



SPECIAL AND REGULAR MEETING AGENDA – AMENDED

Date: 2/11/2020
Time: 5:30 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

This amended agenda includes the call-in address for City Councilmember Catherine Carlton, staff report amendment to item I1, and additional information item K3.

City Councilmember Catherine Carlton will be participating by phone from:
Plaza Marchi Old Town
Ul.Mihovilova sirina 1, Split, 21000, Croatia

According to City Council policy, all regular meetings of the City Council are to end by midnight unless there is a super majority vote taken by 11:00 p.m. to extend the meeting and identify the items to be considered after 11:00 p.m.

5:30 p.m. Closed Session (City Hall - “Downtown” Conference Room, 1st Floor)

Public Comment on these items will be taken before adjourning to Closed Session.

CL1. Public employment (Gov. Code section 54957.)
City Attorney recruitment

6:00 p.m. Study Session

A. Call To Order

B. Roll Call

C. Pledge of Allegiance

SS1. Receive direction on interim service levels during construction of the Belle Haven community center and library ([Staff Report #20-025-CC](#))

Regular Session

D. Report from Closed Session

E. Presentations and Proclamations

E1. Mayor and Sister City Committee honor scouts for assistance with the Bizen delegation

F. Commissioner Reports

F1. Finance and Audit Committee update ([Staff Report #20-032-CC](#))

F2. Sister City Committee update ([Staff Report #20-003-CC](#))

G. Public Comment

Under “Public Comment,” the public may address the City Council on any subject not listed on the agenda. Each speaker may address the City Council once under public comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The City Council cannot act on items not listed on the agenda and, therefore, the City Council cannot respond to non-agenda issues brought up under public comment other than to provide general information.

H. Consent Calendar

- H1. Accept the City Council meeting minutes for December 16 and 17, 2019 and January 27, 2020 ([Attachment](#))
- H2. Authorize the city manager to execute funding agreements with the City/County Association of Governments of San Mateo County and the California Department of Transportation and release a bond from Anton Menlo for the Haven Avenue streetscape improvements project ([Staff Report #20-031-CC](#))
- H3. Adopt a resolution changing Menlo Park’s Friendship City agreement with Bizen, Japan to a Sister City agreement ([Staff Report #20-006-CC](#))
- H4. Approve staggering term expiration dates for Sister City Committee ([Staff Report #20-024-CC](#))
- H5. Adopt Resolution No. 6541 initiating the Menlo Park landscape assessment district proceedings for fiscal year 2020-21 ([Staff Report #20-030-CC](#))

I. Public Hearing

- I1. Adopt Resolution No. 6540 to approve a conditional development permit amendment for a 240-room hotel and to reduce the associated required number of parking spaces at 301 Constitution Drive (citizenM Hotel) ([Staff Report #20-029-CC](#))
- I2. Consider the Planning Commission’s recommendation to approve architectural control, use permit, major subdivision, and below market rate housing agreement for nine single-family residential units located at 661-687 Partridge Avenue ([Staff Report #20-028-CC](#))

J. Regular Business

- J1. Authorize city manager to negotiate with Team Sheeper to temporarily suspend Belle Haven pool operations until Belle Haven community center and library project is completed and Belle Haven pool is reopened or rebuilt and, if not successful, terminate the Belle Haven pool portion of the operating agreement ([Staff Report #20-033-CC](#))
- J2. Approve recommendation by the Parks and Recreation Commission and authorize city manager to execute agreement with Menlo Park Public Art for a pilot public art proposal ([Staff Report #20-027-CC](#))

K. Informational Items

- K1. City Council agenda topics: February 2020 to April 2020 ([Staff Report #20-021-CC](#))
- K2. Update and next steps on utility underground priorities ([Staff Report #20-026-CC](#))
- K3. Update on 2020 goal-setting process ([Staff Report #20-034-CC](#))

L. City Manager's Report

M. City Councilmember Reports

N. Adjournment

At every regular meeting of the City Council, in addition to the public comment period where the public shall have the right to address the City Council on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Council on any item listed on the agenda at a time designated by the chair, either before or during the City Council's consideration of the item.

At every special meeting of the City Council, members of the public have the right to directly address the City Council on any item listed on the agenda at a time designated by the chair, either before or during consideration of the item.

For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or prior to, the public hearing.

Any writing that is distributed to a majority of the City Council by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the city clerk's office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours. Persons with disabilities, who require auxiliary aids or services in attending or participating in City Council meetings, may call the City Clerk's Office at 650-330-6620.

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at menlopark.org/agenda and can receive email notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting City Clerk at 650-330-6620. (Posted: 2/6/2020)



STAFF REPORT

City Council

Meeting Date:

2/11/2020

Staff Report Number:

20-025-CC

Study Session:

Receive direction on interim service levels during construction of the Belle Haven community center and library

Recommendation

The purpose of this study session is to provide background information on the analysis done for continuing services during the construction period for the Belle Haven community center and library (BHCCL.) Direction is requested if the City Council desires staff to investigate alternate service levels than those in the preliminary recommendation.

Policy Issues

City Council is responsible for setting service levels.

Background

In October 2019, Facebook announced its intent to collaborate with the community and City to build a new multigenerational community center and library on the site of the current Onetta Harris Community Center (OHCC,) Menlo Park Senior Center and Belle Haven Youth Center located at 100-110 Terminal Avenue. On December 10, 2019, staff provided an Informational Item staff report to provide an update to City Council while awaiting a written offer. In addition, the City Council appointed city councilmembers Carlton and Taylor to an ad hoc subcommittee on this project. On December 16, 2019, Facebook submitted an offer letter for the City Council's consideration.

On December 30, 2019, an interdisciplinary staff committee was formed to investigate the transition from services provided at the current locations to services provided in interim locations should the City Council accept the offer from Facebook. On January 28, the City Council approved a resolution of intent to collaborate with Facebook and accept the offer.

Analysis

In anticipation of the City Council's consideration of the Facebook offer, the staff committee began to develop a framework to evaluate how to provide interim services during the period of time the current OHCC, Menlo Park Senior Center, Belle Haven Youth Center, and Belle Haven Pool facilities would be inaccessible due to construction activity.

Assumptions used

A number of assumptions were made in order to provide the constraints for considering the possible level of interim services. These assumptions are outlined and briefly described below:

- Collocation of services is preferable

- All else equal, having services offered at the same location is preferable to having them at multiple locations
- If this is not feasible, the greatest concentration of interim services possible is preferable
- Programs with more stringent requirements, such as licensed after-school care, may necessitate a change in service level or separate interim location
- The interim service period must precede the start and extend past the end of construction
 - In order to meet a construction target of January 2021, interim services must be ready in fall 2020, tentatively September or October to avoid holiday disruption
 - Interim services must be available throughout construction and final outfitting, a period conservatively estimated at 24 months
 - The current Senior Center, OHCC, Youth Center are assumed to be wholly unavailable for this entire period starting January 2021, with Belle Haven Pool potentially being unavailable starting as early as September 2020
- Costs will be dependent on the interim location(s) used and service levels provided
 - For example, one option might involve sourcing potential vacant, unimproved land and fitting the minimum number of temporary buildings necessary to house interim services
 - Other potential solutions, involve a commercial rental with associated tenant improvements,

Current service inventory

The current service inventory (Attachment A) is a listing of all services provided at the site of the proposed project grouped by facility.

Priority tier for interim services

Of the aforementioned inventory, all of the services are valued and important, but not all services are as critical or practical to provide during the interim construction period. There is a strong commitment to continuing to provide services with a particular focus on services related to health and safety of vulnerable populations (e.g., seniors, children.) Three priority tiers have been identified in an effort to distinguish between these categories. The factors which contribute to each rating are described in greater detail below:

Tier 1

A vulnerable population is the primary service constituency and the service provided is of critical importance to health or safety

Tier 2

The program or service provided is not critical

AND

Alternative space for the program or service can be reasonably acquired

Tier 3

The program or service provided is not critical

AND

There are no reasonable alternatives for space which are not cost prohibitive

Interim service levels

In addition to prioritizing the services currently provided, a recommendation was developed for the degree of services to be provided in the interim, ranging from the current level at the high end to temporary discontinuation at the low end. All services are considered to be inclusive of all factors necessary to provide

the service, including appropriate building floor space and room configuration, transportation if necessary and staff workspaces. The ratings are described in greater detail below:

- Same level – The service is critical and cannot be provided at a lower level without severe disruption
- Reduced level – An alternative service level has been identified which meets most or all program goals
- Outsource – There exists another provider or location for service which can suffice in the interim
- Suspend – Provision of this service is not feasible during project construction but may resume afterward

Recommended interim service summary

The services currently offered, ordered alphabetically by current location, are summarized in Table 1 below by their respective recommended interim level. The specific recommendations are included in Attachment A.

Table 1: Recommended interim service level			
Service	Current location	Tier	Recommended interim service level
Pool operations	Belle Haven Pool	3	Suspended
Sports field group rentals	Kelly Field	2	Same level
Second Harvest program	OHCC	1	Same level
Recreation classes, community special events	OHCC	2	Reduced level
Drop-in fitness/gym classes, room rentals	OHCC	3	Suspended
Senior meals, transportation, health and counseling programs	Senior Center	1	Same level
Senior recreation classes, special events, game room	Senior Center	2	Reduced level
Seniors' community garden	Senior Center	2	Outsourced
Senior community meeting rooms	Senior Center	3	Suspended

Other considerations

If the City Council desires to offer services at levels either higher or lower than those recommended, there may be additional costs or savings associated with doing so. For instance, the City Council may desire to subsidize the costs of using alternate facilities through methods such as enhancing the current shuttle service between the Belle Haven Pool and Burgess campus pool in order to provide more frequent service. Similarly, while the space at facilities on the Burgess campus could perform a similar function to a variety of services currently offered at OHCC, the City Council may desire to offer preferential scheduling, transportation, or both in order to increase the interim service level. Reducing interim services would serve a similar function, whereby there is potential cost savings available. Such reduced services could take the form of fewer special events or reducing the amount of space needed to deliver the service. Due to the wide range of potential strategies, neither strategies for increased or decreased service levels beyond the recommended level have been evaluated to date but can be investigated with City Council direction.

Subcommittee review

The City Council ad hoc subcommittee reviewed Attachment A. The Subcommittee generally support the approach for the recommended interim service, but wants to receive public and City Council feedback at the Study Session February 11 before formulating a recommendation for the February 25 City Council meeting. As part of the staff report for February 25, staff will provide some historical data regarding the types and frequency of facility rentals to better understand the implications of suspending this service.

Next steps

Staff is beginning to reach out to potential partners to determine their level of interest in working with the City to deliver services. After receiving initial feedback on the desired service levels February 11, staff will identify some specific site locations for providing interim services. Staff will focus in the immediate Belle Haven neighborhood, but will consider other sites within the northern portion of Menlo Park if necessary. Locations will include sites owned by the City, other public entities or nonprofits, and private entities. Depending on the site and the type of improvements required, there may be need for zoning and/or building permits, which will need to be factored into the schedule. Construction activity may include utility connections (e.g., water, sewer, electric and telecommunication,) site improvements (parking, paving, grading/drainage,) and/or tenant improvements. A primary overarching consideration will include compliance with applicable disabled access requirements.

Impact on City Resources

Staff will provide a rough estimate of potential costs and any budget implications as part of the staff report for the February 25 City Council meeting. In addition, staff will identify options for modifications to standard contracting authority in order to meet the identified timeframe for having the interim services online.

Environmental Review

This action is not a project within the meaning of the California Environmental Quality Act (CEQA) Guidelines §§ 15378 and 15061(b)(3) as it will not result in any direct or indirect physical change in the environment.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. In addition, the City sent electronic notices via Nextdoor, Facebook, the Weekly Digest and Belle Haven neighborhood updates newsletters, and directly to over 120 email subscribers and 28 text message subscribers from the project page (Attachment B.)

Attachments

- A. Current service inventory
- B. Hyperlink – project page: menlopark.org/bellehaven

Report prepared by:

Dan Jacobson, Finance and Budget Manager
Derek Schweigart, Community Services Director

Report reviewed by:

Justin Murphy, Deputy City Manager

Service inventory, priority tiers and interim service levels					
Ref #	Service	Current location	Priority tier	Recommended interim level	Notes
1	Senior nutrition program (senior meals)	Senior Center	1	Same level	
2	Senior recreation classes	Senior Center	2	Reduced level	Focus on movement/exercise
3	Senior special events	Senior Center	2	Reduced level	Focus on movement/exercise
4	Senior Center rentals	Senior Center	3	Suspend	
5	Senior Center community meeting rooms	Senior Center	3	Reduced level	
6	Senior transportation program	Senior Center	1	Same level	
7	Seniors brown bag program	Senior Center	1	Same level	
8	Seniors health screenings	Senior Center	1	Same level	
9	Seniors counseling programs	Senior Center	1	Same level	
10	Seniors community garden	Senior Center	2	Outsource	Coordinate with Belle Haven Community Garden
11	Seniors social opportunities (game room)	Senior Center	2	Reduced level	
12	Samaritan House	Senior Center	3	Outsource	
13	Senior Center program storage space	Senior Center	1	Reduced level	
14	OHCC - recreation classes	OHCC	2	Reduced level	
15	OHCC - rentals	OHCC	3	Suspend	
16	OHCC - Gym rentals	OHCC	3	Suspend	
17	OHCC - Drop-in Gym (b-ball / v-ball)	OHCC	3	Suspend	
18	OHCC - Drop-in Fitness Room	OHCC	3	Suspend	
19	OHCC - community special events	OHCC	2	Reduced level	
20	OHCC - community rooms	OHCC	3	Suspend	
21	OHCC - Second Harvest	OHCC	1	Same level	
22	After School Program	Youth Center	1	Same level	
23	Camp Menlo (Summer)	Youth Center	1	Same level	
24	Recreation swim*	BH Pool	3	Suspend	
25	Lap swim*	BH Pool	3	Suspend	
26	Youth swim school*	BH Pool	3	Suspend	
27	Youth water polo*	BH Pool	3	Suspend	
28	Swim camps*	BH Pool	3	Suspend	
29	Sports field user group rentals	Kelly Field	2	Same level	Use of field limited during construction hours

* Operator will explore alternative delivery.

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STAFF REPORT

City Council Meeting Date: 2/11/2020
Staff Report Number: 20-032-CC

Commission Report: Finance and Audit Committee update

Recommendation

Staff recommends that the City Council receive the semiannual update from the Finance and Audit Committee (FAC.)

Policy Issues

The City Council requires commissions and committees to provide semiannual updates at a regularly scheduled City Council meeting.

Background

The FAC discussed the content of their semiannual City Council update at their January 15 special meeting, and are scheduled to approve the final presentation at their February 4 special meeting. Once the presentation is finalized, it will be made available. FAC Chair Soody Tronson will provide the update.

Impact on City Resources

Outside of the regular FAC regular meeting times, approximately five hours of staff time was spent assisting the FAC Chair to prepare the presentation.

Environmental Review

This action is not a project within the meaning of the California Environmental Quality Act (CEQA) Guidelines §§ 15378 and 15061(b)(3) as it will not result in any direct or indirect physical change in the environment.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Report prepared by:
Dan Jacobson, Finance and Budget Manager

Report approved by:
Lenka Diaz, Administrative Services Director

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SISTER CITY COMMITTEE UPDATE

February 11, 2020, City Council Meeting



SISTER CITY COMMITTEE MISSION STATEMENT

The mission of the Sister City Committee is to promote international goodwill, respect and cooperation by facilitating cultural, educational and economic exchanges.

Committee Members:

Catherine Carlton

James Clendenin

Brian Gilmer

Kristy Holch – Vice Chair

Stuart Soffer

Cecilia Taylor

George Yang – Chair

SISTER CITY COMMITTEE RESPONSIBILITIES

- Develop a mission statement and program plan consisting of projects, exhibits, contacts and exchanges of all types to foster and promote the objectives of the mission statement
- To implement the City Council's approved program plan
- To keep the community informed about the Sister City program
- To advise City Council on Sister City matters
- To perform such other duties as may be assigned to the Committee by the City Council

CURRENT SISTER CITY/FRIENDSHIP CITY RELATIONSHIPS

- Galway, Ireland – Sister City
 - Reciprocal mayoral visits nearly every year dating back to 2014
- Bizen, Japan – Friendship City
 - Reciprocal exchange of 10 middle school students in alternating years since 2015
- Xinbei (Changzhou), China – Friendship City
 - Xinbei Mayor visited Menlo Park in 2014; Menlo Park Mayor visited Xinbei in 2015
- Kochi, India – Friendship City
 - India delegation visited Menlo Park in 2014; Menlo Park Mayor visited Kochi in 2015

Xinbei (pronounced SHIN-bay) is in Changzhou (pronounced chong-JOE) Province



2019 ACTIVITIES



Bizen, Japan student and Mayor's delegation visit

2019 ACTIVITIES

- Policy recommendations received City Council approval:
 - Maintaining relationships
 - Sister City-Friendship City selection criteria
 - Visiting dignitaries and international guests protocol
- Japanese delegation visit August 2019
- Hosted the Sister Cities International – Northern California Chapter annual conference in November 2019
- Reviewed current sister city and friendship city relationships and recommended upgrading Bizen, Japan to sister city status

2020 ACTIVITIES

- Next Committee meeting is the February 26, 2020, special meeting
- Menlo Park delegation will travel to Bizen, Japan in summer 2020
- Active membership in Sister Cities International – Northern California Chapter
- Reviewing other upcoming events and programs as part of the next updated Sister City Committee work plan for City Council's consideration



QUESTIONS



SPECIAL MEETING MINUTES – DRAFT

Date: 12/16/2019
Time: 4:30 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

4:30 p.m. Closed Session (City Hall - “Downtown” Conference Room, 1st Floor)

Mayor Muller called the meeting to order at 4:32 p.m.

Roll Call

Present: Carlton, Combs, Nash, Mueller, Taylor
Absent: None
Staff: City Manager Starla Jerome-Robinson, City Attorney William McClure, City Clerk Judi A. Herren (excused at 4:34 p.m.), Administrative Services Director Lenka Diaz, Human Resources Manager Theresa DellaSanta

Public Comment

- Lynne Bramlett spoke on penal code 832.5 regarding independent policy auditing (Attachment).

CL1. Public employment (Gov. Code section 54957.)
City Attorney recruitment

Mayor Mueller adjourned to the special meeting at 5:03 p.m.

Special Meeting

A. Call To Order

Mayor Mueller called the meeting to order at 5:12 p.m.

B. Roll Call

Present: Carlton, Combs (excused at 5:12 p.m.), Nash, Mueller, Taylor
Absent: None
Staff: City Manager Starla Jerome-Robinson, City Attorney William McClure, City Clerk Judi A. Herren

C. Pledge of Allegiance

Mayor Mueller led the Pledge of Allegiance.

D. Consent Calendar

City Councilmember Nash pulled item D2.

Item D2 was continued to future meeting.

- D1. Accept the City Council meeting minutes for November 19, 2019 ([Attachment](#))
- D2. Receive and file the quarterly update on the City Council adopted 2019-20 priorities and work plan ([Staff Report #19-281-CC](#))
- Ryann Price spoke in support of the climate action plan 2.0.
- D3. Authorize the release of the biennial community survey ([Staff Report #19-275-CC](#))
- Lynne Bramlett expressed concerns on the proposed community survey.
- D4. Approval of a memorandum of understanding with the Cable Joint Powers member agencies for the use of JPA PEG funds for qualifying member agencies' capital projects with corresponding grants to the Media Center ([Staff Report #19-282-CC](#))
- D5. Authorize the city manager to execute an agreement with ePlus for replacement of network switches in an amount not to exceed \$109,969.60 ([Staff Report #19-279-CC](#))

ACTION: Motion and second (Carlton/ Combs) to approve the consent calendar except item D2, passed unanimously.

E. Regular Business

- E1. Receive an overview of public comments on the notice of preparation and confirm the scope and content of the environmental impact report to be prepared for the proposed Willow Village mixed-use master plan development ([Staff Report #19-274-CC](#))

City Councilmember Combs was recused and exited the chambers.

Principal Planner Kyle Perata made the presentation ([Attachment](#)).

- Crystal Leach spoke on the direct and indirect impacts on the Sequoia Union High School District.
- Lynne Bramlett spoke on a more inclusive public process and public noticing of large projects ([Attachment](#)).
- Samuel Munoz, representing local carpenters' union, spoke in favor of the Willow Village project.
- Pamela Jones spoke on cultural and tribal resources.
- Henry Riggs commented on the Planning Commission process and public input on this item.

The City Council discussed qualitative versus quantitative measurements of level of service and vehicle miles traveled and the effects of California Environmental Quality Act (CEQA) new laws. City Council received clarification on the regional effects on the jobs/housing imbalance.

ACTION: Motion and second (Nash/ Taylor) to receive an overview of public comments on the notice of preparation and confirm the scope and content of the environmental impact report to be prepared for the proposed Willow Village mixed-use master plan development, passed 4-0-1 (Combs recused).

F. Informational Items

- F1. Update on the City Council ad hoc subcommittee on City Council Procedure Updates ([Staff Report #19-278-CC](#))
- Lynne Bramlett stated a sunshine calendar policy could be burdensome for part-time city councilmembers and suggested broader reforms for transparency.
- F2. City Council agenda topics: January 2020 to February 2020 ([Staff Report #19-273-CC](#))
- Lynne Bramlett suggested relating upcoming agenda topics to city council work plan items in a separate column.

G. City Manager's Report

City Manager Jerome-Robinson reported on the creation of a city attorney recruitment subcommittee during closed session, of Mayor Mueller and City Councilmember Combs. Jerome-Robinson also reported on receiving a letter from Facebook regarding the Belle Haven multigenerational community center.

H. City Councilmember Reports

I. Adjournment

Mayor Mueller adjourned the meeting at 6:25 p.m.

Judi A. Herren, City Clerk



REGULAR MEETING MINUTES – DRAFT

Date: 12/17/2019
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Mayor Mueller called the meeting to order at 7:00 p.m.

B. Roll Call

Present: Carlton, Combs, Nash, Mueller, Taylor
Absent: None
Staff: City Manager Starla Jerome-Robinson, City Attorney William McClure, City Clerk Judi A. Herren

C. Pledge of Allegiance

Mayor Mueller led the Pledge of Allegiance.

D. Public Comment

None.

E. Consent Calendar

- E1. Waive the second reading and adopt Ordinance No. 1064 banning sale of flavored tobacco and e-cigarette devices ([Staff Report #19-277-CC](#))

Mayor Mueller commented that the sale of devices under medical supervision (pharmacy) should be explored.

- E2. Waive the reading and adopt Ordinance No. 1062 amending Title 12 [Buildings and Construction] of the Menlo Park Municipal Code to adopt local amendments to the California Building Standards Code ([Staff Report #19-276-CC](#))

ACTION: Motion and second (Taylor/ Nash) to approve the consent calendar, passed unanimously.

F. Regular Business

- F1. Recognition of the outgoing Mayor

Mayor Pro Tem Taylor presented a proclamation to Mayor Mueller. Mayor Mueller accepted and made comments.

- F2. Selection of Mayor and Vice Mayor ([Staff Report #19-242-CC](#))

Mayor Mueller nominated Taylor for Mayor.

ACTION: By acclamation, Taylor was selected as Mayor, passed unanimously.

City Councilmember Nash nominated Combs for Vice Mayor.

ACTION: By acclamation, Combs was selected as Vice Mayor, passed unanimously.

F3. Appoint City Council representatives and alternates to various regional agencies, as liaisons to City Council advisory bodies, and disband inactive advisory bodies ([Staff Report #19-243-CC](#))

ACTION: By acclamation, appoint City Council representatives and alternates to various regional agencies, as liaisons to City Council advisory bodies, and disband inactive advisory bodies, passed unanimously (Attachment).

F4. Provide direction to the City's voting delegate regarding regional vacancies for the next City Selection Committee meeting December 20, 2019 ([Staff Report #19-244-CC](#))

ACTION: By acclamation, Mayor Taylor was selected as the City's voting delegate regarding regional vacancies for the next City Selection Committee meeting December 20, 2019, passed unanimously.

G. City Manager's Report

City Manager Jerome-Robinson reported on receiving an offer letter from Facebook regarding the Belle Haven multigenerational community center.

H. City Councilmember Reports

None.

I. Adjournment

Mayor Taylor adjourned the meeting at 7:33 p.m.

Judi A. Herren, City Clerk



SPECIAL MEETING MINUTES – DRAFT

Date: 1/27/2020
Time: 4:00 p.m.
City Hall/Administration Building
701 Laurel St., Menlo Park, CA 94025

4:00 p.m. Closed Session (City Hall - “Downtown” Conference Room, 1st Floor)

Mayor Taylor called the meeting to order at 4:08 p.m.

Roll Call

Present: Carlton, Combs, Nash, Mueller, Taylor
Absent: None
Staff: City Manager Starla Jerome-Robinson, Consulting Team Senior Consultant Kathye Citron, City Clerk Judi A. Herren (excused at 4:09 p.m.)

Public Comment

None.

CL1. Public employee performance evaluation (Gov. Code section 54957(b)(1).)
Title: City Manager

Adjournment

Mayor Taylor adjourned the meeting at 6:59 p.m.



STAFF REPORT

City Council

Meeting Date:

2/11/2020

Staff Report Number:

20-031-CC

Consent Calendar:

Authorize the city manager to execute funding agreements with the City/County Association of Governments of San Mateo County and the California Department of Transportation and release a bond from Anton Menlo for the Haven Avenue streetscape improvements project

Recommendation

Staff recommends that the City Council authorize the city manager to:

- Execute funding agreements with City/County Association of Governments of San Mateo County (C/CAG) and California Department of Transportation (Caltrans)
- Release a bond from Anton Menlo, LLC

Policy Issues

The project is consistent with policies stated in the 2016 general plan circulation element. These policies seek to maintain a safe, efficient, attractive, user-friendly circulation system that promotes a healthy, safe, and active community and quality of life throughout Menlo Park.

The project is included in the City's 2019-20 capital improvement plan as a tier 2 priority project.

Background

Haven Avenue was designated as a multimodal corridor in the City's 2015-2023 housing element, serving as a location for future development of higher-density housing within the City. Under the Housing Element, two projects constructed 540 housing units along Haven Avenue at 3645 Haven Avenue (Elan Menlo Park) and 3639 Haven Avenue (Anton Menlo project.) Part of these projects' transportation requirements included pedestrian and bicycle improvements along Haven Avenue between Marsh Road and approximately 3715 Haven Avenue. This area of Haven Avenue is under the jurisdiction of Caltrans.

The improvements were designed and intended to be constructed by Anton Menlo. The improvements included on-street bicycle lanes, sidewalks, new Americans with Disabilities Act (ADA) curb ramps, high visibility crosswalks, a traffic signal modification at the Marsh Road and Bayfront Expressway intersection, and a pedestrian and bicycle bridge over the Atherton Channel. The Haven Avenue streetscape improvement plan is included in Attachment A. This project will provide new bicycle and pedestrian facilities on a key corridor to serve the immediate residents and connect Menlo Park, San Mateo County and Redwood City residents and employees.

In 2014, the City Council authorized submittal of a grant application to the San Mateo County Transportation Authority (SMCTA) Measure A grade pedestrian and bicycle program. The City requested \$170,000 in

Measure A funds to extend the planned bicycle and pedestrian improvements as described above, and to eliminate gaps in the existing bikeway and sidewalk network within the City.

Prior to the construction of any improvements along Haven Avenue, Anton Menlo needed to obtain an encroachment permit from Caltrans. Caltrans stipulated two conditions as part of the conditions of permit approval: City Council adoption of a resolution to remove on-street parking on both sides of Haven Avenue within Caltrans right of way; and amend the maintenance agreement between the City and the state. On June 20, 2017, City Council adopted the requested resolution and amended the existing maintenance agreement “maintenance of state highways in City of Menlo Park” to include the improvements.

Although the Anton Menlo development was completed in 2018 and the Haven Avenue improvement plans were approved, Anton Menlo did not construct the improvements due to changes in the scope of work, an escalation of construction costs resulting in a funding gap, and permit constraints. On July 5, 2018, Anton Menlo received a bid from construction contractor McGuire & Hester in the amount of \$1,354,090 for construction of the improvements. This bid was well above the \$469,000 committed to the project under the approved funding agreement. This construction bid expired June 1, 2019.

Since that time, staff has been working to secure funds to close the funding gap for the project’s construction, using the previously allocated Anton Menlo funds (\$469,000) along with identified additional funding.

Analysis

Project funding

Staff recommends the City Council authorize the city manager to release the Anton Menlo LLC bond (Attachment B,) to that the bond amount (\$469,000) would be available to use for the project.

On March 14, 2019, C/CAG approved a resolution to execute a funding agreement of \$374,000 with the City. C/CAG approved this action because this major City intersection serves regional traffic to and from the Dumbarton Bridge, US 101, and areas of the San Mateo County and Redwood City and the proposed Haven Avenue intersection improvements will increase vehicular capacity in a very congested Bay Area corridor while providing safer multimodal access.

Staff has also obtained a \$300,000 commitment from Caltrans for the project. These additional funds are to be used to complete pavement rehabilitation and replace curb ramps at the Marsh Road/Haven Avenue/ Bayfront Expressway intersection, located within the State highway system.

By securing these additional funds, the City would be able to deliver the project to modify the existing traffic signal, widen sidewalks, and improve the existing median to provide a crossing refuge for pedestrians and bicyclists.

Staff recommends that the City Council authorize the city manager to execute funding agreements with C/CAG and Caltrans to secure this additional project funding. A summary of the funds available to complete the Haven Avenue improvement project are listed in Table 1, and estimated project costs in Table 2.

Table 1: Funding	
Anton Menlo funding agreement	\$469,000
C/CAG	\$374,000
CalTrans	\$300,000
SMCTA Measure A	\$170,000
City funds (transportation impact fee)	\$530,000
Total funds available	\$1,843,000

Table 2: Estimated project costs	
Design/build contract	\$1,400,000
Consultant fees for design/build RFP preparation	\$60,000
Contract administration and inspection	\$200,000
Contingency	\$156,000
Total estimated project costs	\$1,816,000

Design and construction methodology

Staff plans to complete the Haven Avenue project using a design/build approach using a single contract with a qualified designer/builder rather than a more traditional design, bid, build approach. Since the Haven Avenue improvement design is substantially complete under Anton Menlo’s direction, this project lends itself to design/build approach since the construction scope-of-work has already been defined by the design effort. This will reduce the potential for costly contractor initiated change-orders due to changes in scope or unforeseen site conditions. Using a design/build method, staff will prepare a request for proposals (RFP) that qualified design/build firms will propose a fixed fee to complete the project design, obtain required permits and construct the project. Since the design/build contractor will be solely responsible for meeting project objectives as the single entity bearing project risk, the City will not need to perform the traditional multistep process of preparing project plans and specifications, bidding and construction contract award. Overall, the design/build approach is expected to save time and reduce costs.

Staff has discussed the proposed design/build process with the city attorney, and they have concurred using this approach is suitable for this project. Staff will bring a recommended design/build contract to the City Council for award once a qualified design/builder is identified.

Impact on City Resources

This project will be funded from the developer contribution, SMCTA bicycle and pedestrian program (Measure A) funds, C/CAG grant, Caltrans grant and transportation impact fees included in the 2019-20 capital improvement program for the project. No additional funds are required.

Environmental Review

In 2016, a mitigated negative declaration was prepared for this project pursuant to provisions of the



California Environmental Quality Act (CEQA).

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

- A. Haven Avenue streetscape improvements plan
- B. Anton Menlo bond

Report prepared by:

J. Michael Sartor, Senior Project Manager

Report reviewed by:

Chris Lamm, Assistant Public Works Director

HAVEN AVENUE AT MARSH ROAD

ROADWAY IMPROVEMENTS PROJECT

CITY OF MENLO PARK, SAN MATEO COUNTY, CALIFORNIA

TO BE SUPPLEMENTED BY CALTRANS STANDARD PLANS AND SPECIFICATIONS DATED 2015



ATTACHMENT A
 BKF ENGINEERS
 4670 WILLOW ROAD
 SUITE 250
 PLEASANTON, CA 94588
 925-396-7700
 925-396-7799 (FAX)
 © BKF Engineers

BKF 100 YEARS
 ENGINEERS · SURVEYORS · PLANNERS
 CALIFORNIA
**HAVEN AVENUE AT MARSH ROAD
 ROADWAY IMPROVEMENTS PROJECT**
TITLE SHEET
 SAN MATEO COUNTY
 MENLO PARK

PROJECT CONTACTS

OWNER/DEVELOPER: ST ANTON PARTNERS
 1801 I STREET
 SACRAMENTO, CA 94588
 CONTACT: NICK LINKERT
 PHONE: (916) 471-3001

CIVIL ENGINEER / SURVEYOR: BKF ENGINEERS
 4670 WILLOW ROAD, SUITE 250
 PLEASANTON, CA 94588
 CONTACT: NATALINA BERNARDI
 PHONE: (925) 396-7700

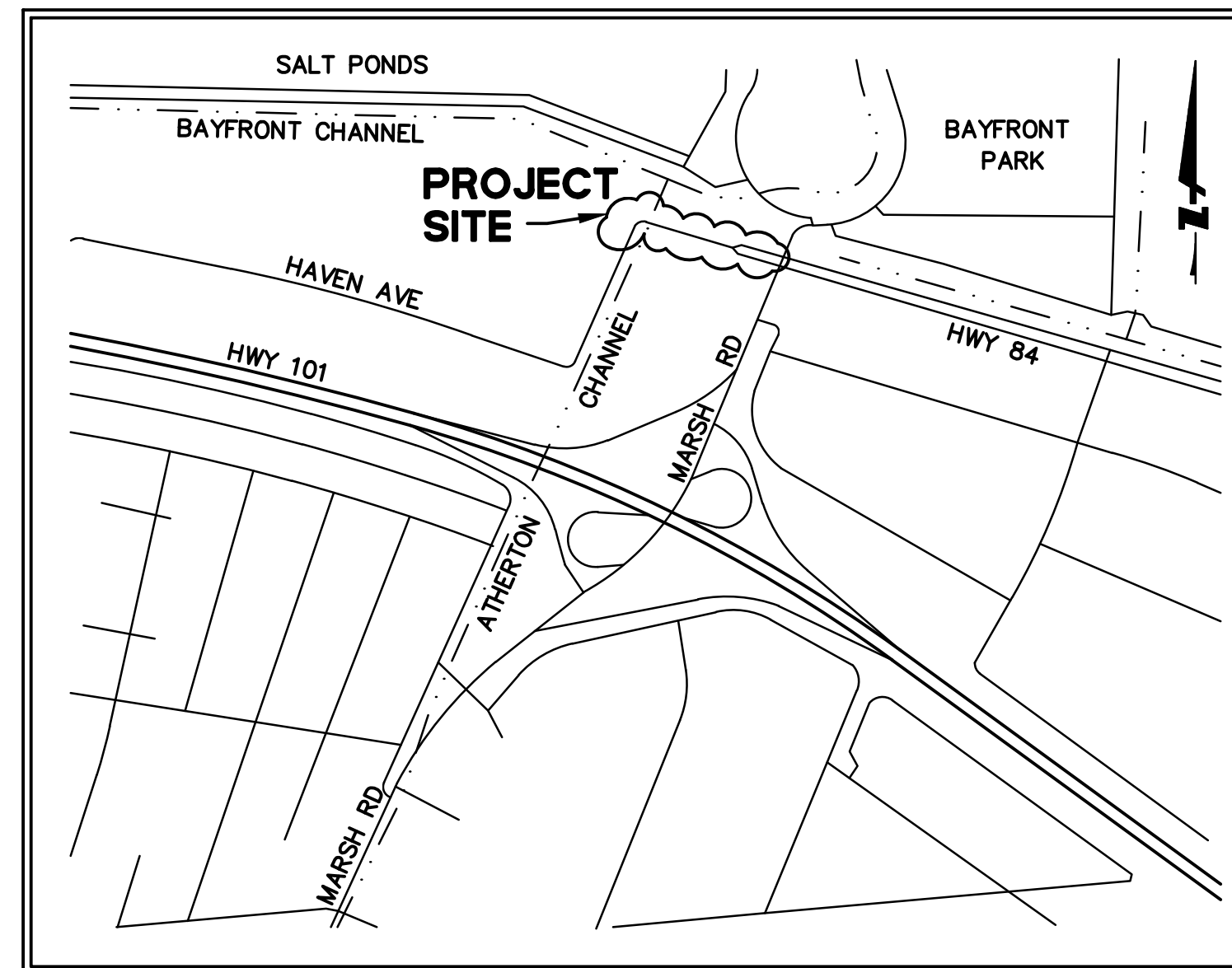
STRUCTURAL ENGINEER: BIGGS CARDOSA ASSOCIATES
 865 THE ALAMEDA
 SAN JOSE, CA 95126
 CONTACT: INES LI
 PHONE: (408) 296-5515

GEOTECHNICAL ENGINEER: GEOCON CONSULTANTS INC.
 6771 BRISA STREET
 LIVERMORE, CA 94550
 CONTACT: SHANE RODACKER
 PHONE: (925) 961-5271

SEWER SERVICE: WEST BAY SANITARY DISTRICT
 500 LAUREL STREET
 MENLO PARK, CA 94025
 CONTACT: BILL KITAJIMA
 PHONE: (650) 321-0384

WATER SERVICE: MENLO PARK WATER DISTRICT
 701 LAUREL STREET
 MENLO PARK, CA 94025
 CONTACT:
 PHONE: (650) 330-6780

GAS AND ELECTRIC SERVICE: PACIFIC GAS AND ELECTRIC
 275 INDUSTRIAL RD, RM 129
 SAN CARLOS, CA 94070
 CONTACT:
 PHONE: (650) 598-7326



VICINITY MAP
 NOT TO SCALE

SHEET INDEX

NO.	NAME	DESCRIPTION
1	T-1	TITLE SHEET
2	DEM-1	DEMOLITION PLAN
3	DEM-2	DEMOLITION PLAN
4	L-1	LAYOUT PLAN
5	L-2	LAYOUT PLAN
6	C-1	CONSTRUCTION DETAILS
7	C-2	CONSTRUCTION DETAILS
8	C-3	CONSTRUCTION DETAILS
9	C-4	CONSTRUCTION DETAILS
10	C-5	CONSTRUCTION DETAILS
11	C-6	CONSTRUCTION DETAILS
12	C-7	CONSTRUCTION DETAILS
13	C-8	CONSTRUCTION DETAILS
14	C-9	CONSTRUCTION DETAILS
15	EC-1	EROSION CONTROL PLAN
16	EC-2	EROSION CONTROL PLAN
17	PD-1	PAVEMENT DELINEATION AND SIGN PLAN
18	PD-2	PAVEMENT DELINEATION AND SIGN PLAN
19	TH-1	TRAFFIC HANDLING PLAN
20	E-1	ELECTRICAL PLAN
21	E-2	ELECTRICAL PLAN

ABBREVIATIONS

SYMBOL	DESCRIPTION
AB	AGGREGATE BASE
AC	ASPHALTIC CONCRETE
AIT	ALTERNATIVE IN-LINE TERMINAL SYSTEM
ARV	AIR RELEASE VALVE
BC	BEGIN CURVE
BFP	BACK FLOW PREVENTOR
BW	BACK OF WALK
CB	CATCH BASIN
CSP	CALTRANS STANDARD PLAN
DW	DOMESTIC WATER
EC	END CURVE
E, ELEC	ELECTRIC
EX, EXIST	EXISTING
EG	EXISTING GROUND
EL, ELEV	ELEVATION
EP	EDGE OF PAVEMENT
FG	FINISH GRADE
FL	FLOW LINE
GB	GRADE BREAK
GW	GUY WIRE
HP	HIGH POINT
JP	JOINT POLE
LF	LINEAR FOOT
LP	LIP OF GUTTER
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OH	OVERHEAD
PL	PROPERTY LINE
PR, PROP	PROPOSED
R	RADIUS
ROW	RIGHT OF WAY
S	SLOPE
SL	STREET LIGHT
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TYP	TYPICAL

PROJECT BENCHMARK

CITY OF MENLO PARK BENCHMARK NO. 3, EL. 5.428 FEET (NGVD29), BRONZE DISK EPOXIED INTO THE TOP OF CONCRETE ON THE NORTHERLY CURB LINE OF HAVEN AVENUE AND WEST SIDE OF A STORM WATER CATCH BASIN.

AT THE REQUEST OF THE CITY OF MENLO PARK, A MATHEMATICAL ADJUSTMENT OF 2.70 FEET WAS MADE TO BRING THE SITE TO NAVD88. NAVD88 BENCH MARK ELEVATION = 8.13 FEET.

BASIS OF BEARINGS

THE EAST LINE OF PARCEL 2, AS SHOWN IN BOOK 53 OF PARCEL MAPS ON PAGE 38 WAS TAKEN AS N24°12'50"E, WAS ESTABLISHED FROM FOUND MONUMENTS AND SERVED AS THE BASIS OF BEARINGS.

FLOOD ZONE

FLOOD ZONE AE, BFE 10.2' NAVD88 ON CURRENT FIRM. BRIDGE SOFFIT TO BE BUILT TO 10.4', THE PROPOSED FEMA BFE.



No.	Date	Revisions

Date: 08/25/2017
 Scale: AS SHOWN
 Design: BL
 Drawn: BL
 Approved: JB
 Job No: 20120200-30
 Drawing Number:
T-1
1 OF 21

DRAWING NAME: P:\2012\120200-30_Haven_Ave\ENG\SHEETS\01_FACTS.dwg
 PLOT DATE: 08-25-17
 PLOTTED BY: Thom

NOTES:

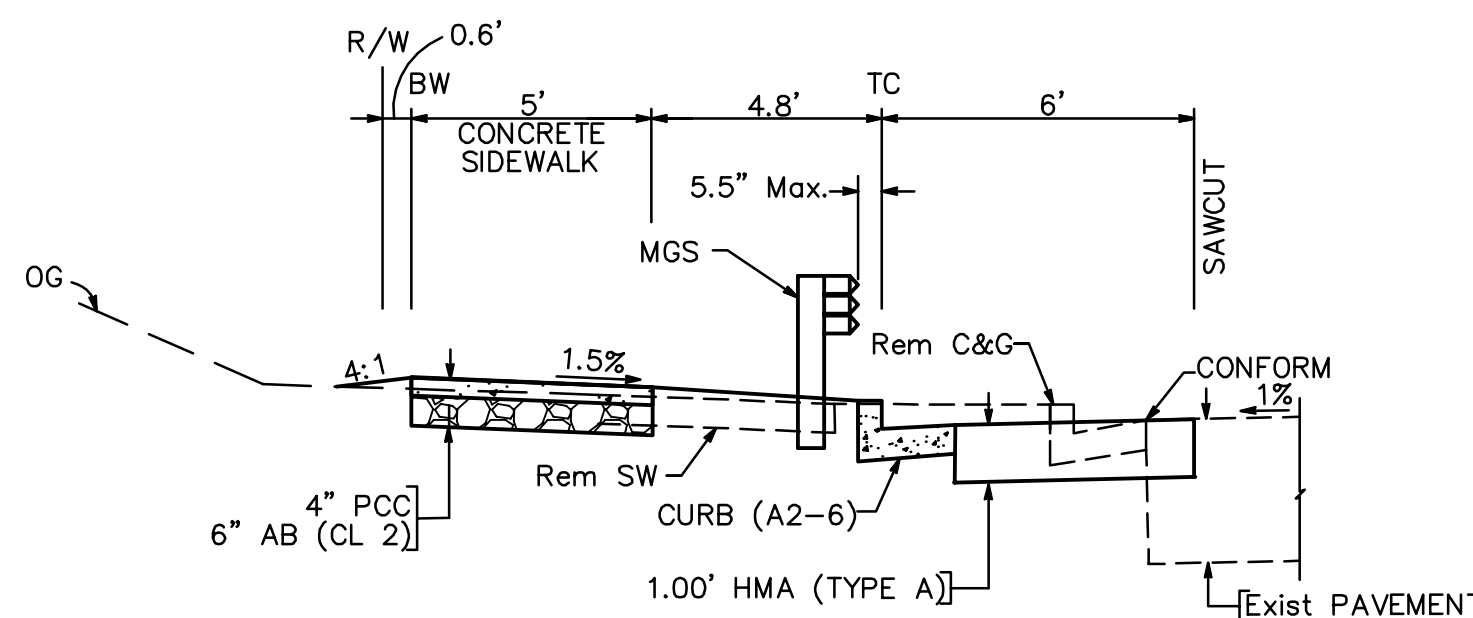
- FOR ACCURATE RIGHT OF WAY DATA, CONTACT RIGHT OF WAY ENGINEERING AT THE DISTRICT OFFICE.
- LINE/CURVE INFORMATION REFERS TO TOP OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONSTRUCT CURB (A2-6) AND DRIVEWAY PER CALTRANS Std PLAN A87A.
- CONSTRUCT DIKE (TYPE A) PER CALTRANS REVISED STANDARD PLAN RSP A87B.
- CONSTRUCT CURB RAMP (TYPE A) PER CALTRANS REVISED STANDARD PLAN RSP A88A.
- CONSTRUCT MGS PER CALTRANS REVISED STANDARD PLANS RSP A77N1, A77N2, A77N3, A77N4, A77P1 AND CALTRANS STANDARD PLAN A77S1.
- CONSTRUCT DRAINAGE INLET (TYPE G2) PER CALTRANS REVISED STANDARD PLAN RSP D73B AND D73C.
- CONSTRUCT STANDARD GRATE (TYPE 24-12X) PER CALTRANS Std PLAN D77B.
- SLURRY SEAL SHALL BE PLACED OVER NEW PAVEMENT AND EXTEND 1' BEYOND SAWCUT LINE PER CITY STANDARD DETAILS ST-9A, ST-9B AND ST-16.
- CONTRACTOR SHALL COORDINATE DRIVEWAY WORK WITH ADJACENT BUSINESS OWNERS AND THE CITY TO MAXIMIZE ACCESS AT ALL TIMES.
- CONTRACTOR SHALL PLANT AND STAKE TREES PER CITY STANDARD DETAIL LS-1.
- FOR PROPOSED TREES, CONTRACTOR MUST SUBMIT ALL TESTS, PRODUCTS, ACCESSORIES, CUT SHEETS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. PLANT MATERIAL NOT APPROVED BY THE ENGINEER MAY BE SUBJECT TO REMOVAL AND REPLACEMENT WITH APPROVED PLANT MATERIAL AT NO ADDITIONAL COST TO THE CONTRACTOR. CONTACT THE CITY FOR FINAL INSPECTION OF LANDSCAPE. THE CITY SHALL CERTIFY THE PLANTING HAS BEEN INSTALLED IN CONFORMANCE WITH CITY STANDARDS.
- CONSTRUCTION PEDESTRIAN BARRICADE TYPE I PER CALTRANS Std PLAN ES-70
- FOR BOLLARD DETAIL, SEE STRUCTURAL SHEETS. CONTRACTOR SHALL PROHIBIT VEHICLES FROM DRIVING ON THE BRIDGE PRIOR TO PLACEMENT OF THE BOLLARD.

CURVE TABLE

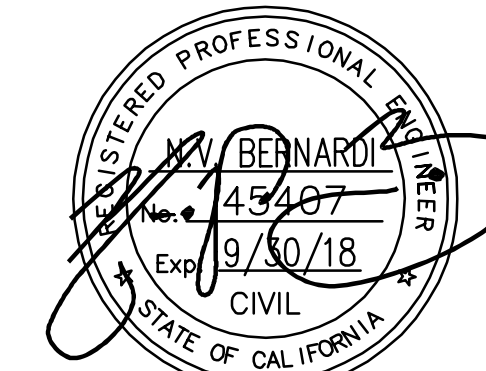
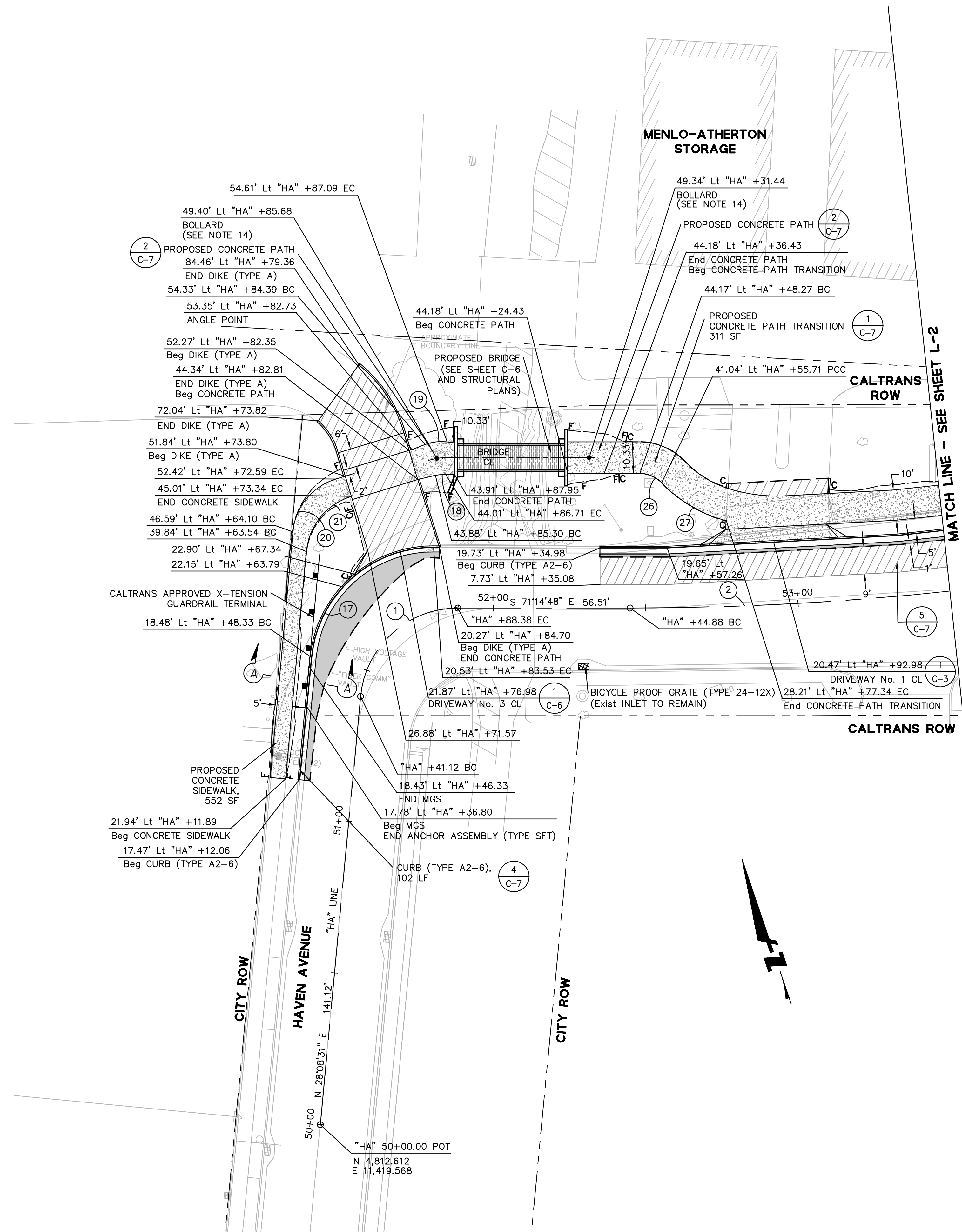
No.	R	Δ	T	L	N - COORDINATE	E - COORDINATE
1	32.00'	84°36'41"	29.12'	47.26'	4,958.605	11,516.776
2	1,000.00'	06°07'02"	53.43'	106.76'	4,940.439	11,570.281
3	1520.00'	03°46'53"	50.18'	100.32'	4,875.826	11,832.456
4	30.00'	36°28'51"	9.89'	19.10'		
5	40.00'	43°36'33"	16.00'	30.44'		
6	5.00'	88°02'48"	4.83'	7.68'		
7	20.00'	90°24'07"	20.14'	31.56'		
8	20.00'	85°41'15"	18.55'	29.91'		
9	30.00'	57°41'14"	16.52'	30.20'		
10	40.00'	26°59'12"	9.598'	18.840'		
11	2.00'	75°33'34"	1.56'	2.64'		
12	2.00'	83°13'39"	1.78'	2.91'		
13	50.00'	06°07'43"	2.68'	5.35'		
14	50.00'	07°41'45"	3.36'	6.72'		
15	50.00'	13°56'32"	6.11'	9.99'		
16	7.00'	71°34'37"	5.05'	8.75'		
17	40.00'	84°39'38"	36.44'	59.10'		
18	14.80'	12°59'08"	1.68'	3.35'		
19	15.00'	28°09'27"	3.76'	7.37'		
20	20.00'	67°49'07"	13.44'	23.67'		
21	20.91'	67°54'31"	14.08'	24.78'		
22	16.00'	16°58'30"	2.39'	4.74'		
23	83.00'	22°53'21"	16.80'	33.16'		
24	43.00'	68°13'37"	29.13'	51.20'		
25	20.00'	49°57'57"	9.32'	17.44'		
26	9.92'	46°36'40"	4.27'	8.07'		
27	44.08'	32°14'24"	12.74'	24.81'		

LEGEND

- 1.00' HMA (TYPE A)
- PCC CURB, CURB AND GUTTER, CURB RAMP, SIDEWALK, DRIVEWAY
- PCC MEDIAN ISLAND PAVING
- 0.2' Min HMA (TYPE A) OVERLAY
- CURVE DATA
- CUT/FILL LINE
- DETAIL DESIGNATION NUMBER
- DETAIL 1 ON SHEET C-5
- PROPOSED TREE
- REMOVABLE BOLLARD



SECTION A-A
NO SCALE



BKF ENGINEERS
4670 WILLOW ROAD
SUITE 250
PLEASANTON, CA 94588
925-396-7700
925-396-7799 (FAX)

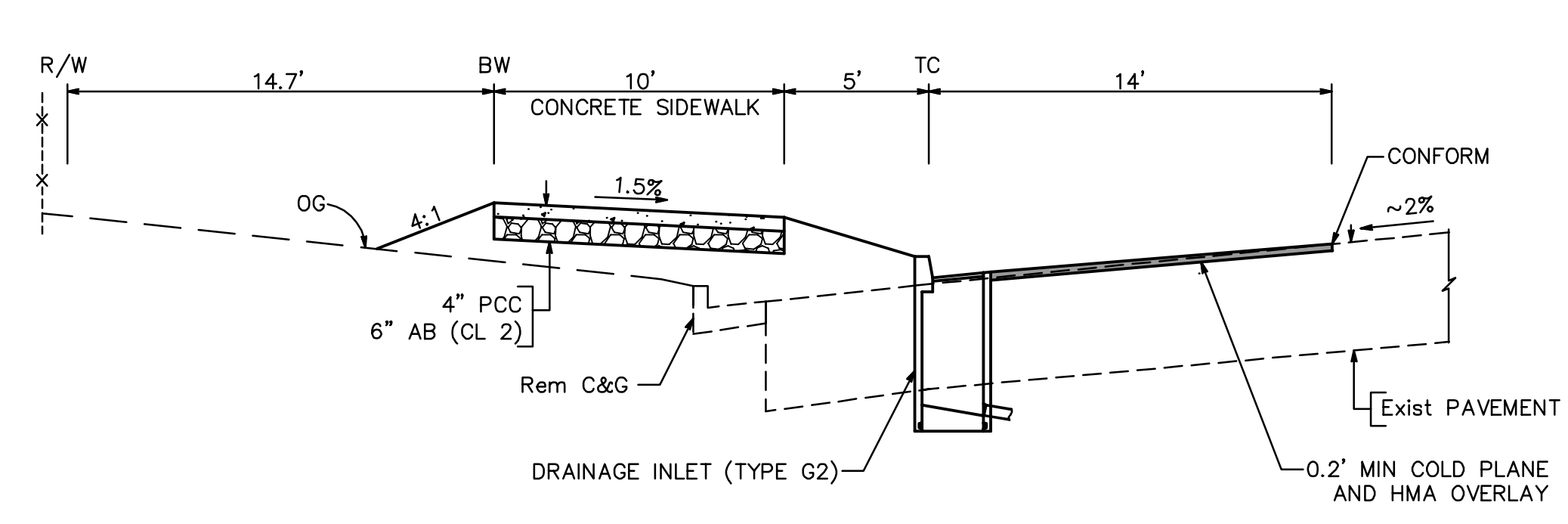
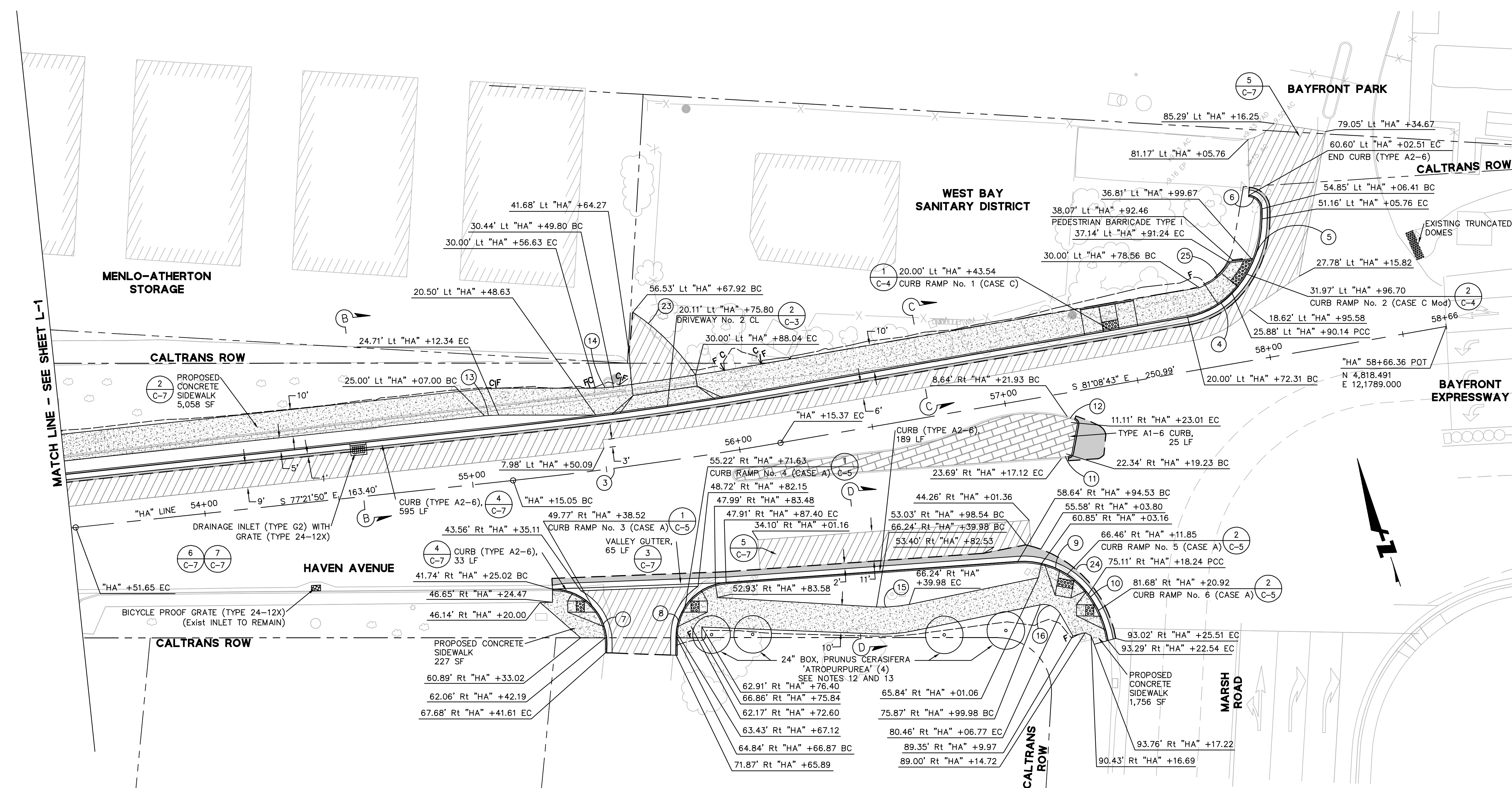
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CALIFORNIA
**HAVEN AVENUE AT MARSH ROAD
ROADWAY IMPROVEMENTS PROJECT
LAYOUT PLAN**
SAN MATEO COUNTY
MENLO PARK

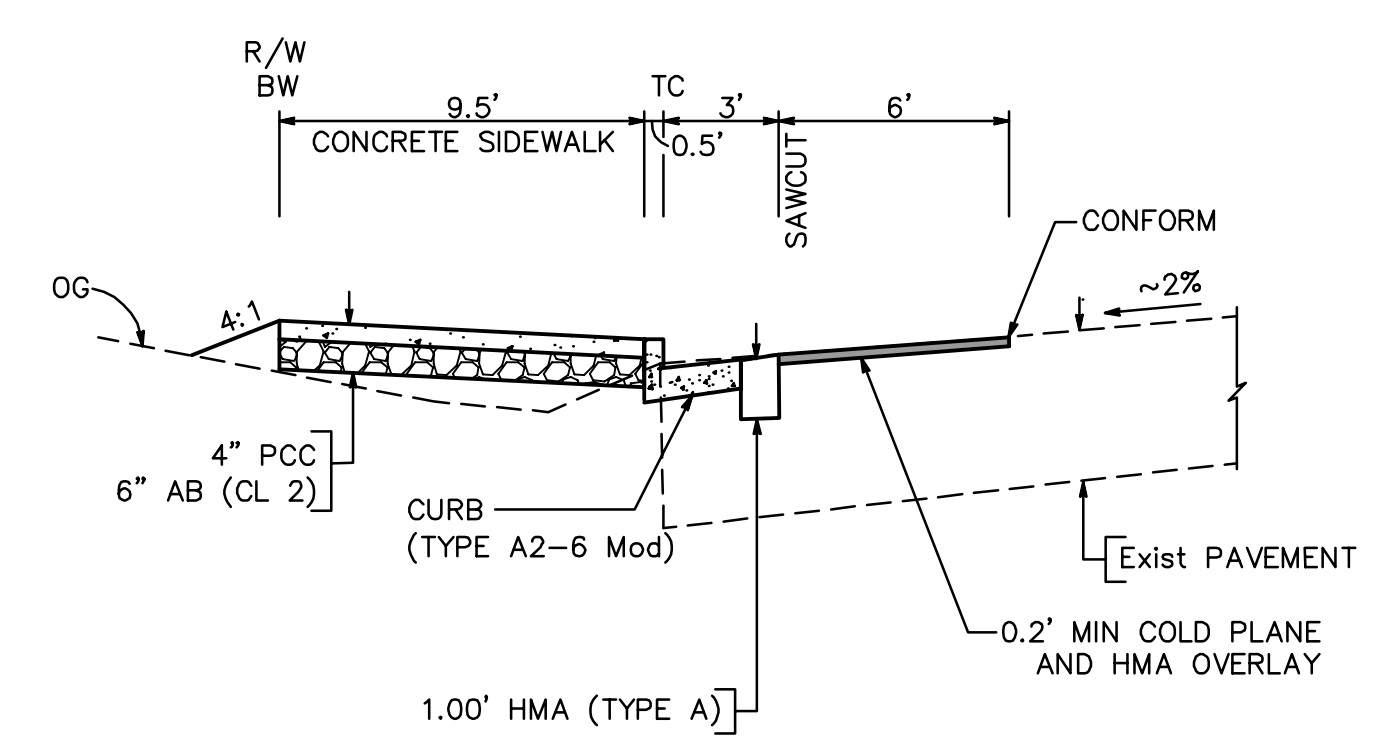
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Scale	1"=20'	Design	BL
Drawn	BL	Approved	JB
Job No	20120200-30	Drawing Number	L-1
Page 18		4 OF 21	

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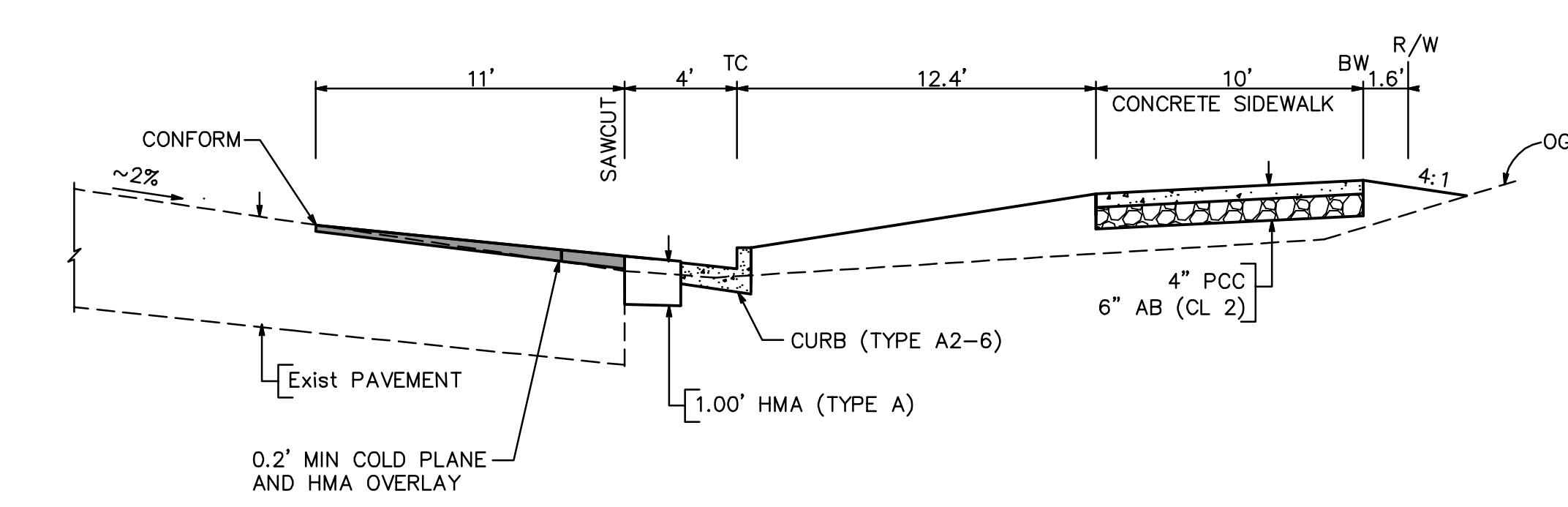
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 PLOT DATE: 08-25-17 PLOTTED BY: thom



SECTION B-B
NO SCALE

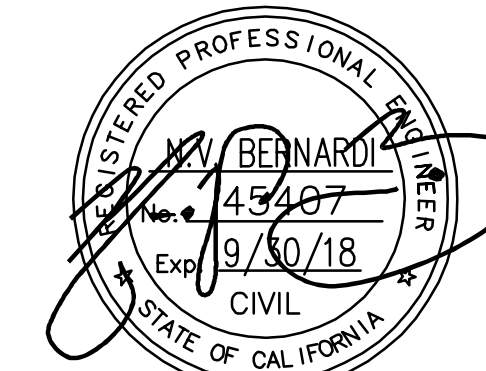


SECTION C-C
NO SCALE



SECTION D-D
NO SCALE

FOR NOTES, CURVE DATA AND LEGEND, SEE SHEET L-1



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 4670 WILLOW ROAD SUITE 250 PLEASANTON, CA 94588
 925-396-7700 925-396-7799 (FAX)

CALIFORNIA
 SAN MATEO COUNTY
 MENLO PARK

HAVEN AVENUE AT MARSH ROAD
ROADWAY IMPROVEMENTS PROJECT
LAYOUT PLAN

No.	Revisions

Date: 08/25/2017
 Scale: 1"=20'
 Design: BL
 Drawn: BL
 Approved: JB
 Job No: 20120200-30
 Drawing Number: **L-2**
5 OF **21**

© BKF Engineers

Duplicate Original 11/10/14

Bond No. 9147172Premium \$4,223.00**FAITHFUL PERFORMANCE BOND**

WHEREAS, the CITY OF MENLO PARK, a municipal corporation of the State of California ("City"), and Anton Menlo, LLC, a California limited liability company, as principal ("Principal") have entered into an agreement entitled **REIMBURSEMENT AGREEMENT, HAVEN AVENUE**, incorporated herein by reference and referred to as the "Contract," which requires Principal to install and complete certain designated public improvements; and,

WHEREAS, under the terms of the Contract, Principal is required to furnish a bond to City for faithful performance of **Section** .

NOW, THEREFORE, we the Principal and Fidelity and Deposit Company of Maryland a corporation duly authorized and admitted to transact business and issue surety bonds in the State of California ("Surety"), are held firmly bound unto the City in the sum of **Four Hundred Sixty Nine Thousand One Hundred Eighty Six Dollars (\$469,186.00)**, for the payment of which sum well and truly to be made, we the Principal and Surety bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally.

The condition of this obligation is such that, if the Principal, Principal's heirs, executors, administrators, successors, or assigns shall in all things stand to and abide by, and well and truly keep and perform all covenants, conditions, and agreements required to be kept and performed by Principal in the Contract and any changes, additions, or alterations made thereto, to be kept and performed at the time and in the manner therein specified, and in all respects according to their true intent and meanings, and shall indemnify and save harmless City, its officers, employees, and agents, as therein provided, then this obligation shall be null and void; otherwise, it shall be and remain in full force and effect.

As a part of the obligation secured hereby and in addition to the sum specified above, there shall be included all costs, expenses, and fees, including attorney's fees, reasonably

incurred by City in successfully enforcing such obligation, all to be taxed as costs and included in any judgment rendered.

The Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration, or addition to the terms of the Contract or to the work to be performed thereunder or to the specifications accompanying the same shall in any way affect its obligations on this bond, and it does hereby waive notice of any such change, extension, alteration, or addition.

IN WITNESS WHEREOF, this instrument has been duly executed by authorized representatives of the Principal and Surety. SIGNED AND SEALED on January 16, 2014.

PRINCIPAL:

SURETY:

Anton Menlo, LLC, a California limited liability company
(Principal name) (Seal)

Fidelity and Deposit Company of Maryland
(Surety name)

BY: 
(Signature)

BY: David Weise
(Signature)

Pete Geremia, Manager
(Print name and title)

David Weise, Attorney-In-Fact
(Print name and title)

Principal address and telephone:

Surety address and telephone:

1801 I Street, Suite 200
Sacramento, CA 95811
(916) 444-9897

1400 American Lane
Schaumburg, IL 60196
(208) 346-2615

Affix Corporate Seals
Attach Notary Acknowledgments for All Signatures
Attach Power-of-Attorney if executed by Attorney-in-Fact

ACKNOWLEDGMENT

State of California
County of Sacramento)

On 1/16/14 before me, Tina S. Salas, Notary Public
(insert name and title of the officer)

personally appeared David Weise
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature *Tina S. Salas*

(Seal)



**ZURICH AMERICAN INSURANCE COMPANY
COLONIAL AMERICAN CASUALTY AND SURETY COMPANY
FIDELITY AND DEPOSIT COMPANY OF MARYLAND
POWER OF ATTORNEY**

KNOW ALL MEN BY THESE PRESENTS: That the ZURICH AMERICAN INSURANCE COMPANY, a corporation of the State of New York, the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, a corporation of the State of Maryland, and the FIDELITY AND DEPOSIT COMPANY OF MARYLAND a corporation of the State of Maryland (herein collectively called the "Companies"), by THOMAS O. MCCLELLAN, Vice President, in pursuance of authority granted by Article V, Section 8, of the By-Laws of said Companies, which are set forth on the reverse side hereof and are hereby certified to be in full force and effect on the date hereof, do hereby nominate, constitute, and appoint David WEISE, Thomas R. HUCIK, Rosalie A. MISZKIEL, Nicki MOON, Tina SALAS and Lynn Ellen PATTON, all of Rancho Cordova, California, EACH its true and lawful agent and Attorney-in-Fact, to make, execute, seal and deliver, for, and on its behalf as surety, and as its act and deed: any and all bonds and undertakings, and the execution of such bonds or undertakings in pursuance of these presents, shall be as binding upon said Companies, as fully and amply, to all intents and purposes, as if they had been duly executed and acknowledged by the regularly elected officers of the ZURICH AMERICAN INSURANCE COMPANY at its office in New York, New York., the regularly elected officers of the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY at its office in Owings Mills, Maryland., and the regularly elected officers of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND at its office in Owings Mills, Maryland., in their own proper persons.

The said Vice President does hereby certify that the extract set forth on the reverse side hereof is a true copy of Article V, Section 8, of the By-Laws of said Companies, and is now in force.

IN WITNESS WHEREOF, the said Vice-President has hereunto subscribed his/her names and affixed the Corporate Seals of the said ZURICH AMERICAN INSURANCE COMPANY, COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, and FIDELITY AND DEPOSIT COMPANY OF MARYLAND, this 17th day of April, A.D. 2013.

ATTEST:

**ZURICH AMERICAN INSURANCE COMPANY
COLONIAL AMERICAN CASUALTY AND SURETY COMPANY
FIDELITY AND DEPOSIT COMPANY OF MARYLAND**



By: Eric D. Barnes
Eric D. Barnes
Assistant Secretary
Eric D. Barnes

Thomas O. McClellan
Thomas O. McClellan
Vice President
Thomas O. McClellan

State of Maryland
City of Baltimore

On this 17th day of April, A.D. 2013, before the subscriber, a Notary Public of the State of Maryland, duly commissioned and qualified, THOMAS O. MCCLELLAN, Vice President, and ERIC D. BARNES, Assistant Secretary, of the Companies, to me personally known to be the individuals and officers described in and who executed the preceding instrument, and acknowledged the execution of same, and being by me duly sworn, depose and saith, that he/she is the said officer of the Company aforesaid, and that the seals affixed to the preceding instrument are the Corporate Seals of said Companies, and that the said Corporate Seals and the signature as such officer were duly affixed and subscribed to the said instrument by the authority and direction of the said Corporations.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Official Seal the day and year first above written.

Maria D. Adamski
Maria D. Adamski

Maria D. Adamski, Notary Public
My Commission Expires: July 8, 2015



CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

State of California

County of Sacramento

On 11/13/14 before me, Kristine Hamblin Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Peter Geremia
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature: Kristine Hamblin
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____ Signer's Name: _____

Corporate Officer — Title(s): _____ Corporate Officer — Title(s): _____

Individual Individual

Partner — Limited General Partner — Limited General

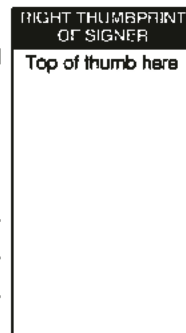
Attorney in Fact Attorney in Fact

Trustee Trustee

Guardian or Conservator Guardian or Conservator

Other: _____ Other: _____

Signer Is Representing: _____ Signer Is Representing: _____





STAFF REPORT

City Council

Meeting Date: 2/11/2020
Staff Report Number: 20-006-CC

Consent Calendar: Adopt a resolution changing Menlo Park's Friendship City agreement with Bizen, Japan to a Sister City agreement

Recommendation

Staff recommends that the City Council approve the Sister City Committee's recommendation to adopt a resolution changing Menlo Park's friendship city agreement with Bizen, Japan to a sister city agreement and to authorize the Mayor to sign and execute the agreement.

Policy Issues

The Sister City Committee is primarily charged with promoting goodwill, respect and cooperation by facilitating cultural, educational and economic exchanges. The Committee's priorities are:

- Develop a program plan consisting of projects, exhibits, contacts and exchanges of all types to foster and promote the objectives of the mission statement
- Implement the approved program plan upon request of the City Council
- Keep the community informed concerning the Sister City program
- Advise the City Council on matters pertaining to any sister city affairs
- Perform other duties as may be assigned to the committee by the City Council

City Council Policy CC-19-004 (Attachment A) was adopted in May and outlines the procedures, roles and responsibilities of the City Council-appointed advisory bodies, including the responsibility to provide periodic progress reports to City Council.

Background

On July 21, 2015, then-Mayor Catherine Carlton signed a cultural exchange friendship agreement with Takeshi Yoshimura, then-Mayor of Bizen, Japan. That was two years after Menlo Park signed its first friendship city agreement with Galway, Ireland. The Galway, Ireland friendship agreement was upgraded to full sister city status in November 2015, during the same City Council action that established the Sister City Committee and directed the city's ongoing membership and participation in Sister Cities International.

The friendship agreement with Bizen, Japan has been in place for nearly five years and resulted in multiple visits of representatives from Bizen to Menlo Park and of representatives of Menlo Park to Bizen. As a result of the strengthening relationship, the Bizen local government has taken action to further solidify the relationship with the City of Menlo Park to a sister city relationship. At its November 2019 meeting, the Sister City Committee voted to recommend to the City Council that Menlo Park reciprocate and authorize the Mayor to sign a sister city agreement with Bizen, Japan.

Analysis

The City Council previously upgraded the relationship with Galway, Ireland after two years. The relationship with Bizen, Japan is now approaching its fifth anniversary and has continued to grow stronger each year. Over two dozen Menlo Park students from across the city have had the opportunity to travel to Japan and enjoy learning about the Japanese school system, local economy, history, traditions and customs. They have also benefited greatly from the opportunity to experience daily life in Japan while staying with a Japanese host family.

Menlo Park has also hosted nearly two dozen Japanese students in Menlo Park, providing local Menlo Park families and their children the chance to interact with the Bizen delegates in a less formal setting. Each year the itinerary has evolved to provide a more well-rounded experience for the Japanese students who have had the opportunity to visit several Menlo Park schools, including Hillview Middle School and Menlo School, Facebook headquarters, Stanford University and local Bay Area attractions.

The Sister City Committee has worked, and continues to work, to expand the impact of its programs throughout the Menlo Park community. Each application period for the students interested in traveling to Bizen has yielded a more diverse applicant pool than the time before. Each visit to Menlo Park by Bizen students has expanded to include opportunities for more Menlo Park residents to interact with our visitors and build the mutual understanding, curiosity and sense that we all belong and benefit from dialogue and cultural exchange.

There are no additional costs or staff time needed with this proposed change from friendship city status to sister city status. It is an affirmation of our commitment to further develop and strengthen the bonds between our two cities.

Impact on City Resources

The Sister City program has an annual budget of \$15,000. This provides for expenses related to delegation visits (transportation, meals, admission fees, etc.), Sister City Committee operations and ceremonial gifts. The budget does not currently provide for any travel expenses and any requests for travel expenses or costs above the \$15,000 budget would be subject to City Council approval.

Environmental Review

This action is not a project within the meaning of the California Environmental Quality Act (CEQA) Guidelines §§ 15378 and 15061(b)(3) as it will not result in any direct or indirect physical change in the environment.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

A. Resolution No. 6542

Report prepared by:
Clay J. Curtin, Public Engagement Manager

RESOLUTION NO. 6542

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MENLO PARK
CHANGING MENLO PARK'S FRIENDSHIP CITY AGREEMENT WITH BIZEN, JAPAN
TO A SISTER CITY AGREEMENT**

WHEREAS, Sister Cities International is a nonpartisan 501(c)(3) nonprofit that serves as the national membership organization for individual sister cities, counties, and states across the U.S.; and

WHEREAS, in November 2015, the City Council adopted a resolution calling for Menlo Park to join Sister Cities International and to establish a Sister City Committee to help maintain and provide direction for the Menlo Park Sister City Program; and

WHEREAS, the City of Menlo Park and Bizen, Japan entered into a friendship city agreement on July 21, 2015, with the goal of furthering mutual understanding and friendship between the two communities; and

WHEREAS, the two cities have had a successful biennial student exchange program resulting in student delegations visiting each city in alternating years to experience the culture of the other country, daily life with a host family and building lasting relationships through the program; and

NOW, THEREFORE BE IT RESOLVED, that the City of Menlo Park, acting by and through its City Council, having considered and been fully advised in the matter and good cause appearing therefore do hereby direct staff to develop a sister city agreement with Bizen, Japan and authorize the Mayor to sign and execute the agreement.

I, Judi Herren, City Clerk of Menlo Park, do hereby certify that the above and foregoing City Council resolution was duly and regularly passed and adopted at a meeting by said City Council on the eleventh day of February 2020, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this eleventh day of February 2020.

Judi A. Herren, City Clerk

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**STAFF REPORT****City Council**

Meeting Date: 2/11/2020
Staff Report Number: 20-024-CC

Consent Calendar: **Approve staggering term expiration dates for Sister City Committee**

Recommendation

Staff recommends approving new staggered-term expiration dates for the Sister City Committee (SCC.) Although the SCC terms are typically four-year appointments, in order to stagger the future expiration dates, the following are recommend for April 2020 appointments only:

- One public member term expiring April 30, 2021
- Two public member terms expiring April 30, 2022
- Two public member terms expiring April 30, 2024

Table 1 outlines the transition period.

Policy Issues

The City Council establishes advisory bodies and makes all appointments to advisory bodies. All members serve at the pleasure of the City Council for designated terms. Currently all advisory bodies, with the exception of the SCC, have staggered terms to avoid all terms expiring simultaneously and annual appointments.

Background

The SCC advises the City Council on sister city and friendship city relations and related programming and meets quarterly. The Committee is comprised of five members of the public who regularly serve four-year terms and two city councilmembers who are appointed annually during the City Council reorganization. Currently, the five public members' terms are all scheduled to expire April 30. Annual recruitment for all city commissions and committees is open until April 3.

Analysis

To avoid concurrent vacancies on the SCC, staff recommends a phase-in of staggered terms for public members similar to other advisory bodies. The recommendations allow for four-year staggered terms with a transition period:

Table 1: Recommended terms		
Appointment to SSC	No. of seats	Term expires
April 2020	1	April 2021
April 2020	2	April 2022
April 2020	2	April 2024
April 2021	1	April 2025
April 2022	2	April 2026
April 2024	2	April 2028
April 2025	1	April 2029
April 2026	2	April 2030
April 2028	2	April 2032
April 2029	1	April 2033
April 2030	2	April 2034
April 3032	2	April 2036

Impact on City Resources

There is no impact on City resources associated with this action outside of any associated membership dues, meeting related expenses, and/or staff assistance required and budgeted.

Environmental Review

This action is not a project within the meaning of the California Environmental Quality Act (CEQA) Guidelines §§ 15378 and 15061(b)(3) as it will not result in any direct or indirect physical change in the environment.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Report prepared by:
Judi A. Herren, City Clerk

Approved by:
Nick Pegueros, Assistant City Manager



STAFF REPORT

City Council

Meeting Date: 2/11/2020

Staff Report Number: 20-030-CC

Consent Calendar:

Adopt Resolution No. 6541 initiating the Menlo Park landscape assessment district proceedings for fiscal year 2020-21

Recommendation

Staff recommends that the City Council initiate the Menlo Park landscape assessment district proceedings for fiscal year 2020-21 and adopt Resolution No. 6541 (Attachment A) describing the improvements and directing preparation of the engineer's report.

Policy Issues

The recommendation does not represent any change to existing City policy. Pursuant to the provisions of the Landscaping and Lighting Act of 1972, Part 2, Division 15 of the Streets and Highways Code of the State of California and Proposition 218, the City Council conducted proceedings for the formation of the City of Menlo Park landscape assessment district. The landscape assessment district requires an annual review of the levied assessment.

Background

In 1982, the Menlo Park voters approved Measure N, an advisory measure for the City forming an assessment district to care for the City's street tree infrastructure. The Menlo Park landscape assessment district was subsequently formed in 1983.

Prior to 1990, property owners were responsible for all sidewalk and parking strip repair damaged by City street trees. In some cases, the lump-sum cost of removing and replacing the damaged public infrastructure was a financial burden. Thus, in 1990, an additional assessment was established and combined with the landscape assessment district to fund the repair of sidewalks and parking strips damaged by City trees. Financing through an assessment, to be levied on an annual basis, was determined to be more cost-effective and less burdensome to property owners than a large lump-sum payment. Sidewalk and parking strip damage that is not caused by City street trees is the responsibility of property owners per Chapter 13.08 of the Municipal Code.

In FY 1998-99, the City reauthorized the landscape assessment district through a mailed ballot, as required by Proposition 218. Each year, the City goes through a process to approve the levying of annual landscape assessment district fees. The attached resolution is the first step in the process to establish assessments for the coming fiscal year.

Analysis

Landscape assessment district scope of work

The scope of work for the landscape assessment district is not proposed to change from the fiscal year 2019-20 program and includes the following:

- Maintaining and servicing of City street trees, including the cost of repair, removal, or replacement of all or any part thereof
- Providing for the life, growth, health and beauty of City landscaping, including cultivation, trimming, spraying, fertilizing, or treating for disease or injury
- Removing trimmings, rubbish, debris and other solid waste, and providing water for the irrigation thereof
- Installing or constructing, including the maintenance and servicing thereof, curbs, gutters, sidewalks, and parking strips damaged by City street trees

Assessment engineer

The first step in the annual landscape assessment district proceedings is the preparation of the Engineer’s Report. Staff has selected SCI Consulting Group to complete the engineering work for the FY 2020-21 report. The firm has extensive background and knowledge of the City’s landscape assessment district, a successful track record with the City preparing the engineer’s report since 1998, and experience with proposition 218 requirements. the scope of services includes identification and verification of parcels within the district, allocation of the estimated cost of improvements and expenses to said parcels, determination of assessment amounts, preparation of assessment rolls, developing the engineer’s report, facilitating assessment proceedings and general project administration.

Table 1: Schedule for assessment

Date	Tasks
February 11	City Council initiates the landscape assessment district proceedings and adopts a resolution describing the improvements and directing preparation of the engineer’s report.
May 2020	Completion and filing of the engineer’s report.
May 2020	City Council adopts 1) a resolution giving preliminary approval of the engineer’s report, and 2) a resolution of intention to order the levy and collection of the annual assessment and scheduling of the public hearing.
June 2020	City Council holds a public hearing to consider adoption of a resolution overruling protests, ordering improvements, confirming the assessment diagram, and ordering the levy and collection of assessments.
July 2020	Submittal of assessments to the County Assessor’s Office.
October 2020	City review and confirmation of final levies to be collected by the County.
January 2021	Verification of assessment receipts, levies and delinquencies.

The City maintains a map of sidewalk repair locations and information about how to report a section in need of repair at the link (Attachment B.)

It is anticipated that the assessment may need to be increased by 5 percent or more to keep pace with rising costs of service agreements.

Impact on City Resources

The cost of the assessment engineering services and preparation of the Engineer's Report is \$10,845. There are sufficient funds in the landscape assessment district budget to fund this expense.

Environmental Review

This action is not a project within the meaning of the California Environmental Quality Act (CEQA) Guidelines §§ 15378 and 15061(b)(3) as it will not result in any direct or indirect physical change in the environment."

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

- A. Resolution No. 6541
- B. Hyperlink – sidewalk repair program website: menlopark.org/1616/Sidewalk-repair-program

Report prepared by:
Rambod Hakhamaneshi, Associate Civil Engineer

Report reviewed by:
Nikki Nagaya, Interim Public Works Director

RESOLUTION NO. 6541**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MENLO PARK
DESCRIBING IMPROVEMENTS AND DIRECTING PREPARATION OF THE
ENGINEER'S REPORT FOR THE CITY OF MENLO PARK LANDSCAPE
ASSESSMENT DISTRICT FOR FISCAL YEAR 2020-21**

WHEREAS, in 1982, the Menlo Park citizens voted for Measure N, an advisory measure for the City to form an assessment district to care for the City's street tree infrastructure and the Menlo Park Landscape Assessment District was subsequently formed in 1983; and,

WHEREAS, prior to 1990, property owners were responsible for all sidewalk and parking strip repair damaged by City street trees; and,

WHEREAS, in Fiscal Year 1990, an additional assessment was established and combined with the Landscape Assessment District to fund the repair of sidewalks and parking strips damaged by City trees; and,

WHEREAS, in Fiscal Year 1998-99, City reauthorized the Landscape Assessment District through a mailed ballot, as required by Proposition 218.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of Menlo Park

1. This City Council did, pursuant to the provisions of the Landscaping and Lighting Act of 1972, Part 2, Division 15 of the Streets and Highways Code of the State of California, conduct proceedings for the formation of the City of Menlo Park Landscaping District and for the levy and collection of assessments for Fiscal Year 1983-84, and did, on May 10, 1983, pursuant to proceedings duly had, adopt its Resolution No. 3417-F, A Resolution Overruling Protests and Ordering the Formation of an Assessment District and the Improvements and Confirming the Diagram and Assessment.
2. The public interest, convenience, and necessity require, and it is the intention of said City Council to undertake proceedings for, the levy and collection of assessments upon the several lots or parcels of land in said District for the construction or installation of improvements, including the maintenance or servicing, or both, thereof for the Fiscal Year 2020-21.
3. The improvements to be constructed or installed include the maintenance and servicing of street trees, the cost of repair, removal, or replacement of all or any part thereof, providing for the life, growth, health and beauty of public landscaping, including cultivation, trimming, spraying, fertilizing, or treating for disease or injury, the removal of trimmings, rubbish, debris, and other solid waste, and water for the irrigation thereof, and the installation or construction, including the maintenance and servicing thereof, of curbs, gutters, sidewalks, and parking strips.
4. The costs and expenses of said improvements, including the maintenance or servicing, or both, thereof, are to be made chargeable upon said District, the exterior boundaries of which District are the composite and consolidated area as more particularly shown on a map (Exhibit A) thereof on file in the office of the Engineering Division of the City of Menlo Park to which reference is hereby made for further particulars. Said map indicates by a boundary line the extent of the territory included in said District and of any zone thereof and shall govern for all details as to the extent of the assessment district.
5. The Assessment Engineer is hereby directed to prepare and file with said City Clerk a report, in writing, referring to the assessment district by its distinctive designation, specifying

the fiscal year to which the report applies, and, with respect to that year, presenting the following:

- a. Plans and specifications of the existing improvements and for proposed new improvements, if any, to be made within the assessment district or within any zone thereof;
 - b. An estimate of the costs of said proposed new improvements, if any, to be made, the costs of maintenance or servicing, or both, thereof, and of any existing improvements, together with the incidental expenses in connection therewith;
 - c. A diagram showing the exterior boundaries of the assessment district and of any zones within said district and the lines and dimensions of each lot or parcel of land within the district as such lot or parcel of land is shown on the County Assessor's map for the fiscal year to which the report applies, each of which lots or parcels of land shall be identified by a distinctive number or letter on said diagram; and
 - d. A proposed continued assessment of the total amount of the estimated costs and expenses of the proposed new improvements, including the maintenance or servicing, or both, thereof, and of any existing improvements upon the several lots or parcels of land in said district in proportion to the estimated benefits to be received by such lots or parcels of land respectively from said improvements, including the maintenance or servicing, or both, thereof, and of the expenses incidental thereto.
6. The Office of the Public Works Director of said City is hereby, designated as the office to answer inquiries regarding any protest proceedings to be had herein, and may be contacted during regular office hours at City Hall, 701 Laurel St., Menlo Park, CA 94025, or by calling 650-330-6740

I, Judi A. Herren, City Clerk of Menlo Park, do hereby certify that the above and foregoing City Council Resolution was duly and regularly passed and adopted at a meeting by said City Council on the eleventh day of February, 2020, by the following votes:

AYES:

NOES:

ABSENT:

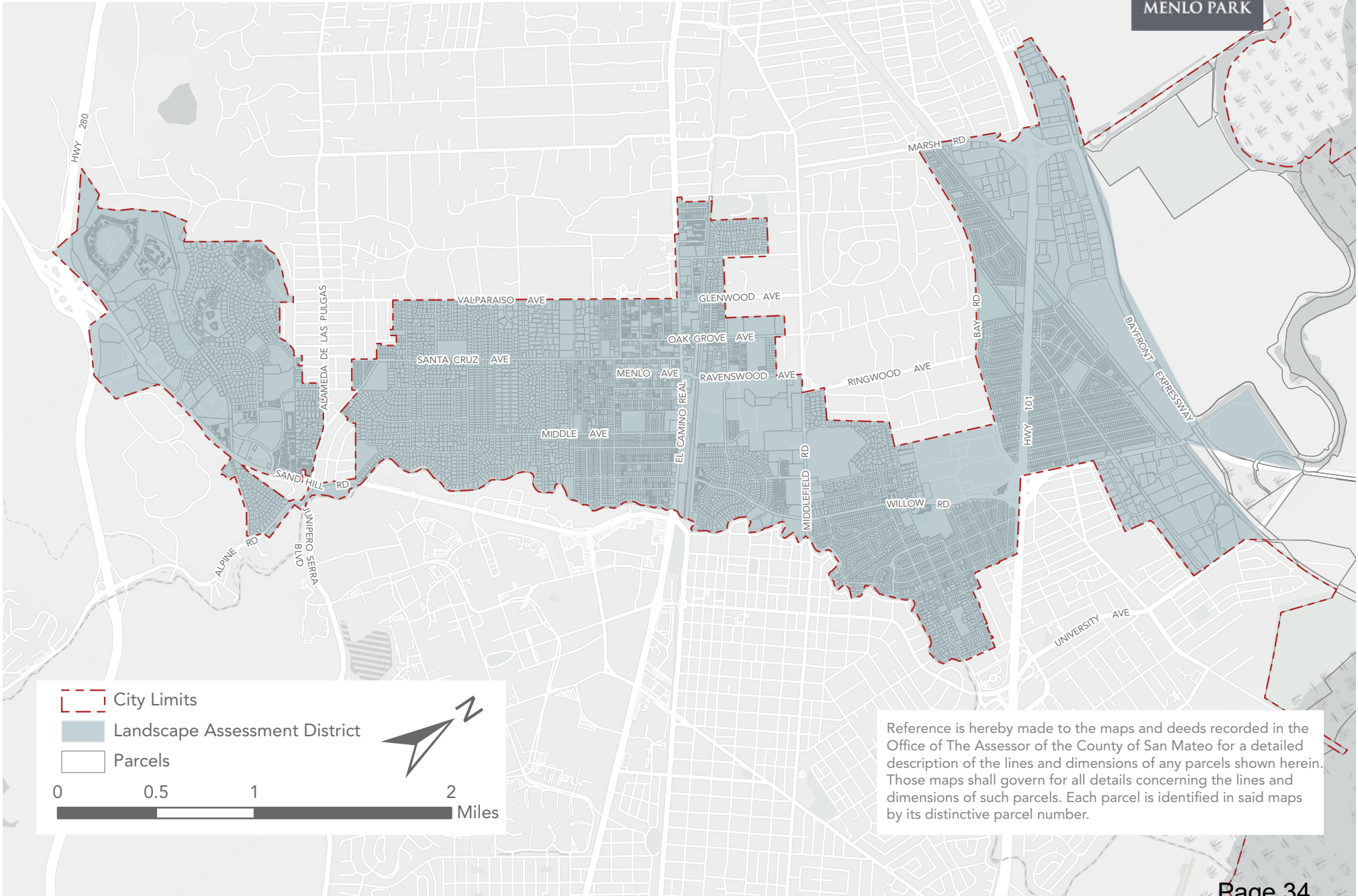
ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this eleventh day of February, 2020.

Judi A. Herren, City Clerk



Landscape Assessment District





STAFF REPORT – AMENDED

City Council

Meeting Date: 2/11/2020
Staff Report Number: 20-029-CC

Public Hearing: **Adopt Resolution No. 6540 to approve a conditional development permit amendment for a 240-room hotel and to reduce the associated required number of parking spaces at 301 Constitution Drive (citizenM Hotel)**

Recommendation

The Planning Commission and staff recommend that the City Council make the necessary findings and adopt Resolution No 6540 (Attachment A) to approve modifications to the existing conditional development permit to increase the allowable number of hotel rooms from 200 to 240 rooms and to reduce the required number of parking spaces from 245 to 118 spaces (referred to herein as the proposed project.) The proposed project is part of the Facebook campus expansion project located at 301 Constitution Drive. Exhibit A to Attachment A includes the third amended and restated Conditional development permit (amendment,) which includes modifications to allow the proposed project.

As part of its review, the City Council should consider the second addendum to the environmental impact report (EIR) which analyzes the proposed project for consistency with the Facebook campus expansion project EIR that was certified in November 2016. The first addendum to the EIR was prepared in 2017 regarding the modifications to the site plan and project timing for Building 22. The second addendum determined that the proposed project would not result in greater impacts than were identified in the certified EIR. No action is required on the second addendum, but the document should be used in the City Council's evaluation of the proposed project. The second addendum is discussed in more detail in environmental review section of this report.

Policy Issues

The proposed project to amend the second amended and restated conditional development permit to increase the approved number of hotel rooms from 200 to 240 rooms, decrease the number of on-site parking spaces for the hotel use from 245 to 118 parking spaces, and review the design of the hotel requires the City Council to consider the merits of the proposed project, including consistency with the City's general plan, Municipal Code and other adopted goals, policies and programs. The City Council is the final decision maker.

Background

Site location

The proposed project would be located on the Facebook west campus (referred to herein as the Project

Site), which would ultimately contain Facebook Buildings 20, 21, 22, 23 and the hotel when build out is complete. The proposed project would be located at 301 Constitution Drive in the northwestern corner of the Project Site (referred to herein as the Hotel Site.) The applicant may request an address change during the building permit review process if desired. The final project addressing would be subject to the fire district and building division review and approval. The Project Site extends along the southern side of Bayfront Expressway between Chilco Street along the western and southern edges of the Project Site and Willow Road along the eastern edge of the Project Site. Bayfront Expressway and the former salt ponds that are part of a current restoration project are located to the north of the Project Site. An exhibit which identifies the locations of each building on the Project Site is included on sheet G02.101 of the project plans (Attachment C.)

To the west of the Hotel Site and across Chilco Street are commercial and industrial uses within the O-H (office hotel) zoning district, including the Facebook occupied buildings at 180-200 and 220 Jefferson Drive. That site includes the Facebook Chilco campus transit center, which is under construction and includes a centralized shuttle and tram pickup/drop-off location to serve employees in Facebook occupied buildings along Jefferson Drive and the western portion of the Facebook West Campus. To the east of the Hotel Site is Facebook Building 22 and its parking structure that are both currently under construction. Directly to the south is Facebook Building 23 and further south, across the Dumbarton Rail corridor and Chilco Street, are single-family residences (R-1-U zoning district), the Onetta Harris Community Center and Menlo Park Senior Center, Beechwood School, and Menlo Park Fire Protection District Station 77. A location map identifying the entire Facebook West Campus is included as Attachment B.

Project description

The applicant, citizenM Hotels, submitted an application to amend the second amended and restated conditional development permit (herein after referred to as the CDP) for the Facebook campus expansion project and conduct the associated environmental review for a proposed 240-room limited service hotel. The proposed hotel would be owned and operated by citizenM Hotels with a 99-year ground lease with Facebook. The site would also contain an approximately 5,000-square foot full-service restaurant that is anticipated to be operated by an independent third party. The applicant has submitted a project description letter (Attachment D) that describes the proposed modifications and overall project proposal in more detail and project plans (Attachment C.) The proposed project includes the following modifications from the previously approved CDP:

- Increase the number of approved hotel rooms from 200 to 240 rooms;
- Reduce the required hotel parking from 245 to 118 spaces; and
- Design review approval process for the large-scale exterior artwork.

The proposed project would comply with the maximum floor area ratio (FAR), building coverage, and height established in the CDP. Because the proposed project would reduce the overall FAR, maximum hotel height and hotel parking ratio, the CDP would be amended to reflect the proposed new development regulations. The table below identifies the CDP development standards and the proposed modifications to the CDP for the proposed project.

Table 2: Development standards comparison			
Development standard	Approved CDP (Hotel)	Proposed project	Difference (+/-)
Height	75'	61' 9"*	-13' 3"
Gross floor area	174,800 square feet**	90,243 square feet	-84,557 square feet
Hotel rooms	200 rooms	240 rooms	+40 rooms
Parking spaces	245 spaces	118*** spaces	-127 spaces
Parking ratio	1.2 per hotel room	0.5 spaces per hotel room	-.7 spaces per hotel room

*Does not include the mechanical parapet and elevator/stair penthouse height.

** The CDP allows up the 10 percent FAR (or 350,404 square feet) of the site to be for the hotel/non-office uses, 174,800 square feet of GFA was estimated to be provided for hotel in the CDP.

***Does not include approximately 127 shared parking spaces in the Facebook parking garage.

The proposed project would not result in any changes to the recorded below market rate (BMR) agreement for the entire Facebook campus expansion project. However, the total BMR requirement for the Project Site would be slightly reduced since the total square footage of the proposed project would decrease. The development agreement (DA) is not proposed to be modified as part of the proposed project.

Previous Planning Commission review

On July 22, 2019, the Planning Commission conducted a study session for the proposed project. The Planning Commission provided feedback to prioritize hiring staff from the local community, consider exploring additional screening or sun shading options, and make the modular building construction less obvious. The Planning Commission also expressed general support for the modular building design, compatibility with the rest of the Project Site, public artwork and the shared parking agreement.

Subsequently, the applicant made refinements to the plans to address the Commission’s comments including meeting with a local workforce training organization JobTrain regarding hotel staffing, indicating that they are committed to community engagement for selecting the public artwork, and using programmable sun shading in the hotel rooms.

On January 13, the Planning Commission voted (7-0) to recommend the City Council approve the modifications to the CDP and requested that prior to the City Council hearing the applicant provide a rendering with landscaping of the Bayfront Expressway elevation and explore ways to emphasize the driveway and lobby entrances. The January 13 Planning Commission staff report is available via hyperlink at Attachment E and the draft minutes are included as Attachment F.

Changes since the Planning Commission review

Since the Planning Commission meeting, staff has revised the CDP amendment from an amendment to the second amended and restated CDP to a third amended and restated CDP. The content of the amendment remains relatively the same as what was reviewed at the January 13 Planning Commission meeting with some minor clarifications; however, revising this document to a third amended and restated CDP allows consolidated regulations and conditions that creates a more user friendly document. The minor clarifications include creating a defined term for hotel operator, refinements to the exterior hotel artwork approval process to reflect the Planning Commission’s discussion, and specifying that the 40 additional rooms that were not approved as part of the original Facebook campus expansion project are

subject to the recently updated transportation impact fee.

The applicant ~~will~~ has provided ~~a~~ renderings of the Bayfront Expressway elevation and an exhibit of the enhancements to the lobby and driveway entrances for the City Council's review and consideration ~~before or at the City Council meeting~~ which are included as Attachment J. The lobby entrance has been updated with a -larger vestibule that has backlit red glass and signage locations have been indicated on the plans. The City Council should consider if these changes help emphasize the lobby and driveway entrances and if the proposed Bayfront Expressway elevation is suitable based on the proposed projects position on the site.

Analysis

The City Council will be reviewing the proposed project and the Third amended and restated conditional development permit for the proposed project. The following sections discuss the various attributes of the proposed project. More detailed analysis for the proposed project can be found in the Planning Commission staff report (Attachment E).

Site layout

The proposed hotel building would be located on its own parcel within the Project Site. The Hotel Site would have frontages on Chilco Street, Bayfront Expressway, and the private driveway access to Facebook Buildings 22 and 23. The main entrance of the hotel would be oriented toward the south property line and located under the cantilevered west portion of the building. The hotel building would be concentrated toward the southern half of the site due to a transmission line easement that occupies 95 feet along the north property line along Bayfront Expressway. A one-way ingress driveway and a one-way egress driveway would be accessed from the private driveway to Buildings 22 and 23, which would serve as the primary access to the site. A two-way secondary service entry access driveway would be located along the east property line, near the entrance to the parking structure for Building 22.

The hotel building would have five stories and comply with the minimum setbacks permitted at the street frontages. The ground floor would contain the lobby, lounge, bar, breakfast area, meeting rooms, back of house operations, and a separate restaurant. A surface parking lot would be located along the west and south sides of the building. An outdoor amenity area would be located near the southeast corner of the Hotel Site and feature outdoor seating, recreation spaces, a water feature and outdoor food service.

The proposed project would include a comprehensive landscape design that would include the removal of all 13 existing trees, three of which are heritage trees, and landscaping on the Hotel Site. Overall, the proposal would exceed the one-to-one heritage tree replacement requirements and increase the landscaping at the site compared to the existing surface parking lot and provide a cohesive planting pallet.

Land use

The CDP includes approval of a limited service hotel with 200 rooms as part of the Facebook West campus expansion project. With the proposed project, the applicant is now seeking to increase the number of hotel rooms from 200 to 240 rooms (an increase of 40 rooms) along with a corresponding decrease in the maximum gross floor area and maximum building height. Staff believes that this location is suitable for the increase in 40 additional hotel rooms given its location near major employment centers and

regional transportation routes. Further, the Project Site is governed by a trip cap that includes the proposed project and no changes to the trip cap are proposed as part of the amendment to the CDP. The ConnectMenlo general plan and zoning ordinance update set a development cap of 400 new additional hotel rooms in the Bayfront Area. The 200 rooms that were previously approved do not count against the hotel room cap as the Facebook campus expansion project was approved prior to the adoption of the general plan in 2016; however, the 40 additional hotel rooms being requested would be considered new additional hotel rooms and calculated as such as the City moves forward with hotel development projects in the Bayfront Area. If the proposed project is approved, the total number of remaining hotel rooms under the development cap would be 360 net new rooms.

Parking and circulation

The CDP requires 245 parking spaces for the hotel use. The proposed project would include 118 parking spaces incorporated into a surface parking lot on the site. The applicant is requesting to reduce the parking on-site and accommodate any additional parking needs for the hotel through a shared parking agreement with Facebook. The shared parking agreement would allow the hotel to use a minimum of 127 parking spaces in the parking garage for Building 22 which would provide a combined total of approximately 245 parking spaces for the hotel to use. However, the parking spaces in the Building 22 garage are not included in the parking calculations for the proposed project.

Based on the shared parking agreement, parking for hotel and restaurant employees and valet parking for guests would be allowed in the office parking provided in the parking structure adjacent to Building 22. The parking structure is anticipated to contain unused parking during the times when the hotel and restaurant will generate the highest parking demand in the evenings and overnight. The applicant has provided a trip generation and parking analysis memo (Attachment G) which discusses the parking operations in more detail and a shared parking agreement terms (Attachment H) which includes more detailed information on the proposed parking management plan. A final parking agreement would be required to be provided for review and approval by the public work and community development departments if the project is approved.

The proposed project would also be subject to the trip cap that applies to the entire Facebook campus expansion project. The trip cap would help manage parking demand on the Hotel Site since the hotel would need to comply with the TDM Program for the entire Facebook expansion campus project where feasible and implement other traffic management strategies to reduce vehicle trips to the site and parking demand for the proposed project. The applicant also anticipates a number of the hotel guests will be visitors to the Facebook campus and that after initial arrival will be able to walk or bike rather than using vehicles. No modifications to the trip cap are proposed and no increase in net new trips from what was previously studied are anticipated as part of the project.

The proposed project would also include a total of 14 bicycle parking spaces which would exceed CALGreen requirements. Pedestrian paths would be located throughout the Project Site to provide circulation from the private driveway for Buildings 22 and 23 and the surface parking lot to the hotel building. A total of 40 of the parking spaces would be electric vehicle (EV) parking spaces which would exceed the City's EV charging requirements of 10 percent of the spaces to be EV parking spaces.

Transportation impact fee

The CDP included the approval of a limited service hotel with 200 rooms. The DA for the Facebook campus expansion project, in exchange for public benefits, gave Facebook a vested right to develop, operate and occupy the Property in accordance with the CDP. Thus, Facebook has a vested right to develop a hotel with 200 rooms. Section 3.4 of the DA indicates that except as set forth in the DA, the City shall not impose any further or additional fees. Therefore, the transportation impact fee (TIF) for the 200 rooms are subject to the TIF that was in place in 2016 when the Facebook campus expansion project was approved. The DA, however, does provide that the fees are increased automatically based on the consumer price index (CPI) or other method. At the time the TIF is paid for the 200 rooms, this automatic increase will be included. The new TIF which goes into effect February 8 would not apply to these 200 rooms.

The applicant is requesting an additional 40 hotel rooms beyond the 200 that were approved with the Facebook campus expansion project. The City is under no legal obligation to approve the additional rooms and the applicant has no vested right to increase the room count. These new rooms are counted against the hotel room development potential identified in the general plan update. The new TIF was developed to comply with the mitigation requirements identified in the certified program EIR for the general plan update. These 40 additional rooms are not subject to the DA because they are outside of and beyond the scope of the project that was the subject of the negotiated agreement. Therefore, the City may apply the new TIF for the 40 additional hotel rooms being requested. To ensure that this is memorialized, staff has added a condition to the CDP that identifies that the previously approved 200 rooms are subject to the DA and fees set therein, but that the additional 40 rooms will pay the new TIF.

Design and materials

The design of the proposed project would have a contemporary architectural style and would complement the other buildings on the Facebook campus. The building would be constructed using a pre-fabricated modular building system and the building form would be made up of three connected building masses.

At key points along the stucco facades, large-scale artwork would be installed that would fill the entire wall. The proposed plans currently indicate potential locations on the façade for the large-scale artwork on sheet G02.401. The artwork could take up approximately half of the façade and be five stories tall as indicated on the artwork example rendering. The exterior artwork would be required as part of the project and the locations, size and standards (such as lighting) for the proposed artwork would be reviewed and authorized by the Planning Commission, which is outlined in the draft amendment to the CDP. Community outreach would be required to the satisfaction of the community development director with the goal of ensuring that the selected artwork reflects the values and input of the community. The artwork selected as a result of the community outreach process would not be subject to Planning Commission review, unless otherwise requested by the community development director. Installation of the community-selected artwork would need to conform to the size, location, lighting and other design specifications approved by the Planning Commission.

Conditional development permit amendment

The proposed project requires an amendment to the CDP. The proposed changes to the CDP generally include the following:

- Increase the number of hotel rooms from 200 to 240 rooms;
- Decrease the number of on-site parking spaces from 245 to 118 spaces;
- Design review process for the large scale exterior artwork;
- Identify the TIF for the additional 40 hotel rooms; and
- Add standard public works conditions of approval for the hotel.

The draft of the proposed amendments to the CDP are included in Exhibit A to Attachment A.

Correspondence

Staff has not received any additional correspondence regarding the proposed project since the Planning Commission meeting January 13.

Conclusion

As recommended by the Planning Commission, staff believes the proposed contemporary architectural style of the building would complement the other buildings on the Facebook campus. Forms and façade composition would be supported by the use of exterior artwork. The proposal would comply with the CDP aside from the increase in hotel rooms and decrease in parking spaces. Bicycle parking requirements would be met, and the development would also provide a positive pedestrian experience. New trees and landscaping would be planted throughout the site and would increase the overall landscape area. As identified in the Second Addendum to the certified EIR for the Facebook campus expansion project prepared by the City's environmental consultant, no additional environmental impacts are anticipated based on the proposed changes to the CDP. Staff recommends that the City Council approve the proposed third amended and restated CDP.

Impact on City Resources

The project sponsor is required to pay planning, building and public works permit fees, based on the City's master fee schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

In November 2016, the City Council certified an EIR (consisting of a draft EIR and response to comments document, referred to as the final EIR) for the Facebook campus expansion project. When revisions are proposed to a project after an EIR has been certified, an agency must determine whether an addendum or a supplemental EIR is the appropriate document to analyze the potential impacts of the revised project.

Per CEQA Guidelines Section 15162(a), a supplemental EIR is required if:

1. Substantial changes are proposed in the project, which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
2. Substantial changes occur with respect to the circumstances under which the project is undertaken, which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete, shows any

of the following:

- A. The project will have one or more significant effects not discussed in the previous EIR;
- B. Significant effects previously examined will be substantially more severe than shown in the previous EIR;
- C. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or
- D. Mitigation measures or alternatives, which are considerably different from those analyzed in the previous EIR, would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

If none of the above conditions apply, then an addendum is the appropriate environmental document to analyze a revised project.

For purposes of the proposed project, an addendum is the appropriate environmental document because at full build out, the proposed project would maintain the uses identified in the approved project, would include less gross square footage than the approved project (approximately 90,243 square feet of gross floor area), and would decrease the total height of the approved project (approximately 61.75 feet.) Further, the trip cap for the approved project would apply to the proposed project. Based on these considerations, no new significant impacts or increases in the severity of previously identified significant impacts are expected to result from the proposed project, thereby rendering a supplemental EIR unnecessary. Furthermore, since certification of the EIR, there have been no substantial changes with respect to background conditions that would suggest that the circumstances under which the proposed project would be undertaken would be substantially different from those assumed or described in the certified EIR. Finally, although the City adopted a new general plan after approval of the approved project, approval of the City's new general plan would not result in any new significant impacts under the proposed project or new or considerably different mitigation measures compared to those of the approved project. Additionally, the certified EIR considered ConnectMenlo and found the project to be consistent with the general plan update. Accordingly, an addendum is the appropriate mechanism for CEQA review of the proposed project. The Second Addendum to the Certified EIR is available for review at the Community Development Department, the main branch of the Menlo Park Library, the Belle Haven branch of the Menlo Park Library, and as a hyperlink in Attachment I. Per CEQA Guidelines Section 15164(c), an addendum need not be circulated for public review but can be included in or attached to the final EIR or adopted negative declaration. Although decision makers do not adopt or certify the addendum, it should be considered prior to taking action on the proposed project.

The addendum studied each environmental topic from the certified EIR and concluded that there were no new significant impacts. Below are summaries of several of the main topic areas from the addendum:

- Aesthetics: Although the height, bulk, and massing of the revised hotel would increase compared with existing conditions, the revised hotel would be reduced in size compared to the approved project. The revised hotel may include somewhat more light than anticipated in the final EIR. However, in compliance with Mitigation Measure AES-3.1 and CDP Section 9.33, the hotel shall submit a lighting plan to the satisfaction of the City to ensure that the light and glare do not spillover to neighboring properties, ensuring that potential light and glare impacts are mitigated to a less-than-significant level.

- **Transportation:** The trip generation for the proposed project was determined to include 130 AM Peak-Hour trips and 117 PM Peak-Hour trips. This would be slightly less than the trip generation estimates identified in the certified EIR. Nonetheless, the revised hotel would be subject to the same approved vehicle trip cap that applies to the entire Project Site.
- **Air quality:** The revised hotel construction would be substantially the same as or, because of modular construction, less intense than the construction activities (i.e., schedule, demolition, construction equipment) identified for the hotel in the First Addendum to the certified EIR.
- **Population and housing:** The increase in hotel rooms could increase the number of employees depending on if the applicant's employee estimates are used or the general rates from the final EIR are used. Using the rates from the EIR, the revised hotel would result in three additional Menlo Park residents and demand for two additional housing units. The two additional households would represent approximately 0.2 percent of the overall household growth in the city during the 5-year period and is not considered a new significant impact. Using the applicant's employee estimate, the revised hotel would result in a slight decrease in employment and population compared to the approved project. In either case, the Second Addendum to the certified EIR determined this is not a new significant environmental effect.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Attachments

- A. Resolution No. 6540
- B. Location map
- C. Project plans
- D. Project description letter
- E. Hyperlink – January 13 Planning Commission staff report:
menlopark.org/DocumentCenter/View/23965/F2---CitizenM-Hotel?bidId
- F. January 13 Planning Commission draft excerpt minutes
- G. Trip generation and parking analysis
- H. Shared parking agreement term sheet
- I. Hyperlink – second addendum to the certified EIR: menlopark.org/1012/Environmental-Impact-Report
- J. [Bayfront Expressway renderings and lobby entrance exhibit](#)

The previously approved CDP is available for review on the City-maintained project page at the following link: menlopark.org/995/Facebook-Campus-Expansion-Project.

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public

viewing at the community development department.

Exhibits to Be Provided at Meeting

Color and materials board.

Report prepared by:
Kaitie Meador, Senior Planner

Report reviewed by:
Deanna Chow, Interim Community Development Director
Leigh Prince, Assistant City Attorney

RESOLUTION NO. 6540**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MENLO PARK
APPROVING THE THIRD AMENDED AND RESTATED CONDITIONAL
DEVELOPMENT PERMIT FOR THE PROPERTIES LOCATED AT 300-309
CONSTITUTION DRIVE AND 1 FACEBOOK WAY, FOR THE HOTEL
PROJECT**

WHEREAS, on November 1, 2016 the City Council of the City of Menlo Park adopted a resolution certifying the Environmental Impact Report (“EIR”) for the Facebook Campus Expansion Project and approved an Amended and Restated Conditional Development Permit for the property located at 300-309 Constitution Drive and 1 Facebook Way (“Approved Project”); and

WHEREAS, the Approved Project allowed the redevelopment of the property located at 301-309 Constitution Drive (“Property”) through demolition of the on-site buildings, with the exception of Building 23 (300 Constitution Drive), and the subsequent development of the Property with two office buildings (Buildings 21 and 22) totaling no more than 962,400 square feet of office uses and an up to 200 room hotel of approximately 174,800 square feet. The Approved Project included 3,533 new parking spaces. Building 20 (1 Facebook Way), with its minimum 1,466 approved parking spaces, was also included in the Amended and Restated Conditional Development Permit. In addition, Building 23 was incorporated into the Amended and Restated Conditional Development Permit; and

WHEREAS, in February 2017 Facebook submitted an application for an amendment to the Amended and Restated Conditional Development Permit to modify the design of Building 22, the site layout and timing for demolition of Building 305 and construction of the publicly accessible open space, and the construction of the hotel. On November 7, 2017 the City Council, after reviewing the first addendum to the certified EIR for the Facebook Campus Expansion Project, approved the Second Amended and Restated Conditional Development Permit to allow the requested modifications; and

WHEREAS, on February 25, 2020 CitizenM Hotels (MPK Menlo Park Properties, LLC), submitted an application for an amendment to the Second Amended and Restated Conditional Development Permit (“Third Amended and Restated Conditional Development Permit”) to modify the hotel component of the Approved Project to allow an additional 40 rooms for a total of 240 hotel rooms where 200 hotel rooms were approved and a reduction in the number of parking spaces to 118 parking spaces where 245 spaces were approved (“Proposed Project”); and

WHEREAS, the Proposed Project would continue to result in a highly interconnected campus, inclusive of Buildings 20 and 23, including a site-wide trip cap; and

WHEREAS, the second addendum to the certified Environmental Impact Report for the Facebook Campus Expansion, prepared in compliance with CEQA Guidelines Section 15164, found that there would be no new significant environmental impacts or any substantial increase in the severity of any previously identified significant impact as a result of the Proposed Project; and

WHEREAS, the Third Amended and Restated Conditional Development Permit would run with the land and the Property would continue to be subject to its limitations; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the Planning Commission of the City of Menlo Park on January 13, 2020 whereat all persons interested therein might appear and be heard; and

WHEREAS, the Planning Commission of the City of Menlo Park having fully reviewed, considered and evaluated all the testimony and evidence submitted in this matter, including the second amendment to the certified EIR, voted affirmatively to recommend to the City Council of the City of Menlo Park to approve the Third Amended and Restated Conditional Development Permit; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the City Council of the City of Menlo Park on February 11, 2020 whereat all persons interested therein might appear and be heard; and

WHEREAS, on February 11, 2020 the City Council of the City of Menlo Park having fully reviewed, considered and evaluated all the testimony and evidence submitted found that the Proposed Project would serve the health, safety, and general welfare of the city and voted affirmatively to approve the Third Amended and Restated Conditional Development Permit for the Facebook Campus Expansion Project.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Menlo Park hereby approves the Third Amended and Restated Conditional Development Permit for the Property attached hereto as Exhibit A and incorporated herein by this reference.

I, Judi A. Herren, City Clerk of Menlo Park, do hereby certify that the above and foregoing City Council Resolution was duly and regularly passed and adopted at a meeting by said City Council on the eleventh day of February, 2020, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this eleventh day of February, 2020.

Judi A. Herren, City Clerk

**~~SECOND-THIRD~~ AMENDED AND RESTATED
CONDITIONAL DEVELOPMENT PERMIT**

Facebook Campus Expansion Project
(Buildings 20-23 and Hotel)

1. GENERAL INFORMATION:

- 1.1 Applicant: Hibiscus Properties, LLC (and its successors and assigns)
- a. Hotel Operator: CitizenM Hotels (MPK Menlo Park Properties, LLC) is the Hotel Operator pursuant to a ground lease with the Applicant. Hotel Operator's rights and obligations under this Third Amended and Restated Conditional Development Permit shall terminate on the earlier of Hotel Operator vacating the Hotel or the expiration or earlier termination of the ground lease, in which case the rights and obligations of Hotel Operator under this Third Amended and Restated Conditional Development Permit shall belong to Applicant.
- 1.2 Nature of Project: For purposes of this ~~Second-Third~~ Amended and Restated Conditional Development Permit, the Facebook Campus Expansion Project (Project) includes Buildings 20-23, Building 305 (interim phase only), a Parking Garage, an Electrical Vehicle Charging Facility, and the Hotel as follows:
- a. Buildings 21-22 and Hotel. Zoning Ordinance Text Amendment, Rezoning, ~~Second-Third~~ Amended and Restated Conditional Development Permit, Development Agreement for 301-309 Constitution Drive as amended by the Amendment to the Development Agreement (collectively, the "Amended Development Agreement"), Below Market Rate (BMR) Housing Agreement, Lot Line Adjustment, Heritage Tree Removal Permits, and Environmental Impact Report (EIR), including the Addendum and the Second Addendum prepared to analyze certain project modifications, for the demolition of the on-site buildings, with the exception of Building 23 and Building 305 (interim phase only), and the subsequent redevelopment of the site with two office buildings totaling no more than 962,400 square feet of office uses and an up-to 200-240 room hotel of approximately 474,800~~90,918~~ square feet, 3,533~~3,406~~ new parking spaces located at grade and within a multi-story parking garage, an electrical vehicle charging facility, publicly accessible open space, and a pedestrian and bicycle bridge.
- b. Building 305. The existing building addressed as 305 Constitution Drive would remain in the interim phase only until the earlier of (i) the expiration of the current lease between the property owner (Hibiscus Properties, LLC) and TE Connectivity (TE) (September 4, 2022) and vacation of Building 305 by TE, or (ii) the termination of

the current lease at an earlier date and vacation of Building 305 by TE. If the lease has expired and/or been terminated and TE refuses to vacate, the Applicant agrees to use commercially reasonable efforts to cause TE to vacate. Continued industrial operations, such as manufacturing and distribution activities associated with TE, are permitted in the interim phase only and upon termination of the current lease and vacation of Building 305 by TE no further industrial operations are permitted on site. Building 305 shall be demolished within one year of the termination of the existing lease and vacation of Building 305 by TE, but in no event later than September 4, 2023. If Applicant diligently pursues demolition of Building 305 but is delayed for reasons beyond its control (e.g., force majeure), Applicant's deadline for demolishing Building 305 shall be equitably extended, subject to the approval of the City Manager which shall not be unreasonably withheld.

- c. Building 20. Building 20 was approved pursuant to a Conditional Development Permit and Development Agreement for 312-313 Constitution Drive in 2013, and includes one building totaling no more than 433,656 square feet over approximately 1,499 parking spaces. This ~~Second-Third~~ Amended and Restated Conditional Development Permit incorporates and carries forward, as applicable, conditions that were included in the original Conditional Development Permit for Building 20 and replaces that Conditional Development Permit in its entirety.
- d. Building 23. Building 23 was approved pursuant to a Use Permit in 2014, and comprises a single-story office building totaling approximately 180,108 square feet of gross floor area. The 518 parking spaces for Building 23 are included in the proposed 3,533 new parking spaces associated with Buildings 21-22 and the Hotel. This ~~Second-Third~~ Amended and Restated Conditional Development Permit incorporates and carries forward, as applicable, conditions that were included in the Use Permit for Building 23 and replaces that Use Permit in its entirety.

For purposes of determining the Floor Area Ratio (FAR), building coverage and building setbacks for the Project, the two existing parcels (APNs 055-260-250 and 055-260-290) comprising the Project Site shall be considered to be one parcel, bounded by Bayfront Expressway to the north, Willow Road to the east, the Dumbarton Rail Corridor to the south, and Chilco Street to the south and west. The Access Parcel (Facebook Way) shall continue to be an unbuildable parcel and therefore, not included in the lot area for purposes of determining the development regulations.

1.3 Project Location (Project Site):

- a. Building 21, Building 22, Parking Garage, Electric Vehicle Charging Facility, and Hotel: 301-309 Constitution Drive
- b. Building 305: 305 Constitution Drive (interim phase only)
- c. Building 20: 1 Facebook Way, Building 20 (formerly 312 and 313 Constitution Drive)
- d. Building 23: 1 Facebook Way, Building 23 (formerly 300 Constitution Drive)

The address for Buildings 21-22 shall be determined by the Applicant, subject to the reasonable approval of the Building Official, who shall have final authority to determine the addressing at Buildings 21-22. The address for the Hotel will be determined by the Applicant and the City's Building Official prior to issuance of the Core and Shell phase of the building permit for the Hotel.

1.4 Project Phasing: Buildings 21, 22, and the Hotel shall be constructed in the following phases:

- a. Phase 1: Building 21, and the initiation of permitting process for the Bicycle and Pedestrian Bridge.
- b. Phase 2: The "Interim Phase" which includes the demolition of Buildings 301, 302, 303, 304, 306, and the chemical transfer facility (CTF), construction of Building 22 and the associated Parking Garage Structure, construction of the Bicycle and Pedestrian Bridge, and the partial construction of the Publicly Accessible Open Space.
- c. Phase 3: The "Final Phase" which includes the demolition of Building 305, construction of the Hotel, completion of the full extent of the Publicly Accessible Open Space, and the construction of the Electrical Vehicle Charging Facility and associated landscape improvements. The construction of the Hotel may begin after completion of the demolition of Building 305.

If desired, the Hotel may be constructed prior to Building 22, provided that the buildings proposed to be demolished in Phase 2 are removed. In addition, at no time may the buildings constructed on-site exceed the allowable Floor Area Ratio identified herein.

1.5 Assessor's Parcel Numbers (Post Lot Line Adjustment): 055-260-250 (Hotel); 055-260-290 (Buildings 20, 21, 22, 23, and in the interim phase Building 305), and 055-260-997 (Access Parcel, Facebook Way)

1.6 Property Owner(s): Hibiscus Properties, LLC; CMTGIF Properties, LLC (APN 055-260-250 only)

1.7 Area of Project Site: Two parcels, excluding the Access Parcel that is unbuildable, totaling approximately 80.44 acres (approximately 3,504,041 square feet). This includes Parcel 055-260-250 (Hotel) with approximately 2.6 acres and Parcel 055-260-290 (Building 20, 21, 22, 23, Parking Garage, Electric Vehicle Charging Facility, Building 305 (interim phase only) with approximately 77.71

acres. The Project Site parcels, post lot line adjustment, are as shown on Exhibit A attached hereto and being more particularly described in Exhibit B attached hereto.

- 1.8 Zoning: O (Office); previously M-2(X) (General Industrial, Conditional Development), subject to the Amended Development Agreement.
- 1.9 Conditions Precedent: Applicant's and Hotel Operator's obligations as set forth herein are expressly conditioned on the resolution of all legal challenges, if any, to the Second EIR Addendum and/or the modifications to the Hotel component of the Project as requested by the Hotel Operator and approved by the City Council on February 11, 2020 (Hotel Modifications). If no litigation ~~or referendum~~ is commenced challenging the Second EIR Addendum and/or the Hotel Modifications Project, Applicant's and Hotel Operator's rights and obligations will vest on the passing of all applicable statutes of limitation, ~~consistent with the Amended Development Agreement~~. If litigation ~~or a referendum~~ is commenced and Applicant determines to terminate the Amendment to the Development Agreement regarding the Second EIR Addendum and/or the Hotel Modifications and the Applicant or Hotel Operator determines to terminate this Third Amended and Restated Conditional Development Permit during the pendency of any such proceeding, the Second Amended and Restated Conditional Development Permit for 301-309 Constitution Drive shall survive and control the permitted uses on those sites.

2. DEVELOPMENT STANDARDS:

- 2.1 Floor Area Ratio (FAR) shall not exceed 55 percent of the Project Site.
 - 2.1.1 The maximum FAR for office uses at the site shall not exceed 45 percent.
 - 2.1.2 The maximum FAR including the Hotel shall not exceed 55 percent.
- 2.2 Building coverage shall not exceed 55 percent of the Project Site.
- 2.3 Building setbacks shall be substantially in accordance with the approved plans, and in no case shall the minimum setback be less than 40 feet for Building 20 from each property line and not less than 100 feet for Building 21 from Bayfront Expressway and 60 feet from the south property line. Building 22, the Parking Garage, and Electrical Vehicle Charging Facility, and the Hotel shall be a minimum of 20 feet from each external property line and outside the PG&E easement along Bayfront Expressway. The actual setbacks shall be determined through the individual architectural review by the Planning Commission for each building or phase (Identified in Section 6.1.4). The internal property line between the two parcels (055-260-250 and 055-260-290) is not considered a property line for setback purposes or any other Zoning Ordinance standard.
- 2.4 The minimum setback for ancillary structures, such as bus canopies and shelters, security stations, and other structures, accessory in nature, shall be 20 feet from each exterior property line, with the exception of emergency generators which may be constructed at the southern edge of the Property as

shown on the Project Plans. The locations of the structures shall be substantially in compliance with the locations identified in the approved Project Plans (defined below).

- 2.5 Building height, inclusive of temporary structures, shall not exceed 75 feet for Buildings 21, the Parking Garage (as measured to the top of the safety railing), and the Hotel. The roof deck of Building 22 shall not exceed 75 feet in height. However, the skylight element of Building 22 may be higher, but shall not exceed 87 feet in height. Skylight maintenance platforms may be located on top of the skylight and extend up to ten feet in height above the skylight level, for a total potential height of 97 feet. The number of skylight maintenance platforms shall be limited to two platforms. Building 20 shall not exceed 73 feet in height. All heights shall be measured from the average level of the highest and lowest point of the finished grade of that portion of the lot covered by the structure. Height excludes elevator equipment rooms, elevator hoistways, electrical equipment, solar panels, ventilating and air conditioning equipment, and associated screening.
- 2.6 The on-site circulation and parking spaces shall be maintained in a manner that is substantially consistent with the Project Plans, with a minimum of ~~3,533~~3,406 parking spaces for Buildings 21 (1,476 spaces), 22 (1,294 spaces), 23 (518 spaces), and the Hotel (~~245~~118 spaces). The Hotel Operator and the Applicant shall enter a shared parking agreement that allows the Hotel to use the Building 22 parking garage per the requirements in Section 15.3 to the satisfaction of the City's Public Works Director and Community Development Director. Parking shall be installed in a manner that is substantially in compliance with the project phasing plans and approved Project Plans. A minimum of 1,446 parking spaces are required for Building 20, with a maximum of 1,499 parking spaces, for a total minimum aggregate parking count at the Project Site of ~~4,974~~4,852 spaces at full build out of the Project. Parking for Building 22 and a portion of parking for Building 23 would be provided in a multi-story parking garage.
- 2.7 All roof-top equipment shall comply with the noise requirements in Chapter 16.08 (Roof Mounted Equipment) of the Zoning Ordinance, with the exception of smoke exhaust fans for the fire and smoke suppression system as outlined in Section 2.7.1.
- 2.7.1 Smoke exhaust fans for Building 22's smoke ventilation system may exceed the noise limitations outlined in Chapter 16.08 (Roof Mounted Equipment) during routine testing provided that routine testing is conducted between 8:00 a.m. and 6:00 p.m. Monday through Friday and complies with the noise requirements of Chapter 8.06 of the municipal code. All other roof mounted equipment shall comply with the Zoning Ordinance requirements (Chapter 16.08) for noise. In the event of an emergency, noise generated by the smoke ventilation system would be exempt from the Zoning Ordinance and municipal code requirements.

- 2.8 Roof-mounted equipment is required to be screened to the tallest horizontal member of the equipment. However, the screening for Building 22 is not required to be completely opaque. The perforations in the screen shall be no more than a-half inch. Roof screening may be composed of chain link or similar material, provided it is painted in a color consistent with the design of the building. The proposed roof mounted equipment screening shall be comprised of two panels installed in an off-set configuration to provide a more opaque mechanical screen (effectively a quarter-of-an-inch gap) between perforations in the material. The design of the roof mounted equipment screening shall be subject to review and approval of the Planning Division.
- 2.9 All ground mounted equipment shall be fully screened and integrated into the site design. The ground mounted equipment shall comply with the noise requirements in Chapter 8.06 (Noise) of the Municipal Code.

3. USES:

- 3.1 The development is comprised of up to four office buildings (referred to as Buildings 20, 21, 22, and 23) totaling no more than 1,576,164 square feet of gross floor area (GFA), with potential usable roof gardens and amenities that are accessible to the occupants of the buildings, as well as a public open space that would be used for passive recreational uses and community events. Building 20, 21, and the Hotel would be generally constructed on top of surface parking lots and Building 22 would have an at grade first level. The development includes a multi-story parking garage to accommodate the required parking for Building 22 and a portion of the required parking for Building 23. Buildings 20 and 21 would be connected with usable floor area. Buildings 21 and 22 would be connected through an open bridge. Enclosed bridges would be included in the calculations of GFA and FAR for the Project. In addition to the office buildings, a Hotel of up to ~~200~~240 rooms with a restaurant and bar that is open to the public is also permitted. In the interim phase only, Building 305 would remain on-site, concurrent with Building 22, but would be demolished prior to construction of the Hotel. The Hotel may be constructed prior to Building 22 or any time after demolition of Building 305. Permitted uses on the Project Site shall include the following:
- 3.1.1 Administrative and professional offices, excluding medical/dental offices serving the general population;
- 3.1.2 Medical and dental uses to serve on-site employees and contractors are permissible;
- 3.1.3 General industrial uses including but not limited to warehousing, manufacturing, printing and assembling;
- 3.1.4 Amenities and related uses intended to serve employees, contractors, and visitors, such as neighborhood-serving convenience retail, banks, community facility space, fitness facilities and restaurants, including those that serve alcoholic beverages;

- 3.1.5 Outdoor seating and tables (including those intended to be used for the consumption of food and beverages), temporary structures, and events associated with those uses listed above on the Project Site including on the roof, subject to approved building permits and Fire District permits, as applicable;
 - 3.1.6 Activities involving the use of hazardous materials, such as emergency power generators, incidental to those uses listed above and subject to an approved Hazardous Materials Business Plan, Building Permit, San Mateo County Health Permit, and Menlo Park Fire Protection District permit;
 - 3.1.7 Cellular telecommunications facilities if fully screened or integrated into the design of the building;
 - 3.1.8 Hotels that do not include conference or banquet facilities, but include a restaurant and hotel bar that are open to the public;
 - 3.1.9 Recreational uses consistent with a public park;
 - 3.1.10 Community events, including but not limited to farmers markets, movie nights, concerts, community block parties, and food trucks, provided the activities comply with Chapter 8.06 (Noise) of the municipal code, unless a special events permit is approved by the City, as outlined in Chapter 8.06.060 (Temporary permits, special event permits and use permits) of the municipal code; and
 - 3.1.11 Electrical Vehicle Charging Facility for electric buses, trams, and shuttles, including the outside and overnight storage of electric vehicles.
 - 3.2 Administratively permitted uses listed in the O (Office) zoning district may be permitted through an administrative permit, unless otherwise allowed in Section 3.1.
 - 3.3 Conditionally permitted uses listed in the O (Office) zoning district may be permitted through a use permit, unless otherwise allowed in Section 3.1.
4. SIGNS:
- 4.1 The maximum permissible sign area for the Project Site is 600 square feet, which may be distributed throughout the Project Site. Each building may utilize a different percentage of the maximum allowed square footages. Vehicular directional signage and signage not visible from the public right-of-way or adjacent properties shall not count against the maximum sign area and is only subject to building permit review, as applicable. The square footage, location and materials for all signage that counts towards the maximum permissible sign area shall be subject to review and approval by the Planning Division through the Sign Permit process, with an application and applicable filing fees. The proposed signs shall be reviewed by the Planning Division for conformance with the City's Sign Design Guidelines and Chapter 16.92 (Signs- Outdoor Advertising) of the Zoning Ordinance.

4.2 The maximum allowed sign area identified in Section 4.1 may be exceeded through a use permit.

4.3 The façade mounted exterior artwork for the Hotel is not considered signage and does not count toward the maximum sign area permitted on the Project Site, provided the artwork shall not contain any Hotel branding.

5. RECORDATION:

5.1 The Facebook Campus Expansion Project ~~Second-Third~~ Amended and Restated Conditional Development Permit ~~and the Amendment to the Development Agreement~~ shall be ~~concurrently~~ recorded in the Official Records of the County of San Mateo, State of California.

5.2 ~~The Second Amended and Restated Conditional Development Permit shall be in full force and effect on the Effective Date of the Amended Development Agreement, subject to the provisions of Section 1.9. The Second-Third~~ Amended and Restated Conditional Development Permit supersedes the Second Amended and Restated Conditional Development Permit.

6. MODIFICATIONS:

6.1 Modifications to the approved Project may be considered according to the following five tier review process. The five tiers are in order of progressively more substantial review for changes to the Project as opposed to initial project approval:

6.1.1 Substantially Consistent Modifications are made at the staff level. Substantially Consistent Modifications are changes to or modifications of the Project that are in substantial compliance with and/or substantially consistent with the Project Plans and the Project Approvals (as defined in the Facebook Campus Expansion Development Agreement and the West Campus Development Agreement). Substantially Consistent Modifications are generally not visible to the public and do not affect permitted uses, density or intensity of use, restrictions and requirements relating to subsequent discretionary actions, monetary obligations, material modifications to the conditions of approval identified in Sections 7, 9, 10, 11, 12, 13, 14, and 15, conditions or covenants limiting or restricting the use of the Property or similar material elements based on the determination that the proposed modification(s) is consistent with other building and design elements of the ~~Second-Third~~ Amended and Restated Conditional Development Permit, and will not have an adverse impact on the character and aesthetics of the Property. The determination as to whether a requested change is a Substantially Consistent modification will be made by the Community Development Director (in his/her reasonable discretion).

6.1.2 Minor Modifications are made at the staff level, but the Planning Commission is provided information regarding these modifications. The determination as to whether a requested change is a Minor Modification is

determined by the Community Development Director (in his/her reasonable discretion). A Minor Modification is similar in nature to a Substantially Consistent Modification, except that Minor Modifications generally are visible to the public and result in minor exterior changes to the Project aesthetics. Any member of the Planning Commission may request within seven days of receipt of the informational notice that the item(s) be reviewed by the Planning Commission.

- 6.1.3 Major Modifications are reviewed by the Planning Commission as a Regular Business item, and publicly noticed. Major Modifications are changes or modifications to the Project that are not in substantial compliance with and/or substantially consistent with the Project Plans and Project Approvals. Major modifications include, but are not limited to, significant changes to the exterior appearance of the buildings or appearance of the Property, and changes to the Project Plans, which are determined by the Community Development Director (in his/her reasonable discretion) to not be in substantial compliance with and/or substantially consistent with the Project Plans and Project Approvals. The Planning Commission's decision shall be based on the determination that the proposed modification is compatible with other building and design elements or onsite/offsite improvements of the ~~Second-Third~~ Amended and Restated Conditional Development Permit and would not have an adverse impact on safety and/or the character and aesthetics of the site. Planning Commission decisions on Major Modifications may be appealed to the City Council. City Council shall have final authority to approve Major Modifications. Major Modifications that also require Conditional Development Permit Amendments (see Section 6.1.5 below) shall be considered in accordance with Section 6.1.5.
- 6.1.4 Design Review of Project Plans for the Hotel, and the Electric Vehicle Charging Station is required for the hotel building and the charging facility. The Planning Commission shall review the design plans through a formal architectural control application. The Applicant is required to submit an architectural control application and pay all applicable fees for the Planning Division's review of the proposed project plans, subject to review and approval by the Planning Commission. The Planning Commission's action will be based on conformance with this ~~CDP-Third~~ Amended and Restated Conditional Development Permit and the required findings for architectural control, as enumerated in Chapter 16.68.020 (Architectural Control) of the Zoning Ordinance.
- 6.1.5 Conditional Development Permit Amendments are reviewed by the Planning Commission and the City Council. Conditional Development Permit Amendments are required where the Applicant seeks revisions to the Project which involve (a) the relaxation of the development standards identified in Section 2, (b) material changes to the uses identified in Section 3, or (c) material modifications to the conditions of approval identified in Sections 7, 9, 10, 11, 12, 13, 14, and 15. Such revisions may

also require modifications to the Amended Development Agreement or the Development Agreement for 312-313 Constitution Drive in the case of changes affecting Building 20. If the Applicant wishes to make a change that requires an amendment to this ~~Second-Third~~ Amended and Restated Conditional Development Permit, it shall apply, in writing with all applicable plans and fees, to the Planning Division for review and recommendation to the Planning Commission. The Planning Commission shall then forward its recommendation to the City Council for amendment(s) to this ~~Second-Third~~ Amended and Restated Conditional Development Permit.

For purposes of clarification, Substantially Consistent Modifications, Minor Modifications, Design Review for the Hotel, and Major Modifications will not constitute Conditional Development Permit Amendments or require modifications to the Amended Development Agreement or the Development Agreement for 312-313 Constitution Drive.

7. TRIP CAP:

7.1 Consistent with the Project proposal and to minimize environmental and community impacts resulting from utilization of the Project Site, Applicant shall enforce a trip cap.

7.1.1 Trip Cap: The trip cap sets the maximum number of morning and evening peak period vehicle trips and daily vehicle trips (Trip Cap). The parameters and requirements of the Trip Cap are specified in the Facebook Campus Expansion Project Trip Cap Monitoring and Enforcement Policy, which is included as Exhibit C and incorporated herein. The Trip Cap applies to Buildings 20, 21, 22, 23, existing buildings prior to demolition, and the Hotel. A separate Trip Cap is enforced on the East Campus through the site specific Amended and Restated Conditional Development Permit for 1601 Willow Road.

7.1.2 Implementation: The Trip Cap counting equipment shall be installed and in good working order prior to occupancy of Building 21, unless otherwise approved, to the satisfaction of the Public Works Director.

8. CONSTRUCTION PERMITS SEQUENCING:

8.1 The Community Development Director or his/her designee shall have authority to determine the sequencing of building permits and sub-phases for each building/phase of construction. In general, the construction for each building will consist of the following phases: Demolition, Grading and Utilities, Foundation Only, Core and Shell, Tenant Improvements, and Landscaping. Certain conditions contained within this ~~Second-Third~~ Amended and Restated Conditional Development Permit may be triggered by a specific phase of construction for each individual building, which will be noted using the terminology above.

8.2 Access Improvements (Public Right-of-Way Encroachment Permit): The new site access from Bayfront Expressway shall be constructed prior to temporary

occupancy for Building 21. The Applicant shall follow the procedures below for submittal, review, and construction of the site access

- 8.2.1 Submit improvement plans to the City for approval for those portions of the Project that require offsite improvements in the Caltrans right-of-way (Public ROW Improvements and Site Access). This includes all work in the Caltrans right-of-way, including, but not limited to, utility improvements, curb cuts, driveway, traffic signal, and other frontage improvements, as applicable;
- 8.2.2 Receive City approvals for such improvement plans;
- 8.2.3 Submit the improvement plans to Caltrans and request encroachment permit approvals;
- 8.2.4 Submit documentation of approval from Caltrans to the City prior to issuance of Core and Shell phase building permit for Building 21;
- 8.2.5 Complete the Public ROW Improvements, inclusive of installation of new traffic signal on Bayfront Expressway prior to temporary occupancy of Building 21; and
- 8.2.6 If Applicant diligently pursues approval from Caltrans but is delayed in obtaining approval due to no fault or lack of diligence on the part of the Applicant, Applicant's obligation to submit documentation of approval prior to issuance of Core and Shell phase building permit for Building 21 shall be extended automatically, subject to the approval of the City Manager which shall not be unreasonably withheld. No such extension shall relieve the Applicant's obligation to complete the Public ROW Improvements prior to temporary occupancy of Building 21.

9. PROJECT SPECIFIC CONDITIONS - GENERAL:

- 9.1 Project Plans: Development of the Project shall be substantially in conformance with the plans submitted by Gehry Partners, LLC dated received October 10, 2017, recommended for approval to the City Council by the Planning Commission on October 16, 2017 (Project Plans), and approved by the City Council on November 7, 2017, except as modified by the conditions contained herein and in accordance with Section 6 (Modifications) of this document. The Hotel and Electric Vehicle Charging Station shall be substantially in conformance with the Planning Commission's design review of the detailed plans for each building as set forth in Section 6. Buildings 20, 21, and 23 shall be in substantial conformance with the plans approved for those buildings in prior approvals.
- 9.2 Below Market Rate Housing Agreement: The Applicant has recorded a Below Market Rate (BMR) Housing Agreement relative to Buildings 21, 22, and the Hotel in the Official Records of the County of San Mateo, State of California. Previous BMR Housing Agreements related to Buildings 20 and 23 remain unchanged. The BMR Housing Agreement requires that the Applicant satisfy its obligations under the BMR Ordinance and Guidelines by one of the following methods:
 - a. Paying the in lieu fee;

- b. Delivering off-site residential units; or
- c. Paying a portion of the in lieu fee and delivering off-site residential units.

Based upon the current fee (FY 2016-217) per square foot, the estimated BMR fee for the project would be \$6,534,438.95. The required number of residential units for the project would be 20 units. If the Applicant proceeds with a combined in lieu fee payment and provision of off-site units, each unit shall equate to a credit of \$326,721.95 toward the in-lieu fee. The timing of the provision of units or payment of the fee is based on the construction phase for each building and is further documented in the BMR Agreement for the Project.

9.2.1 Bonding for Building 305 Demolition: To ensure that Building 305 will be demolished and therefore, continue to allow the Applicant to receive credit for the existing square footage of Building 305 in the calculation for the BMR fees and equivalent number of units in the Building 22 construction phase, the Applicant shall post a bond for the completion of the demolition of Building 305.

1. A cost estimate for the demolition of Building 305 shall be provided to the City on the Effective Date of the Second Amended and Restated Development Permit as defined in section 5.2 for review and approval of the Assistant Community Development Director.
2. A bond for 200% of the approved cost estimate shall be posted prior to issuance of the foundation only permit phase for Building 22.

9.3 Construction Fencing: The Applicant shall submit a plan for construction safety fences around the periphery of the construction area concurrent with the building permit for each phase of construction. The fences shall be installed according to the plan prior to commencing construction for each individual phase of each building. The plan shall be reviewed and approved by the Building and Planning Divisions prior to issuance of a demolition permit for each building.

9.4 Truck Route Plan: The Applicant shall submit a truck route plan concurrent with the building permit application for each stage of construction based on the City's municipal code requirements, for review and approval by the Transportation Division. The Applicant shall also submit a permit application and pay applicable fees relating to the truck route plan, to the satisfaction of the Public Works Director.

9.5 Salvaging and Recycling of Construction and Demolition Debris: For each building, the Applicant shall comply with the requirements of Chapter 12.48 (Salvaging and Recycling of Construction and Demolition Debris) of the City of Menlo Park Municipal Code, which compliance shall be subject to review and approval by the Public Works Department.

9.6 Utility Improvements: Concurrent with submittal of the application for the Grading and Utilities phase for each building phase, the Applicant shall submit a plan for any new utility installations or upgrades for review and approval of the Planning, Engineering, and Building Divisions prior to building permit issuance.

Landscaping shall properly screen all utility equipment that is installed outside of a building and cannot be placed underground; subject, however, to the requirements of the City, the Menlo Park Fire Protection District, the West Bay Sanitary District, PG&E, and any other applicable agencies regarding utility clearances and screening. The plan for new utility installations/upgrades shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes and other equipment boxes. The screening shall be compatible and unobtrusive and subject to the review and approval of the Planning Division which approval will be required prior to the City's approval of the final building permit inspection for the Core and Shell phase for each building (or equivalent permit inspection for the electric vehicle charging facility).

- 9.7 Grading and Drainage Plan, Inclusive of Erosion and Sedimentation Control Plan: Concurrent with submittal of the Grading and Utility plans for each phase, the Applicant shall submit a Grading and Drainage Plan, including an Erosion and Sedimentation Control Plan, for review and approval by the Engineering Division prior to building permit issuance. The Grading and Drainage Plan shall be prepared based on the City's Grading and Drainage Plan Guidelines and Checklist, the City approved Hydrology Report and Stormwater Management Plan for the Project, and the Project Applicant Checklist for the National Pollution Discharge Elimination System (NPDES) Permit Requirements.
- 9.8 Landscape Plan: The Applicant shall submit a detailed on-site landscape plan for each building phase and for the Bicycle and Pedestrian bridge, including the size, species, and location, and an irrigation plan for review and approval by the Planning, Engineering, and Transportation Divisions, prior to building permit issuance for the Tenant Improvement phase for each building and for the building permit for the Bicycle and Pedestrian bridge. The landscape plans shall illustrate the retention of the maximum number of trees feasible, to the satisfaction of the Planning Division and City Arborist. The landscape plans shall include all onsite landscaping (including heritage tree replacements), adequate sight distance visibility, screening for outside utilities with labels for the utility boxes sizes and heights, and documentation confirming compliance with the Water Efficient Landscaping Ordinance (Municipal Code Chapter 12.44). The landscape plans shall include an appropriate mix of native and adapted species to complement the nearby Don Edwards San Francisco Bay National Wildlife Refuge and shall be reviewed and approved by the Community Development Director and Public Works Director prior to building permit issuance for the Tenant Improvement phase for each building and for the building permit for the Bicycle and Pedestrian bridge. The landscape plan for Building 22 shall include the design and planting for the both the interim and the final designs of the Publicly Accessible Open Space, which is subject to review and approval of the Community Development Director. Heritage tree replacements (outlined in 9.10) shall be identified on the landscape plan for each individual building phase.
- 9.9 Heritage Tree Protection and Removal: The Applicant shall submit a heritage tree preservation suitability analysis and, if applicable, preservation guidelines concurrent with, or prior to, the submittal of the Grading and Utility phase for each building phase. This plan should assess the possibility of retaining heritage trees in good health within each phase of the Project based on the review of the Project Arborist. If any heritage trees are preserved during construction, the Project Arborist shall submit a letter confirming adequate installation of tree protection measures, per the recommendations in the

suitability analysis and preservation guidelines. The Applicant shall retain an arborist throughout the term of the Project, and the project arborist shall submit periodic inspection reports to the Building Division documenting compliance with the preservation guidelines, as applicable. The heritage tree suitability and preservation plan shall be subject to review and approval by the Planning Division and City Arborist prior to Grading and Utilities permit issuance for each building phase. The Applicant shall, in good faith, attempt to design the project to retain heritage trees in good condition. The heritage trees approved for removal shall be removed as necessary during each building phase, subject to review and approval of the Planning Division and City Arborist.

- 9.10 Heritage Tree Replacements: The applicant is permitted to remove up to 274 heritage trees on-site, 149 of which are in good condition, as determined by the Project Arborist in the *Tree Survey Report* prepared by SBCA Tree Consulting dated March 28, 2016 and shown on Sheet L0.100 in the project plans. Heritage trees in good condition are required to be replaced at a 2:1 ratio and heritage trees in fair-to-poor condition or dead are permitted to be replaced at a 1:1 ratio. A minimum of 423 heritage tree replacements are required for the project. Heritage tree replacements shall be a minimum of 24-inch box size and are required to be planted at grade. The number of heritage tree replacements proposed for each building or phase shall correspond to the number of heritage trees removed in each phase. The number of heritage tree replacements and the species and size shall be identified in the landscape plans for each building, subject to review and approval of the Planning Division and City Arborist.
- 9.11 Landscape Maintenance: Site landscaping, inclusive of landscaping on the living roofs, shall be maintained to the satisfaction of the Community Development Director so long as the building constructed as part of the Project is located on the Project Site. Significant revisions to site landscaping (inclusive of roof landscaping) shall require review by the Building Official, Public Works Director, City Arborist, and Community Development Director to confirm the proposed changes comply with accessibility and exiting requirements, stormwater requirements and are substantially consistent with the Conditional Development Permit approval consistent with the procedure outline in Section 6, Modifications.
- 9.12 Water Supply Assessment (WSA) Compliance: After one year from occupancy of Building 21 and annually thereafter, the Applicant shall submit documentation to the City to confirm that water usage does not exceed the estimated water consumption for the Project documented in the WSA dated February 3, 2016. The estimated total water consumption is 88 million gallons per year, a net increase of 30 million gallons. The Public Works Director shall review the documentation along with City records for water usage at the site to confirm that water usage does not exceed the estimated water usage in the WSA. Compliance with the maximum limits shall be phased on a per building basis to account for the phasing of the development of the Project. If compliance is not achieved, the Applicant shall submit a plan outlining corrective measures to the City, subject to review and satisfaction of the Public Works Director. If the corrective measures fail to bring the Project into compliance within 90 days, the Applicant shall pay a fine in accordance with law as determined by the Public Works Director on a daily basis until the water usage is brought into compliance, or City's Public Works Director may prohibit the use of water for irrigation or enforce compliance as an infraction pursuant to Chapter 1.12 of the City's

Municipal Code until compliance with the water budget is achieved. Building 20 and Building 23 shall have separate water meters (or sub-meters) and plumbing systems and are not subject to the WSA water usage limits for Buildings 21-22 and the Hotel. Building 305 is part of the Project (interim phase only) and is subject to the water usage limits set forth by the WSA. Actual water usage associated with Building 22 shall include Building 305 toward the phased in water usage limits set forth in the WSA.

- 9.13 Stationary Noise Source Compliance Data: Concurrent with the Core and Shell building permit phase submittal for each individual building (or the equivalent permit submittal for the electric vehicle charging facility), the applicant shall provide a plan that details that all on-site stationary noise sources comply with the standards listed in Section 8.06.030 of the City's Noise Ordinance. This plan shall be subject to review and approval by the Planning and Building Divisions prior to each building permit issuance.
- 9.14 Compliance with City Requirements: The Applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the Project to the satisfaction of the Community Development Director.
- 9.15 Building Construction Street Impact Fee: Prior to issuance of each building permit, the Applicant shall pay the applicable Building Construction Street Impact Fee in effect at the time of payment, to the satisfaction of the Public Works Director. The amount of such fees may be reduced in the reasonable discretion of the Public Works Director depending on the extent to which construction vehicle traffic is occurring on City streets, and shall be subject to a credit for work performed in connection with Phases 5 and 6 of the Chilco Streetscape Improvements pursuant to the Amended Development Agreement.
- 9.16 School Impact Fee: Prior to issuance of each building permit, the Applicant shall pay the applicable School Impact Fee for the Project in effect at the time of payment, to the satisfaction of the Building Official.
- 9.17 West Bay Sanitary District Requirements: The Applicant shall comply with all regulations of the West Bay Sanitary District that are directly applicable to the Project to the satisfaction of the Building Official.
- 9.18 Menlo Park Fire Protection District Requirements: The Applicant shall comply with all Menlo Park Fire Protection District regulations governing site improvements, Fire Code compliance, and access verification that are directly applicable to the Project to the satisfaction of the Building Official.
- 9.19 Power and Communications Requirements: The Applicant shall comply with all regulations of PG&E and other applicable communication providers (i.e., AT&T and Comcast) that are directly applicable to the Project to the satisfaction of the Building Official.
- 9.20 Stormwater Operations and Maintenance Agreement: Prior to tentative occupancy for each building, the Applicant shall enter into, or amend the existing Operations and Maintenance Agreement with the City, as applicable. The Operations and Maintenance Agreement shall establish a self-perpetuating drainage system maintenance program (to be managed by the Applicant) that

includes annual inspections of any infiltration features and stormwater detention devices (if any), and drainage inlets, flow through planters, and other Best Management Practices (BMP). Any accumulation of sediment or other debris shall be promptly removed. Funding for long-term maintenance of all BMPs must be specified in the Operations and Maintenance Agreement. There may be separate Operations and Maintenance Agreements for each individual parcel within the Campus Expansion Project site, or one combined agreement as may be determined by the City and Applicant. The Operation and Maintenance Agreements shall be subject to review and approval of the City Attorney and the Public Works Director and shall be recorded prior to final inspection of the Tenant Improvement phase. An annual report documenting the inspection and any remedial action conducted shall be submitted to the Public Works Department for review. This condition shall be in effect for the life of the Project.

- 9.21 [Intentionally Deleted.]
- 9.22 Caltrans Approval: Prior to issuance of the building permit for the Building 21 Core and Shell phase the Applicant shall provide verification of Caltrans approval of the signalized intersection location as set forth in Section 8.2.
- 9.23 Improvements in the Caltrans Right-of Way: Prior to temporary occupancy of Building 21, the Applicant shall complete all Public ROW intersection improvements (inclusive of installation of the new traffic signal on Bayfront Expressway) and provide verification that Caltrans and the City has accepted the improvements, to the satisfaction of the Public Works Director.
- 9.24 Access and Improvements: Access points and all improvements on Bayfront Expressway are subject to the review and approval of Caltrans. Prior to submitting improvement plans to Caltrans, the Applicant shall submit plans to the Public Works Director for his/her review and approval prior to submittal to Caltrans.
- 9.25 Accessibility: All pedestrian pathways shall comply with applicable Federal and State accessibility requirements, to the satisfaction of the Public Works Director and Building Official.
- 9.26 On-site Pedestrian Deterrents: The on-site pedestrian deterrent materials and color shall be consistent with the materials and colors used for Building 20. If the pedestrian deterrent materials and color deviate from the approved materials and colors for Building 20, the revised proposal shall meet the satisfaction of the Public Works Director, Building Official and Menlo Park Fire Protection District.
- 9.27 Generator Screening: Consistent with Project Plans, the Applicant shall screen all generators prior to building permit final inspection for Tenant Improvements for each building, to the satisfaction of the Community Development Director.
- 9.28 Refuse and Recyclables: All garbage bins and carts shall be located within a trash enclosure that meets the requirements of the solid waste disposal provider (Recology), and the City Public Works Department and Planning Division for the lifetime of the Project. If additional trash enclosures are required to address the on-site trash bin and cart storage requirements of the Applicant, a complete

building permit submittal shall be submitted inclusive of detailed plans, already approved by Recology, for review and approval of the Planning Division and the Public Works Department prior to each building permit issuance.

- 9.29 Special Event Tents: The Applicant shall obtain required building and Fire District permits for erection of special event tents requiring such permits, to the satisfaction of the Building Official.
- 9.30 Special Events Tents, Roof: Use of a special event tent on the roof level is limited to single day events a maximum of eight times per calendar year for the Project Site, with the events occurring between the hours of 9 a.m. and 11 p.m. This condition applies only to Buildings 20-22. The set-up and break down of the tent shall not occur more than three days in advance of an event and shall be completed within three days of completion of said event. The tent shall be a maximum size of approximately 80 feet by 180 feet with a maximum vertical peak of 28 feet above the main roof level, for a maximum height of 73 feet above average natural grade for Building 20 and a maximum of 28 feet above the roof level for Buildings 21 and 22, to the satisfaction of the Building Official. Menlo Park Fire Protection District approval shall be required each time the tent is erected.
- 9.31 Alcoholic and Beverage Control: The Applicant shall ensure that all on-site suppliers of alcoholic beverages for the cafes/restaurants and special events contractors apply for and receive approval of the appropriate Alcoholic and Beverage Control (ABC) license prior to any on-site alcohol sales and/or service, to the satisfaction of the Community Development Director.
- 9.32 Leadership in Energy and Environmental Design (LEED): The Applicant will design the office buildings and hotel to perform to LEED 2009 Building Design and Construction (BD+C) Gold equivalency. The Applicant may satisfy this obligation by delivering a report from its LEED consultant. That report shall be submitted prior to or concurrent with issuance of TCO's for each respective building and is subject to approval by the Community Development Director (not to be unreasonably withheld or conditioned).
- 9.33 Lighting: Concurrent with building permit submittal for each individual building as appropriate, the Applicant shall submit a lighting plan, including photometric contours, manufacturer's specifications on the fixtures, and mounting heights to ensure safe access and to illustrate the light and glare do not spillover to neighboring properties, to the satisfaction of the Community Development Director and Public Works Director.
- 9.34 Transportation Demand Management Program: The Applicant shall implement a commercially reasonable Transportation Demand Management (TDM) Program to the satisfaction of the Public Works Director and Transportation Manager in order to satisfy the Trip Cap as outlined in Section 7.
- 9.35 Parking Intrusion: The Applicant shall actively work to prevent the parking of employee and visitor vehicles (whose occupant(s)' final destination is the Project Site) or private shuttles in adjacent neighborhoods, including, but not limited to, the Belle Haven neighborhood, on other public streets in the City, and on public streets in the City of East Palo Alto to the satisfaction of the Public Works

Director. The City reserves the right to require monitoring of neighborhood parking intrusions consistent with the specifications of the West Campus Trip Cap Monitoring and Enforcement Policy, attached hereto as Exhibit C and incorporated herein.

- 9.36 Primary Entrance Designation: The Applicant shall designate the two stoplight controlled entrances on Bayfront Expressway, the right-in only entrance on Bayfront Expressway, and the entry at the intersection of Constitution Drive and Chilco Street as the primary entrance points to the Project Site. Trucks serving Buildings 21 and 22 shall access the site via Constitution Drive, except for trucks serving multiple buildings within the Property which access the site via Willow Road. The use of the Willow Road entrance shall continue to be primarily used by Facebook shuttles, delivery and service vehicles, and emergency responders, with minimal access for single occupancy vehicles, to the satisfaction of the Public Works Director and Transportation Manager.
- 9.37 Transportation Impact Fee: Prior to building permit issuance for the Foundation Only Permit (Section 8.1), the applicant shall pay the Transportation Impact Fee per the direction of the Transportation Division in compliance with Chapter 13.26 of the Municipal Code. The current estimated total transportation impact fee is \$1,628,094.91, although the final fee shall be the fee in effect at the time of payment and shall be prorated per building. The Transportation Impact Fee escalates annually on July 1.
- 9.38 Relocation of the existing 30 inch on-site storm drain (Building 23): The Applicant shall relocate the existing on-site 30-inch storm drain line to Chilco Street, subject to the review and approval of the Building, Planning, and Engineering Divisions and prior to issuance of the Foundation Only Building Permit for Building 22 and the associated Parking Garage. Upon completion of the relocation, the Applicant may request abandonment of the City's easement recorded as part of the conditions of approval for Building 23 (300 Constitution Drive and identified in the recorded "Agreement Regarding Storm Drain Line.") If the applicant elects to utilize the remaining existing on-site storm drain line as a private storm drain line, then concurrent with the building permit submittal for Building 22, the applicant shall submit a plan for the relocation of the on-site storm drain line outside of the footprint of the deck structure associated with Building 23 as described above. The storm drain line shall be relocated, and the portion of the line to be abandoned shall be capped and filled, prior to temporary occupancy of Building 22.
- 9.39 Construction Equipment Emissions: Concurrent with the submittal of each individual building permit and/or sub-phase, the Applicant shall submit documentation of compliance with Tier 4 emissions standards for all off-road diesel engines used during construction, subject to review and approval of the Building and Planning Divisions. If Tier 4 emissions compliant pile rigs are not available, the Applicant may utilize modified Tier 2 and Tier 3 pile rigs, provided that documentation of consistency with Tier 4 emissions standards for the modified Tier 2 and Tier 3 pile rigs is submitted to the City. The Community Development Director shall review and determine that the modified pile rigs are consistent with Tier 4 emissions standards. City may periodically monitor compliance with this condition.

- 9.40 Construction Parking: Construction parking shall be accommodated per the Construction and Parking Phasing plans in the approved Project Plans.
- 9.41 Construction Hours: Typical construction hours shall be 7:00 a.m. to 10:00 p.m. Monday through Friday and from 8:00 a.m. to 5:00 p.m. on Saturdays. Construction activities taking place outside of the noise ordinance exemption work hours of 8:00 a.m. to 6:00 p.m. Monday through Friday are required to comply with the noise limitations set forth in Chapter 8.06 (Noise) of the municipal code. The Applicant shall not conduct any noise generating exterior building work or site work on Sundays or national holidays. Prior to the issuance of a building permit for each individual phase, the Applicant shall submit a construction work plan and acoustical analysis to the City documenting the expected work hours and compliance with the Noise Ordinance (Chapter 8.06) subject to review and approval of the Building and Planning Divisions.
- 9.42 Lot Line Adjustment: The Applicant has recorded the lot line adjustment with the County of San Mateo to relocate the property line along the eastern boundary of the TE Campus Parcel to the northwestern corner of the Project Site, creating a specific parcel for the Hotel.
- 9.43 Hazardous Materials: Hazardous materials, incidental to office and hotel uses, are permitted to be stored and used at the site. The applicant is required to submit all required documents for typical use permit applications involving hazardous materials (other than those that are incidental to office and hotel uses), including but not limited to the hazardous materials information form, generator supplemental information form, and chemical inventories to the Planning Division for review and routing to the outside reviewing agencies. The use and storage of hazardous materials (other than those that are incidental to office and hotel uses) shall not be permitted until the Planning Division receives approval from the Menlo Park Building Division, Menlo Park Fire Protection District, West Bay Sanitary District, and the San Mateo County Environmental Health Division. If approved by all outside agencies, the Community Development Director or his/her designee shall issue a letter authorizing the use and storage of hazardous materials. Hazardous materials associated with the current operations of TE within Building 305 are permitted as an existing use on-site. If operations substantially change prior to TE vacating the site, Applicant shall request that TE notify the Menlo Park Planning Division and provide documentation of approval of the modified hazardous materials inventory statement (HMIS) and hazardous materials business plan (HMBP) from the Menlo Park Fire Protection District and San Mateo County Environmental Health Division.
- 9.44 Caltrans Maintenance Agreements: If Caltrans requires any of the improvements to be constructed within the Caltrans right-of-way associated with the Project, including but not limited to the Bicycle and Pedestrian Bridge Improvements, to be maintained by the City, the Applicant shall enter into a maintenance agreement with the City to maintain those improvements, at the sole cost and responsibility of the Applicant. Such maintenance agreement shall be recorded and shall be binding on property owners and run with the land.
- 9.45 Lease Agreement with TE Connectivity (Building 305): Applicant has a lease agreement with TE Connectivity (TE) for Building 305. The expiration date for this lease agreement is September 4, 2022, although it may be earlier terminated by

TE. Applicant shall not for any reason extend the lease with TE for Building 305 beyond September 4, 2022.

- 9.46 Occupancy of Building 305: Upon expiration or earlier termination of the current lease agreement with TE, Applicant shall not enter into a new agreement with TE or any other entity to occupy Building 305, including any temporary uses of Building 305 between the date TE vacates Building 305 and the demolition of the building as required in Section 9.47. The intent of this Section is to prevent delays in the demolition of Building 305. This Section only applies to Building 305 (and not other portions of the property including other buildings located on the property) and will automatically terminate once Building 305 has been demolished.
- 9.47 Demolition of Building 305: Within one year from the date that the current lease with TE terminates or expires and TE vacates Building 305, but no later than September 4, 2023, Applicant shall demolish Building 305 in its entirety. Applicant shall obtain all necessary permits for the demolition. If Applicant diligently pursues demolition of Building 305 but is delayed for reasons beyond its control (e.g., force majeure), Applicant's deadline for demolishing Building 305 shall be equitably extended, subject to the approval of the City Manager which shall not be unreasonably withheld. Applicant agrees to use commercially reasonable efforts to cause TE to timely secure any environmental close-outs that TE must perform in order for Applicant to pursue demolition of Building 305.
- 9.48 The Applicant shall comply with Mitigation Measure BIO-1 of the ConnectMenlo General Plan Update Mitigation Monitoring and Reporting Program to ensure that any potential impacts of the Project on the Refuge (north of the site) are mitigated. BIO-1 shall apply to all phases of the Project as applicable and compliance shall be documented by the Applicant concurrent with building permit submittal for each phase and reviewed and accepted by the Planning Division.
- 9.49 Based on soils samples at the site, it is not expected that the California Department of Toxic Substance Control (DTSC) would require a vapor barrier for Building 22. However, the Applicant has voluntarily agreed to install a vapor barrier under Building 22. This barrier shall be installed to the satisfaction of the Building and Planning Divisions.
- 9.50 Prior to issuance of building permits for the parking garage and Building 22, the Applicant shall provide documentation of abandonment or relocation of all easements within the footprints of each structure, subject to review and approval of the Planning and Engineering Divisions.
- 9.51 Concurrent with the submittal of a complete building permit application for the parking garage, the applicant shall incorporate the proposed modifications to the parking garage structure contained in Attachment L of the November 7, 2017 City Council staff report. The proposed revisions to the parking garage structure would be subject to review and approval of the Community Development Director or designee.
- 9.52 Should the refinements to the parking garage, required in Item 9.51, result in modifications to the garage that reduce the number of parking spaces provided in the Interim Phase, the Community Development Director, after consultation with the Public Works Director, may approve the temporary reduction in on-site

parking provided that the number of spaces proposed to be deferred to the Final Phase is appropriate. Applicant shall submit documentation showing a conceptual parking plan for the Final Phase that would comply with the minimum parking requirements identified in this CDP. Should parking issues arise during the Interim Phase, the Public Works Director may request that the Applicant provide the required parking, or a portion thereof, on site. The location of the parking shall be submitted by the Applicant and approved by the Public Works Director.

10. PROJECT SPECIFIC CONDITIONS - UNDERCROSSING IMPROVEMENTS

10.1 Public Access Easements: The Applicant shall continue to maintain the public access easement(s) under Bayfront Expressway near Willow Road for utilization of the undercrossing by members of the public.

10.2 Stormwater Operations and Maintenance Agreement: The Applicant shall continue to comply with the West Campus Undercrossing Improvements Operations and Maintenance Agreement. The Operations and Maintenance Agreement establishes a self-perpetuating drainage system maintenance program (to be managed by the property owner or property manager) that includes annual inspections of any infiltration features and stormwater detention devices (if any), and drainage inlets, flow through planters, and other BMPs. Any accumulation of sediment or other debris shall be promptly removed. Funding for long-term maintenance of all BMPs is specified in the Operations and Maintenance Agreement. An annual report documenting the inspection and any remedial action conducted shall continue to be submitted to the Public Works Director for review.

11. PROJECT SPECIFIC CONDITIONS - BICYCLE AND PEDESTRIAN BRIDGE

11.1 Sequencing Bicycle and Pedestrian Bridge over Bayfront Expressway: The following outlines the basic sequencing of required permits and construction related to the Bicycle and Pedestrian Bridge over Bayfront Expressway and the design and construction of the publicly accessible open space, as identified in the Project Plans.

- i. Bonding: The Applicant shall post a bond to complete the Conceptual Bicycle and Pedestrian Bridge Improvements depicted in the plan set associated with Caltrans Encroachment permit number EA 2K590 to be drawn on if the Project is not developed as anticipated.
 1. A cost estimate for the construction of the Bicycle and Pedestrian Bridge Improvements shall be provided to the City on the Effective Date of the Second Amended and Restated Development Permit as defined in section 5.2 for review and approval of the Public Works Director.
 2. A bond for 200% of the approved cost estimate shall be posted within 30 days of the Effective Date of the Second Amended and Restated Conditional Use Permit as defined in section 5.2, unless Applicant has already posted a bond pursuant to the original Amended and Restated Conditional Development Permit.

- 11.2 City Approval: The Applicant shall apply for City approval of the Bicycle and Pedestrian Bridge and Public Open Space as follows:
- 11.2.1 Submit a substantially complete set of Bicycle and Pedestrian Bridge Improvement plans to the City concurrent with the building permit submittal for the Core and Shell phase for Building 21. For purposes of this Section 11.2.1, "substantially complete" shall mean 65% structural plans and details.
- 11.2.2 Outside Agency Approval: Submit applications to applicable outside agencies within 30 days of City approval of the Bicycle and Pedestrian Bridge Improvement plans, and diligently pursue approvals from those outside agencies. Applicable agencies with permitting authority for the Bicycle and Pedestrian Bridge Improvements include:
- Caltrans;
 - Pacific Gas and Electric (PG&E);
 - U.S. Fish and Wildlife Service; and
 - Other Agencies with Jurisdiction.
- 11.2.3 Submit documentation of approval from the agencies with permitting authority for the Bicycle and Pedestrian Bridge to the City for review and confirmation by the City Building Official and Public Works Director prior to issuance of a building permit for the Bicycle and Pedestrian Bridge.
- 11.3 Caltrans Approval: Prior to building permit issuance for the Bicycle and Pedestrian Bridge Improvements, the Applicant shall submit all necessary improvement plans and documents required by Caltrans for work associated with the Project and under their jurisdiction. The design plans shall be subject to review and approval of the Public Works Director prior to submittal to Caltrans. The Applicant shall diligently pursue permitting approval to the satisfaction of the Public Works Director. Upon Caltrans approval and the approval of any other agencies, including the USFWS and/or the Refuge, with jurisdiction over the Bicycle and Pedestrian Bridge Improvements, the Applicant shall exercise good faith efforts to diligently construct the bridge and associated improvements prior to granting occupancy for Building 22. Construction of the bridge and associated improvements shall be subject to all avoidance and minimization measures imposed by USFWS and/or the Refuge during the permitting process to ensure that any impacts on the Refuge or wildlife are minimized.
- 11.4 Pacific Gas and Electric (PG&E): Prior to building permit issuance for the Bicycle and Pedestrian Bridge Improvements, the Applicant shall submit all necessary improvement plans and documents required by Pacific Gas and Electric (PG&E) for work associated with the Project and under PG&E's jurisdiction, including, but not limited to bridge location and separation between the high voltage power lines. The plans shall be submitted to the Public Works Director for review and approval prior to submittal to PG&E. The Applicant shall

diligently pursue permitting approval to the satisfaction of the Public Works Director.

- 11.5 U.S. Fish and Wildlife Service (USFWS): Prior to building permit issuance for the Bicycle and Pedestrian Bridge Improvements, the Applicant shall submit all necessary improvement plans and documents required by U.S. Fish and Wildlife Service (USFWS) for work associated with the Project and under the USFWS jurisdiction, including, but not limited to touchdown of the bridge adjacent to the Don Edward's Wildlife Refuge (Refuge) and the overlook on the northern side of the Bay Trail, encroachment permits for construction staging, realignment of the Bay Trail to the north into the Refuge's right of way to provide east-west connectivity around the bridge's northern ramp, and potentially a low Bay Trail fence. The plans shall be submitted to the Public Works Director for review and approval prior to submittal to USFWS. The Applicant shall diligently pursue permitting approval to the satisfaction of the Public Works Director.
- 11.6 Bay Trail Project Coordination: Prior to building permit issuance for the Bicycle and Pedestrian Bridge Improvements, the Applicant shall work cooperatively with the Bay Trail Project on the design of the Bicycle and Pedestrian Bridge Improvements to ensure that the bridge touchdown is compliant with the Bay Trail requirements to the maximum extent practicable, all to the satisfaction of the Public Works Director.
- 11.7 Public Access: Concurrent with complete plan set submittal for construction of the Bicycle and Pedestrian Bridge Improvements, the Applicant shall submit a plat and legal description for a public access easement(s) for utilization of the Bicycle and Pedestrian Bridge to the satisfaction of the Public Works Director. The form of public access easement shall permit Applicant to establish reasonable rules and regulations governing its use and to temporarily suspend access to the Bicycle and Pedestrian Bridge in case of emergencies. The acceptance of the deed or dedication requires Menlo Park City Council approval prior to occupancy of Building 22.
- 11.8 Utility Improvements: Concurrent with building permit submittal for the Bicycle and Pedestrian Bridge Improvements, the Applicant shall submit a plan for any new utility installations or upgrades for review and approval of the Community Development Director and Public Works Director prior to building permit issuance. Landscaping shall properly screen all utility equipment that is installed outside of a structure or building and cannot be placed underground; subject, however, to the requirements of the Menlo Park Fire Protection District, the West Bay Sanitary District, PG&E and any other applicable agencies regarding utility clearances and screening. The plan for new utility installations/upgrades shall show exact locations of all meters. The screening shall be compatible and unobtrusive and subject to the review and approval of the Community Development Director prior to building permit issuance.
- 11.9 Grading and Drainage: Concurrent with building permit submittal for the Bicycle and Pedestrian Bridge Improvements, the applicant shall submit a Grading and

Drainage Plan, including an Erosion and Sedimentation Control Plan, for review and approval by the Engineering Division prior to building permit issuance. The Grading and Drainage Plan shall be prepared based on the City's Grading and Drainage Plan Guidelines and Checklist, the City approved Hydrology Report for the Project, and the Project Applicant Checklist for the National Pollution Discharge Elimination System (NPDES) Permit Requirements to the satisfaction of the Public Works Director.

- 11.10 Lighting: Concurrent with building permit submittal for the Bicycle and Pedestrian Bridge Improvements, the Applicant shall submit a lighting plan, including photometric contours, manufacturer's specifications on the fixtures, and mounting heights to ensure safe access and to illustrate the light and glare do not spillover beyond the extent of the pathway on the Bicycle and Pedestrian Bridge and the access to the bridge, subject to the satisfaction of the Community Development Director and Public Works Director.
- 11.11 Comply with Applicable Requirements: The Applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the Project, to the satisfaction of the Community Development Director.
- 11.12 Building Construction Street Impact Fee: Prior to issuance of the building permit for the Bicycle and Pedestrian Bridge Improvements, the Applicant shall pay the applicable building construction street impact fee in effect at the time of payment to the satisfaction of the Public Works Director. The amount of such fees may be reduced in the reasonable discretion of the Public Works Director depending on the extent to which construction vehicle traffic is occurring on City streets, and shall be subject to a credit for work performed in connection with Phases 5 and 6 of the Chilco Streetscape Improvements pursuant to the Amended Development Agreement for 301-309 Constitution Drive.
- 11.13 Utility and Communication Provider Requirements: As applicable, the Applicant must comply with all regulations of Pacific Gas and Electric, West Bay Sanitary District and other applicable communication providers (i.e., AT&T and Comcast) that are directly applicable to the Project, to the satisfaction of the Community Development Director.
- 11.14 Operations and Maintenance Agreement: Prior to approval of building permit final for the Bicycle and Pedestrian Bridge Improvements, the Applicant shall enter into an Operations and Maintenance Agreement with the City. Alternatively, an existing Operation and Maintenance Agreement may be amended to include the Bicycle and Pedestrian Bridge. The Operations and Maintenance Agreement shall establish a self-perpetuating drainage system maintenance program (to be managed by the Property Owner or property manager) that includes annual inspections of any infiltration features and stormwater detention devices (if any), and drainage inlets, flow through planters, and other BMPs. Any accumulation of sediment or other debris shall be promptly removed. Funding for longterm maintenance of all BMPs must be specified in the Operations and Maintenance Agreement. The Operation and Maintenance Agreement shall be subject to

review and approval of the City Attorney and the Public Works Director and shall be recorded prior to building permit final inspection. An annual report documenting the inspection and any remedial action conducted shall be submitted to the Public Works Director for review.

- 11.15 Maintenance Agreement: Prior to approval of building permit final inspection for the Bicycle and Pedestrian Bridge Improvements, the Applicant shall enter into a Maintenance Agreement with the City to maintain the Bicycle and Pedestrian Bridge, including but not limited to typical cleaning and repairs, at the Applicant's sole cost. This long-term Maintenance Agreement shall provide that at the end of the useful life of the improvements, Applicant shall have the right to demolish the improvements and shall have no obligation to replace or reconstruct the improvements.
- 11.16 Construction and Demolition Debris: As applicable, the Applicant shall comply with the requirements of Chapter 12.48 (Salvaging and Recycling of Construction and Demolition Debris) of the City of Menlo Park Municipal Code, subject to review and approval by the Community Development Director or his/her designee.
- 11.17 Erosion and Sedimentation Control: Concurrent with building permit submittal for the Bicycle and Pedestrian Bridge Improvements, the Applicant shall submit a plan for construction of safety fences around the periphery of the construction area and a demolition Erosion and Sedimentation Control Plan. The fences and erosion and sedimentation control measures shall be installed according to the plan prior to commencing construction. The plans shall be reviewed and approved by the Community Development Director or his/her designee prior to issuance of a demolition permit.
- 11.18 Construction: Construct the Bicycle and Pedestrian Bridge prior to the occupancy of Building 22.
- 11.19 Building Permit Final: All building permits associated with the Bicycle and Pedestrian Bridge Improvements shall receive final inspection approval from the City prior to granting occupancy for Building 22 to the satisfaction of the Public Works Director and Community Development Director or his/her designee.
- 11.20 Extensions: If Applicant diligently pursues approval from the outside agencies but is delayed in obtaining approval and subsequently construction is delayed due to no fault or lack of diligence on the part of the Applicant, Applicant's obligations to construct the Pedestrian and Bicycle Bridge Improvements shall be extended automatically, subject to the approval of the City Manager which shall not be unreasonably withheld. In addition, the City Manager may extend the timeline for delivery of the Bicycle and Pedestrian Bridge due to construction delays due to circumstances outside the Applicant's reasonable control. In reviewing the request to extend the timeline for delivery, the City Manager shall consider evidence from the Applicant of a good faith effort to complete construction of the bridge prior to occupancy of Building 22.

12. PROJECT SPECIFIC CONDITIONS - PUBLIC OPEN SPACE

- 12.1 Sequencing Public Open Space: The following outlines the basic sequencing of required permits and review for the Publicly Accessible Open Space as identified in the Project Plans.
- 12.1.1 The Publicly Accessible Open Space shall be constructed in two phases. The first phase (interim) shall be constructed prior to occupancy of Building 22 and the second phase (final) shall be constructed within 18 months of the date the current lease with TE for Building 305 terminates or expires and TE vacates Building 305, but in no event later than March 4, 2024.
- 12.2 City Approval: The Applicant shall submit the landscape and site improvement plans for the interim phase of the proposed Publicly Accessible Open Space concurrent with the submittal of the building permit for the Grading and Drainage phase for Building 22. The landscape and site improvements plans for the final phase shall be submitted concurrent with the demolition permit for Building 305. The applicant shall submit the plans as follows:
- 12.2.1 Submit complete set of interim phase of the Public Open Space Improvement plans to the City concurrent with the Grading and Drainage building permit phase for Building 22, and submit a complete plan set for the final phase concurrent with the submittal of a demolition permit for Building 305.
- 12.2.2 The project plans for each phase shall identify the location of all structures, hardscaping, and landscaping, and shall be accompanied by a project description letter documenting conformance with the approved site plan and this Amended and Restated Conditional Development Permit.
- 12.2.3 The design of the Publicly Accessible Open Space shall be reviewed and approved by the Community Development Director and Public Works Director.
- 12.2.4 The City shall expeditiously process and review the permit plans for the Publicly Accessible Open Space.
- 12.2.5 The Applicant shall construct and complete the interim Publicly Accessible Open Space concurrent with Building 22, specifically with the Landscaping building permit phase associated with Building 22. However, the permit for the Publicly Accessible Open Space can be issued separately from the building permits for Building 22.
- 12.2.6 Final Inspection and/or temporary occupancy for Building 22 shall not be granted by the City until the interim Publicly Accessible Open Space is completed to the satisfaction of the Public Works Director and Community Development Director.

- 12.2.7 The final phase of the Publicly Accessible Open Space shall be completed within 18 months of the date the current lease with TE for Building 305 terminates or expires and TE vacates Building 305, but in no event later than March 4, 2024. If Applicant diligently pursues completion of Phase 2 but is delayed due to no fault or lack of diligence on the part of the Applicant, Applicant's obligation shall be extended automatically, subject to the approval of the City Manager which shall not be unreasonably withheld.
- 12.3 Public Access Irrevocable License: Concurrent with complete plan set submittal for the interim and final phase permits for the Publicly Accessible Open Space, respectively, the Applicant shall submit a plat and legal description and proposed form of irrevocable license for public utilization of the Publicly Accessible Open Space to the satisfaction of the Public Works Director and City Attorney. The form of irrevocable license shall ensure that Applicant has reasonable control over the public open space.
- 12.3.1 Interim Phase: The irrevocable license agreement requires City Manager approval and shall be recorded with the County of San Mateo prior to final inspection for the Tenant Improvements building permit phase for Building 22.
- 12.3.2 Final Phase: Upon demolition of Building 305 and submittal of the plans for the full extent of the Publicly Accessible Open Space, the Applicant shall submit an amended and restated irrevocable license for the public utilization of the full extent of the Publicly Accessible Open Space in substantially the same form as the irrevocable license recorded for the interim phase and to the satisfaction of the City Attorney. The amended and restated irrevocable license agreement requires City Manager approval and shall be recorded with the County of San Mateo. The irrevocable license shall be approved and recorded prior to completion of the final phase of the Publicly Accessible Open Space.
- 12.4 Utility Improvements: Concurrent with the permit submittal for the improvement plans for each phase of the Publicly Accessible Open Space, the Applicant shall submit a plan for any new utility installations or upgrades within the public open space for review and approval of the Community Development Director and Public Works Director prior to permit issuance. Landscaping shall properly screen any utility equipment that is installed outside of a structure/building and cannot be placed underground; subject, however, to the requirements of the Menlo Park Fire Protection District, the West Bay Sanitary District, PG&E and any other applicable agencies regarding utility clearances and screening. The plan for new utility installations/upgrades shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes and other equipment boxes. The screening shall be compatible and unobtrusive and subject to the review and approval of the Community Development Director prior to landscaping and site improvement permit issuance.

- 12.5 Grading and Drainage: Concurrent with permit submittal for each phase of the Publicly Accessible Open Space, the applicant shall submit a Grading and Drainage Plan, including an Erosion and Sedimentation Control Plan, for review and approval by the Engineering Division prior to building permit issuance. The Grading and Drainage Plan shall be prepared based on the City's Grading and Drainage Plan Guidelines and Checklist, the City approved Hydrology Report for the Project, and the Project Applicant Checklist for the National Pollution Discharge Elimination System (NPDES) Permit Requirements to the satisfaction of the Public Works Director.
- 12.6 Landscape Plan: Concurrent with permit submittal for each phase of the Publicly Accessible Open Space, the Applicant shall submit a detailed on-site landscape plan, including the size, species, and location, and an irrigation plan for review and approval by the Community Development Director and Public Works Director. The landscape plan shall include all onsite landscaping, adequate sight distance visibility, screening for outside utilities with labels for the utility boxes sizes and heights, fencing inclusive of fence height and materials, and documentation confirming compliance with the Water Efficient Landscaping Ordinance (Municipal Code Chapter 12.44), if applicable. If heritage tree replacements are proposed, the plans shall document the species, size, and number for compliance with the Amended and Restated Conditional Development Permit, subject to review and approval of the City Arborist and Planning Division. The landscape plan shall include an appropriate mix of native and adapted species to complement the nearby Don Edwards San Francisco Bay National Wildlife Refuge and shall be reviewed and approved by the Community Development Director and Public Works Director prior to building permit issuance.
- 12.7 Lighting: Concurrent with the permit submittal for each phase of the Publicly Accessible Open Space, the Applicant shall submit a lighting plan, including photometric contours, manufacturer's specifications on the fixtures, and mounting heights to ensure safe access and to illustrate the light and glare do not spillover to neighboring properties, to the satisfaction of the Community Development Director and Public Works Director.
- 12.8 Comply with Applicable Requirements: The Applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project, to the satisfaction of the Community Development Director.
- 12.9 Building Construction Street Impact Fee: Prior to issuance of the building permit for each phase of the Publicly Accessible Open Space, the Applicant shall pay the applicable building construction street impact fee in effect at the time of payment to the satisfaction of the Public Works Director. The amount of such fees may be reduced in the reasonable discretion of the Public Works Director depending on the extent to which construction vehicle traffic is occurring on City streets, and shall be subject to a credit for work performed in connection with Phases 5 and 6 of the Chilco Streetscape Improvements pursuant to the Amended Development Agreement.

- 12.10 Utility and Communication Provider Requirements: The Applicant must comply with all regulations of Pacific Gas and Electric, West Bay Sanitary District and other applicable communication providers (i.e., AT&T and Comcast) that are directly applicable to the Project, to the satisfaction of the Community Development Director.
- 12.11 Stormwater Operations and Maintenance Agreement: Prior to permit final for each phase of the Publicly Accessible Open Space, the Applicant shall enter into an Operations and Maintenance Agreement with the City or amend the previous agreement for the Bicycle and Pedestrian Bridge. The Operations and Maintenance Agreement shall establish a self-perpetuating drainage system maintenance program (to be managed by the property owner or property manager) that includes annual inspections of any infiltration features and stormwater detention devices (if any), and drainage inlets, flow through planters, and other BMPs. Any accumulation of sediment or other debris shall be promptly removed. Funding for long-term maintenance of all BMPs must be specified in the Operations and Maintenance Agreement. The Operation and Maintenance Agreement or amended agreement, shall be subject to review and approval of the City Attorney and the Public Works Director and shall be recorded prior to building permit final inspection. An annual report documenting the inspection and any remedial action conducted shall be submitted to the Public Works Director for review.
- 12.12 Construction and Demolition Debris: If applicable, the Applicant shall comply with the requirements of Chapter 12.48 (Salvaging and Recycling of Construction and Demolition Debris) of the City of Menlo Park Municipal Code, subject to review and approval by the Building Official.
- 12.13 Erosion and Sedimentation Control: Concurrent with building permit submittal for each phase of the Publicly Accessible Open Space, the Applicant shall submit a plan for construction of safety fences around the periphery of the construction area and a Demolition Erosion and Sedimentation Control Plan. The fences and erosion and sedimentation control measures shall be installed according to the plan prior to commencing construction. The plans shall be reviewed and approved by the Building Official prior to issuance of a demolition permit.
- 12.14 Building Permit Final: All building or landscaping permits associated with the interim phase of the Publicly Accessible Open Space PAOS shall receive final inspection approval prior to issuance of temporary occupancy or building permit final for the Tenant Improvements building permit phase for Building 22. All building or landscaping permits associated with the final phase of the Publicly Accessible Open Space shall receive final inspection approval no later than 18 months after the date the current lease with TE terminates or expires and TE vacates Building 305, but in no event later than March 4, 2024.
- 12.15 Extensions and Sequencing Modifications: If Applicant diligently pursues approval of the Publicly Accessible Open Space but is delayed in obtaining

approval due to no fault or lack of diligence on the part of the Applicant, the City Manager has the authority to extend the timeline for completion of each phase of the Publicly Accessible Open Space for a reasonable period of time. In addition, the City Manager may extend the timeline for delivery of the Publicly Accessible Open Space due to construction delays due to circumstances outside the Applicant's reasonable control. In reviewing the request to extend the timeline for delivery, the City Manager shall consider evidence from the Applicant of a good faith effort to construct the interim Publicly Accessible Open Space prior to issuance of the Foundation Only building permit phase for Building 22, and to construct the final phase before 18 months from the date the current lease with TE terminates or expires and vacates Building 305.

13. PROJECT SPECIFIC CONDITIONS - ON-SITE RECYCLED WATER

- 13.1 Timing: Prior to issuance of the Foundation Only building permit for Building 21, the Applicant shall submit documentation to the City's Building Official of compliance with State and Local requirements for the on-site water recycling facility. State and local approvals shall be submitted prior to issuance of the Tenant Improvement building permit.
- 13.2 City Submittal Requirements: Concurrent with the submittal of the Foundation Only building permit phase for Building 21, the following items shall be submitted to the Community Development Director or his/her designee for review and determination of the use of alternate means and methods:
- 13.2.1 Description of On-site System: The submittal package for the on-site water recycling system shall include a description of the proposed system, including but not limited to the following documentation: Treatment technology and level of treatment, compliance with State regulations (not approvals), system capacity, maintenance and operational plans, flood protection measures, and recycled water uses.
- 13.2.2 Project Plan Set: Concurrent with the submittal of the Building 21 Foundation Only building permit phase, the Applicant shall submit the schematic design plan set for the proposed on-site wastewater treatment system to the City. The plan set should document the location of the membrane bio-reactor (MBR) or the constructed drain and fill wetlands, and document how the proposed on-site wastewater system would be designed and operated. The plans shall show the locations for recycled water usage, including irrigation emitter types, and hours of operation for the irrigation system.
- 13.2.3 California State Water Board Permit: Concurrent with the submittal of the building permit application, the Applicant shall submit a copy of the Water Reuse Permit application to the California Regional Water Quality Control Board, San Francisco Bay Region (Water Board) - Division of Drinking Water and Watershed Management Division.

- 13.3 Building Permit Review and Determination: The Community Development Director or his/her designee will be responsible for evaluating the permit plans and documents submitted by the Applicant. The Community Development Director has authority to grant the use of alternate means and methods for the on-site recycled wastewater system. Prior to issuing a building permit for the on-site recycled water system, a copy of the approved Water Reuse Permit for the Project must be submitted to the City for the Community Development Director's review.
- 13.4 Construction: The Applicant shall construct the onsite water treatment system and obtain all required approvals and inspections from the City and other agencies of jurisdiction prior to building permit final for the Tenant Improvements phase of Building 21. The on-site treatment system shall be constructed in accordance with the approved building permit plans, subject to review and approval of the Community Development Director or his/her designee.
- 13.5 Maintenance And Operations Agreement: Prior to final inspection of the Tenant Improvements phase of the building permit for Building 21, the Applicant shall enter into an agreement for the operation and maintenance of the system or similar instrument to require the Applicant to consistently maintain and operate the system in compliance with the building permit from the City and the permits from the Department of Water Resources and/or County of San Mateo Environmental Health. The form of agreement shall be subject to review and approval of the City Attorney, Community Development Director, and the Public Works Director and shall be recorded prior to final inspection of the Tenant Improvements phase or temporary occupancy for Building 21. An annual report documenting the inspection record and compliance with City, County, and State requirements shall be submitted to the City for the Community Development Director's and Public Works Director's review for compliance. Applicant shall have the right to decommission the recycled water system in the future provided that the Applicant demonstrates that recycled water will be used for landscaping and other non-potable uses via an alternative means (e.g., connecting the office buildings to a recycled water system operated by the City and/or West Bay Sanitary District).
- 13.6 Extensions and Sequencing Modifications: If Applicant diligently pursues approval of the on-site recycled water system but is delayed in obtaining approval due to no fault or lack of diligence on the part of the Applicant, the City Manager has the authority to extend the timeline for submitting documentation of State and local approvals until after issuance of the Tenant Improvement building permit and to extend the timeline for completion of the on-site recycled water system for a reasonable period of time. In addition, the City Manager may extend the timeline for installation of the on-site recycled water system due to construction delays due to circumstances outside the Applicant's reasonable control. In reviewing the request to extend the timeline for delivery, the City Manager shall consider evidence from the Applicant of a good faith effort to obtain approvals to construct the on-site recycled water system and shall ensure that if temporary occupancy is granted to Building 21, adequate safeguards shall be in place to ensure that only potable water is used in the building's plumbing

fixtures. If Applicant is unable to obtain all permits necessary to construct and operate an on-site recycled water system, Applicant shall comply with requirements set forth in Section 12 of the Amended Development Agreement.

14. PROJECT SPECIFIC CONDITIONS - ACCESS PARCEL (FACEBOOK WAY)

- 14.1 Recordation: The Lot Line Adjustment that established an Access Parcel (055-260-997) and a Main Parcel (055-260-290) for Building 20, including the private road name for the Project Site, shall be maintained as part of the Lot Line Adjustment between Parcel Numbers 055-260-250 and 055260-290.
- 14.2 Common Ownership: The Access Parcel (055-260-997) and a Main Parcel (055-260-290) shall remain in common ownership in perpetuity, to the satisfaction of the Public Works Director.
- 14.3 Road Naming: The name of the private road (Facebook Way) shall be maintained per the previously recorded lot line adjustment. Future changes to the road name shall require the applicant to submit a plat map and legal description specifying the new road name for the review of the Public Works Director, and said document shall be recorded, or the applicant shall comply with such other procedures as the Public Works Director determines in his/her reasonable discretion. The provided documentation shall be subject to review and approval of the Building Official, Public Works Director, and Menlo Park Fire Protection District.
- 14.4 Access Parcel Use: The Access Parcel shall be solely for road purposes and provision of vehicular, bicycle and pedestrian access, and shall be an unbuildable parcel. No permanent or temporary structures are permitted to encroach into the access parcel, in perpetuity, to the satisfaction of the Public Works Director and Building Official.

15. PROJECT SPECIFIC CONDITIONS – HOTEL

- 15.1 Hotel Project Plans: The hotel building shall be substantially in conformance with the plans submitted with the formal architectural control application by Gensler dated January 20, 2020, recommended for approval to the City Council by the Planning Commission on January 13, 2020, and approved by the City Council on February 11, 2020, except as may be modified by in accordance with Section 6 (Modifications) of this Third Amended and Restated Conditional Development Permit.
- 15.2 Exterior Hotel Artwork: Design review for the façade mounted hotel artwork is required for the hotel building as follows:
- 15.2.1 The design application for the exterior hotel artwork shall identify the location, size, and specific design of the proposed exterior façade mounted artwork. The design application shall further identify any exterior lighting sources and document compliance with the adopted Mitigation Monitoring and Reporting Program from the certified EIR for the Facebook Campus Expansion

Project. The Planning Commission shall review the size, location, lighting and other design specifications and take action at a public meeting based on conformance with this Third Amended and Restated Conditional Development Permit.

15.2.2 The Hotel Operator shall conduct community outreach to the satisfaction of the Community Development Director for the exterior façade mounted artwork with the goal of ensuring that the selected artwork reflects the values and input of the community. The artwork selected as a result of the community outreach process shall not be subject to Planning Commission review, unless otherwise requested by the Community Development Director. Installation of the community selected artwork shall conform to the size, location, lighting and other design specifications approved by the Planning Commission.

15.2.3 The Hotel Operator shall obtain all necessary building permits for the installation of the façade mounted artwork and the artwork shall be installed prior to occupancy of the Hotel.

15.2.4 Future material modifications to the façade mounted artwork, size, lighting, location or other design specification shall be subject to the design review process identified in this Third Amended and Restated Conditional Development Permit.

15.3 Shared Parking Agreement: Prior to occupancy of the Hotel, the Hotel Operator and the Applicant shall enter into a shared parking agreement that runs with the land that allows the Hotel to use a minimum of 127 parking spaces within the parking structure for Building 22. The shared parking agreement shall be reviewed and approved by the City's Community Development Director and Public Works Director and shall be recorded with the San Mateo County Recorder's Office. The parking agreement shall be binding on current and future occupants of the Project Site.

15.4 Transportation Impact Fee: The original Project approval included a 200-room hotel. These 200 hotel rooms are subject to the prior Transportation Impact Fee rate in place as of the Effective Date of the Development Agreement, consistent with Section 3.4 of the Development Agreement, with automatic increases based on consumer price index or other method. The Hotel Modifications include an additional 40 rooms beyond the original Project approval for 200 rooms. The Hotel Operator shall pay the new Transportation Impact Fee in place at the time of building permit issuance for the Hotel for the 40 additional rooms.

15.5 Delivery schedules for truck deliveries serving the hotel building shall be developed to minimize conflicts with hotel guest traffic and wayfinding signage for hotel guests to and from the parking garage shall be provided, subject to review and approval of the Transportation Division.

- 15.6 If the City develops a Transportation Management Association (TMA) that includes the Project Site, the Hotel Operator shall make a good faith effort to participate in the TMA.
- 15.7 All public right-of-way improvements, if any, including frontage improvements and the dedication of easements and public right-of-way associated with the Hotel, shall be completed to the satisfaction of the Engineering Division prior to hotel building permit final inspection.
- 15.8 Prior to commencing any work within the right-of-way or public easements, the Hotel Operator shall obtain an encroachment permit from the appropriate reviewing jurisdiction.
- 15.10 During the design phase of the construction drawings for the Hotel, all potential utility conflicts shall be potholed with actual depths and recorded on the improvement plans, submitted for City review and approval.
- 15.12 Simultaneous with the submittal of a complete building permit application, the Hotel Operator shall submit a Hydrology Report substantiating that on-site flows will not exceed existing conditions as a result of the proposed improvements on the Hotel parcel. The Hydrology report will be subject to review and approval by the Engineering Division.
- 15.13 Prior to building permit issuance for the Hotel, the Hotel Operator shall submit a finalized version of the Stormwater Control Plan, which shall provide stormwater treatment for the Hotel parcel pursuant to the latest regulations specified in the San Mateo County C.3 Technical Guidance Manual. The Stormwater Control Plan shall include a written report identify existing and proposed project conditions, and all applicable source controls, and mitigation measures (i.e. bioretention areas, flow through planters, etc.) implemented to meet NPDES compliance. The Stormwater Control Plan is subject to review and approval by the Engineering Division.
- 15.14 Simultaneous with the submittal of a complete building permit application, the Hotel Operator shall provide documentation indicating the amount of irrigated landscaping. If the Hotel proposes more than 500 square feet of irrigated landscaping, it is subject to the City's Water Efficient Landscaping Ordinance (Municipal Code Chapter 12.44). Submittal of a detailed landscape plan would be required concurrently with the submittal of a complete building permit application and would be subject to review and approval by the Engineering Division.
- 15.15 If construction is not complete by the start of the wet season (October 1 through April 30), the Hotel Operator shall implement a winterization program to minimize the potential for erosion and sedimentation. As appropriate to the site and status of construction, winterization requirements shall include inspecting/maintaining/cleaning all soil erosion and sedimentation controls prior to, during, and immediately after each storm event; stabilizing disturbed soils through temporary or permanent seeding, mulching, matting, tarping or other physical means; rocking unpaved vehicle access to limit dispersion of much onto public right-of-way; and covering/tarping stored construction materials, fuels, and other chemicals. Plans to include proposed measures to prevent erosion and polluted runoff from all site conditions shall be submitted for review and approval of the Engineering Division prior to beginning construction.

- 15.16 The Hotel Operator shall retain a civil engineer to prepare "as-built" or "record" drawings of public improvements associated with the Hotel, and the drawings shall be submitted in AutoCAD and Adobe PDF formats to the Engineering Division.
- 15.17 All Public Works fees are due prior to issuance of building permit. Refer to City of Menlo Park Master Fee Schedule.
- 15.18 Post-construction runoff into the storm drain shall not exceed pre- construction runoff levels. The Hotel Operator's design professional shall evaluate the Hotel's impact to the City's storm drainage system and shall substantiate their conclusions with drainage calculations to the satisfaction of the City Engineer prior to building permit issuance.
- 15.19 For construction activity resulting in a land disturbance of one acre or more, the Hotel Operator shall file a Notice of Intent (NOI) with the State Water Resources Control Board under the Construction Activities Storm Water General Permit (General Permit). The NOI indicates the Applicant's intent to comply with the San Mateo Countywide Stormwater Pollution Prevention Program, including a Stormwater Pollution Prevention Plan (SWPPP).
- 15.20 The Hotel Operator shall submit a landscape audit report to the engineering division prior to final inspection.
- 15.21 Concurrent with the building permit submittal for the Hotel, the Hotel Operator shall submit a FEMA Conditional Letter of Map Revision based on Fill (CLOMR-F) application to the Public Works Department for review and approval. In accordance with the National Flood Insurance Program (NFIP), Section 65.5, the Hotel Operator shall prepare supporting data, including relevant hydraulic and hydrologic analyses, delineation of floodplain boundaries and all other information required by FEMA to review and evaluate the request for a CLOMR-F. Upon receiving City approval, the Hotel Operator shall submit the CLOMR-F application to FEMA. Prior to issuance of the building permit the applicant shall obtain a CLOMR-F from FEMA. The Hotel Operator shall submit an elevation certificate prior to final signoff of the foundation inspection.
- 15.22 The Hotel Operator shall obtain a Letter of Map Amendment based on fill (LOMA-F) from FEMA after the Hotel is completed.
- 15.23 Covenants, Conditions & Restrictions (CC&Rs) shall be required for the Hotel parcel and the adjacent property, addressing overlapping topics such as shared access, stormwater treatment areas, and storm drains. CC&R's shall be submitted, reviewed, and approved by the Community Development Director, Public Works Director, and the City Attorney prior to building permit issuance. Easements, deed restrictions, or other alternate mechanisms may be used for these requirements, as specified by the City Attorney. The CC&Rs may be removed if the Hotel parcel ceases to be leased to a third party.

16. PROJECT SPECIFIC CONDITIONS - MITIGATION MEASURES CARRIED FORWARD FROM BUILDING 20 APPROVAL

Mitigation measures that are associated with both the Project, the East Campus and the West Campus only need to be satisfied once.

4516.1 Implement Bird-Safe Design Standards into West Campus Building and Lighting Design: All new buildings and lighting features constructed or installed at the West Campus shall be implemented to at least a level of "Select Bird-Safe Building" standards as defined in the City of San Francisco Planning Department's "Standards for Bird-Safe Buildings," adopted July 14, 2011. These design features shall include minimization of bird hazards as defined in the standards. With respect to lighting, the West Campus shall:

- Be designed to minimize light pollution including light trespass, over-illumination, glare, light clutter, and skyglow while using bird-friendly lighting colors when possible.
- Avoid uplighting, light spillage, event search lights, and use green and blue lights when possible.
- Turn off unneeded interior and exterior lighting from dusk to dawn during migrations: February 15 through May 31 and August 15 through November 30.
- Include window coverings on rooms where interior lighting is used at night that adequately block light transmission and motion sensors or controls to extinguish lights in unoccupied spaces (West Campus MM-BR-4.2).

4516.2 Record Additional Restrictions: The Applicant shall ensure that the updated OMMP (West Campus Mitigation Measure HM-2.1) includes provisions for disclosing information in DTSC-approved remediation reports along with any other requirements pertaining to post-construction, long-term operation and maintenance of subsurface utilities or maintenance or repair of foundations. Any such documentation shall be recorded in the Office of the County Recorder and a copy shall be provided to the City (West Campus MM-HM-5.1).

4516.3 Limit Generator Testing to Daytime Hours on the West Campus: The Applicant shall limit generator testing to between the hours of 8:00 a.m. and 6:00 p.m (West Campus MM-NO-1.2).

4617. PROJECT SPECIFIC MITIGATION MEASURES - BUILDINGS 21, 22, AND HOTEL

4617.1 The Applicant shall comply with all mitigation measures identified in the EIR and the associated Mitigation Monitoring and Reporting Program for the Project attached hereto as Exhibit D and any modifications thereto as identified in the Addendum attached hereto as Exhibit E.

18. GENERAL CONDITIONS:

4718.1 Indemnity By Applicant: Applicant shall indemnify, defend and hold harmless the City, and its elective and appointive boards, commissions, officers, agents, contractors, and employees (collectively, City Indemnified Parties) from any and all claims, causes of action, damages, costs or expenses (including reasonable attorneys' fees) arising out of or in connection with, or caused on account of, the development and occupancy of the Project, any Approval with respect thereto, or claims for injury or death to persons, or damage to property, as a result of the operations of Applicant or its employees, agents, contractors, representatives or tenants with respect to the Project (collectively, Applicant Claims); provided, however, that the Applicant shall have no liability under this Section for Applicant Claims that (a) arise from the gross negligence or willful misconduct of any City Indemnified Party, or (b) arise from, or are alleged to arise from, the repair or maintenance by the City of any improvements that have been offered for dedication by the Applicant and accepted by the City.

4718.2 Covenants Run with the Land: All of the conditions contained in this Second Amended and Restated Conditional Development Permit shall run with the land comprising the Property and shall be binding upon, and shall inure to the benefit of the Applicant and its heirs, successors, assigns, devisees, administrators, representatives and lessees, except as otherwise expressly provided in this Second Amended Conditional Development Permit.

4718.3 Consistency: In the event of a conflict between the Amended Development Agreement, the Development Agreement for the West Campus, and this Second Amended and Restated Conditional Development Permit, the more restrictive provision in any of such documents shall control.

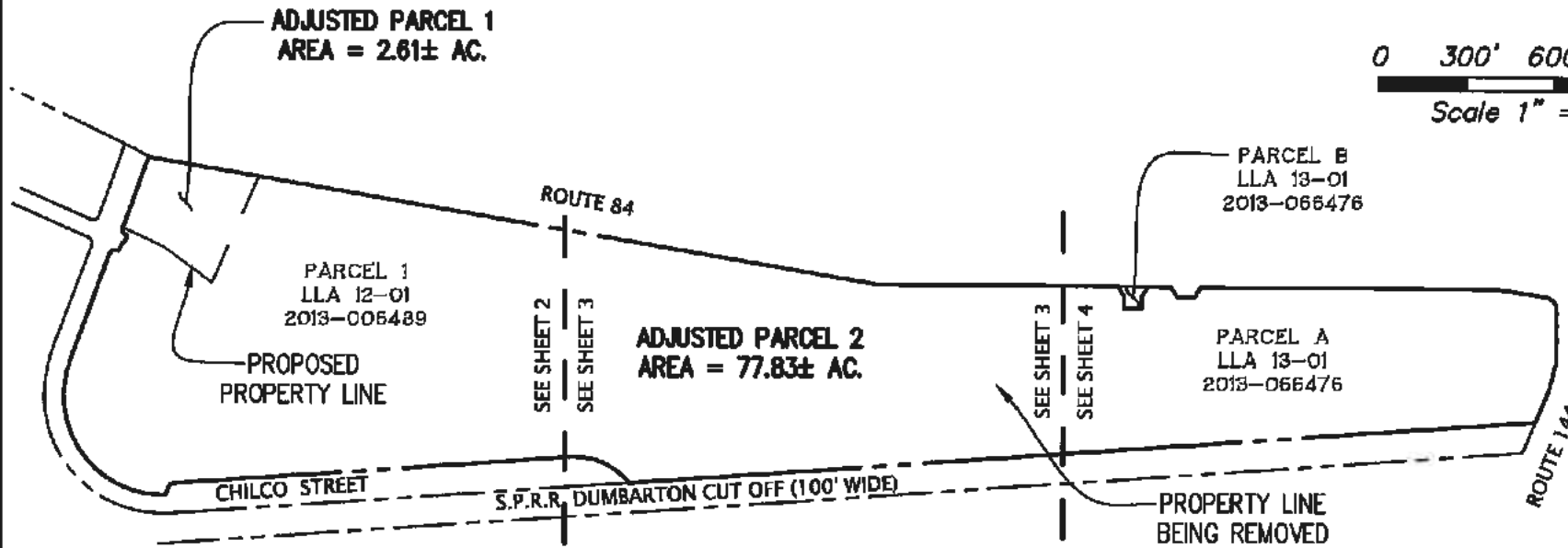
4718.4 Severability: If any condition of this Second Amended Conditional Development Permit, or any part hereof, is held by a court of competent jurisdiction in a final judicial action to be void, voidable or enforceable, such condition, or part hereof, shall be deemed severable from the remaining conditions of this Second Amended Conditional Development Permit and shall in no way affect the validity of the remaining conditions hereof.

4718.5 Exhibits: The exhibits referred to herein are deemed incorporated into this Second Amended Conditional Development Permit in their entirety.

- Exhibit A: Plat to Accompany Legal Description
- Exhibit B: Legal Description
- Exhibit C: West Campus Trip Cap Monitoring and Enforcement Policy
- Exhibit D: MMRP for Buildings 21-22 and Hotel
- Exhibit E: Updated Mitigation Measures from EIR Addendum



0 300' 600' 1200'
Scale 1" = 600 ft



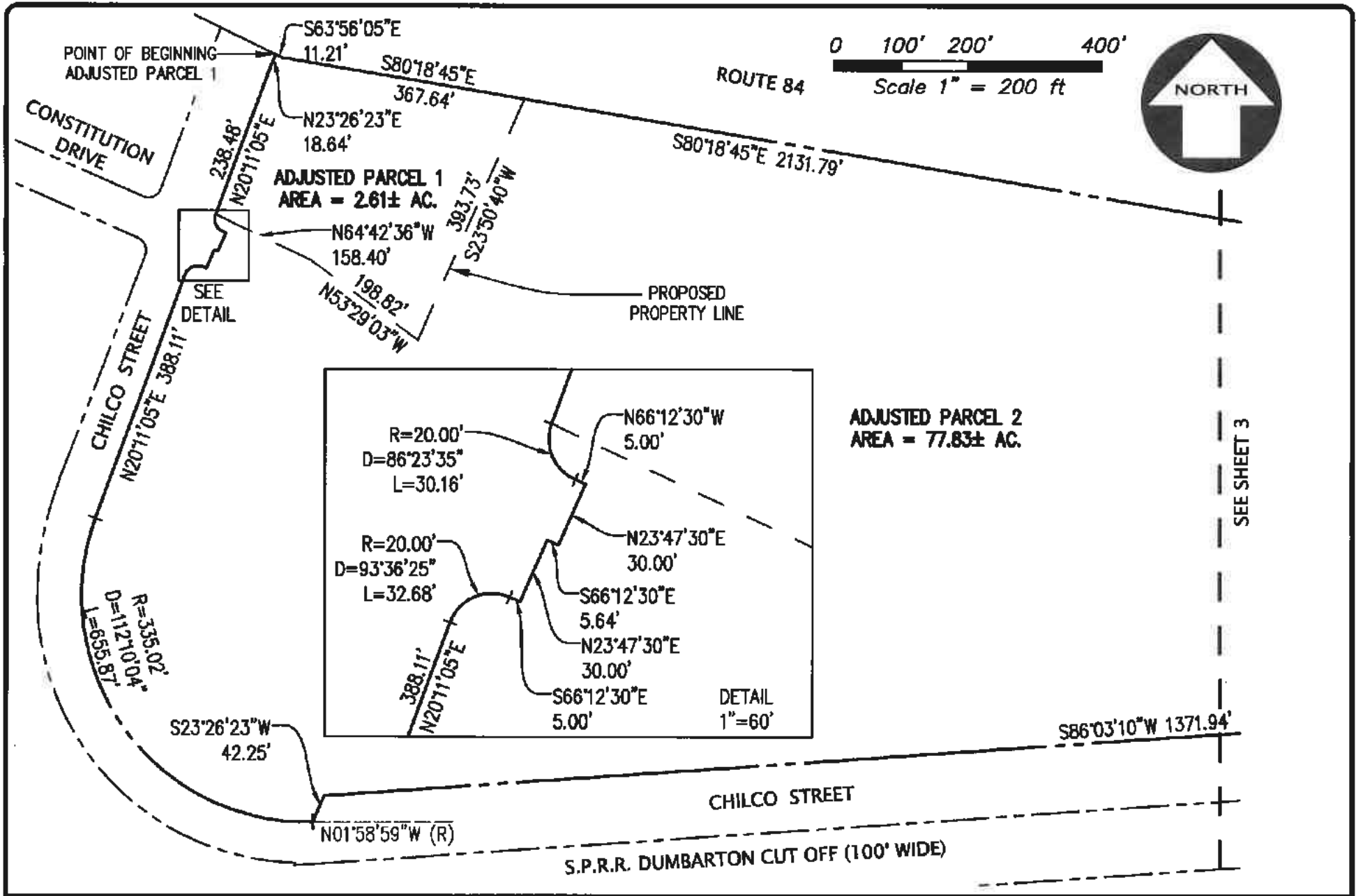
KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
 2850 Collier Canyon Road Phone (925) 245-8788
 Livermore, California 94551 Fax (925) 245-8796

EXHIBIT "A"
PLAT TO ACCOMPANY LEGAL DESCRIPTION

MENLO PARK,

CALIFORNIA

DATE	NOVEMBER, 2016
SCALE	1" = 600'
BY	RJH
JOB NO.	A15571-3
SHEET	1 OF 4



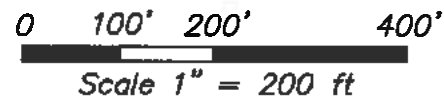
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EXHIBIT "A"
PLAT TO ACCOMPANY LEGAL DESCRIPTION

MENLO PARK,

CALIFORNIA

DATE	NOVEMBER, 2016
SCALE	1" = 200'
BY	RJH
JOB NO.	A15571-3
SHEET	2 OF 4



ROUTE 84

S80°18'45"E 2131.79'

N89°38'32"W 823.77'

SEE SHEET 2

ADJUSTED PARCEL 2
AREA = 77.83± AC.

R=231.73'
D=53°54'34"
L=218.04'

S86°03'10"W 1371.94'

S51°25'59"W (R)

S86°03'10"W 3091.29'

S.P.R.R. DUMBARTON CUT OFF (100' WIDE)

SEE SHEET 4



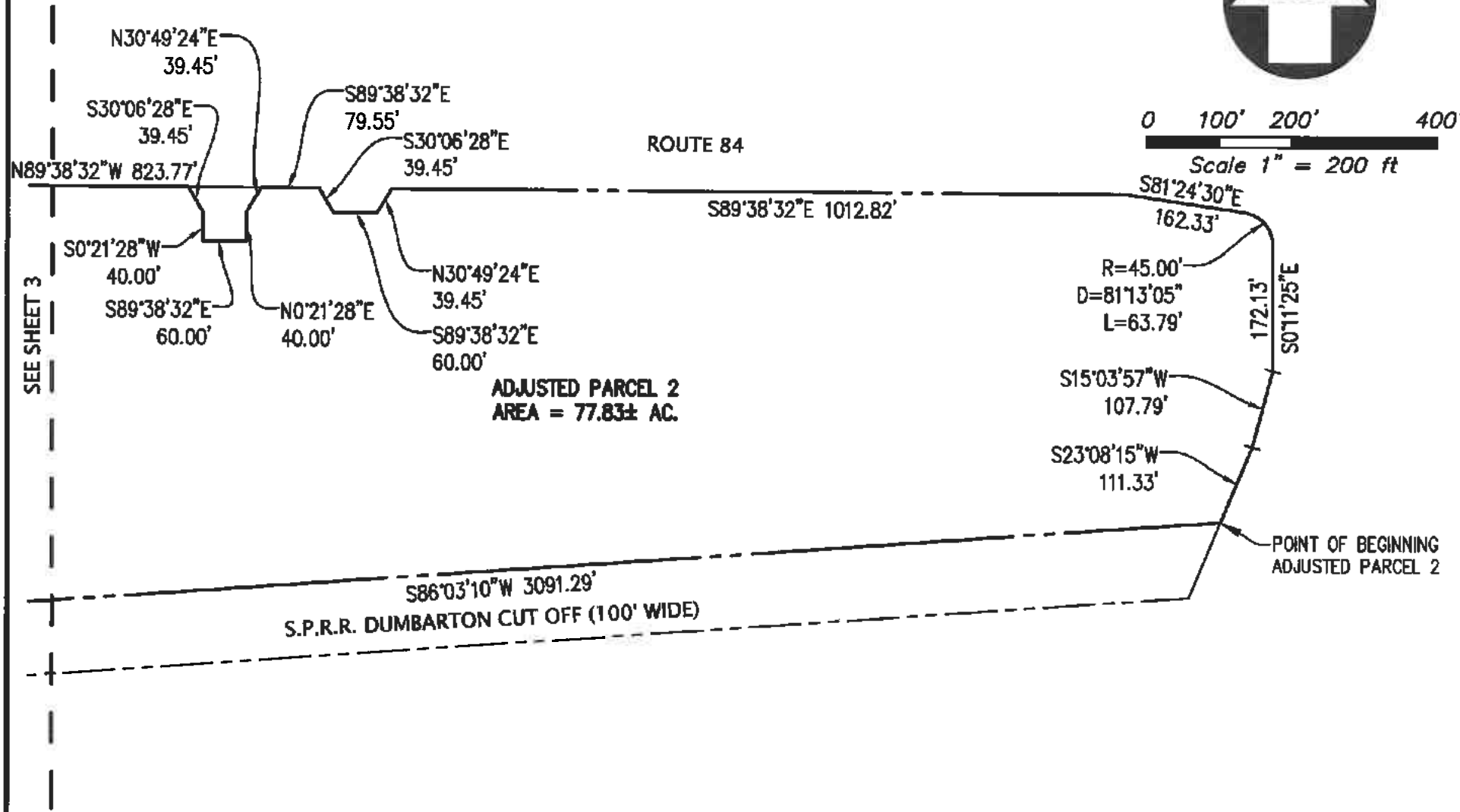
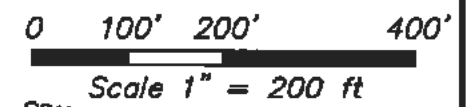
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EXHIBIT "A"
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DATE	NOVEMBER, 2016
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BY	RJH
JOB NO.	A15571-3
SHEET	3 OF 4



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EXHIBIT "A"
PLAT TO ACCOMPANY LEGAL DESCRIPTION

MENLO PARK,

CALIFORNIA

DATE	NOVEMBER, 2016
SCALE	1" = 200'
BY	RJH
JOB NO.	A15571-3
SHEET	4 OF 4

EXHIBIT 'B'
LEGAL DESCRIPTION

ADJUSTED PARCEL 1

REAL PROPERTY SITUATE IN THE CITY OF MENLO PARK, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1, AS SAID PARCEL IS DESCRIBED IN THAT CERTAIN LOT LINE ADJUSTMENT NO. 12-01, RECORDED JANUARY 11, 2013, AS INSTRUMENT NO. 2013-006489, OFFICIAL RECORDS OF SAN MATEO COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY OF ROUTE 84, AS SAID ROUTE IS SHOWN ON THAT CERTAIN CALTRANS RIGHT OF WAY MAP FOR ROUTE 84 IN THE COUNTY OF SAN MATEO ON SHEETS R-105.2 THROUGH R-105.4, WITH THE EAST RIGHT OF WAY LINE OF CHILCO STREET, AS SAID RIGHT OF WAY IS DESCRIBED AS PARCEL 46737-3 IN THAT CERTAIN DOCUMENT RECORDED JULY 27, 1983 AS DOCUMENT NUMBER 83-078012, OFFICIAL RECORDS OF SAN MATEO COUNTY, SAID INTERSECTION ALSO BEING THE NORTHWEST CORNER OF SAID PARCEL 1;

THENCE ALONG SAID SOUTHERLY RIGHT OF WAY, SOUTH 63° 56' 05" EAST, 11.21 FEET;

THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY, SOUTH 80° 18' 45" EAST, 367.64 FEET;

THENCE SOUTH 23° 50' 40" WEST, 393.73 FEET;

THENCE NORTH 53° 29' 03" WEST, 198.82 FEET;

THENCE NORTH 64° 42' 36" WEST, 158.40 FEET TO A POINT ON SAID EASTERLY RIGHT OF WAY;

THENCE ALONG SAID EASTERLY RIGHT OF WAY, NORTH 20° 11' 05" EAST, 238.48 FEET;

THENCE CONTINUING ALONG SAID EASTERLY RIGHT OF WAY, NORTH 23° 26' 23" EAST, 18.64 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 2.61 ACRES OF LAND, MORE OR LESS.

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.



RICHARD J. HICKENBOTTOM, LS 8654
LICENSE EXPIRES: 12/31/17

11/9/16
DATE



EXHIBIT 'B'
LEGAL DESCRIPTION

ADJUSTED PARCEL 2

REAL PROPERTY SITUATE IN THE CITY OF MENLO PARK, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 1, AS SAID PARCEL 1 IS DESCRIBED IN THAT CERTAIN LOT LINE ADJUSTMENT NO. 12-01, RECORDED JANUARY 11, 2013 AS INSTRUMENT NO. 2013-006489, AND ALL OF PARCEL A, AS SAID PARCEL A IS DESCRIBED IN THAT CERTAIN LOT LINE ADJUSTMENT NO. 13-01, RECORDED MAY 2, 2013 AS INSTRUMENT NO. 2013-066476, OFFICIAL RECORDS OF SAN MATEO COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF THE 100 FOOT WIDE SOUTHERN PACIFIC RAILROAD DUMBARTON CUT OFF RIGHT OF WAY WITH THE WESTERLY RIGHT OF WAY OF ROUTE 144, AS SAID ROUTE 144 IS SHOWN ON THAT CERTAIN CALTRANS RIGHT OF WAY MAP FOR ROUTE 84 IN THE COUNTY OF SAN MATEO ON SHEETS R-105.2 THROUGH R-105.4;

THENCE ALONG SAID NORTH LINE, SOUTH 86° 03' 10" WEST, 3091.29 FEET TO THE INTERSECTION OF SAID NORTH LINE WITH THE NORTHERLY RIGHT OF WAY LINE FOR CHILCO STREET, AS DESCRIBED AS PARCEL 45831-1 IN THAT CERTAIN DOCUMENT RECORDED JUNE 29, 1982 AS DOCUMENT NUMBER 82-054425, OFFICIAL RECORDS OF SAN MATEO COUNTY;

THENCE ALONG THE SAID NORTHERLY RIGHT OF WAY OF CHILCO STREET THE FOLLOWING THREE (3) COURSES:

1) ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, THE CENTER OF WHICH BEARS SOUTH 51° 25' 59" WEST, HAVING A RADIUS OF 231.73 FEET, THROUGH A CENTRAL ANGLE OF 53° 54' 34" FOR AN ARC LENGTH OF 218.04 FEET,

2) SOUTH 86° 03' 10" WEST, 1371.94 FEET, AND

3) SOUTH 23° 26' 23" WEST, 42.25 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF CHILCO STREET, AS DESCRIBED AS PARCEL 46737-3 IN THAT CERTAIN DOCUMENT RECORDED JULY 29, 1983 AS DOCUMENT NUMBER 83-078012, OFFICIAL RECORDS OF SAN MATEO COUNTY;

THENCE ALONG SAID EASTERLY RIGHT OF WAY THE FOLLOWING NINE (9) COURSES:

1) ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS NORTH 01° 58' 59" WEST, HAVING A RADIUS OF 335.02 FEET, THROUGH A CENTRAL ANGLE OF 112° 10' 04" FOR AN ARC LENGTH OF 655.87 FEET,

2) NORTH 20° 11' 05" EAST, 388.11 FEET,

3) ALONG THE ARC OF A CURVE THE RIGHT, HAVING A RADIUS OF 20.00 FEET, THROUGH A CENTRAL ANGLE OF 93° 36' 25" FOR AN ARC LENGTH OF 32.68 FEET,

4) SOUTH 66° 12' 30" EAST, 5.00 FEET,

5) NORTH 23° 47' 30" EAST, 30.00 FEET,

6) SOUTH 66° 12' 30" EAST, 5.64 FEET,

7) NORTH 23° 47' 30" EAST, 30.00 FEET,

8) NORTH 66° 12' 30" WEST, 5.00 FEET, AND

9) ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET, THROUGH A CENTRAL ANGLE OF 86° 23' 35" FOR AN ARC LENGTH OF 30.16 FEET;

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THENCE SOUTH 64° 42' 36" EAST, 158.40 FEET;

THENCE SOUTH 53° 29' 03" EAST, 198.82 FEET;

THENCE NORTH 23° 50' 40" EAST, 393.73 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF ROUTE 84, AS SAID ROUTE IS SHOWN ON SAID CALTRANS RIGHT OF WAY MAP;

THENCE ALONG SAID SOUTHERLY RIGHT OF WAY OF ROUTE 84 THE FOLLOWING TWO (2) COURSES:

1) SOUTH 80° 18' 45" EAST, 2,131.79 FEET, AND

2) SOUTH 89° 38' 32" EAST, 823.77 FEET TO THE NORTHWEST CORNER OF PARCEL B, AS SAID PARCEL IS DESCRIBED IN SAID LOT LINE ADJUSTMENT NO. 13-01;

THENCE ALONG THE BOUNDARY OF SAID PARCEL B THE FOLLOWING FIVE (5) COURSES:

1) SOUTH 30° 06' 28" EAST, 39.45 FEET,

2) SOUTH 0° 21' 28" WEST, 40.00 FEET,

3) SOUTH 89° 38' 32" EAST, 60.00 FEET,

4) NORTH 0° 21' 28" EAST, 40.00 FEET, AND

5) NORTH 30° 49' 24" EAST, 39.45 FEET TO A POINT ON SAID SOUTHERLY RIGHT OF WAY OF ROUTE 84;

THENCE ALONG SAID SOUTHERLY RIGHT OF WAY OF ROUTE 84 THE FOLLOWING NINE (9) COURSES:

1) SOUTH 89° 38' 32" EAST, 79.55 FEET,

2) SOUTH 30° 06' 28" EAST, 39.45 FEET,

3) SOUTH 89° 38' 32" EAST, 60.00 FEET,

4) NORTH 30° 49' 24" EAST, 39.45 FEET,

5) SOUTH 89° 38' 32" EAST, 1012.82 FEET,

6) SOUTH 81° 24' 30" EAST, 162.33 FEET,

7) ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 45.00 FEET, THROUGH A CENTRAL ANGLE OF 81° 13' 05" FOR AN ARC LENGTH OF 63.79 FEET,


8) SOUTH 0° 11' 25" EAST, 172.13 FEET, AND

9) SOUTH 15° 03' 57" WEST, 107.79 FEET TO SAID WESTERLY RIGHT OF WAY OF ROUTE 114;

THENCE ALONG SAID WESTERLY RIGHT WAY, SOUTH 23° 08' 15" WEST, 111.33 FEET TO THE POINT OF BEGINNING.

CONTAINING 77.83 ACRES OF LAND, MORE OR LESS.

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.


RICHARD J. HICKENBOTTOM, LS 8654
LICENSE EXPIRES: 12/31/17

11/9/16
DATE



FACEBOOK WEST CAMPUS EXPANSION TRIP CAP MONITORING AND ENFORCEMENT POLICY¹

This policy applies to Building 20, Building 23, and the Facebook Campus Expansion Project (the Facebook Campus Expansion Project is referred to as the “Project”) for which entitlements are currently being sought. This policy also applies to any existing buildings (e.g. Building 305) that will remain during any interim phase of the Project. For purposes of this policy, the term “West Campus” is intended to include both the existing buildings on-site as well as Buildings 21, 22 and the hotel that are proposed as part of the Project. A separate trip cap monitoring and enforcement policy exists for Buildings 10-19 (also known as the East Campus or Classic Campus).

DEFINITIONS

Trip – A single vehicle (car, truck, van, shuttle, etc.) arriving at a location in Menlo Park, whose occupant(s)’ final destination is the West Campus, or a single vehicle departing from a location in Menlo Park, whose occupant(s)’ origin is the West Campus. Therefore, for example, a roundtrip by a single vehicle arriving at a location in Menlo Park and departing from a location in Menlo Park whose occupant(s)’ destination and origin is the West Campus equals two trips. A vehicle transiting from the East Campus to the West Campus or from the West Campus to the East Campus is a trip. A single shuttle coming from outside Menlo Park or from the Menlo Park CalTrain station that makes stops at multiple campuses shall only count as one trip against the Daily Trip Cap; however, campus entries and exits associated with such intra-campus shuttle trips occurring during the peak periods shall count fully against the Peak Hour Trip Caps. Shuttles and trams utilizing the undercrossing between the East and West Campus shall not count against either the Daily Trip Cap or the Peak Hour Trip Caps. Trips also do not include bicycles (or other self-powered modes of travel).

Peak Hour Trip Cap – The maximum number of trips allowed in each hour of the AM Peak Period or the PM Peak Period.

Peak Period – Roadway morning and evening commuter peak travel times:

- AM Peak Period - 7:00 AM to 9:00 AM
- PM Peak Period - 4:00 PM to 6:00 PM

Daily Trip Cap – The maximum number of trips per day.

Trip Cap – Generally refers to the AM Peak Hour Trip Caps, the PM Peak Hour Trip Caps and the Daily Trip Cap.

¹ This Trip Cap Monitoring and Enforcement Policy was prepared by the City of Menlo Park in consultation with Facebook.

TRIP CAP

Facebook must comply with the Trip Cap and may not exceed the Trip Cap without an application for and approval of a change to the Amended and Restated Conditional Development Permit (CDP) for the West Campus. If the Trip Cap is exceeded without the appropriate approval, Facebook is in violation of the CDP. The Trip Cap also includes Mitigation Measure TRA-1.2 as identified in the EIR for the Project and associated Mitigation, Monitoring and Reporting Program.

The Trip Cap proposed as part of Facebook's West Campus is as follows:

- AM Peak Period Trip Caps:
 - 2,250 trips are permitted between 7:00 a.m. and 8:00 a.m.
 - 2,250 trips are permitted between 8:00 a.m. and 9:00 a.m.
- PM Peak Period Trip Caps:
 - 2,255 trips are permitted between 4:00 p.m. and 5:00 p.m.
 - 2,255 trips are permitted between 5:00 p.m. and 6:00 p.m.
- Daily Trip Cap: 26,440 trips

MONITORING

To monitor compliance with the Trip Cap, traffic counts shall be taken at the West Campus. The monitoring shall be done through automated means (e.g., imbedded loop detectors in the pavement in each travel lane or video detection) approved by the City.² All vehicular entrances to the West Campus shall be included in the monitoring. Facebook shall be solely responsible for paying all costs related to monitoring, including, but not limited to, development, installation, maintenance and repair of all monitoring equipment.

The City reserves the option to require Facebook to monitor neighborhood parking intrusion in the Belle Haven neighborhood, parking on other public streets in the City, or parking at any off-site parking lot(s) in Menlo Park (other than the East Campus or any other property or properties leased or owned by and occupied by Facebook) if it is observed or suspected that vehicles whose occupant(s)' final destination is the West Campus are parking at any of these locations. If the City requires monitoring of these off-site locations and, after investigation, it is confirmed that vehicle occupant(s) whose final destination is the West Campus are parking vehicles at these off-site locations (other than the East Campus or any other property or properties leased or owned and occupied by Facebook), the trips to these locations will be counted toward the Trip Cap.

Monitoring program details are as follows:

² City approvals related to monitoring equipment will be through the Director of Public Works or his/her designee.

- **Monitoring Days/Times** – Each hour within the AM Peak Period, each hour within the PM Peak Period and total daily trips will be monitored on all non-holiday weekdays. Holidays are those days identified as State holidays in California Government Code Section 6700.
- **Exclusions – Two types of exclusions from the Trip Cap shall be permissible as discussed below:**
 - **Special Events:** To account for special events and their effect on trips, Facebook may have up to 12 special event exclusions per year or 12 days on which one or more of the AM Peak Hour Trip Caps, PM Peak Hour Trip Caps or Daily Trip Cap are exceeded, but are not considered violations of the Trip Cap. These special events do not represent typical operating conditions at the West Campus. A special event will be defined as an activity that is not typical of the normal operations of the West Campus and will likely involve more than Facebook employees. If the Trip Cap has been violated as a result of a special event, Facebook shall provide documentation to the City that a special event took place. Upon City review and approval, in the City’s sole and reasonable discretion, an exclusion for a special event shall apply.
 - **Non-event exclusions:** For non-special events, Facebook will be allowed three days on which one or more of the AM Peak Hour Trip Caps, PM Peak Hour Trip Caps or Daily Trip Cap are exceeded within a 180 day period without incurring penalties. These non-event exclusion days are intended to allow Facebook time to correct the Trip Cap violation. If Facebook exceeds the Trip Cap on more than three days within a 180 day period, then the non-event exclusion is exhausted and penalties will be imposed for violations of the Trip Cap until compliance is reached for a consecutive 180 day period. Additional violations, if any, within the 180 day compliance period, will re-set the 180 day compliance period. If after a consecutive 180 day period, Facebook remains in full compliance with the Trip Cap, then the three day exclusion will become available again.
- **Count Equipment** – Automated count equipment will be designed and constructed at Facebook’s sole expense to collect data on the number of trips at each of the West Campus driveways and send the data back to the City offices. The type of count equipment (initial and any future changes) shall be approved by the City, in consultation with Facebook and considering the latest technologies for detection, counting and reporting. The City shall not unreasonably withhold approval of initial count equipment or any future equipment which achieves the result envisioned in this document. The City shall also approve the count equipment that will be used to monitor off-site locations, if the City exercises the option to require such monitoring. The City shall not unreasonably withhold approval of such additional count equipment.
- **Initial Calibration Process** – Once any new count equipment has been established, a calibration process will be undertaken to determine the reliability and accuracy of the count equipment. Depending on the type of equipment, the count accuracy can be affected by a number of environmental factors which will need to be confirmed. This

calibration process would be conducted prior to final building permit sign-off for occupancy of the Building 21.

- **Determination of Reliability (Sensitivity) Factor** – Based on the calibration analysis, the City and Facebook will agree to a reliability factor for the count stations which will be used to evaluate the count results consistent with what the City and Facebook have historically agreed upon. The reliability factor would represent the margin of error inherent in the vehicle counting equipment, and would address the exclusion of trips whose final destination is not the West Campus (i.e. wrong turns, uninvited guests, etc). The reliability factor would also account for single shuttles coming from outside Menlo Park or from the Menlo Park CalTrain station and making stops at multiple campuses. Periodically, the reliability factor, based on reporting from Facebook, may be modified to address the anticipated or actual number of shuttles coming from outside Menlo Park or from the Menlo Park CalTrain station making stops as part of one trip at multiple campuses outside of the peak period. At a minimum, Facebook shall provide an annual report to the Transportation Manager for each upcoming year that provides data on the proposed number of shuttle trips so that the City may analyze whether the reliability factor is accurately accounting for single shuttles coming from outside Menlo Park or from the Menlo Park CalTrain station and making stops at multiple campuses.
- **Periodic Count Equipment Testing/Recalibration** – The vehicle detection system will be periodically tested to ensure the accuracy of the monitoring counts. During the first two years of operation, testing will be conducted at six month intervals. If these tests show that the system is operating reliably, then testing can be reduced to once a year. If the equipment is thought to be out of calibration, Facebook will work with the City to test and calibrate the equipment if necessary. The City will have final approval, which approval shall be granted or withheld in a reasonable manner, on all testing and calibration.
- **Installation and Repairs** – New count equipment shall be installed and in good working order prior to final building permit sign-off for occupancy of Building 21. The City shall have final approval, which approval shall be granted or withheld in a reasonable manner, of the contractor completing the installation and the maintenance contractor completing any repairs. Non-emergency repairs and maintenance of the monitoring equipment shall occur only on evenings and weekends, unless otherwise approved by the City. The Transportation Division shall be notified at least 48 hours in advance of any non-emergency repairs or maintenance work. The City Transportation Division shall be notified within 24 hours of any emergency repairs. City inspection and approval of any repairs or maintenance is required. Failure to keep monitoring equipment operational in good working order will be considered a violation of the Trip Cap after two working days, unless the repairs/maintenance require additional time as approved by the City and Facebook is diligently pursuing such repairs/maintenance. The Trip Cap penalty will not be enforced during the repair/maintenance of the monitoring equipment. If the City, in its sole and reasonable discretion, determines that Facebook is not diligently pursuing the repairs/maintenance, the City may elect to perform the repairs/maintenance and charge the cost of the repair/maintenance, staff time, and 15 percent penalty fee to Facebook.

- **Access to Count Equipment/Reporting** – The City shall have the ability to access the count equipment at any time after reasonable prior notice to Facebook. Facebook will not have access to the count equipment, unless approved by the City or in case of the need for emergency repairs. The City shall not unreasonably withhold approval of access for repair/maintenance contractors. Facebook shall have “read-only” access to the reporting data, but shall have the ability to record such data and run history reports in order to track trends. Reporting data shall be provided to Facebook and the City in real time. Real time data will provide Facebook the opportunity to take immediate action, if necessary, to avoid violating the Trip Cap.

ENFORCEMENT

Facebook shall be responsible not only for monitoring, but also for achieving compliance with the Trip Cap, which includes, by definition, all trip cap measurements on a daily basis (the AM Peak Hour Trip Caps, the PM Peak Hour Trip Caps and the Daily Trip Cap). The City shall enforce compliance with the Trip Cap.

If, on a given day, the results of the monitoring indicate that the number of trips is at or below the Trip Cap, considering the reliability factor, then Facebook is considered in compliance. If, however, the monitoring, considering the reliability factor, reveals that any of the AM Peak Hour Trip Caps or the PM Peak Hour Trip Caps or the Daily Trip Cap has been exceeded (after accounting for any permitted exclusions), Facebook is in violation of its CDP and the City may take steps to enforce the Trip Cap.

The specifics for enforcement are as follows:

- **Threshold** – If there are any AM Peak Hour Trip Cap, PM Peak Hour Trip Cap or Daily Trip Cap violations that do not qualify for an exclusion as discussed above, then penalties will be imposed.
- **Penalties** – Monetary penalties will be imposed for violations of the Trip Cap in excess of the threshold. Penalties are calculated on a per trip basis and progressively increasing penalties will be imposed for subsequent violation(s) of the Trip Cap based on a tiered system described in the table below. Penalties will be applied for each violation including the AM Peak Hour, PM Peak Hour and the Daily Period. If any of the AM Peak Hour Trip Caps, and/or PM Peak Hour Trip Caps and Daily Trip Cap are exceeded on the same day, the penalty paid shall be the greater of the sum of the penalties for the AM Peak Hour and PM Peak Hour *or* the Daily penalty. The penalty payment schedule is shown in the table below. The base penalties shall be adjusted annually as set forth below (the intent is for the same penalty rate to apply to both the East and West Campuses):

Penalty Tier ¹	Applicability	Penalty Amount
Tier 1	Tier 1 is the default tier and applies for the month unless one of the other tiers is applicable.	\$55.57 per trip per day
Tier 2	Tier 2 applies for the month if either (a) penalties were imposed in both of the 2 months immediately preceding that month or (b) penalties were imposed in any 4 of the 6 months immediately preceding that month. Tier 2 will not apply if Tier 3 applies.	\$111.13 per trip per day
Tier 3	Tier 3 applies for the month if penalties were imposed in each of the 6 months immediately preceding that month.	\$222.27 per trip per day

- 1 Only one tier is applicable for any given violation. In addition, the penalty amounts are shown in 2016 dollars based on the original 2012 penalty amounts that applied to the original project approvals for Building 20 adjusted by CPI.

An example table showing the penalty amounts:

Penalty Cost Per Day			
Vehicles over Trip cap	Tier 1	Tier 2	Tier 3
100	\$5,557	\$11,113	\$22,227
500	\$27,784	\$55,567	\$111,134
1000	\$55,567	\$111,134	\$222,269
2000	\$111,134	\$222,269	\$444,537

Example calculations :

Daily penalty greater:

7:00-8:00 AM Peak Hour exceeds the AM Peak Hour Trip Cap by 100 trips
5:00-6:00 PM Peak Hour exceeds the PM Peak Hour Trip Cap by 50 trips
Daily trips exceed the Daily Trip Cap by 400 trips

The payment would be:

AM Peak Hour penalty = 100 trips x \$55.57/trip = \$5,557
PM Peak Hour penalty = 50 trips x \$55.57/trip = \$2,778.50
Total Peak Period penalty = \$8,335.50
Daily penalty = 400 trips x \$55.57/trip = \$22,228

Penalty Paid = \$22,228

AM Peak Hour and PM Peak Hour penalty greater:

7:00-8:00 AM Peak Hour exceeds the AM Peak Hour Trip Cap by 100 trips

5:00-6:00 PM Peak Hour exceeds the PM Peak Hour Trip Cap by 50 trips

Daily trips exceed the Daily Trip Cap by 100 trips

The payment would be:

AM Peak Hour penalty = 100 trips x \$55.57/trip = \$5,557

PM Peak Hour penalty = 50 trips x \$55.57/trip = \$2,778.50

Total Peak Period penalty = \$8,335.50

Daily penalty = 100 trips x \$55.57/trip = \$5,557

Penalty Paid = \$8,335.50

The base penalties are stated in 2016 dollars (based on the original 2012 penalty amounts that applied to the approval of Building 20, as adjusted by CPI) and shall be adjusted annually per the Consumer Price Index for All Urban Consumers All Items in the San Francisco-Oakland-San Jose Metropolitan Area [1982-84=100] (the intent is for the same penalty rate to apply to both the East and West Campuses). Penalties are due and payable to the City within 30 days of the issuance of an invoice, which the City shall issue on a monthly basis. The City shall use the penalties collected for programs or projects designed to reduce trips or traffic congestion within Menlo Park and the City shall share 25 percent of the penalties collected with the City of East Palo Alto for use on transportation systems and solutions that help reduce traffic in the City of East Palo Alto around the East and West Campuses. In addition to monetary penalties, failure to comply with the Trip Cap is considered a violation of the CDP and could result in revocation of the CDP.

Violations of the Trip Cap for the East Campus are independent of violations of the West Campus Trip Cap. This means, for instance, that if there are violations of the Trip Cap at the East Campus for the six months immediately preceding a particular month, but there are no violations of the Trip Cap at the West Campus during that same period, Tier 3 would be applicable to the East Campus and Tier 1 would be applicable to the West Campus.

- **Interim Measure** – If Facebook determines that it needs to secure parking in another location as an interim measure to maintain compliance with the Trip Cap, Facebook may, through the City’s entitlement process, obtain approval for the use of another private property in Menlo Park (not the East or West Campus) that includes both a building and associated parking. Trips to such an off-site location will not count toward the Trip Cap only if there will be no more trips to that off-site location than is allowed under the then current use of that property.
- **Compliance** – If after non-compliance, Facebook comes back into compliance with the Trip Cap and maintains compliance for 180 consecutive days, the scale of penalties will revert to the base level and the relevant threshold would once again apply before there is non-conformance and the onset of penalties.

Facebook Campus Expansion Project Mitigation Monitoring and Reporting Program

Introduction

The California Environmental Quality Act (CEQA) requires the adoption of feasible mitigation measures to reduce the severity and magnitude of significant environmental impacts associated with project development. The Environmental Impact Report (EIR) prepared and certified for the proposed Facebook Campus Expansion Project (Project) includes all feasible mitigation measures to reduce the potential environmental effects of the Project.

CEQA also requires reporting on and monitoring of mitigation measures adopted as part of the environmental review process (Public Resources Code Section 21081.6). This Mitigation Monitoring and Reporting Program (MMRP) is designed to aid the City of Menlo Park in its implementation and monitoring of measures adopted from the certified EIR.

The mitigation measures in this MMRP are assigned the same number they had in the EIR. The MMRP is presented in table format and describes the actions that must take place to implement each mitigation measure, the timing of those actions, the entities responsible for implementing and monitoring the actions, and verification of compliance. Additional information is provided in the certified EIR for the Project.

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
AESTHETICS				
<i>IMPACT BEING ADDRESSED: New Sources of Light and Glare. The Project could create a new source of substantial light or glare that could adversely affect daytime or nighttime views in the area. (AES-3)</i>				
<p><i>AES-3.1: Design Lighting to Meet Minimum Safety and Security Standards.</i> Concurrent with the building permit submittal, the Project Sponsor shall incorporate lighting design specifications to meet minimum safety and security standards. The comprehensive site lighting plans shall be subject to review and approval by the City’s Community Development Department, Planning Division, prior to building permit issuance for the first building on the site.</p> <p>The following measures shall be included in all lighting plans.</p> <ul style="list-style-type: none"> • Luminaries shall be designed with cutoff-type fixtures or features that cast low-angle illumination to minimize incidental spillover of light onto adjacent private properties. Fixtures that shine light upward or horizontally shall not spill any light onto adjacent private properties. • Luminaries shall provide accurate color rendering and natural light qualities. Low-pressure sodium and high-pressure sodium fixtures that are not color-corrected shall not be used, except as part of an approved sign or landscape plan. • Luminary mountings shall be downcast and pole heights minimized to reduce the potential for backscatter into the nighttime sky and incidental spillover onto adjacent properties and undeveloped open space. Light poles shall be no higher than 20 feet. Luminary mountings shall be treated with non-glare finishes. 	Incorporate lighting design specification to meet minimum safety and security standards.	Submittal of lighting plan prior to building permit issuance for the first building on the site.	Project Sponsor	City of Menlo Park Community Development Department (CDD)
<p><i>AES-3.2: Treat Reflective Surfaces.</i> The Project Sponsor shall ensure the application of a low-emissivity coating on exterior glass surfaces of proposed structures. The low-emissivity coating shall reduce the reflection of visible light that strikes the exterior glass and prevent interior light from being emitted brightly through the glass.</p>	Apply low-emissivity coating on exterior glass surfaces of the proposed structures.	Concurrent with building permit application.	Project Sponsor	CDD

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
TRANSPORTATION				
<i>IMPACT BEING ADDRESSED: Impacts on Peak-Hour Traffic at Study Intersections under Background Plus-Project Conditions. Increases in traffic associated with the Project would result in increased delays during peak hour, causing significant and unavoidable impacts on the operation of study intersections. (TRA-1)</i>				
<i>TRA-1.1 Provide Increased Traffic Capacity under Background-Plus Project Conditions.</i>	See below	See below	See below	See below
<i>a. Sand Hill Road & I-280 Northbound On-Ramp (#2)</i> With implementation of Mitigation Measure TRA-1.2, the impact would be reduced to a less-than-significant level.	Implement Mitigation Measure TRA-1.2.	See below	See below	See below
<i>b. Willow Road & Hamilton Avenue (#36)</i> Mitigation measures TRA-3.1 and TRA-3.2 to discourage cut-through traffic in the Belle Haven neighborhood and Mitigation Measure TRA-1.2 would reduce this impact, but not to a less-than-significant level. This impact would remain significant and unavoidable.	Implement Mitigation Measures TRA-1.2, TRA-3.1, and TRA-3.2.	See below	See below	See below
<i>c. Bayfront Expressway & Willow Road (#37)</i> The Project Sponsor shall be required to design and construct a lengthened eastbound right-turn pocket on Bayfront Expressway to Willow Road and a dedicated receiving lane on Bayfront Expressway for northbound right-turn traffic from Willow Road. Because the improvements would be under Caltrans jurisdiction, the Project Sponsor would be required to coordinate with Caltrans for review and approval of the improvements. The potential mitigation options described above are not under the control of the City, and thus, the City cannot guarantee their implementation. In addition, with implementation of Mitigation Measure TRA-1.2, this impact would be reduced but would remain significant and unavoidable.	Prepare conceptual plan and cost estimate. Provide bond for improvements. Submit complete plans to construct intersection improvements to City.	Within 90 days of the effective date of the Development Agreement (DA). Within 180 days of the effective date of the DA. Within 180 days of the effective date of the DA.	Project Sponsor Project Sponsor Project Sponsor	City of Menlo Park Public Works Department (PW) PW PW

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
	Complete and submit application to Caltrans.	Within 30 days of City approval of plans.	Project Sponsor	PW, Caltrans
	Construct improvements.	Within 180 days of Caltrans approval	Project Sponsor	PW, Caltrans
<p><i>d. Bayfront Expressway & University Avenue (#38)</i> The Project Sponsor shall be required to initiate design concepts through a Project Study Report (PSR), or other appropriate development document, for potential future grade separation at the intersection of Bayfront Expressway and University Avenue. Because the intersection would be under Caltrans jurisdiction, the Project Sponsor would be required to coordinate with Caltrans and the City. This potential mitigation is not under the control of the City, and the impact would remain significant and unavoidable.</p>	Confirm Caltrans oversight process requirements and scope of work	Within 90 days of the effective date of the Development Agreement	Project Sponsor	PW, Caltrans
	Complete PSR (or appropriate document) with City and Caltrans oversight	Prior to occupancy of Building 21	Project Sponsor	PW, Caltrans
<p><i>e. Bayfront Expressway & Chilco Street (#40)</i> With implementation of Mitigation Measure TRA-1.2, this impact would be reduced to a less-than-significant level.</p>	Implement Mitigation Measure TRA-1.2.	See below	See below	See below
<p><i>f. Chilco Street & Constitution Drive (#45)</i> The proposed mitigation for peak-hour impacts at the intersection of Chilco Street and Constitution Drive would provide the following elements to accommodate inbound a.m. and outbound p.m. traffic movements:</p> <ul style="list-style-type: none"> • Installation of a traffic signal and signalized pedestrian crossings on all four legs of the intersection. • Provision of three southbound lanes on the one-block segment of 	Prepare conceptual plan and cost estimate.	Within 90 days of the effective date of the Development Agreement (DA).	Project Sponsor	PW
	Provide bond for improvements.	Within 180 days of the	Project Sponsor	PW

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<p>Chilco Street, between Bayfront Expressway and Constitution Drive, to include two southbound left-turn lanes to accommodate the volume of left-turning vehicles entering the Project site. In addition, during the a.m. peak hour, provision of a “split-phase” signal operation on Chilco Street is recommended.</p> <ul style="list-style-type: none"> • Provision of a northbound left-turn lane on Chilco Street approaching Constitution Drive. • Provision of two outbound lanes on Chilco Street exiting the Project site. <p>With these improvements, this impact would be reduced to a less-than-significant level.</p>	<p>Submit complete plans to construct intersection improvements to City.</p> <p>Construct improvements.</p>	<p>effective date of the DA.</p> <p>Within 180 days of the effective date of the DA.</p> <p>Prior to occupancy of Building 22.</p>	<p>Project Sponsor</p> <p>Project Sponsor</p>	<p>PW</p> <p>PW</p>
<p><i>g. University Avenue & Adams Drive (#47)</i></p> <p>The impact under background plus-Project conditions would be significant and unavoidable. Installation of a traffic signal at this location would be recommended under 2040 cumulative conditions with the proposed General Plan. Therefore, if the proposed General Plan is adopted, this impact could be mitigated to less-than-significant levels (see Mitigation Measure TRA-13.1).</p>	<p>Implement Mitigation Measure TRA-13.1</p>	<p>See below</p>	<p>See below</p>	<p>See below</p>
<p><i>h. Jefferson Drive & Constitution Drive (#50)</i></p> <p>Because this impact would be limited to affecting a side-street driveway that serves just 15 vehicle trips during the p.m. peak hour, this impact would be less than significant, and no mitigation is required.</p>	<p>N/A</p>	<p>N/A</p>	<p>N/A</p>	<p>N/A</p>
<p><i>i. University Avenue & US 101 Southbound Ramps (#56)</i></p> <p>With implementation of Mitigation Measure TRA-1.2, this impact would be reduced to a less-than-significant level.</p>	<p>Implement Mitigation Measure TRA-1.2.</p>	<p>See below</p>	<p>See below</p>	<p>See below</p>
<p><i>j. University Avenue & Woodland Avenue (#57)</i></p> <p>With implementation of Mitigation Measure TRA-1.2, this impact would be reduced to a less-than-significant level.</p>	<p>Implement Mitigation Measure TRA-1.2.</p>	<p>See below</p>	<p>See below</p>	<p>See below</p>
<p><i>k. Chilco Street & Hamilton Avenue (#60)</i></p>	<p>Implement</p>	<p>See below</p>	<p>See below</p>	<p>See below</p>

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
Mitigation Measures TRA-1.2, TRA-3.1, and TRA-3.2 would reduce this impact, but not to a less-than-significant level. This impact would remain significant and unavoidable.	Mitigation Measure TRA-1.2, TRA-3.1, and TRA-3.2.			
<p><i>l. Bayfront Expressway & Facebook Building 20 Entrance (#65)</i></p> <p>The impact would be reduced to less-than-significant levels by providing a two-lane westbound left-turn pocket at the adjacent intersection of Bayfront Expressway and the Building 21 entrance. However, the right-of-way along Bayfront Expressway is constrained by the wetlands located adjacent to the roadway; therefore, this mitigation measure may not be feasible. Alternatively, the Project Sponsor shall be required to conduct a micro-simulation evaluation as part of the proposal to install a new traffic signal at the proposed entrance to Building 21 and ensure that queues do not extend onto the Bayfront Expressway at the Building 20 or 21 intersections (see Mitigation Measure TRA-1.1m, below). The intersection is under the jurisdiction of Caltrans; therefore, the City cannot guarantee that this improvement would be implemented.</p> <p>Mitigation Measure TRA-1.2 (described below) would reduce net Project vehicle trip generation during both peak hours, but the increase in eastbound traffic on Bayfront Expressway between Chilco Street and Willow Road would still be anticipated to result in a significant impact at this intersection. Therefore, the impact would remain significant and unavoidable.</p>	Prepare microsimulation evaluation and submit to City for review. Prepare concept plan and cost estimate of proposed improvements.	Within 90 days of the effective date of the Development Agreement (DA).	Project Sponsor	City of Menlo Park Public Works Department (PW)
	Provide bond for improvements.	Within 180 days of the effective date of the DA.	Project Sponsor	PW
	Submit microsimulation evaluation to Caltrans as part of proposal to install new traffic signal at Building 21.	Within 60 days of City approval of evaluation and plans.	Project Sponsor	PW, Caltrans
Construct improvements.	Within 180 days of Caltrans approval	Project Sponsor	PW, Caltrans	

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
	Implement Mitigation Measures TRA-3.1 and TRA-1.2.	See below	See below	See below
<p><i>m. Bayfront Expressway & Proposed Building 21 Entrance (#66)</i> The proposed mitigation is the provision of a two-lane left-turn pocket for northbound vehicles that would enter Building 21 from Bayfront Expressway. However, the right-of-way along Bayfront Expressway is constrained by the wetlands located adjacent to the roadway; therefore, this mitigation measure may not be feasible. Alternatively, the Project Sponsor shall be required to conduct a micro-simulation evaluation as part of the proposal to install a new traffic signal at this location and ensure that queues do not extend onto Bayfront Expressway at either intersection (see Mitigation Measure TRA-1.11, above) while maintaining an acceptable intersection LOS of D or better. With the proposed mitigation, if feasible, the impact would be less than significant during the a.m. peak hour.</p> <p>During the p.m. peak hour, implementation of Mitigation Measure TRA-1.2 would reduce the impact to less than significant levels. Because the feasibility of the a.m. peak-hour mitigation described above has not yet been confirmed, the impact would remain significant and unavoidable.</p>	Implement Mitigation Measures TRA-1.11 and TRA-1.2.	See above (TRA-1.11) and below (TRA-1.2)	See above (TRA-1.11) and below (TRA-1.2)	See above (TRA-1.11) and below (TRA-1.2)
<p><i>TRA-1.2: Reduce the Peak-Hour Share of Vehicle Trips Allowable under the Trip Cap, for both the Project Site and Buildings 10-19 to no more than 50 Percent of Allowable Vehicle Trips During each 2-Hour Peak Commute Period.</i> The proposed mitigation would reduce the maximum number of allowable peak-hour vehicle trips to no more than 50 percent of the 2-hour peak-period vehicle trip cap for both the Project site and Buildings 10-19.</p>	Implement the trip cap monitoring and enforcement policy that applies to the Project.	Prior to occupancy of Building 21.	Project Sponsor	PW
	Amend the CDP	Prior to	Project Sponsor	PW

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
	and DA for Buildings 10-19 (also known as East Campus) to implement this measure.	occupancy of Building 21.		
<i>IMPACT BEING ADDRESSED: Impacts on Routes of Regional Significance under Background Plus Project Conditions. Some Routes of Regional Significance would operate at or below their LOS threshold with the addition of Project trips, and Project traffic would exceed the allowable 1 percent threshold resulting in significant and unavoidable impacts. (TRA-2)</i>				
Implement Mitigation Measure TRA-1.2, plus: <i>TRA-2.1: Implement Improvements to Routes of Regional Significance to Address Background Plus-Project Effects.</i> Providing additional travel lanes would increase segment capacity but would not be feasible on all segments given available right-of-way widths and both downstream and downstream capacity limitations on facilities such as US 101 and the Dumbarton Bridge. In addition, the routes are under the control of Caltrans and the City cannot guarantee mitigation. Therefore, these impacts would remain significant and unavoidable.	N/A	N/A	N/A	N/A
<i>IMPACT BEING ADDRESSED: Increase in Daily Traffic Volumes on Roadway Segments Under Background Plus-Project Conditions. Increases in daily traffic associated with the Project under near term plus-Project Conditions would result in increased ADT volumes on Project area roadway segments, resulting in significant and unavoidable impacts. (TRA-3)</i>				
<i>TRA-3.1: Provide Measures to Reduce Cut-Through Traffic in the Belle Haven Neighborhood via Chilco Street (South of the Dumbarton Rail Corridor), Newbridge Street, and Ivy Drive.</i> The Project Sponsor shall provide measures to prevent cut-through traffic, which could include prohibiting left-turns exiting the Project site via Chilco Street during the p.m. peak period. The provision of physical traffic calming measures could also be included, where such measures would not affect emergency access and/or transit service, subject to community and City approval. Because community members and other potentially affected stakeholders may be affected by such improvements, the Project Sponsor shall fund a Neighborhood Traffic Plan to identify appropriate measures for reducing	Coordinate with the City and local stakeholders to fund, develop and implement a Neighborhood Traffic Plan.	Funding provided within 90 days of effective date of DA. Develop plan within 180 days of effective date of DA.	Project Sponsor	PW

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
cut-through traffic.		Implement measures prior to occupancy of Building 22.		
<i>TRA-3.2: Provide Multi-Modal improvements on study segments that would be potentially impacted by increased ADT. The Project Sponsor shall provide measures to improve mobility options via walking, bicycling, and transit, consistent with the City’s complete streets goals, as described in Mitigation Measures TRA-4.1 and TRA-5.1.</i>	Implement Mitigation Measures TRA-4.1 and TRA-5.1	See below	See below	See below
<i>IMPACT BEING ADDRESSED: Pedestrian Connections Under Background Plus-Project Conditions. The Project would result in a lack of adequate pedestrian connections to the area circulation system under background plus-Project conditions, resulting in a potentially significant impact. (TRA-4)</i>				
<p><i>TRA-4.1: Provide External Pedestrian Connections to the Area Circulation System and Adjacent Land Uses.</i></p> <p><i>a. Constitution Drive</i></p> <p>The Project Sponsor shall construct sidewalks along one side of Constitution Drive between Chilco Street and Chrysler Drive and pedestrian crosswalks and curb ramps at Chilco Street & Constitution Drive and Jefferson Drive & Constitution Drive.</p>	Prepare conceptual plan and cost estimate.	Within 90 days of the effective date of the Development Agreement (DA).	Project Sponsor	PW
	Provide bond for improvements.	Within 180 days of the effective date of the DA.	Project Sponsor	PW
	Submit complete plans to construct intersection improvements to City.	Within 180 days of the effective date of the DA.	Project Sponsor	PW
	Construct		Project Sponsor	PW

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
	improvements.	Prior to occupancy of Building 21.		
<i>IMPACT BEING ADDRESSED: Bicycle Connections Under Background Plus-Project Conditions. The Project would result in a lack of adequate bicycle connections to the area circulation system under background plus-Project conditions, resulting in potentially significant impacts. (TRA-5)</i>				
<i>TRA-5.1: Provide bicycle connections to the area circulation system and adjacent land uses.</i>	See below	See below	See below	See below
<p><i>a. Hamilton Avenue</i></p> <p>The Project Sponsor shall install bicycle boulevard treatments on Hamilton Avenue between Chilco Street and the pedestrian/bicycle overcrossing of US 101, including stop-sign modifications, lane markings, signage, and wayfinding elements.</p>	<p>Prepare conceptual plan and cost estimate.</p> <p>Provide bond for improvements.</p> <p>Submit complete plans to construct intersection improvements to City.</p> <p>Construct improvements.</p>	<p>Within 90 days of the effective date of the Development Agreement (DA).</p> <p>Within 180 days of the effective date of the DA.</p> <p>Within 180 days of the effective date of the DA.</p> <p>Prior to occupancy of Building 22.</p>	<p>Project Sponsor</p> <p>Project Sponsor</p> <p>Project Sponsor</p> <p>Project Sponsor</p>	<p>PW</p> <p>PW</p> <p>PW</p> <p>PW</p>
<i>b. Northbound Access to the Project Site for Bicyclists</i>	Prepare	Within 90 days	Project Sponsor	PW

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<p>The Project Sponsor shall provide facilities for northbound bicyclists to cross Willow Road and access the Project site, thereby minimizing vehicle/bicycle conflicts. Such facilities may include a two-stage left-turn queue box, or similar improvements, to accommodate northbound left-turn movements for bicyclists at the Willow Road/Hamilton Drive intersection from the curbside bicycle lane, in conjunction with a Class I pathway or similar improvements for northbound bicyclists to the travel on the west side of Willow Road between Hamilton Avenue and the Project site.</p>	conceptual plan and cost estimate.	of the effective date of the Development Agreement (DA).	Project Sponsor	PW
	Provide bond for improvements.	Within 180 days of the effective date of the DA.		
	Submit complete plans to construction intersection improvements to City.	Within 180 days of the effective date of the DA.	Project Sponsor	PW
	Complete and submit application to Caltrans.	Within 30 days of City approval of plans.	Project Sponsor	PW, Caltrans
	Construct improvements.	Prior to occupancy of Building 22.	Project Sponsor	PW, Caltrans
<p><i>IMPACT BEING ADDRESSED: Pedestrian and/or Bicycle/Vehicle Conflicts. The Project design would cause increased potential for pedestrian and/or bicycle/vehicle conflicts, resulting in potentially significant impacts. (TRA-6)</i></p>				
<p><i>TRA-6.1: Refine the Project Design to Minimize Conflicting Movements between Bicycles, Pedestrians, and Other Travel Modes within the Project Site. The Project Sponsor shall work to minimize conflicts to the satisfaction of the transportation manager prior to approval of the site</i></p>	Refine the Project site plan to satisfaction of City's	Prior to issuance of building permit for first	Project Sponsor	PW

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
plan for construction.	Transportation Manager	phase of Building 21		
<i>IMPACT BEING ADDRESSED: Peak-Hour Traffic Impacts at Intersections Under Cumulative 2040 Existing General Plan Plus-Project Conditions. Increases in peak-hour vehicle traffic associated with the Project would result in increased delays during AM and PM peak hours causing significant and unavoidable impacts on the operation of study intersections under Cumulative 2040 Conditions with the Existing General Plan. (TRA-10)</i>				
<i>TRA-10.1: Provide Increased Traffic Capacity under Cumulative 2040 Existing General Plan plus-Project Conditions.</i>	See below	See below	See below	See below
<i>a. Sand Hill Road and I-280 Northbound Off-Ramp (#1)</i> With implementation of Mitigation Measure TRA-1.2, this cumulative impact would be reduced to a less-than-significant level.	Implement Mitigation Measure TRA-1.2.	See above	See above	See above
<i>b. El Camino Real & Glenwood Avenue (#25)</i> The provision of a dedicated right-turn lane on Glenwood Avenue, where it approaches El Camino Real, is identified in the City’s TIF program. The Project Sponsor’s payment of the TIF shall partially mitigate this impact. The provision of one additional through lane on Glenwood Avenue would be needed to improve LOS to an acceptable LOS of D and fully mitigate this impact. However, the provision of an additional through lane is not feasible given the right-of-way constraints. Therefore, this impact would be considered significant and unavoidable under cumulative 2040 existing General Plan plus-Project conditions.	Pay the TIF identified in the City’s TIF program.	Prior to issuance of building permit for first phase of each building.	Project Sponsor	PW
<i>c. El Camino Real & Ravenswood Avenue-Menlo Avenue (#28)</i> Potential mitigation would be to provide a right-turn pocket on Menlo Avenue, where it approaches El Camino Real, and a third through lane on El Camino Real in both the northbound and southbound directions. These measures are identified in the City’s TIF program. The Project Sponsor’s payment of the TIF shall mitigate this impact. With implementation of this mitigation measure, the intersection would operate acceptably, and the impact would be reduced to a less-than-significant level.	Pay the TIF identified in the City’s TIF program.	Prior to issuance of building permit for first phase of each building.	Project Sponsor	PW
<i>d. Willow Road & Hamilton Avenue (#36)</i> The Project impact was identified under background plus-Project	Implement	See above	See above	See above

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Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
conditions (see TRA-1.1b). No additional feasible mitigation measures were identified to reduce this impact, which would remain significant and unavoidable.	TRA-1.1b.			
<i>e. Bayfront Expressway & Willow Road (#37)</i> The Project impact was identified under background plus-Project conditions. As discussed in Mitigation Measure TRA-1.1c, no additional feasible mitigation measures were identified to reduce this impact, which would remain significant and unavoidable.	Implement TRA-1.1c.	See above	See above	See above
<i>f. Bayfront Expressway & University Avenue (#38)</i> The Project impact was identified under background plus-Project conditions. As discussed in Mitigation Measure TRA-1.1d, no additional feasible mitigation measures were identified to reduce this impact, which would remain significant and unavoidable.	Implement TRA-1.1d.	See above	See above	See above
<i>g. Chilco Street & Constitution Drive (#45)</i> This impact, identified under background plus-Project conditions, pertains to the design of the Project entrance, as described above in Mitigation Measure TRA-1.1f. With implementation of this mitigation measure, the intersection would operate acceptably, and this impact would be reduced to a less-than-significant level.	Implement Mitigation Measure TRA-1.1f.	See above	See above	See above
<i>h. Chrysler Drive & Constitution Drive (#46)</i> With implementation of Mitigation Measure TRA-1.2, the cumulative impact at this location would be reduced to a less-than-significant level.	Implement Mitigation Measure TRA-1.2.	See above	See above	See above
<i>i. University Avenue & Adams Drive (#47)</i> The Project impact under cumulative 2040 existing General Plan plus-Project conditions would remain significant and unavoidable. Installation of a traffic signal at this location would be recommended under 2040 cumulative conditions with the proposed General Plan. Therefore, if the proposed General Plan is adopted, this impact could be mitigated to a less-than-significant level (see Mitigation Measure TRA-13.1i).	Implement Mitigation Measure TRA-13.1	See below	See below	See below
<i>j. University Avenue & Bay Road (#51)</i>	Implement	See above	See above	See above

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Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
With implementation of Mitigation Measure TRA-1.2, this impact would be reduced to a less-than-significant level.	Mitigation Measure TRA-1.2.			
<i>k. University Avenue & Donohoe Street (#54)</i> With implementation of Mitigation Measure TRA-1.2, this impact would be reduced, but the increase in delay would remain significant and unavoidable.	Implement Mitigation Measure TRA-1.2.	See above	See above	See above
<i>l. University Avenue & US 101 Southbound Ramps (#56)</i> With implementation of Mitigation Measure TRA-1.2, this impact would be reduced to a less-than-significant level.	Implement Mitigation Measure TRA-1.2.	See above	See above	See above
<i>m. University Avenue & Woodland Avenue (#57)</i> With implementation of Mitigation Measure TRA-1.2, this impact would be reduced to a less-than-significant level.	Implement Mitigation Measure TRA-1.2.	See above	See above	See above
<i>n. Chilco Street & Hamilton Avenue (#60)</i> The Project impact was identified under background plus-Project conditions (see TRA-1.1k). No additional feasible mitigation measures were identified to reduce this impact, which would remain significant and unavoidable.	Implement TRA-1.1k.	See above	See above	See above
<i>o. Bayfront Expressway & Facebook Building 20 Entrance (#65)</i> The Project impact was identified under background plus-Project conditions (see TRA-1.1l). No additional feasible mitigation measures were identified to reduce this impact, which would remain significant and unavoidable.	Implement TRA-1.1l.	See above	See above	See above
<i>p. Bayfront Expressway & Proposed Building 21 Entrance (#66)</i> The Project impact was identified under background plus-Project conditions (see TRA-1.1m). No additional feasible mitigation measures were identified to reduce this impact, which would remain significant and unavoidable.	Implement TRA-1.1m.	See above	See above	See above

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Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<i>IMPACT BEING ADDRESSED: Impacts on Routes of Regional Significance Under Cumulative 2040 Existing General Plan Plus Project Conditions. Some Routes of Regional Significance would operate at or below their LOS threshold with the addition of Project trips, and Project traffic would exceed the allowable 1 percent threshold, resulting in significant and unavoidable impacts. (TRA-11)</i>				
Implement Mitigation Measure TRA-2.1.	See above	See above	See above	See above
<i>IMPACT BEING ADDRESSED: Increase in Daily Traffic Volumes on Roadway Segments under Cumulative 2040 Existing General Plan Plus-Project Conditions. Increases in daily traffic under existing General Plan plus-Project conditions would result in increased ADT volumes on Project area roadway segments, resulting in significant and unavoidable impacts. (TRA-12)</i>				
Implement Mitigation Measures TRA-3.1 and TRA-3.2.	See above	See above	See above	See above
<i>IMPACT BEING ADDRESSED: Peak-Hour Traffic Impacts at Intersections Under Cumulative 2040 Proposed General Plan Conditions. Increases in peak-hour vehicle traffic associated with the Project would contribute to increased delays during the a.m. and p.m. peak hours in 2040 under the proposed General Plan (ConnectMenlo), causing a significant and unavoidable impact on the operation of study intersections. (TRA-13)</i>				
<i>TRA-13.1: Increase Traffic Capacity under Cumulative 2040 Proposed General Plan Conditions.</i>	See below	See below	See below	See below
<i>a. Sand Hill Road & I-280 Northbound Off-ramp (#1)</i> With implementation of Mitigation Measure TRA-1.2, this potential cumulative impact would be reduced to a less-than-significant level.	Implement Mitigation Measure TRA-1.2.	See above	See above	See above
<i>b. El Camino Real & Ravenswood Avenue-Menlo Avenue (#28)</i> With implementation of Mitigation Measure TRA-10.1c, this potential cumulative impact would be reduced to a less-than-significant level.	Implement Mitigation Measure TRA-10.1c.	See above	See above	See above
<i>c. Willow Road & Hamilton Avenue (#36)</i> The Project impact was identified under background plus-Project conditions (see TRA-1.1b). No additional feasible mitigation measures were identified to reduce this impact, which would remain significant and unavoidable.	Implement Mitigation Measure TRA-1.1b.	See above	See above	See above
<i>d. Bayfront Expressway & Willow Road (#37)</i> The Project impact was identified under background plus-Project conditions. As discussed in Mitigation Measure TRA-1.1c, no additional	Implement Mitigation Measure	See above	See above	See above

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Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
feasible mitigation measures were identified to reduce this impact, which would remain significant and unavoidable.	TRA-1.1c.			
<i>e. Bayfront Expressway & University Avenue (#38)</i> The Project impact was identified under background plus-Project conditions. As discussed in Mitigation Measure TRA-1.1d, no additional feasible mitigation measures were identified to reduce this impact, which would remain significant and unavoidable.	Implement Mitigation Measure TRA-1.1d.	See above	See above	See above
<i>f. Chilco Street & Constitution Drive (#45)</i> This impact, identified under background plus-Project conditions, pertains to the design of the Project entrance, as described above in Mitigation Measure TRA-1.1f. With implementation of this mitigation measure, the intersection would operate acceptably, and this impact would be reduced to a less-than-significant level.	Implement Mitigation Measure TRA-1.1f.	See above	See above	See above
<i>g. Chrysler Drive & Constitution Drive (#46)</i> With implementation of Mitigation Measure TRA-1.2, the cumulative impact at this location would be reduced to a less-than-significant level.	Implement Mitigation Measure TRA-1.2.	See above	See above	See above
<i>h. University Avenue & Adams Drive (#47)</i> Signalization of this intersection should be included in the City’s TIF program. The Project Sponsor’s payment of the TIF shall mitigate this impact, and the impact would be less than significant.	Pay the TIF identified in the City’s TIF program.	Prior to issuance of building permit for first phase of Building 21	Project Sponsor	PW
<i>i. University Avenue & Bay Road (#51)</i> With implementation of Mitigation Measure TRA-1.2, this impact would be reduced to a less-than-significant level.	Implement Mitigation Measure TRA-1.2	See above	See above	See above
<i>j. University Avenue & Donohoe Street (#54)</i> With implementation of Mitigation Measure TRA-1.2, this impact would be reduced, but the increase in delay would remain significant and unavoidable.	Implement Mitigation Measure TRA-1.2	See above	See above	See above
<i>k. University Avenue & US 101 Southbound Ramps (#56)</i>	Implement	See above	See above	See above

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Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
With implementation of Mitigation Measure TRA-1.2, this impact would be reduced to a less-than-significant level.	Mitigation Measure TRA-1.2			
<i>l. Chilco Street & Hamilton Avenue (#60)</i> The Project impact was identified under background plus-Project conditions and cumulative 2040 existing General Plan plus-Project conditions (see Mitigation Measure TRA-1.1k). This impact would remain significant and unavoidable.	Implement TRA-1.1k.	See above	See above	See above
<i>m. Bayfront Expressway & Facebook Building 20 Entrance (#65)</i> The Project impact was identified under background plus-Project conditions and cumulative 2040 existing General Plan plus-Project conditions (see Mitigation Measure TRA-1.1l). No additional feasible mitigation measures were identified to reduce this impact, which would remain significant and unavoidable.	Implement TRA-1.1l.	See above	See above	See above
<i>n. Bayfront Expressway & Proposed Building 21 Entrance (#66)</i> The Project impact was identified under background plus-Project conditions and cumulative 2040 existing General Plan plus-Project conditions (see Mitigation Measure TRA-1.1m). No additional feasible mitigation measures were identified to reduce this impact, which would remain significant and unavoidable.	Implement TRA-1.1m.	See above	See above	See above
<i>IMPACT BEING ADDRESSED: Impacts on Routes of Regional Significance Under Cumulative 2040 Proposed General Plan Conditions. Some Routes of Regional Significance would operate at or below their LOS threshold with the addition of Project trips. However, Project traffic would exceed the allowable 1 percent threshold, resulting in significant and unavoidable impacts. (TRA-14)</i>				
Implement Mitigation Measure TRA-2.1.	See above	See above	See above	See above
<i>IMPACT BEING ADDRESSED: Increase in Daily Traffic Volumes on Roadway Segments Under Cumulative 2040 Proposed General Plan Conditions. Increases in daily traffic associated with the Project under Cumulative 2040 Proposed General Plan Conditions would result in increased ADT volumes on Project area roadway segments resulting in significant and unavoidable impacts. (TRA-15)</i>				
Implement Mitigation Measure TRA-3.1 and TRA-3.2.	See above	See above	See above	See above
AIR QUALITY				
<i>IMPACT BEING ADDRESSED: Construction Criteria Air Pollutant Emissions. Construction activities at the Project site could result in the</i>				

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Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<i>generation of regional criteria pollutant emissions during construction in excess of BAAQMD thresholds. (AQ-2a)</i>				
<p><i>AQ-2.1: Implement BAAQMD Basic Construction Mitigation Measures to Reduce Construction-Related Dust.</i> The Project Sponsor shall require all construction contractors to implement the basic construction mitigation measures recommended by BAAQMD to reduce fugitive dust emissions. Emission reduction measures shall include, at a minimum, the following measures. Additional measures may be identified by BAAQMD or contractor as appropriate.</p> <ul style="list-style-type: none"> • All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day. Recycled water, to be purchased through advance arrangement with the City of Redwood City or the City of Palo Alto, shall be used to water all exposed surfaces. • All haul trucks transporting soil, sand, or other loose material offsite shall be covered. • All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. • All vehicle speeds on unpaved roads shall be limited to 15 mph. • All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used. • A publicly visible sign shall be posted with the telephone number and name of the person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. BAAQMD’s phone number shall also be visible to ensure compliance with applicable regulations. 	<p>Implement the basic construction mitigation measures recommended by BAAQMD to reduce fugitive dust emissions.</p>	<p>During construction</p>	<p>Project Sponsor and Project Contractor(s)</p>	<p>PW / CDD</p>
<i>IMPACT BEING ADDRESSED: Operational Criteria Air Pollutant Emissions. Operational activities at the Project site could result in the generation of regional criteria pollutant emissions during operation in excess of BAAQMD thresholds. (AQ-2b)</i>				
<p><i>AQ-2.2: Offset NOX Emissions Generated during Project Operation that are above the BAAQMD NO_x Average Daily Emission Threshold.</i> The Project</p>	<p>Develop offsite NO_x mitigation</p>	<p>Prior to occupancy of</p>	<p>Project Sponsor</p>	<p>PW / CDD</p>

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Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<p>Sponsor shall, prior to occupancy of the first building within the Project, enter into an agreement with the City to develop an alternative or complementary offsite mitigation program to offset operational NO_x emissions to the level established by the BAAQMD thresholds for the years in which the Project's emissions exceed the BAAQMD threshold. The offsite mitigation program shall require Project Sponsor to provide a one-time payment to the City to establish a program to fund emission reduction projects through grants and similar mechanisms within the City of Menlo Park. The amount of such payment shall be calculated based on then-current BAAQMD Carl Moyer Program cost-effectiveness limit multiplied by the emissions that exceed BAAQMD's average daily threshold for each year that emissions exceed the threshold plus a five percent administrative fee to fund procurement of offsite emission reductions for the Project's projected operational emissions.</p> <p>Potential projects shall be limited to those which will reduce emissions for each year in which the project's emissions exceed the BAAQMD threshold through the end of 2025, which is when the Project's operational emissions are projected to be below the average daily thresholds, including, but not limited to, the following:</p> <ul style="list-style-type: none"> • Alternative fuel, low-emission school buses, transit buses, and other vehicles. • Diesel engine retrofits and repowers. • Bike Sharing Programs. • Electric vehicle charging stations and plug-ins. <p>All offsite reductions must be quantifiable, verifiable, and enforceable. The Project Sponsor shall engage a qualified air quality expert to coordinate with the City to identify a list of potential projects eligible for funding. Emission reduction projects shall be funded so that the Project's emissions are reduced each year until the end of 2025. The air quality expert retained by the Project Sponsor shall provide a report within one year of occupancy of the first building within the Project identifying the projects that were funded and associated NO_x emissions expected to be realized for each year out until the end of 2025. Annual reporting of the</p>	<p>program and provide a one-time payment to the City to establish a program to fund emission reduction projects.</p>	<p>Building 21..</p>		

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Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<p>implementation of emissions reduction projects shall be required until the Project's emissions are less than the BAAQMD threshold without the offsets.</p> <p>If a sufficient number of emissions reduction projects are not identified to meet the required performance standards in the City of Menlo Park, Project Sponsor shall consult with a qualified air quality expert to ensure conformity is met through some other means of achieving the performance standard of achieving net zero operational emissions in excess of BAAQMD's average daily thresholds through 2025, including (but not limited to) payment of a one-time mitigation offset fee to BAAQMD's Strategic Incentives Division plus a five percent administrative fee to fund one or more emissions reduction projects within the San Francisco Bay Area Air Basin. Reporting for any emissions reduction projects outside the City shall be completed on the same schedule as indicated above for emission reduction projects in the City.</p> <p>If annual reports indicate that emission reductions do not adequately reduce project emissions to a level below the BAAQMD threshold for any year, then a penalty of 200 percent shall be imposed that will require the Project Sponsor to obtain an additional year of offsets based on the amount of emissions by which the Project's emissions exceed the BAAQMD threshold for the next following year (e.g., if the 2019 emissions exceed the threshold by five tons, then 10 tons of emissions must be provided by 2020).</p>				
<p><i>IMPACT BEING ADDRESSED: Result in a Cumulatively Considerable Net Increase of any Criteria Pollutant for which the Project Region is Nonattainment. The Project could result in the generation of criteria pollutant emissions that would result in a cumulatively considerable net increase. (AQ-3)</i></p>				
Implement Mitigation Measures AQ-2.1 and AQ-2.2	See above	See above	See above	See above
<p><i>IMPACT BEING ADDRESSED: Exposure of Existing Sensitive Receptors to Substantial Pollutant Concentrations During Construction. The Project would expose existing sensitive receptors to substantial pollutant concentrations during construction. (AQ-4a)</i></p>				
Implement Mitigation Measure AQ-2.1	See above	See above	See above	See above
<p><i>IMPACT BEING ADDRESSED: Cumulative Criteria Pollutants during Operation. Operational activities associated with the Project could</i></p>				

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Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<i>generate substantial ROG, NO_x, and PM10 emissions in excess of BAAQMD thresholds. (C-AQ-2b)</i>				
Implement Mitigation Measure AQ-2.2	See above	See above	See above	See above
GREENHOUSE GAS EMISSIONS				
<i>IMPACT BEING ADDRESSED: Greenhouse Gas Emissions. The Project would not generate GHG emissions, either directly or indirectly, that would have a significant impact on the environment. (GHG-1)</i>				
<i>GHG-1.1: Implement BAAQMD Best Management Practices for Construction. The Project Sponsor shall require all construction contractors to implement the BMPs recommended by BAAQMD to reduce GHG emissions. Emissions reduction measures shall include, at a minimum, the use of local building materials (at least 10 percent), the recycling and reuse of at least 50 percent of construction waste or demolition material, and the use of alternative-fuel vehicles for construction vehicles/equipment (at least 15 percent of the fleet).</i>	Implement the BMPs recommended by the BAAQMD to reduce GHG emissions.	During construction	Project Sponsor and Contractor(s)	PW / CDD
NOISE				
<i>IMPACT BEING ADDRESSED: Exposure to Excessive Noise Levels. The Project could expose persons to or generate noise levels in excess of standards established in the General Plan, noise ordinance or applicable standards of other agencies. (NOI-1)</i>				
<i>NOI-1.1: Implement Noise Control Measures to Reduce Construction Noise during Project Construction. The Project Sponsor shall submit a Construction Noise Plan for review and approval by the Planning and Building Divisions prior to the issuance of the demolition permit. The Project Sponsor shall comply with construction noise limits specified in Section 8.06 of the City of Menlo Park Municipal Code by implementing measures during demolition and construction of the Project. These measures may include, but are not limited to:</i>	Submit a Construction Noise Plan. Implement noise control measures to reduce construction noise during construction.	Submit Plan prior to the issuance building permit for first phase of each building. Implement Plan during construction	Project Sponsor and Contractor(s)	CDD

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Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<p>Friday.</p> <ul style="list-style-type: none"> • Use best available noise control techniques (e.g., improved mufflers, equipment redesign, intake silencers, ducts, engine enclosures, acoustically attenuating shields or shrouds) on equipment and trucks used for Project construction wherever feasible. • Use hydraulically or electrically powered impact tools (e.g., pile drivers, jack hammers, pavement breakers, rock drills) used for Project construction wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, use an exhaust muffler on the compressed air exhaust; this muffler can lower noise levels from the exhaust by up to about 10 dBA. Use external jackets on the tools themselves where feasible. This could achieve a reduction of 5 dBA. Use quieter equipment, such as drills, rather than impact equipment whenever feasible. • Use “quiet” gasoline-powered compressors or electric compressors, and use electric rather than gasoline- or diesel-powered forklifts for small lifting to the extent feasible. • Locate stationary noise sources, such as temporary generators, as far from nearby receptors as possible; such sources shall be muffled and enclosed within temporary enclosures and shielded by barriers or other measures to the extent feasible. • Install temporary noise barriers (generally approximately 8 feet in height) around construction areas adjacent to sensitive receptors to reduce construction noise from equipment to acceptable levels. Specifically, the noise barriers shall reduce noise levels during the hours of 8:00 a.m. to 6:00 p.m. on weekdays to 85 dBA at a distance of 50 feet from the construction equipment. In addition, the noise barriers shall reduce overall construction noise to less than 60 dBA Leq, as measured at the applicable property lines of adjacent uses, during the hours of 7:00 a.m. to 8:00 a.m. and 6:00 p.m. to 10:00 p.m. weekdays and 7:00 a.m. to 10:00 p.m. on Saturdays. The noise barriers shall be installed unless an acoustical engineer submits documentation 				

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Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<p>that confirms that barriers are not necessary to achieve these attenuation levels or provides specific locations and heights to achieve the required attenuation.</p> <ul style="list-style-type: none"> • Prohibit trucks from idling along streets serving the construction site. • Prior to any pile-driving activities, notify all surrounding property owners and occupants within 300 feet of the Project site, informing them of the estimated start date and duration. • Implement “quiet” pile-driving technology (e.g., vibratory pile driving or pre-drilled pile holes) where feasible, in consideration of geotechnical and structural requirements and conditions. • Monitor the effectiveness of noise attenuation measures by taking noise measurements during pile-driving activities to ensure compliance with the 85 dBA standard at 50 feet for construction equipment and during general construction occurring during non-exempted daytime hours to ensure compliance with the 60 dBA Leq daytime standard. 				
<p><i>NOI-1.2: Implement Noise Control Measures to Reduce HVAC Noise during Project Operation.</i> The Project Sponsor shall design the Project HVAC system to limit noise to the applicable standard at the property line of nearby noise-sensitive receptors. Measures that can implemented to achieve this include, but are not limited to:</p> <ul style="list-style-type: none"> • Maximize the distance between HVAC systems and nearby sensitive receptors, • Provide enclosures around the HVAC units, • Incorporate local barriers around equipment, and • Utilize mufflers or silencers on HVAC systems. <p>Prior to the issuance of building permits, the Project Sponsor shall prepare a report, identifying measures that will be implemented to ensure that exterior HVAC noise levels will comply with the following noise limits:</p> <ul style="list-style-type: none"> • The 60 dBA Leq daytime and 50 dBA Leq nighttime noise standards for equipment located on the ground, 	<p>Design the Project HVAC system to limit noise to the applicable standard at the property line of nearby noise-sensitive receptors. Prepare a report documenting compliance.</p>	<p>Prior to the issuance of building permit for first phase of each building and document compliance prior to occupancy.</p>	<p>Project Sponsor</p>	<p>CDD</p>

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Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<ul style="list-style-type: none"> The zoning ordinance limit of 50 dBA at a distance of 50 feet for roof-mounted equipment. 				
<p><i>NOI-1.3: Install Sound Enclosures around Emergency Generators.</i> The Project Sponsor shall reduce the sound level from the operating generators to a maximum sound level of less than the 60 dBA noise standard at nearby noise-sensitive land uses. Measures that could accomplish this standard include, but are not limited to:</p> <ul style="list-style-type: none"> Installing sound enclosures around all emergency generators, Utilizing mufflers to reduce generator noise, and Utilizing equipment that meets this standard. <p>Prior to the issuance of building permits, the Project Sponsor shall prepare a report, identifying measures that shall be implemented to ensure that exterior noise levels from emergency generators comply with the 60 dBA Leq daytime/nighttime noise standards.</p>	Install sound enclosures for emergency generators and prepare a report identifying measures that shall be implemented	Prior to the issuance of building permit for first phase of each building; install sound enclosures of other measures to implement Report and document compliance prior occupancy.	Project Sponsor and Contractor(s)	CDD
<p><i>NOI-1.4: Limit Generator Testing to Daytime Hours.</i> The Project Sponsor shall limit generator testing to between the hours of 8:00 a.m. and 6:00 p.m.</p>	Limit generator testing to daytime hours.	Ongoing during occupancy	Project Sponsor	CDD
<p><i>NOI-1.5: Design Enclosures around Mechanical Equipment Associated with the Recycled Water System to Limit Exterior Noise.</i> The Project Sponsor shall design the recycled water system such that noise generated by mechanical equipment complies with the City noise standards of 60 dBA Leq (daytime) and 50 dBA Leq (nighttime) at nearby residences. Measures that could accomplish this include, but are not limited to:</p> <ul style="list-style-type: none"> Designing equipment room enclosures, access doors, and other equipment room openings to limit noise that could be transmitted to the exterior Utilizing mufflers to limit blower noise <p>Prior to the issuance of building permits, the Project Sponsor shall</p>	Design the recycled water system to comply with the City noise standards at nearby residences and prepare a report documenting compliance.	Prior to the issuance of building permit for first phase and document compliance prior to occupancy for each building.	Project Sponsor and Contractor(s)	CDD

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Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
prepare a report, identifying measures that shall be implemented to ensure that exterior noise levels from the recycled water system comply with the daytime and nighttime noise standards.				
<i>IMPACT BEING ADDRESSED: Substantial Permanent Increase in Ambient Noise Levels. The Project would result in a permanent increase in ambient noise levels in the Project vicinity, above levels existing without the Project. (NOI-3)</i>				
Implement Mitigation Measures NOI-1.2 through NOI-1.5	See above	See above	See above	See above
<i>IMPACT BEING ADDRESSED: Substantial Temporary or Periodic Increase in Ambient Noise Levels. The Project could result in a substantial temporary or periodic increase in ambient noise levels in the Project vicinity, above levels existing without the Project. (NOI-4)</i>				
Implement Mitigation Measure NOI-1.1	See above	See above	See above	See above
<i>IMPACT BEING ADDRESSED: Cumulative Exposure to Excessive Noise. The Project, in combination with other development within the city, could result in a substantial increase in exposure of persons to noise in excess of the standards established in the City General Plan or Municipal Code. The Project's contribution would be cumulatively significant. (C-NOI-1)</i>				
Implement Mitigation Measure NOI-1.1	See above	See above	See above	See above
CULTURAL RESOURCES				
<i>IMPACT BEING ADDRESSED: Impacts on Archaeological Resources. The Project has the potential to encounter and damage or destroy previously unknown subsurface archaeological resources during construction. (CUL-2)</i>				
<i>CUL-2.1: Perform Construction Monitoring, Evaluate Uncovered Archaeological Features, and Mitigate Potential Disturbance of Identified Significant Resources at the Project Site. Prior to demolition, excavation, grading, or other construction-related activities on the Project site, the Project Sponsor shall hire a qualified professional archaeologist (i.e., one who meets the Secretary of the Interior's professional qualifications for archaeology or one under the supervision of such a professional) to monitor, to the extent determined necessary by the archaeologist, Project-related earth-disturbing activities (e.g., grading, excavation, trenching). In the event that any prehistoric or historic-period subsurface archaeological features or deposits, including locally darkened soil (midden), that could conceal cultural deposits, animal bone, obsidian, and/or mortar are discovered during demolition/construction-related earthmoving activities, all ground-disturbing activity within 100 feet of the discovery</i>	Retain a qualified archeologist to monitor project-related earth-disturbing activities. Halt all ground-disturbing activity within 100 feet of any discovery of an archaeological feature.	Prior to issuance of a building permit for first phase of each building and during demolition, excavation, grading activities, and construction	Project Sponsor/ Qualified Archaeologist / and Native American representative	CDD

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<p>shall be halted immediately, and the Planning and Building Divisions shall be notified within 24 hours. The City shall consult with the Project archaeologist to assess the significance of the find. Impacts on any significant resources shall be mitigated to a less-than-significant level through data recovery or other methods determined adequate by the City that are consistent with the Secretary of the Interior's Standards for Archaeological Documentation. If Native American archaeological, ethnographic, or spiritual resources are discovered, all identification and treatment of the resources shall be conducted by a qualified archaeologist and Native American representatives who are approved by the local Native American community as scholars of the cultural traditions. In the event that no such Native American is available, persons who represent tribal governments and/or organizations in the locale in which resources could be affected shall be consulted. When historic archaeological sites or historic architectural features are involved, all identification and treatment is to be carried out by historical archaeologists or architectural historians who meet the Secretary of the Interior's professional qualifications for archaeology and/or architectural history.</p>				
<p><i>IMPACT BEING ADDRESSED: Impacts on Paleontological Resources. The Project could destroy a unique paleontological resource or site or unique geologic feature. (CUL-3)</i></p>				
<p><i>CUL-3.1: Conduct Protocol and Procedures for Encountering Paleontological Resources.</i> Prior to the start of any subsurface excavations that would extend beyond previously disturbed soils, all construction forepersons and field supervisors shall receive training by a qualified professional paleontologist, as defined by the SVP, who is experienced in teaching non-specialists to ensure they recognize fossil materials and follow proper notification procedures in the event any such materials are uncovered during construction. Procedures to be conveyed to workers include halting construction within 50 feet of any potential fossil find and notifying a qualified paleontologist, who shall evaluate its significance. If a fossil is determined to be significant and avoidance is not feasible, the paleontologist shall develop and implement an excavation and salvage</p>	<p>Provide training by a qualified professional paleontologist to construction personnel. If paleontological materials are discovered, an excavation and salvage plan shall be developed and</p>	<p>Prior to issuance of a building permit for first phase of each building and during demolition, excavation, grading activities, and construction</p>	<p>Project Sponsor/ Qualified Paleontologist</p>	<p>CDD</p>

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<p>plan in accordance with SVP standards. Construction work in these areas shall be halted or diverted to allow recovery of fossil remains in a timely manner. Fossil remains collected during the monitoring and salvage portion of the mitigation program shall be cleaned, repaired, sorted, and cataloged. Prepared fossils, along with copies of all pertinent field notes, photos, and maps, shall then be deposited in a scientific institution with paleontological collections. A final Paleontological Mitigation Plan Report shall be prepared that outlines the results of the mitigation program. The City shall be responsible for ensuring that the monitor’s recommendations regarding treatment and reporting are implemented.</p>	<p>construction in the affected area shall be halted.</p>			
<p><i>IMPACT BEING ADDRESSED: Impacts on Human Remains. The Project has the potential to encounter or discover human remains during excavation or construction. (CUL-4)</i></p>				
<p><i>CUL-4.1: Comply with State Regulations Regarding the Discovery of Human Remains at the Project Site.</i> If human remains are discovered during any construction activities, all ground-disturbing activity within 50 feet of the remains shall be halted immediately, and the county coroner shall be notified immediately, according to Section 5097.98 of the State Public Resources Code and Section 7050.5 of California’s Health and Safety Code. Additionally, the Planning and Building Divisions shall be notified. If the remains are determined by the county coroner to be Native American, the NAHC shall be notified within 24 hours, and the guidelines of the NAHC shall be adhered to in the treatment and disposition of the remains. The Project Sponsor shall also retain a professional archaeologist with Native American burial experience to conduct a field investigation of the specific site and consult with the Most Likely Descendant, if any, identified by the NAHC. As necessary, the archaeologist may provide professional assistance to the Most Likely Descendant, including the excavation and removal of the human remains. The City of Menlo Park Community Development Department, Planning Division, shall be responsible for approval of recommended mitigation as it deems appropriate, taking account of the provisions of state law, as set forth in State CEQA Guidelines Section 15064.5(e) and Public Resources Code Section 5097.98. The applicant shall implement approved mitigation, to be</p>	<p>Halt ground-disturbing activities within 50 feet of discovered human remains if human remains are discovered during any construction activities. Notify the County Coroner. If remains are determined to be Native American, NAHC guidelines shall be followed and a qualified archaeologist shall determine</p>	<p>During construction</p>	<p>Project Sponsor/ Qualified Archeologist</p>	<p>CDD</p>

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
verified by the Planning Division, before the resumption of ground-disturbing activities within 50 feet of where the remains were discovered.	the Most Likely Descendant.			
BIOLOGICAL RESOURCES				
<i>IMPACT BEING ADDRESSED: Indirect Impacts on Special-Status Species. The Project could result in increased predation of special-status bird and mammal species that inhabit nearby saltwater and brackish water marshes in the Don Edwards National Wildlife Refuge. (BIO-2)</i>				
<p><i>BIO-2.1: Install Bird Perching Deterrents on All New Buildings and Other Elevated Structures, Including the Bicycle/Pedestrian Bridge. The Project Sponsor shall implement the following measures to protect special-status species from increased predation on the Project site:</i></p> <ul style="list-style-type: none"> For all new buildings constructed on the Project site, as well as the bicycle/pedestrian bridge and northern bridge approaches, the Project Sponsor shall install bird deterrents along suitable perching sites to deter avian predators of special-status species that inhabit the adjacent salt marshes. Such deterrents may include one or more of the following: bird spikes, bird netting, an electric shock track, sound deterrents, or perching deterrents approved by CDFW and/or USFWS. Trees that are used for replacement landscaping, especially those planted on rooftops, shall consist of species that generally do not exceed 30 feet in height to limit the visibility of adjacent salt marshes to the north. These trees may include native or non-invasive nonnative ornamental species. Species with broad canopies are preferred because trees with tall, narrow canopies (e.g., palms or conifers) generally provide better hunting perches for raptors. Additionally, trees that are planted on the rooftops of the new buildings shall be located away from the edge of the roof and planted with a reduced line of sight to the Bay. 	Install bird deterrents along suitable perching sites on buildings. New trees shall consist of species that generally do not reach heights of greater than 30 feet.	Prior to occupancy of each building.	Project Sponsor	CDD
<i>IMPACT BEING ADDRESSED: Impacts on Native Wildlife Nursery Sites. The removal of buildings, trees, shrubs, or woody vegetation and the installation of new buildings and lighting could affect native migratory birds. (BIO-3)</i>				
Implement Mitigation Measure BIO-2.1, plus: <i>BIO-3.1: Conduct Pre-construction Surveys for Nesting Migratory Birds. The</i>	Avoid construction	During nesting season, no	Qualified Biologist /	CDD

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<p>Project Sponsor shall implement the following measures to reduce impacts on nesting migratory birds:</p> <ul style="list-style-type: none"> To facilitate compliance with state and federal law (California Fish and Game Code and the MBTA) and prevent impacts on nesting birds, the Project Sponsor shall avoid construction during the nesting season (February 1 through September 14) or conduct pre-construction surveys, as described below. If it is not feasible to avoid the nesting season, the Project Sponsor shall hire a qualified wildlife biologist with demonstrated experience to conduct a survey for nesting birds, including raptors, no earlier than 3 days prior to the commencement of ground-disturbing activities and vegetation removal (including clearing, grubbing, and staging). The area surveyed shall include all construction areas within the Project site as well as areas within 250 feet outside the boundaries of the areas to be cleared or as otherwise determined by the biologist. If construction activities related to the multi-use bicycle/pedestrian bridge and occurring on the northern side of the Bayfront Expressway are initiated during the nesting bird season, within 3 days prior to the start of construction, a survey shall be conducted by a qualified biologist to determine whether western snowy plovers are nesting within 600 feet of the proposed construction area. Surveys shall be conducted on two week intervals, between February 1 and through May 30, or longer, if necessary, as determined by the biologist based on the behavior and habitat. If an active nest is identified, a buffer of 600 feet shall be established between the construction area and the nest, and the nest shall be periodically monitored by a qualified biologist to determine when it is no longer active (at which point the buffer will no longer be needed). If there is a visual barrier, such as a levee or dense vegetation, between the construction area and the nest, such that the plover will not be able to see construction activity from the nest, then the Project Sponsor may coordinate with the USFWS to determine whether a reduced buffer would be sufficient to allow work to occur without disturbing the nesting plovers. 	<p>during the nesting season. If not feasible to avoid the nesting season, conduct pre-construction surveys for bird.</p> <p>Conduct surveys for nesting western snowy plovers within 600 feet of the proposed construction area.</p>	<p>earlier than 3 days prior to ground-disturbing activities and vegetation removal</p> <p>During nesting season, 3 days prior to start of construction and in two week intervals.</p>	<p>Project Sponsor</p>	

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<ul style="list-style-type: none"> • A nest survey shall be required prior to implementation of Phase 1 and Phase 2 of the Project and when construction work stops at a portion of the site where suitable nesting habitat remains for more than 15 days. Additionally, at least one nest survey shall be conducted at the beginning of each year of Project implementation between February and May. As discussed in Chapter 2, <i>Project Description</i>, Project implementation will occur between 2016 and 2022. The need for additional surveys shall be determined by the qualified wildlife biologist and based on the results of the initial survey. • If the biologist finds active nests during the survey, he or she shall establish species-specific no-disturbance buffer zones for each nest with use of high-visibility fencing, flagging, or pin flags. No construction activities shall be allowed within the buffer zones. The size of the buffer shall be based on the species sensitivity to disturbance and planned work activities in the vicinity. The buffer shall remain in effect until the nest is no longer active. • If structure demolition activities cannot occur outside of the nesting season, the Project Sponsor or its contractor shall remove inactive nests from the structure to be demolished and install nest exclusion measures (i.e., fine mesh netting, panels, or metal projectors) outside of the nesting season. All exclusionary devices shall be monitored and maintained throughout the breeding season to ensure that they are successful in preventing the birds from accessing cavities or nest sites. No more than 3 days prior to building demolition activities, a qualified biologist shall conduct a pre-construction survey of all potential nesting habitat on the structure to be demolished and the surrounding areas for the presence of active nests. If active nests are found on the building or in the affected area, then demolition activities shall not proceed until the biologist verifies that all nests on the building are inactive. • After all surveys and/or nest deterrence activities are completed, the biologist shall complete a memorandum detailing the survey effort and results and submit the memorandum to the City within 7 days of 	<p>Conduct a nest survey where suitable nesting habitat remains for more than 15 days. Submit a memorandum after all surveys and/or nest deterrence activities are completed.</p>	<p>Prior to issuance of a building permit for the first phase of each building and at the beginning of each year of Project implementation between February and May. Submit memorandum within 7 days of survey completion.</p>		

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
survey completion.				
<p>BIO-3.2: <i>Implement Bird-Safe Design Standards into Project Buildings and Lighting Design.</i> The Project Sponsor or its contractor shall implement the following measures to minimize hazards to birds:</p> <ul style="list-style-type: none"> • Reduce large areas of transparent or reflective glass. • Locate water features, trees, and bird habitat away from building exteriors to reduce reflection. • Reduce or eliminate the visibility of landscaped areas behind glass. • Turn non-emergency lighting off at night, especially during bird migration season (February–May and August–November). • Include window coverings that adequately block light transmission from rooms where interior lighting is used at night and install motion sensors or controls to extinguish lights in unoccupied spaces. • Design and/or install lighting fixtures that minimize light pollution, including light trespass, over-illumination, glare, light clutter, and skyglow, while using bird-friendly colors for lighting when possible. San Francisco's Standards for Bird-safe Buildings document¹ provides a good overview of building design and lighting guidelines to minimize bird/building collisions. • Nighttime construction work near Pond R3 shall be avoided. If nighttime construction work cannot be avoided, lighting will be directed to the work area and away from habitat for the western snowy plover. 	Implement Bird-Safe Design Standards into building and lighting design.	Prior to issuance of building permit for building shell and duration of use of the building.	Project Sponsor	CDD
HYDROLOGY AND WATER QUALITY				
<i>IMPACT BEING ADDRESSED: Violation of Water Quality Standards or Waste Discharge Requirements. The Project could violate water quality standards or waste discharge requirements. (WQ-1)</i>				
<p><i>WQ-1.1: Implement Construction Dewatering Treatment (if necessary).</i> Dewatering treatment would be necessary if groundwater is encountered</p>	Implement construction	During	Project Sponsor / Project	CDD

¹ City and County of San Francisco. 2011. *Standards for Bird-Safe Buildings*. San Francisco Planning Department. July 14. Available: <http://www.sf-planning.org/ftp/files/publications_reports/bird_safe_bldgs/Standards%20for%20Bird%20Safe%20Buildings%20-%202011-30-11.pdf>.

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<p>during excavation activities, dewatering is necessary to complete the Project, or the dewatered water is discharged to any storm drain or surface water body. Because there is potential for groundwater to be contaminated with VOC's or fuel products at the Project site, the Project Sponsor would be required to comply with the San Francisco Bay RWQCB's VOC and Fuel General Permit (Order No. R2-2012-0012).</p> <p>If dewatering activities require discharges into the storm drain system or other water bodies, the water shall be pumped to a tank and tested for water quality using grab samples and sent to a certified laboratory for analysis. If it is found that the water does not meet water quality standards, it should either be treated as necessary prior to discharge so that all applicable water quality objectives (as noted in Tables 3.10-1 and 3.10-2) are met or hauled offsite instead for treatment and disposal at an appropriate waste treatment facility that is permitted to receive such water. Water treatment methods shall be selected that achieve maximum removal of contaminants found in the groundwater and represent the best available technology that is economically achievable. Implemented methods may include the retention of dewatering effluent until particulate matter has settled before it is discharged, the use of infiltration areas, filtration, or other means. The contractor shall perform routine inspections of the construction area to verify that the water quality control measures are properly implemented and maintained, conduct visual observations of the water (i.e., check for odors, discoloration, or an oily sheen on groundwater), and perform other sampling and reporting activities prior to discharge. The final selection of water quality control measures shall be submitted in a report to the San Francisco Bay RWQCB for approval prior to construction. If the results from the groundwater laboratory do not meet water quality standards and the identified water treatment measures cannot ensure treatment that meets all standards for receiving water quality, then the water shall be hauled offsite instead for treatment and disposal of at an appropriate waste treatment facility that is permitted to receive such water.</p>	<p>dewatering treatment if groundwater is encountered.</p>	<p>construction</p>	<p>Contractor(s)</p>	
<p><i>IMPACT BEING ADDRESSED: Impacts from Flooding. The Project could expose people or structures to a significant risk of loss, injury, or death</i></p>				

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<i>involving flooding, including flooding as a result of the failure of a levee or dam, but would not place structures within a 100-year flood hazard area. (WQ-5)</i>				
<i>WQ-5.1: Flood-Proofing of Project Underground Infrastructure.</i> Prior to or, at a minimum, concurrent with the issuance of the first construction activity permit at the Project site, and in connection with applicable FEMA requirements, the Project Sponsor shall ensure that the Project incorporates design features, including storm drains, sewers, and equipment facilities, that would flood-proof underground infrastructure, thereby allowing it to withstand hydrostatic forces and buoyancy from SLR changes in groundwater levels. Onsite recycled-water wetland treatment areas shall be located at grade, with underground tanks placed in elevated areas to provide protection from the 100-year BFE plus 16 inches.	Incorporate design features to flood-proof below-ground infrastructure.	Prior to, or concurrent with, the issuance of the first construction permit.	Project Sponsor	CDD / PW
<i>WQ-5.2: Provide Adequate Stormflow Conveyance Capacity for Sea-Level Rise Conditions at the Project Site.</i> Prior to or, at a minimum, concurrent with the issuance of the first construction activity permit at the Project site, the Project Sponsor shall provide current documentation in the form of a technical report to ensure that, as a result of Project design features, the storm drain system's existing conveyance capacity is not constricted by SLR at the outlets, including the offsite Chrysler pump station, as a result of the Project design.	Incorporate design features to ensure that storm drain system conveyance capacity is not constricted by sea level rise.	Prior to, or concurrent with, the issuance of the first construction permit	Project Sponsor	CDD / PW
<i>IMPACT BEING ADDRESSED: Cumulative Hydrology and Water Quality Impacts. The Project, in combination with other foreseeable development in the vicinity, could contribute considerably to cumulative impacts on water quality, groundwater recharge and supplies, storm drain capacity, or current flooding. (C-WQ-1)</i>				
Implement Mitigation Measure WQ-1.1	See above	See above	See above	See above
HAZARDS AND HAZARDOUS MATERIALS				
<i>IMPACT BEING ADDRESSED: Upset and Accident Conditions Involving Hazardous Materials. The Project could create a potentially significant hazard to human health and/or the environment involving the release of hazardous materials. (HAZ-2)</i>				
<i>HAZ-2.1: Soil and Groundwater Management.</i> Soil Management Plans that cover the entire Project site shall be prepared and implemented. These Soil Management Plans shall, as appropriate, incorporate the analytical	Prepare and implement soil	Prior to and during	Project Sponsor	CDD/DTSC

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
results from the most recent groundwater monitoring event and soil investigations and include protocols for managing both known and potentially undocumented residual soil and groundwater contamination that may be encountered during Project construction, including naturally occurring asbestos. The Soil Management Plans shall include dust control measures that describe how construction and grading operations will minimize dust emissions and ensure that no equipment or operations will emit visible dust across the property line. Although naturally occurring asbestos has not been detected in the vicinity of Buildings 307-309, in accordance with CARB's Asbestos ATCM for Construction, Grading, Quarrying, and Surface Mining Operations, if naturally occurring asbestos is encountered during construction, then dust control measures must meet the requirements of an ADMP approved by the BAAQMD. These Soil Management Plans shall be approved by DTSC and implemented during Project construction.	management plans.	construction		
<i>HAZ-2.2: Additional Site Investigation.</i> If required by DTSC, additional site investigations shall be performed to delineate the source and extent of contamination on the Project site. At DTSC's discretion, these investigations may be incorporated into the Soil Management Plans required by DTSC for the Project site. The analytical results shall be compared to risk-based human health screening levels approved by DTSC. The site investigation(s) shall be prepared and evaluated by a licensed professional, and a technical report summarizing the field activities, results, and conclusion shall be submitted to DTSC for review and approval prior to issuance of building permits.	If required, conduct additional site investigations to delineate the source and extent of contamination and prepare a report.	Prior to issuance of building permits	Project Sponsor	CDD/DTSC
<i>HAZ-2.3: Remedial Action.</i> According to the results of additional site investigations (if any), the Project Sponsor shall coordinate with DTSC to select and implement remedial actions (as necessary) to protect future site users from conditions that could pose an unacceptable health risk. Remedial measures may include, but are not limited to, source removal of contaminated materials, in-situ treatment, engineering controls, and/or modification of institutional controls described in the existing LUC for the Project site. Remedial actions shall be implemented prior to building	Coordinate with DTSC to select and implement remedial actions (as necessary).	During implementation of the Soil Management Plans	Project Sponsor	CDD/DTSC

FACEBOOK CAMPUS EXPANSION PROJECT MITIGATION MONITORING AND REPORTING PROGRAM				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
occupancy. At DTSC's discretion, remedial actions may be completed during implementation of the Soil Management Plans required by DTSC for the Project site.				

Facebook Campus Expansion Project
Proposed Revised Project (Building 22 CDP Amendment)
Updated Mitigation Measures

The environmental review for the Proposed Revised Project analyzed the proposed modifications to the Approved Project for consistency with the certified EIR for the Approved Project. The analysis determined that the Proposed Revised Project would not result in new impacts or an increase in the severity of previously identified impacts. Therefore, an Addendum was prepared and published by the City of Menlo Park on September 28, 2017. The Addendum included updated mitigation measures to ensure consistency with the certified EIR. The applicable revised mitigation measures are presented below, with additions show with an underline and deletions with a ~~strikeout~~.

Section 3 (Air Quality)

AQ-2.2: Offset NO_x Emissions Generated during Project Construction and Operation that are above the BAAQMD NO_x Average Daily Emission Threshold. The Project Sponsor shall, prior to occupancy of the first building within the Project, enter into an agreement with the City to develop an alternative or complementary offsite mitigation program to offset construction and operational NO_x emissions to the level established by the BAAQMD thresholds for the years in which the Proposed Revised Project's emissions exceed the BAAQMD threshold. The offsite mitigation program shall require the Project Sponsor to provide a one-time payment to the City to establish a program to fund emissions reduction projects through grants and similar mechanisms within the City of Menlo Park. The amount of such payment shall be based on the then-current BAAQMD Carl Moyer Program cost-effectiveness limit multiplied by emissions that exceed BAAQMD's average daily threshold for each year that emissions exceed the threshold plus a five percent administrative fee to fund procurement of offsite emissions reductions for the Proposed Revised Project's projected construction and operational emissions.

Potential projects shall be limited to those that will reduce emissions each year in which the project's emissions exceed the BAAQMD threshold through the end of ~~2025, which is when the Project's operational~~ the last year that emissions are projected to be below ~~exceed~~ the average daily thresholds, including, but not limited to, the following:

- Alternative-fuel, low-emissions school buses, transit buses, and other vehicles.
- Diesel engine retrofits and repowers.
- Bike-sharing programs.
- Electric vehicle charging stations and plug-ins.

All offsite reductions must be quantifiable, verifiable, and enforceable. The Project Sponsor shall engage a qualified air quality expert to coordinate with the City to identify a list of potential projects that would be eligible for funding. Emissions reduction projects shall be funded so that the Project's emissions are reduced each year until ~~the end of 2025~~ no threshold exceedances occur. The air quality expert retained by the Project Sponsor shall provide a report within one year of occupancy of the first building within the Project site, identifying the projects that were funded and associated NO_x emissions expected to be realized for each year out until ~~the end of 2025~~ no

threshold exceedances occur. Annual reporting of the implementation of emissions reduction projects shall be required until the Proposed Revised Project's emissions are less than the BAAQMD threshold without the offsets.

If a sufficient number of emissions reduction projects are not identified to meet the required performance standards in the city of Menlo Park, the Project Sponsor shall consult with a qualified air quality expert to ensure conformity is met through some other means of achieving the performance standard of net zero operational emissions in excess of BAAQMD's average daily thresholds ~~through 2025~~, including, but not limited to, payment of a one-time mitigation offset fee to BAAQMD's Strategic Incentives Division plus a 5 percent administrative fee to fund one or more emissions reduction projects within the San Francisco Bay Area Air Basin. Reporting for any emissions reduction projects outside the city shall be completed on the same schedule as indicated above for emissions reduction projects in the city.

If annual reports indicate that emissions reductions do not adequately reduce project emissions to a level below the BAAQMD threshold for any year, then a penalty of 200 percent shall be imposed that will require the Project Sponsor to obtain an additional year of offsets based on the amount of emissions by which the Proposed Revised Project's emissions exceed the BAAQMD threshold for the following year (e.g., if the 2019 emissions exceed the threshold by 5 tons, then 10 tons of emissions must be provided by 2020).

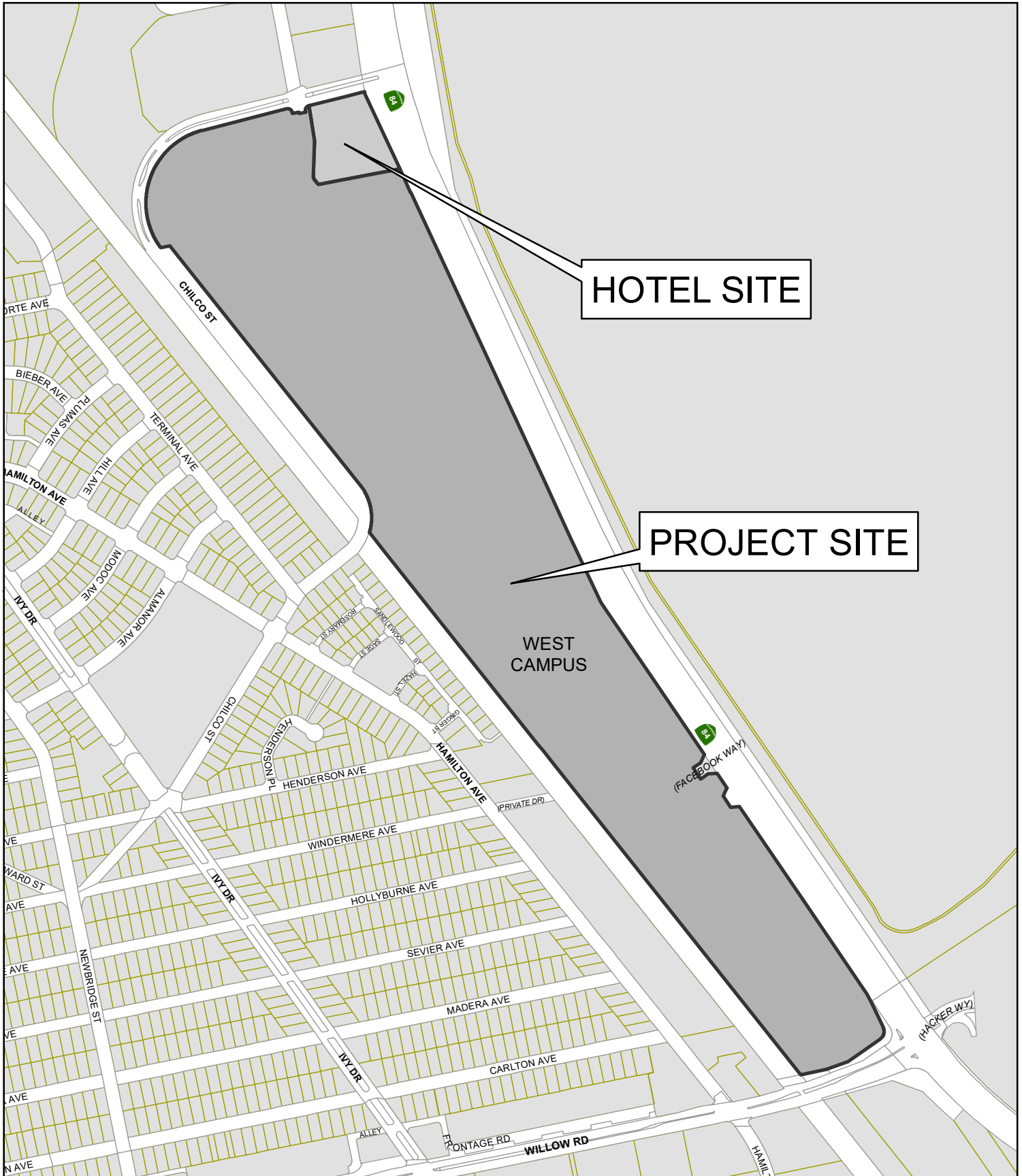
Section 3.8 (Biological Resources)

BIO-3.1: Conduct Pre-construction Surveys for Nesting Migratory Birds. The Project Sponsor shall implement the following measures to reduce impacts on nesting migratory birds:

- To facilitate compliance with state and federal law (California Fish and Game Code and the MBTA) and prevent impacts on nesting birds, the Project Sponsor shall avoid construction during the nesting season (February 1 through August 31) or conduct pre-construction surveys, as described below.
- If it is not feasible to avoid the nesting season, the Project Sponsor shall hire a qualified wildlife biologist with demonstrated experience to conduct a survey for nesting birds, including raptors, no earlier than 3 days prior to the commencement of ground-disturbing activities and vegetation removal (including clearing, grubbing, and staging). The area surveyed shall include all construction areas as well as areas within 250 feet outside the boundaries of the areas to be cleared or as otherwise determined by the biologist. A nest survey shall be required prior to implementation of Phase 1, ~~and~~ Phase 2, and Phase 3 of the Project and when construction work stops at a portion of the site where suitable nesting habitat remains for more than 15 days. Additionally, at least one nest survey shall be conducted at the beginning of each year of Project implementation between February and May. As discussed in Chapter 2, *Project Description*, Project implementation will occur between 2016 and ~~2022~~ 2024. The need for additional surveys shall be determined by the qualified wildlife biologist and based on the results of the initial survey.
- If the biologist finds active nests during the survey, he or she shall establish species-specific no-disturbance buffer zones for each nest with use of high-visibility fencing, flagging, or pin flags. No construction activities shall be allowed within the buffer zones. The size of the buffer shall be based on the species sensitivity to disturbance and planned

work activities in the vicinity; typical buffer sizes are 250 feet for raptors and 50 feet for other birds. The buffer shall remain in effect until the nest is no longer active.

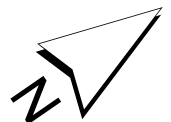
- If structure demolition activities cannot occur outside of the nesting season, the Project Sponsor or its contractor shall remove inactive nests from the structure to be demolished and install nest exclusion measures (i.e., fine mesh netting, panels, or metal projectors) outside of the nesting season. All exclusionary devices shall be monitored and maintained throughout the breeding season to ensure that they are successful in preventing the birds from accessing cavities or nest sites. No more than 3 days prior to building demolition activities, a qualified biologist shall conduct a pre-construction survey of all potential nesting habitat on the structure to be demolished and the surrounding areas for the presence of active nests. If active nests are found on the building or in the affected area, then demolition activities shall not proceed until the biologist verifies that all nests on the building are inactive.
- After all surveys and/or nest deterrence activities are completed, the biologist shall complete a memorandum detailing the survey effort and results and submit the memorandum to the City within 7 days of survey completion.



CITY OF MENLO PARK

LOCATION MAP FACEBOOK WEST CAMPUS HOTEL PROJECT

DRAWN: TAS CHECKED: KTP DATE: 7/22/19 SCALE: 1" = 300' SHEET: 1





Gensler
 ARCHITECT
 1200 Sixth Avenue
 Suite 500
 Seattle, WA 98101
 Telephone 206.654.2100
 Facsimile 206.654.2121

citizenM HOTELS
 OWNER
 Menno Hilbert
 506 2nd Ave
 Suite 2900
 Seattle, WA 98104

KIER & WIRGHT
 CIVIL
 Emad Sarieddine
 esari@kierwright.com
 T: (925) 245-8788
 2850 Collier Canyon Rd
 Livermore, CA 94551

DCI ENGINEERS
 STRUCTURAL
 Roger Heeringa
 rheeringa@dc-engineers.com
 T: (206) 332-1900
 818 Stewart Street, Suite 1000
 Seattle, WA 98101

INSITU
 LANDSCAPE ARCHITECT
 Eric Sirois
 e.sirois@insitulandscape.com
 T: (415) 412-0353
 620 Davis St
 San Francisco, CA 94111

citizenM Menlo Park

CPD RESUBMITTAL JAN 20, 2020

Menlo Park
 CA
 94025



CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 300
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
citizenM Hotels
79 Hudson Avenue
2nd Floor
New York, NY 10018

Menlo Hqts
citizenm@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yinyuan Avenue
Fengyang Street
Jiangmen, Guangdong
P.R. China (529000)

Memo Hqts
hongjie@gensler.com

Memo Mo
hongjie@gensler.com



LOT COVERAGE DIAGRAM

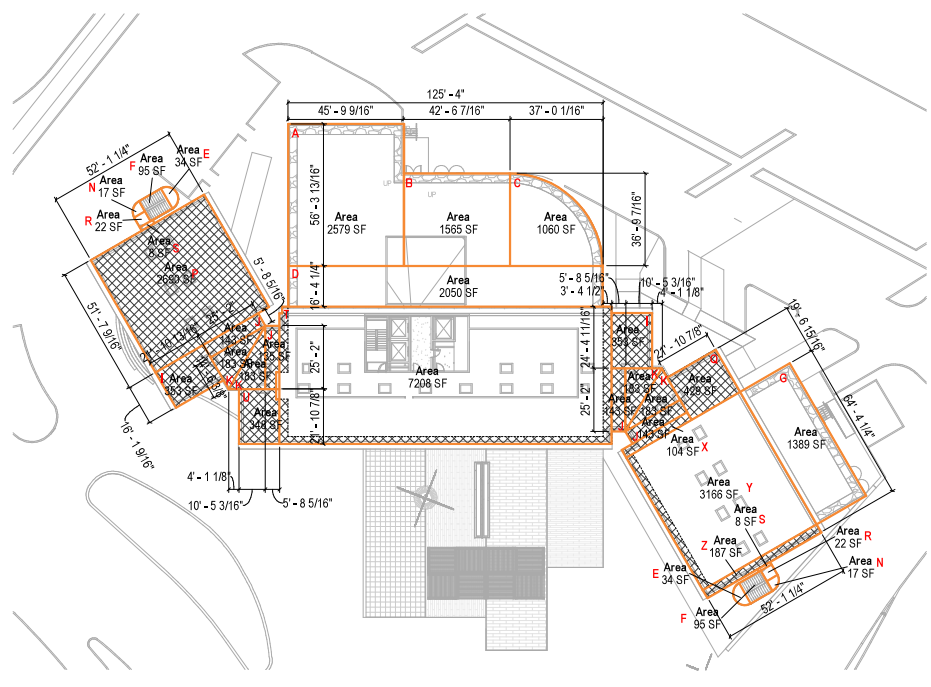
NOT TO SCALE

△ Description

BUILDING COVERAGE CALCULATION

Existing & Proposed Building Structures	Building Coverage
T1 Building 305 (To be demolished)	(242,500)
MPK 20	526,688
MPK 21	476,843
PV Canopies (MPK 21)	22,088
Connecting Bridge (MPK 21/22)	7,057
MPK 22	147,699
MPK 22 Pavilion	5,072
MPK 22 Guard Shack	300
MPK 23	196,666
Parking Garage	75,700
Parking Gar. Guard Shack	307
Electrical Substation	1,379
Bayfront Pedestrian Bridge	7,440
SUB-TOTAL	1,472,879
Hotel	25,137
TOTAL	1,498,016

LOT AREA	3,504,043
Maximum building coverage per Facebook campus expansion project Conditional Development Permit (%)	55%
Maximum building coverage area allowed (SF)	1,927,223
PROPOSED BUILDING COVERAGE AREA (SF)	1,498,016
PROPOSED BUILDING COVERAGE (%)	42.75%



TOTAL COVERAGE AREA: 25,137 SF

01 BUILDING COVERAGE DIAGRAM
SCALE: 1" = 10'-0"

Signature

Project Name
citizenM Menlo Park

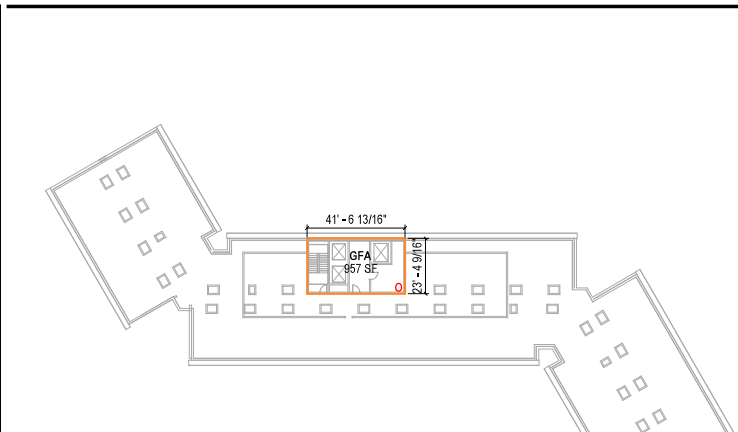
Project Number
032.3829.000

Description
LOT COVERAGE

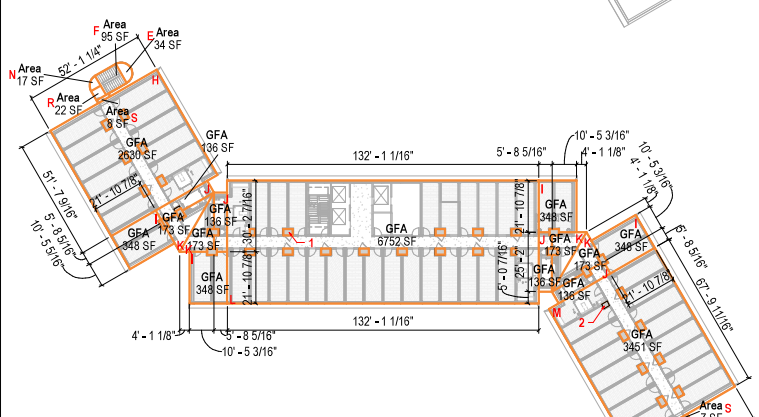
Scale
1" = 20'-0"

G02.101

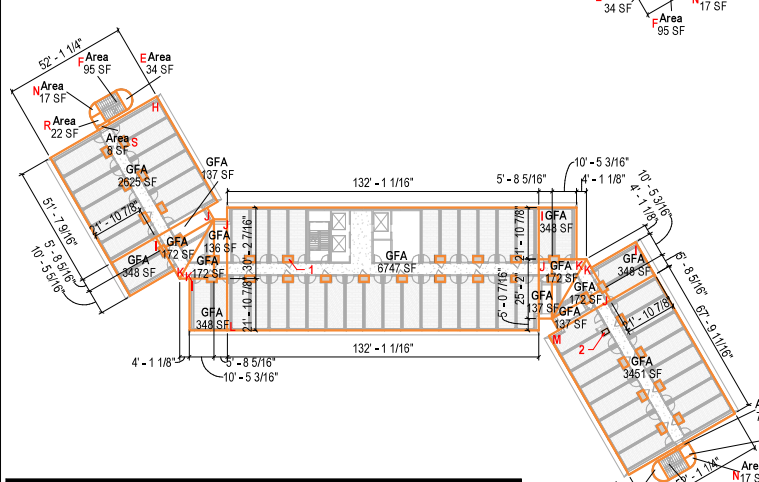
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06 GFA - LEVEL 06
SCALE: 3/8" = 1'-0"

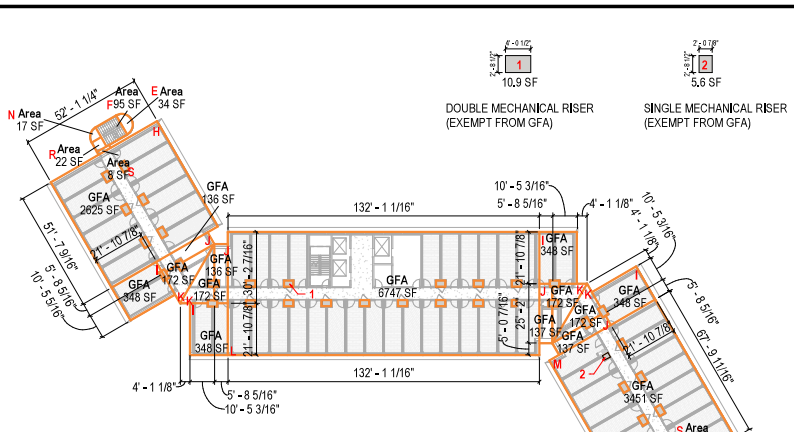


05 GFA - LEVEL 05
SCALE: 3/8" = 1'-0"

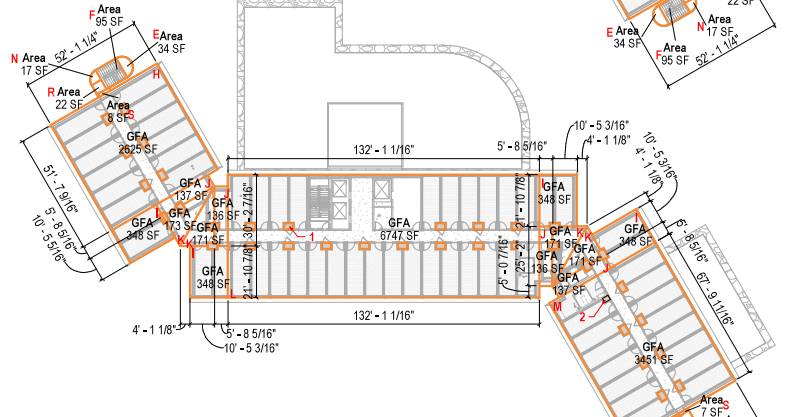


04 GFA - LEVEL 04
SCALE: 3/8" = 1'-0"

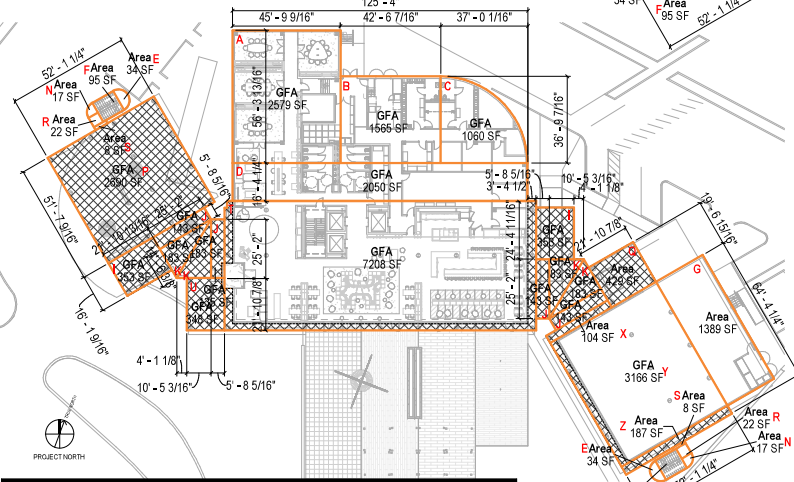
C4



03 GFA - LEVEL 03
SCALE: 3/8" = 1'-0"



02 GFA - LEVEL 02
SCALE: 3/8" = 1'-0"



01 GFA - LEVEL 01
SCALE: 3/8" = 1'-0"

AREA CALCULATION

GROSS FLOOR AREA			
LEVEL 03			
AREA	QUANTITY	TOTAL	
A	2379	1	2379
B	1965	1	1965
C	1060	1	1060
D	2050	1	2050
E	34	2	68
F	95	2	190
G	1389	1	1389
H	348	2	696
I	353	4	1412
J	348	4	1392
K	183	4	732
L	6749	1	6749
M	3533	1	3533
N	34	2	68
O	95	2	190
P	2690	1	2690
Q	429	1	429
R	22	2	44
S	95	2	190
T	7208	1	7208
U	348	1	348
V	104	1	104
W	3366	1	3366
X	187	1	187
LEVEL 03 TOTAL			25,337

LEVEL 02			
AREA	QUANTITY	TOTAL	
A	2990	1	2990
I	353	4	1412
J	348	4	1392
K	183	4	732
L	6749	1	6749
M	3533	1	3533
N	34	2	68
O	95	2	190
P	2690	1	2690
Q	429	1	429
R	22	2	44
S	95	2	190
LEVEL 02 TOTAL			16,036

LEVEL 03			
AREA	QUANTITY	TOTAL	
A	2990	1	2990
I	353	4	1412
J	348	4	1392
K	183	4	732
L	6749	1	6749
M	3533	1	3533
N	34	2	68
O	95	2	190
P	2690	1	2690
Q	429	1	429
R	22	2	44
S	95	2	190
LEVEL 03 TOTAL			16,036

LEVEL 04			
AREA	QUANTITY	TOTAL	
A	2990	1	2990
I	353	4	1412
J	348	4	1392
K	183	4	732
L	6749	1	6749
M	3533	1	3533
N	34	2	68
O	95	2	190
P	2690	1	2690
Q	429	1	429
R	22	2	44
S	95	2	190
LEVEL 04 TOTAL			16,036

LEVEL 05			
AREA	QUANTITY	TOTAL	
A	2990	1	2990
I	353	4	1412
J	348	4	1392
K	183	4	732
L	6752	1	6752
M	3533	1	3533
N	34	2	68
O	95	2	190
P	2690	1	2690
Q	429	1	429
R	22	2	44
S	95	2	190
LEVEL 05 TOTAL			16,043

ROOF			
AREA	QUANTITY	TOTAL	
O	937	1	937
ROOF TOTAL			937
TOTAL			90,243



CITIZENHOTELS
West Park
CA
94223

Gensler
1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

TEL: 206.464.2100
FAX: 206.464.2121
CLIENT: CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017

MOULDER FABRICATOR: CMIC
Jiangmen
Level 26, 131 Yinyuan Avenue,
Pudong District,
Jiangmen, Guangdong
P.R. China (528000)

Mona Hobbitts
monahobbitts@gensler.com

Mona Ma
monama@gensler.com

Date Description

Scale Signatures

Project Name
CitizenM Menlo Park

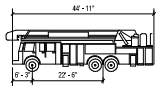
Project Number
032.3829.000
Description
GROSS FLOOR AREA (GFA)

Scale
As indicated

NOTE: FAR GROSS FLOOR AREA:
HORIZONTAL FLOOR AREA
MEASURED TO THE OUTSIDE
SURFACES OF SURROUNDING
EXTERIOR WALLS.
HOTEL ALLOWABLE GFA DEPENDENT
ON GFA ON FACEBOOK BUILDINGS
20, 21, 22 & 23 PER FACEBOOK
CAMPUS EXPANSION CONDITIONAL
DEVELOPMENT PERMIT.
SEE SHEET A.00.001 FOR FAR
CALCULATIONS

G02.102

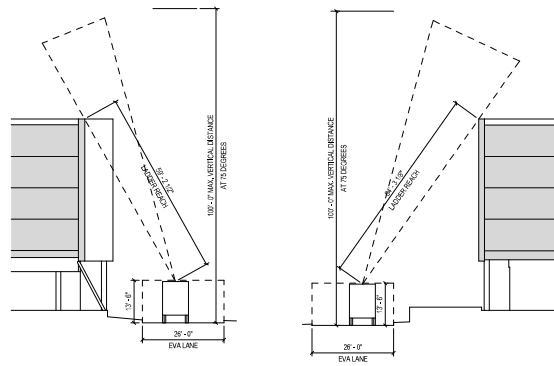
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WIDTH
TRACK
LOOK TO LOOK TIME
STEERING ANGLE

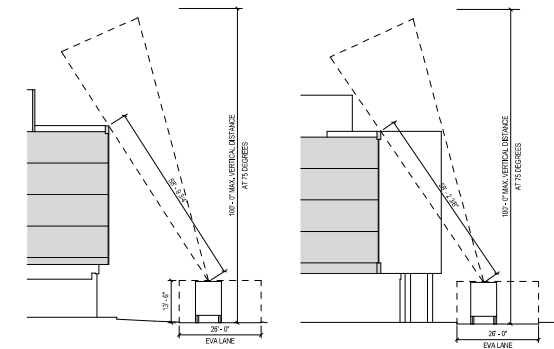
6.25
6.25
6.0
25.4

05 MP FIRE TRUCK
SCALE: 1/8" = 1'-0"



06 FIRE TRUCK ACCESS - SECTION B
SCALE: 1/8" = 1'-0"

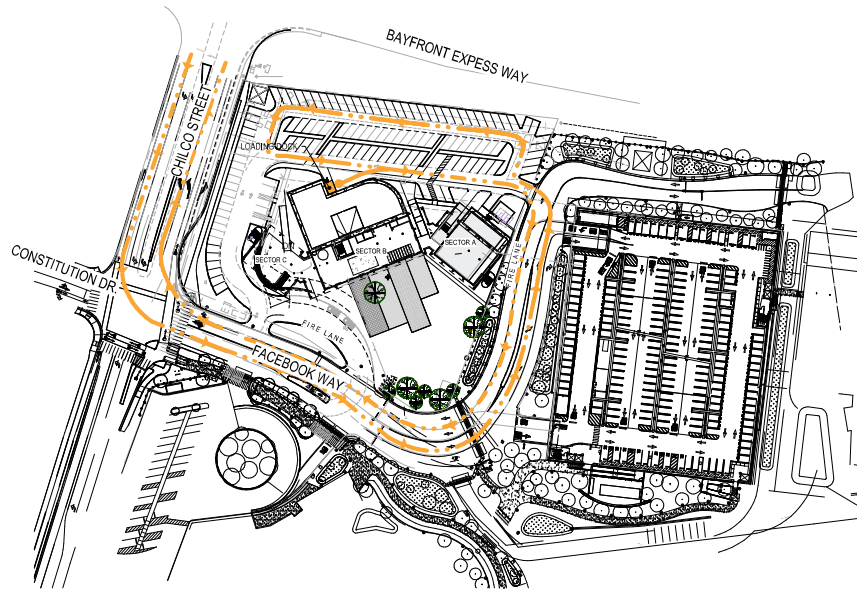
03 FIRE TRUCK ACCESS - SECTION A
SCALE: 1/8" = 1'-0"



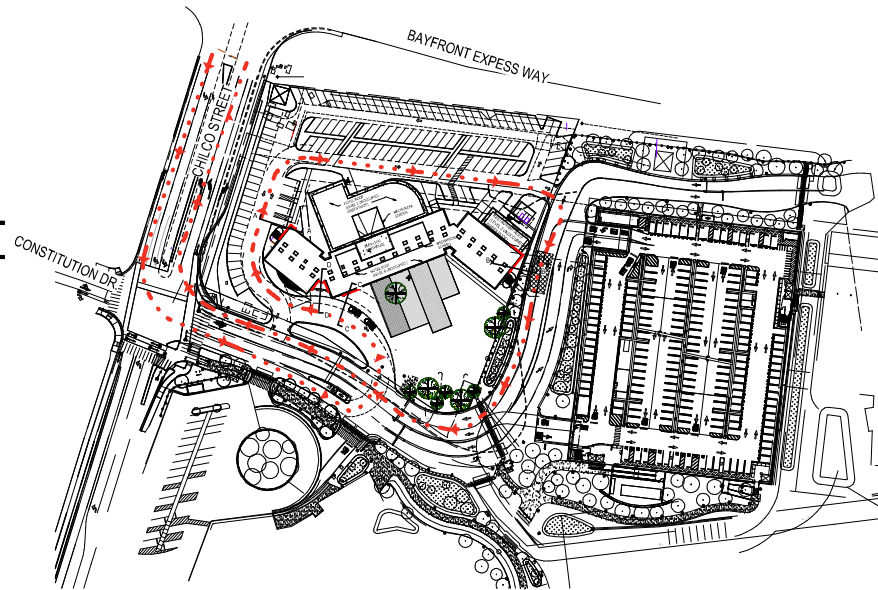
07 FIRE TRUCK ACCESS - SECTION C
SCALE: 1/8" = 1'-0"

04 FIRE TRUCK ACCESS - SECTION D
SCALE: 1/8" = 1'-0"

01 SITE PLAN - DELIVERY & LOADING CIRCULATION
SCALE: 1" = 60'-0"



02 SITE PLAN - EMERGENCY VEHICLE ACCESS CIRCULATION
SCALE: 1" = 60'-0"



CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1300 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2101

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017

Monica Hedges
citizenm@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yigong Avenue,
Pingjiang District,
Jiangmen, Guangdong,
P.R. China (529004)

Ming Ma
mingma@cmc.com

Date Description

Scale Signature

Project Name
CitizenM Menlo Park

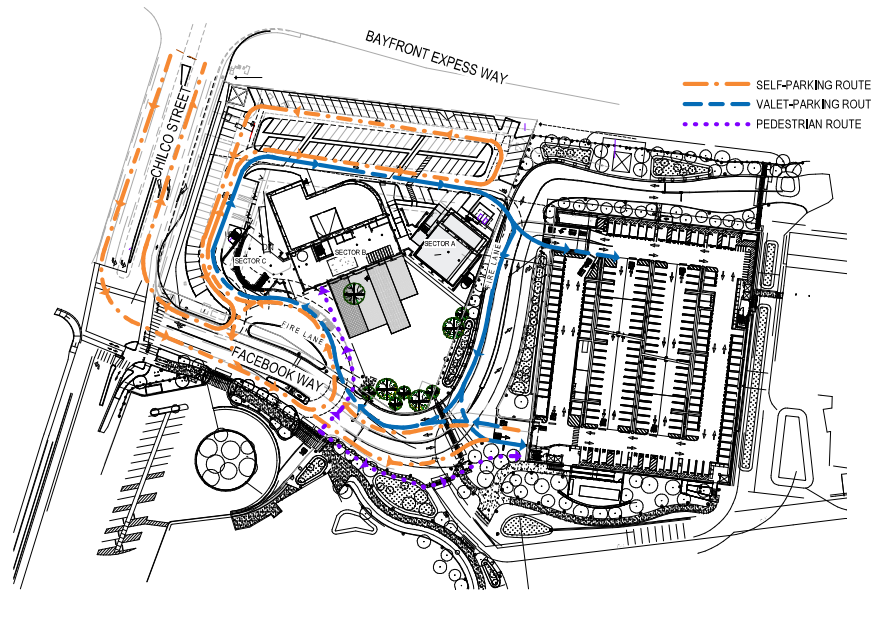
Project Number
032.3829.000

Description
VEHICLE CIRCULATION PLANS

Scale
As indicated

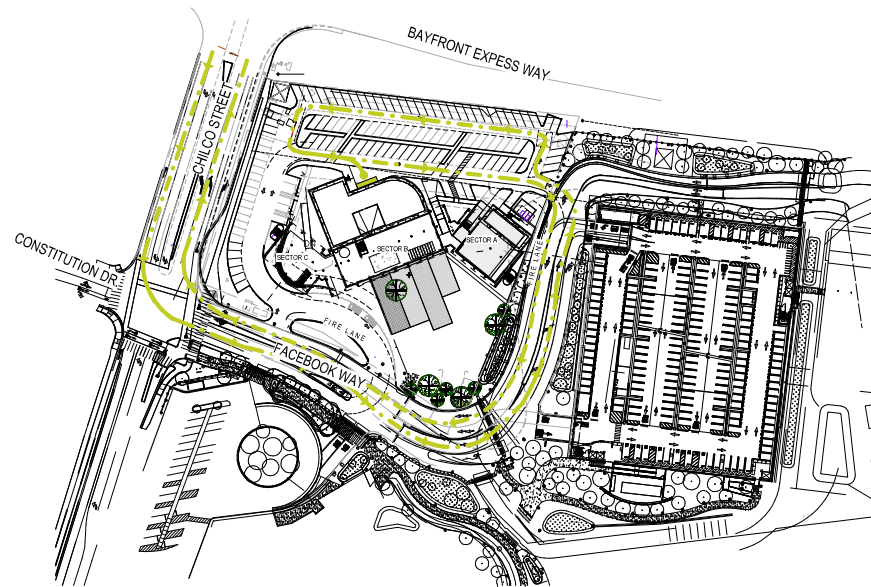
G02.201

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01 SITE PLAN - PARKING ANALYSIS

SCALE: 1" = 66'4"



02 SITE PLAN - SOLID WASTE COLLECTION VEHICLE ACCESS

SCALE: 1" = 66'4"



CITIZENHOTELS

Menlo Park
CA
94025

Gensler

1300 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT

CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017

Monica H. Bhatt
citizenmenlo@gensler.com

MODULAR FABRICATOR

CMC

Jiangmen
Level 26, 131 Yiguan Avenue,
Fengang District,
Jiangmen, Guangdong,
P.R. China (529004)

Ming Ma
mingma@gensler.com

Date	Description
------	-------------

Scale / Signature

Project Name
citizenM Menlo Park

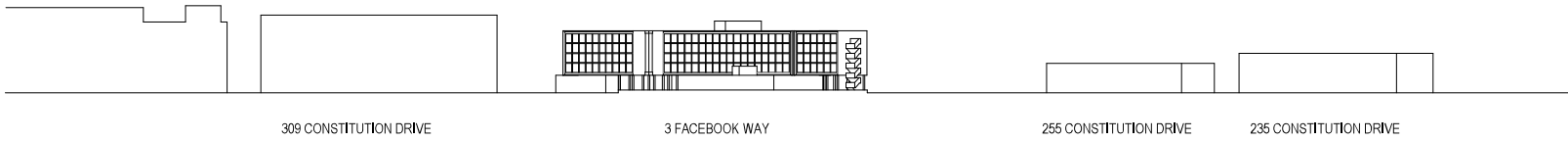
Project Number
032.3829.000

Description
VEHICLE CIRCULATION PLANS

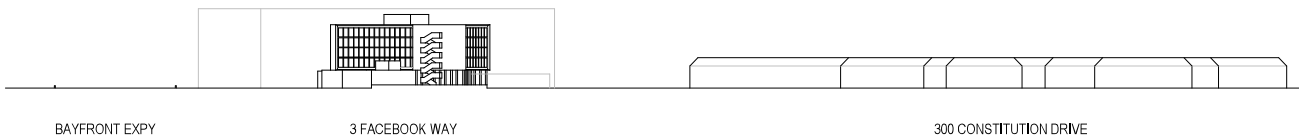
Scale
1" = 60'-0"

G02.202

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01 BAYFRONT EXPY SILHOUETTE DRAWING
SCALE: 1" = 50'-0"



02 CHILCO STREET SILHOUETTE DRAWING
SCALE: 1" = 50'-0"



CITIZENM HOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States
Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015
Menlo Huberts
citizenmenlo@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yongbin Avenue,
Pingshan Street,
Jiangmen, Guangdong
P.R. China (529006)
Ming Ma
mingma@gcmr.com

Date	Description
------	-------------

Scale / Signature

Project Name
citizenM Menlo Park

Project Number
032.3829.000

Description
STREET SILHOUETTE DRAWING

Scale
1" = 50'-0"

G02.300

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CITIZENM HOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

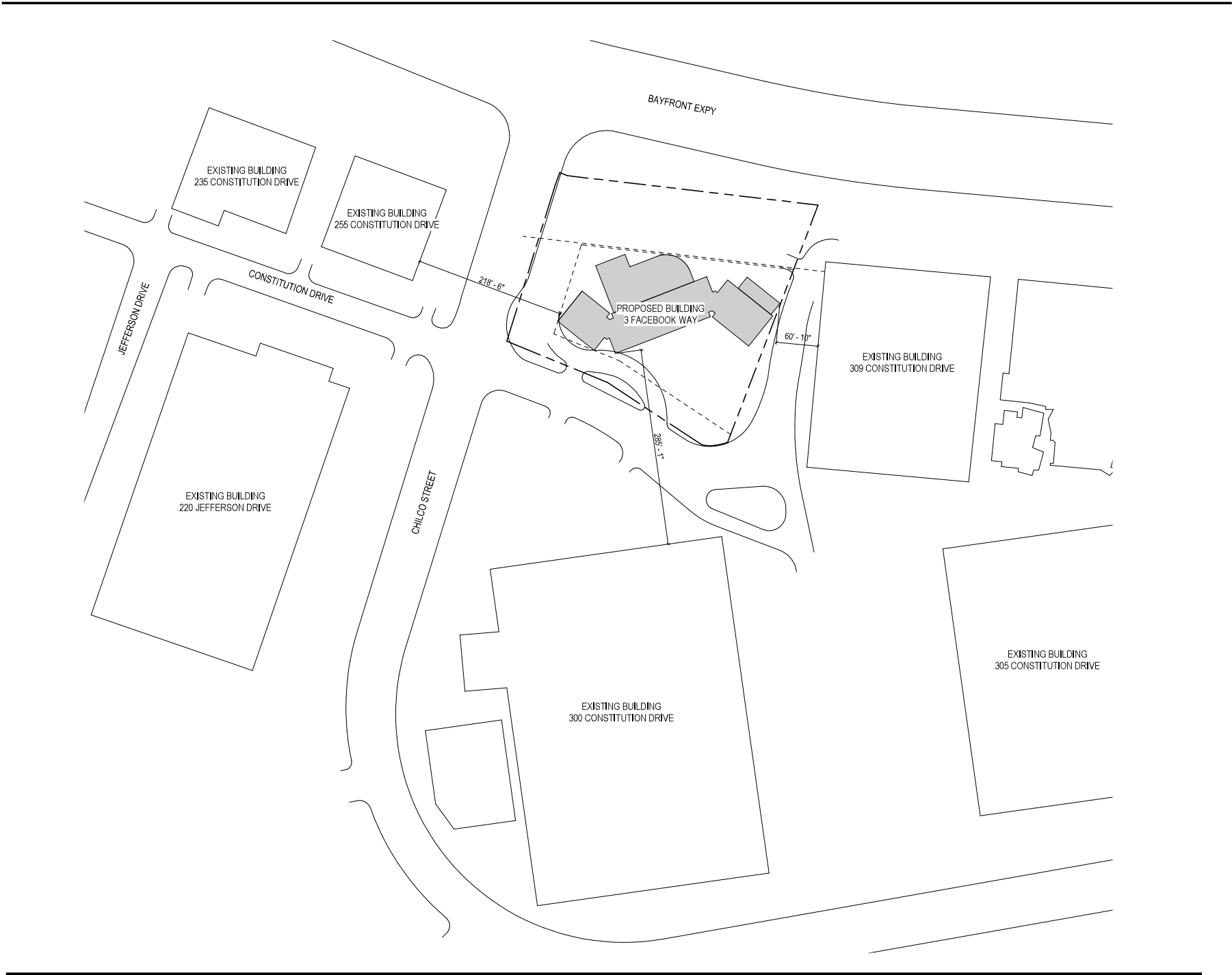
Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015

Merin Hefetz
cizenmerin@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yigong Avenue
Fenggang Street,
Jiangmen, Guangdong
P.R. China (529106)

Merin Ma
ma@cmc.com



△ Date Description

□ Seal / Signature

Project Name
citizenM Menlo Park

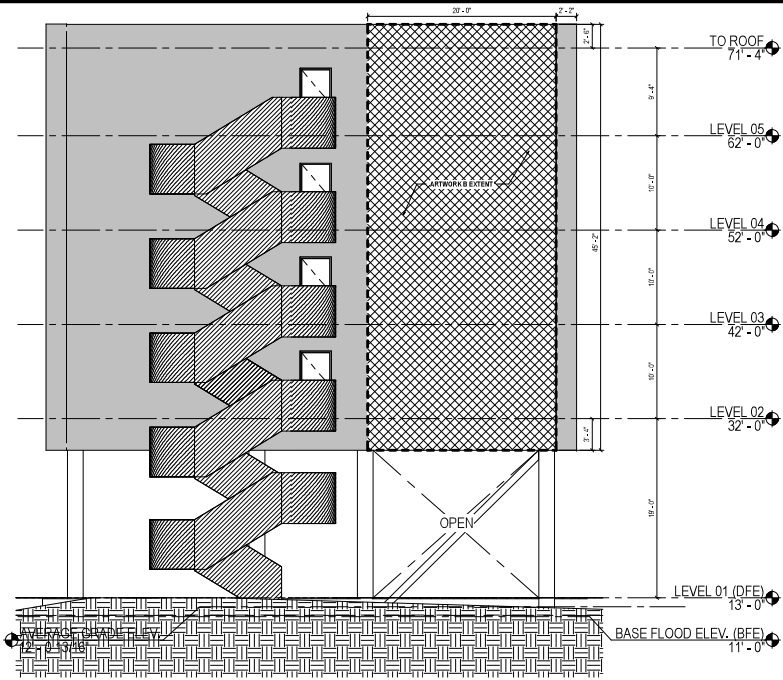
Project Number
032.3829.000

Description
AREA PLAN

Scale
1" = 50'-0"

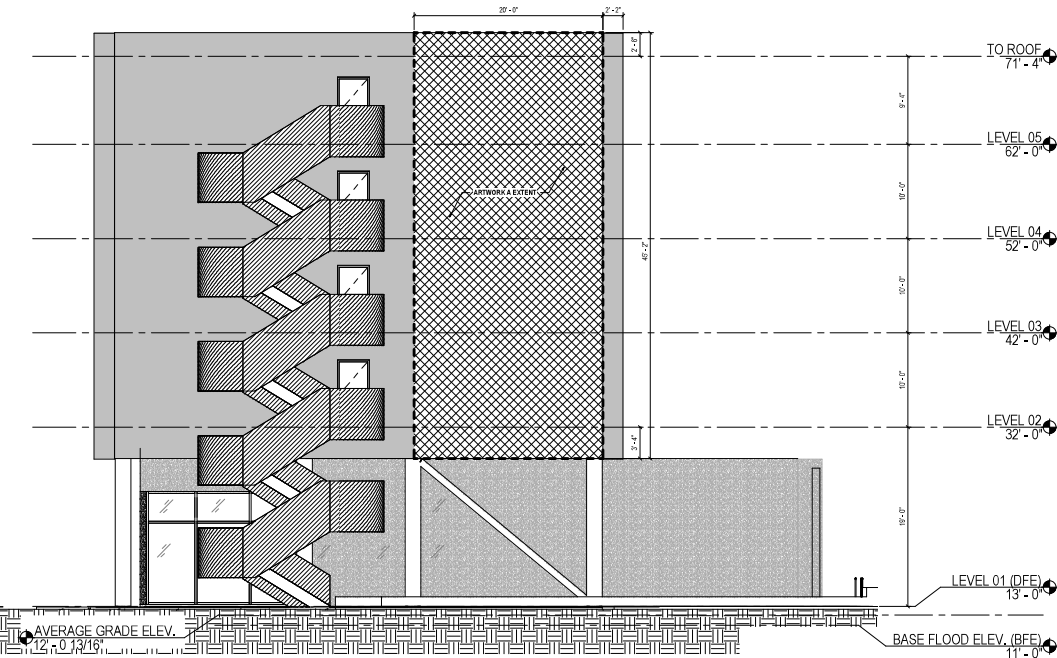
G02.301

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02 EXT ARTWORK - SECTOR C - NORTHWEST ELEVATION

SCALE: 3/16" = 1'-0"



01 EXT ARTWORK - SECTOR A - SOUTHEAST ELEVATION

SCALE: 3/16" = 1'-0"



NOTE: ARTWORK SHOWN AS AN EXAMPLE ONLY. FINAL ARTWORK TO BE DETERMINED BY A SEPARATE PROCESS.

ARTWORK EXAMPLE



CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT

Citizen Hotels
78 Madison Avenue
2nd Floor
New York, NY 10018

Monica H. Bhatt

citizenm@gensler.com

MODULAR FABRICATOR

CMC

Jiangmen
Level 26, 131 Yinyuan Avenue,
Fengyang Street,
Jiangmen, Guangdong
P.R. China (524004)

Ming Ma

mingma@cmc.com

Date Description

Scale / Signature

Project Name
citizenM Menlo Park

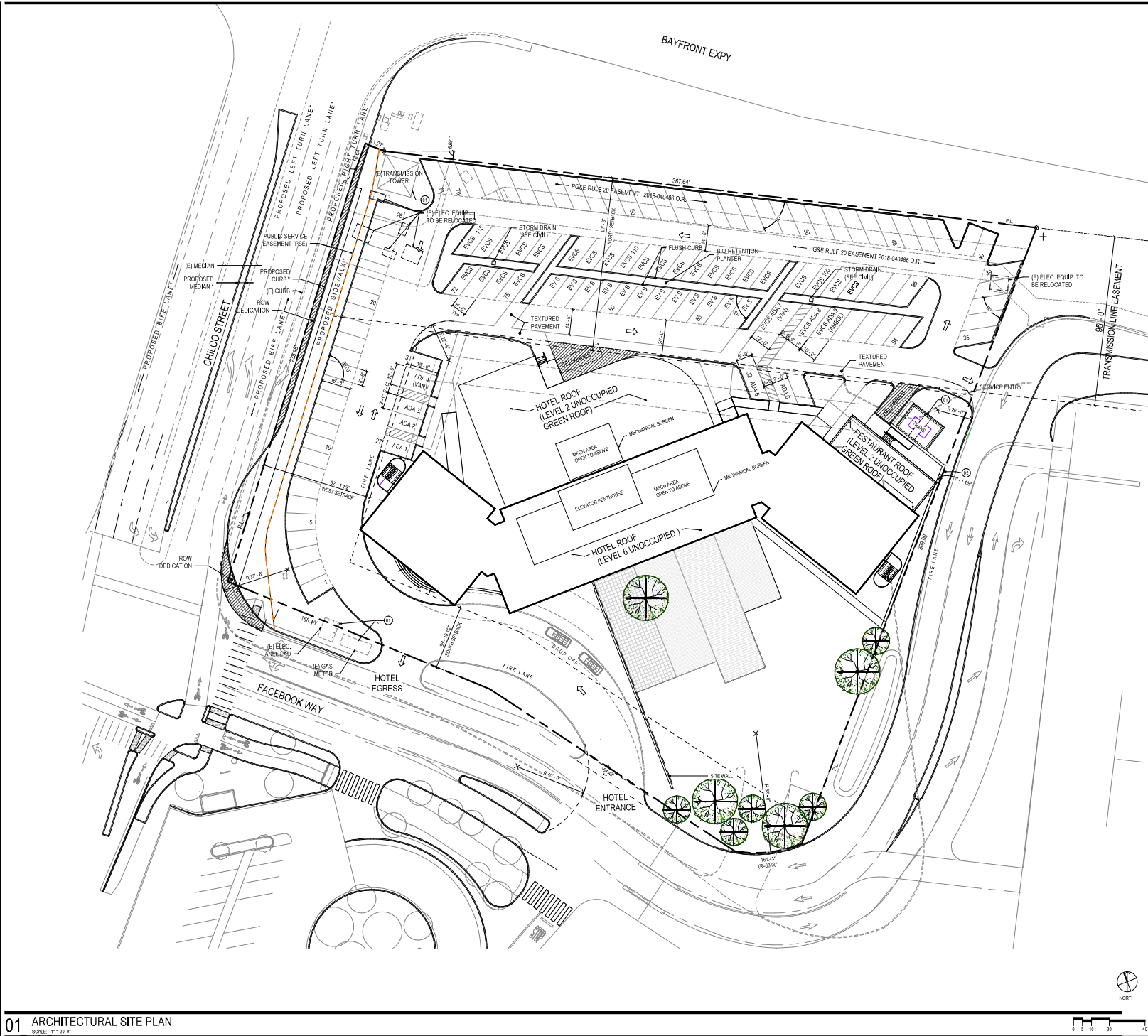
Project Number
032.3829.000

Description
EXTERIOR ARTWORK EXTENT

Scale
3/16" = 1'-0"

G02.401

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SHEET NOTES

- 01 GROUND MOUNTED EQUIPMENT FULLY SCREENED & TO COMPLY WITH THE REQUIREMENTS CHAPTER 18.06 OF THE MUNICIPAL CODE
- 02 NON-STREET FRONT PROPERTY LINE, SETBACK NOT REQUIRED.



CITIZENHOTELS

Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.454.2100
Fax: 206.454.2121

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015

Mano Hobbets
citizenmen@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yiguan Avenue,
Pingjiang Street,
Jiangmen, Guangdong,
P.R. China (529000)

Mercy Ma
ma@cmcc.com

GENERAL NOTES

- EVCS - ELECTRIC VEHICLE CHARGING STATION (SEE SPACE WHERE INSTALLED)
- EV S - ELECTRIC VEHICLE SPACE
- ADA - ACCESSIBLE PARKING SPACE
- AMB S - AMBULATORY PARKING SPACE

NOTE: LANDSCAPE SHOWN FOR REFERENCE ONLY. FOR DETAILED LOCATION AND TYPE INFORMATION REFER TO LANDSCAPE DRAWINGS.

△ Date Description

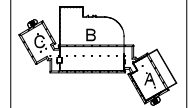
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Project Name
citizenM Menlo Park

Project Number
032.3829.000

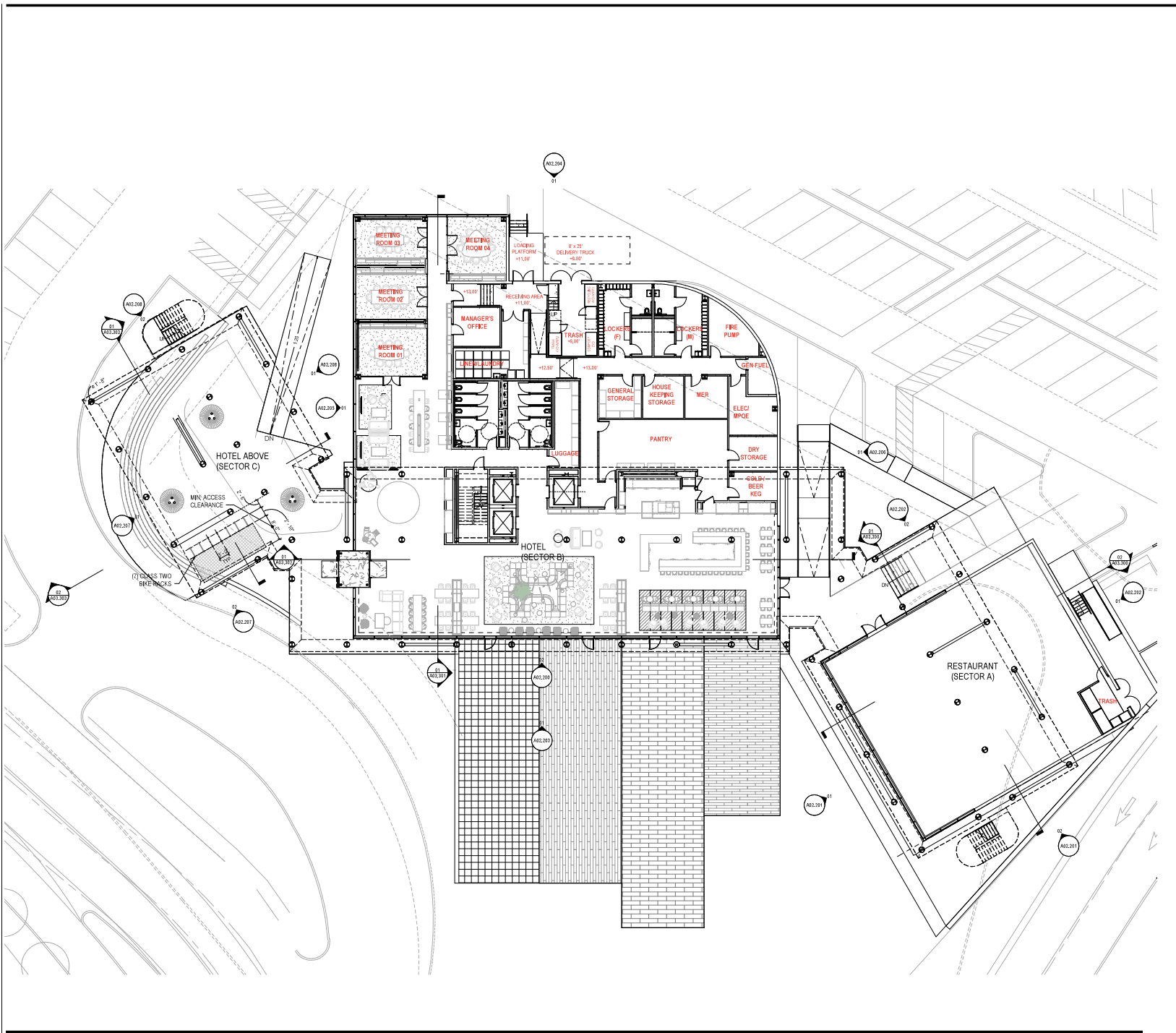
Description
SITE PLAN

KEY PLAN



Scale
1" = 20'-0"

A01.100



01 LEVEL 01 PLAN
 SCALE: 3/32" = 1'-0"

SHEET NOTES

GENERAL NOTES



CITIZENM HOTELS
 West Park
 CA
 94025

Gensler
 1300 Sixth Avenue
 Suite 100
 Seattle, WA 98101
 United States
 Tel: 206.464.2100
 Fax: 206.464.2121
 United States

CLIENT
 citizenM Hotels
 79 Madison Avenue
 2nd Floor
 New York, NY 10015
 Monica Hedges
 citizenm@citizenm.com

MODULAR FABRICATOR
 CHIC
 Jingmen
 Level 26, 131 Virginia Avenue
 Pingjiang Street
 Jingmen, Guangdong
 P.R. China (528004)
 Miroslav Miroslav
 hmg@chic.com

Date	Description

Scale / Signature

Project Name
 citizenM Menlo Park

Project Number
 032.3829.000

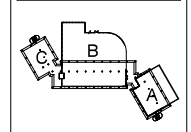
Description
 LEVEL 01 PLAN

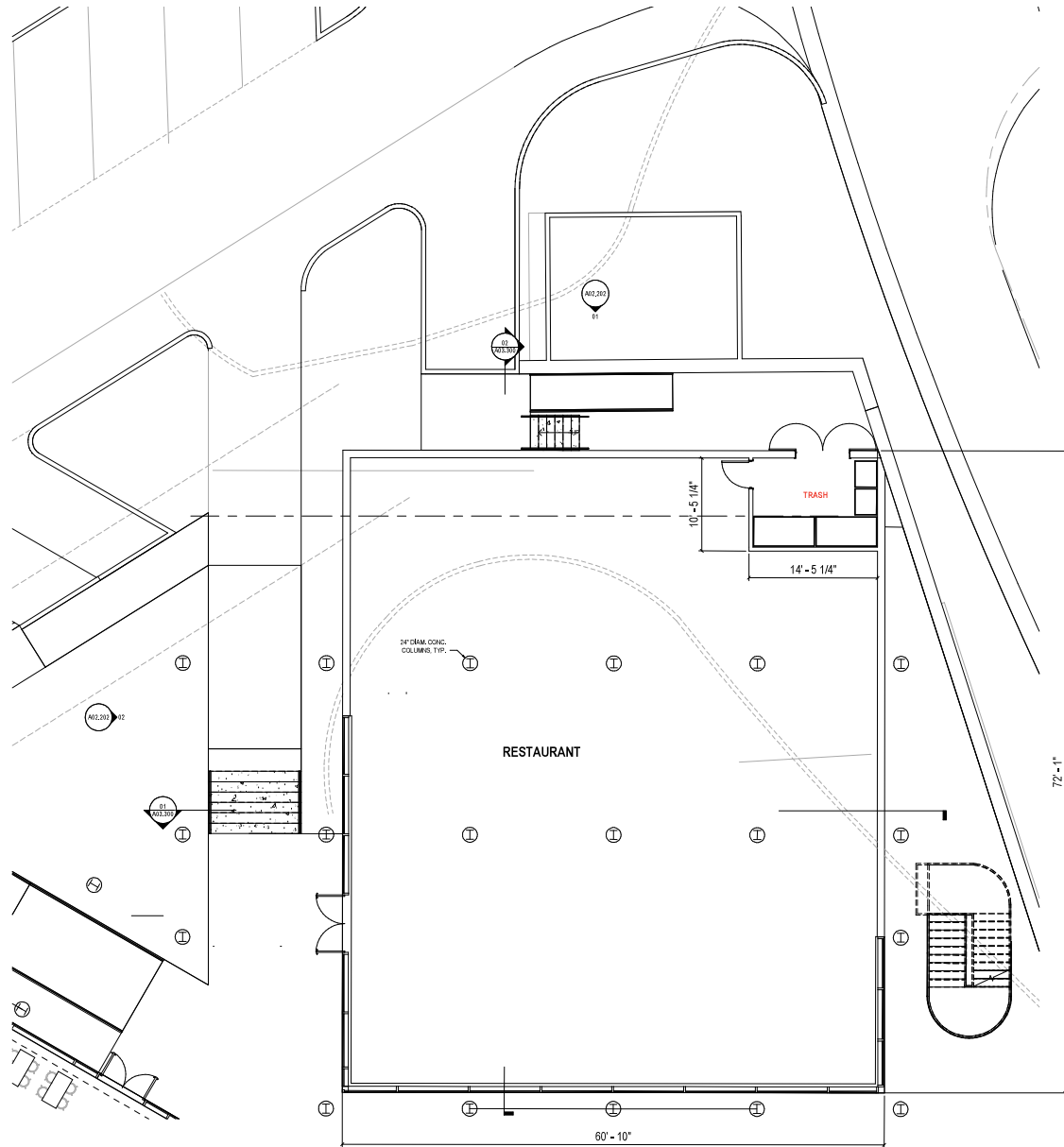
Scale
 3/32" = 1'-0"

A01.101

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KEY PLAN





CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015

Merre Hobbets
citizenmenlo@gensler.com

MODULAR FABRICATOR
CHIC
Jiangmen
Level 26, 131 Yinyuan Avenue,
Pingshan District,
Jiangmen, Guangdong,
P.R. China (529006)

Merre Mo
mo@chic.com

GENERAL NOTES

Δ	Date	Description

Seal / Signature

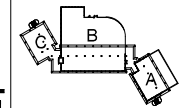
Project Name
citizenM Menlo Park

Project Number
032.3829.000

Description
LEVEL 01 ENLARGED PLAN - SECTOR A

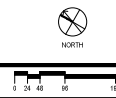
Scale
3/16" = 1'-0"

KEY PLAN



A01.101-A

01 LEVEL 01 ENLARGED PLAN - SECTOR A
SCALE: 3/16" = 1'-0"





CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1200 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT

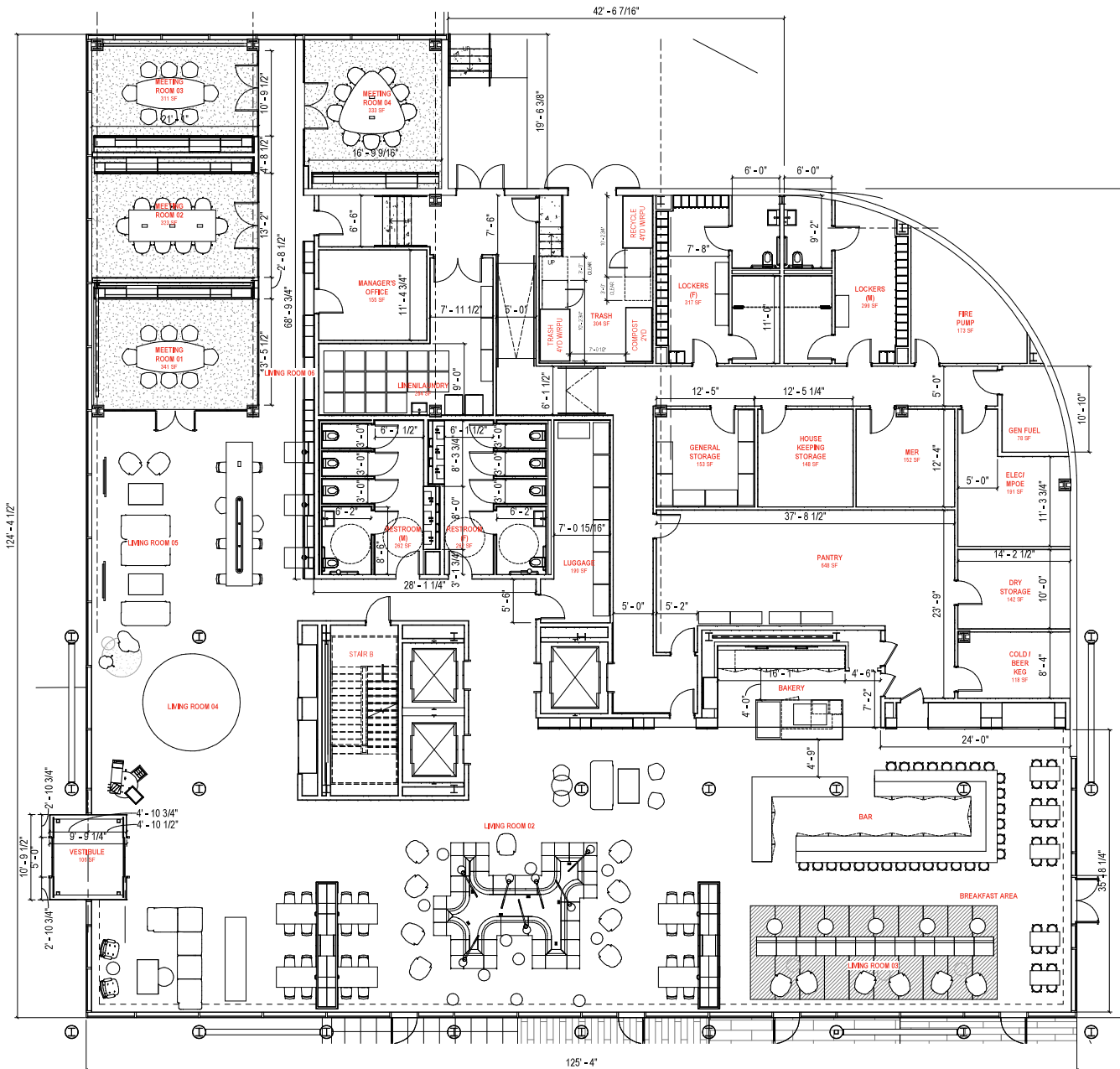
citizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015

Merin Hedges
citizenm@gensler.com

MODULAR FABRICATOR

CMC
Jiangnan
Level 26, 131 Yuyuan Avenue
Pudong District
Jiangnan, Shanghai
P.R. China (20000)

Merin Ma
ma@cmc.com



GENERAL NOTES

△ Date Description

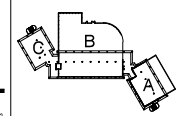
____ Signature

Project Name
citizenM Menlo Park

Project Number
032.3829.000

Description
LEVEL 01 ENLARGED PLAN - SECTOR B

KEY PLAN



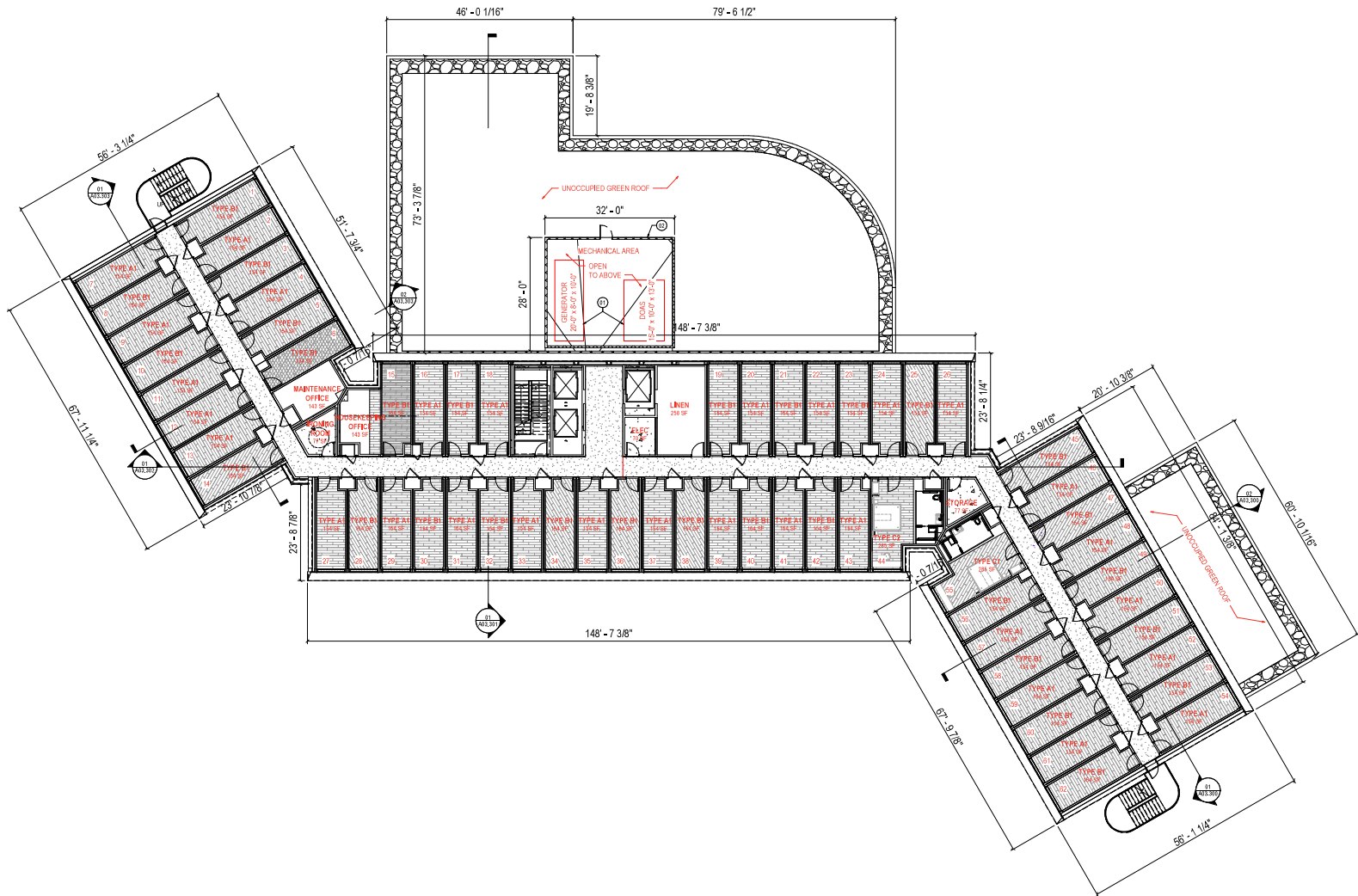
Scale
3/16" = 1'-0"

A01.101-B

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01 LEVEL 01 ENLARGED PLAN - SECTOR B
SCALE: 3/16"=1'-0"

CT3



SHEET NOTES

- 01 ROOF MOUNTED EQUIPMENT SHALL COMPLY WITH THE HOSE REQUIREMENTS IN CHAPTER 16.06 OF THE ZONING ORDINANCE.
- 02 MECHANICAL SCREEN WALL COVER (LVAIT) MECHANICAL UNITS TO BE FULLY SCREENED.



CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States
Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015
Minna Hobbitts
citizenmenlo@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yigong Avenue,
Pingfang Street,
Jiangmen, Guangdong
P.R. China (529000)
Ming Ma
mingma@gensler.com

GENERAL NOTES

△ Date Description

____ Signature

Project Name
citizenM Menlo Park

Project Number
032.3829.000

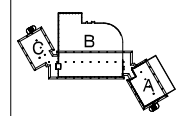
Description
LEVEL 02 PLAN

Scale
NOT TO SCALE

A01.102

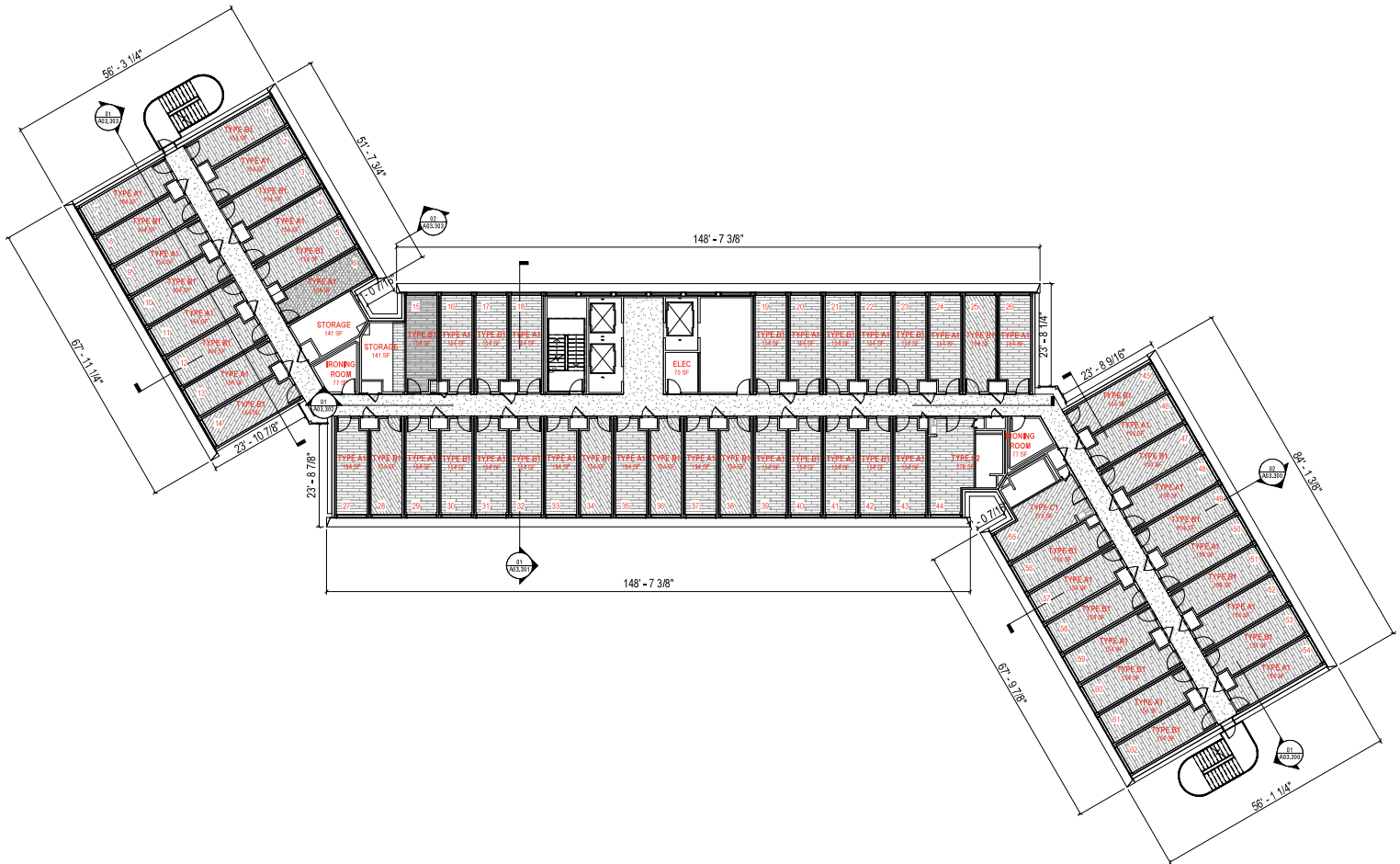
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KEY PLAN



01 LEVEL 02 PLAN

C14



01 LEVEL 03 PLAN

C15

SHEET NOTES

GENERAL NOTES



CITIZENM HOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015

Merre H Bhatt
citizenm@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yingshan Avenue,
Pingliang District,
Jiangmen, Guangdong
P.R. China (529004)

Merre Ma
ma@cmc.com

Date Description

Scale Signature

Project Name
CitizenM Menlo Park

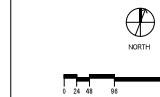
Project Number
032.3829.000

Description
LEVEL 03 PLAN

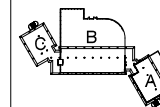
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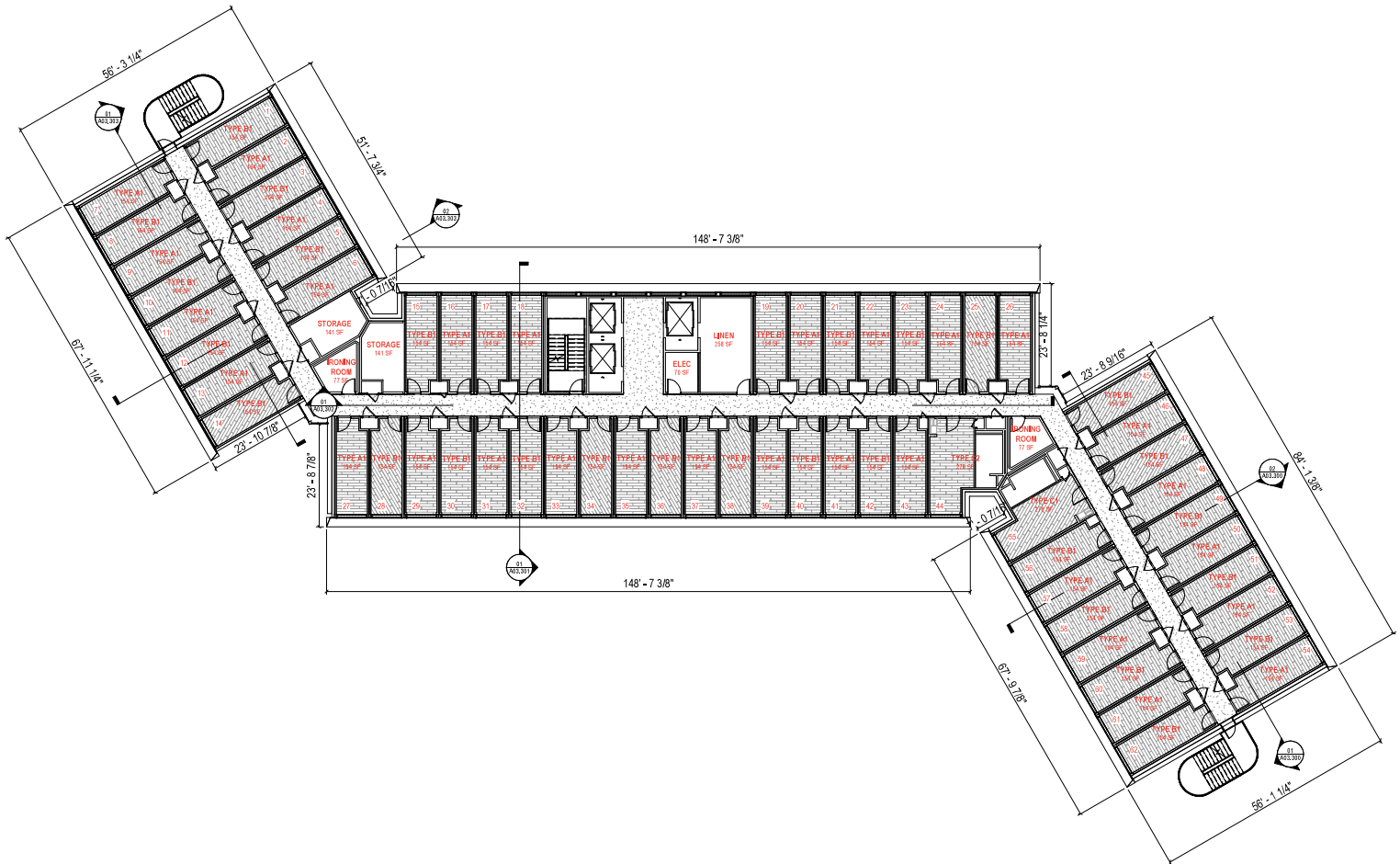
A01.103

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KEY PLAN





01 LEVEL 04 PLAN
SCALE: 3/32" = 1'-0"

SHEET NOTES

GENERAL NOTES



CITIZENM HOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT

CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015

Monica H. Batts
citizenm@gensler.com

MODULAR FABRICATOR

CMC
Jiangmen
Level 26, 131 Yingbin Avenue,
Pingliang District,
Jiangmen, Guangdong
P.R. China (529004)

Ming Ma
mingma@cmc.com

△ Date Description

____ Signature

Project Name

citizenM Menlo Park

Project Number

032.3829.000

Description

LEVEL 04 PLAN

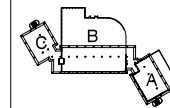
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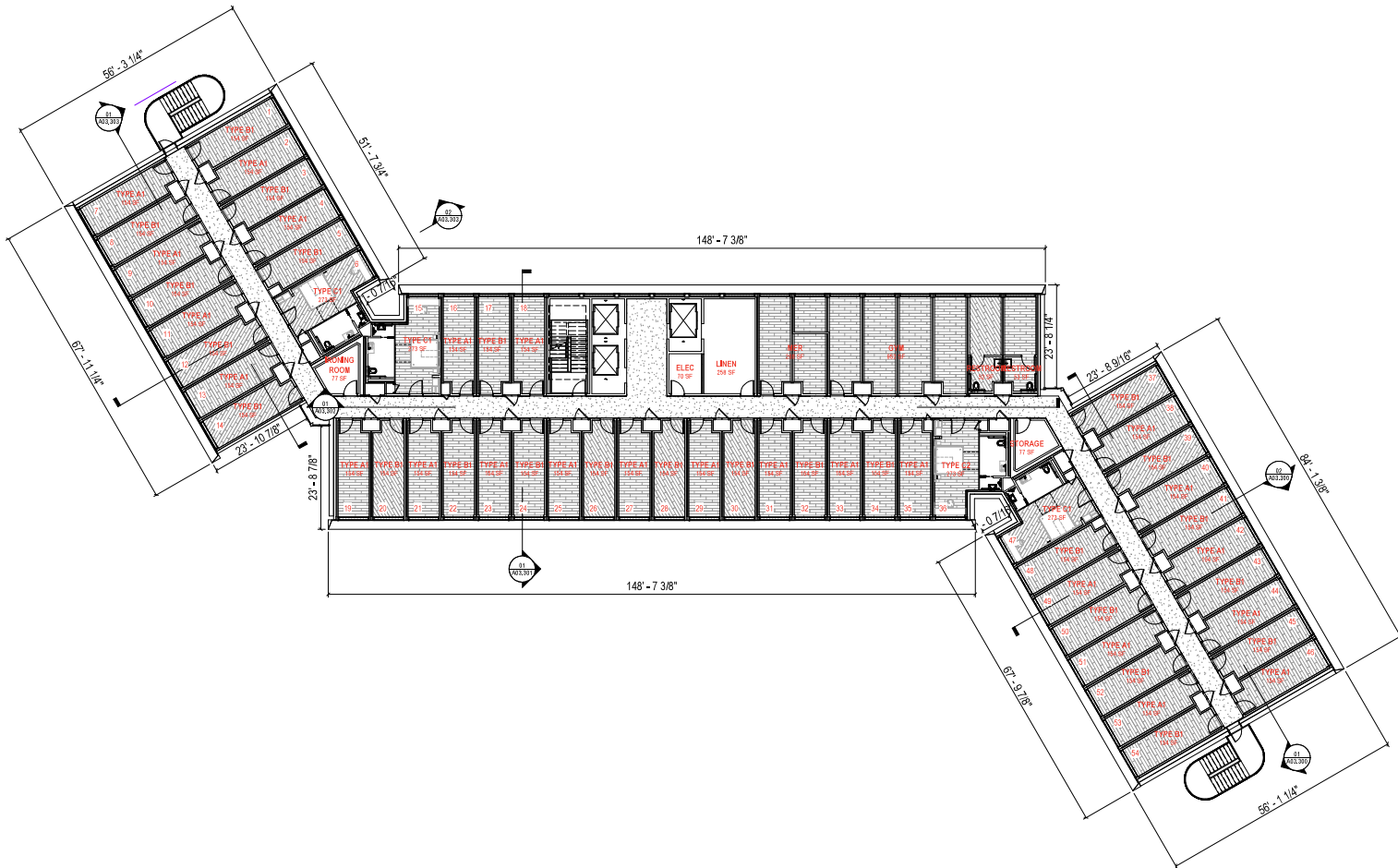
3/32" = 1'-0"

A01.104

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KEY PLAN





01 LEVEL 05 PLAN

SCALE: 3/32" = 1'-0"

C17

SHEET NOTES

GENERAL NOTES



CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1300 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT

CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015

Mona Hefetz
citizenmna@citizenm.com

MODULAR FABRICATOR

CMC
Jiangmen
Level 26, 131 Yiguan Avenue,
Pinggang District,
Jiangmen, Guangdong
P.R. China (529006)

Mere Ma
hongma@gcm.com

△ Date Description

____ Signature

Project Name

citizenM Menlo Park

Project Number

032.3829.000

Description

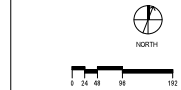
LEVEL 05 PLAN

Scale

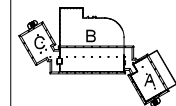
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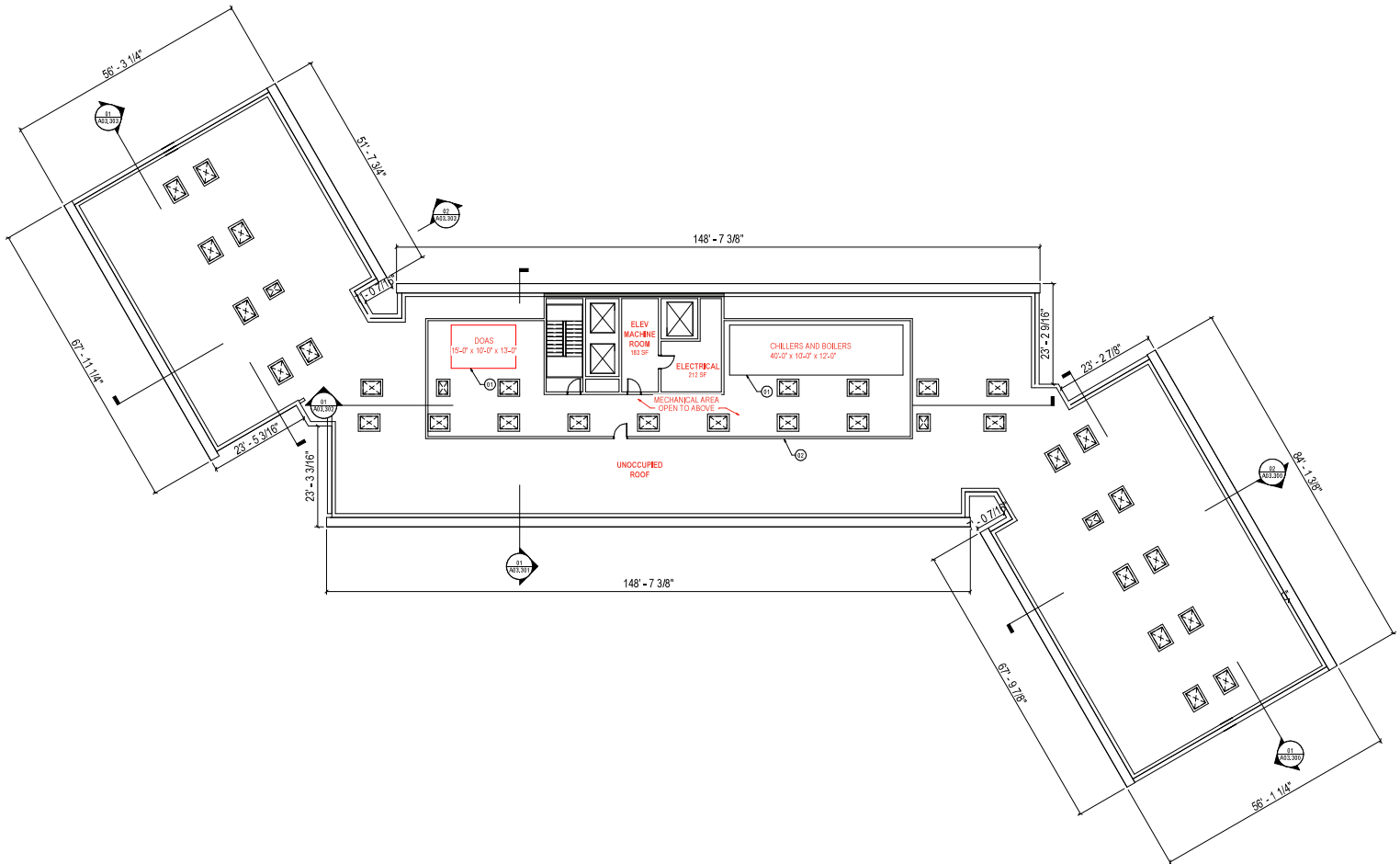
A01.105

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KEY PLAN





SHEET NOTES

- 01 ROOF MOUNTED EQUIPMENT SHALL COMPLY WITH THE HOSE REQUIREMENTS IN CHAPTER 16.05 OF THE ZONING ORDINANCE.
- 02 MECHANICAL SCREEN WALL COVER (LVA01) MECHANICAL UNITS TO BE FULLY SCREENED.



CITIZENM HOTELS
Menlo Park
CA
94025

Gensler
1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States
Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015
Monica Hedges
citizenmen@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yiguan Avenue,
Fenggang Street,
Jiangmen, Guangdong,
P.R. China (529006)
Ming Ma
mingma@cmc.com

GENERAL NOTES

△	Date	Description

SHEETER Signature

Project Name
citizenM Menlo Park

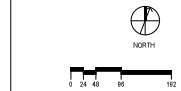
Project Number
032.3829.000

Description
ROOF PLAN

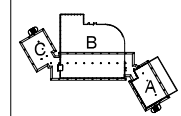
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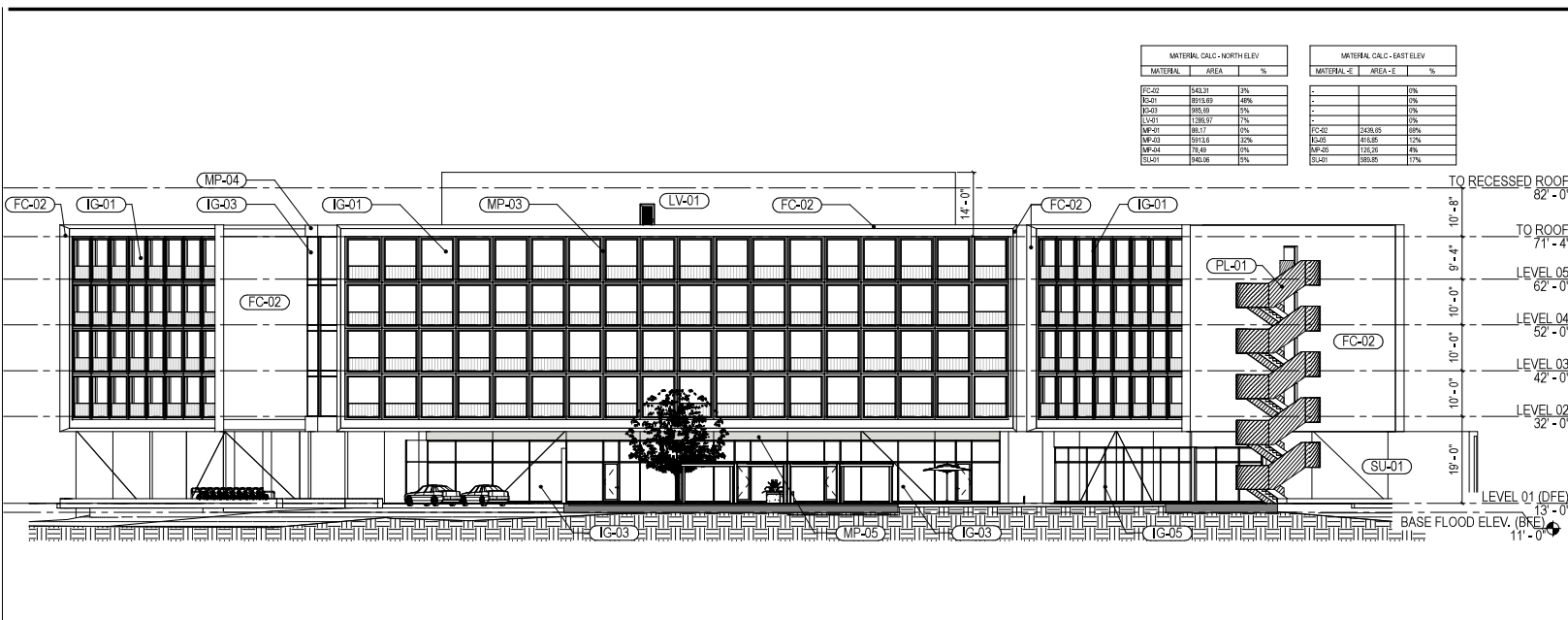
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KEY PLAN

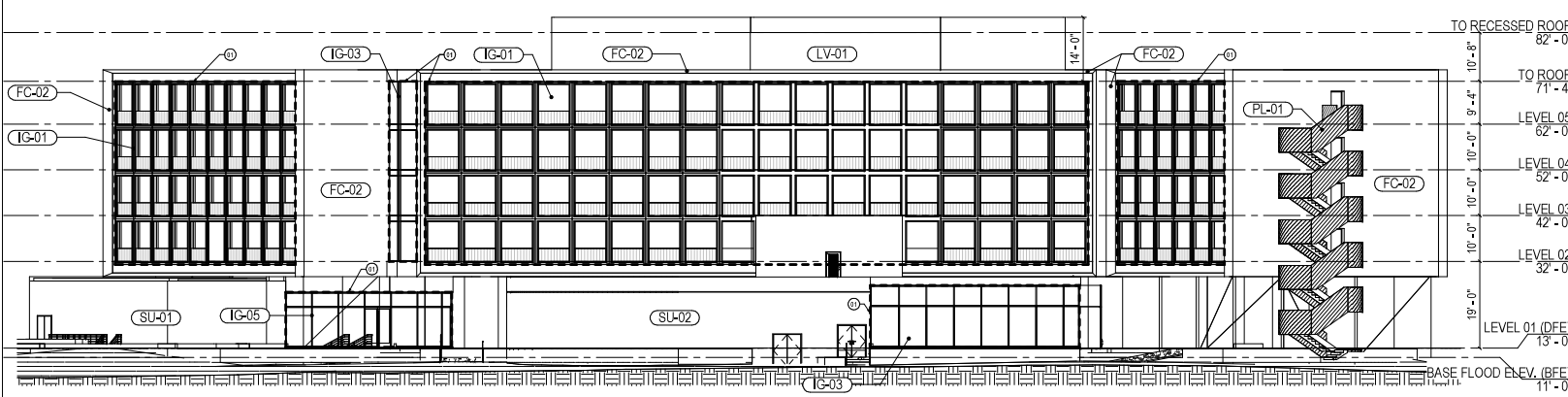




02 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL CALC - NORTH ELEV			MATERIAL CALC - EAST ELEV		
MATERIAL	AREA	%	MATERIAL	AREA	%
FC-02	548.31	8%	-	-	0%
LS-01	8919.69	48%	-	-	0%
LS-03	895.69	5%	-	-	0%
LV-01	1736.97	17%	-	-	0%
MP-01	88.17	0%	FC-02	2461.31	88%
MP-03	5931.6	13%	LS-03	141.88	12%
MP-04	78.49	0%	MP-05	135.20	4%
SU-01	340.06	5%	SU-01	389.85	17%

MATERIAL CALC - SOUTH ELEV			MATERIAL CALC - WEST ELEV		
MATERIAL	AREA(SF)	%	MATERIAL	AREA - W	%
FC-02	898.09	6%	FC-02	2461.31	100%
LS-01	8919.19	100%	-	-	0%
LS-03	3273.54	17%	-	-	0%
LS-05	748.84	4%	-	-	0%
LV-01	1736.97	7%	-	-	0%
MP-03	5281.68	18%	-	-	0%
MP-04	17.48	0%	-	-	0%
MP-05	446.03	1%	-	-	0%



01 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

SHEET NOTES
01 EXTENT OF BRISAKE GLAZING TREATMENTS PER H.C. HENRY & ASSOCIATES ECOLOGICAL CONSULTANTS REPORT DATED JULY 15, 2019



CITIZENM HOTELS
Menlo Park
CA
94025

Gensler
1300 Sixth Avenue
Suite 100
Seattle, WA 98101
United States
Tel: 206.454.2100
Fax: 206.454.2121

CLIENT
citizenM Hotels
78 Madison Avenue
2nd Floor
New York, NY 10017

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yiguan Avenue,
Foshan Shunde
Jiangmen, Guangdong
P.R. China (528309)

MOORE
Merrill Roberts
mroberts@moore.com
citizenm@moore.com

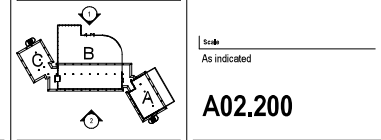
MOORE
Merrill Mo
merrill@moore.com

MATERIALS LEGEND

NOTE: HATCHES ARE FOR GRAPHICAL PURPOSES ONLY AND NOT INTENDED TO INDICATE PHYSICAL PATTERNS ON MATERIAL.

- EC-01 EXPOSED CONCRETE
- FC-02 FIBER-REINFORCED CONCRETE PANEL - REBER TYPE CP102 FINISH LIGHT - GR02 COFF INSET
- IG-01 INSULATED LAMINATED GLAZING UNIT (IGU) SPARKLE GLASS FRT (BLACK FRAME, LIGHT GRAY FRT) BRISAKE GLAZING AREA INDICATED PER SHEET NOTE 1
- IG-02 INSULATED LAMINATED GLAZING UNIT (IGU) SPARKLE GLASS FRT (BLACK FRAME, LIGHT GRAY FRT) BRISAKE GLAZING AREA INDICATED PER SHEET NOTE 1
- IG-03 INSULATED LAMINATED GLAZING UNIT (IGU) SPARKLE GLASS FRT (BLACK FRAME, LIGHT GRAY FRT) BRISAKE GLAZING AREA INDICATED PER SHEET NOTE 1
- IG-04 INSULATED LAMINATED GLAZING UNIT (BLACK FRAME)
- IG-05 INSULATED LAMINATED GLAZING UNIT (CHAMPAGNE FRAME, BRISAKE GLAZING AREA INDICATED PER SHEET NOTE 1)
- LV-01 METAL LOUVER (SILVER)
- MP-01 COMPOSITE ALUMINUM PANEL (SILVER)
- MP-02 COMPOSITE ALUMINUM PANEL (BLACK)
- MP-03 ANODIZED ALUMINUM SYSTEM (BLACK)
- MP-04 ANODIZED WINDOW FRAMES (SILVER)
- MP-05 COMPOSITE ALUMINUM PANEL (CHAMPAGNE)
- PL-01 3/8" STEEL PLATE (RED RAL 3020)
- SU-01 STUCCO (CHAMPAGNE)
- SU-02 STUCCO (MEDIUM GREY)
- SU-03 STUCCO (TAN)

KEY PLAN



Scale
As indicated

Project Name
citizenM Menlo Park

Project Number
032.3829.000

Description
OVERALL ELEVATIONS

Scale
As indicated

0319 Gensler



CITIZENM HOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT

CitizenM Hotels
79 Hudson Avenue
2nd Floor
New York, NY 10018

Melissa H. Batts
citizenm@gensler.com

MODULAR FABRICATOR

CMC
Jiangmen
Level 26, 131 Yingbin Avenue,
Pingliang District,
Jiangmen, Guangdong
P.R. China (529000)

Melissa Ma
hongma@gensler.com



2 SOUTH ELEVATION
SCALE: 1/2" = 1'-0"

△ Date Description



1 NORTH ELEVATION
SCALE: 1/2" = 1'-0"

Signature

Project Name
citizenM Menlo Park

Project Number
032.3829.000

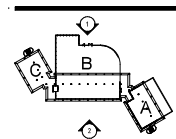
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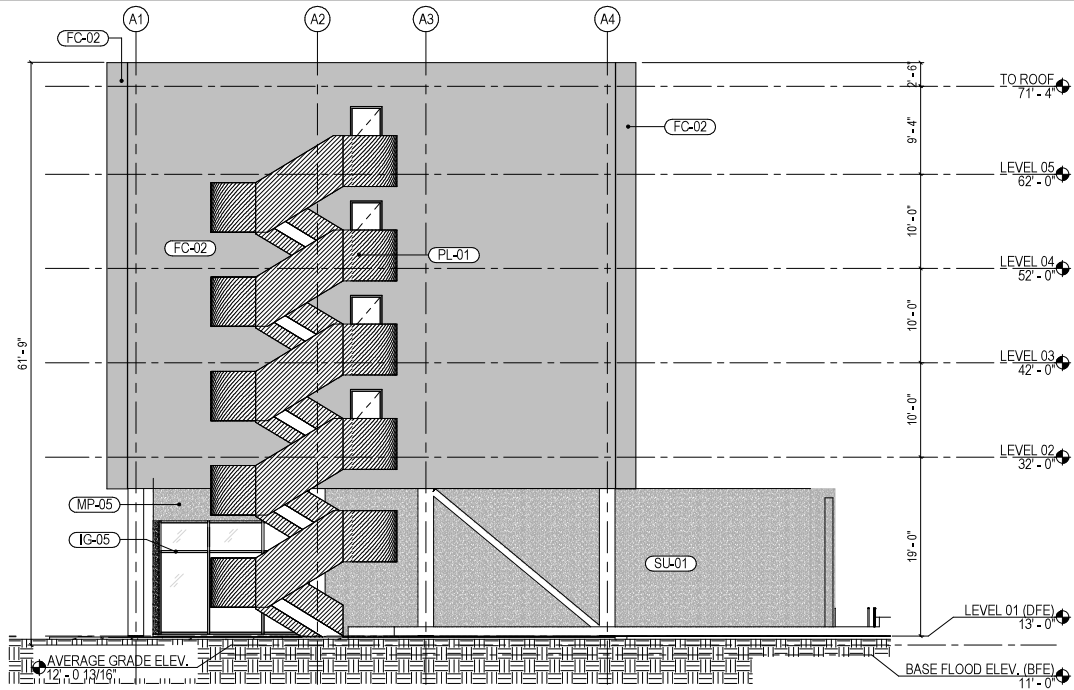
Scale
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A02.200C

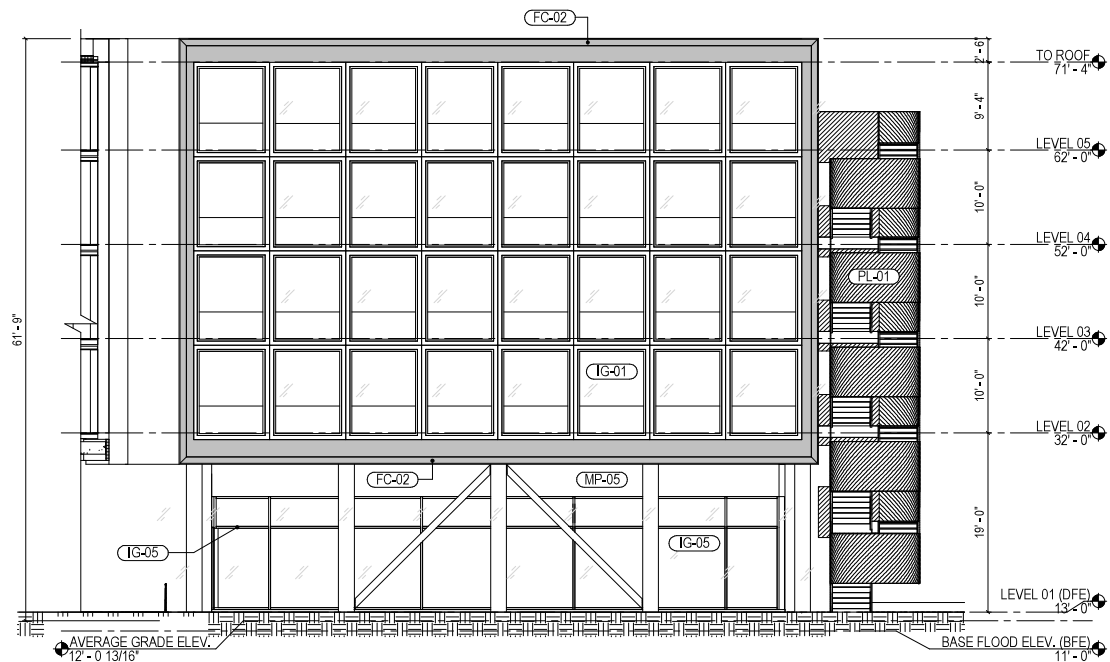
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KEY PLAN





02 SECTOR A - SOUTHEAST ELEVATION
SCALE: 3/8" = 1'-0"



01 SECTOR A - SOUTHWEST ELEVATION
SCALE: 3/8" = 1'-0"

SHEET NOTES

CITIZENHOTELS
Menlo Park
CA
94025

Gensler
1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

CLIENT
citizenM Hotels
Level 26, 131 Virginia Avenue,
Pekinging Street,
Jiangmen, Guangdong,
P.R. China (529000)

Menlo Hub
citizenm@gensler.com

Menlo Mo
hong@gensler.com

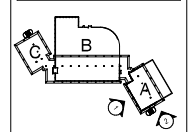
MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Virginia Avenue,
Pekinging Street,
Jiangmen, Guangdong,
P.R. China (529000)

MATERIALS LEGEND

NOTE: HATCHES ARE FOR GRAPHICAL PURPOSES ONLY AND NOT INTENDED TO INDICATE PHYSICAL PATTERNS OR MATERIAL.

- EC-01 EXPOSED CONCRETE
- FC-02 FIBER-REINFORCED CONCRETE PANEL - WEATHER RESISTANT FIBER LIGHT - GREY (2" SPACED)
- IG-01 INSULATED LAMINATED GLAZING UNIT (IGU) (SPANDREL GLASS FRIT (BLACK FRAME, LIGHT GRAY FRIT - EPDS-SAFE GLAZING AREAS INDICATED PER SHEET NOTE 1))
- IG-02 GLAZING UNIT (IGU) (SPANDREL GLASS FRIT (BLACK FRAME, LIGHT GRAY FRIT - EPDS-SAFE GLAZING AREAS INDICATED PER SHEET NOTE 1))
- IG-03 GLAZING UNIT (IGU) (SPANDREL GLASS FRIT (BLACK FRAME, LIGHT GRAY FRIT - EPDS-SAFE GLAZING AREAS INDICATED PER SHEET NOTE 1))
- IG-04 INSULATED LAMINATED GLAZING UNIT (BLACK FRAME)
- IG-05 INSULATED LAMINATED GLAZING UNIT (CHAMPAGNE FRAME, EPDS-SAFE GLAZING AREAS INDICATED PER SHEET NOTE 1)
- LV-01 METAL LOUVER (SILVER)
- MP-01 COMPOSITE ALUMINUM PANEL (SILVER)
- MP-02 COMPOSITE ALUMINUM PANEL (BLACK)
- MP-03 ANODIZED ALUMINUM SYSTEM (BLACK)
- MP-04 ANODIZED WINDOW FRAMES (SILVER)
- MP-05 COMPOSITE ALUMINUM PANEL (CHAMPAGNE)
- PL-01 3/8" STEEL PLATE (RED GRA. 3025)
- SU-01 STUCCO (CHAMPAGNE)
- SU-02 STUCCO (MEDIUM GREY)
- SU-03 STUCCO (RED)

KEY PLAN

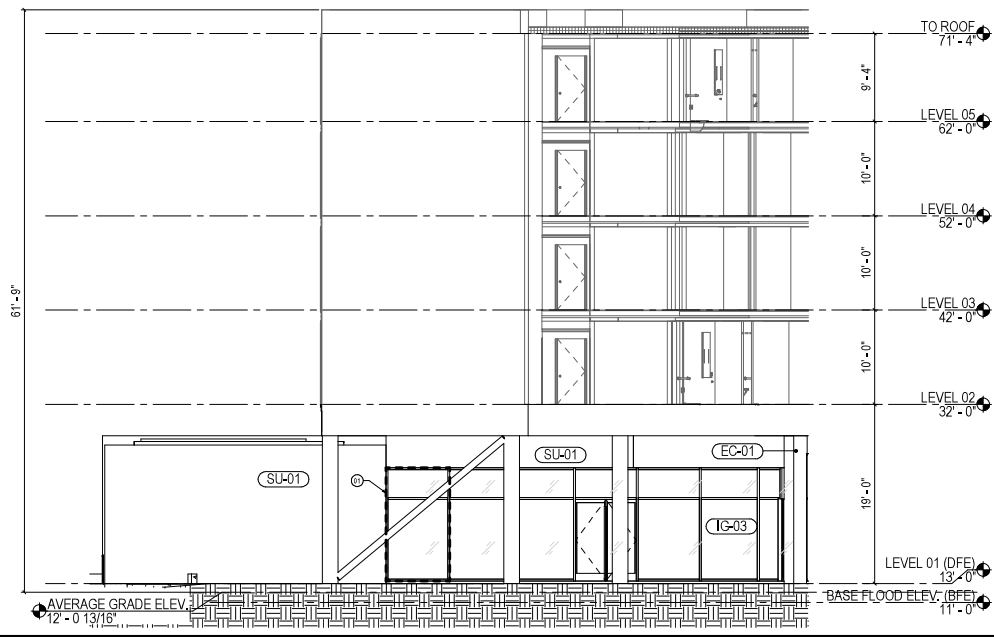


Date	Description

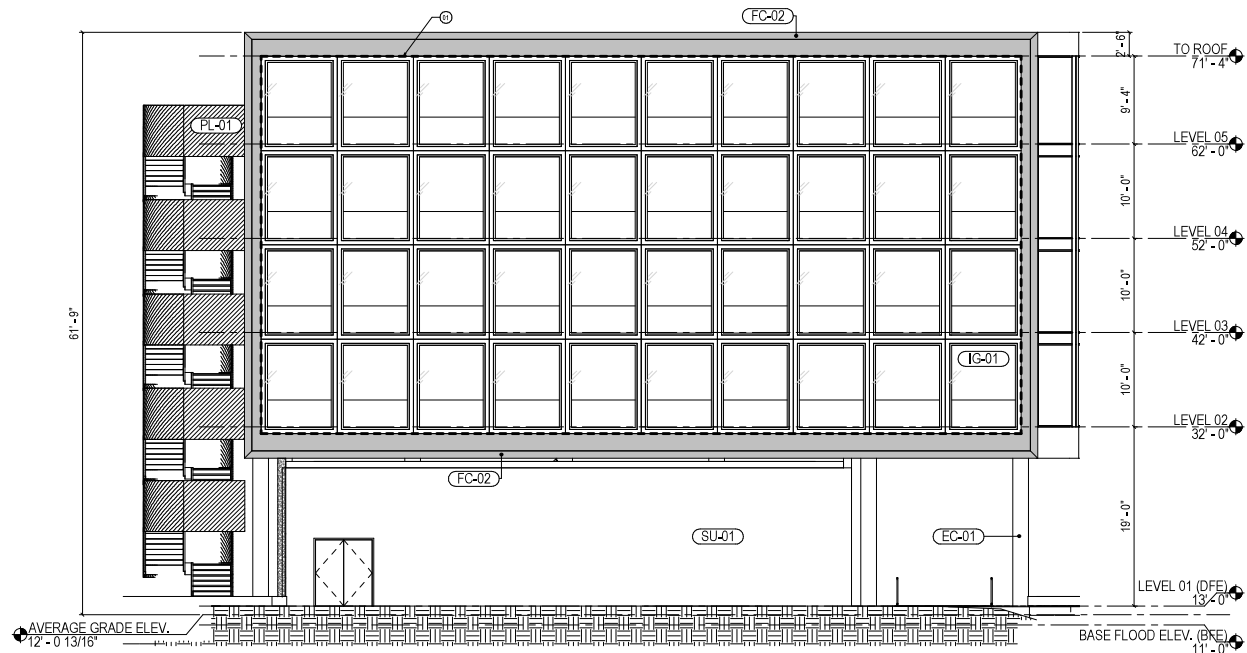
Field	Signature

Project Name	citizenM Menlo Park
Project Number	032.3829.000
Description	SECTOR A - ELEVATION
Scale	As indicated

A02.201



02 SECTOR A - NORTHWEST ELEVATION
SCALE: 3/16" = 1'-0"



01 SECTOR A - NORTHEAST ELEVATION
SCALE: 3/16" = 1'-0"

SHEET NOTES

01 EXTENT OF BIODIVERSITY TREATMENTS PER H.T. HARVEY & ASSOCIATES' ECOLOGICAL CONSULTANTS REPORT DATED JULY 15, 2019



CITIZENM HOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States
Tel: 206.454.2100
Fax: 206.454.2121

CLIENT
citizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017
Minna Hillebrand
citizenmna@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yiguan Avenue,
Fuzhou District,
Jiangmen, Guangdong
P.R. China (529000)
Ming Ma
mingma@gensler.com

MATERIALS LEGEND

NOTE: HATCHES ARE FOR GRAPHICAL PURPOSES ONLY AND NOT INTENDED TO INDICATE PHYSICAL PATTERNS ON MATERIAL.

- EC-01 EXPOSED CONCRETE
- FC-02 FIBER-REINFORCED CONCRETE PANEL - REDUCED-THERMAL CYCLE FERROUS LIGHT-GRADE COF PANEL
- IG-01 INSULATED LAMINATED GLAZING UNIT W/ SPINDEL GLASS FRIT (BLACK FRAME, LIGHT GRAY FRIT) - BROWNE GLAZING AREA INDICATED PER SHEET NOTE 1.
- IG-02 INSULATED LAMINATED GLAZING UNIT W/ SPINDEL GLASS FRIT (BLACK FRAME, LIGHT GRAY FRIT) - BROWNE GLAZING AREA INDICATED PER SHEET NOTE 1.
- IG-03 INSULATED LAMINATED GLAZING UNIT (SILVER FRAME) - BROWNE GLAZING AREA INDICATED PER SHEET NOTE 1.
- IG-04 INSULATED LAMINATED GLAZING UNIT (BLACK FRAME)
- IG-05 INSULATED LAMINATED GLAZING UNIT (CHAMPAGNE FRAME) - BROWNE GLAZING AREA INDICATED PER SHEET NOTE 1.
- LV-01 METAL LOUVER (SILVER)
- MP-01 COMPOSITE ALUMINUM PANEL (SILVER)
- MP-02 COMPOSITE ALUMINUM PANEL (BLACK)
- MP-03 ANODIZED ALUMINUM SYSTEM (BLACK)
- MP-04 ANODIZED WINDOW FRAMES (SILVER)
- MP-05 COMPOSITE ALUMINUM PANEL (CHAMPAGNE)
- PL-01 3/8" STEEL PLATE (RED RAL 3020)
- SU-01 STUCCO (CHAMPAGNE)
- SU-02 STUCCO (MEDIUM GREY)
- SU-03 STUCCO (BRO)

△ Date Description

____/____/____

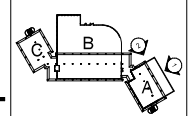
Title Signature

Project Name
citizenM Menlo Park

Project Number
032.3829.000

Description
SECTOR A - ELEVATION

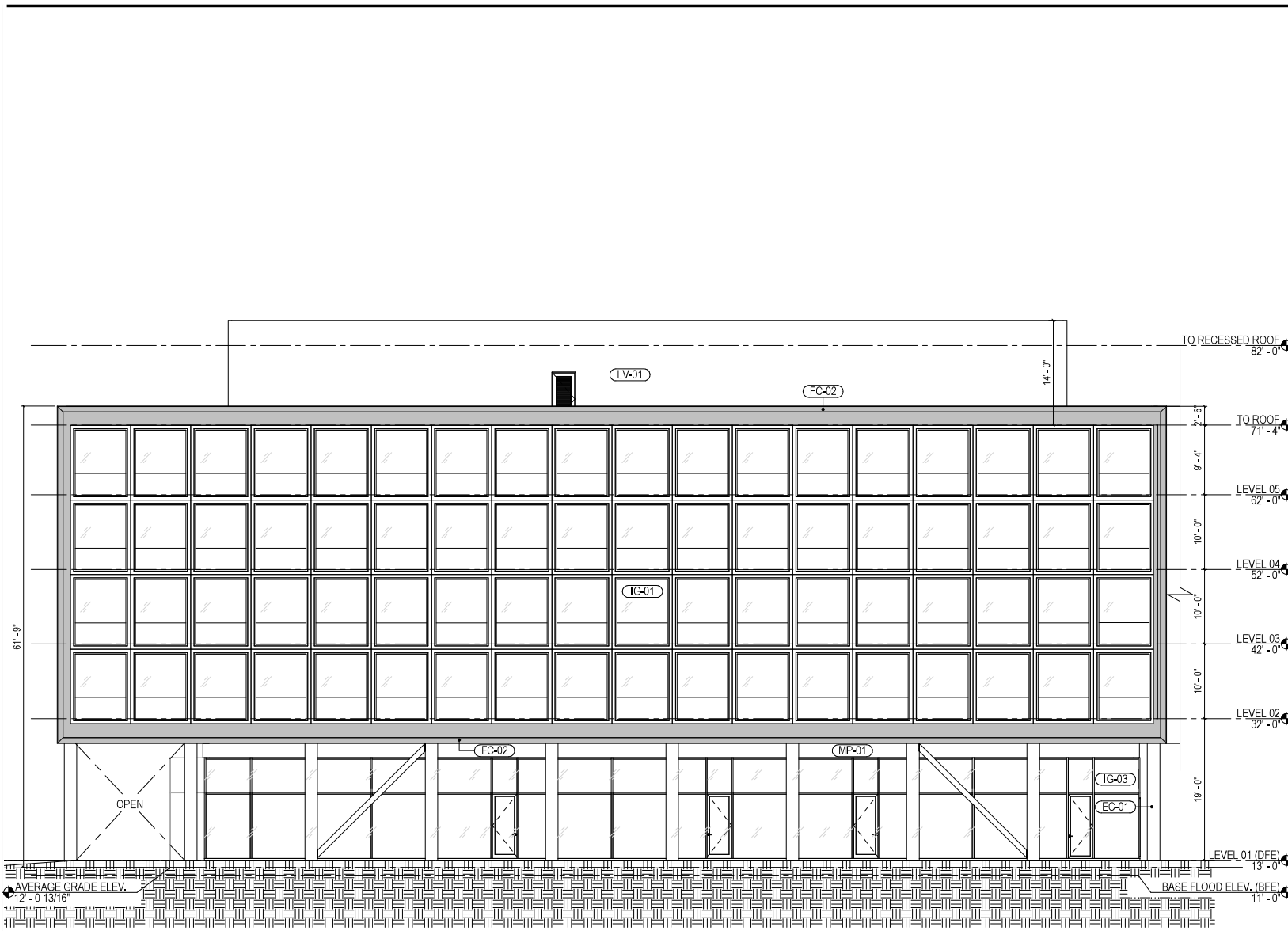
KEY PLAN



Scale
As indicated

A02.202

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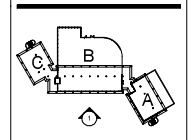
SHEET NOTES

NOTE: HATCHES ARE FOR GRAPHICAL PURPOSES ONLY AND NOT INTENDED TO INDICATE PHYSICAL PATTERNS ON MATERIAL.

MATERIALS LEGEND

- EC-01 EXPOSED CONCRETE
- FC-02 FIBER-REINFORCED CONCRETE PANEL - REGULAR TYPICAL CYCLIC FERROUS LIGHT - GR02 OFF WHITE
- IG-01 INSULATED LAMINATED GLAZING UNIT (IGU) SPANDREL GLASS (FRONT BLACK FRAME, LIGHT GRAY PFT) (BACKSIDE GLAZING AREA INDICATED PER SHEET NOTE 1)
- IG-02 INSULATED LAMINATED GLAZING UNIT (IGU) SPANDREL GLASS (FRONT LIGHT GRAY PFT, BACKSIDE GLAZING AREA INDICATED PER SHEET NOTE 1)
- IG-03 GLAZING UNIT (GLU) SILVER FRAME, BROWN GLAZING AREA INDICATED PER SHEET NOTE 1
- IG-04 INSULATED LAMINATED GLAZING UNIT (BLACK FRAME)
- IG-05 INSULATED LAMINATED GLAZING UNIT (CHAMPAGNE FRAME, BROWN GLAZING AREA INDICATED PER SHEET NOTE 1)
- LV-01 METAL LOUVER (SILVER)
- MP-01 COMPOSITE ALUMINUM PANEL (SILVER)
- MP-02 COMPOSITE ALUMINUM PANEL (BLACK)
- MP-03 ANODIZED ALUMINUM SYSTEM (BLACK)
- MP-04 ANODIZED WINDOW FRAME (SILVER)
- MP-05 COMPOSITE ALUMINUM PANEL (CHAMPAGNE)
- PL-01 1/4" STEEL PLATE (RED RAL 302)
- SU-01 STUCCO (CHAMPAGNE)
- SU-02 STUCCO (MEDIUM GREY)
- SU-03 STUCCO (RED)

KEY PLAN



CITIZENM HOTELS
Menlo Park
CA
94025

Gensler
1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017

MOULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yiguan Avenue,
Foshan, China

Client Name: Menlo Park
Client Address: 79 Madison Avenue, New York, NY 10017
Client Phone: (212) 694-2100
Client Email: citizenmenlo@citizenm.com

Project Name: CitizenM Menlo Park
Project Number: 032.3829.000
Description: SECTOR B - ELEVATION

Scale: As indicated

Date: _____
Description: _____

Sheet Signature: _____

Project Name: CitizenM Menlo Park

Project Number: 032.3829.000

Description: SECTOR B - ELEVATION

Scale: As indicated

Date: _____

Sheet Signature: _____

Project Name: CitizenM Menlo Park

Project Number: 032.3829.000

Description: SECTOR B - ELEVATION

Scale: As indicated

Date: _____

Sheet Signature: _____

Project Name: CitizenM Menlo Park

Project Number: 032.3829.000

Description: SECTOR B - ELEVATION

Scale: As indicated

Date: _____

Sheet Signature: _____

SHEET NOTES

01 EXTENT OF BRUSHING TREATMENTS PER
MT. HARVEY & ASSOCIATES ECOLOGICAL
CONSULTANTS REPORT DATED JULY 15, 2019



CITIZENM HOTELS

West Park
CA
94223

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT

CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017

Monica Hildets
citizenm@gensler.com

MODULAR FABRICATOR

CNIC
Jiangmen
Level 26, 131 Yiguan Avenue,
Foshan District,
Jiangmen, Guangdong
P.R. China (529000)

Miroslav Miroslav
mroslav@gensler.com

Miroslav Miroslav
mroslav@gensler.com

MATERIALS LEGEND

NOTE: HATCHES ARE FOR GRAPHICAL PURPOSES ONLY AND NOT INTENDED TO INDICATE PHYSICAL PATTERNS ON MATERIAL.

- EC-01 EXPOSED CONCRETE
- FC-02 REINFORCED CONCRETE PANEL - RECESSED TYPE CYLINDRICAL REINFORCING - GR20 OFF WHITE
- IG-01 INSULATED, AMBITATED GLAZING UNIT (SPRINKLER GLASS UNIT) (BLACK FRAME, LIGHT GRAY FINISH) (BROUQUE GLAZING AREA INDICATED PER SHEET NOTE 1)
- IG-02 INSULATED, AMBITATED GLAZING UNIT (GLASS UNIT) (BLACK FRAME, LIGHT GRAY FINISH) (BROUQUE GLAZING AREA INDICATED PER SHEET NOTE 1)
- IG-03 GLAZING UNIT (SILVER FRAME, INSULATED) (AMBITATED GLAZING AREA INDICATED PER SHEET NOTE 1)
- IG-04 INSULATED, AMBITATED GLAZING UNIT (BLACK FRAME)
- IG-05 INSULATED, AMBITATED GLAZING UNIT (CHAMPAGNE FRAME, BROUQUE GLAZING AREA INDICATED PER SHEET NOTE 1)
- LV-01 METAL LOUVER (SILVER)
- MP-01 COMPOSITE ALUMINUM PANEL (SILVER)
- MP-02 COMPOSITE ALUMINUM PANEL (BLACK)
- MP-03 ANODIZED ALUMINUM SYSTEM (BLACK)
- MP-04 ANODIZED WINDOW FRAMES (SILVER)
- MP-05 COMPOSITE ALUMINUM PANEL (CHAMPAGNE)
- PL-01 3/8" STEEL PLATE (P20, RAL 3022)
- SU-01 STUCCO (CHAMPAGNE)
- SU-02 STUCCO (MEDIUM GREY)
- SU-03 STUCCO (RED)

Date Description

Scale Signature

Project Name
citizenM Menlo Park

Project Number
032.3829.000

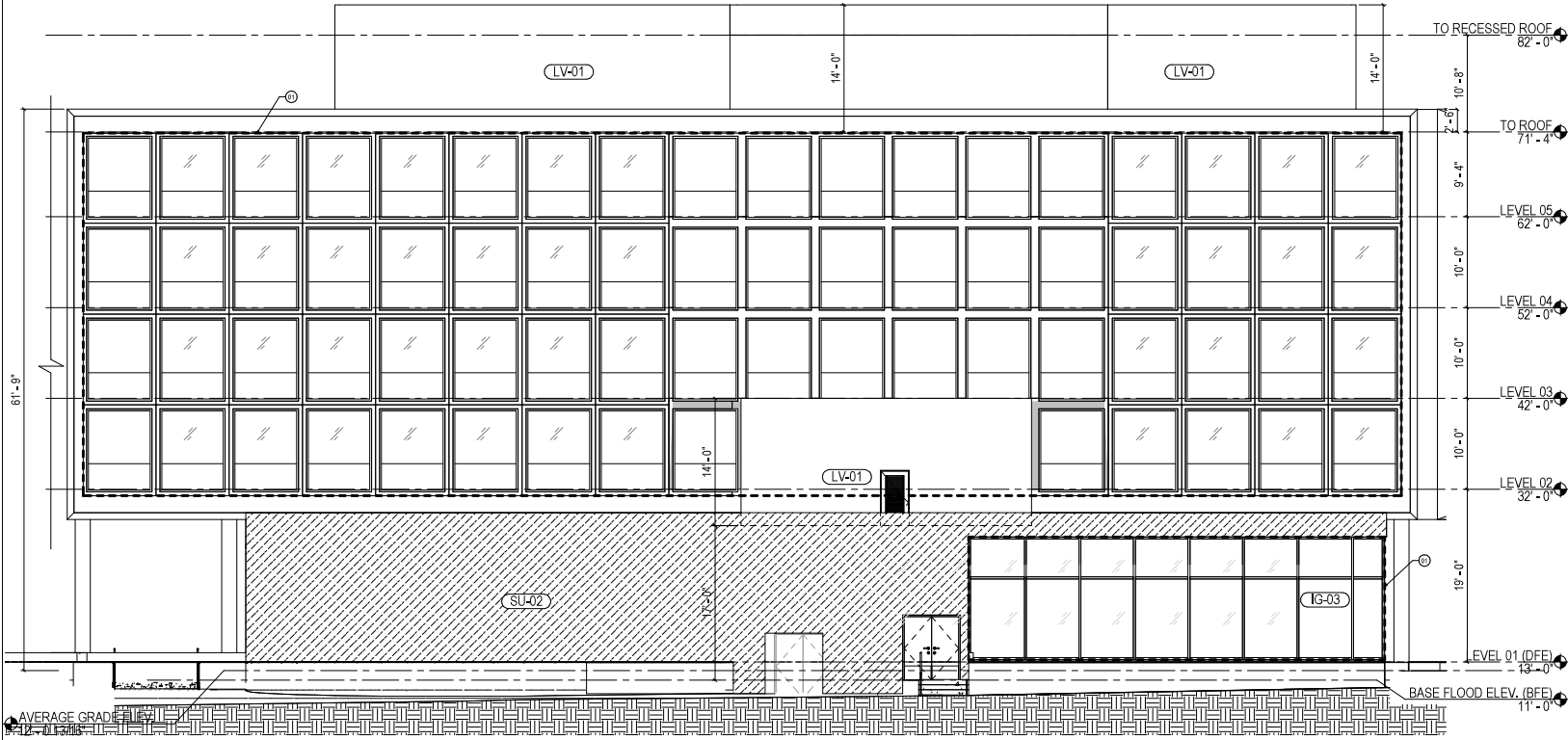
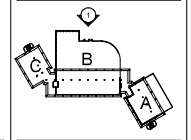
Description
SECTOR B - ELEVATION

Scale
As indicated

A02.204

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KEY PLAN



01 SECTOR B - NORTH ELEVATION

SCALE: 1/8" = 1'-0"

C24

SHEET NOTES

01 EXTENT OF BROSAFE GLAZING TREATMENTS PER
M.T. HARVEY & ASSOCIATES ECOLOGICAL
CONSULTANTS REPORT DATED JULY 15, 2019



CITIZENM HOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
citizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017

Melissa Hildreth
mhildreth@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yiguan Avenue,
Pudong District,
Jiangmen, Guangdong
P.R. China (529000)

Melissa Ma
ma@cmcfab.com

MATERIALS LEGEND

NOTE: HATCHES ARE FOR GRAPHICAL PURPOSES ONLY AND
INTENDED TO INDICATE PHYSICAL PATTERNING ON
MATERIAL.

- EC-01** EXPOSED CONCRETE
- FC-02** REINFORCED CONCRETE PANEL - REIDER TYPE CYCLOPS (LEFT - ONLY) OFF WHITE
- IG-01** INSULATED LAMINATED GLAZING UNIT (W/ SPANDREL GLASS) (BLACK FRAME, LIGHT GRAY PREF. BED-SAFE GLAZING AREA INDICATED PER SHEET NOTE 1)
- IG-02** INSULATED LAMINATED GLAZING UNIT (W/ GLASS) (BLACK FRAME, LIGHT GRAY PREF. BROSAFE GLAZING AREA INDICATED PER SHEET NOTE 1)
- IG-03** GLAZING UNIT (SILVER FRAME) (BROSAFE GLAZING AREA INDICATED PER SHEET NOTE 1)
- IG-04** INSULATED LAMINATED GLAZING UNIT (BLACK FRAME)
- IG-05** INSULATED LAMINATED GLAZING UNIT (CHAMPAGNE FRAME) (BROSAFE GLAZING AREA INDICATED PER SHEET NOTE 1)
- LV-01** METAL LOUVER (SILVER)
- MP-01** COMPOSITE ALUMINUM PANEL (SILVER)
- MP-02** COMPOSITE ALUMINUM PANEL (BLACK)
- MP-03** ANODIZED ALUMINUM SYSTEM (BLACK)
- MP-04** ANODIZED WINDOW FRAME (SILVER)
- MP-05** COMPOSITE ALUMINUM PANEL (CHAMPAGNE)
- PL-01** 3/8" STEEL PLATE (RED PAI. 3025)
- SU-01** STUCCO (CHAMPAGNE)
- SU-02** STUCCO (MEDIUM GREY)
- SU-03** STUCCO (RED)

△ Date Description

Title / Signature

Project Name

citizenM Menlo Park

Project Number

032.3829.000

Description

SECTOR B - ELEVATION

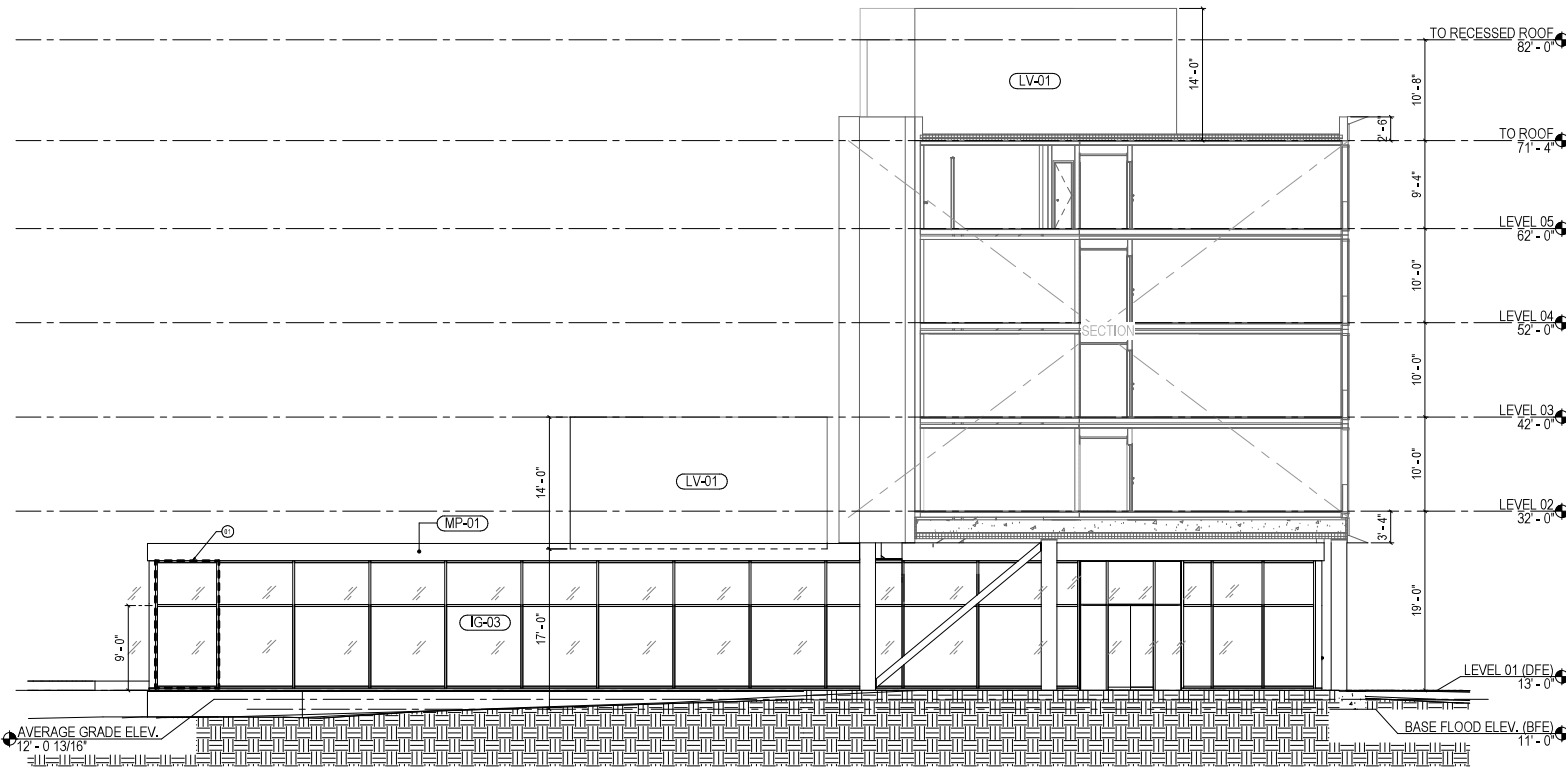
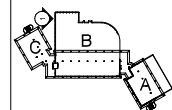
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As indicated

A02.205

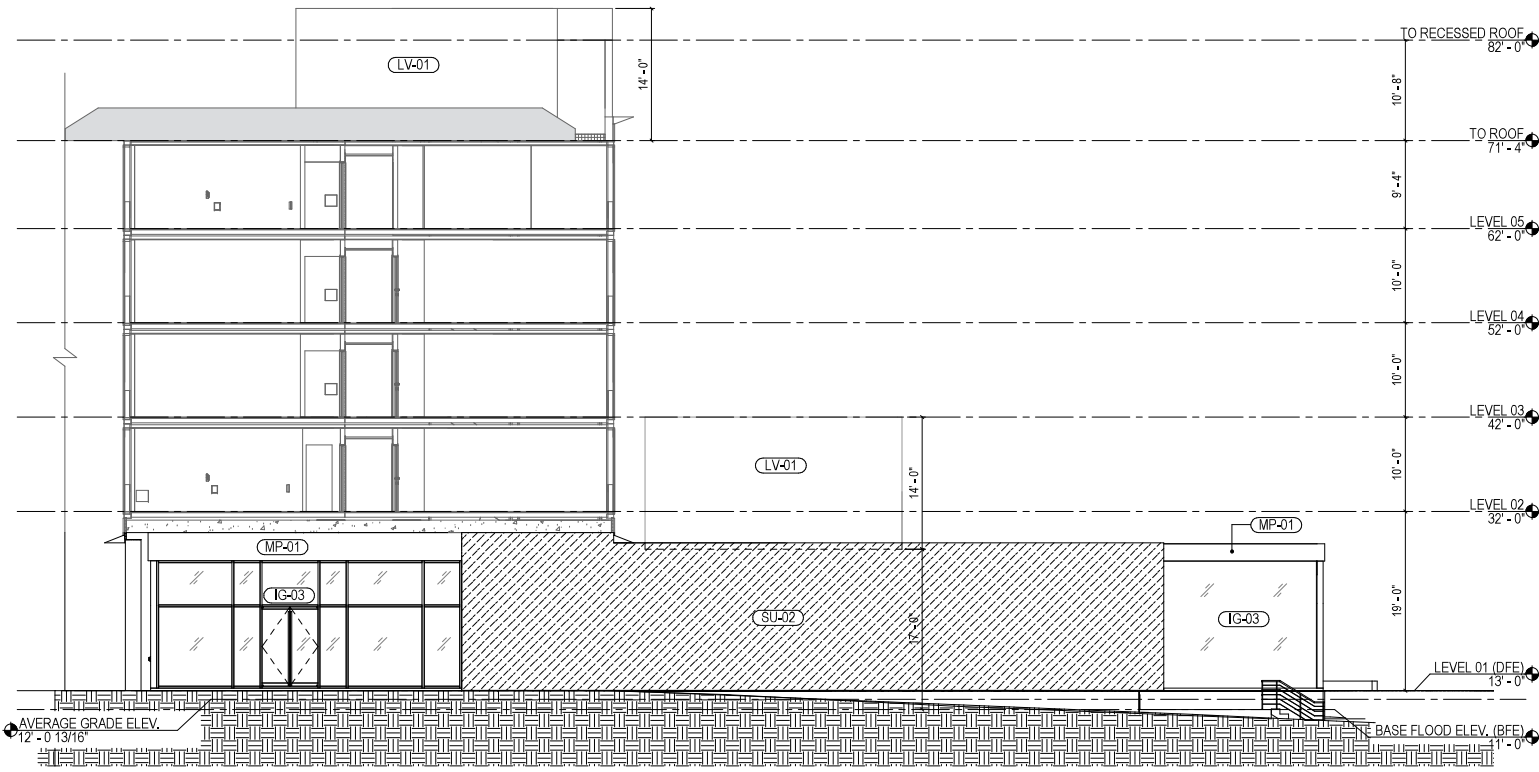
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KEY PLAN



SCALE: 1/8"=1'-0"

C25



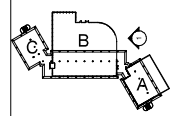
SHEET NOTES

MATERIALS LEGEND

NOTE: HATCHES ARE FOR GRAPHICAL PURPOSES ONLY AND NOT INTENDED TO INDICATE PHYSICAL PATTERNS ON MATERIAL.

- EC-01 EXPOSED CONCRETE
- FC-02 FIBER-REINFORCED CONC. CORE PANEL - HOLLOW TUBE CYLINDRICAL PERFORATED - GR02 COP FINISH
- IG-01 INSULATED LAMINATED GLASS UNIT (SPANDREL GLASS FRIT BLACK FRAME, LIGHT GRAY FRIT, BRIDGE GLAZING AREA INDICATED PER SHEET NOTE 1)
- IG-02 INSULATED LAMINATED GLASS UNIT (BLACK FRIT, BRIDGE SAFETY GLAZING AREA INDICATED PER SHEET NOTE 1)
- IG-03 INSULATED LAMINATED GLASS UNIT (CHAMPAGNE FRAME, BRIDGE SAFETY GLAZING AREA INDICATED PER SHEET NOTE 1)
- IG-04 INSULATED LAMINATED GLASS UNIT (BLACK FRAME)
- IG-05 INSULATED LAMINATED GLASS UNIT (CHAMPAGNE FRAME, BRIDGE SAFETY GLAZING AREA INDICATED PER SHEET NOTE 1)
- LV-01 METAL LOUVER (SILVER)
- MP-01 COMPOSITE ALUMINUM PANEL (SILVER)
- MP-02 COMPOSITE ALUMINUM PANEL (BLACK)
- MP-03 ANODIZED ALUMINUM SYSTEM (BLACK)
- MP-04 ANODIZED WINDOW FRAMES (SILVER)
- MP-05 COMPOSITE ALUMINUM PANEL (COMPOSITE)
- PL-01 3/8" STEEL PLATE (RED PALL 303)
- SU-01 STUCCO (CHAMPAGNE)
- SU-02 STUCCO (MEDIUM GREY)
- SU-03 STUCCO (TID)

KEY PLAN



citizen
CITIZENHOTELS
 Menlo Park
 CA
 94025

Gensler
 1200 Sixth Avenue
 Suite 100
 Seattle, WA 98101
 United States

CLIENT
 citizenM Hotels
 79 Madison Avenue
 2nd Floor
 New York, NY 10017

MEMO #0625
 citizenm@citizen.com

MODULAR FABRICATOR
 CHC
 Jiangmen
 Level 26, 131 Yiguan Avenue,
 Pingliang Street,
 Jiangmen, Guangdong
 P.R. China (529000)

Memo #0625
 hougham@gensler.com

Date	Description

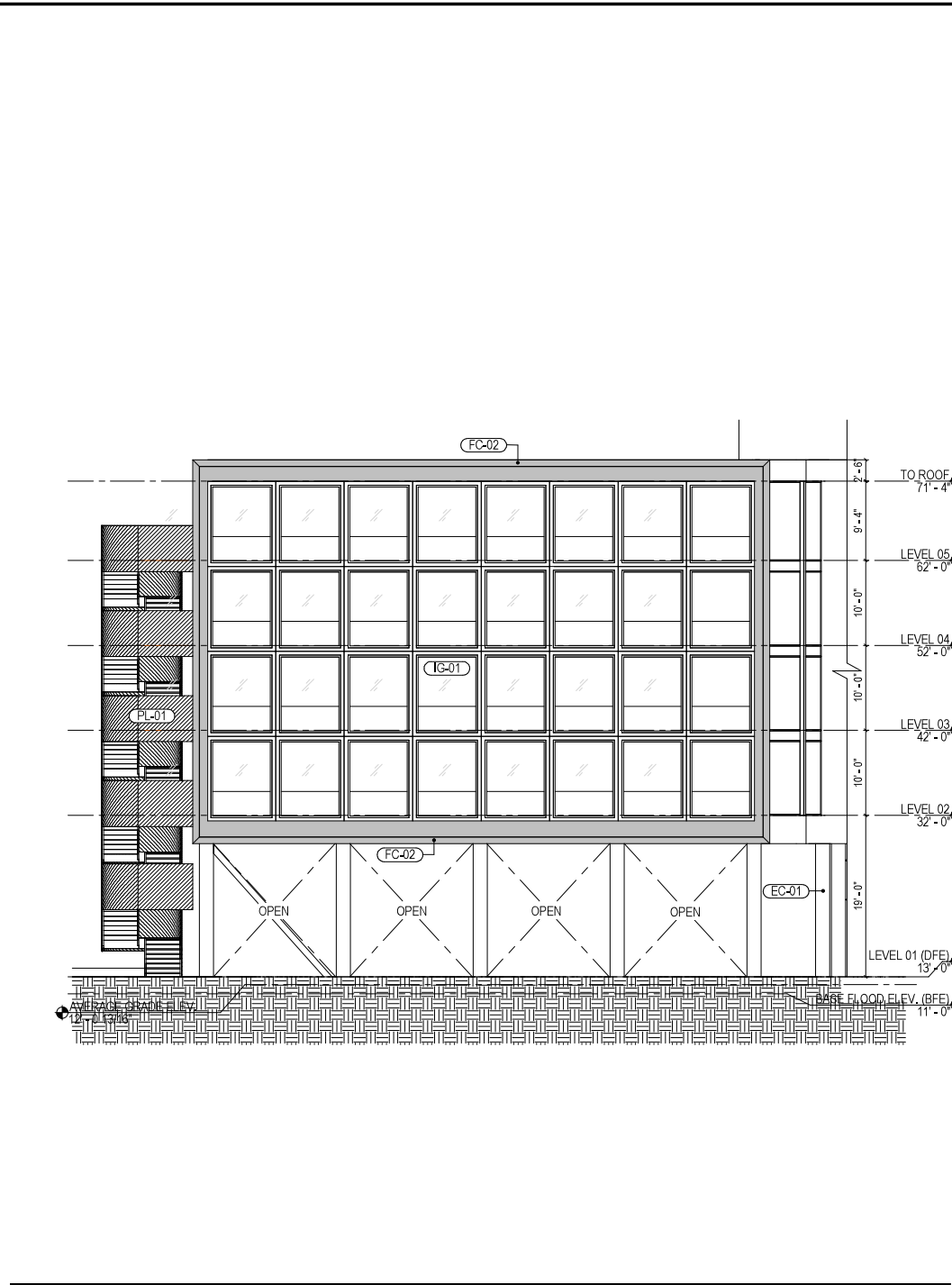
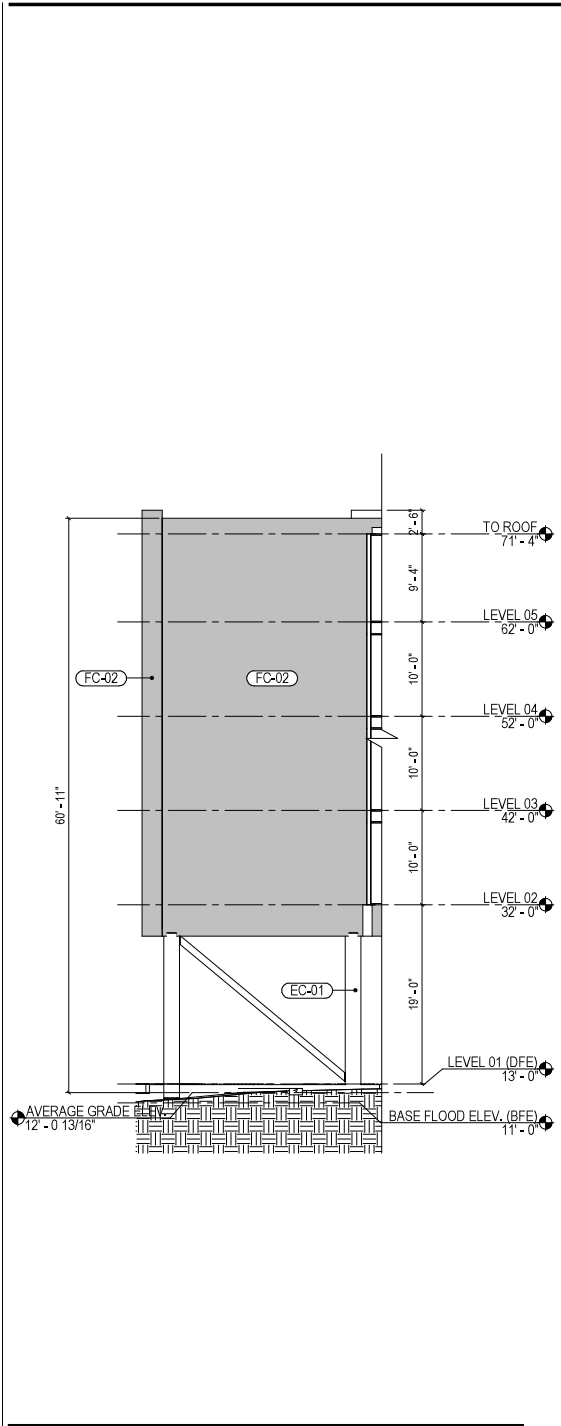
Project Name
 citizenM Menlo Park

Project Number
 032.3829.000

Description
 SECTOR B - ELEVATION

Scale
 As indicated

A02.206



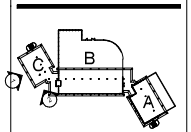
SHEET NOTES

NOTE: HATCHES ARE FOR GRAPHICAL PURPOSES ONLY AND NOT INTENDED TO INDICATE PHYSICAL PATTERNS ON MATERIAL.

MATERIALS LEGEND

- EC-01 EXPOSED CONCRETE
- FC-02 FIBER-REINFORCED CONC. W/ITE PANEL - FIBER-REINFORCED CYCLO-FIBERS (LGT - GRD) (SP W/ITE)
- IG-01 INSULATED LAMINATED GLAZING UNIT (IGU) SPANDREL GLASS FRMT (BLACK FRAME, LGT GRAY FRMT, BRD-SAFE GLAZING AREA INDICATED) PER SHEET NOTE 1.
- IG-02 INSULATED LAMINATED GLAZING UNIT (IGU) GLASS FRMT (BLACK FRAME, LGT GRAY FRMT, BRD-SAFE GLAZING AREA INDICATED) PER SHEET NOTE 1.
- IG-03 INSULATED LAMINATED GLAZING UNIT (IGU) SPANDREL GLASS FRMT (BLACK FRAME, BRD-SAFE GLAZING AREA INDICATED) PER SHEET NOTE 1.
- IG-04 INSULATED LAMINATED GLAZING UNIT (IGU) SPANDREL GLASS FRMT (BLACK FRAME)
- IG-05 INSULATED LAMINATED GLAZING UNIT (IGU) SPANDREL GLASS FRMT (BLACK FRAME, BRD-SAFE GLAZING AREA INDICATED) PER SHEET NOTE 1.
- LV-01 METAL LOUVER (SILVER)
- MP-01 COMPOSITE ALUMINUM PANEL (SILVER)
- MP-02 COMPOSITE ALUMINUM PANEL (BLACK)
- MP-03 ANODIZED ALUMINUM SYSTEM (BLACK)
- MP-04 ANODIZED WINDOW FRAMES (SILVER)
- MP-05 COMPOSITE ALUMINUM PANEL (CHAMPAGNE)
- PL-01 3/8" STEEL PLATE (RED PAI. 303)
- SU-01 STUCCO (CHAMPAGNE)
- SU-02 STUCCO (MEDIUM GREY)
- SU-03 STUCCO (TID)

KEY PLAN



CITIZENHOTELS
Menlo Park
CA
94025

Gensler
1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017

MEMO MEMBERS
Merrin H. Gensler
m.h.gensler@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yiguan Avenue,
Fengyang Street,
Jiangmen, Guangdong
P.R. China (529000)

Memo Mo
mo.gensler@gensler.com

Scale / Signature

Project Name
citizenM Menlo Park

Project Number
032.3829.000

Description
SECTOR C - ELEVATION

Scale
As indicated

A02.207

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SHEET NOTES

01. EXTENT OF BROSAFE GLAZING TREATMENTS FOR
M.T. HARVEY & ASSOCIATES ECOLOGICAL
CONSULTANTS REPORT DATED JULY 15, 2019



CITIZENM HOTELS

Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT

citizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10018

Project Mgmt

citizenm@citizens.com

MODULAR FABRICATOR

CMC

Jiangmen
Level 26, 131 Yixian Avenue,
Fengcheng District,
Jiangmen, Guangdong
P.R. China (529000)

Project Arch

citizenm@citizens.com

Project Eng

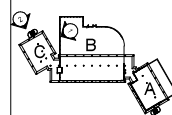
jiangmen@cmc.com

MATERIALS LEGEND

NOTE: HATCHES ARE FOR GRAPHICAL PURPOSES ONLY AND NOT INTENDED TO INDICATE PHYSICAL PATTERNS OR MATERIALS.

- EC-01 EXPOSED CONCRETE
- FC-02 FIBER-REINFORCED CONC. (NOTE: PANELS = CHECK YIELD CYCLE OF FERROUS LIGHT-GRADE CIP MIX)
- IG-01 INSULATED LAMINATED GLAZING UNIT (IG) SPANDREL GLASS FRMT (BLACK FRAME, LIGHT GRAY FRMT, BROSAFE GLAZING AREA HATCHED PER SHEET NOTE 1)
- IG-02 INSULATED LAMINATED GLAZING UNIT (IG) GLASS FRMT (BLACK FRAME, LIGHT GRAY FRMT, BROSAFE GLAZING AREA HATCHED PER SHEET NOTE 1)
- IG-03 INSULATED LAMINATED GLAZING UNIT (IG) SPANDREL FRAME, BROSAFE GLAZING AREA HATCHED PER SHEET NOTE 1
- IG-04 INSULATED LAMINATED GLAZING UNIT (IG) GLASS FRAME
- IG-05 INSULATED LAMINATED GLAZING UNIT (IG) SPANDREL FRAME, BROSAFE GLAZING AREA HATCHED PER SHEET NOTE 1
- LV-01 METAL LOUVER (SILVER)
- MP-01 COMPOSITE ALUMINUM PANEL (SILVER)
- MP-02 COMPOSITE ALUMINUM PANEL (BLACK)
- MP-03 ANODIZED ALUMINUM SYSTEM (BLACK)
- MP-04 ANODIZED WINDOW FRAMES (SILVER)
- MP-05 COMPOSITE ALUMINUM PANEL (SPANDREL)
- PL-01 3/8" STEEL PLATE (RED PAINT)
- SU-01 STUCCO (CHAMPAGNE)
- SU-02 STUCCO (MEDIUM GREY)
- SU-03 STUCCO (TAN)

KEY PLAN



Scale | Description

Scale | Project Name

citizenM Menlo Park

Scale | Project Number

032.3829.000

Scale | Description

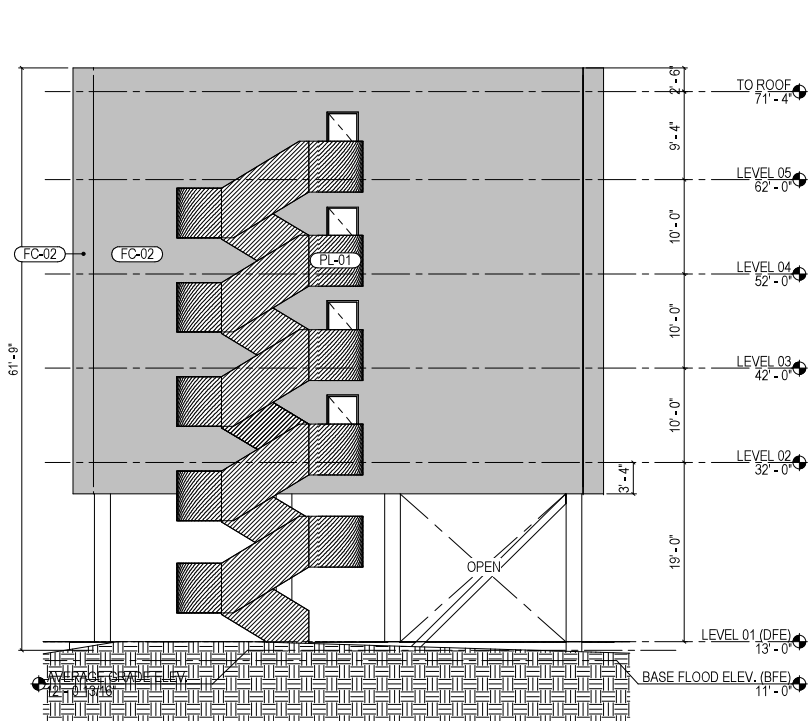
SECTOR C - ELEVATION

Scale | Scale

As indicated

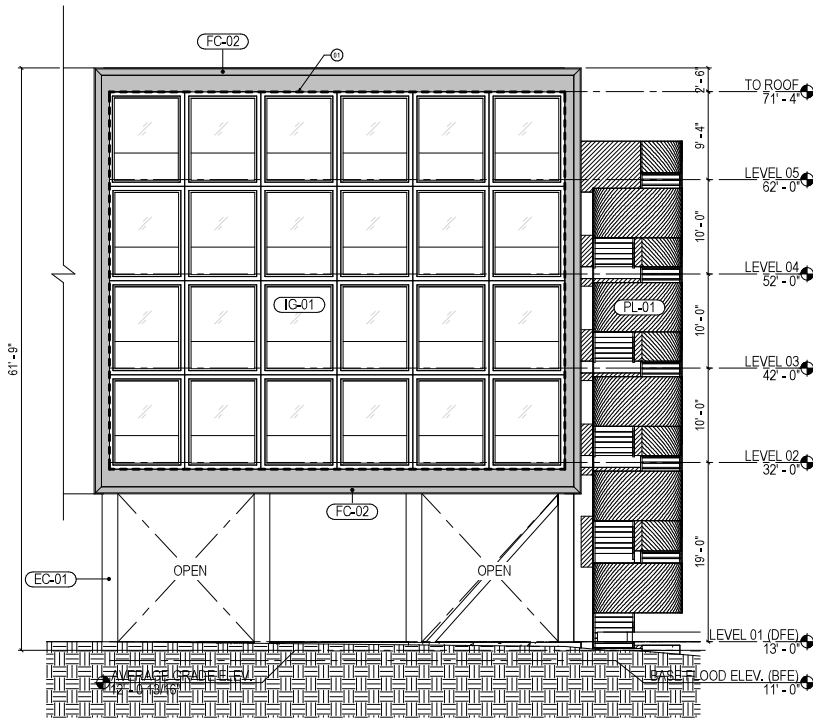
A02.208

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02 SECTOR C - NORTHWEST ELEVATION

C28



01 SECTOR C - NORTHEAST ELEVATION

C28



CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

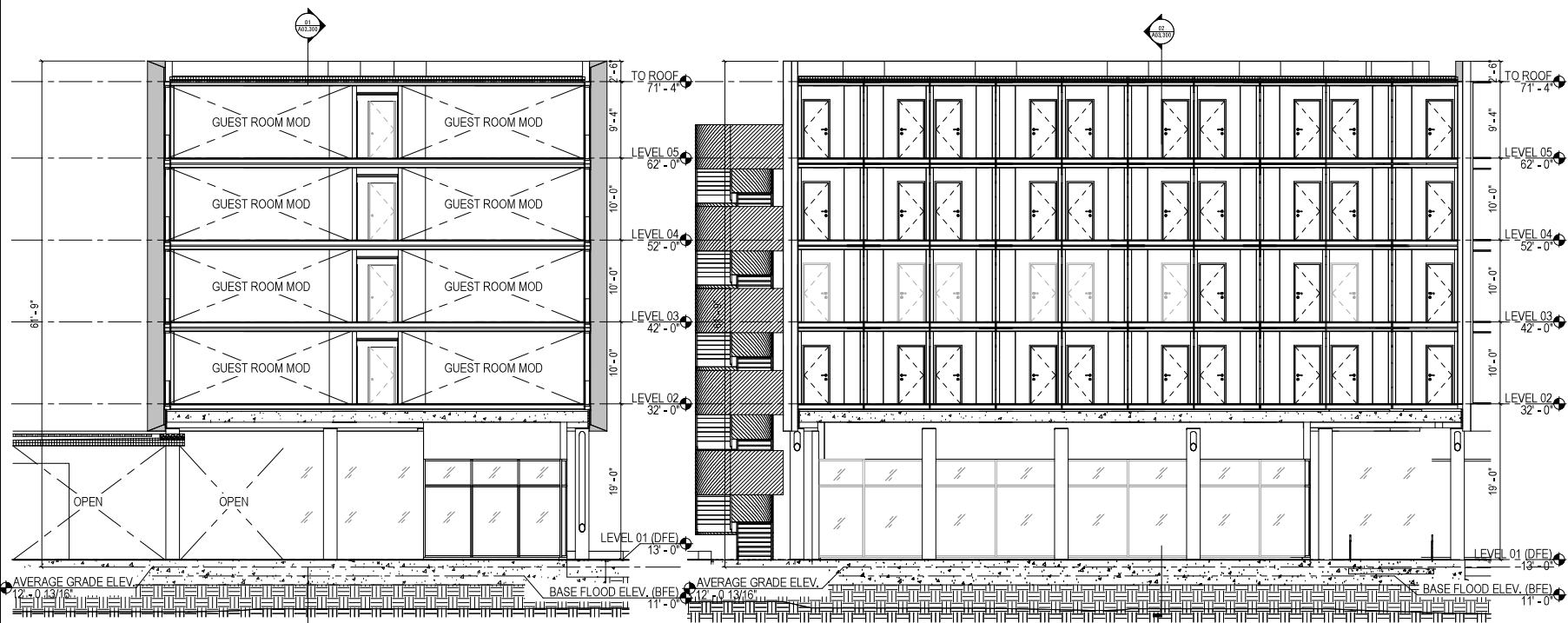
Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017

Miriam Hefetz
citizenm@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yigong Avenue,
Fenggang Street,
Jiangmen, Guangdong,
P.R. China (529004)

Ming Ma
mingma@gensler.com



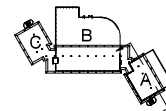
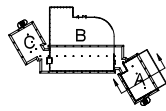
Date	Description

Scale	Signature

02 SECTOR A - LATITUDINAL SECTION
SCALE: 3/16" = 1'-0"

01 SECTOR A - LONGITUDINAL SECTION
SCALE: 3/16" = 1'-0"

KEY PLAN



Project Name
citizenM Menlo Park

Project Number
032.3829.000

Description
SECTOR A - SECTIONS

Scale
3/16" = 1'-0"

A03.300

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CITIZENM HOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT

CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015

Monica H. Betts
citizenm@gensler.com

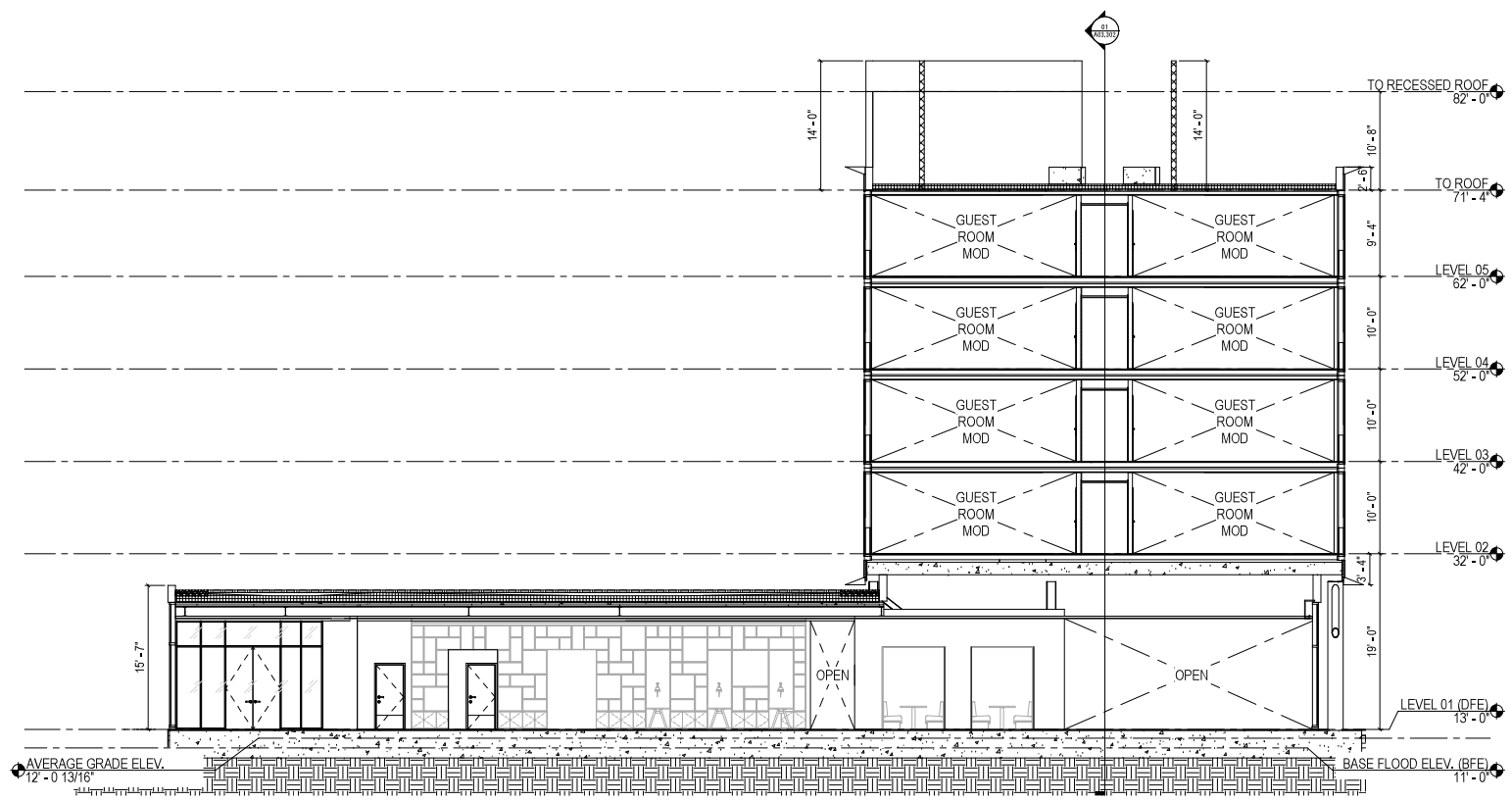
MODULAR FABRICATOR

CMC

Jiangmen
Level 26, 131 Yinyuan Avenue,
Pudong District,
Jiangmen, Guangdong
P.R. China (529004)

Mona Ma
hongma@gensler.com

Mona Ma
hongma@gensler.com



△ Date Description

Signature

Project Name

citizenM Menlo Park

Project Number

032.3829.000

Description

SECTOR B - SECTION

Scale

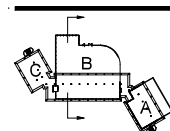
3/16" = 1'-0"

A03.301

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01 SECTOR B - LATITUDINAL SECTION
SCALE: 3/16" = 1'-0"

KEY PLAN





CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1230 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT

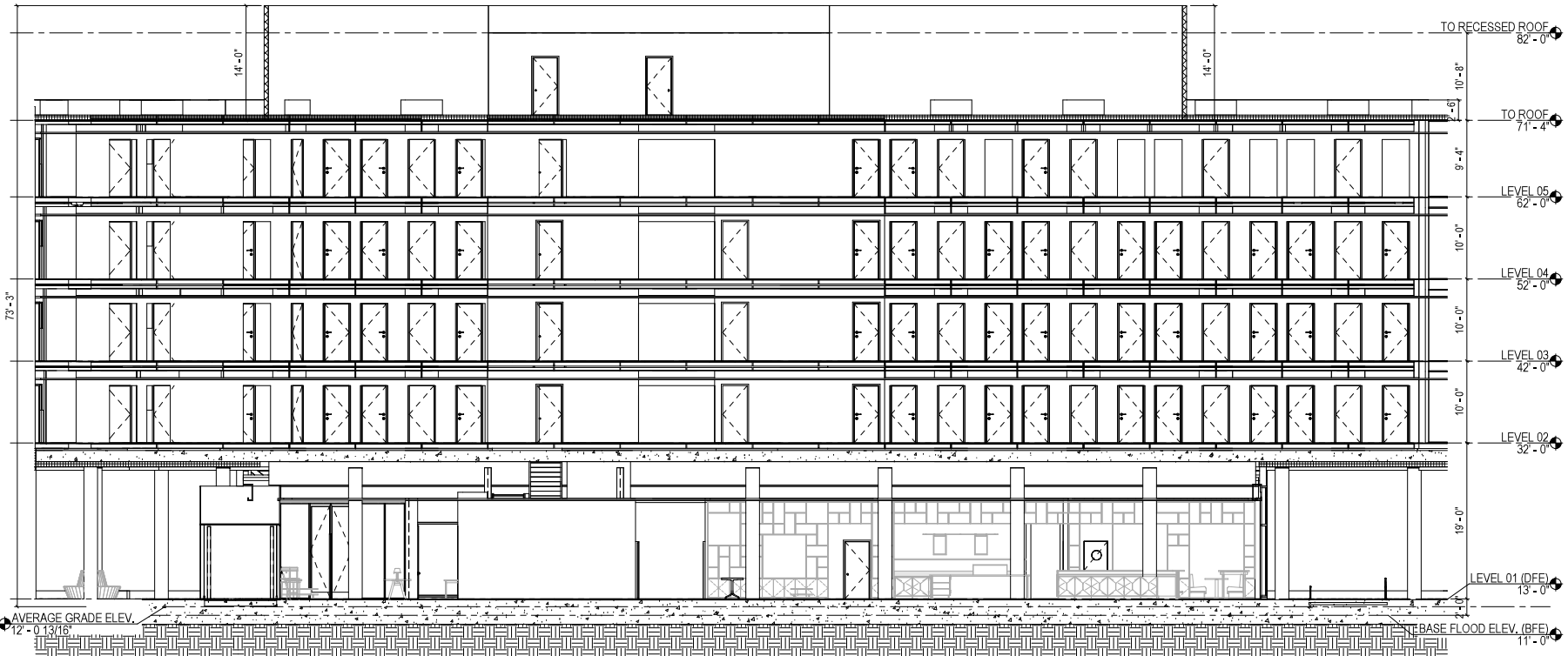
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017

Miriam H. Bets
citizenm@gensler.com

MODULAR FABRICATOR

CMC
Jiangmen
Level 26, 131 Yuyuan Avenue,
Pudong District,
Jiangmen, Guangdong
P.R. China (529004)

Mirren Ma
ma@cmc.com



△ Date Description

Signature

Project Name

citizenM Menlo Park

Project Number

032.3829.000

Description

SECTOR B - SECTION

Scale

3/16" = 1'-0"

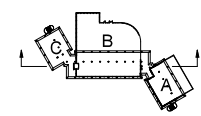
A03.302

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01 SECTOR B - LONGITUDINAL SECTION

SCALE: 3/16" = 1'-0"

KEY PLAN





CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017

Miriam H. Bets
citizenm@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yiguan Avenue,
Fengshang Street,
Jiangmen, Guangdong
P.R. China (529004)

Ming Ma
mingma@gensler.com

Date	Description

Scale Signatures

Project Name
citizenM Menlo Park

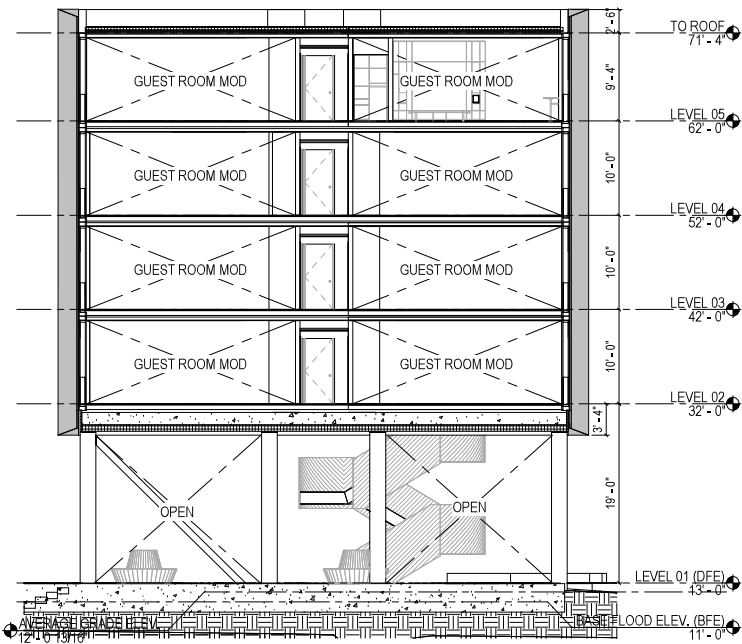
Project Number
032.3829.000

Description
SECTOR C - SECTION

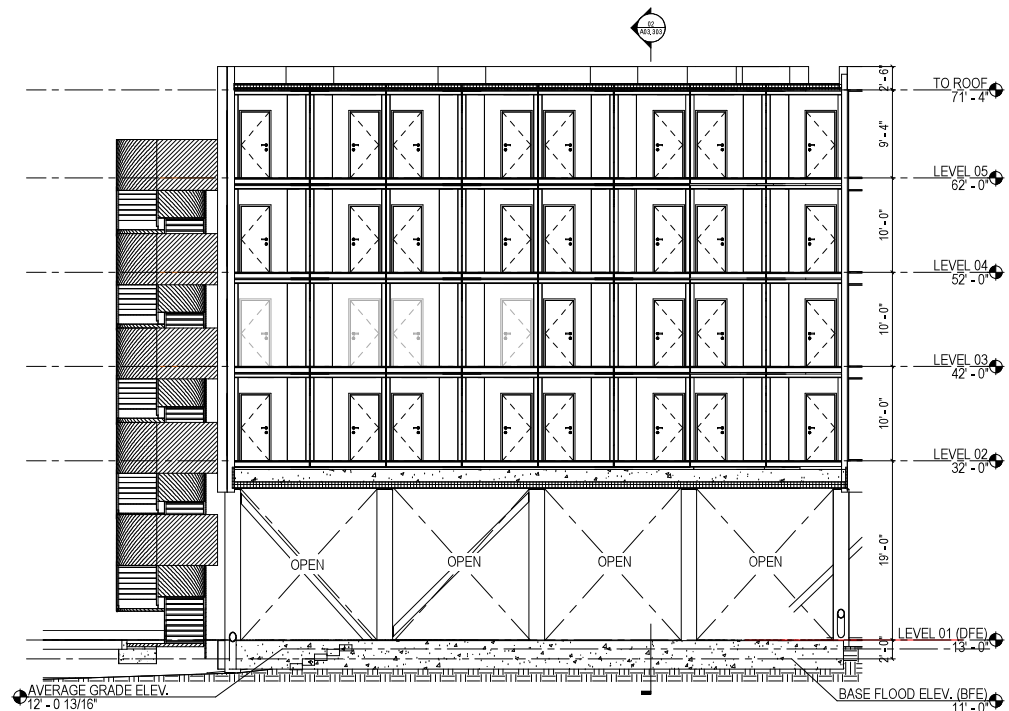
Scale
3/16" = 1'-0"

A03.303

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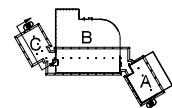
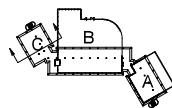


02 SECTOR C - LATITUDINAL SECTION
SCALE: 3/16"=1'-0"



01 SECTOR C - LONGITUDINAL SECTION
SCALE: 3/16"=1'-0"

KEY PLAN





CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

TEL 206.464.2100
FAX 206.464.2121

CLIENT
citizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017

Memo Hobbets
citizenmemo@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yiguan Avenue,
Pingshan District,
Jiangmen, Guangdong
P.R. China (529004)

Memo Mo
mo@cmc.com

△ Date Description

Scale / Signature

Project Name
citizenM Menlo Park

Project Number
032.3829.000

Description
EXAMPLE GUEST ROOM VIEWS

Scale

A04.001

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CHARLES DE ORALE



SEATTLE



CHARLES DE ORALE



ROTTERDAM



LONDON SHOREDITCH



LONDON SHOREDITCH



CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
citizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015

Monica H. Berts
citizenmenno@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yinyuan Avenue,
Pudong District,
Jiangmen, Guangdong
P.R. China (529000)

Miroslav Miro
miroslav@gensler.com

△ Date Description

Scale | Signature

Project Name
citizenM Menlo Park

Project Number
032.3829.000

Description
EXAMPLE CITIZENM PROJECTS

Scale

A04,002

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CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017

Merre Hobbitts
citizenmenno@citizenm.com

MODULAR FABRICATOR
CHC
Jiangmen
Level 26, 131 Yuyuan Avenue,
Pingliang Street,
Jiangmen, Guangdong
P.R. China (529006)

Merre Mo
mo@chc.com



FIBER CEMENT PANEL
(OFF-WHITE) FC-02

ANODIZED ALUMINUM
FACADE SYSTEM
(BLACK)

VISION GLAZING
IG-01

FRITTED GLASS

ALUMINUM STOREFRONT
(SILVER)
IG-04

STUCCO
SU-02

FIBER CEMENT
PANEL
FC-02

FIBER CEMENT
PANEL
FC-02

STEEL STAIRCASE
PL-01

ALUMINUM
STOREFRONT
(CHAMPAGNE)
IG-05

△ Date Description

Signature

Project Name
citizenM Menlo Park

Project Number
032-3829-000

Description
3D VIEW

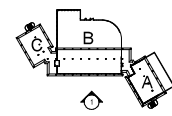
Scale

A05.001

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PERSPECTIVE VIEW - SOUTH

KEY PLAN





CITIZENM HOTELS
Menlo Park
CA
94025

Gensler

1200 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015

Menlo Mgmt
citizenmenlo@citizenm.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yiguan Avenue,
Pingfang District,
Jiangmen, Guangdong
P.R. China (529000)

Menlo Mo
hongmei@gensler.com



PERSPECTIVE VIEW - FROM SOUTHWEST

Date Description

Scale Signature

Project Name
citizenM Menlo Park

Project Number
032.3829.000

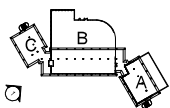
Description
3D VIEW

Scale

A05.002

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KEY PLAN





CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT

CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10017

Monica Roberts
citizenmenlo@citizenm.com

MODULAR FABRICATOR

CHC
Jiangmen
Level 26, 131 Yingbin Avenue,
Pingliang Street,
Jiangmen, Guangdong
P.R. China (529000)

Ming Ma
mingma@chc.com



ALUMINUM LOUVERS
LV-01

ANODIZED ALUMINUM
FACADE SYSTEM (BLACK)

VISION GLAZING IG-01
FRITTED GLASS

ALUMINUM FRAMES w/
FRITTED GLASS
IG-02

ALUMINUM STOREFRONT
(SILVER) IG-04

FIBER CEMENT
PANEL (WHITE)
FC-02

STEEL STAIRCASE
PL-01

UPLIGHT (ART)

FIBER CEMENT
CLAD STEEL
COLUMNS, TYP.

△ Date Description

Signature

Project Name

citizenM Menlo Park

Project Number

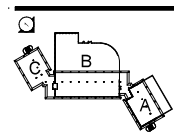
032.3829.000

Description

3D VIEW

Scale

KEY PLAN



A05.003

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PERSPECTIVE VIEW - WEST



AERIAL PERSPECTIVE VIEW FROM SOUTHEAST



CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1330 Sixth Avenue
Suite 100
Seattle, WA 98101
United States

Tel: 206.464.2100
Fax: 206.464.2121

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10015

Merre H Berts
citizenmenlo@citizenm.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 26, 131 Yiguan Avenue,
Pingliang District,
Jiangmen, Guangdong
P.R. China (529000)

Merre Mo
mo@cmc.com

△ Date Description

Sign | Signature

Project Name

citizenM Menlo Park

Project Number

032.3829.000

Description

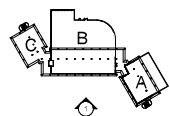
3D VIEW

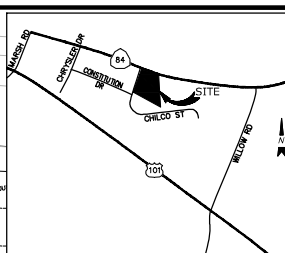
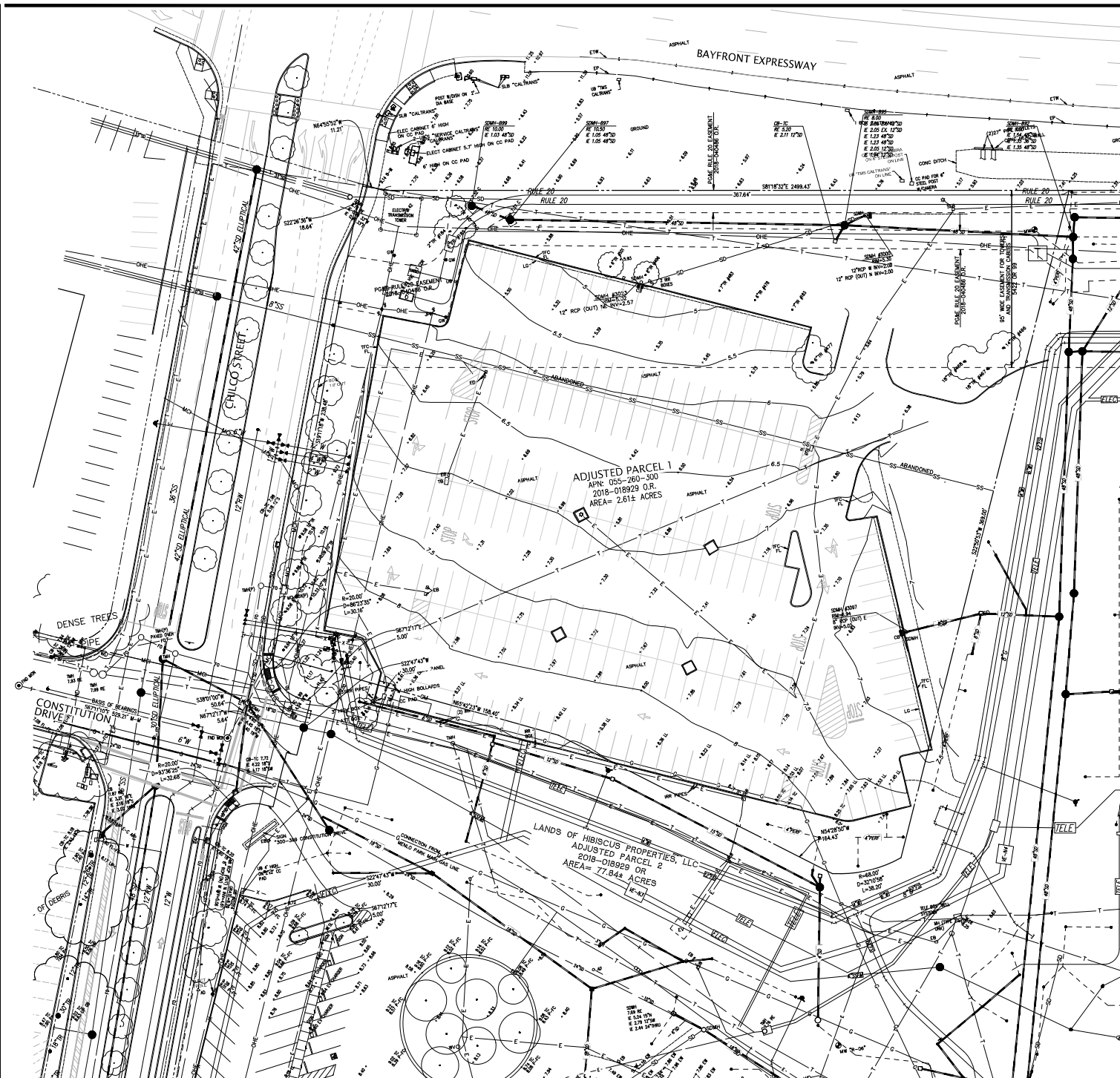
Scale

A05.004

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KEY PLAN





VICINITY MAP
NOT TO SCALE

Scale 1" = 20'

LEGEND

---	PROPERTY LINE
---	EASEMENT
---	EXISTING COMMUNICATIONS
---	EXISTING ELECTRICAL
---	EXISTING FENCE
---	EXISTING GAS
---	EXISTING FIBER OPTIC
---	EXISTING SEWER
---	EXISTING STORM DRAIN
---	EXISTING TELECOM
---	EXISTING WATER DOMESTIC
---	EXISTING WATER FIRE
---	ASPHALT CONCRETE
---	ASPHALT DRIVE
---	ATTI
---	UNKNOWN CURB
---	BACKFLOW PREVENTER
---	BOTTOM OF WALL
---	CATCH BASIN
---	DRAIN INLET
---	ELECTRIC BOX
---	ELECTRICAL LINE
---	EDGE OF PAVEMENT
---	EDGE OF TRAVELED WAY
---	ELECTRICAL MAULT
---	EDGE OF WALK
---	FINISH FLOOR
---	FACE OF WALL
---	GAS LINE
---	GRAVE BREAK
---	GAS METER
---	INVERT ELEVATION
---	IRRIGATION LINE
---	JOINT POWER POLE
---	LIP OF UTILITY
---	LIP OF GUTTER
---	MANHOLE
---	MONITORING WELL
---	OFFICIAL RECORD
---	PAVEMENT AT FACE OF CURB
---	PACIFIC GAS & ELECTRIC
---	POST INDICATOR VALVE
---	RENFORCED CONC. PIPE
---	SUM. ELEVATION
---	STORM DRAIN
---	STORM DRAIN MANHOLE
---	STREET LIGHT
---	STREET LIGHT BOX
---	SANITARY SEWER
---	SOUTH WEST
---	TELEPHONE BOX
---	TOP OF CURB
---	TELEPHONE LINE
---	TOP FACE OF CURB
---	TELEPHONE MANHOLE
---	TRAFFIC SIGNAL BOX
---	UNKNOWN UTILITY BOX
---	UNKNOWN MANHOLE
---	UNKNOWN WOOD
---	WATER VALVE

△	Delta	Description
111-143	FIRST CITY SUBMETTAL	
121043	CITY RESUBMETTAL	

- NOTES**
- I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME, OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYORS ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE FOOTING INDICATED AND ARE SUFFICIENT TO DEMARCATE THE SURVEY TO BE RETRAINED.
 - ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
 - THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM THE RECORDS OF VARIOUS UTILITIES. THE CONTRACTOR IS ADVISED THAT ONLY VERTICAL COORDINATION HAS BEEN OBTAINED. THE CONTRACTOR SHALL VERIFY THE TYPES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DEMARCATE ALL SUCH UNDERGROUND UTILITIES). HOWEVER, THE CONTRACTOR CAN ASSUME NO RESPONSIBILITY FOR THE DEPTHS OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
 - UTILITIES: CITY OF MENLO PARK, 10" 3" BRONZE DOWS LOCATED WITHIN THE TOP OF A CONCRETE CURB ON THE NORTHERLY SIDE OF HANES AVENUE. AT 8555 HANES AVENUE, WESTERN CITY OF A STORM WATER CATCH BASIN. ELEVATION = 8158 FEET (NAVD). DISTANCE FROM HEREON MONUMENT WITH A 6" X 6" X 12" OF 2.700 FEET ABOVE THE NAVD PUBLISHED ELEVATION OF 5438.
 - BASES OF BEARINGS: THE BEARING OF 50°33' 47" 11" 59" EAST TAKEN ON THE MONUMENT LINE OF CONSTITUTION DRIVE FROM AS SOUTH 84° 46' 41" 11" WEST ON THAT CERTAIN RECORD OF SURVEY NUMBER 2968 FILED FOR RECORD ON JULY 31, 2012, IN BOOK 44-1, PAGE 44, IS THE OFFICIAL RECORD OF SAN MATEO COUNTY AND TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON. THE BEARINGS SHOWN HEREON HAVE BEEN ROTATED BY 0° 56' 57" FROM SAID RECORD OF SURVEY BEARINGS.

FLOOD ZONE
FROM FEMA FIRM 16C FLOOD INSURANCE RATE MAP, DATED APRIL 5, 2010, (COMMUNITY PANEL NUMBER 0903000P)
BASE FLOOD ELEVATION IS 11.0 FEET
*PER FLOOD INSURANCE STUDY BY FEMA, APRIL 5, 2010 (NAVD 85)

NOTE:

- THE PROJECT WILL BE BUILT IN COMPLIANCE WITH CURRENT FIRM REGULATIONS AND THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE.
- THE FEET WILL BE A MINIMUM OF 24" ABOVE THE BFE.

11/11/2019
DATE

CITIZENHOTELS
1500 San Bruno Avenue
Menlo Park
CA 94025

Tel 650.654.2100
Fax 650.654.2121

Gensler
1500 San Bruno Avenue
Menlo Park
CA 94025
Tel 650.654.2100
Fax 650.654.2121

Memo H. Bhatt
citizenmenlo@gensler.com

KIER+WRIGHT
2850 Callier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
www.kierwright.com

111-143	FIRST CITY SUBMETTAL
121043	CITY RESUBMETTAL

Scale:
AS SHOWN

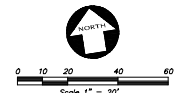
Project Name:
citizenM Menlo Park

Project Number:
A15571-82

Description:
EXISTING CONDITIONS

C1

6/21/19 Gensler



LEGEND

[Hatched Box]	EXISTING AC PAVEMENT TO BE REMOVED
[Hatched Box]	EXISTING CONCRETE TO BE REMOVED
[Dashed Line]	UTILITY LINE
[X]	EXISTING TREE TO BE REMOVED
[X]	UNDERGROUND UTILITIES TO BE REMOVED
[Diamond]	REMOVE EXISTING CONCRETE CURB
[Diamond]	REMOVE EXISTING CONCRETE
[Diamond]	REMOVE EXISTING TREES
[Diamond]	REMOVE EXISTING ABOVE GROUND ELECTRICAL EQUIPMENT
[Diamond]	REPLACE WITH BELOW GRADE FACILITIES
[Diamond]	REMOVE EXISTING STORM DRAIN CATCH BASIN & MANHOLE

- DEMOLITION NOTES**
1. ALL BACK FILLING OF THE FOOTING, EXCAVATION, TRENCHING, HOLES, OTHER EXCAVATION, ETC. DURING CONSTRUCTION SHALL BE BACK FILLED AND RECOMPACTED TO 90% RELATIVE COMPACTION PER ASTM D-1557, LATEST EDITION, AND SHALL BE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND APPROVAL. THE COMPACTION OF ALL EXCAVATIONS GREATER THAN 5 FEET IN DEPTH SHALL BE PER THE PROJECT GEOTECHNICAL ENGINEER'S REQUIREMENTS.
 2. ANY UTILITIES TO BE REMOVED SHALL BE DISCONNECTED AND REMOVED PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY AND AS APPROVED BY THE CITY OF MENLO PARK STANDARDS AND REQUIREMENTS.
 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE GEOTECHNICAL ENGINEER 48 HOURS IN ADVANCE OF ANY GRADING AND FILLING OF THE SITE RELATING TO ANY EXCAVATION OR REMOVAL OF SITE FEATURES. ALL AC PAVEMENT, CONCRETE AND BASE ROCK SHALL BE CRUSHED, SALVAGED AND STOCK PILED FOR USE ON-SITE AS FILL MATERIAL. ALL REMOVAL, CRUSHING AND STOCK PILING SHALL BE INSPECTED, TESTED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
 4. IN GENERAL, FILL MATERIAL SHALL NOT CONTAIN CLUMPS LARGER THAN 6 INCHES IN ITS GREATEST DIMENSION WITH NO MORE THAN ONE CLUMP THAN 1.5 INCHES.
 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT FROM DAMAGE THROUGHOUT THE COURSE OF CONSTRUCTION OF ALL BUILDINGS AND SITE FEATURES ITEMS SUCH AS, BUT NOT LIMITED TO, CATCH BASINS, CONDUITS, TELEPHONE AND POWER POLES, FENCING, RETAINING WALLS, GAS LINES, OIL LINES, GASOLINE LINES, FIRE AND WATER SERVICE ASSEMBLIES, CONCRETE CURBS, GUTTER AND SEWERAGE, TREES, BUSHES AND PLANT MATERIAL, ETC. BOTH ON-SITE AND OFF-SITE. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE, SIGNAGE, SUPPORT, ETC. TO MAINTAIN ALL FEATURES DESIGNATED TO REMAIN IF DAMAGED. NOTIFY ARCHITECT/ENGINEER IF ANY UNDESIRABLE SLOTT OR IF CLARIFICATIONS ARE REQUIRED.
 6. NO BURNING SHALL BE ALLOWED WITHOUT THE PERMISSION OF THE AIR POLLUTION CONTROL DISTRICT. DISPOSAL OF ALL MATERIAL IN ACCORDANCE WITH ACCEPTED SAFETY STANDARDS DESCRIBED BY AUTHORITIES HAVING JURISDICTION. NO PILING OR BURNING OF ANY MATERIAL WILL BE PERMITTED WITHIN AREAS OF SORE COMPACTION.
 7. COMPLY WITH ALL APPLICABLE REGULATIONS AND SAFETY ORDERS IN EFFECT AT THE CONSTRUCTION SITE. PROJECT OPEN EXCAVATION, TRENCHES, ETC., WITH FENCES, COVERS, OR BARRICADES AS REQUIRED TO MAINTAIN SAFE PEDESTRIAN AND VEHICLE TRAFFIC. MAINTAIN DESIGNATED SITE ACCESS FOR VEHICLE AND PEDESTRIAN TRAFFIC.
 8. WHEN DUST CONDITIONS EXIST, DAMPEN THE AREAS TO PREVENT THE TRANSPORTATION OF DUSTS INTO THE BUILDINGS AND ADJACENT PROPERTY.
 9. THE CONTRACTOR IS RESPONSIBLE FOR THE FINISHED CONDITION OF HIS WORK BEFORE WORKING OVER BACKFILL OR SIMILAR WORK COMPLETED BY OTHER CONTRACTORS. VERIFY THAT SUCH WORK HAS BEEN PROPERLY BACKFILLED AND COMPACTED. NOTIFY THE ARCHITECT PROMPTLY BY WRITING IF ANY CONDITIONS DO NOT MEET THE PROPER STANDARDS. WITHOUT EXTRA COST TO THE OWNER, ALL FEATURES DAMAGED IN THE PERFORMANCE OF ALL WORK SHALL BE RESTORED TO THE SATISFACTION OF THE OWNER AND AUTHORITIES HAVING JURISDICTION.
 10. THE GEOTECHNICAL INVESTIGATION FOR THIS SITE HAS BEEN PREPARED BY CORNERSTONE EARTH GROUP, PROJECT NO. 204-A-R-16, DATED JULY 14, 2011. THIS REPORT REMAINS THE RESPONSIBILITY OF THE GEOTECHNICAL ENGINEER AND IS INCLUDED IN THE SPECIFICATIONS OF THIS PROJECT. THE GEOTECHNICAL REPORT SHALL BE READ BY THE CONTRACTOR BEFORE SUBMISSION OF HIS BID. ALL SITE WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GEOTECHNICAL REPORT. THE OWNER WILL RETAIN THE GEOTECHNICAL ENGINEER TO INSURE CONFORMANCE WITH THE GEOTECHNICAL REPORT.
 11. CONTRACTOR ACKNOWLEDGES THAT HE HAS THOROUGHLY INFORMED HIMSELF REGARDING REQUIREMENTS OF DRAWINGS, SPECIFICATIONS AND REGULATIONS PERTAINING TO THE PROJECT. SPECIFICATIONS AND DRAWINGS ARE COMPLEMENTARY. WHAT IS CALLED BY ONE IS AS BEING AS CALLED FOR BY ALL. THE CONTRACTOR IS TO FAMILIARIZE HIMSELF WITH THE SITE AND COMPARE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATION WITH WORK TO BE PERFORMED BY THE CONTRACTOR, INCLUDING TOPOGRAPHY, APPROACHES AND IMPROVEMENTS ON OR ABOUT THE SITE.
 12. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF DEMOLITION WORK, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. ANY ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK OR TO MEET THEIR SCHEDULE, WILL MAINTAIN CONTRACTOR'S RESPONSIBILITY.
 13. CONTRACTOR TO PROVIDE ALL CONSTRUCTION BARRICADES REQUIRED BY GOVERNING AGENCIES AND AS NOTED IN SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN A PERMIT FROM CDMV.
 14. NO TRENCHING DEEPER THAN 5 FEET SHALL BE ALLOWED WITHOUT THE CONTRACTOR OBTAINING A PERMIT FROM CDMV.



CITIZENM HOTELS
 1500 Park
 2000
 Seattle, WA 98101
 USA 0000



Gensler
 1500 Park Avenue
 Suite 500
 Seattle, WA 98101
 USA 0000

CLIENT: citizenM Hotels
 Jennifer
 New York, NY 10019

MEMBER FABRICATOR: CMC
 Jennifer
 Level 28, 131 Virginia Avenue,
 Folsom, CA 95630
 Jennifer Gumpert
 P.O. Box 20000



2850 Callier Canyon Road
 Livermore, California 94551

Phone (925) 245-8788
 www.kierwright.com

Date	Description
06/21/18	FIRST CITY SUBMITTAL
11/14/18	CITY RESUBMITTAL
12/14/18	CITY RESUBMITTAL

Scale Signature

Project Name
 citizenM Menlo Park

Project Number
 A1557-1-82

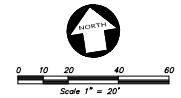
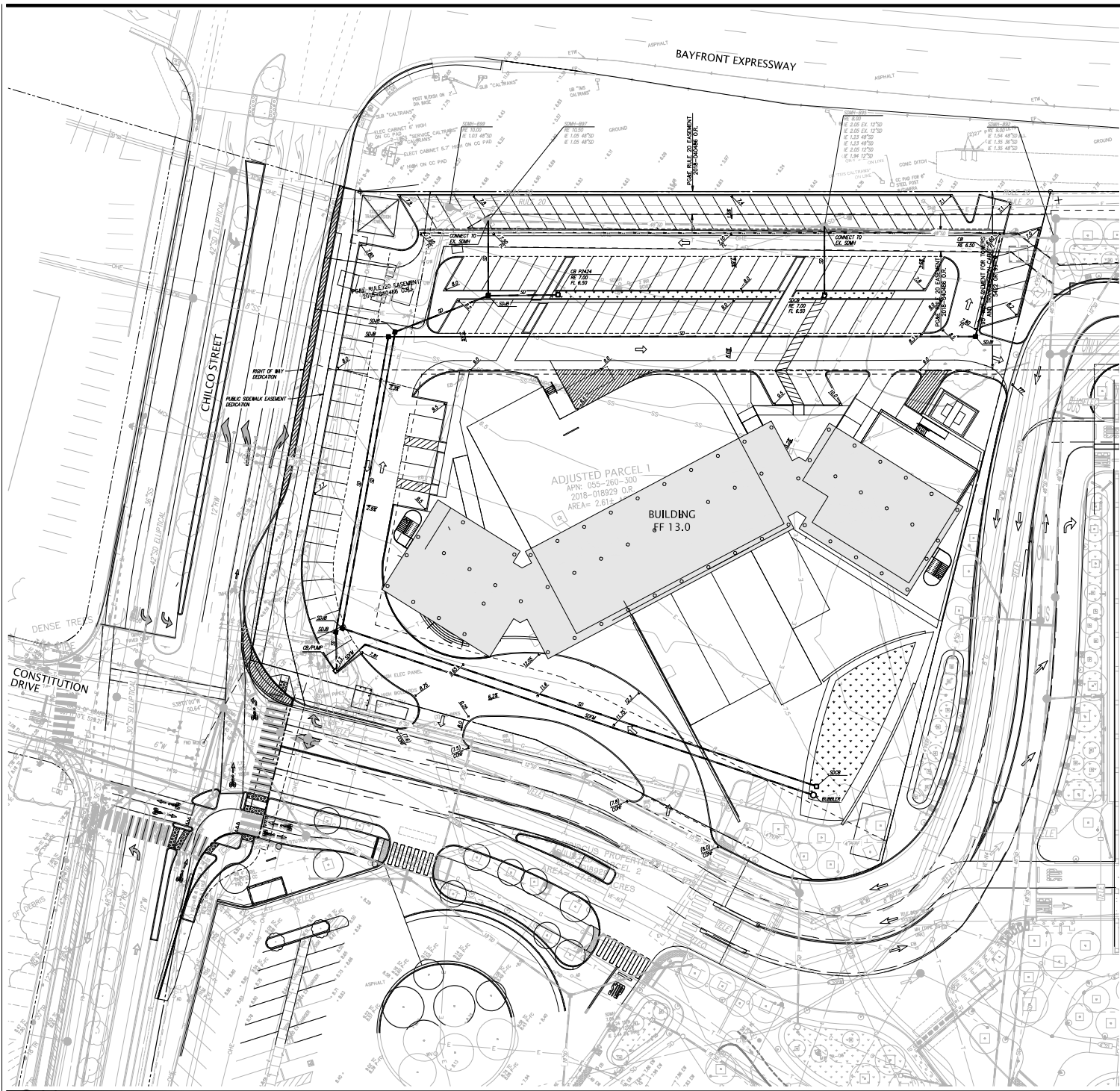
Description
 DEMOLITION PLAN

Scale
 AS SHOWN

C2

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2:00pm 12/18/2018 11:58am 12/18/2018 1:02:20 08/23/2018 08:00



LEGEND

- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- FL FLOW LINE
- FF FINISH FLOOR
- PV PAVEMENT
- HE HIGH ELEVATION
- SE SPOT ELEVATION
- SDM STORM DRAIN LINE
- TOP OF CURB
- BIO-RETENTION PLANTER

NOTES

1. THE PROJECT SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH FEMA REGULATIONS AND THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE



CITIZENHOTELS
 22000
 MetLife Park
 CA
 94025



Gensler
 1500 5th Avenue
 Suite 500
 Seattle, WA 98101
 USA
 Phone: (206) 451-2100
 Fax: (206) 451-2121

CLIENT
 citizenM Hotels
 79 Hudson Avenue
 2nd Floor
 New York, NY 10019

MODULAR FABRICATOR
 CMC
 Jangjeon
 Level 28, 131 Yongsin Avenue,
 P.O. Box 100, Gangnam-gu,
 Seoul, Korea (06000)

ARCHITECT
 KIER+WRIGHT
 2850 Culler Canyon Road
 Livermore, California 94551
 Phone: (925) 245-8788
 www.kierwright.com

Date	Description
06/21/19	FIRST CITY SUBMITTAL
11/14/19	CITY RESUBMITTAL
12/16/19	CITY RESUBMITTAL

Scale / Signature

Project Name
 citizenM Menlo Park

Project Number
 A1557-1-82

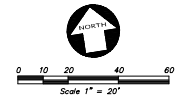
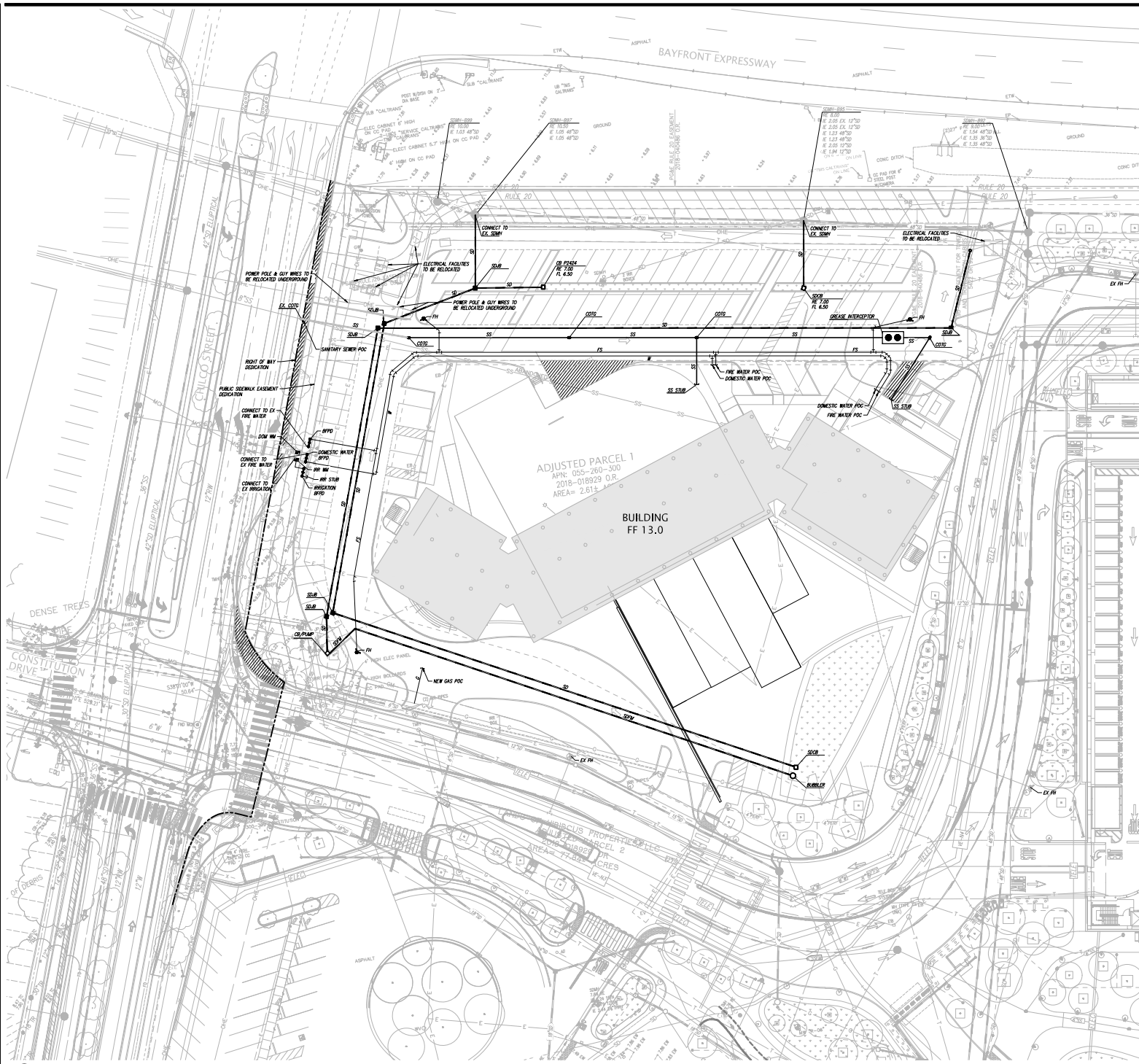
Description
 CONCEPTUAL GRADING & DRAINAGE PLAN

Scale
 AS SHOWN

C3

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2:00pm 1/23/20 - 4:00pm 1/23/20 - 6:00pm 1/23/20 - 8:00pm 1/23/20 - 10:00pm 1/23/20 - 12:00am 1/23/20



LEGEND

POC	POINT OF CONNECTION
FE	FEED ELEVATION
TC	TOP OF CURB
WS	WATER SERVICE
FS	EXISTING UTILITY TO BE ABANDONED BY REMOVAL
SS	SEWER SERVICE
CS	CLEANOUT TO GRADE
SD	STORM DRAIN LINE
SC	STORM DRAIN CATCH BASIN
SB	STORM DRAIN JUNCTION BOX
BF	BACKFLOW PREVENTION DEVICE
FC	FIRE DEPARTMENT CONNECTION
FW	FIRE HYDRANT & VALVE
SMV	SMALL CHECK VALVE
SMH	SANITARY SEWER MANHOLE
SMC	SMALL CHECK VALVE
SM	STORM DRAIN MANHOLE
WM	WATER METER

NOTE: TRANSFORMERS TO BE REPLACED WITH UNDERGROUND EQUIPMENT. KINDLY COORDINATION WITH PG&E



CITIZENHOTELS
 2000
 Market Park
 CA
 94405

Gensler
 1500 8th Avenue
 Suite 1600
 Seattle, WA 98101
 United States
 Tel: 206.464.2100
 Fax: 206.464.2121

CLIENT
 citizenM Hotels
 79 Hudson Avenue
 2nd Floor
 New York, NY 10019
 citizenm.com
 citizenm@citizenm.com

MODULAR FABRICATOR
 GMC
 Jorgensen
 Level 28, 131 Virginia Avenue,
 Fremont, CA 94538
 Jorgensen Group
 P.O. Box 100000



2850 Canyon Center Road
 Livermore, California 94551
 Phone (925) 245-8788
 www.kierwright.com

Date	Description
06/21/18	FIRST CITY SUBMITTAL
11/14/18	CITY RESUBMITTAL
12/14/18	CITY RESUBMITTAL

Scale / Signature

Project Name
 citizenM Menlo Park
 Project Number
 A1557-1-82
 Description
 CONCEPTUAL UTILITY PLAN

Scale
 AS SHOWN

C4
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2:00pm 11/15/18 - 4:00pm 11/15/18
 11/15/18 11:00am 11/15/18
 11/15/18 11:00am 11/15/18



CITIZENHOTELS

address
Menlo Park
CA
94025

Gensler

1200 Sixth Avenue
Suite 300
Seattle, WA 98101
United States

Tel: 206.654.2100
Fax: 206.654.2121

CLIENT
CitizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10016

Memo Hibberts
citizenmemo@citizenm.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 20, 131 Yingbin Avenue,
Fengcheng Street,
Jiangmen, Guangdong,
P.R. China (528500)

Memo Ma
hongma@cmc.com

LANDSCAPE KEY

- ① VEHICULAR ENTRY/EXIT
- ② GUEST DROP-OFF
- ③ ENTRY PLAZA
- ④ WALKWAY
- ⑤ PLANTING AREA
- ⑥ STORMWATER RAIN GARDEN
- ⑦ HOTEL TERRACE/SEATING
- ⑧ RESTAURANT TERRACE SEATING
- ⑨ RECREATIONAL SPACES/COURTS
- ⑩ CULTIVATED GARDEN AREA
- ⑪ GARDEN WALL
- ⑫ GARDEN TRELLIS
- ⑬ OUTDOOR FOOD SERVICE
- ⑭ PROPERTY LINE FENCE
- ⑮ PARKING AND VEHICULAR CIRCULATION
- ⑯ SERVICE/LOADING
- ⑰ ENHANCED PAVING IN VEHICULAR ZONE
- ⑱ EXTENSIVE GREEN ROOF
- ⑲ GROUND MOUNTED EQUIPMENT SHALL BE FULLY SCREENED AND INTEGRATED INTO THE DESIGN

Date Description

Seal / Signature

Project Name
CitizenM Menlo Park

Project Number
032.3829.000

Description
SITE PLAN

Scale
1" = 20'-0"

L1.0

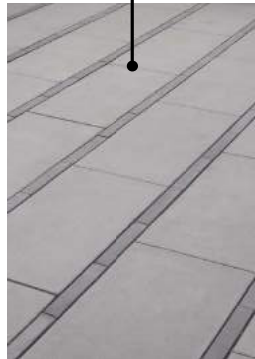
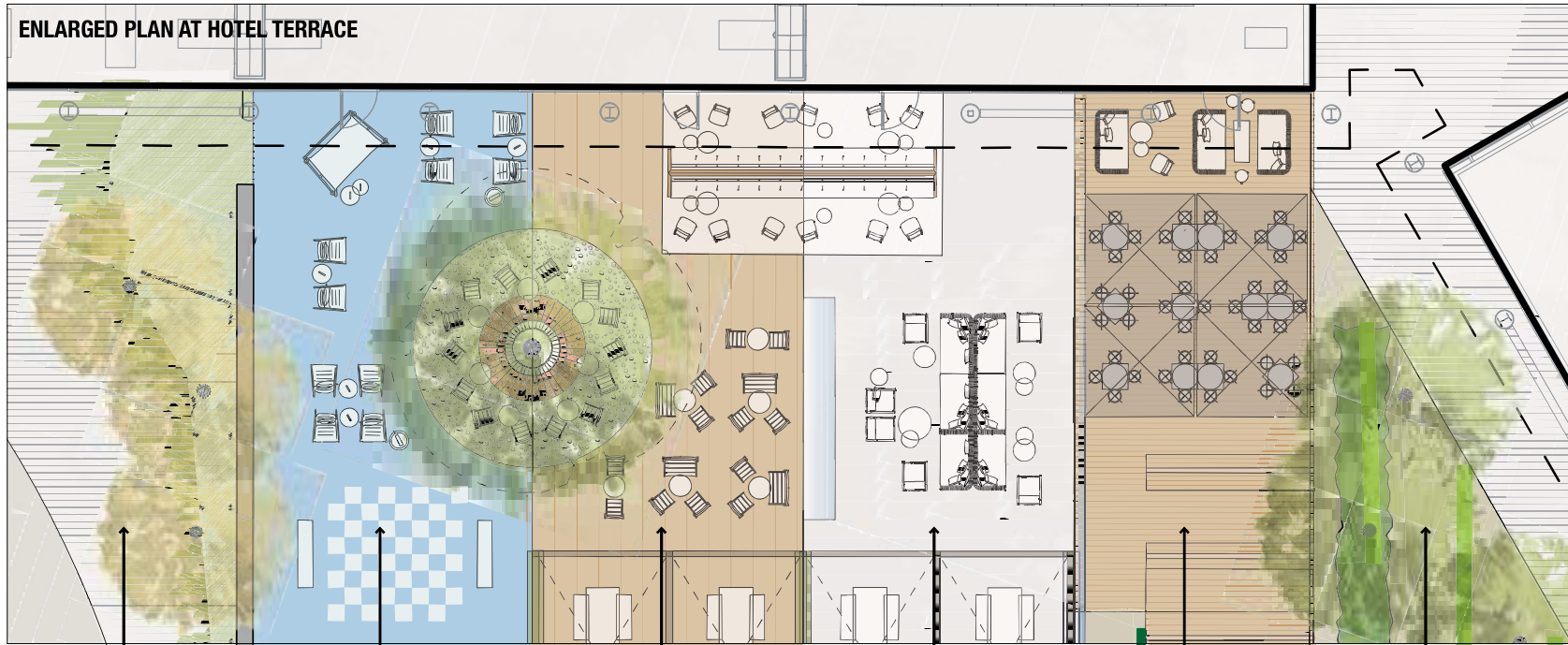
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1 ILLUSTRATIVE LANDSCAPE PLAN
SCALE: 1" = 20'-0"

C44

ENLARGED PLAN AT HOTEL TERRACE



TYPE 1.
INTEGRALLY COLORED PIP
CONCRETE WITH ACCENT BAND



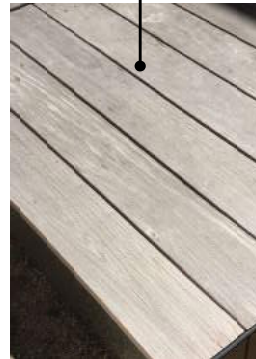
TYPE 2.
RUBBERIZED PLAY SURFACE



TYPE 3.
CONCRETE UNIT PAVERS
LIGHT SANDBLAST
3"X18"



TYPE 4.
CONCRETE UNIT PAVERS
HEAVY SANDBLAST
24"X36"



TYPE 5.
WOOD DECKING
THERMALLY MODIFIED WOOD



TYPE 6.
CRUSHED STONE PAVING



CITIZENHOTELS
Menlo Park
CA
94025

Gensler

1200 Sixth Avenue
Suite 300
Seattle, WA 98101
United States

Tel: 206.654.2100
Fax: 206.654.2121

CLIENT
citizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10016

Mario Hilbert
citizenmen@gensler.com

MODULAR FABRICATOR
CMC
Jiangmen
Level 28, 131 Yingbin Avenue,
Fenggang District,
Jiangmen, Guangdong,
P.R. China (529500)

Maro Ma
hongma@cmc.com

△ Date Description

Seal Signature

Project Name
citizenM Menlo Park

Project Number
032.3829.000

Description
SITE PLAN

Scale
1" = 20'-0"

L1.1

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CITIZENHOTELS
 2250
 Menlo Park
 CA
 94025

Gensler

1200 Sixth Avenue
 Suite 300
 Seattle, WA 98101
 United States

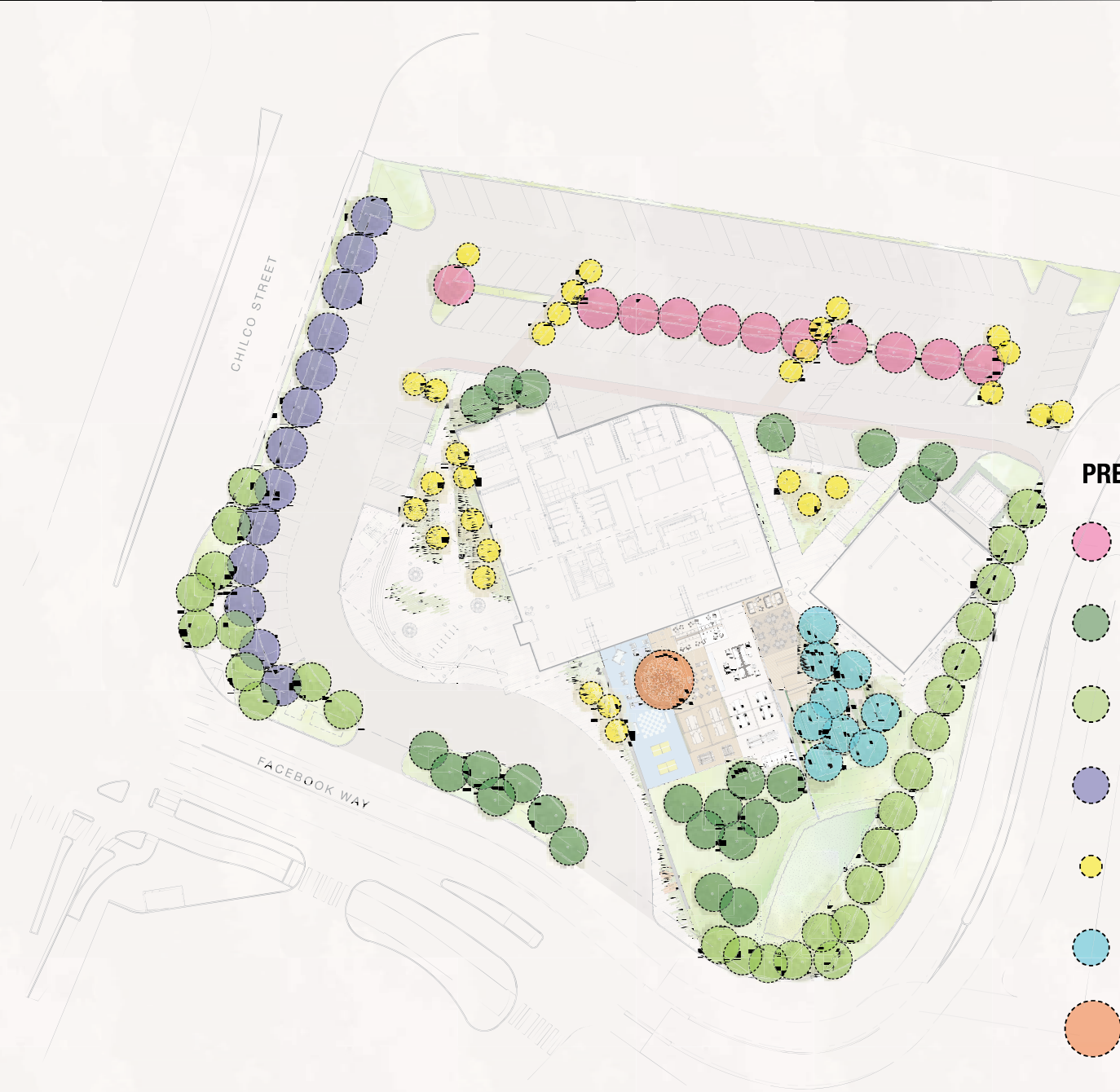
Tel: 206.654.2100
 Fax: 206.654.2121

CLIENT
 citizenM Hotels
 79 Madison Avenue
 2nd Floor
 New York, NY 10016

Memo Hibberts
 citizenmemo@citizenm.com

MODULAR FABRICATOR
 CMC
 Jiangmen
 Level 20, 131 Yixian Avenue,
 Pingliang Street,
 Jiangmen, Guangdong,
 P.R. China (529500)

Mario Ma
 ma@cmcm.com



PRELIMINARY TREE LIST

- 
SILVER LINDEN 25'-35'T x 20'W
Tilia tomentosa
 SIZE AT INSTALLATION: 36" BOX, 12' T x 6' W x 2.5" cal.
- 
CHINESE ELM 20'-25'T x 15'W
Ulmus parvifolia 'Drake'
 SIZE AT INSTALLATION: 36" box, 14' T x 6' W x 2.5" cal.
- 
RED FLOWERING GUM 25'-30'T x 20'W
Corymbia ficifolia
 SIZE AT INSTALLATION: 36" box, 10' T x 6' W x 2" cal.
- 
CHINESE FLAME TREE 25'-30'T x 25'W
Kolreuteria bipinnata
 SIZE AT INSTALLATION: 36" box, 12' T x 6' W x 2.5" cal.
- 
PALO VERDE 15'-20'T x 15'W
Cercidium x 'Desert Museum'
 SIZE AT INSTALLATION: 36" box, 10' T x 6' W x 2" cal.
- 
OLIVE 15'-20'T x 20'W
Olea europaea
 SIZE AT INSTALLATION: 48" box, 10' T x 8' W x 3" cal.
- 
SPECIMEN COAST LIVE OAK 40'-50'T x 30'W
Quercus agrifolia
 SIZE AT INSTALLATION: 108" box, 25' T x 15' W x 10" cal.



△ Date Description

□ Seal / Signature

Project Name
 citizenM Menlo Park

Project Number
 032.3829.000

Description
 PRELIMINARY TREE PLAN

Scale
 1" = 20'-0"

L2.0

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CITIZENHOTELS
 2250
 Menlo Park
 CA
 94025

Gensler

1200 Sixth Avenue
 Suite 300
 Seattle, WA 98101
 United States

Tel: 206.654.2100
 Fax: 206.654.2121

CLIENT
 citizenM Hotels
 79 Madison Avenue
 2nd Floor
 New York, NY 10016

Memo Hibberts
 citizenmemo@citizenm.com

MODULAR FABRICATOR
 CMC
 Jangrim
 Level 20, 131 Yongsin Avenue,
 P.O. Box 100,
 Jangrim, Gangdong,
 P.O. Box 100000

Maro Ma
 maro@cmcm.com

△ Date Description

____ Signature

Project Name
 citizenM Menlo Park

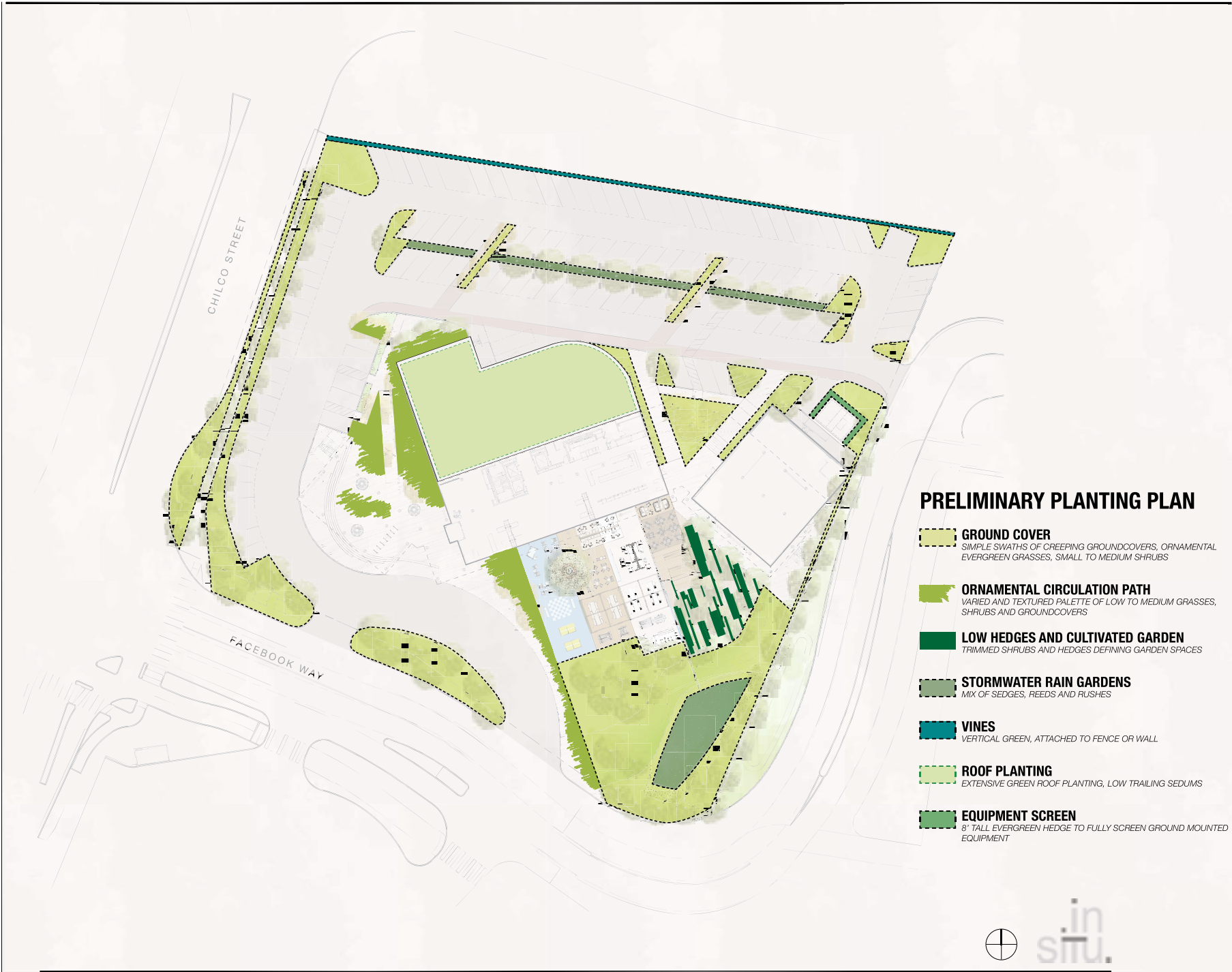
Project Number
 032.3829.000

Description
 PRELIMINARY
 PLANTING
 PLAN

Scale
 1" = 20'-0"

L3.0

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PRELIMINARY PLANTING PLAN

-  **GROUND COVER**
SIMPLE SWATHS OF CREEPING GROUNDCOVERS, ORNAMENTAL EVERGREEN GRASSES, SMALL TO MEDIUM SHRUBS
-  **ORNAMENTAL CIRCULATION PATH**
VARIED AND TEXTURED PALETTE OF LOW TO MEDIUM GRASSES, SHRUBS AND GROUNDCOVERS
-  **LOW HEDGES AND CULTIVATED GARDEN**
TRIMMED SHRUBS AND HEDGES DEFINING GARDEN SPACES
-  **STORMWATER RAIN GARDENS**
MIX OF SEDGES, REEDS AND RUSHES
-  **VINES**
VERTICAL GREEN, ATTACHED TO FENCE OR WALL
-  **ROOF PLANTING**
EXTENSIVE GREEN ROOF PLANTING, LOW TRAILING SEDUMS
-  **EQUIPMENT SCREEN**
8' TALL EVERGREEN HEDGE TO FULLY SCREEN GROUND MOUNTED EQUIPMENT

1 PRELIMINARY PLANTING PLAN

SCALE: 1" = 20'-0"



C47



CHINESE FLAME TREE
25'-30' T x 25'W
Koelreuteria bipinnata



SILVER LINDEN
25'-35'T x 20'W
Tilia tomentosa



RED FLOWERING GUM
25'-30'T x 20'W
Corymbia ficifolia



CHINESE ELM
20'-25'T x 15'W
Ulmus parvifolia 'Drake'



OLIVE
15'-20'T x 20'W
Olea europaea



PALO VERDE
15'-20'T x 15'W
Cercidium x 'Desert Museum'



SPECIMEN COAST LIVE OAK
40'-50'T x 30'W
Quercus agrifolia



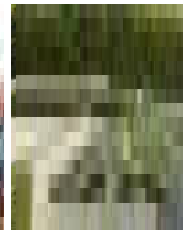
GROUND COVER

SIMPLE SWATHS OF CREEPING GROUNDCOVERS, ORNAMENTAL EVERGREEN GRASSES, SMALL TO MEDIUM SHRUBS



STORMWATER RAIN GARDENS

MIX OF SEDGES, REEDS AND RUSHES



ORNAMENTAL CIRCULATION PATH

VARIED AND TEXTURED PALETTE OF LOW TO MEDIUM GRASSES, SHRUBS AND GROUNDCOVERS



LOW HEDGES AND CULTIVATED GARDEN

TRIMMED SHRUBS AND HEDGES DEFINING GARDEN SPACES



VINES

VERTICAL GREEN, ATTACHED TO FENCE OR WALL



CITIZENHOTELS

address
Menlo Park
CA
94025

Gensler

1300 Sixth Avenue
Suite 300
Seattle, WA 98101
United States

Tel: 206.454.2100
Fax: 206.454.2121

CLIENT

citizenM Hotels
79 Madison Avenue
2nd Floor
New York, NY 10016

Mario Hilaris
citizenmenlo@gensler.com

MODULAR FABRICATOR

CMC
Jiangmen
Level 20, 131 Yiguan Avenue,
Fengcheng District,
Jiangmen, Guangdong,
P.R. China (524001)

Mario Ma
maojie@cmc.com

△ Date Description

Seal / Signature

Project Name
citizenM Menlo Park

Project Number
032.3829.000

Description
SITE PLAN

Scale
1" = 20'-0"

L3.1

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CITIZENHOTELS
 3333
 Menlo Park
 CA
 94025

Gensler

1200 Sixth Avenue
 Suite 300
 Seattle, WA 98101
 United States

Tel: 206.654.2100
 Fax: 206.654.2121

CLIENT
 citizenM Hotels
 79 Madison Avenue
 2nd Floor
 New York, NY 10016

Memo Hibberts
 citizenmemo@citizenm.com

MODULAR FABRICATOR
 CMC
 Jangrim
 Level 20, 131 Virgin Avenue,
 Pingjiang District,
 Jangrim, Gangdong,
 P.O. Box 102600

Maro He
 marohe@cmc.com

Date	Description
------	-------------

Scale / Signature

Project Name

citizenM Menlo Park

Project Number

032.3829.000

Description

PRELIMINARY LIGHTING PLAN

Scale

1" = 20'-0"

L4.0

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PRELIMINARY LIGHTING PLAN

VEHICULAR ENTRY AND DROP OFF
 DRAMATIC - WARM - UNIFORM

PARKING LOT LIGHTING
 SAFETY AND FUNCTION

LANDSCAPE PEDESTRIAN ZONE
 LOW LEVEL - AMBIENT - DIRECTIONAL - FOCUS ON PLANTING

LOBBY ZONE
 ARTFUL - INVITING - SPARK JOY AND SURPRISE - BRANDING

EXTERIOR TERRACES
 FESTIVE - VARIED - PLAYFUL - CURATED FOR EACH SPACE - LIGHTING OBJECTS

GREEN ZONE
 LIGHT GLOW - SUBTLE - MINIMAL





11/13/2019

Nils Sanderson, Ernest Lee, Anton Walker
 citizenM
 148 Madison Ave, 2nd Floor
 New York, NY 10016

Subject: citizenM Hotel Proposal – Project description to accompany drawings dated September 23, 2019

Dear Ms. Meador:

On behalf of citizenM, a Netherlands-based hotel owner and operator, we are excited to submit our application for design review of a new citizenM hotel at 301 Constitution Drive within the City of Menlo Park. We believe that our ‘affordable luxury’ concept will meet a gap in the existing local hotel market, while also providing a welcoming and well-designed space for members of the local community to enjoy.

citizenM is proposing to build a five story, 240 key hotel on a 2.61 acre portion of the previously approved Facebook Campus Expansion Project. The hotel will have four floors of guest rooms using a pre-fabricated modular building system over a conventionally constructed ground floor.

The ground floor will include citizenM’s “living room” – an oversized lobby with comfortable and colorful furniture and a curated collection of art. Within the living room, a lobby bar and canteen will offer full breakfast service as well as coffee, beverages, and grab-and-go food options throughout the day. The living room will extend out to a large terrace which will provide additional publicly accessible seating surrounded by landscaped areas. citizenM’s meeting rooms, called societyM, are small boardroom-style meeting rooms which extend directly off of the living room and are available to the public for daily rentals. The ground floor will also house associated support services. Additionally, one part of the ground floor area, a separate space under the eastern wing of the building, will be a restaurant space sub-leased to Facebook for the purposes of appointing a local restaurant group to operate a publicly accessible restaurant.

The overall gross floor area including the restaurant space is 90,868 square feet. The overall form of the building is a “kinked bar” oriented to views of Bedwell Bayfront Park and the San Francisco Bay.

The hotel will have 118 on-site surface parking spaces, with additional parking for the hotel provided by a shared parking arrangement with Facebook to ensure that adequate parking will be provided at all times. Please refer to the enclosed parking memo which provides additional information regarding trip generation, parking demand, and a parking management plan. The hotel would also be subject to the previously approved trip cap for the Campus Expansion project, and no modifications to the trip cap are sought.

The approved CDP authorizes construction of a maximum hotel envelope of up to 200 rooms, 174,800-square feet, and 75-feet in height as well as a minimum of 245 parking spaces. In order to accommodate the proposed program, we are requesting an amendment to the CDP to increase the room count and reduce on-site parking, reflective of the unique citizenM business model and project design. We believe that the result will be a welcome amenity for the local neighborhood.

Construction of the hotel is estimated to begin in Q3 2020 with completion targeted for Q1 2022.

We appreciate the City’s cooperation with us on this effort. Please do not hesitate to reach out with any questions.

Sincerely,

Nils Sanderson
 Concept Design Manager

Ernest Lee
 Managing Director, Development & Investments

Anton Walker
 Development & Investment Associate



EXCERPT MINUTES – DRAFT

Date: 1/13/2020
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Andrew Barnes called the meeting to order at 7:00 p.m.

B. Roll Call

Present: Andrew Barnes (Chair), Chris DeCardy, Michael Doran, Larry Kahle, Camille Kennedy, Henry Riggs (Vice Chair), Michele Tate (arrived at 7:03 p.m.)

Staff: Kaitie Meador, Senior Planner; Ori Paz, Associate Planner; Kyle Perata, Principal Planner; Corinna Sandmeier, Senior Planner

F. Public Hearing

**F2. Conditional Development Permit Amendment and Environmental Review/Ernest Lee/
Facebook West Campus Hotel:**

Request for an amendment to a conditional development permit (CDP), approved in November 2016 and amended and restated in November 2017, to increase the number of hotel rooms and decrease the number of parking spaces associated with the previously approved hotel land use. The proposed approximately 90,243 square foot, five-story hotel with a surface parking lot would consist of 240 hotel rooms, a restaurant, and hotel amenities. The modifications to the CDP include a request to increase the approved number of hotel rooms from 200 to 240 rooms and decrease the number of onsite parking spaces from 245 to 118 parking spaces. A shared parking agreement between the hotel use and the other site occupant (Facebook) would be incorporated into the proposed project as part of the parking reduction request. The proposed modifications would continue to comply with the floor area ratio, building coverage, and maximum height limits of the previously approved CDP. The proposed CDP amendment would also incorporate a request to permit wall-mounted art on specific locations of the proposed hotel building facades. The City Council certified the Environmental Impact Report (EIR) as part of its approval of the project in November 2016 and subsequent project revisions were previously analyzed for consistency with the certified EIR through the Facebook Campus Expansion Project Addendum (First Addendum). The currently proposed revisions have been analyzed for consistency with the certified EIR and First Addendum (Second Addendum). The analysis in the Second Addendum found that the proposed revisions associated with the hotel would not result in new impacts or an increase in the severity of previously identified impacts. ([Staff Report #20-002-PC](#))

Staff Comment: Senior Planner Kaitie Meador said the Commission would be the recommending body to the City Council on the item. She said she did not have anything to add to the written report. She said the applicant had a detailed presentation.

Questions of Staff: Commissioner Doran asked if increasing the number of hotel rooms for this Facebook project would require decreasing hotel rooms for Facebook's other hotel project in Willow Village. Planner Meador said Facebook could choose to go through additional environmental review to increase the cap or to permit the additional hotel rooms beyond the cap, or they could revise their project to meet the current hotel room cap. Commissioner Doran asked what the aggregate number of hotel rooms was between the two proposed hotels. Planner Meador said the total on file was 457 rooms and those were split for three projects – tonight's proposed hotel project, Facebook Willow Village hotel, and Hotel Moxy.

Applicant Presentation: Ernest Lee, CitizenM, said the decision to request amendment of the Conditional Development Permit (CDP) for the project was made after studying hotel demand patterns in the area and factoring in the site's physical limitations. He said since the July 22, 2019 study session on the project that they had worked with staff to revise the project proposal based on the feedback received. He said the Second Addendum to the Environmental Impact Report (EIR) was finalized in December 2019 and no significant impacts were identified. He said they held an open house at the Belle Haven Community Center in October on the project and they met with JobTrain to discuss local hiring strategies. He said feedback at the July study session included looking at some type shared parking arrangement. He said they planned 100 parking spaces onsite for guests and 127 parking spaces in the adjacent parking garage for employee and overflow parking.

Nils Sanderson, CitizenM, said the amendment would increase the hotel rooms from 200 to 240 but within a smaller building than originally approved. He described bicycle, pedestrian, and vehicular access to the site. He discussed solar impact and energy management techniques. He described the modular units that would be used. He said the units would be fabricated while the ground preparation and foundation laying were occurring. He commented additionally on the sustainability import and aesthetic of the modular building and other features of the project including bird safe glass and native plantings.

Commissioner Kahle said it looked like the proposed artwork on the right would face a parking garage. Mr. Sanderson said it was intended to be seen from Chilco Street. Commissioner Kahle referred to the open space of the hotel terrace and backyard, which was noted as one of the amenities. He asked if that was open to the public 24/7. Mr. Sanderson said they would have to work with the restaurant operator sharing the space as to terms of operations, safety, security and the comfort of their guests to establish appropriate hours for accessibility. He said the terrace and backyard would be open and accessible within those hours noting that accessibility was not limited to coming through the hotel. Commissioner Kahle confirmed the entry to the restaurant was from the Bayfront Expressway side. He said the hotel entry was very understated and would be found mainly through the circulation of the driveway and any signage. He asked if that was intentional. Mr. Sanderson said they did not think they needed a huge sign. He said the one level building acted as its kind of signage.

Commissioner Kahle said part of the project's charm were modules that would be lit up in different areas thus providing visual variety. He asked how the stairs and elevators on the opposite side would look at night. Mr. Sanderson said the main northern and southern exposures where rooms were located would be very activated. He said the east and west sides would be the quiet sides. Commissioner Kahle said his question was more about the north side, the side facing Bayfront Expressway. He said the center section of the upper floors had an elevator, staircase and linen

room. He asked if those areas would be lit at night or dark. Mr. Sanderson said those areas would be dark. He said there were opaque walls behind them and only the blinds would be visible.

Commissioner Kennedy asked if the terrace and backyard of the restaurant was a public amenity. Mr. Sanderson said it was publicly accessible subject to hours of operation working in line with the hotel. Commissioner Kennedy noted the small sized rooms and asked if the demand for those would be business-related. Mr. Sanderson said they had found that a large group of travelers did not spend a great deal of time in their rooms. He said they found this an opportunity to create a smaller room that worked very efficiently and met the needs of the guests when they were in it while creating much larger lobby spaces as more public and communal areas within the hotel. He said at this site with the climate that use was extended to the outdoors.

Chair Barnes referred to Commissioner Kennedy's question. He asked whether the space was being provided as a public amenity and was part of the 50% of the value for the gross floor area above base development required as contribution to public benefit. Mr. Lee said it was not a public benefit as defined so but the space was open to the public as an extension of the hotel lobby.

Chair Barnes said in the renderings the views were from the south, southwest and northwest. He said he wanted a rendering that provided a view from the northeast and Bayfront Expressway. He said he had asked the same of staff earlier that day. Mr. Sanderson said that question had been conveyed to them and they put together a couple of views showing the building and the massing as seen when driving by on Bayfront Expressway. He said it did not show the correct materials but showed the correct perspective of the building and orientation on site. He said the setback from Bayfront Expressway was significant due to the PG&E easement and surface parking.

Chair Barnes referred to the Hotel Mia that was built. He said its inward face was very nice but the rear view from Highway 101 was of the service buildings that were a different color from the hotel and an angular parking structure. He said with this proposal the view from Bayfront Expressway was surface parking through deciduous sycamore trees to the service buildings. He said he would have liked a rendering to show the materials that would be used there and that the service buildings would integrate well into the hotel facility building.

Mr. Sanderson referred to the modular construction and said that the buildings from the north would look essentially like the buildings from the south except for some areas behind the core. He said the upper four floors would look similar and the first floor at the back of the house would be stucco material. He noted landscape buffer that would soften that view. He said the restaurant faced the north, so the north façade had some activation. He said on the other side was the activation of the conference room. Chair Barnes said that was from the northwest view, but he was referring to the view from the northeast. Mr. Sanderson said that view was the back of the restaurant. Chair Barnes said the service building seemed to be the bulk of the view from Bayfront Expressway.

Case Creal, Gensler, project executive architect, said that the layers of plantings and cars would serve to take one's eye to look up higher when driving at 30 to 50 mph along Bayfront Expressway. He said at the pedestrian level it was softened with considerable landscaping and with material sensitivity. Replying to Chair Barnes, Mr. Creal said the first floor was 16-feet in height. He said stucco in two different colors would be used. He said the back of the restaurant was a champagne stucco. Chair Barnes asked what landscaping was contemplated noting the 16-foot first floor height. Mr. Creal said there would be low scale ornamental varieties of grasses leading up to

higher shrubs and then taller trees. Chair Barnes said he saw Coast live oaks and sycamores as the proposed tree species. Mr. Creal said the midsize shrubs were not shown in the slide presentation, but they were in the appendix and landscape drawings.

Chair Barnes noted the hotel trip cap was under the trip cap associated with the Facebook expansion project. He asked if a person drove to the restaurant for lunch and parked whether that trip would be counted toward Facebook's trip cap. Someone in the audience answered affirmatively. Chair Barnes asked the person to come forward and asked how they were modeling non-Facebook employees frequenting the restaurant. Robert Eckols, Fehr & Peers, project transportation consultant firm, said a number of trips were put into the original analysis for both the peak hours and the daily trips that were assigned to the hotel. He said it was the responsibility of Facebook as everything got counted coming onto the site. He said in terms of trips generated by people walking over from the other building that was not monitored or measured. He said only people coming in from the driveway at Constitution Drive were.

Chair Barnes said the CDP had required 245 parking spaces and the hotel had been scoped at 174,000 square feet. He said it was now proposed at 90,000 square feet. He asked if parking was linked to the number of rooms or to square footage. Mr. Eckols said hotel parking was based on the number of rooms. He said 245 parking spaces was the City standard for the number of hotel rooms. He said with shared parking they would still have up to 245 parking spaces. He said parking demand for hotels had gone down from 1 to more cars per room to .3 to .6 cars per room. He said their projection for actual parking demand was considerably below the number of parking spaces required. He said midday they expected 130 filled spaces and in the evening 170 to 190 spaces when the restaurant was active and had more people driving to it and from the hotel guests at the hotel. He said it was not known how many of the hotel guests would be visiting Facebook offices as that would help to reduce the overall parking demand.

Chair Barnes said the shared parking agreement referenced that its term was coterminous with the underlying ground lease for the hotel. He asked what the primary term was and what were the options associated with the underlying ground lease. Mr. Lee said the primary term was 99 years with no extensions.

Chair Barnes referred to Amendment K, 6.2, page 4. He said it referenced the Planning Commission's role in considering the proposed artwork. He said it was unclear what the community's role would be. He asked where specifics were noted as to which groups other than the Planning Commission would have roles and what the process would be. Mr. Sanderson said they were looking to develop with staff a plan for how community feedback might be incorporated using a collaborative approach.

Commissioner Riggs said Mr. Eckols noted the parking requirement for hotels had trended downward significantly. He asked whether traffic had a downward trend as well for hotels. Mr. Eckols said traffic had not trended downward for hotels. Commissioner Riggs noted the use of Uber and Lyft and asked whether that might tend to increase traffic. Mr. Eckels said that was a possibility. He said because a trip cap was in place that would have to be managed between Facebook and CitizenM. He suggested that hotel guests whose business was at Facebook would walk or use the tram and that would offset trips.

Commissioner DeCardy confirmed with Mr. Sanderson that both sides of the building would have the iconic red stairwells. He said the side facing Chilco Street would have artwork and asked if the

other side would have similar artwork. Mr. Sanderson said it would not.

Commissioner Kahle referred to sheet G.0241 showing artwork next to the stairs on both the northwest and southeast elevations. Mr. Sanderson said that was an error in the drawings. Commissioner Kahle confirmed that there was only one mural or panel proposed. Mr. Sanderson said that was correct and on the exterior of the building. He said an additional artwork was proposed at the entryway.

Chair Barnes opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Riggs said overall that he liked the architecture. He said he had concerns regarding solar gain, but the applicants would make it work noting their LEED Gold construction. He suggested that additional thought be given to landscaping in the large landscaped area on the south side. He said as a word of caution that the proposed Coast live oak would potentially be under stress in that location having full solar gain from two directions at once. He said he was concerned with community input on art selection as he thought the community deserved the most professional, thoughtful and educated presentation of art. He said he hoped that the art selection would move forward with suggestions from a very well thought out position. He said he thought the kind of mural shown on sheet 2.401 could be very successful. He said the stairs, which he described as red ribbon stairs, were very important to the building in making the ends of the building significant and successful. He said they were a wonderful contrast of form with the necessarily rectangular forms of modular construction. He said he shared concern about large expanses of stucco. He said the long landscape wall in the southeast wing had drawn his attention. He said it was a very similar concern as Chair Barnes' concern about the one-story wall and the back of house space. He cautioned there was considerable risk in using stucco in large expanses on an otherwise very crisp and elegant project.

Commissioner Kahle referred to the three modifications the Commission was asked to consider. He said the increase of rooms from 200 to 240 was appropriate. He said the reduced parking seemed to work with the shared parking agreement proposal. He said the artwork seemed like it would be a dynamic and attractive part of the project. He said he thought the modules on the north side might be a missed opportunity as the center area would be dark and suggested finding a way to light that area. He said following up on some of Chair Barnes' questioning that he thought a rendering of that side of the building in the evening would probably be very helpful. He said he thought the entry was understated and might need signage or something to help draw attention to it. He said otherwise the modifications were very approvable. He moved to recommend approval to the City Council as recommended in the staff report. Chair Barnes confirmed with Commissioner Kahle the two recommendations in addition to the motion to recommend approval as stated were to provide a rendering of the back of the house, the Bayfront Expressway elevation, and to do something to bring more focus to the entry that was not just signage and the driveway circulation. Commissioner Kennedy seconded the motion.

Chair Barnes referred to the architectural control approval process for the large-scale exterior artwork. He said he thought there were people much more qualified to make that call than himself as a Planning Commissioner. He asked if there had been any thought of a committee that would work between the Planning Commission and the applicant for the selection and vetting of what would be appropriate, and to identify who might be appropriate to do the artwork. Planner Meador said they did not have a process in place for that. She said their understanding regarding the design review for the artwork from the study session was that the Commission did not particularly

want to approve the specific artwork or dictate what it was, but wanted the community to be heavily involved and for the applicants to work with the community on the type of artwork they wanted to see in that area. Chair Barnes said he agreed with that. He noted 6.2.3 that said: *The applicant shall conduct community outreach to the satisfaction of the Community Development Director for the façade mounted artwork with the goal of ensuring that selected artwork reflects the values and input of the community.* He said he was looking for more specificity beyond that as he still did not know what that meant. He said he would recommend that thought be given to the establishment of a committee that would carry out that process of vetting to the Community Development Director what the probable and good artwork might be. Planner Meador asked in clarification if Chair Barnes would want that committee to review the design instead of the Planning Commission. Chair Barnes said not necessarily. He said he would like a recommending body to the Planning Commission. He said his underlying assumption was there were people who wanted to do the vetting, who wanted to do art, and would be enthused about being part of the selection process.

Principal Planner Kyle Perata said that was something the Planning Commission could recommend that the City Council consider as part of its overview. He said staff would need to look further into the creation of a new committee and how that committee would work according to state law regarding commissions and committees' meetings and the Brown Act. He said that might have more legal implications versus continuing with the recommendation from staff that the applicant team provide documentation of their community outreach and the Planning Commission's review of the general location and parameters as an established commission to review land use applications and entitlements.

Recognized by Chair Barnes, Mr. Sanderson provided background information on processes in other municipalities that had commissions to review development related art proposals, and while suggesting such a committee for this art selection process might serve as a test case for future such proposals, he acknowledged that doing so would add considerable time to accomplish. Chair Barnes said the applicant was doing the informal outreach without the City going through the formalization of this type of committee. He said they certainly would not want to create a commission for one piece of artwork on one building.

Commissioner Tate said she had served on advisory committees that were comprised of residents and other commissioners. She said she definitely would like to see community members as part of whatever committee was organized to vet art as the community needed to have input, noting she had mentioned that in the previous study session. She asked about the community outreach meeting that was held at which about 12 people were present, and what those people said about the project. Mr. Lee outlined the topics presented at the community meeting. He said it was a listening exercise in terms of what worked and did not work within the micro-location and how they could be a good neighbor moving forward. Commissioner Tate said she had seen the bullet points of the topics covered. She asked what the feedback was that they received, details of what type of support or concerns the community expressed about the project and whether the applicant was able to ease initial apprehension on issues of concern. Mr. Lee said a lot of focus was on traffic impacts to the area tied specifically to the increased number of hotel rooms. He said they explained what the current generation of room demand was in the micro-location and how there were upwards from between 450 to 500 room nights that were produced on average on a nightly basis. He said they shared their belief that they would be taking trips off the road through the drop off period, providing the amenities needed during the guest stay, and the number of Facebook related guests being able to walk or bike to that property. He said regarding the restaurant the community members wanted to know how it served the community as their community would bear

the impacts. He said they explained that there were conditions in the lease to make sure Facebook's chosen operator would make the restaurant compatible and inclusive and would serve hours of operations that made sense not only for the business traveler but also for the weekend guests. He said community members wanted to know that the commitment for local hiring was not exclusive based on a particular background or certain professional experience level. He said they went over their hiring model, which was largely based on hiring for personality and not technical skills or having service industry experience. He said that resonated well with the community members at the meeting.

Commissioner DeCardy said regarding artwork selection and approval that he would prefer the proposal as currently stated. He said he completely agreed with Commissioner Tate's comment to have local resident community engagement as part of that process. He said the application pointed out that this site was important because it was an entryway. He said it was not just an entryway to the Facebook campus but was an entryway to a part of the City that had a distinct and unique history that deserved to be recognized in the mix as well.

ACTION: Motion and second (Kahle/Kennedy) to recommend approval to the City Council of the item as specified within the resolutions included with the staff report with two additional recommendations, passes 7-0:

- Provide a rendering of the Bayfront Expressway elevations with landscaping details, and
- explore ways to add more emphasis to the driveway and lobby entrance.

End of Item F2



MEMORANDUM

Date: June 26, 2019
To: Kaitie Meador, City of Menlo Park
From: Robert H. Eckols, P.E.
Sara Sadeghi
Subject: Facebook Bayfront Hotel Trip Generation & Parking Analysis

SJ19-1912

This memorandum summarizes the results of the trip generation and parking analysis for the proposed hotel project on the Facebook Bayfront Campus in Menlo Park, California. The hotel project site was included in the traffic impact analysis presented in the Facebook Campus Expansion Project Environmental Impact Report (EIR) certified in September 2016. The EIR and approvals for the Campus Expansion project assumed that the hotel would be a 200 room hotel with on-site dining facilities and 245 parking spaces. It is our understanding that the hotel developer is proposing to modify the room count from 200 to 240 rooms and reduce the on-site parking supply to 120 parking spaces, which will require an amendment to the CDP that applies to the entire Campus Expansion site and a shared parking agreement between Facebook and the hotel operator to address the parking shortfall. In addition, the project would include 4,140 square feet of leased restaurant space. Due to the proximity of the project to Facebook's campus, it is projected that Facebook visitors and employees will generate a large portion of the demand for the hotel and restaurant. The hotel project will also be subject to the trip cap that applies to the entire Campus Expansion site. No modifications to the trip cap will be sought, and therefore no increase in net new trips is assumed; the analysis that follows related to trip generation is therefore provided only for informational purposes.

This memorandum includes the following:

- Trip Generation
- Parking Demand Analysis
- Parking Management Plan



Trip Generation

Vehicle trip generation for the proposed Bayfront Hotel was estimated using the standard rates developed by the *Institute of Transportation Engineers* (ITE). The project vehicle trip generation in the Facebook Campus Expansion Project EIR, was calculated using the *ITE Trip Generation Manual* (9th Edition) assuming the Hotel land use (code 310). The description of Hotel land use includes overnight lodging and supporting facilities such as restaurants, cocktail lounges, meeting and banquet rooms, convention facilities, swimming pools and fitness centers. The current proposal would be for a hotel design and operation that is more similar to the ITE Business Hotel which is primarily for overnight lodging with a pool and fitness center (without a restaurant, banquet room, or convention space), since the CDP does not allow the approved hotel to include conference or banquet facilities. While there will be a restaurant in the hotel project, the trip generation for the restaurant was estimated separately and added to the hotel trips.

We compared the vehicle trip generation rates for hotel uses as presented in both the 9th and 10th editions of the ITE trip generation manual. We also updated the vehicle trip generation estimate for the project based on a combination of hotel and restaurant land uses. **Table 1** summarizes the vehicle trip generation estimates for the following conditions:

- Trip generation from the EIR using ITE 9th Edition Hotel rate and 200 rooms
- Trip generation using ITE 10th Edition Hotel rate and 240 rooms
- Trip generation using ITE 10th Edition Business Hotel rate for 240 rooms plus a 4,140 square foot restaurant (referred to in Table 1 as "ITE 10th Generation with Modified Land Use Assumption")

The updated trip generation estimates show that the trip generation would be similar to the original assumptions in the EIR analysis. The increase in the number of rooms is offset when applying more appropriate trip generation rates based on the planned hotel operation (i.e., ITE rates for a business hotel vs. a full-service hotel).

Using the ITE 10th Edition trip generation manual, the proposed Bayfront hotel with 240 rooms and 4,140 square feet of restaurant space would generate approximately 130 AM peak hour vehicle trips (60 inbound and 70 outbound) and 117 PM peak hour vehicle trips (67 inbound and 50 outbound) which is slightly less than the trip generation estimates presented in the EIR assuming a 200-room hotel (134 AM peak hour trips and 140 PM peak hour trips).



Table 1: Vehicle Trip Generation Comparison

Source	Land Use	Unit	ITE Land Use Code	AM Peak Hour			PM Peak Hour		
				In	Out	Total	In	Out	Total
ITE 9th Edition used in DEIR (A)	Hotel	200 Room	310	78	56	134	69	71	140
ITE 10 th Edition	Hotel	240 Room	310	68	47	115	79	75	154
ITE 10th Edition with Modified Land Use Assumption (B)	Business Hotel	240 Room	312	37	51	88	42	35	77
	Restaurant (Quality High Turn Over)	4,140 Sq. ft.	932	23	19	41	25	15	40
	Total			60	70	130	67	50	117
B-A				-18	14	-4	-2	-21	-23

Source: Fehr & Peers.

There are two factors that make the trip generation estimates conservative. First, we did not adjust for any internalization of trips between the hotel and restaurant uses. Some of the restaurant patrons will likely be hotel guests. In addition, the trip generation estimates are conservative since many of the hotel guests and restaurant patrons will be generated by the surrounding Facebook offices. Due to the proximity of the Facebook campus and Belle Haven neighborhood to the project site, many of the hotel and restaurant trips will use alternative modes such as walking, biking, or Facebook campus trams. Therefore, the actual vehicle trip generation of the project should be lower.

Parking Demand Analysis

The following section summarizes the results of the parking demand evaluations for the proposed project using the shared parking methodology.

Shared Parking Methodology

The Urban Land Institute (ULI) sponsored a national study in 1984 that established a basic methodology for analyzing parking demand in mixed-use developments and developed averages for parking rates by land use. Fehr & Peers staff was involved in the 2004 update of this national study sponsored by ULI¹. In the shared parking methodology, the base parking rate and

¹ *Shared Parking, Second Edition*, Urban Land Institute, Washington D.C., 2004



daily/hourly/seasonal patterns for each land use are established, and then the overall parking demand is calculated by taking into account the unique travel characteristics of the project being analyzed.

For the purpose of this analysis, the project land use assumptions were used in to the shared parking model to determine most appropriate parking rates and determine the parking demand throughout the day. The model estimates the maximum parking demand for the project based on the number of vehicles parked for each of the project uses by hour.

Parking Demand Evaluation

For the purpose of this study, we reviewed and evaluated different parking rates including the rates within the Institute of Transportation Engineers (ITE) *Parking Generation 5th Edition*, City of Menlo Park parking requirements, Urban Land Institute (ULI) rates, and local hotel surveys prepared for the City of Mountain View. We selected the most appropriate parking rates and, using the ULI shared parking methodology, we developed maximum parking demand estimates for the project considering the demands throughout the day.

To estimate the total parking demand, we utilized ULI parking rates for the proposed high turn-over restaurant and the City of Menlo Park parking requirement rate and local hotel survey rates² for the proposed business hotel. **Table 2** presents the parking rates and the maximum total parking demand for the proposed project for the mid-day and evening/night; Alternative 1 identifies parking rates and demand based on the City of Menlo Park's code requirements, while Alternative 2 identifies the parking rates and demand based on actual local hotel surveys. **Figures 1** and **2** show the project daily parking demand distribution and the maximum parking demand (100% peak demand for both alternatives) and compares them to the proposed on-site parking supply (120 parking spaces).

Table 3 shows the project total parking demand and the estimated parking shortfall based on the proposed on-site parking supply during both day time and evening time. As shown in **Figures 1** and **2**, the maximum day time parking shortfall occurs between 6:00 AM to 8:00 AM when most of the hotel guests are still at the hotel. The maximum evening shortfall occurs after 10:00 PM.

² Local rate survey rates are presented in three memorandums prepared for the City of Mountain View by Fehr & Peers, Hexagon, and TJKM for business hotels located in Menlo Park, California.



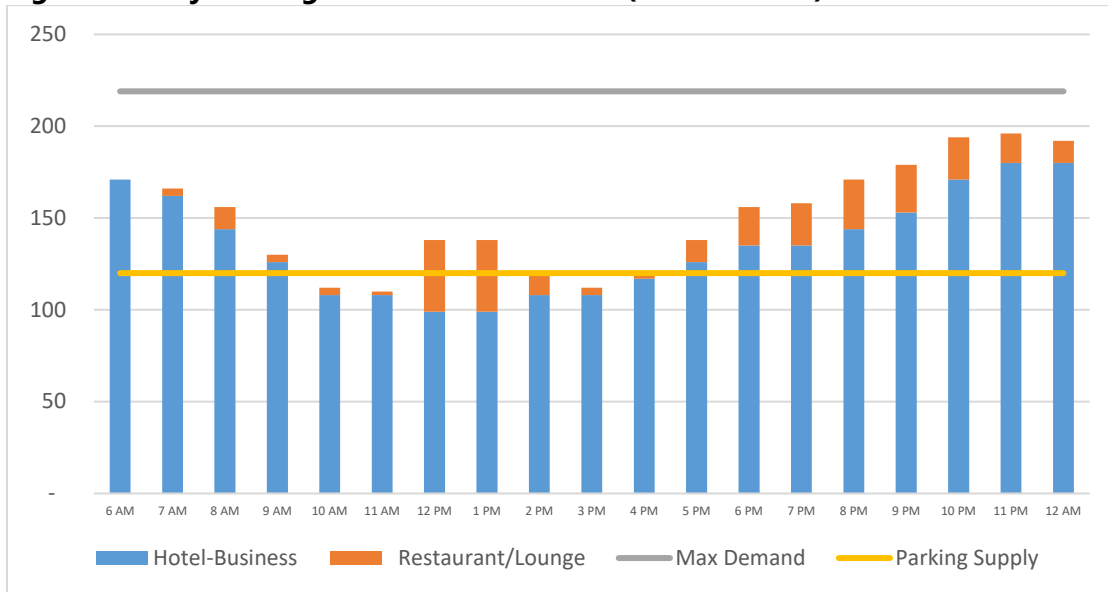
Table 2: Parking Demand Estimates

Land Use	Rate Source	Unit	Rate ¹	Day Time Max Demand	Night Time Max Demand
Alternative 1					
High Turn-Over Restaurant	ULI	4,140 Sq. ft.	10	156	196
Business Hotel	City of Menlo Park	240 room	0.75		
Alternative 2					
High Turn-Over Restaurant	ULI	4,140 Sq. ft.	10	135	170
Business Hotel	Local Hotel Surveys	240 room	0.64		

Source: Fehr & Peers.

1. The ULI weekday and weekend rates for high turn-over restaurants are the same which would result in the same total number of parking demand during both weekdays and weekends.

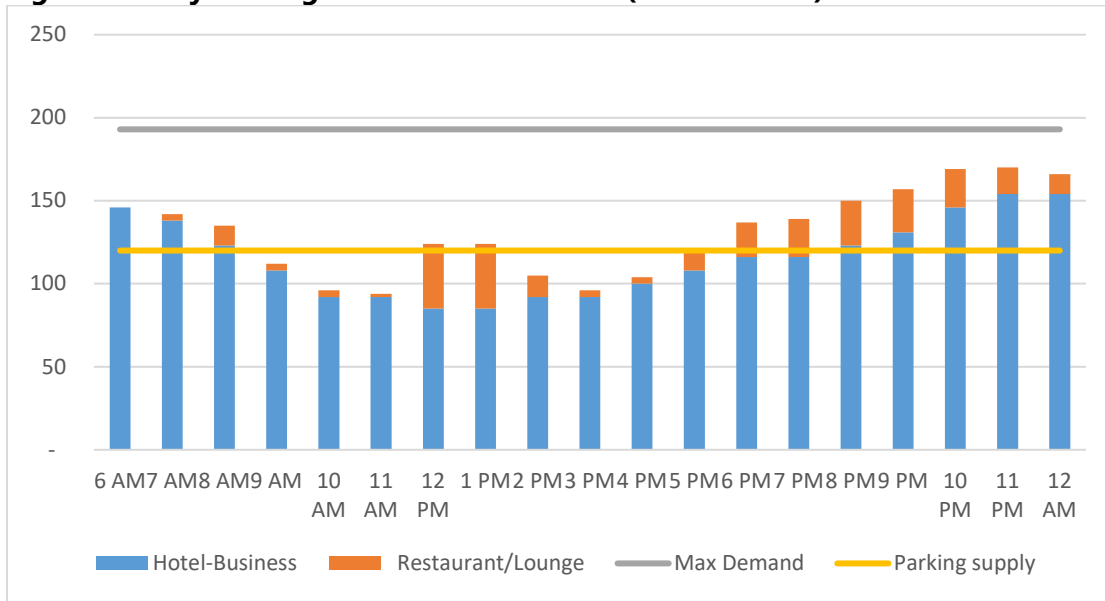
Figure 1: Daily Parking Demand Distribution (Alternative 1)



Note: Maximum parking demand (grey line) is the sum of maximum parking demand for each land use separately regardless of shared parking assumptions.



Figure 2: Daily Parking Demand Distribution (Alternative 2)



Note: Maximum parking demand (grey line) is the sum of maximum parking demand for each land use separately regardless of shared parking assumptions.

Table 3 summarizes the day time parking shortfall (6:00 AM to 6:00 PM) that ranges between 15 to 36 parking spaces and the evening shortfall (6:00 PM to 6:00 AM) of 50 to 76 parking spaces.

Table 3: On-Site Parking Shortfall

Land Use	Parking Supply	Day Time Max Demand	Day Time Parking Shortfall	Evening Time Max Demand	Evening Time Parking shortfall
Alternative 1					
ULI High Turn-Over Restaurant	120	156	36	196	76
City of Menlo Park Hotel					
Alternative 2					
ULI High Turn-Over Restaurant	120	135	15	170	50
Fehr & Peers Rate					

Source: Fehr & Peers.



Parking Management Plan

For the purpose of our shared parking analysis we did not consider the office parking located adjacent to the proposed project, but rather projected the parking needs of the hotel and restaurant uses only. We also did not make any parking adjustments to account for the interaction between the hotel guests, restaurant patrons and the office employees and visitors, and our analysis is therefore conservative. Initial estimates are that between 65 – 75 percent of the hotel rooms may be used by Facebook visitors and/or traveling employees. This relationship between the hotel, restaurant, and office activities will reduce the parking demand for the hotel site, since hotel guests will not need a vehicle during their stay.

In addition, a portion of the restaurant patrons will be Facebook employees or visitors that are either parked in the office parking and/or have arrived at the campus by other modes of travel such as employee shuttles. Similarly, Belle Haven residents will be able to safely walk or bike to the restaurant. Therefore, we anticipate that the parking demand presented represents a worst case condition.

In the event that there is a need for additional parking (estimated at 50-76 spaces during the evening), the hotel operators and Facebook are in discussions regarding a parking management plan based on the following parameters.

- Hotel guests and restaurant patrons will be given priority to use the parking on the hotel site.
- If additional parking is needed, hotel and restaurant employees will be allowed to park in the office parking provided in the parking structure adjacent to Building 22. Hotel and restaurant employees would be issued the appropriate identification to allow them to use the Facebook office parking areas. While the total hotel employment is estimated to be 60 – 65 employees, the hotel operator provided the following estimates of the number of employees per shift:

○ Morning shift	7:00 AM to 3:00 PM	25
○ Afternoon shift	3:00 PM to 11:00 PM	13
○ Evening shift	11:00 PM to 7:00 AM	4

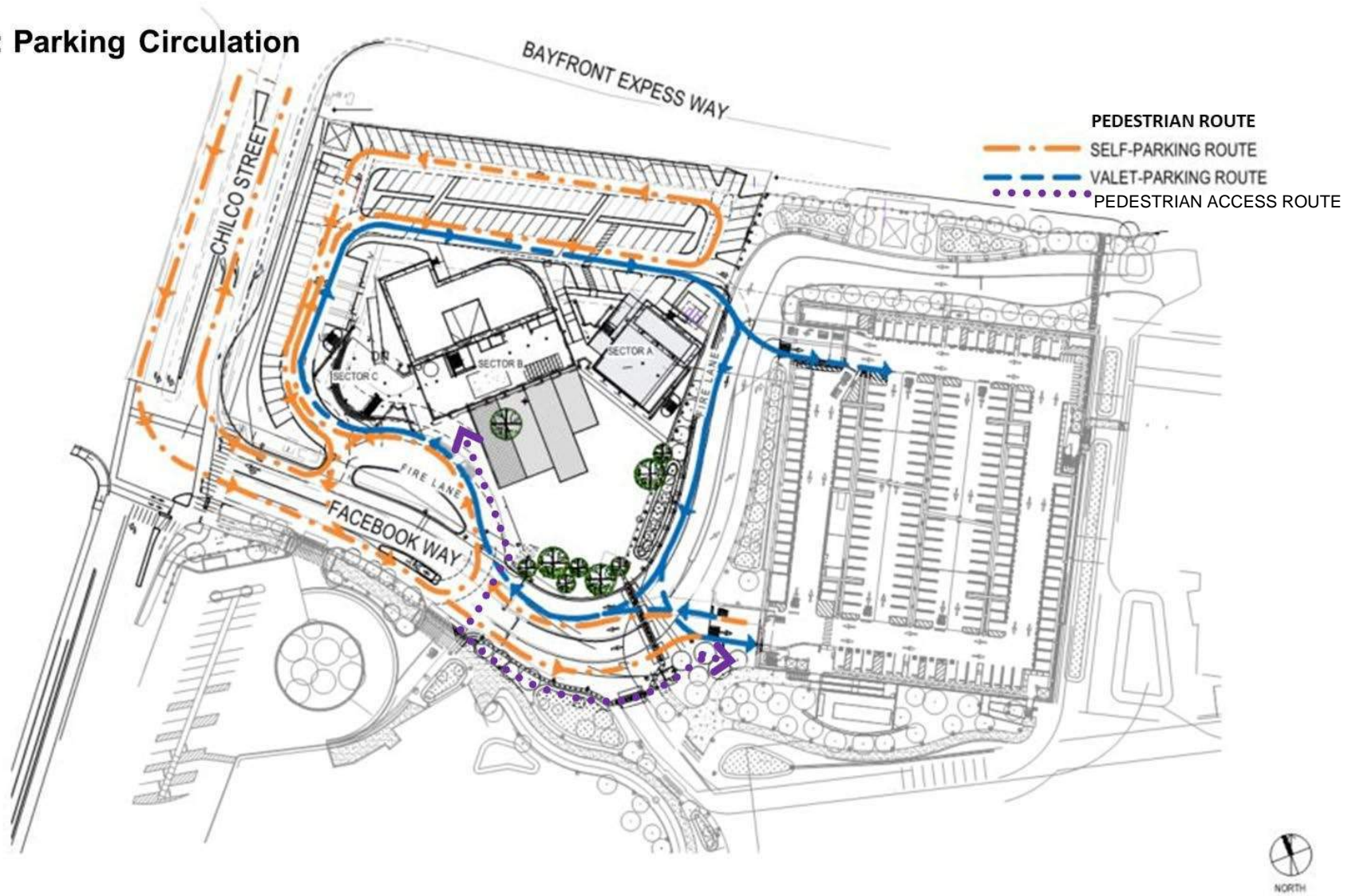


- The number of restaurant employees has not been identified. Both the hotel and restaurant operators will encourage employees to use alternative travel modes for their commute to work and avoiding driving alone to the site, which will further reduce parking demand.
- If the hotel guest or restaurant patron parking demand exceeds the available on-site parking, Facebook will allow hotel valets or guests to park vehicles in the Building 22 parking structure, which is anticipated to contain unused parking during the times when the hotel and restaurant will generate the highest parking demand in the evenings and overnight.
 - **Figure 3** shows the travel paths of valets and guests using the Building 22 parking structure. Guests would circulate within the hotel site and, if needed, use the Constitution driveway to access the Building 22 parking. Guests would need to check into the hotel prior to accessing the Building 22 parking structure. Valets would use the Constitution driveway to access the Building 22 parking structure. During the evening peak period valets could also use the service exit when the Constitution driveway was congested.

The hotel management and Facebook will enter into a shared parking agreement to ensure that there will be sufficient parking for the hotel/restaurant employees, hotel guests and restaurant patrons. The agreement will specify the following operational items:

- Number of parking spaces for the hotel/restaurant employees, guests, and patrons
- Location of parking spaces, if designated
- Potential time restrictions related to parking access
- Security procedures for accessing the parking by employees, guests and patrons

Figure 3: Parking Circulation



Local Hotel Parking Studies



MEMORANDUM

Date: December 22, 2016

To: Brian Froelich, Shashi Group LLC

From: Jane Bierstedt and Allen Wang, Fehr & Peers

Subject: Mountain View Hilton Garden Inn Parking Study

SJ16-1700

INTRODUCTION

This memorandum presents the results of the parking analysis conducted by Fehr & Peers to determine whether the planned parking supply for the Hilton Garden Inn is adequate to serve the parking demand generated by the proposed hotel expansion. The hotel is located at 840 E. El Camino Real in Mountain View, California. Currently, the hotel includes 160 guest rooms, 250 square feet of meeting space, and 3,800 square feet of restaurant space (located in the lobby area). All existing uses are served by the 152 parking spaces at the site, of which six are handicapped spaces. The proposed expansion will add 40 guest rooms and replace the existing restaurant with a new 4,300-square foot restaurant on the ground floor. It will remove the meeting space and three handicapped parking spaces to provide room for the building addition.

This analysis estimated the parking demand for the proposed expansion using parking data collected at the project site in October 2016 and recommended parking rates in Urban Land Institute's (ULI) *Shared Parking*, Second Edition (2005). The projected demand was compared with the proposed parking supply, City of Mountain View's Municipal Code requirements, and estimates based on rates in the Institute of Traffic Engineers (ITE) *Parking Generation*, Fourth Edition (2010).

SUMMARY OF FINDINGS

Based on the analysis presented in this memorandum, the peak parking demand for the proposed hotel expansion with full occupancy is estimated to be 141 spaces, occurring between 9:00 pm to 10:00 pm on a weekday. Therefore, this parking study demonstrates that the planned parking supply of 149 spaces would be sufficient to support the peak parking demand generated by the proposed hotel expansion.

EXISTING PARKING UTILIZATION

This section describes the existing parking conditions and presents the parking utilization data collected at the hotel site. The hotel provides 152 off-street parking spaces to support the hotel guests and visitors, employees as well as the demand generated by the complementary uses, including the ground floor restaurant and the meeting space.

EXISTING PARKING SURVEY

To better understand the existing parking demand and estimate parking rates for the hotel rooms, parking space utilization counts were collected at the site on four days, including two weekdays and two days on the weekend. Per conversations with the hotel management, higher occupancy is typically observed during the mid-week and on Fridays. This observation is consistent with the weekly parking demand pattern for the hotel land use category (Land Use 310) in ITE *Parking Generation*. Therefore, Wednesday and Friday were selected as the two weekdays for parking data collection. Counts were also conducted on a Saturday and a Sunday to observe the weekend parking demand. On each day, parking data was collected for 14 hours, from 11:00 am to 12:00 am (midnight), to ensure the peak parking demand and the time-of-day variations were captured. Additionally, hotel occupancy data for the survey days were obtained from the hotel management. **Table 1** presents the parking utilization survey results and the corresponding hotel occupancies. Detailed parking counts are presented in **Appendix A**.

As presented in **Table 1**, the peak parking demand for the existing hotel was 110 spaces. It was observed at 11:00 pm on Wednesday when all 160 hotel rooms were occupied. On all four days of data collection, peak demand occurred between 10:00 pm and midnight.

TABLE 1: EXISTING PARKING COUNTS (PARKED VEHICLES) AND HOTEL OCCUPANCY

Time	Wednesday (October 26, 2016)	Friday (October 28, 2016)	Saturday (October 29, 2016)	Sunday (October 30, 2016)
11:00 AM	31	36	30	41
12:00 PM	29	26	21	27
1:00 PM	28	25	13	19
2:00 PM	27	25	15	17
3:00 PM	27	29	20	21
4:00 PM	26	30	21	25
5:00 PM	36	27	28	27
6:00 PM	37	30	27	26
7:00 PM	57	36	27	32
8:00 PM	70	40	37	39
9:00 PM	88	53	41	47
10:00 PM	104	60	<u>53</u>	52
11:00 PM	<u>110</u>	<u>62</u>	50	49
12:00 AM	109	61	49	<u>53</u>
Occupancy Rate	100%	65%	58%	60%
Occupied Rooms	160	104	93	96

Note:

Underlined text highlights the highest parking demand of the day.

Source: Fehr & Peers, 2016.

EXISTING PARKING RATES FOR HOTEL ROOMS

As described in the previous section, the observed parking counts are comprised of demand generated by hotel guests, employees, as well as the demand generated by the restaurant and meeting space. Based on field observations and conversations with the hotel management, it is our understanding that the existing restaurant and meeting space primarily serves hotel guests. Therefore, this study assumed that the parking demand generated by the existing restaurant and meeting space from external traffic (non-hotel guests) is negligible.

To further understand the parking rates for hotel guests/visitors versus the rates for employees, the parking demand for employees was separated from the total parking counts. With the employee shift schedule provided by the hotel management, the employee parking demand was estimated using the recommended parking rate (0.25 space/employee) for hotel employees in ULI *Shared Parking*. **Table 2** presents the hourly employee count and the associated parking demand.

TABLE 2: EXISTING EMPLOYEE COUNT AND PARKING DEMAND

Time	Employee Count ¹		Employee Parking Demand ²	
	Weekday	Weekend	Weekday	Weekend
11:00 AM	16	16	4	4
12:00 PM	14	14	4	4
1:00 PM	14	15	4	4
2:00 PM	12	13	3	4
3:00 PM	12	13	3	4
4:00 PM	10	11	3	3
5:00 PM	10	11	3	3
6:00 PM	4	5	1	2
7:00 PM	3	4	1	1
8:00 PM	3	4	1	1
9:00 PM	3	4	1	1
10:00 PM	1	2	1	1
11:00 PM	1	2	1	1
12:00 AM	1	2	1	1

Note:

¹Hourly employee count is the sum of housekeeping, front desk, maintenance, and food & beverage employees.

²Employee parking demand was estimated using the parking rate of 0.25 space/employee for hotel employees in ULI *Shared Parking*, Second Edition (2005).

Source: Fehr & Peers, 2016.

The hourly parking demand for hotel guests and visitors was estimated to be the difference between the total observed parking demand (Table 1) and employee parking demand (Table 2). Subsequently, the peak parking demand for each occupied hotel room was calculated using the equation below:

$$\text{Peak Parking Rate} = \frac{\text{Peak Hotel Guest \& Visitor Parking Demand}}{\text{Number of Occupied Rooms}}$$

Table 3 summarizes the calculated peak parking rates for hotel rooms and the time-of-day variations. The highest parking rate for hotel guests and visitors is 0.68 space per occupied room, derived from the parking counts collected on Wednesday, October 26, 2016.

TABLE 3: EXISTING HOTEL ROOM PARKING RATES AND TIME-OF-DAY VARIATIONS

Time	Wednesday (October 26, 2016)	Friday (October 28, 2016)	Saturday (October 29, 2016)	Sunday (October 30, 2016)
11:00 AM	25%	52%	50%	71%
12:00 PM	23%	36%	33%	44%
1:00 PM	22%	34%	17%	29%
2:00 PM	22%	36%	21%	25%
3:00 PM	22%	43%	31%	33%
4:00 PM	21%	44%	35%	42%
5:00 PM	30%	39%	48%	46%
6:00 PM	33%	48%	48%	46%
7:00 PM	51%	57%	50%	60%
8:00 PM	63%	64%	69%	73%
9:00 PM	80%	85%	77%	88%
10:00 PM	94%	97%	<u>100%</u>	98%
11:00 PM	<u>100%</u>	<u>100%</u>	94%	92%
12:00 AM	99%	98%	92%	<u>100%</u>
Peak Parking Rate (space/occupied room)	0.68	0.59	0.56	0.54

Note:

Time-of-day variation is presented as a percentage of the peak parking rate.

Source: Fehr & Peers, 2016.



Memorandum

Date: July 19, 2016
To: Mr. Brian Froelich, Shashi Group, LLC
From: Michelle Hunt
Subject: Parking Study for the Proposed Hilton Garden Inn Expansion in Mountain View

Hexagon Transportation Consultants, Inc. has completed a parking study for the proposed Hilton Garden Inn expansion at 840 E. El Camino Real in Mountain View, California. The existing Hilton Garden Inn has 160 hotel rooms. The proposed expansion includes an addition of 40 hotel rooms and 4,500 square feet of ground floor restaurant/café space. The proposed expansion will result in a small reduction in the existing on-site parking from 152 to 149 spaces. Therefore, the purpose of this parking study is to estimate the parking needs of the hotel including the ancillary uses and to determine whether the proposed parking supply is adequate. The analysis is based on the City of Mountain View hotel parking requirements, published hotel parking rates, and surveys conducted at the Hilton Garden Inn. The parking study also included a redesign of the existing parking lot to maximize the number of spaces on site based on the City of Mountain View's off-street parking requirements.

City of Mountain View Parking Code Requirements

According to the City of Mountain View Zoning Code Sec 36.37.040, hotels are required to provide one parking space per room, plus one parking space for every two employees, plus as required for ancillary uses. The parking requirement for employees was calculated based on the maximum number of employees per shift (20). The proposed new restaurant/café space is the only ancillary use that may draw outside patrons that are not hotel guests. The parking requirement for this use was calculated based on the City's code requirement for restaurants, one parking space per 100 square feet of gross floor area. The other amenities included in the proposed hotel are assumed to be used by hotel guests only and would generate no additional parking demand. In total, based on the City's code requirements, the project would be required to provide a total of 255 parking spaces (200 spaces for hotel guests, 10 spaces for employees, and 45 spaces for the restaurant/café use). It should be noted however, that the City's parking code requirements do not take into account the fact that parking demands for different uses peak at different times of the day such that the overall total peak parking demand is usually less than the sum of the peak demand generated by each individual use.

Parking Estimates based on Published Rates

The Institute of Transportation Engineers (ITE) publication *Parking Generation, 4th Edition* (2010) provides the results of parking surveys conducted throughout the country for numerous popular land uses. ITE *Parking Generation* rates for land use 310, hotel in a suburban area, were used to estimate the peak parking demand generated by the proposed hotel expansion. The ITE parking rates are based on the number of occupied hotel rooms. While hotel occupancy typically averages between 51 and 72 percent based on the ITE manual, the parking demand for the proposed hotel was calculated assuming 100 percent occupancy. The ITE parking rates for hotels include ancillary uses such as restaurants and meeting/conference space. Based on the ITE data, the project is

estimated to potentially experience its peak parking demand of 240 spaces on Saturdays. On weekdays, the peak parking demand is estimated to be only 161 spaces.

Parking Estimates based on Survey Data

Hexagon conducted a survey of the parking demand at the existing Hilton Garden Inn on Thursday, April 30, 2015 and Saturday, May 2, 2015. Table 1 presents the parking survey results for the existing Hilton Garden Inn and the projected parking demand by hour with the proposed expansion of the Hilton Garden Inn. The actual observed overall peak parking demand at the existing hotel occurred at midnight with a peak of 0.74 parking spaces per occupied room on weekdays and 0.80 parking spaces per occupied room on Saturdays. The parking demand generated by the hotel component of the proposed project was estimated using these peak parking ratios observed at the existing Hilton Garden Inn. Based on these rates, the proposed 200-room hotel is estimated to generate a peak parking demand of 148 parking spaces on weekdays and 160 parking spaces on weekends when fully occupied. The hotel parking demand at other hours earlier in the evening was estimated based on the time of day variations in parking accumulation observed at the Hilton Garden Inn and other similar hotels. While hotel occupancy typically averages between 51 and 72 percent, the parking demand for the proposed hotel was calculated assuming 100 percent occupancy.

The parking survey indicates that the Garden Grille & Bar found in the existing Hilton Garden Inn is patronized primarily by hotel guests. The parking survey found no evidence that the existing restaurant generates any additional parking demand from outside traffic (non-hotel guests). Parking surveys at many other similar hotels show the same pattern, with a negligible number of parked vehicles attributable to restaurant use by non-hotel guests. However, this parking study conservatively assumes that the new restaurant/café space would have its own identity separate from the hotel. Considering its prime location on El Camino Real, the proposed restaurant/café may indeed generate outside business separate from the hotel.

To estimate the parking demand for the proposed new restaurant, Hexagon conducted parking counts at the following two similar hotels with a restaurant: the Sheraton Inn (located at 1100 North Mathilda Avenue, Sunnyvale), and the Four Points by Sheraton (located at 5115 Hopyard Road, Pleasanton). Both hotels are located on major arterials and have some meeting/conference space, a Faz restaurant and bar/lounge area, and free parking. The Faz restaurants at both hotels are independently owned and operated full-service restaurants. Two of five similarly named restaurants owned by renowned executive chef, Faz Pouroushi, the Faz Sunnyvale and Faz Pleasanton have prominent signage both adjacent to the street and on the building that is separate from the hotel signage. The Faz restaurants attract patrons who are not hotel guests. While the tenant/operator of the proposed new restaurant and café space within the Hilton Garden Inn has not been determined, the Faz restaurants are thought to be comparable to the type of restaurant that may be found at the Hilton Garden Inn with the proposed expansion.

**Table 1
Observed and Projected Hotel Parking Usage**

Time	Survey Date	Hilton Garden Inn Mt. View		Expanded Hilton Garden Inn Mt. View					
		Thurs. 4/30/15	Sat. 5/2/15	Projected Weekday Parking Demand			Projected Saturday Parking Demand		
		Total	Total	Total	Hotel ^a	Restaurant ^b	Total	Hotel ^a	Restaurant ^b
6:00 PM		69	64	129	89	40	124	82	42
6:30 PM		66	69	124	85	39	129	88	40
7:00 PM		62	65	125	80	45	126	83	43
7:30 PM		60	67	119	77	42	127	86	41
8:00 PM		75	72	125	97	28	132	92	40
8:30 PM		76	74	135	98	37	140	95	45
9:00 PM		87	77	137	112	24	142	99	44
9:30 PM		102	82	140	132	9	142	105	37
10:00 PM		109	91	147	141	6	144	117	27
10:30 PM		112	117	149	145	4	160	150	10
11:00 PM		113	117	149	146	3	158	150	8
11:30 PM		114	122	148	147	1	160	156	4
12:00 AM		115	125	148	148	0	160	160	0
Total Rooms		160	160	200			200		
Occupied Rooms		155	156	200			200		
Restaurant Size		3,842 s.f.		4,500 s.f.					
Meeting/Conference Space		2,112 s.f.		1,890 s.f.					
Total Parking Spaces		152	152	149			149		
Peak Parking Demand (spaces)		115	125	149			160		
Peak Parking Ratio (occupied parking spaces/occupied rooms)									
Combined Hotel & Restaurant		0.74	0.80	0.74			0.80		
Restaurant Peak Parking Ratio (occupied parking spaces/1,000 s.f. for restaurant use)									
Restaurant Only						10.00			10.00
Parking Ratio at 12:00 AM midnight (occupied parking spaces/occupied room for hotel use; restaurant is closed)									
Hotel Only		0.74	0.80		0.74			0.80	
^a The peak hotel parking demand was estimated based on the observed peak parking ratios at the existing Hilton Garden Inn. The number of parking spaces required each hour was projected based on the time-of-day variation in parking demand observed at the existing Hilton Garden Inn. ^b The peak restaurant parking demand was estimated based on the City of Mountain View's requirement for restaurant parking at 1 space per 100 square feet. Parking occupancy each hour was estimated based on the time-of-day variation in parking demand observed at Faz restaurants at the Four Points by Sheraton in Pleasanton and at the Sheraton Inn in Sunnyvale.									



The peak hotel parking demand at midnight was used along with the time of day parking patterns observed at other hotels in order to differentiate the parking demand generated by the Faz restaurant from the parking demand generated by the adjoining hotel. The peak parking rates generated by the Faz restaurant in Sunnyvale (11.09 spaces per 1,000 s.f. on a weekday and 8.77 spaces per 1,000 s.f. on a Saturday) are very close to the City of Mountain View parking requirement for restaurants (10 parking spaces per 1,000 s.f.). The Faz restaurant in Pleasanton generated substantially lower parking demand that is less than half the rate observed at the Faz Sunnyvale site. It is unclear if the Faz Pleasanton did a lower volume of business or if a significant portion of the Pleasanton restaurant patrons were captured trips from hotel guests. To be conservative, the parking demand generated by the proposed new restaurant and cafe space at the expanded Hilton Garden Inn was estimated using the City of Mountain View parking requirement for restaurants (10 parking spaces per 1,000 s.f.) and time of day variations observed at the two Faz restaurants. Based on the City's required parking ratios, the proposed restaurant at the Hilton Garden Inn is expected to generate a peak of 45 occupied parking spaces. Based on the hourly variation in parking demand observed at two Faz restaurants, the peak restaurant parking demand is expected to occur at 7:00 PM on a weekday and at 8:30 PM on a Saturday.

The overall total parking demand for both hotel and restaurant uses at the expanded Hilton Garden Inn is expected to peak after 10:00 PM on weekdays when 149 parking spaces would be occupied. Note that most restaurants (including the Faz restaurant) are closed by that time so the peak parking demand on weekdays would primarily be dictated by the hotel's parking needs with few or no additional spaces needed for the proposed new restaurant. The hotel parking demand would be substantially lower earlier in the evening during the restaurant's peak period such that the overall total parking demand while the restaurant is open is projected to be less than parking demand late at night. Similarly, on Saturdays the overall total parking demand is expected to peak after 10:00 PM when 160 parking spaces would be needed. This matches the peak parking demand generated by the hotel, and demonstrates that the hotel and restaurant would be able to effectively share parking earlier in the evening while the restaurant is open and the hotel parking demand is lower. The shared parking analysis presented in this report is based on a traditional sit-down restaurant without late-night dining hours. Additional analysis may be required if the proposed new hotel restaurant differs from this model.

The projected total peak weekday parking demand projected at full occupancy (149 spaces) could be accommodated in the existing parking lot, which would be reduced from 152 to 149 parking spaces after the proposed hotel expansion. However, the parking study shows that the total peak parking demand on a Saturday with full occupancy (160 spaces) would exceed the available on-site parking supply. Shashi plans to implement valet parking on weekends when the hotel occupancy is expected to be high to accommodate any excess parking demand above the normal parking lot capacity.

Parking Lot Design

To maximize the number of parking spaces on site, Hexagon recommends that the Hilton Garden Inn modify the parking lot configuration. Hexagon designed a revised parking lot layout based on the City of Mountain View off-street parking requirements regarding parking islands, landscaping, aisle widths, parking space dimensions, and allowable compact spaces. Hexagon also examined various characteristics of the project site as they relate to existing and potential new parking designs. Because the parking lot may operate as a valet lot during certain hours and as a self-park lot during other times, the site was evaluated to identify feasible modifications that would maximize the number of parking spaces under both parking options.

Overall the existing parking layout and circulation are efficient except for at the southwest corner of the parking lot. Based on the City of Mountain View parking requirements, Hexagon recommends

changes to the existing site plan that will increase the on-site parking supply to 152 spaces with the proposed hotel expansion. Figure 1 shows a scaled plan of the recommended new layout of the parking areas when operated as a self-parking lot. A second plan was developed that shows valet parking usage of the proposed new parking layout to quantify the maximum parking capacity with valet parking. Figure 2 shows that up to 178 vehicles could be parked in the lot when valet parking is implemented.

It should be noted, however, that the total parking demand is expected to exceed the self-park lot capacity of 152 spaces only on weekend dates with occupancy of at least 95 percent. Historical occupancy data for the Hilton Garden Inn provided by the Shashi Group shows that over the past 22 months (between August 2014 and May 2016), the hotel was nearly full (at or above 95 percent occupancy) only about one of every five days on weekends. Therefore, it is expected that valet parking would be needed only occasionally on weekends.

Conclusions

The parking supply with the recommended new parking layout (152 spaces) would be less than the City of Mountain View's Zoning Code requirements outside the North Bayshore Precise Plan Area (255 spaces). Based on national average hotel parking rates published by ITE, a 200-room hotel could be expected to have a peak parking demand of 240 spaces. However, based on surveys at the existing Hilton Garden Inn and the City's parking requirements for restaurants, it is estimated that the total peak parking demand would be only 149 spaces on weekdays and 160 spaces on Saturdays. These are conservative (high) estimates as they assume new hotel restaurant would attract its own clientele who are not hotel guests.

The previous estimates assume 100 percent occupancy of the expanded hotel. However, the total parking demand is expected to exceed the parking lot capacity of 152 spaces only on weekends with occupancy at or above 95 percent. Shashi plans to implement valet parking on weekend nights when the hotel occupancy is expected to be high in order to accommodate any excess parking demand above the normal parking lot capacity. Based on historical hotel occupancy data provided by the Shashi Group, it is expected that valet parking would be needed only occasionally on weekends. With valet parking, the parking lot could accommodate up to 178 vehicles, which would be more than sufficient to accommodate the projected overall parking demand for the proposed hotel and a traditional fine-dining type restaurant. The shared parking analysis presented in this report is based on a traditional sit-down restaurant without late-night dining hours. Additional analysis may be required if the proposed new hotel restaurant differs from this model.

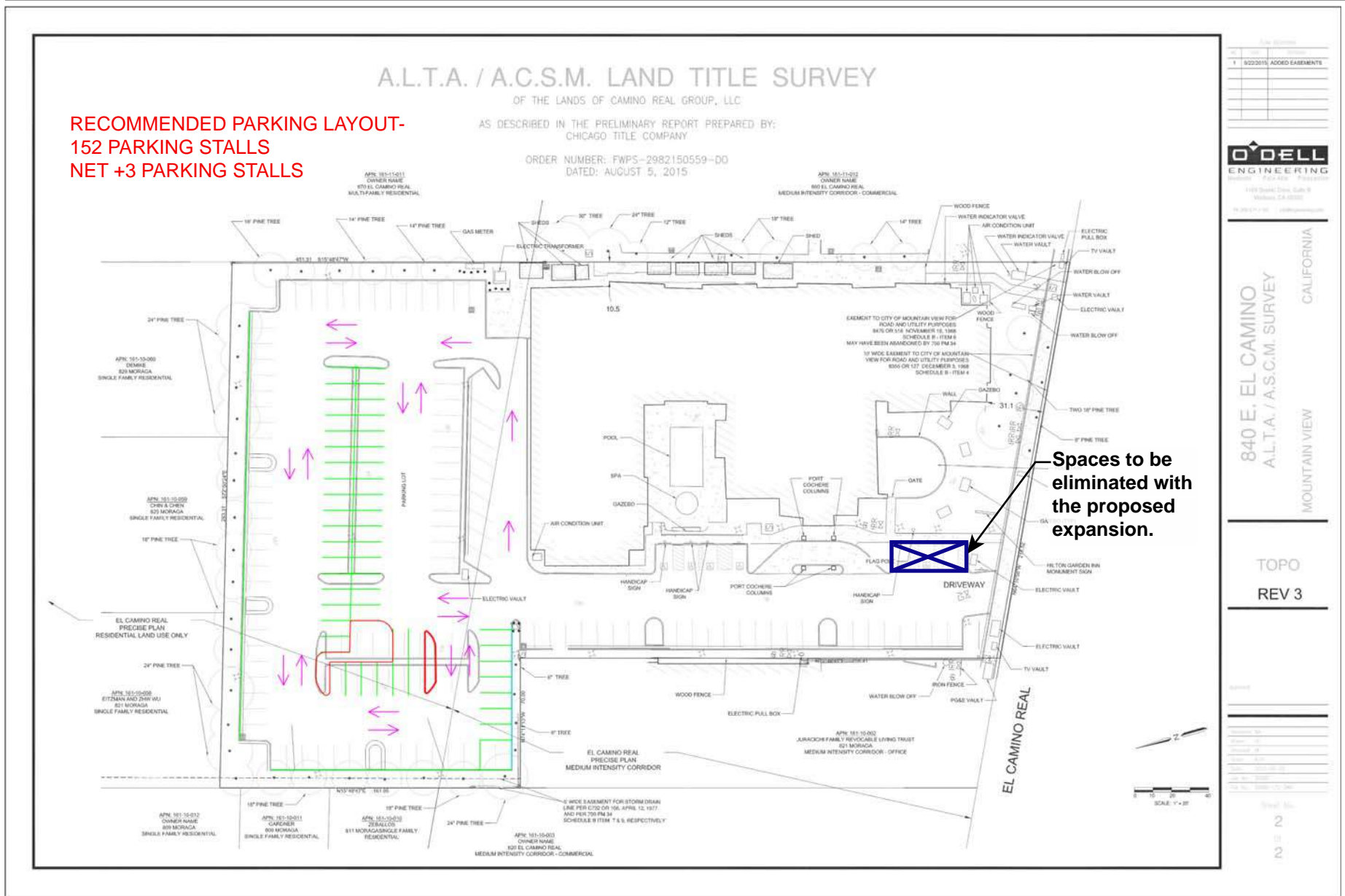


Figure 1
Recommended New Parking Layout for Self-Parking Lot

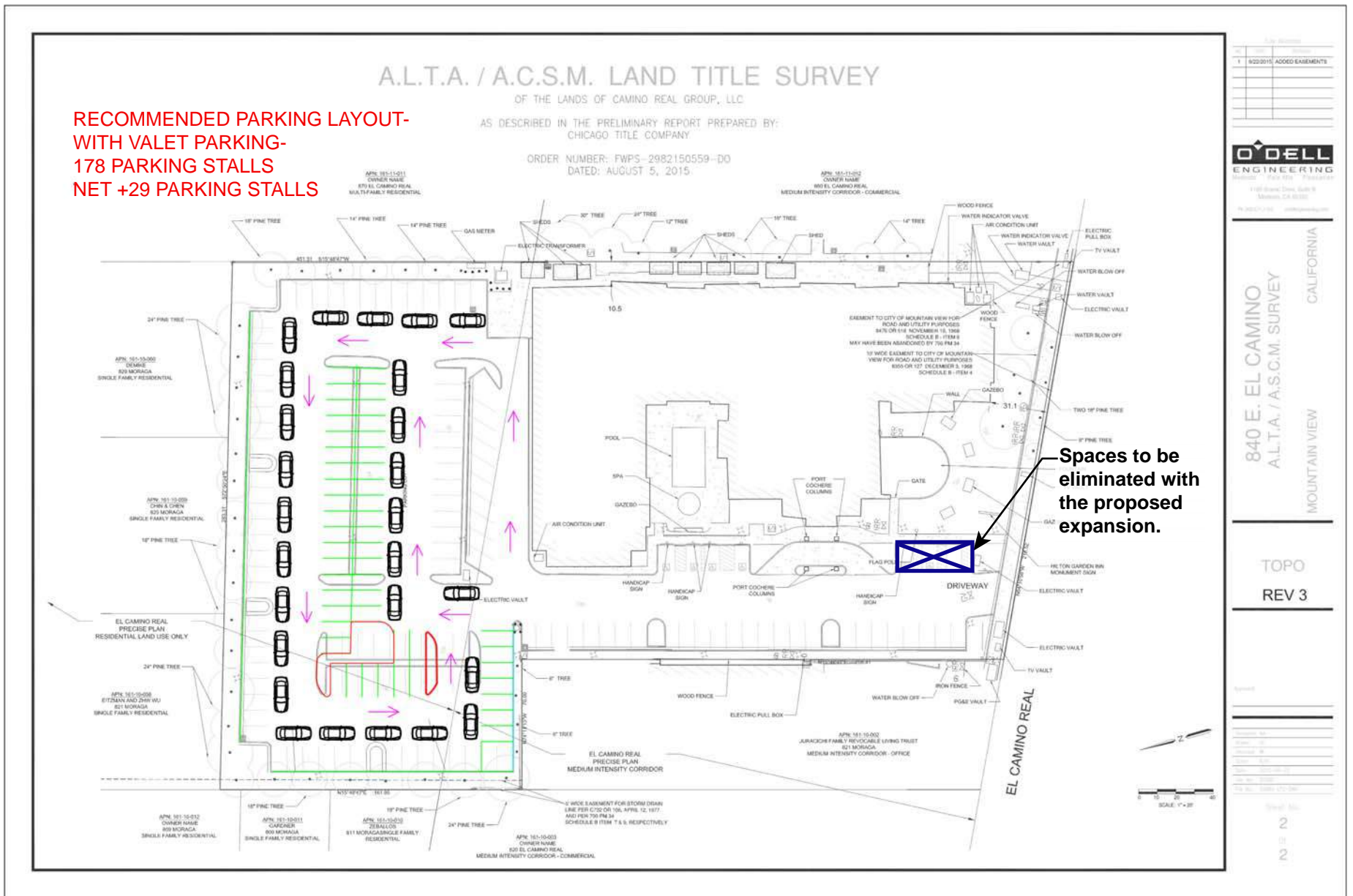


Figure 2
Recommended New Parking Layout When Valet Parking Allowed

PARKING DEMAND ESTIMATES FOR THE PROPOSED EXPANSION

This section outlines the process for estimating the parking demand for the proposed hotel expansion. Estimates for each of the individual components of the parking demand are described below, and the total estimated peak demand is summarized in **Table 4**.

EMPLOYEES

The number of hotel employees was assumed to increase proportionally to the hotel expansion – existing housekeeping and front desk employees were factored up by 25 percent when estimating future employee parking demand. Additionally, the number of food and beverage employees was assumed to increase from two per shift to eight per shift to account for the increased restaurant capacity. The hourly variation of employees on-site is shown in **Table 4**. The detailed composition of employees is documented in **Appendix B**.

Parking Rates

Consistent with the existing parking calculation, a parking rate of 0.25 spaces per employee was used to estimate the future parking demand for hotel and restaurant employees.

Estimated Parking Demand

Parking demand for hotel and restaurant employees was estimated using the assumptions described above. The peak parking demand for employee parking would be seven spaces, and would occur in the morning when the most employees are present.

HOTEL ROOMS (GUESTS AND VISITORS)

The proposed hotel expansion would add 40 guest rooms to the existing 160 rooms, yielding a total of 200 hotel rooms. According to the proposed site plan, the expansion would mainly occur in the building addition at the existing patio area. With the expansion, the types of hotel guests are expected to be similar to their existing guests.

Parking Rates and Time-of-Day Variations

Since the expanded hotel is anticipated to host similar types of guests and visitors as current conditions, it is assumed that the travel and parking pattern would also remain the same. Therefore, the existing parking rates for hotel rooms were used to develop estimates for the proposed 200-room hotel. Based on information shown in **Table 3**, the peak parking rate would be 0.68 spaces per occupied room. (The rates calculated from the counts on the other three days are all less than 0.60 spaces per occupied room.) To be

conservative, this study used the highest observed parking rate of 0.68 to estimate the parking demand generated by guests and visitors of the expanded 200-room hotel.

Estimated Parking Demand

Using the peak rate and time-of-day variations in **Table 3**, the peak parking demand for the expanded hotel with full occupancy was estimated to be 137 spaces, occurring between 11:00 pm and midnight. Detailed hourly demand estimates are presented in **Table 4**.

RESTAURANT PATRONS

The proposed expansion would replace the existing restaurant that mainly serves internal hotel guests with a new 4,300-square foot restaurant that is envisioned to carry its own identity and brand. The proposed site plan shows that the new restaurant would be located in the building addition at the existing outdoor patio area on El Camino Real; and restaurant patrons would have access from El Camino Real and through the hotel lobby. Based on the envisioned identity and proposed site plan, it is anticipated that the proposed restaurant would generate external (non-hotel guests) parking demand during its operating hours.

Parking Rates and Time-of-Day Variations

This study used the parking rates and time-of-day variations for Restaurant/Lounge under the broader Hotel land use category in ULI's *Shared Parking*, to estimate the parking demand generated by restaurant patrons. The recommended peak parking rate for this land use category is 10 spaces per thousand square feet (ksf), which is consistent with the parking requirement specified in the City of Mountain View Municipal Code. The time-of-day variation factors in ULI's *Shared Parking* indicate that the parking demand would peak around noon and reach approximately 70 percent between 6:00 pm to 8:00 pm. This analysis further increased the parking demand factor for the evening peak (6:00 pm to 8:00 pm) from 70 percent to 100 percent to account for the most conservative operating scenario (with highest parking demand) for the proposed restaurant. Based on information provided by the hotel management, the restaurant is expected to be closed after 10:00 pm; therefore this analysis assumed no demand would be generated by the restaurant patrons after 10:00 pm.

Estimated Parking Demand

Using the proposed square footage and the ULI parking rates, it is estimated that that peak parking demand generated by the restaurant-only patrons would occur at around noon (12:00 pm to 1:00 pm) and evening peak (6:00 pm to 8:00 pm), with 43 spaces (10 spaces/ksf x 4.3 ksf = 43). The peak parking demand for the restaurant would not overlap with the peak parking demand for the hotel guests and visitors.

SUMMARY OF ESTIMATED PARKING DEMAND

Based on demand rates and estimates for each of the individual components described above, the total estimated peak parking demand with full occupancy at the expanded Hilton Garden Inn is 141 spaces. The peak demand period is expected to occur on a weekday between 9:00 pm to 10:00 pm. **Table 4** and **Figure 1** present the summary of the aforementioned three components of the Hotel that generate parking demand and the time-of-day pattern of the parking demand. The peak parking demand for weekends was also calculated and presented in **Appendix C**.

**Figure 1 Estimated Parking Demand for the Proposed Hotel Expansion
 (at Full Occupancy)**

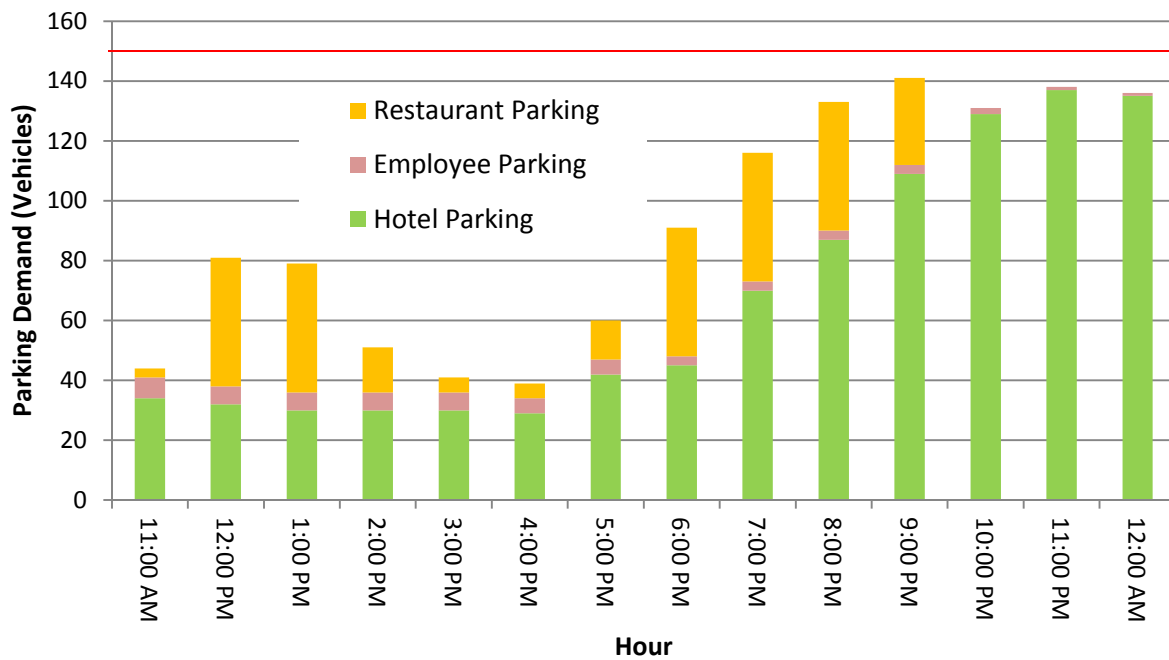


TABLE 4: ESTIMATED PARKING DEMAND FOR THE EXPANDED HILTON GARDEN INN

	Employees (ULI Shared Parking)		Hotel Guests/Visitors (Observed Rates)		Restaurant (ULI Shared Parking)		Total Parking Demand
	Base Rate ¹		Base Rate ²	Rooms	Base Rate ³	KSF	
	0.25		0.68	200	10.0	4.3	
Time	Employees	Employee Parking (A)	Hourly Variations	Hotel Parking (B)	Hourly Variations	Restaurant Parking (C)	A+B+C
11:00 AM	26	<u>7</u>	25%	34	5%	3	44
12:00 PM	24	6	23%	32	100%	<u>43</u>	81
1:00 PM	24	6	22%	30	100%	<u>43</u>	79
2:00 PM	21	6	22%	30	33%	15	51
3:00 PM	21	6	22%	30	10%	5	41
4:00 PM	19	5	21%	29	10%	5	39
5:00 PM	19	5	30%	42	30%	13	60
6:00 PM	11	3	33%	45	100% ⁴	<u>43</u>	91
7:00 PM	10	3	51%	70	100% ⁴	<u>43</u>	116
8:00 PM	10	3	63%	87	100% ⁴	<u>43</u>	133
9:00 PM	10	3	80%	109	67%	29	<u>141</u>
10:00 PM	6	2	94%	129	0%	0	131
11:00 PM	2	1	100%	<u>137</u>	0%	0	138
12:00 AM	2	1	99%	135	0%	0	136
Peak Parking Demand (9:00 pm - 10:00 pm)							<u>141</u>

Note:

¹Unit for employee parking rate is spaces/employee

²Unit for hotel guest/visitor parking rate is spaces/occupied room

³Unit for restaurant parking rate is spaces/ksf

⁴Hourly variations were increased from approximately 60-70 percent to 100 percent during the evening peak (6PM to 8PM) to account for highest demand

Underlined text highlights the peak parking demand for each component

Source: Fehr & Peers, 2016.

**Technical Memorandum**

Date: August 7, 2017

To: Carly Panos
Assistant Planner/Community Development
City of Mountain View
Email: Carly.Panos@mountainview.gov

Project No.: 138-053

From: Nayan Amin, T.E.
Project Manager

Jurisdiction: Mountain View

Subject: ***Parking Demand and Trip Generation Study for Proposed Hotel Expansion located at 840 East El Camino Real in the City of Mountain View***

The purpose of this memorandum is to present the analysis results for parking demand and trip generation at the proposed hotel expansion located at 840 East El Camino Real in the City of Mountain View. The project proposes to expand the existing 160-room hotel to add approximately 18,748 square feet, including 40 guest rooms and 4,421 square feet of leasable restaurant space. The restaurant space would be for a standalone full service restaurant. Projected parking demand for the project is based on parking demand at similar hotel uses and the City of Mountain View zoning ordinance. Parking demand estimates were used to determine whether the proposed project will require more parking than the current supply of 149 spaces. Trip generation for the proposed project was also calculated for use in a future transportation impact study.

Parking Occupancy Survey

TJKM surveyed parking demand at three hotel/retail/restaurant locations with a similar mix of uses and shared, free parking supply, along El Camino Real in Mountain View. Two of the three hotels surveyed were mixed use, including one (Hotel Strata) with a freestanding full-service restaurant serving breakfast, lunch, and dinner. Parking surveys were conducted near Independence Day, on Sunday, July 2, Monday, July 3, and Wednesday, July 5, 2017. Hotels tend to be busier during holiday weekends, leading to more conservative estimates of parking demand. In addition, parking demand was calculated based on total available rooms, rather than occupied rooms exclusively, to better account for local and seasonal variations in hotel occupancy. The maximum parking demand observed for each hotel is presented in **Table 1**, and raw survey results are attached in **Appendix A**. Findings from this study will assist in determining the expected parking demand for the proposed mixed-use expansion at the project site.

The following sites were selected for survey:

- Crestview Hotel, 901 E. El Camino Real, Mountain View – mixed use with adjacent small shopping center
- Hotel Strata, 93 W. El Camino Real, Mountain View – mixed use with adjacent stand-alone restaurant
- Residence Inn by Marriott Palo Alto Mountain View, 1854 W. El Camino Real, Mountain View – hotel only

Table 1. Parking Survey Results, Maximum Parking Demand vs. ITE Rates

Hotel	Total Rooms	Observation Period	Occupied Spaces	Parking Demand (spaces/room)
Crestview Hotel	64	11:00 PM	27	0.42
Hotel Strata	58	11:00 PM	38	0.66
Residence Inn	140	6:00 AM	90	0.65
Maximum				0.66
ITE: Hotel, weekday	-	-	-	0.89 / occupied room

The parking surveys conducted at nearby hotels indicate a maximum peak parking demand of 0.66 spaces per room, with the highest demand on Sunday night, generally in the late evening. Based on the maximum peak parking demand, it is estimated that the expanded Hilton Garden Inn would require 26 additional parking spaces for the 40 new guest rooms and restaurant space. The completed expansion would bring the total number of guest rooms to 200, for a total parking demand of 132 parking spaces. Since holiday weekends, such as Independence Day weekend, tend to result in higher hotel occupancy, parking demand will also tend to be higher. Parking demand estimates based on counts conducted on July 2 will therefore be more conservative than those conducted at less busy times of the year.

Based on rates published by ITE in *Parking Generation (4th Edition)*, the average peak period parking demand for suburban hotels is 0.89 spaces per occupied room on a weekday (Hotel, ITE Code 310). Based on ITE rates, the peak parking demand for the project would be 178 spaces at 100 percent occupancy, compared with the 149 currently proposed. Based on the proposed site plan, which indicates a total of 149 spaces, the proposed parking supply would serve an occupancy of 84 percent. TJKM understands that typical maximum average occupancy is in the range of 80 to 85 percent.

The City of Mountain View zoning ordinance requires that hotels provide one space per room, one space per two employees, and any parking required for ancillary uses. This would be one space for each 100 square feet of gross floor area for restaurants. The zoning ordinance would

require 40 new spaces for the expanded hotel (assuming no additional hotel staff) and 44 additional parking spaces (i.e., $4,421/100 = 44$) for the attached restaurant use, for a total of 84 new spaces. This requirement is higher than the hotel parking demand rate above would generally indicate. Depending on the number of restaurant trips made by hotel guests, the actual parking demand of the project may be significantly lower than the zoning ordinance would require.

The experience of TJKM is that many parking ordinances do not account for the fact that different functions within a hotel peak at different times of the day. For example, most employees are on duty during mid-day periods such as 9 a.m. to 4 p.m., when the majority of guests are off site. Also, hotels experience their peak occupancy between 11 p.m. and 6 a.m. when most guests are present. However, during this time, there are usually no restaurant patrons, either from hotel guests or even from off the premises. Therefore, there is no reason to consider separate parking for most restaurants since they can utilize the spaces that guests will occupy after the restaurant is closed. Many hotel guests are business people who have arrived from out of town, frequently by air or transit. Recent trends are for hotel guests to arrive either by carpool in rented cars or utilize taxicabs or Uber or Lyft. These trends reduce the need for parking demand.

Trip Generation

Project trips were estimated based on *Trip Generation (9th Edition)*, published by the Institute of Transportation Engineers (ITE) and the City of Mountain View TDM Trip Reduction Summary (2030 General Plan, table IV.C-1). Trips were estimated using trip generation rates for Hotel (ITE Code 310) and High-Turnover (Sit-Down) Restaurant (ITE Code 932) land uses. Trip generation rates will be used as part of the transportation impact study (TIS) to be completed in the future. Trip reductions were calculated to account for the planned TDM program and passer by trip discount as per ITE. To be conservative, TJKM assumed that no restaurant trips are made by hotel guests. The proposed project is expected to generate 858 net additional daily trips, including 66 net additional trips during the a.m. peak hour and 47 net additional trips during the p.m. peak hour. Trip generation calculations are presented in **Table 2** below.

The City has made the implementation of a TDM program a condition of approval for the proposed project. City staff will review the TDM program to determine if it is adequate to meet the 3.9% trip reduction included in this trip generation.

Conclusion

Parking surveys of nearby hotels on El Camino Real indicate that the parking requirements outlined in the City of Mountain View zoning ordinance are higher than parking demand would warrant for the project location. TJKM concludes that the required parking supply for the



proposed project should be based ITE parking demand rates rather than zoning requirements or observations of other hotels. Based on ITE parking demand rates, the proposed parking supply would serve an occupancy of 84 percent. TJKM understands that typical maximum average occupancy is in the range of 80 to 85 percent. Based on ITE trip generation rates, the proposed project is expected to generate 858 net additional daily trips, including 66 in the a.m. peak hour and 47 in the p.m. peak hour.

Table 2. Proposed Project Trip Generation

Proposed Land Uses (ITE Code)	Building Area	Units	Daily		AM Peak					PM Peak						
			Rate	Trips	Rate	In %	Out %	In	Out	Total	Rate	In %	Out %	In	Out	Total
Hotel (310)	40	rooms	8.17	327	0.53	59	41	13	9	21	0.60	51	49	12	12	24
High Turnover (Sit-Down) Restaurant (ITE Code 932)	4.4	k.s.f	127.15	559	10.81	55	45	26	21	48	9.85	60	40	26	17	43
Grand Total				886				39	30	69				38	29	68
TDM Measure Reduction, 3.9%¹				10				2	1	3				1	1	2
Peak Hour Pass by Trip Reduction (ITE), 43%²				19										11	8	19
Net Total Trips				858				37	29	66				26	21	47

Notes:

Source - ITE Trip Generation Manual, 9th Edition (2012).

Rates per room for hotel use; per 1,000 s.f for restaurant use.

¹TDM Measure Reduction, 3.9% peak hour/1.1% daily based on City of Mountain View TDM Trip Reduction Summary.

²ITE Pass-by reduction rate of 43% for High Turnover (Sit-Down) Restaurant (ITE Code 932).



Appendix A

Parking Demand Survey Results

Crestview Hotel - 901 E El Camino Real, Mountain View, CA 94040

Sunday 07/02/2017		Monday 07/03/2017		Wednesday 07/05/2017	
Time	Parking Occupied	Time	Parking Occupied	Time	Parking Occupied
6:00 AM	25	6:00 AM	9	6:00 AM	19
7:00 AM	23	7:00 AM	9	7:00 AM	16
8:00 AM	21	8:00 AM	11	8:00 AM	15
6:00 PM	18	6:00 PM	15	6:00 PM	22
7:00 PM	19	7:00 PM	18	7:00 PM	20
8:00 PM	14	8:00 PM	20	8:00 PM	18
10:00 PM	21	10:00 AM	23	10:00 AM	16
11:00 PM	27	11:00 AM	21	11:00 AM	21
Maximum	27		23		22

Hotel Strata - 93 W El Camino Real, Mountain View, CA 94040

Sunday 07/02/2017		Monday 07/03/2017		Wednesday 07/05/2017	
Time	Parking Occupied	Time	Parking Occupied	Time	Parking Occupied
6:00 AM	20	6:00 AM	20	6:00 AM	19
7:00 AM	23	7:00 AM	20	7:00 AM	18
8:00 AM	21	8:00 AM	22	8:00 AM	21
6:00 PM	24	6:00 PM	33	6:00 PM	15
7:00 PM	21	7:00 PM	35	7:00 PM	18
8:00 PM	28	8:00 PM	29	8:00 PM	21
10:00 PM	35	10:00 AM	26	10:00 AM	22
11:00 PM	38	11:00 AM	25	11:00 AM	24
Maximum	38		35		24

Residence Inn by Marriott - 1854 W El Camino Real, Mountain View, CA 94040

Sunday 07/02/2017		Monday 07/03/2017		Wednesday 07/05/2017	
Time	Parking Occupied	Time	Parking Occupied	Time	Parking Occupied
6:00 AM	90	6:00 AM	70	6:00 AM	72
7:00 AM	85	7:00 AM	67	7:00 AM	65
8:00 AM	81	8:00 AM	60	8:00 AM	59
6:00 PM	33	6:00 PM	35	6:00 PM	36
7:00 PM	35	7:00 PM	45	7:00 PM	45
8:00 PM	39	8:00 PM	55	8:00 PM	51
10:00 PM	71	10:00 AM	62	10:00 AM	70
11:00 PM	86	11:00 AM	70	11:00 AM	78
Maximum	90		70		78

CITY OF MOUNTAIN VIEW MUNICIPAL CODE REQUIREMENTS

The City of Mountain View Municipal Code lists the number of required parking spaces for different types of development which are summarized in Chapter 36.32.50. **Table 5** presents the number of parking spaces required per the City of Mountain View Municipal Code. As shown in the table, the proposed 149 spaces for the expanded hotel would be 107 spaces less than the required 256 spaces (if no shared reduction is applied).

TABLE 5: PARKING SPACE REQUIREMENT PER CITY OF MOUNTAIN VIEW MUNICIPAL CODE

Land Use	Quantity	Unit	Parking Ratio	Unit	Parking Requirement
Hotel - Rooms	200	Rooms	1.00	space/room	200
Hotel - Employees	26	Employees	0.50	space/employee	13
Restaurant	4.3	KSF	10.00	space/ksf	43
Total Parking Demand					256

Source: Fehr & Peers, 2016.

It should be noted that the code requirements do not account for site-specific parking characteristics as those measured during the parking surveys. Chapter 36.32.70 also specifies that for parking facilities that are established and operated by multiple uses, parking requirements may be reduced upon determination by the planning commission if justified by an independent parking demand study such as the shared parking analysis detailed in this memorandum.

INSTITUTE OF TRANSPORTATION ENGINEERS (ITE)

Institute of Transportation Engineers (ITE) has also published an information report, *Parking Generation, Fourth Edition (2010)* that can be used to estimate parking demand of a development. The documents is based on parking demand studies submitted to ITE by public agencies, consulting firms, universities, and colleges; developers, associations, etc.

The parking demand for the proposed expansion estimated using the Hotel – Suburban land use category (Land Use 310) is 161 spaces on a weekday and 240 spaces on Saturday. Studies for this land use category in ITE include the parking demand generated by the supporting facilities including restaurants, meeting/banquet space and retail space. However, all previous study sites submitted to ITE did not specify the presence or the level of activities of the supporting facilities. Therefore, it would be difficult to determine the actual demand associated with hotel rooms separated from the demand generated by the supporting facilities.

SUMMARY AND CONCLUSION

The estimated peak parking demand generated by the proposed hotel expansion and the new restaurant, using a conservative set of assumptions, would occur on weekday evening between 9:00 pm and 10:00 pm and would be 141 spaces. The hotel would provide sufficient parking for all proposed uses on the site with 149 spaces.

If a shortfall would occur during special occasions (i.e. events, holidays, etc.), the hotel management could consider implementing valet parking service. Valet parking would utilize the aisle space between parking stalls. Assuming that each valet parking space is 20 feet long and 9 feet wide, the 230-foot aisle on the northern end of the parking lot can accommodate 11 valet parking spaces; the 129-foot parking aisle on the west side of the parking lot can accommodate six (6) valet parking spaces; the 114-ft parking aisle on the east side of the parking lot can accommodate five (5) valet parking spaces; and the center parking area can accommodate an additional six (6) spaces in the east-west direction and four (4) spaces in the north-south direction. As a result, the implementation of valet service would add up to 32 parking spaces to the proposed parking supply of 149 spaces and increase the parking supply to 181 spaces. A recommended valet parking layout is shown in **Figure 2**.

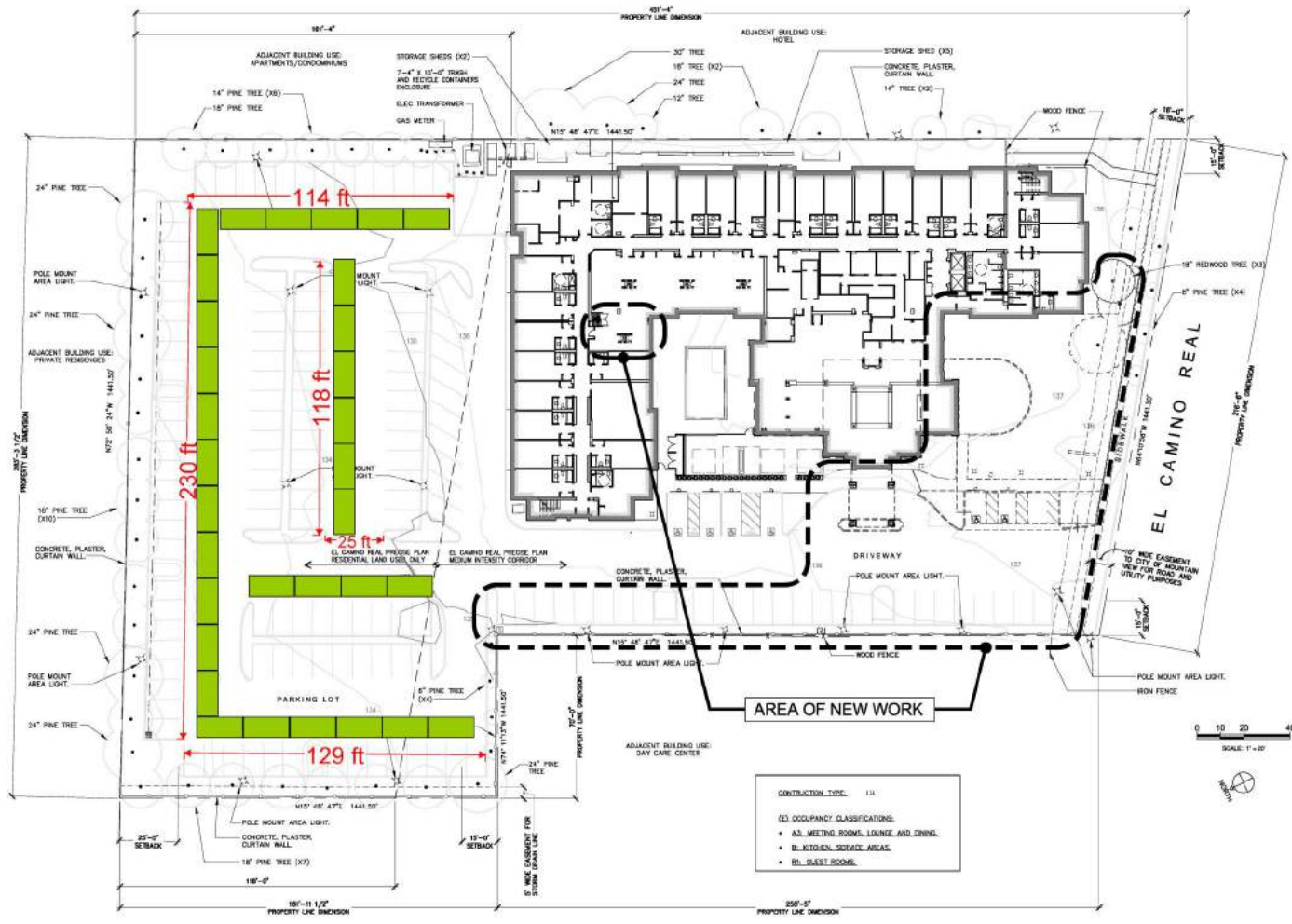


Figure 2
Recommended Valet Parking Layout



11/13/2019

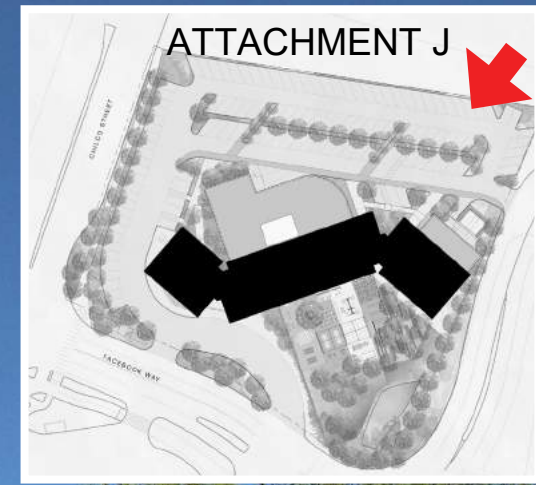
citizenM Menlo Park - Shared Parking Agreement Terms

The following terms have been proposed by citizenM (“cM”) and Facebook (“FB”) to govern cM’s use of Facebook’s neighboring parking garage.

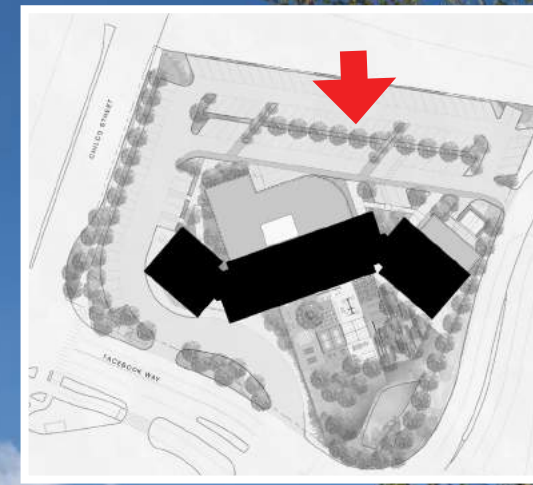
Parking Spaces	cM shall be entitled to the use of 127 parking spaces in the FB parking facilities for cM employees, agents, invitees and customers (“cM Parking Spaces”). The number of cM Parking Spaces may be increased as required to be provided to the hotel parcel under applicable laws, including City of Menlo Park (“City”) requirements.
Designated Parking Spaces	FB will work with cM to designate an area within the garage for the cM Parking Spaces.
Term / Termination	The parking agreement will become effective as of the opening of the hotel and will remain in effect through the earlier of any of the following: (a) the expiration of the term of the ground lease; (b) the parties’ agreement, subject to approval from the City or any other governmental agency having land use jurisdiction over the hotel parcel; or (c) the hotel parcel no longer being used for hotel purposes.
Costs	Consideration for the cM Parking Spaces is included in the rent payments from cM to FB under the ground lease.
Parking Access	FB will work with cM to develop the necessary systems for vehicles to be able to gain access to the cM Parking Spaces through the security booth and/or access control devices to Facebook’s garage.
Maintenance, Insurance, Utilities and Taxes	FB is responsible for maintenance, insurance, utilities and taxes relating to the parking facilities, including the cM Parking Spaces.
Operations	FB, or a third-party operator subcontracted by FB, shall manage the parking structure, including the cM Parking Spaces. cM may subcontract a third-party operator for valet operations, provided that cM shall be responsible for obtaining and maintaining in effect insurance coverage for such operations.
Covenants, Representations and Indemnities	The parking agreement will contain customary obligations for each party, including any mortgagee protection provisions.

325400019.1

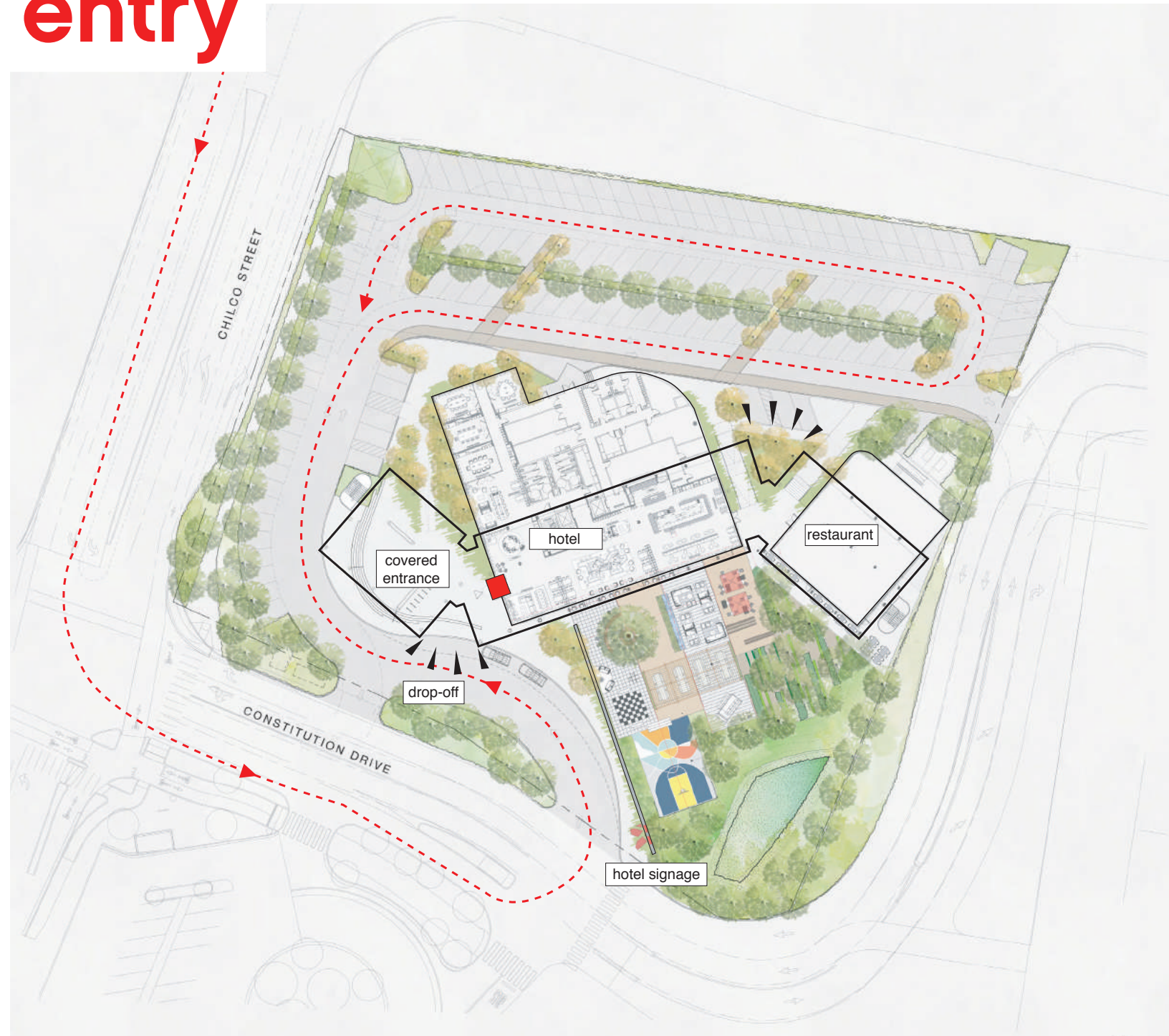
approach from Bayfront



approach from Bayfront



hotel entry



The building is divided in 3 pieces, driving towards the hotel the building will appear differently from every angle. Besides creating interest to the architecture the open corners highlight the entrance to the hotel or restaurant.



The landscape around the building guides visitors and guests towards the covered entrances inside the open corners of the building.



Typical for citizenM are the vibrant colours used in the interior and the use of colourful art which clearly highlight the entrance of the hotel, signage is added to avoid any confusion.

hotel entry





STAFF REPORT

City Council Meeting Date: 2/11/2020
Staff Report Number: 20-028-CC

Public Hearing: Consider the Planning Commission's recommendation to approve architectural control, use permit, major subdivision, and below market rate housing agreement for nine single-family residential units located at 661-687 Partridge Avenue

Recommendation

The Planning Commission and staff recommend that the City Council make the necessary findings and following actions for approval of the proposed project at 661-687 Partridge Avenue, located in the low-density apartment (R-2) zoning district:

1. Adopt Resolution No. 6538 Attachment A, to approve the following:
 - a. Architectural control for the demolition of seven existing single-family residences and one duplex across three independent lots and the construction of seven new two-story, single-family residences and one new two-story duplex;
 - b. Use permit for excavation within the required left side and rear setbacks for light wells for the basements of five units;
 - c. Major Subdivision to merge the existing three lots into one lot and create nine residential condominium units; and
2. Adopt Resolution No. 6539 Attachment B, to approve a below market rate (BMR) housing agreement for provision of an on-site BMR unit and one bonus market-rate unit in compliance with the City's BMR housing program.

Policy Issues

The proposed project requires the City Council to consider the merits of the project. The City Council will need to consider architectural control, subdivision map and use permit findings, and a resolution regarding the BMR housing agreement for the project. The City Council is the final decision-making body on the proposed project, and the policy issues summarized here are discussed in detail throughout the staff report.

Background

Site location

The subject property includes three adjacent parcels located at 661 to 687 Partridge Avenue, which would be merged as part of the proposed development. Using Partridge Avenue in the north-south orientation, the subject property is located on the eastern side of Partridge Avenue, between El Camino Real and University Drive. A location map is included as Attachment C.

Most parcels on Partridge Avenue are also zoned R-2 (low density) and are occupied by a mix of single-story and two-story single-family residences, duplexes and multifamily units. The properties at the ends of

Partridge Avenue, to the north where it intersects with El Camino Real and to the south where it intersects with University Drive, are part of the El Camino Real downtown specific plan and the R-1-U (single-family urban) district, respectively. At the north end of Partridge Avenue, those parcels immediately adjacent to the specific plan parcels are zoned R-3 (apartment.) The R-3 parcels feature a mix of single-family residences, duplexes, and three- and four-unit developments. Single-family residences occupy the R-1-U lots at the south end of Partridge Avenue.

Project description

The applicant is proposing to demolish the seven existing units and all accessory structures on the three lots that comprise the subject property and construct seven new two-story single-family residences, and one new two-story duplex, all with basements. The proposal includes a request for architectural control to construct the new units in three architectural styles, and a use permit for excavation within the required setbacks to accommodate light wells for the basements of the units #1 and #4 along the left side and units #7, #8 and #9 at the rear of the development. A site map with the proposed unit numbers can be found on Sheet A-1 of the project plans (Attachment D.) The applicant is proposing a subdivision to merge the three existing lots and create nine residential condominium units. Since the proposal includes five or more condominium units, this is considered a major subdivision and the City Council is the final decision-making body for the proposal.

The project site is 28,534 square feet in area (0.655 acres). Parcels in the R-2 zoning district have a minimum lot area of 3,500 square feet per unit, allowing eight units on the subject site at a density of 12.2 units/acre. The applicant is proposing a BMR unit and a bonus unit under the City's BMR housing program density bonus, which allows the applicant to construct a market rate unit for each BMR unit provided. The density bonus increases the allowable floor area by the average unit size to accommodate the added density. A data table summarizing parcel and project attributes is included as Attachment E. The applicant's project description letter is included as Attachment F.

Planning Commission review

On January 13, the Planning Commission reviewed the proposed project. One member of the public spoke during public comment at the meeting to restate concerns provided to staff in writing regarding air conditioner unit energy usage and noise, and two new concerns. The new concerns regarded potential impacts to the neighborhood sanitary sewer system from the new units and mistrust of the builder, stemming from a previous project on the street. The original correspondence was discussed in the Planning Commission staff report, which is available via hyperlink as Attachment G. Though not discussed at the meeting, the engineering division provided the plans to West Bay Sanitary District for review and the proposal will comply with all related requirements.

The Planning Commission discussed the positive aspects of the inclusion of a large-family BMR unit, as well as their concerns over the amount of paving, possibilities to increase landscaping, and desired design changes that are discussed in more detail in the design section to follow. The Commission unanimously recommended that the City Council approve the proposal, subject to two design-related and two landscaping-related conditions. The Planning Commission's recommended conditions are discussed in more detail in the analysis portion of the report, and were incorporated as project-specific conditions of approval 6h i-iv in Attachment A, Exhibit A.

Since the Planning Commission meeting, one condition of approval has been deleted, three conditions of approval have been modified, and one has been added for clarity (Attachment A, Exhibit A). In addition, staff has refined some of the conditions of approval for clarity in timing for submittal of documents as part of the building permit and/or final map. In the plan set (Attachment D,) the applicant has addressed one previous condition (former 7h) regarding floor area data noted in the site data on Sheet A-1 of the plans. Since the current plan set (Attachment D) includes the revised floor area data that resolves the discrepancy

in the plans, the project-specific condition of approval pertaining to this item has been removed from the recommended actions. The three standard conditions of approval outlining the process for reviewing changes to the proposed project (conditions 5b – 6d in Attachment A, Exhibit A) have been updated to reflect current conditions for projects involving architectural control. Additionally, staff included a project-specific condition of approval (condition 6i) requiring documentation that the final map is recorded prior to issuance of the building permits for the project. In light of this change, several standard conditions of approval were modified to be tied to the approval of the final map, which would occur before recordation. A draft meeting minute excerpt from the January 13 Planning Commission meeting is included as Attachment H.

Analysis

The City Council will be the final decision-making body on the architectural control, use permit, tentative map and BMR agreement. The following sections discuss the various aspects of the proposed project. More detailed analysis of the project attributes can be found in the Planning Commission staff report (Attachment G.)

Design and materials

The applicant indicates the site configuration was designed to create individual single-family residences, similar to other two-story, two-unit developments along Partridge Avenue. The proposed units would all have four bedrooms and 4.5 bathrooms with full finished basements. They would feature three architectural styles: colonial, farmhouse, and craftsman with minor differences in the material treatments and colors across the units within a style to provide variation. The front six and rear three units share similar floor plans, mirrored accordingly to accommodate access relative to the proposed position on the site. As a result, the size and massing of the structures are similar. The roofline of the first floor and application of a bellyband between the floors are intended to break up the massing. The diversity in the material application of the three styles would ensure the units appear distinct despite the similarity in massing.

The size and position of second story windows would limit potential privacy concerns for the patios of the interior units, as well as potential privacy concerns for neighboring properties along the left side where the structures would be built at the minimum setback. These windows would feature six-foot sill heights for windows at the second floor facing patios. To further reduce potential privacy concerns at the left side of the development, the Planning Commission recommended the width of the pathways leading around the lightwells in the side yard for unit #1 and unit #4 be reduced, and additional landscape screening trees be planted between the path and the fence along the left side property line. This recommendation is included as part of project-specific condition of approval 6h i-ii (Attachment A, Exhibit A.) Planning staff would confer with the city arborist to ensure the proposed plantings will have space sufficient to grow successfully to a height sufficient for screening.

The applicant has indicated that design elements have been applied to the proposed units in order to differentiate each from the others within their respective style. Staff recognizes these elements (shutters, window-sill planters, decorative rail, etc.) and the proposal of three styles generally to be a benefit to the project. The Planning Commission discussed the treatment of materials across the proposed project and raised some concerns over the consistent application of some of the design elements. The Commission proposed two design-related recommended conditions, which staff has included as part of project-specific condition of approval 6h iii-iv in the recommended actions (Attachment A, Exhibit A.) The first would require the applicant to paint the corner boards to match the color of the walls that they terminate. The second condition would require the applicant to switch the craftsman style of unit #7 for the farmhouse style of unit #9 to reduce the distinction between the craftsman and colonial styles proposed for the duplex proposed at the rear of the site (units #7 and #8.)

The proposal includes a use permit request to allow excavation within the required side left setback for units

#1 and #4 and the required rear setbacks for units #7 and #8 to accommodate light wells for the basements of these units. The proposed light wells would extend approximately 3.5 feet into the 10-foot side setback, and 3.8 feet into the required 20-foot rear setback to provide enough space for egress. The light wells are not proposed for active use. Staff believes that the proposed excavation in the left side and rear setback for the light wells would maintain sufficient space between the proposed residences and the existing neighboring structures.

Parking, circulation and landscaping

Access to the site would be provided by two permeable-paver driveways. One driveway is proposed between units #1 and #2, serving six of the units (#1, #2, #4, #5, #7 and #8.) The other driveway is proposed to be an 18-foot driveway at the right side of the property that would serve the remaining three units (#3, #6, and #9.). Emergency vehicle access and utilities easements over the site would be dedicated through the Final Map, pursuant to project-specific condition of approval 6b (Attachment A, Exhibit A.) All utilities serving the units would be underground beneath the driveways.

Each of the units is proposed to have an attached one-car garage, with a bicycle hook for long-term bicycle storage, and an uncovered parking space near the home. The Planning Commission made a recommendation to increase landscaping in areas not required for fire access and parking and circulation, which was included as project-specific condition of approval 6h ii (Attachment A, Exhibit A.) To comply with this condition, the applicant would be required to reduce the paving provided for the uncovered spaces to the minimum required dimensions, and provide a revised site plan illustrating the additional landscaping and compliant turning diagrams.

The site is proposed to be developed to maintain private yards for each of the units. The yards would be landscaped around a paved patio and the light wells for the basements, and growing vines are proposed on the separating fences to increase the greenery of the site. As mentioned previously, additional landscape screening trees would be added to the yards for units #1 and #4 at the left side. In addition to the reduced area of uncovered parking spaces, the total area of the paving on-site would be reduced to accommodate additional landscaping wherever possible. The applicant has included landscape plans (Sheet L-1) in their proposed plans (Attachment D,) which illustrate the proposed location of four new trees that would be planted on the site. An updated landscape plan reflecting the increased landscaping would be required as part of project specific condition of approval 6h (Attachment A, Exhibit A.)

The applicant is proposing to remove one 17-inch diameter fig tree (Tree #8) located at the rear of the subject site on the left side and 11 non-heritage trees on the subject site. Additional details regarding the trees can be found in the Planning Commission staff report (Attachment G.) The city arborist reviewed and approved the tree removal, due to the condition of the tree and the fact that it is in conflict with the proposed development, and also approved the replacement species and location. No one appealed the approval to remove the heritage tree. The replacement tree would be a 24-inch-box red maple, which would be a larger size than the typical minimum 15-gallon planting. The heritage tree removal approval is conditional, subject to the City Council's final action on the project and issuance of the building permits for the project. All recommendations identified in the arborist report prepared for the proposed project were reviewed by the city arborist and would be ensured through condition 5ee.

Tentative map

The applicant is requesting approval of a tentative map for a major subdivision to merge three lots and to create nine residential condominium units on one shared lot. The potential condominium subdivision would allow the individual residential units to be bought or sold independently.

State law outlines factors that the City Council may consider in reviewing the request for subdivisions.

Specifically, there are five factors for the City Council to consider.

The first consideration is whether the proposed subdivision is in conformance with the City's general plan. The general plan land use designation for the subject property is residential medium density, which is consistent with the R-2 (low-density apartment) zoning district. The proposed subdivision would comply with the zoning ordinance and subdivision ordinance and would not conflict with general plan goals and policies, including the following:

- Maintain and enhance the character, variety and stability of Menlo Park's residential neighborhoods. (Goal LU-2)
- Require residential developments of five or more units to comply with the provisions of the City's BMR housing program, including eligibility for increased density above the number of market rate dwellings otherwise permitted by the applicable zoning and other exceptions and incentives. (Policy LU-2.5)
- Require all electric and communications lines serving new development to be placed underground (Policy LU-2.6)
- Encourage development of a range of housing types in the El Camino Real/Downtown specific plan area, consistent with the specific plan's standards and guidelines, and the areas near/around the specific plan area (Policy LU-5.2).

The second factor to consider is whether the site of the subdivision is physically suitable for the proposed type or density of the development. The proposed subdivision would meet all applicable regulations of the subdivision ordinance as well as all development regulations pertaining to the R-2 district within the zoning ordinance. The existing lots contain seven residential units developed in duplex and stand-alone single-family residential homes with shared driveways. The proposed subdivision would result in nine residential units that are consistent with the neighboring properties. Emergency vehicle access would be provided to all units.

The third and fourth factors are concerned with whether the design of the subdivision or proposed improvements is likely to cause substantial environmental damage or serious public health problems. The proposed subdivision is located within a fully developed neighborhood and all necessary utilities are readily available. In addition, the development of the properties would need to adhere to specific conditions of the engineering division, all applicable building codes, and requirements of other agencies such as the Sanitary District, Menlo Park Fire Protection District, and other utility companies. Adherence to the recommended conditions of approval and all applicable codes would eliminate substantial or serious environmental or public health impacts.

The final factor to consider is whether the proposed subdivision would conflict with any public access easements. No public access easements currently exist on the site, so there is no conflict.

Staff has reviewed the tentative map and has found the map to be in compliance with State and City regulations subject to the conditions outlined in Attachment A, Exhibit A. All standard conditions of approval would need to be complied with prior to recordation of the final map and the final map would need to be recorded prior to building permit issuance per project specific condition 6i (Attachment A, Exhibit A). The applicant would need to apply for the final map within two years of the approval date of the tentative map. In order to deny the proposed subdivision, the City Council would need to make specific findings that would identify conditions or requirements of the State law or the City's ordinance that have not been satisfied.

BMR housing agreement

The applicant is required to comply with Chapter 16.96 of City's Municipal Code ("BMR ordinance"), and with the BMR housing program guidelines adopted by the City Council to implement the BMR ordinance ("BMR guidelines") as the project would include five or more residential units.

In accordance with the City's BMR guidelines, for residential developments of five to nine units, it is preferred that the developer provide one unit at BMR on-site. The BMR ordinance requires the applicant to submit a BMR housing proposal for review by the Housing Commission. The applicant is proposing to satisfy the project's BMR obligation through the construction of one on-site, for-sale moderate-income level BMR unit. The BMR agreement includes a provision that would obligate the owner to return to the City to reconsider the BMR agreement to comply with the rental guidelines of the BMR program if the units are not sold following the completion of the final map or if a map is not pursued, resulting in rental units. The BMR agreement specifies that the applicant would be required to provide a request for an amendment to the agreement in writing, and that the amendment would be taken to the Housing Commission for recommendation and to the community development director for final action.

The proposed BMR unit would be a new four bedroom, three bathroom, two-story unit in a colonial style building with an attached one-car garage and a full basement, located in the center row on the right side of the development. The BMR unit would have the same floor plan as five other units at the front of the site. The total size of the BMR unit would be approximately 2,310 square feet, inclusive of the basement and one-car garage. As shown on the proposed elevations, the exterior of the BMR unit would be indistinguishable from those of the market-rate units with the same colonial style.

Density and FAR bonuses and incentives

As noted previously, the R-2 zoning district development standards for R-2 parcels with a lot area over 7,000 square foot allow one dwelling unit per 3,500 square feet of area, which allows eight residential units for this parcel. The zoning ordinance allows a developer to build one additional market rate unit and, in the case of a subdivision, to create a legal lot or condominium unit for such additional unit, for each BMR unit provided. With the inclusion of the on-site BMR unit, the applicant would be permitted to construct an additional market-rate unit as a ninth unit on the parcel. In addition, an increase in the floor area associated with the residential development project by an amount that corresponds to the increase in allowable density would be permitted. The proposed nine-unit development complies with the allowable increase.

To accommodate the increase in allowable density and floor area, the developer may also request exceptions from development regulations of the applicable zoning district; however, the proposed project would comply with the zoning ordinance and all related requirements, and is not requesting any exceptions with the additional density. Of note, the applicant is not requesting an exception from the parking requirements to reduce on-site parking, which is deemed a preference by staff. Two parking spaces per unit, one of which must be covered are required in the R-2 zoning district. The proposed development provides 18 parking spaces, nine as attached one-car garages and nine uncovered spaces near each unit.

The project's BMR proposal and draft term sheet was reviewed by the Housing Commission at their meeting November 6, 2019 and the Planning Commission at their meeting January 13. Both the Housing Commission and Planning Commission unanimously recommended approval of the term sheet to provide one BMR unit as part of the proposed project. A draft resolution approving the BMR agreement is included as Attachment B. The draft BMR agreement can be found as Exhibit B-1. The creation of a new BMR on-site unit (as opposed to payment of an in-lieu fee) is preferred, and that provision of such units, especially large family units, in and around the El Camino Real corridor is also generally desired.

Correspondence

No additional correspondence regarding this item was received between the Planning Commission meeting and the posting of this staff report. Details regarding the applicant's outreach and feedback that was received in advance of the Planning Commission meeting were included in the Planning Commission staff report, available through the hyperlink Attachment G.

Conclusion

Staff believes the increased density and the large on-site BMR unit near the downtown to be the key merits of the proposed project. The range of styles fit well with each other and the larger neighborhood and the proposed site layout of the buildings would provide well-proportioned massing and suitable off-street parking and bicycle storage for the nine new units. The proposed excavation in the left side and rear setback for the light wells would maintain sufficient space between the proposed residences and the existing neighboring structures, and would be reviewed for additional landscape screening at the building permit stage. The project-specific conditions of approval would ensure the Planning Commission's concerns regarding the design and site landscaping would be addressed. The proposed pathway adjacent to the drive aisle would allow individuals to safely enter and exit the site on foot. Staff recommends that the City Council make the findings to approve the resolutions authorizing the proposed architectural control, use permit, major subdivision, and BMR agreement.

Impact on City Resources

The project sponsor is required to pay planning, building and public works permit fees, based on the City's master fee schedule, to fully cover the cost of staff time spent on the review of the project. In addition, the proposed development would be subject to payment of the recently updated transportation impact fee (TIF), and the recreation in-lieu fee for the net-new units.

Environmental Review

The project is categorically exempt under Class 32 (Section 15332), "Infill Development" of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Attachments

- A. Draft Resolution No. 6538 approving the findings and conditions for the architectural control, use permit and tentative map
- B. Draft Resolution No. 6539 approving the BMR agreement
- C. Location map
- D. Project plans
- E. Data table
- F. Project description letter
- G. Hyperlink – Planning Commission staff report, January 13:
menlopark.org/DocumentCenter/View/23967/F1---661-687-Partridge-Ave?bidId=
- H. Planning Commission draft excerpt minutes – Item F1, January 13

Disclaimer

Attached, are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the community development department.

Exhibits to Be Provided at Meeting

Color and materials sheets

Report prepared by:

Ori Paz, Associate Planner

Report reviewed by:

Deanna Chow, Interim Community Development Director

RESOLUTION NO. 6538**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MENLO PARK
APPROVING FINDINGS AND CONDITIONS FOR ARCHITECTURAL
CONTROL, USE PERMIT AND TENTATIVE SUBDIVISION MAP FOR THE
PROJECT LOCATED AT 661-687 PARTRIDGE AVENUE**

WHEREAS, the City of Menlo Park (“City”) has received an application from Goldsilverisland Properties, LLC (“Applicant”), for an architectural control permit for seven new two-story single-family residential homes and one duplex, a tentative subdivision map to merge three existing lots and create nine residential condominium units, and a use permit to allow excavation within the required left side and rear setback areas for light wells for basements of four of the units located at 661-687 Partridge Avenue (“Project Site”);

WHEREAS, the findings and conditions for architectural control, use permit and tentative subdivision map would ensure that all City requirements are applied consistently and correctly as part of the project’s implementation;

WHEREAS, the proposed project meets the R-2 (Low Density Apartment) zoning district parking requirements and provides a central emergency vehicle access easement for fire access;

WHEREAS, Applicant has elected to satisfy the BMR requirement for the proposed project by providing a Below Market Rate unit in accordance with the City’s Below Market Rate Housing Program;

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the Planning Commission of the City of Menlo Park on January 13, 2020 whereat all persons interested therein might appear and be heard; and

WHEREAS, the Planning Commission of the City of Menlo Park having fully reviewed, considered and evaluated all the testimony and evidence submitted in this matter voted affirmatively to recommend to the City Council of the City of Menlo Park to approve the findings and conditions for the architectural control, use permit and the tentative subdivision map; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the City Council of the City of Menlo Park on February 11, 2020 whereat all persons interested therein might appear and be heard; and

WHEREAS, the City Council reviewed the project on February 11, 2020, and found the project to be categorically exempt under Class 32 (Section 15332), “In-Fill Development Projects” of the current California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, the City Council of the City of Menlo Park having fully reviewed, considered and evaluated all the testimony and evidence submitted in this matter voted affirmatively to approve the findings and conditions for architectural control, use permit and tentative subdivision map.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Menlo Park hereby approves the findings and conditions for architectural control, use permit and tentative subdivision map attached hereto as Exhibit A and incorporated herein by this reference.

I, Judi A. Herren, City Clerk of Menlo Park, do hereby certify that the above and foregoing City Council Resolution was duly and regularly passed and adopted at a meeting by said City Council on the eleventh day of February, 2020, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this eleventh day of February, 2020.

Judi A. Herren, City Clerk

661-687 Partridge Avenue – Attachment A: Exhibit A - Recommended Actions

LOCATION: 661-687 Partridge Avenue	PROJECT NUMBER: PLN2019-00057	APPLICANT: Ying-Min Li	OWNER: Goldsilverisland Properies, LLC
<p>REQUEST: Request for architectural control to demolish seven residences on three lots and construct seven new two-story, single-family residences, and one new two-story duplex, with attached garages on a standard lot in the R-2 (Low Density Apartment) zoning district. The project includes a request for a major subdivision to merge the three existing parcels and create nine condominium units. The project includes a request for a use permit for excavation within the required left side and rear setbacks for basement light wells. One below market rate (BMR) unit and one additional bonus market-rate unit are proposed, per the density bonus provisions in the BMR Housing Program (Chapter 16.96.040), which allows density and FAR bonuses when BMR units are incorporated into the project. As part of the project, a 17-inch diameter heritage-size Fig tree (tree #8) in fair condition would be removed. The City Arborist has approved the heritage tree removal pending final action on the proposed project by the City Council.</p>			
DECISION ENTITY: City Council	DATE: 02/11/2020	ACTION: TBD	
VOTE: TBD (Carlton, Combs, Mueller, Nash, Taylor)			
<p>ACTION:</p> <ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 32 (Section 15332, "In-Fill Development Projects") of the current California Environmental Quality Act (CEQA) Guidelines. 2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval: <ol style="list-style-type: none"> a. The general appearance of the structures is in keeping with the character of the neighborhood. The buildings will feature a mix of three design styles and will meet relevant separation between buildings and daylight plane standards of the R-2 zoning district. The application of materials will provide variety and visual interest. The proposed exterior materials and finishes would be high quality in nature and would reinforce the neighborhood compatibility. b. The development will not be detrimental to the harmonious and orderly growth of the City. The project would meet the relevant development standards of the R-2 zoning district. c. The proposed homes follow the pattern of development in the neighborhood generally and the residential use will not impair the desirability of investment or occupation in the neighborhood. d. The development provides one covered and one uncovered space per unit for a total of nine covered and nine uncovered parking spaces, as required in the applicable City Ordinances and has made adequate provisions for access to such parking. e. The subject site is not part of a specific plan area. 3. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed excavation within the required left side and rear setbacks, will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 4. Make the findings that the proposed major subdivision is technically correct and in compliance with all applicable State regulations, City General Plan, Zoning and Subdivision Ordinances, and the State Subdivision Map Act. 			

661-687 Partridge Avenue – Attachment A: Exhibit A - Recommended Actions

<p>LOCATION: 661-687 Partridge Avenue</p>	<p>PROJECT NUMBER: PLN2019-00057</p>	<p>APPLICANT: Ying-Min Li</p>	<p>OWNER: Goldsilverisland Properies, LLC</p>
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<p>DECISION ENTITY: City Council</p>	<p>DATE: 02/11/2020</p>	<p>ACTION: TBD</p>	
<p>VOTE: TBD (Carlton, Combs, Mueller, Nash, Taylor)</p>			
<p>ACTION:</p> <p>5. Approve the architectural control, use permit and tentative subdivision map subject to the following standard conditions:</p> <ul style="list-style-type: none"> a. The applicant shall be required to apply for a building permit within one year from the date of approval (by February 11, 2021) for the use permit to remain in effect. The applicant may apply for a one-year extension prior to the expiration date, subject to the review and approval of the Community Development Director. b. Development of the project shall be substantially in conformance with the plans prepared by Hometec Architecture, Inc. consisting of 51 plan sheets, dated received on January 9, 2020, approved by the City Council on February 11, 2020 except as modified by the conditions contained herein, subject to review and approval of the Planning Division. c. Minor modifications to building exteriors and locations, fence styles and locations, signage, and significant landscape features may be approved by the Community Development Director or designee, based on the determination that the proposed modification is consistent with other building and design elements of the approved Architectural Control and will not have an adverse impact on the character and aesthetics of the site. d. Minor modifications where the Community Development Director determines the modifications are more substantive than the changes outlined in 7.c. may be approved by the Community Development Director, provided the modifications are determined to be consistent with the building and design elements of the approved project, subject to notification of the Planning Commission. A member of the Planning Commission may request to discuss these modifications on the next agenda. e. Major modifications to the development plan which involve material changes, or expansion or intensification of development may be allowed subject to obtaining an architectural control permit from the Planning Commission. f. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. 			

661-687 Partridge Avenue – Attachment A: Exhibit A - Recommended Actions

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DECISION ENTITY: City Council	DATE: 02/11/2020	ACTION: TBD	
VOTE: TBD (Carlton, Combs, Mueller, Nash, Taylor)			
<p>ACTION:</p> <ul style="list-style-type: none"> g. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, California Water Company and utility companies' regulations that are directly applicable to the project. h. Prior to commencing any work within the right-of-way or public easements, the applicant shall obtain an encroachment permit from the appropriate reviewing jurisdiction. i. Simultaneous with the submittal of a complete building permit application the applicant shall include Stormwater Pollution Prevention Plan (SWPPP) sheets. Stormwater Pollution Prevention Program Best Management Practices (BMPs) for construction shall be implemented throughout the project to protect water quality, in accordance with the approved Stormwater Pollution Prevention Plan (SWPPP). BMP plan sheets are available electronically for inserting into Project plans. j. Prior to Final Map approval, Applicant shall submit plans for: 1) construction safety fences around the periphery of the construction area, 2) dust control, 3) air pollution control, 4) erosion and sedimentation control, 5) tree protection fencing, and 6) construction vehicle parking. The plans shall be subject to review and approval by the Building, Engineering, and Planning Divisions. The fences and erosion and sedimentation control measures shall be installed according to the approved plan prior to commencing construction. k. Prior to Final Map approval, the Applicant shall submit a draft "Stormwater Treatment Measures Operations and Maintenance (O&M) Agreement" with the City subject to review and approval by the Engineering Division. The property owner will be responsible for the operation and maintenance of stormwater treatment measures for the project. The agreement shall also include operation and maintenance of the stormwater treatment facility on Garwood Way including curb gutter and retaining walls. This agreement shall run with the land and shall be recorded with the San Mateo County Recorder's Office prior to building permit final inspection. l. Prior to Final Map approval, Applicant shall submit a Grading and Drainage Plan for review and approval. Post-construction runoff into the storm drain shall not exceed pre-construction runoff levels. A Hydrology Report will be required to the satisfaction of the Engineering Division. Slopes for the first 10 feet perpendicular to the structure must be 5% 			

661-687 Partridge Avenue – Attachment A: Exhibit A - Recommended Actions

<p>LOCATION: 661-687 Partridge Avenue</p>	<p>PROJECT NUMBER: PLN2019-00057</p>	<p>APPLICANT: Ying-Min Li</p>	<p>OWNER: Goldsilverisland Properies, LLC</p>
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<p>DECISION ENTITY: City Council</p>	<p>DATE: 02/11/2020</p>	<p>ACTION: TBD</p>	
<p>VOTE: TBD (Carlton, Combs, Mueller, Nash, Taylor)</p>			
<p>ACTION:</p> <p>minimum for pervious surfaces and 2% minimum for impervious surfaces, including roadways and parking areas, as required by CBC §1804.3.</p> <ul style="list-style-type: none"> m. Prior to Final Map approval, the Applicant shall submit engineered Off-Site Improvement Plans (including specifications & engineers cost estimates), for approval by the Engineering Division, showing the infrastructure necessary to serve the Project. The Improvement Plans shall include, but are not limited to, all engineering calculations necessary to substantiate the design, proposed roadways, drainage improvements, utilities, traffic control devices, retaining walls, sanitary sewers, and storm drains, pump/lift stations, street lightings, common area landscaping and other project improvements. All public improvements shall be designed and constructed to the satisfaction of the Engineering Division. n. Prior to Final Map approval, Applicant shall submit plans to remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for the review and approval of the Engineering Division. o. During the design phase of the construction drawings, all potential utility conflicts shall be potholed with actual depths recorded on the improvement plans submitted for City review and approval. p. Prior to Final Map approval, Applicant shall provide documentation indicating the amount of irrigated landscaping. If the project proposes more than 500 square feet of irrigated landscaping, it is subject to the City's Water Efficient Landscaping Ordinance (Municipal Code Chapter 12.44). q. Prior to Final Map approval, Applicant shall submit a plan for any new utility installations or upgrades for review and approval of the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. r. If construction is not complete by the start of the wet season (October 1 through April 30), the Applicant shall implement a winterization program to minimize the potential for erosion and sedimentation. As appropriate to the site and status of construction, winterization 			

661-687 Partridge Avenue – Attachment A: Exhibit A - Recommended Actions

LOCATION: 661-687 Partridge Avenue	PROJECT NUMBER: PLN2019-00057	APPLICANT: Ying-Min Li	OWNER: Goldsilverisland Properies, LLC
<p>REQUEST: Request for architectural control to demolish seven residences on three lots and construct seven new two-story, single-family residences, and one new two-story duplex, with attached garages on a standard lot in the R-2 (Low Density Apartment) zoning district. The project includes a request for a major subdivision to merge the three existing parcels and create nine condominium units. The project includes a request for a use permit for excavation within the required left side and rear setbacks for basement light wells. One below market rate (BMR) unit and one additional bonus market-rate unit are proposed, per the density bonus provisions in the BMR Housing Program (Chapter 16.96.040), which allows density and FAR bonuses when BMR units are incorporated into the project. As part of the project, a 17-inch diameter heritage-size Fig tree (tree #8) in fair condition would be removed. The City Arborist has approved the heritage tree removal pending final action on the proposed project by the City Council.</p>			
DECISION ENTITY: City Council	DATE: 02/11/2020	ACTION: TBD	
<p>VOTE: TBD (Carlton, Combs, Mueller, Nash, Taylor)</p>			
<p>ACTION:</p> <p>requirements shall include inspecting/maintaining/cleaning all soil erosion and sedimentation controls prior to, during, and immediately after each storm event; stabilizing disturbed soils through temporary or permanent seeding, mulching, matting, tarping or other physical means; rocking unpaved vehicle access to limit dispersion of much onto public right-of-way; and covering/tarping stored construction materials, fuels, and other chemicals. Plans to include proposed measures to prevent erosion and polluted runoff from all site conditions shall be submitted for review and approval of the Engineering Division prior to beginning construction.</p> <ul style="list-style-type: none"> s. The Applicant shall retain a civil engineer to prepare "as-built" or "record" drawings of public improvements, and the drawings shall be submitted in AutoCAD and Adobe PDF formats to the Engineering Division prior to Final Occupancy. t. Prior to building permit issuance, Applicant shall pay all Public Works fees. Refer to City of Menlo Park Master Fee Schedule. u. Simultaneous with the submittal of a complete building permit application, a design-level geotechnical investigation report shall be submitted to the Building Division for review and confirmation that the proposed development fully complies with the California Building Code. The report shall determine the project site’s surface geotechnical conditions and address potential seismic hazards. The report shall identify building techniques appropriate to minimize seismic damage. v. All public right-of-way improvements, including frontage improvements and the dedication of easements and public right-of-way, shall be completed to the satisfaction of the Engineering Division prior to building permit final inspection. w. Prior to Final Map approval, the Applicant shall enter into a Subdivision Improvement Agreement and provide a performance bond for the completion of the off-site improvements as shown on the approved project improvement plans. The Applicant shall obtain an encroachment permit, from the appropriate reviewing jurisdiction, prior to commencing any work within the right-of-way or public easements. x. Prior to building permit issuance, the Applicant shall submit a finalized version of the Stormwater Control Plan, which shall provide stormwater treatment for the project site 			

661-687 Partridge Avenue – Attachment A: Exhibit A - Recommended Actions

LOCATION: 661-687 Partridge Avenue	PROJECT NUMBER: PLN2019-00057	APPLICANT: Ying-Min Li	OWNER: Goldsilverisland Properies, LLC
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DECISION ENTITY: City Council	DATE: 02/11/2020	ACTION: TBD	
VOTE: TBD (Carlton, Combs, Mueller, Nash, Taylor)			
<p>ACTION:</p> <p>pursuant to the latest regulations specified in the San Mateo County C.3 Technical Guidance Manual. The Stormwater Control Plan shall include a written report identify existing and proposed project conditions, and all applicable source controls, and mitigation measures (i.e. bioretention areas, flow through planters, etc.) implemented to meet NPDES compliance.</p> <ul style="list-style-type: none"> y. Simultaneous with the submittal of a complete building permit application, Applicant shall submit a heritage street tree preservation plan, detailing the location of and methods for all tree protection measures. z. Prior to building permit issuance, the Applicant shall submit plans for construction parking management, construction staging, material storage and Traffic Control Handling Plan to be reviewed and approved by the City. aa. Within two years from the date of approval of the tentative map, the Applicant shall submit a Final Map for City approval. bb. The Applicant shall adhere to the Subdivision Map Act and Chapter 15 of the City's Municipal Code. cc. Prior to Final Map approval, Applicant shall submit draft Covenants, Conditions and Restrictions (CC&Rs) to the City for review and approval by the Engineering Division, Planning Division and City Attorney. The CC&Rs shall provide for the maintenance of all infrastructure and utilities within the Project site or constructed to serve the Project. This shall include, but not be limited to, the private open spaces, shared parking spaces, common walkways, common landscaping, and the stormwater drainage and sewer collection systems. dd. Prior to final inspection, the Applicant shall submit a landscape audit report. ee. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Kielty Arborist Services, LLC dated revised December 4, 2019. 			

661-687 Partridge Avenue – Attachment A: Exhibit A - Recommended Actions

LOCATION: 661-687 Partridge Avenue	PROJECT NUMBER: PLN2019-00057	APPLICANT: Ying-Min Li	OWNER: Goldsilverisland Properies, LLC
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DECISION ENTITY: City Council	DATE: 02/11/2020	ACTION: TBD	
VOTE: TBD (Carlton, Combs, Mueller, Nash, Taylor)			
<p>ACTION:</p> <p>6. Approve the use permit, architectural control, and tentative subdivision subject to the following project-specific conditions:</p> <ul style="list-style-type: none"> a. Required improvements as shown on tentative map dated 12/5/2019 prepared by Green Civil Engineering, Inc. (Job No. 19211011) include but are not limited to: <ul style="list-style-type: none"> i. New storm drain main (12" RCP) with one catch basin on each side of Partridge Avenue shall be connected to existing storm drain main at 615 Partridge Ave, and site drainage shall be directed to the new main on Partridge Ave. ii. Lateral connections to overhead electric, fiber optic, and communication lines on Partridge Ave shall be placed in a joint trench. iii. 3" grind and A.C. overlay (curb to curb) on Partridge Ave along entire frontage. iv. Existing sidewalk, curb and gutter to be removed and replaced along the entire project frontages. v. New Street Light (LED fixture per City of Menlo Park standards) on existing PG&E pole. vi. Existing street light fixture shall be upgrade to LED. b. The Final Map shall dedicate the Emergency Vehicle Access Easement (EVAE), Public Utility Easement (PUE), and any and all other necessary easements, as shown on tentative map dated 12/5/2019 prepared by Green Civil Engineering, Inc. (Job No. 19211011). c. Prior to issuance of each building permit the Applicant shall pay the applicable Building Construction Street Impact Fee in effect at the time of payment to the satisfaction of the Public Works Director. The current fee is calculated by multiplying the valuation of the construction by 0.0058. d. Prior to building permit issuance, Applicant shall pay all applicable engineering fees in accordance with City requirements and the latest approved Master Fee Schedule. This residential subdivision is subject to the City's Recreation In-Lieu Fee requirements (Municipal Code 15.16.020). The recreation in-lieu fee is \$78,400.00 per unit. Applicant receives credits for seven (7) existing legal units (total \$156,800). e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a signed copy of the BMR agreement, subject to review and approval of the Planning 			

661-687 Partridge Avenue – Attachment A: Exhibit A - Recommended Actions

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<p>REQUEST: Request for architectural control to demolish seven residences on three lots and construct seven new two-story, single-family residences, and one new two-story duplex, with attached garages on a standard lot in the R-2 (Low Density Apartment) zoning district. The project includes a request for a major subdivision to merge the three existing parcels and create nine condominium units. The project includes a request for a use permit for excavation within the required left side and rear setbacks for basement light wells. One below market rate (BMR) unit and one additional bonus market-rate unit are proposed, per the density bonus provisions in the BMR Housing Program (Chapter 16.96.040), which allows density and FAR bonuses when BMR units are incorporated into the project. As part of the project, a 17-inch diameter heritage-size Fig tree (tree #8) in fair condition would be removed. The City Arborist has approved the heritage tree removal pending final action on the proposed project by the City Council.</p>			
DECISION ENTITY: City Council	DATE: 02/11/2020	ACTION: TBD	
VOTE: TBD (Carlton, Combs, Mueller, Nash, Taylor)			
<p>ACTION:</p> <p>and Housing Divisions. The approved BMR agreement shall be recorded with the San Mateo County Recorder’s Office prior to issuance of the building permits.</p> <ul style="list-style-type: none"> f. The Transportation Impact Fee (TIF) is estimated to be \$30,310.48. This was calculated by multiplying the fee of \$15,155.24/unit for Single-Family homes by net new Single-Family homes of 2 units. Please note this fee is updated annually on July 1st based on the Engineering News Record Bay Area Construction Cost Index. Fees are due before a building permit is issued. g. If the condominium element of the project is not pursued, the Community Development and Public Works Directors shall have the discretion to modify the conditions of approval as necessary, with regard to timing and applicability of conditions, and additional discretionary review may be required. h. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans showing the following changes, subject to review and approval by the Planning Division: <ul style="list-style-type: none"> i. Reduce width of the path around the light wells in the left side yards of units #1 and #4 and include additional landscape screening trees between the path and the property line; ii. Increase on-site landscaping as much as possible in the following: <ul style="list-style-type: none"> 1. Areas not required for fire access; and 2. Areas not required for vehicle movement, such as reducing uncovered parking areas to the minimum allowable area and backup distance, front and rear yard areas, areas adjacent to light wells and pathways to yards; iii. Paint all corner boards to match the color of the siding of the walls that they terminate; and iv. Exchange the craftsman style of unit #7 with the farmhouse style of unit #9, to soften the distinction between the two units that comprise the duplex (unit #7 and unit #8). i. Prior to building permit issuance the applicant shall submit documentation that the Final Map was recorded, subject to review and approval by the Engineering and Planning Division. 			

661-687 Partridge Avenue – Attachment A: Exhibit A - Recommended Actions

RESOLUTION NO. 6539**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MENLO PARK
APPROVING THE BELOW MARKET RATE HOUSING AGREEMENT
BETWEEN THE CITY OF MENLO PARK AND GOLDSILVERISLAND
PROPERTIES, LLC, FOR A PROJECT LOCATED AT 661-687 PARTRIDGE
AVENUE**

WHEREAS, the City of Menlo Park ("City") has received an application from Goldsilverisland Properties, LLC ("Applicant"), for an architectural control permit for nine new two-story single-family residential homes and a vesting tentative subdivision map to merge three existing lots and create nine residential condominium units, and a use permit to allow excavation within the required left side and rear setback areas for light wells for basements of four of the units located at 661-687 Partridge Avenue ("Project Site");

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, the City Council reviewed the project on February 11, 2020, and found the project to be categorically exempt under Class 32 (Section 15332), "In-Fill Development Projects" of the current California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, after notice having been lawfully given, a public meeting was scheduled and held before the Housing Commission of the City of Menlo Park on November 6, 2019 to review the initial draft BMR Agreement Term Sheet, to provide one BMR unit and allow one bonus market-rate unit, whereat all persons interested therein might appear and be heard; and

WHEREAS, the Housing Commission of the City of Menlo Park having fully reviewed, and considered and evaluated all the testimony and evidence submitted in this matter voted affirmatively to recommend the Planning Commission of the City of Menlo Park to approve the BMR Agreement; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the Planning Commission of the City of Menlo Park on January 13, 2020 whereat all persons interested therein might appear and be heard; and

WHEREAS, the Planning Commission of the City of Menlo Park having fully reviewed, considered and evaluated all the testimony and evidence submitted in this matter voted affirmatively to recommend to the City Council of the City of Menlo Park to approve the BMR Agreement; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the City Council of the City of Menlo Park on February 11, 2020 whereat all persons interested therein might appear and be heard.

WHEREAS, on February 11, 2020 the City Council of the City of Menlo Park has read and considered that certain BMR Agreement between the City and the Applicant that satisfies the requirement that Developer comply with Chapter 16.96 of the City's Municipal Code and with the Below Market Rate Housing Program Guidelines.

NOW, THEREFORE, the City Council of the City does RESOLVE as follows:

1. Public interest and convenience require the City to enter into the Agreement described above and incorporated herein as Exhibit A.

2. The City of Menlo Park hereby approves the Agreement and the City Manager is hereby authorized on behalf of the City to execute the Agreement.

I, Judi A. Herren, City Clerk of Menlo Park, do hereby certify that the above and foregoing City Council Resolution was duly and regularly passed and adopted at a meeting by said City Council on the eleventh day of February, 2020, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this eleventh day of February, 2020.

Judi A. Herren, City Clerk

THIS DOCUMENT IS RECORDED FOR THE BENEFIT
OF THE CITY OF MENLO PARK AND
IS EXEMPT FROM FEE PER
GOVERNMENT CODE SECTIONS 27383 AND 6103.

WHEN RECORDED MAIL TO:)
)
COMMUNITY DEVELOPMENT DEPARTMENT)
CITY OF MENLO PARK)
701 Laurel Street)
Menlo Park, CA 94025-3483)
Attention: Deputy Community Development Director)
)

BELOW MARKET RATE FOR-SALE AGREEMENT
661-687 PARTRIDGE AVENUE

BELOW MARKET RATE FOR-SALE AGREEMENT

This Below Market Rate For-Sale Agreement ("Agreement") is made as of this _____ day of _____ 2020 by and between THE CITY OF MENLO PARK, a California municipality ("City") and **GOLDSILVERISLAND PROPERTIES, LLC** and **GOLDSILVERISLAND HOMES, LLC**, each a California limited liability company (collectively "Owner"), with respect to the following:

RECITALS

A. Owner is the owner of certain real property located in the City of Menlo Park, County of San Mateo, State of California ("Property"), more particularly described in Exhibit A attached hereto. The Property is commonly known as 661-687 Partridge Avenue and consists of Assessor's Parcel Numbers 071-413-120, 071-413-110 and 071-413-100.

B. Pursuant to City Municipal Code Chapter 16.96, the City's BMR Housing Ordinance ("BMR Ordinance"), and the City's Below Market Rate Housing Program Guidelines ("Guidelines") incorporated by reference, Owner is required to enter into this Agreement to insure compliance with the City's BMR Ordinance and the Guidelines, which is a prerequisite to obtaining building permits for construction of the units described in Recital C from the Building Division.

C. Owner plans to improve the Property by creating nine (9) condominium units by demolishing seven (7) existing residential dwelling units, merging three (3) lots and constructing nine (9) new units of which one (1) shall be a below market rate unit ("BMR Unit"), as required by, and in full compliance with the City's BMR Ordinance and the Guidelines.

D. The BMR Unit shall be sold to a third party who meets the eligibility requirements set forth in the BMR Ordinance and the Guidelines, and with a price determined in accordance with this Agreement.

E. This Agreement is for the benefit of Owner and the City. The deed to the BMR Unit shall contain restrictions that limit the sales price of the BMR Unit in accordance with the BMR Ordinance and the Guidelines. These deed restrictions relating to the one (1) BMR Unit shall be binding on the future owners of the BMR Unit.

NOW, THEREFORE, the parties agree as follows:

1. The one (1) BMR Unit is to be completed and sold in accordance with the BMR Ordinance and the Guidelines with the appropriate deed restrictions. For purposes of Section 8 of the Guidelines, a BMR Unit shall be deemed "available for purchase" when the City has issued a letter that states that the BMR Unit meets the requirements of the Guidelines and satisfies the provisions of this Agreement. The letter will be issued when the BMR Unit is substantially ready for occupancy, as reasonably determined by the City's Deputy Community Development

Director, and when the BMR Unit has passed Final Inspection by the Building Division.

2. The location of the one (1) BMR Unit is shown as BMR Unit A on Exhibit B attached hereto. The floor plan showing the size and layout of the BMR Unit is shown on Exhibit C attached hereto.

3. The elevation of the BMR Unit will be as approved by the City Council.

4. The exterior materials used in the construction of the BMR Unit will be similar and indistinguishable from those used on the market rate units. The interior finishes of the BMR Unit shall be similar to those of the market rate units, except for upgrades purchased by individual buyers.

5. The BMR Unit shall be affordable to households which are moderate income as defined in Section 50093 of the California Health and Safety Code, as described in the Guidelines, and are of the smallest household size eligible for the BMR Unit on the BMR waiting list maintained by the City on the date that the Sales Price is set, as more particularly described below. The BMR Sales Price shall be calculated according to the following formula by reference to the definitions and standards set forth in Sections 6.1 and 6.2, below.

6.1 The "**Sales Price**" shall be calculated by adding the cash down payment, defined in 6.2.10, below, to the Maximum Mortgage Amount, defined in Section 6.1.6, below, less lender and escrow fees and costs incurred by the buyer. The Sales Price shall be set before the commencement of the sale process for the BMR Unit.

6.1.1 Calculate the "**Smallest Household Size**": The household with the smallest number of persons eligible for the BMR Unit, as shown in Section 14, Table C (Occupancy Standards) of the Guidelines.

6.1.2. The current "**Maximum Eligible Income**" shall be the most current State Income Limit for San Mateo County, Moderate Income category, as published by the State of California Department of Housing and Community Development, for the Smallest Household Size.

6.1.3. Calculate the "**Maximum Allowable Monthly Housing Expenses**": Multiply the Maximum Eligible Income by thirty three percent (33%) and divide by twelve (12).

6.1.4. Calculate the "**Actual Monthly Housing Expenses**": Add the following costs associated with a particular BMR Unit, as more particularly described in Paragraph 6.2 below, and divide by twelve (12): (a) any loan fees, escrow fees and other closing costs (amortized over 30 years) and/or private mortgage insurance associated therewith; (b) property taxes and assessments; (c) fire, casualty insurance and flood insurance, if required; (d) property maintenance and repairs, deemed to be One Hundred Dollars (\$100) per month; (e) a reasonable allowance for utilities as set forth in the Guidelines, not including telephones, and (f) homeowners association fees, if applicable, but less the amount of such homeowners association fees allocated for any costs attributable to (c), (d) or (e) above.

6.1.5. Calculate the "**Maximum Monthly Mortgage Payment Amount**": Subtract the Actual Monthly Housing Expenses from the Maximum Allowable Monthly Housing Expenses.

6.1.6. Determine the "**Maximum Mortgage Amount**": Determine the amount of mortgage that a lender would loan, based upon the Maximum Monthly Mortgage Payment Amount and based upon the down payment found to be the lowest that lenders are willing to accept in a survey of lenders as described below. Survey and take the average of at least three local lenders who regularly make home loans at a typical housing expense ratio to first-time buyers in the price range of the BMR home on the day that the price is set. The mortgage amount shall be for a 30-year fixed rate mortgage with standard fees, closing costs and no points, and shall be less than or equal to the Maximum Monthly Mortgage Amount.

6.2. The calculation of the Sales Price shall be based upon the factors defined below. These definitions conform to the eligibility and underwriting standards established by the major secondary mortgage market investors, such as the Federal National Mortgage Association ("Fannie Mae") and the Federal Home Loan Mortgage Corporation ("Freddie Mac").

6.2.1. Mortgage Interest Rate. The mean average of contract interest rates on the date that the Sales Price is set, for fixed rate, 30-year "Conforming" mortgages (presently \$510,400 or less, as such amount may be adjusted from time to time as the maximum amount of FHA Conforming mortgages), or for jumbo mortgages if applicable, as quoted by three local retail lenders. The three local retail lenders shall be selected at random by the City from the list of lenders certified by San Mateo County to make first mortgage loans with Mortgage Credit Certificates.

6.2.2. Points. The mean average of points quoted by three local lenders that make mortgage loans to first time home buyers in the City of Menlo Park on the date that the Sales Price is set for fixed rate, 30 year mortgages of \$510,400 or less, or for jumbo mortgages if applicable, which lenders are selected on a random basis by the City. Points are a one-time fee paid to a lender for making a loan. One point is equal to one percent of the loan amount.

6.2.3. Lender/Escrow Fees. The mean average of fees charged by three local lenders that make mortgage loans to homebuyers, which lenders are selected on a random basis by the City, plus escrow company fees, for such items as title insurance, appraisal, escrow fees, document preparation and recording fees.

6.2.4. Loan to Value Ratio. The maximum ratio of the dollar amount of a Conforming mortgage to the sales price of a home which a lender is willing to approve at a given point in time. For purposes of this Agreement, the Loan to Value Ratio shall be calculated as the mean average of the maximum Loan to Value Ratios as quoted by three local lenders selected on a random basis by the City from a list of lenders who actively make loans to homebuyers and who participate in the Mortgage Credit Certificate program.

6.2.5. Housing Expense Ratio. The mean average of the housing expense ratio as reported on the date that the sales price is set, for fixed rate, 30-year mortgages of \$510,400 or less, or for jumbo mortgages if applicable, by three local lenders that make mortgage loans to

homebuyers in the City of Menlo Park, which lenders are selected on a random basis by the City. Housing expense is defined as the sum of the annual mortgage payment (including principal and interest), and annual payments for taxes, homeowners association dues, insurance, property maintenance and repairs, a reasonable allowance for utilities according to the San Mateo County Housing Authority Utility Financial Allowance Chart which is periodically updated and amended, and any secondary financing (but excluding any portion of the aforementioned expenses covered by homeowners association dues). To determine the ratio, this sum is divided by gross annual income.

6.2.6. Homeowners Insurance. Calculated as the mean average of the annual cost of insurance quoted by two or three local brokers, based on their experience, for a housing unit of the price, room configuration, location, construction material and structure type of the subject BMR Unit. Flood insurance costs, if required, shall be calculated by this same method.

6.2.7. Private Mortgage Insurance. The mean average of the annual cost of private mortgage insurance quoted by two or three local lenders, based on their experience, for a housing unit of the price, location, and structure type of the subject BMR Unit.

6.2.8. Taxes. The tax rate as reported by the San Mateo County Assessor's Office.

6.2.9. Homeowners' Dues. Reported by the developer and as set forth in the Public Report issued by the California Department of Real Estate for the project, if applicable, or as otherwise approved by the Deputy Community Development Director.

6.2.10. Down Payment. Cash portion paid by a buyer from his own funds, as opposed to that portion of the purchase price which is financed. For the purpose of calculating the BMR Sales Price, the down payment will be defined as the mean average of the smallest down payment required by the two or three local lenders surveyed.

6.3. The Sales Price shall be agreed upon in writing by Owner and the City's Deputy Community Development Director no later than the date of the Final Inspection, or at an earlier date agreed to by the City's Deputy Community Development Director, and before the process begins to find a buyer.

7. As a condition precedent to a Final Inspection of the market rate units the BMR Unit shall have passed Final Inspection. In any event, the BMR Unit must pass Final Inspection before the last market rate unit passes Final Inspection.

8. If there is a standard pre-sale requirement by the BMR applicant's lender for a certain percentage of units in the project to be sold before the BMR applicant's lender will close escrow on the loan, then the time for the City's purchase or the buyer's purchase will be extended until that requisite number of units has closed.

9. This Agreement shall be binding on and inure to the benefit of the parties hereto and any respective assigns and or owners of the property. Either party may freely assign this

Agreement without the consent of the other. However, to be valid, an assignment of this Agreement must be in writing.

10. This Agreement is a covenant running with the land for the benefit of the City and all lands owned by the City within the limits of the City.

11. If any legal action is commenced to interpret or enforce this Agreement or to collect damages as a result of any breach of this Agreement, the party prevailing shall be entitled to recover all reasonable attorney's fees and costs incurred in such action from the other party.

12. City shall record this Agreement in the Office of the County Recorder of San Mateo prior to the issuance of a building permit for construction of any units on the Property. .

13. This Agreement shall be governed by and construed in accordance with the laws of the State of California.

14. The terms of this Agreement may not be modified or amended except by an instrument in writing executed by each of the parties hereto.

15. The exhibits attached hereto are hereby incorporated herein by this reference for all purposes.

16. This Agreement supersedes any prior agreements, negotiations and communications, oral or written, and contains the entire agreement between the parties as to the subject matter hereof.

17. If any portion of this Agreement as applied to either party or to any circumstances shall be adjudged by a court to be void or unenforceable, such portion shall be deemed severed from this Agreement and shall in no way effect the validity or enforceability of the remaining portions of this Agreement.

18. Any and all obligations or responsibilities of Owner under this Agreement shall terminate upon the recording of the grant deeds conveying the BMR Unit to qualified third party purchasers in accordance with the terms and provisions of this Agreement, and the recording of the deed restrictions against such BMR Unit, as set forth in Section 4.3 of the Guidelines.

19. Rental of the BMR Unit under the terms of this Agreement is not allowed. The Owner intends to sell all nine (9) new units, including the BMR Unit, once the improvements are complete and a certificate of occupancy or final inspection is issued. This Agreement includes BMR requirements applicable to "for sale" units. If at any time, the Owner intends to change the use from "for sale" to rental, the Owner must notify the City in writing and request an amendment to this Agreement. A revised BMR Agreement for rental units is subject to the review and recommendation of the Housing Commission with final action by the Community Development Director. Following action by the Community Development Director, the City shall prepare the amended agreement for execution and recordation prior to renting the BMR

Unit to anyone. Neither the Owner nor any principal of Owner, nor any other person shall reside in the BMR Unit at any time for rent or otherwise as the BMR Unit may only be sold, rented or occupied in accordance with the terms and provisions of the City's BMR Ordinance and Guidelines.

20. The execution and delivery of this Agreement shall not be deemed to be for the benefit of the third party purchasers of the BMR Unit or any other third party and any and all obligations and responsibilities of Owner under this Agreement are to the City for whose benefit this Agreement has been entered into. No third party purchaser of a BMR or market rate unit, homeowners' association or any other third party shall obtain any rights or standing to complain that the BMR Unit was not constructed, designed, sold or conveyed in accordance with this Agreement, or the BMR Ordinance and the Guidelines as a result of this Agreement.

21. To the extent of any conflict between the terms and provisions of the BMR Guidelines and the terms and provisions of the Agreement, the terms and provisions of this Agreement shall prevail.

Signatures on next page

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first written above.

City of Menlo Park	GOLDSILVERISLAND PROPERTIES, LLC, , a California Limited Liability Company
By: _____ Name: Starla Jerome Robinson Its: City Manager	By: _____ Name: Its:
Approved as to form:	GOLDSILVERISLAND HOMES, LLC, a California limited liability company
_____ City Attorney	By: _____ Name: Its:

Notarial acknowledgement for the City and **Goldsilverisland Properties, LLC**” and **“Goldsilverisland Homes, LLC**, each California Limited Liability Company, are attached.

List of Exhibits

- Exhibit A: Property Description
- Exhibit B: Exhibit B: BMR Unit Location
- Exhibit C: BMR Floor Plans

EXHIBIT A:

LEGAL DESCRIPTION:

The final legal description is to be provided by owner following recordation of tentative map merging parcels 071-413-120, 071-413-110, and 071-413-100, described below.

Parcel One:

Lot 8, Block 2, as designated on the Map entitled, "Map of the Partridge Subdivision Near Menlo Park, San

Mateo Co. Cal, Surveyed Feb. 1908", which map was filed in the Office of the County Recorder of the County

of San Mateo, State of California on April 6, 1909, in [Book 6 of Maps, at page 57](#).

APN: 071-413-120 JPN: 71-41-413-12

Parcel Two:

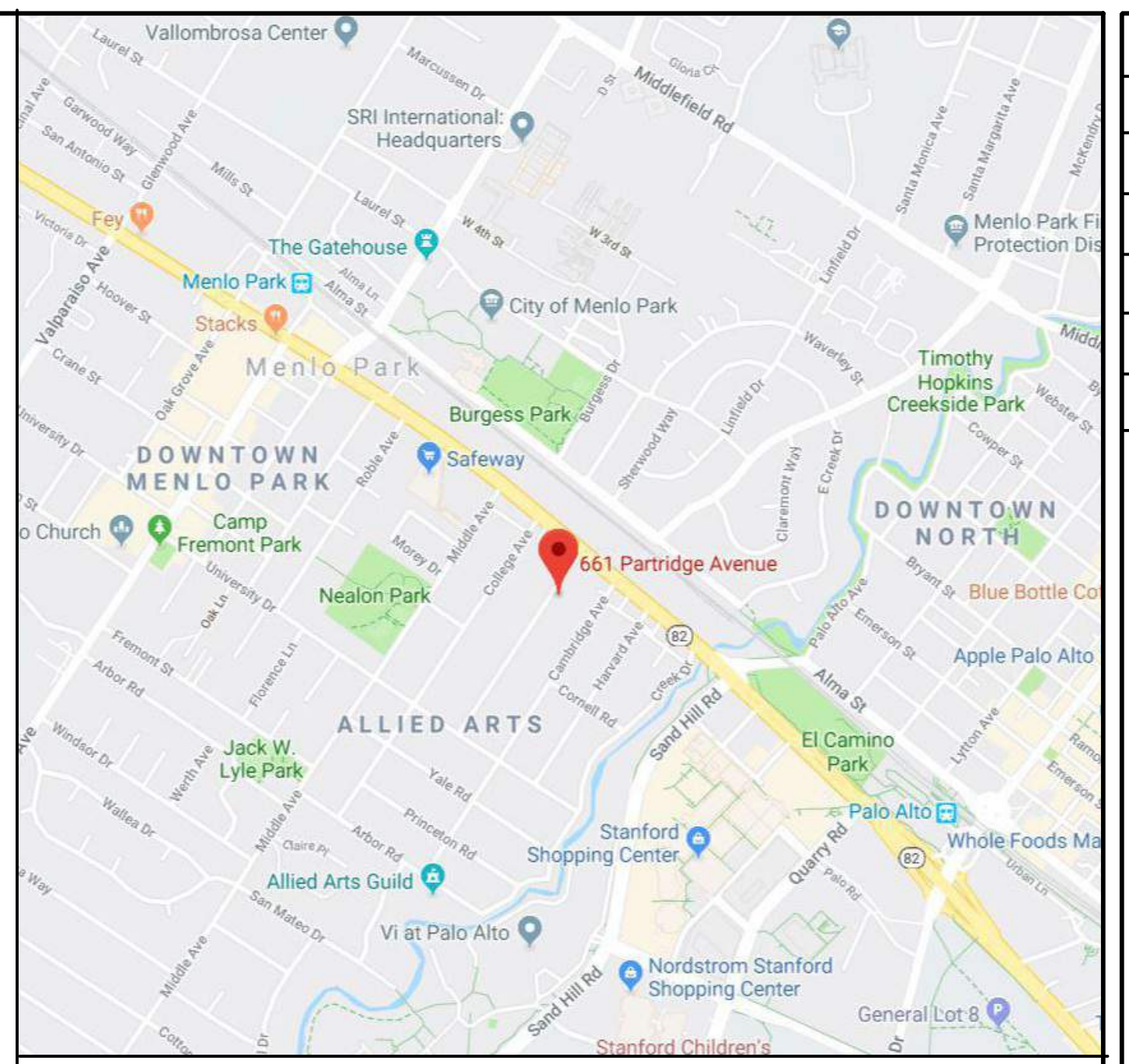
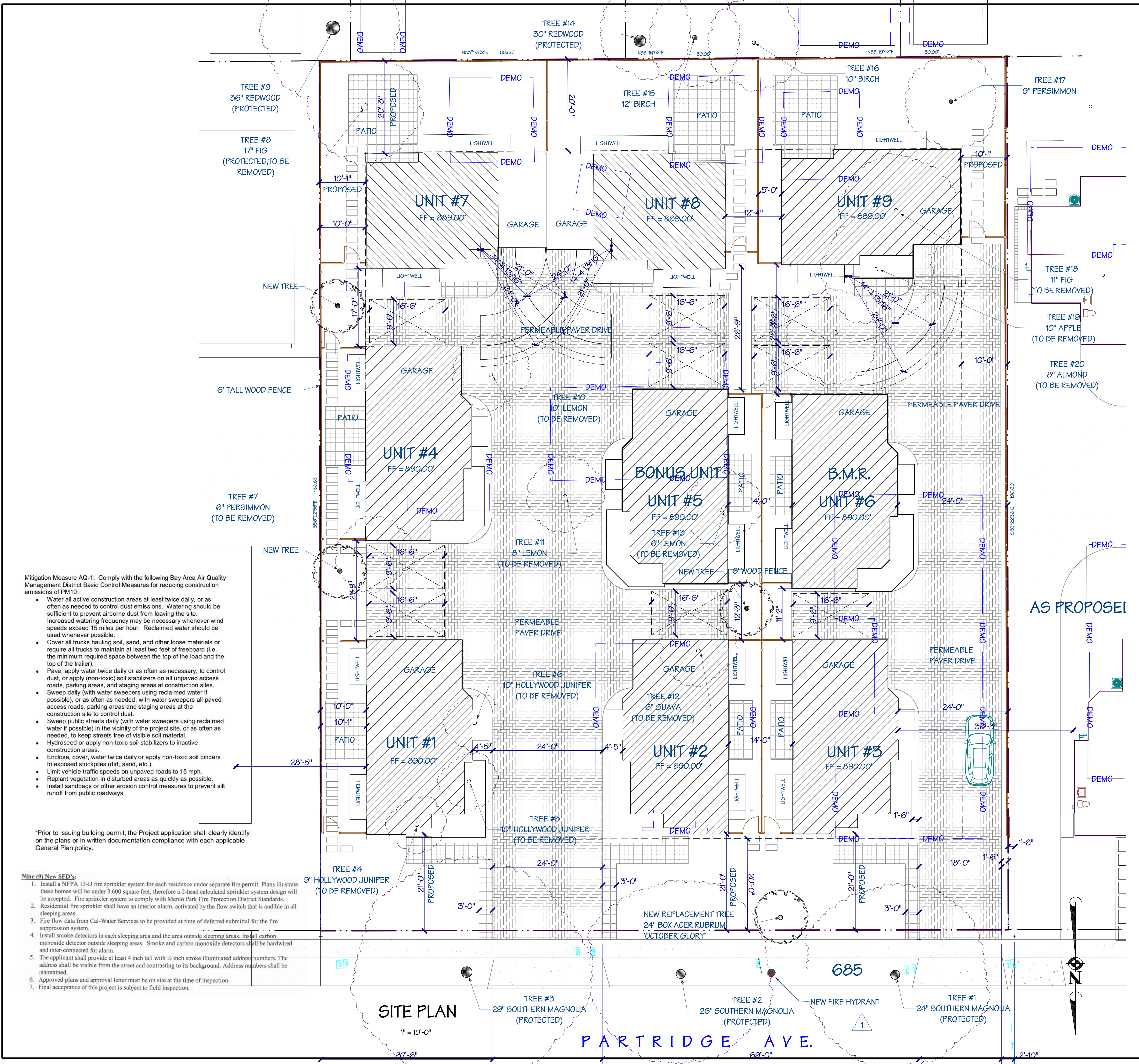
Lots 9 and 10, Block 2, as designated on the Map entitled "Map of the Partridge Subdivision Near Menlo Park,

San Mateo Co. Cal., Surveyed Feb. 1908", which map was filed in the Office of the Recorder of the County of

San Mateo, State of California, on April 6, 1909, in Book 6 of Maps at page 57.

APN: 071-413-110 JPN: 71-41-413-11

APN: 071-413-100 JPN: 71-41-413-10



VICINITY MAP

A.P.N.: 71-41-10, 11, 12
 ZONING: R 2
 LOT SIZE: 28,534 S.F.
 ALLOWABLE DENSITY: 28,534/3,500 PER UNIT = 8.15 (8 UNITS)
 CITY OF MENLO PARK BMR DENSITY BONUS (+1 UNIT/BMR UNIT)

EXISTING UNITS

#661: 1,003 + GARAGE: 338 = 1,341 S.F.
 #669: 1,085 + CARPORT: 169 = 1,254 S.F.
 #675 & 679: 1,277 + GARAGE: 388 = 1,665 S.F.
 #673: 573 + GARAGE: 360 = 933 S.F.
 #685 & 687: 1,782 + GARAGES: 317 + 512 = 2,611 S.F.
 DETACHED GARAGES = 1,146 S.F.

PROPOSED UNITS

	FIRST FLOOR:	SECOND FLOOR:	TOTAL:	BASEMENT:	TOTAL:
UNIT #1:	876 S.F.	532 S.F.	1,408 S.F.	888 S.F.	2,296 S.F.
UNIT #2:	876 S.F.	532 S.F.	1,408 S.F.	888 S.F.	2,296 S.F.
UNIT #3:	876 S.F.	532 S.F.	1,408 S.F.	888 S.F.	2,296 S.F.
UNIT #4:	890 S.F.	532 S.F.	1,422 S.F.	888 S.F.	2,310 S.F.
UNIT #5:	890 S.F.	532 S.F.	1,422 S.F.	888 S.F.	2,310 S.F.
UNIT #6:	890 S.F.	532 S.F.	1,422 S.F.	888 S.F.	2,310 S.F.
UNIT #7:	888 S.F.	537 S.F.	1,425 S.F.	753 S.F.	2,178 S.F.
UNIT #8:	888 S.F.	537 S.F.	1,425 S.F.	753 S.F.	2,178 S.F.
UNIT #9:	888 S.F.	537 S.F.	1,425 S.F.	753 S.F.	2,178 S.F.
TOTAL:	7962	4,803	12,765	7,587	20,352 S.F.

DRIVEWAYS = 9,626.00 @ 50% = 4,813
 LANDSCAPE = 15,656.4 (54.8%) PORCHES = 861 S.F.

LOT COV. ALLOWED: 28,534 x .35 = 9,986.9 S.F.
 PROPOSED: 8,867 = 31.2%

F.A.L. ALLOWED: 28,534 x .40 = 11,413.5 S.F. (8 UNITS)
 PROPOSED: 11,343 = 39.7% (8 UNITS)

F.A.L. BONUS: 11,413.5 S.F./8 UNITS = 1,426.7 S.F.
 PROPOSED: 12,765 = 44.6% (9 UNITS)

2nd FLOOR ALLOWED: 28,534 x .15 = 4,280 S.F. (8 UNITS)
 PROPOSED: 4,271 = 14.9%

2nd FLOOR BONUS: 4,280.1 S.F./8 UNITS = 535 S.F.
 2nd FLOOR ALLOWED WITH BONUS: 4,815.1 S.F. (16.9%)
 PROPOSED: 4,803 = 16.8% (9 UNITS)

TYPE OF CONSTRUCTION: VB OCCUPANCY GROUP: R-3, U
 THIS PROJECT SHALL COMPLY WITH 2016 CBC, CRC, CM, CFC, CEC, CFC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.

SITE DATA

- Mitigation Measure AQ-1: Comply with the following Bay Area Air Quality Management District Basic Control Measures for reducing construction emissions of PM10:
- Water all active construction areas at least twice daily, or as often as needed to control dust emissions. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever possible.
 - Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e. the minimum required space between the top of the load and the top of the trailer).
 - Pave, apply water twice daily or as often as necessary, to control dust, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites.
 - Sweep daily (with water sweepers using reclaimed water if possible), or as often as needed, with water sweepers all paved access roads, parking areas and staging areas at the construction site to control dust.
 - Sweep public streets daily (with water sweepers using reclaimed water if possible) in the vicinity of the project site, or as often as needed, to keep streets free of visible soil material.
 - Hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
 - Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
 - Limit vehicle traffic speeds on unpaved roads to 15 mph.
 - Replant vegetation in disturbed areas as quickly as possible.
 - Install sandbags or other erosion control measures to prevent silt runoff from public roadways.

"Prior to issuing building permit, the Project application shall clearly identify on the plans or in written documentation compliance with each applicable General Plan policy."

- Nine (9) New SFD's:**
1. Install a NFPA 13-D fire sprinkler system for each residence under separate fire permit. Plans illustrate these homes will be under 3,600 square feet, therefore a 2-head calculated sprinkler system design will be accepted. Fire sprinkler system to comply with Menlo Park Fire Protection District Standards.
 2. Residential fire sprinkler shall have an interior alarm, activated by the flow switch that is audible in all sleeping areas.
 3. Fire flow data from Cal-Water Services to be provided at time of deferred submittal for the fire suppression system.
 4. Install smoke detectors in each sleeping area and the area outside sleeping areas. Install carbon monoxide detector outside sleeping areas. Smoke and carbon monoxide detectors shall be hardwired and inter-connected for alarm.
 5. The applicant shall provide at least 4 inch tall with 1/2 inch stroke illuminated address numbers. The address shall be visible from the street and contrasting to its background. Address numbers shall be maintained.
 6. Approved plans and approval letter must be on site at the time of inspection.
 7. Final acceptance of this project is subject to field inspection.

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

HOMETEC
 ARCHITECTURE, INC.

RICHARD A. HARTMAN
 A.L.A.
 486996-JRH96
 HometecArch@gmail.com

555 #B MERIDIAN AVE. SAN JOSE, CA 95126

NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

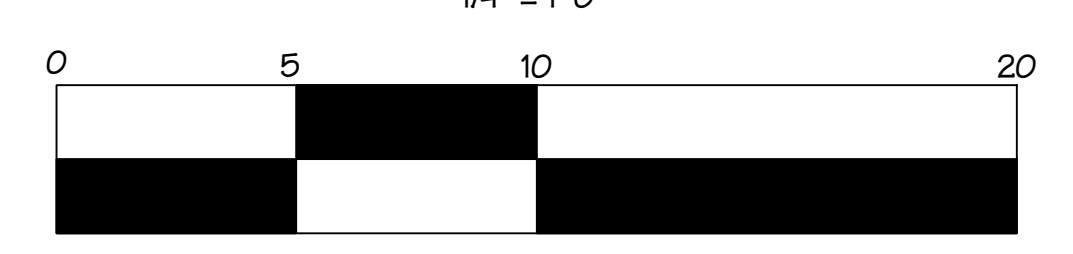
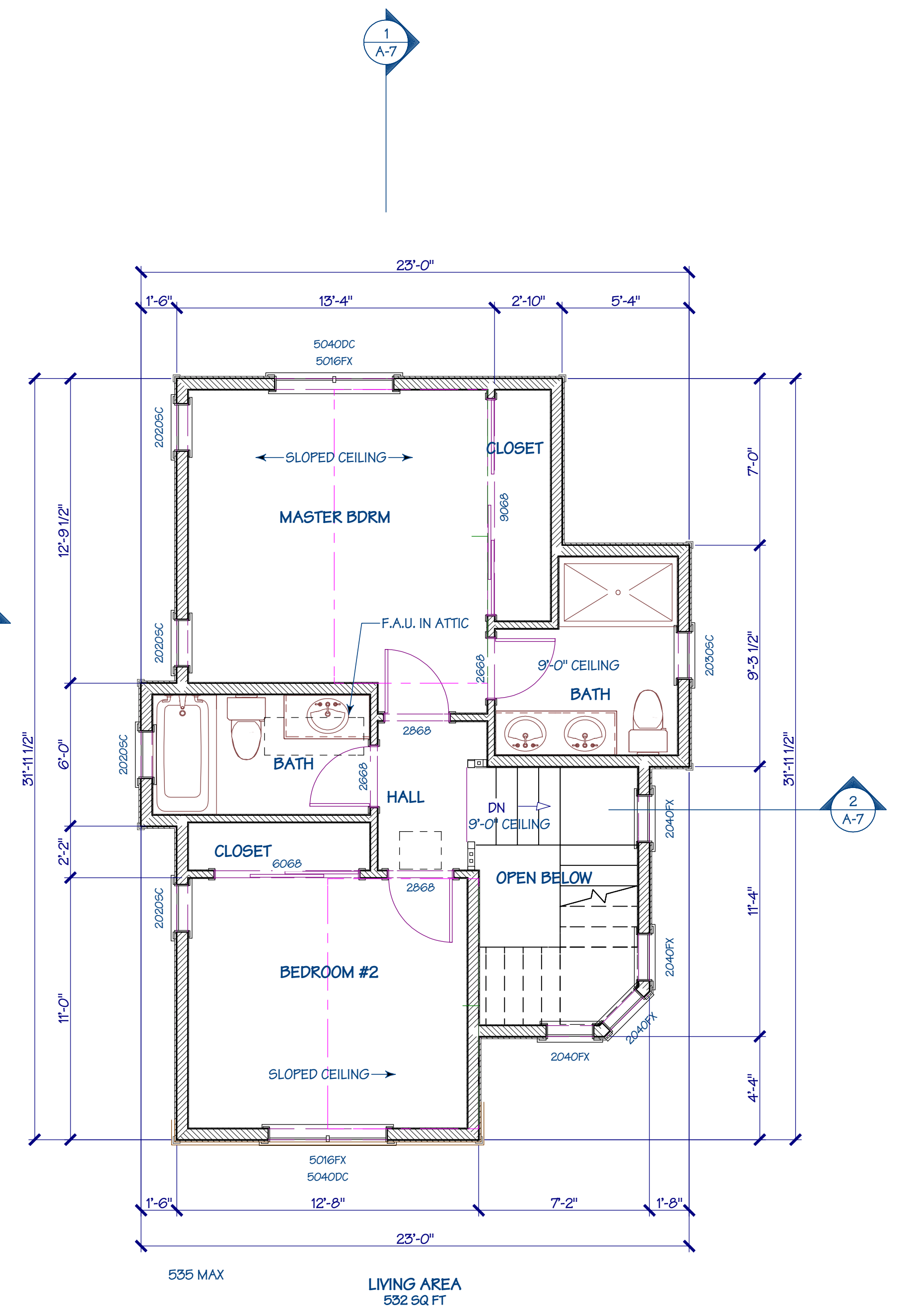
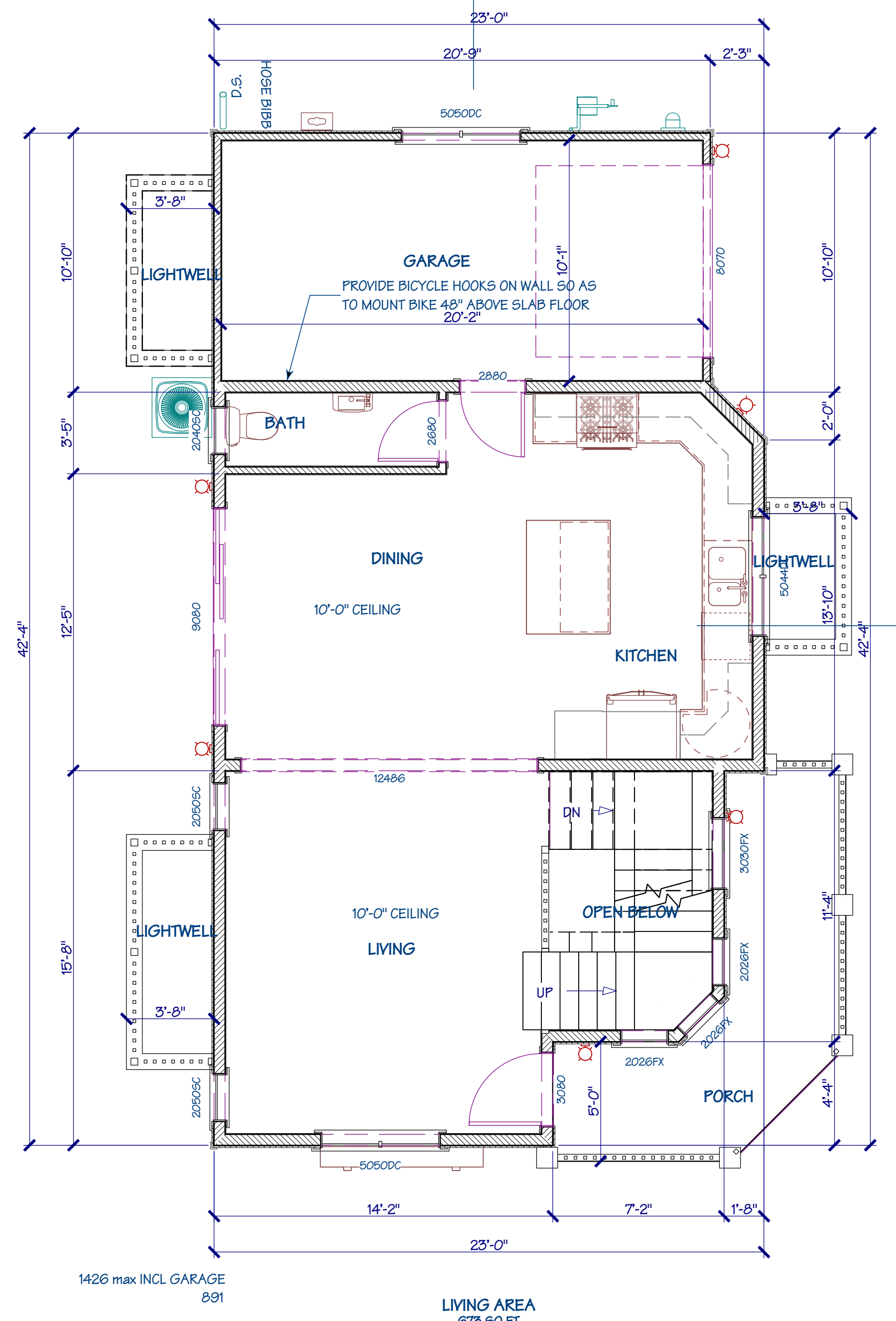
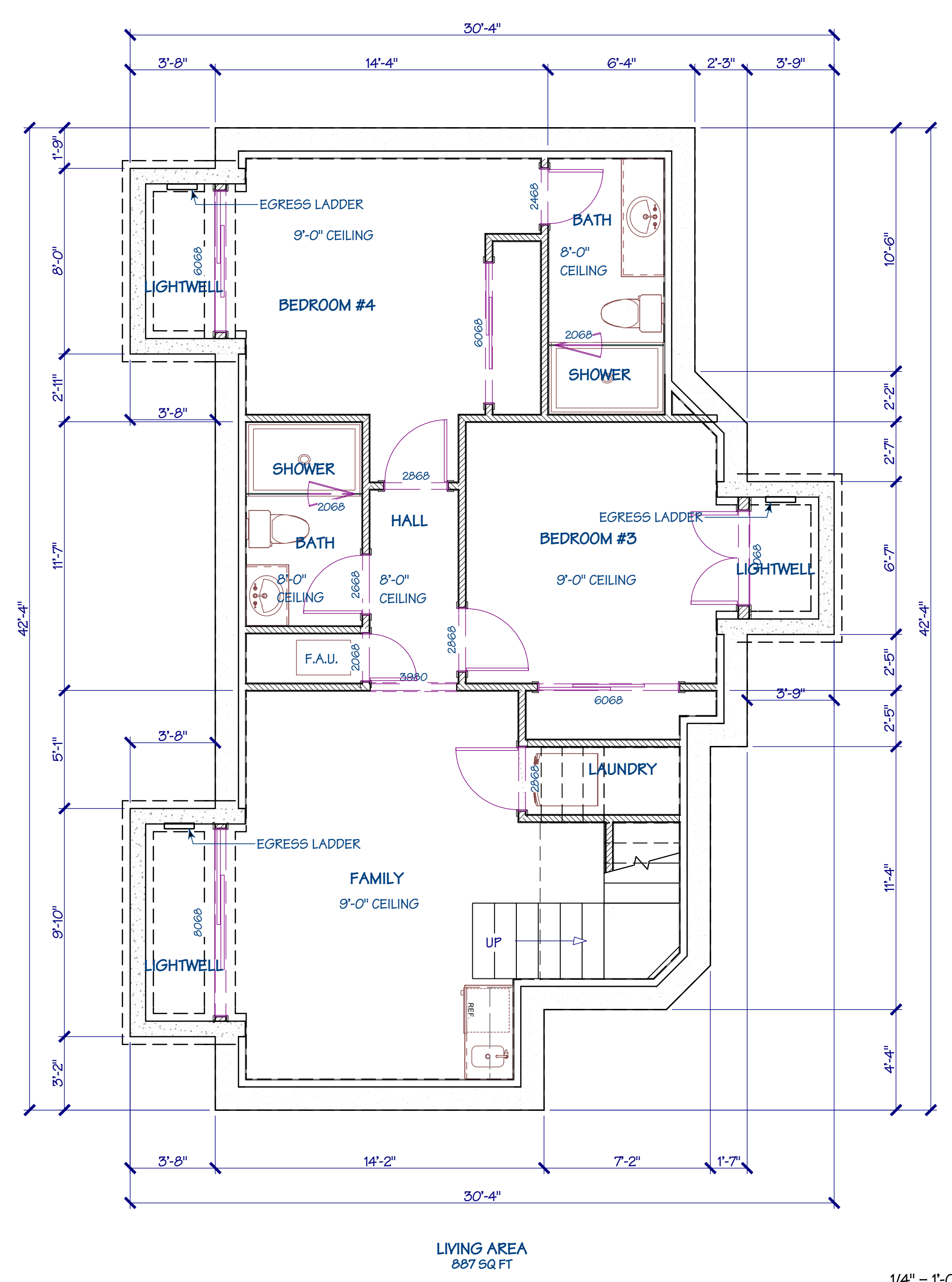
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 Job 19-002
 Sheet **A-1**
 of Sheets

REVISIONS	BY
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PLANNING 1-6-20	
PLANNING 1-7-20	

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RICHARD A. HARTMAN
A.L.A.
408.995.1496
HometecArch@gmail.com

NEW HOUSES FOR:
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Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
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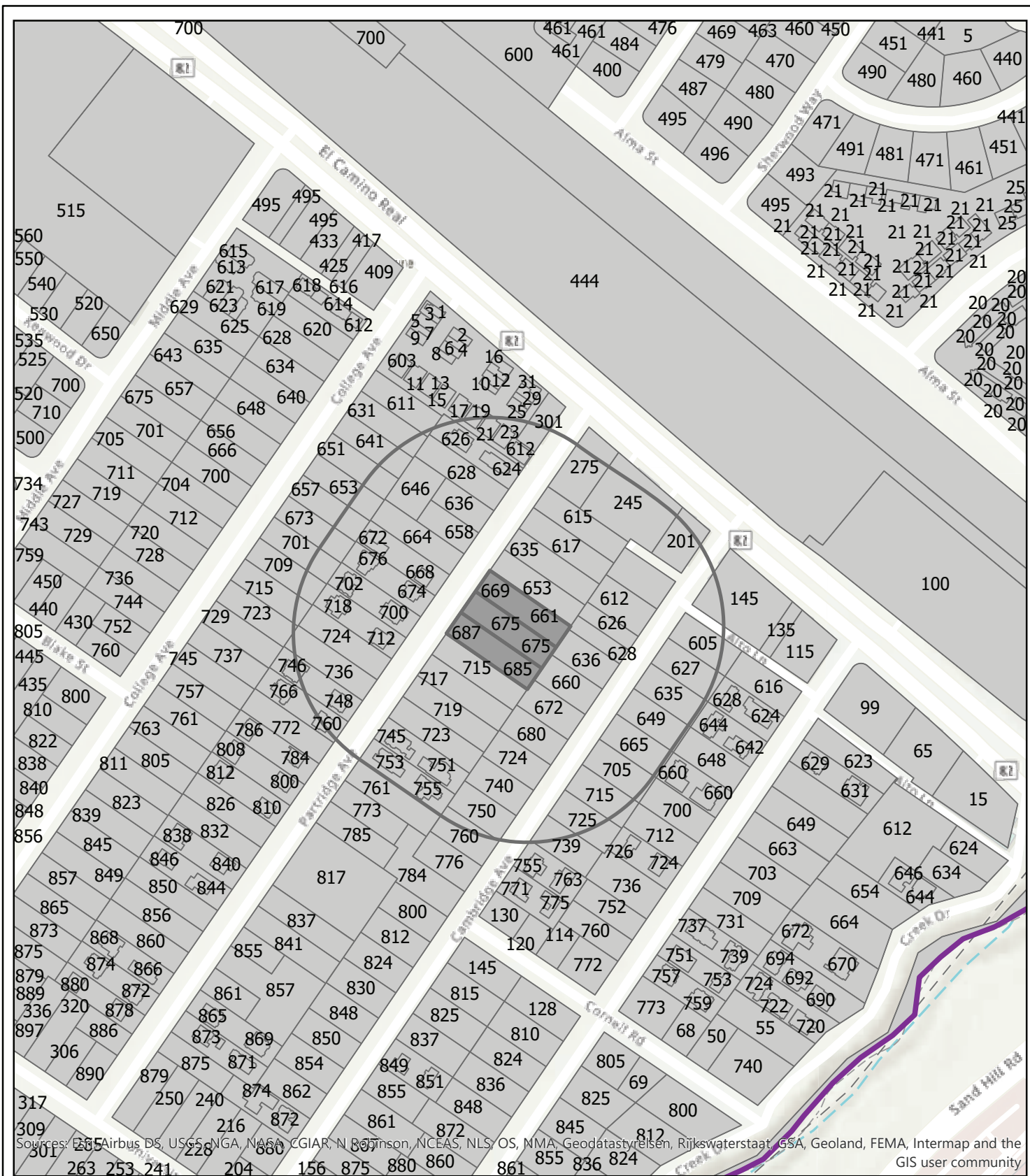


BASEMENT FLOOR

FIRST FLOOR

SECOND FLOOR

MIDDLE UNIT #6



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Bolinsson, NCEAS, NLS, OS, MMA, Geodatasyrisen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community



CITY OF MENLO PARK

LOCATION MAP

661-687 Partridge Avenue



Scale: 1:3,000

Drawn by: OP

Reviewed by: CDS

Date: 1/13/2020



NINE NEW HOUSES FOR:

GoldSilverIsland, LLC

661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

CIVIL ENGINEER
 Green Civil Engineering
 Ambrose Wong
 204 E 2nd Avenue, Suite 820
 San Mateo, CA 94401
 510-368-9863
 green-eng@hotmail.com

LANDSCAPE ARCHITECT
 Mara Young
 650-327-2644
 marayoung@gmail.com

OWNER
 Goldsilverisland Properties, LLC
 Ying-Min Li
 577 Salmar Avenue, Suite 107
 Campbell, CA 95008
 yingminli@hotmail.com
 408-896-3369

ARCHITECT
 HOMETEC Architecture, Inc.
 Richard A. Hartman, AIA
 555-B Meridian Avenue
 San Jose, CA 95126
 408-995-0496
 hometecarch@gmail.com

SOILS ENGINEER
 CAPEX Engineering
 Gary Hsu, PE
 POB 14198
 Fremont, CA 94539
 510-668-1815
 capexinc888@gmail.com

ARBORIST
 Kieilty Arborist Services
 Kevin R. Kieilty
 POB 6187
 San Mateo, CA 94403
 650-515-9783
 kkarbor0486@yahoo.com

SURVEYOR
 WILSON LAND SURVEYS
 Ken Wilson, LLS
 408-427-2279
 Kenw@wilsonlandsurveys.com

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REVISIONS	BY
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PLANNING 12-4-19	
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HOMETEC
 ARCHITECTURE, INC.
 555 #B MERIDIAN AVE. SAN JOSE, CA 95126
 RICHARD A. HARTMAN
 A.I.A.
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 HometecArch@gmail.com

NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	T-1
of	Sheets

Kiely Arborist Services LLC
 Certified Arborist WE#0476A
 P.O. Box 6187
 San Mateo, CA 94403
 650-515-9783

March 14, 2019 revised December 4, 2019

GoldSilverland Homes, LLC
 Attn: Mr. Ying-Min Li
 43575 Mission Blvd, suite 359
 Fremont, CA, 94539

Site: 661-687 Partridge, Menlo Park, CA

Dear Mr. Ying-Min Li,

As requested on Thursday, March 14, 2019, I visited the above site to inspect and comment on the trees. New homes are planned for the site and your concern as to the future health and safety of the trees has prompted this visit. Site Plan A-1 dated March 14, 2019 was reviewed for this report.

Method:

All inspections were made from the ground; the tree was not climbed for this inspection. The tree in question was located on a map provided by you. The tree was then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The tree was given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1 - 29	Very Poor
30 - 49	Poor
50 - 69	Fair
70 - 89	Good
90 - 100	Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

661-687 Partridge/3/14/19 (2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1P	Southern magnolia (<i>Magnolia grandiflora</i>)	24.1	65	30/35	Good vigor, fair form, in 4 foot wide planting strip.
2P	Southern magnolia (<i>Magnolia grandiflora</i>)	26.5	60	30/35	Good vigor, fair form, trimmed for line clearance.
3P	Southern magnolia (<i>Magnolia grandiflora</i>)	29.2	55	30/35	Poor-fair vigor, fair form, sidewalk replaced.
4X	Hollywood juniper (<i>Juniperus chinensis</i>)	9.2	55	25/20	Fair vigor, poor form, poor location, close to home.
5X	Hollywood juniper (<i>Juniperus chinensis</i>)	9.9	60	25/25	Fair vigor, poor form, poor location, close to home.
6X	Hollywood juniper (<i>Juniperus chinensis</i>)	10.6	55	25/20	Fair vigor, poor form, poor location, close to home.
7X	Persimmon (<i>Diospyros virginiana</i>)	6.4	60	15/15	Good vigor, fair form, heavily trimmed.
8XP	Fig (<i>Ficus carica</i>)	17.2	60	15/20	Good vigor, fair form, heavily trimmed.
9*	Redwood (<i>Sequoia sempervirens</i>)	36	75	85/35	Good vigor, good form, 8 feet from property line. No impacts are expected.
10X	Lemon (<i>Citrus limon</i>)	10.3	50	10/15	Good vigor, fair form, topped.
11X	Lemon (<i>Citrus limon</i>)	8.4	50	10/15	Good vigor, fair form, topped, at edge of driveway.
12X	Guava (<i>Acca sellowiana</i>)	6.3	55	15/15	Good vigor, fair form, heavily trimmed.
13X	Lemon (<i>Citrus limon</i>)	5.5	65	10/15	Good vigor, fair form, Meyer lemon.
14*P	Redwood (<i>Sequoia sempervirens</i>)	30est	55	80/35	Fair vigor, fair form, 20 feet from property line. No impacts are expected.

661-687 Partridge/3/14/19 (3)

Tree#	Species	DBH	CON	HT/SP	Comments
15*	Birch (<i>Betula pendula</i>)	12	60	35/30	Good vigor, fair form, 6 feet from property line.
16*	Birch (<i>Betula pendula</i>)	10	60	35/30	Good vigor, fair form, 6 feet from property line.
17	Persimmon (<i>Diospyros virginiana</i>)	8.8	65	10/10	Good vigor, fair form, heavily trimmed.
18X	Fig (<i>Ficus carica</i>)	10.9	70	10/20	Good vigor, good form, well maintained.
19X	Apple (<i>Malus domestica</i>)	10.2	60	15/15	Good vigor, fair form, upright form.
20X	Almond (<i>Prunus amygdalus</i>)	8.2	60	6/10	Good vigor, fair form, stump sprouts.

X indicates tree to be removed P indicates protected tree, *indicates neighbor's trees

Summary:

The trees on site are a mix on non-native trees (exotics) with no native oaks on the site or near the site. The trees consist of three street trees and a large number of fruit trees. The majority of the fruit trees will be removed to facilitate the project. The Hollywood junipers are poorly formed due to their location (close to the existing homes).

The neighboring trees are a good distance from the property line and no negative impacts are expected. New patios are planned for the outer edges of the trees dripline. The excavation for the patio will be done by hand when inside the trees dripline (10xDBH). The project arborist will be on site if the roots of the neighbor's trees or the street trees are impacted. The following tree protection plan will help to reduce impacts to the retained trees.

Tree Protection Plan:

Tree Protection Zones
 Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot chain link fencing supported by metal poles or stakes pounded into the ground. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones.

661-687 Partridge/3/14/19 (4)

Root Cutting

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend fertilizing or irrigation if root cutting is significant. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Trenching

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

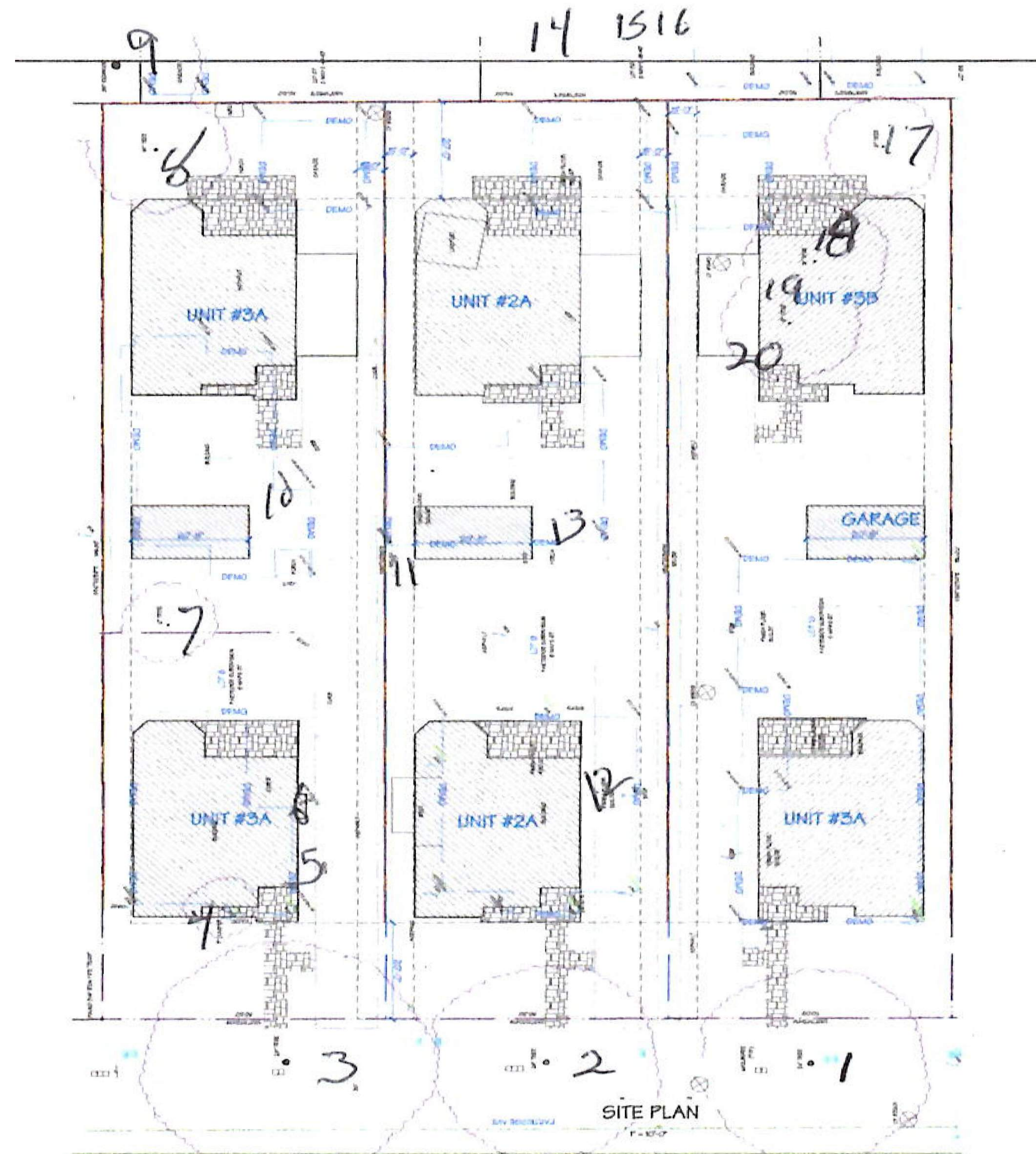
Irrigation

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kiely
 Certified Arborist WE#0476A



REVISIONS	BY
PLANNING 9-12-19	
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PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

RICHARD A. HARTMAN
 A.L.A.
 408.996.1496
 HartmanArb@gmail.com

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 ARCHITECTURE, INC.
 555 #B MERIDIAN AVE. SAN JOSE, CA 95126

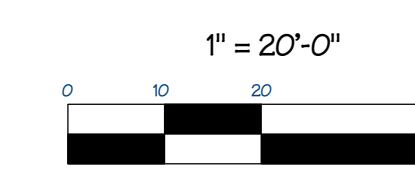
NEW HOUSES FOR:
GoldSilverland, LLC
 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	T-2

ARBORIST REPORT



SITE AREA PLAN



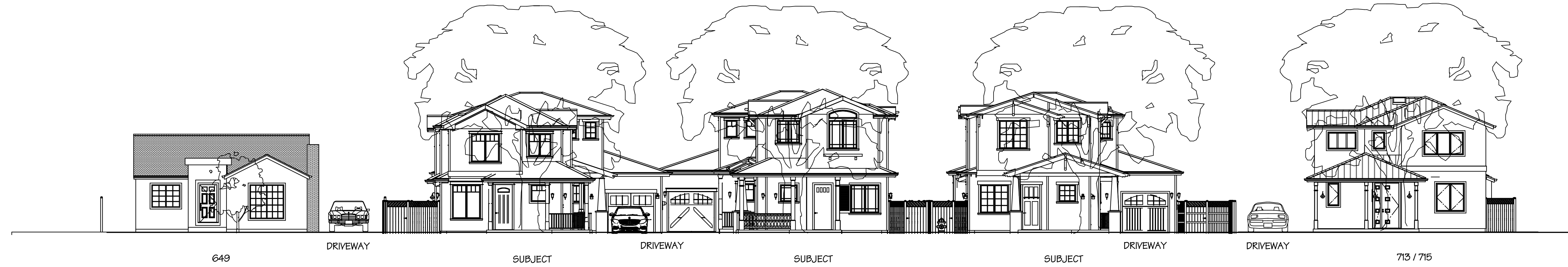
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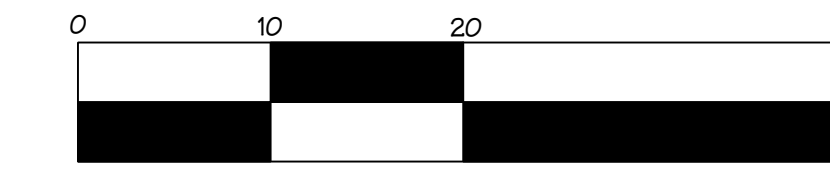
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Job	19-002
Sheet	T-3
of	Sheets



STREET SCAPE

1" = 10'-0"

PLANNING APPROVED



REVISIONS	BY
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PLANNING 12-18-19	
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PLANNING 1-7-20	

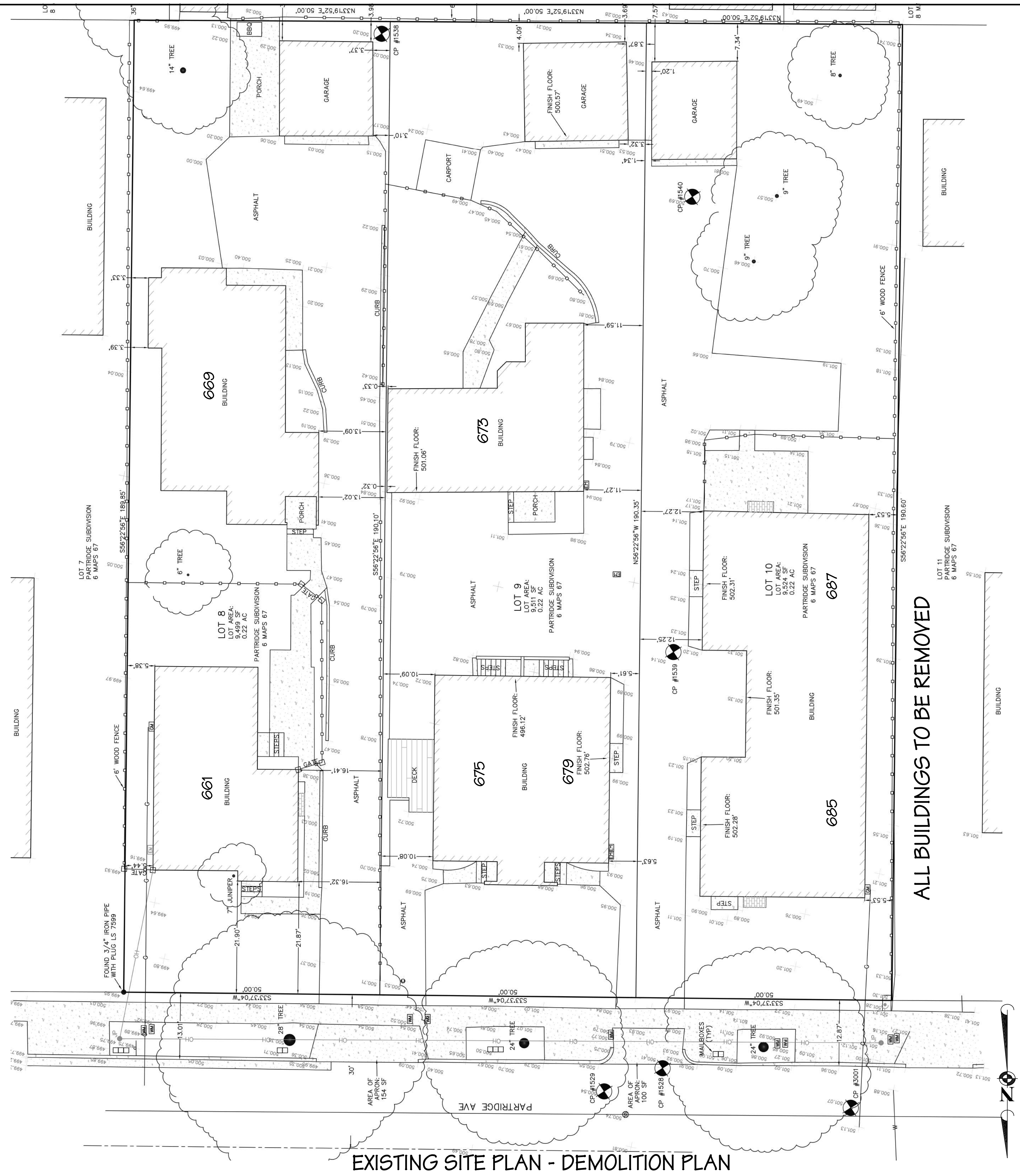
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A.L.A.

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Date 12 - 19 - 19
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Job 19-002
Sheet

T-4
of Sheets



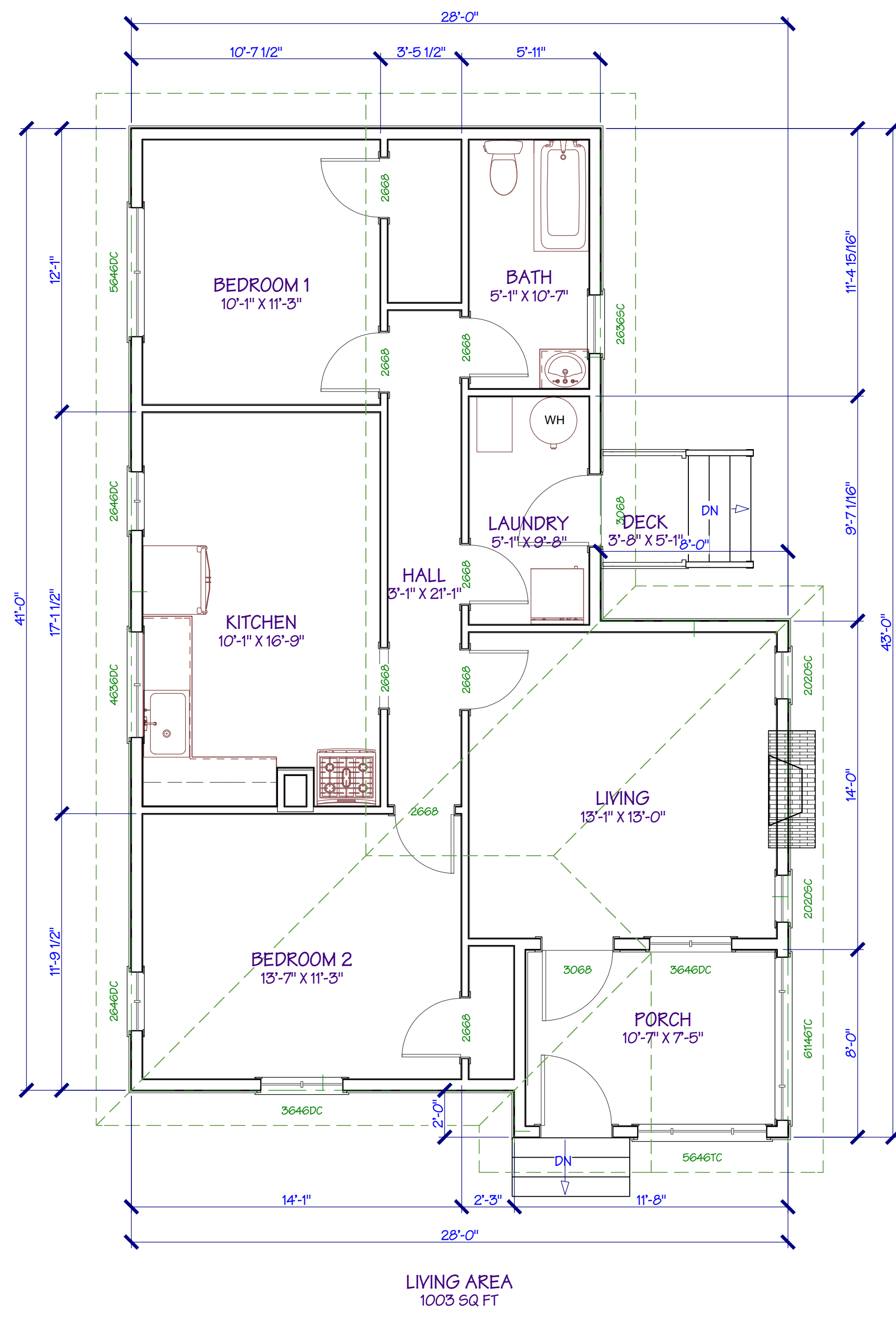
EXISTING SITE PLAN - DEMOLITION PLAN

REVISIONS	BY
PLANNING 9-12-19	
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PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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 ARCHITECTURE, INC.
 555 #B MERIDIAN AVE. SAN JOSE, CA 95126
 RICHARD A. HARTMAN
 A.L.A.
 408.995.1496
 HometecArch@gmail.com

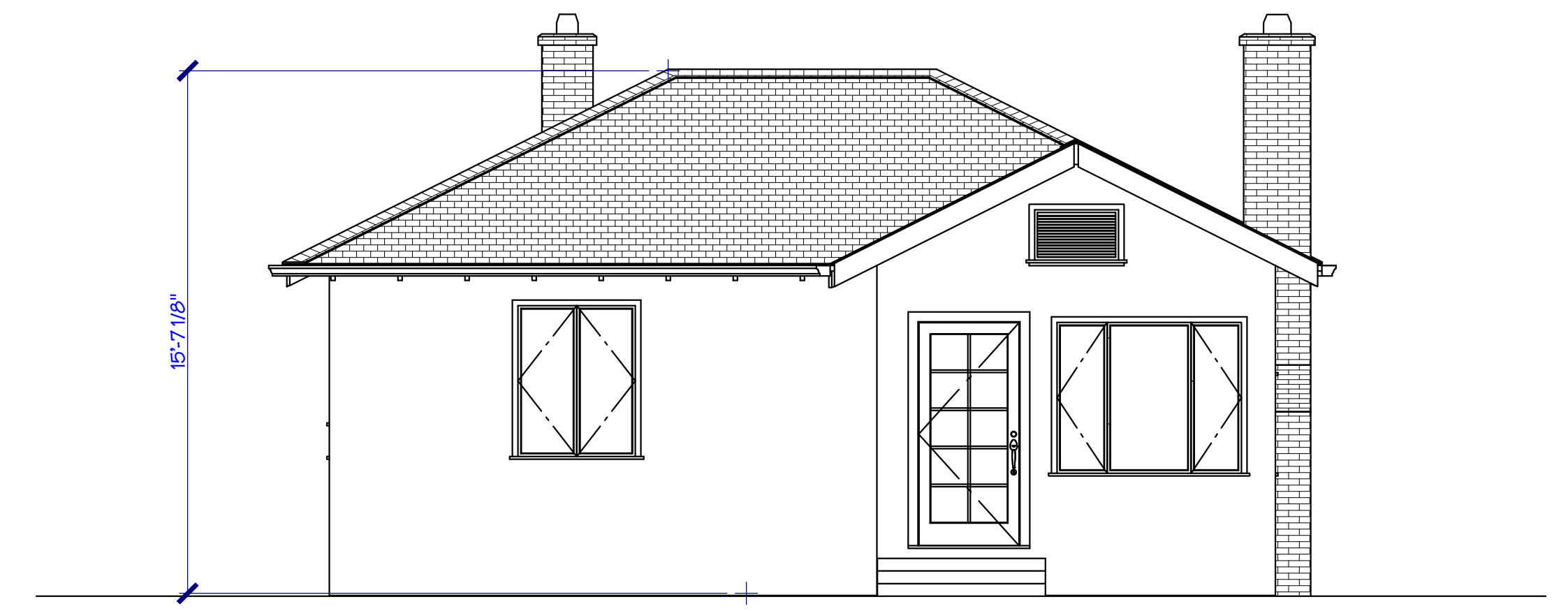
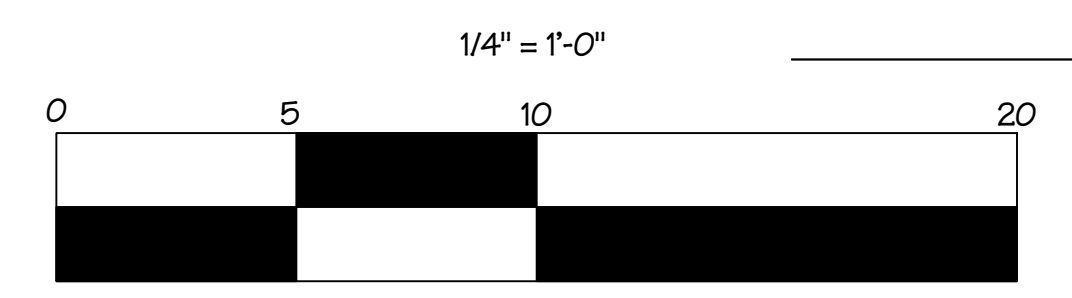
NEW HOUSES FOR:
GoldSilverland, LLC
 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	D-1
of	Sheets

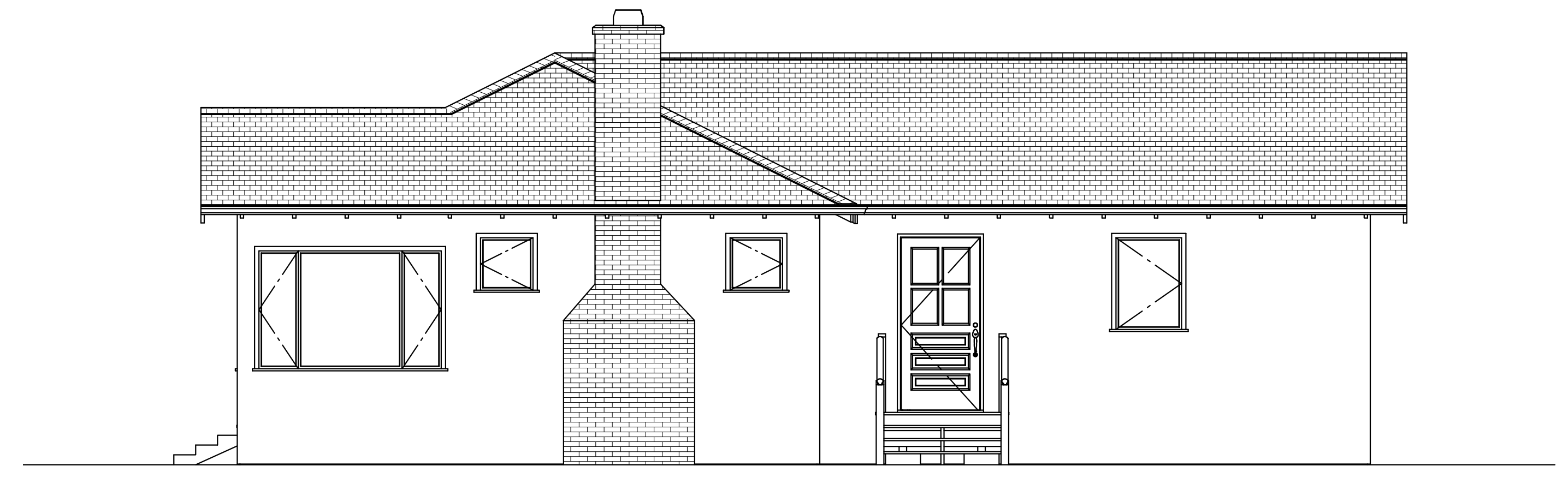


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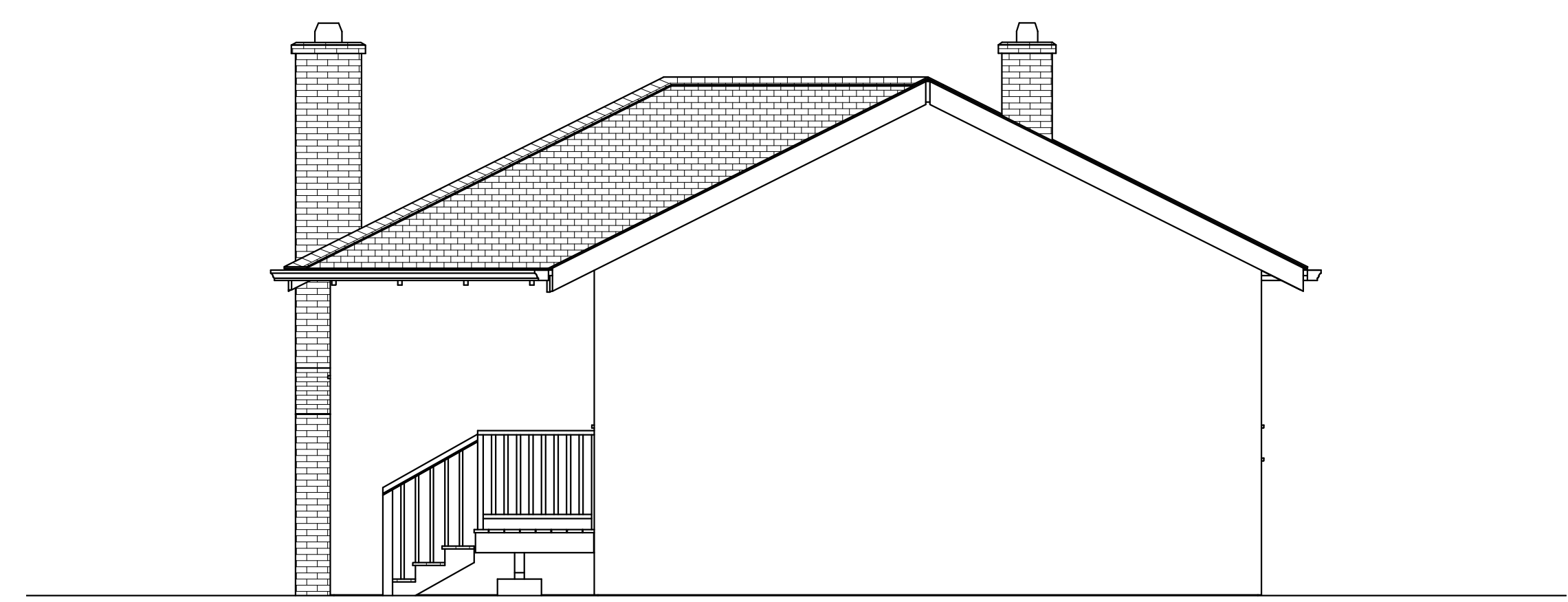
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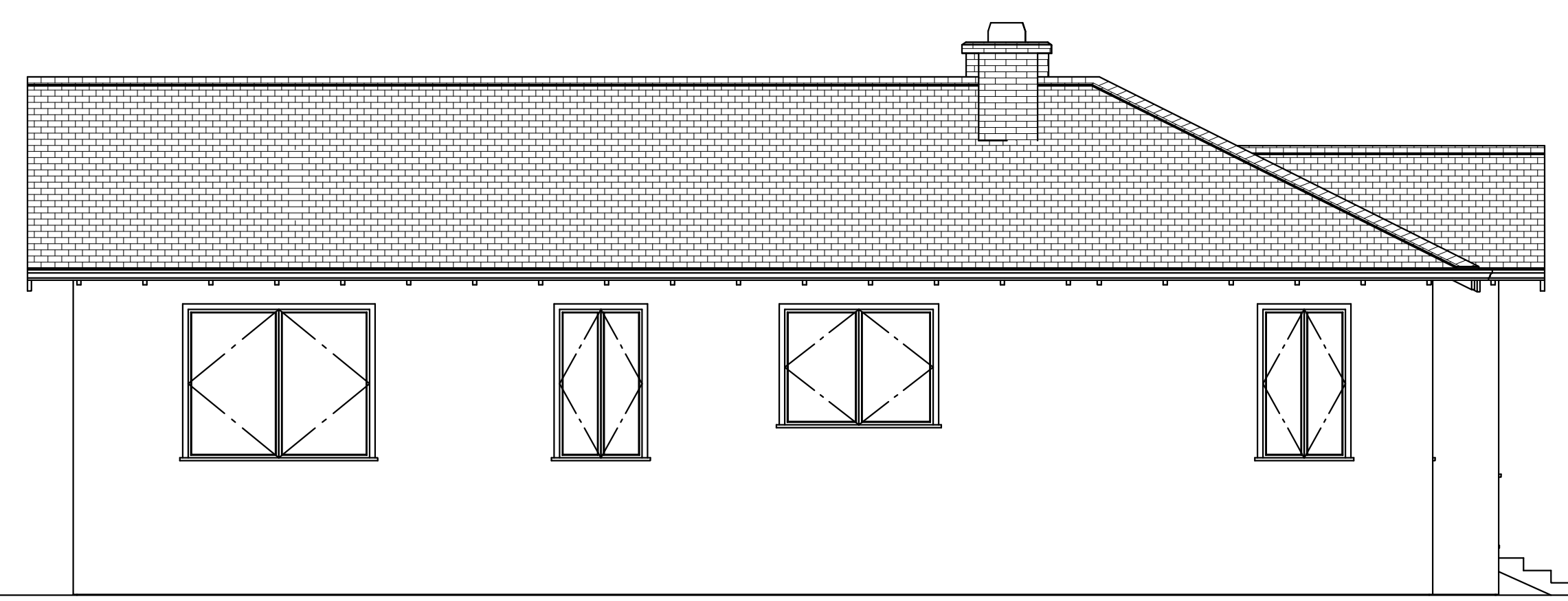
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

#661

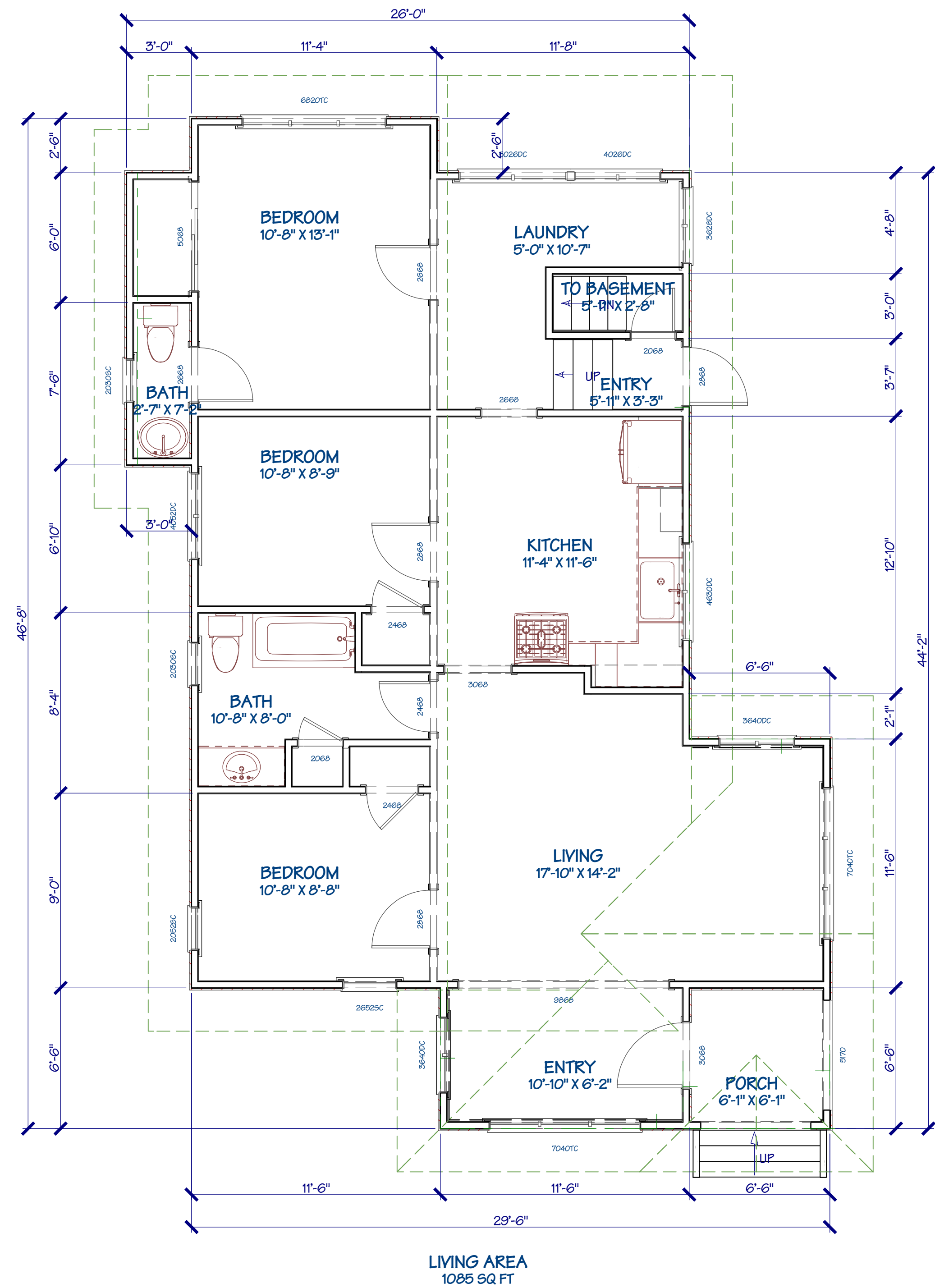
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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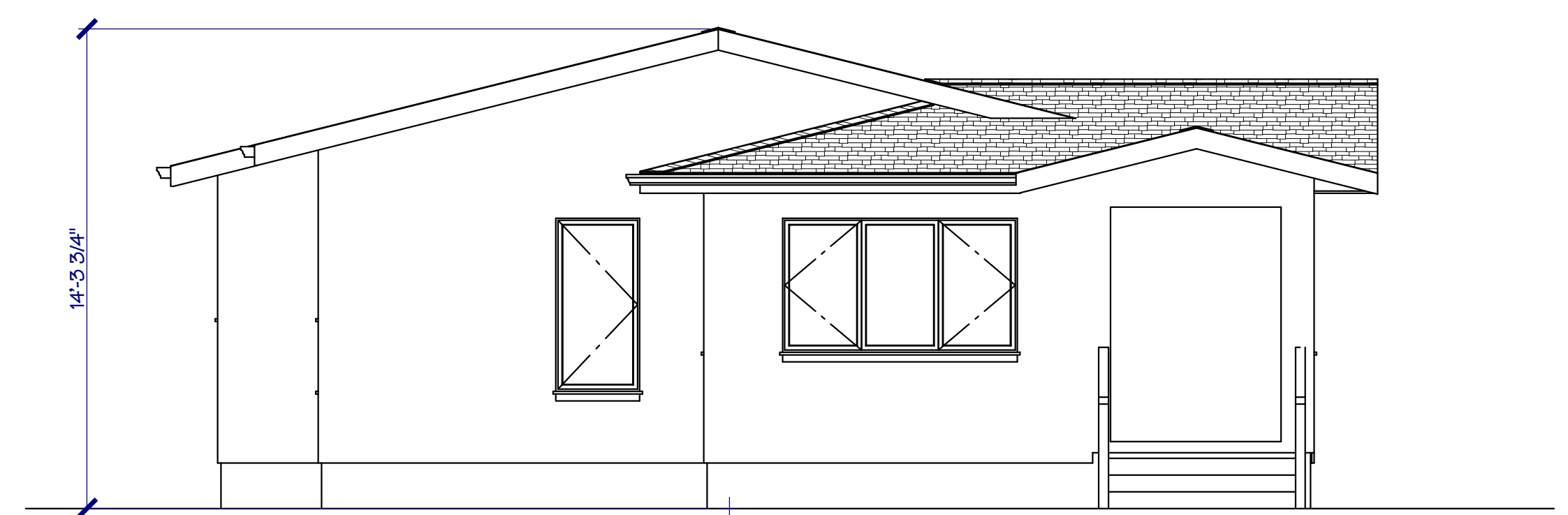
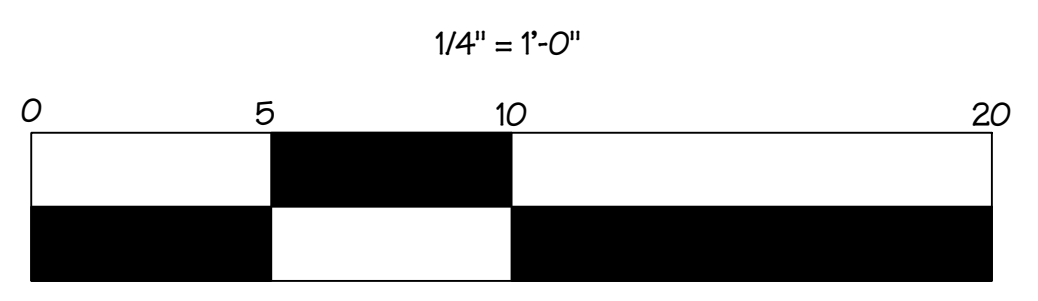
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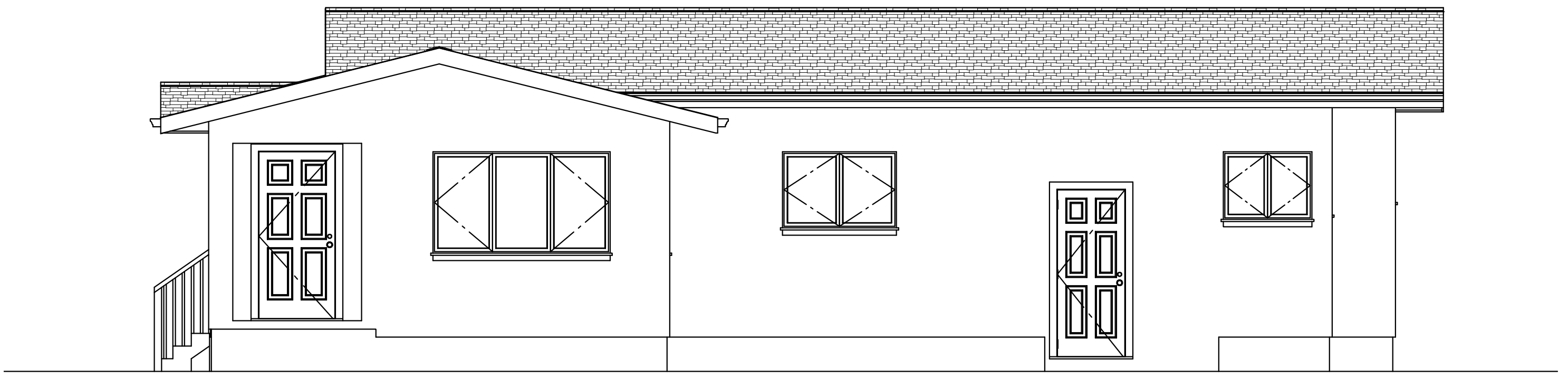


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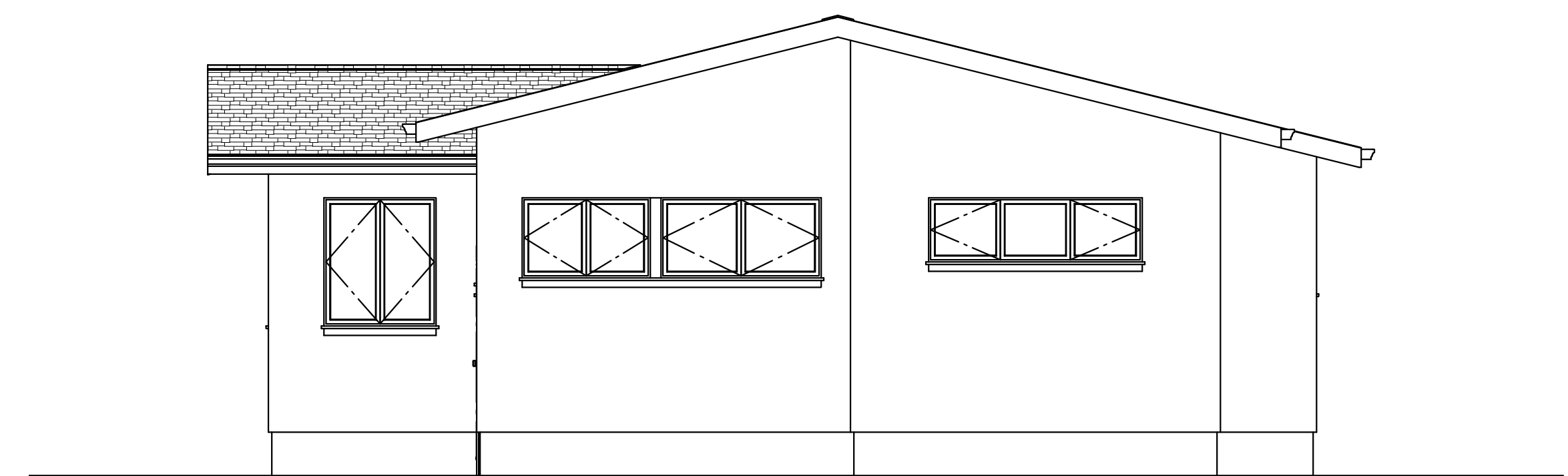
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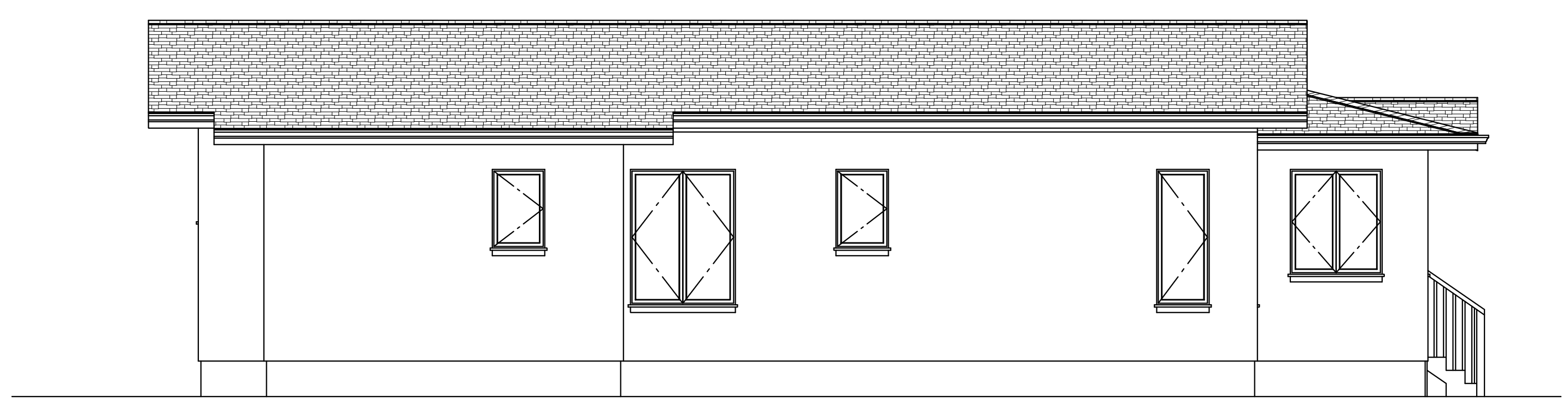
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

#669

REVISIONS	BY
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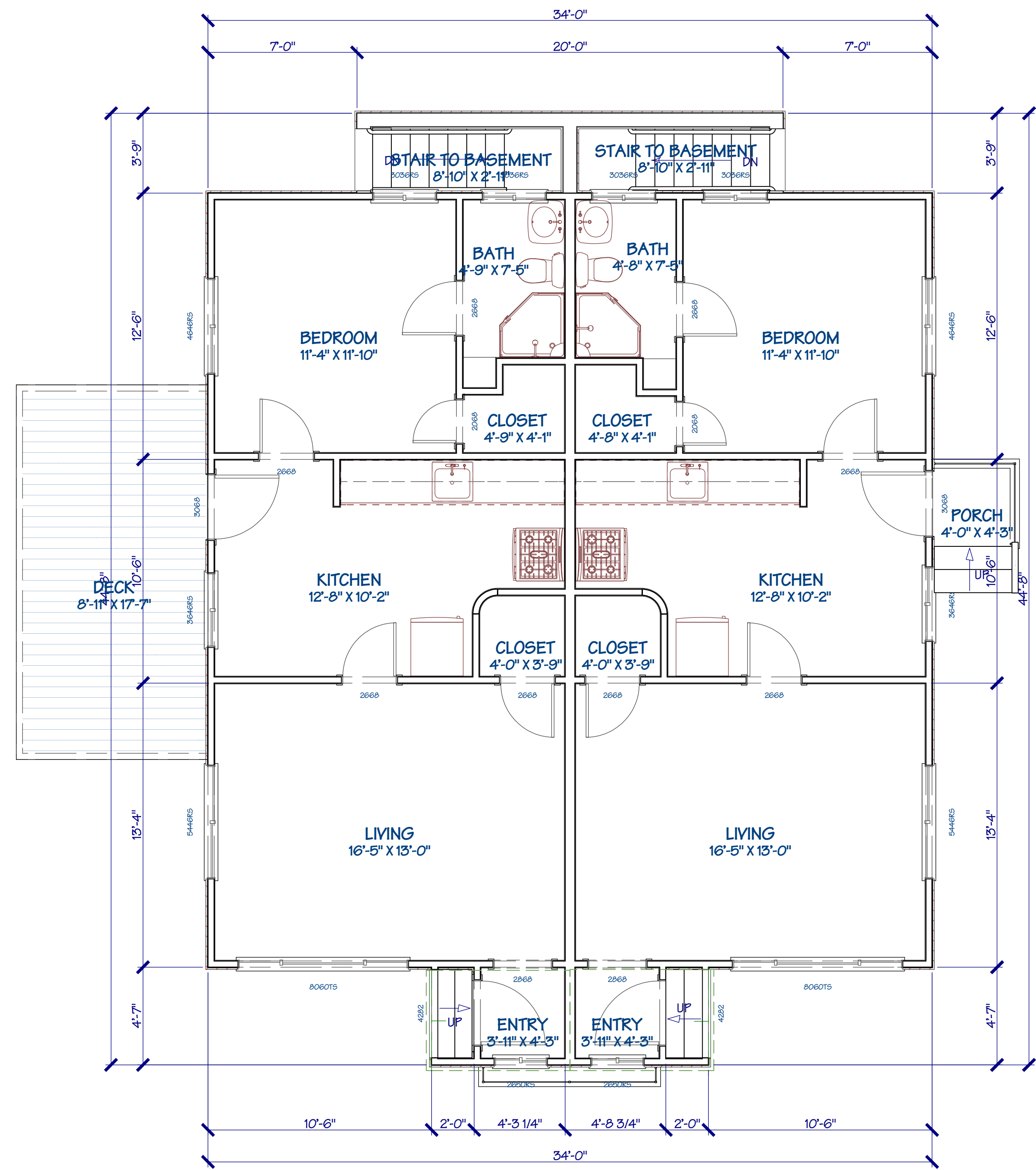
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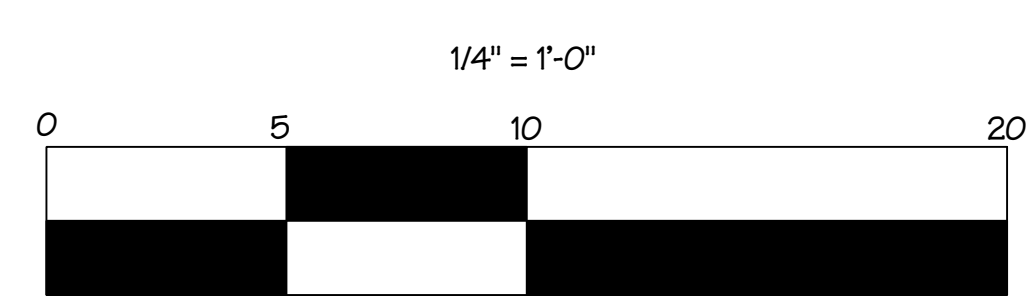
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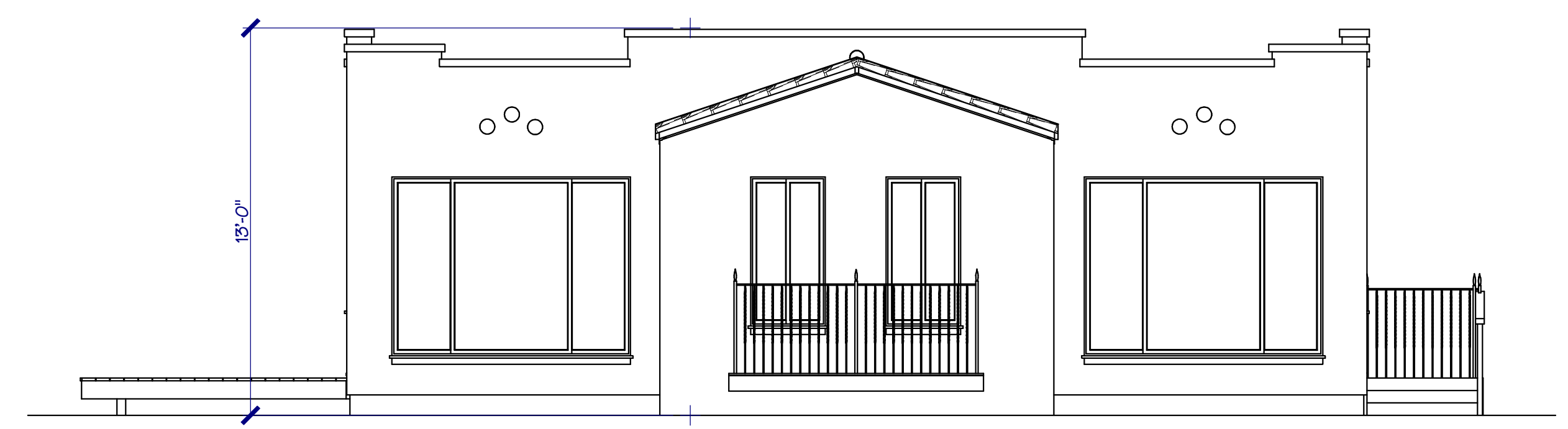


LIVING AREA
1277 SQ FT

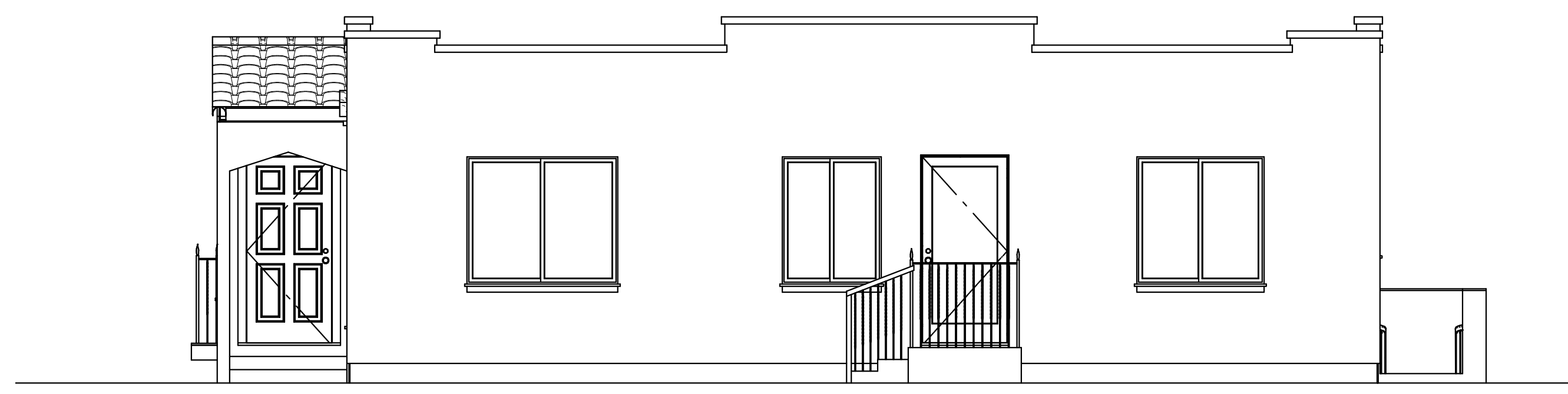
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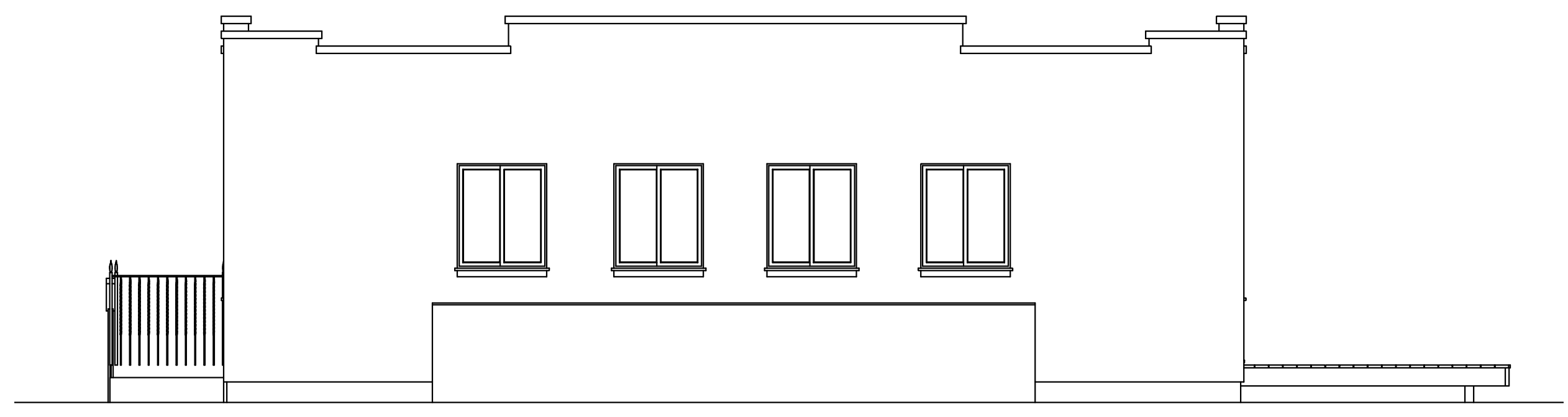
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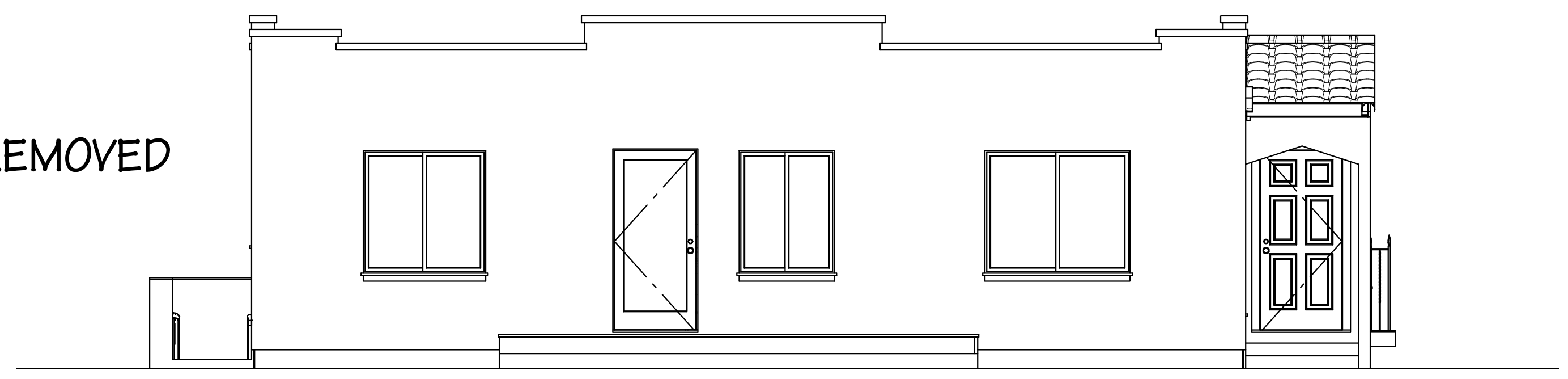
NORTH ELEVATION



WEST ELEVATION

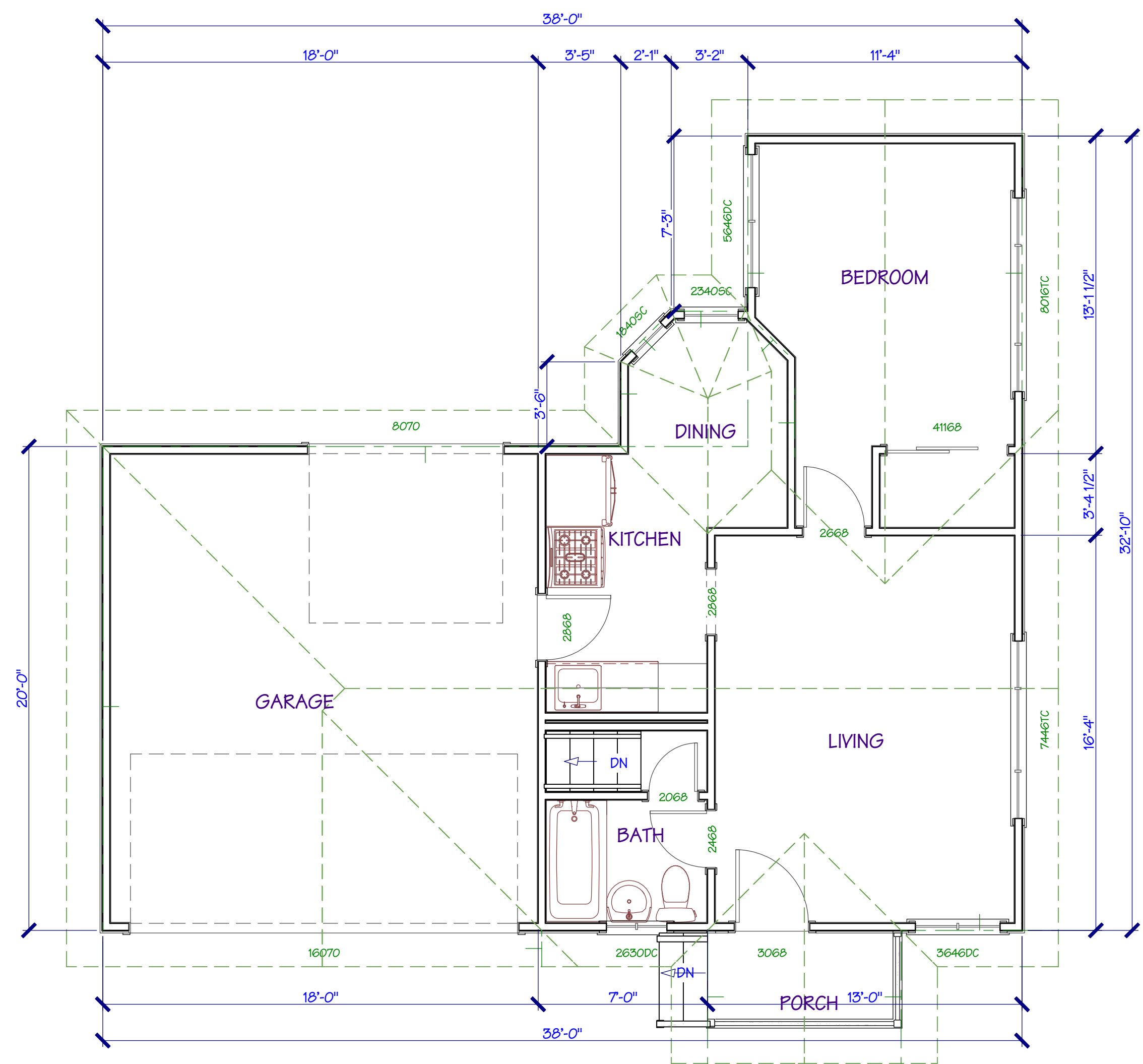


SOUTH ELEVATION



EAST ELEVATION

#675 & 679

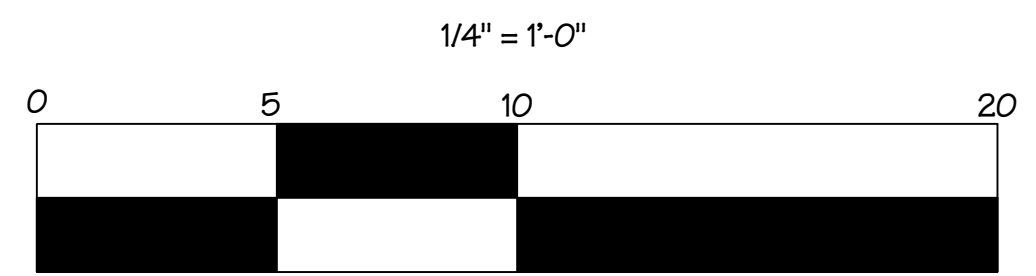


LIVING AREA
573 SQ. FT.

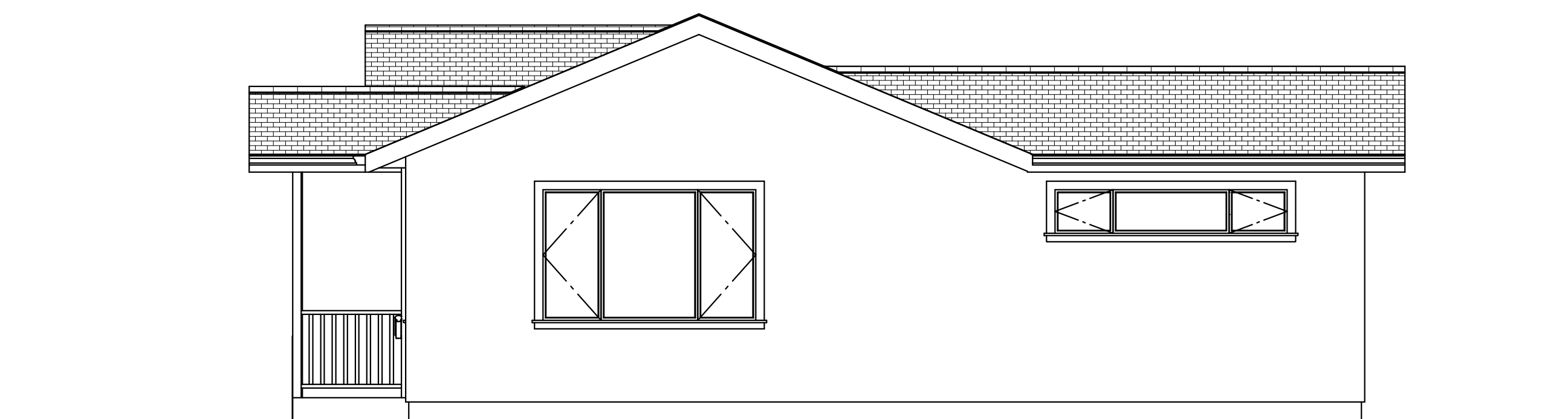
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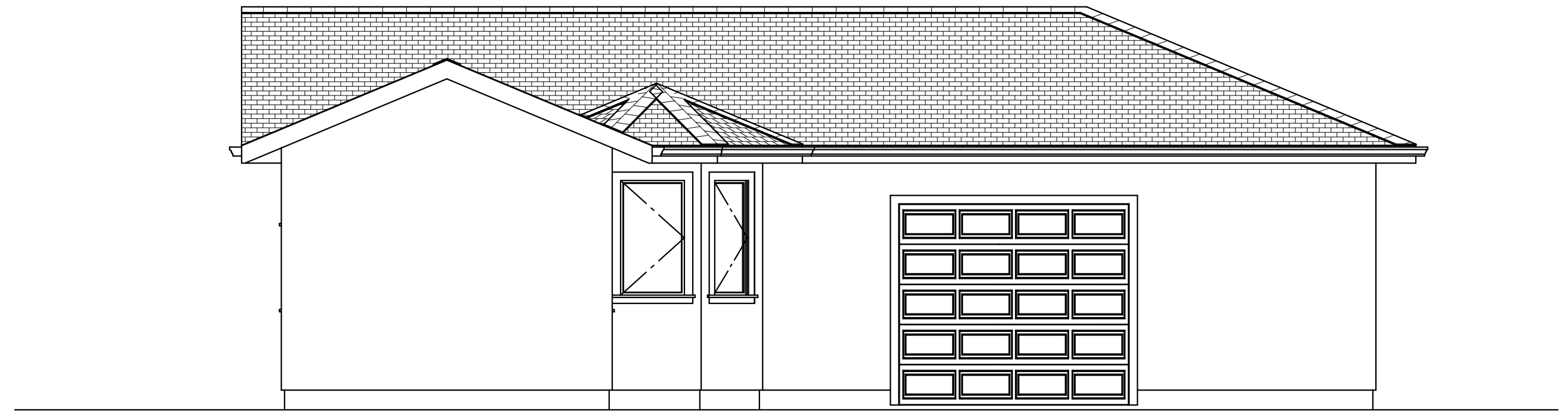
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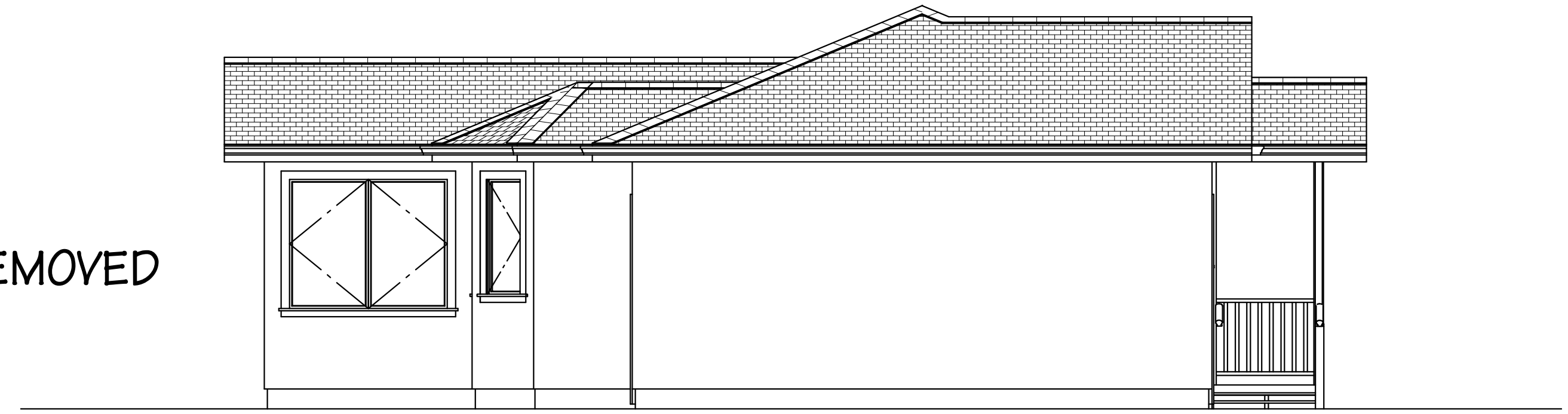
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

#673

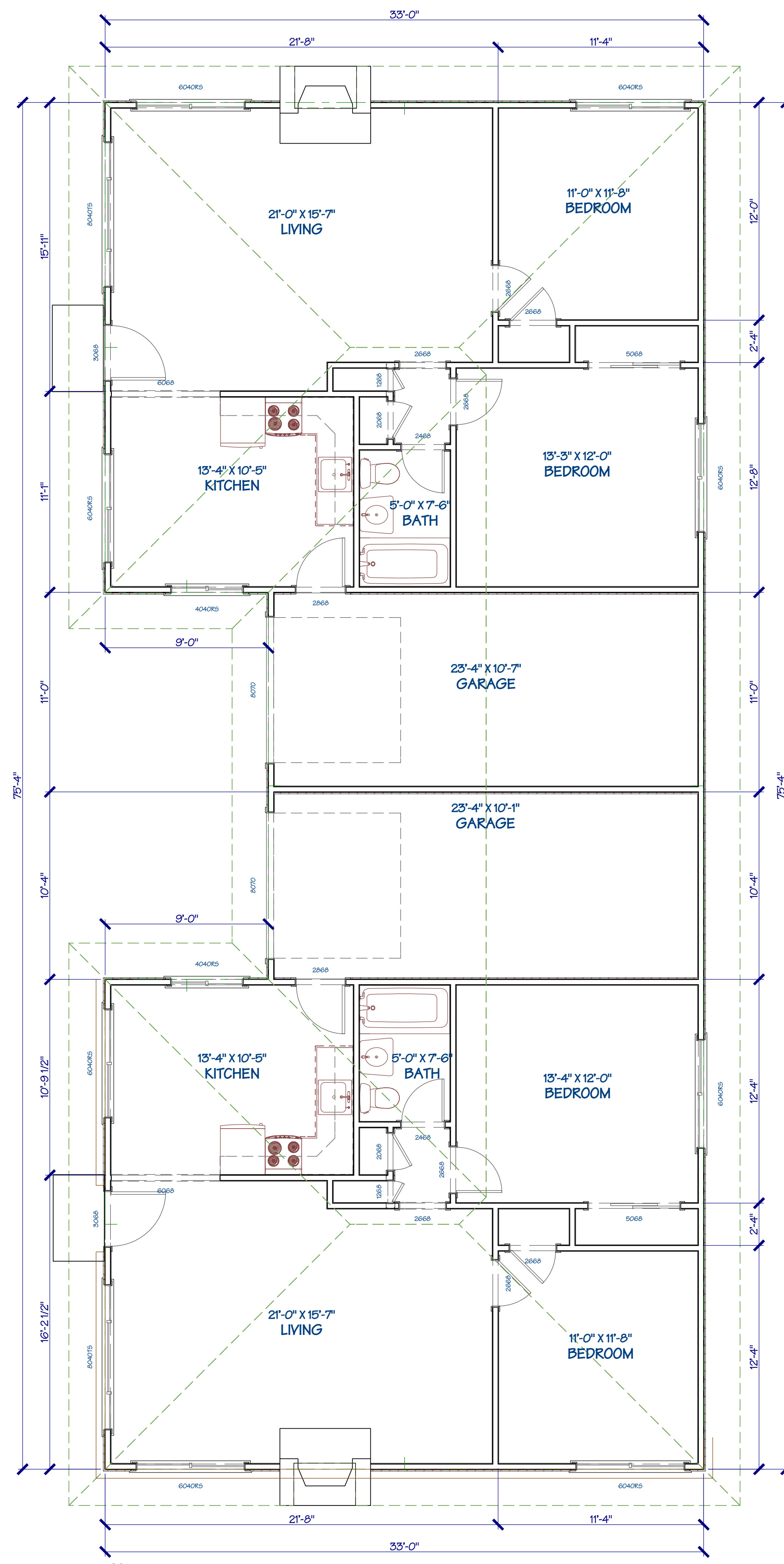
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PLANNING 1-7-20	

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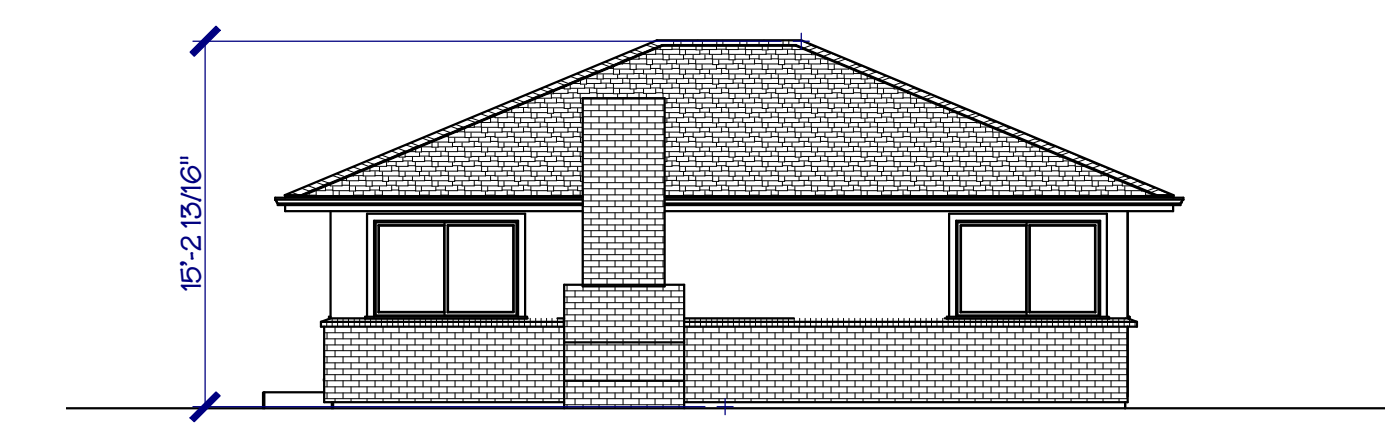
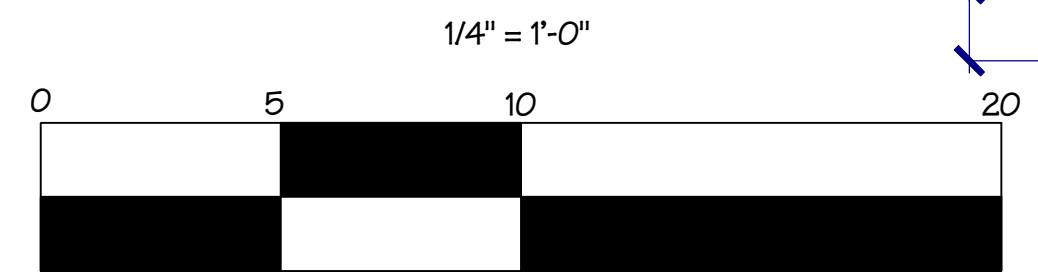
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Drawn	RAH
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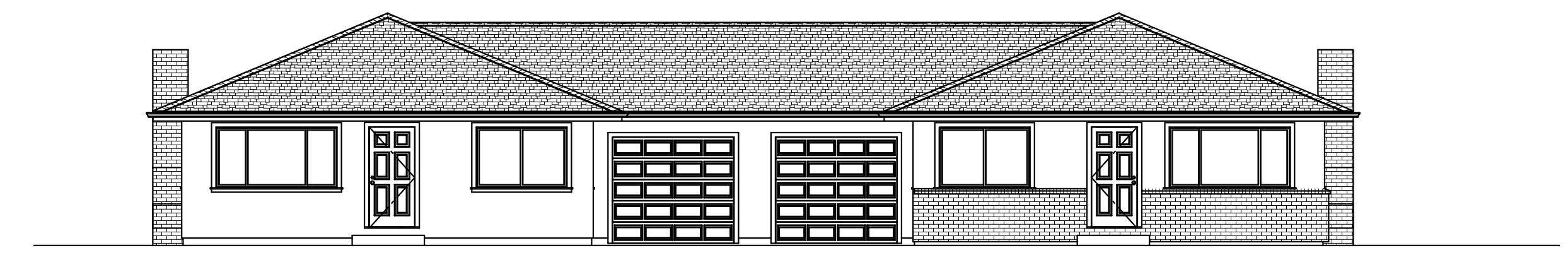


1782 SQ FT
LIVING AREA
FLOOR PLAN

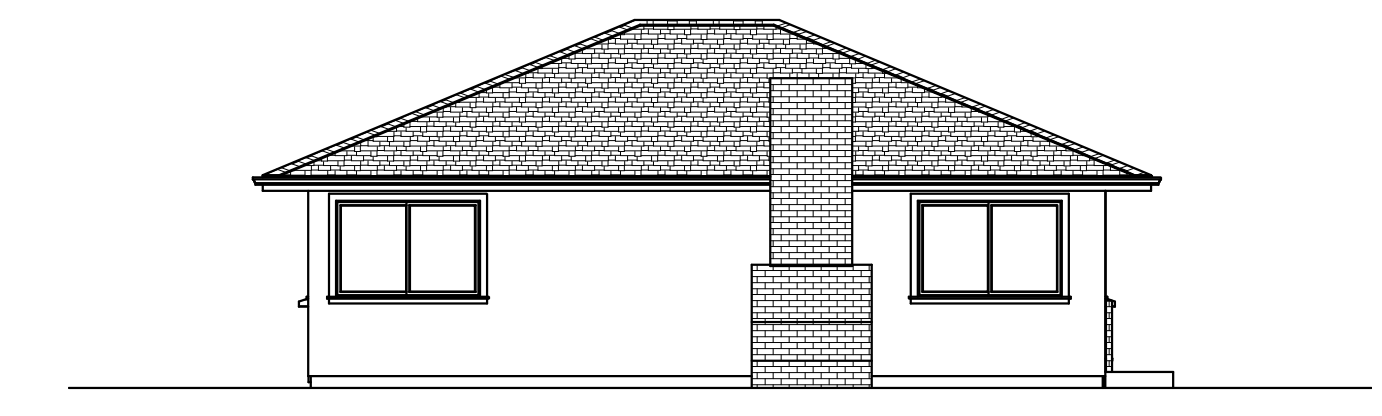
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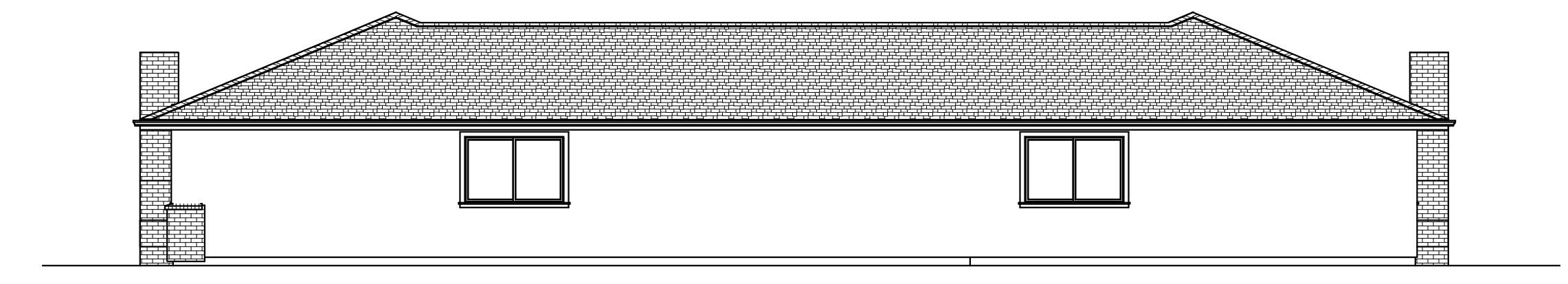
NORTH ELEVATION



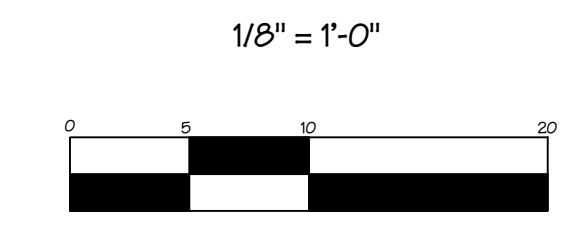
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



#685 & 687

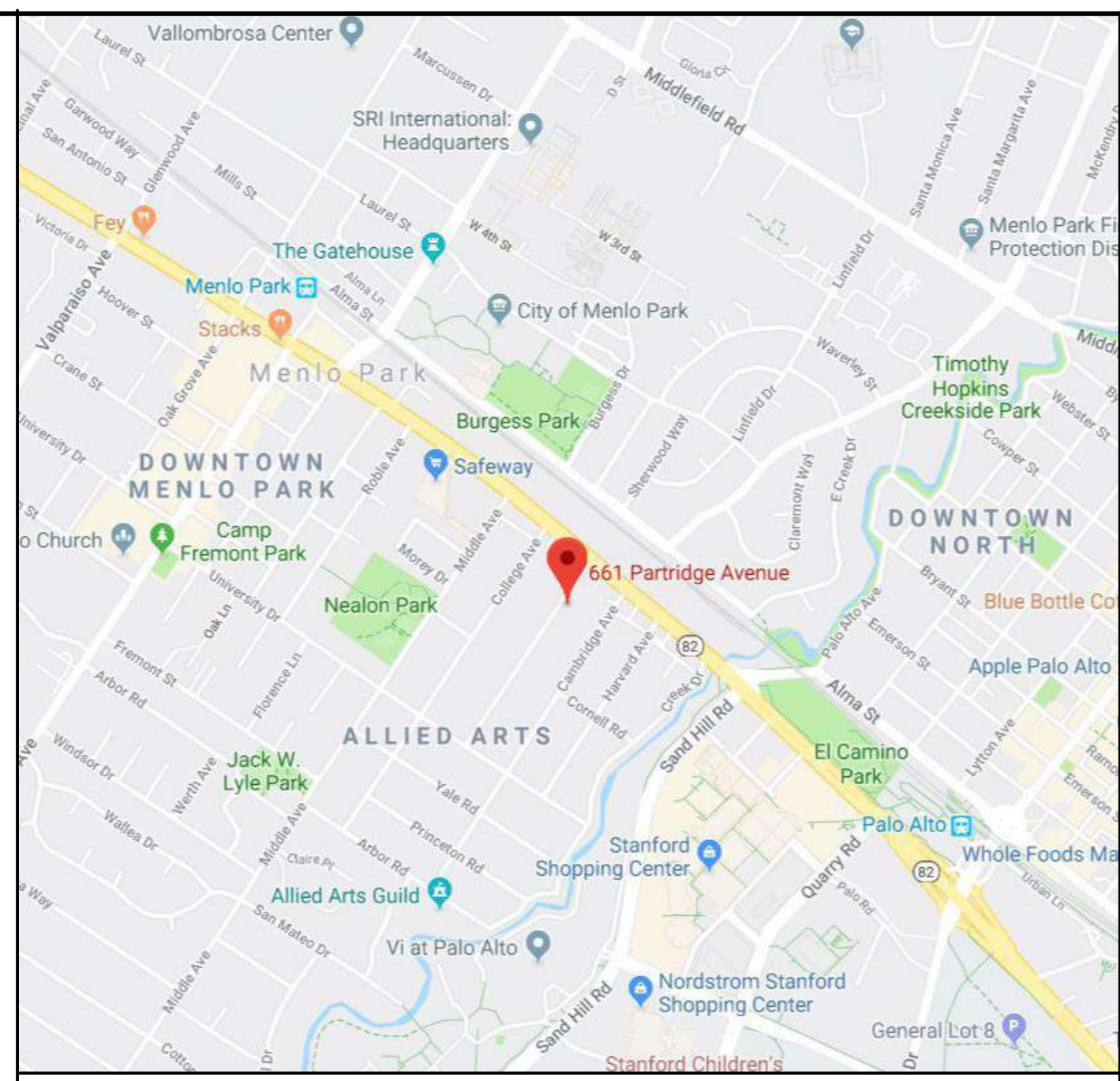
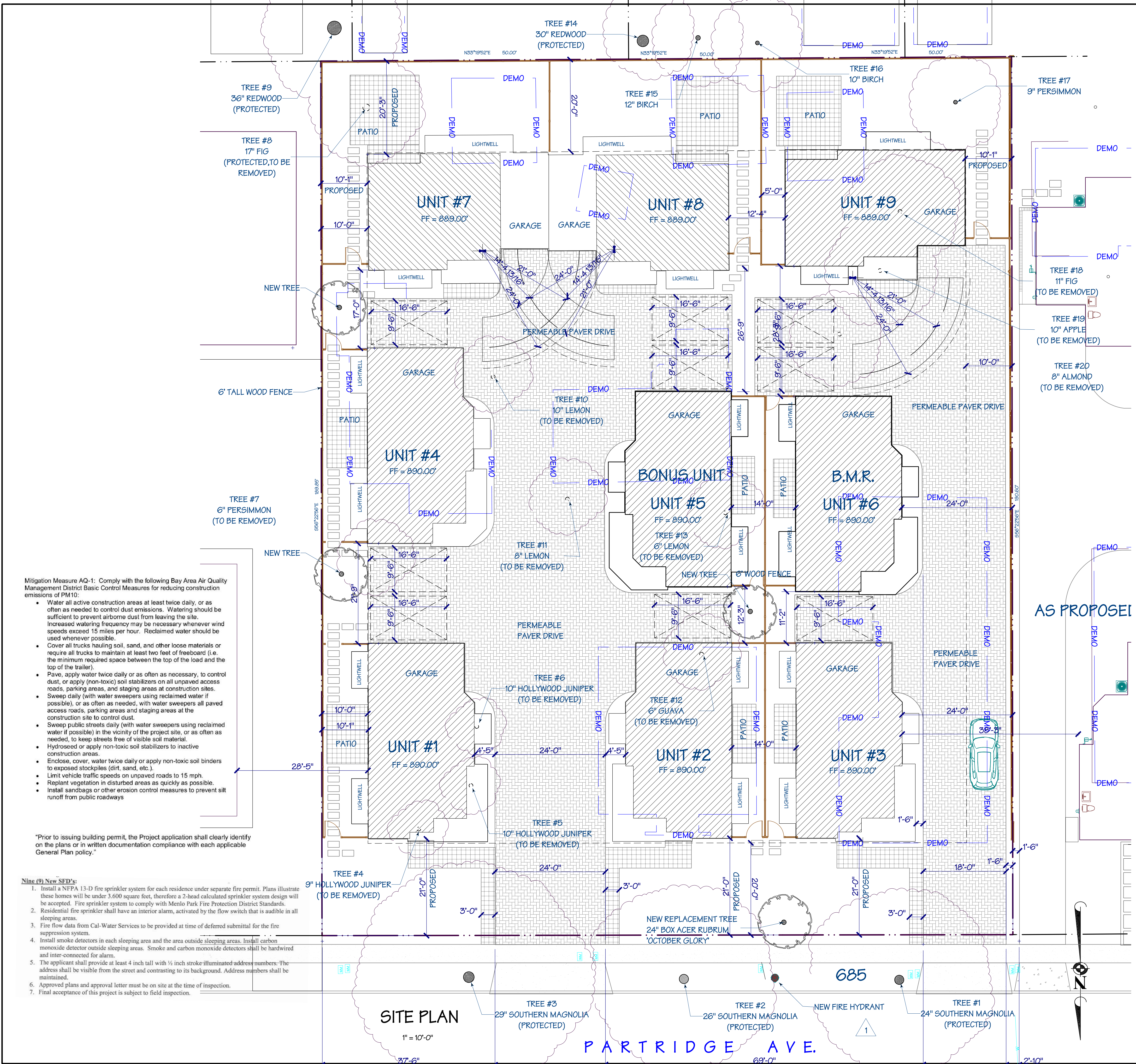
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PLANNING 1-7-20	

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Job	19-002
Sheet	D-6
of	Sheets



VICINITY MAP

A.P.N.: 71-41-10,11,12
 ZONING: R 2
 LOT SIZE: 28,534 S.F.
 ALLOWABLE DENSITY: 28,534/3,500 PER UNIT = 8.15 (8 UNITS)
 CITY OF MENLO PARK BMR DENSITY BONUS (+1 UNIT/BMR UNIT)

EXISTING UNITS

- #661: 1,003 + GARAGE: 338 = 1,341 S.F.
- #669: 1,085 + CARPORT: 169 = 1,254 S.F.
- #675 & 679: 1,277 + GARAGE: 388 = 1,665 S.F.
- #673: 573 + GARAGE: 360 = 933 S.F.
- #685 & 687: 1,782 + GARAGES: 317 + 512 = 2,611 S.F.
- DETACHED GARAGES = 1,146 S.F.

PROPOSED UNITS

	FIRST FLOOR:	SECOND FLOOR:	TOTAL:	BASEMENT:	TOTAL:
UNIT #1:	876 S.F.	532 S.F.	1,408 S.F.	888 S.F.	2,296 S.F.
UNIT #2:	876 S.F.	532 S.F.	1,408 S.F.	888 S.F.	2,296 S.F.
UNIT #3:	876 S.F.	532 S.F.	1,408 S.F.	888 S.F.	2,296 S.F.
UNIT #4:	890 S.F.	532 S.F.	1,422 S.F.	888 S.F.	2,310 S.F.
UNIT #5:	890 S.F.	532 S.F.	1,422 S.F.	888 S.F.	2,310 S.F.
UNIT #6:	890 S.F.	532 S.F.	1,422 S.F.	888 S.F.	2,310 S.F.
UNIT #7:	888 S.F.	537 S.F.	1,425 S.F.	753 S.F.	2,178 S.F.
UNIT #8:	888 S.F.	537 S.F.	1,425 S.F.	753 S.F.	2,178 S.F.
UNIT #9:	888 S.F.	537 S.F.	1,425 S.F.	753 S.F.	2,178 S.F.
TOTAL:	7962	4,803	12,765	7,587	20,352 S.F.

DRIVEWAYS = 9,626.00 @ 50% = 4,813
 LANDSCAPE = 15,656.4 (54.8%)
 PORCHES = 861 S.F.

LOT COV. ALLOWED: 28,534 x .35 = 9,986.9 S.F.
 PROPOSED: 8,867 = 31.2%
 F.A.L. ALLOWED: 28,534 x .40 = 11,413.5 S.F. (8 UNITS)
 PROPOSED: 11,343 = 39.7% (8 UNITS)
 F.A.L. BONUS: 11,413.5 S.F./8 UNITS = 1,426.7 S.F.
 PROPOSED: 12,765 = 44.6% (9 UNITS)
 2nd FLOOR ALLOWED: 28,534 x .15 = 4,280 S.F. (8 UNITS)
 PROPOSED: 4,271 = 14.9%
 2nd FLOOR BONUS: 4,280.1 S.F./8 UNITS = 535 S.F.
 2nd FLOOR ALLOWED WITH BONUS: 4,815.1 S.F. (16.9%)
 PROPOSED: 4,803 = 16.8% (9 UNITS)

TYPE OF CONSTRUCTION: VB OCCUPANCY GROUP: R-3, U
 THIS PROJECT SHALL COMPLY WITH 2016 CBC, CRC, CM, CFC, CEC, CFC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.

SITE DATA

Mitigation Measure AQ-1: Comply with the following Bay Area Air Quality Management District Basic Control Measures for reducing construction emissions of PM10:

- Water all active construction areas at least twice daily, or as often as needed to control dust emissions. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever possible.
- Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e. the minimum required space between the top of the load and the top of the trailer).
- Pave, apply water twice daily or as often as necessary, to control dust, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites.
- Sweep daily (with water sweepers using reclaimed water if possible), or as often as needed, with water sweepers all paved access roads, parking areas and staging areas at the construction site to control dust.
- Sweep public streets daily (with water sweepers using reclaimed water if possible) in the vicinity of the project site, or as often as needed, to keep streets free of visible soil material.
- Hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
- Limit vehicle traffic speeds on unpaved roads to 15 mph.
- Replant vegetation in disturbed areas as quickly as possible.
- Install sandbags or other erosion control measures to prevent silt runoff from public roadways.

"Prior to issuing building permit, the Project application shall clearly identify on the plans or in written documentation compliance with each applicable General Plan policy."

Nine (9) New SFD's:

1. Install a NFPA 13-D fire sprinkler system for each residence under separate fire permit. Plans illustrate these homes will be under 3,600 square feet, therefore a 2-head calculated sprinkler system design will be accepted. Fire sprinkler system to comply with Menlo Park Fire Protection District Standards.
2. Residential fire sprinkler shall have an interior alarm, activated by the flow switch that is audible in all sleeping areas.
3. Fire flow data from Cal-Water Services to be provided at time of deferred submittal for the fire suppression system.
4. Install smoke detectors in each sleeping area and the area outside sleeping areas. Install carbon monoxide detector outside sleeping areas. Smoke and carbon monoxide detectors shall be hardwired and inter-connected for alarm.
5. The applicant shall provide at least 4 inch tall with 1/2 inch stroke illuminated address numbers. The address shall be visible from the street and contrasting to its background. Address numbers shall be maintained.
6. Approved plans and approval letter must be on site at the time of inspection.
7. Final acceptance of this project is subject to field inspection.

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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 ARCHITECTURE, INC.
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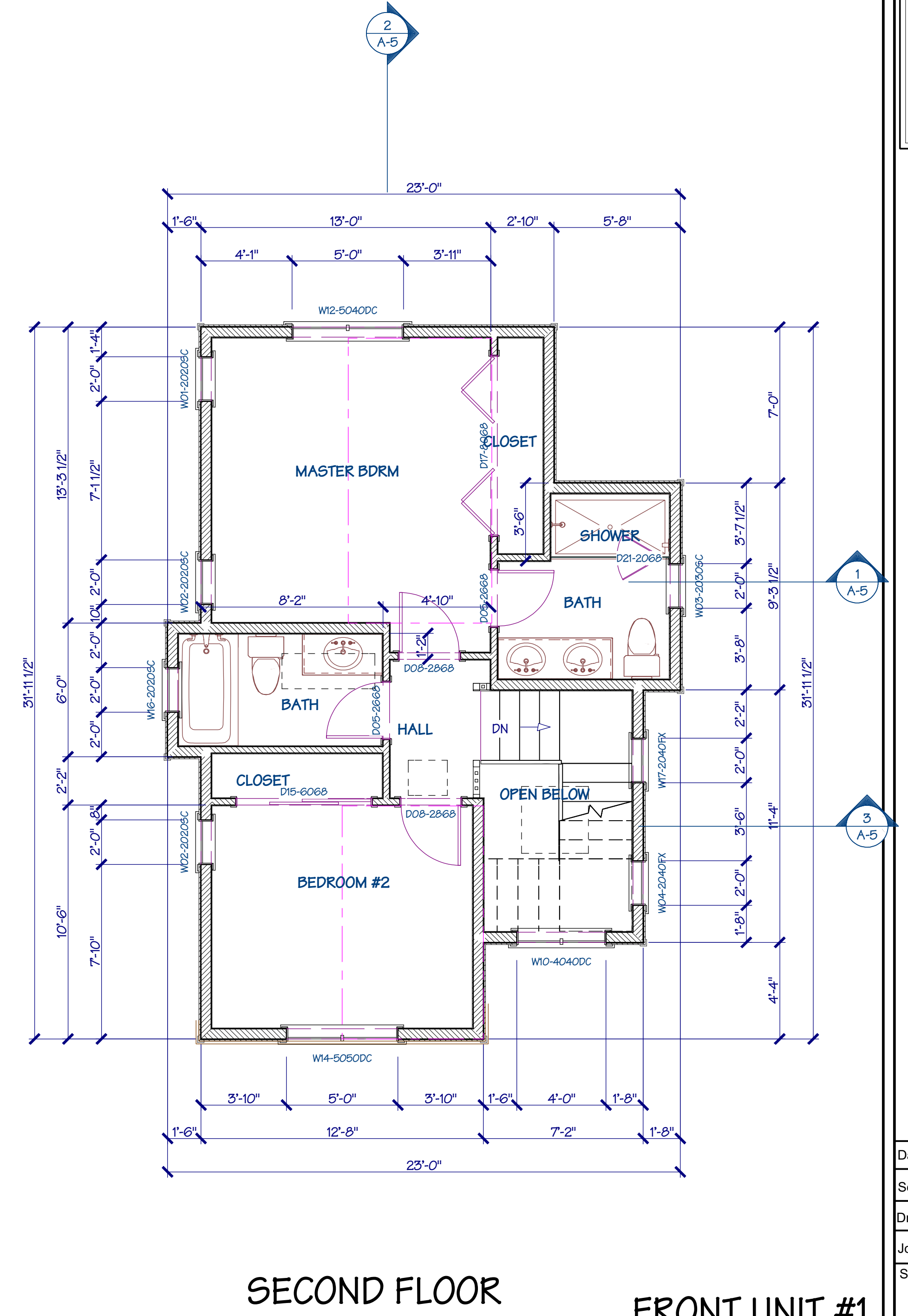
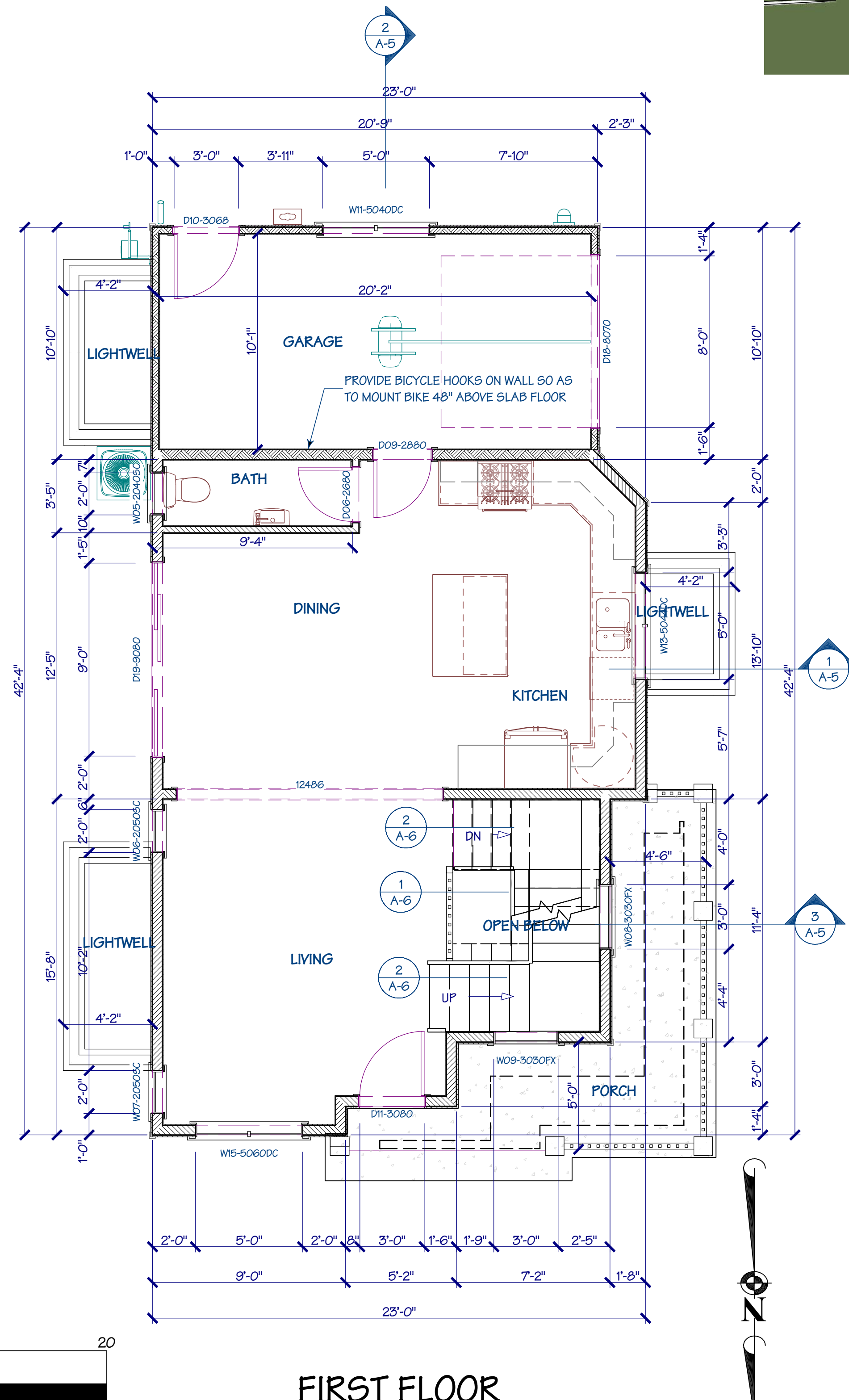
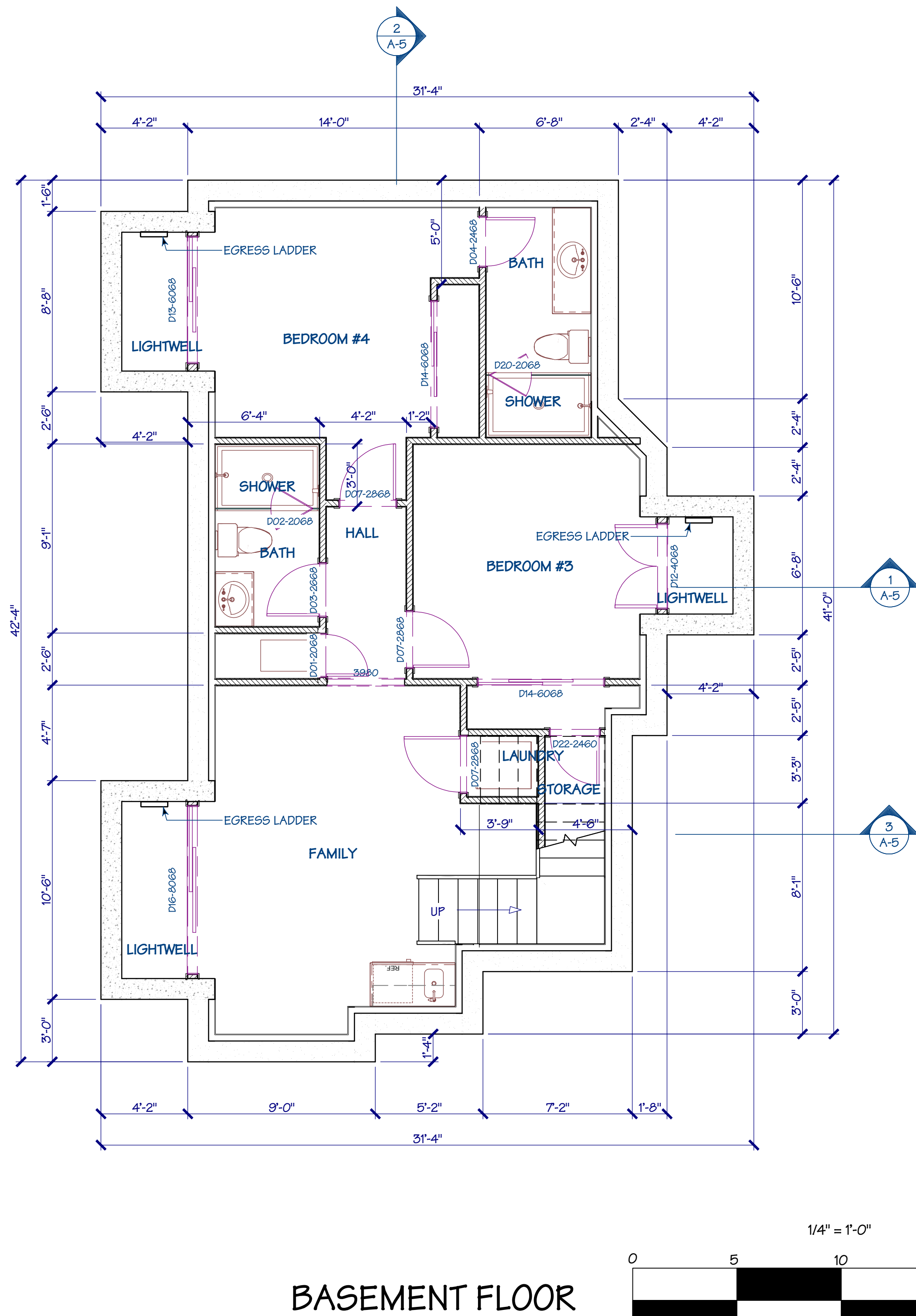
NEW HOUSES FOR:
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Date 12 - 19 - 19
 Scale 1" = 10'-0"
 Drawn RAH
 Job 19-002
 Sheet

A-1
 of Sheets

REVISIONS	BY
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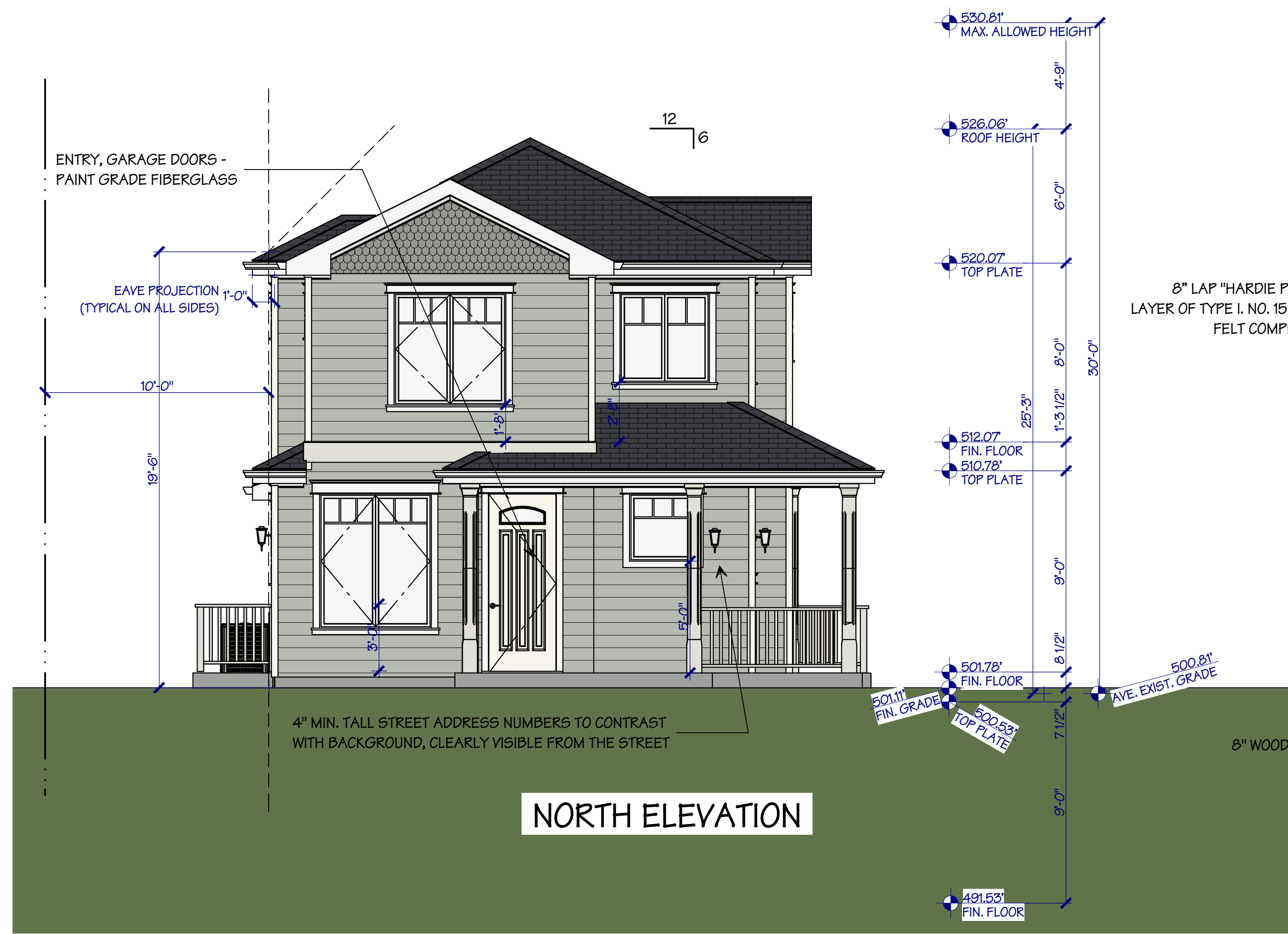
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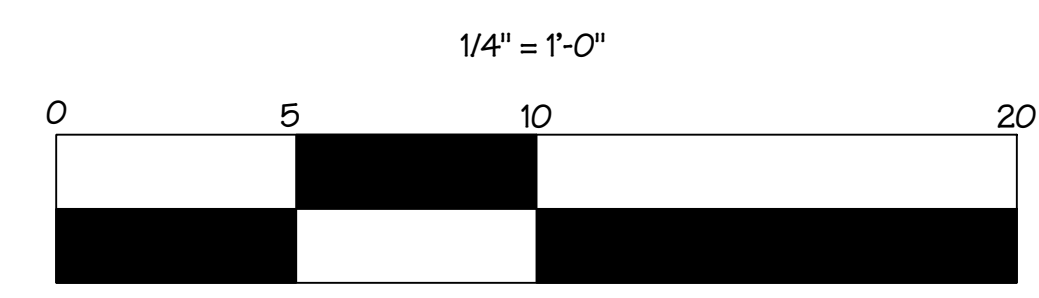
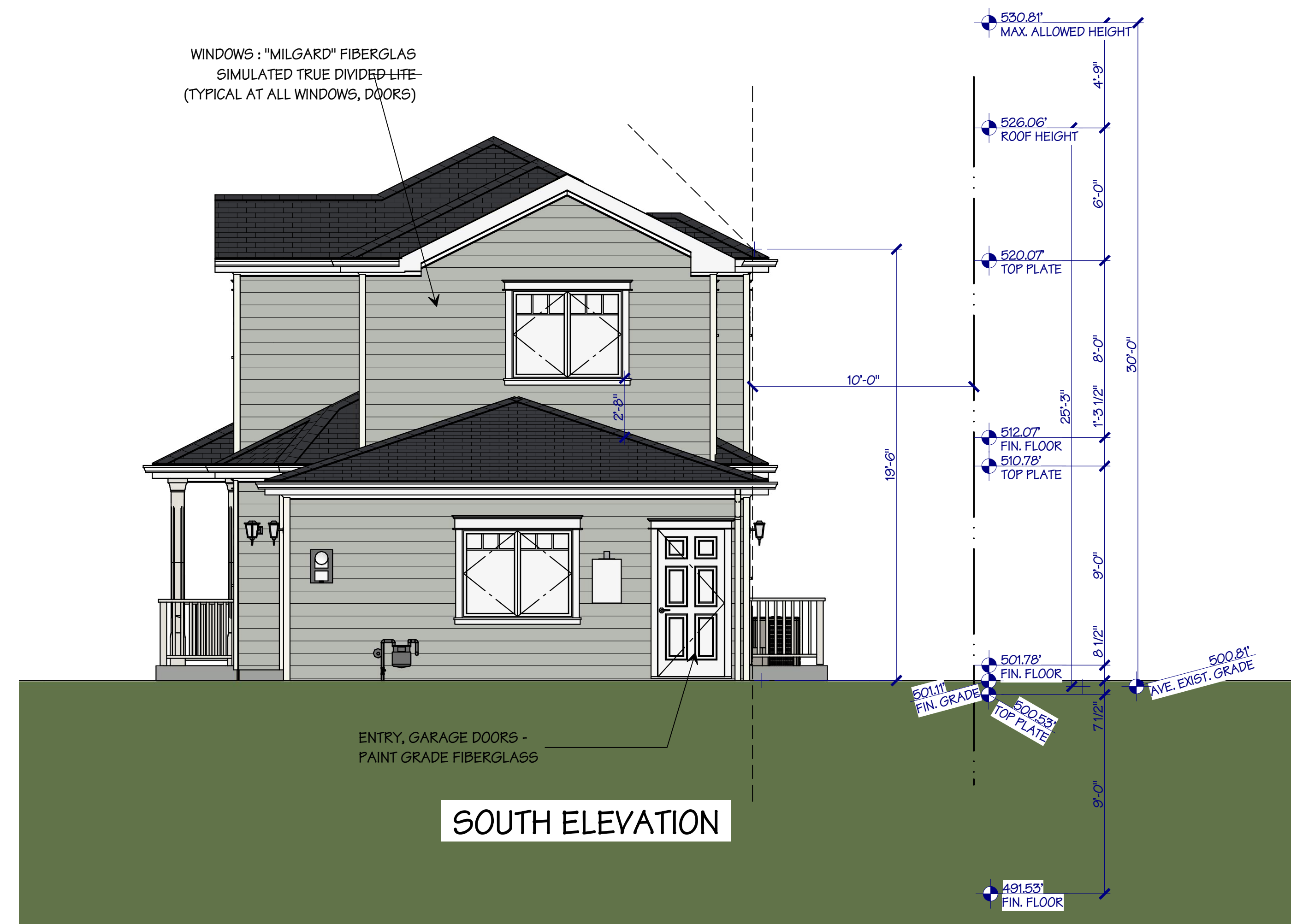
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ROOF = CERTAINTED PRESIDENTIAL 'SHADOW GRAY'
GABLE & SHUTTERS = KELLY-MOORE #KM4817, 'TRELLED IVY'
HARDI-PLANK SIDING = KELLY-MOORE, 'SILKY GREEN'
WINDOW TRIM, COLUMNS, FASCIA, RAILINGS = KELLY-MOORE, #KMW49, 'GREAT WHITE'



FRONT UNIT #1

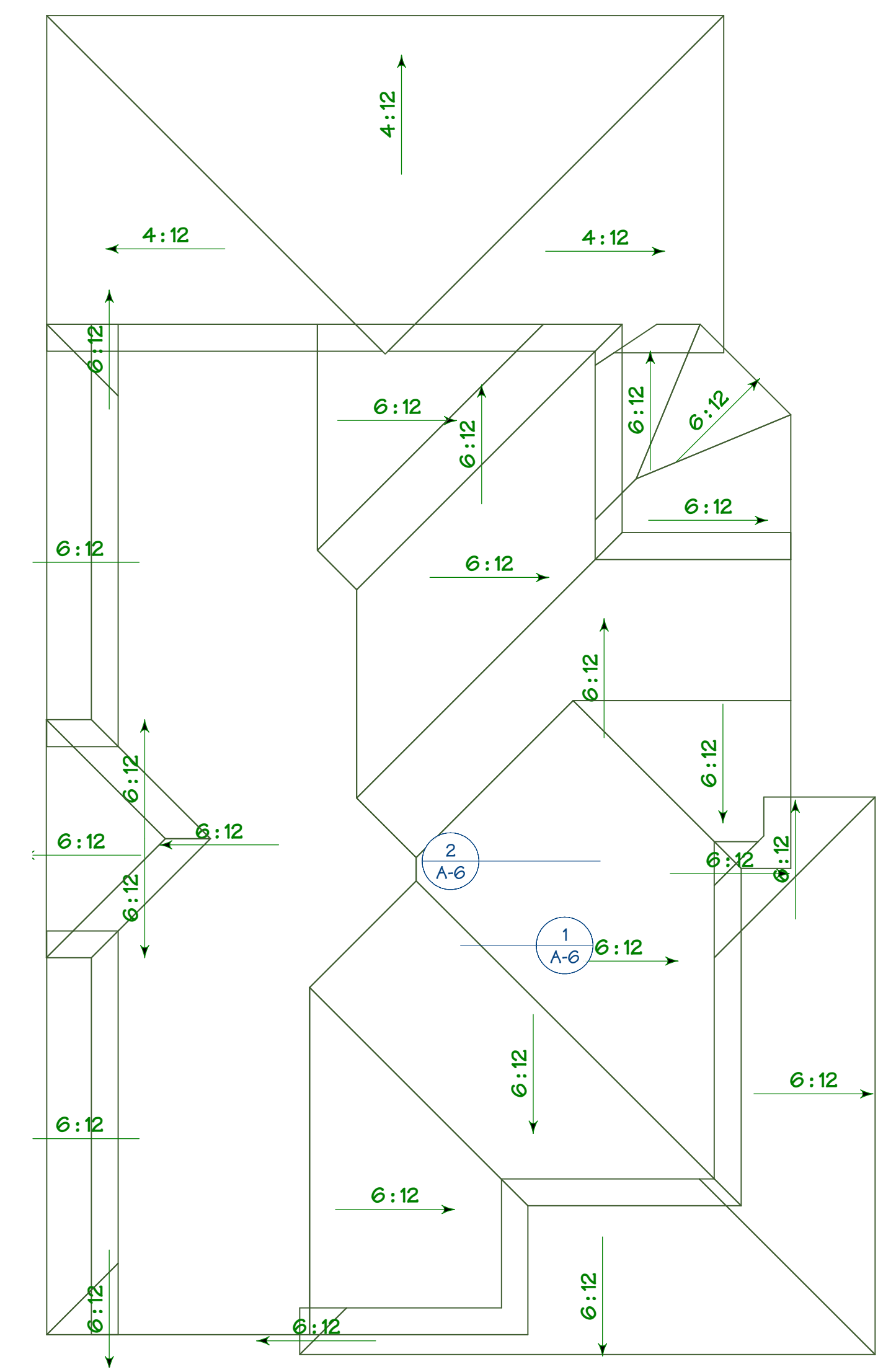
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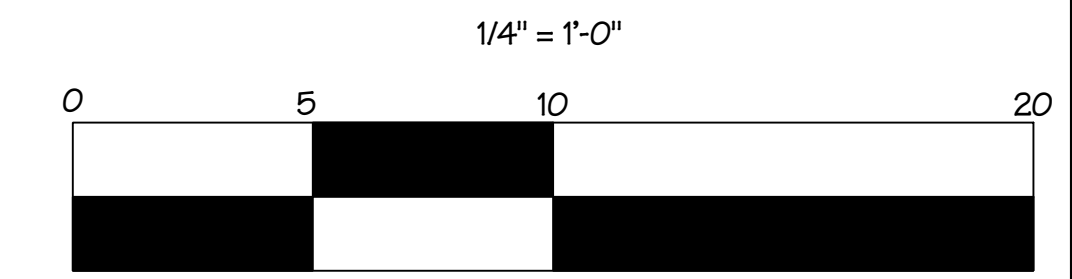
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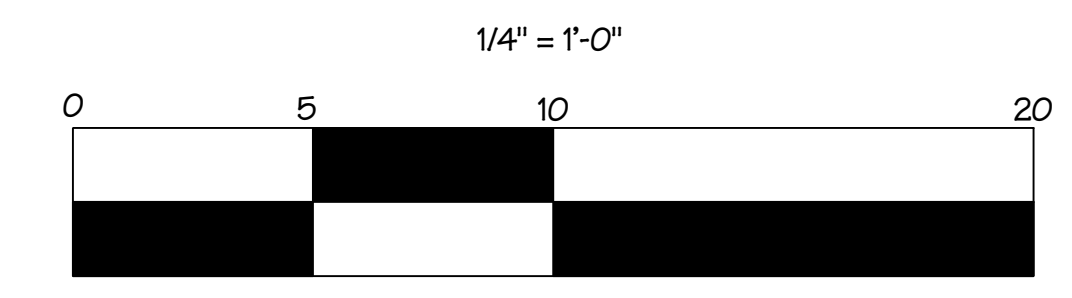
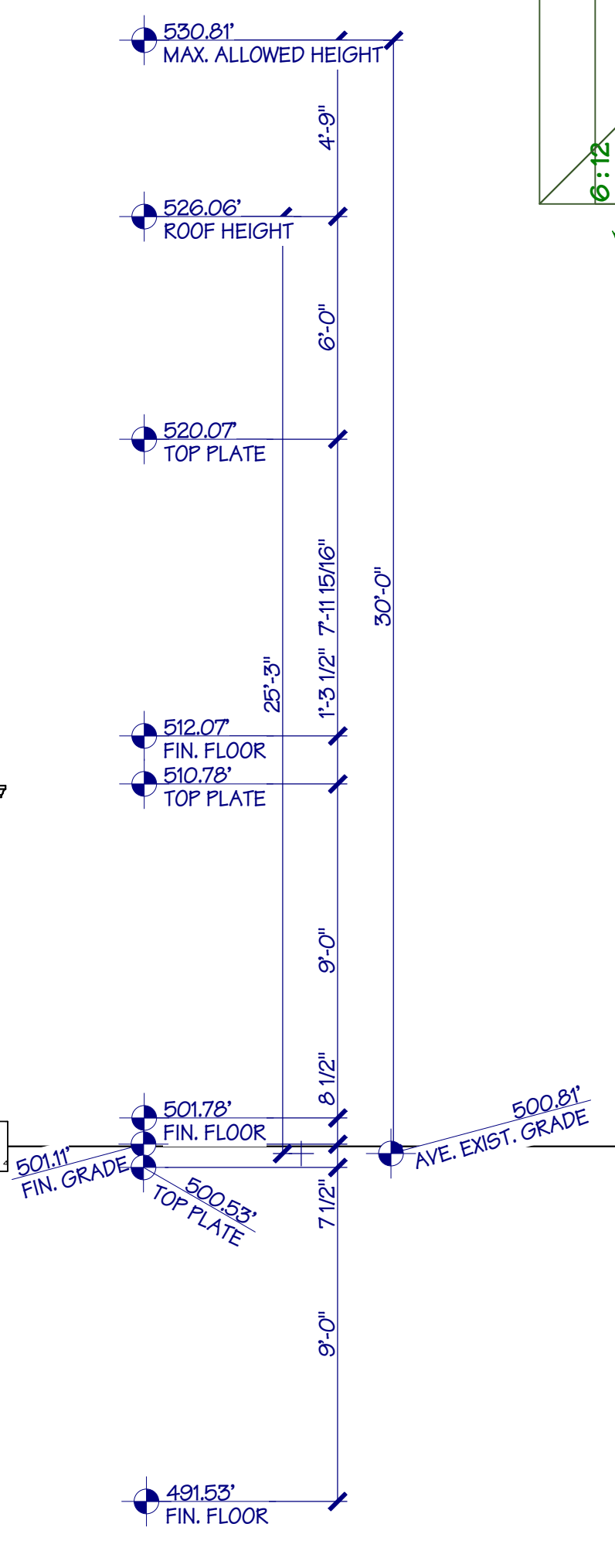
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of	Sheets



ROOF PLAN

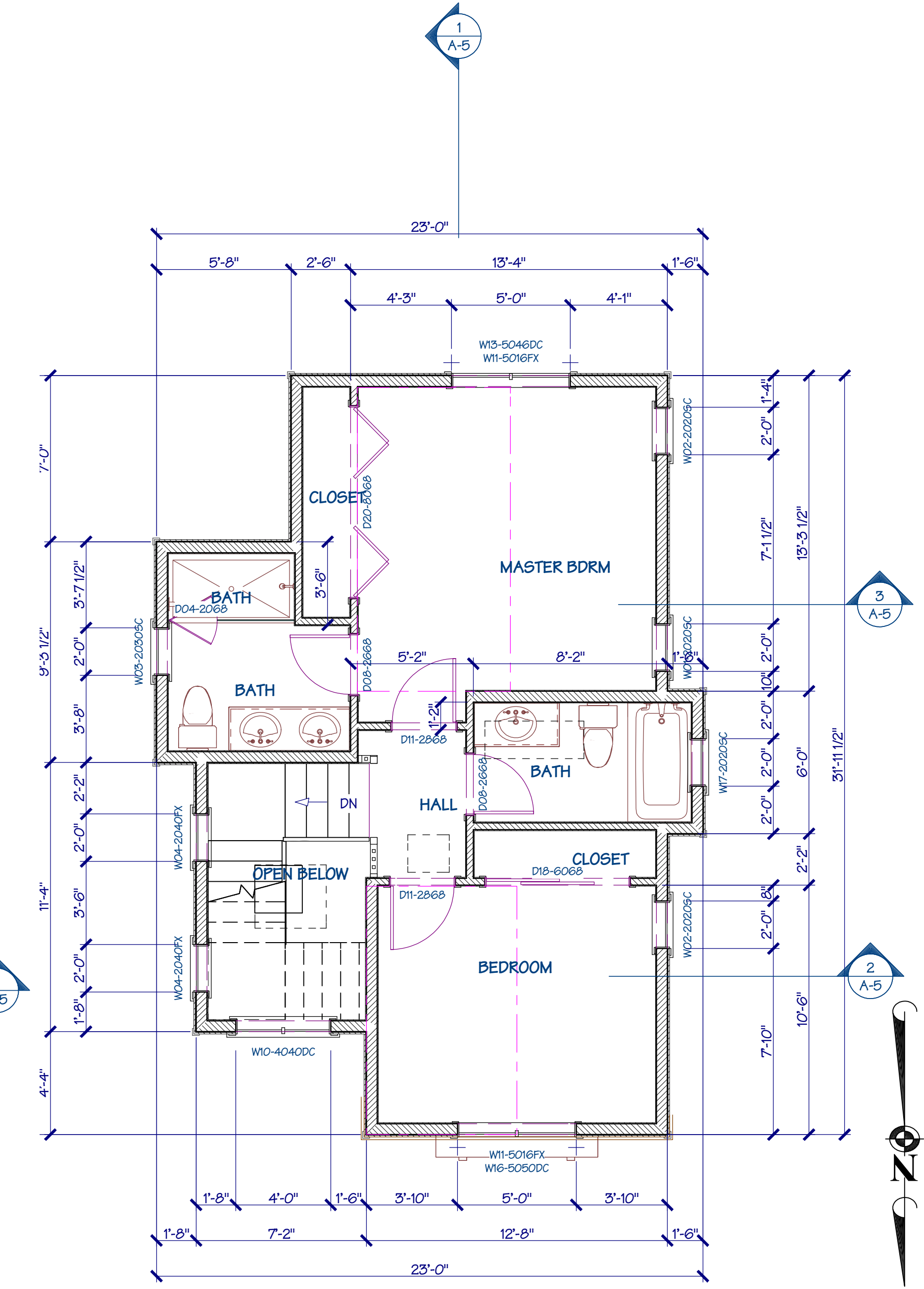
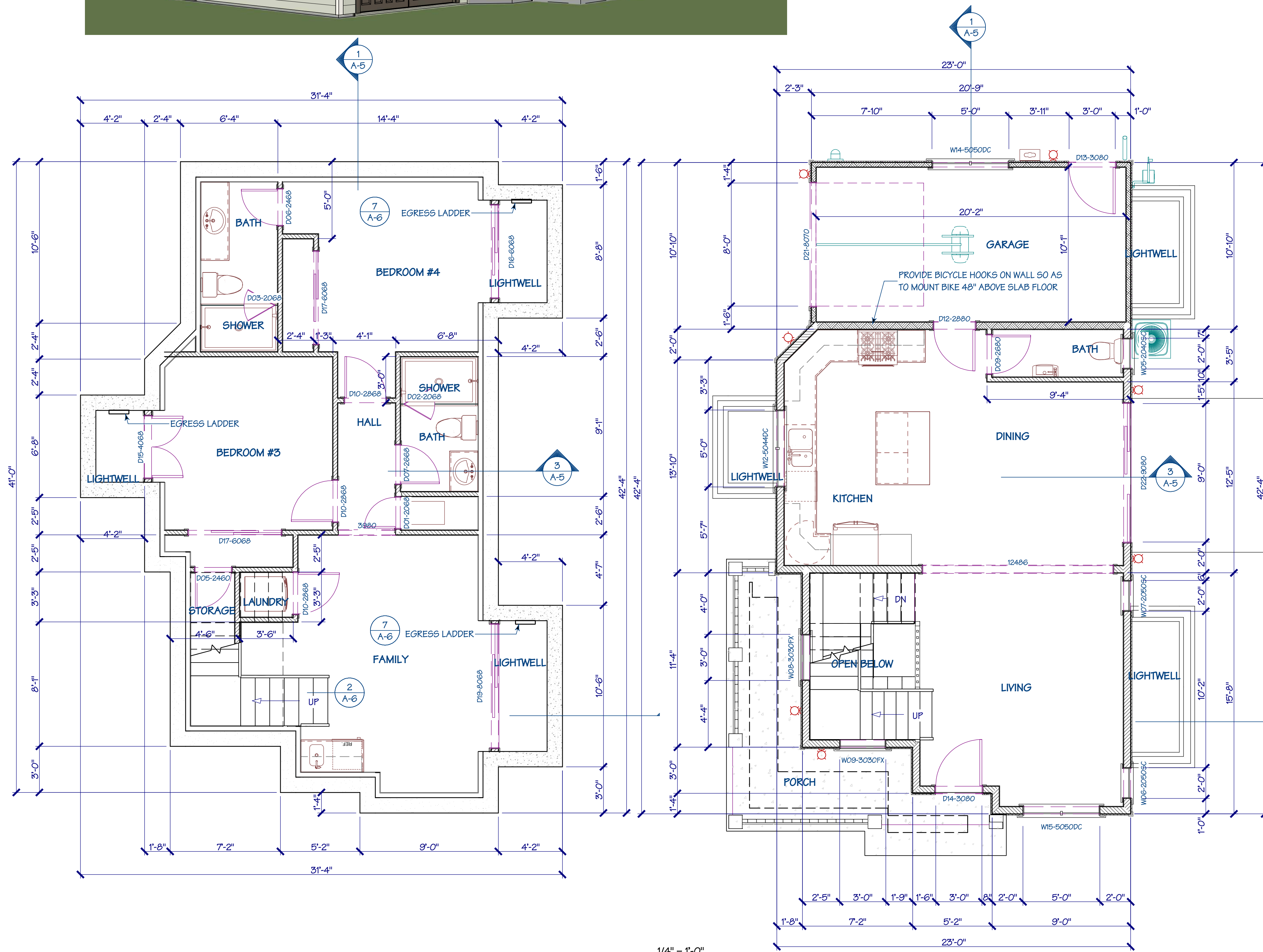


① SECTION



② SECTION

FRONT UNIT #1



BASEMENT FLOOR

FIRST FLOOR

SECOND FLOOR

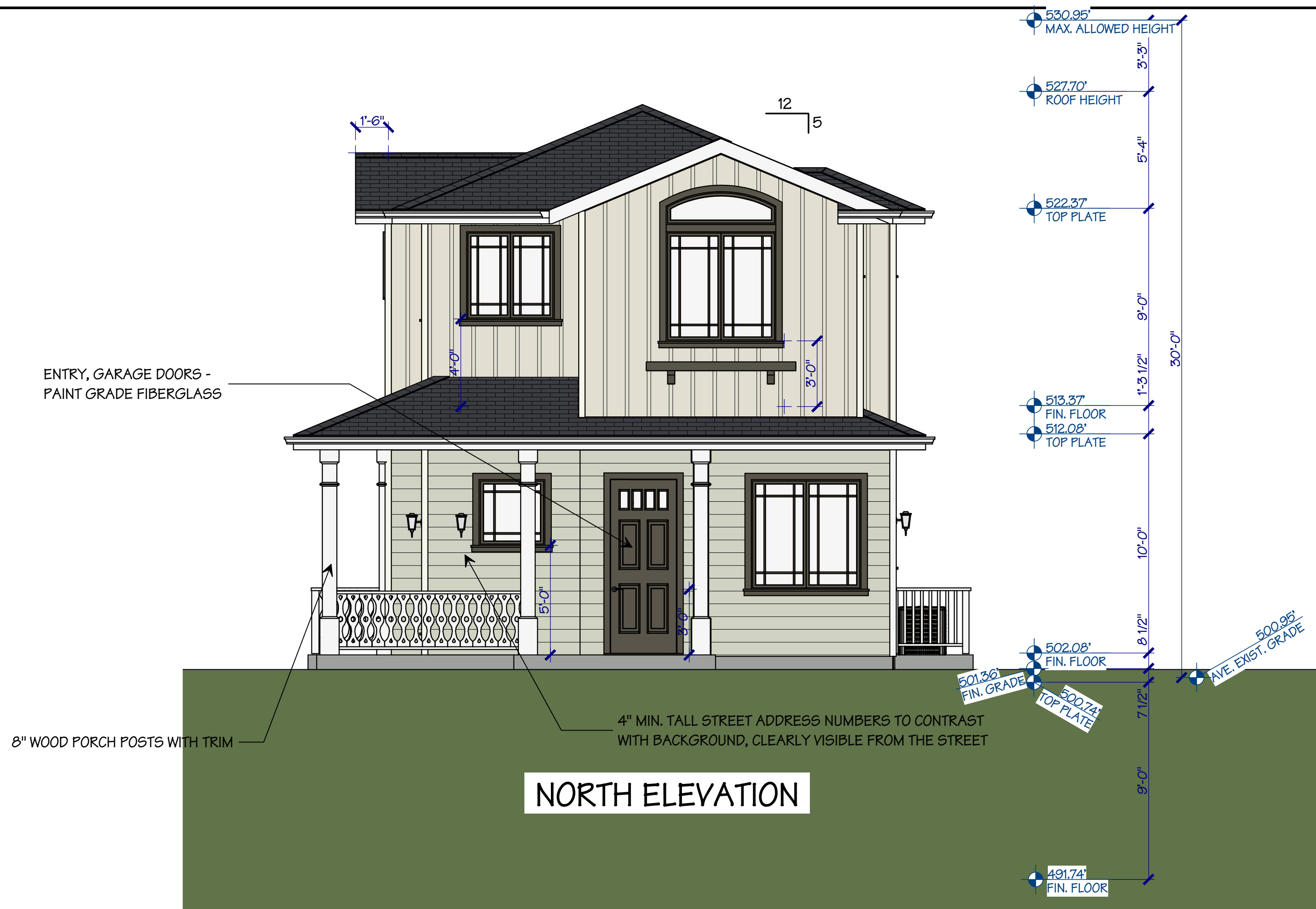
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REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

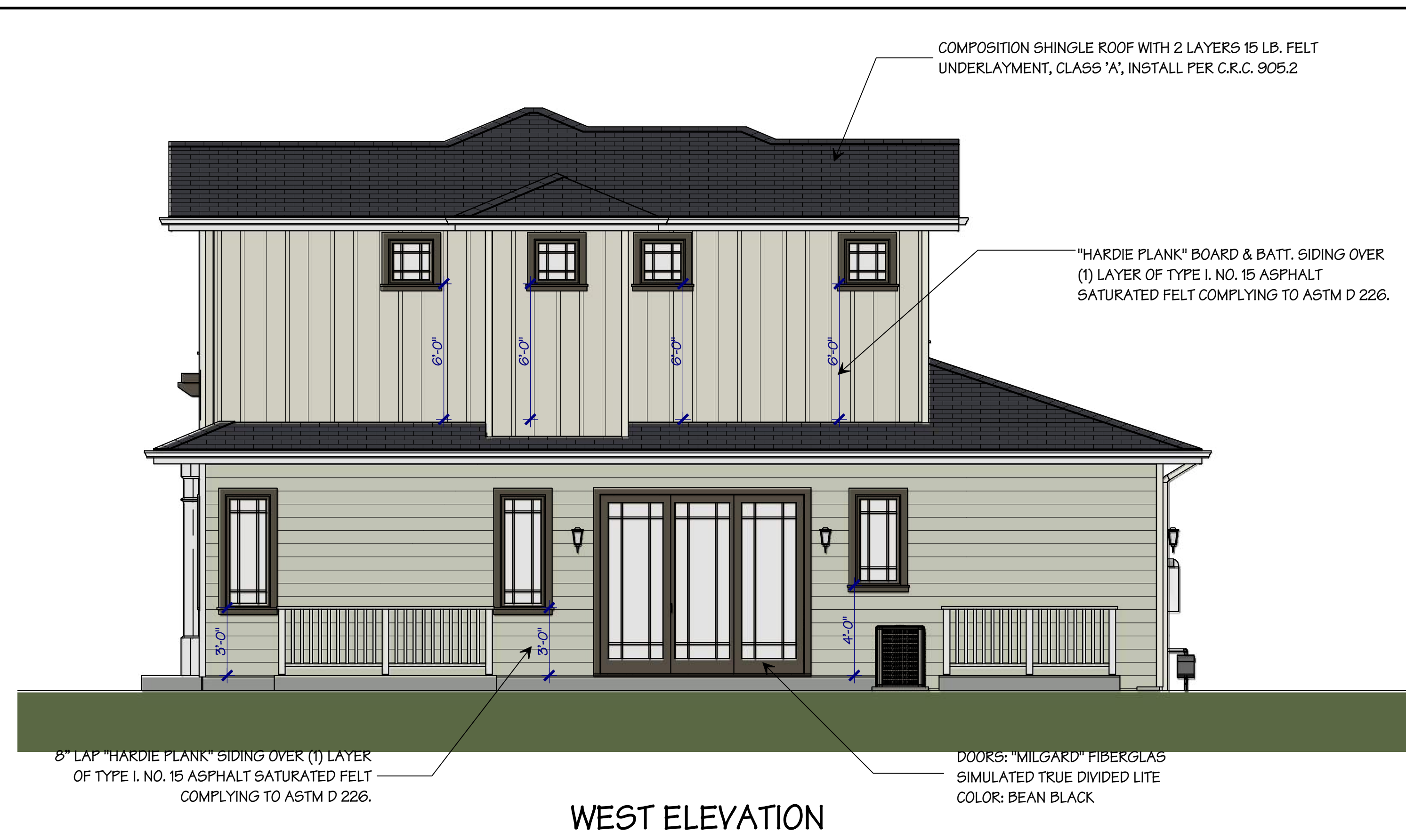
HOMETEC
ARCHITECTURE, INC.
555 #B MERIDIAN AVE. SAN JOSE, CA 95126
RICHARD A. HARTMAN
A.L.A.
408.995.1496
HometecArch@gmail.com

NEW HOUSES FOR:
GoldSilverland, LLC
661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-5
of	Sheets

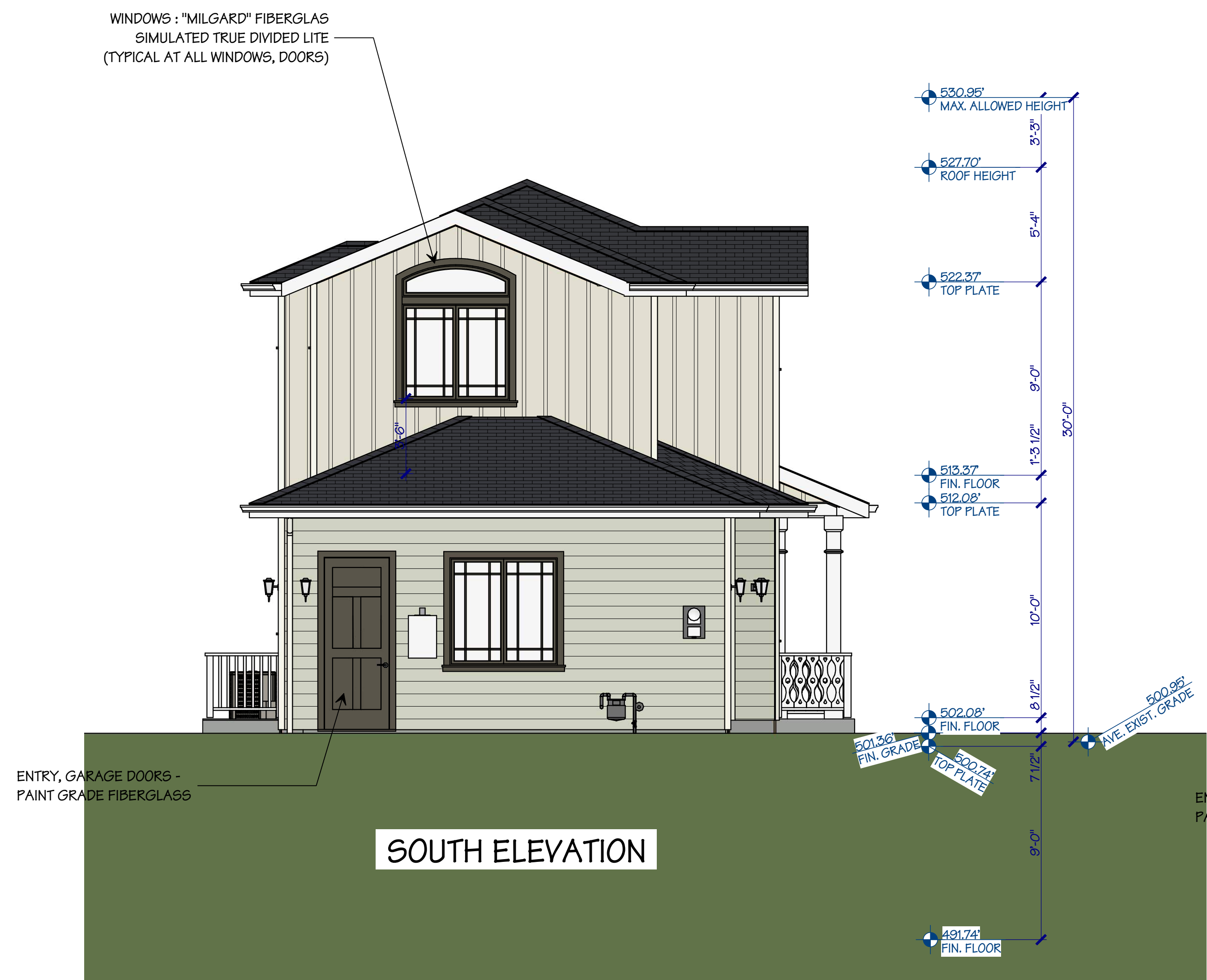


NORTH ELEVATION



WEST ELEVATION

ROOF = CERTAINTEED PRESIDENTIAL 'SHADOW GRAY'
 WINDOW TRIM, FASCIA, GABLE & SHUTTERS = KELLY-MOORE #KM4575, 'MUD ROOM'
 HARDI-PLANK BOARD & BATT. SIDING = KELLY-MOORE, #KM4569, 'CLEAR SAND'
 HARDI-PLANK SIDING = KELLY-MOORE, KM4801, 'SILVER LAUREL'
 PORCH TRIM, COLUMNS, RAILINGS = KELLY-MOORE, #KMW53, 'DAZZLE ME'



SOUTH ELEVATION



EAST ELEVATION

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

Date 12-19-19
 Scale 1/4" = 1'-0"
 Drawn RAH
 Job 19-002
 Sheet
A-6
 of Sheets

FRONT UNIT #2

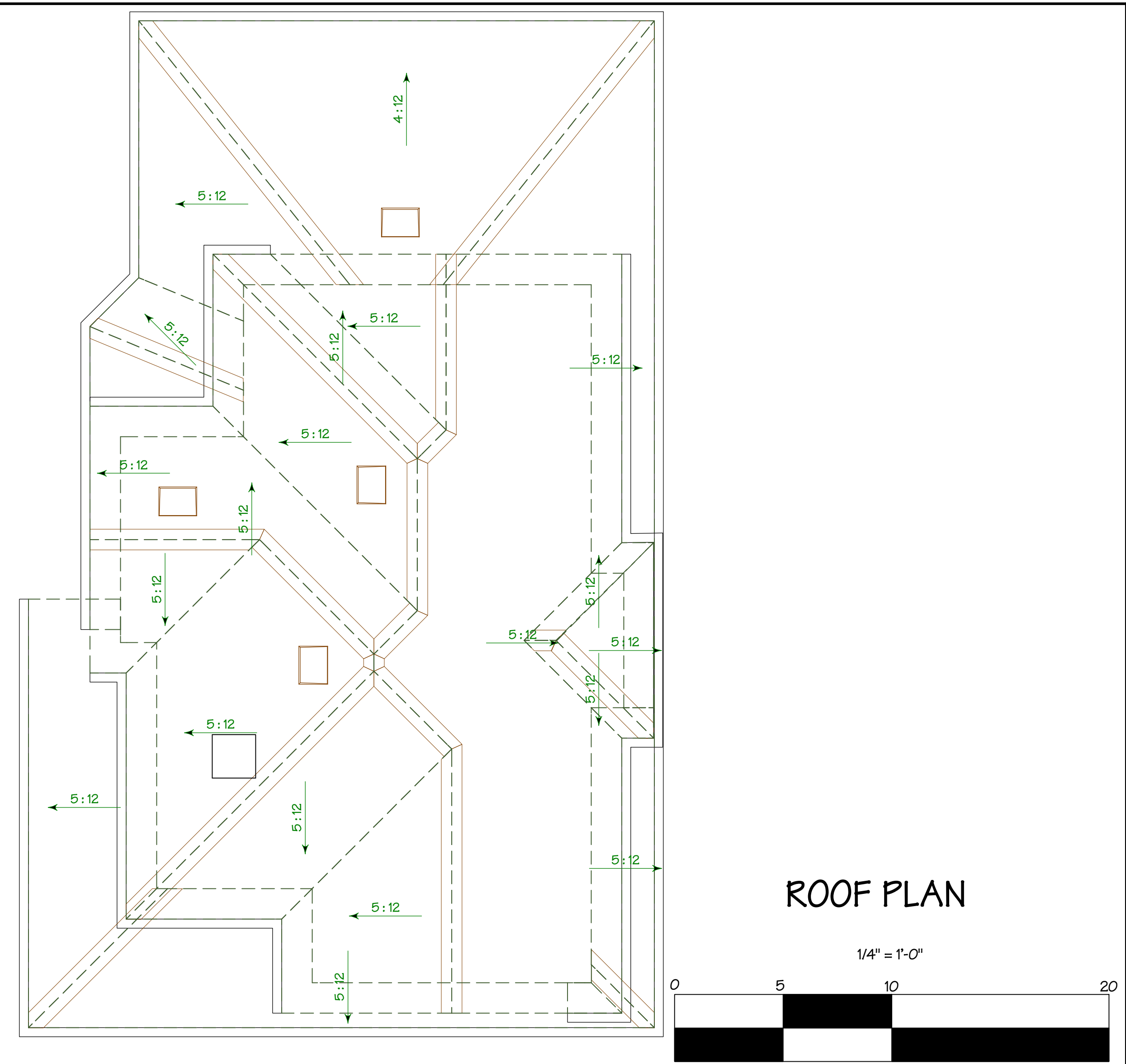
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

HOMETEC
ARCHITECTURE, INC.
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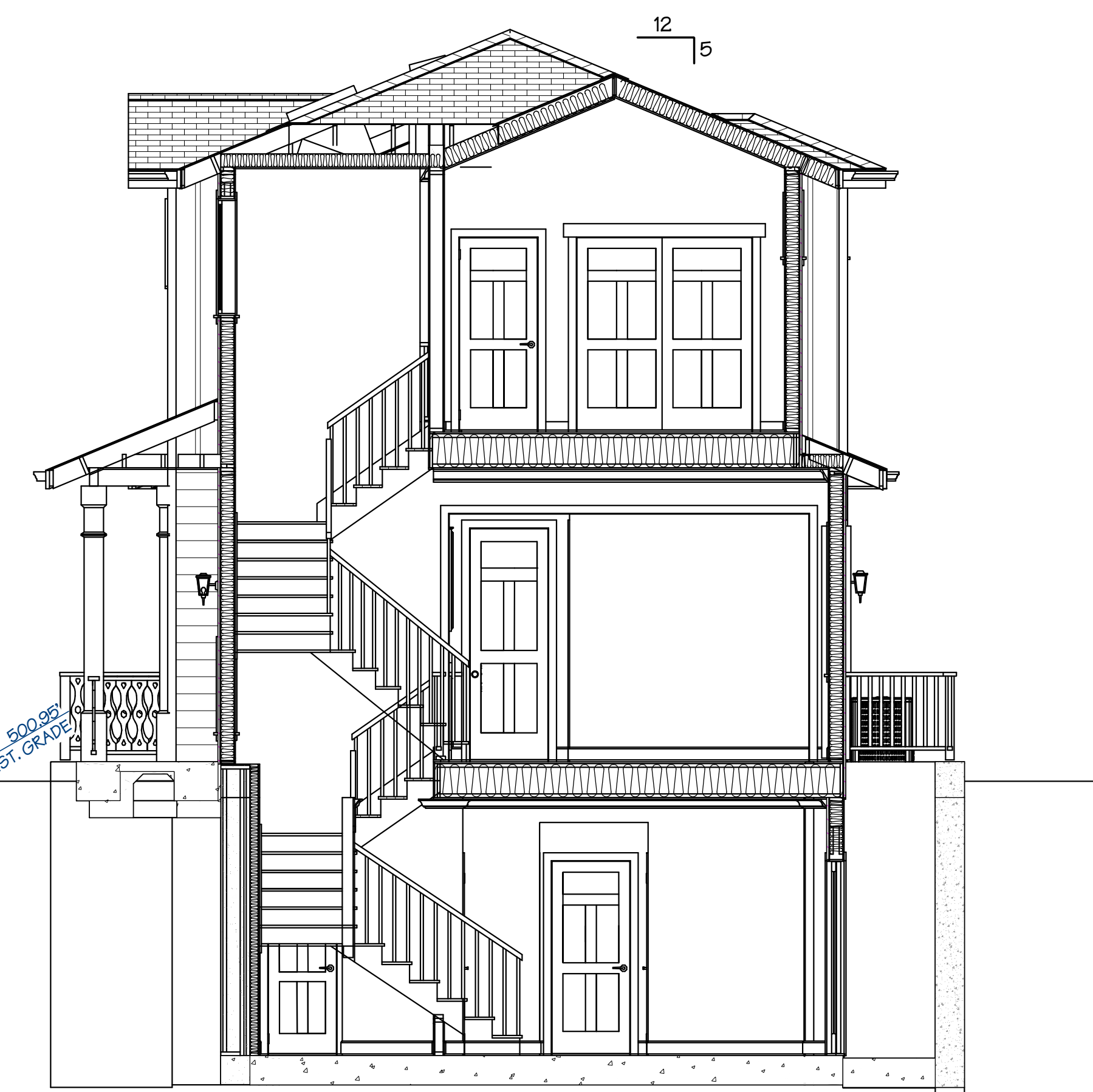
RICHARD A. HARTMAN
A.L.A.
408.995.1496
HometecArch@gmail.com

NEW HOUSES FOR:
GoldSilverland, LLC
661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet
of **A-7**
Sheets



- 530.95' MAX. ALLOWED HEIGHT
- 527.70' ROOF HEIGHT
- 522.37' TOP PLATE
- 513.37' FIN. FLOOR
- 512.08' TOP PLATE
- 502.08' FIN. FLOOR
- 500.74' TOP PLATE
- 501.36' FIN. GRADE
- 500.95' AVE. EXIST. GRADE
- 491.74' FIN. FLOOR

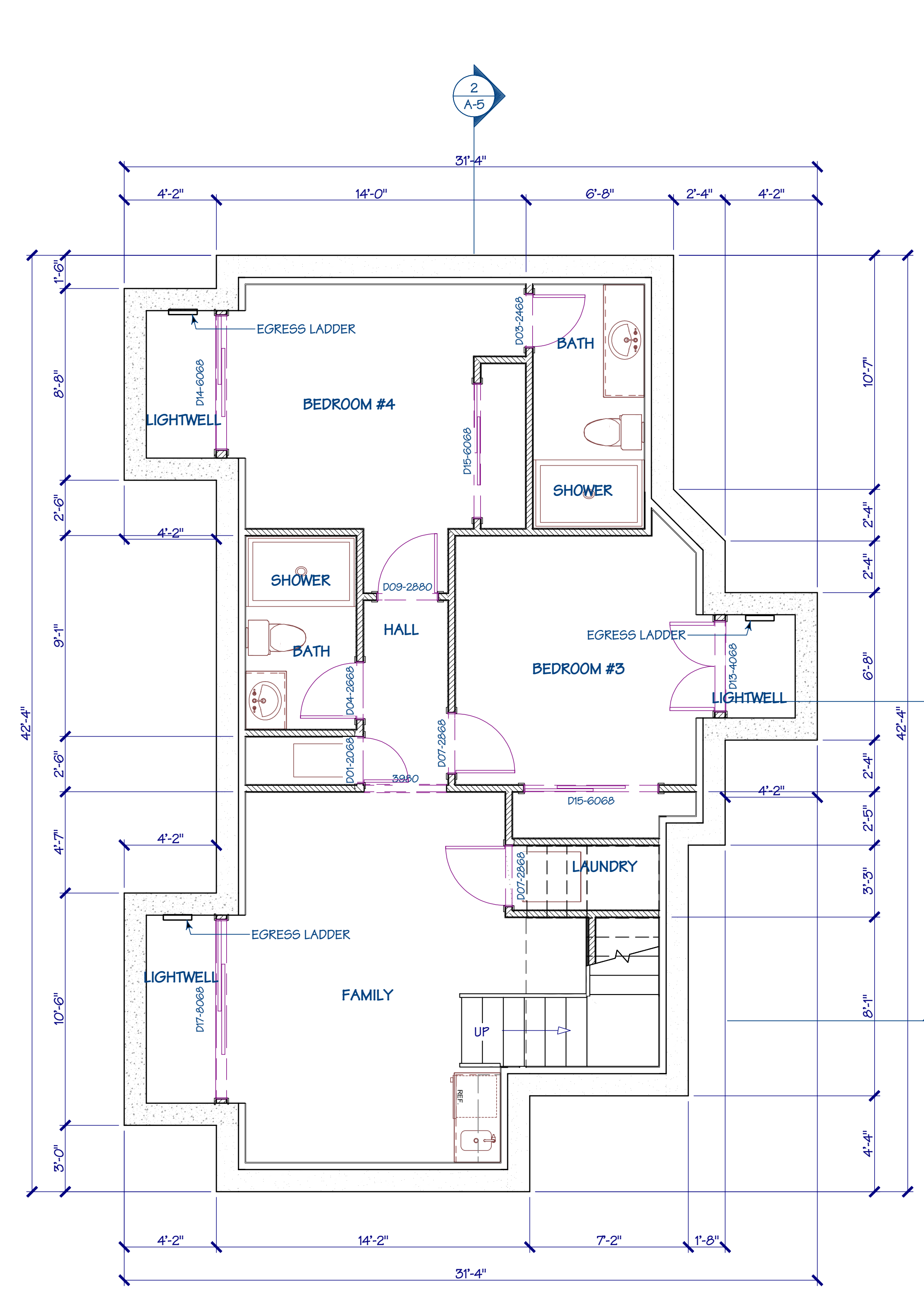
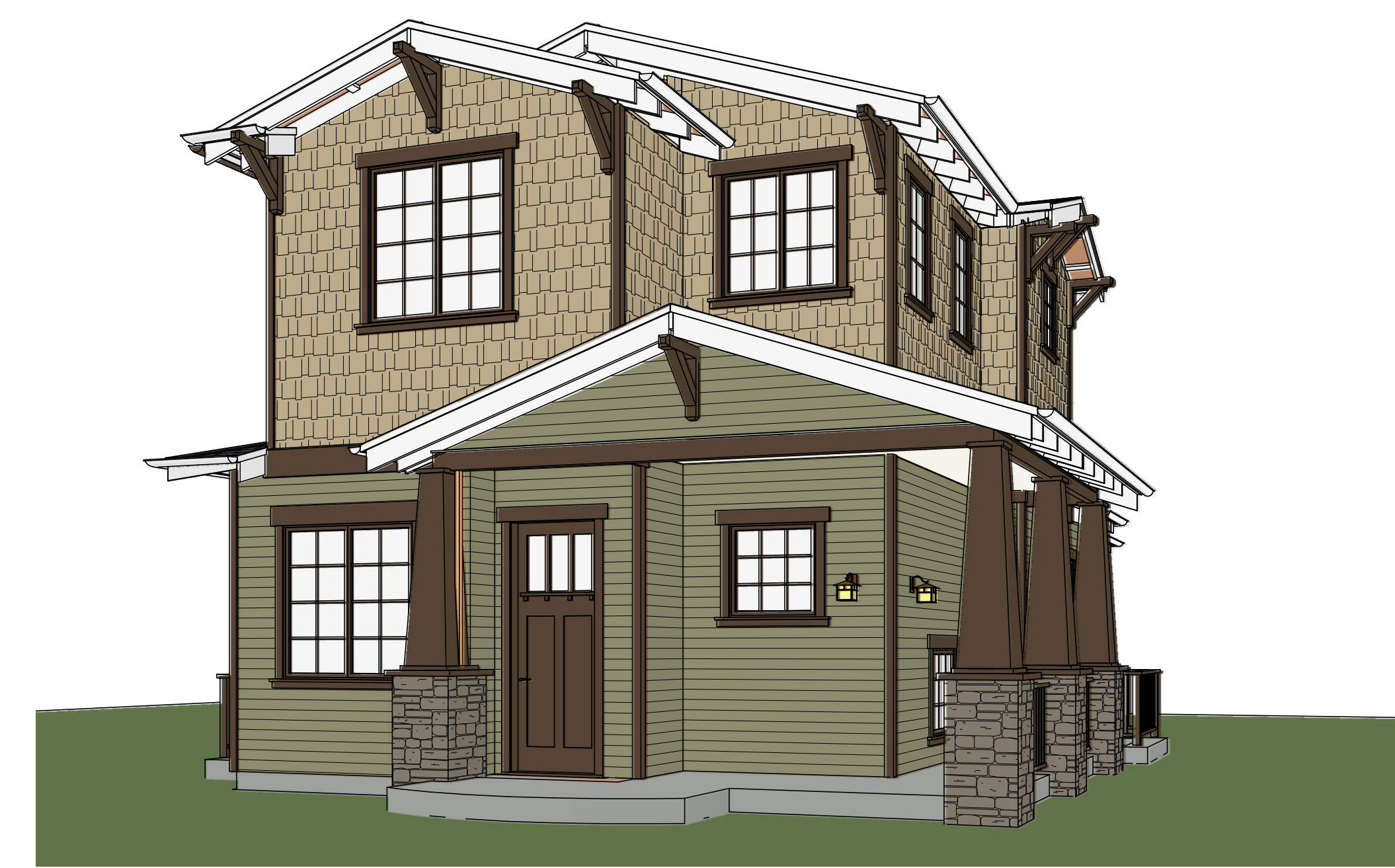


FRONT UNIT #2

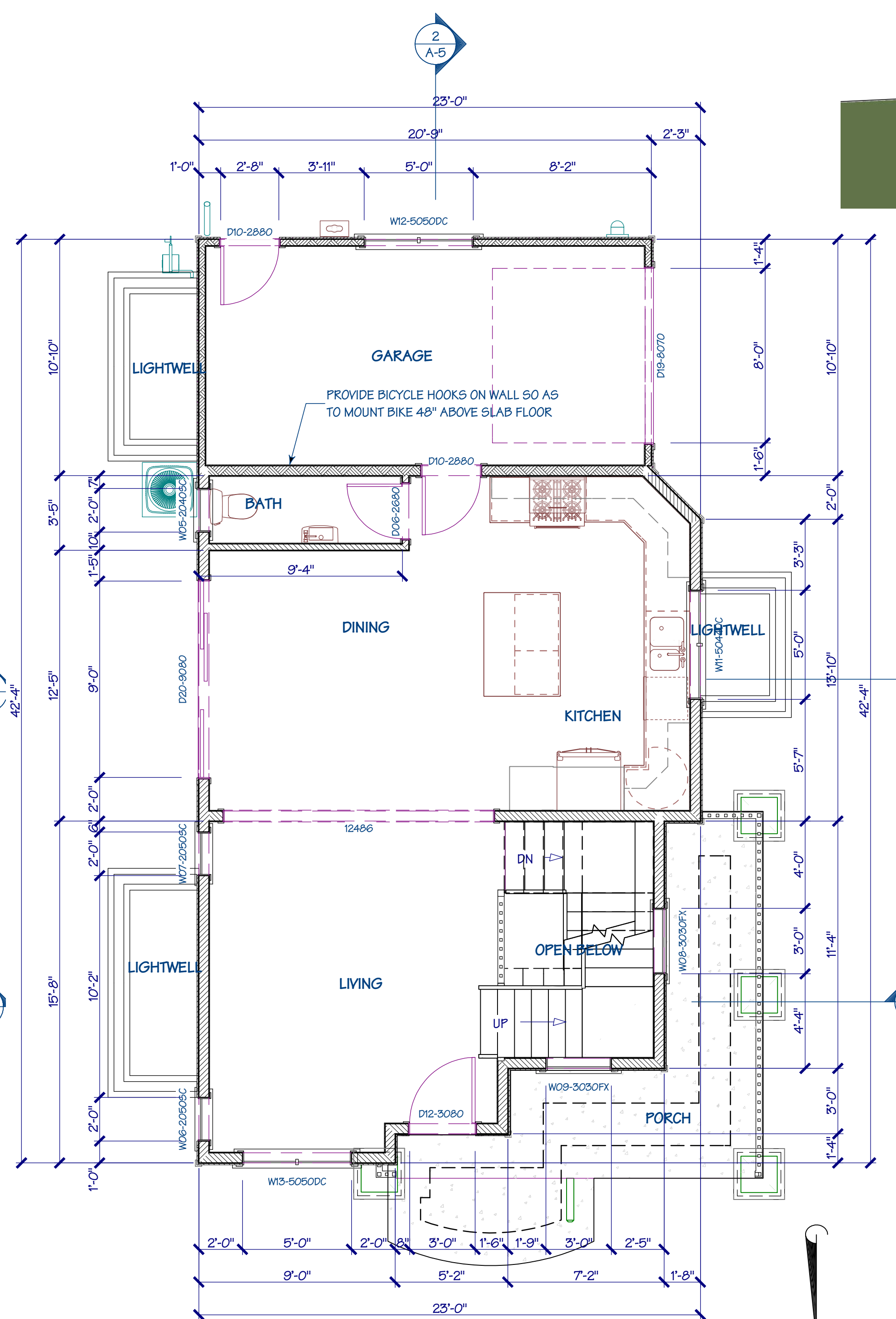
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

HOMETEC
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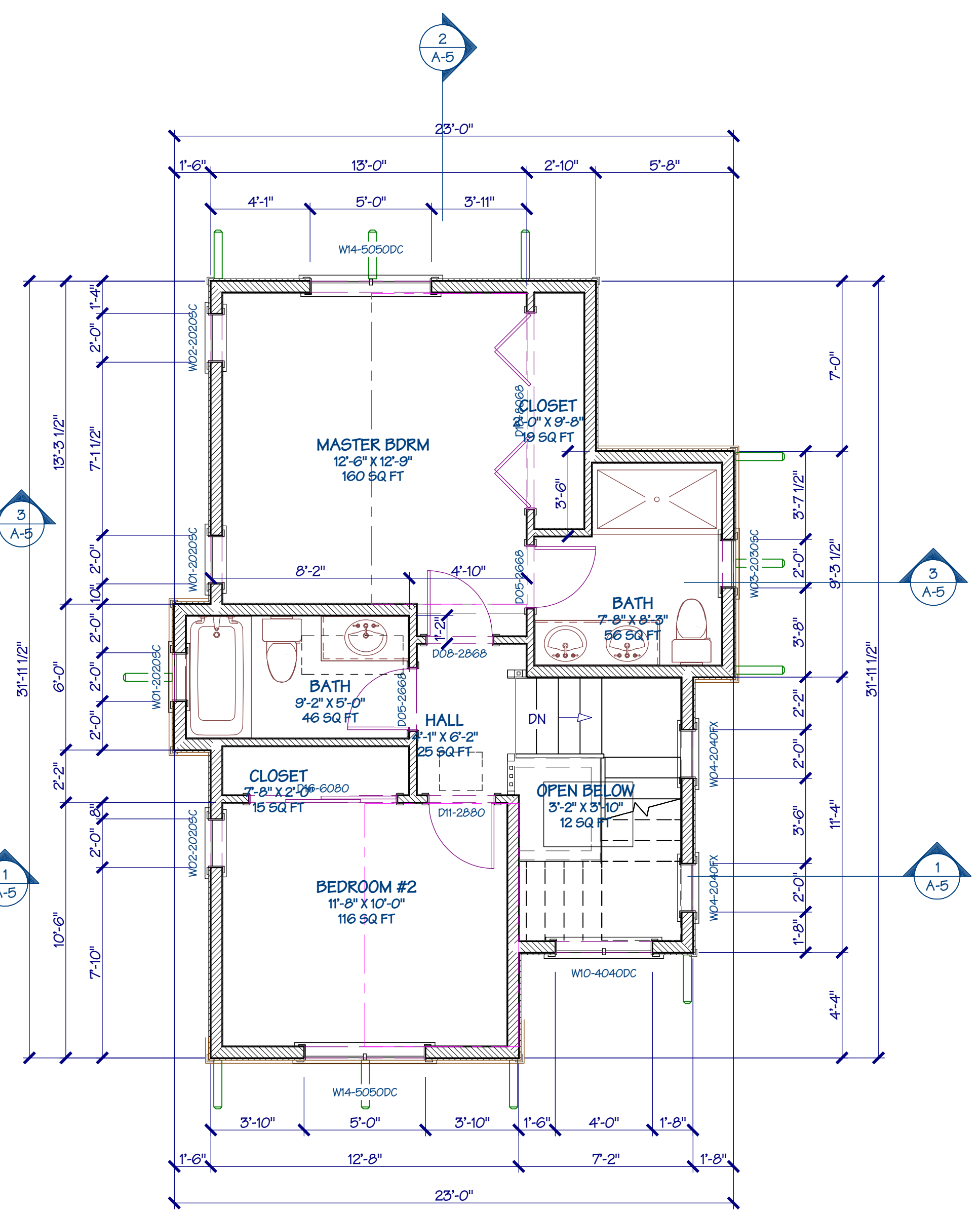
RICHARD A. HARTMAN
A.L.A.



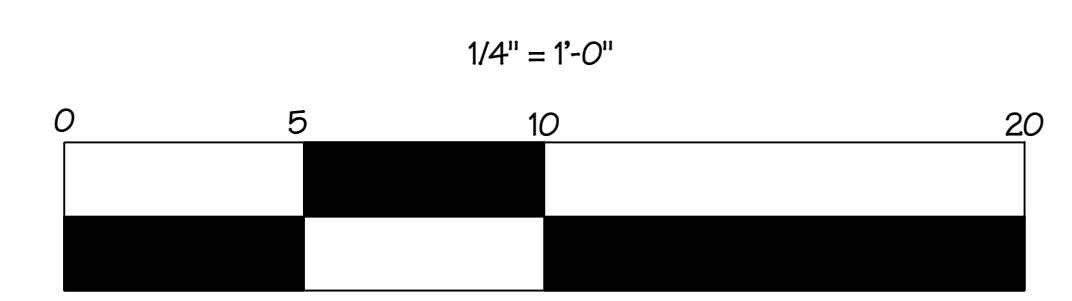
BASEMENT FLOOR



FIRST FLOOR



SECOND FLOOR



NEW HOUSES FOR:
GoldSilverIsland, LLC
661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

Date 12 - 19 - 19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet
of **A-8** Sheets

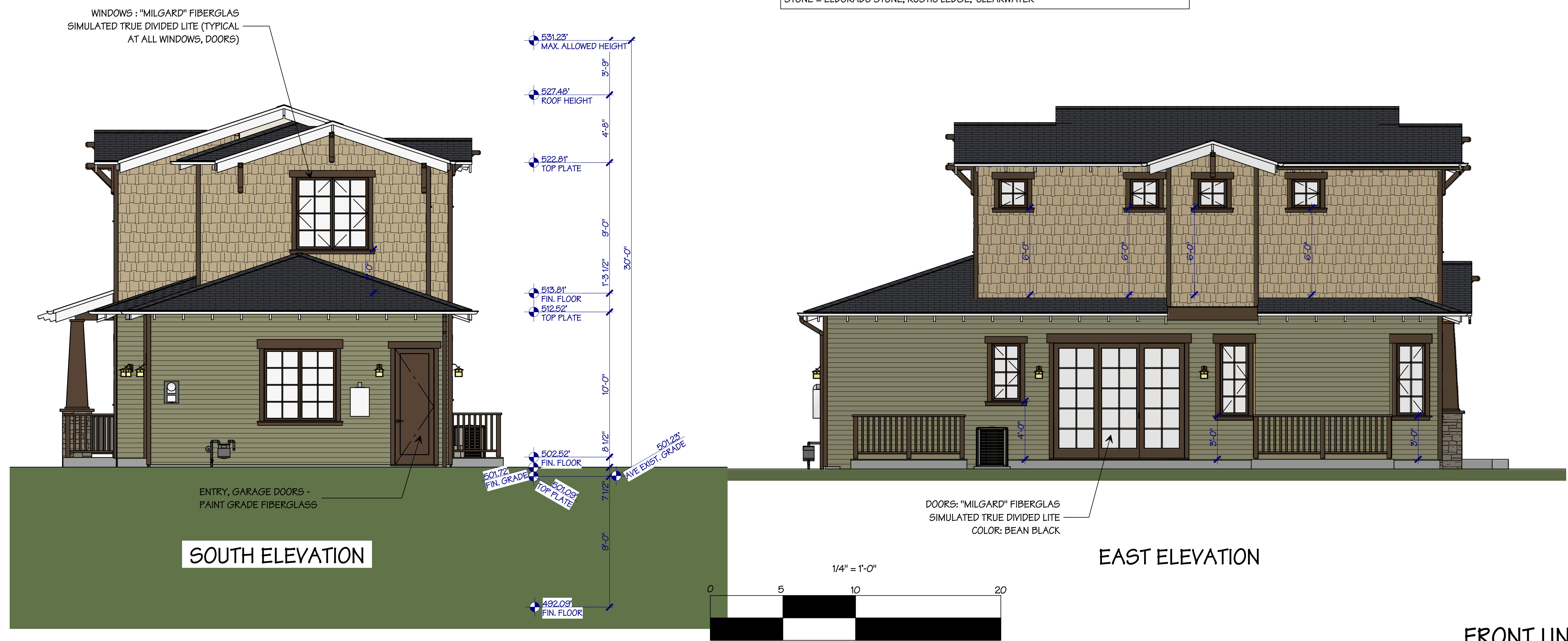
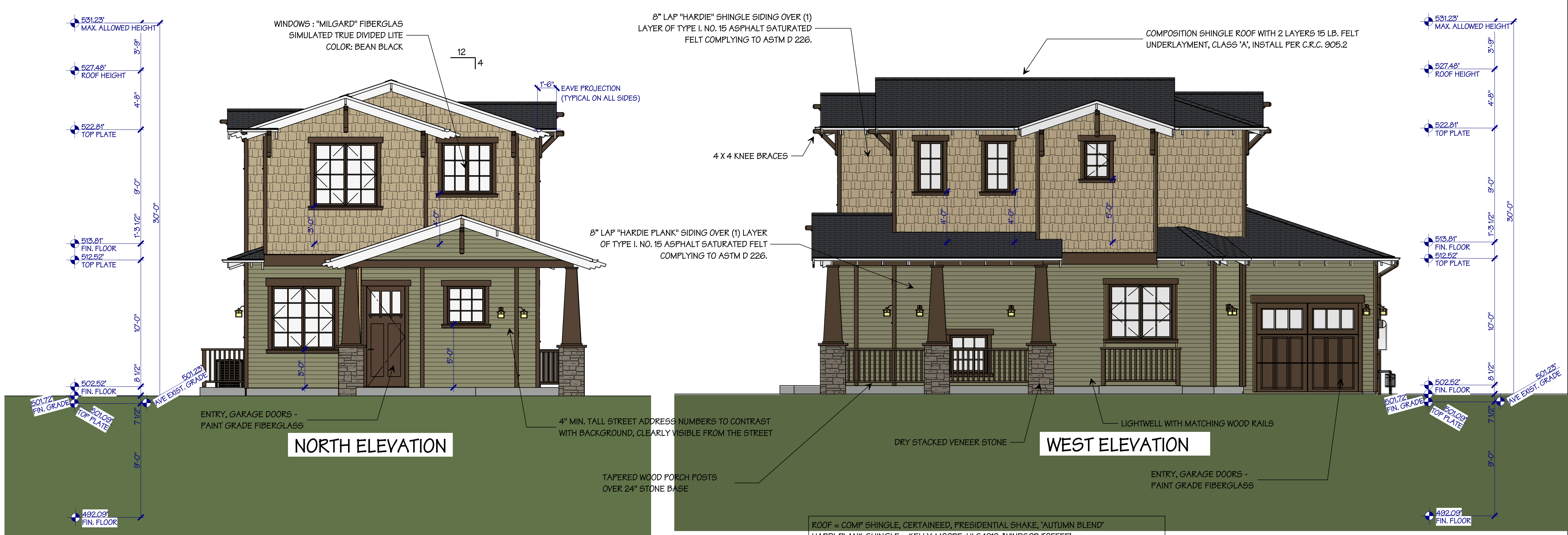
FRONT UNIT #3

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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ARCHITECTURE, INC.
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488.996.1496
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555 #B MERIDIAN AVE. SAN JOSE, CA 95126

NEW HOUSES FOR:
GoldSilverIsland, LLC
661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date	12-19-19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-9
of	Sheets



FRONT UNIT #3

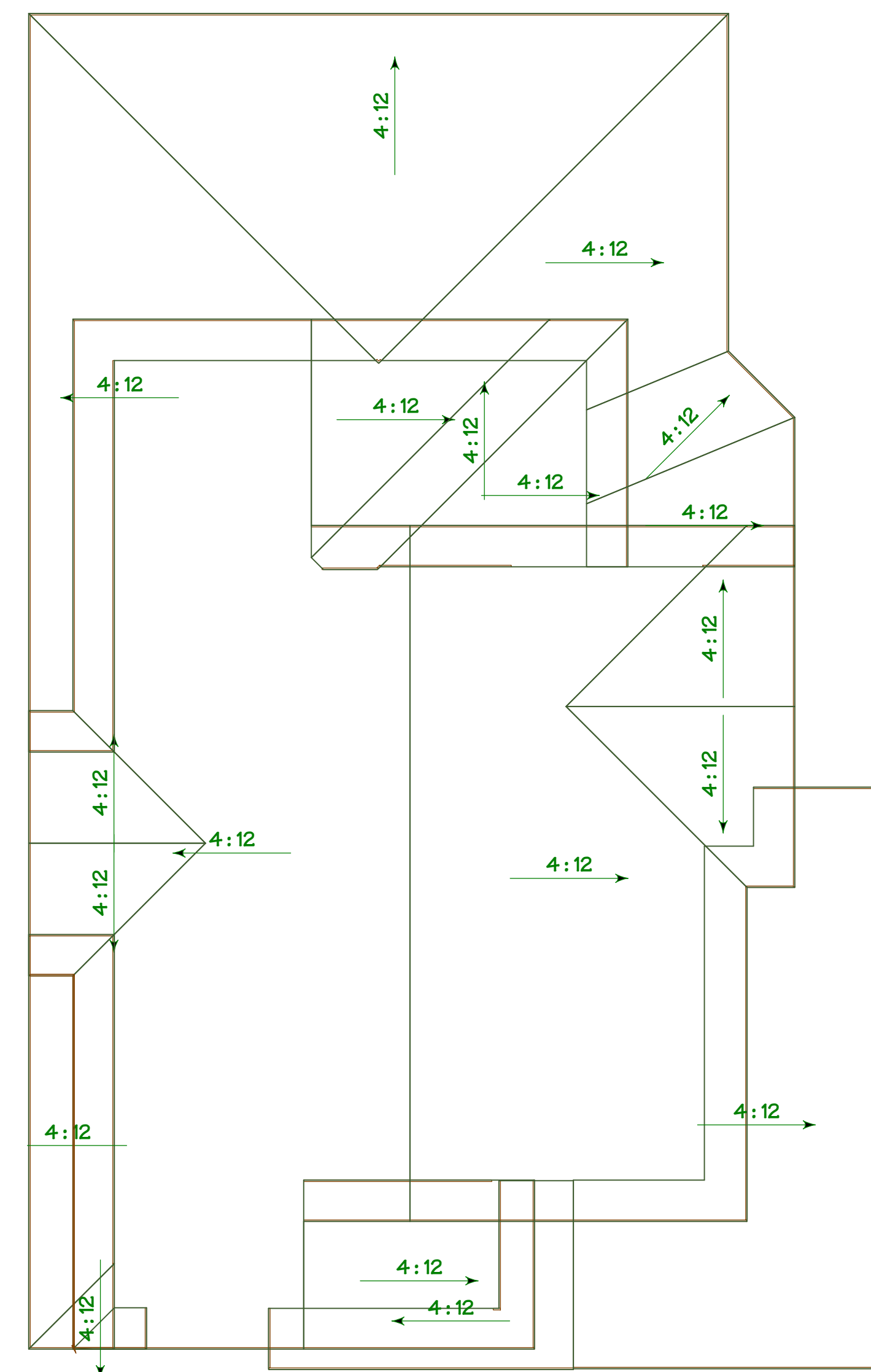
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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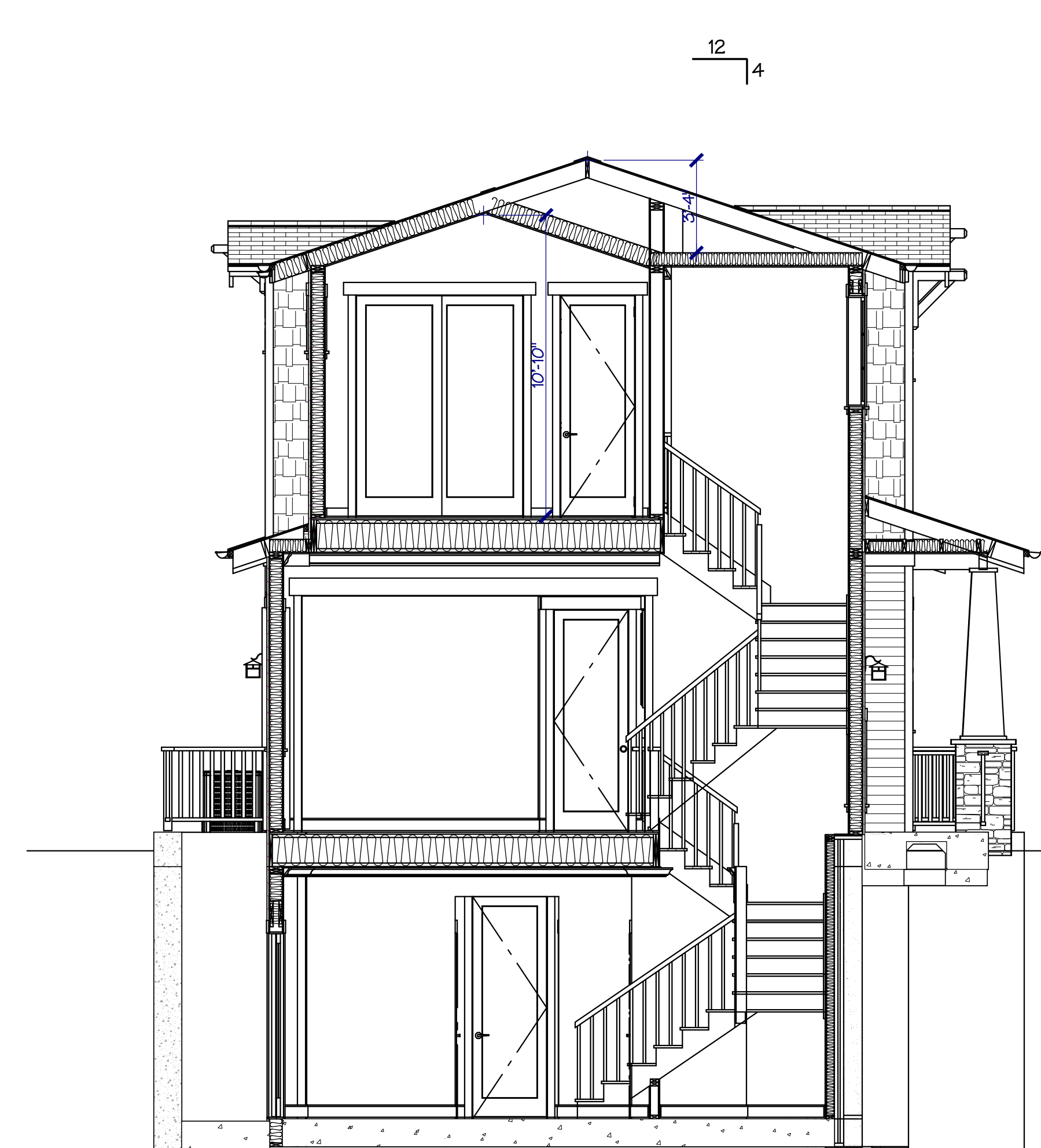
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NEW HOUSES FOR:
GoldSilverland, LLC
661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

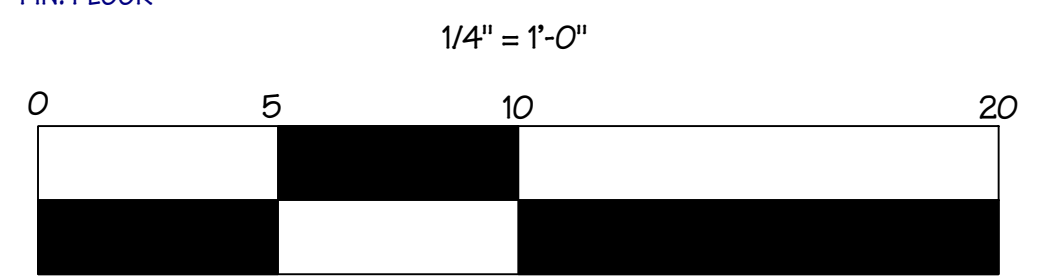
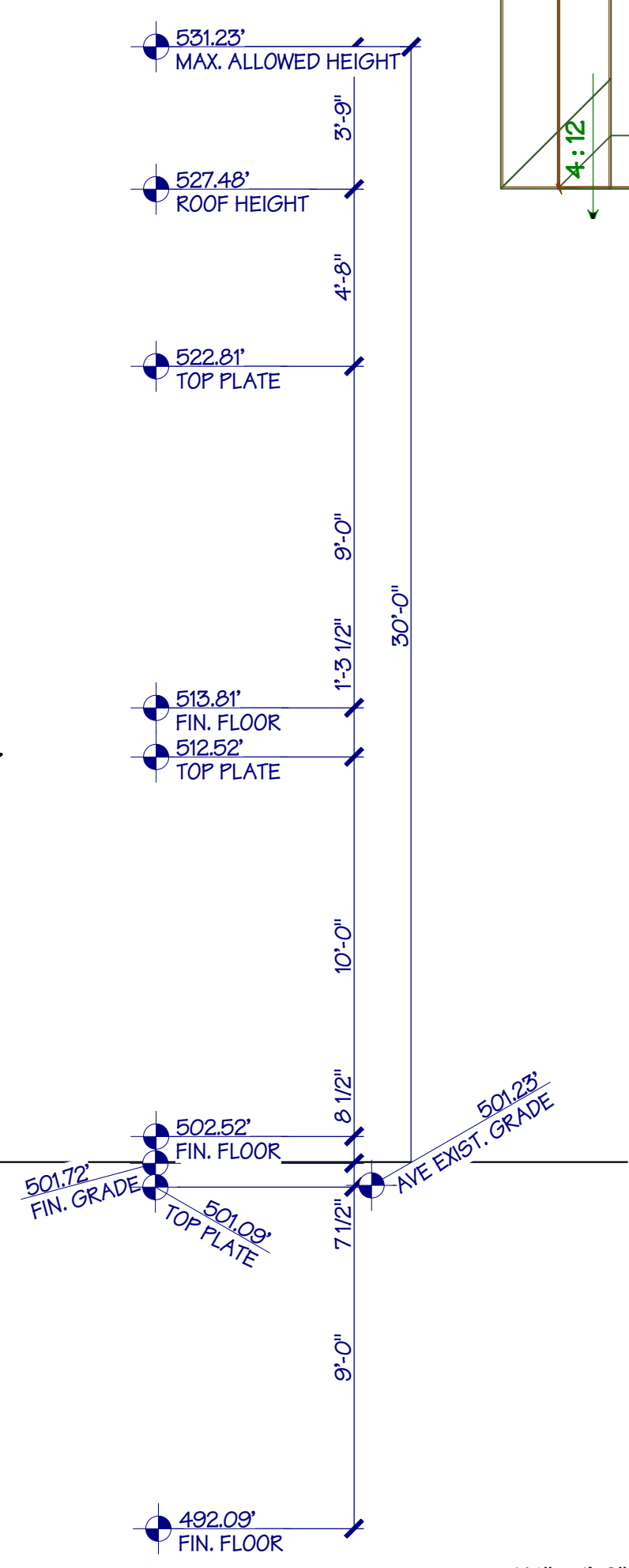
Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet
of **A-10**
Sheets



ROOF PLAN



① SECTION



② SECTION

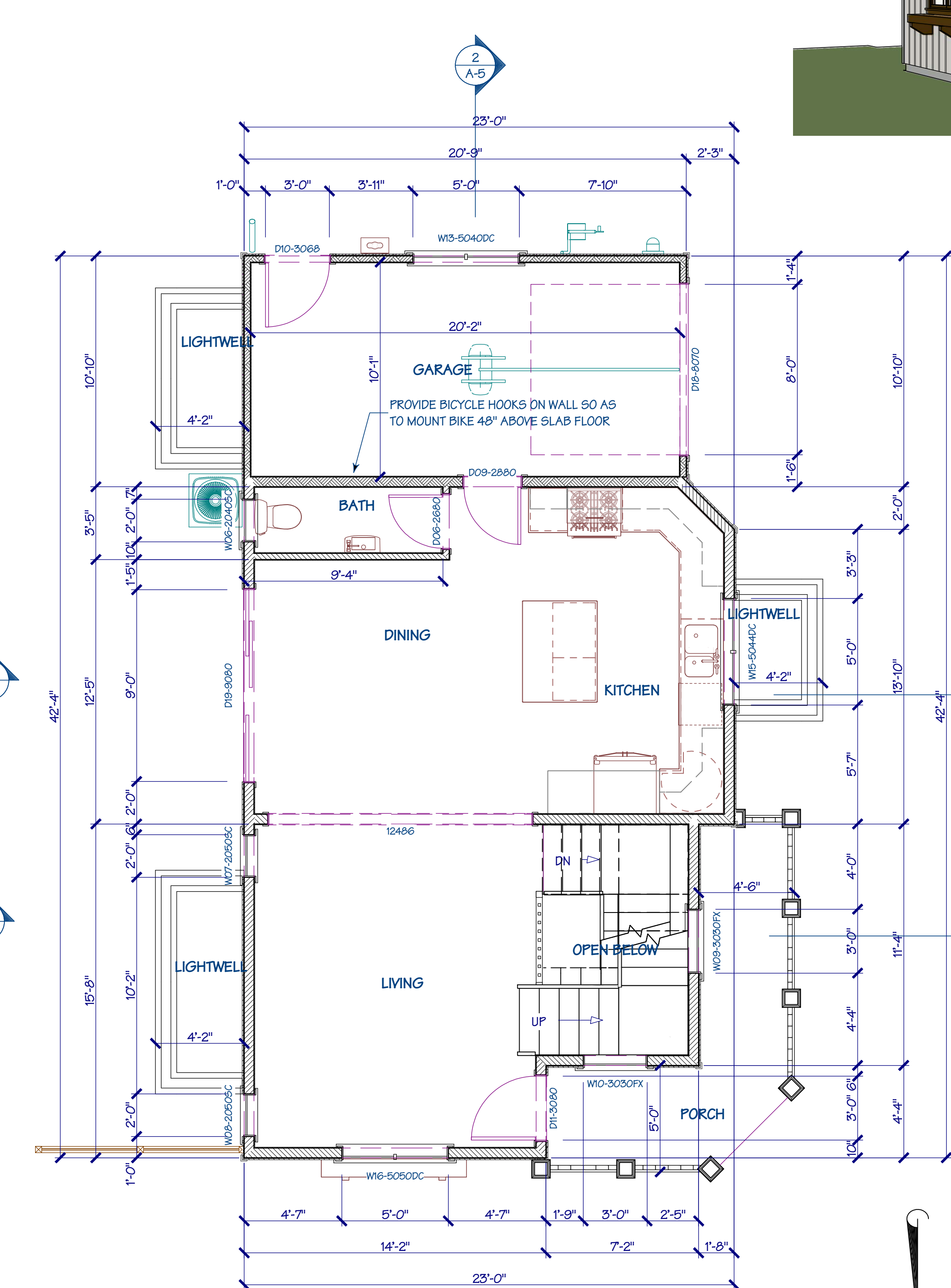
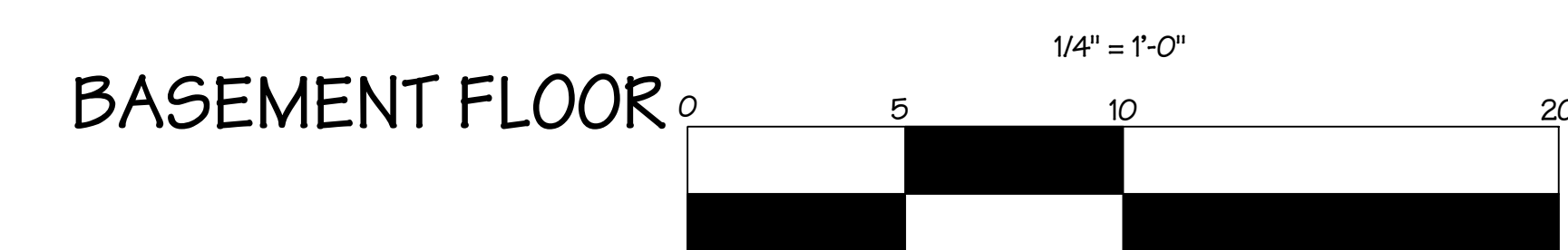
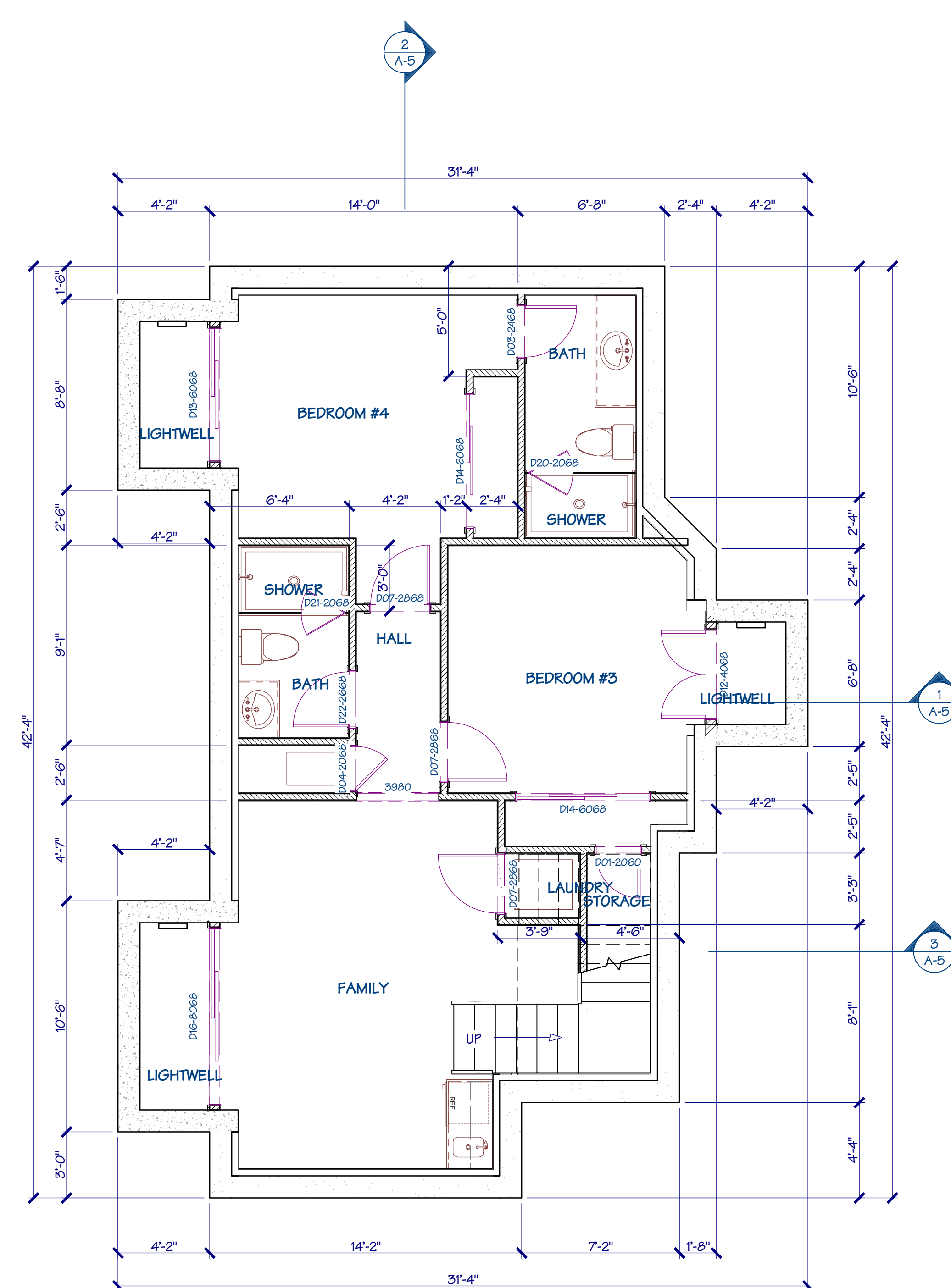
FRONT UNIT #3

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

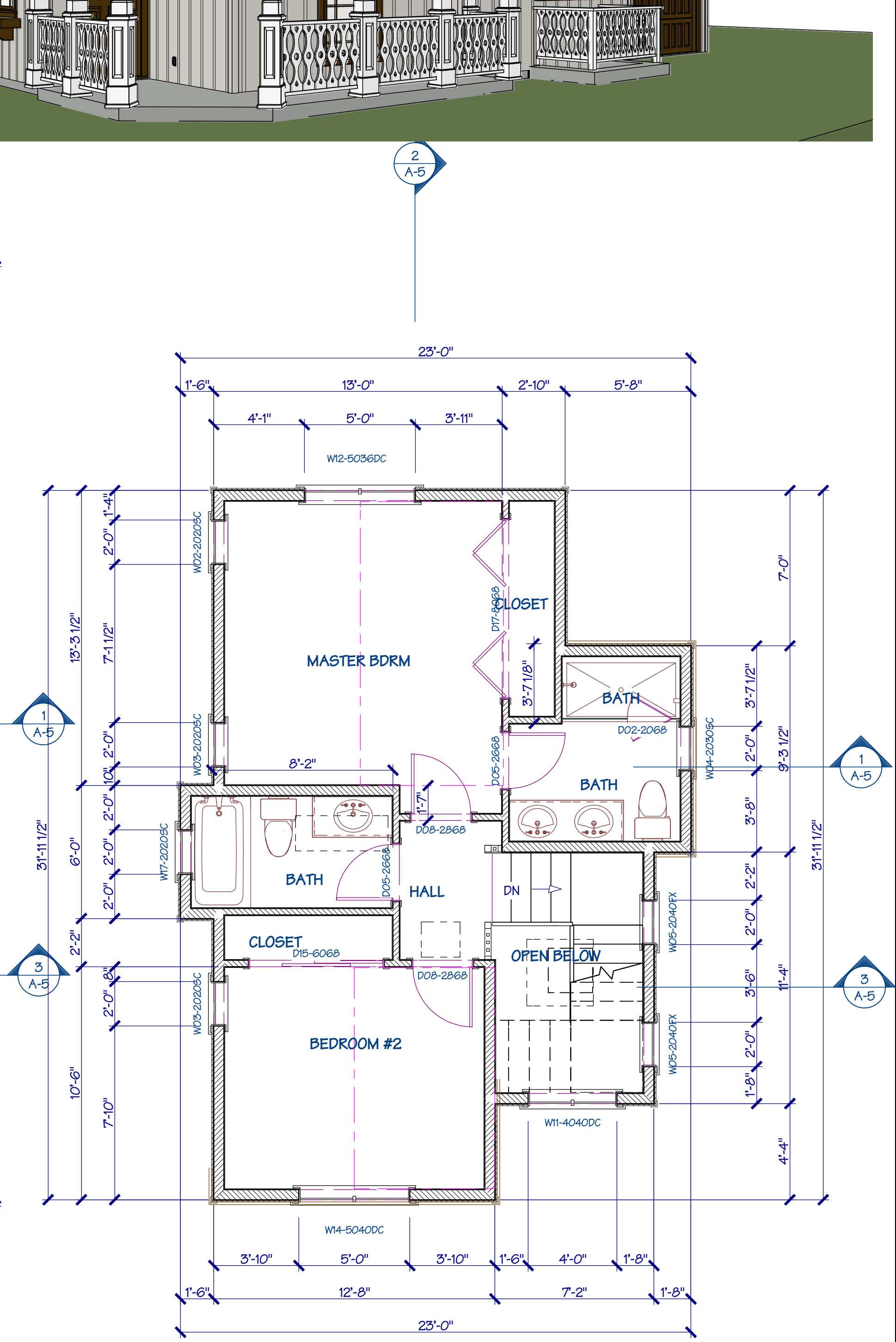
HOMETEC
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RICHARD A. HARTMAN
A.L.A.
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HometecArch@gmail.com

NEW HOUSES FOR:
GoldSilverIsland, LLC
661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet
A-11
of Sheets



FIRST FLOOR



SECOND FLOOR

MIDDLE UNIT #4

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

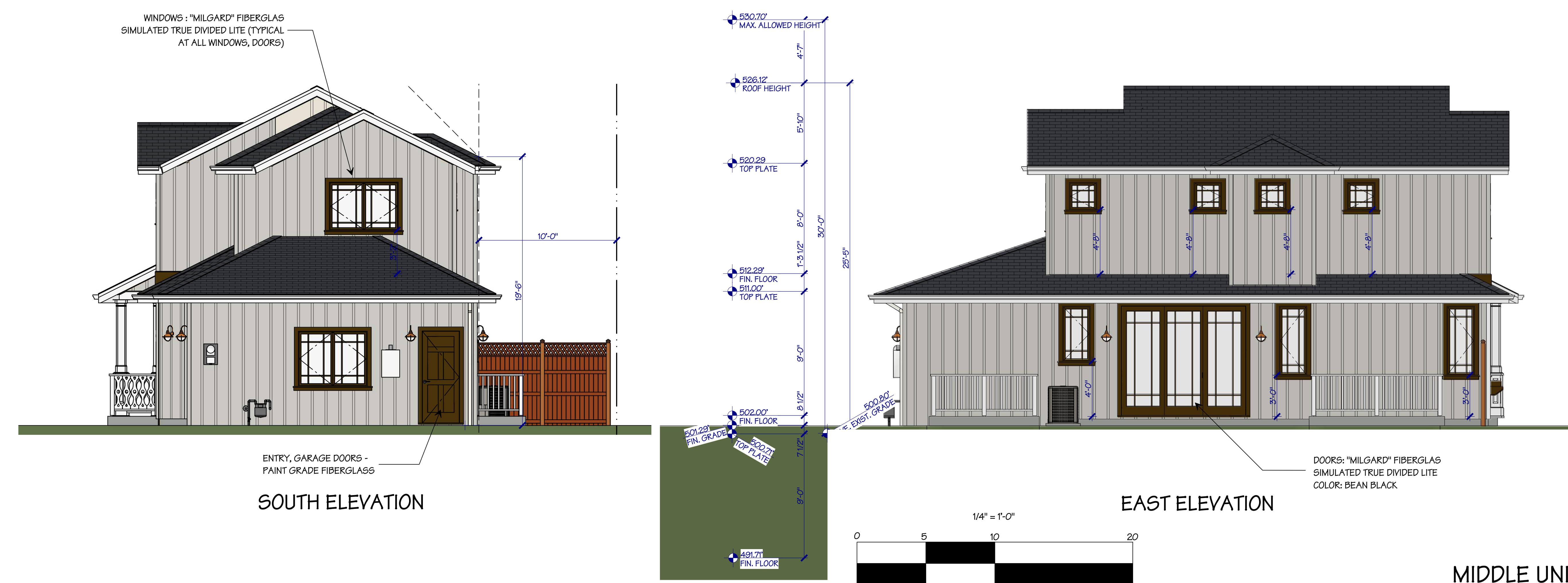
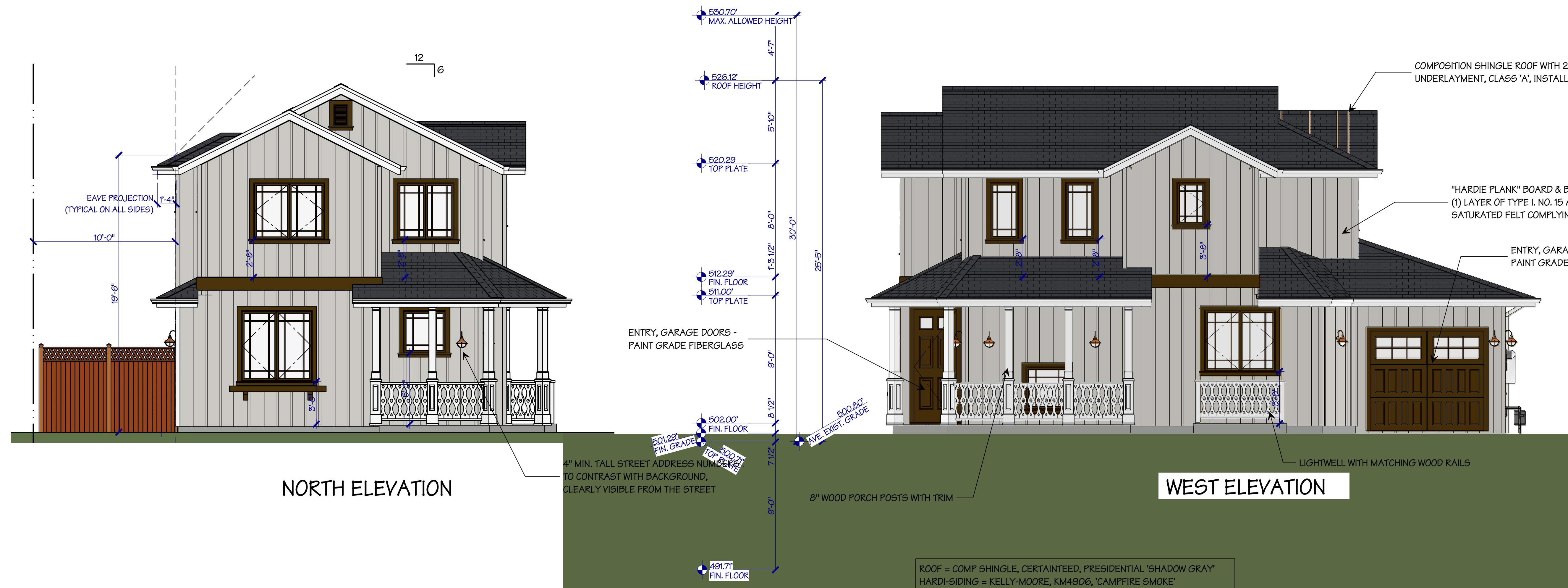
HOMETEC
ARCHITECTURE, INC.

RICHARD A. HARTMAN
A.T.A.
488995-1496
HometecArch@gmail.com

555 #B MERIDIAN AVE. SAN JOSE, CA 95126

NEW HOUSES FOR:
GoldSilverIsland, LLC
661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet
A-12
of Sheets



MIDDLE UNIT #4

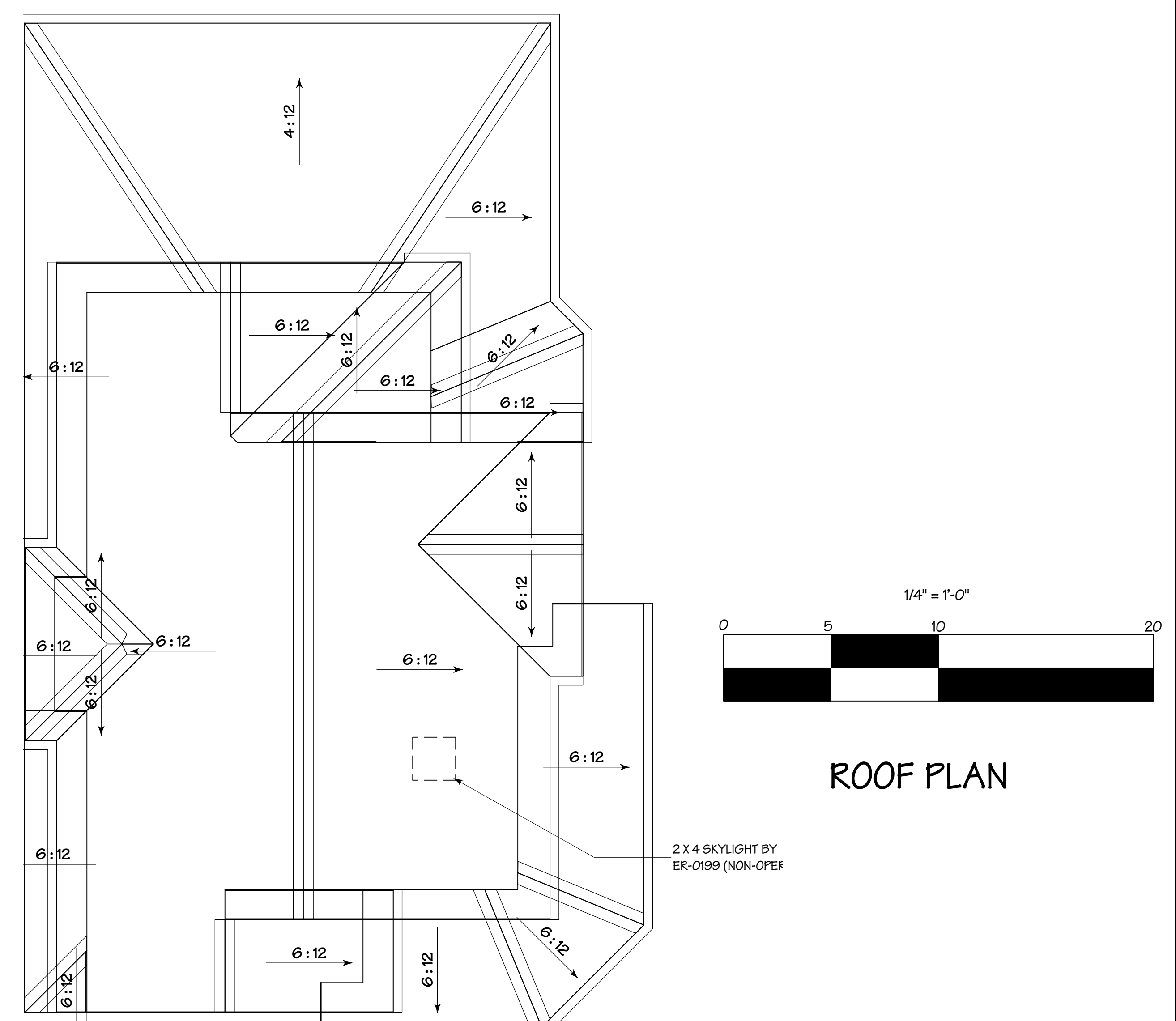
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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NEW HOUSES FOR:
GoldSilverIsland, LLC
661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

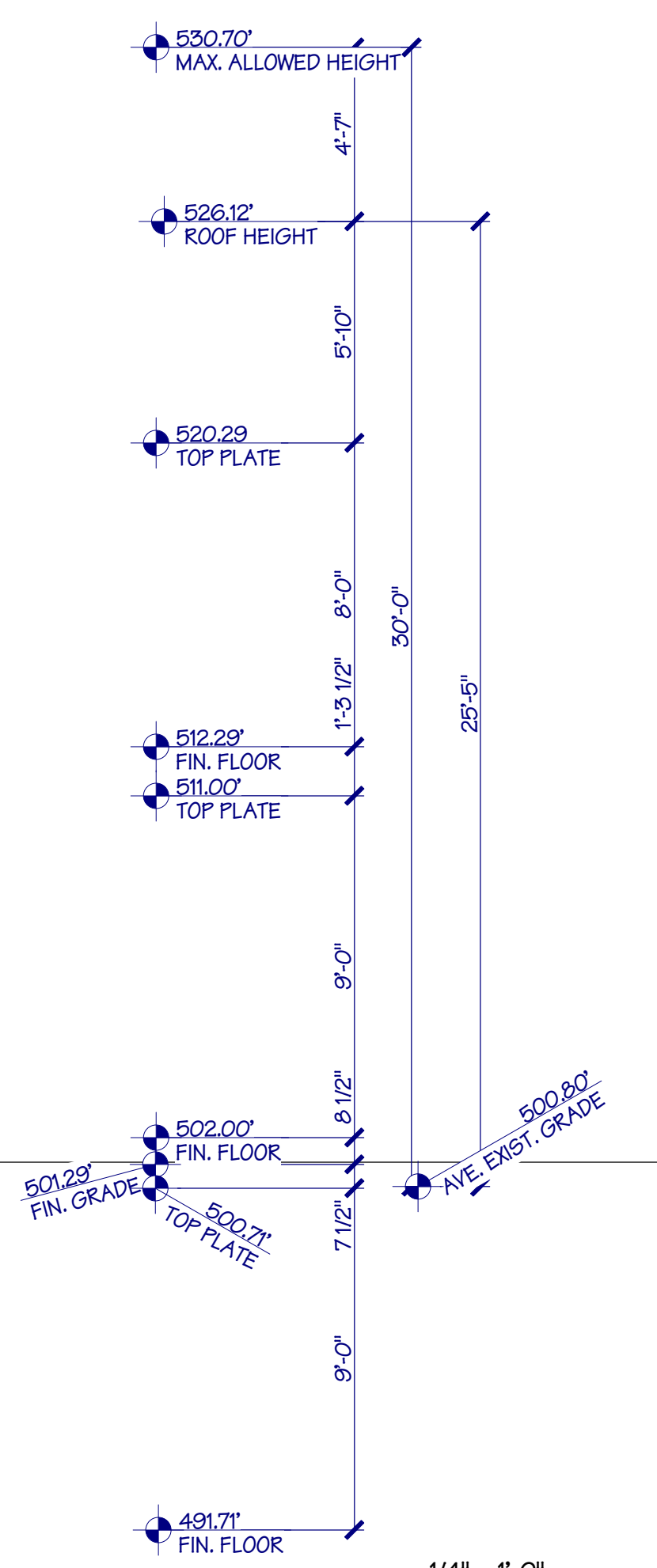
Date	12 - 19 - 19
Scale	1/4" = 1'-0"
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Job	19-002
Sheet	A-13
of	Sheets



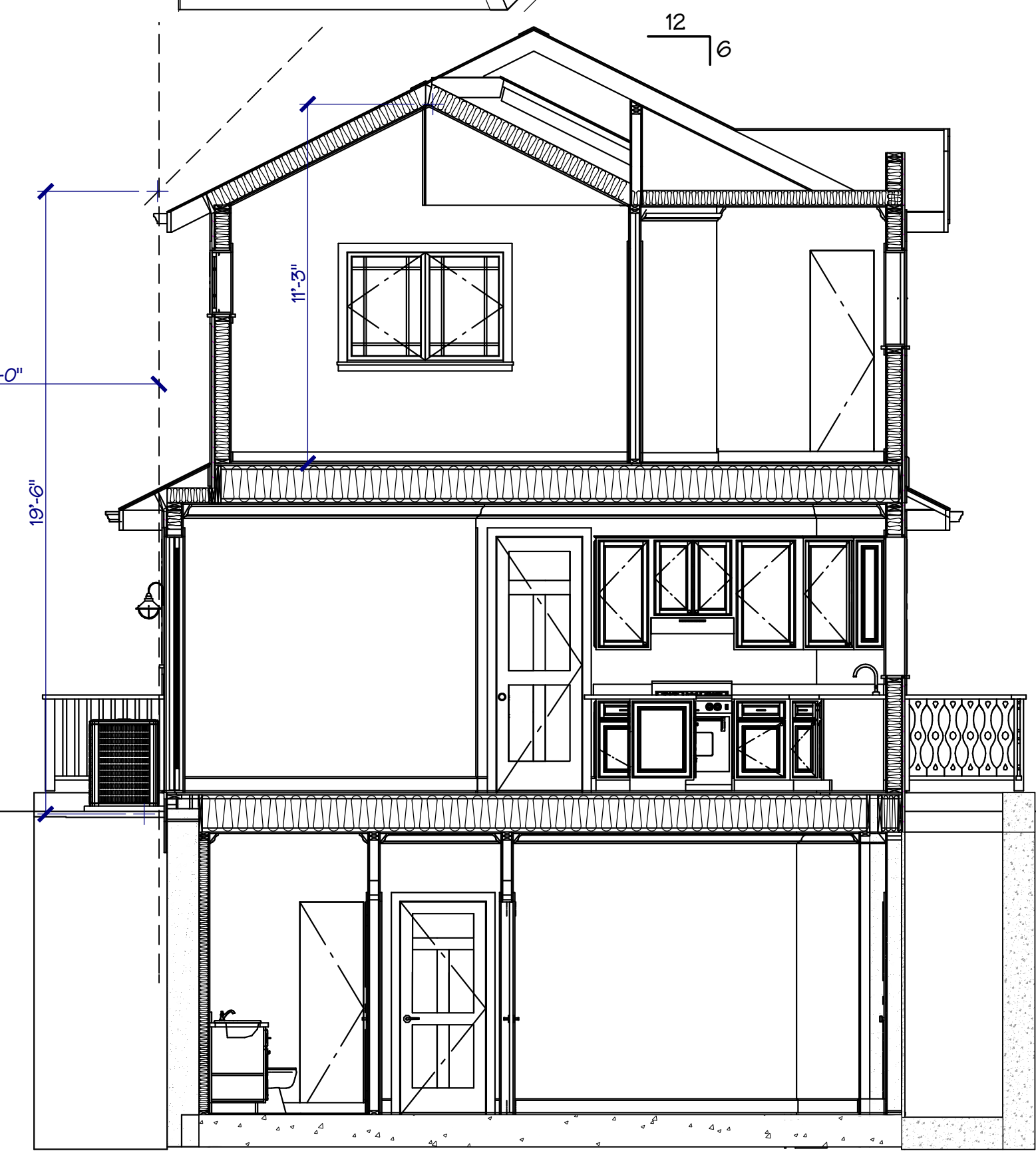
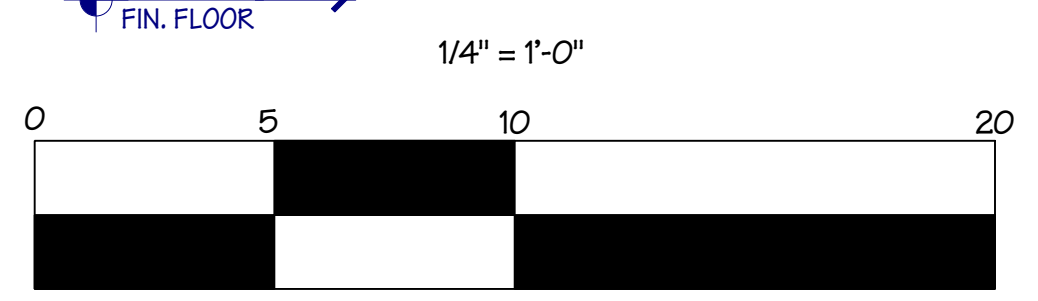
ROOF PLAN



1 SECTION



2 SECTION

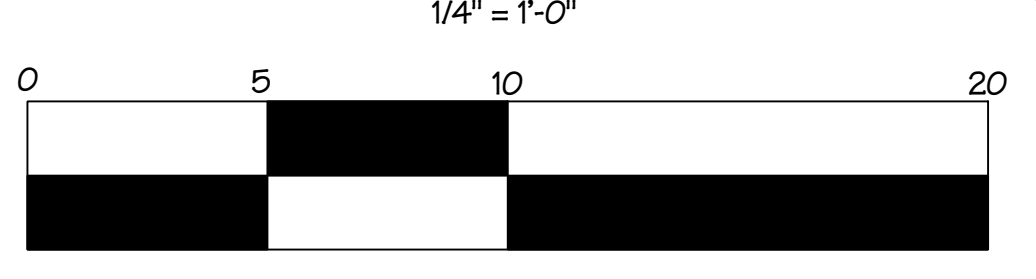
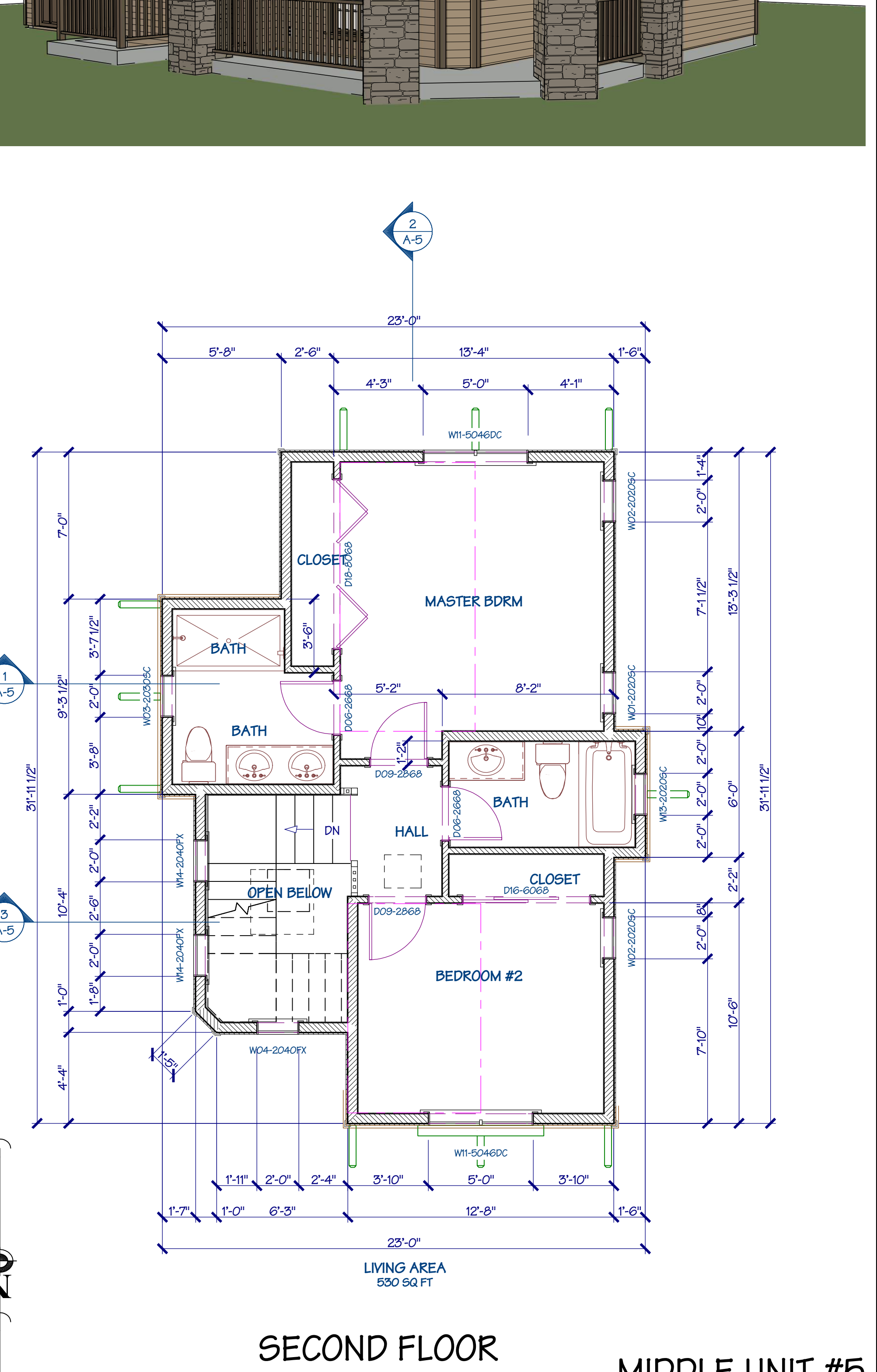
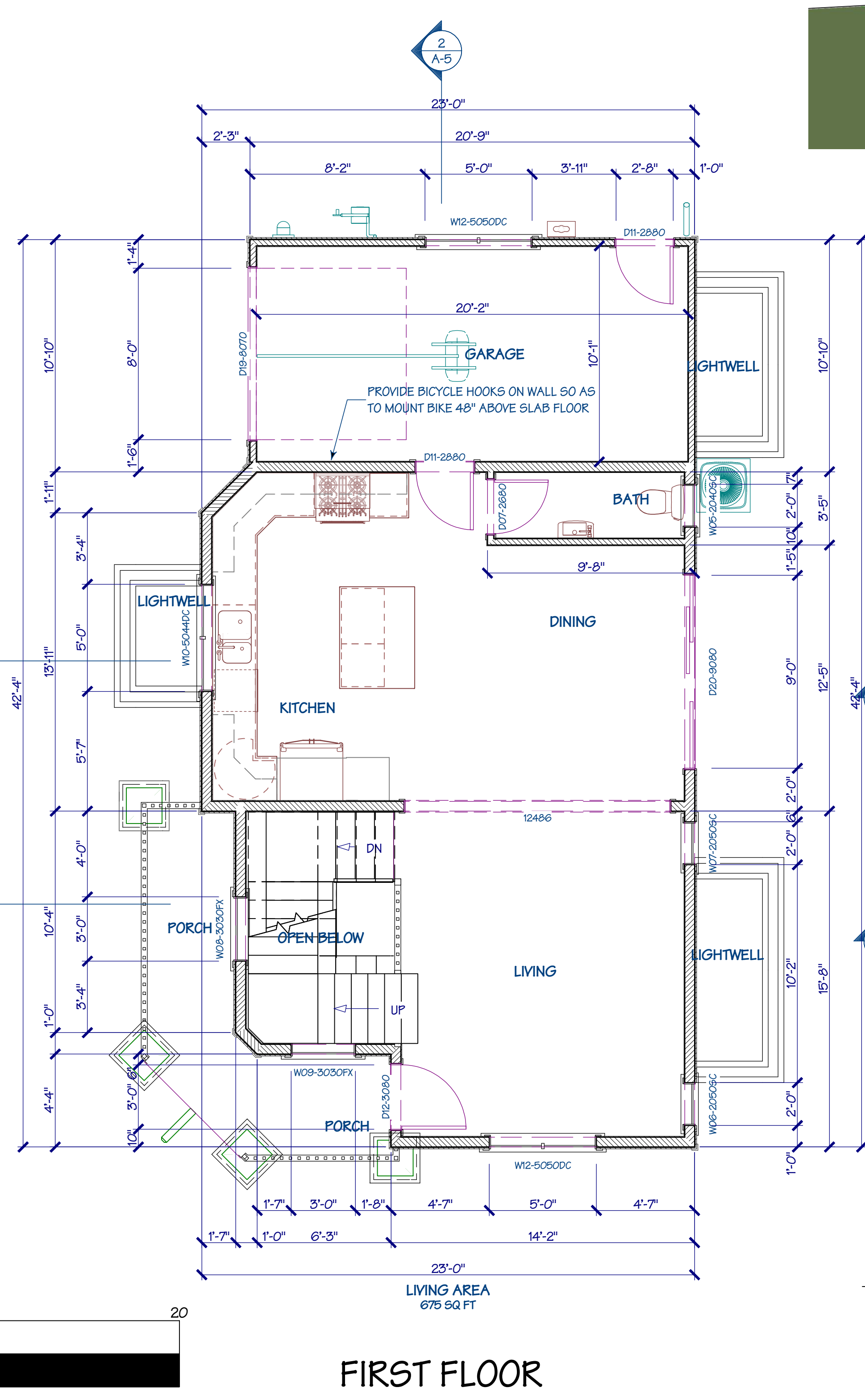
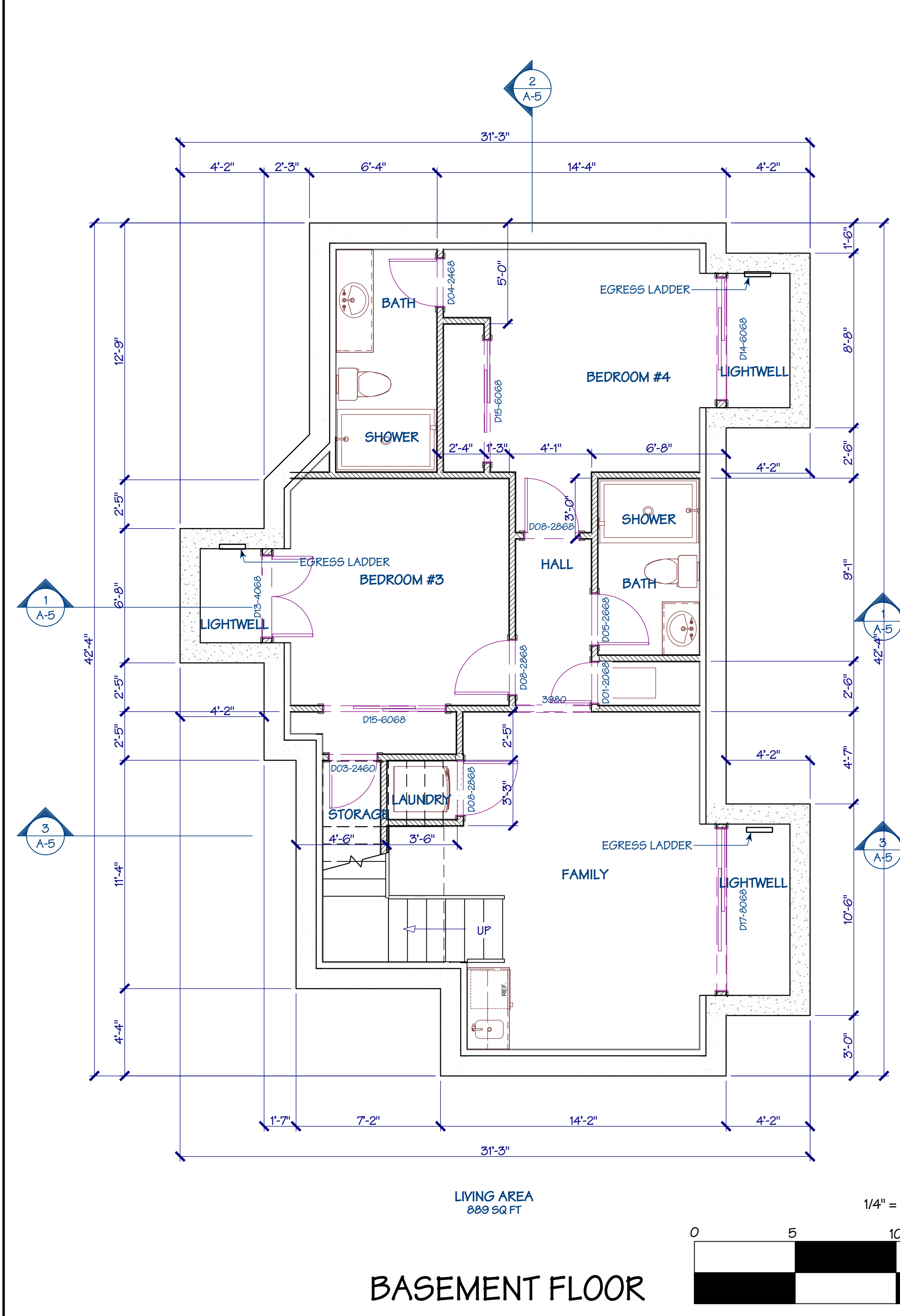


MIDDLE UNIT #4

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

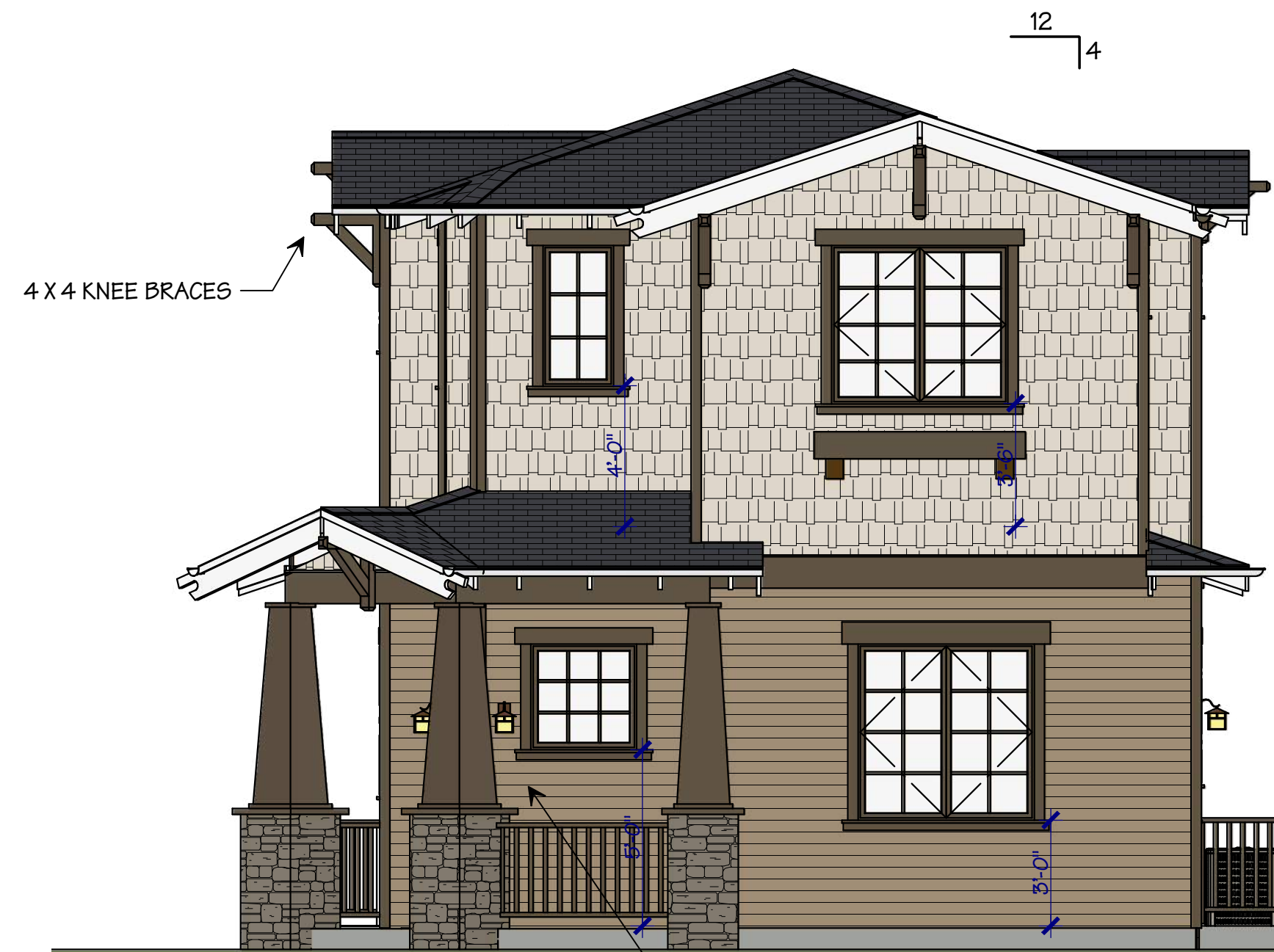
HOMETEC
ARCHITECTURE, INC.
555 #B MERIDIAN AVE. SAN JOSE, CA 95126
408.995.1496
HometecArch@gmail.com

RICHARD A. HARTMAN
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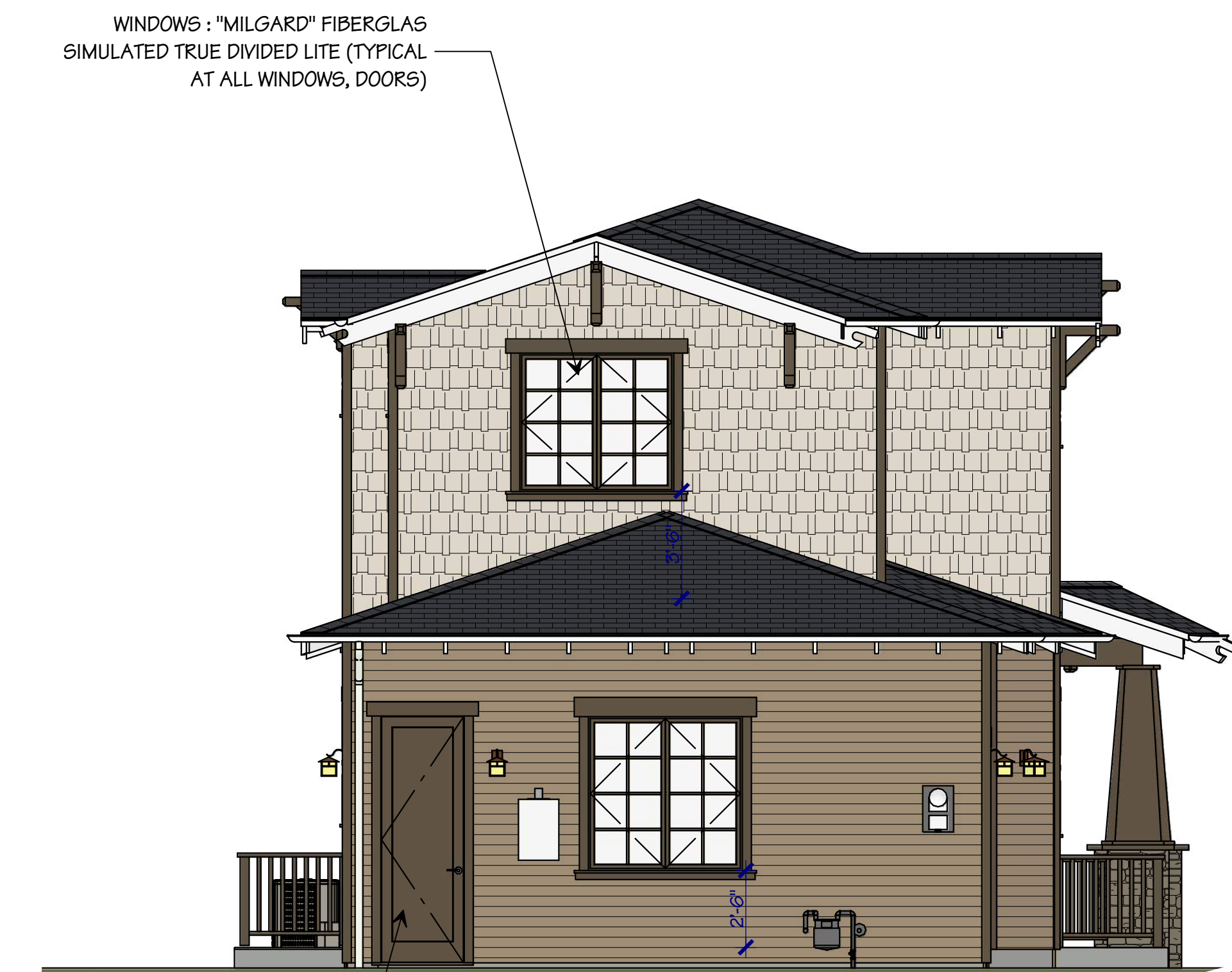


NEW HOUSES FOR:
GoldSilverland, LLC
661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

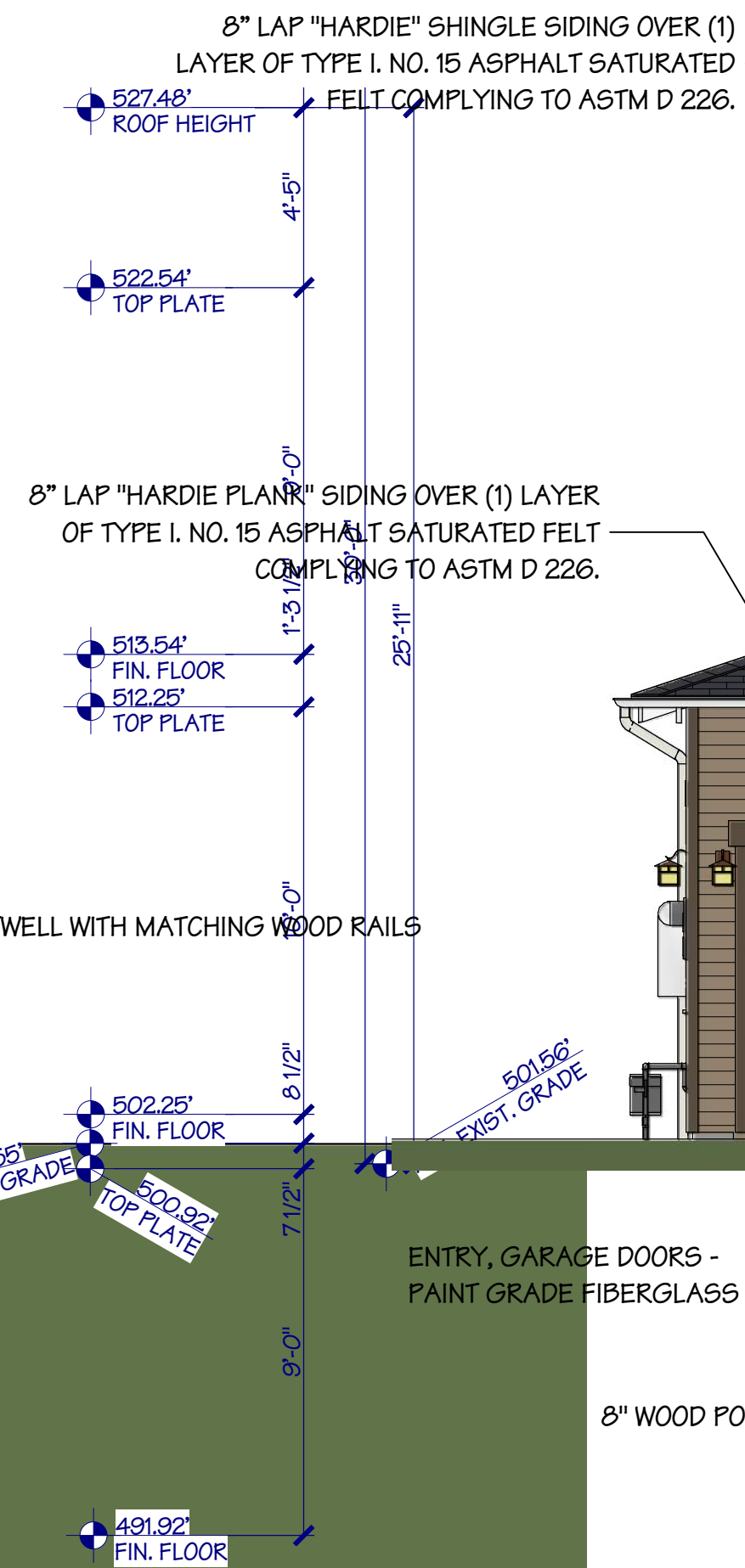
Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet **A-14**
of Sheets



NORTH ELEVATION



SOUTH ELEVATION



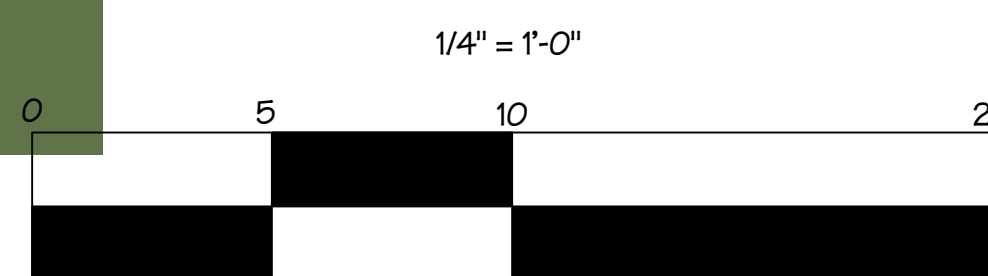
WEST ELEVATION

ROOF = COMP SHINGLE, CERTAINTED PRESIDENTIAL SHAKE, 'AUTUMN BLEND'
 HANDI-SHINGLE, KELLY-MOORE, KM4548, 'BOB WHISKERS'
 HARDI-PLANK, KELLY-MOORE, KMHL54213, 'BUNGALOW BROWN'
 WINDOW TRIM, FASCIA, BRACKETS, COLUMNS, RAILINGS = KELLY-MOORE, KM4554, 'BUFFALO DANCE'
 STONE = ELDORADO STONE, RUSTIC LEDGE, 'CLEARWATER'



EAST ELEVATION

DOORS: "MILGARD" FIBERGLAS
 SIMULATED TRUE DIVIDED LITE
 COLOR: BEAN BLACK



REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-15
of	Sheets

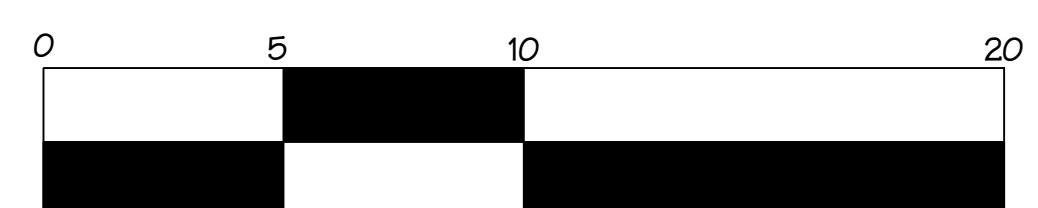
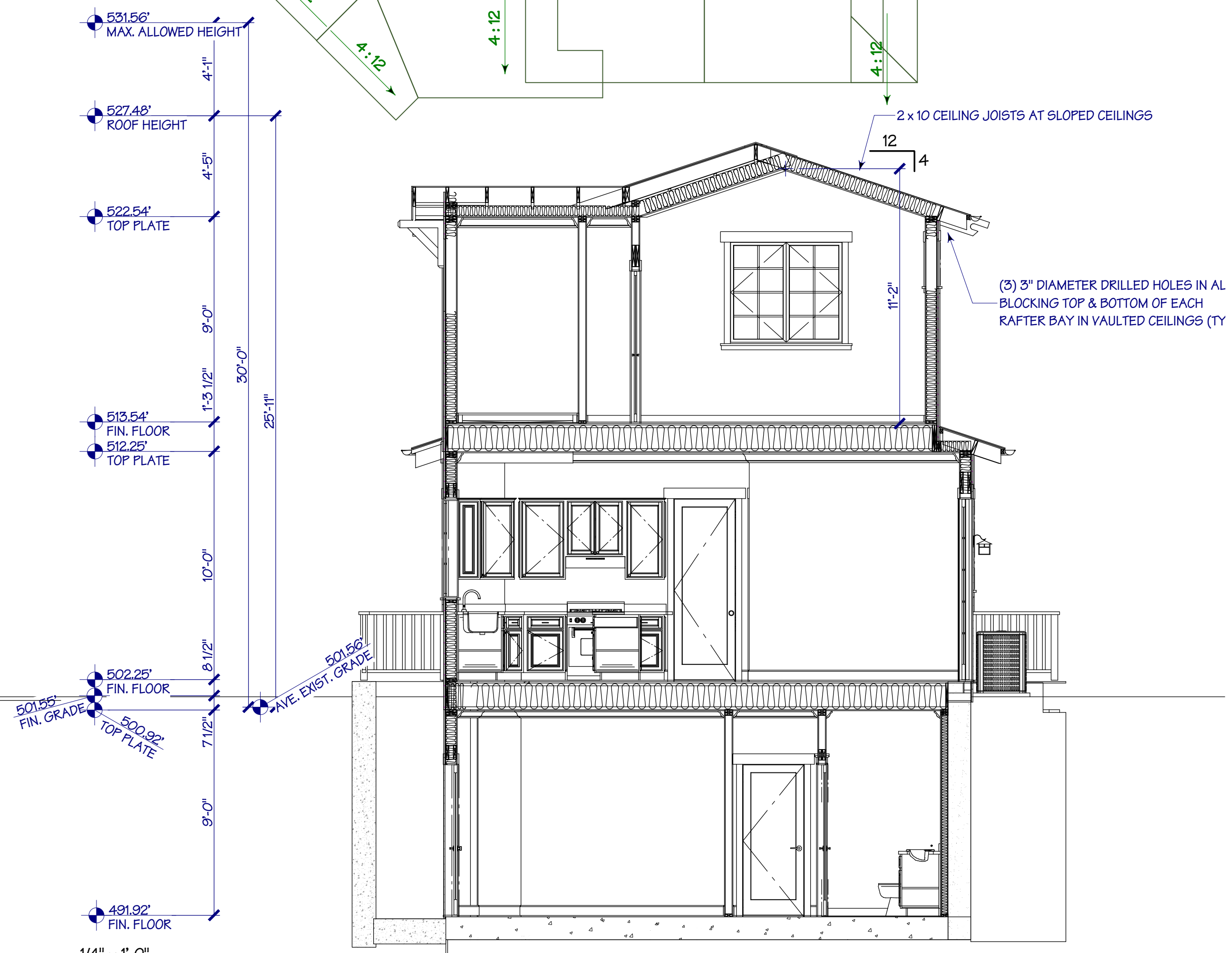
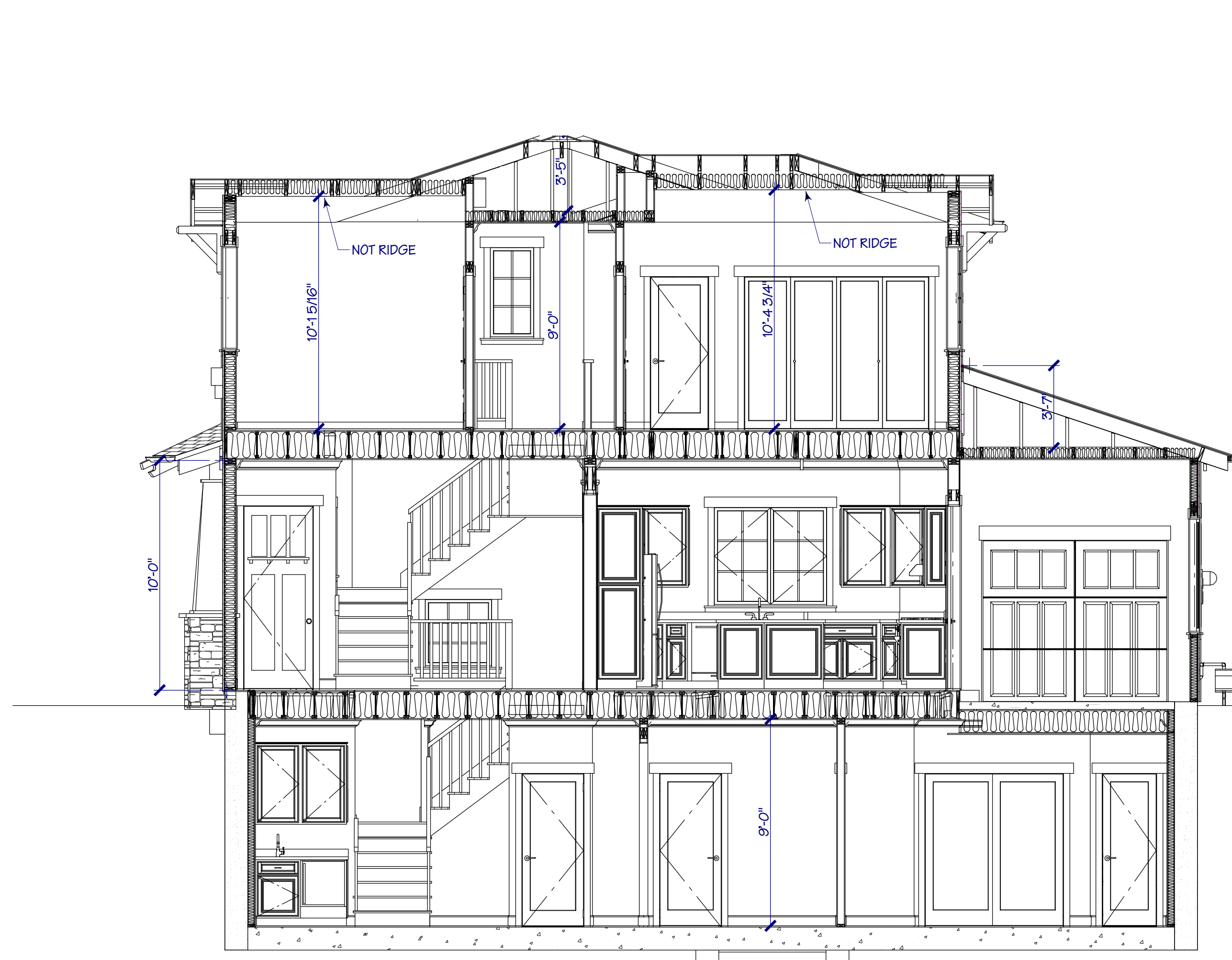
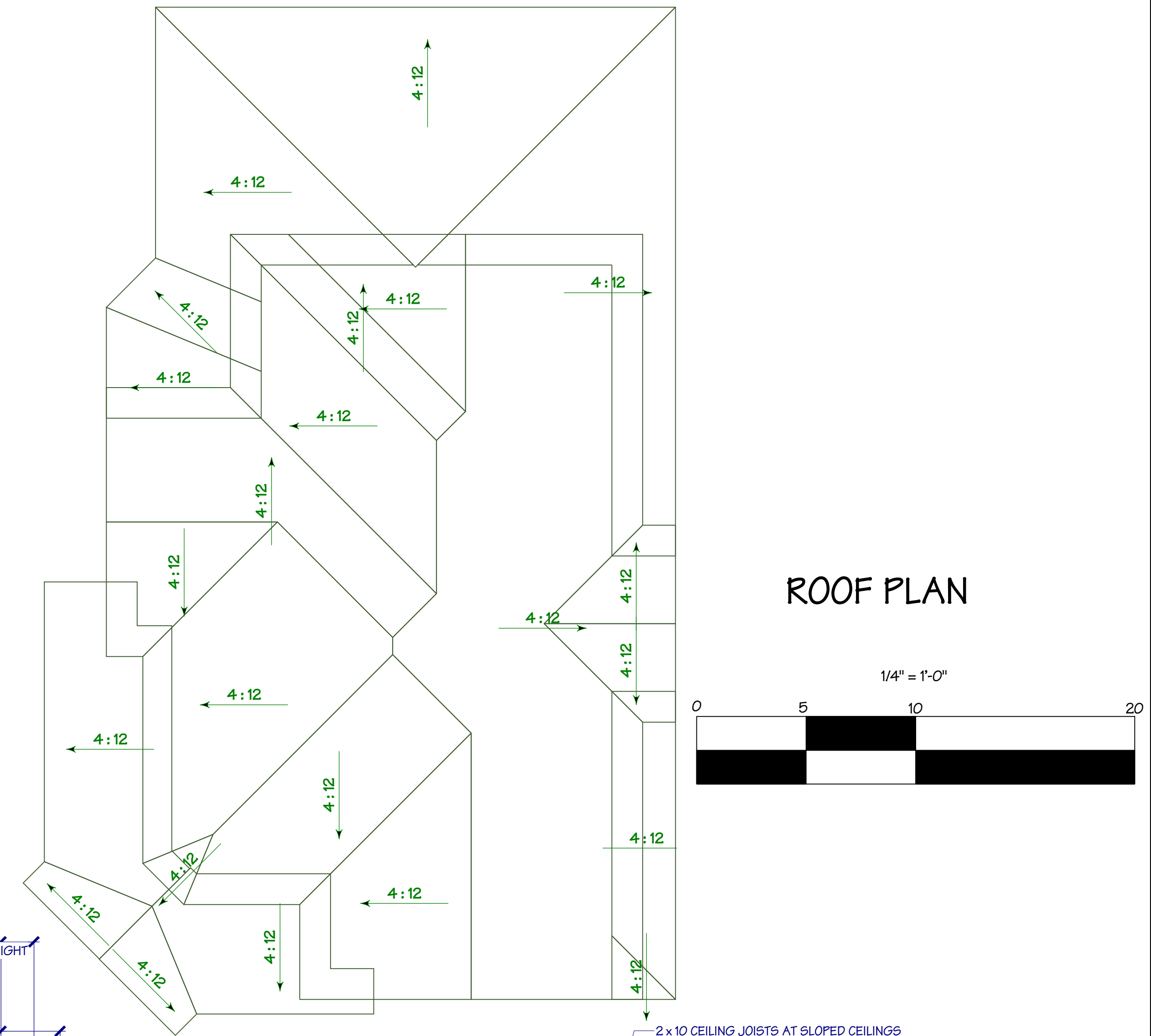
MIDDLE UNIT #5

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

HOMETEC
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NEW HOUSES FOR:
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Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet
A-16
of Sheets



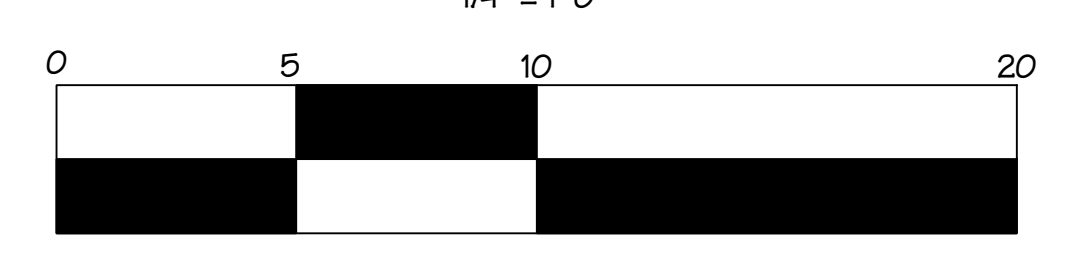
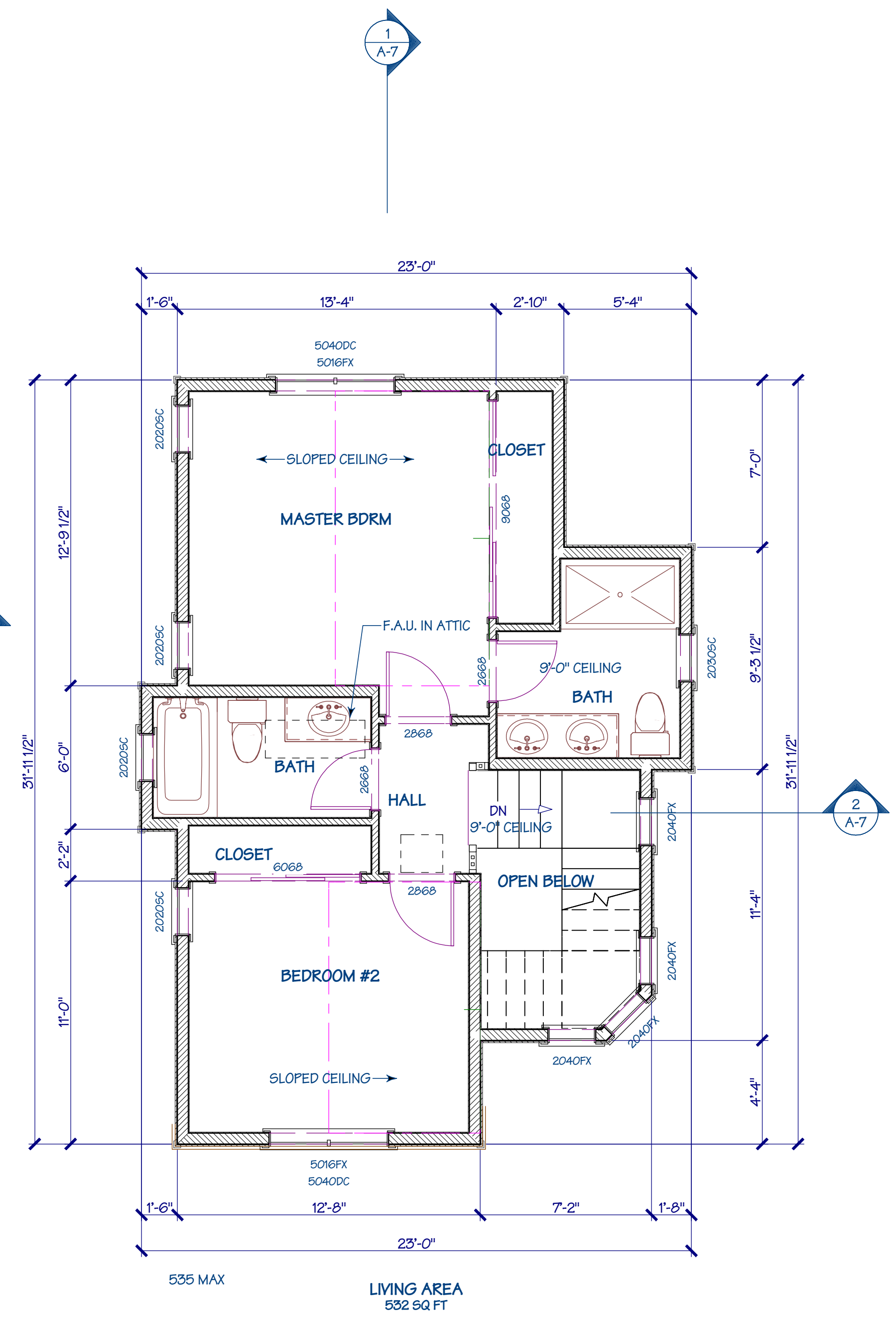
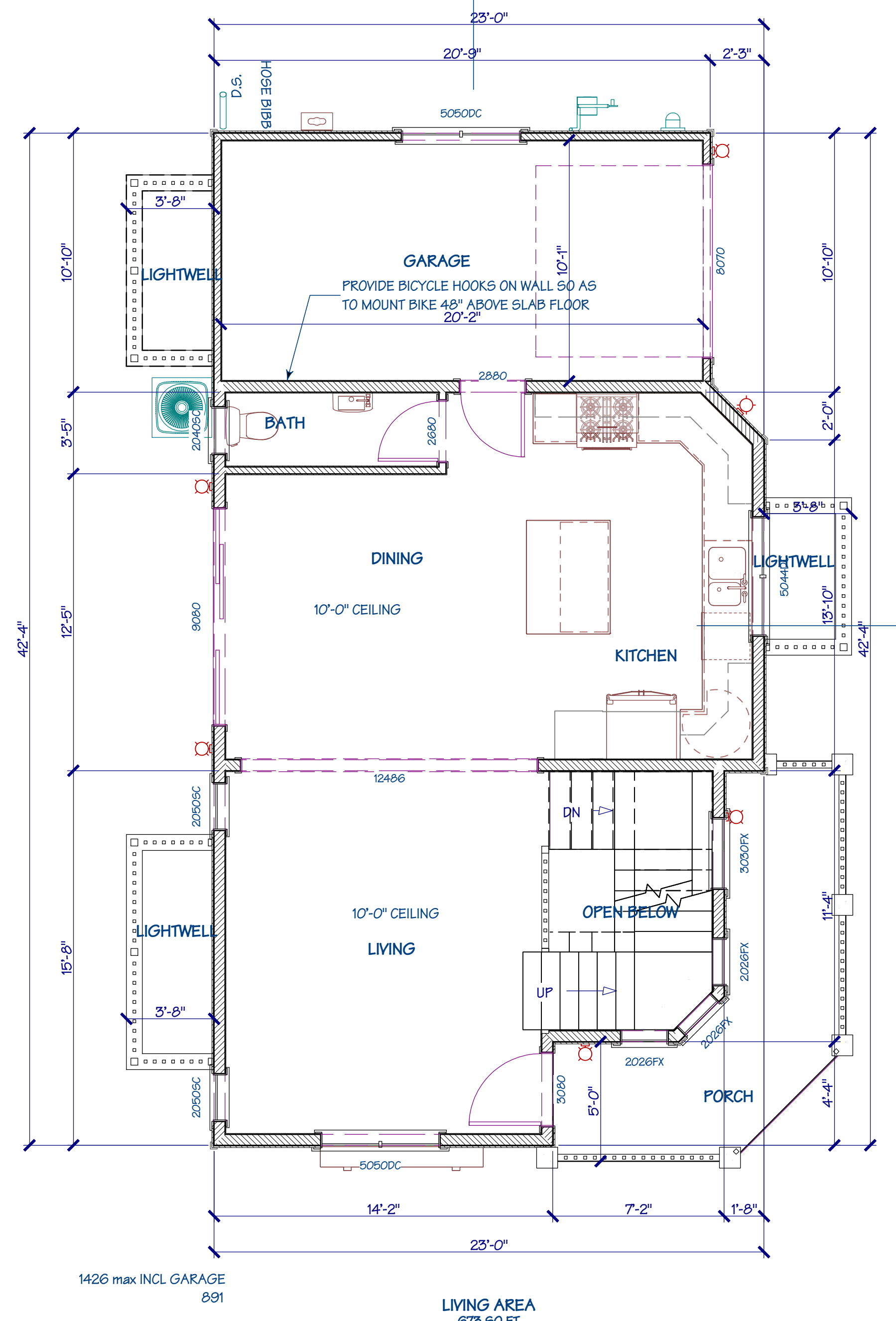
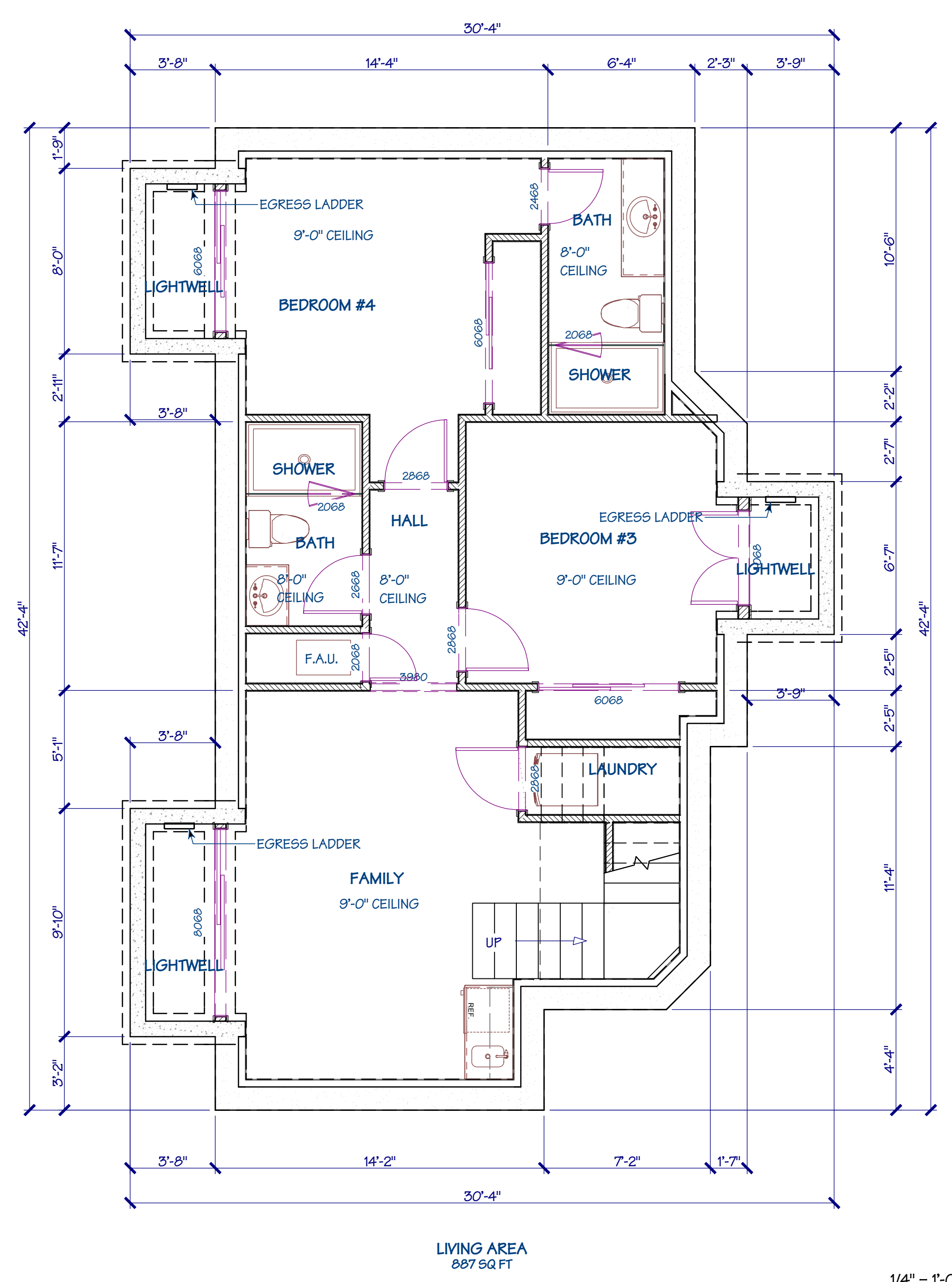
MIDDLE UNIT #5

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

HOMETEC
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NEW HOUSES FOR:
GoldSilverland, LLC
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Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-17
of	Sheets

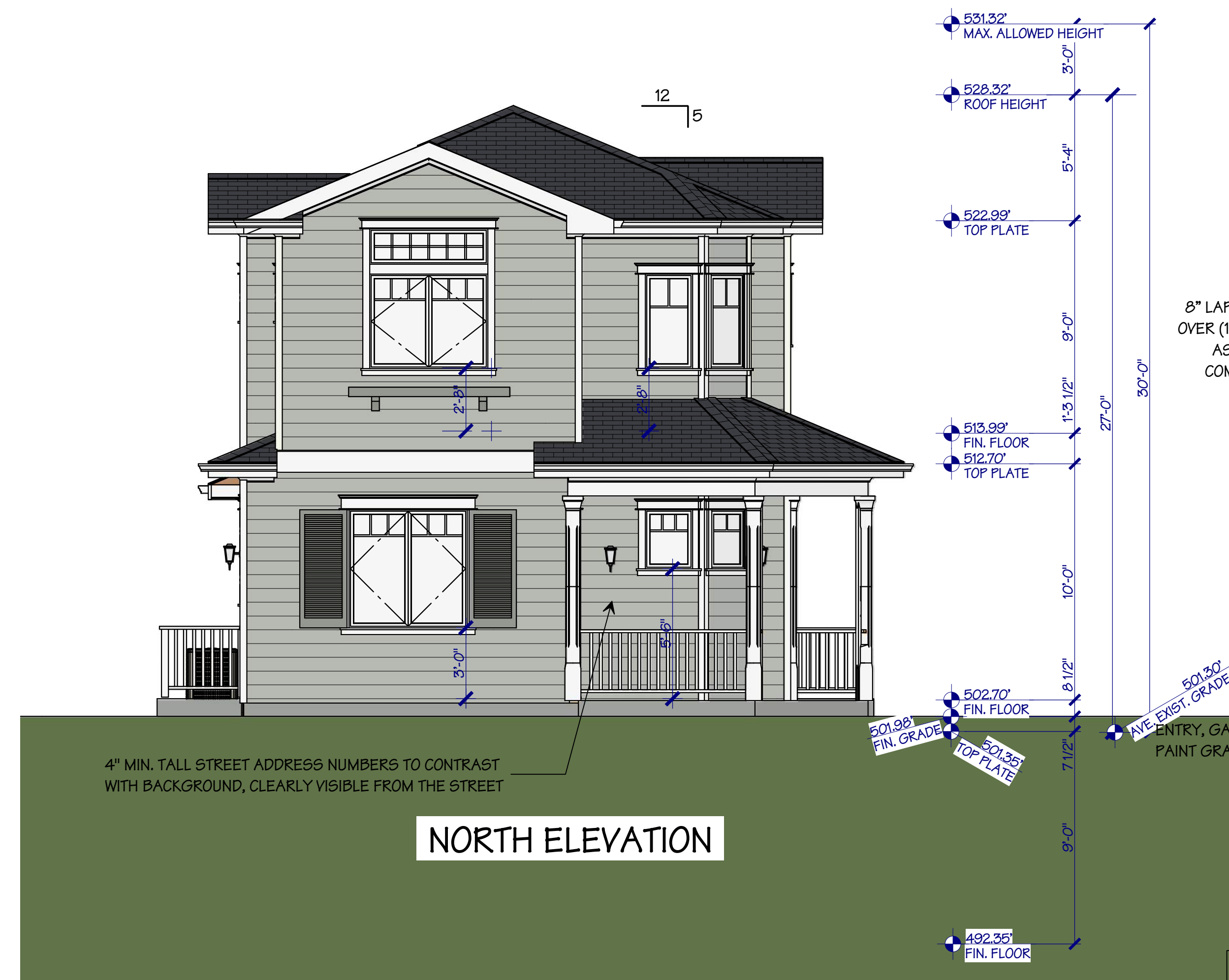


BASEMENT FLOOR

FIRST FLOOR

SECOND FLOOR

MIDDLE UNIT #6

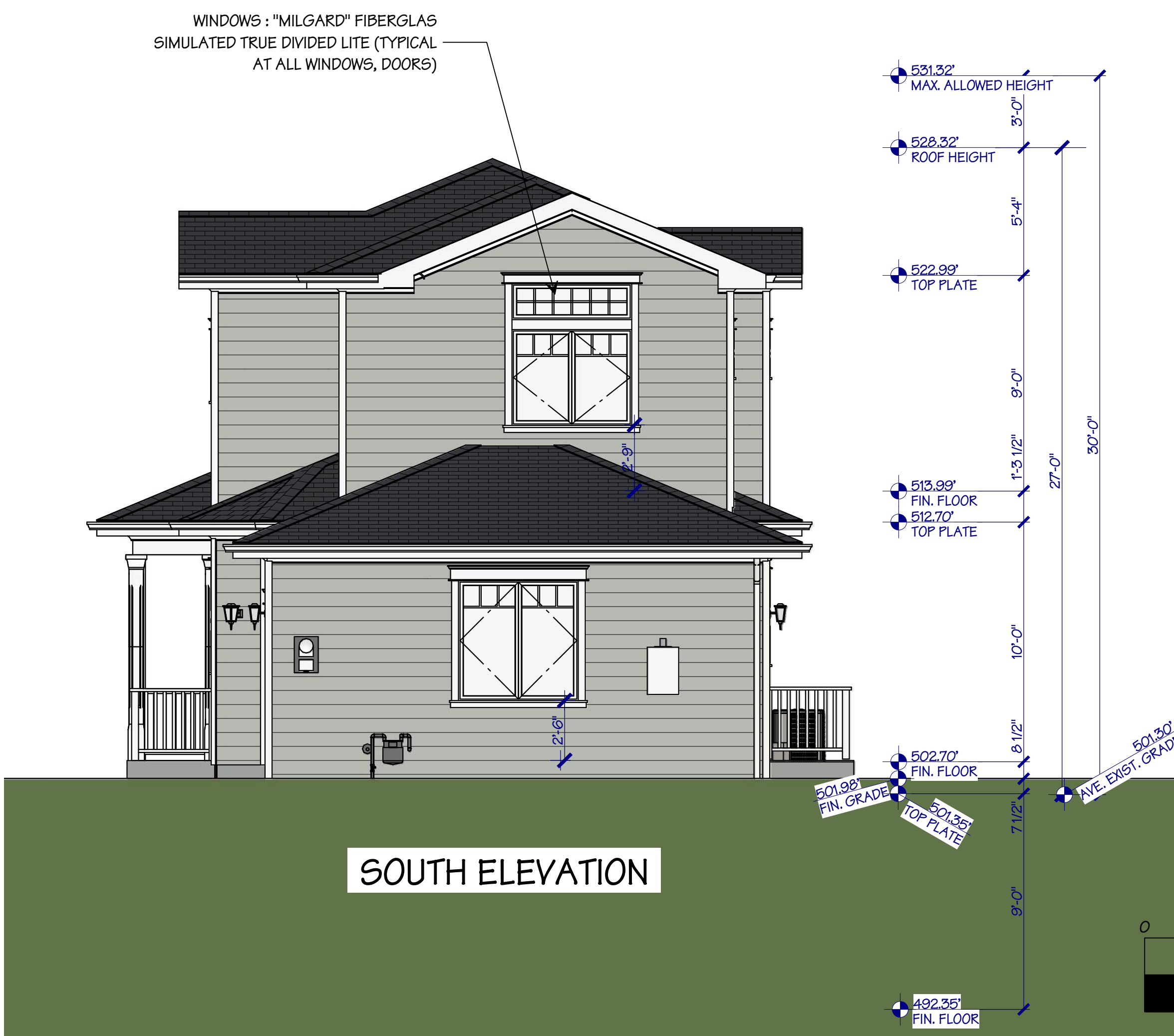


NORTH ELEVATION

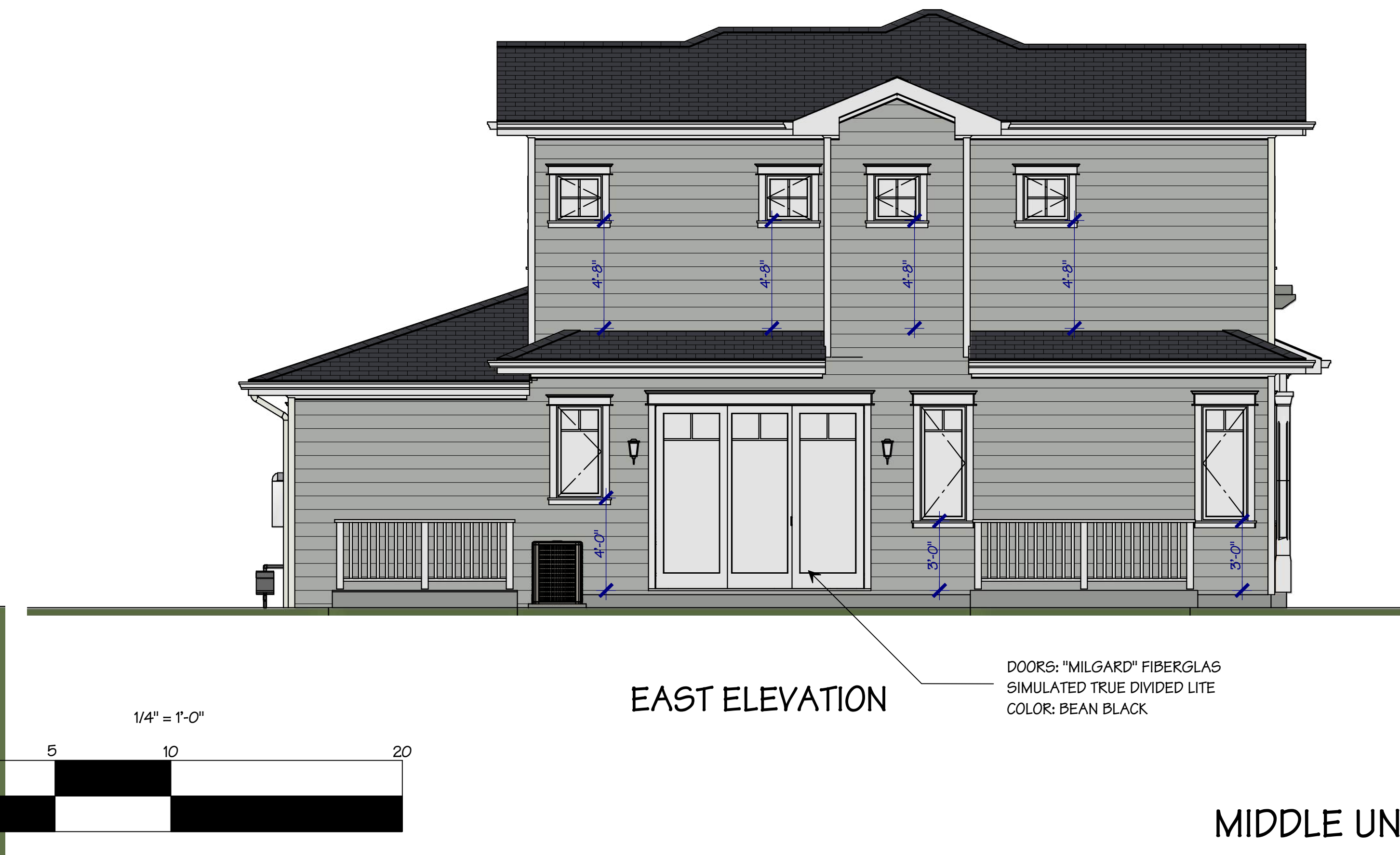


WEST ELEVATION

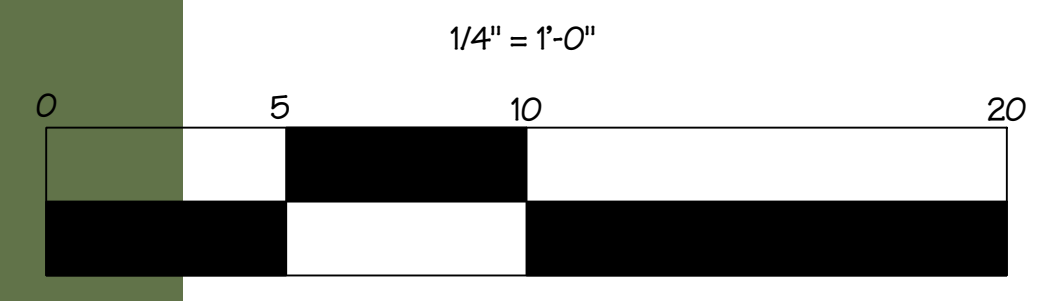
ROOF = COMP SHINGLE, CERTAINTEED, PRESIDENTIAL, 'SHADOW GRAY'
 GABLE & SHUTTERS = KELLY-MOORE, KM4817, 'TRELIGED IVY'
 HARDI-PLANK, KELLY-MOORE, 'SILKY GREEN'
 WINDOW TRIM, COLUMNS, FASCIA, RAILINGS = KELLY-MOORE, KMW49, 'GREAT WHITE'



SOUTH ELEVATION



EAST ELEVATION



REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-18
of	Sheets

MIDDLE UNIT #6

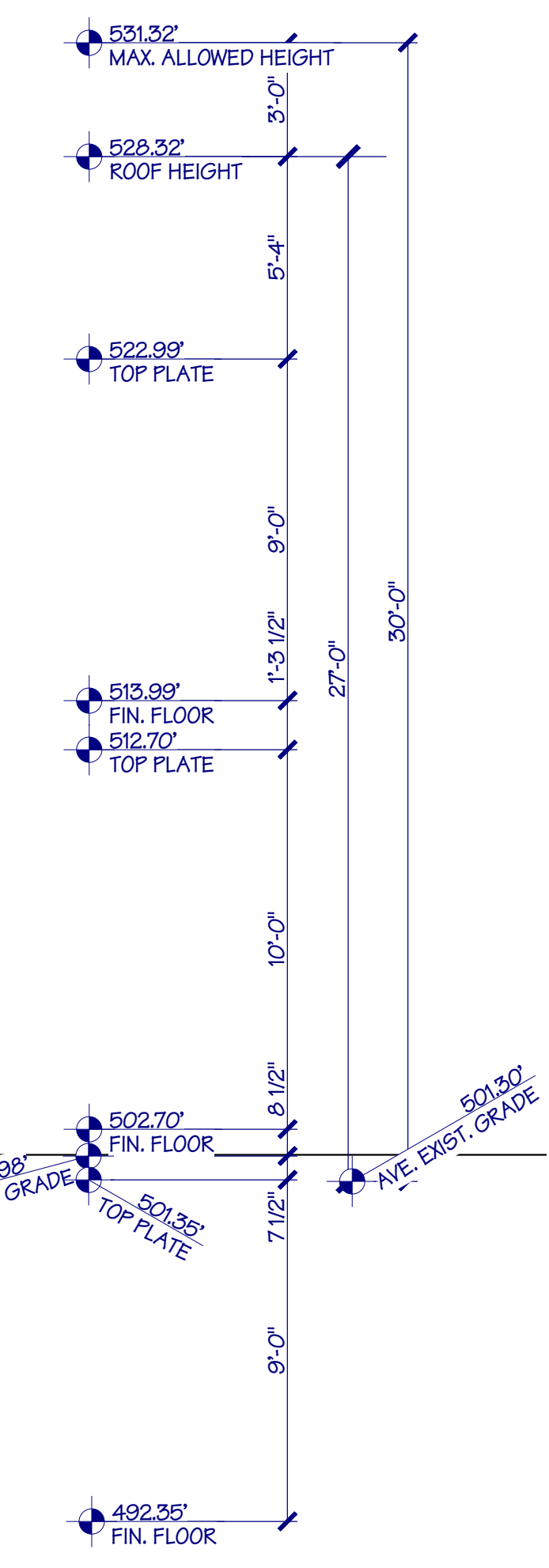
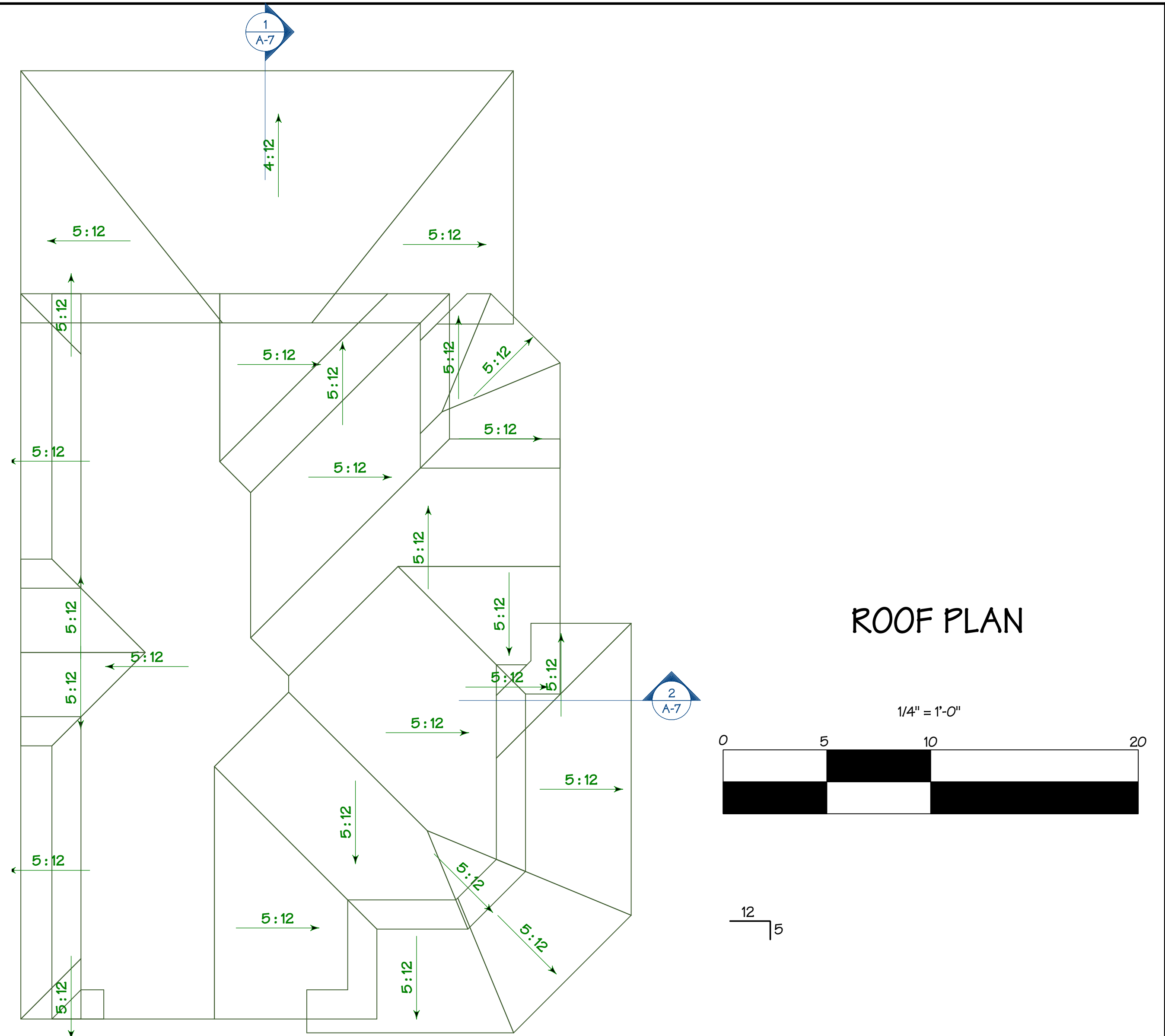
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

HOMETEC
ARCHITECTURE, INC.
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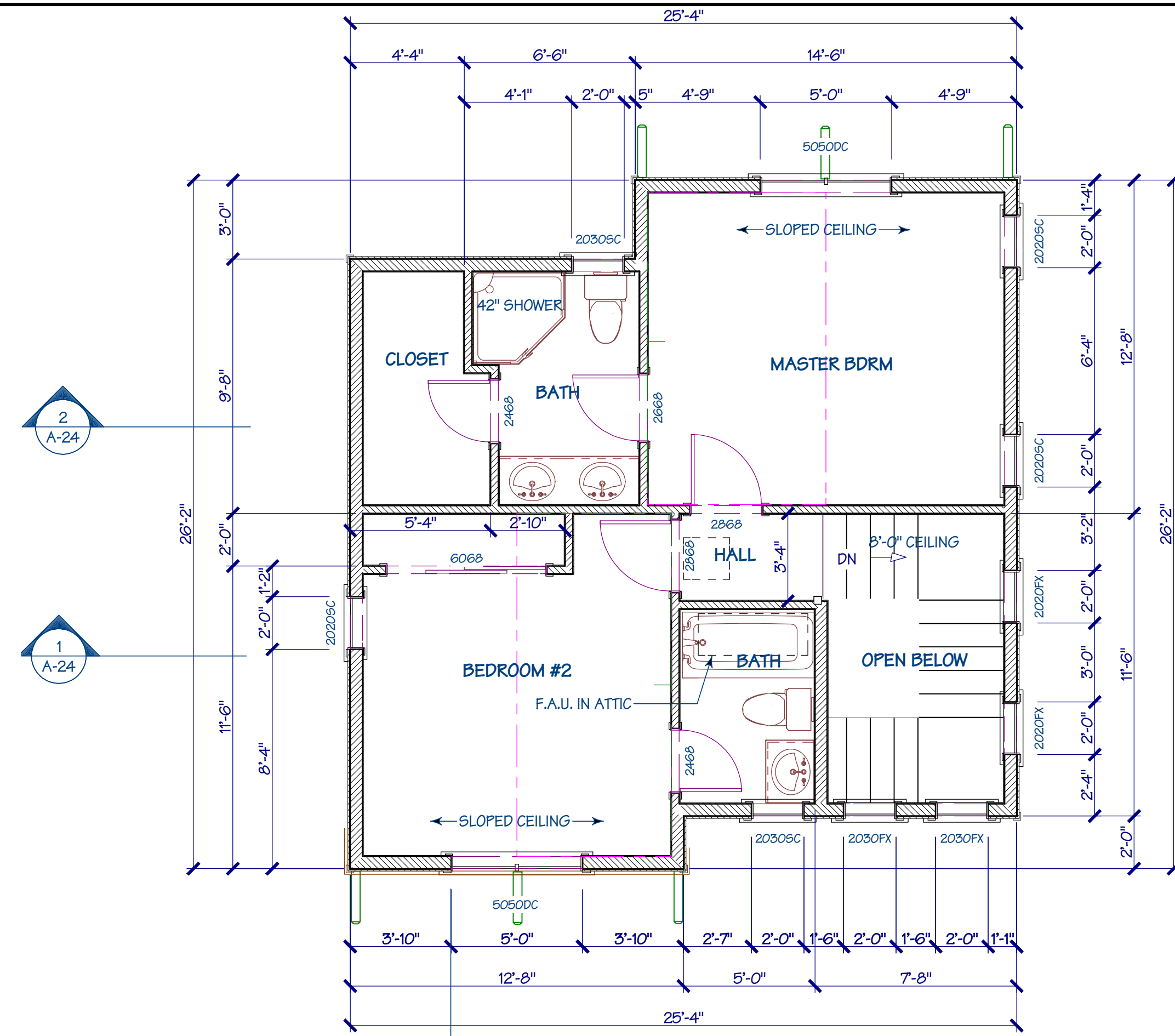
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NEW HOUSES FOR:
GoldSilverland, LLC
661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

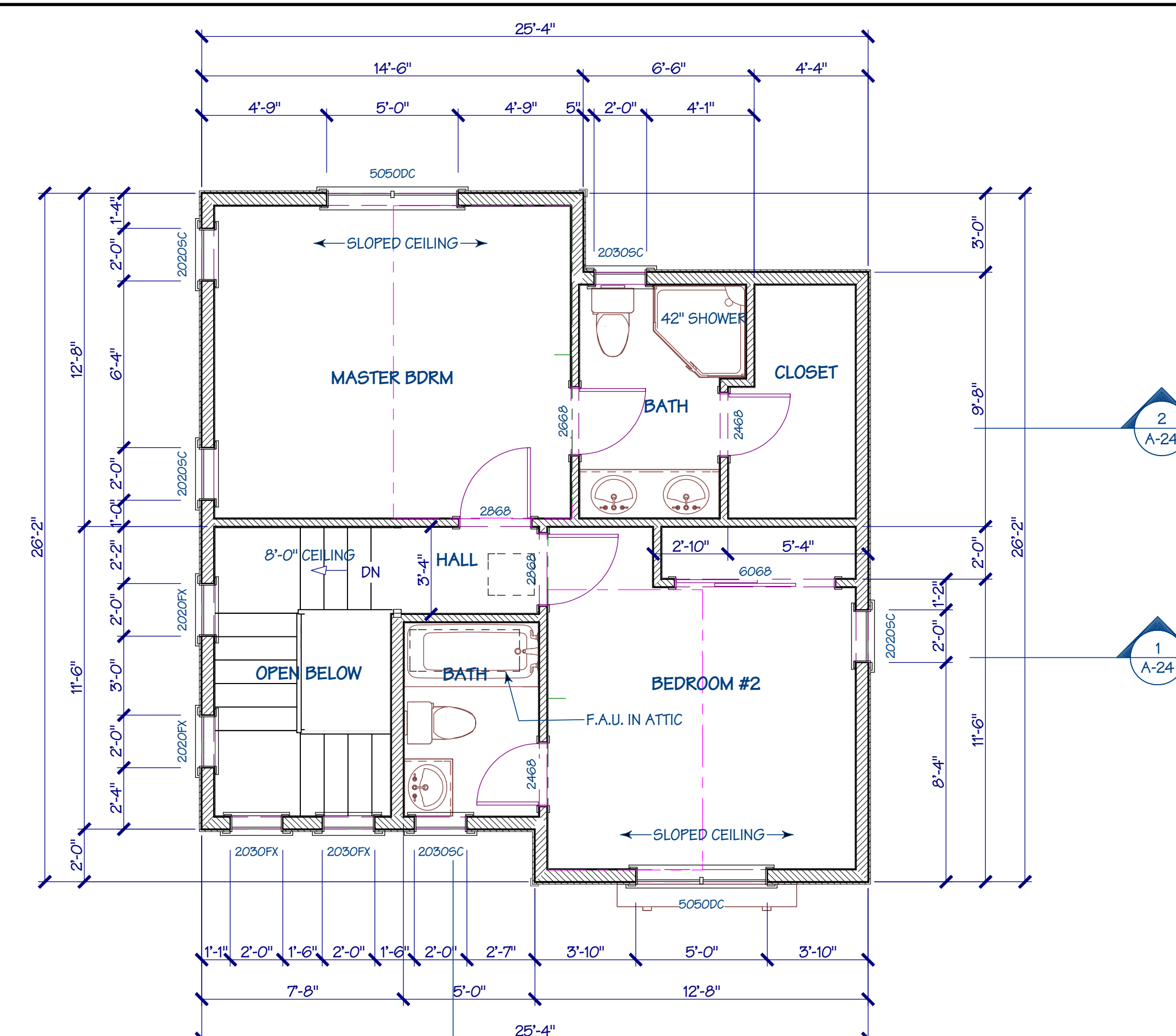
Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet
of **A-19**
Sheets



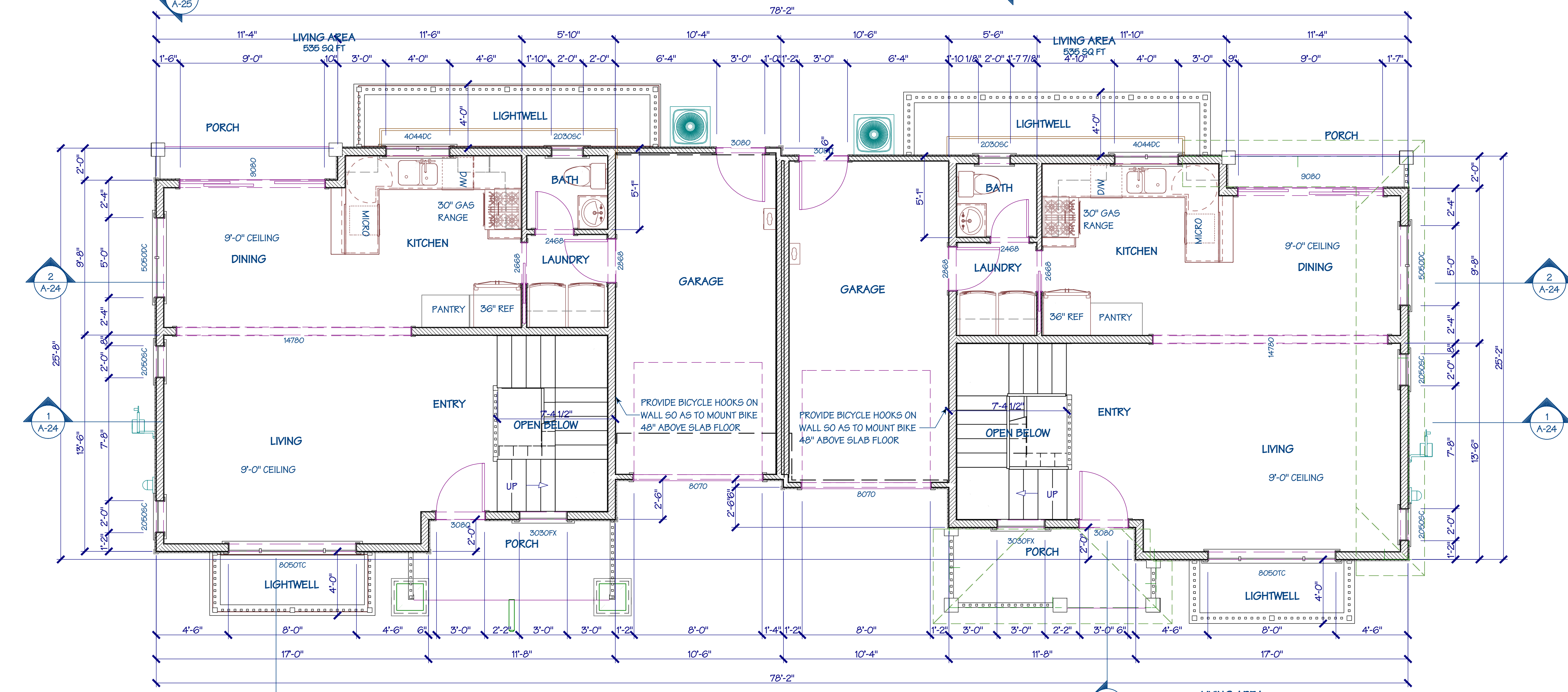
MIDDLE UNIT #6



SECOND FLOOR UNIT #7



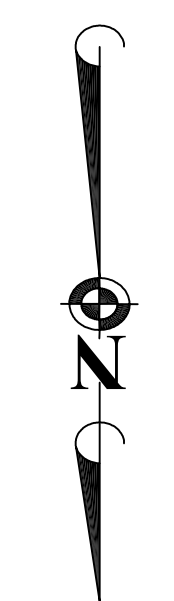
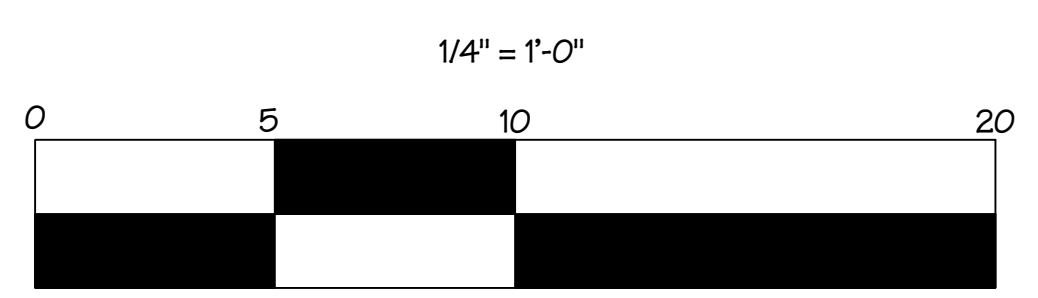
SECOND FLOOR UNIT #8



FIRST FLOOR UNIT #7

FIRST FLOOR UNIT #8

REAR UNIT #7 & #8



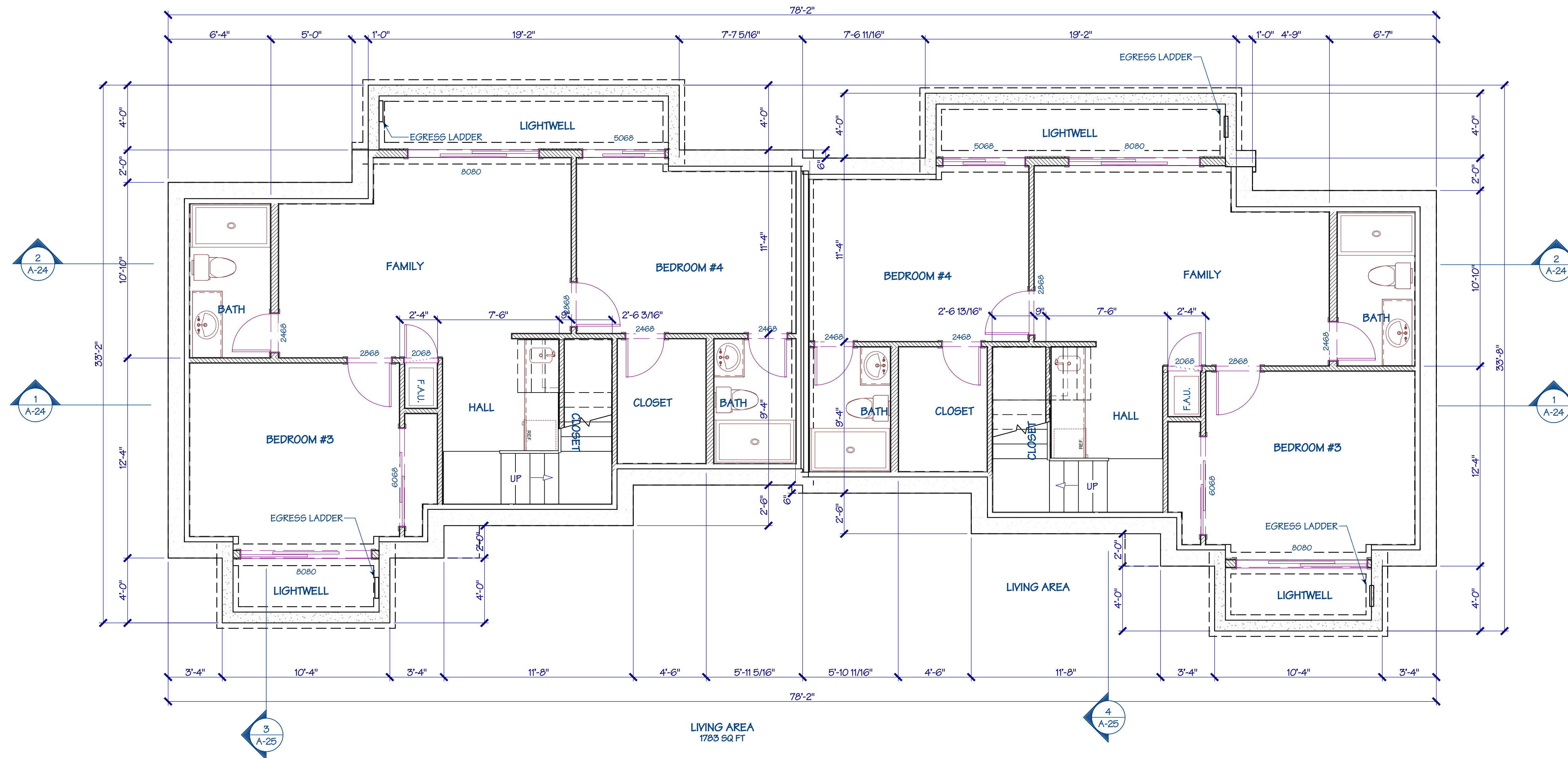
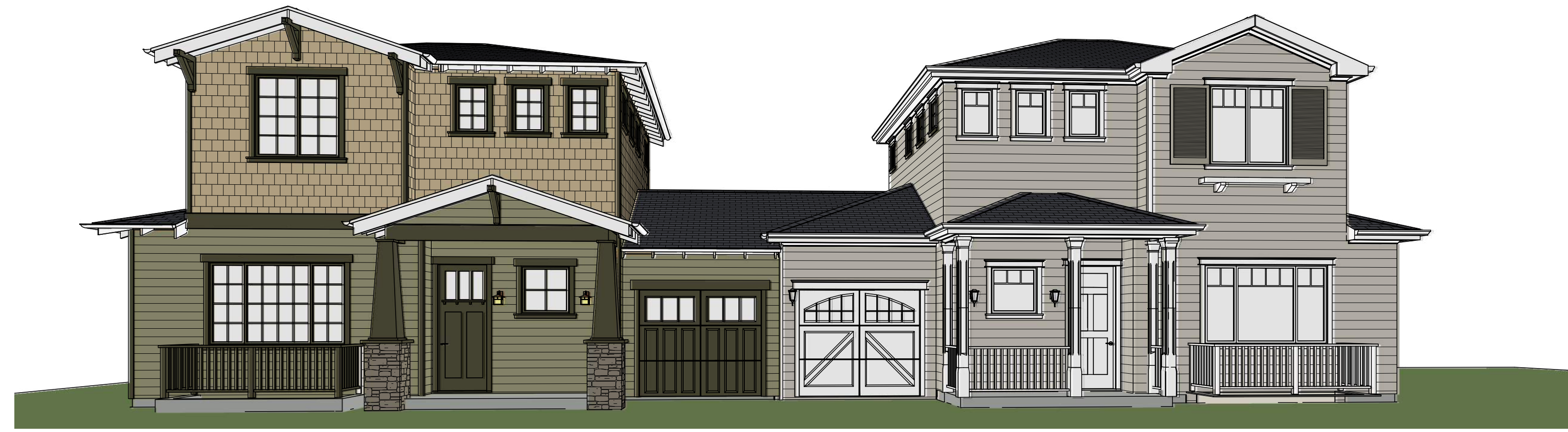
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

HOMETEC
ARCHITECTURE, INC.
555 #B MERIDIAN AVE. SAN JOSE, CA 95126
408.995.1496
HometecArch@gmail.com

RICHARD A. HARTMAN
A.L.A.

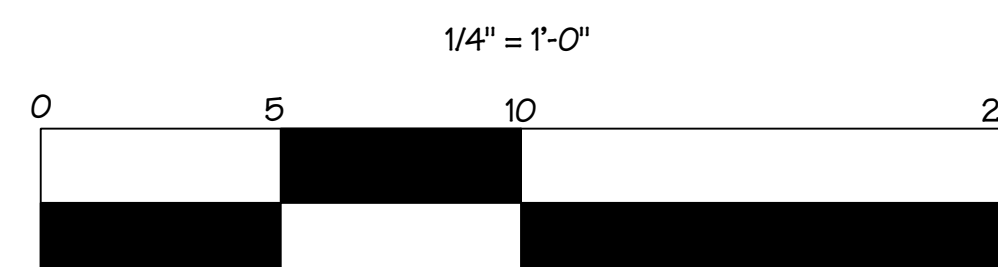
NEW HOUSES FOR:
GoldSilverland, LLC
661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-20
of	Sheets



BASEMENT FLOOR UNIT #7

BASEMENT FLOOR UNIT #8



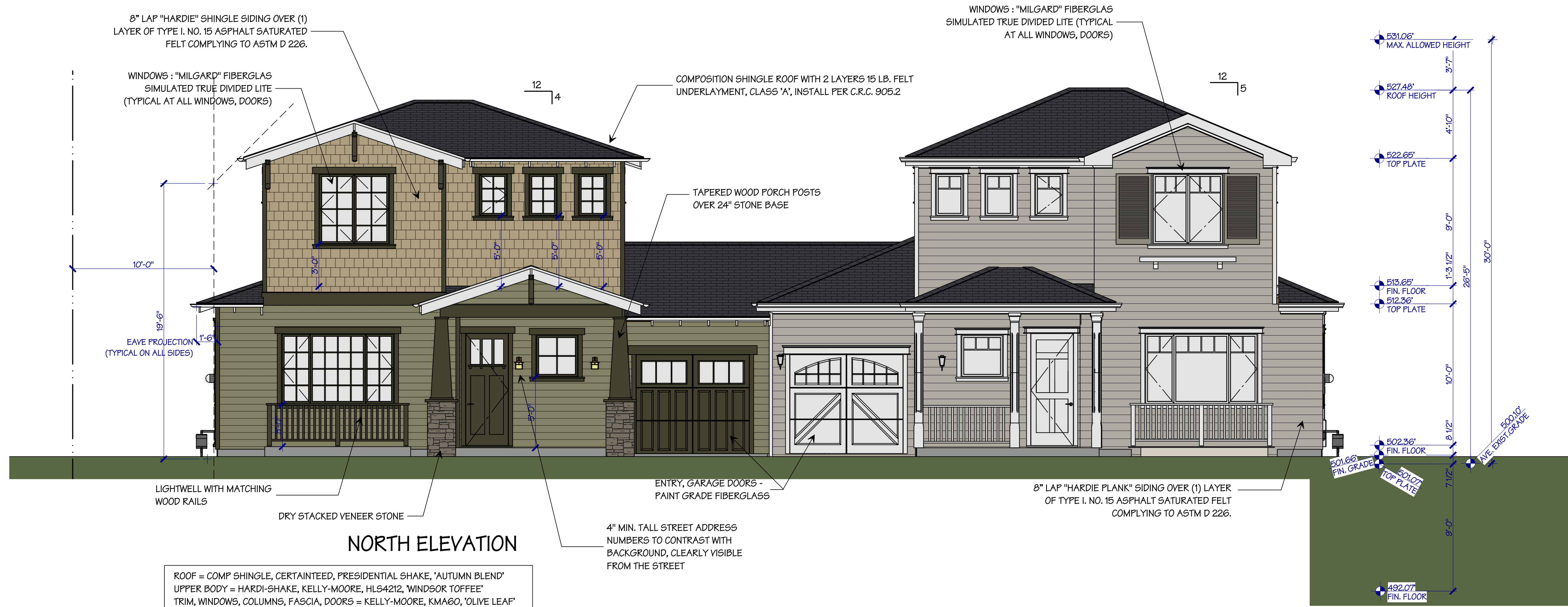
REAR UNIT #7 & #8

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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ARCHITECTURE, INC.
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NEW HOUSES FOR:
GoldSilverIsland, LLC
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Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet
A-21
of Sheets

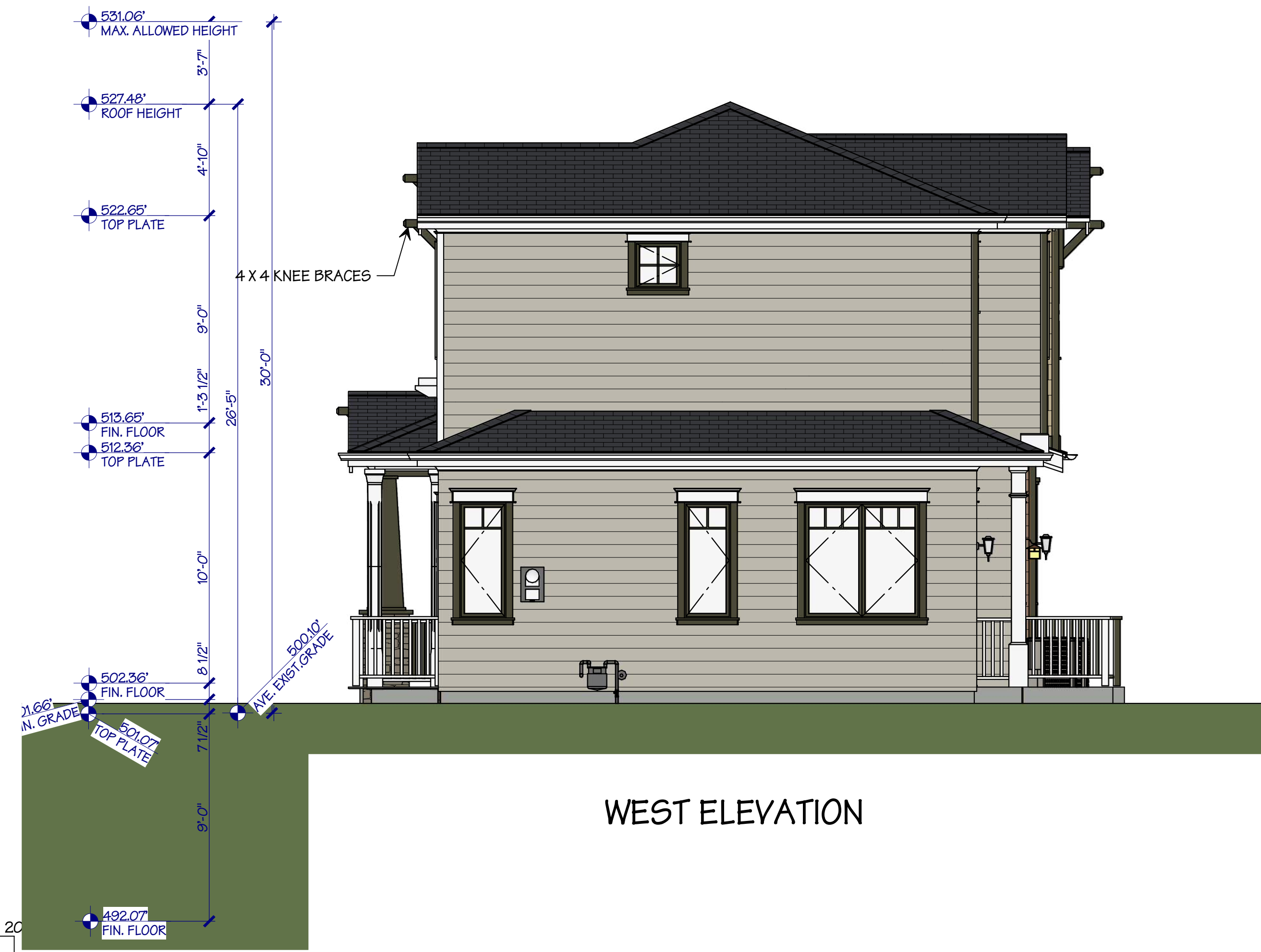
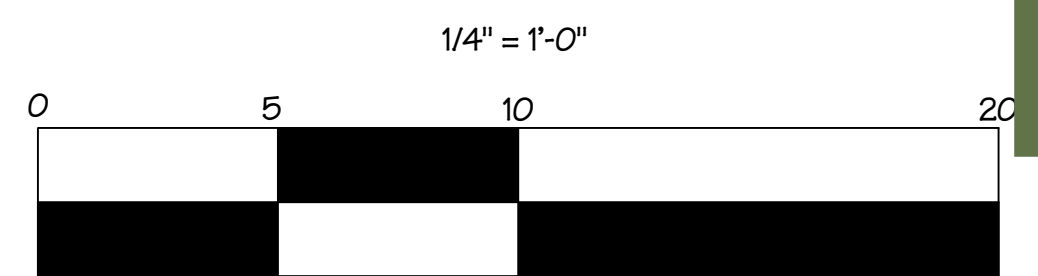


NORTH ELEVATION

ROOF = COMP SHINGLE, CERTAINTED, PRESIDENTIAL SHAKE, 'AUTUMN BLEND'
 UPPER BODY = HARDI-SHAKE, KELLY-MOORE, HLS4212, 'WINDSOR TOFFEE'
 TRIM, WINDOWS, COLUMNS, FASCIA, DOORS = KELLY-MOORE, KMA60, 'OLIVE LEAF'
 HARDI-PLANK, KELLY-MOORE, HLS4253, 'INNESS SAGE'
 STONE = ELDORADO STONE, RUSTIC LEDGE, 'CLEARWATER'



EAST ELEVATION



WEST ELEVATION

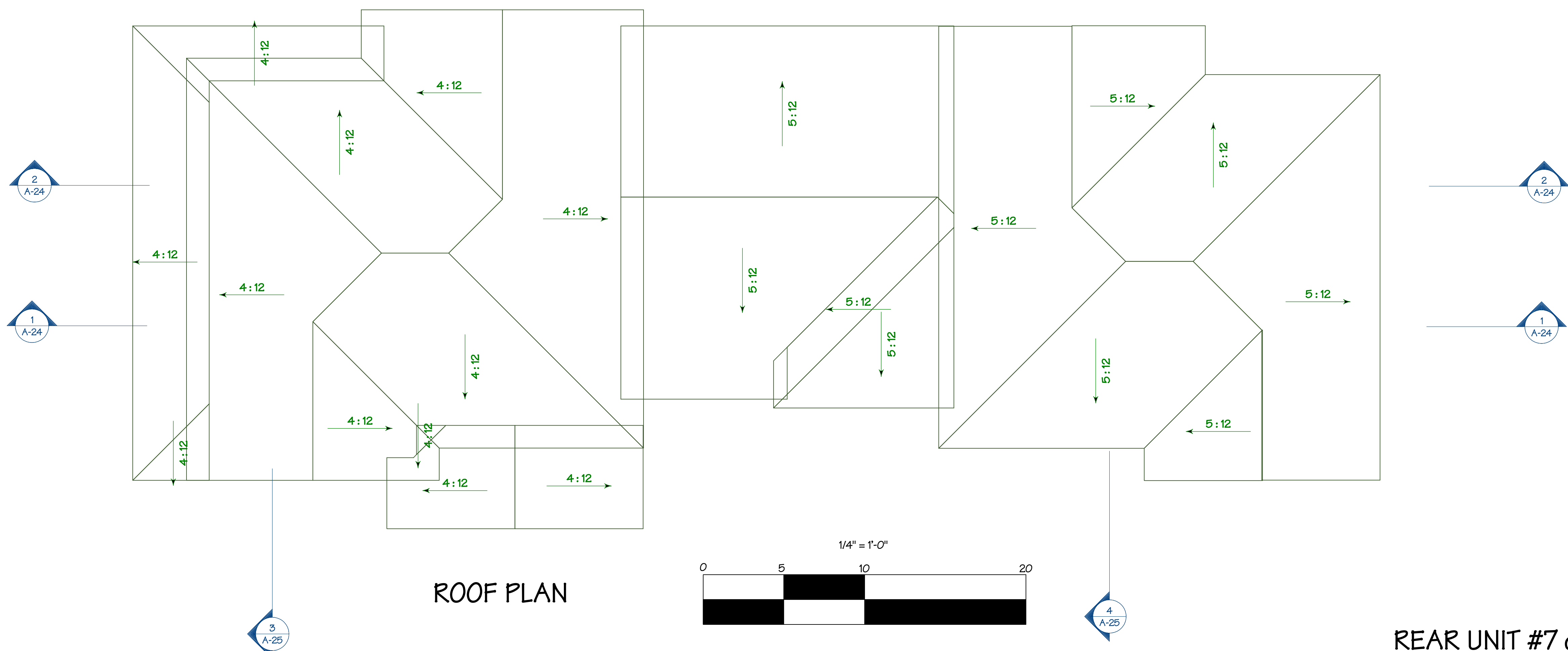
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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 ARCHITECTURE, INC.
 RICHARD A. HARTMAN
 A.L.A.
 488995-JAR96
 HometecArch@gmail.com
 555 #B MERIDIAN AVE. SAN JOSE, CA 95126

NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-22
of	Sheets

REAR UNIT #7 & #8



ROOF PLAN

REAR UNIT #7 & #8

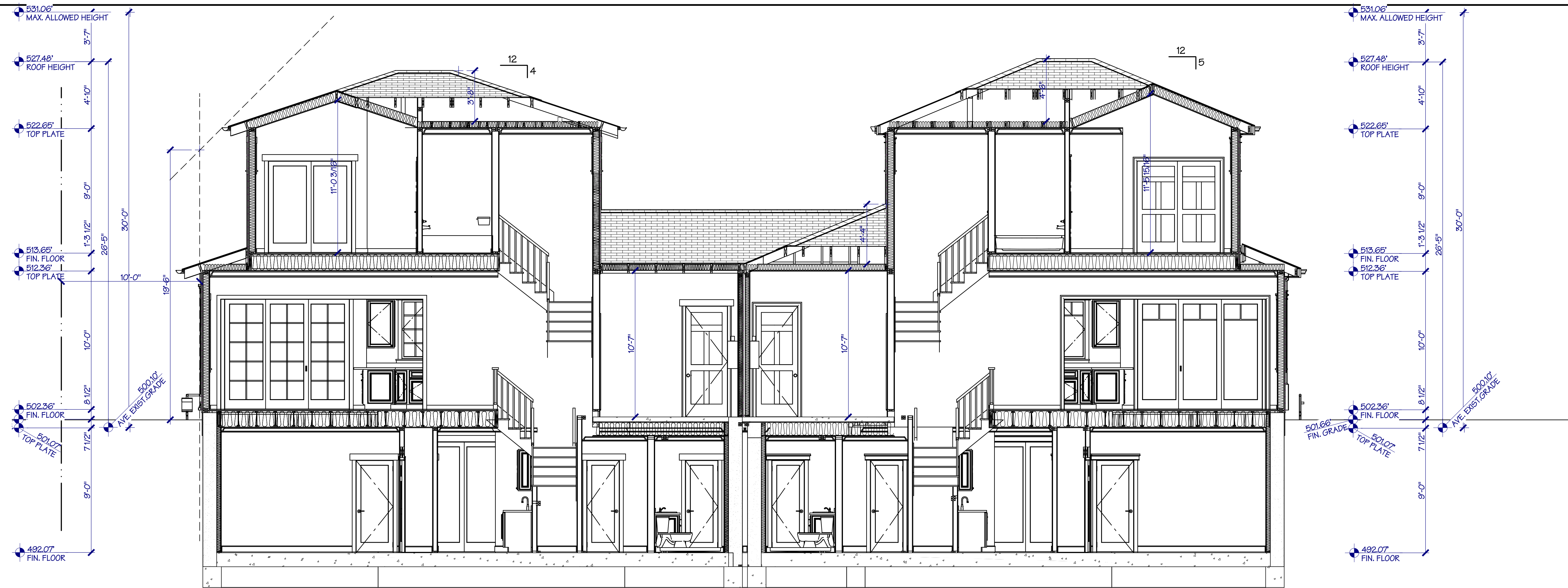
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PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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ARCHITECTURE, INC.
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408.995.1496
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NEW HOUSES FOR:
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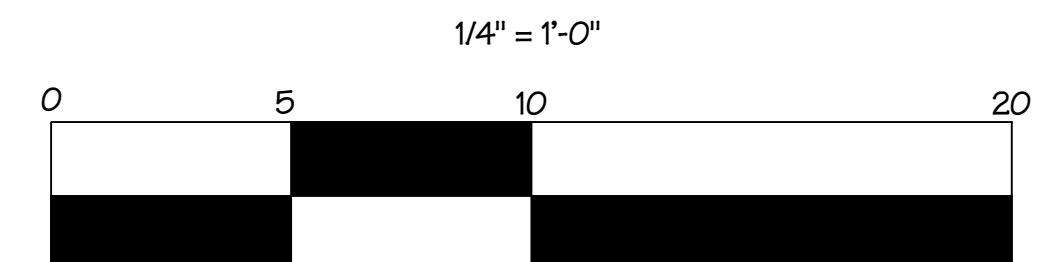
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Drawn	RAH
Job	19-002
Sheet	A-23
of	Sheets



1 SECTION



2 SECTION



REAR UNIT #7 & #8

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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HometecArch@gmail.com

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Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet
A-24
of Sheets

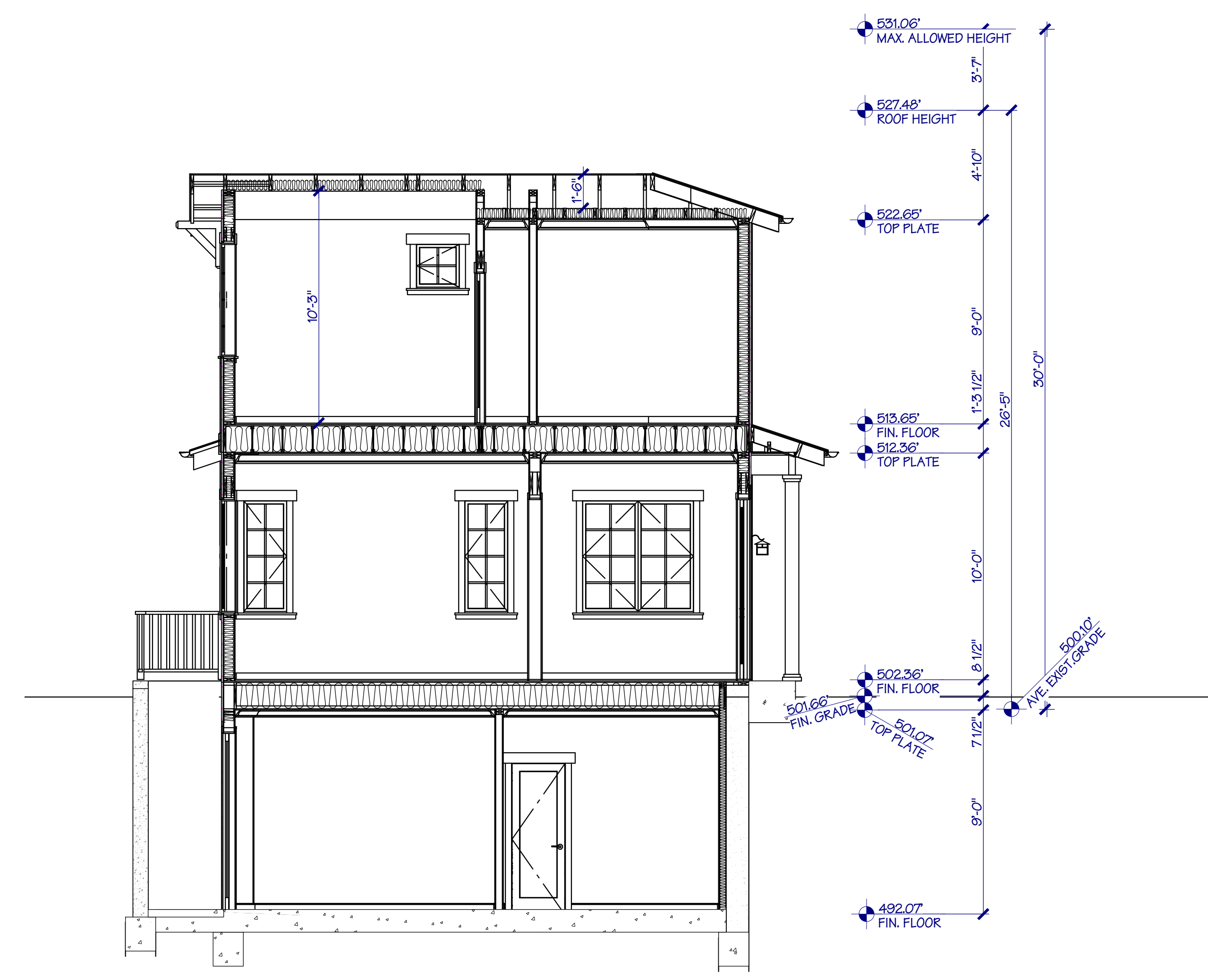
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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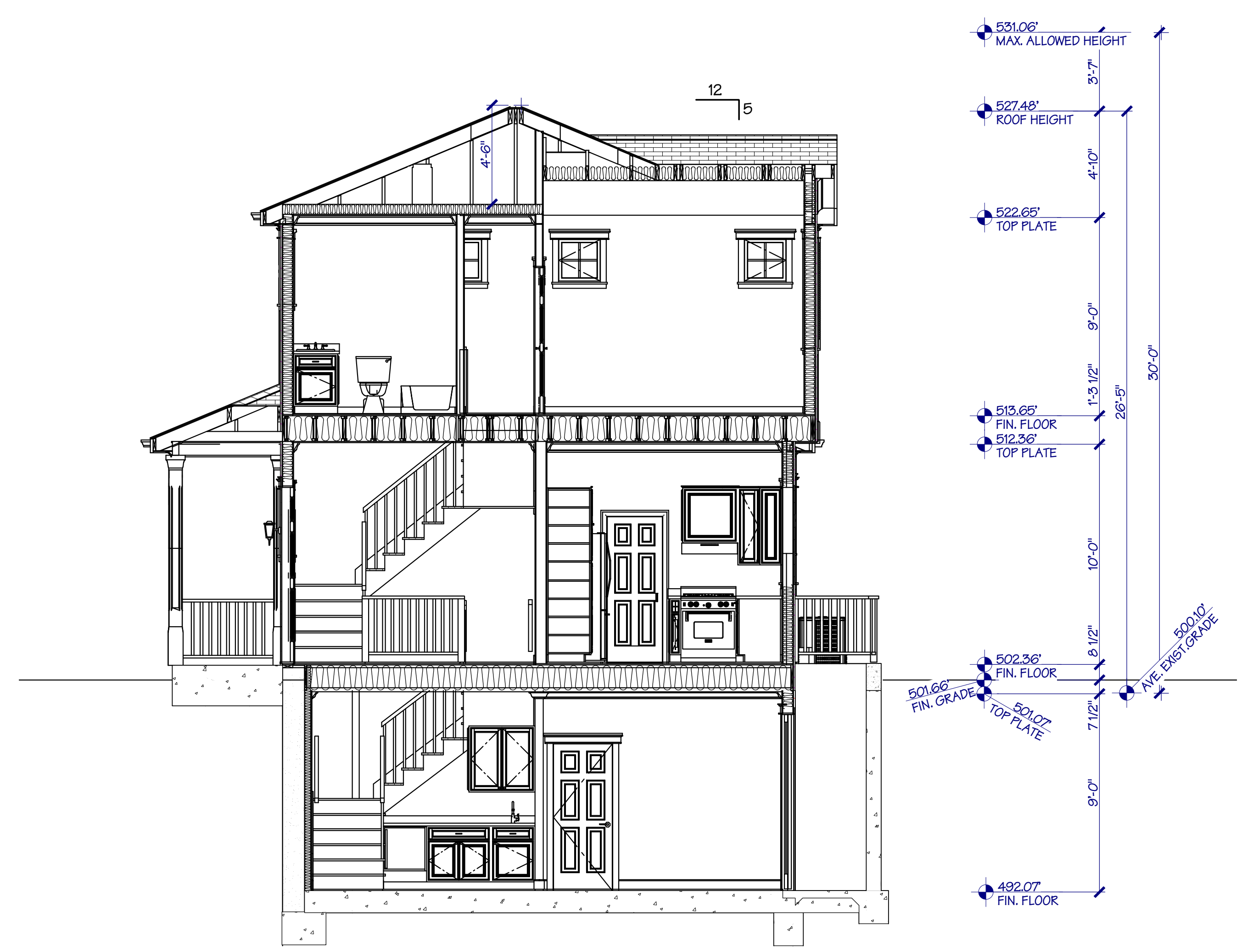
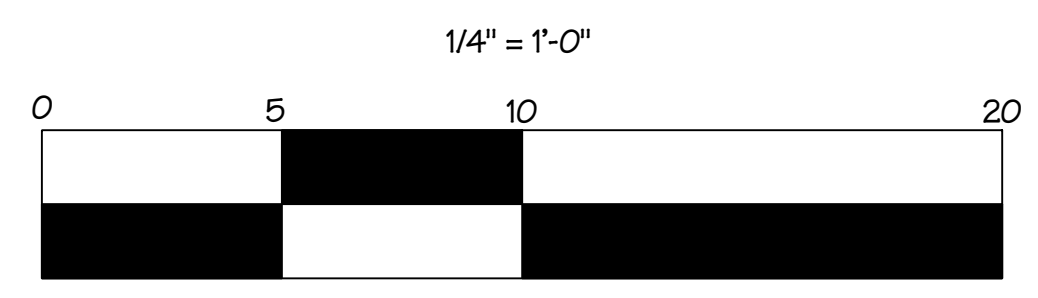
RICHARD A. HARTMAN
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HometecArch@gmail.com

NEW HOUSES FOR:
GoldSilverland, LLC
661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet
A-25
of Sheets

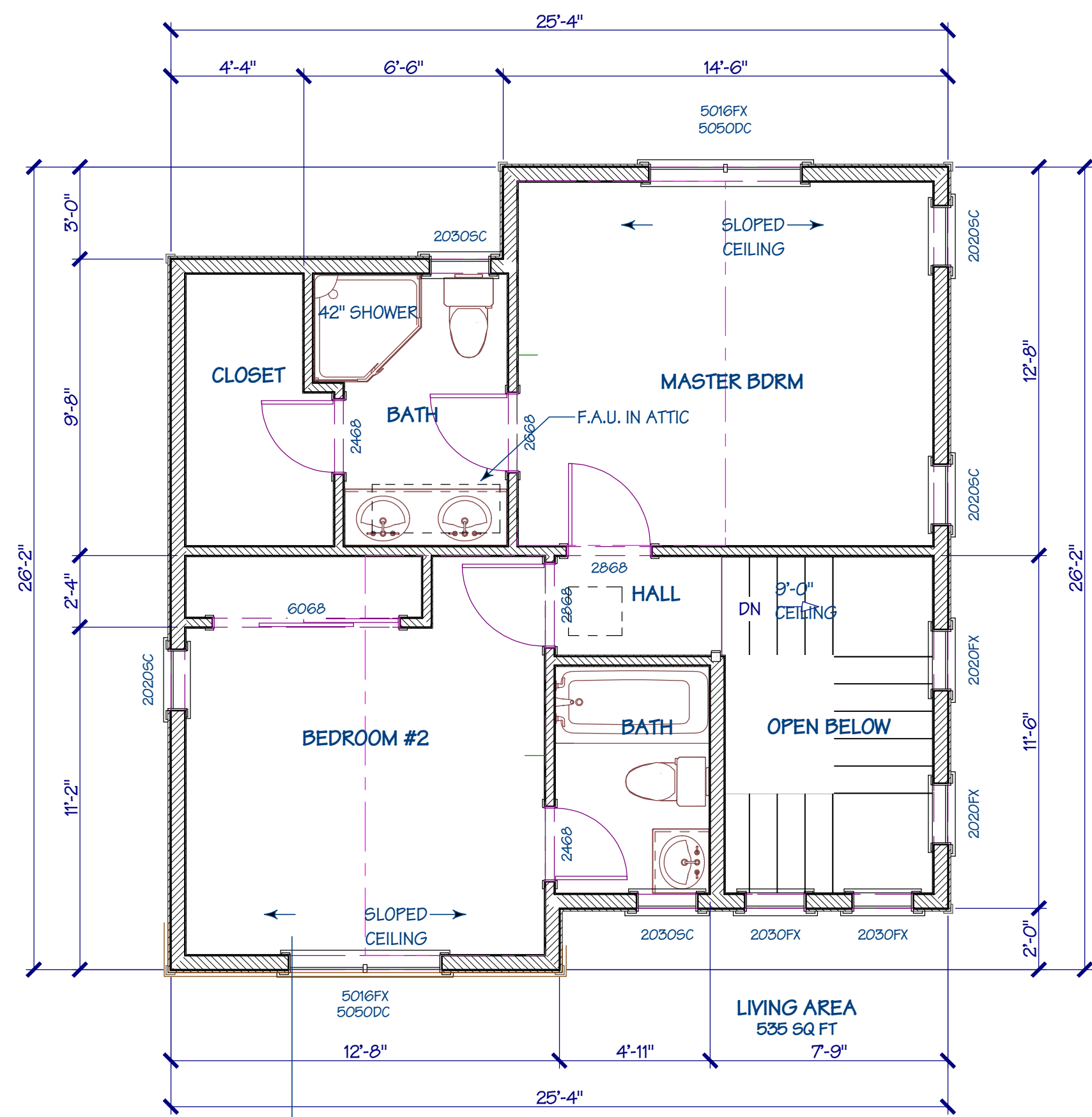


3 SECTION

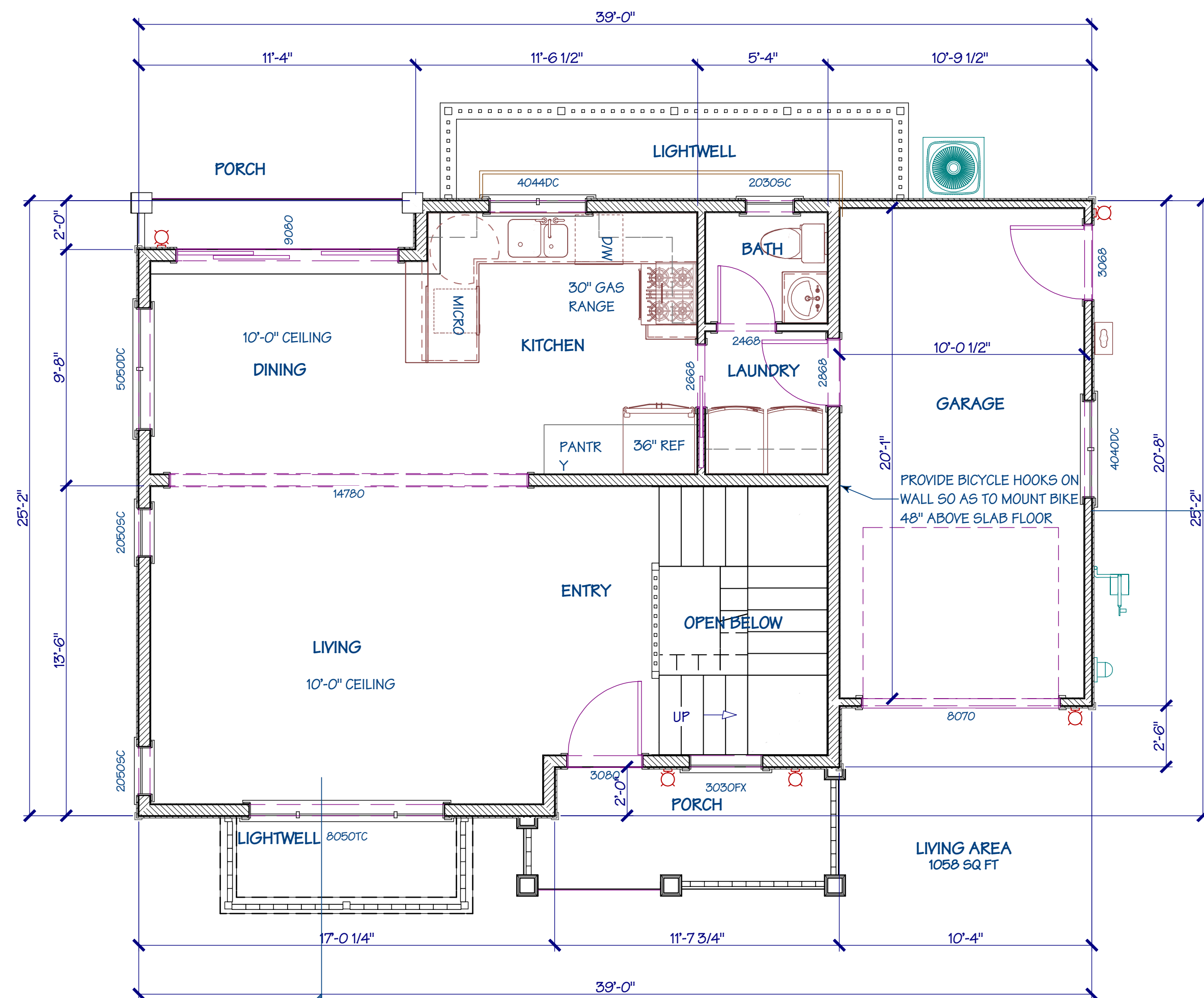


4 SECTION

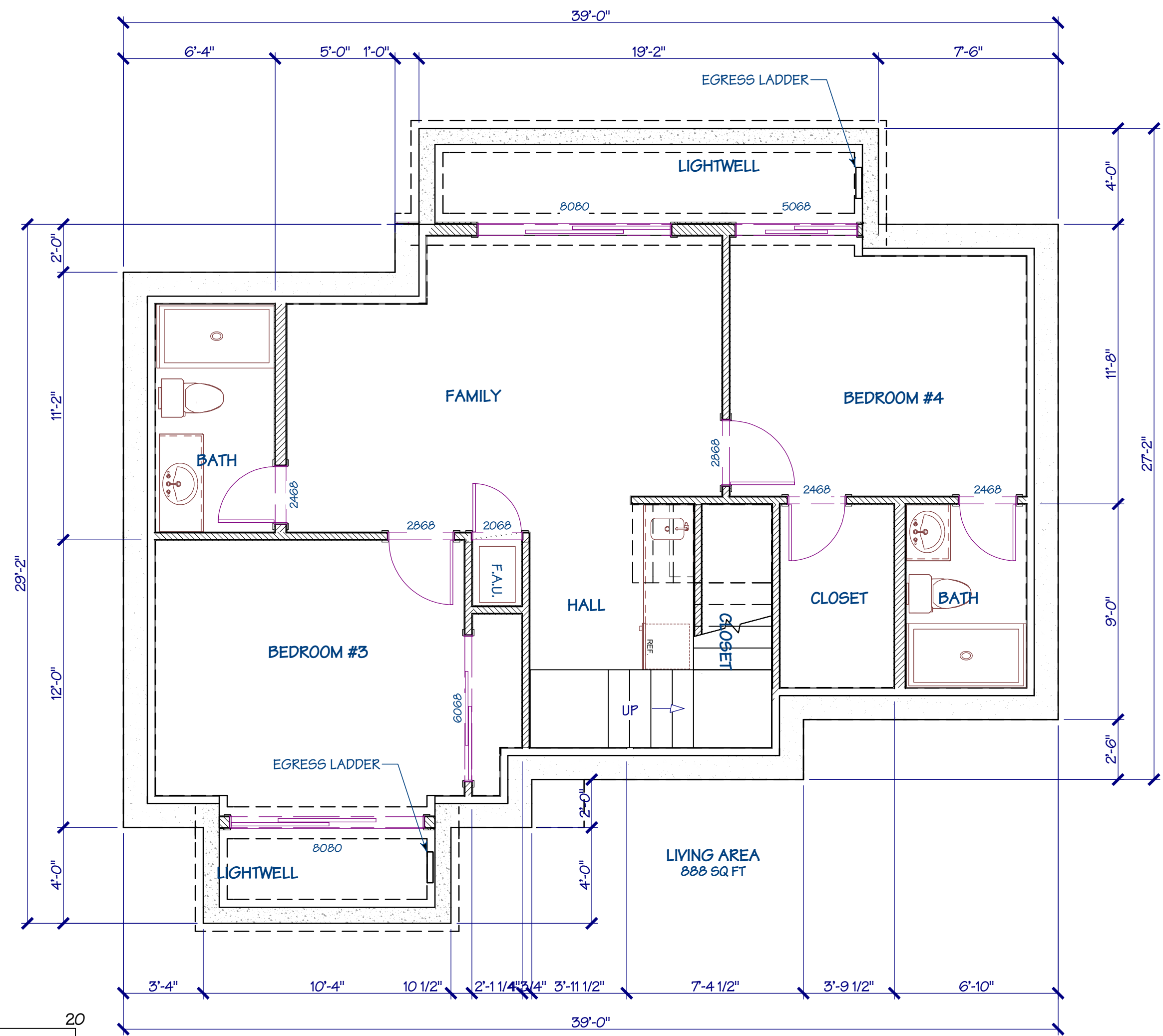
REAR UNIT #7 & #8



SECOND FLOOR

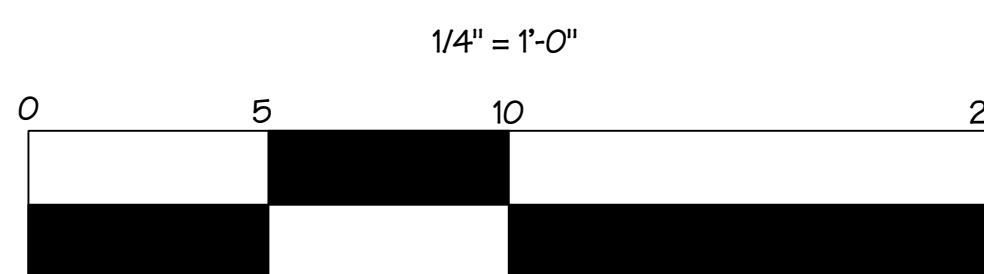


FIRST FLOOR



BASEMENT FLOOR

REAR UNIT #9



REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

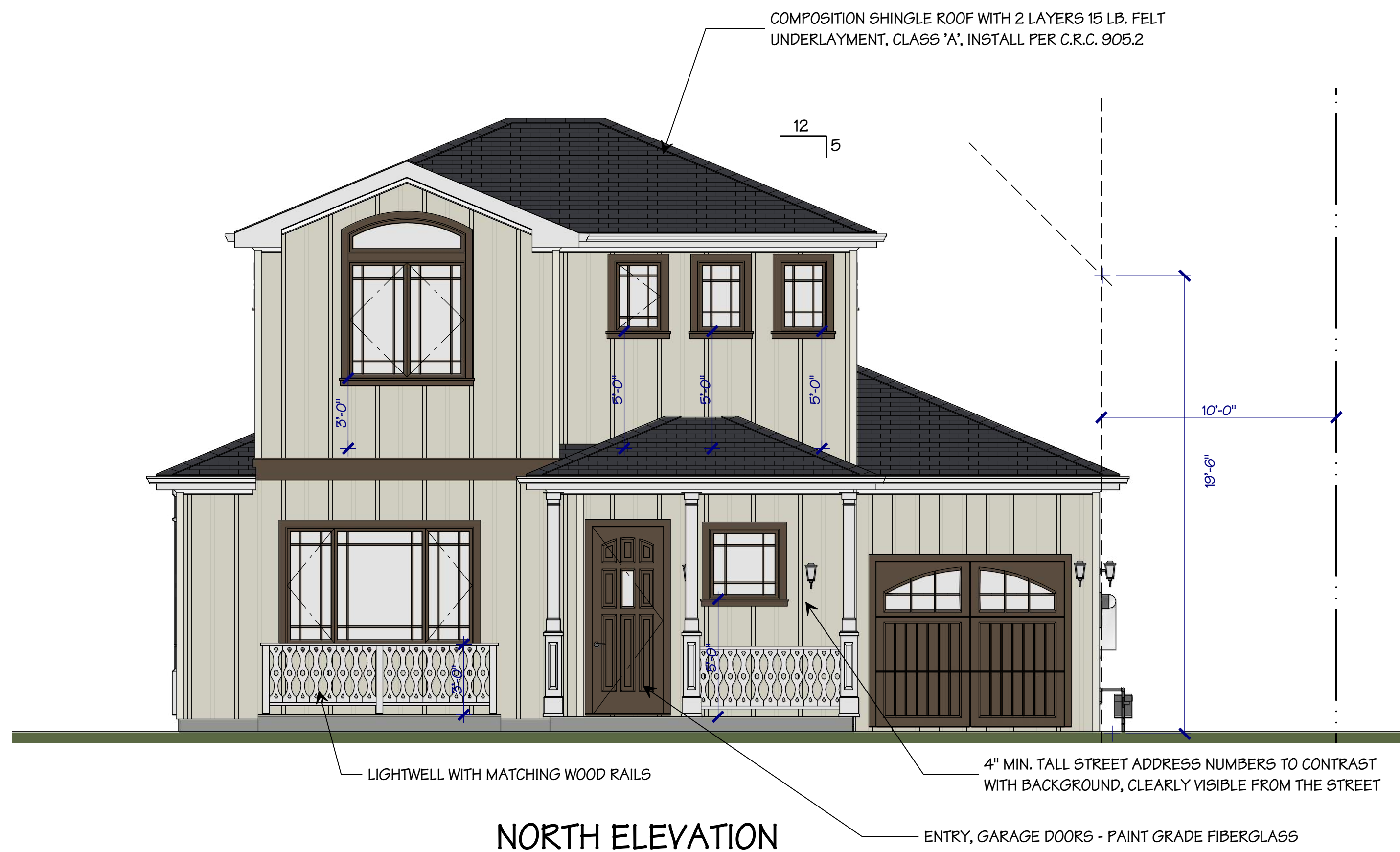
HOMETEC
ARCHITECTURE, INC.
555 #B MERIDIAN AVE. SAN JOSE, CA 95126
408.995.1496
HometecArch@gmail.com

RICHARD A. HARTMAN
A.L.A.
408.995.1496
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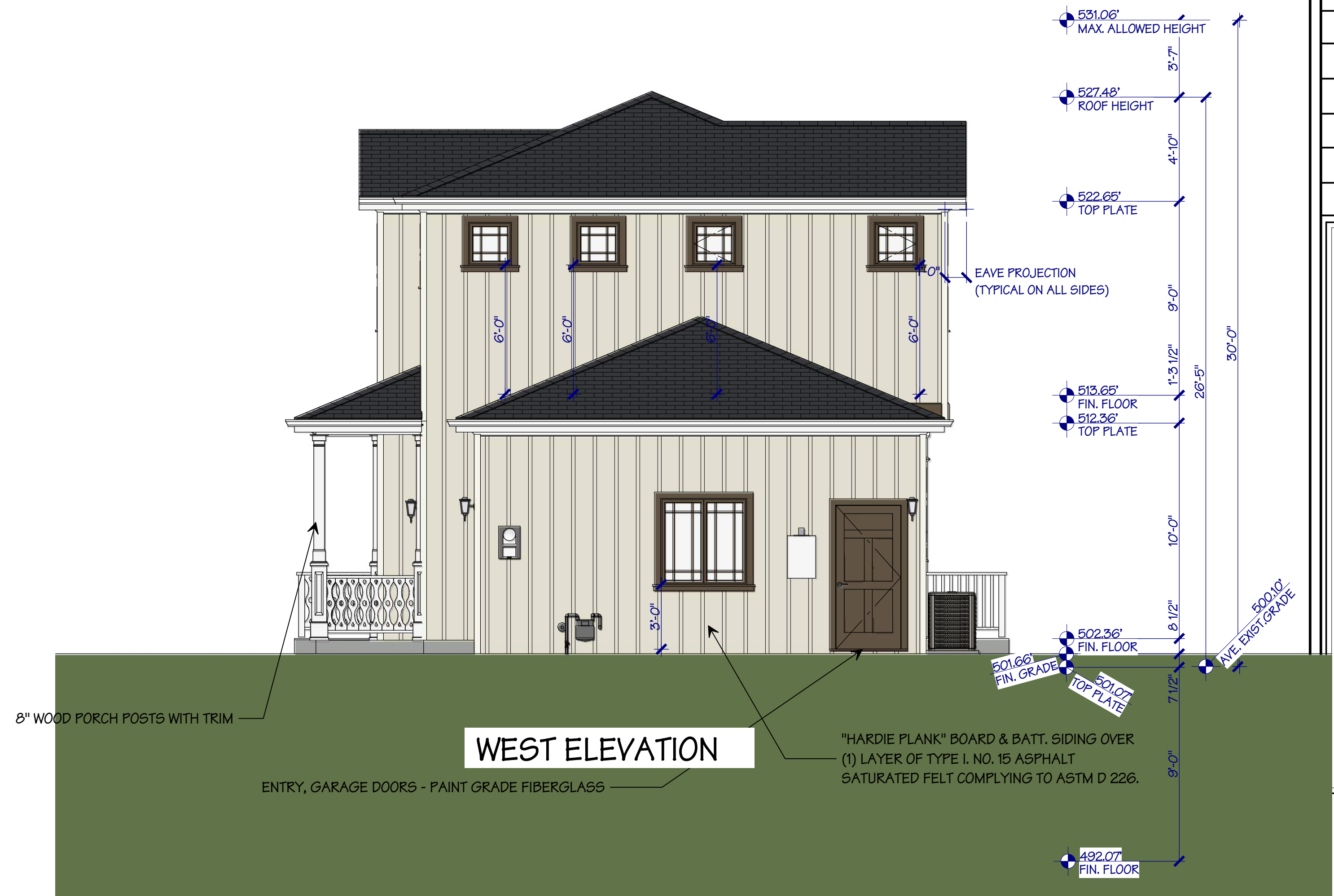
NEW HOUSES FOR:
GoldSilverIsland, LLC
661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet

A-26
of Sheets



NORTH ELEVATION



WEST ELEVATION

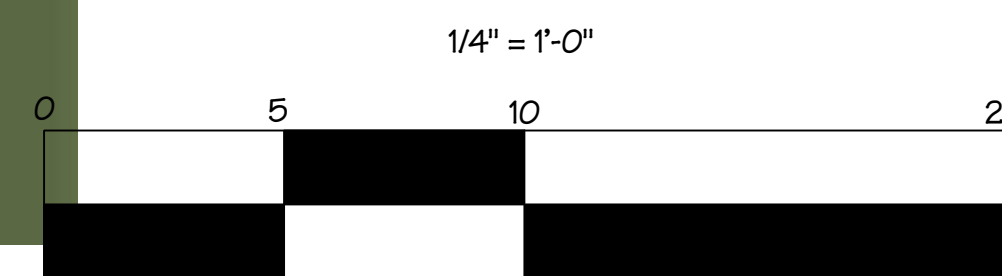
ROOF = COMP SHINGLE, CERTAINTED, PRESIDENTIAL, 'SHADOW GRAY'
 HARDI-PLANK = KELLY-MOORE, KM4569, 'CLEAR SAND'
 WINDOW TRIM, FASCIA, DOORS = KELLY-MOORE, KM4575, 'MUD ROOM'
 PORCH COLUMNS, RAILS = KELLY-MOORE, KMW53, 'DAZZLE ME'



SOUTH ELEVATION



EAST ELEVATION



REAR UNIT #9

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

HOMETEC
 ARCHITECTURE, INC.
 RICHARD A. HARTMAN
 A.L.A.
 488.995.1496
 HomeArch@aol.com
 555 #B MERIDIAN AVE. SAN JOSE, CA 95126

NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

Date 12-19-19
 Scale 1/4" = 1'-0"
 Drawn RAH
 Job 19-002
 Sheet
A-27
 of Sheets

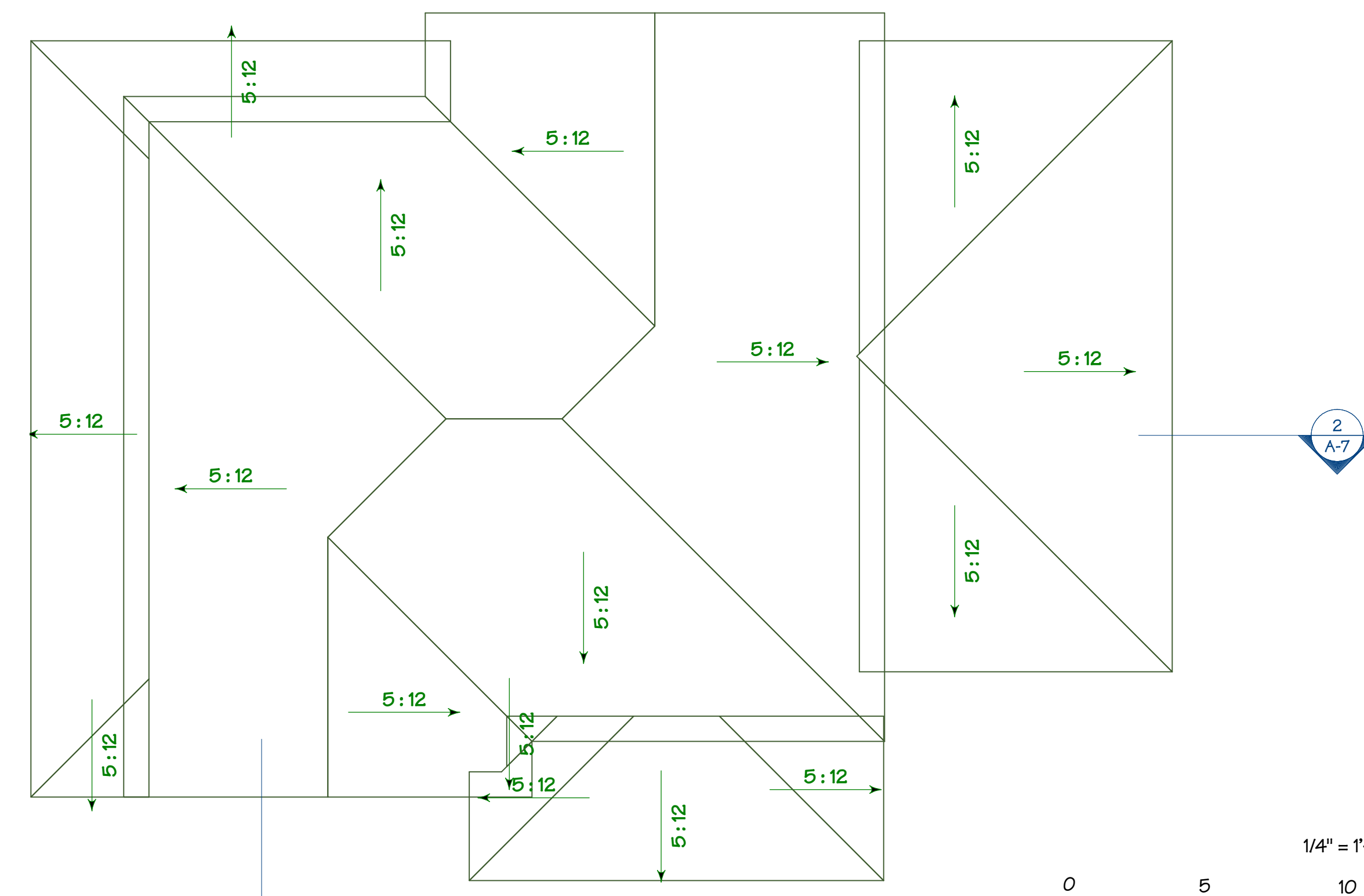
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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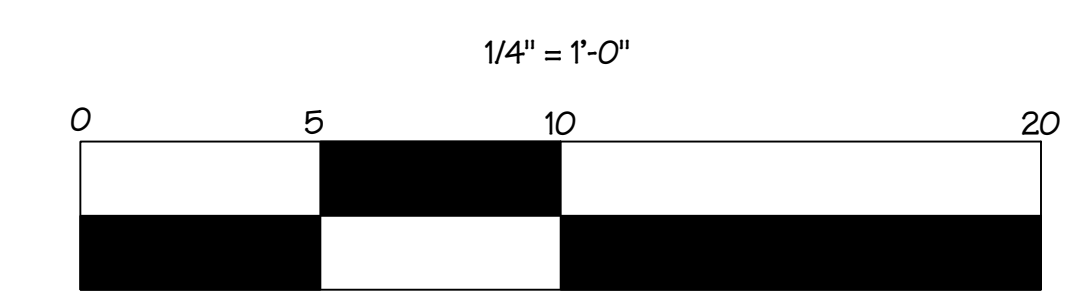
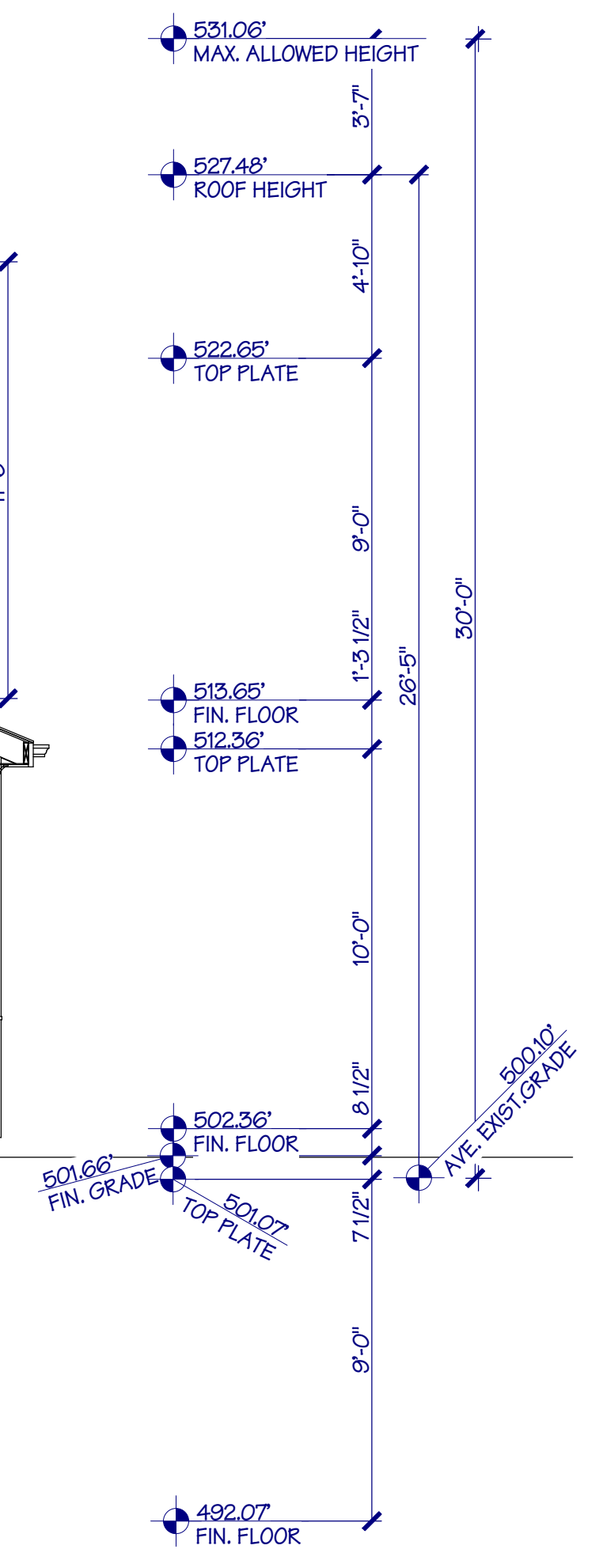
Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet
A-28
of Sheets



ROOF PLAN



1 SECTION



2 SECTION

REAR UNIT #9

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

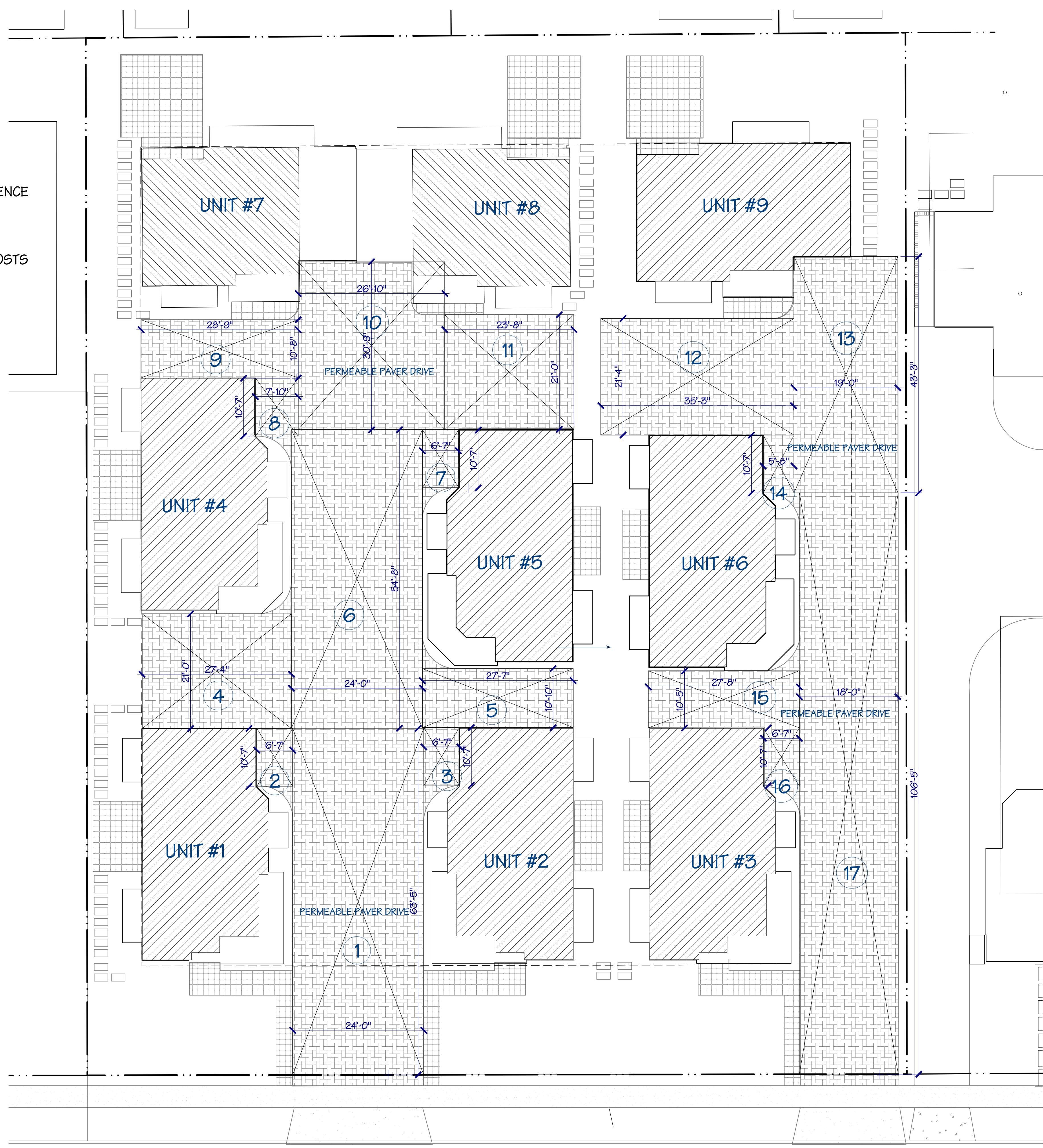
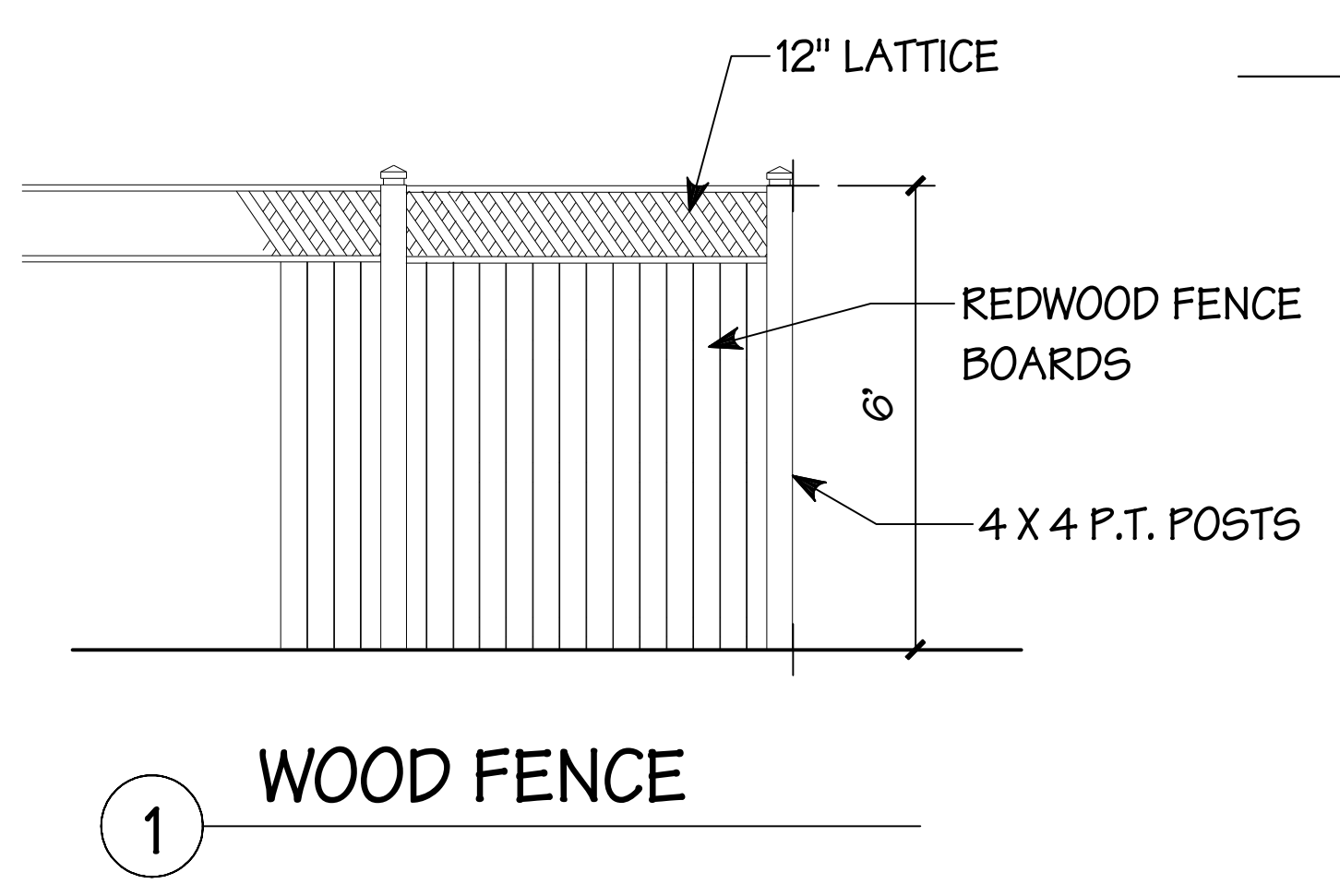
HOMETEC
ARCHITECTURE, INC.

RICHARD A. HARTMAN
A.L.A.
488996-1496
HometecArch@gmail.com

555 #B MERIDIAN AVE. SAN JOSE, CA 95126

NEW HOUSES FOR:
GoldSilverIsland, LLC
661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-29
of	Sheets



PARTRIDGE AVE.

DRIVEWAY & PARKING COVERAGE

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
1	24.00	63.41	1521.84	0.00	1521.84
2	6.58	10.58	69.62	0.00	69.62
3	6.58	10.58	69.62	0.00	69.62
4	27.33	21.00	573.93	0.00	573.93
5	27.58	10.83	298.69	0.00	298.69
6	24.00	54.66	1311.84	0.00	1311.84
7	6.58	10.58	69.62	0.00	69.62
8	7.83	10.58	82.84	0.00	82.84
9	28.75	10.66	306.48	0.00	306.48
10	26.83	30.75	825.02	0.00	825.02
11	23.66	21.00	496.86	0.00	496.86
12	35.25	21.33	751.88	0.00	751.88
13	19.00	43.25	821.75	0.00	821.75
14	5.66	10.58	59.88	0.00	59.88
15	27.66	10.41	287.94	0.00	287.94
16	6.58	10.58	69.62	0.00	69.62
17	18.00	106.41	1915.38	0.00	1915.38
CORNERS	9.32	10.00	93.20	0.00	93.20
			0.00	0.00	0.00
			0.00	0.00	0.00
GRAND TOTAL					9626.00

PERMEABLE PAVES AT 50% = 4,813 S.F.

BUILDING COVERAGE:
FRONT UNITS = 890.18 X 3 = 2,670.54
MIDDLE UNITS = 890.18 X 3 = 2,670.54
REAR UNITS = 888.52 X 3 = 2,665.56
PORCHES = 861.18
TOTAL = 8,867.82 S.F. (31.0%)

LOT COVERAGE:
LOT SIZE = 28,534 (100%)
BUILDINGS = 8,867 (31.2%)
DRIVEWAYS = 9,626 (33.7%) @ 50% = 4,813 (16.9%)
LANDSCAPE = 10,041 (35.1%) + 4,813 = 14,854 (51.9%)

BUILDINGS + DRIVEWAYS - LOT SIZE = LANDSCAPE

LOT COV. ALLOWED: 28,534 x .35 = 9,986.8 S.F.
PROPOSED: 8,867 = 31.2%

SITE AREA CALCULATIONS



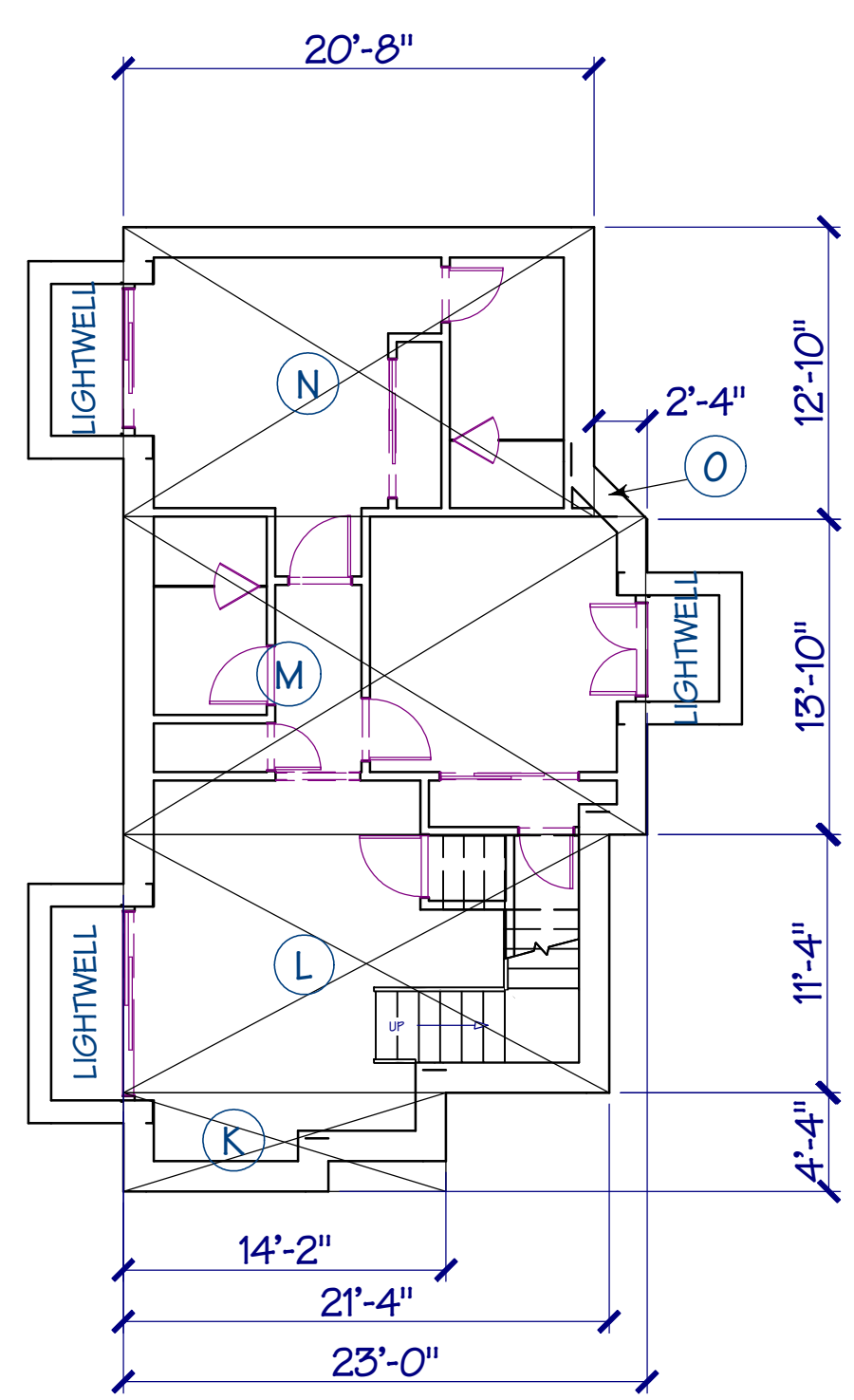
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet
A-30
of Sheets



BASEMENT FLOOR

BASEMENT FLOOR FAL CALCULATION - FRONT

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
K	14.16	4.33	61.31		61.31
L	21.33	11.33	241.67	0.00	241.67
M	23.00	13.91	319.93	0.00	319.93
N	20.66	12.75	263.42	0.00	263.42
O	2.25	2.25	5.06	2.53	2.53
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
GRAND TOTAL					888.86

1st FLOOR FAL CALCULATION-FRONT

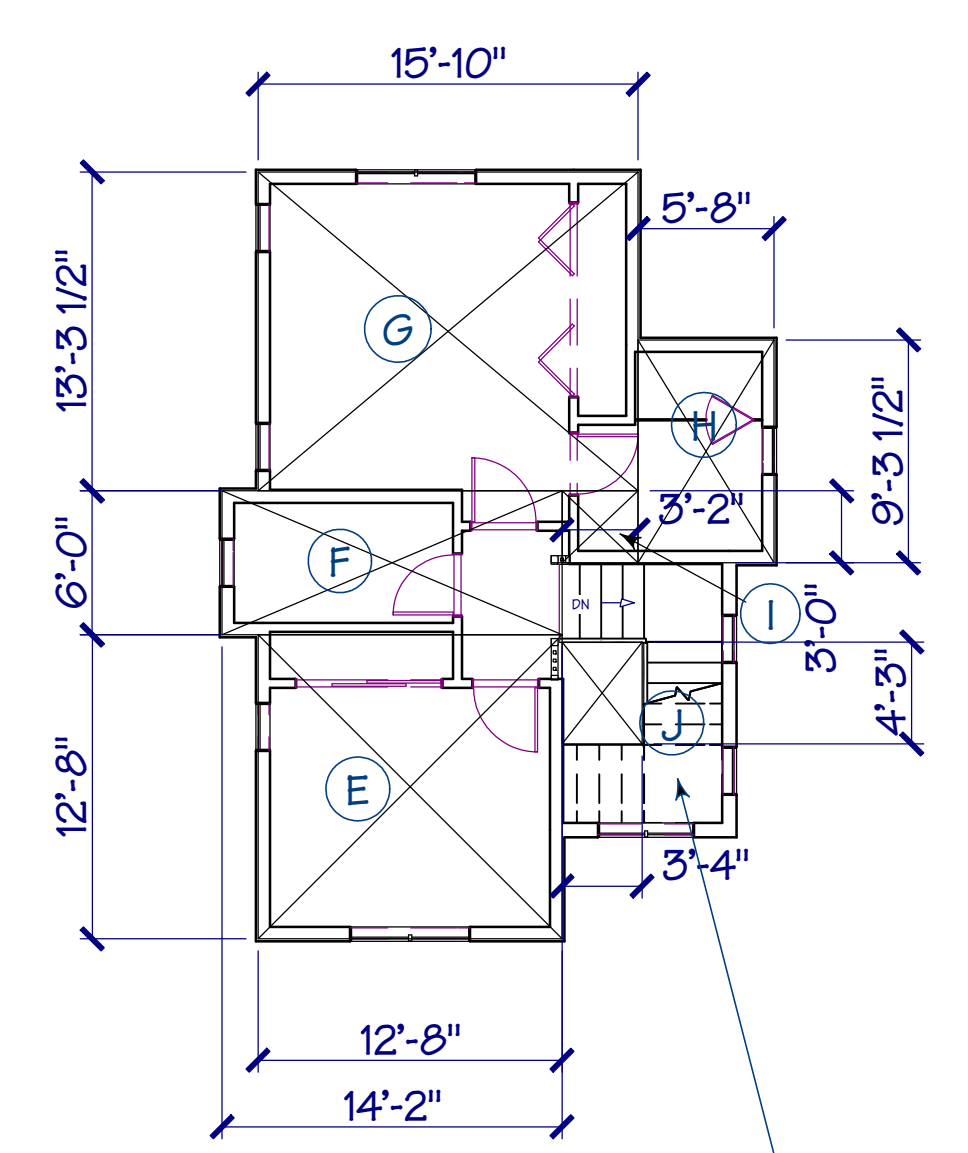
SPACE	DIM	DIM	AREA	AREA/2	TOTAL
A	9.00	4.33	38.97	0.00	38.97
B	21.33	11.33	241.67	0.00	241.67
C	23.00	15.87	365.01	0.00	365.01
C	2.25	-2.25	-5.06	-2.53	-2.53
D	20.75	10.83	224.72	0.00	224.72
A.1	5.16	2.00	10.32	2.00	8.32
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
GRAND TOTAL					876.16

2nd FLOOR FAL CALCULATION - FRONT

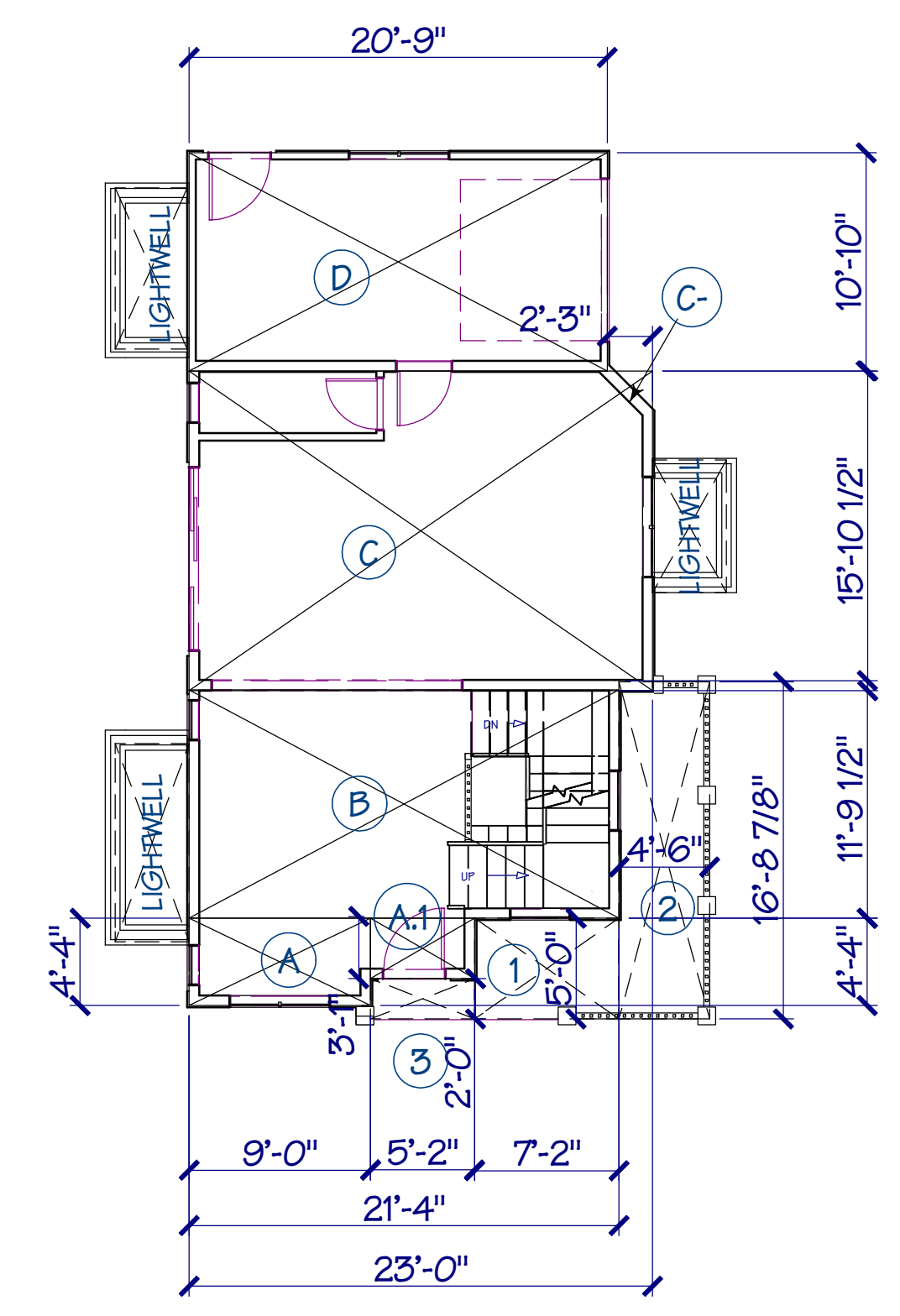
SPACE	DIM	DIM	AREA	AREA/2	TOTAL
E	12.66	12.66	160.28	0.00	160.28
F	14.16	6.00	84.96	0.00	84.96
G	15.83	13.29	210.38	0.00	210.38
H	5.66	9.29	52.58	0.00	52.58
I	3.16	3.00	9.48	0.00	9.48
J	3.33	4.25	14.15	0.00	14.15
			0.00	0.00	0.00
			0.00	0.00	0.00
GRAND TOTAL					531.83

PORCHES - FRONT

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
1	7.16	4.33	31.00	0.00	31.00
2	4.50	11.33	50.99	0.00	50.99
3	5.16	2.00	10.32	0.00	10.32
GRAND TOTAL					92.31



SECOND FLOOR

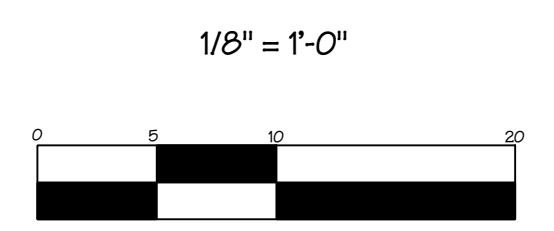


FIRST FLOOR

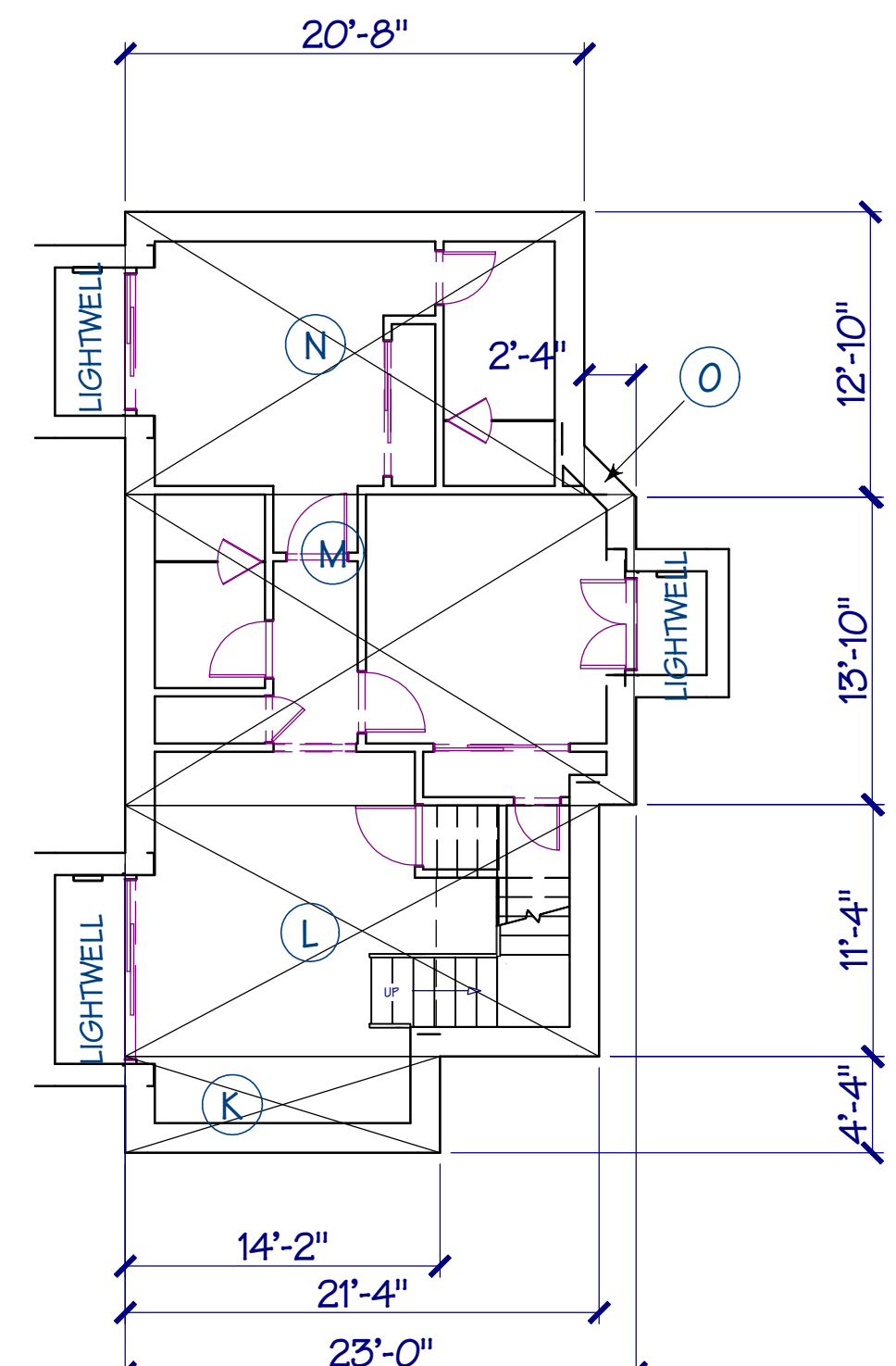
FIRST FLOOR = 876.16
SECOND FLOOR = 531.83
TOTAL = 1,407.99 S.F.

BASEMENT = 888.86
TOTAL HOUSE = 2,296.85 S.F.

PORCHES = 92.31 S.F.



TYPICAL FRONT UNIT



BASEMENT FLOOR

BASEMENT FLOOR FAL CALCULATION - MIDDLE

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
K	14.16	4.33	61.31		61.31
L	21.33	11.33	241.67	0.00	241.67
M	23.00	13.91	319.93	0.00	319.93
N	20.66	12.75	263.42	0.00	263.42
O	2.25	2.25	5.06	2.53	2.53
			0.00	0.00	0.00
GRAND TOTAL					888.86

1st FLOOR FAL CALCULATION - MIDDLE

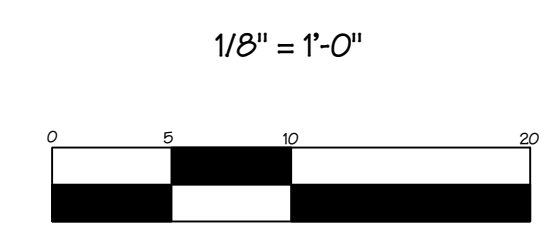
SPACE	DIM	DIM	AREA	AREA/2	TOTAL
A	14.16	4.33	61.31	0.00	61.31
B	21.33	11.33	241.67	0.00	241.67
C	23.00	15.87	365.01	0.00	365.01
C	2.25	-2.25	-5.06	-2.53	-2.53
D	20.75	10.83	224.72	0.00	224.72
			0.00	0.00	0.00
GRAND TOTAL					890.18

2nd FLOOR FAL CALCULATION - MIDDLE

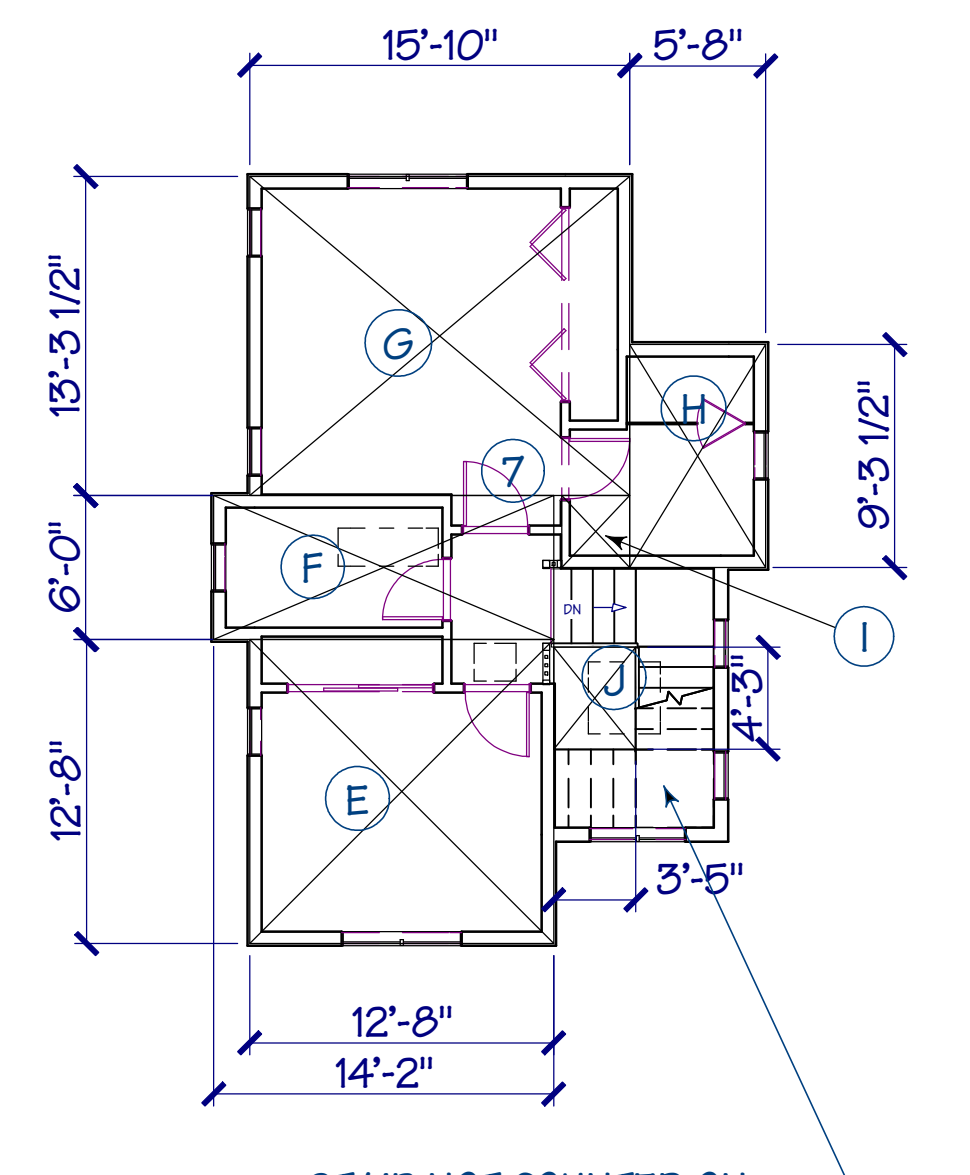
SPACE	DIM	DIM	AREA	AREA/2	TOTAL
E	12.66	12.66	160.28	0.00	160.28
F	14.16	6.00	84.96	0.00	84.96
G	15.83	13.29	210.38	0.00	210.38
H	5.66	9.29	52.58	0.00	52.58
I	3.16	3.00	9.48	0.00	9.48
J	3.33	4.25	14.15	0.00	14.15
			0.00	0.00	0.00
			0.00	0.00	0.00
GRAND TOTAL					531.83

PORCHES - MIDDLE

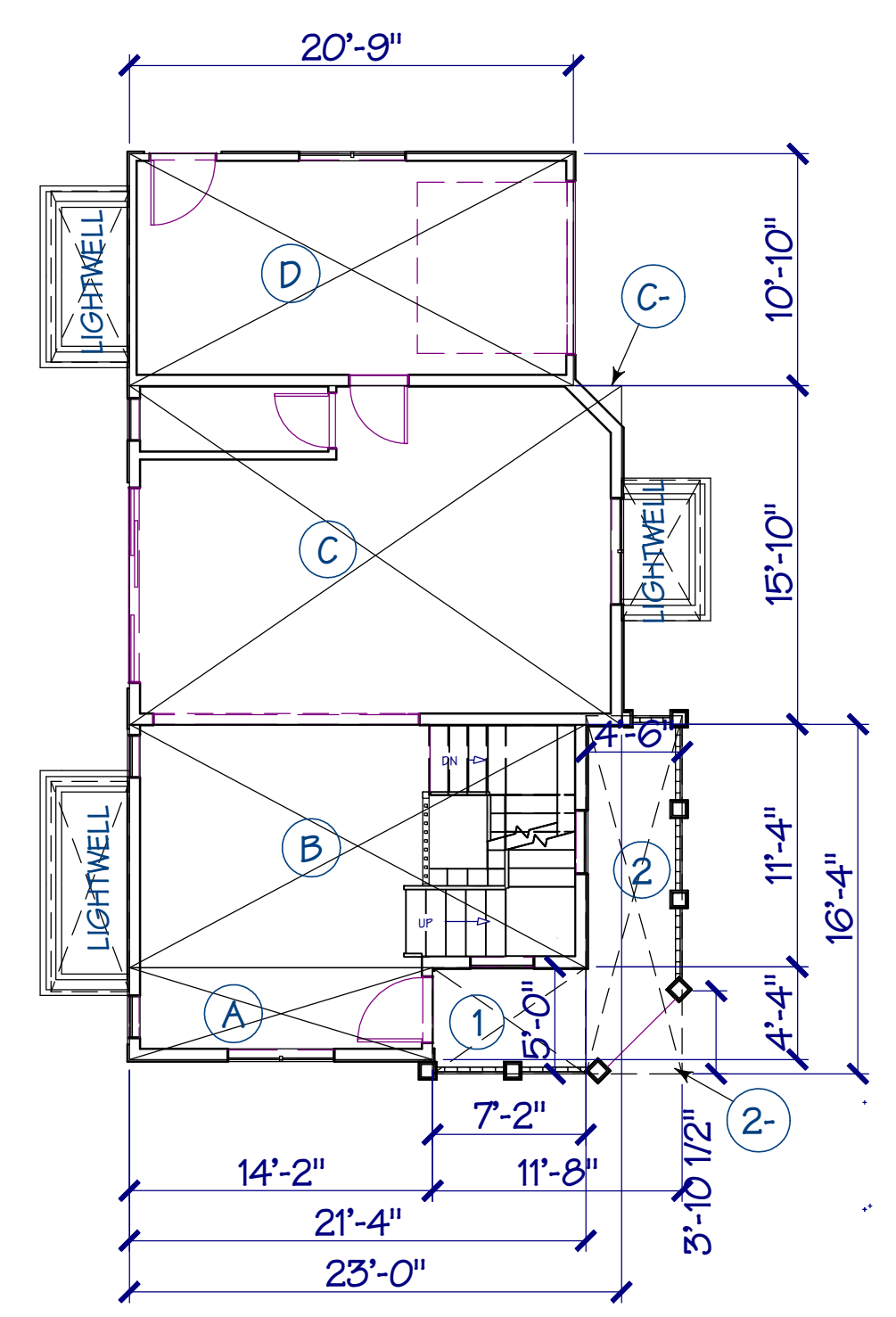
SPACE	DIM	DIM	AREA	AREA/2	TOTAL
1	7.16	5.00	35.80	0.00	35.80
2	4.50	16.33	73.49	0.00	73.49
			0.00	0.00	0.00
			-14.98	-7.49	-7.49
			0.00	0.00	0.00
			0.00	0.00	0.00
GRAND TOTAL					101.80



TYPICAL MIDDLE UNIT



SECOND FLOOR



FIRST FLOOR

FIRST FLOOR = 890.18
SECOND FLOOR = 531.83
TOTAL = 1,422.01 S.F.

BASEMENT = 888.86
TOTAL HOUSE = 2,310.87 S.F.

PORCHES = 101.80 S.F.

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

HOMETEC
ARCHITECTURE, INC.
555 #B MERIDIAN AVE. SAN JOSE, CA 95126
408.995.1496
HometecArch@gmail.com

RICHARD A. HARTMAN
A.L.A.
408.995.1496
HometecArch@gmail.com

NEW HOUSES FOR:
GoldSilverland, LLC
661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date 12-19-19
Scale 1/4" = 1'-0"
Drawn RAH
Job 19-002
Sheet
A-31
of Sheets

BASEMENT FLOOR AREA REAR

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
J	17.00	23.16	393.72	0.00	393.72
K	5.72	2.00	11.44	0.00	11.44
L	11.66	23.16	270.05	135.02	135.02
M	10.33	20.66	213.42	0.00	213.42
GRAND TOTAL			0.00	0.00	753.60

1st FLOOR FAL CALCULATION-REAR

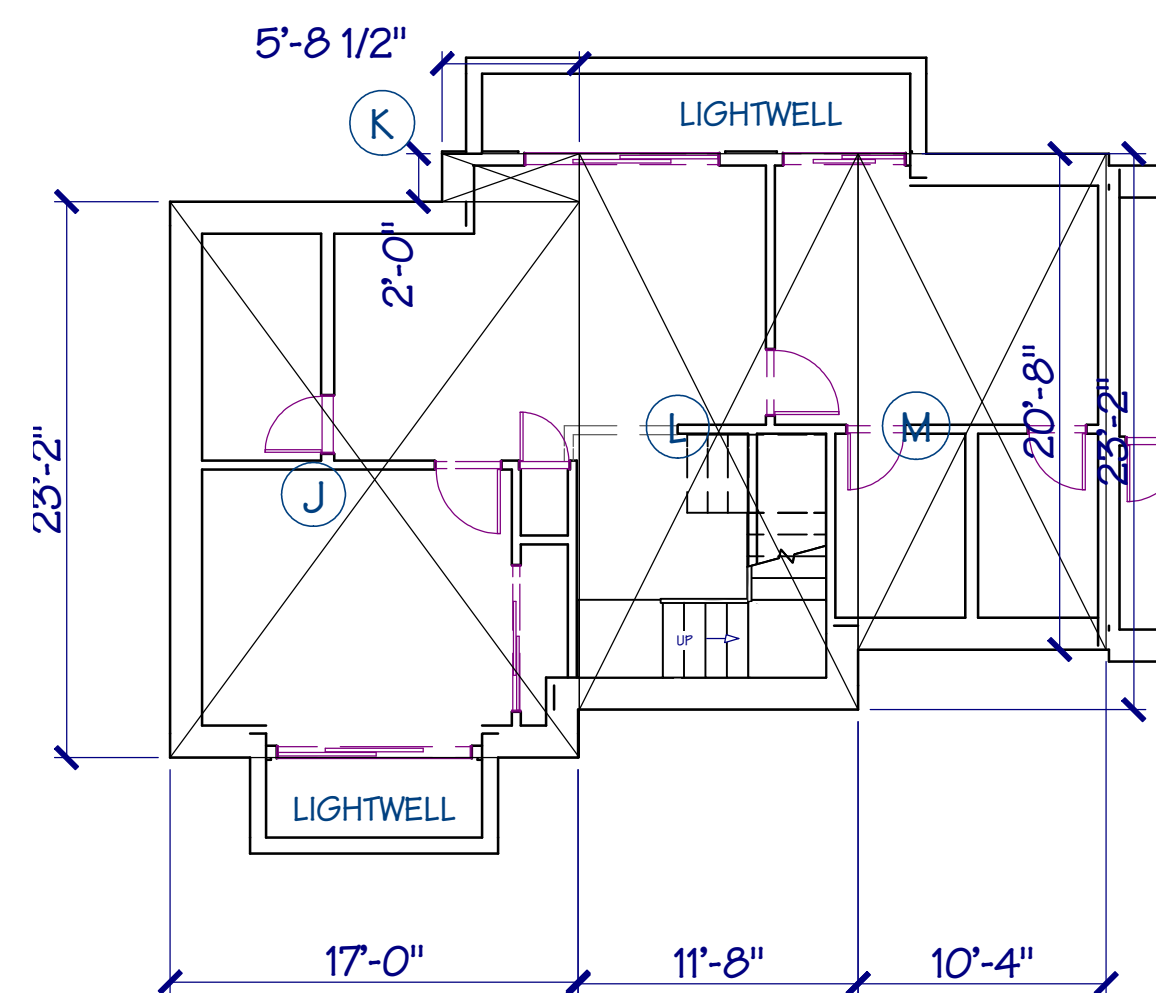
SPACE	DIM	DIM	AREA	AREA/2	TOTAL
A	17.00	2.00	34.00	0.00	34.00
B	28.66	21.16	606.45	0.00	606.45
C	17.33	2.00	34.66	0.00	34.66
D	10.33	20.66	213.42	0.00	213.42
GRAND TOTAL					888.52

2nd FLOOR FAL CALCULATION - REAR

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
E	12.66	13.50	170.91	0.00	170.91
F	10.83	9.66	104.62	0.00	104.62
G	14.50	12.66	183.57	0.00	183.57
H	5.41	11.50	62.22	0.00	62.22
I	3.45	4.50	15.53	0.00	15.53
GRAND TOTAL			0.00	0.00	536.84

PORCHES, LIGHTWELL - REAR

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
1	12.78	5.50	70.29	0.00	70.29
2	11.33	2.00	22.66	0.00	22.66
	0.00	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00	0.00
GRAND TOTAL			0.00	0.00	92.95

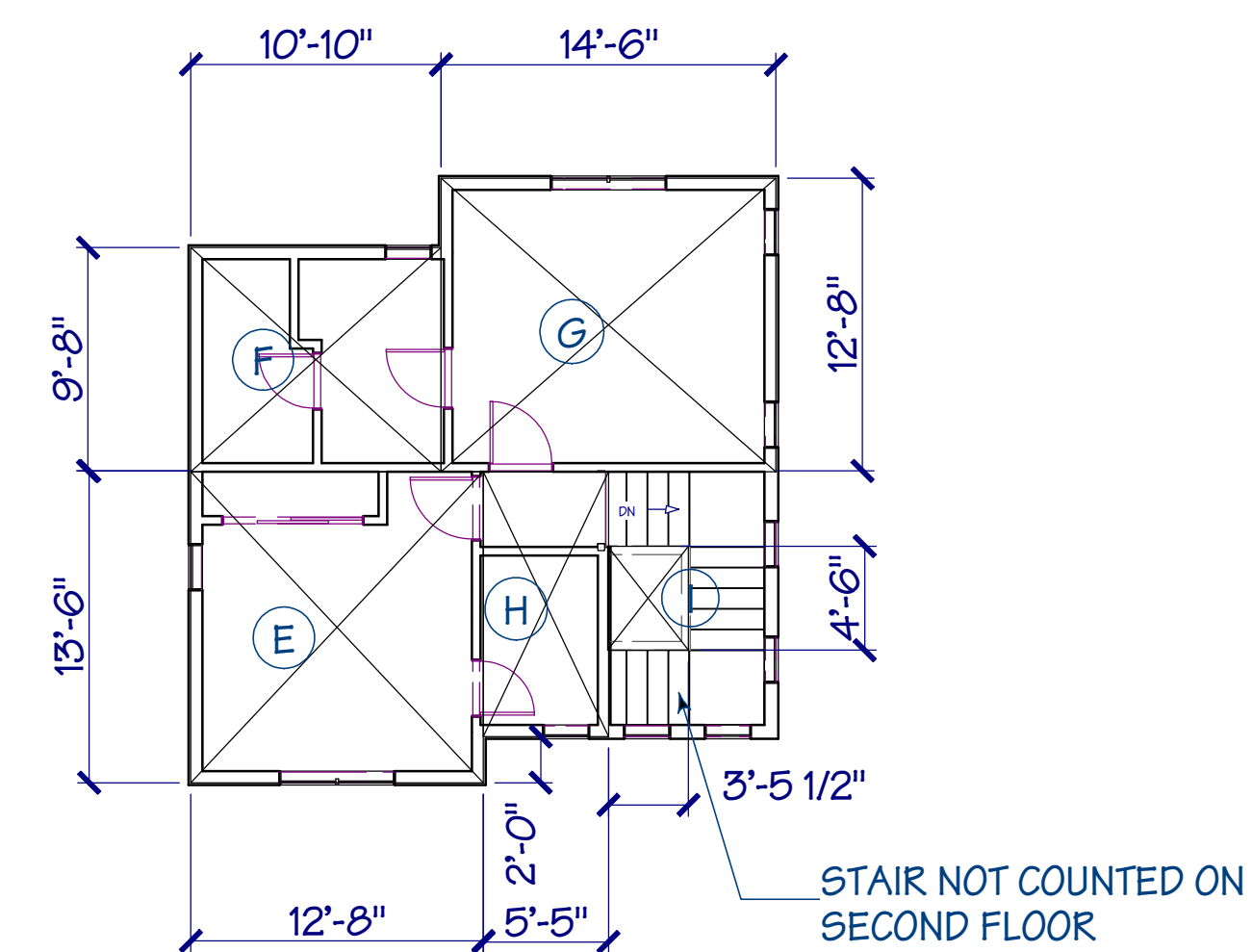


BASEMENT FLOOR

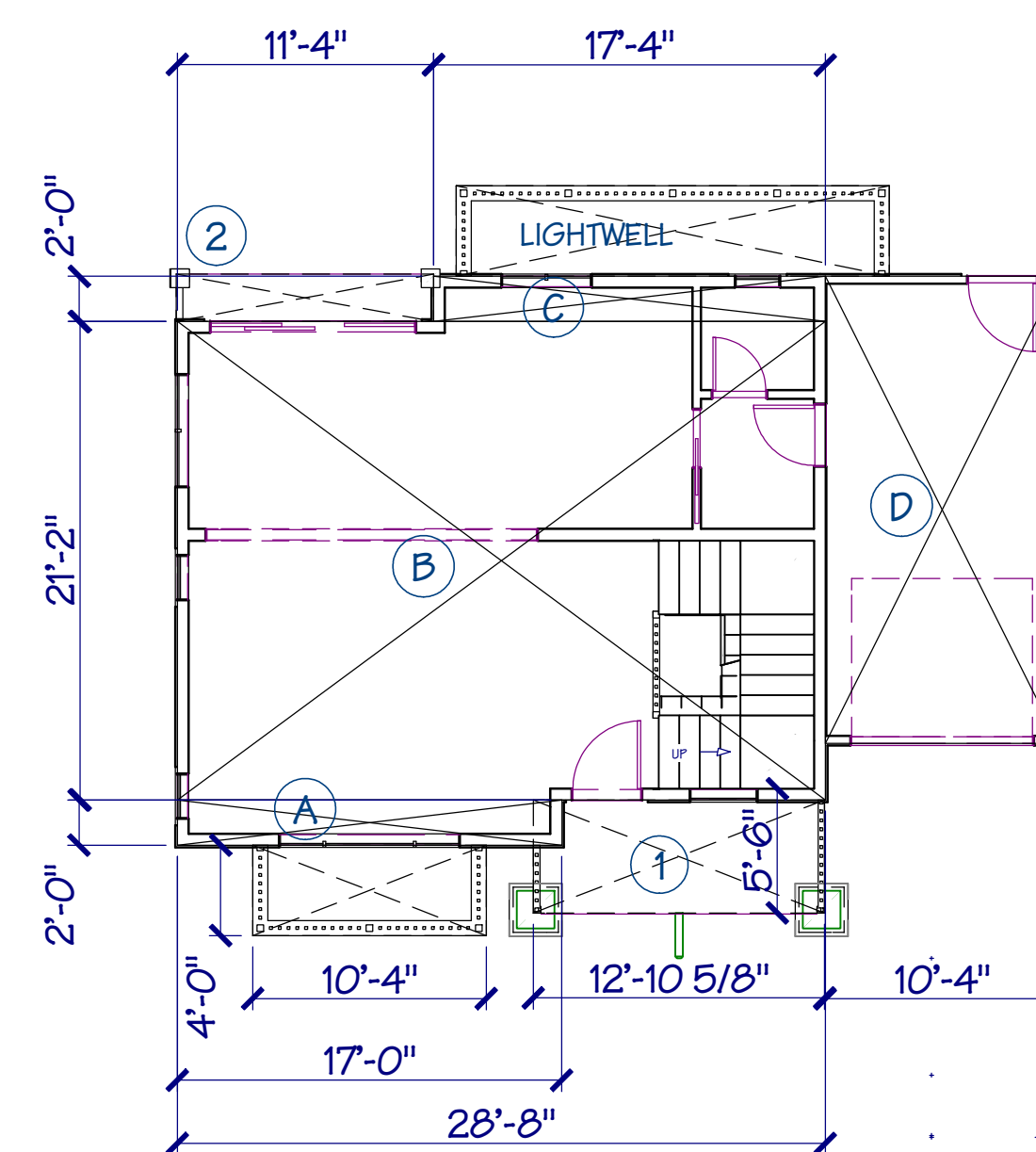
FIRST FLOOR = 888.52
SECOND FLOOR = 536.84
TOTAL = 1,425.36 S.F.

BASEMENT = 753.60
TOTAL HOUSE = 2,178.96 S.F.

PORCHES = 92.95 S.F.

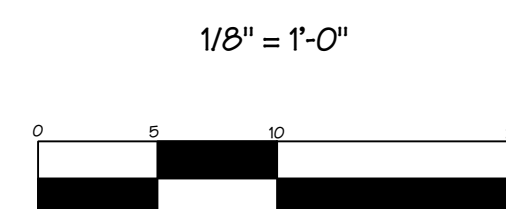


SECOND FLOOR

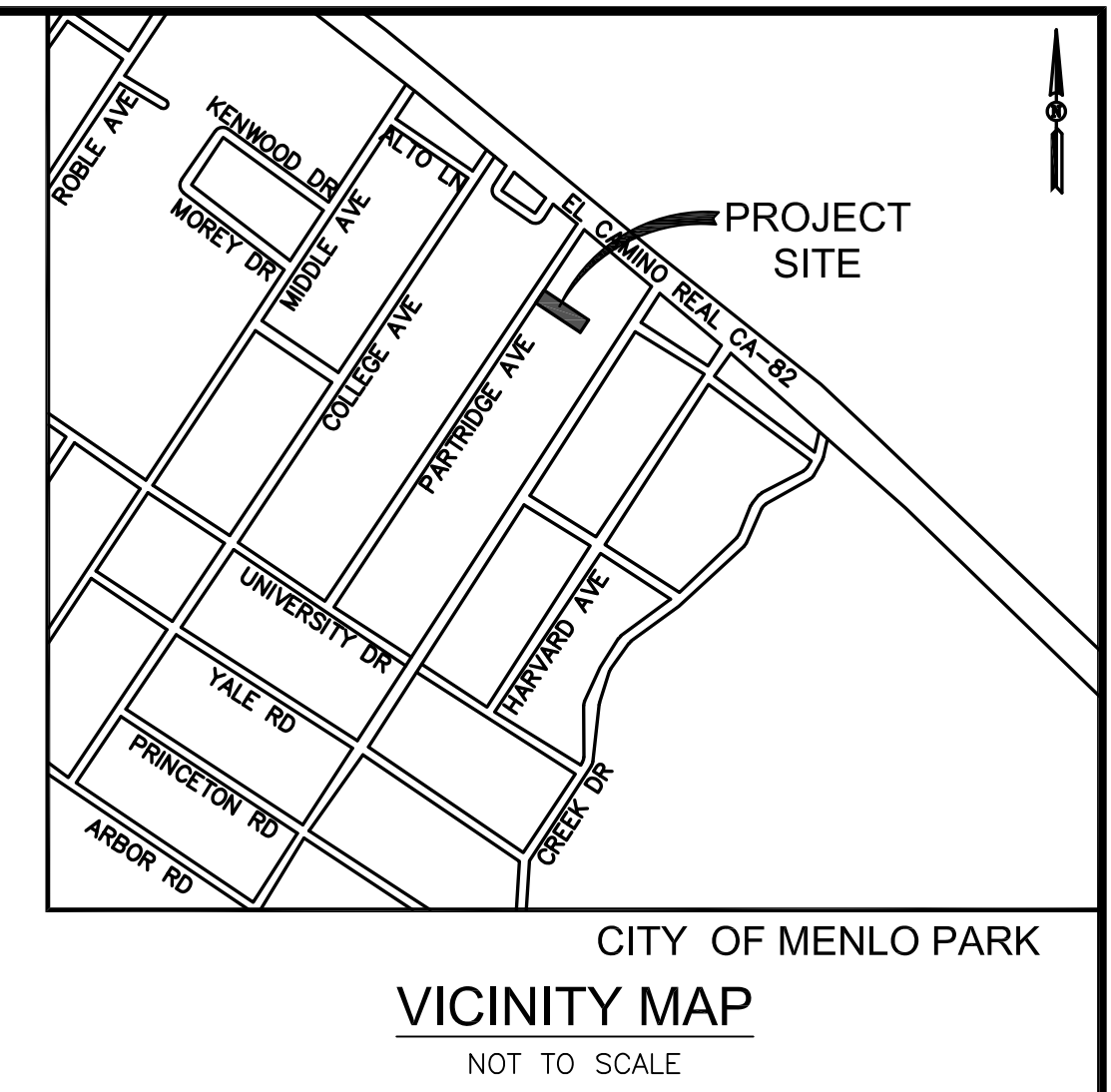


FIRST FLOOR

TYPICAL REAR UNIT

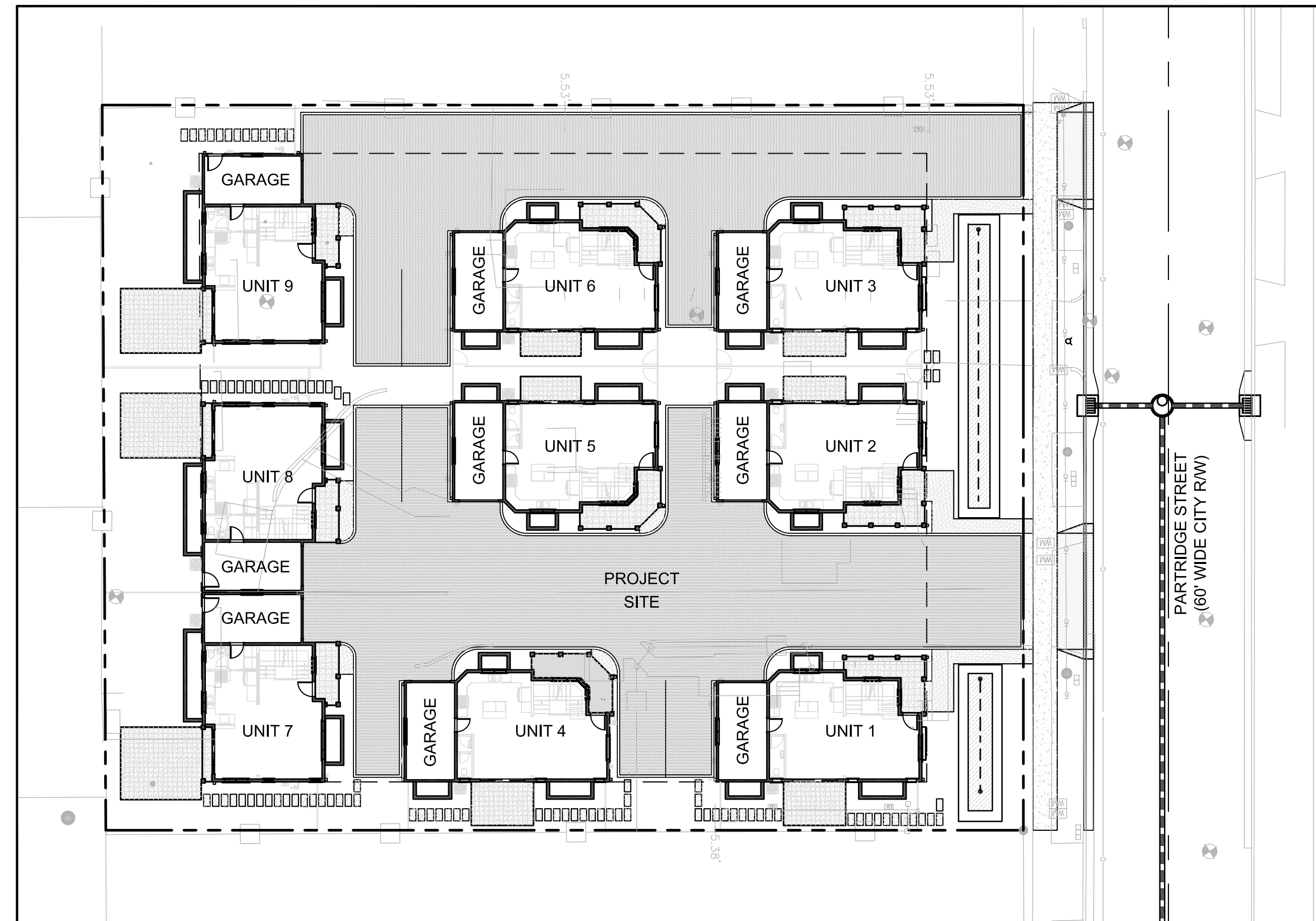


**TENTATIVE MAP
FOR CONDOMINIUM PURPOSES
661-687 PARTRIDGE AVENUE
MENLO PARK, SAN MATEO COUNTY, CALIFORNIA
FOR: GOLDSILVERISLAND PROPERTIES, LLC**



LEGEND :

- FOUND MONUMENT AS NOTED
- SET 5/8" REBAR LS 5571 UNLESS OTHERWISE NOTED
- SET NAIL AND 3/4" BRASS TAG LS 5571 IN CONCRETE
- SET WOODEN HUB ON PROPERTY LINE OR AT OFFSET AS NOTED
- ⊕ FIRE HYDRANT
- ⊗ WATER VALVE
- ⊞ WATER METER
- JOINT POLE
- UTILITY POLE
- TELEPHONE POLE
- GUYWIRE
- W — BLUE PAINT— EVIDENCE OF UG WATER LINE
- ⊞ ELECTRIC METER
- ⊞ GAS METER
- ⊞ MONITORING WELL
- G — YELLOW PAINT, EVIDENCE OF UG GAS LINE
- ⊞ PHONE PEDESTAL
- ⊞ PHONE BOX
- ⊞ PHONE MANHOLE
- P — ORANGE PAINT, EVIDENCE OF UG PHONE LINE
- ⊞ TRAFFIC SIGNAL CONTROL BOX
- ⊞ TRAFFIC SIGNAL
- ⊞ TV BOX
- OH — OVERHEAD LINE
- TV — ORANGE PAINT, EVIDENCE OF UG TV LINE
- ⊞ HANDICAP RAMP
- ⊞ STORM DRAIN MANHOLE
- ⊞ DROP INLET
- ⊞ PHONE MANHOLE
- ⊞ SEWER MANHOLE
- ⊞ SEWER CLEANOUT
- ⊞ PARKING METER
- ⊞ SIGN
- ⊞ CONTROL POINT
- ⊞ LAMP POST
- ⊞ ELECTRIC BOX
- WALL
- ⊞ BOLLARD
- □ — WOOD FENCE
- ⊞ CONCRETE
- LO LIVE OAK
- WO WHITE OAK
- RW REDWOOD
- TYP. TYPICAL
- ○ — PROPERTY LINE
- CHAIN LINK FENCE
- P.U.E. PUBLIC UTILITY EASEMENT
- S.P.E. SLOPE PROTECTION EASEMENT



LOCATION MAP

1"=20'

SHEET INDEX

TM 1	TITLE SHEET
TM 2	MAP SHEET
TM 3.1	PRELIMINARY GRADING AND DRAINAGE PLAN
TM 3.2	PRELIMINARY OFFSITE STORM DRAIN PLAN
TM 4	PRELIMINARY STORMWATER CONTROL PLAN
TM 5	PRELIMINARY UTILITY PLAN
TM 6	DETAIL SHEET

GENERAL NOTES:

1. OWNER / DEVELOPER: GOLDSILVERISLAND PROPERTIES, LLC
577 SALMAR AVE, STE 107
CAMPBELL, CA 95008
2. ARCHITECT: HOMETEC ARCHITECTURE, INC.
619 NORTH FIRST STREET
SAN JOSE, CA 95112
3. CIVIL ENGINEER: GREEN CIVIL ENGINEERING, INC.
1900 S. NORFOLK ST. SUITE #350
SAN MATEO, CA 94403
4. SURVEYOR: WILSON LAND SURVEYS
3001 WINCHESTER BOULEVARD, SUITE 11
CAMPBELL, CA 95008
5. MAP PREPARED BY: CHIN HANG WONG, P.E.
GREEN CIVIL ENGINEERING, INC.
1900 S. NORFOLK ST. SUITE #305
SAN MATEO, CA 94403
6. APN: 071-413-100; 071-413-110 & 071-413-120
7. EXISTING LAND USE: RESIDENTIAL (5 UNITS)
8. EXISTING ZONING: R-2
9. ACREAGE OF PROPOSED LOT: 0.655 ACRES
10. TOTAL NO. OF PROPOSED UNITS: 9
11. UTILITIES:
WATER SUPPLY: CALIFORNIA WATER COMPANY
CITY OF MENLO PARK
STORM DRAINAGE: WEST BAY SANITARY DISTRICT
SEWAGE DISPOSAL: MENLO PARK FIRE PROTECTION DISTRICT
FIRE DISTRICT: PACIFIC GAS & ELECTRIC
GAS & ELECTRIC: AT&T
TELEPHONE: COMCAST
CABLE TV: COMCAST
12. ALL EXISTING BUILDINGS TO BE REMOVED

REV.	DATE	DESCRIPTION
1	9/12/19	REVISION PER CITY COMMENTS DATED 8/1
2	12/05/19	REVISION PER SITE PLAN

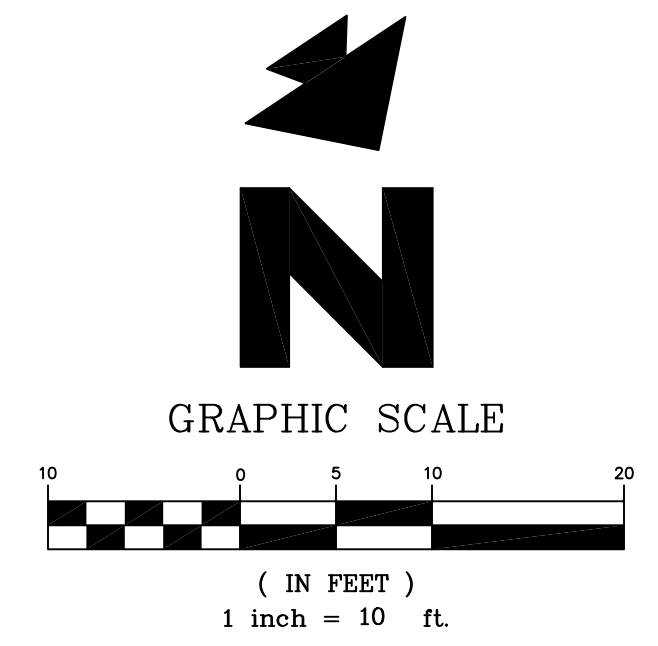
GREEN
CIVIL ENGINEERING, INC
INFO@GREEN-CE.COM
1900 S. NORFOLK ST. SUITE #350
SAN MATEO, CA 94403

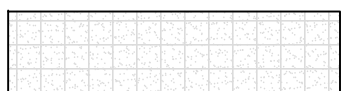






OWNER:
GOLDSILVERISLAND PROPERTIES, LLC

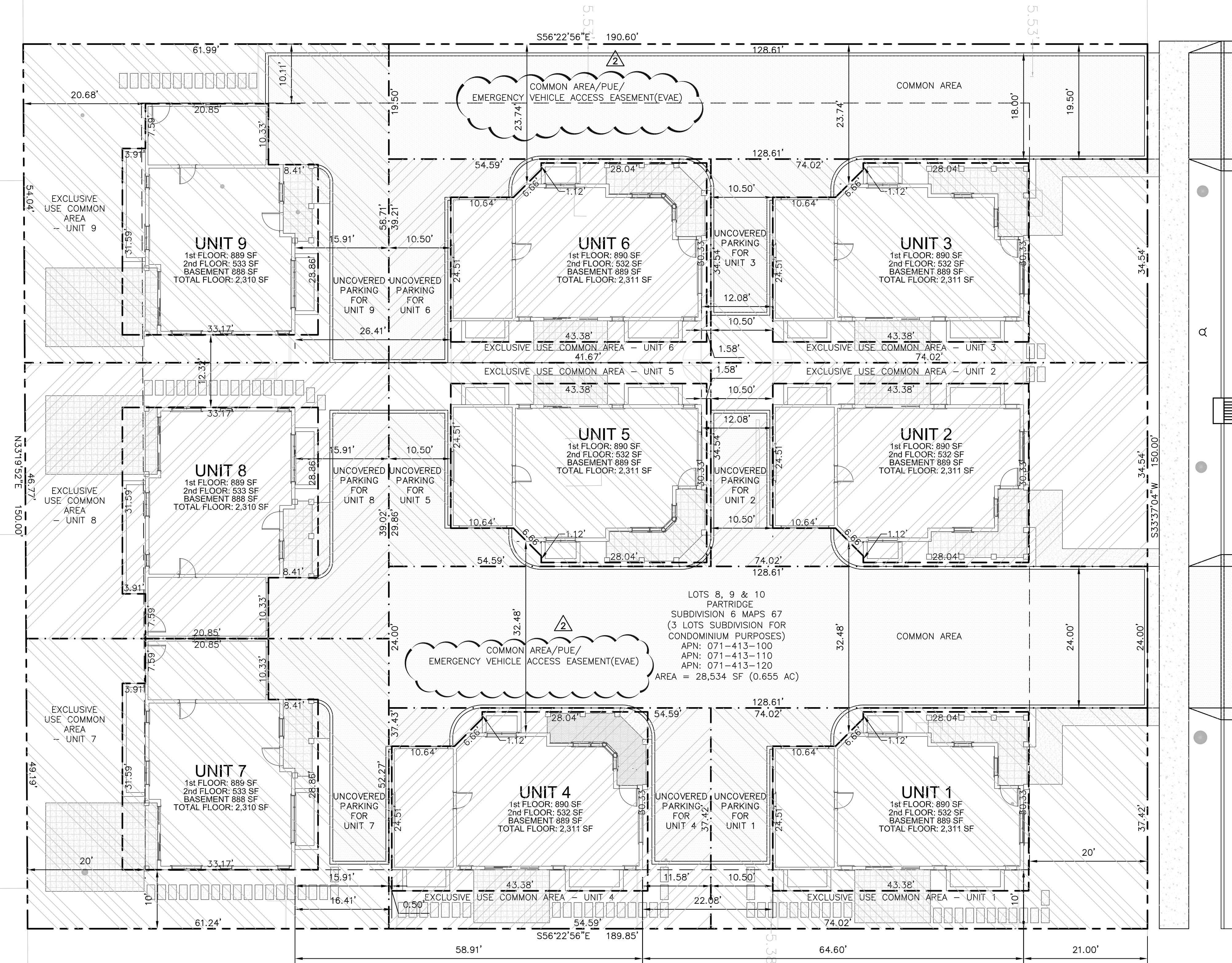
**TITLE SHEET
TENTATIVE MAP
661-687 PARTRIDGE AVENUE
MENLO PARK, CA 94025**

SCALE
VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN
**SHEET
TM 1**
1 OF 7 SHEET
JOB NO.
19211011

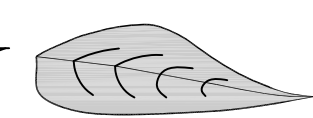


- LEGEND**
-  = PROPOSED PATIO
 -  = PROPOSED HARDSCAPE
 -  = PROPOSED PERMEABLE PAVERS
 -  = DWELLING & EXCLUSIVE USE COMMON AREA FOR EACH UNIT
 -  = DWELLING & EXCLUSIVE USE COMMON AREA FOR EACH UNIT

PARTRIDGE AVENUE
(60' WIDE CITY R/W)



REV.	DATE	DESCRIPTION
1	9/12/19	REVISION PER CITY COMMENTS DATED 8/1
2	12/05/19	REVISION PER SITE PLAN

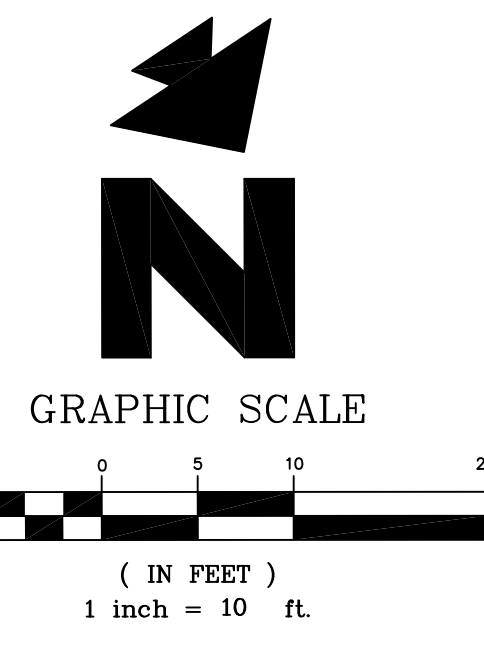
GREEN 
 CIVIL ENGINEERING, INC
 INFO@GREEN-CE.COM
 1900 S. NORFOLK ST. SUITE #350
 SAN MATEO, CA 94403



OWNER:
 GOLDSILVERISLAND PROPERTIES, LLC

MAP SHEET
 TENTATIVE MAP
 661-687 PARTRIDGE AVENUE
 MENLO PARK, CA 94025

SCALE
 VERTICAL: 1"= AS SHOWN
 HORIZONTAL: 1"= AS SHOWN
 SHEET
TM 2
 2 OF 7 SHEET
 JOB NO.
 19211011

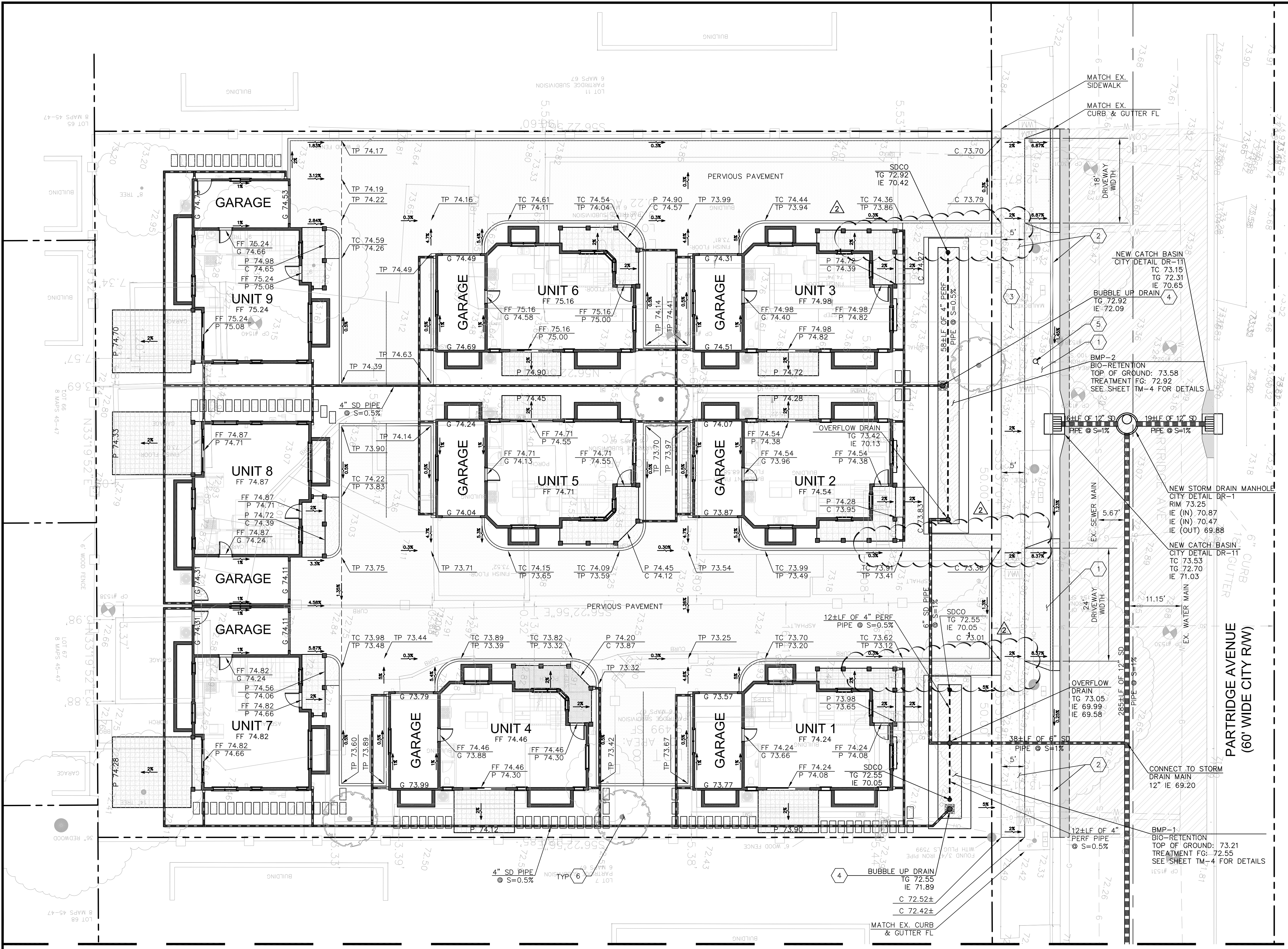


- LEGEND**
- = FLOW DIRECTION
 - = VEGETATED SWALE
 - = STORM DRAIN PIPE
 - = GRADE BREAK
 - = STORM DRAIN CLEANOUT
 - = AREA DRAIN (CHRISTY V1)
 - = BIO-RETENTION (TREATMENT AREA)
 - = PERVIOUS PAVERS
 - = PARTRIDGE AVE CURB TO CURB 3" GRIN AND AC OVERLAY
 - = PARTRIDGE AVE ASPHALT PAVEMENT ADJACENT TO NEW CURB

- ABBREVIATIONS:**
- | | |
|-----------------------------------|--------------------------------|
| BS = BOTTOM OF STEP ELEVATION | LF = LINEAL FOOT |
| C = TOP OF CONCRETE ELEVATION | P = PATIO ELEVATION |
| DWY = DRIVEWAY ELEVATION | S = SLOPE |
| EG = EXISTING GRADE ELEVATION | SD = STORM DRAIN |
| FF = FINISH FLOOR ELEVATION | SDCO = STORM DRAIN CLEANOUT |
| FG = FINISH GRADE ELEVATION | SDDI = STORM DRAIN INLET |
| FL = FLOWLINE | TC = TOP OF CURB ELEVATION |
| G = GARAGE FINISH FLOOR ELEVATION | TG = TOP OF GRADE ELEVATION |
| GB = GRADE BREAK | TP = TOP OF PAVEMENT ELEVATION |
| IE = INVERT ELEVATION | TS = TOP OF STEP ELEVATION |

ON-SITE IMPERVIOUS AREA
 TOTAL SITE = 28,534 SF
 EXISTING = 17,913 SF (62.7% IMPERVIOUS SURFACE)
 PROPOSED = 12,981 SF (45.5% IMPERVIOUS SURFACE)
 CHANGE = -4,932 SF (REDUCTION ON NET IMPERVIOUS SURFACE)

- ON-SITE PERVIOUS AREA**
 PERVIOUS PAVERS = 9,320 SF
 LANDSCAPE AREA = 6,233 SF
 TOTAL PERVIOUS = 15,553 SF
- GRADING NOTES**
- 1 REMOVE EXISTING DRIVEWAY AND INSTALL SIDEWALK AND DRIVEWAY PER CITY STANDARD. CG-14 (10' WIDE)
 - 2 REMOVE EXISTING CURB AND GUTTER AND SIDEWALK AND INSTALL NEW SIDEWALK, CURB AND GUTTER PER CITY STANDARD. CG-2 & CG-3.
 - 3 EXISTING SIDEWALK TO BE REMOVED & REPLACE WITH NEW 5' WIDE SIDEWALK
 - 4 BUBBLE UP DRAIN; CONNECT STORM DRAIN PIPES TO ALL ROOF DRAINS. MINIMUM PIPE SLOPE @ 0.5%
 - 5 NEW FIRE HYDRANT PER CITY STANDARD
 - 6 NEW TREE, SEE ARCH AND LANDSCAPE ARCH PLAN FOR DETAIL



MATCH LINE - SEE SHEET TM 3.2

REV.	DATE	DESCRIPTION
1	9/12/19	REVISION PER CITY COMMENTS DATED 8/1
2	12/05/19	REVISION PER SITE PLAN

GREEN
 CIVIL ENGINEERING, INC
 INFO@GREEN-CE.COM
 1900 S. NORFOLK ST. SUITE #350
 SAN MATEO, CA 94403



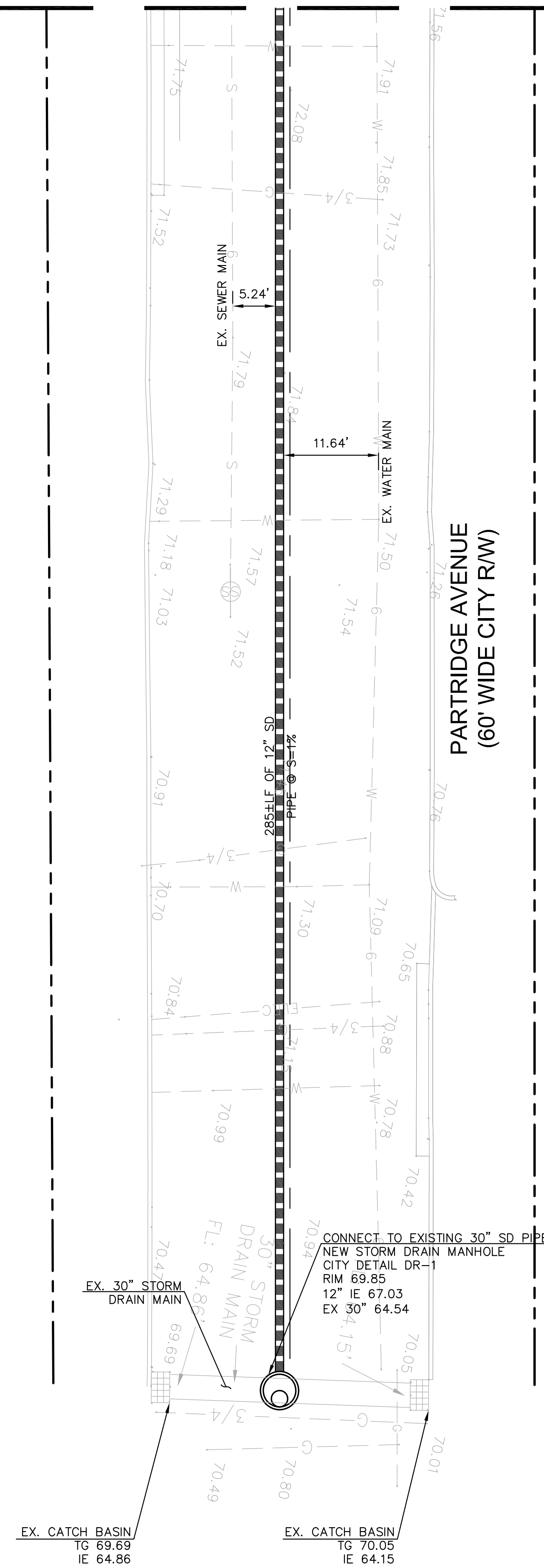
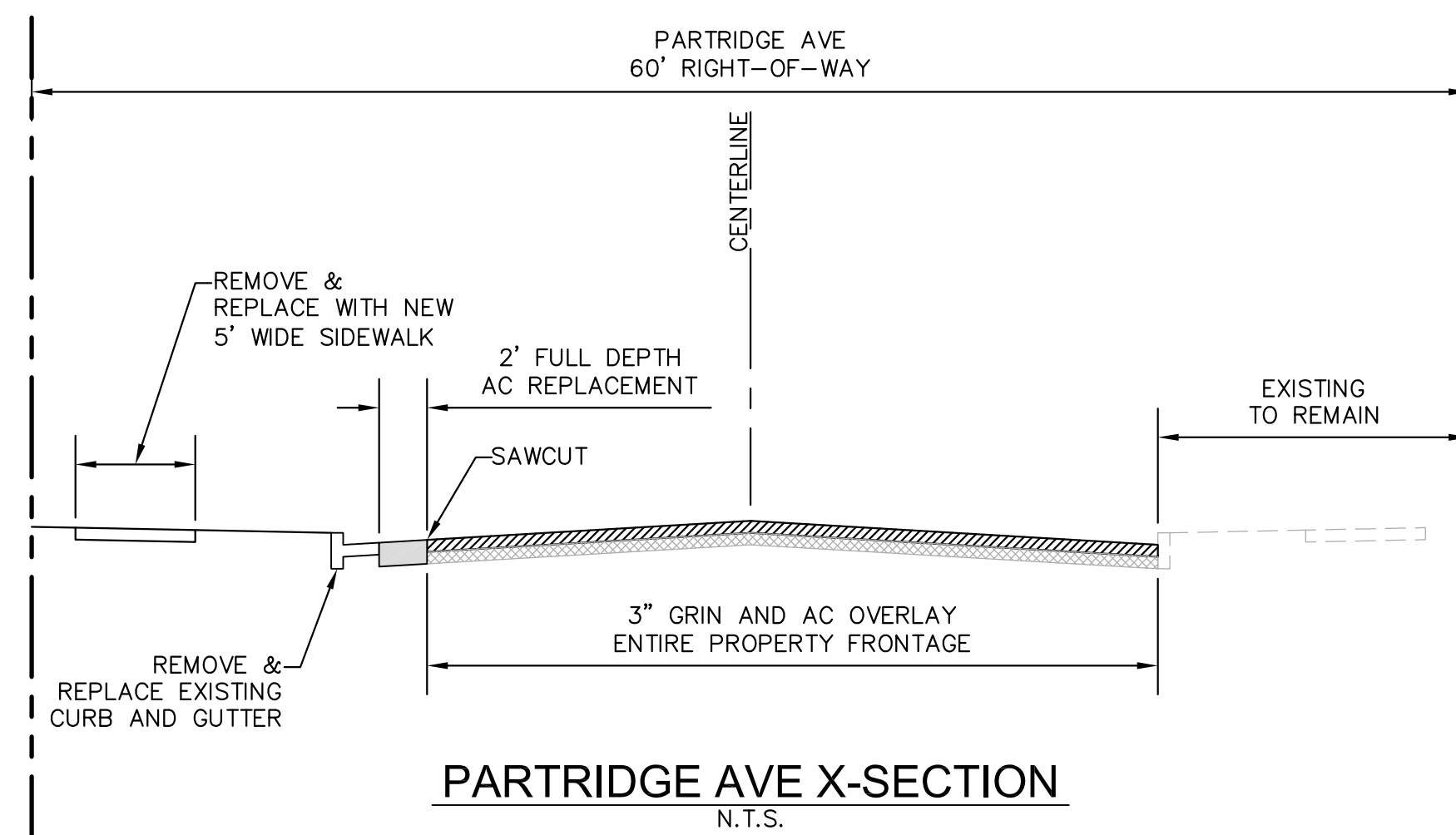
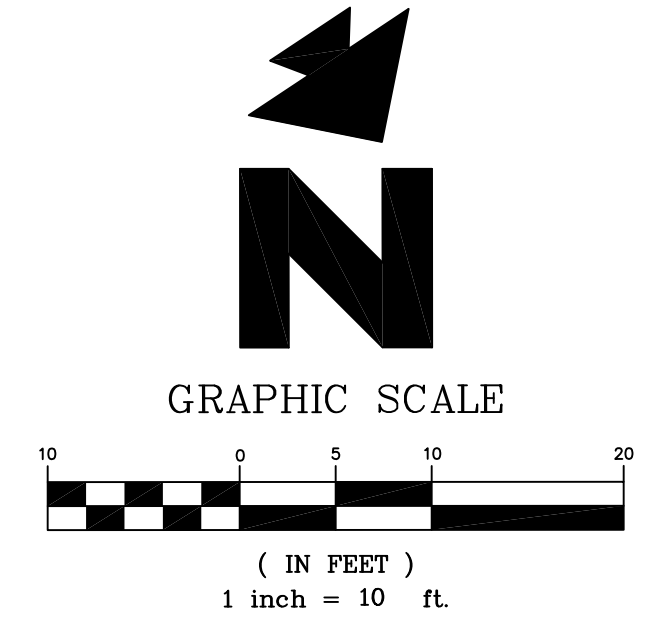
OWNER:
 GOLDSILVERISLAND PROPERTIES, LLC

PRELIMINARY GRADING & DRAINAGE PLAN
 TENTATIVE MAP
 661-687 PARTRIDGE AVENUE
 MENLO PARK, CA 94025


SCALE
 VERTICAL: 1" = AS SHOWN
 HORIZONTAL: 1" = AS SHOWN

SHEET
TM 3.1
 3 OF 7 SHEET

JOB NO.
 19211011



REV.	DATE	DESCRIPTION
1	9/12/19	REVISION PER CITY COMMENTS DATED 8/1
2	12/05/19	REVISION PER SITE PLAN

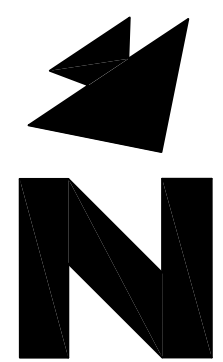
GREEN 
 CIVIL ENGINEERING, INC
 INFO@GREEN-CE.COM
 1900 S. NORFOLK ST. SUITE #350
 SAN MATEO, CA 94403



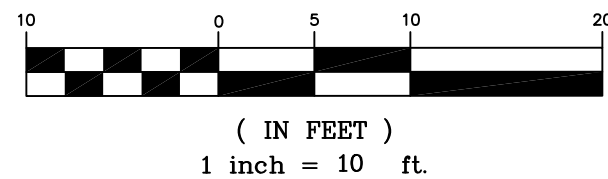
OWNER:
 GOLDSILVERISLAND PROPERTIES, LLC

PRELIMINARY GRADING & DRAINAGE PLAN
 TENTATIVE MAP
 661-687 PARTRIDGE AVENUE
 MENLO PARK, CA 94025

SCALE
 VERTICAL: 1"= AS SHOWN
 HORIZONTAL: 1"= AS SHOWN
 SHEET
TM 3.2
 4 OF 7 SHEET
 JOB NO.
 19211011



GRAPHIC SCALE



LEGEND

- DESIGNATED DRAINAGE MANAGEMENT AREA, DMA
- IMPERVIOUS AREA ROOF & HARDSCAPE
- PERVIOUS AREA PAVERS DRIVEWAY (SELF TREATED)
- BIO-RETENTION
- DISCHARGE POINT TO FLOW THROUGH PLANTER
- 4" BIO. PLANTER SD PERF. PVC PIPE
- DRAIN PIPE AND DIRECTION



TOTAL SITE (ACRES)	0.655	TOTAL AREA OF SITE DISTURBED (ACRES):	0.655
EXISTING CONDITION OF SITE AREA DISTURBED (SQUARE FEET)	PROPOSED CONDITION OF SITE AREA DISTURBED (SQUARE FEET)	REPLACED	NEW
IMPERVIOUS SURFACES			
ROOF AREA (S)	7,820	7,820	-
PARKING	10,093	5,161	-
SIDEWALK, PATIOS, PATHS, ETC	0	-	-
STREET (PUBLIC)	-	-	-
STREET (PRIVATE)	-	-	-
TOTAL IMPERVIOUS SURFACES:	17,913	12,981	-
PERVIOUS SURFACES			
LANDSCAPE AREA	10,621	6,233	-
PERVIOUS PAVING	-	-	9,320
OTHER PERVIOUS SURFACES	-	-	-
TOTAL PERVIOUS SURFACES	10,621	6,233	9,320
TOTAL PROPOSED REPLACED + NEW IMPERVIOUS SURFACES		12,981	
TOTAL PROPOSED REPLACED + NEW PERVIOUS SURFACES		15,553	
		TOTAL AREA	28,534

DRAINAGE AREA	SURFACE	AREA (SF)	EQUIVALENT IMPERVIOUS AREA FOR HYDRAULIC SIZING		TOTAL TREATMENT AREA SIZING (4% RATIO, SF)	REMARK
			10% OF PERVIOUS AREA	100% OF IMPERVIOUS AREA		
DMA #1	IMPERVIOUS SURFACE	4,538		4,538	4,762	TO BIORETENTION
	PERVIOUS SURFACE	2,242	224			
DMA #2	PERVIOUS PAVEMENT	8,443		8,443	8,842	TO BIORETENTION
	PERVIOUS SURFACE	3,991	399			
DMA #3	PERVIOUS SURFACE	5,513				SELF TREATMENT
DMA #4	PERVIOUS SURFACE	3,807				SELF TREATMENT
TOTAL AREA		28,534	623	12,981	13,604	

DRAINAGE AREA	EQUIVALENT IMPERVIOUS AREA (SF)	UNIT BASIN STORAGE VOLUMES IN INCHES (SEE TABLE 5-3) - REGION 4 PALO ALTO	WATER QUALITY DESIGN VOLUME (ft3)	RAIN EVENT DURATION PER 0.2 in/hr, hr
DMA #1	4,762	100% IMPERVIOUS; (C=0.9)	0.7	278
DMA #2	8,842	100% IMPERVIOUS; (C=0.9)	0.7	516

DRAINAGE AREA	SIZE REDUCTION, %	BIORETENTION SIZING AREA, SF	BIORETENTION AREA AFTER SIZING, SF	SURFACE INFILTRATION RATE, in/hr	RAIN EVENT DURATION PER 0.2 in/hr, hr	VOLUME OF RUNOFF, ft3
DMA #1	25.6	190	142	5	3.5	207
DMA #2	25.7	354	263	5	3.5	384

DRAINAGE AREA	WATER QUALITY DESIGN VOLUME (ft3)	VOLUME OF RUNOFF, ft3	DIFFERENCE	BIORETENTION AREA AFTER REDUCTION, SF	PONDING DEPTH, ft	PONDING DEPTH, in
DMA #1	278	207	71	142	0.5	6.02
DMA #2	516	384	132	263	0.5	6.02

REV.	DATE	DESCRIPTION
1	9/12/19	REVISION PER CITY COMMENTS DATED 8/1
2	12/05/19	REVISION PER SITE PLAN

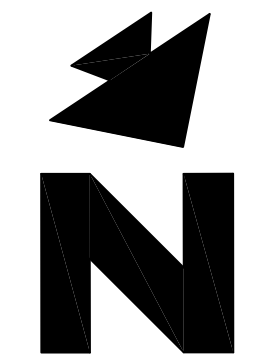
GREEN
 CIVIL ENGINEERING, INC
 INFO@GREEN-CE.COM
 1900 S. NORFOLK ST. SUITE #350
 SAN MATEO, CA 94403



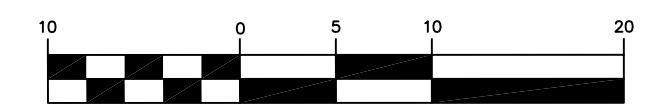
OWNER:
 GOLDSILVERISLAND PROPERTIES, LLC

PRELIMINARY STORMWATER CONTROL PLAN
TENTATIVE MAP
 661-687 PARTRIDGE AVENUE
 MENLO PARK, CA 94025

SCALE
 VERTICAL: 1"= AS SHOWN
 HORIZONTAL: 1"= AS SHOWN
SHEET
TM 4
 4 OF 7 SHEET
 JOB NO.
 19211011



GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

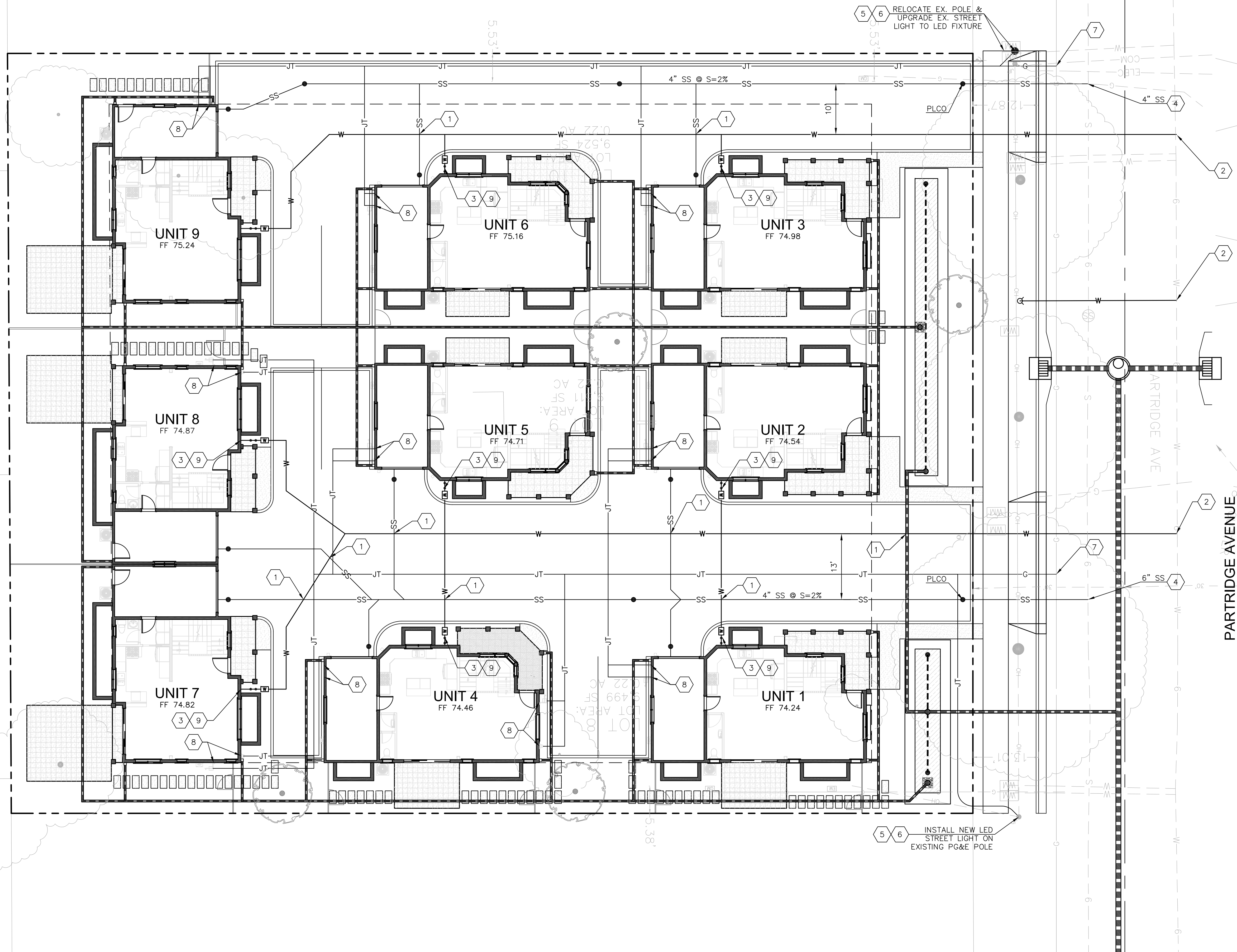
LEGEND

- E PROPOSED ELECTRIC METER
- G PROPOSED GAS METER
- W PROPOSED WATER METER
- SANITARY SEWER CLEANOUT
- OH — EXISTING OVERHEAD LINE
- G — EXISTING GAS LINE
- SS — EXISTING SANITARY SEWER LINE
- W — EXISTING WATERLINE
- JT — PROPOSED JOINT TRENCH LINE
- SS — PROPOSED SANITARY SEWER LINE
- W — PROPOSED WATERLINE SEWER LINE

UTILITY NOTES

- 1 MAINTAIN 1' MIN. VERTICAL CLEARANCE BETWEEN WATER LINE & SS LINE AT THE CROSSING POINT. WATER LINE SHALL BE ABOVE THE SS LINE.
- 2 INSTALL CONNECTION TO EXISTING WATER PER CALIFORNIA WATER CO.
- 3 INSTALL WATER METER PER CALIFORNIA WATER CO. (TYP)
- 4 SANITARY SEWER INVERT ELEVATIONS AT POINT OF CONNECTIONS TO BE IN CONSTRUCTION DOCUMENT SET
- 5 EXISTING OVERHEAD ELECTRIC/TELEPHONE/CABLE TO EXISTING SITE TO BE REMOVED AND IMPROVED WITH NEW JOINT TRENCH LINE
- 6 COORDINATE WITH LOCAL UTILITY COMPANIES FOR PROPOSED JOINT TRENCH CONNECTION TO EXISTING POLE
- 7 PROPOSED GAS POINT OF CONNECTION
- 8 PROPOSED GAS AND ELECTRIC METERS
- 9 INSTALL BACKFLOW PROTECTION PER CITY STANDARD
- 10 ALL TRENCHES IN CITY'S RIGHT OF WAY SHALL COMPLY WITH CITY STANDARD DETAILS ST-9A, ST-9B AND ST-16 WHERE APPLICABLE.

NOTE:
ALL UTILITY TRENCHING AND ANY OTHER EXCAVATION WITHIN THE DRIPLINES OF STREET TREES MUST BE DONE BY HAND AND NO ROOTS MAY BE CUT WITHOUT CITY ARBORIST APPROVAL.



REV.	DATE	DESCRIPTION
1	9/12/19	REVISION PER CITY COMMENTS DATED 8/1
2	12/05/19	REVISION PER SITE PLAN

GREEN

CIVIL ENGINEERING, INC
 INFO@GREEN-CE.COM
 1900 S. NORFOLK ST. SUITE #350
 SAN MATEO, CA 94403



OWNER:
GOLDSILVERISLAND PROPERTIES, LLC

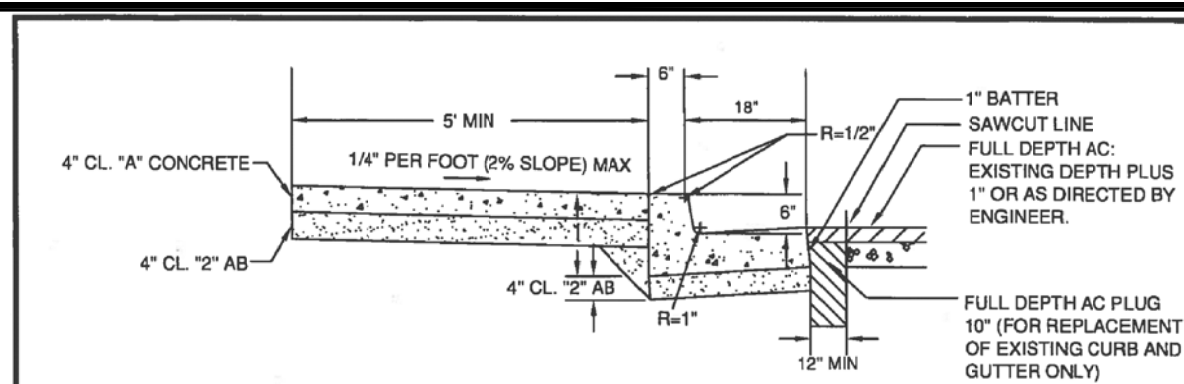
PRELIMINARY UTILITY PLAN
TENTATIVE MAP
661-687 PARTRIDGE AVENUE
MENLO PARK, CA 94025

SCALE
 VERTICAL: 1"= AS SHOWN
 HORIZONTAL: 1"= AS SHOWN

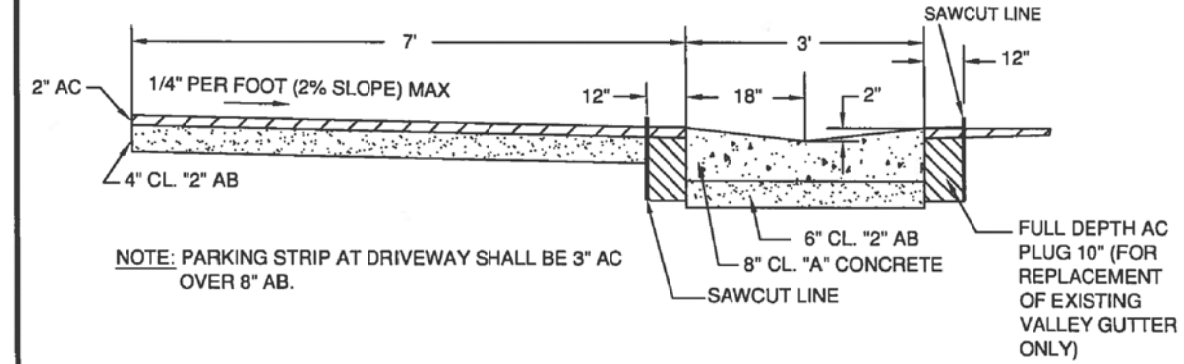
SHEET
TM 5
 6 OF 7 SHEET

JOB NO.
 19211011

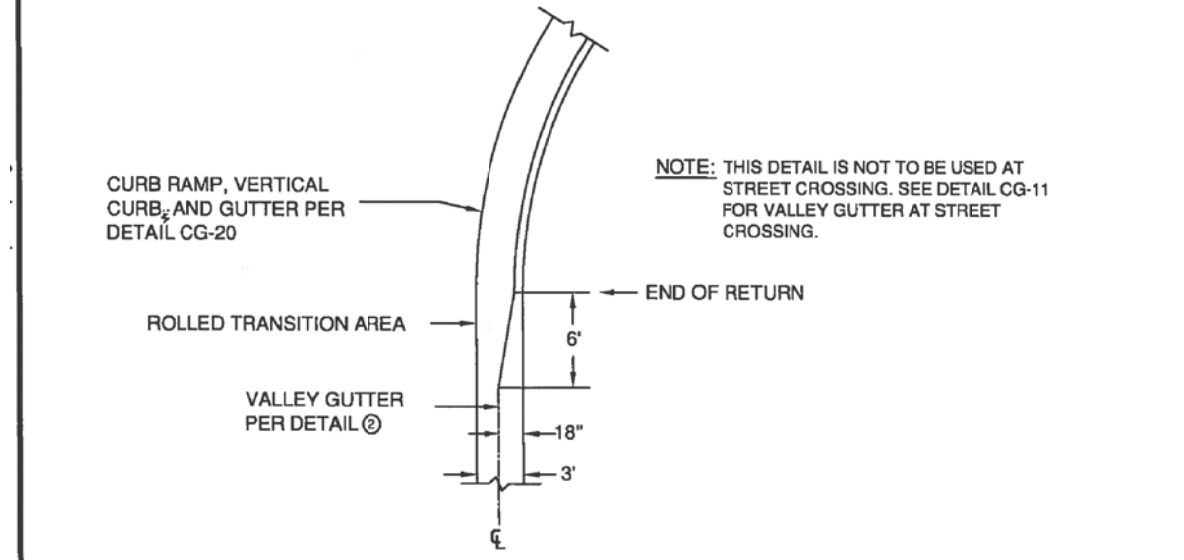
- NOTES:
- ALL WORK SHALL COMPLY WITH 2010 CALTRANS STANDARD SPECIFICATION
 - CONCRETE SHALL BE CLASS A (6 SACK) CONTAINING NOT LESS THAN 564 LBS OF PORTLAND CEMENT PER CU. YD. (1" MAXIMUM AGGREGATE SIZE AND A 28-DAY COMPRESSIVE STRENGTH OF 3500 PSI). AGGREGATE BASE (AB) SHALL BE CLASS 2, CALTRANS STANDARD.
 - CONCRETE FOR CURB, GUTTER, SIDEWALK, DRIVEWAY, AND OTHER SURFACE-LEVEL SLABS SHALL CONTAIN ONE LB. OF LAMPBLACK PER CU. YD. (AT BATCH PLANT).
 - AB SHALL BE COMPACTED TO NOT LESS THAN 95% RELATIVE COMPACTION, AS TESTED BY CITY APPROVED LAB AT CONTRACTOR'S EXPENSE.
 - WEAKENED PLANE JOINTS (2" DEEP FOR SIDEWALKS, 3" DEEP FOR 6" THICK DRIVEWAYS), SHALL BE SPACED AT 10' NOMINAL INTERVALS, AND AT EACH SIDE OF DRIVEWAY, MID-POINTS OF DRIVEWAY WITH CURB CUTS EXCEEDING 20' AND AS DIRECTED BY THE DIRECTOR OF PUBLIC WORKS OR DESIGNER.
 - EXPOSED SURFACES OF SIDEWALK, DRIVEWAY, CURB AND GUTTER SHALL BE STEEL TROWELED FOLLOWED BY A MEDIUM BROOM FINISH. EXISTING DECORATIVE FINISHES SHALL BE MATCHED IN KIND.
 - EXCEPT AS SHOWN, ALL EXPOSED EDGES, INCLUDING AT WEAKENED PLANE JOINTS, SHALL BE TOOLED TO 1/2" RADIUS.
 - SIDEWALK SHALL BE SCORE MARKED AT 30" NOMINAL INTERVALS EACH WAY OR TO MATCH EXISTING SCORE MARKS. MONOLITHIC CURB, SIDEWALK AND DRIVEWAY SHALL HAVE A CONTINUOUS SCORE MARK 6" FROM CURB FACE.
 - ALL CONCRETE SHALL BE CURED BY KEEPING CONTINUOUSLY MOIST FOR THREE DAYS AFTER PLACEMENT EITHER BY SPRINKLING, COVERING WITH A WATERPROOF MEMBRANE, OR APPLYING TYPE I CONCRETE CURING COMPOUND.
 - EXTRUDED CURB AND GUTTER SHALL BE APPROVED BY THE PUBLIC WORKS INSPECTOR PRIOR TO CONSTRUCTION, AND PRIOR TO CONCRETE PLACEMENT.
 - ALL GUTTER LIPS SHALL BE FORMED AND TOOLED. A 12" WIDE FULL DEPTH AC STREET STRUCTURAL SECTION SHALL BE PLACED ADJACENT TO THE GUTTER LIP. THE AC SECTION SHALL BE A MINIMUM OF 6" DEEP OR 1" THICKER THAN EXISTING AC, WHICHEVER IS GREATER.
 - ALL NEW PCC IMPROVEMENTS SHALL BE DOWELED TO EXISTING AND ADJACENT PCC IMPROVEMENTS USING 12" LONG #3 OR #4 SMOOTH DOWELS AT 3' O.C.. DOWELS TO BE GREASED ("FOOD GRADE") OR PAPER SLEEVED ONE END AND CAPPED. TYPICAL AT ALL EXPANSION JOINTS.
 - STREET TREE WELLS AND GRATES SHALL BE PROVIDED IN ACCORDANCE WITH CITY REQUIREMENTS PER LS-1. ALL SUBMITTALS SHALL BE APPROVED PRIOR TO PLACEMENT.
 - ALL PCC IMPROVEMENTS TO BE REMOVED SHALL BE SAW CUT ALONG EXISTING SCORELINES. NO SECTION TO BE REPLACED SHALL BE SMALLER THAN 30" IN EITHER LENGTH OR WIDTH. IF THE SAW CUT IN SIDEWALK OR DRIVEWAY FALLS WITHIN 30" OF A CONSTRUCTION JOINT, EXPANSION JOINT, COLD JOINTS, OR EDGE, THE CONCRETE SHALL BE REMOVED TO THE JOINT OR EDGE. ALL SAW CUT RESIDUE SHALL BE DRY VACUUMED CONCURRENTLY WITH SAWING OPERATION.
 - NEW OR APPROVED RECYCLED IMPORTED FULL DEPTH AB SHALL BE PLACED UNDER ALL NEW OR REPLACEMENT CURB, GUTTER, SIDEWALK AND DRIVEWAY.
 - ALL FORM WORK AND REINFORCING MUST BE APPROVED BY THE PUBLIC WORKS INSPECTOR PRIOR TO CONCRETE PLACEMENT.



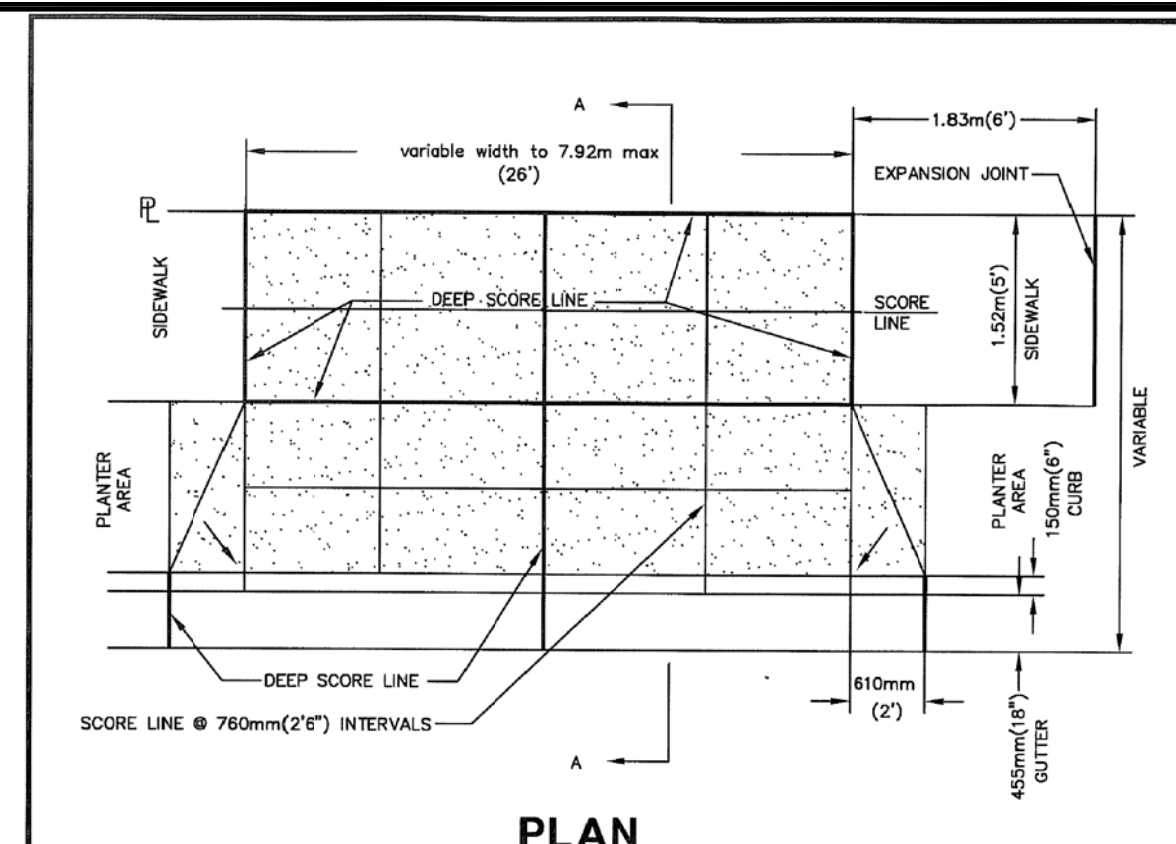
1 STANDARD VERTICAL CURB, GUTTER AND SIDEWALK



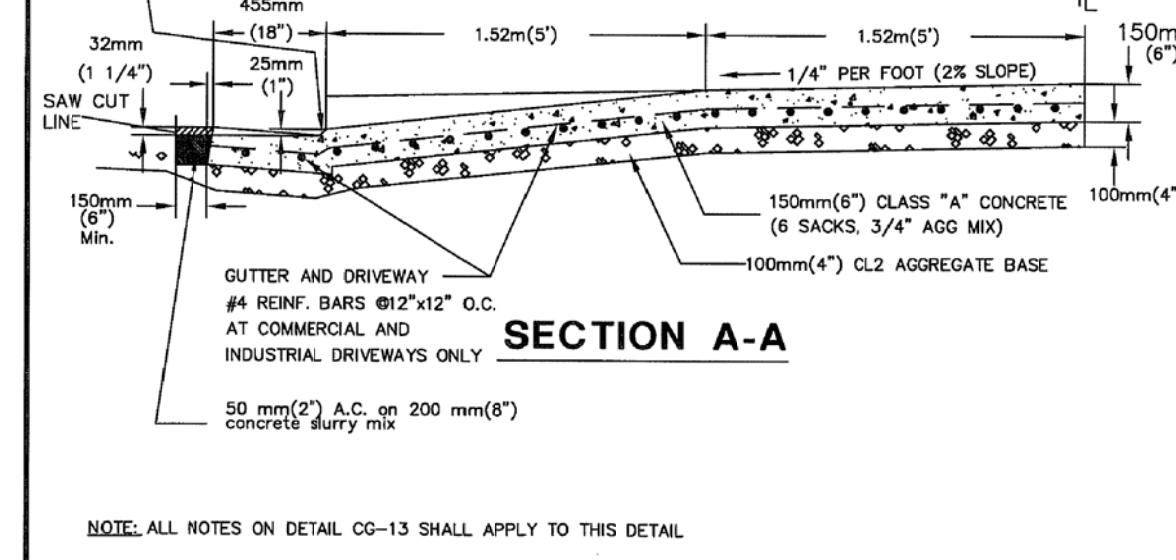
2 THREE FOOT VALLEY GUTTER AND PARKING STRIP



3 CORNER TRANSITION - VERTICAL CURB TO VALLEY GUTTER



PLAN



SECTION A-A

CITY OF MENLO PARK STANDARD DETAILS	
GENERAL CONCRETE NOTES	APPROVED: [Signature]
DATE: 10/21/13	SCALE: NTS
SHEET: 1 OF 1	STD. DETAIL No.: CG-3

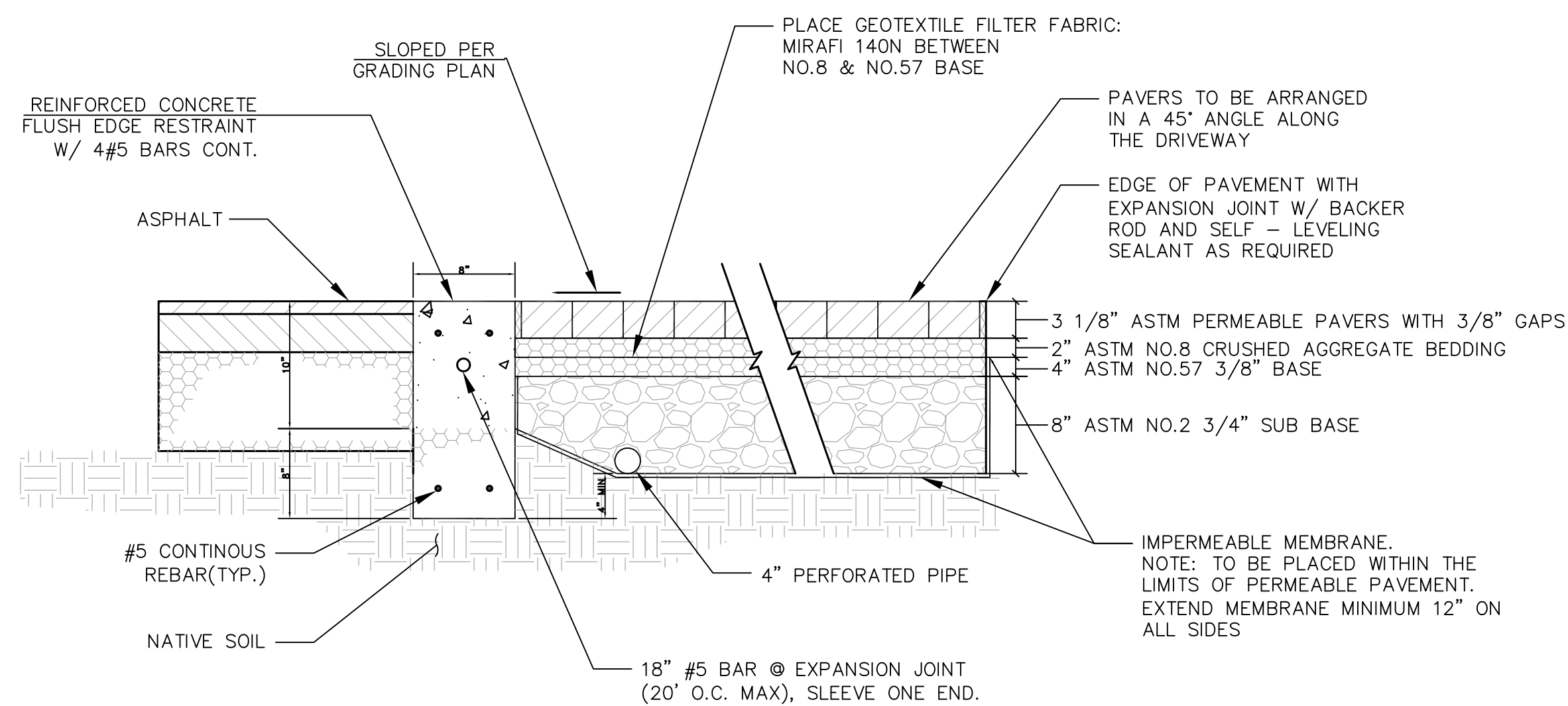
CITY OF MENLO PARK STANDARD DETAILS	
CURB, GUTTER, AND SIDEWALK	APPROVED: [Signature]
DATE: 10/21/13	SCALE: NTS
SHEET: 1 OF 1	STD. DETAIL No.: CG-3

CITY OF MENLO PARK STANDARD DETAILS	
DRIVEWAY WITH SEPARATE SIDEWALK	APPROVED: [Signature]
DATE: 1-1-97	SCALE: NTS
SHEET: 1 OF 1	STD. DETAIL No.: CG-14

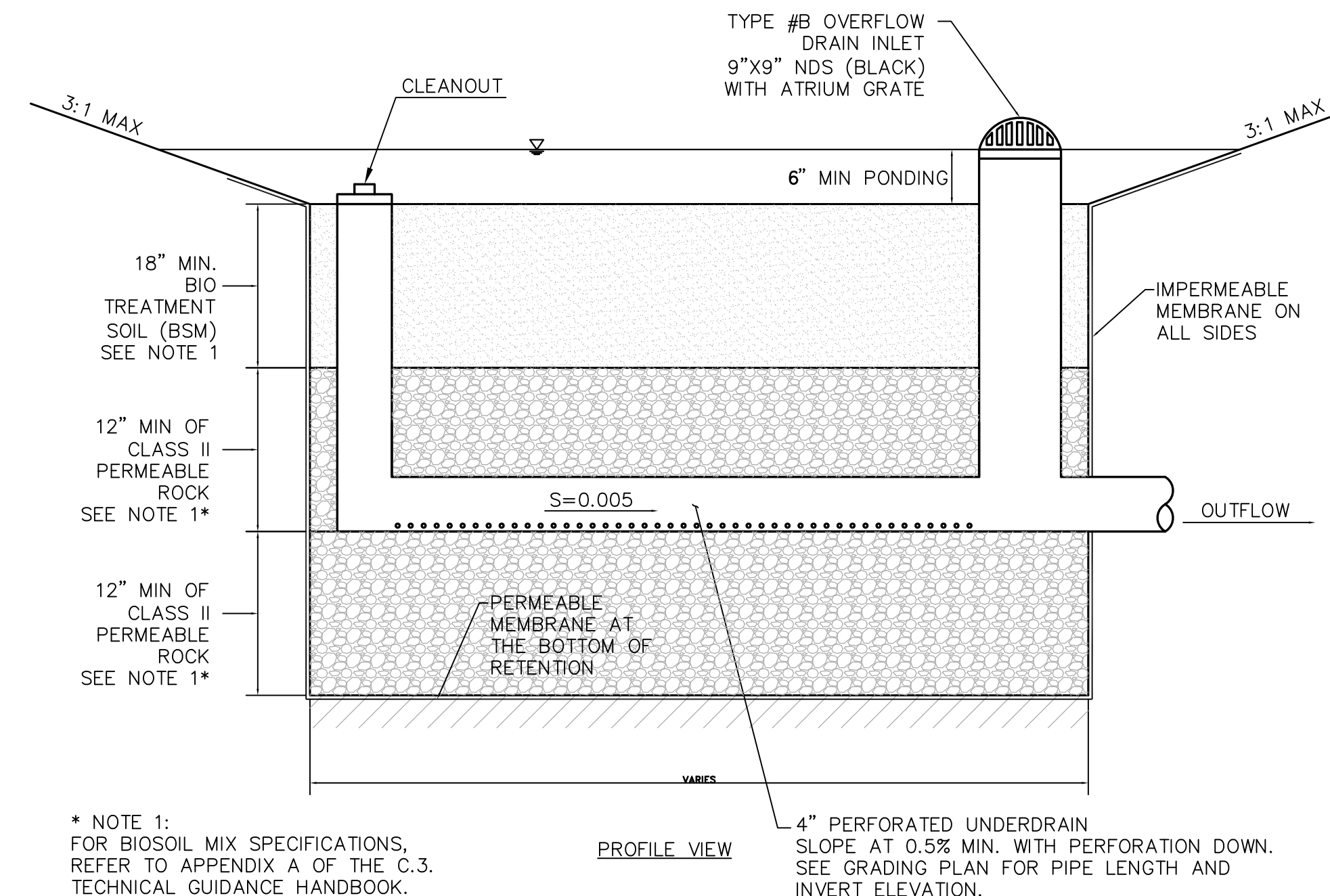
GENERAL CONCRETE NOTES 1

CURB, GUTTER, AND SIDEWALK 2

DRIVEWAY WITH SEPARATE SIDEWALK 3



PERMEABLE PAVEMENT SECTION 4



TYPICAL BIORETENTION AREA 5

REV.	DATE	DESCRIPTION
1	9/12/19	REVISION PER CITY COMMENTS DATED 8/1
2	12/05/19	REVISION PER SITE PLAN

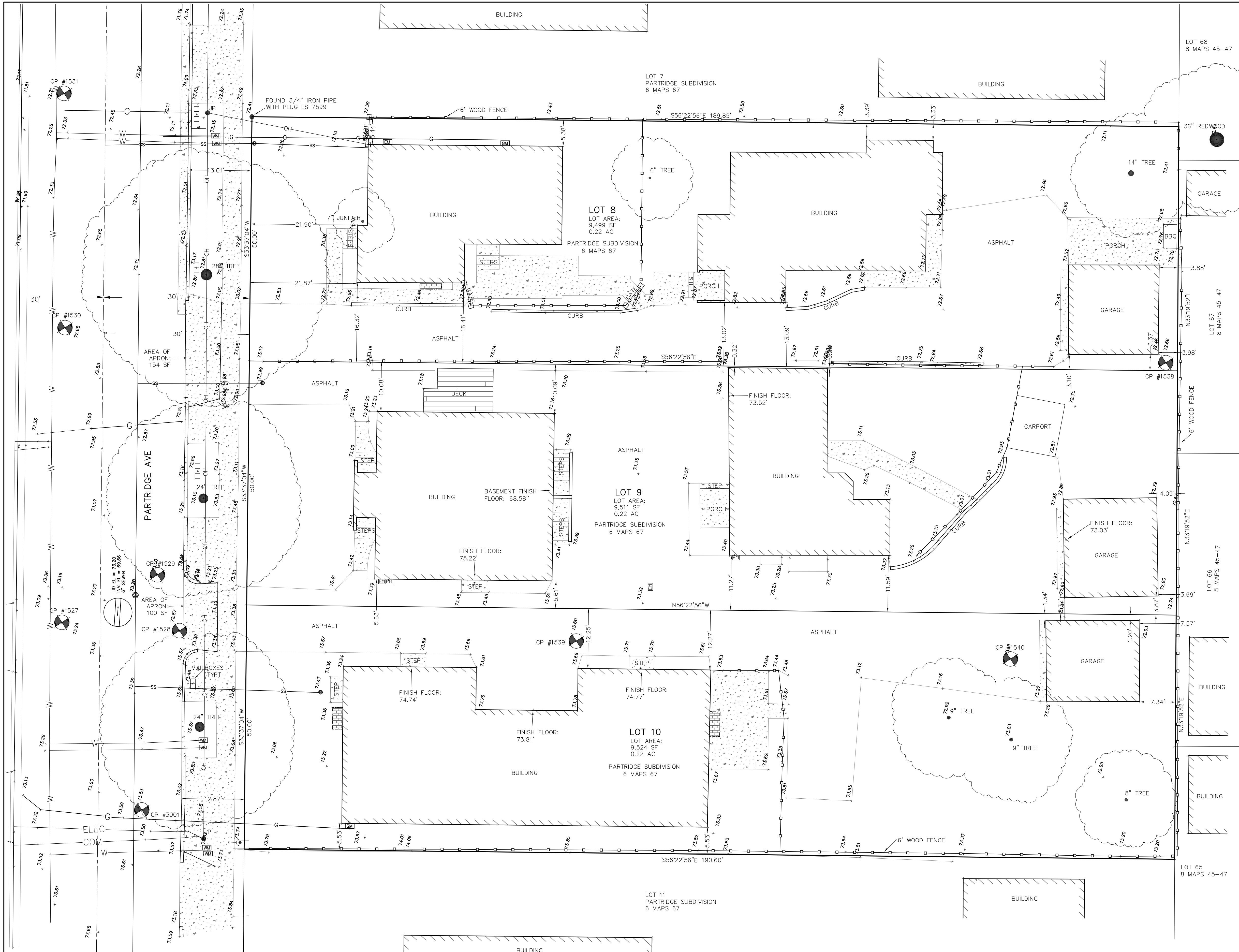
GREEN
 CIVIL ENGINEERING, INC
 INFO@GREEN-CE.COM
 1900 S. NORFOLK ST. SUITE #350
 SAN MATEO, CA 94403



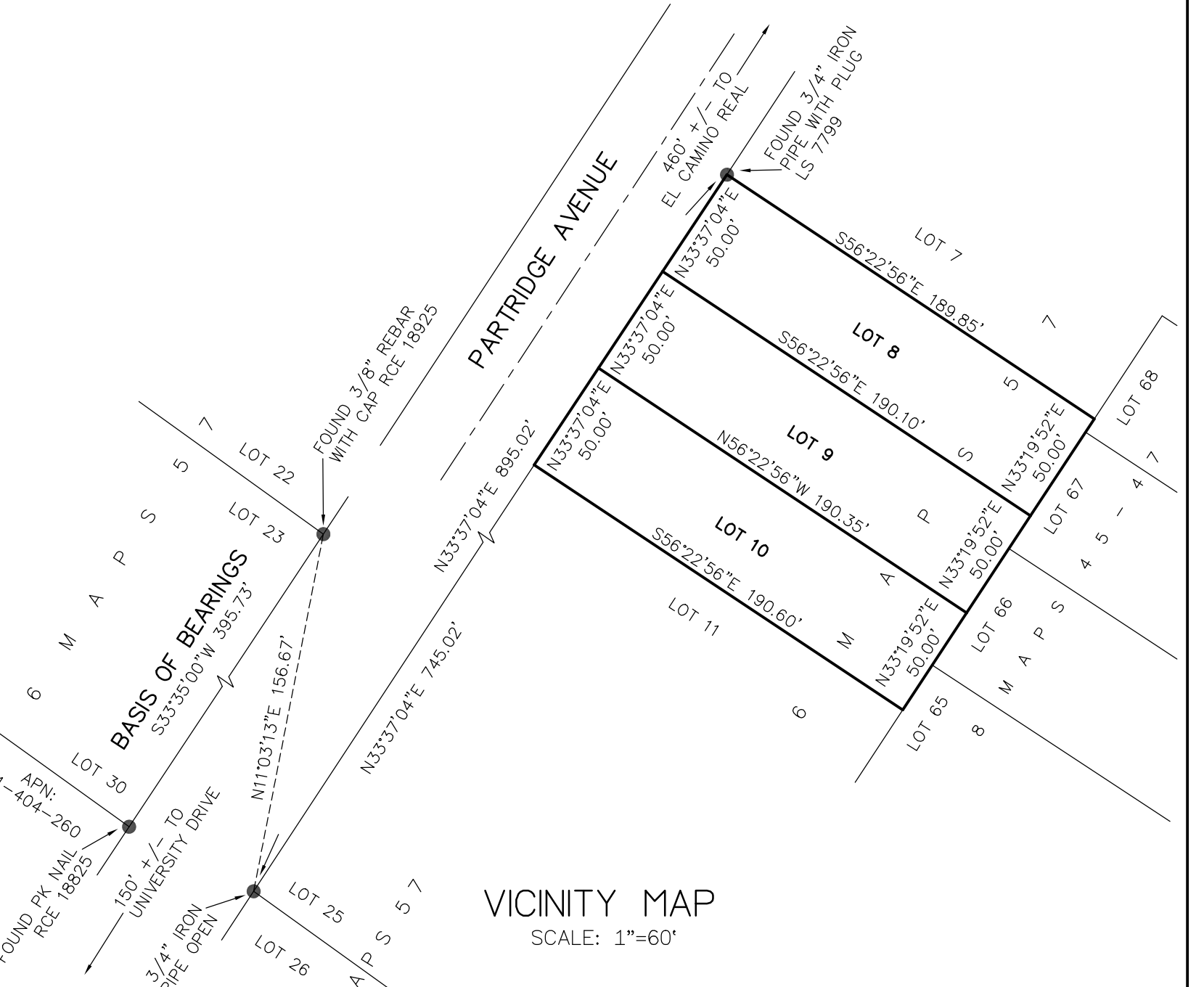
OWNER:
GOLDSILVERISLAND PROPERTIES, LLC

DETAIL SHEET
 TENTATIVE MAP
 661-687 PARTRIDGE AVENUE
 MENLO PARK, CA 94025

SCALE
 VERTICAL: 1"= AS SHOWN
 HORIZONTAL: 1"= AS SHOWN
 SHEET
TM 6
 7 OF 7 SHEET
 JOB NO.
 19211011



- ### LEGEND
- FOUND AS NOTED
 - SET 5/8" REBAR WITH PLASTIC CAP LS 9440
 - SET NAIL AND 3/4" BRASS TAG LS 9440 IN CONCRETE
 - ⊕ FIRE HYDRANT
 - ⊕ WATER VALVE
 - ⊕ WATER METER
 - ⊕ JOINT POLE
 - ⊕ GUYWIRE
 - W — BLUE PAINT - EVIDENCE OF UNDERGROUND WATER LINE
 - ⊕ ELECTRIC METER
 - ⊕ GAS METER
 - ⊕ MONITORING WELL
 - G — YELLOW PAINT, EVIDENCE OF UNDERGROUND GAS LINE
 - ⊕ PHONE BOX
 - ⊕ PHONE MANHOLE
 - P — EVIDENCE OF UNDERGROUND PHONE LINE
 - ⊕ TV BOX
 - OH — OVERHEAD LINE
 - TV — EVIDENCE OF UNDERGROUND TV LINE
 - ⊕ STORM DRAIN MANHOLE
 - ⊕ DROP INLET
 - ⊕ SEWER MANHOLE
 - ⊕ SEWER CLEANOUT
 - SS — GREEN PAINT - EVIDENCE OF UNDERGROUND SEWER LINE
 - ⊕ SIGN
 - ⊕ CONTROL POINT
 - ⊕ LAMP POST
 - ⊕ ELECTRIC BOX
 - ⊕ WOOD FENCE
 - ⊕ CONCRETE
 - LO LIVE OAK
 - WO WHITE OAK
 - RD REDWOOD
 - TYP. TYPICAL
 - — PROPERTY LINE
 - — CHAIN LINK FENCE
 - — P.U.E. PUBLIC UTILITY EASEMENT
 - — S.P.E. SLOPE PROTECTION EASEMENT
 - ⊕ BRICKS
 - ⊕ DECK
 - ⊕ BUILDING



UNDERGROUND UTILITY NOTE
 UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

SURVEYOR'S NOTE
 I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

Kenneth D. Wilson
 9/10-2019
 KENNETH D. WILSON LS 5571 DATE

GENERAL NOTES

- TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
- BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).

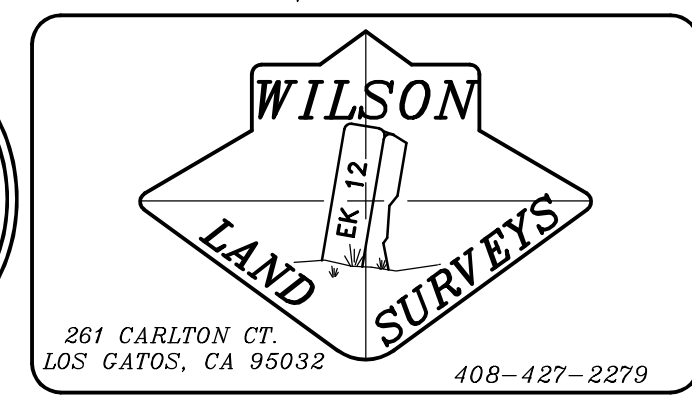
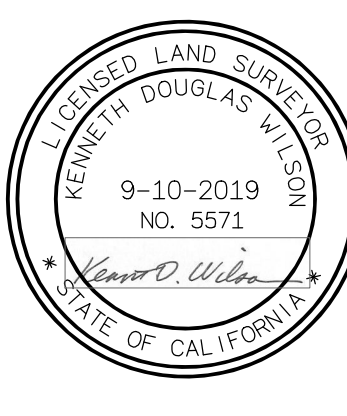
SITE BENCHMARK
 ELEVATIONS FOR THIS SURVEY ARE BASED ON BENCHMARK Z 151 WHICH IS A BRASS DISC IN CONCRETE ON THE EAST RIGHT-OF-WAY OF AVY AVENUE AT ALAMEDA DE LAS PULGAS SOUTH OF THE INTERSECTION AND NEAR A CATCH BASIN HAVING AN ELEVATION OF 140.72' NAVD88.

A TITLE REPORT WAS NOT AVAILABLE FOR THIS PROPERTY WHEN THE MAP WAS PREPARED. CAUTION SHOULD BE EXERCISED WHEN DESIGNING THE SITE. THERE MAY BE EXISTING EASEMENTS THAT IMPACT THE PROPERTY.

POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
1521	506.32	69.39	50377.1765	FD N+1
1522	51035.5898	50624.4741	73.240	CP MAGTIN
1528	51021.0282	50643.7499	72.870	FD WLS CP MAGTIN 1213
1529	51033.1020	50646.1950	73.000	FD WLS CP MAGTIN 107
1530	51085.8592	50657.8765	72.677	CP MAGTIN
1538	50987.0827	50843.0828	72.862	CP SPIRE
1539	50975.0113	50710.7399	73.598	CP N+1
1540	50923.5059	50783.3051	73.147	CP MAGTIN
3001	50994.4600	50617.2610	73.532	CP MAG + TIN

This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on this map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

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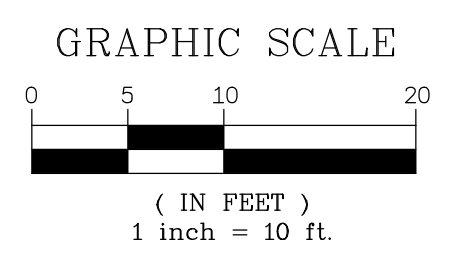
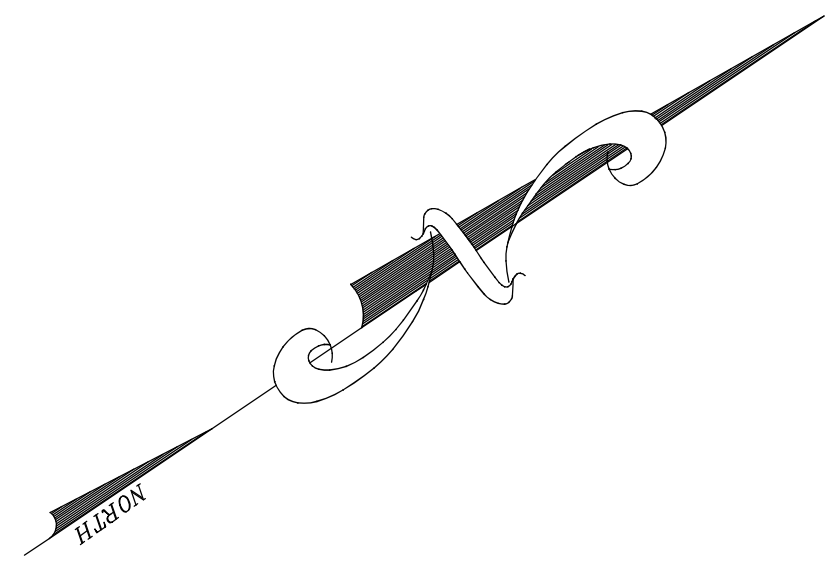
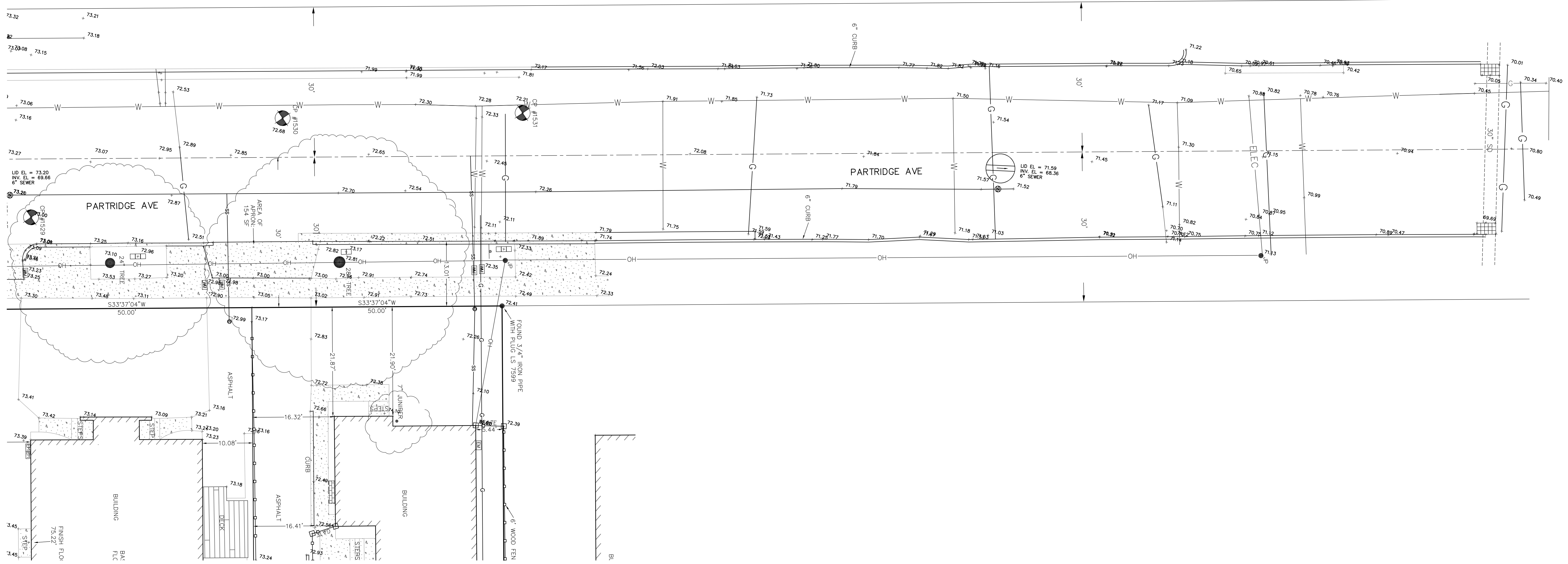
BOUNDARY AND TOPOGRAPHIC SURVEY

AS REQUESTED BY:
GOLDSILVERISLAND PROPERTIES LLC.

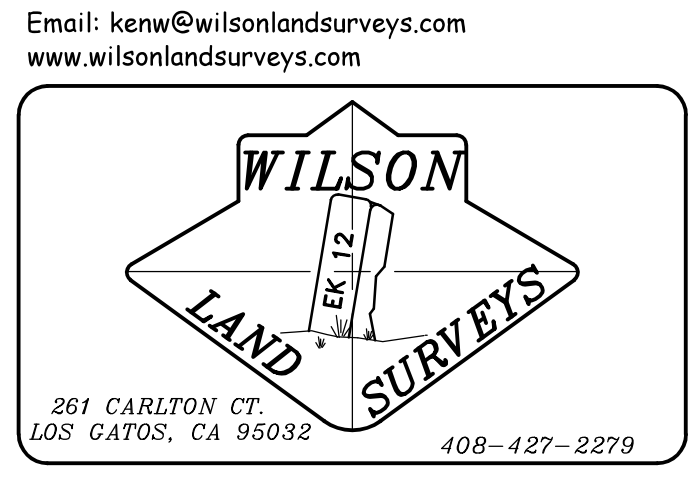
LEGAL DESCRIPTION: LOTS 8, 9, AND 10 OF BLOCK 2 PER 6 MAPS 57, CITY OF MENLO PARK, COUNTY OF SAN MATEO, STATE OF CALIFORNIA.

APN: 071-413-100, 071-413-110, 071-413-120
 DATE: AUGUST 2019
 FILENAME: K-001 LI PARTRIDGE BOUNDARY AND TOPO
 SITE ADDRESS: 661-687 PARTRIDGE AVE MENLO PARK, CA 94025

DRAWN BY: SCALE: PROJECT: JOB NUMBER: SHEET:
 CER 1"= 10' E-122 K-001 1 OF 2



BOUNDARY AND TOPOGRAPHIC SURVEY				
AS REQUESTED BY:				
GOLDSILVERISLAND PROPERTIES LLC.				
LEGAL DESCRIPTION: LOTS 8, 9, AND 10 OF BLOCK 2 PER 6 MAPS 57, CITY OF MENLO PARK, COUNTY OF SAN MATEO, STATE OF CALIFORNIA.				
APN: 071-413-100, 071-413-110, 071-413-120				
DATE: AUGUST 2019				
FILENAME: K-001 LI PARTRIDGE BOUNDARY AND TOPO				
SITE ADDRESS: 661-687 PARTRIDGE AVE MENLO PARK, CA 94025				
DRAWN BY:	SCALE:	PROJECT:	JOB NUMBER:	SHEET:
CER	1" = 10'	E-122	K-001	2 OF 2

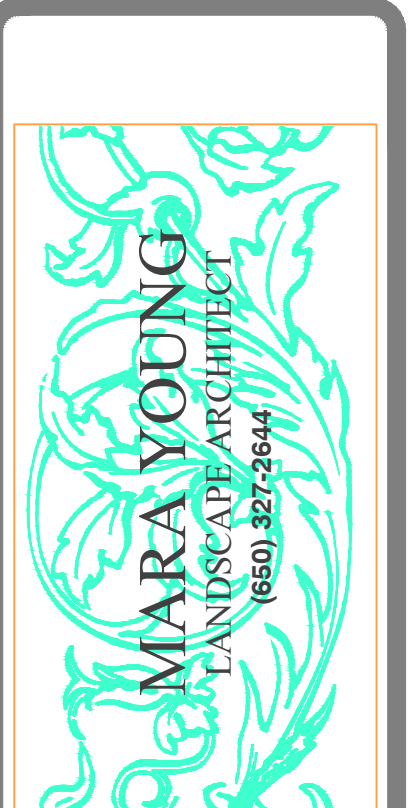


Email: kenw@wilsonlandsurveys.com
www.wilsonlandsurveys.com

TREE AND SCREENING PLANT LIST						
#	QU.	SIZE	BOTANICAL NAME	COMMON NAME	AGGREG. PLANT FACTOR	HEIGHT-WIDTH
A	1	24"BOX	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	M	40'-50" TALL x 25'-35" WIDE
B	3	24"BOX	PODOCARPUS GRACILIOR STD.	FERN PINE	M	20'-60" TALL x 10'-20" WIDE
C	26	156	PRUNUS CAROLINIANA 'BRIGHT AND TIGHT'	CAROLINA LAUREL CHERRY	L	12' TALL x 6' WIDE
D	7	156	PITTIOSPORUM 'SILVER SHEEN'	KOHJU	M	12' TALL x 6' WIDE

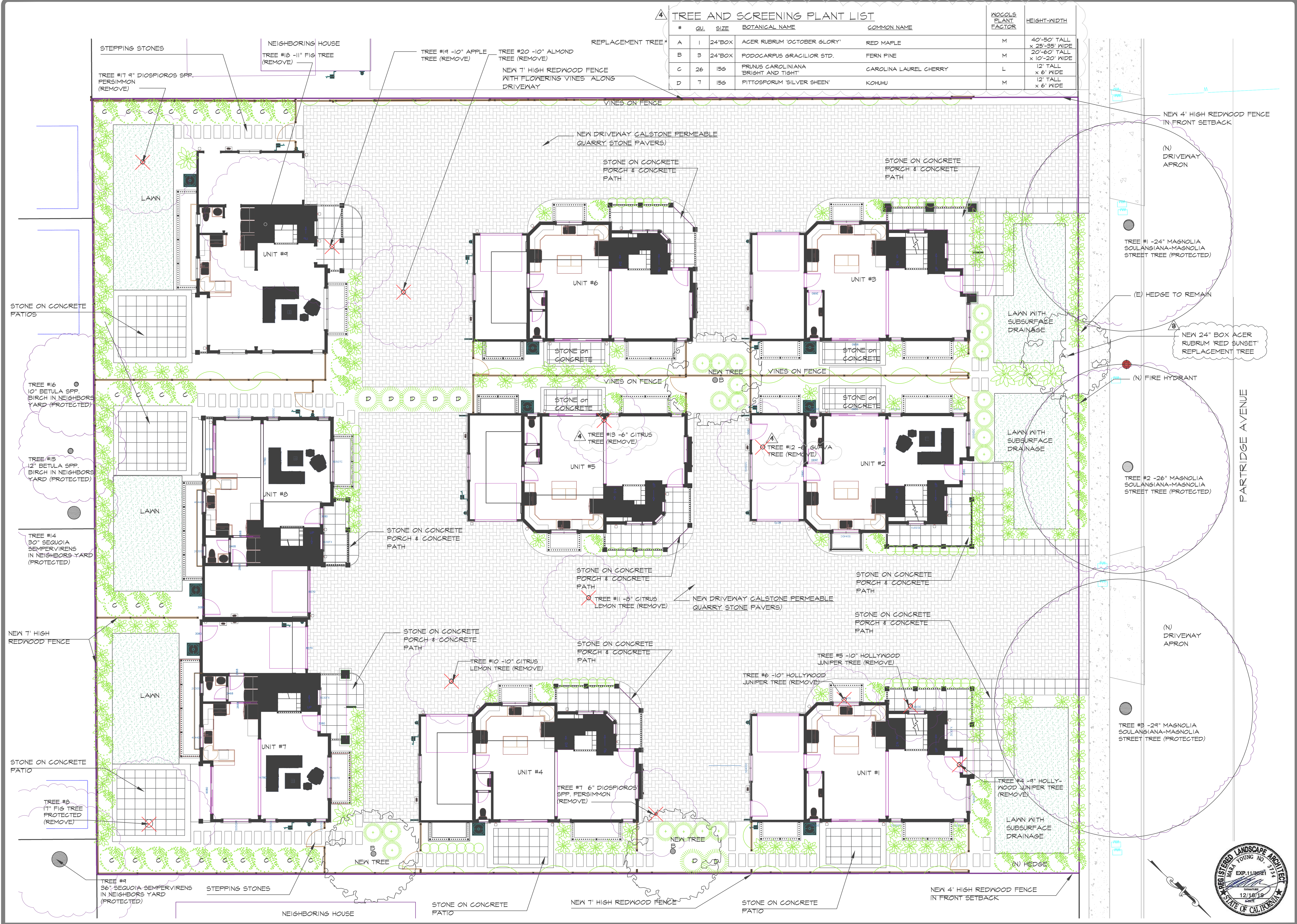
REVISIONS	BY
1	8/1/19 MY
2	8/17/19 MY
3	12/4/19 MY
4	12/18/19 MY

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PRELIMINARY LANDSCAPE PLAN
 NEW HOME FOR:
 GOLDSILVERISLAND
 661-687 PARTRIDGE AVENUE
 MENLO PARK, CA

DRAWN	MY
CHECKED	MY
DATE	6/17/19
SCALE	1/8" = 1'-0"
JOB NO.	xxx
SHEET	



PRELIMINARY LANDSCAPE PLAN



661-687 Partridge Avenue – Attachment D: Data Table

	PROPOSED PROJECT		EXISTING PROJECT			ZONING ORDINANCE	
Address	661-687	661-669	673-679	685-687			
Lot area	28,534.0 sf	9,499	9,511	9,524	sf	7,000.0 sf min.	
Lot width	50.0 ft.	50.0	50.0	50.0	ft.	65.0 ft. min.	
Lot depth	190.2 ft.	190.0	190.2	190.5	ft.	100.0 ft. min.	
Setbacks*							
Front	21.0 ft.	21.9	21.7	20.0	ft.	20.0 ft. min.	
Rear	20.3 ft.	48.4	58.5	95.4	ft.	20.0 ft. min.	
Side (left)	10.0 ft.	3.3	0.3	12.3	ft.	10.0 ft. min.	
Side (right)	10.1 ft.	13.0	11.3	5.5	ft.	10.0 ft. min.	
Building coverage	8,826.0 sf 30.9 %	2,599 27.4	2,598 27.3	2,611 27.4	sf %	9,986.9 sf max. 35.0 % max.	
FAL (Floor Area Limit)**	12,765.9 sf 44.7 %	2,599 27.4	2,598 27.3	2,611 27.4	sf %	12,840.3 sf max. 45.0 % max.	
2 nd Floor FAL**	4,801.2 sf 16.8 %	n/a	n/a	n/a	sf %	4,815.1 sf max 16.9 % max	
Landscaping	15,656.4 sf 54.9 %	3,664 38.6	2912 30.6	4,305 45.2	sf %	11,413.6 sf min. 40.0 % min.	
Square footage by floor	Units (1 - 3) 651.5 sf/1st 531.8 sf/2nd 888.9 sf/base- ment 224.7 sf/ garage 92.3 sf/porch Units (4 - 6) 665.5 sf/1st 531.8 sf/2nd 888.9 sf/base- ment 224.7 sf/ garage 101.8 sf/porch Units (7 - 9) 675.1 sf/1st 536.8 sf/2nd 753.6 sf/base- ment 213.4 sf/ garage 93.0 sf/porch	661 1,003 338 669 1,085 169	675/679 1,277 388 673 573 360	685/687 1,782 829	sf/1st sf/ garage sf/1st sf/ garage		
Square footage of buildings	21,221.4 sf	2,599	2,598	4,305	sf		
Building height	25.3-27.0 ft.	661 15.6 669 14.4	675/679 13.0 673 14.1	685/687 15.1	ft. ft.	28.0 ft. max.	
Parking	9 covered, 9 uncovered	3 cov/1 uncov	5 cov	3 cov/1 un cov		1 covered/1 uncovered per unit	
Note: Areas shown highlighted indicate a nonconforming or substandard situation.							

661-687 Partridge Avenue – Attachment D: Data Table

Trees

Heritage trees***	6	Non-heritage trees****	14	New trees	4
Heritage trees proposed for removal	1	Non-heritage trees proposed for removal	11	Total number of trees*****	12

*Setbacks measured to nearest unit on lot.

**Area includes area of the bonus unit

***Includes three street trees and two trees on a neighboring property.

****Includes three trees on neighboring lots.

*****Includes three street trees and four trees on neighboring properties.

661-687 Partridge
Project Description
(12-5-19 rev)

These 3 lots were purchased by Goldsilverisland from a very long-term owner. There are currently 7 units on them, all of which are rental housing. The proposed project would be entitled to 8 units under Lot Density and we are requesting to take advantage of the incentive program that encourages Below Market Rate (BMR) units adding another unit to the plan, bringing the total number of units to 9.

We are asking to merge 3 lots into 1 with 9 single-family homes, titled to be sold individually.

This pattern of homes is in character to the new developments occurring up and down Partridge Avenue for the last few years.

These units are 2-story with approximately 1400sf with an attached 1 car garage and 1 uncovered parking space. Each unit will also have habitable basements with 2 bedrooms and a game room bringing the total square footage of each unit to about 2100sf.

The owner has chosen 3 styles of home—Colonial, Farmhouse and Craftsman. These 3 styles are arranged throughout the development. Although the floorplans are very similar for the front 6 homes, elevations are very modified with varying roof lines, roof pitches, overhangs and window and porch treatments.

After several discussions with Engineering, it was concluded that a driveway serving 3 homes would need to be 18' wide minimum. The driveway serving the 6 homes is 24' wide minimum.

Because these driveways cover a great deal of the property, the owner has opted to have them built with permeable pavers to gain the 50% credit for driveway coverage.

We have worked to design a project that meets all Zoning and Design guidelines. We understand, however, that some light wells encroaching into setbacks will require a Use Permit.

A Neighborhood Meeting was held on the property, Thursday, July 11 at 6:30 to formally discuss this project with neighbors, show the design and receive input.

Door hangers regarding the meeting were delivered in advance, on Friday, July 5 to 615-755 Partridge Avenue and 612-750 Cambridge Avenue.

There were no negative comments about the project at the meeting. All but one person signed the attendance sheet. Goldsilverisland has developed 3 other projects on Partridge Avenue that have been well received by the neighborhood.

Subsequent to the neighborhood meeting Planning received 2 letters from neighbors. 1 note had concerns about the noise and energy use of a/c units, general concerns about condos and trees near unscreened windows. The other letter had concerns re construction impact and coordination with other projects and daylight plan compliance.

The air conditioning units will be compliant to the new T24 Energy Code requirements so they are much more quiet and efficient than older models.

In deference to neighbor privacy, windows have been oriented away from the adjoining properties. The units that are at the side of the property been designed to have no large windows to look down on the neighbors' properties. All of the egress windows are facing 'into' the complex or, at the rear of the development, into their own backyards.

Every home is compliant to the daylight plane requirements of Menlo Park.

Construction timing is dictated by the project process itself. All work will be performed according to local ordinances and guidelines re the days and hours of allowed operations, mitigation of dust and storage of materials.

This project should be considered as a Type 32 Exemption for CEQA (infill development project):

1. The project is consistent with the applicable general plan designation and all application general plan policies as well as all applicable zoning designation and regulations.
2. The proposed development occurs within City limits on a project site of no more than 5 acres substantially surrounded by urban uses.
3. The project site has no value as habitat for endangered, rare or threatened species.

4.(cont.) air quality, or water quality.

The project site currently has 7 dwelling units. Current General Plan density allows for 8 units, we have an additional 9th unit BMR. This will result in a net of 2 additional units beyond current use. The project provides for adequate driveways and parking for all units.

The project will implement current storm-water requirements to mitigate impacts to water run-off quality.

This project will comply with Menlo Park noise ordinance Chapter 8.06.

5. The site can be adequately served by all required utilities and public services, per preliminary discussions with those entities. Will-serve letters are in process.



EXCERPT MINUTES – DRAFT

Date: 1/13/2020
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Andrew Barnes called the meeting to order at 7:00 p.m.

B. Roll Call

Present: Andrew Barnes (Chair), Chris DeCardy, Michael Doran, Larry Kahle, Camille Kennedy, Henry Riggs (Vice Chair), Michele Tate (arrived at 7:03 p.m.)

Staff: Kaitie Meador, Senior Planner; Ori Paz, Associate Planner; Kyle Perata, Principal Planner; Corinna Sandmeier, Senior Planner

F. Public Hearing

- F1. Architectural Control, Major Subdivision, Use Permit, and BMR Agreement/Ying-Min Li/
661-687 Partridge Avenue:
Request for architectural control to demolish seven residences on three lots and construct seven new two-story, single-family residences, and one new two-story duplex, with attached garages on a standard lot in the R-2 (Low Density Apartment) zoning district. The project includes a request for a major subdivision to merge the three existing parcels and create nine condominium units. The project includes a request for a use permit for excavation within the required left side and rear setbacks for basement light wells. One below market rate (BMR) unit and one additional market-rate unit are proposed, per the density bonus provisions in the BMR Housing Program (Chapter 16.96.040), which allows density and FAR bonuses when BMR units are incorporated into the project. As part of the project, a 17-inch diameter heritage-size Fig tree (tree #8) in fair condition would be removed. The City Arborist has approved the heritage tree removal pending final action on the proposed project by the City Council. ([Staff Report #20-001-PC](#))

Staff Comment: Associate Planner Ori Paz said the applicant had provided an updated site plan with the correction reconciling the minor discrepancy in the area calculations. He said a condition of approval was included to capture that correction and it would be incorporated into the plan sets going to the City Council.

Questions of Staff: Commissioner Chris DeCardy referred to page 8 of the staff report and the City Attorney's finding that the Tenant Relocation Assistance requirements outlined in Chapter 8.56 did not apply. He asked if the reason for that finding was because the three existing residential units were on separate parcels. Planner Paz said that was correct. Commissioner DeCardy asked if those requirements would have applied if the three units had been on one parcel. Planner Paz said he would need to confirm that, but he thought it would have applied as the total number of units

was above the threshold triggering the requirements. Commissioner DeCardy asked if those current tenants had contacted staff with any concerns about the need to relocate or to receive assistance in relocating. Planner Paz said staff had not received any direct correspondence. He said the Housing Division and the project team met to go over relocation and the Below Market Rate (BMR) program generally before the item went to the Housing Commission. He said at that meeting and the subsequent Housing Commission meeting, he believed it was noted the tenants were given over a year's notice to vacate.

Applicant Presentation: Rick Hartman, Hometec Architecture, project architect, said this project was entitled for eight units but they were going for nine units to include one BMR unit. He said the footprint and floor area ratio (FAR) were so small with a one car garage that to have the units in the 2,000 square foot size range, they needed to do a full basement on each of them. He said each unit had an attached garage and an open parking space next to the garage. He said next to unit 8 were two open parking spaces required for Menlo Park Fire Protection District (MPFPD) access to unit 9. He said for the nine homes they were using three design styles and three interpretations of each. He said units 7 and 8 at the rear had been detached but the MPFPD wanted a 10-foot separation, which he could not fit. He said those two units were officially a duplex but were only joined at the garages and did not have any adjoining living space.

Commissioner Larry Kahle commented on the MPFPD's requirement for driveway width and paving versus the amount of landscaping provided. He asked if staff had concerns about that or options to provide more landscaping. Planner Paz said the use of pavers would count toward the open space landscaping requirement of 50% as those were permeable. He said the MPFPD's requirement for driveway width was a firm requirement. He said Planning staff met with the applicant, City Engineering staff and MPFPD staff to review the project looking for any flexibility with that, which resulted in the 24- and 18-foot driveways. He said if the Commission saw more opportunities for landscaping that it that was within their architectural control purview to make those recommendations. Commissioner Kahle indicated more greenery was desirable.

Commissioner Kahle said the offset between units 7 and 8 was only six inches. He said he thought if both were the same style they would work better. Mr. Hartman said he wanted the units to look like two separate houses. He said the small offset provided a leading corner that differentiated the two buildings from each other.

Commissioner Kahle referred to fascia and corner boards and asked if the intention was to paint the corner boards in an accent color. Mr. Hartman said some would be accent colors. He said they could blend all of them with the adjacent siding. Commissioner Kahle indicated that was his preference. He referred to unit 1 and the fascia returns at the gable ends. Mr. Hartman said the Colonial style had a fully filled-in soffit overhang. Commissioner Kahle requested that those be detailed carefully otherwise they could be clunky and boxy. Mr. Hartman said they would be smooth to the fascia. He said the soffit underneath was a little above, so the fascia extended a little bit below the soffit. He said he had provided a detail of this in the plans.

Commissioner Camille Kennedy commented on the project's need for more landscaping to enhance the development. Mr. Hartman said the MPFPD's requirement for a wide driveway was bothersome as it precluded landscaping. He said they could conditionally increase the amount of landscaping as to the number and size of the plants.

Commissioner Riggs said some windows had shutters and asked if those real shutters with hinges.

Mr. Hartman said they were not. Commissioner Riggs referred to sheet TM.2 that showed the lines for the condominiums. He said there were two sets of lines with one set outlining the buildings and one set dividing up the property into rectangles and lots. He referred to unit 6 and asked if the rectangle represented the condominium. Mr. Hartman said there was common area and easements. Commissioner Riggs said that made sense as a condominium owner could not own part of the site. He said that resolved his ultimate question regarding sufficient easements for backing up vehicles.

Commissioner Michael Doran said he had some concern with the light wells encroaching into side setbacks. He asked for elaboration on why light wells in the front and back were not sufficient. He said part of the purpose for the side yard setbacks was to allow for vegetation screening. He said it felt like a lot that the light well would encroach 2.5 feet into the required 10-foot setback. Mr. Hartman said the properties on each side had a 10-foot setback creating a 20-foot separation building to building. He said they expected to landscape around the light wells on the sides. He said most jurisdictions he worked with did not like or even forbade light wells in the front yard. He said he tended to put light wells into the rear and side yards as those were not visible to the public. He said with this site he did not have enough available footprint to put the light wells into the footprint of the houses. He said they could certainly ask the landscaper to put in more privacy trees in the side yard.

Commissioner DeCardy referred to page 8 of the staff report that said the applicant was not requesting exception from the parking requirements to reduce onsite parking, and that reducing onsite parking was staff's preference. He asked if the applicant would also prefer reduced onsite parking noting potentially more space for landscaping would be opened. Mr. Hartman said the homes were four bedrooms and he did not think reducing the parking spaces would work for the residents or neighbors.

Chair Barnes referred to page 8, second paragraph, in the staff report. He said it discussed some of the mechanics of the BMR obligation. He asked if in the future the applicants decided that one unit was rental and not for purchase what would occur. Planner Paz said a project-specific condition of approval had been added regarding that scenario and that the applicant would need to do what was required in that instance. Chair Barnes clarified with staff that once the BMR unit was designated as a for sale unit and the building processes completed that the unoccupied BMR unit was sourced to a third-party entity that proceeded to sell the unit irrespective of the applicant's wishes.

Commissioner Riggs asked if the purchaser of the BMR needed to move out of the area whether there were restrictions on that individual renting the BMR unit to someone else. Planner Paz said he did not think that would be allowed. He said there were restrictions outlined in the BMR program and he believed that was addressed. He said it also could not be used as short-term rental.

Commissioner Kahle referred to unit 1. He noted a two-story wall with a lower roof that stopped on the right coming from the porch. He asked if the lower roof could be connected to break up the two-story mass. Mr. Hartman said that was done intentionally to create a difference between unit 1 and unit 2, the latter having a roof that went straight across. He said as it was just an overhang that he could put a roof across on unit 1. Commissioner Kahle said that would be his preference.

Chair Barnes opened the public hearing.

Public Comment:

- Peter Colby, Menlo Park, said he lived across the street from the project. He said the same developer had redeveloped the lot next door to him. He said the drawings showed a number of AC units located next to 712 Partridge Avenue and his concern was noise and electricity demand for cooling. He said the drawings indicated five bathrooms in every unit and not 3.5 bathrooms. He said two baths and a laundry room were below ground on each unit. He said page 7 of the staff report said the applicant should comply with all the requirements of the Building Division and Engineering Department. He said the West Bay Sanitary District had a sewer main in the street that caused problems because the neighborhood did not have as much slope as other places in Menlo Park. He questioned that sewer pumps would be able to pump uphill to the main line. He said that was a sanitary health concern. He said he did not have confidence in the developer noting construction at 712 Partridge Avenue by them that informed his opinion.

Chair Barnes closed the public hearing.

Commission Comment: Commissioner Kahle said the project would provide nine homes, which was great and by his quick count increasing bedrooms from 12 to 30. He said the four recommendation items could be considered as one. He noted the major subdivision and asked if that was a direction Menlo Park wanted to go, in which smaller lots combined into larger lots that were then subdivided into condominiums. He said the mixture of three styles was a good approach. He said there was a lot of paving and he would like to see as much landscaping done as possible to soften the project. He said corner boards in his opinion should be painted out to match the main color. He said his preference was to make units 7 and 8 look like one unit and have the lower roofline on unit 1 connected. He said he agreed with the table of materials in the staff report except for the fake shutters, which he would like eliminated. He said the decorative wood railings in the rendering of unit 2 looked too gingerbreadly and would belong on a Victorian house rather than a farmhouse. He said he agreed that the three Craftsman units should have some consistency with planter boxes on all of them and for the farmhouse units to have consistency on the front doors and garage doors. He said he would recommend approval.

Commissioner Kennedy said she would echo Commissioner Kahle's comments. She said she thought one of the only ways the City would get a significant quantity and quality of housing in this neighborhood and a BMR unit as well was to do something like this proposal. She said she was fine with all of the proposed resolutions. She moved to recommend approval to the City Council on all four items.

Commissioner Doran said the architect indicated they would be open to doing landscaping on the sides. He said as drawn there were two light wells with a deck in between and steppingstones between the light wells and property lines. He asked what would be possible in terms of landscaping without the applicants having to redesign to remove the light wells on the side. Planner Paz said he would like to direct that question to the architect as he would have a better sense of what was possible from the design side. He said from a zoning ordinance requirement and related requirements standpoint the only really consideration of setbacks for landscaping was for things like heritage tree replacement and tree plantings. He said the City Arborist would need to review a planting plan to ensure that a tree would be planted where it could thrive.

Mr. Hartman said their landscaper did a traditional three-foot, two-and-a-half-foot walkway but that was not needed. He said they could move the steppingstones, so the walkway was only two-feet

wide and closer to the light wells. Commissioner Doran asked if that could be included as a condition. Mr. Hartman said that it would be fine to lessen the walkway area width and increase landscaping space to a four-foot width for privacy screening plants.

Commissioner Doran said with that included in the motion he would second the motion. He said his recommendation was for the architect to modify the plans for a narrower walkway and for plantings between the walkway and the lot line.

Commissioner Kahle asked if Commissioner Kennedy was open to recommending the applicants increase landscaping as much as possible. He said for instance cutting back the two-foot overhang at the front of the uncovered parking space so not every bit of the parking area had to be paved. Commissioner Kennedy said she was fine with that.

Replying to Chair Barnes, Planner Paz asked if the Commission had examples of creative solutions for additional landscaping, noting their direction would be helpful.

Replying to Chair Barnes, Commissioner Kahle said that the entire space for the minimum uncovered parking spaces did not have to be paved so that there would be a two-foot overhang between the vehicle tires and the end of the parking space. He said other jurisdictions allowed landscaping in those areas. He said there was a sea of paving so anywhere pockets could be identified to add landscaping was desirable. He noted the back corner of unit 9 that was paved all the way to the far corner. He suggested looking for areas like that where the paving could be cut back to soften the site. Planner Paz said that was helpful.

Commissioner Riggs said the duplex units were different styles. He said he hesitated to accept the logic that this created two different buildings. He said two disjointed styles would be seen as there was a 24-foot wide sight angle. He said also the proportion of those two buildings were identical. He asked if the architect might speak to the possibility of making the two garages the same color or paint scheme, which did not have to be one of the schemes that belonged to the building or to make them architecturally similar but in subtly different colors so it was recognized as a single building.

Mr. Hartman said he was trying not to make it look like a single building. Commissioner Riggs said he understood that, but the project was part of the shared street. He said he would like to hear other solutions. He said the garages could look like a third party and the two units could look independent, but the garages could be a pair of garages. Mr. Hartman said the porches were very different but after that the buildings were very similar. He said he could put the Craftsman style at unit 9 and put the farmhouse style at unit 7. He said the farmhouse had more similar styling and siding, more muted colors, all lighter than what the Craftsman would have. He said with that the two would not be so starkly different. He said he still wanted the two units to have different styles and colors. He said he wanted all nine homes to be unique even though with the two units the garages touched. Commissioner Riggs said that sounded like a potentially good solution and would like to hear Commissioners Kahle and Kennedy's comments on that. He said he also agreed with the request to paint out the corner boards that the architect had been amenable to. He asked if that could be added to the motion.

Commissioner Riggs said he fully supported planting more trees. He said he thought there might be three locations with possibilities for planting. He said one was in the landscape area between the light well and porch adjacent to the wide driveway. Mr. Hartman said all of the open parking

spaces could probably be backed into the driveway more to the limit of the needed turning radius. He referred to A.1. He said he could back each of the open parking spaces towards the driveway, which would open up landscaping space at the nose of parked cars. He said that would reduce paving and free up landscape area. Commissioner Riggs suggested planting a tree wherever there were cars parked face to face. He said that was done at one location already among units 2, 3, 5 and 6 but not among units 5, 6, 8, and 9. He said another potential location was behind unit 8 using a patio tree. He said where there was no planting space such as along the right edge of the property that a vine-like grevillea could be planted that would cling to the fence. He said it got quite woody and if not trimmed got quite tall. He said it also had significant purple flowers almost year-round. Mr. Hartman said the plan indicated a redwood fence with flowering vines along the driveway.

Commissioner Riggs asked if the motion could include painting out the corner boards that the applicant was amenable to and to plant trees wherever possible.

Chair Barnes asked Commissioner Kennedy as the maker of the motion if she wanted to include painting out the corner boards and adding trees as discussed. Commissioner Kennedy said she was amenable to both of those items. She said there was also discussion about swapping house styles. Commissioner Riggs said that the applicant seemed amenable to swapping out the front unit with the rear unit on the left row to minimize the difference between the two units on the end, which would keep three different house styles on the left. Commissioner Kennedy said she was fine with swapping house styles between units 7 and 9. She said she did not want to encumber the properties with anything that would make the unit difficult to sell or would necessitate the owner when the unit was purchased to redo the exterior to have its own personality as that might create a tense profile in the space. She said she was fine with swapping units 7 and 9 styles. Replying to Chair Barnes, Commissioner Kahle said he thought that would help considerably. He said Commissioner Riggs' observation that the two homes would be very visible down the 24-foot wide driveway was apt.

Replying to Planner Paz, Chair Barnes said the motion to recommend approval of the item to the City Council was made by Commissioner Kennedy and seconded by Commissioner Doran with additions to the motion regarding additional landscaping related to the light wells. Planner Paz clarified that included reducing the path around the light well and additional landscaping there. Chair Barnes said Commissioner Kahle had specific landscaping comments. Planner Paz asked that those be restated. Commissioner Kahle said that was to increase the amount of landscaping as much as possible using reduced paving for uncovered parking spaces and areas not specifically needed for fire access, and any pockets of land where it was possible to increase the overall amount of landscaping whether trees, bushes, or anything else. Planner Paz asked if that was meant to include the areas mentioned by Commissioner Riggs near the light well railing but off of the parking area. Commissioner Kahle said yes but deferred to Commissioner Doran. Commissioner Doran said regarding the light wells that he was really looking for trees between the light wells and the property lines for screening.

Planner Paz confirmed that the condition added by Commissioner Doran was to reduce the width of the path on the left side for units 1 and 4 and add landscape trees between the path and the property line on the left.

Chair Barnes confirmed with Commissioners Kennedy and Doran that they accepted the additional recommendation to paint out the corner boards painted. He referred to the discussion to swap out

styles on units 7 and 9. He said Commissioner Riggs commented on trees and asked him to clarify again what was wanted. Commissioner Riggs said his comments were largely in support of other comments regarding trees.

Chair Barnes restated the motion as modified made by Commissioner Kennedy and seconded by Commissioner Doran to recommend to the City Council approval of Architectural Control, Use Permit, and Vesting Tentative Map and Below Market Rate (BMR) Housing Agreement per Attachment A with recommended modifications as stated.

ACTION: Motion and second (Kennedy/Doran) to recommend to the City Council approval of the project as stated in the resolutions submitted with the staff report with the following modifications; passes 7-0.

7i. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans showing the following changes, subject to review and approval by the Planning Division:

- a. Reduced width of the path around the light wells in the left side yards of units #1 and #4 and additional landscape screening trees between the path and the property line;***
- b. Onsite landscaping increased as much as possible in:***
 - i. Areas not required for fire access; and***
 - ii. Areas not required for vehicle movement, such as uncovered parking areas reduced to the minimum allowable area and backup, front and rear yard areas, areas adjacent to light wells and pathways to yards;***
- c. All corner boards painted to match the color of the siding of the walls that they terminate; and***
- d. The craftsman style of unit #7 exchanged with the farmhouse style of unit #9, to soften the distinction between the two units that comprise the duplex (unit #7 and unit #8).***

End of Item F.1



STAFF REPORT

City Council

Meeting Date:

2/11/2020

Staff Report Number:

20-033-CC

Regular Business:

Authorize city manager to negotiate with Team Sheeper to temporarily suspend Belle Haven pool operations until Belle Haven community center and library project is completed and Belle Haven pool is reopened or rebuilt and, if not successful, terminate the Belle Haven pool portion of the operating agreement

Recommendation

City staff recommends the City Council authorize city manager to negotiate with Team Sheeper to temporarily suspend Belle Haven pool operations until Belle Haven community center and library project is completed and the Belle Haven pool is reopened or rebuilt and, if negotiations are not successful, terminate Belle Haven pool portion of operating agreement. All other terms and conditions of the agreement will remain in effect.

Policy Issues

At their meeting January 28, the City Council accepted the recommendation from the City Council ad hoc committee on the Belle Haven community center and library and adopted a resolution of intent to work with Facebook, Inc. on the construction of a new public facility, City Council direction is needed for the Belle Haven pool facility operation due to the pending impacts of construction. City Council authorization is required to allow the city manager to amend or terminate the agreement with the pool operator.

Background

On October 15, 2019, the City Council informed staff that they wished to evaluate the terms and conditions of the Team Sheeper agreement. Staff informed City Council that per the agreement, the City must inform Team Sheeper not less than 180 days prior to the expiration of the term or extended term which is August 30 that it intends to evaluate the terms and conditions or terminate the agreement. If there is no notice, the agreement will automatically renew for successive 12-month periods. The last date to change the terms of the agreement for the upcoming year is February 29; otherwise it will automatically renew for one more year.

On December 16, 2019, Facebook, Inc. presented the City with an offer to explore funding and the development of a new Belle Haven community center and library that would replace the current facilities including the Onetta Harris Community Center, Menlo Park Senior Center, Belle Haven Youth Center and Belle Haven Library. Although the offer did not include the Belle Haven pool as part of the project, Facebook offered to renovate the amenities near the existing swimming pool such as new locker rooms, and additional areas for picnics and gathering places that complement the renovated complex. Facebook is open to building a new pool if additional funding sources were identified by the City or third parties. Additionally, Facebook committed to design a new arrival area and parking lot, circulation and drop-off zones which

could potentially impact the current footprint of the swimming pool.

The conceptual designs of the new complex were presented at a community meeting January 11 at the Menlo Park Senior Center. In those designs, some changes were suggested to the current Belle Haven Pool that would consolidate locker rooms and changing areas in the proposed gymnasium wing of the new facility, reducing the size of the existing pool house and mechanical room while adding picnic and other gathering places to the complex. The proposed changes to the pool's overall footprint as well as the anticipated impacts to pool users during construction requires City to evaluate its ability to provide services at the pool location.

The City also completed the Belle Haven pool audit and master plan which was accepted by the City Council at their meeting November 7, 2017. At the meeting the City Council was presented various options for major renovation and replacement of the pool with Option B being the preferred option which recommended a new aquatic facility on the existing site with increased programming potential to meet the City's programmatic goals and expected future demands.

Analysis

The professional services agreement executed between the City of Menlo Park and Team Sheepier, Inc. to provide recreational aquatic programming (Attachment A) includes services at both Burgess pool located at 501 Laurel Street, and Belle Haven pool located at 100 Terminal Avenue in Menlo Park. A complete background of the agreement with Team Sheepier is also included in a memo as (Attachment B.) The agreement outlines the scope of services to be provided as well as the terms and conditions. The term of the agreement began April 1 April 1, 2018, and runs to August 30. The agreement provides that if it is not terminated with 180-days' notice, the agreement will automatically renew for successive 12-month periods (as extended terms) and subject to all the same terms and conditions of the agreement. Either party can request an evaluation of the terms and conditions of the agreement or termination as long as they provide notice 180 days prior to the expiration of the term or extended term. This notice must be provided by February 29. If notice is not provided, the agreement will automatically renew until August 31, 2021.

As part of the current agreement, the City pays Team Sheepier a management fee of \$5,000 per month or \$60,000 per year for the operation of the Belle Haven pool. This amount corresponds to the annual funding amount that the City receives from Facebook, Inc. per section 9.1.1 of the development agreement dated December 14, 2016 and recorded in the Official Records of the county of San Mateo as Doc # 2016-133794. The agreement states that if the services at Belle Haven pool are terminated, the management fee shall also terminate. The funds received from Facebook can only be used to subsidize the Belle Haven pool operations.

Now that the City Council has adopted the resolution of intent January 28, construction of the new Belle Haven community center and library may begin in January 2021. Substantial impacts are expected to occur during construction which will negatively impact the surrounding area and the ability to operate the pool. Given the desire to transition services starting in the fall 2020 and the Team Sheepier agreement term ending August 30, City staff is recommending the closure of the Belle Haven pool and amending the current agreement to reflect the changes in the City's pool operations.

Staff's recommends suspending Belle Haven pool operations until the pool is reopened or rebuilt. Since staff does not yet know-how long the pool will be closed, Team Sheepier may not agree to an open-ended suspension. If that is the case, staff is also requesting authority to terminate the Belle Haven portion of the agreement effective August 30. This date aligns well with the projected start of construction. Staff does not recommend reopening the contract for the Burgess pool operations at this time.

Proposed next steps

1. City Council to authorize city manager to negotiate with Team Sheeper to suspend Belle Haven operations until Belle Haven community center and library project is completed and Belle Haven pool is reopened or rebuilt and, if not successful, terminate the Belle Haven pool portion of the operating agreement with all other terms and conditions remaining in effect.
2. Direct City staff to return to City Council in 2021 to study whether the City should evaluate the terms and conditions of the Team Sheeper agreement for Burgess pool, Belle Haven pool or both pools, which may or may not include a recommendation to do a request for proposals (RFP) for future operations of the pools.

Impact on City Resources

Closure of the Belle Haven will reduce revenue by \$60,000 which offsets the Belle Haven pool management fee payment to Team Sheeper. Also, the cost savings from the Belle Haven pool closure expenses (chemicals, utilities, repairs and maintenance) is estimated at approximately \$110,000 in fiscal year 2020-21 and \$175,000 in fiscal year 2021-22 with the anticipated closure.

Environmental Review

This action is not a project within the meaning of the California Environmental Quality Act (CEQA) Guidelines §§ 15378 and 15061(b)(3) as it will not result in any direct or indirect physical change in the environment.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

- A. Team Sheeper, Inc. professional services agreement dated March 27, 2018
- B. Background for Team Sheeper, Inc. agreement memo

Report prepared by:
Derek Schweigart, Community Services Director

PROFESSIONAL SERVICES AGREEMENT
(Menlo Park Aquatic Facilities)

This Professional Services Agreement (“Agreement”) is made and executed as of March 27, 2018, by and between the City of Menlo Park, a municipal corporation (“City”), and Team Sheeper, Inc., a California S Corporation (“Provider”), referred to herein individually as “Party” and collectively as “Parties”.

WHEREAS, City is the owner of certain premises (“Premises”) described below, and desires to provide recreational aquatics programming for the benefit of the community at the Premises;

WHEREAS, City desires to engage Provider to provide the recreational aquatics programming, including swim instructors and certified lifeguards to provide lap swim, open swim, youth swim team, youth and adult swim lessons, youth camps, masters swim, aqua-fit classes and lane rentals for community swim teams and other community organizations at the Premises (“Services”) consistent with the current level of programming;

WHEREAS, Provider has been providing the Services pursuant to a Lease Agreement, which is expiring on March 31, 2018, and has the necessary professional expertise, qualifications and capability, and all required licenses and/or certificates to provide the services; and

WHEREAS, City and Provider desire to enter into this Agreement on the terms and conditions set forth below.

NOW, THEREFORE, the Parties agree as follows:

1. PREMISES. The Premises includes both the “Burgess Pool”, 501 Laurel Street, Menlo Park, CA and the “Belle Haven Pool”, 100 Terminal Avenue, Menlo Park, CA as defined herein. Burgess Aquatic Facility (“Burgess Pool”) consists of the fenced pool area at the City’s Civic Center campus at Burgess Park. Burgess Pool includes the lap pool, instructional pool, toddler activity pool, locker rooms and restrooms, offices, lawn area, pool mechanical room, lobby area, and all associated areas in the City of Menlo Park, County of San Mateo, State of California, as more particularly shown in Exhibit A, attached hereto and incorporated herein by reference. The Belle Haven Pool (“Belle Haven Pool”) is a six-lane x 25-meter outdoor swimming pool located adjacent to the Onetta Harris Community Center. Belle Haven Pool includes a locker room, shower facilities, mechanical room, office and small children’s wading pool in a fenced area as shown in Exhibit B, attached hereto and incorporated herein by reference.

2. SCOPE OF SERVICES. Provider shall perform the Services, as more particularly described in Exhibit C attached hereto and incorporated herein by this reference in accordance with the terms and conditions contained in this

Agreement. Performance of all Services shall be to the reasonable satisfaction of the City.

3. TERM. The term of this Agreement shall commence on April 1, 2018 and shall terminate on August 31, 2020 ("Term"). If not terminated as set forth hereinafter, this Agreement shall automatically renew for successive 12-month periods (each year an "Extended Term"), subject to all of the same terms and conditions contained in this Agreement. Not less than 180 days prior to the expiration of the Term or Extended Term, either of the Parties may provide written notice requesting either an evaluation of the terms and conditions of this Agreement or termination of this Agreement. In the event no such notice of termination is given, this Agreement shall automatically continue for an Extended Term.

4. BELLE HAVEN POOL MANAGEMENT FEE. The City shall pay Provider a management fee for the operation of the Belle Haven Pool in an amount not to exceed Five Thousand Dollars (\$5,000) per month or Sixty Thousand Dollars (\$60,000) per year, unless otherwise approved by the City Council. The City currently receives annual funding for the Belle Haven Pool from Hibiscus Properties, LLC ("Facebook") pursuant to Section 9.1.1 of the Development Agreement dated December 14, 2016 and recorded in the Official Records of the County of San Mateo as Document Number 2016-133794. In addition to the management fee, pursuant to the terms of the prior Lease Agreement, the City shall pay to Provider Five Thousand Dollars (\$5,000) per month for the period January 1, 2018 through March 31, 2018 for a total of Fifteen Thousand Dollars (\$15,000) for operating the Belle Haven Pool, subject to and upon receipt by the City of funds from Facebook covering that time period. To the extent Provider has been paid all or any portion of the management fee directly by Facebook, the City shall be relieved from the requirement to pay such amount to Provider. If and when such annual funding is reduced or terminated, the City may terminate the Services at the Belle Haven Pool after providing 30 days' advance written notice to Provider. Provider shall be paid pro rata for Services performed at the Belle Haven Pool up to the termination date. If the Services at the Belle Haven Pool are terminated, the management fee shall also terminate.

5. EXCLUSIVE USE OF PREMISES. Subject to the terms of this Agreement, Provider shall have exclusive use of the Premises for the purposes of conducting aquatics programs, including, but not limited to, a masters swim program, swim team, swim lessons, fitness training, recreational swimming, community rentals and other aquatics programs and providing for reasonable public access to and use of the Premises pursuant to Section 6 of this Agreement. Provider shall have the exclusive right to staff, supervise and contract for such use of the Premises, subject to the terms of this Agreement. The Parties specifically agree that Provider shall accommodate the SOLO swim team's use of Burgess Pool in accordance with schedule and terms set forth in Exhibit D, which shall not

be modified without mutual agreement of Provider and SOLO, unless SOLO is in breach of its contract with Provider.

Provider shall have non-exclusive use of the locker rooms, as depicted on Exhibit A and Exhibit B, to accommodate Provider's use of the Premises. The Parties agree that use of the locker rooms shall be limited to persons participating in programs and activities offered by Provider or City or other members of the public upon payment to Provider of fees for such use. Specifically, City reserves the right to use the locker rooms for any City program, including facility rentals and programs and for public use on a "pay for use" basis. Provider may only refuse locker room access when patrons fail to follow the rules of conduct approved by the City. Patrons shall have the right to appeal Provider's decision to the Director of Community Services, if the patron feels denial of locker room access was unreasonable. The Director of Community Services' decision shall be final.

6. OPERATION, COMMUNITY ACCESS AND SCHEDULING. Provider may operate the Premises between the hours of 5 a.m. to 10 p.m. seven days a week, 365 days a year. Provider currently operates the Burgess Pool from 5:45 a.m. to 8:00 p.m., and until 10:00 p.m. on Tuesdays and Thursdays Monday through Sunday and the Belle Haven Pool from 3:00 p.m. to 7:00 p.m. Monday through Friday. Provider may reasonably modify, subject to prior written approval from the City, which shall not be unreasonably withheld, the current schedule at either the Burgess Pool or the Belle Haven Pool if staffing is not possible or if it is not financially feasible to operate during certain hours. The City will provide its consent or objection to the requested change within 10 business days or the request will be deemed approved.

Provider will be responsible for the scheduling of the Premises. Provider shall provide reasonable public access and community use of the Premises. Provider will not reduce the public access and community use without prior City approval from the Director of Community Services who is authorized to finalize the City's schedule of use of the Premises. When evaluating the pool space and time allocation, Provider shall consider and give scheduling priority for programs based on the number and percentage of City residents.

Burgess Pool: Minimum public access and community use will include:

- a. Year-round lap swim, seven days per week (except holidays);
- b. Seasonal open/recreational swim daily from Memorial Day through Labor Day for a reasonable amount of time and with adequate pool space;
- c. Reasonable availability for other community organizations/users;
- d. Programs and reasonable accommodation for all ages and abilities;
- e. Inclusive programs for people with disabilities when possible; and
- f. Winter programming subject to the City's provision a dome over the instructional pool, if possible.

Belle Haven Pool: Minimum public access and community use will include:

- a. Open to the public for a minimum of 10 weeks during the summer season in June, July, and August. During that time period, the pool shall be open for a minimum of six days a week, Monday through Saturday; and
- b. Open/recreational swim hours will be at least three hours per day, six days per week but will be allowed on a “pool sharing” basis with other programming.

7. PROGRAM REGISTRATION AND FEES. Provider shall be responsible for having a method for the public to register and pay for programs. Provider shall collect all program fees for the Services provided pursuant to this Agreement. The program fees charged by Provider shall be as follows:

- a. The fees charged by the Provider for public lap swimming, open/recreational swim, and swim lessons shall be comparable to rates and fees charged by other aquatic facilities in surrounding communities and in alignment with the approved business model.
- b. Provider shall provide rental space for other community organizations and users for competitive youth swimming programs, instructional programs, fitness training, etc., on a reasonable and comparable fee basis.
- c. Review of the program fees shall be included in the annual report to the City. Although Provider is responsible for setting program fees, Provider shall consider both City input and market rates in establishing the program fees.
- d. The City will provide limited conference room space at the Arrillaga Family Gymnasium free of charge for Provider’s team meetings and trainings, subject to availability.
- e. The City will make sports field space at Burgess Park available free of charge for Provider camps and programs in exchange for pool use for City camps and programs, both subject to availability.

8. REVENUE SHARING. Provider shall maintain an annual profit and loss statement (“Statement”) during the Term and any Extended Term of this Agreement. The Parties acknowledge that the Provider’s Statement includes revenue from the Services at the Premises and also Menlo Fit/Boot Camp revenue and triathlon team revenue. If Provider’s revenue from the Services provided pursuant to this Agreement, exclusive of Menlo Fit/Boot Camp revenue and 2/3 of the triathlon team revenue, exceeds Three Million One Hundred Forty Thousand (\$3,140,000) in a single calendar year, Provider shall pay to the City 30 percent such revenue within 60 days of the end of the year.

9. PROGRAM ADMINISTRATION. Provider shall have adequate administrative staff and assistance to support all hours of operation. Policies and procedures for handling registration, refunds, and complaints are required. Provider shall maintain a customer database and appropriate records retention.

Provider shall develop sufficient communication and marketing in order to inform the public of the programs and services. The City will provide reasonable marketing space in the tri-annual activity guide for the Provider to promote their aquatics programs at the Premises, subject to availability. Provider shall be responsible for meeting the deadlines and providing accurate and sufficient information to City staff.

Provider shall take appropriate steps to maintain a high level of customer service and overall satisfaction at all times. Provider shall be engaged with City staff and regional aquatics groups throughout the year and shall attend an annual meeting convened by the City. Additionally, Provider shall prepare and provide an annual report no later than January 30 of each year to City staff, which will be presented to the City's Parks & Recreation Commission for review and comment by the Commission at its February meeting. The annual report should include the following items:

- a. Total program hours by program area;
- b. Participation statistics by program area including resident and non-resident percentages;
- c. Customer satisfaction survey results;
- d. User group feedback by program area or rental;
- e. Pool schedule and allocation by program for previous year and projections to the upcoming year;
- f. Fees by program area and a fee comparison to other public pools in the region;
- g. Annual audits and reviews demonstrating standards of care, outlined in Section 12, below, are met;
- h. Risk management documentation, outlined in Section 13, below; and
- i. Training certifications listed by staff member.

Provider shall maintain reasonable evidence and documentation of this information and have these records accessible to the City at any time following 10 days written notice.

In the event of a third-party dispute or conflict arising out of or related to this Agreement, the City will use best efforts to notify and discuss the issue with Provider before engaging in any dialogue with the third-party involved.

10. COMPLIANCE WITH LAWS AND REGULATIONS. Provider shall comply with all city, county, state, and federal laws and regulations related to pool and aquatic program operations. These regulators and laws include but are not limited to:

- a. City of Menlo Park
- b. Menlo Park Fire Department
- c. San Mateo County Health Department
- d. California Department of Health Services

- e. California Department of Labor
- f. Occupational Safety and Health Administration (OHSA)
- g. Emergency Medical Services Authority (EMSA)
- h. Consumer Product Safety Commission & Virginia Graeme Baker Act
- i. Americans with Disabilities Act
- j. California Department of Fair Employment and Housing

11. HEALTH AND SAFETY. Provider shall maintain health and safety standards in a reasonable and acceptable manner for the Premises, participants, and its employees in compliance with City standards and the other regulatory agencies listed in Section 10 above. These standards include but are not limited to:

- a. Employee Injury and Illness Prevention Plan
- b. Hazardous Materials Communications and Business Plan
- c. Blood borne Pathogens and Bio Hazardous Exposure Control Plan
- d. Lifting and Fall Prevention
- e. Electrical Safety
- f. Emergency Action Planning
- g. First Aid
- h. Heat Illness and Sun Protection
- i. Confined Spaces
- j. Chemical Storage
- k. Personal Protective Equipment
- l. Recreational Waterborne Illnesses (RWI's)
- m. Signage

Provider is responsible for keeping up to date with all changes, additions, or amendments to the laws, regulations and codes related to pool operations and aquatics programs.

12. STANDARD OF CARE. Provider shall provide aquatic programs and manage the Premises in a manner that is comparable to or above the standard of care that is reasonable and acceptable for a public pool in the surrounding communities. This standard of care should be demonstrated in all areas of operations including: supervision and lifeguard coverage, surveillance techniques, staff training, record keeping, basic maintenance and janitorial services during business hours, cleanliness of facilities, safety, and risk management. Provider is expected to ensure this standard of care by conducting annual audits by qualified external experts and including this information in the annual report to City staff and the City's Parks and Recreation Commission identified in Section 9, above.

13. RISK MANAGEMENT. The Provider shall take all appropriate and necessary steps to provide adequate risk management planning to minimize liability or negligence by the Provider. The Provider shall manage their risk by demonstrating proficiency in the following areas:

- a. Emergency Action Plan - staff training plan, drills conducted, emergency equipment and communication process.
- b. Facilities & Equipment - inspection, maintenance, and checklists.
- c. Supervision - quality, quantity, lesson plans and progression.
- d. Training - requirements and appropriate staff.
- e. Documentation - manuals, waivers, medical screening, skills screening, risk information provided to public, policies and evaluations.

14. EMERGENCY ACTION PLAN AND PROCEDURES. Provider shall create and maintain all emergency procedures and emergency action plans for the Premises. An emergency action plan is required under Title 29 of Federal Regulations Sections 1910.38/.120/.156, and Title 8 California Code of Regulations, Sections 3220 and 3221. The emergency action plan covers all employees and non-employees who may be exposed to hazards arising from emergency situations. It must contain information for all of the Provider's employees, including administration and line level employees using the plan in order to reduce the severity of emergency situations and minimize the risk to life and property.

15. MAINTENANCE, REPAIR, CUSTODIAL AND LANDSCAPING. The City will be responsible for the maintenance and repair of the equipment and facilities at the Premises, including:

- a. Burgess Pool: three pools, appropriate signage, offices, lobby, locker rooms and shower area, restrooms, pool decks, fences and gates, lawn area, supply storage areas, equipment/mechanical rooms, chemical storage areas, and lights.
- b. Belle Haven Pool: two pools, appropriate signage, office, locker rooms and shower area, restrooms, pool decks, fences and gates, supply storage areas, equipment/mechanical rooms, chemical storage areas, and lights.

If in the course of operating the Premises, Provider identifies any equipment, facilities or portion thereof in need of maintenance or repair, Provider shall notify the City's Public Works Director or his/her designee as soon as possible and the City shall be responsible for performing the necessary maintenance or repair work. If any maintenance or repair work requires immediate emergency attention, Provider may engage a preferred City contractor directly after obtaining consent from the City's Public Works Director or his/her designee. Provider shall be reimbursed by the City for any costs incurred by Provider in addressing the immediate/emergency maintain/repair work. If the Facilities or equipment are damaged due to the willful misconduct or negligence of Provider, its employees, subcontractors, or program participants, Provider is responsible for any necessary repair or replacement of such damage at Provider's sole cost and expense.

Provider shall employ or contract one full-time custodial support staff from 3:00 a.m. to noon, consistent with Provider's current practice. The City will provide

janitorial service during midday and Saturday and Sunday evenings. The City and Provider shall coordinate custodial services to ensure the Premises is maintained in an orderly, clean and professional condition. The City shall provide all incidental facility supplies, such as paper towels, toilet paper, etc. The City agrees to reimburse Provider, upon approval by the Public Works Director, or his/her designee, up to Two Hundred Dollars (\$200) per month for the purchase of incidental supplies. The City shall provide landscaping services for the Premises.

The City shall provide and be billed directly for all necessary pool chemicals. Provider shall employ or contract for a Certified Pool Operator. Provider shall maintain standard operation procedure manuals and maintenance records and logs. These records will include: daily pool and chemical log and checklists for routine maintenance and janitorial duties (daily, weekly, monthly, quarterly, bi-annually, and annually).

16. UTILITIES. The City shall provide, without cost to Provider, all utilities necessary to operate the Premises for the purposes identified in this Agreement, including water, sewer, stormwater, electricity, gas, telephone and internet. Provider shall modify operations to comply with any conservation requirements imposed by any utility operator. Provider shall consult with and obtain City approval prior to making any operational changes that would impact utility costs and regulatory compliance.

17. INSURANCE. Provider shall acquire and maintain Workers' Compensation, Employer Liability, and Commercial General Liability relating to the Provider's use of the Premises. The insurance company or companies must be approved by the City. Provider will furnish City with certificates and copies of information or declaration pages of the insurance required. Provider would need to provide the City with 30 days' notice if any changes, cancellation, or non-renewals. Provider is required to disclose any self-insured retentions or deductibles, which shall be subject to City's approval, not to be unreasonably withheld. Provider's insurance shall apply separately to each insured against whom a claim is made or a suit is brought, except with respect to the limits of the insurer's liability (cross liability endorsement). Provider's insurance coverage shall be primary insurance with respect to City, its Council, Boards, Commissions, agents, officers, volunteers or employees, and any insurance or self-insurance maintained by City, for themselves, and their Council, Boards, Commissions, agents, officers, volunteers or employees shall be in excess of Provider's insurance and not contributory with it.

The minimum amounts of coverage corresponding to these categories of insurance per insurable event shall be as follows:

Insurance Category	Minimum Limits
Workers' Compensation	Statutory Minimum - include endorsement waiving the insurer's right of subrogation against the City, its

Employer's Liability	<p>officers, officials, employees and volunteers.</p> <p>One Million Dollars (\$1,000,000) per accident for bodily injury or disease – include endorsement adding the City, its officers, officials, employees and volunteers as additional insured for both ongoing operations as well as products and completed operations; include endorsement to provide primary insurance and waive any rights of contribution from the City's coverage.</p>
Commercial General Liability	<p>Three Million Dollars (\$3,000,000) per occurrence for bodily injury, personal injury and premises damages. Must include all areas in Insurance Service Office (ISO) Form No. CG 00 01 (including Products and Completed Operations if food is served or for repairs done by the tenant, Contractual Liability, Broad form property damage, Participants and spectators coverage, and Personal and Advertising injury liability)</p>

If Provider fails to maintain any of the insurance coverage required herein, then City will have the option to terminate this Agreement or may purchase replacement insurance or pay the premiums that are due on existing policies in order that the required coverage may be maintained. Provider is responsible for any payments made by City to obtain or maintain such insurance.

Provider shall require any subcontractor who uses the Premises more than once in any 12-month period to maintain and carry the same coverage as described above, which policies shall name the City as an additional insured. Provider shall require such subcontractor to obtain and provide a certificate of insurance evidencing said coverage to the City.

Each Party hereby waives and agrees to obtain from each insurance carrier of the insured a "subrogation waiver endorsement" waiving its right of recovery to the extent of insurance proceeds, against the other Party, the other Party's officers, directors, agents, representatives, employees, successors and assigns with respect to any loss or damages, including consequential loss or damage to the insured's property caused or occasioned by any peril or perils (including negligent acts) covered by any policy or policies carried by the Party.

18. INSPECTIONS AND AUDITS. The City reserves the right to conduct periodic and regular site inspections and operational audits.

- a. **Safety:** Provider will be required to comply with the City's safety program guidelines and protocol. Quarterly inspections by an outside vendor will be conducted and recommendations for compliance will be enforced. City staff will be responsible for following up with the Provider on specific safety issues identified in the quarterly inspection. The Provider will be required to comply with the City's requests in a timely manner. In addition, documentation demonstrating compliance with all city, county, state and federal regulations will be required to be kept up to date and reviewed on an annual basis or more frequently as deemed necessary by the City.
- b. **Maintenance:** City staff reserves the right to conduct weekly, monthly, quarterly, and annual inspections relative to Provider's responsibilities pursuant to this Agreement, including inspections relating to pool chemistry, pool equipment, and safety practices.
- c. **Operations:** An annual operational audit will be conducted by an external expert and industry professional approved by the City. An observational audit, lifeguard skills assessment, and site inspection shall be conducted annually. An overall operational audit shall be conducted every two years. This audit should include but may not be limited to: staff skills assessment, staff selection and training procedures, policies and procedures review, site inspection, code compliance and record keeping practices, and adherence to aquatic safety standards.
- d. **Financial Review/Audit:** Provider shall provide complete financials for all aquatics programs and/or programs operated out of the Premises (with administrative costs/salaries that may be related to both aquatics and non-aquatics programs fairly allocated between such programs) prepared in accordance with generally accepted accounting principles for each calendar year during the Term of this Agreement for City staff and outside consultant review. The purpose for such review shall be for determining appropriate revenue sharing, if any, pursuant to Section 8. Provider agrees, upon the City's request, to make all books and records available to the City for review such that the City is provided the opportunity to confirm the accuracy of the financial reports provided.

19. CITY ACCESS. The City shall have access to the Premises or any part thereof for municipal purposes, which may include the performance of maintenance and repairs in or upon the Premises, the inspection of the Premises, or the use, maintenance, repair of adjoining areas. When City access will be during the Provider's operational hours and may impact the provision of Services, the City shall provide prior notice and coordinate access with the Provider.

20. IMPROVEMENTS. Provider shall not make, nor cause to be made, nor allow to be made, alterations or improvements to the Premises, without the prior

written consent of City, not to be unreasonably delayed or withheld. All improvements or alterations constructed or installed shall be removed and the Premises restored to substantially the same condition existing prior to such construction or installation, upon the termination of this Agreement, unless the prior written approval of City is secured, allowing such improvements or alterations to remain in place, in which case, title thereto shall vest in City. All improvements undertaken pursuant to this Agreement will be at City's sole expense and the City will be responsible for the use and maintenance of the improvements.

21. NOISE. Except in the event of an emergency, Provider shall not use any amplified sound, whistles, bullhorns, music, etc., between the hours of 5:30 a.m. to 8:00 a.m., and/or from 8:00 p.m. to closing during any day of operation. In order to minimize impacts of major events on residents of the surrounding neighborhood, Provider will notify the City on a quarterly basis of all swimming meets or other large group events beyond normal operations to allow the City to notify the neighborhood in advance of such events.

22. PARKING. Provider shall instruct its patrons to park away from the nearest residences before 8:00 a.m. and after 8:00 p.m.

23. WAIVER OF CLAIMS. Except as it relates to claims asserted by anyone related to or arising from The City's failure to fulfill its obligations to maintain, repair, clean and/or landscape in accordance with this Agreement, including, without limitation Section 15 hereof, Provider waives all claims against City, its Council, Commissions, agents, officers, volunteers, contractors or employees for any damages to the improvements in, upon or about the Premises and for injuries to any employees of Provider or their agents, invitees or sub-contractors in or about the Premises from any cause arising at any time, where City had no involvement or where such damages or injuries did not arise out of the instruction or guidance of the City. In no event shall the City be responsible for loss of profits or any consequential damages to Provider.

24. INDEMNIFICATION. Except as it relates to claims asserted by anyone related to or arising from The City's failure to fulfill its obligations to maintain, repair, clean and/or landscape in accordance with this Agreement, including, without limitation Section 15 hereof, Provider will defend, indemnify and hold City, its Council, Commissions, agents, officers, volunteers or employees harmless from any damage or injury to any person, or any property, from any cause of action arising at any time from the use of the Premises by Provider, and Provider's invitees, program participants, and visitors, or from the failure of Provider to keep the Premises in good condition, including all claims arising out of the negligence of Provider, but excluding any damage or injury caused by the willful misconduct or negligence of City or its employees, agents or contractors. City will defend, indemnify and hold Provider, its members, agents, officers, volunteers or employees harmless from any damage or injury to any person, or any property,

from any cause of action arising at any time from the willful misconduct or negligence of City or its employees, agents or contractors.

Each Party's indemnification obligation set forth above will include any and all costs, expenses, attorneys' fees and liability incurred by any indemnified Party or person in defending against such claims, whether the same proceed to judgment or not. Each Party will, at its own expense and upon written request by a Party to be indemnified as provided hereinabove, defend any such suit or action brought against the Party to be indemnified, its Council, Commissions, members, agents, officers, volunteers or employees (as applicable). This Section will survive the expiration or termination of this Agreement.

25. HAZARDOUS MATERIALS. Provider shall not use or store any Hazardous Materials in, on, or about the Premises except in compliance with all applicable federal, state, and local laws, statutes, ordinances, and governmental regulations, and the highest standards prevailing in the industry for storage and use of any such Hazardous Materials, nor allow any Hazardous Materials to be brought in the Premises, except to use in the ordinary course of Provider's business, and then only after written notice to City of the Hazardous Materials to be used by Provider. Provider shall not cause or permit the escape, release, or disposal of any Hazardous Materials in the Premises.

In addition, Provider shall, at City's request, execute affidavits, representations, or other documents concerning Provider's best knowledge and belief regarding the presence of any Hazardous Materials in the Premises. Provider shall indemnify, defend, and hold harmless City from any liability, cost, or expense, including reasonable attorneys' fees, arising from the use, storage, release or disposal of any Hazardous Materials in, on, or about the Premises by Provider, its agents, employees, contractors, or invitees. The provisions of this section shall survive the expiration or earlier termination of this Agreement.

For the purposes of this Agreement, the term "Hazardous Material" shall mean any substance or material which has been designated hazardous or toxic by any federal, state, county, municipal, or other governmental agency or determined by such agency to be capable of endangering or posing a risk of injury to, or adverse effect on, the health or safety of persons, the environment, or property, including without limitation those substances or materials described in the Comprehensive Environmental Response, Compensation and Liability Act of 1980, as amended, 42 U.S.C. Section 9601, et seq.

26. ATTORNEY'S FEES. In any legal action brought by either Party to enforce the terms of this Agreement, the prevailing party is entitled to all costs incurred in connection with such an action, including reasonable attorneys' fees.

27. ARBITRATION. Any dispute regarding the breach of this Agreement shall be decided by binding arbitration pursuant to the rules of the American

Arbitration Association, and not by court action, except as otherwise provided in this Section or as allowed by California law for judicial review of arbitration proceedings. Judgment on the arbitration award may be entered in any court having jurisdiction. The Parties may conduct discovery in accordance with California Code of Civil Procedure. This provision shall not prohibit the Parties from filing a judicial action to enable the recording of a notice of pending action for order of attachment, receivership, injunction, or other provisional remedy. Venue for the resolution of any such dispute or disputes shall be in San Mateo County, California.

BY INITIALING IN THE SPACE BELOW YOU ARE AGREEING TO HAVE ANY DISPUTE ARISING OUT OF THE MATTER INCLUDED IN THE ARBITRATION OF DISPUTES' PROVISION DECIDED BY NEUTRAL ARBITRATION AS PROVIDED BY CALIFORNIA LAW AND YOU ARE GIVING UP ANY RIGHTS YOU MIGHT POSSESS TO HAVE THE DISPUTE LITIGATED IN A COURT OR BY JURY TRIAL. BY INITIALING IN THE SPACE BELOW YOU ARE GIVING UP YOUR JUDICIAL RIGHTS TO DISCOVERY AND APPEAL, UNLESS THOSE RIGHTS ARE SPECIFICALLY INCLUDED IN THE ARBITRATION OF DISPUTES PROVISION. IF YOU REFUSE TO SUBMIT TO ARBITRATION AFTER AGREEING TO THIS PROVISION, YOU MAY BE COMPELLED TO ARBITRATE UNDER THE AUTHORITY OF THE CALIFORNIA CODE OF CIVIL PROCEDURE. YOUR AGREEMENT TO THIS ARBITRATION PROVISION IS VOLUNTARY.

WE HAVE READ AND UNDERSTAND THE FOREGOING AND AGREE TO SUBMIT DISPUTES ARISING OUT OF THE MATTERS INCLUDED IN THE ARBITRATION OF DISPUTES PROVISION TO NEUTRAL ARBITRATION.

Provider

City

28. VENUE. Provider agrees and hereby stipulates that the proper venue and jurisdiction for resolution of any disputes between the parties arising out of this Agreement is San Mateo County, California.

29. ASSIGNMENT AND NONTRANSFERABILITY. Provider understands and acknowledges that assignment of this Agreement is absolutely prohibited without the written consent of City, and any attempt to do so without City's written consent may result in termination of the Agreement at the will of City. Notwithstanding the foregoing, City shall grant permission to Provider to contract with other entities or organizations to provide some of the programs at the Premises for certain hours, subject to prior approval by the City, which shall not be unreasonably withheld. Such use is contingent, in part, upon said entity or organization indemnifying and insuring City in the same manner and amount that Provider has indemnified and insured City under this Agreement. City, its Council, Boards, Commissions, agents, officers, volunteers and employees shall be named

as additional insureds. Any insurance policy maintained by a such an entity organization will be in addition to, and shall not replace, any insurance required of Provider.

30. LIENS AND ENCUMBRANCES. Provider shall have no authority to do anything that may result in a lien or encumbrance against the Premises. Without limiting the foregoing, however, Provider agrees to pay promptly all costs associated with the activities associated with this Agreement and not to cause, Agreement, or suffer any lien or encumbrance to be asserted against the Premises. In the event that Provider causes, leases, or suffers any lien or encumbrance to be asserted against the Premises related to activities associated with this Agreement, Provider, at its sole cost and expense, shall promptly cause such lien or encumbrance to be removed.

31. TERMINATION OF AGREEMENT.

a. Default. City or Provider shall have the right to terminate this Agreement by written notice to the other party for any default or breach of any term or condition of this Agreement by the other Party; provided, however, the non-defaulting and non-breaching Party must first deliver written notice to the other Party of any such default or breach, and if such breach or default exists for more than 30 days after the delivery of such notice without being cured, the non-defaulting and non-breaching Party may elect to terminate this Agreement by giving written notice of such termination to the defaulting Party. Termination shall be effective on the date specified in the notice, which date shall not be less than 30 days nor more than 180 days following such notice. In addition to termination, the non-defaulting and non-breaching Party shall be entitled to pursue any and all other remedies provided by law.

b. City Dissatisfaction. If City and/or Menlo Park community believes Provider has not satisfied community needs with respect to public access, service and program quality, public safety, noise restrictions and/or parking, City may deliver written notice to Provider of such dissatisfaction and the Parties shall meet and confer within 15 days of Provider's receipt of such notice. If the matter is not resolved to the City Manager's satisfaction, City may terminate this Agreement by giving written notice of such termination to Provider. Termination shall be effective not less than 90 days after the date of such notice. Provider shall have the right to appeal such termination to the City Council within 10 days of Provider's receipt of such notice. Upon receipt of Provider's timely appeal, the Council shall place the matter on the City Council agenda and make the final determination with regard to the termination of the Agreement and shall give written notice to Provider of such final determination. If the City Council determines the Agreement

should be terminated, termination of the Agreement shall be effective not less than 90 days after the date of such notice.

c. City Expense. The City may terminate this Agreement, effective 90 days from the date of the notice, if the City's costs for maintenance and repair (Section 15), and utilities (Section 16) are exceeding the amounts budgeted by the City for such costs.

d. Provider's Option. Provider may terminate the Agreement at Provider's option upon the occurrence of any of the following: (1) upon the death of Tim Sheeper; (2) upon the disability of Tim Sheeper, if such disability prevents him from running Provider's business operations for a continuous period of 60 consecutive days; or (3) upon financial hardship, which shall require not less than six month written notice to terminate Agreement based on financial hardship.

Termination shall be effective on the later of 90 days after the date of any such notice, the date of termination specified in the notice or such later effective date as is required pursuant to any specific provision of this Agreement. In the event Provider does not elect to terminate the Agreement as permitted herein, the Agreement shall remain in full force and effect for the remainder of the Term, unless subsequently terminated for another cause or event as specified herein.

32. CONDITION OF PREMISES UPON TERMINATION. Upon the effective termination of the Agreement, Provider shall restore the Premises to its condition prior to the execution of this Agreement, excluding (a) wear and tear and natural deterioration based on the passage of time, (b) items subject to the City's obligations to maintain, repair, clean and/or landscape in accordance with this Agreement, including, without limitation Section 15 hereof, and (c) other changes or improvements to the Premises previously approved by the City, remove all personal property, including furniture, furnishings, vehicles, and equipment, belonging to Provider or Provider's employees, invitees, and agents. Should Provider fail to perform those obligations by the effective termination date, the Parties agree to the following:

- a. Such remaining property shall be deemed abandoned and Provider waives all provisions for disposition of abandoned personal property required by California law including but not limited to California Code of Civil Procedure Section 1980 et. seq. (requiring notice for reclaiming abandoned property and public sale for disposition).
- b. City has the right to take action to remove Provider's personal property. Should City exercise this right, Provider shall be liable to City for:
 - i. the actual cost of this removal, demonstrated by valid receipts and invoices;
 - ii. a 15 percent overhead to City for reasonable costs in contracting and supervising the removal work; and

- iii. any attorneys' fees incurred by City to remove Provider from the Property after termination, if necessary. Invoices must be paid within 10 days of submission of invoice to Provider. If not paid within this time, then interest will be charged at 10 percent or the maximum extent allowed by law, whichever is less.

33. NOTICE. All notices under this Agreement shall be in writing and, unless otherwise provided herein, shall be deemed validly given if sent by certified mail, return receipt requested, or via recognized overnight courier service, addressed as follows (or to any other mailing address which the party to be notified may designate to the other party by such notice). All notices properly given as provided for in this section shall be deemed to be given on the date when sent. Should City or Provider have a change of address, the other party shall immediately be notified as provided in this section of such change.

Provider

Team Sheeper, Inc.
Attn: Tim Sheeper
501 Laurel Street
Menlo Park, CA 94025
(650) 369-7946

City

City of Menlo Park
Attn: City Manager
701 Laurel Street
Menlo Park, CA 94025
(650) 330-6610

34. COMPLETE AGREEMENT. This Agreement contains the entire agreement between the Parties with respect to the matters set forth herein and supersedes all prior or contemporaneous agreements (whether oral or written) between the Parties with respect to the matters set forth herein.

35. AMENDMENT. This Agreement may be amended only by a written instrument executed by the Parties.

36. AUTHORITY. The individuals executing this Agreement on behalf of Provider represent and warrant that they have the legal power, right and actual authority to bind Provider to the terms and conditions of this Agreement.

37. NO WAIVER. Waiver by either Party of a breach of any covenant of this Agreement will not be construed to be a continuing waiver of any subsequent breach. City's receipt of rent with knowledge of Provider's violation of a covenant does not waive City's right to enforce any covenant of this Agreement. No waiver by either Party of a provision of this Agreement will be considered to have been made unless expressed in writing and signed by all parties.

IN WITNESS WHEREOF, the Parties have executed this Agreement by their officers therein duly authorized as of the date and year first written above.

CITY OF MENLO PARK

By: _____

ATTEST:

City Clerk

TEAM SHEEPER, L.L.C.
501 Laurel Street
Menlo Park, CA 94025

By: _____
Tim Sheeper, Chief Executive Officer

Exhibits

- A. Burgess Pool Site Map
- B. Belle Haven Pool Site Map
- C. Scope of Services
- D. SOLO Schedule and Terms

EXHIBIT A
BURGESS POOL MAP

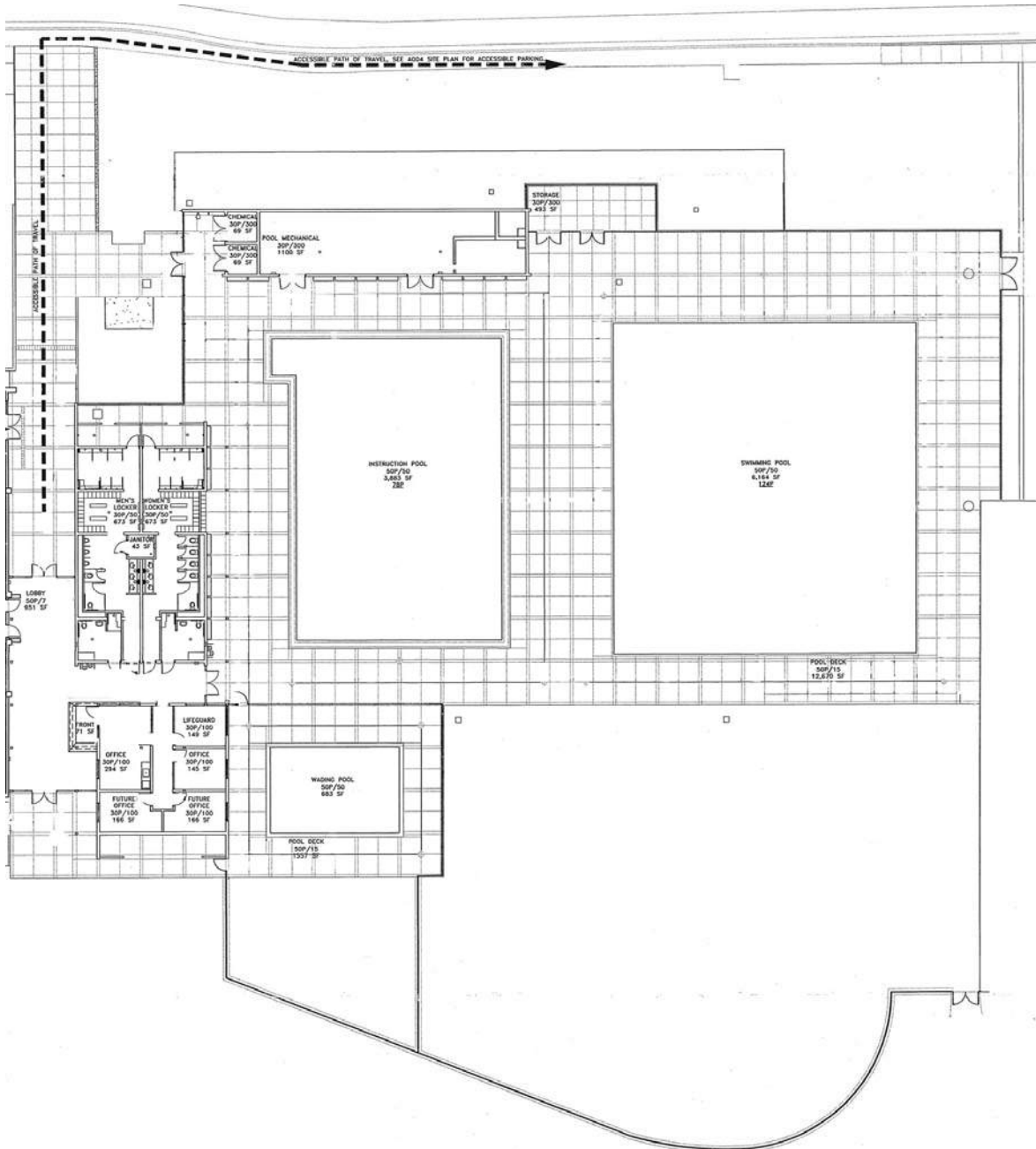
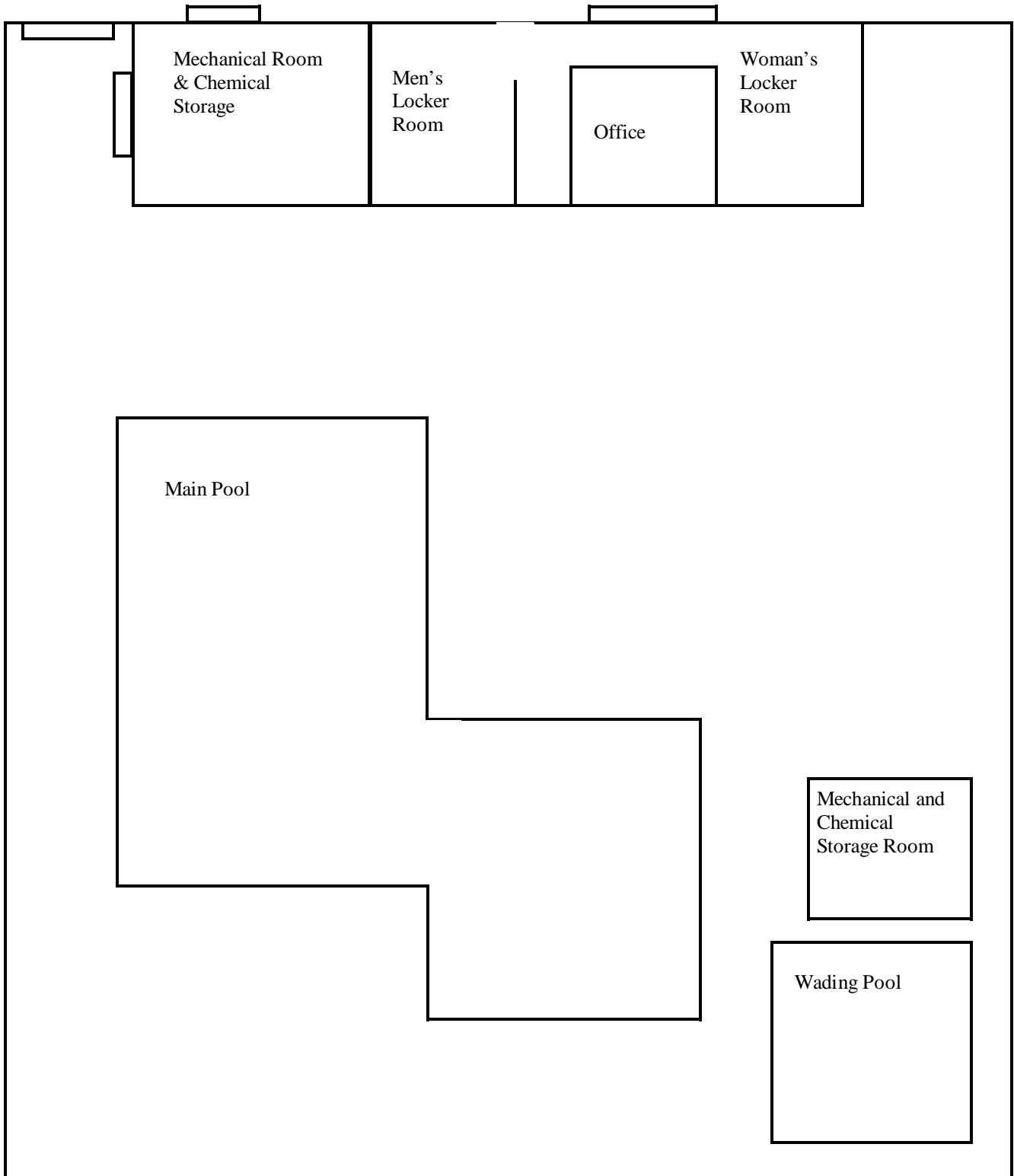


EXHIBIT B

BELLE HAVEN POOL MAP :

Parking Lot



Menlo Swim and Sport
2018 Scope of Services

1. Lap Swim

Description: Community based, non-structured, fitness swimming in both performance and instructional pools with the goal of having lane availability whenever the business is open. Drop-in and membership options

Frequency: 7 days/wk, year-round

Times: Opening to closing

Belle Haven: Weekdays during all open hours, year-round

2. Open Swim

Description: Community-based, non-structured, play and family time in both the performance and instructional pool. Increasing pool availability during warmer high demand seasons. Drop-in and seasonal memberships options.

Frequency: 7 days/wk, year-round

Times: Late morning to evening hours, all-day on weekends

Belle Haven: Summer focus-4 hours/daily

3. Menlo Aquatics-Youth Year-Round Swim Team

Description: Community-based, structured and programmed with performance incentives including weekend off-site coached events and competitions. Segmented and serving various age-groups from 6-18 year olds. Monthly memberships.

Frequency: 6 days/wk, year-round

Times: After school to late evening weekdays and late morning on Saturdays

Belle Haven: Full program not available, but Belle Haven is used during summer.

4. Menlo Mavericks-Youth Summer Swim Team

Description: Community-based, introductory-level, structured and coached 10-week program that is part of a regional competitive league with weekday and weekend events. Monthly memberships.

Frequency: Monday-Saturday, summer only

Times: Morning and afternoon hours throughout the summer

Belle Haven: Not available

5. Menlo Mavericks-Youth Water Polo Team

Description: Community-based, year-round team that serves introductory and intermediate level players that compete locally and regionally. Monthly memberships.

Frequency: 3 days/wk

Times: Afternoons year round

Belle Haven: Only available at Belle Haven

6. Menlo Swim School

Description: Community-based, year-round service that targets individuals 6 months to adults. Small group, semi-private and private instruction that teaches to class ability level. Various segmented levels that supports time efficient and optimum improvement. Monthly membership.

Frequency: 7 days/wk, year-round.

Times: Mornings to late evening with a long lunch break.

Belle Haven: Available spring, summer and fall

7. Camp Menlo-Summer and School Holiday Camps

Description: Community based, seasonal program that serves youth from 4.5-15 year olds with 5 different offerings of week-long camps. Pre and post camp care is available. Most campers take part in a small group swim lesson each day. Weekly fee.

Frequency: Monday-Friday for 10 weeks spanning the summer months.

Times-Early morning to late afternoon options.

Belle Haven: Not available at Belle Haven

8. Menlo Masters-Adult Swim Team

Description: Community-based, year-round team that serves introductory to advanced participants. Stroke and fitness improvement along with growth of interpersonal relationships and connection to the community are the goals. Local, regional and international competitions are a part of the curriculum. Monthly memberships and daily drop-ins available.

Frequency: Several daily workouts available

Times: Before work, lunch-time and weekend morning offerings

Belle Haven: Not available

9. Team Sheep Triathlon-Adult Triathlon Program

Description: Community-based, year-round team that serves introductory to advanced participants. Improving personal skills and fitness along with community connection are the main goals. Monthly membership.

Frequency: A few workouts on daily basis year round

Times: Before work, lunch-times and evenings during the week and morning on weekends

Belle Haven: Not available

10. Aqua Fit-Adult Water Exercise

Description: Community based, year-round program that targets the non-swimming fitness seekers including the senior population seeking respite from gravity based land exercises. Cardio-vascular and muscular strength improvement is focused upon. Monthly memberships and daily drop-ins available.

Frequency: Offered daily, excluding Saturday

Times: Early mornings weekdays and Sunday, evenings on Tuesday and Thursday

Belle Haven: Not available

11. Aqua Wellness- Adult Water Therapy

Description: Community based, year-round program that targets individuals who need assistance with range-of-motion in joints, muscular strength and coordination or are in recovery from an illness or surgical procedure. Monthly memberships or daily drop-ins available.

Frequency: 3 mornings per week

Times: Mid to late morning hours

Belle Haven: Not available

12. Menlo Mavens-Women's Water Polo Team

Description: Community based, year-round program that attracts beginners to high level players. The uniqueness of the program serves as a connection point for many women who thrive on interacting with other inspiring and courageous women in the community. The team competes locally, regionally and internationally. Monthly membership and drop-in options available.

Frequency: 2 time per week

Times: Weekday evening and weekend morning

Belle Haven: Annual weekend tournament is hosted at Belle Haven

13. Pro Services-Private Premium Coaching

Description: Personal and tailored premium coaching available for clients who do not fit into our established group structure or for those who want the extra attention from a professional level instructor. Monthly memberships or per session fee available.

Frequency: Daily, year-round

Time: Flexible and available all open hours

Belle Haven: Available during open hours with a highly experienced professional

14. Safety Academy-Lifeguard Certification Courses

Description: Red Cross certified lifeguard classes are instructed by our Red Cross certified instructors for anyone in the community or region who are seeking their Red Cross lifeguarding certification. A 3-day, 30+ hour course that blends on-site learning and on-line learning. Certification class fee.

Frequency: Monthly year-round, and weekly during peak summer months

Times: Friday evenings, and full day Saturdays and Sundays.

Belle Haven: A portion of the classes are conducted at Belle Haven

15. Community Rentals and Clinics

Description: For profit and not for profit community based rentals agreements are entered into throughout the year. An underwater hockey team, a youth swim team (SOLO), a triathlon team (Team in Training) are the year-long agreements. Along with Boy scouts, Cub scouts, Girl Scouts and public and private schools, personal swim clinics. Full pool and individual lane rentals are available

Frequency: Daily, year-round

Time: Various times throughout the year

Belle Haven: Synchronized swimming is the predominant agreement

16. Menlo Boot Camp-Adult Land Based Exercise Classes

Description: Community based, year-round program focused on improving general functional strength and well-being for adults. Strength and endurance exercises are used in a group setting that forms community and purpose for life-long vitality and mobility. Monthly memberships and daily drop-in options available.

Frequency: Weekdays, year-round

Times: Early and mid-morning hours

Belle Haven: Not available

17. Pro Shop-Food and Merchandise

Description: Support of fuel and gear for the community members using the aquatic or surrounding campus at Burgess Park. Low prices on food and merchandise and the high accessibility of the store make it a convenience for staff and participants.

Frequency: Daily, year-round

Times: During all open hours

Belle Haven: Available on a reduced scale.

EXHIBIT D
SOLO SCHEDULE AND TERMS

The SOLO Aquatics swim team (“SOLO”) will be able to use Burgess Pool and Belle Haven Pool on the following terms:

- a. Lane space will be provided from 4:00 to 5:30 p.m., Monday through Friday, eight (8) lanes in Burgess performance pool September 1st through May 31st.
- b. Lane space will be provided from 4:00 to 5:30 p.m., Monday through Friday, four (4) lanes in Burgess performance pool June 1st through August 31st. Additional lanes may be provided at current rental rates during summer if Provider agrees and open swim attendance allows.
- c. Rental rate will be \$14 per lane hour for the term of the Agreement.
- d. SOLO may elect to opt out of any of the hours provided for herein with 30 days notice.
- e. SOLO will be billed thirty (30) days in advance and on a monthly basis. Any payment not received by Provider within fifteen (15) days of the due date shall be subject to a late payment penalty of five percent (5%) of the amount due.
- f. When the Belle Haven Pool is operational, youth swim team rental shall have the option to use the Belle Haven Pool at agreed upon rates and times.
- g. Youth swim team will have access lobby area of the Burgess Pool for marketing purposes to be approved by Provider in advance.
- h. SOLO shall provide proof of insurance listing the Provider and City as additional insureds.
- i. SOLO shall comply with all of the facilities policies and rules of conduct.
- j. SOLO may not allow any other organization or individual to use any of the privileges or services provided by the Provider
- k. SOLO is responsible for the control and supervision of all participants in their program.
- l. If storage is provided for equipment at the request by SOLO, the Provider is not responsible for any damages or losses to the SOLO’s equipment.
- m. They City and Provider reserve the right to close the pool(s) at any time for maintenance or any safety reason. Provider will make every attempt to give notice when possible and assist with informing the SOLO and its participants.
- n. Provider shall have the right to terminate its agreement with SOLO by written notice to the SOLO for any default or breach of any term or condition herein. SOLO will be provided not less than thirty (30) days notice and opportunity to cure any notice of default. Provider shall provide City with a copy of any notice of default provided to SOLO.

- o. City requires a written agreement on a form approved by the City Attorney between the two parties with a copy provided to the City no later than the commencement of the Term of the Agreement between the City and Provider; provided however, Provider shall not be considered in default of the terms and provisions of the Agreement if SOLO has refused to execute a written agreement with Provider on such form approved by the City Attorney.



MEMORANDUM

Date: 1/23/2020
To: City Council
From: Derek Schweigart, Community Services Director
Re: Background for Team Sheepeer, Inc. Agreement
CC: Starla Jerome-Robinson, City Manager

Background

In May 2006, the City entered into a lease agreement with Menlo Swim and Sport (Team Sheepeer, Inc) to operate the Burgess Pool facility and provide aquatic programming year-round for five years, as part of an innovative approach to keeping the pools operating through the use of a private-public partnership. This was in response to a community-based budget process called *Your City/Your Decision*, the results of which provided guidance for making difficult but necessary budget decisions and resulted in the aquatics program being identified for reduction. The original lease agreement expired in May 2011.

In April 2010, the City sought proposals from aquatic providers to operate the Burgess Aquatic Facility and the aquatic programming with the pending expiration of the original lease with Team Sheepeer. In addition, as a part of the development of long term budget strategies, staff decided to include the option to bid on operations at the Belle Haven Pool. A Request for Proposals (RFP) was issued on August 30, 2010. The RFP was sent to three pre-qualified providers including Menlo Swim and Sport, California Sports Center (operating pools in City of San Jose) and SOLO Aquatics (Burgess Pool renter and swim club). In addition, the City sent the RFP to twelve other private aquatics operators in the area, predominantly swim schools. Only two proposals were submitted, including proposals from Team Sheepeer and SOLO Aquatics. After extensive community input and lengthy 12 month RFP process, Council again approved an Aquatics Facilities Lease Agreement with Team Sheepeer for five more years.

Prior to this lease agreement, Belle Haven Pool was operated seasonally for 10 weeks in the summer months. After taking over the summer operations at Belle Haven Pool in 2012, Team Sheepeer began operating that pool, with limited hours, year-round. In addition, Team Sheepeer's use of partnerships with the City, Facebook and Beyond Barriers Athletic Foundation (BBAF) have helped make the Belle Haven Pool a viable operation. This lease agreement expired in 2016.

Given the City's high satisfaction with its current aquatics operations and based on past experience and difficulties in finding qualified pool operators, the City Council elected to forgo what would be a lengthy and staff-intensive RFP process in favor of working with Team Sheepeer, Inc. on a renewal and extension of the lease. After two years of negotiating, City staff reached an impasse with Team Sheepeer over material terms such as rent, repair and replacement expenses, and pass through of certain operating expenses, like sewer charges. Also contributing to the delay were pool infrastructure audits at Burgess and Belle Haven Pools that provided information on the actual costs of maintaining the aging infrastructure.

Team Sheeper informed City representatives in September 2017 they were no longer interested in operating the pools under the current lease model and wanted to seek a more common private-public partnership. Under this contractor model, the City and the service provider share a percentage of the revenue generated from programs and services. The contractor is responsible for all direct expenses related to programming including direct labor, liability insurance, worker's compensation, health insurance, supplies marketing and promotion. The City owns responsibility for its facility including capital replacement, repairs and maintenance.

The Council authorized City staff to extend the lease to allow staff time to develop terms of a new revenue sharing model or other alternative agreement that would maintain the current level of service and be sustainable for the short and long term. Moving away from the lease model staff negotiated a contractor agreement where the City and service provider share in a percentage of the revenue generated from programs and services. The revenue share model helps reduce the uncertainty and volatility of an operation that is highly impacted by market conditions including changes in enrollment and increasing operating costs. Other municipally operated pools typically absorb these impacts with their General Fund, acknowledging the low cost recovery possibilities of aquatics programs. The revenue share model allows the City to recover some of its costs and reduce its subsidy while providing incentive to the provider to maximize potential growth benefiting the City's bottom line while increasing service levels to the community. The model preserves much autonomy from the provider, which minimizes inefficiencies leading to lower returns and ultimately impacting the City's revenue share.

Summary of Current Agreement Terms

The current agreement with Team Sheeper preserves many of the terms of the existing agreement including maintaining the existing scope of recreational aquatics programming, including swim instructors and certified lifeguards to provide lap swim, open swim, youth swim team, youth and adult swim lessons, youth camps, masters swim, aqua-fit classes and lane rentals for community swim teams and other community organizations on the premises. In addition, the operator will continue to be responsible for registration for programs and for maintaining high levels of customer communication and service.

The provider maintains exclusive use of the premises for providing these programs while providing reasonable public access to and use of the premises which includes accommodating the SOLO swim team's use of Burgess Pool in accordance with schedule and terms in the agreement reflecting the current schedule and lane allocation.

The provider operates the Burgess and Belle Haven pools year round with the Burgess Pool operating 94 hours per week during the non-summer season, and 97 hours during the summer season. The Belle Haven Pool operates 20 hours per week during the non-summer season, and 54 hours during the summer season.

Current Hours of Operation

Schedule	Burgess Pool		Belle Haven Pool	
	Non-Summer	Summer	Non-Summer	Summer
Monday	5:45am-8:00pm	5:45am-8:00pm	3:00-7:00 p.m.	9:00am-7:00pm
Tuesday	5:45am-10:00pm	5:45am-10:00pm	3:00-7:00 p.m.	9:00am-7:00pm
Wednesday	5:45am-8:00pm	5:45am-8:00pm	3:00-7:00 p.m.	9:00am-7:00pm
Thursday	5:45am-10:00pm	5:45am-10:00pm	3:00-7:00 p.m.	9:00am-7:00pm
Friday	5:45am-7:00pm	5:45am-8:00pm	3:00-7:00 p.m.	9:00am-7:00pm
Saturday	6:00am-5:00pm	6:00am-6:00pm	N/A	10:00am-2:00pm
Sunday	7:00am-5:00pm	7:00am-6:00pm	N/A	N/A

Similar to prior agreements, the provider continues to charge fees for public lap swim, open/recreation swim, swim lessons and pool rentals that are comparable to the rates and fees charged by other aquatic facilities in surrounding communities in alignment with the approved business model. The review of program fees is included in the annual report to the City (See 2019 Annual Report, Attachment A). Although the provider is responsible for setting program fees, the provider will continue to consider City input and market rates when establishing program fees.

In the current agreement the City continues to be responsible for pool operations and assumes maintenance at all expense levels including mechanical and facility repairs, custodial and landscaping services, utilities (water, sewer, electricity, gas, telephone, and internet), pool chemicals and facility supplies. These expenses are estimated to cost the City approximately \$381,000 annually for both Burgess and Belle Haven Pools.

ATTACHMENT A – 2019 Menlo Swim and Sport Annual Report



Annual Aquatics Report

City of Menlo Park

Team Sheeper Inc.

DBA, Menlo Park Swim and Sport

Operations for 2019

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Introduction:

Since 2006 Menlo Swim and Sport has been the pool operator for the City of Menlo Park dedicated to serving the community by promoting healthy active lifestyles through aquatic sports and outdoor family activity.

Each year, in order to fulfill the requirements of this annual report, we widen our aperture and research the entire aquatic region from San Francisco to San Jose in order to produce market comparisons related to programming and pricing. The findings continue to support the fact that our unique and comprehensive Menlo Park aquatic model remains unmatched as far as depth and breadth of sport and aquatic programming as compared to municipal pools and private pools. Menlo Swim and Sport owns deep pride in our ability to fully serve every age and ability segment of our community with premium level programming.

During the construction of this report, Facebook publicly announced that it will be designing, building and gifting a new community center on the Belle Haven Onetta Harris campus. Menlo Swim and Sport is absolutely delighted and fully supportive of this philanthropic initiative. Efforts to stimulate aquatic development in Belle Haven by Team Sheeper Inc. began in the late 1990's, and then reignited in 2011 and continue to this day. The environment and resources of the upcoming center will support the ability to build healthy lifestyles around activity and recreation for all generations of our community.

In the theme of community connection and collaboration we are proud to announce that our Menlo Masters swim team recently released the "100% initiative." The goal is to have each of the 300+ members financially donate to the Beyond Barrier Athletic Foundation (BBAF). BBAF is the foundation that scholarships 90% of all swim lessons taught at Belle Haven pool, since 2012. This call to action is designed to sustainably link BBAF to one of the most powerful swim teams in the country, ensuring funding and networking well into the future.

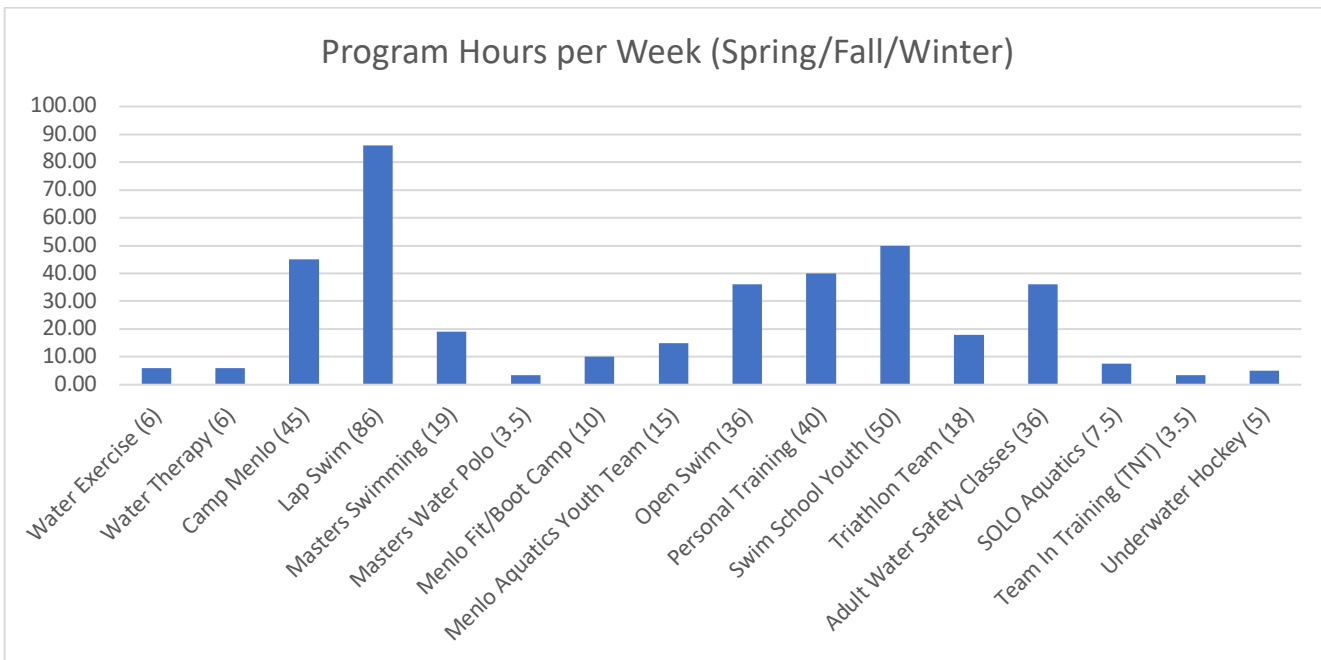
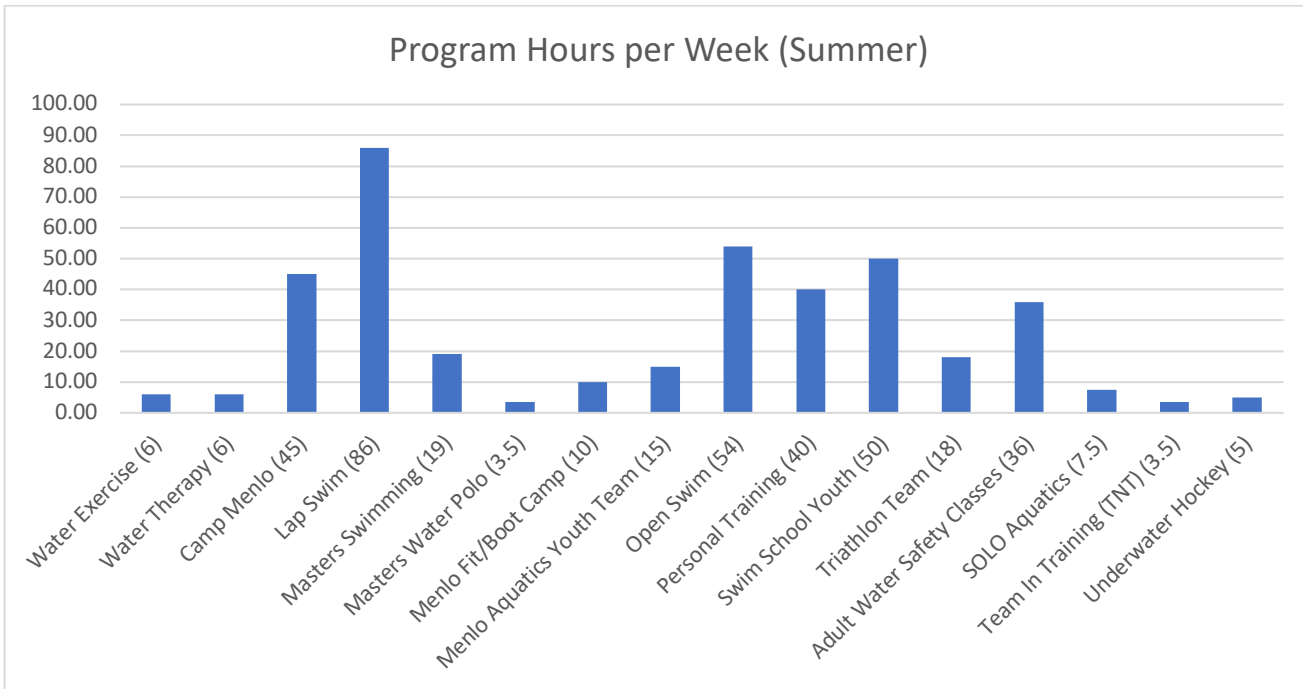
Our desire in producing this report is to offer the reader some insight into the aquatic operations in Menlo Park, while sharing data and feedback from community users.

Our philosophy is that every pool user is invested and truly cares deeply about this valued community asset. So, the feedback we receive is viewed as direction, hope, and encouragement to improve. We accept the challenge to continue improving.

Sincerely,
Tim Sheeper
CEO Team Sheeper Inc./Menlo Swim and Sport

Total Amount of Program Hours by Program – Burgess

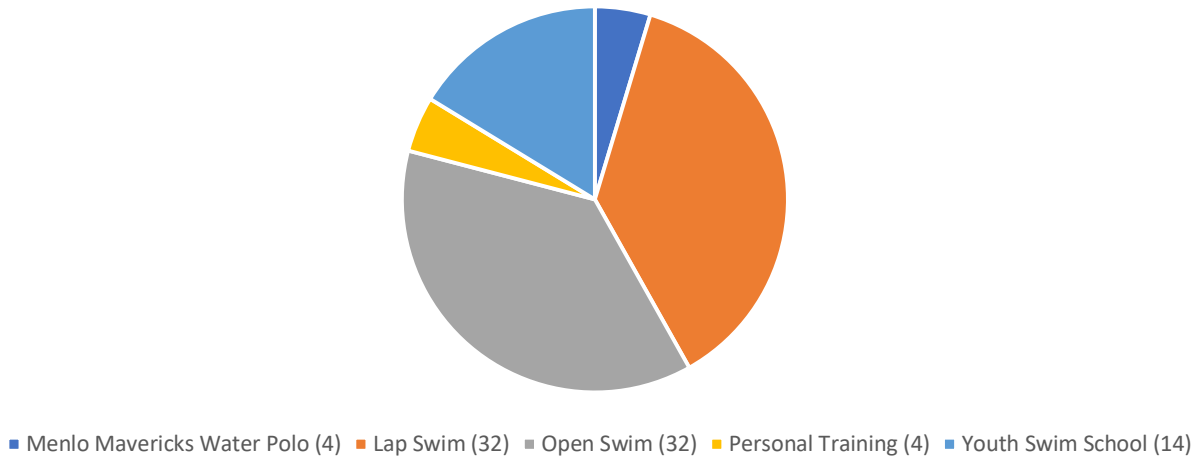
Menlo Swim and Sport has 95 operational hours per week during the non-summer season, and 97 hours during the summer season. Within those operational hours the following programming is provided at the Burgess Pool Facility:



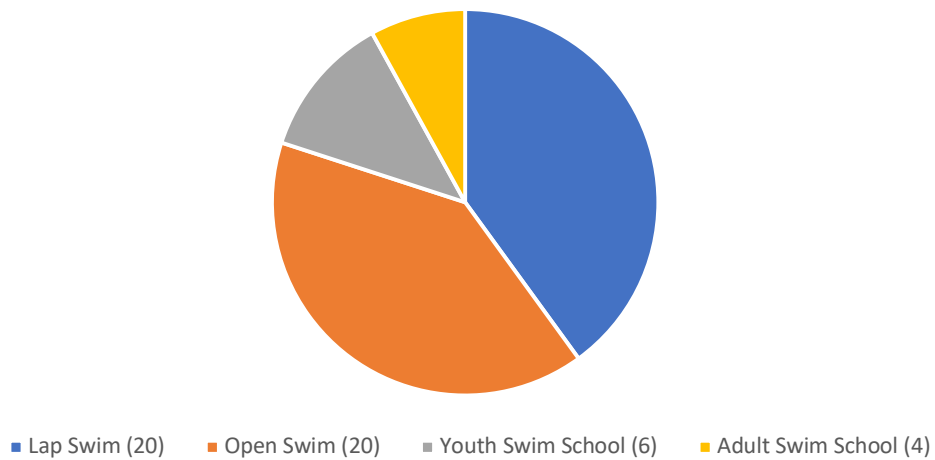
Total Amount of Program Hours by Program – Belle Haven

Menlo Swim and Sport has 20 operational hours per week during the non-summer season, and 53 hours during the summer season. Within those operational hours, the following programming is provided at the Belle Haven Pool Facility:

Program Hours per Week - Summer



Program Hours per Week - Non Summer



2019 Menlo Park Annual Report Resident & Non-Resident Percentages by Program

Burgess Lap & Open Swim Drop Ins

Lap Swim

Resident	10,323	63.3%
Non-Resident	5,984	36.7%
Total	16,307	

Open Swim

Resident	14,092	70.5%
Non-Resident	5,893	29.5%
Total	19,985	

Burgess Average Monthly Lap Swim Members

Resident	234	64.6%
Non-Resident	128	35.4%
Total	362	

Burgess Swim School Average Weekly Lessons

Resident	515	57.2%
Non-Resident	385	42.8%
Total	900	

Belle Haven Lap & Open Swim Drop Ins (Year Total)

Lap Swim

Resident	531	58.0%
Non-Resident	384	42.0%
Total	915	

Open Swim

Resident	2,890	90.2%
Non-Resident	313	9.8%
Total	3,203	

Facebook Lap Swim

Resident	353	27.0%
Non-Resident	956	73.0%
Total	1,309	

Facebook Open Swim

Resident	84	84.0%
Non-Resident	16	16.0%
Total	100	

Participation Statistics by Program

BURGESS:

Program Area	2018 Participation	2019 Participation
Aqua Fit	103 average active members	102 average active members
Camp Menlo	1,360 total participants	1,170 total participants
Lap Swim	341 average active members 16,200 total drop ins	362 average active members 16,300 total drop ins
Masters Swimming	252 average active members	238 average active members
Masters Water Polo	17 average active members	17 average active members
Menlo Fit/Boot Camp	34 average active members	31 average active members
Menlo Aquatics (Year-round Team) Menlo Mavericks (Summer Team)	220 Year-round average active members 75 Summer members	202 Year-round average active members 55 Summer members
Open Swim	70 Summer Family Pass holders 18,200 total drop ins	80 Summer Family Pass holder 19,800 total drop ins
Personal Training	150 approx. hours per month	123 approx. hours per month
Swim School	910 average lessons per week	900 average lessons per week

Triathlon Team (Adult)	56 average active members	54 average active members
Water Safety Classes	152 certifications	92 certifications

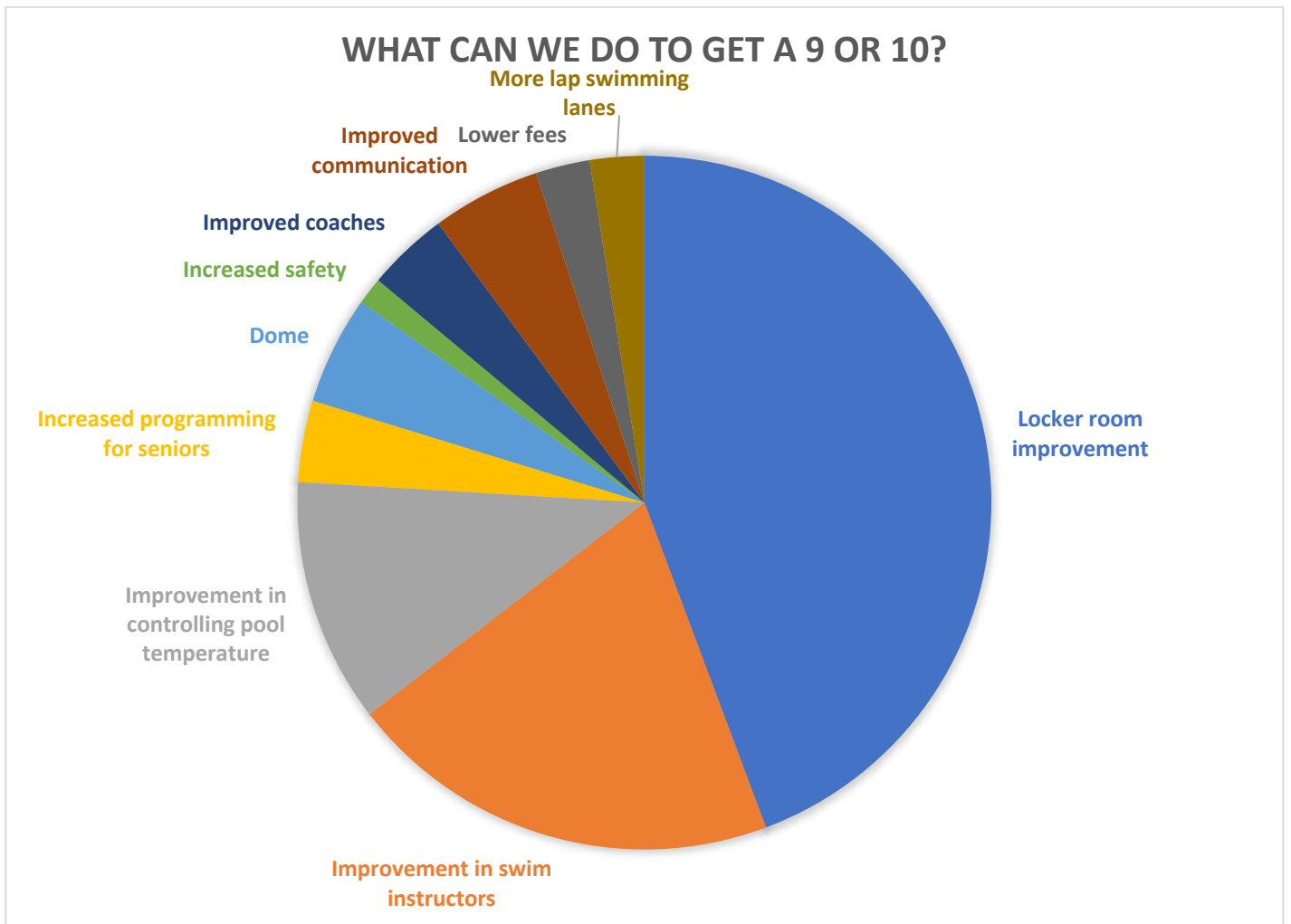
BELLE HAVEN:

Program Area	2018 Participation	2019 Participation
Lap Swim	18 average active members Drop ins	14 average active members 920 drop ins
Menlo Mavericks Water Polo	32 average active members	11 average active members
Open Swim	2,800 drop ins	3,200 drop ins
Swim School (Youth)	Participants per week 56 Summer 30 Spring	Participants per week 71 Summer 60 Spring 30 Fall
Swim School (Adult)	10 average per week	5 average per week
Facebook	2,900 uses by Facebook employees	18 average active members 1,400 drop ins

Customer Surveys

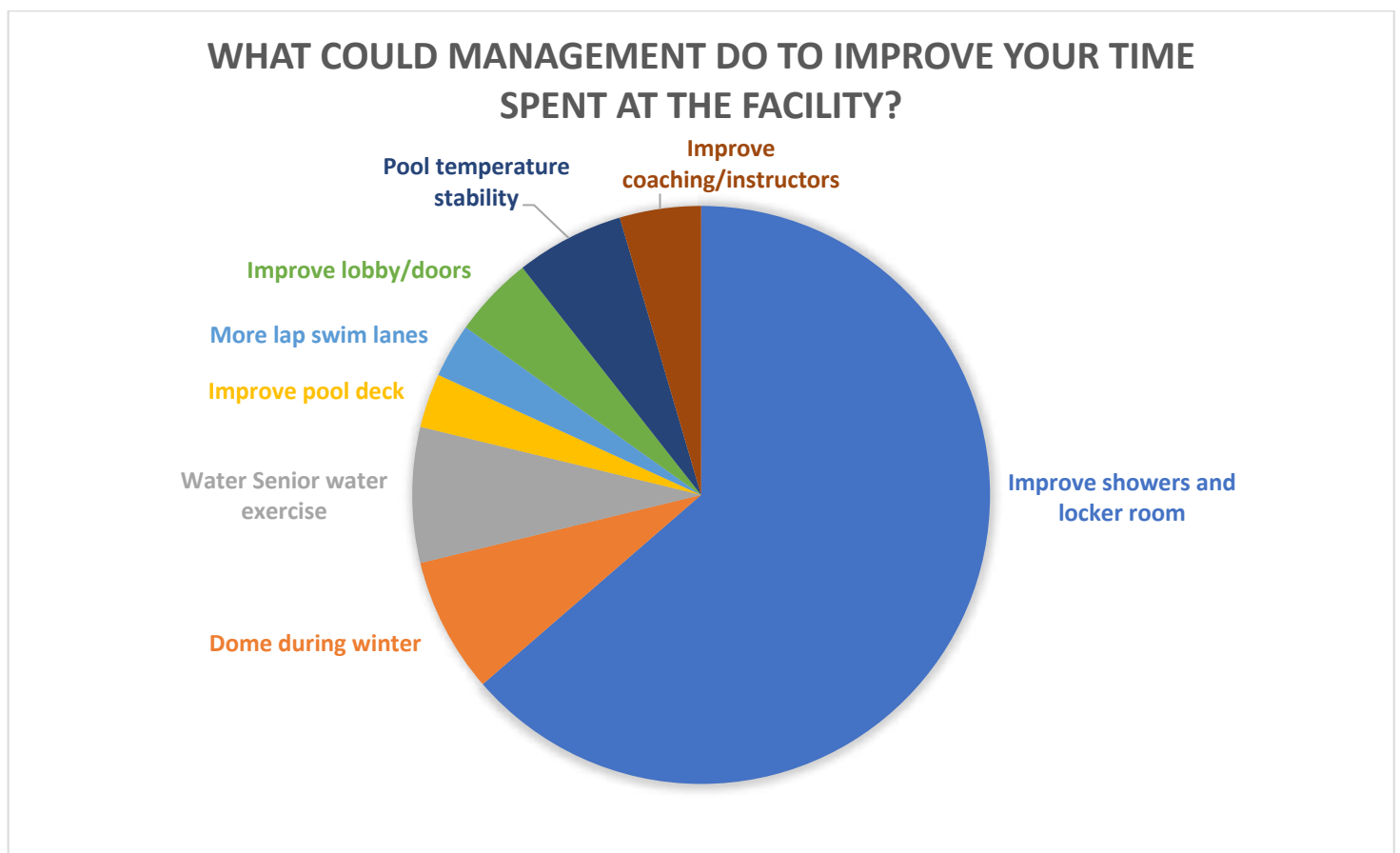
1. Community Feedback-What can we do to get a 9 or a 10?

- Locker room improvement-35 responses
- Improvement in swim instructors-16 responses
- Improvement in controlling pool temperature-9 responses
- Increased programming for seniors-3 responses
- Dome-4 responses
- Increased safety-1 response
- Improved coaches-3 responses
- Improved communication-4 responses
- Lower fees-2 responses
- More lap swimming lanes-2 responses



2. What could management do to improve your time spent at the facility?

- Improve showers and locker room-42 responses
- Dome during winter-5 responses
- Water Senior water exercise-5 responses
- Improve pool deck-2
- More lap swim lanes-2
- Improve lobby/doors-3
- Pool temperature stability-4
- Improve coaching/instructors-3



3. What is missing from the Aquatic Center?

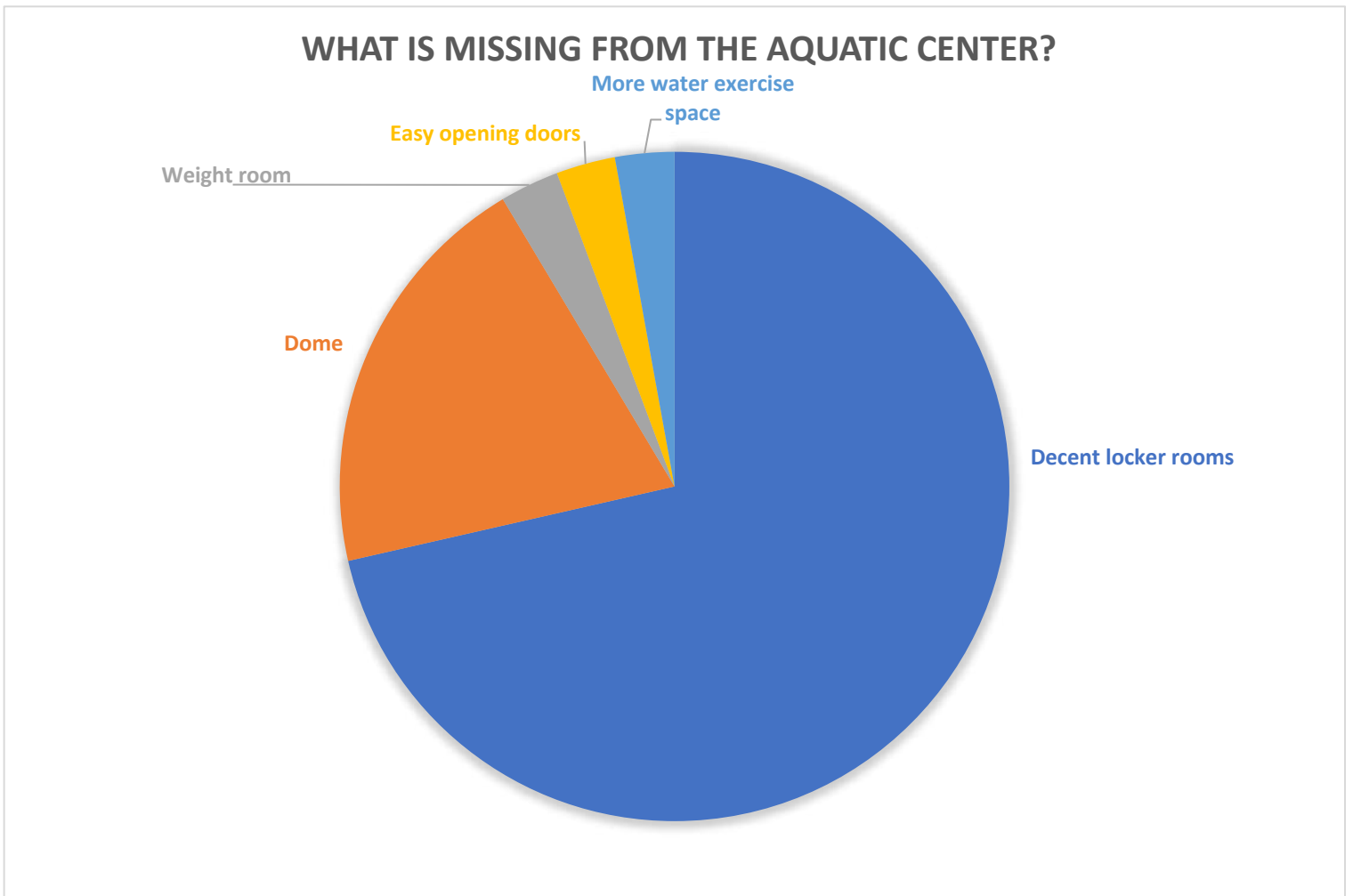
Decent locker rooms-25 responses

Dome- 7 responses

Weight room-1

Easy opening doors-1

More water exercise space-1



Fees by program area and fee comparison with
other public pools in the region

Fees by Program Area and Fee Comparison with Other Public Pools In the Region						
	Open Swim	Lap Swim	Lessons	Masters	Youth Swim Team	Water Exercise
Burgess	\$7/\$8	\$7/\$8	\$24	\$88/m	\$81-\$170/m	\$88/m
Belle Haven	\$5/\$6	\$5/\$6	\$16	-	\$85/m	-
Palo Alto	\$6/\$7	\$6/\$7	\$22	\$88/m	\$106-\$285/m	-
Mountain View	\$6/\$7	\$6/\$7	\$13	\$55	\$79-\$215/m	-
Morgan Hill	\$13/\$17	\$11/\$12	\$16.50	\$80	\$85	\$80
Burlingame	-	\$9	\$20	\$84	-	-
Santa Clara	\$6	\$6	\$25	\$70	\$85-\$145	-
Sunnyvale	\$4.50/\$6	\$8/\$11	\$19	\$79	\$110-\$195	\$61

Demonstrating Standards of Care

Menlo Swim and Sport takes great care in managing the facility above industry standards for public pools. Certified Pool Operators manage and care for the pool systems and balance the water on a daily basis. Written records are kept and reviewed on a regular basis by qualified city staff and the County Public Health Department. Custodial staff maintains the facility and surrounding grounds approximately eight to ten hours per day. Mid-day on-site restroom cleanings are conducted Monday through Friday in order to keep up with the high volume of daily visits.

The company employs a department managers who track employee certifications and track employee training with the assistance of a human resources management and payroll system. Customer registration is conducted via two systems: one specifically deals with the nuances of the swim school, and the other system manages all non-swim school related functions.

The Company's lifeguards are all fully certified and encouraged to seek advanced lifeguard certifications. Water safety/lifeguard instruction is provided by company staff to existing and prospective employees. The lifeguarding surveillance techniques employed are consistent with the standards set by the American Red Cross.

Risk management and employee safety are addressed via monthly employee safety meetings. In order to stay current with relevant safety issues and to ensure that Menlo Swim and Sport meets the safety requirements required by the City of Menlo Park for the operation of the Burgess and Belle Haven Pools, monthly meetings are held to address:

1. Injury and Illness Prevention Program (IIPP)
2. Confined Space Program
3. Emergency Action Plan
4. Hazardous Materials Business Plan Development (Burgess & Belle Haven Pool)
5. Exposure Control Plan (e.g. blood borne pathogens)
6. Fall Protection Standard Operating Procedure
7. Heat Illness Prevention Program
8. Cold Illness Prevention Program
9. Ladder/Climb Safety Training
10. Chemical Inventory
11. Hazardous Communication Program
12. Personal Protective Equipment (PPE) program
13. Respiratory Protection
14. Fall Protection
15. Driver Safety Training
16. PPE Hazard Assessment

We have had a full facility audit with Total Aquatic Management in July 2019 and passed with an outstanding ranking.

Risk Management Documentation

Menlo Swim and Sport has an active Risk Management Program for the Burgess and Belle Haven Pools which focuses on the following areas:

Emergency Action Plan (EAP): Individual departments are trained via drills to respond to appropriate emergency scenarios (e.g. fire alarm); EAP guidelines are issued to new hires, relevant EAP sections are posted on employee break room walls; emergency equipment stations (e.g. first aid stations, AED and oxygen station), two-way radio communication system is in place.

Facilities and Equipment: The custodial staff has created and utilizes a Pool Maintenance Essential Duties Checklist as a guide for essential tasks and key job duties. The City conducts occasional inspections to ensure the company is maintaining the facility appropriately. Any deficient areas are identified and addressed quickly by staff. Appropriate signage is maintained around both the Burgess and Belle Haven Pool facilities.

Supervision: Menlo Swim and Sport employs in excess of 200 employees during the peak season of summer and maintains a staff of approximately 130 employees throughout the year. The company is structured with a CEO, Chief Financial Officer, Head of Operations, as well as managers for the following positions: human resources, customer service, athletic programming (e.g. swim school, camps), lifeguard, and marketing. The company maintains a contract with an IT company for technology related issues. Menlo Swim and Sport maintains a comprehensive workers' compensation insurance plan as required by the State of California.

Training: The management team (described above) works hard to ensure that the company provides high-quality staff with exceptional training in their area of expertise. Appropriate levels of training and screening occur prior to hiring new staff. Constant quality improvement is the goal when it comes to staff and program development.

Documentation: Menlo Swim and Sport has created policy and procedure manuals to provide guidance to staff. These manuals are available for review upon request.

Safety Suggestion Boxes: Menlo Swim and Sport provides Safety Suggestion Boxes for employees to submit ideas related to safety concerns and improvements. The Safety Committee follows up on these suggestions during its monthly safety meetings.

New Hire Training

During the new employee onboarding process, employees are provided with training in the following areas:

- Harassment Policy
- Workers Compensation
- Workplace Violence
- Work hours, lunch and breaks
- Vacation and sick leave
- Injury and Illness Prevention Plan
- Emergency Action Plan

Each department has a very specific training program and checklist for all newly hire employees.

Lifeguard Training

In 2019, the lifeguard staff was required to attend a minimum of eight in-service trainings. Seasonal staff attends two to three depending on their length of employment. Menlo Swim and Sport offered 12 in-service trainings throughout the year. These training sessions are two hours in length and cover topics such as customer service, first aid, CPR/AED, lifeguard skills and general Menlo Swim and Sport policy review.

In addition to the training, lifeguards received the following audits to evaluate their skills.

Certifications are renewed every two years.

Certifications

Lifeguards: Red Cross Lifeguard/First Aid, CPR/AED for the Professional Rescuer or YMCA Lifeguard, EMT and Paramedic Licenses

Swim Coaches: American Swim Coaches Association (ASCA), USA Swim Coach, Lifeguard, Automated External Defibrillator (AED), Crossfit Level 1,

Water Polo Coaches: Lifeguard, CPR/AED and First Aid, USA Water Polo Coach

Other Coaches: Menlo Fit (Boot Camp): Individual fitness certifications; Aqua Fit: appropriate water exercise certifications, Triathlon Coaches: USA Triathlon (USAT), Cross Fit certification Level 1 and Cross Fit kids, and Associated Swim Coaches of America (ASCA) Level 3.

Pool Maintenance Staff: Certified Pool Operator (CPO) or Aquatic Facility Operator (AFO)

Description of Programs

Aqua Fit: Aqua Fit classes use the natural resistive forces of water to strengthen both muscles and the cardiovascular system. Water exercise has proven to be one of the healthiest, most versatile whole-body workouts for top athletes, fitness enthusiasts, youth and seniors alike.

Camp Menlo: Camp Menlo offers aquatics instruction, water sports, and dry land activities for a variety of ages. The goal of Menlo Swim and Sport is to provide campers a unique and inspiring experience while cultivating skills for a lifetime of aquatics and sports safety, health, and enjoyment.

Lap Swim: Lanes are dedicated to lap swimming in the performance pool and the instructional pool seven days per week year-round with a lifeguard on duty at all times. We observe circle swimming when there are more than two swimmers per lane. The number of lanes for lap swimming varies according to scheduled activities in each pool.

Masters Swimming: Menlo Masters was organized in 1988 and is now one of the largest Masters Swimming teams in Northern California and in the U.S. The club welcomes participation from swimmers of all abilities, age 19 or over, who are interested in regular structured workouts.

Previous experience in competitive swimming is not necessary. Members range from beginning swimmers to triathletes to former collegiate swimmers and nationally-ranked Masters competitors.

Menlo Masters conducts ongoing conditioning, stroke instruction, intra-club activities, competitions, and social events throughout the year. Emphasis is placed on developing swimming skills, enhancing the enjoyment of swimming through regular workouts and professional instruction, and the promotion of lifetime fitness through swimming.

Masters Water Polo: Menlo Swim and Sport offers women's water polo for all experience levels, ages 19 and over. Our team, the Menlo Mavens, is a fun, inclusive, and diverse group with a passion for water polo. The coaching staff brings years of top level play and coaching experience to the Menlo Mavens team. Our goal is to build a strong and exciting women's water polo program that both introduces new players to the sport and provides professional coaching and challenge for experienced players.

Menlo Fit: Menlo Fit offers 10 weekly classes of boot camp with experienced and trusted instructors who provide a variety of cardio interval training routines.

Menlo Aquatics (Swim and Water Polo): The Menlo Aquatics is a year-round youth swim team, which aims to create a swimming community that is extremely positive about being in and around the water. We emphasize learning sound techniques through our committed and competent coaches in a pleasant and positive environment. With a team segmented into smaller groups to meet the needs of swimmers of all ability levels, the Menlo Mavericks receive the best quality of coaching, instruction, and fun. In 2012, the team became an officially recognized USA Swimming program.

Open Swim: The pool is open to the community seven days per week. Lifeguards are on duty at all times during open swim.

Personal Training: Menlo Swim and Sport offers the expertise of our personal trainers for individual lessons. The personal trainers bring coaching talent and passion for swimming and sports, so clients can benefit from one-on-one lessons no matter what their skill level.

The personal training program has expanded to include the following areas: Swim Pro, Swim

School Select, Mavericks Performance Pro, Aqua Fit Pro, Water Polo Pro, Tennis Pro.

Swim School: The Menlo Swim School is a year-round school that provides professional, goal-oriented swim lessons for all ages and levels, developing life-long competency and a life-long love of swimming.

Triathlon Team: Team Sheep is a full-service multi-sport organization providing coaching and training to athletes of all levels and ages.

Special Events and Accomplishments

BURGESS POOL

Project Revive- In 2019 we experienced 14 year old girl go into cardiac arrest during a swim meet due to defect in her heart. This child was rescued and revived with a great outcome by our staff and members of the community at the meet. Project Revive (Stanford Hospital) awarded our staff and company for an excellence in life saving efforts at Burgess pool.

Can-Do Challenge 2019

The Can-Do February Challenge has been a team tradition for nearly 20 years. The goal for each Menlo Masters member is to swim 50,000 yards during the month or as much as 100,000 yards. The team tallies up the yardage each day and swimmers reaching these thresholds receive gifts from the team to honor their efforts. The real reward is that for every 2000 yards logged, we ask team members to bring in a can of food. The canned food is then donated to a local food bank, along with a monetary donation from Menlo Masters based on the number of cans collected. The funds and cans go to the Brown Bag Lunch Program through the Menlo Park Senior Center

Trans-Tahoe Swim Relay

A Menlo Masters member spearheaded a movement to link the "Keep Tahoe Blue Foundation" and the Olympic Club, producers of the Trans-Tahoe Relay swim to institute a new division called the Blue Boat division. Each blue boat would solicit funds that would be donated to the foundation in order to protect the lake. Menlo Masters was represented by 10 teams, each team consisting of 6 members. This cohort raised over \$50K for the cause.

Family Giving Tree

2019 was the tenth consecutive year that Menlo Swim and Sport participated in Family Giving Tree's Holiday Wish Drive. Every year the employees and clients of Menlo Swim and Sport fulfill approximately 85 wishes for the children and donate several hundred dollars to the underserved community.

Kid's Triathlon

July 2019 - Open to children age 5-14, provided a safe and fun environment for kids to compete in a triathlon with kids their same age. Approximately 350 children participated in the race.

Underwater Hockey

Menlo Swim and Sport partnered with Club Puck to begin offering USA Underwater Hockey at the Burgess Pool. We currently have 5 hours of pool time per week allocated to this program, along with periodic tournaments and training camps. A youth underwater hockey program was initiated in the Spring of 2019.

Conclusion:

At some point in 2020, our 15th year of operation as Menlo Swim and Sport at Burgess Park, we will welcome our 7,000,000 th visit to the facility. A large number far beyond our wildest dreams when we began our business journey in 2006.

As we look back it has been a long, and often rocky history with many challenges that were overcome with grit, determination and the will to succeed. The tough periods were balanced by the blissful times when our dedicated team of service-minded people improved the lives and well being of our neighbors and friends. The passage along our development timeline of fulfilling our mission of producing unprecedented premium public service for our community to where we stand now is just staggering.

The two shining gems of our operation that stand out for me above all the other noise and chaos of operating a full functioning community center both have at their core... "taking care of others."

The first point of pride is the progress within our company that now allows us to be able to provide our hard working staff members with a positive, sustainable and healthy culture in order to learn, grow and develop into the best versions of themselves while immersed in their work environment. Our focus on staff members health and well being has translated into major improvements in how our service-line providers communicate and positively interact with the general public. Our "servant's heart" company value is now on display every open hour.

The second gem is our inspiration in helping to found Beyond Barriers Athletic Foundation (BBAF) in 2012. Now BBAF is operated and directed by board members, who are mostly from our Menlo Masters swim team. The foundation provides aquatic scholarships for underserved youth. Originally the foundation focused mostly on the Belle Haven pool community and during the first year lessons were provided for 100 children. Last year, BBAF provided aquatic scholarships at 11 different pools for 7,900 children. Those children were able to take over 33,000 lessons, with 6,300 additional hours for lifeguard training, swim team and water polo. The current challenge is to get 100% financial participation from our 250+ Menlo Masters members to help support the BBAF operating budget.

Over the years, Menlo Park as a city has evolved and has become a daily destination for thousands of people focused on moving our social/digital connectivity forward. People and places around the city are constantly changing, so in order for Menlo Swim and Sport to remain vital and relevant to the ever-changing environment we are constantly aware of our need to innovate and adapt to the changing desires and demands of the community.

The fast-paced, high-stress environment that is now common in our present community needs to be balanced with community facilities and resources for individuals and families to destress and find comfort. Our city facilities need to be well maintained, well cared for while being thoughtfully upgraded, and viewed through the eyes of the end-user who is seeking both solitude and connection. Transportation to any of the city recreation facilities is challenging, but that has become a daily chore that most users have adapted to and do not openly lament. But, once they reach the end of their transportation cycle their expectations are heightened. Our role is to reward them with a well-appointed, friendly, welcoming, dependable, usable and clean destination.

Judging from our survey results, we are not succeeding in every category. We must improve dramatically in the area of basic human services:

1. Locker room shower warmth and quality
2. Locker room space and cleanliness

Also coming through in our surveys is the need for warmth of our youth and senior populations who use the pool on a year round basis. Burgess is a “unique” municipal pool in that it is heavily used every month throughout the year. When it is cold, most users are uncomfortable at some point, but our young and old are more adversely affected. We have managed/improved that in years past by constructing a temporary structure (dome) over the pool to combat the cold. But, due to water, and air quality challenges associated with the covering along with the fact that the covering reached the end of its lifespan we did not have a covering over the pool this winter. As a result of this decision, less people are using the pool and the ones that are using the pool are asking for a future remedy to the current situation.

In the process of constructing this report, a major development surfaced when Facebook, a long time supporter of Menlo aquatics, announced that they are gifting a new multigenerational community center to the City of Menlo Park on the Onetta Harris/Belle Haven campus. A magical announcement for our administration that has been in support of Belle Haven since the late 1990’s. It is uplifting to see an area of the city that is experiencing growth and major development be the beneficiary of the changing times. It’s exciting to wonder about the recreational opportunities that will emerge from the new center. Our hope is that Menlo Swim and Sport is able to foster and create aquatic programming that ignites the community to come together.

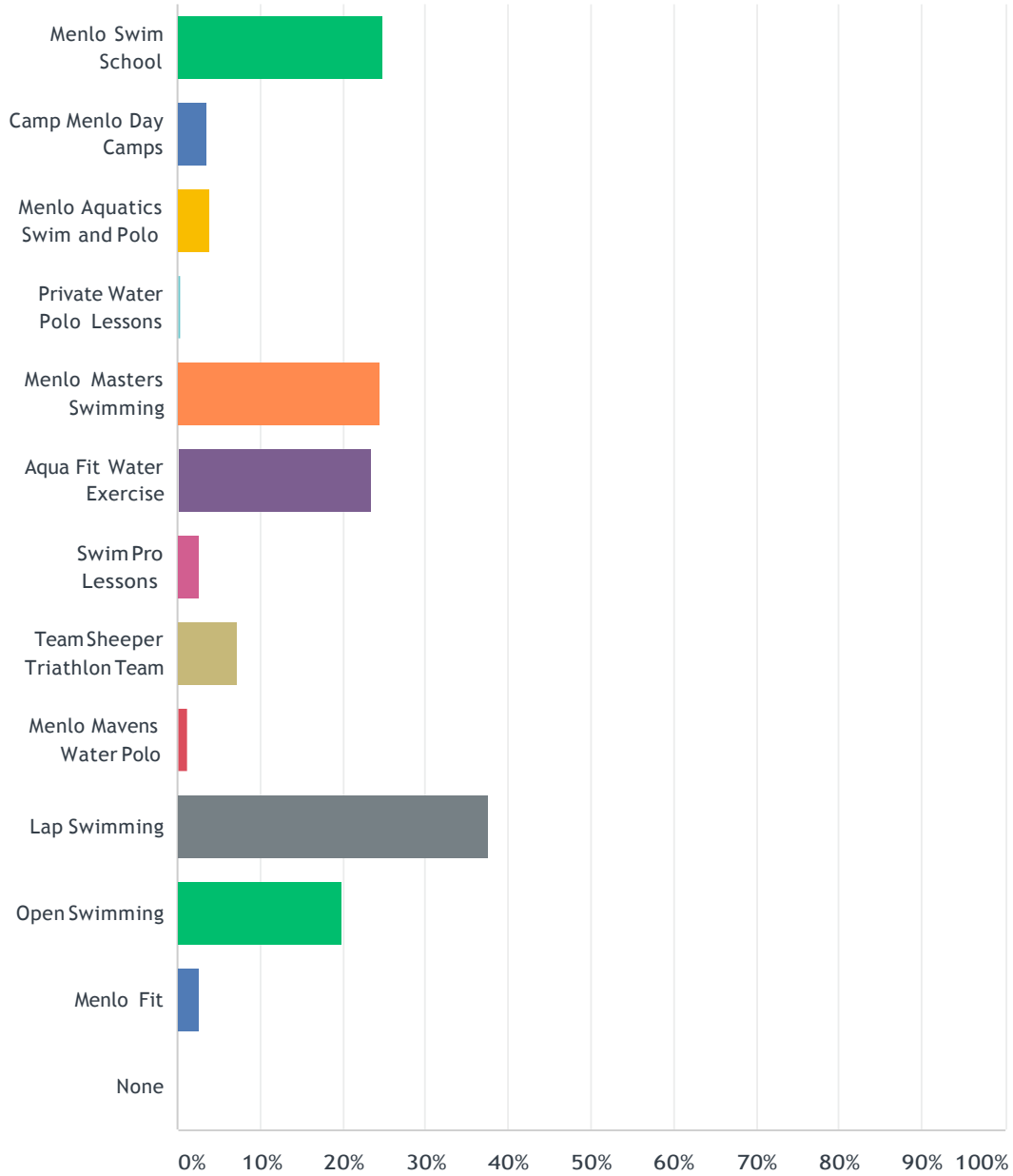
We are not where we want to be. Menlo Swim and Sport continually wants to improve our services to the community. From that mindset, our initiatives for 2020 are:

1. Launch a comprehensive adult learn to swim program
2. Increase our programming for the senior water therapy/exercise community
3. Improve the quality of experience in our learn to swim program
4. Improve the quality of experience related to the aquatic facility

Customer Satisfaction Survey Results (Burgess)

Q2 In 2019, which Menlo Swim and Sport program(s) did you and/or your family participate? (Choose all that apply)

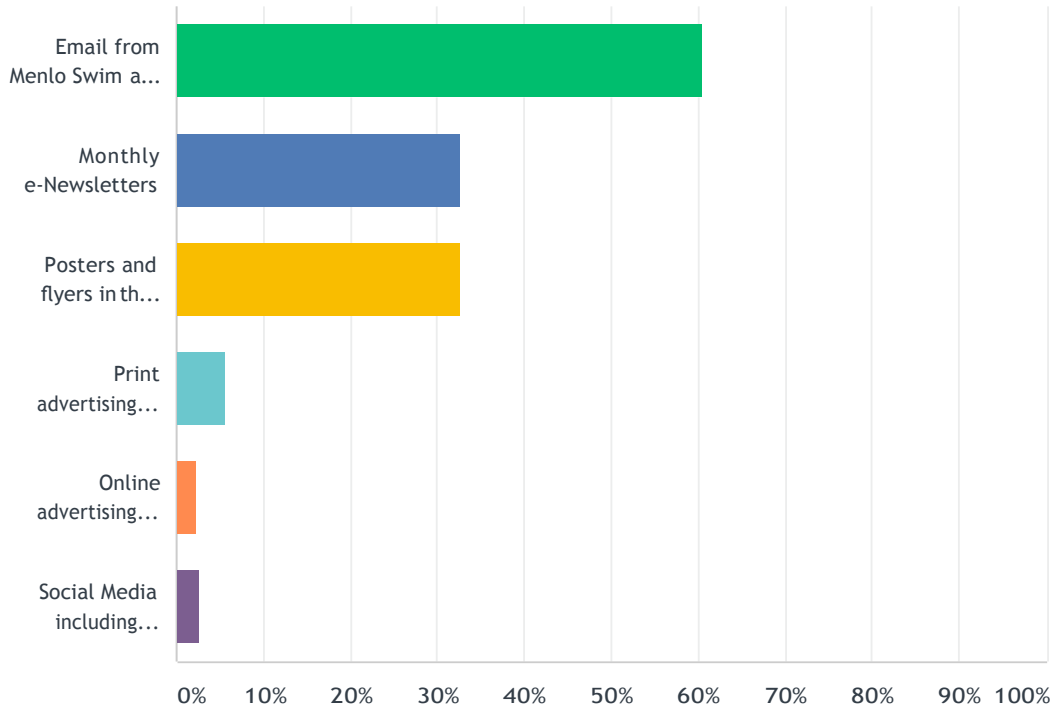
Answered: 221 Skipped: 0



ANSWER CHOICES	RESPONSES	
Menlo Swim School	24.89%	55
Camp Menlo Day Camps	3.62%	8
Menlo Aquatics Swim and Polo	4.07%	9
Private Water Polo Lessons	0.45%	1
Menlo Masters Swimming	24.43%	54
Aqua Fit Water Exercise	23.53%	52
Swim Pro Lessons	2.71%	6
Team Sheeper Triathlon Team	7.24%	16
Menlo Mavens Water Polo	1.36%	3
Lap Swimming	37.56%	83
Open Swimming	19.91%	44
Menlo Fit	2.71%	6
None	0.00%	0
Total Respondents: 221		

Q3 How do you find out about new programs at Menlo Swim and Sport?

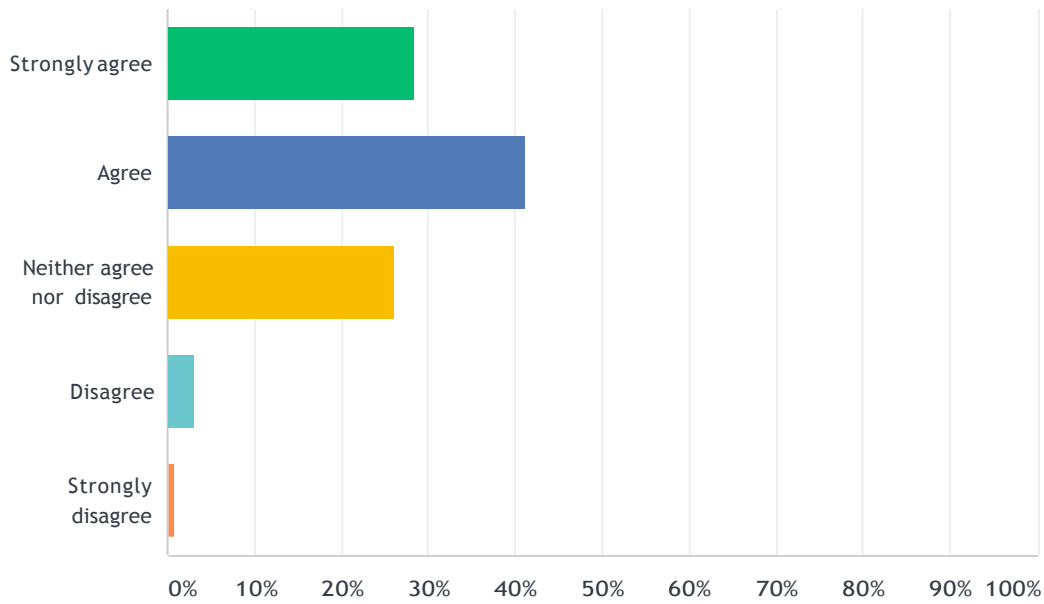
Answered: 215 Skipped: 6



ANSWER CHOICES	RESPONSES	
Email from Menlo Swim and Sport	60.47%	130
Monthly e-Newsletters	32.56%	70
Posters and flyers in the lobby	32.56%	70
Print advertising including Menlo Park Activity Guide & Palo Alto Weekly,	5.58%	12
Online advertising including Google & Palo Alto Online	2.33%	5
Social Media including Facebook, Instagram, Twitter, Yelp	2.79%	6
Total Respondents: 215		

Q4 As a direct result of participating at the pool, I (or my child) feel closer to my community.

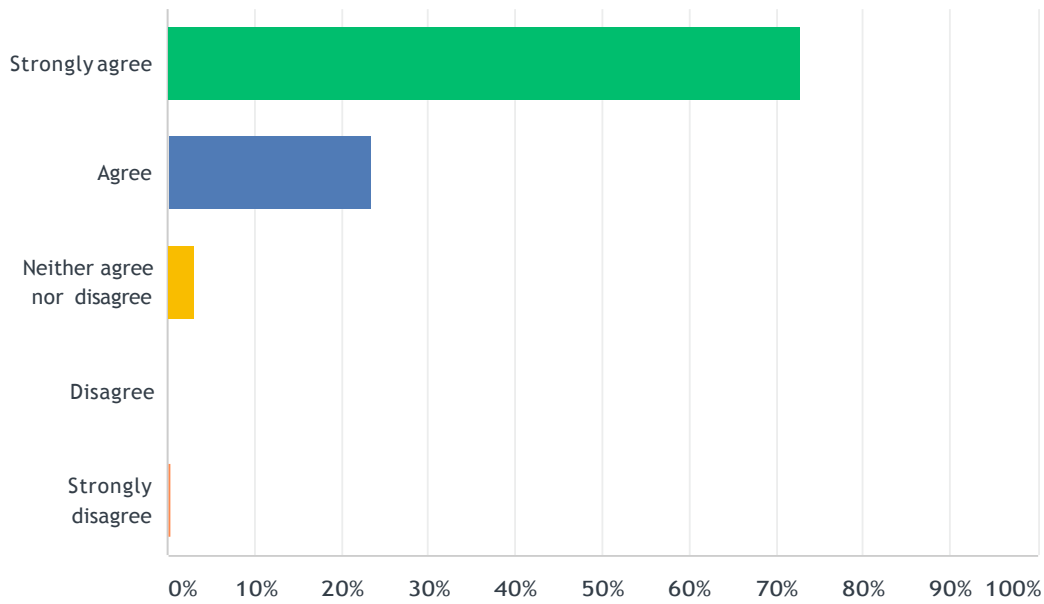
Answered: 221 Skipped: 0



ANSWER CHOICES	RESPONSES	
Strongly agree	28.51%	63
Agree	41.18%	91
Neither agree nor disagree	26.24%	58
Disagree	3.17%	7
Strongly disagree	0.90%	2
TOTAL		221

Q5 My (or my child's) participation in aquatics programs supports a healthy lifestyle.

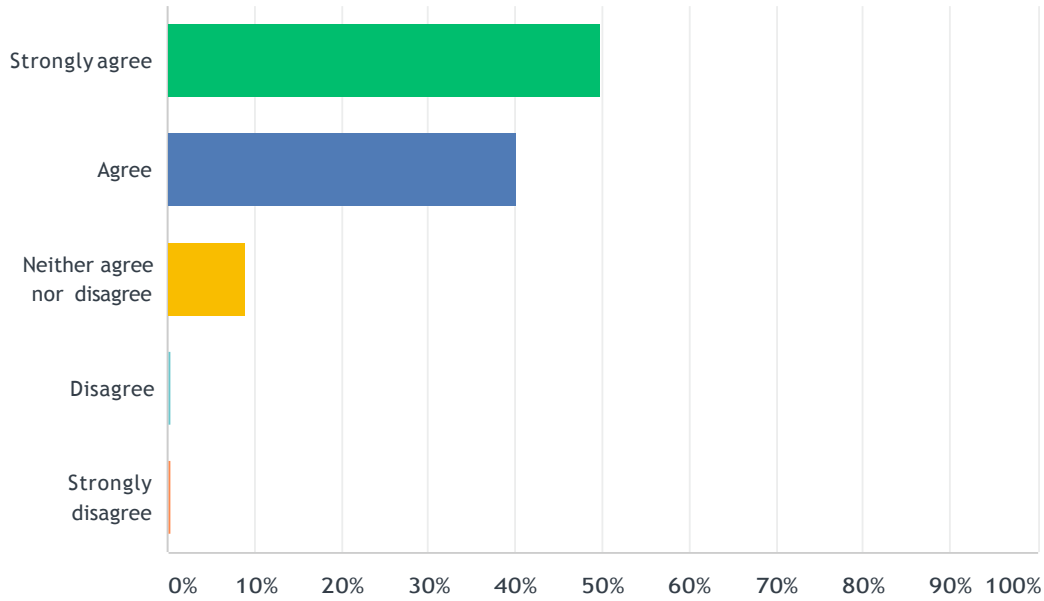
Answered: 221 Skipped: 0



ANSWER CHOICES	RESPONSES	
Strongly agree	72.85%	161
Agree	23.53%	52
Neither agree nor disagree	3.17%	7
Disagree	0.00%	0
Strongly disagree	0.45%	1
TOTAL		221

Q6 My participation (or my child's participation) in aquatics programs contributes to my (child's) individual growth and development.

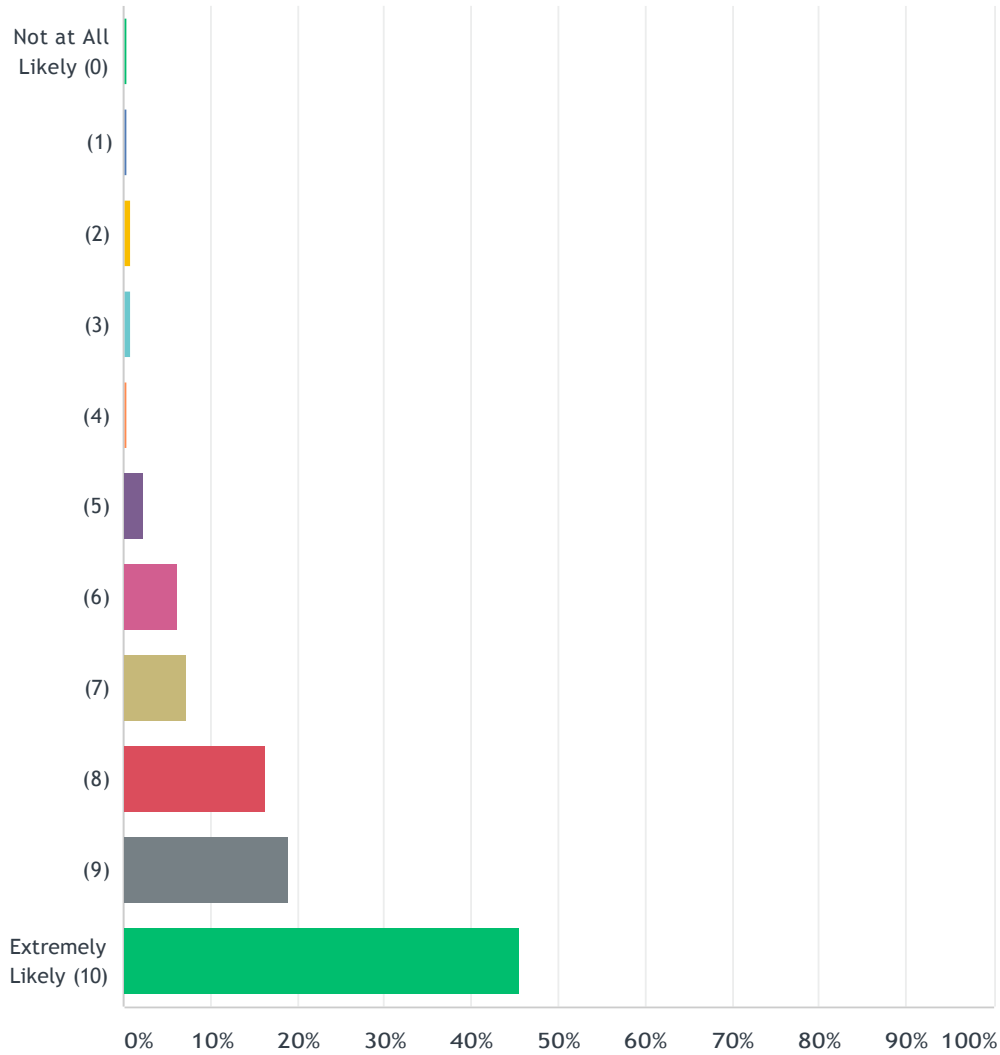
Answered: 221 Skipped: 0



ANSWER CHOICES	RESPONSES	
Strongly agree	49.77%	110
Agree	40.27%	89
Neither agree nor disagree	9.05%	20
Disagree	0.45%	1
Strongly disagree	0.45%	1
TOTAL		221

Q7 Considering your experience with Menlo Swim and Sport, how likely are you to recommend Menlo Swim and Sport to a friend? (0 is not at all likely, 10 is extremely likely)

Answered: 221 Skipped: 0



ANSWER CHOICES	RESPONSES	
Not at All Likely (0)	0.45%	1
(1)	0.45%	1
(2)	0.90%	2
(3)	0.90%	2
(4)	0.45%	1
(5)	2.26%	5
(6)	6.33%	14
(7)	7.24%	16
(8)	16.29%	36
(9)	19.00%	42
Extremely Likely (10)	45.70%	101
TOTAL		221

Q8 What can we do in the future to earn a 9 or 10?

Answered: 105 Skipped: 116

#	RESPONSES	DATE
1	greater attention to safety, hygiene and comfort of patrons: 1. provide warm water for the women's showers, which I thought was customary. 2. provide non slip locker room floor by cleaning off the scum and hair, and mopping dry regularly.As you know, someone recently had stitches in her head after slipping in the shower and hitting her head. We all worry about this happening. 3. Prevent leafblowers on the pool deck while patrons are swimming - just feet away from dust, noise and exhaust.	1/17/2020 4:12 PM
2	I improve the women's locker room. Give us some heat. Fix locks on stalls. Keep the shower heads working properly. Put in additional shelves.	1/17/2020 11:59 AM
3	Consistent teaching staff and more training for staff to improve learning experience for the children.	1/16/2020 2:45 PM
4	Love the programs, would be great to see the locker room and rest rooms a bit cleaner.	1/15/2020 9:46 PM
5	The locker room and showers are dismal. Steve does an amazing job keeping them clean but he is not a plumber nor can he re-tile the floor or replace lightbulbs. The women's showers are in need of urgent repair.	1/15/2020 1:25 PM
6	The shower and locker room desperately need repair. Half the showers don't work properly and the bathroom doors need repair and a new paint job.	1/13/2020 3:03 PM
7	It is Great now	1/13/2020 12:57 PM
8	better coaching	1/12/2020 3:43 PM
9	This year the swimming pool wasn't covered during fall and winter, it reduced the number of times my children and myself were coming. Please bring back the cover	1/12/2020 10:22 AM
10	get the fluctuating pool temperature under control	1/11/2020 9:01 PM
11	I am always recommending anyone of the different swim levels	1/10/2020 3:29 PM
12	Clean/bleach the lockers and showers on a more regular basis. The performance pool could always be colder. :-)	1/9/2020 8:20 PM
13	Retain Sheralee. She is the most fantastic exercise instructor I have ever had. Please extend classes to 5 days a week. If I miss a class, it means there is not another aqua wellness class for 4-5 days.	1/9/2020 5:59 PM
14	the dressing rooms require some renovation. Safety is number one and and expansion is important, visiting the dressing rooms after class is the only part I don't like.	1/9/2020 1:38 PM
15	10	1/9/2020 9:33 AM
16	Add more aqua fit choices	1/8/2020 3:03 PM
17	Not sure.	1/8/2020 2:08 PM
18	Provide a real-time and accurate schedule of instructors.	1/8/2020 11:07 AM
19	Keep the PROGRAM! Continue to make improvements in the locker room- safety is a concern- wet floors- crowded area with baby strollers at times	1/8/2020 7:19 AM
20	Keep the pool temperature stable at 80 degrees. Create programs that include everyone, not just the fastest swimmers.	1/7/2020 10:18 PM
21	You already have one..Improve the dressing rooms	1/7/2020 8:42 PM
22	Make sure performance pool is not randomly too cold on some days.	1/7/2020 7:10 PM
23	Get the better instructors	1/7/2020 6:43 PM
24	Cleaner showers - details like floors and wallaby's of stalls.	1/7/2020 5:43 PM
25	Ongoing maintenance of the facility. The lockers rooms are showing their age with high daily usage. Cleanliness is good but repairs are needed to plumbing and tiles.	1/7/2020 5:07 PM
26	I love our instructors, and they teach the classes consistently. that makes a big difference!	1/7/2020 11:18 AM
27	Update showers in Woman's locker rooms	1/7/2020 10:47 AM

28	Maybe a 10 swim a month reduced rate pass for seniors. The monthly is great if you manage to get to the pool frequently but less so if you don't. Still the monthly is convenient and better than pay-per-swim.	1/7/2020 10:12 AM
29	Locker rooms are way too small.	1/7/2020 8:28 AM
30	Improve facilities, especially showers. Correct students more (swim team) so that they improve their style.	1/7/2020 5:08 AM
31	We didn't have a great experience with a couple of the swim coaches in the summer. I get that they were young and learning teaching skills, but they weren't able to be sufficiently flexible with a child who was finding being with a new person / skill difficult.	1/6/2020 10:49 PM
32	more comfortable and updated shower facilities, better places for parents to sit and watch children when cover is on the pool, warmer bathrooms	1/6/2020 10:09 PM
33	It's always been about the coaches and participants. In that - the program gets hi marks. The locker room is really substandard for the large population it serves and there is no other public pool I've ever heard of that can't control pool temp.	1/6/2020 9:18 PM
34	Bring back the Fast, Medium, Slow lap swim cones to help manage busy times in lap swimming and make sure everyone can enjoy their swim!	1/6/2020 8:52 PM
35	More attention given to stroke correction. More attention given to consistently keeping pool temperature at the advertised 80 degrees.	1/6/2020 8:42 PM
36	The locker rooms are very dated and somewhat dirty. There need to be more rubber mats on the floor to prevent slipping on the slick tiles. The locker room should be heated in winter	1/6/2020 7:09 PM
37	Our Positive experience Thus far really Relies on the caliber of swim Instructors we were fortunate to have. I understand changes in personnel happen but unsure if our experience will be better or worse than past year due to instructor changes	1/6/2020 7:09 PM
38	I recommended it today	1/6/2020 6:59 PM
39	Small things in the locker room: better, high quality soap/shampoo and brighter lighting. It is hard to open a combo lock with the UV lights.	1/6/2020 5:00 PM
40	fix the showers in the women's locker room. There is only one working shower, the handicapped shower.	1/6/2020 4:36 PM
41	Be more responsive when there are pool closures. When you pay a monthly fee and the pool is closed, you can not assume that people can get to the alternative pools you suggest.	1/6/2020 4:31 PM
42	Have the Menlo Mavericks Trainer kids swim in the lap pool all year. The lesson pool is too warm for the intensity of practice and is not healthy in our opinion.	1/6/2020 4:30 PM
43	The coaches have a big impact.	1/6/2020 4:08 PM
44	Keep up the great work. The program is always so good that the challenge is to still continually improve when the bar is so high!	1/6/2020 4:04 PM
45	Keep the locker room clean, fix the showers .	1/6/2020 3:59 PM
46	I feel the swim school group instruction for smaller kids is not quite the same level as others in the area.	1/6/2020 3:14 PM
47	The ladies locker room is very cramped, dirty, with benches that aren't wide enough, and showers that don't work properly. There should be a strong enough water flow so that one can shower efficiently and sufficiently. Sometimes there is only a trickle. Some showers shut off every 8 seconds or so, so that one must keep pressing the shower to release water again. People wait in a line to be able to use the 1 or 2 showers that actually work. Over the last several months, the water temperature in the performance pool has been erratic and inaccurate. The water is different degrees in different areas of the pool. For too long a while the water felt frigid, then for a few blessed weeks it seemed "normal" again, while today it felt cooler. I experience anxiety coming to the pool when I am not sure if I will be able to tolerate the water or not.	1/6/2020 3:11 PM
48	No tent in the winter is wonderful! Please don't buy a new tent.	1/6/2020 3:07 PM

49	Would give an 11 if I could.	1/6/2020 3:04 PM
50	don't have so many pool closures and more timing for lap swim earlier in day in instructional pool	1/6/2020 2:27 PM
51	Cover the pool during the winter!	1/6/2020 2:15 PM
52	Consistency of swim instructors (less subs), shower facilities to accommodate children's needs (the kids are not able to reach the switch/water keeps shutting off)	1/6/2020 2:05 PM
53	It's very difficult to get a spot in swim lessons. They're always full and we end up with our 3rd or 4th choice, in terms of timeslot.	1/6/2020 1:45 PM
54	Be more efficient in your teaching. It has taken over 4 years of continuous lessons, sometimes even more than twice per week, to him learn just 3 strokes. The instructors are "too nice". They need to push a bit to get the children to try harder.	1/6/2020 1:23 PM
55	Communication could be improved. IE I did not realize there were no regularly scheduled swim lessons during Christmas break. I read all the emails I get from MS&S, so I don't think it was advertized well. I really hate the website for booking swim lessons. I tend to call and have someone help me because they are so good at it.	1/6/2020 1:18 PM
56	Improve the facility changing rooms. Figure a way to handle the cold more effectively.	1/6/2020 1:06 PM
57	You got it! Keep up the great work!	1/6/2020 12:37 PM
58	Better trained teachers with more varied teaching techniques and more active participation by students.	1/6/2020 12:31 PM
59	1) Remodel changing rooms and showers 2) Make baby pool warmer 3) improve cleanliness in changing rooms and showers	1/6/2020 12:23 PM
60	Decrease cost to participate; increase diversity of participants.	1/6/2020 12:17 PM
61	The coaches and staff are very friendly and helpful.	1/6/2020 12:12 PM
62	Improve the women's showers.	1/6/2020 12:11 PM
63	We have been disappointed with the rigor of the swim lessons going down. Our son learned to swim with you, and in his days there were a number of good instructors with long time at the swim school. There was Lindsay, a great lead instructor and person-in-charge, and progress was measured by frequent level checks (which now parents have to keep nagging instructors to do) and pics of kids with ribbons. Everything is negative on all these counts and we are only staying on till we can find better options.	1/6/2020 12:11 PM
64	I feel like the swim school could be better. My son has literally been working on the exact same skill for the past year and he only just got his ribbon because I finally asked. He was working on freestyle, breaststroke, backstroke at his other swim school and somehow they only placed him in level two. I feel like the four boys just goof off in the class because they're bored and not challenged. We've also had a rotating door of teachers which, I think, also contributes to the problem. Don't exactly feel like I'm getting my money's worth.	1/6/2020 11:59 AM
65	Group lessons have too many students per teacher. Most of the class time is spent waiting on the side for a turn to swim. Children get restless and bored while waiting. Surely there is a way for the other 2-3 children to practice their strokes while the teacher works with an individual student. More open swim times are needed after school. Given the short duration of actual swimming in group lessons, kids needed time to practice what they have learnt but there are no open swim times after school during school terms. The open swim starts late when most families are eating dinner making it impossible to attend.	1/6/2020 11:54 AM
66	Better communication about who the instructor will be for the swim camps- on site. Ours changed multiple times throughout the camps that we participated in.	1/6/2020 11:53 AM
67	Would like better notification or communication about pool closures or program cancellations.	1/6/2020 11:44 AM
68	Better swim instructors	1/6/2020 11:38 AM
69	Fix the showers so they have a decent spray so you can get the soap out of hair.	1/6/2020 11:19 AM
70	Upgrade locker room facilities; add more outdoor rinse off showers. Uneven instruction at swim school - some instructors are fantastic; others not so much.	1/6/2020 11:12 AM

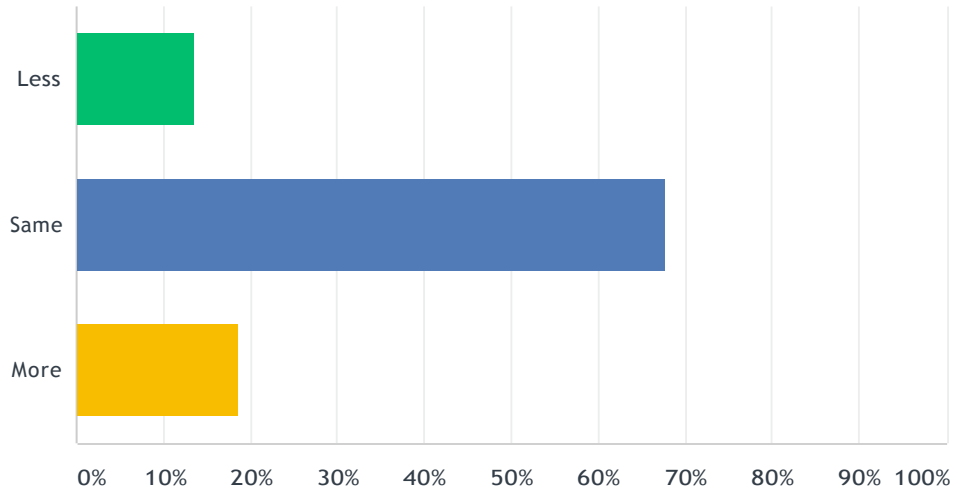
71	Improve women's locker room	1/6/2020 11:11 AM
72	A little better communication on issues and consistency with water temperature	1/6/2020 11:11 AM
73	Better showers? Everyone fights for 1 or 2 of them the water isn't hot or takes FOREVER to get hot in the others. Having better showers means less time wasted in the changing room! When lights went out I had to threaten to call the city before they got fixed. I complained every week for 6 weeks. Cleaner changing rooms	1/6/2020 11:06 AM
74	We need more room for the Aqua Wellness class (9 am). There are as many people in that class as the morning AquaFit yet we lose several lanes. The space during the summer is ridiculous for how popular that class is. I wouldn't recommend to outside people just because I'd hate to lose more space.	1/6/2020 11:04 AM
75	Please heat the locker room a little more.	1/6/2020 11:04 AM
76	Have a decent program that actually moves children through levels and encourages them to achieve their best and enjoy the sport. Need teachers with positive attitude and belief in students. Need more programs and quicker progression through levels.	1/6/2020 11:01 AM
77	Improve the locker rooms	1/6/2020 11:00 AM
78	Make sure that the showers work and run for longer periods of time. Make sure the cleaning lady ready scrubs the shower walls and floors well.	1/6/2020 10:59 AM
79	More availability for swim lessons, better communication for level system	1/6/2020 10:58 AM
80	We have not had great success with the teachers except for Coach Ray. After almost a year there, my two girls 5 and half and three and half made more progress with coach Ray in the few weeks they were with him then the entire time with the other teachers. In fact, since Coach Ray's departure, they have regressed. In order to earn a 9 or 10, I suggest there be more emphasis on teacher training and hiring and more consistency with the teachers and classes.	1/6/2020 10:52 AM
81	During weekends, especially Sunday, I would love more lanes for lap swimming in the earlier morning hours.	1/6/2020 10:49 AM
82	Improve the shower facilities! It's hard for children to reach the buttons and know what's hot and cold. Some showers don't ever seem hot.	1/6/2020 10:44 AM
83	I continue to be dismayed by the water quality in the performance pool. The temperature fluctuations (mostly too hot) often make swimming at a performant level impossible. The website claims the pool is kept at 80 degrees but this is rarely the case. I would like to see an independent 3rd party come in and evaluate the maintenance program including the impact the sport court may have on water quality.	1/6/2020 10:38 AM
84	Improve cleanliness in the restrooms / locker rooms	1/6/2020 10:38 AM
85	Constant swim teachers for the year round swim school.	1/6/2020 10:36 AM
86	Better locker room layout	1/6/2020 10:32 AM
87	Supervise the cleaning lady more closely	1/6/2020 10:31 AM
88	Perhaps plan/install a new dome?	1/6/2020 10:26 AM
89	keep it up, keep the pool warm, clean and ready for swimmers, and continue to have great coaches on deck	1/6/2020 10:26 AM
90	I think the shower room needs to be improved. It is very hard to use and not every room has hot shower. It would be good to have some instructions on the wall. My daughter always feels cold after swimming especially in the winter. The only hot shower in the lady room is the one at the corner for disables. Sometimes it is occupied and we have to wait. We tried others and none of them worked.	1/6/2020 10:22 AM
91	More flexibility and instructor availability for private and semi-private lessons on weekends, when most people are available. I find that the 2 instructors I saw giving privates were good for older children, but a little tough for younger ones. We moved to another pool for November to April classes because the instructional pool is no longer covered. As a working parent, I don't want to take the chance of my child getting sick by swimming outside because the school sends kids back home when they are sick, which is very disruptive for working parents, and children	1/6/2020 10:21 AM

miss classes. I used to swim in the Masters and got sick a lot in the winter and stopped swimming outdoors in the winter. Find some exercise, drill or activity for kids to do when waiting for their turn by the side of the pool.

92	Swim instructors have too much turnover. Communication about the facilities and holiday hours, closures etc needs to be better. I don't get a strong sense of management from the facility.	1/6/2020 10:20 AM
93	Make sure that the specified number of lap swimming lanes is available at the times specified in the schedule. It is very common to have less available lanes than expected.	1/6/2020 10:20 AM
94	Improve locker room. For example, signs posted: "Please do not put your shoes or bags on the benches." If shoes are under benches and bags are hung on a hook, there is more room for people to sit and put their equipment WHILE GETTING DRESSED.	1/6/2020 10:19 AM
95	You are already there!	1/6/2020 10:18 AM
96	The winter without the bubble is rough. Also, the amount of teacher turnover has been difficult.	1/6/2020 10:11 AM
97	More lap swimming availability	1/6/2020 10:11 AM
98	Update the locker rooms	1/6/2020 10:11 AM
99	My only beef isn't that big and won't change our participation - it's to do with the changes in cost for bronze/silver/gold teams. My child will probably continue to only do swim practices once/week and so paying for full access isn't super cost effective. Also, when I look, I wish there was a non-competitive team for her to transition into when she's older - she loves swimming and the practices but has a hard time with competition. It would awesome to have something she could do for the joy of swimming.	1/6/2020 10:10 AM
100	The lap pool need to be cleaned more frequently	1/6/2020 10:10 AM
101	Improve the women's showers!	1/6/2020 10:10 AM
102	There's such a wide variety of quality in the swim instructors--some were amazing, some were just going through the motions. Better trained staff would help. More open swim hours would be a huge hit.	1/6/2020 10:09 AM
103	Keep performance pool temperature at reasonable level.	1/6/2020 10:09 AM
104	More consistent swim teachers - lots of subs makes it hard for kids to bond with teachers	1/6/2020 10:08 AM
105	Maybe make the swim programs a little less intimidating for non-swimmers to join? I am thinking of having days where the Menlo Fit campers are invited to try swim sessions/instruction?	1/6/2020 10:07 AM

Q9 How often are you using the aquatic facility compared to last year?

Answered: 221 Skipped: 0



ANSWER CHOICES	RESPONSES	
Less	13.57%	30
Same	67.87%	150
More	18.55%	41
TOTAL		221

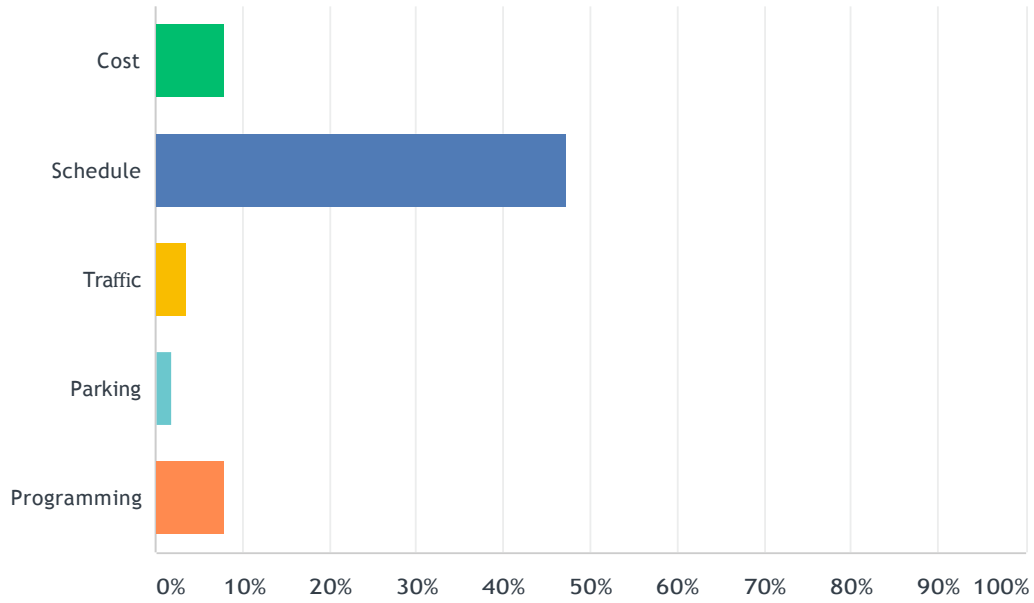
#	WHY?	DATE
1	The pools are really a wonderful asset. However, every visit I dread the showers and hope that the handicap shower is available, since it is the only warm one. Every week I think about quitting the pool because of the icy showers. I think when Canada College opens their facility Burgess will lose a lot of regular swimmers if this isn't improved.	1/17/2020 4:12 PM
2	Fewer swim lessons for my younger child (couldn't accommodate schedule and needed private attention) but joined swim team so overall use is the same.	1/15/2020 9:46 PM
3	Kids participate	1/13/2020 3:03 PM
4	I love it	1/13/2020 12:57 PM
5	This year the swimming pool wasn't covered during fall and winter, it reduced the number of times my children and myself were coming. Please bring back the cover	1/12/2020 10:22 AM
6	I cannot count on being able to swim because I am not confident the pool will not be too hot. For this reason I have started attending lap swim elsewhere	1/11/2020 9:01 PM
7	I use it 6 days a week	1/10/2020 3:29 PM
8	family illness. not by choice	1/10/2020 11:47 AM
9	Schedule lifted	1/8/2020 9:05 PM
10	My job is taking me in the other direction and my commute is just really hard if I have to head south before going north. I'm sad, because I really like swimming at this pool.	1/8/2020 8:38 PM
11	?	1/8/2020 3:03 PM
12	Able to get to class.	1/8/2020 2:08 PM
13	good for my body	1/8/2020 12:33 PM
14	4x per week is good	1/8/2020 11:07 AM
15	Swimming is my primary fitness activity and I will continue for as long as I can.	1/7/2020 10:18 PM
16	As often as I am able.	1/7/2020 9:39 PM
17	You need to add more aqua fit classes to the schedule . In my case Saturday and tues/thur classes would be great.	1/7/2020 8:42 PM
18	Look forward to Aquafit with Sheralee Beebe	1/7/2020 4:20 PM
19	As long as the performance pool temp is kept consistently between 79-81. It's ridiculous the fluctuation there has been this past year, and even more ridiculous that it has been running so warm! I have thought about switching clubs because I am so frustrated by it.	1/7/2020 2:00 PM
20	I rarely got there last year. This year - well, we'll see...	1/7/2020 10:12 AM
21	Time commitments and cross training	1/7/2020 8:19 AM
22	Only moved here this year	1/6/2020 10:49 PM
23	not as good for littler kids to take classes vs other competitors in area, as colder, harder for parents to help them shower, nowhere for parents to sit during the winter. children did not enjoy teaching style as much either	1/6/2020 10:09 PM
24	Enjoy swimming. Seeing improvement. Hours suit my schedule. Coordinate with kids swim and gymnastics lessons.	1/6/2020 8:52 PM
25	More practice given my daughter was progressing so well with her last instructor	1/6/2020 7:09 PM
26	I liked the dome during the winter.	1/6/2020 4:31 PM
27	My husband is swimming more frequently with my daughter	1/6/2020 4:30 PM
28	Cold pool is hard to get into when the weather is wet and cold. Work schedule this year 2019 has been harder to allow pool time.	1/6/2020 4:08 PM
29	time	1/6/2020 2:27 PM

30	No tent	1/6/2020 2:05 PM
31	Weekend Open Swim hours are limited and no longer fit with my toddler son's nap schedule. We'd love to enroll both of our two kids in Swim School on the weekends (we work full time during the week), but the slots are always full and we can't get into the class we want.	1/6/2020 1:45 PM
32	See above	1/6/2020 1:06 PM
33	Training for a triathlon so unable to swim more times in the pool. It would be great if there was a triathlon training for swim at the pool.	1/6/2020 1:01 PM
34	I resigned from the class	1/6/2020 12:58 PM
35	Signed up this year for swim school.	1/6/2020 12:03 PM
36	I had to switch to Menlo swim school because it was too hard to get to our other lessons during commute hours. Once my son started kindergarten we had no choice but to go to classes that were closer to home just because of logistics.	1/6/2020 11:59 AM
37	Children are taking weekly swim lessons	1/6/2020 11:54 AM
38	No bubble cover or equivalent so I don't use the facility during the winter	1/6/2020 11:50 AM
39	Last year I had 4 surgeries	1/6/2020 11:43 AM
40	Due to surgery	1/6/2020 11:11 AM
41	You know what you are getting. No major life changes	1/6/2020 11:11 AM
42	Already 5 times a week :)	1/6/2020 11:08 AM
43	I've been sick. But plan to use it at about the same rate once I am better. Again, better showers would help.	1/6/2020 11:06 AM
44	2018 was a sucky year in terms of working out.	1/6/2020 11:05 AM
45	Plan on having more time this coming year to swim.	1/6/2020 11:04 AM
46	I am bothered more by the cold outside air than in previous years.	1/6/2020 11:04 AM
47	Because your swim lesson program is one of the worst I have ever witnessed.	1/6/2020 11:01 AM
48	Only if I can find placement	1/6/2020 10:58 AM
49	We are not happy with the progress made in the classes outside of what we saw with Coach Ray.	1/6/2020 10:52 AM
50	Swimming is now a more appropriate exercise than running.	1/6/2020 10:41 AM
51	I am at work just as much as I was last year	1/6/2020 10:39 AM
52	Moved farther out. Using LRD.	1/6/2020 10:32 AM
53	Back issues	1/6/2020 10:32 AM
54	Waiting for the new dome!	1/6/2020 10:26 AM
55	maybe, I also had some medical issues this year that kept me out of the water more than I would have preferred	1/6/2020 10:26 AM
56	Teachers are really kids-friendly. My daughter likes them a lot, which helps her keep going to the class.	1/6/2020 10:22 AM
57	We moved to another pool for November to April classes because the instructional pool is no longer covered. As a working parent, I don't want to take the chance of my child getting sick by swimming outside because the school sends kids back home when they are sick, which is very disruptive for working parents, and children miss classes. I used to swim in the Masters and got sick a lot in the winter and stopped swimming outdoors in the winter.	1/6/2020 10:21 AM
58	I am always worried it is going to be closed or not available for open swim.	1/6/2020 10:20 AM
59	Other things to do	1/6/2020 10:18 AM
60	Already swim 5 days a week.	1/6/2020 10:18 AM

61	Bought annual pass; knees hurt too much to do non-swimming sports	1/6/2020 10:17 AM
62	Work and family commitments	1/6/2020 10:12 AM
63	Too pricey	1/6/2020 10:10 AM
64	My children are older and swim safety is more important!	1/6/2020 10:09 AM
65	Travel	1/6/2020 10:09 AM
66	I use it before the saturday rides from time to time. I will also use it mid week if I am in the area	1/6/2020 10:09 AM
67	Weekly swim lessons	1/6/2020 10:08 AM
68	High school swim season--practice at high school	1/6/2020 10:08 AM
69	I don't use them.	1/6/2020 10:07 AM

Q10 What are the limiting factors for you using the facility?

Answered: 165 Skipped: 56



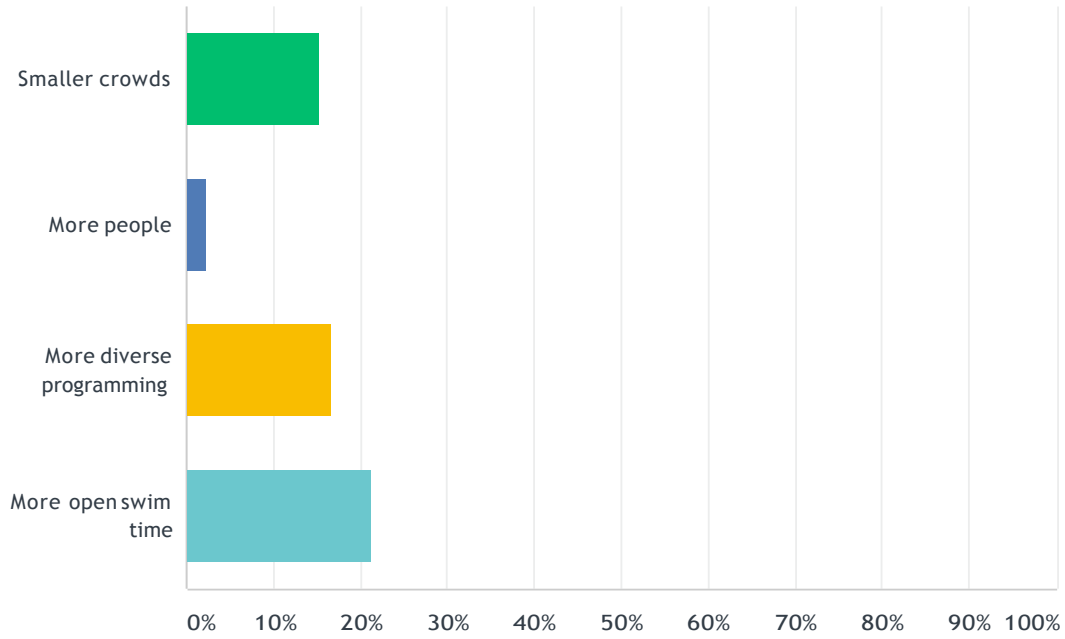
ANSWER CHOICES	RESPONSES	
Cost	7.88%	13
Schedule	47.27%	78
Traffic	3.64%	6
Parking	1.82%	3
Programming	7.88%	13
TOTAL		165

#	OTHER	DATE
1	Nothing	1/17/2020 12:00 PM
2	I already use the facility five days a week.	1/15/2020 1:27 PM
3	I use it a lot	1/13/2020 2:19 PM
4	showers in women's locker room are terrible	1/11/2020 9:51 PM
5	my own laziness	1/11/2020 9:47 PM
6	pool temperature fluctuating	1/11/2020 9:03 PM
7	my schedule, not the facilities'	1/10/2020 11:50 AM
8	Illness	1/10/2020 10:29 AM
9	NONE	1/9/2020 10:53 PM
10	Distance	1/9/2020 10:12 PM
11	The women's locker room is way too small and run down. It needs to be renovated and tripled in size. Frankly its an embarrassment for a city like Menlo Park.	1/9/2020 6:27 PM
12	I do other sports and just don't have time to swim more	1/8/2020 8:49 PM
13	My own schedule is very busy.	1/8/2020 3:26 PM
14	exercise limits	1/8/2020 2:58 PM
15	I'm a lap swimmer swimming 4-5 days a week. Only vacations and occasionally feeling under the weather keeps me from the pool. Unless the pool heater breaks and you close the pool.	1/8/2020 2:19 PM
16	My own schedule and constraints of time	1/8/2020 12:35 PM
17	Dressing room facilities are poor and too small. Shower heads often do not work.	1/8/2020 7:53 AM
18	Outside commitments	1/7/2020 9:41 PM
19	None	1/7/2020 5:09 PM
20	none of the above	1/7/2020 4:21 PM
21	would like wellness classes to be offered monday through Friday not just Monday, Wednesday Friday	1/7/2020 3:24 PM
22	How the water temperature in the shower is luke warm for most and it takes so long for some of the showers to heat up, and how the shower head outputs are crappy except for one shower and how none of this has been corrected this past year.	1/7/2020 2:09 PM
23	My own time and details of life	1/7/2020 1:05 PM
24	None	1/7/2020 10:49 AM
25	Just my own inertia.	1/7/2020 8:29 AM
26	I swim four days a week. That's all I have time for.	1/6/2020 8:50 PM
27	for me, none	1/6/2020 7:24 PM
28	I like to mix up my exercise	1/6/2020 7:01 PM
29	My own schedule limits my use to three days per week.	1/6/2020 6:50 PM
30	The showers in the women's locker room do not work. There is only ONE working shower, the handicapped one. It has been this way for over a year	1/6/2020 4:39 PM
31	Work has been busy in 2019.	1/6/2020 4:11 PM
32	None	1/6/2020 3:37 PM
33	Scheduling combined with traffic and commute distance	1/6/2020 3:15 PM
34	Only if the water is too cold.	1/6/2020 3:12 PM

35	I go to aqua fit six days a week. That is enough.	1/6/2020 3:10 PM
36	No pool covering	1/6/2020 2:15 PM
37	Please offer more classes on weekend, including Sunday afternoon	1/6/2020 2:11 PM
38	Parking is also becoming a problem	1/6/2020 1:09 PM
39	I prefer handicapped parking	1/6/2020 1:01 PM
40	None	1/6/2020 1:00 PM
41	body gets tired more easily	1/6/2020 12:39 PM
42	and Terrible showers	1/6/2020 12:12 PM
43	Location - we are based in Pacifica	1/6/2020 11:53 AM
44	No protection from rain and cold in the winter	1/6/2020 11:51 AM
45	I would come practically every day if the time and instructor were right .	1/6/2020 11:36 AM
46	none	1/6/2020 11:21 AM
47	N/A	1/6/2020 11:16 AM
48	Surgery that restricts pool use	1/6/2020 11:12 AM
49	I do other exercise on the days I do not swim.	1/6/2020 11:06 AM
50	No limiting factors	1/6/2020 11:01 AM
51	no limiting factors for us.	1/6/2020 11:00 AM
52	Just my time and recovery cycle	1/6/2020 11:00 AM
53	Program availability	1/6/2020 11:00 AM
54	Distance from home to pool	1/6/2020 11:00 AM
55	only limiting factor has been when pool closed for mechanical or maintenance problems	1/6/2020 10:59 AM
56	Health	1/6/2020 10:45 AM
57	Age, we swim 3x/week	1/6/2020 10:33 AM
58	none	1/6/2020 10:27 AM
59	It is cold in the winter and the instructional pool is no longer covered. Swimming outdoors increases the chances of my child getting sick, plus he is not interested in swimming outside when it's cold. And when kids are sick, the schools send them back home, which is very disruptive for working parents if it happens 3-4 times or more during the fall and winter.	1/6/2020 10:24 AM
60	my work schedule	1/6/2020 10:21 AM
61	None	1/6/2020 10:20 AM
62	Other opportunities	1/6/2020 10:19 AM
63	None	1/6/2020 10:19 AM
64	My own personal availability	1/6/2020 10:13 AM
65	Lack of warmth in the winter, changes of teachers, the women's bathroom is terrible	1/6/2020 10:13 AM
66	About 2out of 6 shower heads in the women's bathroom deliver hot water.	1/6/2020 10:13 AM
67	No tent in winter or other protection In winter Had to suspend my enrollment for the winter	1/6/2020 10:13 AM
68	distance. I don't live in the area	1/6/2020 10:10 AM
69	Insecurity about my swimming ability and technique versus others.	1/6/2020 10:08 AM
70	There are no limiting factors	1/6/2020 10:07 AM

Q11 What would attract you to spend more time at the aquatic facility?

Answered: 131 Skipped: 90



ANSWER CHOICES	RESPONSES	
Smaller crowds	15.27%	20
More people	2.29%	3
More diverse programming	16.79%	22
More open swim time	21.37%	28
TOTAL		131

#	OTHER	DATE
1	Nothing	1/17/2020 12:00 PM
2	It is fine as it is	1/13/2020 2:19 PM
3	better showers minimal hot water	1/11/2020 9:51 PM
4	consistent temperature of 79-80 in the performance pool	1/11/2020 9:03 PM
5	i have adjusted my lap swim schedule around Masters and when the pool is in heavy use. Most of the year I'm fine. it can get too busy in mid summer	1/10/2020 11:50 AM
6	I'm there enough	1/9/2020 10:53 PM
7	early morning, non-masters lap swimming.	1/9/2020 8:22 PM
8	Aqua wellness classes every weekday.	1/9/2020 6:27 PM
9	A slightly earlier Masters swim time would make it possible for me to swim then. (I know, SO early .. !)	1/8/2020 8:41 PM
10	More weekend options because of my busy schedule during the week.	1/8/2020 3:26 PM
11	nothing	1/8/2020 2:58 PM
12	I'm happy.	1/8/2020 2:19 PM
13	More waterpolo time. Our cost went way up and our hours were cut back in 1 year. Mondays back please.	1/8/2020 1:29 PM
14	none of the above	1/8/2020 12:35 PM
15	A more comfortable place to sit in the lobby or by the pool. More flexibility in admission--I pay nearly \$1000 just for Masters, and that doesn't permit me to use the pool at any other time, nor do I want to pay more. In fact, I wonder if I will have to stop swimming because I can't afford it.	1/7/2020 10:25 PM
16	Basically none.	1/7/2020 9:41 PM
17	dryland excercises. summer yoga	1/7/2020 5:09 PM
18	(not applicable)	1/7/2020 1:05 PM
19	if I could lap swim without having to share a lane.	1/7/2020 11:19 AM
20	No issues , quite happy the way it is	1/7/2020 10:49 AM
21	You have a good lap swim schedule - it is more the GETTING MYSELF there!	1/7/2020 10:14 AM
22	I prefer swimming in the off season (not summer) when crowds are fewer.	1/7/2020 8:29 AM
23	nothing	1/7/2020 8:20 AM
24	Water temperature consistently at 80 degrees. I have been told that the thermometer nearly always shows 80 degrees, but it just isn't. I have a thermometer watch which often reads 82-83.	1/6/2020 8:50 PM
25	but so far I always found a lane	1/6/2020 7:24 PM
26	Better locker room facility. Showers are terrible. People line up to use the one shower that has consistent hot water that stays on	1/6/2020 7:12 PM
27	Nothing	1/6/2020 7:01 PM
28	More lap swim lanes available.	1/6/2020 6:54 PM
29	Fix the showers in the women's locker room. There is only ONE working shower, the handicapped one. It has been this way for over a year.	1/6/2020 4:39 PM
30	It's on me to get there and for my schedule to allow the time.	1/6/2020 4:11 PM
31	Nothing.	1/6/2020 3:10 PM
32	Pool cover	1/6/2020 2:15 PM

33	More weekend Swim School time slots / private instructors.	1/6/2020 1:46 PM
34	It would be nice if the full classes could use the amount of room that is needed, rather than be so crowded when th.e swim lanes are increased	1/6/2020 1:09 PM
35	I'm going to take aquafit class at Palo Alto YMCA	1/6/2020 1:01 PM
36	None	1/6/2020 1:00 PM
37	master's times are flexible, so I rotate days with my tolerance	1/6/2020 12:39 PM
38	None	1/6/2020 12:28 PM
39	Cleaner facilities	1/6/2020 12:25 PM
40	in the instructional pool	1/6/2020 12:12 PM
41	Better swim school program: better instructors, frequent level checks, good supervision of instructors and measurable progress of our child	1/6/2020 12:12 PM
42	more lap swim space after 4 pm....	1/6/2020 12:09 PM
43	I love the classes on Tues night. When we dance to shoe tunes in the water- it really elevated my mood.	1/6/2020 12:05 PM
44	Install protection from rain and cold in the winter	1/6/2020 11:51 AM
45	see above	1/6/2020 11:36 AM
46	none I like my routine	1/6/2020 11:21 AM
47	More lap swimming hours, especially in the early morning. Also, making sure the life guard is always there when the pools opens. Every once in awhile, a life guard doesn't show up and it's painful to turn around and head home at 6am.	1/6/2020 11:11 AM
48	more personalized classes to improve. Again already at an awesome level with menlo masters.	1/6/2020 11:09 AM
49	More lap swim lanes on weekends in warm pool!	1/6/2020 11:08 AM
50	I will spend more tome there when it gets warmer.	1/6/2020 11:06 AM
51	More reliable lap lane availability	1/6/2020 11:01 AM
52	No issues	1/6/2020 11:01 AM
53	Open swim as part of Masters annual subscription	1/6/2020 11:00 AM
54	I am pleased with the center; it is difficult to do lap swimming after 3pm weekdays in hot pool	1/6/2020 10:59 AM
55	Not much really. We're pretty satisfied with the offerings. I guess sometimes the schedules offered don't suit our schedules, but overall great.	1/6/2020 10:47 AM
56	I spend all my time at the pool either swimming or working.	1/6/2020 10:41 AM
57	Getting swim classes for kids that fit our schedule.	1/6/2020 10:33 AM
58	Able to swim during the chilly days in Jan and Feb	1/6/2020 10:27 AM
59	I might swim in the evening, especially in summer if masters workouts were resumed then	1/6/2020 10:27 AM
60	i spend a fair amount with menlo masters	1/6/2020 10:25 AM
61	Covered pool in winter, smaller crowd in the summer.	1/6/2020 10:24 AM
62	none of above.	1/6/2020 10:21 AM
63	Fine as it is.	1/6/2020 10:20 AM
64	nothing	1/6/2020 10:19 AM
65	Not interested in spending more time.	1/6/2020 10:19 AM
66	Nothing	1/6/2020 10:13 AM
67	See above about winter, bathrooms, and teachers	1/6/2020 10:13 AM

68	More lap lanes in summer.	1/6/2020 10:12 AM
69	Better locker rooms	1/6/2020 10:11 AM
70	Intro swim designated times/dates?	1/6/2020 10:08 AM

Q12 What could management do to improve your time spent at the aquatic facility?

Answered: 88 Skipped: 133

#	RESPONSES	DATE
1	See previous suggestions	1/17/2020 12:00 PM
2	Fix the showers. Fix locks on the bathroom doors. Replace burnt out lightbulbs.	1/15/2020 1:27 PM
3	I would like to have Cherilee teach a deep pool class	1/13/2020 2:19 PM
4	improve locker rooms	1/11/2020 9:51 PM
5	consistent pool temperature	1/11/2020 9:03 PM
6	a cover for the instructional pool in the winter wine and cabana boys	1/9/2020 10:53 PM
7	16+ attend the 10am classes, yet available space is reduced by ne lane all year when there isn't anyone waiting to swim in the new lane. Occasionally there are 2 people for the lane next to the lesson area. It doesn't seem to make sense to squeeze 16 people into 2 lanes to accommodate one person in one lane.	1/9/2020 6:27 PM
8	more inviting dressing rooms	1/9/2020 1:41 PM
9	Better showers. The anemic water flow and unpredictable temperature is a real problem.	1/9/2020 1:32 PM
10	More/Better/hotter showers in women's locker room	1/8/2020 8:49 PM
11	Put lighter doors at entrance. Too hard to manage with a cane or walker	1/8/2020 3:03 PM
12	Improve the women's locker room.	1/8/2020 2:19 PM
13	The temperature is fluctuating significantly these days and the response time to change it is very long.	1/8/2020 1:29 PM
14	better place to dry off, don a robe and not have to use dressing room before driving home.	1/8/2020 12:35 PM
15	The Aqua Wellness classes are often crowded, although it's not too bad in the winter. Another lane would help.	1/8/2020 11:43 AM
16	Keep the locker rooms clean--by evening they are filthy. Fix the showers--many don't work well (spray too constricted to rinse off soap). Heat the locker rooms in the winter--it's cold in there in the early morning. I dislike the dome and am happy it hasn't been put up this year.	1/7/2020 10:25 PM
17	Maybe have more lanes dedicated to the 9 & 10 am aqua fit classes.	1/7/2020 9:41 PM
18	Make the dressing rooms larger and less slippery	1/7/2020 8:43 PM
19	Management is fantastic! The locker rooms are cramped.	1/7/2020 8:37 PM
20	Give lower cost adult swim lessons and cleaner showers.	1/7/2020 5:44 PM
21	The city could make sure the facilities are well maintained -- locker rooms and shower plumbing is showing signs of age and high use.	1/7/2020 5:09 PM
22	more locker room facilities	1/7/2020 3:24 PM
23	Fix the sensor for the temperature regulator for the performance pool so it gives an accurate reading. This pool should be maintained by USA, USMS standards for competition which is 79-80 degrees. The bulk of the time the pool runs between 81-83 which is proven to be not safe for working out. Honest communication regarding the actual pool temperatures even when too high or too low needs to be communicated in a timely, consistent and clear manner. Also fixing the showers in the locker room - both mens and women's. It's absurd how shoddy they work.	1/7/2020 2:09 PM
24	Consistently turn off unnecessary lights and any other energy conservation that is practical.	1/7/2020 1:05 PM
25	Shower rooms are a bit crowded and hard to get hook, locker and space all together.	1/7/2020 10:14 AM
26	Expand the locker room area (although I'm not sure how this would be accomplished).	1/7/2020 8:29 AM
27	I would like to see stroke correction and improvement play a bigger role in the Menlo Masters program.	1/6/2020 8:50 PM
28	more reliable spin dryer	1/6/2020 7:24 PM
29	See above comments about locker room. It is cold, not clean, showers are awful, floors are too	1/6/2020 7:12 PM

slick and there are not enough rubber anti-slip mats on the floor

30	Fix the locker rooms. The women's showers are really bad, only one really works. The windows are always open, it's always cold, especially with the barely there showers. The lockers themselves are really small, and the bottom ones are difficult to use.	1/6/2020 7:01 PM
31	Quieter lobby, some working outlets, better wi-fi	1/6/2020 6:44 PM
32	nothing - I love the staff	1/6/2020 5:03 PM
33	Fix the showers in the women's locker room. There is only ONE working shower, the handicapped one. It has been this way for over a year.	1/6/2020 4:39 PM
34	Improve the locker rooms. The showers are generally poor except for 1 in the ladies room. It's always wet in there and tough when Masters overlaps with kids and parents in the locker room.	1/6/2020 4:11 PM
35	Sounds silly - but add an outdoor hook(s) to hang bag on, while using the outdoor shower heads - bags get wet on the ground while using the shower - simple update would encourage more people to use in warm weather	1/6/2020 3:37 PM
36	Develop an "active shooter" defense strategy. I have one for myself, but, unfortunately, there should be an official program.	1/6/2020 3:10 PM
37	Pool cover	1/6/2020 2:15 PM
38	More seating for waiting parents would be Nice. Also selling hair ties in the shop would be helpful	1/6/2020 1:57 PM
39	Steam clean locker room and entry more frequently	1/6/2020 1:36 PM
40	Please renovate the bathrooms. My kids refuse to use them because they think they are gross. In my opinion, adding more lighting and just keeping the floor dry will help a lot.	1/6/2020 1:25 PM
41	The family restrooms are often full (often with people who could use the other restrooms).	1/6/2020 1:15 PM
42	See above	1/6/2020 1:09 PM
43	Upgrade shower facilities.	1/6/2020 1:01 PM
44	Nothing. Staff always pleasant & helpful. Attractive surroundings. No complaints vis a vis the facility. I didn't get along with some of the class members I encountered.	1/6/2020 1:01 PM
45	Do not allow people to spit into the pool or its overflow area.	1/6/2020 12:56 PM
46	Ensure that your lifeguards know the schedule and place the cones out to indicate the schedule. Ensure that there is more than one lifeguard on duty - that is not adequate for pool safety.	1/6/2020 12:40 PM
47	I'm truly impressed with the facility, always clean, always cheerful, always ready!	1/6/2020 12:39 PM
48	Easier access to makeup classes	1/6/2020 12:32 PM
49	improve the showers	1/6/2020 12:12 PM
50	Swim school focus. Better and clear supervision of program	1/6/2020 12:12 PM
51	Install protection from rain and cold in the winter	1/6/2020 11:51 AM
52	Would love the Educational pool temp to be between 82 and 85. 87 just poaches people.	1/6/2020 11:41 AM
53	fix the women's showers so the spray isn't a joke and you can actually get the soap out of your hair.	1/6/2020 11:21 AM
54	See above; improve locker room facilities; also suggest charging higher rates for users outside Menlo Park; pool can get too crowded on weekends.	1/6/2020 11:16 AM
55	more consistent water temperature ... one week was crazy cold	1/6/2020 11:11 AM
56	better quality on changing rooms. It needs a renovation!	1/6/2020 11:09 AM
57	Better Showers! (?)	1/6/2020 11:08 AM
58	see #8	1/6/2020 11:06 AM

59	Have better swim lessons that works with the child and progresses them	1/6/2020 11:02 AM
60	Improve the locker rooms	1/6/2020 11:01 AM
61	Better shower heads.	1/6/2020 11:01 AM
62	always have at least 2 lap swimming lanes in hot pool; often down to 1 lane with lessons and aquasize going on	1/6/2020 10:59 AM
63	Upgrade the shower rooms	1/6/2020 10:57 AM
64	improved locker / bathrooms for showering and changing	1/6/2020 10:48 AM
65	Improve shower facilities	1/6/2020 10:47 AM
66	Better locker room set up	1/6/2020 10:45 AM
67	Fix things that are getting run down, ie replace missing tiles around the pool edges, fix the cabinets where we keep the chemicals.	1/6/2020 10:41 AM
68	The bathrooms are not optimized for the large crowds we sometimes have - especially when 2-3 programs are running at a time.	1/6/2020 10:39 AM
69	Open another lane during water aerobics. Les lap lanes.	1/6/2020 10:38 AM
70	I wish that the women's lockers were cleaned more. They get mildew and need bleach wipes every so often.	1/6/2020 10:35 AM
71	Supervise the cleaning lady	1/6/2020 10:33 AM
72	As before	1/6/2020 10:27 AM
73	Covered pool November to April.	1/6/2020 10:24 AM
74	restore cover for winter swim or equivalent	1/6/2020 10:22 AM
75	Improve the locker room facilities/showers	1/6/2020 10:21 AM
76	Very clear hours/areas for open swim, affordable family seasonal pass for open swim and splash pad	1/6/2020 10:21 AM
77	See above	1/6/2020 10:20 AM
78	More heat in locker room? Signs to maximize space, as specified above. Fix cement outside so it's not as rough on feet.	1/6/2020 10:20 AM
79	more EV chargers	1/6/2020 10:19 AM
80	improve bathroom/shower facilities	1/6/2020 10:14 AM
81	Nothing	1/6/2020 10:13 AM
82	I would love to see more space in the changing rooms - my kid rarely changes after a practice because it's so packed in there	1/6/2020 10:13 AM
83	Continue friendly atmosphere	1/6/2020 10:13 AM
84	Cleaner restroom and dressing rooms. Especially air vents	1/6/2020 10:13 AM
85	Clearer lane delineations in lap swimming for slow/medium/fast swimmers.	1/6/2020 10:12 AM
86	Enlarge and remodel men's locker room and keep it clean.	1/6/2020 10:12 AM
87	more open swim lanes	1/6/2020 10:10 AM
88	Management is outstanding, supportive, and friendly	1/6/2020 10:07 AM

Q13 What is missing from the aquatic center?

Answered: 72 Skipped: 149

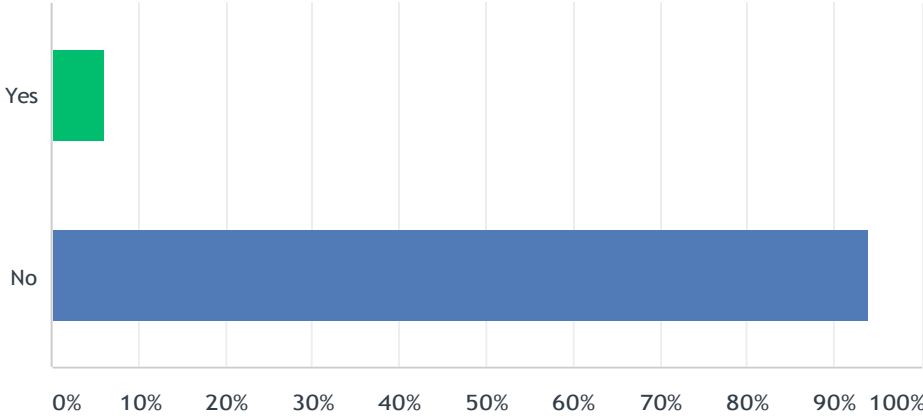
#	RESPONSES	DATE
1	Decent locker rooms.	1/15/2020 1:27 PM
2	Nothing	1/13/2020 2:19 PM
3	Weight room	1/13/2020 6:21 AM
4	transparency about what is going on with the pool temperature	1/11/2020 9:03 PM
5	towel service would be awesome	1/9/2020 8:22 PM
6	Advocate for larger renovated locker rooms and more family changing rooms. It's sad to hear that a disabled participant couldn't attend class after being driven to the Swim Center then pushed from the car to the center in a wheelchair because the waiting time for one family changing room was long.	1/9/2020 6:27 PM
7	nothing	1/9/2020 1:44 PM
8	for me is o. I am a senior, but for young families maybe more is needed.	1/9/2020 1:41 PM
9	Better showers. The anemic water flow and unpredictable temperature is a real problem.	1/9/2020 1:32 PM
10	Hot showers	1/8/2020 8:49 PM
11	Doors that are easy to open	1/8/2020 3:03 PM
12	men's locker room benches	1/8/2020 2:58 PM
13	Showers that work consistently, heat and more useable space in the women's locker. For example shelves over the benches would make the locker room more manageable for more people.	1/8/2020 2:19 PM
14	---	1/8/2020 1:29 PM
15	a dome in winter	1/8/2020 12:35 PM
16	A jacuzzi?	1/8/2020 11:43 AM
17	Dressing rooms too small and poorly maintained.	1/8/2020 7:53 AM
18	A hot tub to relax in after the swimming.	1/7/2020 10:25 PM
19	I love it.	1/7/2020 8:43 PM
20	Nothing. I live next to Rinconada pool but drive over to burgess because I love it so much	1/7/2020 8:37 PM
21	Adult group swim lessons	1/7/2020 5:44 PM
22	maybe some aqua zoomba classes	1/7/2020 4:21 PM
23	Honest communication regarding the actual pool temperatures even when too high or too low needs to be communicated in a timely, consistent and clear manner. Prompt action to resolve the facility problems - especially those that have been consistently a problem - performance pool temperature, shower water pressure, shower heads and shower temperatures.	1/7/2020 2:09 PM
24	better/more family changing rooms. the line gets long!	1/7/2020 11:19 AM
25	Also wish there were shower curtains - at least in the winter - as it gets cold in that area.	1/7/2020 10:14 AM
26	Not much- lifeguards and staff are great, pools are kept up and a joy to swim in.	1/7/2020 8:29 AM
27	Only what I have already stated.	1/6/2020 8:50 PM
28	nothing	1/6/2020 7:24 PM
29	Showers with water that stays on without pushing the button every minute	1/6/2020 7:12 PM
30	See above	1/6/2020 7:01 PM
31	Weight room	1/6/2020 6:44 PM
32	Improve the women"s locker room showers	1/6/2020 5:03 PM

33	Well designed locker rooms, working showers. There is only ONE working shower, the handicapped one. It has been this way for over a year. Rinconada's are great.	1/6/2020 4:39 PM
34	Covered pool for kids for winter months.	1/6/2020 3:15 PM
35	more safety mats in the ladies locker. The floors are very slippery when wet.	1/6/2020 3:10 PM
36	Pool cover	1/6/2020 2:15 PM
37	Sufficient changing room	1/6/2020 1:36 PM
38	An easier to use change room, please	1/6/2020 1:09 PM
39	Nothing I can think of.	1/6/2020 1:01 PM
40	An operational children's pool	1/6/2020 12:40 PM
41	decent showers	1/6/2020 12:12 PM
42	Same as above	1/6/2020 12:12 PM
43	More daytime fitness classes on Tues and Thursday.	1/6/2020 12:05 PM
44	Decent locker rooms and showers	1/6/2020 11:51 AM
45	Good showers. There is only one good shower in the ladies locker room (handicapped). People share it so they can rinse off.	1/6/2020 11:41 AM
46	Perhaps a cover for the pool in extremely cold weather...	1/6/2020 11:36 AM
47	see 12!!!!	1/6/2020 11:21 AM
48	More outdoor showers to rinse off. Need more shaded areas to. Can retractable awning be added to pool equipment shed?	1/6/2020 11:16 AM
49	hottub	1/6/2020 11:11 AM
50	higher quality changing rooms only all the rest is awesome.	1/6/2020 11:09 AM
51	Can't think of anything.	1/6/2020 11:08 AM
52	It is fine as it is.	1/6/2020 11:06 AM
53	Any sort of decent swim lesson beginning swim team	1/6/2020 11:02 AM
54	Functional, clean locker rooms	1/6/2020 11:01 AM
55	weather protection for the winter on the instructional pool	1/6/2020 10:48 AM
56	Diving boards might interest some. And more kids Open water swim tows.	1/6/2020 10:47 AM
57	wpykd love to have longer hours at belle haven. Too much traffic to get over there during current hours.	1/6/2020 10:45 AM
58	Open more lanes for the water aerobics and only use one lane for lap swimming. It gets really crowded and more space would be welcomed.	1/6/2020 10:38 AM
59	Cleanliness	1/6/2020 10:33 AM
60	Before	1/6/2020 10:27 AM
61	Covered pool November to April.	1/6/2020 10:24 AM
62	see 12	1/6/2020 10:22 AM
63	my wife complains about the ladies locker room and lack of good showers	1/6/2020 10:21 AM
64	Only what I specified above.	1/6/2020 10:20 AM
65	hot tub or sauna	1/6/2020 10:19 AM
66	opportunity for regular video stroke analysis	1/6/2020 10:14 AM
67	Big ask - and I know not likely to happen - but a 50M pool :)	1/6/2020 10:13 AM

68	This winter we've not come for open swim because of the bubble being missing. I hated the bubble, but it's too cold to consider coming with a 5 or 10 year old.	1/6/2020 10:13 AM
69	More parking especially during summer when all the kids attend	1/6/2020 10:13 AM
70	Showers that are easier to get (and keep) warm, and have a softer spray--the spray today often hurts my son's skin.	1/6/2020 10:12 AM
71	Larger men's locker room.	1/6/2020 10:12 AM
72	nothing I can really think of	1/6/2020 10:10 AM

Q14 In 2019, my child participated in Menlo Aquatics and/or Water Polo.

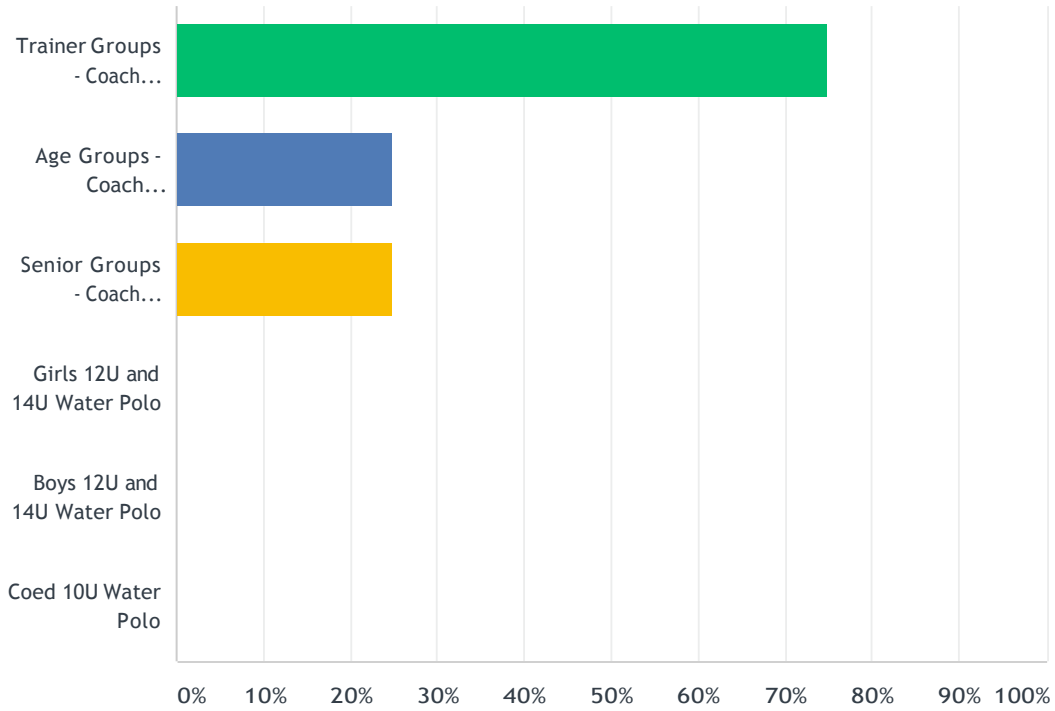
Answered: 216 Skipped: 5



ANSWER CHOICES	RESPONSES	
Yes	6.02%	13
No	93.98%	203
TOTAL		216

Q15 Which Menlo Aquatics program did your child participate in this year? (select all that apply)

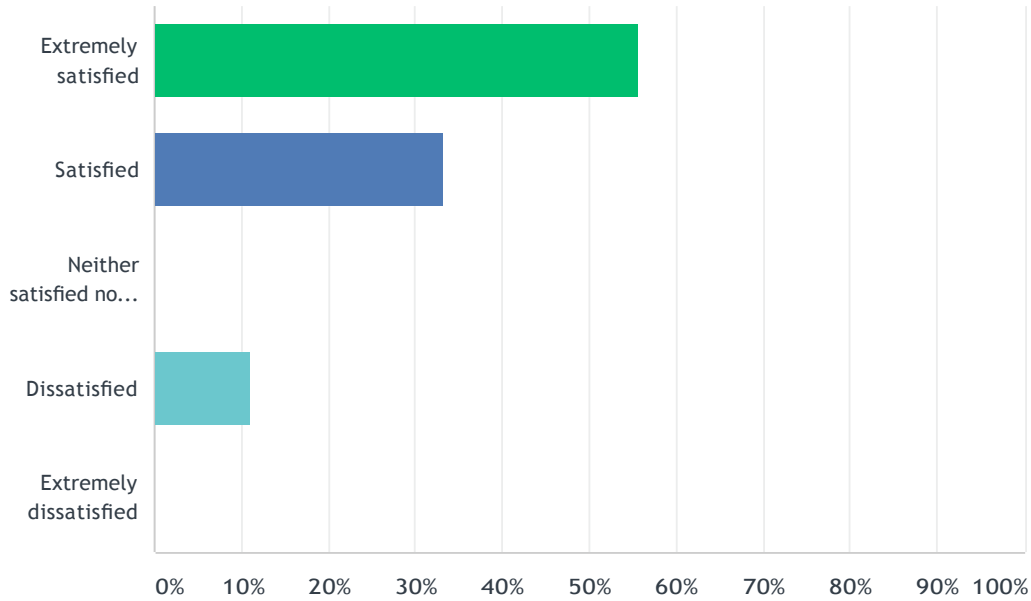
Answered: 8 Skipped: 213



ANSWER CHOICES	RESPONSES	
Trainer Groups - Coach Jacob/Coach Katie	75.00%	6
Age Groups - Coach Melissa/Coach Melissa	25.00%	2
Senior Groups - Coach Aaron/Coach Katie	25.00%	2
Girls 12U and 14U Water Polo	0.00%	0
Boys 12U and 14U Water Polo	0.00%	0
Coed 10U Water Polo	0.00%	0
Total Respondents: 8		

Q16 Overall, how satisfied are you with your family's Menlo Aquatics experience?

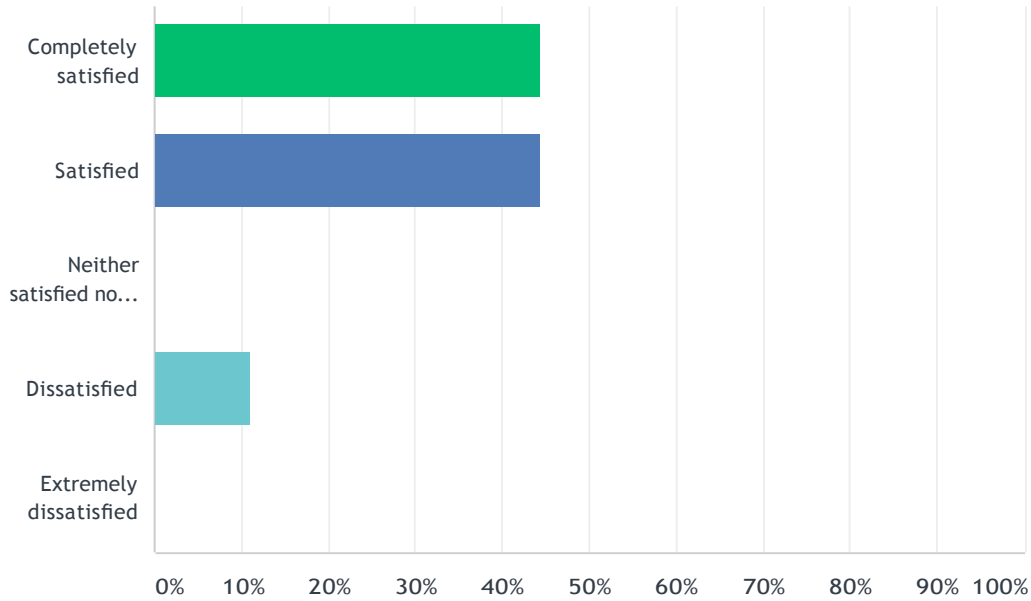
Answered: 9 Skipped: 212



ANSWER CHOICES	RESPONSES	
Extremely satisfied	55.56%	5
Satisfied	33.33%	3
Neither satisfied nor dissatisfied	0.00%	0
Dissatisfied	11.11%	1
Extremely dissatisfied	0.00%	0
TOTAL		9

Q17 How would you rate the value of your Menlo Aquatics experience?

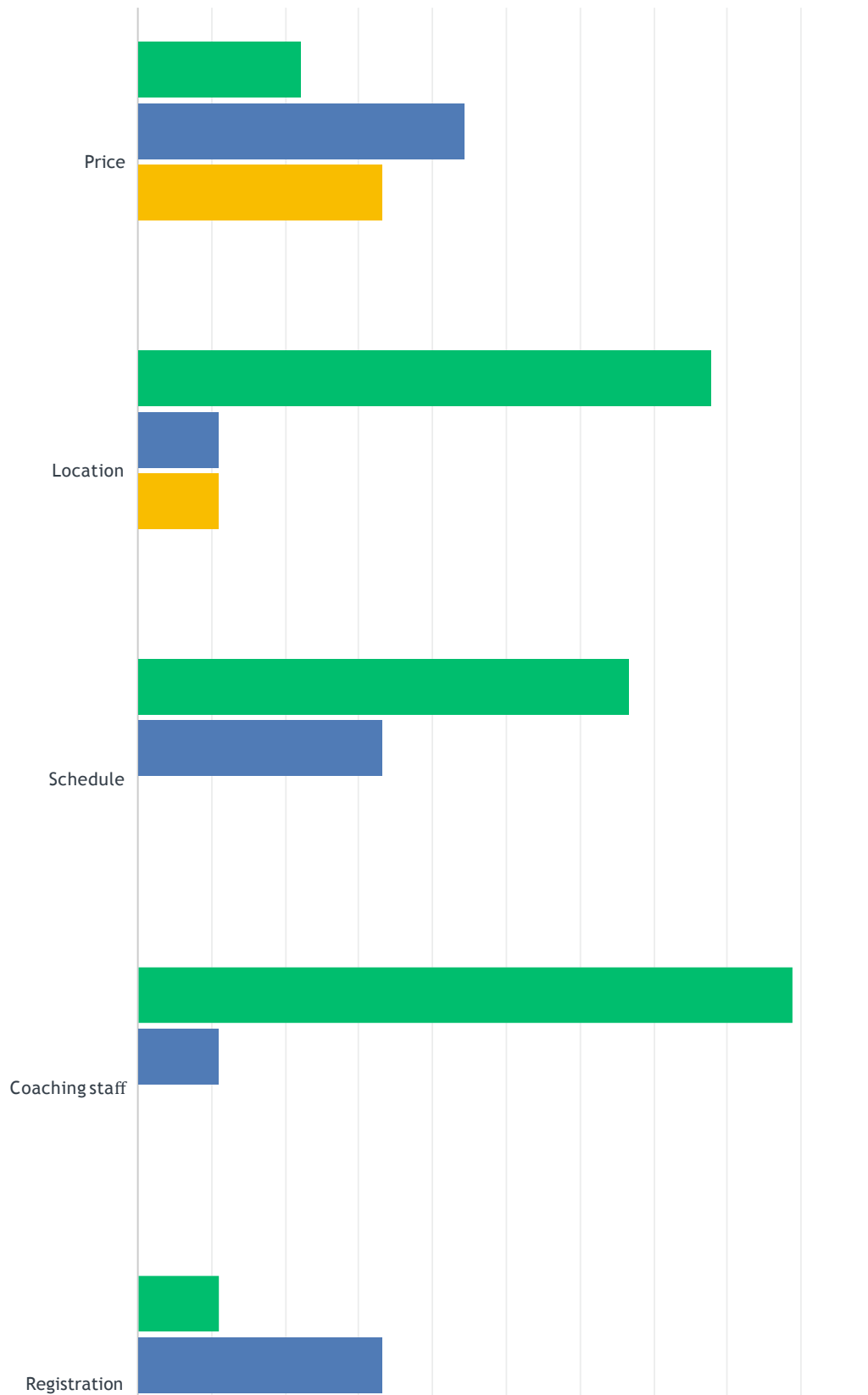
Answered: 9 Skipped: 212

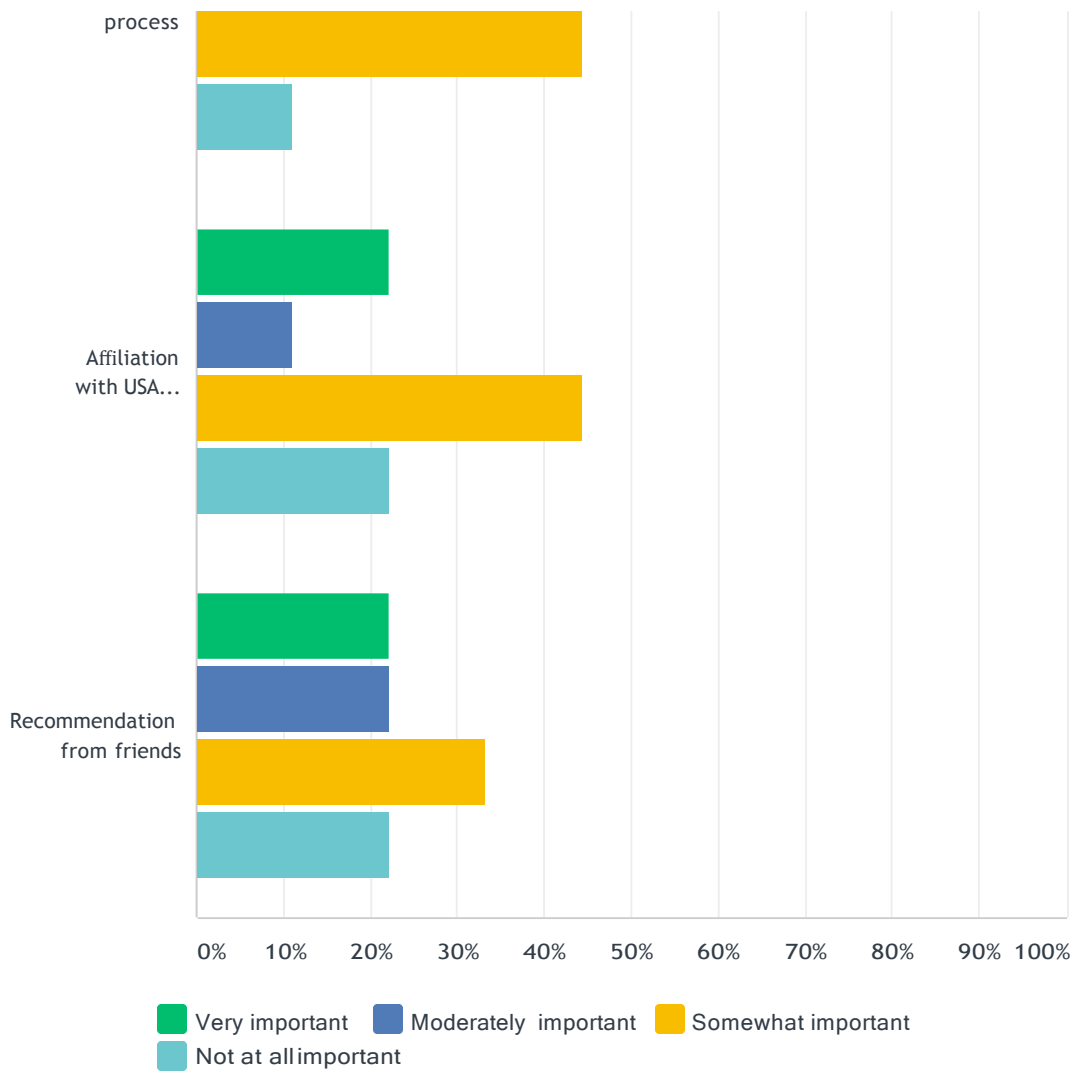


ANSWER CHOICES	RESPONSES	
Completely satisfied	44.44%	4
Satisfied	44.44%	4
Neither satisfied nor dissatisfied	0.00%	0
Dissatisfied	11.11%	1
Extremely dissatisfied	0.00%	0
TOTAL		9

Q18 How important are the following criteria when choosing a youth swim and/or water polo team?

Answered: 9 Skipped: 212





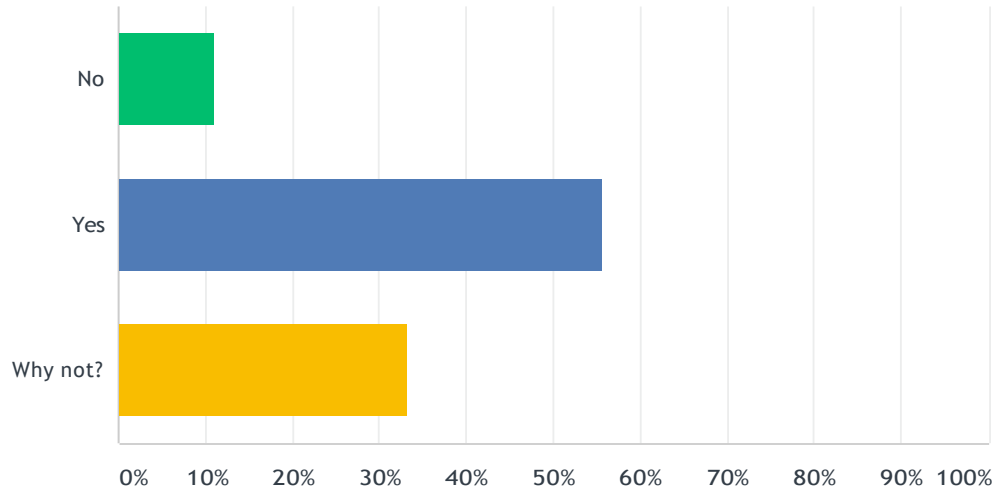
	VERY IMPORTANT	MODERATELY IMPORTANT	SOMEWHAT IMPORTANT	NOT AT ALL IMPORTANT	TOTAL
Price	22.22% 2	44.44% 4	33.33% 3	0.00% 0	9
Location	77.78% 7	11.11% 1	11.11% 1	0.00% 0	9
Schedule	66.67% 6	33.33% 3	0.00% 0	0.00% 0	9
Coaching staff	88.89% 8	11.11% 1	0.00% 0	0.00% 0	9
Registration process	11.11% 1	33.33% 3	44.44% 4	11.11% 1	9
Affiliation with USA Swimming	22.22% 2	11.11% 1	44.44% 4	22.22% 2	9
Recommendation from friends	22.22% 2	22.22% 2	33.33% 3	22.22% 2	9

Q19 What can the coaches do to create a better team atmosphere for you and your swimmer?

Answered: 2 Skipped: 219

Q20 Do you attend swim meets? If no, please explain why.

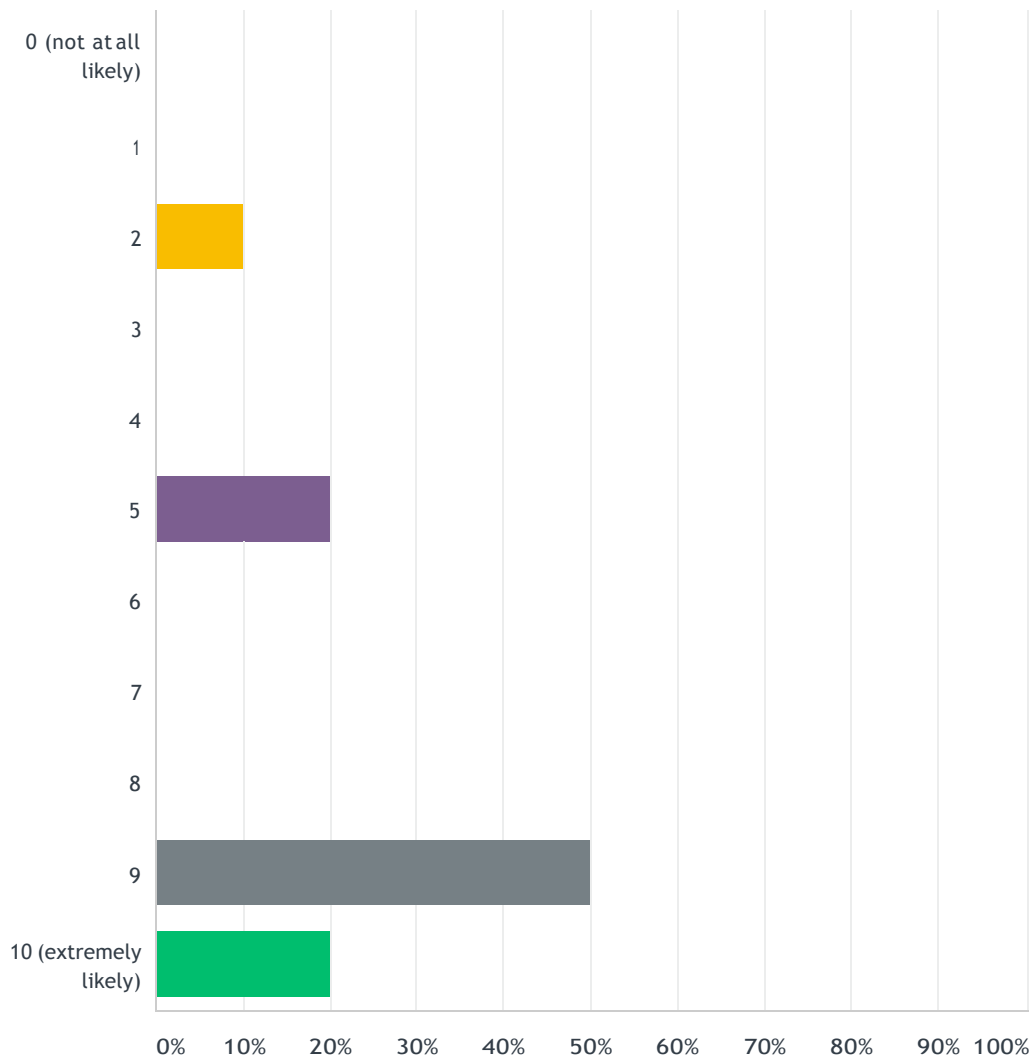
Answered: 9 Skipped: 212



ANSWER CHOICES	RESPONSES	
No	11.11%	1
Yes	55.56%	5
Why not?	33.33%	3
TOTAL		9

Q21 Considering your experience with Menlo Aquatics and Water Polo, how likely are you to recommend Menlo Aquatics to a friend? (0 is not at all likely, 10 is extremely likely)

Answered: 10 Skipped: 211



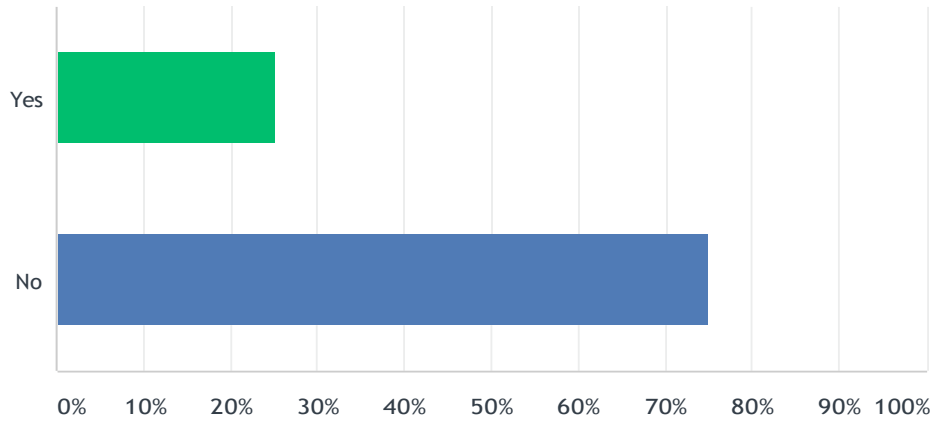
ANSWER CHOICES	RESPONSES	
0 (not at all likely)	0.00%	0
1	0.00%	0
2	10.00%	1
3	0.00%	0
4	0.00%	0
5	20.00%	2
6	0.00%	0
7	0.00%	0
8	0.00%	0
9	50.00%	5
10 (extremely likely)	20.00%	2
TOTAL		10

Q22 What can we do in the future to earn a 9 or 10?

Answered: 1 Skipped: 220

Q23 I am currently a member of the Menlo Masters Swim Team.

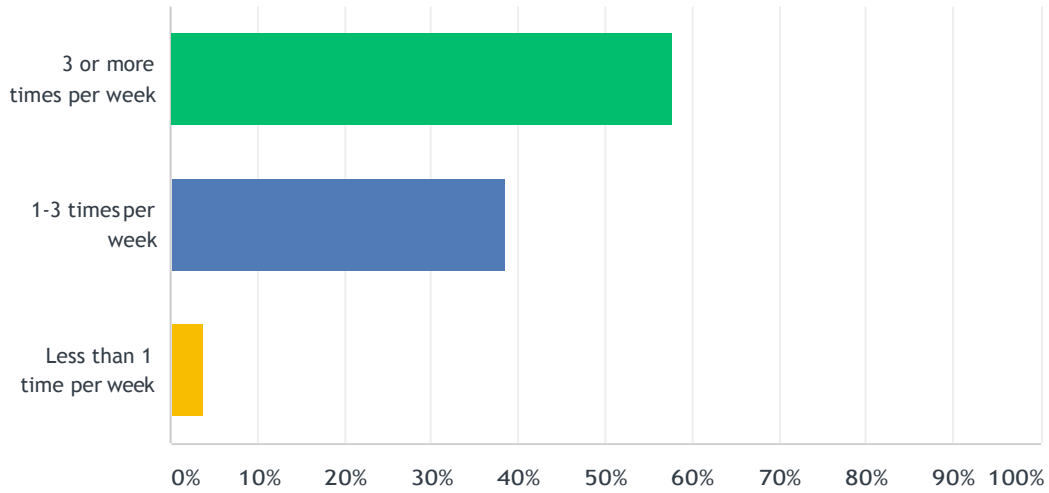
Answered: 211 Skipped: 10



ANSWER CHOICES	RESPONSES	
Yes	25.12%	53
No	74.88%	158
TOTAL		211

Q24 How many times a week do you swim with Menlo Masters?

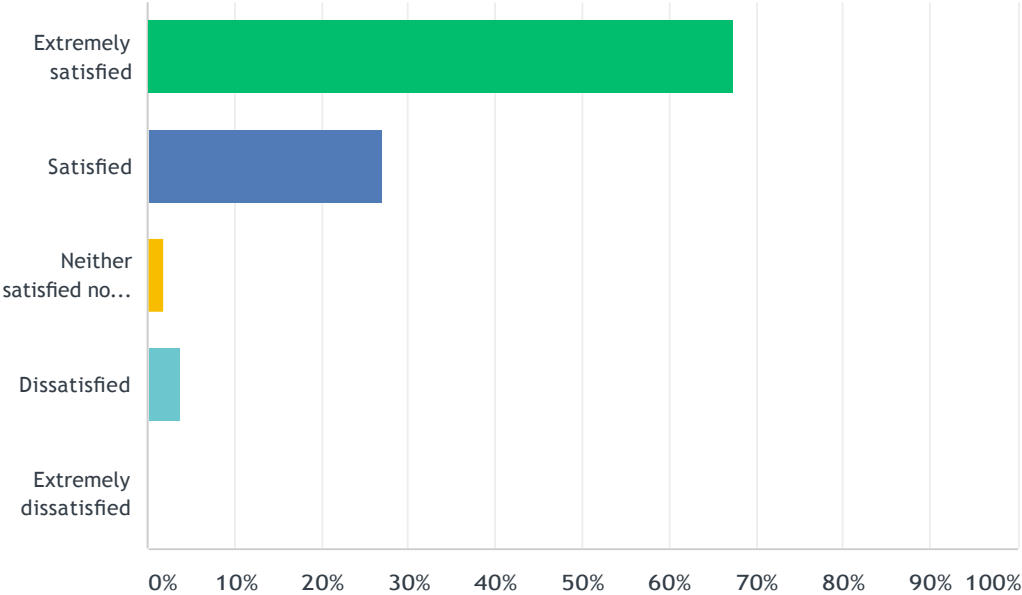
Answered: 52 Skipped: 169



ANSWER CHOICES	RESPONSES	
3 or more times per week	57.69%	30
1-3 times per week	38.46%	20
Less than 1 time per week	3.85%	2
Total Respondents: 52		

Q25 Overall, how satisfied are you with your Menlo Masters experience?

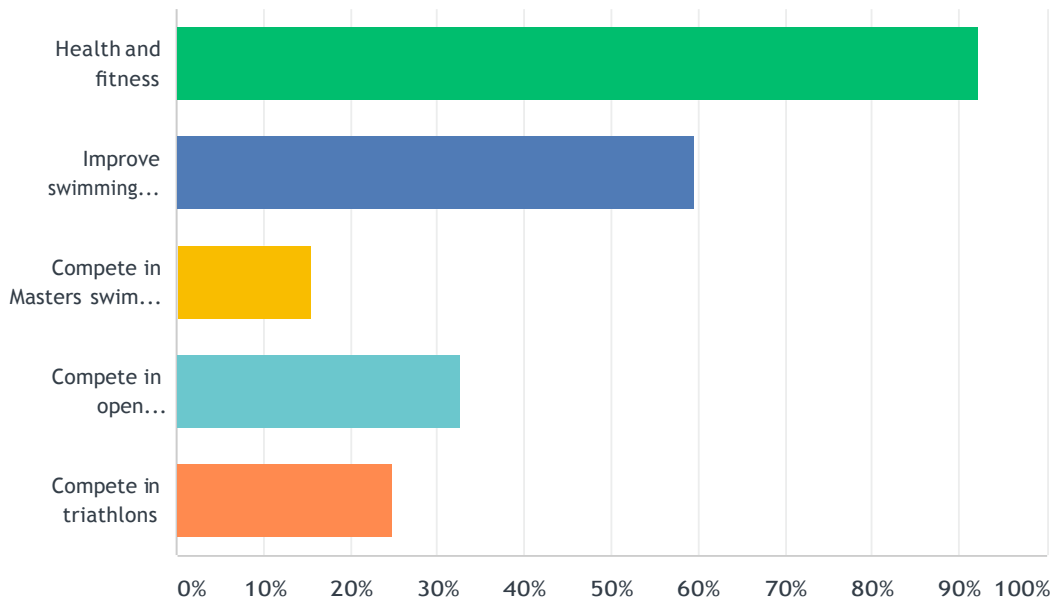
Answered: 52 Skipped: 169



ANSWER CHOICES	RESPONSES	
Extremely satisfied	67.31%	35
Satisfied	26.92%	14
Neither satisfied nor dissatisfied	1.92%	1
Dissatisfied	3.85%	2
Extremely dissatisfied	0.00%	0
TOTAL		52

Q26 My primary goals for swimming with Menlo Masters are.... (select all that apply)

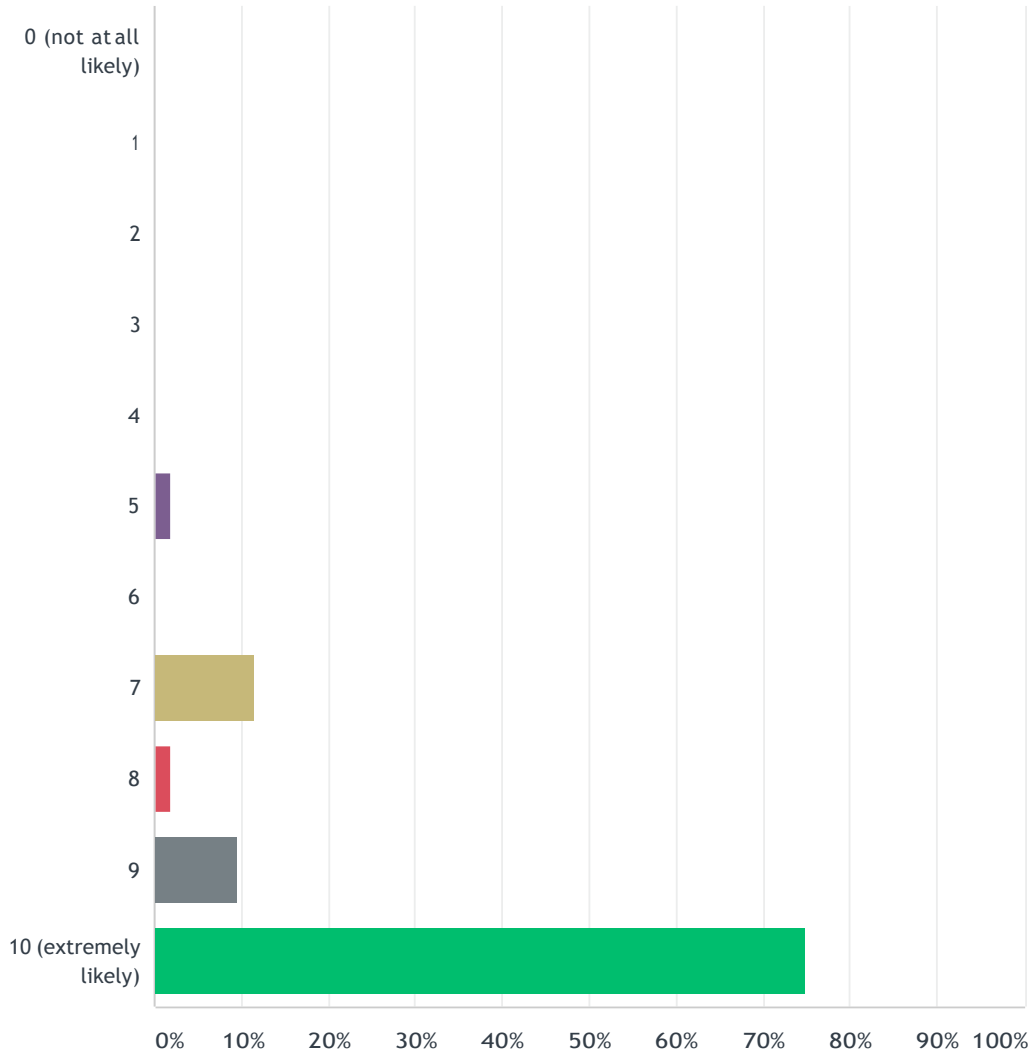
Answered: 52 Skipped: 169



ANSWER CHOICES	RESPONSES	
Health and fitness	92.31%	48
Improve swimming technique	59.62%	31
Compete in Masters swim meets	15.38%	8
Compete in open water/adventure races	32.69%	17
Compete in triathlons	25.00%	13
Total Respondents: 52		

Q27 Considering your experience with Menlo Masters Swim, how likely are you to recommend Menlo Masters to a friend? (0 is not at all likely, 10 is extremely likely)

Answered: 52 Skipped: 169



ANSWER CHOICES	RESPONSES	
0 (not at all likely)	0.00%	0
1	0.00%	0
2	0.00%	0
3	0.00%	0
4	0.00%	0
5	1.92%	1
6	0.00%	0
7	11.54%	6
8	1.92%	1
9	9.62%	5
10 (extremely likely)	75.00%	39
TOTAL		52

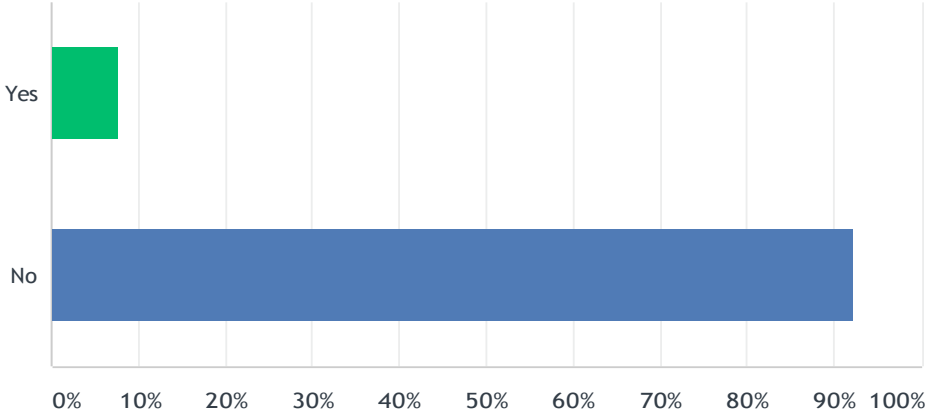
Q28 What can we do in the future to earn a 9 or 10?

Answered: 16 Skipped: 205

#	RESPONSES	DATE
1	Improve the locker rooms and showers.	1/15/2020 1:29 PM
2	better coaching	1/12/2020 3:46 PM
3	- Would like instructors to give more commentary on technique - Would like instructors not to assume everyone knows the swimming lingo, it is difficult to follow for a newbie	1/8/2020 8:57 PM
4	Not much more :) Maybe a little bit more get to know each other.	1/8/2020 7:40 AM
5	The workouts are great, but I'd appreciate more help with technique, and recognition that pain sometimes makes it difficult to do what is assigned. I'd like to find out how I can continue to swim without it hurting, and without damage to the point where I might not be able to continue swimming.	1/7/2020 10:29 PM
6	More swim instruction as you plan to offer this year.	1/7/2020 5:10 PM
7	See my notes on: Pool temperature consistent (79-80 degrees) Repair/improve showers (heads, pressure and water temperature) Train the European coach on Tim's style of coaching	1/7/2020 2:14 PM
8	Have Tim coaching more!!!	1/7/2020 8:20 AM
9	More stroke instruction. More attention given to keeping pool temperature at the advertised 80 degrees.	1/6/2020 8:58 PM
10	More feedback and technique training from coaches	1/6/2020 8:43 PM
11	Fix the showers in the women's locker room. Maybe redesign the whole thing, make it like Rinconada's. The showers have been totally inadequate for over a year.	1/6/2020 4:44 PM
12	Keep up the great work, congratulations--Menlo Masters is the best!	1/6/2020 12:40 PM
13	I would love to have an 8am session or an evening session on Wednesdays.	1/6/2020 11:07 AM
14	Better showers. Also kind of a costly activity to recommend to friends.	1/6/2020 10:49 AM
15	See comments on water quality	1/6/2020 10:41 AM
16	You're already there	1/6/2020 10:20 AM

Q29 I am currently a member of the Team Sheeper Triathlon team.

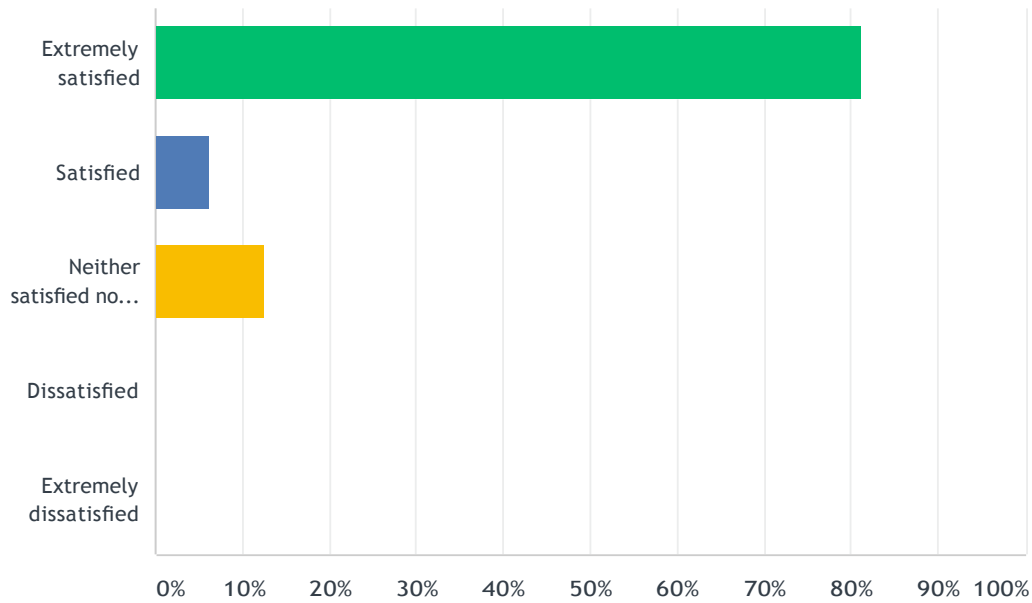
Answered: 209 Skipped: 12



ANSWER CHOICES	RESPONSES	
Yes	7.66%	16
No	92.34%	193
TOTAL		209

Q30 Overall, how satisfied are you with your Team Sheeper experience?

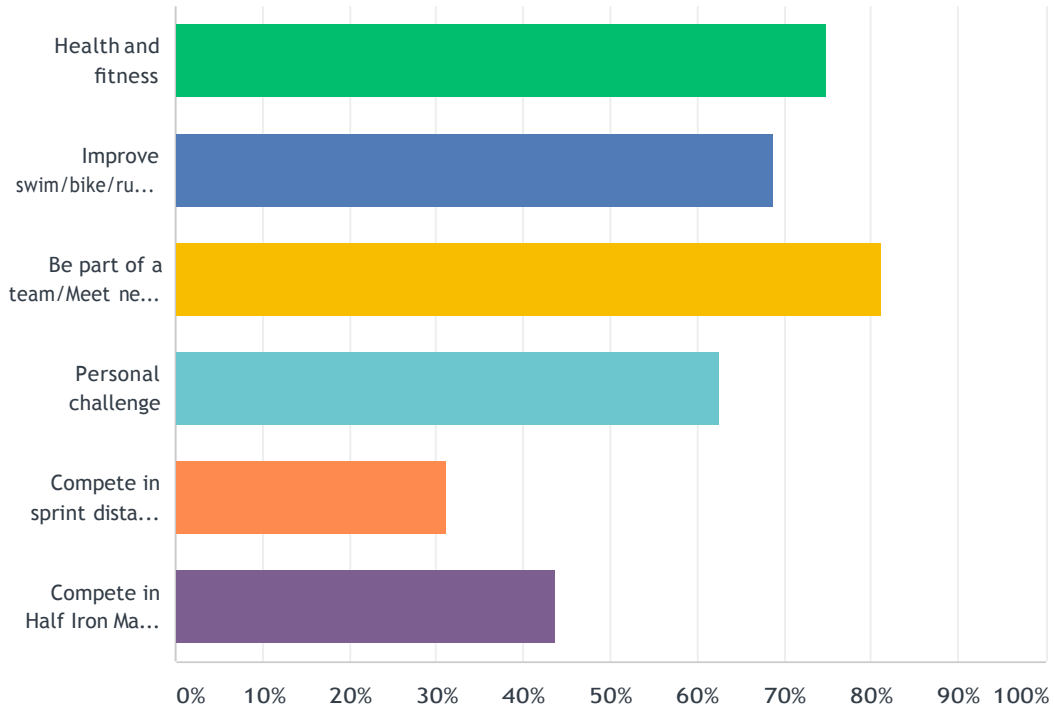
Answered: 16 Skipped: 205



ANSWER CHOICES	RESPONSES	
Extremely satisfied	81.25%	13
Satisfied	6.25%	1
Neither satisfied nor dissatisfied	12.50%	2
Dissatisfied	0.00%	0
Extremely dissatisfied	0.00%	0
TOTAL		16

Q31 My primary goals for participating with Team Sheep are ... (select all that apply)

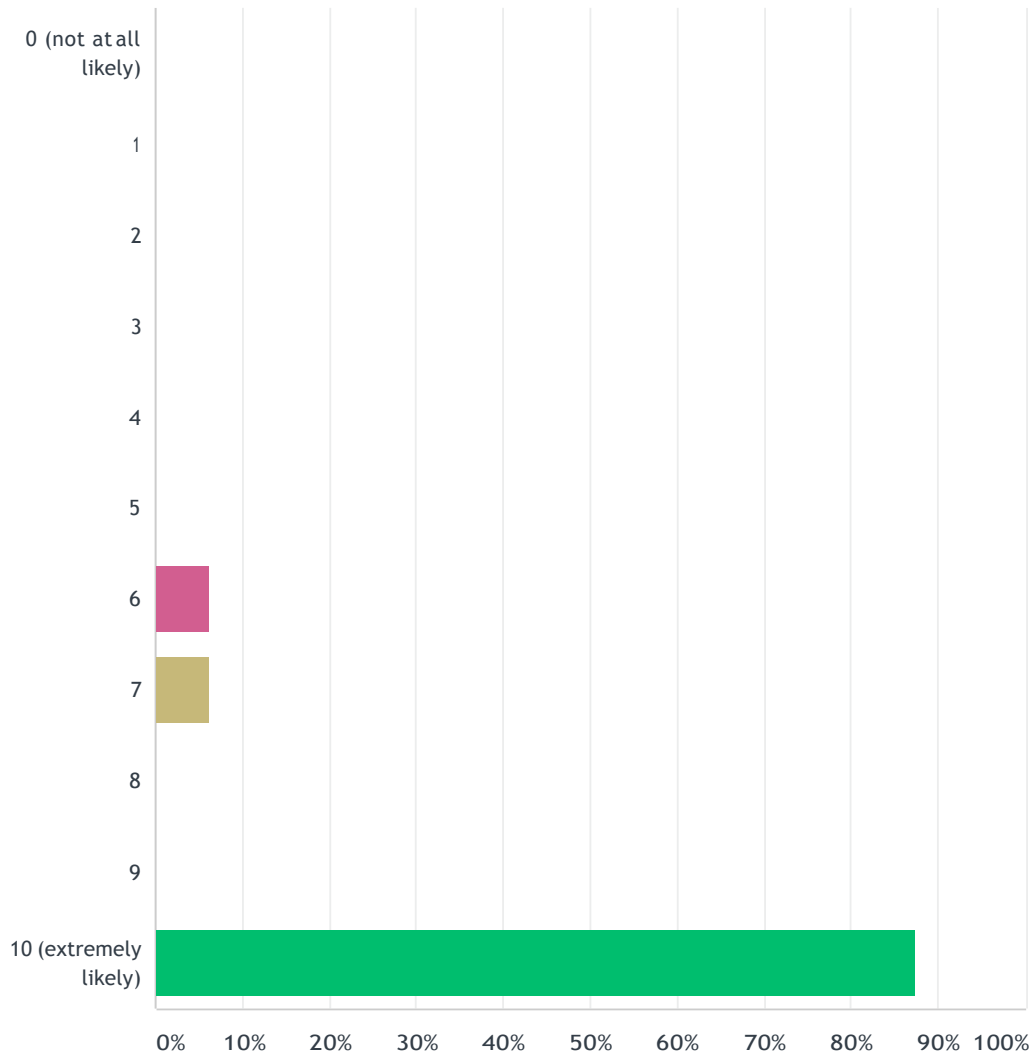
Answered: 16 Skipped: 205



ANSWER CHOICES	RESPONSES	
Health and fitness	75.00%	12
Improve swim/bike/run technique	68.75%	11
Be part of a team/Meet new people	81.25%	13
Personal challenge	62.50%	10
Compete in sprint distance triathlons	31.25%	5
Compete in Half Iron Man and/or Iron Man distance triathlons	43.75%	7
Total Respondents: 16		

Q32 Considering your experience with Team Sheeper Triathlon Team, how likely are you to recommend Team Sheeper to a friend? (0 is not at all likely, 10 is extremely likely)

Answered: 16 Skipped: 205



ANSWER CHOICES	RESPONSES	
0 (not at all likely)	0.00%	0
1	0.00%	0
2	0.00%	0
3	0.00%	0
4	0.00%	0
5	0.00%	0
6	6.25%	1
7	6.25%	1
8	0.00%	0
9	0.00%	0
10 (extremely likely)	87.50%	14
TOTAL		16

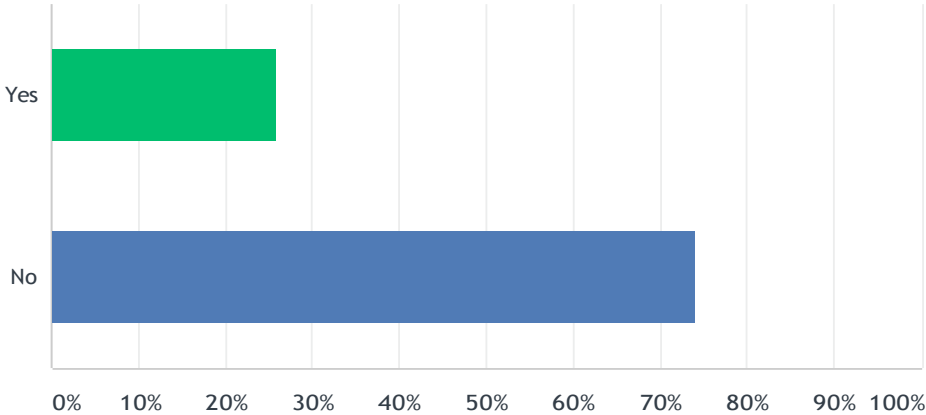
Q33 What can we do in the future to earn a 9 or 10?

Answered: 6 Skipped: 215

#	RESPONSES	DATE
1	Not sure. It's more on me than you	1/9/2020 1:33 PM
2	Thursday evening workouts at more accessible location. Driving to south PA is pretty difficult with traffic	1/7/2020 5:11 PM
3	Have evening strength sessions in/near Menlo Park (vs Cubberly)	1/6/2020 3:39 PM
4	Would give an 11 if I could.	1/6/2020 3:07 PM
5	Bring back on premise spin classes	1/6/2020 1:38 PM
6	Continue to offer innovative workouts that challenge and stretch our capabilities.	1/6/2020 12:19 PM

Q34 In 2019, my child participated in the Menlo Swim School program at Burgess Pool.

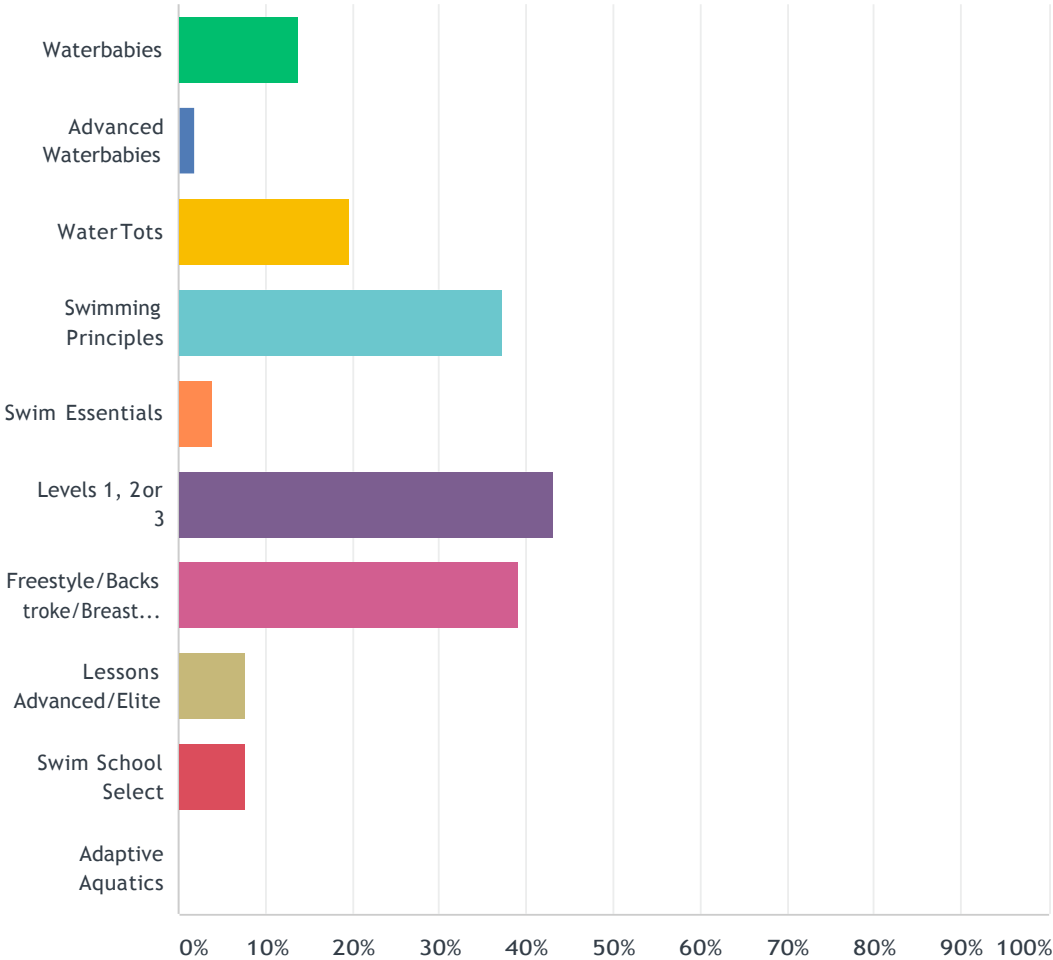
Answered: 209 Skipped: 12



ANSWER CHOICES	RESPONSES	
Yes	25.84%	54
No	74.16%	155
TOTAL		209

Q35 Which Swim School Program did you child participate in? (Select all that apply)

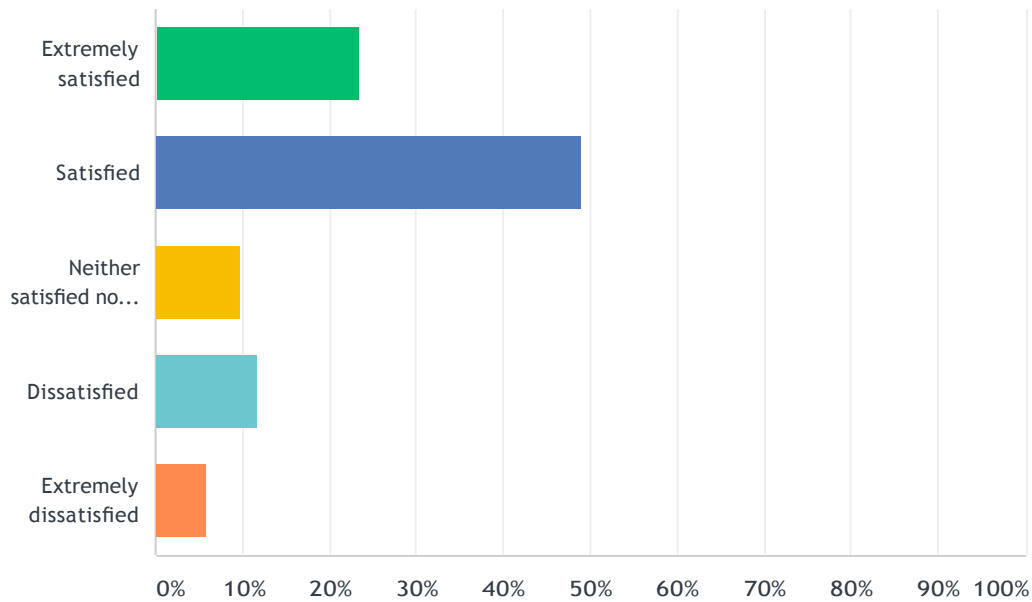
Answered: 51 Skipped: 170



ANSWER CHOICES	RESPONSES	
Waterbabies	13.73%	7
Advanced Waterbabies	1.96%	1
Water Tots	19.61%	10
Swimming Principles	37.25%	19
Swim Essentials	3.92%	2
Levels 1, 2 or 3	43.14%	22
Freestyle/Backstroke/Breaststroke/Butterfly	39.22%	20
Lessons Advanced/Elite	7.84%	4
Swim School Select	7.84%	4
Adaptive Aquatics	0.00%	0
Total Respondents: 51		

Q36 Overall, how satisfied are you with your family's Menlo Swim School experience?

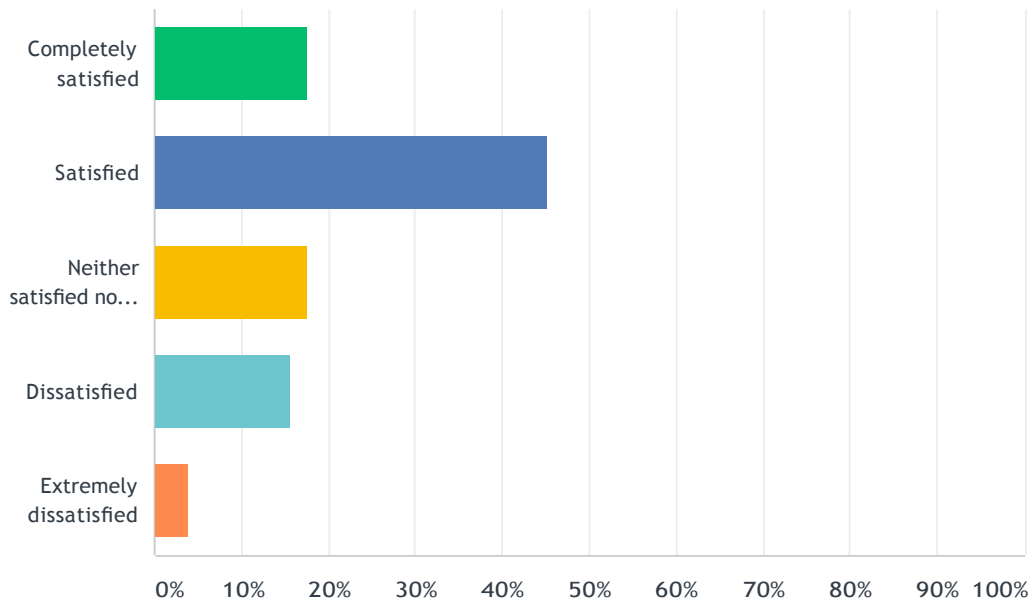
Answered: 51 Skipped: 170



ANSWER CHOICES	RESPONSES	
Extremely satisfied	23.53%	12
Satisfied	49.02%	25
Neither satisfied nor dissatisfied	9.80%	5
Dissatisfied	11.76%	6
Extremely dissatisfied	5.88%	3
TOTAL		51

Q37 How would you rank the value of your Menlo Swim School experience?

Answered: 51 Skipped: 170



ANSWER CHOICES	RESPONSES	
Completely satisfied	17.65%	9
Satisfied	45.10%	23
Neither satisfied nor dissatisfied	17.65%	9
Dissatisfied	15.69%	8
Extremely dissatisfied	3.92%	2
TOTAL		51

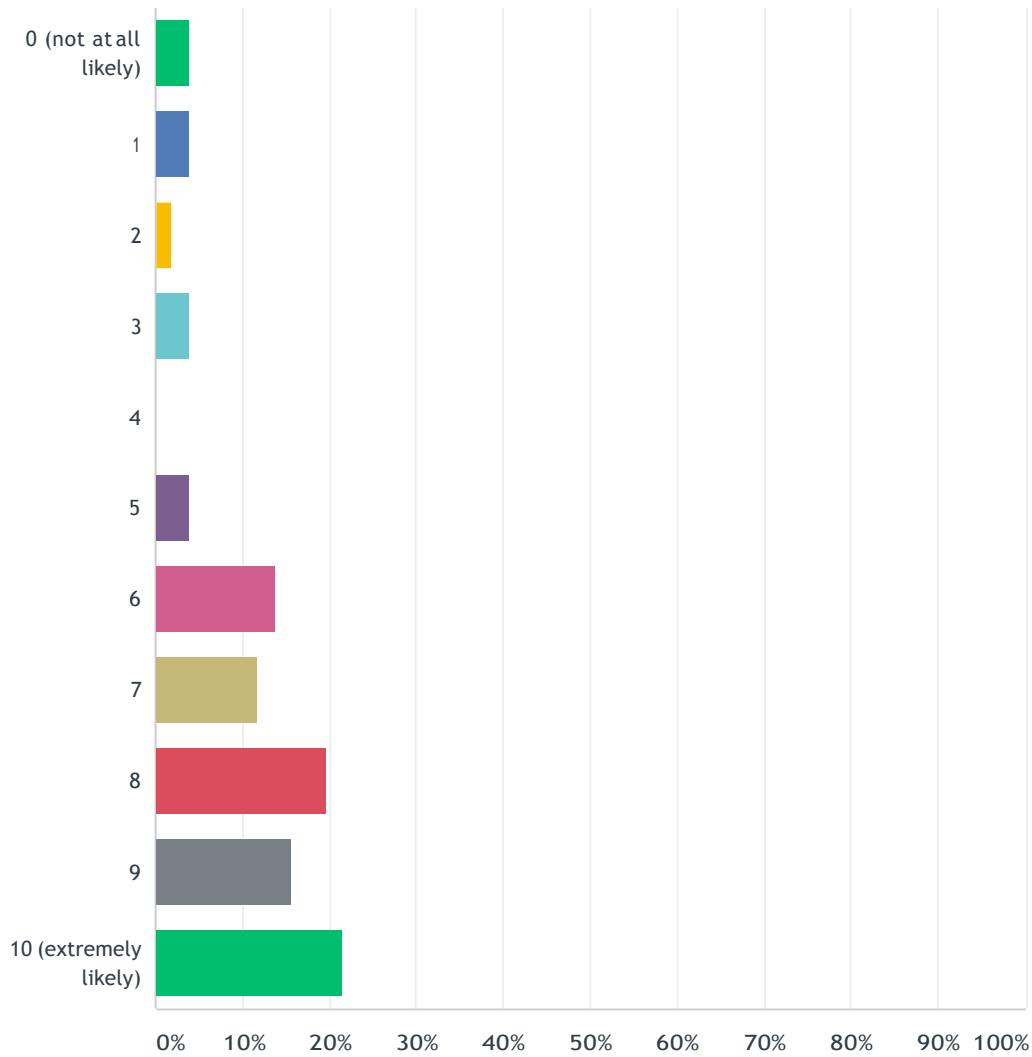
Q38 From your child's point of view, what could we do to make our program better?

Answered: 26 Skipped: 195

#	RESPONSES	DATE
1	More consistent teaching staff, and rotating senior staff to coach younger teacher during lessons.	1/16/2020 2:47 PM
2	Dome in the winter months.	1/7/2020 10:42 AM
3	See above. Permanent coaches are great - summer coaches less so.	1/6/2020 10:52 PM
4	less chaotic pool scene, better showers near pool. teaching needs to be able to have more than one kid engaged at a time - otherwise it's like a 10min swim lesson (3 kids in a 30 min class)	1/6/2020 10:12 PM
5	More proactive swim level checks and reports on progress.	1/6/2020 9:00 PM
6	Continue to connect with kids and make it fun and always be encouraging to make them feel they can get to the next level	1/6/2020 7:13 PM
7	More swimming, longer lengths.	1/6/2020 3:18 PM
8	Consistent teaching staff	1/6/2020 2:39 PM
9	Better showers	1/6/2020 2:16 PM
10	Making classes different for my child, at one point she got board because we where always doing the same thing every time we went	1/6/2020 12:43 PM
11	Better teacher training and a more organized teaching program including a variety of different activities to reinforce swim skills.	1/6/2020 12:35 PM
12	Would like to see focus on gaining skills and progression to the next level a little more explicit. Communication with parents on how child is progressing, when they should move to the next level would be helpful.	1/6/2020 12:04 PM
13	See my prior comments about our swim school experience.	1/6/2020 12:01 PM
14	Let the kids practice their strokes while their teacher works other kids in their group. Have open swim time available so that kids can finish their lesson, then swim some more to reinforce what they have just learnt and play.	1/6/2020 12:00 PM
15	Consistency of instructors	1/6/2020 11:54 AM
16	Less teacher changes	1/6/2020 11:25 AM
17	More even instruction amongst instructors; more instruction; less wall time	1/6/2020 11:16 AM
18	Have fun instructors that progress children based on personal ability not just some guidelines on a page	1/6/2020 11:04 AM
19	Kids don't love swimming, especially the older one would have benefitted more from a team environment, but when he did summer swim team A few years back as a newbe he didn't Feel very included and Nobody really explained how things worked. The coaches were all business as usual as if it werethe year round tram and all knew what to do. If that had been different maybe he'd have joined the year round team.	1/6/2020 10:53 AM
20	Consistent teachers	1/6/2020 10:39 AM
21	It would have been less wait by the side of the pool, but he's now passed this stage. And covered pool because he doesn't want to go when it's cold now because the pool is no longer covered, so we went elsewhere this winter.	1/6/2020 10:28 AM
22	"Same teacher every week"	1/6/2020 10:22 AM
23	Make more semi-private and private classes available for booking.	1/6/2020 10:16 AM
24	Clearer communication from instructors on progress towards next level (but his new instructor yesterday did that WONDERFULLY).	1/6/2020 10:13 AM
25	He had a great time!	1/6/2020 10:11 AM
26	Pre-swim team prep -- 4-6yo longer lessons, perhaps?	1/6/2020 10:09 AM

Q39 Considering your experience with Menlo Swim School, how likely are you to recommend Menlo Swim School to a friend? (0 is not at all likely, 10 is extremely likely)

Answered: 51 Skipped: 170



ANSWER CHOICES	RESPONSES	
0 (not at all likely)	3.92%	2
1	3.92%	2
2	1.96%	1
3	3.92%	2
4	0.00%	0
5	3.92%	2
6	13.73%	7
7	11.76%	6
8	19.61%	10
9	15.69%	8
10 (extremely likely)	21.57%	11
TOTAL		51

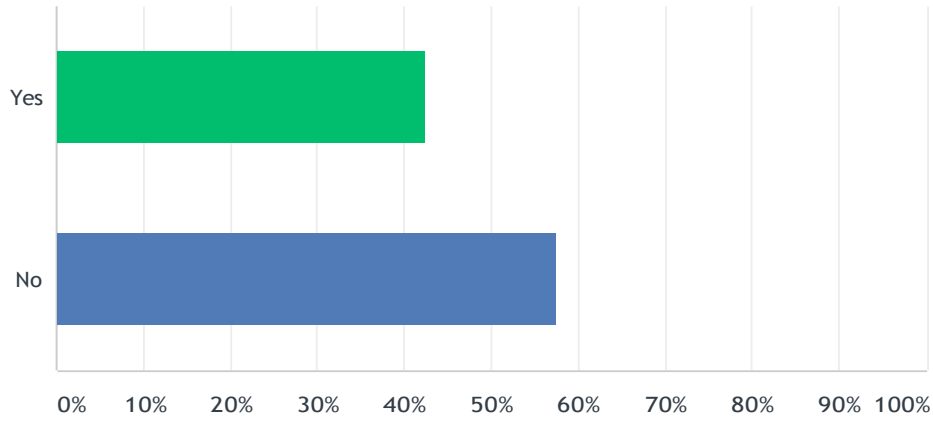
Q40 What can we do in the future to earn a 9 or 10?

Answered: 26 Skipped: 195

#	RESPONSES	DATE
1	More private lesson options to get kids over plateaus.	1/15/2020 9:50 PM
2	Dome in the winter months.	1/7/2020 10:42 AM
3	See above	1/6/2020 10:52 PM
4	better engage more kids at a time during a swim class	1/6/2020 10:12 PM
5	Consistent coaches. Proactive level checks and progress reports. Consistent growth of skills and progress.	1/6/2020 9:00 PM
6	Really depends on our experience with new swim Instructors	1/6/2020 7:13 PM
7	Answered above	1/6/2020 3:18 PM
8	Consistent teaching staff	1/6/2020 2:39 PM
9	Better showers where the temperature is easy to figure out and the water stays on longer as well as the pool covering in winter	1/6/2020 2:16 PM
10	Make it easier for full time working parents to secure a weekend timeslot for their kids to enroll in Swim School, and learn water safety and how to swim. I tried to sign up many times throughout the past 2 years, and the weekend classes are always full. My son is now 3 and a half and we can't put off his lessons any longer, waiting for a spot to open up. We're sad to have to find an alternate pool and swim lessons for him. We would have loved to continue to support your school, and have our two kids learn to swim with you all.	1/6/2020 1:59 PM
11	Increase efficiency on the teaching. Don't have so many "levels" - one of my younger kids feel discouraged because he feels like the path is very long.	1/6/2020 1:34 PM
12	Better communication concerning when lessons are off ie Winter Break	1/6/2020 1:19 PM
13	Improved teaching and easier access to makeup classes.	1/6/2020 12:35 PM
14	Change points listed above	1/6/2020 12:15 PM
15	See my prior comments about our swim school experience.	1/6/2020 12:01 PM
16	See earlier comments.	1/6/2020 12:00 PM
17	Offer more availability, higher quality, clear vision on how to get through the levels within a reasonable amount of time	1/6/2020 11:25 AM
18	See above	1/6/2020 11:16 AM
19	Have lessons that mix it up and progress kids	1/6/2020 11:04 AM
20	More consistent teacher quality.	1/6/2020 11:02 AM
21	See earlier in the survey. We have been very disappointed in all the teachers except for Coach Ray. The girls have actually regressed since Coach Ray left.	1/6/2020 10:54 AM
22	Continuity in good teachers and explaining to kids and parents what the classes and teaching techniques aim to acheive	1/6/2020 10:53 AM
23	Bring the bubble back, or some other enclosure for the winter.	1/6/2020 10:37 AM
24	Covered pool.	1/6/2020 10:28 AM
25	improve shower	1/6/2020 10:24 AM
26	See above--more well-trained instructors.	1/6/2020 10:11 AM

Q41 In 2019, I participated in Lap Swimming at Menlo Swim & Sport.

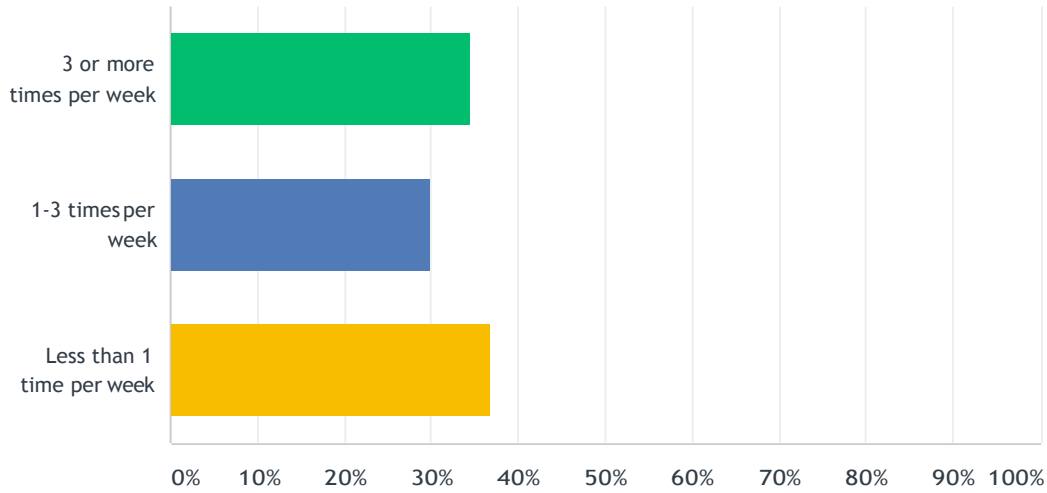
Answered: 205 Skipped: 16



ANSWER CHOICES	RESPONSES	
Yes	42.44%	87
No	57.56%	118
TOTAL		205

Q42 How many times a week do you lap swim at Burgess Pool?

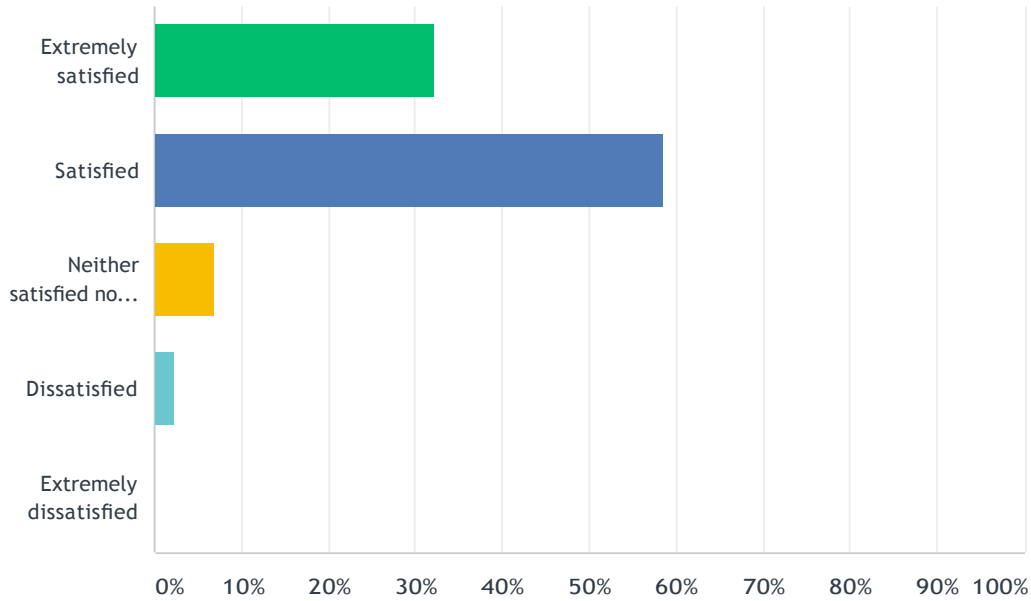
Answered: 87 Skipped: 134



ANSWER CHOICES	RESPONSES	
3 or more times per week	34.48%	30
1-3 times per week	29.89%	26
Less than 1 time per week	36.78%	32
Total Respondents: 87		

Q43 Overall, how satisfied are you with your Lap Swim experience?

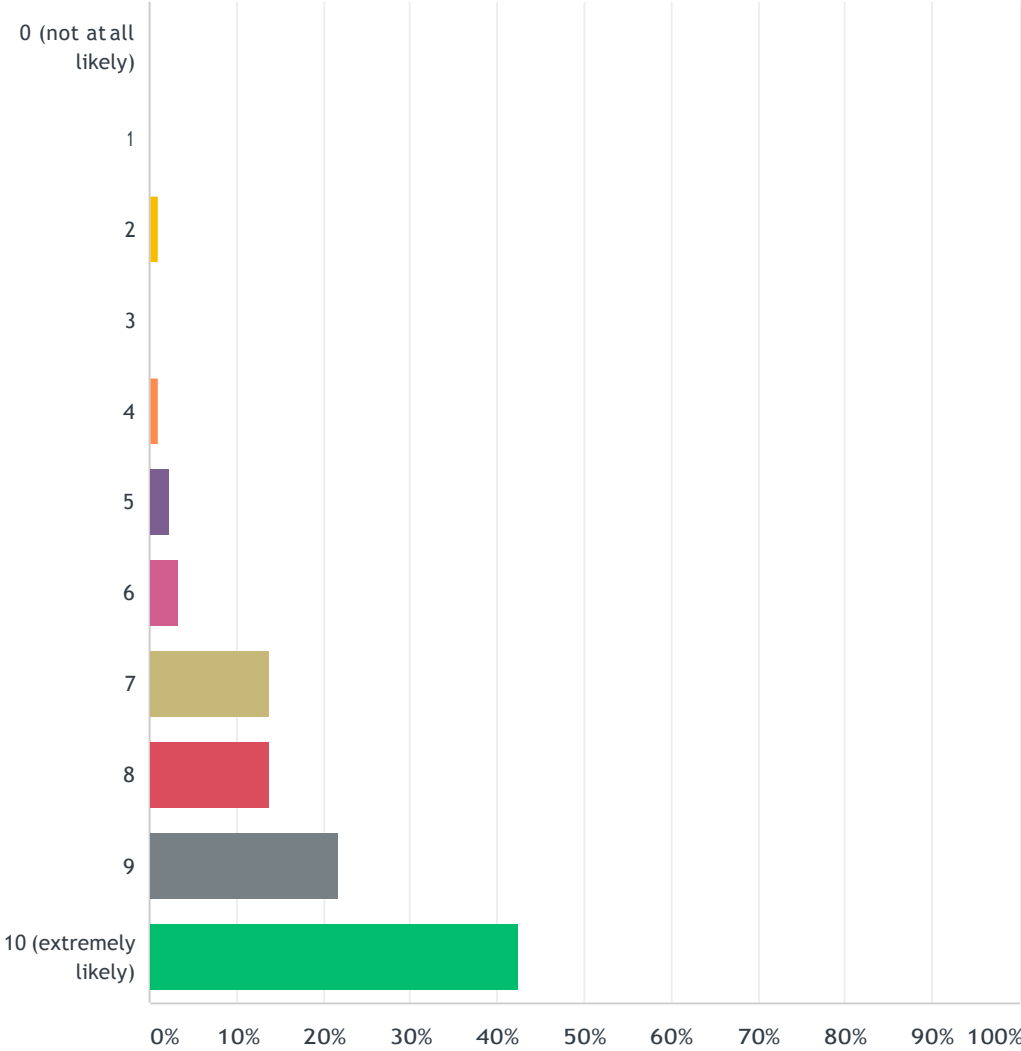
Answered: 87 Skipped: 134



ANSWER CHOICES	RESPONSES	
Extremely satisfied	32.18%	28
Satisfied	58.62%	51
Neither satisfied nor dissatisfied	6.90%	6
Dissatisfied	2.30%	2
Extremely dissatisfied	0.00%	0
TOTAL		87

Q44 Considering your experience with Menlo Swim & Sport Lap Swim, how likely are you to recommend Lap Swimming to a friend? (0 is not at all likely, 10 is extremely likely)

Answered: 87 Skipped: 134



ANSWER CHOICES	RESPONSES	
0 (not at all likely)	0.00%	0
1	0.00%	0
2	1.15%	1
3	0.00%	0
4	1.15%	1
5	2.30%	2
6	3.45%	3
7	13.79%	12
8	13.79%	12
9	21.84%	19
10 (extremely likely)	42.53%	37
TOTAL		87

Q45 What could we do to make Lap Swim better?

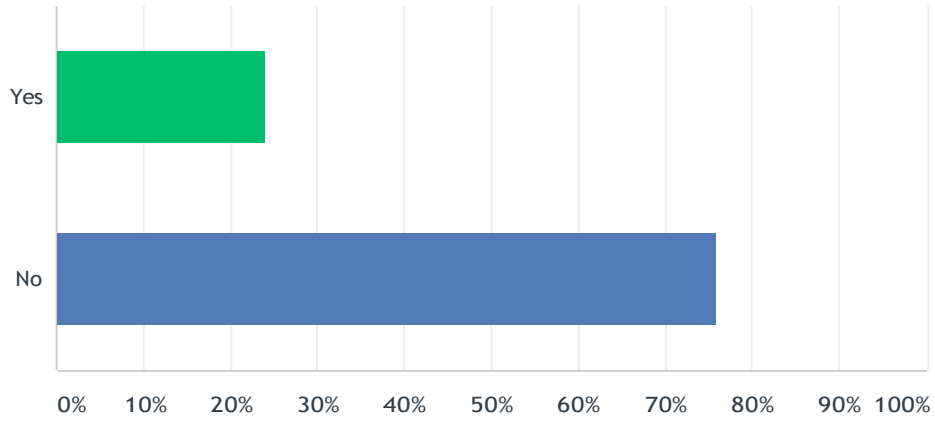
Answered: 38 Skipped: 183

#	RESPONSES	DATE
1	1. Warm water in the showers and safe clean floors for before/after the lapswim. 2. Encourage the mothers/caregivers to use the family rooms. Especially with swim lessons in the summer, there are little boys too old to be in the lady's locker room. 3. Keep lap swim for recreational lap swimming, several times I have witnessed "coaching" from the sides and even someone diving off the blocks. No body else seemed to care but it was weird and also creates a lane that can't be shared.	1/17/2020 4:36 PM
2	See previous suggestions	1/17/2020 12:01 PM
3	more early morning, non-masters swim lanes in the performance pool	1/9/2020 8:24 PM
4	A clock on the west side of the pool would be nice - especially for those of us with poor eyesight. Consistent heat in the pool.	1/8/2020 2:22 PM
5	It is great	1/7/2020 8:38 PM
6	Bring back the Fast, Medium, Slow speed cones for lap swimming. This would make lane sharing and circling much more enjoyable at busy times. Increase the number of open lanes to a minimum of 4 lanes during peak times in the evening.	1/6/2020 9:03 PM
7	More lanes in performance pool for lap swimming at 6:30. Masters ties up too many lanes	1/6/2020 9:02 PM
8	maybe I took free swim for lap swim, so I do not know	1/6/2020 7:26 PM
9	I'm good.	1/6/2020 6:53 PM
10	Better communication regarding closures or special events	1/6/2020 6:45 PM
11	Fix the showers in the women's locker room, maybe redesign the locker rooms	1/6/2020 4:46 PM
12	See answer to no. 20.	1/6/2020 4:05 PM
13	Keep the locker room clean.	1/6/2020 4:03 PM
14	I really liked having the dome over the instructional pool in the winter and miss it. I liked using the overhead wires to orient my swimming during lap swimming when I was on my back and not having to use sunscreen for those months.	1/6/2020 3:25 PM
15	Depending on the time there are not many lanes open for lap swimming.	1/6/2020 1:17 PM
16	Place the cones where they need to be.	1/6/2020 12:41 PM
17	improve the showers and make more lanes available in the instructional pool	1/6/2020 12:14 PM
18	more lap swim space after 4 pm, but...	1/6/2020 12:10 PM
19	Already mentioned Educational pool temp. Too hot.	1/6/2020 11:43 AM
20	Designate speeds per lane with signage. I.e., Fast at the left end, medium in the middle, and slow at the right end.	1/6/2020 11:27 AM
21	try to keep the water temp at least at 80. 81 is better in winter for me.	1/6/2020 11:24 AM
22	How about a signboard to encourage lap swimmers to circle swim with those who swim at same speed? Pool could also be cleaner, especially on Monday mornings.	1/6/2020 11:20 AM
23	consistent water temp	1/6/2020 11:12 AM
24	See previous note.	1/6/2020 11:12 AM
25	Not sure.	1/6/2020 11:10 AM
26	Improve the locker rooms and more reliable lap lane availability.	1/6/2020 11:06 AM
27	see 20 above	1/6/2020 11:01 AM
28	More lanes for those not in Masters swim	1/6/2020 10:58 AM
29	I only went a few times	1/6/2020 10:53 AM
30	Perhaps extend the hours at the end of the day?	1/6/2020 10:44 AM

31	Cover the instructional pool.	1/6/2020 10:30 AM
32	as before	1/6/2020 10:28 AM
33	See above.	1/6/2020 10:23 AM
34	The swimming experience is fine. See previous answers re improving locker room and cement.	1/6/2020 10:22 AM
35	Ensure water temp is at least 80 IN the pool (not just at the source).	1/6/2020 10:19 AM
36	more available times for lap swimming, especially during the 5-7pm time	1/6/2020 10:18 AM
37	more lanes during evening times lap swimming.	1/6/2020 10:13 AM
38	more lanes	1/6/2020 10:12 AM

Q46 In 2019, I participated in Menlo Swim & Sports Aqua Fit/Wellness program.

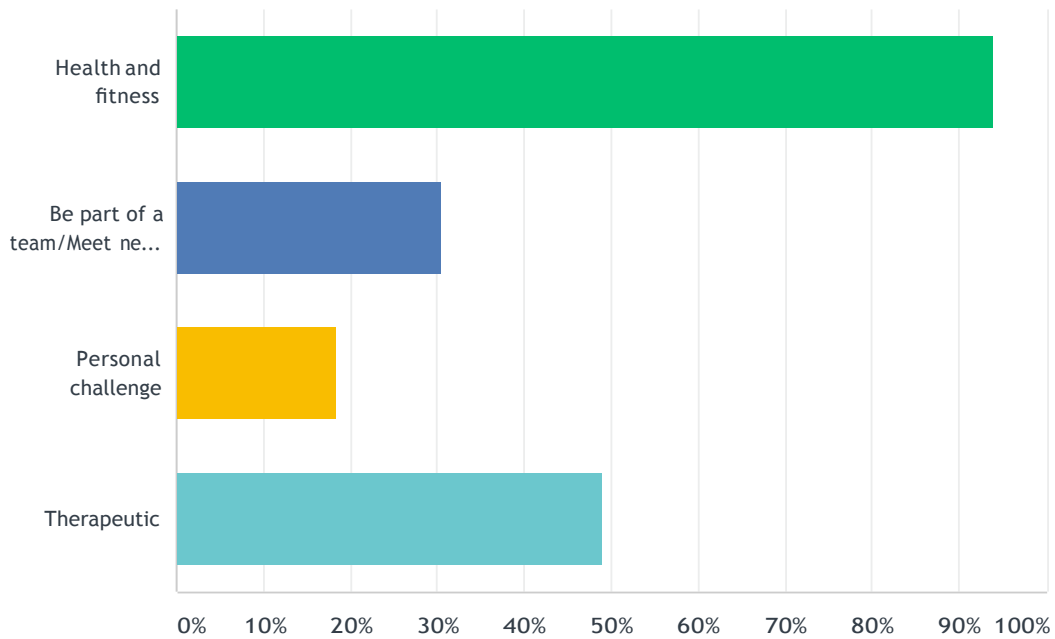
Answered: 204 Skipped: 17



ANSWER CHOICES	RESPONSES	
Yes	24.02%	49
No	75.98%	155
TOTAL		204

Q47 My primary goals for participating in Aqua Fit/Wellness are. ... (select all that apply)

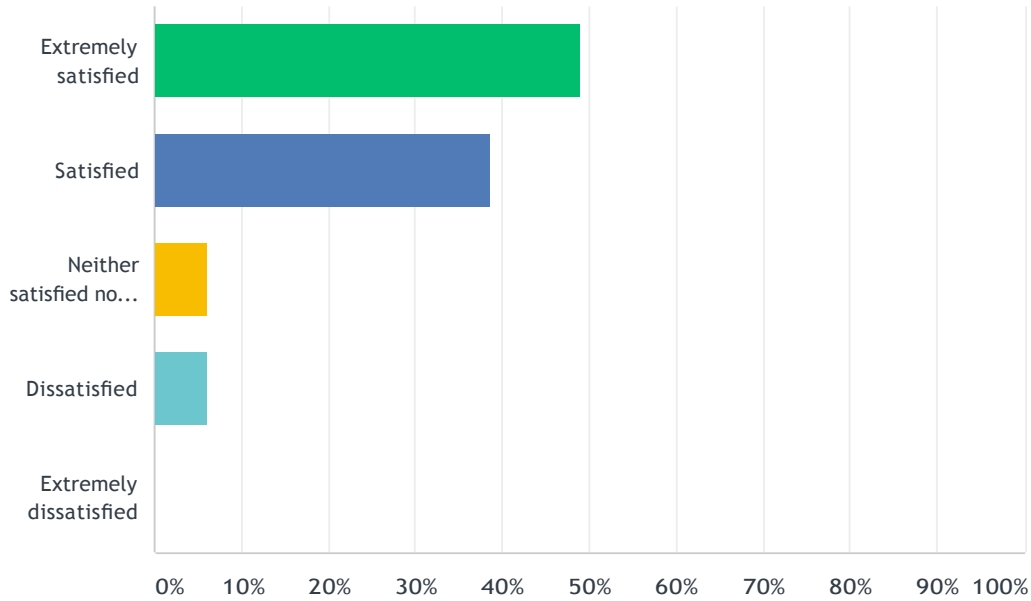
Answered: 49 Skipped: 172



ANSWER CHOICES	RESPONSES	
Health and fitness	93.88%	46
Be part of a team/Meet new people	30.61%	15
Personal challenge	18.37%	9
Therapeutic	48.98%	24
Total Respondents: 49		

Q48 Overall, how satisfied are you with your Aqua Fit experience?

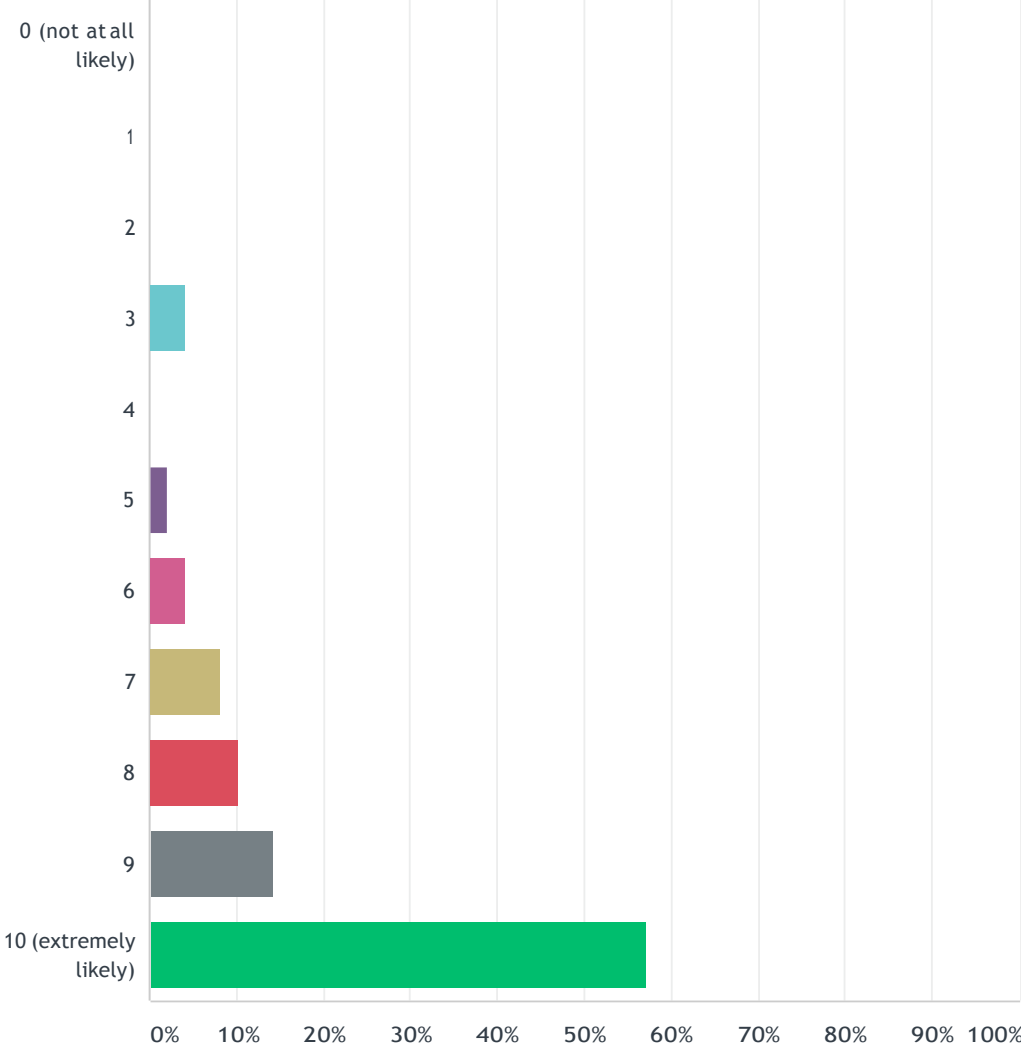
Answered: 49 Skipped: 172



ANSWER CHOICES	RESPONSES	
Extremely satisfied	48.98%	24
Satisfied	38.78%	19
Neither satisfied nor dissatisfied	6.12%	3
Dissatisfied	6.12%	3
Extremely dissatisfied	0.00%	0
TOTAL		49

Q49 Considering your experience with Menlo Swim & Sport Aqua Fit/Wellness, how likely are you to recommend our programs to a friend? (0 is not at all likely, 10 is extremely likely)

Answered: 49 Skipped: 172



ANSWER CHOICES	RESPONSES	
0 (not at all likely)	0.00%	0
1	0.00%	0
2	0.00%	0
3	4.08%	2
4	0.00%	0
5	2.04%	1
6	4.08%	2
7	8.16%	4
8	10.20%	5
9	14.29%	7
10 (extremely likely)	57.14%	28
TOTAL		49

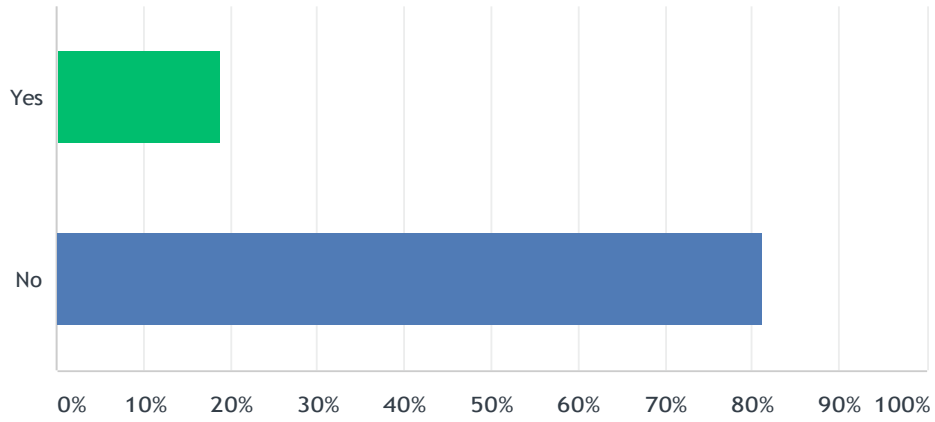
Q50 What can we do in the future to earn a 9 or 10?

Answered: 15 Skipped: 206

#	RESPONSES	DATE
1	Keep up the quality	1/13/2020 2:20 PM
2	Renovate and expand size of locker rooms	1/9/2020 6:32 PM
3	It's awesome the way it is!!!!!! Sheralee makes the class	1/9/2020 2:51 PM
4	Respect our program and continue to support our area in the pool. PLEASE continue to improve the locker room safety- it is small and that will not change, but please make it as safe as possible. It is very hard to have one or two strollers in the area when our classes end. Please encourage individuals to use lockers to store their clothing while in the pool- not the bench or hooks over the benches.	1/8/2020 7:25 AM
5	I recommended it today	1/6/2020 7:03 PM
6	See previous comments.	1/6/2020 3:11 PM
7	make more aqua fitness programs available for younger fit individuals rather than just the elderly	1/6/2020 2:30 PM
8	See previous statements	1/6/2020 1:11 PM
9	You're already there!	1/6/2020 12:07 PM
10	MORE SPACE FOR THE AQUA WELLNESS class.	1/6/2020 11:09 AM
11	Saturday classes and more night classes for working individuals	1/6/2020 10:47 AM
12	It just was something thats less so for me and more so for others.	1/6/2020 10:44 AM
13	See above comments.	1/6/2020 10:41 AM
14	Hire good leaders	1/6/2020 10:17 AM
15	As stated previously, protection for pool in winter, cleaner restrooms and changing rooms and additional parking especially in summer	1/6/2020 10:17 AM

Q51 In 2019, I participated in Menlo Swim & Sport's Menlo Fit program.

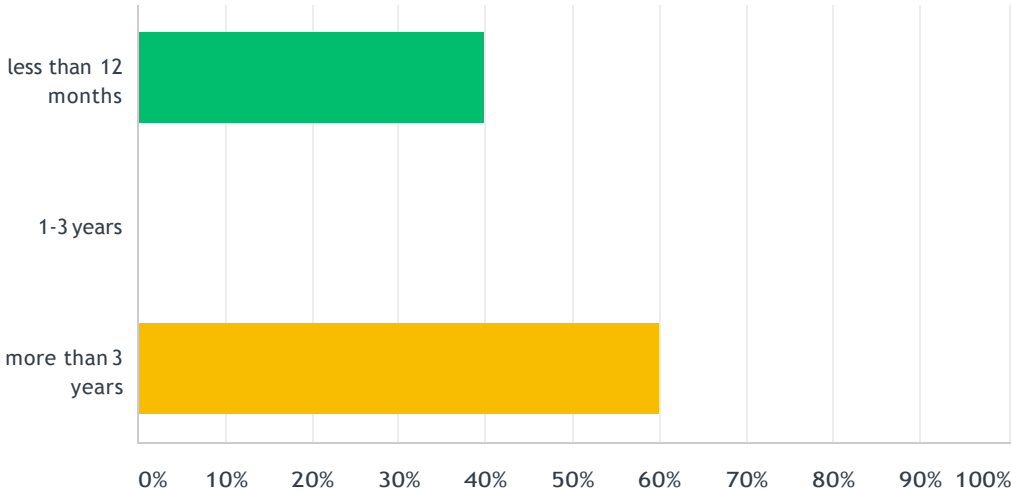
Answered: 48 Skipped: 173



ANSWER CHOICES	RESPONSES	
Yes	18.75%	9
No	81.25%	39
TOTAL		48

Q52 How long have you been participating in MSS Boot Camp?

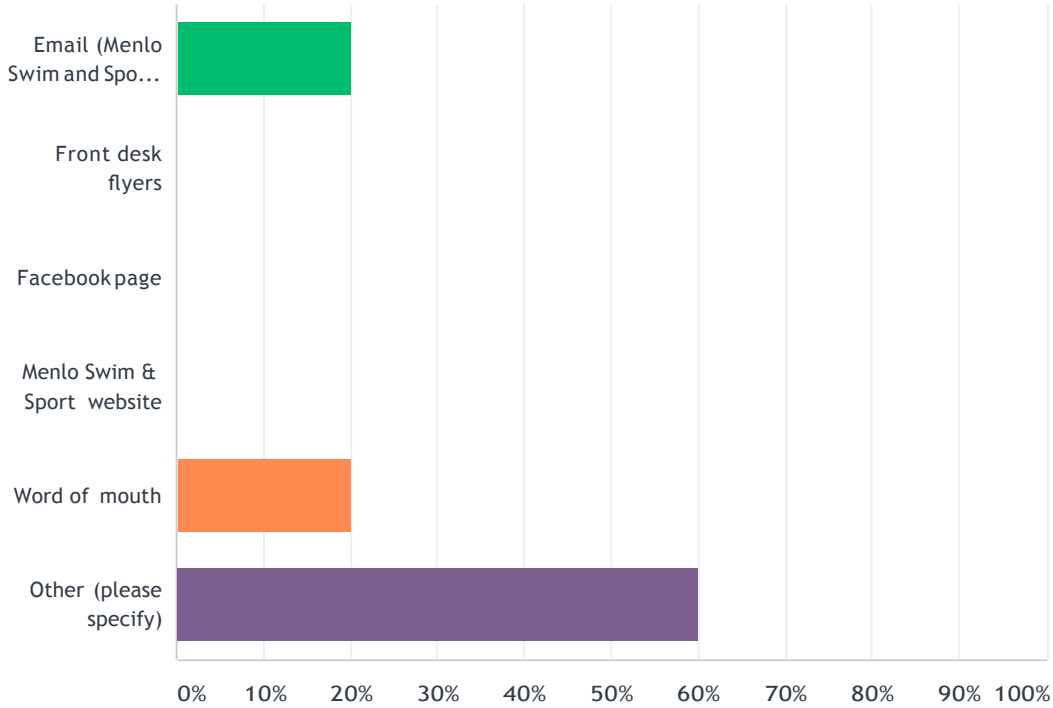
Answered: 5 Skipped: 216



ANSWER CHOICES	RESPONSES	
less than 12 months	40.00%	2
1-3 years	0.00%	0
more than 3 years	60.00%	3
TOTAL		5

Q53 How did you first come to learn about Menlo Fit?

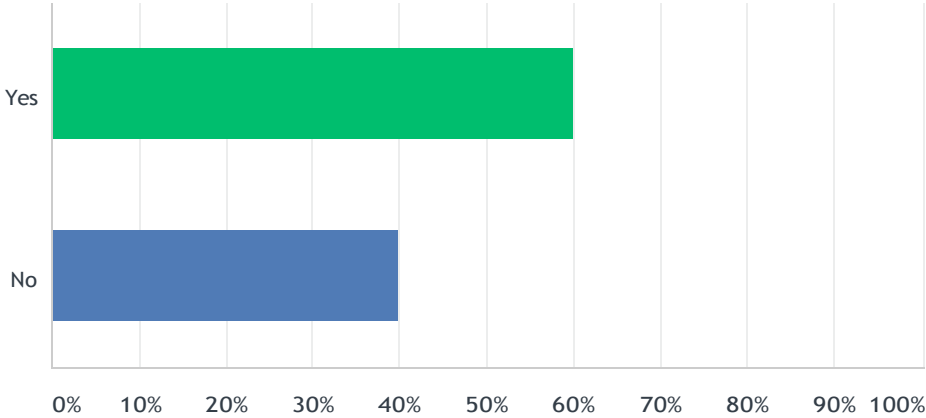
Answered: 5 Skipped: 216



ANSWER CHOICES	RESPONSES	
Email (Menlo Swim and Sport newsletter)	20.00%	1
Front desk flyers	0.00%	0
Facebook page	0.00%	0
Menlo Swim & Sport website	0.00%	0
Word of mouth	20.00%	1
Other (please specify)	60.00%	3
TOTAL		5

Q54 Menlo Fit classes are offered at convenient times.

Answered: 5 Skipped: 216



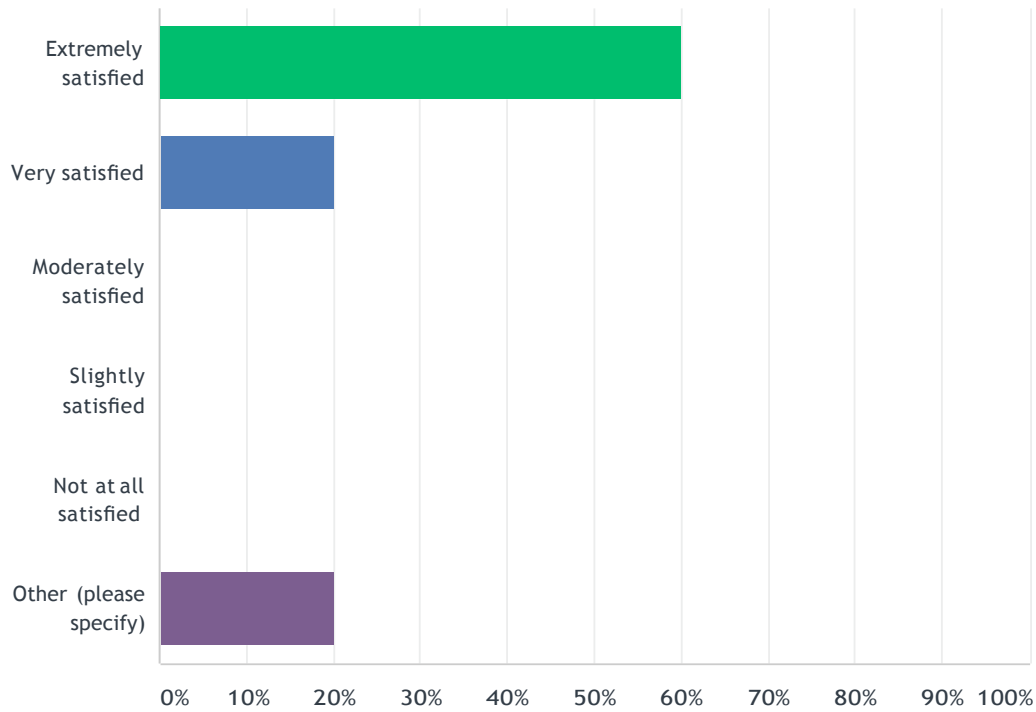
ANSWER CHOICES	RESPONSES	
Yes	60.00%	3
No	40.00%	2
TOTAL		5

Q55 If you answered "No" to the above question, when would you like to see Menlo Fit classes offered?

Answered: 2 Skipped: 219

Q56 Overall, how satisfied are you with the Menlo Fit program?

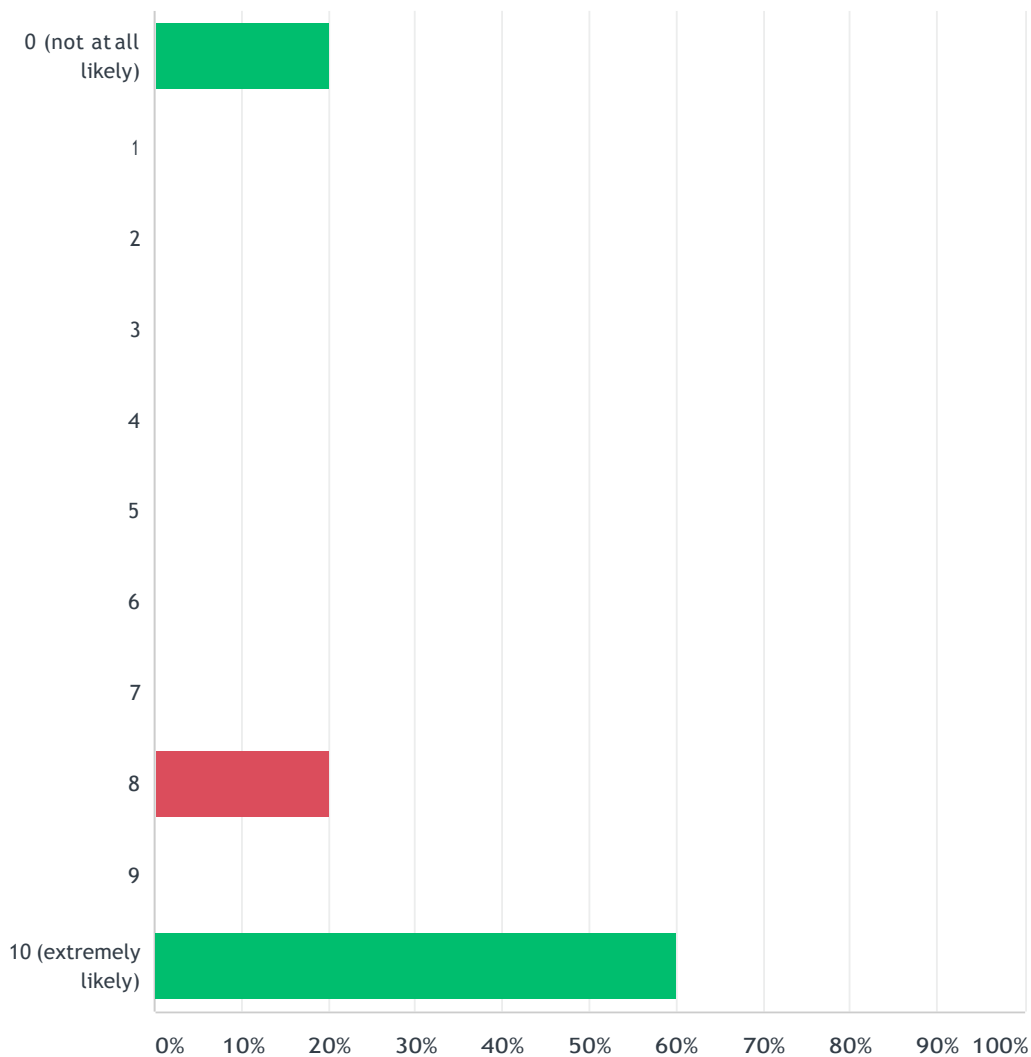
Answered: 5 Skipped: 216



ANSWER CHOICES	RESPONSES	
Extremely satisfied	60.00%	3
Very satisfied	20.00%	1
Moderately satisfied	0.00%	0
Slightly satisfied	0.00%	0
Not at all satisfied	0.00%	0
Other (please specify)	20.00%	1
TOTAL		5

Q57 Considering your experience with Menlo Fit, how likely are you to recommend Menlo Fit to a friend? (0 is not at all likely, 10 is extremely likely)

Answered: 5 Skipped: 216



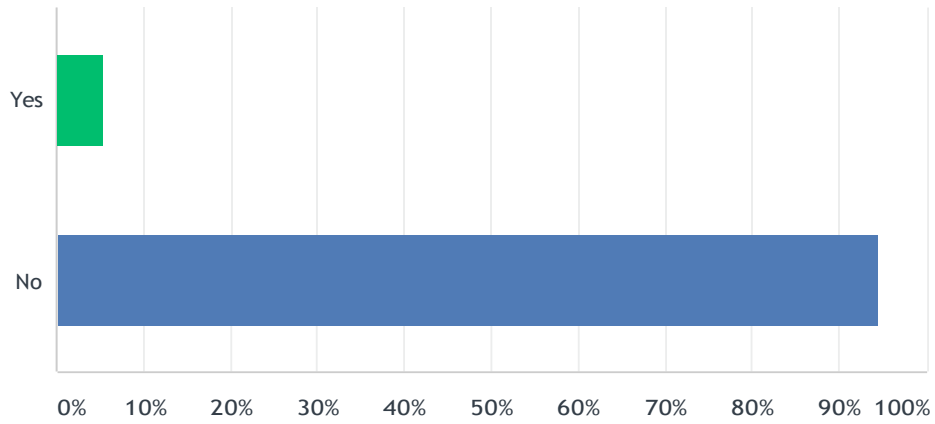
ANSWER CHOICES	RESPONSES	
0 (not at all likely)	20.00%	1
1	0.00%	0
2	0.00%	0
3	0.00%	0
4	0.00%	0
5	0.00%	0
6	0.00%	0
7	0.00%	0
8	20.00%	1
9	0.00%	0
10 (extremely likely)	60.00%	3
TOTAL		5

Q58 What can we do in the future to earn a 9 or 10?

Answered: 3 Skipped: 218

Q59 In 2019, my child participated in Camp Menlo at Menlo Swim & Sport.

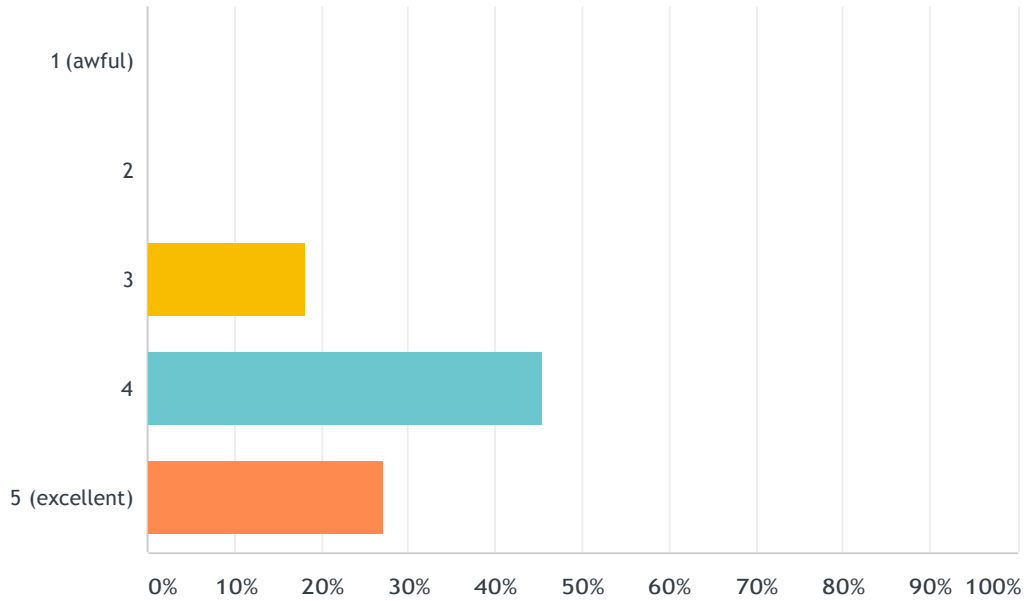
Answered: 199 Skipped: 22



ANSWER CHOICES	RESPONSES	
Yes	5.53%	11
No	94.47%	188
TOTAL		199

Q60 Please rate our Check-in process on a Scale of 1-5

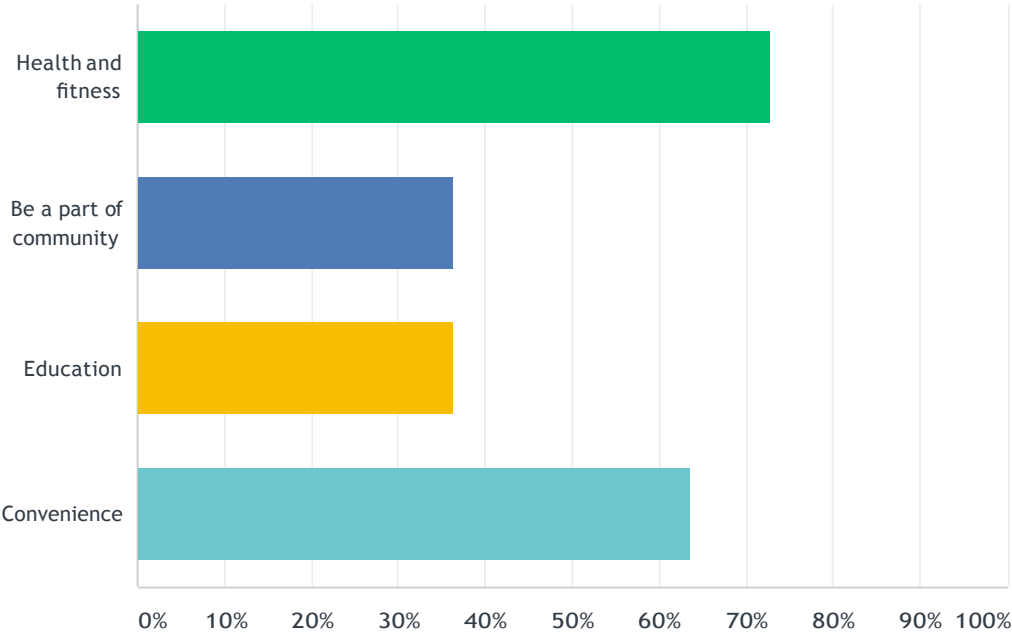
Answered: 11 Skipped: 210



ANSWER CHOICES	RESPONSES	
1 (awful)	0.00%	0
2	0.00%	0
3	18.18%	2
4	45.45%	5
5 (excellent)	27.27%	3
TOTAL		11

Q61 My primary goals for enrolling my children in Camp Menlo are.... (select all that apply)

Answered: 11 Skipped: 210



ANSWER CHOICES	RESPONSES
Health and fitness	72.73% 8
Be a part of community	36.36% 4
Education	36.36% 4
Convenience	63.64% 7
Total Respondents: 11	

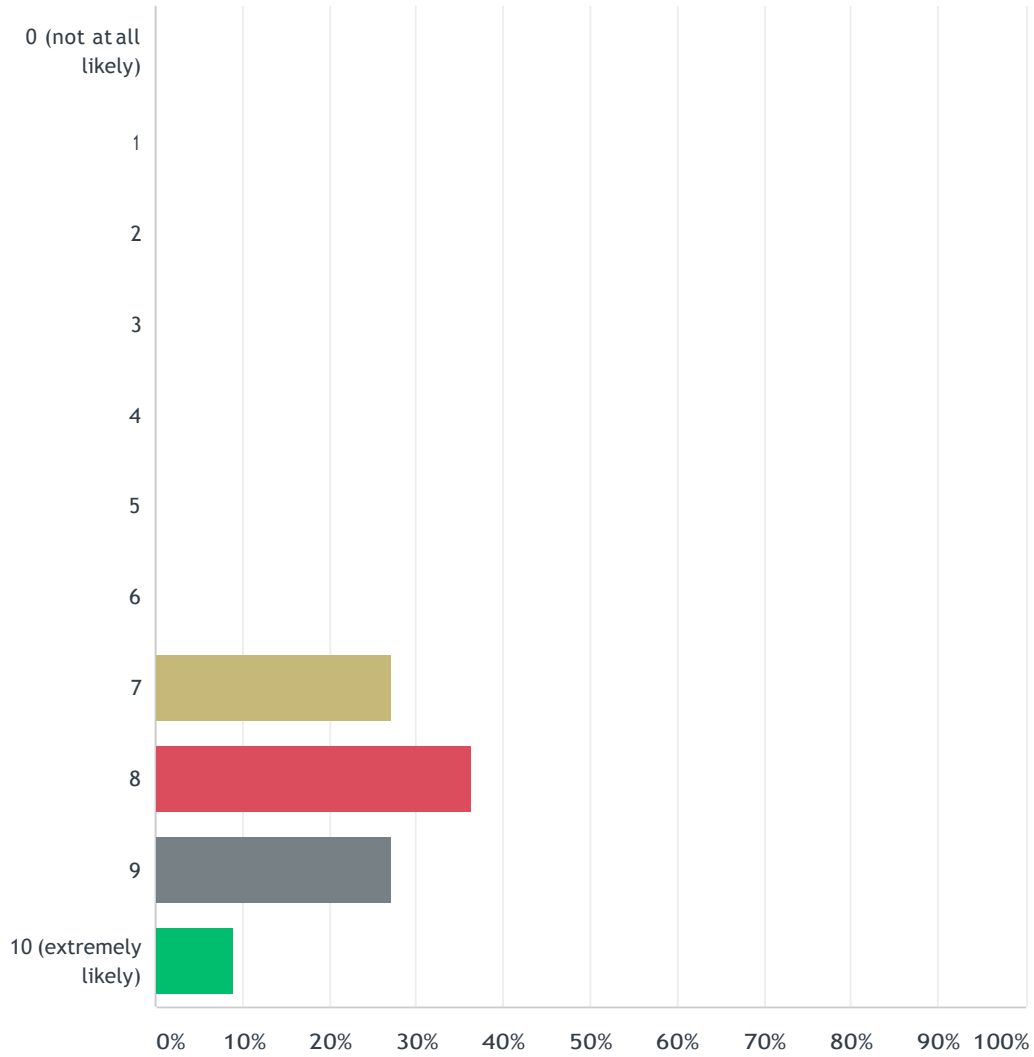
Q62 From your child's point of view, what could we do to make our Camp better?

Answered: 5 Skipped: 216

#	RESPONSES	DATE
1	N.A.	1/13/2020 3:07 PM
2	Offer longer swim lesson and swim time.	1/9/2020 6:35 PM
3	More time as swim lessons e.g. 2 times per day. More flexibility on booking and refunds (e.g. like a Steve and Kate's). Improve the grass surface which turns to dirt during the summer (e.g. artificial turf?)	1/6/2020 9:09 PM
4	Change up activities and encourage kids to play with each other	1/6/2020 7:15 PM
5	she'd happily spend hours in the pool if she could	1/6/2020 10:17 AM

Q63 Considering your experience with Camp Menlo, how likely are you to recommend Camp Menlo to a friend? (0 is not at all likely, 10 is extremely likely)

Answered: 11 Skipped: 210



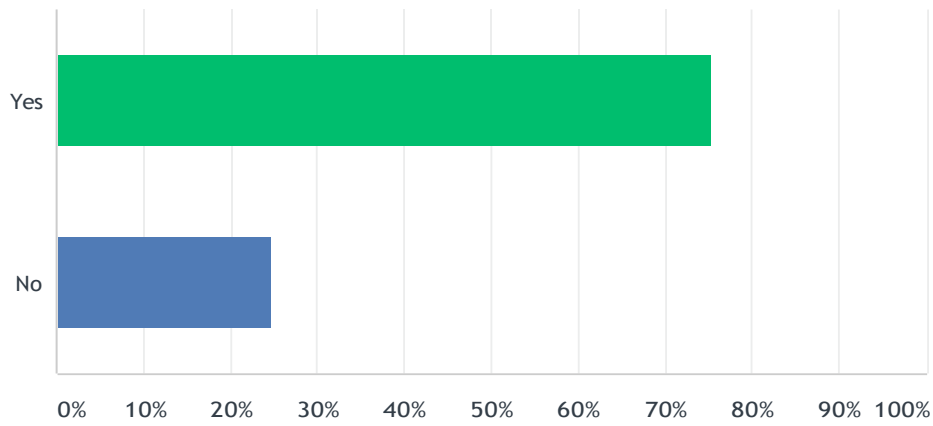
ANSWER CHOICES	RESPONSES	
0 (not at all likely)	0.00%	0
1	0.00%	0
2	0.00%	0
3	0.00%	0
4	0.00%	0
5	0.00%	0
6	0.00%	0
7	27.27%	3
8	36.36%	4
9	27.27%	3
10 (extremely likely)	9.09%	1
TOTAL		11

Q64 What can we do in the future to earn a 9 or 10?

Answered: 3 Skipped: 218

Q65 Have you ever contacted the Service Center, either by phone, email or in-person?

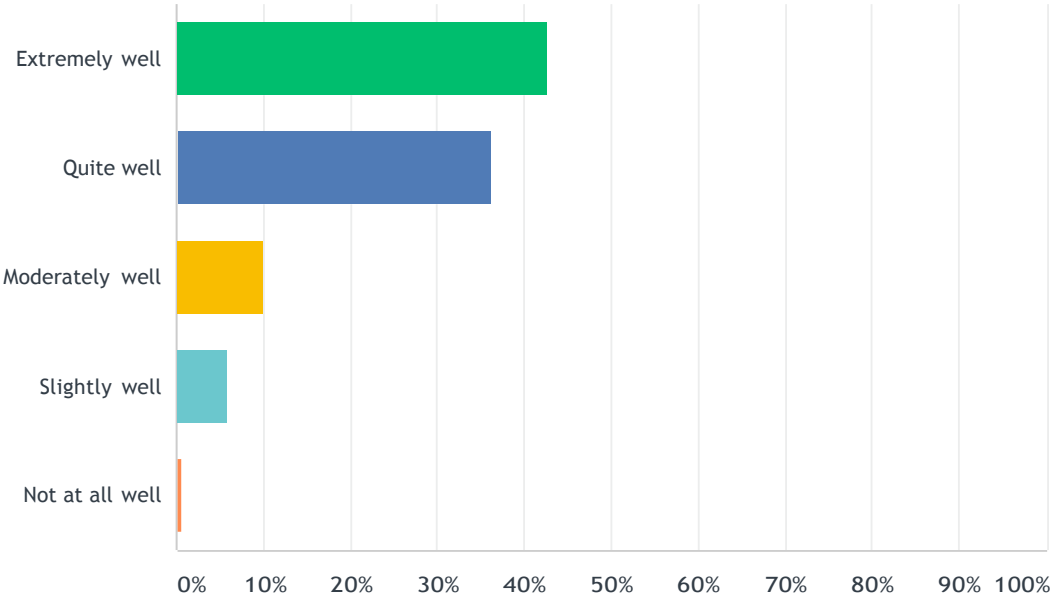
Answered: 194 Skipped: 27



ANSWER CHOICES	RESPONSES	
Yes	75.26%	146
No	24.74%	48
TOTAL		194

Q66 How well did our customer service representative answer your question or solve your problem?

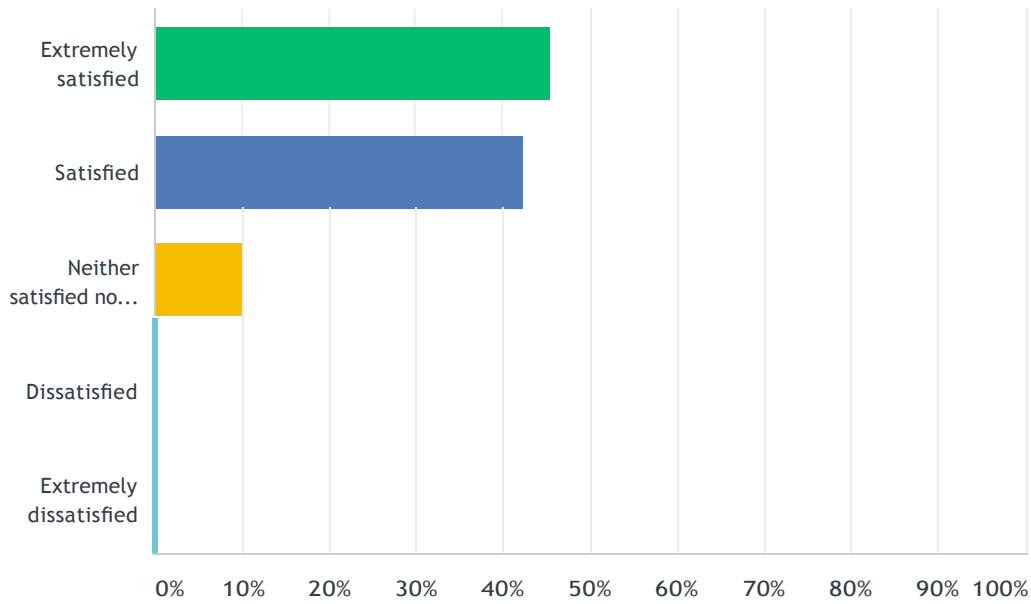
Answered: 169 Skipped: 52



ANSWER CHOICES	RESPONSES	
Extremely well	42.60%	72
Quite well	36.09%	61
Moderately well	10.06%	17
Slightly well	5.92%	10
Not at all well	0.59%	1
TOTAL		169

Q67 Overall, how satisfied are you with customer service at Menlo Swim and Sport?

Answered: 184 Skipped: 37



ANSWER CHOICES	RESPONSES	
Extremely satisfied	45.65%	84
Satisfied	42.39%	78
Neither satisfied nor dissatisfied	10.33%	19
Dissatisfied	0.54%	1
Extremely dissatisfied	0.00%	0
TOTAL		184

Q68 Please share any additional comments about our facility and programs.

Answered: 63 Skipped: 158

#	RESPONSES	DATE
1	Every swim I think about quitting because the showers and locker room are so disgusting and miserable.	1/17/2020 4:51 PM
2	Would love for showers to work (full stream of water to wash hair!) and for new paint job and repair doors .would also support upgrade pool heater since it has broken many times this year	1/13/2020 3:08 PM
3	The Women's locker room needs upgrade The floor is very slippery and showers are often broken and not hot	1/11/2020 9:53 PM
4	Sheralee is the most helpful, professional, encouraging and knowledgeable instructor I could imagine. She is amazingly clear and personalized in her instructions. Don't ever lose Sheralee!	1/11/2020 9:50 PM
5	Thank you for having all of these programs for our community.	1/10/2020 3:40 PM
6	thank you for changing the user interface at the sign-in desk. not having to select my program is a minor thing, but makes entry much easier. Overall, this is a great pool and I'm happy to be a patron.	1/9/2020 8:26 PM
7	Faster response to necessary repairs.	1/9/2020 6:38 PM
8	programs for seniors are great. many senior don't attend because lack of transportation.	1/9/2020 1:54 PM
9	Better showers. The anemic water flow and unpredictable temperature is a real problem.	1/9/2020 1:33 PM
10	In regards to Aqua Fit, It gets you out of the house 3X/week in all weathers, which is no small feat for older adults; You get social interaction with others from many different countries; There is a lot of sharing of information and experience on general matters; It is a huge help finding others with similar medical issues or other problems who can provide insight and support; People do not have to be self conscious about medical scars or imperfections because others have similar issues; There are many friendships formed: some over decades; It is truly inspiring to see people in their 90s, or even at 100, participating in physical activity and lively social interaction; People share rides to class and make friends, and there are frequent social functions apart from class; Some people combine their exercise time with a grandkid's swimming lessons, and they meet other parents/grandparents; In the locker room you get to meet younger, athletic people who are inspiring and whom you might not get to meet in your daily life; It is a pleasure to be greeted by so many friendly staff faces in the morning, who are always helpful; Sheralee is always so full of life that it contributes to general congeniality and a sense of community amongst the participants	1/9/2020 8:33 AM
11	Pool temperature is a bit erratic. Most of the showers in women's locker room do not work well at all.	1/8/2020 8:52 PM
12	The Women's locker room needs attention. Small improvements would make a huge difference in the functionality of the room. For example, rather than 3 small mirrors over the sink one large mirror spanning the length of the sink would allow more than 3 people to use the mirror at once. Shelves over the all the benches would provide additional storage space for items. Look at the Riconada Pool as an example. Rubber mats in the showers and hall between the toilets and sinks would provide additional safety. Heat in the locker room would be lovely on cold days. And replacing the shower heads that are corroded with calcium and therefore have little to no water flow would provide a much needed reliable shower. The staff is great. The pool lovely. It's just the aging facility that needs some love and attention. The Burgess pool has become a wonderful place for me to have a small community of friends.	1/8/2020 2:40 PM
13	I think the teacher for Aqua Fitness, Sharalee is excellent. If the 10:00 class gets much bigger, I think you should add a class.	1/8/2020 12:38 PM
14	Really appreciate the addition of new instructors in the Aqua fit program. Nicole and Nivia are exceptional and great motivators. Thank you for bringing them onboard.	1/8/2020 11:11 AM
15	We are blessed to have such a strong Aqua Wellness Program at our pool. Please continue to honor the program and to make improvements while supporting our VALUED INSTRUCTORS!	1/8/2020 7:31 AM
16	You have some good people working for you, who are friendly and greet customers, which encourages people to return. Others don't seem to care.	1/7/2020 10:31 PM
17	Need better showers.	1/7/2020 6:52 PM
18	Everyone is always pleasant and anxious to help when needed.	1/7/2020 4:28 PM

19	Overall, this is a very well run and staffed facility. I am impressed by the level of use by community members.	1/7/2020 1:07 PM
20	N/a	1/6/2020 10:53 PM
21	Steve does a fabulous job of keeping the entire facility spotless.	1/6/2020 9:20 PM
22	To incentivize participation, Would be great to receive family discounts for multiple kids and parents across all programs. Make open swim more affordable for families throughout the year.	1/6/2020 9:12 PM
23	Kathy Miller is very knowledgeable.	1/6/2020 8:52 PM
24	like it, clean,friendly and close to my outrageously high rent Apt.	1/6/2020 7:27 PM
25	At times during high volume / season the ladies locker room was very dirty ... hair clogging up showers and bathroom stalls with pee on floor . Hence I would recommend Instructors but not necessarily recommend based on maintenance of facilities	1/6/2020 7:18 PM
26	The lifeguards are always paying attention, as is the rest of the staff. I don't see anyone paying attention to their phones. The facilities are always clean, the water is always clean. I like the warm pool at 87, it helps when it's warmer since there is no dome.	1/6/2020 7:05 PM
27	I'm good.	1/6/2020 6:54 PM
28	To reiterate - a simple thing like having higher quality shampoo/soap in the showers would be awesome. Visit other local pools (CSM for instance) and they "invest" in that. It's small but important.	1/6/2020 5:04 PM
29	Please fix the showers in the women's locker rooms. They have been inadequate for over a year. The only one that works is the handicapped one. For working people who need to shower before they go to work, working showers are a necessity. The locker rooms are a very bad designed and should be remodeled to be more like Rinconada's. I have emailed and talked with Tim Sheeper about this, so hopefully something can be done about this. I am seriously considering changing my membership to Rinconada because I need a working shower on my way to work in the morning	1/6/2020 4:51 PM
30	See comment about adding outdoor hook(s) at or near outdoor shower facilities.	1/6/2020 3:41 PM
31	I am grateful to all who make it possible to swim in such a beautiful pool. The MM coaches are fantastic.	1/6/2020 3:21 PM
32	Lousy locker room. All hallways and not enough changing area.	1/6/2020 3:09 PM
33	I think the pools are great for our community it would just be nice to offer more times for free swim or lap swim in the instructional pool in late morning and late afternoon -	1/6/2020 2:31 PM
34	The Menlo center is excellent, handsome buildings, clean locker rooms, courteous & friendly staff.	1/6/2020 1:08 PM
35	There is a man who comes to the instructional pool some mornings (around 9:50 AM). He is not part of the Aquafit class, but stays in a corner of the pool, and repeatedly hawks and spits into the overflow area at the edge of the pool. I wish he would not do that, as it is a way to spread germs, and I am sure that all germs are not handled by the pool filters. It is also a disgusting habit.	1/6/2020 1:02 PM
36	There was a time where I had to keep booking a make up class because they kept giving me the wrong class	1/6/2020 12:45 PM
37	The staff at the front desk are very friendly.	1/6/2020 12:15 PM
38	Healthier options at the snack shack. Get rid of the junk food!	1/6/2020 12:03 PM
39	Given the number of old/disabled/stroller pushing patrons, it would be good to have ADA enabled doors. Also it is very hard to get a HOT stream of water in the showers because you have to keep pressing the button, and this wastes more water. A lot of non-disabled people use the disabled shower because of this, keeping people waiting that actually need the seat. It would also be nice if strollers were not allowed in the locker room, but instead using the family locker room	1/6/2020 11:50 AM
40	There is sand at the bottom of the performance pool in the lane where the pool suddenly	1/6/2020 11:28 AM

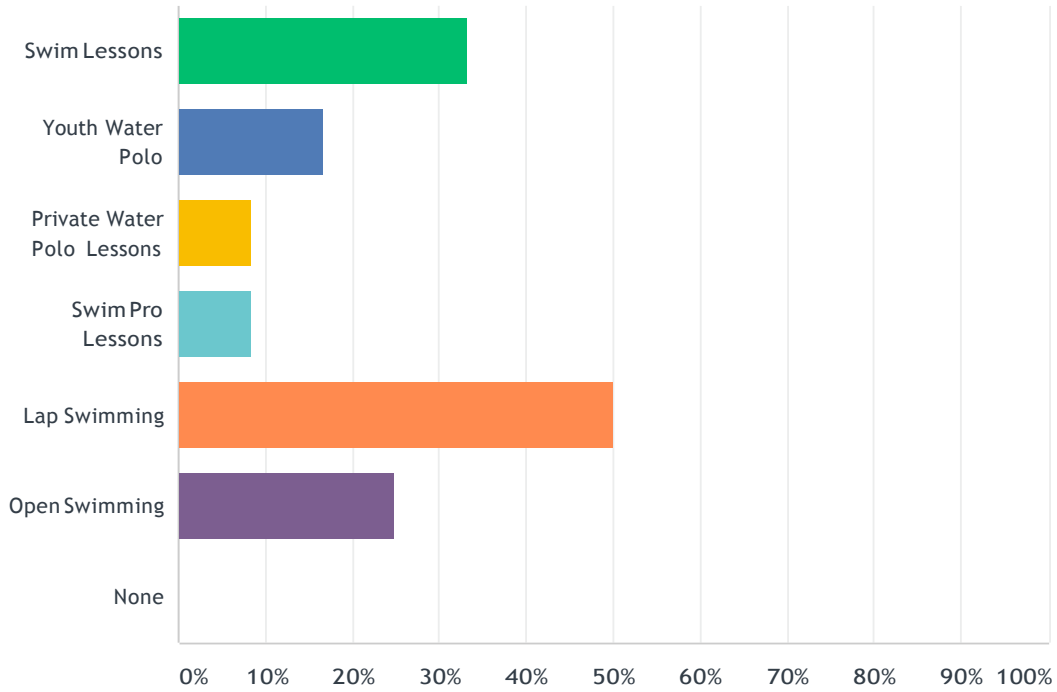
deepens and has been for months. Don't you vacuum the pool bottom occasionally? If not, you should.

41	Please fix the women's showers!!!!	1/6/2020 11:25 AM
42	Pool is a great resource for community and well run. Would love to see some additional workout programs for Menlo Fit, including HIIT programs and yoga.	1/6/2020 11:21 AM
43	like the new furniture in lobby; sorry that Sheralee does not teach at 7:50 AM any more	1/6/2020 11:16 AM
44	The green "whiteboard" in the lobby was a great addition with notes about water temp, weather, and funny quotes. Sometimes it is not always updated. Biggest complaint is the sometimes inconsistent water temperature and the week-10 days where it was very cold. Especially in the winter, it is tough to jump into a cold pool in the AM	1/6/2020 11:14 AM
45	I like the programs and know it takes a lot of money to operate.	1/6/2020 11:12 AM
46	Give Sheralee a raise! Make sure she continues as instructor for Aqua Wellness forever!	1/6/2020 11:10 AM
47	none	1/6/2020 11:08 AM
48	SERIOUSLY: IMPROVE THE LOCKER ROOMS.	1/6/2020 11:06 AM
49	Love your staff. They have a good sense of humor, are very helpful and very patient. Your lifeguards are on top of things. Very well trained. Maybe making signs for the showers for people to take short showers. There are some folks that hour-long showers.	1/6/2020 11:05 AM
50	I'm shocked how bad the swim lessons are and the locker rooms are really gross	1/6/2020 11:04 AM
51	Please do this survey yearly. I have not seen one in at least two years. I think would be helpful to receive feedback as I don't think concerns get back to the person who may be able to make adjustments as necessary. Overall, I'm pleased.	1/6/2020 11:04 AM
52	well organized, nice staff and well taken care of facility. No comparison to pre-Sheep days!	1/6/2020 11:03 AM
53	See earlier comments about showers. I'd love to send my kids in to shower alone, but they can't reach the knobs and know where hot or cold is	1/6/2020 10:54 AM
54	Great facility. Perhaps adding one hair dryer would help.	1/6/2020 10:47 AM
55	Sometimes I arrive at 6 am to find that the warm pool is closed for some reason. I wish the pool would send out texts (to those of us who opt in) when a heater breaks, the lifeguard does not show etc...	1/6/2020 10:39 AM
56	See above re: cleaning lady	1/6/2020 10:36 AM
57	Please cover your instructional pool in the winter, and lap pool too if possible.	1/6/2020 10:32 AM
58	as before	1/6/2020 10:29 AM
59	We are new to the pool and very happy with it in general. I think one thing could be added on the website is to explain how kids move from one level to another so that parents know what to expect.	1/6/2020 10:25 AM
60	Tim Sheeper does a great job	1/6/2020 10:22 AM
61	The programs are very well run. Much effort goes into attracting people to the programs.	1/6/2020 10:22 AM
62	Please update the showers to not be push on/off.	1/6/2020 10:13 AM
63	More open hours please!	1/6/2020 10:12 AM

Customer Satisfaction Results (Belle Haven)

Q2 In 2019, which Menlo Swim and Sport program(s) did you and/or your family participate? (Choose all that apply)

Answered: 12 Skipped: 0

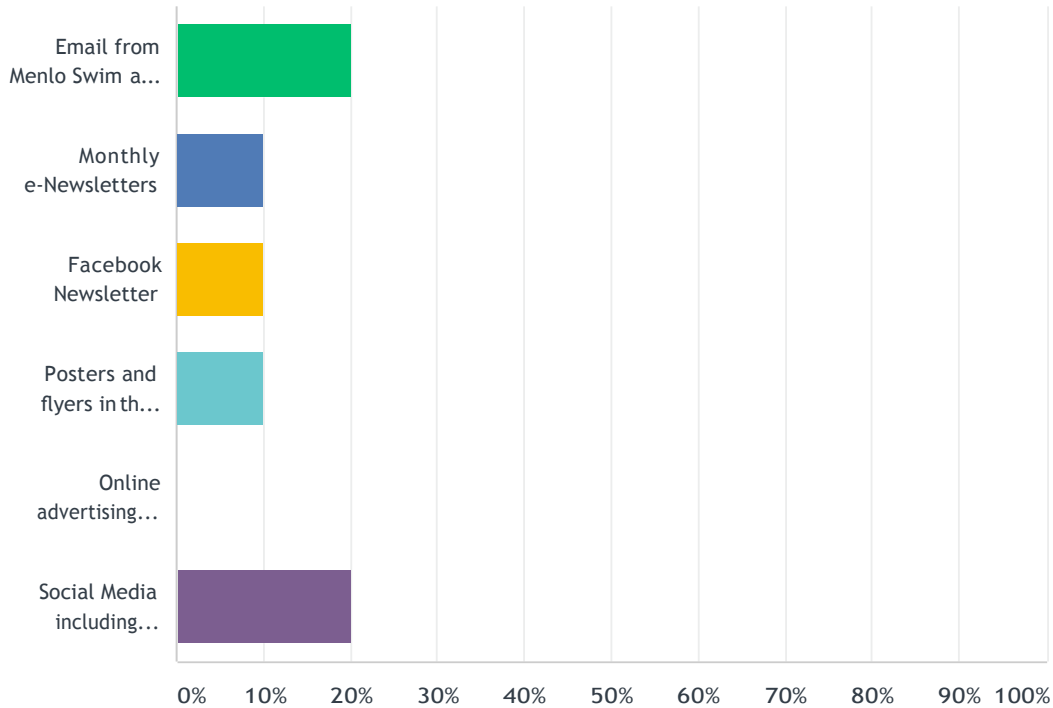


ANSWER CHOICES	RESPONSES
Swim Lessons	33.33% 4
Youth Water Polo	16.67% 2
Private Water Polo Lessons	8.33% 1
Swim Pro Lessons	8.33% 1
Lap Swimming	50.00% 6
Open Swimming	25.00% 3
None	0.00% 0
Total Respondents: 12	

#	OTHER (PLEASE SPECIFY)	DATE
1	I only swam at Belle Haven but has to supple my swims on the weekends at Burgess.	1/16/2020 5:32 PM

Q3 How do you find out about new programs at Menlo Swim and Sport?

Answered: 10 Skipped: 2



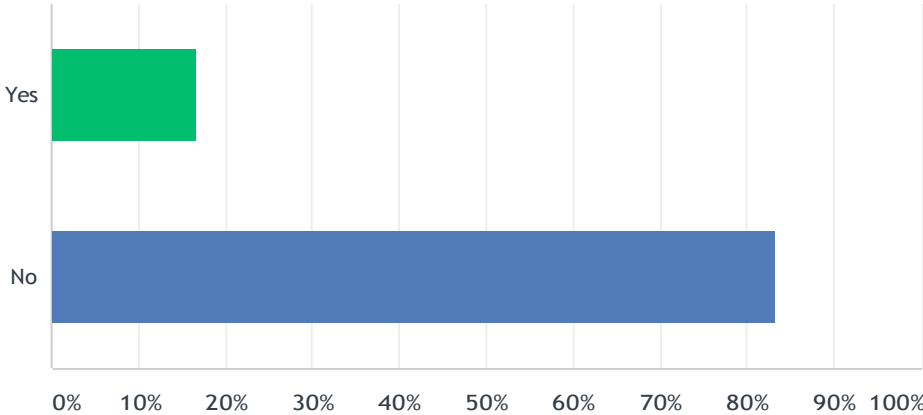
ANSWER CHOICES	RESPONSES
Email from Menlo Swim and Sport	20.00% 2
Monthly e-Newsletters	10.00% 1
Facebook Newsletter	10.00% 1
Posters and flyers in the lobby	10.00% 1
Online advertising including Google, Palo Alto Online	0.00% 0
Social Media including Facebook, Twitter, Yelp	20.00% 2

Total Respondents: 10

#	OTHER (PLEASE SPECIFY)	DATE
1	Facebook workplace group	1/16/2020 5:32 PM
2	parent posted on next door	1/16/2020 12:15 PM
3	Asked at the front desk	1/16/2020 10:50 AM
4	Working at Facebook	1/16/2020 10:31 AM
5	Word of mouth	1/16/2020 10:20 AM
6	coworker at Facebook	1/16/2020 10:07 AM
7	Friend's	1/8/2020 9:52 PM

Q4 In 2019, were you applicable for any Youth Scholarships from the Beyond Barrier Athletic Foundation?

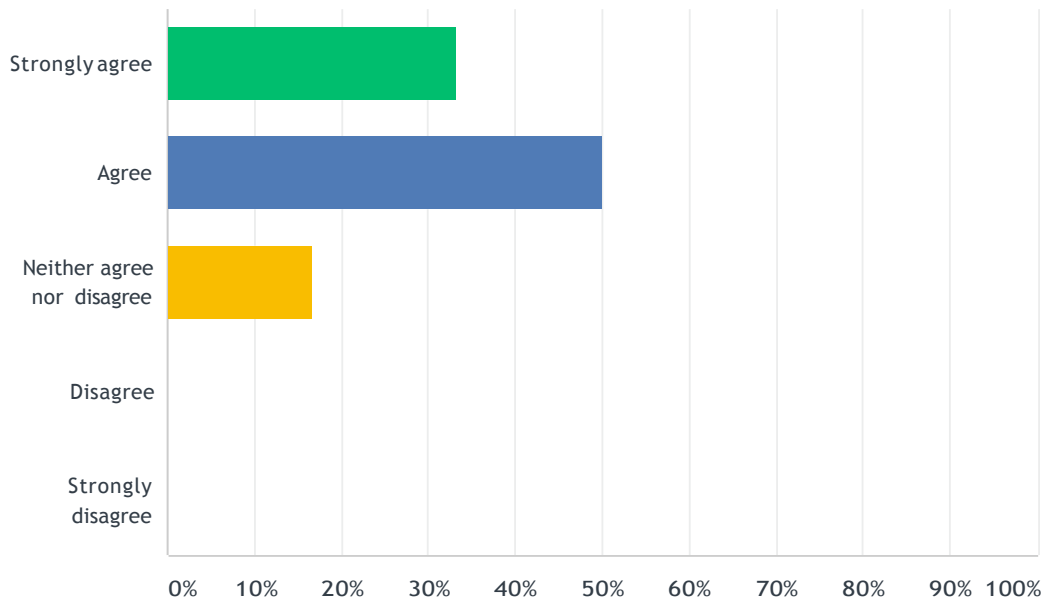
Answered: 12 Skipped: 0



ANSWER CHOICES	RESPONSES	
Yes	16.67%	2
No	83.33%	10
TOTAL		12

Q5 As a direct result of participating at the pool, I (or my child) have improved upon or developed a new skill.

Answered: 12 Skipped: 0

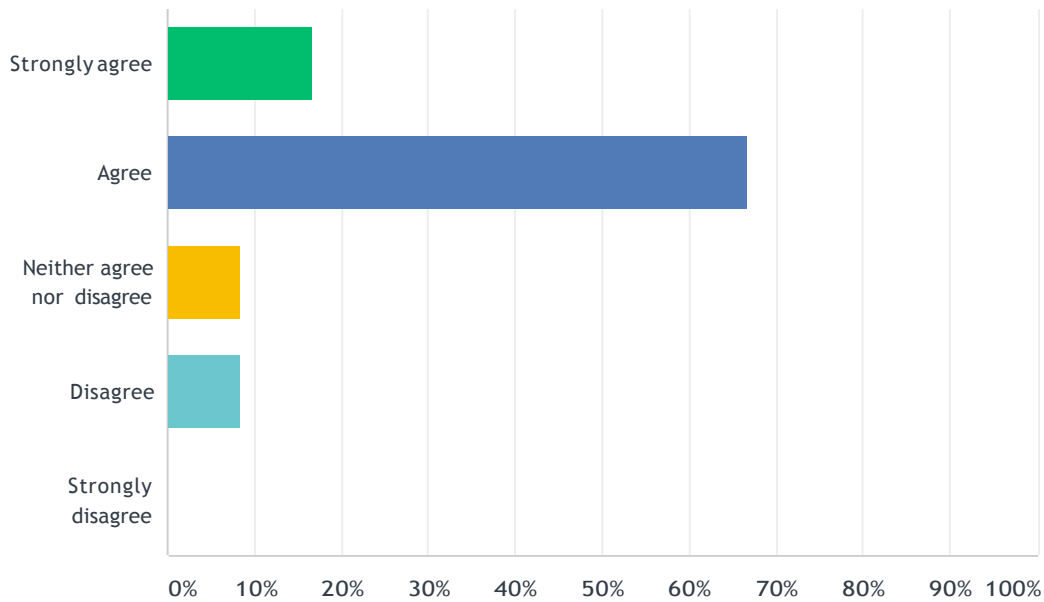


ANSWER CHOICES	RESPONSES
Strongly agree	33.33% 4
Agree	50.00% 6
Neither agree nor disagree	16.67% 2
Disagree	0.00% 0
Strongly disagree	0.00% 0
TOTAL	12

#	COMMENTS	DATE
	There are no responses.	

Q6 As a direct result of participating at the pool, I (or my child) feel closer to my community.

Answered: 12 Skipped: 0

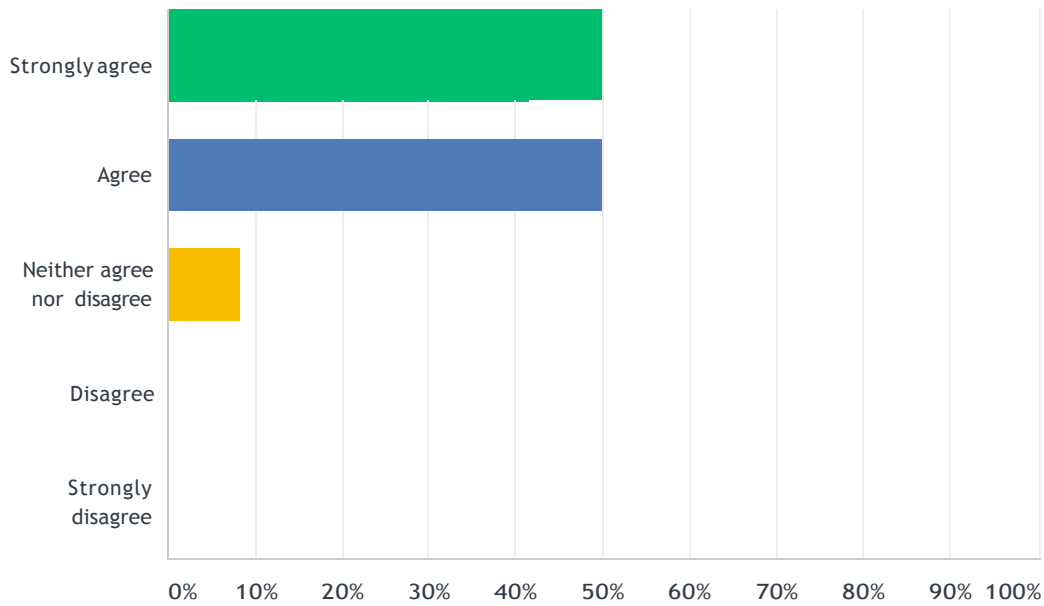


ANSWER CHOICES	RESPONSES
Strongly agree	16.67% 2
Agree	66.67% 8
Neither agree nor disagree	8.33% 1
Disagree	8.33% 1
Strongly disagree	0.00% 0
TOTAL	12

#	COMMENTS	DATE
	There are no responses.	

Q7 My (or my child's) participation in aquatics programs supports a healthy lifestyle.

Answered: 12 Skipped: 0

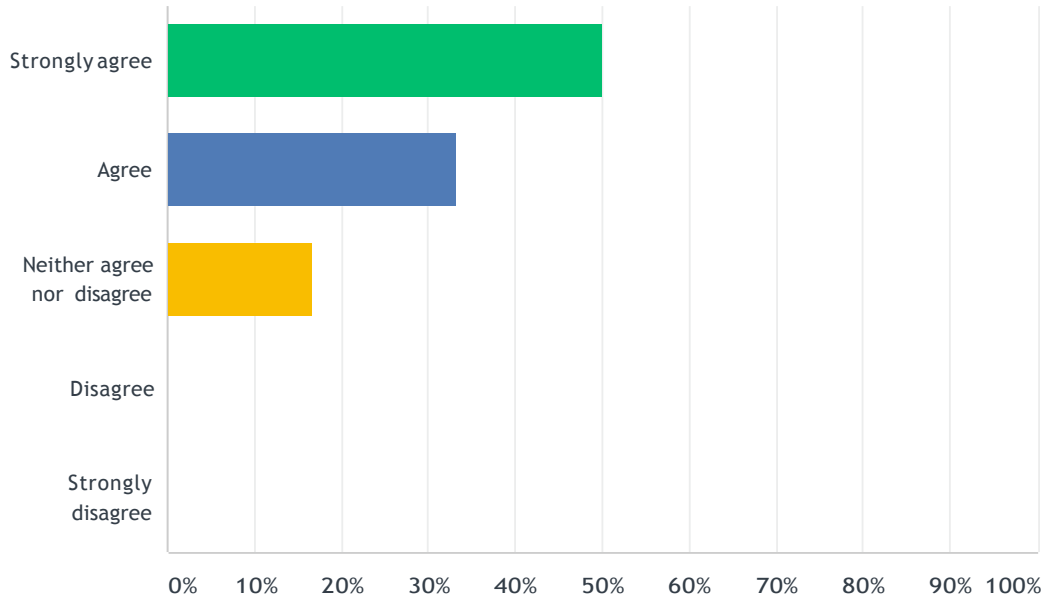


ANSWER CHOICES	RESPONSES
Strongly agree	41.67% 5
Agree	50.00% 6
Neither agree nor disagree	8.33% 1
Disagree	0.00% 0
Strongly disagree	0.00% 0
TOTAL	12

#	COMMENTS	DATE
1	I only did lap swimming.	1/16/2020 5:32 PM

Q8 My participation (or my child's participation) in aquatics programs contributes to my (child's) individual growth and development.

Answered: 12 Skipped: 0

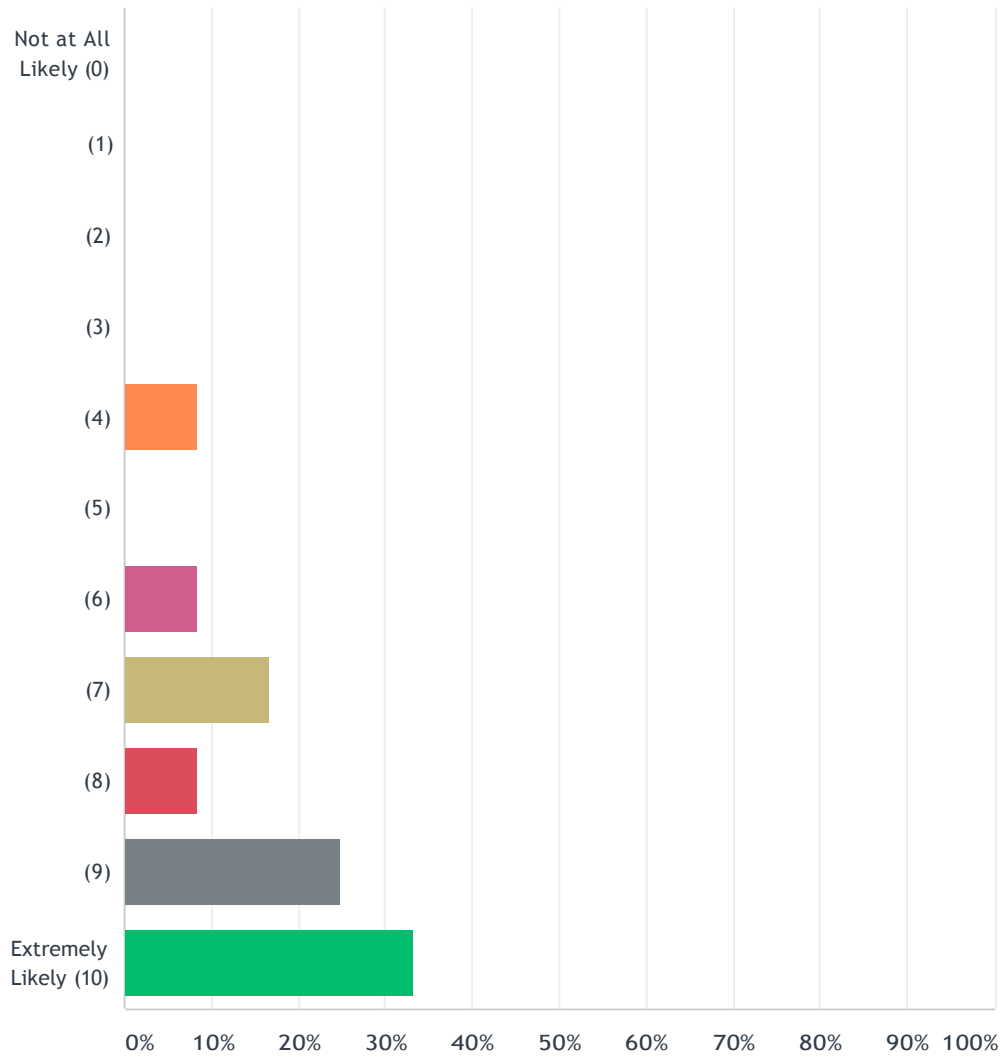


ANSWER CHOICES	RESPONSES	
Strongly agree	50.00%	6
Agree	33.33%	4
Neither agree nor disagree	16.67%	2
Disagree	0.00%	0
Strongly disagree	0.00%	0
TOTAL		12

#	COMMENTS	DATE
	There are no responses.	

Q9 Considering your experience with Menlo Swim and Sport, how likely are you to recommend Menlo Swim and Sport to a friend? (0 is not at all likely, 10 is extremely likely)

Answered: 12 Skipped: 0



ANSWER CHOICES	RESPONSES	
Not at All Likely (0)	0.00%	0
(1)	0.00%	0
(2)	0.00%	0
(3)	0.00%	0
(4)	8.33%	1
(5)	0.00%	0
(6)	8.33%	1
(7)	16.67%	2
(8)	8.33%	1
(9)	25.00%	3
Extremely Likely (10)	33.33%	4
TOTAL		12

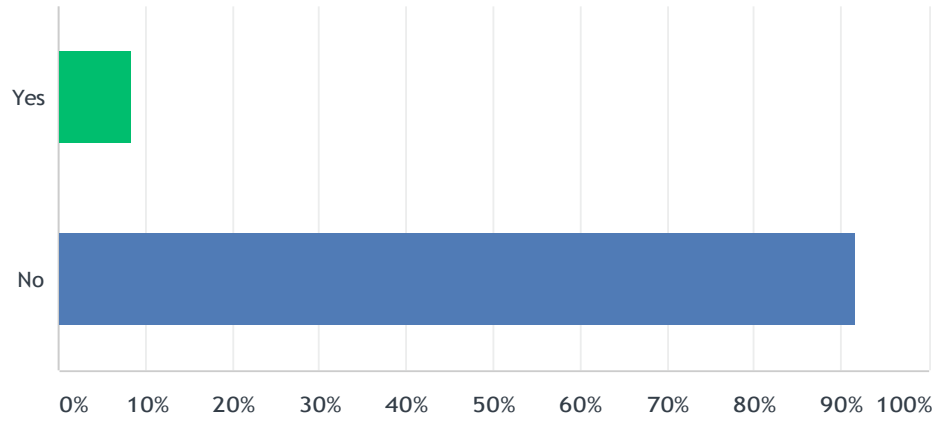
Q10 What can we do in the future to earn a 9 or 10?

Answered: 8 Skipped: 4

#	RESPONSES	DATE
1	It'd be helpful if the Belle Haven membership could be used at Burgess during the weekends when Belle Haven isn't open. It's strange to have to pay a membership for one pool and not have it apply at Burgess. Even if there were a buy up option to include weekend swims at Burgess that would be helpful. OR keep Belle Haven open on the weekends!!!!	1/16/2020 5:32 PM
2	Windows in the women's locker room and heating and hot water. It takes too long to heat up and the dressing room is cold so I can't use you facilities except during the summer. Also your hours are hard. Would be good if you were open at lunch. As it is I can only use your pool 2-3 months a year when it's warm and the hours are extended. So then I have to find other places to swim which is sad.	1/16/2020 10:50 AM
3	Improve the facilities, more lap swim hours	1/16/2020 10:32 AM
4	Can we add a dryer spinner machine thing to dry swimsuits etc? How much does one cost? I work at Facebook. Perhaps I can get many employees to pitch in or do a fundraiser to help get one? You can email me about this surveensingh@fb.com . Thank you!!	1/16/2020 10:31 AM
5	Lighting and bathroom upgrade	1/16/2020 10:20 AM
6	hooks near the showers would be helpful! To hang wet suits/towels/toiletry bags on. :)	1/16/2020 10:07 AM
7	Get more teacher during summer	1/8/2020 9:52 PM
8	- publish unexpected closures earlier on website/twitter/facebook/somewhere easy to look up - open for more hours, especially in the morning before work (7-9am). I and others would be fine if there was no life guard service provided and would gladly sign a release of liability if that meant you could be open outside of normal hours.	1/6/2020 11:10 AM

Q11 In 2019, my child participated in Youth Water Polo.

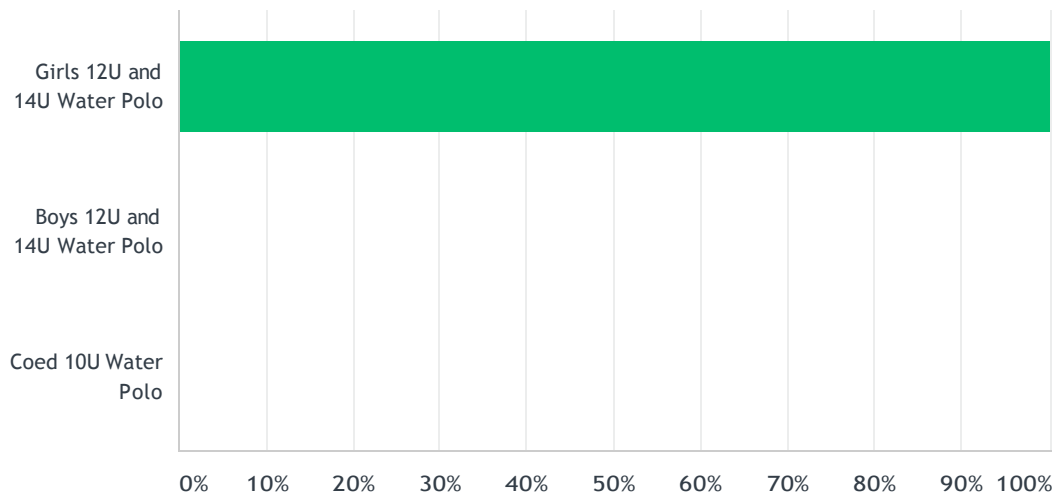
Answered: 12 Skipped: 0



ANSWER CHOICES	RESPONSES	
Yes	8.33%	1
No	91.67%	11
TOTAL		12

Q12 Which Menlo Mavericks program did your child participate in this year? (select all that apply)

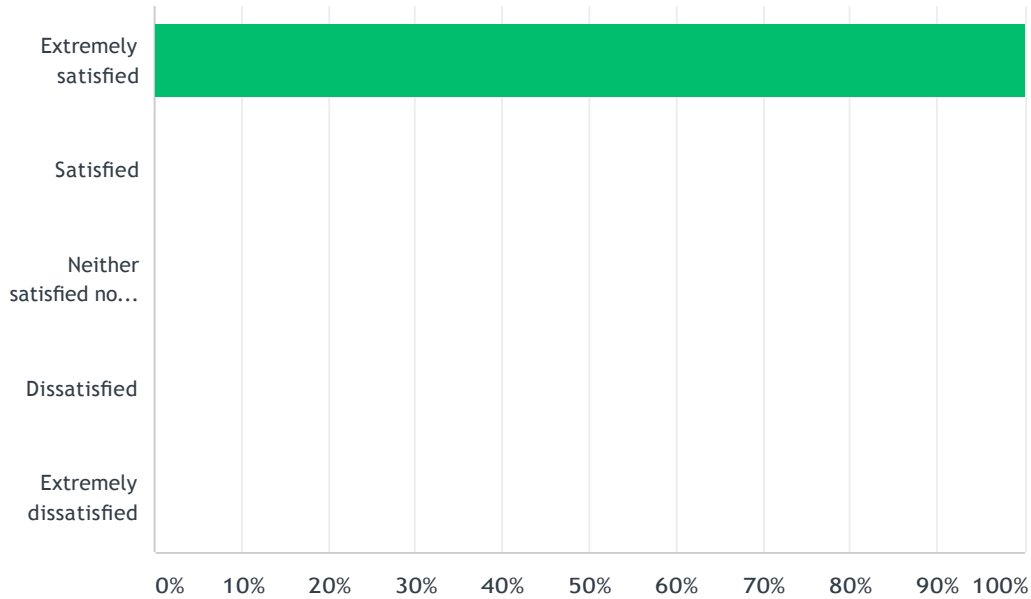
Answered: 1 Skipped: 11



ANSWER CHOICES	RESPONSES	
Girls 12U and 14U Water Polo	100.00%	1
Boys 12U and 14U Water Polo	0.00%	0
Coed 10U Water Polo	0.00%	0
Total Respondents: 1		

Q13 Overall, how satisfied are you with your family's Menlo Mavericks experience?

Answered: 1 Skipped: 11

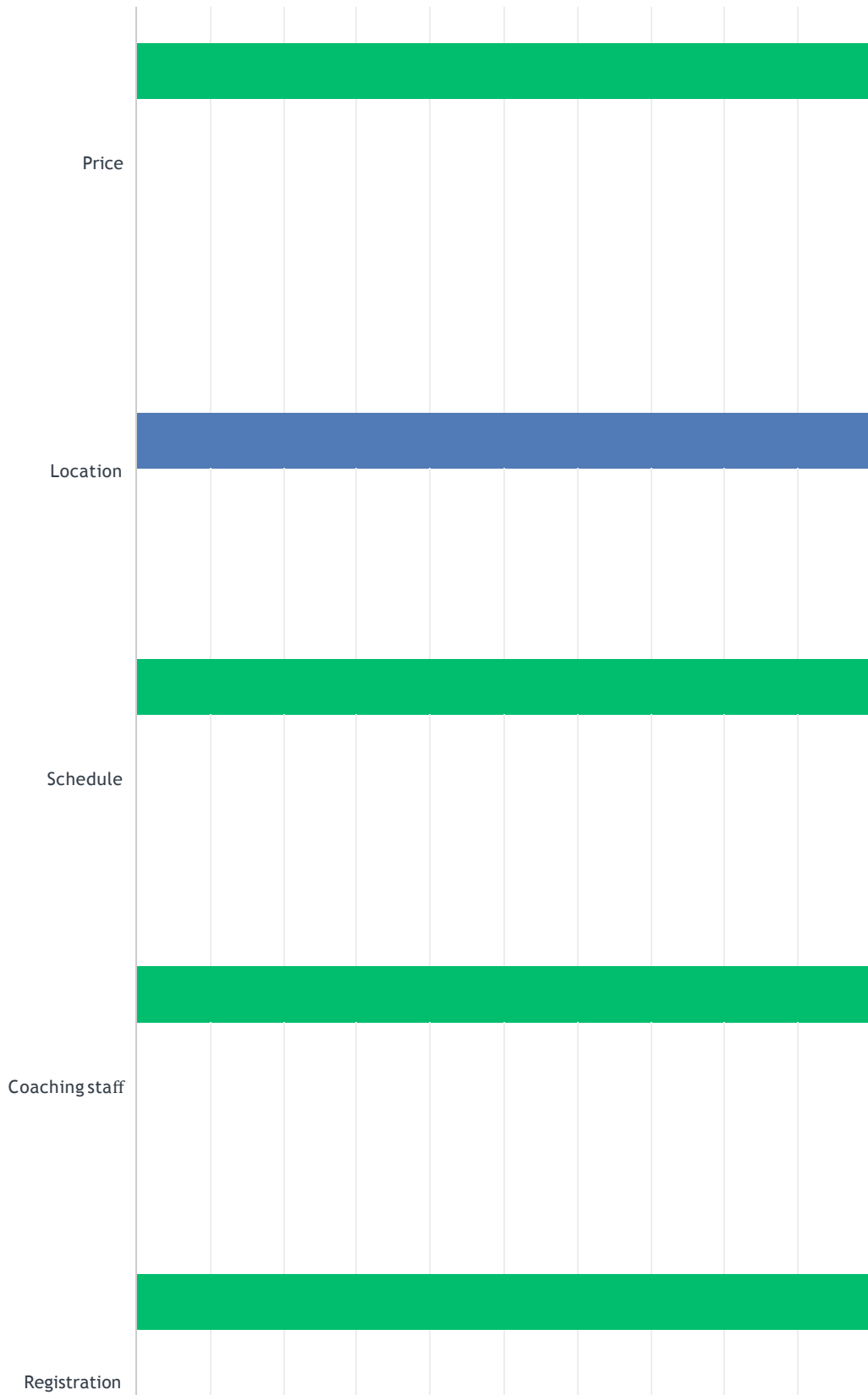


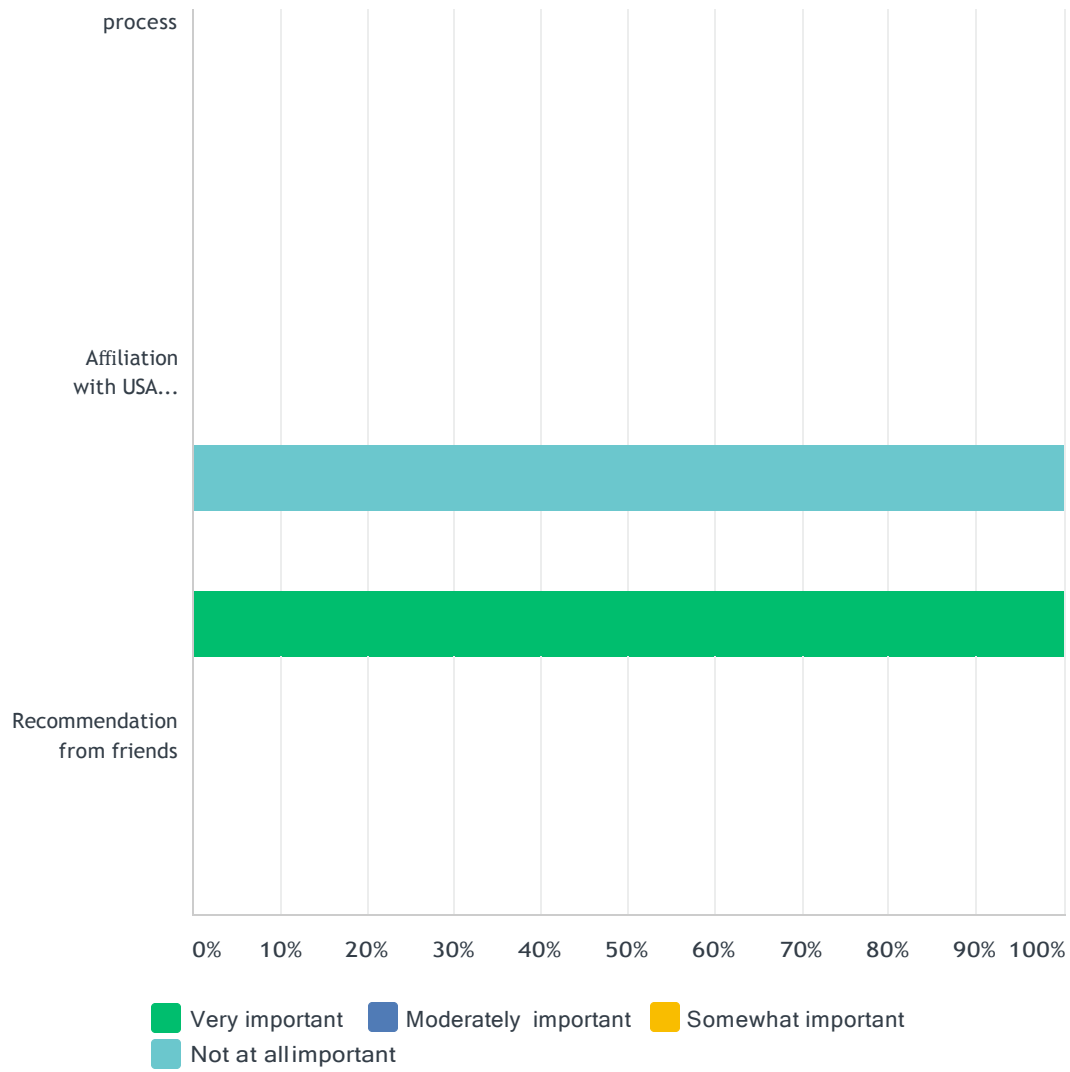
ANSWER CHOICES	RESPONSES	
Extremely satisfied	100.00%	1
Satisfied	0.00%	0
Neither satisfied nor dissatisfied	0.00%	0
Dissatisfied	0.00%	0
Extremely dissatisfied	0.00%	0
TOTAL		1

#	ADDITIONAL COMMENTS	DATE
	There are no responses.	

Q14 How important are the following criteria when choosing a youth water polo team?

Answered: 1 Skipped: 11





	VERY IMPORTANT	MODERATELY IMPORTANT	SOMEWHAT IMPORTANT	NOT AT ALL IMPORTANT	TOTAL
Price	100.00% 1	0.00% 0	0.00% 0	0.00% 0	1
Location	0.00% 0	100.00% 1	0.00% 0	0.00% 0	1
Schedule	100.00% 1	0.00% 0	0.00% 0	0.00% 0	1
Coaching staff	100.00% 1	0.00% 0	0.00% 0	0.00% 0	1
Registration process	100.00% 1	0.00% 0	0.00% 0	0.00% 0	1
Affiliation with USA Swimming	0.00% 0	0.00% 0	0.00% 0	100.00% 1	1
Recommendation from friends	100.00% 1	0.00% 0	0.00% 0	0.00% 0	1

#	ADDITIONAL COMMENTS	DATE
1	The location is terrible for us but that is not your fault. We live closer to Burgess and the 3 mile trip down Willow at that hour takes 30-45 minutes. again I realize nothing to do with you! Thomas is great!	1/16/2020 12:17 PM

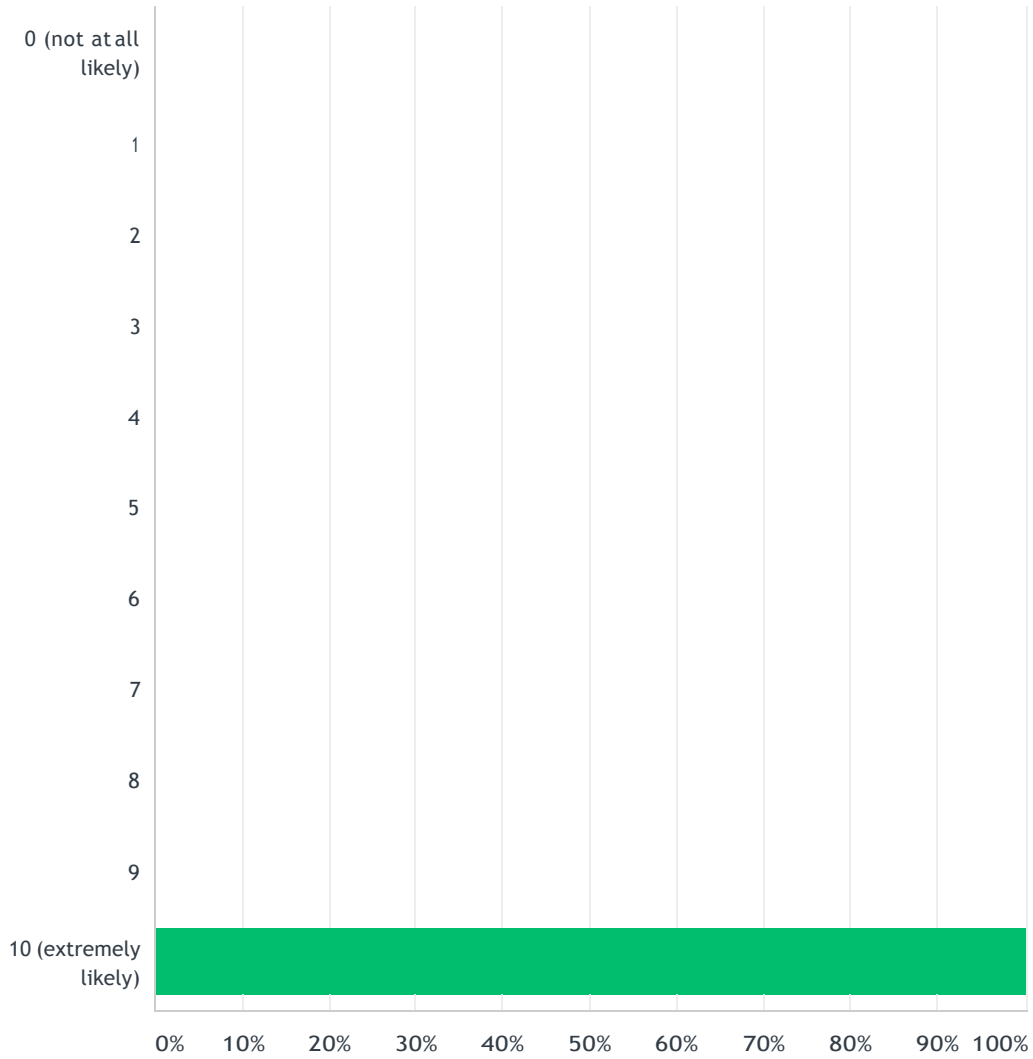
Q15 From your child's point of view, what could we do to make our program better?

Answered: 1 Skipped: 11

#	RESPONSES	DATE
1	She is 14, what are options as she gets older?	1/16/2020 12:17 PM

Q16 Considering your experience with Belle Haven Youth Water Polo, how likely are you to recommend Water Polo to a friend? (0 is not at all likely, 10 is extremely likely)

Answered: 1 Skipped: 11



ANSWER CHOICES	RESPONSES	
0 (not at all likely)	0.00%	0
1	0.00%	0
2	0.00%	0
3	0.00%	0
4	0.00%	0
5	0.00%	0
6	0.00%	0
7	0.00%	0
8	0.00%	0
9	0.00%	0
10 (extremely likely)	100.00%	1
TOTAL		1

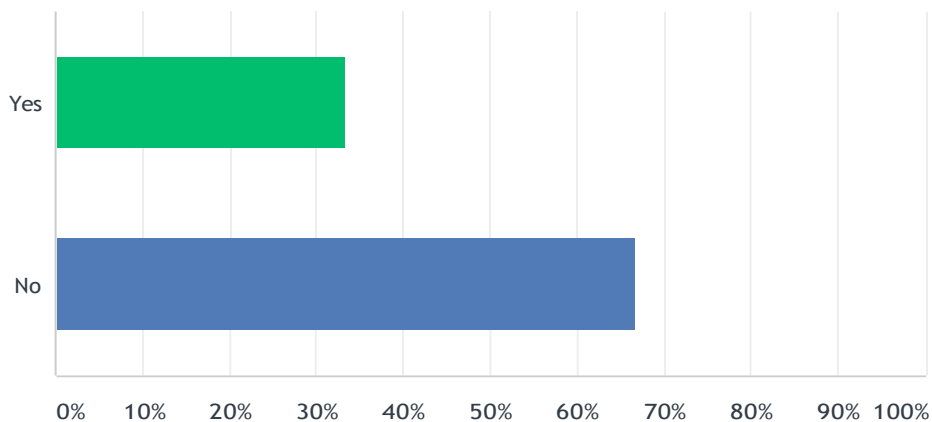
Q17 What can we do in the future to earn a 9 or 10?

Answered: 0 Skipped: 12

#	RESPONSES	DATE
	There are no responses.	

Q18 In 2019, my child participated in the Swim Lessons at Belle Haven Pool.

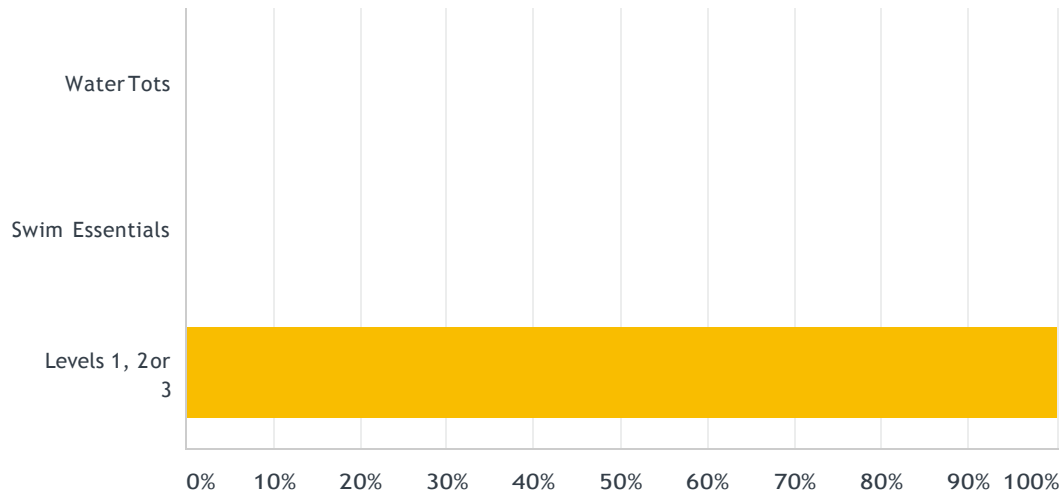
Answered: 12 Skipped: 0



ANSWER CHOICES	RESPONSES	
Yes	33.33%	4
No	66.67%	8
TOTAL		12

Q19 Which Swim School Program did you child participate in? (Select all that apply)

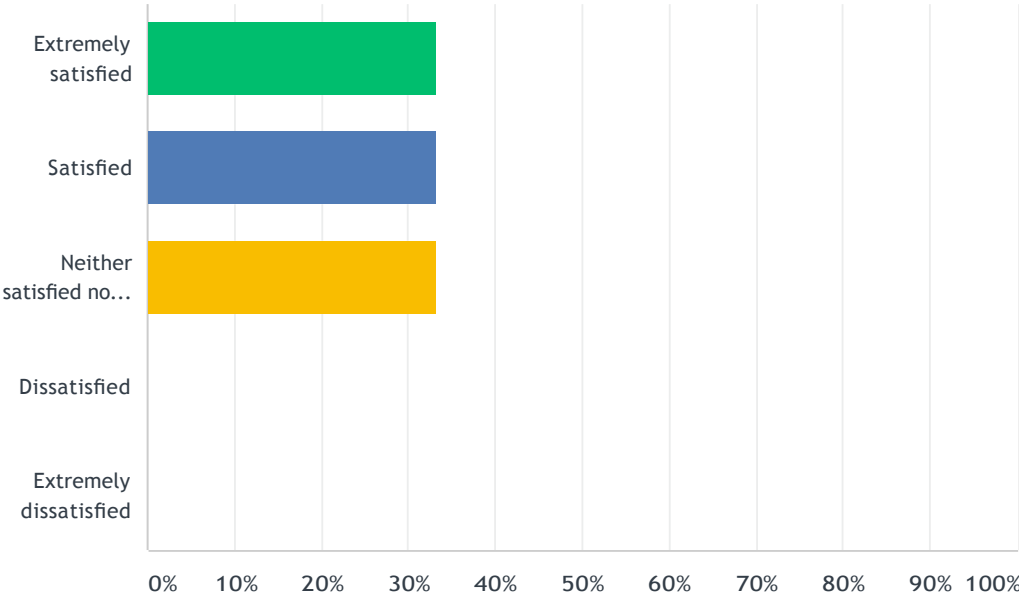
Answered: 3 Skipped: 9



ANSWER CHOICES	RESPONSES
Water Tots	0.00% 0
Swim Essentials	0.00% 0
Levels 1, 2 or 3	100.00% 3
Total Respondents: 3	

Q20 Overall, how satisfied are you with your family's Swim Lesson experience?

Answered: 3 Skipped: 9



ANSWER CHOICES	RESPONSES
Extremely satisfied	33.33% 1
Satisfied	33.33% 1
Neither satisfied nor dissatisfied	33.33% 1
Dissatisfied	0.00% 0
Extremely dissatisfied	0.00% 0
TOTAL	3

#	ADDITIONAL COMMENTS	DATE
	There are no responses.	

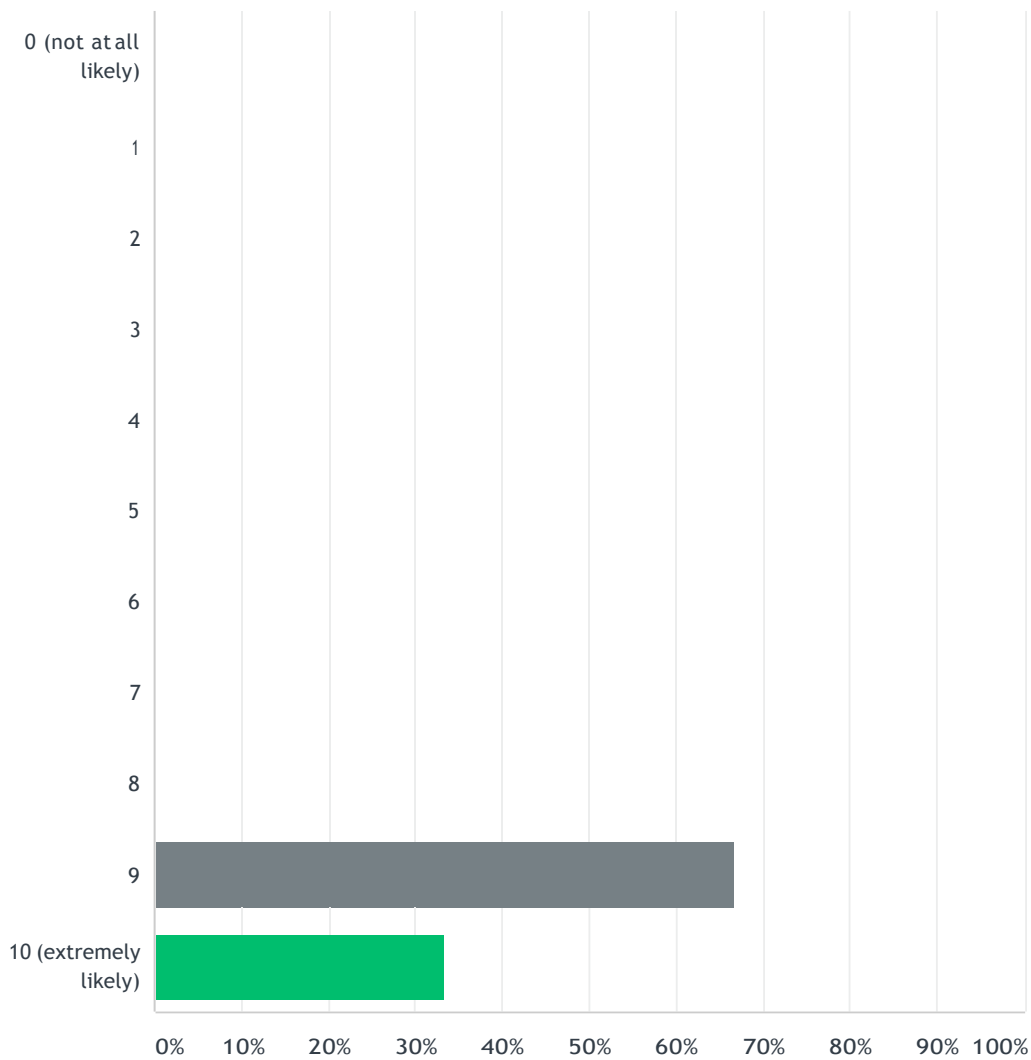
Q21 From your child's point of view, what could we do to make our program better?

Answered: 1 Skipped: 11

#	RESPONSES	DATE
1	Get more teachers and less students each teacher	1/8/2020 9:55 PM

Q22 Considering your experience with Belle Haven Swim Lessons, how likely are you to recommend Belle Haven to a friend? (0 is not at all likely, 10 is extremely likely)

Answered: 3 Skipped: 9



ANSWER CHOICES	RESPONSES	
0 (not at all likely)	0.00%	0
1	0.00%	0
2	0.00%	0
3	0.00%	0
4	0.00%	0
5	0.00%	0
6	0.00%	0
7	0.00%	0
8	0.00%	0
9	66.67%	2
10 (extremely likely)	33.33%	1
TOTAL		3

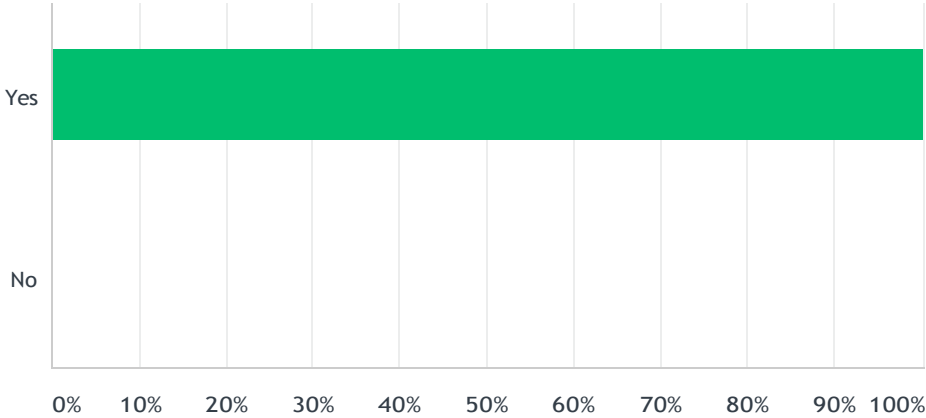
Q23 What can we do in the future to earn a 9 or 10?

Answered: 1 Skipped: 11

#	RESPONSES	DATE
1	Get more teachers	1/8/2020 9:55 PM

Q24 In 2019, I participated in Adult Swim Lessons at Belle Haven Pool

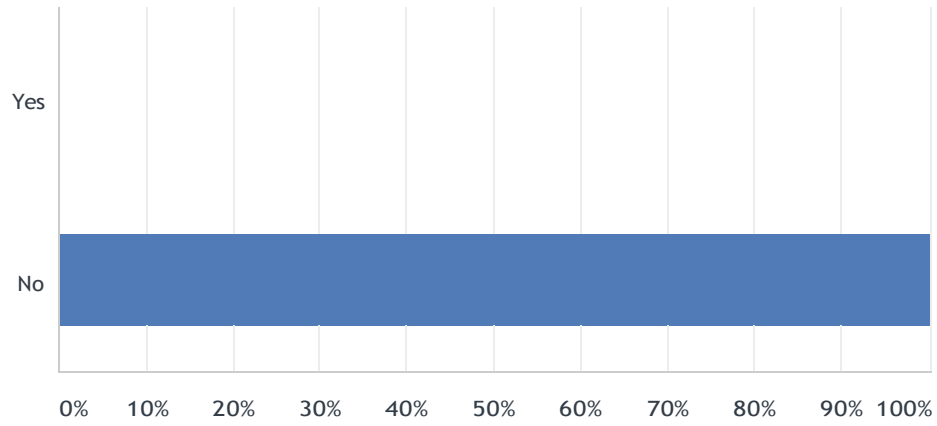
Answered: 3 Skipped: 9



ANSWER CHOICES	RESPONSES	
Yes	100.00%	3
No	0.00%	0
TOTAL		3

Q25 In 2019, are you/were you a Facebook employee?

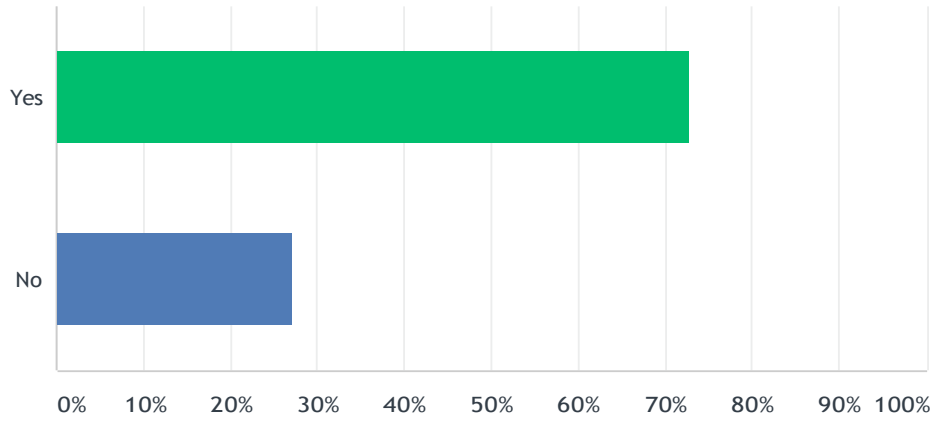
Answered: 3 Skipped: 9



ANSWER CHOICES	RESPONSES	
Yes	0.00%	0
No	100.00%	3
TOTAL		3

Q26 In 2019, I participated in Lap Swimming at Menlo Swim & Sport.

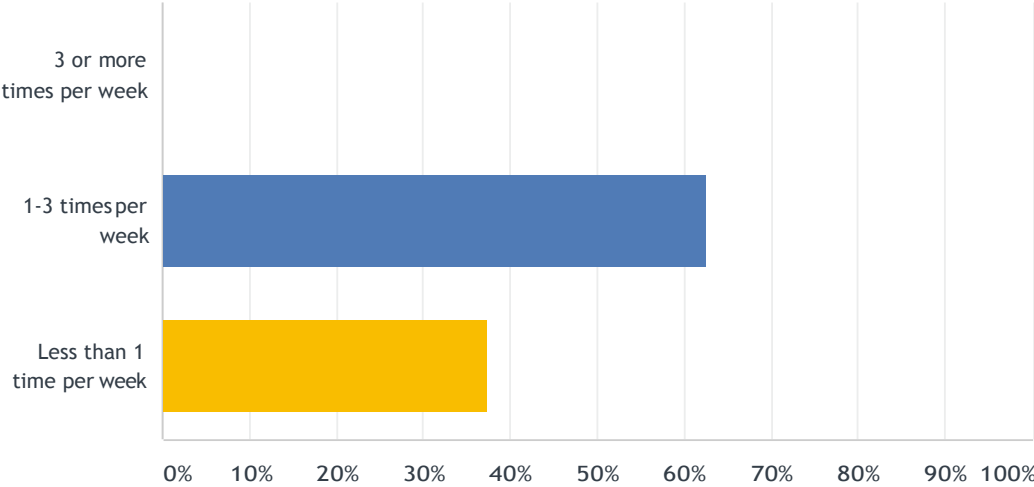
Answered: 11 Skipped: 1



ANSWER CHOICES	RESPONSES	
Yes	72.73%	8
No	27.27%	3
TOTAL		11

Q27 How many times a week do you lap swim at Belle Haven Pool?

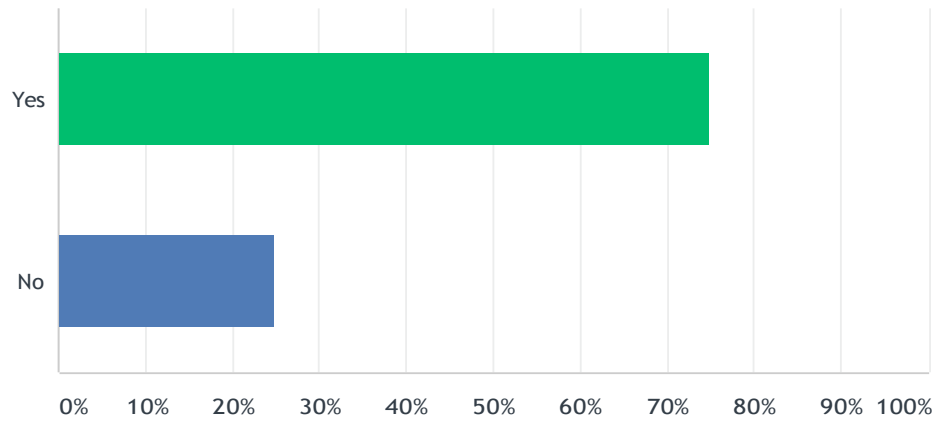
Answered: 8 Skipped: 4



ANSWER CHOICES	RESPONSES
3 or more times per week	0.00% 0
1-3 times per week	62.50% 5
Less than 1 time per week	37.50% 3
Total Respondents: 8	

Q28 In 2019, are you/were you a Facebook employee?

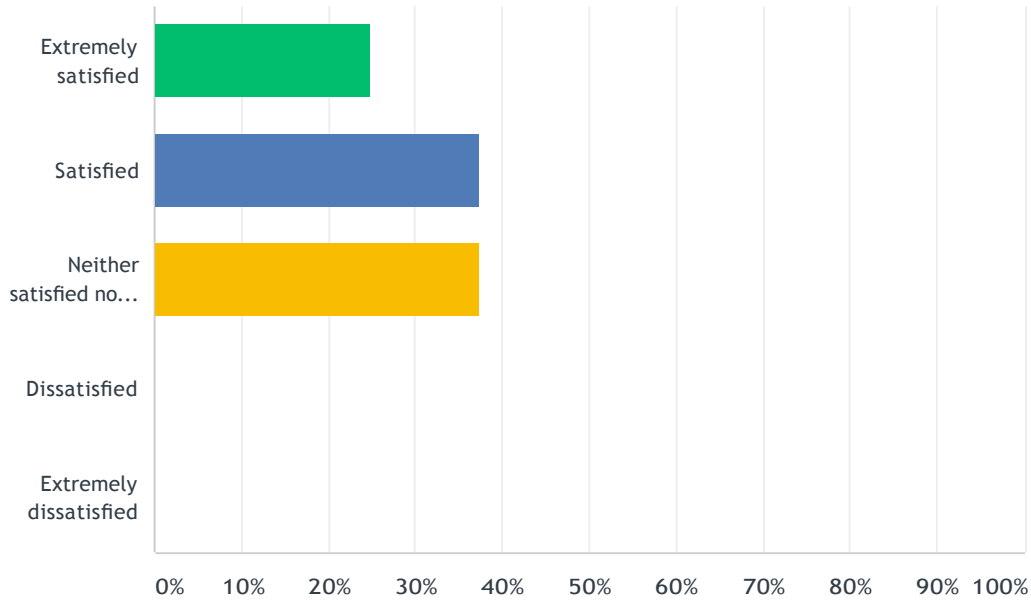
Answered: 8 Skipped: 4



ANSWER CHOICES	RESPONSES	
Yes	75.00%	6
No	25.00%	2
TOTAL		8

Q29 Overall, how satisfied are you with your Lap Swim experience?

Answered: 8 Skipped: 4

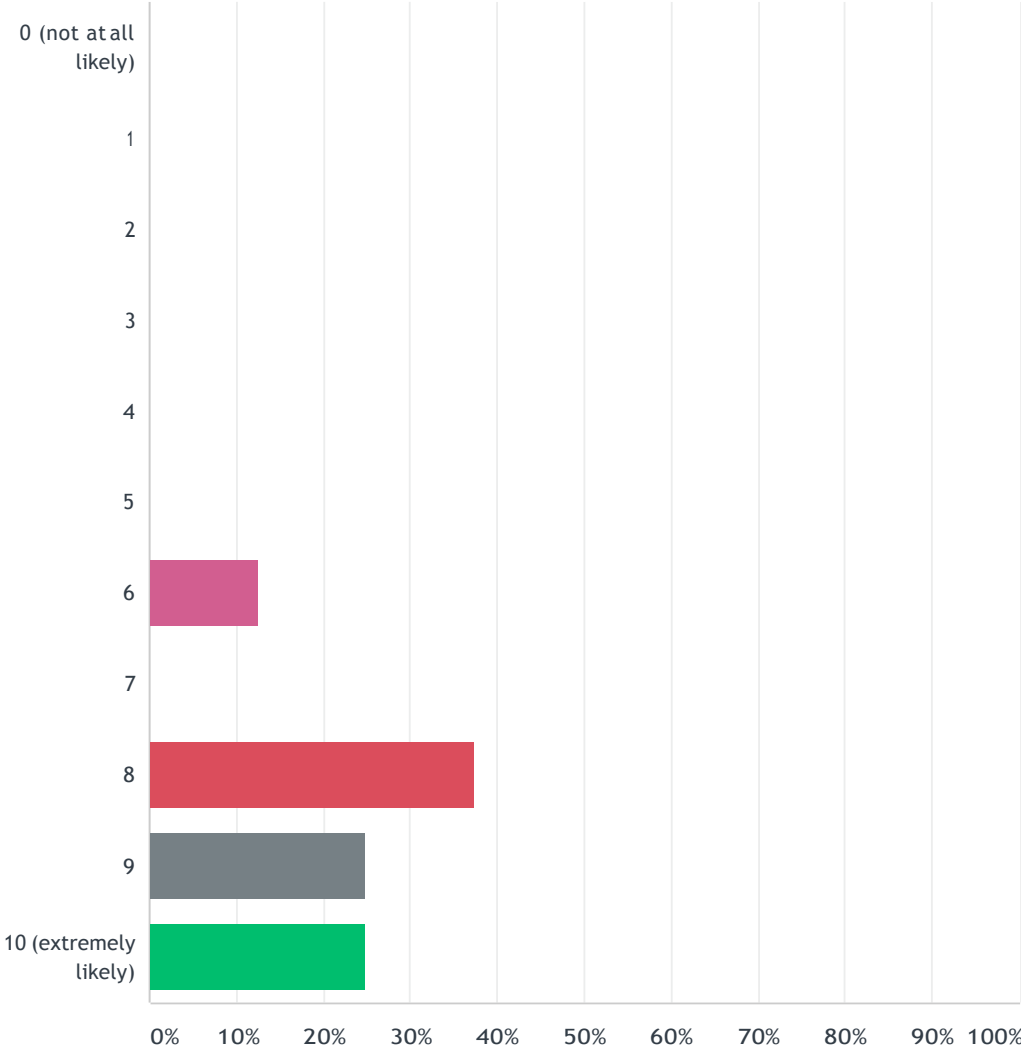


ANSWER CHOICES	RESPONSES
Extremely satisfied	25.00% 2
Satisfied	37.50% 3
Neither satisfied nor dissatisfied	37.50% 3
Dissatisfied	0.00% 0
Extremely dissatisfied	0.00% 0
TOTAL	8

#	PLEASE TELL US MORE ABOUT YOUR EXPERIENCE	DATE
1	Please see comments from first section on membership fees not applying at Burgess on the weekends when Belle Haven isn't open.	1/16/2020 5:33 PM
2	Satisfied during the summer extended hours when it's warm. Dissatisfied in the winter.	1/16/2020 10:51 AM
3	Pool is great, always warm enough. Staff is exceptional -- friendly, engaging and creates a warm community environment lacking in a lot of athletic facilities these days. Can't thank them enough!!	1/16/2020 10:09 AM

Q30 Considering your experience with Menlo Swim & Sport Lap Swim, how likely are you to recommend Lap Swimming to a friend? (0 is not at all likely, 10 is extremely likely)

Answered: 8 Skipped: 4



ANSWER CHOICES	RESPONSES	
0 (not at all likely)	0.00%	0
1	0.00%	0
2	0.00%	0
3	0.00%	0
4	0.00%	0
5	0.00%	0
6	12.50%	1
7	0.00%	0
8	37.50%	3
9	25.00%	2
10 (extremely likely)	25.00%	2
TOTAL		8

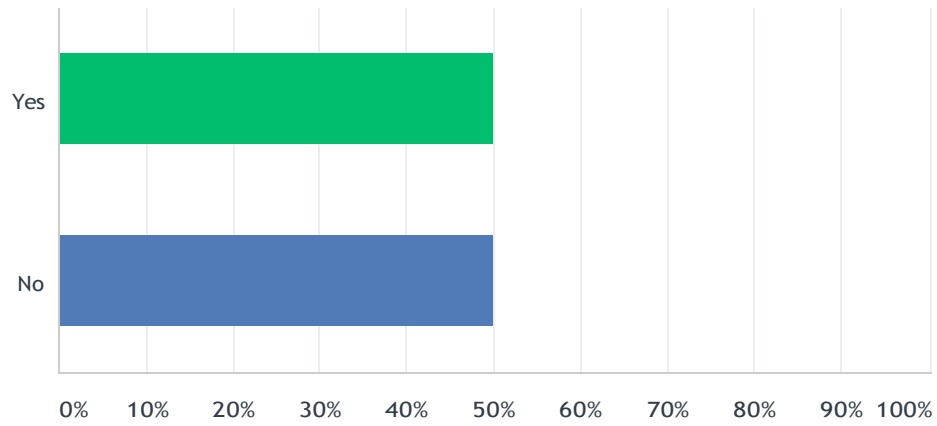
Q31 What could we do to make Lap Swim better?

Answered: 5 Skipped: 7

#	RESPONSES	DATE
1	Same as my prior answers	1/16/2020 10:51 AM
2	It would just help to make it clearer when water polo etc is so we know what are the best times to come for lap swim. Also I mentioned the spinner dryer thing in an earlier comment. And just making sure the locks work better for some of the changing units in the bathroom.	1/16/2020 10:33 AM
3	Add more hours	1/16/2020 10:32 AM
4	pool surface can get dirty at times (peeling paint I think?)	1/16/2020 10:09 AM
5	Extended hours especially early morning.	1/6/2020 11:11 AM

Q32 Have you ever contacted the Service Center, either by phone, email or in-person?

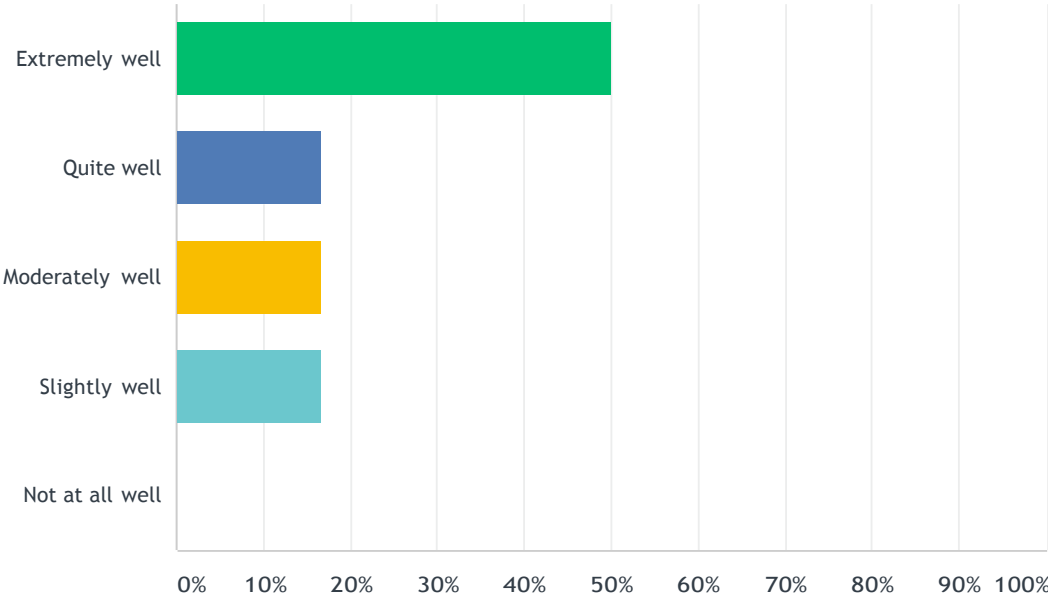
Answered: 10 Skipped: 2



ANSWER CHOICES	RESPONSES	
Yes	50.00%	5
No	50.00%	5
TOTAL		10

Q33 How well did our customer service representative answer your question or solve your problem?

Answered: 6 Skipped: 6

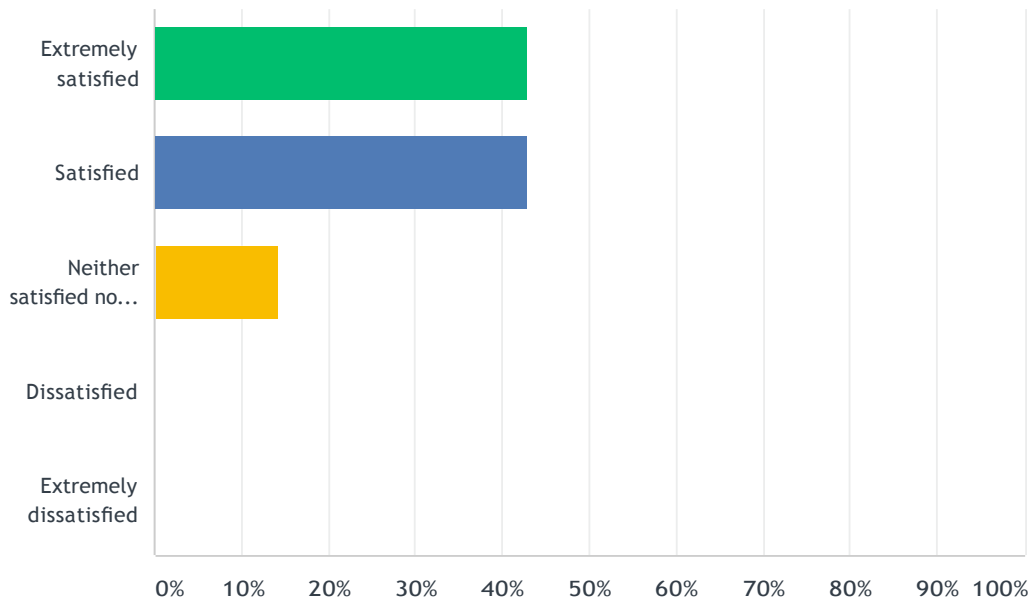


ANSWER CHOICES	RESPONSES
Extremely well	50.00% 3
Quite well	16.67% 1
Moderately well	16.67% 1
Slightly well	16.67% 1
Not at all well	0.00% 0
TOTAL	6

#	ADDITIONAL COMMENTS	DATE
	There are no responses.	

Q34 Overall, how satisfied are you with customer service at Menlo Swim and Sport?

Answered: 7 Skipped: 5



ANSWER CHOICES	RESPONSES	
Extremely satisfied	42.86%	3
Satisfied	42.86%	3
Neither satisfied nor dissatisfied	14.29%	1
Dissatisfied	0.00%	0
Extremely dissatisfied	0.00%	0
TOTAL		7

#	IF YOU ANSWERED DISSATISFIED OR EXTREMELY DISSATISFIED, PLEASE PROVIDE ADDITIONAL DETAILS:	DATE
	There are no responses.	

Q35 Please share any additional comments about our facility and programs.

Answered: 2 Skipped: 10

#	RESPONSES	DATE
1	The staff at Belle Haven is amazing! They are always super helpful, friendly and accommodating. I only wish the pool hours were open in the weekend and early morning hours.	1/16/2020 5:34 PM
2	The pool maybe a little warmer in the Winter?	1/16/2020 12:18 PM



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STAFF REPORT

City Council

Meeting Date:

2/11/2020

Staff Report Number:

20-027-CC

Regular Business:

Approve recommendation by the Parks and Recreation Commission and authorize city manager to execute agreement with Menlo Park Public Art for a pilot public art proposal

Recommendation

Staff recommends that City Council approve the recommendation by the Parks and Recreation Commission to accept the pilot public art proposal and authorize city manager to execute agreement with Menlo Park Public Art (MPPA.)

Policy Issues

The addition of public art in City parks is consistent with the Parks and Recreation facilities master plan recommendations which City Council accepted on October 15, 2019. City Council authorization is required to allow the city manager to enter into agreements.

Background

On October 15, 2019, local art gallerist Katharina Powers on behalf of MPPA addressed the City Council regarding her group's interest in advancing a public art program in the City of Menlo Park. At their meeting on November 5, 2019, the City Council directed City staff to work with Menlo Park public art to develop a pilot public art program proposal to present to the Parks and Recreation Commission for their consideration and recommendation to City Council.

Analysis

On December 18, 2019, the Parks and Recreation Commission considered the pilot public art proposal. After receiving public comment, the Commission was supportive of launching a public art program in Menlo Park. They appreciated the initiative by Katharina Powers and the MPPA and viewed the proposal as an opportunity to start a conversation on public art in Menlo Park.

The Commission provided feedback on the proposal and stressed the importance of art expertise in the administration of a public art program. The Commission was concerned that the proposal was a one-time project and would like to see a more developed program that would continue indefinitely similar to the City's Menlo Park grant for the arts program (MPGA) which provides small grants to performance groups to offset the costs for performing at the Menlo-Atherton performing arts center. Prior to the City committing funding to support the pilot project, the Commission recommended a longer commitment to a public art program in Menlo Park. A public art program should be strategic and comprehensive, incorporating existing art programming provided by the City, as well as including various media beyond visual art. Equity and accessibility were criteria the Commission would like considered when determining where art should be exhibited. Additionally, the Commission cautioned working exclusively with a gallerist that may represent a

particular artist, as it may create a conflict of interest if the art piece was a loan rather than a gift. There was the discussion of prohibiting the sale of any artwork as part of the public art program or whether there could be a revenue share with the City to support future art acquisition. Finally, the Commission recommended that any investment by City should be contingent on the loan of art fulfilling all the terms of the agreement including a minimum loan term.

The Commission discussed various locations for the placement of art pieces in City parks including Bedwell Bayfront, Sharon, Burgess and Fremont. They recommended that placement of art should be equitable across the City and accessible to all.

In the absence of a strategic public art plan for Menlo Park, the Commission did not want to commit funding to the project at this time but was in support of displaying the artwork at no cost to the City. On January 15, 2019, City staff was notified that MPPA had secured private funding for the project and will continue additional fundraising efforts to support a loan for up to two years.

The total cost of a two-year art loan is approximately \$16,500. This includes \$12,500 for the first year and \$4,000 per year thereafter for maintenance and repairs and insurance. MPPA will be responsible for covering these expenses.

The proposed budget for this project:

Public art project budget (1-year term)	
Item	Total
Installation (transportation and equipment rental)	\$5,500
Insurance	\$1,500
De-installation (transportation and equipment rental)	\$5,500
Total cost for 1-year loan term	\$12,500
Additional maintenance/repair per year (charged after year 1)	\$2,500/year
Additional insurance per year	\$1,500/year
Total cost for 3-year loan term	\$16,500

Recommendation

Staff recommends that City Council approve the pilot public art proposal at no cost to the City. MPAA has identified funding for the project for a loan period of up to two years.

Alternatives

1. Take no action and reconsider pilot public art proposal once MPAA is an established non-profit (501c3) organization and a comprehensive public art program has been developed.

Impact on City Resources



If directed by the City Council, staff from community services, city attorney, and public works will work with MPPA to negotiate terms of an agreement, and manage the installation of the “Talking Heads” sculpture. MPPA will be responsible for covering these expenses.

Environmental Review

This action is not a project within the meaning of the California Environmental Quality Act (CEQA) Guidelines §§ 15378 and 15061(b)(3) as it will not result in any direct or indirect physical change in the environment.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

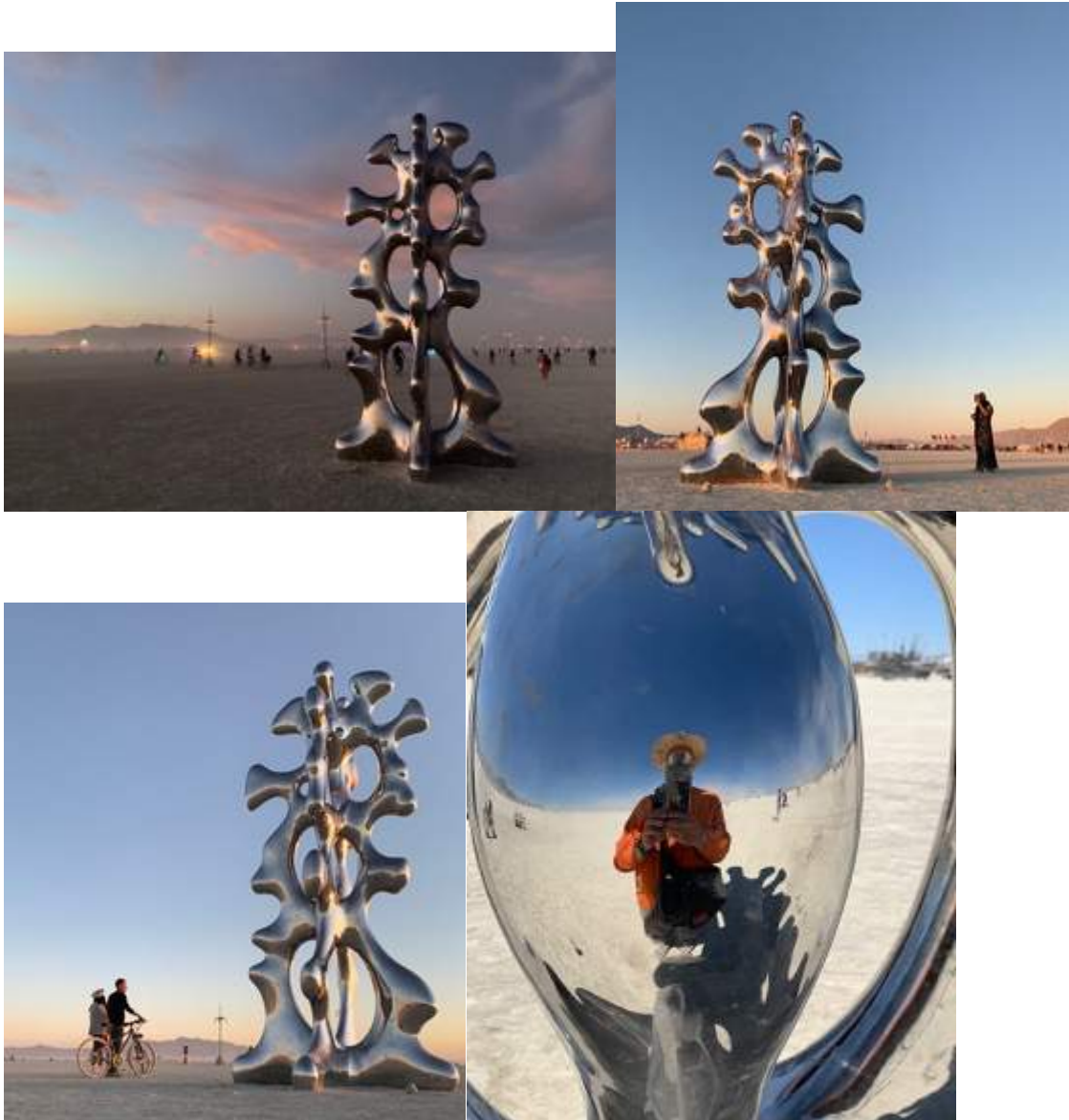
Attachments

A. Images of Talking Heads by Oleg Lobykin

Report prepared by:
Adriane Lee Bird, Assistant Community Services Director

Report reviewed by:
Derek Schweigart, Community Services Director

Talking Heads is an 18-ft high abstract sculpture, a spatial composition based on a balance between negative and positive space in conjunction with a line that can create an image or point of reference to spark imagination. Oleg Lobykin, www.lobykin.com





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STAFF REPORT

City Council

Meeting Date: 2/11/2020
Staff Report Number: 20-021-CC

Informational Item: City Council agenda topics: February 2020 to April 2020

Recommendation

The purpose of this informational item is to provide the City Council and members of the public access to the anticipated agenda items that will be presented to the City Council. The mayor and city manager set the City Council agenda so there is no action required of the City Council as a result of this informational item.

Policy Issues

In accordance with the City Council procedures manual, the mayor and city manager set the agenda for City Council meetings.

Analysis

In an effort to provide greater access to the City Council's future agenda items, staff has compiled a listing of anticipated agenda items, Attachment A, through April 21. The topics are arranged by department to help identify the work group most impacted by the agenda item.

Specific dates are not provided in the attachment due to a number of factors that influence the City Council agenda preparation process. In their agenda management, the mayor and city manager strive to compile an agenda that is most responsive to the City Council's adopted priorities and work plan while also balancing the business needs of the organization. Certain agenda items, such as appeals or State mandated reporting, must be scheduled by a certain date to ensure compliance. In addition, the meeting agendas are managed to allow the greatest opportunity for public input while also allowing the meeting to conclude around 11 p.m. Every effort is made to avoid scheduling two matters that may be contentious to allow the City Council sufficient time to fully discuss the matter before the City Council.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

A. City Council agenda topics: February 2020 to April 2020

Report prepared by:
Judi A. Herren, City Clerk

Tentative City Council Agenda

#	Title	Department	Item type
1	Appointment of Interim City Attorney		Regular
2	Consider applicants and make appointments to fill vacancies on the various City commissions and committees		Committee Report
3	Proclamation in recognition of Mental Health Awareness Month		Presentation
4	Approve revisions to City Council Policy #CC-01-1996 as recommended by the City Council Community Funding sub-committee	ASD	Consent
5	City Council agenda topics: April 21 2020 – June 9 2020	CMO	Informational
6	City Council agenda topics: Mar 10 2020 – May 12 2020	CMO	Informational
7	City Council agenda topics: Mar 24 2020 – May 26 2020	CMO	Informational
8	City Council agenda topics: May 12 2020 – June 23 2020	CMO	Informational
9	Minutes: 1/28	CMO	Consent
10	Minutes: 2/11	CMO	Consent
11	Minutes: 2/25	CMO	Consent
12	Minutes: 3/10 and 3/24	CMO	Consent
13	Commission/committee attendance report, review	CMO	Consent
14	Zero waste plan progress, update	CMO	Regular
15	Regular meeting schedule ordinance, first reading	CMO, CA	Regular
16	Regular meeting schedule ordinance, second reading and adoption	CMO, CA	Consent
17	"My Community" Youth Poster Exhibition	LIB	Presentation
18	Annual report on automated license plate readers (ALPR)	PD	Informational
19	Annual report on tasers	PD	Informational
20	Approve payment of \$91,072 to SMCO for participation in the fiscal year 2019-20 OES JPA agreement	PD	Consent
21	Utility undergrounding district formation, adopt resolution	PW	Regular
22	Water Rate Study	PW	Study Session
23	Willows neighborhood turn restrictions, resolution adoption	PW	Regular



STAFF REPORT

City Council Meeting Date: 2/11/2020
Staff Report Number: 20-026-CC

Informational Item: Update and next steps on utility underground priorities

Recommendation

This is an informational item and does not require City Council action.

Policy Issues

Undergrounding of overhead utilities is consistent with the City’s general plan and El Camino Real/downtown specific plan. General plan policy LU-2.6 underground utilities requires all electric and communications lines serving new development to be placed underground and broadly addressing several other goals for improving safety and aesthetics along the City’s major roadway corridors. Specific plan guideline E.3.7.07, which applies to properties in the specific plan area, notes that all utilities in conjunction with new residential and commercial development should be placed underground.

According to the City’s municipal code section 13.12.020, the City Council must hold a public hearing and adopt a resolution to establish a utility undergrounding district.

Background

At a study session held September 24, 2019, staff provided the City Council an overview of the Rule 20A Utilities Undergrounding program, including benefits of undergrounding, and information on past projects within the City. The staff report from the study session is included as Attachment A.

Staff presented information on the current level of Rule 20A funding available for undergrounding projects and recommended that the City Council direct staff to move forward with adopting the resolution to underground the Parking Plazas 7 and 8 and Menlo Avenue, which is a previously identified project in the City’s capital improvement program. In addition, staff provided a list of other corridors to be considered for future undergrounding, as well as a priority criteria by which those additional projects will be ranked.

The City Council provided direction for staff to return with a revised, completed priority ranking list.

Staff also informed the City Council of a recent California Public Utilities Commission (CPUC) resolution requiring that PG&E reallocate Rule 20A work credits to the community of Live Oak from the allocations of those communities that were deemed “inactive.” Menlo Park, among 92 other jurisdictions, was identified as inactive, since it did not have a recent Rule 20A project completed, nor had an established undergrounding district for a new project. Approximately \$29,000 in allocations would be granted to the City of Live Oak. PG&E has informed staff that due to administrative process in calculating credit allocations to be diverted to the City of Live Oak, communities were given until March 8 to establish an undergrounding district to protect their accrued allocations.

Analysis

At the direction of City Council, staff has further refined and developed a list of prioritization criteria to identify appropriate future undergrounding project locations, including those suggested by the City Council. These criteria include:

- High vehicle and pedestrian traffic
- Number of panel conversions (lower=better)
- Accessibility considerations (e.g., where utility poles interfere with accessibility)
- Visual impact
- Ability to combine with other projects
- Enhancement for emergency/fire suppression
- Electric service upgrade for commercial properties
- Opportunities for electric vehicle (EV) charging stations
- Constructability
- Presence of high voltage lines

Staff has prepared a citywide map showing project corridors that are both qualified and unqualified for Rule 20A funding utilization as an aid in providing a comprehensive view of the City for utility undergrounding purposes (Attachment B.) As shown, local streets are not eligible for Rule 20A funding undergrounding due to the low volume characteristics of the streets. Several corridors are shown as multijurisdictional (Haven Avenue, Ivy Drive, sections of Marsh Road, Bay Road, Encinal Avenue and Valparaiso Avenue) where other agencies (Town of Atherton, San Mateo County, City of Redwood City, and the San Francisco Public Utilities Commission) have oversight of parts of the street infrastructure which may make these projects more difficult or infeasible to deliver in a reasonable timeframe.

Staff evaluated the criteria listed above for each of the qualified corridors and ranked them (Attachment C.) The top-ranking corridors are listed below in Table 1.

In December 2019, staff met with representatives from various utility companies, including PG&E, AT&T and Comcast to review the potential proposed projects and received support for the top priority ranked projects.

Next steps

On February 25, staff plans to request the City Council to hold a public hearing to establish one or more undergrounding district(s.) The suggested corridors to be considered for establishing underground district are summarized in Table 1. Staff will publish a notice of public hearing in a local newspaper in advance of the meeting. Staff will also send letters to specific property owners impacted by the potential establishment of districts as noted in Table 1 both in advance of the meeting and again less than 10 days after the City Council action February 25.

The projects are presented in alphabetical order, and the City Council may elect to choose any or all of the projects listed below.

Table 1: Corridors prioritized and rationale	
Alma Street across from Burgess Park (800 feet)	<ul style="list-style-type: none"> • Would accommodate and could be delivered as part of the Middle Avenue pedestrian and bicycle rail crossing project. • Properties along this corridor also have previously converted their overhead services to underground, so impacts to private property owners would be minimal for this potential district.
Downtown Parking Plazas 7 and 8 and Menlo Avenue (2,850 feet)	<ul style="list-style-type: none"> • This project was previously identified by the City Council and is included in the current fiscal year 2019-20 capital improvement program (CIP.) • The downtown area serves a high volume of vehicle and pedestrian traffic and could be combined with reconstructing parking plazas 7 and 8. • Removal of utility poles would improve pedestrian accessibility on Menlo Avenue.
Middlefield Road from Ravenswood Avenue to southern city limits (4,400 feet)	<ul style="list-style-type: none"> • This corridor is one of the busiest in the city with a high traffic volume. • All properties along this corridor have previously converted their overhead services to underground, so impacts to private property owners would be minimal for this potential district. • A short section of high voltage overhead lines and utility poles would remain from Ravenswood Avenue to Ringwood Avenue (see map provided in Attachment B.) • Street pavement reconstruction on Middlefield Road is included in the five-year CIP

Establishing an underground district does not obligate the City to move forward immediately with those specific projects. It also does not restrict the City from changing or reprioritizing other projects. However, establishing a new undergrounding district will protect the city’s allocations from being diverted to other jurisdictions.

Additionally, City Council’s selection of potential districts would provide clarity on next steps for several capital improvement projects. Specifically, if the City Council selects downtown parking plazas 7 and 8 and Menlo Avenue as a potential district, staff would incorporate that work into the reconstruction of plazas 7 and 8. If City Council chooses not to proceed with parking plazas 7 and 8 and Menlo Avenue, staff would then proceed with plaza reconstruction without undergrounding.

Following the establishment of the underground district(s), staff would begin design of the undergrounding and the associated infrastructure project.

Impact on City Resources

There is no impact on City resources.

Environmental Review

This action is not a project within the meaning of the California Environmental Quality Act (CEQA) Guidelines §§ 15378 and 15061(b)(3) as it will not result in any direct or indirect physical change in the environment.

Public Notice

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Attachments

- A. Hyperlink – September 24, 2019 City Council report: menlopark.org/DocumentCenter/View/22929/SS1--20190924-Undergrounding-Overhead-Utilities-CC
- B. Undergrounding corridor ranking list
- C. Citywide undergrounding map

Report prepared by:
Morad Fakhrai, Senior Project Manager

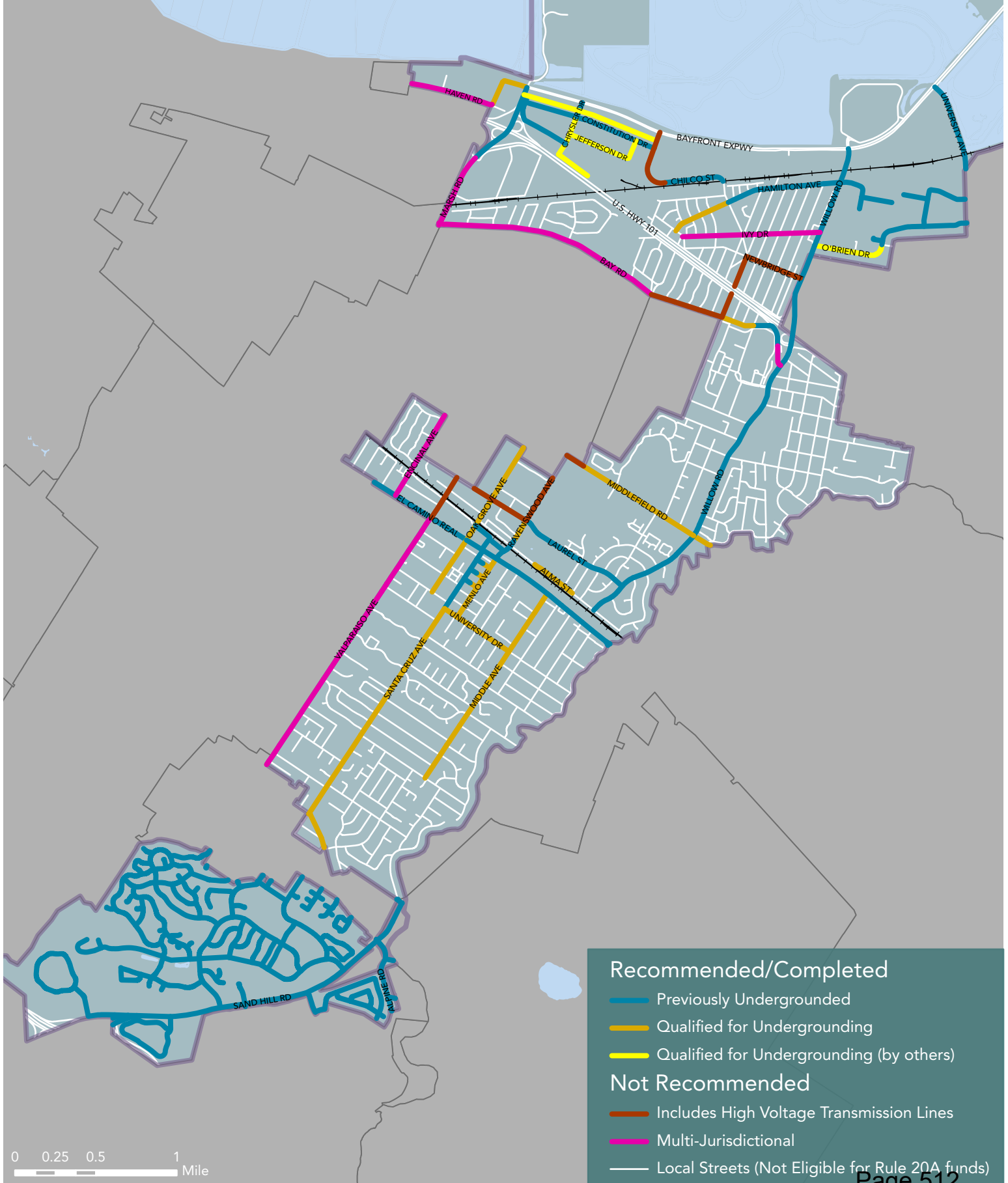
Report reviewed by:
Chris Lamm, Assistant Public Works Director

Undergrounding Corridor Ranking List

Project	Points Scale	PL 7&8 & Menlo Ave	Alma Street	Middlefield Road	PL 1&3 & Oak Grove Ave	Middle Avenue	Santa Cruz Avenue	Ravenswood Avenue	Hamilton Avenue	Newbridge Street
From		<i>El Camino Real</i>	<i>Burgess Dr</i>	<i>Ravenswood Ave</i>	<i>El Camino Real</i>	<i>El Camino Real</i>	<i>University Dr</i>	<i>Middlefield Rd</i>	<i>Market Pl</i>	<i>Willow Rd</i>
To		<i>University Dr</i>	<i>Skate Park</i>	<i>City Limit</i>	<i>University Dr</i>	<i>Cotton St</i>	<i>Elder Ave</i>	<i>Noel Dr</i>	<i>Chilco St</i>	<i>Windermere Ave</i>
Length (ft)		2,850	800	4,400	3,300	5,000	4,800	2,440	1,550	1,500
Estimated Cost		\$ 3,420,000	\$ 960,000	\$ 5,280,000	\$ 3,960,000	\$6,000,000	\$5,760,000	\$ 2,928,000	\$1,860,000	\$ 1,800,000
Vehicle and pedestrian traffic	1 to 5 (1 = low volume/5 = high volume)	2	1	4	3	3	5	3	2	2
Visual impact	1 to 5 (1 = few / 5 = more destinations)	3	4	3	3	3	5	3	4	0
Number of panel conversions	1 to 5 (1 = few / 5 = more panels per foot)	3	5	5	2	2	2	4	0	3
Constructability	1 to 7 (1 = narrow / 7 = wide street width)	6	6	7	6	6	5	4	3	1
Ability to combine with other projects*	1 to 16 (number/ratings of projects combined)	16	9	6	10	9	3	7	0	6
High voltage lines	0 to -10 (0 = none / -10 = longer HV lines)	0	0	-1	0	0	0	-8	0	-8
TOTAL		30	25	24	24	23	20	13	9	4
RANK		1	2	3	3	5	6	7	8	9

Ability to combine with other projects includes:
 Enhancement for emergency/fire suppression
 Electric service upgrade for commercial properties
 Opportunities for EV charging stations
 Accessibility considerations
 New Paving
 TMP Improvements

Overhead Utilities Undergrounding



0 0.25 0.5 1 Mile

Recommended/Completed

- Previously Undergrounded
- Qualified for Undergrounding
- Qualified for Undergrounding (by others)

Not Recommended

- Includes High Voltage Transmission Lines
- Multi-Jurisdictional
- Local Streets (Not Eligible for Rule 20A funds)



STAFF REPORT

City Council

Meeting Date: 2/11/2020
Staff Report Number: 20-034-CC

Informational Item: Update on 2020 goal-setting process

Recommendation

As an informational item, no action is required of the City Council. If a City Councilmember desires changes to the summary of his or her notes, the City Councilmember is free to provide those changes to staff and the changes will be incorporated in the meeting minutes for this agenda item.

Policy Issues

The City Council's annual goal-setting process provides clarity on the use of city resources as well as prioritization of services and projects for the upcoming 12 to 18 months.

Background

The City Council's goal-setting process kicked off with the January 14 study session on resource capacity. At their January 28 meeting, the City Council adopted a resolution of intent that prioritizes construction of a new community center and library in the Belle Haven neighborhood. At their January 30 special meeting, the City Council held a goal-setting workshop to hear ideas of priorities for 2020 from the public and share their individual ideas.

Analysis

At the Mayor's direction, the City Council will continue its goal-setting process over the course of the next several meetings as outlined in Attachment A. Additional attachments include staff's summary notes of priorities collected at the January 30 workshop, Attachment B. At the goal-setting workshop, staff provided a presentation on the implementation of new State housing law – SB330 "Housing Crisis Act of 2019," Attachment C. Finally, Attachment D transmits notes compiled by the goal-setting facilitators. While staff made minor formatting changes to the notes, such as headers and footers, staff has not edited the facilitators' notes.

As transmitted to the City Council by memorandum for the goal-setting workshop, the City Council's approval of the resolution of intent for the Belle Haven community center and library (BHCCL) establishes the project as a priority project for 2020. Given the BHCCL project's ambitious timeline, staff will prioritize limited resources to first support the BHCCL project. Once the BHCCL projects needs are satisfied, staff will continue to work on the adopted 2019 priorities and work plan until the City Council adopts its 2020 priorities and work plan. The last quarterly update on the 2019 priorities and work plan was provided to City Council December 16, 2019 (Attachment E.)

Impact on City Resources

Staff resources to support the annual goal-setting process are part of the City's baseline budget. This report presents no added demands on available resources.

Environmental Review

This action is not a project within the meaning of the California Environmental Quality Act (CEQA) Guidelines §§ 15378 and 15061(b)(3) as it will not result in any direct or indirect physical change in the environment.

Public Notice

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Attachments

- A. Goal-setting process calendar
- B. Summary notes – 2020 priorities
- C. Hyperlink – SB330 Housing Crisis Act of 2019 implementation presentation, January 30:
menlopark.org/DocumentCenter/View/24241/4-Att-C--January-30-SB-330-Implementation
- D. Hyperlink – Facilitators' notes from goal-setting workshop:
menlopark.org/DocumentCenter/View/24242/5-Att-D---PCRC-notes
- E. Hyperlink – Quarterly update on City Council adopted 2019-20 priorities and work plan:
menlopark.org/DocumentCenter/View/23720/D2-20191216-CC-City-Council-work-plan-quarterly-update

Report prepared by:
Nick Pegueros, Assistant City Manager

January 30 goal-setting workshop

- Councilmember and public input on 2020 goals and priorities

February 11 City Council meeting – Goal-setting; Informational item

- Summarize the process forward
- Note City Council and public's recommendations

February 25 City Council meeting – Current CIP projects in adopted budget; Informational item

March 10 City Council meeting – CIP; Study session

- Review current CIP status and prioritization
- Direct new/paused/cancelled projects

March 24 City Council meeting – 2020 Goal-setting; Study session

- Review 2020 work plan proposals and make initial prioritization
 - Belle Haven community center and library
 - Climate Action Plan (recommendation from EQC)
 - Create Housing –
 - 2020-21 – El Camino Real/Downtown Specific Plan housing development incentives;
 - 2021-22 – Accessory dwelling unit regulation review;
 - 2020-22 – Environmental Justice Element, Housing Element, rezoning/zoning, associated General Plan updates, and CEQA review;
 - 2023 – Single-family residential design review
 - Transportation (Middle Ave Crossing, Transportation master plan completion, work on preferred alternative grade separation project)
 - Community development service delivery (processing applications subject to SB330, review of new accessory dwelling unit building permits; single-family residential building permit queue); wireless antenna building permit and encroachment permit review
 - Elevate the conversation on racial equity:
 - Year 1 – mandatory training all executive and management staff, City Council, City Attorney
 - Year 2 – mandatory training all commissioners, new Councilmember(s), new executive and management staff members; internal/operational equity self-assessment;
 - Years 3-5 – continued training, process reengineering and organizational change.
- Review functional area goals/priorities

April 21 City Council meeting – Adopt 2020 Priorities and work plan; Regular agenda

May 12 City Council meeting – City Manager's recommended CIP; Informational item

May 26 City Council meeting – 2020-21 City Manager's proposed budget; Study session

June 9 City Council meeting – 2020-21 City Manager’s proposed budget; Public hearing

June 23 City Council meeting – 2020-21 City Council adopted budget; Regular agenda

DRAFT

City of Menlo Park
 January 30 goal-setting workshop
 Summary Notes – 2020 priorities

Public speakers

- Triangle annexation
- Gas powered leaf blower ban/ballot measure
- Gas powered leaf blowers; emissions reduction
- EQC recommendations
- Independent redistricting commission
- Increase police transparency with an oversight committee
- Menlo Together recommendations: Belle Haven community center and library, housing, transportations, climate action, and equity.
- Change the education code to add a regional cost supplement to eliminate excess ERAF to the cities and special districts and provide those funds to the Ravenswood City School District
- Focus the goal-setting process on establishing goals not projects
- Menlo Together recommendations; specifically housing downtown near Caltrain station, climate action emergency, and Government Alliance on Race and Equity (GARE) to elevate the conversation on racial equity
- Physical connection between Bayfront and Belle Haven neighborhoods; revisit the eligibility requirement for BMR units
- Communication from City to the Belle Haven neighborhood and GARE membership
- Menlo Together recommendations; Look through a lens of inclusion and equity, join GARE, reparations type of thinking and inclusionary thinking
- GARE membership; do not push all housing in the BH/Bayfront neighborhood; air quality from car emissions; rangers at Bedwell Bayfront Park
- Effects of climate change on vulnerable areas, e.g. sea level rise; continue leadership role in climate action policy; health of the community
- Adopt a lean climate action plan before Earth Day; community center in Belle Haven; racial equity
- Culture and who we are as a city; structural and systemic inequities; how resources are allocated; how we systematically ignore the needs and pain points of our residents; commit to equity and inclusion; join GARE
- Prioritize urgency of our climate emergency; act on EQC recommendations
- Emergency Operations Center; disaster preparedness community plan; safety first
- Complete Street's Commission recommendations from January council presentation
- Update city standards for VMT; rezone for denser housing in other areas besides Bayside
- Equality; include Belle Haven neighborhood in everything that's going on in Menlo Park; bridge gaps

Menlo Park Fire Protection District Board President Jones

Delivered Chief Schapelhouman's letter and specifically supported safety, housing, transportation and climate

Councilmember Mueller

- Focus on specific plan area to reinvigorate the downtown with maintenance
- Transportation challenges
- Climate action plan
- Protecting and preserving our school systems – decisions that impact the school
- Protect and improve quality of life – systematically
- Equity and affordability

Councilmember Nash

1. GARE membership as an overarching priority
2. Housing action
 - a. Take action that will lead to housing development, particularly affordable housing, in Menlo Park;
 - b. Examine all tools from administrative measures and zoning changes to promote Menlo Park housing
3. Climate action
 - a. Urgent action over next three months:
 - i. Electrification of municipal infrastructure and reduction of energy consumption
 - ii. Accelerate electrification for all commercial properties beyond reach codes
 - iii. Community education programs to promote electrification and energy savings
 - b. Adopt climate action plan (CAP 2.0) this quarter
4. Transportation action
 - a. Safe comfortable transportation infrastructure for people of all ages: walking, biking, scootering, and alternatives to driving
 - b. Circulation in the Bayside community to support the population growth in the area

Councilmember Carlton

1. If we fix the housing, traffic will follow
2. Regional issues to improve quality of life matters
 - a. Housing
 - b. Traffic
 - c. Environmental issues

Vice Mayor Combs

1. How city interacts with residents at the personal level
2. Residential zoning – improve the process for expanding houses; use permit process
3. Create community for families – Parks and Recreation Master Plan
4. Quality of life issues

Mayor Taylor

1. Health and wellness of the city; practical wellness
2. Invest in water, transportation safety, housing, emergency services, climate action, census 2020
3. City Council adopt a two year work plan
4. Work more cohesively with commissioners
5. Setting goals and meeting them needs to be a priority

City Manager

1. Belle Haven community center and library
2. Complete the transportation master plan
3. Middle Avenue rail crossing
4. Continued implementation of the information technology master plan
5. Comply with state mandated planning and zoning updates and studies

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