



SPECIAL AND REGULAR MEETING MINUTES

Date: 2/11/2020
Time: 5:30 p.m.
Location: City Council Chambers
701 Laurel St., Menlo Park, CA 94025

City Councilmember Carlton participated by phone from:

City Councilmember Catherine Carlton will be participating by phone from:
Plaza Marchi Old Town
Ul.Mihovilova sirina 1, Split, 21000, Croatia

5:30 p.m. Closed Session (City Hall - “Downtown” Conference Room, 1st Floor)

Mayor Taylor called the meeting to order at 5:33 p.m.

Roll Call

Present: Combs, Nash, Mueller (arrived at 5:46 p.m.), Taylor
Absent: Carlton
Staff: City Manager Starla Jerome-Robinson, Administrative Services Director Lenka Diaz,
City Clerk Judi A. Herren (excused at 5:37 p.m.)

Public Comment

- Soody Tronson provided items to consider regarding recruitment (Attachment).

CL1. Public employment (Gov. Code section 54957.)
City Attorney recruitment

Mayor Taylor adjourned to the special meeting at 6 p.m.

6:00 p.m. Study Session

A. Call To Order

Mayor Taylor called the meeting to order at 6:03 p.m.

B. Roll Call

Present: Carlton, Combs, Nash, Mueller, Taylor
Absent: None
Staff: City Manager Starla Jerome-Robinson, City Attorney William McClure, City Clerk Judi A. Herren

C. Pledge of Allegiance

Mayor Taylor led the Pledge of Allegiance.

SS1. Receive direction on interim service levels during construction of the Belle Haven community center and library (Staff Report #20-025-CC)

Finance and Budget Manager Dan Jacobson made the presentation (Attachment).

- Pamela Jones spoke on concerns of long-term impacts when reducing and eliminating services.
- Julie Shanson expressed concerns about reducing and eliminating senior services or the game room.

City Council discussed the need for retaining senior and youth services. There was City Council consensus around staff recommendations.

City Council took a break at 6:45 p.m.

City Council reconvened at 7:00 p.m.

Regular Session

D. Report from Closed Session

None.

E. Presentations and Proclamations

E1. Mayor and Sister City Committee honored the scouts for assisting with the Bizen delegation

Sister City Committee Chair George Yang, Member Brian Gilmer, and Mayor Taylor presented certificates to the Scouts (Attachment).

Mayor Taylor reordered item F. Commission Reports.

F. Commissioner Reports

F2. Sister City Committee update (Staff Report #20-003-CC)

Sister City Committee member Brian Gilmer made the presentation (Attachment).

- Soody Tronson spoke on concerns on the financial accessibility of the program.

Sister City Committee Member City Councilmember Carlton explained the scholarship programs for participants.

F1. Finance and Audit Committee update (Staff Report #20-032-CC)

Finance and Audit Committee Chair Soody Tronson made the presentation (Attachment).

G. Public Comment

- Peter Colby spoke on the democratic process regarding new developments and Planning Commission considerations.

Mayor Taylor reordered the agenda.

M. City Councilmember Reports

City Councilmember Mueller reported on correspondence with Supervisor Joe Simitian's office regarding the Stanford project.

City Councilmember Nash reported on attending the League of Cities and the Association of Bay Area Governments (ABAG) meetings as well as "meet and chat" with Menlo Park Police Chief Dave Bertini.

Mayor Taylor reported on attending the League of Cities, ABAG, and the SFO Airport/Community Roundtable meetings.

Vice Mayor Combs reported on attending the San Francisquito Creek Joint Powers Authority meeting.

City Manager Jerome-Robinson reported on attending the League of California Cities – City Managers Conference.

H. Consent Calendar

City Councilmember Nash pulled items H2, H3, H4, and H5.

- H1. Accept the City Council meeting minutes for December 16 and 17, 2019 and January 27, 2020 (Attachment)

ACTION: Motion and second (Combs/ Mueller) accept the City Council meeting minutes for December 16 and 17, 2019 and January 27, 2020, passed unanimously.

- H2. Authorize the city manager to execute funding agreements with the City/County Association of Governments of San Mateo County and the California Department of Transportation and release a bond from Anton Menlo for the Haven Avenue streetscape improvements project (Staff Report #20-031-CC)

Staff provided clarification on the specifics of the project.

- H3. Adopt a resolution changing Menlo Park's Friendship City agreement with Bizen, Japan to a Sister City agreement (Staff Report #20-006-CC)

City Council directed the Sister City Committee becoming a non-profit.

H4. Approve staggering term expiration dates for Sister City Committee (Staff Report #20-024-CC)

City Council directed staff to extend the current terms through July 30, 2020.

ACTION: Motion and second (Taylor/ Carlton) to extend the Sister City Committee term through July 30, 2020, passed unanimously.

H5. Adopt Resolution No. 6541 initiating the Menlo Park landscape assessment district proceedings for fiscal year 2020-21 (Staff Report #20-030-CC)

City Council discussed the City accepting maintenance responsibility for all sidewalks, not just those damaged by trees, on a temporary or permanent basis, to encourage sidewalks in front of residences. The City Council requested a future report on this topic once staff capacity allows. City Council also requested a report on the standards for sidewalk repairs used citywide.

ACTION: Motion and second (Combs/ Mueller) to approve the consent calendar, except items H1 and H4, passed unanimously.

City Councilmember Mueller exited the chambers at 8:12 p.m.

City Councilmember Mueller reentered the chambers at 8:14 p.m.

Mayor Taylor reordered item I. Public Hearing.

I. Public Hearing

I2. Consider the Planning Commission's recommendation to approve architectural control, use permit, major subdivision, and below market rate housing agreement for nine single-family residential units located at 661-687 Partridge Avenue (Staff Report #20-028-CC)

Associate Planner Ori Paz made the presentation (Attachment).

The applicant made a presentation (Attachment).

- Peter Colby spoke on the needs of the current residents including sewer impacts and housing availability for current residents.

City Council discussed the amount of parking per unit and received clarification on the displaced residents. Staff clarified that the development would consist of seven single-family homes and one duplex.

ACTION: Motion and second (Nash/ Combs) to approve architectural control, use permit, major subdivision, and below market rate housing agreement for nine single-family residential units located at 661-687 Partridge Avenue, by resolutions, passed unanimously.

I1. Adopt Resolution No. 6540 to approve a conditional development permit amendment for a 240-room hotel and to reduce the associated required number of parking spaces at 301 Constitution Drive (citizenM Hotel) (Staff Report #20-029-CC)

Vice Mayor Combs was recused from this item and exited the chambers at 8:33 p.m.

Senior Planner Kaitie Meador and Assistant City Attorney Leigh Prince made the presentation (Attachment).

The applicant made a presentation (Attachment).

- Barrie Hathaway, CEO of JobTrain, spoke in support of the project.
- Peter Drekmeier commented that the water supply assessment for Facebook and ConnectMenlo will need to be revised in order for this project to go forward (Attachment).
- Fran Dehn, representing the Chamber of Commerce, spoke in support of the amendment.
- Pamela Jones spoke in support of the project.

The City Council took a break at 9:24 p.m.

The City Council reconvened at 9:36 p.m.

City Council received clarification on the water assessment concern raised by Mr. Drekmeier. City Council discussed design options, hotel services and hiring, vehicle entry points, parking, and traffic impacts.

ACTION: Motion and second (Nash/Taylor) to Adopt Resolution No. 6540 to approve a conditional development permit amendment for a 240-room hotel and to reduce the associated required number of parking spaces at 301 Constitution Drive (citizenM Hotel) including a commitment to meet with Mayor Taylor and City Councilmember Nash to discuss the memorandum of understanding with JobTrain and the potential for 25 percent first source hiring, agreement to pay the current transportation impact fee (TIF) on all 240 units, a commitment to discuss potential transportation improvements in the Bayfront Area with Mayor Taylor and City Councilmember Nash, and direct staff to review water assessment and supply evaluation, passed 4-0-1 (Combs recused).

Vice Mayor Combs reentered the chambers at 10:37 p.m.

J. Regular Business

- J1. Authorize city manager to negotiate with Team Sheeper to temporarily suspend Belle Haven pool operations until Belle Haven community center and library project is completed and Belle Haven pool is reopened or rebuilt and, if not successful, terminate the Belle Haven pool portion of the operating agreement (Staff Report #20-033-CC)

Community Services Director Derek Schweigart introduced the item.

City Council directed staff to request that the pool operator extend the Belle Haven pool operations through October 1. City Council received clarification on Measure T funds and how they can be used.

ACTION: Motion and second (Nash/ Taylor) to authorize city manager to negotiate with Team Sheeper to temporarily suspend Belle Haven pool operations until Belle Haven community center and library project is completed and Belle Haven pool is reopened or rebuilt and, if not successful, terminate the Belle Haven pool portion of the operating agreement, passed unanimously.

- J2. Approve recommendation by the Parks and Recreation Commission and authorize city manager to execute agreement with Menlo Park Public Art for a pilot public art proposal (Staff Report #20-027-CC)

Mayor Taylor continued this item to a future meeting.

K. Informational Items

- K1. City Council agenda topics: February 2020 to April 2020 (Staff Report #20-021-CC)

City Council discussed adding a column to the attachment to identify the agenda item's relationship to the City Council work plan.

- K2. Update and next steps on utility underground priorities (Staff Report #20-026-CC)

- K3. Update on 2020 goal-setting process (Staff Report #20-034-CC)

- Lynne Bramlett commented that there were no emails included in the staff report and attachments.

City Council directed staff to include all emails regarding City Council goal setting received by city.council@menlopark.org (CCIN) to be included in the January 30 minutes.

L. City Manager's Report

None.

N. Adjournment

Mayor Taylor adjourned the meeting at 11:03 p.m.

Judi A. Herren, City Clerk

These minutes were approved at the City Council meeting of March 10, 2020.

Salwan, Neetu

From: Soody Tronson <soody@stlgip.com>
Sent: Tuesday, February 11, 2020 5:54 PM
To: _CCIN
Subject: Public Comment re Item CL1. "City Attorney" Menlo Park City Council Meeting Feb. 11, 2020

CAUTION: This email originated from outside of the organization. Unless you recognize the sender's email address and know the content is safe, DO NOT click links, open attachments or reply.

Dear Council

As outlined in my memo to Council on January 21st 2020, I request consideration of the following and to the extent you have already considered these, I thank you – and to the extent that they are still relevant I request that you consider them, especially if we have not received a competitive number of highly qualified Applicants.

The post for Menlo Park City Attorney has been occupied by the same firm for 60 years, therefor, the recruitment of the best candidates requires at least the following:

1. Provide sufficient time to reach the potential candidates and to receive response.

The timeline allows for only 2 weeks to have questions sent in by potential candidates and with only 2 more weeks afterwards to apply. Depending on number of Applicants, City may wish to extend this period.

2. Use effective distribution channels for the communicating the RFP to potential candidates.

I understand from City HR, that the organizations I had recommended in my December 2nd, 2019, were contacted. However, a key distribution channel, that is prominent and customary publications were not used. For example, San Francisco Daily Journal is the go-to professional marketplace for posting similar positions but was not utilized. To the extent that we need to continue the search, I would recommend using this and/or similar publications.

3. Consider the relevance of certain requirements in the RFP to the relevant field.

* The job description requires certain number hours for bias training provided by one or more of 3 specific organizations. As important as this training is, those 3 organizations are not relevant to the legal community. Not having ever heard of them in 25 years of practice, I reached out to them and asked whether they cater and serve the legal profession. The answer was no. Would it not be more impactful to tailor the job descriptions to each position?

* The job description required, appropriately so, the disclosure of services provided by the Applicant (and their firm) to top employers in the City of Menlo Park. A similar disclosure regarding services to developers, whether for profit or not-for-profit, was not required. I recommend that the disclosure requirements be expanded to include developers.

4. Consider including experts in the selection and Interview.

Each profession has its own set of unique technical proficiencies. Would it not be effective if the selection and interview team included experts from relevant fields, such as City Attorneys from trusted Cities?

Kind Regards

Sody Tronson
Menlo Park resident



INTERIM SERVICE LEVELS

Belle Haven Community Center and Library Project

A close-up photograph of a brick wall. The words "ARRIENGA FAMILY GYMNASIUM" are inscribed in gold-colored letters on the brickwork. The wall is illuminated from below, creating a warm glow.

ARRIENGA FAMILY
GYMNASIUM



AGENDA

- Conditions and constraints from Facebook's offer
- Overview of current facilities and services
- Process for service prioritization
- Staff recommended interim service levels
- Council direction and next steps





OFFER CONDITIONS AND CONSTRAINTS



- Expedited schedule (outreach, design, approvals)
- City responsible for transitional services and all programs within the new building





MENLO PARK SENIOR CENTER



- Senior nutrition program – daily lunches
- Recreation classes – soul line dancing, ceramics, Spanish classes
- Transportation program
- Facility rentals – church, private events
- Brown bag program – food pantry
- Health screenings
- Counseling programs – HICAP, peer
- Senior community garden
- Social space – game room, special events
- Samaritan House – onsite services one-day per week

ONETTA HARRIS COMMUNITY CENTER



- Recreation classes – ballet, zumba, Aztec dance
- Gym and facility rentals – Howard Kaplan basketball, birthday parties, baby showers
- Drop-in Gym/Fitness
- Community special events – Halloween Spooky Carnival, Movies/Music in the Park
- Second Harvest – food pantry



BELLE HAVEN YOUTH CENTER



- Licensed childcare for up to 71 school-aged students, K – 5
- Transportation from schools
- Full-day Summer Camp
- Nutritional component
- Homework program and tutoring

BELLE HAVEN POOL



- Recreational and year-round lap swimming
- Children's wading pool
- Swim lessons
- Locker room and shower facilities
- Camps
- Youth water polo
- Private rentals



INTERIM SERVICE FRAMEWORK

Priority of interim service

- Tier 1 – Critical
- Tier 2 – Alternatives available
- Tier 3 – Prohibitive to provide

Potential service levels

- Same level
- Reduced
- Outsourced
- Suspended



INTERIM SERVICE LEVEL RECOMMENDATIONS



Service	Current location	Tier	Recommended interim level
Pool operations	Belle Haven Pool	3	Suspended
Sports field group rentals	Kelly Field	2	Same level
Second Harvest program	OHCC	1	Same level
Recreation classes, community special events	OHCC	2	Reduced level
Drop-in fitness/gym classes, room rentals	OHCC	3	Suspended
Senior meals, transportation, health and counseling programs	Senior Center	1	Same level
Senior recreation classes, special events, game room	Senior Center	2	Reduced level
Seniors' community garden	Senior Center	2	Outsourced
Senior community meeting rooms	Senior Center	3	Suspended



NEXT STEPS/COUNCIL DIRECTION

- February 25 City Council meeting – interim services, City Manager purchasing authority
- March – select locations for interim services
- Requested direction:
 - Identify services whose interim level should be increased/decreased
 - Identify any desire to provide additional transportation
 - Confirm fee levels static during interim
 - Confirm overall cost expectations



THANK YOU



TIER 1 SERVICES

Service	Current location	Recommended interim level
Senior nutrition program (senior meals)	Senior Center	Same level
Senior transportation program	Senior Center	Same level
Seniors brown bag program	Senior Center	Same level
Seniors health screenings	Senior Center	Same level
Seniors counseling programs	Senior Center	Same level
Senior Center program storage space	Senior Center	Reduced level
OHCC - Second Harvest	OHCC	Same level
After School Program	Youth Center	Same level
Camp Menlo (Summer)	Youth Center	Same level



TIER 2 SERVICES

Service	Current location	Recommended interim level
Senior recreation classes	Senior Center	Reduced level
Senior special events	Senior Center	Reduced level
Seniors community garden	Senior Center	Outsourced
Seniors social opportunities (game room)	Senior Center	Reduced level
OHCC - recreation classes	OHCC	Reduced level
OHCC - community special events	OHCC	Reduced level
Sports field user group rentals	Kelly Field	Same level



TIER 3 SERVICES

Service	Current location	Recommended interim level
Senior Center rentals	Senior Center	Suspended
Senior Center community meeting rooms	Senior Center	Reduced level
Samaritan House	Senior Center	Outsourced
OHCC - rentals	OHCC	Suspended
OHCC - Gym rentals	OHCC	Suspended
OHCC - Drop-in Gym (b-ball / v-ball)	OHCC	Suspended
OHCC - Drop-in Fitness Room	OHCC	Suspended
OHCC - community rooms	OHCC	Suspended
Recreation swim	BH Pool	Suspended
Lap swim	BH Pool	Suspended
Youth swim school	BH Pool	Suspended
Youth water polo	BH Pool	Suspended
Swim camps	BH Pool	Suspended



SENIOR CENTER SERVICES

Service	Tier	Recommended interim level
Senior nutrition program (senior meals)	1	Same level
Senior recreation classes	2	Reduced level
Senior special events	2	Reduced level
Senior Center rentals	3	Suspended
Senior Center community meeting rooms	3	Reduced level
Senior transportation program	1	Same level
Seniors brown bag program	1	Same level
Seniors health screenings	1	Same level
Seniors counseling programs	1	Same level
Seniors community garden	2	Outsourced
Seniors social opportunities (game room)	2	Reduced level
Samaritan House	3	Outsource
Senior Center program storage space	1	Reduced level



OHCC SERVICES

Service	Tier	Recommended interim level
OHCC - recreation classes	2	Reduced level
OHCC - rentals	3	Suspended
OHCC - Gym rentals	3	Suspended
OHCC - Drop-in Gym (b-ball / v-ball)	3	Suspended
OHCC - Drop-in Fitness Room	3	Suspended
OHCC - community special events	2	Reduced level
OHCC - community rooms	3	Suspended
OHCC - Second Harvest	1	Same level



OTHER LOCATION SERVICES

Service	Tier	Recommended interim level
After School Program	1	Same level
Camp Menlo (Summer)	1	Same level
Recreation swim*	3	Suspended
Lap swim*	3	Suspended
Youth swim school*	3	Suspended
Youth water polo*	3	Suspended
Swim camps*	3	Suspended
Sports field user group rentals	2	Same level



INTERIM SERVICE LEVEL RECOMMENDATIONS

Service inventory, priority tiers and interim service levels					
Ref #	Service	Current location	Priority tier	Recommended interim level	Notes
1	Senior nutrition program (senior meals)	Senior Center	1	Same level	
2	Senior recreation classes	Senior Center	2	Reduced level	Focus on movement/exercise
3	Senior special events	Senior Center	2	Reduced level	Focus on movement/exercise
4	Senior Center rentals	Senior Center	3	Suspend	
5	Senior Center community meeting rooms	Senior Center	3	Reduced level	
6	Senior transportation program	Senior Center	1	Same level	
7	Seniors brown bag program	Senior Center	1	Same level	
8	Seniors health screenings	Senior Center	1	Same level	
9	Seniors counseling programs	Senior Center	1	Same level	
10	Seniors community garden	Senior Center	2	Outsource	Coordinate with Belle Haven Community Garden
11	Seniors social opportunities (game room)	Senior Center	2	Reduced level	
12	Samaritan House	Senior Center	3	Outsource	
13	Senior Center program storage space	Senior Center	1	Reduced level	
14	OHCC - recreation classes	OHCC	2	Reduced level	
15	OHCC - rentals	OHCC	3	Suspend	
16	OHCC - Gym rentals	OHCC	3	Suspend	
17	OHCC - Drop-in Gym (b-ball / v-ball)	OHCC	3	Suspend	
18	OHCC - Drop-in Fitness Room	OHCC	3	Suspend	
19	OHCC - community special events	OHCC	2	Reduced level	
20	OHCC - community rooms	OHCC	3	Suspend	
21	OHCC - Second Harvest	OHCC	1	Same level	
22	After School Program	Youth Center	1	Same level	
23	Camp Menlo (Summer)	Youth Center	1	Same level	
24	Recreation swim*	BH Pool	3	Suspend	
25	Lap swim*	BH Pool	3	Suspend	
26	Youth swim school*	BH Pool	3	Suspend	
27	Youth water polo*	BH Pool	3	Suspend	
28	Swim camps*	BH Pool	3	Suspend	
29	Sports field user group rentals	Kelly Field	2	Same level	Use of field limited during construction hours

* Operator will explore alternative delivery.


Certificate of Recognition

Presented to

Emmet Avrach

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

Presented this eleventh day of February 2020



Cecilia Taylor, Mayor



Certificate of Recognition

Presented to

George Carlton-Ridenour

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

Presented this eleventh day of February 2020



Cecilia Taylor, Mayor



Certificate of Recognition

Presented to

Jayna Chua

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

Presented this eleventh day of February 2020



Cecilia Taylor, Mayor



Certificate of Recognition

Presented to

Brandon Clark

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

Presented this eleventh day of February 2020



Cecilia Taylor, Mayor



Certificate of Recognition

Presented to

Emile Freeman

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

Presented this eleventh day of February 2020



Cecilia Taylor, Mayor



Certificate of Recognition

Presented to

Ron Freeman

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

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Cecilia Taylor, Mayor



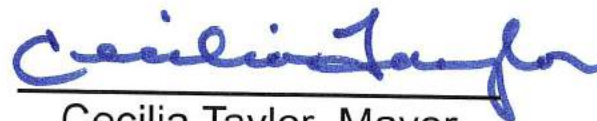
Certificate of Recognition

Presented to

Raj Ghosh

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

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Cecilia Taylor, Mayor



Certificate of Recognition

Presented to

Joshun Kalra

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

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Cecilia Taylor, Mayor



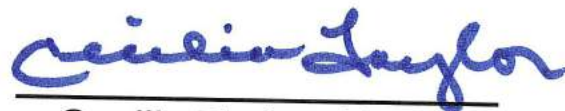
Certificate of Recognition

Presented to

Max Reoutt

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

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Cecilia Taylor, Mayor



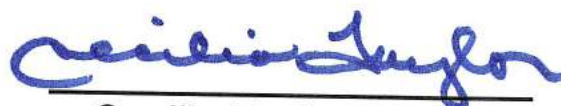
Certificate of Recognition

Presented to

Kelvin Rout

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

Presented this eleventh day of February 2020



Cecilia Taylor, Mayor



Certificate of Recognition

Presented to

Sachin Sandhu

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

Presented this eleventh day of February 2020



Cecilia Taylor, Mayor



Certificate of Recognition

Presented to

Conrad Schroeder

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

Presented this eleventh day of February 2020



Cecilia Taylor, Mayor



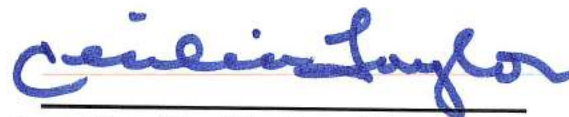
Certificate of Recognition

Presented to

Kai Shahani

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

Presented this eleventh day of February 2020



Cecilia Taylor, Mayor



Certificate of Recognition

Presented to

Adam Todd

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

Presented this eleventh day of February 2020



Cecilia Taylor, Mayor



Certificate of Recognition

Presented to

Alex Waitz

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

Presented this eleventh day of February 2020



Cecilia Taylor, Mayor



Certificate of Recognition

Presented to

Johnny West

Member of Scouts BSA, Menlo Park Troop 222, for honoring the Scout Oath and adhering to the Scout Law by assisting with and welcoming the delegation from Menlo Park's Friendship City in Bizen, Japan

Presented this eleventh day of February 2020



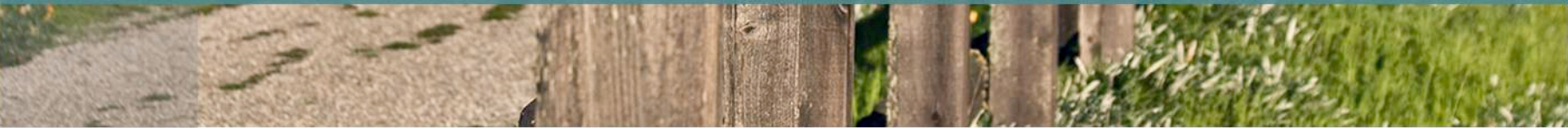
Cecilia Taylor, Mayor



A photograph of a grassy hill with a wooden fence. In the background, two people are walking on the hill. The sky is overcast.

SISTER CITY COMMITTEE UPDATE

February 11, 2020, City Council Meeting





SISTER CITY COMMITTEE MISSION STATEMENT

The mission of the Sister City Committee is to promote international goodwill, respect and cooperation by facilitating cultural, educational and economic exchanges.

Committee Members:

Catherine Carlton

James Clendenin

Brian Gilmer

Kristy Holch – Vice Chair

Stuart Soffer

Cecilia Taylor

George Yang – Chair



SISTER CITY COMMITTEE RESPONSIBILITIES

- Develop a mission statement and program plan consisting of projects, exhibits, contacts and exchanges of all types to foster and promote the objectives of the mission statement
- To implement the City Council's approved program plan
- To keep the community informed about the Sister City program
- To advise City Council on Sister City matters
- To perform such other duties as may be assigned to the Committee by the City Council



CURRENT SISTER CITY/FRIENDSHIP CITY RELATIONSHIPS

- Galway, Ireland – Sister City
 - Reciprocal mayoral visits nearly every year dating back to 2014
- Bizen, Japan – Friendship City
 - Reciprocal exchange of 10 middle school students in alternating years since 2015
- Xinbei (Changzhou), China – Friendship City
 - Xinbei Mayor visited Menlo Park in 2014; Menlo Park Mayor visited Xinbei in 2015
- Kochi, India – Friendship City
 - India delegation visited Menlo Park in 2014; Menlo Park Mayor visited Kochi in 2015

Xinbei (pronounced SHIN-bay) is in Changzhou (pronounced chong-JOE) Province

2019 ACTIVITIES



Bizen, Japan student and Mayor's delegation visit



2019 ACTIVITIES

- Policy recommendations received City Council approval:
 - Maintaining relationships
 - Sister City-Friendship City selection criteria
 - Visiting dignitaries and international guests protocol

- Japanese delegation visit August 2019

- Hosted the Sister Cities International – Northern California Chapter annual conference in November 2019

- Reviewed current sister city and friendship city relationships and recommended upgrading Bizen, Japan to sister city status



2020 ACTIVITIES

- Next Committee meeting is the February 26, 2020, special meeting
- Menlo Park delegation will travel to Bizen, Japan in summer 2020
- Active membership in Sister Cities International – Northern California Chapter
- Reviewing other upcoming events and programs as part of the next updated Sister City Committee work plan for City Council's consideration



QUESTIONS



FINANCE AND AUDIT COMMITTEE UPDATE TO CITY COUNCIL

Soody Tronson, FAC Chair – February 12, 2020



The FAC Committee ...

Is primarily charged to support delivery of timely, clear and comprehensive reporting of the City's fiscal status to the community.

Name	Role	Term Expires
Drew Combs	City Council	Dec 10, 2019
Shaun Maguire		Apr 30, 2021
Ray Mueller	City Council	Dec 10, 2019
Roger Royse		Apr 30, 2020
Ron Shepherd	Vice Chair	Apr 30, 2021
Sody Tronson	Chair	Apr 30, 2020
Brian Westcott		Apr 30, 2021

2019-20 Work Plan Update

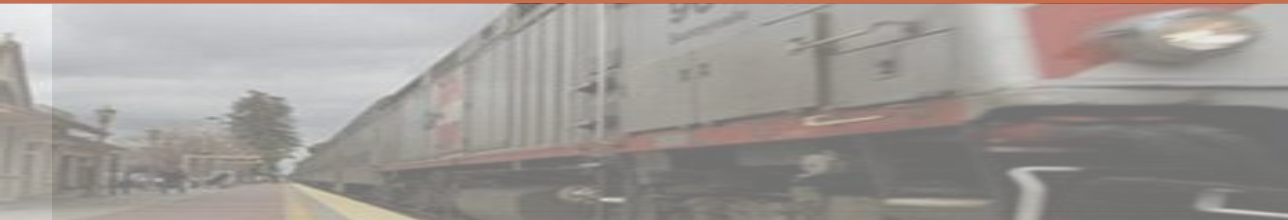
Information Portal Update

- OpenGov
- Pensions

Bucket List

General Recommendations for Future

AGENDA





2019-20 WORK PLAN FOCUS

- 1. Research and recommend a tool(s) for City Council's use in financial decision-making**
- 2. Review public financial documents/reporting, and identify opportunities to improve usefulness of information to Council and the general public**
- 3. Support delivery of easy-to-use, timely, complete, and transparent financial information**



2019-20 WORK PLAN PROJECTS

	ITEMS	OBJECTIVE	AUDIENCE	DELIVERABLE
1	Research and Recommend a Tool(s) for Council's Use in Financial Decision-Making	To provide real-time "what if" scenario analysis to guide evidence-based decisions	Council	Report
2a	Budget in Brief	A short summary of City's current budget	Residents	PAFR to replace
2b	Comprehensive Annual Financial Report (CAFR)	State mandated accounting of previous fiscal calendar (backward looking)	Council	Review & Recommendations
2c	Popular Annual Financial Report (PAFR)	Optional report highlighting the budget <u>and</u> CAFR in a user-friendly format, simplifying complex data	Residents	Examples & writing & formatting help
2d	Budget	City's annual spending plan (forward looking)	Citywide	Communication Strategy
2e	Website Dashboard (e.g., OpenGov)	Smart, online portal	Citywide	Communication Strategy
2f	Investment Reports	To provide insight to the performance of City's investment portfolio	Citywide	Recommendations & examples
3a	Capital Improvement Plan Program Information	Helps prioritize where City's funds are spent on large items projects & enable informed feedback	Citywide	Recommendations and FAC Support
3b	Unfunded Pension Liability Information	Assess financial risks associated with personnel cost now and into retirement to enable informed planning.	Council	Communication strategy



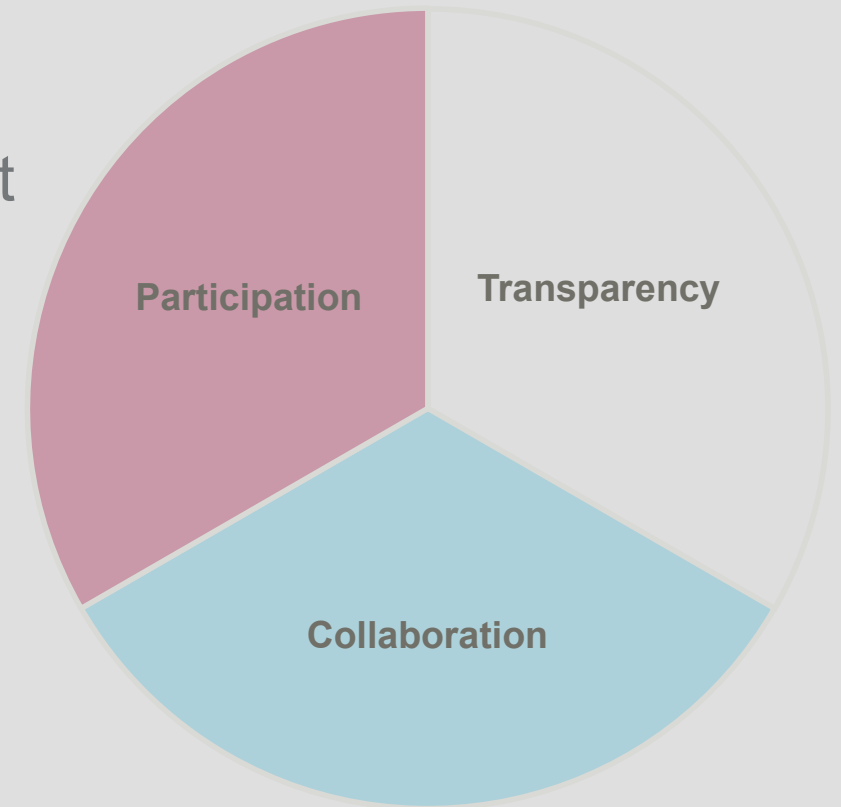
WORK PLAN STATUS

2019-2020 Finance and Audit Committee Work Plan					
Feb 4, 2020 Update					
Approved Projects					
	Start Date	Completion Date	% completed		
1	Research and recommend a tool(s) for Council's use in financial decision-making	9/1/19	4/1/20	<div style="width: 25%; background-color: green;"></div>	<div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div>
2	Review public documents/ reporting and identify opportunities to improve presentation (formatting) and usefulness of information to Council and the general public				
2a	2019-20 Budget in Brief	9/1/19	10/1/19	<div style="width: 100%; background-color: green;"></div>	<div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div>
2b	2018-19 Comprehensive Annual Financial Report (CAFR)	9/1/19	6/1/20	<div style="width: 100%; background-color: green;"></div>	<div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div>
2c	2018-19 Popular Annual Financial Report (PAFR)	11/1/19	7/1/20		<div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div>
2d	2020-21 Budget	11/1/19	4/1/20	<div style="width: 25%; background-color: green;"></div>	<div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div>
2e	Website dashboard	9/1/19	4/1/20	<div style="width: 25%; background-color: green;"></div>	<div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div>
2f	Investment reports	9/1/19	8/1/20		<div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div>
3	Support delivery of easy-to-use, timely, complete and transparent				
3a	Capital Improvement Plan program	1/1/20	3/15/20	<div style="width: 100%; background-color: green;"></div>	<div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div>
3b	Unfunded pension liability	9/1/19	4/1/20	<div style="width: 75%; background-color: green;"></div>	<div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div> <div style="background-color: blue; width: 100%; height: 10px;"></div>
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Good Infrastructure is Key to an Effective and Accountable Government

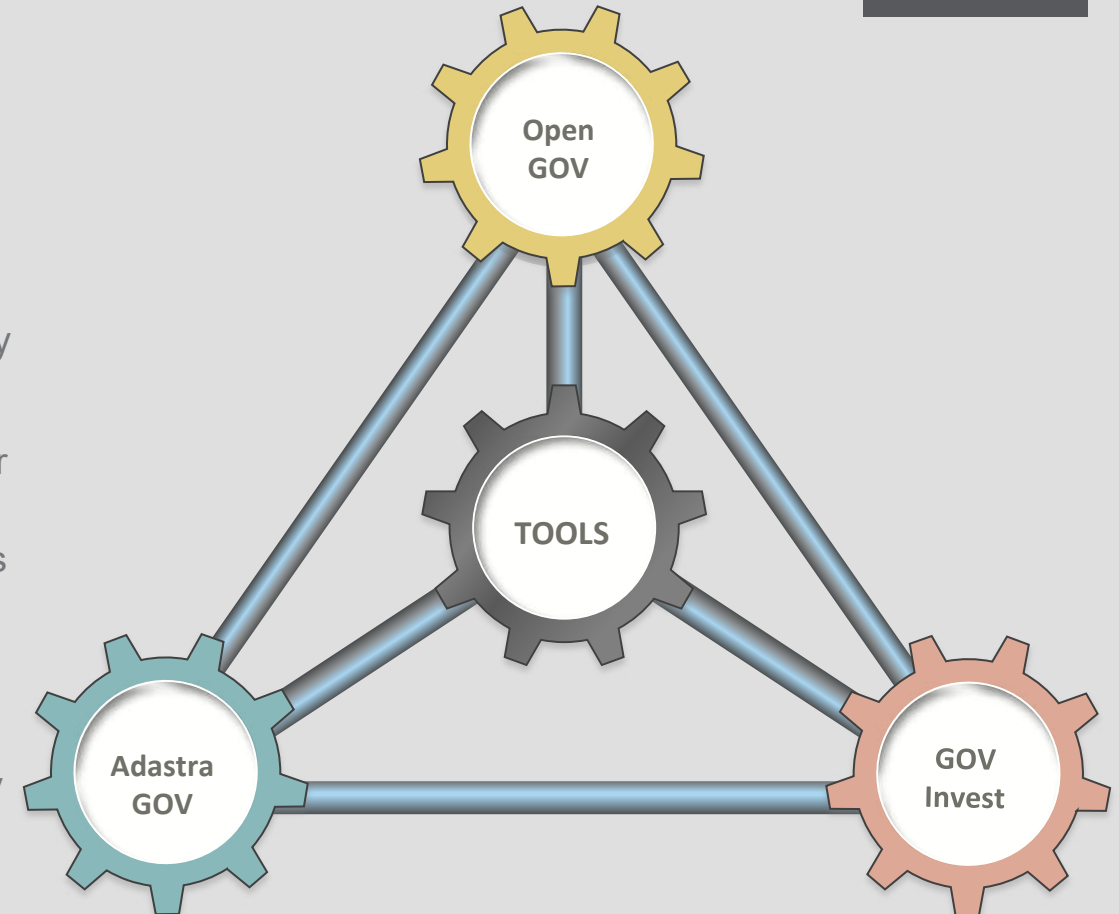
- Enable informed decisions and insight
- Save time and money
- Foster collaboration
- Increase productivity
- Build both internal trust and external trust with residents





Improved Tools: Features

- **OpenGov**
 - Replaces budget book with dynamic and illustrative budget information
 - Allows for greater financial transparency through drill down into budget info.
 - Additional transparency and interactive features are deferred due to staff capacity
- **AdastraGov**
 - Plan and forecast labor costs with greater efficiency
 - Run scenarios to cost out labor proposals
 - Visualize results
- **Gov Invest**
 - Real-time actuarial information
 - Run scenarios to analyze pension liability projections
 - Improve communication with visuals



>>

[City of Ukiah](#)

[City of Palo Alto](#)

>>

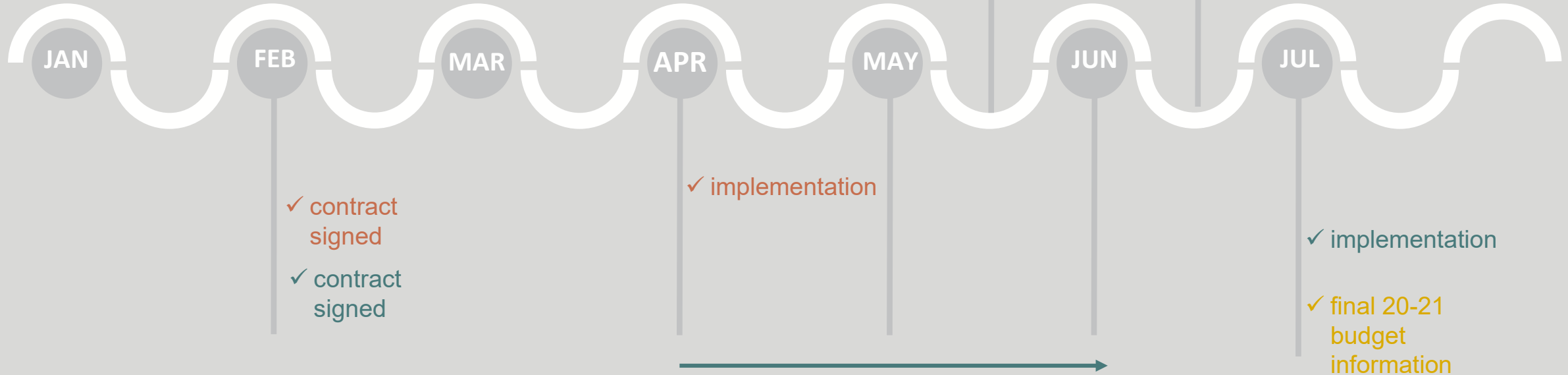
[Video Link](#)



Improved Tools: Estimated Timeline

work in progress

planning phase



- ✓ contract signed
- ✓ contract signed

✓ implementation

✓ draft 20-21 budget information

✓ updated draft 20-21 budget information

✓ implementation

✓ final 20-21 budget information

planning phase



- OpenGov
- AdastraGov
- GovInvest



Community Budget Public Forum: 1st of which was held in Jan 9, 2020

GOALS	BENEFITS INCLUDE
Provide information on the budget through a variety of channels, emphasizing plain and understandable terms.	Wider range of residents and stakeholders informed about the City's finances
Train public on how to review a budget, and/or comment and ask questions	<ul style="list-style-type: none">• More informed public• Council hears from broader range of residents regarding what services and programs they most value
Promote confidence in the City's management of funds	Increased public's trust in our local government
Keep public informed about opportunities to provide input into budget decisions	General increase in civic engagement



OTHER WORK PLAN COMPONENTS

PARKING LOT ITEMS
Sale of Assets (Water District)
Review of Utility User's Tax Cap
Listing of parcels exempt from property taxes
Developer Agreements
Community Amenities Fund
Use of multiple investment advisors
Consultant and contractor policy review
Capital Improvement Plan Program Information
Tools
Ways FAC could be a resource to Staff and Council
Evolving FAC Role & Monthly Meetings
Two-Year budget Cycle
Cross indexing of documents related to same subject

EXEMPLARYT REFERENCE MATERIALS (not an exhaustive list & not an indication of endorsement or approval)	LINKS/LOCATIONS
Most Recent Annual Budget	https://www.menlopark.org/855/City-budget
Comprehensive Annual Financial Report	https://www.menlopark.org/ArchiveCenter/ViewFile/Item/8885
Finance Operating Reports	https://www.menlopark.org/operatingreports
Previous FAC Meeting Agenda and Minutes	https://www.menlopark.org/319/Finance-and-Audit-Committee
Institute for Local Government – Budgeting & Financial Management portal	https://www.ca-ilg.org/budgeting-and-financial-management
Government Finance Officers Association	https://www.gfoa.org/

Maintain as part of each FAC agenda to track Ideas/resources for future discussions, use, and easy reference.

Actual work or implementation will be subject to Council review and approval.



THANK YOU



12: 661-687 PARTRIDGE AVENUE

February 11, 2020



ARRIENGA FAMILY
GYMNASIUM

A close-up photograph of a brick building facade. The text "ARRIENGA FAMILY GYMNASIUM" is visible on the brickwork, illuminated by warm lights. The building has a dark roof with decorative brackets under the eaves.



AGENDA

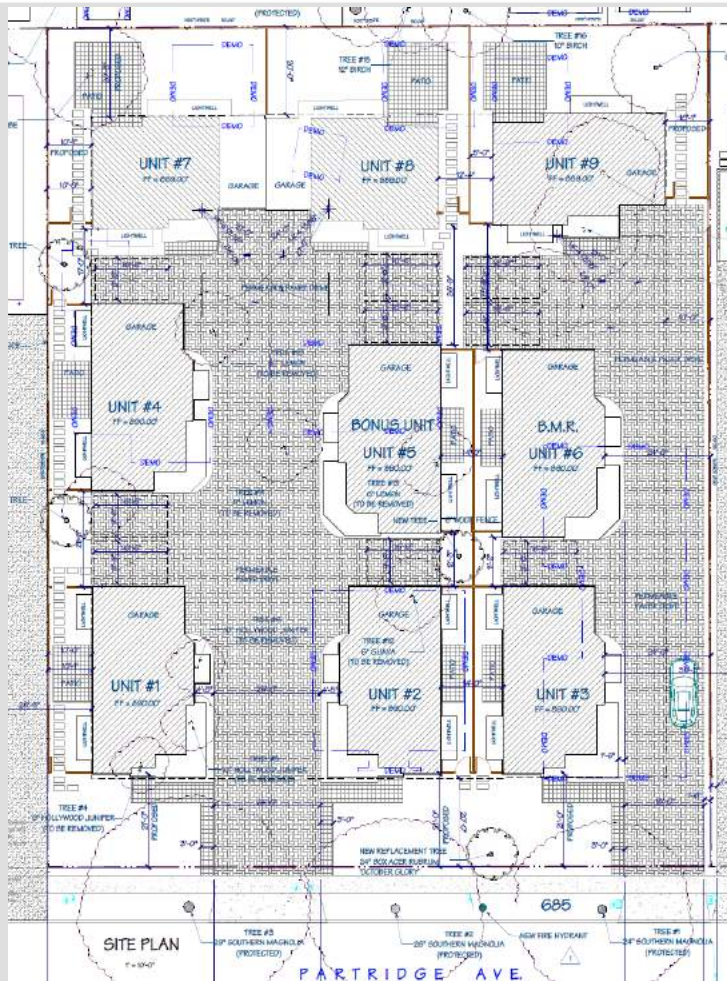
- Project Overview
- Commission Recommendations
- Staff Recommended Action
- Applicant Presentation





SITE CONTEXT





Project Attributes:

- Major Subdivision
 - Merge three lots
 - Create nine condominium units
- Architectural Control
 - Construct nine units in three styles
 - Seven SFR, one duplex
 - Four bedrooms, 4.5 baths
 - Two parking spaces per unit
 - Bicycle hook & EV ready in garage
- Use permit
 - For excavation in left and rear setback
- One on-site BMR unit (Unit #6) & one bonus unit
 - Large family home (4+ occupants)
 - For sale at moderate income level



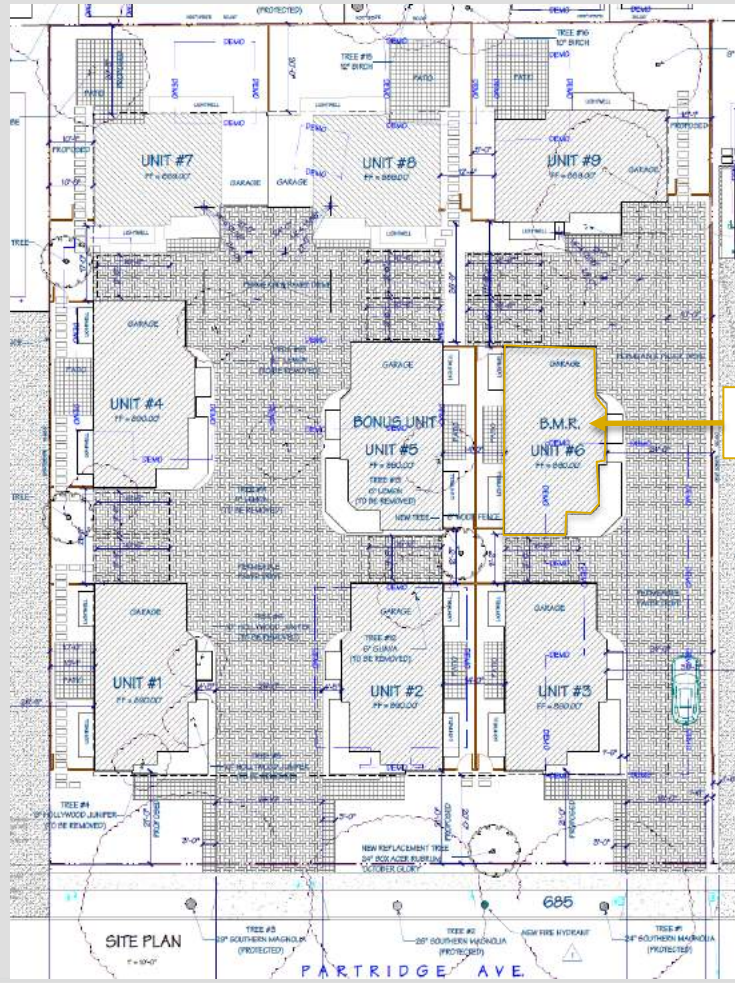
PROPOSED DEVELOPMENT





HOUSING COMMISSION REVIEW

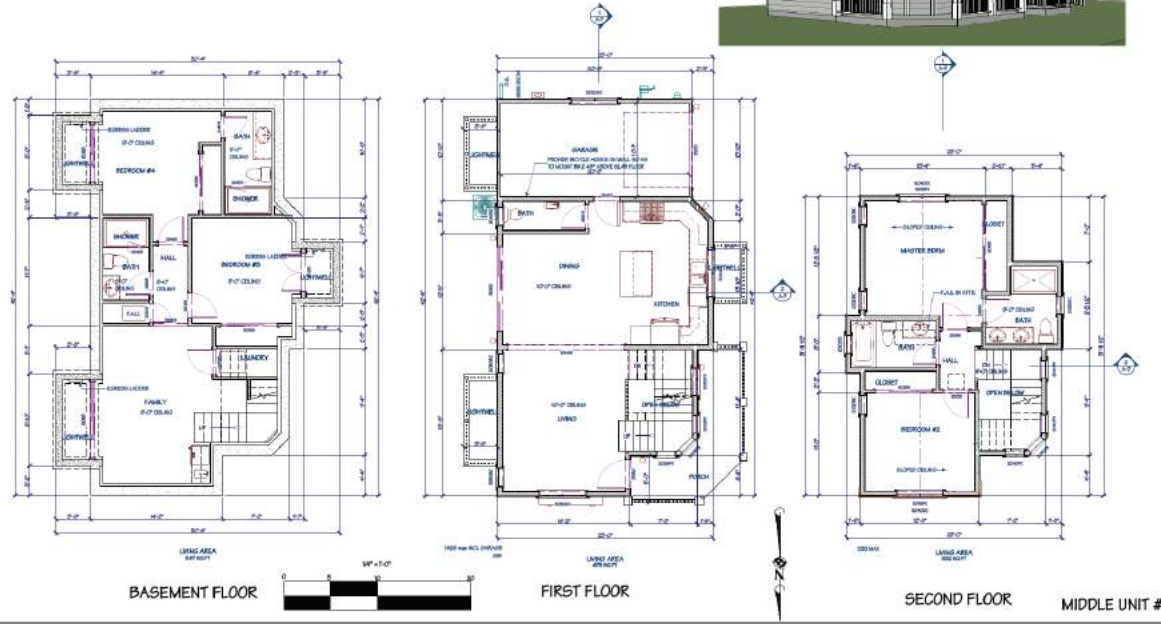
- November 6, 2019 - the Housing Commission unanimously recommended approval for the provision of an on-site unit



BMR Unit



BMR Unit Floor Plans



REVISION	BY
1	TR
2	TR
3	TR
4	TR
5	TR
6	TR
7	TR
8	TR
9	TR
10	TR
11	TR
12	TR
13	TR

HOMETEC
 ARCHITECTURE, INC.
 2200 BIRCHDALE AVENUE, SUITE 100, REDWOOD CITY, CA 94063

1000 WILSON ROAD
GoldSilverland, LLC
 601 - 607 VENTNOR AVENUE, MENLO PARK, CA

Date:	12-18-18
Scale:	1/4" = 1'-0"
Drawn:	RAH
App:	BRK
Sheet:	A-17



PLANNING COMMISSION REVIEW

- January 13, 2020 - the Planning Commission reviewed the project and recommended approval of the subdivision, architectural control, use permit and BMR agreement
 - Recommended conditions of approval:
 - Design modifications
 - Swap styles for duplex homes
 - Paint corner boards
 - Landscaping modifications
 - Add screening trees to left side
 - Reduce paving to minimum required and add landscaping



RECOMMENDED CITY COUNCIL ACTIONS

Staff recommends that the City Council make the necessary findings to pass the following resolutions:

- **Attachment A: Resolution 6538**
 - Approve the:
 - Major Subdivision (merging the three lots and creating nine condo units);
 - Architectural Control (new construction of more than two units);
and
 - Use Permit (for excavation within required left and rear setbacks).
- **Attachment B: Resolution 6539**
 - Approve the BMR Agreement (one on-site large family for sale unit at moderate income)



THANK YOU



MENLO PARK BMR REQUIREMENTS

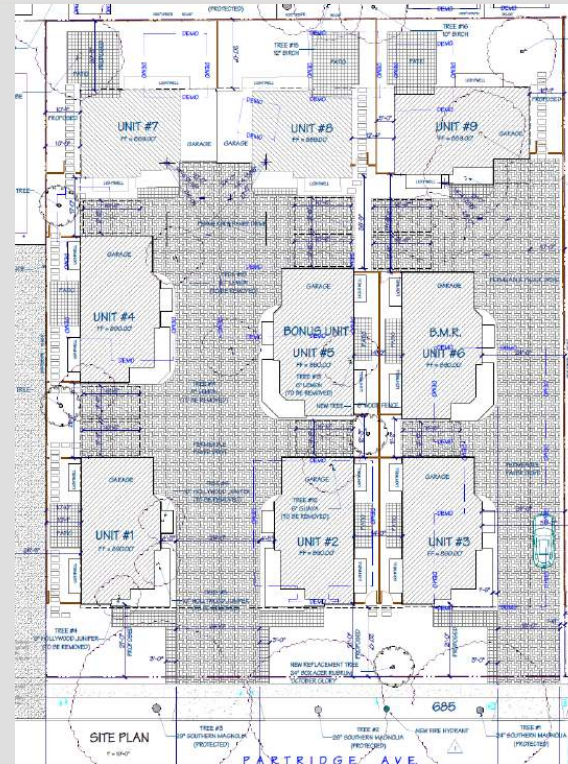
- Must meet income requirements
- Must live or work in Menlo Park (work preference min. 20hrs/wk)
- [City of Menlo Park BMR Guidelines](#)

2019 California State Income Limits for San Mateo County Households						
Income Category	1 Person	2 Persons	3 Persons	4 Persons	5 Persons	6 Persons
Extremely low income (30% AMI)	\$33,850	\$38,700	\$43,550	\$48,350	\$52,250	\$56,100
Very low-income (50% AMI)	\$56,450	\$64,500	\$72,550	\$80,600	\$87,050	\$93,500
Low-income (80% AMI)	\$90,450	\$103,350	\$116,250	\$129,150	\$139,500	\$149,850
Area median income (100% AMI)	\$95,750	\$109,450	\$123,100	\$136,800	\$147,750	\$158,700
Moderate income (120% AMI)	\$114,900	\$131,300	\$147,750	\$164,150	\$177,300	\$190,400



PROPOSED DEVELOPMENT

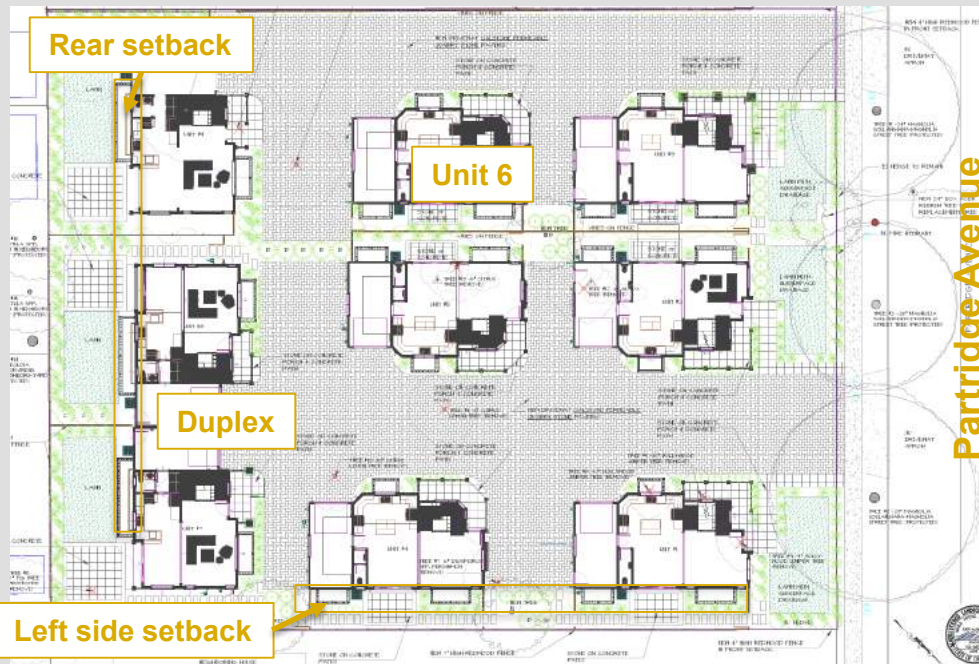
- Nine new units
 - Seven SFR, one duplex
- Three architectural styles
 - Craftsman, Colonial, Farmhouse
- Approximately 2,180 – 2,300 square feet each
 - Including the basement area
- One BMR unit (unit #6)





PROPOSED DEVELOPMENT

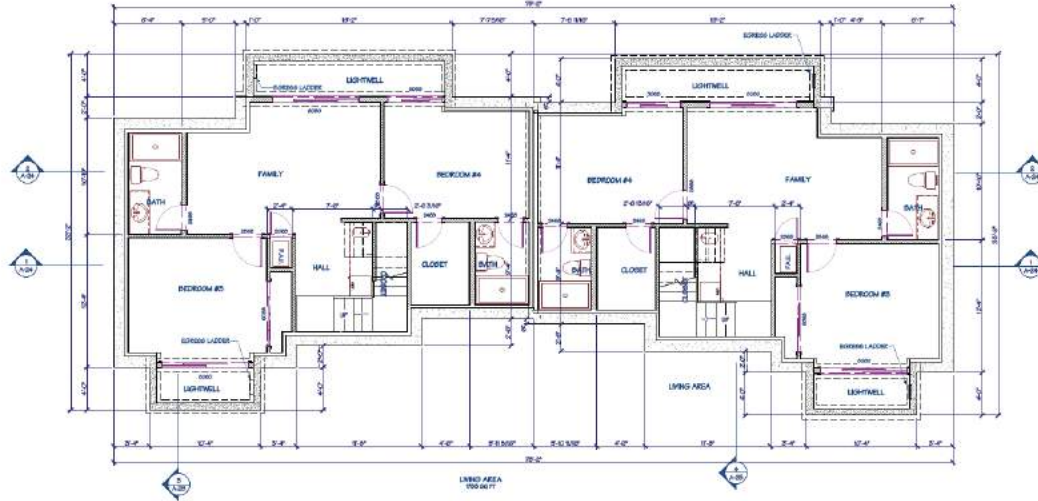
- Major Subdivision
 - Merge three lots
 - Create nine condominium units
- Architectural Control
 - Construct nine units in three styles
 - Seven SFR, one duplex
 - Four-bedroom, 4.5 baths
 - Two parking spaces per unit
 - Bicycle hook in garage
- Use permit
 - For excavation in left and rear setback
- One on-site for sale BMR unit (Unit #6)
 - Large family home (4+ occupants)
 - For sale at moderate income level



Craftsman
Style



Colonial
Style



BASEMENT FLOOR UNIT #7

BASEMENT FLOOR UNIT #8



REAR UNIT #7 & #8



SITE CONTEXT



Aerial2017



INCOME LIMITS

2019 San Mateo County Income Limits

as determined by HUD - effective December 18, 2013

revised 05/17/19

For HUD-funded programs, use the Federal Income Schedule. For State or locally-funded programs, you may use the State Income Schedule. For programs funded with both federal and state funds, use the more stringent income levels.

Please verify the income and rent figures in use for specific programs.

San Mateo County (based on Federal Income Limits for SMC)

Prepared 5/31/2018 - HUD-established area median income \$118,400 (based on household of 4).

Income Category	Income Limits by Family Size (\$)							
	1	2	3	4	5	6	7	8
Extremely Low (30% AMI) *	33,850	38,700	43,550	48,350	52,250	56,100	60,000	63,850
Very Low (50% AMI) *	56,450	64,500	72,550	80,600	87,050	93,500	99,950	106,400
HOME Limit (60% AMI) *	71,170	81,340	91,502	101,629	109,833	117,924	126,059	134,219
Low (80% AMI) *	90,450	103,350	116,250	129,150	139,500	149,850	160,150	170,500

NOTES

* Income figures provided by HUD for following San Mateo County federal entitlement programs: CDBG, HOME, ESG.;

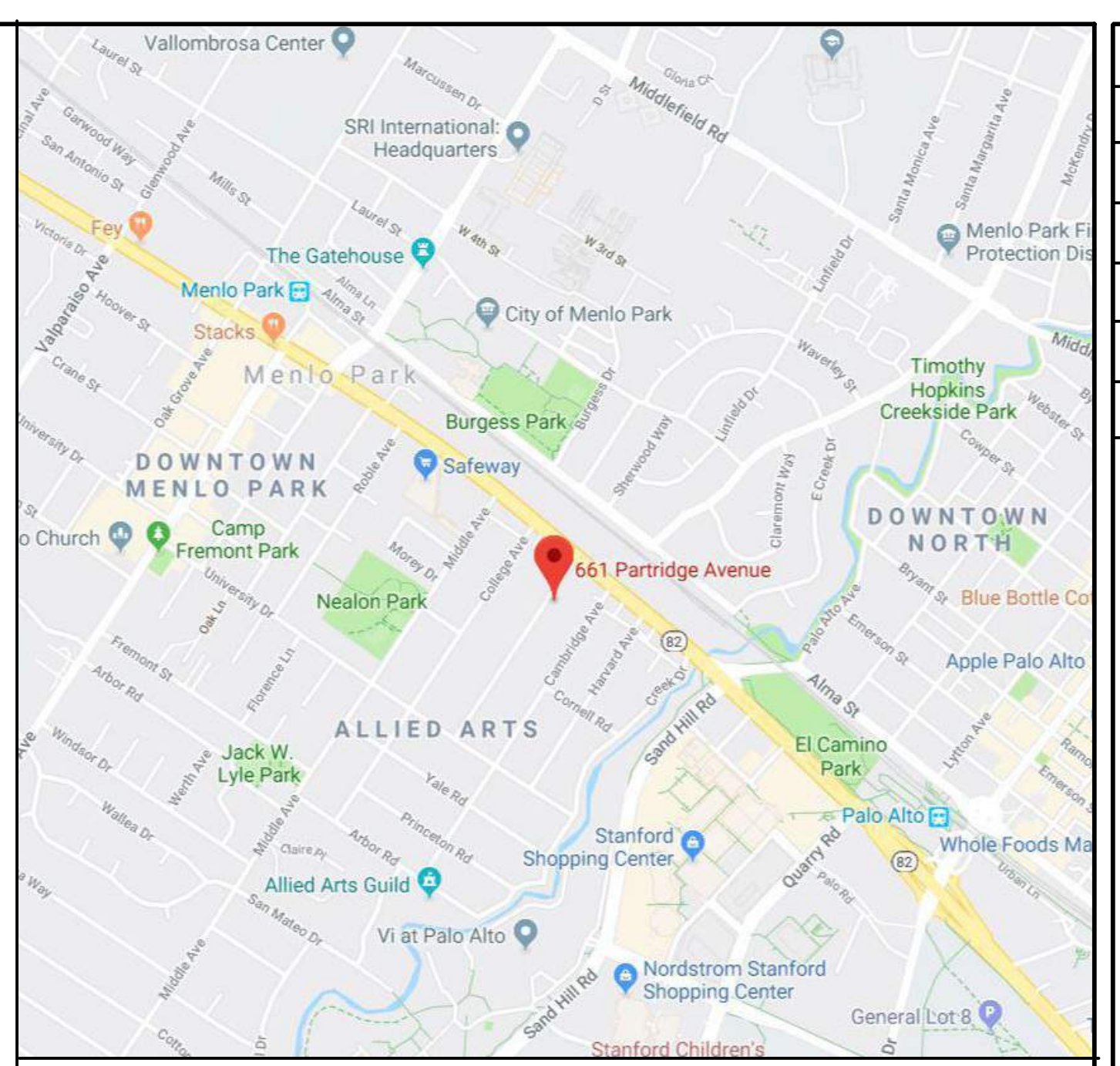
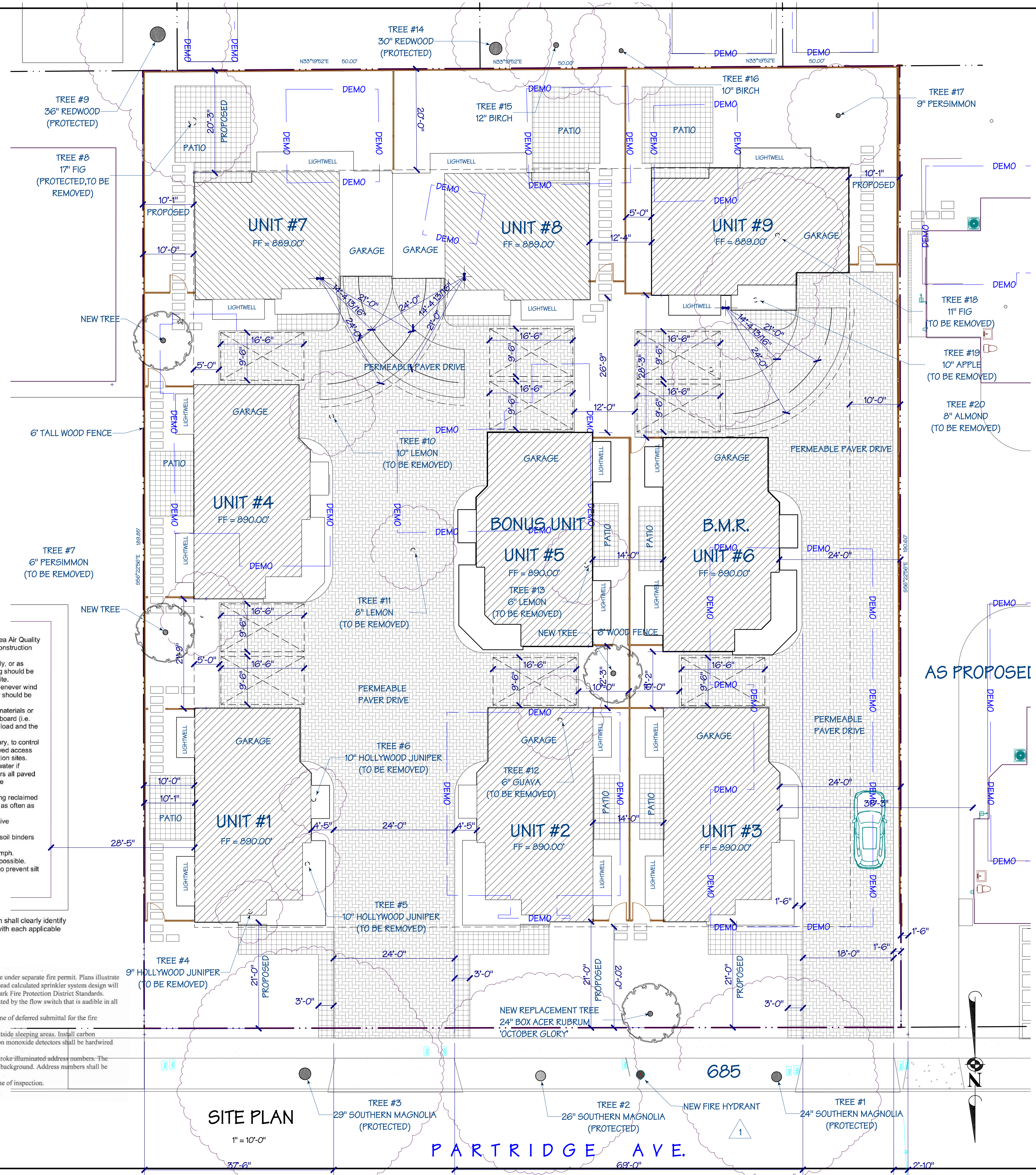
California State Income Limits

Effective 4/26/18 - Area median income \$118,400 (based on household of 4)

Income Category	Income Limits by Family Size (\$)							
	1	2	3	4	5	6	7	8
Extremely Low (30% AMI) *	33,850	38,700	43,550	48,350	52,250	56,100	60,000	63,850
Very Low (50% AMI) *	56,450	64,500	72,550	80,600	87,050	93,500	99,950	106,400
Low (80% AMI) *	90,450	103,350	116,250	129,150	139,500	149,850	160,150	170,500
Median (100% AMI)	95,750	109,450	123,100	136,800	147,750	158,700	169,650	180,600
Moderate (120% AMI)	114,900	131,300	147,750	164,750	17,300	190,400	203,550	216,700

NOTES

* 2019 State Income limits provided by State of California Department of Housing and Community Development ;



VICINITY MAP

A.P.N.: 71-41-10,11,12
 ZONING: R 2
 LOT SIZE: 28,534 S.F.
 ALLOWABLE DENSITY: 28,534/3,500 PER UNIT = 8.15 (8 UNITS)
 CITY OF MENLO PARK BMR DENSITY BONUS (+1 UNIT/BMR UNIT)

EXISTING UNITS

- #661: 1,003 + GARAGE: 338 = 1,341 S.F.
- #669: 1,085 + CARPORT: 169 = 1,254 S.F.
- #675 & 679: 1,277 + GARAGE: 388 = 1,665 S.F.
- #673: 573 + GARAGE: 360 = 933 S.F.
- #685 & 687: 1,782 + GARAGES: 317 + 512 = 2,611 S.F.
- DETACHED GARAGES = 1,146 S.F.

PROPOSED UNITS

	FIRST FLOOR:	SECOND FLOOR:	TOTAL:	BASEMENT:	TOTAL:
UNIT #1:	876 S.F.	532 S.F.	1,408 S.F.	888 S.F.	2,296 S.F.
UNIT #2:	876 S.F.	532 S.F.	1,408 S.F.	888 S.F.	2,296 S.F.
UNIT #3:	876 S.F.	532 S.F.	1,408 S.F.	888 S.F.	2,296 S.F.
UNIT #4:	890 S.F.	532 S.F.	1,422 S.F.	888 S.F.	2,310 S.F.
UNIT #5:	890 S.F.	532 S.F.	1,422 S.F.	888 S.F.	2,310 S.F.
UNIT #6:	890 S.F.	532 S.F.	1,422 S.F.	888 S.F.	2,310 S.F.
UNIT #7:	888 S.F.	537 S.F.	1,425 S.F.	753 S.F.	2,178 S.F.
UNIT #8:	888 S.F.	537 S.F.	1,425 S.F.	753 S.F.	2,178 S.F.
UNIT #9:	888 S.F.	537 S.F.	1,425 S.F.	753 S.F.	2,178 S.F.
TOTAL:	7962	4,803	12,765	7,587	20,352 S.F.

DRIVEWAYS = 9,626.00 @ 50% = 4,813
 LANDSCAPE = 15,656.4 (54.8%)
 PORCHES = 861 S.F.

LOT COV. ALLOWED: 28,534 x .35 = 9,986.9 S.F.
 PROPOSED: 8,867 = 31.2%
 F.A.L. ALLOWED: 28,534 x .40 = 11,413.5 S.F. (8 UNITS)
 PROPOSED: 11,343 = 39.7% (8 UNITS)
 F.A.L. BONUS: 11,413.6 S.F./8 UNITS = 1,426.7 S.F.
 PROPOSED: 12,765 = 44.6% (9 UNITS)
 2nd FLOOR ALLOWED: 28,534 x .15 = 4,280 S.F. (8 UNITS)
 PROPOSED: 4,271 = 14.9%
 2nd FLOOR BONUS: 4,280.1 S.F./8 UNITS = 535 S.F.
 2nd FLOOR ALLOWED WITH BONUS: 4,815.1 S.F. (16.9%)
 PROPOSED: 4,803 = 16.8% (9 UNITS)

TYPE OF CONSTRUCTION: VB OCCUPANCY GROUP: R-3, U
 THIS PROJECT SHALL COMPLY WITH 2016 CBC, CRC, CMC, CFC, CEC, CFC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.

SITE DATA

Mitigation Measure AQ-1: Comply with the following Bay Area Air Quality Management District Basic Control Measures for reducing construction emissions of PM10:

- Water all active construction areas at least twice daily, or as often as needed to control dust emissions. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever possible.
- Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e. the minimum required space between the top of the load and the top of the trailer).
- Pave, apply water twice daily or as often as necessary, to control dust, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites.
- Sweep daily (with water sweepers using reclaimed water if possible), or as often as needed, with water sweepers all paved access roads, parking areas and staging areas at the construction site to control dust.
- Sweep public streets daily (with water sweepers using reclaimed water if possible) in the vicinity of the project site, or as often as needed, to keep streets free of visible soil material.
- Hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
- Limit vehicle traffic speeds on unpaved roads to 15 mph.
- Replant vegetation in disturbed areas as quickly as possible.
- Install sandbags or other erosion control measures to prevent silt runoff from public roadways.

"Prior to issuing building permit, the Project application shall clearly identify on the plans or in written documentation compliance with each applicable General Plan policy."

Nine (9) New SFD's:

1. Install a NFPA 13-D fire sprinkler system for each residence under separate fire permit. Plans illustrate these homes will be under 3,600 square feet, therefore a 2-head calculated sprinkler system design will be accepted. Fire sprinkler system to comply with Menlo Park Fire Protection District Standards.
2. Residential fire sprinkler shall have an interior alarm, activated by the flow switch that is audible in all sleeping areas.
3. Fire flow data from Cal-Water Services to be provided at time of deferred submittal for the fire suppression system.
4. Install smoke detectors in each sleeping area and the area outside sleeping areas. Install carbon monoxide detector outside sleeping areas. Smoke and carbon monoxide detectors shall be hardwired and inter-connected for alarm.
5. The applicant shall provide at least 4 inch tall with 1/2 inch stroke illuminated address numbers. The address shall be visible from the street and contrasting to its background. Address numbers shall be maintained.
6. Approved plans and approval letter must be on site at the time of inspection.
7. Final acceptance of this project is subject to field inspection.

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

RICHARD A. HARTMAN
 A.T.A.
 488995-J4896
 HometecArch@gmail.com

HOMETEC
 ARCHITECTURE, INC.
 555 #B MERIDIAN AVE. SAN JOSE, CA 95126

NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1" = 10'-0"
Drawn	RAH
Job	19-002
Sheet	A-1
of	Sheets

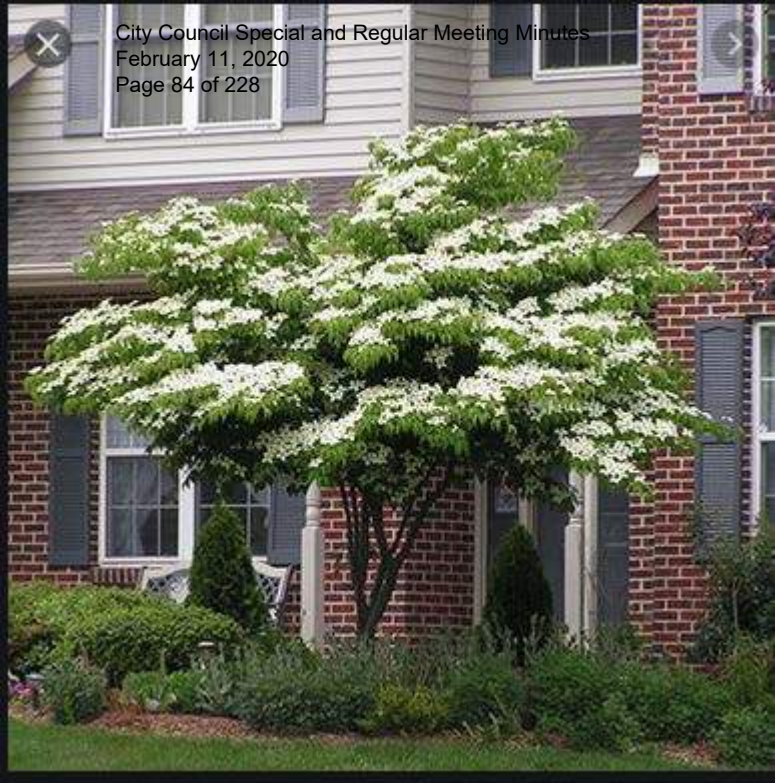






**CREeping FIG - a robust
evergreen choice for fences**

City Council Special and Regular Meeting Minutes
February 11, 2020
Page 84 of 228





Emerald carpet is for the lawn lovers. It needs lawn water and almost lawn care. It does tolerate drip.



NINE NEW HOUSES FOR:

GoldSilverIsland, LLC

661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

CIVIL ENGINEER
 Green Civil Engineering
 Ambrose Wong
 204 E 2nd Avenue, Suite 820
 San Mateo, CA 94401
 510-368-9863
 green-eng@hotmail.com

LANDSCAPE ARCHITECT
 Mara Young
 650-327-2644
 marayoung@gmail.com

OWNER
 Goldsilverisland Properties, LLC
 Ying-Min Li
 577 Salmar Avenue, Suite 107
 Campbell, CA 95008
 yingminli@hotmail.com
 408-896-3369

ARCHITECT
 HOMETEC Architecture, Inc.
 Richard A. Hartman, AIA
 555-B Meridian Avenue
 San Jose, CA 95126
 408-995-0496
 hometecarch@gmail.com

SOILS ENGINEER
 CAPEX Engineering
 Gary Hsu, PE
 POB 14198
 Fremont, CA 94539
 510-668-1815
 capexinc888@gmail.com

ARBORIST
 Kieilty Arborist Services
 Kevin R. Kieilty
 POB 6187
 San Mateo, CA 94403
 650-515-9783
 kkarbor0486@yahoo.com

SURVEYOR
 WILSON LAND SURVEYS
 Ken Wilson, LLS
 408-427-2279
 Kenw@wilsonlandsurveys.com

SHEET INDEX

T-1	TITLE SHEET
T-2	ARBORIST REPORT
T-3	SITE AREA PLAN
T-4	STREET SCAPE
D-1	EXISTING SITE, DEMOLITION PLAN
D-2	661 EXISTING FLOOR PLAN, ELEVATIONS
D-3	669 EXISTING FLOOR PLAN, ELEVATIONS
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NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	T-1
of	Sheets

Kiely Arborist Services LLC
 Certified Arborist WE#0476A
 P.O. Box 6187
 San Mateo, CA 94403
 650-515-9783

March 14, 2019 revised December 4, 2019

GoldSilverland Homes, LLC
 Attn: Mr. Ying-Min Li
 43575 Mission Blvd, suite 359
 Fremont, CA, 94539

Site: 661-687 Partridge, Menlo Park, CA

Dear Mr. Ying-Min Li,

As requested on Thursday, March 14, 2019, I visited the above site to inspect and comment on the trees. New homes are planned for the site and your concern as to the future health and safety of the trees has prompted this visit. Site Plan A-1 dated March 14, 2019 was reviewed for this report.

Method:

All inspections were made from the ground; the tree was not climbed for this inspection. The tree in question was located on a map provided by you. The tree was then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The tree was given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1 - 29	Very Poor
30 - 49	Poor
50 - 69	Fair
70 - 89	Good
90 - 100	Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

661-687 Partridge/3/14/19 (2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1P	Southern magnolia (<i>Magnolia grandiflora</i>)	24.1	65	30/35	Good vigor, fair form, in 4 foot wide planting strip.
2P	Southern magnolia (<i>Magnolia grandiflora</i>)	26.5	60	30/35	Good vigor, fair form, trimmed for line clearance.
3P	Southern magnolia (<i>Magnolia grandiflora</i>)	29.2	55	30/35	Poor-fair vigor, fair form, sidewalk replaced.
4X	Hollywood juniper (<i>Juniperus chinensis</i>)	9.2	55	25/20	Fair vigor, poor form, poor location, close to home.
5X	Hollywood juniper (<i>Juniperus chinensis</i>)	9.9	60	25/25	Fair vigor, poor form, poor location, close to home.
6X	Hollywood juniper (<i>Juniperus chinensis</i>)	10.6	55	25/20	Fair vigor, poor form, poor location, close to home.
7X	Persimmon (<i>Diospyros virginiana</i>)	6.4	60	15/15	Good vigor, fair form, heavily trimmed.
8XP	Fig (<i>Ficus carica</i>)	17.2	60	15/20	Good vigor, fair form, heavily trimmed.
9*	Redwood (<i>Sequoia sempervirens</i>)	36	75	85/35	Good vigor, good form, 8 feet from property line. No impacts are expected.
10X	Lemon (<i>Citrus limon</i>)	10.3	50	10/15	Good vigor, fair form, topped.
11X	Lemon (<i>Citrus limon</i>)	8.4	50	10/15	Good vigor, fair form, topped, at edge of driveway.
12X	Guava (<i>Acca sellowiana</i>)	6.3	55	15/15	Good vigor, fair form, heavily trimmed.
13X	Lemon (<i>Citrus limon</i>)	5.5	65	10/15	Good vigor, fair form, Meyer lemon.
14*P	Redwood (<i>Sequoia sempervirens</i>)	30est	55	80/35	Fair vigor, fair form, 20 feet from property line. No impacts are expected.

661-687 Partridge/3/14/19 (3)

Tree#	Species	DBH	CON	HT/SP	Comments
15*	Birch (<i>Betula pendula</i>)	12	60	35/30	Good vigor, fair form, 6 feet from property line.
16*	Birch (<i>Betula pendula</i>)	10	60	35/30	Good vigor, fair form, 6 feet from property line.
17	Persimmon (<i>Diospyros virginiana</i>)	8.8	65	10/10	Good vigor, fair form, heavily trimmed.
18X	Fig (<i>Ficus carica</i>)	10.9	70	10/20	Good vigor, good form, well maintained.
19X	Apple (<i>Malus domestica</i>)	10.2	60	15/15	Good vigor, fair form, upright form.
20X	Almond (<i>Prunus amygdalus</i>)	8.2	60	6/10	Good vigor, fair form, stump sprouts.

X indicates tree to be removed P indicates protected tree, *indicates neighbor's trees

Summary:

The trees on site are a mix on non-native trees (exotics) with no native oaks on the site or near the site. The trees consist of three street trees and a large number of fruit trees. The majority of the fruit trees will be removed to facilitate the project. The Hollywood junipers are poorly formed due to their location (close to the existing homes).

The neighboring trees are a good distance from the property line and no negative impacts are expected. New patios are planned for the outer edges of the trees dripline. The excavation for the patio will be done by hand when inside the trees dripline (10xDBH). The project arborist will be on site if the roots of the neighbor's trees or the street trees are impacted. The following tree protection plan will help to reduce impacts to the retained trees.

Tree Protection Plan:

Tree Protection Zones
 Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot chain link fencing supported by metal poles or stakes pounded into the ground. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones.

661-687 Partridge/3/14/19 (4)

Root Cutting

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend fertilizing or irrigation if root cutting is significant. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Trenching

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

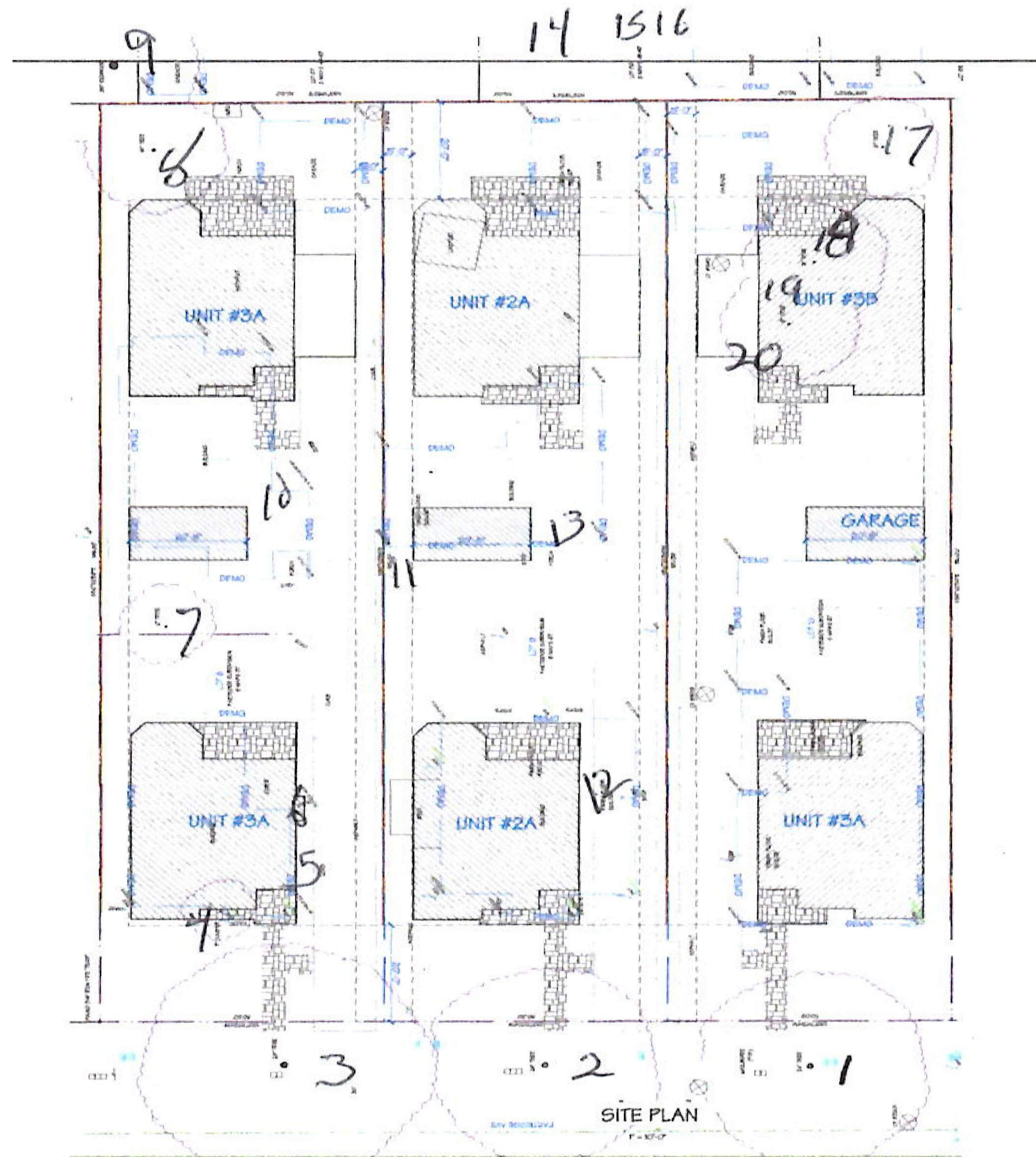
Irrigation

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kiely
 Certified Arborist WE#0476A



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PLANNING 12-18-19	
PLANNING 1-6-20	
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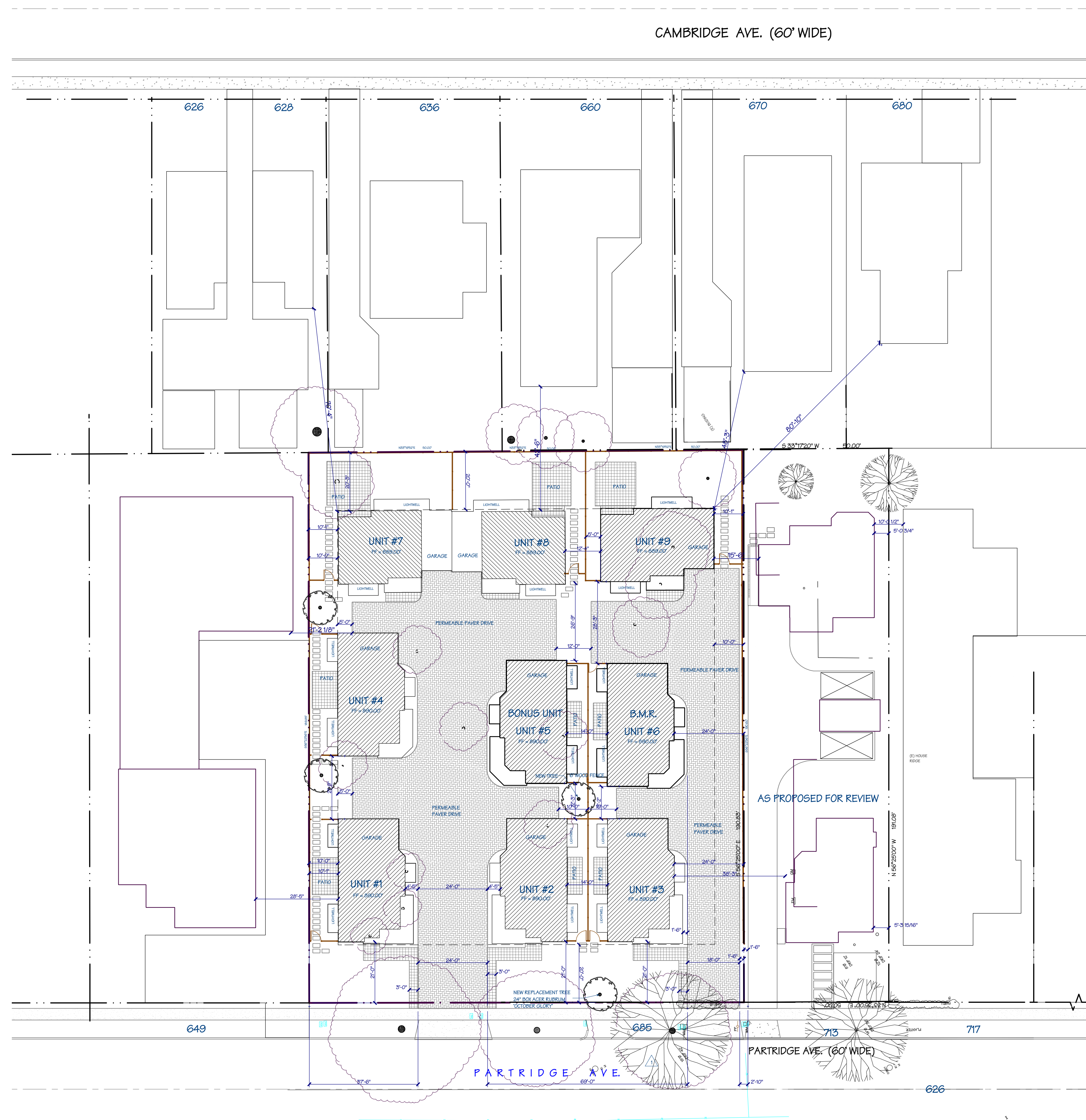
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NEW HOUSES FOR:
GoldSilverland, LLC
 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

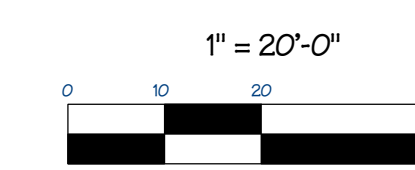
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ARBORIST REPORT

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SITE AREA PLAN



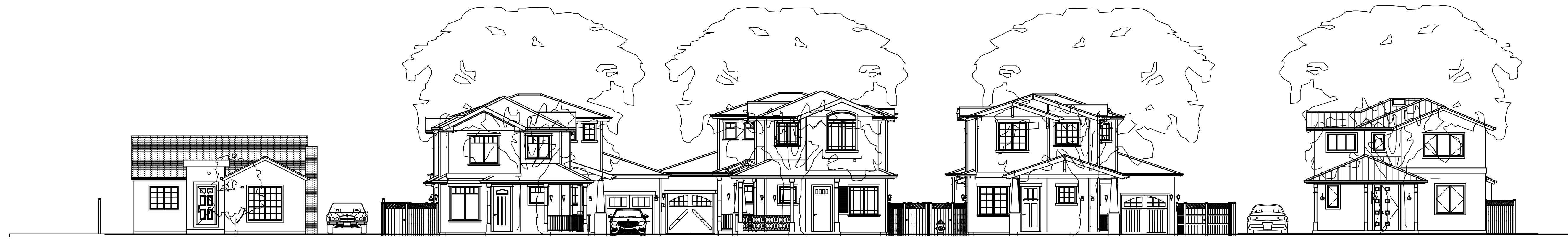
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649 DRIVEWAY SUBJECT DRIVEWAY SUBJECT DRIVEWAY DRIVEWAY 713 / 715

STREET SCAPE

PLANNING APPROVED

1" = 10'-0"



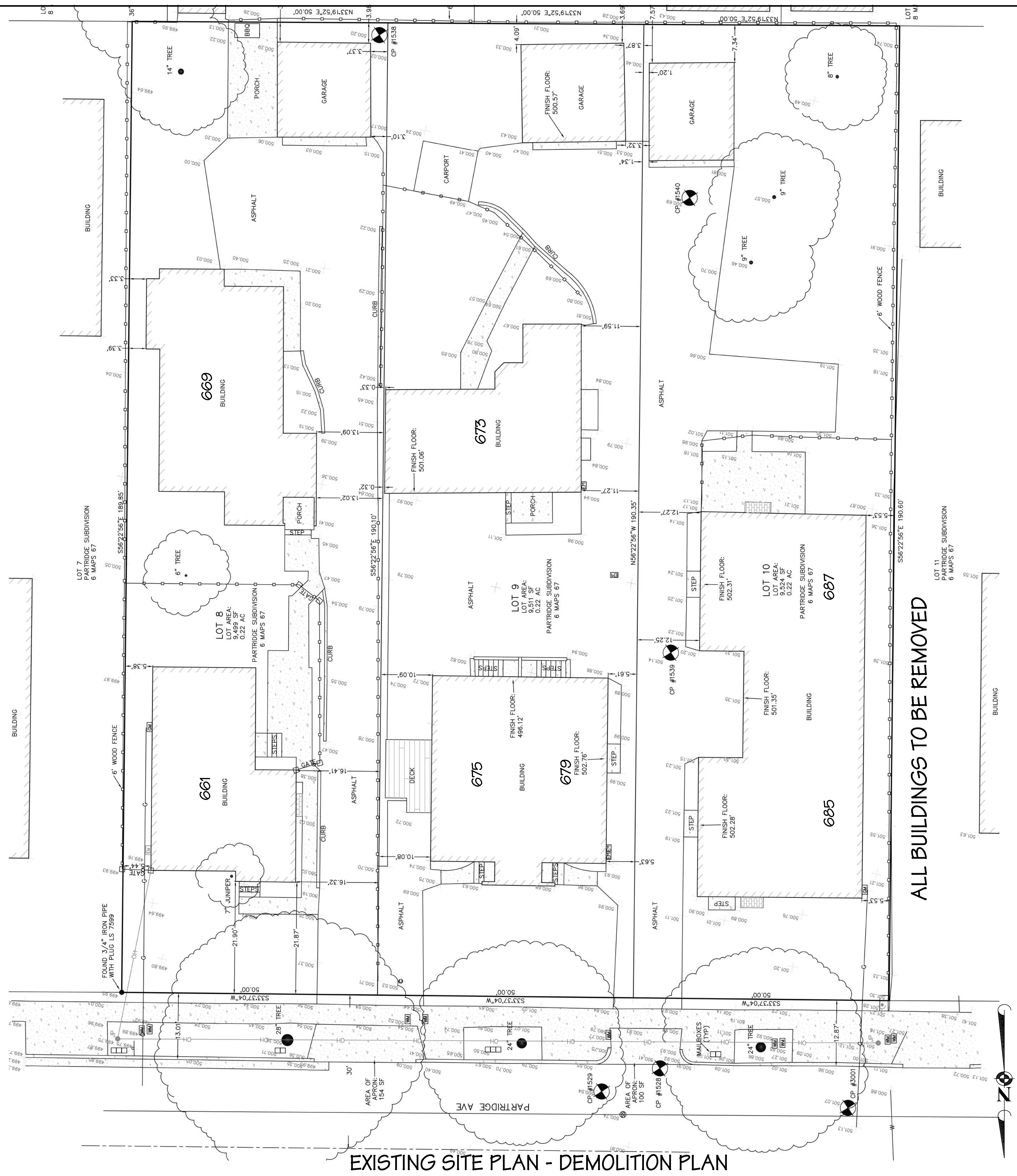
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EXISTING SITE PLAN - DEMOLITION PLAN

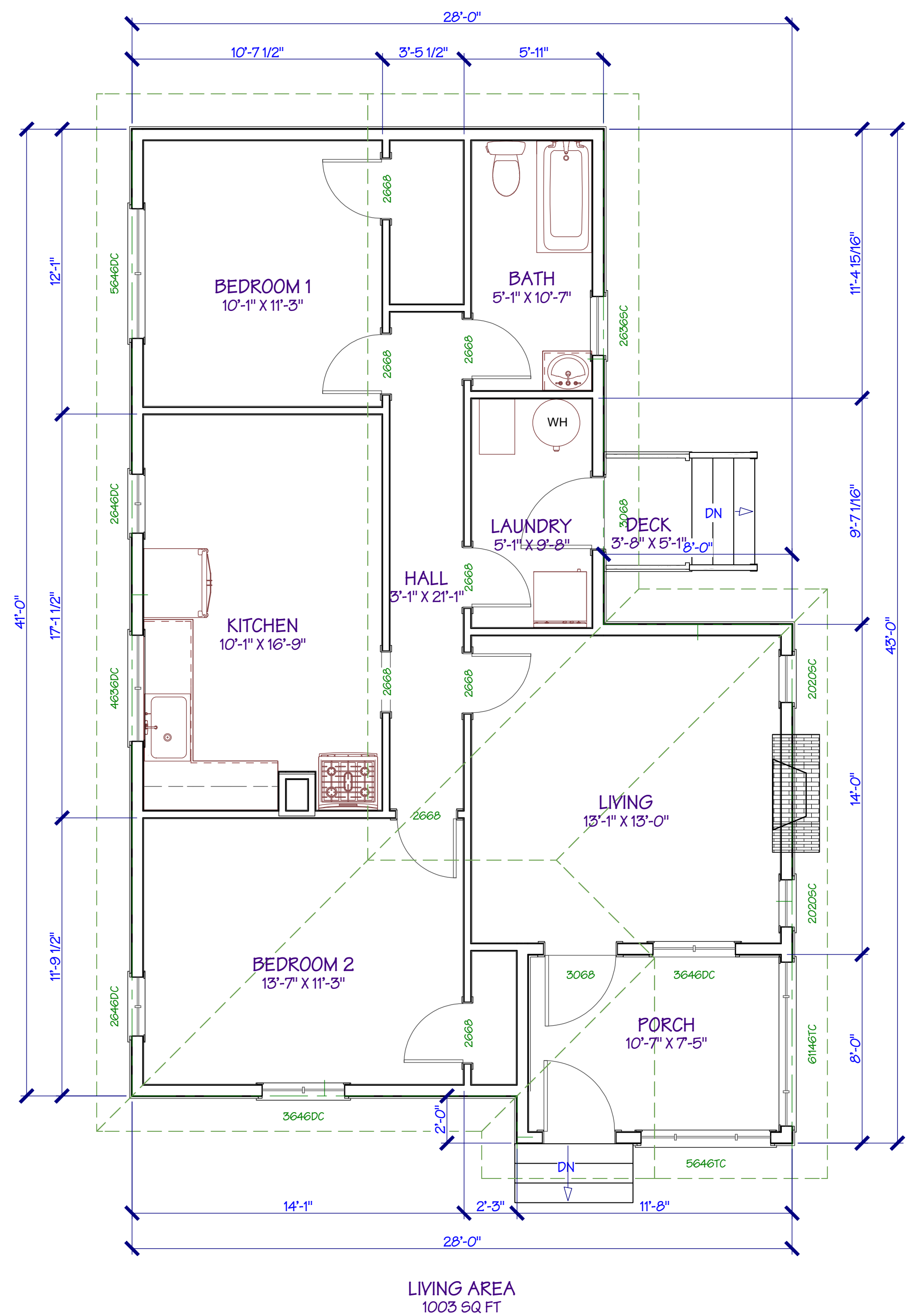
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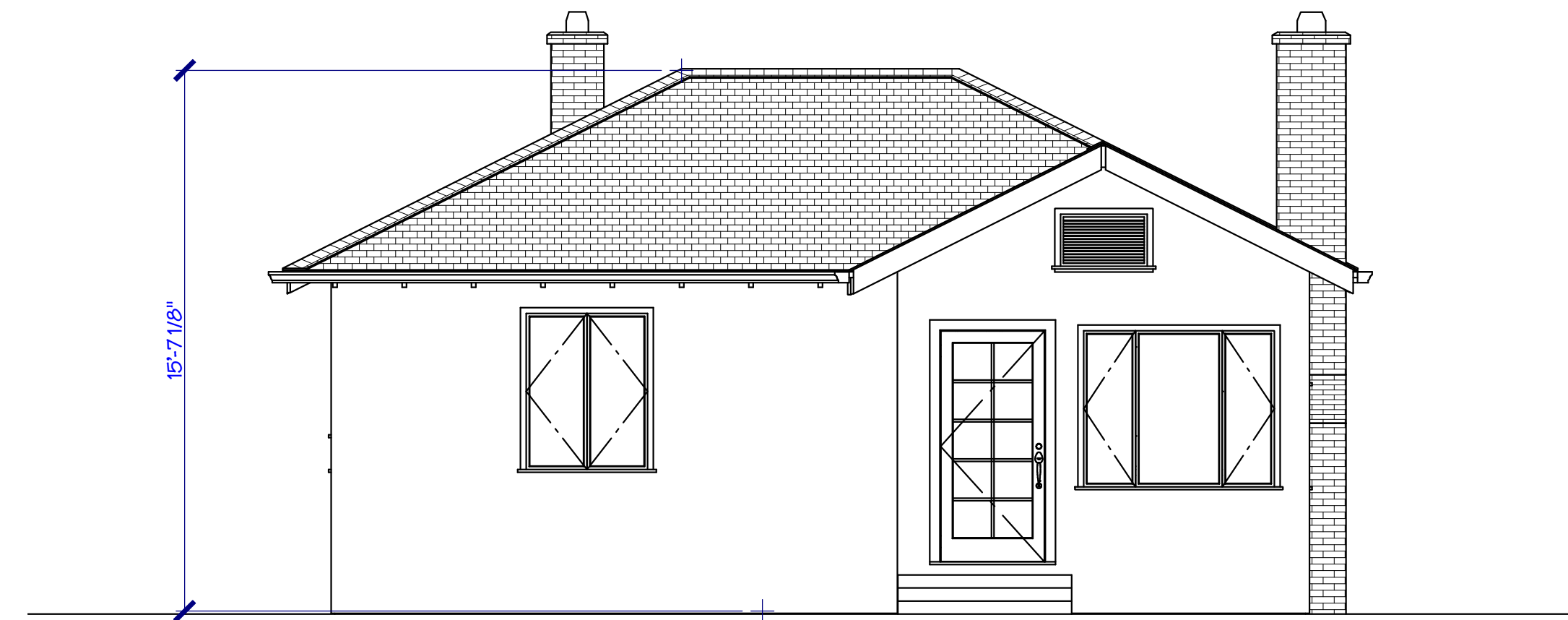
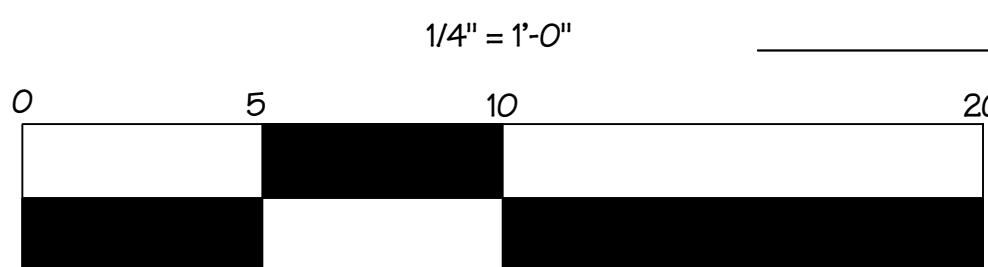
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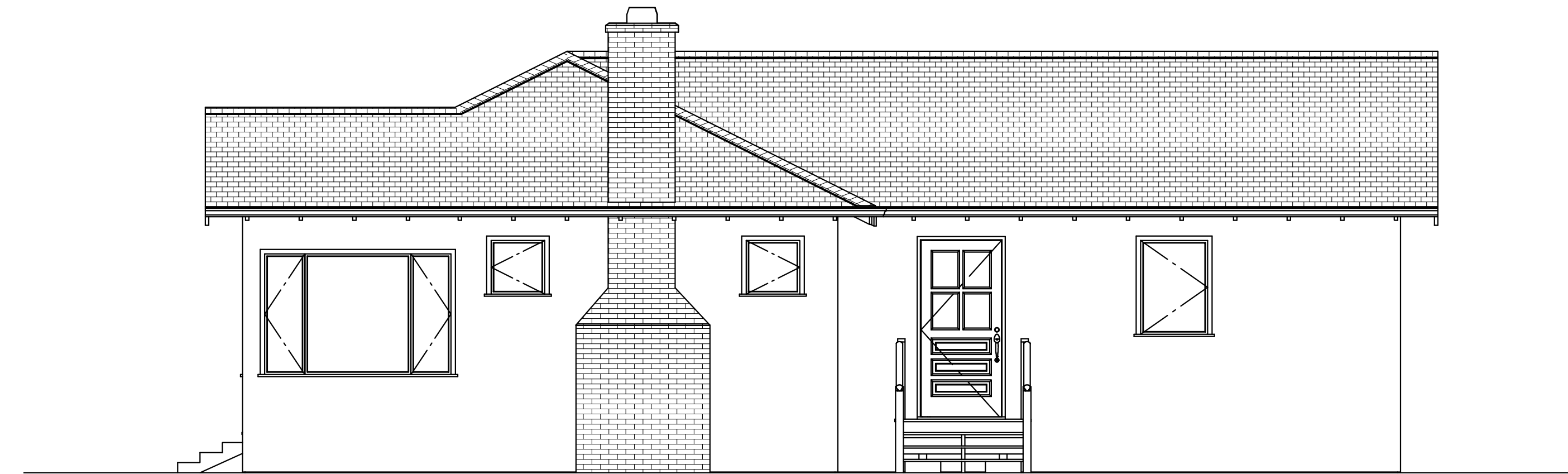
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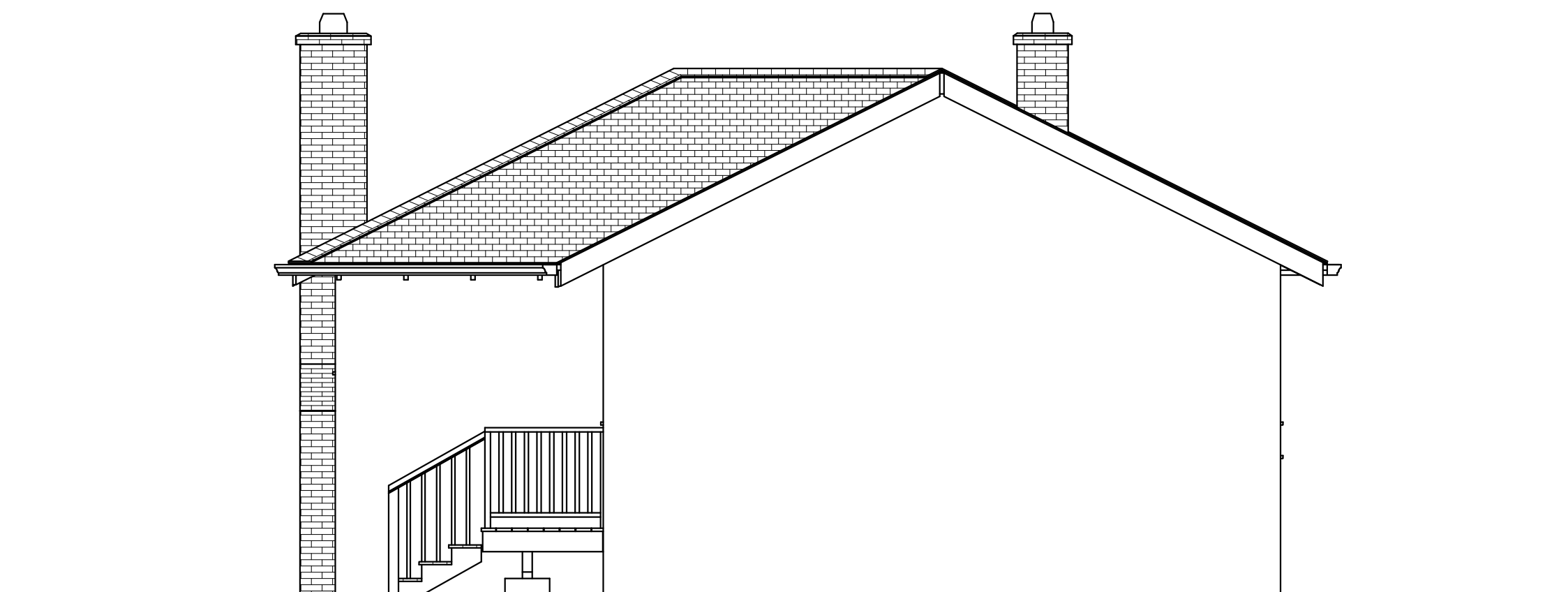
FLOOR PLAN



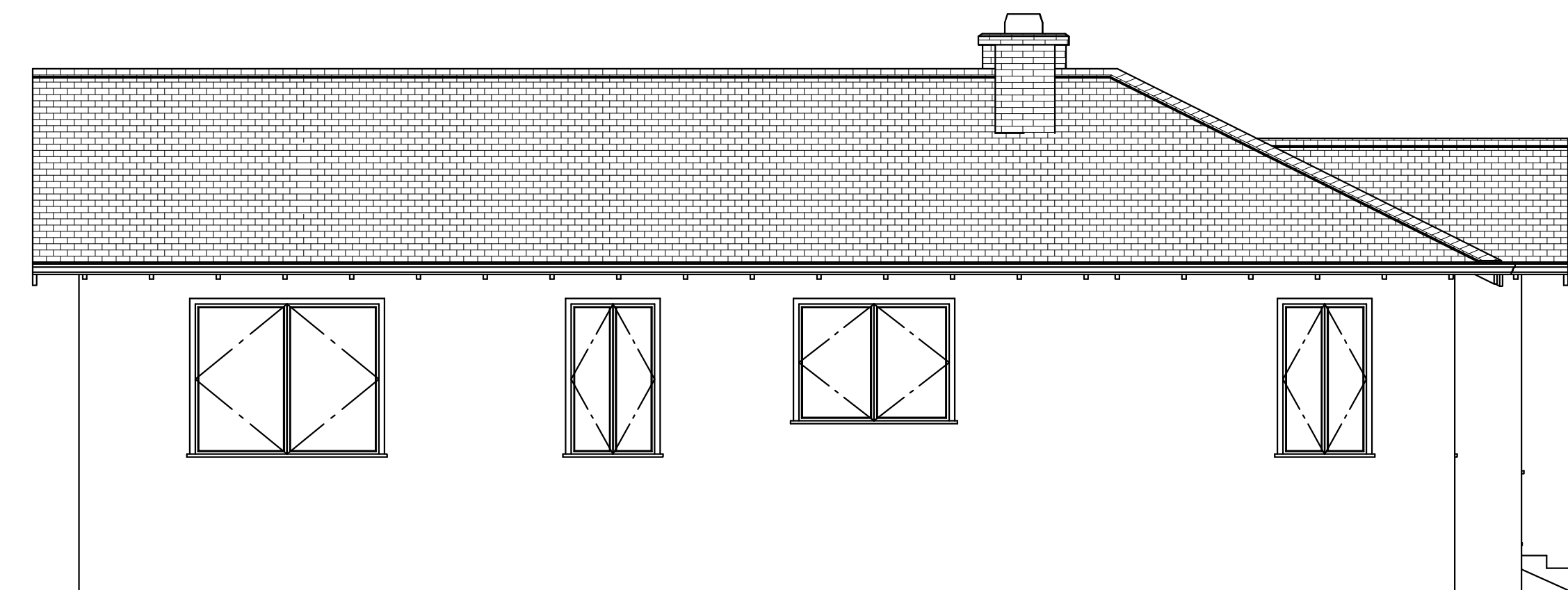
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

#661

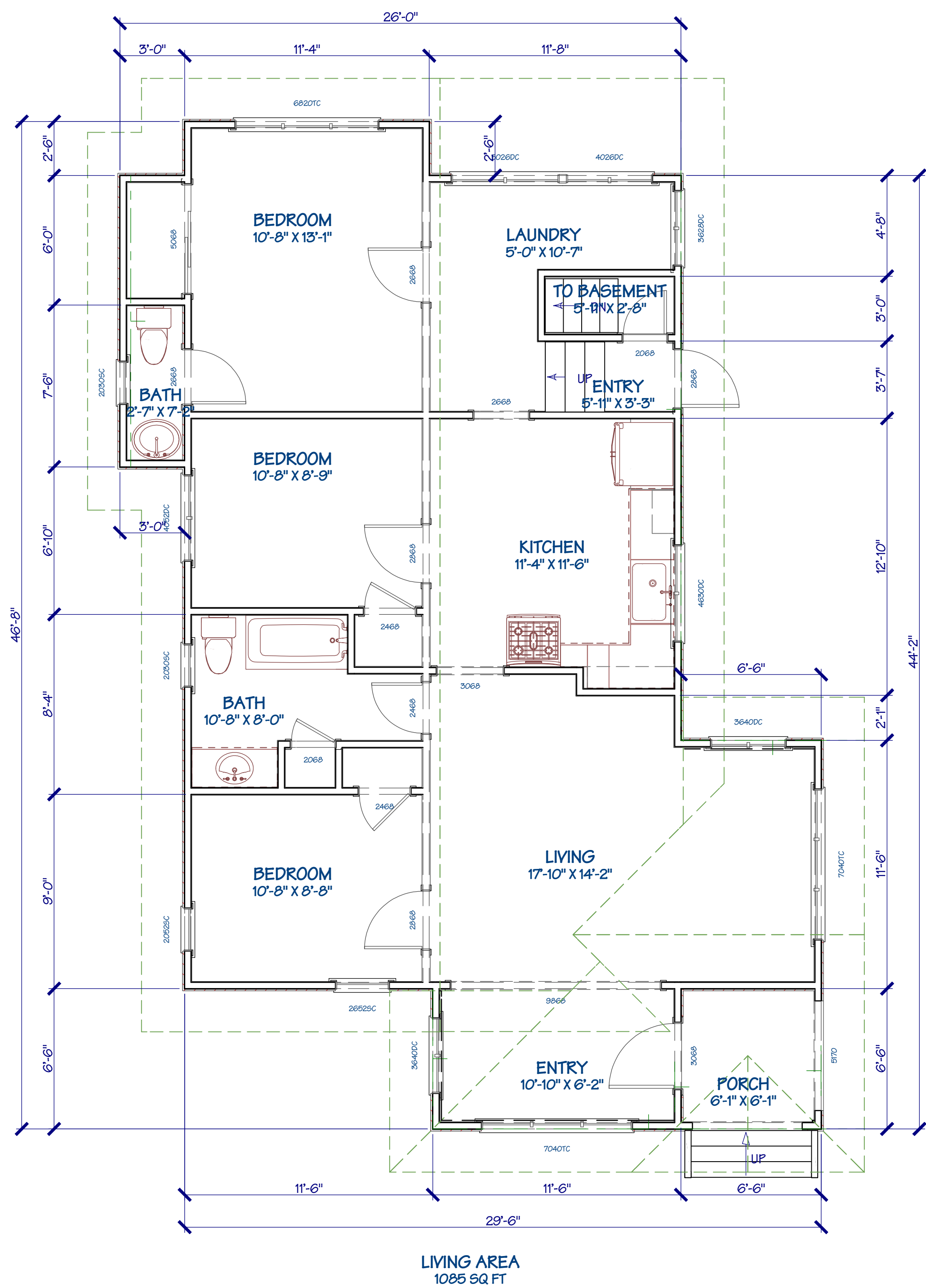
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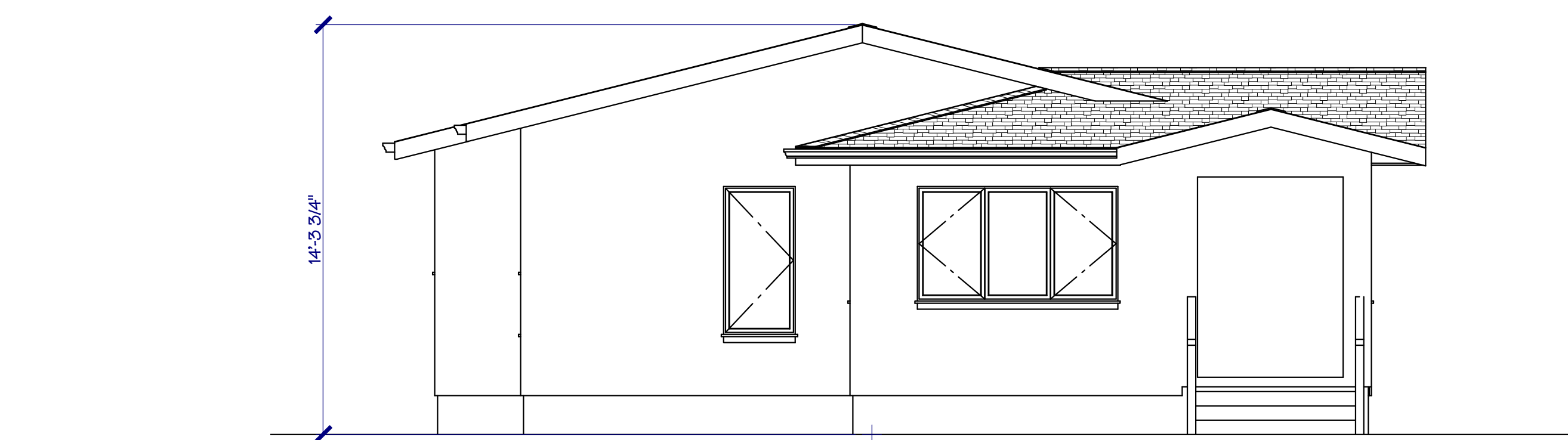
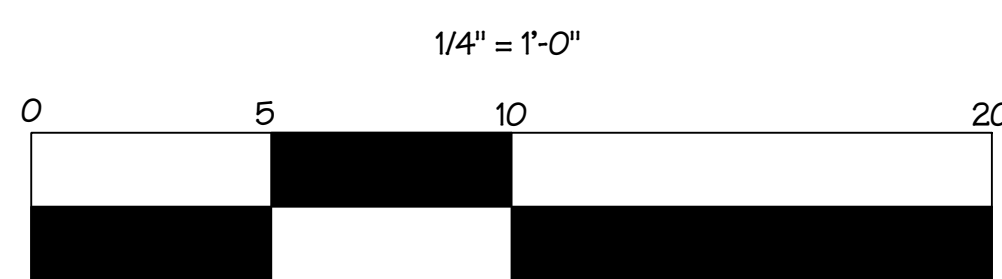
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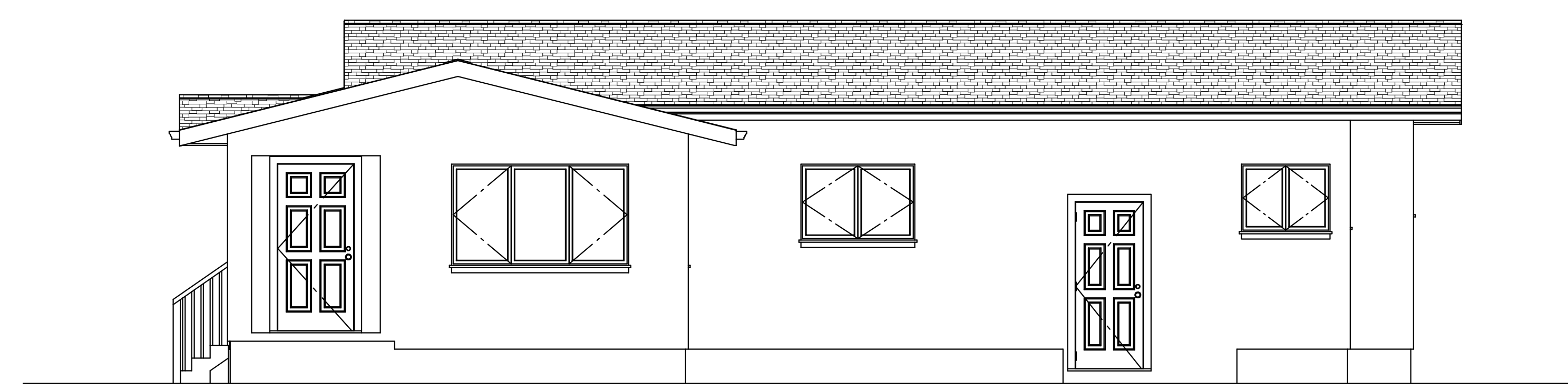


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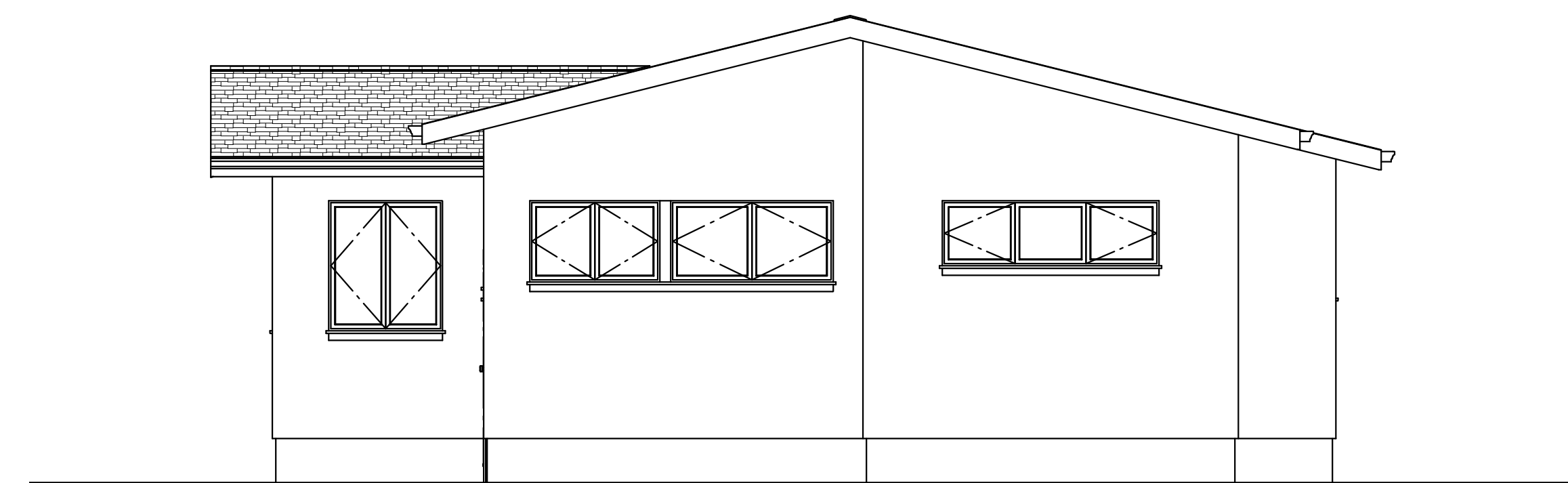
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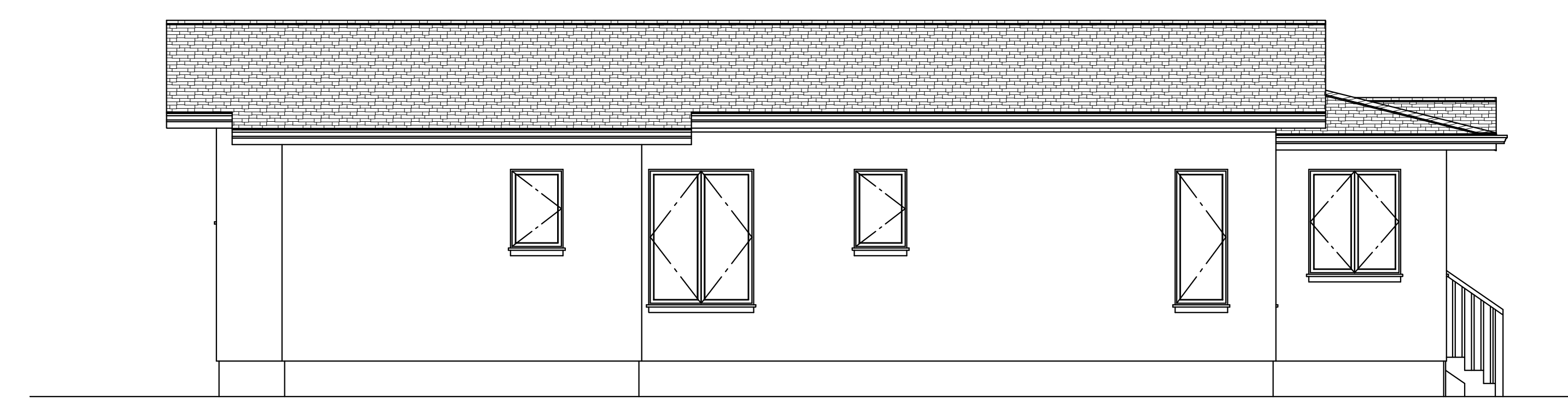
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WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

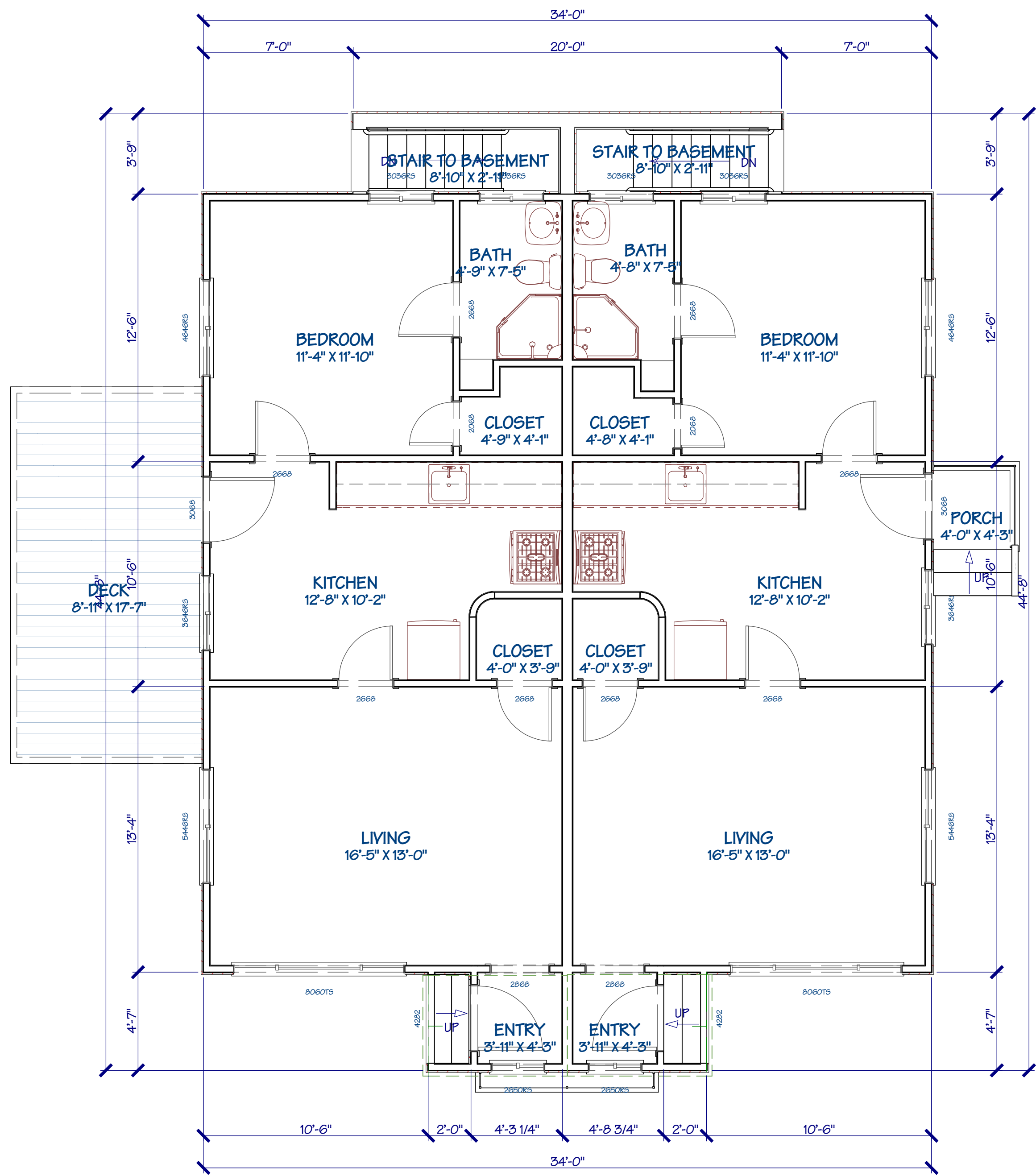
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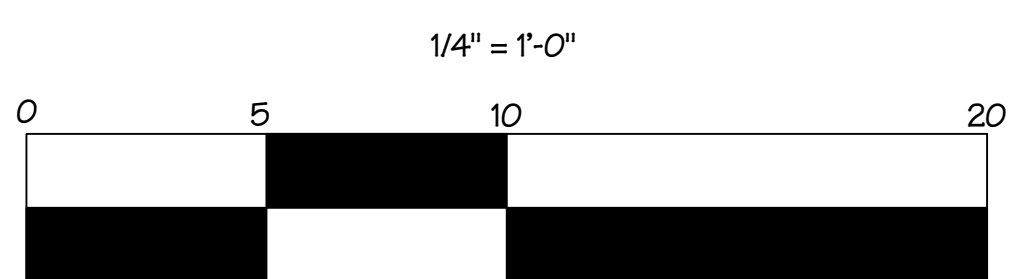
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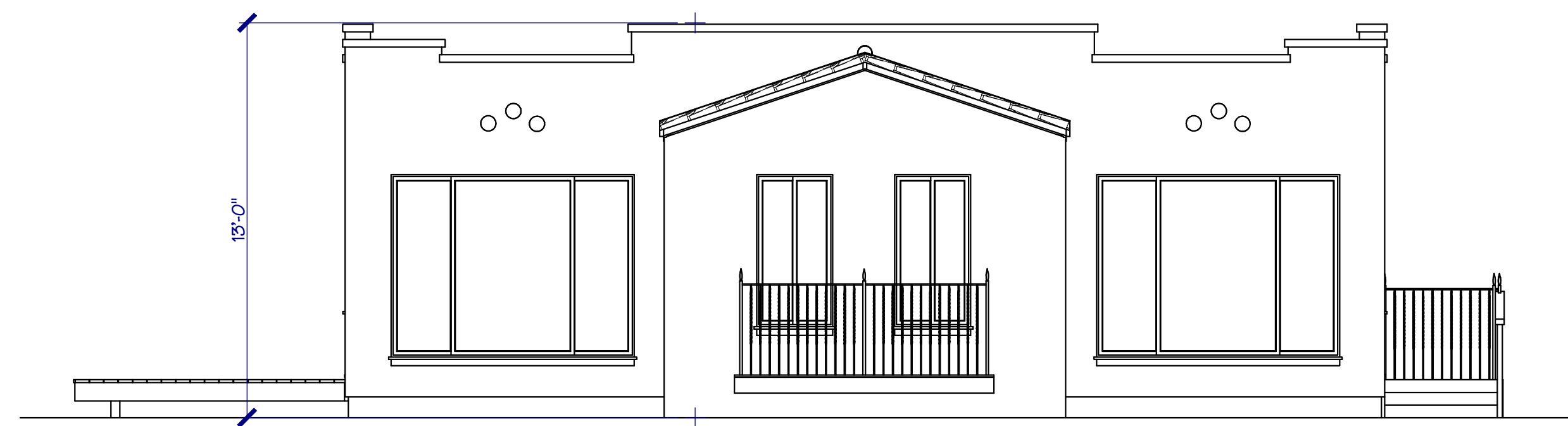


LIVING AREA
1277 SQ FT

FLOOR PLAN



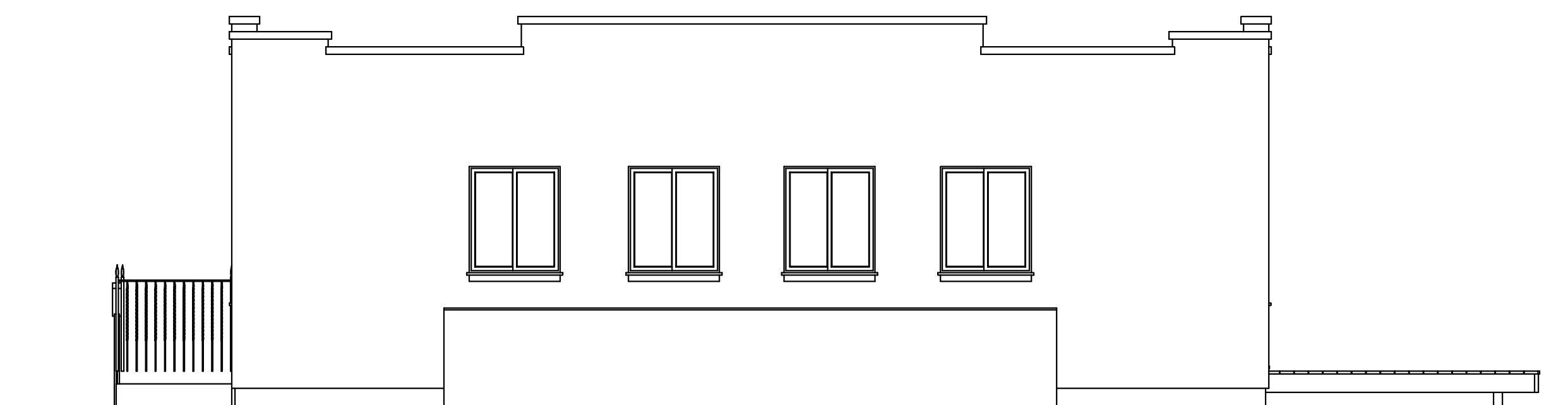
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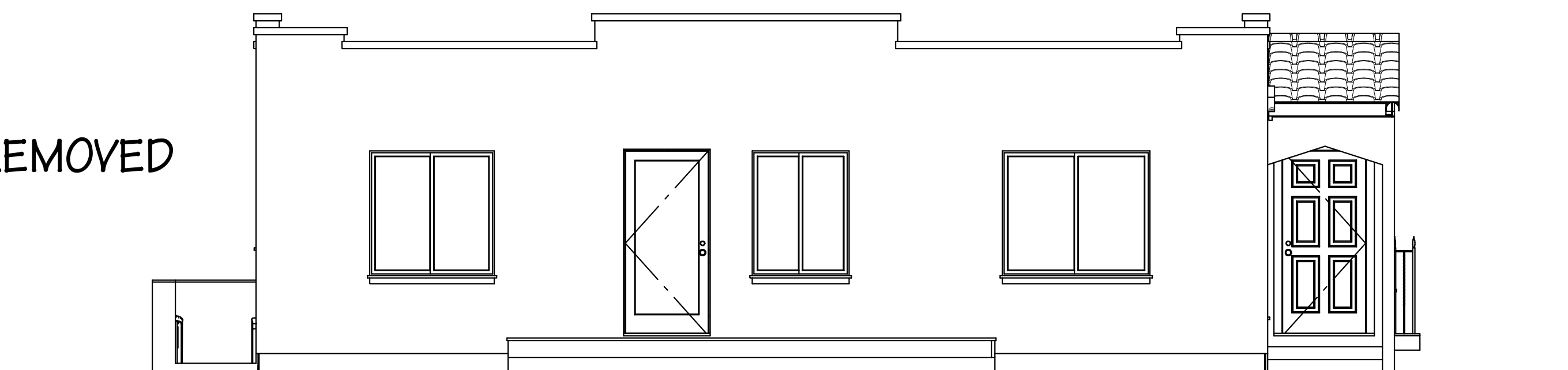
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

#675 & 679

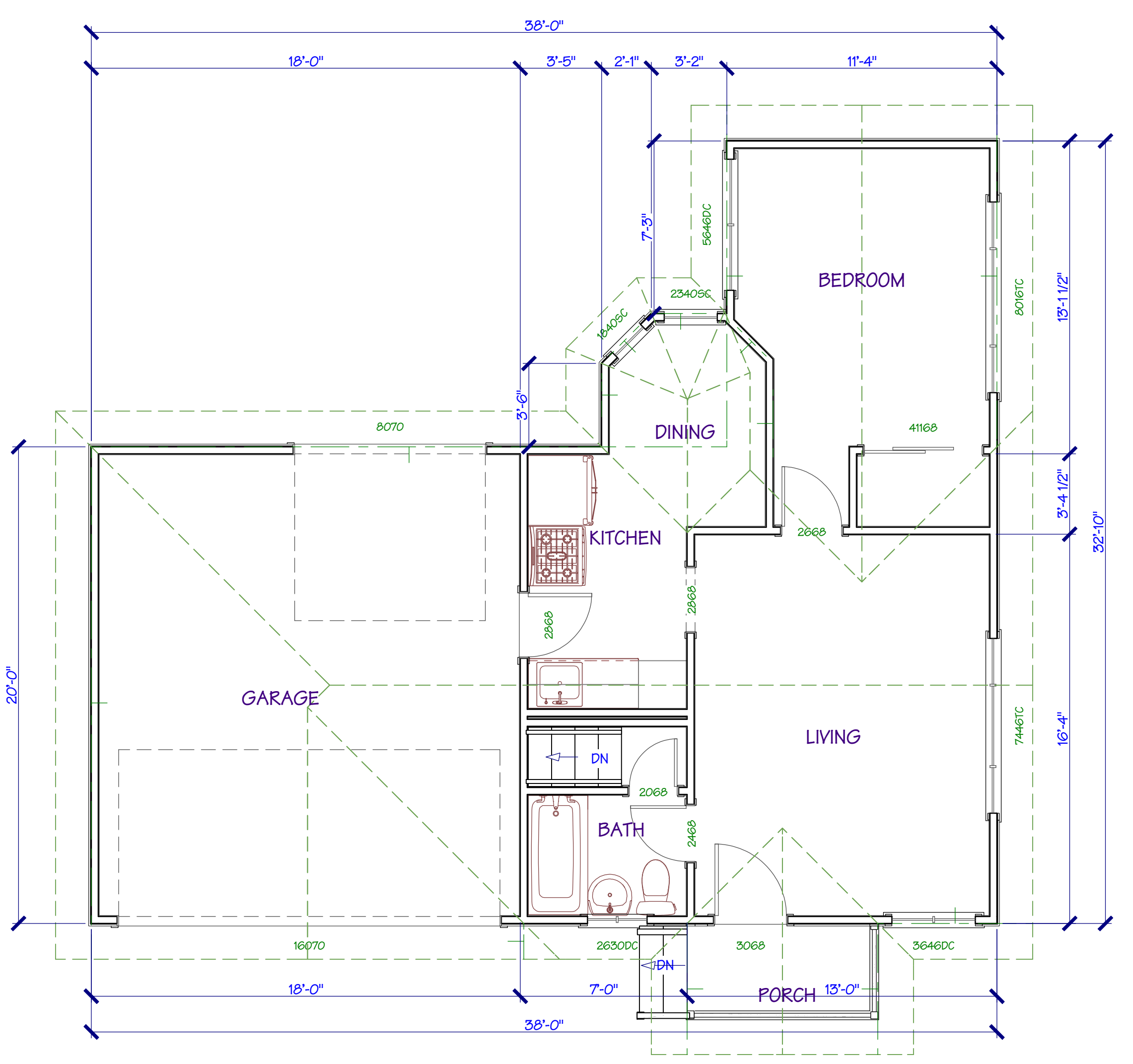
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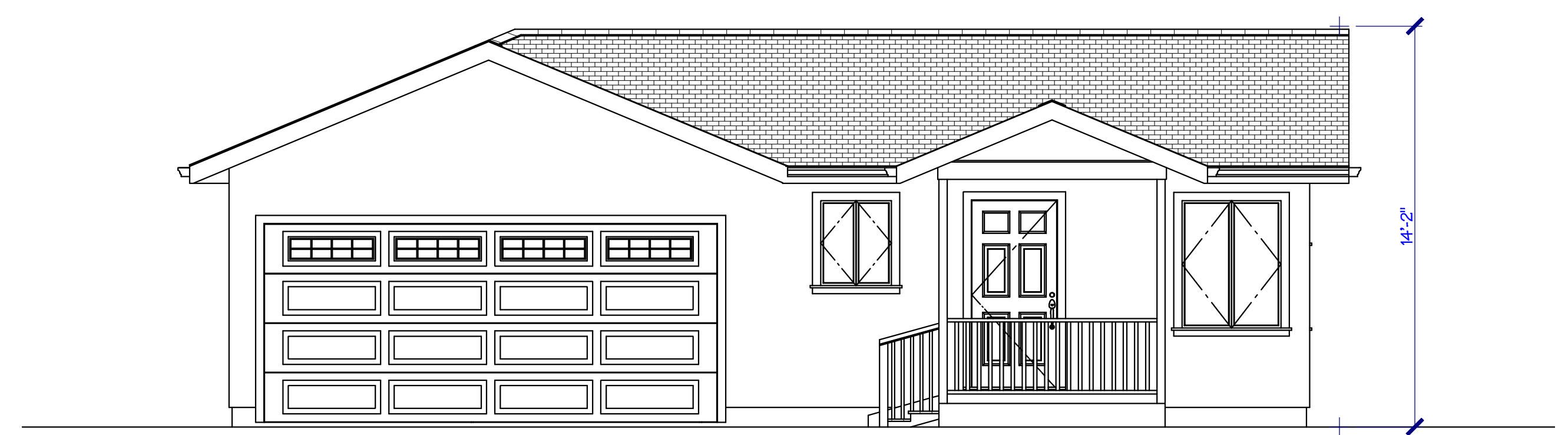
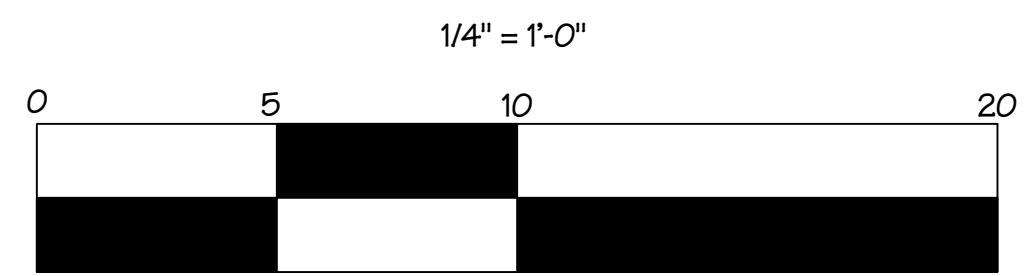
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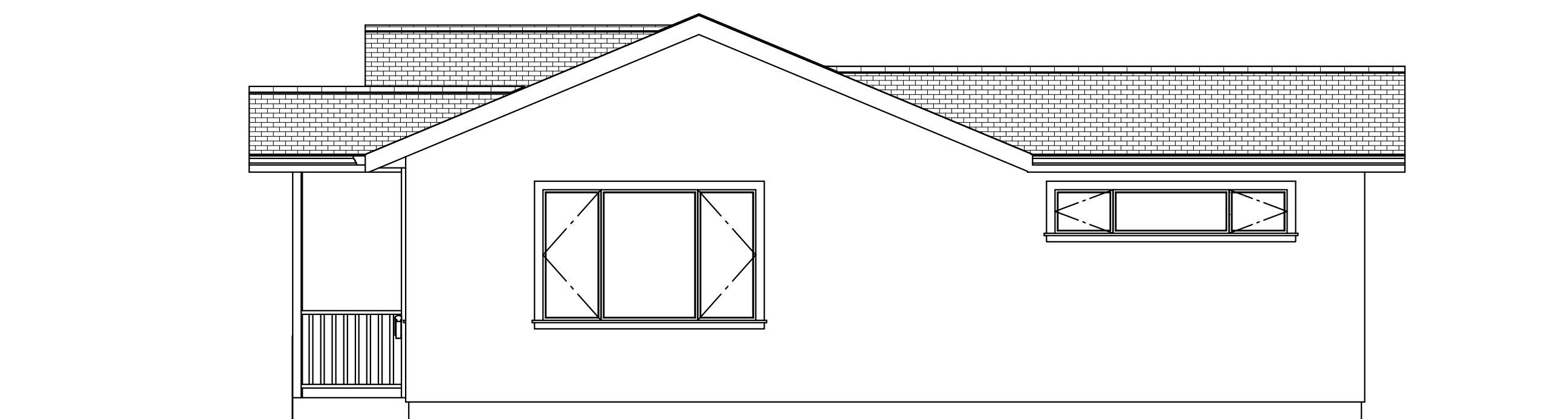
FLOOR PLAN



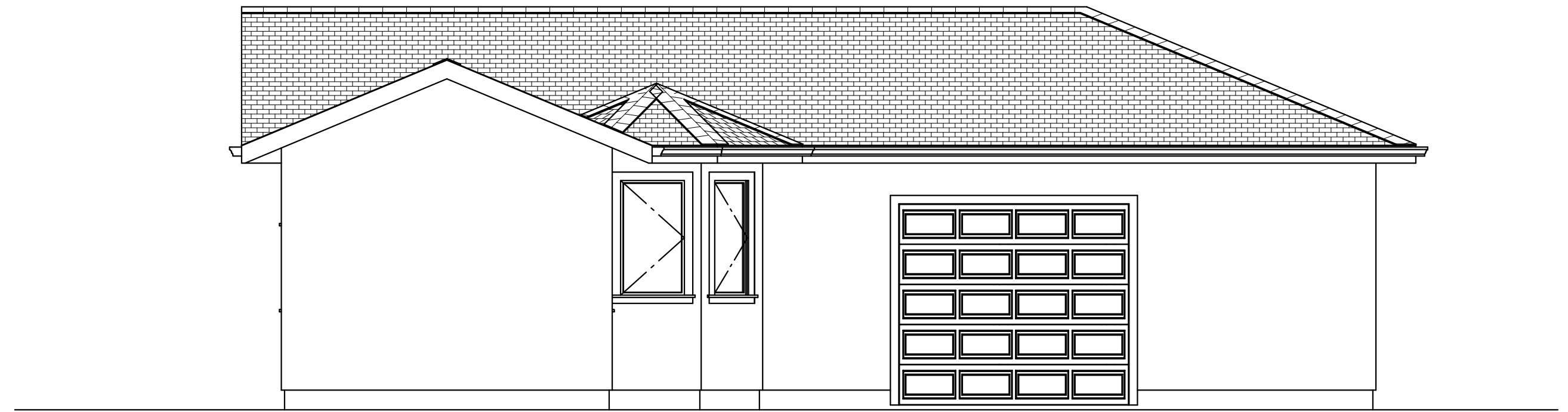
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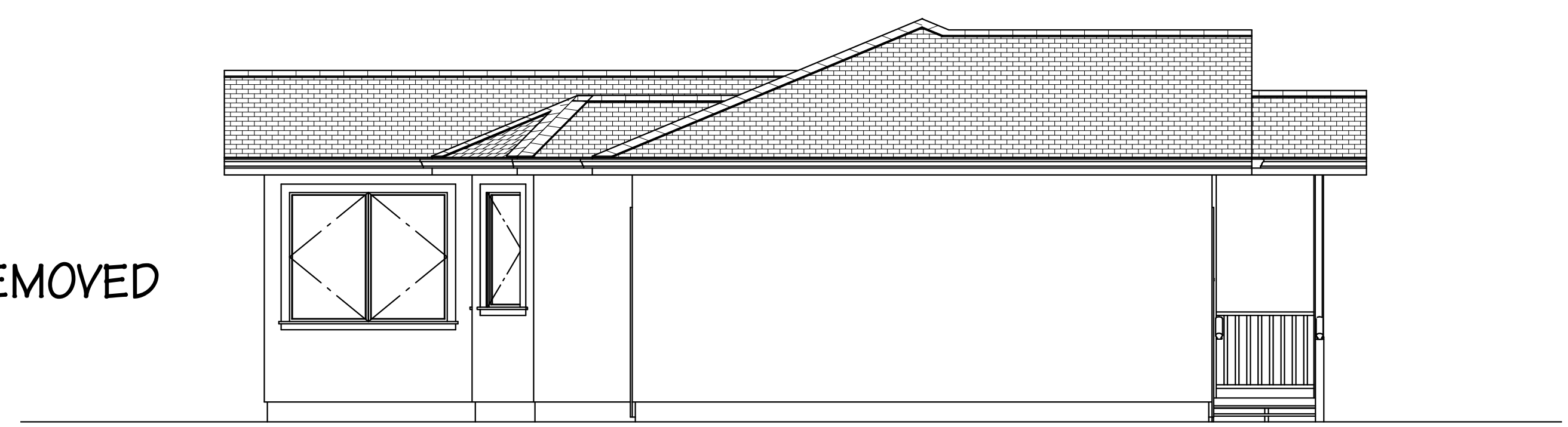
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

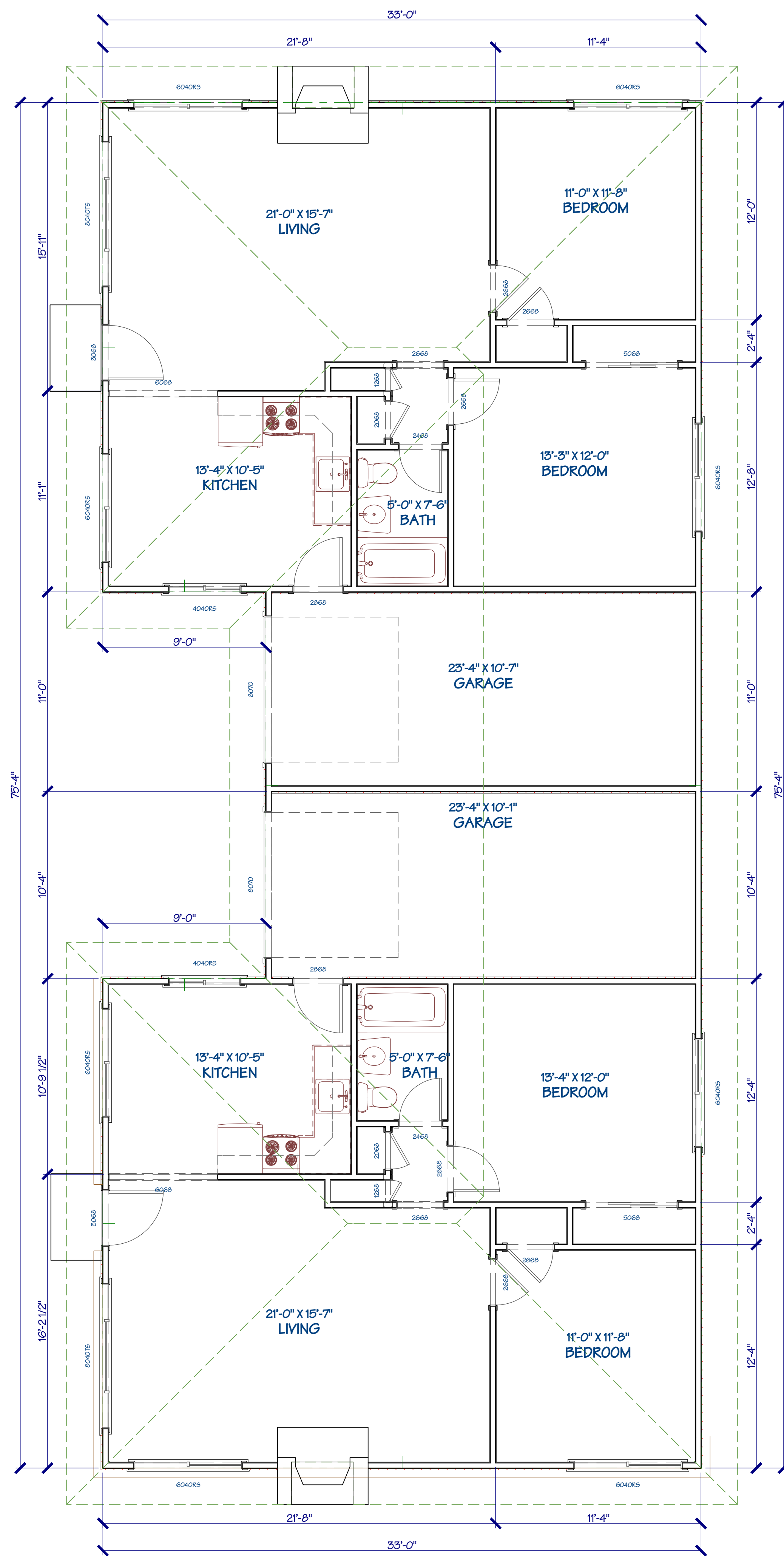
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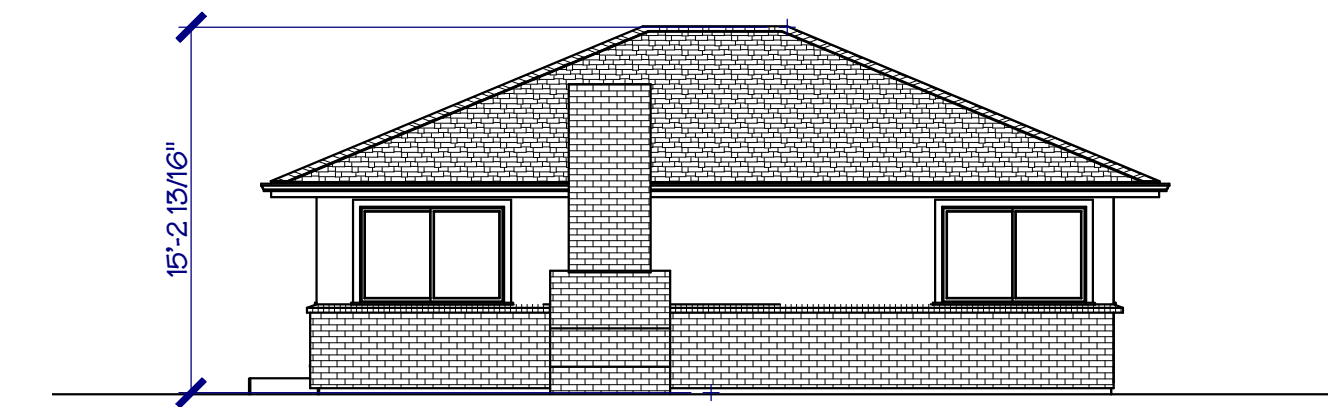
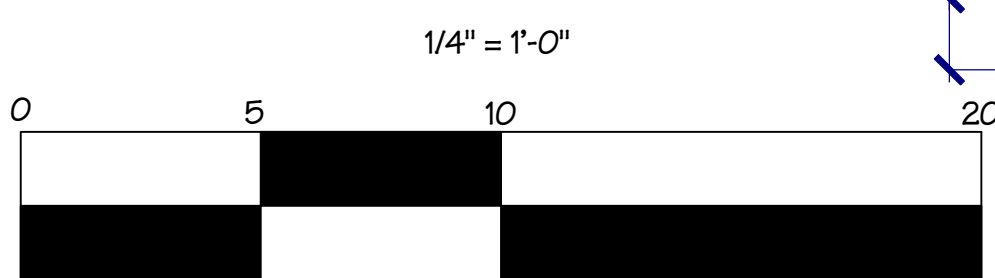
NEW HOUSES FOR:
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 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

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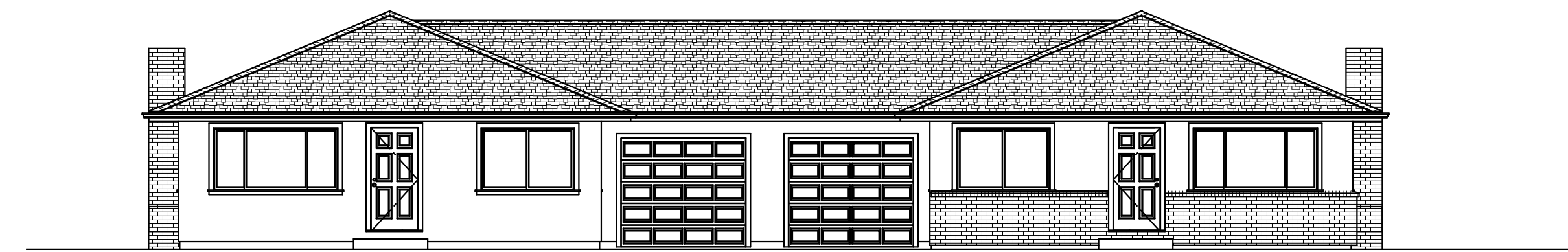


1782 SQ FT
 LIVING AREA
FLOOR PLAN

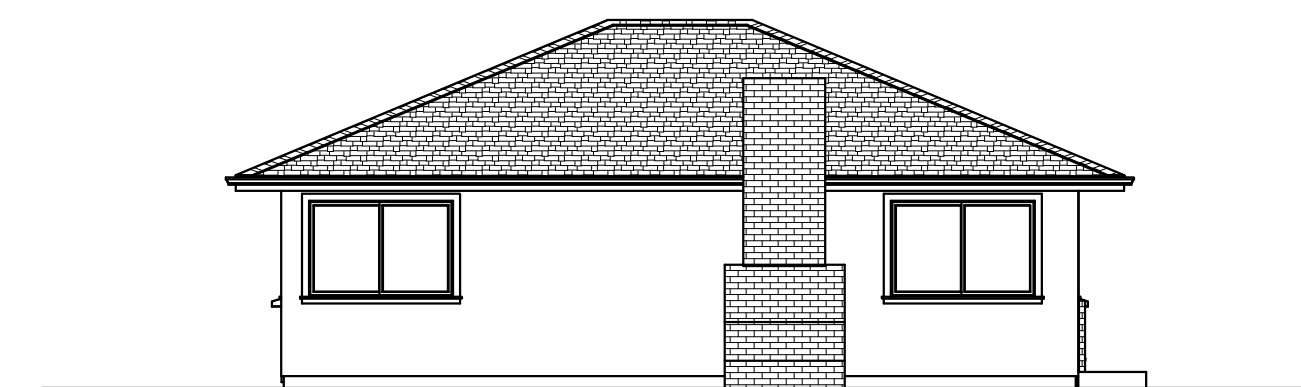
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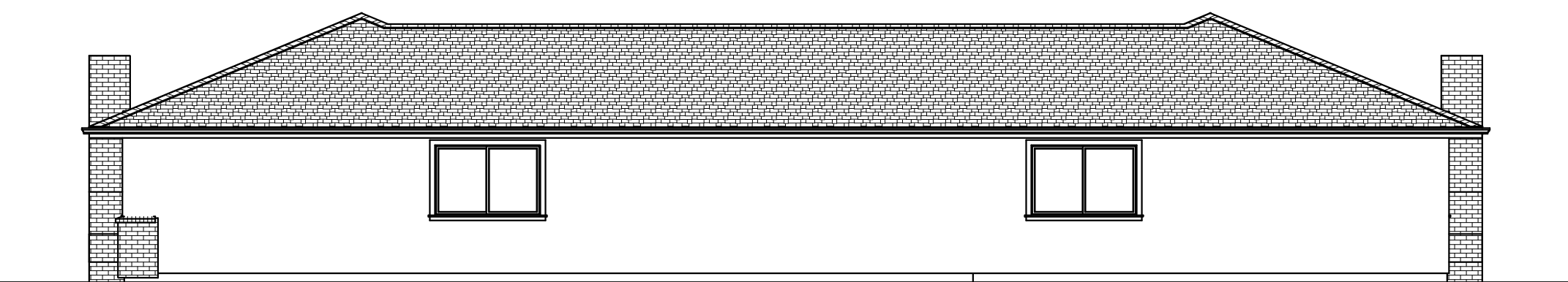
NORTH ELEVATION



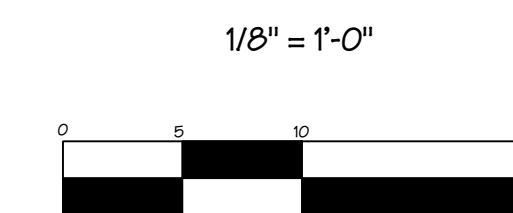
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



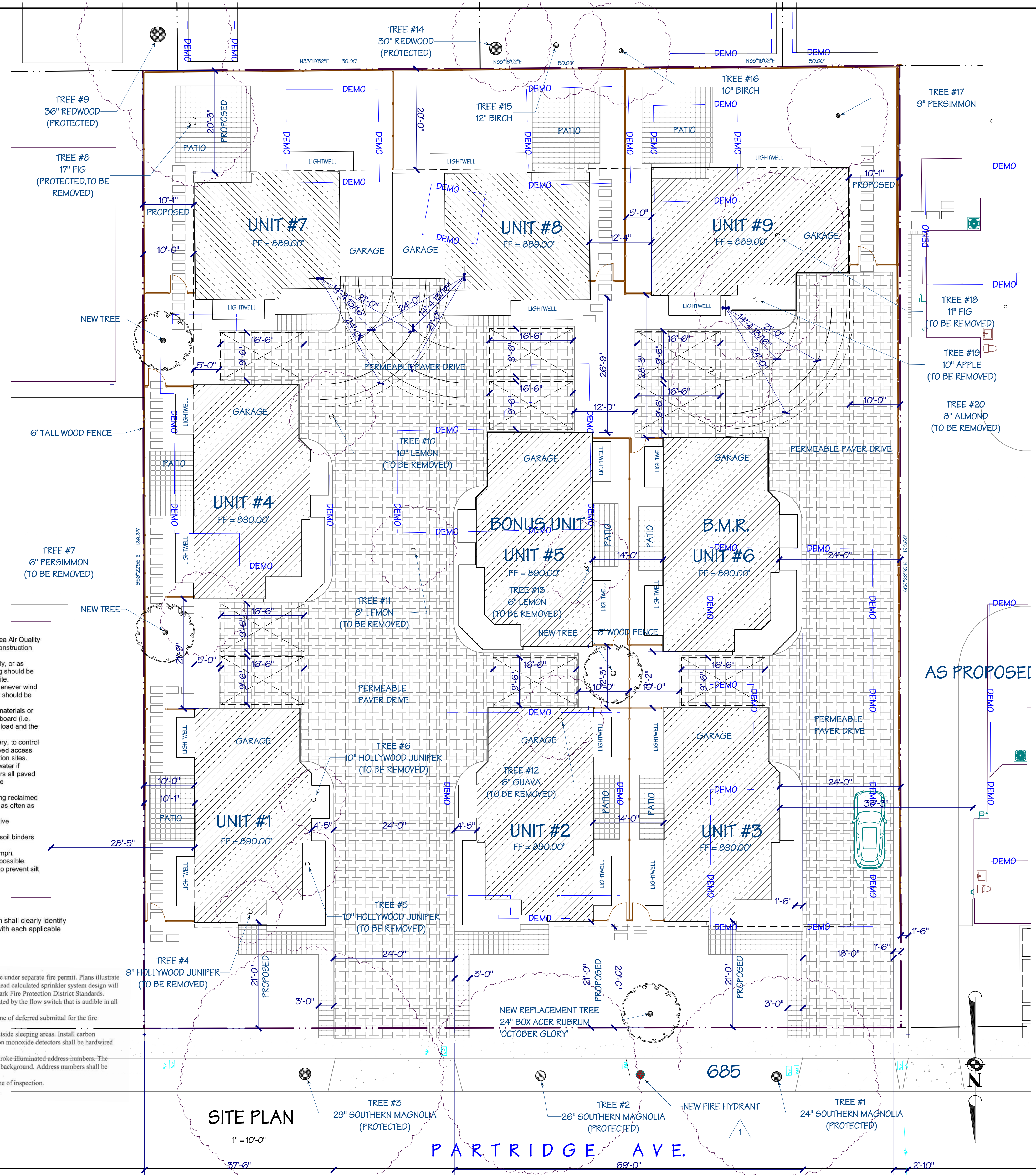
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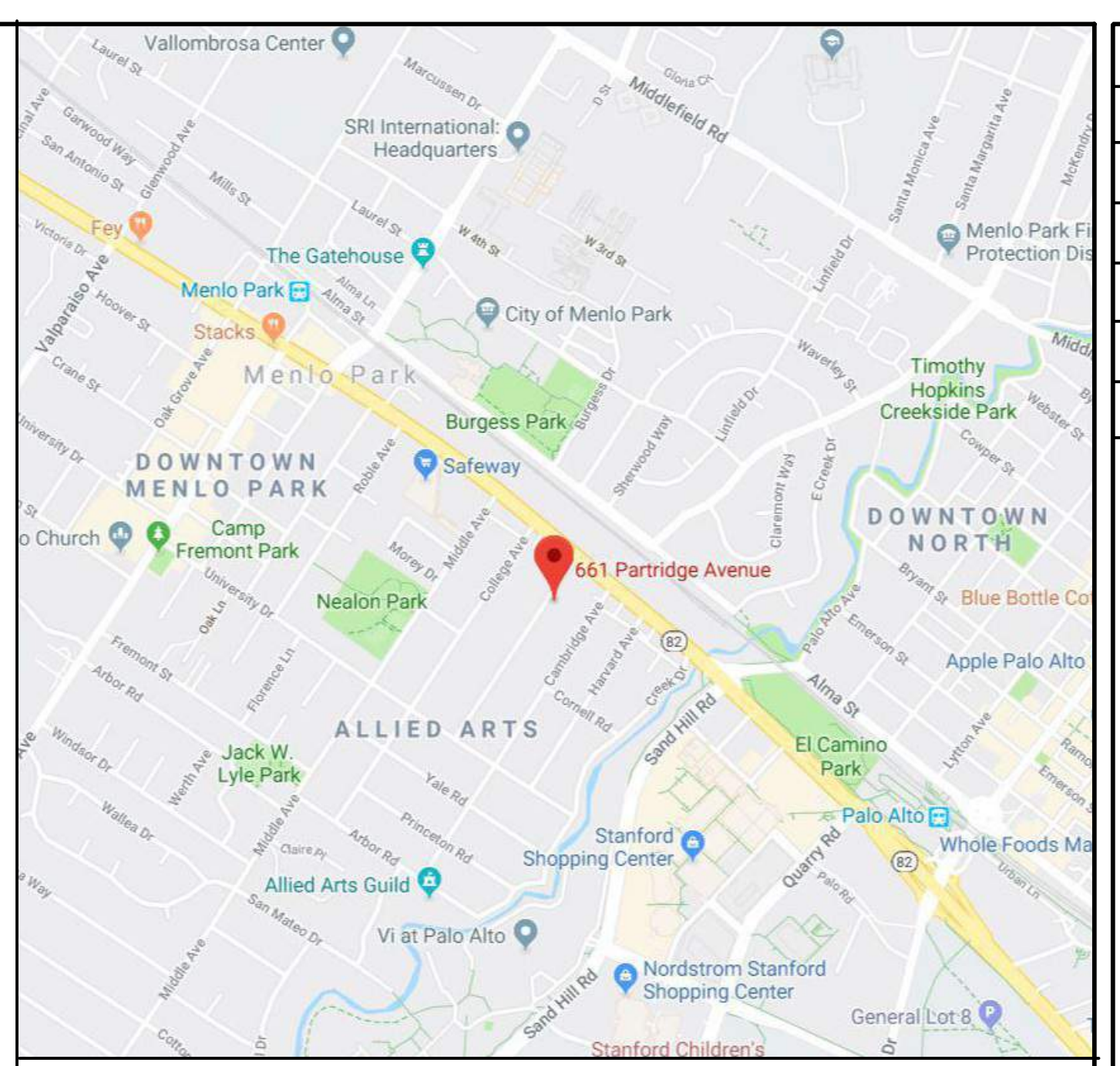
Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	D-6
of	Sheets



- Mitigation Measure AQ-1: Comply with the following Bay Area Air Quality Management District Basic Control Measures for reducing construction emissions of PM10:
- Water all active construction areas at least twice daily, or as often as needed to control dust emissions. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever possible.
 - Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e. the minimum required space between the top of the load and the top of the trailer).
 - Pave, apply water twice daily or as often as necessary, to control dust, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites.
 - Sweep daily (with water sweepers using reclaimed water if possible), or as often as needed, with water sweepers all paved access roads, parking areas and staging areas at the construction site to control dust.
 - Sweep public streets daily (with water sweepers using reclaimed water if possible) in the vicinity of the project site, or as often as needed, to keep streets free of visible soil material.
 - Hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
 - Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
 - Limit vehicle traffic speeds on unpaved roads to 15 mph.
 - Replant vegetation in disturbed areas as quickly as possible.
 - Install sandbags or other erosion control measures to prevent silt runoff from public roadways.

"Prior to issuing building permit, the Project application shall clearly identify on the plans or in written documentation compliance with each applicable General Plan policy."

- Nine (9) New SFD's:**
1. Install a NFPA 13-D fire sprinkler system for each residence under separate fire permit. Plans illustrate these homes will be under 3,600 square feet, therefore a 2-head calculated sprinkler system design will be accepted. Fire sprinkler system to comply with Menlo Park Fire Protection District Standards.
 2. Residential fire sprinkler shall have an interior alarm, activated by the flow switch that is audible in all sleeping areas.
 3. Fire flow data from Cal-Water Services to be provided at time of deferred submittal for the fire suppression system.
 4. Install smoke detectors in each sleeping area and the area outside sleeping areas. Install carbon monoxide detector outside sleeping areas. Smoke and carbon monoxide detectors shall be hardwired and inter-connected for alarm.
 5. The applicant shall provide at least 4 inch tall with 1/2 inch stroke illuminated address numbers. The address shall be visible from the street and contrasting to its background. Address numbers shall be maintained.
 6. Approved plans and approval letter must be on site at the time of inspection.
 7. Final acceptance of this project is subject to field inspection.



VICINITY MAP

A.P.N.: 71-41-10,11,12
 ZONING: R 2
 LOT SIZE: 28,534 S.F.
 ALLOWABLE DENSITY: 28,534/3,500 PER UNIT = 8.15 (8 UNITS)
 CITY OF MENLO PARK BMR DENSITY BONUS (+1 UNIT/BMR UNIT)

EXISTING UNITS

- #661: 1,003 + GARAGE: 338 = 1,341 S.F.
- #669: 1,085 + CARPORT: 169 = 1,254 S.F.
- #675 & 679: 1,277 + GARAGE: 388 = 1,665 S.F.
- #673: 573 + GARAGE: 360 = 933 S.F.
- #685 & 687: 1,782 + GARAGES: 317 + 512 = 2,611 S.F.
- DETACHED GARAGES = 1,146 S.F.

PROPOSED UNITS

	FIRST FLOOR:	SECOND FLOOR:	TOTAL:	BASEMENT:	TOTAL:
UNIT #1:	876 S.F.	532 S.F.	1,408 S.F.	888 S.F.	2,296 S.F.
UNIT #2:	876 S.F.	532 S.F.	1,408 S.F.	888 S.F.	2,296 S.F.
UNIT #3:	876 S.F.	532 S.F.	1,408 S.F.	888 S.F.	2,296 S.F.
UNIT #4:	890 S.F.	532 S.F.	1,422 S.F.	888 S.F.	2,310 S.F.
UNIT #5:	890 S.F.	532 S.F.	1,422 S.F.	888 S.F.	2,310 S.F.
UNIT #6:	890 S.F.	532 S.F.	1,422 S.F.	888 S.F.	2,310 S.F.
UNIT #7:	888 S.F.	537 S.F.	1,425 S.F.	753 S.F.	2,178 S.F.
UNIT #8:	888 S.F.	537 S.F.	1,425 S.F.	753 S.F.	2,178 S.F.
UNIT #9:	888 S.F.	537 S.F.	1,425 S.F.	753 S.F.	2,178 S.F.
TOTAL:	7962	4,803	12,765	7,587	20,352 S.F.

DRIVEWAYS = 9,626.00 @ 50% = 4,813
 LANDSCAPE = 15,656.4 (54.8%)
 PORCHES = 861 S.F.

LOT COV. ALLOWED: 28,534 x .35 = 9,986.9 S.F.
 PROPOSED: 8,867 = 31.2%
 F.A.L. ALLOWED: 28,534 x .40 = 11,413.5 S.F. (8 UNITS)
 PROPOSED: 11,343 = 39.7% (8 UNITS)
 F.A.L. BONUS: 11,413.6 S.F./8 UNITS = 1,426.7 S.F.
 PROPOSED: 12,765 = 44.6% (9 UNITS)
 2nd FLOOR ALLOWED: 28,534 x .15 = 4,280 S.F. (8 UNITS)
 PROPOSED: 4,271 = 14.9%
 2nd FLOOR BONUS: 4,280.1 S.F./8 UNITS = 535 S.F.
 2nd FLOOR ALLOWED WITH BONUS: 4,815.1 S.F. (16.9%)
 PROPOSED: 4,803 = 16.8% (9 UNITS)

TYPE OF CONSTRUCTION: VB OCCUPANCY GROUP: R-3, U
 THIS PROJECT SHALL COMPLY WITH 2016 CBC, CRC, CM, CFC, CEC, CFC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.

SITE DATA

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date 12 - 19 - 19
 Scale 1" = 10'-0"
 Drawn RAH
 Job 19-002
 Sheet

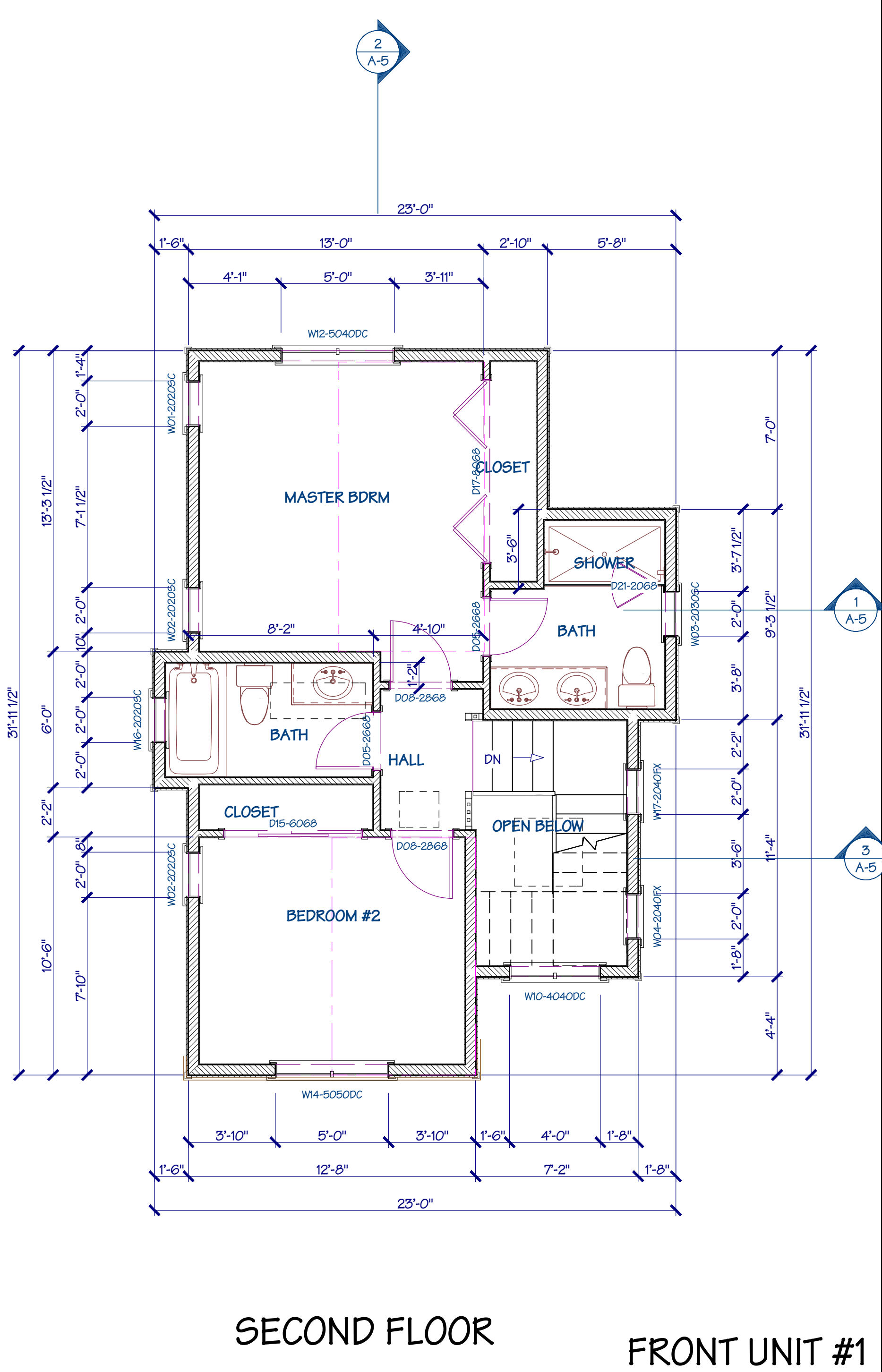
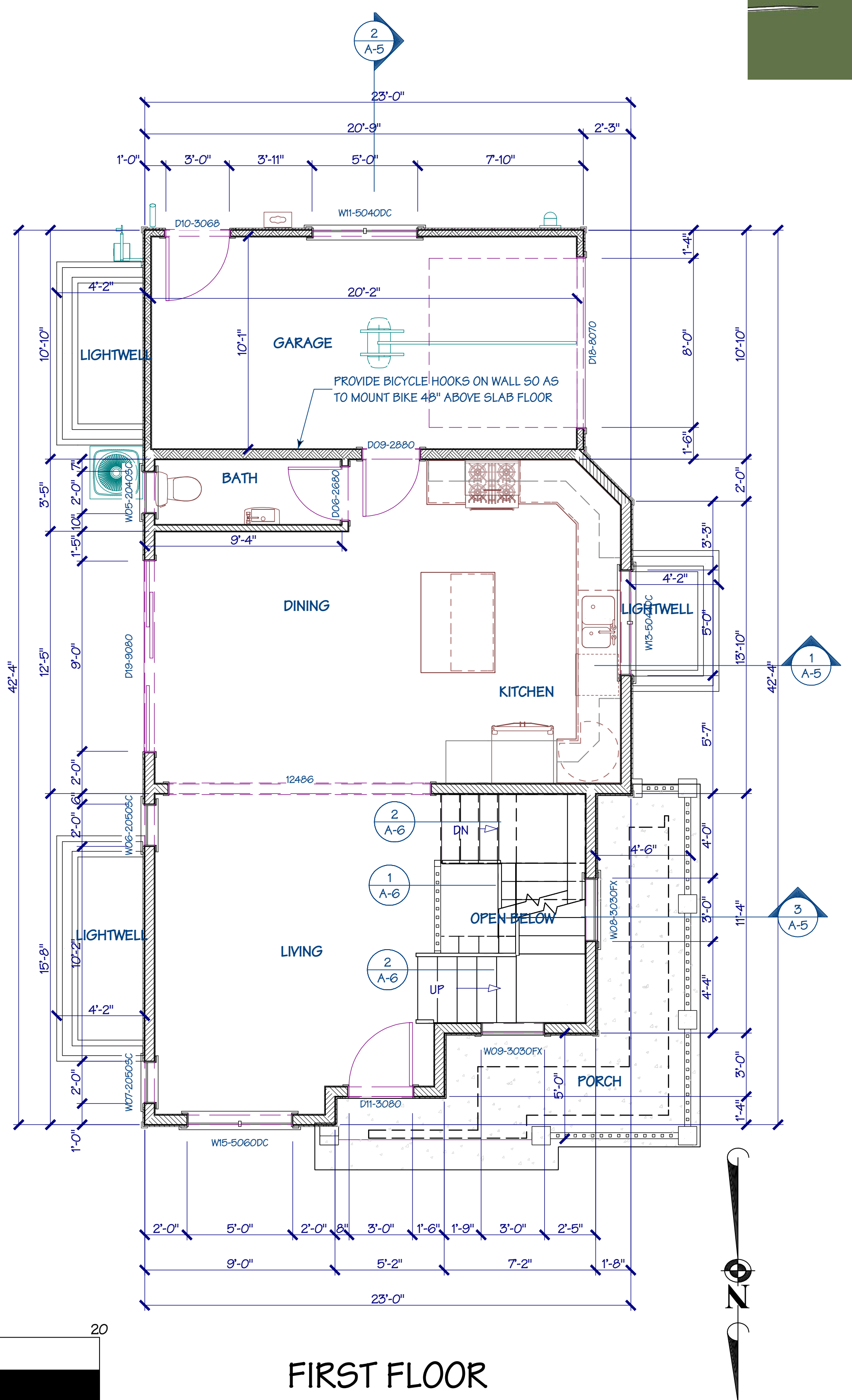
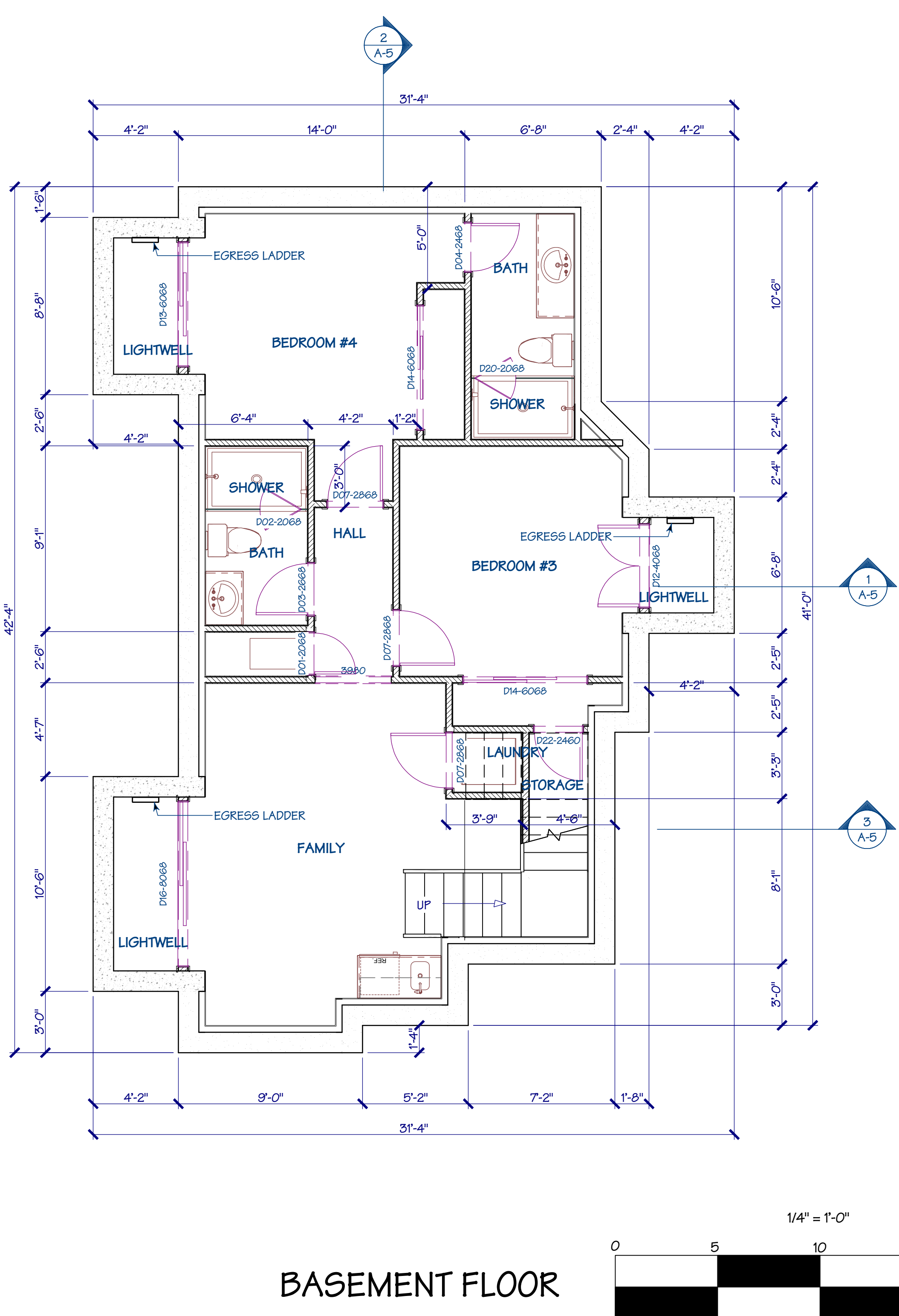
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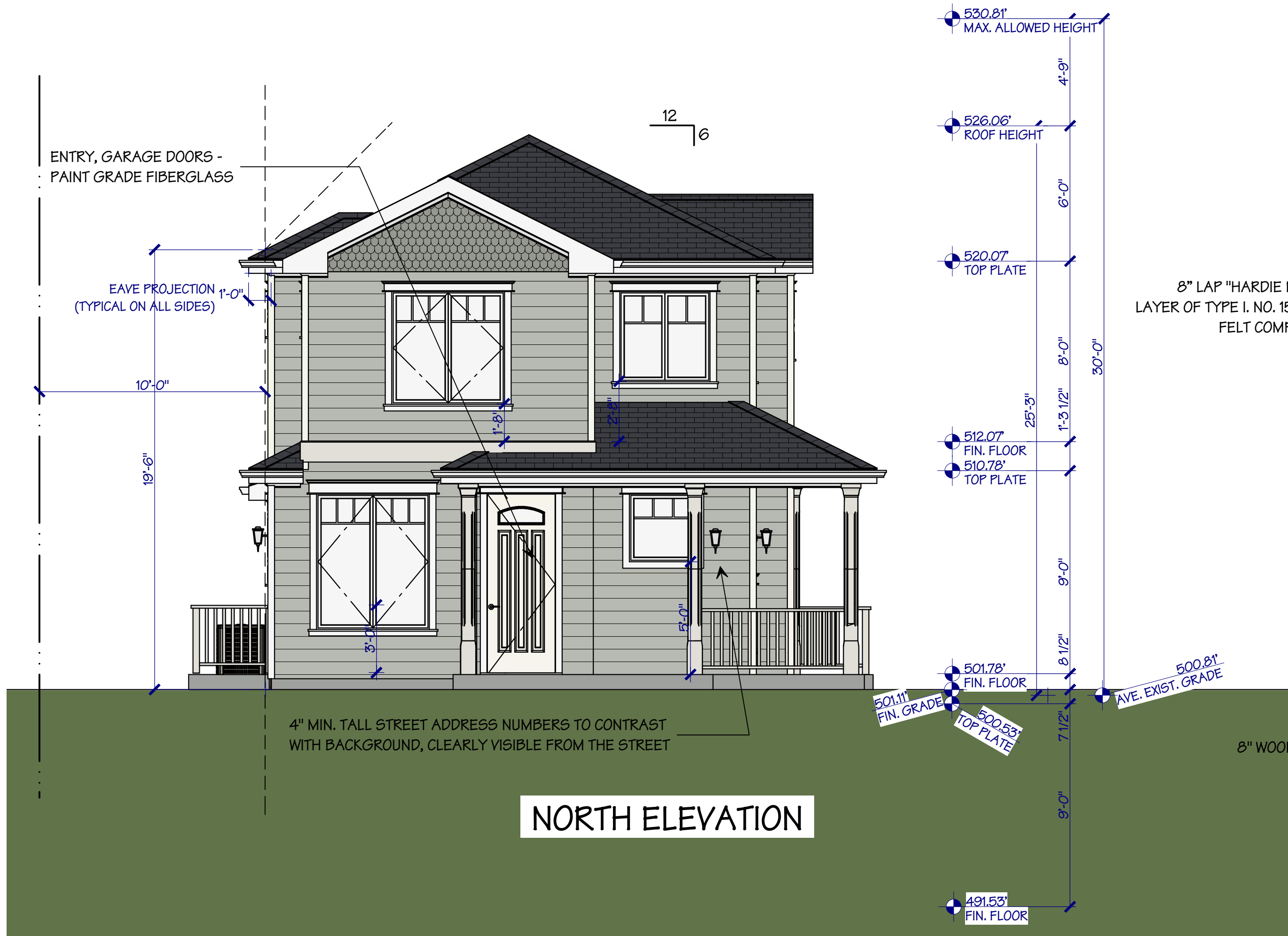
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PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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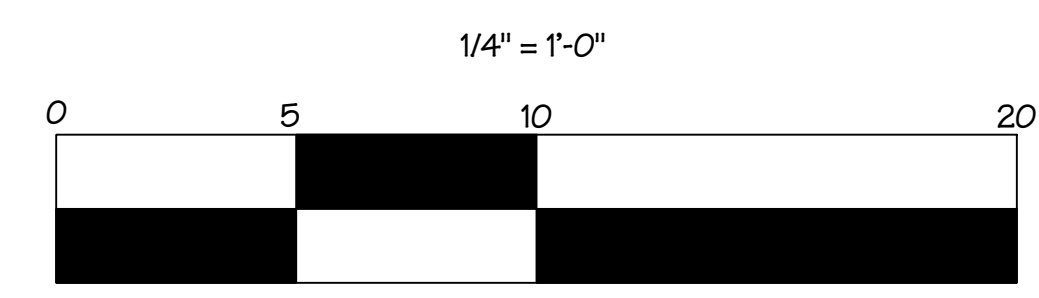
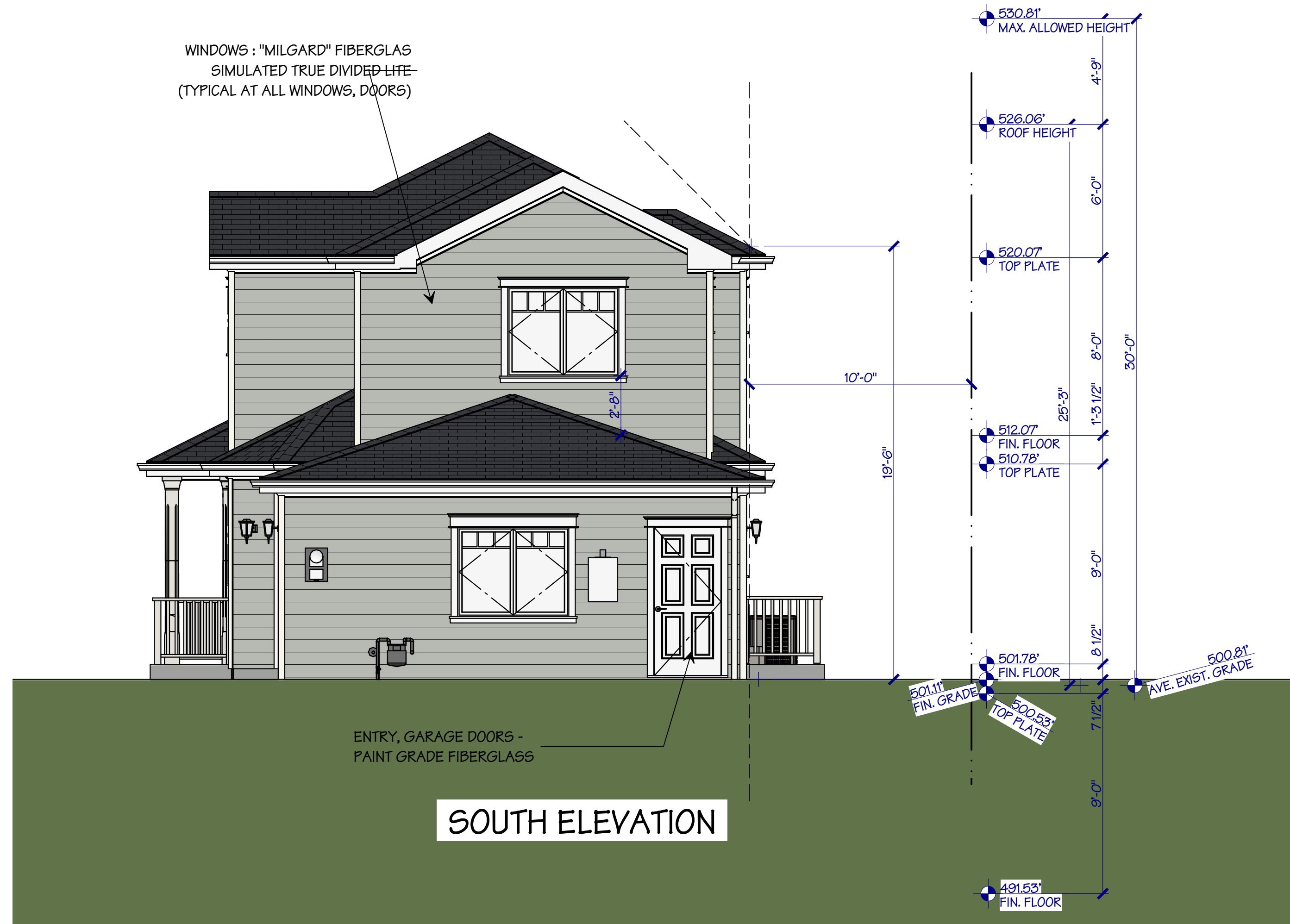
NEW HOUSES FOR:
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Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-2
of	Sheets





ROOF = CERTAINTED PRESIDENTIAL 'SHADOW GRAY'
 GABLE & SHUTTERS = KELLY-MOORE #KM4817, 'TRELLED IVY'
 HARDI-PLANK SIDING = KELLY-MOORE, 'SILKY GREEN'
 WINDOW TRIM, COLUMNS, FASCIA, RAILINGS = KELLY-MOORE, #KMW49, 'GREAT WHITE'



REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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 Scale 1/4" = 1'-0"
 Drawn RAH
 Job 19-002
 Sheet **A-3**
 of Sheets

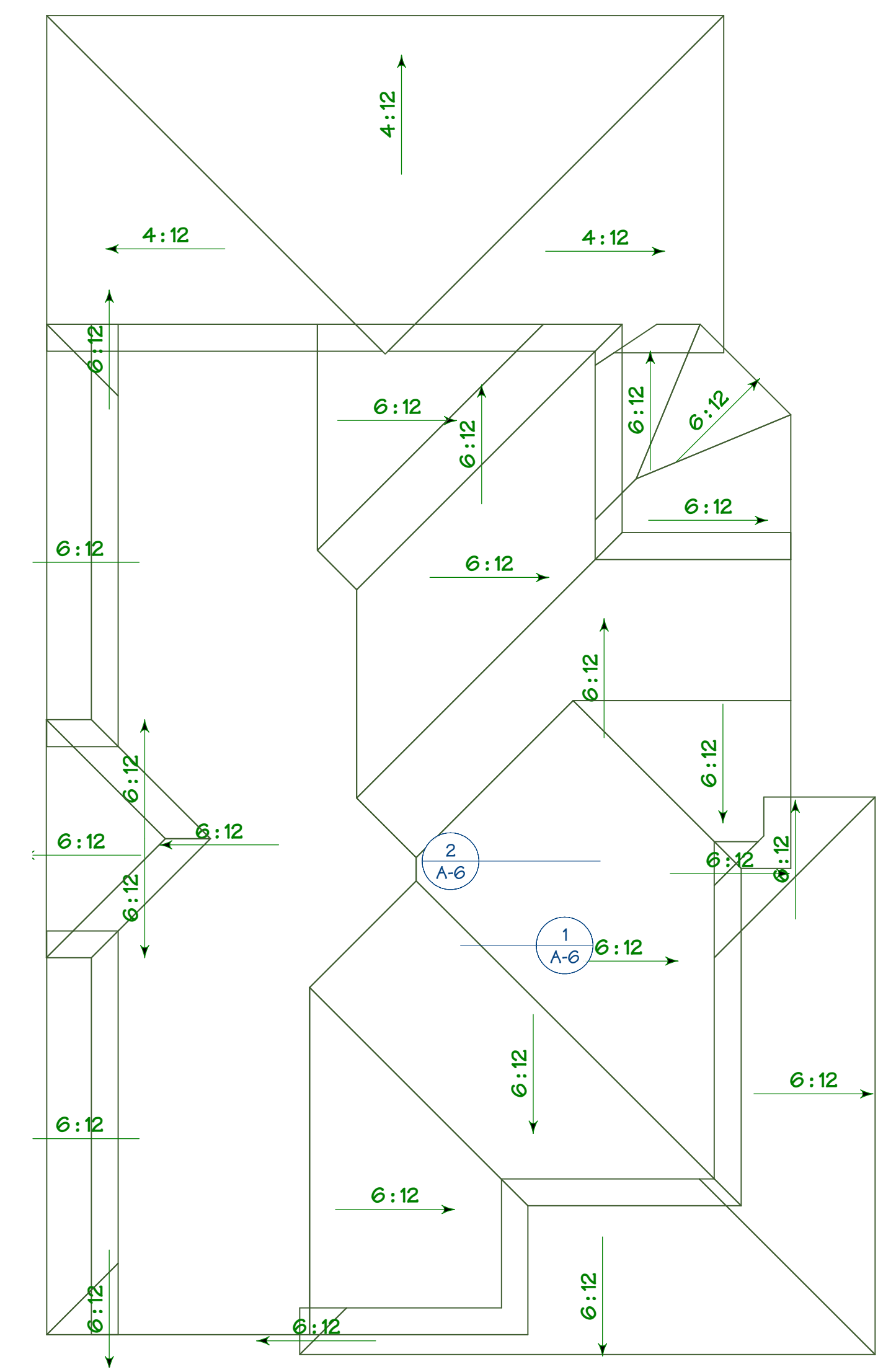
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REVISIONS	BY
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PLANNING 1-6-20	
PLANNING 1-7-20	

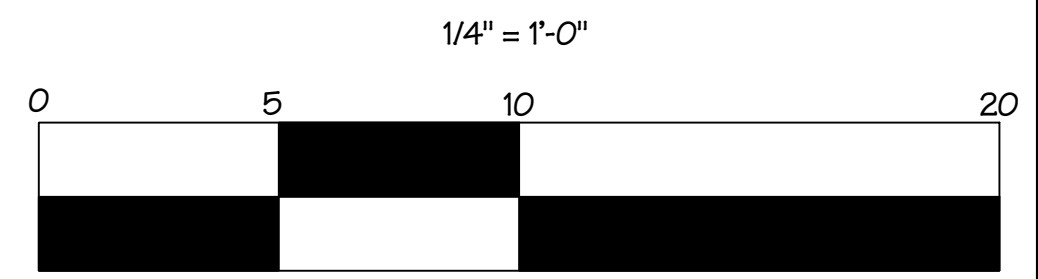
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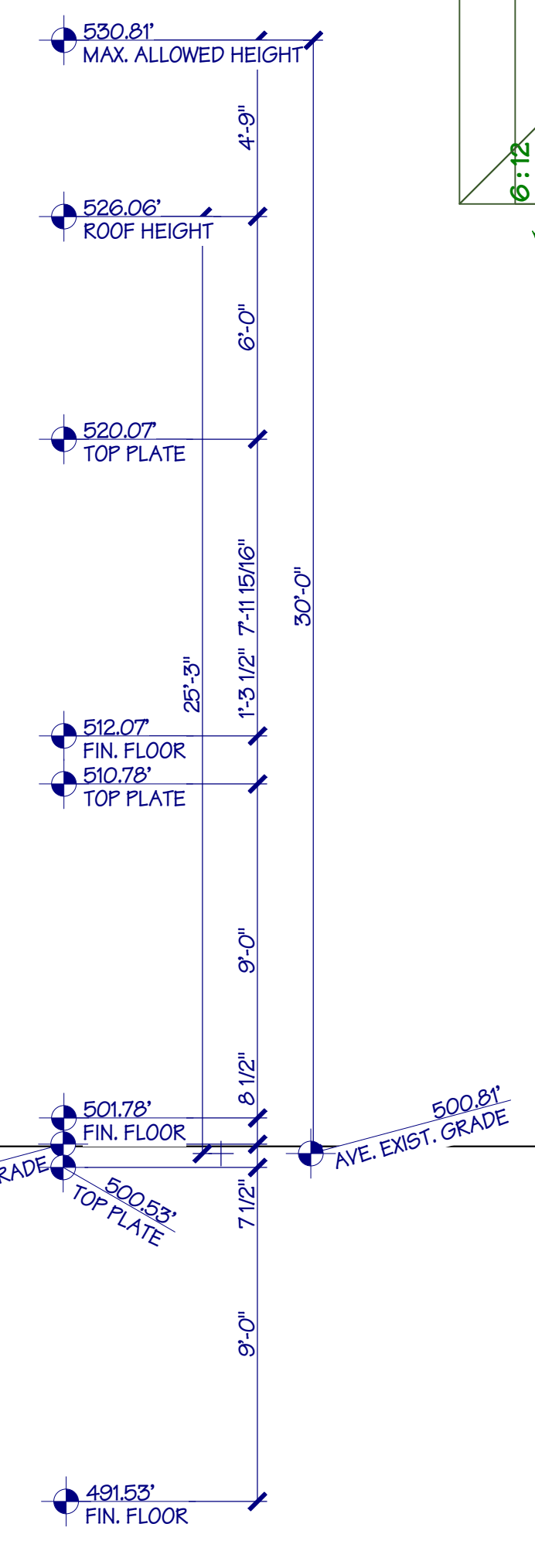
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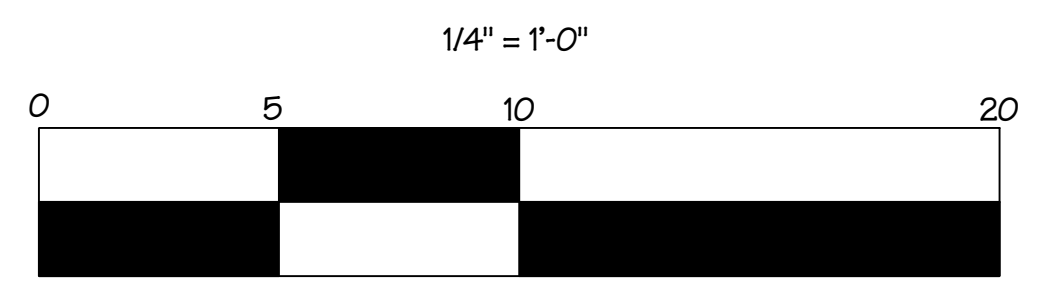
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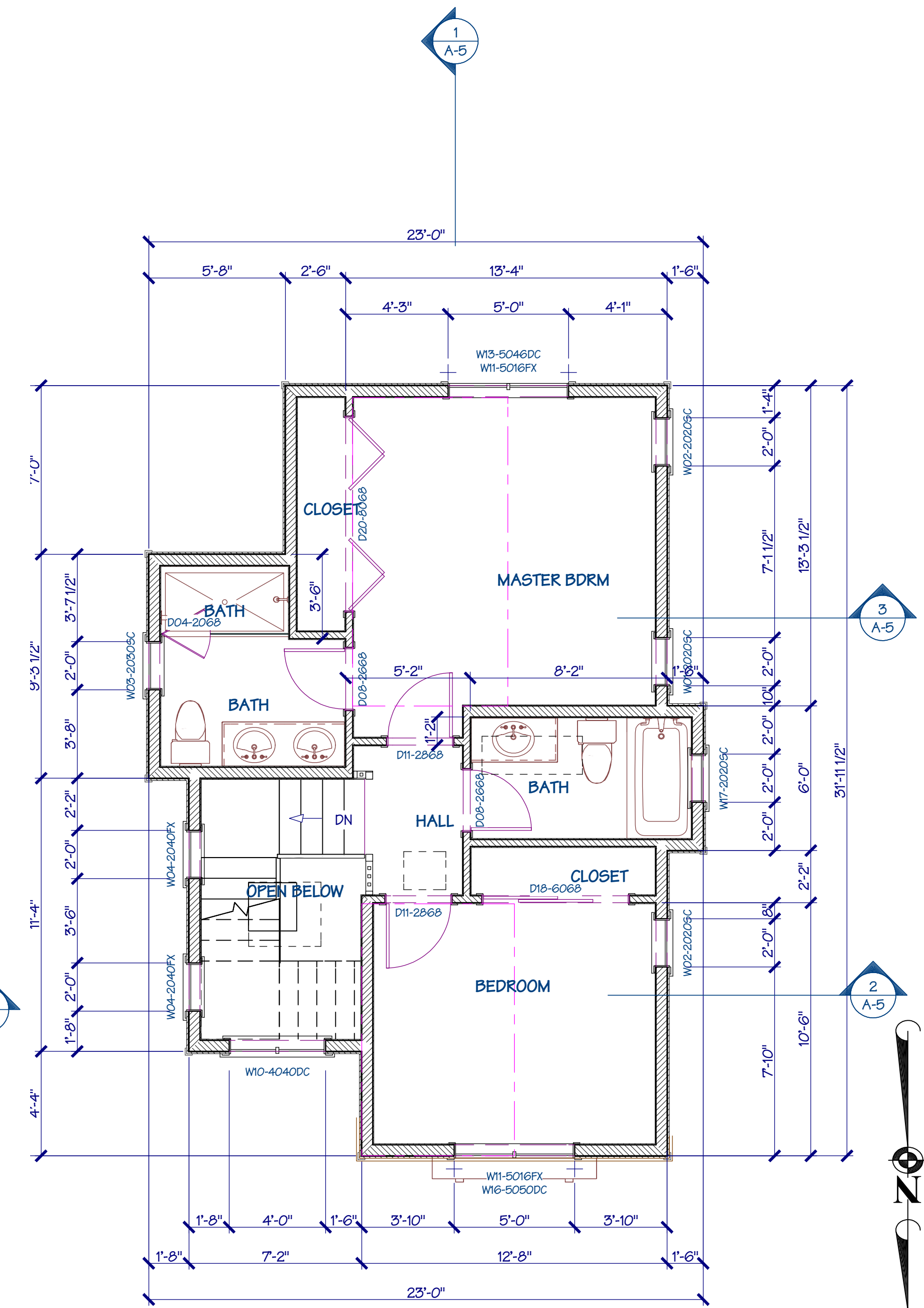
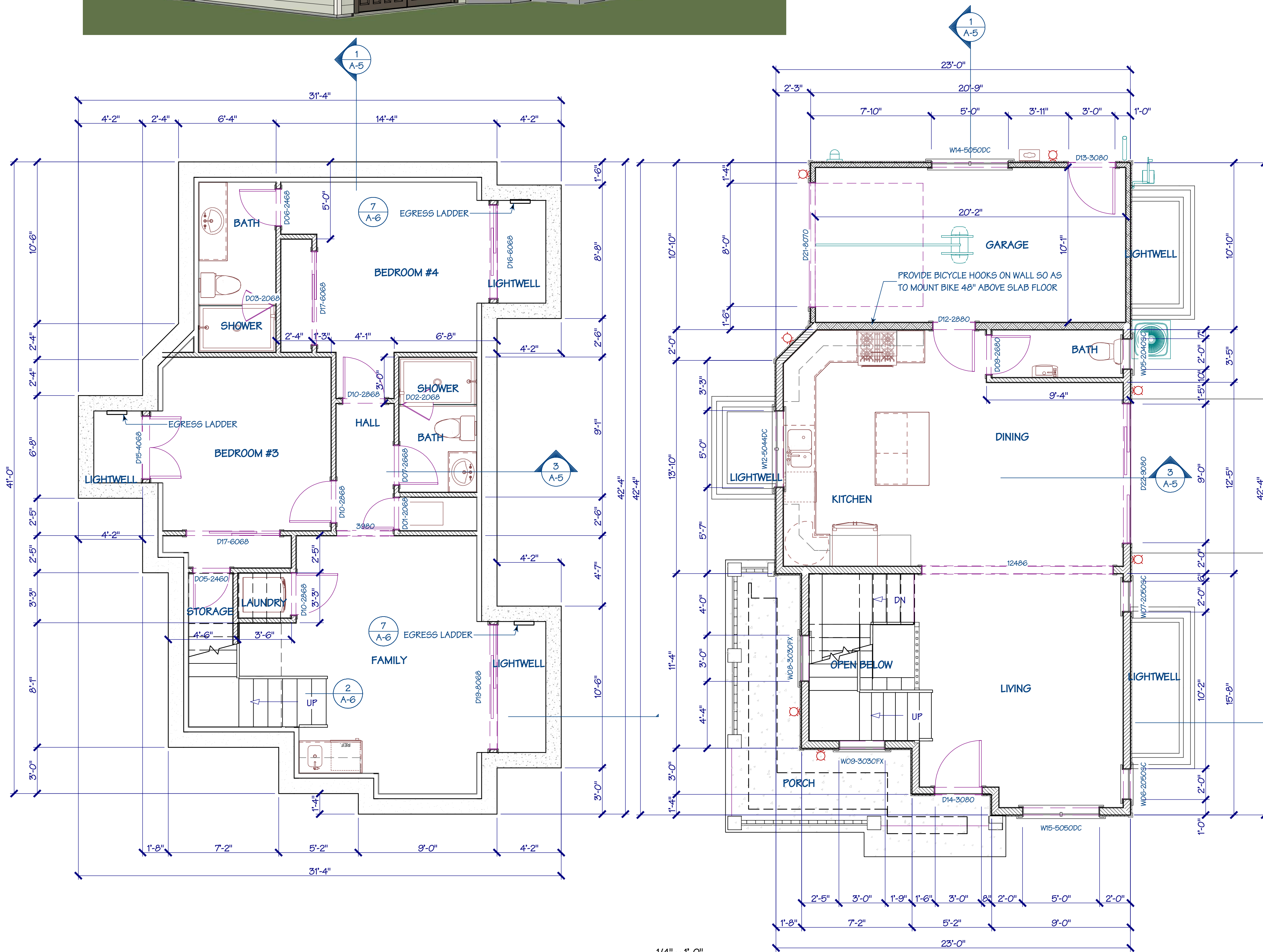
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2 SECTION



FRONT UNIT #1

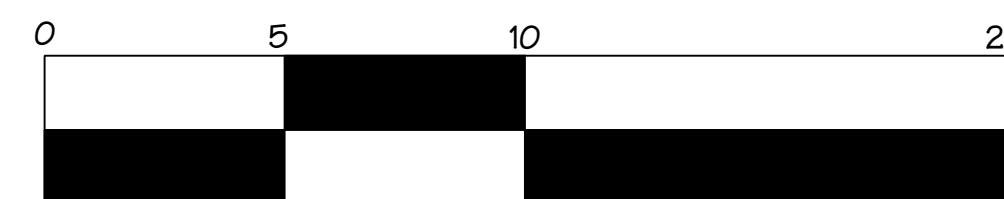


BASEMENT FLOOR

FIRST FLOOR

SECOND FLOOR

FRONT UNIT #2



REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

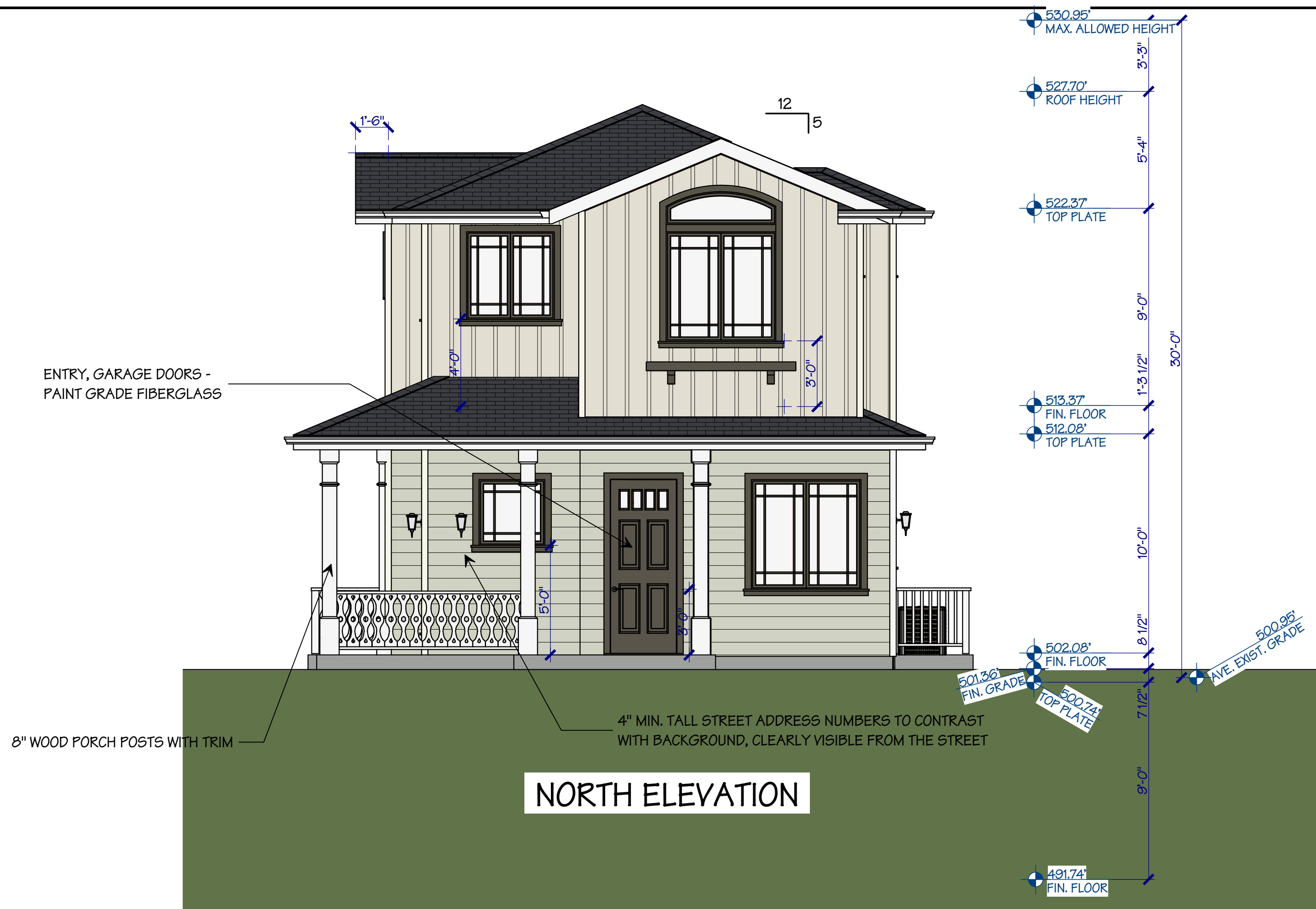
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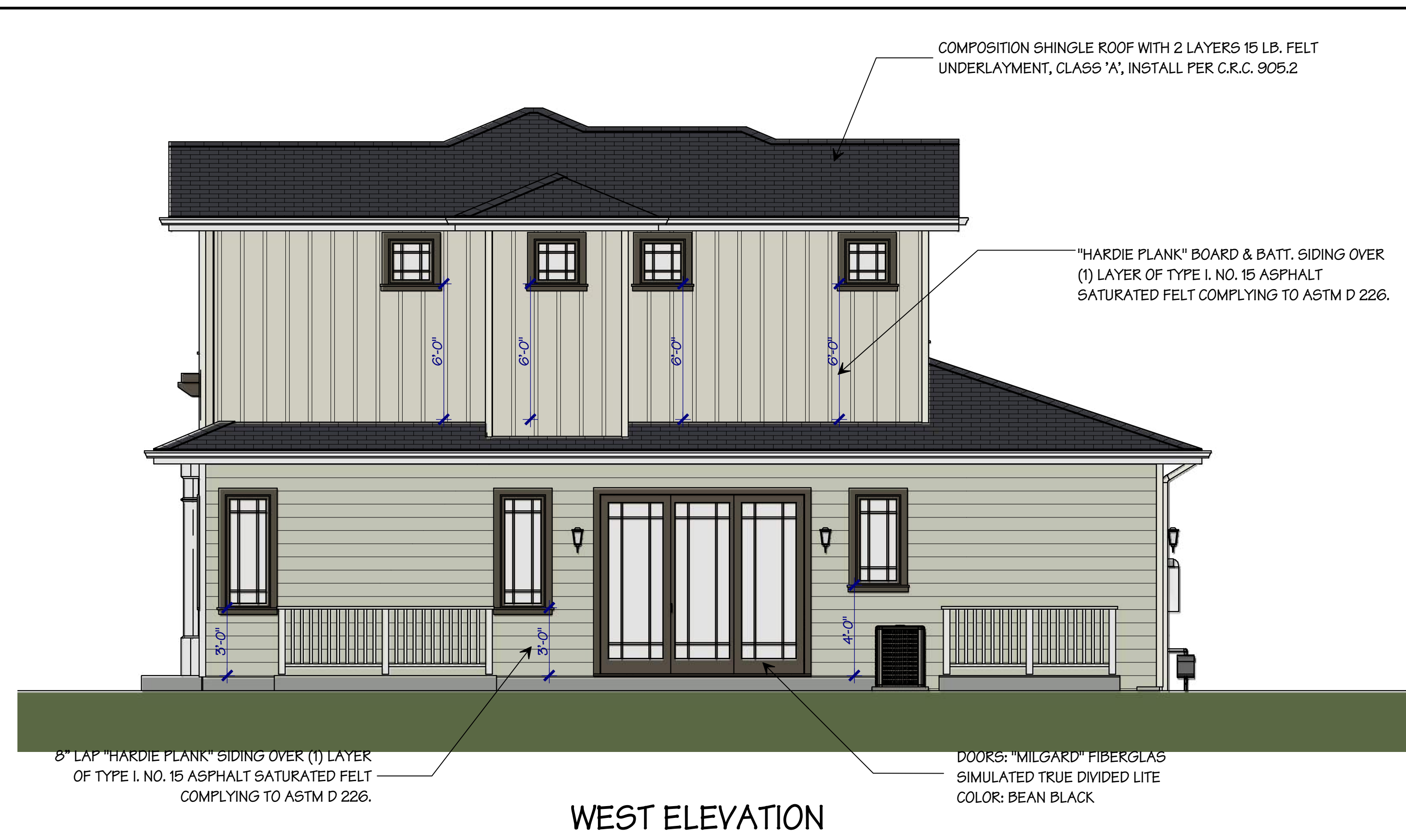
NEW HOUSES FOR:
GoldSilverIsland, LLC
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 of Sheets

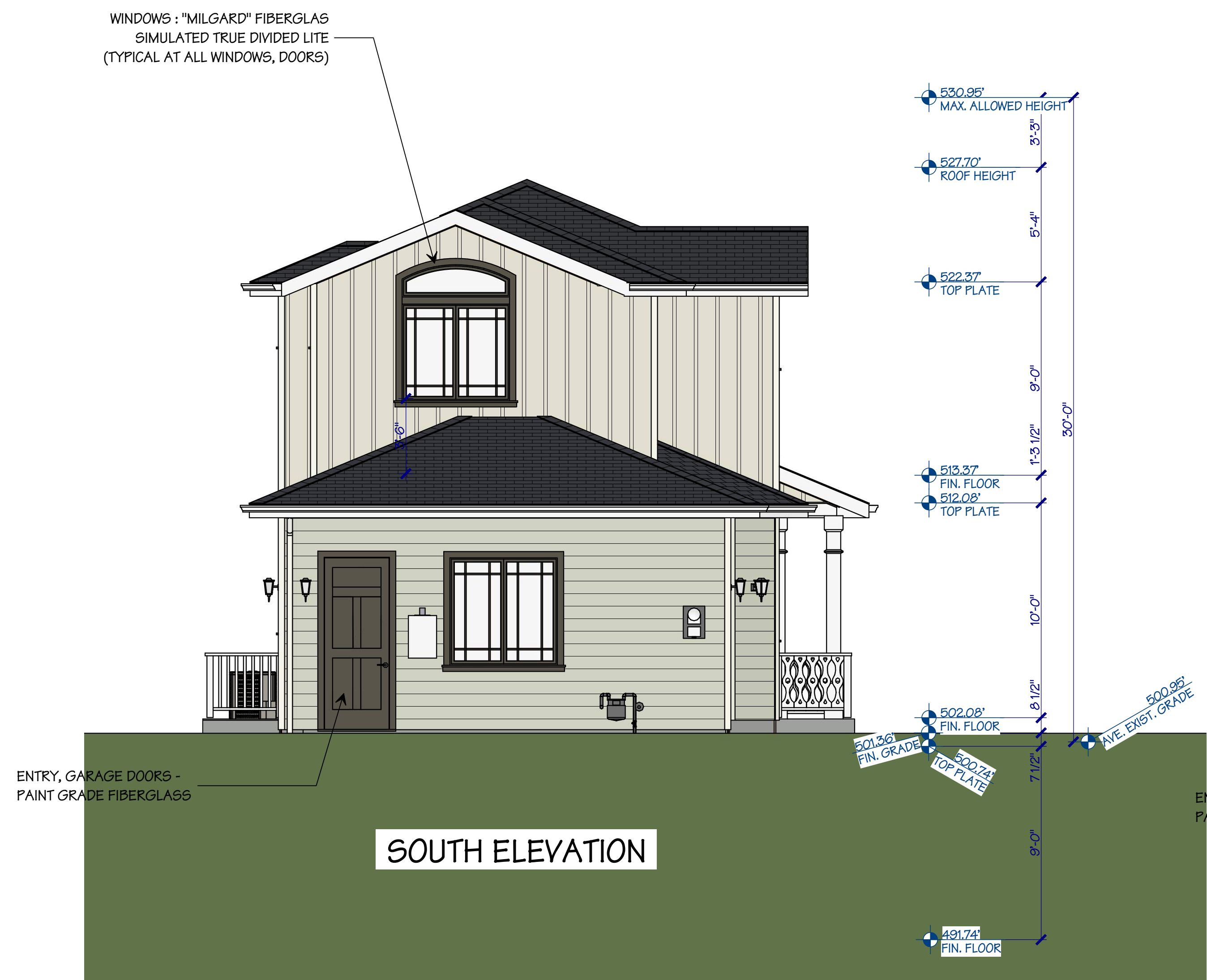


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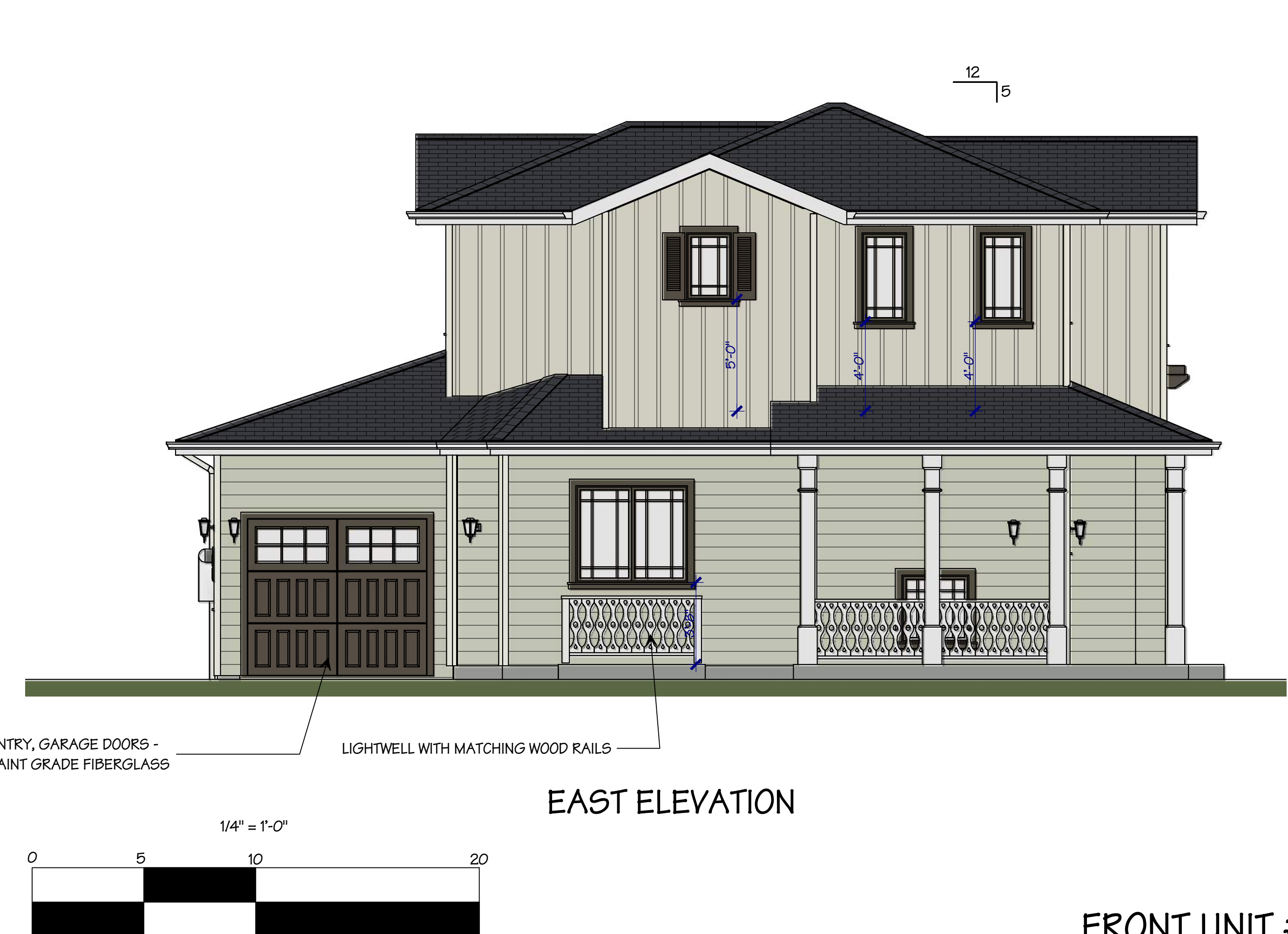


WEST ELEVATION

ROOF = CERTAINTEED PRESIDENTIAL 'SHADOW GRAY'
 WINDOW TRIM, FASCIA, GABLE & SHUTTERS = KELLY-MOORE #KM4575, 'MUD ROOM'
 HARDI-PLANK BOARD & BATT. SIDING = KELLY-MOORE, #KM4569, 'CLEAR SAND'
 HARDI-PLANK SIDING = KELLY-MOORE, KM4801, 'SILVER LAUREL'
 PORCH TRIM, COLUMNS, RAILINGS = KELLY-MOORE, #KMW53, 'DAZZLE ME'



SOUTH ELEVATION



EAST ELEVATION

FRONT UNIT #2

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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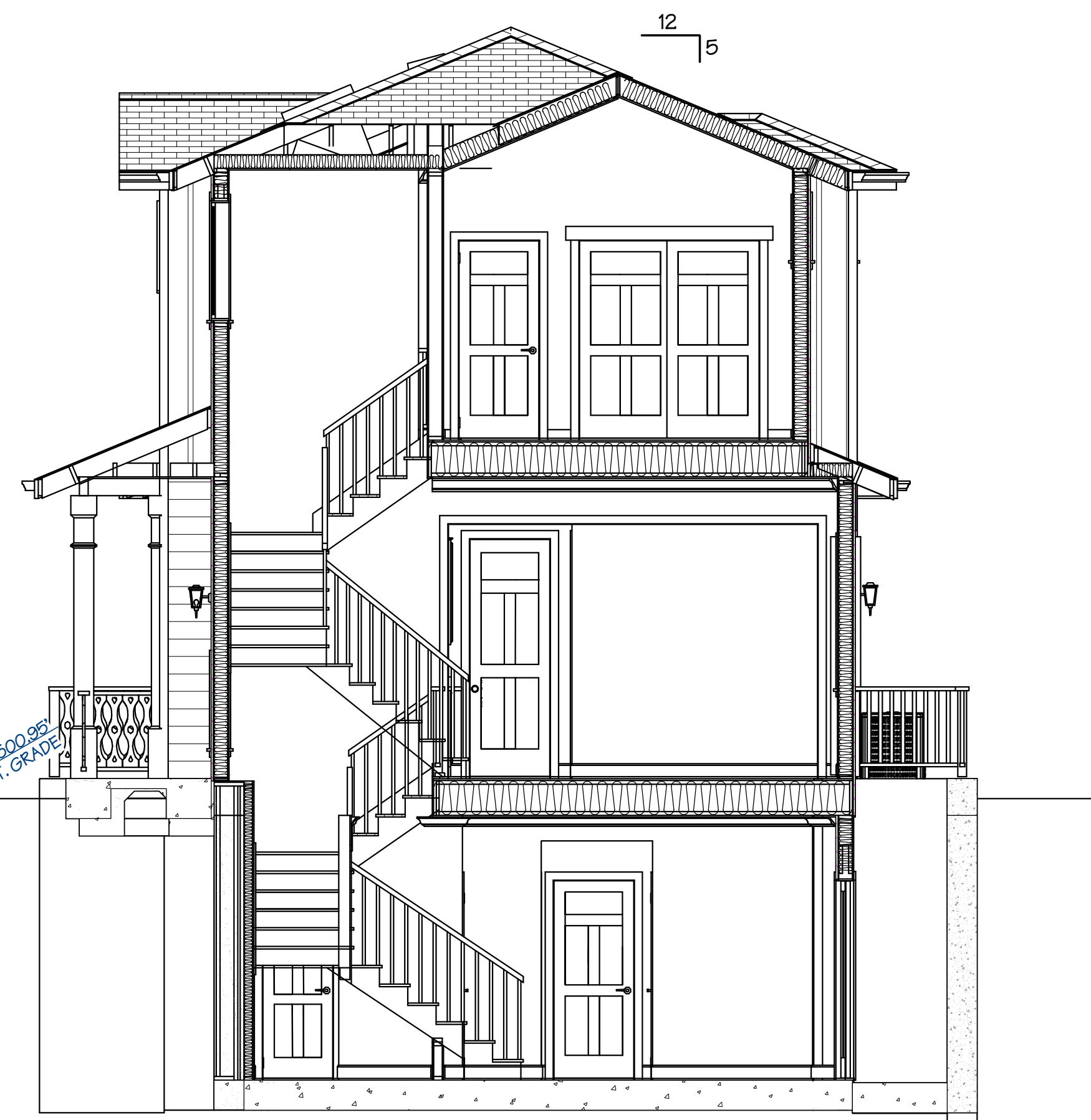
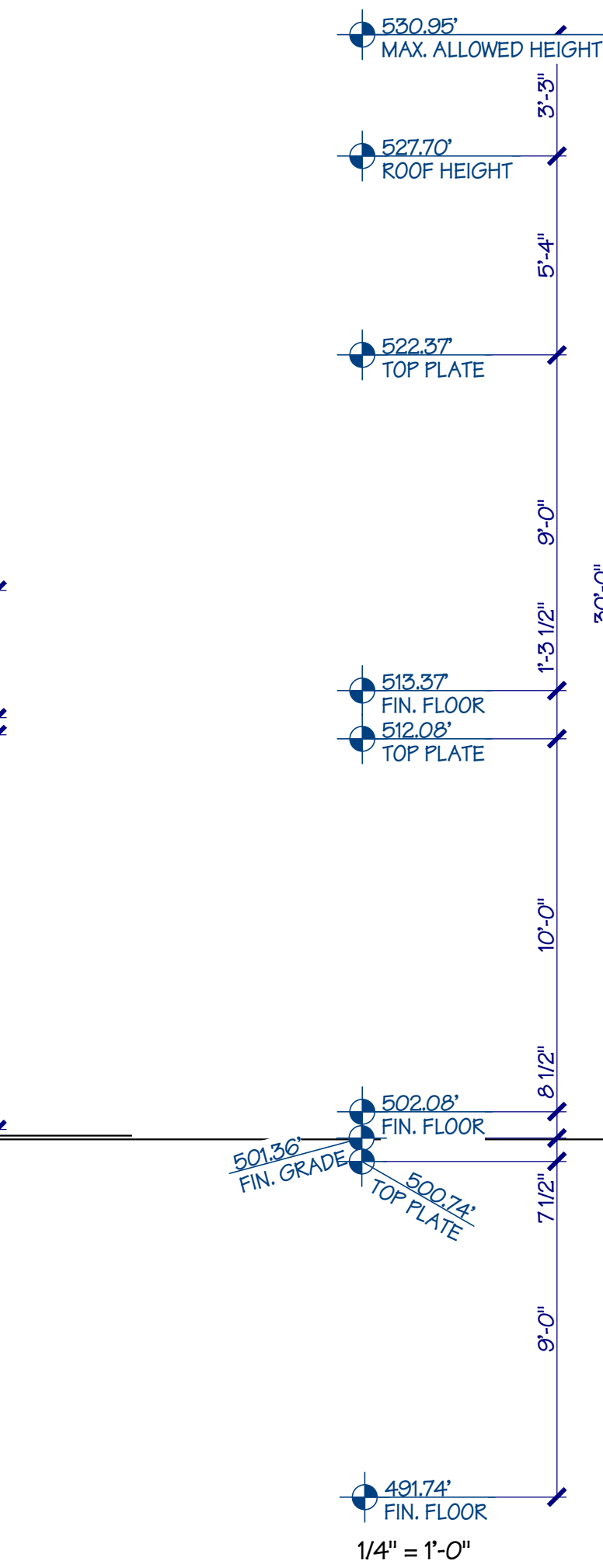
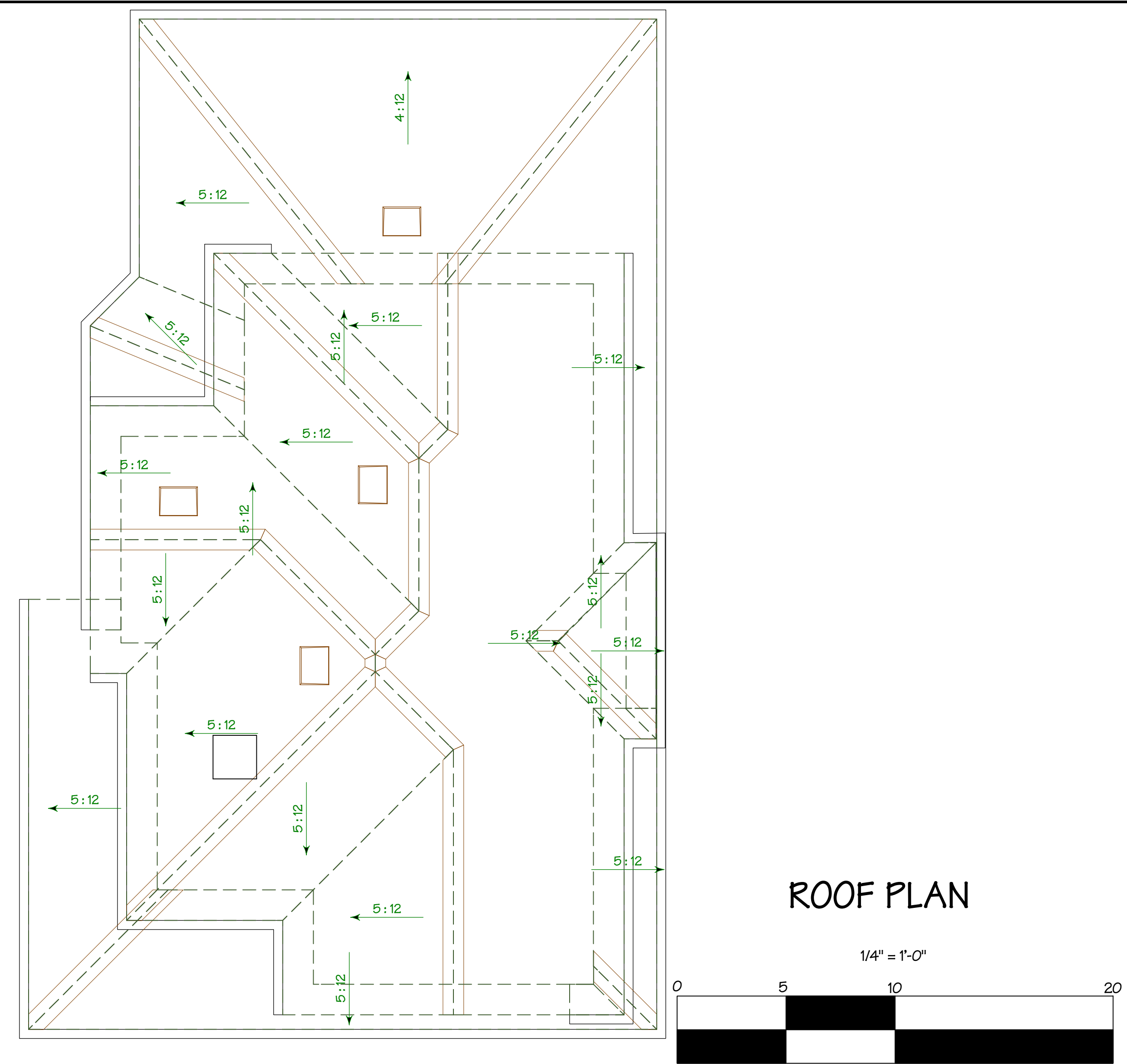
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A-6
 of Sheets

REVISIONS	BY
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PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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SECTION 2

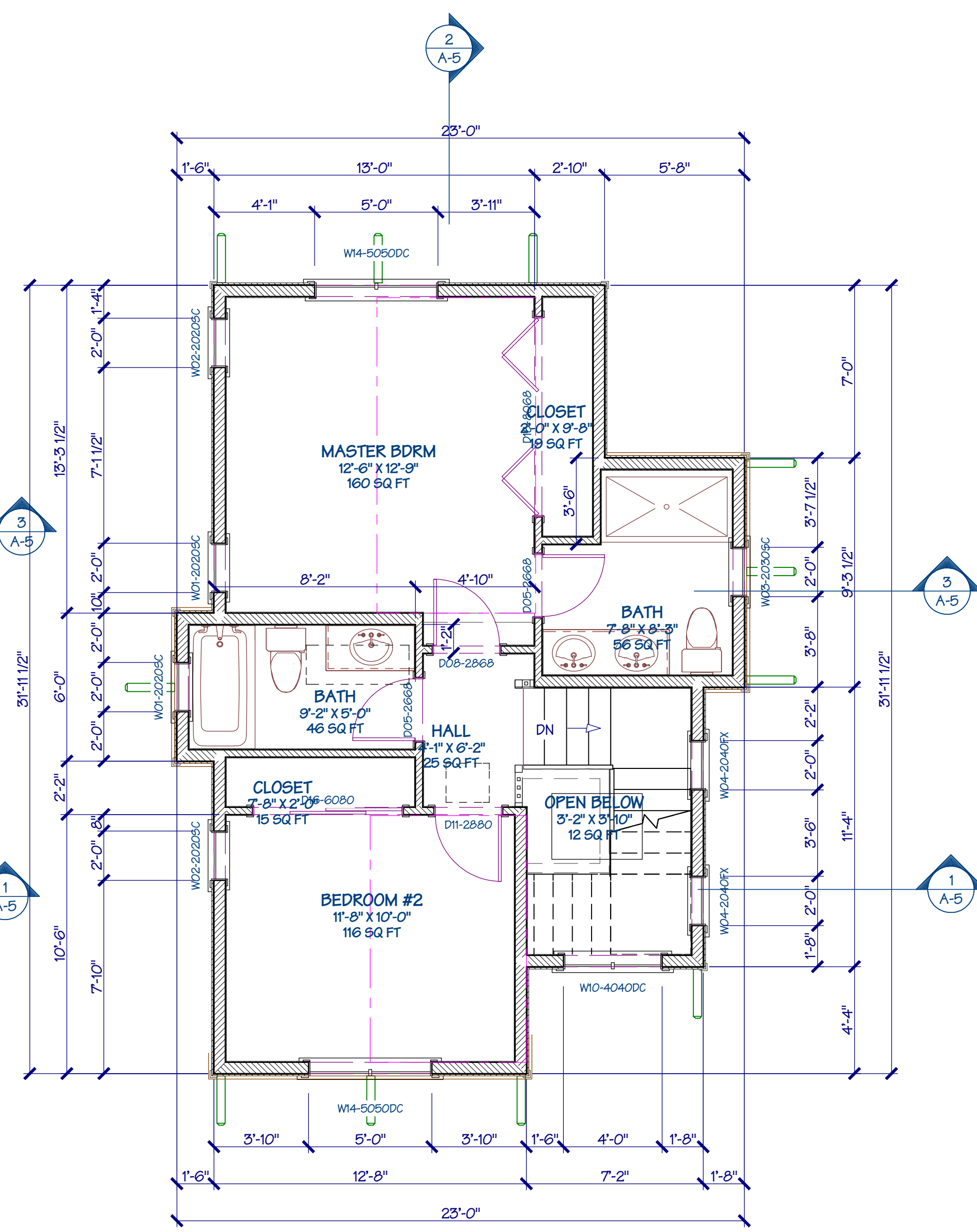
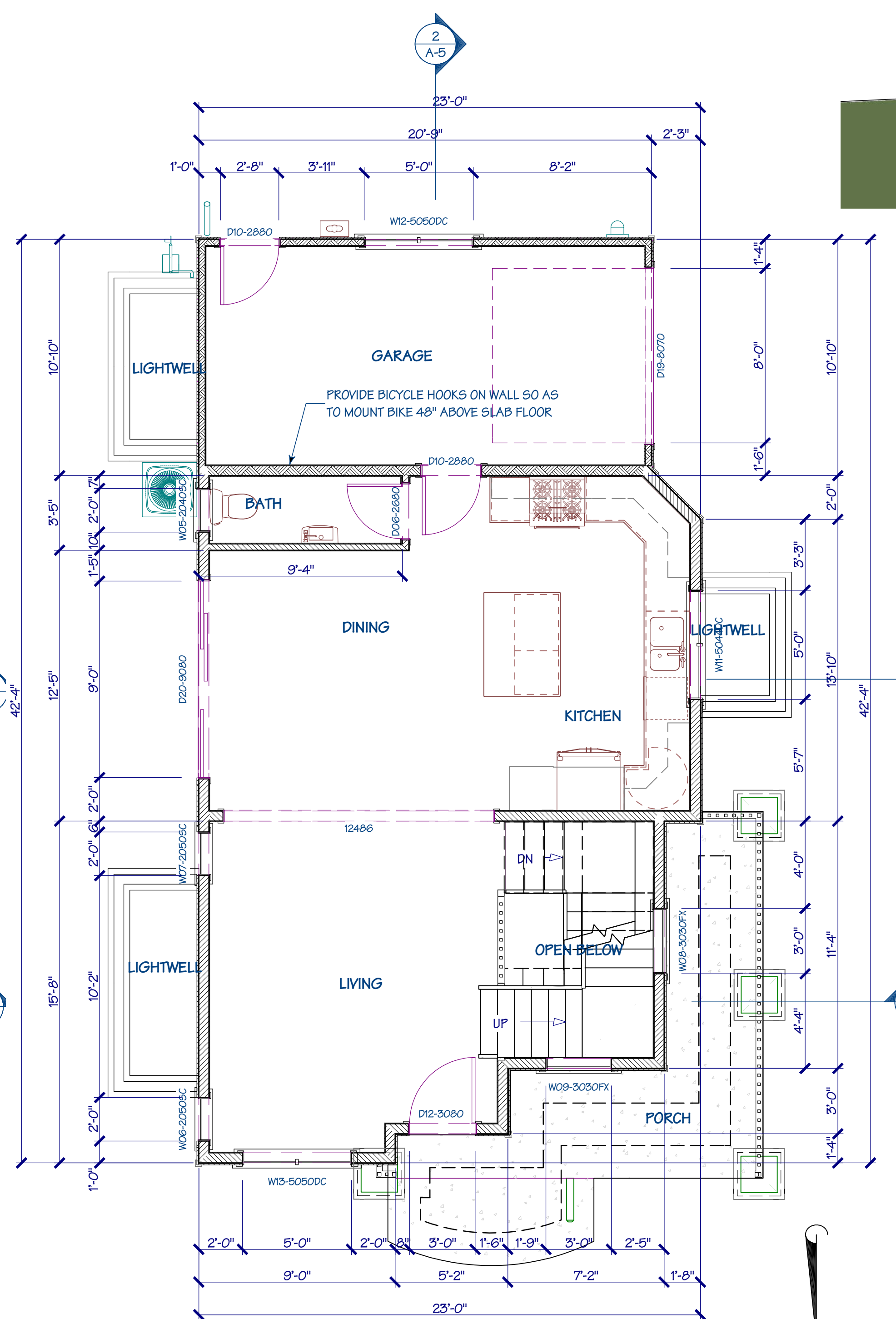
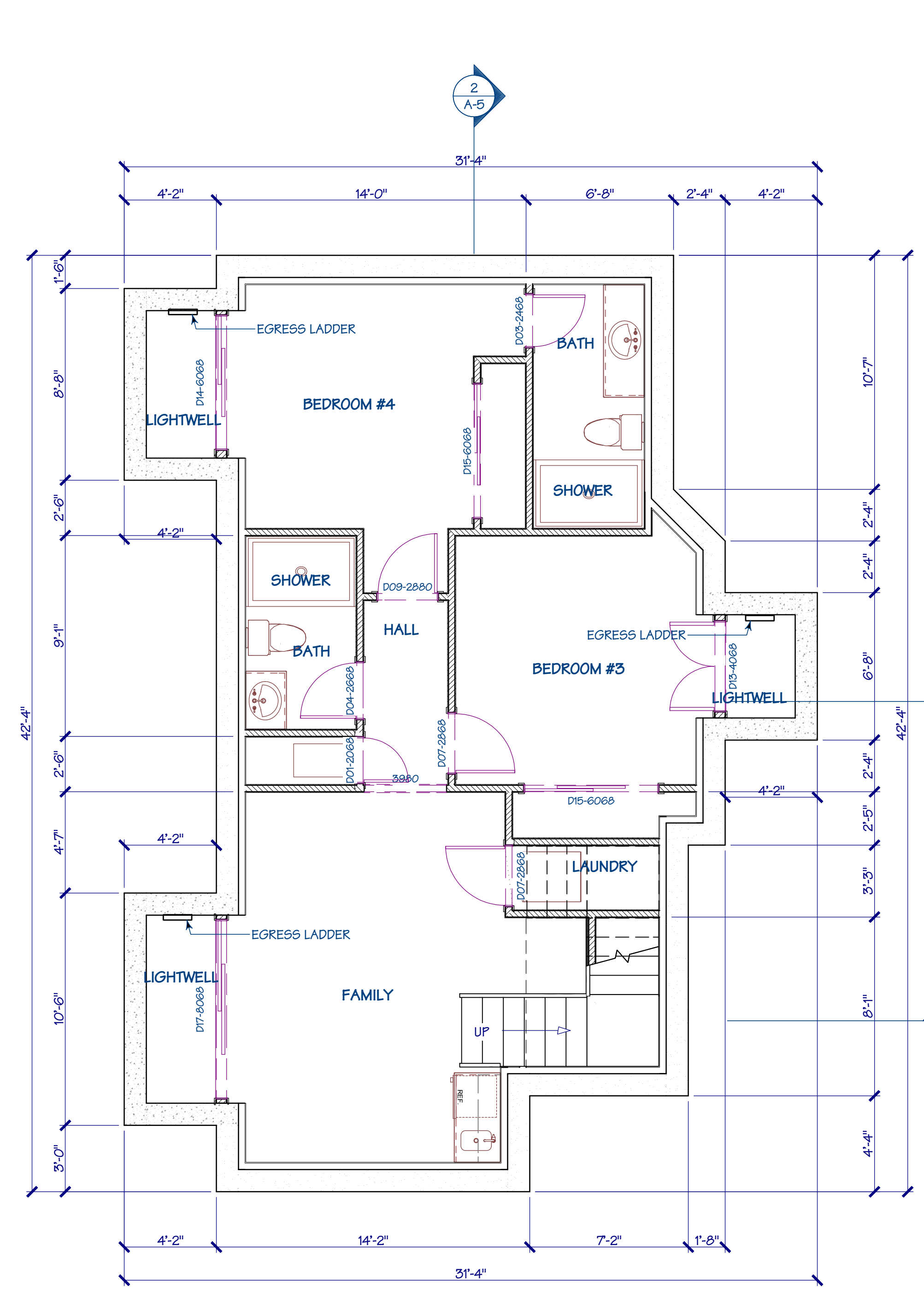
FRONT UNIT #2

REVISIONS	BY
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PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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 Job 19-002
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 of Sheets

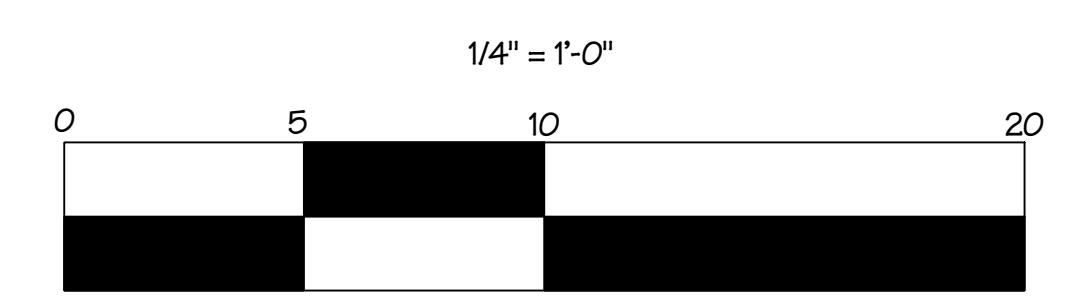


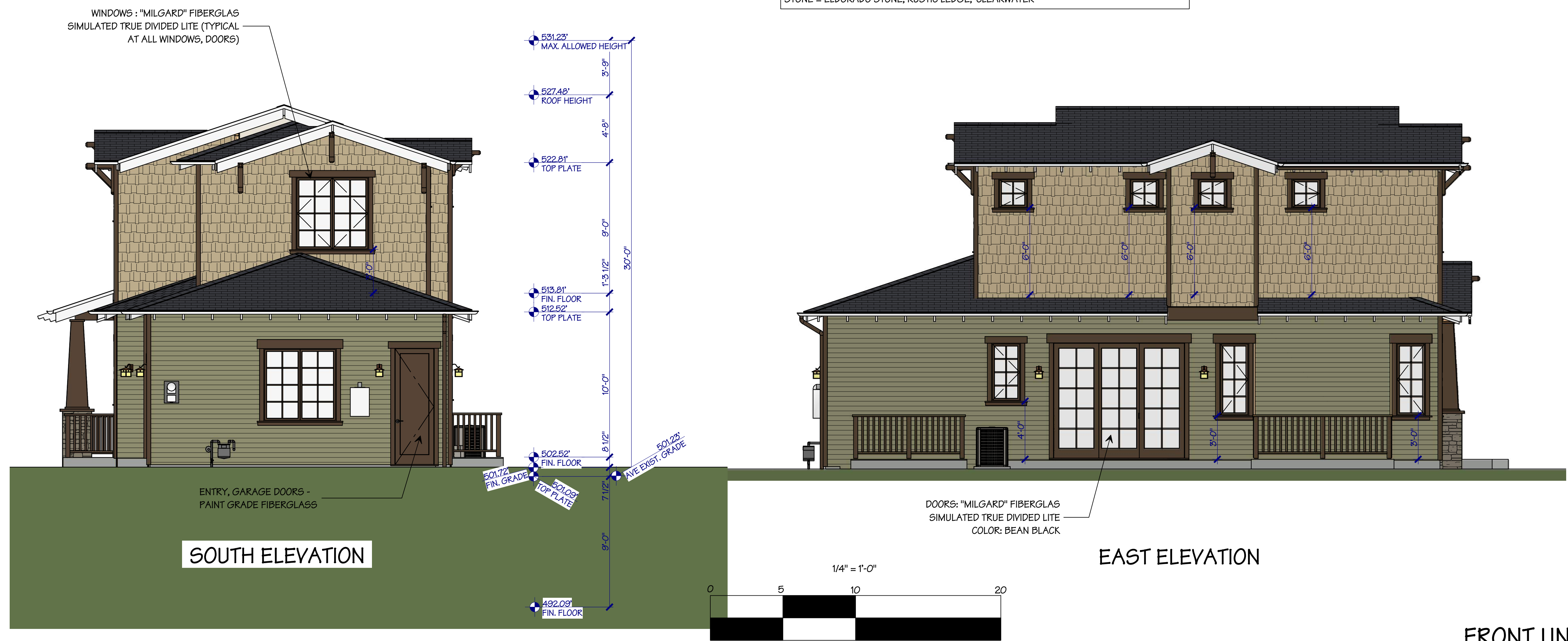
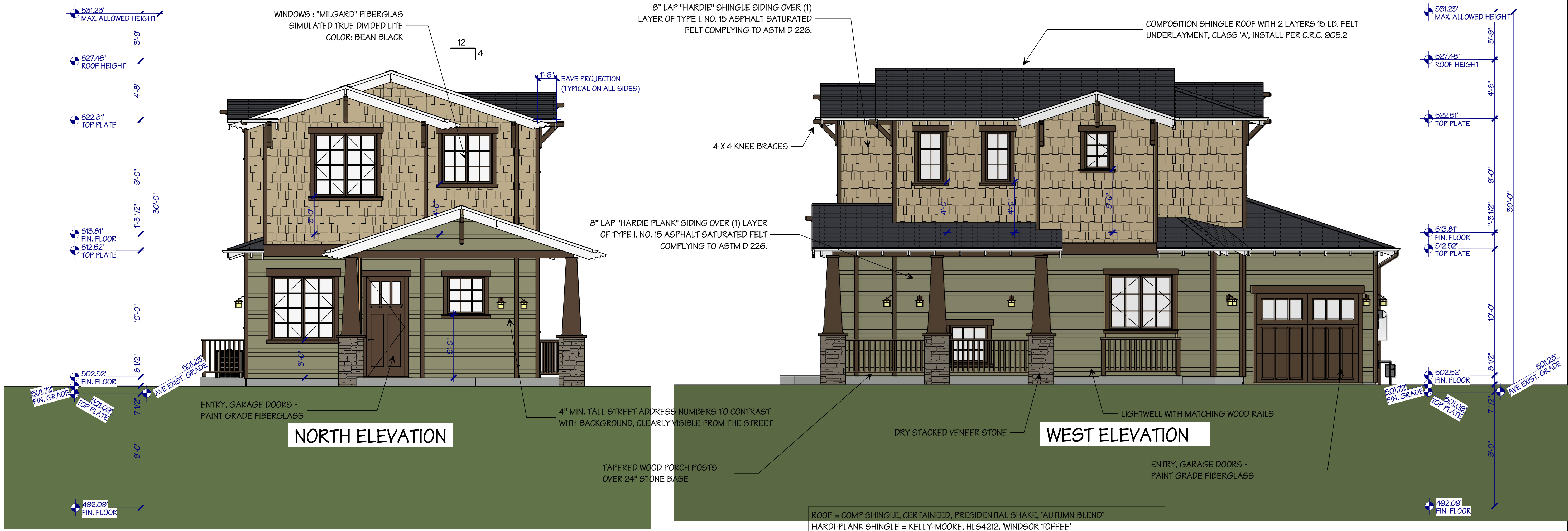
BASEMENT FLOOR

FIRST FLOOR

SECOND FLOOR

FRONT UNIT #3





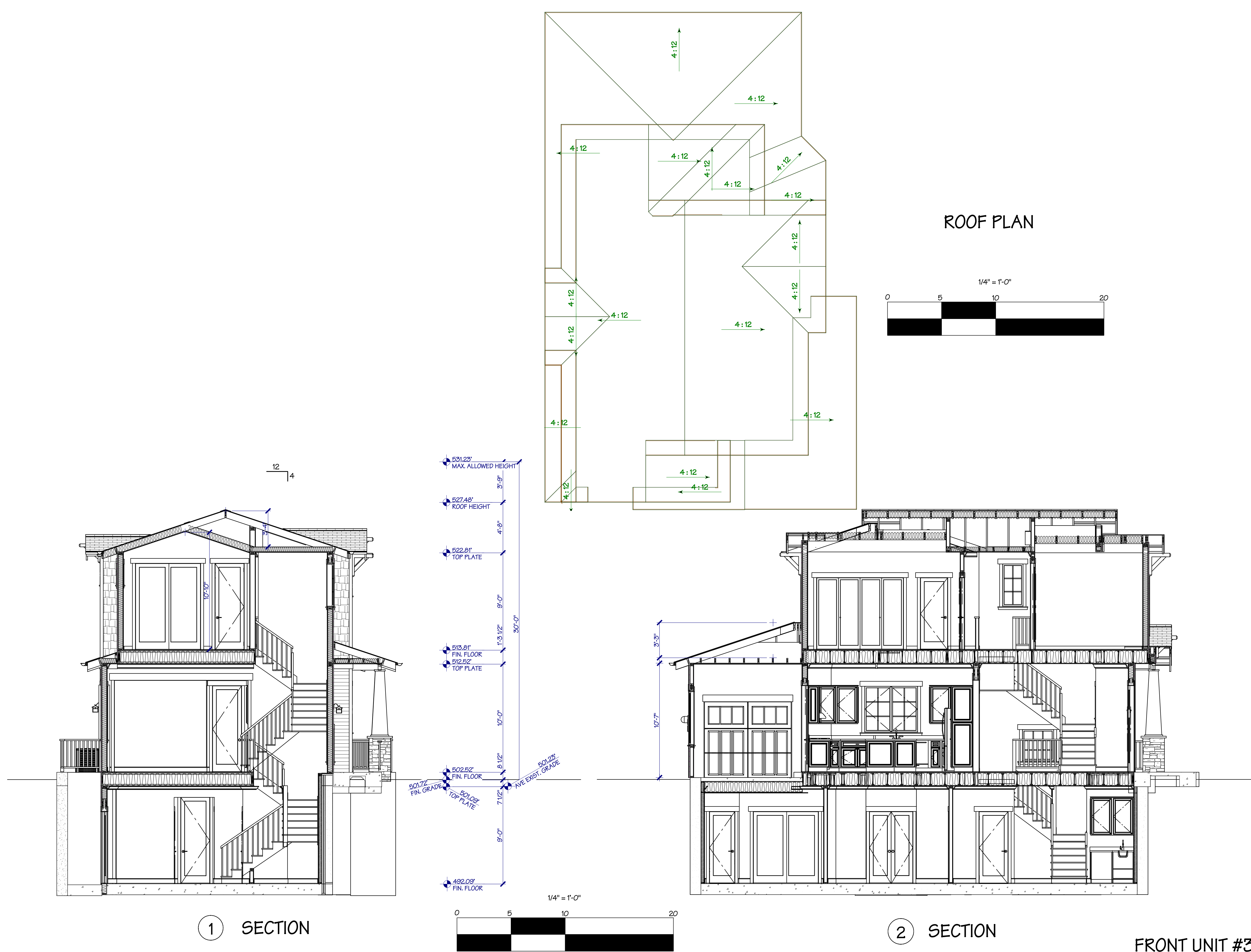
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PLANNING 12-4-19	
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PLANNING 1-6-20	
PLANNING 1-7-20	

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Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
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of	Sheets

FRONT UNIT #3



① SECTION

② SECTION

FRONT UNIT #3

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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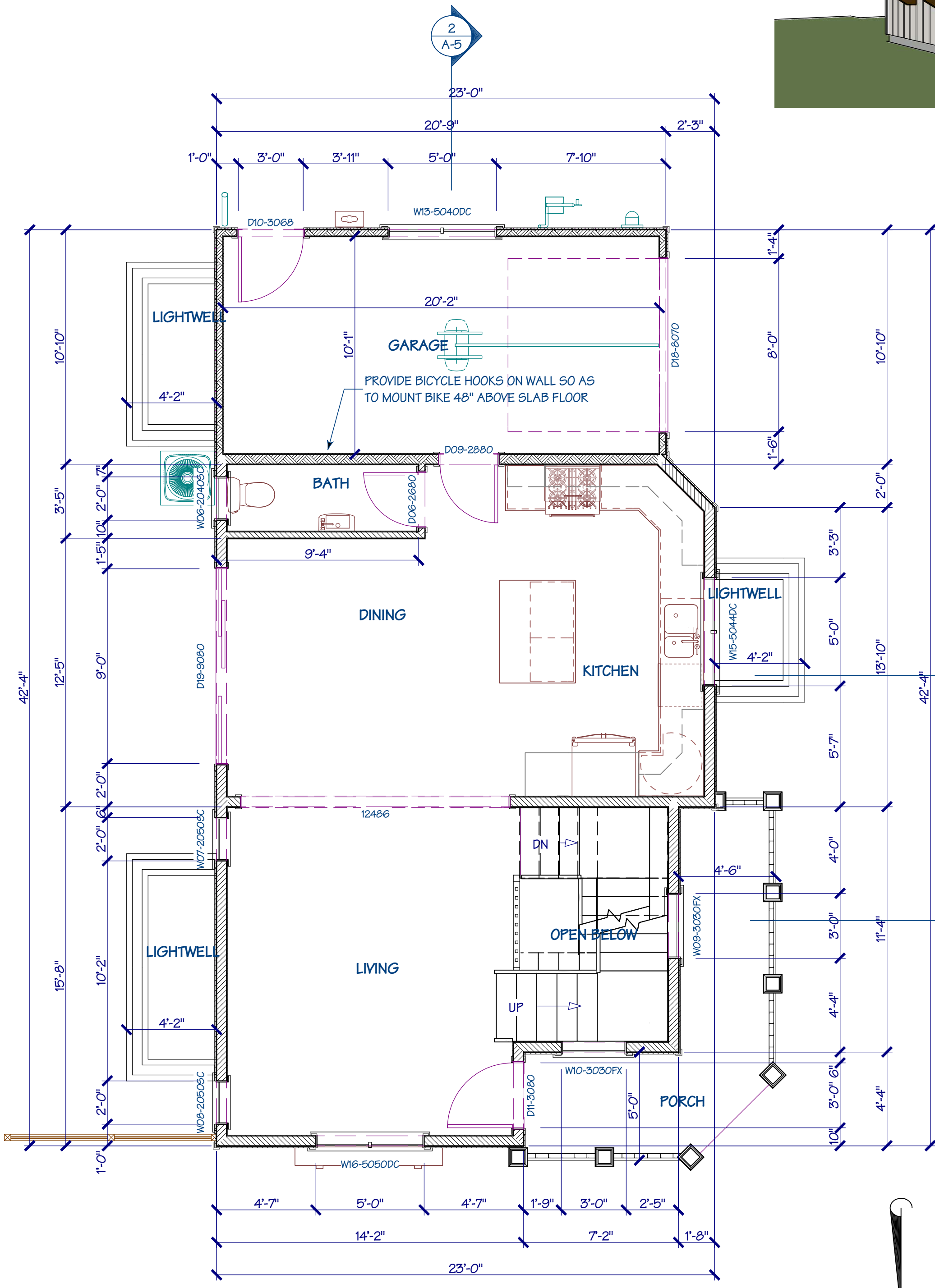
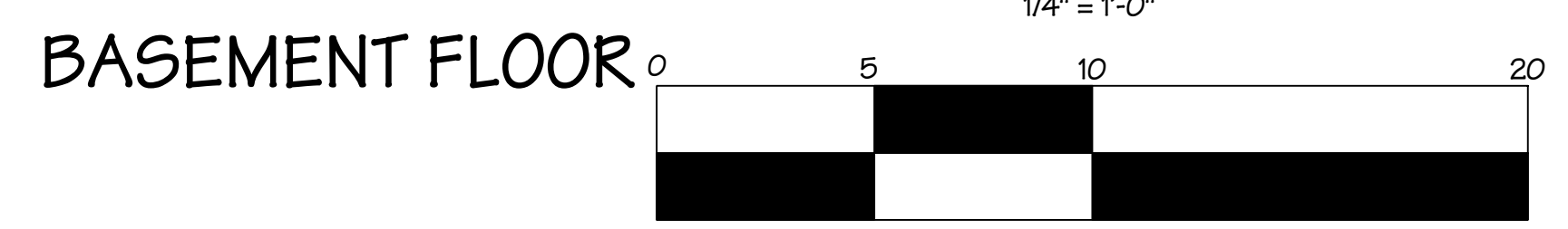
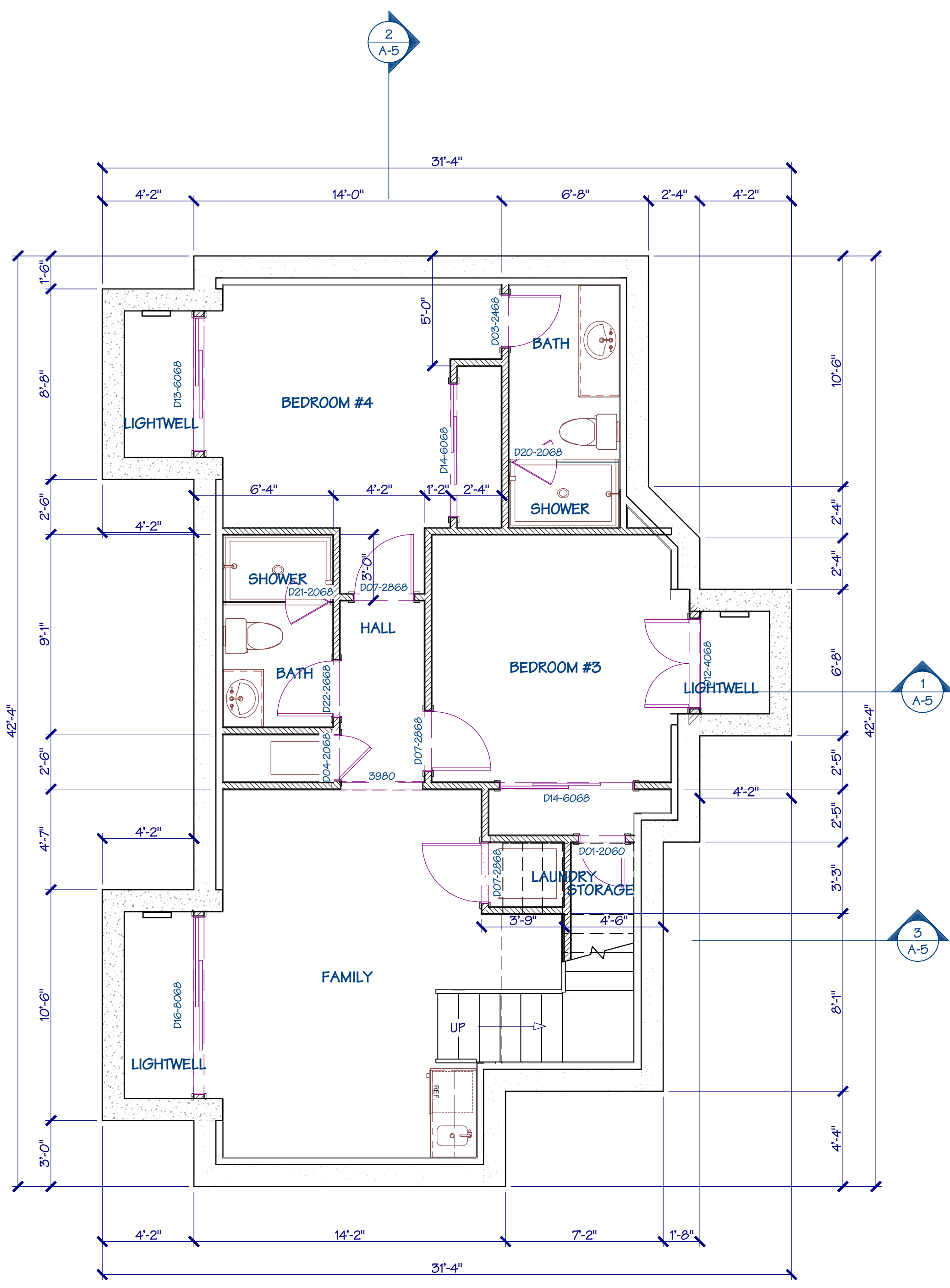
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Job	19-002
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of	Sheets

REVISIONS	BY
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PLANNING 1-7-20	

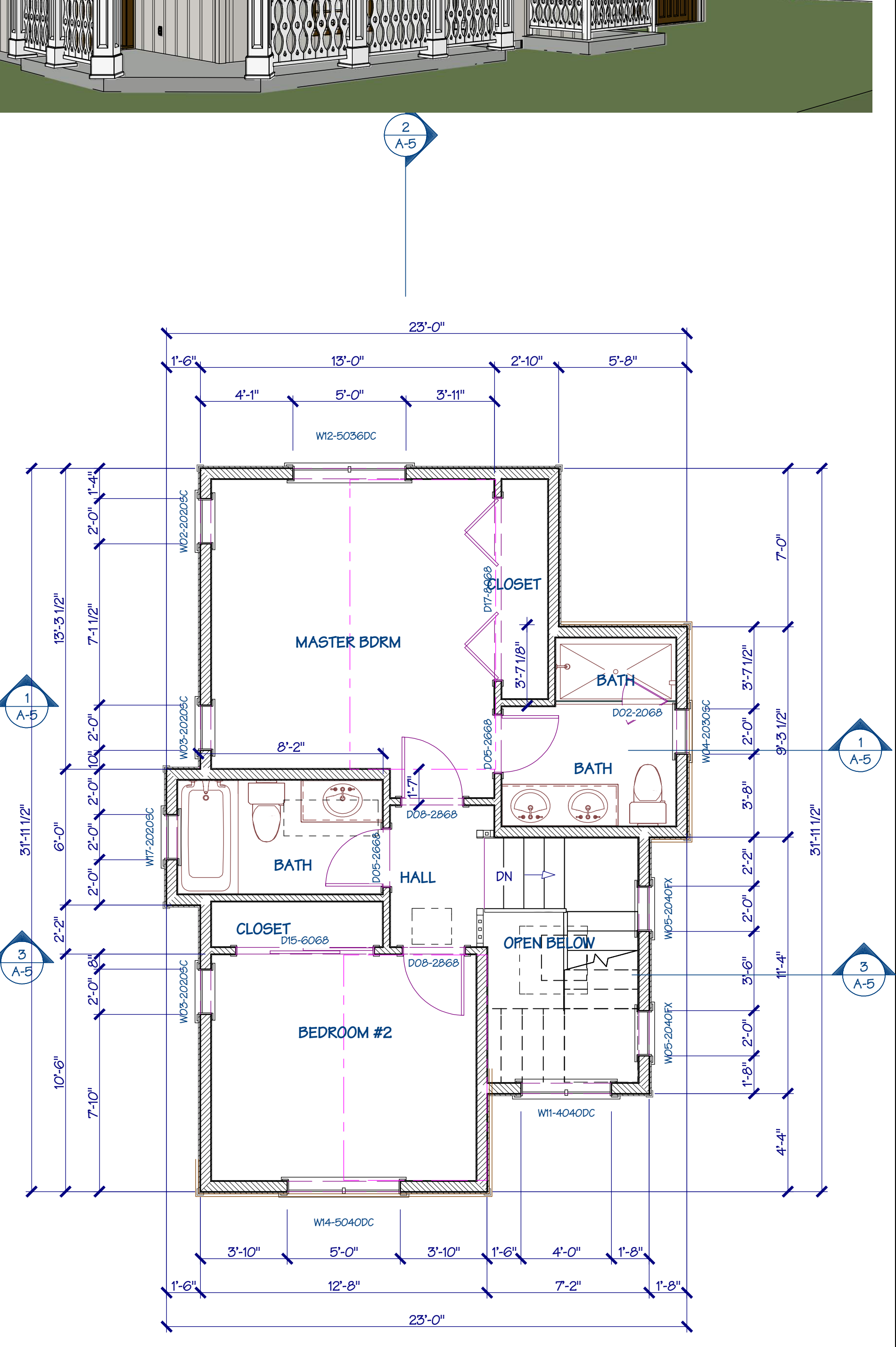
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 Scale 1/4" = 1'-0"
 Drawn RAH
 Job 19-002
 Sheet **A-11**
 of Sheets



FIRST FLOOR



SECOND FLOOR

MIDDLE UNIT #4

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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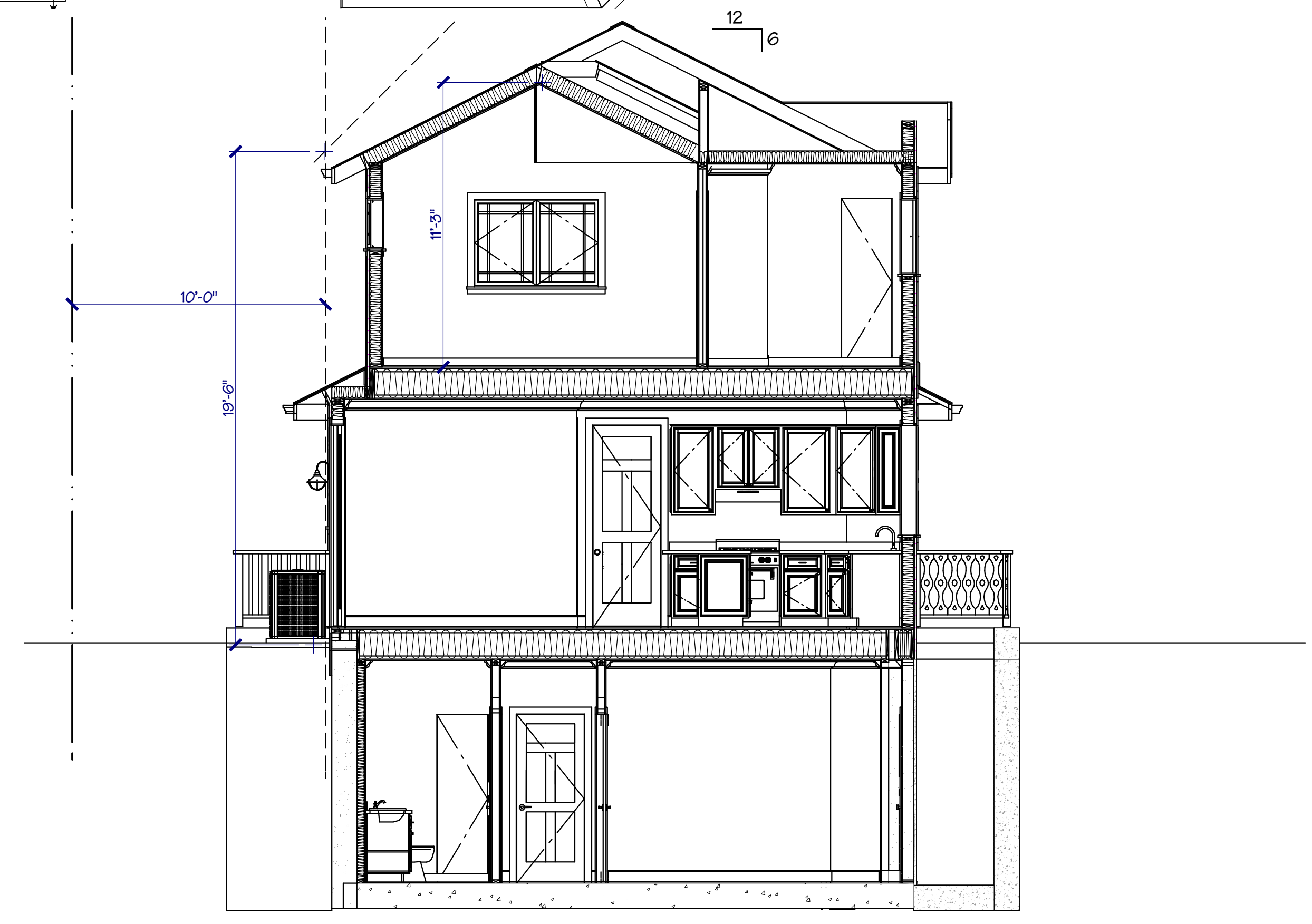
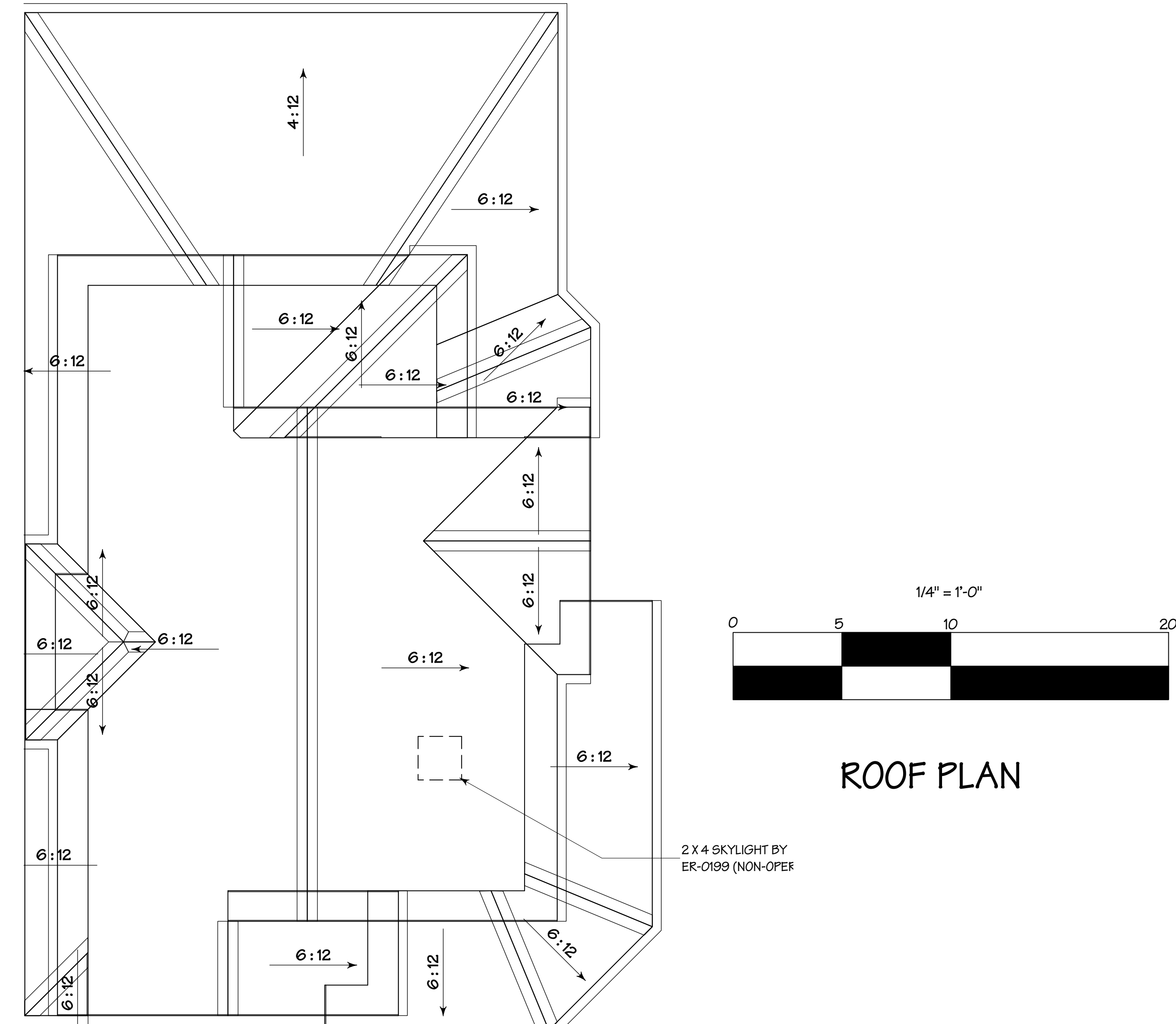
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NEW HOUSES FOR:
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Date 12-19-19
 Scale 1/4" = 1'-0"
 Drawn RAH
 Job 19-002
 Sheet

A-13
 of Sheets



MIDDLE UNIT #4

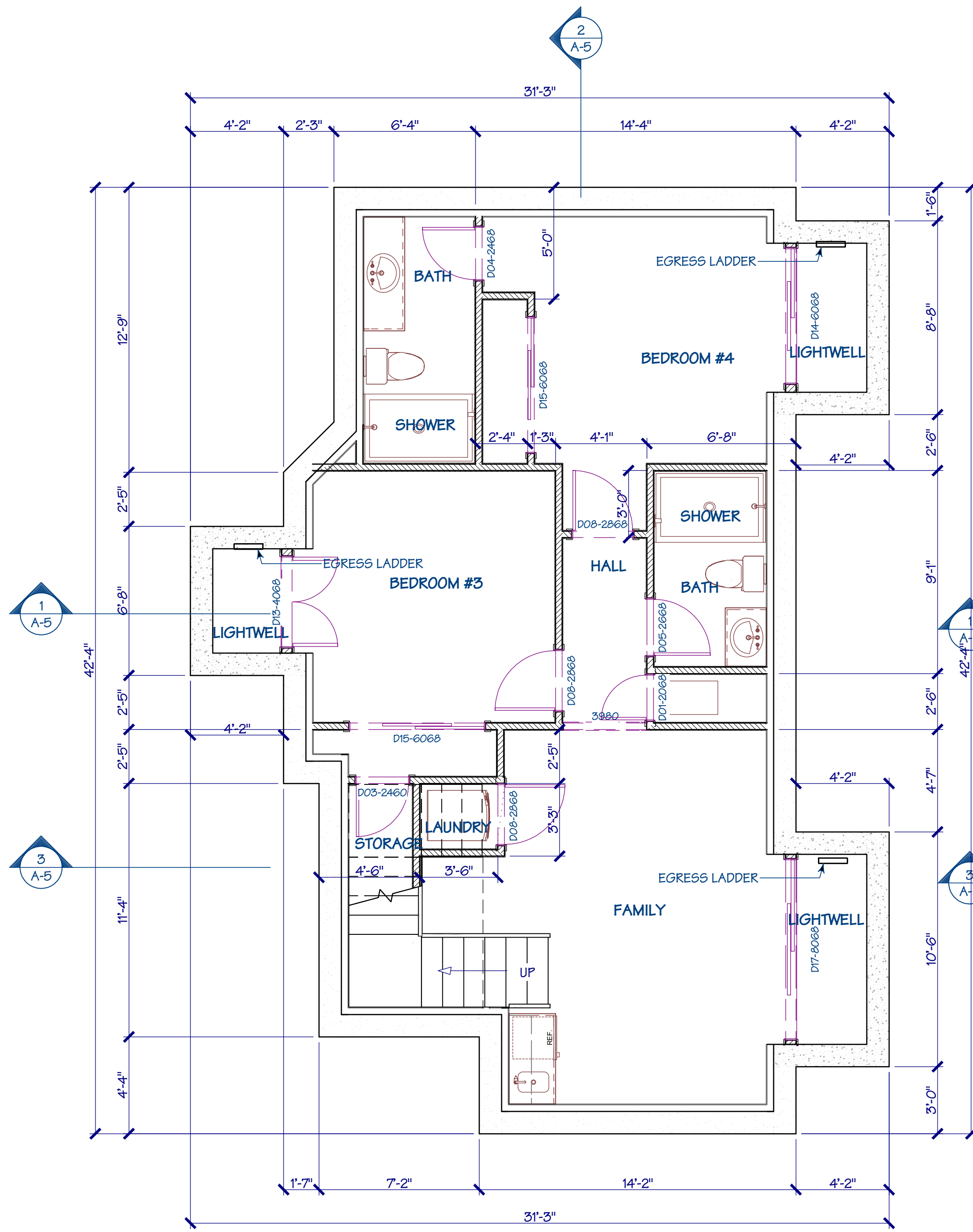


REVISIONS	BY
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PLANNING 12-4-19	
PLANNING 12-18-19	
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PLANNING 1-7-20	

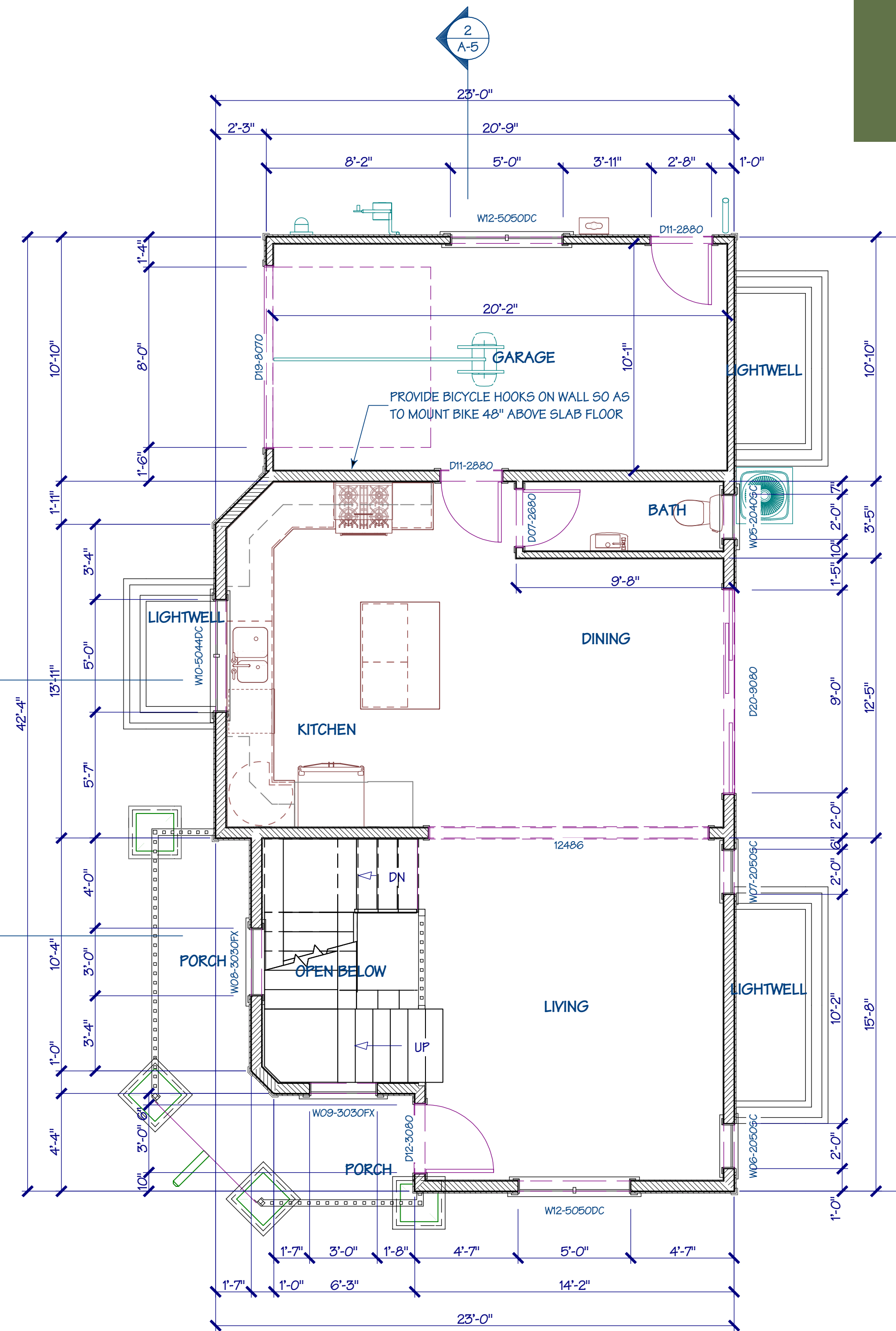
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GoldSilverIsland, LLC
 661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

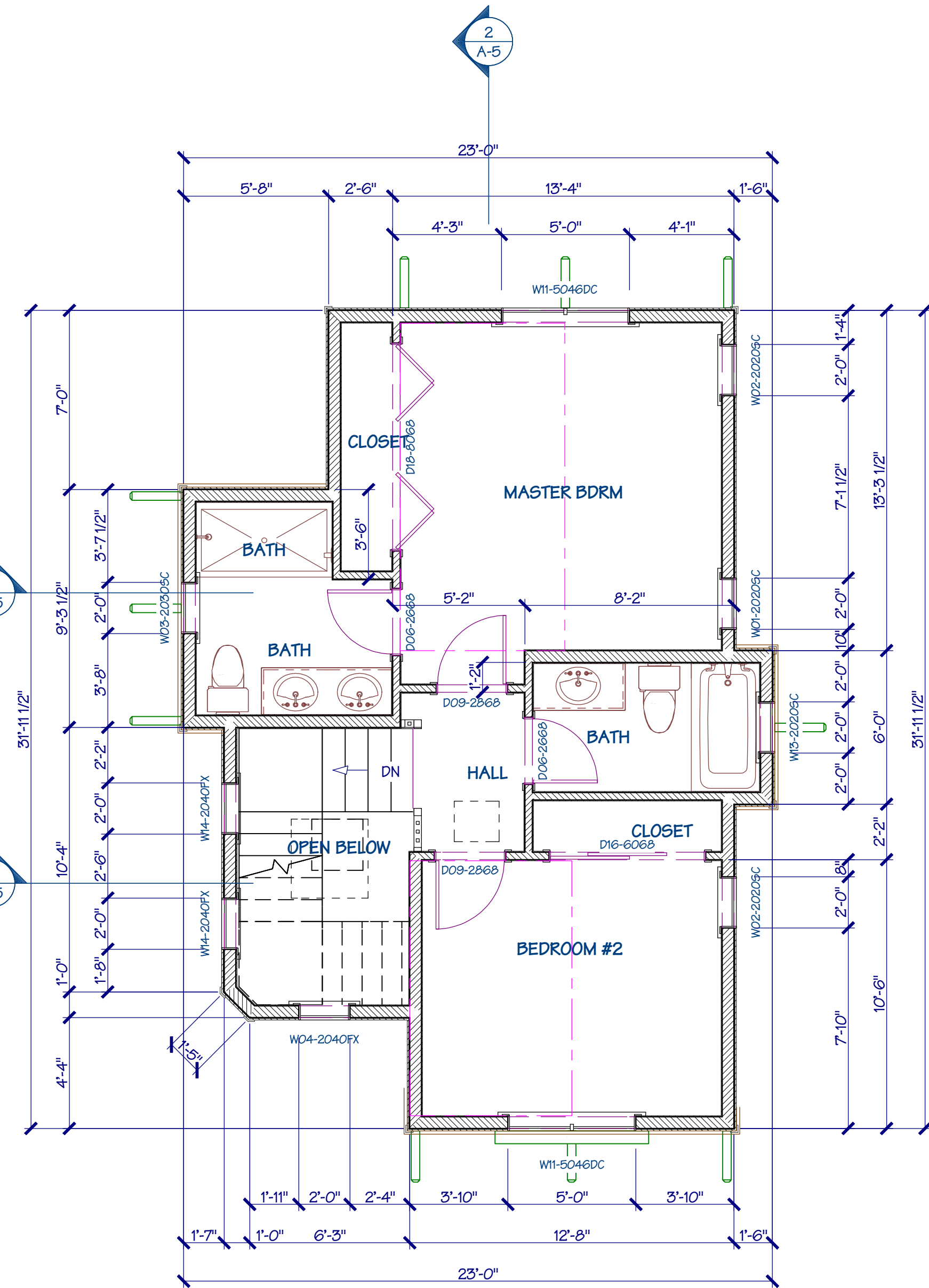
Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-14
of	Sheets



BASMENT FLOOR

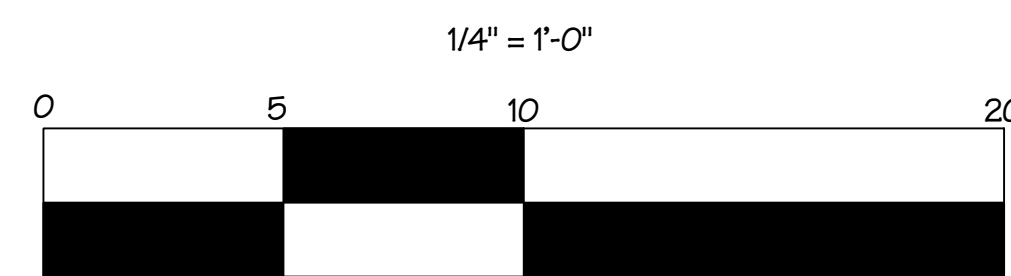


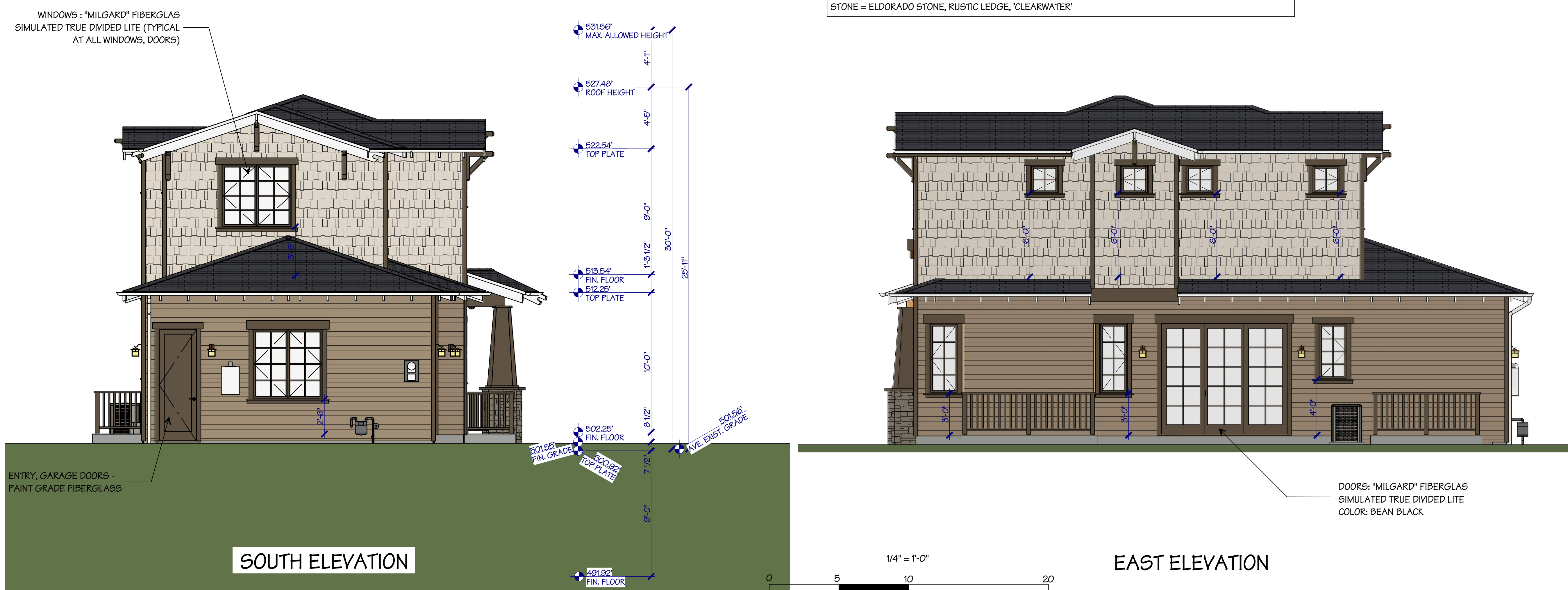
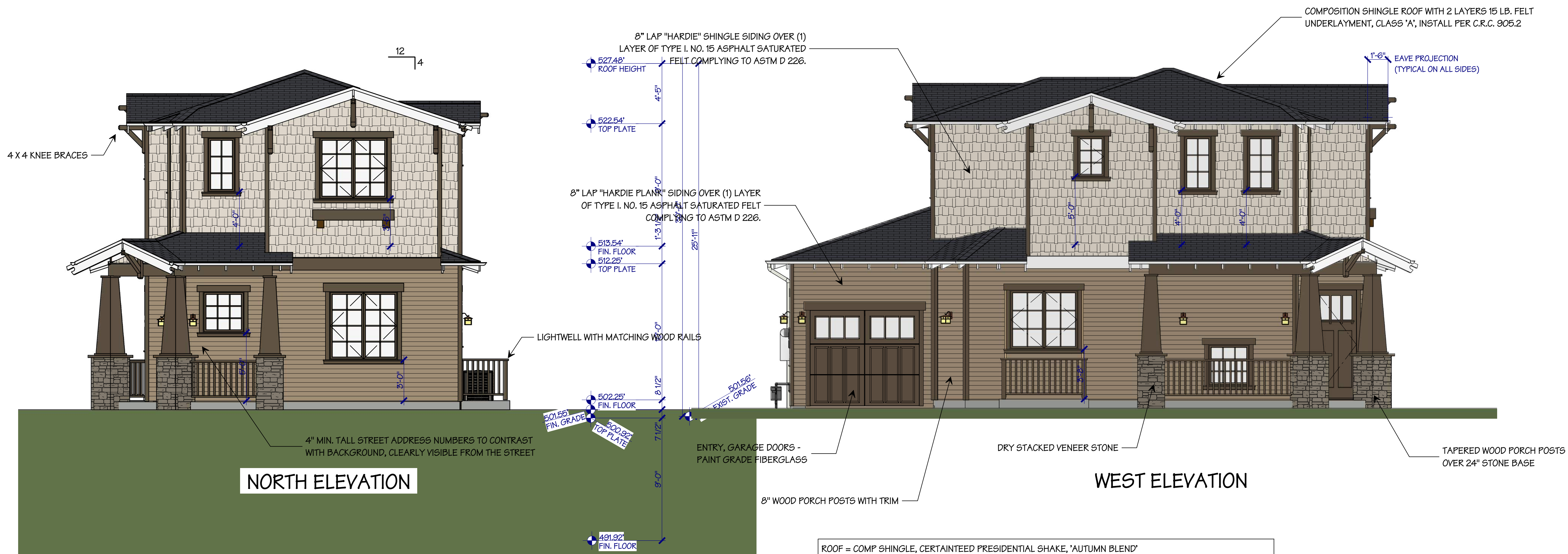
FIRST FLOOR



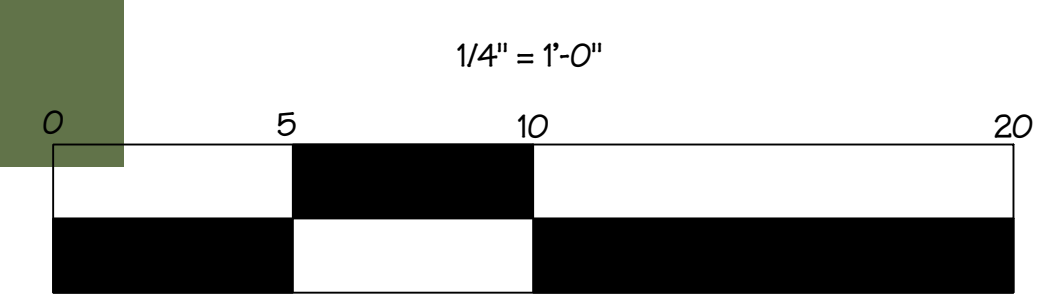
SECOND FLOOR

MIDDLE UNIT #5





ROOF = COMP SHINGLE, CERTAINTEED PRESIDENTIAL SHAKE, 'AUTUMN BLEND'
 HANDI-SHINGLE, KELLY-MOORE, KM4548, 'BOB WHISKERS'
 HARDI-PLANK, KELLY-MOORE, KMHL54213, 'BUNGALOW BROWN'
 WINDOW TRIM, FASCIA, BRACKETS, COLUMNS, RAILINGS = KELLY-MOORE, KM4554, 'BUFFALO DANCE'
 STONE = ELDORADO STONE, RUSTIC LEDGE, 'CLEARWATER'



REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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 HometecArch@gmail.com
 555 #B MERIDIAN AVE. SAN JOSE, CA 95126

NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-15
of	Sheets

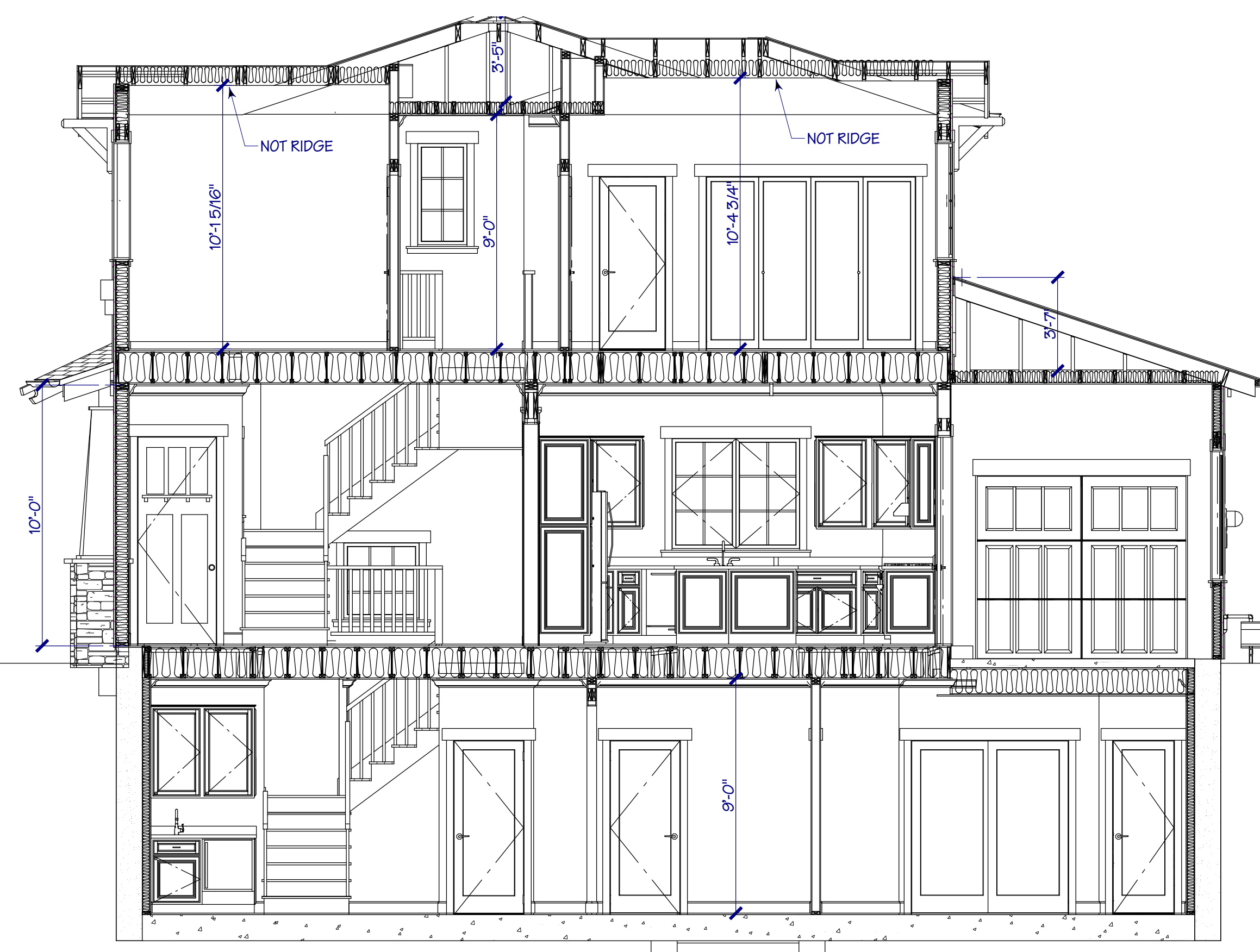
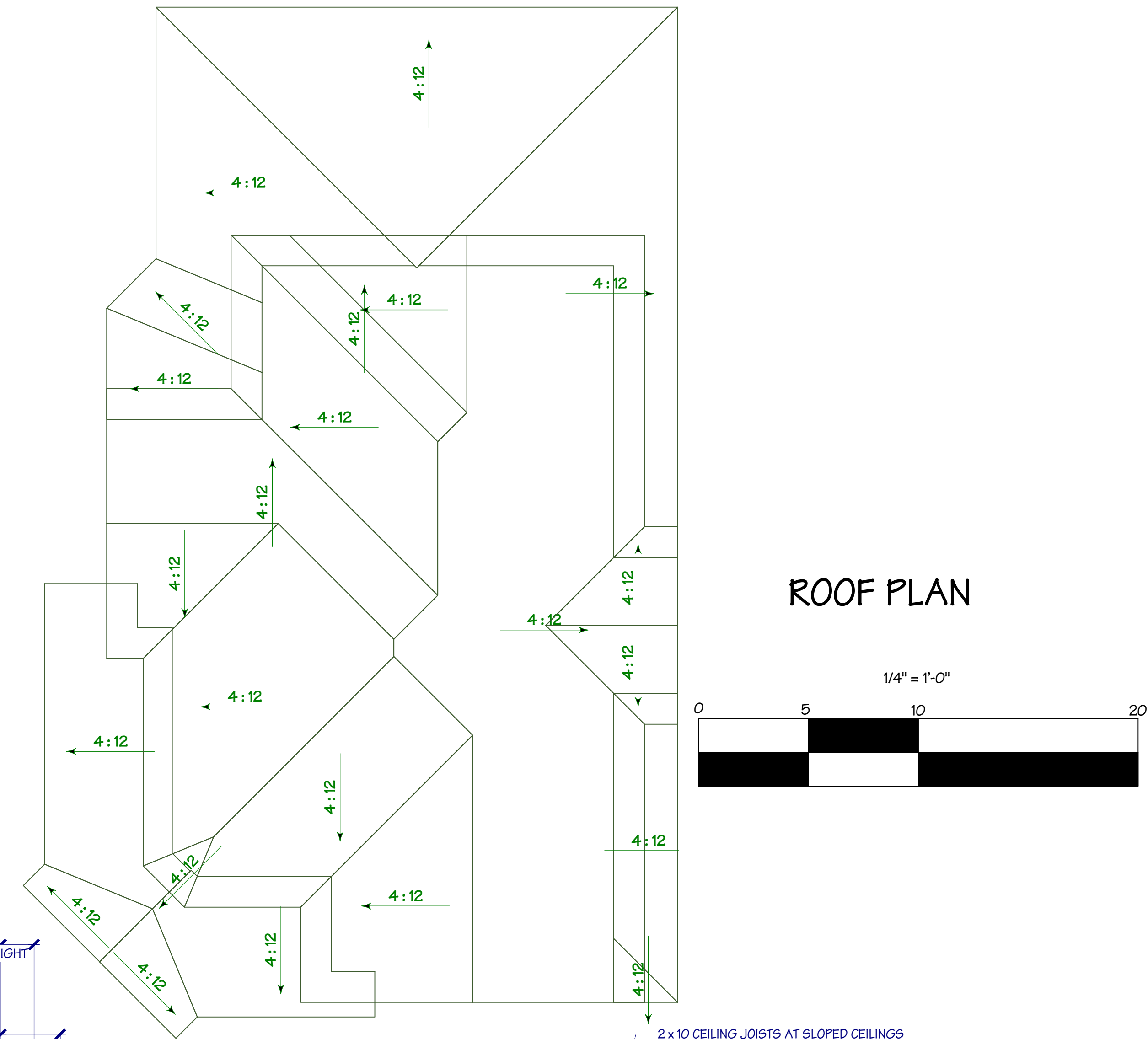
MIDDLE UNIT #5

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

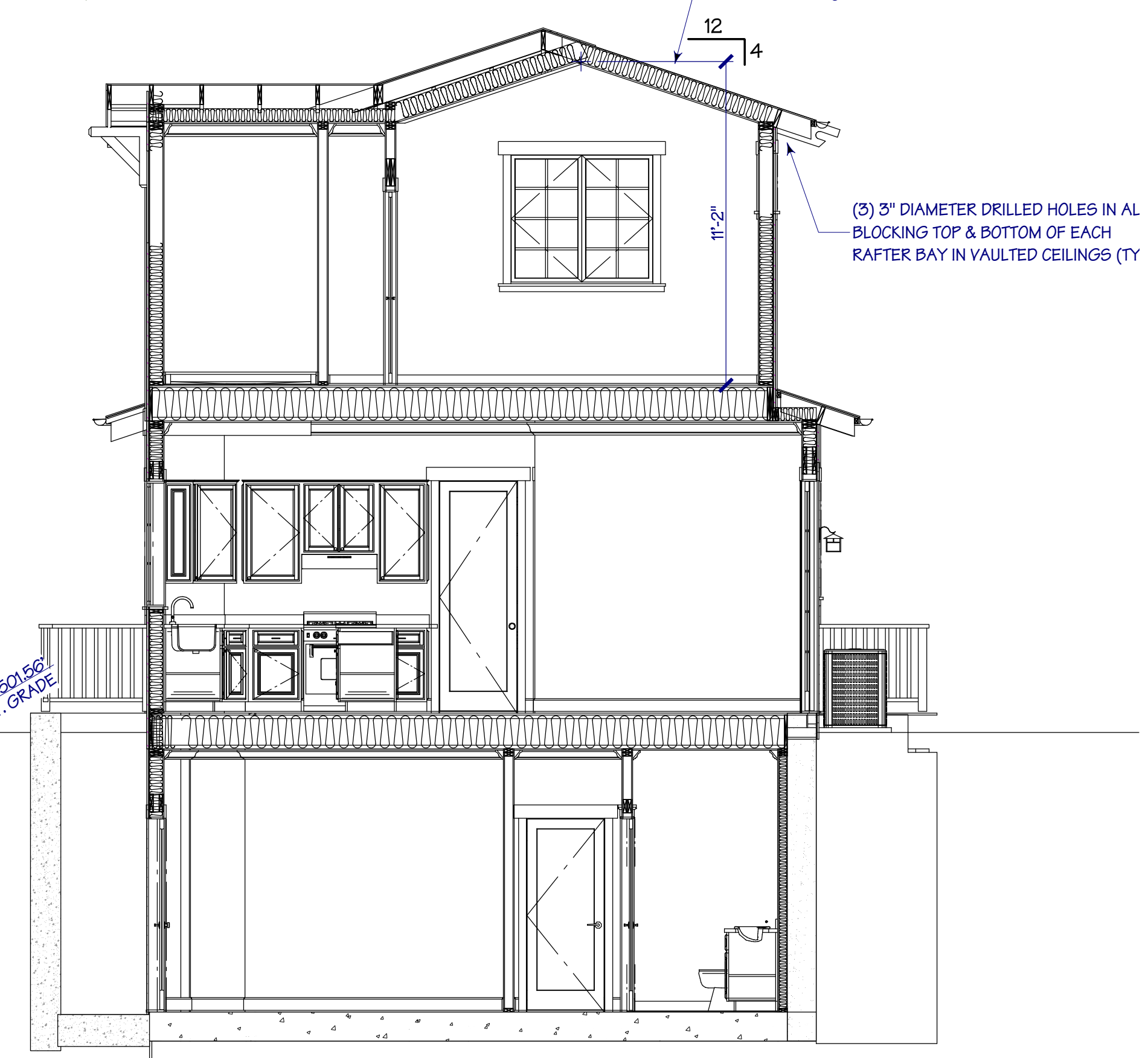
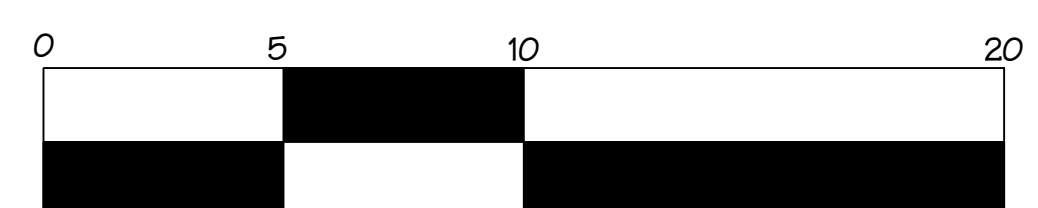
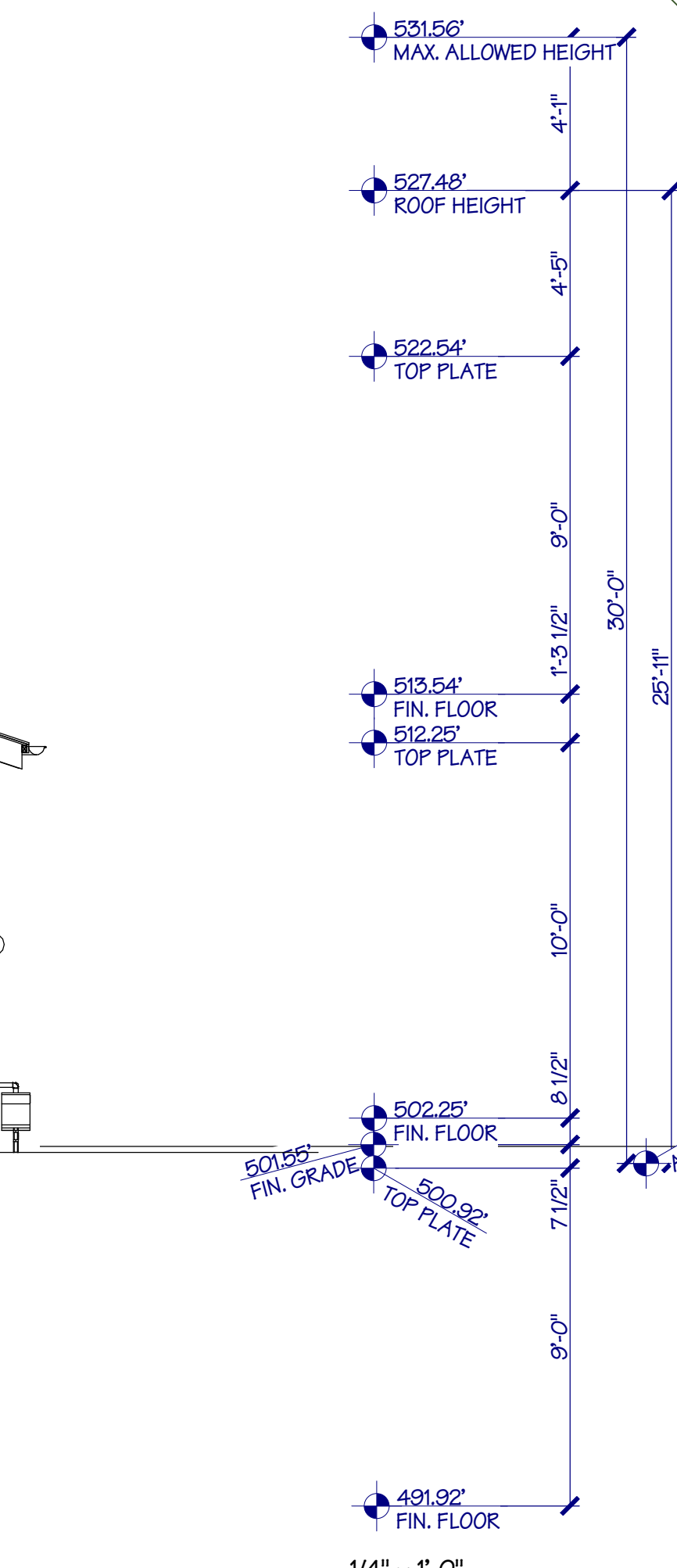
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 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-16
of	Sheets



1 SECTION



2 SECTION

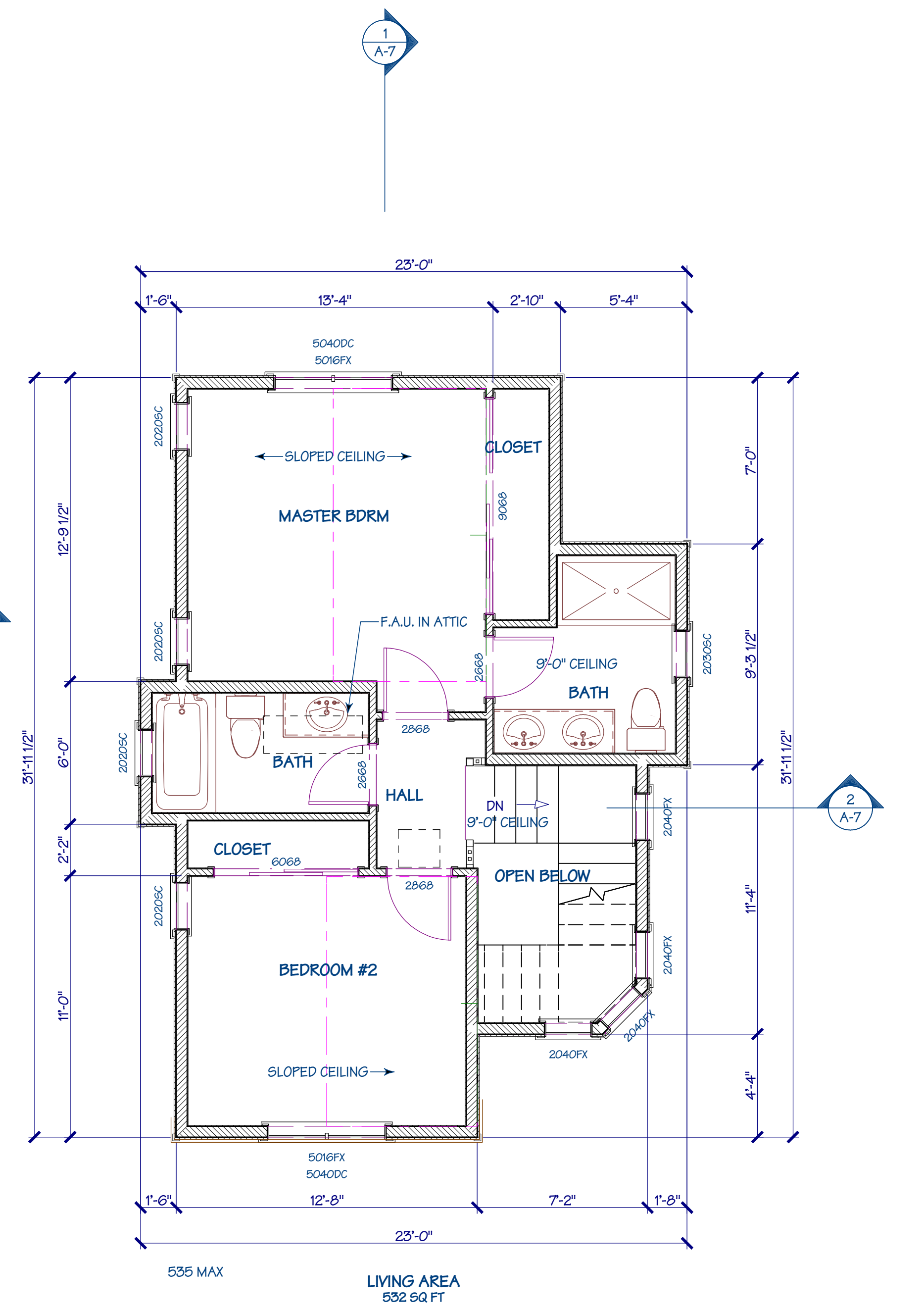
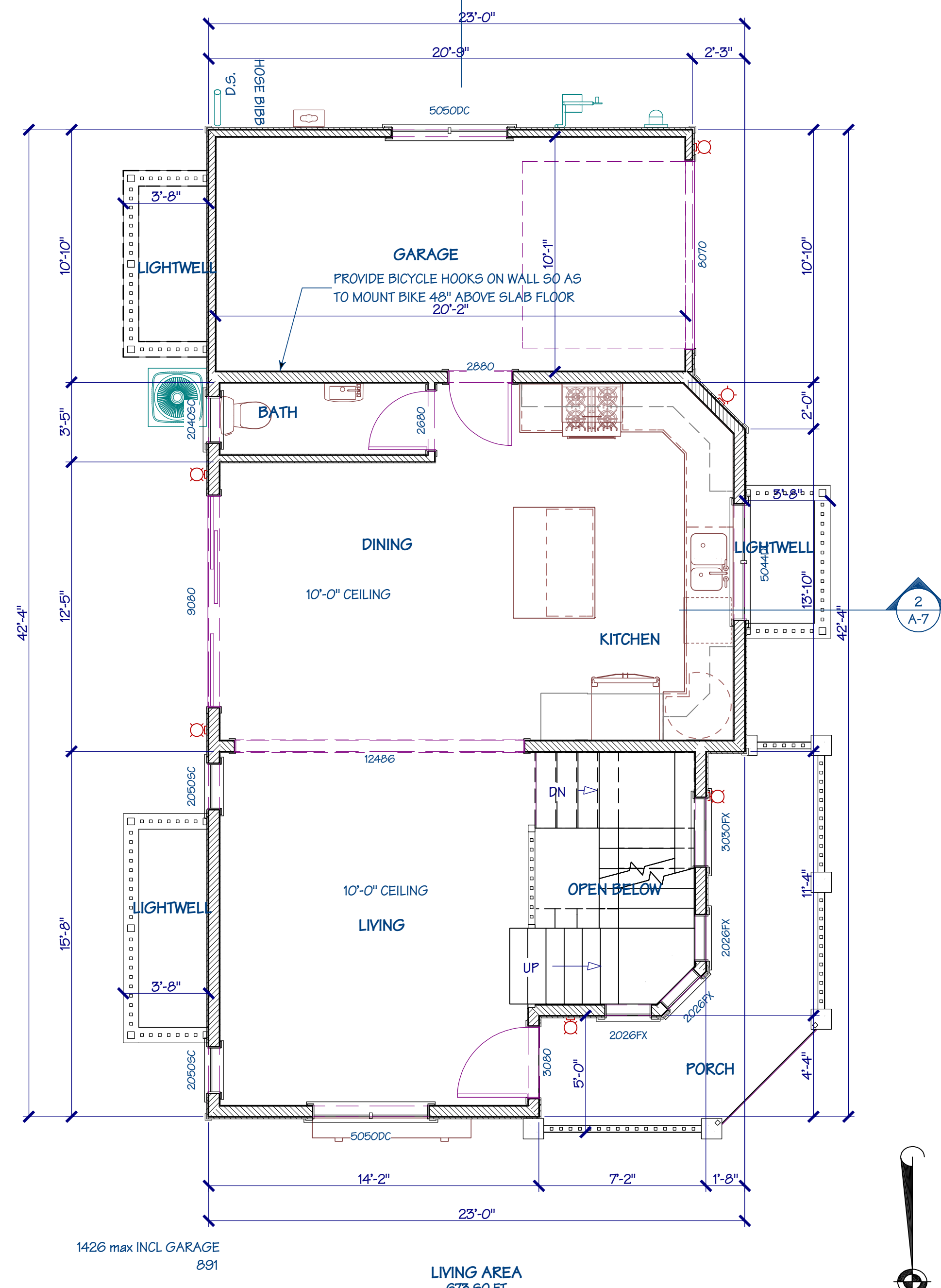
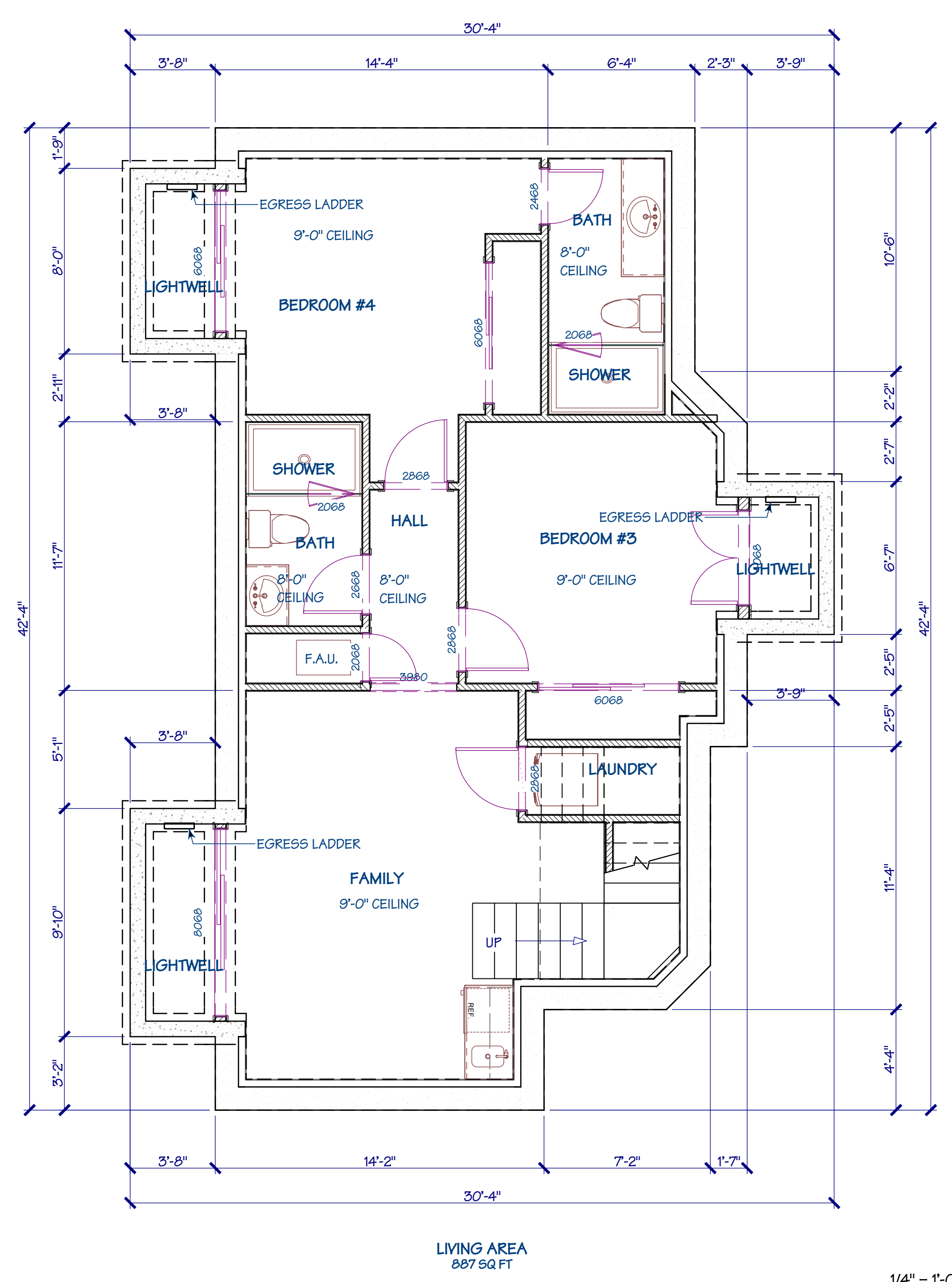
MIDDLE UNIT #5

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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NEW HOUSES FOR:
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 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-17
of	Sheets

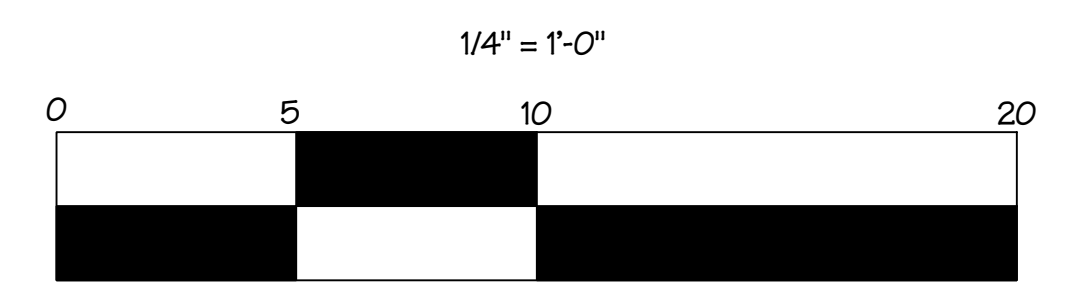


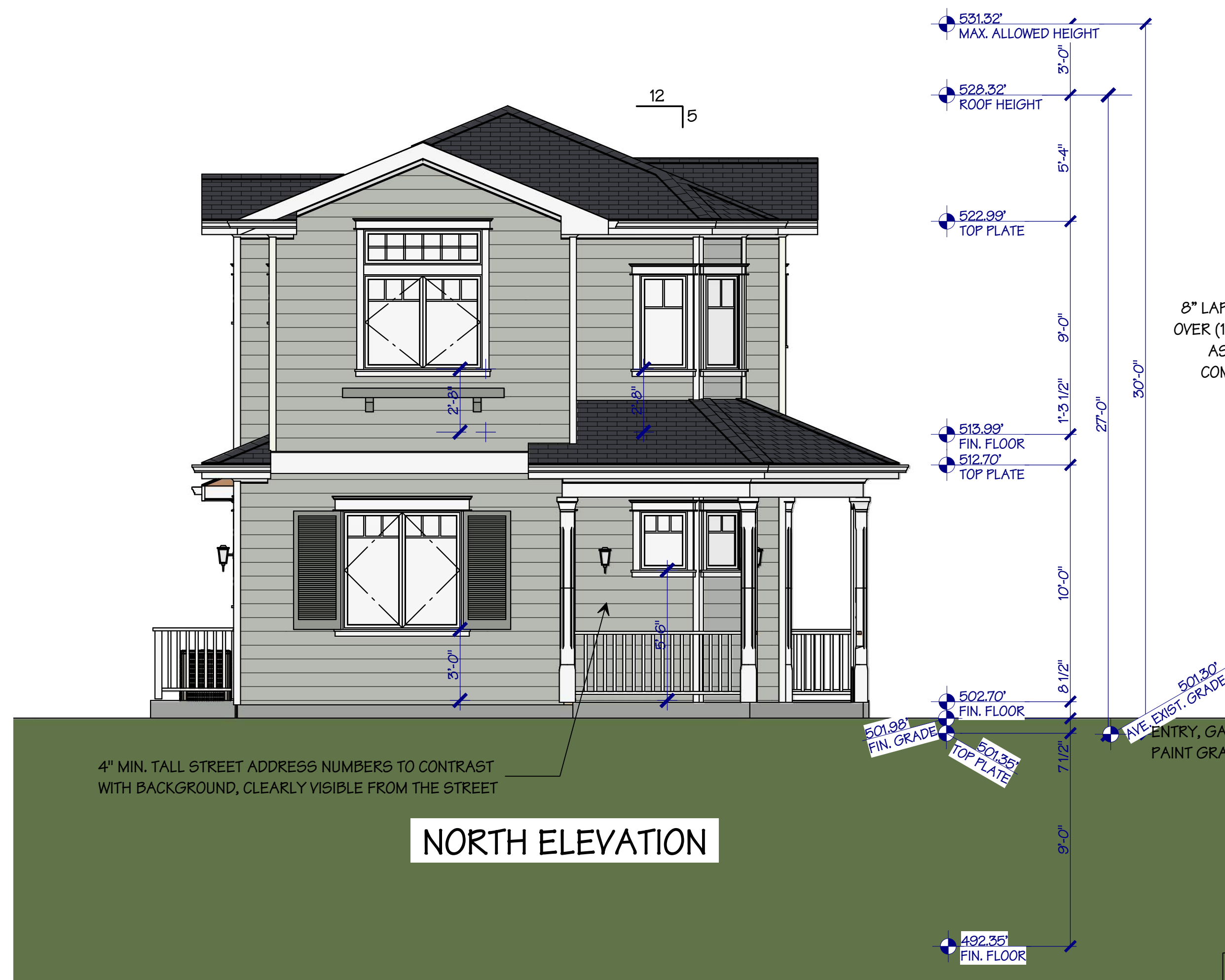
BASEMENT FLOOR

FIRST FLOOR

SECOND FLOOR

MIDDLE UNIT #6



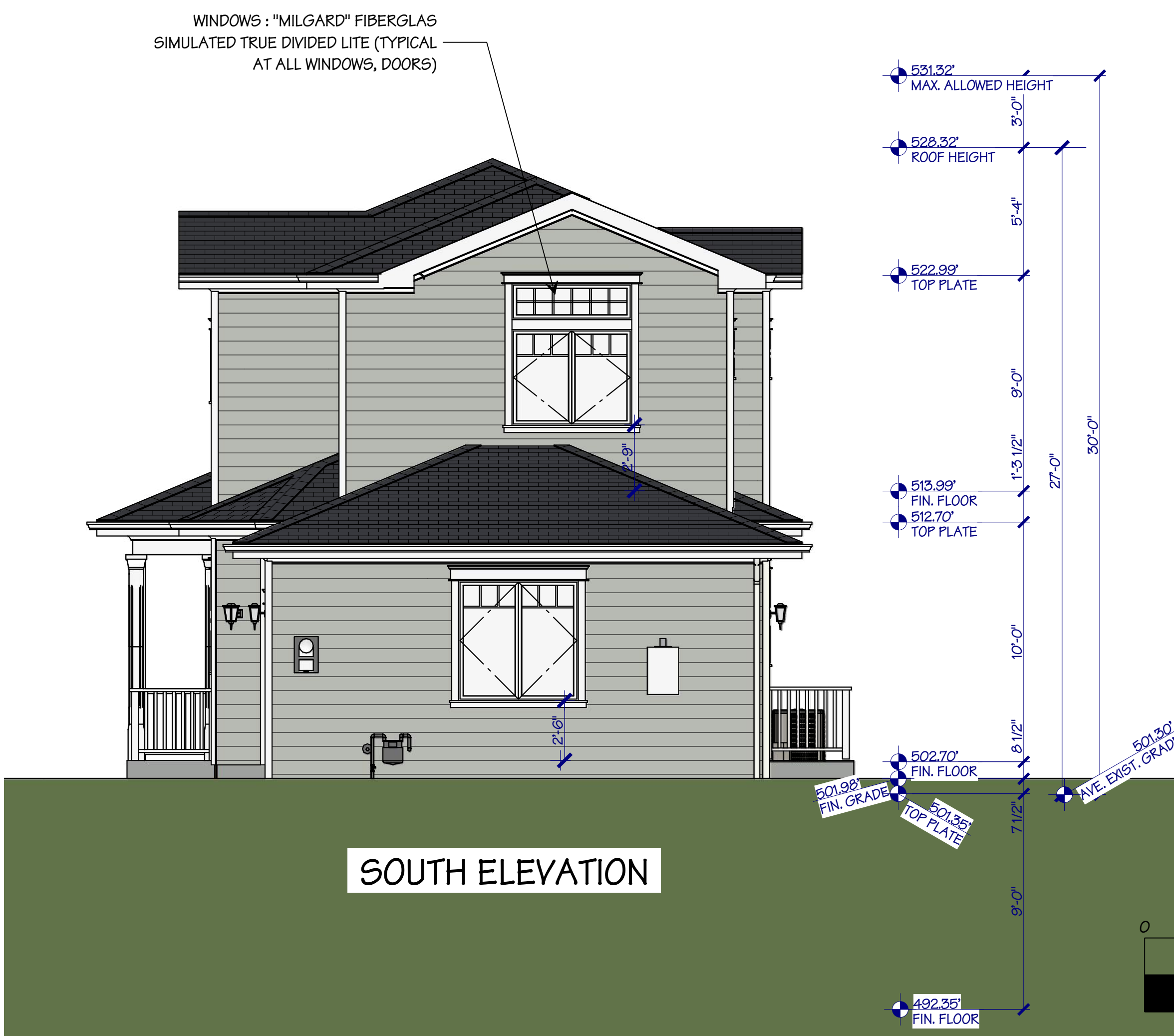


NORTH ELEVATION

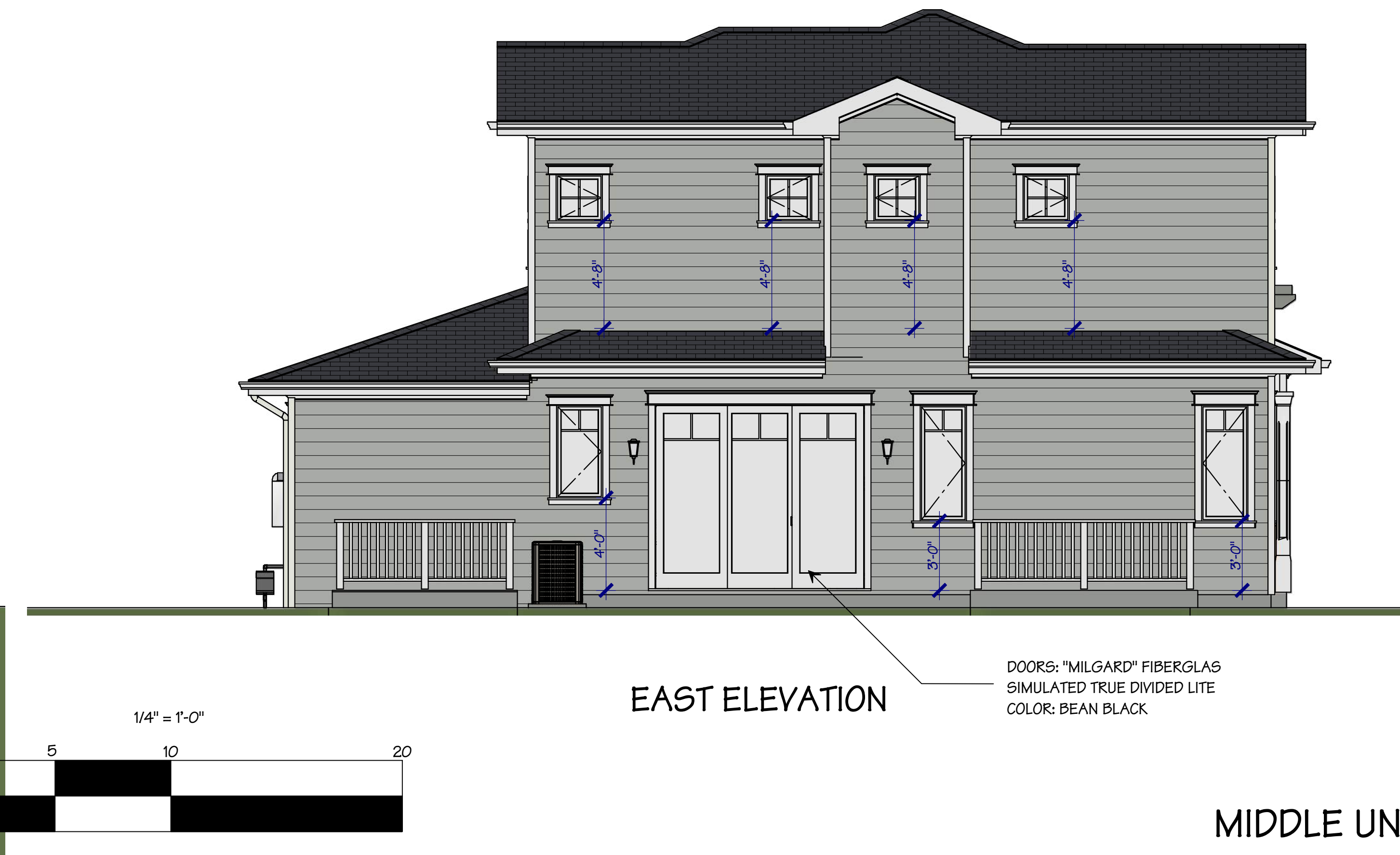


WEST ELEVATION

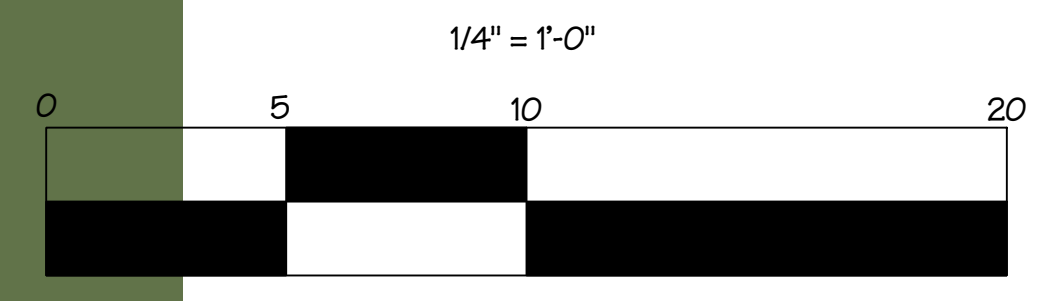
ROOF = COMP SHINGLE, CERTAINTEED, PRESIDENTIAL, 'SHADOW GRAY'
 GABLE & SHUTTERS = KELLY-MOORE, KM4817, 'TRELLEDGED IVY'
 HARDI-PLANK, KELLY-MOORE, 'SILKY GREEN'
 WINDOW TRIM, COLUMNS, FASCIA, RAILINGS = KELLY-MOORE, KMW49, 'GREAT WHITE'



SOUTH ELEVATION



EAST ELEVATION



REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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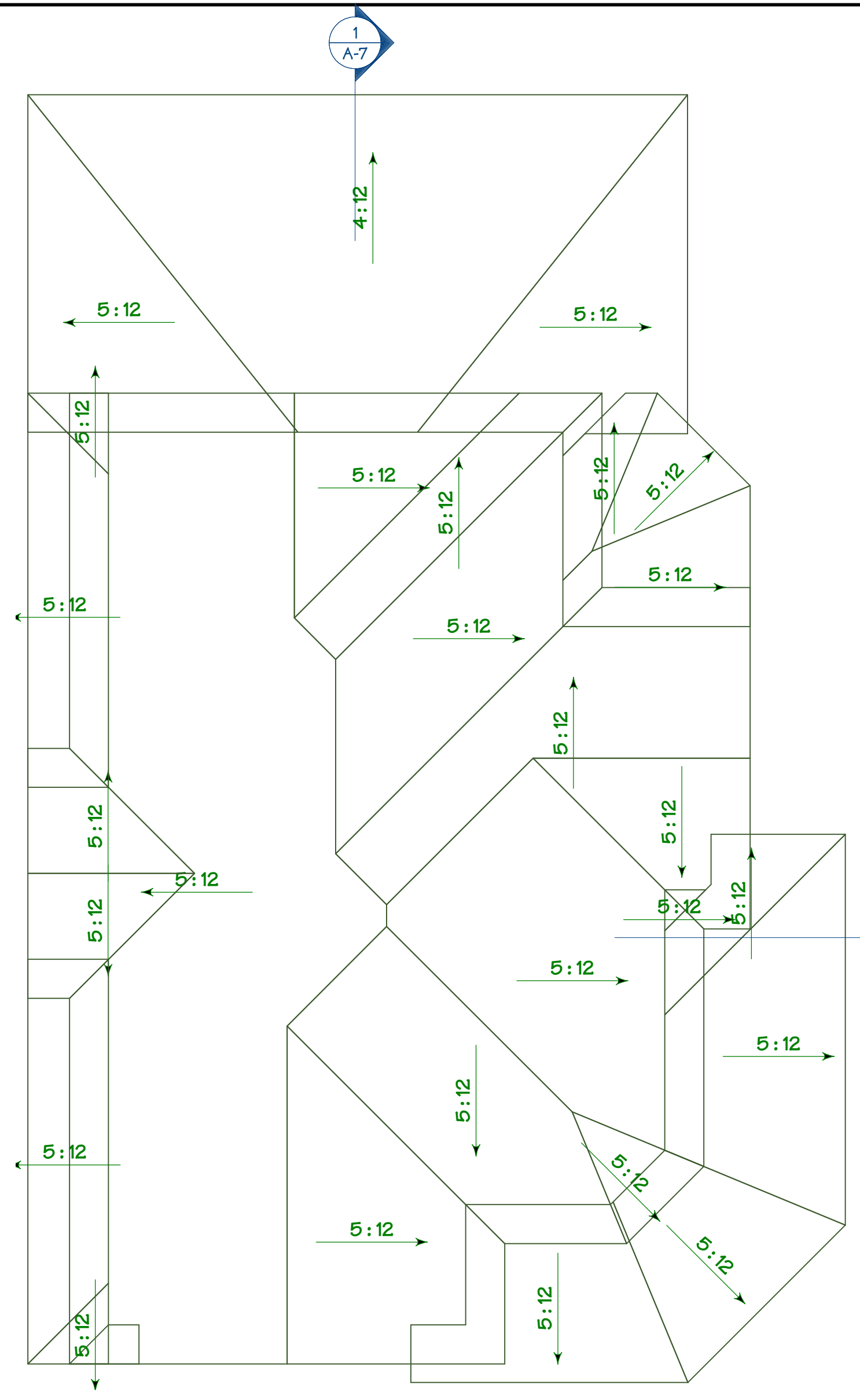
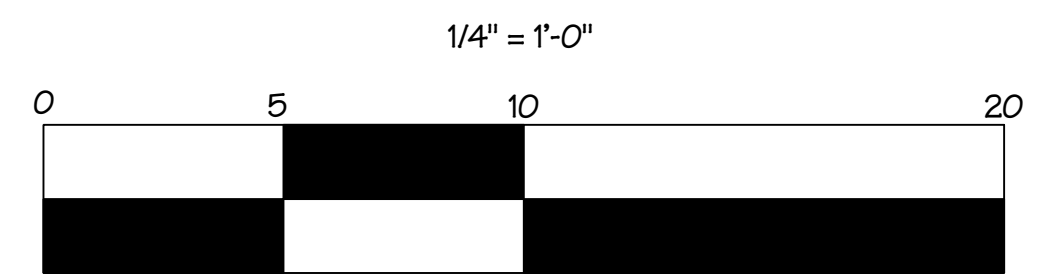
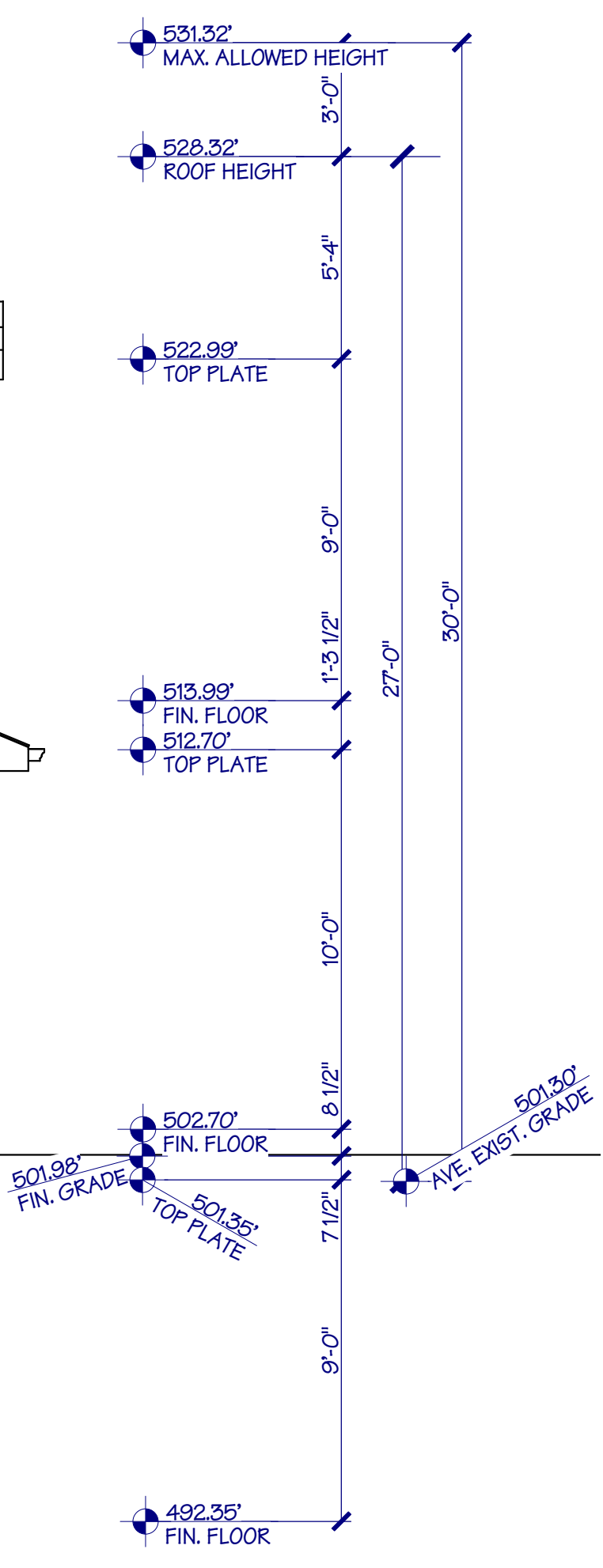
NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

Date 12 - 19 - 19
 Scale 1/4" = 1'-0"
 Drawn RAH
 Job 19-002
 Sheet
A-18
 of Sheets

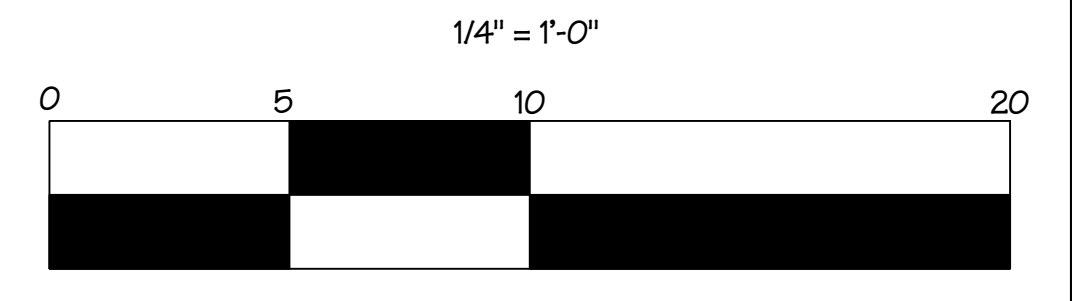
MIDDLE UNIT #6



1 SECTION



ROOF PLAN



2 SECTION

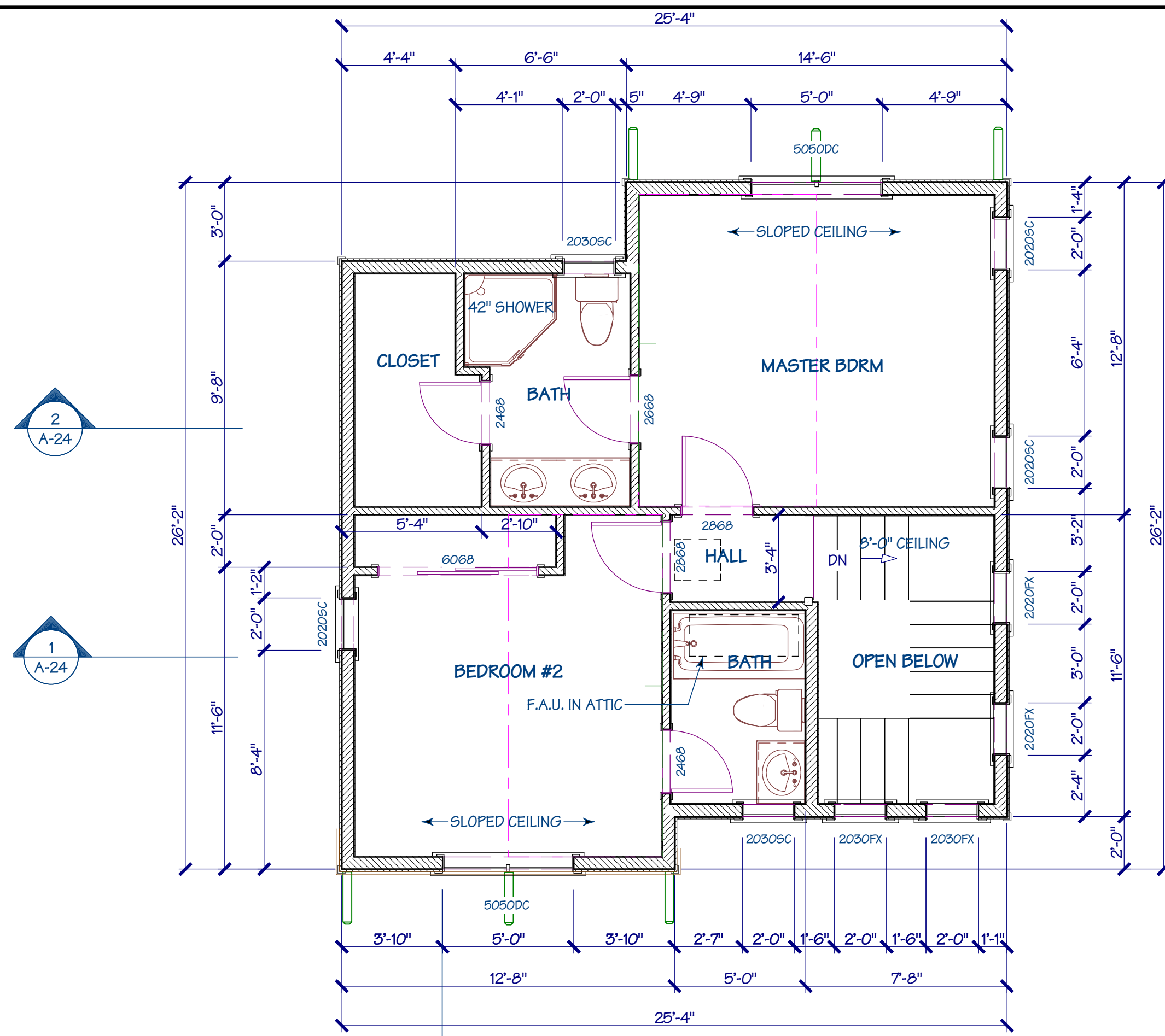
MIDDLE UNIT #6

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

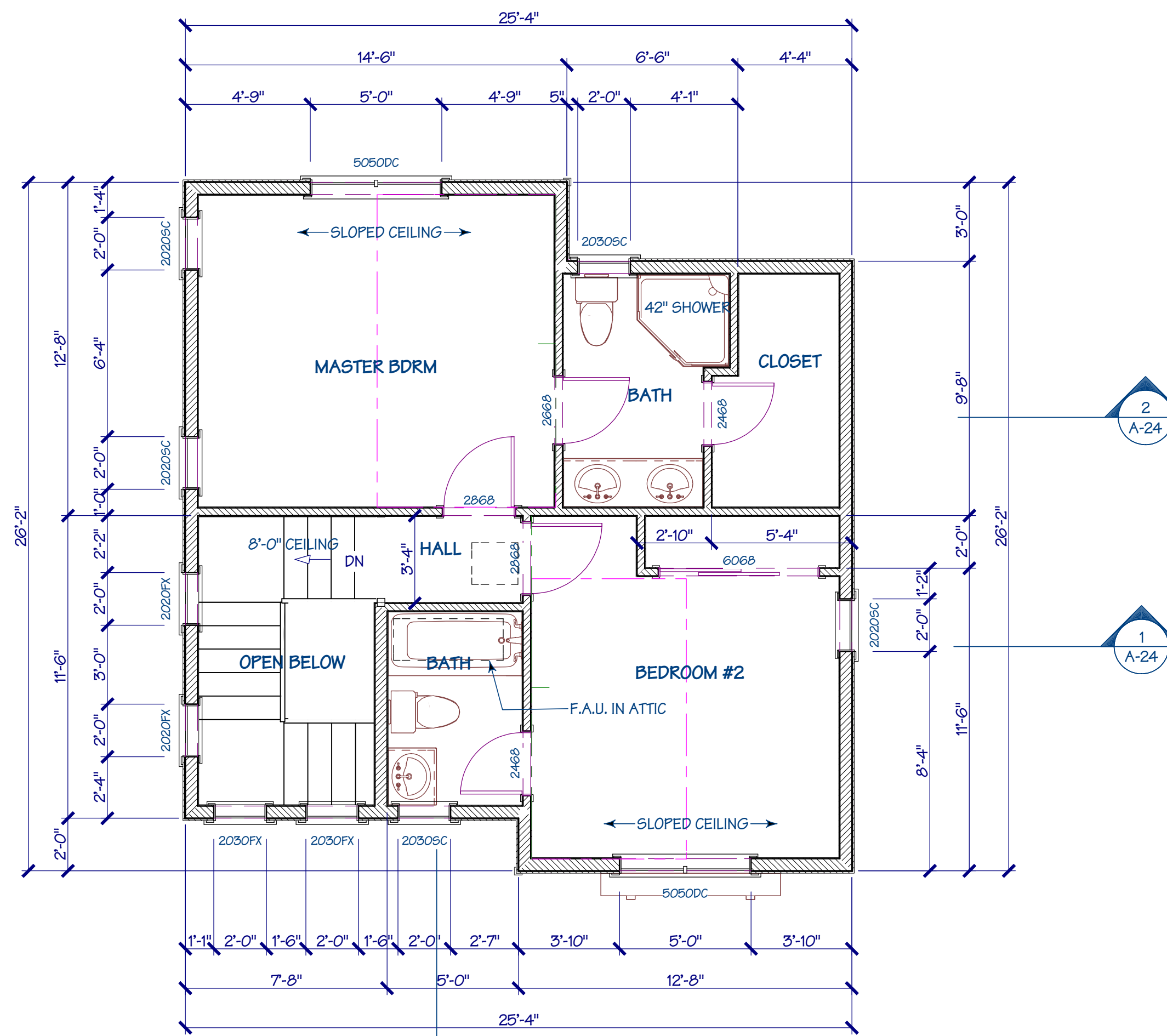
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NEW HOUSES FOR:
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 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

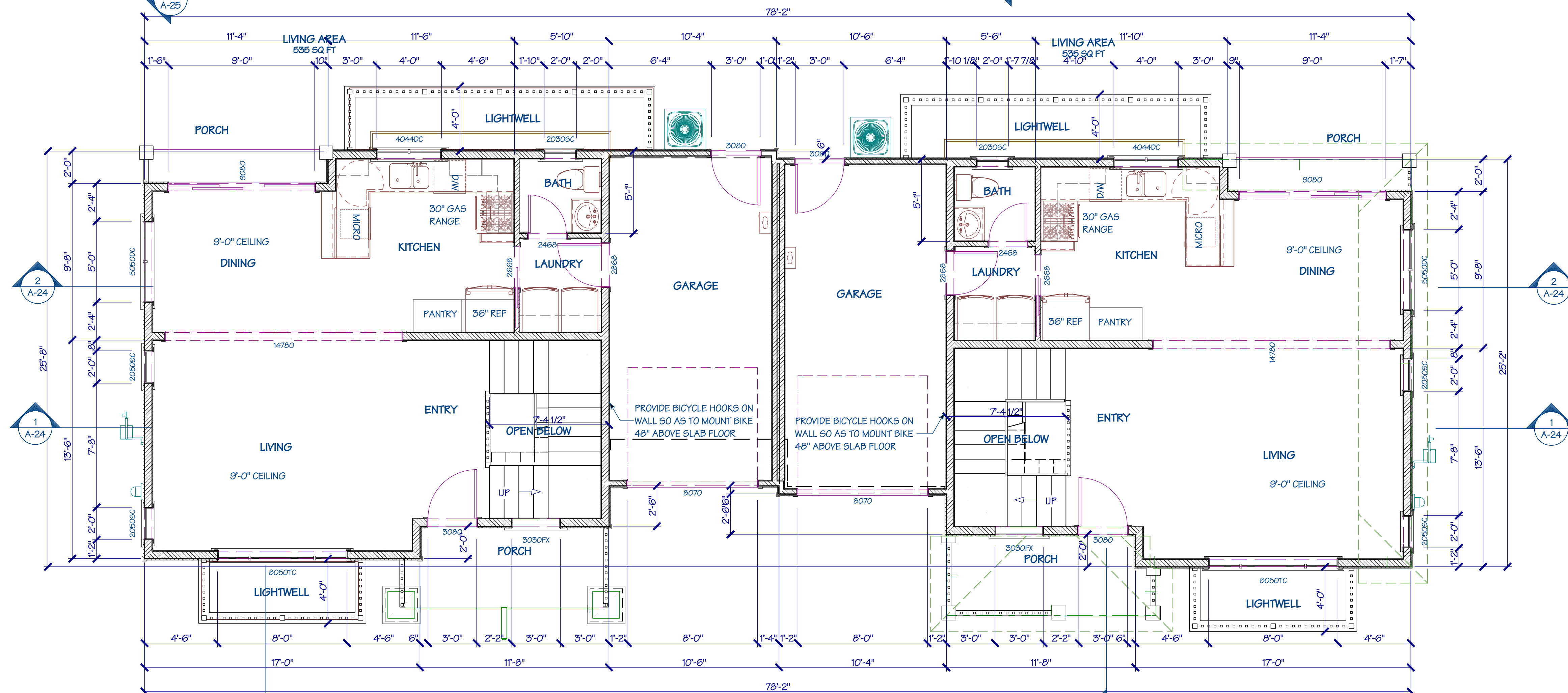
Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-19
of	Sheets



SECOND FLOOR UNIT #7



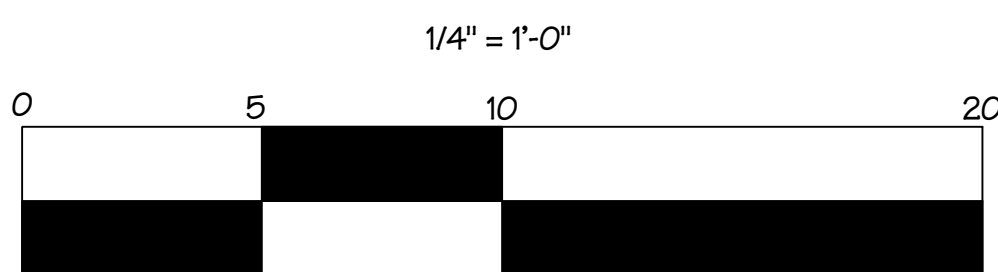
SECOND FLOOR UNIT #8



FIRST FLOOR UNIT #7

FIRST FLOOR UNIT #8

REAR UNIT #7 & #8

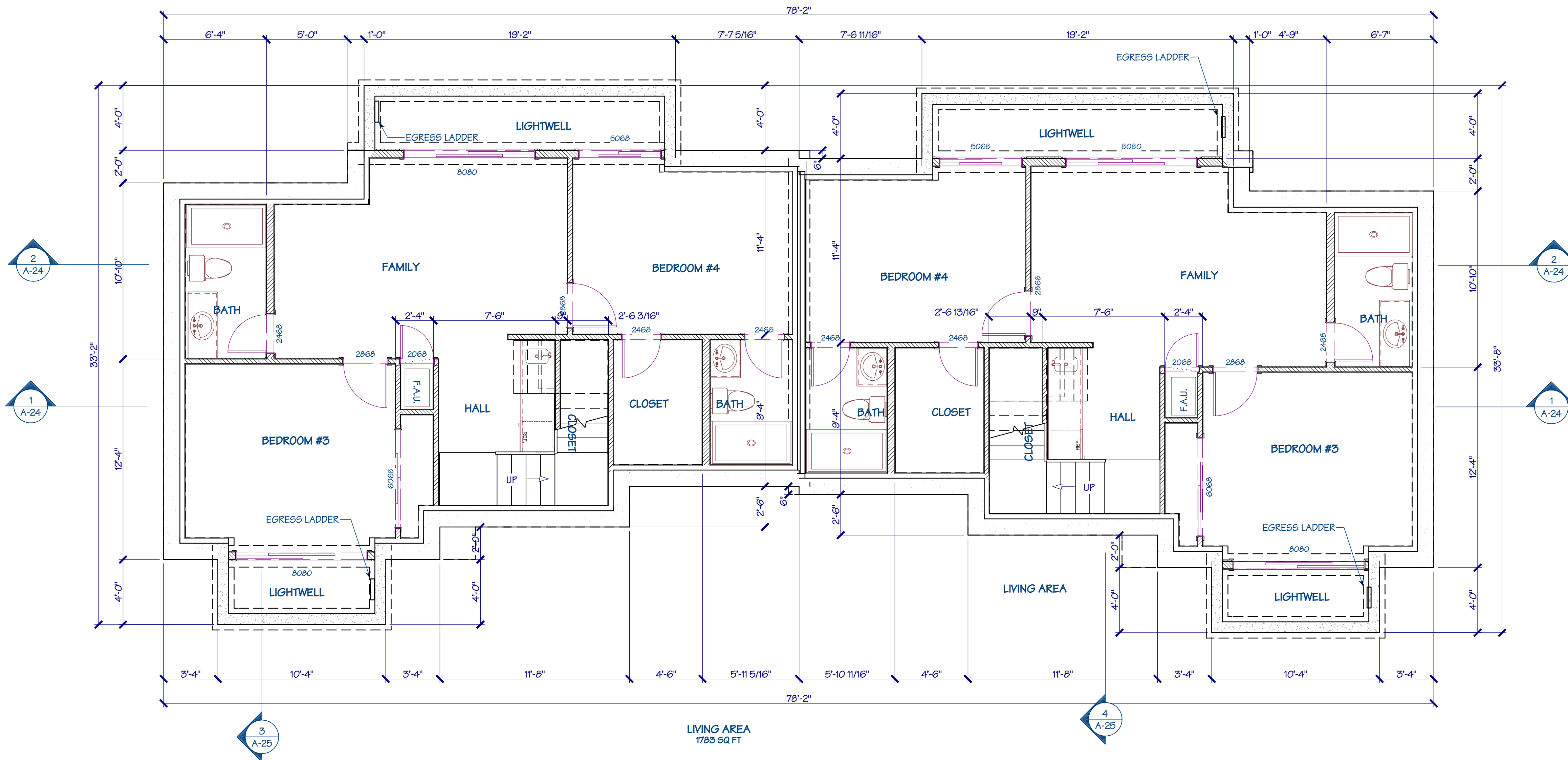
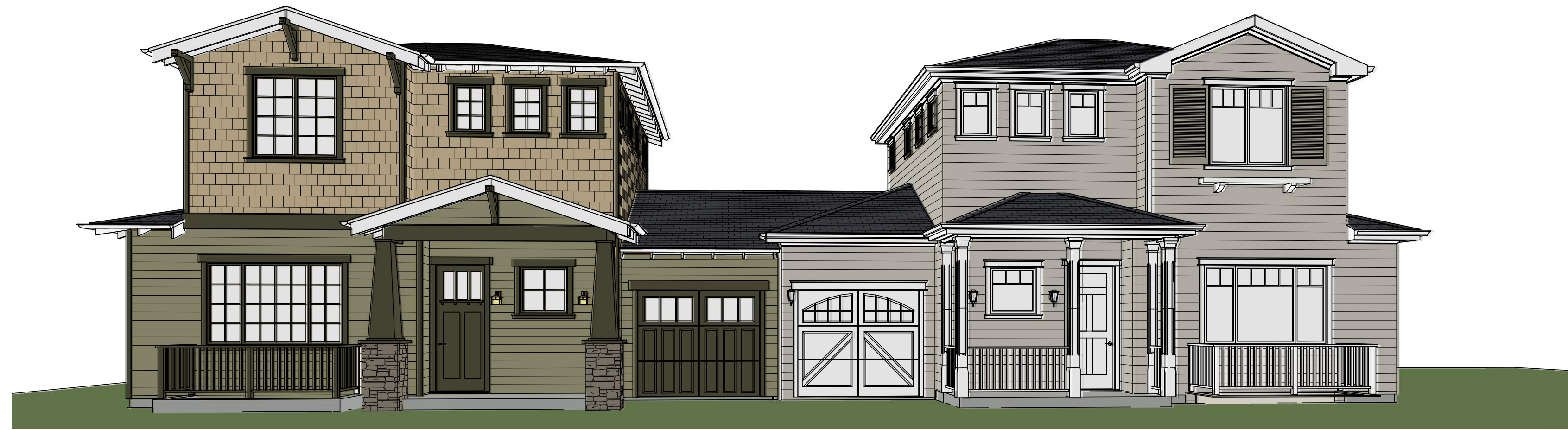


REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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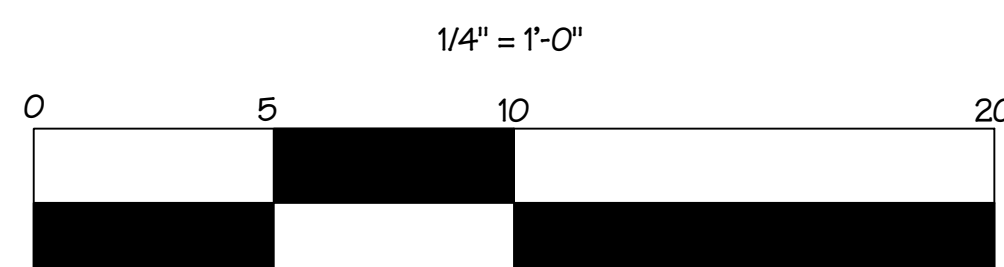
NEW HOUSES FOR:
GoldSilverland, LLC
 661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

Date 12 - 19 - 19
 Scale 1/4" = 1'-0"
 Drawn RAH
 Job 19-002
 Sheet **A-20**
 of Sheets



BASEMENT FLOOR UNIT #7

BASEMENT FLOOR UNIT #8



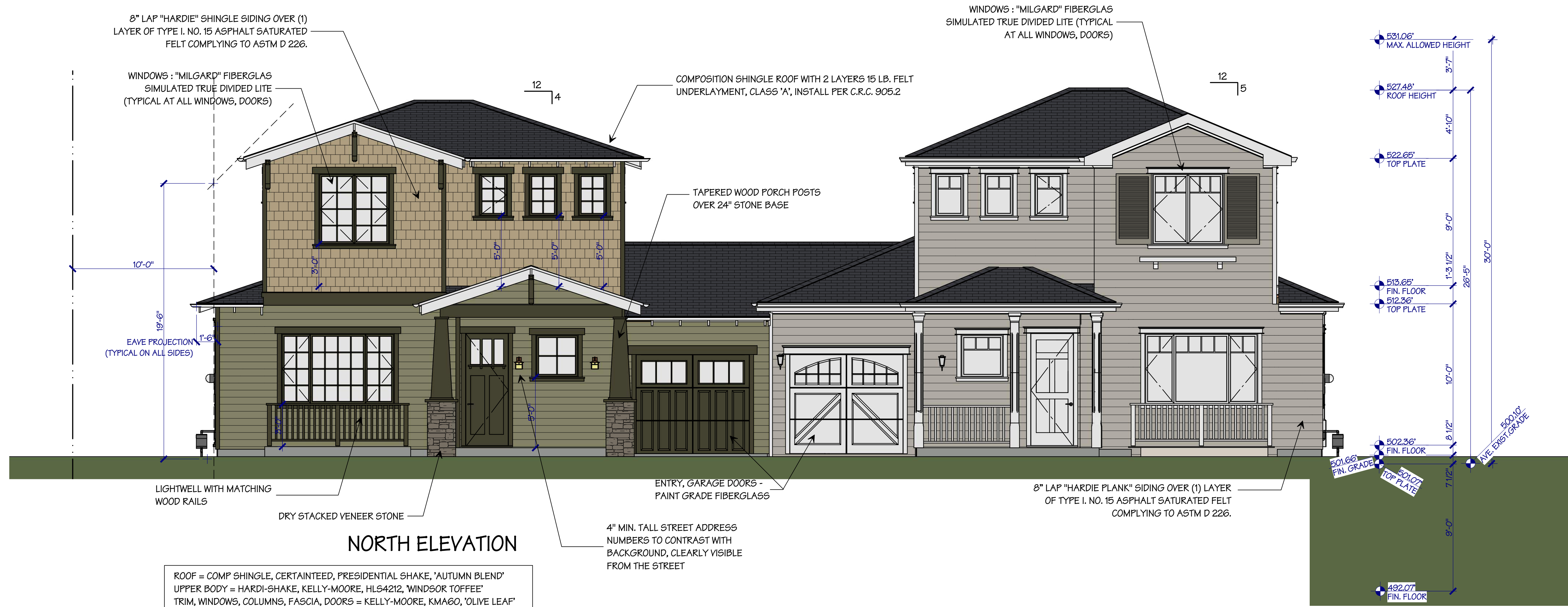
REAR UNIT #7 & #8

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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NEW HOUSES FOR:
GoldSilverIsland, LLC
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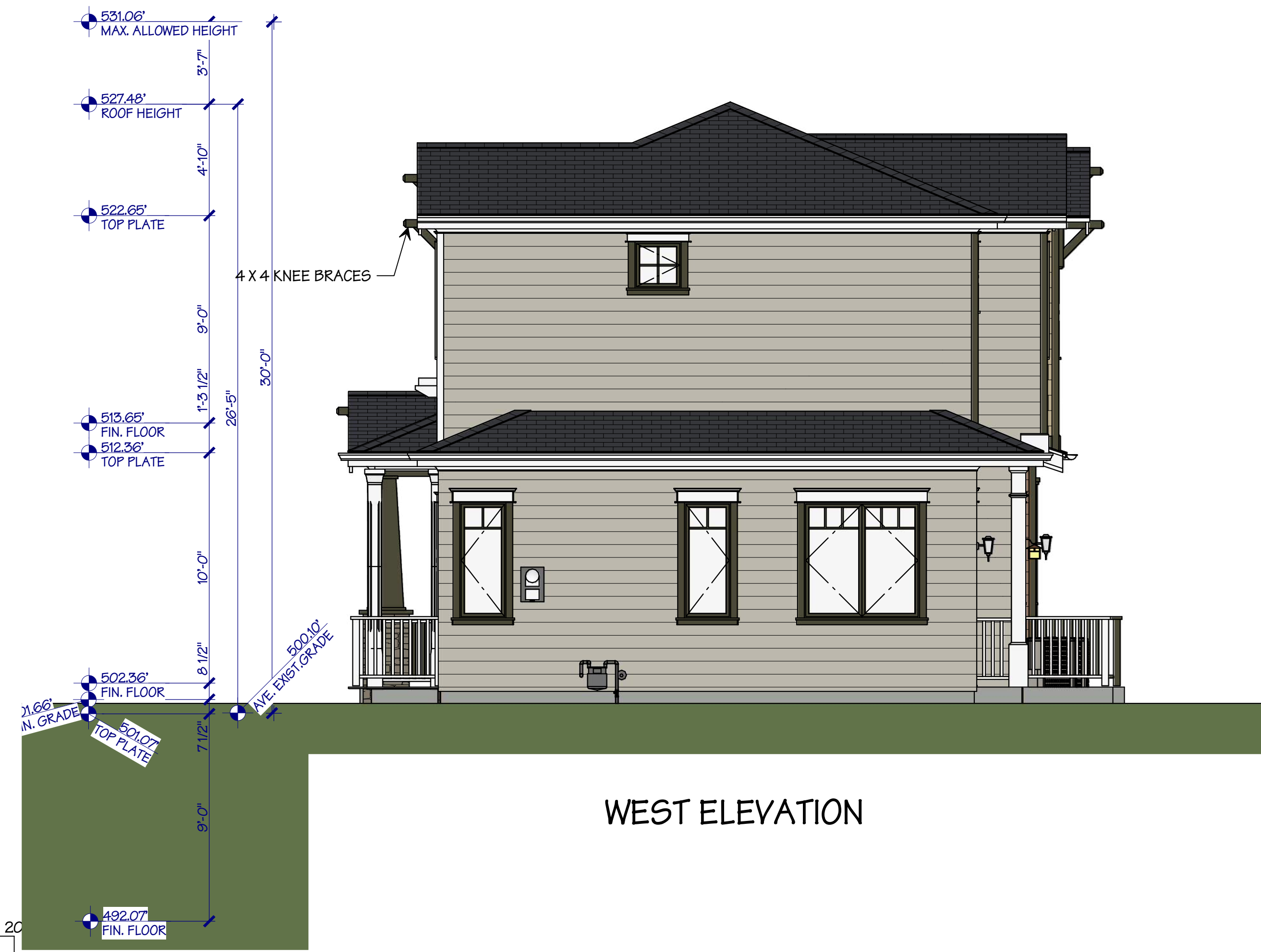
Date 12-19-19
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 Job 19-002
 Sheet
A-21
 of Sheets



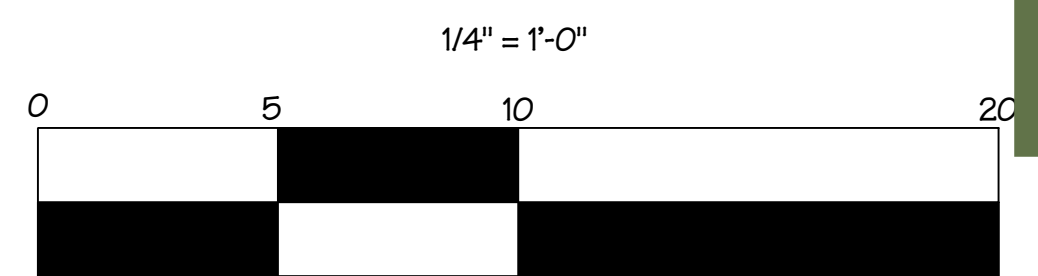
ROOF = COMP SHINGLE, CERTAINTEED, PRESIDENTIAL SHAKE, 'AUTUMN BLEND'
UPPER BODY = HARDI-SHAKE, KELLY-MOORE, HLS4212, 'WINDSOR TOFFEE'
TRIM, WINDOWS, COLUMNS, FASCIA, DOORS = KELLY-MOORE, KMA60, 'OLIVE LEAF'
HARDI-PLANK, KELLY-MOORE, HLS4253, 'INNESS SAGE'
STONE = ELDORADO STONE, RUSTIC LEDGE, 'CLEARWATER'



EAST ELEVATION



WEST ELEVATION



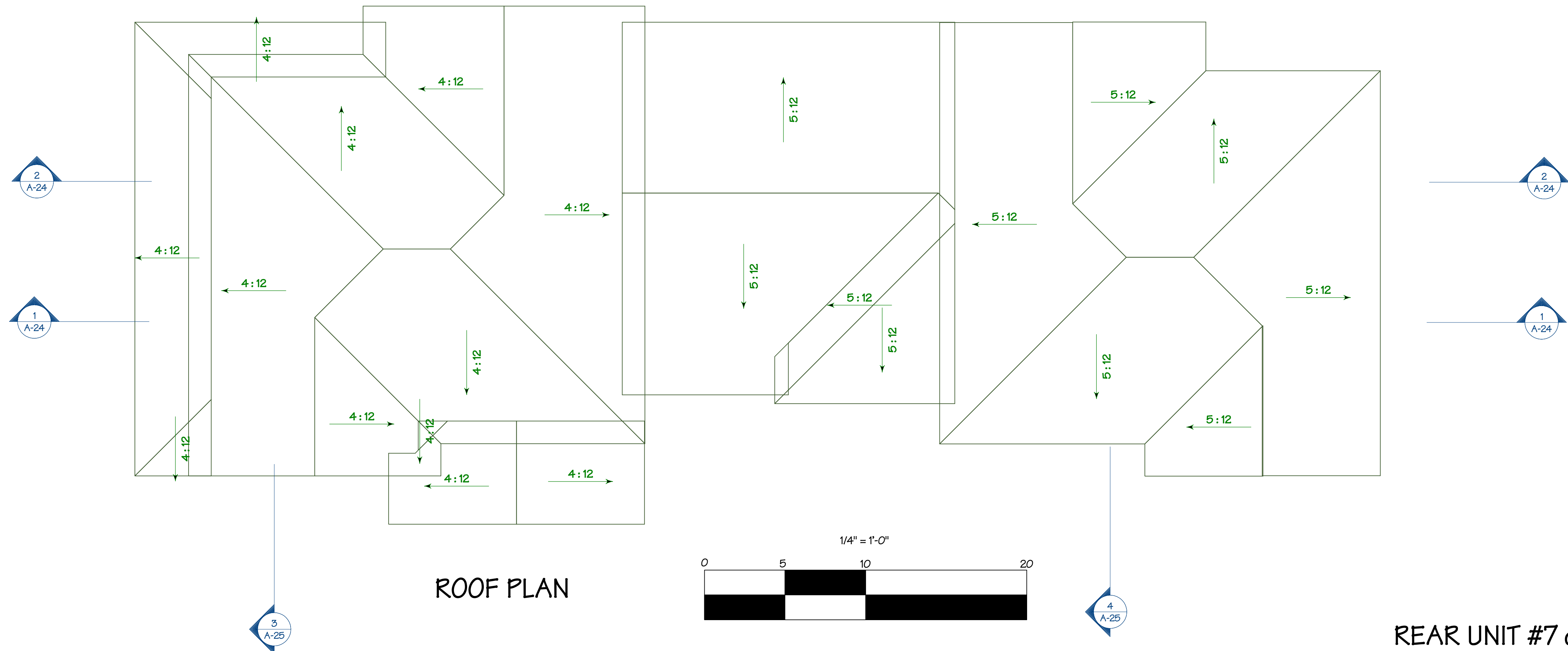
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARKRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-22
of	Sheets

REAR UNIT #7 & #8



REAR UNIT #7 & #8

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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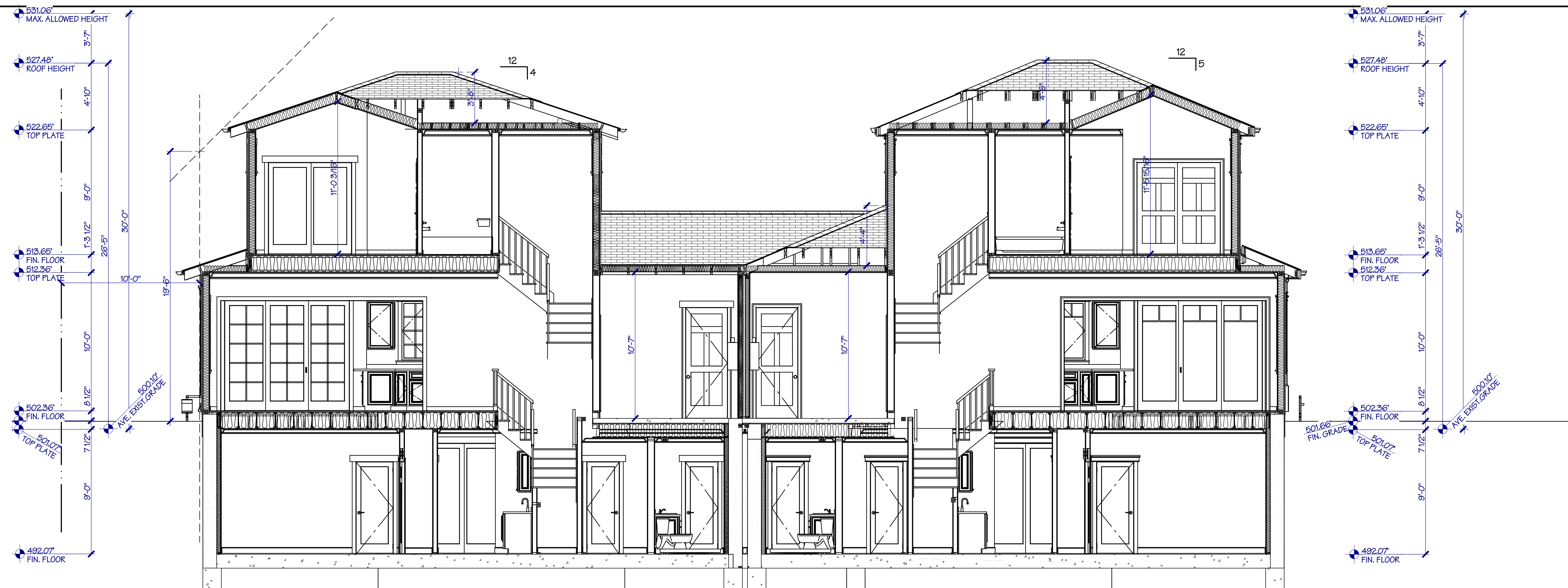
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NEW HOUSES FOR:
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 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

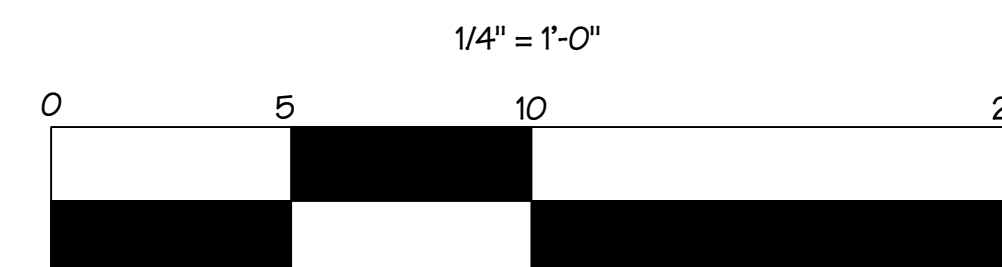
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 Scale 1/4" = 1'-0"
 Drawn RAH
 Job 19-002
 Sheet
A-23
 of Sheets



1 SECTION



2 SECTION



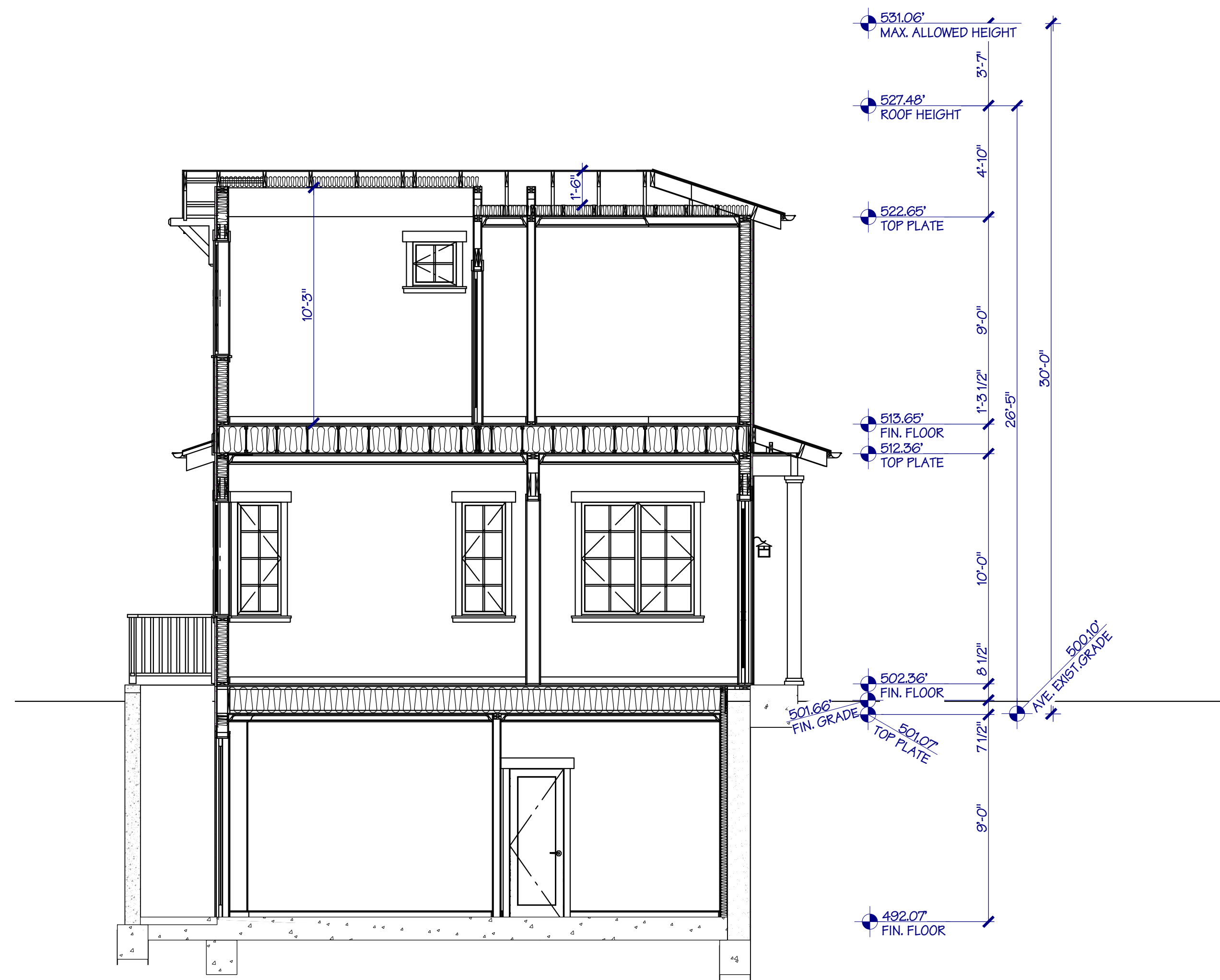
REAR UNIT #7 & #8

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

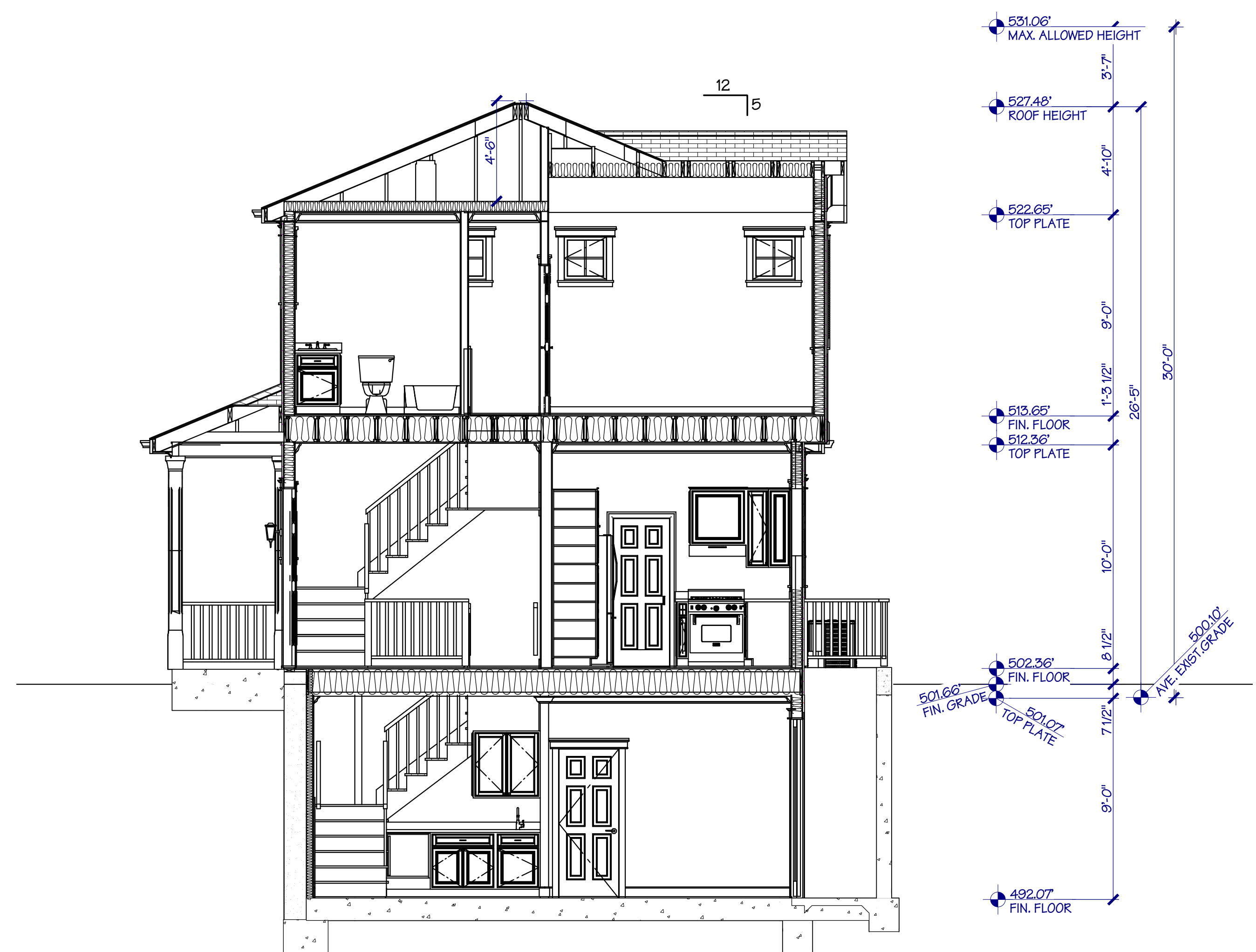
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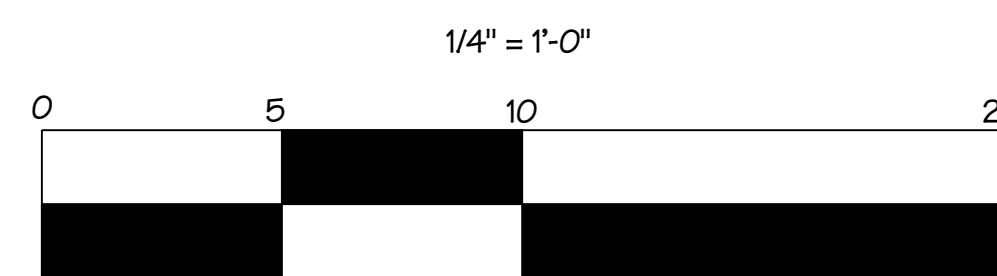
Date 12 - 19 - 19
 Scale 1/4" = 1'-0"
 Drawn RAH
 Job 19-002
 Sheet
A-24
 of Sheets



3 SECTION



4 SECTION



REAR UNIT #7 & #8

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

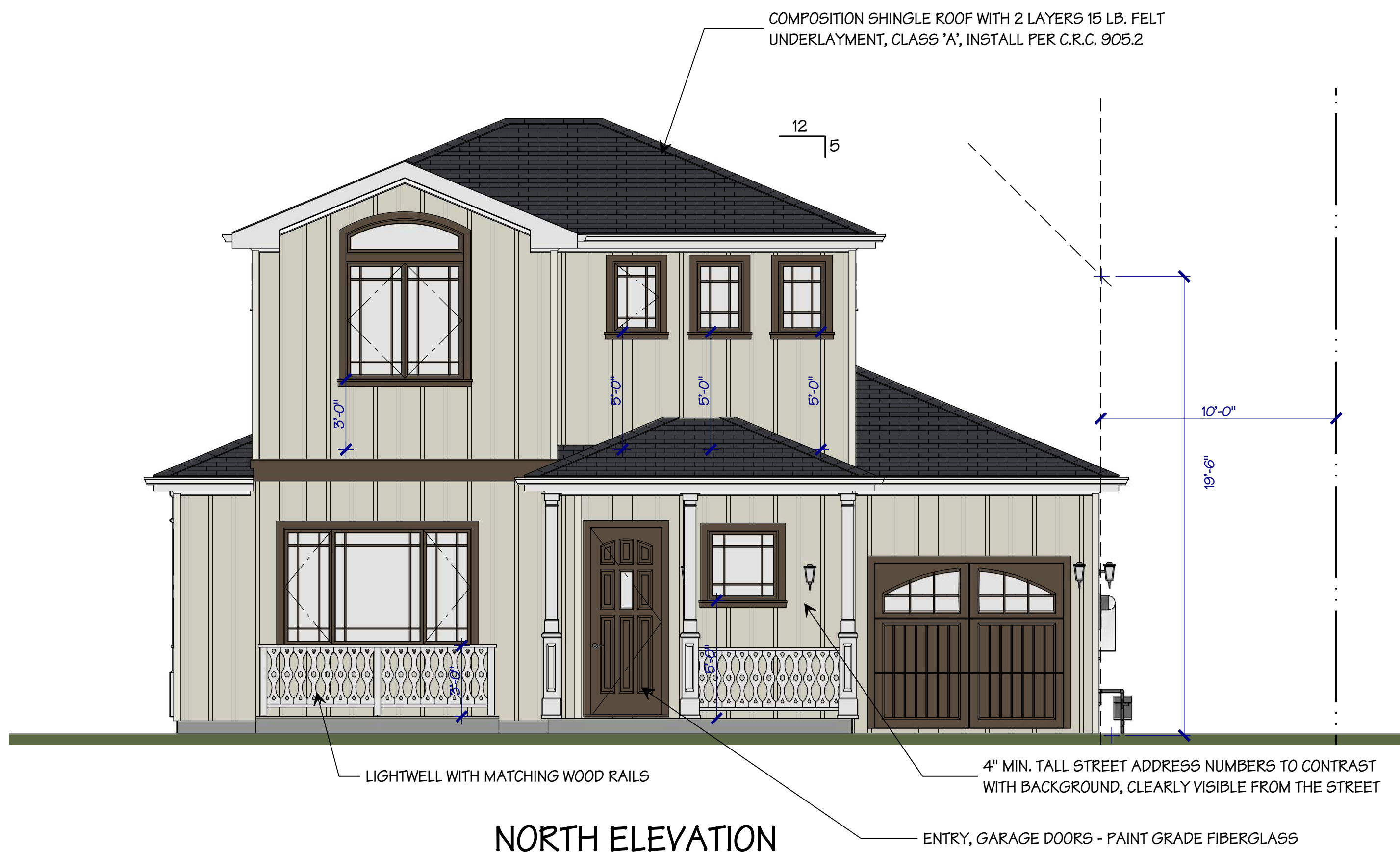
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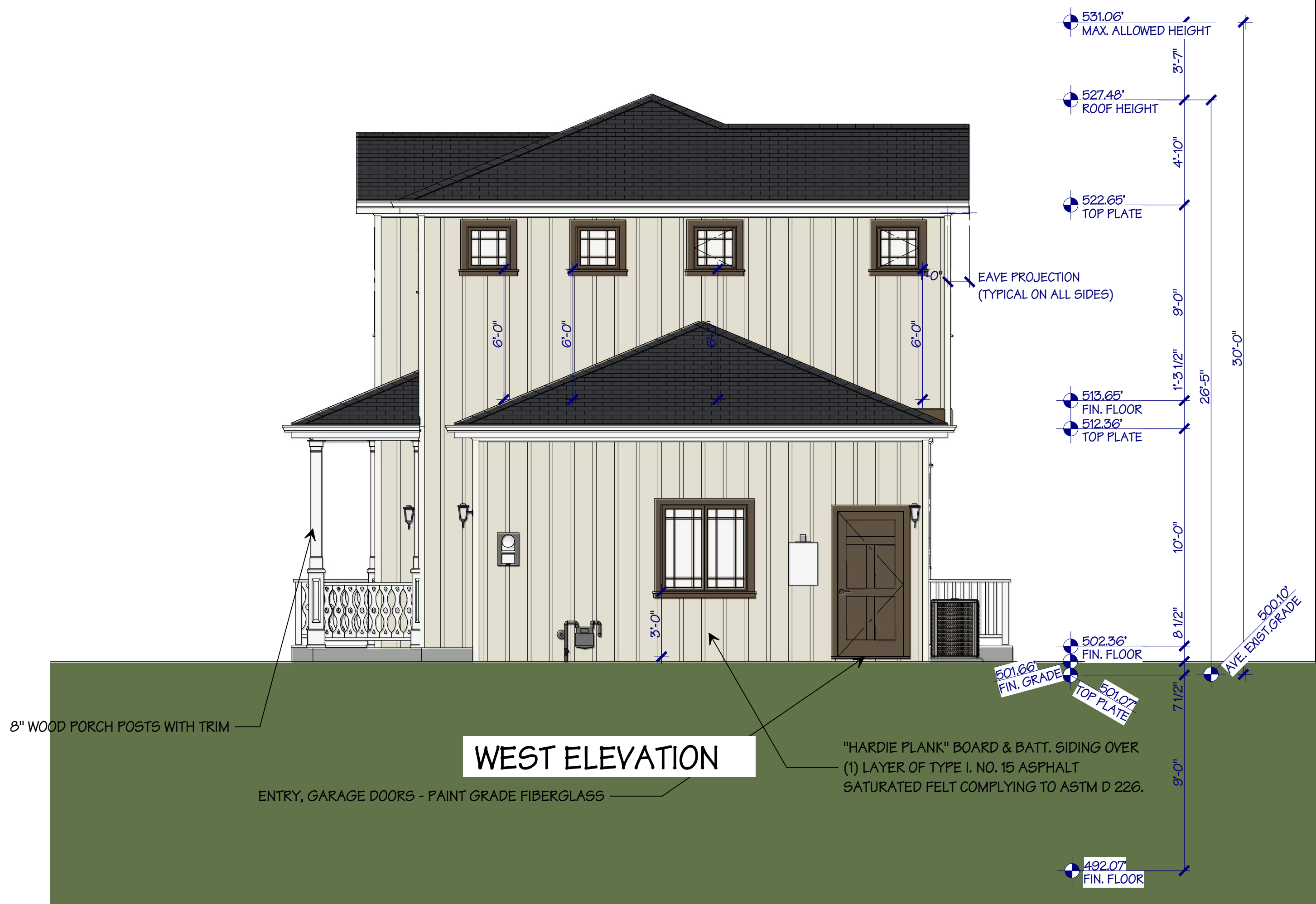
555 #B MERIDIAN AVE. SAN JOSE, CA 95126

NEW HOUSES FOR:
GoldSilverland, LLC
 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.

Date 12-19-19
 Scale 1/4" = 1'-0"
 Drawn RAH
 Job 19-002
 Sheet
A-25
 of Sheets



NORTH ELEVATION



WEST ELEVATION

ROOF = COMP SHINGLE, CERTAINTED, PRESIDENTIAL, 'SHADOW GRAY'
 HARDI-PLANK = KELLY-MOORE, KM4569, 'CLEAR SAND'
 WINDOW TRIM, FASCIA, DOORS = KELLY-MOORE, KM4575, 'MUD ROOM'
 PORCH COLUMNS, RAILS = KELLY-MOORE, KMW53, 'DAZZLE ME'



SOUTH ELEVATION



EAST ELEVATION

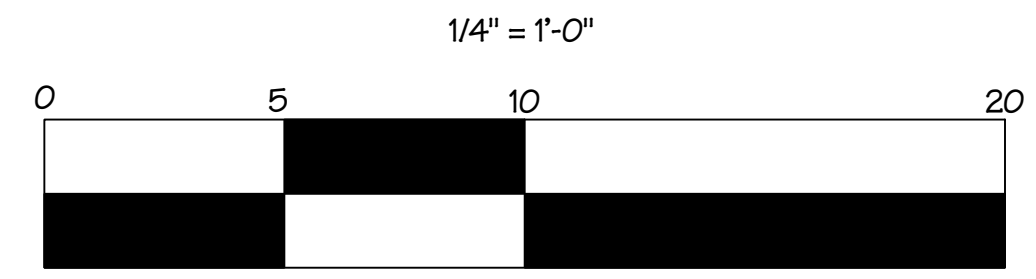
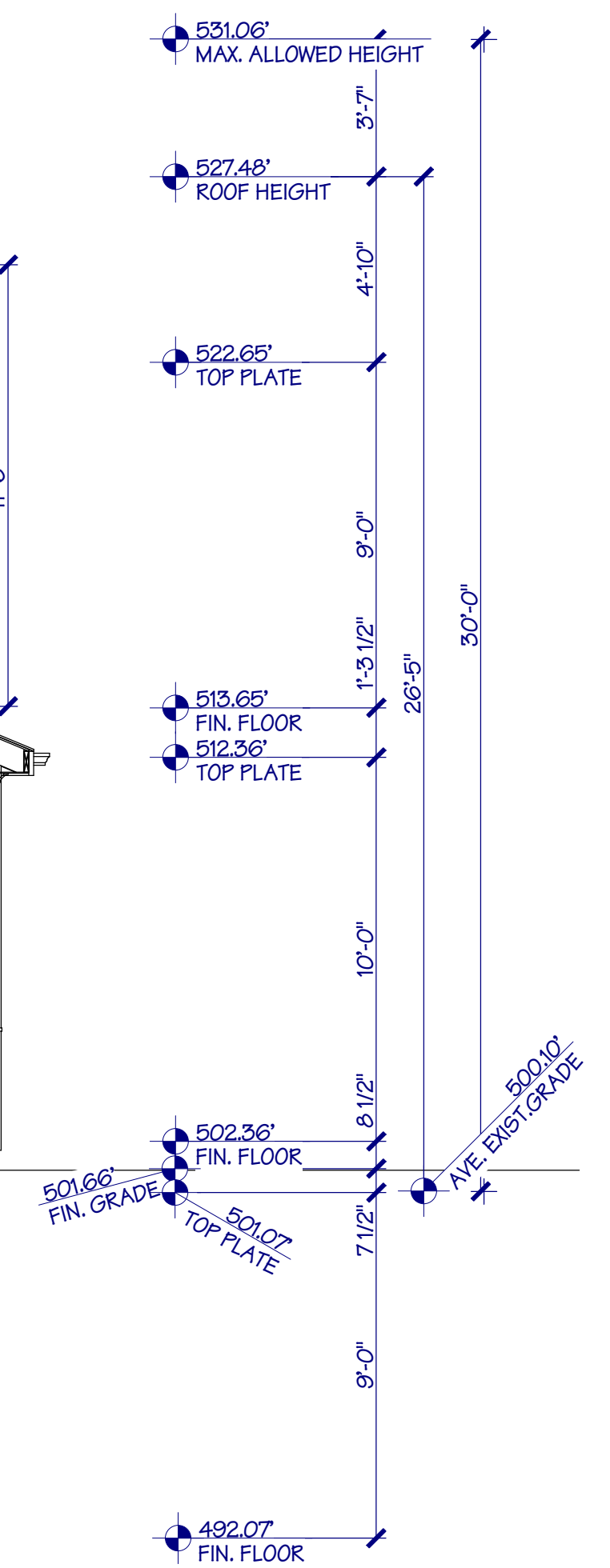
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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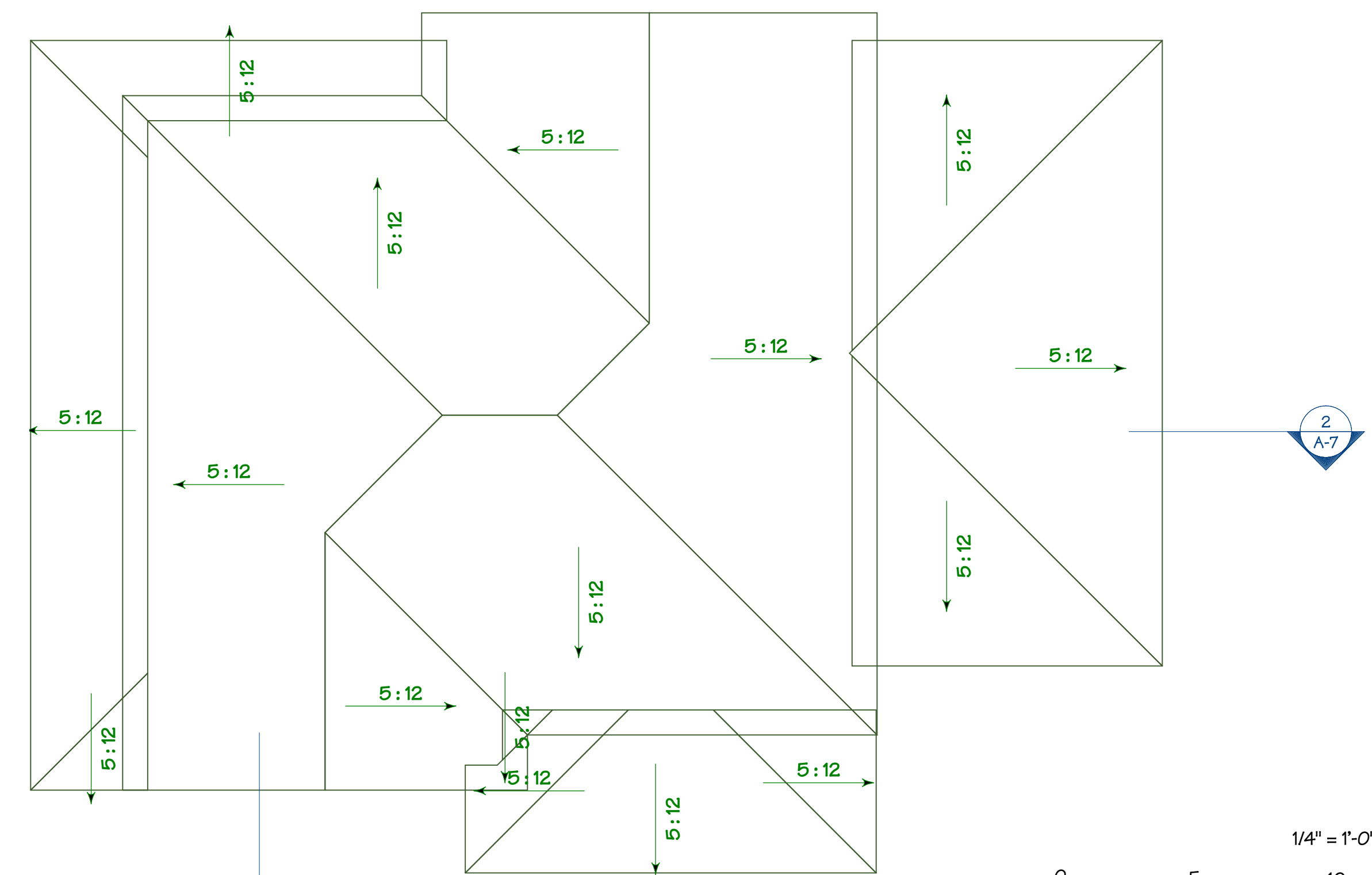
NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

Date 12 - 19 - 19
 Scale 1/4" = 1'-0"
 Drawn RAH
 Job 19-002
 Sheet **A-27**
 of Sheets

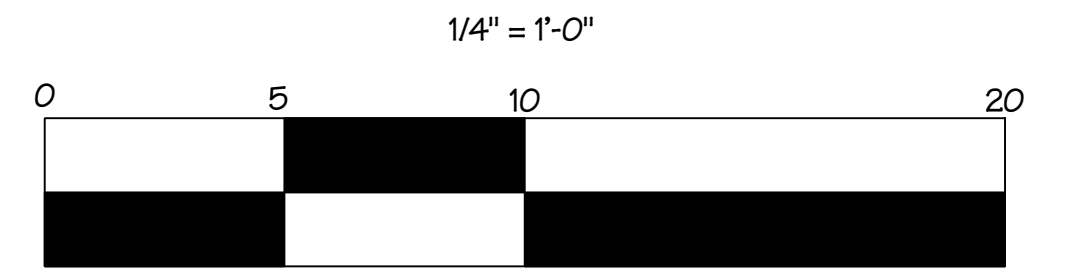
REAR UNIT #9



1 SECTION



ROOF PLAN



2 SECTION

REAR UNIT #9

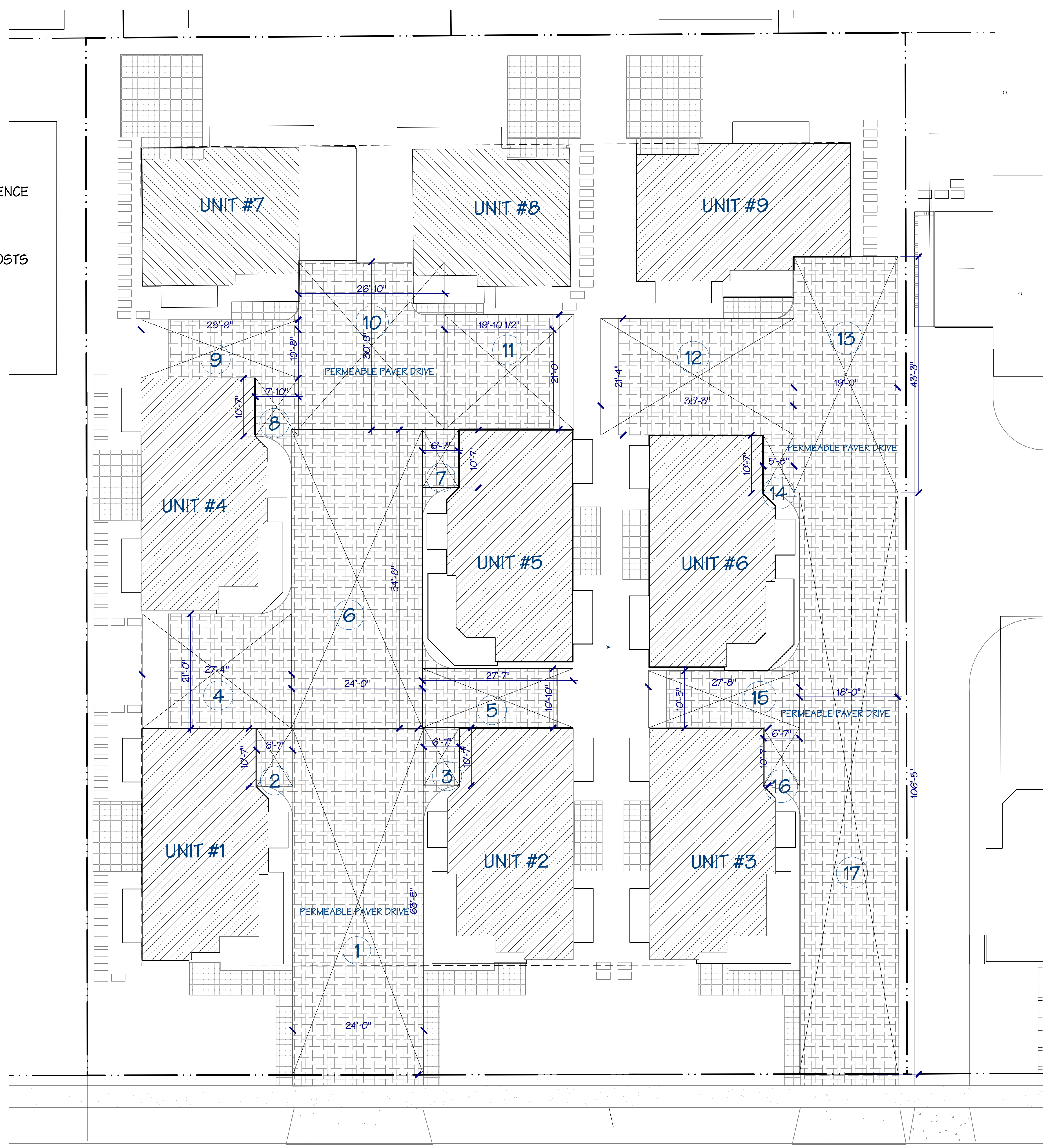
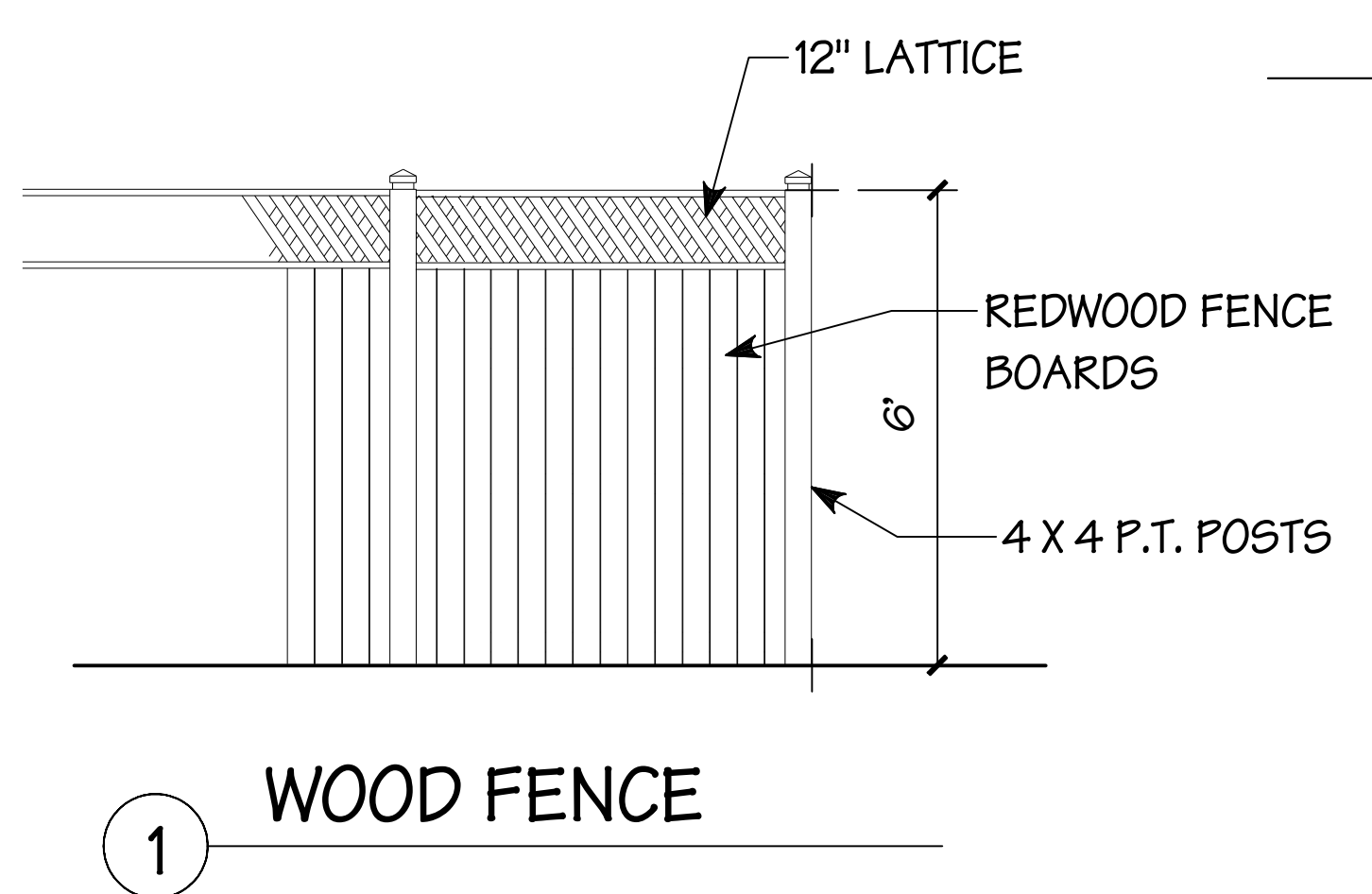
REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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NEW HOUSES FOR:
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Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-28
of	Sheets



DRIVEWAY & PARKING COVERAGE

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
1	24.00	63.41	1521.84	0.00	1521.84
2	6.58	10.58	69.62	0.00	69.62
3	6.58	10.58	69.62	0.00	69.62
4	27.33	21.00	573.93	0.00	573.93
5	27.58	10.83	298.69	0.00	298.69
6	24.00	54.66	1311.84	0.00	1311.84
7	6.58	10.58	69.62	0.00	69.62
8	7.83	10.58	82.84	0.00	82.84
9	28.75	10.66	306.48	0.00	306.48
10	26.83	30.75	825.02	0.00	825.02
11	23.66	21.00	496.86	0.00	496.86
12	35.25	21.33	751.88	0.00	751.88
13	19.00	43.25	821.75	0.00	821.75
14	5.66	10.58	59.88	0.00	59.88
15	27.66	10.41	287.94	0.00	287.94
16	6.58	10.58	69.62	0.00	69.62
17	18.00	106.41	1915.38	0.00	1915.38
CORNERS	9.32	10.00	93.20	0.00	93.20
			0.00	0.00	0.00
			0.00	0.00	0.00
GRAND TOTAL					9626.00

PERMEABLE PAVES AT 50% = 4,813 S.F.

BUILDING COVERAGE:
 FRONT UNITS = 890.18 X 3 = 2,670.54
 MIDDLE UNITS = 890.18 X 3 = 2,670.54
 REAR UNITS = 888.52 X 3 = 2,665.56
 PORCHES = 861.18
 TOTAL = 8,867.82 S.F. (31.0%)

LOT COVERAGE:
 LOT SIZE = 28,534 (100%)
 BUILDINGS = 8,867 (31.2%)
 DRIVEWAYS = 9,626 (33.7%) @ 50% = 4,813 (16.9%)
 LANDSCAPE = 10,041 (35.1%) + 4,813 = 14,854 (51.9%)

BUILDINGS + DRIVEWAYS - LOT SIZE = LANDSCAPE

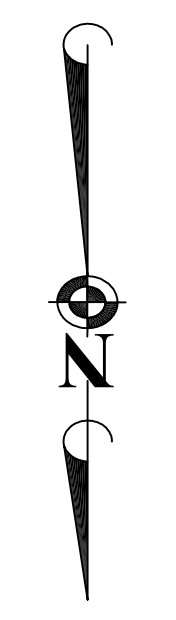
LOT COV. ALLOWED: 28,534 x .35 = 9,986.8 S.F.
 PROPOSED: 8,867 = 31.2%

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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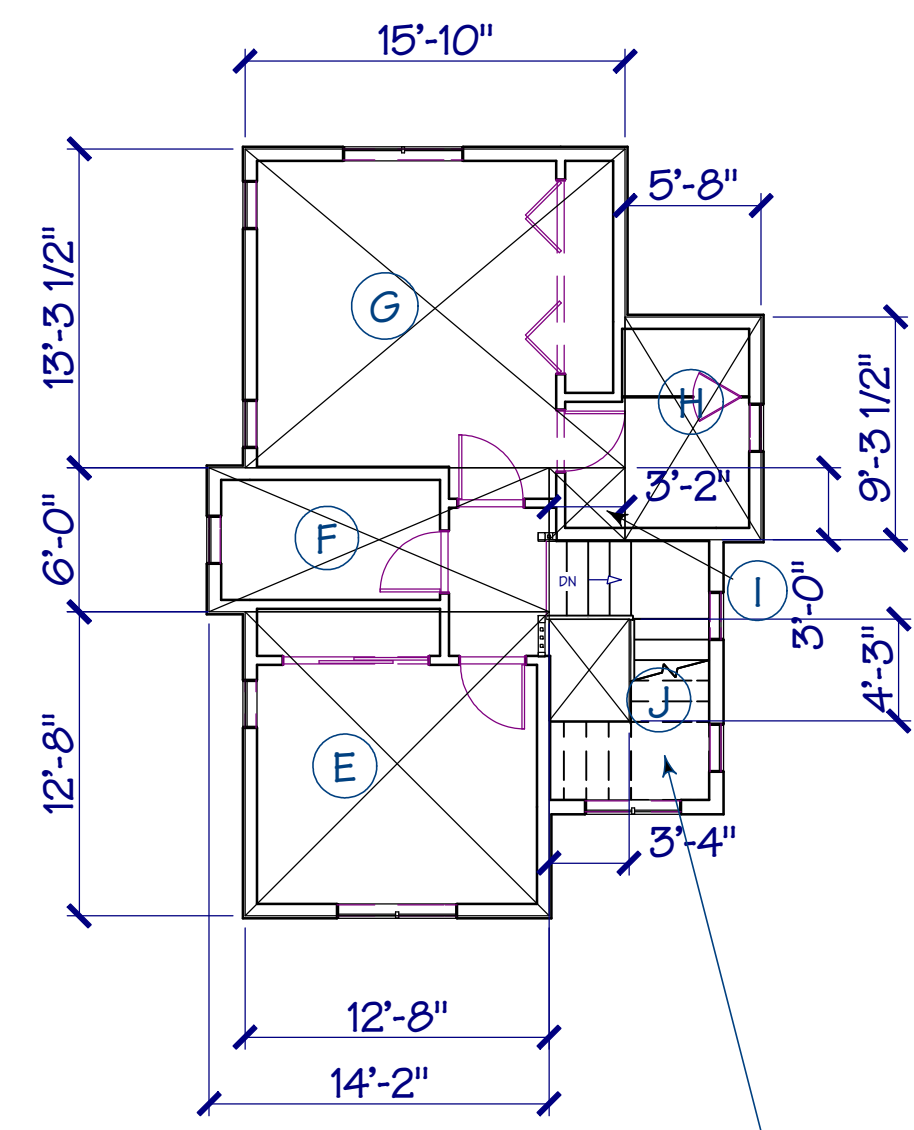
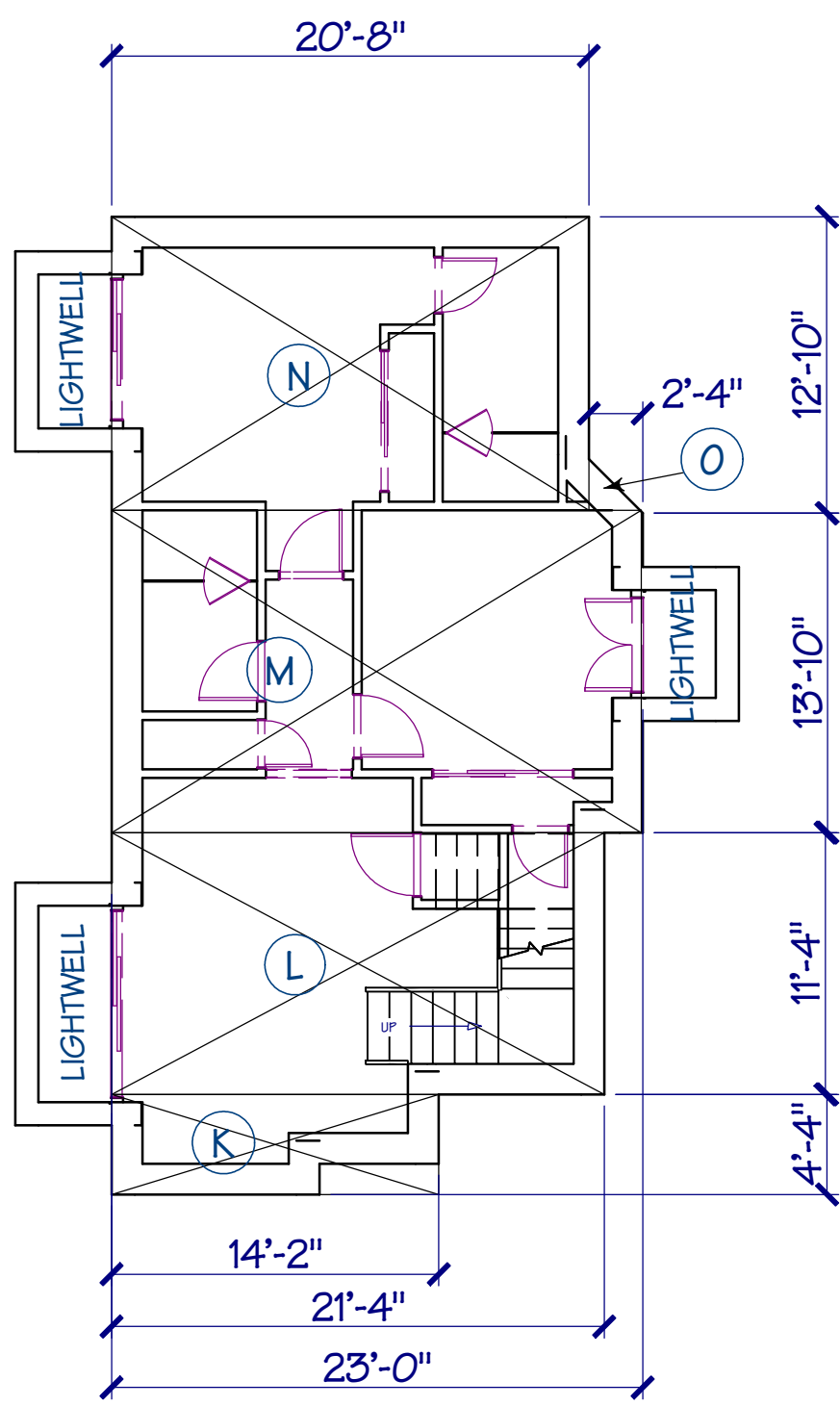
RICHARD A. HARTMAN
 A.L.A.

NEW HOUSES FOR:
GoldSilverIsland, LLC
 661 - 687 PARTRIDGE AVENUE, MENLO PARK, CA.



Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-29
of	Sheets

SITE AREA CALCULATIONS



BASEMENT FLOOR

SECOND FLOOR

BASEMENT FLOOR FAL CALCULATION - FRONT

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
K	14.16	4.33	61.31		61.31
L	21.33	11.33	241.67	0.00	241.67
M	23.00	13.91	319.93	0.00	319.93
N	20.66	12.75	263.42	0.00	263.42
O	2.25	2.25	5.06	2.53	2.53
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
GRAND TOTAL					888.86

1st FLOOR FAL CALCULATION-FRONT

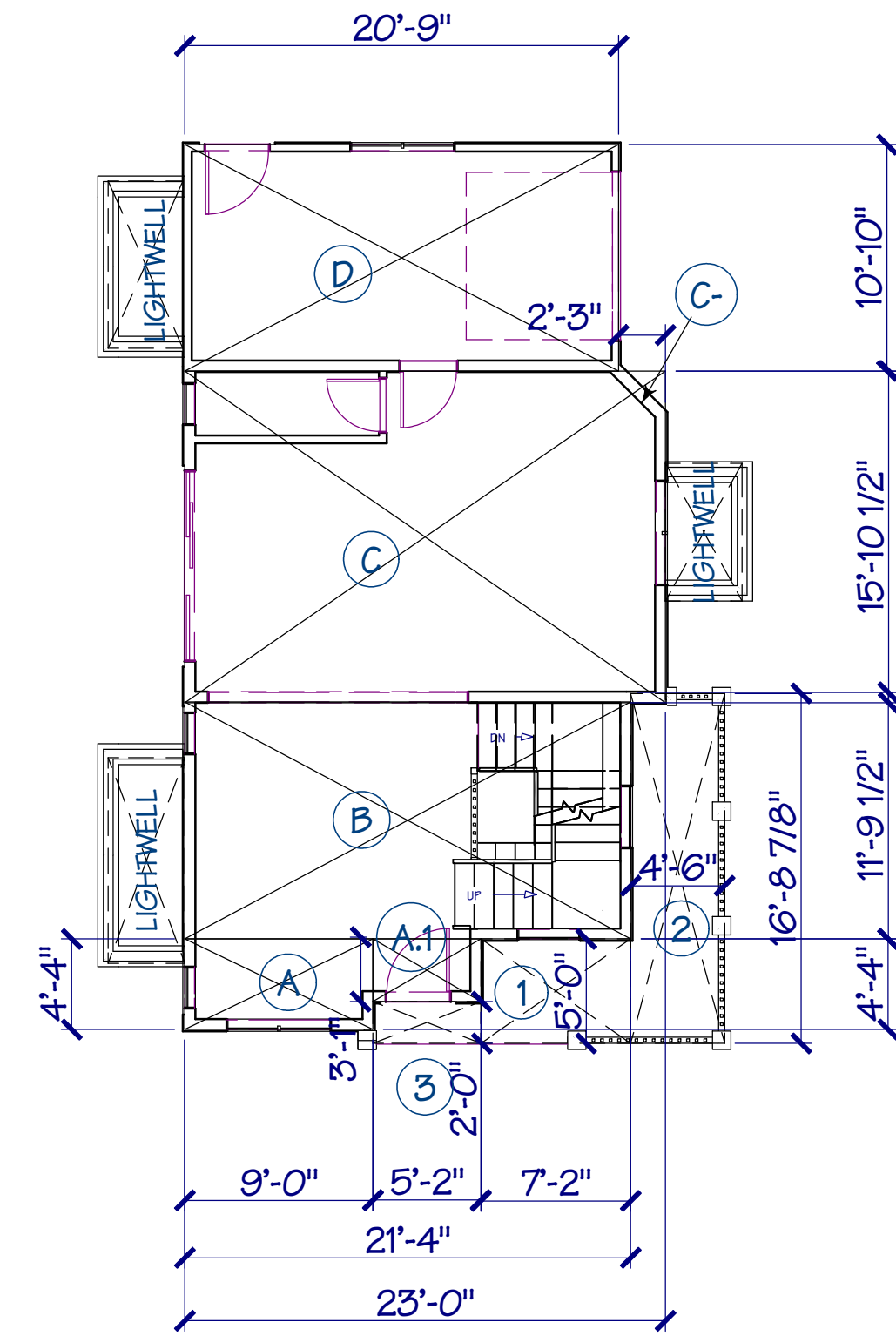
SPACE	DIM	DIM	AREA	AREA/2	TOTAL
A	9.00	4.33	38.97	0.00	38.97
B	21.33	11.33	241.67	0.00	241.67
C	23.00	15.87	365.01	0.00	365.01
C	2.25	-2.25	-5.06	-2.53	-2.53
D	20.75	10.83	224.72	0.00	224.72
A.1	5.16	2.00	10.32	2.00	8.32
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
GRAND TOTAL					876.16

2nd FLOOR FAL CALCULATION - FRONT

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
E	12.66	12.66	160.28	0.00	160.28
F	14.16	6.00	84.96	0.00	84.96
G	15.83	13.29	210.38	0.00	210.38
H	5.66	9.29	52.58	0.00	52.58
I	3.16	3.00	9.48	0.00	9.48
J	3.33	4.25	14.15	0.00	14.15
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
GRAND TOTAL					531.83

PORCHES - FRONT

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
1	7.16	4.33	31.00	0.00	31.00
2	4.50	11.33	50.99	0.00	50.99
3	5.16	2.00	10.32	0.00	10.32
GRAND TOTAL					92.31



FIRST FLOOR

FIRST FLOOR = 876.16
SECOND FLOOR = 531.83
TOTAL = 1,407.99 S.F.

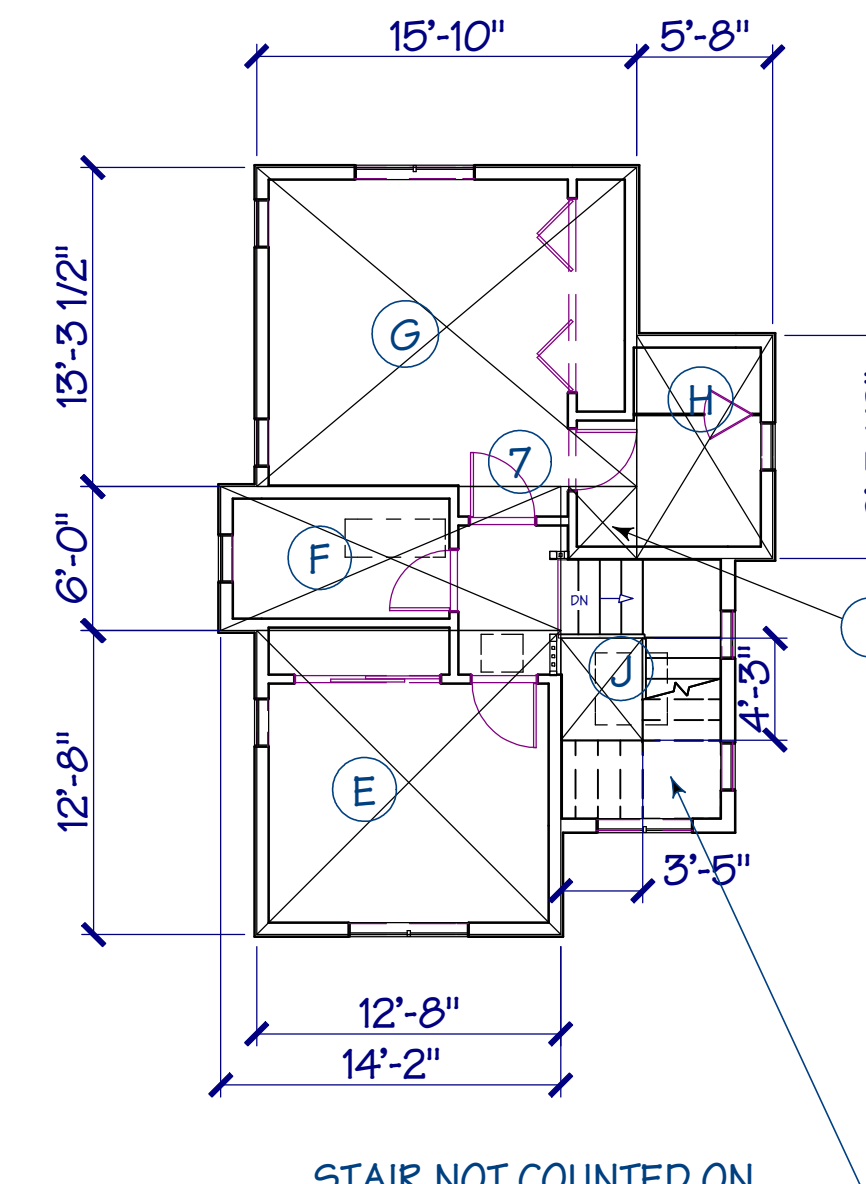
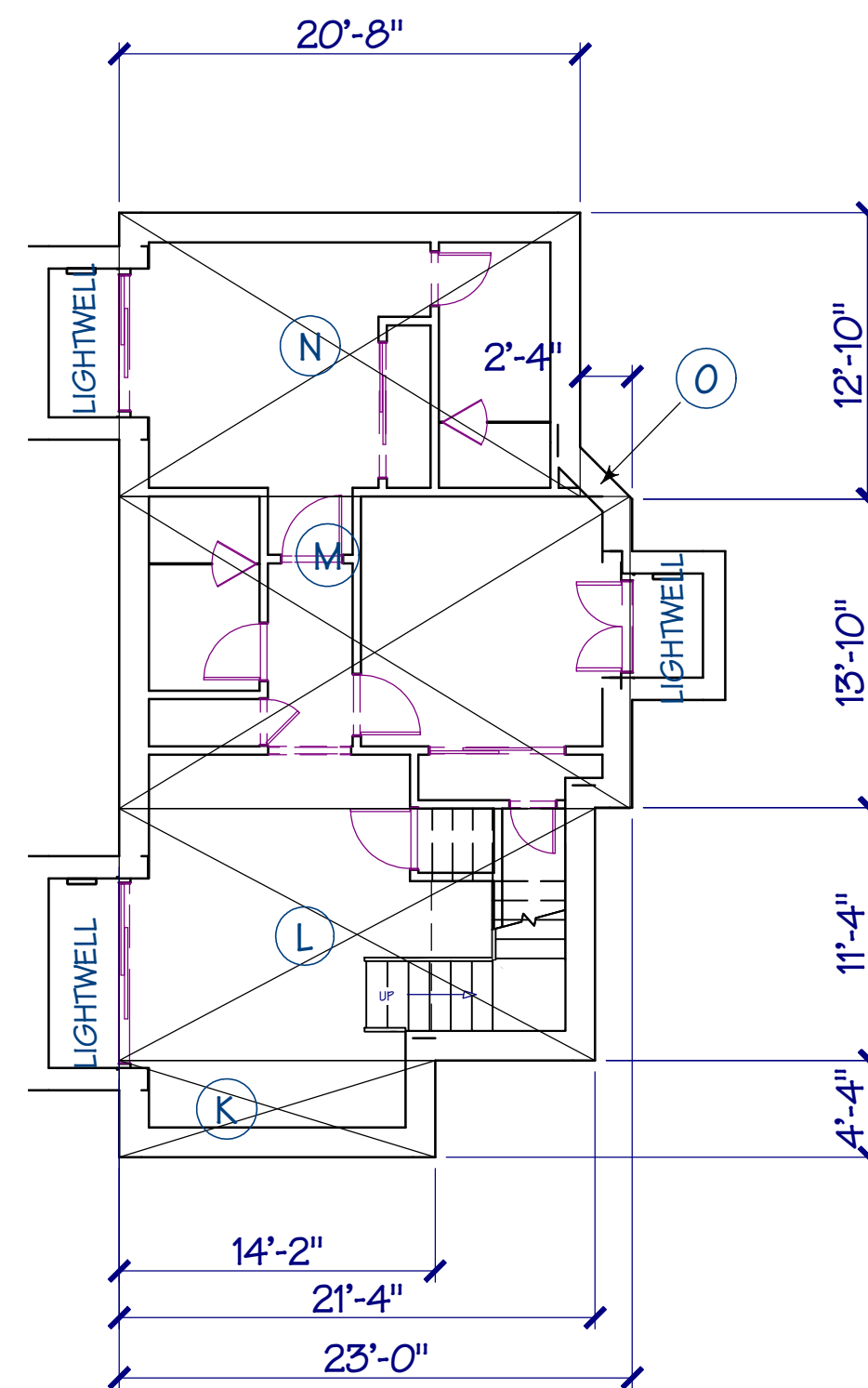
BASEMENT = 888.86
TOTAL HOUSE = 2,296.85 S.F.

PORCHES = 92.31 S.F.

1/8" = 1'-0"



TYPICAL FRONT UNIT



BASEMENT FLOOR

SECOND FLOOR

BASEMENT FLOOR FAL CALCULATION - MIDDLE

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
K	14.16	4.33	61.31		61.31
L	21.33	11.33	241.67	0.00	241.67
M	23.00	13.91	319.93	0.00	319.93
N	20.66	12.75	263.42	0.00	263.42
O	2.25	2.25	5.06	2.53	2.53
			0.00	0.00	0.00
GRAND TOTAL					888.86

1st FLOOR FAL CALCULATION - MIDDLE

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
A	14.16	4.33	61.31	0.00	61.31
B	21.33	11.33	241.67	0.00	241.67
C	23.00	15.87	365.01	0.00	365.01
C	2.25	-2.25	-5.06	-2.53	-2.53
D	20.75	10.83	224.72	0.00	224.72
			0.00	0.00	0.00
GRAND TOTAL					890.18

2nd FLOOR FAL CALCULATION - MIDDLE

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
E	12.66	12.66	160.28	0.00	160.28
F	14.16	6.00	84.96	0.00	84.96
G	15.83	13.29	210.38	0.00	210.38
H	5.66	9.29	52.58	0.00	52.58
I	3.16	3.00	9.48	0.00	9.48
J	3.33	4.25	14.15	0.00	14.15
			0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
GRAND TOTAL					531.83

PORCHES - MIDDLE

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
1	7.16	5.00	35.80	0.00	35.80
2	4.50	16.33	73.49	0.00	73.49
			-14.98	-7.49	-7.49
			0.00	0.00	0.00
			0.00	0.00	0.00
GRAND TOTAL					101.80

1/8" = 1'-0"



FIRST FLOOR

FIRST FLOOR = 890.18
SECOND FLOOR = 531.83
TOTAL = 1,422.01 S.F.

BASEMENT = 888.86
TOTAL HOUSE = 2,310.87 S.F.

PORCHES = 101.80 S.F.

TYPICAL MIDDLE UNIT



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PLANNING 1-6-20	
PLANNING 1-7-20	

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NEW HOUSES FOR:
GoldSilverIsland, LLC
661 - 687 PARKTRIDGE AVENUE, MENLO PARK, CA.

Date	12 - 19 - 19
Scale	1/4" = 1'-0"
Drawn	RAH
Job	19-002
Sheet	A-30
of	Sheets

BASEMENT FLOOR AREA REAR

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
J	17.00	23.16	393.72	0.00	393.72
K	5.72	2.00	11.44	0.00	11.44
L	11.66	23.16	270.05	135.02	135.02
M	10.33	20.66	213.42	0.00	213.42
GRAND TOTAL			0.00	0.00	753.60

1st FLOOR FAL CALCULATION-REAR

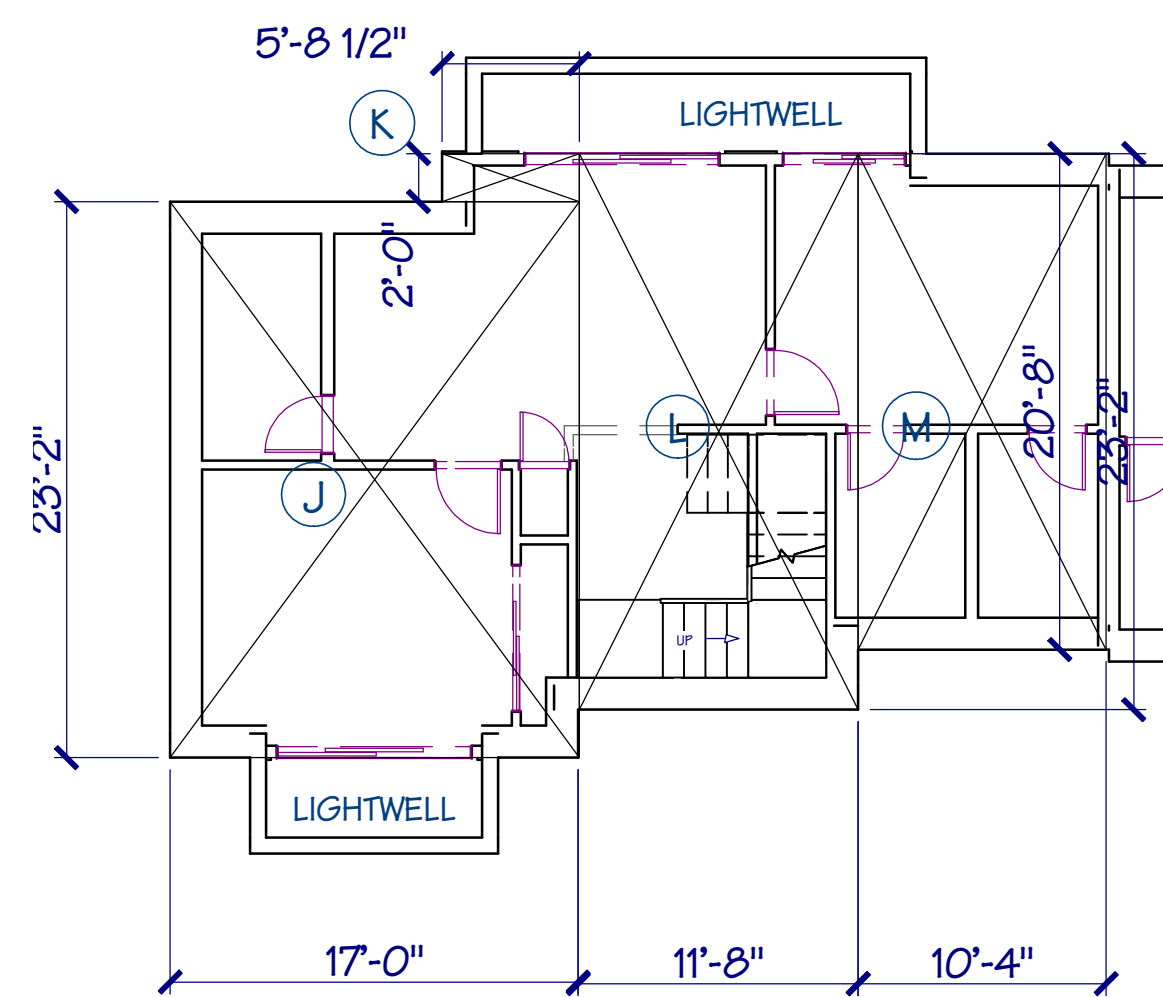
SPACE	DIM	DIM	AREA	AREA/2	TOTAL
A	17.00	2.00	34.00	0.00	34.00
B	28.66	21.16	606.45	0.00	606.45
C	17.33	2.00	34.66	0.00	34.66
D	10.33	20.66	213.42	0.00	213.42
GRAND TOTAL					888.52

2nd FLOOR FAL CALCULATION - REAR

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
E	12.66	13.50	170.91	0.00	170.91
F	10.83	9.66	104.62	0.00	104.62
G	14.50	12.66	183.57	0.00	183.57
H	5.41	11.50	62.22	0.00	62.22
I	3.45	4.50	15.53	0.00	15.53
GRAND TOTAL			0.00	0.00	536.84

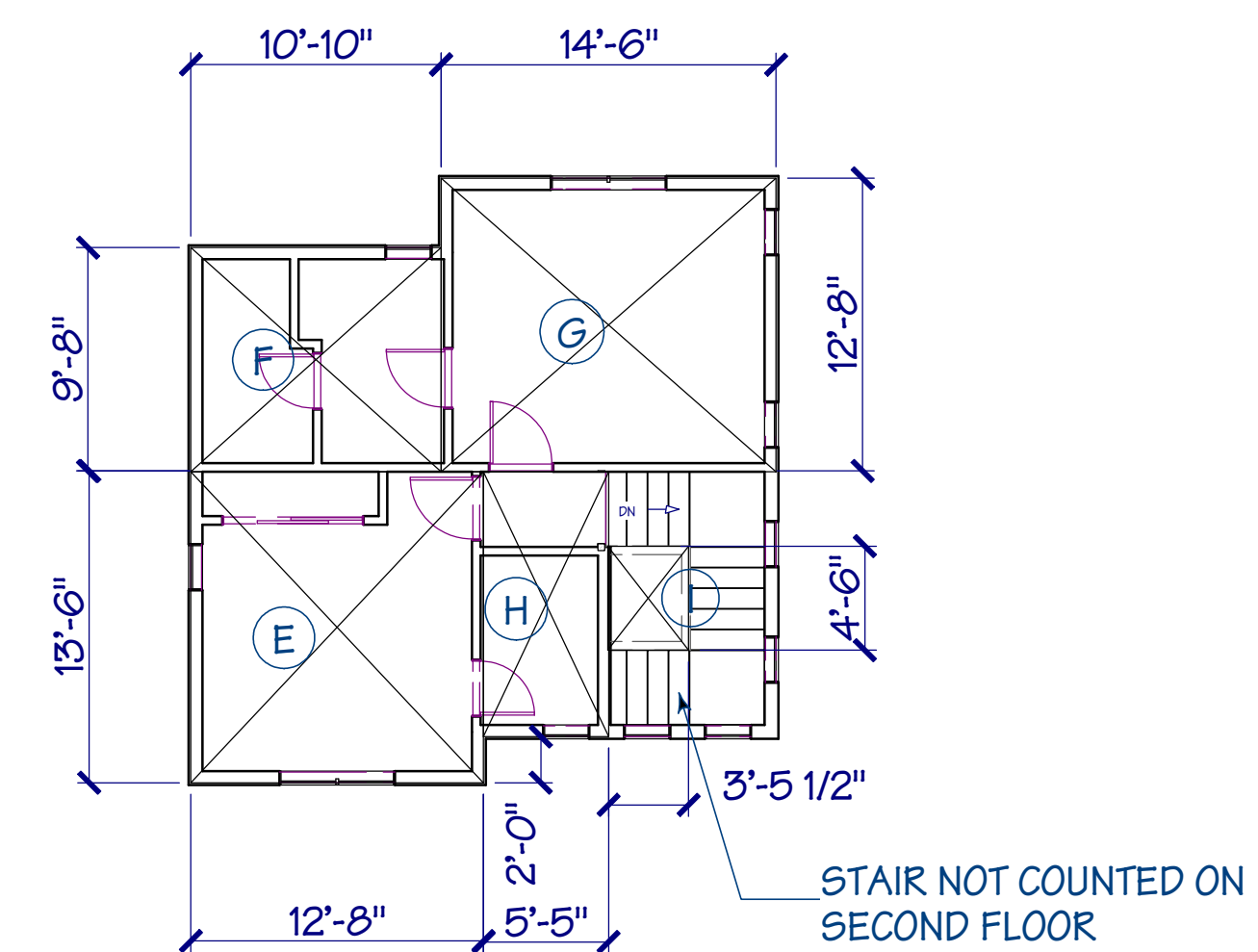
PORCHES, LIGHTWELL - REAR

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
1	12.78	5.50	70.29	0.00	70.29
2	11.33	2.00	22.66	0.00	22.66
	0.00	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00	0.00
GRAND TOTAL			0.00	0.00	92.95

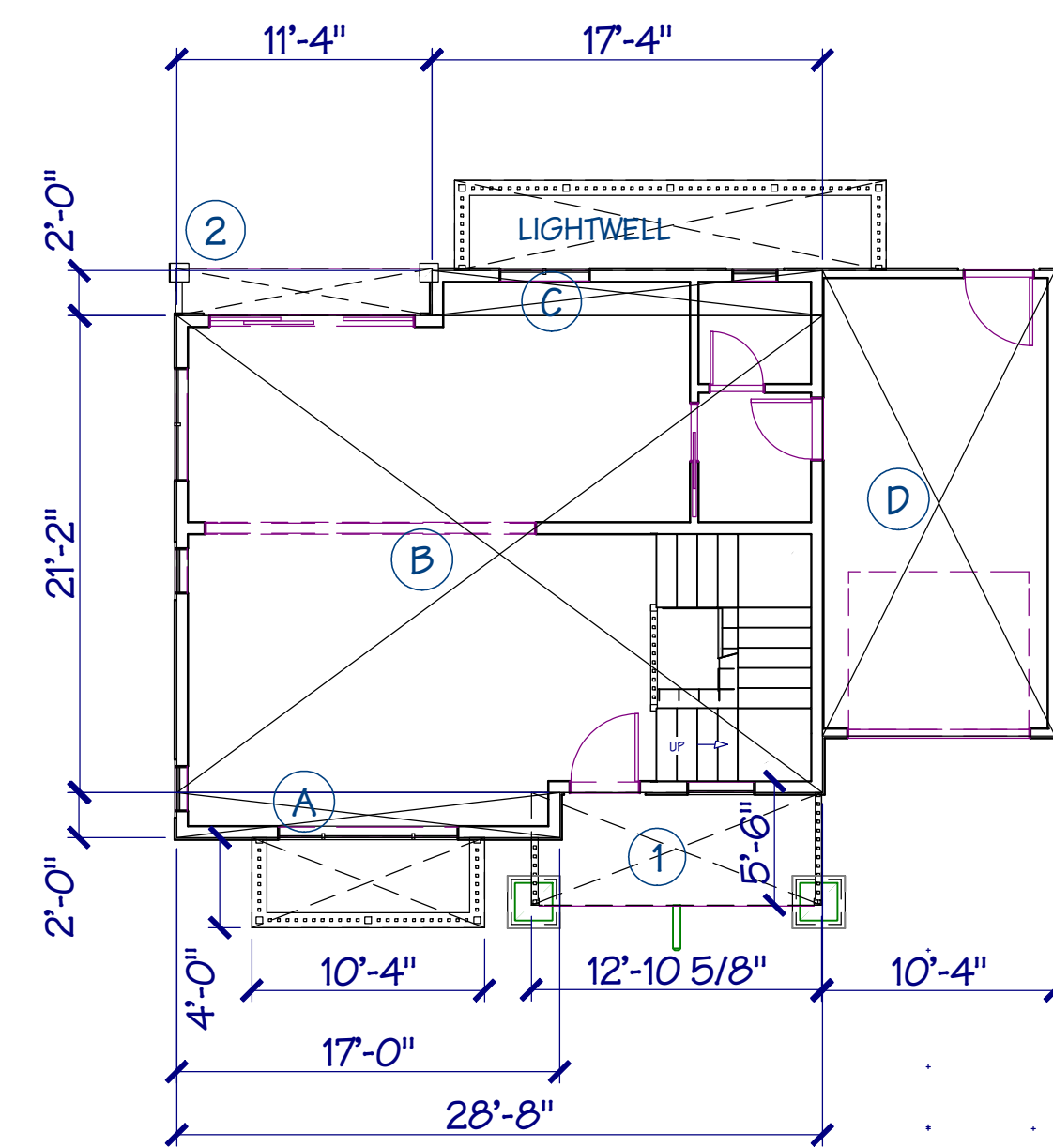


BASEMENT FLOOR

FIRST FLOOR = 888.52
 SECOND FLOOR = 536.84
 TOTAL = 1,425.36 S.F.
 BASEMENT = 753.60
 TOTAL HOUSE = 2,178.96 S.F.
 PORCHES = 92.95 S.F.

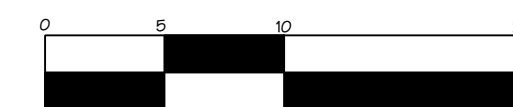


SECOND FLOOR



FIRST FLOOR

1/8" = 1'-0"



TYPICAL REAR UNIT

REVISIONS	BY
PLANNING 9-12-19	
PLANNING 12-4-19	
PLANNING 12-18-19	
PLANNING 1-6-20	
PLANNING 1-7-20	

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Date 12 - 19 - 19
 Scale 1/4" = 1'-0"
 Drawn RAH
 Job 19-002
 Sheet
A-31
 of Sheets



citizenM Menlo Park
Menlo Park City Council
CDP Amendment Approval
February 11, 2020

vibrant & lively public areas





new & smart luxury rooms



art from near and far



AVAF



Jen Liu



MENDO design books



Five Pointz



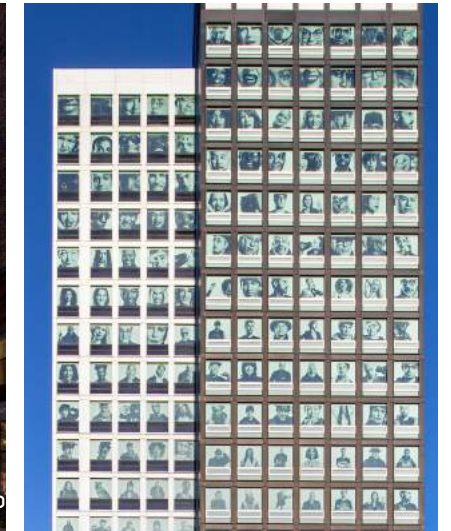
Julian Opie



Assume Vivid Astro Focus

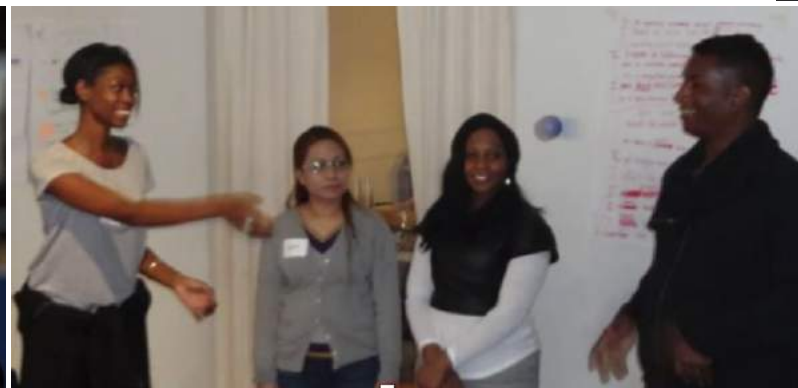
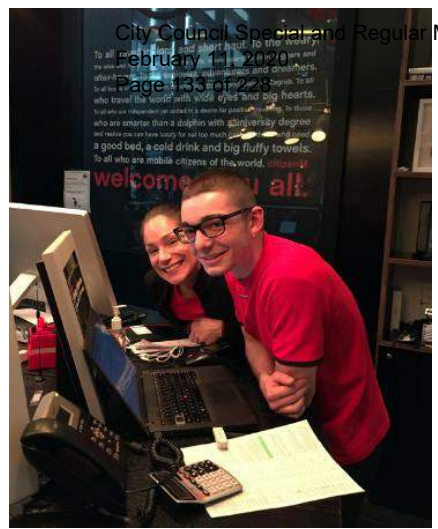


Christelle de Castro



Mark Titchner

To all who are mobile citizens of the world, welcome you all.



people
first model



our hotels



Amsterdam Schiphol Airport



Glasgow



Paris La Defense



Amsterdam City



Taipei North Gate



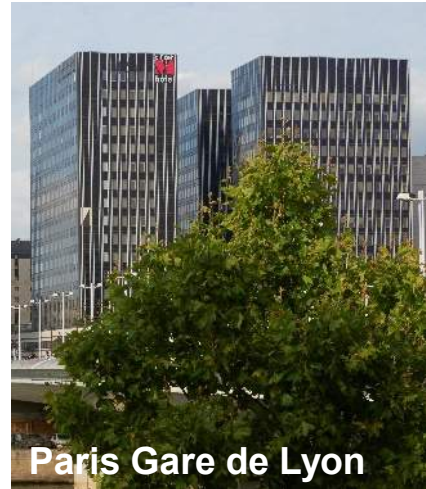
New York Bowery



Tower of London



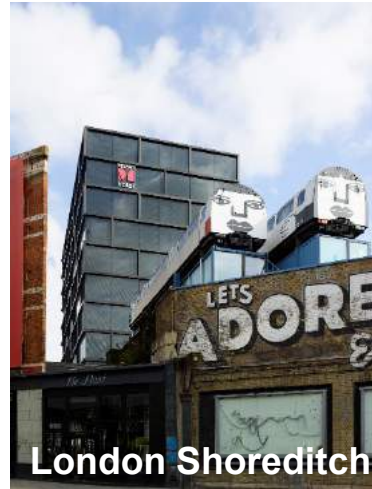
London Bankside



Paris Gare de Lyon



New York Times



London Shoreditch



Rotterdam



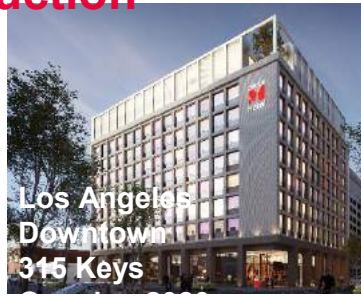
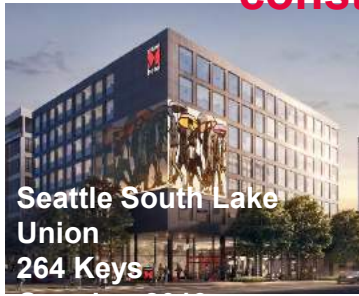
Paris Charles de Gaulle

citizenM U.S. rollout

completed



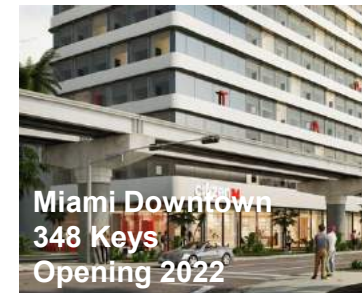
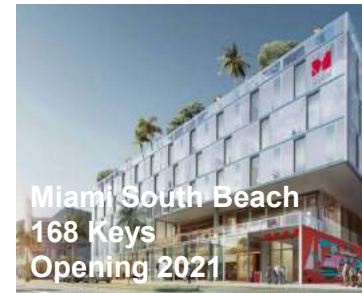
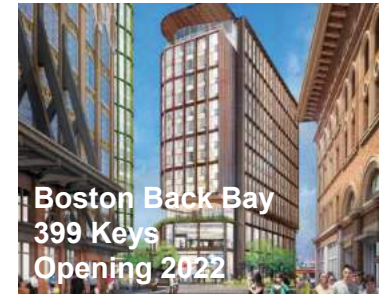
**under
construction**



**imminent
groundbreaking**



planning / design



planning process to date

- Planning commission study session in July 2019:
 - Modular design and sun shading
 - Logistics of shared parking arrangement
 - Proposed artwork approval process
 - Local hiring priorities

- Planning commission recommendation in January 2020:
 - Additional rendering showing back of house and Bayfront POV
 - Improve visibility of the arrival / drop off area

community outreach

- citizenM invited the local community to an open house held in October to learn about the project and provide input. Primary feedback was provided on the following areas:
 - Local hiring efforts
 - Food and beverage offerings
 - Meeting and events space
 - Parking and traffic
 - Building design and landscaping
- citizenM is committed to hiring locally. citizenM intends to partner with local organizations to ensure successful local hiring including Menlo Park-based JobTrain.

parking

	On-site parking	Facebook garage	Total hotel parking
Spaces	118	127	245
	<ul style="list-style-type: none">• Surface parking lot.• Priority for customer parking.• 37 electric vehicle stalls• 6 accessible parking stalls	<ul style="list-style-type: none">• Peak hotel demand inverse to Facebook's peak demand.• Priority for staff, valet, and overflow guest parking.• Shared parking agreement to be approved by City.	<ul style="list-style-type: none">• 245 spaces required under West Campus CDP.

- Trips capped under the existing trip cap for the Facebook West Campus.
- Hotel guests visiting Facebook will access the campus by walking, biking, and shuttles.

citizenM Menlo Park



CITIZEN M
25,542 SF

PARKING GARAGE
GUARD SHACK
307 SF

MPK 23
196,666 SF

MPK 22 GUARD SHACK
300 SF

PARKING STRUCTURE
75,700 SF

WEST PAVILLION
6,044 SF

MPK 22
147,699 SF

BLDG 305
249,500 SF

ELECTRICAL SUBSTATION
1,379 SF

BAYFRONT PEDESTRIAN
BRIDGE
7,440 SF

CONNECTING BRIDGE
7,057 SF

MPK 21
476,643 SF

MPK 20
526,668 SF

PV CANOPIES (MPK 21)
27,048 SF



project information

	CDP approval	citizenM application
# rooms	200	240
building area (GFA)	174,800 sqft	90,243 sqft
max height	75'	61'-9"
traffic	No change in trip cap	
required parking	245 spaces	share parking arrangement 118 spaces on site overflow / employee off site
amenities	tbd	open space, restaurant, spacious lobby, bar, canteen, meeting rooms
projected ToT	\$1.22M minimum	\$2.6M forecast

site plan & massing

- maximized open space within constrained site
- PG&E easement to the north
- fire lane to the west
- entry distance to Chilco

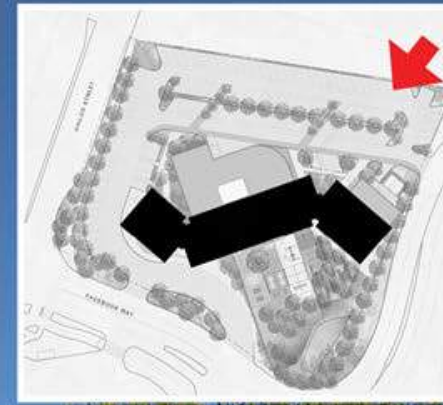


site access

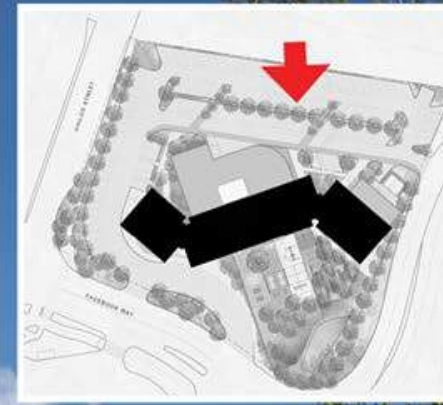


- pre security access off Constitution
- new sidewalks & bike lanes on Chilco

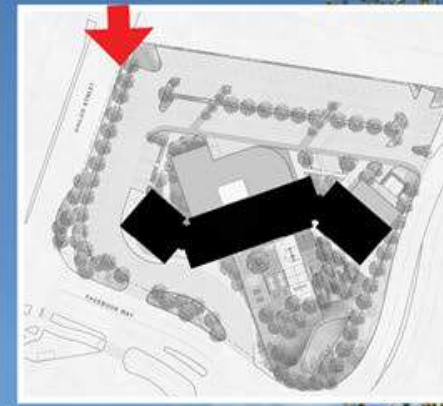
approach from Bayfront



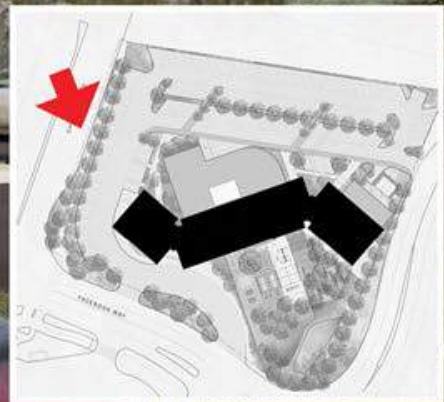
approach from Bayfront



approach from Chilco



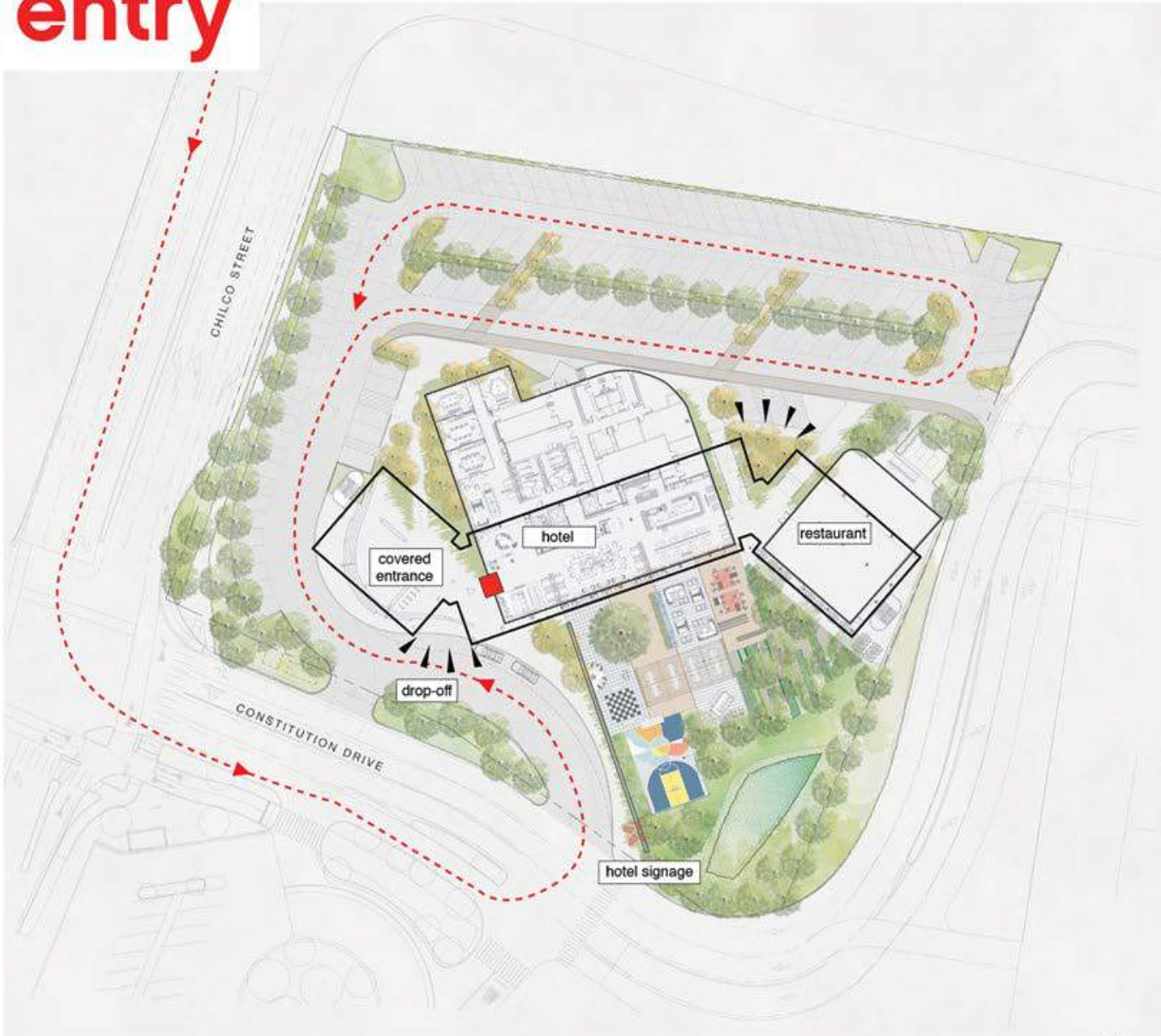
approach from Chilco



Constitution View



hotel entry



The building is divided in 3 pieces, driving towards the hotel the building will appear differently from every angle. Besides creating interest to the architecture the open corners highlight the entrance to the hotel or restaurant.



The landscape around the building guides visitors and guests towards the covered entrances inside the open corners of the building.

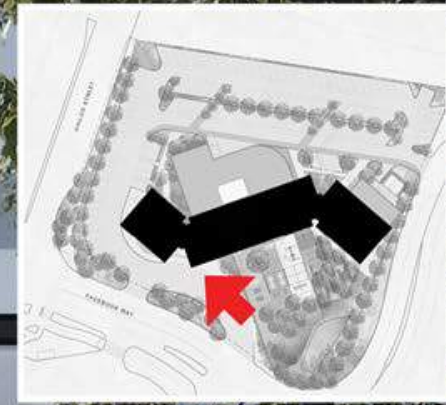


Typical for citizenM are the vibrant colours used in the interior and the use of colourful art which clearly highlight the entrance of the hotel, signage is added to avoid any confusion.

hotel entry



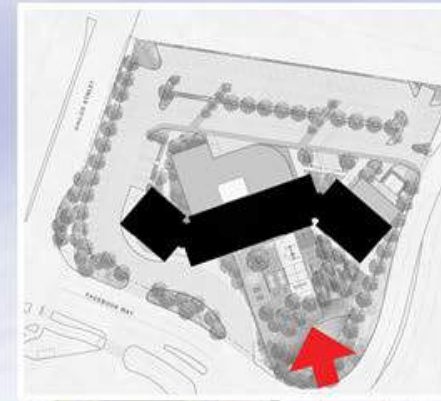
hotel entry



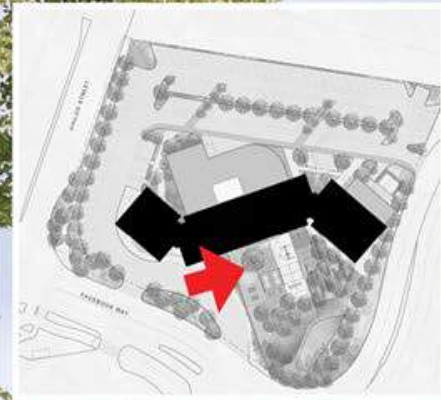
restaurant entry



outdoor space



community backyard







thank you

appendix I

citizenM

site plan & massing

- maximized open space within constrained site
- PG&E easement to the north
- fire lane to the west
- entry distance to Chilco



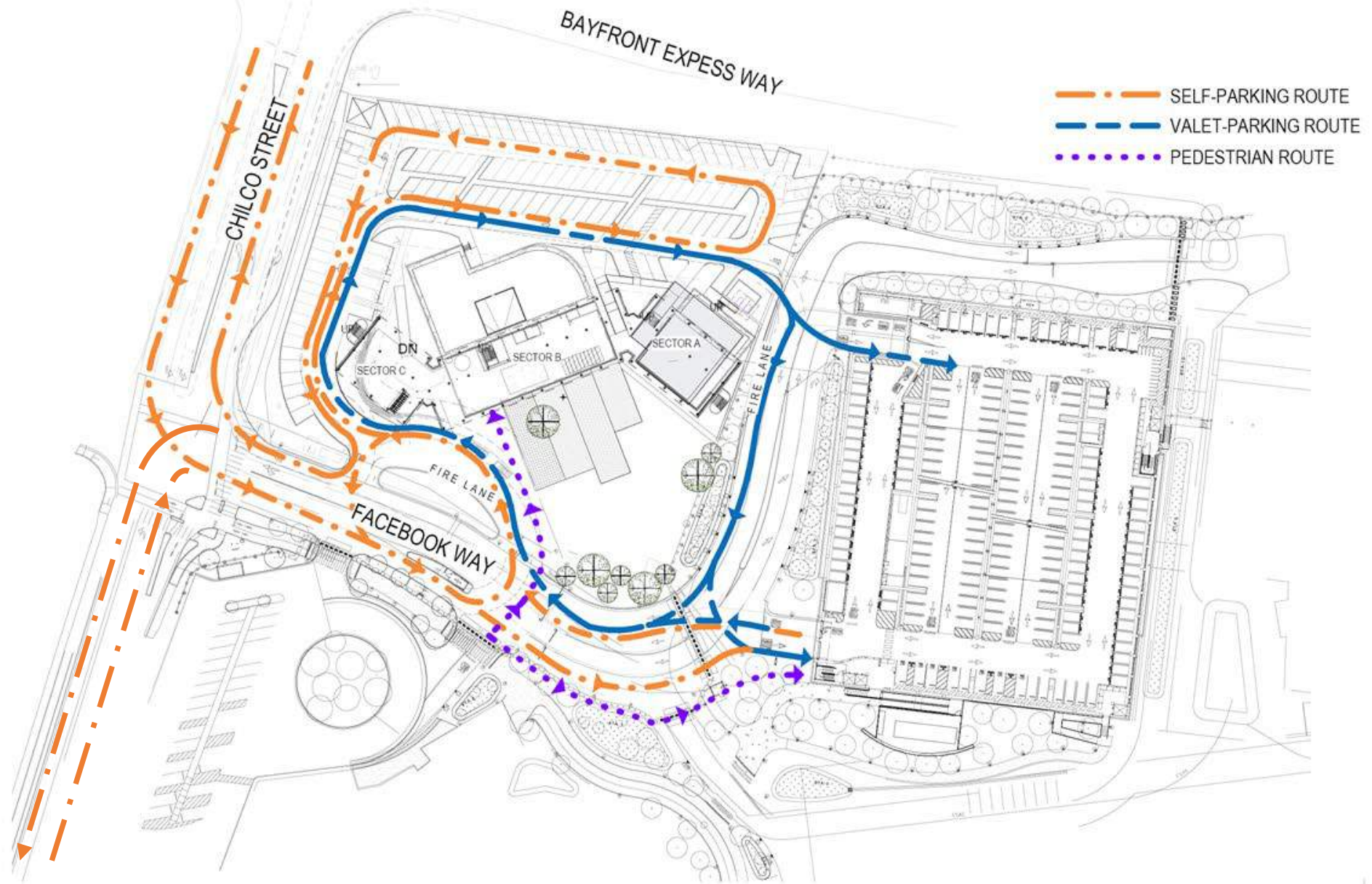
site access



- pre security access off Constitution
- new sidewalks & bike lanes on Chilco

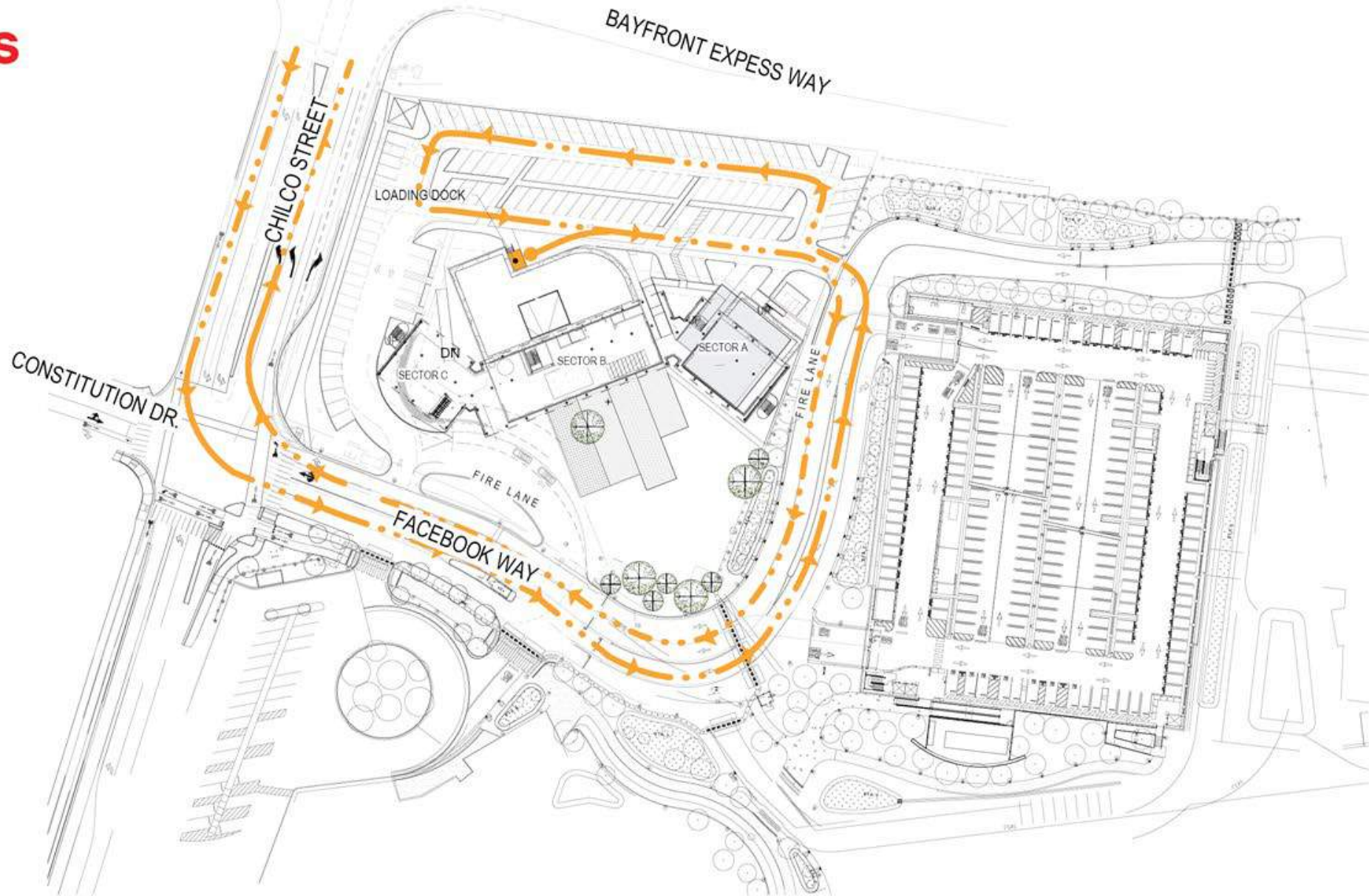
site circulation

parking



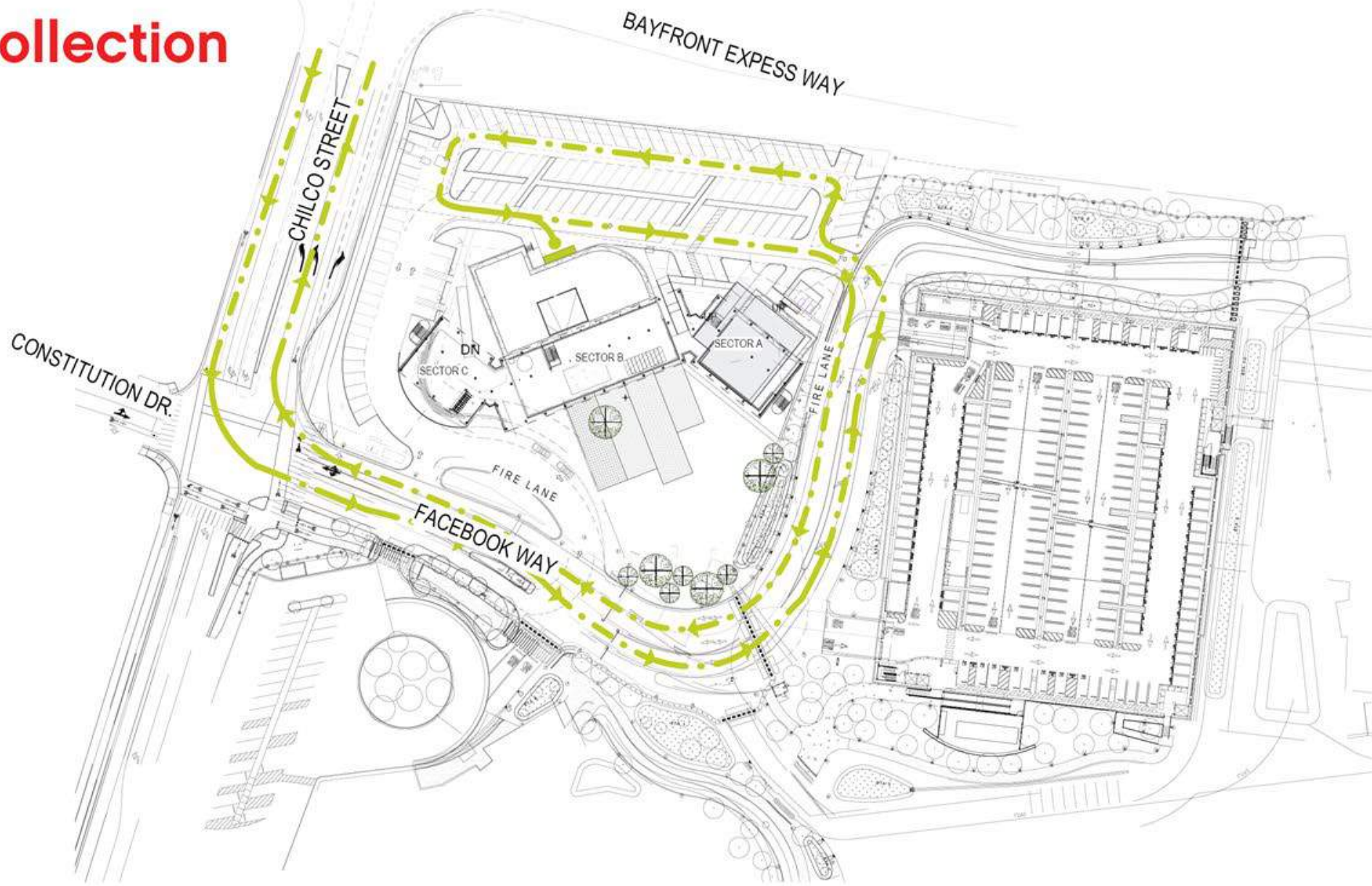
site circulation

deliveries



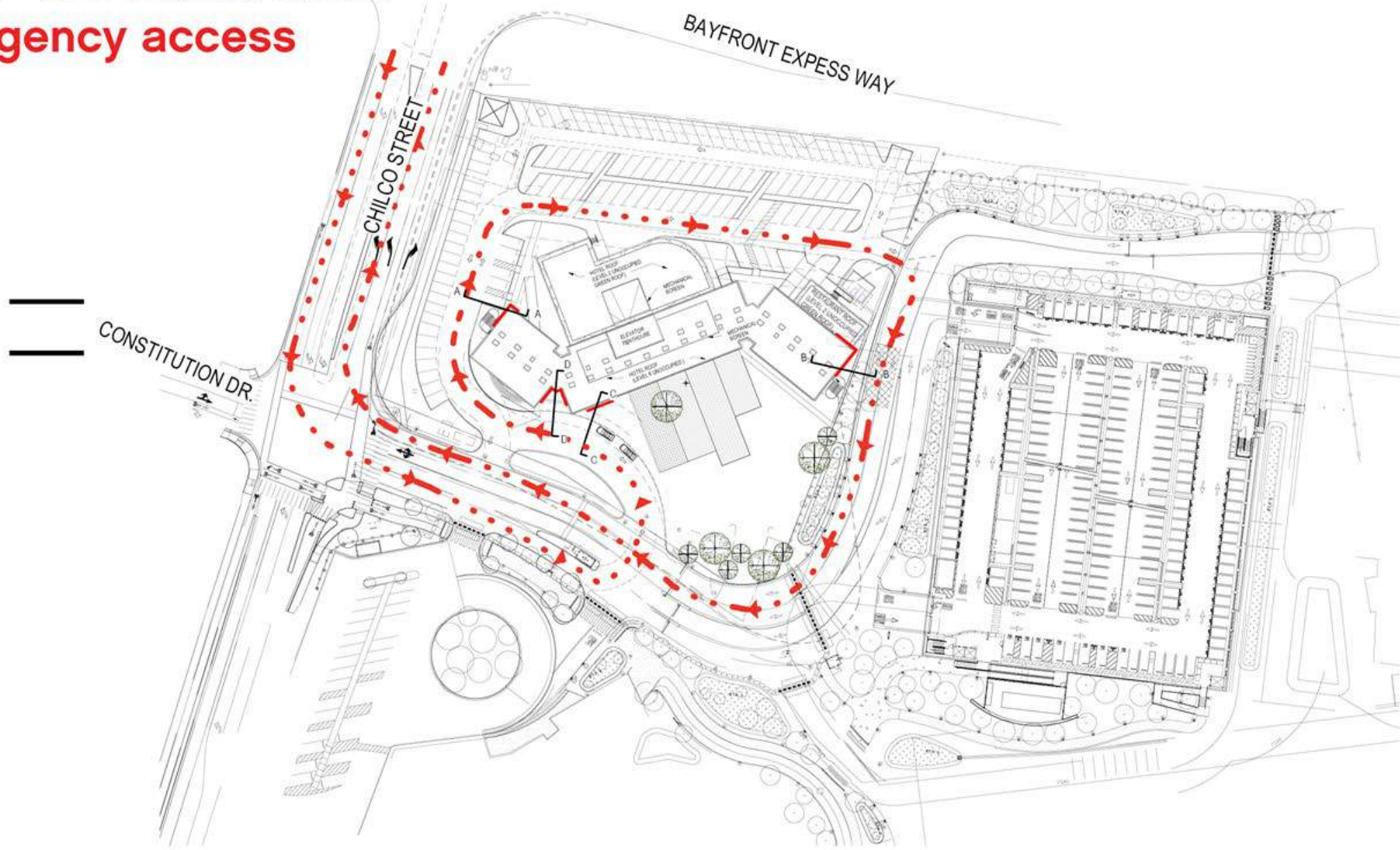
site circulation

waste collection

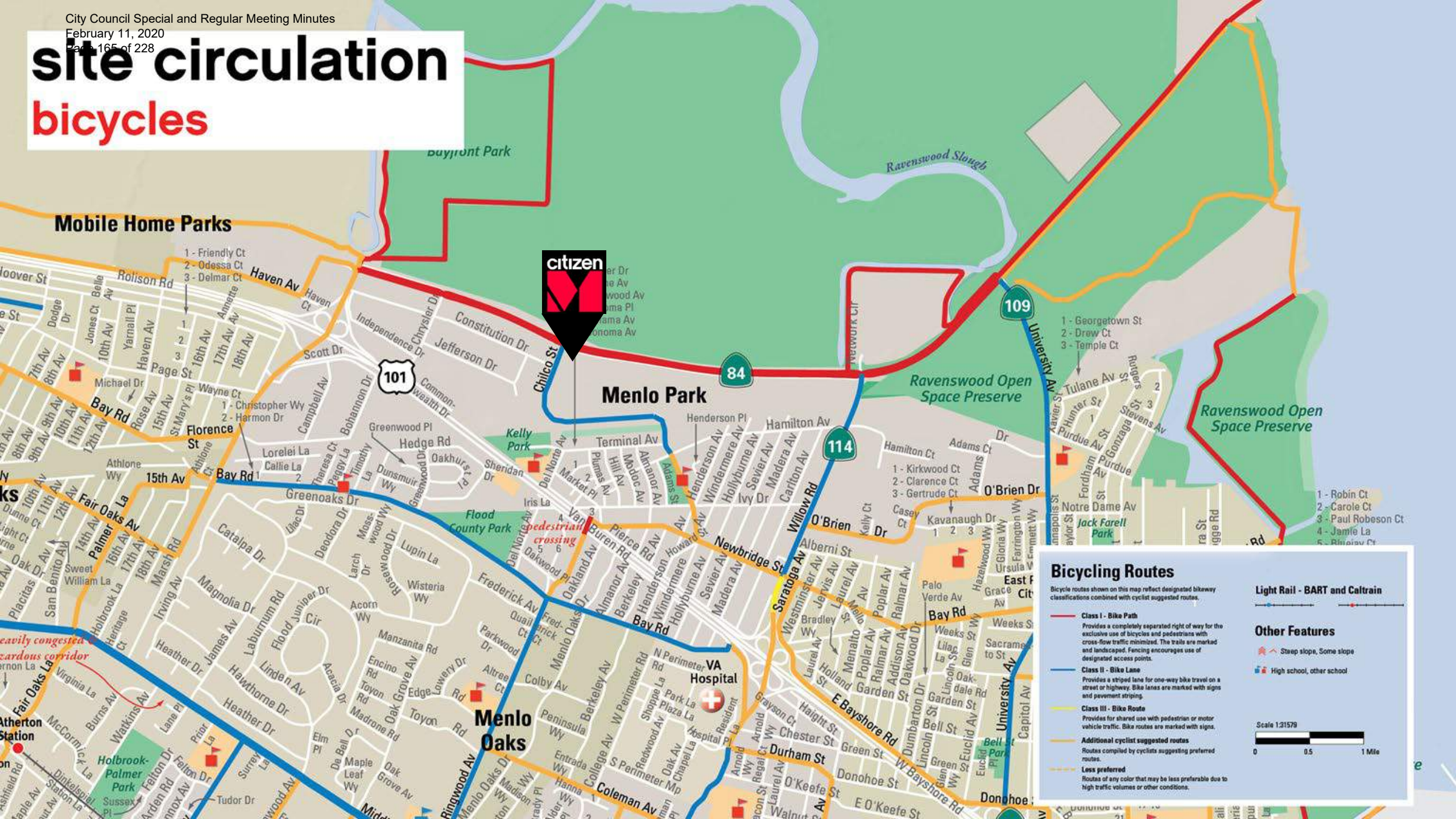


site circulation

emergency access



site circulation bicycles

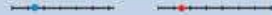


Bicycling Routes

Bicycle routes shown on this map reflect designated bikeway classifications combined with cyclist suggested routes.

- Class I - Bike Path**
Provides a completely separated right of way for the exclusive use of bicycles and pedestrians with cross-flow traffic minimized. The trails are marked and landscaped. Fencing encourages use of designated access points.
- Class II - Bike Lane**
Provides a striped lane for one-way bike travel on a street or highway. Bike lanes are marked with signs and pavement striping.
- Class III - Bike Route**
Provides for shared use with pedestrian or motor vehicle traffic. Bike routes are marked with signs.
- Additional cyclist suggested routes**
Routes compiled by cyclists suggesting preferred routes.
- Less preferred**
Routes of any color that may be less preferable due to high traffic volumes or other conditions.

Light Rail - BART and Caltrain



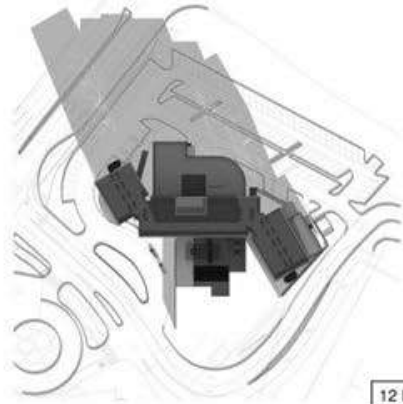
Other Features

- Steep slope, Some slope
- High school, other school



sun study

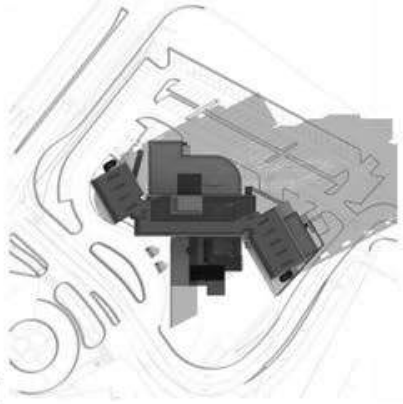
9 AM DEC 21



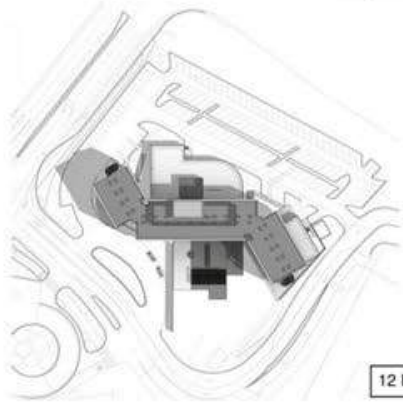
12 PM DEC 21



3 PM DEC 21



9 AM JUN 21



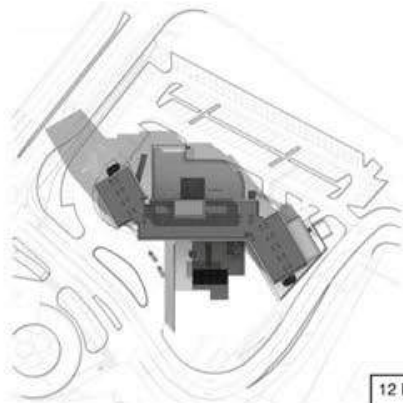
12 PM JUN 21



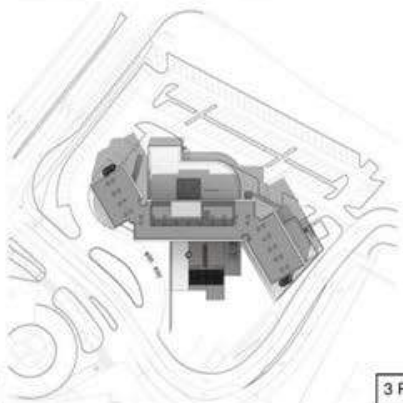
3 PM JUN 21



9 AM MAR 21



12 PM MAR 21



3 PM MAR 21



SHADOW STUDY

sun study

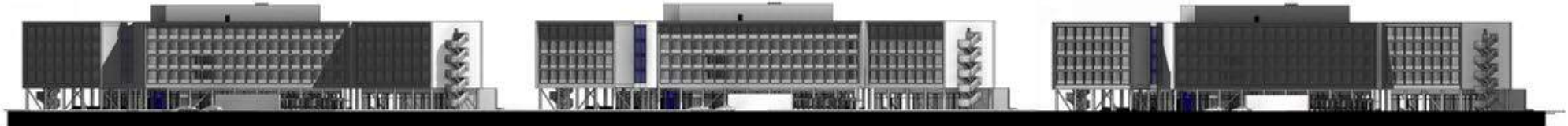
south elevation



9 AM DEC 21

12 PM DEC 21

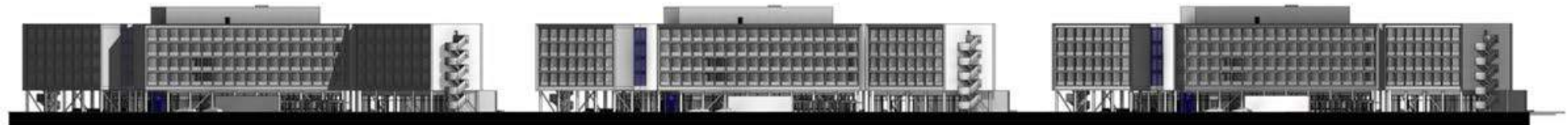
3 PM DEC 21



9 AM JUN 21

12 PM JUN 21

3 PM JUN 21



9 AM MAR 21

12 PM MAR 21

3 PM MAR 21

SHADOW STUDY

sun study

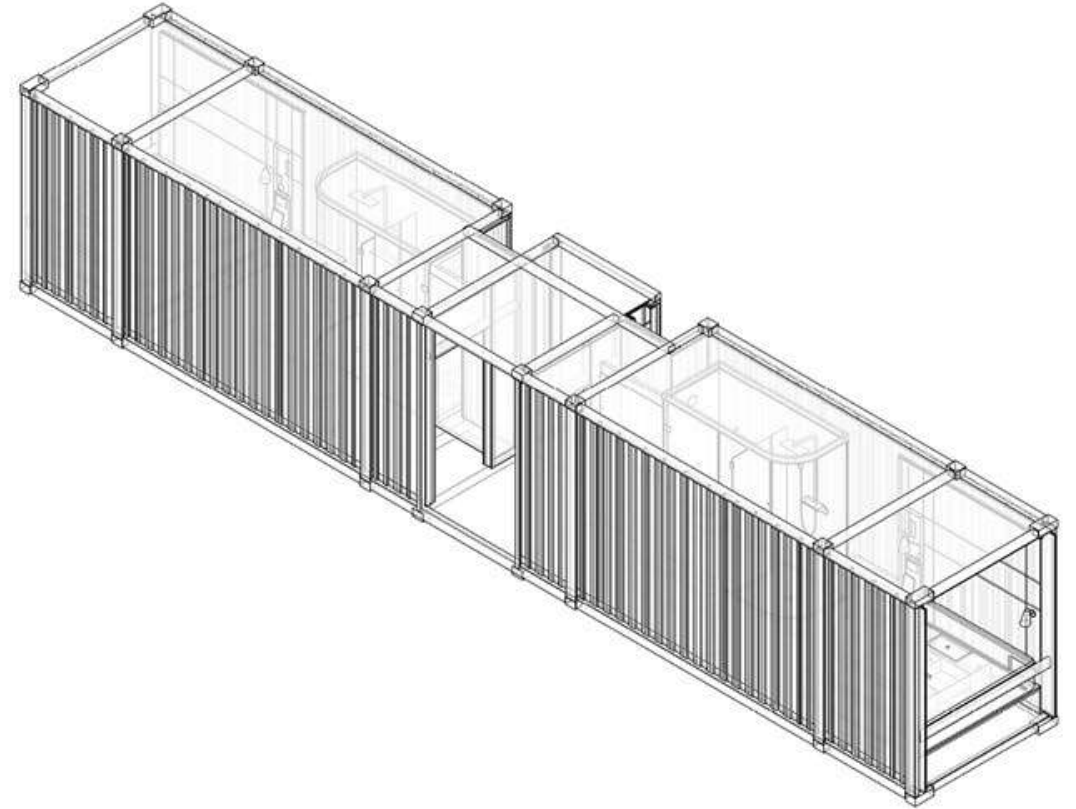
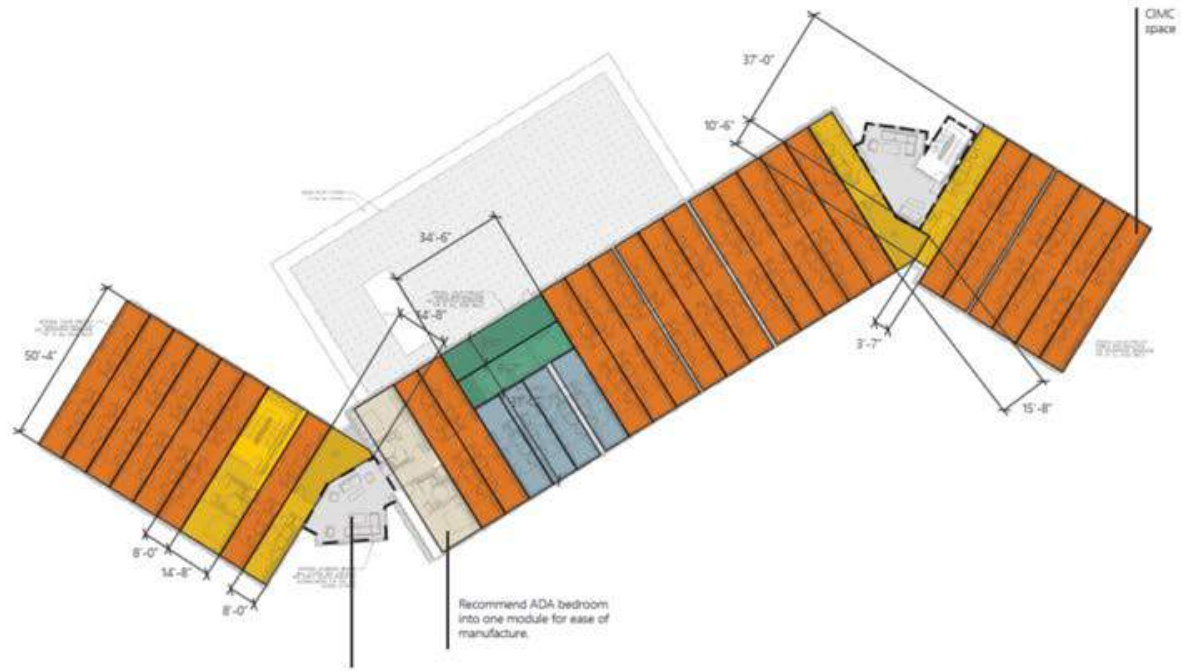
mitigating factors

- **only rooms to the south affected by direct sun**
- **angled massing reduces extent of exposure**
- **peak sun exposure during lowest occupancy hours (lowest energy demand)**
- **different elevations would require different shading angles**



modular construction

unit & layout



modular construction

manufacture & delivery

START

On Site Foundations & Traditional Build Frame



Steel Fabrication



Module Fit Out



Delivery



Erection



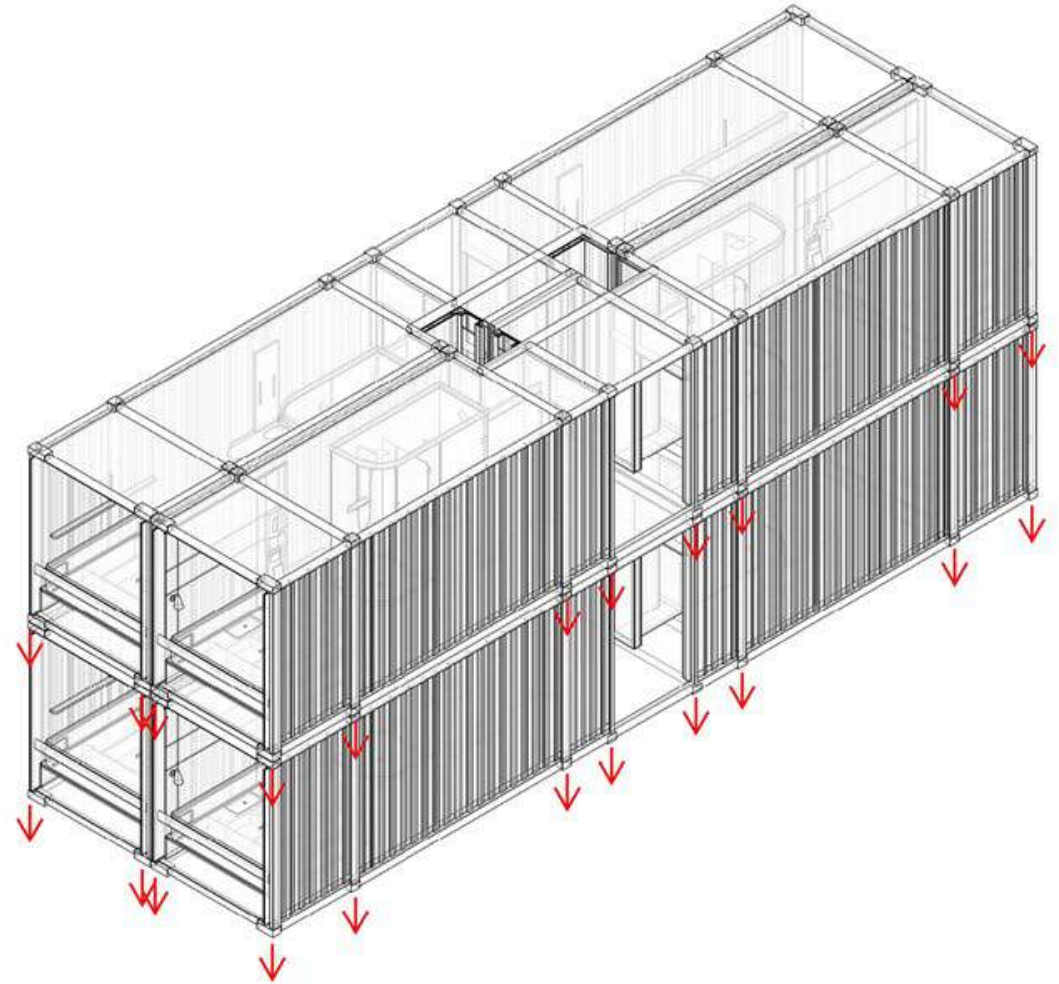
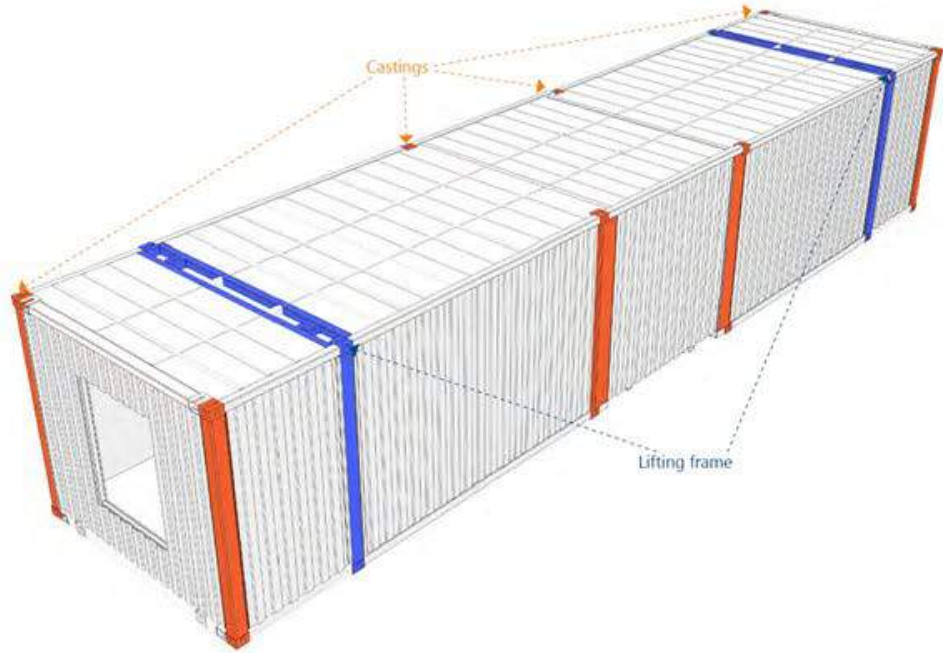
Zip up & Finishing



END

modular construction

structure



community backyard



1 - ARTFUL RECREATIONAL SPACES



2 - PLAYFUL WOOD SEATING + DECKING



3 - LANDSCAPE WALL



4 - COLORFUL + PLAYFUL SEATING ELEMENTS



5 - SITE FIRE FEATURE



6 - WATER FEATURE



7 - CENTRAL SPECIMEN TREE



8 - STORMWATER RAIN GARDEN



9 - OUTDOOR FOOD SERVICE AND GARDEN SPACES

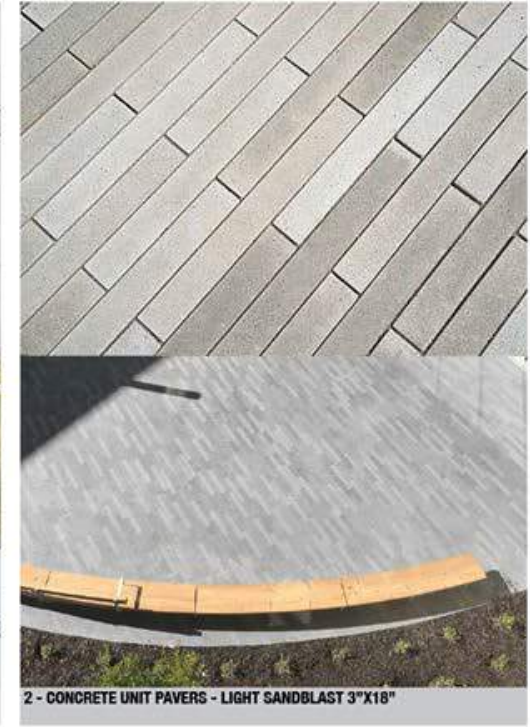


10 - CULTIVATED + STROLLING GARDENS

material palette



1 - INTEGRALLY COLORED PIP CONCRETE WITH ACCENT BAND



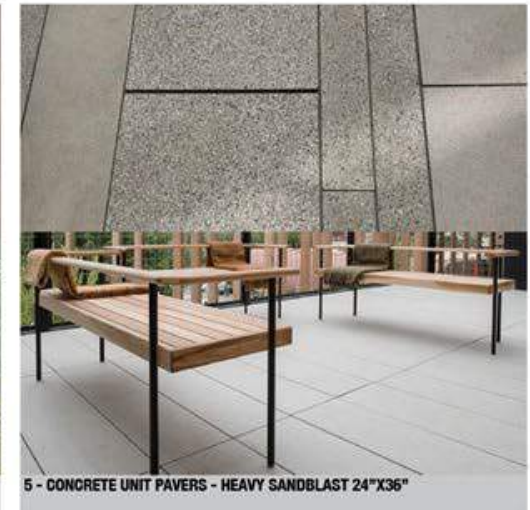
2 - CONCRETE UNIT PAVERS - LIGHT SANDBLAST 3"X18"



3 - CRUSHED STONE PAVING



4 - WOOD DECKING



5 - CONCRETE UNIT PAVERS - HEAVY SANDBLAST 24"X36"

HARDSCAPE PAVING PALETTE

native landscapes



CALIFORNIA SYCAMORE
Platanus racemosa 'Roberts'



COAST LIVE OAK
Quercus agrifolia



OLIVE
Olea europaea



PALO VERDE
Cercidium x 'Desert Museum'



SPECIMEN COAST LIVE OAK
Quercus agrifolia



TREE PLANTING PALETTE

native landscapes



1 - GROUND COVER
SIMPLE SWATHS OF CREEPING GROUNDCOVERS, ORNAMENTAL EVERGREEN GRASSES, SMALL TO MEDIUM SHRUBS



2 - ORNAMENTAL CIRCULATION PATH
VARIED AND TEXTURED PALETTE OF LOW TO MEDIUM GRASSES, SHRUBS AND GROUNDCOVERS



3 - LOW HEDGES AND CULTIVATED GARDEN
TRIMMED SHRUBS AND HEDGES DEFINING GARDEN SPACES



4 - STORMWATER RAIN GARDENS
MIX OF SEDGES, REEDS AND RUSHES



5 - VINES
VERTICAL GREEN, ATTACHED TO FENCE OR WALL

appendix III

revised cdp submission



Gensler

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1200 Sixth Avenue
Suite 500
Seattle, WA 98101
Telephone 206.654.2100
Facsimile 206.654.2121

citizenM HOTELS

OWNER
Menno Hilbert
506 2nd Ave
Suite 2900
Seattle, WA 98104

KIER & WIRGHT

CIVIL
Emad Sarieddine
esari@kierwright.com
T: (925) 245-8788
2850 Collier Canyon Rd
Livermore, CA 94551

DCI ENGINEERS

STRUCTURAL
Roger Heeringa
rheeringa@dc-engineers.com
T: (206) 332-1900
818 Stewart Street, Suite 1000
Seattle, WA 98101

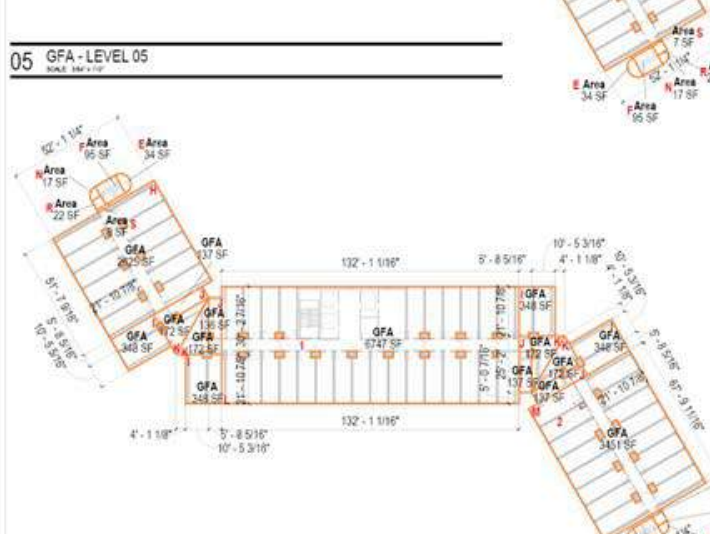
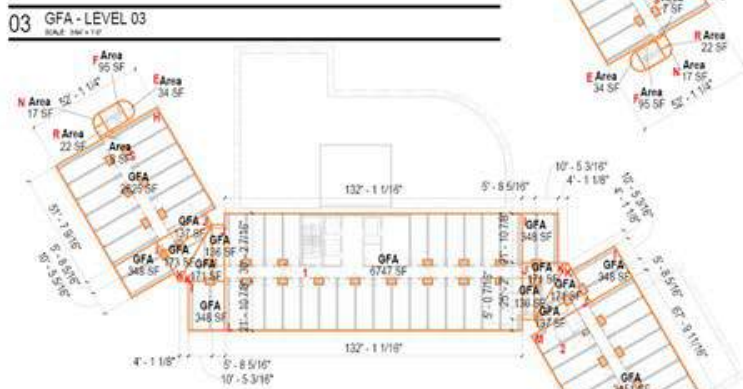
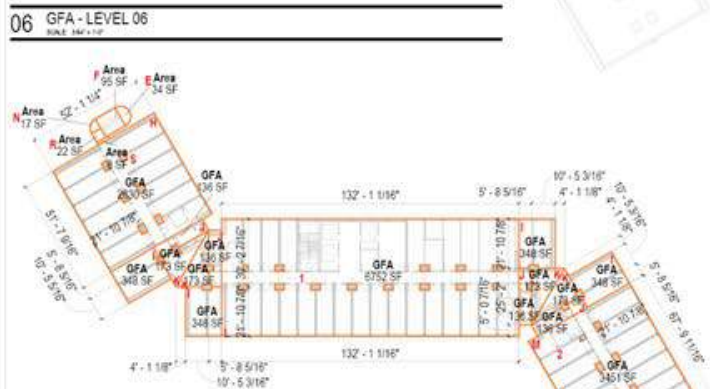
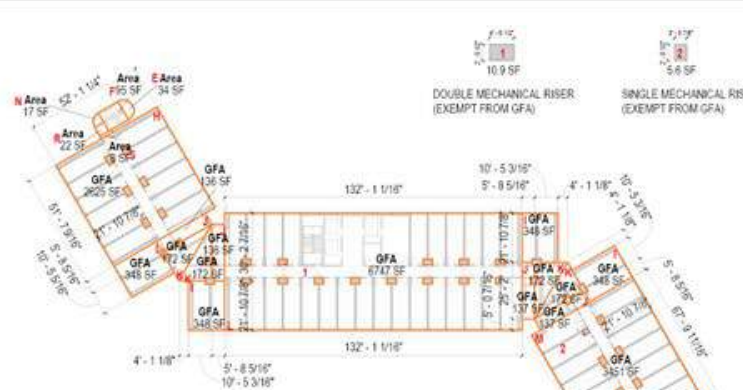
INSITU

LANDSCAPE ARCHITECT
Eric Sirois
e.sirois@insitulandscape.com
T: (415) 412-0353
620 Davis St
San Francisco, CA 94111

citizenM Menlo Park

CPD RESUBMITTAL JAN 20, 2020

Menlo Park
CA
94025



AREA CALCULATION

GROSS FLOOR AREA				
LEVEL	AREA	QUANTITY	TOTAL	
LEVEL 01	A	2,379	1	2,379
	B	3,545	1	3,545
	C	3,980	1	3,980
	D	2,058	1	2,058
	E	34	2	68
	F	95	2	190
	G	3,389	2	6,778
	H	153	2	306
	I	143	4	572
	J	181	4	724
	K	189	4	756
	L	4,742	1	4,742
	M	3,033	1	3,033
	N	34	2	68
	O	95	2	190
	P	37	2	74
	Q	22	2	44
	R	7	2	14
LEVEL 01 TOTAL				25,337
LEVEL 02				2,480
LEVEL 03				2,480
LEVEL 04				2,480
LEVEL 05				2,480
LEVEL 06				2,480
LEVEL 07				2,480
LEVEL 08				2,480
LEVEL 09				2,480
LEVEL 10				2,480
LEVEL 11				2,480
LEVEL 12				2,480
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LEVEL 247				2,480



CITIZENM HOTELS
 Menlo Park
 CA
 94025

Gensler

100 San Anselmo
 Suite 200
 San Francisco, CA 94115
 United States

Tel: 415.451.7100
 Fax: 415.451.7101

CLIENT
 CitizenM Hotels
 75 California Avenue
 2nd Floor
 Menlo Park, CA 94025

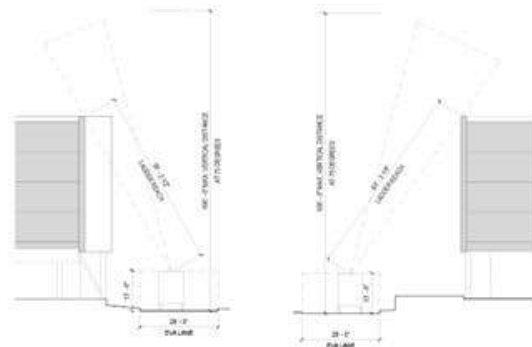
Project Name
 CitizenM Menlo Park

ARCHITECT
 Gensler
 1000 California Street, Suite 500
 San Francisco, CA 94109
 P.O. Box 200000

Project Manager
 Gensler

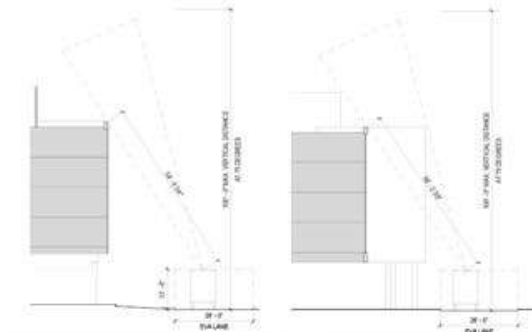


05 MP FIRE TRUCK
 SCALE: 1/8"=1'-0"



06 FIRE TRUCK ACCESS - SECTION B
 SCALE: 1/8"=1'-0"

03 FIRE TRUCK ACCESS - SECTION A
 SCALE: 1/8"=1'-0"

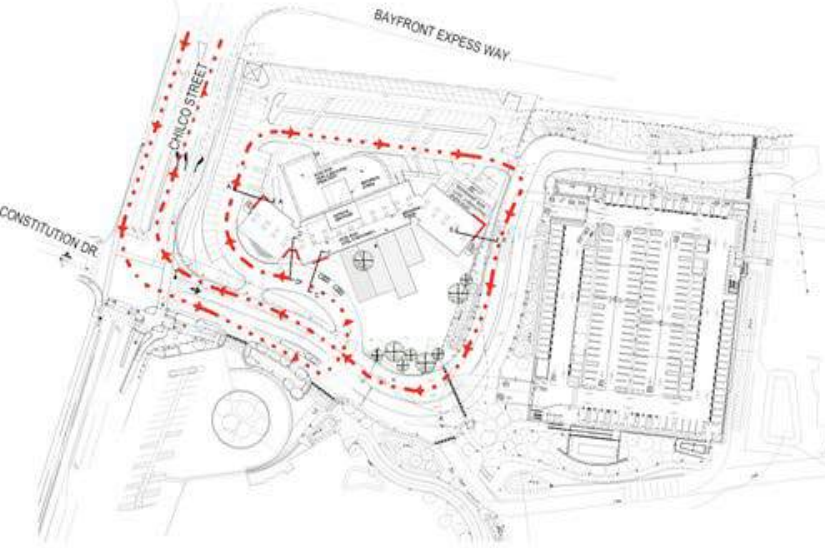
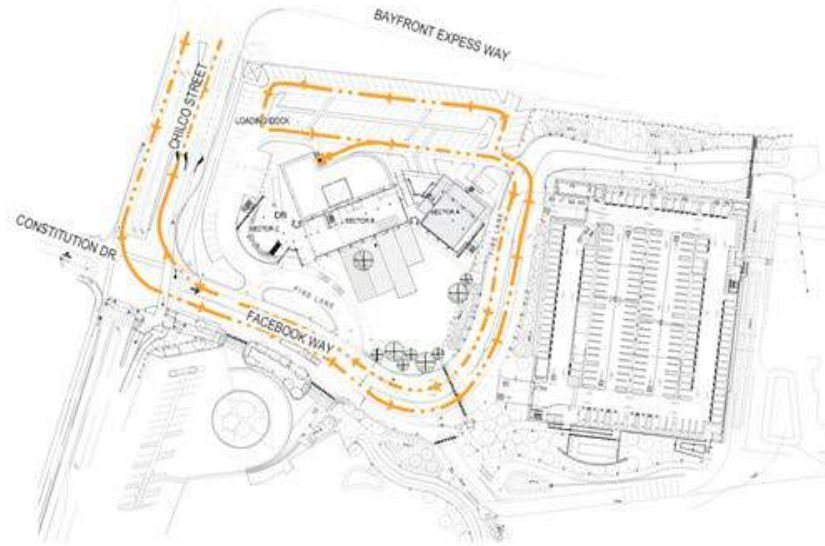


07 FIRE TRUCK ACCESS - SECTION C
 SCALE: 1/8"=1'-0"

04 FIRE TRUCK ACCESS - SECTION D
 SCALE: 1/8"=1'-0"

01 SITE PLAN - DELIVERY & LOADING CIRCULATION
 SCALE: 1/8"=1'-0"

02 SITE PLAN - EMERGENCY VEHICLE ACCESS CIRCULATION
 SCALE: 1/8"=1'-0"



ID#	Description
-----	-------------

Scale: As Indicated

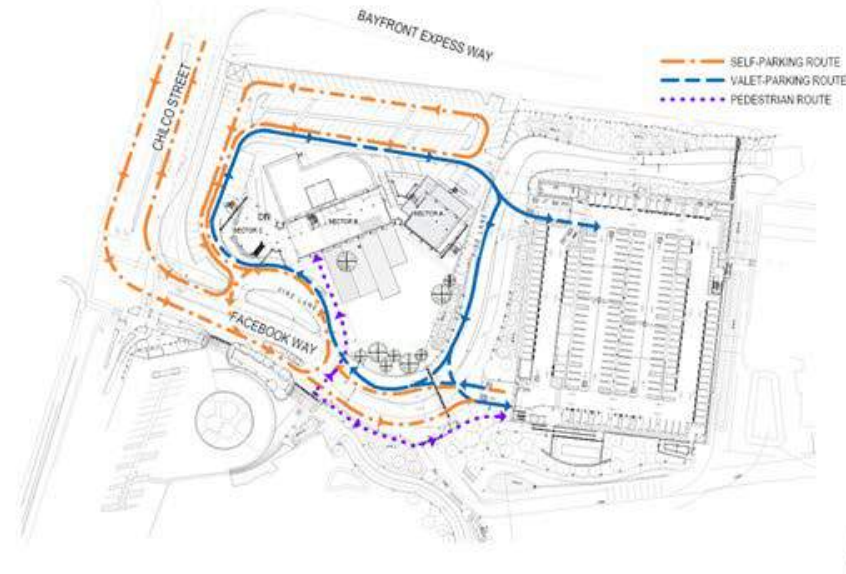
Project Name
 citizenM Menlo Park

Project Number
 032 3829 000

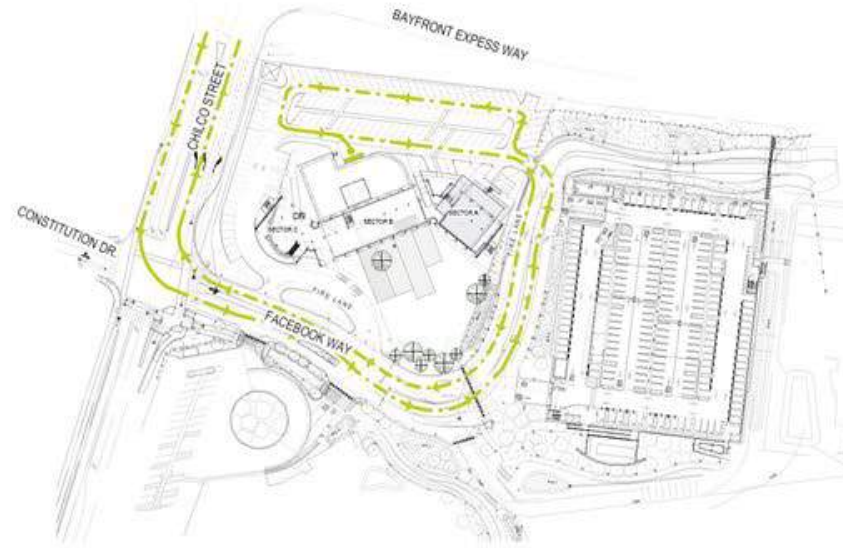
Description
 VEHICLE CIRCULATION PLANS

Scale
 As indicated

G02.201



01 SITE PLAN - PARKING ANALYSIS
SCALE: 1"=60'-0"



02 SITE PLAN - SOLID WASTE COLLECTION VEHICLE ACCESS
SCALE: 1"=60'-0"



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 CitizenM Hotels
 75 California Avenue
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 San Francisco, CA 94111

ARCHITECT
 Gensler
 100 San Antonio
 Suite 500
 San Francisco, CA 94103

DATE Description

Scale Signature

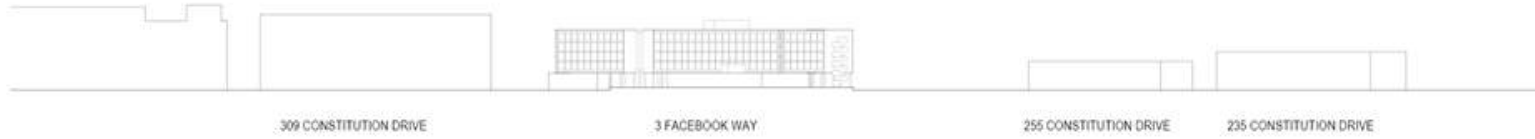
Project name
 citizenM Menlo Park

Project Number
 032 3829 000

Description
 VEHICLE CIRCULATION PLANS

Scale
 1" = 60'-0"

G02.202



01 BAYFRONT EXPY SILHOUETTE DRAWING



02 CHILCO STREET SILHOUETTE DRAWING



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 CitizenM Hotels
 75 Madison Avenue
 21st Floor
 New York, NY 10017

ARCHITECT
 Gensler
 100 Park Avenue
 Suite 603
 New York, NY 10017

DATE Description

REV Description

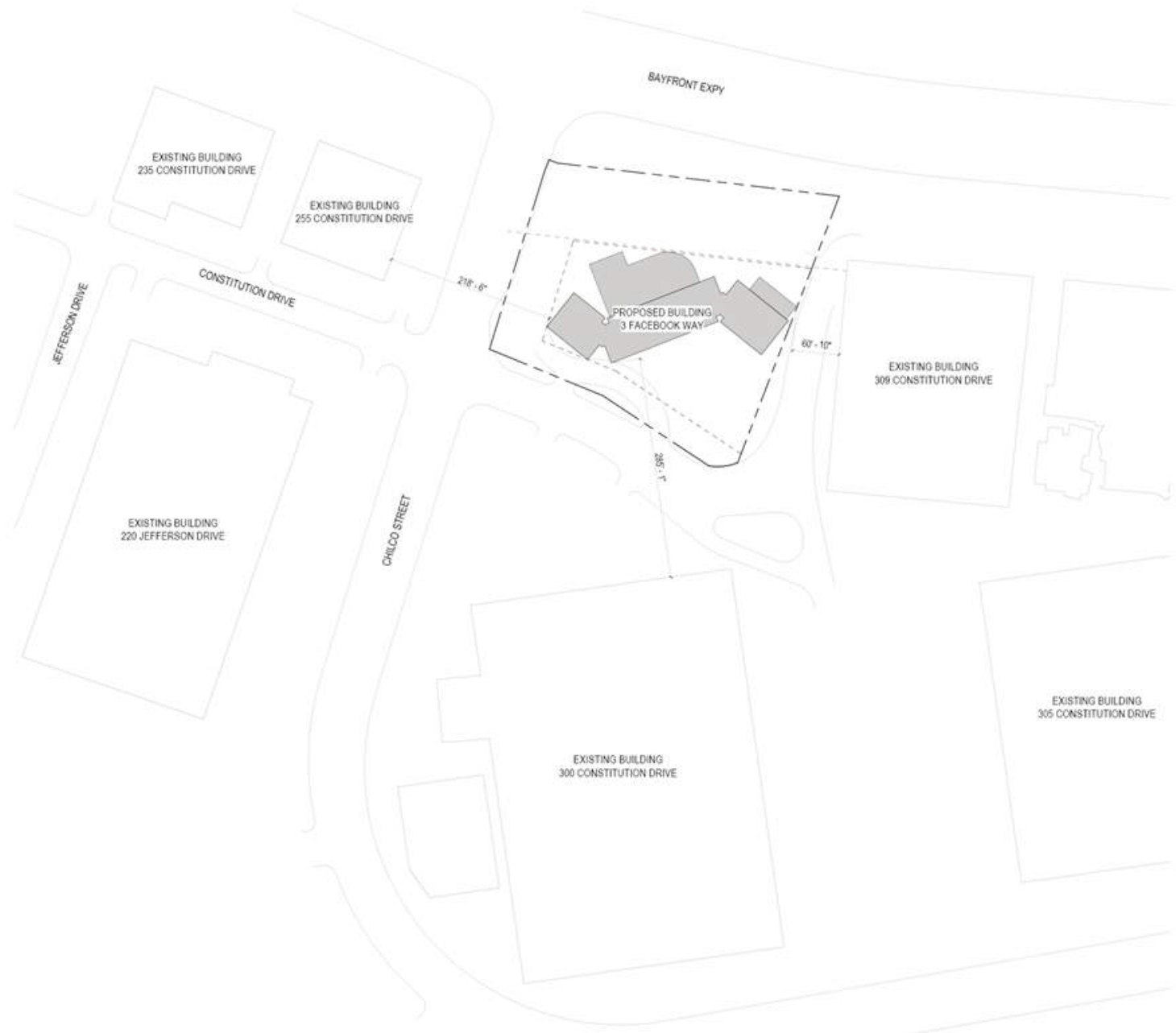
Project Name
 citizenM Menlo Park

Project Number
 002 3829 000

Description
 STREET SILHOUETTE DRAWING

Scale
 1" = 50'-0"

G02.300



citizen

 CITIZENM HOTELS
 Menlo Park, CA 94025

Gensler
 100 Park Avenue, Suite 603, New York, NY 10022
 212 677 1800 | www.gensler.com

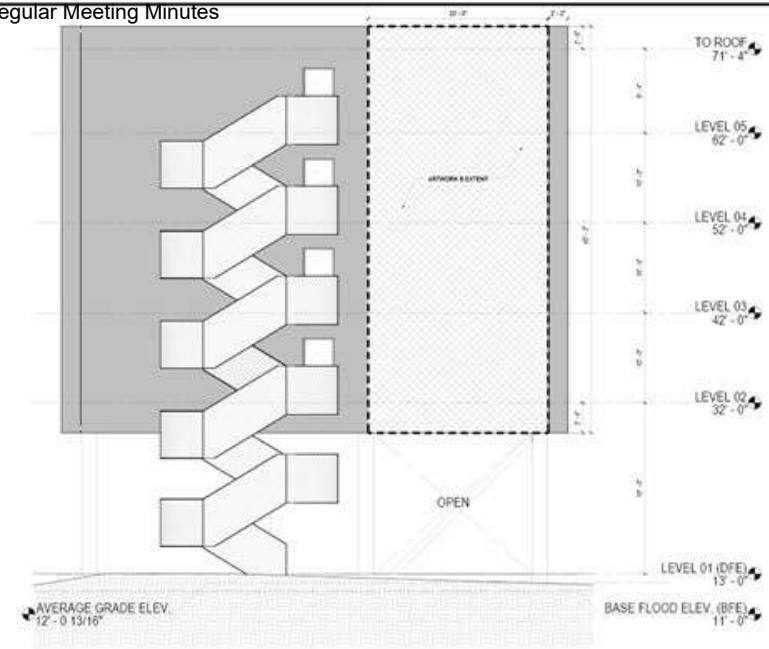
Client:
 CitizenM Hotels, 75 Madison Avenue, 21st Floor, New York, NY 10017

Project Manager:
 Jennifer Quigg, jquigg@gensler.com

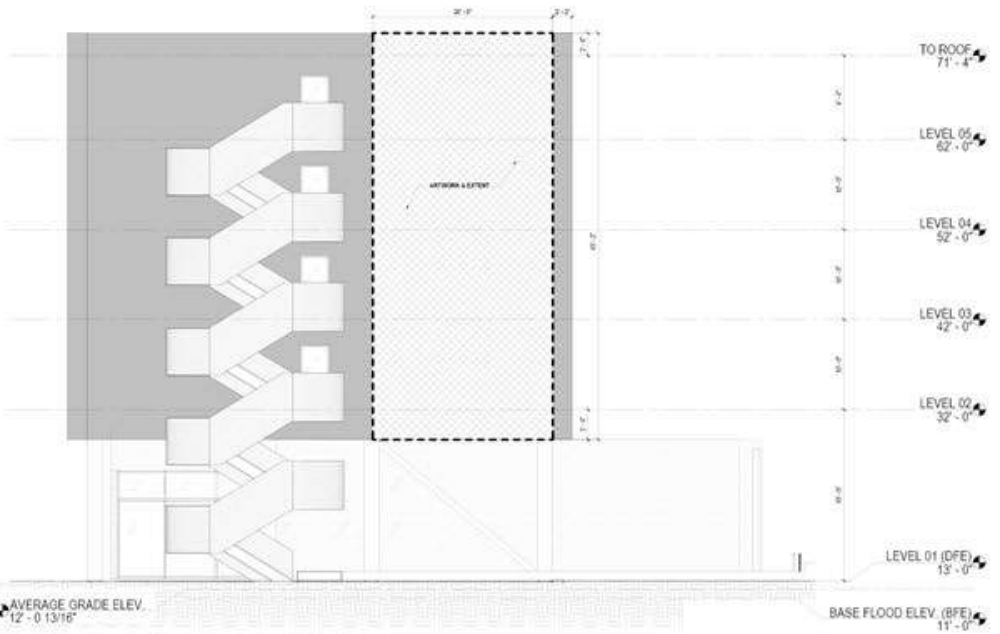
Architect:
 Gensler, 111 Virginia Avenue, Hingham, MA 01994

Scale:
 1" = 50'-0"

Sheet:
 G02.301



02 EXT ARTWORK - SECTOR C - NORTHWEST ELEVATION
 SCALE: 3/8" = 1'-0"



01 EXT ARTWORK - SECTOR A - SOUTHEAST ELEVATION
 SCALE: 3/8" = 1'-0"



NOTE: ARTWORK SHOWN AS AN EXAMPLE ONLY. FINAL ARTWORK TO BE DETERMINED BY A SEPARATE PROCESS.

ARTWORK EXAMPLE

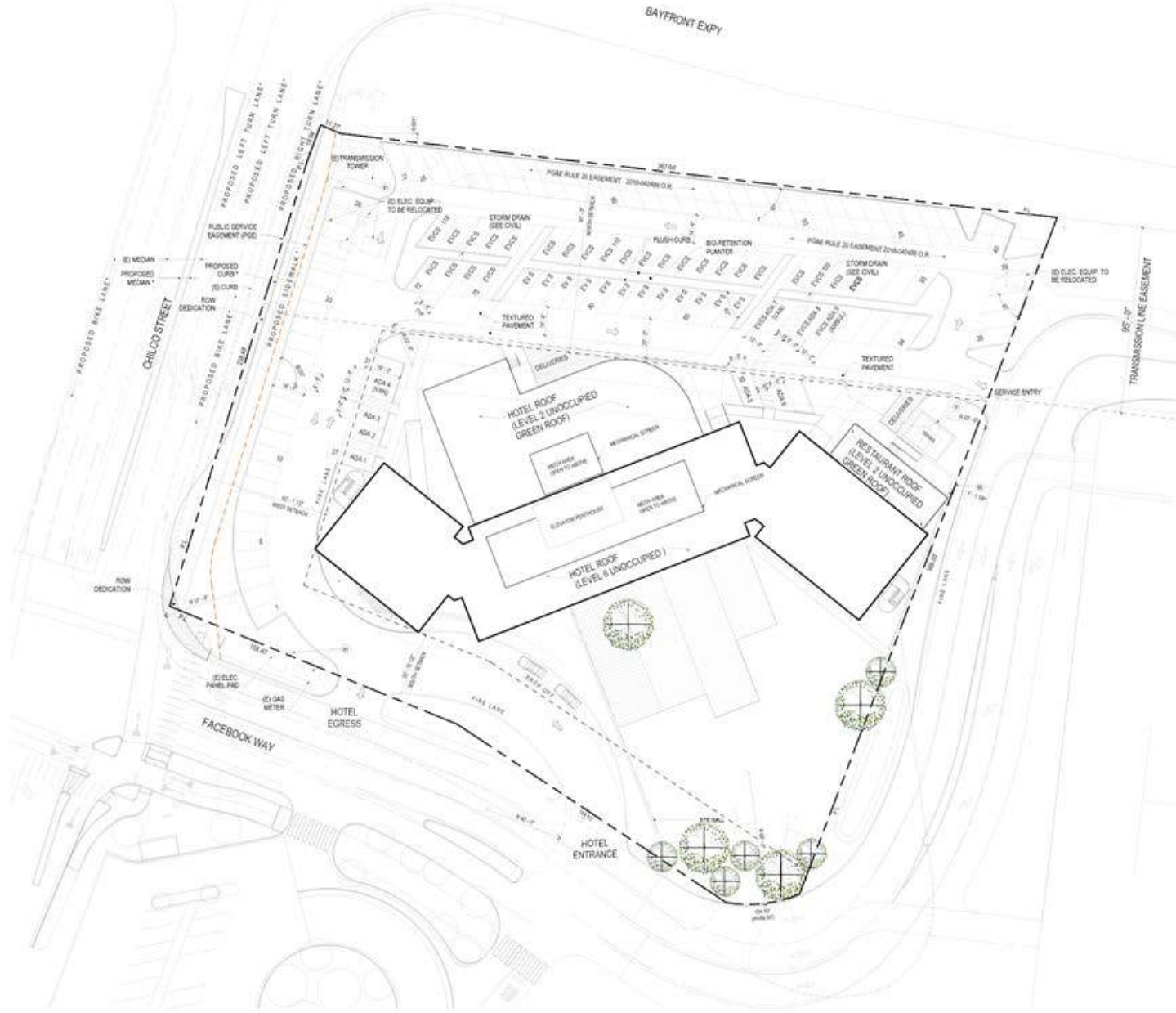
citizen

 CITIZENM HOTELS
 Menlo Park, CA 94025

Gensler
 1000 Sixth Avenue, Suite 200, Seattle, WA 98101, United States
 Tel: 206.451.7100 Fax: 206.451.7101
 CLIENT: CitizenM Hotels, 700 California Avenue, 21st Floor, Menlo Park, CA 94025
 ARCHITECT: Gensler, 1111 Virginia Avenue, Menlo Park, CA 94025
 DATE: 02/11/2020
 DRAWN BY: [Name], CHECKED BY: [Name]

ID	Description

Project Name: citizenM Menlo Park
 Project Number: 032 3829 000
 Description: EXTERIOR ARTWORK EXTENT
 Scale: 3/8" = 1'-0"
G02.401



SHEET NOTES

- 01. UNOCCUPIED EQUIPMENT FULLY SCREENED TO COMPLY WITH NOISE REQUIREMENTS IN CHAPTER 8.33 OF THE MENLO-PARK CODE
- 02. NON-STREET FACING PROPERTY LINE SETBACK NOT REQUIRED.



CITIZENM HOTELS
 1600 Park
 CA
 94015

Gensler

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 Suite 200
 San Francisco, CA 94101
 (415) 774-8800

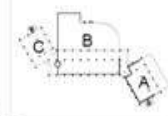
CLIENT
 citizenM
 750 Market Street
 2nd Floor
 San Francisco, CA 94102

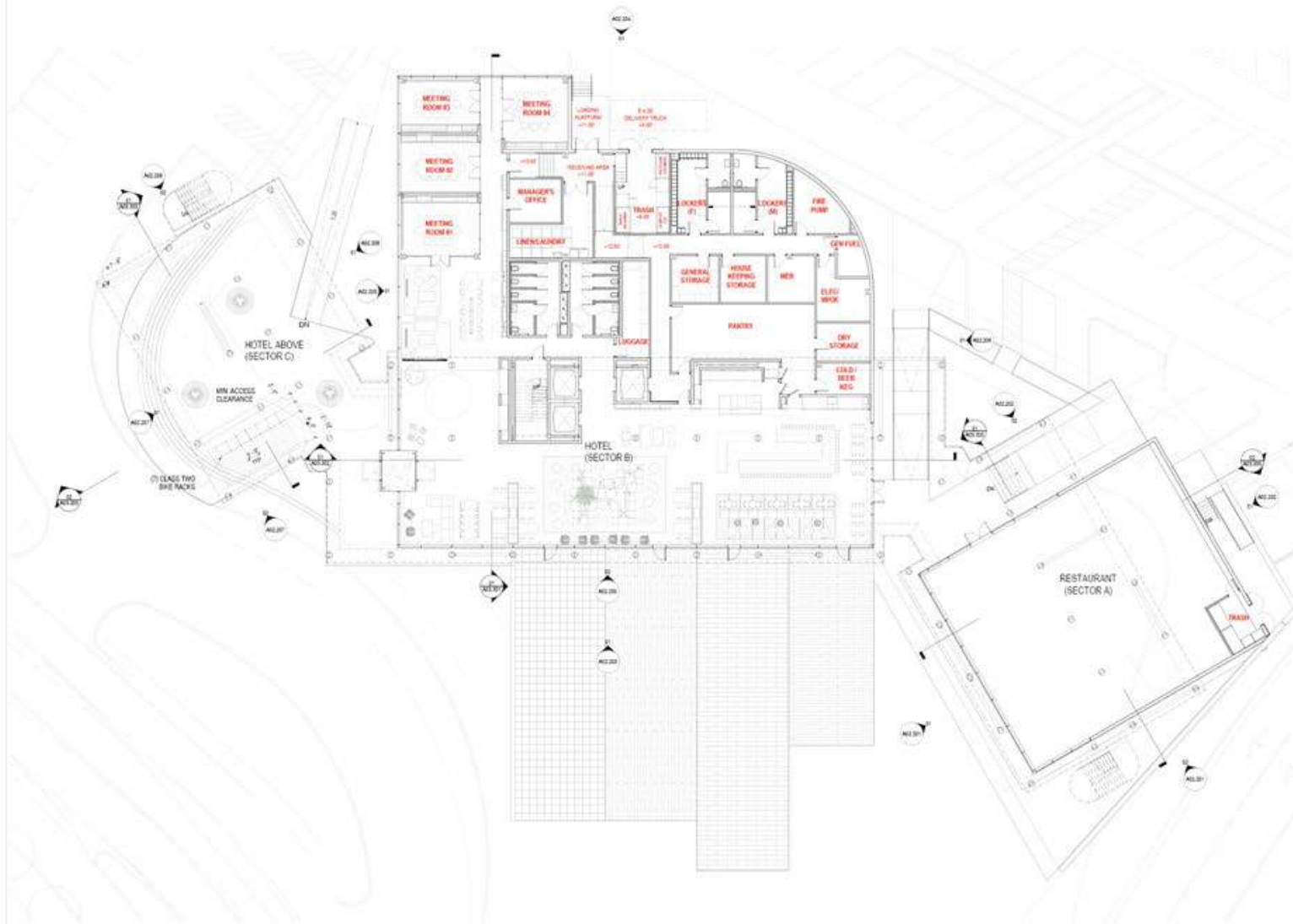
ARCHITECT FIRM
 Gensler
 1000 San Antonio
 Suite 200
 San Francisco, CA 94101
 (415) 774-8800

GENERAL NOTES

- EV03 - ELECTRIC VEHICLE CHARGING STATION
- EV04 - ELECTRIC VEHICLE CHARGING STATION
- EV05 - ELECTRIC VEHICLE CHARGING STATION
- EV06 - ELECTRIC VEHICLE CHARGING STATION
- EV07 - ELECTRIC VEHICLE CHARGING STATION
- EV08 - ELECTRIC VEHICLE CHARGING STATION
- EV09 - ELECTRIC VEHICLE CHARGING STATION
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- EV31 - ELECTRIC VEHICLE CHARGING STATION
- EV32 - ELECTRIC VEHICLE CHARGING STATION
- EV33 - ELECTRIC VEHICLE CHARGING STATION
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- EV96 - ELECTRIC VEHICLE CHARGING STATION
- EV97 - ELECTRIC VEHICLE CHARGING STATION
- EV98 - ELECTRIC VEHICLE CHARGING STATION
- EV99 - ELECTRIC VEHICLE CHARGING STATION
- EV100 - ELECTRIC VEHICLE CHARGING STATION

KEY PLAN





01 LEVEL 01 PLAN
 SCALE: 1/8" = 1'-0"

SHEET NOTES

GENERAL NOTES

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Gensler
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 Fax: 212.682.7201
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 ARCHITECT: Gensler
 1000 Park Avenue
 Suite 200
 New York, NY 10018
 PROJECT: Citigroup
 75 Hudson Avenue
 21st Floor
 New York, NY 10018

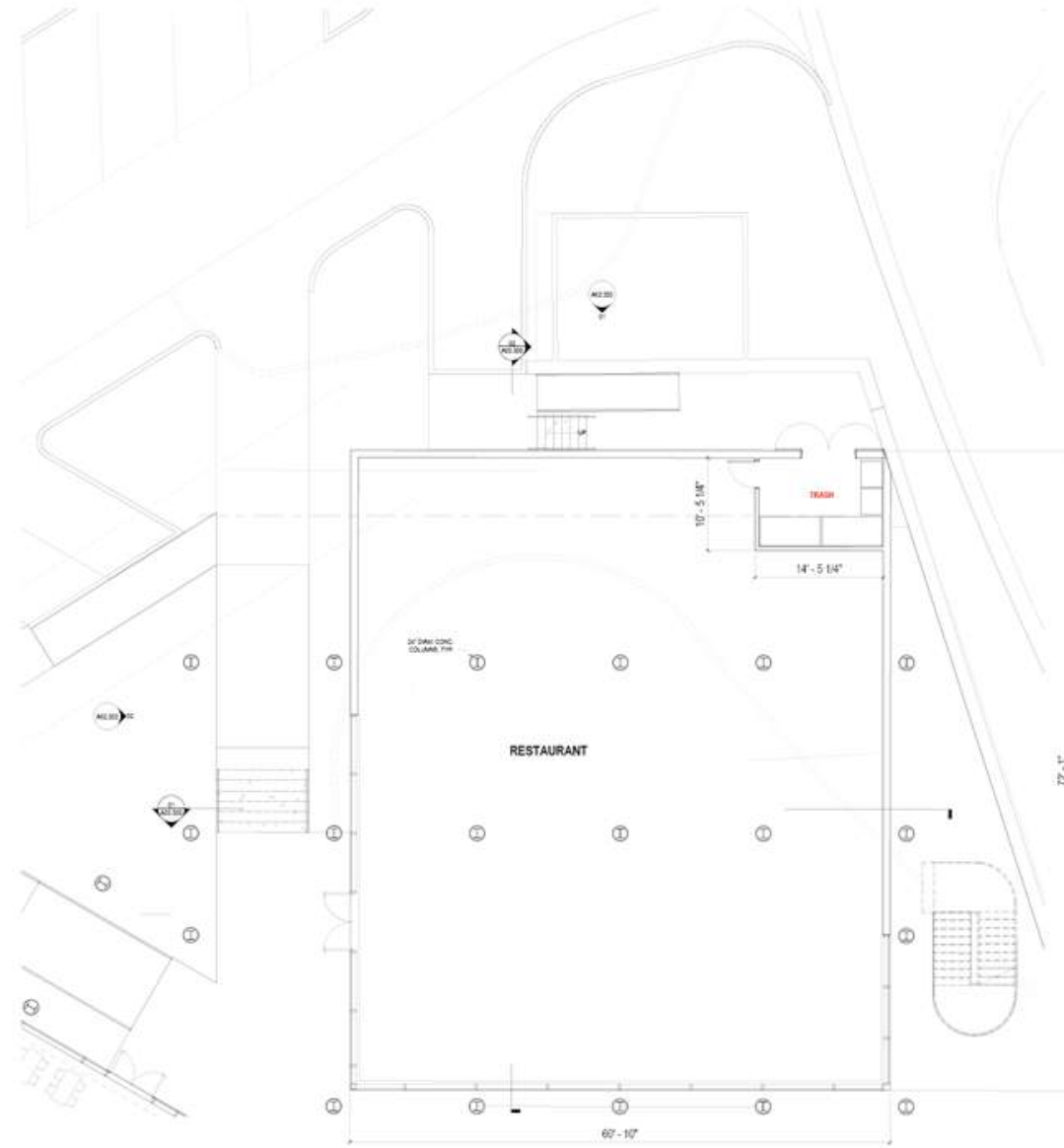
GENERAL NOTES

NO.	Description



KEY PLAN

Project Name: citizenM Menlo Park
 Project Number: 032 3829 000
 Description: LEVEL 01 PLAN
 Scale: 3/32" = 1'-0"
A01.101
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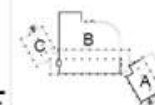


01 LEVEL 01 ENLARGED PLAN - SECTOR A

0 3 6 9 12



KEY PLAN



CITIZENM HOTELS

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 Fax: 212 491 2101

CLIENT
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 New York, NY 10017

ARCHITECT
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 100 Park Avenue
 Suite 500
 New York, NY 10022

PROJECT MANAGER
 Gensler
 gensler@gensler.com

GENERAL NOTES

Code	Description

REV / DESCRIPTION

Project name
 citizenM Menlo Park

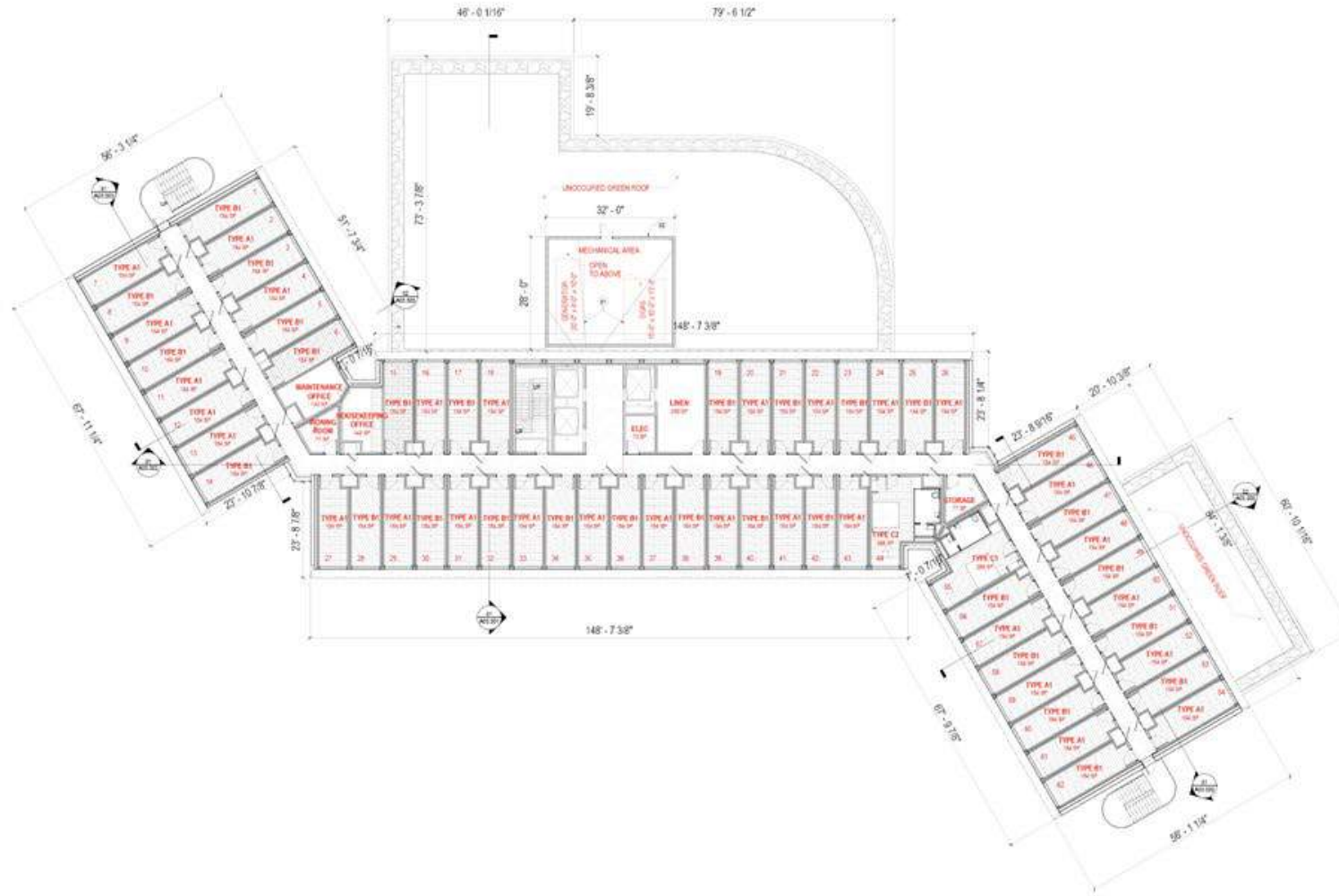
Project number
 002 3829 000

Description
 LEVEL 01 ENLARGED PLAN - SECTOR A

Scale
 3/16" = 1'-0"

A01.101-A

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01 LEVEL 02 PLAN
 Scale: 1/8" = 1'-0"

SHEET NOTES

- 01 KEEP VENTILATED EQUIPMENT SHALL COMPLY WITH THE VENTILATION REQUIREMENTS IN CHAPTER 9.03 OF THE CONDO DISCIPLINE
- 02 MECHANICAL SCREEN SHALL COVER (3'-0") MECHANICAL UNITS TO BE FULLY SCREENED

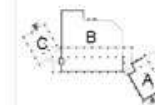
GENERAL NOTES

Code	Description

Scale: 1/8" = 1'-0"

Project Name: citizenM Menlo Park
 Project Number: 032 3829 000
 Description: LEVEL 02 PLAN

KEY PLAN



CITIZENM HOTELS

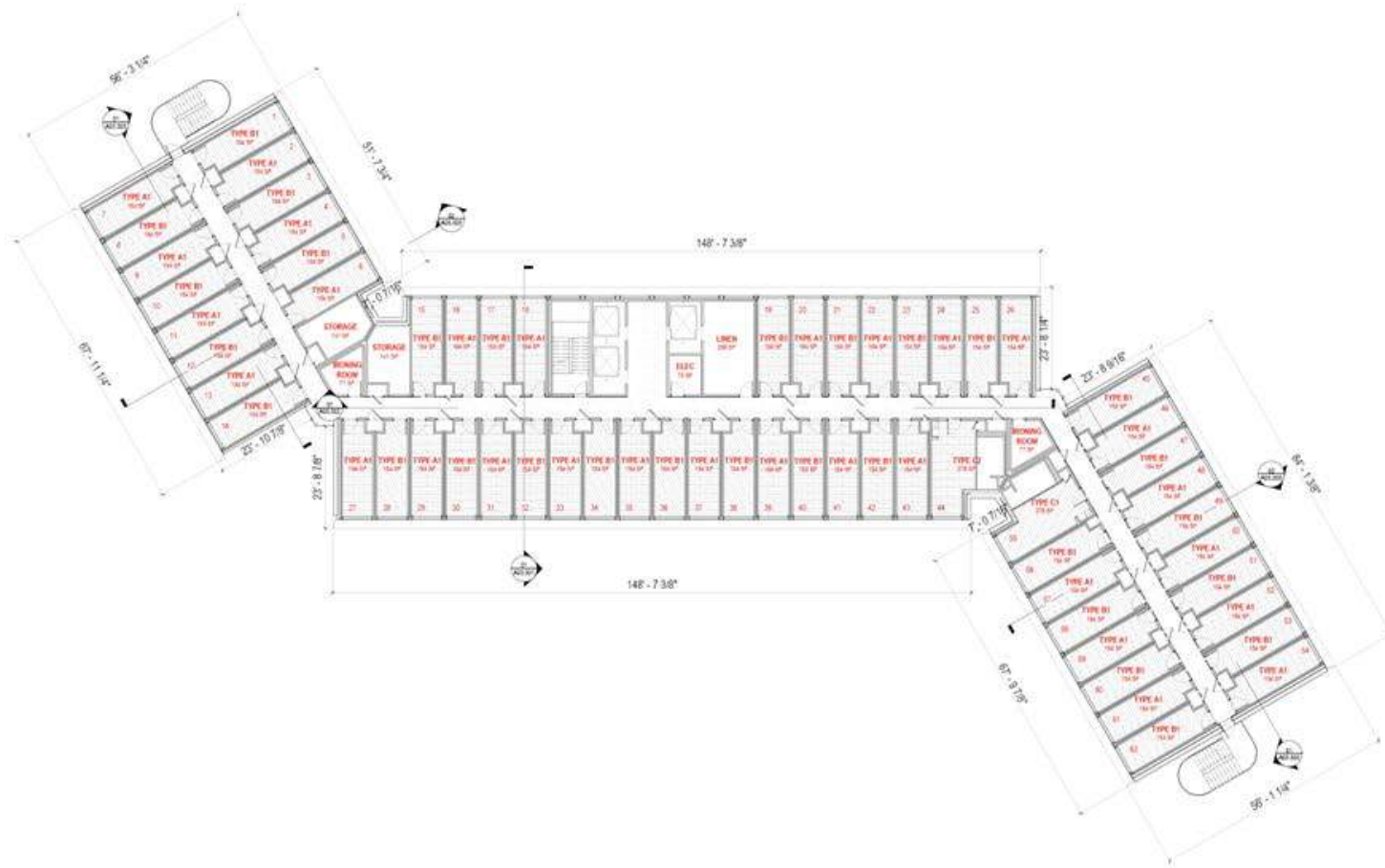
Gensler

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 Fax: 415.774.2501

CLIENT
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 75 California Avenue
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MECHANICAL FABRICATOR
 ZAC
 10000
 10000
 10000

A01.102



01 LEVEL 04 PLAN
 SCALE: 1/8" = 1'-0"

SHEET NOTES



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 JENNIFER@GENSLER.COM

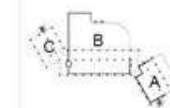
GENERAL NOTES

NO.	Description
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Rev. 1 Signature

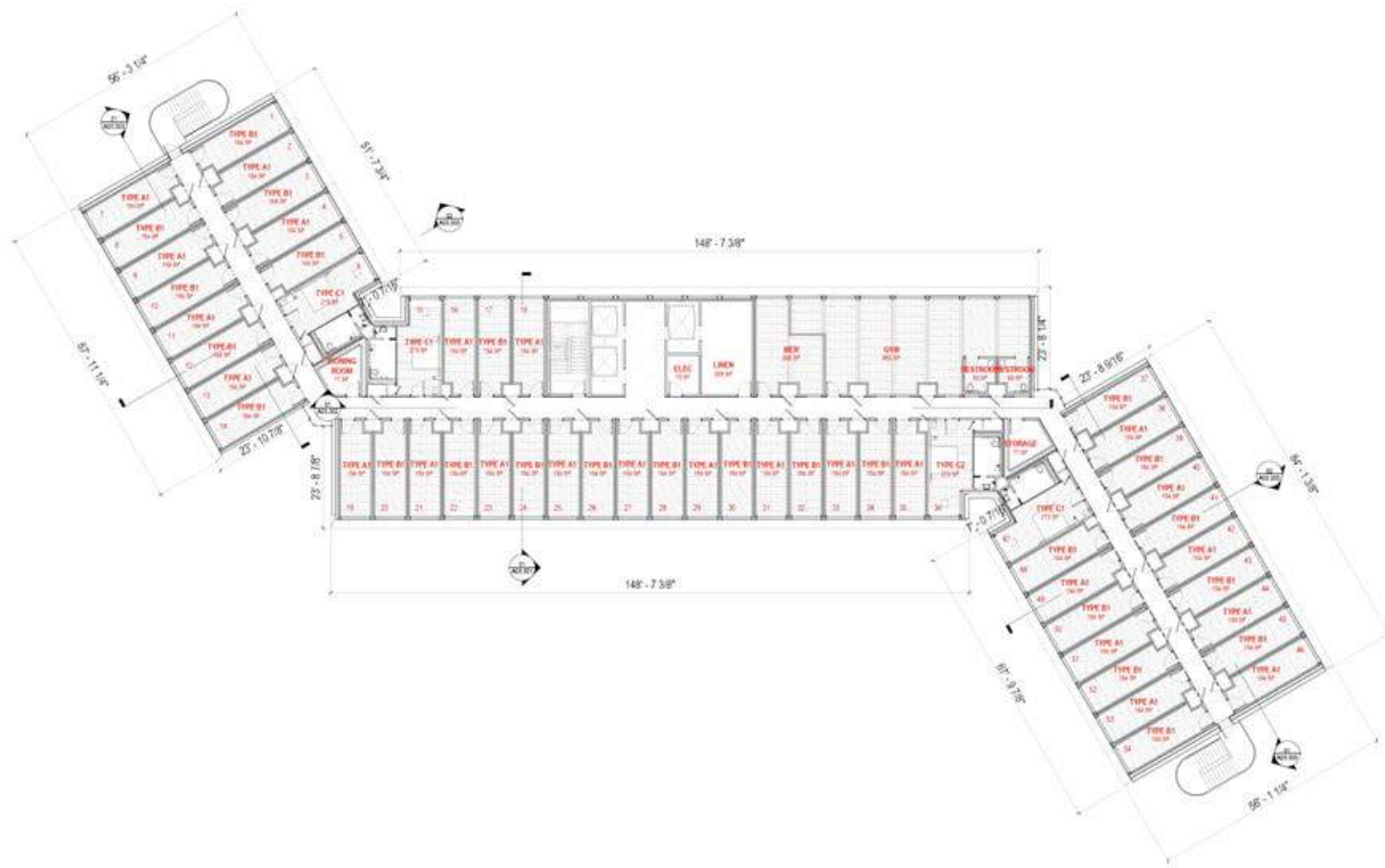
Project Name	citizenM Menlo Park
Project Number	032 3829 000
Description	LEVEL 04 PLAN

KEY PLAN



Scale
 3/32" = 1'-0"

A01.104



01 LEVEL 05 PLAN
SCALE: 3/32" = 1'-0"

SHEET NOTES



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 Fax: 708 854-2127

citizen@citizenhotels.com

800-549-7000
 gensler@gensler.com

GENERAL NOTES

Table Description

Scale / Signature

Project Name
 citizenM Menlo Park

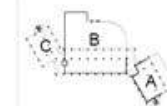
Project Number
 032-3829-000

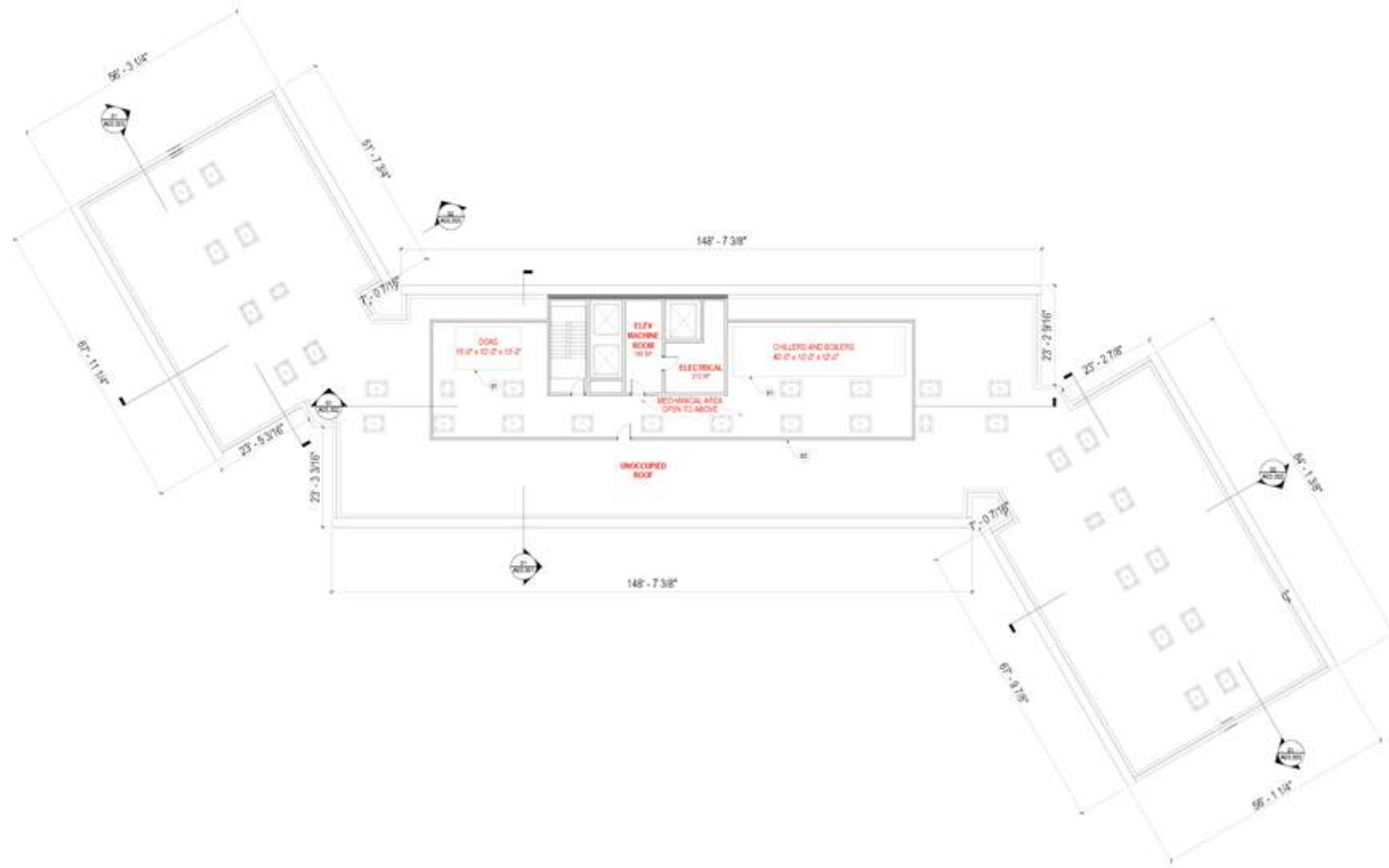
Description
 LEVEL 05 PLAN

Scale
 3/32" = 1'-0"

A01.105

KEY PLAN





01 ROOF PLAN
 SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 ROOF MOUNTED EQUIPMENT SHALL COMPLY WITH THE CODE REQUIREMENTS IN CHAPTER 9.8.8 OF THE ZONING ORDINANCE
- 02 MECHANICAL SCREEN SHALL COVER (EAVE) MECHANICAL UNIT TO BE FULLY ACHIEVED



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Client:
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 75 Madison Avenue
 2nd Floor
 New York, NY 10017

Architect:
 Gensler
 1111 Virginia Avenue
 Reston, VA 20190
 USA

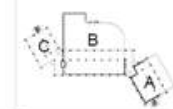
GENERAL NOTES

Code	Description

Architect Signature



KEY PLAN



Project Name
 citizenM Memo Park

Project Number
 002 3829 000

Description
 ROOF PLAN

Scale
 3/32" = 1'-0"

A01.106

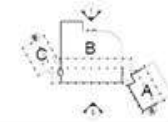


2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

KEY PLAN



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ARCHITECT
 Gensler
 1000 Market Street
 Philadelphia, PA 19106

ARCHITECT
 Gensler
 1000 Market Street
 Philadelphia, PA 19106

004 Description

Scale Signature

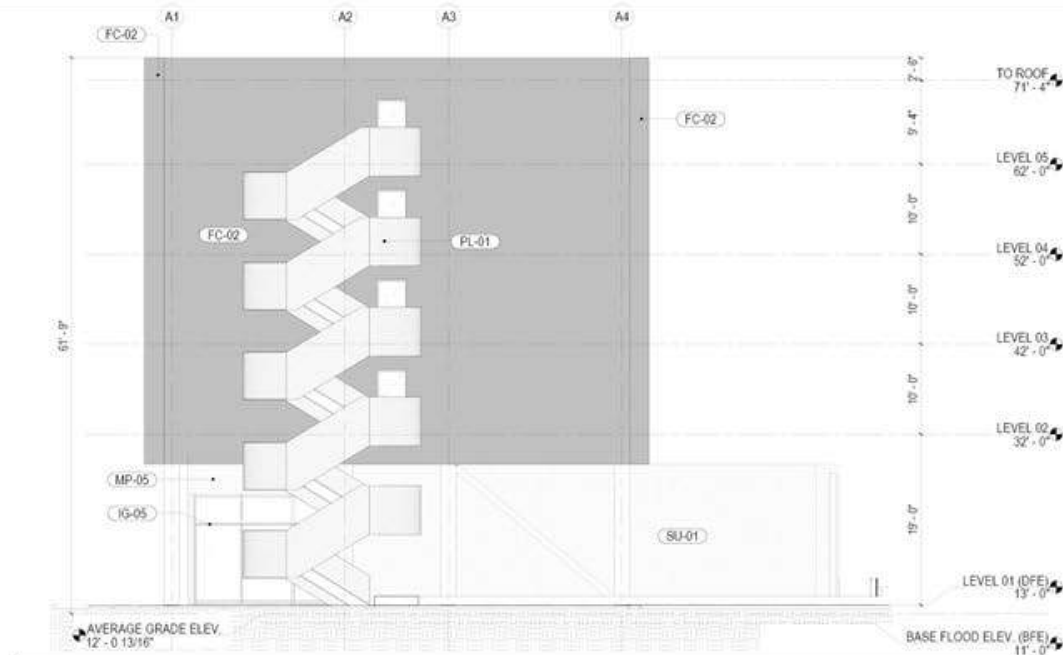
Project name
 citizenM Menlo Park

Project Number
 032 3829 000

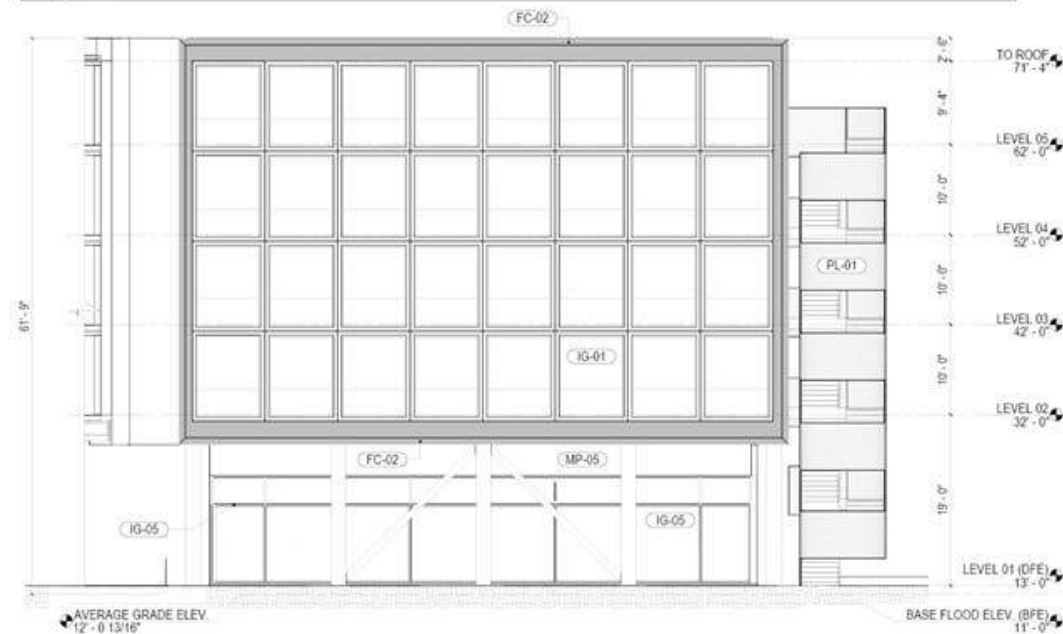
Description
 COLOR ELEVATIONS

Scale
 1/4" = 1'-0"

A02.200C



02 SECTOR A - SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



01 SECTOR A - SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

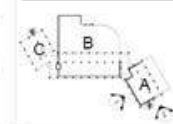
SHEET NOTES

NOTE: NOTES ARE FOR GRAPHICAL PURPOSES ONLY AND NOT INTENDED TO INDICATE PHYSICAL PATTERNING OR DETAILS.

MATERIALS LEGEND

- EC-01 EXPOSED CONCRETE
- FC-02 FINISH: UNPAINTED CONC. REIN. PANEL, RECESSED PANEL, COLORED METAL, LIGHT GRAY COPR QUARTZ
- IG-01 INSULATED UNPAINTED GLAZING UNIT W/ SHIMMER GLAZING PANT BLACK FRAME, LIGHT GRAY FINI. SASH/SPE GLAZING AREA INDICATED FOR SHEET NOTE 1
- IG-02 INSULATED UNPAINTED GLAZING UNIT W/ SHIMMER GLAZING PANT, LIGHT GRAY FINI. SASH/SPE GLAZING AREA INDICATED FOR SHEET NOTE 1
- IG-03 INSULATED UNPAINTED GLAZING UNIT, BLACK FRAME, FINI. SASH/SPE GLAZING AREA INDICATED FOR SHEET NOTE 1
- IG-04 INSULATED UNPAINTED GLAZING UNIT, BLACK FRAME
- IG-05 INSULATED UNPAINTED GLAZING UNIT, CHROME FRAME, FINI. SASH/SPE GLAZING AREA INDICATED FOR SHEET NOTE 1
- LV-01 METAL LOUVER SILVER
- MP-01 CORROSE ALUMINUM PANEL SILVER
- MP-02 CORROSE ALUMINUM PANEL BLACK
- MP-03 WOODEN ALUMINUM SYSTEM BLACK
- MP-04 WOODEN BRUSH FRAME SILVER
- MP-05 CORROSE ALUMINUM PANEL CHROME
- PL-01 1/4" STEEL PLATE AND VALVE
- SU-01 STUCCO CHAMPAGNE
- SU-02 STUCCO MEDIUM GRAY
- SU-03 STUCCO PINK

KEY PLAN



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 Suite 500
 Seattle, WA 98101
 United States

Scale: As Indicated

Project Name: citizenM Menlo Park

Project Number: 032 3829 000

Description: SECTOR A - ELEVATION

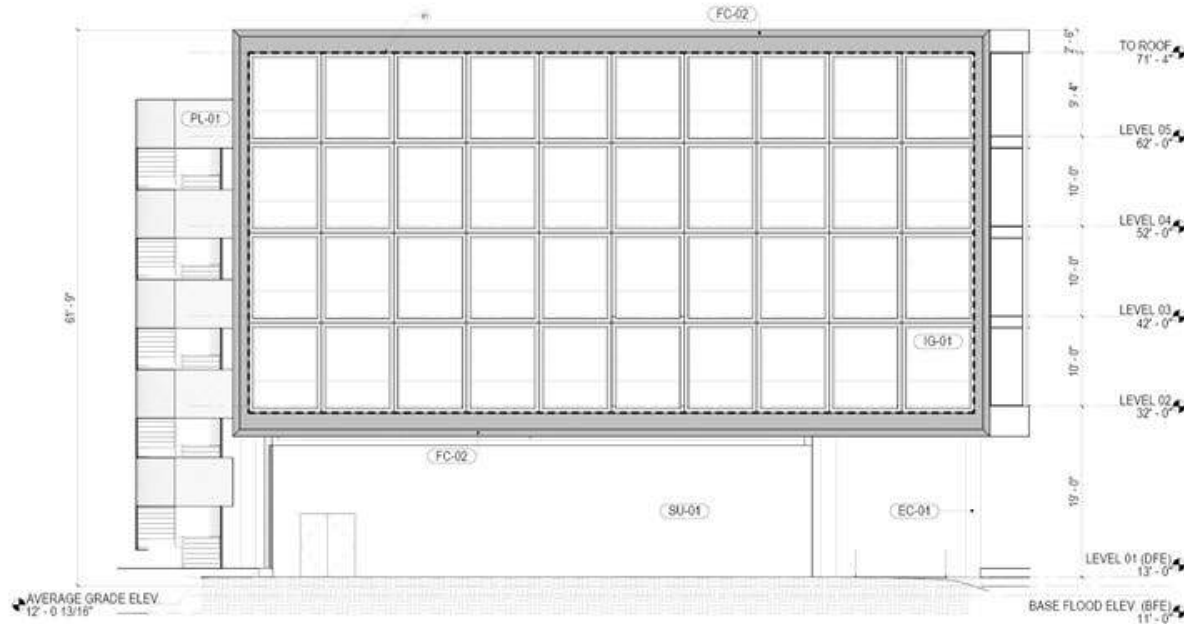
Scale: As Indicated

A02.201

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02 SECTOR A - NORTHWEST ELEVATION
 SCALE: 3/8"=1'-0"



01 SECTOR A - NORTHEAST ELEVATION
 SCALE: 3/8"=1'-0"

SHEET NOTES

1. EXTENT OF BUILDING GLAZING PRESIDENTS PER
 W7 ARCHITECT ASSOCIATES ECOLOGICAL
 CONSULTANTS INCORPORATED JULY 15, 2019



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 (415) 774-1000

CLIENT
 CITIZENHOTELS
 75 CALIFORNIA AVENUE
 2ND FLOOR
 MENLO PARK, CA 94025

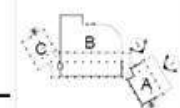
ARCHITECT FIRM
 GENSLER
 100 SAN ANSELMO
 SUITE 200
 SAN FRANCISCO, CA 94111

MATERIALS LEGEND

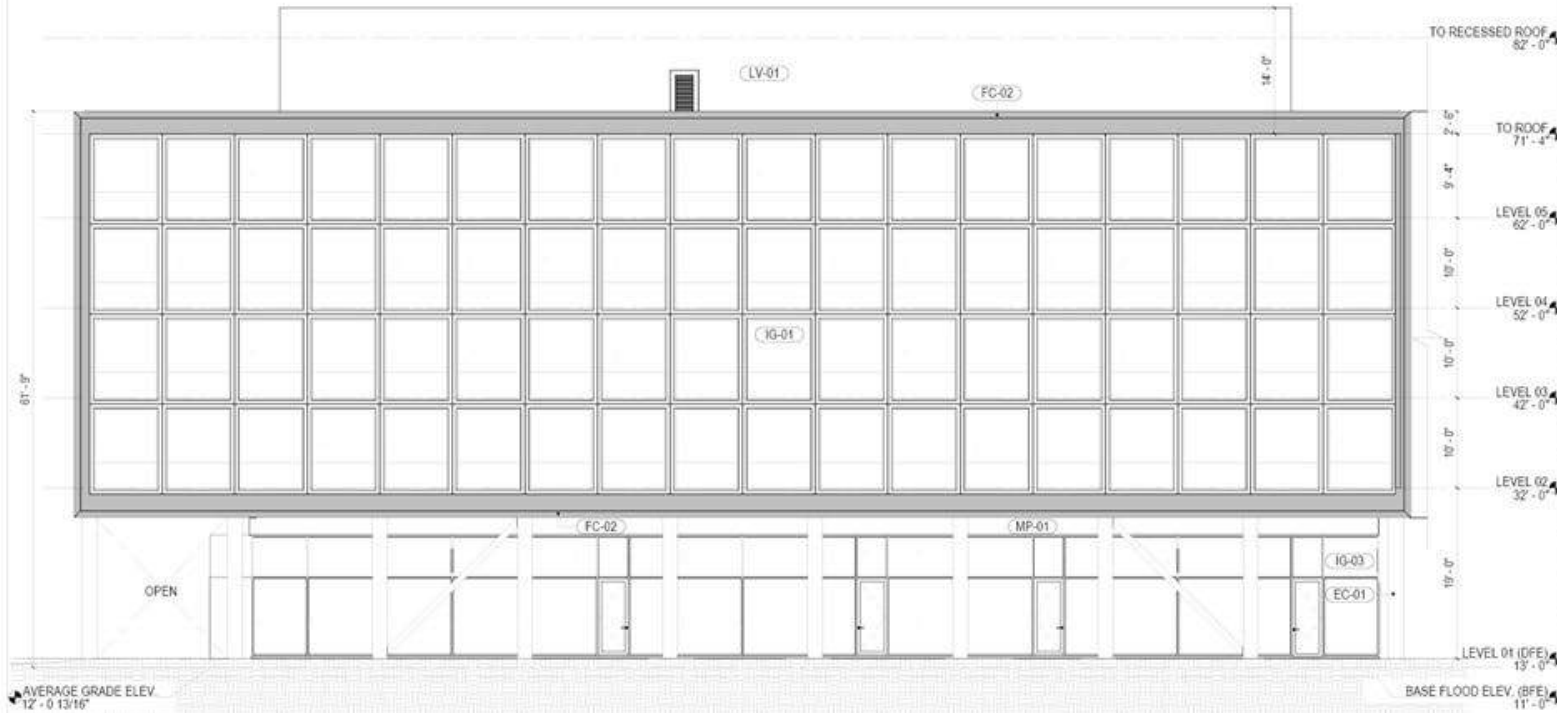
NOTE: HATCHES ARE FOR GRAPHICAL PURPOSES ONLY AND
 NOT INTENDED TO INDICATE PHYSICAL PATTERNS OR
 MATERIALS.

- EC-01 EXPOSED CONCRETE
- FC-02 FIBER REINFORCED CONCRETE
 FIBER REINFORCED CONCRETE
 1" FIBER FIBERGLASS FIBER
 1" FIBER FIBERGLASS FIBER
 1" FIBER FIBERGLASS FIBER
 1" FIBER FIBERGLASS FIBER
- IG-01 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
- IG-02 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
- IG-03 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
- IG-04 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
- IG-05 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
 INSULATED GLAZED CURTAIN WALL
- LV-01 METAL LOUVER BLINDS
- MP-01 COMPOSITE ALUMINUM PANEL, SILVER
- MP-02 COMPOSITE ALUMINUM PANEL, BLACK
- MP-03 ANODIZED ALUMINUM SYSTEM, BLACK
- MP-04 ANODIZED ALUMINUM PANELS, SILVER
- MP-05 COMPOSITE ALUMINUM PANEL, CHROME/BLACK
- PL-01 3/4" STEEL PLATE PER AIA 100
- SU-01 PLUGGED CURTAIN WALL
- SU-02 PLUGGED CURTAIN WALL
- SU-03 PLUGGED CURTAIN WALL

KEY PLAN



Sheet Title	
Project Name	citizenM Menlo Park
Project Number	032 3829 000
Description	SECTOR A - ELEVATION
Scale	As indicated
Sheet Number	A02.202



SHEET NOTES

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 New York, NY 10016

ARCHITECT
 ZAC
 Jansper
 Jeff D. | 111 Fifth Avenue
 New York, NY 10003
 Jansper, Douglas
 P.A. (NY 20065)

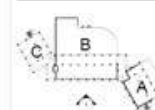
DATE
 10/20/19

SCALE
 1/8" = 1'-0"

MATERIALS LEGEND

- NOTE: NOTES ARE FOR GRAPHICAL PURPOSES ONLY AND NOT INTENDED TO REPLACE SPECIFICATIONS OR MATERIALS.
- EC-01 EXPOSED CONCRETE
 - FC-02 FIBER REINFORCED CONCRETE
 FIBER REINFORCED CONCRETE
 CYLINDRICAL LIGHT GRAY
 SPARTITE
 - IG-01 INSULATED GLASS
 GLAZING UNIT 10 PANELED
 SLURR FIN, BLACK FRAME
 LIFT UNIT PER 812-SM-01
 GLAZING AREA INDICATED
 SEE SHEET 101
 - IG-02 INSULATED GLASS
 GLAZING UNIT 10 PANELED
 BLACK FRAME, LIFT UNIT
 PER 812-SM-01
 GLAZING AREA INDICATED
 SEE SHEET 101
 - IG-03 GLAZING UNIT SILVER
 FRAME, 810-SM-01
 GLAZING
 AREA INDICATED FOR SHEET
 NOTE
 - IG-04 INSULATED GLASS
 GLAZING UNIT BLACK
 FRAME
 - IG-05 INSULATED GLASS
 GLAZING UNIT CHAMPAGNE
 FRAME, 810-SM-01
 GLAZING
 AREA INDICATED FOR SHEET
 NOTE
 - LV-01 METAL LOUVER SLATS
 - MP-01 COMPOSITE ALUMINUM
 PANEL, SILVER
 - MP-02 COMPOSITE ALUMINUM
 PANEL, BLACK
 - MP-03 ANODIZED ALUMINUM
 FINISH, BLACK
 - MP-04 ANODIZED BRASS
 FINISH, SILVER
 - MP-05 COMPOSITE ALUMINUM
 PANEL, CHAMPAGNE
 - PL-01 1/4" PLY, PLATE AND
 PA, 8101
 - SU-01 FLOOR, CONCRETE
 - SU-02 FLOOR, MEDIUM DENSITY
 FIBER BOARD
 - SU-03 FLOOR, FIBER

KEY PLAN



01 SECTOR B - SOUTH ELEVATION

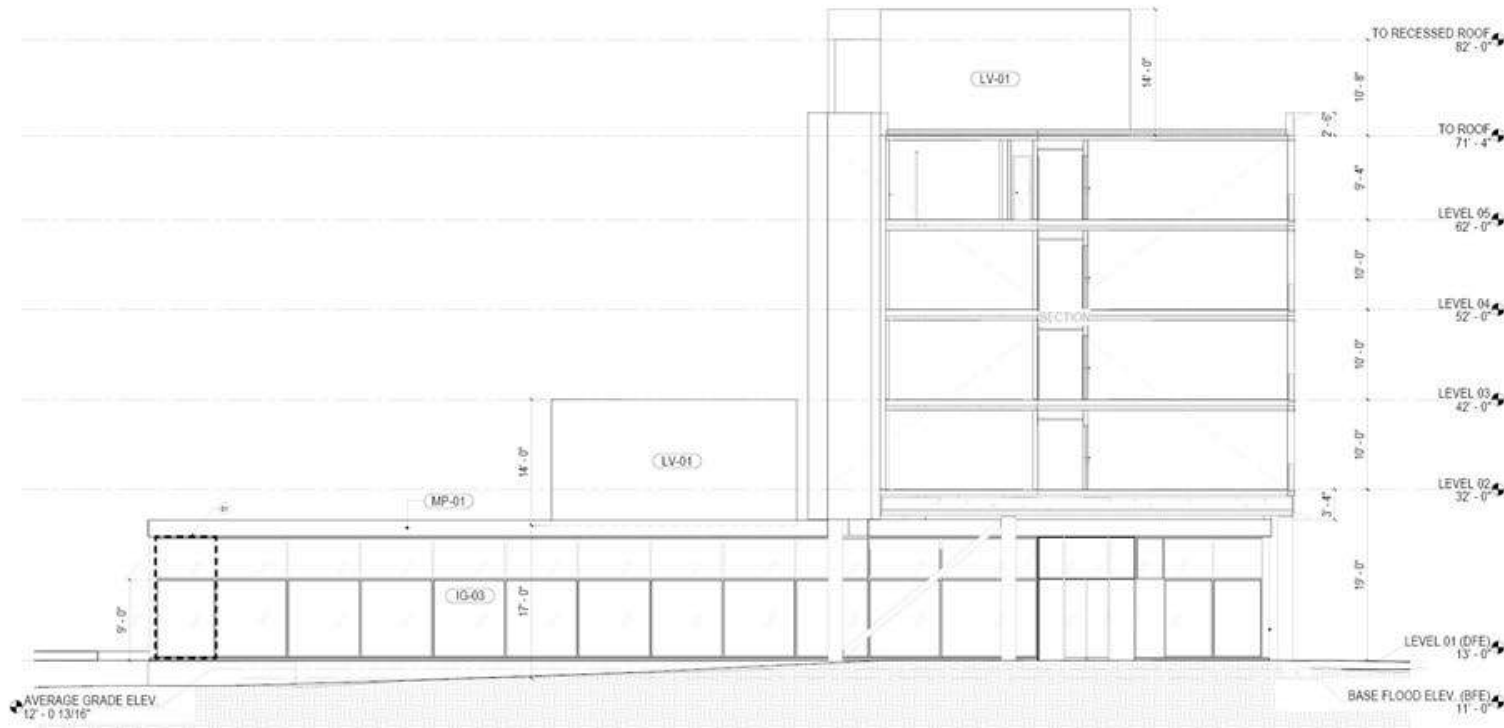
A02.203

Project name
 citizenM Menlo Park

Project number
 032 3829 000

Description
 SECTOR B - ELEVATION

Scale
 As indicated



01 SECTOR B - WEST ELEVATION

SHEET NOTES

BY: EVENT OF BUILDING GLAZING TREATMENT FOR
 AT: HOFFER & ASSOCIATES ECOLOGICAL
 CONSULTANTS REPORT DATED JULY 15, 2019



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CLIENT:
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 San Francisco, CA 94102

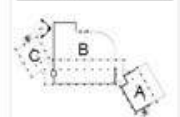
ARCHITECT FIRM:
 Gensler
 1000 Market Street, 11th Floor
 San Francisco, CA 94102

MATERIALS LEGEND

NOTE: NOTES ARE FOR GRAPHICAL PURPOSES ONLY AND DO NOT REPLACE THE NECESSARY SPECIFICATIONS.

- EC-01 EXPOSED CONCRETE
- FC-02 FIBER REINFORCED CONCRETE PANEL, RECESSED FRAME CYCLE PERIOD LIGHT - OPERATIONAL UNLIMITED SLATING WITH BRASSING SLATE WITH BLACK FRAME LIGHT OPERATIONAL SLATING AREA INDICATED SEE SHEET 0101
- IG-01 INSULATED UNFACED SLATING WITH BLACK FRAME LIGHT OPERATIONAL SLATING AREA INDICATED SEE SHEET 0101
- IG-02 INSULATED UNFACED SLATING WITH BLACK FRAME LIGHT OPERATIONAL SLATING AREA INDICATED FOR SHEET 0101
- IG-03 INSULATED UNFACED SLATING WITH BLACK FRAME LIGHT OPERATIONAL SLATING AREA INDICATED FOR SHEET 0101
- IG-04 INSULATED UNFACED SLATING WITH BLACK FRAME LIGHT OPERATIONAL SLATING AREA INDICATED FOR SHEET 0101
- IG-05 INSULATED UNFACED SLATING WITH CHAMPAGNE FRAME AND WHITE SLATING AREA INDICATED FOR SHEET 0101
- LV-01 METAL LOUVER SLIVERS
- MP-01 COMPOSITE ALUMINUM PANEL, BLACK
- MP-02 COMPOSITE ALUMINUM PANEL, BLACK
- MP-03 INSULATED ALUMINUM SYSTEM, BLACK
- MP-04 INSULATED WINDOW FRAME, SLIVER
- MP-05 COMPOSITE ALUMINUM PANEL, CHAMPAGNE
- PL-01 1/2" STEEL PLATE, 1/2" DIA. BOLTS
- SU-01 PLUCCO (CHAMPAGNE)
- SU-02 PLUCCO (BLACK)
- SU-03 PLUCCO (RED)

KEY PLAN



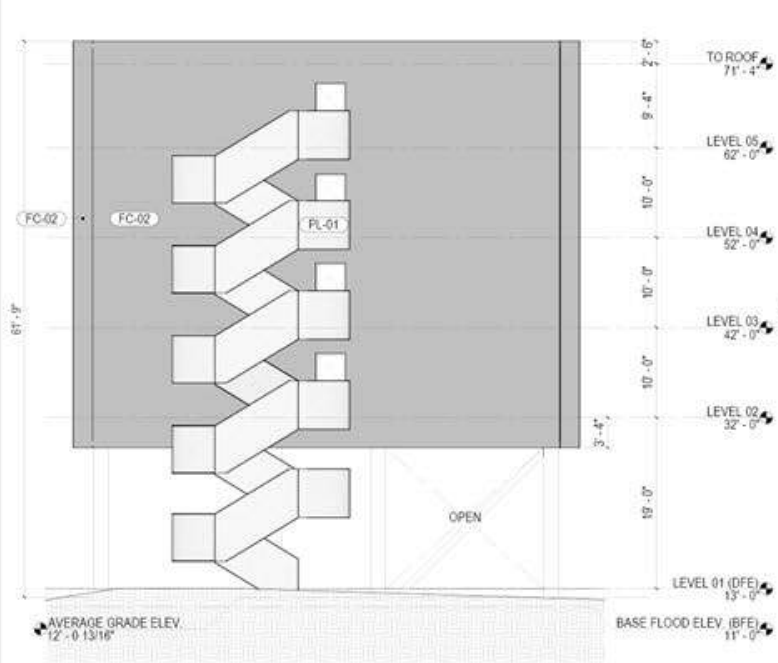
Scale:
 As indicated

Project Name:
 citizenM Menlo Park

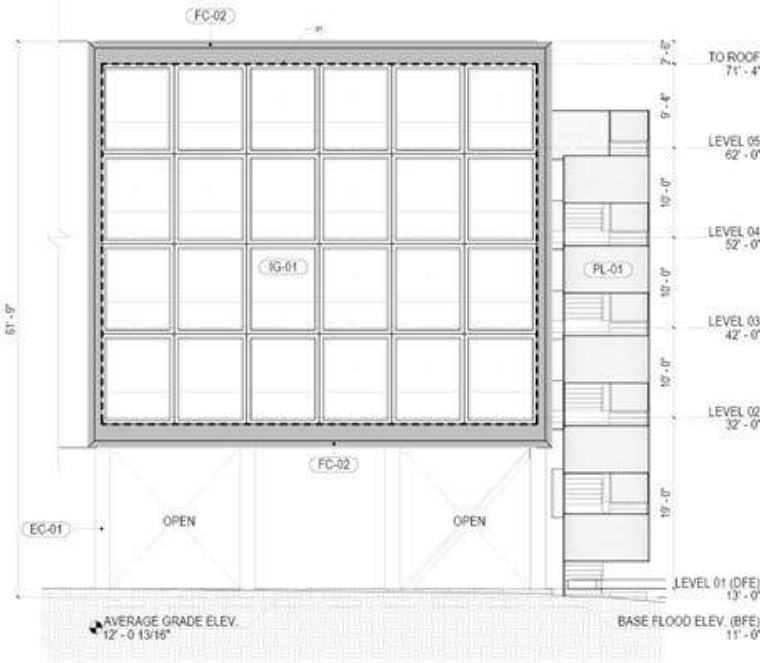
Project Number:
 032 3829 000

Description:
 SECTOR B - ELEVATION

Sheet Number:
A02.205



02 SECTOR C - NORTHWEST ELEVATION



01 SECTOR C - NORTHEAST ELEVATION

SHEET NOTES

BY: EVENT OF BUILDING TREATMENT'S 10/17/17
 BY: HARVEY & ASSOCIATES ECOLOGICAL CONSULTANTS REPORT DATED JULY 15, 2019

CITIZENM HOTELS
 1600 Park
 CA
 94015

Gensler
 1000 8th Avenue
 Suite 200
 South San Francisco
 94080

CLIENT
 CITIZENM
 7000000 Avenue
 200 Floor
 New York, NY 10018

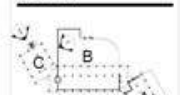
ARCHITECT FIRM
 Gensler
 1000 8th Avenue
 Suite 200
 South San Francisco, CA 94080

MATERIALS LEGEND

NOTE: NOTES ARE FOR GENERAL PURPOSES ONLY AND NOT INTENDED TO INDICATE PHYSICAL PATTERNS OR DETAILS.

Code	Description
EC-01	EXPOSED CONCRETE
FC-02	FRAMER REINFORCED CONCRETE PANEL, RECESSED FINISH, CURABLE FINISH, LIGHT GREY, OFF WHITE
IG-01	INSULATED UNLIMITED GLAZING UNIT IN BRANDED GLASS PINT BLACK FRAME, LIGHT GREY PINT, BRIDGEMAN GLAZING AREA INDICATES PER SHEET NOTE 1
IG-02	GLAZING UNIT IN GLASS PINT BLACK FRAME, LIGHT GREY PINT, BRIDGEMAN GLAZING AREA INDICATES PER SHEET NOTE 1
IG-03	INSULATED UNLIMITED GLAZING UNIT IN GLASS PINT BLACK FRAME, BRIDGEMAN GLAZING AREA INDICATES PER SHEET NOTE 1
IG-04	INSULATED UNLIMITED GLAZING UNIT IN BLACK FRAME
IG-05	INSULATED UNLIMITED GLAZING UNIT IN CHAMPAGNE FRAME, BRIDGEMAN GLAZING AREA INDICATES PER SHEET NOTE 1
LV-01	METAL LAMINAR (SILVER)
MP-01	COMPOSITE ALUMINUM PANEL (SILVER)
MP-02	COMPOSITE ALUMINUM PANEL (BLACK)
MP-03	WOODS ALUMINUM FINISH (BLACK)
MP-04	WOODS (WOOD FINISH) (SILVER)
MP-05	COMPOSITE ALUMINUM PANEL (CHAMPAGNE)
PL-01	1/2" REEL FLAKE (PER FINISH)
SU-01	FLUCCO (CHAMPAGNE)
SU-02	FLUCCO (MEDIUM GREY)
SU-03	FLUCCO (PINK)

KEY PLAN



Sheet Number: **A02.208**

Project Name: **citizenM Menlo Park**

Project Number: **032 3829 000**

Description: **SECTOR C - ELEVATION**

Scale: **As indicated**



CITIZENM HOTELS
 Menlo Park
 CA
 94025

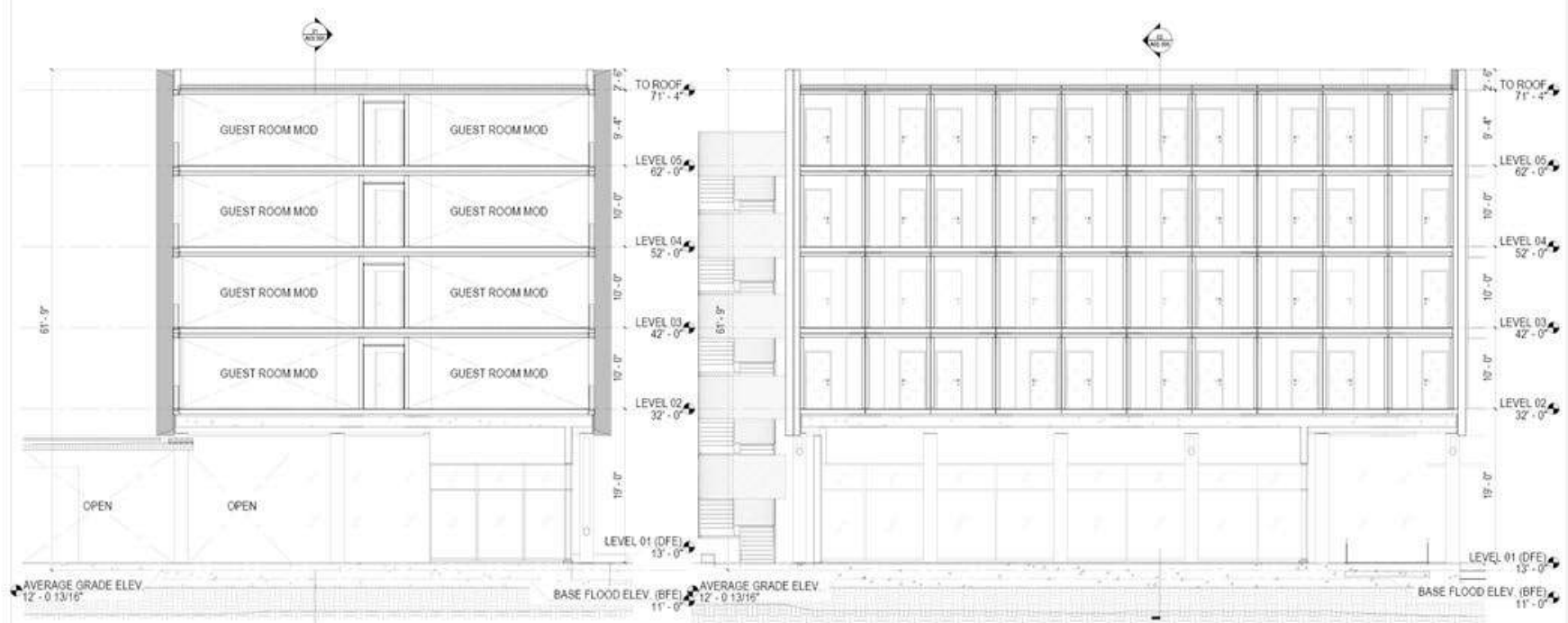
Gensler

100 San Anselmo
 Suite 200
 Menlo Park, CA 94025
 United States
 Tel: 650.452.7100
 Fax: 650.452.7101

CLIENT
 CitizenM Hotel
 700 California Avenue
 2nd Floor
 Menlo Park, CA 94025

ARCHITECT
 Gensler
 1000 California Street
 San Francisco, CA 94108

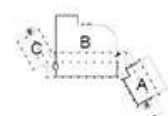
ARCHITECT
 Gensler
 1000 California Street
 San Francisco, CA 94108



02 SECTOR A - LATITUDINAL SECTION
 SCALE: 3/8" = 1'-0"

01 SECTOR A - LONGITUDINAL SECTION
 SCALE: 3/8" = 1'-0"

KEY PLAN



ID#	Description

Date	Signature

Project name
 citizenM Menlo Park

Project Number
 032 3829 000

Description
 SECTOR A - SECTIONS

Scale
 3/8" = 1'-0"

A03.300



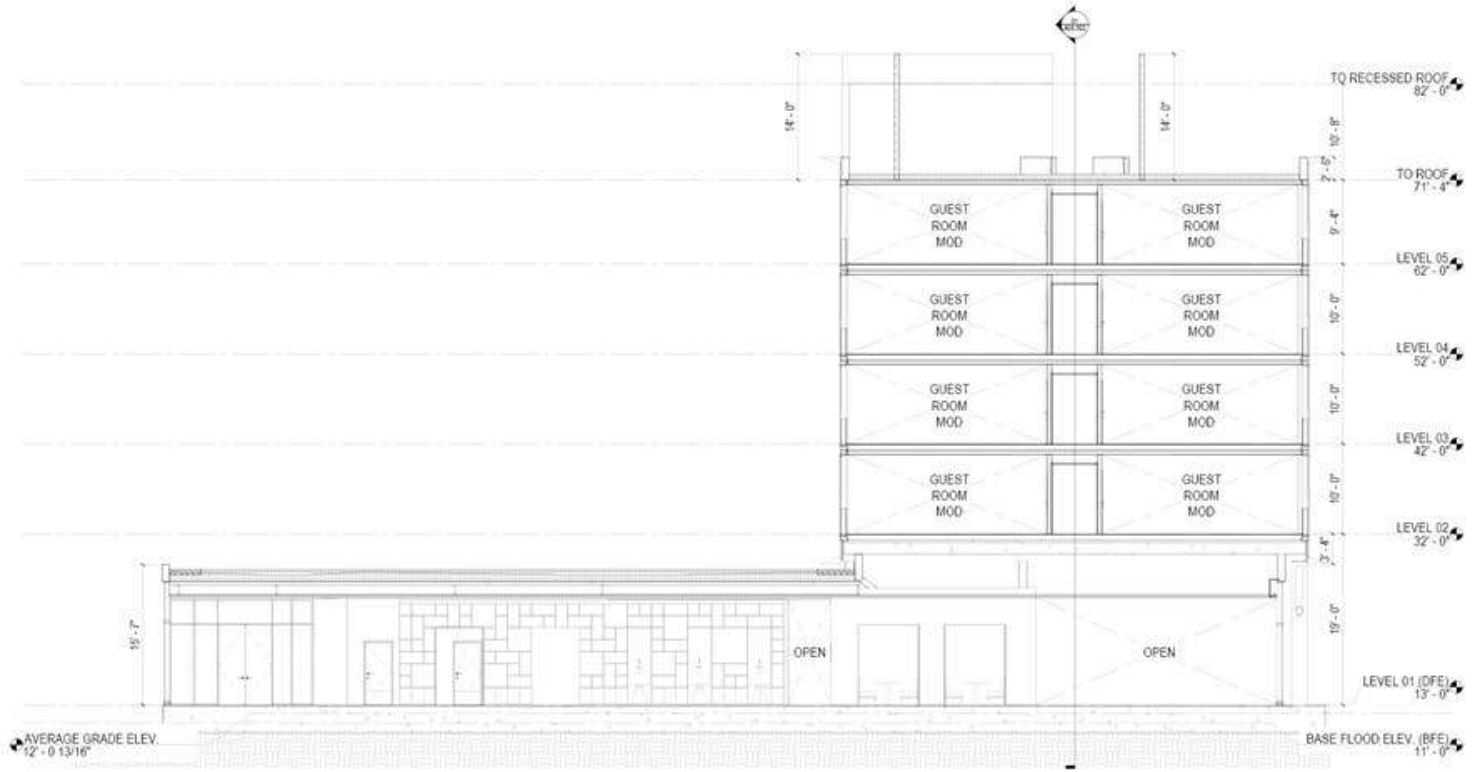
CITIZENM HOTELS
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 Fax: 415.455.7101

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 Name: ryan@citizenm.com
 Email: ryan@citizenm.com

MODULAR FABRICATOR
 ZAC
 10000
 Level 20, 111 Highgate Avenue
 Menlo Park, CA 94025
 Name: Zac
 Email: zac@zacfabricator.com



01 SECTOR B - LATITUDINAL SECTION
 SCALE: 3/8" = 1'-0"



Project name	citizenM Menlo Park
Project number	032 3829 000
Description	SECTOR B - SECTION
Scale	3/8" = 1'-0"
A03.301	



CITIZENM HOTELS
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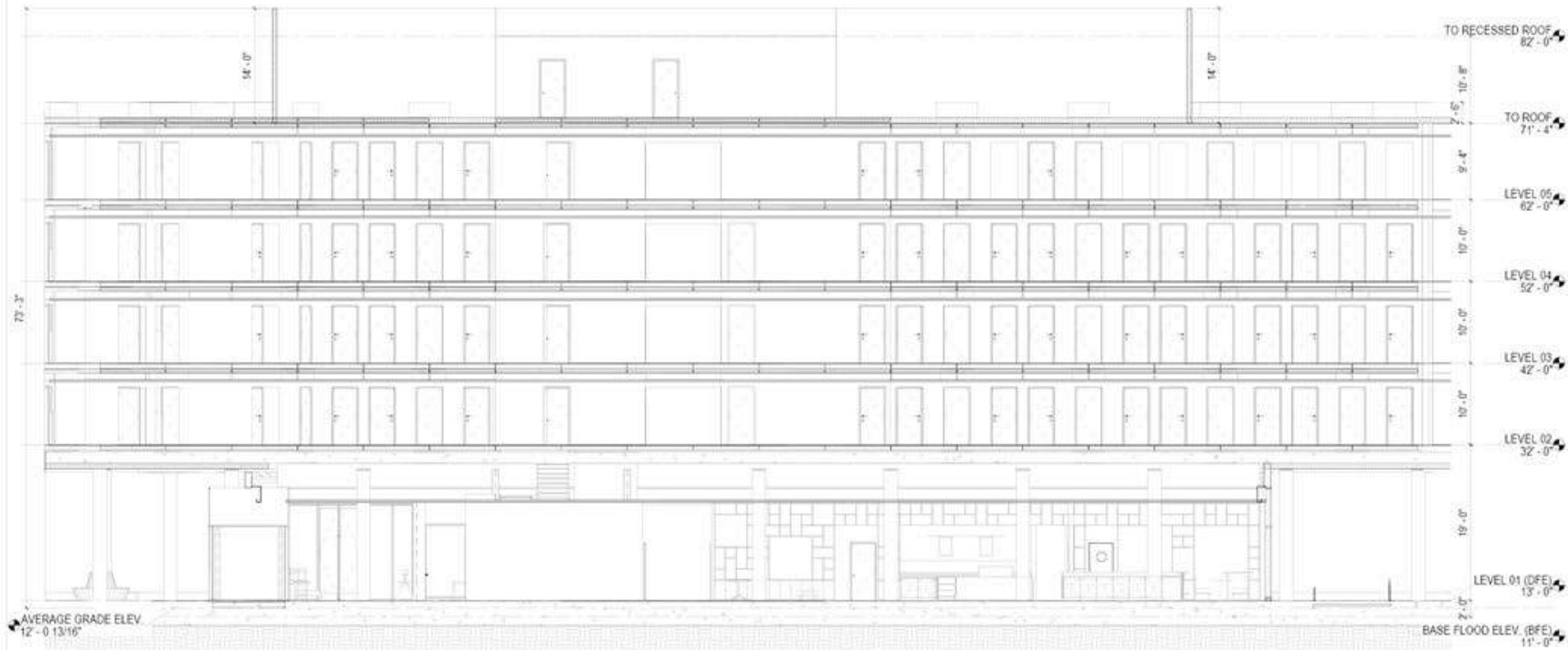
Tel: 415.451.7100
 Fax: 415.451.7101

CLIENT
 CitizenM Hotels
 750 California Avenue
 2nd Floor
 Menlo Park, CA 94025

CLIENT REPRESENTATIVE
 Name: Robert
 robert@citizenm.com

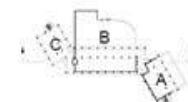
ARCHITECT FIRM
 Gensler
 100 San Anselmo
 Suite 200
 San Francisco, CA 94115

ARCHITECT REPRESENTATIVE
 Name: Tom
 tom.gensler@gensler.com



01 SECTOR B - LONGITUDINAL SECTION
SCALE: 3/8" = 1'-0"

KEY PLAN



Project Name
 citizenM Menlo Park

Project Number
 032 3829 000

Description
 SECTOR B - SECTION

Scale
 3/8" = 1'-0"

A03.302



CITIZENM HOTELS
 Menlo Park
 CA
 94025

Gensler

100 San Anselmo
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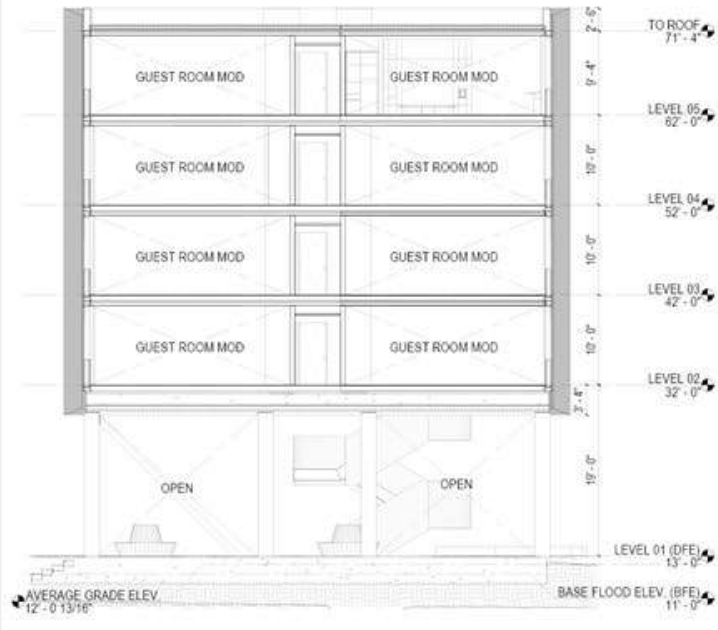
Tel: 415.451.7100
 Fax: 415.451.7101

CLIENT
 CitizenM Hotels
 75 California Avenue
 2nd Floor
 Menlo Park, CA 94025

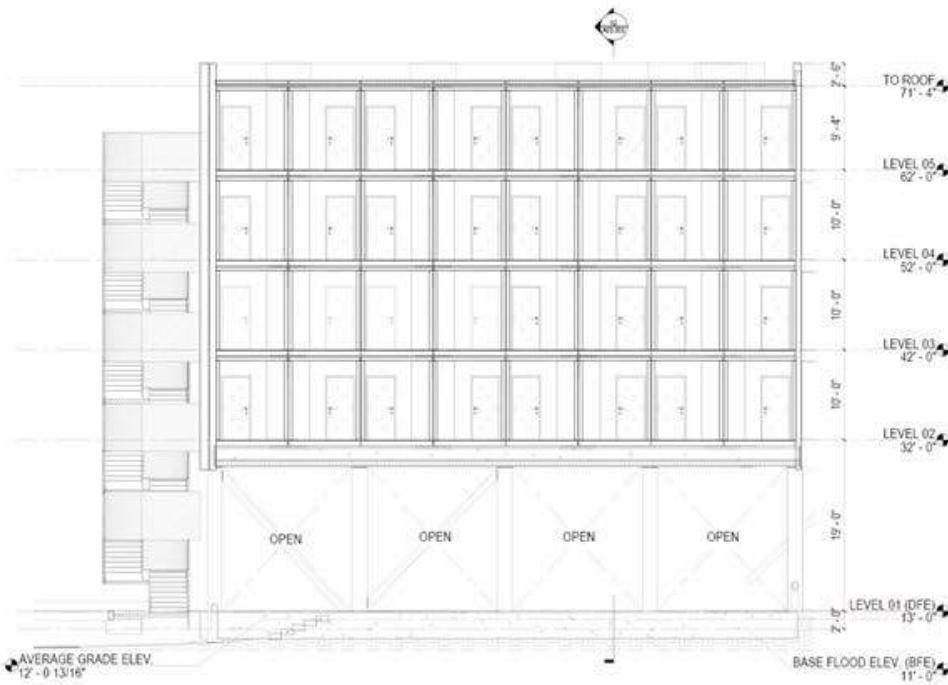
Project Manager
 graham@gensler.com

SCHEMATIC FABRICATOR
 ZAC
 Jangheon
 Level 23, 111 Yeongdeung-daero
 Yeongdeung-gu, Seoul
 Jangheon, South Korea
 P.O. Box 200001

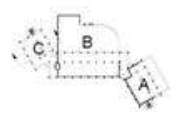
Project Architect
 ginsler@gensler.com



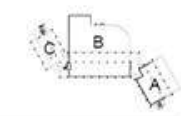
02 SECTOR C - LATITUDINAL SECTION
 SCALE: 3/8" = 1'-0"



01 SECTOR C - LONGITUDINAL SECTION
 SCALE: 3/8" = 1'-0"



KEY PLAN



ID#	Description

Revisi	Signature

Project name
 citizenM Menlo Park

Project Number
 032 3829 000

Description
 SECTOR C - SECTION

Scale
 3/8" = 1'-0"

A03.303



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 Fax: 206.464.7171
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 Gensler Seattle
 genslerseattle@gensler.com
 LOCAL FABRICATOR
 ZINC
 3000 West
 Leim St., 1st Floor
 Mountain View, CA 94039
 Mountain View
 zincinc.com

Scale Description

Scale Signature

Project name
 citizenM Menlo Park
 Project Number
 032 3829 000
 Description
 EXAMPLE GUEST ROOM VIEWS

Scale

A04.001



CHARLES DE GAULLE



MEMO



CHARLES DE GAULLE



NOTTINGHAM



LONDON INDEPENDENT



LONDON SHOPS/STC



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 Fax: 212.491.2121
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 21st Floor
 New York, NY 10017
 MODULAR FABRICATOR
 ZINC
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 Suite 200
 New York, NY 10017
 Modulo for
 CitizenM Hotels

Scale Description

Scale Signature

Project name
 CitizenM Menlo Park
 Project Number
 002 3829 000
 Description
 EXAMPLE CITIZENM PROJECTS

Scale

A04.002

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1201 Sixth Avenue
 Suite 500
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 (206) 451-2000

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 Los Angeles, CA 90024

WILLIAM PARKINSON
 10000 Wilshire Blvd
 29th Floor
 Los Angeles, CA 90024

ERIC
 10000 Wilshire Blvd
 29th Floor
 Los Angeles, CA 90024

JOHN
 10000 Wilshire Blvd
 29th Floor
 Los Angeles, CA 90024



FIBER CEMENT PANEL
 (OFF-WHITE) FC-02
 ANODIZED ALUMINUM
 FACADE SYSTEM
 (BLACK)

VISION GLAZING
 1G-01

FRITTED GLASS

ALUMINUM STOREFRONT
 (SILVER)
 1G-04

STUCCO
 SU-02

FIBER CEMENT
 PANEL FC-02

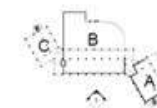
FIBER CEMENT
 PANEL FC-02

STEEL STAIRCASE
 FL-01

ALUMINUM
 STOREFRONT
 (CHAMPAGNE)
 1G-05

PERSPECTIVE VIEW - SOUTH

KEY PLAN



Title	Description

Rev / Equivalent

Project name

citizenM Menlo Park

Project Number

032 3829 000

Description

3D VIEW

Scale

A05.001



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 75 California Avenue
 21st Floor
 San Francisco, CA 94111

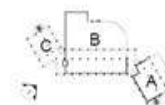
ARCHITECT
 ZAC
 Jennifer
 Lead: Dr. Yi Yi
 Managing Director
 Jennifer, Jennifer
 P.A. (2016)

Project Manager
 Jennifer
 Jennifer



PERSPECTIVE VIEW - FROM SOUTHWEST

KEY PLAN



Scale: 1/8" = 1'-0"

Project name:
 citizenM Menlo Park

Project Number:
 032 3829 000

Description:
 3D VIEW

Scale:

A05.002



CITIZENM HOTELS
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 2nd Floor
 Menlo Park, CA 94025
 Gensler
 gci@gensler.com
 Gensler
 gensler@gensler.com



ALUMINUM LOUVERS
LV-01

ANODIZED ALUMINUM
FACADE SYSTEM (BLACK)

VISION GLAZING IG-01
FRITTED GLASS

ALUMINUM FRAMES w/
FRITTED GLASS
IG-02

ALUMINUM STOREFRONT
(SILVER) IG-04

FIBER CEMENT
PANEL (WHITE)
FC-02

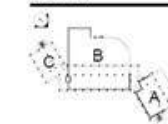
STEEL STAIRCASE
FL-01

UPLIGHT (ART)

FIBER CEMENT
CLAD STEEL
COLUMNS, TYP.

PERSPECTIVE VIEW - WEST

KEY PLAN



ID#	Description

Scale: 1/8"=1'-0"

Project name
 citizenM Menlo Park

Project Number
 032 3829 000

Description
 3D VIEW

Scale

A05.003



AERIAL PERSPECTIVE VIEW FROM SOUTHEAST



CITIZENM HOTELS
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 CA
 94025

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1000 Sixth Avenue
 Suite 500
 Seattle, WA 98101
 United States
 Tel: 206.464.7100
 Fax: 206.464.2121
 CLIENT
 Project Name: 75 Jackson Avenue
 21st Floor
 Menlo Park, CA 94025
 ARCHITECT
 ZAC
 Gensler
 Level: 21, 111 Virginia Avenue
 Menlo Park, CA 94025
 Project Manager: zack.gensler@gensler.com

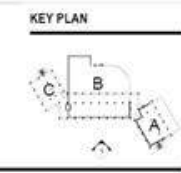
Scale Description

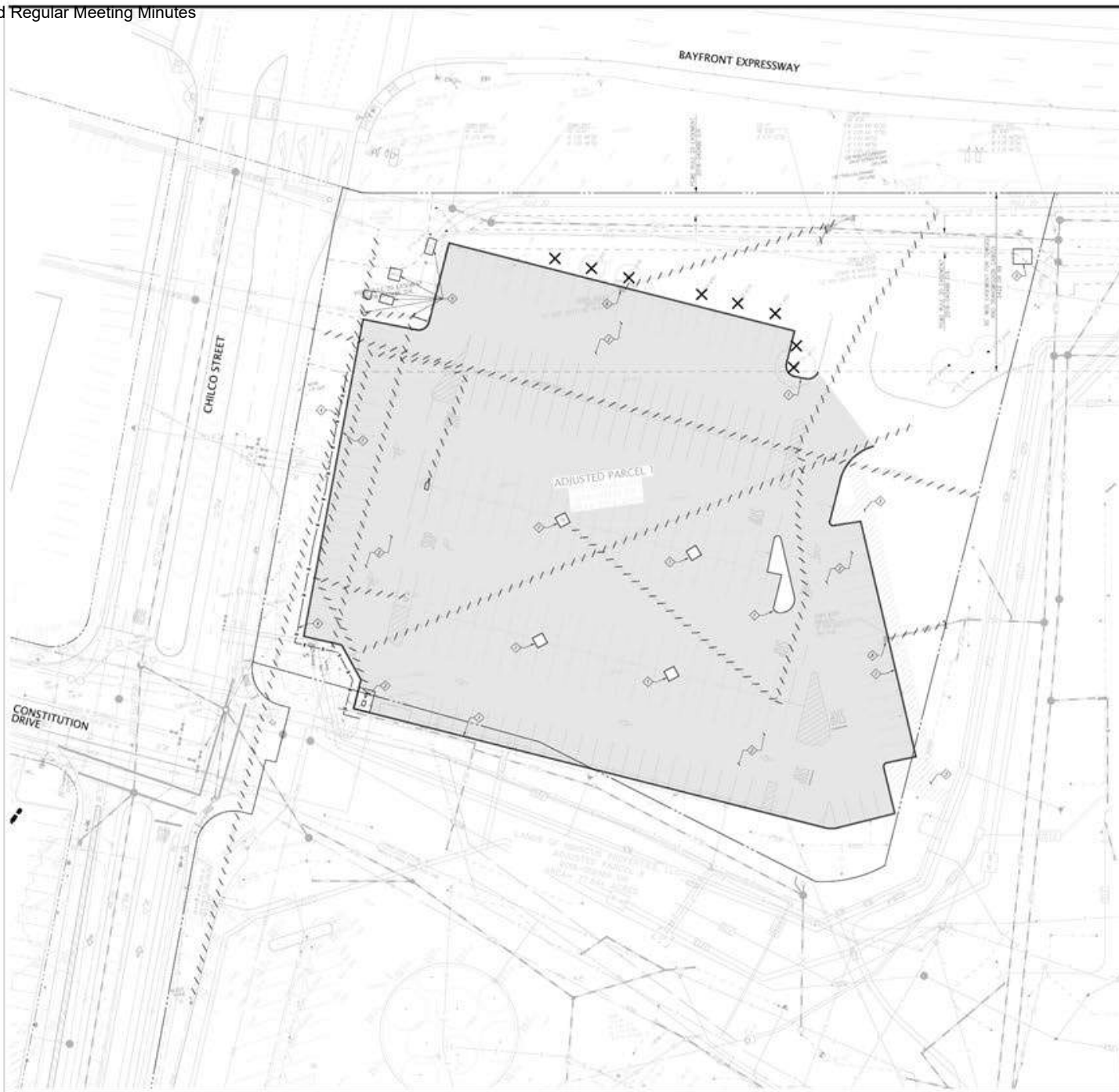
Scale: 1/8" = 1'-0"

Project Name: citizenM Menlo Park
 Project Number: 032 3829 000
 Description: 3D VIEW

Scale:

A05.004





- LEGEND**
- [Symbol: Dashed line] EXISTING OR PROPOSED TO BE REMOVED
 - [Symbol: Solid line] EXISTING OR PROPOSED TO BE REMOVED
 - [Symbol: Dotted line] EXISTING OR PROPOSED TO BE REMOVED
 - [Symbol: X] EXISTING OR PROPOSED TO BE REMOVED
 - [Symbol: Diamond with X] EXISTING OR PROPOSED TO BE REMOVED
 - [Symbol: Diamond with circle] EXISTING OR PROPOSED TO BE REMOVED
 - [Symbol: Diamond with square] EXISTING OR PROPOSED TO BE REMOVED
 - [Symbol: Diamond with triangle] EXISTING OR PROPOSED TO BE REMOVED
 - [Symbol: Diamond with circle and X] EXISTING OR PROPOSED TO BE REMOVED
 - [Symbol: Diamond with square and X] EXISTING OR PROPOSED TO BE REMOVED
 - [Symbol: Diamond with triangle and X] EXISTING OR PROPOSED TO BE REMOVED

- DEMOLITION NOTES**
1. ALL EXISTING UTILITIES OF THE PROJECT, EXCEPT REMOVED UTILITIES, SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
 2. ALL UTILITIES TO BE REMOVED SHALL BE DISCONNECTED AND REMOVED PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY AND AS APPROVED BY THE CITY OF MENLO PARK (CONTRACTOR'S OBLIGATION).
 3. IF A CONTRACTOR'S RESPONSIBILITY TO VERIFY THE GEOTECHNICAL ENGINEER'S REPORT IS REQUIRED, ANY GRADING AND PILING OF THE SITE RELATED TO ANY DEMOLITION OF EXISTING OR PROPOSED TO BE REMOVED STRUCTURES SHALL BE APPROVED BY THE CITY OF MENLO PARK. ALL EXISTING STRUCTURES AND BASE PILES SHALL BE EXPOSED, DETAILED AND LOGGED FOR USE OR DISPOSED OF AS PER THE GEOTECHNICAL ENGINEER'S REPORT AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
 4. IN GENERAL, ALL EXISTING UTILITIES SHALL NOT BE REMOVED UNLESS THEY ARE IN THE SHARPEST SECTION WITH A MINIMUM OF 18" CLEARANCE FROM THE EXISTING STRUCTURE.
 5. IF A CONTRACTOR'S RESPONSIBILITY TO VERIFY THE GEOTECHNICAL ENGINEER'S REPORT IS REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
 6. NO BURNING SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE AIR POLLUTION CONTROL OFFICE. ALL BURNING SHALL BE CONDUCTED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND SAFETY PROCEDURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
 7. COMPLY WITH ALL APPLICABLE REGULATIONS AND SAFETY PROCEDURES AS LISTED AT THE CONTRACTOR'S PROJECT OVER EXCAVATION, REMOVAL, ETC. WITH EXISTING UTILITIES AND STRUCTURES TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
 8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
 9. THE GEOTECHNICAL ENGINEER'S REPORT FOR THIS SITE HAS BEEN PREPARED BY CONTRACTOR'S GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
 10. CONTRACTOR ACKNOWLEDGES THAT HE HAS REVIEWED THE GEOTECHNICAL ENGINEER'S REPORT AND UNDERSTANDS THE REQUIREMENTS OF THE REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
 11. THE CONTRACTOR SHALL NOT HAVE CONTROL OF CHARGE OF ANY SHALL NOT BE RESPONSIBLE FOR THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES.
 12. CONTRACTOR TO PROVIDE ALL CONSTRUCTION BARRELS REQUIRED BY GEOTECHNICAL ENGINEER AND AS NOTED IN SPECIFICATIONS.
 13. ALL EXISTING UTILITIES SHALL BE DISCONNECTED AND REMOVED PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY AND AS APPROVED BY THE CITY OF MENLO PARK (CONTRACTOR'S OBLIGATION).

citizen
M
 CITIZENM HOTELS
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 Fax: 415.774.1001

KIER+WRIGHT
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 San Francisco, CA 94115
 Tel: 415.774.1000
 Fax: 415.774.1001

Rev	Description
01-19	REVISED PER COMMENTS
02-19	REVISED PER COMMENTS

Scale: 1" = 20'

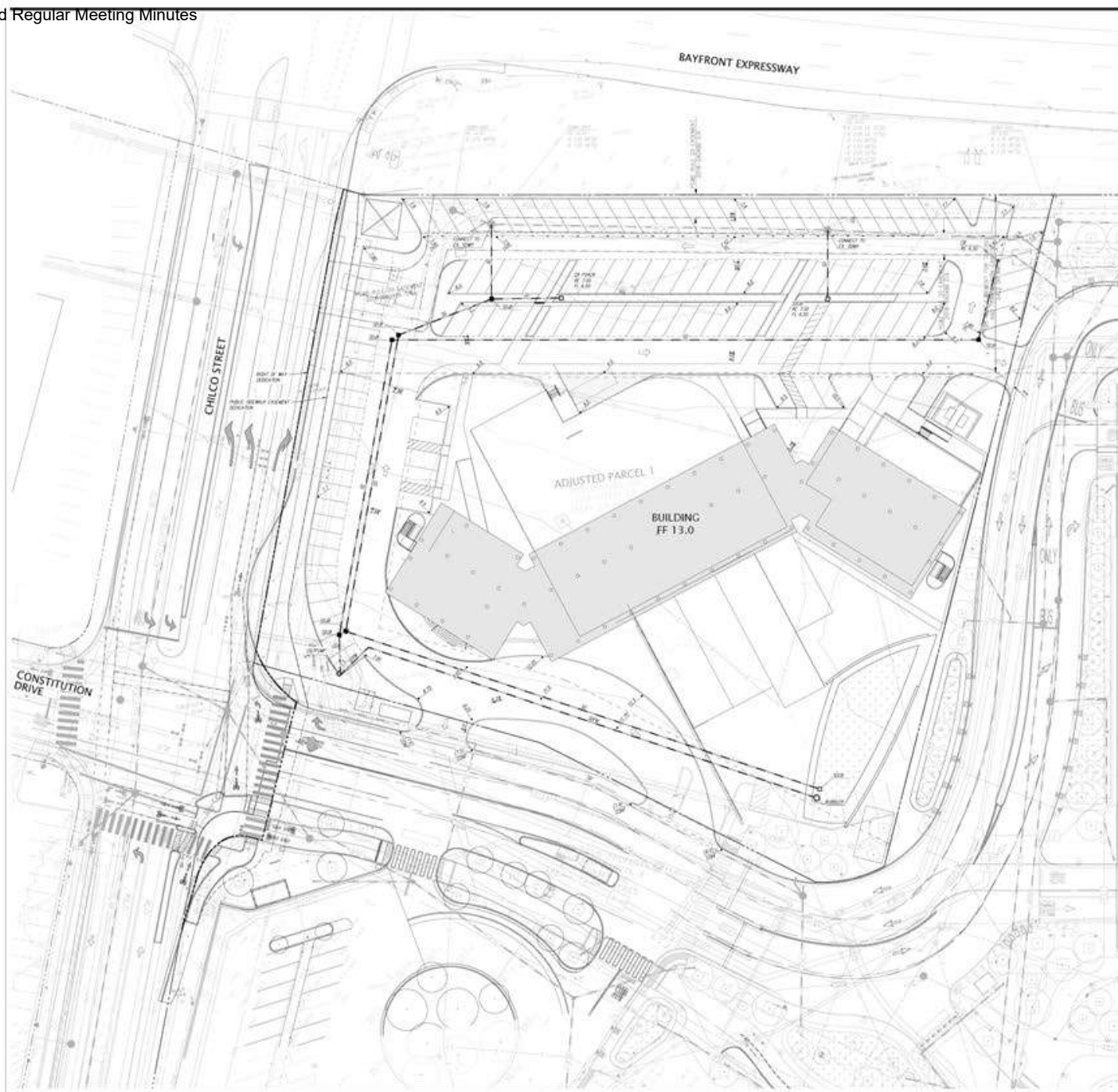
Project Name: citizenM Menlo Park

Project Number: A15571-B2

Description: DEMOLITION PLAN

Drawn: AS SHOWN

C2



LEGEND

D	STORM DRAIN (4\"/>
---	--------------------

NOTES

1. THE PROJECT SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CITY REGULATIONS AND THE CITY'S FLOOD PREVENTION ORDINANCE.

citizen
M
 CITIZENHOTELS
 1200 East Avenue
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MODULAR FABRICATOR
 KIER+WRIGHT
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 Phone (951) 445-8788
 www.kierwright.com

Date	Description
04-17-19	FINAL CITY SUBMITTAL
03-11-19	CITY RECOMMENDATION
10-09-19	CITY RECOMMENDATION

Scale: 1" = 20'

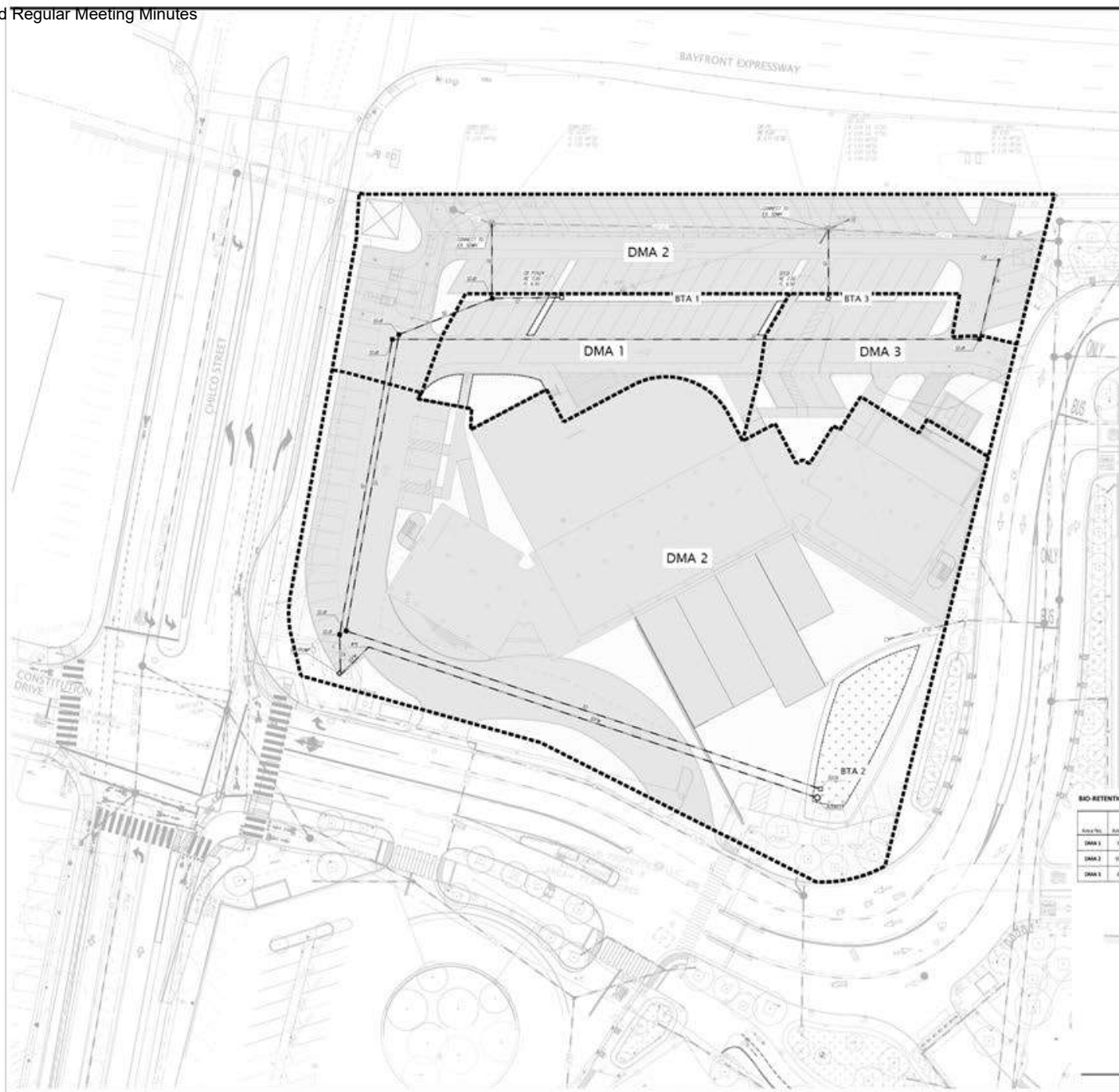
Project Name: citizenM Menlo Park

Project Number: A15571-82

Description: CONCEPTUAL GRADING & DRAINAGE PLAN

Scale: AS SHOWN

Sheet Number: C3

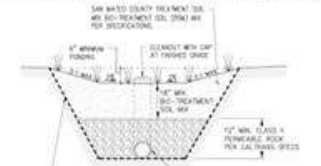


LEGEND

	PROPERTY AREA LIMIT
	WETLAND PERMIT
	BIO-RETENTION TREATMENT AREA

BIO-RETENTION SIZING CALCULATIONS

Area No.	Area (SF)	Area (AC)	Landuse (SF)	Impervious (SF)	Impervious Percent (%)	Rating	Type of Planter
DMA 1	8,910	0.25	5,004	6,360	49%	1.9%	Bio-Retention Planter
DMA 2	95,124	2.89	11,884	71,780	1,80%	1.7%	Bio-Retention Planter
DMA 3	8,894	0.25	3,212	5,582	25%	3.0%	Bio-Retention Planter



citizen
M
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 Dallas, TX 75201

ARCHITECT
 KIER+WRIGHT
 2800 Collier Canyon Road
 Leander, Texas 78641
 (512) 245-8788

Legend

10-17-19	FINAL CITY SUBMITTAL
03-11-19	LOU'S PRELIMINARY
10-09-19	LOU'S PRELIMINARY

Project Name:
 citizenM Menlo Park

Project Number:
 A15571-B2

Description:
 STORM WATER QUALITY CONTROL PLAN

Scale:
 AS SHOWN

Sheet Number:
 C5



CITIZENM HOTELS

4800
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 CA
 94025

Gensler

1200 Oak Avenue
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 San Francisco, CA 94107
 United States

CLIENT
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 75 Market Avenue
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 New York, NY 10038

MODULAR FABRICATOR
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 1400 St. 101 Highgate Avenue
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 Jorgensen Company
 P.O. Box 30000

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 FAX 312.664.2101

GENERAL CONTRACTOR
 CITIZENM HOTEL GROUP

ARCHITECT
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LANDSCAPE KEY

- 1 VEHICULAR ENTRY/EXIT
- 2 GUEST DROP-OFF
- 3 ENTRY PLAZA
- 4 WALKWAY
- 5 PLANTING AREA
- 6 STORMWATER RAIN GARDEN
- 7 HOTEL TERRACE/SEATING
- 8 RESTAURANT TERRACE SEATING
- 9 RECREATIONAL SPACES/COURTS
- 10 CULTIVATED GARDEN AREA
- 11 GARDEN WALL
- 12 GARDEN TRELIS
- 13 OUTDOOR FOOD SERVICE
- 14 PROPERTY LINE FENCE
- 15 PARKING AND VEHICULAR CIRCULATION
- 16 SERVICE/LOADING
- 17 ENHANCED PAVING IN VEHICULAR ZONE
- 18 EXTENSIVE GREEN ROOF
- 19 GROUND MOUNTED EQUIPMENT SHALL BE FULLY SCREENED AND INTEGRATED INTO THE DESIGN

Scale Description

Scale/Equation

Project Name
 citizenM Menlo Park

Project Number
 032-3829-000

Description
 SITE PLAN

Scale
 1" = 20'-0"

L1.0





TYPE 1.
 INTEGRALLY COLORED PIP
 CONCRETE WITH ACCENT BAND



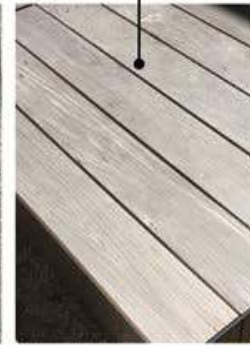
TYPE 2.
 RUBBERIZED PLAY SURFACE



TYPE 3.
 CONCRETE UNIT PAVERS
 LIGHT SANDBLAST
 3"X18"



TYPE 4.
 CONCRETE UNIT PAVERS
 HEAVY SANDBLAST
 24"X36"



TYPE 5.
 WOOD DECKING
 THERMALLY MODIFIED WOOD



TYPE 6.
 CRUSHED STONE PAVING



CITIZENHOTELS

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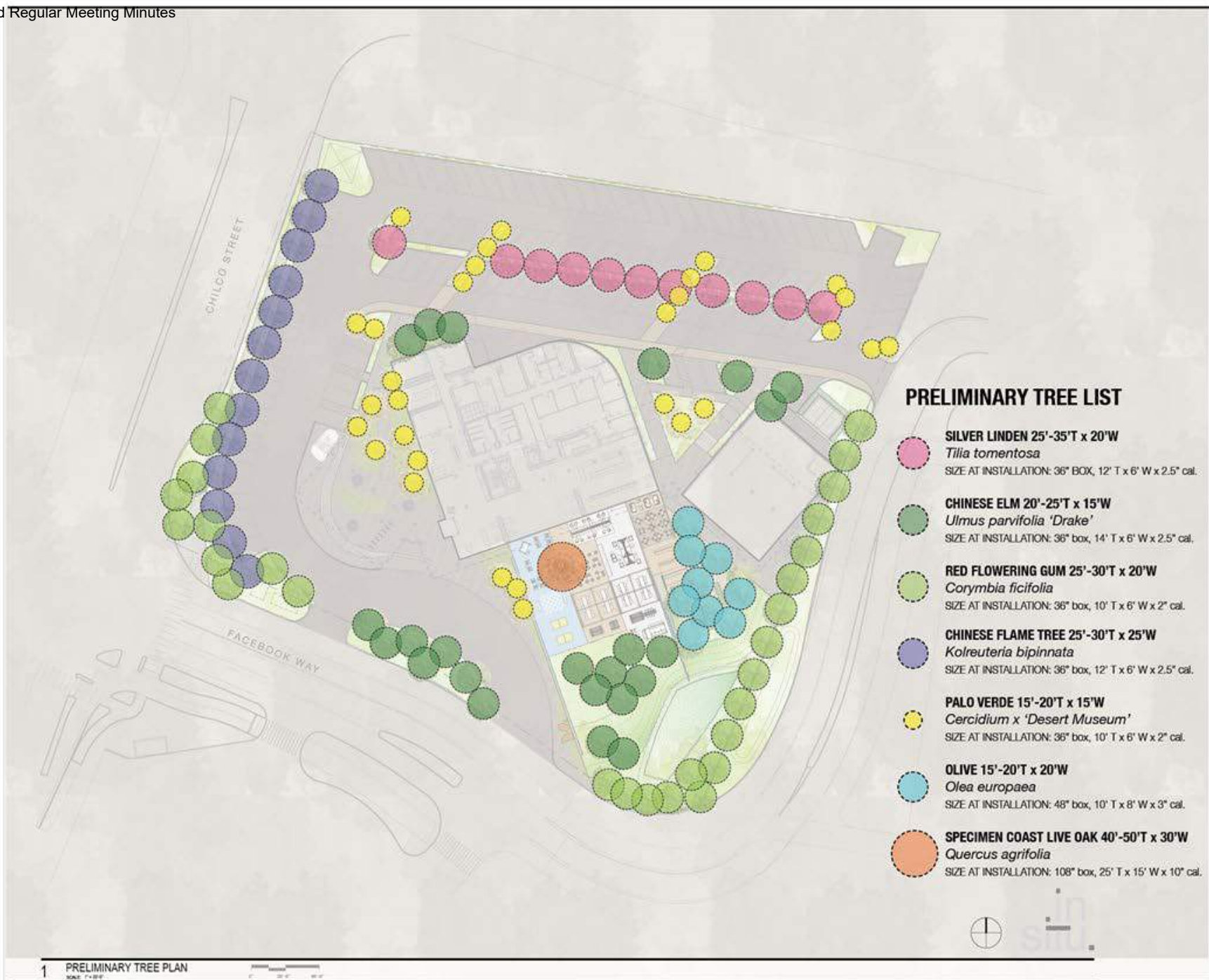
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PRELIMINARY TREE LIST

- 
SILVER LINDEN 25'-35'T x 20'W
Tilia tomentosa
 SIZE AT INSTALLATION: 36" BOX, 12' T x 6' W x 2.5" cal.
- 
CHINESE ELM 20'-25'T x 15'W
Ulmus parvifolia 'Drake'
 SIZE AT INSTALLATION: 36" box, 14' T x 6' W x 2.5" cal.
- 
RED FLOWERING GUM 25'-30'T x 20'W
Corymbia ficifolia
 SIZE AT INSTALLATION: 36" box, 10' T x 6' W x 2" cal.
- 
CHINESE FLAME TREE 25'-30'T x 25'W
Kolreuteria bipinnata
 SIZE AT INSTALLATION: 36" box, 12' T x 6' W x 2.5" cal.
- 
PALO VERDE 15'-20'T x 15'W
Cercidium x 'Desert Museum'
 SIZE AT INSTALLATION: 36" box, 10' T x 6' W x 2" cal.
- 
OLIVE 15'-20'T x 20'W
Olea europaea
 SIZE AT INSTALLATION: 48" box, 10' T x 8' W x 3" cal.
- 
SPECIMEN COAST LIVE OAK 40'-50'T x 30'W
Quercus agrifolia
 SIZE AT INSTALLATION: 108" box, 25' T x 15' W x 10" cal.

citizen
M
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 Boulder, CO 80501
 USA
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 FAX: 303.440.1212
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 75 California Avenue
 2nd Floor
 Menlo Park, CA 94025
 SCULPTURE FABRICATOR:
 DMC
 Jangheon
 14th St, 1st Hangeon Avenue
 Hangeon District
 Jangheon, Gyeonggi-do
 P.O. Box 100000
 Gwangju, Korea
 TEL: 82-10-4700-1000
 FAX: 82-10-4700-1000

Date: Description:

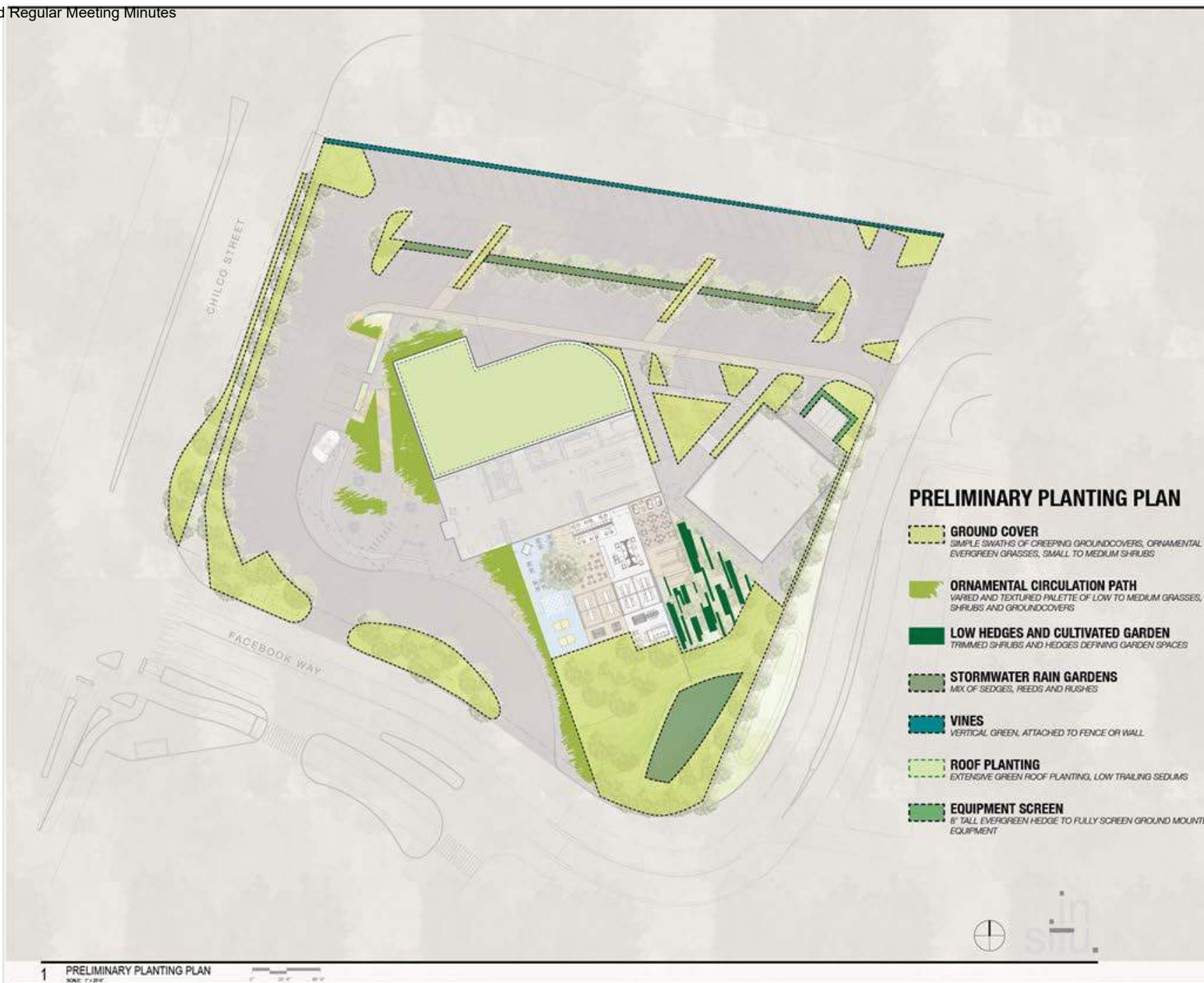
Scale:

Project Name:
 citizenM Menlo Park
 Project Number:
 032 3829 000
 Description:
 PRELIMINARY
 TREE PLAN

Scale:
 1" = 20'-0"

L2.0

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PRELIMINARY PLANTING PLAN

- GROUND COVER**
SIMPLE SWATHS OF CREEPING GROUNDCOVERS, ORNAMENTAL EVERGREEN GRASSES, SMALL TO MEDIUM SHRUBS
- ORNAMENTAL CIRCULATION PATH**
VARIED AND TEXTURED PALETTE OF LOW TO MEDIUM GRASSES, SHRUBS AND GROUNDCOVERS
- LOW HEDGES AND CULTIVATED GARDEN**
TRIMMED SHRUBS AND HEDGES DEFINING GARDEN SPACES
- STORMWATER RAIN GARDENS**
MIX OF SEDGES, REEDS AND RUSHES
- VINES**
VERTICAL GREEN, ATTACHED TO FENCE OR WALL
- ROOF PLANTING**
EXTENSIVE GREEN ROOF PLANTING, LOW TRAILING SEDUMS
- EQUIPMENT SCREEN**
6' TALL EVERGREEN HEDGE TO FULLY SCREEN GROUND MOUNTED EQUIPMENT

1 PRELIMINARY PLANTING PLAN
 SCALE: 1" = 20'-0"

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 Fax: 415.774.7101
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 2nd Floor
 San Francisco, CA 94103
SCHEMATIC DEVELOPER
 DMC
 1000 10th Avenue
 2nd Floor
 San Francisco, CA 94103
DATE
 02/11/20

Date	Description

Scale
 1" = 20'-0"

Project Name
 citizenM Menlo Park

Project Number
 032 3829 000

Description
 PRELIMINARY PLANTING PLAN

Scale
 1" = 20'-0"

L3.0



CHINESE FLAME TREE
 25'-30' T x 25'W
Koelreuteria bipinnata



SILVER LINDEN
 25'-35'T x 20'W
Tilia tomentosa



RED FLOWERING GUM
 25'-30'T x 20'W
Corymbia ficifolia



CHINESE ELM
 20'-25'T x 15'W
Ulmus parvifolia 'Drake'



OLIVE
 15'-20'T x 20'W
Olea europaea



PALO VERDE
 15'-20'T x 15'W
Cercidium x 'Desert Museum'



SPECIMEN COAST LIVE OAK
 40'-50'T x 30'W
Quercus agrifolia



GROUND COVER
 SIMPLE SWATHS OF CREEPING GROUNDCOVERS, ORNAMENTAL EVERGREEN GRASSES, SMALL TO MEDIUM SHRUBS



STORMWATER RAIN GARDENS
 MIX OF SEDGES, REEDS AND RUSHES



ORNAMENTAL CIRCULATION PATH
 VARIED AND TEXTURED PALETTE OF LOW TO MEDIUM GRASSES, SHRUBS AND GROUNDCOVERS



LOW HEDGES AND CULTIVATED GARDEN
 TRIMMED SHRUBS AND HEDGES DEFINING GARDEN SPACES



VINES
 VERTICAL GREEN, ATTACHED TO FENCE OR WALL



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 United States

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MODULAR FABRICATOR
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PRELIMINARY LIGHTING PLAN

- **VEHICULAR ENTRY AND DROP OFF**
DRAMATIC - WARM - UNIFORM
- **PARKING LOT LIGHTING**
SAFETY AND FUNCTION
- **LANDSCAPE PEDESTRIAN ZONE**
LOW LEVEL - AMBIENT - DIRECTIONAL - FOCUS ON PLANTING
- **LOBBY ZONE**
ARTFUL - INVITING - SPARK JOY AND SURPRISE - BRANDING
- **EXTERIOR TERRACES**
FESTIVE - VARIED - PLAYFUL - CURATED FOR EACH SPACE - LIGHTING OBJECTS
- **GREEN ZONE**
LIGHT GLOW - SUBTLE - MINIMAL

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 Jennifer
 Jennifer@dmcc.com
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 Fax: 415.774.2901

ID	Description
----	-------------

Scale: 1" = 20'-0"

Project Name: citizenM Menlo Park
 Project Number: 032 3829 000
 Description: PRELIMINARY LIGHTING PLAN
 Scale: 1" = 20'-0"

L4.0

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February 11, 2020

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www.tuolumne.org

Mayor Cecilia Taylor and City Council Members
City of Menlo Park
701 Laurel Street
Menlo Park, CA 94025
Via Email

Re: Facebook Hotel Project, Water Supply Assessment for Facebook Campus Expansion Project, and Water Supply Evaluation for ConnectMenlo General Plan Update.

BOARD MEMBERS

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Harrison "Hap" Dunning,
Vice Chair
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Patricia Sullivan
Steve Welch
Holly Welles, Ph.D.
Jennifer White, Ph.D.
John Woolard

Dear Mayor Taylor and Council Members:

In light of the State Water Resources Control Board's amendments to the Bay Delta Water Quality Control Plan, and the SFPUC's extremely conservative drought planning policy, the City of Menlo Park must revise the Water Supply Assessment (WSA) for the Facebook Campus Expansion Project and the Water Supply Evaluation (WSE) for the ConnectMenlo General Plan Update. The current WSA and WSE were prepared on February 3, 2016. The State Water Resources Control Board adopted new instream flow standards for the Tuolumne River (which fills the Hetch Hetchy Reservoir) and other rivers on December 12, 2018.

The Facebook Hotel Project at 301 Constitution Drive is part of the Facebook Campus Expansion Project. The staff report for the Project (20-029-CC)¹ states:

Environmental Review

In November 2016, the City Council certified an EIR (consisting of a draft EIR and response to comments document, referred to as the final EIR) for the Facebook campus expansion project. When revisions are proposed to a project after an EIR has been certified, an agency must determine whether an addendum or a supplemental EIR is the appropriate document to analyze the potential impacts of the revised project. Per CEQA Guidelines Section 15162(a), a supplemental EIR is required if:

2. Substantial changes occur with respect to the circumstances under which the project is undertaken, which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;

¹ Staff report for the Facebook Hotel Project (20-029-CC), page 7 –

https://www.menlopark.org/DocumentCenter/View/24177/I1-20200211-CC-CitizenM-Hotel_AMENDED?bidId=

The Staff Report goes on to say:

Furthermore, since certification of the EIR, there have been no substantial changes with respect to background conditions that would suggest that the circumstances under which the proposed project would be undertaken would be substantially different from those assumed or described in the certified EIR.²

This is not the case. A robust WSA is a required component of the environmental review process for large development projects. In response to the Bay Delta Plan Amendment, the San Francisco Planning Department required the San Francisco Public Utilities Commission (SFPUC) to revise several previously-approved WSAs for large development projects in San Francisco's retail service area. Attached is an example of one such revised WSA for the 598 Brannan Street Project.³

The SFPUC describes the need for revised WSAs as follows:

Staff has prepared the attached Revised WSA to account for potential changes to water supply availability related to the December 12, 2018 Bay-Delta Plan Amendment.

Following the Commission's adoption of the original WSA for this project, the State Water Resources Control Board on December 12, 2018 adopted amendments to the Water Quality Control Plan for the San Francisco Bay/Sacramento-San Joaquin Delta Estuary (Bay-Delta Plan Amendment). If the Bay-Delta Plan Amendment were to be implemented, it would result in significant water supply shortages during single dry and multiple dry years, greater than those projected in the 2015 Urban Water Management Plan (UWMP).

The SFPUC describes the adequacy of water supply for future projects as follows:

For these and other reasons described more fully in the attached WSA, whether the Bay-Delta Plan Amendment or the March 1st Proposed Voluntary Agreement will be implemented in the future is currently uncertain. Thus, the Revised WSA analyzes three scenarios:

1. Scenario 1: No implementation of the Bay-Delta Plan Amendment or the March 1st Proposed Voluntary Agreement
2. Scenario 2: Implementation of the March 1st Proposed Voluntary Agreement
3. Scenario 3: Implementation of the Bay-Delta Plan Amendment

During single dry years and multiple dry years under Scenario 3, the SFPUC could not reliably meet the projected demands of its retail customers, including the proposed project, existing customers, and foreseeable future development, without rationing at a level greater than that required to achieve the LOS goal of a maximum of 20% system-wide rationing beyond 2020. The SFPUC estimates it would impose up to 50% rationing across the retail

² Ibid, p. 8.

³ *Revised Water Supply Assessment for the 598 Brannan Street Project*, SFPUC, May 28, 2019 – <https://sfpub.sharefile.com/share/view/s41b7a16b1264836a>

service area, up to 30% rationing for mixed-used office customers such as the proposed project, and potentially less rationing specifically for the proposed project.

For the record, the Tuolumne River Trust (TRT) does not support the SFPUC's drought planning policy, known as the "Design Drought." It combines the two worst droughts from the last century – the six-year drought of record (1987-92), followed immediately by the driest two-year period on record (1976/77). The SFPUC assumes every year is either the beginning or middle of this 8.5-year Design Drought, resulting in much higher projected rationing than under a realistic scenario. Furthermore, the Design Drought assumes water demand in the SFPUC service area (including Menlo Park) will reach 265 million gallons per day (mgd) by 2040, despite the fact that the SFPUC's 10-Year Financial Plan projects a decrease in water sales over the next 10 years. In Fiscal Year 2018/19, regional demand was 192 mgd – 27% below the 265 mgd "projection."

The City of Menlo Park, on the other hand, has accepted the SFPUC's drought planning policy, as demonstrated by the attached letter commenting on the Draft Substitute Environmental Document (SED) for the Bay Delta Water Quality Control Plan.⁴ Among other things, the letter states:

- As a wholesale customer of SFPUC that purchases 100% of its potable water supply from the San Francisco Regional Water System, water supply available to the MPMWD under the SED proposal could be reduced more than 50% under drought conditions for multiple consecutive years.
- Based on our 2015 Urban Water Management Plan, a 50% cut to water supply would force MPMWD to take a number of significant actions including developing water budgets for all water accounts and notifying account holders, and not approving new potable water connections, new temporary meters or permanent meters, except under special circumstances.

The City of Menlo Park must revise the Water Supply Assessment for the Facebook Campus Expansion Project and the Water Supply Evaluation for the ConnectMenlo General Plan Update to address the potential environmental impacts outlined in its Draft SED comment letter.

Thank you for the opportunity to comment. If you have any questions, please feel free to contact me at peter@tuolumne.org or 415-882-7252 x13.

Sincerely,



Peter Drekmeier
Policy Director

⁴ City of Menlo Park comment letter – 2016 Bay-Delta Plan Amendment & SED, March 3, 2017.