



REGULAR MEETING AGENDA

Date: 9/7/2022
Time: 6:30 p.m.
Location: [Zoom.us/join](https://zoom.us/join) – ID # 825 4657 7292

NOVEL CORONAVIRUS, COVID-19, EMERGENCY ADVISORY NOTICE

Consistent with Government Code section 54953(e), and in light of the declared state of emergency, and maximize public safety while still maintaining transparency and public access, members of the public can listen to the meeting and participate using the following methods.

- How to participate in the meeting
 - Access the meeting real-time online at:
[Zoom.us/join](https://zoom.us/join) –Meeting ID# 825 4657 7292
 - Access the meeting real-time via telephone at:
(669) 900-6833
Meeting ID# 825 4657 7292
Press *9 to raise hand to speak

Subject to Change: Given the current public health emergency and the rapidly evolving federal, state, county and local orders, the format of this meeting may be altered or the meeting may be canceled. You may check on the status of the meeting by visiting the City’s website www.menlopark.org. The instructions for logging on to the Zoom webinar and/or the access code is subject to change. If you have difficulty accessing the Zoom webinar, please check the latest online edition of the posted agenda for updated information (menlopark.org/agenda).

Regular Meeting ([Zoom.us/join](https://zoom.us/join) – ID# 825 4657 7292)

A. Call To Order

B. Roll Call

C. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda. Each speaker may address the Commission once under Public Comment for a limit of three minutes. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

D. Regular Business

- D1. Approve minutes for the Housing Commission regular meeting on August 3, 2022 ([Attachment](#))
- D2. Recommendation of approval to the Planning Commission for payment of the below market rate (BMR) in-lieu fee for the proposed change of land use from warehouse to research and development (R&D) of an existing building at 1190 O’Brien Drive ([Staff Report #22-006-HC](#))

E. Reports and Announcements

- E1. Ad hoc subcommittee reports
- E2. Commissioner updates
- E3. Recommend future agenda items
- E4. Staff updates and announcements

F. Adjournment

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item. For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or prior to, the public hearing.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available by request by emailing the city clerk at jaherren@menlopark.org. Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.

Agendas are posted in accordance with Government Code §54954.2(a) or §54956. Members of the public can view electronic agendas and staff reports by accessing the City website at menlopark.org/agenda and can receive email notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting City Clerk at 650-330-6620. (Posted: 9/01/2022)



REGULAR MEETING MINUTES – DRAFT

Date: 8/3/2022
Time: 6:30 p.m.
Location: Zoom

A. Call To Order

Vice Chair Bigelow called the meeting to order at 6:35 p.m.

B. Roll Call

Present: Bigelow, Leitch, Nguyen (joined meeting at 7:32 p.m.), Pimentel, Walker
Absent: Campos, Merriman
Staff: Interim Housing Manager Eren Romero, Management Analyst Adam Patterson, Acting Planning Manager Kyle Perata, Community Development Technician Vanh Malathong

C. Public Comment

- Jenny Michel spoke in support of involvement with single use vehicle parking needs and very low-moderate income units.

D. Regular Business

D1. Approve minutes for the Housing Commission regular meeting on June 1, 2022 (Attachment)

ACTION: Motion and second (Leitch/ Pimentel), to approve minutes for the Housing Commission regular meeting on June 1, 2022, passed 4-0 (Campos, Merriman, and Nguyen absent).

D2. Recommendation of a draft Below Market Rate Housing Agreement and Below Market Rate Housing Agreement Term Sheet with Signature Development Group and Peninsula Innovation Partners for the Proposed Willow Village master plan project (Staff Report #22-005-HC) Report

Acting Planning Manager Kyle Perata made a presentation (Attachment).

Paul Nieto of Signature Development Group and Peninsula Innovation Partners made a presentation (Attachment)

- Housing Action Coalition representative Corey Smith spoke in support of the project.
- YIMBY Action representative Rafa Sonnenfeld spoke in support of the project
- Eugenia Borgo spoke in support of the project.
- Housing Leadership Council representative Evelyn Stivers spoke in support of the project.
- Pam D. Jones spoke in support of the project.
- Bay Area Council representative Alex Torres spoke in support of the project.
- Fountain of Life Global Christian Ministry Pastor Teirrah McNair spoke in support of the project.
- Silicon Valley Leadership Group representative Marlee Smith of the spoke in support of the project.
- Jordan Grimes spoke in support of the project.

- Isabel Solis spoke in support of the project.
- Aline Jaminais-Grellier spoke in support of the project.
- Jenny Michel spoke in support of the project.
- SAMCEDA (San Mateo County Economic Development Association) representative Larisa Ocanada spoke in support of the project.

ACTION: Motion and second (Pimentel/Walker), to recommend the approval of Option 1, as presented in the staff report of a draft below market rate housing agreement and below market rate housing agreement term sheet with Signature Development Group and Peninsula Innovation Partners for the proposed Willow Village master plan project, passed 5-0 (Campos and Merriman absent).

E. Reports and Announcements

E1. Ad hoc subcommittee reports (10 minutes)

None.

E2. Commissioner updates

None.

E3. Recommended future agenda items

None.

E4. Staff updates and announcements

- Interim Housing Manager Romero announced that the Housing Commission work plan needs updating and recommended that the Subcommittee begin updating the work plan for the 2022-23 fiscal year.
- Interim Housing Manager Romero announced that the draft Housing Element has been submitted to the state.

F. Adjournment

Chair Bigelow adjourned the meeting at 9:23 p.m.

Arianna Milton, Permit Technician



WILLOW VILLAGE MASTER PLAN PROJECT

1350- 1390 Willow Road, 925- 1098 Hamilton Avenue, 1005-1275 Hamilton Court
Below Market Rate (BMR) Term Sheet and Draft Form BMR Agreement
Staff Presentation to Housing Commission, August 3, 2022

RECOMMENDED MEETING FORMAT

- Meeting agenda
 - Staff overview and presentation
 - Applicant presentation
 - Public comment
 - Commissioner discussion and recommendation
- Recommendation:
 - Review and provide a recommendation on the draft form below market rate (BMR) housing agreement and BMR housing agreement term sheet
 - Draft form BMR housing agreement (Attachment A)
 - Draft BMR Term Sheet (Attachment B)

WILLOW VILLAGE PROJECT LOCATION





EXISTING SITE PLAN



PROPOSED SITE PLAN



BELOW MARKET RATE REQUIREMENTS

- Compliance with BMR Ordinance and BMR Guidelines
 - Mixed-use projects must comply with both residential and commercial requirements
- Residential requirement
 - 15 percent of the total units proposed
 - low-income households for rental units or equivalent alternative
 - 260 required inclusionary BMR units
- Commercial requirement
 - BMR linkage units or in lieu fee to mitigate demand for affordable housing from commercial development projects
 - On-site units preferred
 - 52 units required for project (or \$22 million in lieu fee)

PROJECT BMR PROPOSAL

- 312 total BMR units
 - 260 inclusionary units (15% of 1,730 total units)
 - 52 commercial linkage units
- 119 senior age-restricted BMR units
 - Standalone building with essential services
 - Extremely-low and very-low income seniors
 - Financed through federal, state, and local (non-City) funding sources and applicant contribution
- 193 non-age restricted BMR units
 - Predominately low-income and moderate-income households
- Proposal includes a low-income equivalency alternative
 - Calculation inclusive of age-restricted and non-age restricted components of BMR proposal

BMR INCOME BREAKDOWN

Table 4: BMR income breakdown at full buildout

Category	Area median income limit	Number of units
Extremely low (senior)	30%	82
Very low (senior)	50%	37
Low (non-age restricted)	80%	76
Moderate (non-age restricted)	120%	117
Total units		312

BMR PROPOSAL AND REGIONAL HOUSING NEEDS ALLOCATION



Table 9: 2023-2031 RHNA for Menlo Park and comparison to proposed project

Income levels	RHNA Menlo Park	Proposed project	Percent of RHNA	Remaining after project
Very low (<50%)	740	119	16%	620
Low (50%-80%)	426	76	18%	350
Moderate (80%-120%)	496	117	24%	380
Total units	1662	312	19%	1350

LOCATION AND SIZE OF BMR UNITS

- BMR proposal includes a standalone senior BMR building
 - Senior building predominately studios and one-bedroom units
- City evaluates proportionality across entire project site
 - Evaluated against Section 5.1 of BMR Guidelines
 - BMR units generally same proportionate size as the market rate units, distributed throughout the development, and be indistinguishable from the exterior
- Proposal inconsistent with location and size (proportionality)
 - Higher percentage of studio BMR units than overall site mix
 - 119 units in a standalone age-restricted building
 - 100 percent affordable building would not necessarily comply with location/distribution requirement
- BMR Guidelines Section 13 allows City to approve reasonably equivalent alternatives

LOCATION AND SIZE OF BMR UNITS

Table 7: Unit size and percentages of total project

Unit size	Number of units (total project)	Percent of total project*	Total BMR units	Percent of Total BMR units within project*
Studio	507	29%	155	50%
One- bedroom	713	41%	96	31%
Two- bedroom	459	27%	55	18%
Three- bedroom	51	3%	6	2%
Total	1,730		312	

BMR PROPOSAL (CONTINUED)

- Low income equivalency
 - Proposal includes a mix of extremely-, very-, low-, and moderate-income limit BMR units
 - Senior standalone building contains deeper affordability
 - Non-age restricted units low-income and moderate-income limits
 - Average subsidy per unit equivalent to an all low-income limit BMR proposal
- Commercial linkage unit requirement
 - Applicant obligation is 52 BMR units or \$22 million in lieu fee
 - Provision of units is preferred per BMR Guidelines
- Alternate applicant proposals

HOUSING COMMISSION CONSIDERATIONS

- Location and size of units
 - Consider whether applicant's proposed modifications from the proportionality and location requirements are appropriate for the project
- Commercial linkage units
 - Consider if the commercial linkage units should be incorporated into the project or if the in lieu fee is preferred
- Alternate proposals
 - Should the applicant pursue that alternate proposals outlined in the staff report?
- Provide recommendation on the draft form BMR Agreement and Term Sheet



THANK YOU

Willow Village

Housing Commission Presentation

AUGUST 3, 2022



Willow Village Master Plan

- 1,730 homes, 312 BMR units (18% of total)
 - 119 units of senior affordable housing
 - 193 units of inclusionary housing
- Community Amenities
 - \$5M additional affordable housing contribution
 - 22 units for teacher housing in Belle Haven
- Up to 200,000 sf of retail
- Approx. 8 acres of public space
- Town Square and public plazas
- Dedicated pedestrian paths and bike lanes
- 1.25M sf of office and 350,000 sf of accessory space
- Sustainable design and building materials

A Holistic Approach

- ✓ Allows City to help meet RNHA requirements
- ✓ 312 BMR units meet and exceed City's minimum AMI requirements of 80%
- ✓ Serves a diverse population
 - Senior affordable building with robust services (delivers extremely low income units)
 - Offers very low inclusionary units
 - Provides missing middle housing (moderate income units)
- ✓ Unit mix maximizes amount of affordable units
- ✓ Commercial linkage units provided on site
- ✓ \$5M additional affordable housing contribution









WILLOW VILLAGE

Menlo Park, CA











BMR Proposal – Option 1

Program Breakdown	
Senior Affordable Building	119
Inclusionary Units	193
Total Units	312

Income Breakdown		
Category	AMI Limit	# Units
Extremely Low (Senior)	30%	82
Very Low (Senior)	50%	37
Low (Inclusionary)	80%	76
Moderate (Inclusionary)	120%	117
TOTAL BMR Units		312
TOTAL PROJECT UNITS	1730	
Affordable %	18.0%	
PROJECT WIDE Avg. Affordability	78.3%	
City of Menlo Park Required Affordability	80.0%	
Senior Building Avg. Affordability	36.2%	
Inclusionary Avg. Affordability	104.2%	

195 units at LI and below

BMR Proposal – Option 2

Program Breakdown	
Senior Affordable Building	119
Inclusionary Units	193
Total Units	312

Income Breakdown		
Category	AMI	# Units
Extremely Low (Senior)	30%	82
Very Low (Senior)	50%	37
Very Low (Inclusionary)	50%	12
Low (Inclusionary)	80%	53
Moderate (Inclusionary)	120%	128
TOTAL BMR Units		312
TOTAL PROJECT UNITS	1730	
Affordable %	18.0%	
PROJECT WIDE Avg. Affordability	78.6%	
City of Menlo Park Required Affordability	80.0%	
Senior Building Avg. Affordability	36.2%	
Inclusionary Avg. Affordability	108.3%	

184 units at LI and below

Comparison of Options 1 and 2

Comparison of Scenarios				
	Option 1		Option 2	
Category	AMI Limit	# Units	AMI Limit	# Units
Extremely Low (Senior)	30%	82	30%	82
Very Low (Senior)	50%	37	50%	37
Very Low (Inclusionary)	50%	0	50%	12
Low (Inclusionary)	80%	76	80%	53
Moderate (Inclusionary)	120%	117	120%	128
TOTAL BMR Units		312		312
TOTAL PROJECT UNITS	1730		1730	
Affordable %	18.0%		18.0%	
PROJECT WIDE Avg. Affordability	78.3%		78.6%	
City of Menlo Park Required Affordability	80.0%		80.0%	
Senior Building Avg. Affordability	36.2%		36.2%	
Inclusionary Avg. Affordability	104.2%		108.3%	

Mercy Housing



- Founded in 1981, Mercy Housing develops and owns and operates over 23,000 affordable homes for families, seniors and veterans and people exiting homelessness
- Mercy Housing has developed over 3,000 affordable senior apartments throughout California

Mercy Housing



- Service-enriched approach to senior housing
 - On-site resident service coordinators work individually with each senior
 - Services focus on health and wellness, housing stability, and social connection
 - Regular assessments help seniors age in place with assistance in securing in-home support services as needed
- Within Mercy's senior portfolio, most are single occupants

Affordable Senior Housing Need

- The Willow Village Plan supports these Housing Element Goals:
 - Goal H3 – SPECIALIZED HOUSING NEEDS: supports senior housing
 - Goal H4 – NEW HOUSING: housing a variety of income levels
- Demonstrated need for affordable senior housing
 - Seniors are the fastest growing age group in the region
 - For every available Mercy senior unit, there are over 50 persons that apply
 - Sequoia Belle Haven received over 1,470 applications for 53 senior units, with 1,700 persons on the waitlist

A Holistic Approach

- ✓ Allows City to help meet RNHA requirements
- ✓ 312 BMR units meet and exceed City's minimum AMI requirements of 80%
- ✓ Serves a diverse population
 - Senior affordable building with robust services (delivers extremely low income units)
 - Offers very low inclusionary units
 - Provides missing middle housing (moderate income units)
- ✓ Unit mix maximizes amount of affordable units
- ✓ Commercial linkage units provided on site
- ✓ \$5M additional affordable housing contribution





STAFF REPORT

Housing Commission

Meeting Date:

9/7/2022

Staff Report Number:

22-006-HC

Regular Business:

Recommendation of approval to the Planning Commission for payment of the below market rate (BMR) in-lieu fee for the proposed change of land use from warehouse to research and development (R&D) of an existing building at 1190 O'Brien Drive

Recommendation

Staff recommends that the Housing Commission recommend approval to the Planning Commission for payment of the Below Market Rate (BMR) in-lieu fee for the proposed change of land use from warehouse to research and development (R&D) of an existing building at 1190 O'Brien Drive.

Policy Issues

Each BMR Housing Agreement is considered individually. The Housing Commission should consider whether the proposal would be in compliance with the BMR Housing Program Guidelines requirements and the BMR Housing Ordinance.

Background

Site location

The approximately 27,800-square-foot subject site is located at 1190 O'Brien Drive. The site is located in the LS (Life Sciences) zoning district. The parcel is located on the corner of O'Brien Drive and Kavanaugh Drive. The properties to the north across Kavanaugh Drive and directly to the south are located in the LS district. The properties across O'Brien Drive to the west are in the LS-B (Life Science, Bonus) district. The property borders residential properties in East Palo Alto to the east. A location map is included as Attachment A.

Analysis

Project description

The existing building is approximately 15,180 square feet, including a 3,168-square-foot mezzanine level. The building has been used as machine shop since 1983 and included associated administrative office space. The applicant is requesting a building permit for interior modifications to the building to facilitate a change of use to an R&D use, along associated site improvements for flood fortification. Select sheets from the project plans are included for reference as Attachment B. The Housing Commission should note that the proposal is still under staff review, and aspects of the design are subject to change before final project actions. As long as the project scope regarding the conversion of the use remains consistent, the

Housing Commission’s recommendation would remain applicable to the project.

BMR housing program requirement

The applicant is required to comply with Chapter 16.96 of City’s Municipal Code, (“BMR Ordinance”), and with the BMR Housing Program Guidelines adopted by the City Council to implement the BMR Ordinance (“Guidelines”). At this time, the Housing Commission should review the Commercial in-lieu fee requirement and provide a recommendation to the Planning Commission. The Commercial in-lieu fee requirement would subsequently be reviewed by the Planning Commission.

Commercial development projects 10,000 square feet, and greater, in size are subject to the City’s BMR Ordinance. The BMR Guidelines provide various alternatives to meet the intent of the BMR program. A commercial development may be required to provide BMR housing on site (if allowed by the zoning district) or off-site. If it is not feasible to provide below market rate housing units, the applicant shall pay an in-lieu fee. In this specific project, the residential unit equivalent is 0.34 units. However, residential use of the property is not allowed in the LS zoning district. Further, the applicant does not own any sites zoned for residential uses within the City. Based on the site’s zoning designation, proposed land use, and the small residential unit equivalent, staff believes that payment of the in-lieu fee would be the appropriate method for meeting the City’s BMR requirement.

The in-lieu fee would be calculated as set forth in the table below. The applicable fee for the project would be based upon the per square foot fee in effect at the time of payment and the proposed square footages within Group A and Group B at the time of payment. Areas for office and research and development (R&D) uses are considered Group A. Group B areas represent uses that are all other commercial and industrial uses not in Group A. The rates are adjusted annually at the beginning of each fiscal year. The applicant would be required to pay the applicable in-lieu fee prior to building permit issuance.

Table 1: BMR Requirements and Applicant Proposal			
	Fee per square foot	Square feet	Component fees
Existing Building – Storage Warehouse (Group B)	\$11.46	15,180	(\$173,962.80)
Proposed Building – R&D (Group A)	\$21.12	15,180	\$320,601.60
BMR In-Lieu Fee Option			\$146,638.80

Correspondence

Staff has not received any correspondence regarding the draft BMR in-lieu fee payment. Any comments that are received prior to the Housing Commission meeting will be shared with the Commission.

Conclusion

Given that the residential unit equivalent for the project is 0.34 units and residential use of LS-zoned properties is not permitted under current zoning regulations, staff recommends that the Housing Commission recommend approval of payment of the applicable in-lieu fees prior to building permit issuance for the project. The Planning Commission is expected to take action on the in-lieu fee at a future

meeting.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The proposed project is being evaluated with respect to compliance with the California Environmental Quality Act (CEQA) as part of the Planning Commission action. A recommendation on the BMR in-lieu fee payment is not an action under CEQA, so environmental review is not required by the Housing Commission. It is anticipated that there will be a finding of exemption when the item goes before the Planning Commission.

Public Notice

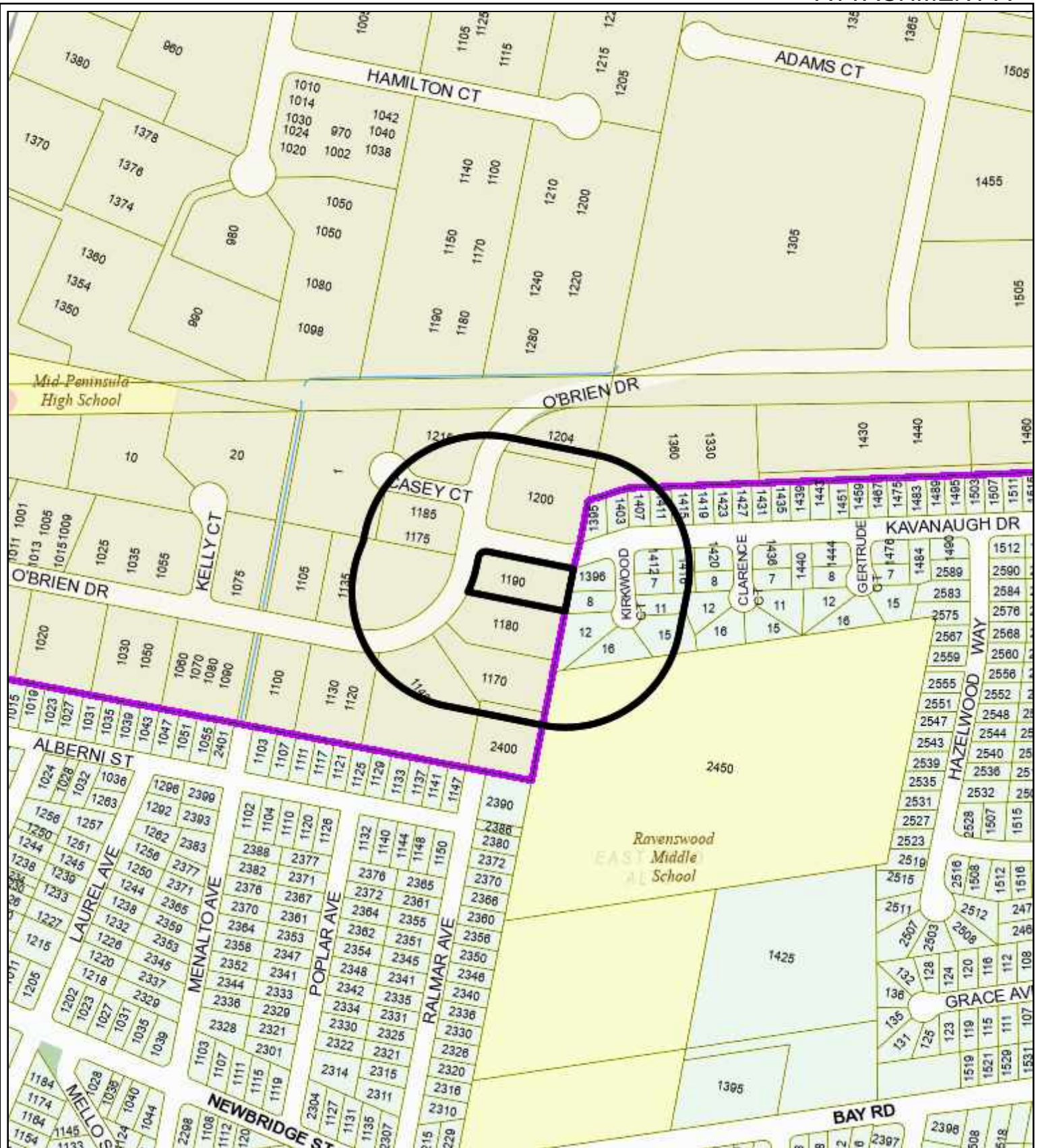
Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

- A. Location Map
- B. Project Plans (Select Sheets)

Report prepared by:
Chris Turner, Associate Planner

Report reviewed by:
Eren Romero, Interim Housing Manager



City of Menlo Park
 Location Map
 1190 O'BRIEN DRIVE



1190 O'BRIEN DRIVE

MENLO PARK, CA 94025

SHEET INDEX

SHEET NUMBER	SHEET NAME	NO. OF SHEETS
GENERAL		
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C2.01	HORIZONTAL CONTROL PLAN	
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E1.1	LIGHTING PLAN	
E4.1	POWER PLAN	
E5.1	TITLE 24	
E5.2	SCHEDULES	



399 Bradford Street Redwood City, Ca. 94063
Tel: (650) 364-6153
Fax: (650) 364-2618
www.des-ac.com



TARLTON PROPERTIES
1530 O'BRIEN DRIVE, SUITE C
MENLO PARK, CA 94025

1190 O'BRIEN DRIVE

1190 O'Brien Dr,
Menlo Park, CA 94025.

TITLE SHEET

DATE	DESCRIPTION
A 4/26/22	ISSUE FOR BUILDING PERMIT

DRAWN BY: AT
REVIEWED BY: EM
APPROVED BY: FLJAST
DES PROJECT NO.: 10295.001

PROJECT TEAM

CLIENT: MENLO PARK PARTNERSHIP
1530 O'BRIEN DRIVE, SUITE C
MENLO PARK, CA 94025
PHONE: (650) 330-0000
CONTACT: RICHIE BENDER

ARCHITECT: DES ARCHITECTS - ENGINEERS, INC.
399 BRADFORD STREET
REDWOOD CITY, CA 94063
PHONE: (650) 364-6153
CONTACT: ALIXE MACGRODOR

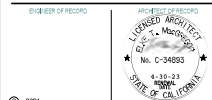
GENERAL CONTRACTOR: CFC CONSTRUCTION
4840 MYRTLE LANE ROAD
NEWPORT, CA 94068
PHONE: (415) 794-8888
CONTACT: LES HELLWEGER

STRUCTURAL ENGINEER: SOCIETY ENGINEERING
4240 STEVENS CREEK BLVD., SUITE 200
SAN JOSE, CA 95129
PHONE: (408) 914-0200, 415-1577
CONTACT: STEVEN J. BUCKLEY, S.E.

M.E.P. ENGINEER: DES ARCHITECTS - ENGINEERS, INC.
399 BRADFORD STREET
REDWOOD CITY, CA 94063
PHONE: (650) 364-6153
CONTACT: CHRIS BOYCE

MECHANICAL ENGINEER: WESTERLY MECHANICAL, INC.
1190 O'BRIEN DRIVE
MENLO PARK, CA 94025
PHONE: (650) 234-6790
CONTACT: SCOTT R. PULSIF

ELECTRICAL ENGINEER: TROTTER ELECTRIC INC.
1700 RUSTEN BPP
10 EAST REDWOOD ROAD,
SAN JOSE, CA 95128
PHONE: (408) 716-8233
CONTACT: DON HOUDE



DATE: 4-30-23
PROJECT NO.: 10295.001
SHEET NO.: G0.01

SCOPE OF WORK

THE PROJECT SCOPE INVOLVES INTERIOR IMPROVEMENTS WITHIN THE EXISTING BUILDING

INTERIOR IMPROVEMENTS TO INCLUDE:

1. NEW OFFICES, CONFERENCE ROOM AND LAB AREAS.
2. NEW CEILING AND LIGHT FIXTURES.
3. RELATED ELECTRICAL, MECHANICAL, AND PLUMBING IMPROVEMENTS

SITE IMPROVEMENTS TO INCLUDE:

1. NEW TRASH ENCLOSURE AND PARKING STRIPING
2. FLOOD COMPLIANCE AT ALL EXTERIOR WALLS AND OPENINGS

PROJECT DATA

1. APPLICABLE CODES

CONFORM TO ALL APPLICABLE BUILDING CODES (INCLUDING BUT NOT LIMITED TO THE FOLLOWING)

2019 CA BUILDING CODE (CBC) PARTS 1 & 2 TITLE 24 COR 2019 IRC WITH CALIFORNIA AMENDMENTS

2019 CA GREEN BUILDING STANDARDS (GBS) PART 11 TITLE 24

2019 CA ELECTRICAL CODE (CEC) PART 3 TITLE 24 COR 2019 MEI WITH CALIFORNIA AMENDMENTS

2019 CA MECHANICAL CODE (CMC) PART 4 TITLE 24 COR 2019 IAM WITH CALIFORNIA AMENDMENTS

2019 CA PLUMBING CODE (CPC) PART 5 TITLE 24 COR 2019 UPC WITH CALIFORNIA AMENDMENTS

2019 CA FIRE CODE (CFC) PART 8 TITLE 24 COR 2019 IFCC WITH CALIFORNIA AMENDMENTS

2019 CA ENERGY CODE (CEC) PART 6 TITLE 24 COR

MENLO PARK, CA

15

BUILDING OCCUPANCY - B

TYPE IIB-R

FULLY SPRINKLED

2. LEGAL JURISDICTION

3. ZONING DESIGNATION

4. OCCUPANCY TYPE

5. CONSTRUCTION TYPE

6. BREEZING PROTECTION

7. AREA SUMMARY

FIRST LEVEL	= 12,003 SF
MEZZANINE LEVEL	= 3,189 SF
TOTAL	= 15,192 SF

AREA OF IMPROVEMENT: 7,430 SF

8. ADDITIONAL NOTES:
SEE SHEET A101 FOR PARKING ON SITE

PROJECT DATA

4. PLUMBING FIXTURE CALCULATION

PLUMBING FIXTURES PROVIDED IN THIS SCHEDULE ARE BASED ON THE ASSUMPTION OF LAB OFFICE USE THROUGHOUT.

A. MAX. OCCUPANT LOAD PER FLOOR USING CBC TABLE A: 15,190 SF/200 = 76

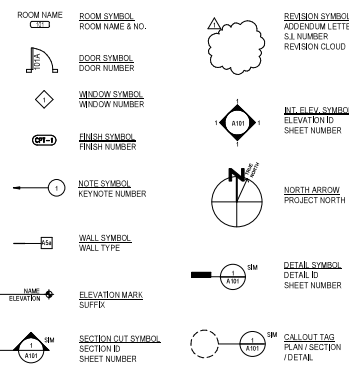
B. MAX. OCCUPANT LOAD PER FLOOR GENDER: 76/2 = 38

PLUMBING REQUIRED PROVIDED PER CPC TABLE 4.1

	WC	URINAL	LABATORY	DRINKING FOUNTAIN
REQ	1	1	1	1
PROV	1	1	1	1
REQ	1	1	1	1
PROV	1	1	1	1
REQ	1	1	1	1
PROV	1	1	1	1
REQ	1	1	1	1
PROV	1	1	1	1

MEN 1 1 1 1 1 2 1 x
WOMEN 3 3 0 0 1 2

SYMBOL LEGEND



ACCESSIBILITY

1. THIS PROJECT HAS BEEN DESIGNED TO BE IN COMPLIANCE WITH CURRENT CBC TITLE 24 ACCESSIBILITY REQUIREMENTS. SEE SHEET A101, A102, A103 FOR MINIMUM REQUIREMENTS.

2. PROVIDED ACCESSIBLE PARKING, ADAAS, MAINTENANCE, STORAGE, EXISTING BUILDING ENTRY, PRIMARY PATH OF TRAVEL, AND RESTROOMS ARE IN COMPLIANCE WITH CURRENT CBC 118 REQUIREMENTS.

CALGREEN COMPLIANCE

1. PROVIDE READILY ACCESSIBLE AREAS THAT SERVE THE ENTIRE BUILDING AND ARE IDENTIFIED FOR THE GREENING, STORAGE, AND COLLECTION OF NONHAZARDOUS MATERIALS FOR RECYCLING, INCLUDING AT A MINIMUM PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS, ORGANIC WASTE, AND METALS.

2. ALL OFFICES, SEALANTS, CALK, PAINTS, COATINGS, WOOD PRODUCTS, AND FLOORING SYSTEMS MUST MEET THE POLLUTANT CONTROL REQUIREMENTS PER GBSB SECTIONS 5.6.4.1 THROUGH 5.6.6.4.

3. 5.6.4.2 ENVIRONMENTAL TOBACCO SMOKE CONTROL - NO SMOKING WITHIN 25 FEET OF BUILDING ENTRY.

4. 5.6.4.3 INDOOR AIR QUALITY CONTROL - BUILDING SHALL MEET OR EXCEED THE PROVISIONS OF CALGREEN BUILDING CODE, COR. TITLE 24 PART 6 SHORTER (EXTERIOR WALLS).

5. 5.6.4.3.2 ACCIDENTAL CONTROL - BUILDING SYSTEMS AND COMPONENTS TO MEET THE SOUND TRANSMISSION COEFFICIENT (STC) VALUES IN ACCORDANCE WITH ACT 106 AND ACT 107 FOR GBSB SECTION 5.6.4.7.

6. 5.6.4.3.3 SOUND ATTENUATION AND GREENHOUSE GAS REDUCTIONS - FIRE SUPPRESSION EQUIPMENT SHALL NOT CONTAIN OPS OR HALONS PER GBSB SECTION 5.6.4.7.

7. USE COMPOSTABLE MATERIALS FOR REVISIONS OF ESTIMATED MATERIALS COST.

8. MEET THE STATE CALGREEN OR LOCAL REQUIREMENT FOR CONSTRUCTION WASTE MANAGEMENT, RECYCLE AND SALVAGE MATERIALS.

9. UNIVERSAL WASTE, ADDITIVES AND ALTERATIONS TO A BUILDING OR TRAVEL SPACE THAT MEET THE SCOPING PROVISIONS OF SECTION 5.6.4.7 FOR NONHAZARDOUS SOLID WASTE AND ALTERNATIONS SHALL REQUIRE VERIFICATION THAT UNIVERSAL WASTE ITEMS SUCH AS FLUORESCENT LAMPS AND BALLAST AND MERCURY CONTAINING THERMOSTATS AS WELL AS OTHER CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE SEPARATED AND IDENTIFIED FROM LANDFILL, A LIST OF PROHIBITED UNIVERSAL WASTE MATERIALS SHALL BE PROVIDED IN THE CONSTRUCTION DOCUMENTS.

GENERAL NOTES

1. TENANT WILL SUBMIT A CHEMICAL INVENTORY TO THE CITY OF MP, FIRE & PLANNING DEPT. NO CHEMICALS WILL BE USED ON SITE WITH OUP PROCESSES COMPLETE AND APPROVED.

2. THERE ARE NO DRINKING FOUNTAINS, FILTERED WATER WILL BE PROVIDED AT ACCESSIBLE SINKS WITH ACCESSIBLE REUSABLE CUPS PROVIDED.

DEFERRED SUBMITTAL LIST

1. FIRE SPRINKLER DESIGN
2. FIRE ALARM SYSTEMS
3. HMB FOR HAZARDOUS MATERIALS

PROJECT MAP



VICINITY MAP



ENERGY COMPLIANCE

EXISTING BUILDING SHELL IS NOT BEING MODIFIED. SEE ELECTRICAL AND MECHANICAL PLANS FOR TITLE 24 COMPLIANCE.

FEMA

PROJECT TO BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS AND THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE.

DRP 152
DRP 162 (2 ABOVE DRP)
IMPROVEMENTS INCLUDE:
- ELEVATIONS PART AT ALL PERIMETER
- CURB AT THE MAIN ELEVATION ENTRANCE
- REPLACED EXISTING MAIN DOORS PER FLOOD DOORS
- FLOOD BARRIERS AT EXISTING ROLL UP DOORS

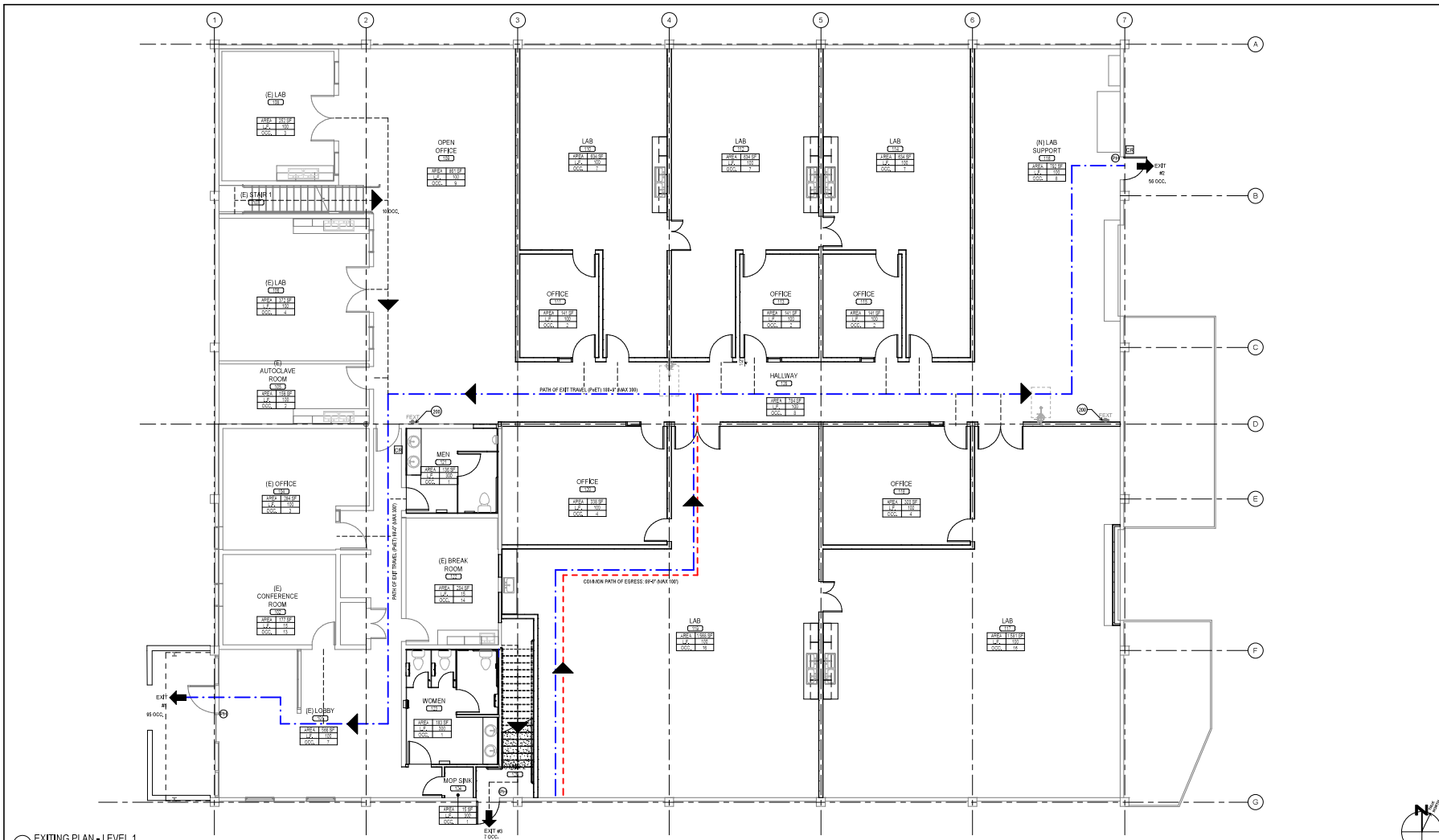
DATE	DESCRIPTION
4/28/22	ISSUE FOR BUILDING PERMIT

DRAWN BY:	Author
REVIEWED BY:	EM
APPROVED BY:	FJAST
DES PROJECT NO.:	10295.001



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BLDG.	G2.01	SHEET NO.
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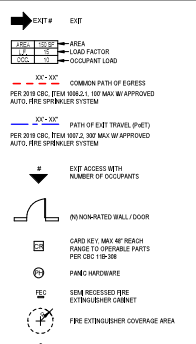


1 EXITING PLAN - LEVEL 1
3/16/14

SHEET NOTES

- FOR ACCESSIBILITY STANDARDS REFER TO SHEETS G1-41, G1-42 AND G1-43
- PROVIDE EXIT SIGNS PER 2018 CBC SECTION 1011. SEE ELECTRICAL PLANS FOR EXIT SIGNS LOCATION.
- PROVIDE "EXIT" TACTILE EXIT SIGNAGE AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM.
- PROVIDE EXIT ROUTE VISUAL EXIT SIGNAGE AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM.
- FIRE SPRINKLERS SHALL COMPLY WITH 2018 CBC CHAPTER 9 AND 910.05 AND SHALL BE SUBMITTED FOR REVIEW TO LOCAL AUTHORITIES PRIOR TO CONSTRUCTION. CONCEALED SPACES SHALL BE SPRINKLED.
- A FLOOR PLAN PROVIDING EMERGENCY PROCEDURAL INFORMATION SHALL BE POSTED AT ALL PUBLIC ENTRANCES TO THE BUILDING. INFORMATION SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING:
 - LOCATION OF EXITS AND FIRE ALARM/NOTIFYING STATIONS.
 - DESCRIPTION OF FIRE ALARM/NOTIFYING STATIONS.
 - FIRE DEPARTMENT EMERGENCY TELEPHONE NUMBER 9-1-1
 - INSTRUCTIONS TO BE FOLLOWED BY FAMILIARY, NONREGULATORY, AND PHYSICALLY DISABLED PERSONS IN THE EVENT OF AN EMERGENCY.
 SIGNS SHALL BE PRINTED WITH A MINIMUM OF 18 POINT HIGH CONTRAST LETTERING PERFORMING A SWEEP CONTRAST TO THE BACKGROUND. THE INFORMATION SHALL BE POSTED SO THAT THE BOTTOM EDGE OF EACH SIGNAGE IS LOCATED NOT MORE THAN 48 INCHES ABOVE THE FLOOR, (TITLE 19, CODE SECTION 318).
- A COMPLIMENT OF FIRE EXTINGUISHERS WITH A MAX CLASSIFICATION OF 2-A:BC SHALL BE MOUNTED SO THAT THE NO. TAGS, EXTENSION TO EXTINGUISHER, OR A FLOOR BOXES IS 7' IN ACCORDANCE WITH THE SFC STANDARD. THE TOP OF THE FIRE EXTINGUISHERS SHALL BE MOUNTED HIGHER THAN FROM THE FLOOR. EXTINGUISHERS SHOULD NOT BE COVERED BY SMALL OBJECTS. LETTERS SHALL BE 1" MINIMUM ON CONTRACTING BACKGROUND.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A SPECIAL KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. EXCEPTIONS: PROTECTIVE ROOMS, VISIBLE GLASS PANES ON OR ADJACENT TO THE DOOR, STATING THE DOOR TO REMAIN UNLOCKED WHEN THE SPACE IS OCCUPIED. LETTERS SHALL BE 1" MINIMUM ON CONTRACTING BACKGROUND.
- ALL EXIT DOORS FOR OCCUPANT LOADS OVER 50 PERSONS TO BE EQUIPPED WITH PANIC HARDWARE (TO WITH OR EXCEPT).
- MINIMUM CLEAR TRAVEL DISTANCE SHALL NOT EXCEED 30 FEET IN COMPLIANCE WITH SFC TABLE 1012.2.
- CARD READERS AT EXTERIOR DOORS TO BE LOCATED MAXIMUM 48" REACH RANGE TO OPERABLE PARTS PER CBC.

LEGEND



OCCUPANCY

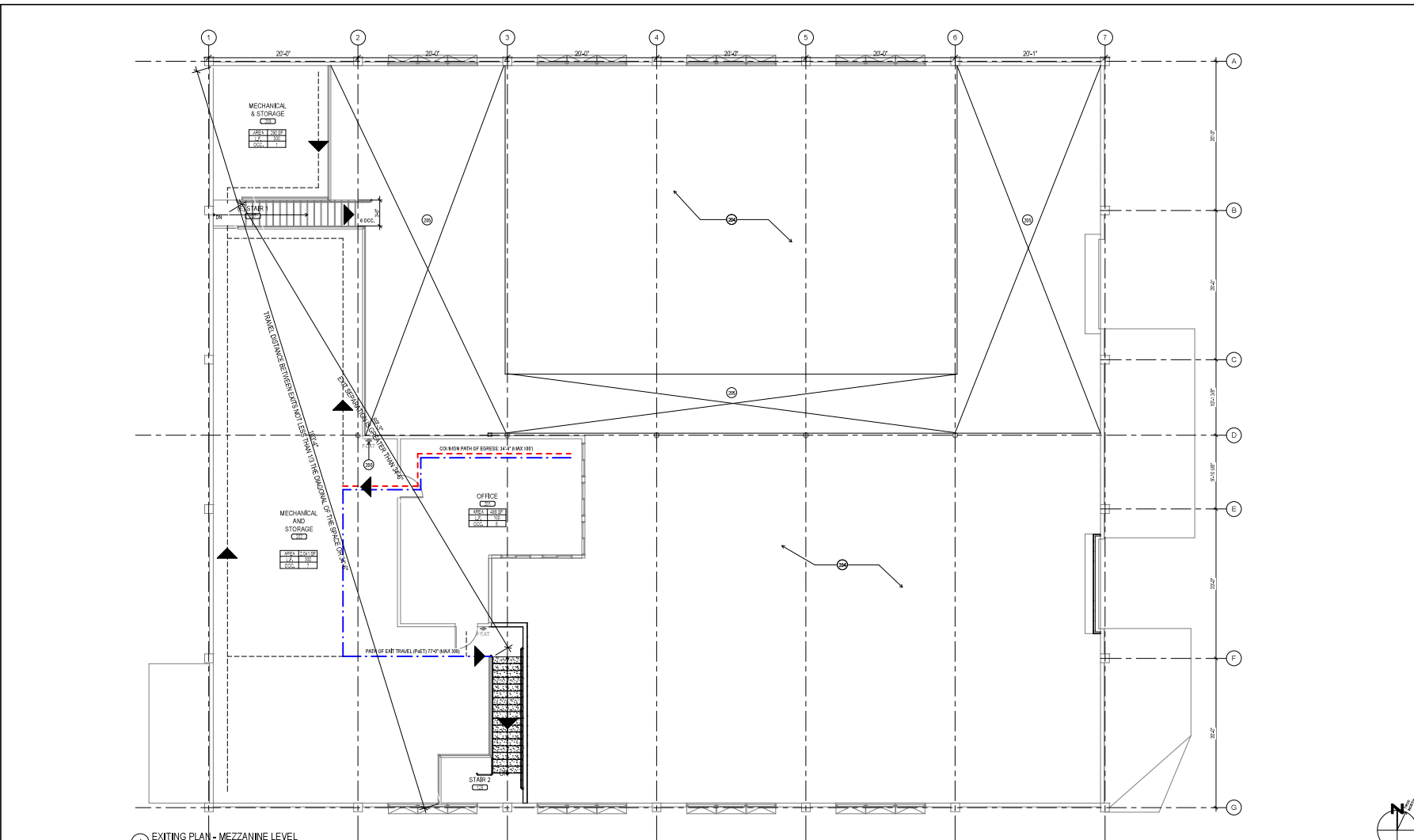
Room No.	Name	Area	Occupant Load Factor	Total Occupants
101	(E) LOBBY	568 SF	100	6
102	(E) CONFERENCE ROOM	177 SF	15	12
104	(E) OFFICE	284 SF	100	3
106	(E) AUTOCLAVE ROOM	156 SF	100	2
108	(E) LAB	372 SF	100	4
108	(E) LAB	252 SF	100	3
109	OPEN OFFICE	801 SF	100	9
110	LAB	634 SF	100	7
111	OFFICE	141 SF	100	2
112	LAB	634 SF	100	7
113	OFFICE	141 SF	100	2
114	LAB	634 SF	100	7
115	OFFICE	141 SF	100	2
116	(N) LAB SUPPORT	752 SF	100	8
117	LAB	1,581 SF	100	16
118	OFFICE	302 SF	100	4
119	LAB	1,568 SF	100	16
120	OFFICE	338 SF	100	4
121	MEN	136 SF	300	1
122	(E) BREAK ROOM	204 SF	15	14
123	WOMEN	183 SF	300	1
124	MOP SINK	15 SF	300	1
128	HALLWAY	784 SF	100	8

EXIT WIDTH CALCULATIONS

EXITS	OCCUPANT LOAD	LOAD FACTOR	REQ. WIDTH (INCHES)	PROVIDED (INCHES)
EXIT #1	95	0.2	19	36
EXIT #2	26	0.2	11.2	36
EXIT #3	10	0.2	2	36
TOTAL OCCUPANTS	161			

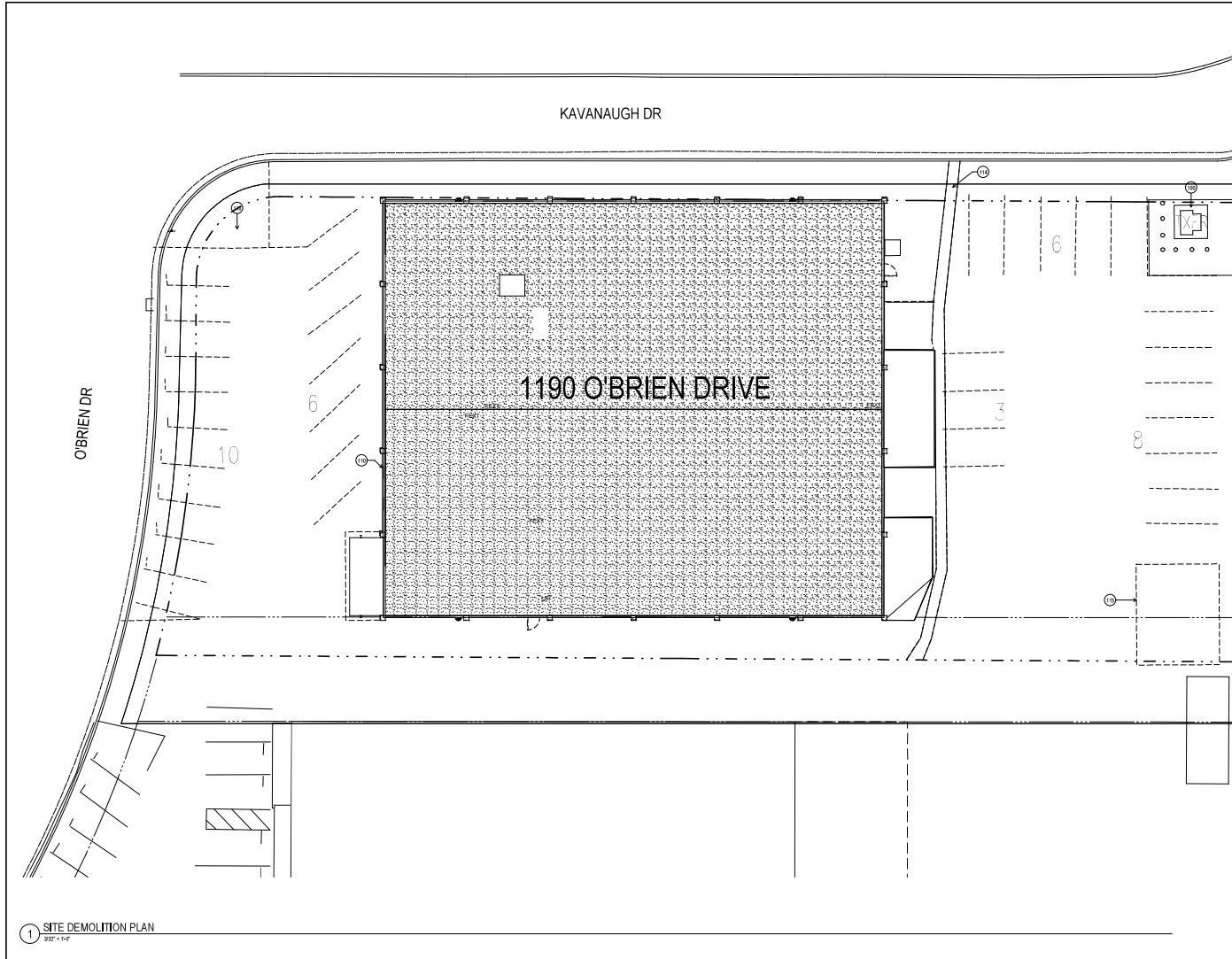
KEYNOTES

DESIGNATED EXITING FIRE EXTINGUISHER



1 EXITING PLAN - MEZZANINE LEVEL
REV. 11-19

SHEET NOTES		LEGEND		OCCUPANCY		EXIT WIDTH CALCULATIONS																																									
<ol style="list-style-type: none"> FOR ACCESSIBILITY STANDARDS REFER TO SHEETS 01-01, 01-02 AND 01-03 PROVIDE EXIT SIGNS PER 9038 IRC SECTION 703. SEE ELECTRICAL PLAN FOR EXIT SIGN LOCATION PROVIDE "EXIT" TACTILE EXIT SIGNAGE AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM PROVIDE "EXIT" ROUTE VISUAL SIGN SIGNAGE AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM IF EXIT SIGNAGE SHALL COMPLY WITH 2018 IBC CHAPTER 9 AND 2018 DFC AND SHALL BE SUBMITTED FOR REVIEW TO LOCAL AUTHORITIES PRIOR TO CONSTRUCTION. CONCEALED SPACES SHALL BE SIGNIFIED. A FLOOR PLAN PROVIDED FOR EMERGENCY PROCEDURAL INFORMATION SHALL BE POSTED AT ALL PUBLIC ENTRANCES TO THE BUILDING. INFORMATION SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING: <ol style="list-style-type: none"> LOCATION OF EXIT AND FIRE ALARM BELL STATIONS DESCRIPTION OF FIRE ALARM AND SMOKE FIRE DEPARTMENT EMERGENCY TELEPHONE NUMBER AND NOTIFICATION TO BE FOLLOWED BY RESIDENTS, NON-EMPLOYEES, AND PHYSICALLY CHALLENGED PERSONS IN THE EVENT OF AN EMERGENCY. SIGN SHALL BE PRINTED WITH A MIN. OF 1/8" HIGH NON-REFLECTIVE LETTERING PROVIDING A SHARP CONTRAST TO THE BACKGROUND. THE INFORMATION SHALL BE POSTED SO THAT THE BOTTOM EDGE OF EACH SIGNAGE IS LOCATED NOT MORE THAN 4' ABOVE THE FLOOR. SEE 9038 IRC SECTION 906. A COMPLIMENT OF FIRE EXTINGUISHERS WITH A MIN. CLASSIFICATION OF 2A:10 shall be MOUNTED SO THAT THE MAX. TRAVEL DISTANCE TO AN EXTINGUISHER IS AS LOW AS PRACTICABLE, BUT NOT IN EXCESS OF 75'. IN ACCORDANCE WITH THE DFC STANDARD, THE TOP OF THE FIRE EXTINGUISHERS SHALL BE MOUNTED NOT MORE THAN 4' FROM THE FLOOR. EXTINGUISHERS IN WALLS MUST BE MOUNTED TO WALLS WITH BRACKETING SHALL BE PROVIDED WITH SIGNAGE TO INDICATE THEIR LOCATION (DFC 906). ALL EXIT SIGNS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A SPECIAL KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. EXCEPTION PER USC, PROVIDE REAR, VISIBLE DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING "THE DOOR TO REMAIN UNLOCKED WHEN THE SPACE IS OCCUPIED." LETTERS SHALL BE 1" HIGH ON A CONTRASTING BACKGROUND. ALL EXIT DOORS FOR OCCUPANT LOADS OVER 50 PERSONS TO BE EQUIPPED WITH PAND H/W HARDWARE (DO NOT USE KEYS) MINIMUM EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 300 FEET IN COMPLIANCE WITH IBC TABLE 1072.1. CARE READERS AT EXTERIOR DOORS TO BE LOCATED MAXIMUM 4' REACH RANGE TO OPERABLE PARTS PER CBC 		<p>LEGEND</p> <ul style="list-style-type: none"> EXIT EXIT ACCESS WITH NUMBER OF OCCUPANTS NON-RATED WALL / DOOR GATE KEY MAX 4' REACH RANGE TO OPERABLE PARTS PER CBC 18-06 PAND HARDWARE SIGN RECESSED FIRE EXTINGUISHER CABINET FIRE EXTINGUISHER COVERAGE AREA EXIT SIGN 30'-0" PATH OF EXIT TRAVEL (PHET) PER 2018 IBC ITEM 1002.3.307 MAX W/ APPROVED AUTO/FIRE SPRINKLER SYSTEM 10'-0" COMMON PATH OF EGRESS PER 2018 IBC ITEM 1002.3.300 MAX W/ APPROVED AUTO/FIRE SPRINKLER SYSTEM 		<p>OCCUPANCY</p> <table border="1"> <thead> <tr> <th>Room No.</th> <th>Name</th> <th>Area</th> <th>Occupant Load Factor</th> <th>Total Occupants</th> </tr> </thead> <tbody> <tr> <td>201</td> <td>OFFICE</td> <td>488 SF</td> <td>100</td> <td>5</td> </tr> <tr> <td>202</td> <td>MECHANICAL AND STORAGE</td> <td>2,041 SF</td> <td>300</td> <td>7</td> </tr> <tr> <td>203</td> <td>MECHANICAL & STORAGE</td> <td>280 SF</td> <td>300</td> <td>1</td> </tr> </tbody> </table>		Room No.	Name	Area	Occupant Load Factor	Total Occupants	201	OFFICE	488 SF	100	5	202	MECHANICAL AND STORAGE	2,041 SF	300	7	203	MECHANICAL & STORAGE	280 SF	300	1	<p>EXIT WIDTH CALCULATIONS</p> <table border="1"> <thead> <tr> <th>EXITS</th> <th>OCCUPANT LOAD</th> <th>LOAD FACTOR</th> <th>REQ. WIDTH (INCHES)</th> <th>PROVIDED (INCHES)</th> </tr> </thead> <tbody> <tr> <td>STAR 1</td> <td>8</td> <td>0.2</td> <td>1.2</td> <td>36</td> </tr> <tr> <td>STAR 2</td> <td>7</td> <td>0.2</td> <td>1.4</td> <td>36</td> </tr> <tr> <td>TOTAL OCCUPANTS</td> <td>15</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		EXITS	OCCUPANT LOAD	LOAD FACTOR	REQ. WIDTH (INCHES)	PROVIDED (INCHES)	STAR 1	8	0.2	1.2	36	STAR 2	7	0.2	1.4	36	TOTAL OCCUPANTS	15			
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<p>DRAWN BY: Author REVIEWED BY: EM APPROVED BY: FJLST DES PROJECT NO.: 10295.001</p>																																															
<p>DATE: _____</p> <p>DESCRIPTION: _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>																																															



1 SITE DEMOLITION PLAN
3/22' x 1'-0"



SHEET NOTES

SEE CIVIL SHEETS FOR SITE DETAILS

KEYNOTES

T2	EXISTING TRANSFORMER TO REMAIN
T3	EXISTING GAS METER, SIZE OF ABOVE SFE
T4	EXISTING VALLEY GUTTER
T5	REMOVE EXISTING CONTAINERS
T6	DEAD EXISTING LANDSCAPING

LEGEND

-----	DEM'D PARKING STALL
---	(S) CURB TO BE REMOVED
---	(S) CURB TO REMAIN
---	PROPERTY LINE

DES
ARCHITECTS
ENGINEERS

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www.des-ae.com



TARLTON PROPERTIES
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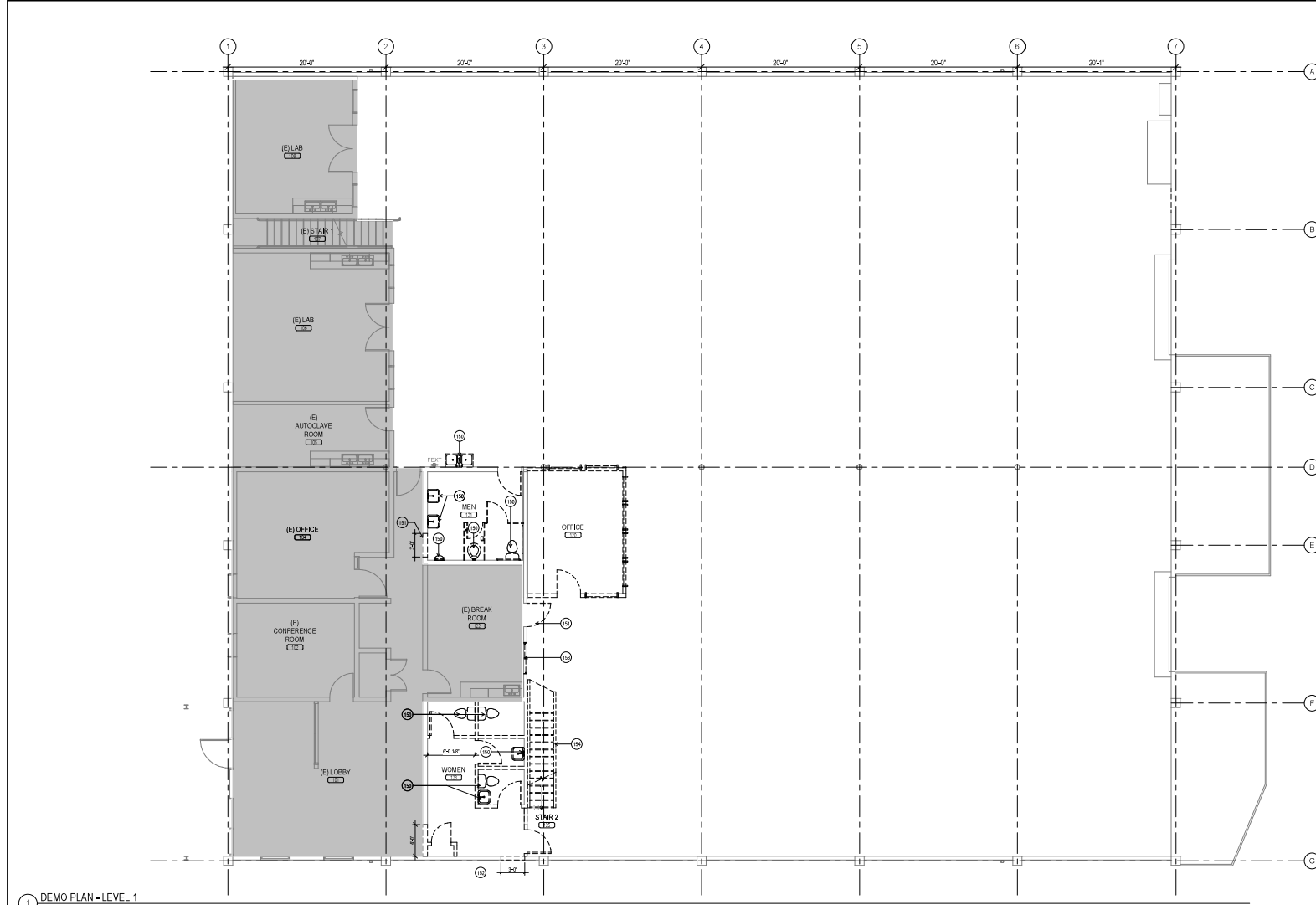
SITE DEMOLITION PLAN

DATE	DESCRIPTION
A 4/28/22	ISSUE FOR BUILDING PERMIT

DRAWN BY:	A.TANAKA
REVIEWED BY:	EM
APPROVED BY:	F.J.AST
DES PROJECT NO.:	10295.001

REGISTER OF RECORDS ARCHITECT'S SEAL
REGISTER OF RECORDS ARCHITECT'S SEAL
REGISTER OF RECORDS ARCHITECT'S SEAL
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D1.01
BLDG. SHEET NO.



1 DEMO PLAN - LEVEL 1
SHP - 157

SHEET NOTES

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE DEMOLITION ACTIVITIES SO THAT THEY ARE IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES AND THE REQUIREMENTS OF THE PROPERTY OWNER.
- DEMOLITION CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD.
- CEASE OPERATIONS AND NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF WORK APPEARS TO BE ENDANGERED OR IN CONFLICT WITH EXISTING CONDITIONS TO REMAIN. DO NOT RESUME WORK UNTIL CORRECTIVE MEASURES HAVE BEEN TAKEN.
- CAP ALL UTILITIES TO BE ABANDONED BEHIND THE FACE OF FINISH, I.E. AT WALLS, FLOORS, CEILINGS, FINISH GRADED, ETC. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR SPECIFIC REQUIREMENTS, DOCUMENT AND RECORD ALL CONCEALED TERMINATION AND CAP LOCATIONS AND ITEMS CAPPED OR REROUTED. IDENTIFY SIZE AND TYPE OF INFRASTRUCTURE INCLUDING WIRES, CONDUITS, PIPING (TYPE), ETC. SUBMIT COPIES TO ARCHITECT. ALL EXISTING ABANDONED PIPING, CONDUIT, AND WIRING NOT SCHEDULED TO BE REUSED SHALL BE REMOVED COMPLETELY.
- ASBESTOS CONTAINING PRODUCTS OR OTHER HAZARDOUS MATERIALS MAY BE PRESENT ON THE SITE OR IN THE BUILDING WHERE THE DEMOLITION WORK IS OCCURRING. IF SUSPECT MATERIALS ARE ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER FOR INSTRUCTIONS PRIOR TO PROCEEDING WITH ADDITIONAL WORK IN AREA AFFECTED. THE CONTRACTOR SHALL IMMEDIATELY POST NOTICES AND TAKE CARE TO ENSURE THE SAFETY OF ALL WORKERS, THE STAFF, AND THE PUBLIC, PER CFC SECTION 8707, ASBESTOS REMOVAL.
- VARIOUS MATERIALS, FIXTURES, AND EQUIPMENT SHOWN TO BE REMOVED MAY CONTAIN HAZARDOUS MATERIALS AND/OR LEAD. ITEMS CONTAINING HAZARDOUS MATERIALS AND/OR LEAD SHALL BE REMOVED BY A LICENSED ABATEMENT CONTRACTOR. CONTRACTOR TO COORDINATE THE REMOVAL OF ALL MATERIALS CONTAINING HAZARDOUS MATERIALS AND/OR LEAD.
- VERIFY WITH OWNER ITEMS TO BE SAVED AND/OR STORED ON SITE. ITEMS NOT WANTED BY OWNER TO BE RECYCLED OR SALVAGED.
- THE INTENT OF THE DEMOLITION PLANS IS TO SHOW THE GENERAL NATURE OF THE SCOPE OF THE DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE JOB SITE TO VERIFY THE EXISTING CONDITION, NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

- KEYNOTES**
- | | |
|-----|--|
| 001 | REMOVE EXISTING FIXTURES |
| 011 | REMOVE EXISTING DOOR, INSET WITH NEW WALL |
| 021 | REMOVE EXISTING SFRING, WHILE SET NEW WALL |
| 031 | REMOVE EXISTING STAIR AND HORIZONTAL |
- PERFORM ALL DEMOLITION IN AN ORDERLY MANNER. CAUSE NO DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. PROTECT ALL EXISTING FINISHES, DOORS, FRAMES, ETC. WHICH ARE TO REMAIN. DEMOLITION CONTRACTOR SHALL PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COST TO THE OWNER.
 - COMPLY WITH ANSI A10.8 "AMERICAN NATIONAL STANDARD SAFETY REQUIREMENTS FOR DEMOLITION".
 - DISPOSE OF ALL DEMOLISHED OR REMOVED MATERIALS LEGALLY OFF THE SITE. COMPLY WITH ALL LOCAL HAULING AND DISPOSAL REQUIREMENTS.
 - CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
 - MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
 - SCHEDULE ALL SERVICE SHUTDOWNS WITH THE OWNER. NOTIFY OWNER A MINIMUM OF 24 HOURS PRIOR TO ANY SHUTDOWN.

LEGEND

	(E) WALL TO REMAIN
	(E) 1-HOUR RATED WALL TO REMAIN
	(E) WALL TO BE REMOVED
	OUT OF SCOPE



DES ARCHITECTS ENGINEERS

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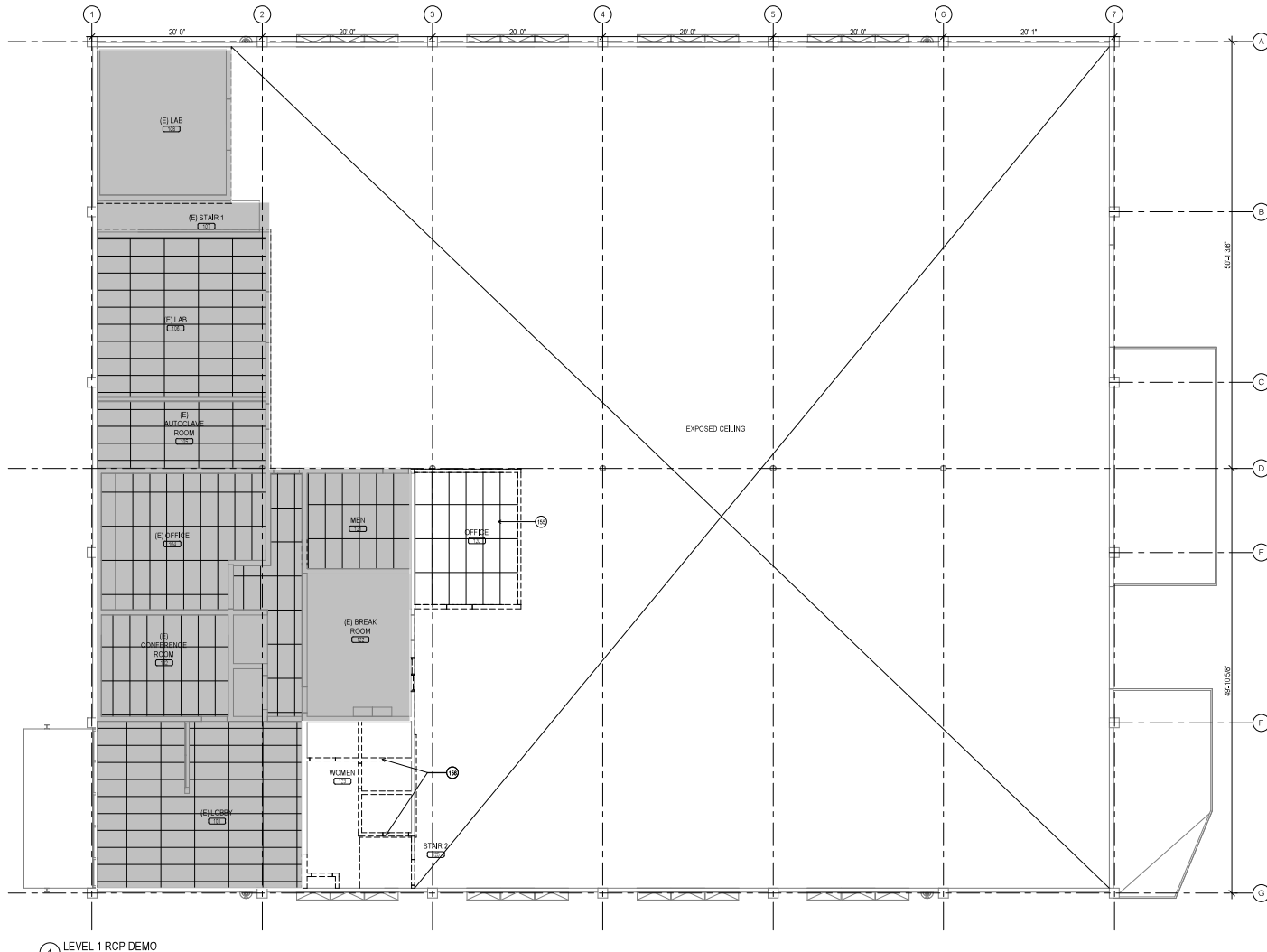
DEMO PLAN - LEVEL 1

DATE	DESCRIPTION
4/28/22	ISSUE FOR BUILDING PERMIT

DRAWN BY: Author
REVIEWED BY: EM
APPROVED BY: F.JAST
DES PROJECT NO.: 10295.001

Blue Print of Record
Professional Seal: L. JAST, ARCHITECT, No. C-34893, 4-18-21, STATE OF CALIFORNIA

D2.01
BLDG. SHEET NO.



1 LEVEL 1 RCP DEMO
SHP 1-14'

SHEET NOTES

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- CEASE OPERATIONS AND NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF WORK APPEARS TO BE ENDANGERED OR IN CONFLICT WITH EXISTING CONDITIONS TO REMAIN. DO NOT RESUME WORK UNTIL CORRECTIVE MEASURES HAVE BEEN TAKEN.
- CAP ALL UTILITIES TO BE ABANDONED BEHIND THE FACE OF FINISH I.E. AT WALLS, FLOORS, CEILINGS, FINISH GRADED, ETC. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR SPECIFIC REQUIREMENTS, DOCUMENT AND RECORD ALL CONCEALED TERMINATION AND CAP LOCATIONS AND ITEMS CAPPED OR REQUESTED. IDENTIFY SIZE AND TYPE OF INFRASTRUCTURE INCLUDING WIRES, CONDUITS, PIPING (TYPE), ETC. SUBMIT COPIES TO ARCHITECT. ALL EXISTING ABANDONED PIPING, CONDUIT, AND WIRING NOT SCHEDULED TO BE REUSED SHALL BE REMOVED COMPLETELY.
- ASBESTOS CONTAINING PRODUCTS OR OTHER HAZARDOUS MATERIALS MAY BE PRESENT ON THE SITE OR IN THE BUILDING WHERE THE DEMOLITION WORK IS OCCURRING. IF SUSPECT MATERIALS ARE ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER FOR INSTRUCTIONS PRIOR TO PROCEEDING WITH ADDITIONAL WORK IN AREA AFFECTED. THE CONTRACTOR SHALL IMMEDIATELY POST NOTICES AND TAKE CARE TO ENSURE THE SAFETY OF ALL WORKERS, THE STAFF, AND THE PUBLIC. PER CFC SECTION 8707, ASBESTOS REMOVAL.
- VARIOUS MATERIALS, FIXTURES, AND EQUIPMENT SHOWN TO BE REMOVED MAY CONTAIN HAZARDOUS MATERIALS AND/OR LEAD. ITEMS CONTAINING HAZARDOUS MATERIALS AND/OR LEAD SHALL BE REMOVED BY A LICENSED ABATEMENT CONTRACTOR. CONTRACTOR TO COORDINATE THE REMOVAL OF ALL MATERIALS CONTAINING HAZARDOUS MATERIALS AND/OR LEAD.
- VERIFY WITH OWNER ITEMS TO BE SAVED AND/OR STORED ON SITE. ITEMS NOT WANTED BY OWNER TO BE RECYCLED OR SALVAGED.
- THE INTENT OF THE DEMOLITION PLANS IS TO SHOW THE GENERAL NATURE OF THE SCOPE OF THE DEMOLITION, THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE JOB SITE TO VERIFY THE EXISTING CONDITION, NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- PERFORM ALL DEMOLITION IN AN ORDERLY MANNER, CAUSE NO DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. PROTECT ALL EXISTING FINISHES, DOORS, FRAMES, ETC. WHICH ARE TO REMAIN. DEMOLITION CONTRACTOR SHALL PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COST TO THE OWNER.
- COMPLY WITH ANSI A10.8 "AMERICAN NATIONAL STANDARD SAFETY REQUIREMENTS FOR DEMOLITION".
- DISPOSE OF ALL DEMOLISHED OR REMOVED MATERIALS LEGALLY OFF THE SITE. COMPLY WITH ALL LOCAL HAULING AND DISPOSAL REQUIREMENTS.
- CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- SCHEDULE ALL SERVICE SHUTDOWNS WITH THE OWNER. NOTIFY OWNER A MINIMUM OF 24 HOURS PRIOR TO ANY SHUTDOWN.

KEYNOTES

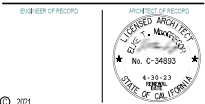
- REMOVE CEILING AND LIGHT FIXTURES
- PATCH ANY HOLE WHERE WALLS WERE REMOVED, REMOVE EXISTING LIGHT FIXTURES

LEGEND

- (E) WALL TO REMAIN
- 1-HOUR RATED WALL TO REMAIN
- (E) WALL TO BE REMOVED
- OUT OF SCOPE

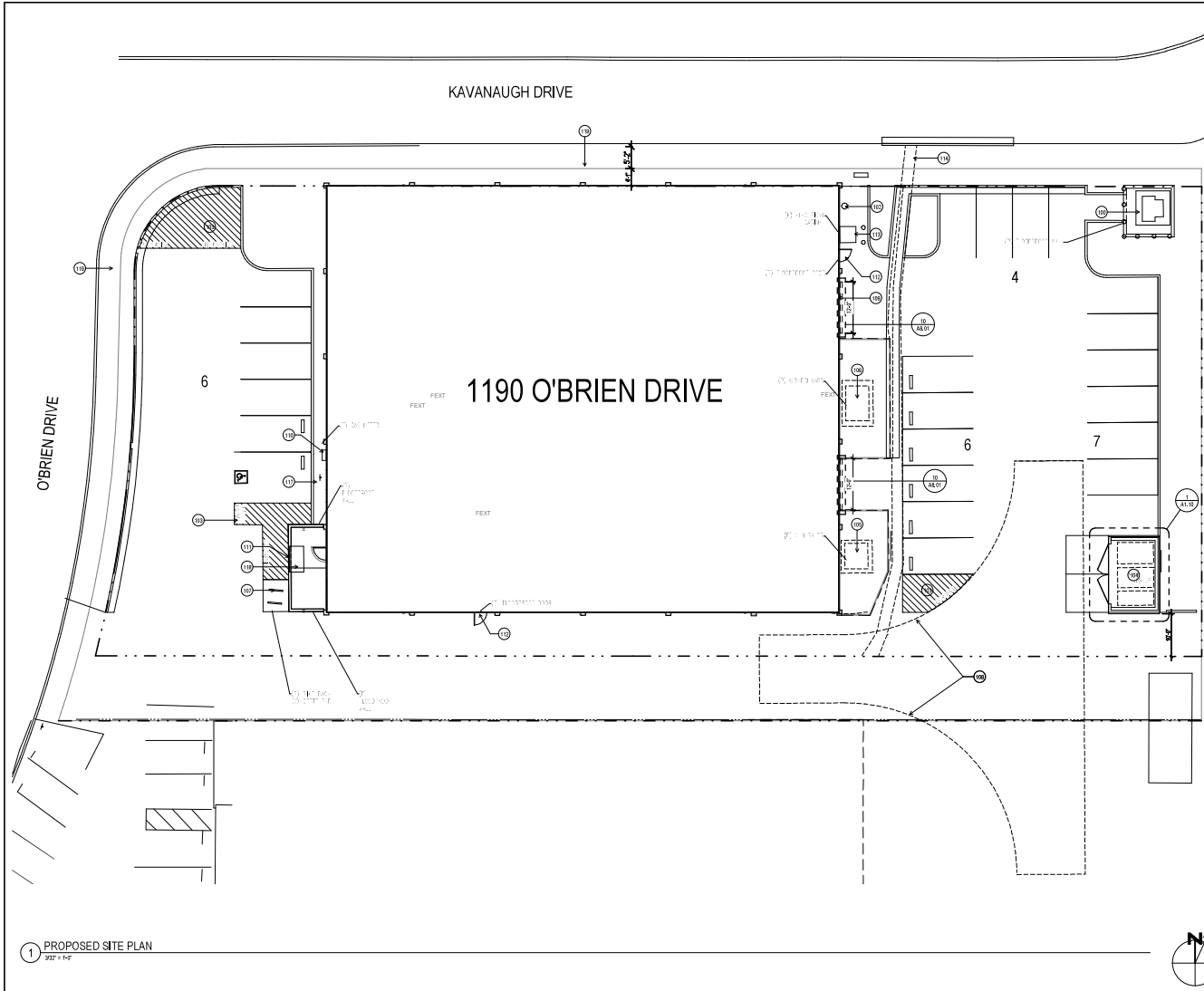
DATE	DESCRIPTION
4/28/22	ISSUE FOR BUILDING PERMIT

DRAWN BY:	Author
REVIEWED BY:	EM
APPROVED BY:	FJAST
DES PROJECT NO.:	10295.001



Sheet No. D3.01
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1 PROPOSED SITE PLAN
3/12' x 14'

PARKING COUNT

VEHICULAR PARKING	REQUIRED	SIZE	QUANTITY
	1.5-2.5 SPACES / 1,000 SF PER L.S. ZONING	VARIABLES	23 MIN. 38 MAX.
	PROVIDED		
	STANDARD STALLS	8' 6" X 16' 6"	22
	ACCESSIBLE STALLS	VAN ACCESSIBLE 12' 0" X 16' 0"	1
	TOTAL PROVIDED		23

BICYCLE PARKING	REQUIRED	QUANTITY
	SHORT TERM MIN. 5% OF VEHICULAR PARKING STALLS, MINIMUM 2 SPACES	2
	LONG TERM MIN. 5% OF VEHICULAR PARKING STALLS, MINIMUM 1 SPACE	1
	PROVIDED	
	SHORT-TERM BIKE PARKING (BIKE RACKS)	2
	LONG-TERM BIKE PARKING (INDOOR BIKE RACKS)	2
	TOTAL PROVIDED	4

DES
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TARLTON PROPERTIES
1530 O'BRIEN DRIVE, SUITE C
MENLOPARK, CA 94025

1190 O'BRIEN DRIVE

1190 O'Brien Dr,
Menlo Park, CA 94025.

SITE PLAN

DATE	DESCRIPTION
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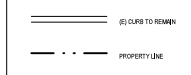
SHEET NOTES

SEE CIVIL SHEETS FOR SITE DETAILS

KEYNOTES

000	EXISTING TRANSFORMER TO REMAIN
001	EXISTING STAIRCASE
002	NO PARKING SPACE
003	NEW TRASH ENCLOSURE. SEE SHEET A1.0
004	NEW GENERATOR ON CONCRETE PAD @ 17' ABOVE BFE IN EXISTING STORAGE ENCLOSURE. SEE STRUCTURAL DRAWINGS.
006	NEW CONDENSER ON CONCRETE PAD @ 17' ABOVE BFE IN EXISTING STORAGE ENCLOSURE. SEE STRUCTURAL DRAWINGS.
007	GAS LINE LOOPS ON CONCRETE PAD. SEE STRUCTURAL DRAWINGS.
008	TRUCK DRIVEWAY
009	EXISTING ROLLUP DOOR WITH NEW FLOOD BARRIER
010	EXISTING GAS METER, PANEL 17' ABOVE GROUND
011	NEW 4\"/>

LEGEND



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DES PROJECT NO.: 10295.001

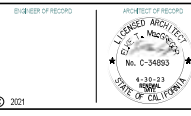


... **A1.01** ...
BLDG. SHEET NO.

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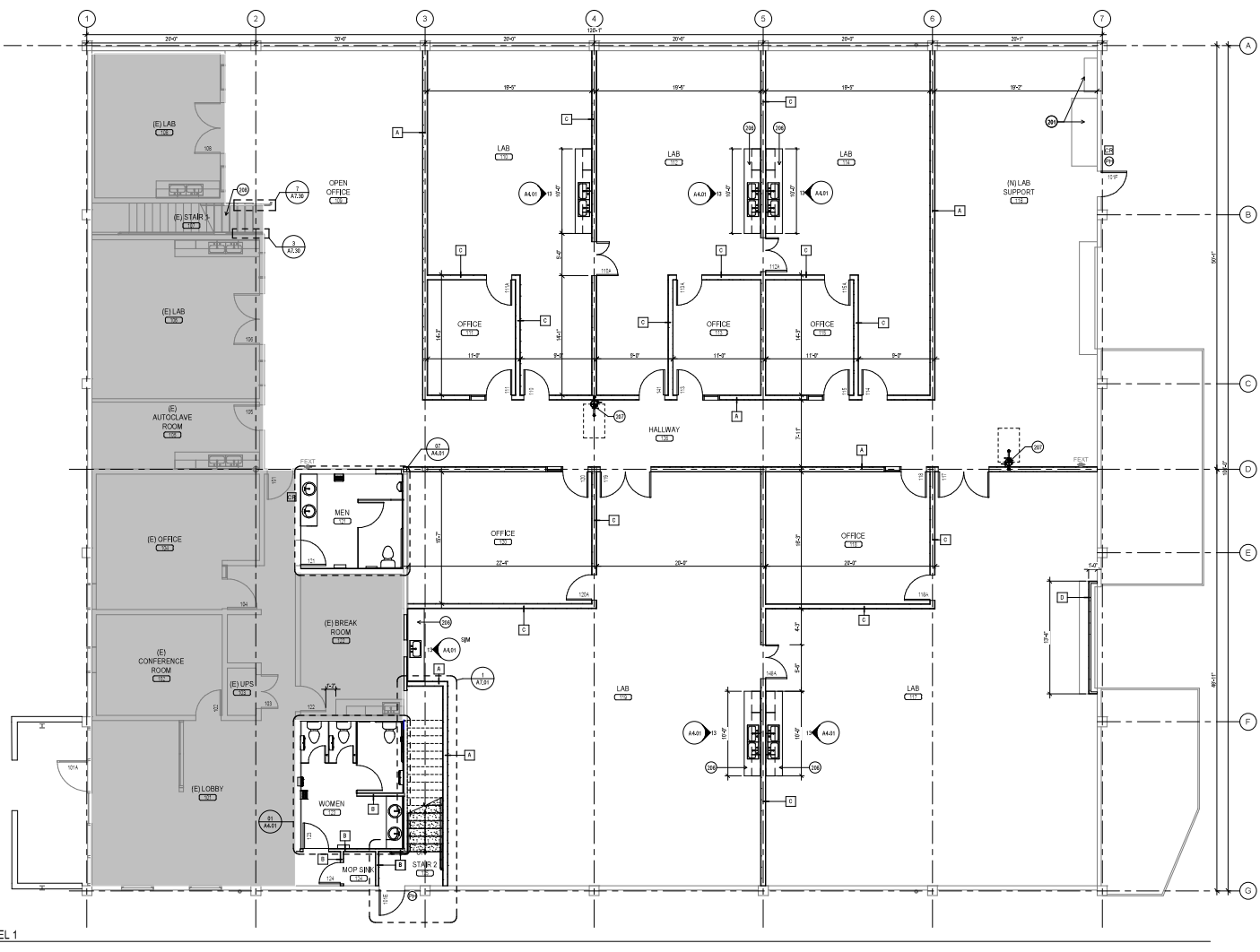
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BLDG. **A2.01** SHEET NO.



1 PLAN - LEVEL 1
3/16" = 1'0"

SHEET NOTES

- ALL DIMENSIONS ARE TO THE FACE OF FINISH LUDAL.
- ALL NEW PARTITIONS ARE TO BE TYPE A-1. UGL/AL-FOR PARTITION TYPES DETAILS SEE SHEET A6.10.
- COORDINATE LOCATION AND PROVIDE BLOCKING, BRACKETS AND/OR REINFORCEMENT IN SCHEDULES FOR ALL CABINETS, COUNTERTOPS AND ANY WALL-MOUNTED SYSTEMS. REFER TO THE PLANS, ELEVATIONS AND DETAILS FOR LOCATION OF ITEMS WHICH MAY REQUIRE SUPPORT.
- REFER TO SHEET A6.20 FOR DOOR AND HARDWARE SCHEDULE.
- ALL DOORS TO COMPLY WITH THE REQUIRED MINIMUM CLEARANCE AT THE DOGGE. ALL DOORS ARE LOCATED TO COMPLY WITH THE REQUIRED MINIMUM CLEARANCE AT THE DOOR UNLESS OTHERWISE NOTED.
- ALL DOORS AND PENETRATIONS IN PARTITIONS SHALL MEET ALL THE REQUIRED FIRE PROTECTION RATING OF THE WALL OR PARTITION, WHERE A CONFLICT BETWEEN PARTITION RATING AND DOOR FRAME RATING OCCURS NOTIFY ARCHITECT PRIOR TO PROCEEDING.
- FOR GENERAL ACCESSIBILITY STANDARDS & DETAILS SEE SHEET G1.0-5.01.04.

KEYNOTES

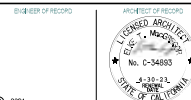
201	EXISTING CEILING TO REMAIN
202	TYPICAL GAS PIPING (SEE ELEVATION 13A.01)
203	EMERGENCY SHOWER & EYEWASH STATION
204	EXISTING STAIR TO REMAIN NEW HANDRAILS

LEGEND

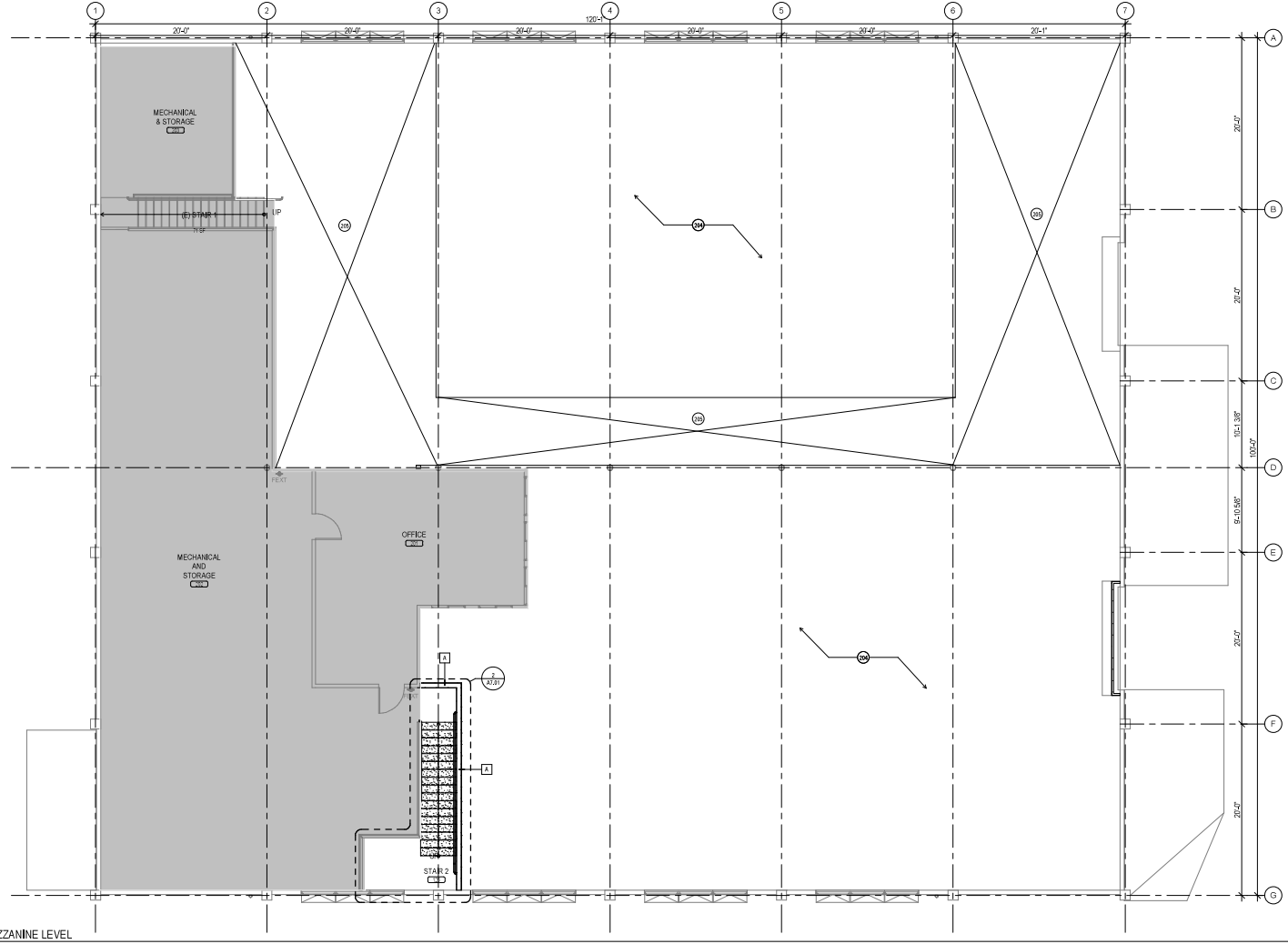
- NOT IN SCOPE
- NON-RATED GYPSUM BO. WALL
- 1-HR RATED WALLS
- 2-HR RATED WALLS
- PARTITION TYPES
- WINDOW TYPES
- 20M RECEDED FIRE EXTINGUISHER CABINET
- WALL MOUNT FIRE EXTINGUISHER W/ BRACKET
- ELECTRICAL PANEL
- DOOR TAG
- GRID READER, REFER TO DOOR SCHEDULE
- PANEL HARDWARE, REFER TO DOOR SCHEDULE

DATE	DESCRIPTION
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REVIEWED BY: EM
APPROVED BY: F.JAST
DES PROJECT NO.: 10295.001



2021
BLDG. SHEET NO. **A2.02**



1 PLAN - MEZZANINE LEVEL
3/8" = 1'-0"

SHEET NOTES

1. ALL DIMENSIONS ARE TO THE FACE OF FRAME/LOCAL.
2. ALL NEW PARTITIONS ARE TO TYPE A-1. UZAF FOR PARTITION TYPES DETAILS SEE SHEET AS-19.
3. COORDINATE LOCATION AND PROVIDE BLOTTING, BACKING AND/OR REINFORCEMENT IN PARTITIONS FOR ALL CABINETS, COUNTERTOPS AND ANY WALL-MOUNTED ITEMS. REFER TO THE PLANS, ELEVATIONS AND DETAILS FOR LOCATION OF ITEMS WHICH MAY REQUIRE SUPPORT.
4. REFER TO SHEET A2.03 FOR DOOR AND HARDWARE SCHEDULE.
5. ALL DOORS TO COMPLY WITH THE REQUIRED MANEUVERING CLEARANCE AT THE DOOR. ALL DOORS ARE LOCATED TO OPEN FROM WALL PERPENDICULAR TO THE DOOR UNLESS OTHERWISE NOTED.
6. ALL DOORS AND PENETRATIONS IN PARTITIONS SHALL MEET THE REQUIRED FIRE PROTECTION RATINGS OF THE WALL OR PARTITION, WHERE A CONFLICT BETWEEN PARTITION RATING AND DOORFRAME RATING OCCURS NOTIFY ARCHITECT PRIOR TO PROCEEDINGS.
7. FOR GENERAL ACCESSIBILITY STANDARDS & DETAILS SEE SHEET 01A1-G154.

KEYNOTES

001	ELEV. 1' ABOVE BELOW
002	OPENS TO STRUCTURE

LEGEND

- NOT IN SCOPE
- NON-RATED GYPSUM BO. WALL
- 1HR RATED WALLS
- 2HR RATED WALLS
- PARTITION TYPES
- WINDOW TYPES
- SEMI-RECESSED FIRE EXTINGUISHER CABINET
- WALL MOUNT FIRE EXTINGUISHER W/ BRACKET
- ELECTRICAL PANEL
- DOOR TAG
- CARD READER, REFER TO DOOR SCHEDULE
- PANEL HARDWARE, REFER TO DOOR SCHEDULE

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