	BOTTOM OF STEP	PV	POST INDICATOR VALVE
BTM	BOTTOM	POC	POINT ON CURVE
BW	BACK OF WALK	PP	POWER POLE
C	CONCRETE	PT	POINT
CAB	CABINET	RD	ROOF DRAIN
CB	CATCH BASIN	RE	RIM ELEVATION
CL	CENTERLINE	ROW	RIGHT OF WAY
CLF	CHAIN LINK FENCE	RR	RAIL ROAD
CO	CLEAN OUT	SAT.	SATELLITE
CONC	CONCRETE	SD	STORM DRAIN
CONST.	CONSTRUCT	SDCO	STORM DRAIN CLEAN OUT
D/W	DRIVEWAY	SDMH	STORM DRAIN MANHOLE
DET	DETECTOR	SF	SQUARE FEET
DI	DRAIN INLET	SL	STREET LIGHT
DWY	DRIVEWAY	SLB	STREET LIGHT BOX
EB	ELECTRIC BOX	SS	SANITARY SEWER
EL	ELECTROLIER	SSCO	SANITARY SEWER CLEAN OUT
ELEC	ELECTRICAL	SSMH	SANITARY SEWER MANHOLE
EMH	ELECTRICAL MANHOLE	TC	TOP OF CURB
EP	EDGE OF PAVEMENT	TE	TRASH ENCLOSURE
EV	ELECTRIC VAULT	TELE	TELEPHONE
EW	EDGE OF WALK	TMH	TELEPHONE MANHOLE
FAB	FIRE ALARM BOX	TOP	TOP OF SLOPE
FC	FACE OF CURB	TR	TREE
FD	FOUND	TS	TOP OF SLAB
FDC	FIRE DEPARTMENT CONNECTION	TSS	TRAFFIC SIGNAL BOX
FF	FINISH FLOOR	TSP	TRAFFIC SIGNAL POLE
FH	FIRE HYDRANT	TW	TOP OF WALL
FL	FLOW LINE	UB	UTILITY BOX
FNC	FENCE	UG	UNDERGROUND
FND	FOUND	UP	UTILITY POLE
FP	FINISH PAVEMENT	VG	VALLEY GUTTER
FW	FACE OF WALL	WB	WATER BOX
GA	GAUGE	WD	WOOD
GB	GRADE BREAK	WM	WATER METER
GUY	GUY WIRE	WV	WATER VALVE
GV	GAS VALVE		



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RAVENSWOOD AVENUE

RINGWOOD AVENUE

MIDDLEFIELD ROAD

SEMINARY DRIVE

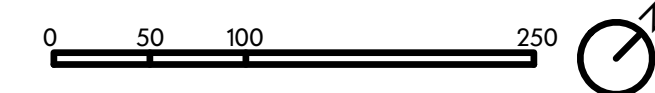
LAUREL STREET

LEGEND

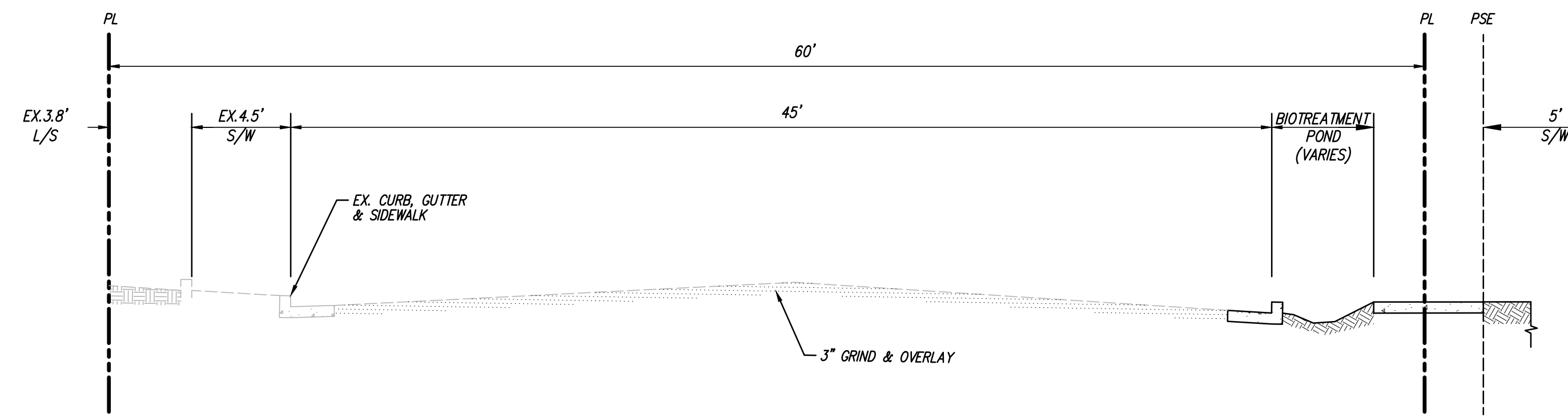
- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- FL FLOW LINE
- FF FINISH FLOOR
- PV PAVEMENT
- RE RIM ELEVATION
- 23.8 SPOT ELEVATION
- (XX.X) ELEVATION OF EX. TREE TO REMAIN
- (XX.X) EXISTING GRADE
- X"SD STORM DRAIN LINE
- TC TOP OF CURB
- PROPOSED BUILDING
- PROPOSED GARAGE
- EXISTING BUILDING TO REMAIN
- 3" GRIND & OVERLAY

NOTES

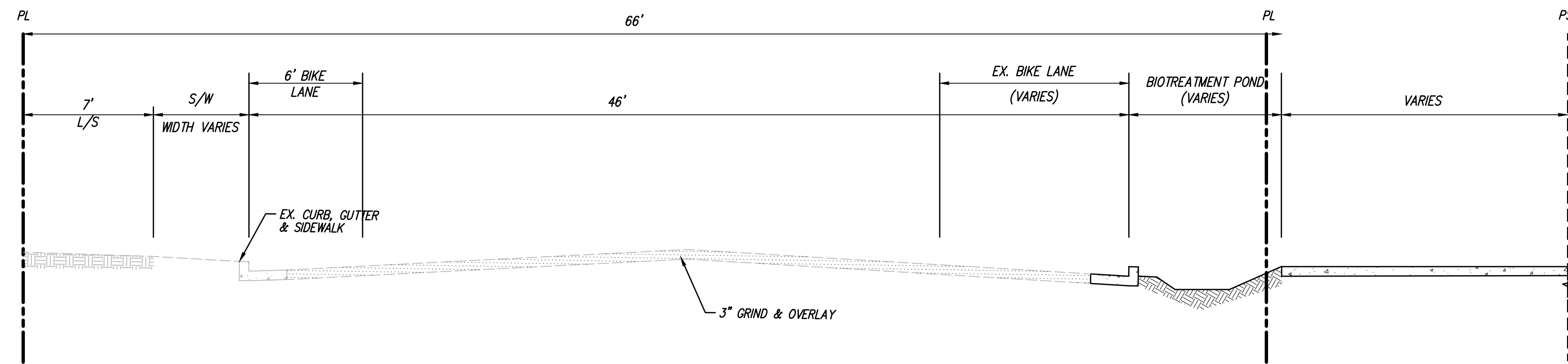
1. GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1804.4.3 OF THE CALIFORNIA BUILDING CODE (CBC).
2. UNDER NO CIRCUMSTANCE SHALL DRAINAGE RESULTING FROM THIS PROJECT, DURING OR POST CONSTRUCTION, DIRECTLY SHEETFLOW ACROSS AN ADJOINING PROPERTY. RUNOFF SHALL BE CONTAINED ON-SITE UP TO THE 10-YEAR STORM.



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SECTION A (LAUREL STREET)  
SCALE: 1"=5'



SECTION B (RAVENSWOOD AVENUE)  
SCALE: 1"=5'



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RAVENSWOOD AVENUE

LAUREL STREET

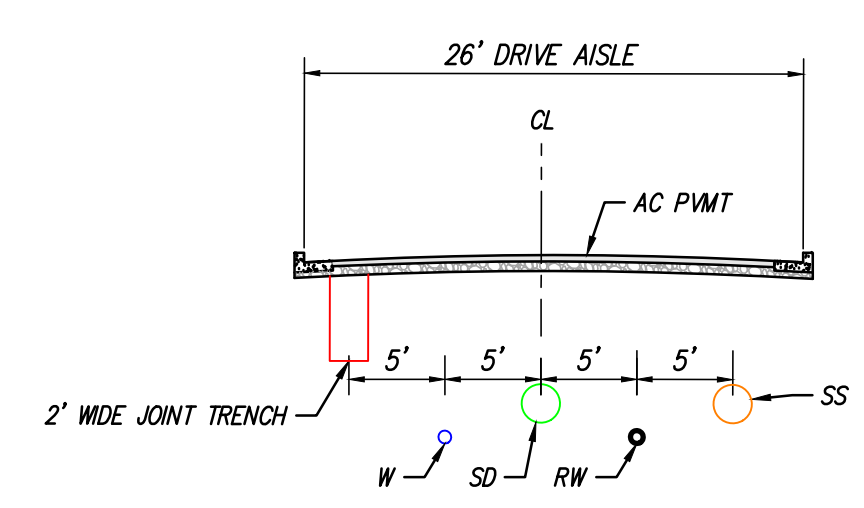
RINGWOOD AVENUE

MIDDLEFIELD ROAD

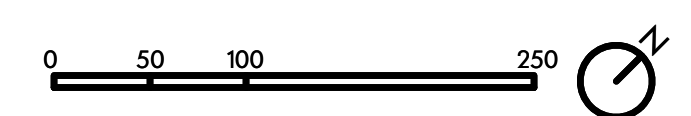
SEMINARY DRIVE

LEGEND

PROPOSED	EXISTING	
		BUILDING LINE
		CONCRETE CURB & GUTTER
		CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		ELECTRIC LINE
		FENCE LINE
		FIRE SERVICE & VALVE
		FIBER OPTICS LINE
		GAS LINE-VALVE & METER
		GUARD RAIL
		LOT LINE
		MONUMENT/MONUMENT LINE
		OVERHEAD POWER LINE
		JOINT TRENCH LINE
		PROPERTY LINE
		RECYCLED WATER LINE & VALVE
		SANITARY SEWER-MANHOLE & CLEANOUT
		SIDEWALK
		STORM DRAIN-MANHOLE & CATCH BASIN
		WATER LINE & VALVE
		BACKFLOW PREVENTION DEVICE
		ELECTROLINER
		FIRE HYDRANT

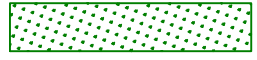
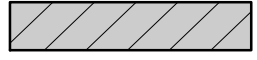






TYPICAL UTILITY CORRIDOR  
NOT TO SCALE



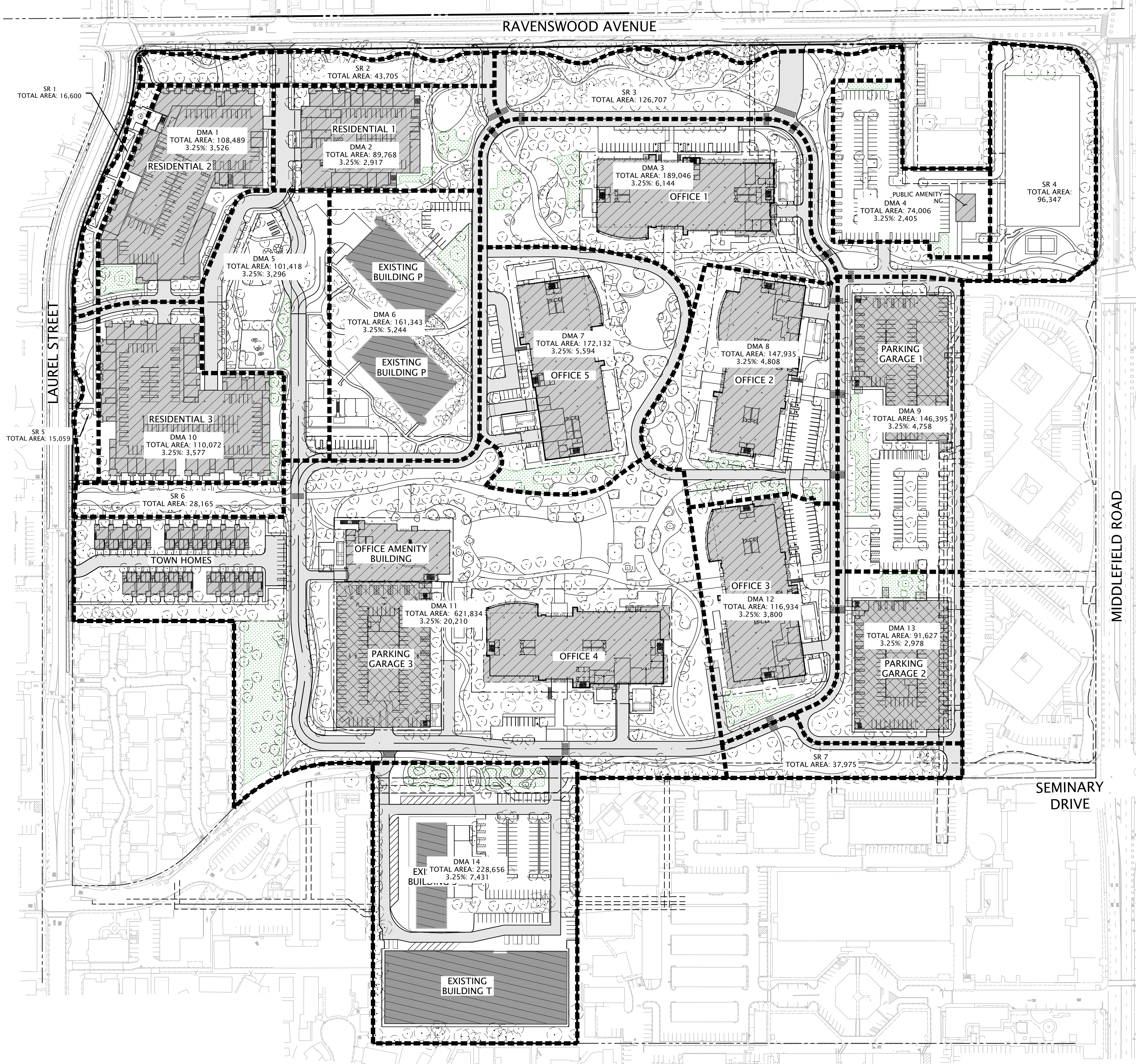
RAVENSWOOD AVENUE

LEGEND

-  BIORETENTION TREATMENT AREA
-  PROPOSED BUILDING
-  PROPOSED GARAGE
-  EXISTING BUILDING TO REMAIN
-  TRIBUTARY AREA LIMITS
-  DRAINAGE MANAGEMENT AREA

NOTES

1. PRELIMINARY STORMWATER TREATMENT AREAS SHOWN ARE SIZED BASED ON 4% OF THE TOTAL DRAINAGE MANAGEMENT AREA

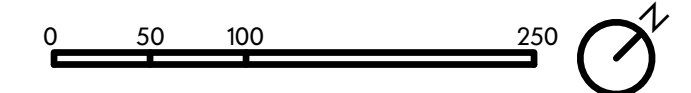


RINGWOOD AVENUE

MIDDLEFIELD ROAD

SEMINARY DRIVE

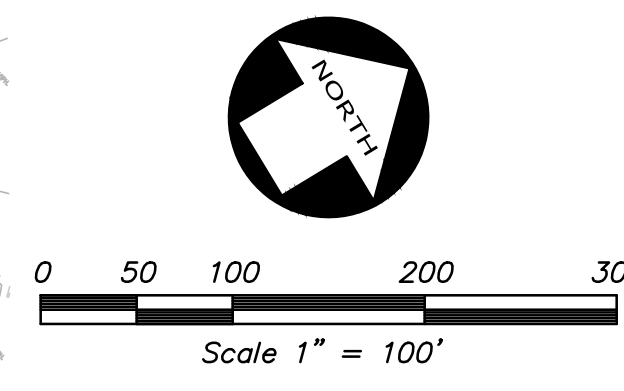
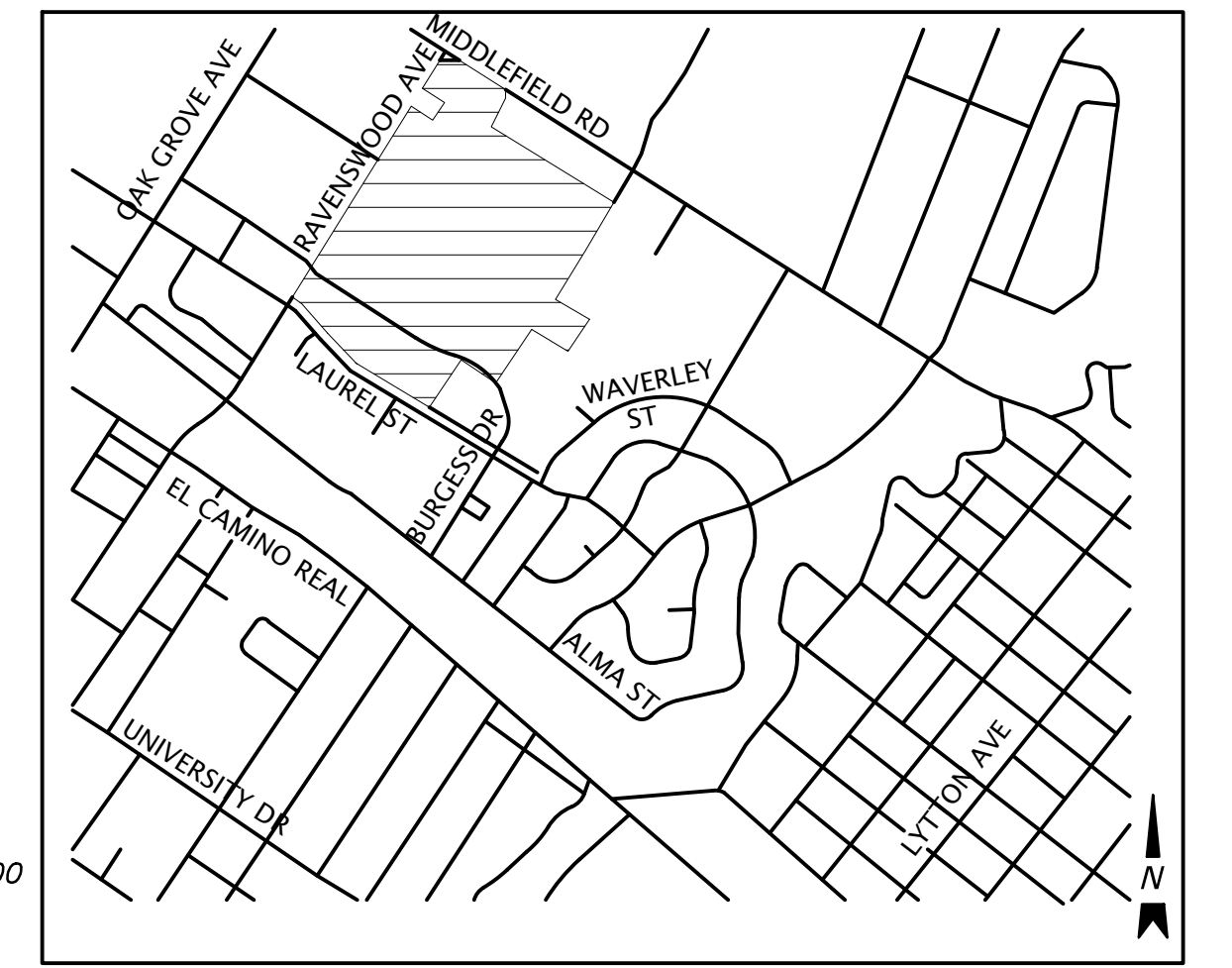
LAUREL STREET



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# VESTING TENTATIVE TRACT MAP

## 333 RAVENSWOOD AVENUE, MENLO PARK



VICINITY MAP  
NOT TO SCALE

### PROJECT DATA

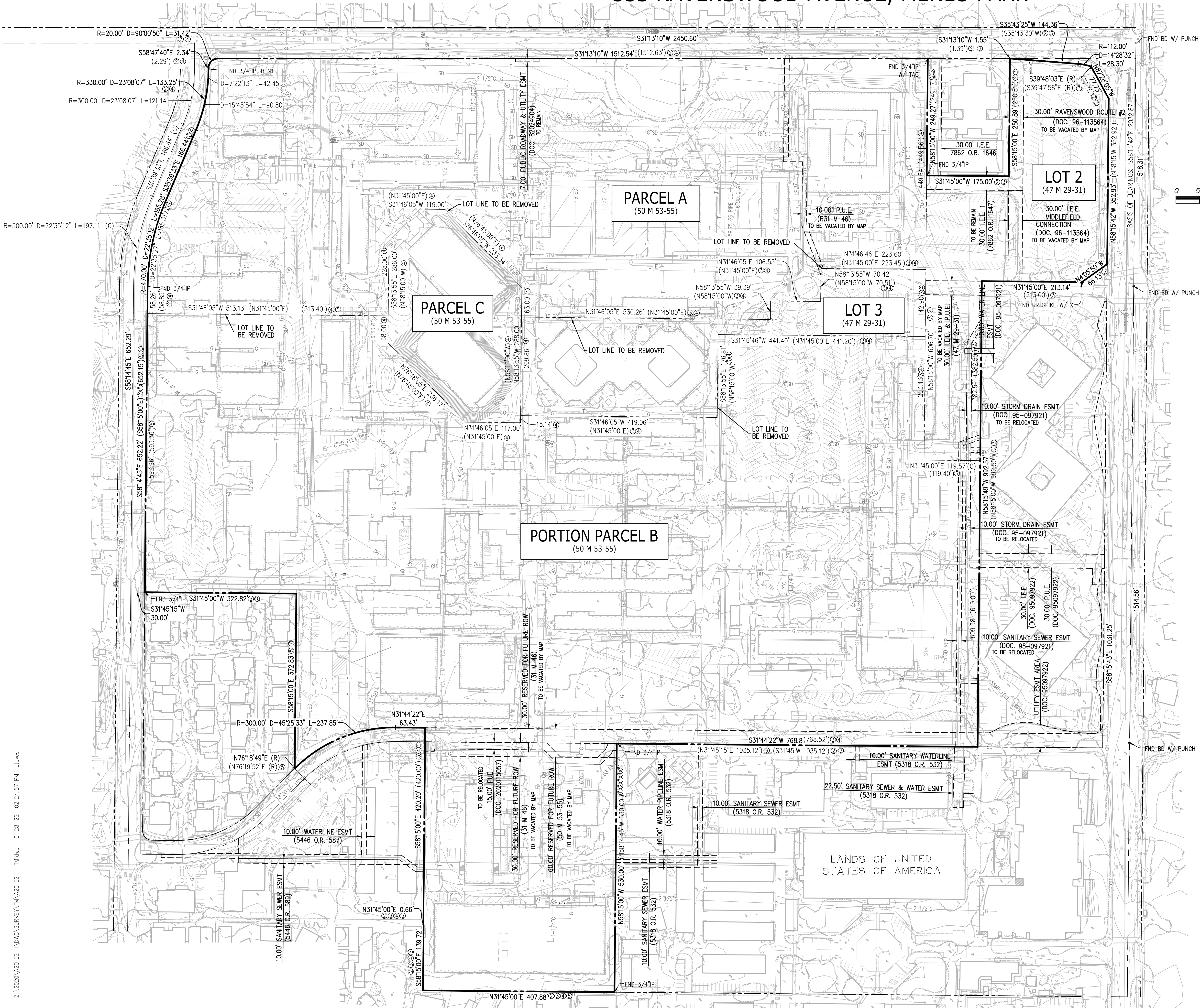
- OWNER/DEVELOPER: SRI INTERNATIONAL  
333 RAVENSWOOD AVENUE  
MENLO PARK, CA 94025  
PHONE: (XXX) XXX-XXXX  
CONTACT:
- MAP PREPARED BY: KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.  
3350 SCOTT BOULEVARD, BUILDING 22  
SANTA CLARA, CA 95054  
PHONE: (408) 727-6665  
CONTACT: RODNEY A. STEWART II, LS 9225
- APN: 062-390-660; 062-390-670; 062-390-730; 062-390-760; 062-390-780
- EXISTING USE: OFFICE / RESEARCH & DEVELOPMENT
- PROPOSED USE: RESIDENTIAL  
OFFICE/RESEARCH & DEVELOPMENT/LIFE SCIENCE
- EXISTING ZONING: C-1-X
- PROPOSED ZONING: NO CHANGE
- PROPOSED NUMBER OF LOTS: 16
- TOTAL ACREAGE: 63.2239± ACRES (GROSS)
- ALL DISTANCES ARE APPROXIMATE.
- NO NEW STREET NAMES PROPOSED.
- THIS TENTATIVE MAP WAS PREPARED FROM INFORMATION FURNISHED IN A PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED AS OF JANUARY 29, 2021, ORDER NUMBER NCS-1043479-SC. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- FLOOD ZONE NOTE:  
THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 0601C0308E FOR COMMUNITY NUMBER 060321 (CITY OF MENLO PARK), WITH AN EFFECTIVE DATE OF OCTOBER 16, 2012, AS BEING LOCATED IN FLOOD ZONE "X (UNSHADED)".  
ACCORDING TO FEMA THE DEFINITION OF ZONE "X (UNSHADED)" IS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.  
FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.
- BENCHMARK:  
DESCRIPTION: NGS BENCHMARK Y150  
BRASS DISK SET IN CONCRETE HEADWALL AT SAN FRANCISQUITO CREEK, STAMPED "Y150"  
ELEVATION: 58.45 FEET (DATUM: NAVD88)  
LOCATION: AT THE INTERSECTION OF MIDDLEFIELD ROAD, PALO ALTO AVENUE AND WOODLAND AVENUE; 18± NORTH OF THE NORTH EDGE OF MIDDLEFIELD ROAD AT THE SOUTHERLY ANGLE POINT OF THE CONCRETE HEADWALL.
- BASIS OF BEARINGS:  
THE BEARING OF SOUTH 58°15'42" EAST TAKEN ON THE MONUMENT LINE OF MIDDLEFIELD ROAD AS SHOWN ON THAT CERTAIN RECORD OF SURVEY NUMBER 2652 FILED FOR RECORD ON MARCH 12, 2015, IN BOOK 40 OF L.L.S. MAPS AT PAGE 81, OFFICIAL RECORDS OF SAN MATEO COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.
- ADDITIONAL EASEMENTS MAY BE NECESSARY, ANY ADDITIONAL EASEMENT REQUIREMENTS WILL BE DETERMINED AS THE PROJECT EVOLVES.
- UTILITIES:  
STORM DRAIN: CITY OF MENLO PARK  
SANITARY SEWER: WEST BAY SANITARY DISTRICT  
WATER SUPPLY: CITY OF MENLO PARK  
GAS: PACIFIC GAS & ELECTRIC COMPANY  
ELECTRIC: PACIFIC GAS & ELECTRIC COMPANY  
TELEPHONE: AT&T  
CABLE: CABLECOM

### LEGEND & ABBREVIATIONS

—	PROPERTY LINE
- - -	ADJACENT PROPERTY LINE
- · - · -	PROPERTY LINE TO BE REMOVED
- · - · -	CENTERLINE/MONUMENT LINE, AS NOTED
- · - · -	EASEMENT LINE
DOC.	DOCUMENT NUMBER
ESMT	EASEMENT
I.E.T.	INGRESS EGRESS EASEMENT
O.R.	OFFICIAL RECORDS
P.S.E.	PUBLIC SERVICE EASEMENT
R	REFERENCE MAP NUMBER
R/W	RIGHT OF WAY
S.W.E.	SIDEWALK EASEMENT
(T)	TOTAL

### REFERENCES

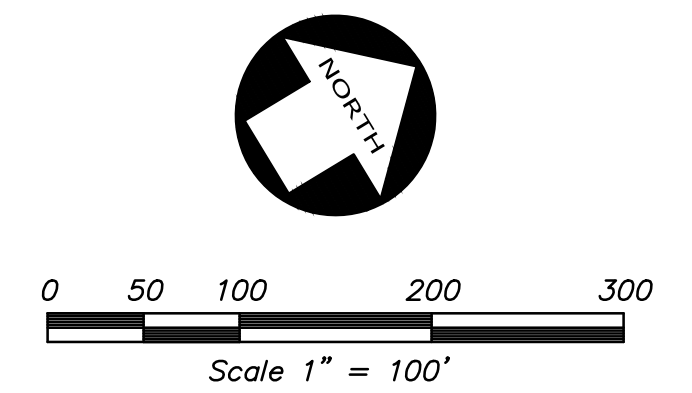
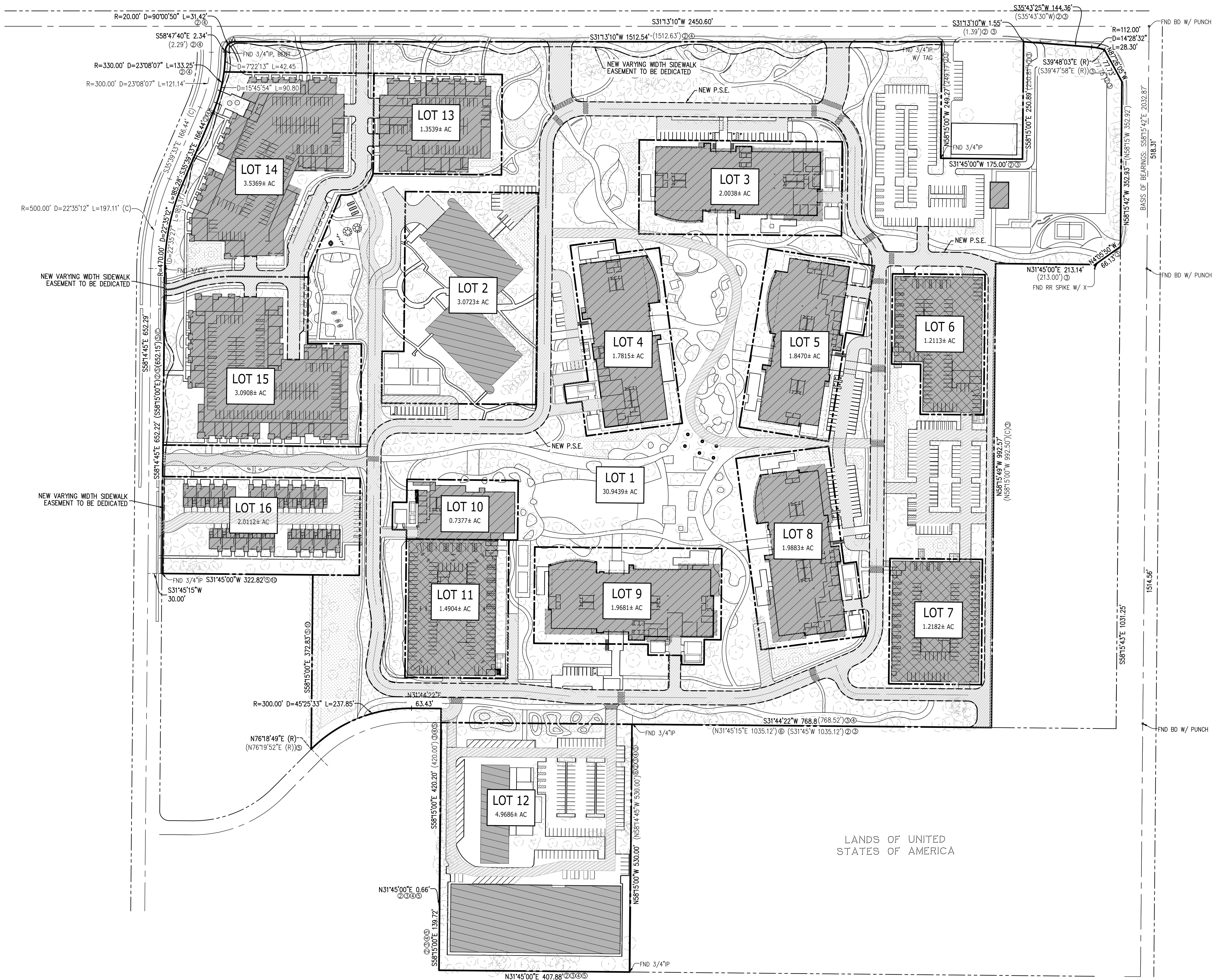
①	RECORD OF SURVEY	3 LLS 66
②	PARCEL MAP	31 PM 46
③	PARCEL MAP	47 PM 29-31
④	PARCEL MAP	50 PM 53-55
⑤	PARCEL MAP	70 PM 56-58
⑥	RECORD OF SURVEY	14 LLS 110
⑦	PARCEL MAP	80 PM 45-46
⑧	JUDGMENT	1081 OR 75
⑨	RECORD OF SURVEY	36 LLS 84
⑩	SUBDIVISION MAP	128 M 50-52
⑪	SUBDIVISION MAP	126 M 35-420



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# VESTING TENTATIVE TRACT MAP

## 333 RAVENSWOOD AVENUE, MENLO PARK



**LEGEND & ABBREVIATIONS**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PROPERTY LINE TO BE REMOVED
	CENTERLINE/MONUMENT LINE, AS NOTED
	EASEMENT LINE
	DOCUMENT NUMBER
	EASEMENT
	INGRESS EGRESS EASEMENT
	OFFICIAL RECORDS
	PUBLIC SERVICE EASEMENT
	REFERENCE MAP NUMBER
	RIGHT OF WAY
	SIDEWALK EASEMENT
	TOTAL
	PROPOSED EMERGENCY ACCESS EASEMENT: AERIAL ACCESS ROAD
	PROPOSED EMERGENCY ACCESS EASEMENT: FIRE ACCESS ROAD

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