



REGULAR MEETING AGENDA

Date: 2/5/2025
Time: 6:30 p.m.
Location: [Zoom.us/join](https://zoom.us/join) – ID# 865 4847 4804 and
Arrillaga Recreation Center, Oak Room
700 Alma St., Menlo Park, CA 94025

Commissioner Switzer will be participating from:
Graduate Hotel
70 N East Ave
Fayetteville, AR 72701

Members of the public can listen to the meeting and participate using the following methods.

How to participate in the meeting

- Access the meeting, in-person, at the Arrillaga Recreation Center, Oak Room
- Access the meeting real-time online at:
[Zoom.us/join](https://zoom.us/join) –Meeting ID# 865 4847 4804
- Access the meeting real-time via telephone at:
(669) 900-6833
Meeting ID# 865 4847 4804
Press *9 to raise hand to speak

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Regular Session

- A. Call To Order**
- B. Roll Call**
- C. Public Comment**

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda. Each speaker may address the Commission once under public comment for a limit of three minutes. You are not required to provide your name or City of residence, but it is helpful. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under public comment other than to provide general information.

- D. Presentations**

- D1. Presentation: Introduction to new City sustainability program to electrify homes**

E. Regular Business

- E1. Approve the Housing Commission meeting minutes for January 7, 2025 ([Attachment](#))
- E2. Consider and make a recommendation to the Planning Commission to approve a Below Market Rate Housing Agreement with 3705 Haven LLC for 3705 Haven Avenue ([Staff Report #25-002-HC](#))

F. Reports and Announcements

- F1. Commissioner updates
- F2. Future agenda items
- F3. Staff updates and announcements

G. Adjournment

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

For appeal hearings, appellant and applicant shall each have 10 minutes for presentations.

If you challenge any of the items listed on this agenda in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Menlo Park at, or prior to, the public hearing.

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SPECIAL MEETING MINUTES – DRAFT

Date: 1/7/2025
Time: 6:30 p.m.
Location: Teleconference and
 Arrillaga Recreation Center, Oak Room
 700 Alma St., Menlo Park, CA 94025

A. Call To Order

Chair Merriman called the meeting to order at 6:36 p.m.

B. Roll Call

Present: Beeli, Leitch, Portillo, Merriman, Switzer, Trempont
Absent: Onap
Staff: Housing Manager Tim Wong, Management Analyst Arianna Milton

C. Regular Business

- C1. Approve the Housing Commission meeting minutes for December 4, 2024 (Attachment)

ACTION: Motion and second (Leitch/ Switzer), to approve the Housing Commission meeting minutes for December 4, 2024, passed 6-0-1 (Onap absent).

- C2. Review and make recommendation on proposed modifications to the Below Market Rate Housing Guidelines and the Below Market Rate Housing Agreement with Habitat for Humanity Greater San Francisco for the proposed housing development located at 335 Pierce Road (Staff Report #25-001-HC) (Attachment)

Chair Merriman was recused and exited the meeting.

Housing Manager Tim Wong made the presentation.

The Commission received clarification from Habitat for Humanity representative Sydney Stone about the proposed modifications for the project, the proposed construction timeline and how the City's existing preferences and legacy list will be used in the lottery system to fill the units.

ACTION: Motion and second (Portillo/ Trempont), to recommend approval of modifications to the Below Market Rate Housing Guidelines and the Below Market Rate Housing Agreement with Habitat for Humanity Greater San Francisco for the proposed housing development located at 335 Pierce Road, passed 5-0-1-1 (Onap absent, Merriman recused).

Chair Merriman rejoined the meeting.

D. Reports and Announcements

- D1. Commissioner updates

None.

D2. Future agenda items

The Commission discussed work being done by Haven Energy and expressed interest in connecting with other City of Menlo Park commissions.

Staff shared the City's collaboration on its rehab programs with Peninsula Clean Energy and Habitat for Humanity and the potential for a sustainability presentation at a future Housing Commission meeting.

The Commission discussed interest in receiving an update on Housing Element implementation.

D3. Staff updates and announcements

Staff clarified that the Annual Performance Report will include an update on the implementation and is scheduled as an agenda item for the Housing Commission's March meeting date.

Staff provided updates on February Housing Commission agenda items and an upcoming agenda item on redevelopment of the downtown parking lots for the Jan. 14 City Council meeting.

Staff requested that the Commission provide outreach ideas for May's upcoming Affordable Housing Month by April.

E. Adjournment

Chair Merriman adjourned the meeting at 7:22 p.m.

Management Analyst I Arianna Milton



STAFF REPORT

Housing Commission

Meeting Date: 2/5/2025
Staff Report Number: 25-002-HC

Regular Business: Consider and make a recommendation to the Planning Commission to approve a Below Market Rate Housing Agreement with 3705 Haven LLC for a residential development at 3705 Haven Avenue

Recommendation

Staff recommends that the Housing Commission review and recommend approval to the Planning Commission of the draft Below Market Rate (“BMR”) Housing Agreement and Declaration of Restrictive Covenants (“Agreement”) for 14 on-site BMR rental units (which includes three BMR units as the applicant’s community amenity for bonus level development) as part of a proposed eight-story, 112-unit housing development project, located at 3705 Haven Avenue (“Project”) as described in the draft Agreement (Attachment A).

Policy Issues

Each BMR Housing Agreement is considered individually. The Housing Commission should consider whether the BMR Housing proposal is in compliance with the requirements of the City’s BMR Housing Program (Menlo Park Municipal Code (“MPMC”) Chapter 16.96, referred to as the “BMR Ordinance”) and the BMR Housing Program Guidelines (“BMR Guidelines”) adopted by the City Council to implement the BMR Ordinance.

As part of HCD’s 2023 statewide determination summary, Senate Bill (SB) 35 (Streamlined, Ministerial Housing Development Approvals) streamlines permit processing when cities do not meet certain affordable housing criteria, Menlo Park is one of only 42 jurisdictions in California that met its pro-rated lower (very low- and low-) and above moderate-income Regional Housing Needs Allocation (RHNA) for the previous reporting period. As one of few jurisdictions that have produced sufficient amounts of housing annually to meet its housing targets since SB 35 became effective in January 2018, the SB 35 permit streamlining requirements do not apply. The project would provide deed-restricted units at very-low and moderate income levels, and non-deed-restricted market rate units, each of which would contribute toward the City’s RHNA compliance.

Background

Site location

The project site is a 0.66-acre, Residential Mixed-Use, Bonus (“R-MU-B”) zoned parcel located in the Bayfront area of the City, at 3705 Haven Avenue. For purposes of this staff report, Bayfront Expressway (California State Route 84) is considered to have an east-west orientation, and all compass directions referenced will use this orientation. The Project site is located west of the Bayfront Expressway/Marsh Road intersection and north of the Bayshore Freeway (US-101).

More specifically, the Project is located at the second bend in the road where Haven Avenue transitions

from a north-south to an east-west orientation. The parcels to the west of the project site are developed with multi-family residential uses and are located in the R-4-S (AHO) (High Density Residential, Special – Affordable Housing Overlay) zoning district. The adjacent parcel to the north contains a two-story building with professional office uses and the parcel to its north is the site of a recently approved 163-room hotel (Moxy). Both of these parcels are zoned O-B (Office, Bonus). Parcels south of the Project site, across Haven Avenue, are located in the City of Redwood City. The parcel to the east, across Haven Avenue, contains a one-story building occupied by FedEx, zoned as R-MU-B. A location map is included as Attachment B.

Housing Crisis Act of 2019 Senate Bill 330 application and previous proposal

The applicant has invoked Senate Bill 330 of 2019 (“SB 330”) provisions for the project. SB 330 was designed to remove barriers to the development of housing projects. Some key features of SB 330 include shortening the timeframe for housing development project review under the Permit Streamlining Act and limiting the review of a housing development project that complies with all applicable objective general plan and zoning standards to no more than five hearings. In addition to the five hearing limit, cities are prohibited from adding new fees or raising existing fees beyond automatic annual escalation after the date a project proponent submits a complete preliminary application for a housing development project. Furthermore, cities are prevented from requiring housing development projects to comply with an ordinance, policy, or standard, including subjective or objective development standards, not in effect when the complete preliminary application was submitted. While the City can apply subjective standards to a proposed housing development project that do not reduce a project’s density, the Housing Accountability Act contains provisions that limit the ability of a city to deny or condition a project that satisfies applicable, objective standards. If a housing development project complies with all applicable objective general plan, zoning ordinance, and subdivision standards and criteria (including design review standards) in effect at the time the application is deemed complete, the City may not deny or impose a condition that the project be developed at a lower density, unless the City makes written findings supported by a preponderance of evidence that there is a specific adverse impact on public health or safety that cannot be satisfactorily mitigated.

On October 12, 2022, under SB 330, the applicant submitted a housing development project for 99 units, with an approximately 5,718-square-foot commercial space. The Planning Commission first reviewed the application on December 18, 2023 as part of a study session and a scoping meeting for an Environmental Impact Report (“EIR”) to evaluate the project’s impacts under the California Environmental Quality Act (“CEQA”). On March 22, 2024, the applicant submitted revised plans proposing to remove the commercial space and develop a residential project with 112 rental apartment units. The City and its CEQA consultant evaluated the revised scope and determined that the project would qualify to be evaluated under the Community Plan Exemption (“CPE”) from CEQA. The CPE, codified in Public Resources Code Section 21083.3 and CEQA Guidelines Section 15183, helps streamline the environmental review process for projects that are consistent with the land use and density designations in community plans, zoning regulations, or general plan policies that have been analyzed in a certified EIR. The project is consistent with ConnectMenlo (the City’s General Plan Update) and the City’s zoning designation, which were covered under the ConnectMenlo EIR and the Housing Element Update Subsequent EIR, so any further environmental review would be limited to impacts that are “peculiar” to the project or the project site. The City prepared a CPE checklist to confirm that no such peculiar impacts exist, and determined the project is exempt from additional CEQA review.

Analysis

Project description

The applicant is proposing to comprehensively redevelop the 0.66 acre site, demolish an existing 10,361-square-foot single-story commercial building and build an eight-story, 112-unit multi-family rental apartment building, with associated open space, podium parking, and infrastructure improvements, utilizing the City's density bonus allowance and benefits pursuant to the State Density Bonus Law, which include incentives, concessions, and waivers, under Gov. Code, § 65915, subs. (d)(2)(C), (e)(1), (f)(2), (p), discussed in detail later in the report.

The Project requires the following actions and approvals:

- Use permit for the construction of bonus level development,
- Architectural control for the design of the multi-family apartment building,
- Heritage tree removal permit to remove three on-site heritage trees,
- BMR Housing Agreement, and
- Environmental review.

The Planning Commission is the final decision-making body on all requested entitlements for the proposed project, unless appealed to the City Council. The applicant's project description letter and select sheets from the project plans are included as Attachments C and D, respectively.

With the allowed State Density Bonus, the project is entitled to a density of 170 dwelling units per acre (du/acre), compared to the maximum permitted residential density for bonus level developments under the Zoning Ordinance of 100 du/ac. The total project would have a residential floor area ratio (FAR) of approximately 409 percent to accommodate the additional density, compared to a 225 percent maximum FAR permitted for bonus level residential developments under the Zoning Ordinance. The applicant is proposing to provide a total of 56 parking spaces,, consistent with the State Density Bonus Law but fewer than required by the Zoning Ordinance (please see section on Requested Concessions and Waivers discussion later). In addition, the Zoning Code requires unbundled parking, which means that tenants would need to pay for parking spaces separately from their rent. The spaces would be available to rent on a first come first serve basis.

BMR Housing Program and related requirements

The applicant is required to comply with the City's BMR Ordinance and BMR Guidelines adopted by the City Council. Projects in the R-MU-B zoning district are required to design and construct on-site inclusionary affordable housing as part of the project, unless otherwise approved by the City Council. For developments of 20 or more units, the City's BMR Ordinance requires 15 percent of the total number of proposed units under the City's density allowance (i.e., before application of the State Density Bonus Law) to be provided at below market rate to very-low, low-, and moderate-income households in compliance with the BMR Guidelines. The BMR Ordinance requires the applicant to submit a BMR housing proposal for review by the Housing Commission. The applicant's BMR proposal letter and State Density Bonus letter are attached herein as Attachments E and F, respectively.

The R-MU-B zoning permits a maximum of 66 units on the project site before accounting for the State Density Bonus Law. To comply with the City's BMR Housing Program, the applicant is proposing 15 percent of the 66 units, i.e., 10 units, to be set aside for seven very-low income households and three moderate income households. These units are generally referred to as BMR units or inclusionary units. The project also includes three additional units affordable to very-low income households as a community amenity, and one additional unit affordable to a moderate income household for the purposes of the requested density bonus under State Density Bonus Law. The three community amenity units and one state density bonus units are in addition to the required inclusionary units, and all 14 units are collectively referred to as BMR rental units. The inclusionary and community amenity BMR units are subject to the City's BMR Guidelines

except as modified through the Project’s reliance on the State Density Bonus Law. Accordingly, the project proposes a total of 14 BMR units, ten of which would be affordable to very-low income households and four of which would be affordable to moderate income households. This level of affordability allows the project to be eligible for use of State Density Bonus Law, for a total of a 72.5 percent density increase above the maximum zoning density of 100 du/ac. The Project is requesting a 69.7 percent density bonus to provide 112 units (66 units + 46 bonus units), which is less than the maximum density bonus the project is entitled to under State Density Bonus Law (114 units, or 66 units + 48 bonus units). All BMR units (inclusive of ten very-low and four moderate-income households) will be addressed in a single BMR agreement.

Table 1 provides a breakdown of the maximum dwelling units per acre, units and associated BMR units allowed.

| Table 1: Allowable number of units and BMR units | | | | |
|--|-----------|------------|---------------------|------------------|
| | R-MU Base | R-MU Bonus | State Density Bonus | Project Proposal |
| Dwelling units per acre | 30 | 100 | 173 | 170 |
| Number of dwelling units allowed | 20 | 66 | 114 | 112 |
| Total number of BMR units | 3 | 10 | 14* | 14* |

* Inclusionary BMR units and additional BMR contribution

Table 2 below provides a breakdown of the unit type and size of the BMR units for the project.

| Table 2: Unit breakdown | | | | | | | |
|------------------------------|---------------------------|------------------------------|-------------------------------|--------------------------|--------------------|--------------------|------------------------|
| Unit type | Average unit size sq. ft. | Average MR unit size sq. ft. | Average BMR unit size sq. ft. | Total unit count by type | Very Low BMR count | Moderate BMR Count | Market Rate Unit count |
| Studio | 586 | 594 | 534 | 36 | 3 | 2 | 31 |
| One-bedroom | 802 | 809 | 755 | 49 | 5 | 1 | 43 |
| Two-bedroom | 999 | 1,008 | 924 | 26 | 2 | 1 | 23 |
| Three-bedroom | 1,583 | 1,583 | N/A | 1 | 0 | 0 | 1 |
| Total Apartment Count | - | - | - | 112 | 10 | 4 | 98 |

Select plan sheets that include a site plan with project data illustrating the size of the units, and floor plans and elevation drawings of the proposed multi-family apartment building are provided in Attachment D. As shown on the proposed elevations, the exterior of the BMR units would be indistinguishable from those of the market-rate units with the same architectural style. However, the applicant has requested a development waiver to allow the BMR units to be smaller than the market-rate units as allowed by State Density Bonus Law. Section 5.1 of the BMR Guidelines state the BMR units should be distributed throughout the development. However, the BMR units are not proposed on all floors. The floor plans identify which of the units within the apartment building would be initially designated as BMR units, no BMR units are proposed for the top two levels (floors seven and eight). The BMR units may float thereafter based on availability.

At this time, staff believes that the proposed number of BMR units, unit design, and affordability levels proposed for the rental apartment building meet the requirements of the BMR Guidelines as modified pursuant to the State Density Bonus Law. However, staff would have preferred if the applicant could provide a BMR unit on the top two floors, which currently have no BMR units proposed, to evenly distribute across the development.

Table 3 below shows the initial distribution of the total 14 BMR units, unit type, location in the building and those that are proposed as community amenity.

| Table 3: Initial BMR Rental Unit Location | | |
|---|--------------|-------|
| Unit type | BMR Category | Floor |
| Studio | Very-Low | 2 |
| One-Bedroom | Very-Low | 2 |
| Two-Bedroom | Very-Low | 2* |
| Studio | Very-Low | 3 |
| One-Bedroom | Very-Low | 3 |
| Two-Bedroom | Very-Low | 3* |
| Studio | Very-Low | 4 |
| One-Bedroom | Very-Low | 4 |
| Two-Bedroom | Moderate | 4 |
| Studio | Moderate | 5 |
| One-Bedroom | Very-Low | 5* |
| One-bedroom | Very-Low | 5 |
| Studio | Moderate | 6 |
| One-bedroom | Moderate | 6 |

*Includes units to fulfill the community amenities requirements of the project.

Requested concessions and waivers

The applicant’s State Density Bonus letter (Attachment F) details their requests for concessions and waivers. Under the State Density Bonus Law, projects are allowed to request concessions and waivers. Concessions are defined as a reduction in site development standards or modification of zoning ordinance requirements that result in actual, identifiable cost reductions; and waivers are modifications to a development standard that would physically preclude the construction of the project with its proposed density. Based on the Project’s proposed levels of affordability under the State Density Bonus Law, the project is allowed three concessions, unlimited development waivers, and parking reductions as specified. The following requested concessions would allow deviations from the Zoning Ordinance, whereas the requested waivers would allow deviations from the physical objective development standards that are part of the requirements of the R-MU-B zoning district. The applicant notes that these concessions and waivers would allow the Project to be constructed at the allowable densities without loss of affordable units. Concessions and waivers may only be denied if the city finds that the request (1) results in a health and safety impact based on a conflict with an objective standard; (2) violates state or federal law; or (3) has a significant adverse effect on a historic resource. In addition to the above findings, a concession may also be denied if the request would not result in an actual and identifiable cost savings to the project. The City would bear the burden of proof for the denial.

The project requests the following concessions from the Zoning Ordinance:

- To construct a new above ground utility pole rather than undergrounding an existing utility pole as required from MPMC16.45.110(2).
- To not dual plumb the building for internal use of recycled water as required from MPMC16.45.130(3)(D).
- To allow rents for inclusionary (seven very-low income and three moderate income) and community amenity (three very-low income) BMR Program Units to exceed the 75 percent cap, up to the rental amount permitted by the Health and Safety Code section 50053.

The project requests the following development standard waivers:

- Increase the maximum height permitted from 80 feet to approximately 86 feet (excluding rooftop, mechanical equipment, stairs and elevator (MPMC 16.45.050).
- Increase the maximum allowed floor area ratio (FAR) of 225 percent to 409 percent (MPMC 16.45.050).
- Decrease the ground floor height from the required 10 feet to no less than eight and a half feet (MPMC 16.45.120(3)).
- Decrease the ground floor transparency from the required 30 percent to 29 percent along Haven South and to 22 percent along Haven East frontages (MPMC 16.45.120(3)).
- Reduce the required minimum parking spaces from 112 (1 space per unit) to 56 (0.5 space per unit) (MPMC 16.45.080).
- In lieu of providing parking spaces that meet the City's Parking Stalls and Driveway Design Guidelines, the applicant would provide 48 compact parking spaces. The compact spaces would decrease parking stall dimension from the standard stall size of 8.5 x 16.5 feet to a compact stall size of 7.5 X 15 feet.
- Modifications to BMR Guidelines Section 5.1 and MPMC 16.96.060, which require that the affordable units generally be of the same proportionate size (number of bedrooms and square footage) as the market-rate units and the BMR units should be distributed throughout the development. The applicant is requesting to allow the BMR units be smaller than the average market rate unit size, resulting in different interior layout and smaller living rooms. The BMR units would be proportionate in number and generally spread out, with the exception to levels seven and eight.

Additional Requirements to Promote BMR Occupancy

Because the R-MU-B zoning district requires projects to provide unbundled parking (i.e. parking spaces shall be unbundled from the price of residential units such that parking is sold or rented separately), the project is required to rent the units and parking spaces separately. Given the limited amount of income a very-low income household earns, and the fact that the project has fewer parking spaces than residential units, staff is concerned that the likely additional expense of parking will not be affordable to tenants of the BMR units reserved for very low income households.

To address this concern, the City has added additional provisions to the proposed BMR Agreement. In particular, if the very-low income units remain vacant for more than 150 days, the applicant will be required to offer incentives to attract potential very-low income households to the project. The applicant will then have 115 days to offer their own rental incentives based on their view of market demands in an effort to fill the unit. However, if the very-low income unit continues to remain vacant, the applicant will be required to offer potential tenants free parking in the project (if and when available) for the duration of that household's tenancy. These requirements are expected to help mitigate the concern that very low income units would remain vacant due to the project's site location and parking availability.

Applicant outreach efforts

The applicant conducted community outreach, focused on the adjacent residential neighbors, by conducting two virtual community meetings on November 22 and 23 of 2022, where the project's informational package was shared. The applicant noted that three community members attended the meetings and that discussions and comments included: clarification of setbacks, construction timing, property management, considerations for shadows, and removing existing driving access across the site.

Correspondence

At the time of the preparation of this staff report, staff has not received any correspondence regarding the draft BMR Housing proposal.

Conclusion

Staff evaluated the applicant's proposal of 14 on-site BMR units and believes it generally meets the purposes of the BMR Housing Guidelines and the Housing Element. All proposed BMR units would be included as part of single BMR Agreement, which complies with the BMR Housing Program requirements except to the extent modified by requested concessions and waivers allowed by State Density Bonus Law.

Staff believes the overall BMR proposal including the applicant's requested concessions and waivers (outlined in this report) is consistent with City's Municipal Code and BMR Guidelines and the application of State Density Bonus Law. Staff believes that the proposed project is consistent with Goal H4 of the Housing Element in that it provides a mix of affordable housing affordable to very-low and moderate income households and offers a variety of unit sizes and bedroom counts in order to address the local needs of the community and supports the City's goal of producing affordable housing.

Staff recommends that the Housing Commission consider the applicant's proposal, including the requested concessions and waivers, and provide a recommendation of approval to the Planning Commission on the draft BMR Agreement for the 14 on-site BMR units, which includes three BMR units as the applicant's community amenity for bonus level development, and one for the purposes of the requested density bonus under State Density Bonus Law under the terms stated in the proposed BMR Agreement.

Impact on City Resources

The project sponsor is required to pay Planning, Building, and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The proposed project will be evaluated with respect to compliance with the California Environmental Quality Act (CEQA) as part of the Planning Commission final action. BMR direction is not a project under CEQA so environmental review is not required by the Housing Commission.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

- A. 3705 Haven Avenue Draft Below Market Rate (BMR) Housing Agreement and Declaration of Restrictive Covenants with 3705 Haven LLC
- B. Location Map
- C. Applicant's project description letter
- D. Excerpts of Project Plans
- E. Applicant's BMR housing proposal
- F. Applicant's State Density Bonus Letter

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the

information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings, and exhibits are available for public viewing at the Community Development Department.

Exhibits to be provided at Meeting

None

Report prepared by:
Fahteen Khan, Associate Planner

Report reviewed by:
Tim Wong, Housing Manager
Eric Phillips, Special Counsel

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**BELOW MARKET RATE HOUSING AGREEMENT
AND DECLARATION OF RESTRICTIVE COVENANTS**

(3705 Haven Avenue Project)

This **BELOW MARKET RATE HOUSING AGREEMENT AND DECLARATION OF RESTRICTIVE COVENANTS** (“**Agreement**”) is entered into as of _____, 2025 (“**Effective Date**”), by and between the City of Menlo Park, a California municipal corporation (“**City**”), and 3705 Haven LLC, a California limited liability company (“**Owner**”). City and Owner may be referred to individually as a “**Party**” or collectively as the “**Parties**.”

RECITALS

A. Owner is the owner of that certain real property located at 3705 Haven Avenue (APN 055-170-240) in the City of Menlo Park, California (“**Property**”), as more particularly described in **Exhibit A**, attached hereto and incorporated herein by this reference, which is the parcel subject to the terms of this Agreement. The Property is approximately 0.66 acres.

B. Owner applied to demolish an existing commercial building, totaling approximately 10,361 square feet, and to redevelop the Property with a new multifamily residential apartment building with 112 rental units, along with related landscaping and parking (“**Project**”).

C. The Property is zoned Residential Mixed Use-Bonus (“**R-MU-B**”), which allows a density of up to 100 dwelling units per acre for “bonus level development,” resulting in a “**Base Density**” for the Project of 66 units. The Project proposes to provide:

- (i) fifteen percent (15%) of the Base Density units (i.e., 10 units) for purposes of compliance with the City’s Below Market Rate Housing Program (“**Inclusionary Units**”). Seven of the BMR Program Units shall be provided at levels affordable to very low income households, and three of the BMR Program Units shall be provided at levels affordable to moderate income households; and
- (ii) three (3) of the Base Density units at levels affordable to very low income households as a community amenity, in exchange for the bonus level development allowed in the R-

MU-B zoning district (“**Amenity Units**”); and

(iii) one (1) moderate income unit for purposes of the requested density bonus under the State Density Bonus Law (“**SDBL Unit**”).

Together, the seven very low income Inclusionary Units and the three Amenity Units are the “**Very Low Income Units.**” The three moderate income Inclusionary Units and the SDBL Unit are the “**Moderate Income Units.**” The Inclusionary Units, Amenity Units, and SDBL Unit, collectively, are the “**BMR Rental Units.**”

D. The City’s Below Market Rate Housing Program is governed by Chapter 16.96 of the Menlo Park Municipal Code (“**BMR Program**”). The BMR Program is administered under the City’s Below Market Rate Housing Program Guidelines (“**BMR Guidelines**”). The BMR Program and BMR Guidelines require the Owner to provide fifteen percent (15%) of the Project’s Base Density units at below market rates to very low, low and/or moderate-income households. To satisfy these BMR requirements, the Owner has proposed to provide the ten (10) Inclusionary Units, which would be offered at very low- and moderate-income levels.

E. The City’s “bonus level” development provisions applicable in the R-MU-B zoning district are set forth in Chapter 16.45 of the Menlo Park Municipal Code. These provisions allow the Project to develop at a greater level of intensity (with a specified increase in density, floor area ratio, and/or height) in exchange for the provision of community amenities, including affordable housing. The value of the provided community amenities must equal at least fifty percent (50%) of the fair market value of the additional gross floor area of the bonus level development. To meet these requirements and develop at the “bonus level,” the Owner has proposed to provide the three (3) Amenity Units at very low-income levels.

F. Consistent with the State Density Bonus Law (Gov. Code, § 65915, *et seq.*), the Owner is entitled to a density bonus of fifty percent (50%) over the Base Density (i.e., 33 additional units) for providing the ten (10) Very Low Income Units (which, as noted above, includes seven of the Inclusionary Units and the three additional Amenity Units), which equal fifteen percent (15%) of the Base Density. The State Density Bonus also entitles the Owner to an additional density bonus of twenty-two and one half percent (22.5%) over the Base Density (i.e., 15 additional units) for providing the four additional Moderate Income Units (which, as noted above, includes three of the Inclusionary Units and the one additional SDBL Unit), which equal six percent (6%) of the Base Density. Based on the Project’s level of affordability, this results in a total allowed density bonus for the Project of up seventy-two and one half percent (72.5%) over the Base Density, for a total density bonus of 48 units. This density bonus is sufficient to accommodate the Project’s proposed 112 rental units.

G. On _____, 2025, after a duly noticed public hearing, and on the recommendation of the Housing Commission, the Planning Commission adopted a “Community Plan Exemption Checklist” pursuant to CEQA Guidelines Section 15183, granted a Use Permit, Architectural Control Approval, and Heritage Tree Removal Permit, and approved this Agreement for the Project (collectively, “**Project Approvals**”). The Project Approvals (in accordance with the BMR Program, the BMR Guidelines, the City’s bonus level development provisions, and the

State Density Bonus Law) require the Owner to execute and record this approved Agreement as a condition precedent to the issuance of a building permit for the Project. The Owner has agreed to observe all the terms and conditions set forth in this Agreement regarding the BMR Rental Units.

NOW, THEREFORE, the Parties hereto agree as follows. The above Recitals are specifically incorporated into this Agreement by this reference.

1. CONSTRUCTION OF THE PROJECT

1.1 Construction of the Project. Owner agrees to construct the Project in accordance with the Project Approvals, the Menlo Park Municipal Code, and all other applicable state and local building codes, development standards, ordinances, and zoning ordinances.

1.2 City and Other Governmental Permits. Before commencement of the Project, Owner shall secure or cause its contractor to secure any and all permits which may be required by the City or any other governmental agency affected by such construction, including without limitation building permits. Owner shall pay all necessary fees and timely submit to the City final drawings with final corrections to obtain such permits; City staff will, without incurring liability or expense therefore, process applications in the ordinary course of business for the issuance of building permits and certificates of occupancy for construction that meet the requirements of the Menlo Park Municipal Code and all other applicable laws and regulations.

1.3 Compliance with Laws. Owner shall carry out the design, construction, and operation of the Project in conformity with all applicable laws, including all applicable state labor standards, City zoning and development standards, building, plumbing, mechanical and electrical codes, and all other provisions of the Menlo Park Municipal Code, and all applicable disabled and handicapped access requirements, including without limitation the Americans With Disabilities Act, 42 U.S.C. Section 12101, *et seq.*, Government Code Section 4450, *et seq.*, Government Code Section 11135, *et seq.*, and the Unruh Civil Rights Act, Civil Code Section 51, *et seq.*

2. OPERATION OF THE BMR RENTAL UNITS

2.1 Affordability Period. The Property, provided that the Project remains on the Property, shall be subject to the requirements of this Agreement from the date that the City issues a final certificate of occupancy for the Project until the 55th anniversary of such date. The duration of this requirement shall be referred to in this Agreement as the “**Affordability Period.**”

2.2 Allocation and Distribution of BMR Rental Units. The initial allocation of BMR Rental Units in the Project, by size (including the breakdown between the Inclusionary Units, Amenity Units, and SDBL Unit, respectively), is set forth in **Exhibit B**, attached hereto and incorporated herein by this reference. The BMR Rental Units initially shall be distributed as set forth in **Exhibit C**, attached hereto and incorporated herein by this reference. Thereafter, the location of the individual BMR Rental Units may float to account for the next available unit requirement set forth below and as otherwise necessary for the professional maintenance and operation of the Project, provided that the BMR Rental Units are reasonably disbursed throughout

the Project and the City's Director of Community Development ("**Director**"), or the Director's designee, shall be notified of any change or relocation of BMR Rental Units by the Owner.

2.3 BMR Program Requirements. The BMR Rental Units are subject to the requirements of the BMR Program and BMR Guidelines, as modified by the Project Approvals pursuant to the State Density Bonus Law. To the extent this Agreement and the BMR Guidelines conflict, the specific requirements of this Agreement shall control. The BMR Rental Units shall generally be of the same proportionate size (number of bedrooms) as the market rate units, though some variation in size is permitted consistent with the Project Approvals. The BMR Rental Units should be generally distributed throughout the development and should be indistinguishable from the exterior. BMR Rental Units shall contain standard appliances common to new units, but need not have luxury accessories, such as Jacuzzi tubs. The design and materials used in construction of the BMR Rental Units shall be of a quality comparable to the other new residential rental units in the Project but need not be of luxury quality.

2.4 Maintenance. Owner shall comply with every condition of the Project Approvals and shall, at all times, maintain the Project and the Property in good repair and working order, reasonable wear and tear excepted, and in a safe and sanitary condition, and from time to time shall make all necessary and proper repairs, renewals, and replacements to maintain the Project and the Property in a good, clean, safe, and sanitary condition.

2.5 Monitoring and Recordkeeping. Throughout the Affordability Period, Owner shall comply with all applicable recordkeeping and monitoring requirements set forth in the BMR Guidelines. City shall have the right to inspect the books and records of Owner and its rental agent or bookkeeper upon reasonable notice during normal business hours. Representatives of the City shall be entitled to enter the Property, upon at least 48-hour prior written notice, which can be provided via email, to monitor compliance with this Agreement, to inspect the records of the Project with respect to the BMR Rental Units, and to conduct, or cause to be conducted, an independent audit or inspection of such records. Owner agrees to cooperate with the City in making the Property available for such inspection or audit. Owner agrees to maintain records in a businesslike manner and to maintain such records for the duration of the Affordability Period.

2.6 Non-Discrimination Covenants. Owner covenants by and for itself, its successors and assigns, and all persons claiming under or through them that there shall be no discrimination against or segregation of any person or group of persons on account of race, color, religion, sex, marital status, familial status, disability, national origin, or ancestry in the sale, lease, sublease, transfer, use, occupancy, tenure, or enjoyment of the Property, nor shall any such practice or practices of discrimination or segregation with reference to the selection, location, number, use, or occupancy of tenants, lessees, subtenants, sublessees, or vendees in the Property be established or permitted. Owner shall include such provision in all deeds, leases, contracts, and other instruments executed by Owner with respect to the Property, and Owner shall enforce the same diligently and in good faith.

a. In deeds, the following language shall appear:

(1) Grantee herein covenants by and for itself, its successors and

assigns, and all persons claiming under or through it, that there shall be no discrimination against or segregation of a person or of a group of persons on account of any basis listed in subdivision (a) or (d) of Section 12955 of the Government Code, as those bases are defined in Sections 12926, 12926.1, subdivision (m) and paragraph (1) of subdivision (p) of Section 12955, and Section 12955.2 of the Government Code, in the sale, lease, sublease, transfer, use, occupancy, tenure, or enjoyment of the property herein conveyed, nor shall the grantee or any person claiming under or through the grantee establish or permit any such practice or practices of discrimination or segregation with reference to the selection, location, number, use, or occupancy of tenants, lessees, subtenants, sublessees, or vendees in the property herein conveyed. The foregoing covenant shall run with the land.

(2) Notwithstanding paragraph (1), with respect to familial status, paragraph (1) shall not be construed to apply to housing for older persons, as defined in Section 12955.9 of the Government Code. With respect to familial status, nothing in paragraph (1) shall be construed to affect Sections 51.2, 51.3, 51.4, 51.10, 51.11, and/or 799.5 of the Civil Code, relating to housing for senior citizens. Subdivision (d) of Section 51 and Section 1360 of the Civil Code and subdivisions (n), (o), and (p) of Section 12955 of the Government Code shall apply to paragraph (1).

b. In leases, the following language shall appear:

(1) The lessee herein covenants by and for the lessee and lessee's heirs, personal representatives and assigns, and all persons claiming under the lessee or through the lessee, that this lease is made subject to the condition that there shall be no discrimination against or segregation of any person or of a group of persons on account of race, color, creed, religion, sex, sexual orientation, marital status, national origin, ancestry, or disability in the leasing, subleasing, transferring, use, occupancy, tenure, or enjoyment of the property herein leased, nor shall the lessee or any person claiming under or through the lessee establish or permit any such practice or practices of discrimination of segregation with reference to the selection, location, number, use, or occupancy of tenants, lessees, sublessees, subtenants, or vendees in the property herein leased.

(2) Notwithstanding paragraph (1), with respect to familial status, paragraph (1) shall not be construed to apply to housing for older persons, as defined in Section 12955.9 of the Government Code. With respect to familial status, nothing in paragraph (1) shall be construed to affect Sections 51.2, 51.3, 51.4, 51.10, 51.11, and/or 799.5 of the Civil Code, relating to housing for senior citizens. Subdivision (d) of Section 51 and Section 1360 of the Civil Code and subdivisions (n), (o), and (p) of Section 12955 of the Government Code shall apply to paragraph (1).

c. In contracts pertaining to management of the Project, the following language, or substantially similar language prohibiting discrimination and segregation, shall appear:

(1) There shall be no discrimination against or segregation of any person or group of persons on account of any basis listed in subdivision (a) or (d) of Section 12955 of the Government Code, as those bases are defined in Sections 12926, 12926.1, subdivision (m) and paragraph (1) of subdivision (p) of Section 12955, and Section 12955.2 of the Government Code, in the sale, lease, sublease, transfer, use, occupancy, tenure, or enjoyment of the property, nor shall the transferee or any person claiming under or through the transferee establish or permit any such practice or practices of discrimination or segregation with reference to selection, location, number, use, or occupancy of tenants, lessee, subtenants, sublessees, or vendees of the land.

(2) Notwithstanding paragraph (1), with respect to familial status, paragraph (1) shall not be construed to apply to housing for older persons, as defined in Section 12955.9 of the Government Code. With respect to familial status, nothing in paragraph (1) shall be construed to affect Sections 51.2, 51.3, 51.4, 51.10, 51.11, and/or 799.5 of the Civil Code, relating to housing for senior citizens. Subdivision (d) of Section 51 and Section 1360 of the Civil Code and subdivisions (n), (o), and (p) of Section 12955 of the Government Code shall apply to paragraph (1).

2.7 Subordination. This Agreement shall be recorded in the Official Records of the County of San Mateo and shall run with the land. The City agrees that the City will not withhold consent to reasonable requests for subordination of this Agreement for the benefit of lenders providing financing for the Project, provided that the instruments effecting such subordination include reasonable protections to the City in the event of default, including without limitation extended notice and cure rights.

3. AFFORDABILITY REQUIREMENTS

3.1 BMR Rental Units. Owner agrees to make available, restrict occupancy to, and lease not less than the fourteen (14) BMR Rental Units, inclusive of the ten (10) Very Low Income Units (i.e., seven Inclusionary Units and the three Amenity Units) at levels affordable to very low income households and the four (4) Moderate Income Units (i.e., three Inclusionary Units and the SDBL Unit) at levels affordable moderate income households, to Qualifying Households, as hereinafter defined, at an affordable rent, pursuant to the terms below.

3.2 Qualifying Households. For purposes of this Agreement, “**Qualifying Households**” shall mean those households with incomes as follows:

- a. “**Very Low Income Unit**”: means units restricted to households with incomes of not more than fifty percent (50%) of AMI. “**AMI**” means the median income for San Mateo County, California, adjusted for Actual

Household Size, as published from time to time by the State of California Department of Housing and Community Development in Section 6932 of Title 25 of the California Code of Regulations or successor provision. Qualifying Households shall continue to qualify unless at the time of recertification, the household's income exceeds the Very Low Income Unit eligibility requirements, in which case the household shall no longer be qualified. Upon Owner's determination that any such household is no longer qualified, the unit shall no longer be deemed a Very Low Income Unit, and the Owner shall notify the household that the household no longer is eligible for the Very Low Income Unit, and that the household's rent will be increased to a market rate upon the later of sixty (60) days' notice or the renewal of the household's lease. The Owner shall either make the next available unit, which is comparable in terms of size, features, and number of bedrooms, a Very Low Income Unit, or take other actions as may be necessary to ensure that the total required number of Very Low Income Units are rented to Qualifying Households, as defined herein. The Owner shall notify the City annually if Owner substitutes a different unit for one of the designated Very Low Income Units pursuant to this paragraph.

- b. **“Moderate Income Unit”**: means units restricted to households with incomes of not more than one hundred twenty percent (120%) of AMI. Qualifying Households shall continue to qualify unless at the time of recertification, the household's income exceeds the Moderate Income Unit eligibility requirements, in which case the household shall no longer be qualified. Upon Owner's determination that any such household is no longer qualified, the unit shall no longer be deemed a Moderate Income Unit, and the Owner shall notify the household that the household no longer is eligible for the Moderate Income Unit, and that the household's rent will be increased to a market rate upon the later of sixty (60) days' notice or the renewal of the household's lease. The Owner shall either make the next available unit, which is comparable in terms of size, features, and number of bedrooms, a Moderate Income Unit, or take other actions as may be necessary to ensure that the total required number of Moderate Income Units are rented to Qualifying Households, as defined herein. The Owner shall notify the City annually if Owner substitutes a different unit for one of the designated Moderate Income Units pursuant to this paragraph.

3.3 Income Verification and Annual Report. On or before July 1 of each year, commencing with the calendar year that the first residential unit in the Project is rented to a tenant, and annually thereafter, Owner shall obtain from each household occupying a BMR Rental Unit, and submit to the City, an income computation and certification form, completed by a tenant of such unit, which also shall certify that the income of each Qualifying Household is truthfully set forth in the form, in a form proposed by the Owner and approved by the Director or the Director's designee (**“Annual Report”**). Owner shall make a good faith effort to verify that each household leasing a BMR Rental Unit meets the income and eligibility restrictions for the BMR Rental Unit by taking the following steps as a part of the verification process: (a) obtaining a minimum of the

three (3) most current pay stubs for all adults age eighteen (18) or older; (b) obtaining an income tax return for the most recent tax year; (c) conducting a credit agency or similar search; (d) obtaining the three (3) most current savings and checking account bank statements; (e) obtaining an income verification form from the applicant's current employer; (f) obtaining an income verification form from the Social Security Administration and/or the California Department of Social Services, if the applicant receives assistance from either of such agencies; or (g) if the applicant is unemployed and has no such tax return, obtaining another form of independent verification. Copies of tenant income certifications shall be made available to the City upon request. The Annual Report shall, at a minimum, include the following information for each BMR Rental Unit: the unit number, number of bedrooms, current rent and other charges, number of people residing in the unit, total household Gross Income, and lease commencement and termination dates. The Annual Report also shall provide a statement of the Owner's management policies, communications with the tenants, and maintenance of the BMR Rental Unit, including a statement of planned repairs to be made and the dates for the repairs. The Annual Report also shall include a list of any BMR Rental Units that were vacant at any point during the reporting period, including the date any such unit was vacated and the date each such unit, as applicable, was once again occupied by a new Qualifying Household, as defined herein.

3.4 Affordable Rent. The maximum monthly rent, as defined below, chargeable for the BMR Rental Units to Qualifying Households and paid shall be as follows:

- a. **“Monthly Rent for a Very Low Income Household”**: shall be 1/12th of 30 percent of not to exceed 50 percent of the AMI. The Monthly Rent for a Very Low Income Unit rented to a Qualifying Household and paid by that household shall be based on an assumed occupancy of one (1) person per studio unit, two (2) persons for a one-bedroom unit, three (3) persons for a two-bedroom unit, and four (4) persons for a three-bedroom unit, unless otherwise approved by the Director or the Director's designee for an unusually large unit with a maximum of two persons per bedroom, plus one.
- b. **“Monthly Rent for a Moderate Income Household”**: shall be 1/12th of 30 percent of not to exceed 110 percent of the AMI. In addition, for those Qualifying Households whose gross incomes exceed 110 percent of the AMI, monthly rent shall not exceed 1/12th of 30 percent of gross income of the household. The Monthly Rent for a Moderate Income Unit rented to a Qualifying Household and paid by that household shall be based on an assumed occupancy of one (1) person per studio unit, two (2) persons for a one-bedroom unit, three (3) persons for a two-bedroom unit, and four (4) persons for a three-bedroom unit, unless otherwise approved by the Director or the Director's designee for an unusually large unit with a maximum of two persons per bedroom, plus one.

For purposes of this Agreement, **“Monthly Rent”** means the total of monthly payments actually made by the household for (a) use and occupancy of each BMR Rental Unit and land and facilities associated therewith, (b) any separately charged fees or service charges assessed by Owner which are required of all tenants, other than security deposits, (c) a reasonable allowance for an adequate

level of service of utilities not included in (a) or (b) above, and which are not paid directly by Owner, including garbage collection, sewer, water, electricity, gas and other heating, cooking and refrigeration fuels, but not including telephone or internet service, which reasonable allowance for utilities is set forth in the County of San Mateo's Utility Allowance Schedule for detached homes, apartments, condominiums, and duplexes, and (d) possessory interest, taxes or other fees or charges assessed for use of the land and facilities associated therewith by a public or private entity other than Owner. Monthly Rent does not include parking for any tenant; the cost of parking is unbundled from the cost of a unit for all tenants and will be offered on a first-come, first-serve basis, equally.

3.5 Agreement to Limitation on Rents. As described in the Recitals, above, Owner is developing at the bonus level of development and has received certain benefits under the State Density Bonus Law, as authorized by Chapter 4.3 (commencing with Section 65915) of Division 1 of Title 7 of the Government Code. Sections 1954.52(b) and 1954.53(a)(2) of the Costa-Hawkins Act provide that, where a developer has received such assistance, certain provisions of the Costa-Hawkins Act do not apply if a developer has so agreed by contract. Owner hereby agrees to limit the Monthly Rent charged to Qualifying Households as provided in this Agreement in consideration of Owner's receipt of the assistance and further agrees that any limitations on Monthly Rents imposed on the BMR Rental Units are in conformance with the Costa-Hawkins Act. Owner further warrants and covenants that the terms of this Agreement are fully enforceable.

3.6 Lease Requirements. No later than 180 days prior to the initial lease up of the BMR Rental Units, Owner shall submit a standard lease form to the City for approval by the Director or the Director's designee. The City shall reasonably approve such lease form upon finding that such lease form is consistent with this Agreement and contains all of the provisions required pursuant to the BMR Guidelines. A failure by the City to respond to Owner's request for approval of the standard lease form within thirty (30) business days of City's receipt of such lease shall be deemed to constitute the City's approval of such lease form. Owner shall enter into a written lease, in the form approved by the City, with each new tenant of a BMR Rental Unit prior to a tenant or tenant household's occupancy of a BMR Rental Unit. Each lease shall be for an initial term of not less than one year, which may be renewed pursuant to applicable local and state laws, and shall not contain any provisions which are prohibited pursuant to the BMR Guidelines, local, state, and/or federal laws.

3.7 Marketing Plan

- a. Marketing Plan. Not fewer than 180 days prior to the initial lease up of the BMR Rental Units, Owner shall submit for City review and approval a plan for marketing the BMR Rental Units (the "**Marketing Plan**"). The Marketing Plan shall address, (i) plans for compliance with fair housing laws and this Agreement, (ii) Owner's tenant selection criteria, (iii) preparation of clear and accurate marketing information regarding the BMR Rental Units to be distributed to eligible households included on any City maintained affordable housing waiting list (preferably in English, Spanish and other languages representative of eligible households in the area), and (iv) placement of advertisements regarding the availability of the BMR

Rental Units online or in other media during the applicable marketing period (preferably in English, Spanish and other languages representative of eligible households in the area). Upon receipt of the Marketing Plan, the City shall promptly review the Plan and shall approve or disapprove it within thirty (30) days after submission. A failure by the City to respond to Owner's request for approval of the Marketing Plan within thirty (30) business days of City's receipt of the same shall be deemed to constitute the City's approval of the Marketing Plan. Owner shall abide by the terms of the Marketing Plan in marketing and leasing the BMR Rental Units throughout the Term of this Agreement and shall submit proposed material modifications to City for review and approval as described herein.

b. Prolonged Vacancy Marketing Plan.

- (1) A "**Prolonged Vacancy**" shall mean: (i) Owner's failure to initially lease at least five Very Low Income Units within the later of six months after the Project's first market rate tenant moves in or the leasing of the 85th market-rate unit in the Project; (ii) Owner's failure to initially lease all ten Very Low Income Units within the later of twelve months after the Project's first market-rate tenant moves in or the leasing of all of the market-rate units in the Project; or (iii) Owner's failure to accept and approve the application to lease a Very Low Income Unit within one hundred fifty (150) days after the expiration of the lease of such unit unless a rehabilitation requiring permits from the City is necessary, and then within one hundred and fifty (150) days after the final inspection approving such work.
- (2) Notwithstanding the foregoing, a vacancy is not a Prolonged Vacancy under any of the following circumstances: (i) the vacancy rate of the market-rate units in the Project is the same or higher than the vacancy rate of the Very Low Income Units in the Project based on the average of the preceding twelve (12) months, or (ii) the Owner or the City cannot identify any Qualified Households eligible to apply to live in the Very Low Income Unit(s).
- (3) Upon occurrence of a Prolonged Vacancy, the Owner must use its best efforts to re-tenant the unit(s), including by offering rental incentives comparable to the rental incentives typically offered to potential tenants of market-rate units until a qualified renter agrees to sign a lease for the Prolonged Vacancy unit or for an initial period of one hundred fifteen (115) days ("First Incentive Period"). If the Prolonged Vacancy unit is vacant after the First Incentive Period, the Owner must offer a parking space in the Project if one is available, or as soon as one becomes available, at no charge as a rental incentive until the lease term ends. If after twelve months of

offering rental incentives pursuant to this Section 3.7.b(3) no tenant has signed a lease, the unit is no longer is a Prolonged Vacancy unit.

3.8 Selection of Tenants. Each BMR Rental Unit shall be leased to tenant(s) selected by Owner who meet all of the requirements provided herein and, to the extent permitted by law, with priority given to eligible households who either live or work in the City of Menlo Park or who meet one of the other preferences identified in the most recently adopted BMR Guidelines. The City's BMR Administrator, on behalf of the City, will provide to Owner the names of persons who have expressed interest in renting BMR Rental Units for the purposes of adding such interested persons to Owner's waiting list, to be processed in accordance with Owner's customary policies. Owner shall not refuse to lease to a holder of a certificate or a rental voucher under the Section 8 program or other tenant-based assistance program who is otherwise qualified to be a tenant in accordance with the approved tenant selection criteria.

3.9 Application of State Density Bonus Law. The Project Approvals include approved incentives, concessions, and waivers under the State Density Bonus Law, attached hereto as **Exhibit D**. This Agreement shall be subject to and interpreted to be consistent with the approved incentives, concessions, and waivers granted pursuant to the State Density Bonus Law.

4. DEFAULT AND REMEDIES

4.1 Events of Default. The following shall constitute an "Event of Default" by Owner under this Agreement: there shall be a material breach of any condition, covenant, warranty, promise or representation contained in this Agreement, and such breach shall continue for a period of thirty (30) days after written notice thereof to the Owner without the Owner curing such breach, or if such breach cannot reasonably be cured within such 30-day period, commencing the cure of such breach within such 30-day period and thereafter diligently proceeding to cure such breach; provided, however, that if a different period or notice requirement is specified for any particular breach under any other paragraph of this Section 4 of this Agreement, the specific provision shall control.

4.2 Remedies. The occurrence of any Event of Default under Section 4.1 shall give the City the right to proceed with an action in equity to require the Owner to specifically perform its obligations and covenants under this Agreement or to enjoin acts or things which may be unlawful or in violation of the provisions of this Agreement, and the right to terminate this Agreement.

4.3 Obligations Personal to Owner. The liability of Owner under this Agreement to any person or entity is limited to Owner's interest in the Project, and the City and any other such persons and entities shall look exclusively thereto for the satisfaction of obligations arising out of this Agreement or any other agreement securing the obligations of Owner under this Agreement. From and after the Effective Date, no deficiency or other personal judgment, nor any order or decree of specific performance (other than pertaining to this Agreement, any agreement pertaining to the Project, or any other agreement securing Owner's obligations under this Agreement), shall be rendered against Owner, the assets of Owner (other than Owner's interest in the Project), its partners, members, successors, transferees or assigns and each of their respective officers, directors, employees, partners, agents, heirs and personal representatives, as the case may be, in

any action or proceeding arising out of this Agreement or any agreement securing the obligations of Owner under this Agreement, or any judgment, order or decree rendered pursuant to any such action or proceeding. No subsequent Owner of the Project shall be liable or obligated for the breach or default of any obligations of Owner under this Agreement on the part of any prior Owner. Such obligations are personal to the person who was the Owner at the time the default or breach was alleged to have occurred, and such person shall remain liable for any and all damages occasioned thereby even after such person ceases to be the Owner. Each Owner shall comply with and be fully liable for all obligations of the Owner hereunder during its period of ownership of the Project.

4.4 Force Majeure. Subject to the Party's compliance with the notice requirements as set forth below in this Section 4.4, performance by either Party hereunder shall not be deemed to be in default, and all performance and other dates specified in this Agreement shall be extended, as described immediately below, where delays or defaults are due to causes beyond the control and without the fault of the Party claiming an extension of time to perform, which may include, without limitation, the following: war, insurrection, strikes, lockouts, riots, floods, earthquakes, fires, assaults, acts of God, acts of the public enemy, epidemics, quarantine restrictions, freight embargoes, lack of transportation, governmental restrictions or priority, litigation, unusually severe weather, inability to secure necessary labor, materials or tools, acts or omissions of the other Party, or acts or failures to act of any public or governmental entity (except that the City's acts or failure to act shall not excuse performance of the City hereunder). An extension of the time for any such cause shall be for the period of the enforced delay and shall commence to run from the time of the commencement of the cause, if notice by the Party claiming such extension is sent to the other Party within thirty (30) days of the commencement of the cause of such extension.

4.5 Attorneys' Fees. In addition to any other remedies provided hereunder or available pursuant to law, if either Party brings an action or proceeding to enforce, protect, or establish any right or remedy hereunder, the prevailing Party shall be entitled to recover from the other Party its costs of suit and reasonable attorneys' fees. This Section 4.5 shall be interpreted in accordance with California Civil Code Section 1717 and judicial decisions interpreting that statute.

4.6 Remedies Cumulative. No right, power, or remedy given by the terms of this Agreement is intended to be exclusive of any other right, power, or remedy; and each and every such right, power, or remedy shall be cumulative and in addition to every other right, power, or remedy given by the terms of any such instrument, or by any statute or otherwise.

4.7 Waiver of Terms and Conditions. The City may, in its sole discretion, waive in writing any of the terms and conditions of this Agreement. Waivers of any covenant, term, or condition contained herein shall not be construed as a waiver of any subsequent breach of the same covenant, term, or condition, unless otherwise specified by the City in its sole discretion.

4.8 Non-Liability of City Officials and Employees. No member, official, employee, or agent of the City shall be personally liable to Owner or any occupant of any BMR Rental Unit, or any successor in interest, in the event of any default or breach by the City or for any amount which may become due to the Owner or its successors, or on any obligations under the terms of this Agreement.

4.9 Cure Rights. Notwithstanding anything to the contrary contained herein, City hereby agrees that any cure of any default made or tendered by Owner's mortgage lender, shall be deemed to be a cure by Owner and shall be accepted or rejected on the same basis as if made or tendered by Owner.

5. GENERAL PROVISIONS

5.1 BMR Guidelines. This Agreement incorporates by reference the City's BMR Guidelines as of the date that the Owner submitted a complete Preliminary Application, as that process is described in Government Code Section 65941.1 and, at the election of the Owner, any later amended provisions of the BMR Guidelines, as those BMR Guidelines may be amended from time to time. In the event of any conflict or ambiguity between this Agreement, the requirements of state and/or federal fair housing laws, and/or the BMR Guidelines, the terms and conditions of this Agreement and the requirements of state and federal fair housing laws shall control.

5.2 Time. Time is of the essence in this Agreement.

5.3 Notices. Unless otherwise indicated in this Agreement, any notice requirement set forth herein shall be deemed to be satisfied three (3) days after mailing of the notice first class United States certified mail, postage prepaid, or by personal delivery, addressed to the appropriate party as follows:

Owner: 3705 Haven, LLC
c/o March Capital Management
2040 Webster Street
San Francisco, CA 94115
Attention: Eduardo Sagues
Email: *eduardo@marchcapitalfund.com*
Phone: (203) 500-3766

With a copy to:

Cox, Castle & Nicholson LLP
50 California Street, Suite 3200
San Francisco, California 94111
Attention: Linda Klein
Email: *lklein@coxcastle.com*
Phone: (415) 262-5130

City : City of Menlo Park
701 Laurel Street
Menlo Park, California 94025-3483
Attention: City Manager

Such addresses may be changed by notice to the other Party, given in the same manner as provided above.

5.4 Successors and Assigns. This Agreement constitutes a covenant and legal restriction on the Property and shall run with the land, provided the Project remains on the Property, and all of the terms, covenants, and conditions of this Agreement shall be binding upon Owner and the permitted successors and assigns of Owner.

5.5 Intended Beneficiaries. The City is the intended beneficiary of this Agreement and shall have the sole and exclusive power to enforce this Agreement. It is intended that the City may enforce this Agreement to satisfy its obligations to improve, increase, and preserve affordable housing within the City, as stated in the BMR Guidelines, and to provide that a certain percentage of new housing is made available at affordable housing cost to persons and families of very low, low, and moderate incomes, as required by the BMR Guidelines. No other person or persons, other than the City and Owner and their assigns and successors, shall have any right of action hereon.

5.6 Partial Invalidity. If any provision of this Agreement shall be declared invalid, illegal, or unenforceable, the validity, legality, and enforceability of the remaining provisions hereof shall not in any way be affected or impaired.

5.7 Governing Law. This Agreement and other instruments given pursuant hereto shall be construed in accordance with and be governed by the laws of the State of California. Any references herein to particular statutes or regulations shall be deemed to refer to successor statutes or regulations, or amendments thereto. The venue for any action shall be the County of San Mateo.

5.8 Amendment. This Agreement may not be changed orally, but only by agreement in writing signed by Owner and the City.

5.9 Approvals. Where an approval or submission is required under this Agreement, such approval or submission shall be valid for purposes of this Agreement only if made in writing. Where this Agreement requires an approval or consent of the City, such approval shall not be unreasonably withheld and may be given on behalf of the City by the City Manager or his or her designee. The City Manager or his or her designee is hereby authorized to take such actions as may be necessary or appropriate to implement this Agreement, including without limitation the execution of such documents or agreements as may be contemplated by this Agreement, and amendments which do not substantially change the uses or restrictions hereunder, or substantially add to the costs of the City hereunder.

5.10 Indemnification. To the greatest extent permitted by law, Owner shall indemnify, defend (with counsel reasonably approved by City), and hold the City, its heirs, successors, and assigns (“**Indemnitees**”) harmless from and against any and all demands, losses, claims, costs, and expenses, and any other liability whatsoever, including without limitation reasonable accountants’ and attorneys’ fees, charges, and expenses (collectively, “**Claims**”) arising directly or indirectly, in whole or in part, as a result of or in connection with Owner’s construction, management, or operation of the Property and the Project or any failure to perform any obligation as and when required by this Agreement. Owner’s indemnification obligations under this Section shall not extend to Claims resulting from the gross negligence or willful misconduct of Indemnitees. The provisions of this Section shall survive the expiration or earlier termination of this Agreement, but only as to claims arising from events occurring during the Affordability Period.

5.11 Insurance Coverage. Throughout the Affordability Period, Owner shall comply with the insurance requirements set forth in Exhibit D, attached hereto and incorporated herein by this reference, and shall, at Owner's expense, maintain in full force and effect insurance coverage as specified in Exhibit E.

5.12 Transfer and Encumbrance.

5.12.1 Restrictions on Transfer and Encumbrance. During the term of this Agreement, except as permitted pursuant to this Agreement, Owner shall not directly or indirectly, voluntarily, involuntarily, or by operation of law make or attempt any total or partial sale, transfer, conveyance, assignment, or lease (other than a lease of a BMR Rental Unit on an approved form under Section 3.6 hereof to a qualified tenant, as described in Section 3.7 hereof) (collectively, "Transfer") of the whole or any part of any BMR Rental Unit, without the prior written consent of the City, which approval shall not be unreasonably withheld. In addition, prior to the expiration of the term of this Agreement, except as expressly permitted by this Agreement, Owner shall not undergo any significant change of ownership without the prior written approval of City, which shall not be unreasonably withheld. For purposes of this Agreement, a "significant change of ownership" shall mean a transfer of the beneficial interest of more than twenty-five percent (25%) in aggregate of the present ownership and/or control of Owner, taking all transfers into account on a cumulative basis; provided however, neither the admission of an investor limited partner, nor the transfer by the investor limited partner to subsequent limited partners, shall be restricted by this provision.

5.12.2 Permitted Transfers. The prohibitions on Transfer set forth in this Section 5.12 shall not be deemed to prevent: (i) the granting of easements or permits to facilitate development of the Property; (ii) assignments creating security interests for the purpose of financing the acquisition, construction, or permanent financing of the Project or Property, or Transfers directly resulting from the foreclosure of, or granting of a deed in lieu of foreclosure of, such a security interest; or (iii) transfers between entities owned or controlled by Owner.

5.12.3 Requirements for Proposed Transfers. The City may, in the exercise of its discretion, not to be unreasonably withheld, consent to a proposed Transfer of this Agreement and/or a BMR Rental Unit if all of the following requirements are met (provided however, the requirements of this Section 5.12.3 shall not apply to Transfers described in clauses (i), (ii), or (iii) of Section 5.12.2.

(i) The proposed transferee demonstrates to the City's satisfaction that it has the qualifications, experience, and financial resources necessary and adequate as may be reasonably determined by the City to competently complete and manage the Project and to otherwise fulfill the obligations undertaken by the Owner under this Agreement.

(ii) The Owner and the proposed transferee shall submit for City review and approval all instruments and other legal documents proposed to effect any Transfer of all or any part of or interest in a BMR Rental Unit or this Agreement together with such documentation of the proposed transferee's qualifications and development capacity as the City may reasonably request.

(iii) The proposed transferee shall expressly assume all of the rights and obligations of the Owner under this Agreement arising after the effective date of the Transfer and all obligations of Owner arising prior to the effective date of the Transfer (unless Owner expressly remains responsible for such obligations) and shall agree to be subject to and assume all of Owner's obligations pursuant to conditions and restrictions set forth in this Agreement.

(iv) The Transfer shall be effectuated pursuant to a written instrument satisfactory to the City in a form recordable in the Official Records.

Consent to any proposed Transfer may be given by the Director or the Director's designee unless the Director, in their discretion, refers the matter of approval to the City Council. If the City has not rejected a proposed Transfer or requested additional information regarding a proposed Transfer in writing within forty-five (45) days following City's receipt of written request by Owner, the proposed Transfer shall be deemed approved by the City.

5.13 Effect of Transfer without City Consent. In the absence of specific written agreement by the City, unless such Transfer is otherwise "deemed approved" pursuant to Section 5.12.3, no Transfer of any BMR Rental Unit shall be deemed to relieve the Owner or any other party from any obligation under this Agreement. This Section 5.12 shall not apply to Transfers described in clauses (i), (ii), or (iii) of Section 5.12.2.

5.14 Recovery of City Costs. Owner shall reimburse City for all reasonable City costs, including but not limited to reasonable attorneys' fees, incurred in reviewing instruments and other legal documents proposed to effect a Transfer under this Agreement, and in reviewing the qualifications and financial resources of a proposed successor, assignee, or transferee, within ten (10) days following City's delivery to Owner of an invoice detailing such costs.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date and year set forth above.

SIGNATURES ON FOLLOWING PAGE(S).

OWNER:

3705 HAVEN LLC, a California limited liability company,

By: _____

Its:

CITY:

CITY OF MENLO PARK, a California municipal corporation

By: _____

City Manager

ATTEST:

By: _____

City Clerk

List of Exhibits:

- Exhibit A: Property Description
- Exhibit B: Allocation of BMR Rental Units
- Exhibit C: BMR Rental Unit Locations
- Exhibit D: State Density Bonus Law Request Approval
- Exhibit E: Insurance Requirements

Exhibit A
Property Description

Exhibit B

Allocation of BMR Rental Units in the Project

| Unit Type | Very Low | Moderate | Total |
|--------------|-----------|----------|-----------|
| Studio | 3 | 2 | 5 |
| 1 Bedroom | 5 | 1 | 6 |
| 2 Bedroom | 2 | 1 | 3 |
| Total | 10 | 4 | 14 |

The above BMR Rental Units are, in turn, allocated as follows:

- The Very Low Income Units include seven (7) of the Inclusionary Units and all three (3) of the Amenity Units identified above.
- The remaining three (3) Inclusionary Units, which include three of the four Moderate Income Units identified above, consist of one Studio, one 1-Bedroom, and one 2-Bedroom.
- The SDBL Unit includes the remaining Moderate Income Unit.

Exhibit C

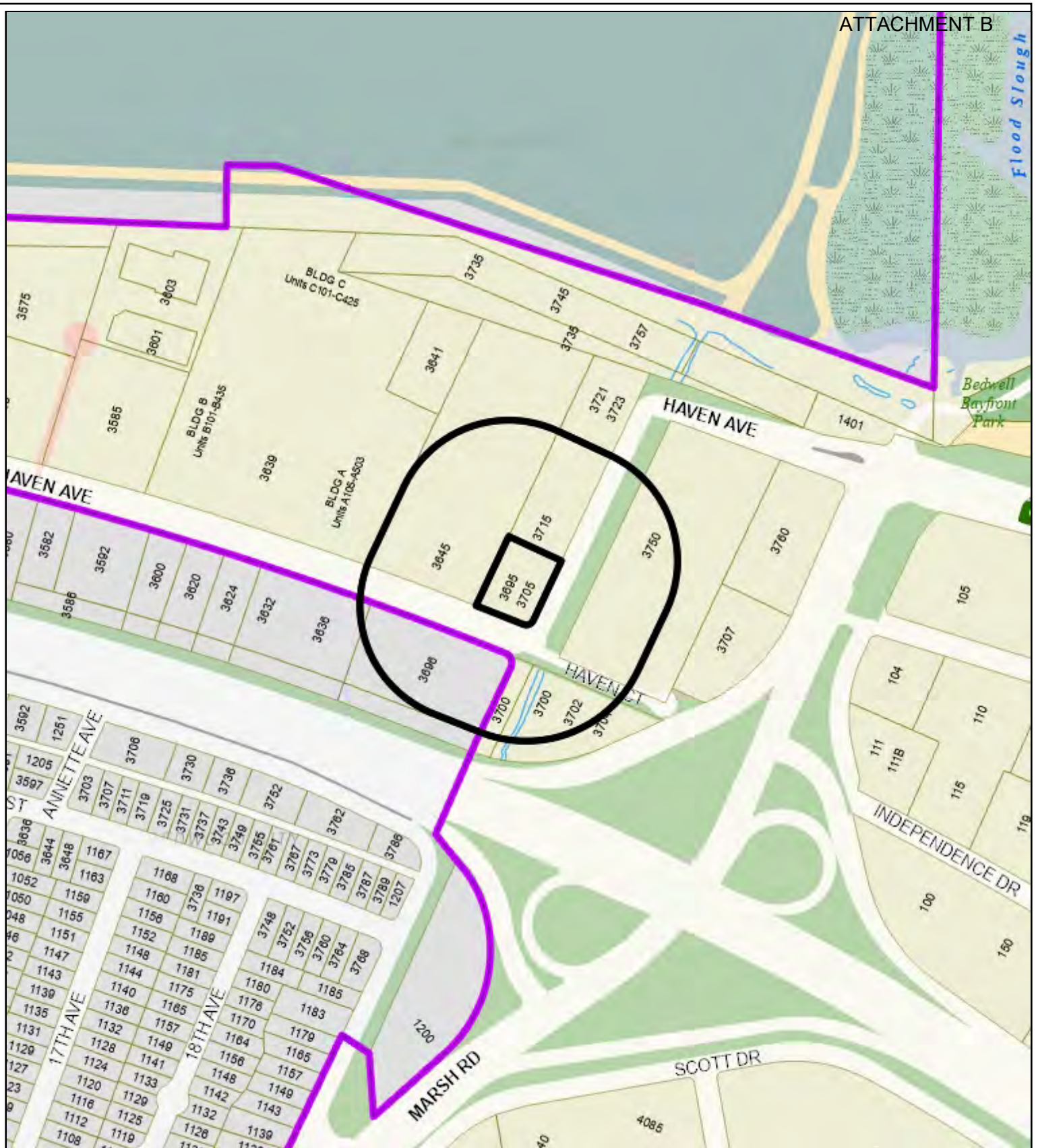
Initial BMR Rental Unit Locations

| Unit Type | BMR Category | Unit Number |
|------------------|---------------------|--------------------|
| 1 Bedroom | VL | 201 |
| Studio | VL | 202 |
| 2 Bedroom | VL | 204 |
| 2 Bedroom | VL | 312 |
| 1 Bedroom | VL | 314 |
| Studio | VL | 315 |
| 2 Bedroom | Mod | 416 |
| 1 Bedroom | VL | 417 |
| Studio | VL | 418 |
| 1 Bedroom | VL | 513 |
| 1 Bedroom | VL | 517 |
| Studio | Mod | 518 |
| 1 Bedroom | Mod | 617 |
| Studio | Mod | 618 |

Exhibit D

State Density Bonus Law Request Approval

Exhibit E
Insurance Requirements



City of Menlo Park
 Location Map
 3705 Haven Avenue





3705 Haven Avenue, Menlo Park Project Description Letter

17 January 2025

PROPERTY INFORMATION

ADDRESS 3705 Haven Avenue, Menlo Park, CA 94025
PARCEL NUMBER 55170240
LOT SIZE ±28,808 sq. ft., 0.66 ± acres
ZONING DISTRICT Residential Mixed Use (R-MU-B)

EXISTING USES & EXISTING CONDITIONS

3705 Haven (“Property”) is a corner lot that fronts Haven Avenue on both sides. The Property is currently developed with a one-story cement plaster, approximately 10,361-square-foot commercial building, parking, and landscaping (“Existing Improvements”).

The Property has a 9’-0” non-buildable easement along the north property line. The Property is accessed by two driveways.

The neighboring property to the West is Elan Menlo Park Apartments with 146 units, to the North is a two-story office building. Across the street to the South is a one-story office building and to the East is a large one-story shipping warehouse building.

PROJECT

The Project would demolish the Existing Improvements and create a new, eight-story, 112-unit apartment complex with associated parking and landscaping (“Project”). Of the 112 units, 10 would be affordable to very low-income households and 4 to moderate-income households. The Project, like the Existing Improvements, would be served by two driveways in approximately the same locations as the existing driveways. The Project also includes sidewalk improvements, including lighting and landscaping, along the Property frontages.

The Project would provide six floors of housing over ground floor and second floor parking. A third-floor courtyard space would contain resident amenities, including a swimming pool, clubhouse, gym as well as ample outdoor seating areas. There will be additional roof decks on the fifth and eighth floors. The proposed unit sizes and mix are as follows:

| | | | | |
|-----------|-----------|--------------|--------------|--------------|
| Studio | 1 Bedroom | 2 Bed / 1 Ba | 2 Bed / 2 Ba | 3 Bed / 2 Ba |
| 36 | 49 | 3 | 23 | 1 |

| Below market rate units, dispersed throughout building | | | | | |
|--|-----------|--------|--------------|-------|----------|
| Unit | Unit Type | Unit # | SF | FLOOR | BMR Cat. |
| Studio | A.1 | 202 | 525 | 2 | Very Low |
| Studio | A.1 | 315 | 525 | 3 | Very Low |
| Studio | A.1 | 418 | 525 | 4 | Very Low |
| Studio | A.1 | 518 | 525 | 5 | Moderate |
| Studio | A.1 | 618 | 525 | 6 | Moderate |
| 1 Bedroom | B.4 | 201 | 750 | 2 | Very Low |
| 1 Bedroom | C | 513 | 769 | 5 | Very Low |
| 1 Bedroom | D | 314 | 752 | 3 | Very Low |
| 1 Bedroom | D | 417 | 752 | 4 | Very Low |
| 1 Bedroom | D | 517 | 752 | 5 | Very Low |
| 1 Bedroom | D | 617 | 752 | 6 | Moderate |
| 2-Bed / 1 Ba | A.6 | 204 | 815 | 2 | Very Low |
| 2 Bed / 2 Ba | F.1 | 312 | 957 | 3 | Very Low |
| 2 Bed / 2 Ba | F.2 | 416 | 1,001 | 4 | Moderate |
| Total: | | 14 | 9,925 | | |

STATE DENSITY BONUS LAW REQUESTS

The Project provides a total of 21 percent onsite affordable housing, 10 of which would be affordable to very-low-income households and 4 to moderate income households. With a base density of 66 units, 15 percent results in providing 10 (0.15 x 66) very-low-income affordable units. An additional 6 percent on the 66 units yields four (0.06 x 66) moderate income households. These 14 units would be dispersed throughout the Project, as described above.

The Project's percent and level of affordability entitle it to the following State Density Bonus Law ("SDBL") benefits: 72.5 percent density bonus (Gov. Code, § 65915, subds. (f)(2), (v).), three incentives/concessions (*id.*, subd. (d)(2)(C)), unlimited waivers (*id.*, subd. (e)), and use of SDBL parking ratios (*id.*, subd. (p)). The Project requests a 69.7 percent density bonus to allow 112 units (66 base + 46 bonus). The Project currently requests three incentives/concessions and six waivers. The Project applicant reserves the right to request additional/different concessions or waivers at a later time.

The Project applicant requests the following concessions / incentives:

- o Exceeding 75 Percent Rental Cap. BMR Program Units (i.e., those units provided to satisfy City inclusionary requirements) must comply with the City's BMR Guidelines, which restrict rental amounts for such units from exceeding 75 percent of market rate rents. (BMR Guidelines, § 4.1.2.) This restriction particularly impacts moderate income units and, applied here, would render the Project economically infeasible. Thus, the Owner requests an incentive to allow rents for moderate income BMR Program Units to exceed the 75 percent cap, up to the rental amount permitted by the Health and Safety Code. This incentive will result in cost savings through increased revenue from the moderate income units, thus reducing overall costs and facilitating the production of affordable housing.

- o Adding Rather Than Replacing a Utility Pole. The City asked the Project to replace an existing utility pole that transitions power lines from above ground to underground. Rather than replace this pole, the

Project would accomplish the necessary step up by adding a utility pole. Adding a new pole rather than replacing the existing utility pole results in significant cost savings due to the decrease in construction necessary to add a new pole compared to replacing the existing pole. Replacing the existing pole would require construction of an additional underground vault and more extensive underground exploration efforts than necessary for a new pole.

o Not Pre-Plumbing For Recycled Water. City Municipal Code section 16.45.130(3)(D) requires all new buildings to be dual plumbed for the internal use of recycled water. The Owner requests an incentive to not pre-plumb the Project for recycled water. There is no recycled water available now or in the foreseeable future for the Project's location. Not pre-plumbing for recycled water saves hundreds of thousands of dollars in construction costs and thus results in an identifiable and actual cost saving to provide for affordable housing.

The Project applicant requests the following waivers, which are needed to allow the Project to fit on the Property at the density proposed:

o Increase in Residential Floor Area Ratio ("FAR"). The maximum Bonus Level Development residential FAR is 225 percent. The Owner requests a waiver of this standard to allow an FAR of 410 percent. This waiver is necessary for the Project to be constructed at the density allowed and as designed by the Project applicant. Absent this waiver, the density bonus units would not fit in the Project.

o Increase in Height. The maximum Bonus Level Development height is 70 feet, plus an additional 10 feet for a location in a flood zone, for a total of 80 feet. (Mun. Code, § 16.45.050.) The Owner requests a waiver to increase the maximum height to approximately 86 feet measured from average natural grade to top of roof plywood, excluding rooftop mechanical equipment, stairs, and the elevator. With this increase in the maximum height, the average building height would be 71.1 feet. The waiver is necessary for the Project to be constructed at the density allowed and as designed by the Owner. Absent the waiver, the density bonus units would not fit in the Project.

o Decrease Ground-Floor Height. City Municipal Code section 16.45.120(3) requires a minimum ground-floor height of 10 feet for residential uses. The Owner requests a waiver to decrease this minimum to no lower than 8.5 feet. The waiver is necessary for the Project to be constructed at the density allowed and as designed by the Owner. Absent the waiver, the Project would further exceed the height limit.

o Decrease in Parking. The City Municipal Code is a bit unclear regarding whether a leasing office in a multifamily apartment building must be parked as an office use. The Municipal Code requires two parking spaces per 1,000 square feet of office. (Mun. Code, § 16.45.080.) The Owner requests a waiver to provide no office parking. In addition, the Project provides 99 full sized parking spaces for 112 units, which is fewer parking spaces than required. (§ 16.45.080.) The parking waivers are necessary for the Project to be constructed at the density allowed and as designed. Absent these waivers, the Project would need to reduce units to make room for additional parking spaces.

o Reduction in Parking Space Size. To address City concerns regarding the number of parking spaces, Owner requests the ability to construct compact spaces, which would be 7.5 x 15 feet rather than 8.5 x 16.5 feet, and to decrease the wall clearance from one foot to no clearance. The size of the compact spaces is consistent with city of San Francisco requirements, indicating that such spaces would be useable and safe. At this time, Owner has yet to study exactly how many spaces it could add to the

Project, but compact spaces would allow the Project to get closer to the City’s desired parking ratio of 1 space per unit.

o BMR Unit Size. The BMR Guidelines, section 5.1, states, “BMR housing units shall generally be of the same proportionate size (number of bedrooms and square footage) as the market-rate units.” The BMR Program Units (i.e., the 15 percent affordable units provided to comply with the City’s inclusionary ordinance) have the same proportionate bedrooms as the market-rate units but are not the same size. A waiver is requested to allow some BMR Program Units to be slightly smaller than the market-rate units to allow the Project to fit the density allowed in the design proposed. HCD has affirmed that waivers can be requested to alter inclusionary requirements. (See HCD Letter to West Hollywood, dated Sept. 2, 2022, at p. 3 [“The SDBL can be used to modify or waive provisions of an inclusionary ordinance.”].)

o Reduction in Ground Floor Transparency. City Municipal Code section 16.45.120(3) requires 30 percent of the ground floor to be transparent. The Owner requests a waiver to reduce the ground floor glazing to below 30 percent. The waiver is necessary for the Project to be constructed at the density allowed and as designed by the Owner. To meet the ground floor transparency requirements, the required indoor bicycle parking and utility space would need to be relocated to the second floor, replacing units.

PROJECT OBJECTIVES

The Project is a response to the region’s need for housing, providing the maximum number of units allowed on the Property for a mixed-income project under State Density Bonus Law and the Property’s zoning. The primary Project objectives are:

- Provide a Project that is within the density permitted by the Property’s zoning and State Density Bonus Law.
- Help the City and region achieve a better jobs/housing ratio by replacing a commercial building with housing.
- Improve the pedestrian experience adjacent to and through the Project site.
- Alleviate traffic from commuters living outside the City by providing housing close to a jobs center and public transit such as buses and shuttles.
- Develop the site at a sufficient density and intensity to provide the City with community benefits.
- Provide enough market-rate residential units to have an economically viable and feasible project, while also helping satisfy the region’s need for very-low-income and moderate-income rental housing.
- Support the State’s carbon reduction goals by complying with the Building Energy Efficiency Standards in the California Building Code (Title 24, Parts 6 and 11), providing an all-electric building, and contributing to reduced mobile emissions by siting residential uses in a job-rich area.
- Construct an aesthetically pleasing building that is in harmony with the recent developments in the surrounding neighborhood.

REQUIRED APPROVALS

The following City discretionary approvals would be required prior to development of the Project:

- CEQA Community Plan Exemption or EIR Certification, including Adoption of Findings and Mitigation Monitoring and Reporting Program
- Use Permit for Bonus Level Development, including approval of the Community Amenity
- Architectural Control
- Below Market Rate Housing Agreement

In addition, the Project may require permits or approvals from the following non-City agencies:

- San Francisco Regional Water Quality Control Board
- Bay Area Air Quality Management District
- West Bay Sanitary District

ARCHITECTURAL AND LANDSCAPE DESIGN

Site Layout

The site layout is designed to maximize daylight into the courtyard while promoting unit views and privacy. The ground floor residential entry and lobby are located along the southern side of the building in response to residential neighbors to the west. Two additional pedestrian doors have been provided along Haven East for additional access point to the ground-floor bike room and ingress/egress from the parking garage. Two vehicular access points for the two floors of parking are located as far as possible from the southeast corner where Haven Avenue turns the corner.

Architectural Style & Materials

The Project is a contemporary take on a courtyard building. The architectural scale and rhythm of the building contains several elements that enhance the pedestrian experience while minimizing perceived scale and mass. At the ground floor, the Project would provide recessed areas with planting and storefront entrances at the lobby and adjacent spaces for visual interest, creating an active presence. The lobby space sequence begins with a seating node at the entry and a mailbox area central to the space with an offset package room, and connects to the resident amenity space, bike room, elevators, stairs and garage area towards the rear of the lobby. The building has a distinct break for the courtyard at the center of the building along the east facing Haven façade with the frontage designed to respond aesthetically to the program above.

The massing of the building contains visual hierarchies of subset volumes that break down the overall mass of the building with decks and setbacks at the upper levels. Planning requirements are met with the base height stepping back above 45 feet (55' maximum allowed) as well as major and minor building modulations. The building is arranged in a U-shape around a central courtyard featuring a pool and amenity spaces. Units have been removed at the Southern edge of the courtyard at the fifth floor and above to increase the sun exposure, with this space designed as a quiet outdoor space. The uppermost level steps back from the street frontages to allow for another outdoor gathering space. Sloped parapets create interest with modulation at the roof plane which are reflected in angled plans. The building sides facing the property lines feature undulating facades that embrace recessed balconies and pick up on the angles of the street frontages.

Exterior finishes include cement plaster, fiber cement panels in varying colors, large format fiber cement panels, corrugated metal panels, metal guardrails, perforated metal panels at the garage and aluminum

wood-looking siding. These materials are durable and of a high quality to wear well over time. Fenestration details vary across different finish materials, with vinyl windows and storefront door and glazing at the lobby, and the garage doors are perforated metal. The material vocabulary is carried throughout the project to emphasize different volumes of the building to break down the scale.

Site Landscaping

Site landscaping features at-grade planters and raised stormwater flow through planters, new trees, shrubs, grasses, and perennials will be provided per the landscape drawings. The planting design shall utilize a variety of Mediterranean-style, native, and drought-tolerant plant species to create layers of color and texture to complement the architecture and setting. 80% of plant material to be native or low water use and follow MWELo guidelines. Of the 17 trees existing on site, 13 will be removed and 4 saved. New trees include 4 at the street, 11 at the ground level, and 23 on podium and roof terrace.

Publicly Accessible Open Space & Site Lighting

At the southeastern corner, an outdoor area has been carved out of the building with modular stacked seating and planters, decorative back racks, and pavers. Large and small building recesses with planting have been created throughout the frontages to provide a pedestrian scale and promote wandering around the Property. Luxuriously planted walkways have been provided on the north and west sides of the Property with sculptural pre-cast concrete seating and bollard lighting to create an inviting space. Entries to these walkways have been framed with feature gateways with integrated lighting. Building-mounted dark-sky compliant light fixtures will be used to light this publicly accessible open space as well as the building entrances.

Residential Outdoor Spaces

The Project provides three common outdoor spaces for Project residents: the third-floor courtyard, fifth-floor deck, and rooftop deck. These common open spaces are accessible for resident use with key fobs, and the hours, scheduled events and music volume would be managed by the Property Management team to comply with City requirements.

Each open space has its own identity. The third-floor courtyard has a swimming pool and ample outdoor seating areas. The fifth-floor deck is a serene spot with lounge seating, tables for quiet chats, and greenery in planters. The rooftop deck is a social hub with shade structure, an outdoor kitchen, a communal dining table, and comfortable seating. Subtle integrated lighting would help create a lively atmosphere, making it perfect for gatherings.

Windows & Bird-friendly Glazing

Tied to the materials, the windows relate to the building volumes as well. Tall windows are utilized at the street frontages with taller forms; the lower base elements and property line facades feature smaller punched openings. To provide bird-friendly glazing, windows throughout the building will have external screens on operable panels. On non-operable panels, UV Patterned Glass or fritted glass will be utilized.

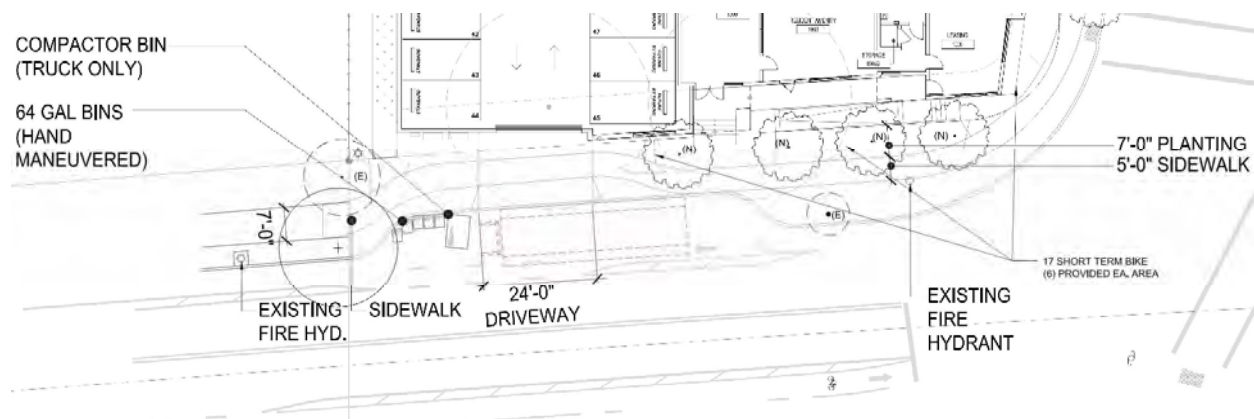
Sustainability Features

The building design will comply with the Reach Codes & Menlo Park Municipal Code Chapter 12.16 California Energy Code amendments and Chapter 16.45.130 R-MU Residential Mixed Use District Green and sustainable building requirements. The building will be designed to meet LEED Gold BD+C. Some

sustainable features include an increased first floor elevation above the base flood elevation for sea level rise, bird friendly glazing, solar ready zone, Electric Vehicle charging stations and EV ready parking spaces.

Trash Collection

Trash collection will occur along Haven South adjacent to the first-floor garage entrance. Trash receptacles will be staged by Property management outside the flow of traffic. The Property size does not allow for a garbage truck to pull onto the Property, so a portion of the curb will be carved out to provide a place for service. Factors that contributed to this design included the lack of parking along the Property frontage, the need to minimize disturbance to a bike lane, and the need to address sight lines at the corner of Haven. The proposed design allows for trash collection trucks to pull off the street for safe servicing outside of the existing bike lane.



Community Amenity Proposal

The Project applicant is proposing to provide three (3) very low income residential rental units on site as the Project's community amenity. These three very low income units will consist of two (2) two-bedroom units and one (1) one-bedroom unit.

CONSTRUCTION TIMING AND METHODS

The building is three stories of Type I construction under 5 stories of Type III construction. Construction would occur in a single phase and is expected to take approximately 22 months. The projected excavation depth is approximately 3 feet. The total estimated net export is expected to be 2,000 cubic yards. During construction, the contractor shall coordinate to provide dust control without the use of potable water.

OUTREACH TO NEIGHBORING PROPERTIES

A project informational package was shared with adjoining neighbors at 3715 Haven Ave (property to the North) and 3645 Haven Ave, Elan Menlo Park Apartments (property to the East) by the Project applicant via virtual meetings that occurred on November 23, 2022, and December 22, 2022. Neighbors were presented with a summary of the Project and given opportunities to voice questions and concerns. Discussions included clarifying the setbacks, easement along the north Property line, construction timing, management of the property, considerations for shadows, and removing existing driving access across the site.

| DEVELOPMENT AND DESIGN STANDARDS PER MENLO PARK MUNICIPAL CODE SECTION 16.45.120 | | |
|--|--|--|
| | REQUIRED | PROPOSED |
| DENSITY | >30 DU / ACRE TO 100 DU / ACRE 20 UNITS - 66 UNITS | 170 DU / ACRE* 112 UNITS |
| SETBACKS | STREET SETBACKS: 0' SIDE SETBACKS: 10'-0" REAR SETBACKS: 10'-0" | SEE ARCHITECTURAL PLANS (ALL MEET MIN. REQUIREMENTS) |
| HEIGHT LIMIT | PROPERTIES W/IN FLOOD ZONE ARE ALLOWED 10' INCREASE IN HEIGHT. MAXIMUM HEIGHT 70'-0" + 10'-0" = 80'-0" (SCREEN FOR MECH. EQUIP. +14', ELEVATOR TOWERS & EQUIP. +20'). | 74'-9" HIGHEST OCCUPIABLE FLOOR LEVEL 84'-9" TOP OF ROOF SHEATHING 71.1' AVERAGE HEIGHT |
| MAXIMUM RESIDENTIAL FLOOR AREA RATIO (FAR) | >90%-225% (BONUS LEVEL) RESIDENTIAL | 410%* |
| OPEN SPACE | 25% OF SITE: 7,202 SF 25% OPEN SPACE PUBLICLY ACCESSIBLE: 1,801 SF 100 SF / UNIT COMMON OPEN SPACE - OR - 80 SF / UNIT PRIVATE OPEN SPACE PRIVATE OPEN SPACE: MIN. DIMENSION 6' X 6' MIX OF OPEN SPACE: RATIO OF 1.25 SF COMMON OPEN SPACE FOR 1.0 PRIVATE OPEN SPACE COMMON OPEN SPACE: MIN. OF 1 SPACE, 40' MIN. DIMENSION; 1,600 SF TOTAL MIN. (101 OR MORE UNITS) | PROJECT IS COMPLIANT & MEETS 25% OF REQ'D OPEN SPACE FOR RESIDENTIAL. 4,670 SF AT GRADE PUBLICLY ACCESSIBLE OCCURS ALONG NORTH AND WEST SIDES OF BUILDING WITH FEATURE GATEWAYS WITH LIGHTING, WALKWAYS ENHANCED WITH LIGHTING AND SCULPTURAL SEATING. CORNER PLAZA WITH MODULAR STACKED SEATING AND PLANTERS, DECORATIVE BIKE RACKS, AND PAVERS AT CORNER OF HAVEN. COMMON OPEN SPACE INCLUDES 3,200 SF AT COURTYARD, 895 AT 5TH FLOOR ROOF DECK, AND 1,995 AT ROOF DECK. ADDITIONAL PRIVATE DECKS PROVIDED, SEE G0.05B, C & D. PRIVATE DECKS INCLUDE: 36 - NON-COMPLIANT PRIVATE OPEN SPACE 16 - PARTIALLY COMPLIANT PRIVATE OPEN SPACE, MEETS 6'X6' MIN, BUT DOES NOT MEET 80 SF. |

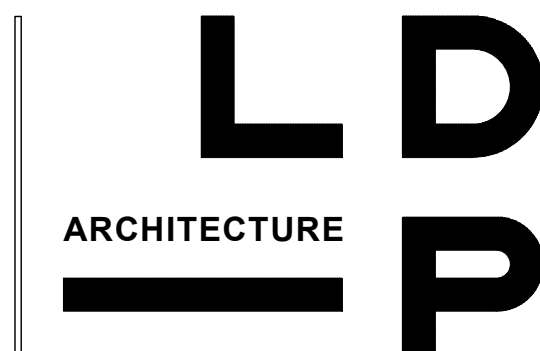
| | | |
|-------------------------------------|--|--|
| | | 20 - COMPLIANT COMMON PRIVATE OPEN SPACE, 6'X6' MIN & 80 SF |
| BICYCLE PARKING | <u>RESIDENTIAL:</u> 168 SPACES (1.5 LONG TERM/ UNIT) 17 SPACES (10% ADDITIONAL SHORT-TERM FOR GUESTS, MUST BE WITHIN 50' OF LOBBY) | 168 SPACES LONG TERM SPACES LOCATED AT THE GROUND FLOOR 17 SPACES SHORT-TERM FOR GUESTS LOCATED AT GROUND FLOOR WITHIN 50' OF THE LOBBY |
| VEHICLE PARKING - RESIDENTIAL UNITS | 1 SPACE/UNIT - 1.5 SPACES / UNIT MAX. (112 - 168 MAX.) | 104 UNASSIGNED PARKING SPACES (5% ADA REQUIRED)* 6 ACCESSIBLE PARKING SPACES (INCLUDES 1 VAN PARKING SPACE) PARKING OCCURS AT FLOORS 1 & 2, 34 STANDARD SIZE SPACES AND 48 COMPACT SIZE SPACES UNLESS OTHERWISE NOTED. |
| ELECTRIC VEHICLE PARKING | PER 4.106.4.2.1., 15% SHALL BE EVCS / EVSE EQUIPPED WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT WITH MINIMUM OF LEVEL 2 EV READY. 15% OF 104 = 16 SPACES ELECTRIC VEHICLE SUPPLY EQUIPMENT (WHICH INCLUDES 1 EVSE SPACE WITH 8' AISLE) | 16 EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT, INCLUDES 1 EVSE SPACE WITH 8' WIDE LOADING AISLE) ALL REMAINING PARKING SPACES SHALL HAVE A LOW POWER LEVEL 2 EV READY SPACE PER 4.106.4.2.1 |
| FRONTAGE LANDSCAPING | 25% MIN OF SETBACK AREA BETWEEN PROP. LINE & FACE OF BUILDING (50% SHOULD PROVIDE ON-SITE INFILTRATION OF STORMWATER RUNOFF). | SEE L-6 LANDSCAPE FRONTAGE CALCULATIONS FOR CLARITY |

| | | |
|--|--|---|
| BUILDING MASS & SCALE: BASE HEIGHT | 55' MAX. AT SETBACK OR BEFORE HORIZONTAL DISTANCE SETBACK REQUIRED. MIN. SETBACK: 10' FOR A MIN. OF 75% OF THE BUILDING FACE ALONG PUBLIC STREETS (ABOVE 45'). MAX. 25% OF BUILDING FACE ALONG PUBLIC STREETS MAY BE EXCEPTED. ASSUME PROJECTIONS (I.E. BALCONIES) DO NOT COUNT TOWARDS THIS. BUILDING PROJECTIONS: 6' MAX. DEPTH (I.E. BALCONIES/BAY WINDOWS ABOVE GROUND FLR.) | REQUIREMENTS MET, SEE PLANS ON A2.05-A2.09 & ELEVATIONS ON A3.01, AS WELL AS DIAGRAMS ON A3.05B AND A3.05C. |
| BUILDING MASS & SCALE: MAJOR & MINOR BUILDING MODULATIONS | MAJOR BUILDING MODULATIONS: MIN. ONE RECESS OF 15' WIDE X 10' DEEP PER 200' FACADE. MINOR BUILDING MODULATIONS: MIN. RECESS OF 5' WIDE X 5' DEEP PER 50' OF FACADE LENGTH. BUILDING PROJECTIONS SPACED NO MORE THAN 50' APART WITH MIN. 3' DEPTH & 5' WIDTH MAY SATISFY THIS IN LIEU OF A RECESS. | REQUIREMENTS MET, SEE PLANS & ELEVATIONS. |
| GROUND FLOOR EXTERIOR: BUILDING ENTRANCES | BUILDING ENTRANCES: ONE ENTRANCE EVERY 100' OF BUILDING LENGTH, MIN. ONE ALONG EACH LENGTH. | REQUIREMENTS MET, ENTRY PROVIDED ON EACH FRONTAGE, SEE PLAN ON G0.02D & A2.01, AND ELEVATION DIAGRAM ON A3.05A. |
| GROUND FLOOR EXTERIOR: TRANSPARENCY | GROUND FLOOR TRANSPARENCY: 30% FOR RESIDENTIAL | SEEKING WAIVER FOR LESS THAN 30%, SEE PLAN ON A2.01 & ELEVATION DIAGRAM ON A3.05F. APPROX. 22% & 29% TRANSPARENCY PROVIDED. |
| GROUND FLOOR EXTERIOR: GROUND FLOOR HEIGHT ALONG ST. FRONTAGE. | 10' RESIDENTIAL (GROUND FLOOR LEVEL TO CEILING ALONG STREET) | SEEKING WAIVER FOR 10' FLOOR-TO-FLOOR HEIGHT, WITH APPROX. 9'-0" GROUND FLOOR LEVEL TO CEILING ALONG STREET |
| GROUND FLOOR EXTERIOR: GARAGE ENTRANCES | MAXIMUM 24-FOOT OPENING FOR TWO-WAY ENTRANCE. | MAXIMUM 24-FOOT OPENING PROVIDED. |
| GROUND FLOOR EXTERIOR: AWNINGS, SIGNS & CANOPIES | 7' MAX. DEPTH. 8' MIN. VERTICAL CLR. TO GRADE; SHALL NOT EXTEND INTO PUBLIC RIGHT OF WAY. | REQUIREMENTS MET, SEE PLANS & ELEVATIONS. |


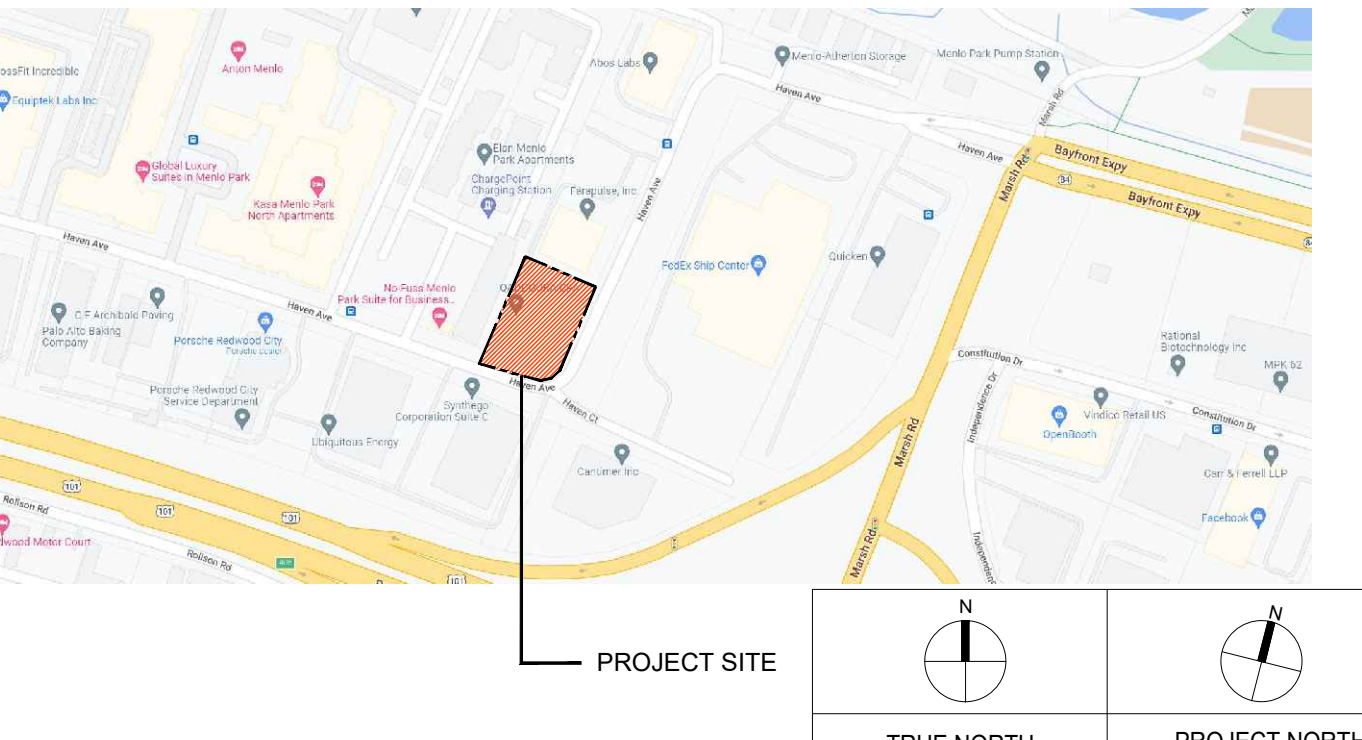
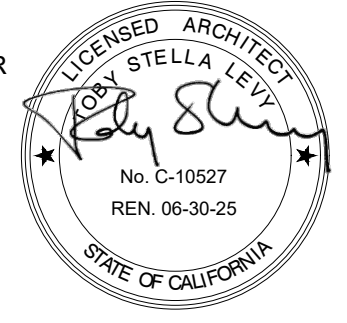
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|---|---|--|
| BUILDING DESIGN | ROOF LINES: 4' MIN. HEIGHT MODULATION TO BREAK VISUAL MONOTONY AND CREATE VISUALLY INTERESTING SKYLINE AT PUBLIC STREETS | REQUIREMENTS MET, SEE PLANS & ELEVATIONS. |
| *See requested density bonus and waivers pursuant to State Density Bonus Law (Gov. Code, § 65915) | | |

3705 HAVEN AVENUE

MENLO PARK, CA



NOTICE: THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF LEVY DESIGN PARTNERS, INC. (LDP ARCHITECTURE) AND SHALL NOT BE USED EXCEPT BY WRITTEN AGREEMENT WITH LEVY DESIGN PARTNERS.

| GENERAL NOTES | CONTACT LIST | DEFERRED SUBMITTALS | ELEVATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| <p>GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.</p> <p>EXISTING CONDITIONS: CONDITIONS SHOWN OF THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE: DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.</p> <p>PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPTING THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNERS' AND IS REIMBURSABLE TO THE G.C.</p> <p>CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRICAL, MECHANICAL, AND PLUMBING CODES, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY AND/OR COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.</p> <p>SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS PERFORMED.</p> <p>CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF THE EACH DAY. AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.</p> <p>PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.</p> <p>ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE PROVIDED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR.</p> <p>"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.</p> <p>*TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTOR'S AND CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.</p> <p>SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.</p> <p>DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT OR OWNER.</p> <p>GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK.</p> <p>COLUMN CENTERLINES (ALSO REFERRED TO AS GRIDLINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS).</p> <p>CONSTRUCTION HOURS: VERIFY WITH CITY OF MENLO PARK FOR CONSTRUCTION HOURS</p> <p>ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.</p> <p>AN OSHA PERMIT TO BE OBTAINED FOR THE SHORING* AT THE EXCAVATION IN THE BASEMENT PER CAL/OSHA REQUIREMENTS. SEE CAL/OSHA HANDBOOK. *CONSTRUCTION SAFETY ORDERS: CHAPTER 4, SUBCHAPTER 4, ARTICLE 6, SECTION 1541.1.</p> <p>GRADING PERMIT, IF REQUIRED, TO BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.</p> <p>WHEN PLANS ARE SUBMITTED FOR BUILDING CODE PLAN CHECK, THEY WILL INCLUDE A COMPLETE UNDERGROUND PLUMBING PLAN INCLUDING COMPLETE DETAILS FOR THE LOCATION OF ALL REQUIRED GREASE TRAPS AND CITY-REQUIRED BACKWATER PREVENTION DEVICES.</p> <p>ALL EARTHWORK AND SITE DRAINAGE, INCLUDING SITE CLEARING, EXCAVATION FOR THE LOWER LEVEL AND FOUNDATIONS, PREPARATION OF SUBGRADE BENEATH SLABS AND OTHER EXTERIOR HARDSCAPES, PLACEMENT AND COMPACTION OF ENGINEERED FILL BENEATH THE SLABS-ON-GRADE AND EXTERIOR HARDSCAPES, RETAINING WALL DRAINAGE AND BACKFILL, BACKFILL IN UTILITY TRENCHES, AND SURFACE DRAINAGE INSTALLATIONS SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY ROCKRIDGE GEOTECHNICAL, DATED JULY 23, 2020.</p> <p>A CONSTRUCTION WASTE MANAGEMENT PLAN TO BE PROVIDED PER LOCAL ORDINANCE 12.18.010 OR 12.18.020, WHICHEVER IS APPLICABLE.</p> <p>DURING CONSTRUCTION - PEDESTRIAN PROTECTION ALONG THE PUBLIC RIGHT OF WAY WITH SIDEWALKS IS REQUIRED PER SECTION 3306 OF THE 2022 CBC.</p> <p>PROTECTION OF ADJOINING PROPERTY DURING CONSTRUCTION WILL BE REQUIRED PER SECTION 3307 OF THE 2022 CBC.</p> <p>THE BUILDINGS ARE REQUIRED TO MEET THE SOUND TRANSMISSION REQUIREMENTS OF SECTION 1206 OF THE 2022 CBC.</p> <p>NOTE A CONSTRUCTION WASTE MANAGEMENT PLAN WILL BE REQUIRED AS PER MENLO PARK LOCAL ORDINANCE 12.18.020.</p> <p>THE BUILDING IS LOCATED IN A FLOOD ZONE AND IS REQUIRED TO MEET ALL APPLICABLE FLOOD DESIGN CRITERIA AND FINAL CERTIFICATION, INCLUDING 2022 CBC 1612 AND THE MENLO PARK'S LOCAL ORDINANCE 12.42.</p> <p>ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED EITHER AS AN EXISTING CONDITION OR AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.</p> | <p>OWNER</p> <p>MARCH CAPITAL MANAGEMENT 2040 WEBSTER STREET SAN FRANCISCO, CA 94115 TEL: 415/498-7575</p> <p>CONTACT: YOLA OZTURK</p> <p>ARCHITECT</p> <p>LEVY DESIGN PARTNERS PO BOX 2039 SAN FRANCISCO, CA 94126 TEL: 415/777-0561 FAX: 415/777-5117</p> <p>CONTACT: TOBY LEVY</p> <p>LANDSCAPE ARCHITECT</p> <p>JETT LANDSCAPE 2 THEATRE SQUARE, SUITE 218 ORINDA, CA 94563 TEL: 925.294-5422</p> <p>CONTACT: WHITNEY MILLER</p> <p>CIVIL ENGINEER</p> <p>LEA & BRAZE ENGINEERING, INC. 2495 INDUSTRIAL PRKWAY WEST HAYWARD, CA 94545 TEL: 510/887-4086</p> <p>CONTACT: JOHN HALBOM</p> <p>GEOTECHNICAL ENGINEER</p> <p>ROCKRIDGE GEOTECHNICAL 270 GRAND AVENUE OAKLAND, CA 94610 TEL: 510/420-5738 FAX: 510/652-3096</p> <p>CONTACT:</p> <p>JOINT TRENCH</p> <p>TARRAR 813 FIRST STREET BRENTWOOD, CA 94513 TEL: 925/240-2595 FAX: 925/240-7013</p> <p>CONTACT: ALFONSO REYES</p> | <p>SUBMITTAL OF THE FOLLOWING WORK IS DEFERRED TO A LATER DATE:</p> <ol style="list-style-type: none"> FIRE SUPPRESSION SYSTEM, NFPA 13 (2022 EDITION) <ol style="list-style-type: none"> BUILDING SHALL BE EQUIPPED WITH AN APPROVED CLASS 1 NFPA 14 (2019 ADDITION) STANDPIPE SYSTEM. SYSTEM SHALL BE SUBMITTED AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION. PRIVATE UNDERGROUND FIRE SERVICE MAIN, NFPA 24 (2019 EDITION). SHOP DRAWINGS FOR FIRE PROTECTION UNDERGROUND SHALL BE SUBMITTED UNDER SEPARATE PERMIT. SYSTEM SHALL BE APPROVED PRIOR TO INSTALLATION AND PRIOR TO APPROVAL OF THE FIRE SPRINKLER SYSTEM. FIRE ALARM SYSTEM, NFPA 72 (2022 EDITION), INCLUDING SMOKE AND CARBON MONOXIDE DETECTION, FOR APPROVAL THROUGH THE FIRE DEPARTMENT PRIOR TO INSTALLATION. PV SYSTEMS, CRC SECTION 1204 (2022 EDITION). EMERGENCY RESPONDER RADIO COVERAGE, CFC 510 (2022 EDITION). BUILDING SIGNAGE PACKAGE SHALL COMPLY WITH 2022 CBC - LOCATION OF PROPERTY - APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. <p>POTENTIAL DEFERRED SUBMITTALS, TO BE CONFIRMED IF APPLICABLE:</p> <ul style="list-style-type: none"> FIRE PUMP, NFPA 20 (2019 ADDITION) GENERATOR - STATIONARY, CRC SECTION 1203 (2022 EDITION) <p>THESE DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION; FOLLOWING THE COMPLETION OF PROJECT ARCHITECT/ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR CITY REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G. WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.), WITH NO EXCEPTIONS.</p> <p>APPLICABLE CODES, REGULATIONS AND STANDARDS</p> <p>2022 CBC CHAPTER 35, PROVIDE ALL THE APPLICABLE/ADOPTED STANDARDS, WHERE A PARTICULAR STANDARD IS REFERENCED IN THE CODE BUT DOES NOT APPEAR AS AN ADOPTED STANDARD IT STILL MAY BE USED, APPLY ONLY THE PORTION OF THE STANDARD THAT IS APPLICABLE TO THE CODE SECTION WHERE STANDARD IS REFERENCED, NOT THE ENTIRE SECTION.</p> <p>APPLICABLE CODES</p> <ul style="list-style-type: none"> 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24, CCR 2022 CALIFORNIA BUILDING CODE, PART 2, TITLE 24, CCR 2022 CALIFORNIA ELECTRICAL CODE, PART 3, TITLE 24, CCR 2022 CALIFORNIA MECHANICAL CODE, PART 4, TITLE 24, CCR 2022 CALIFORNIA PLUMBING CODE, PART 5, TITLE 24, CCR 2022 CALIFORNIA ENERGY CODE, PART 6, TITLE 24, CCR 2022 SAFETY CODE FOR ELEVATORS AND ESCALATORS (ASME A17.1-2010) 2022 CALIFORNIA HISTORICAL BUILDING CODE, PART 8, TITLE 24, CCR 2022 CALIFORNIA FIRE CODE, PART 9, TITLE 24, CCR 2022 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLES 24 CCR 2022 CALIFORNIA "GREEN" BUILDING REQUIREMENTS, PART 11, TITLE 24 CCR 2022 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 CCR TITLE 8 CCR CH. 4 SUB-CH. 6 - ELEVATOR SAFETY ORDERS TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS THIS DESIGN IS IN COMPLIANCE WITH THE FAIR HOUSING ACT DESIGN REFERENCE MANUAL CALIFORNIA CODE OF REGULATIONS TITLE 8 ELEVATOR SAFETY ORDERS UNIFORM FEDERAL ACCESSIBILITY STANDARDS INCLUDING ANY AMENDMENTS AS ADOPTED IN ORDINANCE 1856-2010 AS WELL AS ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS <ul style="list-style-type: none"> 2022 MENLO PARK MUNICIPAL CODE (MPMC) 2016 GENERAL PLAN (GP) APPLICABLE LOCAL BUILDING ORDINANCES <p>APPLICABLE STANDARDS</p> <ul style="list-style-type: none"> NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS, 2022 EDITION NFPA 13 AUTOMATIC SPRINKLER SYSTEMS, 2022 EDITION NFPA 14 STANDPIPE SYSTEMS, 2022 EDITION NFPA 17 DRY CHEMICAL EXTINGUISHING SYSTEMS, 2021 EDITION NFPA 17a WET CHEMICAL SYSTEMS, 2021 EDITION NFPA 20 STATIONARY PUMPS, 2022 EDITION NFPA 24 PRIVATE FIRE MAINS, 2022 EDITION NFPA 72 NATIONAL FIRE ALARM CODE, 2022 EDITION NFPA 253 CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS, 2023 EDITION NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS, 2022 EDITION ASME 17.1 ELEVATOR STANDARD, 2019 EDITION ASME/ANSI A18.1 SAFETY STANDARD FOR PLATFORM LIFTS AND STAIRWAY CHAIR LIFTS ADA STANDARDS FOR ACCESSIBLE DESIGN; ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), (28 CFR PART 36, APPENDIX A) |  <p>SUMMARY/SCOPE OF WORK</p> <p>3705 HAVEN AVE IS A PROPOSED PRIVATELY FUNDED 8 STORY BUILDING TO INCLUDE (112) NEW RESIDENTIAL UNITS AND INTERIOR PARKING AT GROUND FLOOR AND SECOND FLOOR PODIUM LEVELS. PUBLICLY ACCESSIBLE OPEN SPACE IS PROVIDED ON THE GROUND FLOOR AND REQUIRED PRIVATE OPEN SPACE AT COURTYARD LEVEL.</p> <p>BUILDING DATA</p> <p>ADDRESS: 3705 HAVEN AVE, MENLO PARK, CA 94025</p> <p>PARCEL NUMBER: 055170240</p> <p>LOT SIZE: ±28,808 SQ. FT. 0.66 ± ACRES</p> <p>CONSTRUCTION TYPE: I-A & III-A</p> <p>FIRE RATINGS:</p> <table border="1"> <thead> <tr> <th>TYPE III-A</th> <th>TYPE I-A</th> </tr> </thead> <tbody> <tr> <td>PRIMARY STRUCTURAL FRAME: 1 HOUR (CBC TABLE 601)**</td> <td>PRIMARY STRUCTURAL FRAME: 3 HOUR (CBC TABLE 601)</td> </tr> <tr> <td>BEARING EXTERIOR WALLS: 2 HOUR (CBC TABLE 601)**</td> <td>BEARING EXTERIOR WALLS: 3 HOUR (CBC TABLE 601)</td> </tr> <tr> <td>BEARING INTERIOR WALLS: 1 HOUR (CBC TABLE 601)**</td> <td>BEARING INTERIOR WALLS: 3 HOUR (CBC TABLE 601)</td> </tr> <tr> <td>NON-BEARING EXTERIOR WALLS: VARIES (CBC TABLE 602)**</td> <td>NON-BEARING EXTERIOR WALLS: VARIES (CBC TABLE 601)</td> </tr> <tr> <td>NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601)**</td> <td>NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601)</td> </tr> <tr> <td>FLOOR CONSTRUCTION: 1 HOUR (CBC TABLE 601)**</td> <td>FLOOR CONSTRUCTION: 2 HOUR (CBC TABLE 601)</td> </tr> <tr> <td>ROOF CONSTRUCTION: 1 HOUR (CBC TABLE 601)**</td> <td>ROOF CONSTRUCTION: 1.5 HOUR (CBC TABLE 601)</td> </tr> <tr> <td>EXIT ENCLOSURES: 2 HOURS (CBC 1022.1)</td> <td>EXIT ENCLOSURES: 2 HOURS (CBC 1022.1)</td> </tr> </tbody> </table> <p>* PER TABLE 601, NOTE D, AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 SHALL BE ALLOWED TO BE SUBSTITUTED FOR 1-HOUR FIRE RESISTANCE-RATED CONSTRUCTION, PROVIDED SUCH SYSTEM IS NOT OTHERWISE REQUIRED BY OTHER PROVISIONS OF THE CODE OR USED FOR AN ALLOWABLE AREA INCREASE IN ACCORDANCE WITH SECTION 506.3 OR ALLOWABLE HEIGHT INCREASE IN ACCORDANCE WITH SECTION 504.2. THE 1-HOUR SUBSTITUTION FOR THE FIRE RESISTANCE OF EXTERIOR WALLS SHALL NOT BE PERMITTED.</p> <p>** WALLS TO BE FRAMED WITH FIRE-RETARDANT-TREATED WOOD FRAMING COMPLYING WITH SECTION 2303.2</p> <table border="1"> <thead> <tr> <th>LOCATION</th> <th>BUILDING 01</th> <th>BUILDING 02</th> <th>BUILDING 03</th> </tr> </thead> <tbody> <tr> <td>LEVEL</td> <td>1-3</td> <td>4-8</td> <td>4-8</td> </tr> <tr> <td>PROPOSED OCCUPANCY</td> <td>S-2, R-2 (RESIDENTIAL)</td> <td>R-2 (RESIDENTIAL)</td> <td>R-2 (RESIDENTIAL)</td> </tr> <tr> <td>CONSTRUCTION*</td> <td>TYPE I-A</td> <td>TYPE III-A</td> <td>TYPE III-A</td> </tr> <tr> <td>SPRINKLERED</td> <td>YES</td> <td>YES</td> <td>YES</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>AREA</th> <th>ALLOWABLE AREA PER STORY (2022 CBC TABLE 506.2)</th> <th>UNLIMITED</th> <th>SEE SHEET G0.05A</th> <th>SEE SHEET G0.05A</th> </tr> </thead> <tbody> <tr> <td>TOTAL PROPOSED AREA</td> <td>SEE SHEET G0.05A</td> <td>SEE SHEET G0.05A</td> <td>SEE SHEET G0.05A</td> <td>SEE SHEET G0.05A</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>HEIGHT & STORIES</th> <th>ALLOWABLE HEIGHT (2022 CBC TABLE 504.3)</th> <th>UNLIMITED</th> <th>85'-0" (S WITHOUT AREA INCREASE**)</th> <th>85'-0" (S WITHOUT AREA INCREASE**)</th> </tr> </thead> <tbody> <tr> <td>PROPOSED HEIGHT</td> <td>UNLIMITED</td> <td>UNLIMITED</td> <td>84'-9" TO T.O. ROOF</td> <td>84'-9" TO T.O. ROOF</td> </tr> <tr> <td>ALLOWABLE STORIES (2022 CBC TABLE 504.4)</td> <td>UNLIMITED</td> <td>UNLIMITED</td> <td>5 (S WITHOUT AREA INCREASE**)</td> <td>5 (S WITHOUT AREA INCREASE**)</td> </tr> <tr> <td>PROPOSED STORIES</td> <td>3</td> <td>5</td> <td>5</td> <td>5</td> </tr> </tbody> </table> <p>*3 HOUR SEPARATION BETWEEN BUILDING 01 & BUILDINGS 02 & 03 PER 2022 CBC 510.2. ** FULLY SPRINKLERED WITH NFPA 13 SPRINKLER SYSTEM PER 2022 CBC 903.2.8 & 903.3.1.1</p> | TYPE III-A | TYPE I-A | PRIMARY STRUCTURAL FRAME: 1 HOUR (CBC TABLE 601)** | PRIMARY STRUCTURAL FRAME: 3 HOUR (CBC TABLE 601) | BEARING EXTERIOR WALLS: 2 HOUR (CBC TABLE 601)** | BEARING EXTERIOR WALLS: 3 HOUR (CBC TABLE 601) | BEARING INTERIOR WALLS: 1 HOUR (CBC TABLE 601)** | BEARING INTERIOR WALLS: 3 HOUR (CBC TABLE 601) | NON-BEARING EXTERIOR WALLS: VARIES (CBC TABLE 602)** | NON-BEARING EXTERIOR WALLS: VARIES (CBC TABLE 601) | NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601)** | NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601) | FLOOR CONSTRUCTION: 1 HOUR (CBC TABLE 601)** | FLOOR CONSTRUCTION: 2 HOUR (CBC TABLE 601) | ROOF CONSTRUCTION: 1 HOUR (CBC TABLE 601)** | ROOF CONSTRUCTION: 1.5 HOUR (CBC TABLE 601) | EXIT ENCLOSURES: 2 HOURS (CBC 1022.1) | EXIT ENCLOSURES: 2 HOURS (CBC 1022.1) | LOCATION | BUILDING 01 | BUILDING 02 | BUILDING 03 | LEVEL | 1-3 | 4-8 | 4-8 | PROPOSED OCCUPANCY | S-2, R-2 (RESIDENTIAL) | R-2 (RESIDENTIAL) | R-2 (RESIDENTIAL) | CONSTRUCTION* | TYPE I-A | TYPE III-A | TYPE III-A | SPRINKLERED | YES | YES | YES | AREA | ALLOWABLE AREA PER STORY (2022 CBC TABLE 506.2) | UNLIMITED | SEE SHEET G0.05A | SEE SHEET G0.05A | TOTAL PROPOSED AREA | SEE SHEET G0.05A | SEE SHEET G0.05A | SEE SHEET G0.05A | SEE SHEET G0.05A | HEIGHT & STORIES | ALLOWABLE HEIGHT (2022 CBC TABLE 504.3) | UNLIMITED | 85'-0" (S WITHOUT AREA INCREASE**) | 85'-0" (S WITHOUT AREA INCREASE**) | PROPOSED HEIGHT | UNLIMITED | UNLIMITED | 84'-9" TO T.O. ROOF | 84'-9" TO T.O. ROOF | ALLOWABLE STORIES (2022 CBC TABLE 504.4) | UNLIMITED | UNLIMITED | 5 (S WITHOUT AREA INCREASE**) | 5 (S WITHOUT AREA INCREASE**) | PROPOSED STORIES | 3 | 5 | 5 | 5 |
| TYPE III-A | TYPE I-A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PRIMARY STRUCTURAL FRAME: 1 HOUR (CBC TABLE 601)** | PRIMARY STRUCTURAL FRAME: 3 HOUR (CBC TABLE 601) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BEARING EXTERIOR WALLS: 2 HOUR (CBC TABLE 601)** | BEARING EXTERIOR WALLS: 3 HOUR (CBC TABLE 601) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BEARING INTERIOR WALLS: 1 HOUR (CBC TABLE 601)** | BEARING INTERIOR WALLS: 3 HOUR (CBC TABLE 601) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| NON-BEARING EXTERIOR WALLS: VARIES (CBC TABLE 602)** | NON-BEARING EXTERIOR WALLS: VARIES (CBC TABLE 601) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601)** | NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FLOOR CONSTRUCTION: 1 HOUR (CBC TABLE 601)** | FLOOR CONSTRUCTION: 2 HOUR (CBC TABLE 601) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ROOF CONSTRUCTION: 1 HOUR (CBC TABLE 601)** | ROOF CONSTRUCTION: 1.5 HOUR (CBC TABLE 601) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| EXIT ENCLOSURES: 2 HOURS (CBC 1022.1) | EXIT ENCLOSURES: 2 HOURS (CBC 1022.1) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LOCATION | BUILDING 01 | BUILDING 02 | BUILDING 03 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LEVEL | 1-3 | 4-8 | 4-8 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PROPOSED OCCUPANCY | S-2, R-2 (RESIDENTIAL) | R-2 (RESIDENTIAL) | R-2 (RESIDENTIAL) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CONSTRUCTION* | TYPE I-A | TYPE III-A | TYPE III-A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SPRINKLERED | YES | YES | YES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| AREA | ALLOWABLE AREA PER STORY (2022 CBC TABLE 506.2) | UNLIMITED | SEE SHEET G0.05A | SEE SHEET G0.05A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL PROPOSED AREA | SEE SHEET G0.05A | SEE SHEET G0.05A | SEE SHEET G0.05A | SEE SHEET G0.05A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| HEIGHT & STORIES | ALLOWABLE HEIGHT (2022 CBC TABLE 504.3) | UNLIMITED | 85'-0" (S WITHOUT AREA INCREASE**) | 85'-0" (S WITHOUT AREA INCREASE**) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PROPOSED HEIGHT | UNLIMITED | UNLIMITED | 84'-9" TO T.O. ROOF | 84'-9" TO T.O. ROOF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ALLOWABLE STORIES (2022 CBC TABLE 504.4) | UNLIMITED | UNLIMITED | 5 (S WITHOUT AREA INCREASE**) | 5 (S WITHOUT AREA INCREASE**) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PROPOSED STORIES | 3 | 5 | 5 | 5 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | <p>AREA MAP</p>  <p>TRUE NORTH PROJECT NORTH</p> | <p>FEMA REQUIREMENTS</p> <p>MENLO PARK - FEMA REQUIREMENTS & SEA LEVEL RISE</p> <ul style="list-style-type: none"> THE PROJECT IS BUILT IN COMPLIANCE WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, CHAPTER 12, SECTION 42. ALL MATERIALS BELOW DFE SHALL BE RESISTANT TO FLOOD DAMAGE. (I.E., CONCRETE, REDWOOD OR PRESSURE TREATED DOUGLAS FIR).* THE BOTTOM ELEVATION OF ALL APPLIANCES AND UTILITIES (METERS, AIR CONDITIONING UNITS, ETC) SHALL BE AT OR ABOVE DFE. STORM RUNOFF RESULTING FROM THE PROJECT'S GRADING AND DRAINAGE ACTIVITIES SHALL NOT ENCRONCH ONTO ANY NEIGHBORING LOT. RUNOFF MUST BE CONTAINED ON-SITE. NO BASEMENTS OR ANY HABITABLE ENCLOSURE BELOW THE DFE ARE ALLOWED FOR PROJECTS IN THE FLOOD ZONE. FLOOD VENTS SHALL BE INSTALLED FOR ALL NON-HABITABLE ENCLOSURES BELOW THE DFE CRAWLSPACE, GARAGE, ETC.) AT A RATE OF 1 SQUARE INCH OF NET OPENING TO 1 SQUARE FOOT OF ENCLOSURE. REFER TO THE ENGINEERING PLANS HEREIN FOR VENT LOCATIONS AND CALCULATIONS. <p>I CERTIFY THAT I AM THE ARCHITECT OF RECORD AND THE PLANS DATED SUBMITTED ON (DATE PER TITLE BLOCK) COMPLY WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE (CHAPTER 12, SECTION 42).</p>  | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | <p>APPROVALS</p> <p>CONTACT: TOBY LEVY</p> <p>(415) 777-0561 P (415) 777-5117 F</p> <p>SCALE: AS NOTED</p> <p>COVER SHEET</p> <p>G0.00</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

3705 HAVEN AVE
MENLO PARK, CA



| REVISION | DATE | DESCRIPTION |
|----------|------------|------------------------|
| | 09-22-2023 | PLANNING & SB330 REV 3 |
| | 03-20-2024 | PLANNING & SB330 REV 4 |
| | 06-13-2024 | PLANNING & SB330 REV 5 |
| | 07-26-2024 | PLANNING & SB330 REV 6 |
| | 01-16-2025 | PLANNING & SB330 REV 7 |

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

COVER SHEET

G0.00

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**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

| | |
|------------|------------------------|
| 09-22-2023 | PLANNING & SB330 REV 3 |
| 03-20-2024 | PLANNING & SB330 REV 4 |
| 06-13-2024 | PLANNING & SB330 REV 5 |
| 07-26-2024 | PLANNING & SB330 REV 6 |
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CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

**DRAWING INDEX,
ABBREVIATIONS
& LEGEND**

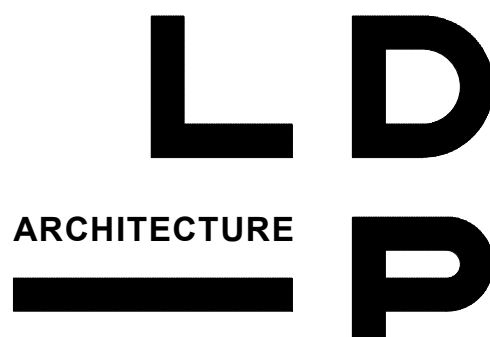
G0.00B

| ABBREVIATIONS | LEGEND | CALIFORNIA GREEN BUILDING CODE REQUIREMENTS | PLANNING DATA | DRAWING INDEX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|---|--|--|---------------|----------|---|-----------------------------|---|--|--|---|--|-------|---|--|---|---|--|--|---|---|--|---|---|---|--|---|---|---|-------------------------------------|---|--|---|---|---|--|---|-----------------|---|--|
| <p>A/C AIR CONDITIONING ADJ. ADJUSTABLE A.F.F. ABOVE FINISH FLOOR</p> <p>ALUM. ALUMINUM ALT. ALTERNATE APPROX. APPROXIMATELY ARCH. ARCHITECT (URAL) A.C.T. ACOUSTIC CEILING TILE</p> <p>BFE BASE FLOOR ELEVATION BLDG. BUILDING BLKG. BLOCKING BOT. BOTTOM</p> <p>CL/C.L. CENTER LINE CAB. CABINET C.G. CORNER GUARD C.G. CHANGE CLG. CEILING CLOS. CLOSET CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT COL. COLUMN CONC. CONCRETE CONJ. CONNECTION CONST. CONSTRUCTION CORR. CORRIDOR CTR. CERAMIC TILE CTR. CENTER</p> <p>DET. DETAIL DFE DESIGN FLOOR ELEVATION DIM. DIAMETER DIM. DIMENSION DN. DOWN DNC. DRAINING DS. DOWN SPOUT</p> <p>(E) EXISTING EA. EACH ELEV. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATOR EQ. EQUIPMENT EXP. EXPANSION EXPOS. EXPOSED EXT. EXTERIOR</p> <p>F.D. FLOOR DRAIN F.F.E. FINISH FLOOR ELEVATION FIN. FINISH FL. FLOOR FLASH. FLASHING FLUOR. FLUORESCENT F.O.F. FACE OF FINISH F.O.S. FACE OF STUD FFRF. FIREPROOF FURR. FURRING</p> <p>GA. GAGE GALV. GALVANIZED G.C. GENERAL CONTRACTOR GL. GLASS GR. GRADE GYP. BD. GYPSUM BOARD</p> <p>H.B. HOSE BIB HC HANDICAPPED H.C. HOLLOW CORE HDWR. HARDWARE HGT. HEIGHT H.M. HOLLOW METAL H.P. HIGH POINT HR. HOUR H.W. HOT WATER INSUL. INSULATION/INSULATED INT. INTERIOR JAN. JANITOR JT. JOINT L.P. LOW POINT MAX. MAXIMUM M.C. MEDICINE CABINET M.D. MOTION DETECTOR MECH. MECHANICAL MIN. MINIMUM MTD. MOUNTED MTL. METAL</p> <p>(N) NEW N.I.C. NOT IN CONTRACT NO. NUMBER N.T.S. NOT TO SCALE O.C. ON CENTER OFF. OFFICE OPNG. OPENING OPP. OPPOSITE O.T.B. OPEN TO BELOW</p> <p>PR. PAIR P.L.A.M. PLASTIC LAMINATE PTD. PAINTED PLYWD. PLYWOOD P.O. PRIVATE OFFICE</p> <p>R. RISER R.D. ROOF DRAIN REQ. REQUIRED RM. ROOM R.O. ROUGH OPENING S.C. SOLID CORE STOR. STORAGE SHT. SHEET SIM. SIMILAR STR. STRUCTURAL T. TREAD T&G. TONGUE AND GROOVE TEL. TELEPHONE T.O. TOP OF TYP. TYPE, OTHERWISE NOTED U.O.N. VERIFY IN FIELD V.I.F. WOOD W.P. WATERPROOF</p> | <p># DETAIL REFERENCE # XXX SHEET #</p> <p># SECTION REFERENCE # XXV SHEET #</p> <p>X ELEVATION REFERENCE # XXX SHEET #</p> <p>DTL SHEET # ELEVATION REFERENCE #</p> <p>REVISION CLOUD</p> <p>101 DOOR SYMBOL</p> <p>W.X WINDOW SYMBOL</p> <p>X-X CEILING HEIGHT</p> <p>X KEYNOTE TAG</p> <p>XXX WALL/FLOOR TYPE SYMBOL</p> <p>ELEVATION DATUM</p> <p>XX-X SHEET NOTE</p> <p>ALIGN, FLUSH</p> <p>B.R.P. BUILDING REFERENCE POINT</p> <p>ROOF DRAIN</p> <p>FLOOR DRAIN</p> <p>HOSE BIB</p> <p>WALL-MOUNTED SCONCE LIGHT FIXTURE, S.E.D. FOR MORE INFORMATION</p> <p>WALL-MOUNTED COMPACT FLUORESCENT SCONCE LIGHT FIXTURE, S.E.D. FOR MORE INFORMATION</p> <p>RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING, S.E.D. FOR MORE INFORMATION</p> <p>RECESSED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING, S.E.D. FOR MORE INFORMATION</p> <p>SURFACE-MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING, S.E.D. FOR MORE INFORMATION</p> <p>COMBINATION EXHAUST FAN AND COMPACT FLUORESCENT LIGHT FIXTURE, RECESSED AT CEILING, S.E.D. FOR MORE INFORMATION</p> <p>SURFACE-MOUNTED FLUORESCENT STRIP LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED), S.E.D. FOR MORE INFORMATION</p> <p>SURFACE-MOUNTED TRACK LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED), S.E.D. FOR MORE INFORMATION</p> <p>EMERGENCY LIGHT FIXTURE WITH BATTERY PACK, CEILING OR WALL-MOUNTED, S.E.D. FOR MORE INFORMATION</p> <p>EXIT LIGHT FIXTURE WITH BATTERY BACK-UP, CEILING OR WALL-MOUNTED (WITH DIRECTIONAL ARROWS AS REQUIRED), S.E.D. FOR MORE INFORMATION</p> <p>ONE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N., S.E.D. FOR MORE INFORMATION</p> <p>TWO-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N., S.E.D. FOR MORE INFORMATION</p> <p>THREE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N., S.E.D. FOR MORE INFORMATION</p> | <p>SEE COVER SHEET "GENERAL NOTES" FOR ADDITIONAL GREEN BUILDING REQUIREMENTS</p> <p>SEE CONSULTANT DRAWINGS FOR ADDITIONAL GREEN BUILDING REQUIREMENTS</p> <p>ENERGY EFFICIENCY 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGC) 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS 1. SECTIONS 160.0-160.9 MANDATORY REQUIREMENTS FOR DWELLING UNITS AND COMMON USE AREAS IN MULTIFAMILY BUILDINGS.</p> <p>ENHANCED DURABILITY AND REDUCED MAINTENANCE (2022 CGC 4.406) 1. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER SECTION 4.406.1.</p> <p>POLLUTANT CONTROL (2022 CGC 4.504) 1. ADHESIVES, SEALANTS AND CAULKS, ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE STANDARDS LISTED IN SECTION 5.504.2.1. 2. HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS (2022 CGC 4.504.5) 3. SEE FINISH SCHEDULE FOR ADDITIONAL REQUIREMENTS</p> <p>INTERIOR MOISTURE CONTROL (2022 CGC 4.505) 1. A CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USED OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER SECTION 4.505.2</p> <p>INSTALLER SPECIAL INSPECTOR QUALIFICATION (2022 CGC 702) 1. HVAC SYSTEM INSTALLERS WILL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING/CERTIFICATION PROGRAM PER SECTION 702.1 2. WHEN REQUIRED BY THE ENFORCING AGENCY, SHALL EMPLOY SPECIAL INSPECTORS (2022 CGC 702.2)</p> <p>VERIFICATION (2022 CGC 703) 1. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING OFFICIAL WHICH SHOW SUBSTANTIAL CONFORMANCE PER SECTION 703.1.</p> <p>PROJECT APPLICANT TO RETAIN A QUALIFIED AIR QUALITY CONSULTANT TO PREPARE A HEALTH RISK ASSESSMENT (HRA) IN ACCORDANCE WITH CALIFORNIA AIR RESOURCES BOARD (CARB) AND OFFICE OF ENVIRONMENTAL HEALTH AND HAZARD ASSESSMENT REQUIREMENTS TO DETERMINE THE HEALTH RISK OF EXPOSURE OF PROJECT RESIDENTS/OCCUPANTS/USERS TO AIR POLLUTANTS. THE HRA SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL. IF TECH HRA CONCLUDES THAT THE HEALTH RISK IS AT OR BELOW ACCEPTABLE LEVELS, THEN HEALTH RISK REDUCTION MEASURES ARE NOT REQUIRED. IF THE HRA CONCLUDES THAT THE HEALTH RISK EXCEEDS ACCEPTABLE LEVELS, HEALTH RISK REDUCTION MEASURES SHALL BE IDENTIFIED TO REDUCE THE HEALTH RISK TO ACCEPTABLE LEVELS. IDENTIFIED RISK REDUCTION MEASURES SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL AND BE INCLUDED ON THE PROJECT DRAWINGS SUBMITTED FOR THE CONSTRUCTION-RELATED PERMIT OR ON OTHER DOCUMENTATION SUBMITTED TO THE CITY. THE APPROVED RISK REDUCTION MEASURES SHALL BE IMPLEMENTED DURING CONSTRUCTION AND/OR OPERATIONS AS APPLICABLE.</p> | <p>ADDRESS 3705 HAVEN AVE, MENLO PARK CA 94025</p> <p>PARCEL NUMBER 55170240</p> <p>LOT SIZE ±28,808 SQ. FT., 0.66+ ACRES</p> <p>ZONING DISTRICT R-MU-B, RESIDENTIAL MIXED USE</p> <p>DEVELOPMENT AND DESIGN STANDARDS PER MENLO PARK MUNICIPAL CODE SECTION 16.45.120</p> <table border="1"> <tr> <th>REQUIRED</th> <th>PROPOSED</th> </tr> <tr> <td>DENSITY >30 DU / ACRE TO 100 DU / ACRE 20 UNITS - 66 UNITS</td> <td>170 DU / ACRE* 112 UNITS</td> </tr> <tr> <td>STREET SETBACKS: 0' SIDE SETBACKS: 10'-0" REAR SETBACKS: 10'-0"</td> <td>SEE ARCHITECTURAL PLANS (ALL MEET MIN. 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| GROUND FLOOR EXTERIOR: GARAGE ENTRANCES | MAXIMUM 24-FOOT OPENING FOR TWO-WAY ENTRANCE. MAXIMUM 24-FOOT OPENING PROVIDED. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GROUND FLOOR EXTERIOR: AWNINGS, SIGNS & CANOPIES | 7" MAX. DEPTH. 8' MIN. VERTICAL CLR. TO GRADE; SHALL NOT EXTEND INTO PUBLIC RIGHT OF WAY. REQUIREMENTS MET, SEE PLANS & ELEVATIONS. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BUILDING DESIGN | ROOF LINES: 4' MIN. HEIGHT MODULATION TO BREAK VISUAL MONOTONY AND CREATE VISUALLY INTERESTING SKYLINE AT PUBLIC STREETS. REQUIREMENTS MET, SEE PLANS & ELEVATIONS. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>EXPOSURE TO AIR POLLUTION (TOXIC AIR)</p> <p>FOR A COMPLETE DESCRIPTION OF ITEMS NOTED BELOW, PLEASE SEE PROJECT DESCRIPTION LETTER AND DENSITY BONUS LAW LETTER.</p> <p>CONCESSIONS / INCENTIVES: ADDING RATHER THAN REPLACING A UTILITY POLE NOT PRE-PLUMBING FOR RECYCLED WATER REDUCING GROUND FLOOR TRANSPARENCY</p> <p>WAIVERS: INCREASE IN RESIDENTIAL FLOOR AREA ("FAR") INCREASE IN HEIGHT DECREASE GROUND FLOOR HEIGHT DECREASE IN PARKING REDUCTION IN PARKING SPACE SIZE BMR UNIT SIZE</p> | | | <p>REQUESTS FOR CONCESSIONS & WAIVERS</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>*See requested density bonus and waivers pursuant to State Density Bonus Law (Gov. Code § 65915)</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

LEGEND table with columns for ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, LANDSCAPE ARCHITECT, and RESPONSIBLE PARTY.



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3705 HAVEN AVE MENLO PARK, CA



3705 HAVEN AVE MENLO PARK, CA

PROJECT NO. 21-07 PARCEL NO. 055170240

Table with columns: REV, DATE, DESCRIPTION. Contains revision history for PLANNING & SB330 REV 2 through 6.

CONTACT: TOBY LEVY

(415) 777-0561 P (415) 777-5117 F

SCALE: AS NOTED

GREEN BUILDING CHECKLIST

G0.01A

Table with columns: Y, NA, RESPON. PARTY. Contains various checkboxes and codes for compliance with the standards.

Table with columns: Y, NA, RESPON. PARTY. Contains various checkboxes and codes for compliance with the standards.

Table with columns: Y, NA, RESPON. PARTY. Contains various checkboxes and codes for compliance with the standards.

Table with columns: Y, NA, RESPON. PARTY. Contains various checkboxes and codes for compliance with the standards.

Homes 3705 Haven

3705 Haven
30033005 - LEED v4 BD+C Multifamily Midrise

Summary Details Team Payments Setup Incomplete

All LEED v4 BD+C and ID+C projects (including residential adaptations of BD+C) registering after the system update scheduled for 9 pm ET on March 1, 2024, will be required to adhere to updated energy credit and prerequisite language. Learn more about this update.

Project details

| | |
|-------------------|------------------------------------|
| Name | 3705 Haven |
| Registration date | 14 Jun 2022 |
| Rating system | LEED v4 BD+C: Multifamily Midrise |
| Building type | Multi-Family Mid-Rise (4+ stories) |
| Country/Region | United States |
| Address 1 | 3705 Haven Avenue |
| City | Menlo Park |
| State/Province | California |
| Postal code | 94025 |
| Geo location | 37.465522, -122.18229 |

Homes provider Bright Green Strategies Inc.
Green rater Sharon Block
Gross floor area 157418 sq ft
Conditioned area 118050 sq ft
Number of units 112
Number of stories 8
Market classification Market Rate
Builder name March Capital Management
Private Yes
Historic registry No

Owner March Capital Management
Owner's representative (Employee or Officer of Owner) Oliver Davis
Owner type Profit Organization
Owner Country/Region United States
Phone 415-874-9893
Email oliver@marchcapitalfund.com

If the Owner's representative, Owner type or owner email fields need to be edited, please Contact Us.

Terms and conditions
Certification Agreement

Did the owner sign the Certification agreement? If not, please submit the **Confirmation of agent's authority** form to confirm the agent's authority to accept the Certification agreement for the Owner. If the completed form indicates the name originally entered for the Owner was incorrect and needs to be revised, please Contact Us.
Confirmation of agent's authority Download
Upload agent's authority

Has the project owner changed? If so, please download, complete, and upload the **Change of owner agreement** to assign the project application or certification to the new owner. After you've uploaded the form, please Contact Us so that we can review and revise the Owner information accordingly.
Change of owner agreement Download
Upload change of owner agreement

Are there multiple owners for the Project? If so, please submit the **Confirmation of primary owner's authority** form to designate one owner to accept the Certification agreement and administer the application. If the completed form indicates the name originally entered for the Owner was incorrect and needs to be revised, please Contact Us.
Confirmation of primary owner's authority Download
Upload primary owner's authority

BRIGHT GREEN STRATEGIES

Mailing address: 1717 Seabright Ave, Suite 4, Santa Cruz, CA 95962
820 Delaware Street, Berkeley, CA 94710
831.454.9956 • www.brightgreenstrategies.com

July 28, 2022

Community Development Department, Planning Division
701 Laurel Street
Menlo Park, CA 94025
Attn: Ori Paz, oripaz@menlopark.org

RE: 3705 Haven Avenue, Menlo Park, CA 94025 – Planning Application

Dear Ori,

I am the LEED for Homes AP for the 3705 Haven Avenue Project. My qualifications include LEED for Homes QAD, (Quality Assurance Designee) (2018), LEED for Homes AP (2011) and LEED for Homes Green Rater (2008). My company, Bright Green Strategies is a LEED for Homes Provider. As a LEED for Homes Provider, we oversee the LEED certification process. We collect and submit all final documents to the Green Building Certification Institute (GBCI) for LEED certification. We also provide quality assurance overseeing over 10 other LEED for Homes Green Raters throughout California and Canada.

Bright Green Strategies consists of seven individuals trained specifically in LEED for Homes and GreenPoint Rated certification, HERS testing and energy modeling to exceed Title-24 energy efficiency standards. I have personally certified multi-family projects from 100 units to over 400 units.

I have prepared the LEED for Homes checklist for this project and have relayed pertinent information to the project team with regards to LEED for Home prerequisites and credits. The project has been registered with the LEED Online. The project will be LEED Gold certified with LEED for Homes Midrise being the intended path for compliance. The Preliminary LEED checklist estimates 60 points, which is a Gold rating. LEED for Homes Midrise is part of the LEED BD&C family of rating systems.

Let me know if you need any further information. Please contact me at 510-863-1109, ext. 1011 or at my email: sharon@brightgreenstrategies.com with any questions.

Sincerely,


Sharon Block, Director of Sustainability
Bright Green Strategies Inc.
sharon@brightgreenstrategies.com

Attachment: LEED for Homes scorecard/checklist



LEED BD+C: Multifamily Midrise v4 - LEED v4
3705 Haven Scorecard
Location: 3705 Haven Avenue, Menlo Park, CA 94025, United States

Note: The information on this tab is READ-ONLY. To edit this information, see the Credit Category tabs.

| Category | Points | Required | Verified |
|--|------------------------|----------|----------|
| Integrative Process | Preliminary Y 2 of 2 | 1 | 0 |
| IPc Integrative Process | 2 of 2 | 1 | 0 |
| Location and Transportation | Preliminary Y 12 of 15 | 0 | 0 |
| LTP Floodplain Avoidance | Required | 0 | 0 |
| Performance Path | | | |
| LTC LEED for Neighborhood Development | 0 of 15 | 0 | 0 |
| Prescriptive Path | | | |
| LTC Site Selection | 8 of 8 | 1 | 0 |
| LTC Compact Development | 3 of 3 | 0 | 0 |
| LTC Community Resources | 1 of 2 | 1 | 0 |
| LTC Access to Transit | 0 of 2 | 1 | 0 |
| Sustainable Sites | Preliminary Y 3 of 7 | 0 | 0 |
| SSp Construction Activity Pollution Prevention | Required | 0 | 0 |
| SSp No Invasive Plants | Required | 0 | 0 |
| SSc Heat Island Reduction | 1 of 2 | 1 | 0 |
| SSc Rainwater Management | 0 of 3 | 1 | 0 |
| SSc Nontoxic Pest Control | 2 of 2 | 0 | 0 |
| Water Efficiency | Preliminary Y 10 of 12 | 0 | 0 |
| WEP Water Metering | Required | 0 | 0 |
| Performance Path | | | |
| WEC Total Water Use | 0 of 12 | 0 | 0 |
| Prescriptive Path | | | |
| WEC Indoor Water Use | 6 of 6 | 0 | 0 |
| WEC Outdoor Water Use | 4 of 4 | 0 | 0 |
| Energy and Atmosphere | Preliminary Y 12 of 37 | 0 | 11 |
| EAp Minimum Energy Performance | Required | 0 | 0 |
| EAp Energy Metering | Required | 0 | 0 |
| EAp Education of the Homeowner, Tenant or Building Manager | Required | 0 | 0 |
| EAc Annual Energy Use | 11 of 30 | 0 | 11 |
| EAc Efficient Hot Water Distribution System | 0 of 5 | 0 | 0 |
| EAc Advanced Utility Tracking | 1 of 2 | 0 | 0 |
| Materials and Resources | Preliminary Y 6 of 9 | 0 | 0 |
| MRp Certified Tropical Wood | Required | 0 | 0 |
| MRp Durability Management | Required | 0 | 0 |
| MRc Durability Management Verification | 1 of 1 | 0 | 0 |
| MRc Environmentally Preferable Products | 3 of 5 | 0 | 0 |
| MRc Construction Waste Management | 2 of 3 | 0 | 0 |

Page 1

| Category | Points | Required | Verified |
|---|-------------------------|----------|----------|
| Indoor Environmental Quality | Preliminary Y 11 of 18 | 0 | 0 |
| EQp Ventilation | Required | 0 | 0 |
| EQp Combustion Venting | Required | 0 | 0 |
| EQp Garage Pollutant Protection | Required | 0 | 0 |
| EQp Radon-Resistant Construction | Required | 0 | 0 |
| EQp Air Filtration | Required | 0 | 0 |
| EQp Environmental Tobacco Smoke | Required | 0 | 0 |
| EQp Compartmentalization | Required | 0 | 0 |
| EQc Enhanced Ventilation | 1 of 3 | 0 | 0 |
| EQc Contaminant Control | 1 of 2 | 0 | 0 |
| EQc Balancing of Heating and Cooling Distribution Systems | 3 of 3 | 0 | 0 |
| EQc Enhanced Compartmentalization | 0 of 3 | 0 | 0 |
| EQc Combustion Venting | 2 of 2 | 0 | 0 |
| EQc Enhanced Garage Pollutant Protection | 1 of 1 | 0 | 0 |
| EQc Low-Emitting Products | 2 of 3 | 0 | 0 |
| EQc No Environmental Tobacco Smoke | 1 of 1 | 0 | 0 |
| Innovation | Preliminary Y 5 of 6 | 0 | 0 |
| INp Preliminary Rating | Required | 0 | 0 |
| INc Innovation | 4 of 5 | 0 | 0 |
| INc LEED Accredited Professional | 1 of 1 | 0 | 0 |
| Regional Priority | Preliminary Y 4 of 4 | 0 | 0 |
| RPC Regional Priority | 4 of 4 | 0 | 0 |
| Point Floors | | | |
| The project earned at least 8 points total in Location and Transportation and Energy and Atmosphere | Yes | | |
| The project earned at least 3 points in Water Efficiency | No | | |
| The project earned at least 3 points in Indoor Environmental Quality | No | | |
| Total | Preliminary Y 65 of 110 | 0 | 11 |

Certification Thresholds Certified: 40-49, Silver: 50-59, Gold: 60-79, Platinum: 80-110

Page 2

ENERGY STAR PortfolioManager®

3705 Haven
3705 Haven Avenue, Menlo Park, CA 94025
Year Built: 2024

Weather Normalized Source EUI (kBtu/ft²)

Current: N/A
Baseline: N/A

Metrics Summary

| Metric | Not Available (Energy Baseline) | Not Available (Energy Current) | Change |
|--|---------------------------------|--------------------------------|--------|
| ENERGY STAR Score (1-100) | Not Available | Not Available | N/A |
| Source EUI (kBtu/ft²) | Not Available | Not Available | N/A |
| WAs (kBtu/ft²) | Not Available | Not Available | N/A |
| Energy Cost (\$) | Not Available | Not Available | N/A |
| Total GHG Emissions Intensity (kgCO2e/ft²) | Not Available | Not Available | N/A |
| Water Use (All Water Sources) (gal/ft²) | Not Available | Not Available | N/A |
| Total Waste (Recycled and Landfilled) (lb/ft²) | Not Available | Not Available | N/A |

Data Quality Checker

Run a check for any 12-month time period to see if there are any possible errors found with your data.

Check for Possible Errors

Sharing this Property

More About Sharing

You haven't shared your property yet. Sharing can be helpful if you want to allow other people to view your property or help maintain or update information about it (e.g. properly use details or meter data). You may also want to consider sharing with an organization who exchanges data to automatically update your meter information. Learn more about exchanging data.

Copy Property Transfer Ownership Download Property Data Excel

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Page 3

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ARCHITECTURE

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3705 HAVEN AVE
MENLO PARK, CA



3705 HAVEN AVE
MENLO PARK, CA
PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|-----|------------|------------------------|
| | 04-14-2023 | PLANNING & SB330 REV 2 |
| | 09-22-2023 | PLANNING & SB330 REV 3 |
| | 03-20-2024 | PLANNING & SB330 REV 4 |
| | 06-13-2024 | PLANNING & SB330 REV 5 |
| | 07-26-2024 | PLANNING & SB330 REV 6 |

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

GREEN BUILDING DOCUMENTS

G0.01C

3705 HAVEN

MENLO PARK MUNICIPAL CODE 16.45.130

BUILDING TO COMPLY WITH MENLO PARK MUNICIPAL CODE CHAPTER 16.45.130

16.45.130 Green and sustainable building.

(1) Green Building.

(A) Any new construction to comply with Tables 16.45.130(1)(B) - Building designed to meet LEED Gold BD+C. Electric Vehicle Charging Spaces to meet requirements in Section 16.72.010. See LEED submittal documents for more information.

(2) Energy.

(A) For all new construction, the project will meet one hundred percent (100%) of energy demand (electricity and natural gas) through any combination of the following measures:

(i) On-site energy generation;

(ii) Purchase of one hundred percent (100%) renewable electricity through Peninsula Clean Energy or Pacific Gas and Electric Company in an amount equal to the annual energy demand of the project;

(iii) Purchase and installation of local renewable energy generation within the city of Menlo Park in an amount equal to the annual energy demand of the project;

(iv) Purchase of certified renewable energy credits and/or certified renewable energy offsets annually in an amount equal to the annual energy demand of the project.

Solar zone has been indicated on roof plan.

(3) Water Use Efficiency and Recycled Water.

(A) Single pass cooling systems shall be prohibited in all new buildings.

To be verified at the building permit stage.

(B) All new buildings shall be built and maintained without the use of well water.

Building will not use well water.

(C) Applicants for a new building more than one hundred thousand (100,000) square feet or more of gross floor area shall prepare and submit a proposed water budget and accompanying calculations following the methodology approved by the city.

Water budget has been provided.

(D) All new buildings shall be dual plumbed for the internal use of recycled water.

Applicant is seeking a concession/incentive per State Density Bonus Law to not be dual plumbed.

(E) All new buildings two hundred fifty thousand (250,000) square feet or more in gross floor area shall use an alternate water source for all city approved nonpotable applications. An alternate water source may include, but is not limited to, treated nonpotable water such as graywater. An alternate water source assessment shall be submitted that describes the alternative water source and proposed nonpotable application. Approval of the alternate water source assessment, the alternative water source and its proposed uses shall be approved by the city's public works director and community development director. If the Menlo Park Municipal Water District has not designated a recycled water purveyor and/or municipal recycled water source is not available prior to planning project approval, applicants may propose conservation measures to meet the requirements of this section subject to approval of the city council. The conservation measures shall achieve a reduction in potable water use equivalent to the projected demand of city approved nonpotable applications, but in no case shall the reduction be less than thirty percent

(30%) compared to the water budget in subsection (3)(C) of this section. The conservation measures may include on-site measures, off-site measures or a combination thereof.

N/A

(F) Potable water shall not be used for dust control on construction projects.

Noted.

(G) Potable water shall not be used for decorative features, unless the water recirculates.

No decorative features using water are proposed on this project.

(4) Hazard mitigation and sea level rise resiliency.

(A) The first floor elevation of all new buildings shall be twenty-four (24) inches above the Federal Emergency Management Agency base flood elevation (BFE) to account for sea level rise. Where no BFE exists, the first floor (bottom of floor beams) elevation shall be twenty-four (24) inches above the existing grade. **Notwithstanding the foregoing, for projects on sites of two (2) acres or less, the first floor elevation shall be the maximum height reasonably practicable as determined by the city, but in no case less than six (6) inches above BFE or existing grade where no BFE exists. The building design and protective measures shall not create adverse impacts on adjacent sites as determined by the city.**

First floor elevation complies.

(B) Prior to building permit issuance, all new buildings shall pay any required fee or proportionate fair share for the funding of sea level rise projects, if applicable.

Noted.

(5) Waste Management.

(A) Applicants shall submit a zero-waste management plan to the city, which will cover how the applicant plans to minimize waste to landfill and incineration in accordance with all applicable state and local regulations. Applicants shall show in their zero-waste plan how they will reduce, recycle and compost wastes from the demolition, construction and occupancy phases of the building. For the purposes of this chapter, "zero waste" is defined as ninety percent (90%) overall diversion of nonhazardous materials from landfill and incineration, wherein discarded materials are reduced, reused, recycled, or composted. Zero-waste plan elements shall include the property owner's assessment of the types of waste to be generated during demolition, construction and occupancy, and a plan to collect, sort and transport materials to uses other than landfill and incineration.

Zero waste management plan provided.

(6) Bird-Friendly Design.

(A) No more than ten percent (10%) of facade surface area shall have non-bird-friendly glazing.

(B) Bird-friendly glazing includes, but is not limited to, opaque glass, covering the outside surface of clear glass with patterns, paned glass with fenestration, frit or etching patterns, and external screens over nonreflective glass. Highly reflective glass is not permitted.

(C) Occupancy sensors or other switch control devices shall be installed on nonemergency lights and shall be programmed to shut off during nonwork hours and between ten (10) p.m. and sunrise.

(D) Placement of buildings shall avoid the potential funneling of flight paths towards a building facade.

(E) Glass skyways or walkways, freestanding (see-through) glass walls and handrails, and transparent building corners shall not be allowed.

(F) Transparent glass shall not be allowed at the rooflines of buildings, including in conjunction with roof decks, patios and green roofs.

3705 HAVEN

REACH CODES

BUILDING TO COMPLY WITH REACH CODES & MENLO PARK MUNICIPAL CODE CHAPTER 12.16

BUILDING TO BE FULLY ELECTRIC

SOLAR READY ZONE, SEE A2.09. BUILDING TO COMPLY WITH ONE OF THE SOLAR ZONE OPTIONS NOTED BELOW:

SECTION 110.10 (a) (3) high-rise multifamily buildings with ten habitable stories or fewer shall comply with the requirements of Section 110.10(b) through 110.10(d) and Table 2.

SECTION 1010.10 Table 2: Solar panel requirements for all new nonresidential and high rise residential buildings Building greater than or equal to 10,000 SF to provide min. 5-kilowatt PV systems

b) Solar Zone.

1. Minimum Solar Zone Area. The solar zone shall have a minimum total area as described below. The solar zone shall comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other Parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area shall be comprised of areas that have no dimension less than five feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet.

B. Low-rise and High-rise Multifamily Buildings, Hotel/Motel Occupancies, and Nonresidential Buildings. The solar zone shall be located on the roof or overhang of the building or on the roof or overhang of another structure located within 250 feet of the building or on covered parking installed with the building project, and shall have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.

EXCEPTION 1 to Section 110.10(b)1B: High-rise Multifamily Buildings, Hotel/Motel Occupancies, and Nonresidential Buildings with a permanently installed solar electric system having a nameplate DC power rating, measured under Standard Test Conditions, of no less than one watt per square foot of roof area.

EXCEPTION 2 to Section 110.10(b)1B: High-rise multifamily buildings, hotel/motel occupancies with a permanently installed domestic solar water-heating system complying with Section 150.1(c)8Biii and an additional collector area of 40 square feet.

EXCEPTION 3 to Section 110.10(b)1B: Buildings with a designated solar zone area that is no less than 50 percent of the potential solar zone area. The potential solar zone area is the total area of any low-sloped roofs where the annual solar access is 70 percent or greater and any steep-sloped roofs oriented between 90 degrees and 300 degrees of true north where the annual solar access is 70 percent or greater. Solar access is the ratio of solar insolation including shade to the solar insolation without shade. Shading from obstructions located on the roof or any other part of the building shall not be included in the determination of annual solar access.

EXCEPTION 4 to Section 110.10(b)1B: Low-rise and high-rise multifamily buildings with all thermostats in each dwelling unit are demand response controls that comply with Section 110.12(a), and are capable of receiving and responding to Demand Response Signals prior to granting of an occupancy permit by the enforcing agency. In addition, either A or B below:

A. In each dwelling unit, comply with one of the following measures:

a. Install a dishwasher that meets or exceeds the ENERGY STAR Program requirements with either a refrigerator that meets or exceeds the ENERGY STAR Program requirements or a whole house fan driven by an electronically commutated motor; or

b. Install a home automation system that complies with Section 110.12(a) and is capable of, at a minimum, controlling the appliances and lighting of the dwelling and responding to demand response signals; or

c. Install alternative plumbing piping to permit the discharge from the clothes washer and all showers and bathtubs to be used for an irrigation system in compliance with the California Plumbing Code and any applicable local ordinances; or

(G) Use of rodenticides shall not be allowed.

(H) A project may receive a waiver from one (1) or more of the items listed in subsections (6)(A) to (F) of this section, subject to the submittal of a site specific evaluation from a qualified biologist and review and approval by the planning commission. (Ord. 1050 § 10, 2018; Ord. 1026 § 3 (part), 2016). **Project shall comply with all items noted above per plans and elevations.**

d. Install a rainwater catchment system designed to comply with the California Plumbing Code and any applicable local ordinances, and that uses rainwater flowing from at least 65 percent of the available roof area.

B. Meet the Title 24, Part 11, Section A4.106.8.2 requirements for electric vehicle charging spaces.

c) Interconnection Pathways.

1. The construction documents shall indicate a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service.
2. For single family residences and central water-heating systems, the construction documents shall indicate a pathway for routing of plumbing from the solar zone to the water-heating system.

(b) Documentation. A copy of the construction documents or a comparable document indicating the information from Sections 110.10(b) through 110.10(c) shall be provided to the occupant.



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3705 HAVEN AVE
MENLO PARK, CA



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MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

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| | 03-20-2024 | PLANNING & SB330 REV 4 |
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| | 07-26-2024 | PLANNING & SB330 REV 6 |

CONTACT: TOBY LEVY

(415) 777-0561 P
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SCALE:
AS NOTED

GREEN BUILDING
DOCUMENTS

G0.01D

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1. VIEW FROM HAVEN AVENUE (SOUTH)



2. VIEW FROM HAVEN AVENUE (SOUTH)



3. VIEW FROM HAVEN AVENUE (SOUTH), SW CORNER OF SITE



4. VIEW FROM HAVEN AVENUE (EAST)



5. VIEW FROM HAVEN AVENUE (EAST)



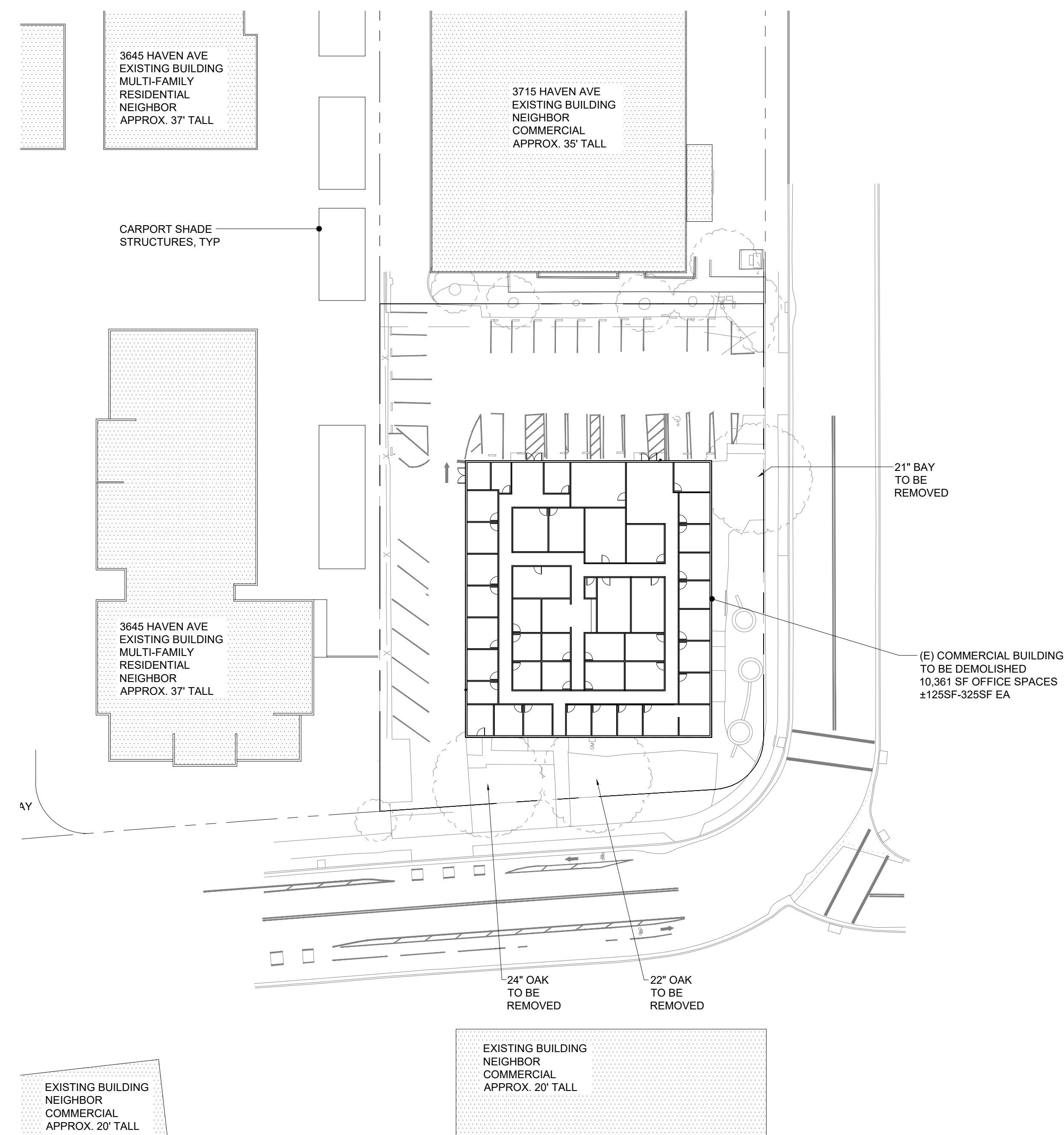
6. VIEW FROM HAVEN AVENUE (EAST), SE CORNER OF SITE



7. VIEW FROM NORTH PROPERTY LINE LOOKING SOUTH INTO SITE



8. VIEW FROM NW PORTION LOOKING SW



2 EXISTING PLAN
1/32" = 1'-0"

1 EXISTING SITE CONDITIONS
N.T.S.

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

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| | 07-26-2024 | PLANNING & SB330 REV 6 |

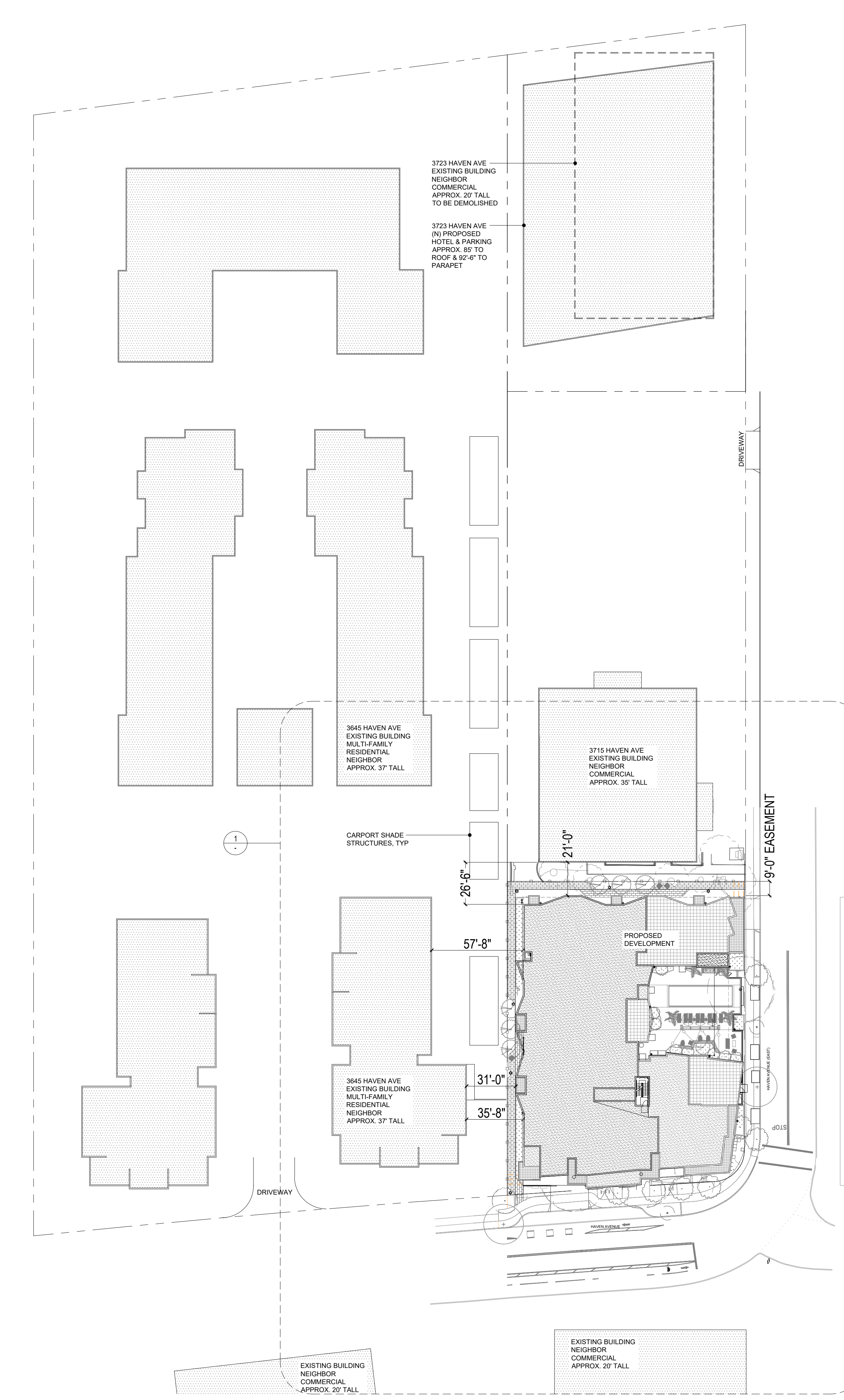
CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

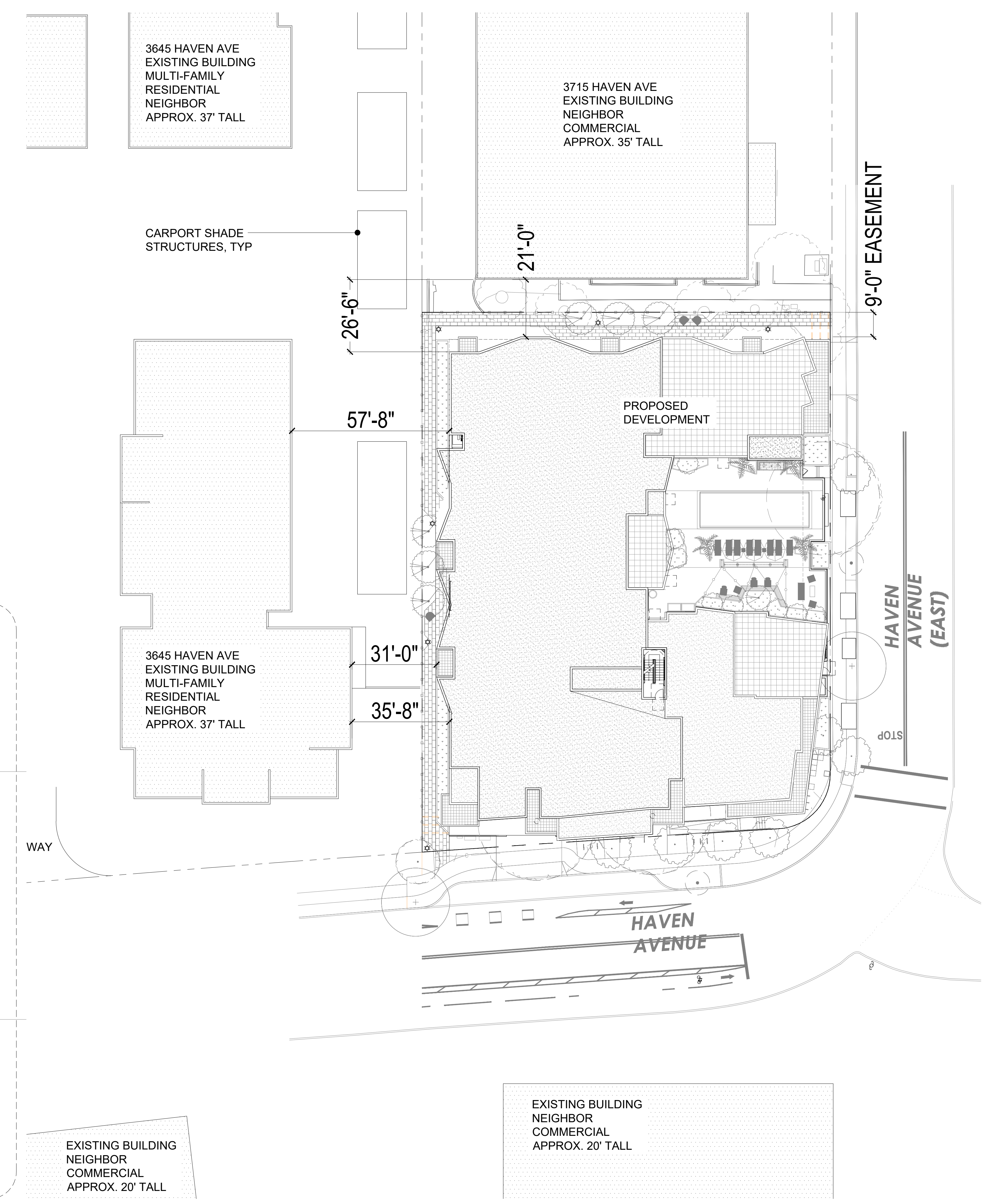
SCALE:
AS NOTED

EXISTING
SITE CONDITIONS

G0.02A



2 AREA PLAN
1" = 40'-0"



1 AREA PLAN
1" = 20'-0"

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|-----|------------|------------------------|
| | 04-14-2023 | PLANNING & SB330 REV 2 |
| | 09-22-2023 | PLANNING & SB330 REV 3 |
| | 03-20-2024 | PLANNING & SB330 REV 4 |
| | 06-13-2024 | PLANNING & SB330 REV 5 |
| | 07-26-2024 | PLANNING & SB330 REV 6 |

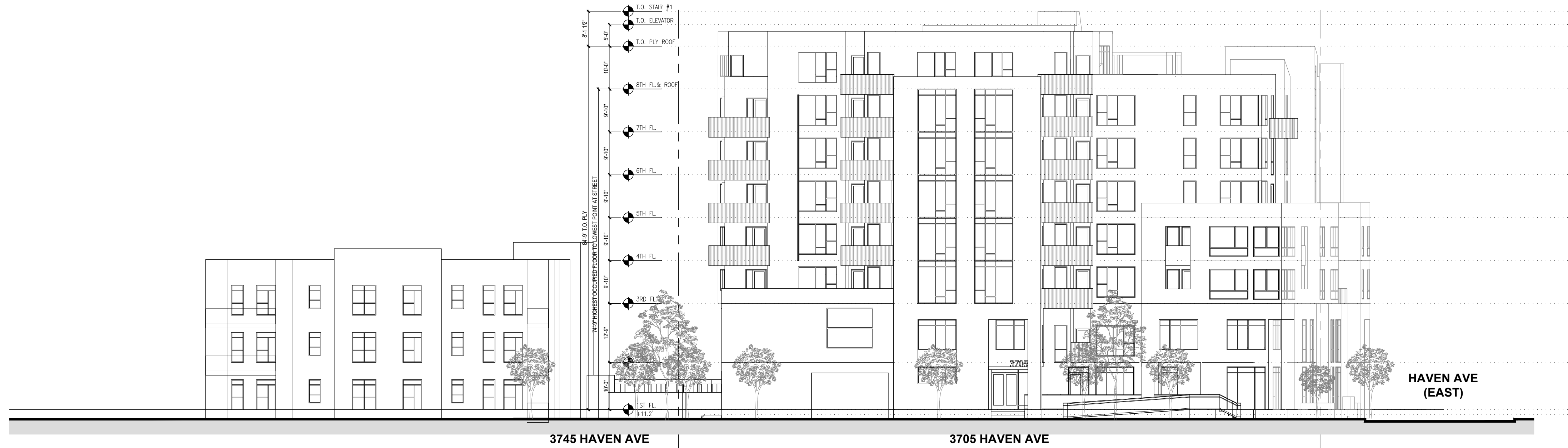
CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

AREA PLAN

G0.02B



2 STREETScape ELEVATION - HAVEN AVE - SOUTH ELEVATION
1/16" = 1'-0"



1 STREETScape ELEVATION - HAVEN AVE - EAST ELEVATION
1/16" = 1'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

| | |
|------------|------------------------|
| 04-14-2023 | PLANNING & SB330 REV 2 |
| 09-22-2023 | PLANNING & SB330 REV 3 |
| 03-20-2024 | PLANNING & SB330 REV 4 |
| 06-13-2024 | PLANNING & SB330 REV 5 |
| 07-26-2024 | PLANNING & SB330 REV 6 |

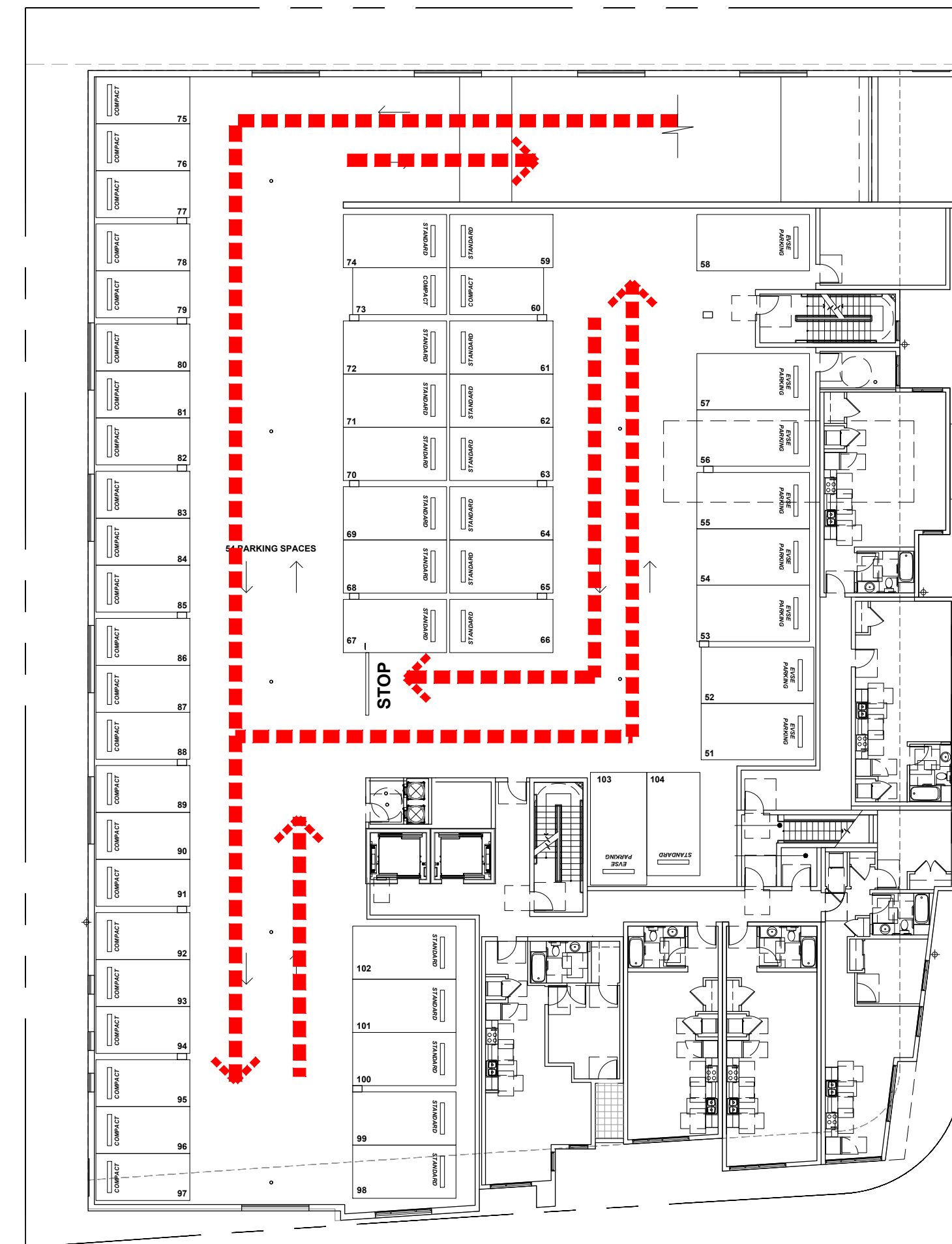
CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

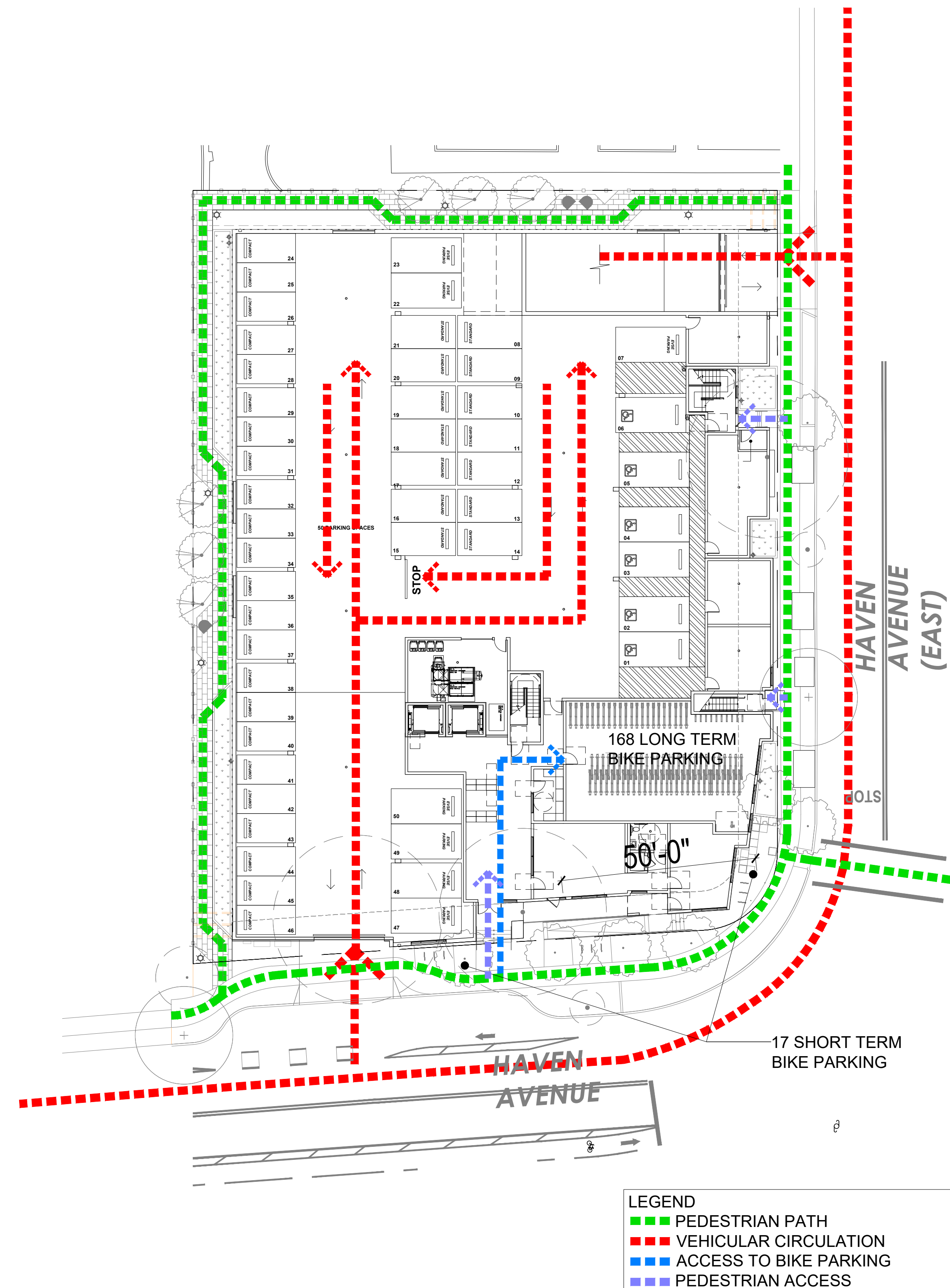
SCALE:
AS NOTED

STREETScape ELEVATIONS

G0.02C



2 CIRCULATION PLAN : FLOOR 2
1" = 20'-0"



1 CIRCULATION PLAN : FLOOR 1
1" = 20'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|------------|------------------------|-------------|
| 04-14-2023 | PLANNING & SB330 REV 2 | |
| 09-22-2023 | PLANNING & SB330 REV 3 | |
| 03-20-2024 | PLANNING & SB330 REV 4 | |
| 06-13-2024 | PLANNING & SB330 REV 5 | |
| 07-26-2024 | PLANNING & SB330 REV 6 | |

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

**CIRCULATION
PLAN**

G0.02D

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA
PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|------------|------------------|-------------|
| 09-22-2023 | PLANNING & SB330 | REV 3 |
| 03-20-2024 | PLANNING & SB330 | REV 4 |
| 06-13-2024 | PLANNING & SB330 | REV 5 |
| 07-26-2024 | PLANNING & SB330 | REV 6 |
| 08-28-2024 | PLANNING & SB330 | REV 7 |

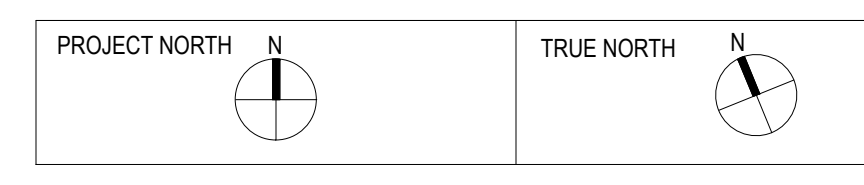
CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

FIRE
DIAGRAMS

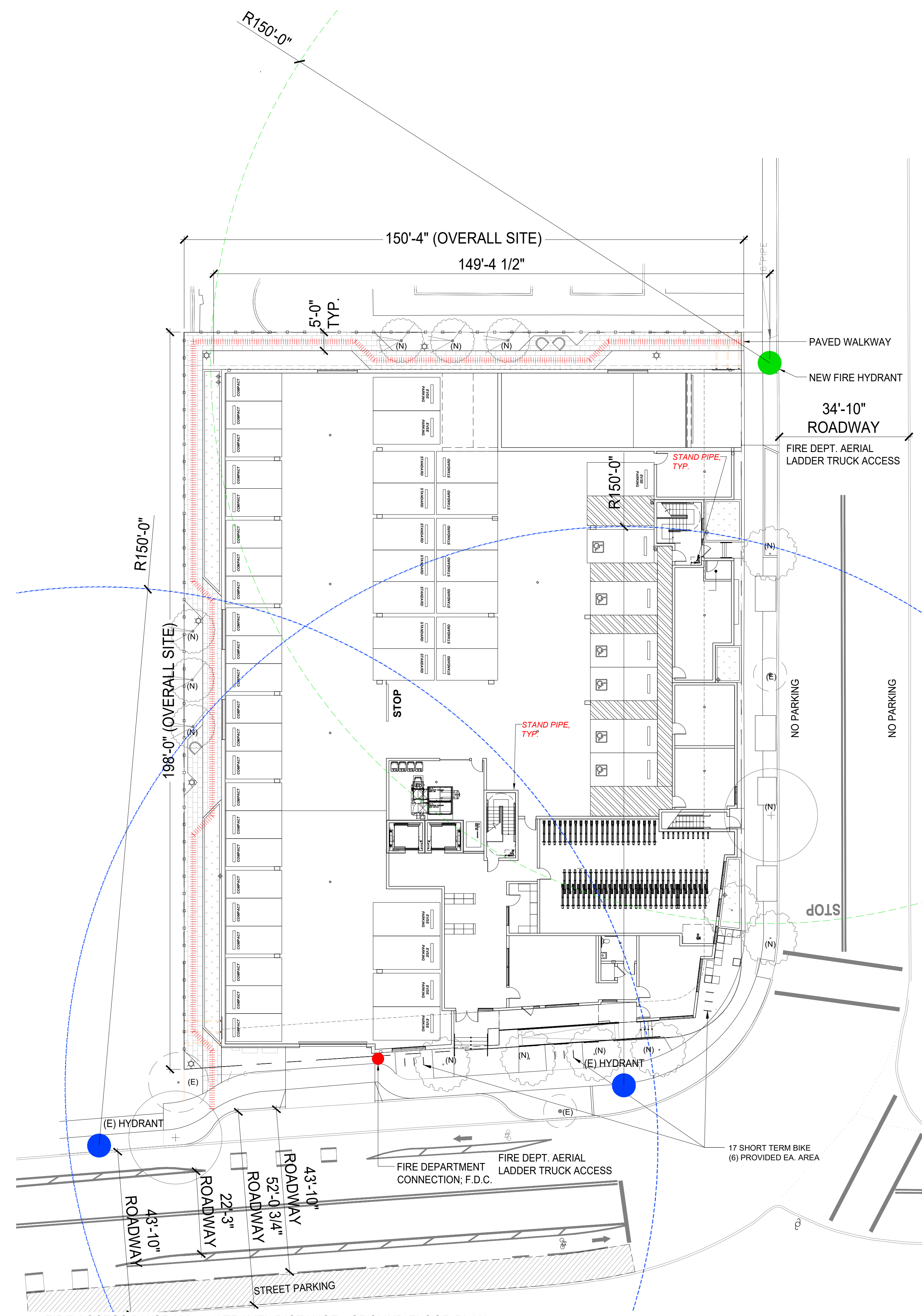
G0.03A



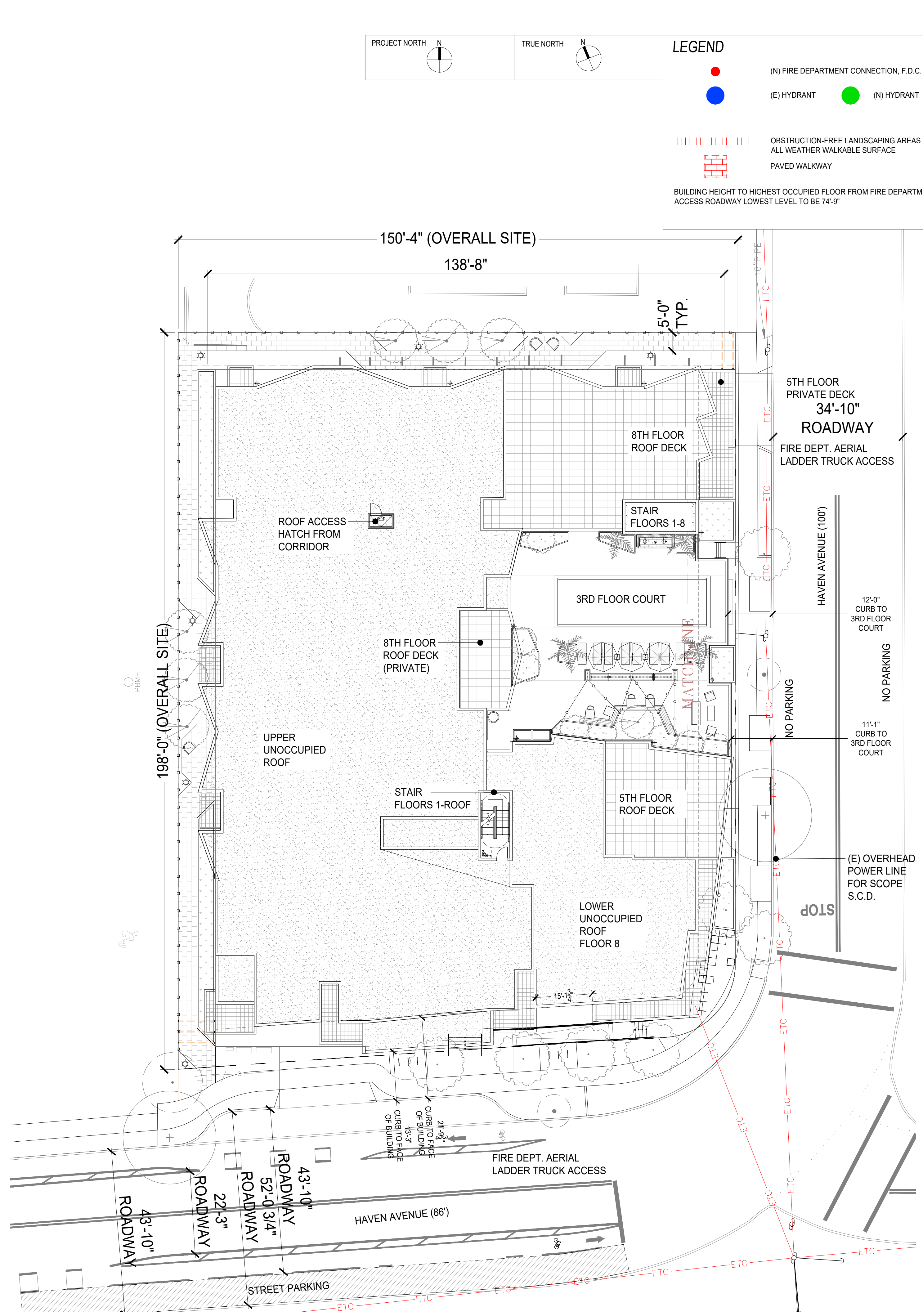
LEGEND

- (N) FIRE DEPARTMENT CONNECTION, F.D.C.
- (E) HYDRANT
- (N) HYDRANT
- OBSTRUCTION-FREE LANDSCAPING AREAS WITH ALL WEATHER WALKABLE SURFACE
- PAVED WALKWAY

BUILDING HEIGHT TO HIGHEST OCCUPIED FLOOR FROM FIRE DEPARTMENT ACCESS ROADWAY LOWEST LEVEL TO BE 74'-9"



1 FIRE ACCESS DIAGRAM: 150' TRAVEL DISTANCE - GROUND FLOOR PLAN
1/16" = 1'-0"



2 FIRE ACCESS DIAGRAM: ROOF PLAN
1/16" = 1'-0"



**Menlo Park Fire Protection District
Fire Prevention Bureau**
170 Middlefield Road
Menlo Park, CA 94025
Website: www.menlofire.org

Date: August 20, 2024

Applicant: March Capital
Phone: (415) 340-0998

Project: New 8 level (112 unit) Apartment Building
Address: 3705 Haven Ave
City: Menlo Park

Accepted_X_W/Conditions

Scope: Planning-Site Review – Multi-Family Residential Building

Reviewed by: William Saxton, Stuart Blakesley Permit#: MPR23-0110R2

Planning application for proposed construction of a new Multi-Family/Commercial building. The project is to comply with the 2022 CA Building / Fire Codes and local amendments. The following planning review comments are applicable to this submittal:

**Section 3303
Owners responsibility for fire protection**

3303.1 CFC: program development and maintenance. The owner or owner's authorized agent shall be responsible for the development implementation and maintenance of an approved, written site safety plan establishing a fire prevention program at the project site applicable at all phases of construction, repair, demolition, or alteration work. The plan shall address the requirements of this chapter and other applicable portions of this code, the duties of staff and staff training requirements. The plan shall be submitted and approved prior to Building Permit Issued. Any changes to the plan shall be submitted for approval.

3305.5 CFC: Fire safety requirements for buildings of Types IV-A IV-B and IV-C construction. Shall be met.

Access:

**All rights and remedies conveyed to Grantee under this Emergency Vehicle Access Agreement extend to and are enforceable by the Menlo Park Fire District as a Third-Party Beneficiary. These rights are in addition to, and do not limit, the Grantee's rights of enforcement.*

Fire Apparatus Access is to be provided along Haven Ave and Haven Ave (East) these to meet public access for covered and open parking. Aerial Ladder Access to be established along Haven Ave and Haven Ave (East) fronting subject project where overhead electrical wiring shall not be located, the aerial ladder placement shall meet the prescriptive distance requirements outlined in CFC 2022, Appendix D105. The following are general access requirements that apply to subject project:

- Overhead Electrical Obstruction – Overhead Electrical Utility power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building.

Page 1 of 5

- For low-rise building, if the city main cannot provide the required flow at 20 psi, a primary water supply tank and fire pump must be provided. The capacity of the tank shall meet the above requirements and the requirements of NFPA 13 and 14.
- An approved (manual and automatic) fire alarm system is required. A minimum of two sets of plans, specifications and other information pertinent to the system must be submitted to the Menlo Park Fire Protection District for review and approval prior to installation. A separate plan review fee will be collected upon review of these plans:
 - Fire alarm systems shall be U.L. Certificated, Certificate of Completion and other documentation listed in the National Fire Alarm Code shall be provided for all new fire alarm system installations.
- Fire Control Room.** An approved fire control room shall be provided for all buildings protected by an automatic fire extinguishing system. Fire control rooms shall meet the following requirements:
 - Fire control rooms shall contain only fire system control valves, fire alarm control panels and other related fire system equipment.
 - The location of the fire control room shall be approved by the fire code official.
 - Fire control rooms shall have minimum dimensions of five feet by seven feet.
 - Fire control rooms shall be constructed with a one-hour fire rating.
 - Fire control rooms shall be provided with an exterior access door approved by the fire code official.
 - Durable signage shall be provided on the exterior side of the access door.
 - Storage of materials in fire control rooms is prohibited.
- Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall contrast with their background. Individual suite numbers shall be permanently posted on the main entrance doors of tenant spaces. If rear outside doors to tenant spaces are installed, they shall include the installation of numerical address numbers corresponding to front addressing. Numbers on new occupancies shall comply with the following:
 - Structures over 50 feet (15240 mm) high shall have addresses with a min. 2.5-inch (63.5 mm) stroke wide by min. 12 inches (304.8 mm) high.
- CFC Section 510, Emergency Responder Radio Coverage.** When required by the fire code official, all new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems within MPFD at the exterior of the building. This section shall not require improvements of the existing public safety communication systems.

Exceptions:

 - Where it is determined by the fire code official that the radio coverage system is not needed. MPFD requires a construction permit for the installation or modification to emergency responder radio coverage system as provisioned in CFC Section 105.7.5. A separate plan review fee will be collected upon review of these plans.
- Elevators shall conform to the provisions of listed in Section 607 of the CBC 2022 edition. At least one elevator shall be of a size that will accommodate one gurney (max 24 inches by 84 inches [610 mm by 2134 mm]) and three attendants.
- Emergency Power Disconnect** - Provide an emergency power disconnect (EPO) at the building main entrance actuated by a "Knox Key Switch", location of the EPO to be positioned adjacent to the required Knox Box. A emergency power disconnect (EPO) shall also be located in the fire control room.
- A minimum 2A 10BC rated fire extinguisher shall be located at or near exits and shall be placed so that the travel distance to a fire extinguisher shall not to exceed 75 feet. Verify with Fire Inspector at time of rough inspection to assist with placement of extinguisher(s).
- Exit signs, emergency lighting, address posting, fire lane, marking, fire extinguishers and Knox Box

Page 4 of 5

- Fire apparatus roadways, including public and private streets and in some cases, driveways used for vehicle access, shall be capable of supporting the imposed weight of a 75,000-pound (34,050 kg) fire apparatus and shall be provided with an all-weather driving surface. Only paved or concrete surfaces are considered to be all weather driving surfaces. CFC 2022, Appendix D.
- NOTE ON FIELD PLAN: Fire apparatus roadways, including public or private streets or roads used for vehicle access shall be installed and in service prior to construction. Fire protection water serving all hydrants shall be provided as soon as combustible material arrives on the site:
 - PRIOR TO COMBUSTIBLE MATERIAL ARRIVING ON THE SITE, CONTACT THE MENLO PARK FIRE PROTECTION DISTRICT TO SCHEDULE AN INSPECTION OF ROADWAYS AND FIRE HYDRANTS. CFC 2022.
- For buildings 30 feet (9144 mm) and over in height (plan illustrates building height at 74'9" above fire apparatus access the required fire apparatus access roadway shall be a minimum of 26 feet (7925 mm) in width, and shall be positioned parallel to at least one entire side of the building, and the fire lane shall be located within a minimum of 15-feet (4572 mm) and a maximum of 30-feet (9144 mm) from the building. CFC 2022, Appendix D105:
 - Provided plans do not provide set back distances from building, or the required 70 degree climbing angle, this detail can be provided as part of a subsequent review but must be reviewed and approved by MPFD prior to issuance of building permit or grading permit.
 - Fire District staging areas to be located along Haven Ave and Haven Ave East for Aerial Ladder Truck Minimum and Maximum climbing angles. Note Aerial Ladder requires minimum 4' setback on any side to allow for outriggers.
- Traffic Opticom Signal Preemption System required for all traffic intersections controlled with a traffic signal. An encroachment permit shall accompany these installations.

Water Supply:

- MPFD Guideline for Water Supply & Hydrants Access Point requires "An approved access is required for all new buildings and shall reach to a point (Access Point) within 150-feet of all exterior areas of each building. See also the 2022 edition California Fire Code, Appendix C Occupancy Types. The purpose for which a building or part thereof is used or intended to be used":**
 - MPFD 8-20-24: MPFD does not accept exterior standpipe outlets proposed for this building North side as a mitigating measures as so illustrated on Sheet G0.03A and Civil Sheet C4, the proposed exterior standpipe outlets shall be removed.
 - MPFD 8-20-24: The applicant has noted "will coordinate with MPFD prior to building permit submission & provide revisions as required. Revised note to include this will be confirmed w/ MPFD prior to building permit". MPFD advises to proceed at own risk but shall be required to meet with MPFD to agree on mitigating measures for access point deficiency.
- Applicant to provide fire flow information this document shall be submitted to Menlo Park Fire Protection District for review and approval prior to issuance of grading and building permits. CFC 2022, Sec. 507.5.1 Appendix B Section 105.2 & Table 105.1:
 - The established fire flow for this project is as follows:
 - Type IA Construction, levels 1-3, 3 level enclosed parking at 68,369 sq ft
Type IA Construction, 4,000 gpm @ 4 hours based on 144,601 sq ft
4,000 gpm @ 47.2% = 1,888 gpm @ 2 hours
 - Type IIIA Construction, levels 4-8, 5 level apartment at 76,232 sq ft
Type IIIA Construction, 5,500 gpm @ 4 hours based on 144,601 sq ft
5,500 gpm @ 52.7% = 2,898.5 gpm @ 3 hours
 Total Fire Flow: 1,888 gpm + 2,898.5 = 4,786.5 gpm @ 4 hour flow duration.
MPFD permits a 50% reduction = **2,393.25 gpm @ 2 hours flow duration.**

Page 2 of 5

- location to be field verified by Fire Inspector.
- Means of egress components to include exit pathway throughout use, exit stairwells, exit enclosure providing access to exit doors, door hardware, exit signs, exit illumination and emergency lighting shall comply to CFC/CBC Chapter Ten.
 - Signage** - The exterior door providing direct access to stairwell #1 where the fire sprinkler riser assembly serving each floor level is to be located. Required on the door's exterior will be signage stating "Riser Assembly", additionally since stairwell #1 provides access to the roof's penthouse signage stating "Roof Access" shall be required", Fire Control Room" signage required on door's exterior's door providing access to fire control room.
 - Approved plans and approval letter must be on site at the time of inspection.
 - Final acceptance of this project is subject to field inspection.

Deferred Submittal's shall include the following: (Note on Plans)

- Fire Suppression System, NFPA 13 (2022 edition).
 - Class I Standpipe System, NFPA 14 (2019 edition).
 - Fire Pump, NFPA 20 (2019 edition), (if applicable)
 - Water Tank(s), NFPA 22 (2018 edition), (if applicable)
 - Private Underground Fire Service Main, NFPA 24 (2019 edition).
 - Fire Alarm System, NFPA 72 (2022 edition).
 - Generator - Stationary, CFC Section 1203 (2022 edition).
 - PV Systems, CFC Section 1204 (2022 edition).
 - Emergency Responder Radio Coverage, CFC Section 510 (2022 edition).
- Note - Design and installation of these systems shall meet MPFD Standards and Guidelines.**

Nothing in this review is intended to authorize or approve any aspects of the design or installation which do not strictly comply with all applicable codes and standards. Menlo Park Fire Protection District is not responsible for inadvertent errors or omissions pertaining to his review and/or subsequent field inspection(s) i.e., additional comments may be added during subsequent drawing review or field inspection. Please call with any questions.

Page 5 of 5

- Provide the Fire Flow report from the water purveyor for any subsequent resubmittals. Please cut & paste this current report to a plan sheet.
 - Include pipe size for all new and existing water mains located on Haven Ave & Haven Ave (East) on subsequent submittals.
- The existing public hydrants illustrated on C-4.0 meet MPFD and CFC for location and spacing, all new and existing public fire hydrants to comply to the following:
- All fire hydrants shall be wet barrel standard steamer type with 2-4 1/2" (114.3 mm) and 2-2 1/2" (63.5 mm) outlets. CFC 2022, Sec. 507.5.1 Appendix C and Menlo Park Fire Protection District Standards
 - Install a new public hydrant at the North driveway located on Haven Ave (East) at or near the property line and as so referenced on Sheet G0.03A, new public hydrant shall also be illustrated on Civil Utility Sheet C-4.0.
- Fire hydrants and fire appliances (fire department connections and post indicator valves) shall be clearly accessible and free from obstruction.

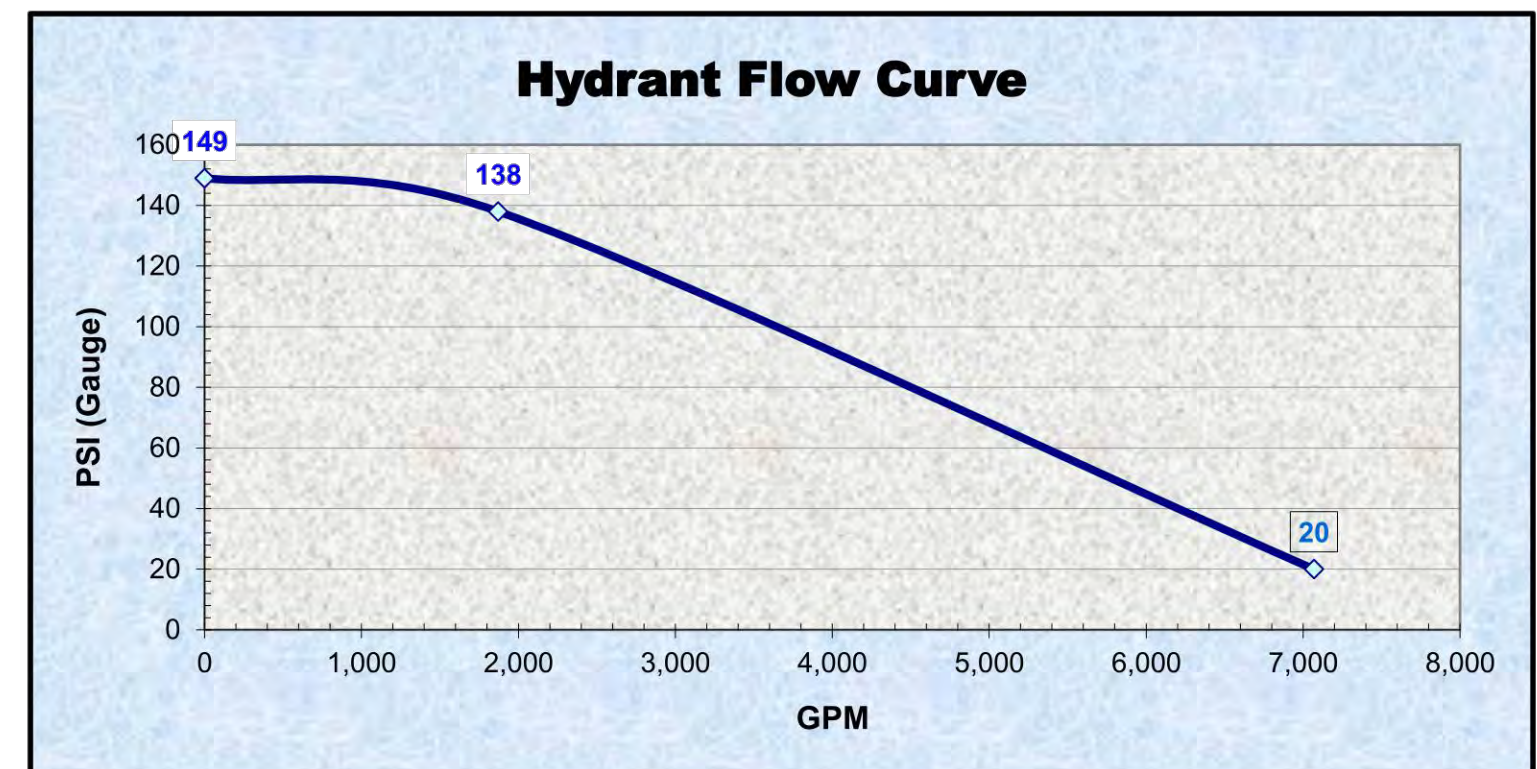
Commercial Building:

- An approved Combination Fire Sprinkler/ Class I Standpipe System shall be installed throughout each structure. Systems in new office buildings shall include a safety factor in the piping system, and plugged branch line piping allowing for future modifications. In new office buildings shell the sprinkler system shall be designed to .18 gpm/ 3,000 square foot of coverage area. In new garage area the automatic fire sprinkler system shall be designed to .20 gpm/ 2,000 square feet of coverage area. In multi-family buildings the sprinkler system shall be designed to .15gpm/1500 square feet of coverage area. Fire sprinkler system to comply with NFPA 13 2022 edition and Menlo Park Fire Protection District Standards. A separate plan review fee will be collected upon review of these plans:
 - Each floor level shall have a dedicated sprinkler riser assembly installed enabling fire department personnel direct access. The buildings 1st, 2nd, 3rd, 4th, 5th, 6th, 7th, & 8th floors sprinkler riser assembly to be located in stairwell #1. A 2-1/2" Standpipe Outlet required in each stairwell.
 - The Standpipe Outlet shall be located on main floor landing and shall reach all portions of the floor served at a 150-foot distance from the Outlet.
 - Roof access shall have two standpipe outlets, and most remote standpipe shall be calculated at 500gpm, and additional 250gpm added to outlet below totaling 750gpm. Include in fire flow calculation.
- To establish requirements for sprinkler protection of vehicle car stackers not specifically addressed in NFPA 13. The following shall apply; (if applicable)
 - Parking garage areas containing car stackers shall be protected by an automatic wet-pipe sprinkler system designed to Extra Hazard Group 1. In addition, non-extended coverage standard sidewall sprinklers listed for Ordinary Hazard shall be provided under each parking level, including the bottom level if the stacker is provided with a pit. Each sidewall sprinkler shall cover an area of 80 sq. ft or less.
 - The area of application may be reduced from the required 2500 sq. ft. to as low as 1500 sq. ft. if:
 - 1-hour fire rated walls are provided to separate the car stacker areas from the standard parking stalls,
 - The car stacker areas are divided up into 1500 sq. ft. areas via 1-hour fire rated walls, and
 - One-hour fire rated walls are provided to separate the car stacker areas from any other areas in the garage.
 - One-hour fire rated walls are not required in the driveway areas. For the hydraulic calculation, flow from all sprinklers, upright or pendent sprinklers at ceiling and all sidewall sprinklers at all levels, located in the area of application shall be included in the calculation.

Page 3 of 5

Fire Flow Test Report

| City of Menlo Park - Fire Flow Test Data | | | |
|--|-----------------|---------------------------------|---|
| Test Crew Names | SM / DK | Test Date | 05/10/22 |
| Address | 3705 Haven Ave. | Zone | HPZ |
| Residual Hydrant Location | 3645 Haven Ave. | Hydrant No. | E5-FHH-227 Static 149 PSI Residual 138 PSI |
| Flow Hydrant #1 Location | 3705 Haven Ave. | Hydrant No. | E5-FHH-229 Pitot 130 PSI coefficient 0.9 Flow 1,871 GPM |
| Flow Hydrant #2 Location | | Hydrant No. | Pitot PSI coefficient PSI Flow GPM |
| Flow Hydrant #3 Location | | Hydrant No. | Pitot PSI coefficient PSI Flow GPM |
| | | Total Flow | 1,871 GPM |
| Fire Flow Test Calculator | | Calculated Flow @ 20 PSI | 7,069 GPM |



NOTICE:
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3705 HAVEN AVE
MENLO PARK, CA



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

| | |
|------------|------------------------|
| 09-22-2023 | PLANNING & SB330 REV 3 |
| 03-20-2024 | PLANNING & SB330 REV 4 |
| 06-13-2024 | PLANNING & SB330 REV 5 |
| 07-26-2024 | PLANNING & SB330 REV 6 |
| 01-16-2025 | PLANNING & SB330 REV 7 |

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

FIRE
CONDITIONS
OF APPROVAL

G0.03B

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MENLO PARK, CA**



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| | 08-28-2024 | PLANNING & SB330 REV 7 |

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

BUILDING AREA CALCULATIONS

G0.05A

3705 Haven Avenue, Menlo Park
Building Area Calculations
2019 CBC 506.2.3 Single-Occupancy, Multistory Buildings

| 3705 Haven Ave (Type I-A) BLDG 01 | |
|---------------------------------------|------------------|
| Allowed Area per 2019 CBC | |
| Unlimited area per floor (CBC T506.2) | |
| Proposed Area | GSF |
| 1st Floor | 24,619 SF |
| 2nd Floor | 23,835 SF |
| 3rd Floor | 21,122 SF |
| Total Bldg. Area | 69,576 SF |

| 3705 Haven Ave (Type IIIA) BLDG 02 | |
|------------------------------------|-------|
| Allowed Area per 2019 CBC | |
| Frontage Increase | |
| Width (W) | 30 |
| Perimeter (P) | 0 |
| Street Frontage/Open Space (F) | 0 |
| If = [F/P - 0.25]W/30 | 0.000 |

| | |
|--|------------------|
| Building Area Modification | |
| Area (At), SM w/o height (T506.2) | 24,000 SF |
| NS (T506.2) | 24,000 SF |
| Sprinkler Increase (Sa) | 2 |
| Aa=[At+(NSxf)] x Sa | 48,000 SF |
| Aa with Sa =1 per 506.2.3; No indiv. Story shall exceed this value | |
| | 24,000 SF |

| Proposed Area GSF | |
|------------------------------|------------------|
| 1st Floor | SEE BLDG 01 |
| 2nd Floor | SEE BLDG 01 |
| 3rd Floor | SEE BLDG 01 |
| 4th Floor | 10,509 SF |
| 5th Floor | 10,264 SF |
| 6th Floor | 10,219 SF |
| 7th Floor | 10,119 SF |
| 8th Floor | 7,374 SF |
| Total Bldg. Area | 48,487 SF |
| Building Area < Aa | NO |

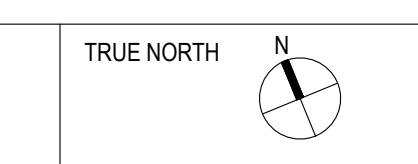
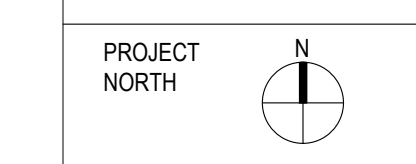
| 3705 Haven Ave (Type IIIA) BLDG 03 | |
|------------------------------------|-------|
| Allowed Area per 2019 CBC | |
| Frontage Increase | |
| Width (W) | 30 |
| Perimeter (P) | 0 |
| Street Frontage/Open Space (F) | 0 |
| If = [F/P - 0.25]W/30 | 0.000 |

| | |
|--|------------------|
| Building Area Modification | |
| Area (At), SM w/o height (T506.2) | 24,000 SF |
| NS (T506.2) | 24,000 SF |
| Sprinkler Increase (Sa) | 2 |
| Aa=[At+(NSxf)] x Sa | 48,000 SF |
| Aa with Sa =1 per 506.2.3; No indiv. Story shall exceed this value | |
| | 24,000 SF |

| Proposed Area GSF | |
|------------------------------|------------------|
| 1st Floor | SEE BLDG 01 |
| 2nd Floor | SEE BLDG 01 |
| 3rd Floor | SEE BLDG 01 |
| 4th Floor | 10,517 SF |
| 5th Floor | 9,266 SF |
| 6th Floor | 9,266 SF |
| 7th Floor | 9,124 SF |
| 8th Floor | 5,898 SF |
| Total Bldg. Area | 44,071 SF |
| Building Area < Aa | YES |

LEGEND

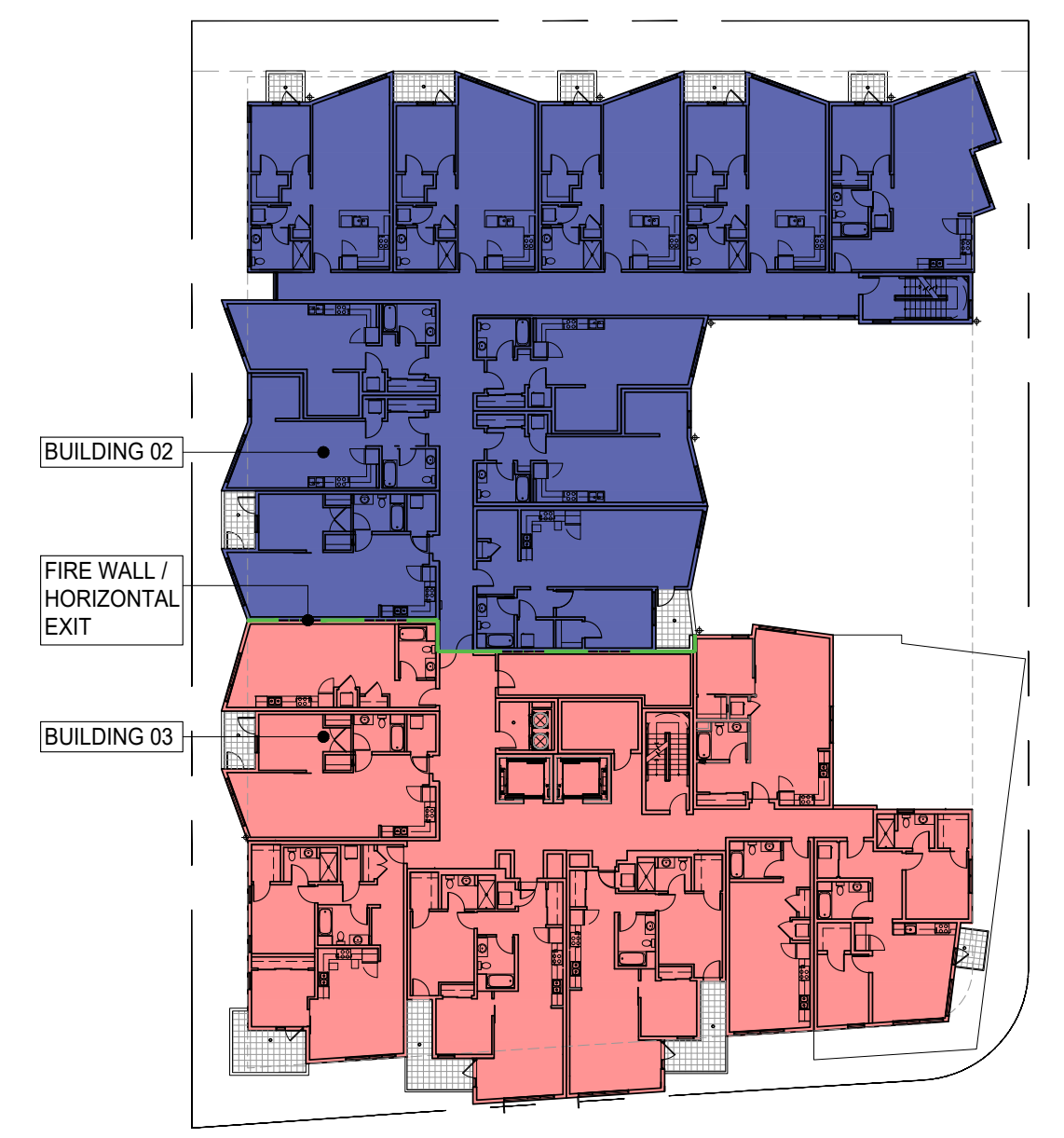
- BUILDING 01 (TYPE I-A)
- BUILDING 02 (TYPE III-A)
- BUILDING 03 (TYPE III-A)



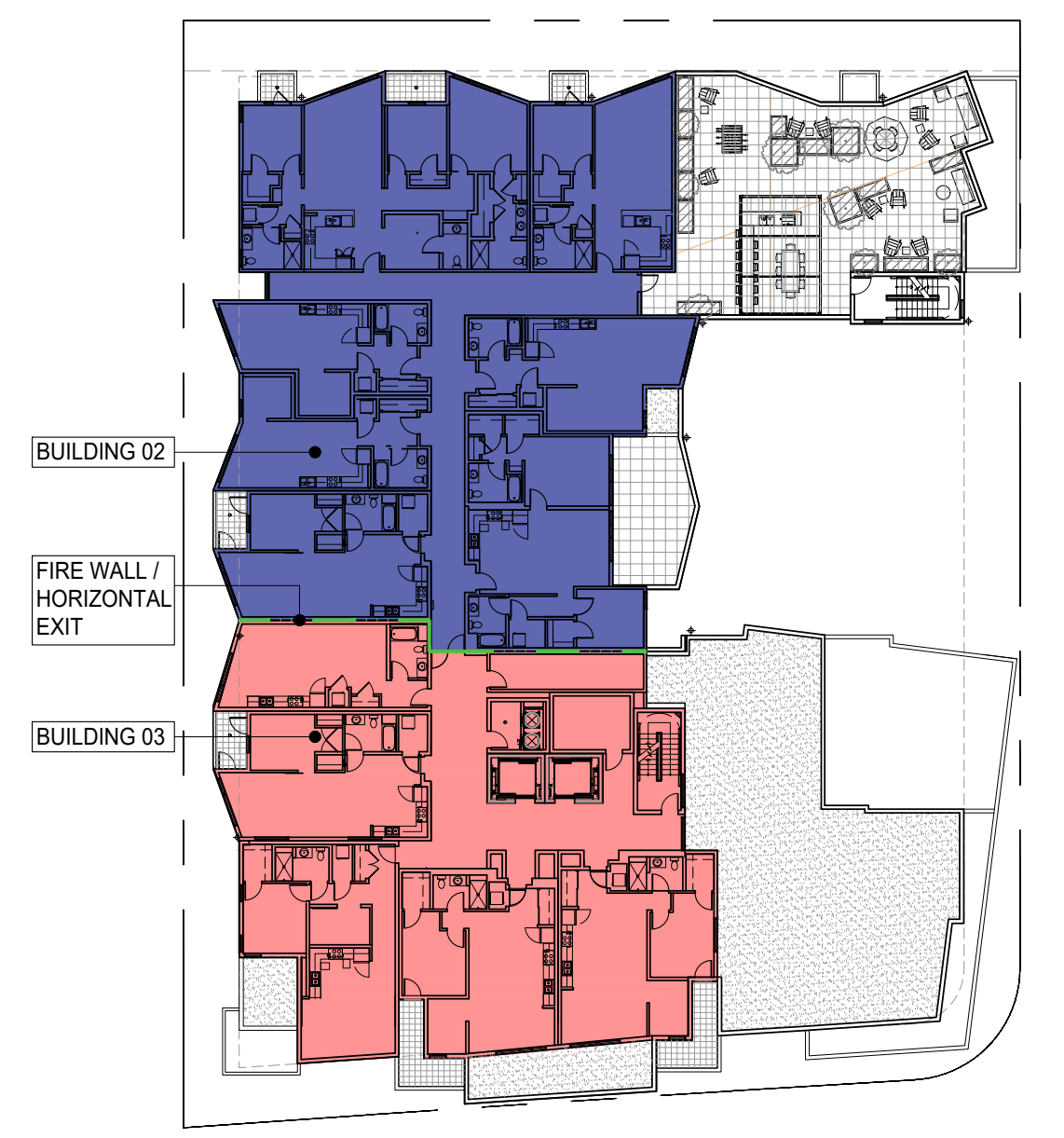
5 BUILDING AREA: FIFTH FLOOR
1/32" = 1'-0"



6 BUILDING AREA: SIXTH FLOOR
1/32" = 1'-0"



7 BUILDING AREA: SEVENTH FLOOR
1/32" = 1'-0"



8 BUILDING AREA: ROOF
1/32" = 1'-0"



1 BUILDING AREA: GROUND FLOOR
1/32" = 1'-0"



2 BUILDING AREA: SECOND FLOOR
1/32" = 1'-0"



3 BUILDING AREA: THIRD FLOOR
1/32" = 1'-0"

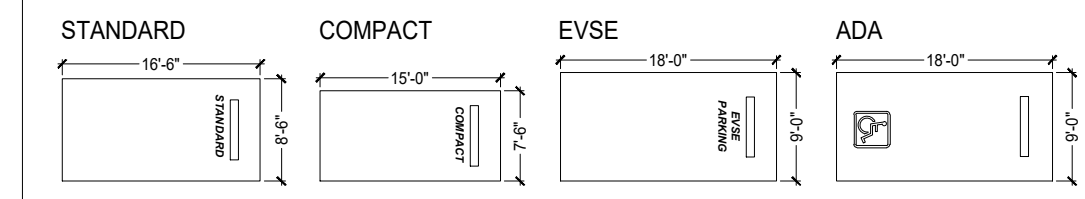


4 BUILDING AREA: FOURTH FLOOR
1/32" = 1'-0"

| | REQUIRED | PROPOSED |
|-------------------------------------|--|--|
| BICYCLE PARKING | RESIDENTIAL: 168 SPACES (1.5 LONG TERM/ UNIT) 17 SPACES (10% ADDITIONAL SHORT-TERM FOR GUESTS, MUST BE WITHIN 50' OF LOBBY) | 168 SPACES LONG TERM SPACES LOCATED AT THE GROUND FLOOR 17 SPACES SHORT-TERM FOR GUESTS LOCATED AT GROUND FLOOR WITHIN 50' OF THE LOBBY |
| VEHICLE PARKING - RESIDENTIAL UNITS | 1 SPACE/UNIT - 1.5 SPACES / UNIT MAX. (112 - 168 MAX.) | 104 UNASSIGNED PARKING SPACES (5% ADA REQUIRED)* 6 ACCESSIBLE PARKING SPACES (INCLUDES 1 VAN PARKING SPACE) PARKING OCCURS AT FLOORS 1 & 2, 34 STANDARD SIZE SPACES AND 48 COMPACT SIZE SPACES UNLESS OTHERWISE NOTED. |
| ELECTRIC VEHICLE PARKING | PER 4.106.4.2.1., 15% SHALL BE EVCS / EVSE EQUIPPED WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT WITH MINIMUM OF LEVEL 2 EV READY. 15% OF 104 = 16 SPACES ELECTRIC VEHICLE SUPPLY EQUIPMENT (WHICH INCLUDES 1 EVSE SPACE WITH 8' AISLE) | 16 EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT, INCLUDES 1 EVSE SPACE WITH 8' WIDE LOADING AISLE) ALL REMAINING PARKING SPACES SHALL HAVE A LOW POWER LEVEL 2 EV READY SPACE PER 4.106.4.2.1 |

*See requested density bonus and waivers pursuant to State Density Bonus Law (Gov. Code § 65915)

LEGEND



| | REQUIRED | PROPOSED |
|------------|--|---|
| OPEN SPACE | 25% OF SITE: 7,202 SF 25% OPEN SPACE PUBLICLY ACCESSIBLE: 1,801 SF 100 SF / UNIT COMMON OPEN SPACE - OR - 80 SF / UNIT PRIVATE OPEN SPACE PRIVATE OPEN SPACE: MIN. DIMENSION 6' X 6' MIX OF OPEN SPACE: RATIO OF 1.25 SF COMMON OPEN SPACE FOR 1.0 PRIVATE OPEN SPACE COMMON OPEN SPACE: MIN. OF 1 SPACE, 40' MIN. DIMENSION; 1,600 SF TOTAL MIN. (101 OR MORE UNITS) | PROJECT IS COMPLIANT & MEETS 25% OF REQ'D OPEN SPACE FOR RESIDENTIAL. 4,670 SF AT GRADE PUBLICLY ACCESSIBLE OCCURS ALONG NORTH AND WEST SIDES OF BUILDING WITH FEATURE GATEWAYS WITH LIGHTING, WALKWAYS ENHANCED WITH LIGHTING AND SCULPTURAL SEATING. CORNER PLAZA WITH MODULAR STACKED SEATING AND PLANTERS, DECORATIVE BIKE RACKS, AND PAVERS AT CORNER OF HAVEN. COMMON OPEN SPACE INCLUDES 3,200 SF AT COURTYARD, 895 AT 5TH FLOOR ROOF DECK, AND 1,995 AT ROOF DECK. ADDITIONAL PRIVATE DECKS PROVIDED, SEE G0.05B, C & D. PRIVATE DECKS INCLUDE: 36 - NON-COMPLIANT PRIVATE OPEN SPACE 16 - PARTIALLY COMPLIANT PRIVATE OPEN SPACE, MEETS 6'X6' MIN, BUT DOES NOT MEET 80 SF. 20 - COMPLIANT COMMON PRIVATE OPEN SPACE, 6'X6' MIN & 80 SF |

| Floor | Gross Floor Area Per Menlo Park Code 16.04.325 (outside face of exterior walls, centerline at interior walls) | | | | | | | | | | |
|--------------|---|---------------------------|-----------------|----------------------------|-----------------------|---------------------|-------------------|-------------------|----------------|----------------|------------------------------|
| | Included in FAR | | | | | Not included in FAR | | | | | |
| | BMR Unit Resid. Unit | Common Area / Circulation | Lobby / Amenity | BOH/ Utilities Maint. / IT | Utilities (Excluded) | Trash/ Shafts | Parking (Bicycle) | Parking (Vehicle) | Outdoor Common | Deck - Private | Deck - Private Non-Compliant |
| 1 | - | 621 | 2,153 | 295 | 1,061 | 487 | 1,546 | 17,566 | 4,670 | - | - |
| 2 | 4,046 | 1,535 | - | 121 | 386 | 80 | - | 17,660 | - | - | 43 |
| 3 | 14,527 | 3,026 | 2,457 | 91 | - | 109 | - | - | 3,200 | 390 | 452 |
| 4 | 16,766 | 2,883 | - | 460 | - | 109 | - | - | - | 358 | 571 |
| 5 | 15,278 | 2,883 | - | 460 | - | 109 | - | 899 | 886 | 430 | - |
| 6 | 15,278 | 2,883 | - | 460 | - | 109 | - | - | - | 358 | 484 |
| 7 | 15,278 | 2,883 | - | 460 | - | 109 | - | - | - | 358 | 473 |
| 8 | 10,391 | 2,169 | - | 377 | - | 120 | - | - | 1,995 | 578 | 260 |
| Roof | - | - | - | - | - | - | - | - | - | - | - |
| Total | 91,564 | 18,883 | 4,610 | 2,724 | 1,447 | 1,232 | 1,546 | 35,226 | 10,764 | 2,928 | 2,713 |

AREA TO BE PUBLICLY ACCESSIBLE (LOCATED AT GRADE) *1% of 225% FAR = 28,808*2.25 = 64,818 * 1% = 648 SF *3% of 225% FAR = 28,808*2.25 = 64,818 * 3% = 1,945 SF

| Floor | Unit Type | Unit # | Units/Floor | BOMA Unit Net Sq. Ft. | BOMA Total Net Sq. Ft. |
|------------------|--------------|--------|-------------|-----------------------|------------------------|
| Floor 2 | Studio | A.1 | 202 | 1 | 525 |
| | Studio | A.1' | 203 | 1 | 596 |
| | Studio | A.7 | 205 | 1 | 508 |
| | Studio | A.8 | 206 | 1 | 582 |
| | 2 Bed / 1 Ba | A.6 | 204 | 1 | 815 |
| | 1 Bedroom | B.4 | 201 | 1 | 750 |
| Per Floor | | | 6 | | 3,776 |

| Floor | Unit Type | Unit # | Units/Floor | BOMA Unit Net Sq. Ft. | BOMA Total Net Sq. Ft. |
|------------------|--------------|--------|-------------|-----------------------|------------------------|
| Floor 3 | Studio | A.1 | 315 | 1 | 525 |
| | Studio | A.1' | 309 | 1 | 570 |
| | Studio | A.2 | 306 | 1 | 581 |
| | Studio | A.3 | 307 | 1 | 569 |
| | 1 Bedroom | B.1 | 302-5 | 4 | 802 |
| | 1 Bedroom | C | 308, 310 | 2 | 769 |
| | 1 Bedroom | D | 314 | 1 | 752 |
| | 2 Bed / 1 Ba | H | 316 | 1 | 916 |
| | 2 Bed / 2 Ba | E.1 | 311 | 1 | 1,008 |
| | 2 Bed / 2 Ba | F.1 | 312 | 1 | 957 |
| | 2 Bed / 2 Ba | F.2 | 313 | 1 | 1,001 |
| | 2 Bed / 2 Ba | J | 301 | 1 | 1,144 |
| 2 Bed / 2 Ba | K.1 | 317 | 1 | 1,177 | |
| Per Floor | | | 17 | | 13,946 |

| Floor | Unit Type | Unit # | Units/Floor | BOMA Unit Net Sq. Ft. | BOMA Total Net Sq. Ft. |
|------------------|--------------|--------|-------------|-----------------------|------------------------|
| Floor 4 | Studio | A.1 | 418 | 1 | 525 |
| | Studio | A.1' | 412 | 1 | 570 |
| | Studio | A.2 | 406 | 1 | 581 |
| | Studio | A.4 | 407 | 1 | 654 |
| | Studio | A.3 | 408 | 1 | 569 |
| | Studio | A.5' | 409 | 1 | 625 |
| | 1 Bedroom | B.1 | 402-5 | 4 | 802 |
| | 1 Bedroom | C | 410, 413 | 2 | 769 |
| | 1 Bedroom | B.2 | 411 | 1 | 906 |
| | 1 Bedroom | D | 417 | 1 | 752 |
| | 2 Bed / 1 Ba | H | 419 | 1 | 901 |
| | 2 Bed / 2 Ba | E.1 | 414 | 1 | 1,008 |
| 2 Bed / 2 Ba | F.1 | 415 | 1 | 957 | |
| 2 Bed / 2 Ba | F.2 | 416 | 1 | 1,001 | |
| 2 Bed / 2 Ba | J | 401 | 1 | 1,144 | |
| 2 Bed / 2 Ba | K.1 | 420 | 1 | 1,177 | |
| Per Floor | | | 20 | | 16,116 |

| Floors | Unit Type | Unit # | Units/Floor | BOMA Unit Net Sq. Ft. | BOMA Total Net Sq. Ft. |
|------------------|--------------|--------|-------------|-----------------------|------------------------|
| Floors 5-7 | Studio | A.1 | X18 | 1 | 525 |
| | Studio | A.1' | X12 | 1 | 570 |
| | Studio | A.2 | X06 | 1 | 581 |
| | Studio | A.3 | X07 | 1 | 596 |
| | Studio | A.4 | X08 | 1 | 654 |
| | Studio | A.5 | X09 | 1 | 642 |
| | 1 Bedroom | B.1 | X02-5 | 4 | 802 |
| | 1 Bedroom | C | X10, 13 | 2 | 769 |
| | 1 Bedroom | G | X01 | 1 | 843 |
| | 1 Bedroom | B.3 | X11 | 1 | 927 |
| | 1 Bedroom | D | X17 | 1 | 752 |
| | 2 Bed / 2 Ba | E.1 | X14 | 1 | 1,008 |
| 2 Bed / 2 Ba | F.1 | X15 | 1 | 957 | |
| 2 Bed / 2 Ba | F.2 | X16 | 1 | 1,001 | |
| 2 Bed / 2 Ba | K.2 | X19 | 1 | 918 | |
| Per Floor | | | 19 | | 14,720 |

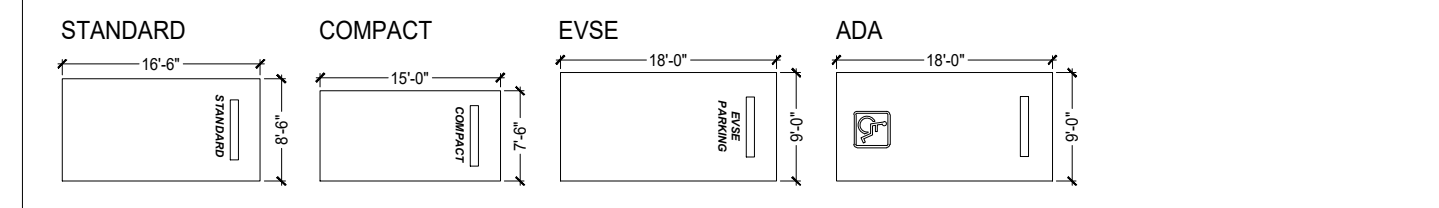
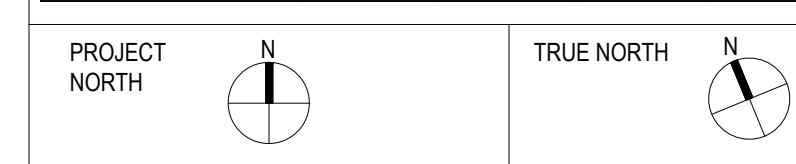
| Floor | Unit Type | Unit # | Units/Floor | BOMA Unit Net Sq. Ft. | BOMA Total Net Sq. Ft. |
|---------|------------------|--------|-------------|-----------------------|------------------------|
| Floor 8 | Studio | A.1' | 808 | 1 | 570 |
| | Studio | A.2 | 803 | 1 | 581 |
| | Studio | A.3 | 805 | 1 | 569 |
| | Studio | A.4' | 804 | 1 | 686 |
| | 1 Bedroom | B.1 | 801 | 1 | 802 |
| | 1 Bedroom | F.3 | 811 | 1 | 820 |
| | 1 Bedroom | F.4 | 812 | 1 | 833 |
| | 1 Bedroom | C | 806, 809 | 2 | 769 |
| | 1 Bedroom | E.2 | 810 | 1 | 870 |
| | 2 Bed / 2 Ba | M | 807 | 1 | 1,104 |
| | 3 Bed / 2.5 Ba | L | 802 | 1 | 1,583 |
| | Per Floor | | | 12 | |

| Building Summary | # of Units | BOMA Total Net Sq. Ft. |
|------------------|------------|------------------------|
| | 112 | 87,954 |

| Floor | GSF (outside face of walls & ext. to ext. walls) (SF) | GFA (excl. non-FAR areas) (SF) |
|--------------|---|--------------------------------|
| 1 | 23,729 | 3,069 |
| 2 | 23,828 | 5,702 |
| 3 | 20,210 | 20,101 |
| 4 | 20,218 | 20,109 |
| 5 | 18,730 | 18,621 |
| 6 | 18,730 | 18,621 |
| 7 | 18,730 | 18,621 |
| 8 | 13,057 | 12,937 |
| Total | 157,232 | 117,781 |

| | |
|-----------|--------|
| Site Area | 28,808 |
| FAR | 409% |

| Below market rate units, dispersed throughout building | Unit # | Unit Type | SF | FLOOR | BMR Cat. |
|--|-----------|--------------|-------|-------|----------|
| Studio | A.1 | 202 | 525 | 2 | Very Low |
| Studio | A.1 | 315 | 525 | 3 | Very Low |
| Studio | A.1 | 418 | 525 | 4 | Very Low |
| Studio | A.1 | 518 | 525 | 5 | Moderate |
| Studio | A.1 | 618 | 525 | 6 | Moderate |
| 1 Bedroom | B.4 | 201 | 750 | 2 | Very Low |
| 1 Bedroom | C | 513 | 769 | 5 | Very Low |
| 1 Bedroom | D | 314 | 752 | 3 | Very Low |
| 1 Bedroom | D | 417 | 752 | 4 | Very Low |
| 1 Bedroom | D | 517 | 752 | 5 | Very Low |
| 1 Bedroom | D | 617 | 752 | 6 | Moderate |
| 2-Bed / 1 Ba | A.6 | 204 | 815 | 2 | Very Low |
| 2 Bed / 2 Ba | F.1 | 312 | 957 | 3 | Very Low |
| 2 Bed / 2 Ba | F.2 | 416 | 1,001 | 4 | Moderate |
| Total: | 14 | 9,925 | | | |



1 BUILDING AREA: GROUND FLOOR
1/16" = 1'-0"



2 BUILDING AREA: SECOND FLOOR
1/16" = 1'-0"

NOTICE: THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF LEVY DESIGN PARTNERS, INC. (LDP ARCHITECTURE) AND SHALL NOT BE USED EXCEPT BY WRITTEN AGREEMENT WITH LEVY DESIGN PARTNERS.

| Gross Floor Area Per Menlo Park Code 16.04.325 (outside face of exterior walls, centerline at interior walls) | | | | | | | | | | | |
|---|----------------------|---------------------------|-----------------|----------------------------|-----------------------|---------------|-------------------|-------------------|----------------|----------------|------------------------------|
| Floor | Included in FAR | | | | | | | | | | Deck - Private Non-Compliant |
| | BMR Unit Resid. Unit | Common Area / Circulation | Lobby / Amenity | BOH/ Utilities Maint. / IT | Utilities (Excluded) | Trash/ Shafts | Parking (Bicycle) | Parking (Vehicle) | Outdoor Common | Deck - Private | |
| 1 | - | 621 | 2,153 | 295 | 1,061 | 487 | 1,546 | 17,566 | 4,670 | - | - |
| 2 | 4,046 | 1,535 | - | 121 | 386 | 80 | - | 17,660 | - | - | 43 |
| 3 | 14,527 | 3,026 | 2,457 | 91 | - | 109 | - | - | 3,200 | 390 | 452 |
| 4 | 16,766 | 2,883 | - | 460 | - | 109 | - | - | - | 358 | 571 |
| 5 | 15,278 | 2,883 | - | 460 | - | 109 | - | - | 899 | 886 | 430 |
| 6 | 15,278 | 2,883 | - | 460 | - | 109 | - | - | - | 358 | 473 |
| 7 | 15,278 | 2,883 | - | 460 | - | 109 | - | - | - | 358 | 260 |
| 8 | 10,391 | 2,169 | - | 377 | - | 120 | - | - | 1,995 | 578 | - |
| Roof | - | - | - | - | - | - | - | - | - | - | - |
| Total | 91,564 | 18,883 | 4,610 | 2,724 | 1,447 | 1,232 | 1,546 | 35,226 | 10,764 | 2,928 | 2,713 |

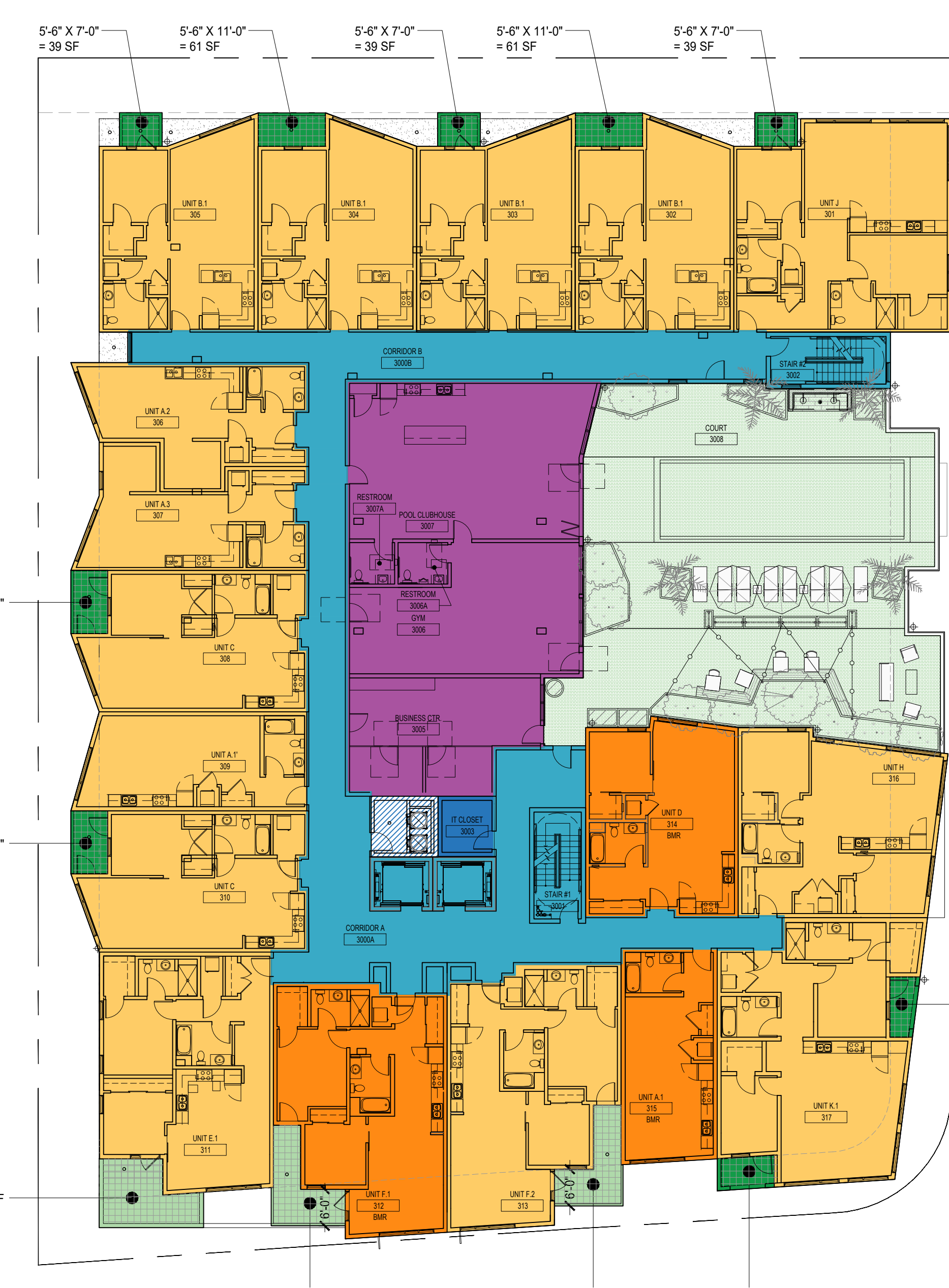
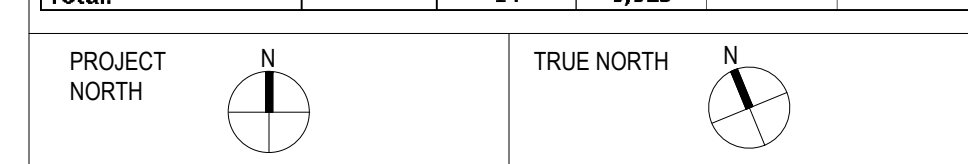
*1% of 225% FAR = 28,808*2.25 = 64,818 * 1% = 648 SF
*3% of 225% FAR = 28,808*2.25 = 64,818 * 3% = 1,945 SF

| Floor | Unit Type | Unit # | Units/Floor | BOMA Unit Net Sq. Ft. | BOMA Total Net Sq. Ft. | |
|-------------------------|--------------|--------|-------------------|-------------------------------|-------------------------------|-------|
| Floor 2 | Studio | A.1 | 202 | 525 | 525 | |
| | Studio | A.1* | 203 | 596 | 596 | |
| | Studio | A.7 | 205 | 508 | 508 | |
| | Studio | A.8 | 206 | 582 | 582 | |
| | 2 Bed / 1 Ba | A.6 | 204 | 815 | 815 | |
| | 1 Bedroom | B.4 | 201 | 750 | 750 | |
| Per Floor | | | 6 | 3,776 | | |
| Floor 3 | Studio | A.1 | 315 | 525 | 525 | |
| | Studio | A.1* | 309 | 570 | 570 | |
| | Studio | A.2 | 306 | 581 | 581 | |
| | Studio | A.3 | 307 | 569 | 569 | |
| | 1 Bedroom | B.1 | 302-5 | 4 | 802 | 3,208 |
| | 1 Bedroom | C | 308, 310 | 2 | 769 | 1,538 |
| | 1 Bedroom | D | 314 | 1 | 752 | 752 |
| | 2 Bed / 1 Ba | H | 316 | 1 | 916 | 916 |
| | 2 Bed / 2 Ba | E.1 | 311 | 1 | 1,008 | 1,008 |
| | 2 Bed / 2 Ba | F.1 | 312 | 1 | 957 | 957 |
| | 2 Bed / 2 Ba | F.2 | 313 | 1 | 1,001 | 1,001 |
| | 2 Bed / 2 Ba | J | 301 | 1 | 1,144 | 1,144 |
| 2 Bed / 2 Ba | K.1 | 317 | 1 | 1,177 | 1,177 | |
| Per Floor | | | 17 | 13,946 | | |
| Floor 4 | Studio | A.1 | 418 | 525 | 525 | |
| | Studio | A.1* | 412 | 570 | 570 | |
| | Studio | A.2 | 406 | 581 | 581 | |
| | Studio | A.4 | 407 | 654 | 654 | |
| | Studio | A.3 | 408 | 569 | 569 | |
| | Studio | A.5* | 409 | 625 | 625 | |
| | 1 Bedroom | B.1 | 402-5 | 4 | 802 | 3,208 |
| | 1 Bedroom | C | 410, 413 | 2 | 769 | 1,538 |
| | 1 Bedroom | B.2 | 411 | 1 | 906 | 906 |
| | 1 Bedroom | D | 417 | 1 | 752 | 752 |
| | 2 Bed / 1 Ba | H | 419 | 1 | 901 | 901 |
| | 2 Bed / 2 Ba | E.1 | 414 | 1 | 1,008 | 1,008 |
| | 2 Bed / 2 Ba | F.1 | 415 | 1 | 957 | 957 |
| | 2 Bed / 2 Ba | F.2 | 416 | 1 | 1,001 | 1,001 |
| 2 Bed / 2 Ba | J | 401 | 1 | 1,144 | 1,144 | |
| 2 Bed / 2 Ba | K.1 | 420 | 1 | 1,177 | 1,177 | |
| Per Floor | | | 20 | 16,116 | | |
| Floors 5-7 | Studio | A.1 | X18 | 525 | 525 | |
| | Studio | A.1* | X12 | 570 | 570 | |
| | Studio | A.2 | X06 | 581 | 581 | |
| | Studio | A.3 | X07 | 596 | 596 | |
| | Studio | A.4 | X08 | 654 | 654 | |
| | Studio | A.5 | X09 | 642 | 642 | |
| | 1 Bedroom | B.1 | X02-5 | 4 | 802 | 3,208 |
| | 1 Bedroom | C | X10, 13 | 2 | 769 | 1,538 |
| | 1 Bedroom | G | X01 | 1 | 843 | 843 |
| | 1 Bedroom | B.3 | X11 | 1 | 927 | 927 |
| | 1 Bedroom | D | X17 | 1 | 752 | 752 |
| | 2 Bed / 2 Ba | E.1 | X14 | 1 | 1,008 | 1,008 |
| | 2 Bed / 2 Ba | F.1 | X15 | 1 | 957 | 957 |
| | 2 Bed / 2 Ba | F.2 | X16 | 1 | 1,001 | 1,001 |
| 2 Bed / 2 Ba | K.2 | X19 | 1 | 918 | 918 | |
| Per Floor | | | 19 | 14,720 | | |
| Floor 8 | Studio | A.1* | 808 | 570 | 570 | |
| | Studio | A.2 | 803 | 581 | 581 | |
| | Studio | A.3 | 805 | 569 | 569 | |
| | Studio | A.4* | 804 | 686 | 686 | |
| | 1 Bedroom | B.1 | 801 | 802 | 802 | |
| | 1 Bedroom | F.3 | 811 | 820 | 820 | |
| | 1 Bedroom | F.4 | 812 | 833 | 833 | |
| | 1 Bedroom | C | 806, 809 | 2 | 769 | 1,538 |
| | 1 Bedroom | E.2 | 810 | 870 | 870 | |
| | 2 Bed / 2 Ba | M | 807 | 1,104 | 1,104 | |
| 3 Bed / 2.5 Ba | L | 802 | 1,583 | 1,583 | | |
| Per Floor | | | 12 | 9,956 | | |
| Building Summary | | | # of Units | BOMA Total Net Sq. Ft. | BOMA Total Net Sq. Ft. | |
| | | | 112 | 87,954 | 87,954 | |

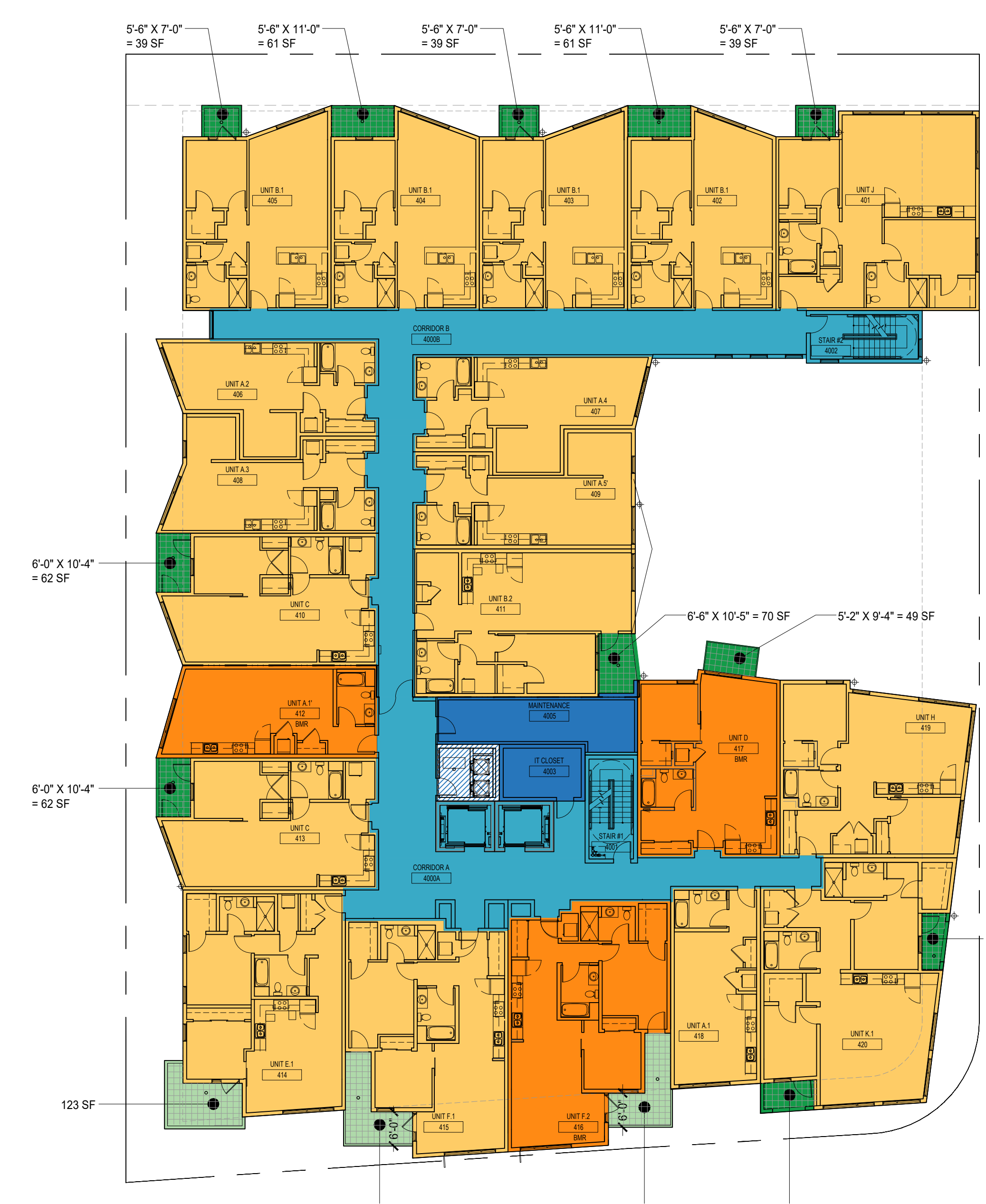
| Floor | GSF (outside face of walls & ext. to ext. walls) (SF) | GFA (excl. non-FAR areas) (SF) |
|--------------|---|--------------------------------|
| 1 | 23,729 | 3,069 |
| 2 | 23,828 | 5,702 |
| 3 | 20,210 | 20,101 |
| 4 | 20,218 | 20,109 |
| 5 | 18,730 | 18,621 |
| 6 | 18,730 | 18,621 |
| 7 | 18,730 | 18,621 |
| 8 | 13,057 | 12,937 |
| Total | 157,232 | 117,781 |

| | |
|------------------|---------------|
| Site Area | 28,808 |
| FAR | 409% |

| Unit | Unit Type | Unit # | SF | FLOOR | BMR Cat. |
|---------------|-----------|-----------|--------------|-------|----------|
| Studio | A.1 | 202 | 525 | 2 | Very Low |
| Studio | A.1 | 315 | 525 | 3 | Very Low |
| Studio | A.1 | 418 | 525 | 4 | Very Low |
| Studio | A.1 | 518 | 525 | 5 | Moderate |
| Studio | A.1 | 618 | 525 | 6 | Moderate |
| 1 Bedroom | B.4 | 201 | 750 | 2 | Very Low |
| 1 Bedroom | C | 513 | 769 | 5 | Very Low |
| 1 Bedroom | D | 314 | 752 | 3 | Very Low |
| 1 Bedroom | D | 417 | 752 | 4 | Very Low |
| 1 Bedroom | D | 517 | 752 | 5 | Very Low |
| 1 Bedroom | D | 617 | 752 | 6 | Moderate |
| 2-Bed / 1 Ba | A.6 | 204 | 815 | 2 | Very Low |
| 2-Bed / 2 Ba | F.1 | 312 | 957 | 3 | Very Low |
| 2-Bed / 2 Ba | F.2 | 416 | 1,001 | 4 | Moderate |
| Total: | | 14 | 9,925 | | |

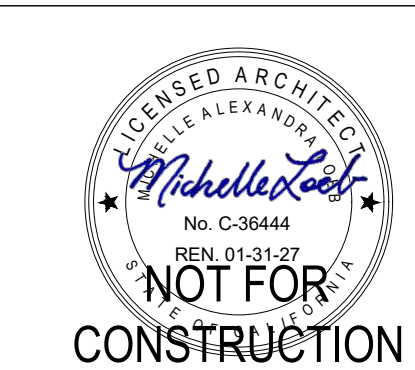


1 BUILDING AREA: THIRD FLOOR
1/16" = 1'-0"



2 BUILDING AREA: FOURTH FLOOR
1/16" = 1'-0"

3705 HAVEN AVE
MENLO PARK, CA



3705 HAVEN AVE
MENLO PARK, CA
PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|-----|------------|------------------------|
| | 09-22-2023 | PLANNING & SB330 REV 3 |
| | 03-20-2024 | PLANNING & SB330 REV 4 |
| | 06-13-2024 | PLANNING & SB330 REV 5 |
| | 07-26-2024 | PLANNING & SB330 REV 6 |
| | 01-16-2025 | PLANNING & SB330 REV 7 |

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

BUILDING AREA CALCULATIONS PLANNING

G0.05C

| Gross Floor Area Per Menlo Park Code 16.04.325 (outside face of exterior walls, centerline at interior walls) | | | | | | | | | | | |
|---|----------------------|---------------------------|-----------------|----------------------------|-----------------------|---------------|-------------------|-------------------|----------------|----------------|------------------------------|
| Floor | Included in FAR | | | | | | | | | | Not included in FAR |
| | BMR Unit Resid. Unit | Common Area / Circulation | Lobby / Amenity | BOH/ Utilities Maint. / IT | Utilities (Excluded)* | Trash/ Shafts | Parking (Bicycle) | Parking (Vehicle) | Outdoor Common | Deck - Private | Deck - Private Non-Compliant |
| 1 | - | 621 | 2,153 | 295 | 1,061 | 487 | 1,546 | 17,566 | 4,670 | - | - |
| 2 | 4,046 | 1,535 | - | 121 | 386 | 80 | - | 17,660 | - | - | 43 |
| 3 | 14,527 | 3,026 | 2,457 | 91 | - | 109 | - | - | 3,200 | 390 | 452 |
| 4 | 16,766 | 2,883 | - | 460 | - | 109 | - | - | - | 358 | 571 |
| 5 | 15,278 | 2,883 | - | 460 | - | 109 | - | - | 899 | 886 | 430 |
| 6 | 15,278 | 2,883 | - | 460 | - | 109 | - | - | - | 358 | 473 |
| 7 | 15,278 | 2,883 | - | 460 | - | 109 | - | - | - | 358 | 260 |
| 8 | 10,391 | 2,169 | - | 377 | - | 120 | - | - | 1,995 | 578 | 260 |
| Roof | - | - | - | - | - | - | - | - | - | - | - |
| Total | 91,564 | 18,883 | 4,610 | 2,724 | 1,447 | 1,232 | 1,546 | 35,226 | 10,764 | 2,928 | 2,713 |

*1% of 225% FAR = 28,808*2.25 = 64,818 * 1% = 648 SF
*3% of 225% FAR = 28,808*2.25 = 64,818 * 3% = 1,945 SF

MINIMUM SETBACK - The horizontal distance a building's upper stories must be set back above the base height.
10 feet for a minimum of 75% of the building face along public streets. A maximum of 25% of building face along public streets may be excepted.

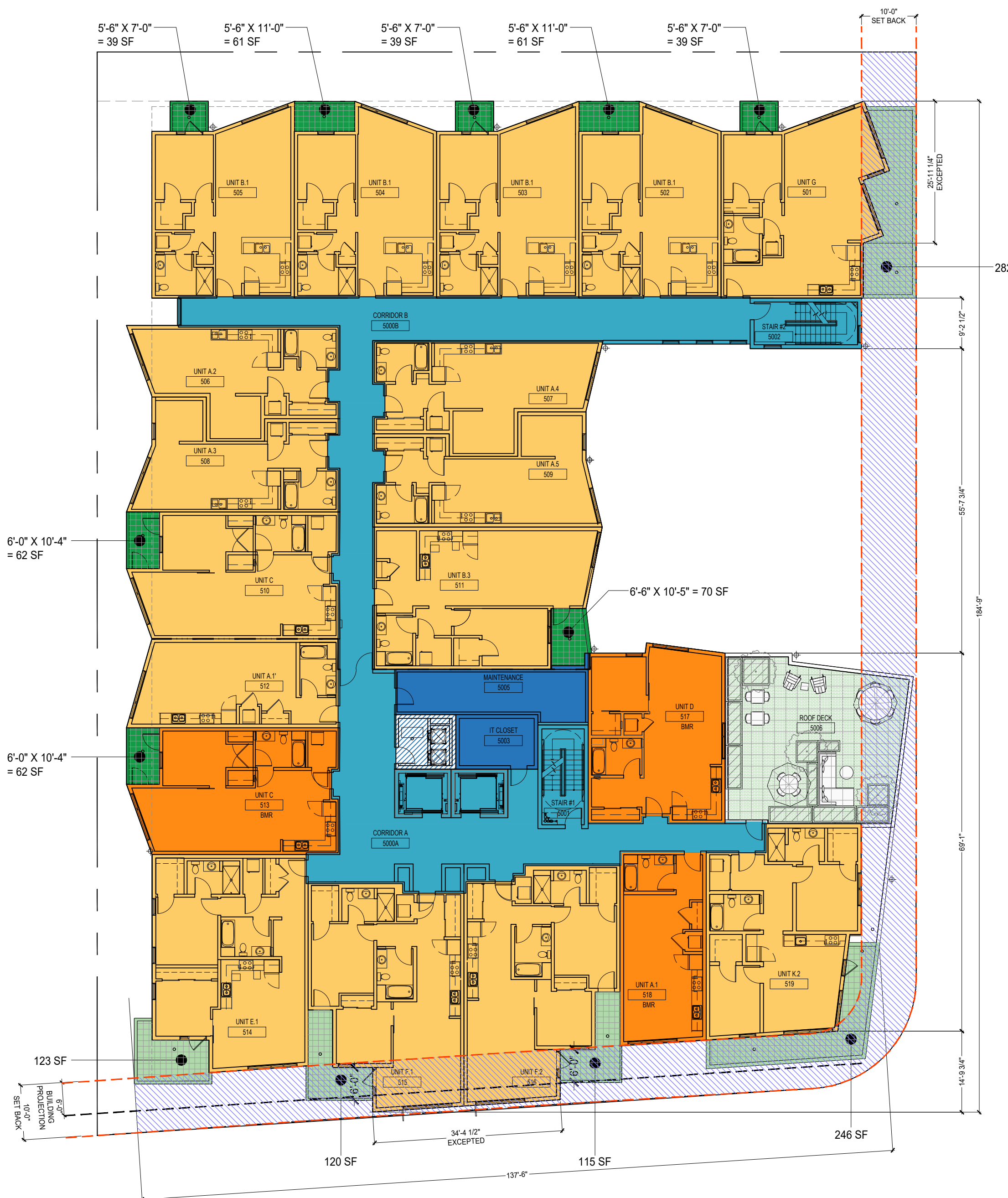
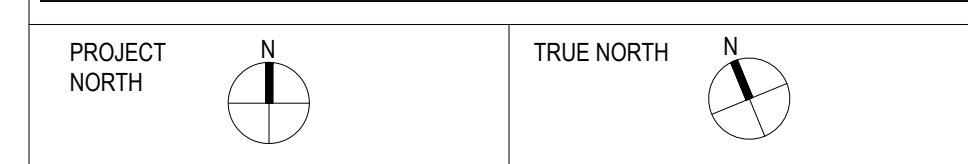
STEPPED BACK PORTION OF BUILDING

| Floor | Unit Type | Unit Type | Unit # | Units/Floor | BOMA Unit Net Sq. Ft. | BOMA Total Net Sq. Ft. |
|-------------------------|--------------|-----------|-------------------|-------------|-------------------------------|-------------------------------|
| Floor 2 | Studio | A.1 | 202 | 1 | 525 | 525 |
| | Studio | A.1' | 203 | 1 | 596 | 596 |
| | Studio | A.7 | 205 | 1 | 508 | 508 |
| | 2 Bed / 1 Ba | A.8 | 206 | 1 | 582 | 582 |
| | 2 Bed / 1 Ba | A.6 | 204 | 1 | 815 | 815 |
| | 1 Bedroom | B.4 | 201 | 1 | 750 | 750 |
| Per Floor | | | 6 | | 3,776 | |
| Floor 3 | Studio | A.1 | 315 | 1 | 525 | 525 |
| | Studio | A.1' | 309 | 1 | 570 | 570 |
| | Studio | A.2 | 306 | 1 | 581 | 581 |
| | Studio | A.3 | 307 | 1 | 569 | 569 |
| | 1 Bedroom | B.1 | 302-5 | 4 | 802 | 3,208 |
| | 1 Bedroom | C | 308, 310 | 2 | 769 | 1,538 |
| | 1 Bed + Den | D | 314 | 1 | 752 | 752 |
| | 2 Bed / 1 Ba | H | 316 | 1 | 916 | 916 |
| | 2 Bed / 2 Ba | E.1 | 311 | 1 | 1,008 | 1,008 |
| | 2 Bed / 2 Ba | F.1 | 312 | 1 | 957 | 957 |
| | 2 Bed / 2 Ba | F.2 | 313 | 1 | 1,001 | 1,001 |
| | 2 Bed / 2 Ba | J | 301 | 1 | 1,144 | 1,144 |
| | 2 Bed / 2 Ba | K.1 | 317 | 1 | 1,177 | 1,177 |
| Per Floor | | | 17 | | 13,946 | |
| Floor 4 | Studio | A.1 | 418 | 1 | 525 | 525 |
| | Studio | A.1' | 412 | 1 | 570 | 570 |
| | Studio | A.2 | 406 | 1 | 581 | 581 |
| | Studio | A.4 | 407 | 1 | 654 | 654 |
| | Studio | A.3 | 408 | 1 | 569 | 569 |
| | Studio | A.5' | 409 | 1 | 625 | 625 |
| | 1 Bedroom | B.1 | 402-5 | 4 | 802 | 3,208 |
| | 1 Bedroom | C | 410, 413 | 2 | 769 | 1,538 |
| | 1 Bed + Den | B.2 | 411 | 1 | 906 | 906 |
| | 1 Bed + Den | D | 417 | 1 | 752 | 752 |
| | 2 Bed / 1 Ba | H | 419 | 1 | 901 | 901 |
| | 2 Bed / 2 Ba | E.1 | 414 | 1 | 1,008 | 1,008 |
| | 2 Bed / 2 Ba | F.1 | 415 | 1 | 957 | 957 |
| 2 Bed / 2 Ba | F.2 | 416 | 1 | 1,001 | 1,001 | |
| 2 Bed / 2 Ba | J | 401 | 1 | 1,144 | 1,144 | |
| 2 Bed / 2 Ba | K.1 | 420 | 1 | 1,177 | 1,177 | |
| Per Floor | | | 20 | | 16,116 | |
| Floors 5-7 | Studio | A.1 | X18 | 1 | 525 | 525 |
| | Studio | A.1' | X12 | 1 | 570 | 570 |
| | Studio | A.2 | X06 | 1 | 581 | 581 |
| | Studio | A.3 | X07 | 1 | 596 | 596 |
| | Studio | A.4 | X08 | 1 | 654 | 654 |
| | Studio | A.5 | X09 | 1 | 642 | 642 |
| | 1 Bedroom | B.1 | X02-5 | 4 | 802 | 3,208 |
| | 1 Bedroom | C | X10, 13 | 2 | 769 | 1,538 |
| | 1 Bedroom | G | X01 | 1 | 843 | 843 |
| | 1 Bed + Den | B.3 | X11 | 1 | 927 | 927 |
| | 1 Bed + Den | D | X17 | 1 | 752 | 752 |
| | 2 Bed / 2 Ba | E.1 | X14 | 1 | 1,008 | 1,008 |
| | 2 Bed / 2 Ba | F.1 | X15 | 1 | 957 | 957 |
| 2 Bed / 2 Ba | F.2 | X16 | 1 | 1,001 | 1,001 | |
| 2 Bed / 2 Ba | K.2 | X19 | 1 | 918 | 918 | |
| Per Floor | | | 19 | | 14,720 | |
| Floor 8 | Studio | A.1' | 808 | 1 | 570 | 570 |
| | Studio | A.2 | 803 | 1 | 581 | 581 |
| | Studio | A.3 | 805 | 1 | 569 | 569 |
| | Studio | A.4' | 804 | 1 | 686 | 686 |
| | 1 Bedroom | B.1 | 801 | 1 | 802 | 802 |
| | 1 Bedroom | F.3 | 811 | 1 | 820 | 820 |
| 1 Bedroom | F.4 | 812 | 1 | 833 | 833 | |
| 1 Bedroom | C | 806, 809 | 2 | 769 | 1,538 | |
| 1 Bed + Den | E.2 | 810 | 1 | 870 | 870 | |
| 2 Bed / 2 Ba | M | 807 | 1 | 1,104 | 1,104 | |
| 3 Bed / 2.5 Ba | L | 802 | 1 | 1,583 | 1,583 | |
| Per Floor | | | 12 | | 9,966 | |
| Building Summary | | | # of Units | | BOMA Total Net Sq. Ft. | BOMA Total Net Sq. Ft. |
| | | | 112 | | 87,954 | 87,954 |

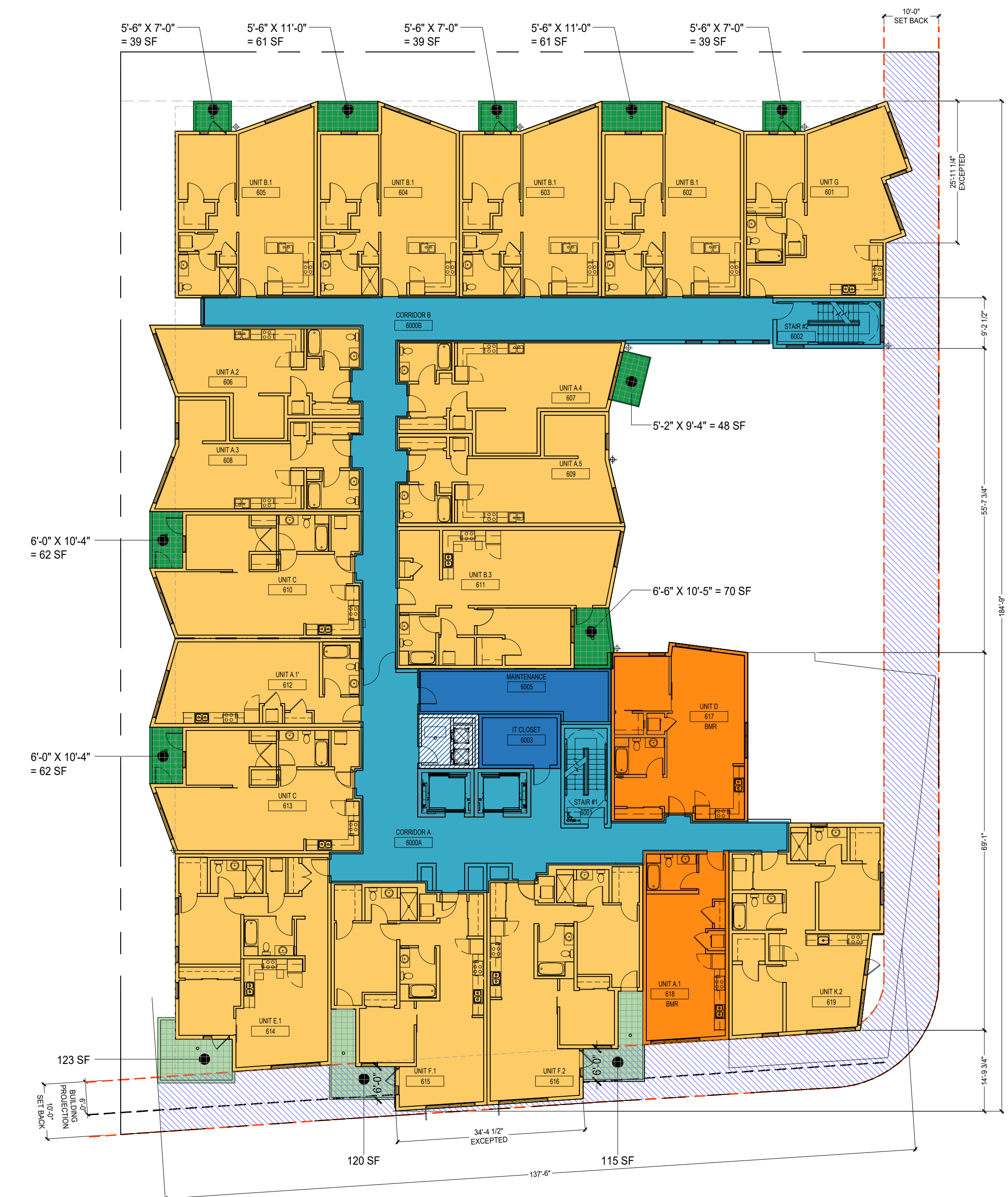
| Floor | GSF (outside face of walls & ext. to ext. walls) (SF) | GFA (excl. non-FAR areas) (SF) |
|--------------|---|--------------------------------|
| 1 | 23,729 | 3,069 |
| 2 | 23,828 | 5,702 |
| 3 | 20,210 | 20,101 |
| 4 | 20,218 | 20,109 |
| 5 | 18,730 | 18,621 |
| 6 | 18,730 | 18,621 |
| 7 | 18,730 | 18,621 |
| 8 | 13,057 | 12,937 |
| Total | 157,232 | 117,781 |

Site Area **28,808**
FAR **409%**

| Unit | Unit Type | Unit # | SF | FLOOR | BMR Cat. |
|---------------|-----------|-----------|--------------|-------|----------|
| Studio | A.1 | 202 | 525 | 2 | Moderate |
| Studio | A.1 | 315 | 525 | 3 | Very Low |
| Studio | A.1' | 412 | 570 | 4 | Very Low |
| Studio | A.1 | 518 | 525 | 5 | Moderate |
| Studio | A.1 | 618 | 525 | 6 | Very Low |
| 2-Bed / 1 Ba | A.6 | 204 | 815 | 2 | Very Low |
| 1 Bedroom | B.4 | 201 | 750 | 2 | Very Low |
| 1 Bedroom | C | 513 | 769 | 5 | Very Low |
| 1 Bed + Den | D | 314 | 752 | 3 | Very Low |
| 1 Bed + Den | D | 417 | 752 | 4 | Very Low |
| 1 Bed + Den | D | 517 | 752 | 5 | Very Low |
| 1 Bed + Den | D | 617 | 752 | 6 | Moderate |
| 2 Bed / 2 Ba | F.1 | 312 | 957 | 3 | Very Low |
| 2 Bed / 2 Ba | F.2 | 416 | 1,001 | 4 | Moderate |
| Total: | | 14 | 9,970 | | |



1 BUILDING AREA: FIFTH FLOOR
1/16" = 1'-0"



2 BUILDING AREA: SIXTH FLOOR
1/16" = 1'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA
PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|-----|------------|------------------------|
| | 09-22-2023 | PLANNING & SB330 REV 3 |
| | 03-20-2024 | PLANNING & SB330 REV 4 |
| | 06-13-2024 | PLANNING & SB330 REV 5 |
| | 07-26-2024 | PLANNING & SB330 REV 6 |
| | 01-16-2025 | PLANNING & SB330 REV 7 |

CONTACT: TOBY LEVY

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(415) 777-5117 F

SCALE: AS NOTED

**BUILDING AREA
CALCULATIONS
PLANNING**

G0.05D

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| Gross Floor Area Per Menlo Park Code 16.04.325 (outside face of exterior walls, centerline at interior walls) | | | | | | | | | | | | | |
|---|----------------------|---------------------------|-----------------|----------------------------|-----------------------|---------------|-------------------|-------------------|----------------|----------------|------------------------------|-----------------------|------------------------|
| Floor | Included in FAR | | | | | | | | | | Not included in FAR | | |
| | BMR Unit Resid. Unit | Common Area / Circulation | Lobby / Amenity | BOH/ Utilities Maint. / IT | Utilities (Excluded)* | Trash/ Shafts | Parking (Bicycle) | Parking (Vehicle) | Outdoor Common | Deck - Private | Deck - Private Non-Compliant | BOMA Unit Net Sq. Ft. | BOMA Total Net Sq. Ft. |
| 1 | - | 621 | 2,153 | 295 | 1,061 | 487 | 1,546 | 17,566 | 4,670 | - | - | 525 | 525 |
| 2 | 4,046 | 1,535 | - | 121 | 386 | 80 | - | 17,660 | - | - | - | 596 | 596 |
| 3 | 14,527 | 3,026 | 2,457 | 91 | - | 109 | - | - | 3,200 | 390 | 582 | 582 | 582 |
| 4 | 16,766 | 2,883 | - | 460 | - | 109 | - | - | - | 358 | 815 | 815 | 815 |
| 5 | 15,278 | 2,883 | - | 460 | - | 109 | - | - | 899 | 886 | 750 | 750 | 750 |
| 6 | 15,278 | 2,883 | - | 460 | - | 109 | - | - | - | 358 | 484 | 484 | 484 |
| 7 | 15,278 | 2,883 | - | 460 | - | 109 | - | - | - | 358 | 473 | 473 | 473 |
| 8 | 10,391 | 2,169 | - | 377 | - | 120 | - | - | 1,995 | 578 | 260 | 260 | 260 |
| Roof | - | - | - | - | - | - | - | - | - | - | - | - | - |
| Total | 91,564 | 18,883 | 4,610 | 2,724 | 1,447 | 1,232 | 1,546 | 35,226 | 10,764 | 2,928 | 2,713 | 648 SF | 1,945 SF |

*1% of 225% FAR = 28,808*2.25 = 64,818 * 1% = 648 SF
*3% of 225% FAR = 28,808*2.25 = 64,818 * 3% = 1,945 SF

MINIMUM SETBACK - The horizontal distance a building's upper stories must be set back above the base height. 10 feet for a minimum of 75% of the building face along public streets. A maximum of 25% of building face along public streets may be excepted.

STEPPED BACK PORTION OF BUILDING

| Floor | Unit Type | Unit # | Units/Floor | BOMA Unit Net Sq. Ft. | BOMA Total Net Sq. Ft. |
|------------------|--------------|--------|-------------|-----------------------|------------------------|
| Floor 2 | Studio | A.1 | 202 | 525 | 525 |
| | Studio | A.1' | 203 | 596 | 596 |
| | Studio | A.7 | 205 | 508 | 508 |
| | Studio | A.8 | 206 | 582 | 582 |
| | 2 Bed / 1 Ba | A.6 | 204 | 815 | 815 |
| | 1 Bedroom | B.4 | 201 | 750 | 750 |
| Per Floor | | | 6 | 3,776 | |

| Floor | Unit Type | Unit # | Units/Floor | BOMA Unit Net Sq. Ft. | BOMA Total Net Sq. Ft. | |
|------------------|--------------|--------|-------------|-----------------------|------------------------|-------|
| Floor 3 | Studio | A.1 | 315 | 525 | 525 | |
| | Studio | A.1' | 309 | 570 | 570 | |
| | Studio | A.2 | 306 | 581 | 581 | |
| | Studio | A.3 | 307 | 569 | 569 | |
| | 1 Bedroom | B.1 | 302-5 | 4 | 802 | 3,208 |
| | 1 Bedroom | C | 308, 310 | 2 | 769 | 1,538 |
| | 1 Bedroom | D | 314 | 1 | 752 | 752 |
| | 2 Bed / 1 Ba | H | 316 | 1 | 916 | 916 |
| | 2 Bed / 2 Ba | E.1 | 311 | 1 | 1,008 | 1,008 |
| | 2 Bed / 2 Ba | F.1 | 312 | 1 | 957 | 957 |
| | 2 Bed / 2 Ba | F.2 | 313 | 1 | 1,001 | 1,001 |
| | 2 Bed / 2 Ba | J | 301 | 1 | 1,144 | 1,144 |
| 2 Bed / 2 Ba | K.1 | 317 | 1 | 1,177 | 1,177 | |
| Per Floor | | | 17 | 13,946 | | |

| Floor | Unit Type | Unit # | Units/Floor | BOMA Unit Net Sq. Ft. | BOMA Total Net Sq. Ft. | |
|------------------|--------------|--------|-------------|-----------------------|------------------------|-------|
| Floor 4 | Studio | A.1 | 418 | 525 | 525 | |
| | Studio | A.1' | 412 | 570 | 570 | |
| | Studio | A.2 | 406 | 581 | 581 | |
| | Studio | A.4 | 407 | 654 | 654 | |
| | Studio | A.3 | 408 | 569 | 569 | |
| | Studio | A.5' | 409 | 625 | 625 | |
| | 1 Bedroom | B.1 | 402-5 | 4 | 802 | 3,208 |
| | 1 Bedroom | C | 410, 413 | 2 | 769 | 1,538 |
| | 1 Bedroom | B.2 | 411 | 1 | 906 | 906 |
| | 1 Bedroom | D | 417 | 1 | 752 | 752 |
| | 2 Bed / 1 Ba | H | 419 | 1 | 901 | 901 |
| | 2 Bed / 2 Ba | E.1 | 414 | 1 | 1,008 | 1,008 |
| | 2 Bed / 2 Ba | F.1 | 415 | 1 | 957 | 957 |
| | 2 Bed / 2 Ba | F.2 | 416 | 1 | 1,001 | 1,001 |
| 2 Bed / 2 Ba | J | 401 | 1 | 1,144 | 1,144 | |
| 2 Bed / 2 Ba | K.1 | 420 | 1 | 1,177 | 1,177 | |
| Per Floor | | | 20 | 16,116 | | |

| Floors | Unit Type | Unit # | Units/Floor | BOMA Unit Net Sq. Ft. | BOMA Total Net Sq. Ft. | |
|------------------|--------------|--------|-------------|-----------------------|------------------------|-------|
| Floors 5-7 | Studio | A.1 | X18 | 525 | 525 | |
| | Studio | A.1' | X12 | 570 | 570 | |
| | Studio | A.2 | X06 | 581 | 581 | |
| | Studio | A.3 | X07 | 569 | 569 | |
| | Studio | A.4 | X08 | 654 | 654 | |
| | Studio | A.5 | X09 | 642 | 642 | |
| | 1 Bedroom | B.1 | X02-5 | 4 | 802 | 3,208 |
| | 1 Bedroom | C | X10, 13 | 2 | 769 | 1,538 |
| | 1 Bedroom | G | X01 | 1 | 843 | 843 |
| | 1 Bedroom | B.3 | X11 | 1 | 927 | 927 |
| | 1 Bedroom | D | X17 | 1 | 752 | 752 |
| | 2 Bed / 2 Ba | E.1 | X14 | 1 | 1,008 | 1,008 |
| | 2 Bed / 2 Ba | F.1 | X15 | 1 | 957 | 957 |
| | 2 Bed / 2 Ba | F.2 | X16 | 1 | 1,001 | 1,001 |
| 2 Bed / 2 Ba | K.2 | X19 | 1 | 918 | 918 | |
| Per Floor | | | 19 | 14,720 | | |

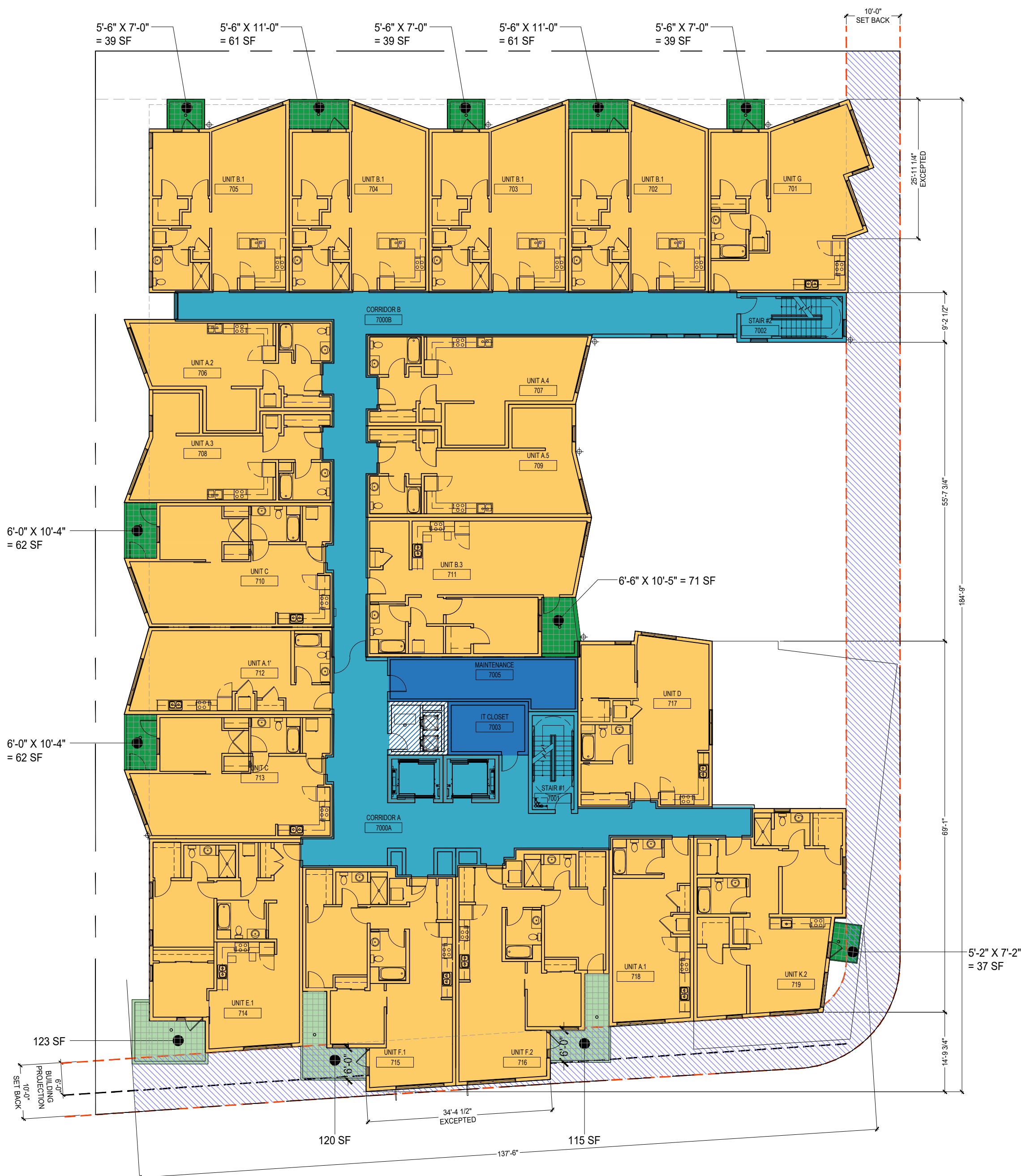
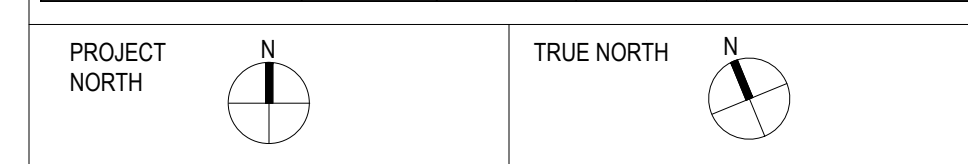
| Building Summary | # of Units | BOMA Total Net Sq. Ft. |
|------------------|------------|------------------------|
| | 112 | 87,954 |

| Floor | Unit Type | Unit # | Units/Floor | BOMA Unit Net Sq. Ft. | BOMA Total Net Sq. Ft. | |
|---------|------------------|--------|-------------|-----------------------|------------------------|-------|
| Floor 8 | Studio | A.1' | 808 | 570 | 570 | |
| | Studio | A.2 | 803 | 581 | 581 | |
| | Studio | A.3 | 805 | 569 | 569 | |
| | Studio | A.4' | 804 | 686 | 686 | |
| | 1 Bedroom | B.1 | 801 | 802 | 802 | |
| | 1 Bedroom | F.3 | 811 | 820 | 820 | |
| | 1 Bedroom | F.4 | 812 | 833 | 833 | |
| | 1 Bedroom | C | 806, 809 | 2 | 769 | 1,538 |
| | 1 Bedroom | E.2 | 810 | 1 | 870 | 870 |
| | 2 Bed / 2 Ba | M | 807 | 1 | 1,104 | 1,104 |
| | 3 Bed / 2.5 Ba | L | 802 | 1 | 1,583 | 1,583 |
| | Per Floor | | | 12 | 9,956 | |

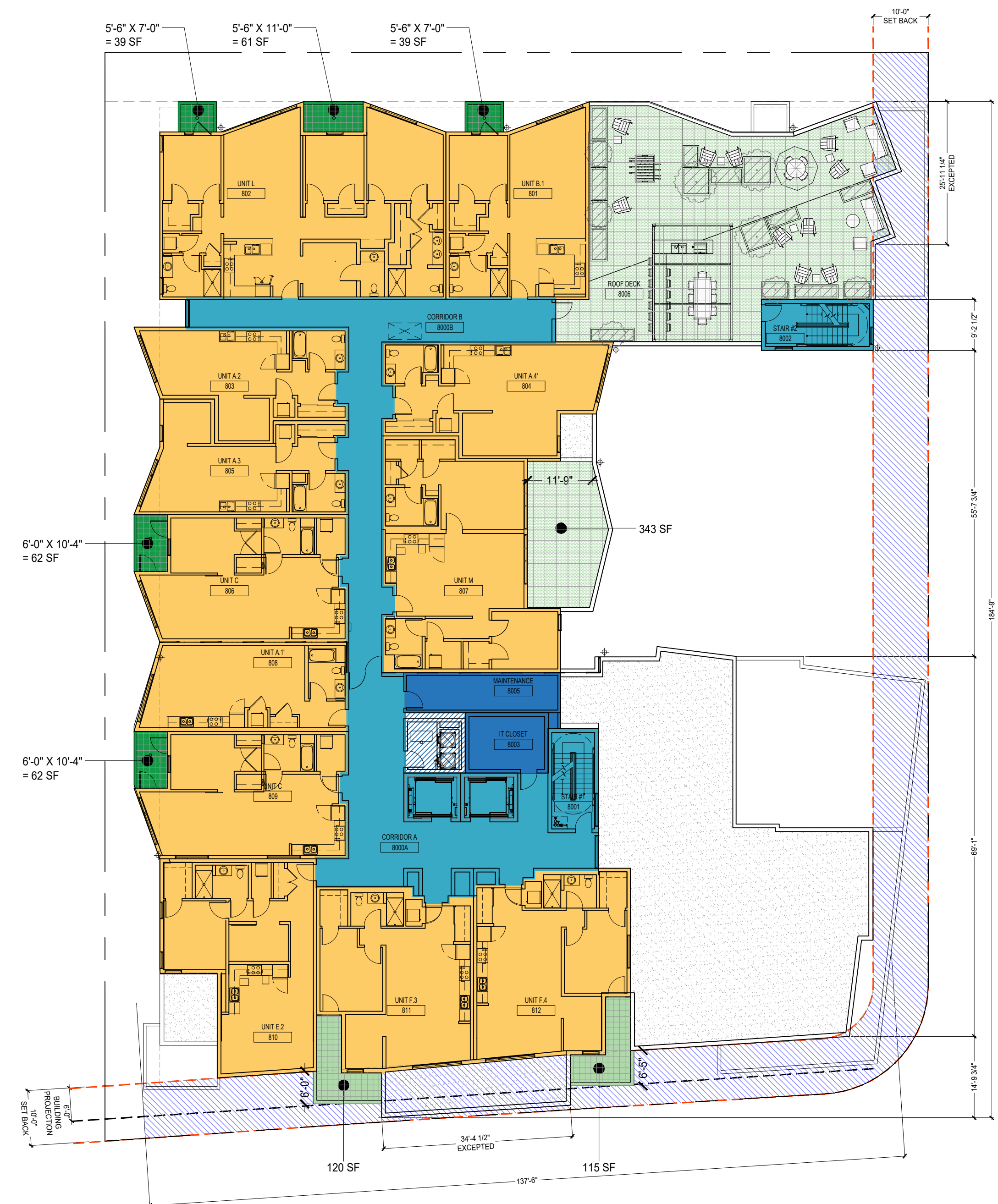
| Gross Floor Area | | |
|------------------|---|--------------------------------|
| Floor | GSF (outside face of walls & ext. to ext. walls) (SF) | GFA (excl. non-FAR areas) (SF) |
| 1 | 23,729 | 3,069 |
| 2 | 23,828 | 5,702 |
| 3 | 20,210 | 20,101 |
| 4 | 20,218 | 20,109 |
| 5 | 18,730 | 18,621 |
| 6 | 18,730 | 18,621 |
| 7 | 18,730 | 18,621 |
| 8 | 13,057 | 12,937 |
| Total | 157,232 | 117,781 |

| | |
|------------------|---------------|
| Site Area | 28,808 |
| FAR | 409% |

| Below market rate units, dispersed throughout building | Unit Type | Unit # | SF | FLOOR | BMR Cat. |
|--|-----------|-----------|--------------|-------|----------|
| Studio | A.1 | 202 | 525 | 2 | Very Low |
| Studio | A.1 | 315 | 525 | 3 | Very Low |
| Studio | A.1 | 418 | 525 | 4 | Very Low |
| Studio | A.1 | 518 | 525 | 5 | Moderate |
| Studio | A.1 | 618 | 525 | 6 | Moderate |
| 1 Bedroom | B.4 | 201 | 750 | 2 | Very Low |
| 1 Bedroom | C | 513 | 769 | 5 | Very Low |
| 1 Bedroom | D | 314 | 752 | 3 | Very Low |
| 1 Bedroom | D | 417 | 752 | 4 | Very Low |
| 1 Bedroom | D | 517 | 752 | 5 | Very Low |
| 1 Bedroom | D | 617 | 752 | 6 | Moderate |
| 2-Bed / 1 Ba | A.6 | 204 | 815 | 2 | Very Low |
| 2 Bed / 2 Ba | F.1 | 312 | 957 | 3 | Very Low |
| 2 Bed / 2 Ba | F.2 | 313 | 1,001 | 4 | Moderate |
| Total: | | 14 | 9,925 | | |



1 BUILDING AREA: SEVENTH FLOOR
1/16" = 1'-0"



2 BUILDING AREA: EIGHTH FLOOR
1/16" = 1'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA
PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|-----|------------|------------------------|
| | 09-22-2023 | PLANNING & SB330 REV 3 |
| | 03-20-2024 | PLANNING & SB330 REV 4 |
| | 06-13-2024 | PLANNING & SB330 REV 5 |
| | 07-26-2024 | PLANNING & SB330 REV 6 |
| | 01-16-2025 | PLANNING & SB330 REV 7 |

CONTACT: TOBY LEVY

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SCALE: AS NOTED

**BUILDING AREA
CALCULATIONS
PLANNING**

G0.05E

| GROUND FLOOR | | | | | | |
|---|-----------------|----------------------|--------|-----------------------------|-------------|----------------|
| OCCUPANT LOAD | | | | | | |
| Building 01 | | | | | | |
| Zone | Room ID | Room Name | Area | Function | Load Factor | # of Occupants |
| A1.1 | 1000-1001, 1004 | Lobby/Mail/Stair | 1,356 | Residential | 200 | 7 |
| A1.2 | 1003 | Trash Rm. | 488 | Accessory Storage/Equipment | 300 | 2 |
| A1.3 | 1005 | Resident Amenity | 452 | Unconcentrated Assembly | 15 | 31 |
| A1.4 | 1007 | Bike Room | 1,554 | Accessory Storage/Equipment | 300 | 6 |
| A1.5 | 1005A-B, 1008 | Office/Restroom | 573 | Business Areas | 100 | 6 |
| A1.6 | 1009 | Utility | 296 | Accessory Storage/Equipment | 300 | 1 |
| A1.7 | 1010 | Utility | 295 | Accessory Storage/Equipment | 300 | 1 |
| A1.8 | 1011, 1013 | Utility & Fire Ctrl. | 479 | Accessory Storage/Equipment | 300 | 2 |
| A1.9 | 1012 | Utility | 320 | Accessory Storage/Equipment | 300 | 2 |
| A1.10 | 1002, G-1000 | Garage | 16,715 | Accessory Storage/Equipment | 300 | 56 |
| Total Occupant Load for Building 01 | | | | | | 114 |
| EXITING CALCULATIONS | | | | | | |
| Building 01 | | | | | | |
| Occupant Load | | | | | | 114 |
| Exits Required | | | | | | 2 |
| Exits Provided | | | | | | 2 |
| Egress Width Required (inch) | | | | | | 17.10 |
| Corridor Width Required | | | | | | 36" |
| Corridor Width Provided | | | | | | 36" |
| Min Door Clr. Width Required | | | | | | 32" |
| Min Door Clr. Width Provided | | | | | | 32" |
| Stair Width Required (inch) | | | | | | 44" |
| Stair Width Provided | | | | | | 44" |
| Max. Building Diagonal | | | | | | 210'-10" |
| Required Dist. Between Exits | | | | | | 70'-4" |
| Provided Dist. Between Exits | | | | | | 132'-4" |
| Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2) | | | | | | 125'-0" |
| Max. Provided Common Path of Egress Travel | | | | | | N/A |
| Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2) | | | | | | 250'-0" |
| Provided Travel Distance | | | | | | 207'-5" |

| SECOND FLOOR | | | | | | |
|---|----------------------|------------------------|--------|-----------------------------|-------------|----------------|
| OCCUPANT LOAD | | | | | | |
| Building 01 | | | | | | |
| Zone | Room ID | Room Name | Area | Function | Load Factor | # of Occupants |
| A2.1 | 204 | Residential Units, Etc | 3,913 | Residential | 200 | 20 |
| A2.2 | 2000B, 2006, 205-206 | Residential Units, Etc | 1,642 | Residential | 200 | 9 |
| A2.3 | 2008 | Pool Equipment | 90 | Accessory Storage/Equipment | 300 | 1 |
| A2.4 | 2009 | Utilities | 326 | Accessory Storage/Equipment | 300 | 2 |
| A2.5 | | Trash | 81 | Accessory Storage/Equipment | 300 | 1 |
| A2.6 | G-2000 | Garage | 17,848 | Accessory Storage/Equipment | 300 | 60 |
| Total Occupant Load for Building 01 | | | | | | 93 |
| EXITING CALCULATIONS | | | | | | |
| Building 01 | | | | | | |
| Occupant Load | | | | | | 93 |
| Exits Required | | | | | | 2 |
| Exits Provided | | | | | | 3 |
| Egress Width Required (inch) | | | | | | 13.95 |
| Corridor Width Required | | | | | | 36" |
| Corridor Width Provided | | | | | | 38" |
| Min Door Clr. Width Required | | | | | | 32" |
| Min Door Clr. Width Provided | | | | | | 32" |
| Stair Width Required (inch) | | | | | | 44" |
| Stair Width Provided | | | | | | 44" |
| Max. Building Diagonal | | | | | | 211'-7" |
| Required Dist. Between Exits | | | | | | 70'-7" |
| Provided Dist. Between Exits | | | | | | 105'-0" |
| Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2) | | | | | | 125'-0" |
| Max. Provided Common Path of Egress Travel | | | | | | N/A |
| Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2) | | | | | | 250'-0" |
| Provided Travel Distance | | | | | | 161'-0" |

HORIZONTAL EXIT DESCRIPTION AND CALCULATION

HORIZONTAL EXITS: HORIZONTAL EXIT IS BEING USED AS AN ACCESSIBLE MEANS OF EGRESS FOR PERSONS WITH DISABILITIES IN LIEU OF PROVIDING AN ELEVATOR AS PERMITTED BY 2022 CBC 1009.2.1 EXCEPTION #1

- THE ARRANGEMENT OF EACH HORIZONTAL EXIT PROVIDES EXIT ENCLOSURES ON EACH SIDE OF THE HORIZONTAL EXIT THAT ARE CAPABLE OF ACCOMMODATING THE TOTAL OCCUPANT LOAD OF EACH FLOOR
 - THE HORIZONTAL EXIT WILL BE REQUIRED EXCLUSIVELY FOR DISABLED OCCUPANTS
 - EACH SIDE OF THE HORIZONTAL EXIT CONTAINS SPACE FOR MULTIPLE WHEEL CHAIR USERS WITH A CLEAR AREA OF 30"x42" ADJACENT TO THE 2-WAY EMERGENCY COMMUNICATION DEVICE.
- CALCULATIONS:
- FOR OCCUPANT LOAD PER FLOOR SEE MATRICES
 - FOR REQUIRED AND PROVIDED STAIR WIDTH SEE MATRICES FOR EACH FLOOR

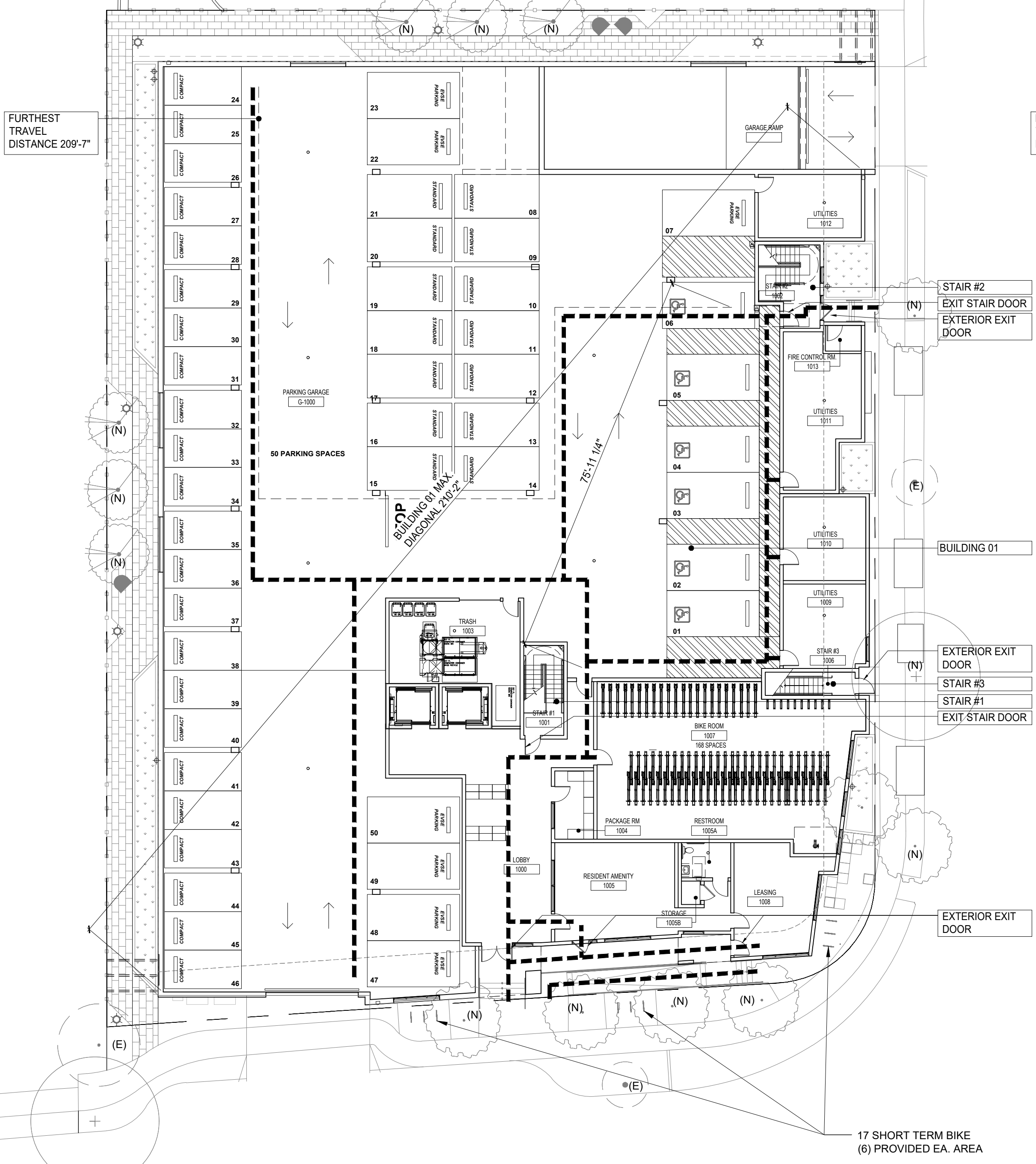
HORIZONTAL EXIT STANDPIPE

PER 2022 CBC 905.4 EXCEPTION #2 WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM AN INTERIOR EXIT STAIR HOSE CONNECTION BY A 30-FOOT HOSE STREAM FROM A NOZZLE ATTACHED TO 100 FEET OF HOSE AS MEASURED ALONG THE PATH OF TRAVEL, A HOSE CONNECTION SHALL NOT BE REQUIRED AT THE HORIZONTAL EXIT.

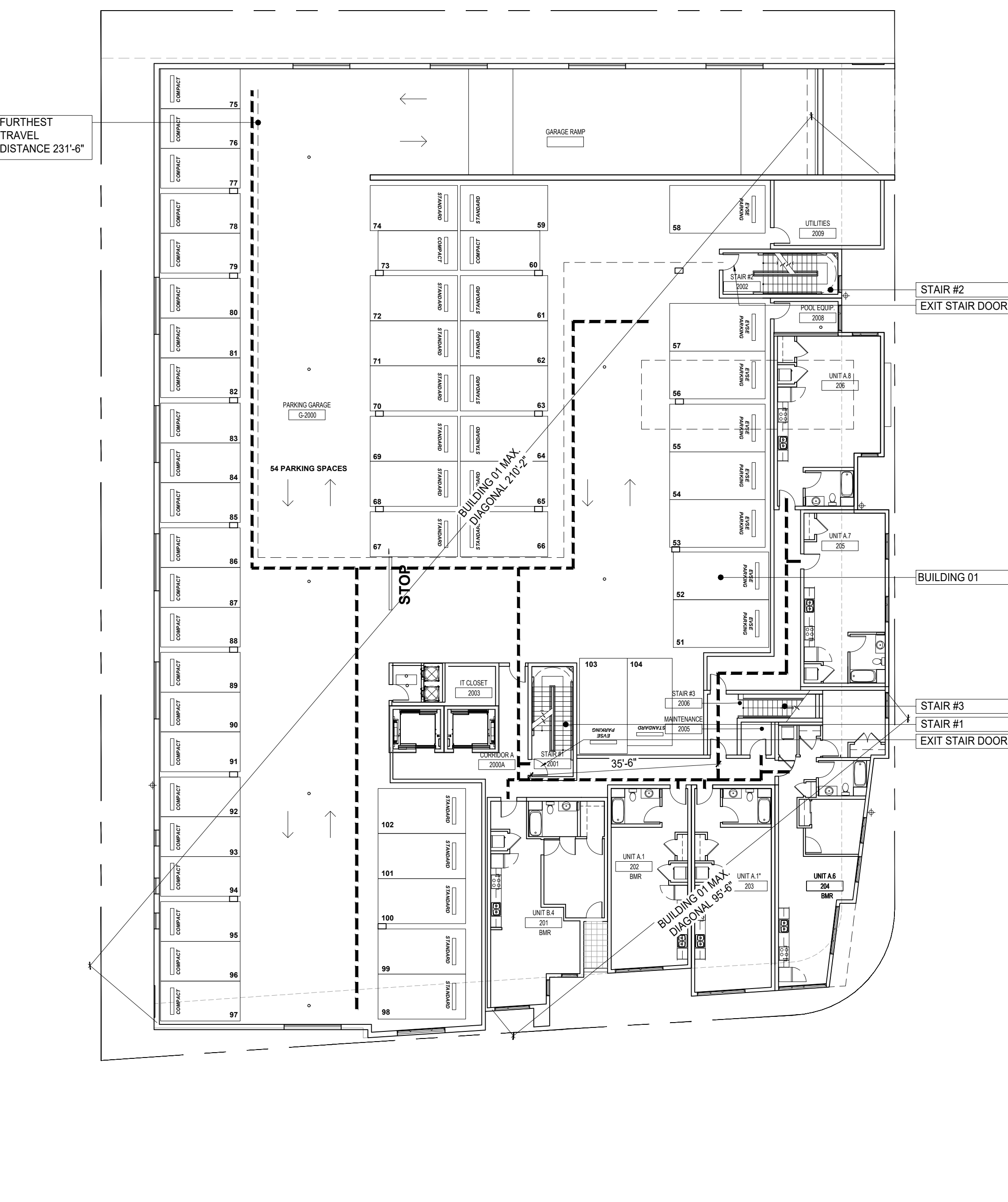
PROPOSED PROJECT MEETS THAT EXCEPTION.

LEGEND

- TRAVEL DISTANCE BY BUILDING
- EGRESS PATH
- FIRE WALL / HORIZONTAL EXIT
- CORRIDOR BUILDING 02
- CORRIDOR BUILDING 03



1 EGRESS PLAN: GROUND FLOOR
1/16" = 1'-0"



2 EGRESS PLAN: SECOND FLOOR
1/16" = 1'-0"



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**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|-----|------------|------------------------|
| | 04-14-2023 | PLANNING & SB330 REV 2 |
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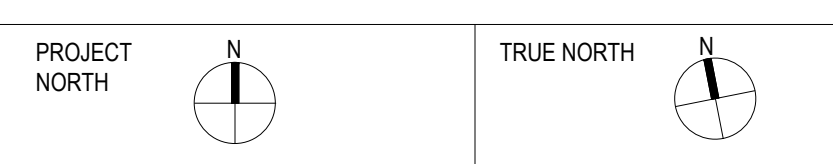
CONTACT: TOBY LEVY

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(415) 777-5117 F

SCALE: AS NOTED

EGRESS PLANS

G0.06A



| THIRD FLOOR OCCUPANT LOAD | | | | | | |
|---|---------------------------|------------------------|---------|-------------------------|-------------|----------------|
| Building 01 | | | | | | |
| Zone | Room ID | Room Name | Area | Function | Load Factor | # of Occupants |
| A3.1 | 3000A, 3001-3003, 301-317 | Residential Units, Etc | 18,576 | Residential | 200 | 93 |
| A3.2 | 3005 | Business Center | 567 | Business Area | 150 | 4 |
| A3.3 | 3006/A, 3007A | Gym & Restrooms | 854 | Exercise Room | 50 | 18 |
| A3.4 | 3007/A | Pool Clubhouse | 906 | Unconcentrated Assembly | 15 | 61 |
| A3.5 | 3008 | Court | 2,049 | Unconcentrated Assembly | 15 | 137 |
| A3.6 | 3008 | Pool | 480 | Pool | 50 | 10 |
| Total Occupant Load for Building 01 | | | | | | 323 |
| EXITING CALCULATIONS | | | | | | |
| Building 01 | | | | | | |
| Occupant Load | | | 323 | | | |
| Exits Required | | | 2 | | | |
| Exits Provided | | | 2 | | | |
| Egress Width Required (inch) | | | 48.45 | | | |
| Corridor Width Required | | | 44" | | | |
| Corridor Width Provided | | | 48" | | | |
| Min Door Clr. Width Required | | | 32" | | | |
| Min Door Clr. Width Provided | | | 32" | | | |
| Stair Width Required (inch) | | | 44" | | | |
| Stair Width Provided | | | 44" | | | |
| Max. Building Diagonal | | | 227'-9" | | | |
| Required Dist. Between Exits | | | 75'-11" | | | |
| Provided Dist. Between Exits | | | 192'-4" | | | |
| Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2) | | | 125'-0" | | | |
| Max. Provided Common Path of Egress Travel | | | 86'-9" | | | |
| Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2) | | | 250'-0" | | | |
| Provided Travel Distance | | | 133'-4" | | | |

| FOURTH FLOOR OCCUPANT LOAD | | | | | | |
|--|----------------------------|------------------------|----------|---|-------------|----------------|
| Building 02 | | | | | | |
| Zone | Room ID | Room Name | Area | Function | Load Factor | # of Occupants |
| B4.1 | 4000B, 401-411 | Residential Units, Etc | 10,540 | Residential | 200 | 53 |
| Total Occupant Load for Building 02 | | | | | | 53 |
| Building 03 | | | | | | |
| Zone | Room ID | Room Name | Area | Function | Load Factor | # of Occupants |
| C4.1 | 4000A, 4003, 4005, 412-420 | Residential Units, Etc | 10,611 | Residential | 200 | 54 |
| Total Occupant Load for Building 03 | | | | | | 54 |
| Total Horizontal Exit Refuge Area Occupant Load for Buildings 02+03 | | | | | | 107 |
| EXITING CALCULATIONS | | | | | | |
| Building 02 | | | | Building 03 | | |
| Occupant Load | | | 53 | Occupant Load | | 54 |
| Exits Required | | | 2 | Exits Required | | 2 |
| Exits Provided | | | 2 | Exits Provided | | 2 |
| Egress Width Required (inch) | | | 7.95 | Egress Width Required (inch) | | 8.10 |
| Corridor Width Required | | | 44" | Corridor Width Required | | 44" |
| Corridor Width Provided | | | 48" | Corridor Width Provided | | 48" |
| Min Door Clr. Width Required | | | 32" | Min Door Clr. Width Required | | 32" |
| Min Door Clr. Width Provided | | | 32" | Min Door Clr. Width Provided | | 32" |
| Stair Width Required (inch) | | | 44" | Stair Width Required (inch) | | 44" |
| Stair Width Provided | | | 44" | Stair Width Provided | | 44" |
| Max. Building Diagonal | | | 168'-0" | Max. Building Diagonal | | 159'-3" |
| Required Dist. Between Exits | | | 56'-0" | Required Dist. Between Exits | | 53'-1" |
| Provided Dist. Between Exits | | | 129'-10" | Provided Dist. Between Exits | | 62'-2" |
| Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2) | | | 125'-0" | Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2) | | 125'-0" |
| Max. Provided Common Path of Egress Travel | | | 61'-5" | Max. Provided Common Path of Egress Travel | | 86'-9" |
| Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2) | | | 250'-0" | Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2) | | 250'-0" |
| Provided Travel Distance | | | 126'-4" | Provided Travel Distance | | 102'-4" |

HORIZONTAL EXIT DESCRIPTION AND CALCULATION

HORIZONTAL EXITS: HORIZONTAL EXIT IS BEING USED AS AN ACCESSIBLE MEANS OF EGRESS FOR PERSONS WITH DISABILITIES IN LIEU OF PROVIDING AN ELEVATOR AS PERMITTED BY 2022 CBC 1009.2.1 EXCEPTION #1

- THE ARRANGEMENT OF EACH HORIZONTAL EXIT PROVIDES EXIT ENCLOSURES ON EACH SIDE OF THE HORIZONTAL EXIT THAT ARE CAPABLE OF ACCOMMODATING THE TOTAL OCCUPANT LOAD OF EACH FLOOR
- THE HORIZONTAL EXIT WILL BE REQUIRED EXCLUSIVELY FOR DISABLED OCCUPANTS
 - EACH SIDE OF THE HORIZONTAL EXIT CONTAINS SPACE FOR MULTIPLE WHEEL CHAIR USERS WITH A CLEAR AREA OF 30"x42" ADJACENT TO THE 2-WAY EMERGENCY COMMUNICATION DEVICE.

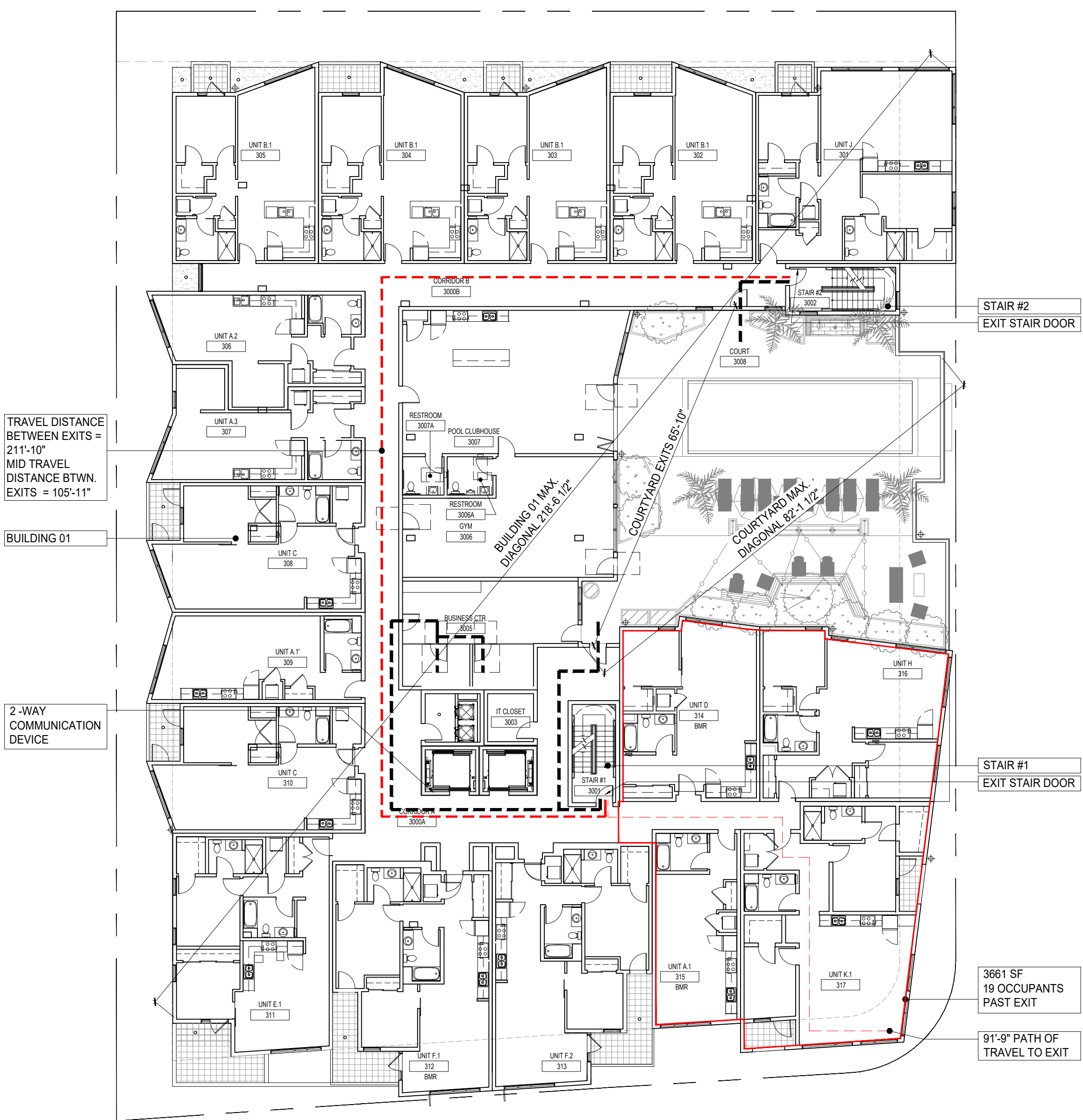
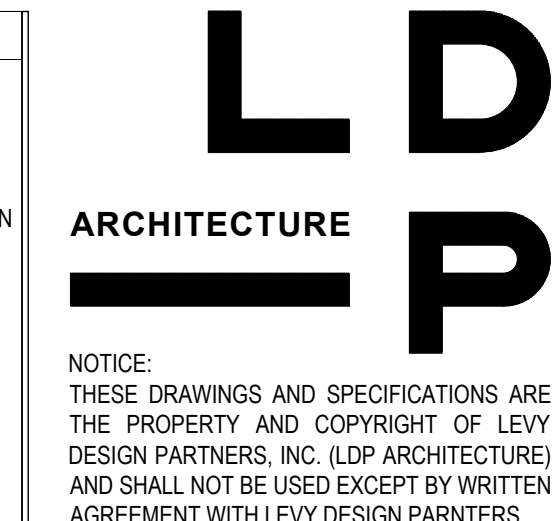
CALCULATIONS:

- FOR OCCUPANT LOAD PER FLOOR SEE MATRICES
- FOR REQUIRED AND PROVIDED STAIR WIDTH SEE MATRICES FOR EACH FLOOR

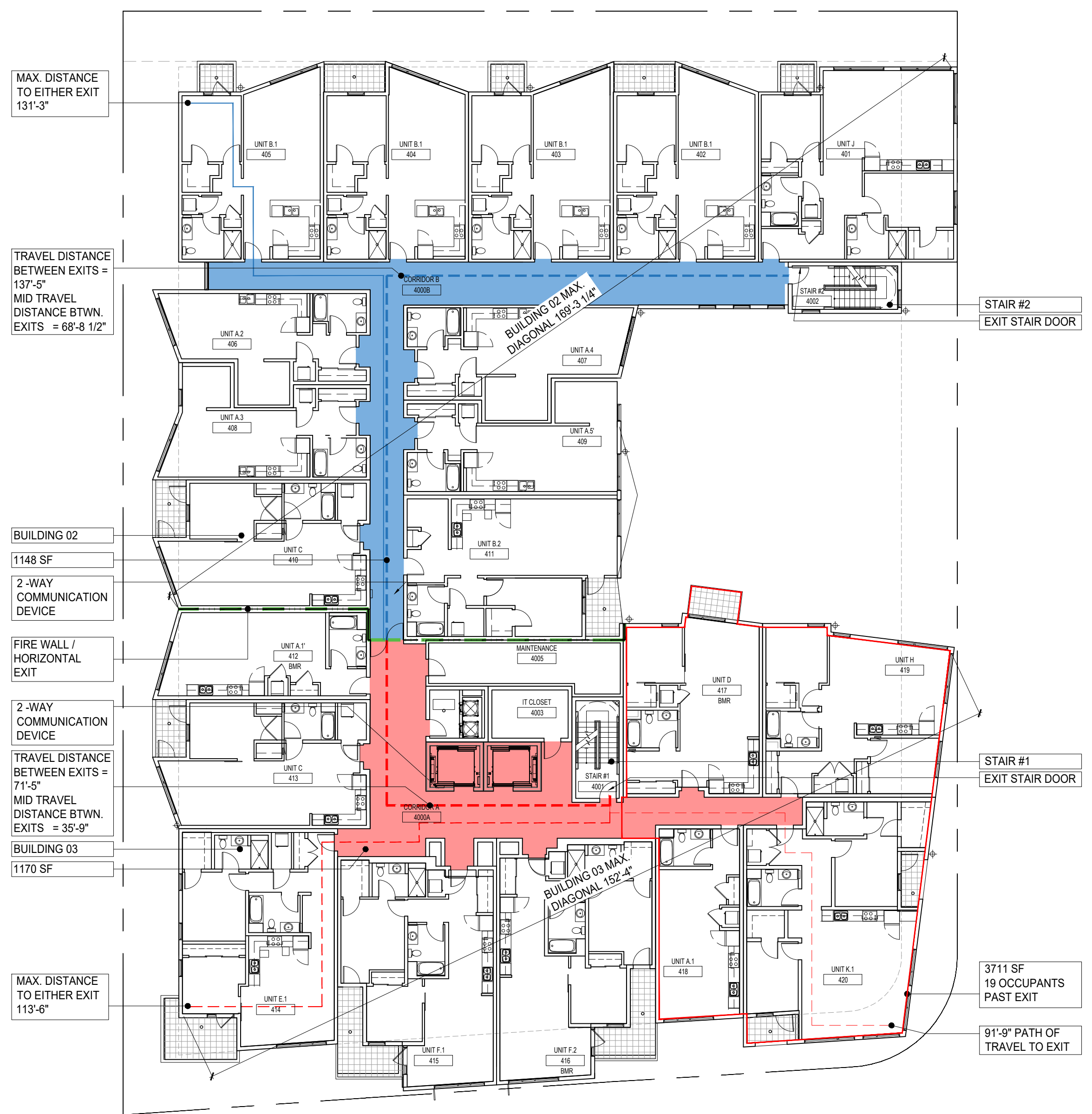
HORIZONTAL EXIT STANDPIPE

PER 2022 CBC 905.4 EXCEPTION #2 WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM AN INTERIOR EXIT STAIR HOSE CONNECTION BY A 30-FOOT HOSE STREAM FROM A NOZZLE ATTACHED TO 100 FEET OF HOSE AS MEASURED ALONG THE PATH OF TRAVEL. A HOSE CONNECTION SHALL NOT BE REQUIRED AT THE HORIZONTAL EXIT.

PROPOSED PROJECT MEETS THAT EXCEPTION.



1 EGRESS PLAN: THIRD FLOOR
1/16" = 1'-0"



2 EGRESS PLAN: FOURTH FLOOR
1/16" = 1'-0"

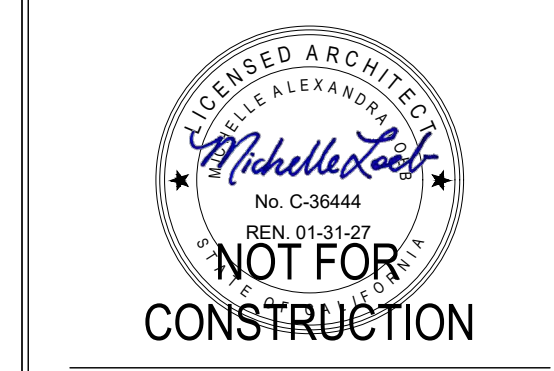
LEGEND

- TRAVEL DISTANCE BY BUILDING
- EGRESS PATH
- FIRE WALL / HORIZONTAL EXIT
- CORRIDOR BUILDING 02
- CORRIDOR BUILDING 03

PROJECT NORTH

TRUE NORTH

3705 HAVEN AVE
MENLO PARK, CA



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|-----|------------|------------------------|
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| | 07-26-2024 | PLANNING & SB330 REV 6 |

CONTACT: TOBY LEVY

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(415) 777-5117 F

SCALE: AS NOTED

EGRESS PLANS

G0.06B

| FIFTH FLOOR | | | | | | |
|--|----------------------------|------------------------|-------------|---|-------------|----------------|
| OCCUPANT LOAD | | | | | | |
| Building 02 | | | | | | |
| Zone | Room ID | Room Name | Area | Function | Load Factor | # of Occupants |
| B5.1 | 5000B, 5002, 501-511 | Residential Units, Etc | 10,546 | Residential | 200 | 53 |
| Total Occupant Load for Building 02 | | | | | | 53 |
| Building 03 | | | | | | |
| Zone | Room ID | Room Name | Area | Function | Load Factor | # of Occupants |
| C5.1 | 5000A, 5003, 5005, 512-519 | Residential Units, Etc | 9,616 | Residential | 200 | 49 |
| C5.2 | 5006 | Roof Deck | 668 | Unconcentrated Assembly | 15 | 45 |
| Total Occupant Load for Building 03 | | | | | | 94 |
| Total Horizontal Exit Refuge Area Occupant Load for Buildings 02+03 | | | | | | 147 |
| EXITING CALCULATIONS | | | | | | |
| Building 02 | | | Building 03 | | | |
| Occupant Load | | | 53 | Occupant Load | 94 | |
| Exits Required | | | 2 | Exits Required | 2 | |
| Exits Provided | | | 2 | Exits Provided | 2 | |
| Egress Width Required (inch) | | | 7.95 | Egress Width Required (inch) | 14.10 | |
| Corridor Width Required | | | 44" | Corridor Width Required | 44" | |
| Corridor Width Provided | | | 48" | Corridor Width Provided | 48" | |
| Min Door Clr. Width Required | | | 32" | Min Door Clr. Width Required | 32" | |
| Min Door Clr. Width Provided | | | 32" | Min Door Clr. Width Provided | 32" | |
| Stair Width Required (inch) | | | 44" | Stair Width Required (inch) | 44" | |
| Stair Width Provided | | | 44" | Stair Width Provided | 44" | |
| Max. Building Diagonal | | | 168'-4" | Max. Building Diagonal | 159'-2" | |
| Required Dist. Between Exits | | | 56'-2" | Required Dist. Between Exits | 53'-1" | |
| Provided Dist. Between Exits | | | 129'-10" | Provided Dist. Between Exits | 62'-2" | |
| Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2) | | | 125'-0" | Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2) | 125'-0" | |
| Max. Provided Common Path of Egress Travel | | | 61'-5" | Max. Provided Common Path of Egress Travel | 76'-0" | |
| Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2) | | | 250'-0" | Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2) | 250'-0" | |
| Provided Travel Distance | | | 126'-4" | Provided Travel Distance | 102'-4" | |

| SIXTH FLOOR | | | | | | |
|--|----------------------------------|------------------------|-------------|---|-------------|----------------|
| OCCUPANT LOAD | | | | | | |
| Building 02 | | | | | | |
| Zone | Room ID | Room Name | Area | Function | Load Factor | # of Occupants |
| B6.1 | 6000B, 6002, 601-611 | Residential Units, Etc | 10,295 | Residential | 200 | 52 |
| Total Occupant Load for Building 02 | | | | | | 52 |
| Building 03 | | | | | | |
| Zone | Room ID | Room Name | Area | Function | Load Factor | # of Occupants |
| C6.1 | 6000A, 6001, 6003, 6005, 612-619 | Residential Units, Etc | 9,264 | Residential | 200 | 47 |
| Total Occupant Load for Building 03 | | | | | | 47 |
| Total Horizontal Exit Refuge Area Occupant Load for Buildings 02+03 | | | | | | 99 |
| EXITING CALCULATIONS | | | | | | |
| Building 02 | | | Building 03 | | | |
| Occupant Load | | | 52 | Occupant Load | 47 | |
| Exits Required | | | 2 | Exits Required | 2 | |
| Exits Provided | | | 2 | Exits Provided | 2 | |
| Egress Width Required (inch) | | | 7.80 | Egress Width Required (inch) | 7.05 | |
| Corridor Width Required | | | 44" | Corridor Width Required | 44" | |
| Corridor Width Provided | | | 48" | Corridor Width Provided | 48" | |
| Min Door Clr. Width Required | | | 32" | Min Door Clr. Width Required | 32" | |
| Min Door Clr. Width Provided | | | 32" | Min Door Clr. Width Provided | 32" | |
| Stair Width Required (inch) | | | 44" | Stair Width Required (inch) | 44" | |
| Stair Width Provided | | | 44" | Stair Width Provided | 44" | |
| Max. Building Diagonal | | | 160'-10" | Max. Building Diagonal | 142'-5" | |
| Required Dist. Between Exits | | | 53'-8" | Required Dist. Between Exits | 47'-6" | |
| Provided Dist. Between Exits | | | 129'-10" | Provided Dist. Between Exits | 62'-2" | |
| Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2) | | | 125'-0" | Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2) | 125'-0" | |
| Max. Provided Common Path of Egress Travel | | | 61'-5" | Max. Provided Common Path of Egress Travel | 76'-0" | |
| Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2) | | | 250'-0" | Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2) | 250'-0" | |
| Provided Travel Distance | | | 126'-4" | Provided Travel Distance | 102'-4" | |

HORIZONTAL EXIT DESCRIPTION AND CALCULATION

HORIZONTAL EXITS: HORIZONTAL EXIT IS BEING USED AS AN ACCESSIBLE MEANS OF EGRESS FOR PERSONS WITH DISABILITIES IN LIEU OF PROVIDING AN ELEVATOR AS PERMITTED BY 2022 CBC 1009.2.1 EXCEPTION #1

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- CALCULATIONS:
- FOR OCCUPANT LOAD PER FLOOR SEE MATRICES
 - FOR REQUIRED AND PROVIDED STAIR WIDTH SEE MATRICES FOR EACH FLOOR

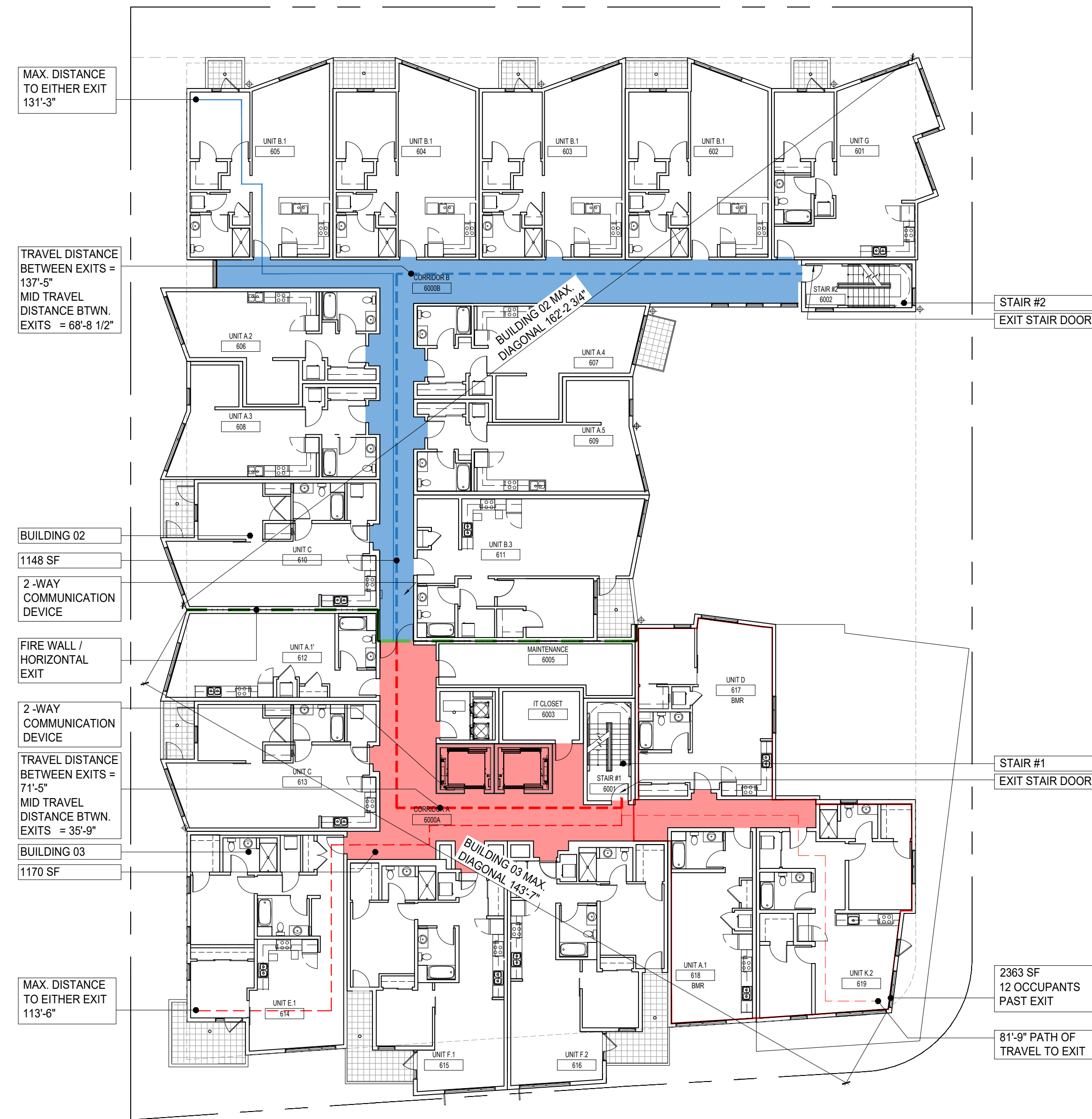
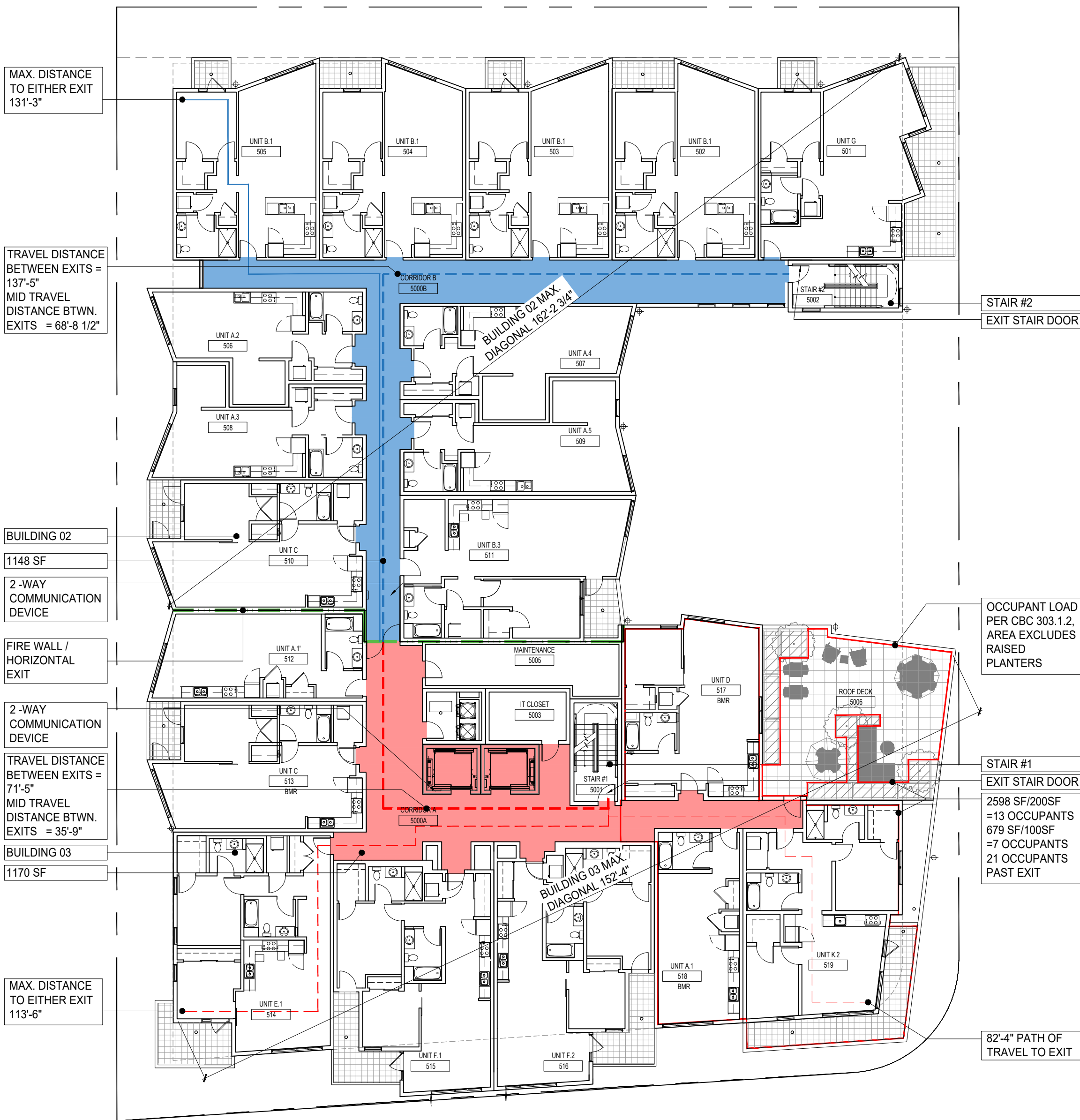
HORIZONTAL EXIT STANDPIPE

PER 2022 CBC 905.4 EXCEPTION #2 WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM AN INTERIOR EXIT STAIR HOSE CONNECTION BY A 30-FOOT HOSE STREAM FROM A NOZZLE ATTACHED TO 100 FEET OF HOSE AS MEASURED ALONG THE PATH OF TRAVEL, A HOSE CONNECTION SHALL NOT BE REQUIRED AT THE HORIZONTAL EXIT.

PROPOSED PROJECT MEETS THAT EXCEPTION.

LEGEND

- TRAVEL DISTANCE BY BUILDING
- EGRESS PATH
- FIRE WALL / HORIZONTAL EXIT
- CORRIDOR BUILDING 02
- CORRIDOR BUILDING 03



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3705 HAVEN AVE
MENLO PARK, CA



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
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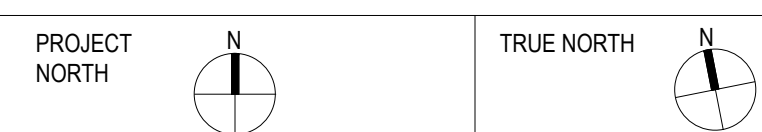
SCALE: AS NOTED

EGRESS PLANS

G0.06C

1 EGRESS PLAN: FIFTH FLOOR
1/16" = 1'-0"

2 EGRESS PLAN: SIXTH FLOOR
1/16" = 1'-0"



| SEVENTH FLOOR | | | | | | |
|--|----------------------------------|------------------------|-------------|---|-------------|----------------|
| OCCUPANT LOAD | | | | | | |
| Building 02 | | | | | | |
| Zone | Room ID | Room Name | Area | Function | Load Factor | # of Occupants |
| B7.1 | 7000B, 7002, 701-711 | Residential Units, Etc | 10,250 | Residential | 200 | 52 |
| Total Occupant Load for Building 02 | | | | | | 52 |
| Building 03 | | | | | | |
| Zone | Room ID | Room Name | Area | Function | Load Factor | # of Occupants |
| C7.1 | 7000A, 7001, 7003, 7005, 712-719 | Residential Units, Etc | 9,298 | Residential | 200 | 47 |
| Total Occupant Load for Building 03 | | | | | | 47 |
| Total Horizontal Exit Refuge Area Occupant Load for Buildings 02+03 | | | | | | 99 |
| EXITING CALCULATIONS | | | | | | |
| Building 02 | | | Building 03 | | | |
| Occupant Load | | | 52 | Occupant Load | 47 | |
| Exits Required | | | 2 | Exits Required | 2 | |
| Exits Provided | | | 2 | Exits Provided | 2 | |
| Egress Width Required (inch) | | | 7.80 | Egress Width Required (inch) | 7.05 | |
| Corridor Width Required | | | 44" | Corridor Width Required | 44" | |
| Corridor Width Provided | | | 48" | Corridor Width Provided | 48" | |
| Min Door Clr. Width Required | | | 32" | Min Door Clr. Width Required | 32" | |
| Min Door Clr. Width Provided | | | 32" | Min Door Clr. Width Provided | 32" | |
| Stair Width Required (inch) | | | 44" | Stair Width Required (inch) | 44" | |
| Stair Width Provided | | | 44" | Stair Width Provided | 44" | |
| Max. Building Diagonal | | | 160'-7" | Max. Building Diagonal | 144'-8" | |
| Required Dist. Between Exits | | | 53'-7" | Required Dist. Between Exits | 48'-3" | |
| Provided Dist. Between Exits | | | 129'-10" | Provided Dist. Between Exits | 62'-2" | |
| Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2) | | | 125'-0" | Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2) | 125'-0" | |
| Max. Provided Common Path of Egress Travel | | | 61'-5" | Max. Provided Common Path of Egress Travel | 76'-0" | |
| Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2) | | | 250'-0" | Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2) | 250'-0" | |
| Provided Travel Distance | | | 126'-4" | Provided Travel Distance | 102'-4" | |

| EIGHTH FLOOR | | | | | | |
|--|----------------------------------|-------------------------|-------------|---|-------------|----------------|
| OCCUPANT LOAD | | | | | | |
| Building 02 | | | | | | |
| Zone | Room ID | Room Name | Area | Function | Load Factor | # of Occupants |
| B8.1 | 8000B, 801-807 | Residential Units, Etc | 7,837 | Residential | 200 | 40 |
| B8.2 | 8006 | Roof Deck | 1,607 | Unconcentrated Assembly | 15 | 108 |
| Total Occupant Load for Building 02 | | | | | | 148 |
| Building 03 | | | | | | |
| Zone | Room ID | Room Name | Area | Function | Load Factor | # of Occupants |
| C8.1 | 8000A, 8001, 8003, 8005, 808-812 | Residential Units, Etc. | 6,134 | Residential | 200 | 31 |
| Total Occupant Load for Building 03 | | | | | | 31 |
| Total Horizontal Exit Refuge Area Occupant Load for Buildings 02+03 | | | | | | 179 |
| EXITING CALCULATIONS | | | | | | |
| Building 02 | | | Building 03 | | | |
| Occupant Load | | | 148 | Occupant Load | 31 | |
| Exits Required | | | 2 | Exits Required | 2 | |
| Exits Provided | | | 2 | Exits Provided | 2 | |
| Egress Width Required (inch) | | | 22.20 | Egress Width Required (inch) | 4.65 | |
| Corridor Width Required | | | 44" | Corridor Width Required | 44" | |
| Corridor Width Provided | | | 48" | Corridor Width Provided | 48" | |
| Min Door Clr. Width Required | | | 32" | Min Door Clr. Width Required | 32" | |
| Min Door Clr. Width Provided | | | 32" | Min Door Clr. Width Provided | 32" | |
| Stair Width Required (inch) | | | 44" | Stair Width Required (inch) | 44" | |
| Stair Width Provided | | | 44" | Stair Width Provided | 44" | |
| Max. Building Diagonal | | | 160'-7" | Max. Building Diagonal | 117'-3" | |
| Required Dist. Between Exits | | | 53'-7" | Required Dist. Between Exits | 39'-1" | |
| Provided Dist. Between Exits | | | SEE PLN | Provided Dist. Between Exits | 62'-2" | |
| Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2) | | | 125'-0" | Max. Allowed Common Path of Egress Travel (2022 CBC 1006.2) | 125'-0" | |
| Max. Provided Common Path of Egress Travel | | | 65'-3" | Max. Provided Common Path of Egress Travel | N/A | |
| Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2) | | | 250'-0" | Max. Allowed Exit Access Travel Distance (2022 CBC 1017.2) | 250'-0" | |
| Provided Travel Distance | | | 131'-1" | Provided Travel Distance | 88'-11" | |

HORIZONTAL EXIT DESCRIPTION AND CALCULATION

HORIZONTAL EXITS: HORIZONTAL EXIT IS BEING USED AS AN ACCESSIBLE MEANS OF EGRESS FOR PERSONS WITH DISABILITIES IN LIEU OF PROVIDING AN ELEVATOR AS PERMITTED BY 2022 CBC 1009.2.1 EXCEPTION #1

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- CALCULATIONS:
- FOR OCCUPANT LOAD PER FLOOR SEE MATRICES
 - FOR REQUIRED AND PROVIDED STAIR WIDTH SEE MATRICES FOR EACH FLOOR

HORIZONTAL EXIT STANDPIPE

PER 2022 CBC 905.4 EXCEPTION #2 WHERE FLOOR AREAS ADJACENT TO A HORIZONTAL EXIT ARE REACHABLE FROM AN INTERIOR EXIT STAIR HOSE CONNECTION BY A 30-FOOT HOSE STREAM FROM A NOZZLE ATTACHED TO 100 FEET OF HOSE AS MEASURED ALONG THE PATH OF TRAVEL. A HOSE CONNECTION SHALL NOT BE REQUIRED AT THE HORIZONTAL EXIT.

PROPOSED PROJECT MEETS THAT EXCEPTION.

LEGEND

- TRAVEL DISTANCE BY BUILDING
- EGRESS PATH
- FIRE WALL / HORIZONTAL EXIT
- CORRIDOR BUILDING 02
- CORRIDOR BUILDING 03



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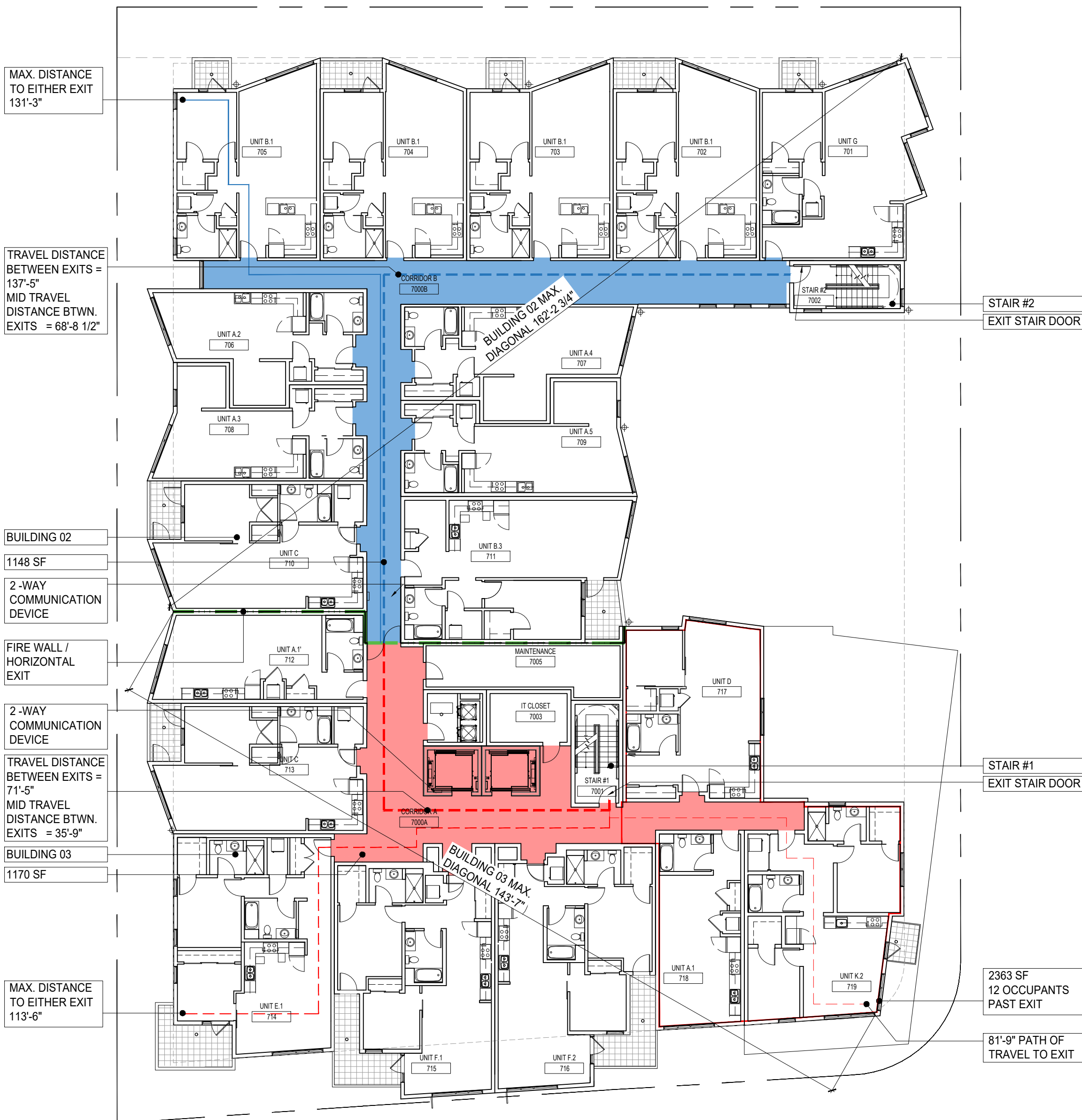
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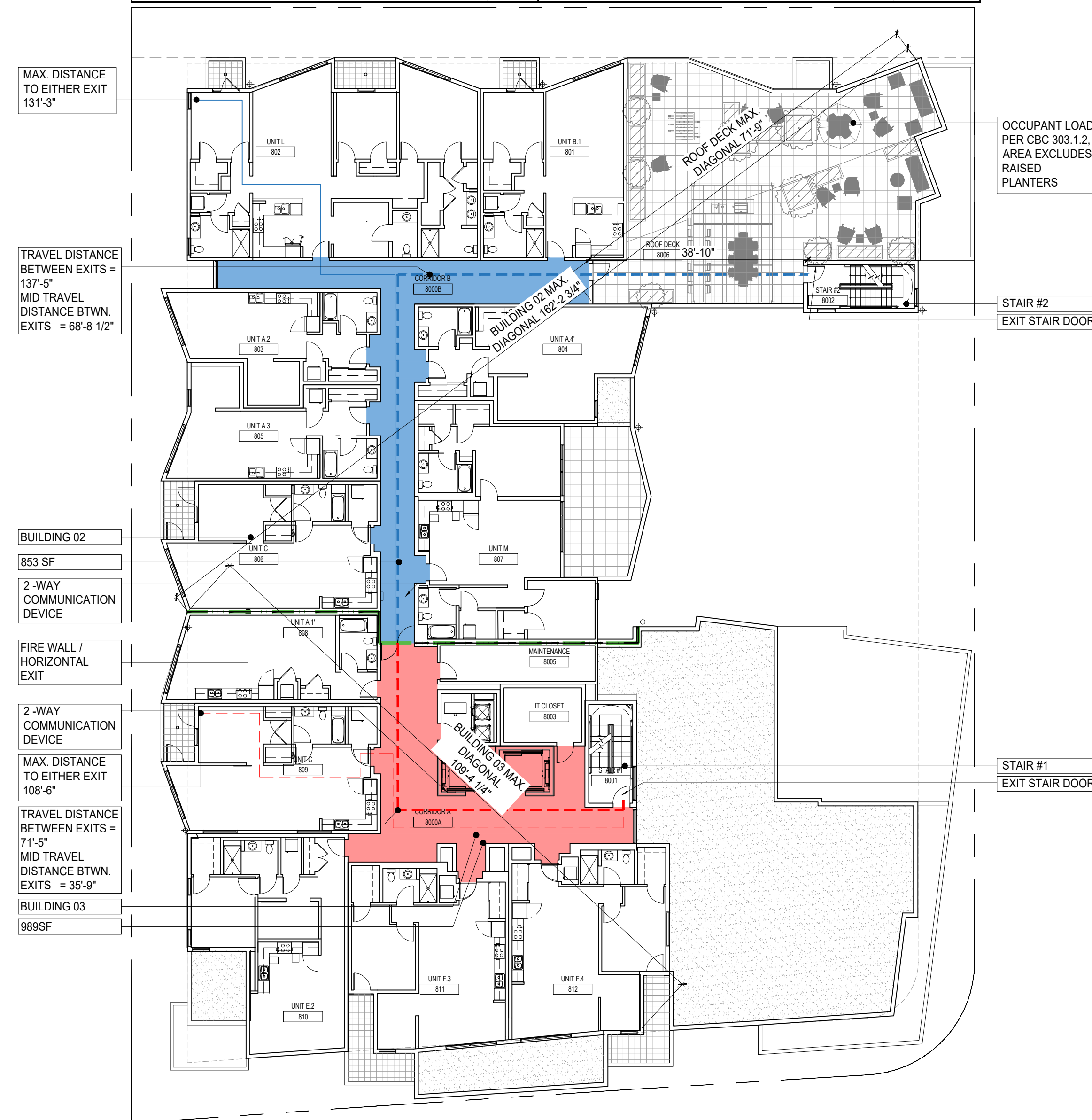
SCALE: AS NOTED

EGRESS PLANS

G0.06D



1 EGRESS PLAN: SEVENTH FLOOR
1/16" = 1'-0"



2 EGRESS PLAN: EIGHTH FLOOR
1/16" = 1'-0"

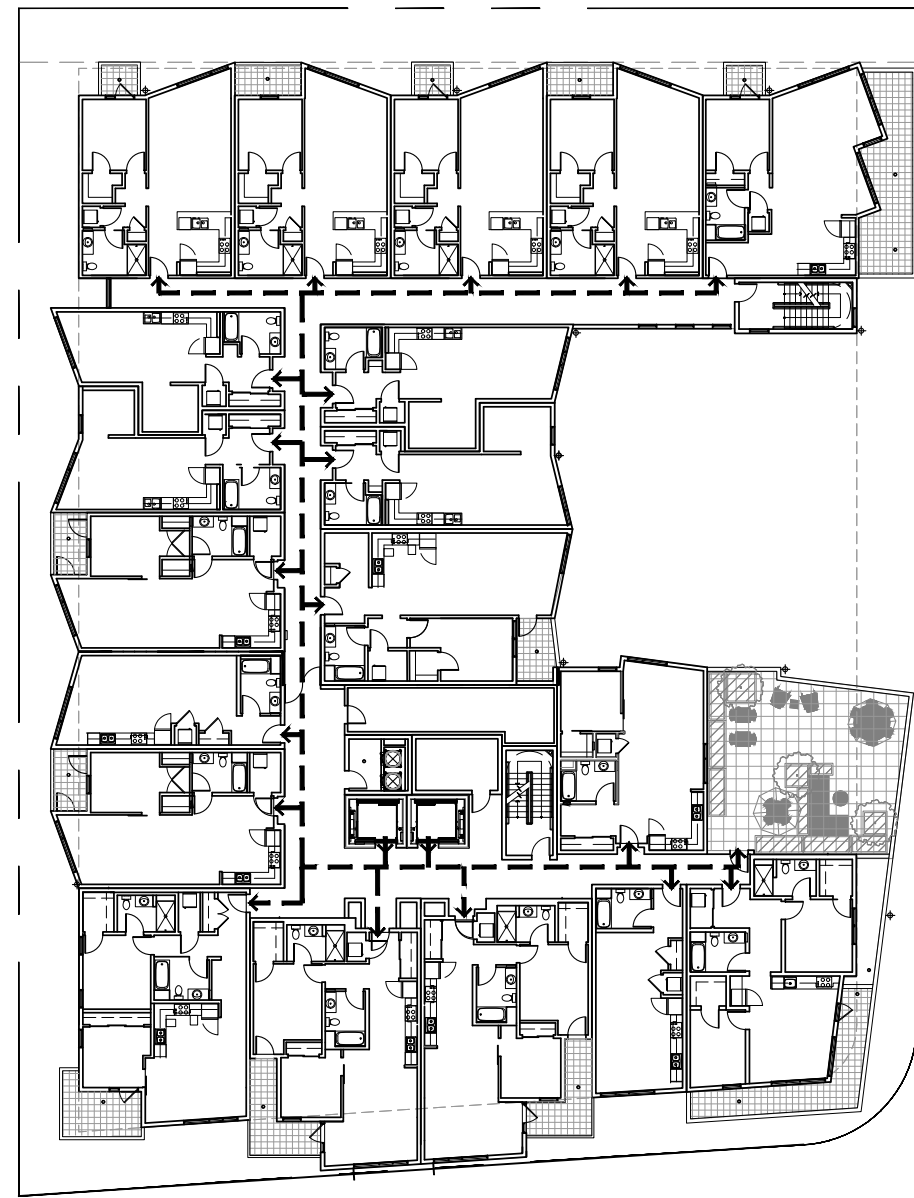


ACCESSIBILITY NOTES

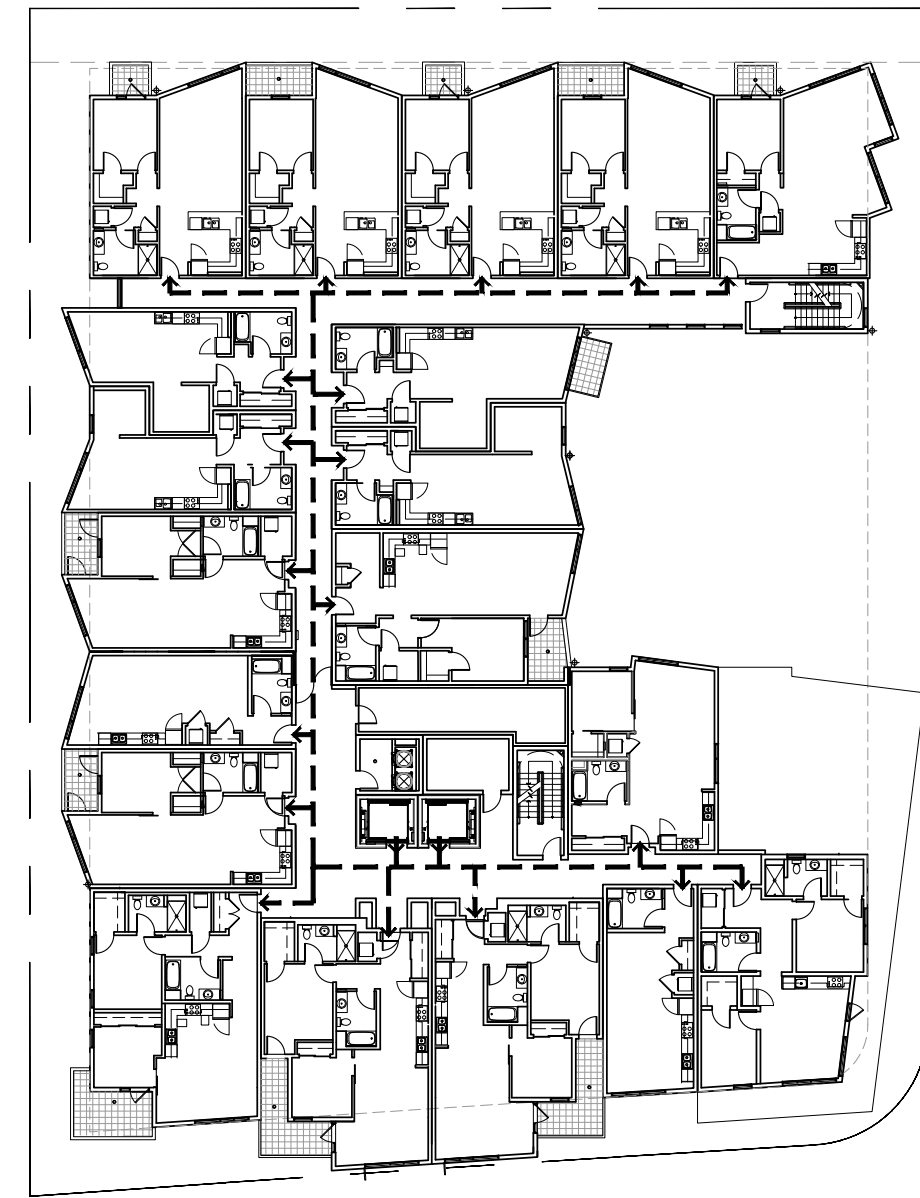
1. ACCESSIBLE PATH OF TRAVEL (P.O.T.) AS INDICATED ON PLANS IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. ALL ACCESSIBLE ROUTES OF TRAVEL TO BE AT LEAST 44" WIDE. SURFACE IS STABLE, FIRM & SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% U.O.N.
2. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEED 1:20, IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMPS.
3. WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHERE EVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF THESE AREAS, GRID OPENINGS SHALL BE LIMITED TO 1/2" IN THE DIRECTION OF TRAVEL FLOW.
4. SURFACES WITH A SLOPE OF LESS THAN 6% GRADIENT SHALL BE AT LEAST AS SLIP-RESISTANT AS THAT DESCRIBED AS A MEDIUM SALT FINISH AND HEAVY BROOM FINISH FOR SLOPES GREATER THAN 6%.
5. ACCESSIBLE ROUTES OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80".
6. SEE G1 SERIES FOR TYPICAL ACCESSIBILITY DETAILS.
7. ALL REQUIRED ACCESSIBLE DOORS TO HAVE A 32" CLEAR OPENING MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.

LEGEND

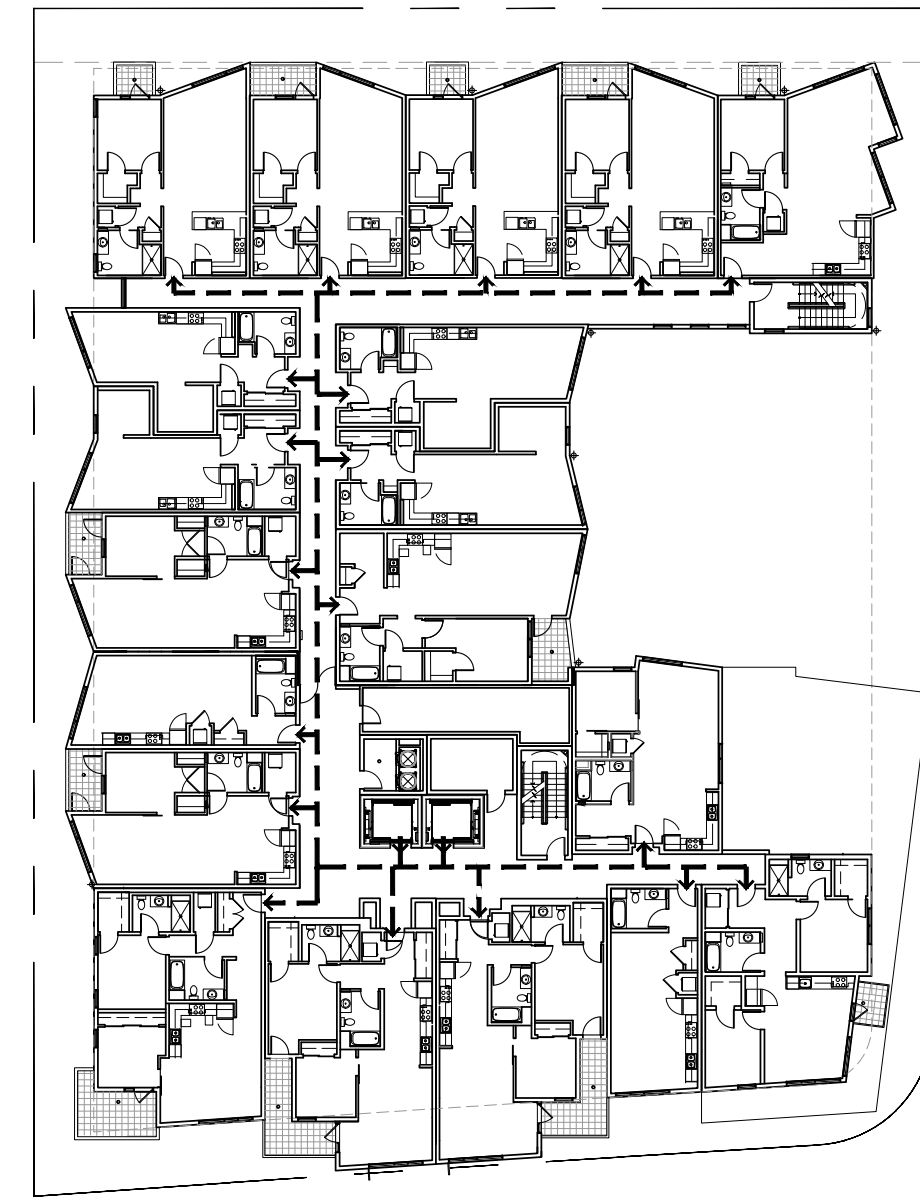
- PROPERTY LINE
- - - - - ACCESSIBLE PATH OF TRAVEL (P.O.T.)



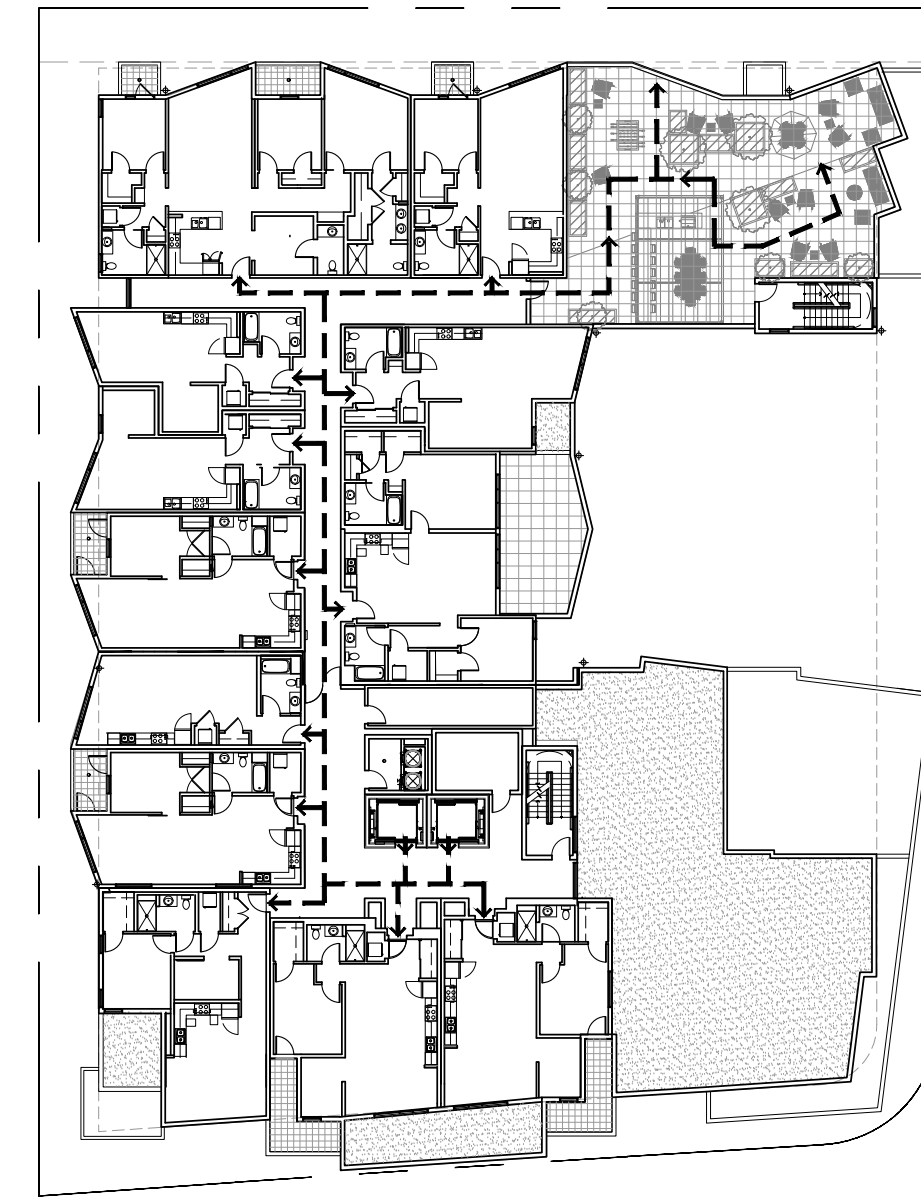
5 BUILDING AREA: FIFTH FLOOR
1/32" = 1'-0"



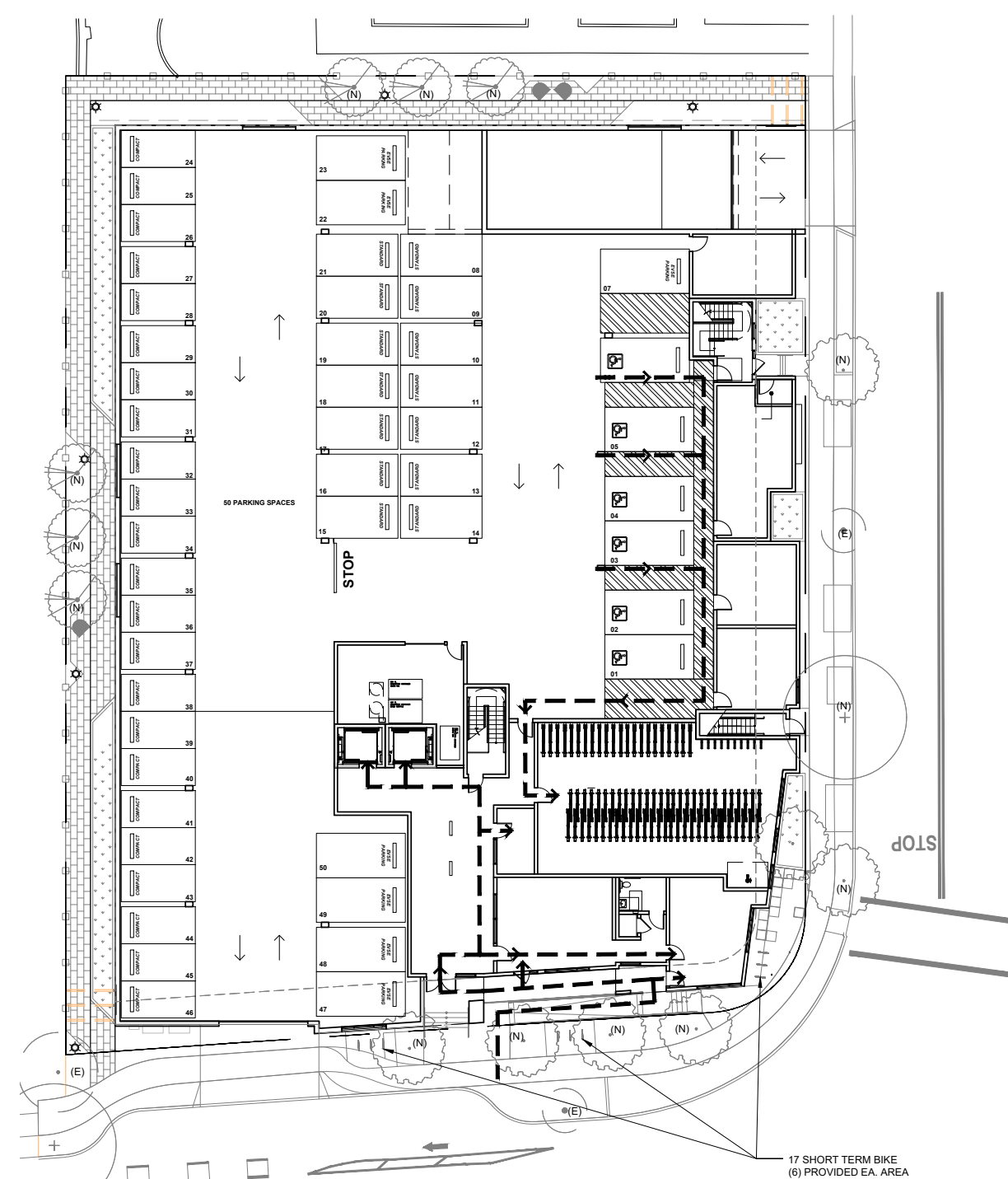
6 BUILDING AREA: SIXTH FLOOR
1/32" = 1'-0"



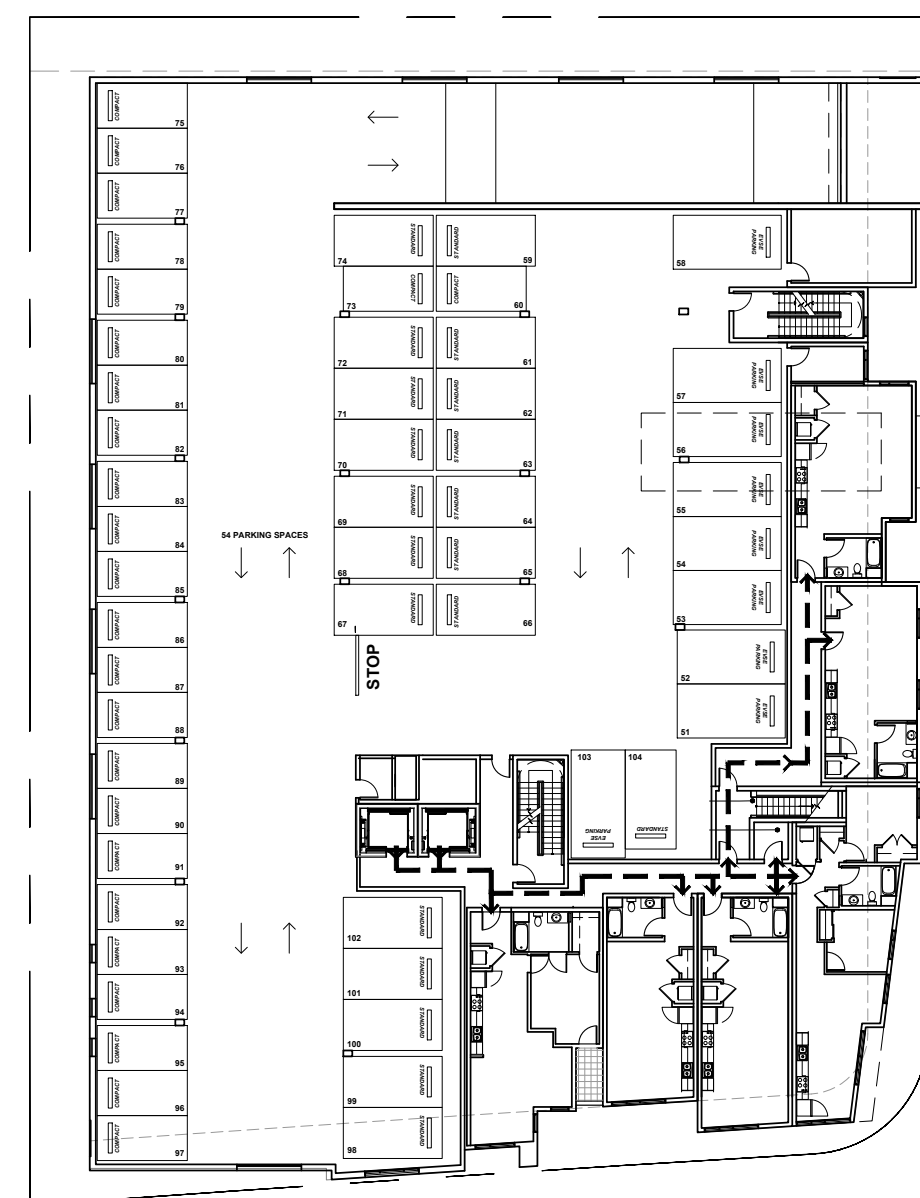
7 BUILDING AREA: SEVENTH FLOOR
1/32" = 1'-0"



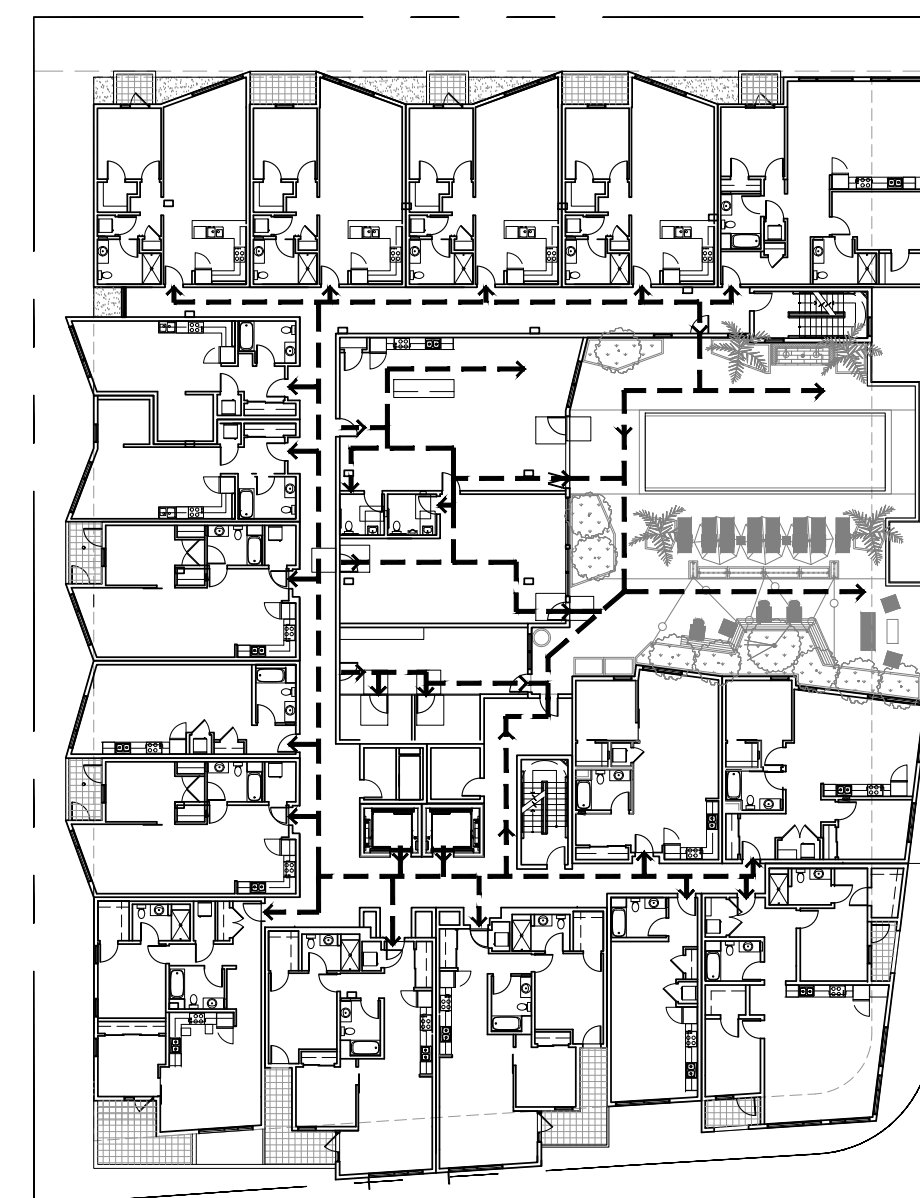
8 BUILDING AREA: ROOF
1/32" = 1'-0"



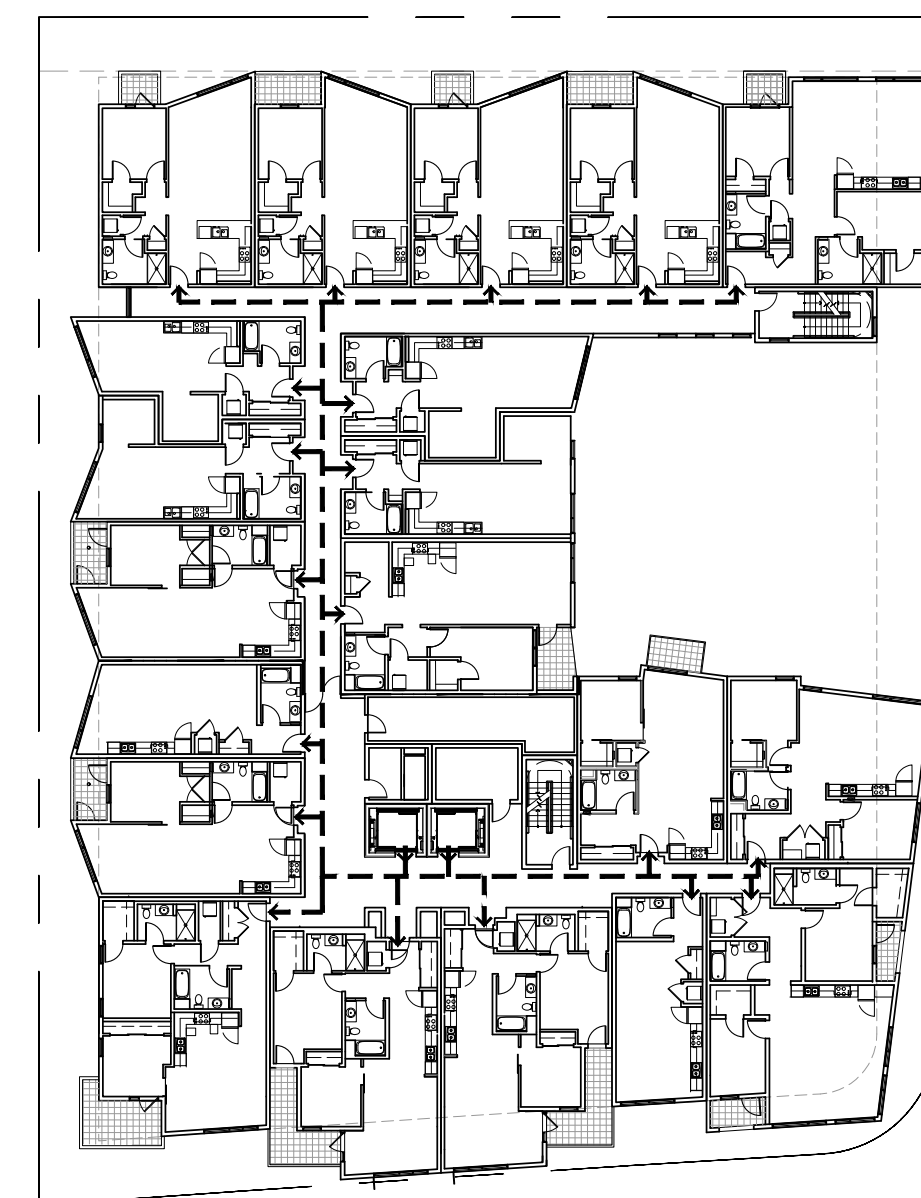
1 BUILDING AREA: GROUND FLOOR
1/32" = 1'-0"



2 BUILDING AREA: SECOND FLOOR
1/32" = 1'-0"



3 BUILDING AREA: THIRD FLOOR
1/32" = 1'-0"



4 BUILDING AREA: FOURTH FLOOR
1/32" = 1'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|------------|------------------------|-------------|
| 04-14-2023 | PLANNING & SB330 REV 2 | |
| 09-22-2023 | PLANNING & SB330 REV 3 | |
| 03-20-2024 | PLANNING & SB330 REV 4 | |
| 06-13-2024 | PLANNING & SB330 REV 5 | |
| 07-26-2024 | PLANNING & SB330 REV 6 | |

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

**ACCESS
PLANS**

G0.07A

**3705 HAVEN AVE
MENLO PARK, CA**



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MENLO PARK, CA

PROJECT NO. 21-07
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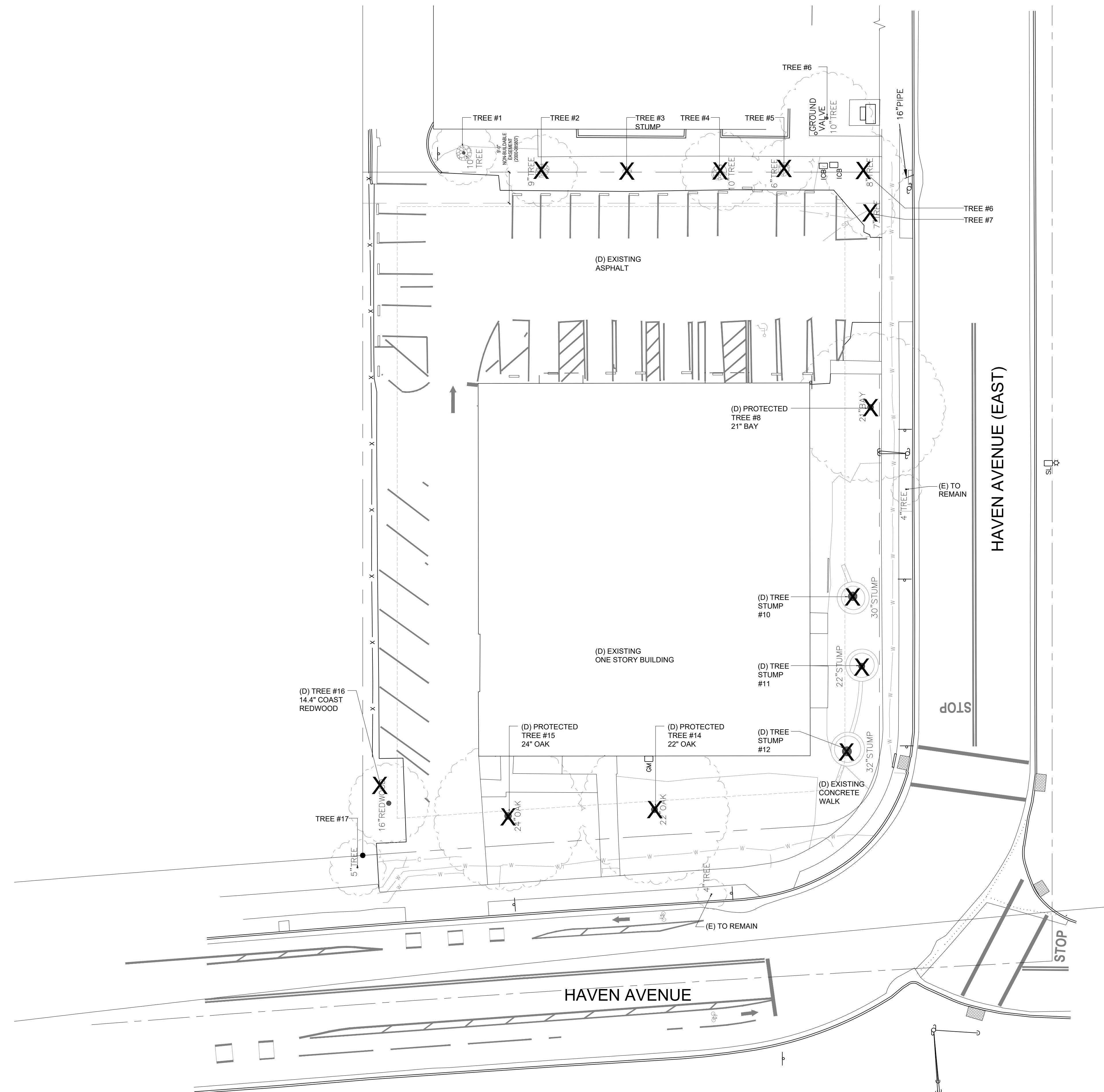
SCALE:
AS NOTED

**SITE PLAN
EXISTING /
DEMOLITION**

A1.00

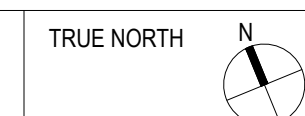
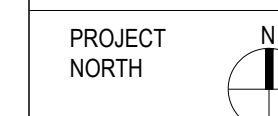
GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND/OR PROTECTION OF THE EXISTING ITEMS AS NOTED IN THIS PLAN.
2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES.
3. CONTRACTOR IS TO DISPOSE OF ALL MATERIAL RESULTING FROM PREVIOUS AND CURRENT DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL LAWS.
4. THE CONTRACTOR IS CAUTIONED TO LOCATE ALL EXISTING UTILITIES AND CONFLICTS. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY CONSTRUCTION ACTIVITY IN ORDER TO FIELD VERIFY EXISTING UTILITY INFORMATION.
5. LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR. PROTECT ALL EXISTING UTILITIES IN PLACE.
6. CONTRACTOR TO CAP EXISTING WATER LINES AT THE PROPERTY LINE FOR FUTURE USE. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH AND PROVIDE TO ENGINEER.
7. CONTRACTOR TO PROTECT EXISTING STREET LIGHTS & POSTS, TRAFFIC SIGNALS & POSTS, TRAFFIC CONTROL DEVICES, SIGNS AND UTILITY BOXES IN THE SIDEWALK, UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DEMOLITION PERMITS AS REQUIRED FROM THE CITY OF OAKLAND, OR ANY OTHER AGENCY HAVING JURISDICTION.
9. CONTRACTOR SHALL FOLLOW ALL JURISDICTIONAL AIR QUALITY AND WASTE/RECYCLING REQUIREMENTS.



LEGEND

- - - - - FENCE
- — — — — PROPERTY LINE
- X TREE TO BE REMOVED, SEE L-4 FOR MORE INFORMATION





3705 HAVEN AVE
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CONTACT: TOBY LEVY

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(415) 777-5117 F

SCALE:
AS NOTED

**SITE PLAN
PROPOSED**

A1.01

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G1 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS
- SEE A8 SERIES FOR WALL, FLOOR & ROOF ASSEMBLIES
- SEE A9 SERIES FOR DOOR, WINDOW & FINISH SCHEDULES
- SEE A10 SERIES FOR TYPICAL FOUNDATION DETAILS
- SEE A11 SERIES FOR GENERAL ACOUSTICAL DETAILS
- PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1206.
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- EXHAUST SHAFTS SHALL COMPLY WITH 2022 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS, S.M.D. FOR MORE INFORMATION.
- ALL PENETRATIONS SHALL CONFORM PER 2022 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
- ALL HABITABLE ROOMS SHALL BE HEATED PER 2022 CBC 1203
- ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
- PROVIDE FLOOR DRAINS, SLOPE 1/4" FOOT.
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
- ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT. SEE A8 SERIES FOR ADDITIONAL DETAILS.
- 5 LB. CLASS ABC FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO AN EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS. SEE A11 SERIES FOR RECESS CABINET INSTALLATION DETAIL
- BUILDING IS REQUIRED TO MEET 2022 CBC SECTION 1206 SOUND TRANSMISSION REQUIREMENTS.

SHEET NOTES

- REPLACE (E) SIDEWALK CONCRETE, CURB & GUTTER; S.C.D. & S.L.D.
- PROPERTY LINE; S.C.D.
- (N) CURB CUT; S.C.D.
- (A) (N) STREET TREE; S.L.D.
- (E) STREET TREE TO REMAIN; S.L.D.
- (N) PAVING; TYP. THROUGHOUT, S.L.D.
- (N) LANDSCAPING; TYP. THROUGHOUT, S.L.D.
- (N) FENCING; TYP. THROUGHOUT, S.L.D.
- BUILDING INTERCOM SYSTEM; S.E.D.
- (N) ENTRY STAIRS & RAMP; S.L.D.
- SHORT TERM BIKE PARKING; S.L.D.
- LONG TERM BIKE PARKING; S.L.D.
- 42" GUARD
- FLOOR/ROOF ABOVE, TYP.
- BUILDING EDGE BELOW, TYP.
- ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN; SEE A8 SERIES
- NO ROOF OPENINGS WITHIN 4' OF FIREWALL. ALL ROOF SHEATHING WITHIN 4' OF FIREWALL TO BE FRT
- OCCUPIABLE DECK; S.L.D.
- NON-OCCUPIABLE ROOF
- MECHANICAL & PLUMBING EQUIPMENT; S.M.D. & S.P.D.
- ELECTRICAL METERS; S.E.D.
- GSM GUTTER, PAINT; S.P.D.
- GSM DOWNSPOUT, PAINT; S.P.D.
- RECESSED FIRE EXTINGUISHER 5LB, CLASS ABC, SEE DETAIL 19/A11.04
- 2-WAY EMERGENCY COMMUNICATION SYSTEM; WIRING IN 2 HR. RATED CONDUIT
- MAILBOX AND PACKAGE SYSTEM

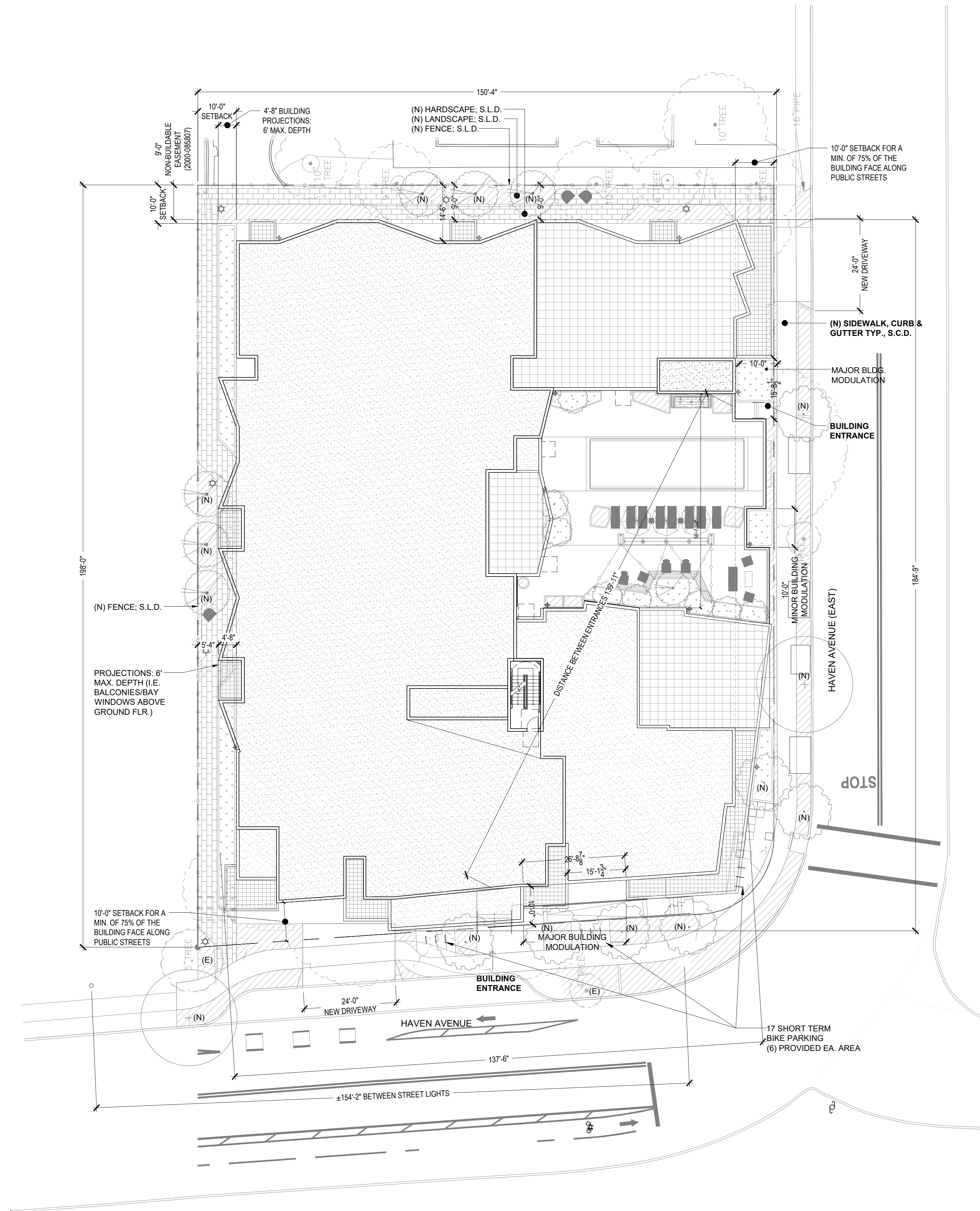
LEGEND

| | | | |
|-----|---|-----|--|
| --- | PROPERTY LINE | ○ | DRAIN |
| --- | 1-HR. FIRE RATED WALL | ⊕ | DOWNSPOUT |
| --- | 2-HR. FIRE RATED WALL | → | ROOF SLOPE |
| --- | 3-HR. FIRE RATED WALL | ⊠ | WALL ASSEMBLY, SEE A8 SERIES |
| --- | NON-OCCUPIABLE ROOF | | |
| --- | ROOF PAVERS, OCCUPIED ROOF; SEE A2 SERIES | | |
| --- | HARDSCAPE AREA, S.L.D. | --- | ACCESSIBLE DRIVE AISLE, 8'-2" MIN. VERTICAL CLR. |
| --- | LANDSCAPE AREA, S.L.D. | | |

DIMENSION NOTES

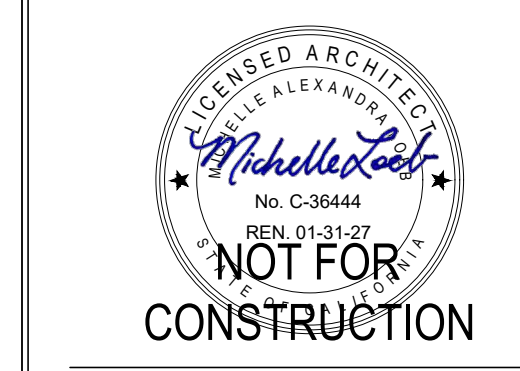
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- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

| | | | |
|---------------|--|------------|--|
| PROJECT NORTH | | TRUE NORTH | |
|---------------|--|------------|--|



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**3705 HAVEN AVE
MENLO PARK, CA**



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SCALE: **AS NOTED**

GROUND FLOOR PLAN

A2.01

GENERAL NOTES

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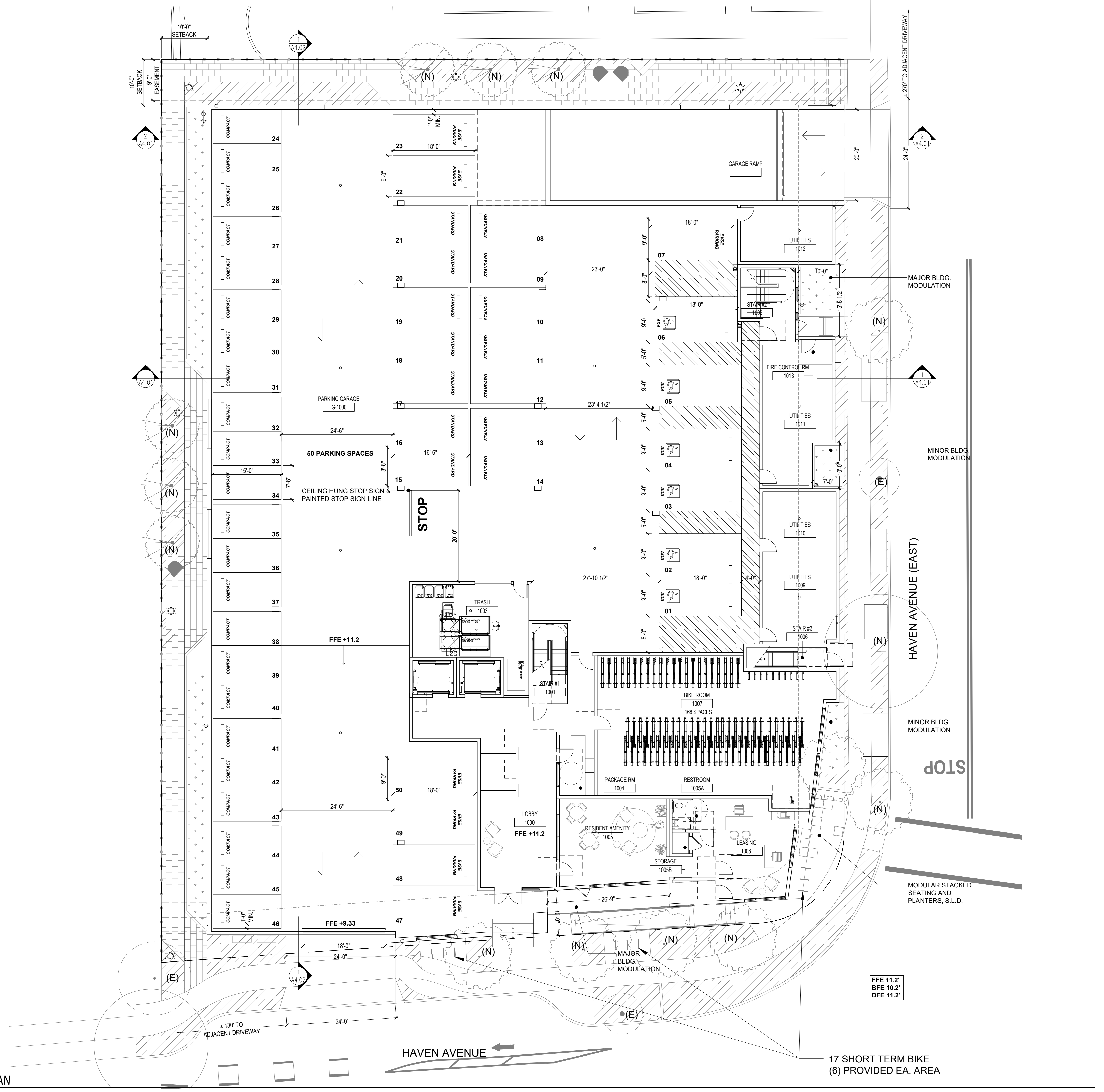
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| | | | |
|---------------|--|------------|--|
| PROJECT NORTH | | TRUE NORTH | |
|---------------|--|------------|--|



1 GROUND FLOOR PLAN
3/32" = 1'-0"



| | |
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- MAILBOX AND PACKAGE SYSTEM

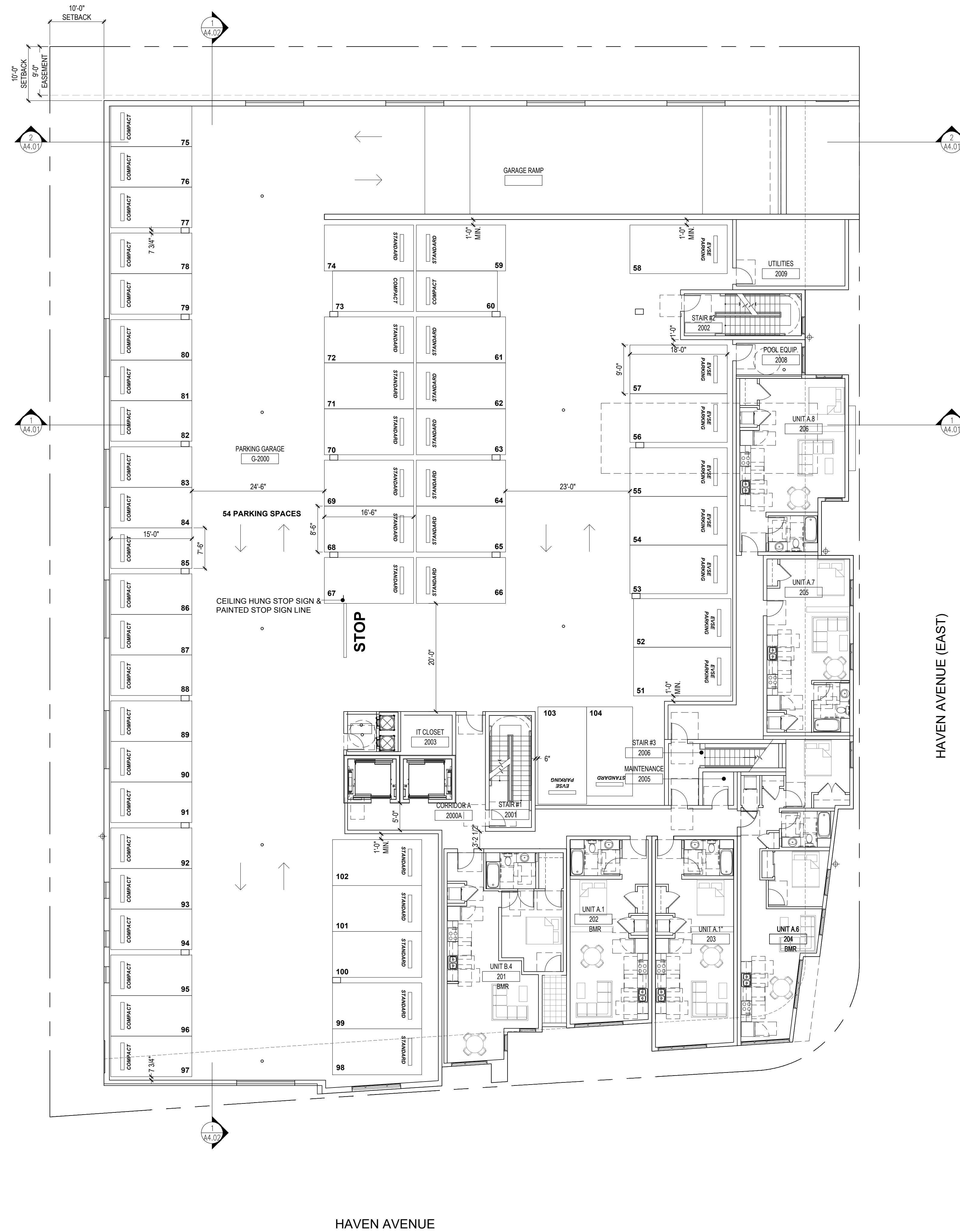
LEGEND

| | | | |
|-----|---|-----|--|
| --- | PROPERTY LINE | ○ | DRAIN |
| --- | 1-HR. FIRE RATED WALL | ⊕ | DOWNSPOUT |
| --- | 2-HR. FIRE RATED WALL | → | ROOF SLOPE |
| --- | 3-HR. FIRE RATED WALL | ⊠ | WALL ASSEMBLY, SEE A8 SERIES |
| --- | NON-OCCUPIABLE ROOF | | |
| --- | ROOF PAVERS, OCCUPIED ROOF; SEE A2 SERIES | | |
| --- | HARDSCAPE AREA, S.L.D. | --- | ACCESSIBLE DRIVE AISLE, 8'-2" MIN. VERTICAL CLR. |
| --- | LANDSCAPE AREA, S.L.D. | | |

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

| | | | |
|---------------|--|------------|--|
| PROJECT NORTH | | TRUE NORTH | |
|---------------|--|------------|--|



NOTICE:
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF LEVY DESIGN PARTNERS, INC. (LDP ARCHITECTURE) AND SHALL NOT BE USED EXCEPT BY WRITTEN AGREEMENT WITH LEVY DESIGN PARTNERS.

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|-----|------------|------------------------|
| | 04-14-2023 | PLANNING & SB330 REV 2 |
| | 09-22-2023 | PLANNING & SB330 REV 3 |
| | 03-20-2024 | PLANNING & SB330 REV 4 |
| | 06-13-2024 | PLANNING & SB330 REV 5 |
| | 07-26-2024 | PLANNING & SB330 REV 6 |

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

THIRD FLOOR PLAN

A2.03

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G1 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS
- SEE A8 SERIES FOR WALL, FLOOR & ROOF ASSEMBLIES
- SEE A9 SERIES FOR DOOR, WINDOW & FINISH SCHEDULES
- SEE A10 SERIES FOR TYPICAL FOUNDATION DETAILS
- SEE A11 SERIES FOR GENERAL ACOUSTICAL DETAILS
- PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1206.
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- EXHAUST SHAFTS SHALL COMPLY WITH 2022 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS, S.M.D. FOR MORE INFORMATION.
- ALL PENETRATIONS SHALL CONFORM PER 2022 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
- ALL HABITABLE ROOMS SHALL BE HEATED PER 2022 CBC 1203
- ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
- PROVIDE FLOOR DRAINS, SLOPE 1/4" FOOT.
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
- ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT. SEE A8 SERIES FOR ADDITIONAL DETAILS.
- 5 LB. CLASS ABC FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO AN EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS. SEE A11 SERIES FOR RECESS CABINET INSTALLATION DETAIL
- BUILDING IS REQUIRED TO MEET 2022 CBC SECTION 1206 SOUND TRANSMISSION REQUIREMENTS.

SHEET NOTES

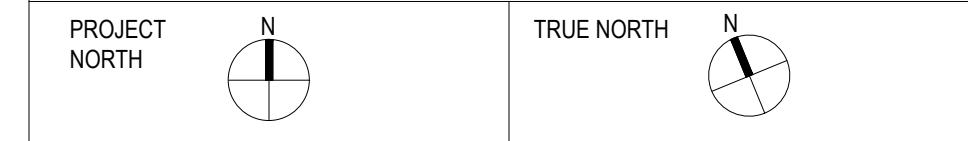
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- PROPERTY LINE; S.C.D.
- (N) CURB CUT; S.C.D.
- (N) STREET TREE; S.L.D.
- (E) STREET TREE TO REMAIN; S.L.D.
- (N) PAVING; TYP. THROUGHOUT, S.L.D.
- (N) LANDSCAPING; TYP. THROUGHOUT, S.L.D.
- (N) FENCING; TYP. THROUGHOUT, S.L.D.
- BUILDING INTERCOM SYSTEM; S.E.D.
- (N) ENTRY STAIRS & RAMP; S.L.D.
- SHORT TERM BIKE PARKING; S.L.D.
- LONG TERM BIKE PARKING; S.L.D.
- 4" GUARD
- FLOOR/ROOF ABOVE, TYP.
- BUILDING EDGE BELOW, TYP.
- ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN; SEE A8 SERIES
- NO ROOF OPENINGS WITHIN 4' OF FIREWALL. ALL ROOF SHEATHING WITHIN 4' OF FIREWALL TO BE FR
- OCCUPIABLE DECK; S.L.D.
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- ELECTRICAL METERS; S.E.D.
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LEGEND

| | | | |
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| | 07-26-2024 | PLANNING & SB330 REV 6 |

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

FOURTH FLOOR PLAN

A2.04

GENERAL NOTES

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SHEET NOTES

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- PROPERTY LINE; S.C.D.
- (N) CURB CUT; S.C.D.
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- (E) STREET TREE TO REMAIN; S.L.D.
- (N) PAVING; TYP. THROUGHOUT, S.L.D.
- (N) LANDSCAPING; TYP. THROUGHOUT, S.L.D.
- (N) FENCING; TYP. THROUGHOUT, S.L.D.
- BUILDING INTERCOM SYSTEM; S.E.D.
- (N) ENTRY STAIRS & RAMP; S.L.D.
- SHORT TERM BIKE PARKING; S.L.D.
- LONG TERM BIKE PARKING; S.L.D.
- 42" GUARD
- FLOOR/ROOF ABOVE, TYP.
- BUILDING EDGE BELOW, TYP.
- ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN. SEE A8 SERIES
- NO ROOF OPENINGS WITHIN 4' OF FIREWALL. ALL ROOF SHEATHING WITHIN 4' OF FIREWALL TO BE FRT
- OCCUPIABLE DECK; S.L.D.
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LEGEND

| | | | |
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| | | | |
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| PROJECT NORTH | | TRUE NORTH | |
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3705 HAVEN AVE
MENLO PARK, CA

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PARCEL NO. 055170240

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| 07-26-2024 | PLANNING & SB330 REV 6 |

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

FIFTH FLOOR PLAN

A2.05

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G1 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
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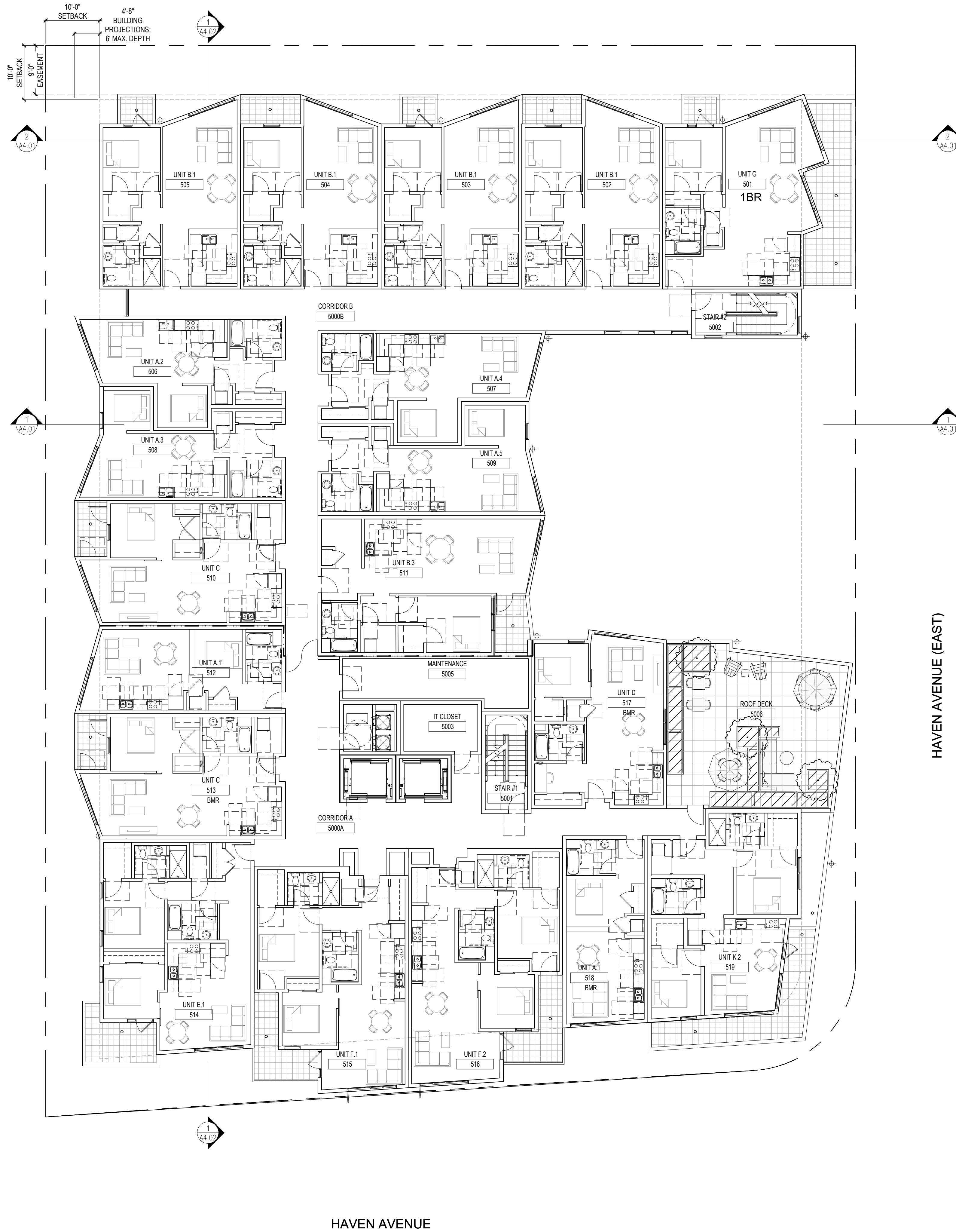
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| | | | |
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MENLO PARK, CA

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CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

SIXTH FLOOR PLAN

A2.06

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
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(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

**SEVENTH
FLOOR PLAN**

A2.07

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G1 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS
- SEE A8 SERIES FOR WALL, FLOOR & ROOF ASSEMBLIES
- SEE A9 SERIES FOR DOOR, WINDOW & FINISH SCHEDULES
- SEE A10 SERIES FOR TYPICAL FOUNDATION DETAILS
- SEE A11 SERIES FOR GENERAL ACOUSTICAL DETAILS
- PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1206.
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- EXHAUST SHAFTS SHALL COMPLY WITH 2022 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS, S.M.D. FOR MORE INFORMATION.
- ALL PENETRATIONS SHALL CONFORM PER 2022 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
- ALL HABITABLE ROOMS SHALL BE HEATED PER 2022 CBC 1203
- ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
- PROVIDE FLOOR DRAINS, SLOPE 1/4" FOOT.
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
- ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT. SEE A8 SERIES FOR ADDITIONAL DETAILS.
- 5 LB. CLASS ABC FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO AN EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS. SEE A11 SERIES FOR RECESS CABINET INSTALLATION DETAIL
- BUILDING IS REQUIRED TO MEET 2022 CBC SECTION 1206 SOUND TRANSMISSION REQUIREMENTS.

SHEET NOTES

- REPLACE (E) SIDEWALK CONCRETE, CURB & GUTTER; S.C.D. & S.L.D.
- PROPERTY LINE; S.C.D.
- (N) CURB CUT; S.C.D.
- (N) STREET TREE; S.L.D.
- (E) STREET TREE TO REMAIN; S.L.D.
- (N) PAVING; TYP. THROUGHOUT, S.L.D.
- (N) LANDSCAPING; TYP. THROUGHOUT, S.L.D.
- (N) FENCING; TYP. THROUGHOUT, S.L.D.
- BUILDING INTERCOM SYSTEM; S.E.D.
- (N) ENTRY STAIRS & RAMP; S.L.D.
- SHORT TERM BIKE PARKING; S.L.D.
- LONG TERM BIKE PARKING; S.L.D.
- 42" GUARD
- FLOOR/ROOF ABOVE, TYP.
- BUILDING EDGE BELOW, TYP.
- ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN; SEE A8 SERIES
- NO ROOF OPENINGS WITHIN 4' OF FIREWALL. ALL ROOF SHEATHING WITHIN 4' OF FIREWALL TO BE FRT
- OCCUPIABLE DECK; S.L.D.
- NON-OCCUPIABLE ROOF
- MECHANICAL & PLUMBING EQUIPMENT; S.M.D. & S.P.D.
- ELECTRICAL METERS; S.E.D.
- GSM GUTTER, PAINT; S.P.D.
- GSM DOWNSPOUT, PAINT; S.P.D.
- RECESSED FIRE EXTINGUISHER 5LB, CLASS ABC, SEE DETAIL 19/A11.04
- 2-WAY EMERGENCY COMMUNICATION SYSTEM; WIRING IN 2 HR. RATED CONDUIT
- MAILBOX AND PACKAGE SYSTEM

LEGEND

| | | | |
|-----|---|-----|--|
| --- | PROPERTY LINE | ○ | DRAIN |
| --- | 1-HR. FIRE RATED WALL | ⊕ | DOWNSPOUT |
| --- | 2-HR. FIRE RATED WALL | → | ROOF SLOPE |
| --- | 3-HR. FIRE RATED WALL | ⊗ | WALL ASSEMBLY, SEE A8 SERIES |
| --- | NON-OCCUPIABLE ROOF | | |
| --- | ROOF PAVERS, OCCUPIED ROOF; SEE A2 SERIES | | |
| --- | HARDSCAPE AREA, S.L.D. | --- | ACCESSIBLE DRIVE AISLE, 8'-2" MIN. VERTICAL CLR. |
| --- | LANDSCAPE AREA, S.L.D. | | |

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

| | | | |
|---------------|--|------------|--|
| PROJECT NORTH | | TRUE NORTH | |
|---------------|--|------------|--|



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**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|-----|------------|------------------------|
| | 04-14-2023 | PLANNING & SB330 REV 2 |
| | 09-22-2023 | PLANNING & SB330 REV 3 |
| | 03-20-2024 | PLANNING & SB330 REV 4 |
| | 06-13-2024 | PLANNING & SB330 REV 5 |
| | 07-26-2024 | PLANNING & SB330 REV 6 |

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: **AS NOTED**

EIGHTH FLOOR PLAN

A2.08

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE G1 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
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- SEE A5 SERIES FOR UNIT DIMENSIONS, UNIT WALL TYPES, UNIT DOOR TAGS AND UNIT REFLECTED CEILING PLANS
- SEE A8 SERIES FOR WALL, FLOOR & ROOF ASSEMBLIES
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- PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1206.
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- ALL HABITABLE ROOMS SHALL BE HEATED PER 2022 CBC 1203
- ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
- PROVIDE FLOOR DRAINS, SLOPE 1/4" FOOT.
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
- ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT. SEE A8 SERIES FOR ADDITIONAL DETAILS.
- 5 LB. CLASS ABC FIRE EXTINGUISHER SPACED SO THAT EVERY INTERIOR SPACE IS WITHIN 75' TO AN EXTINGUISHER. CABINET TO NOT PROTRUDE MORE THAN 4" INTO WALKWAYS. SEE A11 SERIES FOR RECESS CABINET INSTALLATION DETAIL
- BUILDING IS REQUIRED TO MEET 2022 CBC SECTION 1206 SOUND TRANSMISSION REQUIREMENTS.

SHEET NOTES

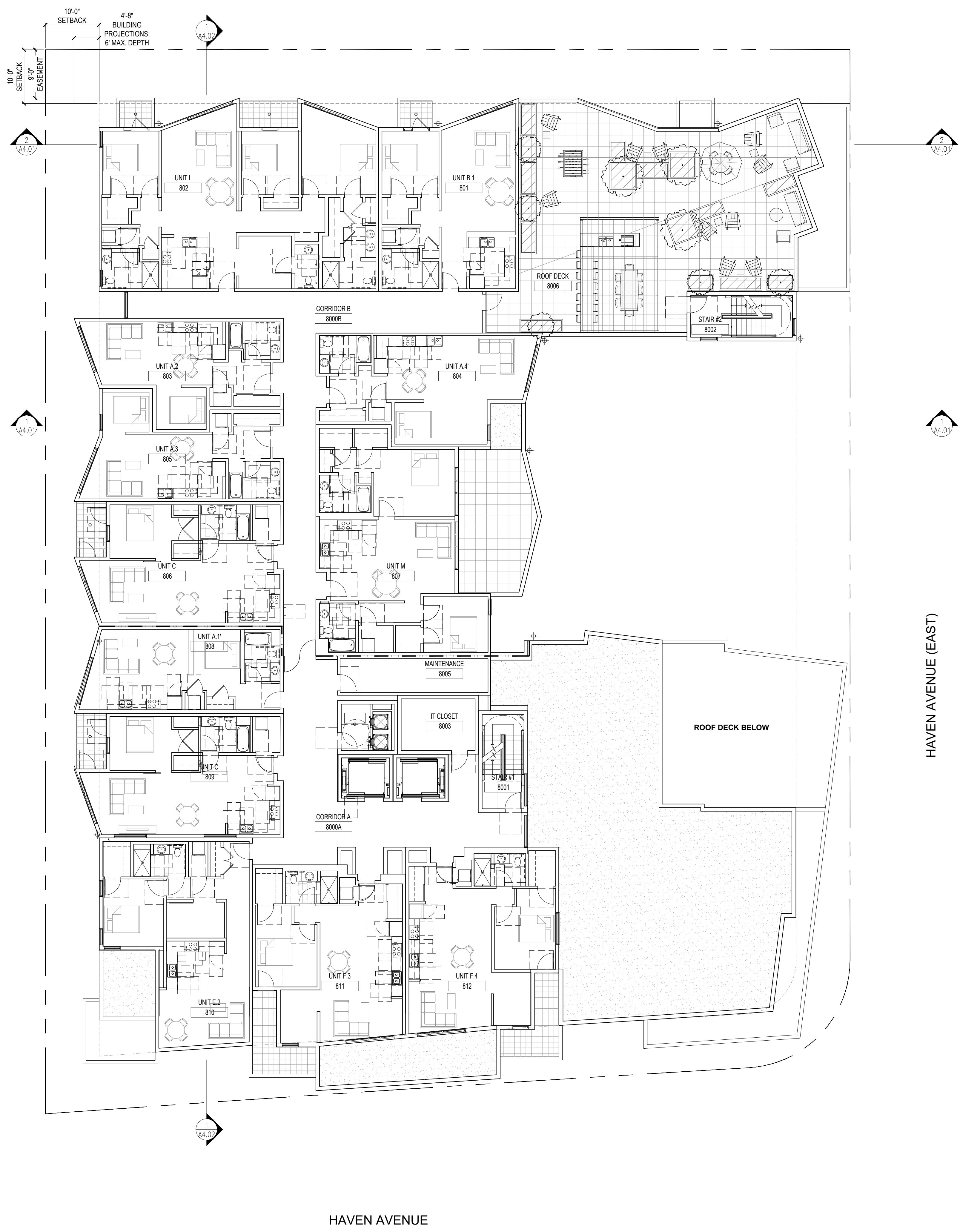
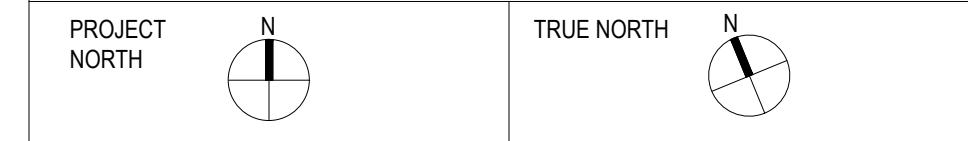
- REPLACE (E) SIDEWALK CONCRETE, CURB & GUTTER; S.C.D. & S.L.D.
- PROPERTY LINE; S.C.D.
- (N) CURB CUT; S.C.D.
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- (N) LANDSCAPING; TYP. THROUGHOUT, S.L.D.
- (N) FENCING; TYP. THROUGHOUT, S.L.D.
- BUILDING INTERCOM SYSTEM; S.E.D.
- (N) ENTRY STAIRS & RAMP; S.L.D.
- SHORT TERM BIKE PARKING; S.L.D.
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- 42" GUARD
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- ROOF, SLOPE MIN. 1/4" PER FT TO DRAIN; SEE A8 SERIES
- NO ROOF OPENINGS WITHIN 4' OF FIREWALL. ALL ROOF SHEATHING WITHIN 4' OF FIREWALL TO BE FRT
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- NON-OCCUPIABLE ROOF
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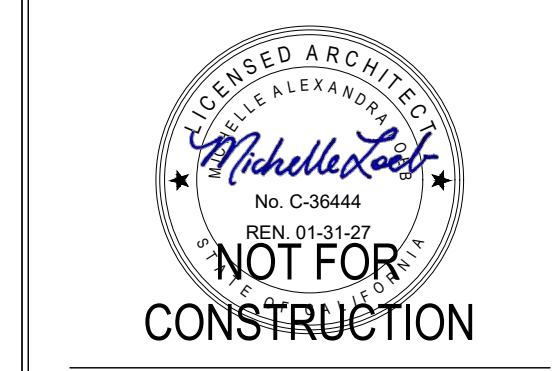
LEGEND

| | | | |
|-----|---|-----|--|
| --- | PROPERTY LINE | ○ | DRAIN |
| --- | 1-HR. FIRE RATED WALL | ⊕ | DOWNSPOUT |
| --- | 2-HR. FIRE RATED WALL | → | ROOF SLOPE |
| --- | 3-HR. FIRE RATED WALL | ⊠ | WALL ASSEMBLY, SEE A8 SERIES |
| --- | NON-OCCUPIABLE ROOF | | |
| --- | ROOF PAVERS, OCCUPIED ROOF; SEE A2 SERIES | | |
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DIMENSION NOTES

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3705 HAVEN AVE
MENLO PARK, CA
PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|------------|------------------|-------------|
| 09-22-2023 | PLANNING & SB330 | REV 3 |
| 03-20-2024 | PLANNING & SB330 | REV 4 |
| 06-13-2024 | PLANNING & SB330 | REV 5 |
| 07-26-2024 | PLANNING & SB330 | REV 6 |
| 08-28-2024 | PLANNING & SB330 | REV 7 |

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

ROOF PLAN

A2.09

GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
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- (E) STREET TREE TO REMAIN; S.L.D.
- (N) PAVING; TYP. THROUGHOUT, S.L.D.
- (N) LANDSCAPING; TYP. THROUGHOUT, S.L.D.
- (N) FENCING; TYP. THROUGHOUT, S.L.D.
- BUILDING INTERCOM SYSTEM; S.E.D.
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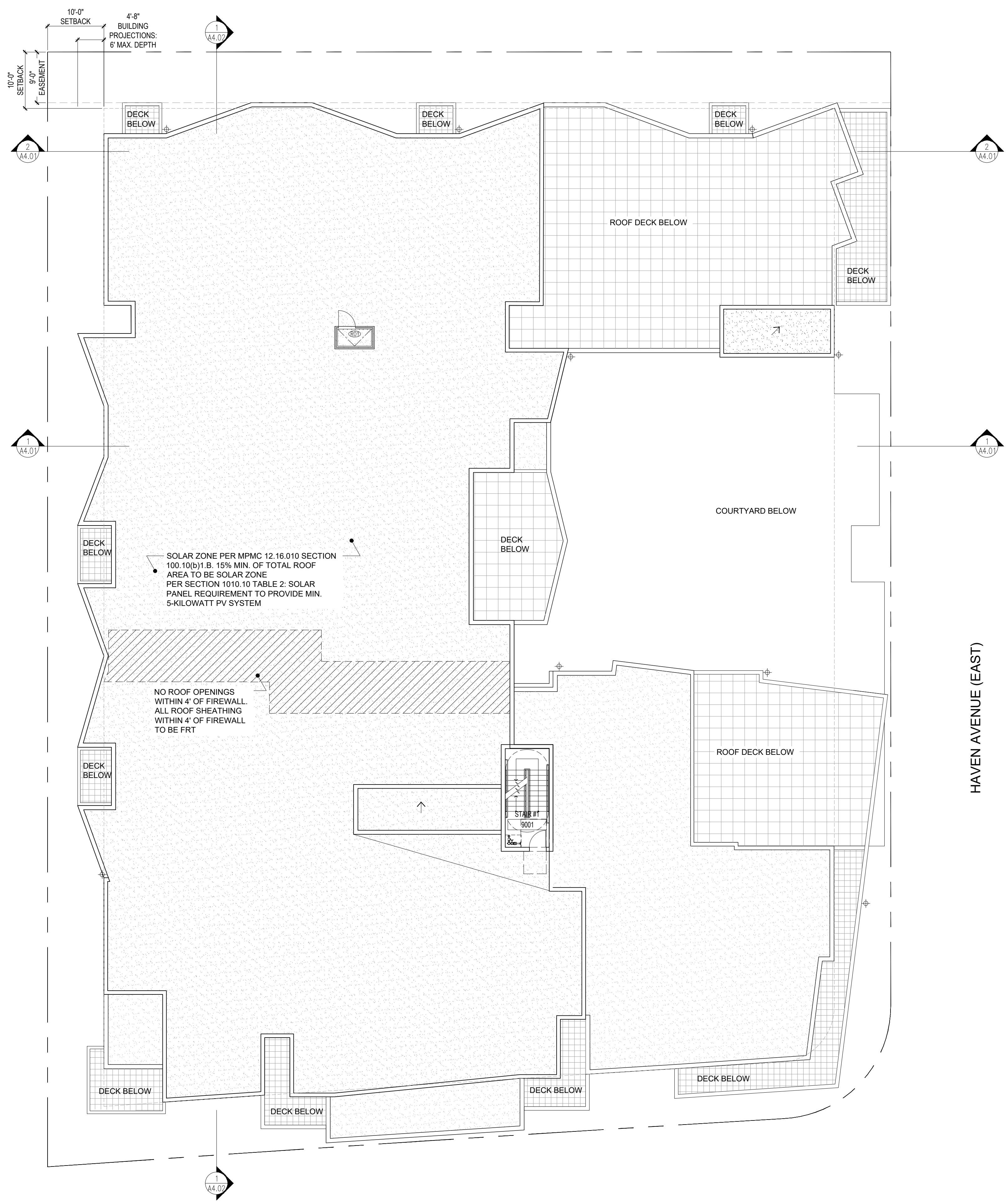
LEGEND

| | | | |
|-----|---|---|--|
| --- | PROPERTY LINE | ○ | DRAIN |
| --- | 1-HR. FIRE RATED WALL | ⊕ | DOWNSPOUT |
| --- | 2-HR. FIRE RATED WALL | → | ROOF SLOPE |
| --- | 3-HR. FIRE RATED WALL | ⊠ | WALL ASSEMBLY, SEE A8 SERIES |
| □ | NON-OCCUPIABLE ROOF | | |
| ▨ | ROOF PAVERS, OCCUPIED ROOF; SEE A2 SERIES | | |
| ▩ | HARDSCAPE AREA, S.L.D. | ▨ | ACCESSIBLE DRIVE AISLE, 8'-2" MIN. VERTICAL CLR. |
| ▩ | LANDSCAPE AREA, S.L.D. | | |

DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

| | | | |
|---------------|--|------------|--|
| PROJECT NORTH | | TRUE NORTH | |
|---------------|--|------------|--|



**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|-----|------------|------------------------|
| | 04-14-2023 | PLANNING & SB330 REV 2 |
| | 09-22-2023 | PLANNING & SB330 REV 3 |
| | 03-20-2024 | PLANNING & SB330 REV 4 |
| | 06-13-2024 | PLANNING & SB330 REV 5 |
| | 07-26-2024 | PLANNING & SB330 REV 6 |

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

RENDERING

A3.00A



2 3D VIEW FROM CORNER OF HAVEN STREET
N.T.S.



1 3D VIEW FROM HAVEN STREET EAST
N.T.S.

LEGEND

- 1A CEMENT PLASTER, COLOR #1
- 1B CEMENT PLASTER, COLOR #2
- 1C CEMENT PLASTER, COLOR #2
- 2A FIBER CEMENT PANEL, CEMBRIT PATTERN #1
- 2B FIBER CEMENT PANEL, CEMBRIT PATTERN #2
- 3 FIBER CEMENT PANEL, JAMES HARDIE
- 4A METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #1
- 4B METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #2
- 5 WOOD LOOK ALUMINUM SLAT, KNOTWOOD SIDING
- 6 TILE PANEL
- 7 GUARDRAIL, VERTICAL RECTANGULAR METAL PICKET
- 7A GUARDRAIL, OPEN SQUARE METAL WIRE
- 8 SUNSHADE
- 9 FRAMED PERFORATED METAL PANEL
- 10 LANDSCAPING; S.L.D.
- 11 FENCING; S.L.D.
- 12 GARAGE DOOR
- 13 MURAL OR TILE MOSAIC
- 14 LANDSCAPE PORTAL, S.L.D.

LEGEND

- PROPERTY LINE

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

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(415) 777-5117 F

SCALE:
AS NOTED

RENDERING

A3.00B



2 3D VIEW FROM REAR CORNER OF HAVEN STREET
N.T.S.



1 3D VIEW FROM HAVEN STREET SOUTH
N.T.S.

LEGEND

- 1A CEMENT PLASTER, COLOR #1
- 1B CEMENT PLASTER, COLOR #2
- 1C CEMENT PLASTER, COLOR #2
- 2A FIBER CEMENT PANEL, CEMBRIT PATTERN #1
- 2B FIBER CEMENT PANEL, CEMBRIT PATTERN #2
- 3 FIBER CEMENT PANEL, JAMES HARDIE
- 4A METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #1
- 4B METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #2
- 5 WOOD LOOK ALUMINUM SLAT, KNOTWOOD SIDING
- 6 TILE PANEL
- 7 GUARDRAIL, VERTICAL RECTANGULAR METAL PICKET
- 7A GUARDRAIL, OPEN SQUARE METAL WIRE
- 8 SUNSHADE
- 9 FRAMED PERFORATED METAL PANEL
- 10 LANDSCAPING; S.L.D.
- 11 FENCING; S.L.D.
- 12 GARAGE DOOR
- 13 MURAL OR TILE MOSAIC
- 14 LANDSCAPE PORTAL, S.L.D.

LEGEND

- PROPERTY LINE



LEGEND

- (1A) CEMENT PLASTER, COLOR #1
- (1B) CEMENT PLASTER, COLOR #2
- (1C) CEMENT PLASTER, COLOR #3
- (2A) FIBER CEMENT PANEL, CEMBRIT PATTERN #1
- (2B) FIBER CEMENT PANEL, CEMBRIT PATTERN #2
- (3) FIBER CEMENT PANEL, JAMES HARDIE
- (4A) METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #1
- (4B) METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #2
- (5) WOOD LOOK ALUMINUM SLAT, KNOTWOOD SIDING
- (6) TILE PANEL
- (7) GUARDRAIL, VERTICAL RECTANGULAR METAL PICKET
- (7A) GUARDRAIL, OPEN SQUARE METAL WIRE
- (8) SUNSHADE
- (9) FRAMED PERFORATED METAL PANEL
- (10) LANDSCAPING; S.L.D.
- (11) FENCING; S.L.D.
- (12) GARAGE DOOR
- (13) MURAL OR TILE MOSAIC
- (14) LANDSCAPE PORTAL, S.L.D.



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3705 HAVEN AVE
MENLO PARK, CA



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PROJECT NO. 21-07
PARCEL NO. 055170240

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| | 04-14-2023 | PLANNING & SB330 REV 2 |
| | 09-22-2023 | PLANNING & SB330 REV 3 |
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CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

ELEVATIONS

A3.01



3705 HAVEN AVE
MENLO PARK, CA



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
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| 04-14-2023 | PLANNING & SB330 REV 2 | |
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CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

ELEVATIONS

A3.02

LEGEND

- (1A) CEMENT PLASTER, COLOR #1
- (1B) CEMENT PLASTER, COLOR #2
- (1C) CEMENT PLASTER, COLOR #3
- (2A) FIBER CEMENT PANEL, CEMBRIT PATTERN #1
- (2B) FIBER CEMENT PANEL, CEMBRIT PATTERN #2
- (3) FIBER CEMENT PANEL, JAMES HARDIE
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- (8) SUNSHADE
- (9) FRAMED PERFORATED METAL PANEL
- (10) LANDSCAPING; S.L.D.
- (11) FENCING; S.L.D.
- (12) GARAGE DOOR
- (13) MURAL OR TILE MOSAIC
- (14) LANDSCAPE PORTAL, S.L.D.



2 ELEVATION : WEST
3/32" = 1'-0"



1 ELEVATION : NORTH
3/32" = 1'-0"

3705 HAVEN AVE
MENLO PARK, CA



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|-----|------------|------------------------|
| | 04-14-2023 | PLANNING & SB330 REV 2 |
| | 09-22-2023 | PLANNING & SB330 REV 3 |
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| | 06-13-2024 | PLANNING & SB330 REV 5 |
| | 07-26-2024 | PLANNING & SB330 REV 6 |

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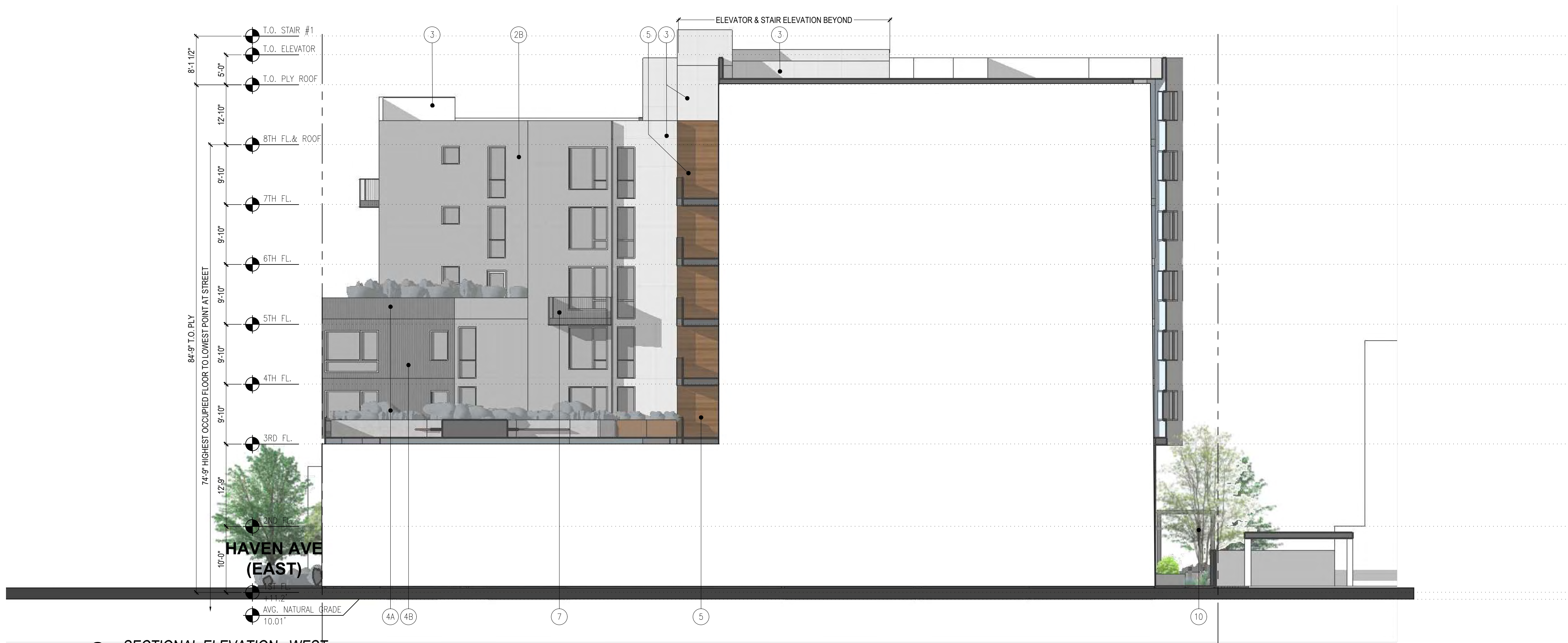
SCALE:
AS NOTED

ELEVATIONS

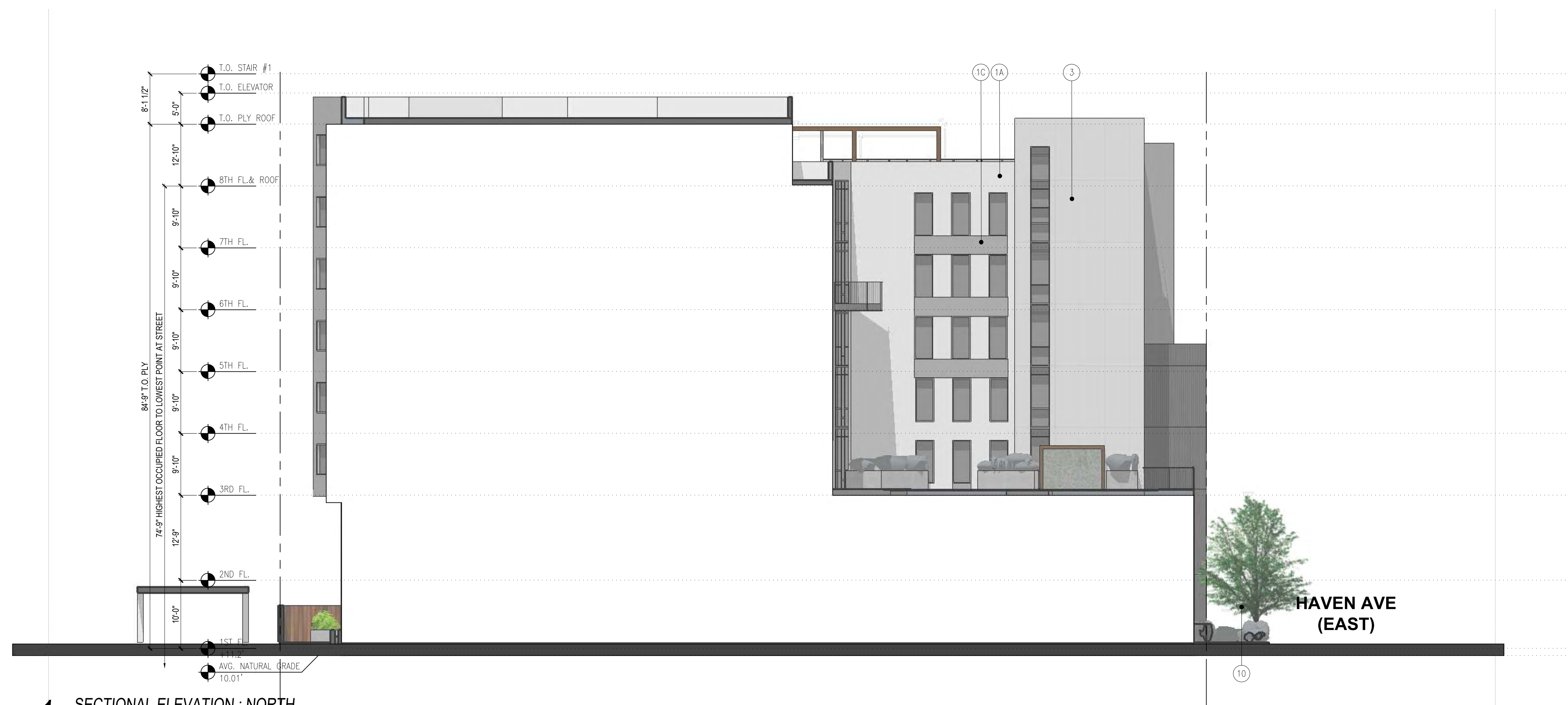
A3.03

LEGEND

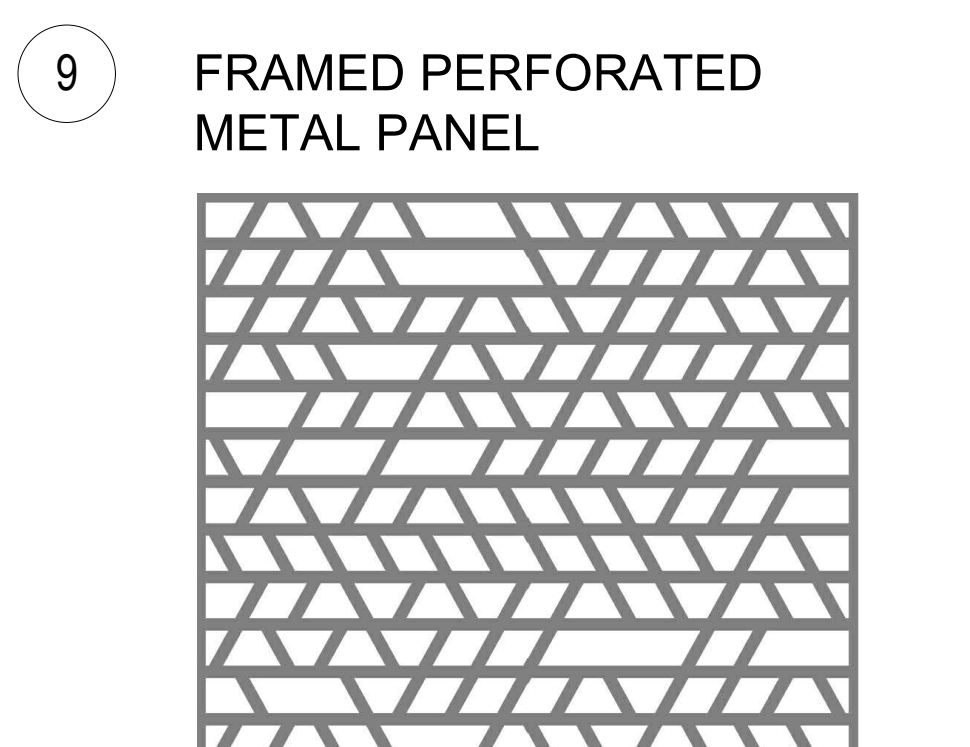
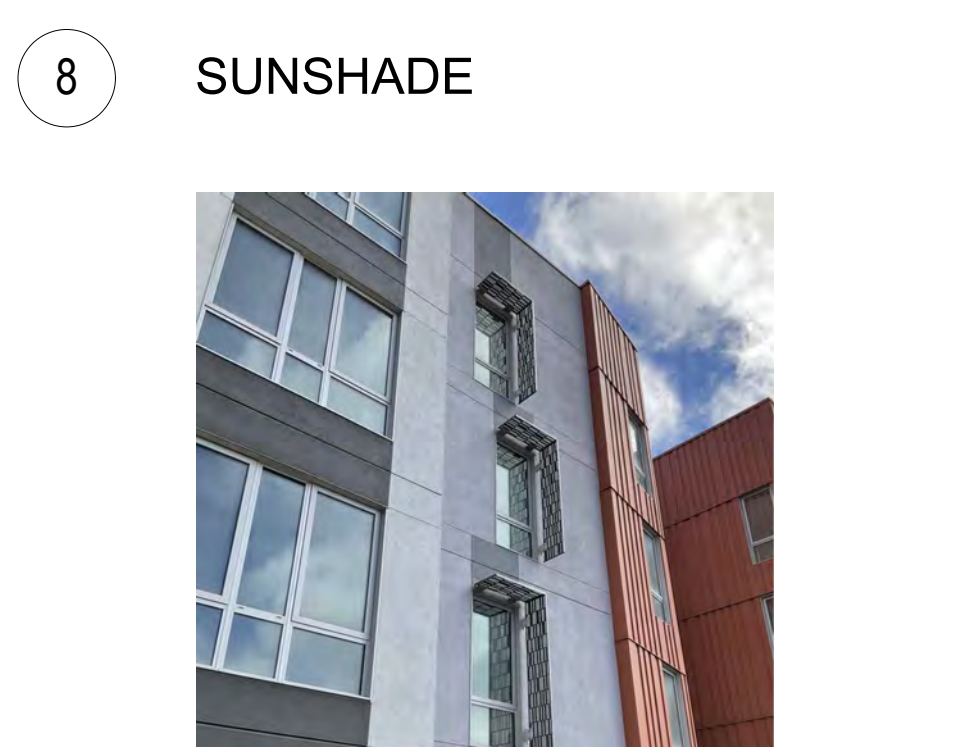
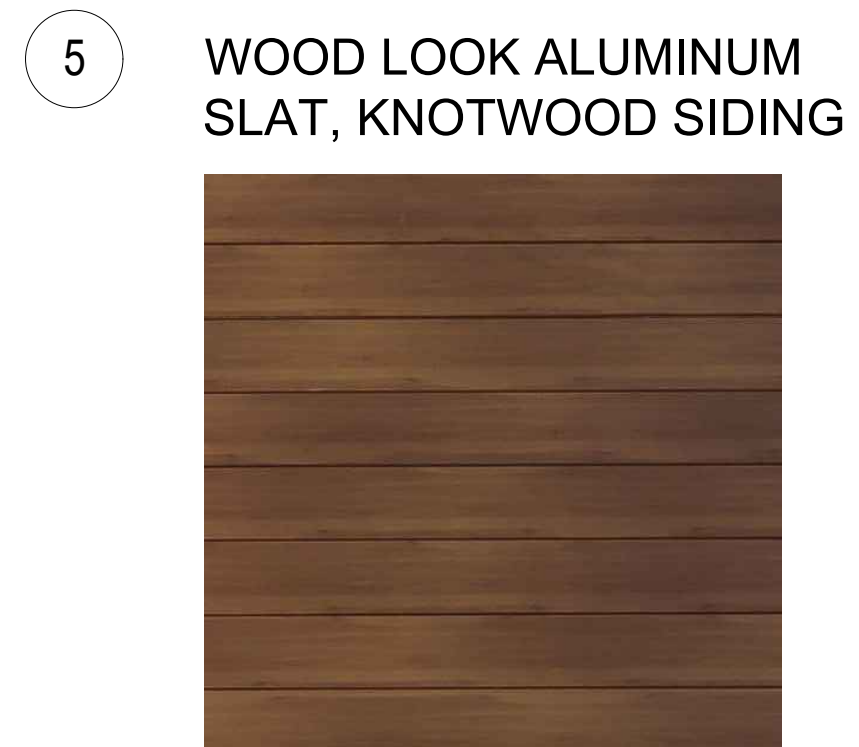
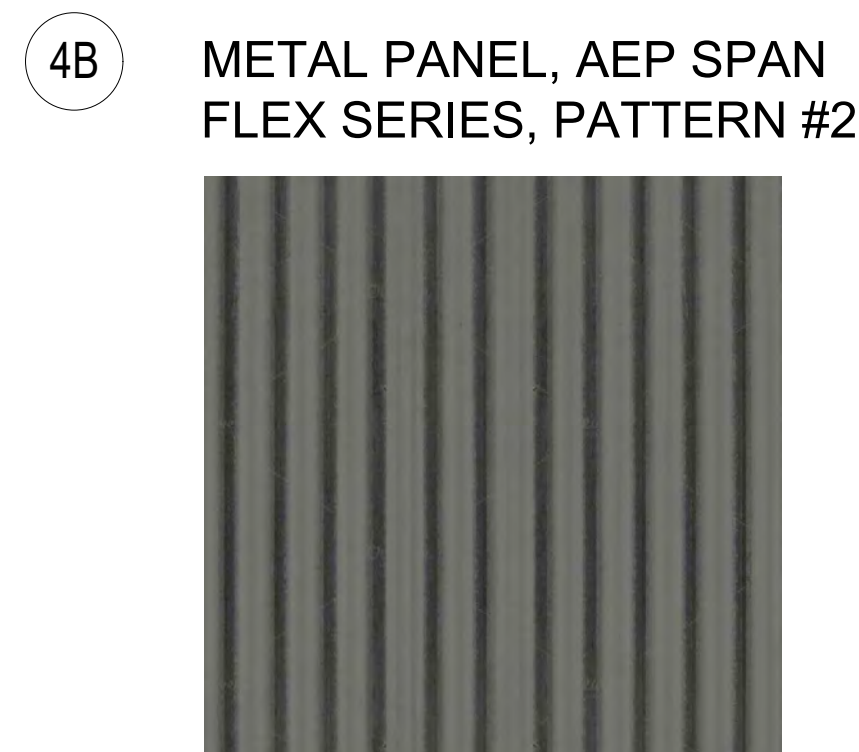
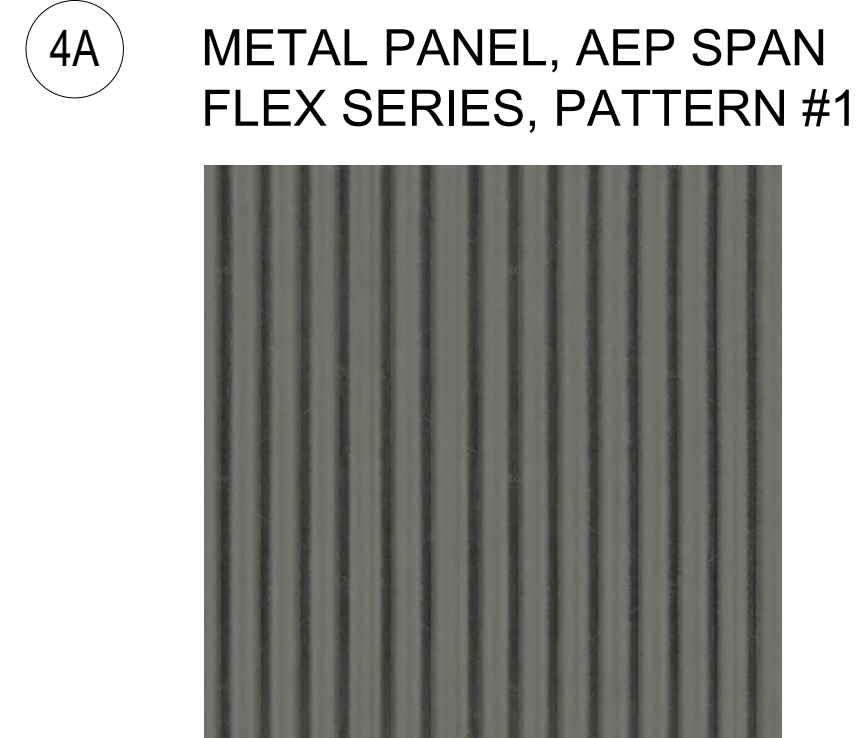
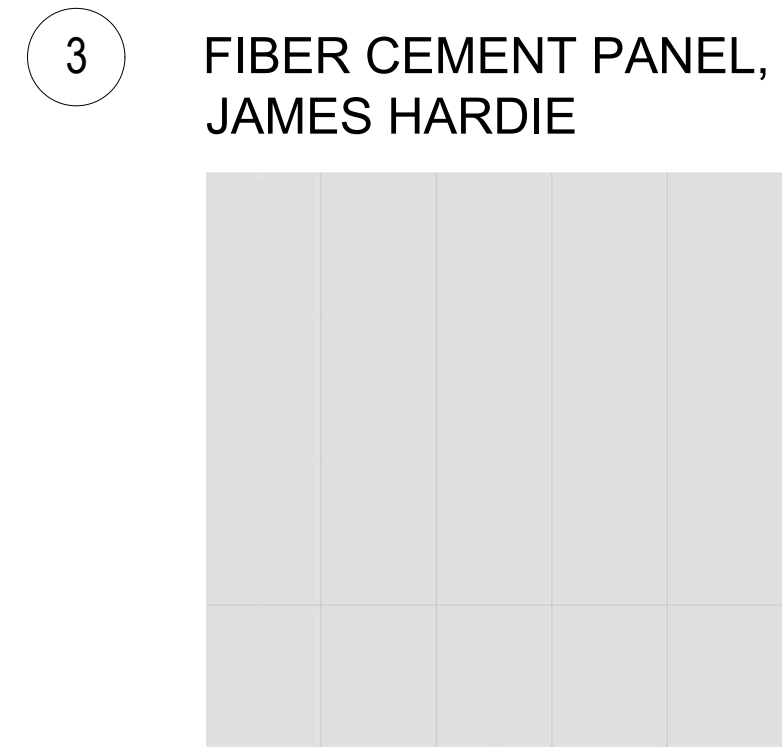
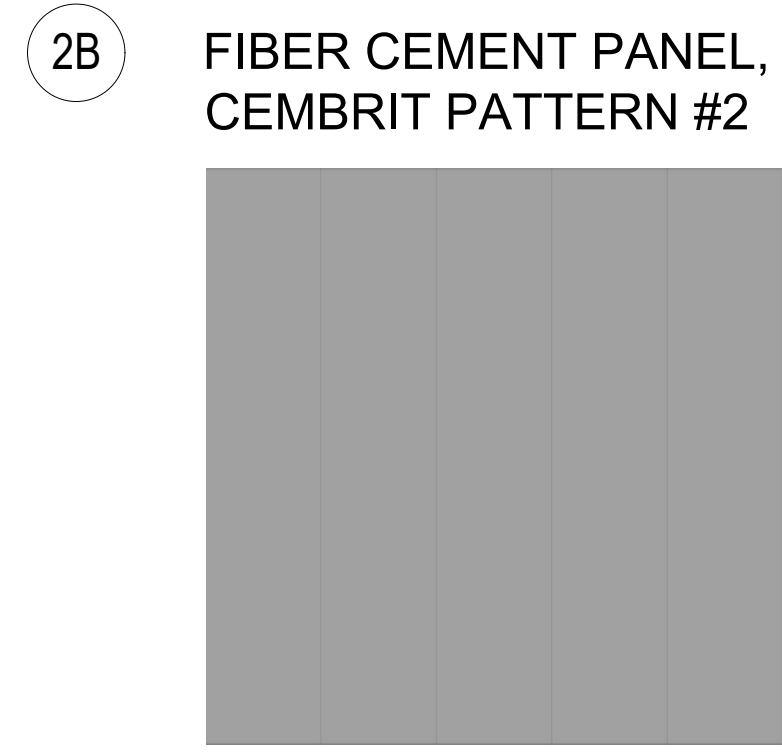
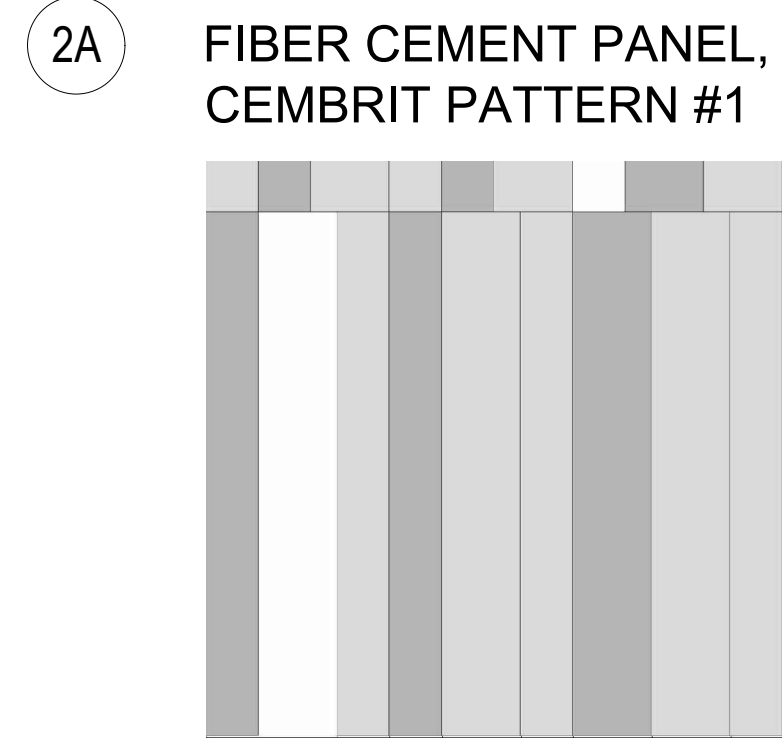
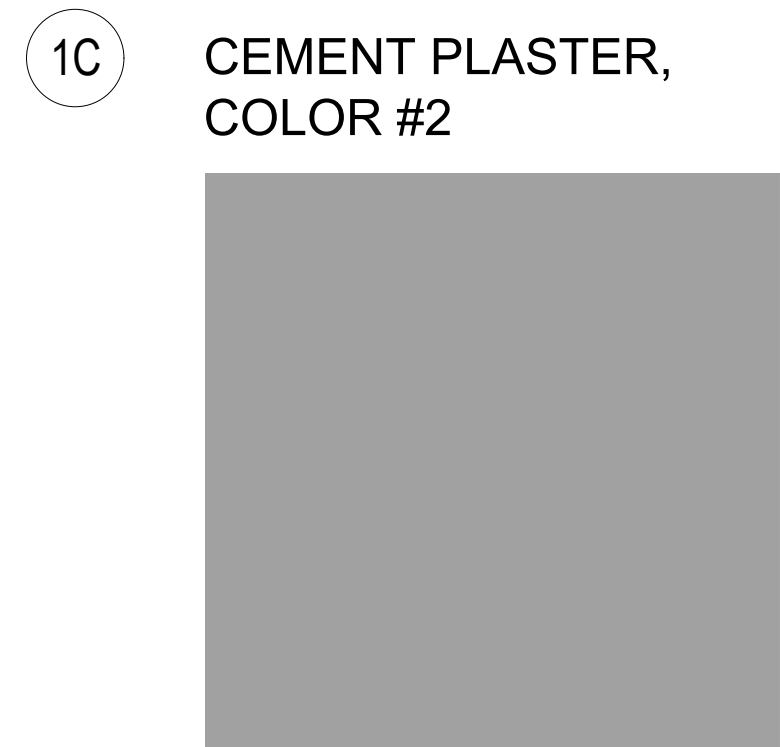
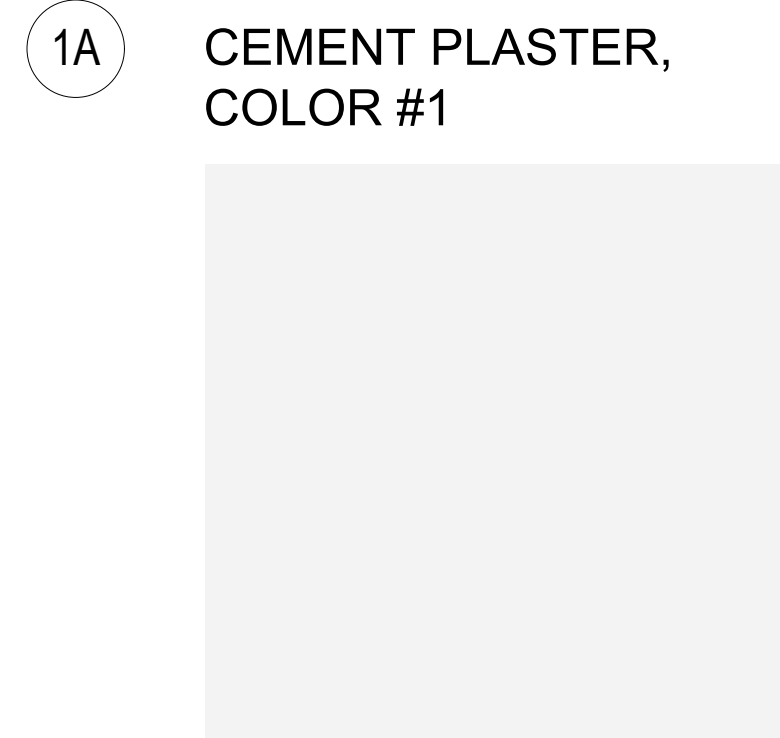
- (1A) CEMENT PLASTER, COLOR #1
- (1B) CEMENT PLASTER, COLOR #2
- (1C) CEMENT PLASTER, COLOR #2
- (2A) FIBER CEMENT PANEL, CEMBRIT PATTERN #1
- (2B) FIBER CEMENT PANEL, CEMBRIT PATTERN #2
- (3) FIBER CEMENT PANEL, JAMES HARDIE
- (4A) METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #1
- (4B) METAL PANEL, AEP SPAN FLEX SERIES, PATTERN #2
- (5) WOOD LOOK ALUMINUM SLAT, KNOTWOOD SIDING
- (6) TILE PANEL
- (7) GUARDRAIL, VERTICAL RECTANGULAR METAL PICKET
- (7A) GUARDRAIL, OPEN SQUARE METAL WIRE
- (8) SUNSHADE
- (9) FRAMED PERFORATED METAL PANEL
- (10) LANDSCAPING; S.L.D.
- (11) FENCING; S.L.D.
- (12) GARAGE DOOR
- (13) MURAL OR TILE MOSAIC
- (14) LANDSCAPE PORTAL, S.L.D.



2 SECTIONAL ELEVATION : WEST
3/32" = 1'-0"

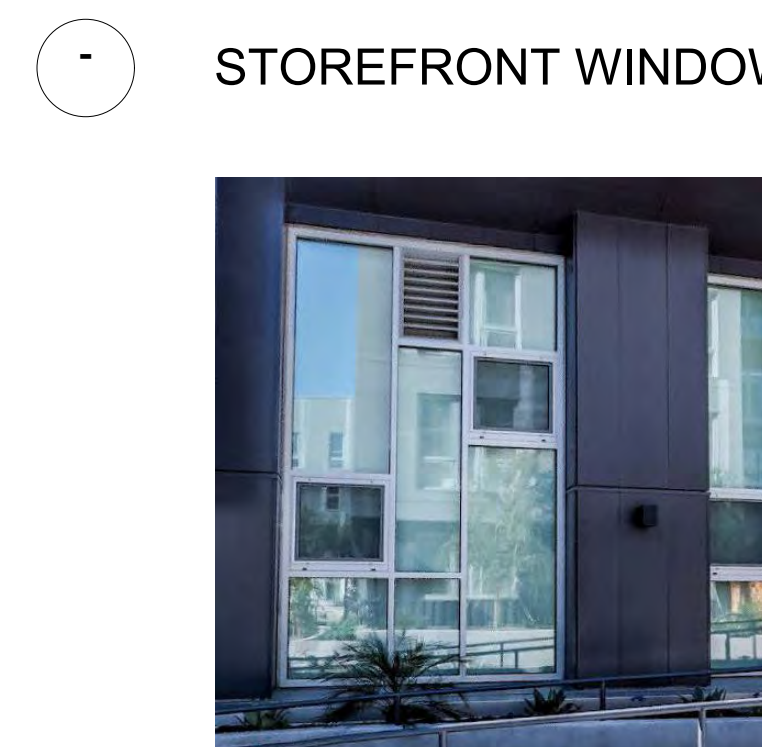
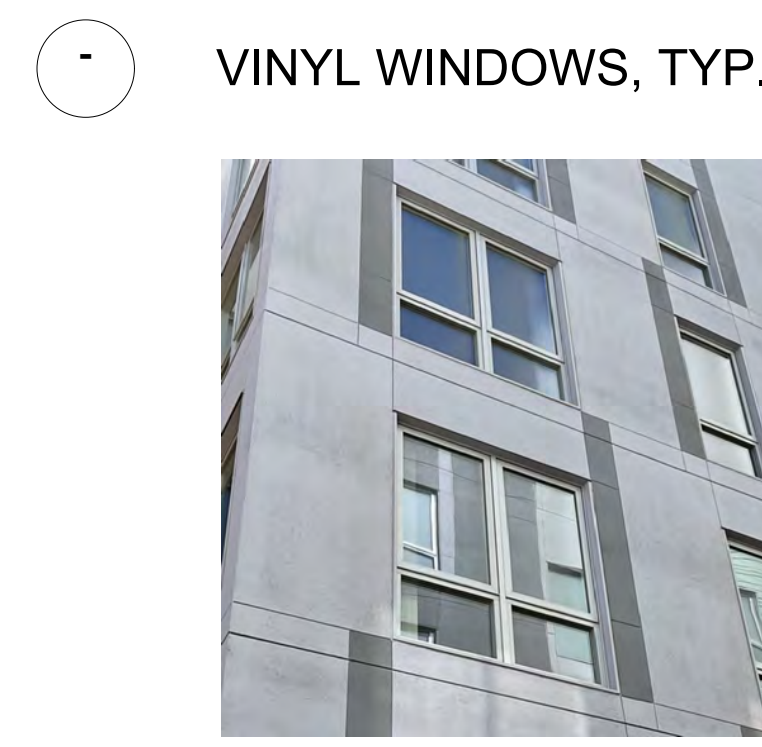
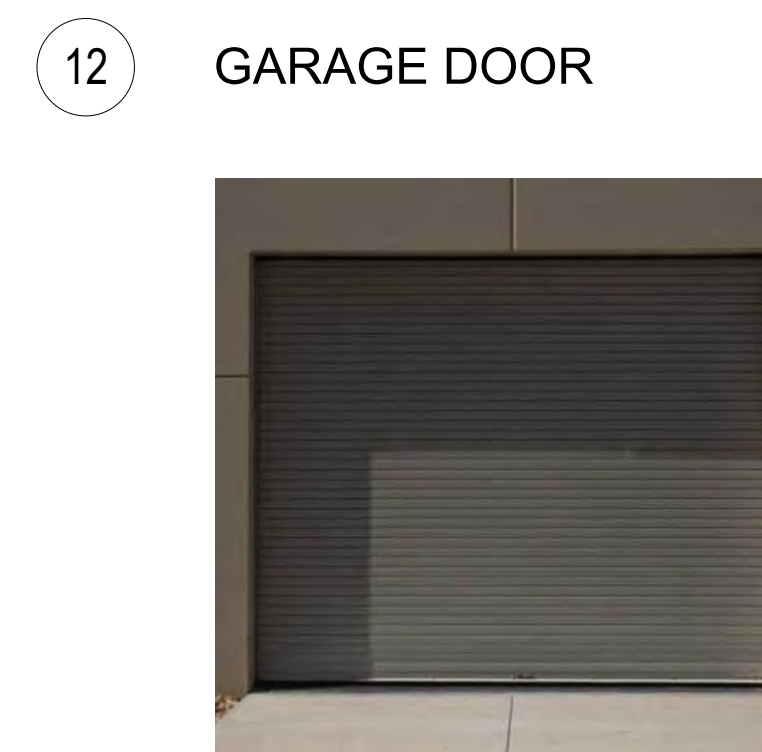


1 SECTIONAL ELEVATION : NORTH
3/32" = 1'-0"



10 LANDSCAPING; S.L.D.

11 FENCING; S.L.D.



3705 HAVEN AVE
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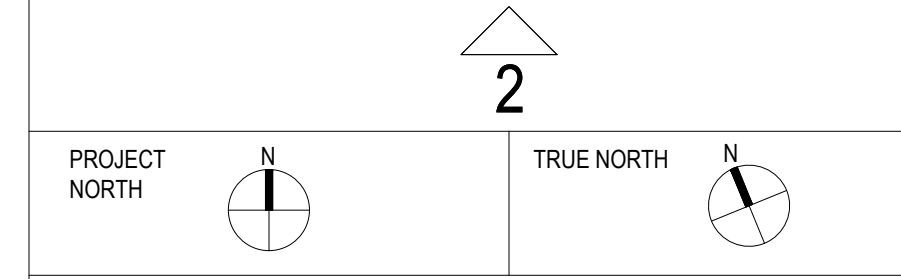
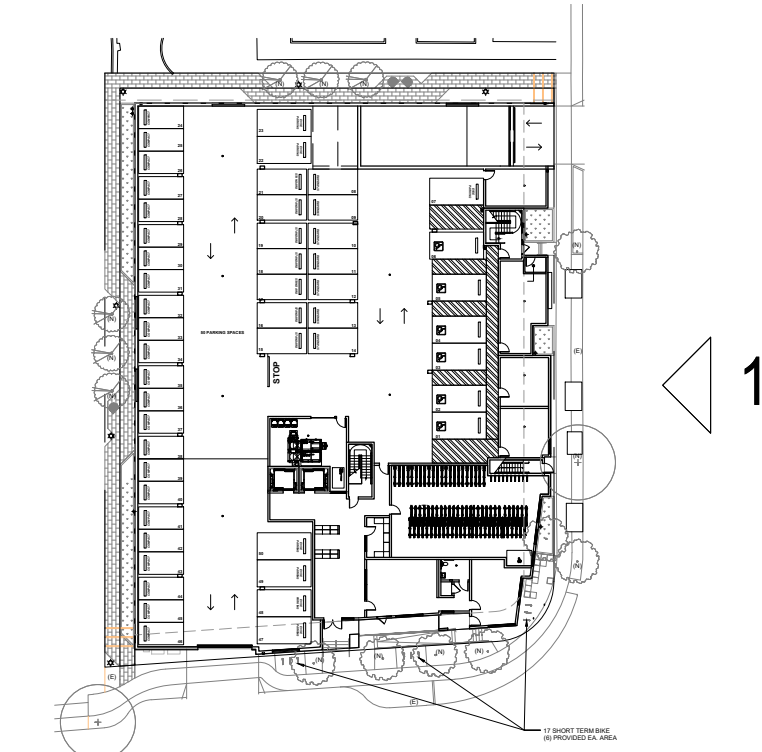
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SCALE:
AS NOTED

MATERIALS

SEE RENDERINGS & ELEVATIONS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS SHEET

SHEET NOTES



PROPERTY LINE

MUNICIPAL CODE 16.45.120 (1) - Build-To Area Requirement
Minimum 60% of street frontage within 25'-0" of setback.
The minimum building frontage at the ground floor or podium level, as a percentage of the street frontage length, that must be located within the area of the lot between the minimum and maximum setback lines parallel to the street.

HAVEN EAST: LENGTH OF BUILDING FRONTAGE: 198'-0"
MIN. FRONTAGE WITHIN SETBACKS: 198'-0" X 60% = 118'-9"
PROPOSED FRONTAGE WITHIN SETBACKS: 174'-4" > 118'-9"
COMPLIES

HAVEN SOUTH LENGTH OF BUILDING FRONTAGE: 149'-8 1/2"
MIN. FRONTAGE WITHIN SETBACKS: 149'-8 1/2" X 60% = 89'-9"
PROPOSED FRONTAGE WITHIN SETBACKS: 138'-9 3/4" > 89'-9"
COMPLIES

MUNICIPAL CODE 16.45.120 (3) - BUILDING ENTRANCES
One entrance every 200 feet of building length along a public street or paseo. A minimum of one is required along each length.

BUILDING ENTRANCES

MUNICIPAL CODE 16.45.120 (3) - GARAGE ENTRANCES
Maximum 12-foot opening for one-way entrance; maximum 24-foot opening for two-way entrance

GARAGE ENTRANCES

MUNICIPAL CODE 16.45.120 (3) - AWNINGS, SIGNS & CANOPIES
The maximum depth of awnings, signs, and canopies that project horizontally from the face of the building is 7 feet.

AWNING

MUNICIPAL CODE 16.45.120 (6) (G) - Rooflines and eaves
adjacent to street-facing facades shall vary across a building, including a four (4) foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets

ROOF LINE

MUNICIPAL CODE 16.45.120 (6) (F) - Stucco shall not be used on more than fifty percent (50%) of the building facade. When stucco is used, it must be smooth troweled.

Building Complies, no stucco is used at street frontages

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MENLO PARK, CA**



3705 HAVEN AVE
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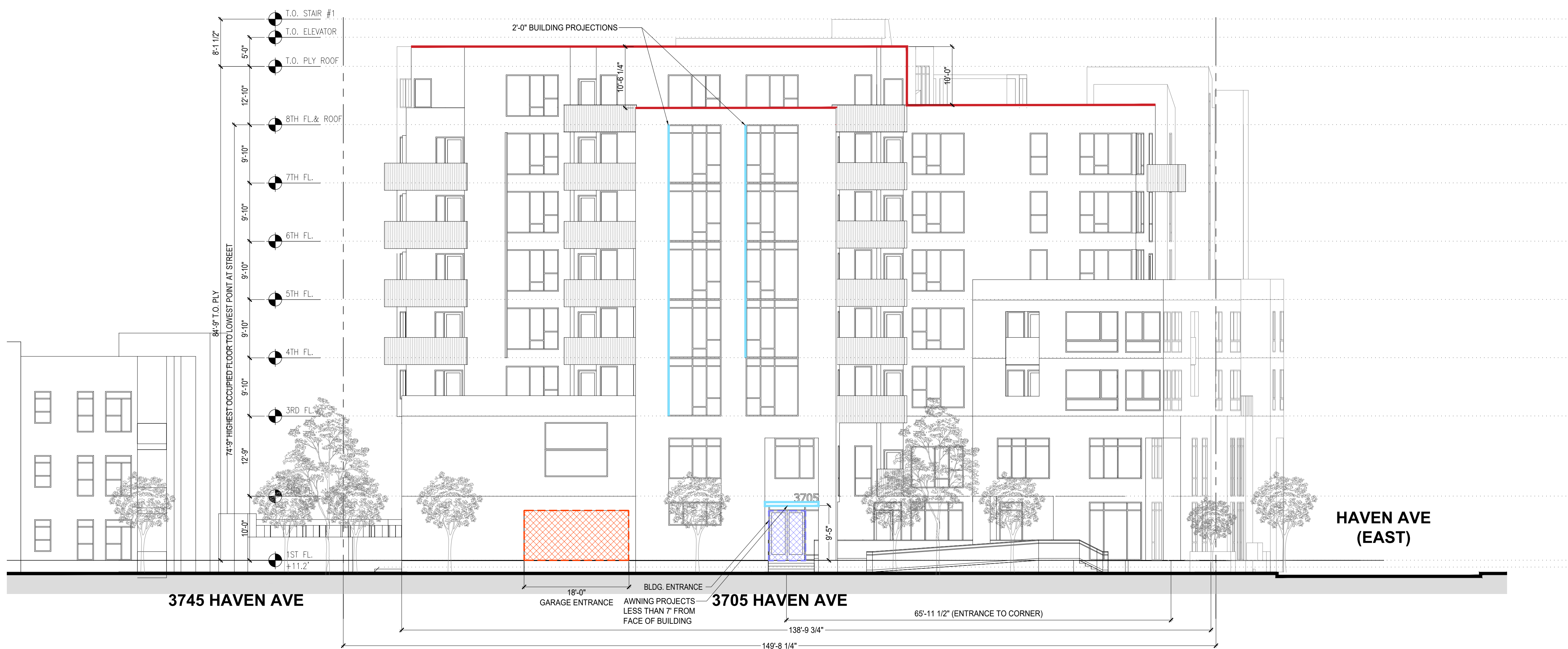
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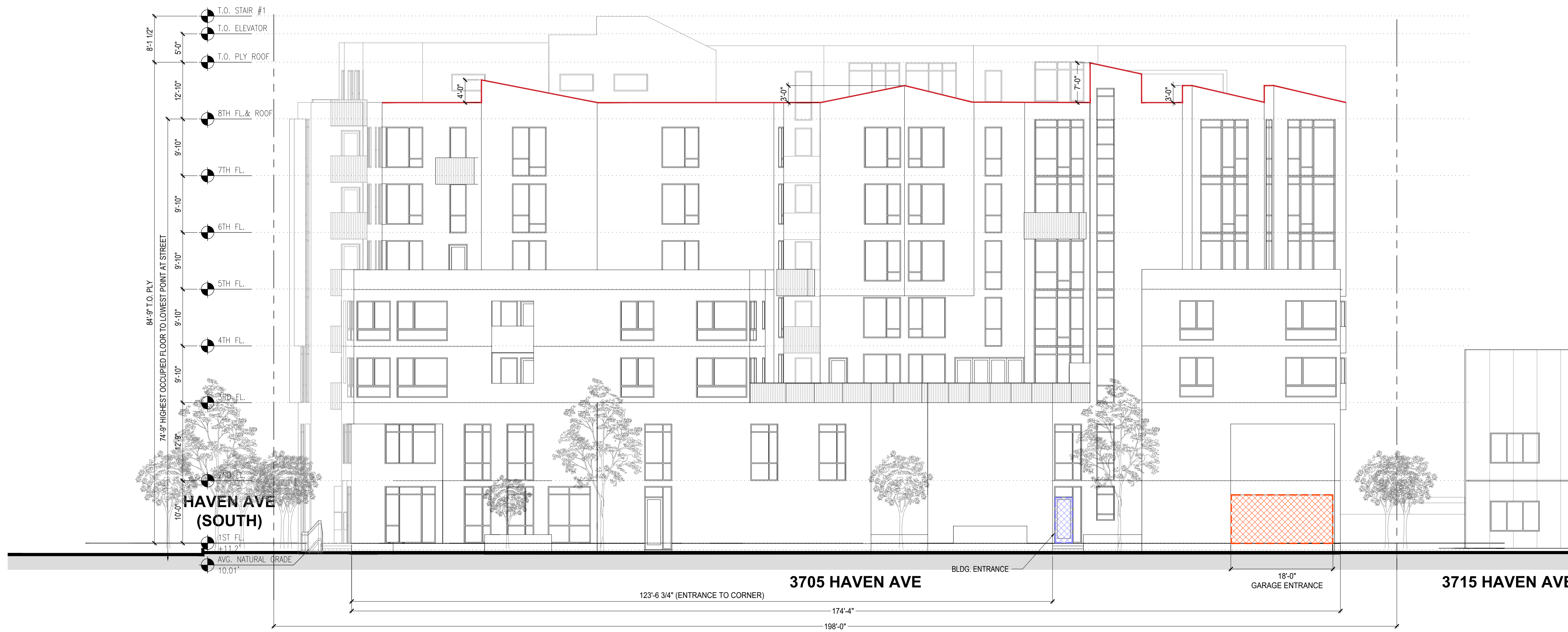
SCALE:
AS NOTED

**ZONING
DIAGRAM**

A3.05A



2 ELEVATION : HAVEN STREET SOUTH - STREET FRONTAGE
3/32" = 1'-0"



1 ELEVATION : HAVEN STREET EAST - STREET FRONTAGE
3/32" = 1'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



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MENLO PARK, CA

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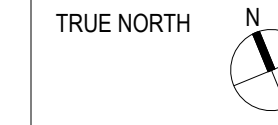
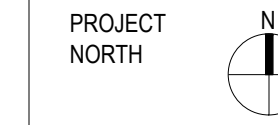
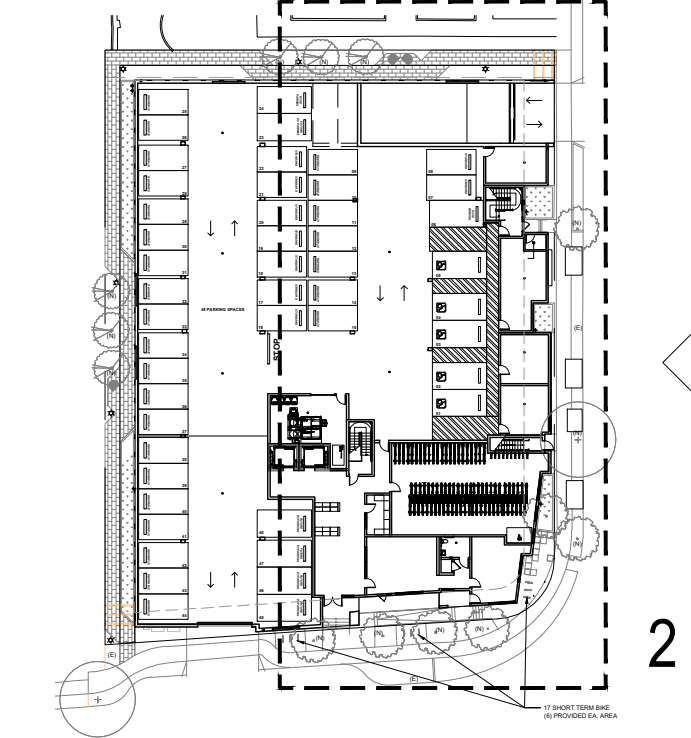
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SCALE:
AS NOTED

ZONING
DIAGRAM

A3.05B

SHEET NOTES



PROPERTY LINE

MUNICIPAL CODE 16.45.120 (2) -
BASE HEIGHT : 45' + 10' = 55'

The maximum height of a building at the minimum setback at street or before the building steps back the minimum horizontal distance required. Note: Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot height increase : 55'

HEIGHT

MINIMUM SETBACK - The horizontal distance a building's upper stories must be set back above the base height.
10 feet for a minimum of 75% of the building face along public streets. A maximum of 25% of building face along public streets may be excepted.

STEPPED BACK PORTION OF BUILDING
EXCEPTED AREA

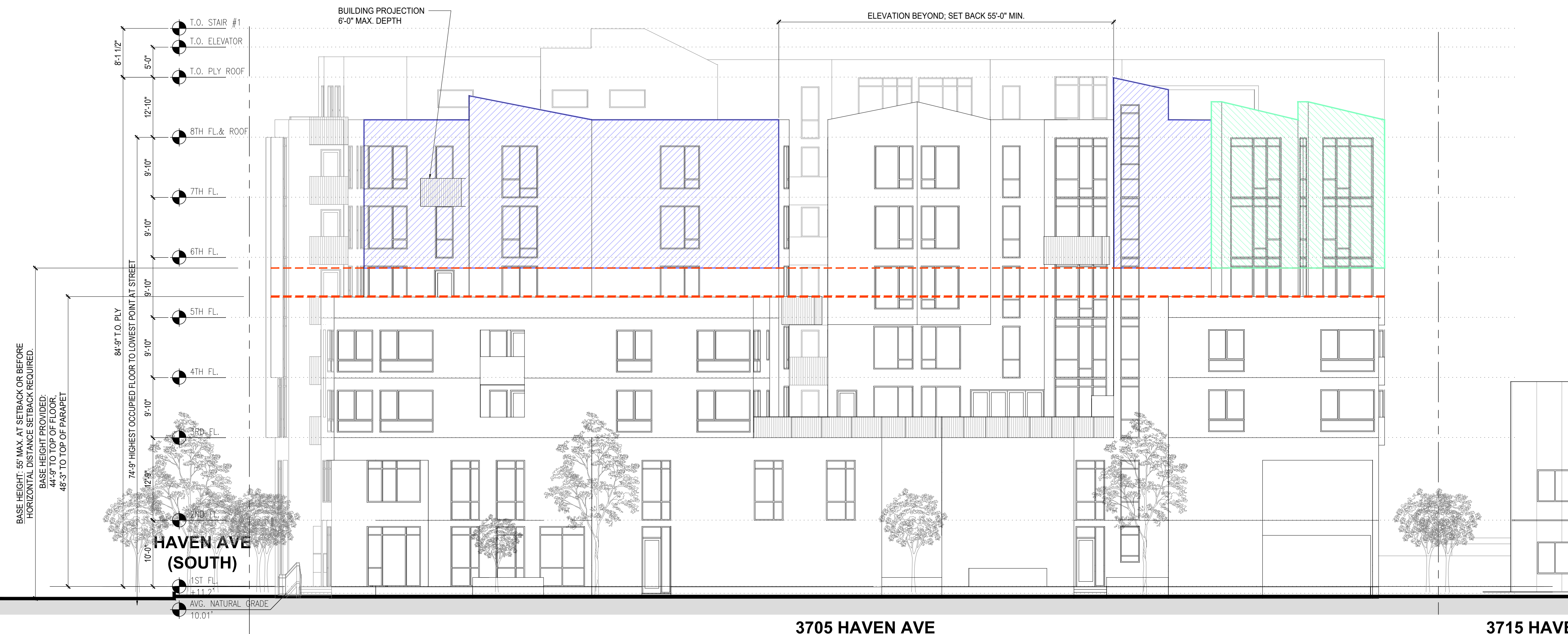
BUILDING PROJECTIONS
The maximum depth of allowable building projections, such as balconies, or bay windows, from the required setback for portions of the building above the ground floor.
6' max. depth
LABELED IN ELEVATION & PLAN

OVERALL LENGTH OF BUILDING FRONTAGE: 184'-9"
MIN. FRONTAGE ABOVE 45'-0" WITHIN SETBACKS:
184'-9" X 75% = 138'-6 3/4"
PROPOSED FRONTAGE WITHIN SETBACKS:
14'-9 1/2" + 69'-1" + 55'-7 1/2" + 9'-2 1/2" = 148'-9"
148'-9" > 138'-6 3/4"
75% OF BUILDING FACE STEPS BACK
AT LEAST 10'-0" ON THE UPPER STORIES
184'-9" X 25% = 46'-2 1/4" (MAX.)
PROPOSED: 25'-11 1/4" < 46'-2 1/4"

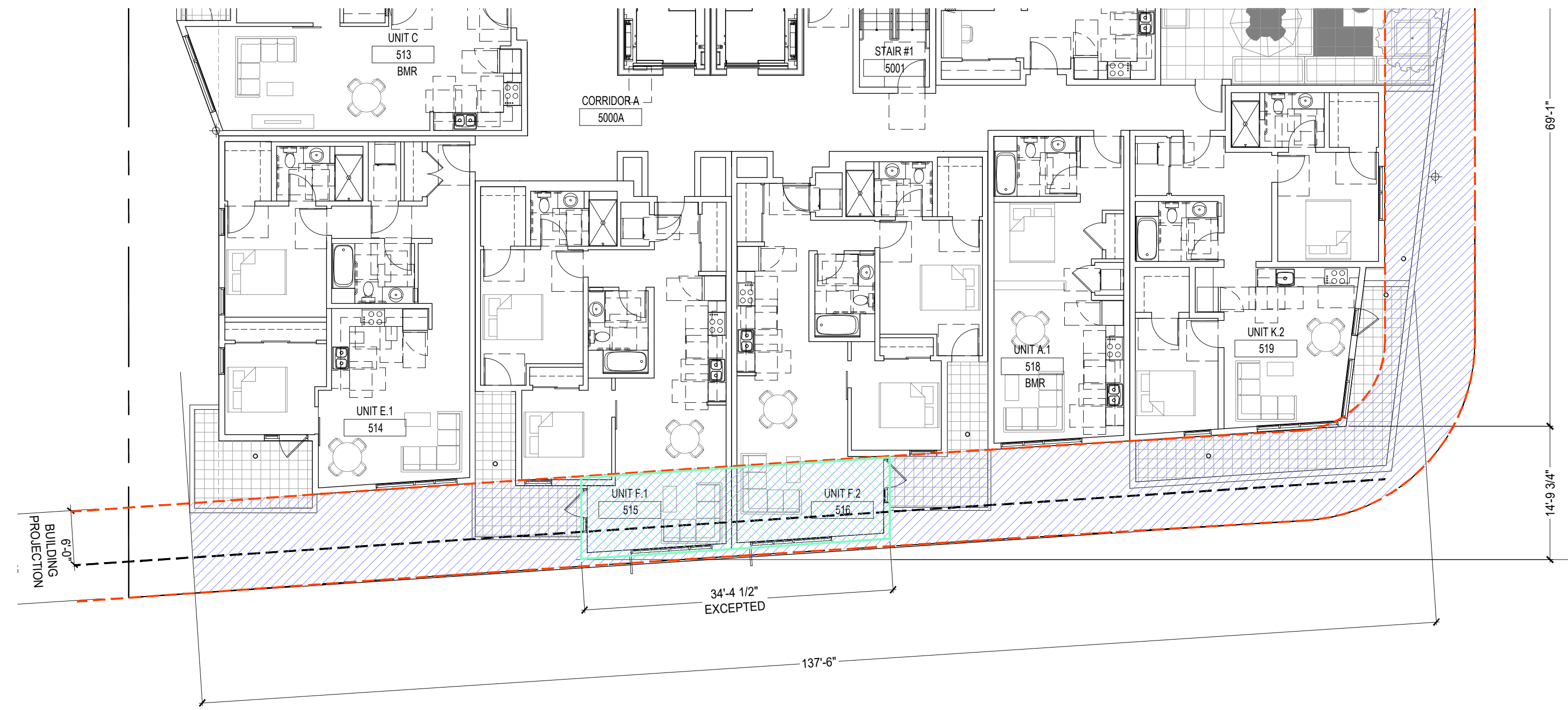
10'-0" SET BACK



2 PLANS : HAVEN STREET EAST - SETBACK (FIFTH FLOOR PLAN SHOWN, SIXTH & SEVENTH SIM.)
3/32" = 1'-0"



1 ELEVATION : HAVEN STREET EAST - GROUND FLOOR SETBACK
3/32" = 1'-0"



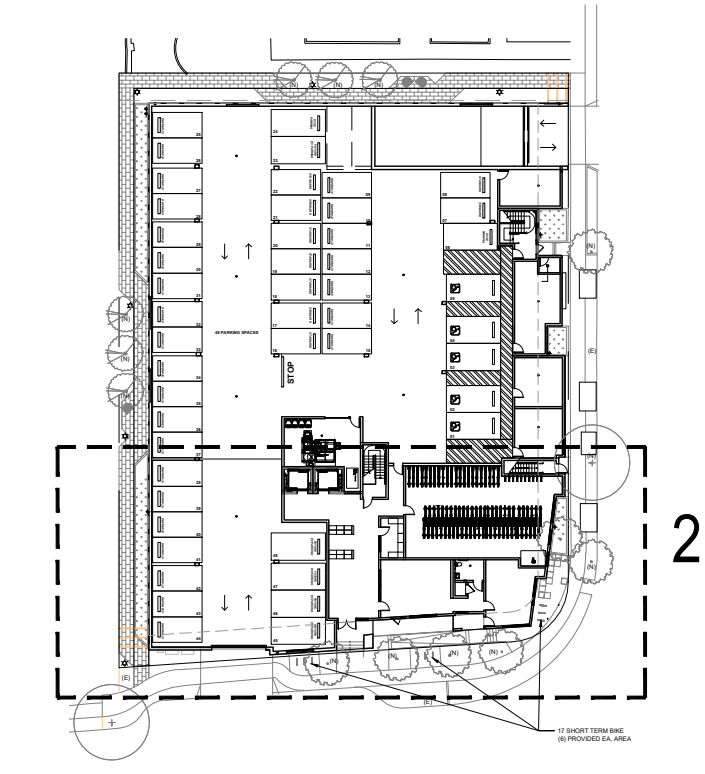
OVERALL LENGTH OF BUILDING FRONTAGE: 137'-6"
 MIN. FRONTAGE ABOVE 45'-0" WITHIN SETBACKS: 137'-6" X 75% = 103'-1 1/2"
 75% OF BUILDING STEPS BACK AT LEAST 10'-0" ON THE UPPER STORIES ABOVE 45'-0"
 25% MAY BE EXCEPTED WITHIN SETBACK: 137'-6" X 25% = 34'-4 1/2"
 25% MAX. EXCEPTED WITHIN SETBACK: 34'-4 1/2"

2 PLANS : HAVEN STREET SOUTH - SETBACK (FIFTH FLOOR PLAN SHOWN, SIXTH & SEVENTH SIM.)
 3/32" = 1'-0"



1 ELEVATION : HAVEN STREET SOUTH - SETBACK
 3/32" = 1'-0"

SHEET NOTES



--- PROPERTY LINE

MUNICIPAL CODE 16.45.120 (2) -
 BASE HEIGHT : 45' + 10' = 55'
 The maximum height of a building at the minimum setback at street or before the building steps back the minimum horizontal distance required.
 Note: Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot height increase : 55'

----- HEIGHT

MINIMUM SETBACK - The horizontal distance a building's upper stories must be set back above the base height.
 10 feet for a minimum of 75% of the building face along public streets. A maximum of 25% of building face along public streets may be excepted.

- STEPPED BACK PORTION OF BUILDING
- EXCEPTED AREA

BUILDING PROJECTIONS
 The maximum depth of allowable building projections, such as balconies, or bay windows, from the required setback for portions of the building above the ground floor.
 6' max. depth
 LABELED IN ELEVATION & PLAN



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**3705 HAVEN AVE
 MENLO PARK, CA**



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CONTACT: TOBY LEVY

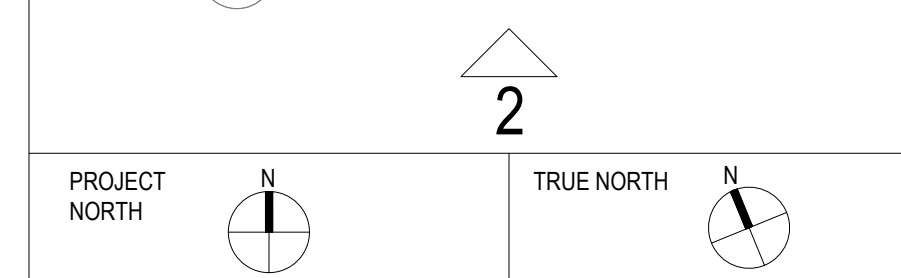
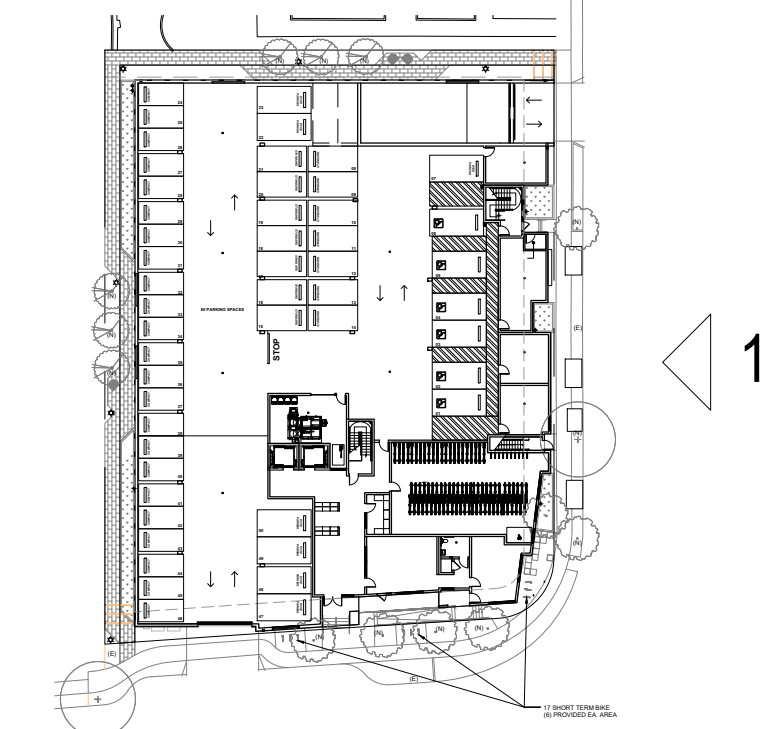
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SCALE:
 AS NOTED

ZONING
 DIAGRAM

A3.05C

SHEET NOTES



PROPERTY LINE

MUNICIPAL CODE 16.45.120 (2) - MAJOR BUILDING MODULATIONS

A major modulation is a break in the building plane from the ground level to the top of the building's base height that provides visual variety, reduces large building volumes, and provides spaces for entryways and publicly accessible spaces.

- Minimum of one recess of 15 feet wide by 10 feet deep per 200 feet of facade length

MAJOR BUILDING RECESS

MINOR BUILDING MODULATIONS 16.45.120 (2) -

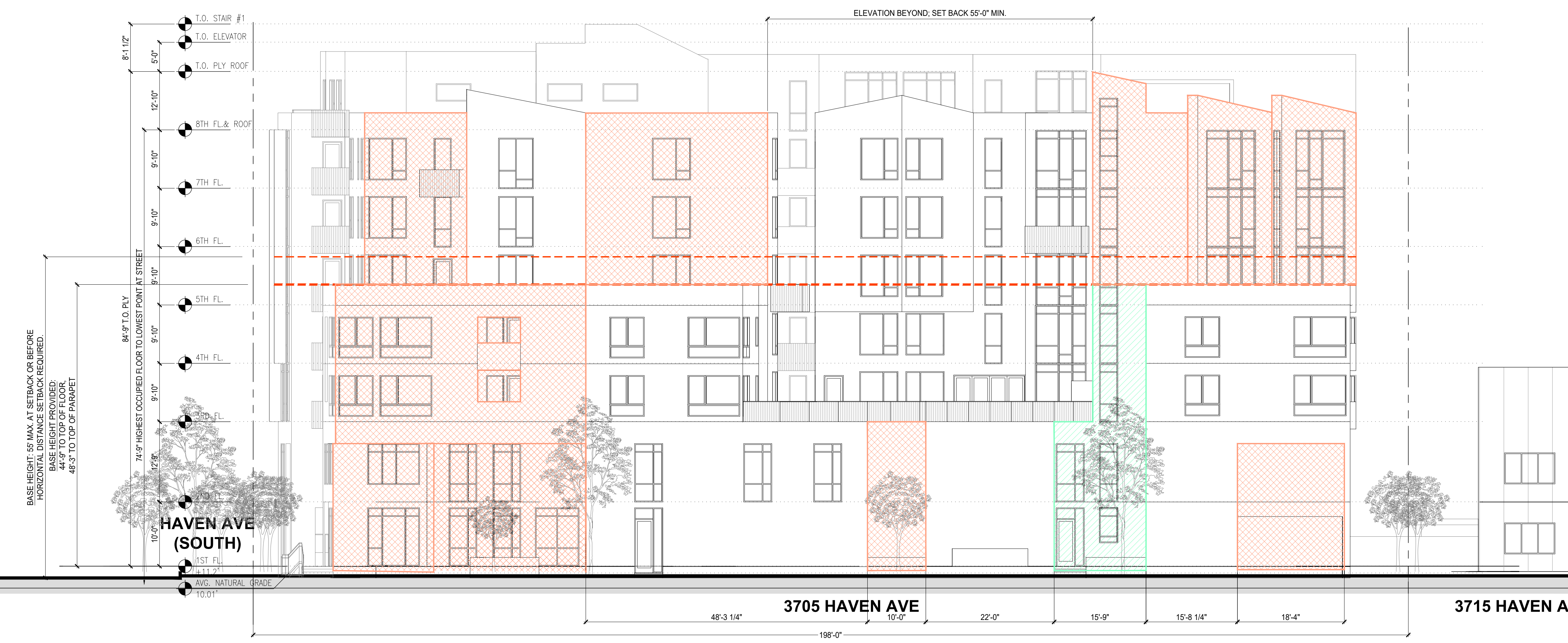
Modulation is required on the building facade(s) facing publicly accessible spaces (streets, open space, and paseos).

- Minimum recess of 5 feet wide by 5 feet deep per 50 feet of facade length
- Building projections spaced no more than 50' apart with min. 3' depth & 5' width may satisfy this in lieu of a recess.

MINOR BUILDING RECESS



2 ELEVATION : HAVEN STREET SOUTH - MAJOR & MINOR BUILDING MODULATIONS
1/32" = 1'-0"



1 ELEVATION : HAVEN STREET EAST - MAJOR & MINOR BUILDING MODULATIONS
1/32" = 1'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



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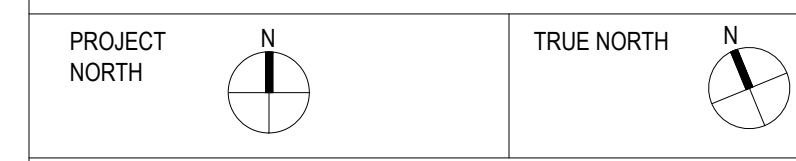
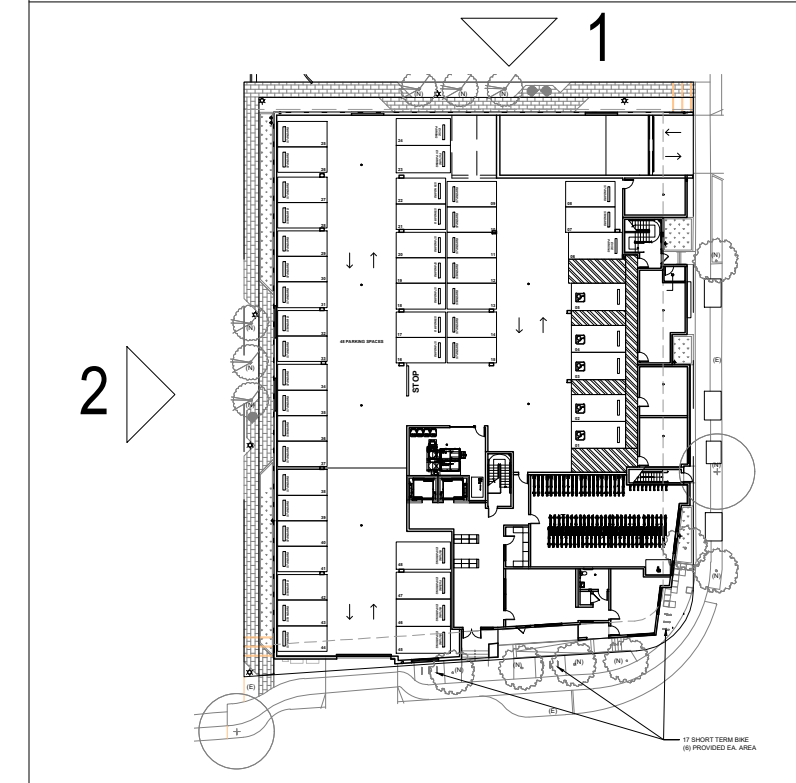
SCALE:
AS NOTED

ZONING
DIAGRAM

A3.05D

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SHEET NOTES



PROPERTY LINE

MUNICIPAL CODE 16.45.120 (2) - MAJOR BUILDING MODULATIONS
A major modulation is a break in the building plane from the ground level to the top of the building's base height that provides visual variety, reduces large building volumes, and provides spaces for entryways and publicly accessible spaces.

- Minimum of one recess of 15 feet wide by 10 feet deep per 200 feet of facade length

MAJOR BUILDING RECESS

MINOR BUILDING MODULATIONS 16.45.120 (2) - Modulation is required on the building facade(s) facing publicly accessible spaces (streets, open space, and paseos).

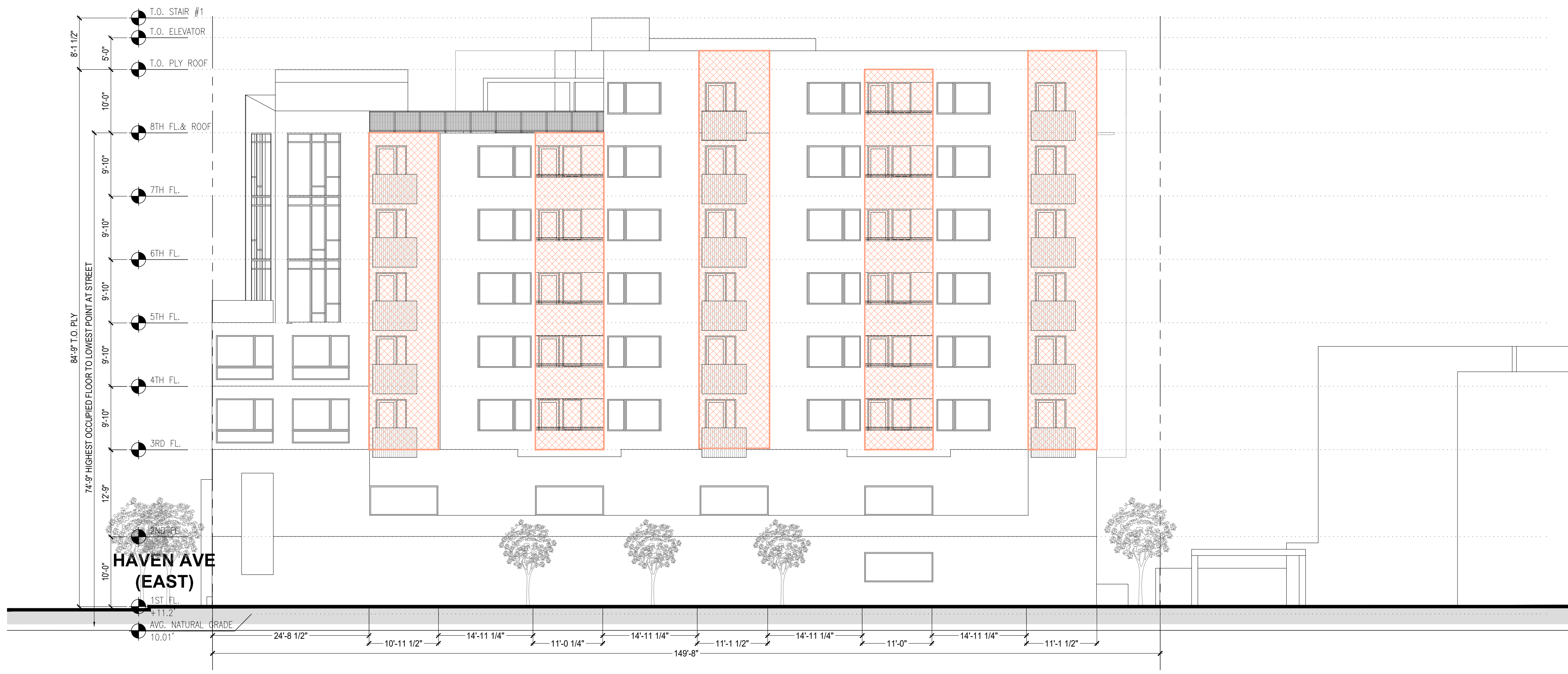
- Minimum recess of 5 feet wide by 5 feet deep per 50 feet of facade length
- Building projections spaced no more than 50' apart with min. 3' depth & 5' width may satisfy this in lieu of a recess.

MINOR BUILDING RECESS

2 ELEVATION : WEST
1/32" = 1'-0"



1 ELEVATION : NORTH
1/32" = 1'-0"



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SCALE:
AS NOTED

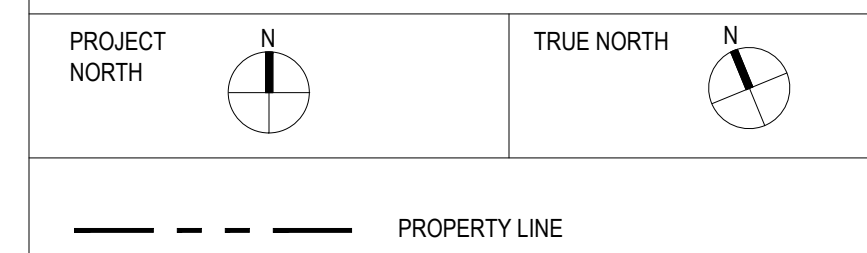
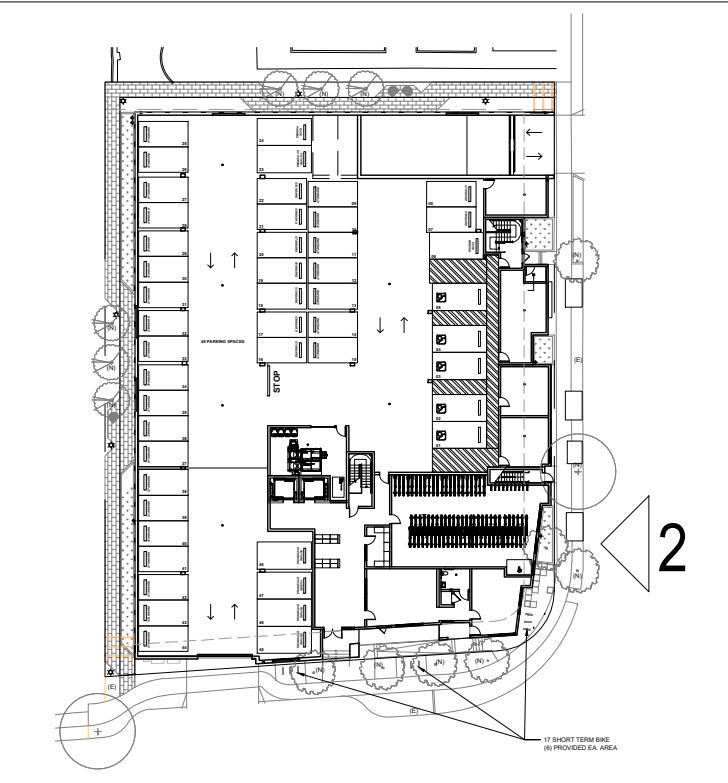
ZONING
DIAGRAM

A3.05E



2 ELEVATION : HAVEN STREET EAST - GROUND FLOOR TRANSPARENCY
3/32" = 1'-0"

SHEET NOTES



MUNICIPAL CODE 16.45.120 (3) - Minimum Ground Floor Height
Along Street Frontage
10 feet for residential uses
15 feet for commercial uses
Project Complies: The ground level is 11'-0"
LABELED IN ELEVATION

MUNICIPAL CODE 16.45.120 (3) - GROUND FLOOR TRANSPARENCY
The minimum percentage of the ground floor facade (finished floor to ceiling) that must provide visual transparency, such as clear-glass windows, doors, etc.
30% for residential uses
50% for commercial uses (N/A)

Project complies, 30% min. provided.

- GROUND LEVEL TRANSPARENT GLAZING
- GROUND LEVEL OPAQUE SURFACE RESIDENTIAL



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SCALE:
AS NOTED

ZONING
DIAGRAM

A3.05F



1 ELEVATION : HAVEN STREET SOUTH - GROUND FLOOR TRANSPARENCY
3/32" = 1'-0"



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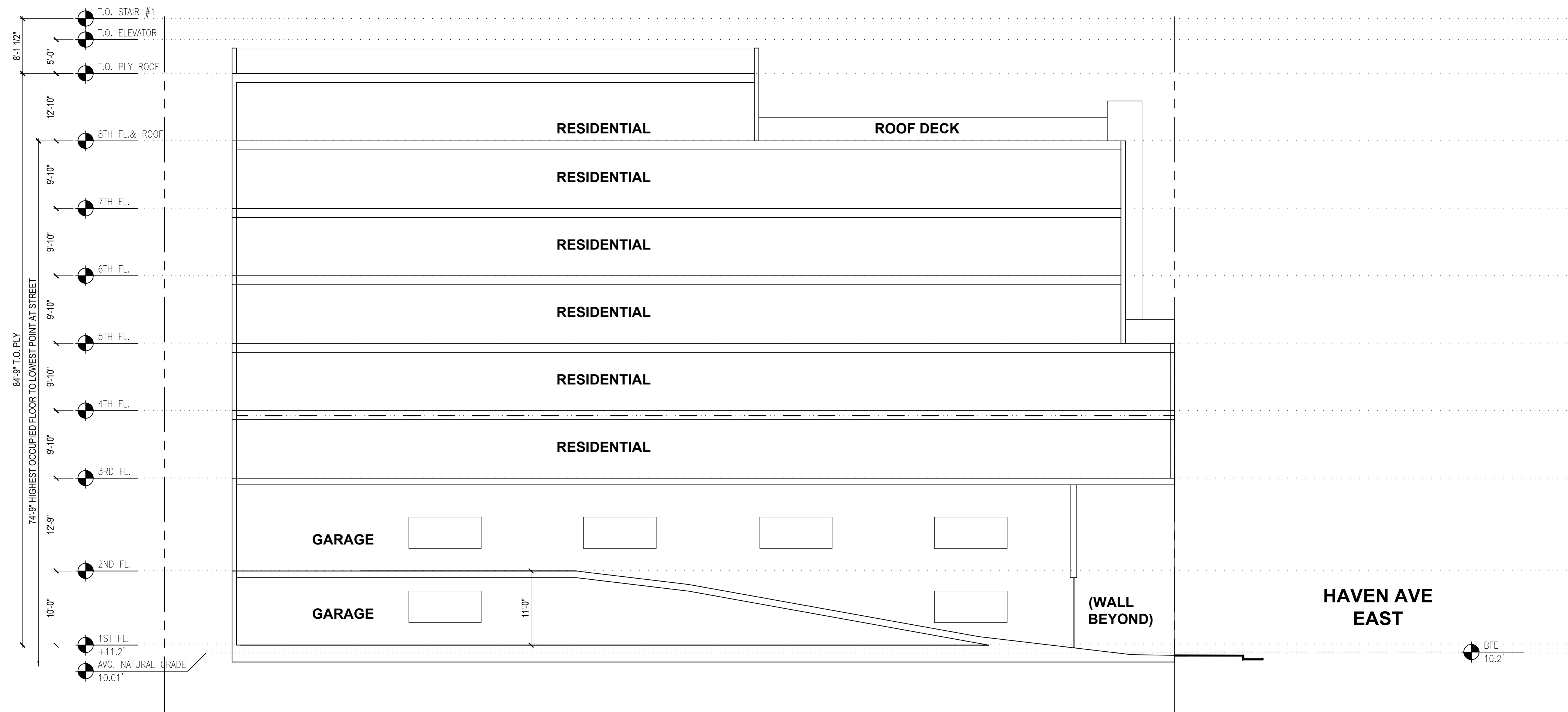
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(415) 777-0561 P
(415) 777-5117 F

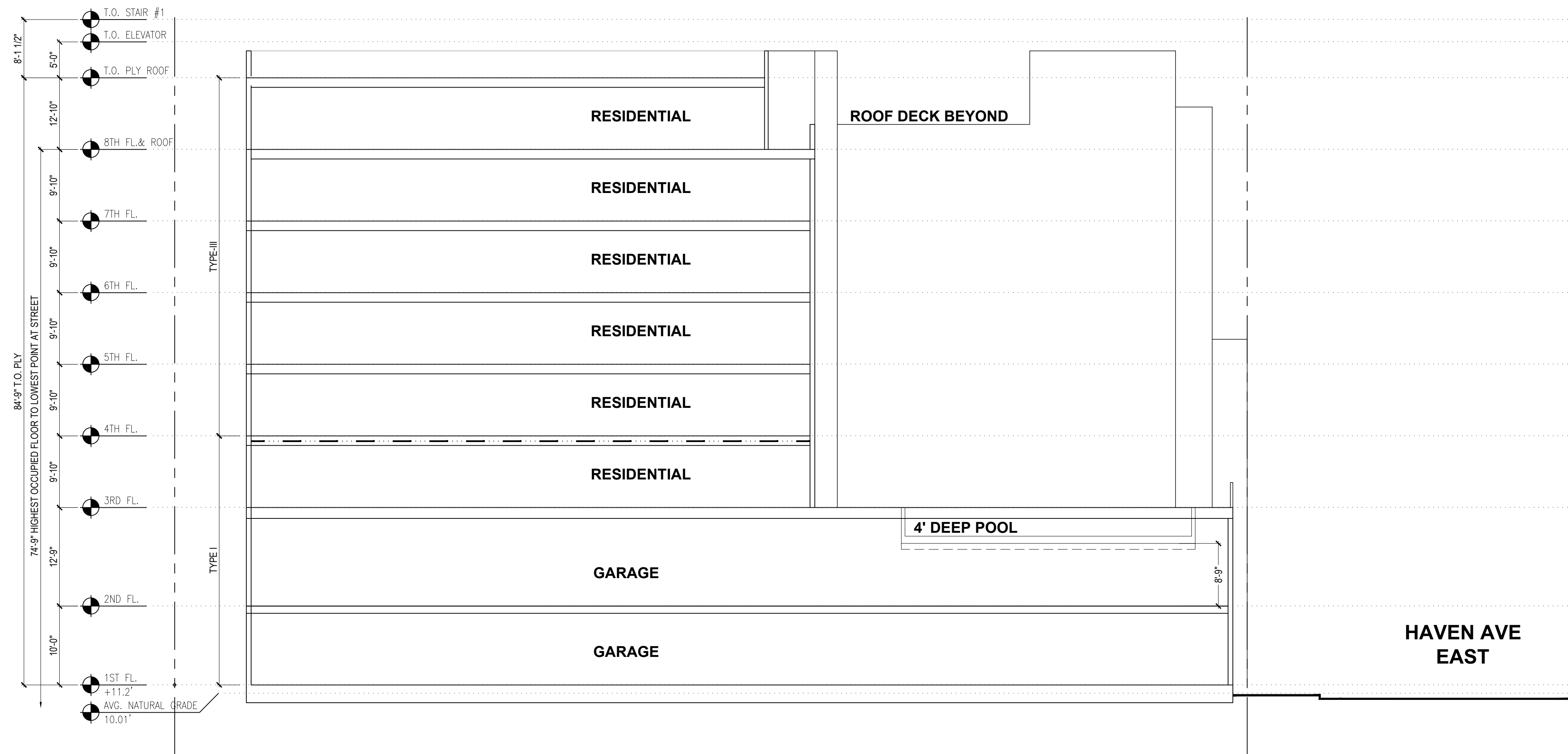
SCALE:
AS NOTED

SECTION

A4.01



2 SECTION
3/32" = 1'-0"



1 SECTION
3/32" = 1'-0"

**3705 HAVEN AVE
MENLO PARK, CA**



3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

| | |
|------------|------------------------|
| 04-14-2023 | PLANNING & SB330 REV 2 |
| 09-22-2023 | PLANNING & SB330 REV 3 |
| 03-20-2024 | PLANNING & SB330 REV 4 |
| 06-13-2024 | PLANNING & SB330 REV 5 |
| 07-26-2024 | PLANNING & SB330 REV 6 |

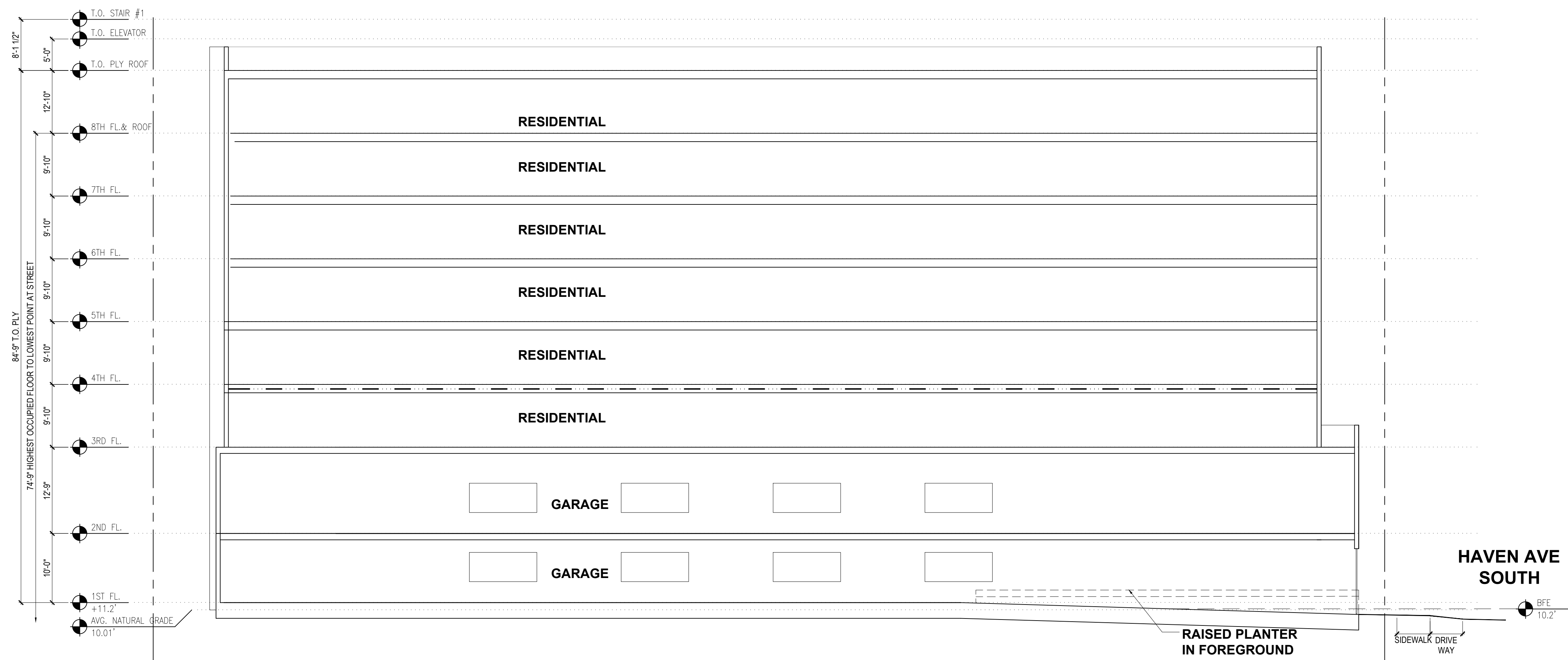
CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE:
AS NOTED

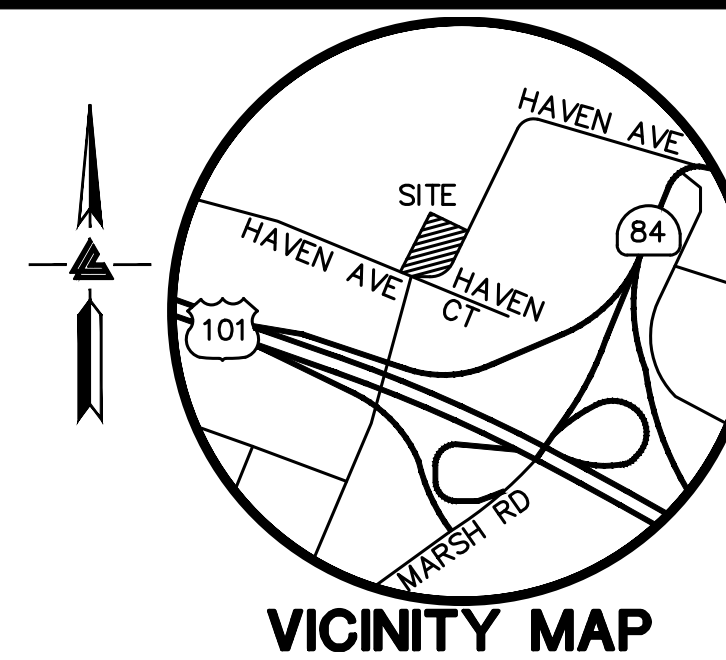
SECTION

A4.02



1 SECTION
3/32" = 1'-0"

3705 HAVEN AVENUE MENLO PARK, CALIFORNIA



VICINITY MAP

OWNER'S INFORMATION

OWNER:
3705 HAVEN LLC
2040 WEBSTER STREET
SAN FRANCISCO, CA 94115

APN: 055-170-240

REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY LEA AND BRAZE ENGINEERING, ENTITLED: "BOUNDARY AND TOPOGRAPHICAL SURVEY" 3705 HAVEN AVENUE MENLO PARK, USA DATED: 2-11-22 JOB# 2212296
 - SITE PLAN BY LEVY DESIGN PARTNERS ENTITLED: "GROUND FLOOR PLAN" 3705 HAVEN AVENUE MENLO PARK, USA
 - LANDSCAPE PLANS BY JETT LANDSCAPE ENTITLED: "LANDSCAPE PLAN" 3705 HAVEN AVENUE MENLO PARK, USA
 - JOINT TRENCH PLANS BY TARRAR ENTITLED: "JOINT TRENCH COMPOSITE PLAN" 3705 HAVEN AVENUE MENLO PARK, USA

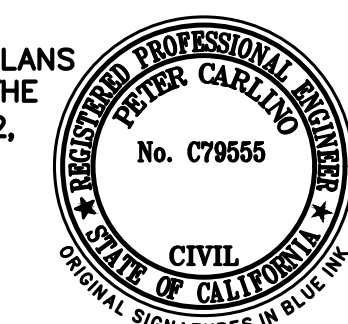
THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

CITY FEMA NOTE:

- THE PROJECT IS BUILT IN COMPLIANCE WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, CHAPTER 12, SECTION 42.
- ALL MATERIALS BELOW DFE SHALL BE RESISTANT TO FLOOD DAMAGE (I.E., CONCRETE, REDWOOD OR PRESSURE TREATED DOUGLAS FIR).
- THE BOTTOM ELEVATION OF ALL APPLIANCES AND UTILITIES (METERS, AIR CONDITIONING UNITS, ETC) SHALL BE AT OR ABOVE DFE.
- STORM RUNOFF RESULTING FROM THE PROJECT'S GRADING AND DRAINAGE ACTIVITIES SHALL NOT ENCROACH ONTO ANY NEIGHBORING LOT. RUNOFF MUST BE CONTAINED ON-SITE.
- NO BASEMENTS OR ANY HABITABLE ENCLOSURE BELOW THE DFE ARE ALLOWED FOR PROJECTS IN THE FLOOD ZONE.
- FLOOD VENTS SHALL BE INSTALLED FOR ALL NON-HABITABLE ENCLOSURES BELOW THE DFE (I.E. CRAWLSPACE, GARAGE, ETC.) AT A RATE OF 1 SQUARE INCH OF NET OPENING TO 1 SQUARE FOOT OF ENCLOSURE. REFER TO THE ENGINEERING PLANS HEREIN FOR VENT LOCATIONS AND CALCULATIONS.

I CERTIFY THAT I AM THE ENGINEER OF RECORD AND THE PLANS DATED 07-29-22 SUBMITTED ON 11-18-22 COMPLY WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE (CHAPTER 12, SECTION 42).

SIGNED: PETER CARLINO
REGISTERED CIVIL ENGINEER NO. C79555 (EXP. 09-30-24)



FEMA FLOOD ELEVATIONS:

FFE: 11.2'
BFE: 10.2'
DFE: 11.2'

* BUILDING PAD NOTE:

ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:

FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

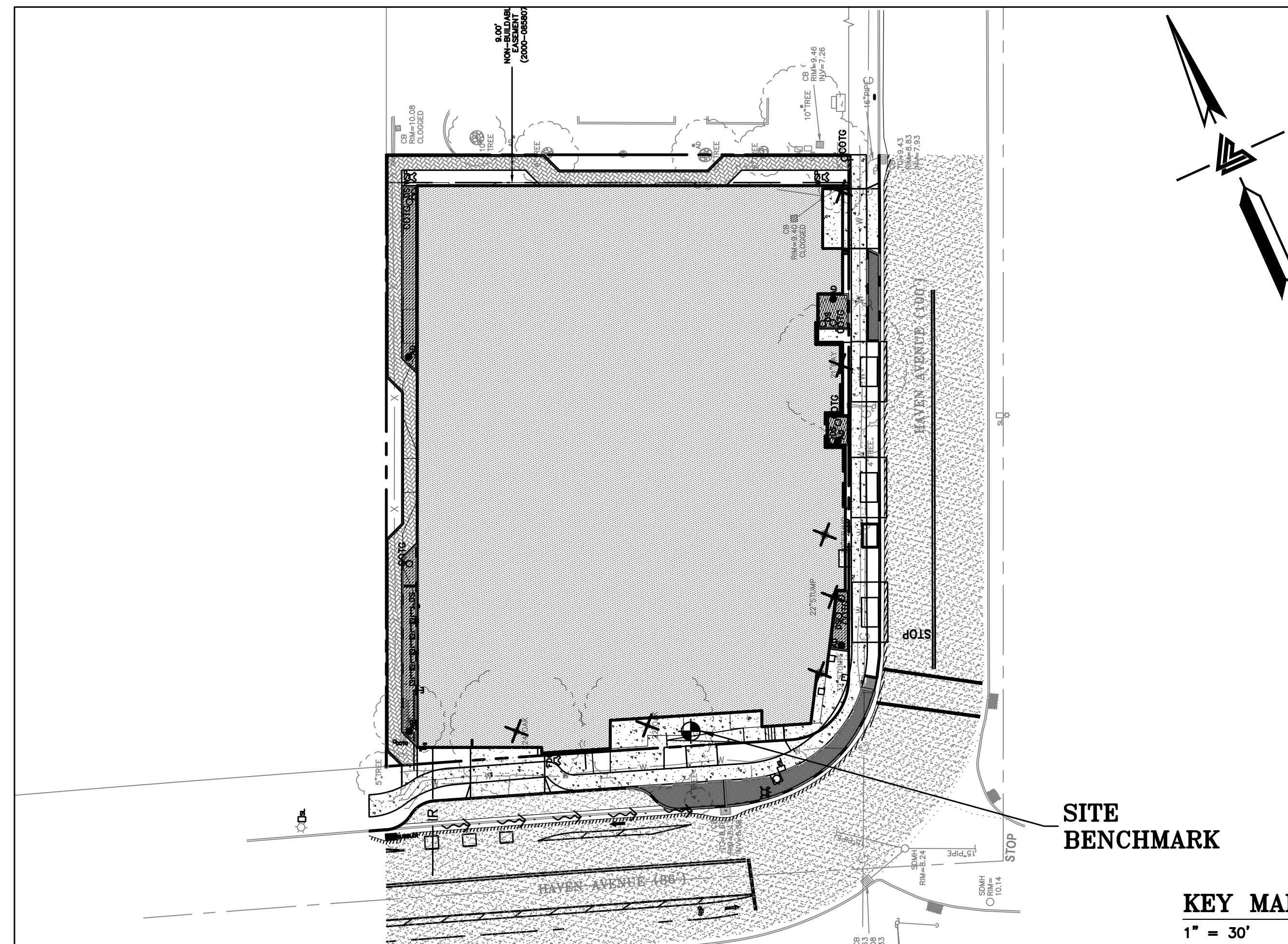
INSPECTION NOTE:

THE CONTRACTOR SHALL INFORM THE OWNER (IN WRITING) OF RECOMMENDED PERIODIC INSPECTION AND MAINTENANCE OF THE ON-SITE STORM DRAINAGE SYSTEM. THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.

SHEET INDEX

| | |
|-------|-------------------------------------|
| C-1.0 | TITLE SHEET |
| C-1.1 | GRADING SPECIFICATIONS |
| C-2.0 | DEMOLITION PLAN |
| C-3.0 | PRELIMINARY GRADING & DRAINAGE PLAN |
| C-3.1 | AVERAGE NATURAL GRADE EXHIBIT |
| C-4.0 | PRELIMINARY UTILITIES PLAN |
| C-4.1 | COLOR CODED UTILITIES PLAN |
| C-4.2 | WATER MAIN CONNECTION DETAIL |
| C-4.3 | PRELIMINARY UTILITIES PROFILE |
| C-4.4 | WATER MAIN UTILITY PROFILE |
| C-5.0 | DRIVEWAY SAFETY TRIANGLES |
| SOP-0 | OFFSITE GREEN INFRASTRUCTURE PLAN |
| SOP-1 | PRELIMINARY IMPERVIOUS AREA EXHIBIT |
| SOP-2 | PRELIMINARY STORMWATER CONTROL PLAN |
| SOP-3 | STORMWATER CONTROL DETAILS |
| SOP-4 | GREEN INFRASTRUCTURE DETAILS |
| C-6.0 | DETAILS |
| C-6.1 | CITY DETAILS |
| ER-1 | EROSION CONTROL |
| ER-2 | EROSION CONTROL DETAILS |
| SM-1 | BEST MANAGEMENT PRACTICES |
| SU-1 | TOPOGRAPHICAL SURVEY |

| EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|------------------------------|
| --- | --- | BOUNDARY |
| --- | --- | PROPERTY LINE |
| --- | --- | RETAINING WALL |
| --- | --- | LANDSCAPE RETAINING WALL |
| --- | --- | RAINWATER TIGHTLINE |
| --- | --- | SUBDRAIN LINE |
| --- | --- | TIGHTLINE |
| --- | --- | STORM DRAIN LINE |
| --- | --- | SANITARY SEWER LINE |
| --- | --- | WATER LINE |
| --- | --- | GAS LINE |
| --- | --- | STORM DRAIN PRESSURE LINE |
| --- | --- | SANITARY SEWER PRESSURE LINE |
| --- | --- | JOINT TRENCH |
| --- | --- | SET BACK LINE |
| --- | --- | CONCRETE VALLEY GUTTER |
| --- | --- | EARTHEN SWALE |
| --- | --- | CATCH BASIN |
| --- | --- | JUNCTION BOX |
| --- | --- | AREA DRAIN |
| --- | --- | CURB INLET |
| --- | --- | STORM DRAIN MANHOLE |
| --- | --- | FIRE HYDRANT |
| --- | --- | SANITARY SEWER MANHOLE |
| --- | --- | STREET SIGN |
| --- | --- | SPOT ELEVATION |
| --- | --- | FLOW DIRECTION |
| --- | --- | DEMOLISH/REMOVE |
| --- | --- | BENCHMARK |
| --- | --- | CONTOURS |
| --- | --- | TREE TO BE REMOVED |
| --- | --- | TREE PROTECTION FENCING |



SITE BENCHMARK

KEY MAP
1" = 30'

BASIS OF BEARINGS

THE BEARING NORTH 24°13'00" EAST ALONG THE WESTERLY RIGHT OF WAY OF HAVEN AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN BOOK 72 OF PARCEL MAPS AT PAGE 46, SAN MATEO COUNTY RECORDS, IS THE BASIS OF ALL BEARINGS SHOWN ON THIS MAP.

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

SITE BENCHMARK

SURVEY CONTROL POINT CUT CROSS IN CONCRETE ELEVATION = 9.91' (ADJUSTED TO NAVD 88 DATUM)

TREE NOTE

TREE SIZE, TYPE AND DRILLPILES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

FEMA FLOOD NOTE

FLOOD ZONE: AE
100-YEAR BASE FLOOD ELEVATION (BFE): 10.2' (NAVD88 DATUM)
PER FLOOD INSURANCE STUDY TABLE 11, SUMMARY OF NON-COASTAL STILLWATER ELEVATIONS

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

THE AREA OF THE SURVEYED LOT IS 28,808± SQUARE FEET / 0.66± ACRES

EASEMENT NOTE

EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY OLD REPUBLIC TITLE COMPANY, ORDER NO 0227027166-RL, DATED AS OF NOVEMBER 22, 2021 EASEMENT TO PG&E FOR ELECTRIC TRANSMISSION LINES PER DOCUMENT RECORDED IN BOOK 127, PAGE 468, OFFICIAL RECORDS OF SAN MATEO COUNTY, IS NOT PLOTTABLE. EXACT LOCATION NOT DISCLOSED OF RECORD.

BENCHMARK

CITY OF MENLO PARK BM3 BRONZE DISK EPOXIED INTO THE TOP OF A CONCRETE CURB OF THE NORTHERLY CURB LINE OF HAVEN AVENUE AT #3585 HAVEN AVENUE AT THE WESTERLY SIDE OF A STORM WATER CATCH BASIN. ELEVATION = 8.178' (ADJUSTED TO NAVD 88 DATUM)

PUBLIC WORKS NOTE:

THE STORM RUNOFF GENERATED BY THE NEW DEVELOPMENT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.

THE APPLICANT/CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION PRIOR TO START OF ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY OR PUBLIC EASEMENT AREAS. THE APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING FOR CITY ENCROACHMENT PERMIT.

ALL TRENCHES IN THE CITY'S RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARD DETAILS ST-9A, ST-9B, AND ST-16.

ALL CONCRETE WORK IN THE CITY'S RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARD DETAIL G-3.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARDS AND TO THE SATISFACTION OF THE CITY ENGINEER.

EXISTING FRONTAGE IMPROVEMENTS (A.C., PARKING STRIPE, DRIVEWAY, AND VALLEY GUTTER) THAT ARE CRACKED, DAMAGED, ELEVATED, OR DEPRESSED OR THAT CAUSE SURFACE WATER PONDING SHALL BE REMOVED AND REPLACED BY THE APPLICANT PER CITY STANDARDS.

INSTALL STABILIZED CONSTRUCTION ENTRANCE (AS APPLICABLE) PER CITY STANDARD DETAIL CG-16.

DEVELOPMENT AREA SUMMARY

| PRE-DEVELOPMENT | (SQFT) |
|----------------------------------|--------|
| BUILDINGS | 10,368 |
| DRIVEWAY & PARKING | 11,854 |
| PATIOS, WALKWAYS & PADS | 651 |
| TOTAL | 22,873 |
| POST-DEVELOPMENT | (SQFT) |
| BUILDINGS | 11,950 |
| DRIVEWAY & PARKING | 0 |
| PATIOS, WALKWAYS & PADS | 12,505 |
| PERVIOUS PATIOS, WALKWAYS & PADS | 1,624 |
| TOTAL | 24,455 |
| DIFFERENCE (NET DECREASE) | 1,582 |

ABBREVIATIONS

| | | | |
|----------|---|--------|----------------------------|
| AB | AGGREGATE BASE | LN DG | LANDING |
| AC | ASPHALT CONCRETE | LF | LINEAR FEET |
| ACC | ACCESSIBLE | MAX | MAXIMUM |
| AD | AREA DRAIN | MH | MANHOLE |
| BC | BEGINNING OF CURVE | MIN | MINIMUM |
| B & D | BEARING & DISTANCE | MON. | MONUMENT |
| BM | BENCHMARK | MRO | METERED RELEASE OUTLET |
| BFE | BASE FLOOD ELEVATION | (N) | NUMBER |
| BW/FG | BOTTOM OF WALL/FINISH GRADE | NTS | NOT TO SCALE |
| CB | CATCH BASIN | O.C. | ON CENTER |
| C & G | CURB AND GUTTER | O/ | OVER |
| CL | CENTER LINE | (PA) | PLANTING AREA |
| CPP | CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR) | PE D | PEDESTRIAN |
| CO | CLEANOUT | PIV | POST INDICATOR VALVE |
| COTG | CLEANOUT TO GRADE | PSS | PUBLIC SERVICES EASEMENT |
| CONC | CONCRETE | R | PROPERTY LINE |
| CONST | CONSTRUCT or -TION | PP | POWER POLE |
| CONC COR | CONCRETE CORNER | PUE | PUBLIC UTILITY EASEMENT |
| CY | CUBIC YARD | PVC | POLYVINYL CHLORIDE |
| D | DIAMETER | R | RADIUS |
| DI | DROP INLET | RCP | REINFORCED CONCRETE PIPE |
| DIP | DUCTILE IRON PIPE | RIM | RIM ELEVATION |
| DFE | DESIGN FLOOD ELEVATION | RW | RAINWATER |
| EA | EACH | R/W | RIGHT OF WAY |
| EC | END OF CURVE | S | SLOPE |
| EG | EXISTING GRADE | S.A.D. | SEE ARCHITECTURAL DRAWINGS |
| EL | ELEVATIONS | SAN | SANITARY |
| EP | EDGE OF PAVEMENT | SD | STORM DRAIN |
| EQ | EQUIPMENT | SDMH | STORM DRAIN MANHOLE |
| EW | EACH WAY | SHT | SHEET |
| EXISTING | EXISTING | S.L.D. | SEE LANDSCAPE DRAWINGS |
| FC | FACE OF CURB | SPEC | SPECIFICATION |
| FFE | FINISHED FLOOR ELEVATION | SS | SANITARY SEWER |
| FG | FINISHED GRADE | SSCO | SANITARY SEWER CLEANOUT |
| FH | FIRE HYDRANT | SSMH | SANITARY SEWER MANHOLE |
| FL | FLOW LINE | ST | STREET |
| FS | FINISHED SURFACE | STA | STATION |
| G | GAS | STD | STANDARD |
| GA | GAGE OR GAUGE | STRUCT | STRUCTURAL |
| GB | GRADE BREAK | T | TELEPHONE |
| HDPE | HIGH DENSITY CORRUGATED POLYETHYLENE PIPE | TC | TOP OF CURB |
| HORIZ | HORIZONTAL | TOW | TOP OF WALL |
| HI PT | HIGH POINT | TEMP | TEMPORARY |
| H&T | HUB & TACK | TP | TOP OF PAVEMENT |
| ID | INSIDE DIAMETER | TW/FG | TOP OF WALL/FINISH GRADE |
| INV | INVERT ELEVATION | TY P | TYPICAL |
| JB | JUNCTION BOX | VC | VERTICAL CURVE |
| JT | JOINT TRENCH | VCP | VERTIFIED CLAY PIPE |
| JP | JOINT UTILITY POLE | VERT | VERTICAL |
| L | LENGTH | W/ | WITH |
| | | W.WL | WATER LINE |
| | | WM | WATER METER |



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
DUBLIN, CALIFORNIA 94568
HAYWARD, CALIFORNIA 94545
SAN JOSE
(510) 887-4086
WWW.LEABRAZE.COM

3705 HAVEN AVENUE
MENLO PARK, CALIFORNIA

APN: 055-170-240
SAN MATEO COUNTY

TITLE SHEET

| NO. | DESCRIPTION | DATE | BY |
|-----|-------------|----------|----|
| 9 | COMP REVIEW | 07-16-24 | VA |
| 8 | COMP REVIEW | 05-31-24 | VA |
| 7 | COMP REVIEW | 03-21-24 | VA |
| 6 | C3 PLN CHK | 10-17-23 | VA |
| 5 | C3 PLN CHK | 10-04-23 | VA |
| | REVISIONS | | BY |

JOB NO: 2220759
DATE: 11-18-22
SCALE: AS NOTED
DESIGN BY: VA
CHECKED BY: JH/PC
SHEET NO: **C-1.0**
01 OF 22 SHEETS

GENERAL NOTES

ALL GENERAL NOTES, SHEET NOTES, AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT. IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ENGINEER IMMEDIATELY IN WRITING REQUESTING CLARIFICATION.

THESE DRAWINGS AND THEIR CONTENT ARE AND SHALL REMAIN THE PROPERTY OF LEA AND BRAZE ENGINEERING, INC. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY ANY PERSONS ON OTHER PROJECTS OR EXTENSIONS OF THE PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ENGINEER.

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK INCLUDING, BUT NOT LIMITED TO, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, CALTRANS STANDARDS AND SPECIFICATIONS, AND ALL APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED, PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY NOTIFY THE ENGINEER FOR CORRECTION OR ADJUSTMENT THE EVENT OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERROR.

ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE/SHE BEGINS HIS/HER WORK. ANY ERRORS, OMISSION, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/CONTRACTOR BEFORE CONSTRUCTION BEGINS.

COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EXISTING ON SITE, WHICH COULD AFFECT THEIR WORK.

WORK SEQUENCE

IN THE EVENT ANY SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY THE OWNER OR THE CONTRACTOR, THE CONTRACTOR SHALL ARRANGE A CONFERENCE BEFORE ANY SUCH WORK IS BEGUN.

SITE EXAMINATION: THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND FAMILIARIZE HIM/HERSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS/HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTIONS OF THE SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR EXPENSES DUE TO HIS/HER NEGLIGENCE TO EXAMINE, OR FAILURE TO DISCOVER, CONDITIONS WHICH AFFECT HIS/HER WORK.

LEA AND BRAZE ENGINEERING, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF LEA AND BRAZE ENGINEERING, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD HARMLESS LEA AND BRAZE ENGINEERING, INC.

CONSTRUCTION IS ALWAYS LESS THAN PERFECT SINCE PROJECTS REQUIRE THE COORDINATION AND INSTALLATION OF MANY INDIVIDUAL COMPONENTS BY VARIOUS CONSTRUCTION INDUSTRY TRADES. THESE DOCUMENTS CANNOT PORTRAY ALL COMPONENTS OR ASSEMBLIES EXACTLY. IT IS THE INTENTION OF THESE ENGINEERING DOCUMENTS THAT THEY REPRESENT A REASONABLE STANDARD OF CARE IN THEIR CONTENT. IT IS ALSO PRESUMED BY THESE DOCUMENTS THAT CONSTRUCTION REVIEW SERVICES WILL BE PROVIDED BY THE ENGINEER. SHOULD THE OWNER NOT RETAIN THE ENGINEER TO PROVIDE SUCH SERVICES, OR SHOULD HE/SHE RETAIN THE ENGINEER TO PROVIDE ONLY PARTIAL OR LIMITED SERVICES, THEN IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO FULLY RECOGNIZE AND PROVIDE THAT STANDARD OF CARE.

IF THE OWNER OR CONTRACTOR OBSERVES OR OTHERWISE BECOMES AWARE OF ANY FAULT OR DEFECT IN THE PROJECT OR NONCONFORMANCE WITH THE CONTRACT DOCUMENTS, PROMPT WRITTEN NOTICE THEREOF SHALL BE GIVEN BY THE OWNER AND/OR CONTRACTOR TO THE ENGINEER.

THE ENGINEER SHALL NOT HAVE CONTROL OF OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

SITE PROTECTION

PROTECT ALL LANDSCAPING THAT IS TO REMAIN. ANY DAMAGE OR LOSS RESULTING FROM EXCAVATION, GRADING, OR CONSTRUCTION WORK SHALL BE CORRECTED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING SITE UTILITIES AND SHALL COORDINATE THEIR REMOVAL OR MODIFICATIONS (IF ANY) TO AVOID ANY INTERRUPTION OF SERVICE TO ADJACENT AREAS. THE GENERAL CONTRACTOR SHALL INFORM HIM/HERSELF OF MUNICIPAL REGULATIONS AND CARRY OUT HIS/HER WORK IN COMPLIANCE WITH ALL FEDERAL AND STATE REQUIREMENTS TO REDUCE FIRE HAZARDS AND INJURIES TO THE PUBLIC.

STORMWATER POLLUTION PREVENTION NOTES

- 1) STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- 2) CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING SOLID WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENT, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATER COURSES.
- 3) USE SEDIMENT CONTROL OR FILTRATION TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT.
- 4) AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON SITE, EXCEPT IN A DESIGNATED AREA IN WHICH RUNOFF IS CONTAINED AND TREATED.
- 5) DELINEATE CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DISCHARGE COURSE WITH FIELD MARKERS.
- 6) PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OF FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
- 7) PERFORM CLEARING AND EARTH MOVING ACTIVITIES DURING DRY WEATHER TO THE MAXIMUM EXTENT PRACTICAL.
- 8) LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- 9) LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
- 10) AVOID TRACKING DIRT OR MATERIALS OFF-SITE. CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS TO THE MAXIMUM EXTENT PRACTICAL.

SUPPLEMENTAL MEASURES

- A. THE PHRASE "NO DUMPING - DRAINS TO BAY" OR EQUALLY EFFECTIVE PHRASE MUST BE LABELED ON STORM DRAIN INLETS (BY STENCILING, BRANDING, OR PLAQUES) TO ALERT THE PUBLIC TO THE DESTINATION OF STORM WATER AND TO PREVENT DIRECT DISCHARGE OF POLLUTANTS INTO THE STORM DRAIN.
- B. USING FILTRATION MATERIALS ON STORM DRAIN COVERS TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT.
- C. STABILIZING ALL DENuded AREAS AND MAINTAINING EROSION CONTROL MEASURES CONTINUOUSLY FROM OCTOBER 15 AND APRIL 15.
- D. REMOVING SPOILS PROMPTLY, AND AVOID STOCKPILING OF FILL MATERIALS, WHEN RAIN IS FORECAST. IF RAIN THREATENS, STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH A TARP OR OTHER WATERPROOF MATERIAL.
- E. STORING, HANDLING, AND DISPOSING OF CONSTRUCTION MATERIALS AND WASTES SO AS TO AVOID THEIR ENTRY TO THE STORM DRAIN SYSTEMS OR WATER BODY.

GRADING & DRAINAGE NOTES:

1. SCOPE OF WORK

THESE SPECIFICATIONS AND APPLICABLE PLANS PERTAIN TO AND INCLUDE ALL SITE GRADING AND EARTHWORK ASSOCIATED WITH THE PROJECT INCLUDING, BUT NOT LIMITED TO THE FURNISHING OF ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR SITE CLEARING AND GRUBBING, SITE PREPARATION, DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, STRIPPING, KEYING, EXCAVATION, OVER EXCAVATION, RECOMPACTION PREPARATION FOR SOIL RECEIVING FILL, PAVEMENT, FOUNDATION OF SLABS, EXCAVATION, IMPORTATION OF ANY REQUIRED FILL MATERIAL, PROCESSING, PLACEMENT AND COMPACTION OF FILL AND SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADING AND SLOPE SHOWN ON THE PROJECT GRADING PLANS.

2. GENERAL

- A. ALL SITE GRADING AND EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS OF THESE SPECIFICATIONS, THE SOILS REPORT; AND THE CITY OF MENLO PARK.
- B. ALL FILL MATERIALS SHALL BE DENSIFIED SO AS TO PRODUCE A DENSITY NOT LESS THAN 90% RELATIVE COMPACTION BASED UPON ASTM TEST DESIGNATION D1557. FIELD DENSITY TEST WILL BE PERFORMED IN ACCORDANCE WITH ASTM TEST DESIGNATION 2922 AND 3017. THE LOCATION AND FREQUENCY OF THE FIELD DENSITY TEST WILL BE AS DETERMINED BY THE SOIL ENGINEER. THE RESULTS OF THESE TEST AND COMPLIANCE WITH THE SPECIFICATIONS WILL BE THE BASIS UPON WHICH SATISFACTORY COMPLETION OF THE WORK WILL BE JUDGED BY THE SOIL ENGINEER. ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED AS SHOWN ON PLANS, BUT NO STEEPER THAN TWO (2) HORIZONTAL TO ONE (1) VERTICAL.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL THE EARTHWORK IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. NO DEVIATION FROM THESE SPECIFICATIONS SHALL BE MADE EXCEPT UPON WRITTEN APPROVAL BY THE SOILS ENGINEER. BOTH CUT AND FILL AREAS SHALL BE SURFACE COMPLETED TO THE SATISFACTION OF THE SOILS ENGINEER AT THE CONCLUSION OF ALL GRADING OPERATIONS AND PRIOR TO FINAL ACCEPTANCE. THE CONTRACTOR SHALL NOTIFY THE SOILS ENGINEER AT LEAST TWO (2) WORKING DAYS PRIOR TO DOING ANY SITE GRADING AND EARTHWORK INCLUDING CLEARING.

3. CLEARING AND GRUBBING

- A. THE CONTRACTOR SHALL ACCEPT THE SITE IN ITS PRESENT CONDITION. ALL EXISTING PUBLIC IMPROVEMENTS SHALL BE PROTECTED. ANY IMPROVEMENTS DAMAGED SHALL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE LOCAL JURISDICTION WITH NO EXTRA COMPENSATION.
- B. ALL ABANDONED BUILDINGS AND FOUNDATIONS, TREE (EXCEPT THOSE SPECIFIED TO REMAIN FOR LANDSCAPING PURPOSES), FENCES, VEGETATION AND ANY SURFACE DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF THE SITE BY THE CONTRACTOR.
- C. ALL ABANDONED SEPTIC TANKS AND ANY OTHER SUBSURFACE STRUCTURES EXISTING IN PROPOSED DEVELOPMENT AREAS SHALL BE REMOVED PRIOR TO ANY GRADING OR FILL OPERATION. ALL APPURTENANT DRAIN FIELDS AND OTHER CONNECTING LINES MUST ALSO BE TOTALLY REMOVED.
- D. ALL ABANDONED UNDERGROUND IRRIGATION OR UTILITY LINES SHALL BE REMOVED OR DEMOLISHED. THE APPROPRIATE FINAL DISPOSITION OF SUCH LINES WILL BE DETERMINED BY THE SOILS ENGINEER. THE METHOD OF REMOVAL OR DEMOLITION SHALL BE DETERMINED BY THE SOILS ENGINEER. ONE OF THE FOLLOWING METHODS WILL BE USED:
 - (1) EXCAVATE AND TOTALLY REMOVE THE UTILITY LINE FROM THE TRENCH.
 - (2) EXCAVATE AND CRUSH THE UTILITY LINE IN THE TRENCH.
 - (3) CAP THE ENDS OF THE UTILITY LINE WITH CONCRETE TO PREVENT THE ENTRANCE OF WATER. THE LOCATIONS AT WHICH THE UTILITY LINE WILL BE CAPPED WILL BE DETERMINED BY THE UTILITY DISTRICT ENGINEER. THE LENGTH OF THE CAP SHALL NOT BE LESS THAN FIVE FEET, AND THE CONCRETED MIX EMPLOYED SHALL HAVE MINIMUM SHRINKAGE.

4. SITE PREPARATION AND STRIPPING

- A. ALL SURFACE ORGANICS SHALL BE STRIPPED AND REMOVED FROM BUILDING PADS, AREAS TO RECEIVE COMPACTED FILL AND PAVEMENT AREAS.
- B. UPON THE COMPLETION OF THE ORGANIC STRIPPING OPERATION, THE GROUND SURFACE (NATIVE SOIL SUBGRADE) OVER THE ENTIRE AREA OF ALL BUILDING PADS, STREET AND PAVEMENT AREAS AND ALL AREAS TO RECEIVE COMPACTED FILL SHALL BE PLOWED OR SCARIFIED UNTIL THE SURFACE IS FREE OF RUTS, HUMMOCKS OR OTHER UNEVEN FEATURES WHICH MAY INHIBIT UNIFORM SOIL COMPACTION. THE GROUND SURFACE SHALL THEN BE DISCED OR BLADED TO A DEPTH OF AT LEAST 6 INCHES. UPON ENGINEER'S SATISFACTION, THE NEW SURFACE SHALL BE WATER CONDITIONED AND RECOMPACTED PER REQUIREMENTS FOR COMPACTING FILL MATERIAL.

5. EXCAVATION

- A. UPON COMPLETION OF THE CLEARING AND GRUBBING, SITE PREPARATION AND STRIPPING, THE CONTRACTOR SHALL MAKE EXCAVATIONS TO LINES AND GRADES NOTED ON THE PLAN. WHERE REQUIRED BY THE SOILS ENGINEER, UNACCEPTABLE NATIVE SOILS OR UNENGINEERED FILL SHALL BE OVER EXCAVATED BELOW THE DESIGN GRADE. SEE PROJECT SOILS REPORT FOR DISCUSSION OF OVER EXCAVATION OF THE UNACCEPTABLE MATERIAL. RESULTING GROUND LINE SHALL BE SCARIFIED, MOISTURE-CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS. COMPACTED FILL MATERIAL SHALL BE PLACED TO BRING GROUND LEVEL BACK TO DESIGN GRADE.
- B. EXCAVATED MATERIALS SUITABLE FOR COMPACTED FILL MATERIAL SHALL BE UTILIZED IN MAKING THE REQUIRED COMPACTED FILLS. THOSE NATIVE MATERIALS CONSIDERED UNSUITABLE BY THE SOILS ENGINEER SHALL BE DISPOSED OF OFF THE SITE BY THE CONTRACTOR.

6. PLACING, SPREADING AND COMPACTING FILL MATERIAL

A. FILL MATERIALS

THE MATERIALS PROPOSED FOR USE AS COMPACTED FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. THE NATIVE MATERIAL IS CONSIDERED SUITABLE FOR FILL; HOWEVER, ANY NATIVE MATERIAL DESIGNATED UNSUITABLE BY THE SOILS ENGINEER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. ANY IMPORTED MATERIAL SHALL BE APPROVED FOR USE BY THE SOILS ENGINEER, IN WRITING, BEFORE BEING IMPORTED TO THE SITE AND SHALL POSSESS SUFFICIENT FINES TO PROVIDE A COMPETENT SOIL MATRIX AND SHALL BE FREE OF VEGETATIVE AND ORGANIC MATTER AND OTHER DELETERIOUS MATERIALS. ALL FILL VOIDS SHALL BE FILLED AND PROPERLY COMPACTED. NO ROCKS LARGER THAN THREE INCHES IN DIAMETER SHALL BE PERMITTED.

B. FILL CONSTRUCTION

THE SOILS ENGINEER SHALL APPROVE THE NATIVE SOIL SUBGRADE BEFORE PLACEMENT OF ANY COMPACTED FILL MATERIAL. UNACCEPTABLE NATIVE SOIL SHALL BE REMOVED AS DIRECTED BY THE SOILS ENGINEER. THE RESULTING GROUND LINE SHALL BE SCARIFIED MOISTURE CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS. COMPACTED FILL MATERIAL SHALL BE PLACED TO BRING GROUND LEVEL BACK TO DESIGN GRADE. GROUND PREPARATION SHALL BE FOLLOWED CLOSELY BY FILL PLACEMENT TO PREVENT DRYING OUT OF THE SUBSOIL BEFORE PLACEMENT OF THE FILL.

THE APPROVED FILL MATERIALS SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS NO THICKER THAN 8" IN LOOSE THICKNESS. LAYERS SHALL BE SPREAD EVENLY AND SHALL BE THOROUGHLY BLADE MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL IN EACH LAYER. THE SCARIFIED SUBGRADE AND FILL MATERIAL SHALL BE MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE. WHEN THE MOISTURE CONTENT OF THE FILL IS BELOW THAT SPECIFIED, WATER SHALL BE ADDED UNTIL THE MOISTURE DURING THE COMPACTION PROCESS. WHEN THE MOISTURE CONTENT OF THE FILL IS ABOVE THAT SPECIFIED, THE FILL MATERIAL SHALL BE AERATED BY BLADING OR OTHER SATISFACTORY METHODS UNTIL THE MOISTURE CONTENT IS AS SPECIFIED.

AFTER EACH LAYER HAS BEEN PLACED, MIXED, SPREAD EVENLY AND MOISTURE CONDITIONED, IT SHALL BE COMPACTED TO AT LEAST THE SPECIFIED DENSITY.

THE FILL OPERATION SHALL BE CONTINUED IN COMPACTED LAYERS AS SPECIFIED ABOVE UNTIL THE FILL HAS BEEN BROUGHT TO THE FINISHED SLOPES AND GRADES AS SHOWN ON THE PLANS. NO LAYER SHALL BE ALLOWED TO DRY OUT BEFORE SUBSEQUENT LAYERS ARE PLACED.

COMPACTION EQUIPMENT SHALL BE OF SUCH DESIGN THAT IT WILL BE ABLE TO COMPACT THE FILL TO THE SPECIFIED MINIMUM COMPACTION WITHIN THE SPECIFIED MOISTURE CONTENT RANGE. COMPACTION OF EACH LAYER SHALL BE CONTINUOUS OVER ITS ENTIRE AREA UNTIL THE REQUIRED MINIMUM DENSITY HAS BEEN OBTAINED.

7. CUT OR FILL SLOPES

ALL CONSTRUCTED SLOPES, BOTH CUT AND FILL, SHALL BE NO STEEPER THAN 2 TO 1 (HORIZONTAL TO VERTICAL). DURING THE GRADING OPERATION, COMPACTED FILL SLOPES SHALL BE OVERFILLED BY AT LEAST ONE FOOT HORIZONTALLY AT THE COMPLETION OF THE GRADING OPERATIONS. THE EXCESS FILL EXISTING ON THE SLOPES SHALL BE BLADED OFF TO CREATE THE FINISHED SOLE EMBANKMENT. ALL CUT AND FILL SLOPES SHALL BE TRACK WALKED AFTER BEING BROUGHT TO FINISH GRADE AND THEN BE PLANTED WITH EROSION CONTROL SLOPE PLANTING. THE SOILS ENGINEER SHALL REVIEW ALL CUT SLOPES TO DETERMINE IF ANY ADVERSE GEOLOGIC CONDITIONS ARE EXPOSED. IF SUCH CONDITIONS DO OCCUR, THE SOILS ENGINEER SHALL RECOMMEND THE APPROPRIATE MITIGATION MEASURES AT THE TIME OF THEIR DETECTION.

8. SEASONAL LIMITS AND DRAINAGE CONTROL

FILL MATERIALS SHALL NOT BE PLACED, SPREAD OR COMPACTED WHILE IT IS AT AN UNSUITABLY HIGH MOISTURE CONTENT OR DURING OTHERWISE UNFAVORABLE CONDITIONS. WHEN THE WORK IS INTERRUPTED FOR ANY REASON THE FILL OPERATIONS SHALL NOT BE RESUMED UNTIL FIELD TEST PERFORMED BY THE SOILS ENGINEER INDICATE THAT THE MOISTURE CONDITIONS IN AREAS TO BE FILLED ARE AS PREVIOUSLY SPECIFIED. ALL EARTH MOVING AND WORKING OPERATIONS SHALL BE CONTROLLED TO PREVENT WATER FROM RUNNING INTO EXCAVATED AREAS. ALL EXCESS WATER SHALL BE PROMPTLY REMOVED AND THE SITE KEPT DRY.

9. DUST CONTROL

THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY FOR THE ALLEVIATION OR PREVENTION OF ANY DUST NUISANCE ON OR ABOUT THE SITE CAUSED BY THE CONTRACTOR'S OPERATION EITHER DURING THE PERFORMANCE OF THE GRADING OR RESULTING FROM THE CONDITION IN WHICH THE CONTRACTOR LEAVES THE SITE. THE CONTRACTOR SHALL ASSUME ALL LIABILITY INCLUDING COURT COST OF CO-DEFENDANTS FOR ALL CLAIMS RELATED TO DUST OR WIND-BLOWN MATERIALS ATTRIBUTABLE TO HIS WORK. COST FOR THIS ITEM OF WORK IS TO BE INCLUDED IN THE EXCAVATION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

10. INDEMNITY

THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ENGINEER, THE OWNER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGE ARISING OR ALLEGED TO HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS.

11. SAFETY

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEERS TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

12. GUARANTEE

NEITHER THE FINAL PAYMENT, NOR THE PROVISIONS IN THE CONTRACT, NOR PARTIAL, NOR ENTIRE USE OR OCCUPANCY OF THE PREMISES BY THE OWNER SHALL CONSTITUTE AN ACCEPTANCE OF THE WORK NOT DONE IN ACCORDANCE WITH THE CONTRACT OR RELIEVES THE CONTRACTOR OF LIABILITY IN RESPECT TO ANY EXPRESS WARRANTIES OR RESPONSIBILITY FOR FAULTY MATERIAL OR WORKMANSHIP.

THE CONTRACTOR SHALL REMEDY ANY DEFECTS IN WORK AND PAY FOR ANY DAMAGE TO OTHER WORK RESULTING THEREFROM WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.

13. TRENCH BACKFILL

EITHER THE ON-SITE INORGANIC SOIL OR APPROVED IMPORTED SOIL MAY BE USED AS TRENCH BACKFILL. THE BACKFILL MATERIAL SHALL BE MOISTURE CONDITIONED PER THESE SPECIFICATIONS AND SHALL BE PLACED IN LIFTS OF NOT MORE THAN SIX INCHES IN HORIZONTAL UNCOMPACTED LAYERS AND BE COMPACTED BY MECHANICAL MEANS TO A MINIMUM OF 90% RELATIVE COMPACTION. IMPORTED SAND MAY BE USED FOR TRENCH BACKFILL MATERIAL PROVIDED IT IS COMPACTED TO AT LEAST 90% RELATIVE COMPACTION. WATER JETTING ASSOCIATED WITH COMPACTION USING VIBRATORY EQUIPMENT WILL BE PERMITTED ONLY WITH IMPORTED SAND BACKFILL WITH THE APPROVAL OF THE SOILS ENGINEER. ALL PIPES SHALL BE BEDDED WITH SAND EXTENDING FROM THE TRENCH BOTTOM TO TWELVE INCHES ABOVE THE PIPE. SAND BEDDING IS TO BE COMPACTED AS SPECIFIED ABOVE FOR SAND BACKFILL.

14. EROSION CONTROL

A. ALL GRADING, EROSION AND SEDIMENT CONTROL AND RELATED WORK UNDERTAKEN ON THIS SITE IS SUBJECT TO ALL TERMS AND CONDITIONS OF THE COUNTY GRADING ORDINANCE AND MADE A PART HEREOF BY REFERENCE.

B. THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO ANY PUBLICLY OWNED AND MAINTAINED ROAD CAUSED BY THE AFORESAID CONTRACTOR'S GRADING ACTIVITIES, AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE HAUL ROUTE.

C. THE EROSION CONTROL MEASURES ARE TO BE OPERABLE DURING THE RAINY SEASON, GENERALLY FROM OCTOBER FIRST TO APRIL FIFTEENTH. EROSION CONTROL PLANTING IS TO BE COMPLETED BY OCTOBER FIRST. NO GRADING OR UTILITY TRENCHING SHALL OCCUR BETWEEN OCTOBER FIRST AND APRIL FIFTEENTH UNLESS AUTHORIZED BY THE LOCAL JURISDICTION.

D. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE SOILS ENGINEER.

E. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.

F. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.

G. WHEN NO LONGER NECESSARY AND PRIOR TO FINAL ACCEPTANCE OF DEVELOPMENT, SEDIMENT BASINS SHALL BE REMOVED OR OTHERWISE DEACTIVATED AS REQUIRED BY THE LOCAL JURISDICTION.

H. A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE TO ROADWAY. A CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (2" TO 3" MINIMUM DIAMETER) AT LEAST EIGHT INCHES THICK BY FIFTY (50) FEET LONG BY TWENTY (20) FEET WIDE UNLESS SHOWN OTHERWISE ON PLAN AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.

I. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS:

FIBER, 2000 LBS/ACRE
SEED, 200 LBS/ACRE (SEE NOTE J, BELOW)
FERTILIZER (11-8-4), 500 LBS/ACRE
WATER, AS REQUIRED FOR APPLICATION

J. SEED MIX SHALL BE PER CALTRANS STANDARDS.

K. WATER UTILIZED IN THE STABILIZATION MATERIAL SHALL BE OF SUCH QUALITY THAT IT WILL PROMOTE GERMINATION AND STIMULATE GROWTH OF PLANTS. IT SHALL BE FREE OF POLLUTANT MATERIALS AND WEED SEED.

L. HYDROSEEDING SHALL CONFORM TO THE PROVISIONS OF SECTION 20, EROSION CONTROL AND HIGHWAY "PLANTING", OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED.

M. A DISPERSING AGENT MAY BE ADDED TO THE HYDROSEEDING MATERIAL, PROVIDED THAT THE CONTRACTOR FURNISHES SUITABLE EVIDENCE THAT THE ADDITIVE WILL NOT ADVERSELY AFFECT THE PERFORMANCE OF THE SEEDING MIXTURE.

N. STABILIZATION MATERIALS SHALL BE APPLIED AS SOON AS PRACTICABLE AFTER COMPLETION OF GRADING OPERATIONS AND PRIOR TO THE ONSET OF WINTER RAINS, OR AT SUCH OTHER TIME AS DIRECTED BY THE COUNTY ENGINEER. THE MATERIAL SHALL BE APPLIED BEFORE INSTALLATION OF OTHER LANDSCAPING MATERIALS SUCH AS TREES, SHRUBS AND GROUND COVERS.

O. THE STABILIZATION MATERIAL SHALL BE APPLIED WITHIN 4-HOURS AFTER MIXING. MIXED MATERIAL NOT USED WITHIN 4-HOURS SHALL BE REMOVED FROM THE SITE.

P. THE CONTRACTOR SHALL MAINTAIN THE SOIL STABILIZATION MATERIAL AFTER PLACEMENT. THE COUNTY ENGINEER MAY REQUIRE SPRAY APPLICATION OF WATER OR OTHER MAINTENANCE ACTIVITIES TO ASSURE THE EFFECTIVENESS OF THE STABILIZATION PROCESS. APPLICATION OF WATER SHALL BE ACCOMPLISHED USING NOZZLES THAT PRODUCE A SPRAY THAT DOES NOT CONCENTRATE OR WASH AWAY THE STABILIZATION MATERIALS.

15. CLEANUP

THE CONTRACTOR MUST MAINTAIN THE SITE CLEAN, SAFE AND IN USABLE CONDITION. ANY SPILLS OF SOIL, ROCK OR CONSTRUCTION MATERIAL MUST BE REMOVED FROM THE SITE BY THE CONTRACTOR DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. COST FOR THIS ITEM OF WORK SHALL BE INCLUDED IN THE EXCAVATION AND COMPACTION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

NOTE:
THESE NOTES ARE INTENDED TO BE USED AS A GENERAL GUIDELINE. THE REFERENCED SOILS REPORT FOR THE PROJECT AND GOVERNING AGENCY GRADING ORDINANCE SHALL SUPERSEDE THESE NOTES. THE SOILS ENGINEER MAY MAKE ON-SITE RECOMMENDATIONS DURING GRADING OPERATIONS.



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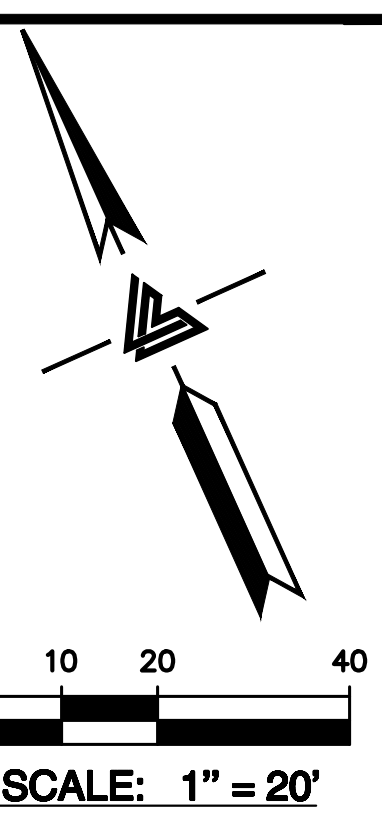
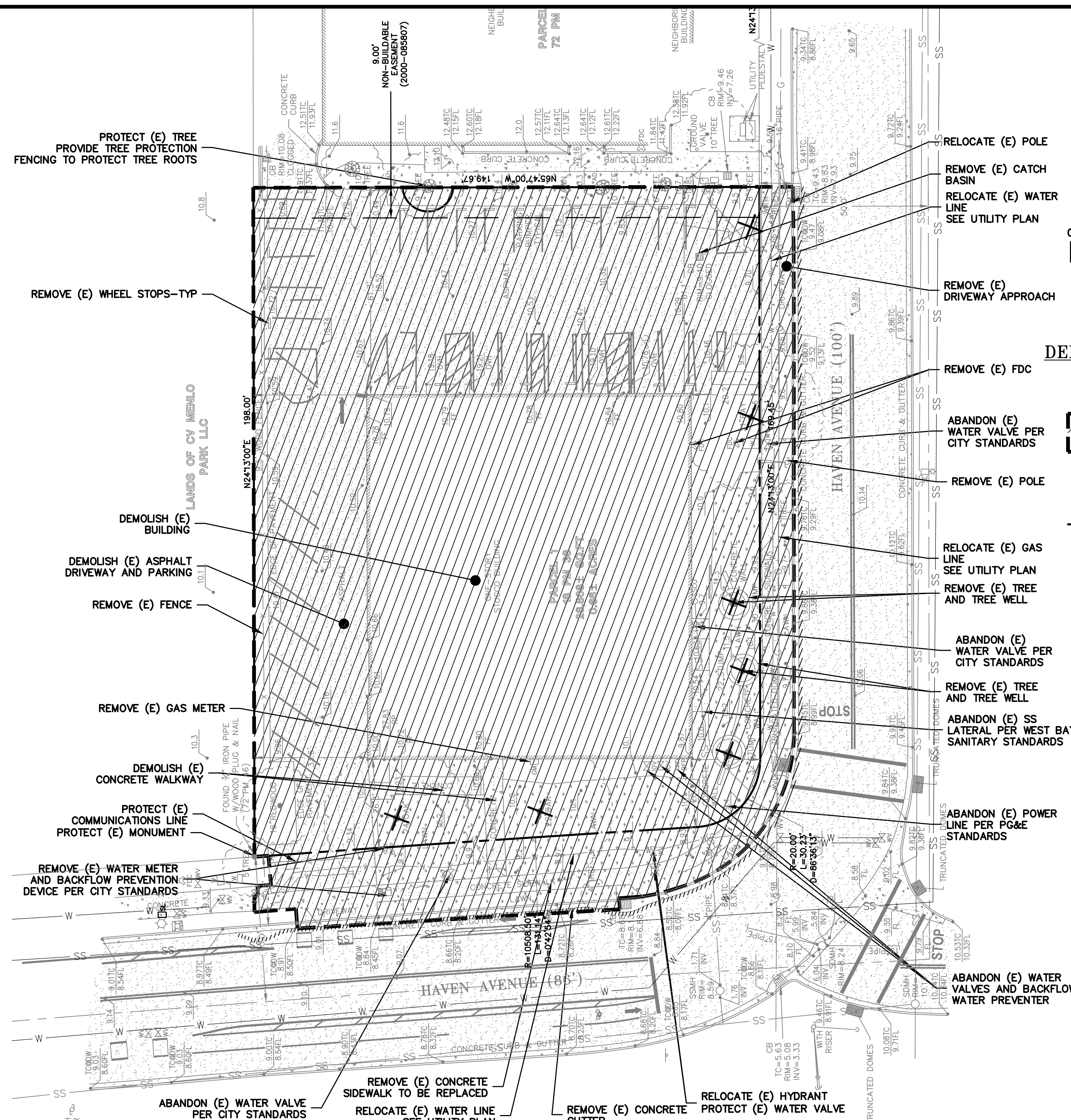
GRADING
SPECIFICATIONS

| NO. | DESCRIPTION | DATE | BY |
|-----|-------------|----------|----|
| 9 | COMP REVIEW | 07-16-24 | VA |
| 8 | COMP REVIEW | 05-31-24 | VA |
| 7 | COMP REVIEW | 03-21-24 | VA |
| 6 | C3 PLN CHK | 10-17-23 | VA |
| 5 | C3 PLN CHK | 10-04-23 | VA |
| | REVISIONS | | BY |

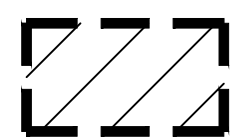
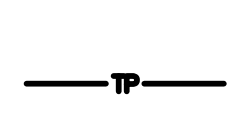

JOB NO: 2220759
DATE: 11-18-22
SCALE: NO SCALE
DESIGN BY: VA
CHECKED BY: JH/PC
SHEET NO:

C-1.1

02 OF 22 SHEETS



DEMOLITION LEGEND

-  ALL ITEMS WITHIN LIMITS OF DEMOLITION TO BE REMOVED UNLESS OTHERWISE NOTED TO REMAIN ON PLANS. CONTRACTOR IS TO REMOVE ALL LAWN IRRIGATION SYSTEMS, PAVEMENT CONCRETE AND STRUCTURES UNLESS CALLED OUT TO REMAIN. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.
-  TREE PROTECTION FENCING PER ARBORIST RECOMMENDATIONS. REFER TO CITY OF MENLO PARK TREE PROTECTION SPECIFICATIONS AND ARBORIST REPORT.
-  REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.

NOTES

1. THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS LOCATED IN CITY'S RIGHT-OF-WAY, EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE.
2. CIVIL ENGINEER SHALL COORDINATE WITH PROJECT ARBORIST TO DETERMINE THE LOCATIONS OF EDGE OF PAVEMENT, STORM DRAIN LINES AND OTHER UTILITY LINES NEAR TREES. THE LOCATIONS OF IMPROVEMENTS NEAR CITY TREES SHALL BE APPROVED BY CITY ARBORIST.
3. CONTACT PUBLIC WORKS AT (650) 330-6740 TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF PUBLIC IMPROVEMENT WORK. THE CONSTRUCTION SUPERVISOR WILL DISCUSS ANY REPAIR WORK TO FRONTAGE IMPROVEMENTS WHICH ARE NOT SHOWN ON THE PLANS.
4. PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION FOR ALL EXISTING PRIVATE STRUCTURES, IMPROVEMENTS AND LANDSCAPING (IF ANY) LOCATED IN THE CITY'S RIGHT-OF-WAY ALONG THE PROPERTY FRONTAGE.
5. THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS (CURB, GUTTER, SIDEWALK, DRIVEWAY, ETC.), EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. IF FRONTAGE IMPROVEMENTS DO NOT CURRENTLY EXIST, THE APPLICANT IS REQUIRED TO INSTALL FRONTAGE IMPROVEMENTS PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. ALL IMPROVEMENTS ARE TO BE COMPLETED AND APPROVED BY THE CITY OF MENLO PARK'S PUBLIC WORKS INSPECTOR PRIOR TO THE FINAL INSPECTION BY THE BUILDING INSPECTOR.



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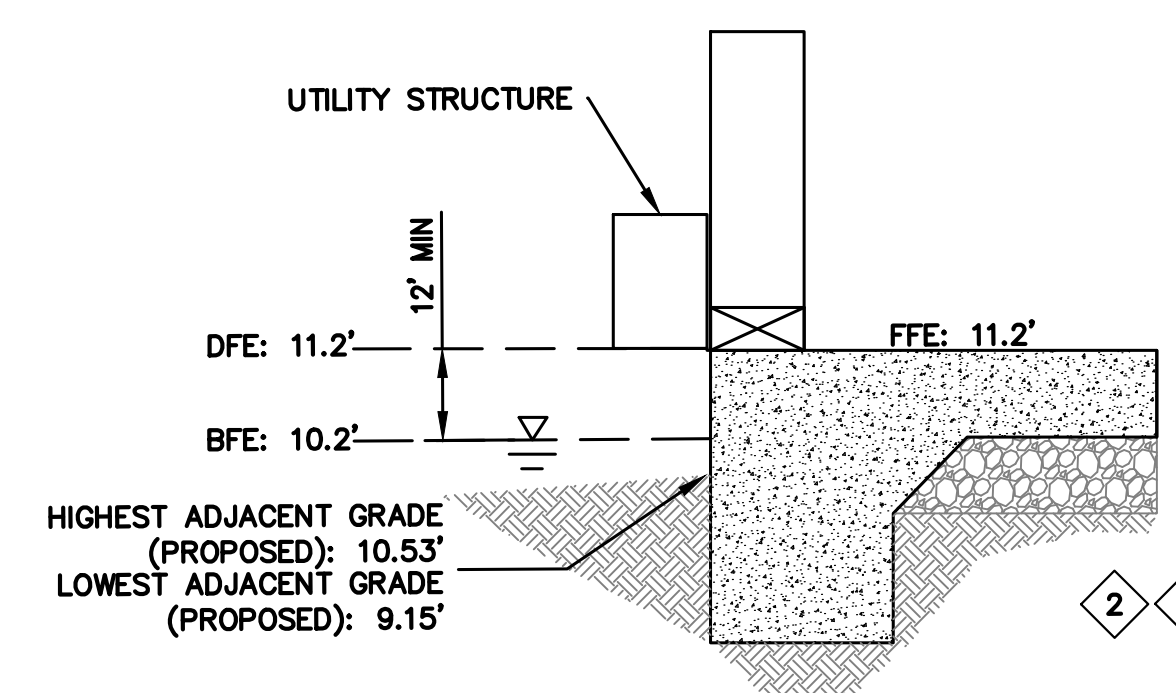
**3705 HAVEN AVENUE
 MENLO PARK, CALIFORNIA**
 SAN MATEO COUNTY
 APN: 055-170-240

DEMOLITION PLAN

| NO. | REVISIONS | BY |
|-----|----------------------|----|
| 9 | COMP REVIEW 07-16-24 | VA |
| 8 | COMP REVIEW 05-31-24 | VA |
| 7 | COMP REVIEW 03-21-24 | VA |
| 6 | C3 PLN CHK 10-17-23 | VA |
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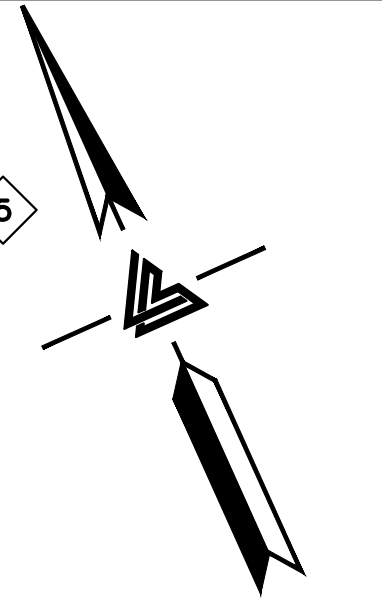
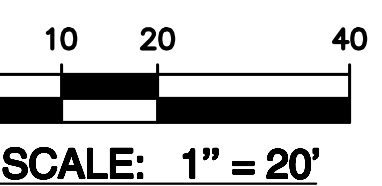
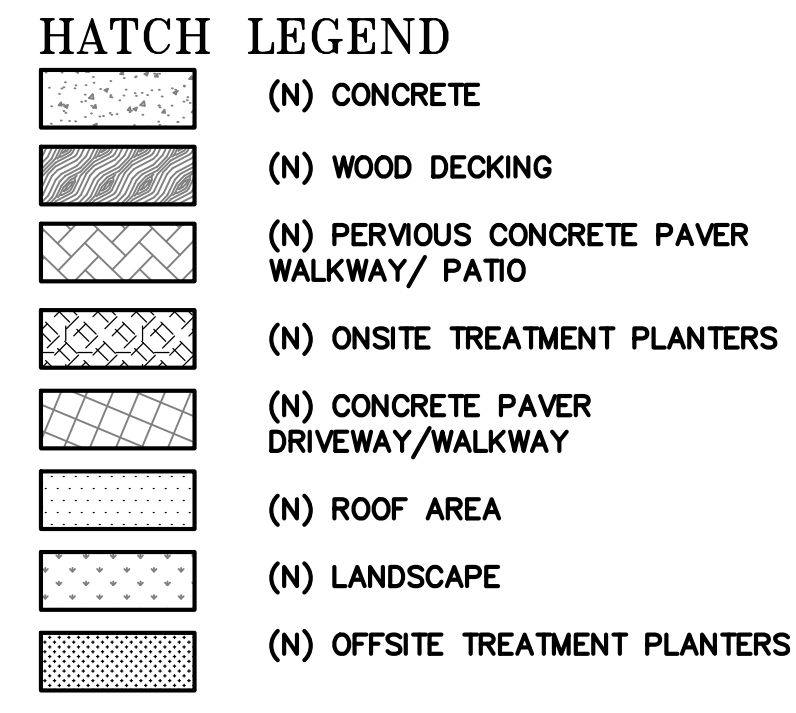
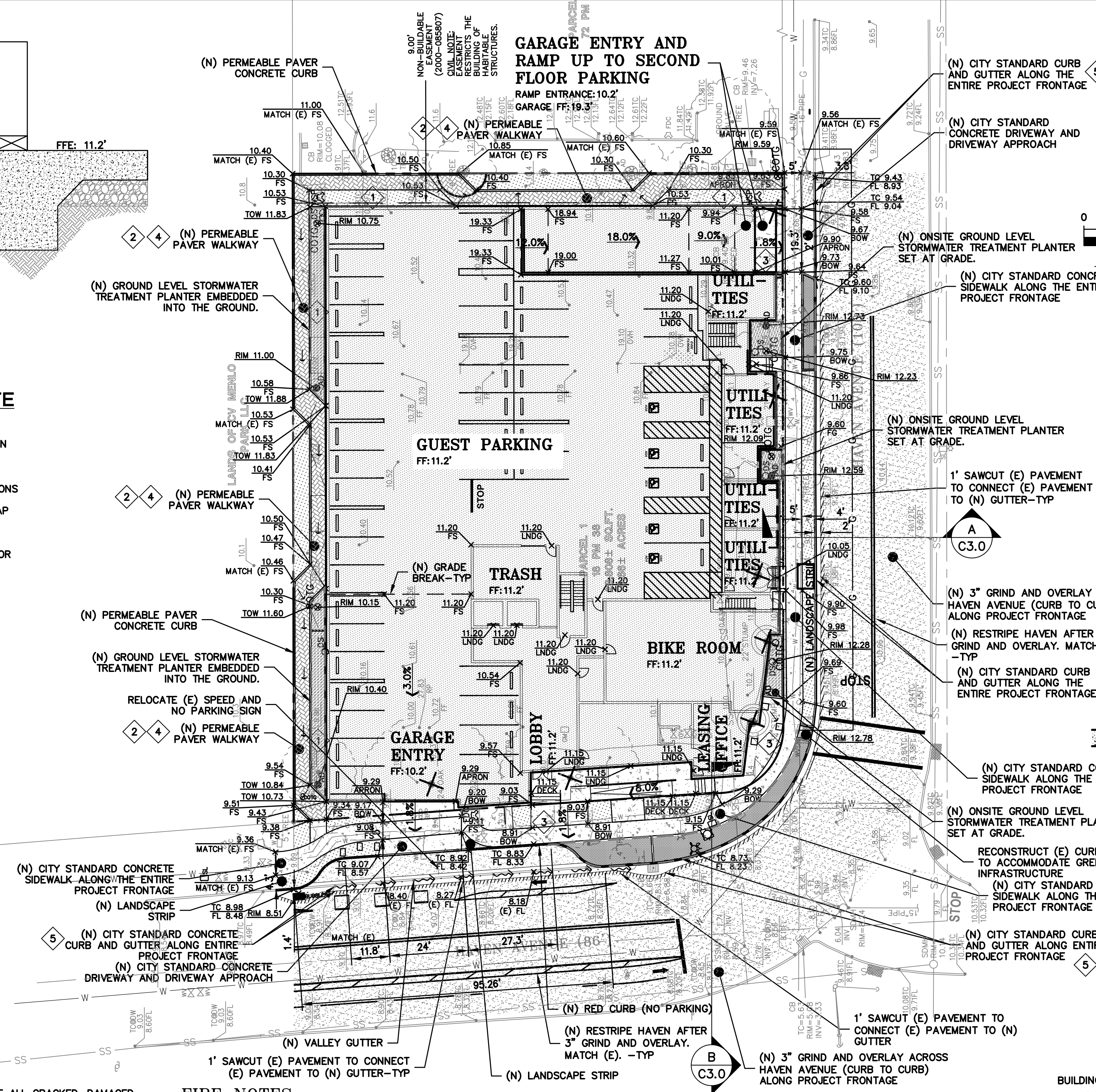




FEMA ELEVATIONS
NTS

FEMA FLOOD NOTE

FLOOD ZONE: AE
100-YEAR BASE FLOOD ELEVATION (BFE): 10.2' (NAVD88 DATUM) PER FLOOD INSURANCE STUDY TABLE 11, SUMMARY OF NON-COASTAL STILLWATER ELEVATIONS
FEMA FLOOD INSURANCE RATE MAP NO.: 06081C0306F EFFECTIVE DATE: APRIL 5, 2019
FEMA FLOOD INSURANCE STUDY FOR SAN MATEO COUNTY, CA NO.: 06081C001D REVISED: APRIL 5, 2019



FLATWORK KEYNOTES 1 TO 5
FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
2 PROVIDE 1.8% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
3 (N) CONCRETE DRIVEWAY/PATIO/WALKWAY. SEE DETAIL ON SHEET C-6.0.
4 (N) PERMEABLE PAVER WALKWAY-S.L.D.
5 (N) CITY STANDARD CURB AND GUTTER ALONG ENTIRE PROJECT FRONTAGE. USE GREEN INFRASTRUCTURE EDGE TREATMENT WITH DRAINAGE NOTCHES WHERE APPLICABLE. SEE SCP-4 FOR DETAILS.

- NOTES**
- THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS LOCATED IN CITY'S RIGHT-OF-WAY, EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE.
 - CIVIL ENGINEER SHALL COORDINATE WITH PROJECT ARBORIST TO DETERMINE THE LOCATIONS OF EDGE OF PAVEMENT, STORM DRAIN LINES AND OTHER UTILITY LINES NEAR TREES. THE LOCATIONS OF IMPROVEMENTS NEAR CITY TREES SHALL BE APPROVED BY CITY ARBORIST.
 - CONTACT PUBLIC WORKS AT (650) 330-6740 TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF PUBLIC IMPROVEMENT WORK. THE CONSTRUCTION SUPERVISOR WILL DISCUSS ANY REPAIR WORK TO FRONTAGE IMPROVEMENTS WHICH ARE NOT SHOWN ON THE PLANS.
 - PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION FOR ALL EXISTING PRIVATE STRUCTURES, IMPROVEMENTS AND LANDSCAPING (IF ANY) LOCATED IN THE CITY'S RIGHT-OF-WAY ALONG THE PROPERTY FRONTAGE.
 - THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS (CURB, GUTTER, SIDEWALK, DRIVEWAY, ETC.), EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. IF FRONTAGE IMPROVEMENTS DO NOT CURRENTLY EXIST, THE APPLICANT IS REQUIRED TO INSTALL FRONTAGE IMPROVEMENTS PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. ALL IMPROVEMENTS ARE TO BE COMPLETED AND APPROVED BY THE CITY OF MENLO PARK'S PUBLIC WORKS INSPECTOR PRIOR TO THE FINAL INSPECTION BY THE BUILDING INSPECTOR.

- FIRE NOTES**
- FIRE APPARATUS ROADWAYS, INCLUDING PUBLIC AND PRIVATE STREETS AND IN SOME CASES DRIVEWAYS USED FOR VEHICLE ACCESS, SHALL BE CAPABLE OF SUPPORTING THE IMPOSED WEIGHT OF A 75,000 POUND (34,050 KG) FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. ONLY PAVED OR CONCRETE SURFACES ARE CONSIDERED TO BE ALL WEATHER DRIVING SURFACES. CFC 2016, APPENDIX D.
 - CURBING LOCATED WITHIN THE COMPLEX THAT HAS NOT BEEN ASSIGNED AS ON-SITE PARKING SHALL BE DESIGNATED AS "NO PARKING FIRE LANE". ALL FIRE LANES TO COMPLY WITH MPFD STANDARD FOR "DESIGNATION AND MARKING OF FIRE LANE", SINCE THERE ARE ONLY TO POINTS OF ACCESS TO THE COMPLEX "ENTRANCE SIGN B" MAY BE USED AT EACH POINT OF ACCESS TO COMPLEX. PROVIDE A COMPLETE NO PARKING-FIRE LANE STRIPPING PLAN WITH NO PARKING SIGNAGE IN ACCORDANCE TO MPFD STANDARD ON SUBSEQUENT SUBMITTAL.
 - ROADWAY WIDTH FOR PROJECT SHALL BE NO LESS THAN 26 FEET WIDE AND SHALL REQUIRE CURB STRIPPING WITH NO PARKING SIGNAGE AS PER MPFD STANDARD.
 - REQUIRED NO PARKING SIGNAGE INSTALLED AT AN APPROVED LOCATION AT ENTRANCES.
 - FIRE APPARATUS ROADWAYS, INCLUDING PUBLIC OR PRIVATE STREETS OR ROADS USED FOR VEHICLE ACCESS SHALL BE INSTALLED AND IN SERVICE PRIOR TO CONSTRUCTION. FIRE PROTECTION WATER SERVING ALL HYDRANTS SHALL BE PROVIDED AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
 - PRIOR TO COMBUSTIBLE MATERIAL ARRIVING ON THE SITE, CONTACT THE MENLO PARK FIRE DISTRICT TO SCHEDULE AN INSPECTION OF ROADWAYS AND FIRE HYDRANTS. CFC 2013.

INSPECTION NOTE:
THE CONTRACTOR SHALL INFORM THE OWNER (IN WRITING) OF RECOMMENDED PERIODIC INSPECTION AND MAINTENANCE OF THE ON-SITE STORM DRAINAGE SYSTEM. THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.

NOTE:
CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS IN ANY EXIST.

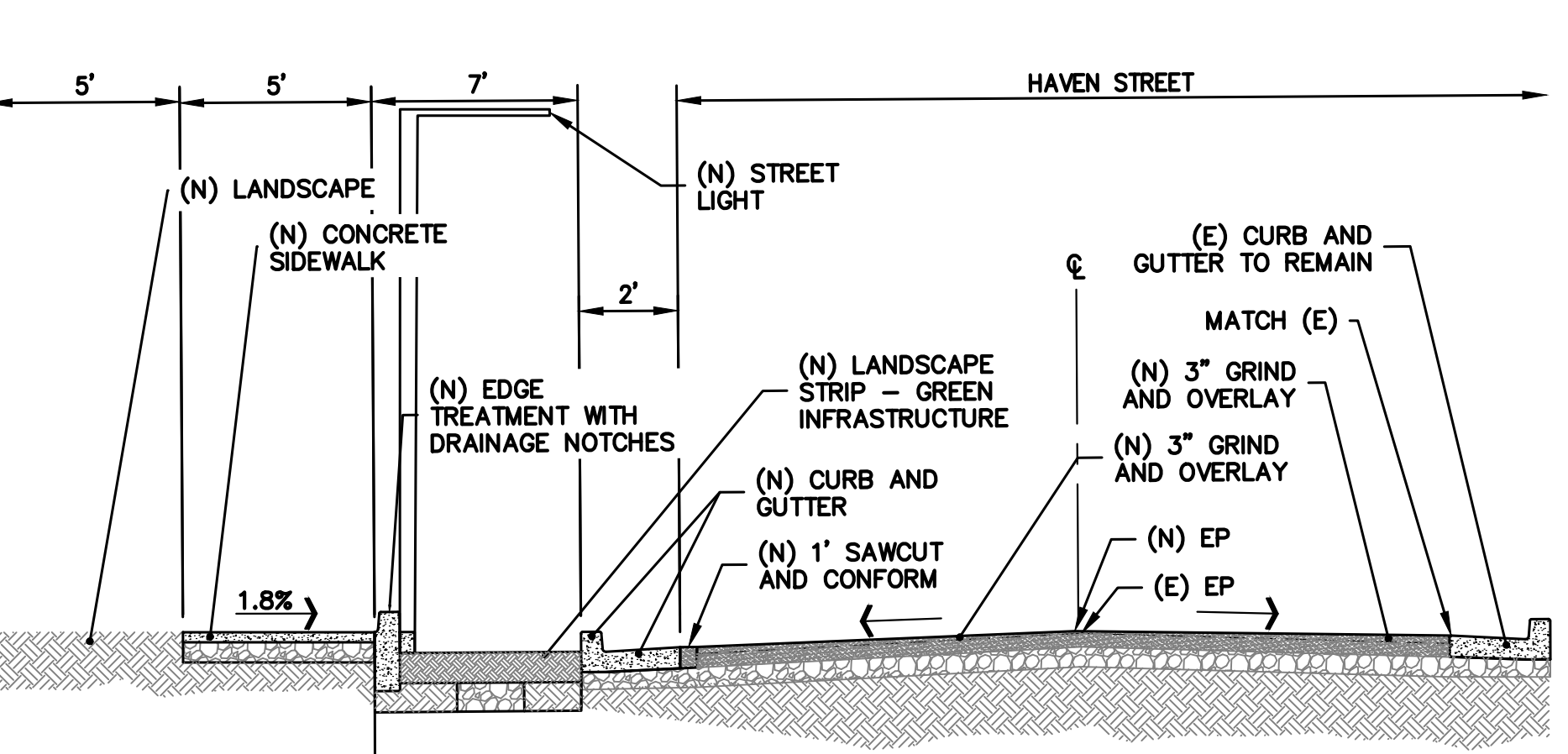
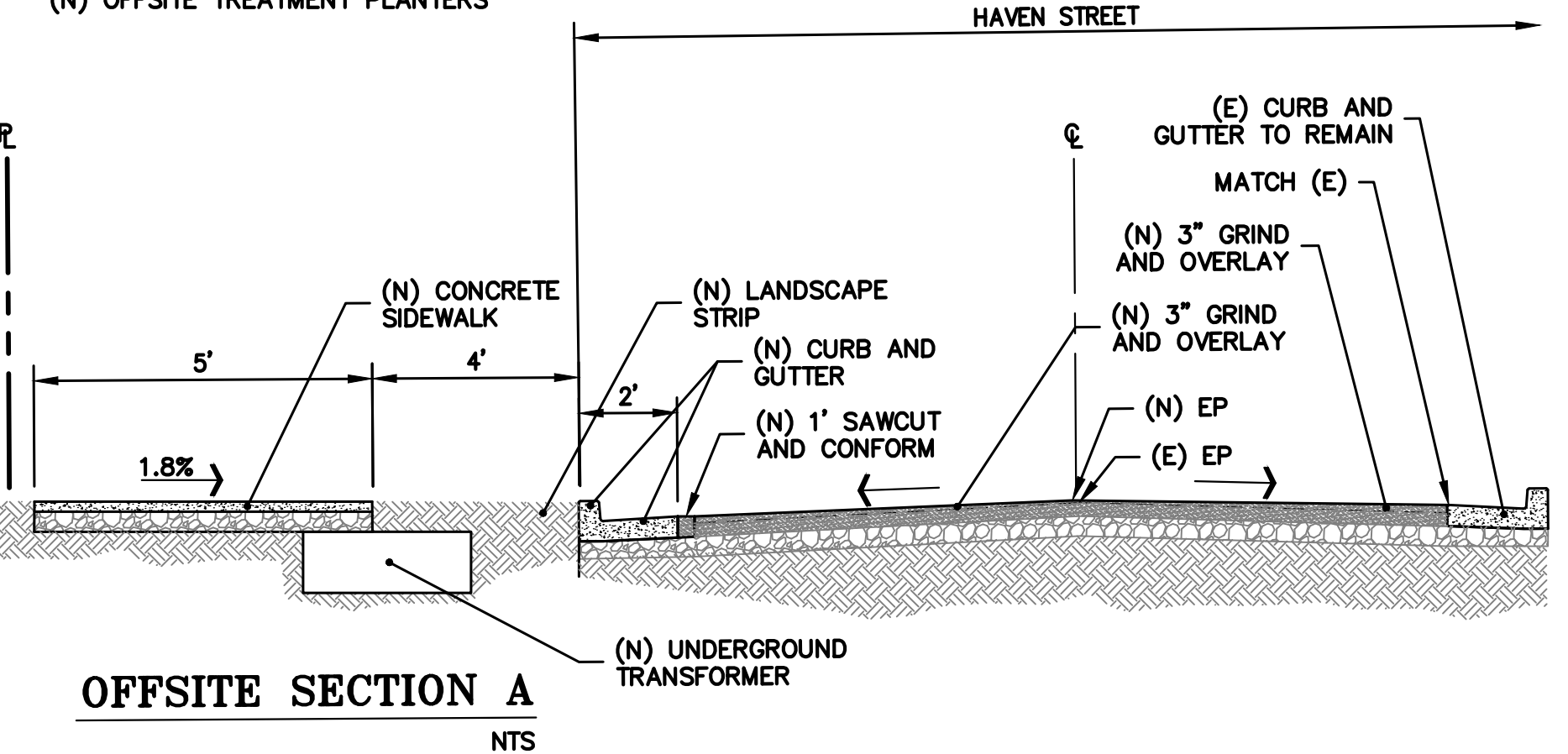
NOTE:
ALL UTILITIES SHALL BE PLACED UNDERGROUND IF REQUIRED BY THE UTILITY COMPANY.

NOTE:
SITE GRADING SHALL NOT IMPEDE EXISTING DRAINAGE FROM ADJACENT PROPERTIES AND SHALL NOT GENERATE SURFACE RUN-OFF FLOW ONTO ADJACENT PROPERTIES.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

BUILDING PAD NOTE:
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:
TOPOGRAPHIC INFORMATION HAS BEEN REMOVED FOR CLARITY. SEE ORIGINAL SURVEY FOR EXISTING SITE CONDITIONS.



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
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(510) 887-4086
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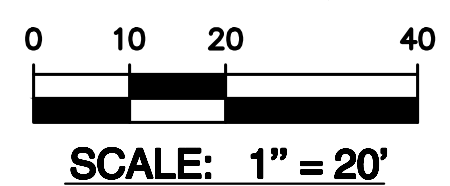
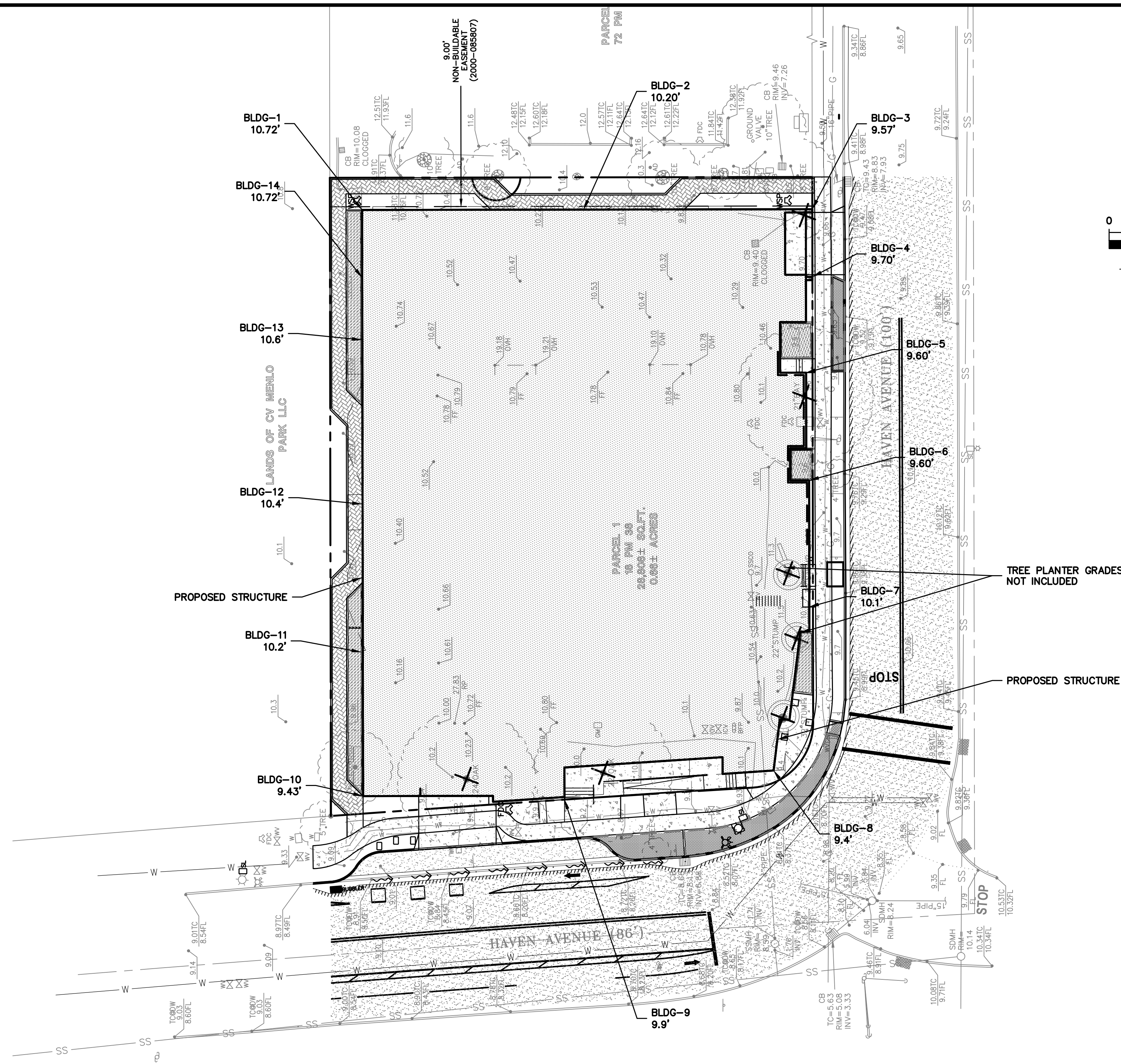
3705 HAVEN AVENUE
MENLO PARK, CALIFORNIA

PRELIMINARY GRADING
AND DRAINAGE PLAN

| NO. | DESCRIPTION | DATE | BY |
|-----|-------------|----------|----|
| 9 | COMP REVIEW | 07-16-24 | VA |
| 8 | COMP REVIEW | 05-31-24 | VA |
| 7 | COMP REVIEW | 03-21-24 | VA |
| 6 | C3-PLN CHK | 10-17-23 | VA |
| 5 | C3-PLN CHK | 10-04-23 | VA |
| | REVISIONS | | BY |

JOB NO: 2220759
DATE: 11-18-22
SCALE: AS NOTED
DESIGN BY: VA
CHECKED BY: JH/PC
SHEET NO:

C-3.0
04 OF 22 SHEETS



HATCH LEGEND

- (N) CONCRETE
- (N) WOOD DECKING
- (N) PERVIOUS CONCRETE PAVER WALKWAY/ PATIO
- (N) ONSITE TREATMENT PLANTERS
- (N) CONCRETE PAVER DRIVEWAY/WALKWAY
- (N) ROOF AREA
- (N) LANDSCAPE
- (N) OFFSITE TREATMENT PLANTERS

| | | | |
|---------|-------------------|------|----------------|
| PROJECT | 3705 HAVEN STREET | DATE | March 13, 2024 |
| JOB NO. | 2220759 | BY | V.ANDA |

| Proposed Building | |
|-----------------------|-----------|
| Point # | Elevation |
| BLDG-1 | 10.72 |
| BLDG-2 | 10.20 |
| BLDG-3 | 9.57 |
| BLDG-4 | 9.70 |
| BLDG-5 | 9.60 |
| BLDG-6 | 9.60 |
| BLDG-7 | 10.10 |
| BLDG-8 | 9.40 |
| BLDG-9 | 9.90 |
| BLDG-10 | 9.43 |
| BLDG-11 | 10.20 |
| BLDG-12 | 10.40 |
| BLDG-13 | 10.60 |
| BLDG-14 | 10.72 |
| Average Natural Grade | 10.01 |

INSPECTION NOTE:
 THE CONTRACTOR SHALL INFORM THE OWNER (IN WRITING) OF RECOMMENDED PERIODIC INSPECTION AND MAINTENANCE OF THE ON-SITE STORM DRAINAGE SYSTEM. THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.

NOTE:
 CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS IN ANY EXIST.

NOTE:
 ALL UTILITIES SHALL BE PLACED UNDERGROUND IF REQUIRED BY THE UTILITY COMPANY.

NOTE:
 SITE GRADING SHALL NOT IMPEDE EXISTING DRAINAGE FROM ADJACENT PROPERTIES AND SHALL NOT GENERATE SURFACE RUN-OFF FLOW ONTO ADJACENT PROPERTIES.

NOTE:
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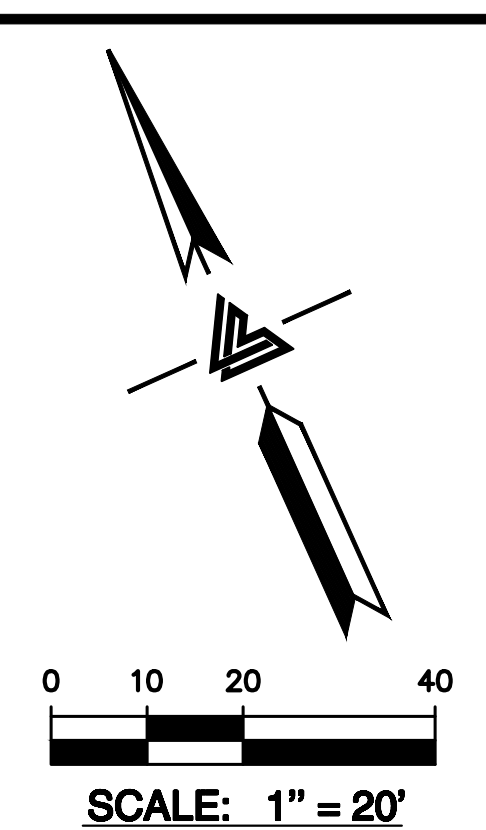
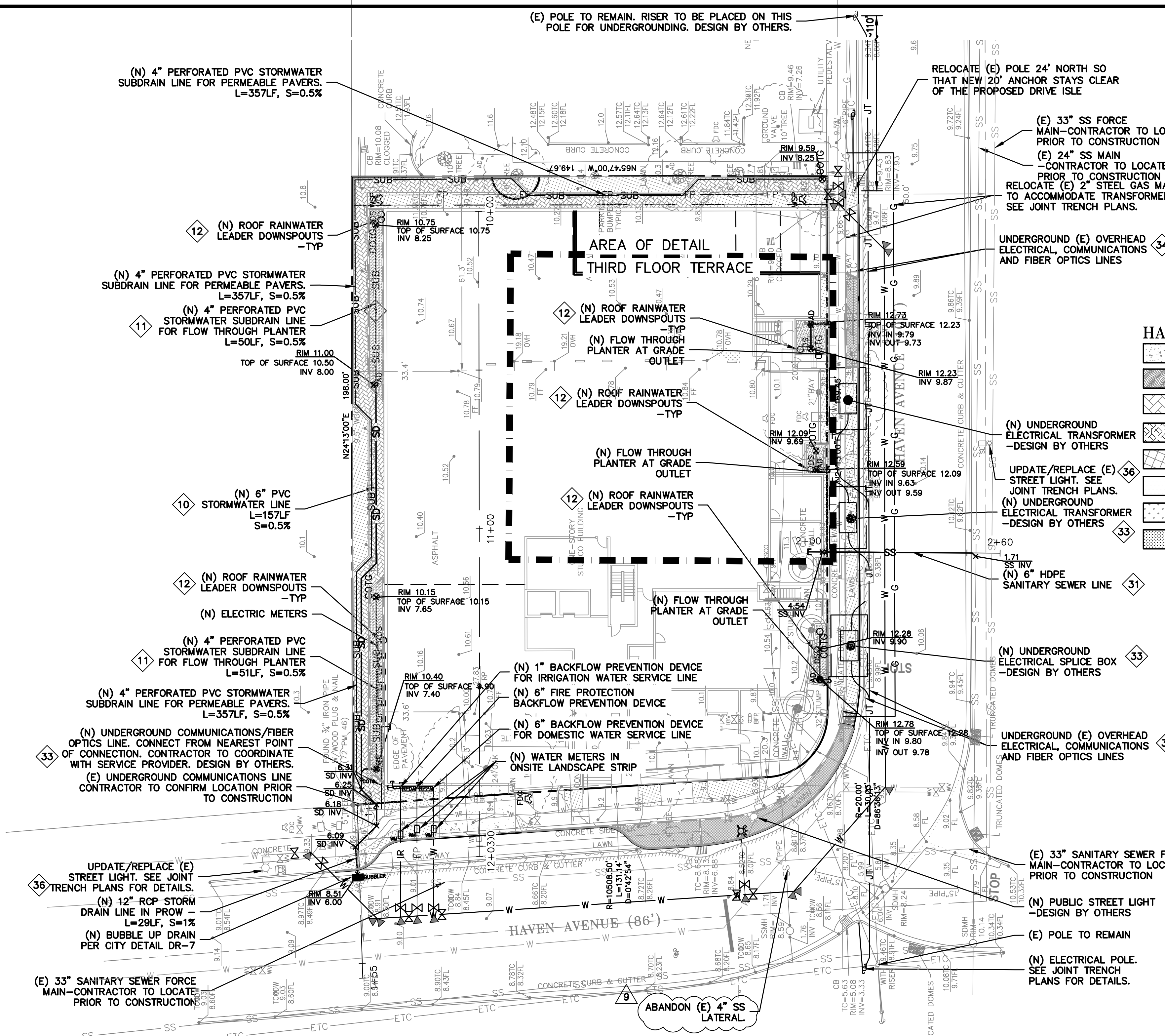
SAN MATEO COUNTY APN: 055-170-240

AVERAGE NATURAL GRADE EXHIBIT

| | | |
|---|-------------|----|
| 9 | COMP REVIEW | VA |
| 8 | 07-16-24 | VA |
| 7 | 05-31-24 | VA |
| 6 | 03-21-24 | VA |
| 5 | C3 PLN CHK | VA |
| 4 | 10-17-23 | VA |
| 3 | C3 PLN CHK | VA |
| 2 | 10-04-23 | VA |
| 1 | REVISIONS | BY |

JOB NO: 2220759
 DATE: 11-18-22
 SCALE: AS NOTED
 DESIGN BY: VA
 CHECKED BY: JH/PC
 SHEET NO:

C-3.1
 05 OF 22 SHEETS



HATCH LEGEND

| | |
|-----------------|--|
| [Hatch Pattern] | (N) CONCRETE |
| [Hatch Pattern] | (N) WOOD DECKING |
| [Hatch Pattern] | (N) PERVIOUS CONCRETE PAVER WALKWAY/ PATIO |
| [Hatch Pattern] | (N) ONSITE TREATMENT PLANTERS |
| [Hatch Pattern] | (N) CONCRETE PAVER DRIVEWAY/WALKWAY |
| [Hatch Pattern] | (N) ROOF AREA |
| [Hatch Pattern] | (N) LANDSCAPE |
| [Hatch Pattern] | (N) OFFSITE TREATMENT PLANTERS |

STORM DRAIN KEYNOTES 10 TO 12

10 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.

11 INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N). MIRADRAIN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN.

12 DIRECT DOWNSPOUTS TO FLOW THROUGH PLANTERS - SEE STORMWATER CONTROL PLAN SCP-1, SCP-2 AND SCP-3 FOR DETAILS.

UTILITIES KEYNOTES 31 TO 36

31 INSTALL (N) SANITARY SEWER LATERALS. USE 6" PVC (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND BEHIND PROPERTY LINE AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. REUSE (E) LATERAL IF POSSIBLE. CONNECT PER DISTRICT STANDARDS.

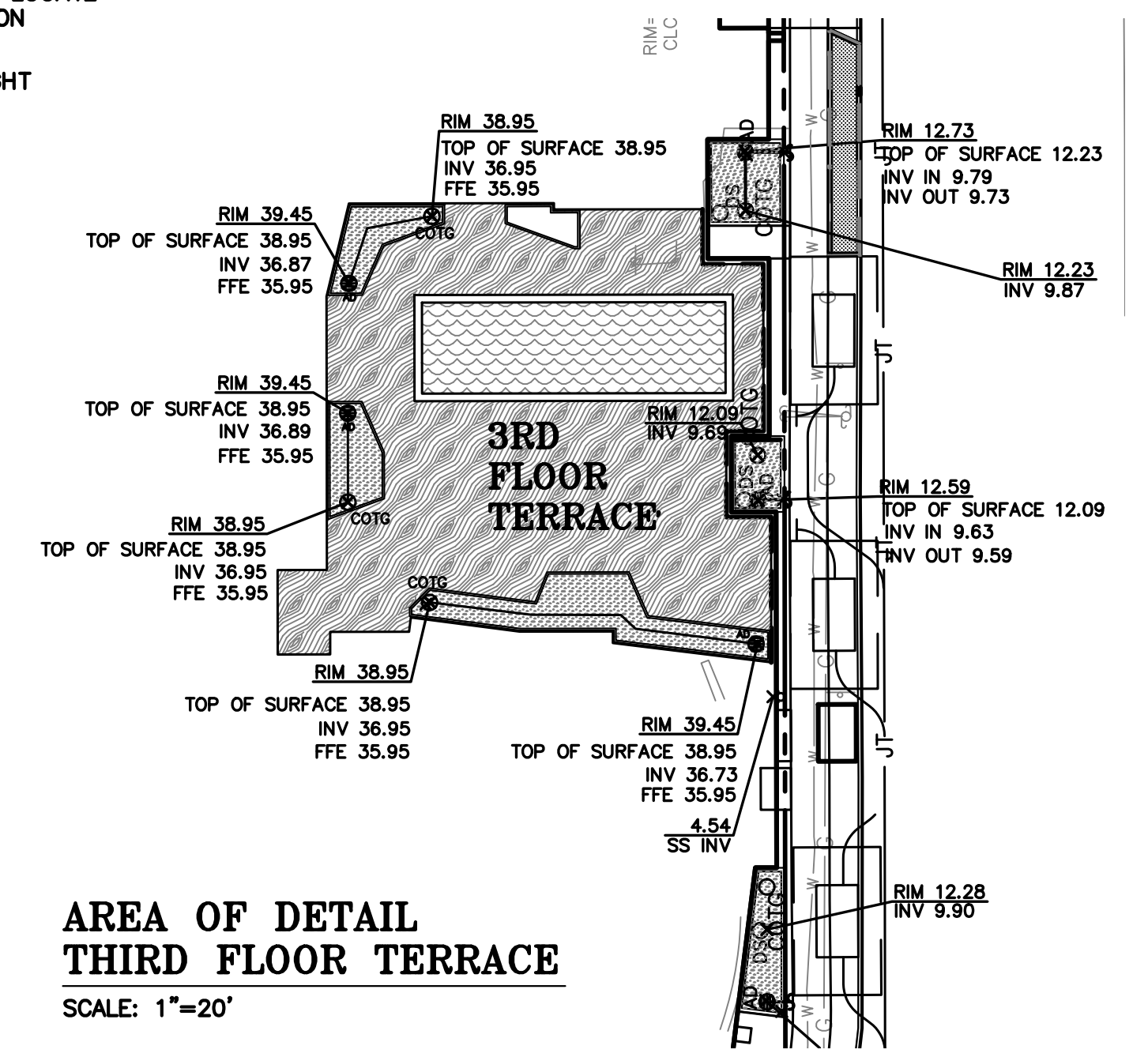
32 NOT USED

33 INSTALL (N) JOINT TRENCH. LATERAL CONNECTIONS TO ELECTRIC, FIBER OPTIC, AND COMMUNICATION LINES SHALL BE PLACED IN A JOINT TRENCH. CONNECT FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

34 ALL EXISTING OVERHEAD ELECTRICAL, COMMUNICATION AND FIBER OPTIC LINES ALONG THE PROJECT FRONTAGE ARE TO BE UNDERGROUNDED.

35 NOT USED

36 EXISTING STREET LIGHT ACROSS HAVEN AVE TO BE UPGRADED. THE STREET LIGHT SHALL BE PAINTED MESA BROWN AND UPGRADED WITH LED FIXTURES COMPLIANT WITH PG&E STANDARDS. STREET LIGHT SHALL MIRROR THE STREET LIGHT IN FRONT OF 3645 HAVEN AVE.



**AREA OF DETAIL
THIRD FLOOR TERRACE**
SCALE: 1"=20'

- NOTES**
1. THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS LOCATED IN CITY'S RIGHT-OF-WAY, EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE.
 2. CIVIL ENGINEER SHALL COORDINATE WITH PROJECT ARBORIST TO DETERMINE THE LOCATIONS OF EDGE OF PAVEMENT, STORM DRAIN LINES AND OTHER UTILITY LINES NEAR TREES. THE LOCATIONS OF IMPROVEMENTS NEAR CITY TREES SHALL BE APPROVED BY CITY ARBORIST.
 3. CONTACT PUBLIC WORKS AT (650) 330-6740 TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF PUBLIC IMPROVEMENT WORK. THE CONSTRUCTION SUPERVISOR WILL DISCUSS ANY REPAIR WORK TO FRONTAGE IMPROVEMENTS WHICH ARE NOT SHOWN ON THE PLANS.
 4. PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION FOR ALL EXISTING PRIVATE STRUCTURES, IMPROVEMENTS AND LANDSCAPING (IF ANY) LOCATED IN THE CITY'S RIGHT-OF-WAY ALONG THE PROPERTY FRONTAGE.
 5. THE APPLICANT SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS (CURB, GUTTER, SIDEWALK, DRIVEWAY, ETC.), EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. IF FRONTAGE IMPROVEMENTS DO NOT CURRENTLY EXIST, THE APPLICANT IS REQUIRED TO INSTALL FRONTAGE IMPROVEMENTS PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. ALL IMPROVEMENTS ARE TO BE COMPLETED AND APPROVED BY THE CITY OF MENLO PARK'S PUBLIC WORKS INSPECTOR PRIOR TO THE FINAL INSPECTION BY THE BUILDING INSPECTOR.

- FIRE NOTES**
1. FIRE APPARATUS ROADWAYS, INCLUDING PUBLIC AND PRIVATE STREETS AND IN SOME CASES DRIVEWAYS USED FOR VEHICLE ACCESS, SHALL BE CAPABLE OF SUPPORTING THE IMPOSED WEIGHT OF A 75,000 POUND (34,050 KG) FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. ONLY PAVED OR CONCRETE SURFACES ARE CONSIDERED TO BE ALL WEATHER DRIVING SURFACES. CFC 2016, APPENDIX D.
 2. CURBING LOCATED WITHIN THE COMPLEX THAT HAS NOT BEEN ASSIGNED AS ONSITE PARKING SHALL BE DESIGNATED AS "NO PARKING FIRE LANE". ALL FIRE LANES TO COMPLY WITH MPFD STANDARD FOR "DESIGNATION AND MARKING OF FIRE LANE", SINCE THERE ARE ONLY TO POINTS OF ACCESS TO THE COMPLEX "ENTRANCE SIGN B" MAY BE USED AT EACH POINT OF ACCESS TO COMPLEX. PROVIDE A COMPLETE NO PARKING-FIRE LANE STRIPPING PLAN WITH NO PARKING SIGNAGE IN ACCORDANCE TO MPFD STANDARD ON SUBSEQUENT SUBMITTAL.
 - a. ROADWAY WIDTH FOR PROJECT SHALL BE NO LESS THAN 26 FEET WIDE AND SHALL REQUIRE CURB STRIPPING WITH NO PARKING SIGNAGE AS PER MPFD STANDARD.
 - b. REQUIRED NO PARKING SIGNAGE INSTALLED AT AN APPROVED LOCATION AT ENTRANCES.
 3. FIRE APPARATUS ROADWAYS, INCLUDING PUBLIC OR PRIVATE STREETS OR ROADS USED FOR VEHICLE ACCESS SHALL BE INSTALLED AND IN SERVICE PRIOR TO CONSTRUCTION. FIRE PROTECTION WATER SERVING ALL HYDRANTS SHALL BE PROVIDED AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
 - a. PRIOR TO COMBUSTIBLE MATERIAL ARRIVING ON THE SITE, CONTACT THE MENLO PARK FIRE DISTRICT TO SCHEDULE AN INSPECTION OF ROADWAYS AND FIRE HYDRANTS. CFC 2013.

INSPECTION NOTE:

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NOTE:

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NOTE:

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NOTE:

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NOTE:

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BUILDING PAD NOTE:

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NOTE:

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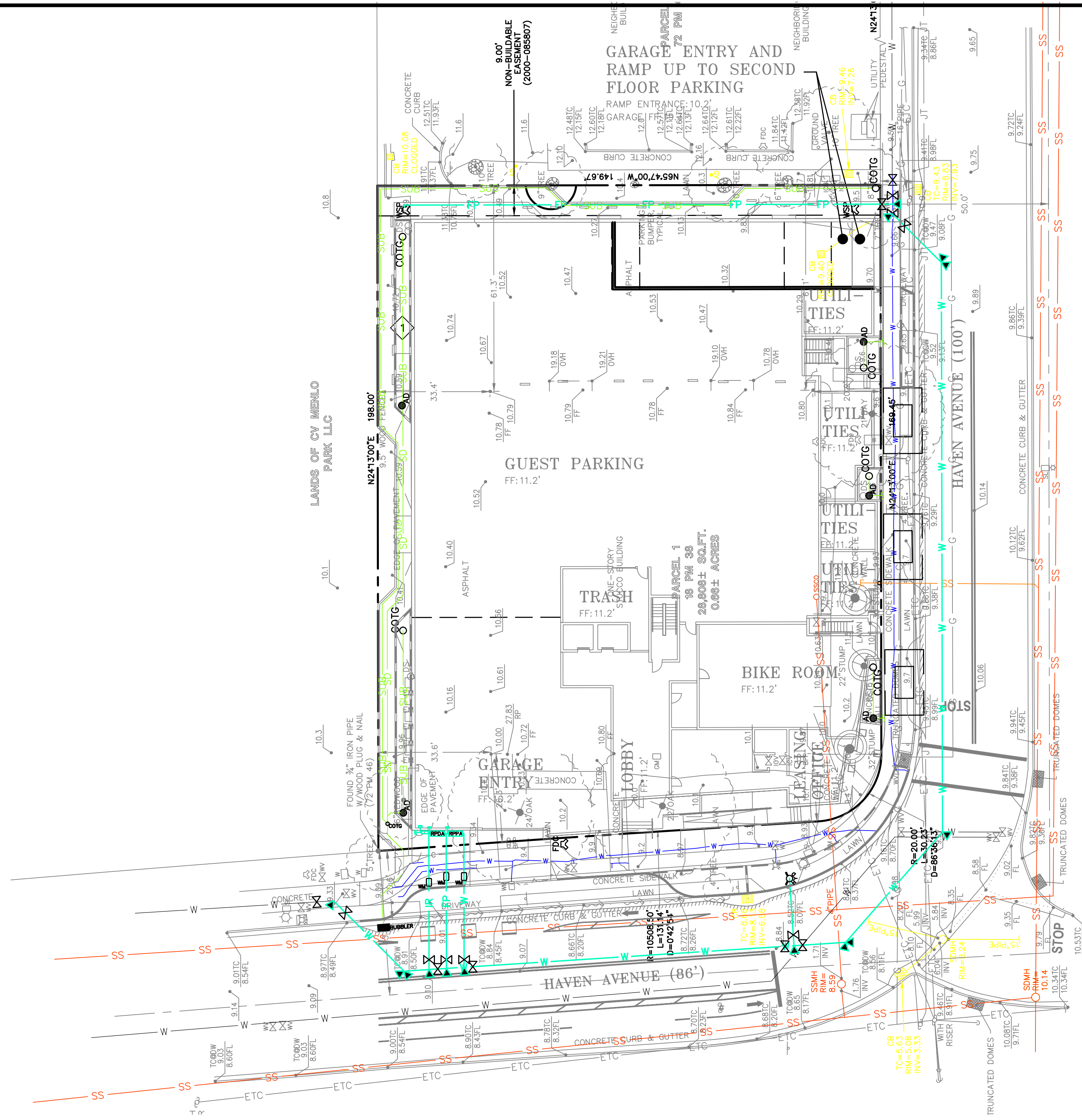
**3705 HAVEN AVENUE
MENLO PARK, CALIFORNIA**
APN: 055-170-240
SAN MATEO COUNTY

**PRELIMINARY
UTILITIES PLAN**

| NO. | DESCRIPTION | DATE | BY |
|-----|-------------|----------|----|
| 9 | COMP REVIEW | 07-16-24 | VA |
| 8 | COMP REVIEW | 05-31-24 | VA |
| 7 | COMP REVIEW | 03-21-24 | VA |
| 6 | C3 PLN CHK | 10-17-23 | VA |
| 5 | C3 PLN CHK | 10-04-23 | VA |
| | REVISIONS | | BY |

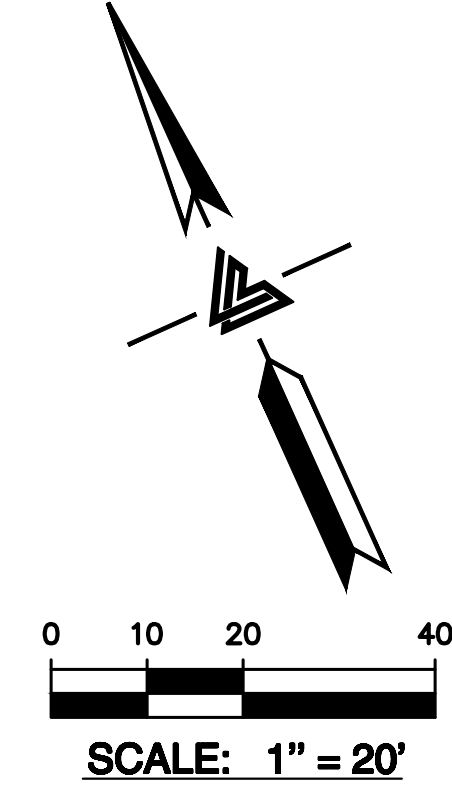
JOB NO: 2220759
DATE: 11-18-22
SCALE: AS NOTED
DESIGN BY: VA
CHECKED BY: JH/PC
SHEET NO:

C-4.0
06 OF 22 SHEETS



COLOR LEGEND

| | |
|----|--------------------------------------|
| W | (E) WATER MAIN |
| W | (N) WATER LATERAL |
| SS | (E) SEWER MAIN/MANHOLES |
| SS | (N) SEWER LATERAL |
| SD | (E) STORM DRAIN MAIN/INLETS/MANHOLES |
| SD | (N) STORM DRAIN LATERAL |



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 (510) 887-4086
 WWW.LEABRAZE.COM

**3705 HAVEN AVENUE
 MENLO PARK, CALIFORNIA**

SAN MATEO COUNTY APN: 055-170-240

**COLOR CODED
 UTILITIES PLAN**

| NO. | REVISIONS | BY |
|-----|----------------------|----|
| 9 | COMP REVIEW 07-16-24 | VA |
| 8 | COMP REVIEW 05-31-24 | VA |
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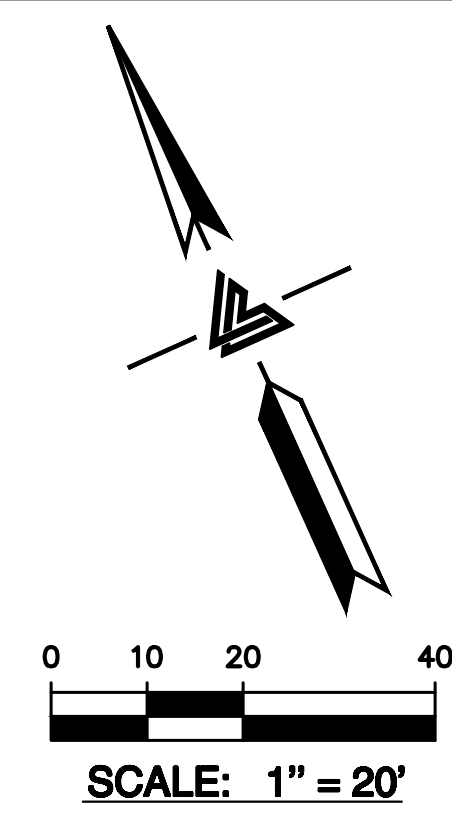
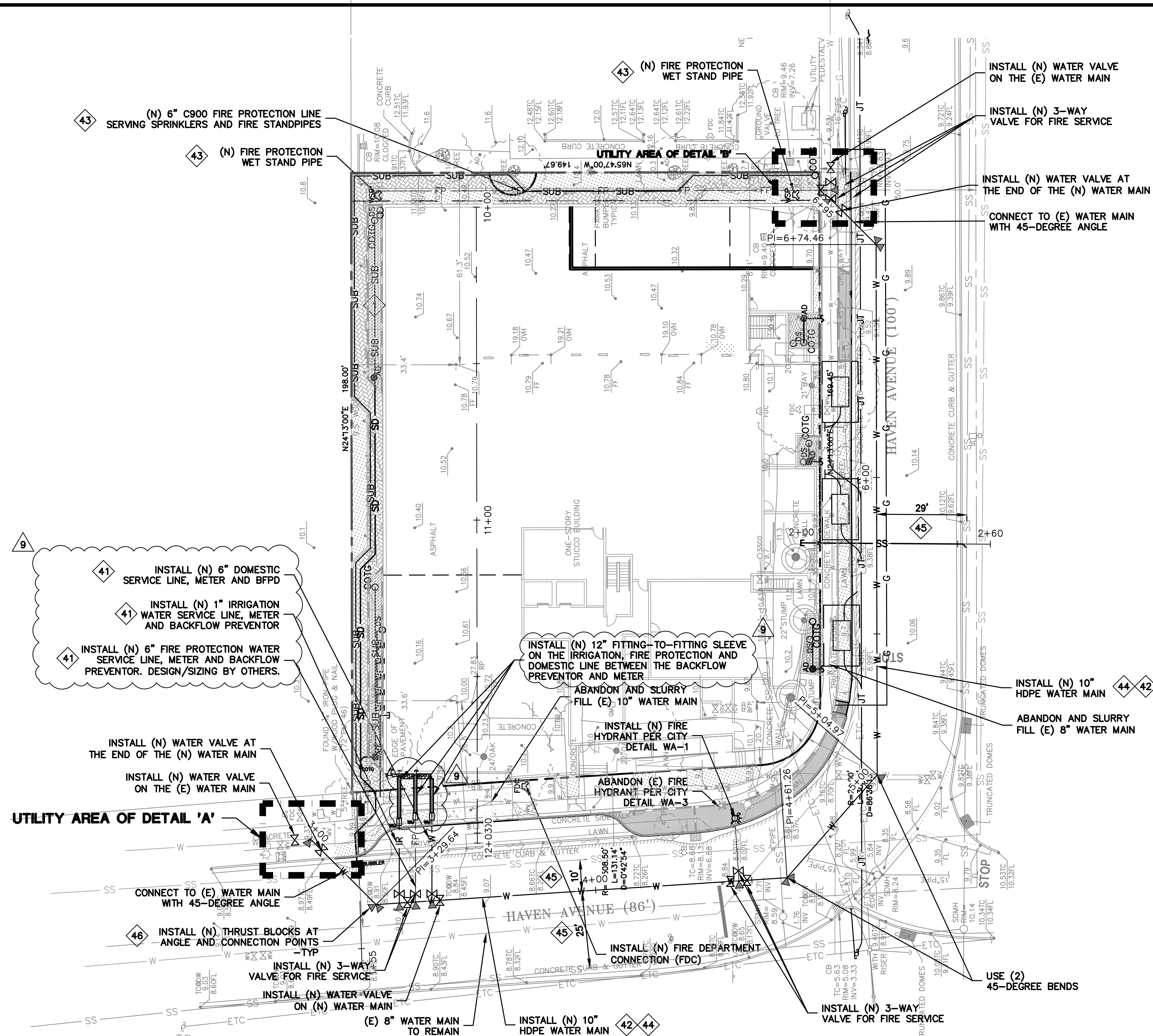
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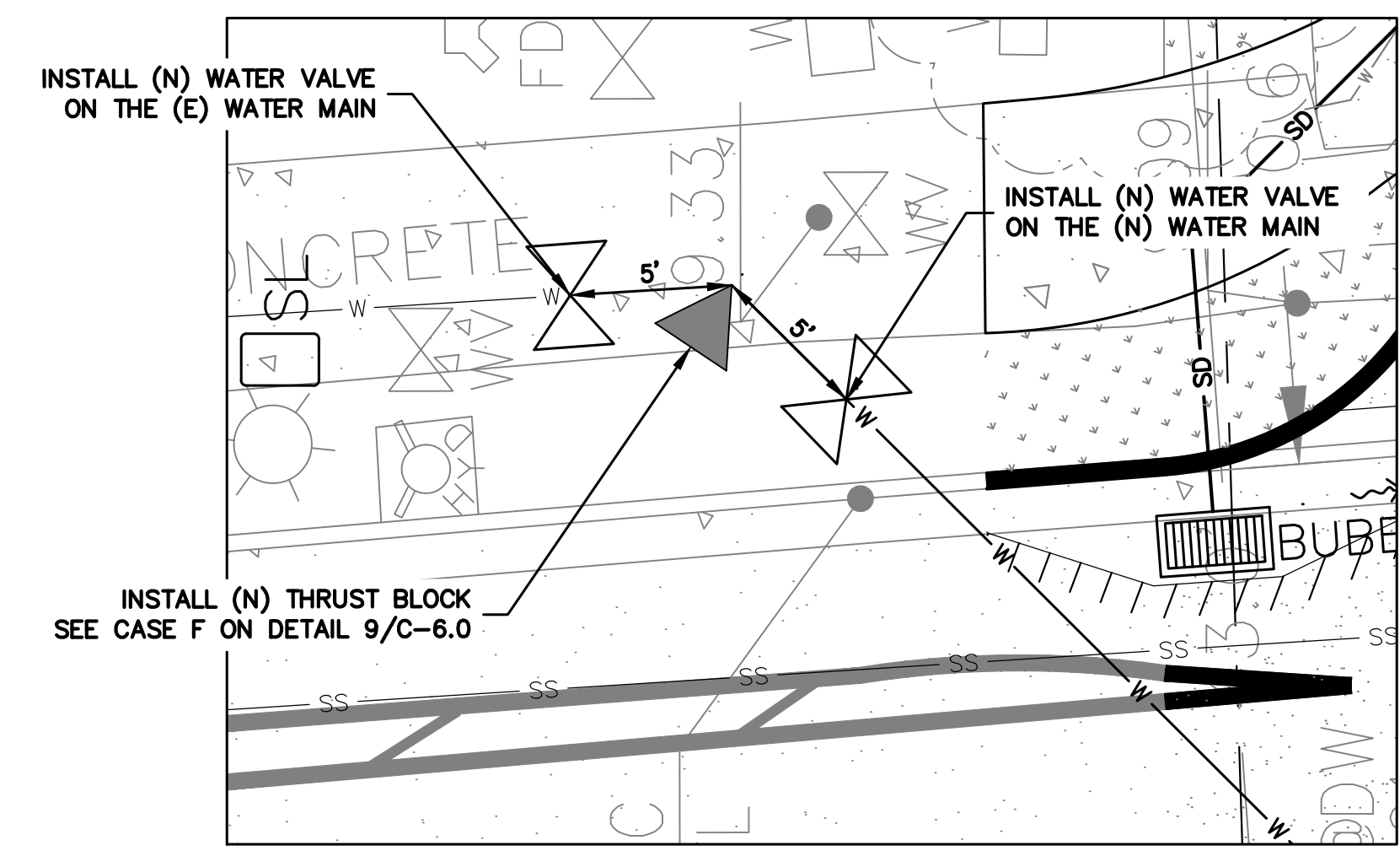
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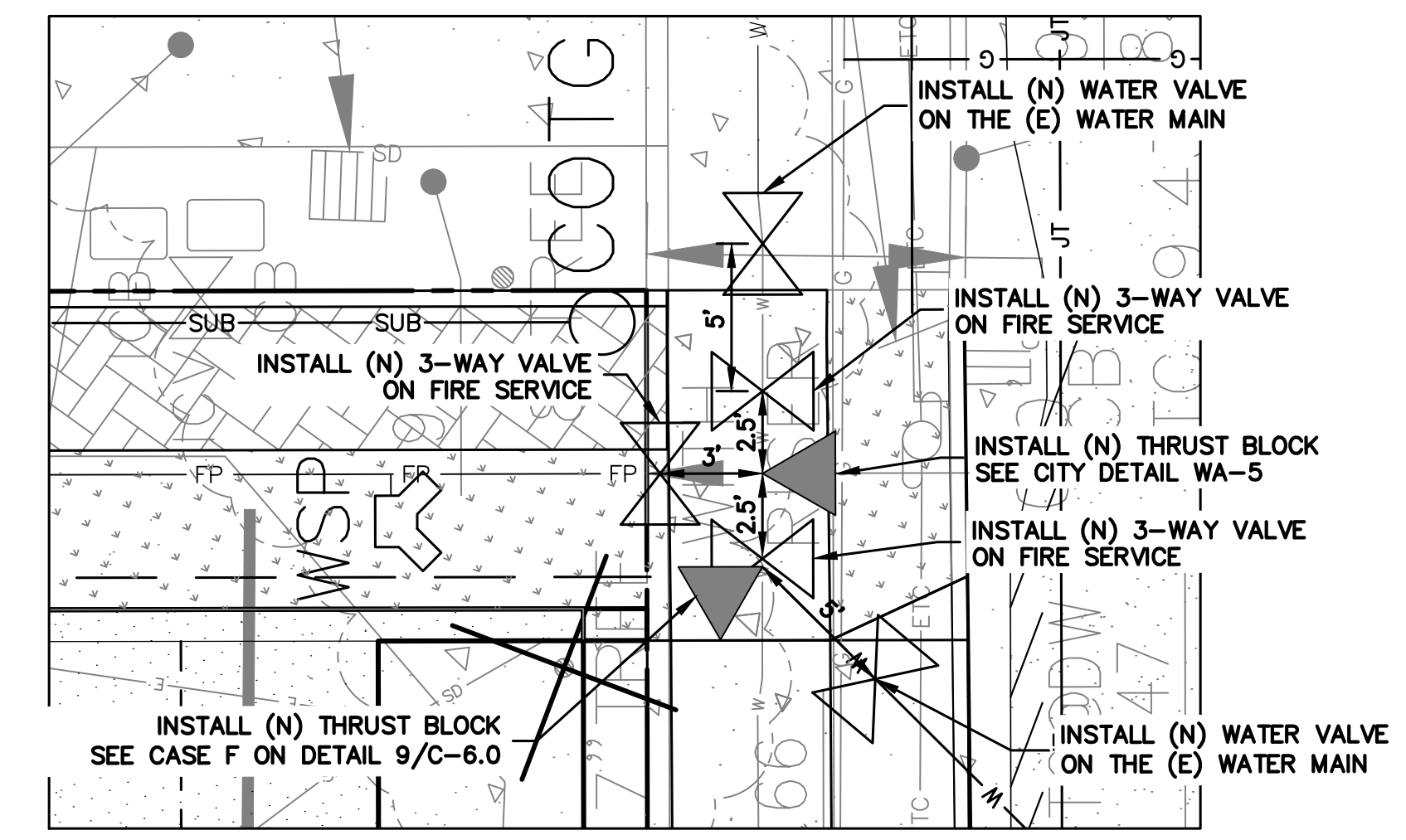
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- WATER MAIN AND LATERALS KEYNOTES 41 TO 46**
- 41 CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. WATER SERVICE LINES THAT ARE 3" AND ABOVE REQUIRE A GATE VALVE. WATER SERVICE LINES THAT ARE 2" AND SMALLER REQUIRE A CORPORATION STOP AT THE MAIN AND A CURB STOP AT THE METER.
 - 42 INSTALL (N) 10" HDPE WATER MAIN. CONTRACTOR TO COORDINATE WITH CITY OF MENLO PARK, VERIFY INVERTS AND LOCATION PRIOR TO CONSTRUCTION.
 - 43 (N) FIRE PROTECTION SERVICE LINE SERVING FIRE PROTECTION WET STANDPIPES AND BUILDING FIRE SPRINKLER NEEDS. INSTALL (N) 6" SERVICE LINE TO (N) BUILDING OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.
 - 44 WATER MAINS SHALL BE HDPE.
 - 45 MAINTAIN HORIZONTAL AND VERTICAL REQUIRED CLEARANCES FROM WATER MAIN (EDGE OF PIPE TO EDGE OF PIPE). MAIN SHALL BE 10' (MIN) FROM SEWER MAINS AND 4' (MIN) FROM STORM DRAIN MAINS. WATER MAIN SHALL BE 1' (MIN) VERTICALLY ABOVE STORM DRAIN MAINS AND SEWER MAINS.
 - 46 INSTALL (N) THRUST BLOCK. SEE C-6.0 FOR DETAILS.



CONNECTION DETAIL 'A'
CONNECTION OF (N) WATER MAIN TO (E) WATER MAIN
 SCALE: 1"=20'



CONNECTION DETAIL 'B'
CONNECTION OF (N) WATER MAIN TO (E) WATER MAIN
 SCALE: 1"=20'

NOTE:
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MENLO PARK, CALIFORNIA

APN: 055-170-240
 SAN MATEO COUNTY

WATER MAIN
CONNECTION DETAIL

| NO. | DESCRIPTION | DATE | BY |
|-----|-------------|----------|----|
| 9 | COMP REVIEW | 07-16-24 | VA |
| 8 | COMP REVIEW | 05-31-24 | VA |
| 7 | COMP REVIEW | 03-21-24 | VA |
| 6 | C3 PLN CHK | 10-17-23 | VA |
| 5 | C3 PLN CHK | 10-04-23 | VA |
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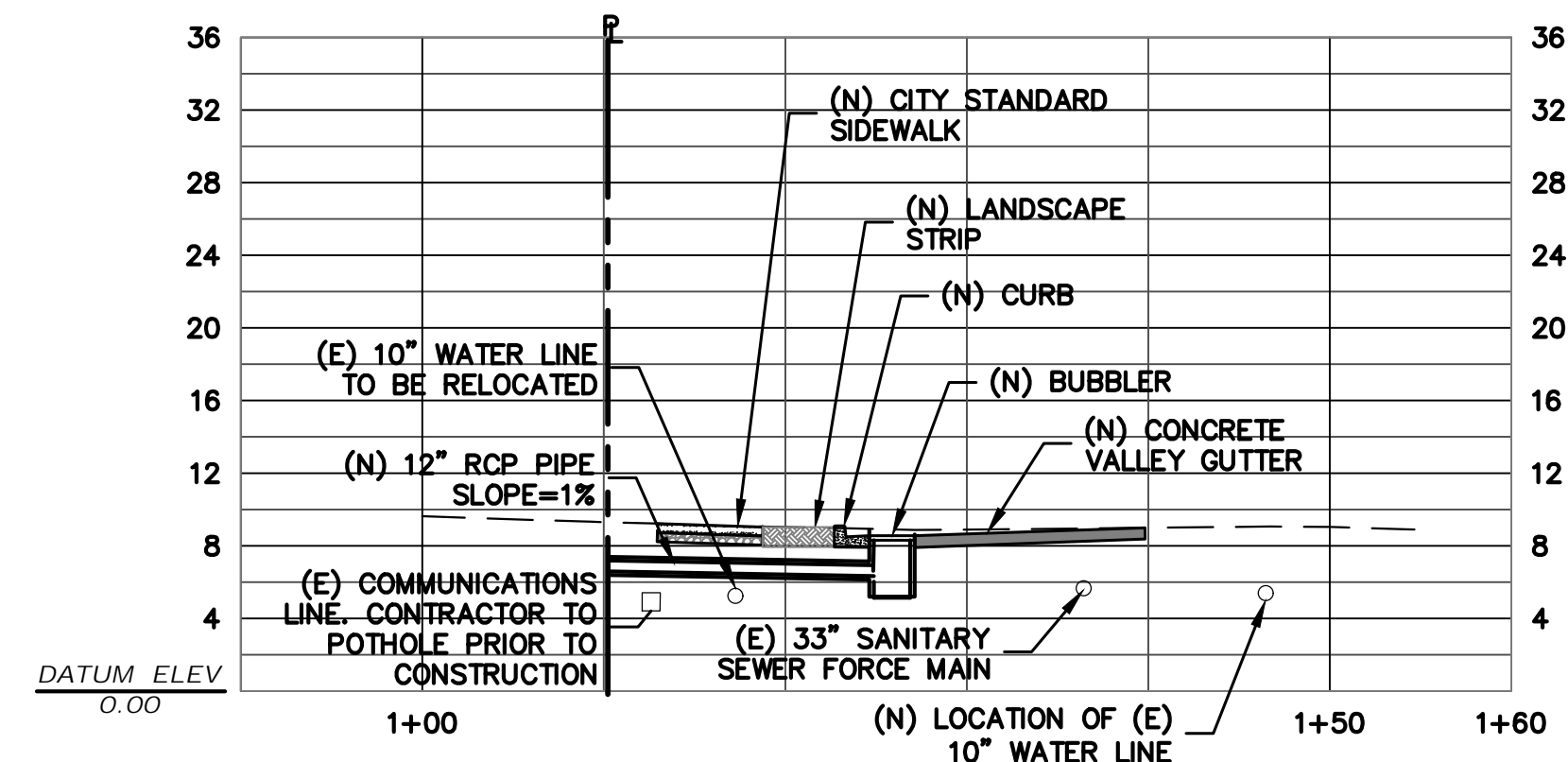
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 SAN MATEO COUNTY
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PRELIMINARY
 UTILITIES PROFILES

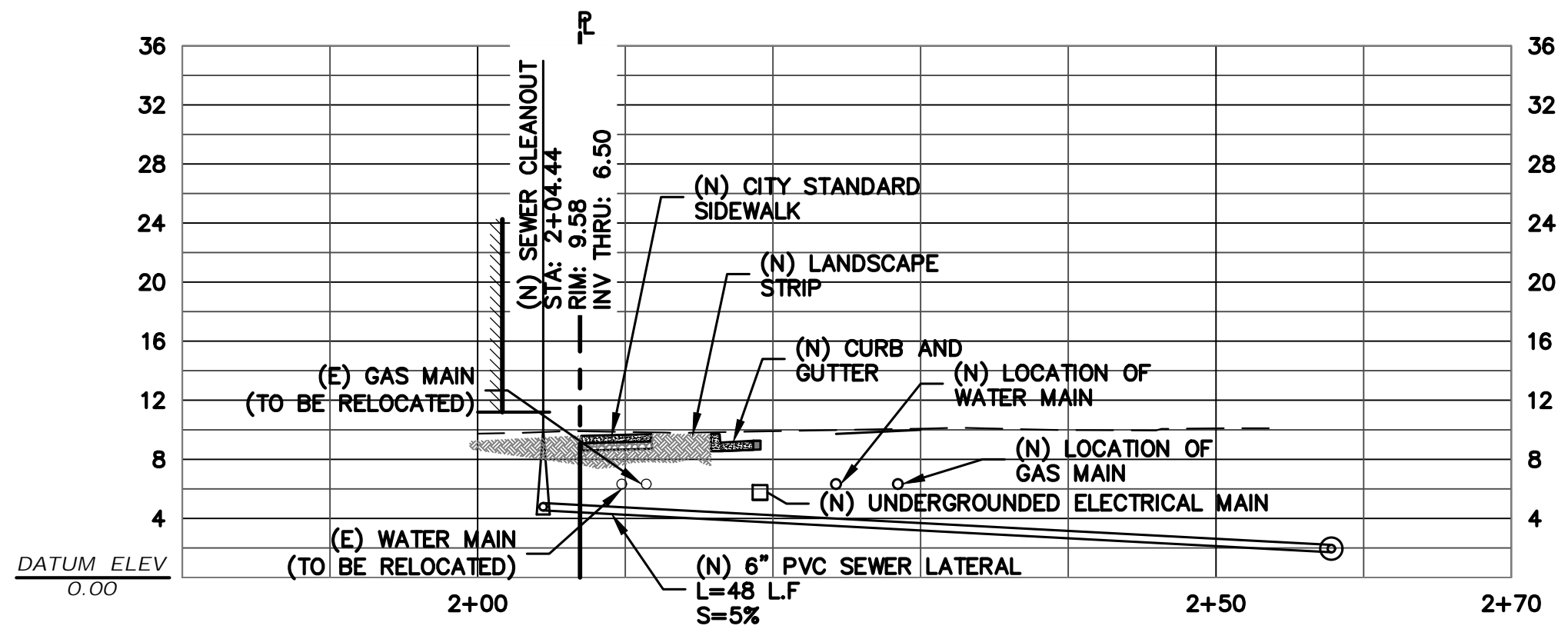
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| 8 | COMP REVIEW | VA |
| 7 | 05-31-24 | |
| 7 | COMP REVIEW | VA |
| 6 | 03-21-24 | |
| 6 | C3 PLN CHK | VA |
| 5 | 10-17-23 | |
| 5 | C3 PLN CHK | VA |
| 4 | 10-04-23 | |
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STORM DRAIN (HAVEN SOUTH) UTILITY PROFILE
 SCALE: 1" = 10' HORIZ & VERT



SANITARY SEWER LATERAL UTILITY PROFILE
 SCALE: 1" = 10' HORIZ & VERT



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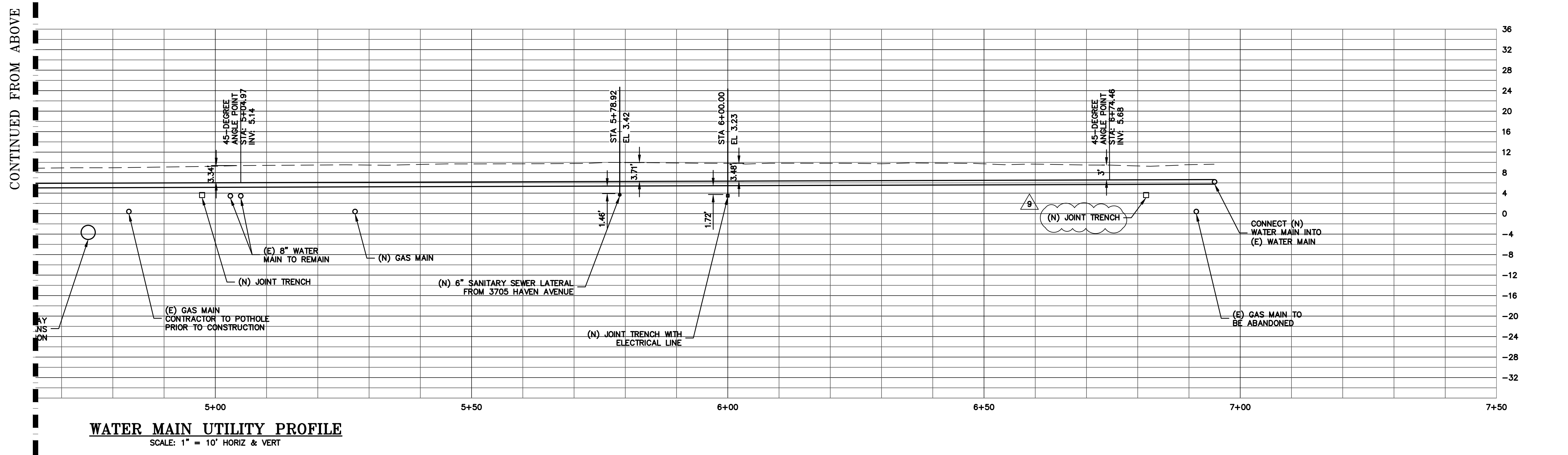
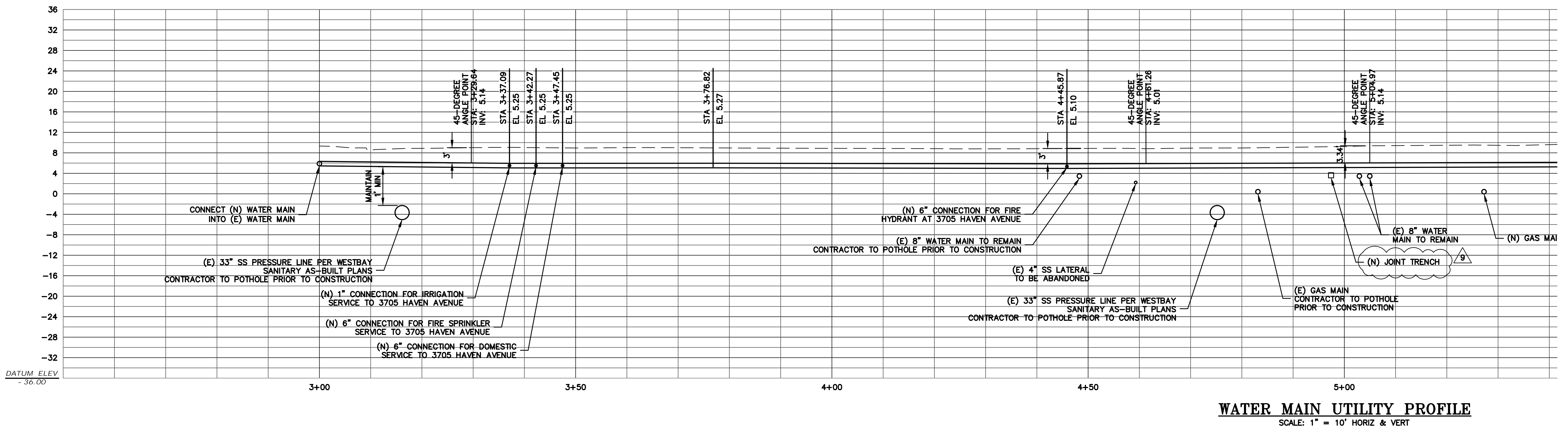
**WATER MAIN
 UTILITY PROFILE**

| NO. | REVISIONS | BY |
|-----|----------------------|----|
| 9 | COMP REVIEW 07-16-24 | VA |
| 8 | COMP REVIEW 05-31-24 | VA |
| 7 | COMP REVIEW 03-21-24 | VA |
| 6 | C3 PLN CHK 10-17-23 | VA |
| 5 | C3 PLN CHK 10-04-23 | VA |

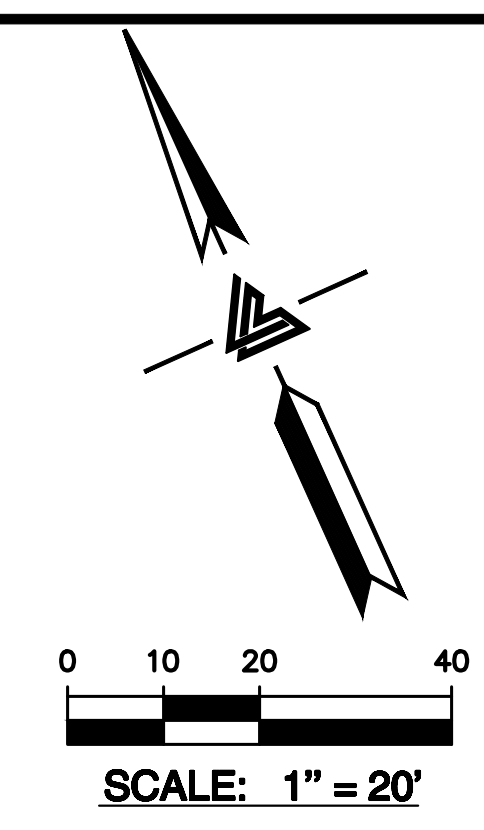
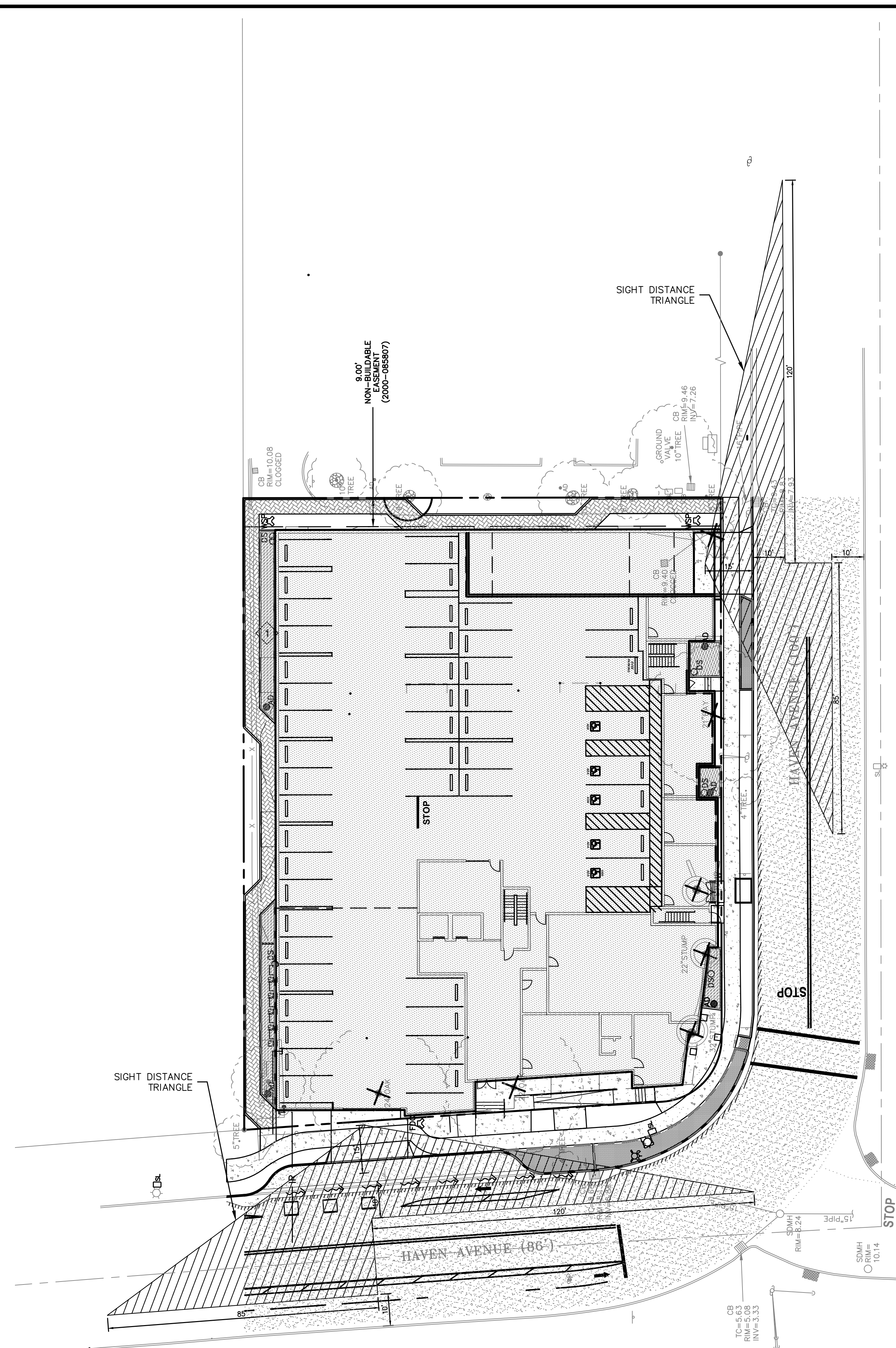
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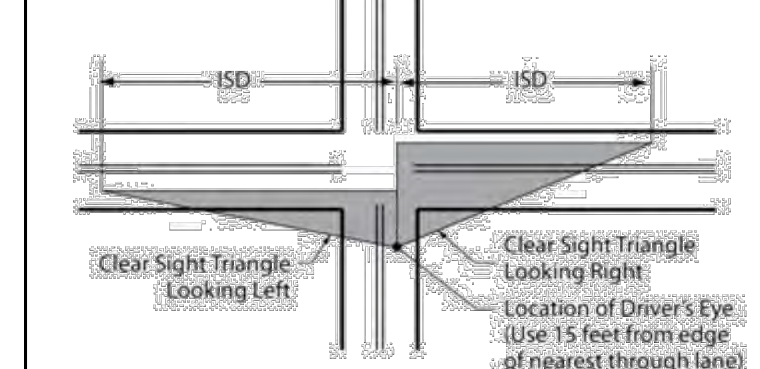
3.3.1. Sight Distance ATTACHMENT B

Insufficient sight distance can be a contributing factor in intersection traffic crashes. Intersection sight distance is typically defined as the distance a motorist can see approaching vehicles before their line of sight is blocked by an obstruction near the intersection. The driver of a vehicle approaching or departing from a stopped position at an intersection should have an unobstructed view of the intersection, including any traffic control devices, and sufficient lengths along the intersecting roadway to permit the driver to anticipate and avoid potential collisions. Examples of obstructions include crops, hedges, trees, parked vehicles, utility poles, or buildings. In addition, the horizontal and vertical alignment of the roadway approaching the intersection can reduce the sight triangle of vehicles navigating the intersection.

It is important for approaching motorists on the major road to see side street vehicles approaching the Stop sign, and for minor road motorists to see approaching major road vehicles before entering the intersection. Poor sight distance can lead to rear-end crashes on the approaches and to angle crashes within the intersection because motorists may be unable to see and react to traffic control devices or approaching vehicles.

The area needed for provision of this unobstructed view is called the Clear Sight Triangle (see Figure 3).

Figure 3. Sight Distance Triangles for 4-Leg Stop-controlled Intersections⁹



The Intersection Sight Distance (ISD) is measured along the major road beginning at a point that coincides with the location of the minor road vehicle. Table 3 provides the recommended values for ISD, based on the following assumptions:

- Stop control of the minor road approaches;
- Using driver eye and object heights associated with passenger cars;
- Both minor and major roads are considered at level grade;
- Considers a left-turn from the minor road as the worst-case scenario (i.e., requiring the most sight distance); and
- The major road is an undivided, two-way, two-lane roadway with no turn lanes.

If conditions at the intersection being evaluated differ from these assumptions, an experienced traffic engineer or highway designer should be consulted to determine whether different ISD values should be used.

| Speed (mph) * | Stopping Sight Distance (ft.) | Design Intersection Sight Distance (ft.) |
|---------------|-------------------------------|--|
| 25 | 155 | 280 |
| 30 | 200 | 335 |
| 35 | 250 | 390 |
| 40 | 305 | 445 |
| 45 | 360 | 500 |
| 50 | 425 | 555 |
| 55 | 495 | 610 |
| 60 | 570 | 665 |
| 65 | 645 | 720 |

Source : A Policy on Geometric Design of Highway and Streets, 5th Edition, American Association of State Highway and Transportation Officials (AASHTO), 2004.



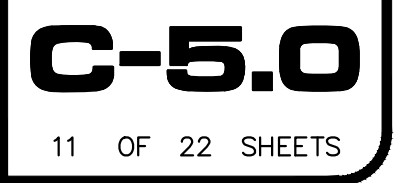
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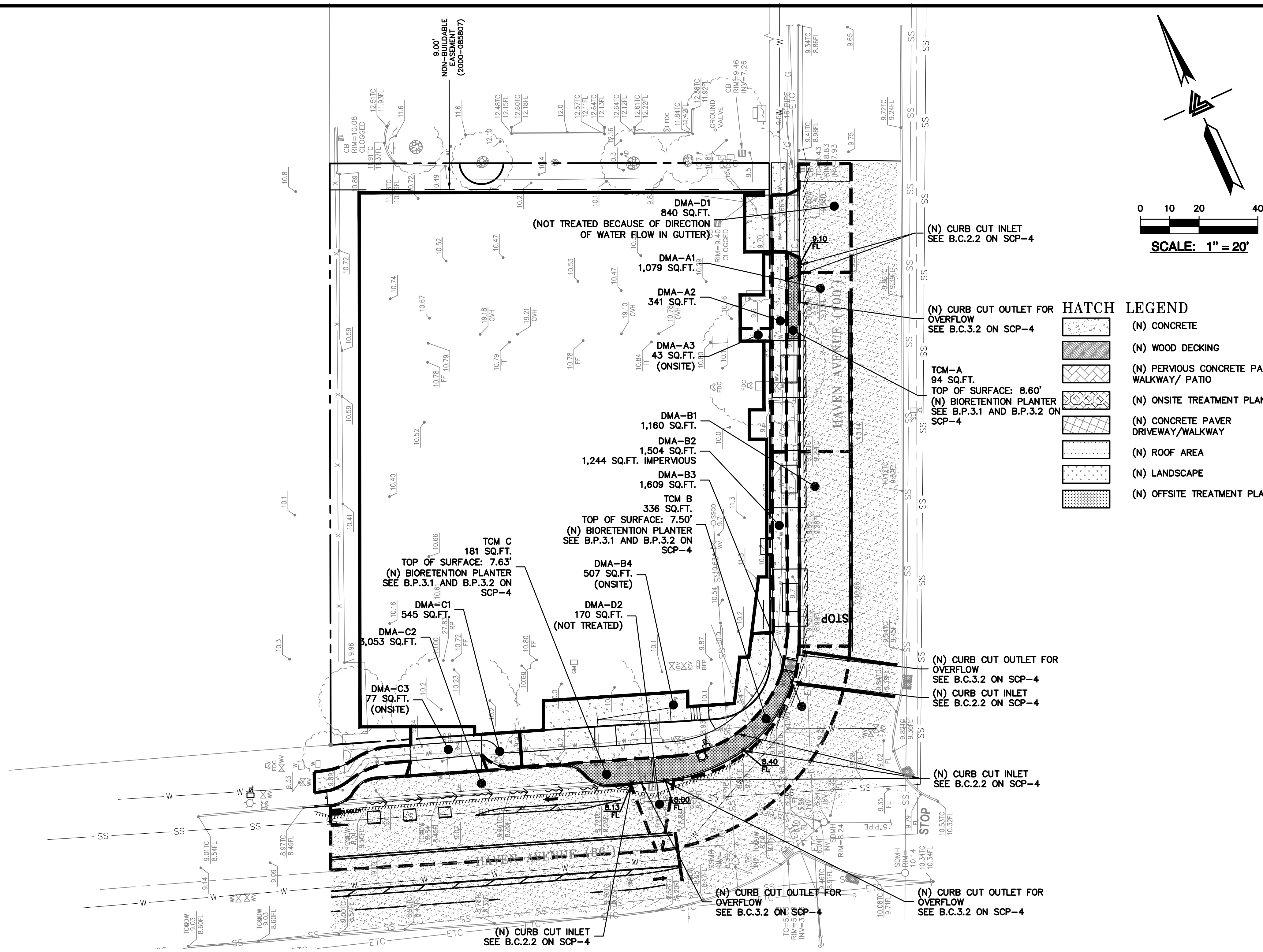
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DRIVEWAY SAFETY TRIANGLES

| | | |
|---|----------------------|----|
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| 7 | COMP REVIEW 03-21-24 | VA |
| 6 | C3 PLN CHK 10-17-23 | VA |
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HATCH LEGEND

| | |
|-------------------|--|
| [Hatched Pattern] | (N) CONCRETE |
| [Hatched Pattern] | (N) WOOD DECKING |
| [Hatched Pattern] | (N) PERVIOUS CONCRETE PAVER WALKWAY/ PATIO |
| [Hatched Pattern] | (N) ONSITE TREATMENT PLANTERS |
| [Hatched Pattern] | (N) CONCRETE PAVER DRIVEWAY/WALKWAY |
| [Hatched Pattern] | (N) ROOF AREA |
| [Hatched Pattern] | (N) LANDSCAPE |
| [Hatched Pattern] | (N) OFFSITE TREATMENT PLANTERS |

TREATMENT CONTROL MEASURE SUMMARY TABLE

| TCM | TREATS DMA # | IMPERVIOUS AREA (SQ.FT) | TREATMENT AREA REQUIRED* (SQ.FT) | TOTAL TREATMENT AREA REQUIRED* (SQ.FT.) | TREATMENT AREA PROVIDED (SQ.FT) | SURPLUS (SQ.FT) |
|---------------------|--------------|-------------------------|----------------------------------|---|---------------------------------|-----------------|
| TCM-A | A1 | 1,079 | 43 | 59 | 94 | 35 |
| | A2 | 341 | 14 | | | |
| | A3 (ONSITE) | 43 | 2 | | | |
| TCM-B | B1 | 1,160 | 46 | 181 | 336 | 155 |
| | B2 | 1,244 | 50 | | | |
| | B3 | 1,609 | 64 | | | |
| | B4 (ONSITE) | 507 | 20 | | | |
| TCM-C | C1 | 545 | 22 | 147 | 181 | 34 |
| | C2 | 3,053 | 122 | | | |
| | C3 (ONSITE) | 77 | 3 | | | |
| DMA-D (NOT TREATED) | - | 1,010 | 40 | 40 | - | - |
| TOTAL | A-D | 10,668 | 427 | 427 | 611 | 225 |

*TREATMENT AREA REQUIRED IS CALCULATED AS 4% OF IMPERVIOUS AREA



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OFFSITE GREEN INFRASTRUCTURE

| | | |
|---|-------------|----|
| 9 | COMP REVIEW | VA |
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| 6 | 03-21-24 | VA |
| 5 | C3 PLN CHK | VA |
| 4 | 10-17-23 | VA |
| 3 | C3 PLN CHK | VA |
| 2 | 10-04-23 | VA |
| 1 | REVISIONS | BY |

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STORMWATER TREATMENT SUMMARY TABLES

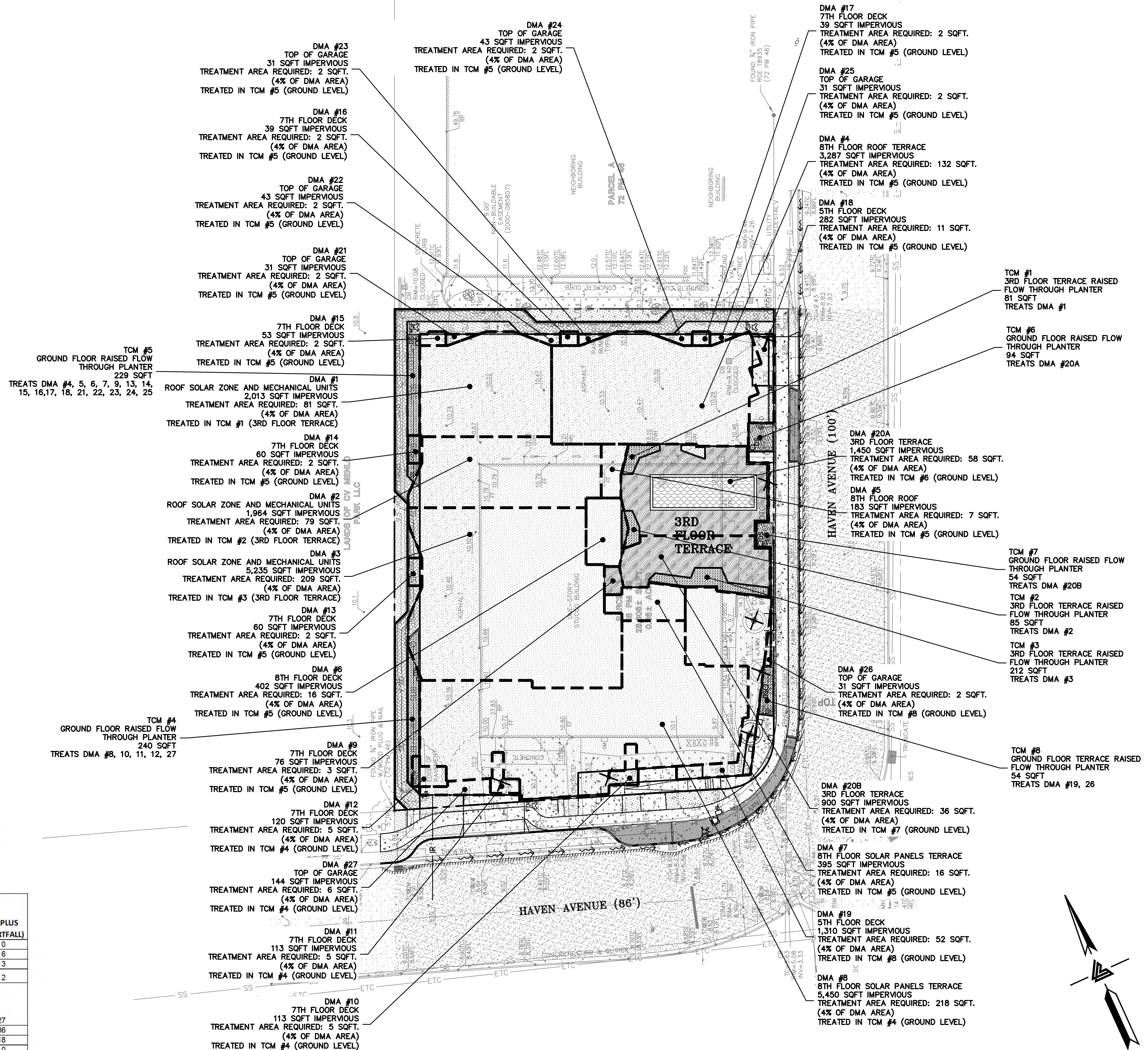
DRAINAGE MANAGEMENT AREA SUMMARY TABLE

| DMA | LOCATION | IMPERVIOUS AREA (SQ.FT) | TREATED BY TCM |
|------------------|--|-------------------------|------------------------|
| DMA 1 | ROOF | 2,013 | 1 |
| DMA 2 | ROOF | 1,964 | 2 |
| DMA 3 | ROOF | 5,235 | 3 |
| DMA 4 | 8TH FLOOR ROOF TERRACE | 3,287 | 5 |
| DMA 5 | 8TH FLOOR ROOF | 183 | 5 |
| DMA 6 | 8TH FLOOR DECK | 402 | 5 |
| DMA 7 | 8TH FLOOR SOLAR PANELS TERRACE | 395 | 5 |
| DMA 8 | 8TH FLOOR SOLAR PANELS TERRACE | 5,450 | 4 |
| DMA 9 | 7TH FLOOR DECK | 76 | 5 |
| DMA 10 | 7TH FLOOR DECK | 113 | 4 |
| DMA 11 | 7TH FLOOR DECK | 113 | 4 |
| DMA 12 | 7TH FLOOR DECK | 120 | 4 |
| DMA 13 | 7TH FLOOR DECK | 60 | 5 |
| DMA 14 | 7TH FLOOR DECK | 60 | 5 |
| DMA 15 | 7TH FLOOR DECK | 53 | 5 |
| DMA 16 | 7TH FLOOR DECK | 39 | 5 |
| DMA 17 | 7TH FLOOR DECK | 39 | 5 |
| DMA 18 | 5TH FLOOR DECK | 282 | 5 |
| DMA 19 | 5TH FLOOR DECK | 1,310 | 8 |
| DMA 20A | 3RD FLOOR TERRACE (AREA DOES NOT INCLUDE TREATMENT PLANTERS) | 1,450 | 6 |
| DMA 20B | 3RD FLOOR TERRACE (AREA DOES NOT INCLUDE TREATMENT PLANTERS) | 900 | 7 |
| DMA 21 | TOP OF GARAGE | 31 | 5 |
| DMA 22 | TOP OF GARAGE | 43 | 5 |
| DMA 23 | TOP OF GARAGE | 31 | 5 |
| DMA 24 | TOP OF GARAGE | 43 | 5 |
| DMA 25 | TOP OF GARAGE | 31 | 5 |
| DMA 26 | TOP OF GARAGE | 31 | 8 |
| DMA 27 | TOP OF GARAGE | 144 | 4 |
| DMA - A | AT GRADE SIDEWALK (On-Site Portion) | 43 | A (Off-Site Treatment) |
| DMA - B | AT GRADE SIDEWALK (On-Site Portion) | 507 | B (Off-Site Treatment) |
| DMA - C | AT GRADE DRIVEWAY (On-Site Portion) | 77 | C (Off-Site Treatment) |
| TOTAL IMPERVIOUS | | 24,525 | |

TREATMENT CONTROL MEASURE SUMMARY TABLE

| TCM | LOCATION | TREATS DMA # | IMPERVIOUS AREA (SQ.FT) | TREATMENT AREA REQUIRED (SQ.FT) | TREATMENT AREA PROVIDED (SQ.FT) | SURPLUS (SHORTFALL) |
|-------|-------------------|--|-------------------------|---------------------------------|---------------------------------|---------------------|
| TCM 1 | 3RD FLOOR TERRACE | 1 | 2,013 | 81 | 81 | 0 |
| TCM 2 | 3RD FLOOR TERRACE | 2 | 1,964 | 79 | 85 | 6 |
| TCM 3 | 3RD FLOOR TERRACE | 3 | 5,235 | 209 | 212 | 3 |
| TCM 4 | GROUND FLOOR | 8, 10, 11, 12, 27 | 5,940 | 238 | 240 | 2 |
| TCM 5 | GROUND FLOOR | 4, 5, 6, 7, 9, 13, 14, 15, 16, 17, 18, 21, 22, 23, | 5,055 | 202 | 229 | 27 |
| TCM 6 | GROUND FLOOR | 20A | 1,450 | 58 | 94 | 36 |
| TCM 7 | GROUND FLOOR | 20B | 900 | 36 | 54 | 18 |
| TCM 8 | GROUND FLOOR | 19, 26 | 1,341 | 54 | 54 | 0 |
| TCM A | OFF-SITE | A | 43 | 2 | 2 | 0 |
| TCM B | OFF-SITE | B | 507 | 20 | 20 | 0 |
| TCM C | OFF-SITE | C | 77 | 3 | 3 | 0 |
| TOTAL | | | 24,525 | 981 | 1,074 | 93 |

*Listed treatment area provided for TCM- A, B, & C excludes additional treatment area provided for off-site hardscape treatment



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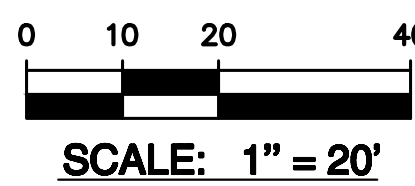
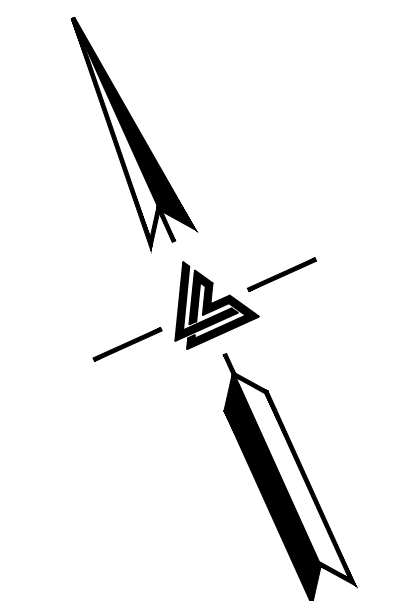
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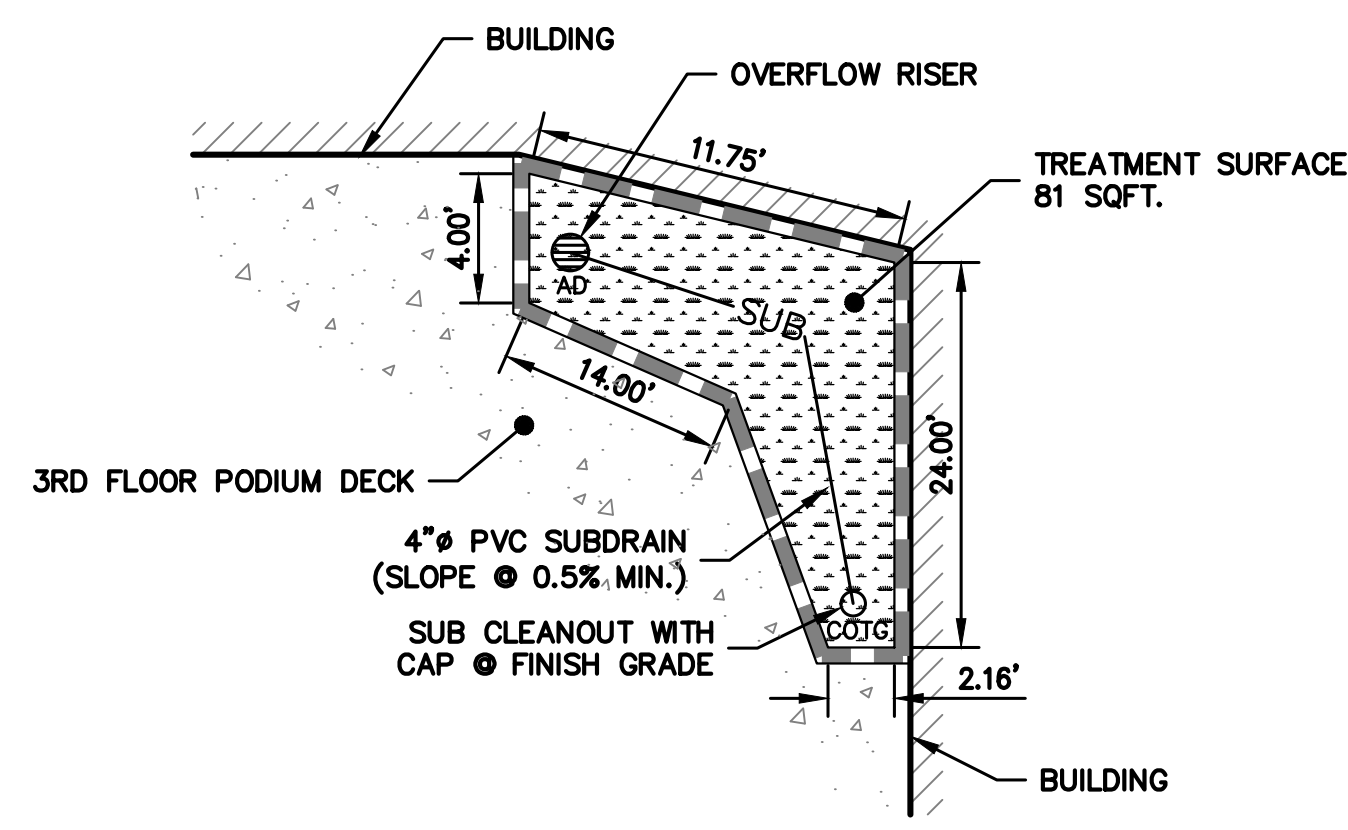
STORMWATER CONTROL PLAN

APN: 055-170-240
 SAN MATEO COUNTY

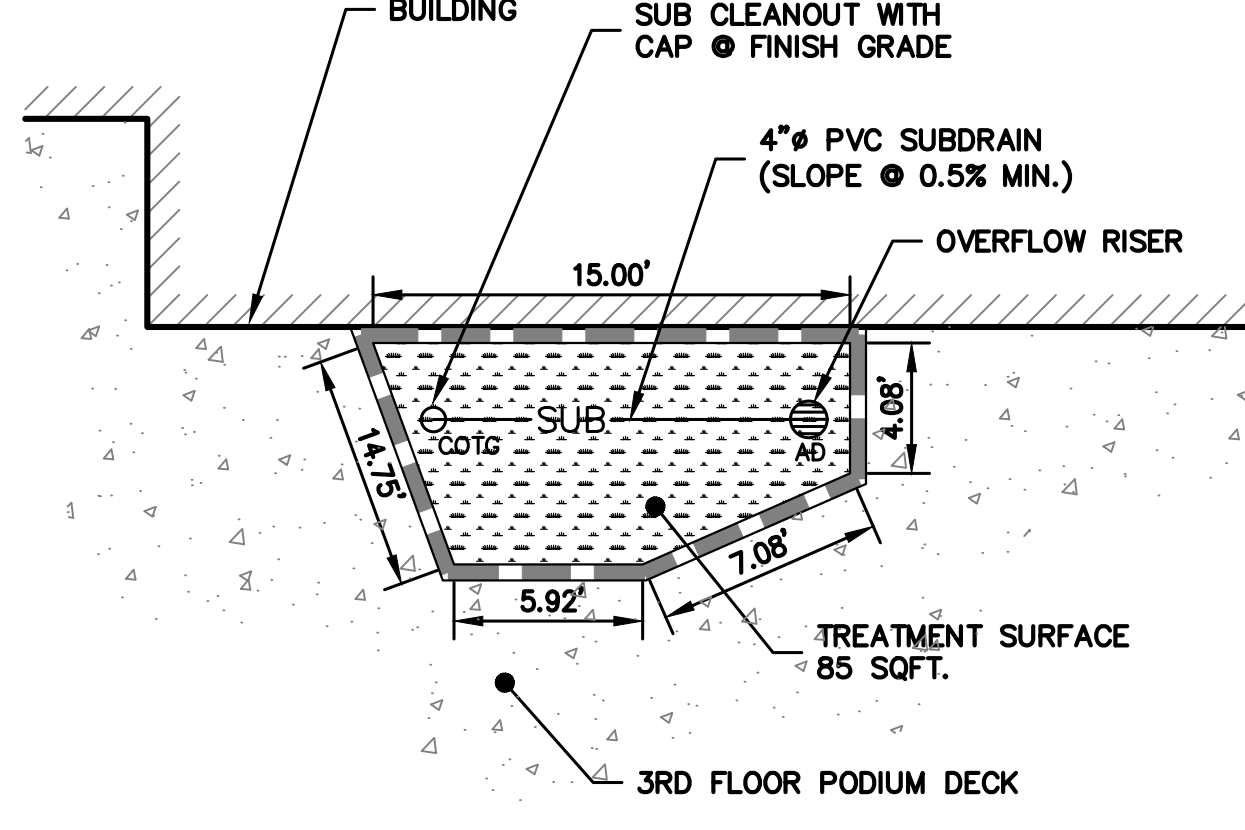
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| 8 | COMP REVIEW | 05-31-24 | VA |
| 7 | COMP REVIEW | 03-21-24 | VA |
| 6 | C3 PLN CHK | 10-17-23 | VA |
| 5 | C3 PLN CHK | 10-04-23 | VA |
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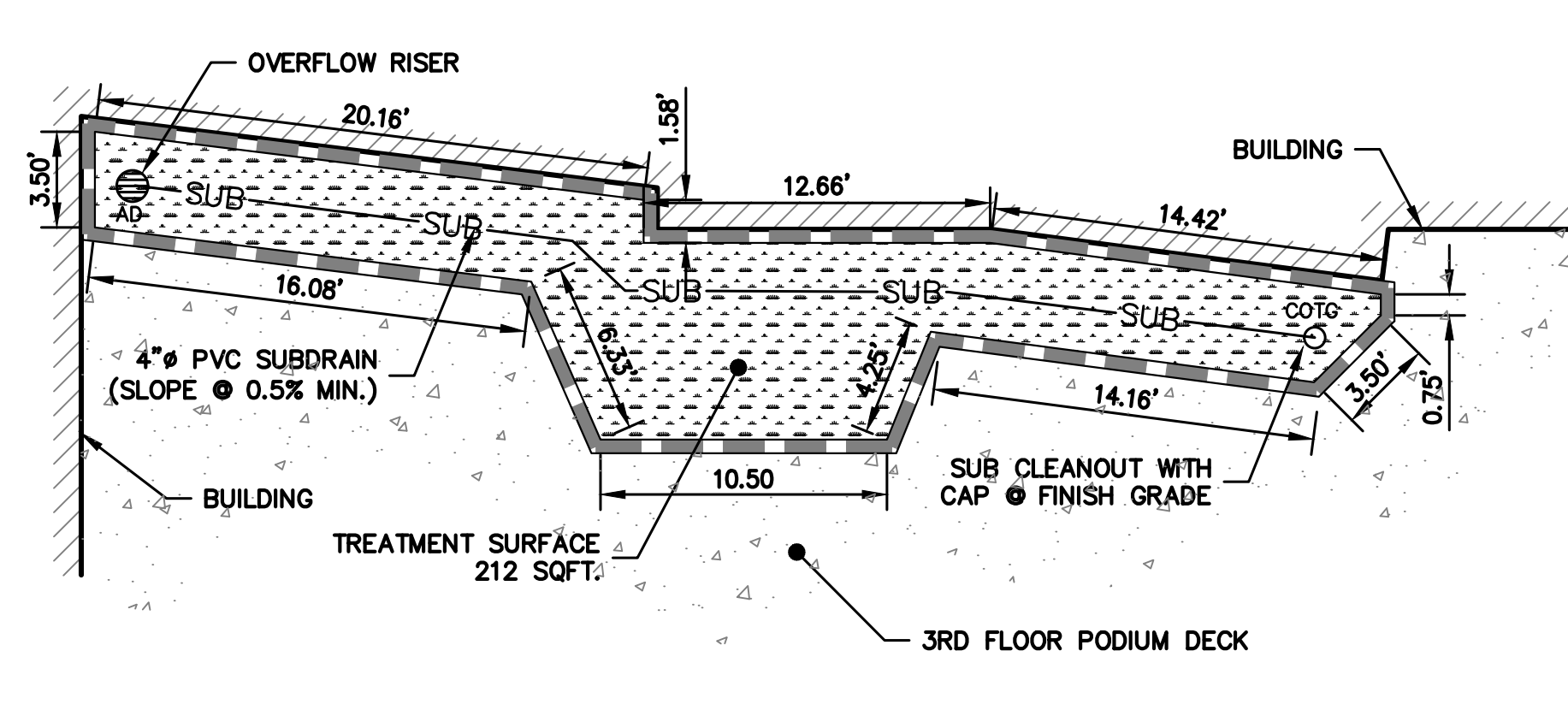




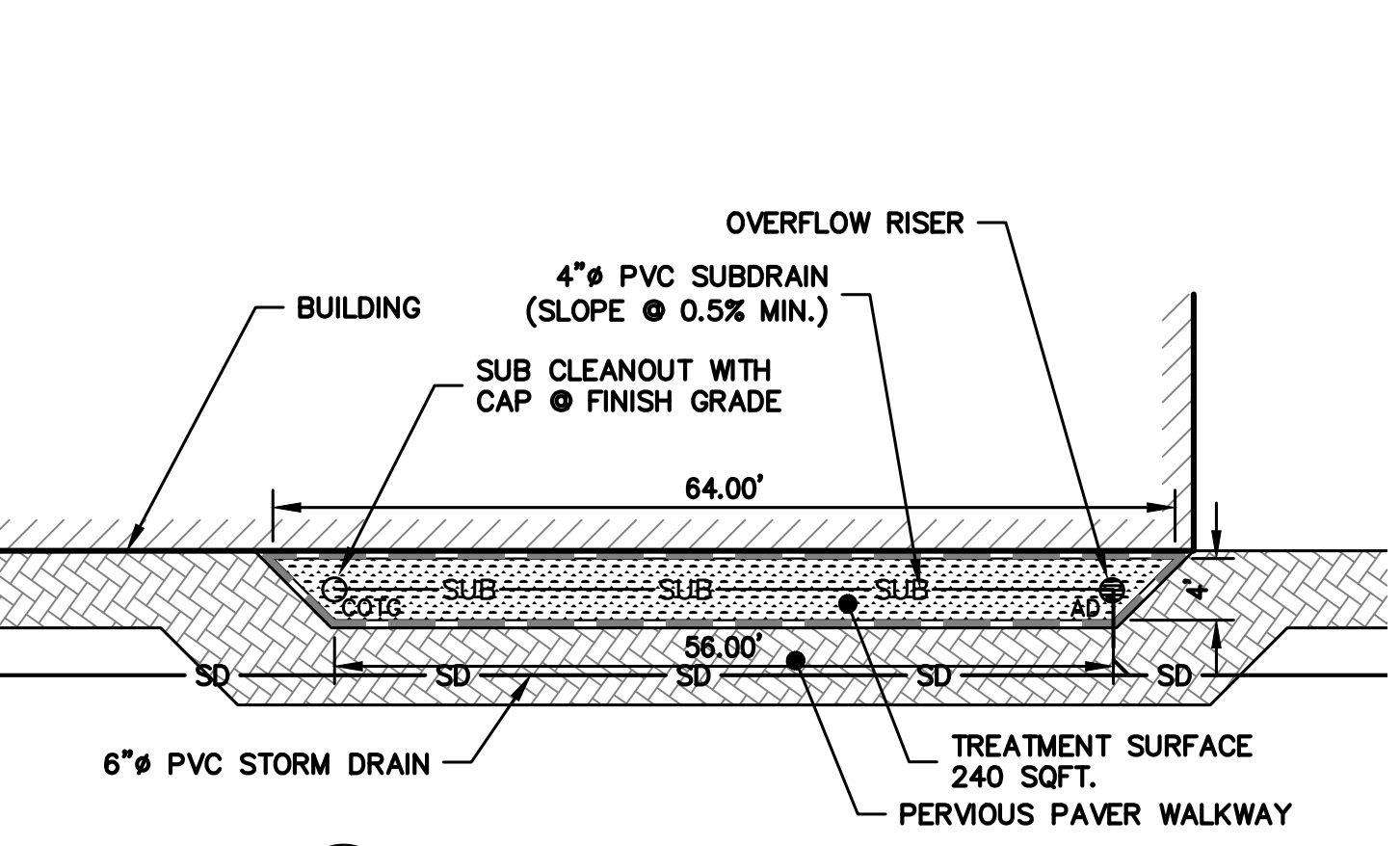
1 FLOW THROUGH PLANTER #1
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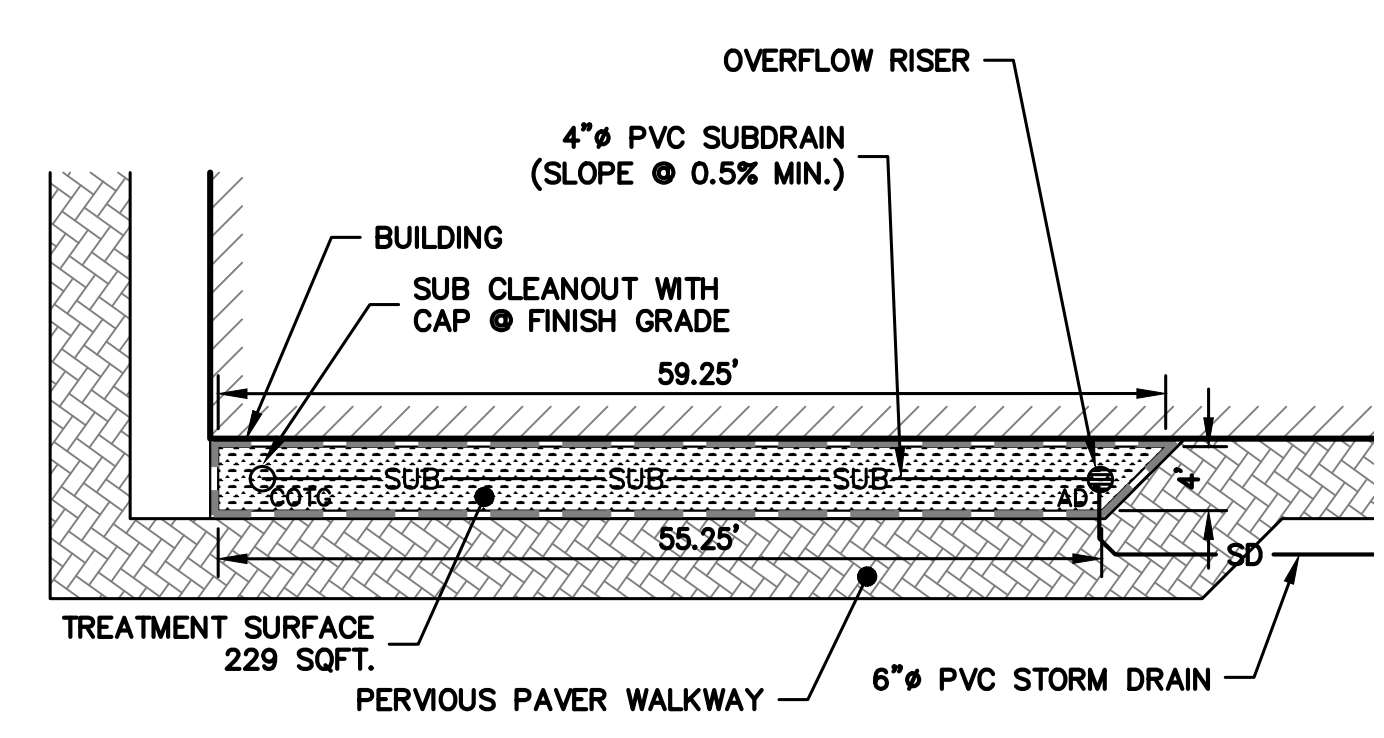
2 FLOW THROUGH PLANTER #2
SCP-3 NTS



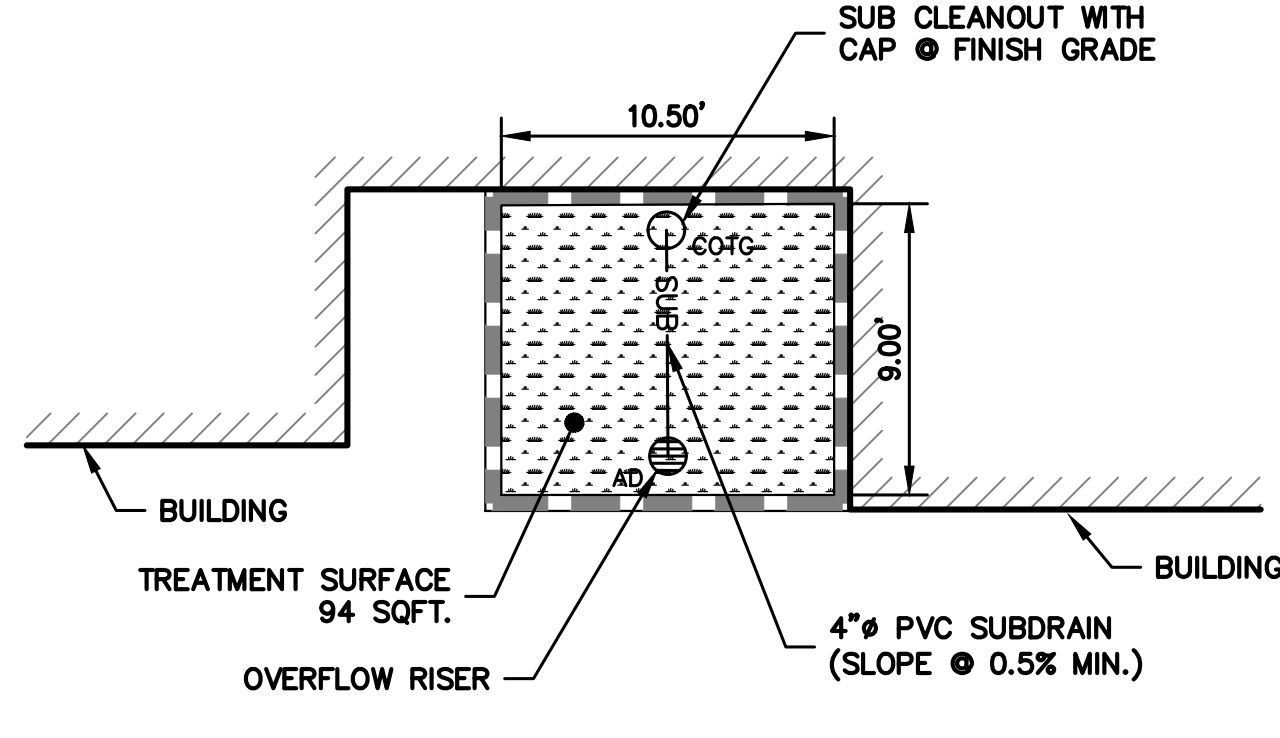
3 FLOW THROUGH PLANTER #3
SCP-3 NTS



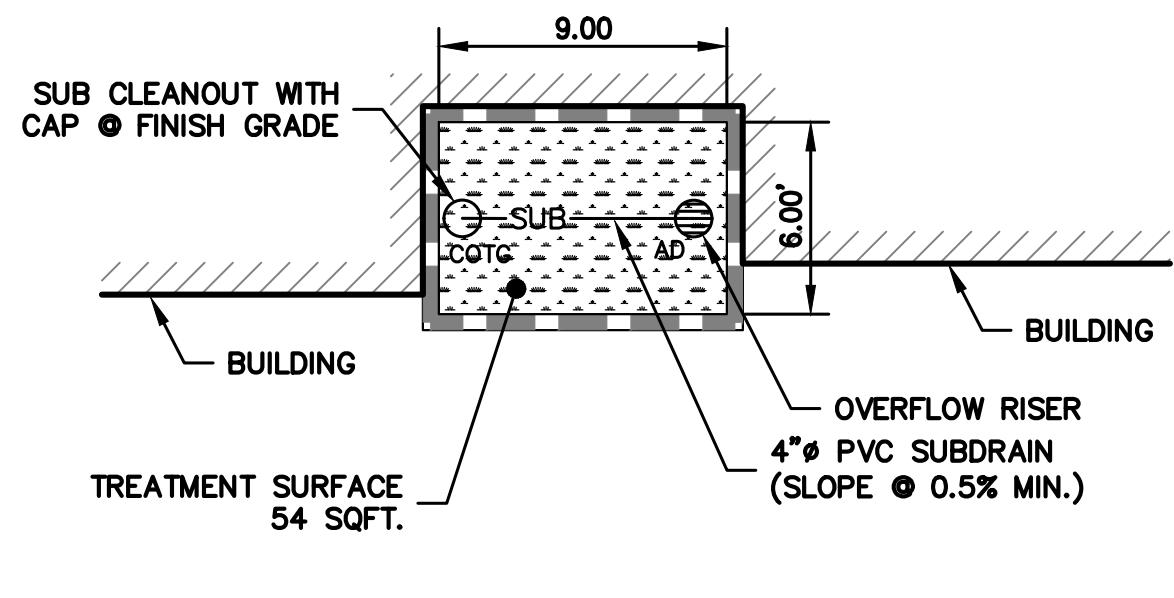
4 FLOW THROUGH PLANTER #4
SCP-3 NTS



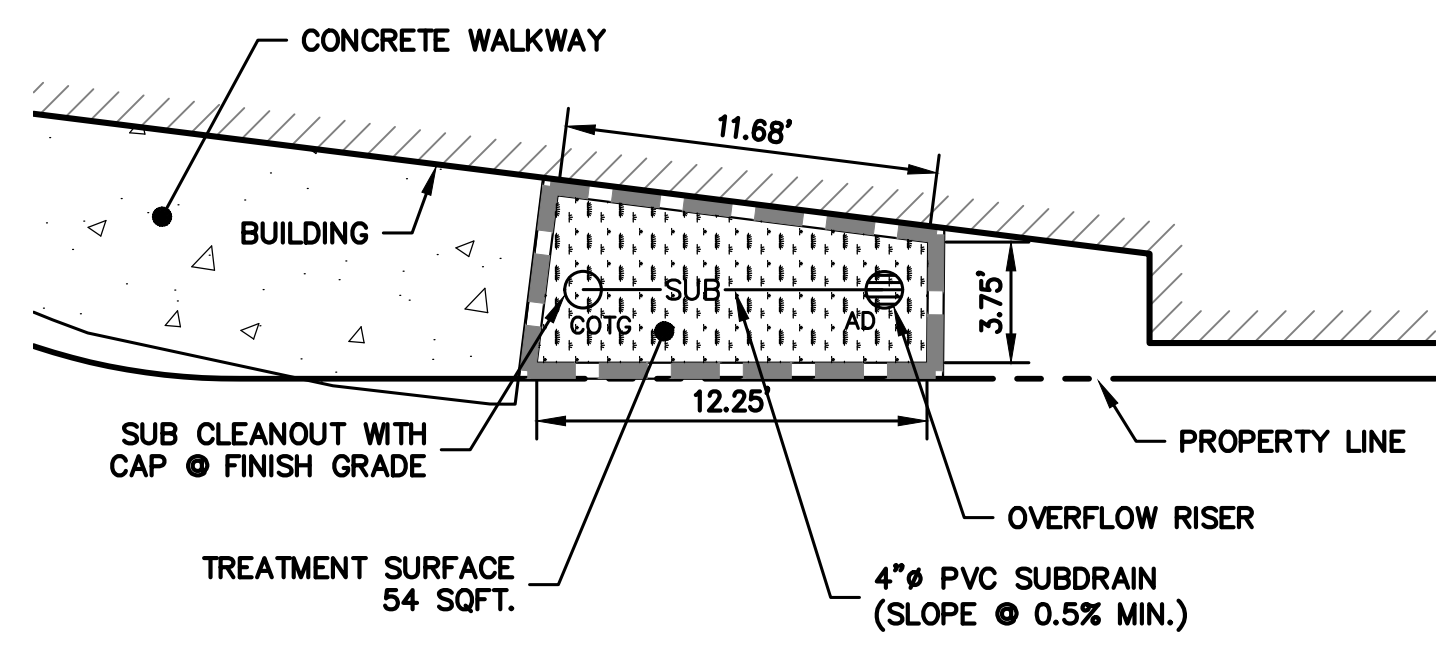
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SCP-3 NTS



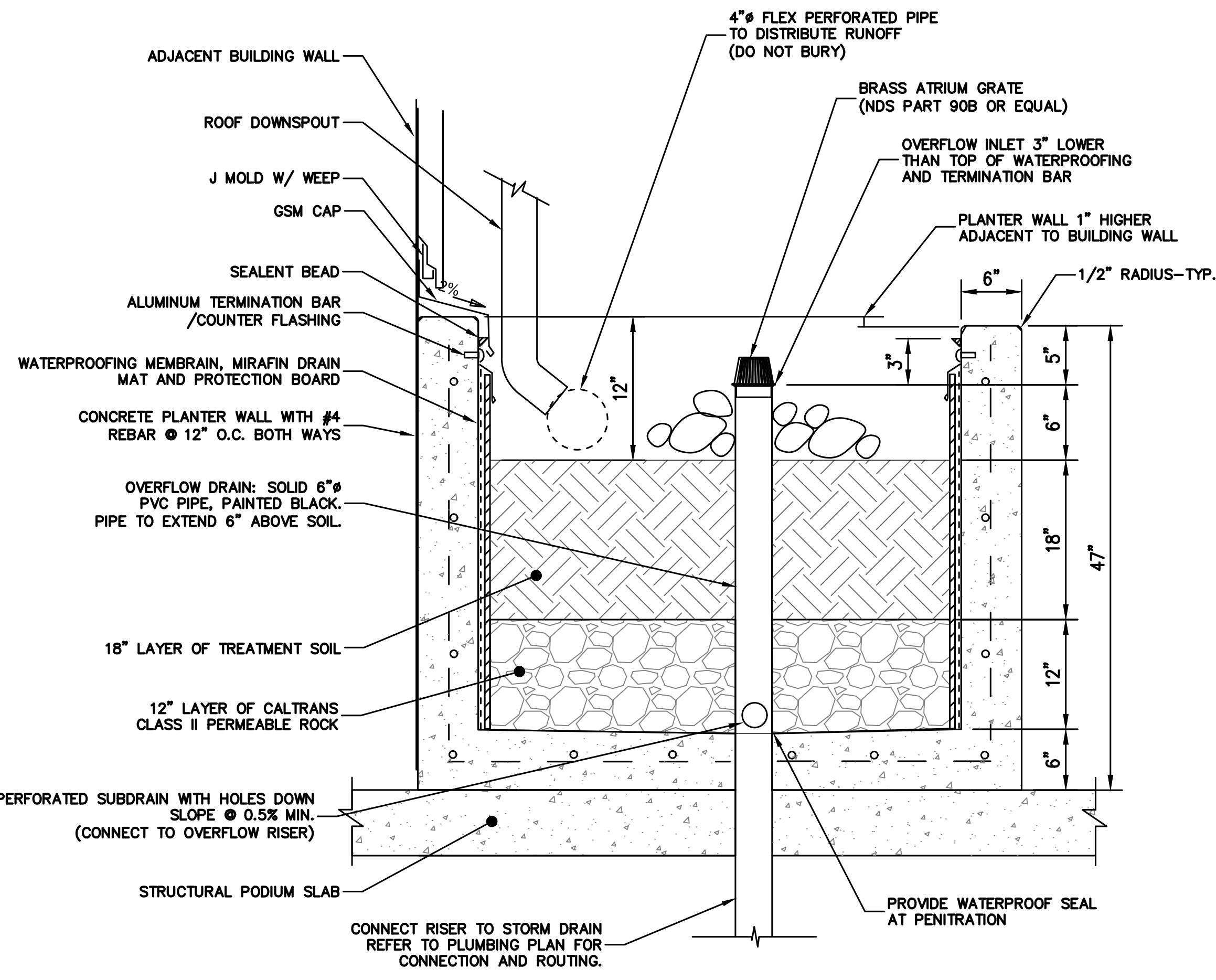
6 FLOW THROUGH PLANTER #6
SCP-3 NTS



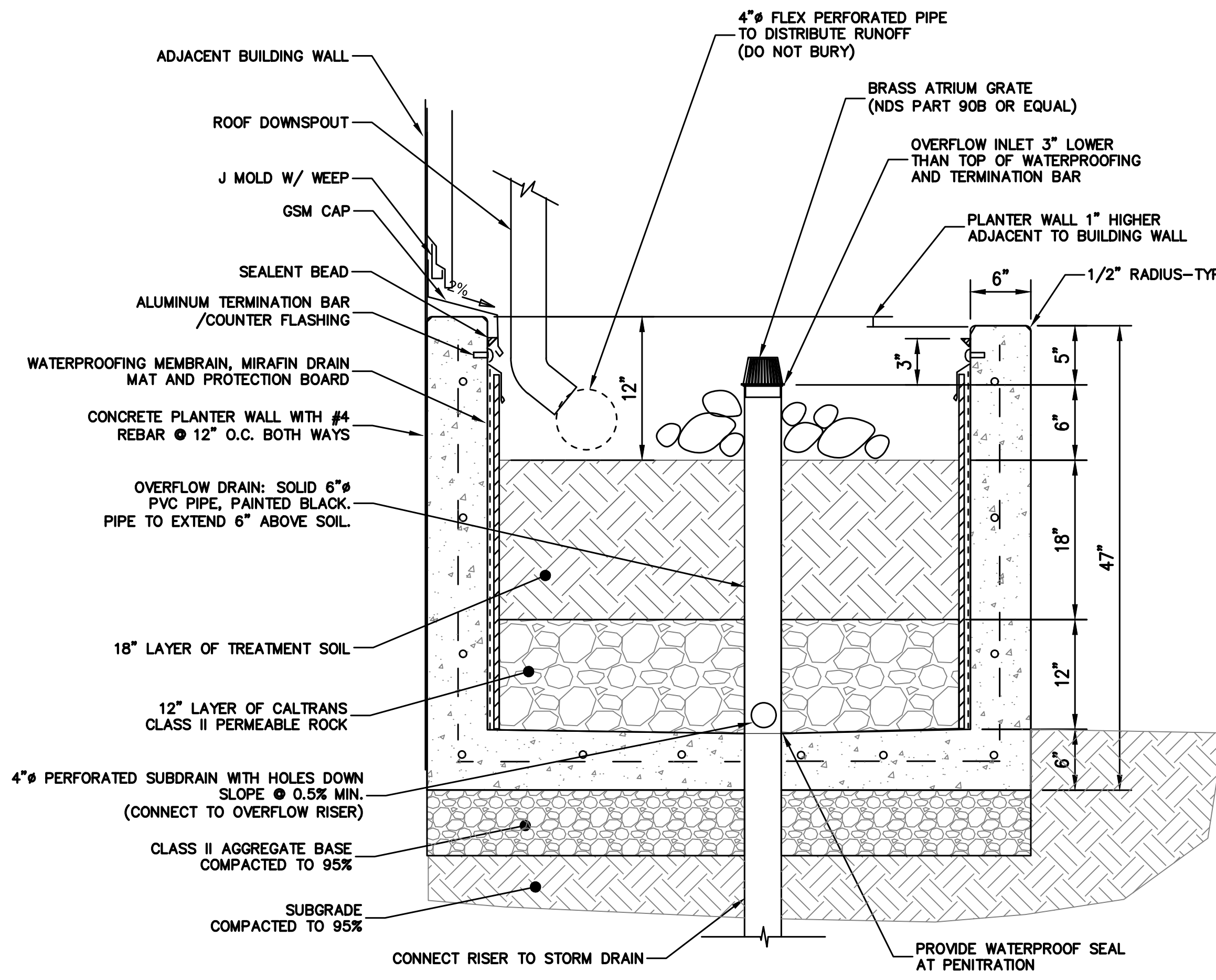
7 FLOW THROUGH PLANTER #7
SCP-3 NTS



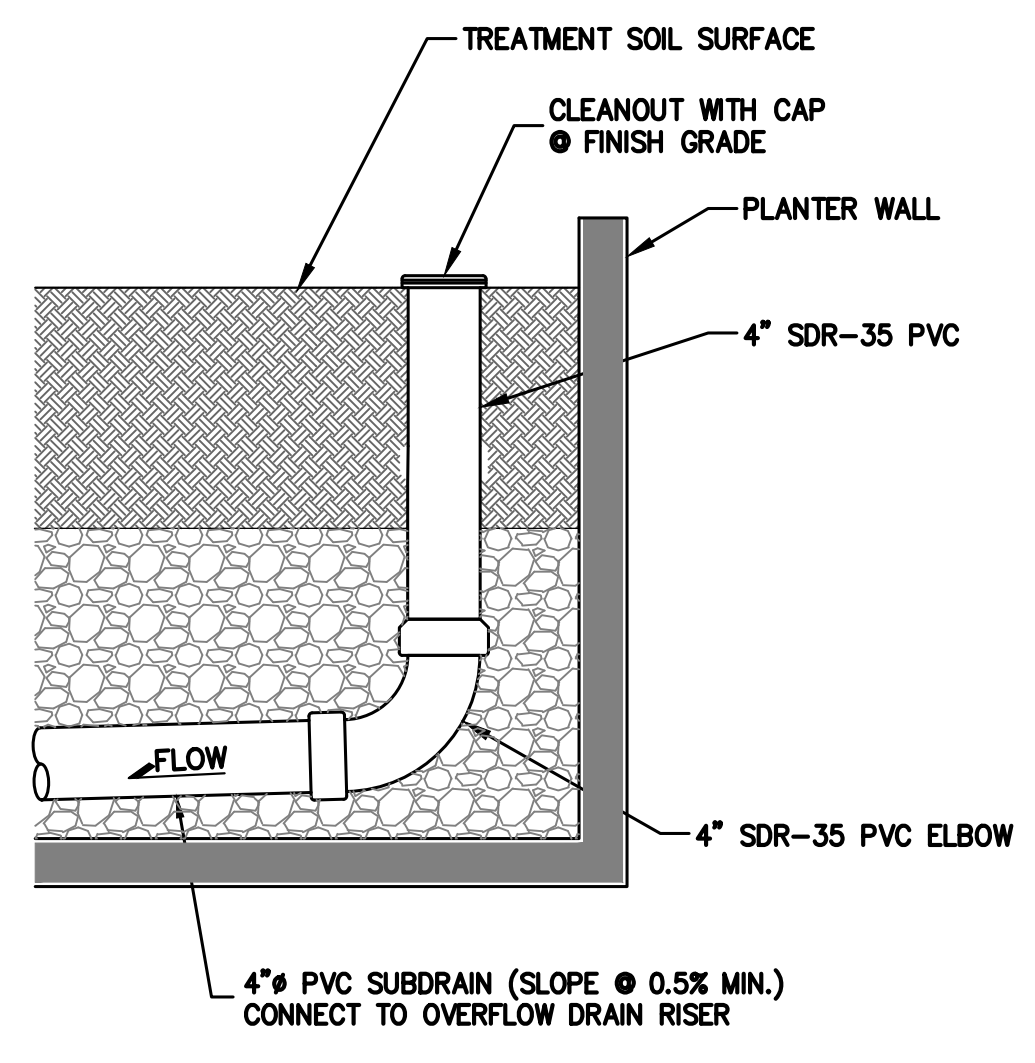
8 FLOW THROUGH PLANTER #8
SCP-3 NTS



8 PODIUM DECK FLOW-THROUGH TREATMENT PLANTERS
FLOW-THROUGH TREATMENT PLANTERS 1, 2, & 3
SCP-3 NTS



9 GROUND FLOOR FLOW-THROUGH TREATMENT PLANTERS
FLOW-THROUGH TREATMENT PLANTERS 4, 5, 6, 7 & 8
SCP-3 NTS



10 PLANTER SUBDRAIN CLEANOUT
SCP-3 NTS

BIO-RETENTION SOIL CONSIDERATIONS
 THE BIO-RETENTION PLANTING SOIL SHALL MEET THE REQUIREMENTS SET FORTH IN APPENDIX K OF THE SAN MATEO COUNTY CLEANWATER PROGRAM C.3 STORMWATER TECHNICAL GUIDANCE HANDBOOK.
 BIO-RETENTION SOIL SHALL HAVE A MINIMUM PERCOLATION RATE OF 5" PER HOUR AND MAXIMUM PERCOLATION RATE OF 10" PER HOUR. IF NATIVE SOILS DO NOT MEET THIS PERCOLATION REQUIREMENT, AN ADMIXTURE SHALL BE MIXED INTO PLANTING SOIL TO ALLOW FOR A 5" PER HOUR PERCOLATION RATE. IN-SITU TESTING SHALL BE CONDUCTED TO VERIFY THAT THE MATERIAL MEETS THE PERCOLATION REQUIREMENTS.
 NO BARK MULCH SHALL BE PLACED IN THE VEGETATED AREA.
 IF IMPORT SOIL IS USED, IT SHALL HAVE THE FOLLOWING PROPERTIES FOR SANDY LOAM. A TYPICAL SOIL MIX COMPRISES 60-70% SAND AND 30%-40% COMPOST.



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 SAN MATEO COUNTY
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STORMWATER CONTROL
 DETAILS

| NO. | DESCRIPTION | DATE | BY |
|-----------|-------------|----------|----|
| 9 | COMP REVIEW | 07-16-24 | VA |
| 8 | COMP REVIEW | 05-31-24 | VA |
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| REVISIONS | | | BY |

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 SAN MATEO COUNTY
 APN: 055-170-240

GREEN INFRASTRUCTURE
DETAILS

PURPOSE:
 ROADSIDE BIORETENTION PLANTERS IN:
 • CSS AREAS: CONTROL PEAK FLOWS AND VOLUMES OF STORMWATER RUNOFF BY PROVIDING SURFACE, SUBSURFACE STORAGE AND INFILTRATION INTO NATIVE SOIL.
 • MSA AREAS: REMOVE POLLUTANTS OF CONCERN AS WATER FILTERS THROUGH BIORETENTION SOIL.

DESIGNER NOTES & GUIDELINES:

- THE DESIGNER MUST ADAPT PLAN AND SECTION DRAWINGS TO ADDRESS SITE-SPECIFIC CONDITIONS.
- PLANTER AREA, PONDING DEPTH, BIORETENTION SOIL DEPTH, AND AGGREGATE STORAGE DEPTH MUST BE SIZED TO MEET PROJECT HYDROLOGIC PERFORMANCE GOALS.
- PONDING AND BIORETENTION SOIL DRAINAGE TIME (I.E., TIME FOR MAXIMUM SURFACE PONDING TO DRAIN THROUGH THE BIORETENTION SOIL AFTER THE END OF A STORM) RECOMMENDATIONS:
 • 3-12 HOUR PONDING AND BIORETENTION SOIL DRAINAGE (TYPICAL)
 • 24 HOUR MAXIMUM PONDING AND BIORETENTION SOIL DRAINAGE
- FACILITY DRAWDOWN TIME (I.E., TIME FOR SURFACE PONDING TO DRAIN THROUGH THE ENTIRE SECTION INCLUDING AGGREGATE STORAGE AFTER THE END OF A STORM) RECOMMENDATIONS:
 • 48 HOUR MAXIMUM FACILITY DRAWDOWN (I.E. ORIFICE CONTROLLED SYSTEM OR EXTENDED STORAGE DEPTH WITHIN INFILTRATION SYSTEM)
- AN AGGREGATE COURSE UNDER THE BIORETENTION SOIL IS REQUIRED FOR BIORETENTION IN SEPARATE SEWER SYSTEM AREAS. USE AGGREGATE COURSE WHERE REQUIRED (E.G., WITH UNDERDRAIN FOR STORAGE, ETC.) FOR FACILITIES IN COMBINED SEWER SYSTEM AREAS.
- THE PLANTER WALL SLOPE IS TYPICALLY DESIGNED TO MATCH THE LONGITUDINAL SLOPE OF THE ADJACENT ROADWAYSIDEWALK. CHECK DAMS MAY BE USED FOR HIGHER-SLOPED INSTALLATIONS TO TERRACE FACILITIES TO PROVIDE SUFFICIENT PONDING AND TO MINIMIZE LARGE ELEVATION DROPS FROM ADJACENT SURFACES. DESIGNER MUST SPECIFY CHECK DAM HEIGHT AND SPACING. REFER TO BC 6.1 AND BC 6.2 FOR GUIDANCE ON CHECK DAM DESIGN.
- THE DESIGN SHALL MINIMIZE THE HEIGHT OF EXPOSED PLANTER WALLS BETWEEN THE TOP OF SOIL AND TOP OF CURB WALL AND CONSIDER PEDESTRIAN AND VEHICLE SAFETY, ACCESSIBILITY REQUIREMENTS, AND OVERALL AESTHETICS. DEPENDING ON THE HEIGHT OF THE PROPOSED PLANTER WALL, ADDITIONAL STRUCTURAL CONSIDERATIONS MAY BE REQUIRED TO ADDRESS WALL LOADING. REFER TO BC 1.1 THROUGH BC 1.7 FOR GUIDANCE ON EDGE TREATMENTS.
- WHEN FACILITY CONSTRUCTION IMPACTS EXISTING SIDEWALK, ALL SAW CUTS MUST ADHERE TO SFPUC REQUIREMENTS. SAW CUTS SHOULD BE ALONG SCORE LINES AND ANY DISTURBED SIDEWALK FLAG SHOULD BE REPLACED IN THEIR ENTIRETY.
- BIORETENTION PLANTERS LOCATED IN PUBLIC ROW SHOULD BE DESIGNED WITH AN OFFLINE CONFIGURATION (I.E. NO OVERFLOW STRUCTURE TO SD LATERAL CURB CUTS SERVE AS INLET AND OVERFLOW TO GUTTER FLOWLINE). ONLINE BIORETENTION CONFIGURATION (I.E. OVERFLOW STRUCTURE WITHIN PLANTER TO SD LATERAL) REQUIRES SFPUC APPROVAL. HAND-PIPED DISCHARGE INTO ROW BIORETENTION PLANTERS MAY REQUIRE AN ONLINE CONFIGURATION.
- FOR APPROVED ONLINE CONFIGURATIONS: OVERFLOW STRUCTURE (MATERIAL AND WORKMANSHIP) SHALL CONFORM TO APPLICABLE CODES AND REQUIREMENTS. SIZE AND MODEL OF ATRIUM GRATE AT OVERFLOW TO BE DETERMINED BY ENGINEER TO ENSURE CONVEYANCE OF PEAK FLOW.
- PLANTER VEGETATION MUST BE SPECIFIED BY DESIGN PROFESSIONAL PER SFPUC VEGETATION PALLETTE.
- THE DESIGNER MUST EVALUATE UTILITY SURVEYS FOR POTENTIAL UTILITY CROSSINGS OR CONFLICTS. REFER TO GC 2.1 - GC 2.12 FOR UTILITY CROSSING DETAILS AND GC 3.1 - GC 3.4 FOR UTILITY CROSSING CONFLICT DETAILS.
- MINIMUM UTILITY SETBACKS AND PROTECTION MEASURES MUST CONFORM TO CURRENT SFPUC ASSET PROTECTION STANDARDS AND OTHER UTILITY PROVIDER REQUIREMENTS.

RELATED COMPONENTS

| | | |
|--------------------|--------|---------|
| EDGE TREATMENTS: | BC 1.1 | BC 1.7 |
| INLETS: | BC 2.1 | BC 2.4 |
| OUTLETS: | BC 3.1 | BC 3.4 |
| AGGREGATE STORAGE: | BC 4.1 | |
| UNDERDRAINS: | BC 5.1 | BC 5.2 |
| CHECK DAMS: | BC 6.1 | BC 6.2 |
| LINEAS: | GC 1.1 | GC 1.2 |
| UTILITY CROSSINGS: | GC 2.1 | GC 2.12 |
| UTILITY CONFLICTS: | GC 3.1 | GC 3.4 |
| OBSERVATION PORTS: | GC 4.1 | GC 4.3 |
| CLEANOUTS: | GC 5.1 | |

RELATED SPECIFICATIONS

| | |
|---|------------------|
| BIORETENTION: - BIORETENTION SOIL MIX - AGGREGATE STORAGE - MULCH - STREAMBED COBBLES | CSH NO. 33 47 27 |
|---|------------------|

NOT FOR CONSTRUCTION - REFER TO USER GUIDE

GREEN INFRASTRUCTURE TYPICAL DETAILS
 SAN FRANCISCO PUBLIC UTILITIES COMMISSION
 ROADSIDE PLANTER DESIGNER NOTES (1 OF 2)
 BP 1.1

LAYOUT REQUIREMENTS:

- REFER TO THE SAN FRANCISCO STANDARD ACCESSIBILITY REQUIREMENTS IN THE SAN FRANCISCO PUBLIC WORKS SIDEWALK LANDSCAPING REFERENCE DRAWINGS AND SPECIFICATIONS FOR COURTESY STRIP, THROUGHWAY, PARKING SPACE AND ACCESSIBLE PATH REQUIREMENTS.
- LOCATE CURB CUTS AND GUTTER MODIFICATIONS TO AVOID CONFLICTS WITH ACCESSIBILITY REQUIREMENTS (E.G. OVERLAPS SHALL DISCHARGE TO CURB OR INLET PRIOR TO CROSSING A CURB RAMP OR CROSSWALK).
- REFER TO SHEET GEN 0.2 AND APPENDIX C OF THE STORMWATER MANAGEMENT REQUIREMENTS FOR MORE DETAILED INFORMATION ON SITING AND DESIGN REQUIREMENTS FOR INFILTRATION-BASED BMPs.

DESIGNER CHECKLIST (MUST SPECIFY, AS APPLICABLE):

- PLANTER WIDTH AND LENGTH
- DEPTH OF PONDING
- DEPTH OF FREEBOARD
- DEPTH OF BIORETENTION SOIL
- DEPTH AND TYPE OF AGGREGATE STORAGE, IF ANY
- PLANTER SURFACE ELEVATION (TOP OF BIORETENTION SOIL) AT UPSLOPE AND DOWNSLOPE ENDS OF FACILITY (I.E., PROVIDE SPOTS AND/OR CONTOURS AS NEEDED).
- DEFINED SURVEY POINTS AT EVERY PLANTER WALL CORNER AND POINT OF TANGENCY
- HORIZONTAL CONTROL: DIMENSIONS AND DISTANCE TO EVERY INLET, OUTLET, CHECK DAM, SIDEWALK NOTCH, ETC.
- VERTICAL CONTROL: ELEVATIONS OF EVERY INLET, OUTLET, STRUCTURE RIM AND INVERT, CHECK DAM, PLANTER WALL CORNER, AND SIDEWALK NOTCH
- TYPE AND DESIGN OF PLANTER COMPONENTS (E.G. EDGE TREATMENTS, INLETS/GUTTER MODIFICATIONS, UTILITY CROSSINGS, LINER, AND PLANTING DETAILS)

NOT FOR CONSTRUCTION - REFER TO USER GUIDE

GREEN INFRASTRUCTURE TYPICAL DETAILS
 SAN FRANCISCO PUBLIC UTILITIES COMMISSION
 ROADSIDE PLANTER DESIGNER NOTES (2 OF 2)
 BP 1.2

CONSTRUCTION NOTES:

- CHECK DAMS SHALL BE SPACED TO PROVIDE PONDING PER SITE SPECIFIC DESIGN.
- LAY OUT DRAINAGE NOTCHES TO PREVENT PONDING BEHIND PLANTER WALL WITH 5' MAXIMUM SPACING BETWEEN NOTCHES.
- PROVIDE ONE CLEANOUT PER PLANTER (MIN) FOR FACILITIES WITH UNDERDRAINS.
- MINIMUM UTILITY SETBACKS AND PROTECTION MEASURES MUST CONFORM TO CURRENT SFPUC ASSET PROTECTION STANDARDS. COORDINATE WITH ENGINEER IN THE EVENT OF UTILITY CROSSING AND UTILITY CONFLICTS.
- PUBLIC ROW/SFPUC ASSETS SHALL BE OFFLINE CONFIGURATION. SEE BP 1.1.
- PRIVATE PARCEL: OFFLINE OR ONLINE CONFIGURATION ALLOWED.
- PRIOR TO PLACEMENT OF IMPERMEABLE LINER, THE SUBGRADE SHALL BE PREPARED AND CONTOURED AS NECESSARY TO PROVIDE A SMOOTH SURFACE. VOID OF SHARP ROCKS/DEBRIS. NO VOID SPACES SHALL BE PRESENT BETWEEN THE LINER AND THE SUBGRADE. GEOTEXTILE FABRIC MAY BE INSTALLED BETWEEN THE SUBGRADE AND THE LINER TO PROTECT THE LINER FROM SHARP AGGREGATE PRESENT IN THE SUBGRADE. ENGINEER SHALL INSPECT/APPROVE THE PREPARED BASIN SUBGRADE PRIOR TO THE INSTALLATION OF ANY OVERLYING GEOTEXTILE MATERIAL. SEE BIORETENTION SPECIFICATION.

PLAN - OFFLINE CONFIGURATION 1

PLAN - ONLINE CONFIGURATION 2

NOT FOR CONSTRUCTION - REFER TO USER GUIDE

GREEN INFRASTRUCTURE TYPICAL DETAILS
 SAN FRANCISCO PUBLIC UTILITIES COMMISSION
 BIORETENTION PLANTER ROADSIDE PLANTER WITHOUT PARKING PLAN
 BP 3.1

CONSTRUCTION NOTES:

- AVOID COMPACTION OF EXISTING SUBGRADE BELOW PLANTER DURING CONSTRUCTION.
- SCARIFY SUBGRADE TO A DEPTH OF 3 INCHES (MIN) IMMEDIATELY PRIOR TO PLACEMENT OF AGGREGATE STORAGE AND BIORETENTION SOIL MATERIAL.
- MAXIMUM DROP FROM TOP OF CURB/WALL TO TOP OF BIORETENTION SOIL SHALL INCLUDE CONSIDERATIONS FOR BIORETENTION SOIL SETTLEMENT. 30" DROP REQUIRES GUARD RAIL.
- SLOPE OF PLANTER WALL TO MATCH LONGITUDINAL SLOPE OF ADJACENT SURFACES.
- SEE BC 3.4 FOR ONLINE CONFIGURATIONS WITH OVERFLOW STRUCTURE.
- MAXIMUM DROP FROM TOP OF WALKING SURFACE TO TOP OF MULCH SHALL INCLUDE CONSIDERATIONS FOR SOIL SETTLEMENT.

NOT FOR CONSTRUCTION - REFER TO USER GUIDE

GREEN INFRASTRUCTURE TYPICAL DETAILS
 SAN FRANCISCO PUBLIC UTILITIES COMMISSION
 BIORETENTION PLANTER ROADSIDE PLANTER WITHOUT PARKING SECTIONS
 BP 3.2

CONSTRUCTION NOTES:

- ALL MATERIAL AND WORKMANSHIP FOR CURB CUTS SHALL CONFORM TO SAN FRANCISCO STANDARD SPECIFICATIONS AND APPLICABLE CODES PER SAN FRANCISCO DBI AND PUBLIC WORKS.
- BOND NEW CURB AND GUTTER TO EXISTING CURB AND GUTTER WITH EPOXY AND DOWEL CONNECTION.
- INLET CURB CUT WIDTH SHALL BE 18" ON GUTTER SLOPES ≥ 5%.
- MODIFIED FLOW LINE (MFL) TO BE 2" BELOW DOWNSLOPE UNMODIFIED FLOWLINE (FL).

NOT FOR CONSTRUCTION - REFER TO USER GUIDE

GREEN INFRASTRUCTURE TYPICAL DETAILS
 SAN FRANCISCO PUBLIC UTILITIES COMMISSION
 BIORETENTION COMPONENTS INLETS CURB CUT WITH GUTTER MODIFICATION
 BC 2.2

CONSTRUCTION NOTES:

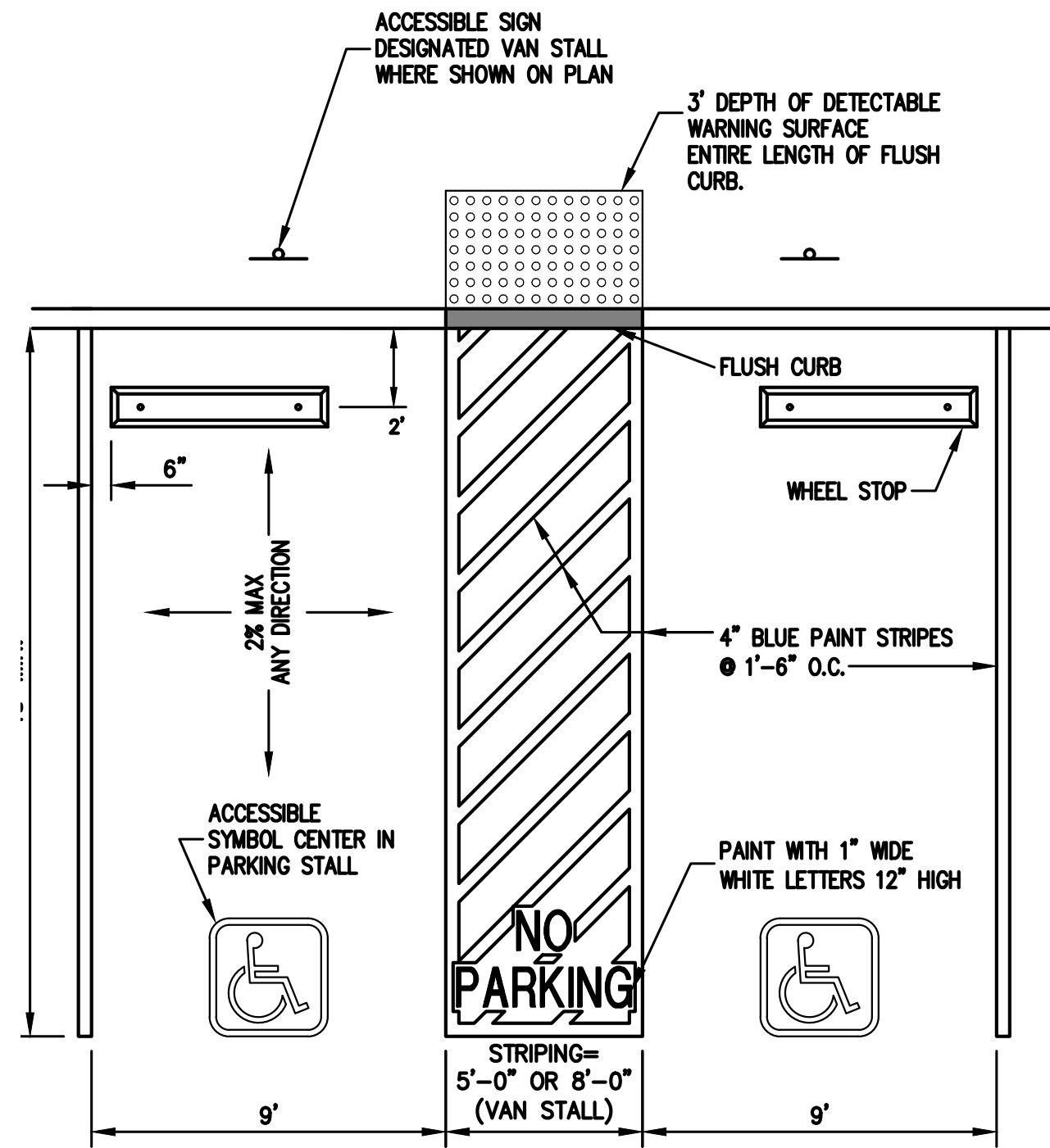
- ALL MATERIAL AND WORKMANSHIP FOR CURB CUTS SHALL CONFORM TO SAN FRANCISCO STANDARD SPECIFICATIONS AND APPLICABLE CODES PER SAN FRANCISCO DBI AND PUBLIC WORKS.
- BOND NEW CURB AND GUTTER TO EXISTING CURB AND GUTTER WITH EPOXY AND DOWEL CONNECTION.
- MATCH GUTTER SLOPE UP AND DOWNSLOPE OF CURB CUT SLOPE SIMILAR TO INLET DETAIL UNLESS MODIFYING GUTTER.
- OUTLET CURB CUT WIDTH SHALL BE 18" ON GUTTER SLOPES ≥ 5%.

NOT FOR CONSTRUCTION - REFER TO USER GUIDE

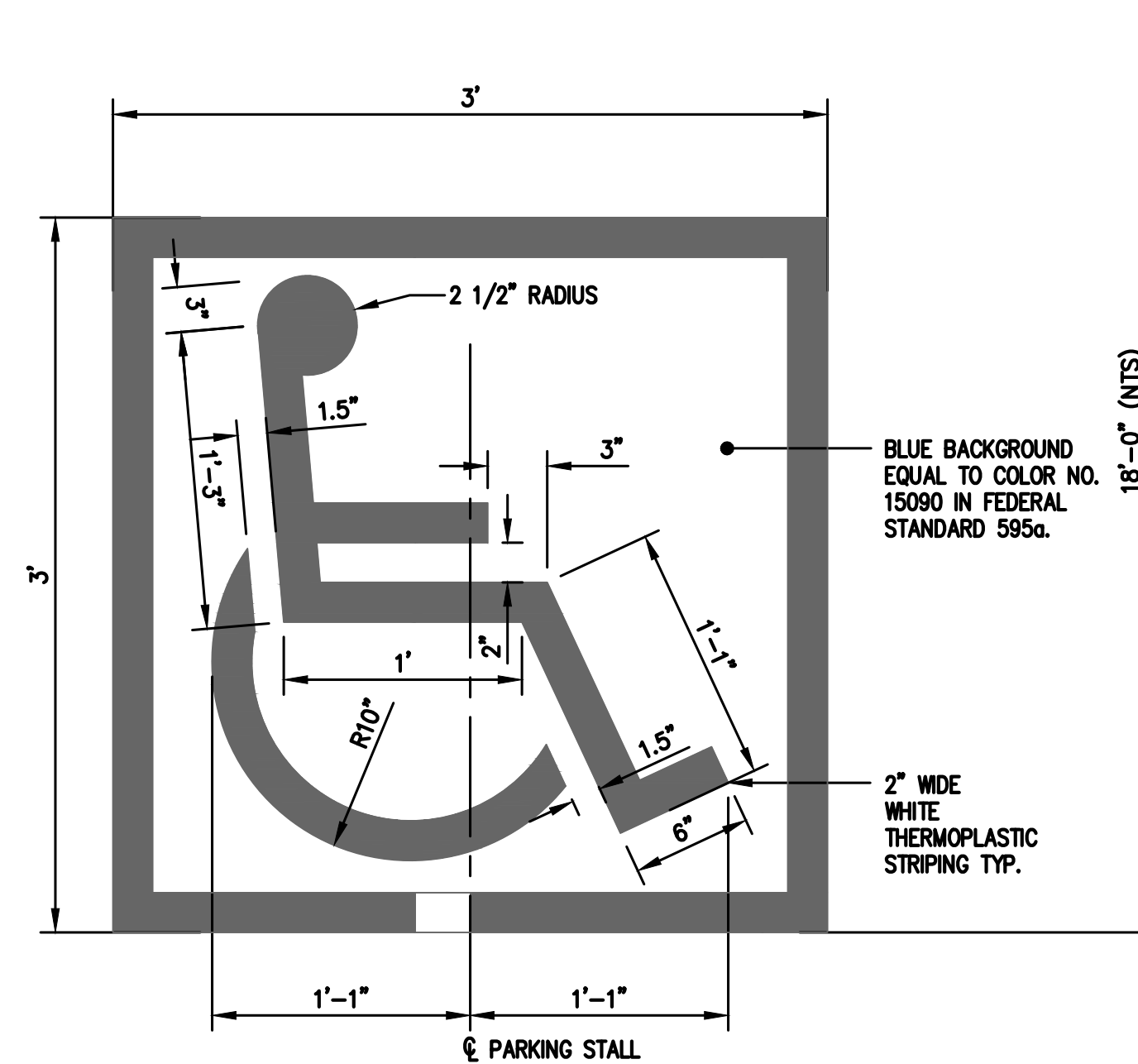
GREEN INFRASTRUCTURE TYPICAL DETAILS
 SAN FRANCISCO PUBLIC UTILITIES COMMISSION
 BIORETENTION COMPONENTS OUTLETS CURB CUT
 BC 3.2

| | | | |
|---|-------------|----------|----|
| 9 | COMP REVIEW | 07-16-24 | VA |
| 8 | COMP REVIEW | 05-31-24 | VA |
| 7 | COMP REVIEW | 03-21-24 | VA |
| 6 | C3 PLN CHK | 10-17-23 | VA |
| 5 | C3 PLN CHK | 10-04-23 | VA |
| | REVISIONS | | BY |

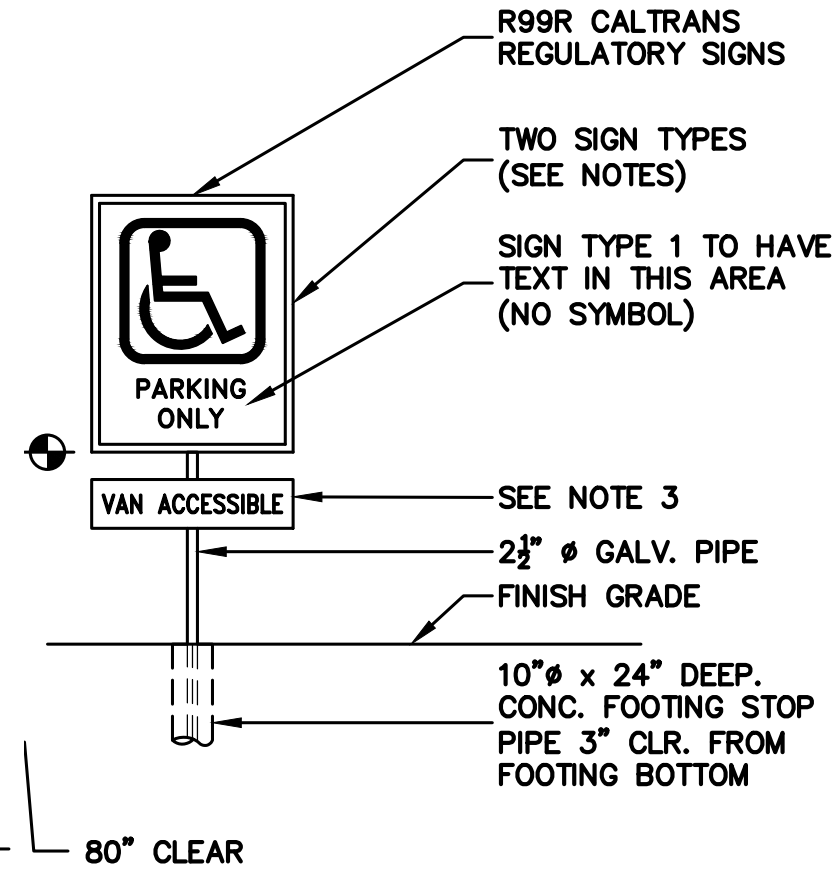
JOB NO: 2220759
 DATE: 11-18-22
 SCALE: AS NOTED
 DESIGN BY: VA
 CHECKED BY: JH/PC
 SHEET NO:



1 ACCESSIBLE STALL
C-6.0 NTS



2 ACCESSIBLE PARKING SYMBOLS
C-6.0 NTS

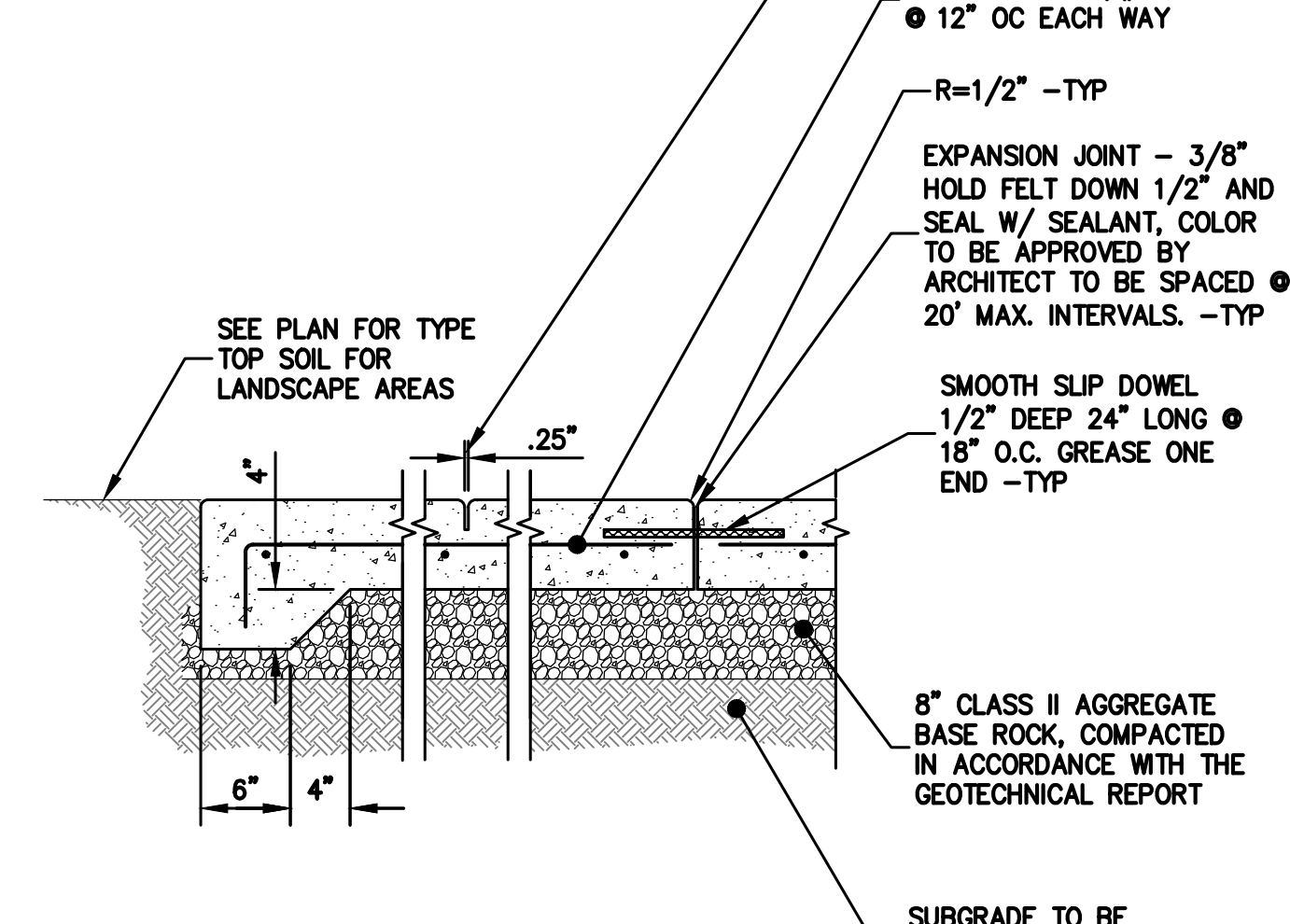


3 ACCESSIBLE PARKING SIGNAGE
C-6.0 NTS

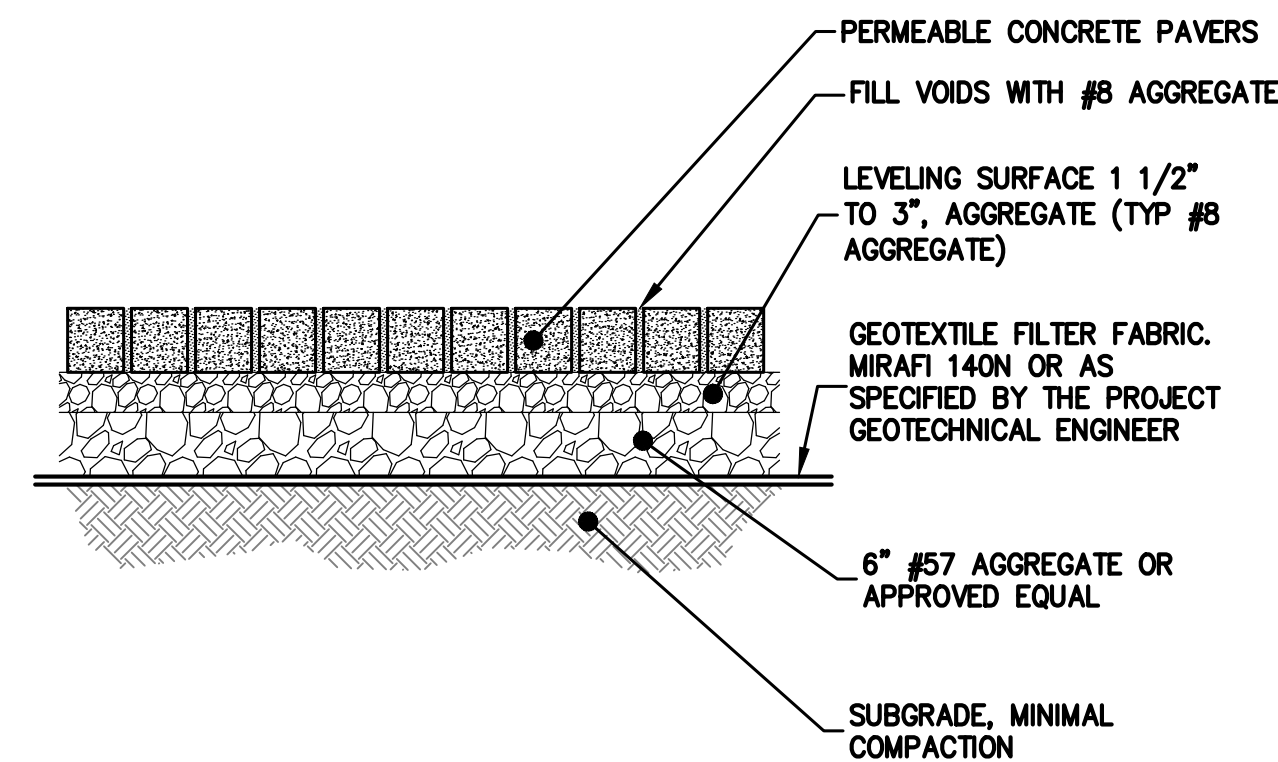
- NOTES**
- OFF-STREET PARKING FACILITIES TO HAVE SIGN AT STREET ENTRANCE NOT LESS THAN 17" x 22" IN SIZE. SIGN TEXT TO STATE THE FOLLOWING: "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACE NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT _____ OR BY TELEPHONING _____ CONTRACTOR TO OBTAIN APPROPRIATE LOCAL NUMBER AND FILL IN BLANKS PRIOR TO MANUFACTURING SIGN."
 - ACCESSIBLE PARKING SPACE SIGN TO HAVE ACCESSIBLE SYMBOL, AS SHOWN. SIZE TO BE 70 SQ. IN. MINIMUM.
 - PROVIDE SIGN AT VAN STALL WITH ADD'L SIGN STATING "VAN ACCESSIBLE"

NOTES:

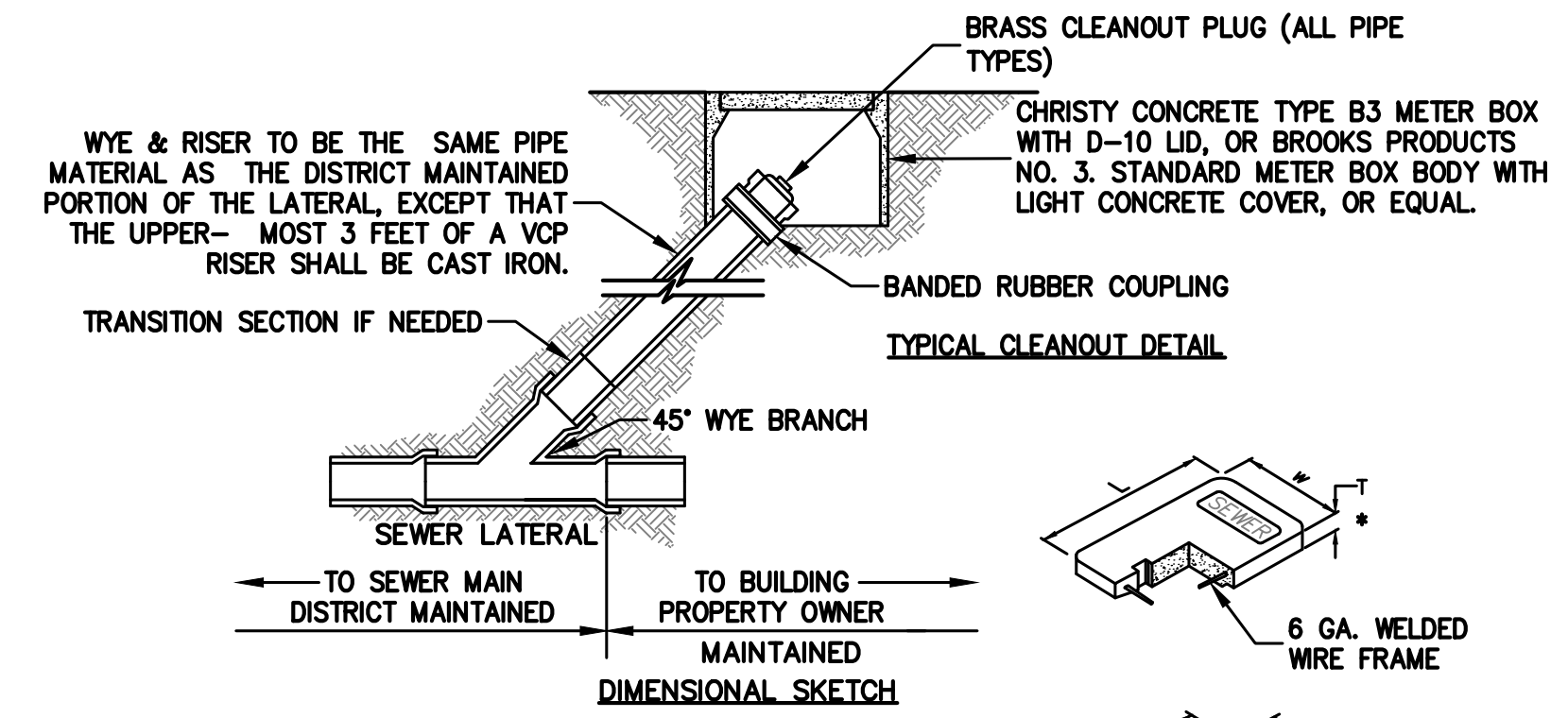
- SLOPE ALL CONCRETE TO DRAIN 1% MIN.
- SEE LANDSCAPE OR ARCHITECTURAL PLANS FOR CONCRETE COLORS AND FINISHES.
- EASE ALL EDGES R=1/2"
- FELT SHALL BE NON-ASPHALTIC IMPREGNATED.



4 CONCRETE PAVING
C-6.0 NTS



5 PERMEABLE PAVERS
C-6.0 NTS



LID DIMENSIONS

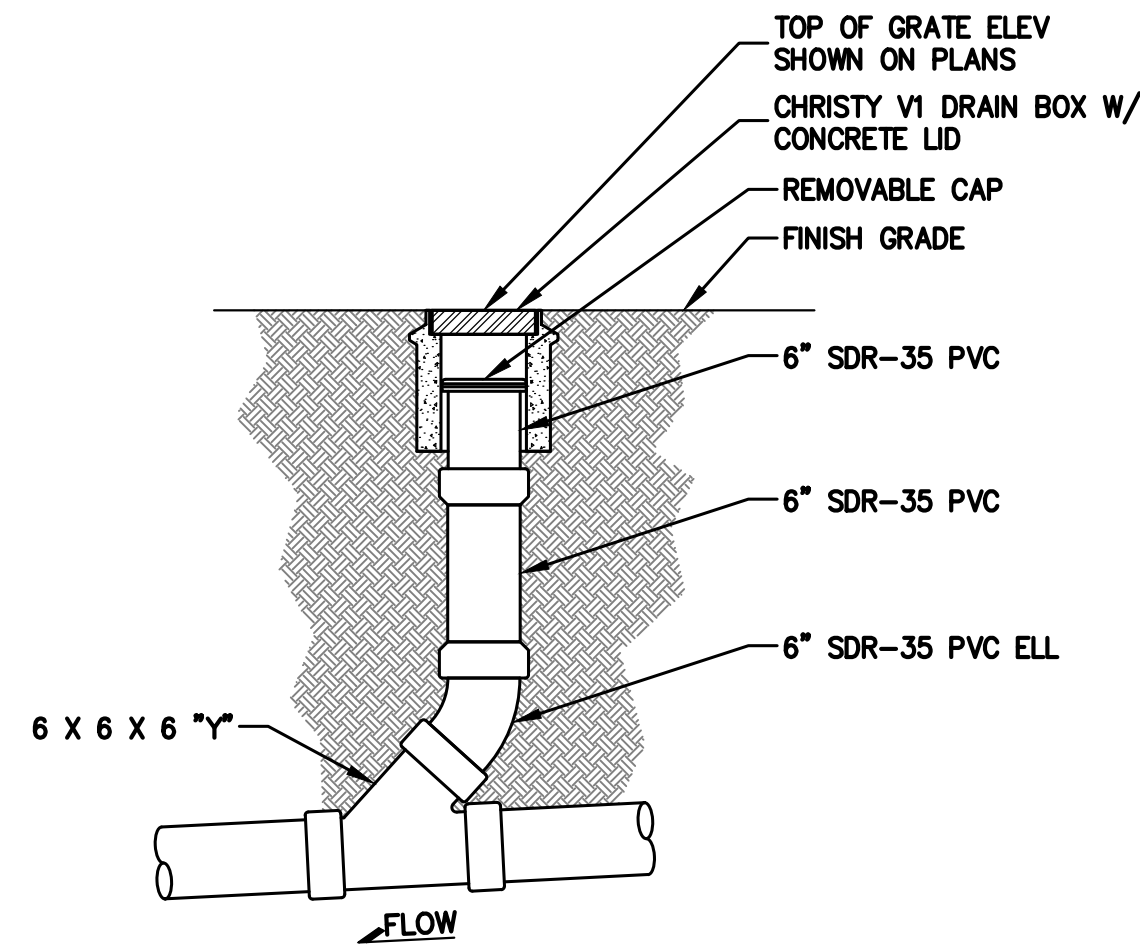
| | L | W | T | WT |
|--------------|---------|----------|--------|-------|
| CHRISTY D-10 | 14 1/2" | 8 11/16" | 11/16" | 7 LB |
| BROOKS #3 NS | 14 1/2" | 8 3/4" | 1" | 13 LB |

*PROVIDE STEEL TRAFFIC COVER FOR BOX WHEN INSTALLED IN LOCATION SUBJECT TO VEHICULAR LOADING

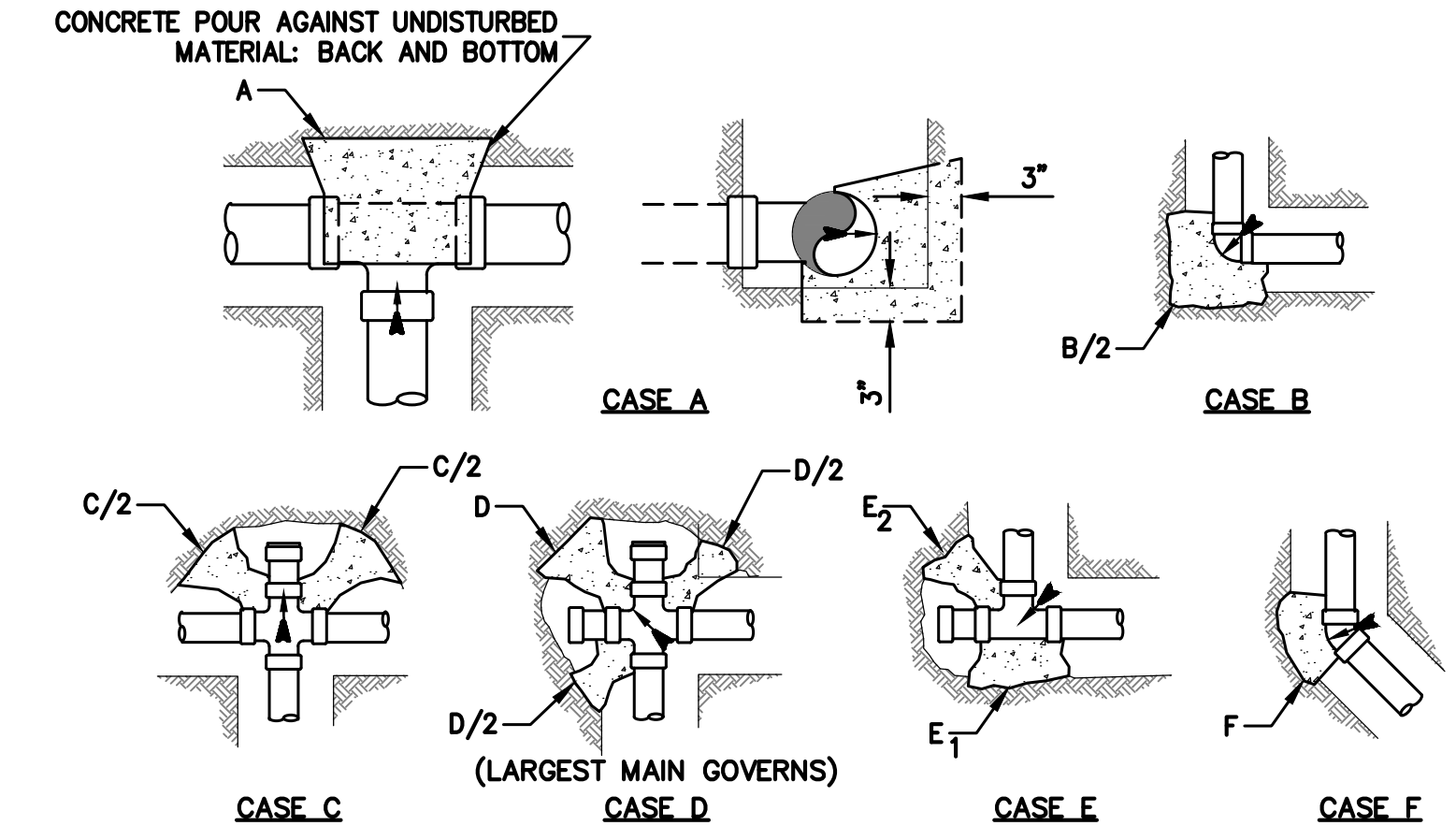
BOX DIMENSIONS

| | A | B | C | D | E | F | G | H | I | APPROX WT. LBS. |
|------------|---------|-----------|---------|---------|--------|--------|----|-----|-----------|-----------------|
| CHRISTY B3 | 19" | 14 13/16" | 16 1/4" | 13 1/4" | 9" | 9 7/8" | 1" | 12" | 10 15/16" | 59 |
| BROOKS #3 | 19 1/8" | 13 1/2" | 16" | 13 1/4" | 7 5/8" | 9 1/2" | 1" | 11" | N.A. | 68 |

7 TYPICAL SEWER CLEANOUT BOX
C-6.0 NTS



8 ON-SITE CLEANOUT
C-6.0 NTS



NOTES:

- CASE "A" IS TYPICAL FOR ALL.
- ALL BLOCKS TO BE KEPT CLEAR OF LUGS.
- UNSUPPORTED SURFACES TO BE FORMED.
- ARROWS ON CASE "A", "C" & "E" INDICATE MAINS WHICH DETERMINE BEARING AREA.
- BASED ON 150 PSI PRESSURE, 1,000 PSF SOIL BEARING.
- CONCRETE SHALL BE CLASS B PER STANDARD SPECIFICATIONS.

| | A | B | C | D | E ₁ | E ₂ | F |
|-----|----|----|----|----|----------------|----------------|----|
| 4" | 2 | 3 | 3 | 3 | 2 | 3 | 2 |
| 6" | 5 | 6 | 7 | 7 | 5 | 7 | 4 |
| 8" | 8 | 12 | 11 | 11 | 8 | 11 | 6 |
| 10" | 12 | 18 | 17 | 17 | 12 | 17 | 8 |
| 12" | 17 | 24 | 24 | 24 | 17 | 24 | 12 |

9 THRUST BLOCK DETAIL
C-6.0 NTS



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
 DUBLIN, CALIFORNIA
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 SAN JOSE, CALIFORNIA
 (510) 887-4066
 WWW.LEABRAZE.COM

3705 HAVEN AVENUE
 MENLO PARK, CALIFORNIA
 SAN MATEO COUNTY
 APN: 055-170-240

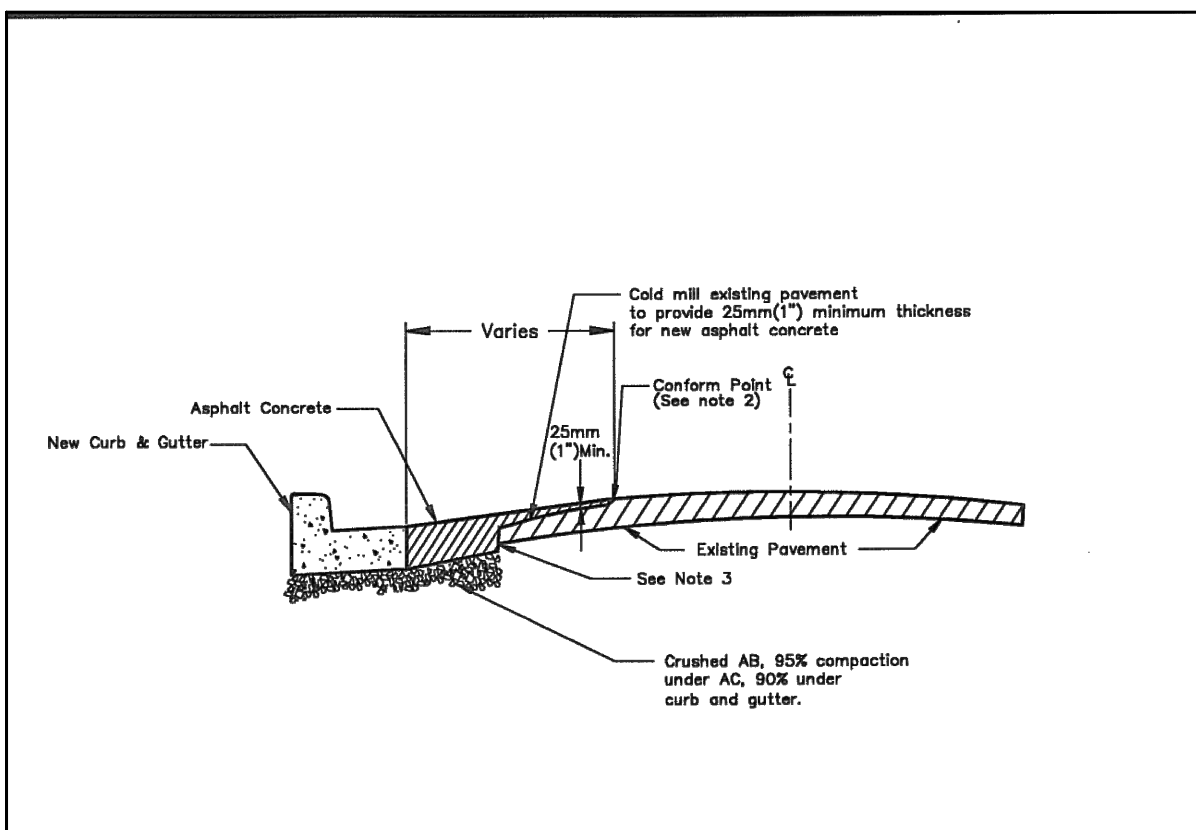
DETAILS

| NO. | DESCRIPTION | DATE | BY |
|-----|-------------|----------|----|
| 9 | COMP REVIEW | 07-16-24 | VA |
| 8 | COMP REVIEW | 05-31-24 | VA |
| 7 | COMP REVIEW | 03-21-24 | VA |
| 6 | C3 PLN CHK | 10-17-23 | VA |
| 5 | C3 PLN CHK | 10-04-23 | VA |

REVISIONS BY

JOB NO: 2220759
 DATE: 11-18-22
 SCALE: NTS
 DESIGN BY: VA
 CHECKED BY: JH/PC
 SHEET NO:





- NOTES:**
1. Tie-in pavement section shall be approved by the City Engineer.
 2. Conform point shall be determined by the City Engineer and may occur anywhere between the edge of pavement and the centerline.
 3. Tie-in asphalt concrete shall extend to at least the bottom of existing asphalt concrete unless otherwise approved by the City Engineer.
 4. Cross section slopes shall be per plans and specifications.
 5. AC mix shall be per plans and specifications.

All units are in metric
Non-metric units in brackets

CITY OF MENLO PARK STANDARD DETAILS

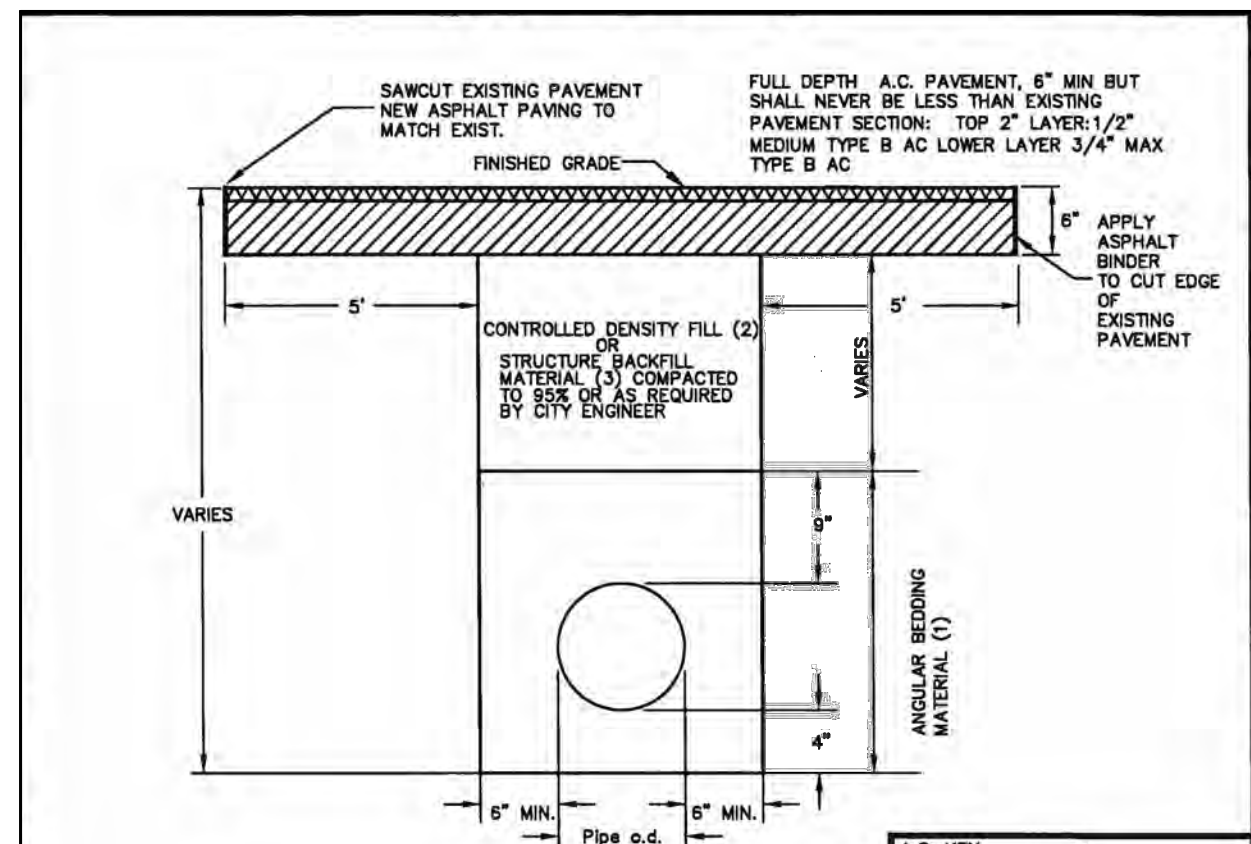
NO. REVISIONS DATE

PAVEMENT TIE-IN

APPROVED: [Signature]

ENGINEERING SERVICES MANAGER, R.C.E. No. 7078

DATE: 1-1-97 SCALE: NTS SHEET: 1 OF 1 STD. DETAIL No.: ST-1



- NOTES:**
1. THE DESIGN MIX FOR ANGLAR BEDDING MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS:
SIEVE SIZE: 1" % PASSING SIEVE: 100
3/4" 90-100
20-30
#4 0-10
#8 0-5
 2. THE DESIGN FOR CDF SHALL MEET THE FOLLOWING REQUIREMENTS:
CEMENT 50-100 LB/CU.YD
FLY ASH CLASS F 10-2000 LB/CU.YD
FINE AGGREGATE 2800-3100 LB/CU.YD
WATER 325-580 LB/CU.YD
STRENGTH 800 LB DAY 30-100 PSI
NOT LESS THAN 20 AND SIEVE GRADATION BY WEIGHT AS FOLLOWS:
SIEVE SIZE: 100 % PASSING SIEVE: 100
NO. 4 35-100
NO. 10 20-100
 3. STRUCTURE BACKFILL MATERIAL: MATERIAL WITH SAND EQUIVALENT NOT LESS THAN 20 AND SIEVE GRADATION BY WEIGHT AS FOLLOWS:
SIEVE SIZE: 100 % PASSING SIEVE: 100
NO. 4 35-100
NO. 10 20-100
 4. BACKFILL MATERIAL FOR LANDSCAPED AREAS: MATERIAL FROM EXCAVATION FREE FROM STONES OR LUMPS EXCEEDING 3". ORGANIC MATTER OR OTHER UNSATISFACTORY MATERIAL.
 5. CONTRACTOR OR UTILITY OWNER TO PAY FOR ALL REQUIRED COMPACTION TESTS.
 6. FOR ALL TRENCHING IN THE STREET RIGHT OF WAY, THE CONTRACTOR SHALL PLACE SLURRY SEAL TO CONFORM TO CITY STANDARD ST-16.
 7. FINISHED GRADE TO MATCH EXISTING.
 8. SAND MATERIAL FREE FROM ORGANIC MATTER AND CLAY WITH A SIEVE GRADATION BY WEIGHT AS FOLLOWS:
SIEVE SIZE: 100 % PASSING SIEVE: 100
NO. 4 35-100
NO. 10 20-100
 9. CUT EDGE OF EXISTING PAVEMENT SHALL NOT BE WITHIN THE WHEELTRACK. SEE ST-99 FOR WHEEL TRACK DIAGRAM.

CITY OF MENLO PARK STANDARD DETAILS

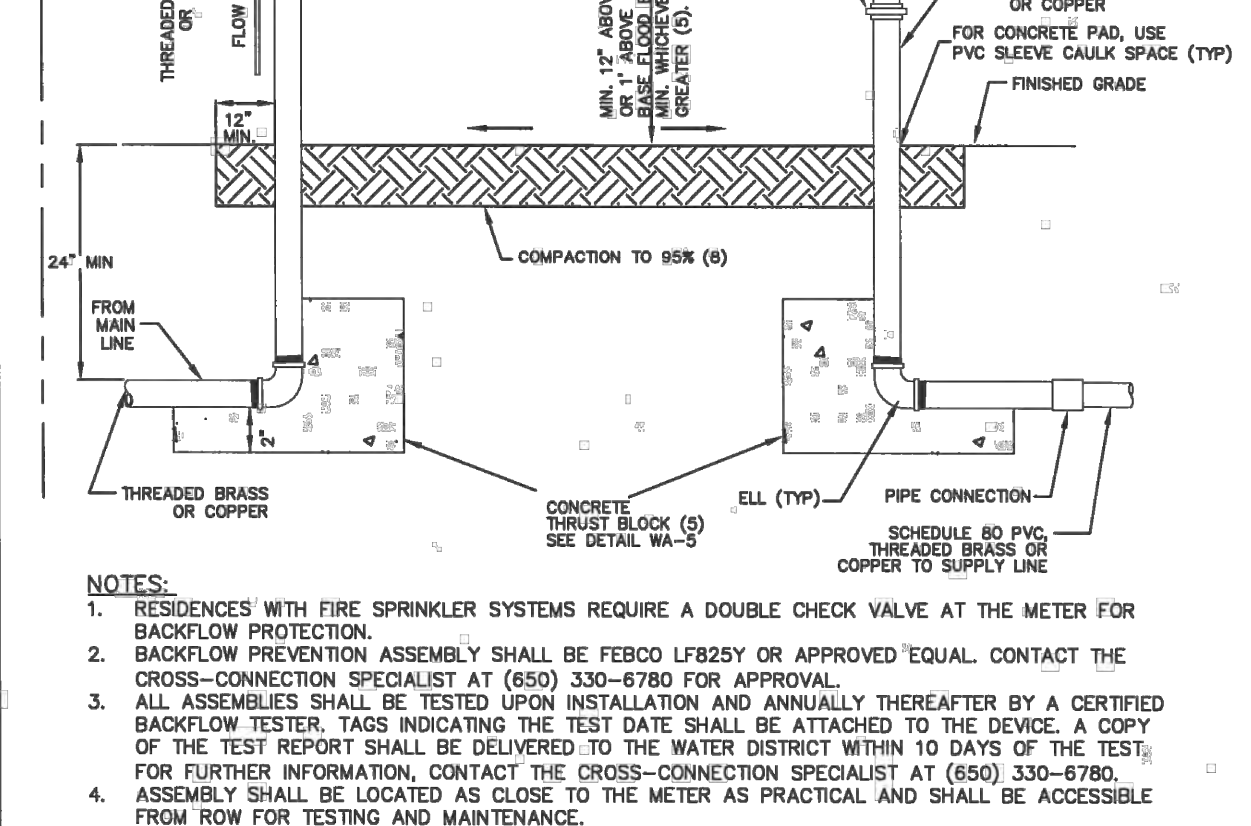
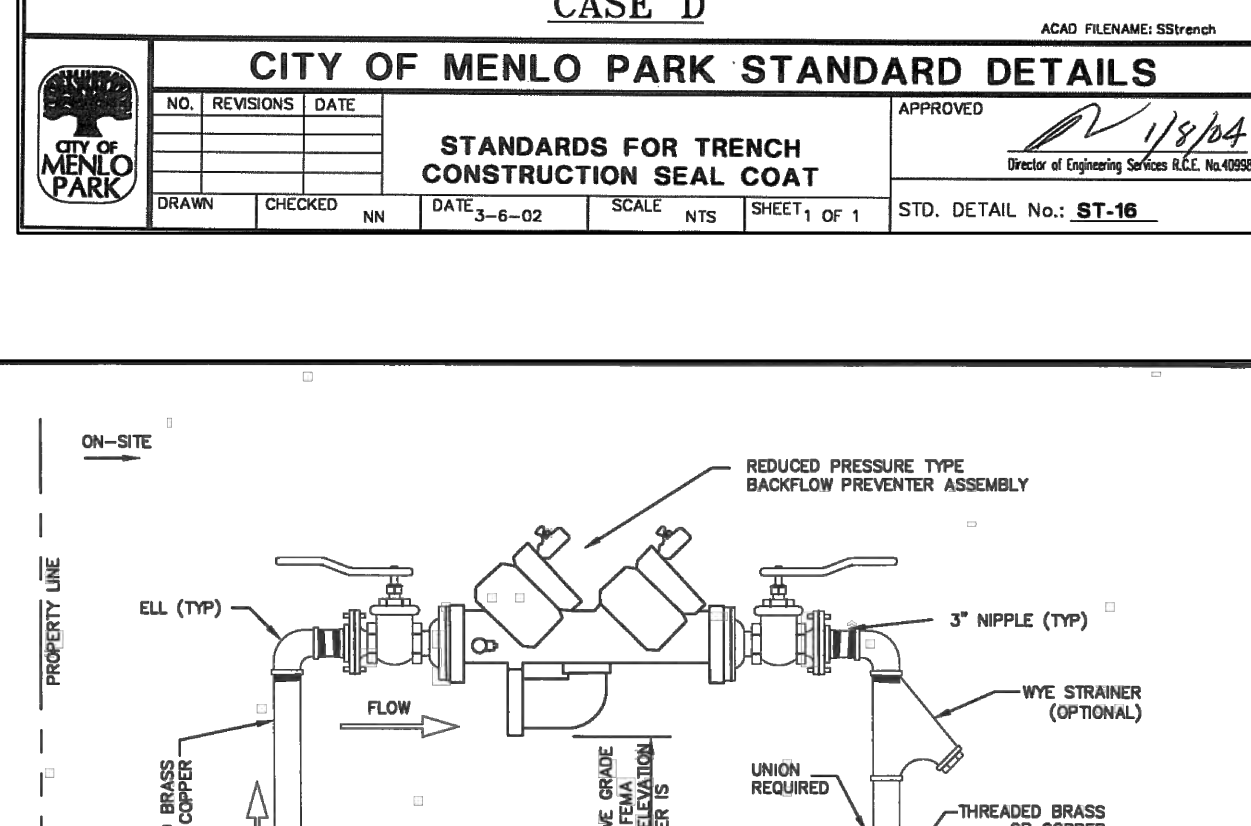
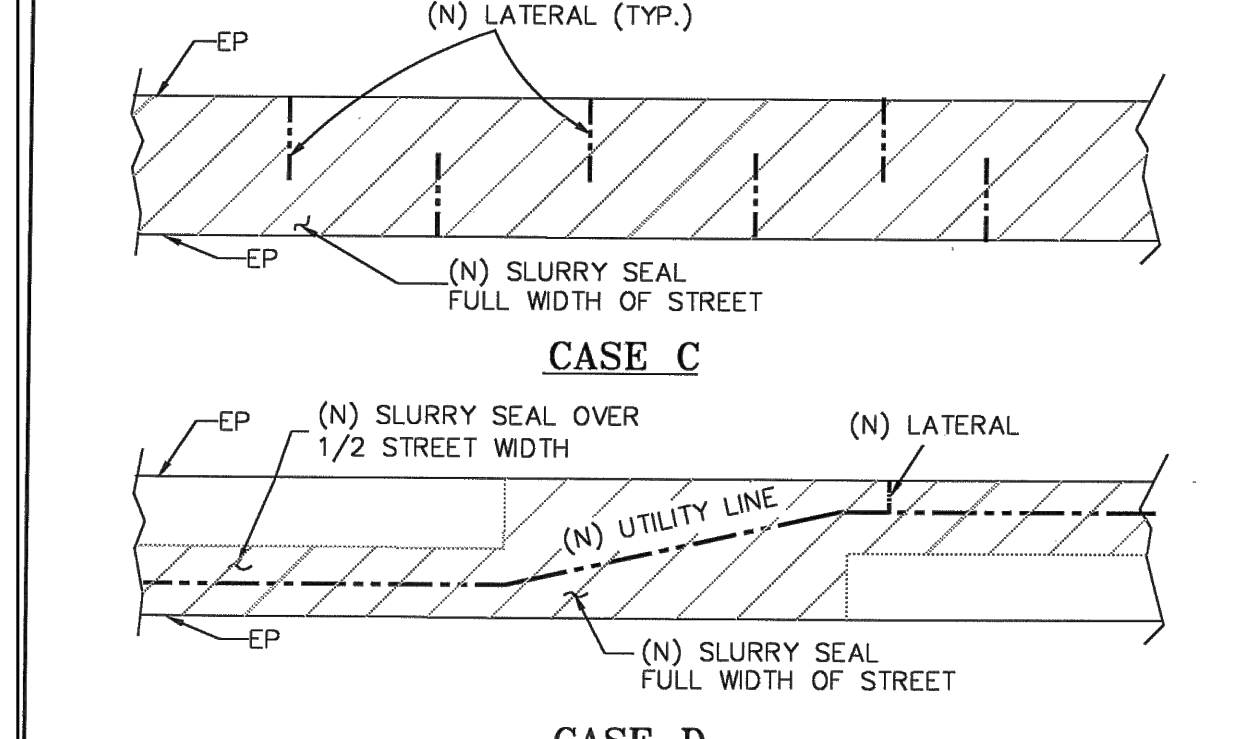
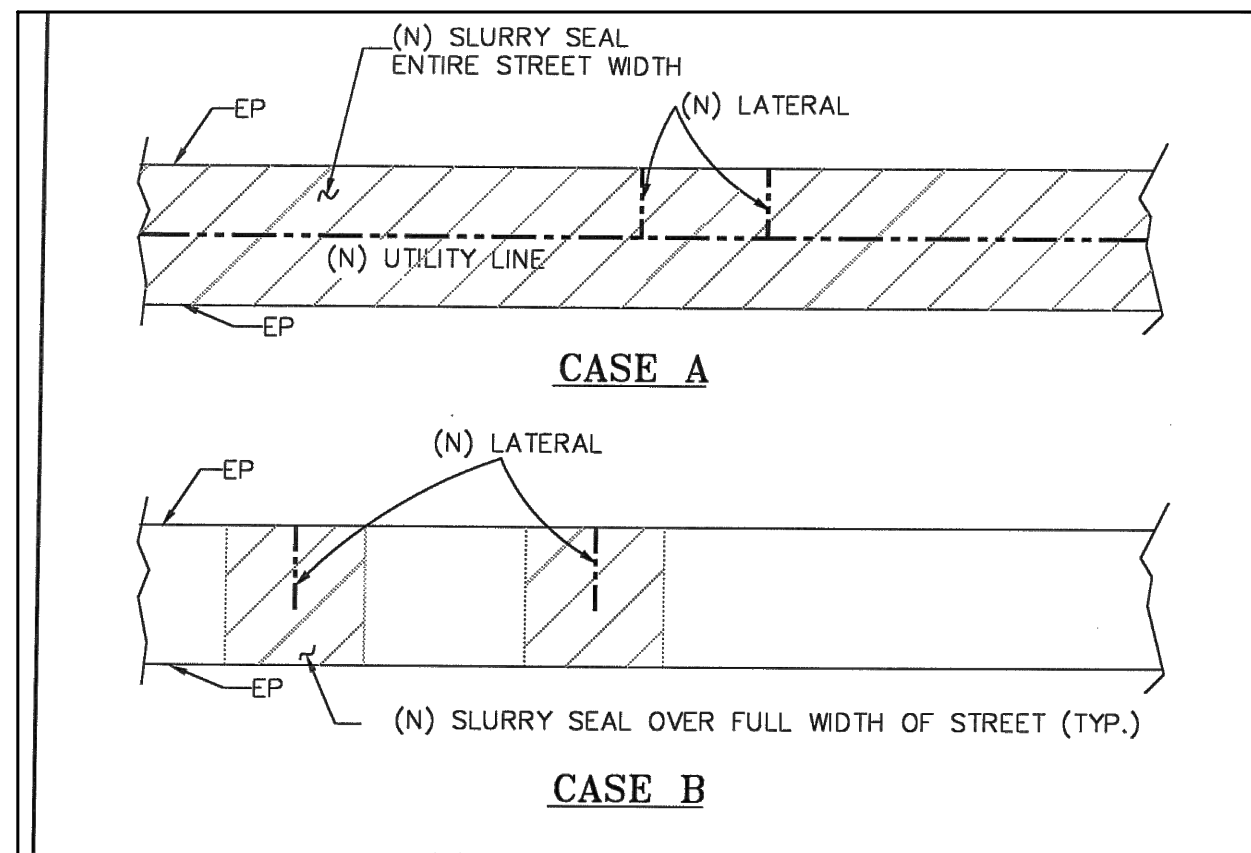
NO. REVISIONS DATE

UTILITY TRENCH

APPROVED: [Signature]

ENGINEERING SERVICES MANAGER, R.C.E. No. 7078

DATE: 5/21/12 SCALE: NTS SHEET: 1 OF 1 STD. DETAIL No.: ST-8A



CITY OF MENLO PARK STANDARD DETAILS

NO. REVISIONS DATE

STANDARDS FOR TRENCH CONSTRUCTION SEAL COAT

APPROVED: [Signature]

ENGINEERING SERVICES MANAGER, R.C.E. No. 7078

DATE: 3-6-02 SCALE: NTS SHEET: 1 OF 1 STD. DETAIL No.: ST-16

- STANDARDS FOR SYSTEM AND ALL SERVICE CONNECTIONS:**
1. NO DIRECT TAP. SERVICE CONNECTION SHALL BE WET TAP ONLY USING DOUBLE STRAPPED BRONZE SADDLE. WORK TO BE PERFORMED BY CONTRACTOR PRE-APPROVED BY THE CITY.
 2. FOR 3/4" AND 1" SERVICES, POLYETHYLENE TUBING (PE 3406) WITH MUELLER INSTA-TITE FITTINGS IS ALLOWED. SEE WA-17.
 3. FOR 3/4" TO 2" SERVICES, TYPE "K" SOFT COPPER TUBING (ASTM B-88-82) IS REQUIRED WITH FLARED OR PACKED JOINT COUPLING OR FLANGED COMPRESSION FITTINGS (NO SOLDERED JOINTS ARE ALLOWED).
 4. FOR 3" AND 4" SERVICES, USE C-900 PIPE WITH MEGALUG MECHANICAL JOINTS (SEE ITEM 8 BELOW) OR DUCTILE IRON PIPE WITH MECHANICAL OR FLANGED JOINTS. NO PUSH ON JOINTS ALLOWED. SEE WA-22.
 5. FOR FIRE SERVICE AND HYDRANT CONNECTIONS, CONTACT MENLO PARK FIRE PROTECTION DISTRICT FOR UNDERGROUND STANDARDS AND APPROVAL OF ONSITE DESIGN. SEE WA-6.
 6. RESURFACING AND BACKFILL IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF MENLO PARK STANDARD DETAILS ST-8A, ST-9B, AND ST-16 OR AS DIRECTED BY ENGINEERING SERVICE MANAGER.
 7. USE FUSION EPOXY COATED (EXTERIOR AND INTERIOR) MUELLER FULL BODIED TAPPING SLEEVE #H-616. USE STAINLESS STEEL BOLTS, TRIM, AND SLEEVES. FOR AC PIPES USE STAINLESS STEEL SLEEVES.
 8. ALL BURIED FERROUS (IRON) FITTINGS AND VALVES SHALL BE FUSION EPOXY COATED (EXTERIOR AND INTERIOR) AND WRAPPED WITH SINGLE LAYER OF 8 MIL POLYETHYLENE COVERING, WITH ENDS TAPED.
 9. JOINTS SHALL BE MECHANICAL, FLANGED OR FLEX (NO PUSH ON JOINTS ALLOWED), JOINTS SHALL BE FUSION EPOXY COATED (EXTERIOR AND INTERIOR).
 10. 2" NUT MUELLER A-2360 RESILIENT WEDGE GATE VALVES SHALL BE FUSION EPOXY COATED (EXTERIOR AND INTERIOR).

- SPECIFIC STANDARDS FOR AREAS NORTH AND EAST (BAY SIDE) OF HIGHWAY 101 (CORROSIVE SOIL CONDITIONS):**
11. USE # 316 STAINLESS STEEL BOLTS, TRIM, AND SLEEVES, BOTH ABOVE AND BELOW GRADE.
 12. USE C-900, OR APPROVED EQUAL PVC (POLYVINYL CHLORIDE) PIPE, WITH #8 BLUE LOCATOR WIRE, SINGLE LENGTH WITH INSULATION INTACT.

- SPECIFIC STANDARDS FOR AREAS SOUTH AND WEST (UP-HILL SIDE) OF HIGHWAY 101:**
13. USE #304 STAINLESS STEEL BOLTS, TRIM, AND SLEEVES BOTH ABOVE AND BELOW GRADE.
 14. USE DUCTILE IRON PIPE, WITH SINGLE LAYER OF 8 MIL POLYETHYLENE COVERING. (SEE CALIFORNIA CODE OF REGULATIONS, TITLE 22, § 64622 FOR MATERIAL STANDARDS).
 15. MASTIC COATING WITH DOUBLE WRAPPED 8 MIL POLYETHYLENE COVERING MAY BE USED UPON APPROVAL OF ENGINEERING SERVICE MANAGER.

CITY OF MENLO PARK STANDARD DETAILS

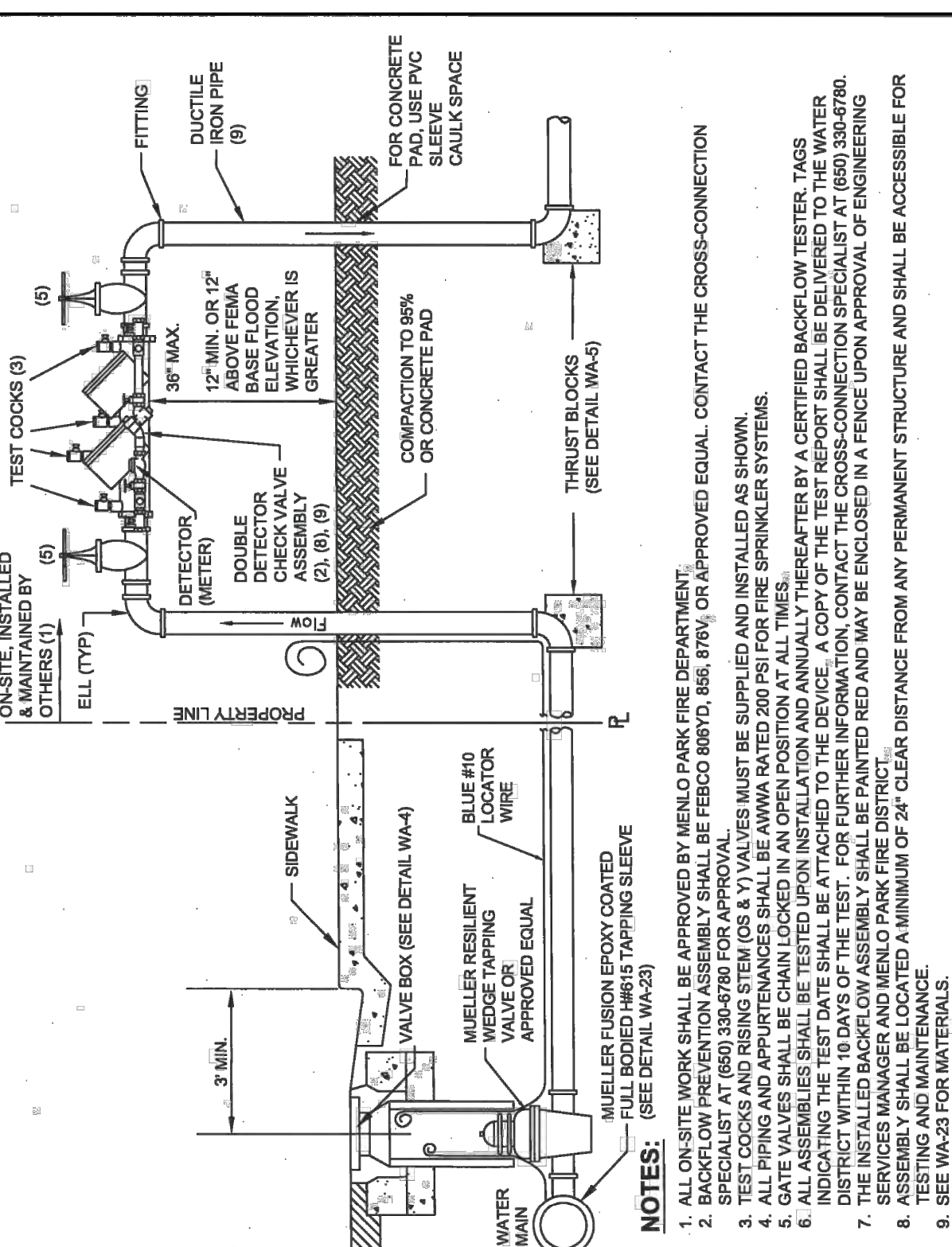
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WATER SERVICE AND SYSTEM STANDARDS

APPROVED: [Signature]

ENGINEERING SERVICES MANAGER, R.C.E. No. 7078

DATE: 2/14/12 SCALE: NTS SHEET: 1 OF 1 STD. DETAIL No.: WA-23



CITY OF MENLO PARK STANDARD DETAILS

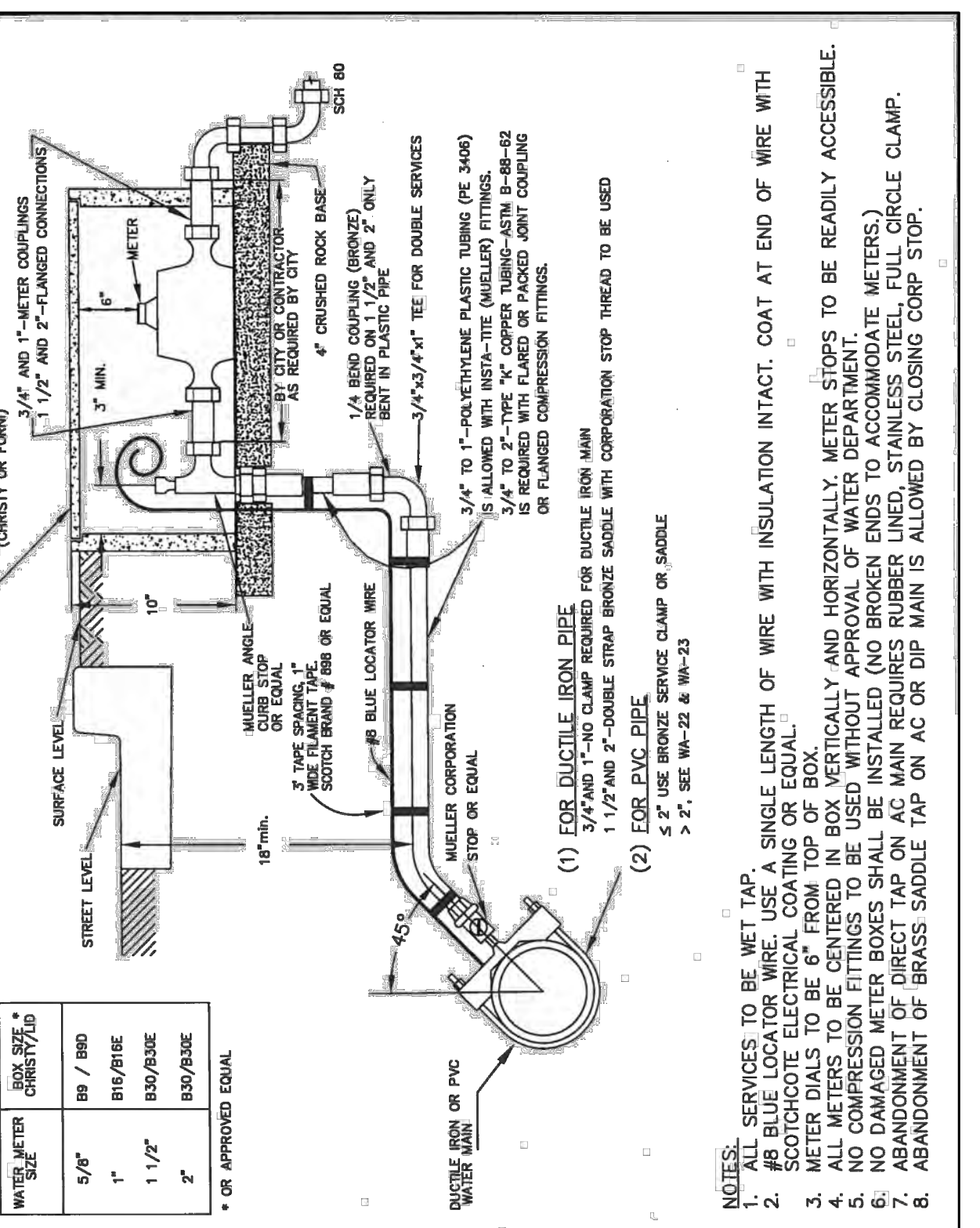
NO. REVISIONS DATE

BACKFLOW PREVENTION INSTALLATION FOR ON-SITE FIRE SERVICE

APPROVED: [Signature]

ENGINEERING SERVICES MANAGER, R.C.E. No. 7078

DATE: 2/14/12 SCALE: NTS SHEET: 1 OF 1 STD. DETAIL No.: WA-6



CITY OF MENLO PARK STANDARD DETAILS

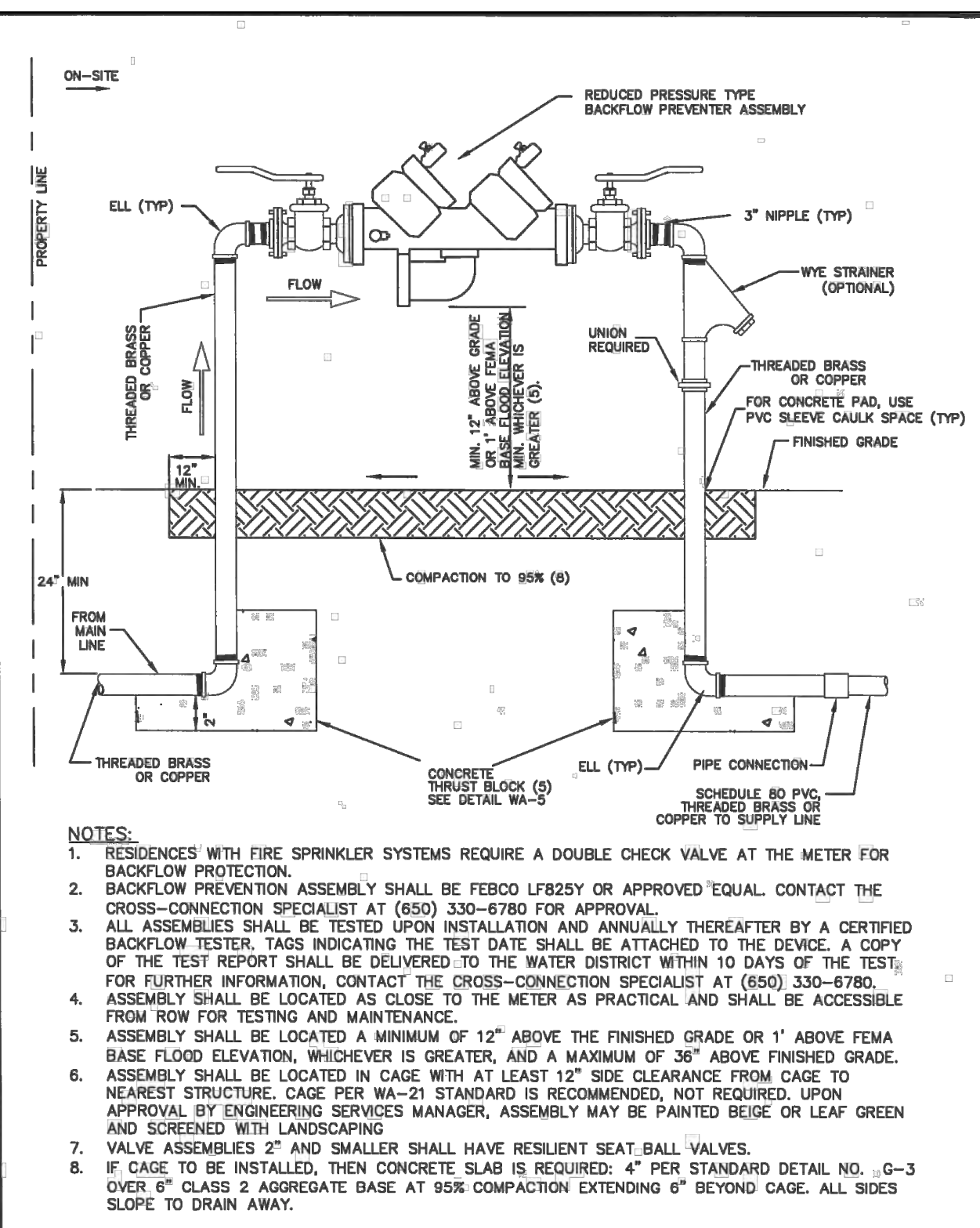
NO. REVISIONS DATE

1", 1 1/2" AND 2" STANDARD WATER SERVICE

APPROVED: [Signature]

ENGINEERING SERVICES MANAGER, R.C.E. No. 7078

DATE: 5/21/12 SCALE: NTS SHEET: 1 OF 1 STD. DETAIL No.: WA-17



CITY OF MENLO PARK STANDARD DETAILS

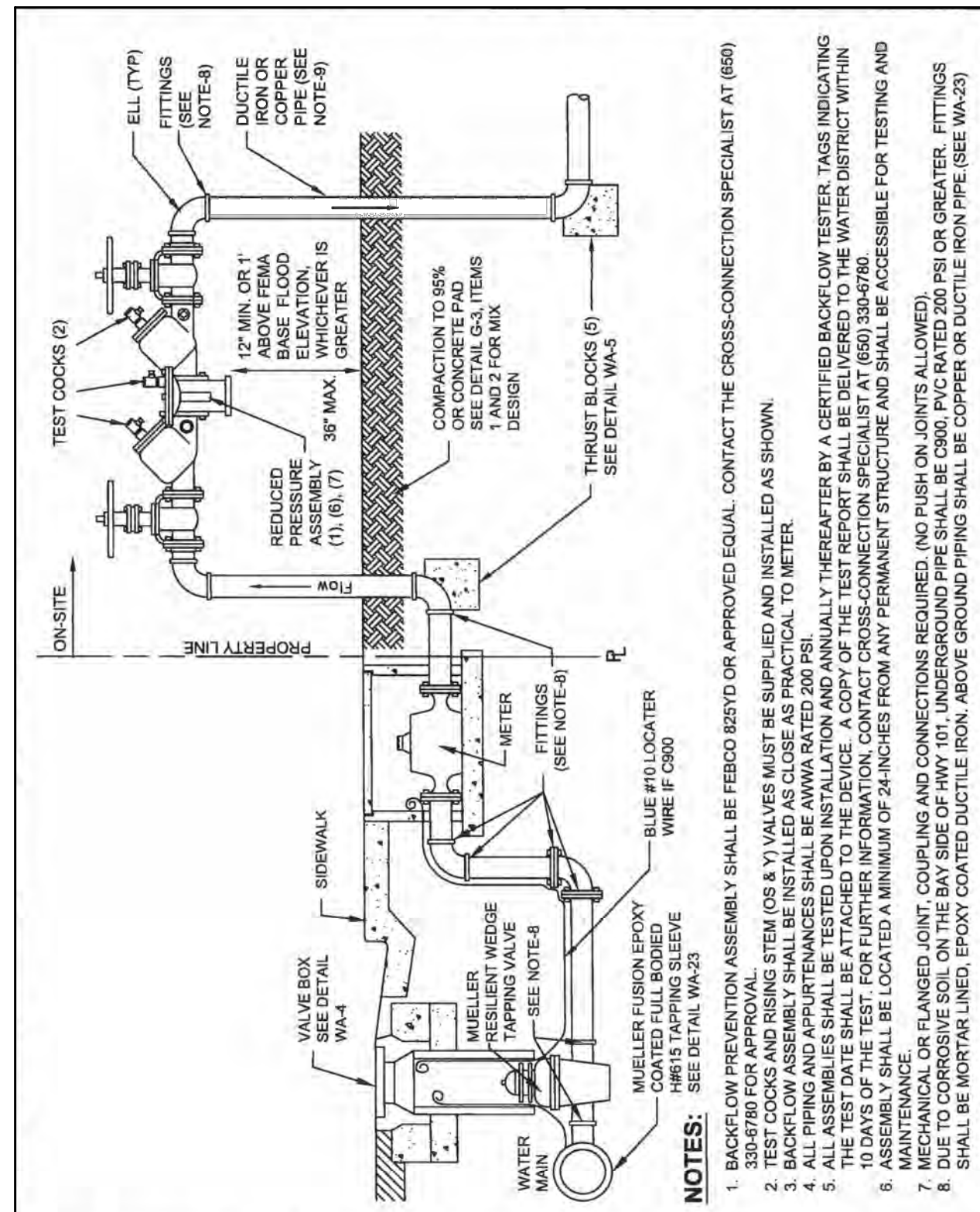
NO. REVISIONS DATE

BACKFLOW PREVENTION ASSEMBLY INSTALLATION AT THE METER FOR 2" AND SMALLER

APPROVED: [Signature]

ENGINEERING SERVICES MANAGER, R.C.E. No. 7078

DATE: 2/14/12 SCALE: NTS SHEET: 1 OF 1 STD. DETAIL No.: WA-20



CITY OF MENLO PARK STANDARD DETAILS

NO. REVISIONS DATE

2" AND LARGER BACKFLOW PREVENTION ASSEMBLY

APPROVED: [Signature]

ENGINEERING SERVICES MANAGER, R.C.E. No. 7078

DATE: 2/14/2012 SCALE: NTS SHEET: 1 OF 1 STD. DETAIL No.: WA-24



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MENLO PARK, CALIFORNIA
APN: 055-170-240
SAN MATEO COUNTY

CITY DETAILS

| NO. | REVISIONS | BY |
|-----|-----------|----|
| 9 | 07-16-24 | VA |
| 8 | 05-31-24 | VA |
| 7 | 03-21-24 | VA |
| 6 | 10-17-23 | VA |
| 5 | 10-04-23 | VA |

JOB NO: 2220759
DATE: 11-18-22
SCALE: NTS
DESIGN BY: VA
CHECKED BY: JH/PC
SHEET NO:

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15 THROUGH APRIL 15, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

EROSION CONTROL NOTES CONTINUED:

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

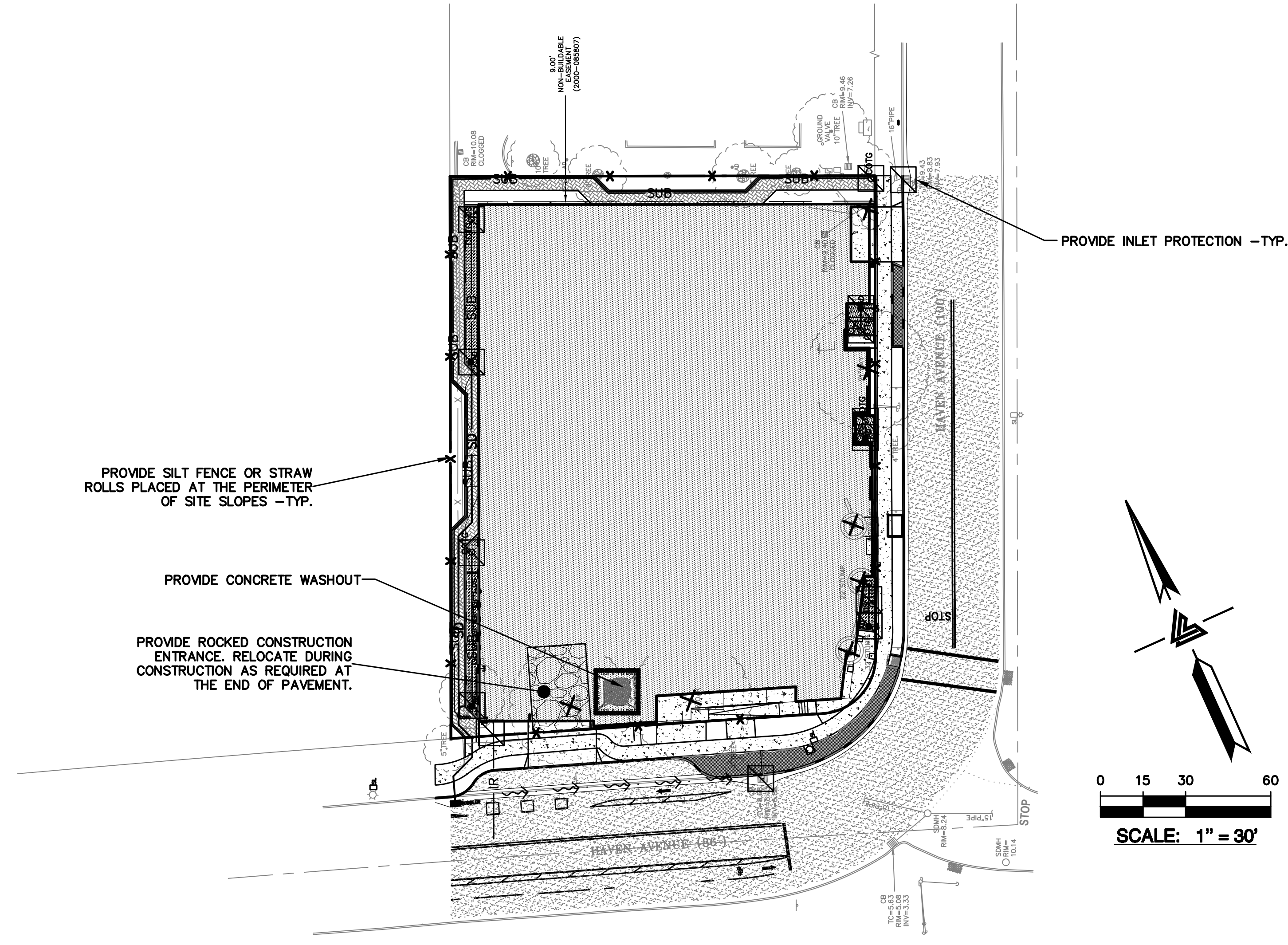
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURERS SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

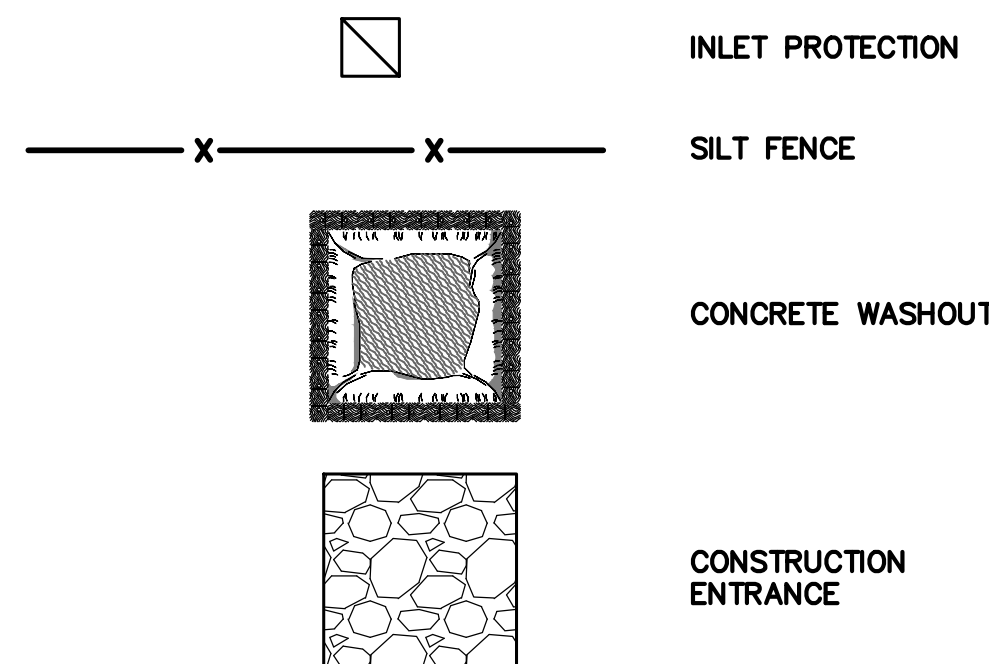
- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1" FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION



EROSION CONTROL LEGEND



NOTE:
SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP



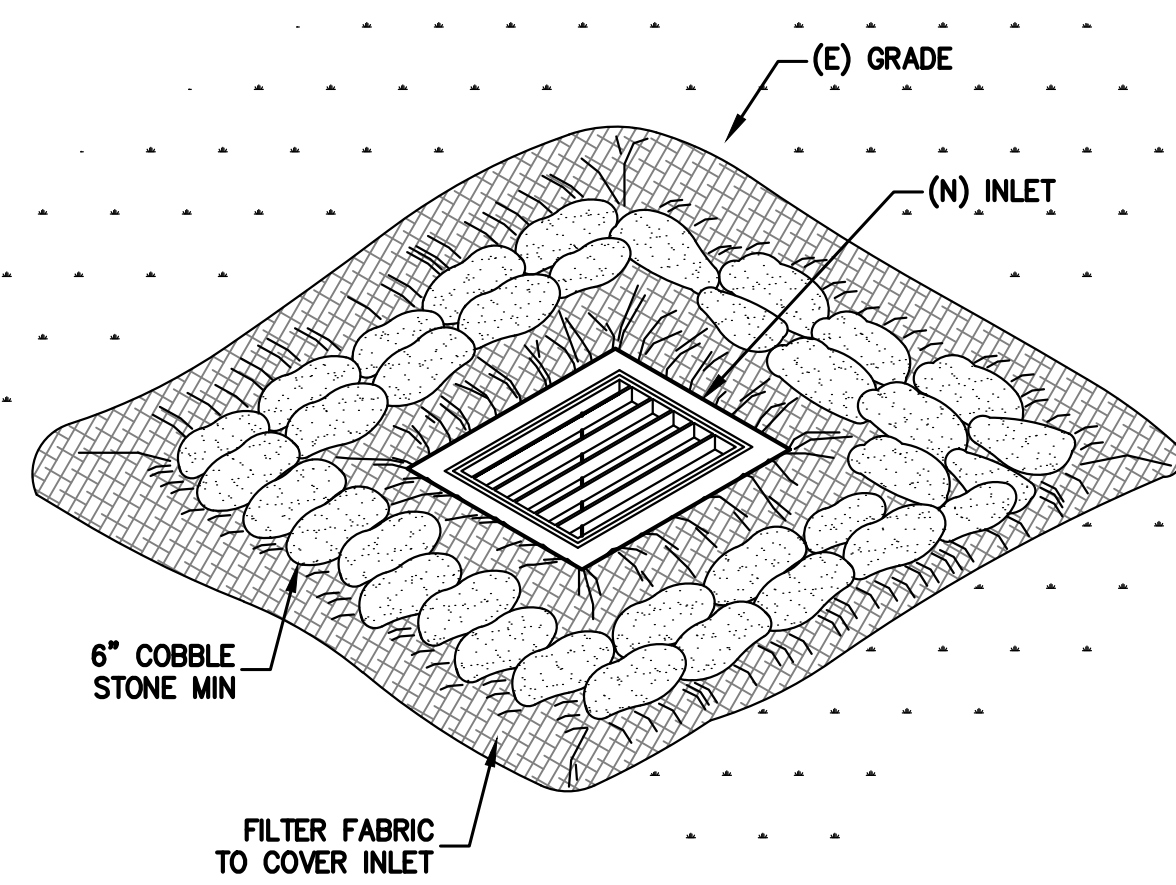
LEA & BRAZE ENGINEERING, INC.
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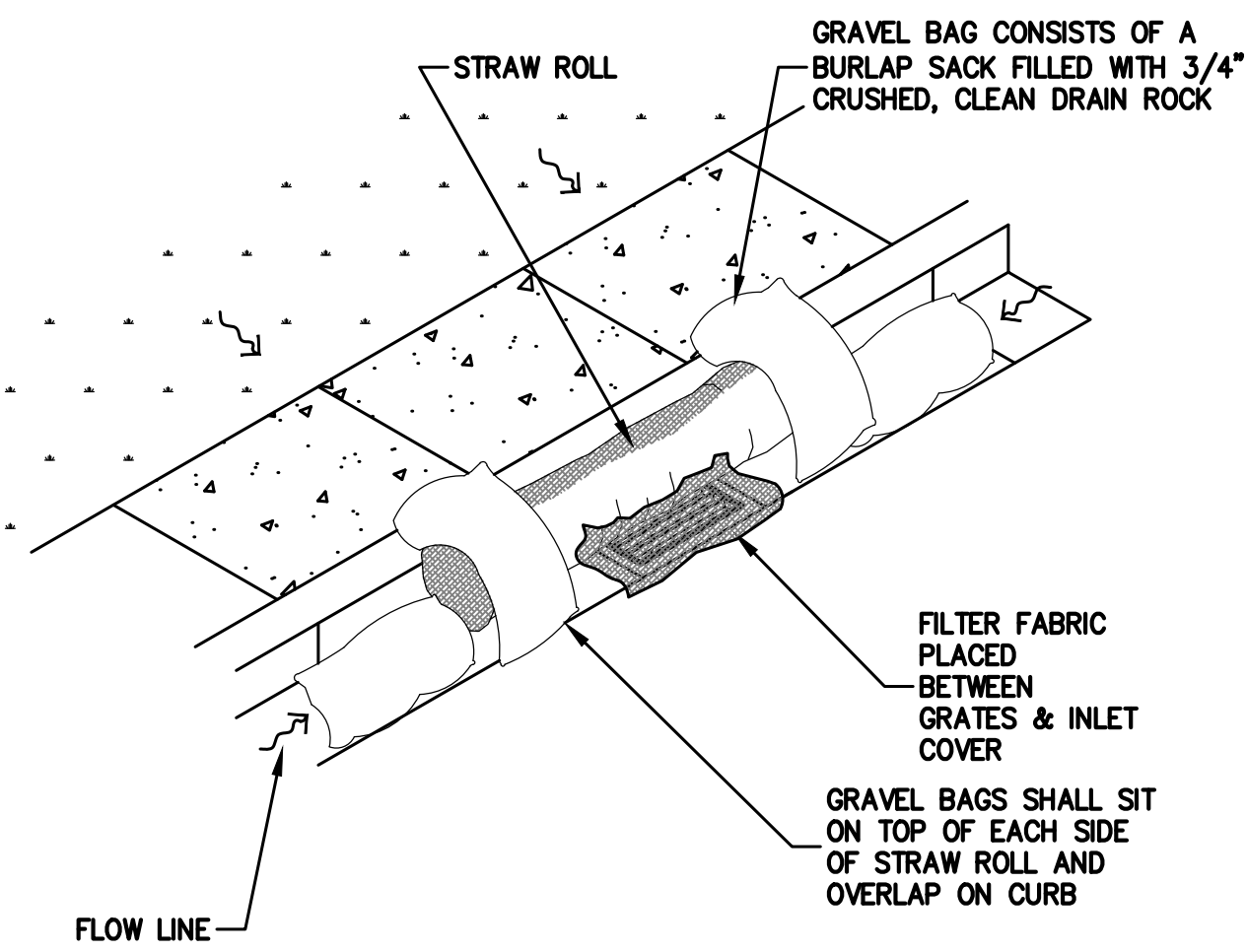
EROSION CONTROL PLAN

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| 9 | COMP REVIEW | VA |
| 8 | 07-16-24 | VA |
| 8 | 05-31-24 | VA |
| 7 | COMP REVIEW | VA |
| 6 | 03-21-24 | VA |
| 6 | C3 PLAN CHK | VA |
| 6 | 10-17-23 | VA |
| 5 | C3 PLAN CHK | VA |
| 5 | 10-04-23 | VA |
| | REVISIONS | BY |

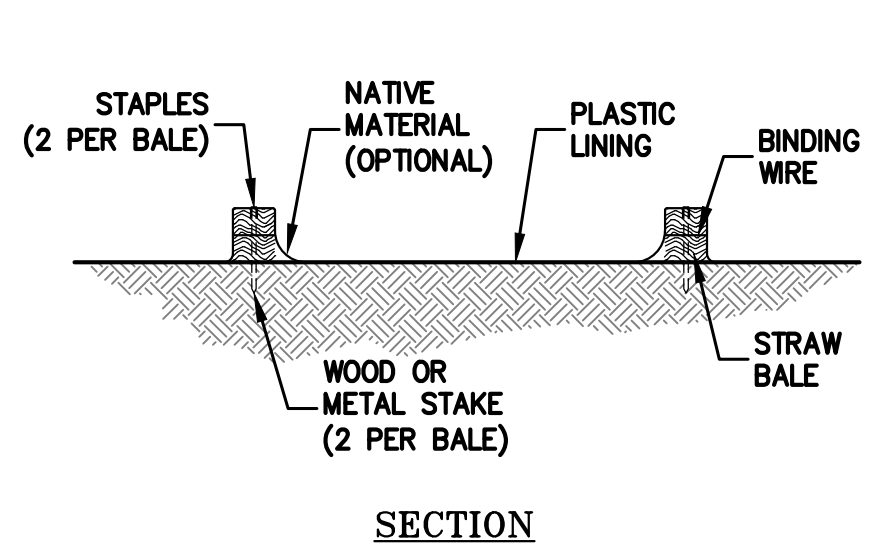
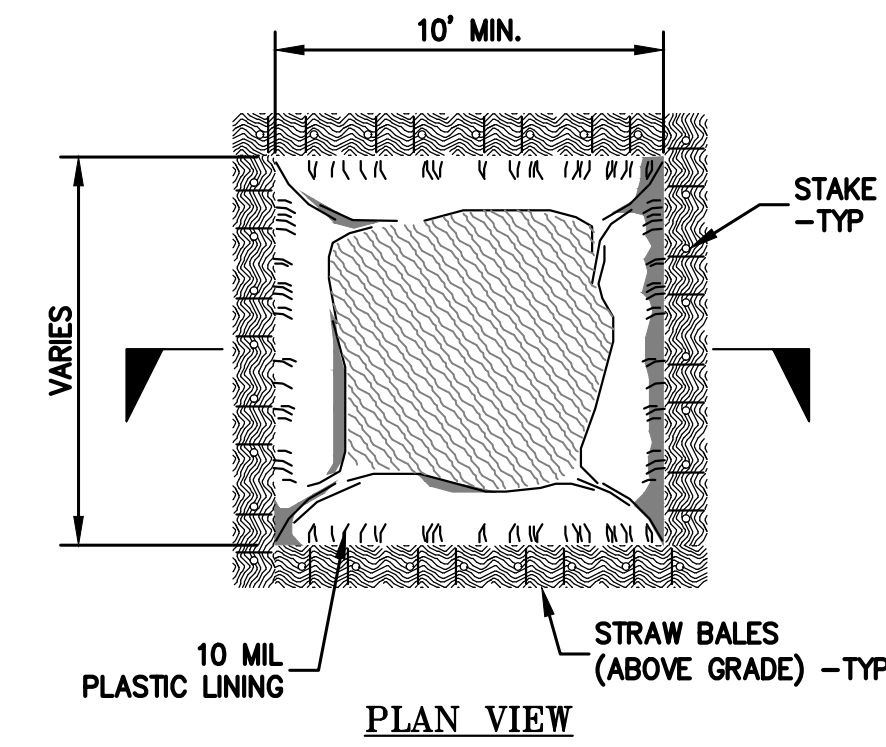
JOB NO: 2220759
DATE: 11-18-22
SCALE: AS NOTED
DESIGN BY: VA
CHECKED BY: JH/PC
SHEET NO:



1 INLET PROTECTION
ER-2 NTS

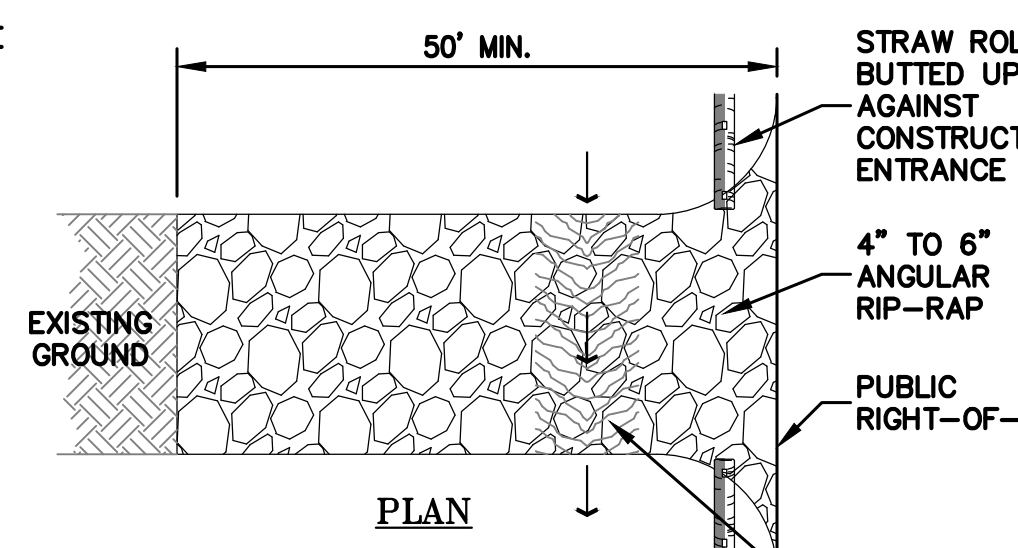
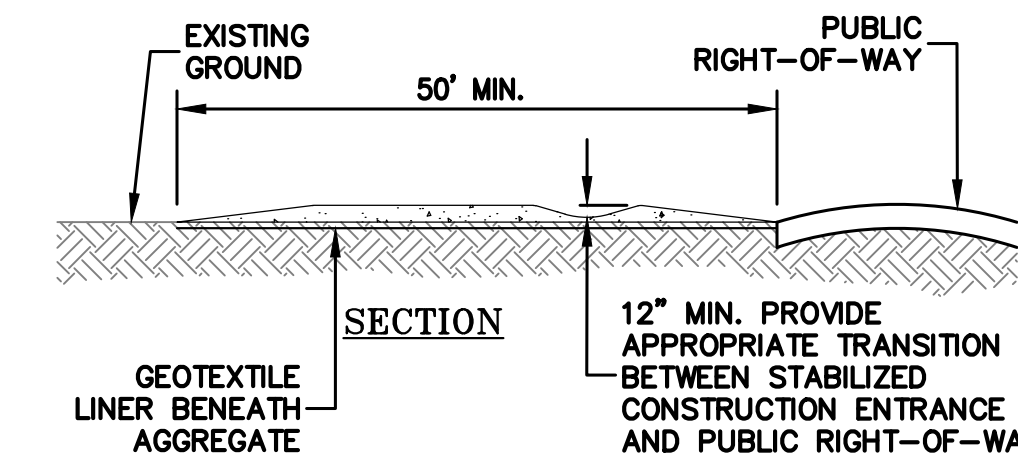


2 STREET INLET PROTECTION
ER-2 NTS



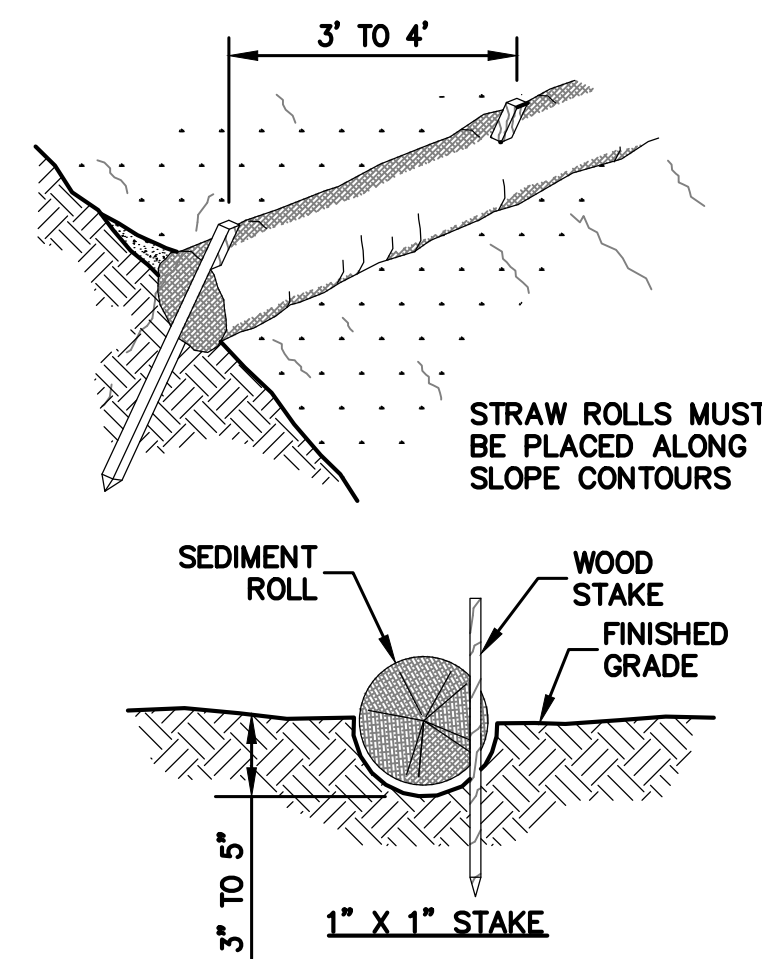
3 CONCRETE WASHOUT
ER-2 NTS

NOTES:
ACTUAL LAYOUT DETERMINED IN FIELD.
THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 10' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



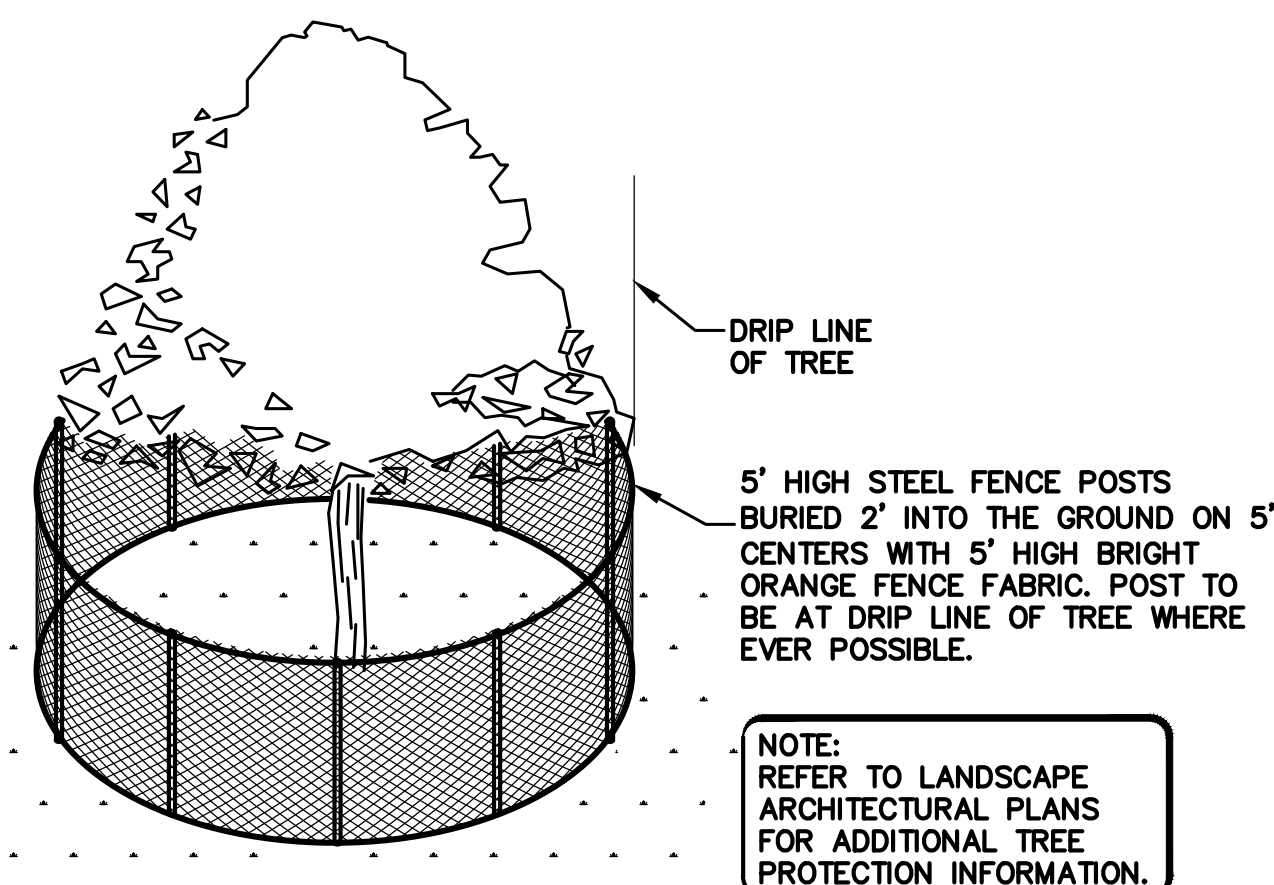
4 CONSTRUCTION ENTRANCE
ER-2 NTS

NOTES:
STABILIZED CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED OF 3" TO 4" WASHED, FRACTURED STONE AGGREGATE.
MATERIAL SHALL BE PLACED TO A MINIMUM THICKNESS OF 12". LENGTH OF ENTRANCE SHALL BE A MINIMUM OF 50'.
WIDTH SHALL BE A MIN. OF 15' OR GREATER IF NECESSARY TO COVER ALL VEHICULAR INGRESS AND EGRESS. PROVIDE AMPLE TURNING RADIUS.
THE ENTRANCE SHALL BE KEPT IN GOOD CONDITION BY OCCASIONAL TOP DRESSING WITH MATERIAL AS SPECIFIED IN ABOVE NOTE.
ACCESSES SHALL BE INSPECTED WEEKLY DURING PERIODS OF HEAVY USAGE, MONTHLY DURING NORMAL USAGE, AND AFTER EACH RAINFALL, WITH MAINTENANCE PROVIDED AS NECESSARY.
PERIODIC TOP DRESSING SHALL BE DONE AS NEEDED.



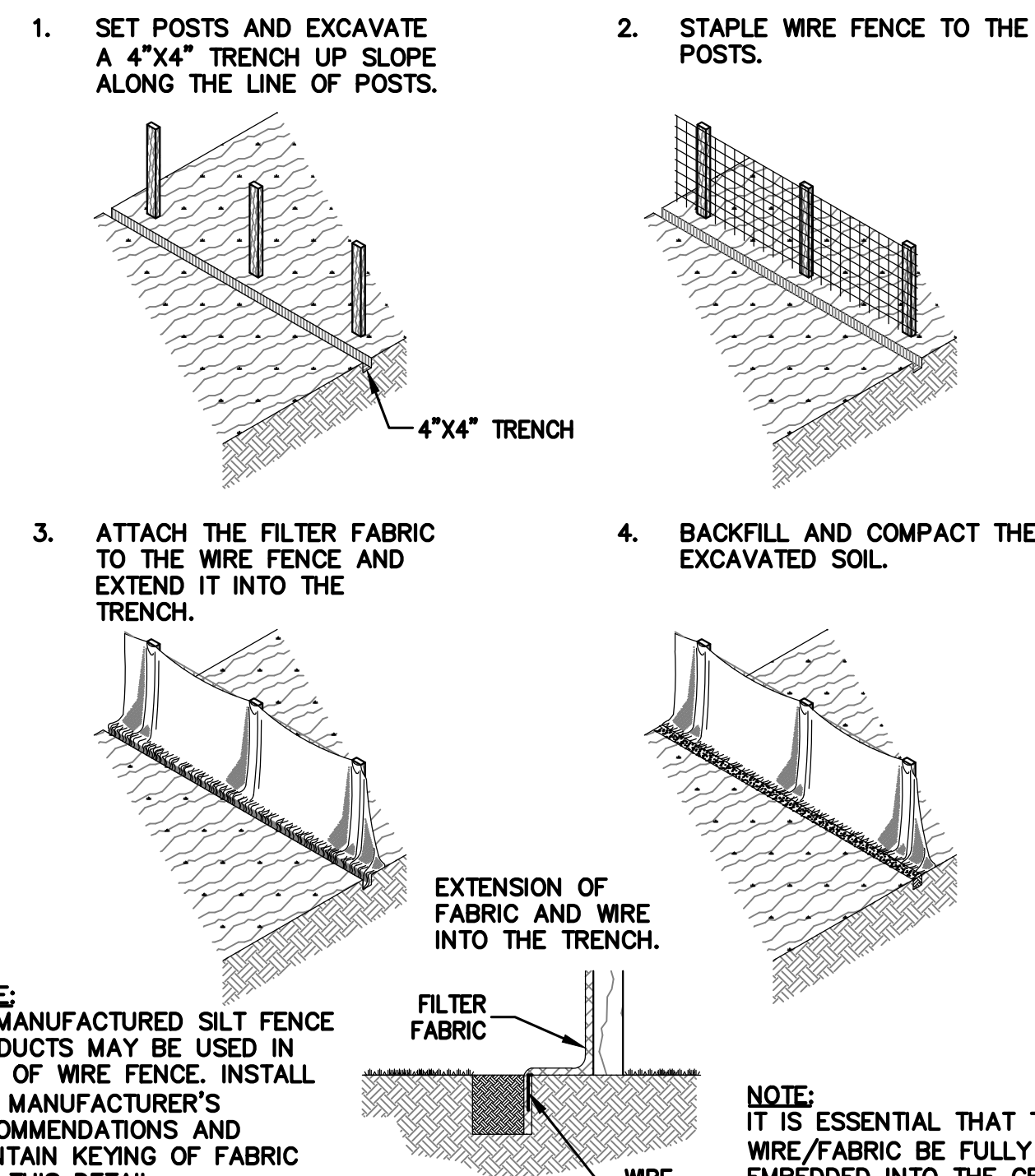
5 STRAW ROLLS FLAT LOT
ER-2 NTS

NOTE:
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 5" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
2. CONTRACTOR IS RESPONSIBLE FOR REGULAR MAINTENANCE AND INSPECTION. THE SILT SHALL BE CLEANED OUT WHEN IT REACHES HALF THE HEIGHT OF THE ROLL.



6 EXISTING TREE PROTECTION DETAIL
ER-2 NTS

NOTE:
REFER TO LANDSCAPE ARCHITECTURAL PLANS FOR ADDITIONAL TREE PROTECTION INFORMATION.
NOTE:
LOCAL JURISDICTION MIGHT HAVE MORE STRINGENT REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING W/ INSPECTOR TO ENSURE PROPER PROCEDURES ARE BEING FOLLOWED.



7 SILT FENCE
ER-2 NTS

NOTE:
PREMANUFACTURED SILT FENCE PRODUCTS MAY BE USED IN LIEU OF WIRE FENCE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND MAINTAIN KEYING OF FABRIC PER THIS DETAIL.

NOTE:
IT IS ESSENTIAL THAT THE WIRE/FABRIC BE FULLY EMBEDDED INTO THE GROUND SO RUN-OFF CANNOT FLOW FREELY UNDER FENCE.



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APN: 055-170-240

SAN MATEO COUNTY

EROSION CONTROL
DETAILS

| NO. | REVISIONS | BY |
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| 9 | COMP REVIEW 07-16-24 | VA |
| 8 | COMP REVIEW 05-31-24 | VA |
| 7 | COMP REVIEW 03-21-24 | VA |
| 6 | C3 PLN CHK 10-17-23 | VA |
| 5 | C3 PLN CHK 10-04-23 | VA |

JOB NO: 2220759

DATE: 11-18-22

SCALE: AS NOTED

DESIGN BY: VA

CHECKED BY: JH/PC

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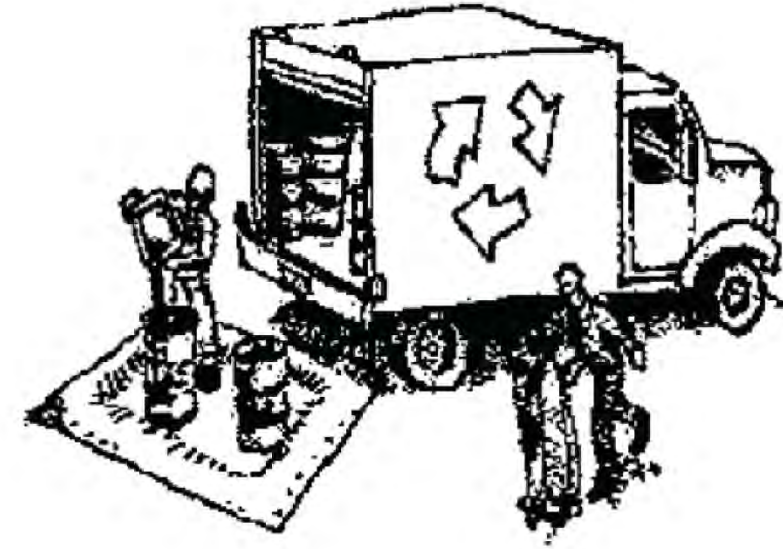
ER-2

20 OF 22 SHEETS

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



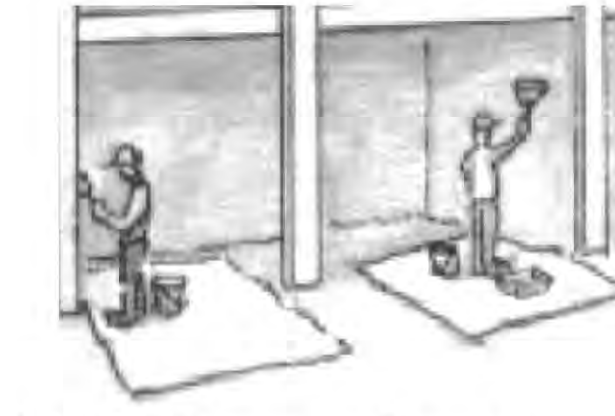
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS | LAND SURVEYORS
REGIONAL OFFICES:
DUBLIN, CA 94568
DUBLIN, CA 94568
SAN JOSE, CA 95128
WWW.LEABRAZE.COM

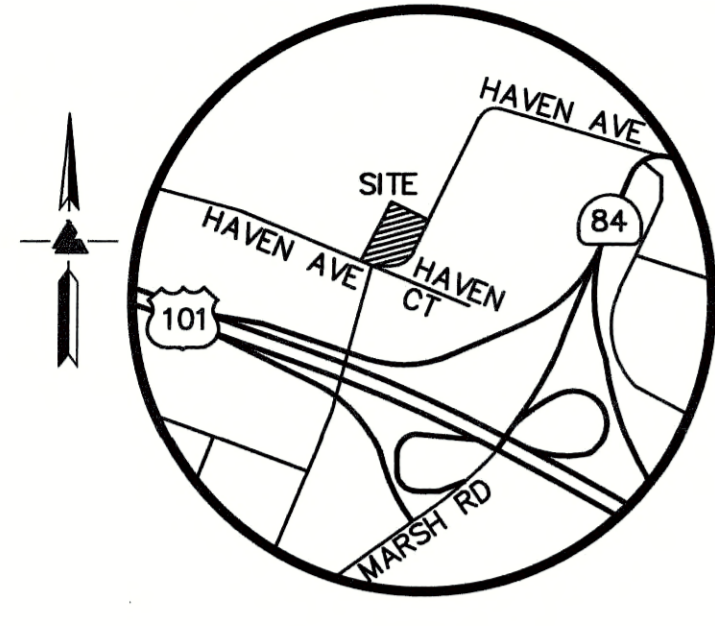
**3705 HAVEN AVENUE
MENLO PARK, CALIFORNIA**

**BEST MANAGEMENT
PRACTICES**

| | | | |
|---|-------------|----------|----|
| 9 | COMP REVIEW | 07-16-24 | VA |
| 8 | COMP REVIEW | 05-31-24 | VA |
| 7 | COMP REVIEW | 03-21-24 | VA |
| 6 | C3 PLN CHK | 10-17-23 | VA |
| 5 | C3 PLN CHK | 10-04-23 | VA |
| | REVISIONS | | BY |

JOB NO: 2220759
DATE: 11-18-22
SCALE: AS NOTED
DESIGN BY: VA
CHECKED BY: JH/PC
SHEET NO:

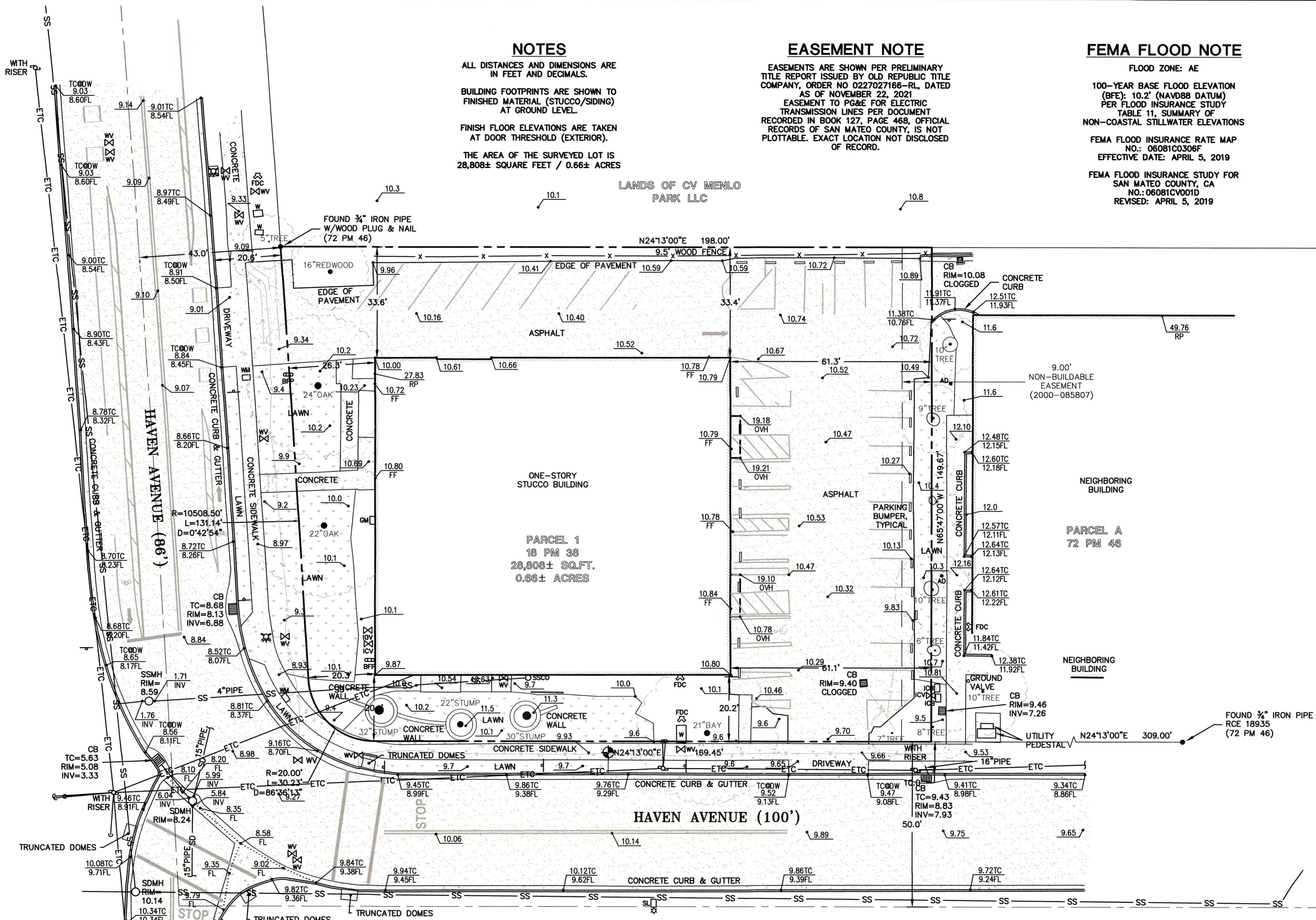
SW-1
21 OF 22 SHEETS



VICINITY MAP
NO SCALE

LEGEND AND NOTES

- BOUNDARY LINE
- - - BUILDING OVERHANG LINE
- ETC ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- - - EASEMENT
- x FENCE LINE
- FLOW LINE
- SS SANITARY SEWER LINE
- SD STORM DRAIN LINE
- C COMMUNICATION LINE (PAINT MARKINGS)
- E ELECTRICAL LINE (PAINT MARKINGS)
- SD STORM DRAIN LINE (PAINT MARKINGS)
- W WATER LINE (PAINT MARKINGS)
- AD ACCESSIBILITY PARKING
- AD AREA DRAIN
- BFP BACK FLOW PREVENTER
- BM BENCHMARK
- CB CATCH BASIN
- DW DRIVEWAY
- FF FINISH FLOOR
- FDC FIRE DEPARTMENT CONNECTION
- FL FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- GUY GUY ANCHOR
- INV INVERT
- ICB IRRIGATION CONTROL BOX
- ICV IRRIGATION CONTROL VALVE
- JP JOINT POLE
- OVH OVERHEAD
- RP ROOF PEAK
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MAINTENANCE HOLE
- SDMH STORM DRAIN MAINTENANCE HOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SS SIGN
- TC TOP OF CURB
- WM WATER METER
- WV WATER VALVE
- W WATER VAULT
- XXX.XX SPOTGRADE
- ASPHALT
- CONCRETE
- LAWN
- RIVER ROCK
- TRUNCATED DOMES



NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
 THE AREA OF THE SURVEYED LOT IS 28,808± SQUARE FEET / 0.66± ACRES

EASEMENT NOTE

EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY OLD REPUBLIC TITLE COMPANY, ORDER NO 0227027166-RL, DATED AS OF NOVEMBER 22, 2021
 EASEMENT TO PG&E FOR ELECTRIC TRANSMISSION LINES PER DOCUMENT RECORDED IN BOOK 127, PAGE 468, OFFICIAL RECORDS OF SAN MATEO COUNTY, IS NOT PLOTTABLE. EXACT LOCATION NOT DISCLOSED OF RECORD.

FEMA FLOOD NOTE

FLOOD ZONE: AE
 100-YEAR BASE FLOOD ELEVATION (BFE): 10.2' (NAVD88 DATUM)
 PER FLOOD INSURANCE STUDY TABLE 11, SUMMARY OF NON-COASTAL STILLWATER ELEVATIONS
 FEMA FLOOD INSURANCE RATE MAP NO.: 06081C0306F
 EFFECTIVE DATE: APRIL 5, 2019
 FEMA FLOOD INSURANCE STUDY FOR SAN MATEO COUNTY, CA NO.: 06081C0001D
 REVISED: APRIL 5, 2019

BENCHMARK

CITY OF MENLO PARK BM3 BRONZE DISK EPOXIED INTO THE TOP OF A CONCRETE CURB OF THE NORTHERLY CURB LINE OF HAVEN AVENUE AT #3585 HAVEN AVENUE AT THE WESTERLY SIDE OF A STORM WATER CATCH BASIN.
 ELEVATION = 8.178'
 (ADJUSTED TO NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT CUT CROSS IN CONCRETE
 ELEVATION = 9.91'
 (ADJUSTED TO NAVD 88 DATUM)

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

TREE NOTE

TREE SIZE, TYPE AND DRUPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

SURVEYOR'S STATEMENT

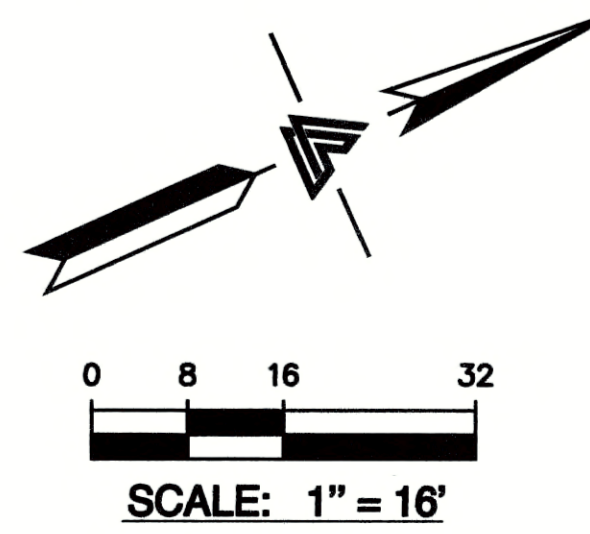
I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

Michael W. Thompson 8-21-23
 MICHAEL W. THOMPSON DATE
 L.S. NO. 9023



BASIS OF BEARINGS

THE BEARING NORTH 24°13'00" EAST ALONG THE WESTERLY RIGHT OF WAY OF HAVEN AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN BOOK 72 OF PARCEL MAPS AT PAGE 46, SAN MATEO COUNTY RECORDS, IS THE BASIS OF ALL BEARINGS SHOWN ON THIS MAP.



3705 HAVEN AVENUE
 MENLO PARK
 CALIFORNIA

BOUNDARY AND
 TOPOGRAPHIC SURVEY

| PLANNING COMMENTS | DB |
|-------------------|----|
| 8-29-23 | |
| REVISIONS | BY |
| JOB NO: 22122996 | |
| DATE: 2-11-22 | |
| SCALE: 1" = 16' | |
| BNDY BY: RM | |
| FIELD BY: BC | |
| DRAWN BY: JN | |
| SHEET NO: | |





- SHEET LIST**
- L-1 OVERALL LANDSCAPE PLAN
 - L-2 LANDSCAPE PLAN - GROUND FLOOR
 - L-3 LANDSCAPE PLAN - PODIUM & ROOFS
 - L-4 TREE REMOVAL & REPLACEMENT PLAN
 - L-5 WELO CHECKLIST, PLANT PALETTE, AND NOTES
 - L-6 LANDSCAPE FRONTAGE CALCULATIONS

LD P
ARCHITECTURE

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LETT
 Landscape Architecture + Design

**3705 HAVEN AVE
 MENLO PARK, CA**

3705 HAVEN AVE
 MENLO PARK, CA

PROJECT NO. 21-07
 PARCEL NO. 055170240

| REV | DATE | DESCRIPTION |
|------------|----------------------------|-------------|
| 04-29-2022 | SB330 PRELIM APPLICATION | |
| 11-17-2022 | PLANNING APPLICATION | |
| 05-12-2023 | PLANNING RESUBMITTAL | |
| 09-01-2023 | PLANNING RESUBMITTAL DRAFT | |
| 09-21-2023 | PLANNING RESUBMITTAL | |

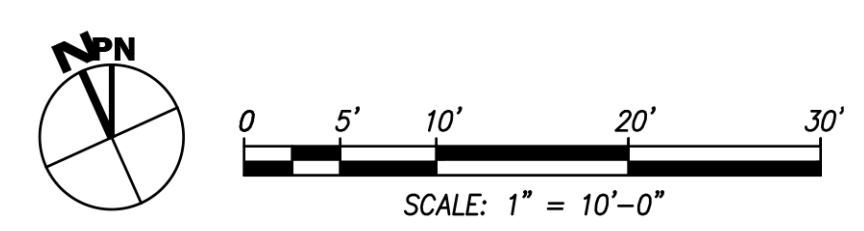
CONTACT:

(415) 777-0561 P
 (415) 777-5117 F

SCALE: 1" = 10'-0"

**OVERALL
 LANDSCAPE PLAN**

L-1





LEGEND

- 1 CLASS II BIKE RACKS, TYP. TOTAL 18 SHORT TERM PARKING SPACES PROVIDED
- 2 UNDERGROUND TRANSFORMER/UTILITY
- 3 BACKFLOWS WITH PLANT SCREENING
- 4 STORMWATER FLOW-THROUGH PLANTER, TYP
- 5 NEW SIDEWALK, SEE CIVIL DRAWINGS
- 6 PUBLICLY ACCESSIBLE OPEN SPACE
- 7 FENCE ALONG PROPERTY LINE
- 8 MAIN ENTRY WITH STAIRCASE
- 9 ACCESSIBLE RAMP
- 10 STAIRS
- 11 SCULPTURAL PRECAST CONCRETE SEATING
- 12 BOLLARD LIGHTS, TYP
- 13 CORNER PLAZA WITH MODULAR STACKED SEATING AND PLANTERS, DECORATIVE PAVERS. BIKE RACKS NEAR THE PLAZA WILL HAVE A UNIQUE DESIGN TO COMPLIMENT THE PLAZA.
- 14 FEATURE GATEWAY WITH LIGHTING
- 15 MURAL OR DECORATIVE ARCHITECTURAL PANEL, TYP. SEE ARCHITECTURAL DRAWINGS AND ELEVATIONS.

NOTE: REFER TO SHEET L-5 FOR PLANT PALETTE AND IMAGERY, IRRIGATION AND PLANTING DESIGN INTENT NOTES.

TREE LEGEND

| BOTANICAL NAME | COMMON NAME | CONT. SIZE |
|------------------------------|-----------------------|--------------|
| A AFROCARPUS GRACILIOR | AFRICAN FERN PINE | 36" BOX SIZE |
| L LAURUS NOBILIS 'SARATOGA' | SARATOGA LAUREL | 36" BOX SIZE |
| C LAGERSTROEMIA X 'MUSKOGEE' | MUSKOGEE CRAPE MYRTLE | 48" BOX SIZE |
| T TILIA TOMENTOSA | SILVER LEAF LINDEN | 48" BOX SIZE |
| EX EXISTING TREE | | |

NOTE: REFER TO SHEET L-4 FOR TREE REMOVAL & REPLACEMENT PLAN.

PUBLICLY ACCESSIBLE OPEN SPACE: WALKWAY VIEWS



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**3705 HAVEN AVE
MENLO PARK, CA**

3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

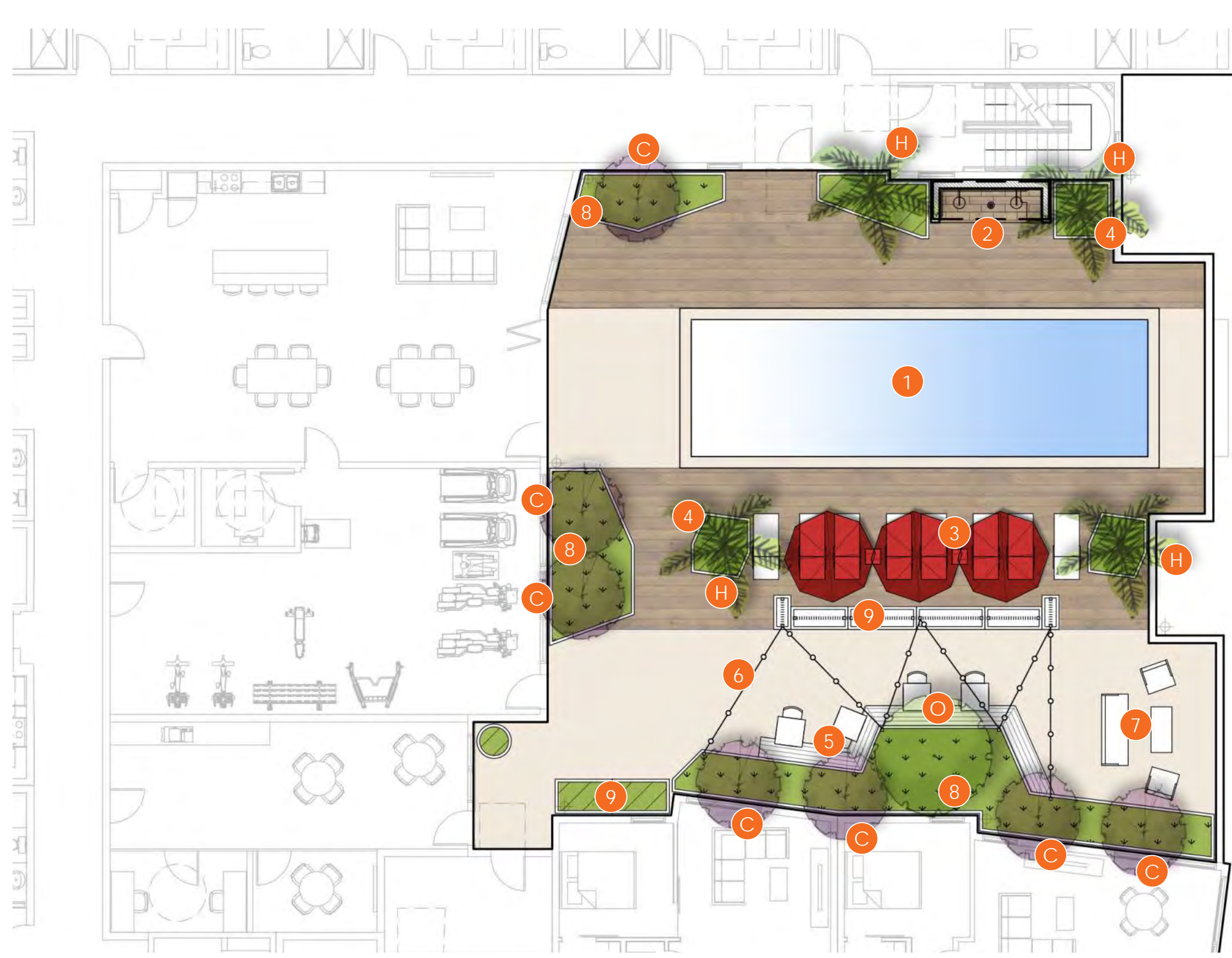
| REV | DATE | DESCRIPTION |
|------------|----------------------------|-------------|
| 04-29-2022 | SB330 PRELIM APPLICATION | |
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| 05-12-2023 | PLANNING RESUBMITTAL | |
| 09-01-2023 | PLANNING RESUBMITTAL DRAFT | |
| 09-21-2023 | PLANNING RESUBMITTAL | |

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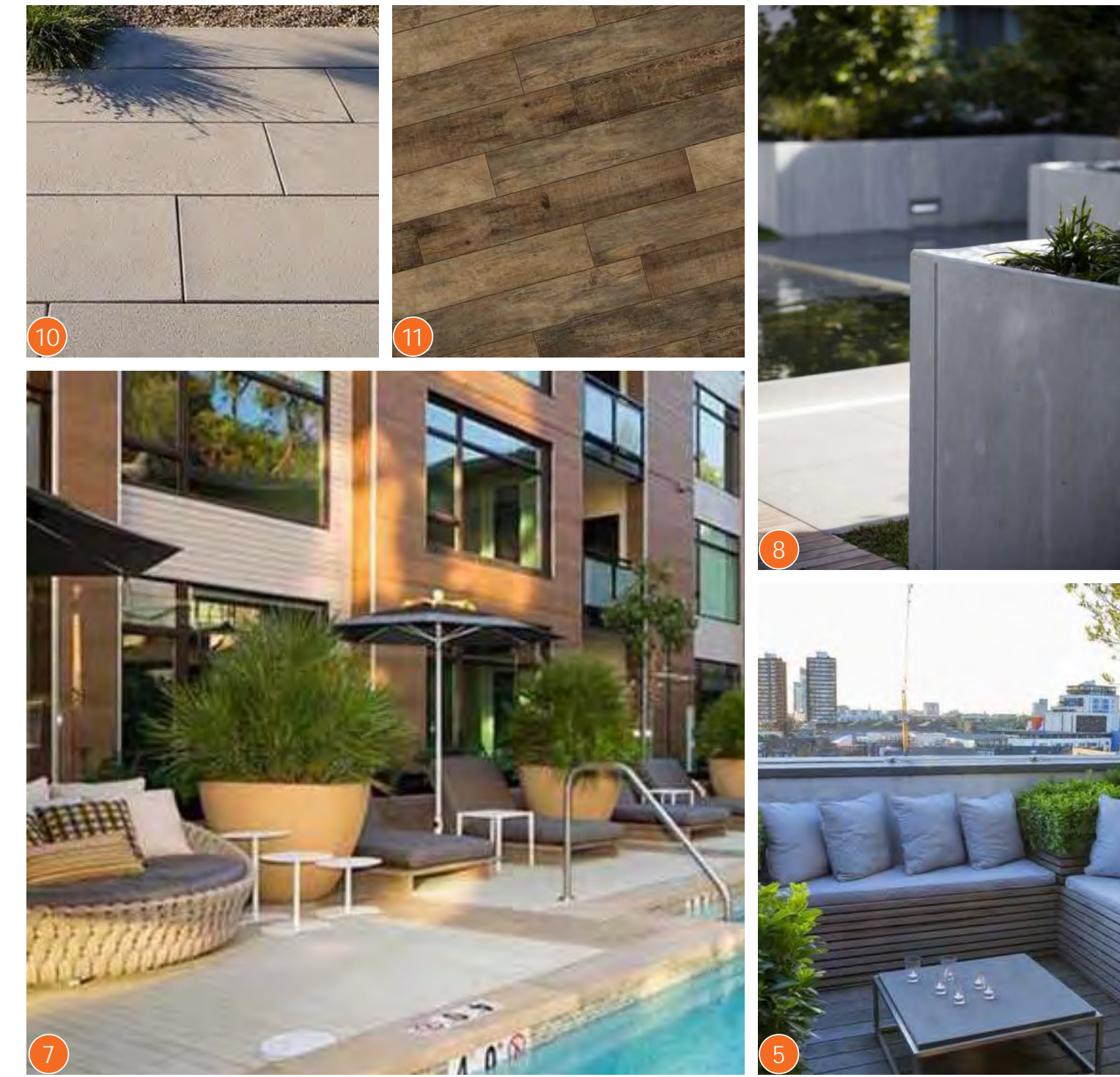
SCALE: 1" = 10'-0"

LANDSCAPE PLAN -
GROUND FLOOR



LEGEND

- 1 12X40 POOL
- 2 COVERED OUTDOOR SHOWER
- 3 POOL CHAISE LOUNGE SEATING WITH UMBRELLAS
- 4 PALMS IN RAISED PLANTERS, TYP
- 5 BUILT-IN SEATING
- 6 STRING LIGHTS
- 7 LOUNGE SEATING, TYP
- 8 STORMWATER PLANTERS
- 9 PREFABRICATED PLANTERS, TYP
- 10 PAVER: CONCRETE
- 11 PAVER: WOOD GRAIN



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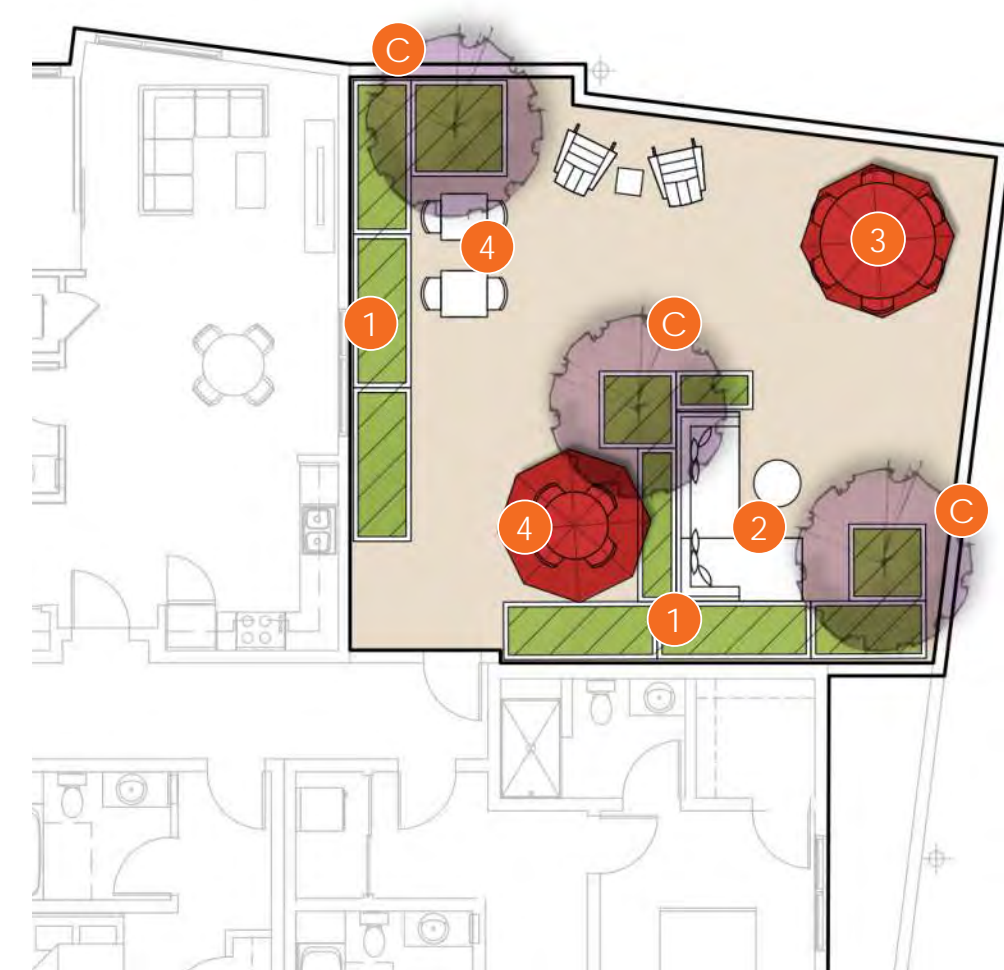
CONTACT:

(415) 777-0561 P
(415) 777-5117 F

SCALE: 1" = 10'-0"

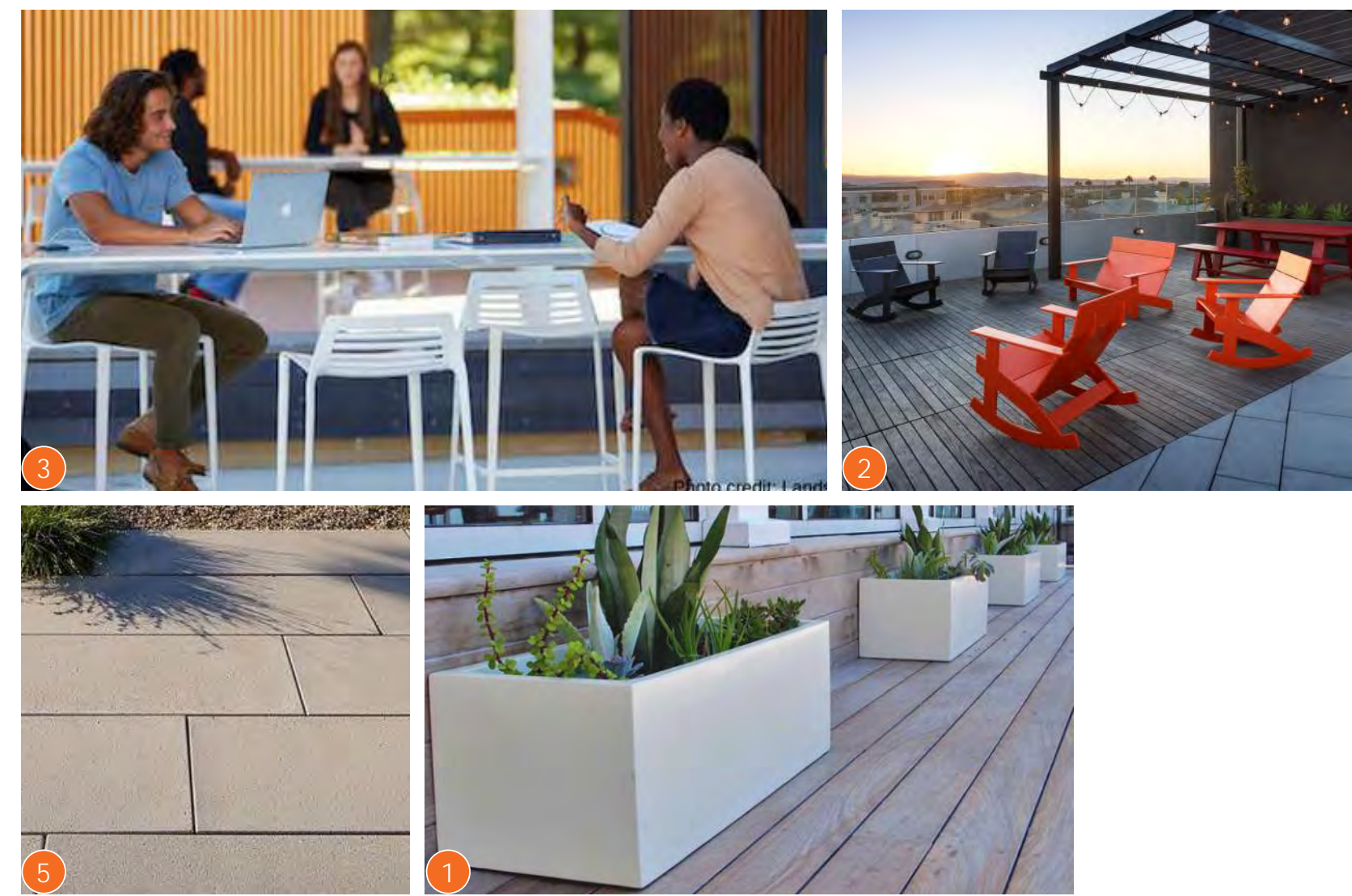
LANDSCAPE PLAN -
PODIUM & ROOFS

1 LEVEL 3 PODIUM COURTYARD
SCALE: 1"=10'-0"



LEGEND

- 1 PREFABRICATED PLANTERS, TYP
- 2 LOUNGE SEATING
- 3 COMMUNAL WORK TABLE
- 4 SMALLER WORK AREA, TYP
- 5 PAVER: CONCRETE

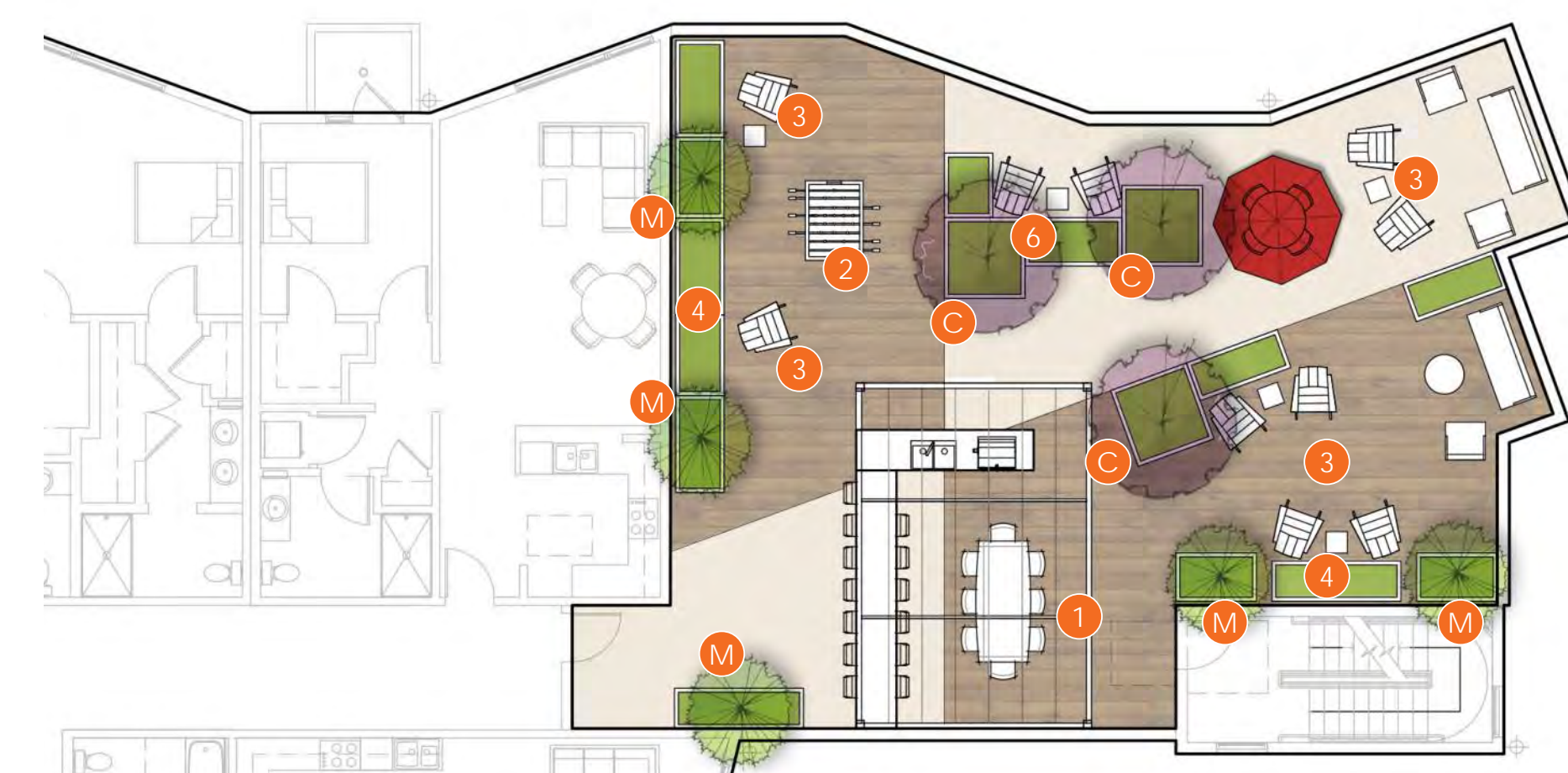


TREE LEGEND

| | BOTANICAL NAME | COMMON NAME | CONT. SIZE |
|---|-------------------------|---------------------|------------|
| C | *X CHITALPA 'PINK DAWN' | PINK CHITALPTA | 24" BOX |
| H | HOWEA FORESTRIANA | KENTIA PALM | 24" BOX |
| M | *MAGNOLIA 'LITTLE GEM' | LITTLE GEM MAGNOLIA | 24" BOX |
| O | *OLEA 'SWAN HILL' | SWAN HILL OLIVE | 24" BOX |

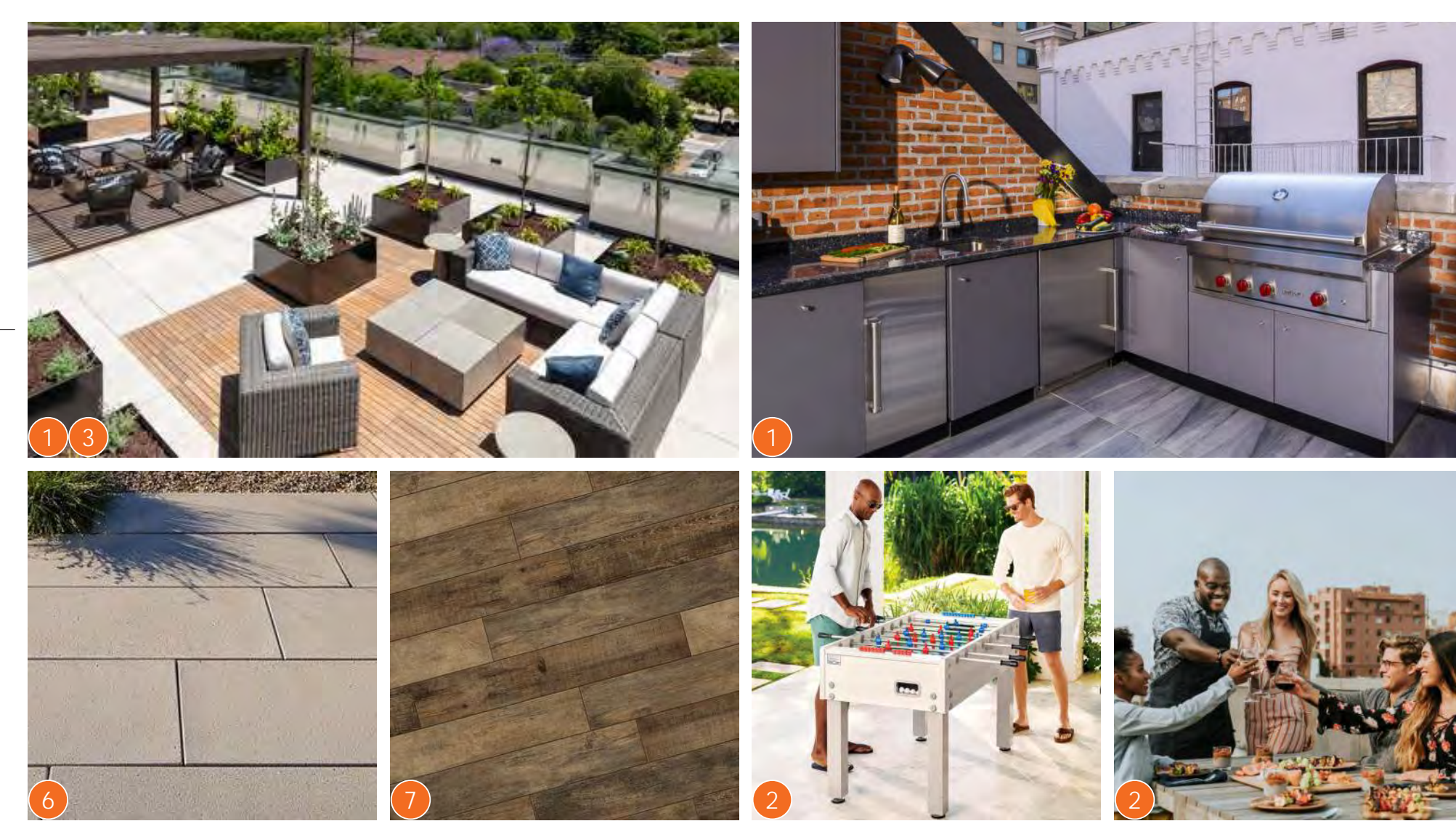
*OR SIMILAR, SEE PLANT PALETTE ON SHEET L-5
NOTES: REFER TO SHEET L-4 FOR TREE REMOVAL & REPLACEMENT PLAN.

2 LEVEL 5 ROOF DECK
SCALE: 1"=10'-0"

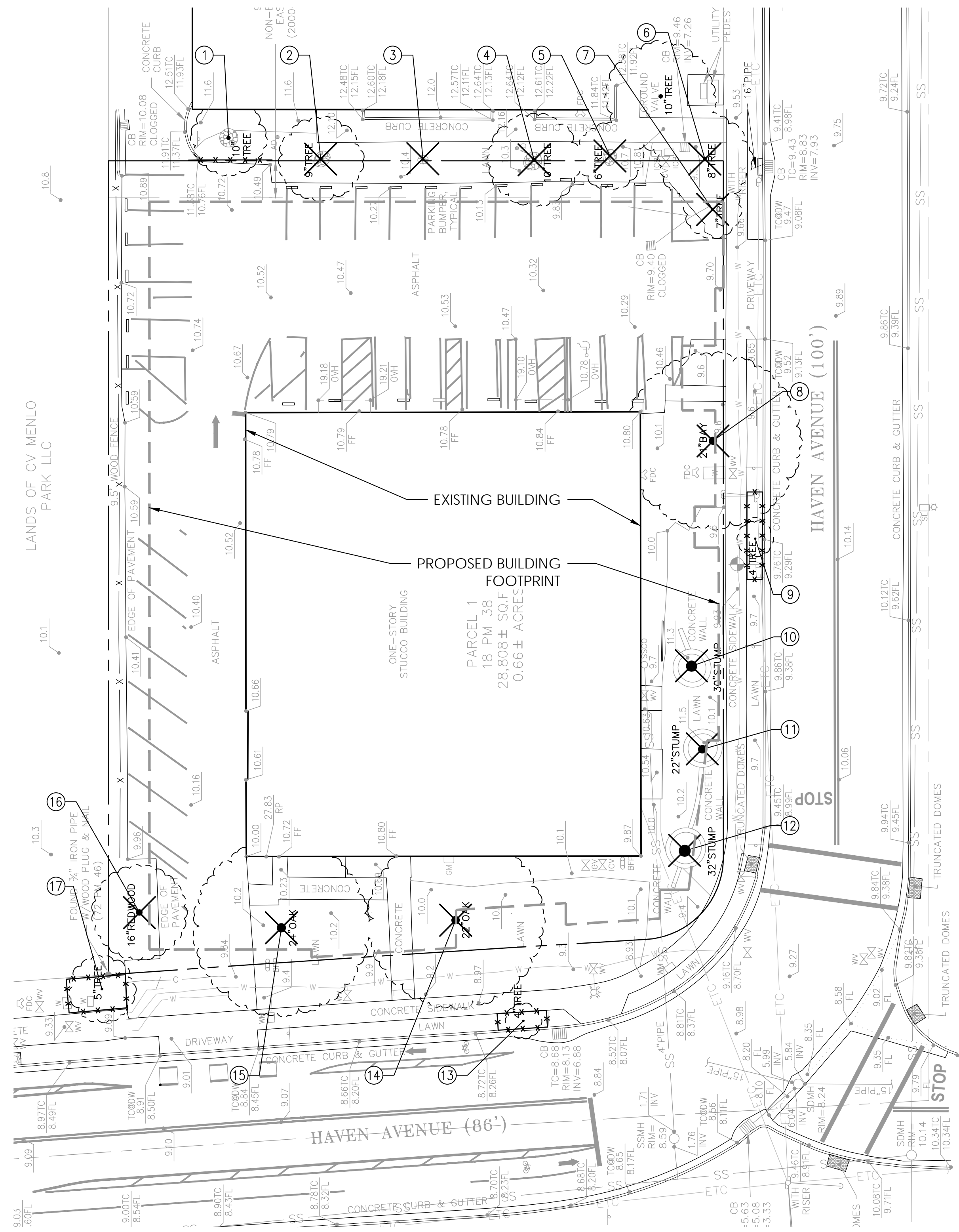


LEGEND

- 1 SHADE STRUCTURE WITH OUTDOOR KITCHEN, DINING SPACE, SPACE HEATERS, TV LOUNGE, WITH OVERHEAD LIGHTING
- 2 GAME TABLE
- 3 LOUNGE SEATING, TYP
- 4 PREFABRICATED PLANTERS, TYP
- 5 COMMUNAL DINING TABLE, TYP
- 6 PAVER: CONCRETE
- 7 PAVER: WOOD GRAIN



3 LEVEL 8 ROOF DECK
SCALE: 1"=10'-0"



TREE PROTECTION NOTES:

- 6" LAYER OF COARSE MULCH OR WOODCHIPS IS TO BE PLACED BENEATH THE DRIPLINE OF THE PROTECTED TREES. MULCH IS TO BE KEPT 12" FROM THE TRUNK.
- A PROTECTIVE BARRIER OF 6' CHAIN LINK FENCING SHALL BE INSTALLED AROUND THE DRIPLINE OF PROTECTED TREE(S), "TPZ".
- AVOID THE FOLLOWING CONDITIONS:
DO NOT:
 - ALLOW RUN OFF OF SPILLAGE OF DAMAGING MATERIALS INTO THE AREA BELOW ANY TREE CANOPY.
 - STORE MATERIALS, STOCKPILE SOIL, OR PARK OR DRIVE VEHICLES WITHIN THE TPZ.
 - CUT, BREAK, SKIN, OR BRUISE ROOTS, BRANCHES, OR TRUNKS WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE CITY ARBORIST.
 - ALLOW FIRES UNDER AND ADJACENT TO TREES.
 - DISCHARGE EXHAUST INTO FOLIAGE.
 - SECURE CABLE, CHAIN, OR ROPE TO TREES OR SHRUBS.
 - TRENCH, DIG, OR OTHERWISE EXCAVATE WITHIN THE DRIPLINE OR TPZ OF THE TREE(S) WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE CITY ARBORIST.
 - APPLY SOIL STERILANTS UNDER PAVEMENT NEAR EXISTING TREES.
- ONLY EXCAVATION BY HAND OR COMPRESSED AIR SHALL BE ALLOWED WITHIN THE DRIPLINE OF TREES. MACHINE TRENCHING SHALL NOT BE ALLOWED.
- AVOID INJURY TO TREE ROOTS.
- ROUTE PIPES OUTSIDE OF THE AREA THAT IS 10 TIMES THE DIAMETER OF A PROTECTED TREE TO AVOID CONFLICT WITH ROOTS.
- ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPORTED TO THE PROJECT ARBORIST OR CITY ARBORIST WITHIN SIX HOURS SO THAT REMEDIAL ACTION CAN BE TAKEN.
- AN ISA CERTIFIED ARBORIST OR ASCA REGISTERED CONSULTING ARBORIST SHALL BE RETAINED AS THE PROJECT ARBORIST TO MONITOR THE TREE PROTECTION SPECIFICATIONS.

LEGEND

- EXISTING TREE TO BE REMOVE
- EXISTING TREE TO REMAIN & PROTECTED
- TEMPORARY 6' CHAIN-LINK FENCE AT (TPZ), TEMPORARY TREE PROTECTION ZONE

EXISTING TREES

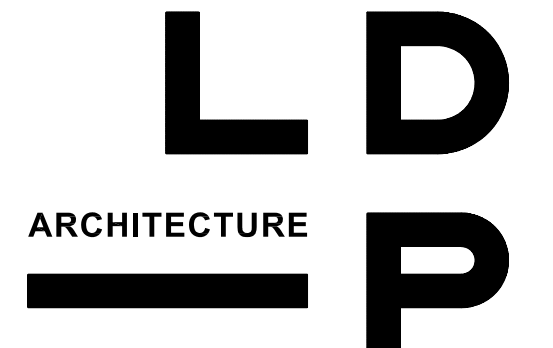
| TREE NO | TREE SPECIES | STATUS | REASON FOR REMOVAL | SIZE DBH (INCH) | HERITAGE OR PROTECTED TREE | APPRAISED VALVE |
|--|-------------------------------------|--------|----------------------|-----------------|----------------------------|--------------------|
| 1 | CALLERY PEAR, PYRUS CALLERYANA | SAVE | - | 11.5 | NO | - |
| 2 | CALLERY PEAR, PYRUS CALLERYANA | REMOVE | IN PROPOSED BUILDING | 9.1 | NO | - |
| 3 | STUMP | REMOVE | - | - | NO | - |
| 4 | CALLERY PEAR, PYRUS CALLERYANA | REMOVE | IN PROPOSED BUILDING | 10.0 | NO | - |
| 5 | CALLERY PEAR, PYRUS CALLERYANA | REMOVE | IN PROPOSED BUILDING | 7.0 | NO | - |
| 6 | CALLERY PEAR, PYRUS CALLERYANA | REMOVE | IN PROPOSED BUILDING | 10.0 | NO | - |
| 7 | JAPANESE MAPLE, ACER PALMATUM | REMOVE | IN PROPOSED BUILDING | 6.9 | NO | - |
| 8 | EUCALYPTUS SPP. | REMOVE | STRUCTURAL ISSUES | 24.0 | HERITAGE | \$12,500.00 |
| 9 | CRAPE MYRTLE, LAGERSTROEMIA INDICA | SAVE | - | 4.0 | NO | - |
| 10 | STUMP | REMOVE | - | - | NO | - |
| 11 | STUMP | REMOVE | - | - | NO | - |
| 12 | STUMP | REMOVE | - | - | NO | - |
| 13 | LINDEN, TILIA SPP. | SAVE | - | 4.0 | NO | - |
| 14 | COAST LIVE OAK, QUERCUS AGRIFOLIA | REMOVE | IN PROPOSED BUILDING | 20.5 | HERITAGE | \$10,800.00 |
| 15 | COAST LIVE OAK, QUERCUS AGRIFOLIA | REMOVE | IN PROPOSED BUILDING | 23.7 | HERITAGE | \$14,400.00 |
| 16 | COAST REDWOOD, SEQUOIA SEMPERVIRENS | REMOVE | IN PROPOSED GRADING | 14.4 | NO | - |
| 17 | ZELKOVA, ZELKOVA SERRATA | SAVE | - | 5.0 | NO | - |
| TOTAL NUMBER OF (E) TREES | | | | | 17 | |
| TOTAL NUMBER OF (E) TREES TO BE REMOVED | | | | | 13 | |
| TOTAL NUMBER OF HERITAGE TREES TO BE REMOVED | | | | | 4 | |
| TOTAL APPRAISED VALVE | | | | | | \$37,700.00 |

REFER TO FULL ARBORIST REPORT AS PREPARED BY KATHERINE NAEGELE AT AESCULUS ARBORCULTURAL CONSULTING (AACARBOR.COM), DATED 05-30-2022.

REPLACEMENT TREE

| BOTANICAL NAME | COMMON NAME | CONT SIZE | MONETARY VALUE | QTY | VALUE PER TREE |
|--|-------------------------|-----------|----------------|-----|--------------------|
| STREET TREE | | | | | |
| LAGERSTROEMIA x 'MUSKOGEE' | 'MUSKOGEE' CRAPE MYRTLE | 48" BOX | \$5,000.00 | 3 | \$15,000.00 |
| TILIA TOMENTOSA | SILVER LINDEN | 48" BOX | \$5,000.00 | 1 | \$5,000.00 |
| TREE ON GROUND LEVEL | | | | | |
| AFROCARPUS GRACILIOR | AFRICAN FERN PINE | 36" BOX | \$1,200.00 | 6 | \$7,200.00 |
| LAURUS NOBILIS 'SARATOGA' | SARATOGA LAUREL | 36" BOX | \$1,200.00 | 4 | \$4,800.00 |
| TREE ON PODIUM AND ROOF TERRACE | | | | | |
| x CHITALPA 'PINK DAWN' | PINK CHITALPA | 24" BOX | \$400.00 | 13 | \$5,200.00 |
| HOWEA FORESTRIANA | KENTIA PALM | 24" BOX | \$400.00 | 4 | \$1,600.00 |
| MAGNOLIA 'LITTLE GEM' | LITTLE GEM MAGNOLIA | 24" BOX | \$400.00 | 5 | \$2,000.00 |
| OLEA 'SWAN HILL' | SWAN HILL OLIVE | 24" BOX | \$400.00 | 1 | \$400.00 |
| TOTAL VALVE | | | | | \$41,200.00 |

APPROVED HERITAGE REPLACEMENT TREES & MONETARY VALUE PER SIZES REFER TO CITY ORDINANCE SECTION 13.24.090. ALSO SEE SHEET L-1 LANDSCAPE PLANS.



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3705 HAVEN AVE
MENLO PARK, CA

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MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

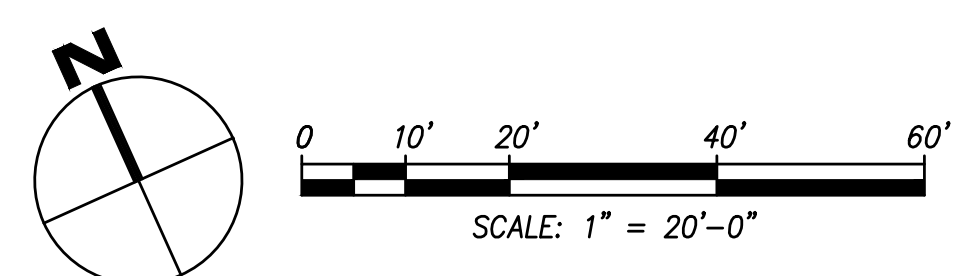
| REV | DATE | DESCRIPTION |
|------------|------|----------------------------|
| 04-29-2022 | | SB330 PRELIM APPLICATION |
| 11-17-2022 | | PLANNING APPLICATION |
| 05-12-2023 | | PLANNING RESUBMITTAL |
| 09-01-2023 | | PLANNING RESUBMITTAL DRAFT |
| 09-21-2023 | | PLANNING RESUBMITTAL |
























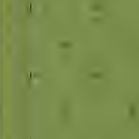
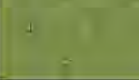


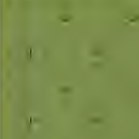



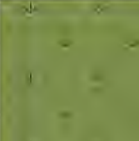



CONTACT:

(415) 777-0561 P
(415) 777-5117 F

SCALE: 1" = 10'-0"

TREE REMOVAL & REPLACEMENT PLAN



| PRELIMINARY PLANT PALETTE | | | | | |
|---|---------------------------------------|----------------------------|------------------|----------|---------|
| SYMBOL | BOTANICAL NAME | COMMON NAME | CONT SIZE | SPACING | WTR USE |
| STREET TREES | | | | | |
|  | LAGERSTROEMIA x 'MUSKOGEE' | 'MUSKOGEE' CRAPE MYRTLE | 48" BOX | PER PLAN | L |
|  | TILIA TOMENTOSA | SILVER LINDEN | 48" BOX | PER PLAN | L |
| TREES ON GROUND LEVEL | | | | | |
|  | AFROCARPUS GRACILIOR | AFRICAN FERN PINE | 36" BOX | PER PLAN | M |
|  | LAURUS NOBILIS 'SARATOGA' | SWEET BAY | 36" BOX | PER PLAN | L |
| PODIUM AND ROOF TERRACE TREES | | | | | |
|  | X CHITALPA TASHKENTENSIS 'PINK DAWN' | PINK CHITALPA | 24" BOX | PER PLAN | L |
|  | ACER PALMATUM 'SANGO KAKU' | JAPANESE MAPLE | 24" BOX | PER PLAN | M |
|  | ALBIZIA JULIBRISSIN 'ROSEA' | MIMOSA TREE | 24" BOX | PER PLAN | L |
|  | ARBUTUS 'MARINA' | 'MARINA' STRAWBERRY TREE | 24" BOX | PER PLAN | L |
|  | HOWEA FORSTERIANA | KENTIA PALM | 24" BOX | PER PLAN | M |
|  | KOELREUTERIA BIPINNATA | CHINESE FLAME TREE | 24" BOX | PER PLAN | M |
|  | MAGNOLIA GRANDIFLORA 'LITTLE GEM' | LITTLE GEM MAGNOLIA | 24" BOX | PER PLAN | M |
|  | OLEA EUROPAEA 'SWAN HILL' | SWAN HILL FRUITLESS OLIVE | 24" BOX | PER PLAN | L |
| SHRUBS, GRASSES & PERENNIALS | | | | | |
|  | ACACIA COGNATA 'COUSIN IT' | LITTLE RIVER WATTLE | 5 GAL | 4'-0" OC | L |
|  | AEONIUM 'MINT SAUCER' | SAUCER PLANT | 1 GAL | 2'-0" OC | L |
|  | AGAVE ATTENUATA 'NOVA' | BLUE FOXTAIL AGAVE | 1 GAL | 5'-0" OC | L |
|  | ARCTOSTAPHYLOS 'JOHN DOURLEY' | JOHN DOURLEY MANZANITA | 5 GAL | 4'-0" OC | L |
|  | ASPIDISTRA ELATIOR | CAST IRON PLANT | 1 GAL | 2'-0" OC | L |
|  | CEANOETHUS 'DARK STAR' | DARK STAR CEANOETHUS | 1 GAL/♀ | 8'-0" OC | L |
|  | CHONDROPETALUM TECTORUM 'EL CAMPO' | EL CAMPO CAPE RUSH | 5 GAL/♀ | 4'-0" OC | L |
|  | CISTUS X HYBRIDUS | ROCK ROSE | 5 GAL/♀ | 1'-0" OC | L |
|  | DIANELLA REVOLUTA 'LITTLE REV' | LITTLE REV FLAX LILY | 5 GAL | 2'-0" OC | L |
|  | DIETES BICOLOR | FORTNIGHT LILY | 5 GAL | 3'-0" OC | L |
|  | EUPHORBIA X MARTINII 'RED MARTIN' | SPURGE | 1 GAL/♀ | 2'-0" OC | L |
|  | FESTUCA MAIREI | MT ATLAS FESCUE | 1 GAL/♀ | 3'-0" OC | L |
|  | HELICHOIRICHON SEMPERVIRENS | BLUE OAT GRASS | 1 GAL/♀ | 2'-0" OC | L |
|  | HESPERALOE PARVIFOLIA 'BREAKLIGHT' | RED YUCCA | 5 GAL | 4'-0" OC | L |
|  | NANDINA 'LEMON LIME' | HEAVENLY BAMBOO | 5 GAL/♀ | 2'-0" OC | L |
|  | LOMANDRA L. 'BREEZE' | DWARF MAT RUSH | 1 GAL | 3'-0" OC | L |
| | MAHONIA AQUIFOLIUM | OREGON GRAPE | ♀ | 2'-0" OC | L |
| | MUHLENBERGIA DUBIA | PINE MUHLY | 5 GAL | 2'-6" OC | L |
| | PITOSPORUM 'CREME DE MINT' | DWARF MOCK ORANGE | 5 GAL | 3'-0" OC | L |
| | PITOSPORUM TENUIFOLIUM 'SILVER SHEEN' | SILVER SHEEN KOHUHU | 5 OR **1.5 GAL/♀ | 3'-0" OC | L |
| | POLYSTICHUM MUNIUM | WESTERN SWORD FERN | 1 GAL | 3'-0" OC | M |
| | SARCOCOCCA HOOKERIANA VAR HUMILIS | SWEET BOX | 1 GAL/♀ | 3'-0" OC | L |
| | SOLLYA HETEROPHYLLA | AUSTRALIAN BLUEBELL | 5 GAL | 3'-0" OC | L |
| | LOROPETALUM CHINENSE 'SHANG-WHITE' | EMERALD SNOW FRINGE FLOWER | 5 GAL | 4'-0" OC | L |
| | PHORMIUM SPECIES | NEW ZEALAND FLAX | 5 GAL | VARIES | L |
| | PITOSPORUM TOBIRA 'VARIEGATA' | VARIEGATED MOCK ORANGE | 5 GAL | 4'-0" OC | L |
| | ROSMARINUS 'TUSCAN BLUE' | ROSEMARY | 5 GAL | 4'-0" OC | L |
| | SALVIA LEUCANTHA 'SANTA BARBARA' | MEXICAN BUSH SAGE | 5 GAL | 4'-0" OC | L |
| | SANTOLINA CHAMAECYPARISSUS | GRAY LAVENDER COTTON | 1 GAL | 3'-0" OC | L |
| GROUND COVER | | | | | |
|  | CAREX TUMULICOLA | BERKELEY SEDGE | 1 GAL | 3'-0" OC | L |
|  | CISTUS S. 'PROSTRATUS' | SAGELEAF ROCKROSE | 1 GAL | 4'-0" OC | L |
|  | SATUREJA DOUGLASII | YERBA BUENA | 1 GAL | 2'-0" OC | L |
|  | SASA VEITCHII | NAGASA BAMBOO | 1 GAL | 3'-0" OC | L |
|  | SENECIO SERPENS | BLUE CHALK STICK | 1 GAL | 2'-0" OC | L |
|  | STACHYS BYZANTINA | LAMB'S EAR | 1 GAL | 1'-6" OC | L |
| STORMWATER | | | | | |
|  | CAREX TUMULICOLA | BERKELEY SEDGE | 5 GAL | 2'-0" OC | L |
|  | CHONDROPETALUM ELEPHANTINUM | LARGE CAPE RUSH | 5 GAL | 6'-0" OC | L |
|  | FESTUCA MAIREI | ATLAS FESCUE | 5 GAL | 3'-0" OC | L |
|  | IRIS DOUGLASIANA | DOUGLAS IRIS | 5 GAL | 2'-0" OC | L |
| | JUNCUS PATENS | CALIFORNIA GRAY RUSH | 5 GAL | 2'-6" OC | L |
| | SALVIA ULIGINOSA | BLUE SPIKE SAGE | 5 GAL | 2'-0" OC | L |
| | SYSRINCHIUM BELLUM 'NORTH COAST' | BLUE-EYED GRASS | 5 GAL | 1'-0" OC | L |

PLANT IMAGERY TREES



SHRUBS, GRASSES & PERENNIALS

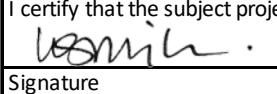


IRRIGATION DESIGN INTENT

- THESE PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), AND THE CITY OF MENLO PARK DESIGN GUIDELINES.
- IRRIGATION WITHIN PUBLIC RIGHT OF WAY SHALL COMPLY WITH CITY STANDARD DETAILS LS-1 THROUGH LS-19 AND SHALL BE CONNECTED TO THE ON-SITE WATER SYSTEM.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
- THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP AND BUBBLER DISTRIBUTION, AND SPRINKLERS WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
- IRRIGATION CONTROLLER DO NOT LOSE PROGRAMMING DATA WHEN POWER SOURCE IS INTERRUPTED.
- ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE, AND MINIMUM MAINTENANCE REQUIREMENT.
- THE SYSTEM SHALL INCLUDE A MANUAL SHUT-OFF VALVE, PRESSURE REGULATOR, MASTER CONTROL VALVE, AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.

PLANTING DESIGN INTENT

- ALL TREES WITHIN 5' OF PAVEMENT SHALL USE TREE ROOT BARRIERS.
- ALL TREES, EXISTING AND PROPOSED, SHALL BE A MINIMUM OF FIVE (5) FEET FROM ANY EXISTING OR PROPOSED ELECTRIC DEPARTMENT FACILITIES. EXISTING TREES IN CONFLICT WILL HAVE TO BE REMOVED. TREES SHALL NOT BE PLANTED IN PUE'S OR ELECTRIC EASEMENTS.
- THE PLANTING DESIGN SHALL UTILIZE A VARIETY OF MEDITERRANEAN-STYLE, NATIVE, AND DROUGHT-TOLERANT PLANT SPECIES TO CREATE LAYERS OF COLOR AND TEXTURE TO COMPLEMENT THE ARCHITECTURE AND SETTING.
- PLANT SPECIES SHALL BE SELECTED BASED ON LOCAL CLIMATE SUITABILITY, DISEASE AND PEST RESISTANCE, AND WATER-USE AS LISTED IN THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) PLANT LIST, WUCOLS IV.
- 80% OF PLANT MATERIAL TO BE NATIVE OR LOW WATER USE AND FOLLOW MWELO GUIDELINES.
- TURF/LAWN SHALL NOT EXCEED 10% OF THE LANDSCAPE AREA. TURF SPECIES, IF INCLUDED, SHALL BE A FESCUE-BLEND TURF GRASS TO MINIMIZE WATER CONSUMPTION.
- NO PLANT CONSIDERED INVASIVE IN THE REGION AS LISTED BY THE CAL-IPC WILL BE USED.
- THE PLANTING DESIGN SHALL ALLOW FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE TO ELIMINATE THE NEED FOR EXCESSIVE PRUNING OR HEDGING.
- PLANTS SHALL BE GROUPED IN HYDROZONES BASED ON WATER USE AND EXPOSURE.
- TREE LOCATIONS SHALL BE DESIGNED FOR MAXIMUM AESTHETIC EFFECTS AND PASSIVE SOLAR BENEFITS, CREATING SUMMER SHADE AND WINTER SUN EXPOSURE.
- ALL PLANTING AREAS SHALL RECEIVE A 3-INCH LAYER OF MULCH.

| City of Menlo Park - Water Efficient Landscape Ordinance (WELO) Landscape Application Checklist | | | |
|---|---|---|---|
| Page 1 of 2 | | | |
| I certify that the subject project meets the specified requirements of the Water Conservation in Landscaping Ordinance. | | | |
| Signature:  | | Date: 7/29/2022 | |
| Project Information | | | |
| <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Rehabilitated <input type="checkbox"/> Other: | | | |
| <input type="checkbox"/> Single Family <input checked="" type="checkbox"/> Multi-Family <input type="checkbox"/> Institutional <input type="checkbox"/> Irrigation only <input type="checkbox"/> Industrial <input type="checkbox"/> Other: | | | |
| Applicant Name (print): March Capital Fund | | Contact Phone #: (310) 498-7575 | |
| Project Site Address: 3705 Haven Avenue | | | |
| Project Area (sq. ft. or acre): 28,808sf | # of Units: 112 | # of Meters: 2 (dom+irr) | Agency Review (Pass) (Fail) |
| For a single-family project, or a single-family development project, enter this information on an average, per unit basis. For all other projects, input an aggregate value for the entire project. | | | |
| Total Landscape Area (sq. ft.): 4,102 | | | <input type="checkbox"/> <input type="checkbox"/> |
| Turf Irrigated Area (sq. ft.): 0 | | | <input type="checkbox"/> <input type="checkbox"/> |
| Non-Turf Irrigated Area (sq. ft.): 4,102 | | | <input type="checkbox"/> <input type="checkbox"/> |
| Irrigated Special Landscape Area (SLA) (sq. ft.): 0 | | | <input type="checkbox"/> <input type="checkbox"/> |
| Water Feature Surface Area (sq. ft.): 480 (pool) | | | <input type="checkbox"/> <input type="checkbox"/> |
| Compliance (Choose One) | | | |
| <input type="checkbox"/> Prescriptive A (Residential under 2,500 SF) | Impacted landscape is ≤ 2,500 sf Project has 25% max turf Project has 75% low WUCOLS (0.3 avg) | <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No | <input type="checkbox"/> <input type="checkbox"/> |
| <input type="checkbox"/> Prescriptive B (Commercial under 2,500 SF) | Impacted landscape is ≤ 2,500 sf Project has 0% turf Project has 100% low WUCOLS (0.3 avg) | <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| <input type="checkbox"/> Prescriptive C (All Projects over 2,500 SF) | Impacted landscape is ≥ 2,500 sf Project has 0% turf and 0% High WUCOLS Project has 80% low WUCOLS | <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| <input checked="" type="checkbox"/> Waterbudget | Worksheet is from City's WELO webpage ETWU < MAWA | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Documentation to be provided in Improvement Plans |
| Landscape Parameter Requirements Project Compliance | | | |
| Turf | There is no turf in parkways < 10 feet wide All turf is planted on slopes ≤ 25% | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, if adjacent to a parking strip <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> <input type="checkbox"/> |
| Hydrozones | Plants are grouped by Hydrozones | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | <input type="checkbox"/> <input type="checkbox"/> |
| Compost | At least 4 cubic yards per 1,000 sq ft to a depth of 6 inches | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, See Soil Test | <input type="checkbox"/> <input type="checkbox"/> |
| Mulch | At least 3-inches of mulch on exposed soil surfaces | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> <input type="checkbox"/> |
| Irrigation System | Use of automatic irrigation controllers that use evapotranspiration or soil moisture sensor data and utilize a rain sensor | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> <input type="checkbox"/> |
| | Irrigation controllers do not lose programming data when power source is interrupted | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> <input type="checkbox"/> |
| | Irrigation system includes pressure regulators Manual shut-off valves are installed near the connection to the water supply All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher Areas < 10 feet shall be irrigated with subsurface irrigation | <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, but there is no runoff or overspray | <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> |
| Page 2 of 2 | | | |
| Metering | Separate irrigation meter (Residential ONLY) Separate irrigation submeters for landscape areas ≥ 1,000 sq ft (Commercial ONLY) | <input type="checkbox"/> Yes <input type="checkbox"/> No, not required if < 5,000 sq ft <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> |
| Swimming Pools / Spas | Cover required for new pools and spas | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, no new pool or spa | <input type="checkbox"/> <input type="checkbox"/> |
| Water Features | Recirculating | <input type="checkbox"/> Yes <input type="checkbox"/> NA | <input type="checkbox"/> <input type="checkbox"/> |
| Documentation (per section 492.3) | Project Information | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> <input type="checkbox"/> |
| | Water Budget Calculation Worksheet (optional if Prescriptive Option is chosen) | <input type="checkbox"/> Prepared by professional | <input type="checkbox"/> <input type="checkbox"/> |
| | Landscape Design Plan (optional if < 1,000 sq ft of landscape area) Irrigation Design Plan (optional if < 1,000 sq ft of landscape area) Grading Design Plan (optional if < 1,000 sq ft of landscape area) | <input type="checkbox"/> Prepared by professional <input type="checkbox"/> Prepared by professional <input type="checkbox"/> Prepared by professional | <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> |
| Audit | Landscape Audit Report completed | <input type="checkbox"/> Completed by professional | <input type="checkbox"/> <input type="checkbox"/> |
| Auditor: | Materials Received and Reviewed: <input type="checkbox"/> Project Information <input type="checkbox"/> Water Budget Calculation Worksheet <input type="checkbox"/> Landscape Application Checklist <input type="checkbox"/> Certificate of Completion <input type="checkbox"/> Landscape Audit Report <input type="checkbox"/> Landscape Design Plan w/ WUCOLS Listing <input type="checkbox"/> Soil Management Report <input type="checkbox"/> Irrigation Design Plan <input type="checkbox"/> Grading Design Plan | Material Distributed to Applicant: <input type="checkbox"/> Regional Water Efficient Landscape Ordinance <input type="checkbox"/> Landscape Application Checklist <input type="checkbox"/> Water Budget Calculation Worksheet <input type="checkbox"/> WUCOLS Listing <input type="checkbox"/> Other: | |
| Date Reviewed: <input type="checkbox"/> Follow up required (explain): | Measures Recommended to Applicant: <input type="checkbox"/> Drip irrigation <input type="checkbox"/> Plant palette <input type="checkbox"/> Grading <input type="checkbox"/> Pool and/or spa cover <input type="checkbox"/> Dedicated irrigation meter <input type="checkbox"/> Other: | | |
| Date Resubmitted: Date Approved: Dedicated Irrigation Meter Required: Meter sizing: | | | |
| Comments: | | | |



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3705 HAVEN AVE
MENLO PARK, CA

PROJECT NO. 21-07
PARCEL NO. 055170240

REV | DATE | DESCRIPTION

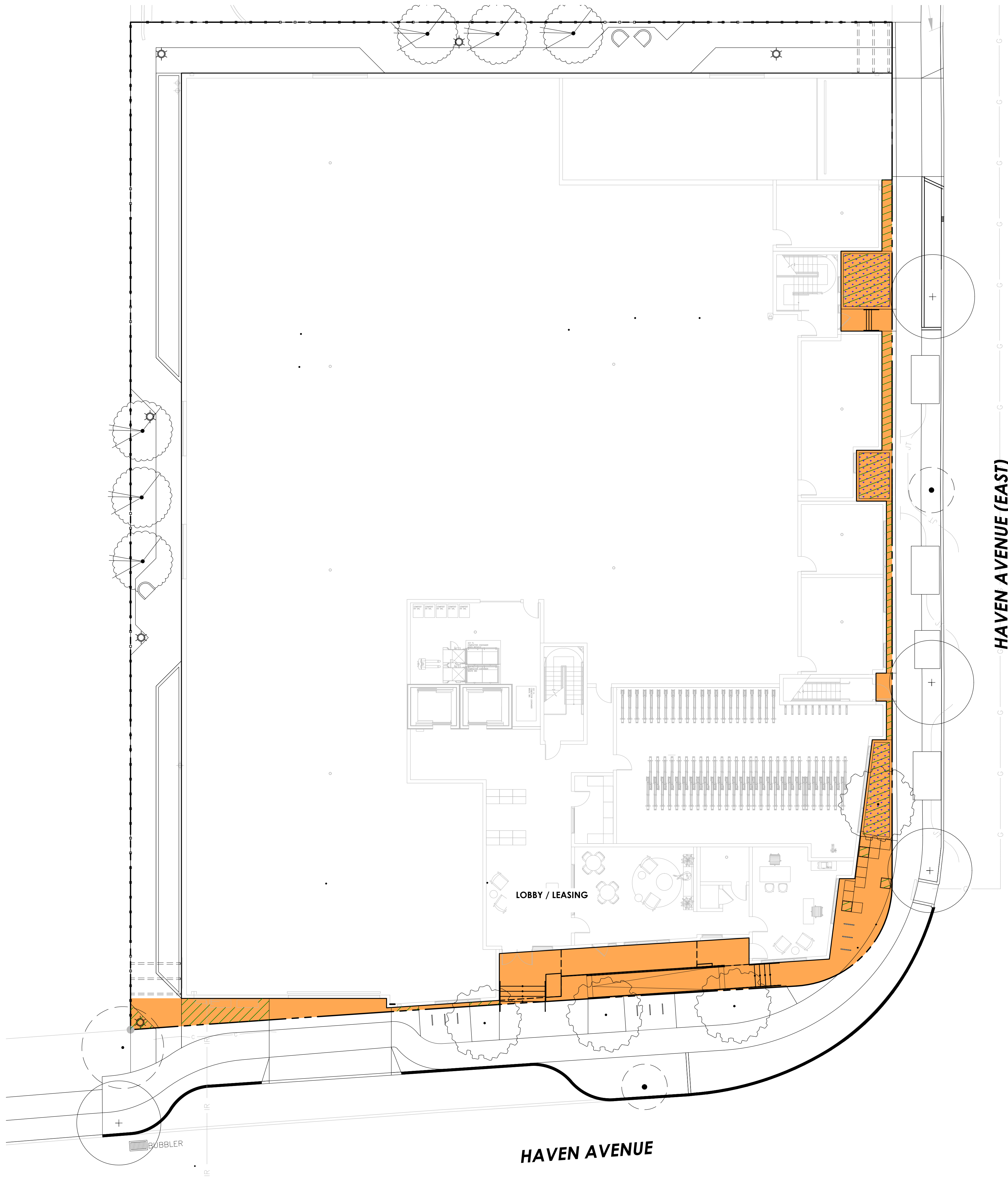
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(415) 777-5117 F

SCALE: N/A

WELO CHECKLIST,
PLANT PALETTE,
AND NOTES



LANDSCAPE FRONTAGE CALCULATIONS

| | FRONTAGE AREA/SETBACK (AREA BETWEEN PROPERTY LINE AND FACE OF BUILDING) | 1484 SF | | | |
|--|---|--------------------|------------|--------------------|------------|
| | | REQUIRED AREA (SF) | REQUIRED % | PROVIDED AREA (SF) | PROVIDED % |
| | FRONTAGE LANDSCAPING (AREA OF FRONTAGE DEDICATED TO VEGETATION) | 371 SF | 25% | 438 SF | 30% |
| | STORMWATER TREATMENT WITHIN FRONTAGE LANDSCAPING | 186 SF | 50% | 223 SF | 60% |

3705 HAVEN AVE
MENLO PARK, CA

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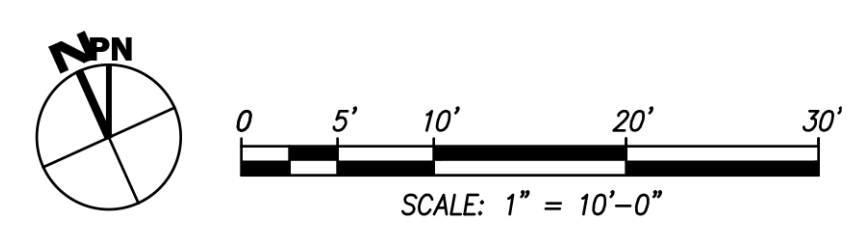
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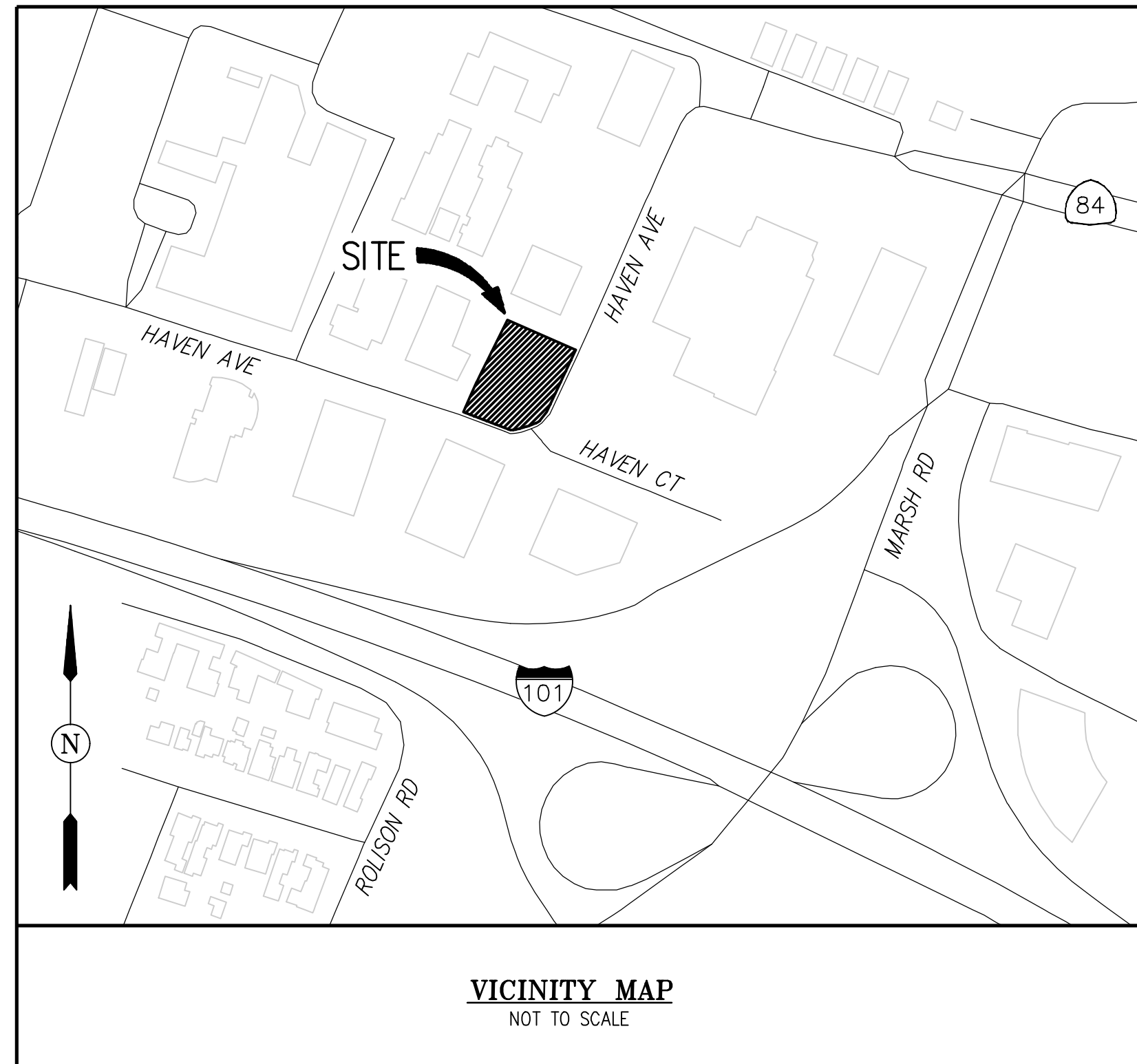
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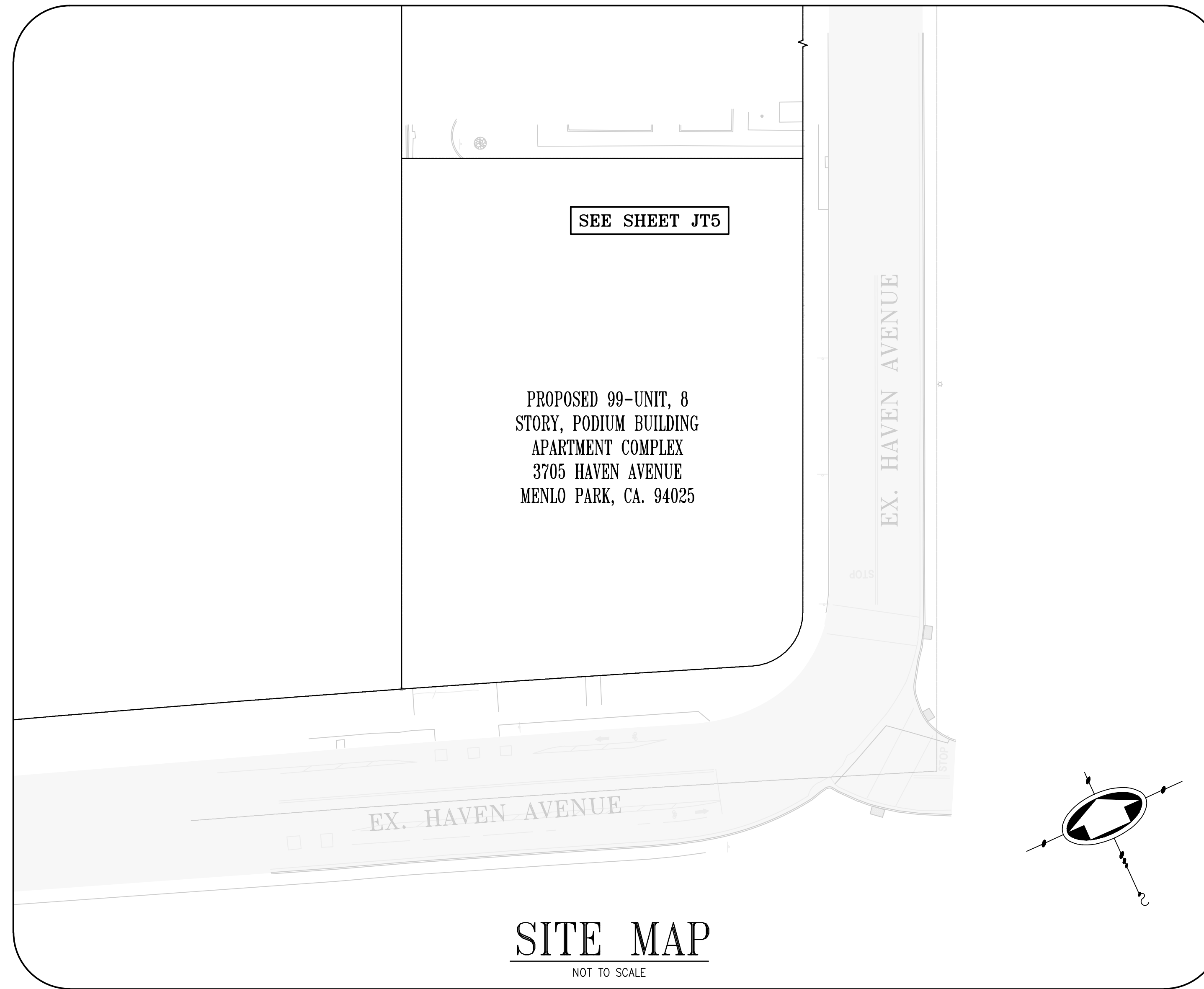
LANDSCAPE FRONTAGE CALCULATIONS



MARCH CAPITAL MANAGEMENT 3705 HAVEN AVENUE MENLO PARK SAN MATEO COUNTY CALIFORNIA



| <u>SHEET INDEX</u> | |
|--------------------|--|
| SHEET NO. | DESCRIPTION |
| JT1 | JOINT TRENCH COMPOSITE TITLE SHEET |
| JT2 | JOINT TRENCH GENERAL NOTES AND DETAILS |
| JT3 | JOINT TRENCH DETAILS |
| JT4 | JOINT TRENCH SECTIONS AND DETAILS |
| JT5 | JOINT TRENCH COMPOSITE PLAN |



| <u>LEGEND</u> | |
|---------------|---|
| | PROPOSED JOINT TRENCH |
| | PROPOSED JOINT TRENCH CROSSING |
| | PROPOSED JOINT TRENCH SERVICE |
| | EXISTING JOINT TRENCH |
| | EXISTING GAS |
| | EXISTING STREET LIGHT CONDUIT |
| | EXISTING UNDERGROUND ELECTRIC LINES |
| | EXISTING UNDERGROUND UTILITY LINES |
| | EXISTING OVERHEAD UTILITY LINES |
| | EXISTING OVERHEAD ELECTRIC LINES |
| | PROPOSED UNDERGROUND CATV LINES |
| | PROPOSED UNDERGROUND ELECTRIC LINES |
| | PROPOSED UNDERGROUND TELEPHONE LINES |
| | DESIGNATES UTILITY LINES TO BE REMOVED |
| | EXISTING PRIMARY SPLICE BOX |
| | EXISTING SECONDARY SPLICE BOX |
| | PG&E SPLICE BOX, 4'6" x 8'6" x 6" (LID DIMENSIONS) 5'6" x 9'6" x 6'7" (OVERALL DIMENSIONS) |
| | PG&E 3ø, UCD, SUBSURFACE TRANSFORMER, 4'6" x 8'6" x 7'6" 5'6" x 9'6" x 6'7" (OVERALL DIMENSIONS) |
| | TELEPHONE SERVICE BOX, 48" x 72" x 48" |
| | JOINT/UTILITY POLE |
| | EXISTING JOINT/UTILITY POLE |
| | ELECTROLIER, SINGLE ARM |

| | | | | | |
|----------------------------|----------------------------|---------|-----------|-----------|----------------|
| TARRAR UTILITY REP.: | KARA PEDERSEN | JOB NO. | 222068 | PHONE NO. | (925) 240-2595 |
| DEVELOPER: | EDUARDO SAGUES | JOB NO. | 222068 | PHONE NO. | (310) 498-7575 |
| PG&E ELECTRIC COORDINATOR: | JASON KWAN | JOB NO. | 127555781 | PHONE NO. | (650) 830-1475 |
| PG&E GAS COORDINATOR: | - | JOB NO. | - | PHONE NO. | - |
| TELEPHONE REP.: | DAVID CLARK | JOB NO. | - | PHONE NO. | (408) 635-8824 |
| CABLE T.V. REP.: | COMCAST CALIFORNIA INTENTS | JOB NO. | - | PHONE NO. | - |

TARRAR UTILITY CONSULTANTS
APPROVED FOR SUBMITTAL
KARA PEDERSEM
QUALIFIED APPLICANT DESIGNER

DESIGN CHANGE COMPONENT
ANY CHANGES TO THIS DESIGN
MUST BE APPROVED BY

PG&E GAS ADE

COMPOSITE DRAWING BY DEVELOPER

Estimate # _____

Approved _____ Gas ADE _____ Date _____

Approved _____ Electric ADE _____ Date _____

PG & E is not responsible for the accuracy of the specifications shown on this drawing.

485 L.F. OF JOINT TRENCH AND ONE PUBLIC STREET LIGHT
SHALL BE INSTALLED WITH THIS JOINT TRENCH PLAN SET

- 1 NEW PODIUM APARTMENTS (99 UNITS)
- 1 NEW SERVICE COMPLETIONS (ELECTRIC, TELEPHONE, CATV)

| <u>FILES STATUS</u> | | | |
|---------------------------------------|-------------------------------|------------|---------|
| DESCRIPTION: | BY: | DATE: | STATUS: |
| CIVIL PLANS (ELECTRONIC FILE) | LEA & BRAZE ENGINEERING, INC. | 05-12-2022 | R |
| ARCHITECTURAL PLANS (ELECTRONIC FILE) | LDP ARCHITECTURE | 05-12-2022 | R |
| LANDSCAPE PLANS (ELECTRONIC FILE) | JETT LANDSCAPE | 05-12-2022 | R |
| GAS DESIGN | - | - | - |
| ELECTRIC DESIGN | BROWN ELECTRIC ESTIMATING | XX-XX-XXXX | XXXX |
| TELEPHONE INTENT REPLY | AT&T | XX-XX-XXXX | XXXX |
| CATV INTENT REPLY | COMCAST | XX-XX-XXXX | XXXX |
| STREET LIGHT PLANS - PUBLIC | - | - | - |
| STREET LIGHT PLANS - PRIVATE | - | - | - |
| SOILS REPORT | XXXX | XX-XX-XXXX | XXXX |

A = APPROVED • ANS = APPROVED NOT SIGNED • NA = NOT APPROVED • F = FIRST SUBMITTAL • SS = SECOND SUBMITTAL • R = RECEIVED

SUBSTRUCTURE VERIFICATION STAMP
DEVELOPER NOTE AND SIGN

ALL PG&E ENCLOSURES AND BOXES HAVE BEEN SET TO GRADE ACCORDING TO GRADE STAKES PROVIDED BY DEVELOPERS ENGINEER. ALL COSTS TO RELOCATE OR READJUST BOXES AT A LATER DATE WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR JOB SUPT. VERIFY THE CORRECT GRADE OF ALL ENCLOSURES AND BOXES, AND SIGN AND DATE DRAWING.

THANK YOU

SIGNED _____
DATE: _____

COMPOSITE DRAWING BY DEVELOPER

Approved _____ Telephone representative _____ Date _____

Approved _____ CATV representative _____ Date _____

813 First Street
Brentwood, CA 94513
(925) 240-2595
(925) 240-7013 fax
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UTILITY CONSULTANTS

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JOINT TRENCH COMPOSITE TITLE SHEET
MARCH CAPITAL MANAGEMENT
3705 HAVEN AVENUE
MENLO PARK CALIFORNIA

| NO. | REVISIONS | BY | DATE | DATE: MAY 2022 | DATE LAST WORKED ON: 3/20/2024 | SCALE: NOT TO SCALE | DRAWN: HK | CHECKED: AR |
|-----|-----------|----|------|-----------------|--------------------------------|----------------------------|-----------|-------------|
| | | | | | | | | |
| | | | | JOB NO.: 222068 | | INTENT TO CONSTRUCT | | |

SHEET **JT1** OF **JT5**

SHEETS
Page E-2-120

PROJECT NOTES:

- FIELD ADJUST SERVICES TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES (TYPICAL).
- CONTRACTOR SHALL PERFORM ALL TRENCHING, EXCAVATING, BACKFILLING AND OTHER WORK AS SHOWN OR NOTED ON PLANS, AND AS SPECIFIED ON UTILITY BID DOCUMENTS.
- FIELD ADJUST SPLICE BOXES TO KEEP CLEAR OF SIDEWALK, DRIVEWAYS AND EXISTING FACILITIES (TYPICAL).
- A 3 FOOT LEVEL WORKING AREA MUST BE MAINTAINED AROUND ALL ELECTRIC ENCLOSURES. PRIOR TO ENERGIZING THE SYSTEM, THE ELECTRIC UTILITY COMPANY INSPECTOR WILL DETERMINE IF RETAINING WALLS ARE REQUIRED TO MEET MINIMUM CLEARANCE BETWEEN ENCLOSURES AND THE TOPS OR TOES OF SLOPES. IF RETAINING WALLS ARE REQUIRED, THE DEVELOPER AND/OR CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE CITY/COUNTY BUILDING DEPARTMENT PRIOR TO WALL CONSTRUCTION.
- TRANSITION TO VAULTS FROM TRENCH NOT SHOWN, SEE TRANSITION DETAIL SHEET JT3 (TYPICAL).
- CONTRACTOR SHALL PLACE ALL UTILITY SPLICE BOXES, ENCLOSURES & CONDUIT IN PROPER RELATIONSHIP TO FINAL GRADE (SHOWN SCHEMATICALLY).
- ALL PG&E, TELEPHONE, CABLE T.V. AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER, WATER LATERALS AND DRIVEWAYS.
- CONTRACTOR SHALL COORDINATE ALL CONNECTIONS BETWEEN PROPOSED AND EXISTING FACILITIES AS DIRECTED BY THE RESPECTIVE UTILITY COMPANY INSPECTOR. UTILITY COMPANY PERSONNEL SHALL MAKE ALL "HOT TIE-INS"; THE CONTRACTOR IS PROHIBITED FROM WORKING IN ANY ENERGIZED FACILITIES.
- THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE STREET EXCAVATION AND ENCROACHMENT PERMIT(S) FROM THE CITY/COUNTY PRIOR TO STARTING WORK IN THE PUBLIC STREET AREA.
- FIELD LOCATE JOINT TRENCH FACILITIES TO KEEP CLEAR OF SERVICE LATERALS. SERVICE LATERALS TO BE ROUTED TO AVOID SPLICE BOX (ADDITIONAL P.U.E MAY BE REQUIRED).
- RESPECTIVE UTILITY COMPANY TO OBTAIN CITY APPROVAL OF ALL ABOVE GROUND EQUIPMENT.
- UNLESS OTHERWISE SHOWN ON THE PLANS, NATURAL BENDS SHALL BE USED FOR ALL CONDUIT EXCEPT STREET LIGHT CONDUIT.
- INCIDENTAL TRENCHING TO SPLICE BOXES NOT SHOWN (TYPICAL). CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING AS REQUIRED FOR CONDUIT ROUTING TO SPLICE BOXES AND CABINETS (TYPICAL).
- ALL CONDUITS SHALL ENTER OR EXIT PERPENDICULAR TO BOX WALLS.
- ALL CONDUITS MUST BE MANDREL TESTED AND APPROVED.
- OFFSET SPLICE BOXES TO ROUTE TELEPHONE/FIBER OPTIC CONDUIT AS NEEDED (TYPICAL).
- PULL ROPES SHALL BE PLACED IN ALL EMPTY CONDUITS AS REQUIRED BY EACH UTILITY COMPANY.
- ALL PG&E SPLICE BOXES ADJACENT TO TRANSFORMER SHALL BE 26" IN DEPTH (TYPICAL).
- ALL CONDUITS NOT ENTERING SPLICE BOXES OR ENCLOSURES SHALL BE CAPPED.
- COORDINATE TIE-IN WITH UTILITY COMPANY AS REQUIRED.
- THE STREET LIGHT SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" AND LIGHT SCHEDULE AS SHOWN ON THESE PLANS.
- ALL EXISTING DUCTS TO BE USED IN THESE PLANS SHALL BE "VERIFIED" BY PULLING A MANDREL THROUGH THE ENTIRE EXISTING LENGTH PRIOR TO CONNECTION.
- EDGE OF SPLICE BOXES & PEDESTALS SHALL BE 5' FROM EDGE OF FIRE HYDRANT AND 3' FROM STREET LIGHT (TYPICAL). CONTRACTOR TO AVOID DISTURBING FIRE HYDRANT THRUST BLOCK.
- ALL UTILITY SUBSTRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" SHOWN ON THESE PLANS.
- MAINTAIN 3' CLEARANCE AND LEVEL AREA AROUND PRIMARY SPLICE BOXES & XFMRs.
- DUE TO UNCERTAINTIES OF THE EXACT LOCATION OF EXISTING FACILITIES, FIELD LOCATION OF PROPOSED FACILITIES MAY BE REQUIRED. CONFIRM WITH VARIOUS UTILITIES FOR EXACT PLACEMENT.
- FOR CLARITY - BOXES/PEDESTALS ARE SHOWN AT LARGER SIZE THAN ACTUAL. FIELD ADJUST TO KEEP CLEAR OF DRIVEWAYS (TYPICAL).
- ALL SERVICE FACILITIES SHALL BE EXTENDED TO EITHER THE PROPERTY LINE OR TO POSITION SHOWN ON THE PLANS, AND THEN CAPPED, BURIED AND LOCATION STAKED.
- THESE PLANS WERE PREPARED UTILIZING PLANS RECEIVED FROM LDP ARCHITECTURE (415) 777-0561.

GENERAL NOTES:

- ALL JOINT TRENCH CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH PG&E UTILITY OPERATIONS UO STANDARD 55453.
- ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND SATISFACTION OF ALL PARTICIPATING UTILITIES AND CITY INSPECTORS.
- BACKFILL SELECTION SHALL BE SUBJECT TO THE APPROVAL OF THE RESPECTIVE UTILITY COMPANIES, THE SOILS ENGINEER AND THE CITY AND/OR COUNTY WHERE THE PROJECT IS LOCATED. CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACKFILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
- THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE BEDDING MATERIAL. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO PG&E GREEN BOOK PUBLICATION 55453, EXHIBIT B AND AT&T SPEC95 "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND NOTIFY ALL PARTICIPATING UTILITY INSTALLATIONS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRAR UTILITY CONSULTANTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE AND/OR PRECISE LOCATION OF ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. TARRAR UTILITY CONSULTANTS MAKES NO WARRANTY WHATSOEVER THAT THE EXISTING UNDERGROUND UTILITIES AND/OR STRUCTURES DEPICTED ON THE PLANS HAVE BEEN ACCURATELY LOCATED OR THAT THERE ARE NO OTHER UNDERGROUND UTILITIES AND STRUCTURES IN ADDITION TO WHAT HAS BEEN SHOWN. CALL U.S.A. A MINIMUM OF 48 HOURS PRIOR TO STARTING CONSTRUCTION. FOR CALIFORNIA NORTH, (KERN COUNTY AND NORTHERLY, AND NEVADA) CALL (800)227-2600. FOR CALIFORNIA SOUTH, (SAN BERNARDINO COUNTY AND SOUTHERLY) CALL (800)422-4133.
- CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES AND WITH THE REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, O.S.H.A. AND ANY OTHER GOVERNMENTAL AGENCY RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT AND LABOR PERSONNEL.
- THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE COMPLEMENTARY TO EACH OTHER. ANYTHING SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, OR MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, SHALL BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH. IF DISCREPANCY IS FOUND, NOTIFY TARRAR UTILITY CONSULTANTS PRIOR TO STARTING WORK.
- TRENCH AND CONDUIT LAYOUTS ARE SHOWN SCHEMATICALLY.
- TRENCHING OR SUBSTRUCTURE EXCAVATION MAY NECESSITATE OPERATION OVER, UNDER, OR ADJACENT TO OTHER UNDERGROUND UTILITIES (STORM, SEWER, WATER, ETC...). THE CONTRACTOR IS RESPONSIBLE TO LOCATE, PROSPECT, EXPOSE AND PROTECT ALL ADJACENT OR CROSSING UNDERGROUND UTILITIES. THIS WORK TO PROTECT THOSE UTILITIES IS NOT CONSIDERED AS EXTRA WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW IMPROVEMENT PLANS, IN CONJUNCTION WITH THIS PLAN, AND BID THE WORK ACCORDINGLY.
- THE QUANTITIES SHOWN ON THESE PLANS ARE ONLY ESTIMATES OF WHAT WILL ACTUALLY BE REQUIRED FOR THE CONSTRUCTION OF THE OVERALL PROJECT. FINAL QUANTITIES MAY VARY ACCORDING TO CHANGES, ADDITIONS, DELETIONS OR OMISSIONS ON THE ORIGINAL PLAN.
- VERIFY ALL SUBSTRUCTURE EXCAVATION DIMENSIONS WITH SUPPLIER(S) BEFORE BIDDING.
- TARRAR UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHOULD REVIEW THE PROJECT SITE PRIOR TO SUBMITTING ITS BID.
- THE CONTRACTOR IS REQUIRED TO EXCAVATE BELL HOLE(S) AT TIE-IN LOCATIONS AS DIRECTED BY PARTICIPATING UTILITY.
- CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AS-BUILT DRAWINGS AFTER INSTALLATION OF PG&E'S GAS AND ELECTRIC SYSTEMS (PRIOR TO "HOT TIE-INS").
- THE CITY INSPECTOR SHALL BE NOTIFIED TWO WORKING DAYS PRIOR TO COMMENCEMENT OF WORK. COORDINATE WITH THE INSPECTOR ANY SERVICES TO BE ABANDONED.
- THE CONTRACTOR IS TO VERIFY THE RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.
- PG&E'S GENERAL TERM AND CONDITIONS FOR GAS AND ELECTRIC EXTENSION AND SERVICE CONSTRUCTION BY "APPLICANT" (EFFECTIVE 07/1/95) TO BE UTILIZED FOR ALL TRENCHING, BACKFILLING, AND INSTALLATION WORK.
- IN THE EVENT OF DISPUTES OR DISAGREEMENT OVER ANY INSTALLATIONS, DESIGNS, PLANS OR DRAWINGS, THE SPECIFICATIONS AND REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANIES AND THEIR INSPECTORS SHALL TAKE PRECEDENCE. IN CASE OF DISCREPANCIES WITHIN THE DRAWINGS AND SPECIFICATIONS HEREIN, THE CONTRACTOR SHALL CONSULT TARRAR UTILITY CONSULTANTS FOR INTERPRETATION BEFORE WORK IS STARTED.
- TARRAR UTILITY CONSULTANTS HEREIN, ASSUMES NO RESPONSIBILITY WHATSOEVER FOR THE QUALITY, QUANTITY OR TIMING OF WORK TO BE PERFORMED BY THE CONTRACTOR, UTILITY COMPANY CONSTRUCTION CREWS, OR OTHER SUB-CONTRACTOR OF DEVELOPER.
- ALL TRENCHING, BACKFILLING AND INSTALLATION WORK IS TO BE IN ACCORDANCE WITH THE STANDARD PRACTICES AND SPECIFICATIONS OF EACH UTILITY COMPANY PARTICIPATING IN THE UTILITY TRENCHES WITHIN THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POINTS OF ACCESS THAT ARE AGREEABLE TO ADJACENT LAND USES AND TENANTS AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING WHAT INSPECTIONS WILL BE REQUIRED FOR APPROVAL OF THE WORK AND FOR COORDINATING ALL SUCH INSPECTIONS. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS PRIOR NOTICE TO THE CITY, SOILS ENGINEER, UTILITY COMPANIES OR ANY OTHER INDIVIDUALS OR PUBLIC AGENCIES, THAT THE WORK IS READY FOR INSPECTION.
- THE CONTRACTOR SHALL NOTIFY DEVELOPER 48 HOURS PRIOR TO THE NEED FOR SURVEY STAKING. THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL CONSTRUCTION STAKING SET BY THE DEVELOPER'S SURVEYORS AND WILL BE BACK CHARGED FOR ANY RE-STAKING THAT IS REQUIRED. ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO AND PAID FOR BY THE CONTRACTOR.
- ALL TRANSFORMERS AND TRANSFORMER PADS ARE TO BE INSTALLED PER PG&E SPECIFICATIONS. PROTECTIVE BOLLARDS ARE TO BE PLACED WHERE NEEDED.
- THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
- KEEP ALL BOXES AND PEDESTALS WITHIN PUBLIC UTILITY EASEMENTS OR RIGHT OF WAY. AS SHOWN.
- ALL SAND BACKFILL MUST HAVE TESTING OF PH LEVEL AS WELL AS SAND EQUIVALENT. SEE CITY OF MENLO PARK REQUIREMENTS.
- THE PROPOSED CONSTRUCTION OPERATION MAY TAKE PLACE AT OR NEAR FENCE LINES, PROPERTY LINES AND PROPERTY IMPROVEMENTS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THESE AREAS AND FOR MAINTAINING THESE AREAS AND FACILITIES AT ALL TIMES DURING THE CONSTRUCTION OPERATION.
- THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITION AND SHALL DEFEND AND HOLD THE DEVELOPER AND TARRAR UTILITY CONSULTANTS HARMLESS FROM ANY ALLEGED CLAIMS OR LIABILITIES, EXCEPT THOSE ARISING FROM SOLE NEGLIGENCE OF THE DEVELOPER OR TARRAR UTILITY CONSULTANTS.
- THE APPROXIMATE LOCATIONS OF ALL EXISTING UTILITY COMPANY UNDERGROUND LINES, POLES BOXES, ETC., WERE OBTAINED FROM A REVIEW OF AVAILABLE UTILITY COMPANY RECORDS, REPRESENTATIONS OF UTILITY COMPANY PERSONAL, OR FIELD OBSERVATIONS. NEITHER THE DEVELOPER NOR TARRAR UTILITY CONSULTANTS ASSUME ANY RESPONSIBILITY FOR VARIANCES BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. NO EXTRA PAYMENT WILL BE MADE TO THE CONTRACTOR FOR ANY ADDITIONAL TRENCHING, BOX EXCAVATIONS, MATERIALS, ETC., THAT MAY BE REQUIRED TO COMPLETE THIS PROJECT IN THE EVENT AN EXISTING TIE-IN POINT SUBSTRUCTURE IS EITHER NON-EXISTING OR IS NOT SHOWN ON THE PLANS IN ITS ACTUAL FIELD POSITION. IT IS THE CONTRACTOR'S OBLIGATION AND RESPONSIBILITY TO SAFELY LOCATE ALL EXISTING UNDERGROUND FACILITIES BY SURFACE MARKING AND/OR HAND EXCAVATION PRIOR TO STARTING CONSTRUCTION.
- "DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE TO OBTAIN A CITY OF MENLO PARK ENCROACHMENT PERMIT FOR ALL WORK DONE IN THE PUBLIC RIGHT OF WAY. DEVELOPER AND/OR CONTRACTOR IS ALSO RESPONSIBLE TO PROVIDE JOINT TRENCH PLANS TO THE CITY OF MENLO PARK AT THE TIME OF APPLICATION FOR THE ENCROACHMENT PERMIT."

ABBREVIATION LIST

| | | | | | |
|------------------|-----------------------------------|---|------------------------------|----------------------------|-------------------------|
| B/C | BACK OF CURB | H.P.S. | HIGH PRESSURE SODIUM | RT | RETAINING WALL |
| B/W | BACK OF WALK | IRR. | IRRIGATION CONTROLLER | R/W | RIGHT OF WAY |
| BTU | BRITISH TERM UNITS | J.T. | JOINT TRENCH | SCH. | SCHEDULE |
| CB | CATCH BASIN | KV | KILO-VOLTS | SD | STORM DRAIN |
| ℄ | CENTERLINE | LE | LANDSCAPE EASEMENT | SHT. | SHEET |
| CAT. | CATALOG | LF | LINEAR FOOT/FEET | S/W | SIDE WALK |
| C OR CATV | CABLE TELEVISION | MH | MANHOLE | SS | SANITARY SEWER |
| CFH | CUBIC FEET PER HOUR | MIN. | MINIMUM | SSE | SANITARY SEWER EASEMENT |
| C.I.P. | CAPITOL IMPROVEMENT PROJECT | MPGE | MINIMUM POINT OF ENTRY | ST. LT.-S/L | STREET LIGHT |
| CL | CENTER LINE | N.T.S. | NOT TO SCALE | SUBD'V | SUBDIVISION |
| CU | COPPER | O.D. | OUTER DIAMETER | Sqft. | SQUARE FOOTAGE |
| E | ELECTRIC | O.H. | OVER HEAD | T | TELEPHONE |
| EDGE OF PAVEMENT | PIEUE | PRIVATE INGRESS, EGRESS, AND UTILITY EASEMENT | TUC | TARRAR UTILITY CONSULTANTS | |
| EVAE | EMERGENCY VEHICLE ACCESS EASEMENT | ℄ | PROPERTY LINE | TYP. | TYPICAL |
| EX | EXISTING | P.S. | POWER SUPPLY | T/S | TRAFFIC SIGNAL |
| F/C | FACE OF CURB | PROJ. | PROJECT | U.G. | UNDERGROUND |
| FH | FIRE HYDRANT | PSDE | PRIVATE STORM DRAIN EASEMENT | U.O.N. | UNLESS OTHERWISE NOTED |
| FUT. | FUTURE | PSE | PUBLIC SERVICE EASEMENT | V | VOLT |
| F.O. | FIBER OPTIC | PVAW | PRIVATE VEHICLE ACCESS WAY | W | WATT |
| G | GAS | P.V.C. | POLY VINYL CHLORIDE | WT | WATER |
| GALV. | GALVANIZE | PwE | PUBLIC WATER LINE EASEMENT | W/ | WITH |
| G.E. | GENERAL ELECTRIC | PWR | POWER | W/O | WITHOUT |
| GRD. | GROUND | PUE | PUBLIC UTILITY EASEMENT | WLE | WATER LINE EASEMENT |
| H.O.A. | HOME OWNERS ASSOCIATION | | | XFMR | TRANSFORMER |

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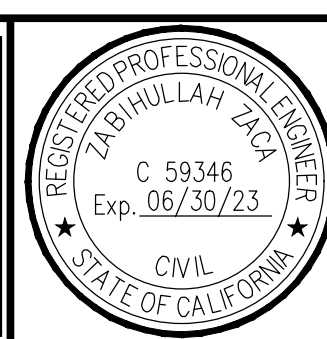
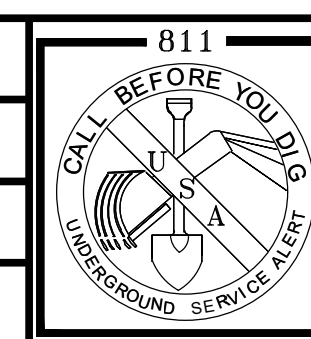


- Planning
- Design
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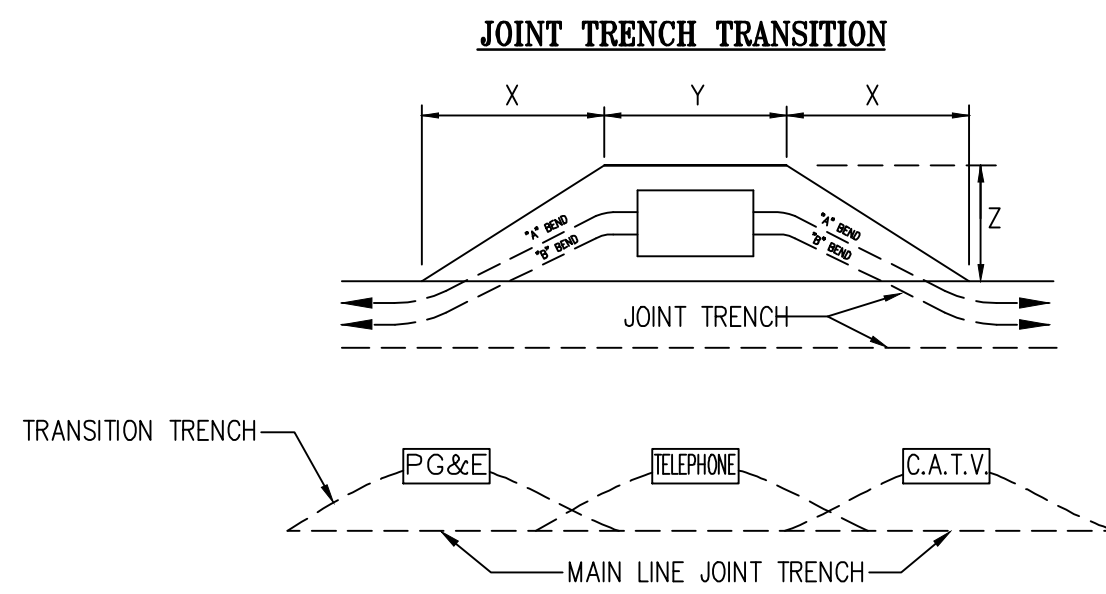
JOINT TRENCH GENERAL NOTES AND DETAILS
MARCH CAPITAL MANAGEMENT
3705 HAVEN AVENUE
MENLO PARK CALIFORNIA

| NO. | REVISIONS | BY | DATE |
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DATE: MAY 2022 DATE LAST WORKED ON: 3/20/2024
SCALE: NOT TO SCALE DRAWN: HK CHECKED: AR
JOB NO.: 222068
INTENT TO CONSTRUCT



SHEET
JT2
OF
JT5
SHEETS
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| BEND | PRIMARY BOX SIZE | DISTANCE (when conduit enters box) | | | NOTES |
|------|------------------|------------------------------------|-----|-----|--|
| | | "X" | "Y" | "Z" | |
| "A" | 3' x 5' | 24" | 7' | 5' | BEND IS 60° RADIUS WITH AN ANGLE OF 10 DEG. USE 2-5 COUPLINGS WITH 1-5' CONDUIT SECTION FOR EACH BEND SHOWN. |
| | 4'-6" x 8'-6" | 24" | 11' | 7' | |
| "B" | 3' x 5' | 32" | 7' | 5' | BEND IS 30° RADIUS WITH AN ANGLE OF 15 DEG. USE 3-5 COUPLINGS WITH 2-2 1/2' CONDUIT SECTION FOR EACH BEND SHOWN. |
| | 4'-6" x 8'-6" | 32" | 11' | 7' | |

- NOTE:**
- CONTRACTOR TO EXCAVATE TRANSITIONS FROM MAIN-LINE TRENCH TO VAULTS AS REQUIRED BY EACH UTILITY.
 - TRANSITIONS NOT SHOWN ON COMPOSITE DRAWING FOR CLARITY.
 - CONTRACTOR TO INCLUDE COST OF TRANSITIONS IN VAULT EXCAVATION COST.

DETAIL 1 TYPICAL PRIMARY BOX EXCAVATION USING CONDUIT
N.T.S. JT3

CONSTRUCTION LABOR AND MATERIAL RESPONSIBILITY

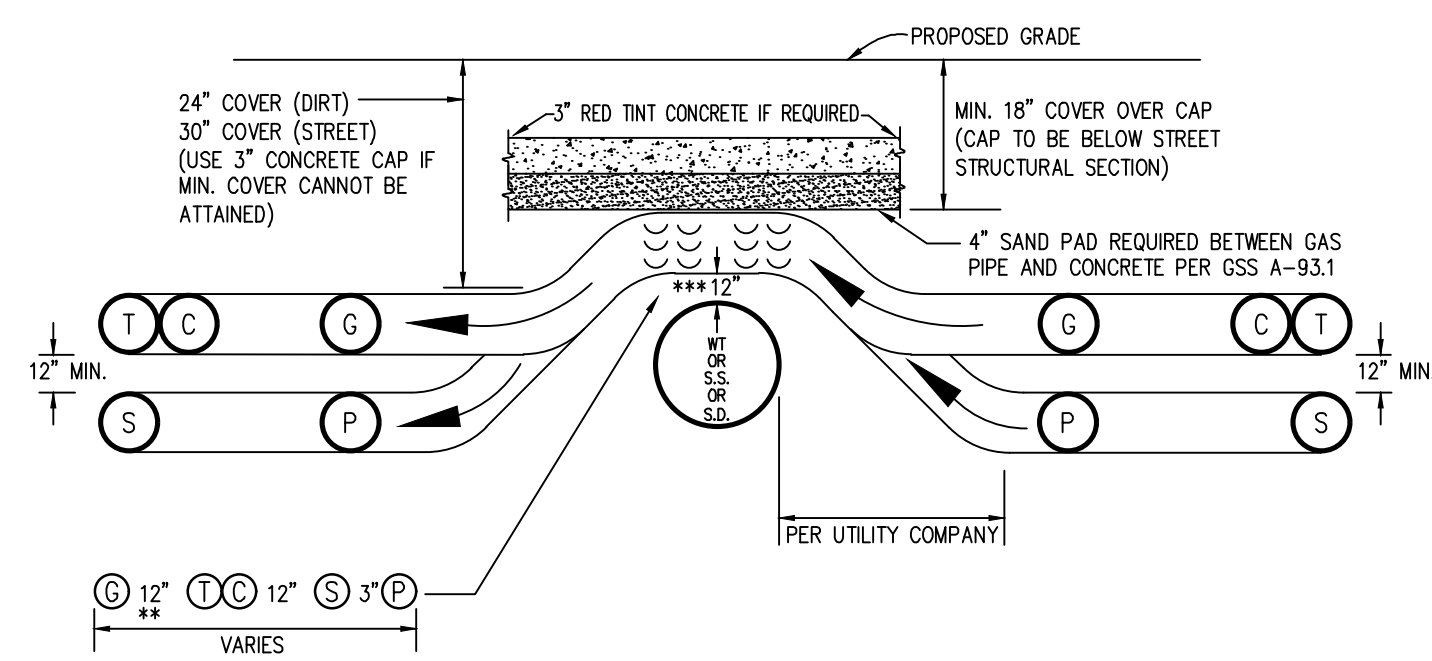
PUBLIC UTILITY SYSTEM (JOINT TRENCH)

- TRENCHING: EXCAVATE, BACKFILL AND COMPACT. ○
- GAS MATERIAL: FURNISH ○
- ELECTRIC CABLE: FURNISH ○
- ELECTRIC CONDUIT: FURNISH ○
- ELECTRIC SPLICE BOXES: EXCAVATE ○
- ELECTRIC TMFR ENCLS.: EXCAVATE ○
- ELECTRIC TMFR ENCLS.: FURNISH ○
- ELECTRIC TMFR ENCLS.: INSTALL ○
- ELECTRIC EQUIP. ENCLS.: EXCAVATE ○
- ELECTRIC EQUIP. ENCLS.: FURNISH ○
- ELECTRIC EQUIP. ENCLS.: INSTALL ○
- ELECTRIC SWITCH PADS: EXCAVATE ○
- ELECTRIC SWITCH PADS: FURNISH ○
- ELECTRIC SWITCH PADS: INSTALL ○
- TELEPHONE CONDUIT: FURNISH ○
- TELEPHONE CABLE: FURNISH ○
- TELEPHONE CABLE: INSTALL ○
- TELEPHONE SPLICE BOX: EXCAVATE ○
- TELEPHONE SPLICE BOX: FURNISH ○
- TELEPHONE SPLICE BOX: INSTALL ○
- TELEPHONE INTER. PADS: EXCAVATE ○
- TELEPHONE INTER. PADS: FURNISH ○
- TELEPHONE INTER. PADS: INSTALL ○
- C.A.T.V. CONDUITS: FURNISH ○
- C.A.T.V. CONDUITS: INSTALL ○
- C.A.T.V. SPLICE BOXES: EXCAVATE ○
- C.A.T.V. SPLICE BOXES: FURNISH ○
- C.A.T.V. SPLICE BOXES: INSTALL ○

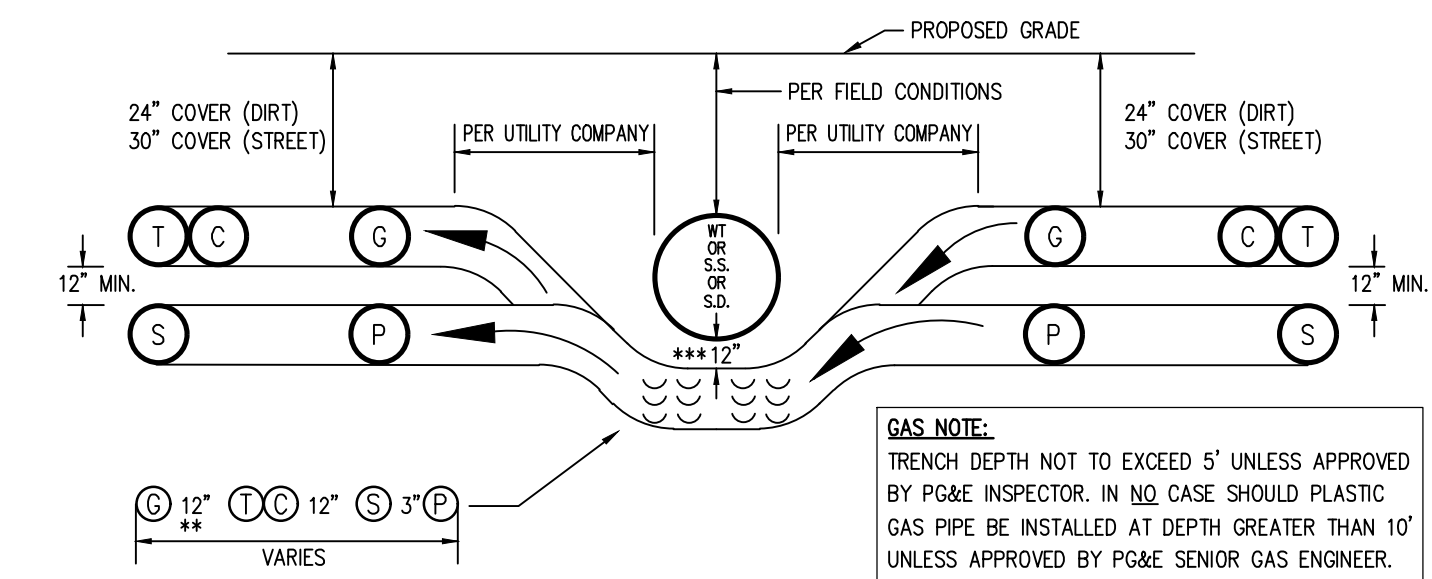
STREET LIGHTING SYSTEM (N/A)

- WIRE: FURNISH ○
 - CONDUIT: FURNISH ○
 - BASES: FURNISH ○
 - LUMINAIRES: FURNISH ○
 - SPLICE BOXES: FURNISH ○
 - POLES & ARMS: EXCAVATE ○
 - POLES & ARMS: FURNISH ○
 - POLES & ARMS: INSTALL ○
- SCHEDULE:
- INSTALL IN JOINT TRENCH: _____
- INSTALL IN SEPARATE TRENCH: _____
- CONDUIT SIZE: _____
- CONDUIT TYPE: _____
- WIRE SIZE: _____ TYPE: _____
- ADDITIONAL NOTES:
- DEVELOPER TO SUPPLY AND INSTALL GAS & ELECTRIC FACILITIES UNDER THE COMPETITIVE BIDDING PROVISIONS OF PG&E GREEN BOOK RULES 15, 16 AND 20.

● DESIGNATES THE WORK TO BE PERFORMED BY THE CONTRACTOR AND EACH UTILITY COMPANY.



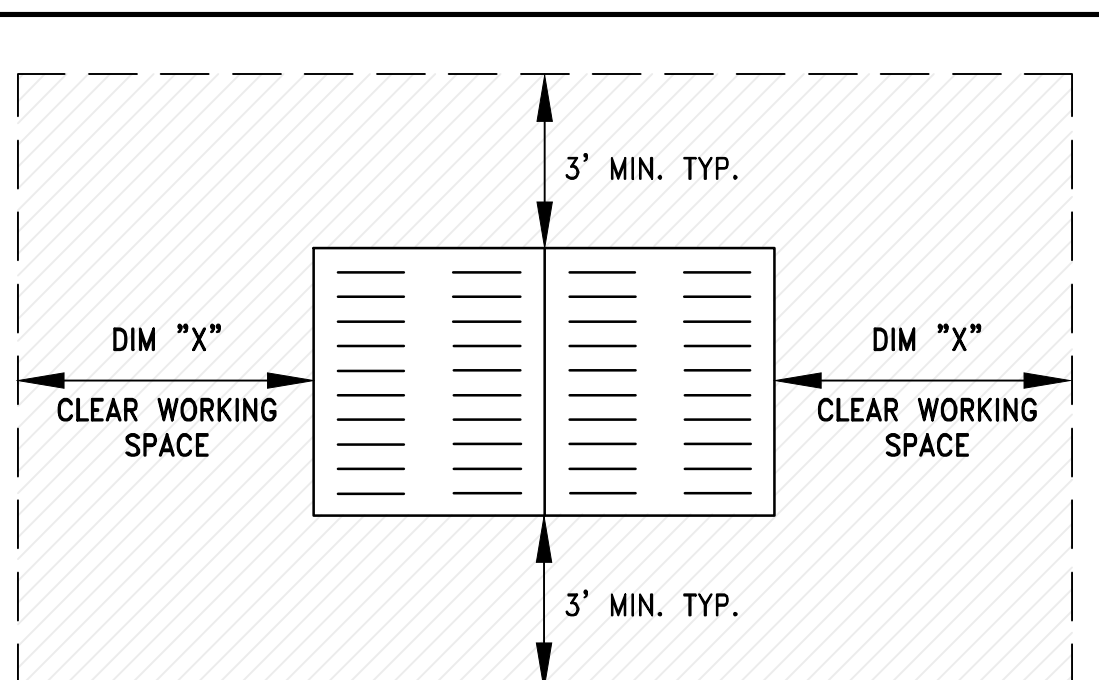
JOINT TRENCH OVER WATER, SANITARY SEWER OR STORM DRAIN CHOICE 1 (PREFERRED METHOD)



JOINT TRENCH UNDER WATER, SANITARY SEWER OR STORM DRAIN CHOICE 2 (OPTIONAL METHOD)

- * SEE MINIMUM COVER & CLEARANCE CHART
- ** WITH MUTUAL AGREEMENT, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE & CATV).
- *** 6" MINIMUM REQUIRED BY PG&E-ADDITIONAL CLEARANCE MAYBE REQUIRED BY CITY OR COUNTY

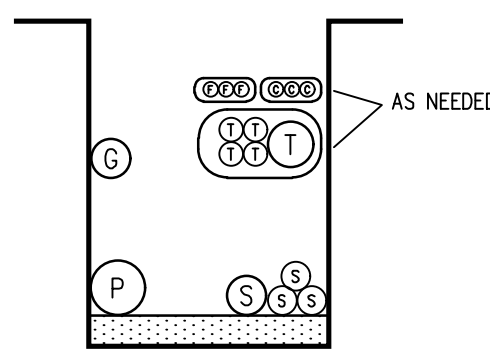
DETAIL 2 OVER UNDER DETAILS
N.T.S. JT3



- DIM "X"
- 3' MIN. 3'0" x 5'0" ENCLOSURES
 - 4' MIN. 4' x 6'6" x 5'0" ENCLOSURES
 - 5' MIN. 4'6" x 8'6" x 6'0" ENCLOSURES (OR EASEMENT REQUIRED)

DETAIL 3 PG&E ENCLOSURE CLEARANCES
N.T.S. JT3

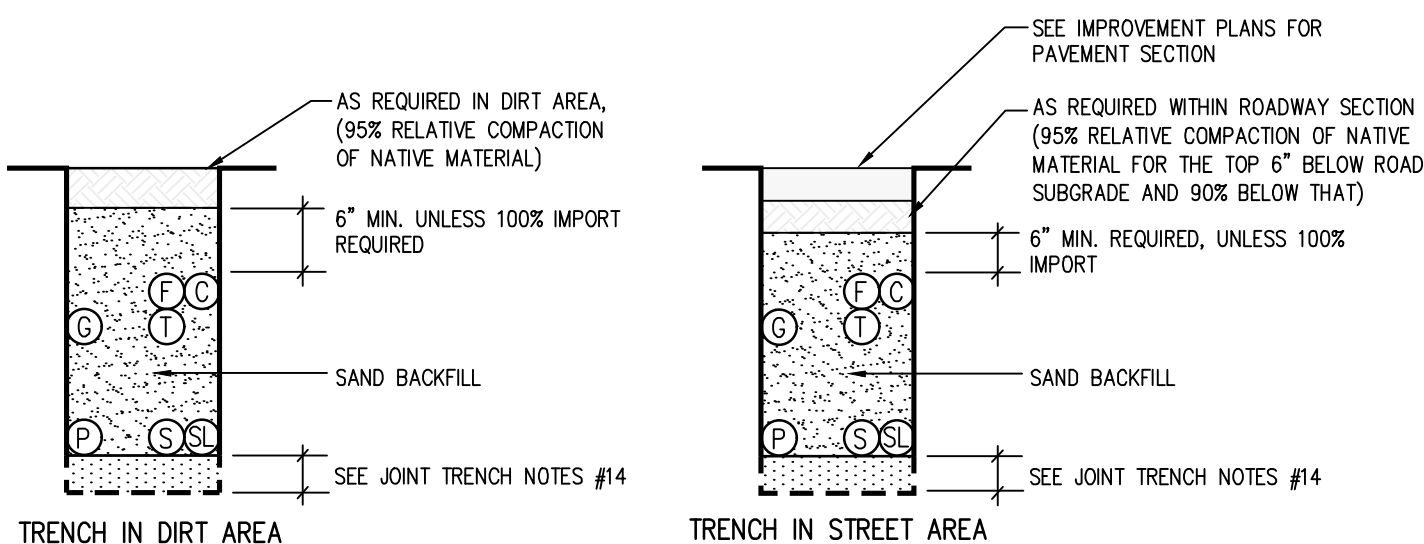
| JOINT TRENCH MINIMUM COVER AND CLEARANCES | | | | | | | | | | | | |
|---|-----|-----|-----|-----|------|-----|-----|------|-----|-----|--------------------|--|
| MINIMUM SEPARATION FROM | | | | | | | | | | | | |
| UTILITY | G | T | TD | C | S | P | SL | SLP | F | FE | MINIMUM COVER | |
| G (GAS)* | - | 12" | 12" | 12" | 6" | 12" | 12" | 6" | 12" | 12" | 24"; 30" IN STREET | |
| T (TELEPHONE) DUCT | 12" | - | 1" | 12" | 12" | 12" | 12" | 12" | 1" | 12" | 24"; 30" IN STREET | |
| TD (TELEPHONE) DIRECT BURY | 12" | 1" | - | 12" | 12" | 12" | 12" | 12" | 1" | 12" | 24"; 30" IN STREET | |
| C (CABLE T.V.) | 12" | 1" | 1" | - | 12" | 12" | 12" | 12" | 1" | 12" | 24"; 30" IN STREET | |
| S (ELECT. SECONDARY) | 6" | 12" | 12" | 12" | 1.5" | 3" | 12" | 1.5" | 12" | 12" | 24"; 30" IN STREET | |
| P (ELECT. PRIMARY) | 12" | 12" | 12" | 12" | 3" | 3" | 3" | 3" | 12" | 12" | 36"; 36" IN STREET | |
| SL (PUBLIC AND PRIVATE-STREET LIGHT)** | 12" | 12" | 12" | 12" | 12" | - | 12" | 12" | 12" | 12" | 24"; 30" IN STREET | |
| SLP (P.G.E.-STREET LIGHT) | 6" | 12" | 12" | 12" | 1.5" | 3" | 12" | 1.5" | 12" | 12" | 24"; 30" IN STREET | |
| FE (FOREIGN ELECTRIC SOURCES, NON PG&E) | 12" | 12" | 12" | 12" | 12" | 12" | 12" | 12" | 12" | - | 24"; 30" IN STREET | |
| F (FIBER OPTIC) | 12" | 1" | 1" | 1" | 12" | 12" | 12" | 12" | - | 12" | 24"; 30" IN STREET | |



TYPICAL EXAMPLE OF STACKING FACILITIES IN JOINT TRENCH

LEGEND

- MEETS UTILITY TRENCH ALLOTMENT
- EXCEEDS UTILITY TRENCH ALLOTMENT
- ⊖ GAS
- ⊖ ELECTRIC PRIMARY
- ⊖ ELECTRIC SECONDARY
- ⊖ TELEPHONE (DUCT OR DIRECT BURY)
- ⊖ CATV
- ⊖ STREET LIGHT (PUBLIC OR PRIVATE)
- ⊖ STREET LIGHT (PG&E)
- ⊖ FOREIGN ELECTRIC
- ⊖ FIBER OPTIC



TRENCH IN DIRT AREA

TRENCH IN STREET AREA

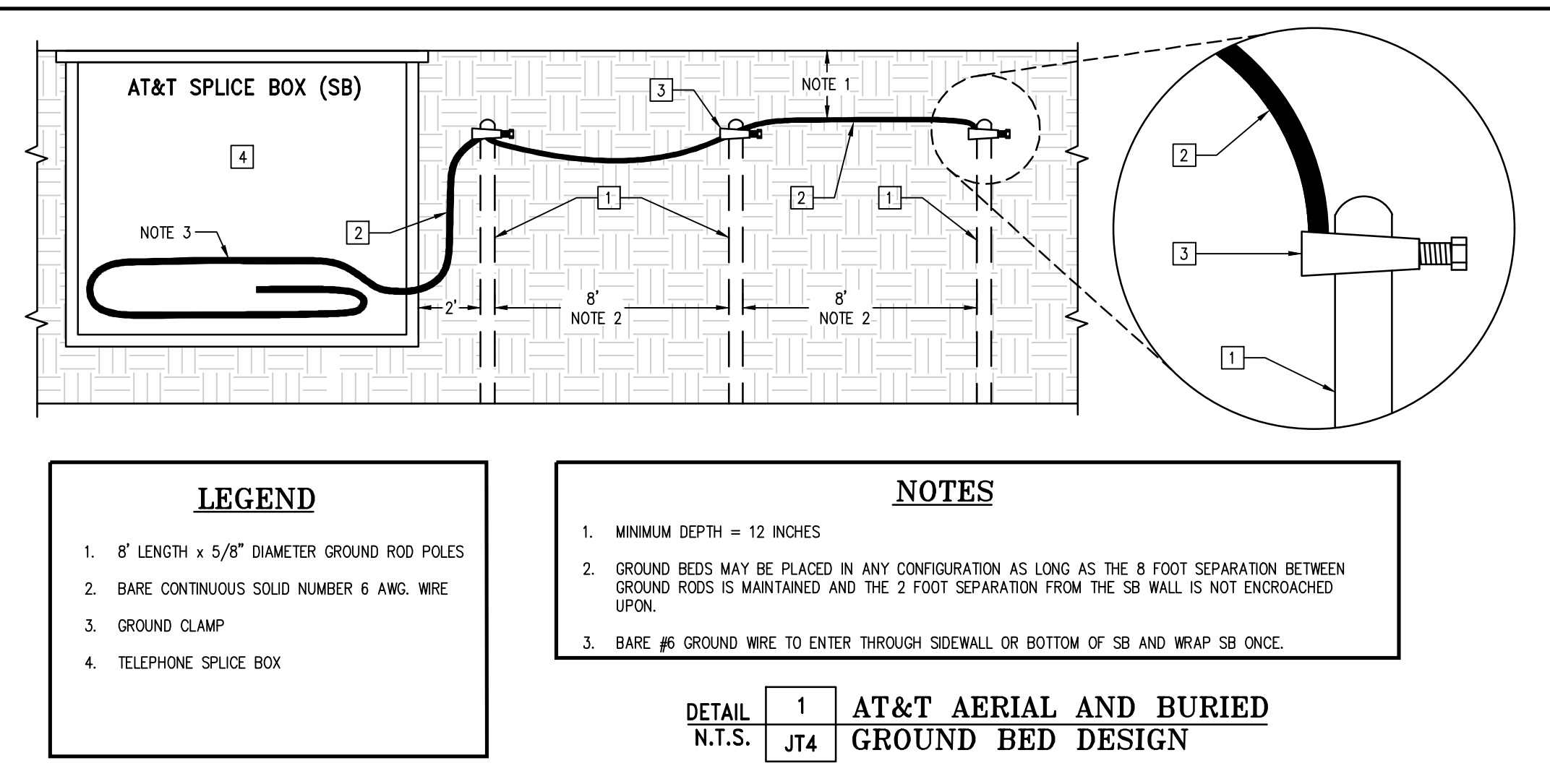
JOINT TRENCH NOTES:

- TRENCH COVER & CLEARANCES SHOWN ARE MINIMUMS ONLY AND MAY REQUIRE ALTERATIONS TO SUIT FIELD CONDITIONS.
- IT IS RECOMMENDED THAT ALL FACILITIES ARE TO BE A MINIMUM OF 12" BELOW SUB-BASE DISTURBANCE.
- * WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED, SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
- * WHERE 6" GAS MAIN IS LOCATED IN THE JOINT TRENCH A 18" MINIMUM SEPARATION FROM GAS MAIN TO ALL UTILITIES WILL BE REQUIRED.
- ** WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, STREET LIGHT SEPARATION MAY BE REDUCED TO 0" BETWEEN STREET LIGHT AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
- TRENCH CONFIGURATIONS SHOWN ARE FOR INSTALLATION WHERE EACH OCCUPANT IS UTILIZING HIS ENTIRE SPACE ALLOCATION. OTHER CONFIGURATIONS OR REDUCED DIMENSIONS MAY BE USED, PROVIDED THAT MINIMUM COVER AND CLEARANCES ARE MAINTAINED.
- THE CONTRACTOR IS TO ADJUST TRENCH DEPTHS AT ALL JOINT TRENCH LATERAL CROSSINGS TO MAINTAIN REQUIRED CLEARANCES BETWEEN ALL PARTICIPATING UTILITIES.
- TRENCH SECTIONS ARE SHOWN SCHEMATICALLY AND INDICATE AREAS OF OCCUPANCY ONLY; THEY DO NOT REFLECT SIZE OR QUANTITY OF FACILITIES TO BE INSTALLED.
- TRENCH FOOTAGES PER SECTION ARE APPROXIMATE. SECTIONS ARE DESIGNED TO ACCOMMODATE ALL REQUIRED FACILITIES AS INDICATED ON EACH TRENCH PARTICIPANT'S CONSTRUCTION DRAWINGS.
- THE CONTRACTOR SHALL VERIFY TRENCH FOOTAGES FOR ACCURACY PRIOR TO EXCAVATION AND TAKE NECESSARY PRECAUTION CROSSING WATER AND SEWER FACILITIES.
- THE CONTRACTOR SHALL REFER TO THE COMPOSITE, CONDUIT, AND/OR EACH RESPECTIVE UTILITY INSTALLATION PLAN FOR THE NECESSARY CONDUIT CABLE AND/OR PIPE TO BE INSTALLED IN THIS PROJECT.
- TYPE "M2" TRENCH SHALL BE INSTALLED AFTER CURB AND GUTTER INSTALLATION. CONTRACTOR SHALL COORDINATE ADDITIONAL MOVE-INS NECESSARY TO COMPLETE THE SERVICES TO THE DWELLING UNITS WITH THE DEVELOPER, ALL AGENCIES AND THE UTILITY COMPANIES. THE COST OF THESE MOVE-INS SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR TRENCHING.
- THE AVERAGE TRENCH DEPTHS SHOWN ARE BASED ON THE MINIMUM UTILITY COMPANY REQUIREMENTS FOR DEPTH AND SEPARATION. CONTRACTOR SHALL ADJUST TRENCH WIDTH & DEPTH AS REQUIRED TO ADEQUATELY CLEAR EXISTING UNDERGROUND FACILITIES AND MAINTAIN MINIMUM UTILITY CLEARANCES. ALL TRENCHES OVER 60" DEEP MUST COMPLY WITH OSHA REQUIREMENTS. (SEE THE JOINT TRENCH MINIMUM COVER AND CLEARANCE TABLE)
- CONTRACTOR SHALL USE SAND BEDDING AND SHADING AS REQUIRED BY THE UTILITY COMPANIES. THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE BEDDING MATERIAL. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO PG&E GREEN BOOK PUBLICATION S5453, EXHIBIT B AND AT&T SPEC95 "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
- ALL TRENCHING AND BACKFILLING TO BE DONE IN ACCORDANCE WITH THE CITY OF MENLO PARK ENGINEERING STANDARDS AND SPECIFICATIONS.
- ALL PG&E, TELEPHONE, CABLE, AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3" SEPARATION FROM SEWER AND WATER LATERALS AND DRIVEWAYS. ALL UTILITY VAULTS, BOXES, PEDESTALS, ETC. MUST MAINTAIN A 5' MINIMUM CLEARANCE FROM FIRE HYDRANTS, AND 3' MINIMUM FROM STREETLIGHTS.

JOINT TRENCH OCCUPANCY GUIDE

| TRENCH SECTION | A* | B* | C* | D* | E* | F* | G* | H* | I | J | K | L | M | N | O | P | Q | R | S | T | U | V | W |
|----------------|----|----|----|----|----|----|----|----|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| GAS | X | X | X | X | | | | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| TELEPHONE | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| CABLE T.V. | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| ELECTRIC SEC. | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| ELECTRIC PRI. | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| FIBER OPTICS | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY



LEGEND

- 8' LENGTH x 5/8" DIAMETER GROUND ROD POLES
- BARE CONTINUOUS SOLID NUMBER 6 AWG. WIRE
- GROUND CLAMP
- TELEPHONE SPLICE BOX

NOTES

- MINIMUM DEPTH = 12 INCHES
- GROUND BEDS MAY BE PLACED IN ANY CONFIGURATION AS LONG AS THE 8 FOOT SEPARATION BETWEEN GROUND RODS IS MAINTAINED AND THE 2 FOOT SEPARATION FROM THE SB WALL IS NOT ENCROACHED UPON.
- BARE #6 GROUND WIRE TO ENTER THROUGH SIDEWALL OR BOTTOM OF SB AND WRAP SB ONCE.

DETAIL 1 AT&T AERIAL AND BURIED
N.T.S. JT4 GROUND BED DESIGN

THIS AREA RESERVED FOR JOINT TRENCH SECTIONS
TO BE PLACED AT A LATER TIME

813 First Street
Brentwood, CA 94513
(925) 240-2595
(925) 240-7013 fax
www.tarrar.com

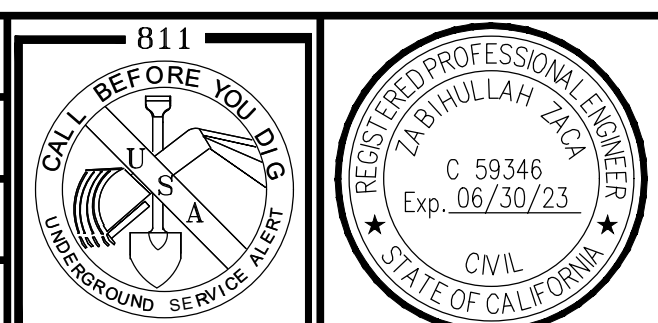


- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- I-24
- PG&E Gas Design
- PG&E Elec. Design
- M. E. P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH SECTIONS AND DETAILS
MARCH CAPITAL MANAGEMENT
3705 HAVEN AVENUE
MENLO PARK CALIFORNIA

| NO. | REVISIONS | BY | DATE |
|-----|-----------|----|------|
| | | | |

| | |
|----------------------------|--------------------------------|
| DATE: MAY 2022 | DATE LAST WORKED ON: 3/21/2024 |
| SCALE: NOT TO SCALE | DRAWN: HK |
| | CHECKED: AR |
| JOB NO.: 222068 | |
| INTENT TO CONSTRUCT | |



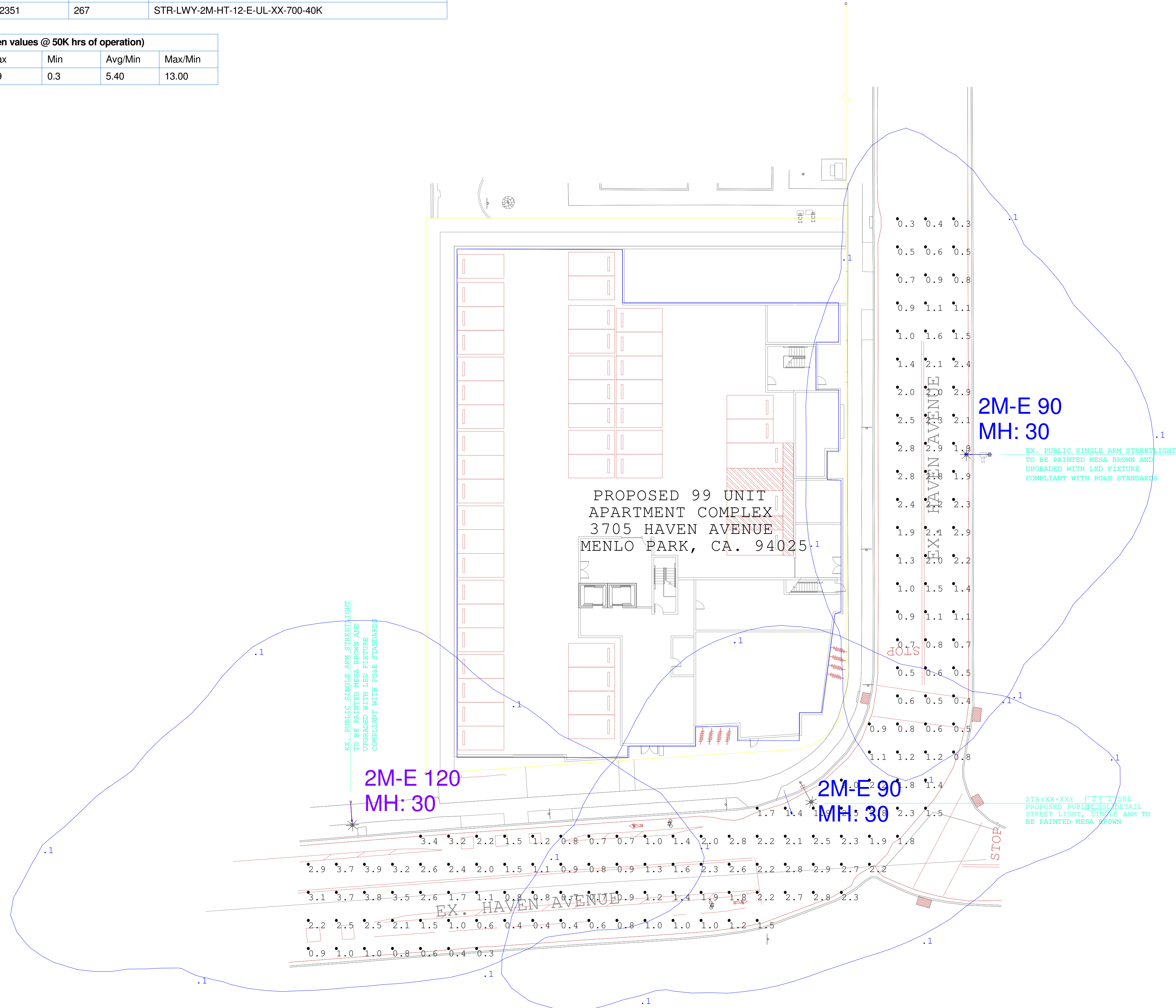
SHEET
JT4
OF
JT5
SHEETS

| Luminaire Schedule | | | | | | | |
|--------------------|-----|----------|-------------|-------|-------------|------------|----------------------------------|
| Symbol | Qty | Label | Arrangement | LMF | Lum. Lumens | Lum. Watts | Part Number |
| → | 2 | 2M-E 90 | SINGLE | 0.970 | 16774 | 203 | STR-LWY-2M-HT-09-E-UL-XX-700-40K |
| → | 1 | 2M-E 120 | SINGLE | 0.970 | 22351 | 267 | STR-LWY-2M-HT-12-E-UL-XX-700-40K |

| Calculation Summary (Footcandles calculated using predicted lumen values @ 50K hrs of operation) | | | | | | |
|--|-------|------|-----|-----|---------|---------|
| Label | Units | Avg | Max | Min | Avg/Min | Max/Min |
| ROADWAY | Fc | 1.62 | 3.9 | 0.3 | 5.40 | 13.00 |

NOTE: EXISTING POLES AND FIXTURES

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***



MARCH CAPITAL MANAGEMENT 3705 HAVEN AVENUE MENLO PARK SAN MATEO COUNTY CALIFORNIA

PUBLIC STREET LIGHTING NOTES

1. ALL MATERIAL AND WORKMANSHIP SHALL FULLY CONFORM WITH THE NATIONAL ELECTRIC CODE AND STANDARD SPECIFICATIONS AND DETAILS OF THE CITY OF MENLO PARK.
2. THE ELECTRICAL CONTRACTOR SHALL INSTALL THE UNDERGROUND SERVICE FROM THE LUMINAIRE TO PG&E SERVICE POINT AND TERMINATE CONDUIT AND WIRES AT BOX AS DIRECTED BY THE CITY.
3. KEEP STREET LIGHTS A MINIMUM OF 3 FEET AWAY FROM THE EDGE OF DRIVEWAYS, SEWER AND WATER LATERALS, AND 5 FEET AWAY FROM FIRE HYDRANTS & CATCH BASINS.
4. TWO OR MORE STREET LIGHTS ON THE SAME CIRCUIT SHALL BE WIRED TO BALANCE THE LOAD. (SEE WIRING DIAGRAM), UNLESS OTHERWISE NOTED.
5. **CONDUIT AND FITTINGS:** ALL CONDUIT AND FITTINGS SHALL BE U.L. APPROVED SCHEDULE 40 P.V.C., USE MINIMUM 1-1/2" SCH. 40 P.V.C. CONDUIT AND FITTINGS BELOW GRADE, UNLESS OTHERWISE NOTED OR REQUIRED. MINIMUM RADIUS BENDS SHALL BE 18". FOR ABOVE GROUND INSTALLATION USE METALLIC RIGID STEEL CONDUIT. PROVIDE PULL WIRE IN EMPTY CONDUITS. ALL CROSSINGS TO BE PERPENDICULAR TO STREET.
6. **CONDUIT DEPTH:** 24" UNDER SIDEWALK; 24" UNDER PLANTER STRIP; 30" UNDER PAVEMENT.
7. **CABLE:** CABLE SHALL BE U.L. A.W.G. NO. 8, 7-STRAND SOFT COPPER, TYPE THW OR THWN WITH MINIMUM OF 3/64" (40 MIL) POLYVINYLCHLORIDE INSULATION, UNLESS OTHERWISE NOTED. U.L. LISTED 600 VOLT, NO. 10 IN POLE MAY BE USED (40 MIL INSULATION).
8. **SPlice BOXES:** SPlice BOXES SHALL BE NO. 3-1/2 STATE TYPE WITH LID AND BRASS HOLD DOWN BOLTS, UNLESS OTHERWISE NOTED. LIDS TO BE INSCRIBED "STREET LIGHTING". SPlice BOXES SHALL NOT BE MORE THAN 200 FEET APART ON LONG RUNS. SPlice BOXES TO BE SET ON A CONCRETE FOOTING WHEN SUBJECT TO TRAFFIC LOAD.
9. **FUSES:** EACH POLE SHALL BE FUSED WITH WATERPROOF IN-LINE FUSE HOLDERS AT EACH ADJACENT BOX WITH 5 AMP FUSE. FOR DUPLEX LIGHTS, EACH LUMINAIRE SHALL BE FUSED SEPARATELY.
10. **SPlicing:** ALL SPlicing SHALL BE MADE IN HAND HOLES OR SPlice BOXES ONLY. SPlicing SHALL BE MADE WITH "STACK-ON" CRIMP JOINTS, "SCOTCH LOCK" FASTENERS, OR APPROVED EQUAL. ON SPlicing MADE BELOW GRADE, WRAP WITH MOISTURE PROOF INSULATION THICKNESS.
11. **POLE NUMBERS:** OBTAIN AND PLACE POLE NUMBERS ON ALL STREET LIGHT STANDARDS AS REQUIRED. COORDINATE WITH PG&E AND/OR CITY FOR THEIR REQUIREMENTS.
12. **TRENCH:** CONDUIT CANNOT BE PLACED IN JOINT TRENCH. THE CONDUIT LAYOUT IS SHOWN SCHEMATICALLY. SEE COMPOSITE DRAWING FOR TRENCH AND BOX LOCATIONS. ANY INCIDENTAL TRENCHING NOT PROVIDED BY TRENCHING AGENT IS CONTRACTOR'S RESPONSIBILITY.
13. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRAR UTILITY CONSULTANTS.
14. TARRAR UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. CONTRACTOR SHOULD REVIEW PROJECT SITE PRIOR TO SUBMITTING ITS BID.
15. CONTRACTOR TO CONSULT WITH LOCAL AGENCIES FOR THEIR CIRCUIT GROUNDING REQUIREMENTS. IF GROUND WIRE IS REQUIRED IN CONDUIT, INSTALL ACCORDINGLY.
16. LEGEND SYMBOLS ARE SHOWN IN STREET AREA FOR CLARITY. INSTALL BEHIND CURB AND/OR SIDEWALK PER THE CITY SPECIFICATIONS KEEP CLEAR OF DRIVEWAYS AND PATHWAYS (TYPICAL).
17. CENTERLINE OF STREET LIGHTS SHALL BE LOCATED ON THE LOT LINE UNLESS OTHERWISE NOTED ON THESE PLANS.
18. ANY CHANGES OR MODIFICATIONS TO PROPOSED STREET LIGHT LOCATIONS SHALL BE APPROVED, IN WRITING, BY THE CITY PRIOR TO INSTALLATION.
19. SET ALL STREET LIGHTS TO ULTIMATE FINISHED GRADE. CONSULT WITH CITY FOR PROPER PHYSICAL PROTECTION AND/OR SIGNING AND STRIPING ADJACENT TO ANY STREET LIGHTS INSTALLED IN THEIR ULTIMATE LOCATIONS THAT ARE NOT PROTECTED BY A VERTICAL CURB. BERM AND COMPACT EARTH TO FINISHED GRADE A MINIMUM OF 5' AROUND STREET LIGHT BASES AT THESE LOCATIONS.
20. CONTACT U.S.A. (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".
21. STREET LIGHT CONDUIT BENDS SHALL HAVE A MINIMUM 2 FOOT RADIUS. UNLESS OTHERWISE SHOWN ON THE PLANS, NO BEND SHALL BE INSTALLED IN THE STREET LIGHT SYSTEM WITHOUT PRIOR APPROVAL OF THE CITY INSPECTOR.
22. ALL BOXES ARE TO BE INSTALLED WITHIN THE R/W AND/OR P.U.E. AREA.

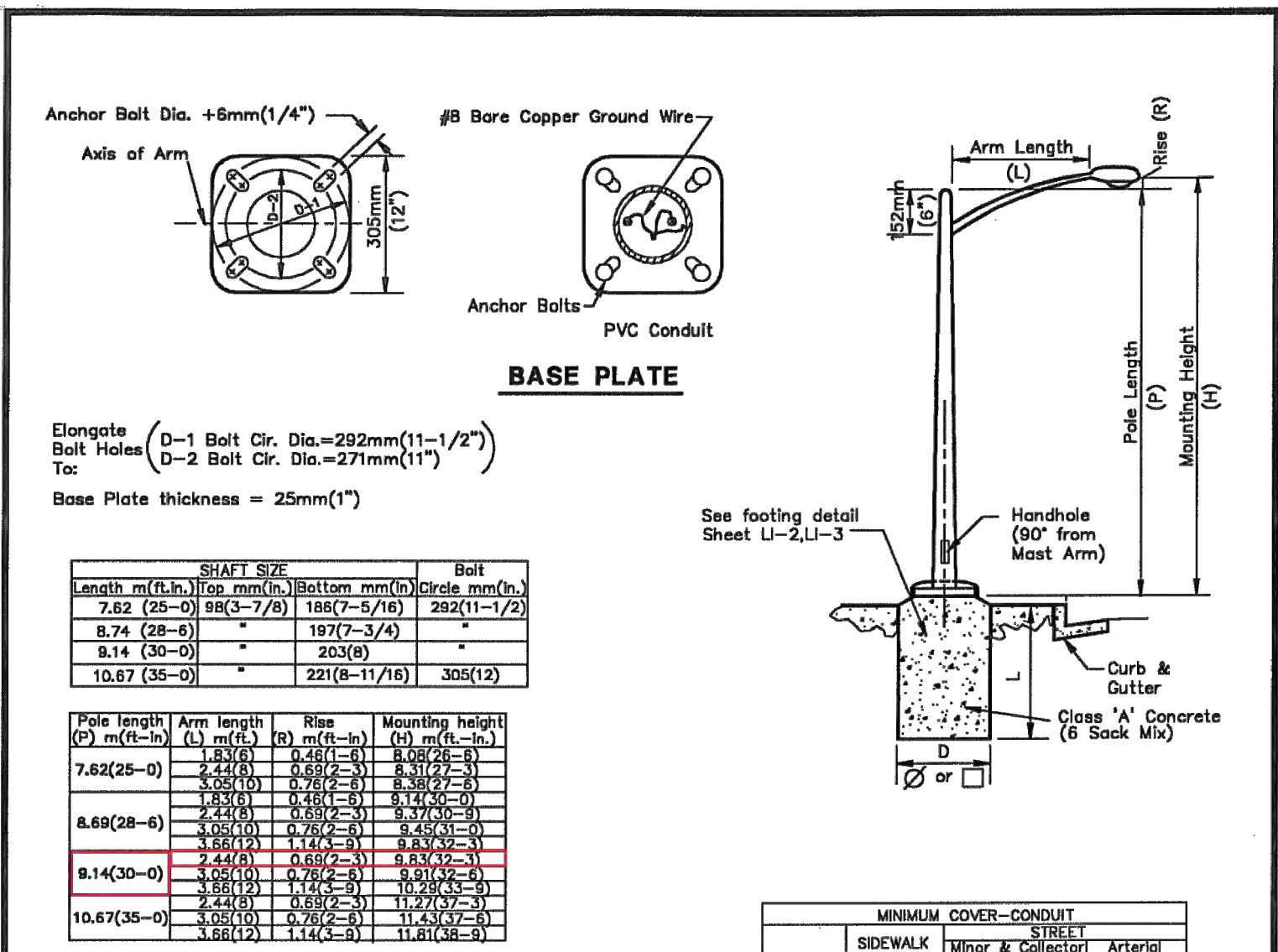
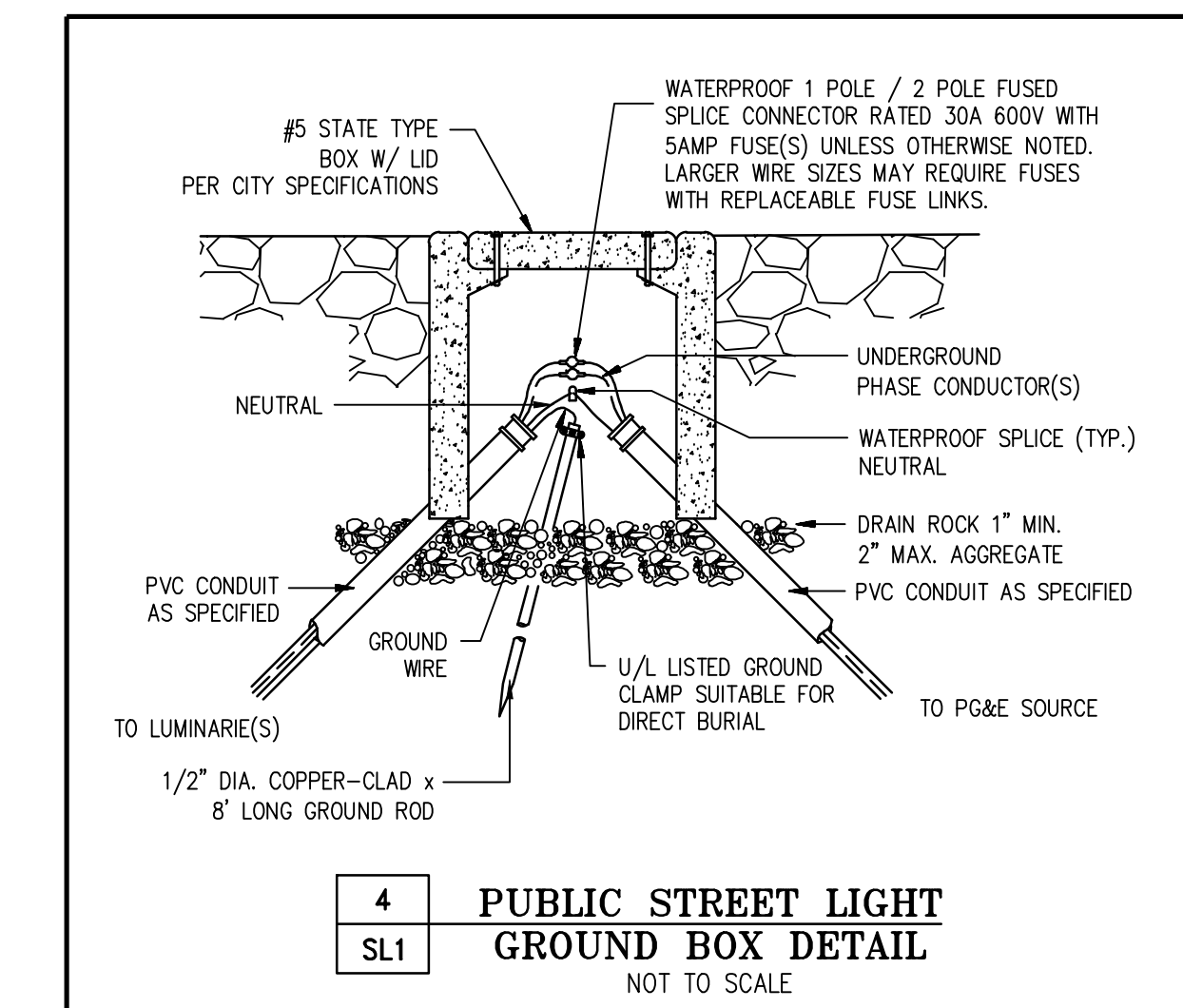
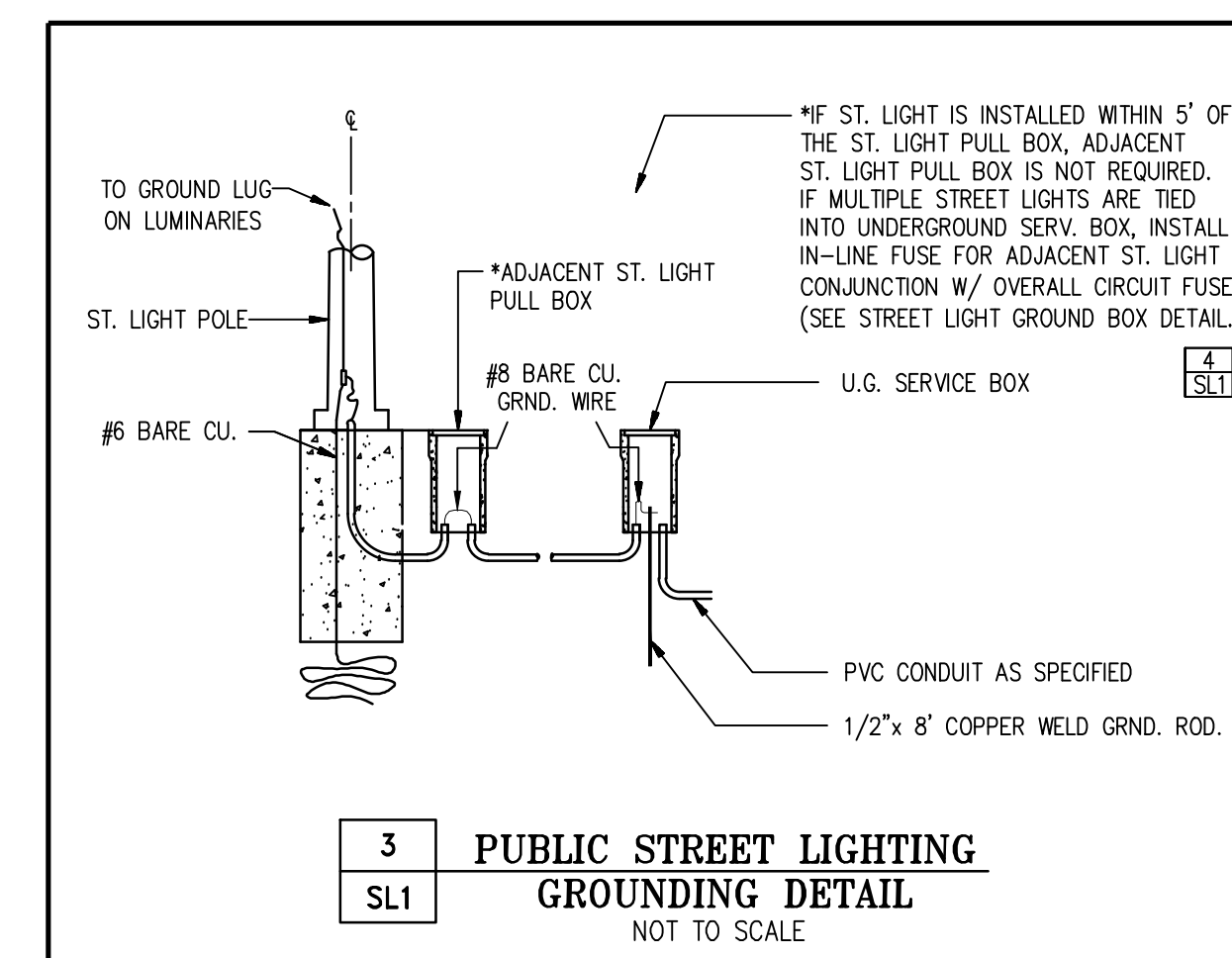
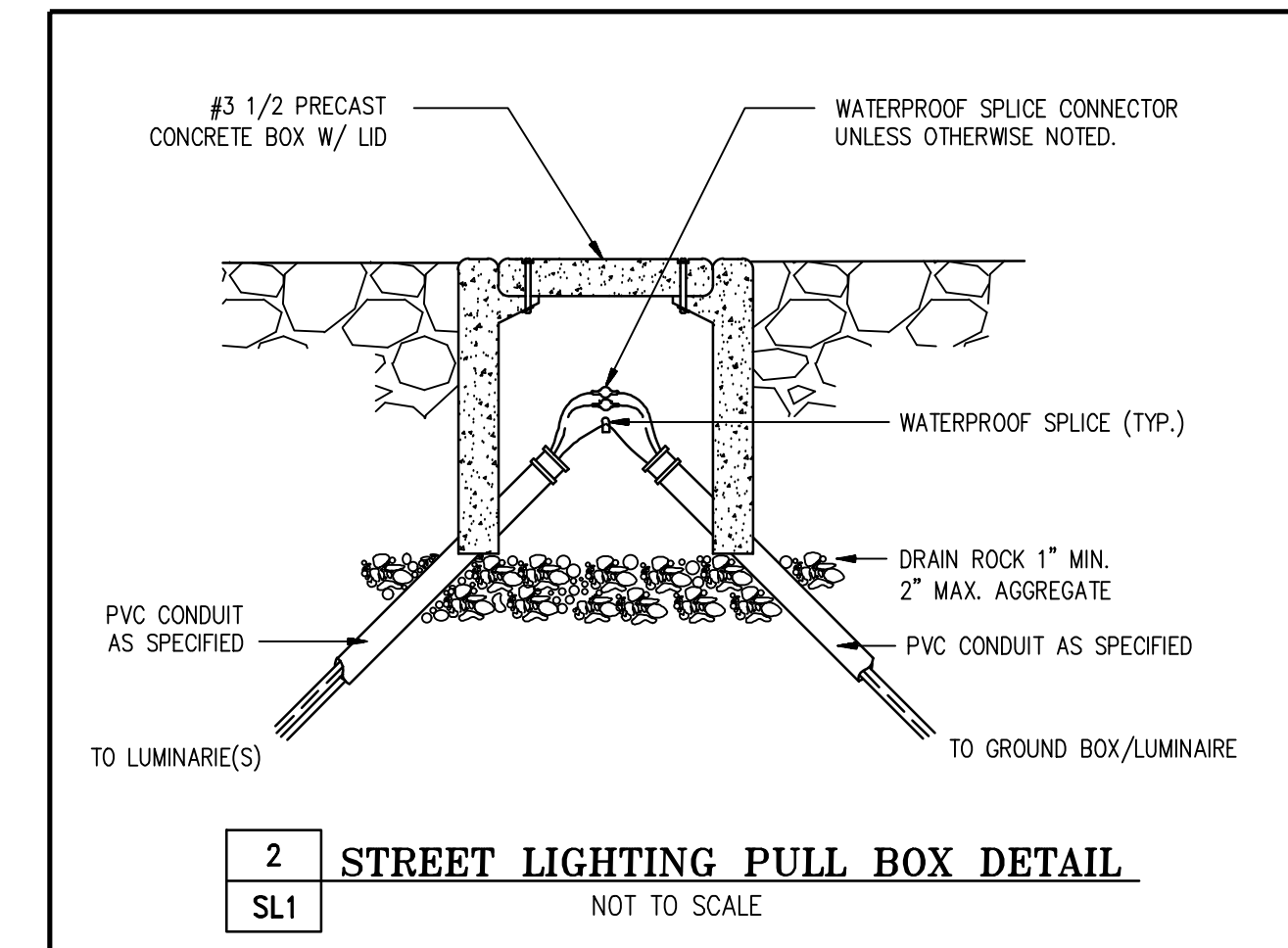
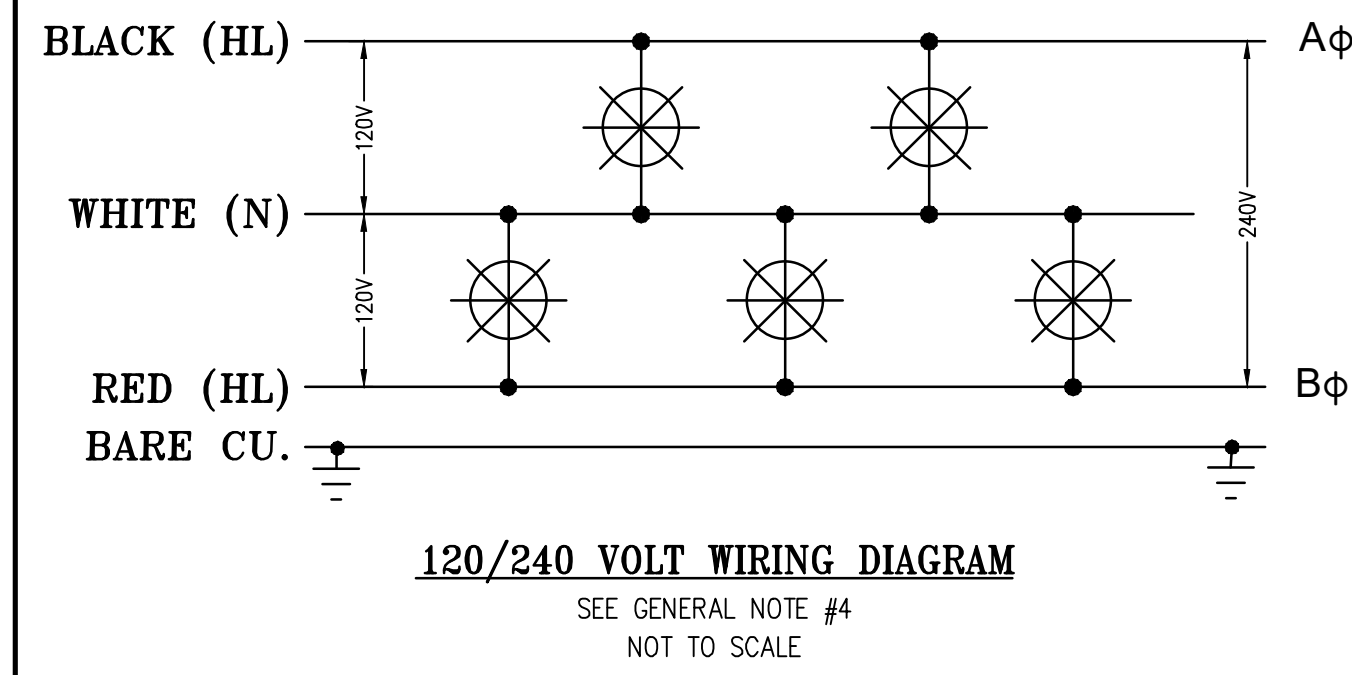
CONSTRUCTION LABOR AND MATERIAL RESPONSIBILITY STREET LIGHTING SYSTEM (PUBLIC)

| WIRE: | FURNISH: | INSTALL: | CONTRACTOR |
|-----------------|----------|----------|------------|
| CONDUIT: | FURNISH: | INSTALL: | CONTRACTOR |
| BASES: | FURNISH: | INSTALL: | CONTRACTOR |
| LUMINAIRES: | FURNISH: | INSTALL: | CONTRACTOR |
| SPlicing BOXES: | FURNISH: | INSTALL: | CONTRACTOR |
| EXCAVATE: | FURNISH: | INSTALL: | CONTRACTOR |
| POLES & ARMS: | FURNISH: | INSTALL: | CONTRACTOR |

ADDITIONAL NOTES:
 -DEVELOPER TO SUPPLY AND INSTALL ELECTRIC FACILITIES UNDER THE COMPETITIVE BIDDING PROVISIONS OF PG&E GREEN BOOK RULES 15, 16 AND 20.
 -STREET LIGHTS TO BE MAINTAINED BY LANDSCAPING DISTRICT #X-X, UPON TRACT ACCEPTANCE.
 -SEE JOINT TRENCH COMPOSITE FOR TRENCH.

LEGEND

- ESL — EXISTING STREET LIGHT CONDUIT
- SL — PROPOSED STREET LIGHT CONDUIT
- X'(XX)'S.L. COND.) STREET LIGHTING CONDUIT LABEL, X' INDICATES CONDUIT LENGTH, (XX)'S.L. COND.) INDICATES CONDUIT SIZE
- X'(XX) STREET LIGHTING WIRE LABEL, X' INDICATES WIRE LENGTH, (XX) INDICATES WIRE TYPE.
- (2W) 2-#8 CU. WIRE (SEE NOTE 15)
- (3W) 3-#8 CU. WIRE (SEE NOTE 15)
- (3WG) 2-#8 CU. WIRE & 1-#8 BARE CU. GROUND (UNLESS OTHERWISE NOTED); SEE NOTE 15 & GROUNDING DETAIL
- (4WG) 3-#8 CU. WIRE & 1-#8 BARE CU. GROUND (UNLESS OTHERWISE NOTED); SEE NOTE 15 & GROUNDING DETAIL
- STREET LIGHTING PULL BOX STATE TYPE #3 1/2, 10" x 17" x 12"
- ⊠ STREET LIGHTING GROUND BOX STATE TYPE #5, 13" x 24" x 12"
- PROPOSED PUBLIC STREET LIGHT, SINGLE ARM
- EXISTING STREET LIGHT, SINGLE ARM
- ⊙ CIRCUIT NUMBER/PHASE (SEE ELECTRIC SOURCE DETAILS)
- (XXXX) POLE NUMBER
- ⊠ STREET LIGHT POINT OF SERVICE
- F/C FACE OF CURB



- GENERAL NOTES:**
1. Anchor bolts - 25x91x102mm(1"x 3/8" x 4") (4 ea.)
 2. All steel parts shall be hot dip galvanized after fabrication.
 3. Base cover required.
 4. Pole shall be 40I (10 ga.)
 5. Conduit size: 32mm(1-1/4") min. unless otherwise noted.
 6. Conductor size: In streetlight pole & arm use #10 THWN. In conduit use #8 THWN.
 7. Handhole reinforcement ring to be 6x38mm(1/4" x 1-1/2").
 8. Luminaire shall be high pressure sodium vapor (HPSV) manufactured by General Electric or approved equal. The wattage and distribution as shown on approved plans.
 9. All street lights shall be wired to a multiple circuit, 240 volts.
 10. Poles and mounting arms shall be steel, prime coated and painted with two coats of paint, semi gloss, "Kelly Moore # 183," "Mesa Brown."
 11. All luminaires shall be installed with integral ballasts and individual photo-electric control.
 12. Luminaires shall be Semi-Cut-Off and housing shall be provided with a slip-filter capable of mounting on two inch pipe tenon and of being adjusted ±5 degrees from the axis of the tenon.

ELEVATION

| FOOTING DIMENSIONS | SINGLE ARM | DUPLEX ARM |
|--------------------|---------------|---------------|
| D | 762mm (30") | 762mm (30") |
| L | 1,520mm (60") | 1,520mm (60") |

*Except 10.67m(35') Pole
L=1.63m(5'-4")

CITY OF MENLO PARK STANDARD DETAILS

STREET LIGHT POLE AND FITTINGS

NO. 1 REVISIONS DATE: _____

APPROVED: *[Signature]*
Director of Engineering Services, P.E. No. 10028

DRAWN: _____ CHECKED: _____ DATE: 1-1-97 SCALE: NTS SHEET 1 OF 1 STD. DETAIL No.: LL-1

1 PUBLIC STREET LIGHT CITY DETAIL
SL1 NOT TO SCALE

FOR REVIEW ONLY

813 First Street
Brentwood, CA 94513
(925) 240-2595
(925) 240-7013 fax
www.tarrar.com

TARRAR

UTILITY CONSULTANTS

- Planning
- T-24
- Design
- PG&E Gas Design
- Estimating
- PG&E Elec Design
- Joint Trench
- H. E. P. Design
- Street Lighting
- Cost Analysis
- Fiber Optic
- Due Diligence

STREET LIGHTING GENERAL NOTES AND DETAILS

MARCH CAPITAL MANAGEMENT
3705 HAVEN AVENUE
MENLO PARK CALIFORNIA

| NO. | REVISIONS | BY | DATE |
|-----|-----------|----|------|
| | | | |

DATE: MAY 2022 DATE LAST WORKED ON: 4/21/2023

SCALE: NOT TO SCALE DRAWN: SM CHECKED: AR

JOB NO.: 222068 PRELIMINARY NOT FOR CONSTRUCTION

INTENT TO CONSTRUCT

811
CALL BEFORE YOU DIG
UNDERGROUND SERVICE ALERT

SHEET
SL1
SL3

LEDway® Series

LEDway® LED Street Light

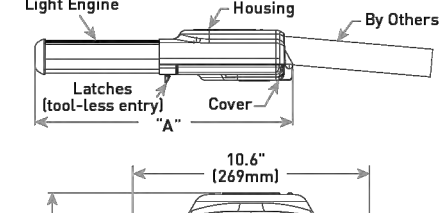
Rev. Date: V5.04/24/2020

Product Description

Luminaire housing is all aluminum construction. Standard luminaire utilizes terminal block for power input suitable for #2-#14 AWG wire. Luminaire is designed to mount on a 2" (51mm) I.P. 2.375" (60mm) O.D. horizontal tenon and/or a 1.25" (32mm) I.P. 1.44" (37mm) O.D. horizontal tenon (minimum 8" (203mm) in length) and is adjustable +/- 5° to allow for luminaire leveling (two axis T-level included). Applications: Roadway, parking lots, walkways and general area spaces

Performance Summary

- Patented NanoOptic® Product Technology
- Assembled in the U.S.A. of U.S. and imported parts
- CEC Minimum 70 CRI
- CEC 4000K (v.f. 300K, 3700K (v.f. 500K) standard
- Limited Warranty: 10 years on luminaire/10 years on Colorfast DeltaGuard® Finish



Accessories

| Field-Installed | Part Number | Description |
|--------------------------------------|-------------|--------------------------------------|
| 500 Series Light Engine | XA-500P240 | 500 Series Light Engine |
| 500 Series Housing | XA-500H240 | 500 Series Housing |
| 500 Series Mounting Cap | XA-500MC | 500 Series Mounting Cap |
| 500 Series External Backlight Shield | XA-500BS | 500 Series External Backlight Shield |

| LED Count (x10) | Dim. 2" | Weight |
|-----------------|---------------|--------------------|
| 02 | 17.5" (443mm) | 13.0 lbs. (5.9kg) |
| 03 | 17.5" (443mm) | 13.0 lbs. (5.9kg) |
| 04 | 22.0" (559mm) | 14.5 lbs. (6.6kg) |
| 05 | 22.0" (559mm) | 17.0 lbs. (7.7kg) |
| 06 | 22.0" (559mm) | 17.0 lbs. (7.7kg) |
| 07 | 26.8" (681mm) | 22.0 lbs. (10.0kg) |
| 08 | 26.8" (681mm) | 22.0 lbs. (10.0kg) |
| 09 | 26.8" (681mm) | 22.5 lbs. (10.2kg) |
| 10 | 33.1" (842mm) | 27.5 lbs. (12.5kg) |
| 11 | 33.1" (842mm) | 28.0 lbs. (12.7kg) |
| 12 | 33.1" (842mm) | 28.0 lbs. (12.7kg) |

Ordering Information

| STL-LW | 2M | HT | LED Count (x10) | Series | Voltage | Color Options* | Drive Current | Options |
|--------|----|----|-----------------|--------|---------|----------------|---------------|---|
| STL-LW | HT | HT | 02 | UL | 120V | Black | 350mA | DIM 0-10V Dimming |
| | | | 03 | UL | 120V | Black | 350mA | Control by others |
| | | | 04 | UL | 120V | Black | 350mA | Power factor correction (see sheet for details) |
| | | | 05 | UL | 120V | Black | 350mA | Control by others |
| | | | 06 | UL | 120V | Black | 350mA | Power factor correction (see sheet for details) |
| | | | 07 | UL | 120V | Black | 350mA | Control by others |
| | | | 08 | UL | 120V | Black | 350mA | Power factor correction (see sheet for details) |
| | | | 09 | UL | 120V | Black | 350mA | Control by others |
| | | | 10 | UL | 120V | Black | 350mA | Power factor correction (see sheet for details) |
| | | | 11 | UL | 120V | Black | 350mA | Control by others |
| | | | 12 | UL | 120V | Black | 350mA | Power factor correction (see sheet for details) |



US: ccre@lighting.com (800) 234-4800
Canada: ccre@lighting.com (800) 473-1234

CREE LIGHTING

LEDway® Series

LEDway® LED Street Light

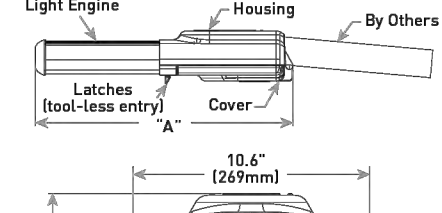
Rev. Date: V5.04/24/2020

Product Description

Luminaire housing is all aluminum construction. Standard luminaire utilizes terminal block for power input suitable for #2-#14 AWG wire. Luminaire is designed to mount on a 2" (51mm) I.P. 2.375" (60mm) O.D. horizontal tenon and/or a 1.25" (32mm) I.P. 1.44" (37mm) O.D. horizontal tenon (minimum 8" (203mm) in length) and is adjustable +/- 5° to allow for luminaire leveling (two axis T-level included). Applications: Roadway, parking lots, walkways and general area spaces

Performance Summary

- Patented NanoOptic® Product Technology
- Assembled in the U.S.A. of U.S. and imported parts
- CEC Minimum 70 CRI
- CEC 4000K (v.f. 300K, 3700K (v.f. 500K) standard
- Limited Warranty: 10 years on luminaire/10 years on Colorfast DeltaGuard® Finish



Accessories

| Field-Installed | Part Number | Description |
|--------------------------------------|-------------|--------------------------------------|
| 500 Series Light Engine | XA-500P240 | 500 Series Light Engine |
| 500 Series Housing | XA-500H240 | 500 Series Housing |
| 500 Series Mounting Cap | XA-500MC | 500 Series Mounting Cap |
| 500 Series External Backlight Shield | XA-500BS | 500 Series External Backlight Shield |

| LED Count (x10) | Dim. 2" | Weight |
|-----------------|---------------|--------------------|
| 02 | 17.5" (443mm) | 13.0 lbs. (5.9kg) |
| 03 | 17.5" (443mm) | 13.0 lbs. (5.9kg) |
| 04 | 22.0" (559mm) | 14.5 lbs. (6.6kg) |
| 05 | 22.0" (559mm) | 17.0 lbs. (7.7kg) |
| 06 | 22.0" (559mm) | 17.0 lbs. (7.7kg) |
| 07 | 26.8" (681mm) | 22.0 lbs. (10.0kg) |
| 08 | 26.8" (681mm) | 22.0 lbs. (10.0kg) |
| 09 | 26.8" (681mm) | 22.5 lbs. (10.2kg) |
| 10 | 33.1" (842mm) | 27.5 lbs. (12.5kg) |
| 11 | 33.1" (842mm) | 28.0 lbs. (12.7kg) |
| 12 | 33.1" (842mm) | 28.0 lbs. (12.7kg) |

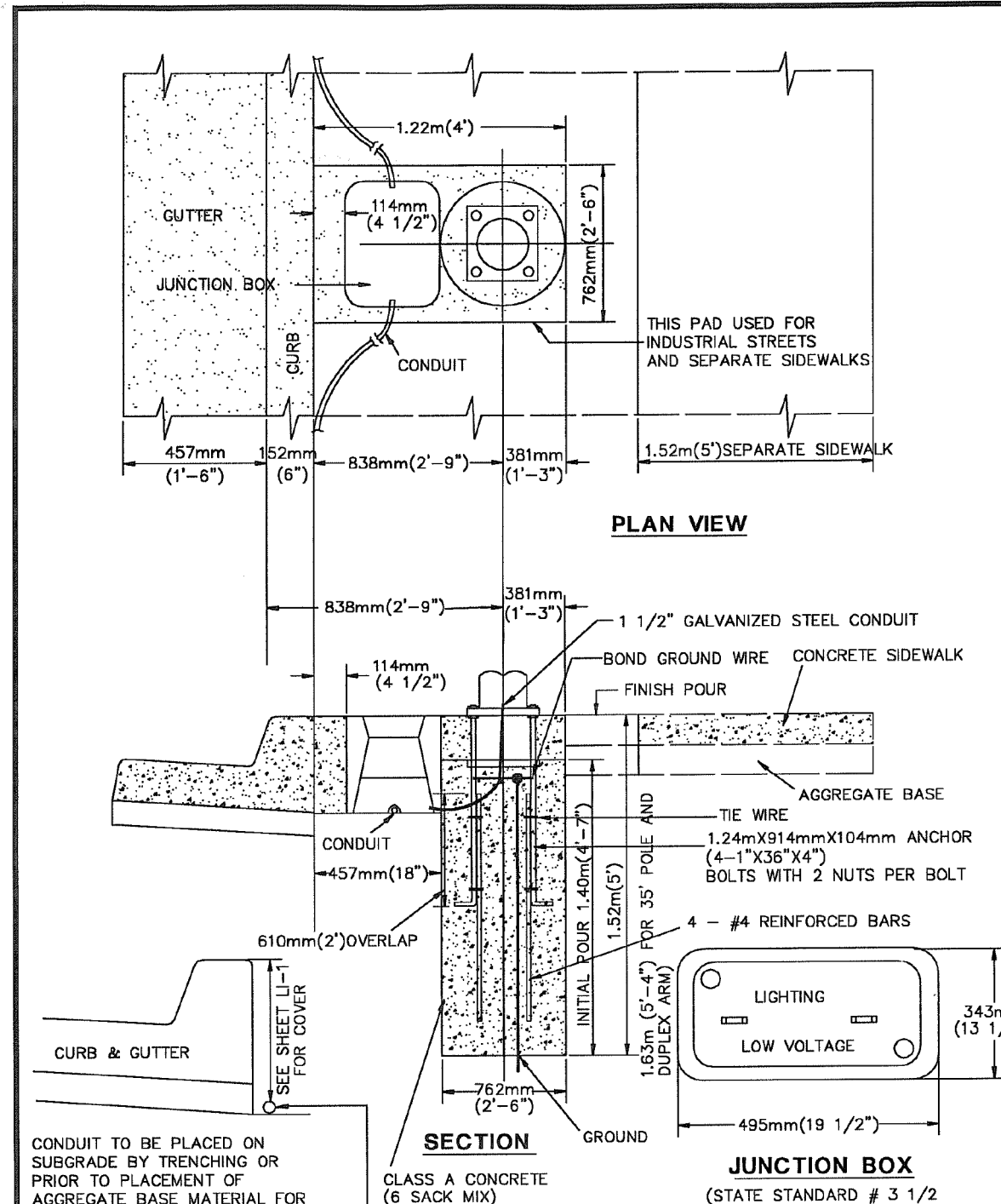
Ordering Information

| STL-LW | 2M | HT | LED Count (x10) | Series | Voltage | Color Options* | Drive Current | Options |
|--------|----|----|-----------------|--------|---------|----------------|---------------|---|
| STL-LW | HT | HT | 02 | UL | 120V | Black | 350mA | DIM 0-10V Dimming |
| | | | 03 | UL | 120V | Black | 350mA | Control by others |
| | | | 04 | UL | 120V | Black | 350mA | Power factor correction (see sheet for details) |
| | | | 05 | UL | 120V | Black | 350mA | Control by others |
| | | | 06 | UL | 120V | Black | 350mA | Power factor correction (see sheet for details) |
| | | | 07 | UL | 120V | Black | 350mA | Control by others |
| | | | 08 | UL | 120V | Black | 350mA | Power factor correction (see sheet for details) |
| | | | 09 | UL | 120V | Black | 350mA | Control by others |
| | | | 10 | UL | 120V | Black | 350mA | Power factor correction (see sheet for details) |
| | | | 11 | UL | 120V | Black | 350mA | Control by others |
| | | | 12 | UL | 120V | Black | 350mA | Power factor correction (see sheet for details) |



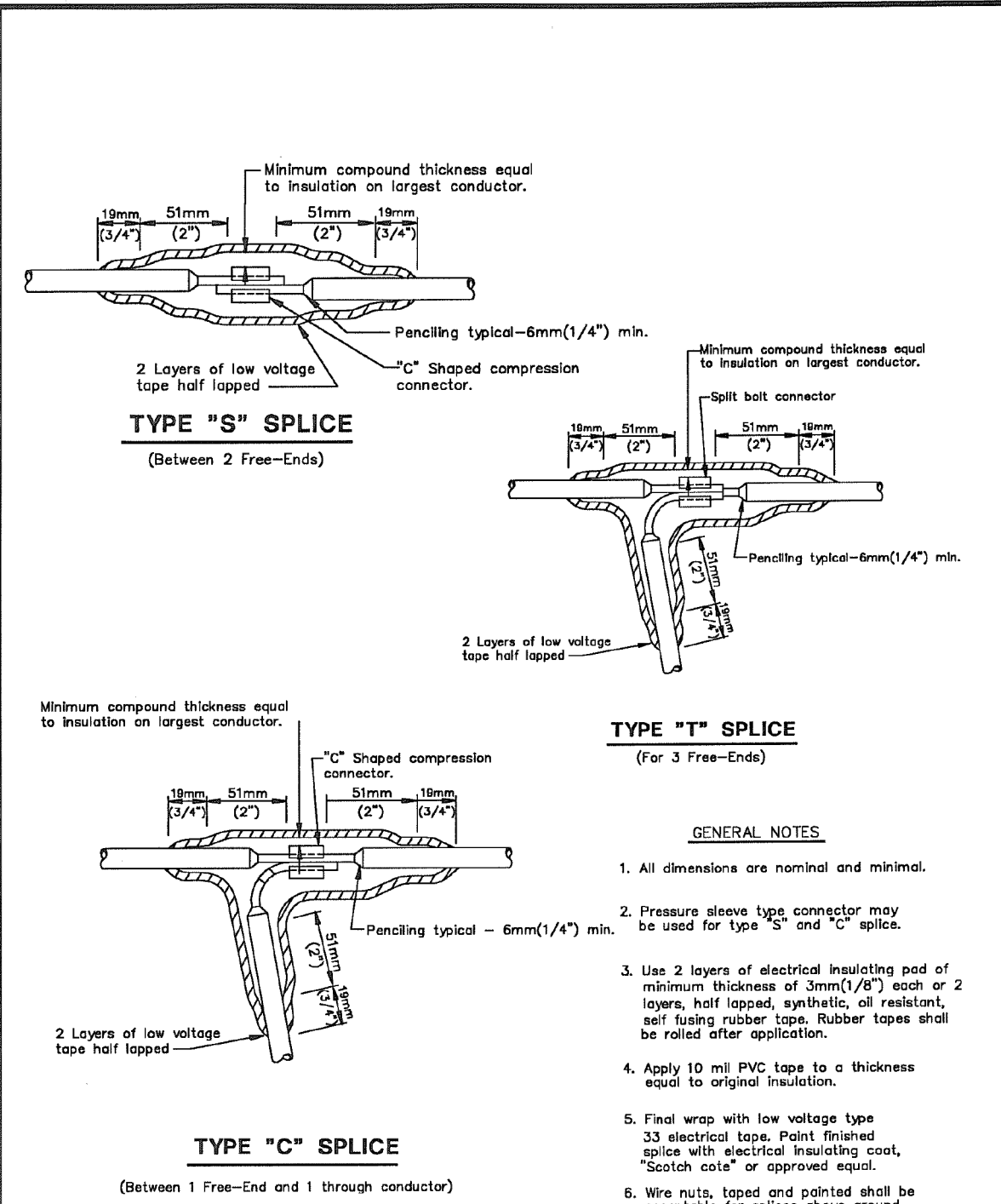
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Canada: ccre@lighting.com (800) 473-1234

CREE LIGHTING



| NO. | REVISIONS | DATE | BY | DATE |
|-----|-----------|--------|----|------|
| 3 | SL2 | 1-1-97 | | |

3 CITY OF MENLO PARK ELECTROLIER AND CONDUIT DETAIL
NOT TO SCALE



| NO. | REVISIONS | DATE | BY | DATE |
|-----|-----------|--------|----|------|
| 4 | SL2 | 1-1-97 | | |

4 CITY OF MENLO PARK UNDERGROUND SPLICES DETAIL
NOT TO SCALE

Product Specifications

- CONSTRUCTION & MATERIALS**
 - Housing is all aluminum construction
 - Terminal block for power input suitable for #2-#14 AWG wire
 - HT Mount is designed to mount on a 2" (51mm) I.P. 2.375" (60mm) O.D. horizontal tenon and/or a 1.25" (32mm) I.P. 1.44" (37mm) O.D. horizontal tenon (minimum 8" (203mm) in length) and is adjustable +/- 5° to allow for luminaire leveling (two axis T-level included)
 - Exclusive Colorfast DeltaGuard® Finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, and silver are available
 - Weight: See Dimensions and Weight chart on page 1
- ELECTRICAL SYSTEM**
 - Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drivers
 - Power Factor: > 0.9 full load
 - Total Harmonic Distortion: < 20% at full load
 - Quick disconnect harness suitable for mate and break under load provided on power feed to driver for ease of maintenance
 - Integral 100V surge suppression protection standard
 - To address inrush current, slow blow fuse or type C/D breaker should be used
 - 10V Surge Current: 20-40 LED, 0.15mA, 80-120 LED, 0.30mA
- REGULATORY & VOLUNTARY QUALIFICATIONS**
 - cULus Listed
 - Suitable for wet locations
 - Meets CALTRANS #11 Vibration testing and GR-43-CORE Section 4.4.1/5.4.2 Earthquake Zone 4
 - Certified to ANSI C136.31-2001, 30 bridge and overpass vibration standards
 - ANSI C136.2 100V surge protection, tested in accordance with IEEE/ANSI C42.41.2
 - Luminaire and finish are endurance tested to withstand 5,000 hours of simulated ambient salt fog as defined in ASTM Standard B 117
 - Meets Bay American requirements within ARRA
 - Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions

Electrical Data*

| LED Count (x10) | System Watts 120-277V | System Watts 347-480V | Total Current (A) |
|-----------------|-----------------------|-----------------------|-------------------------------|
| 02 | 35 | 39 | 0.30 0.18 0.16 0.15 0.12 0.10 |
| 03 | 53 | 59 | 0.45 0.26 0.23 0.21 0.16 0.13 |
| 04 | 66 | 71 | 0.56 0.33 0.29 0.26 0.21 0.16 |
| 05 | 86 | 92 | 0.72 0.42 0.37 0.33 0.25 0.19 |
| 06 | 100 | 107 | 0.86 0.49 0.43 0.38 0.28 0.21 |
| 07 | 120 | 126 | 1.01 0.60 0.54 0.49 0.37 0.28 |
| 08 | 139 | 149 | 1.17 0.67 0.61 0.54 0.41 0.31 |
| 09 | 149 | 156 | 1.26 0.74 0.66 0.59 0.44 0.34 |
| 10 | 147 | 172 | 1.41 0.80 0.73 0.65 0.50 0.38 |
| 11 | 182 | 188 | 1.54 0.89 0.79 0.70 0.53 0.41 |
| 12 | 197 | 204 | 1.67 0.94 0.85 0.76 0.59 0.44 |

| LED Count (x10) | System Watts 120-277V | System Watts 347-480V | Total Current (A) |
|-----------------|-----------------------|-----------------------|-------------------------------|
| 02 | 47 | 51 | 0.39 0.23 0.21 0.19 0.15 0.12 |
| 03 | 70 | 73 | 0.59 0.34 0.30 0.27 0.21 0.14 |
| 04 | 91 | 93 | 0.77 0.45 0.39 0.35 0.27 0.20 |
| 05 | 113 | 115 | 0.96 0.55 0.48 0.43 0.33 0.25 |
| 06 | 134 | 135 | 1.13 0.65 0.57 0.50 0.39 0.29 |
| 07 | 143 | 146 | 1.27 0.80 0.71 0.63 0.48 0.36 |
| 08 | 182 | 186 | 1.54 0.90 0.79 0.70 0.54 0.40 |
| 09 | 203 | 207 | 1.72 0.99 0.87 0.78 0.60 0.45 |
| 10 | 227 | 229 | 1.92 1.11 0.97 0.86 0.67 0.49 |
| 11 | 248 | 250 | 2.10 1.21 1.05 0.93 0.73 0.53 |
| 12 | 247 | 274 | 2.26 1.30 1.13 1.00 0.80 0.58 |

LEDway® Ambient Adjusted Lumen Maintenance*

| Ambient | CCT | Initial LMF | 25K hr ReportL [†] LMF | 50K hr ReportL [†] LMF | 75K hr ReportL [†] LMF | 100K hr EstimateL [†] LMF |
|-------------|-------------|-------------|---------------------------------|---------------------------------|---------------------------------|------------------------------------|
| 5°C (41°F) | 3000K/5000K | 1.04 | 1.01 | 0.99 | 0.98 | 0.96 |
| | TRL | 1.06 | 1.06 | 1.06 | 1.06 | 1.06 |
| 10°C (50°F) | 3000K/5000K | 1.03 | 1.00 | 0.98 | 0.97 | 0.95 |
| | TRL | 1.04 | 1.04 | 1.04 | 1.04 | 1.04 |
| 15°C (59°F) | 3000K/5000K | 1.02 | 0.99 | 0.97 | 0.96 | 0.94 |
| | TRL | 1.03 | 1.03 | 1.03 | 1.03 | 1.03 |
| 20°C (68°F) | 3000K/5000K | 1.01 | 0.98 | 0.96 | 0.95 | 0.93 |
| | TRL | 1.01 | 1.01 | 1.01 | 1.01 | 1.01 |
| 25°C (77°F) | 3000K/5000K | 1.00 | 0.97 | 0.95 | 0.94 | 0.93 |
| | TRL | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |

*Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on an IES LM-80 report for the LED and include temperature, voltage, current and ambient conditions. Lumen maintenance percentages represent lumen maintenance factors. Please refer to the Temperature Zone Selection Document for outdoor average nighttime ambient conditions.

US: ccre@lighting.com (800) 234-4800
Canada: ccre@lighting.com (800) 473-1234

CREE LIGHTING

Product Specifications

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 - HT Mount is designed to mount on a 2" (51mm) I.P. 2.375" (60mm) O.D. horizontal tenon and/or a 1.25" (32mm) I.P. 1.44" (37mm) O.D. horizontal tenon (minimum 8" (203mm) in length) and is adjustable +/- 5° to allow for luminaire leveling (two axis T-level included)
 - Exclusive Colorfast DeltaGuard® Finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, and silver are available
 - Weight: See Dimensions and Weight chart on page 1
- ELECTRICAL SYSTEM**
 - Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drivers
 - Power Factor: > 0.9 full load
 - Total Harmonic Distortion: < 20% at full load
 - Quick disconnect harness suitable for mate and break under load provided on power feed to driver for ease of maintenance
 - Integral 100V surge suppression protection standard
 - To address inrush current, slow blow fuse or type C/D breaker should be used
 - 10V Surge Current: 20-40 LED, 0.15mA, 80-120 LED, 0.30mA
- REGULATORY & VOLUNTARY QUALIFICATIONS**
 - cULus Listed
 - Suitable for wet locations
 - Meets CALTRANS #11 Vibration testing and GR-43-CORE Section 4.4.1/5.4.2 Earthquake Zone 4
 - Certified to ANSI C136.31-2001, 30 bridge and overpass vibration standards
 - ANSI C136.2 100V surge protection, tested in accordance with IEEE/ANSI C42.41.2
 - Luminaire and finish are endurance tested to withstand 5,000 hours of simulated ambient salt fog as defined in ASTM Standard B 117
 - Meets Bay American requirements within ARRA
 - Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions

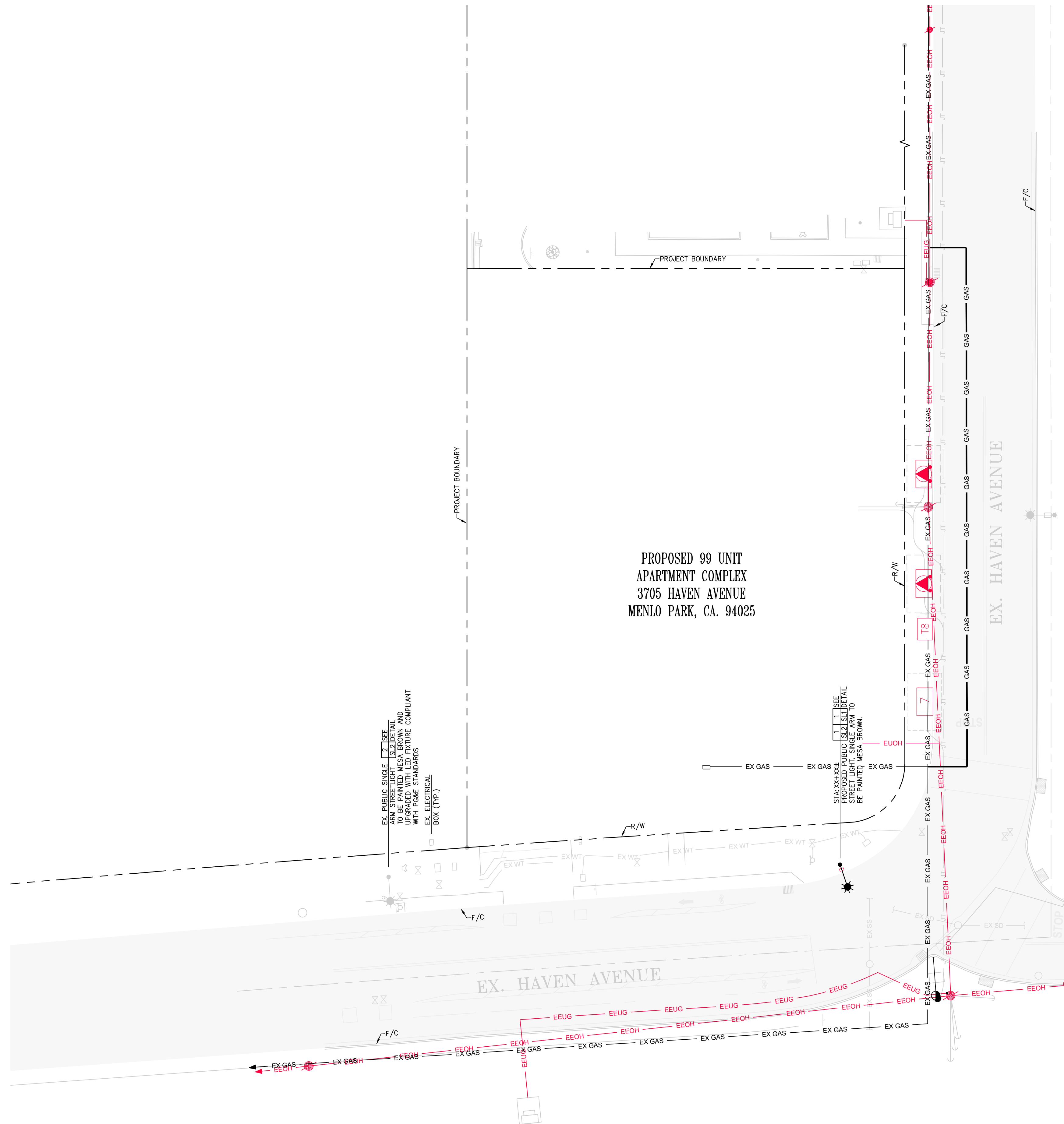
Electrical Data*

| LED Count (x10) | System Watts 120-277V | System Watts 347-480V | Total Current (A) |
|-----------------|-----------------------|-----------------------|-------------------------------|
| 02 | 35 | 39 | 0.30 0.18 0.16 0.15 0.12 0.10 |
| 03 | 53 | 59 | 0.45 0.26 0.23 0.21 0.16 0.13 |
| 04 | 66 | 71 | 0.56 0.33 0.29 0.26 0.21 0.16 |
| 05 | 86 | 92 | 0.72 0.42 0.37 0.33 0.25 0.19 |
| 06 | 100 | 107 | 0.86 0.49 0.43 0.38 0.28 0.21 |
| 07 | 120 | 126 | 1.01 0.60 0.54 0.49 0.37 0.28 |
| 08 | 139 | 149 | 1.17 0.67 0.61 0.54 0.41 0.31 |
| 09 | 149 | 156 | 1.26 0.74 0.66 0.59 0.44 0.34 |
| 10 | 147 | 172 | 1.41 0.80 0.73 0.65 0.50 0.38 |
| 11 | 182 | 188 | 1.54 0.89 0.79 0.70 0.53 0.41 |
| 12 | 197 | 204 | 1.67 0.94 0.85 0.76 0.59 0.44 |

| LED Count (x10) | System Watts 120-277V | System Watts 347-480V | Total Current (A) |
|-----------------|-----------------------|-----------------------|-------------------------------|
| 02 | 47 | 51 | 0.39 0.23 0.21 0.19 0.15 0.12 |
| 03 | 70 | 73 | 0.59 0.34 0.30 0.27 0.21 0.14 |
| 04 | 91 | 93 | 0.77 0.45 0.39 0.35 0.27 0.20 |
| 05 | 113 | 115 | 0.96 0.55 0.48 0.43 0.33 0.25 |
| 06 | 134 | 135 | 1.13 0.65 0.57 0.50 0.39 0.29 |
| 07 | 143 | 146 | 1.27 0.80 0.71 0.63 0.48 0.36 |
| 08 | 182 | 186 | 1.54 0.90 0.79 0.70 0.54 0.40 |
| 09 | 203 | 207 | 1.72 0.99 0.87 0.78 0.60 0.45 |
| 10 | 227 | 229 | 1.92 1.11 0.97 0.86 0.67 0.49 |
| 11 | 248 | 250 | 2.10 1.21 1.05 0.93 0.73 0.53 |
| 12 | 247 | 274 | 2.26 1.30 1.13 1.00 0.80 0.58 |

LEDway® Ambient Adjusted Lumen Maintenance*

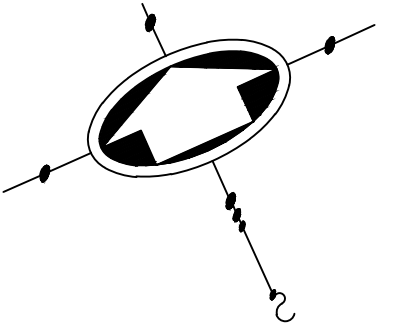
PROPOSED 99 UNIT
APARTMENT COMPLEX
3705 HAVEN AVENUE
MENLO PARK, CA. 94025



EX. PUBLIC SINGLE ARM STREET LIGHT SEE S2 DETAIL TO BE PAINTED MESA BROWN AND UPGRADED WITH LED FIXTURE COMPLIANT WITH PG&E STANDARDS

STA. XXXXX SEE S2 DETAIL TO BE PAINTED MESA BROWN. PROPOSED PUBLIC SINGLE ARM STREET LIGHT. SINGLE ARM TO BE PAINTED MESA BROWN.

EX. PUBLIC SINGLE ARM STREET LIGHT SEE S2 DETAIL TO BE PAINTED MESA BROWN AND UPGRADED WITH LED FIXTURE COMPLIANT WITH PG&E STANDARDS. EX. ELECTRICAL BOX (TOP)



SCALE: 1" = 20'

FOR REVIEW ONLY

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- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec Design
- M. E. P. Design
- Cost Analysis
- Due Diligence

STREET LIGHTING SITE PLAN
MARCH CAPITAL MANAGEMENT
3705 HAVEN AVENUE
MENLO PARK CALIFORNIA

| NO. | REVISIONS | BY | DATE |
|-----|-----------|----|------|
| | | | |
| | | | |
| | | | |

| | |
|---------------------|-------------------------------------|
| DATE: MAY 2022 | DATE LAST WORKED ON: 4/21/2023 |
| SCALE: 1" = 20' | DRAWN: HK CHECKED: AR |
| JOB NO.: 222068 | PRELIMINARY NOT FOR CONSTRUCTION |
| INTENT TO CONSTRUCT | |



SHEET
SL3
SL3
OF SHEETS
Page 2 of 100



Cox, Castle & Nicholson LLP
 50 California Street, Suite 3200
 San Francisco, California 94111-4710
 P: 415.262.5100 F: 415.262.5199

Linda C. Klein
 415.262.5130
 lklein@coxcastle.com

January 17, 2025

Ms. Fahteen N. Khan
 Associate Planner
 Planning Division, City Hall
 1st Floor
 City of Menlo Park
 701 Laurel Street
 Menlo Park, CA 94025

RE: Below Market Rate Proposal for the 3705 Haven Project

Dear Fahteen:

3705 Haven LLC (“Applicant”) is pleased to provide this updated Below Market Rate (“BMR”) Proposal for the 3705 Haven Project (“Project”) located at 3705 Haven Avenue (“Property”) in the City of Menlo Park (“City”). The BMR Proposal has been prepared based on the City’s *Below Market Rate Housing Program* (Chapter 16.96 of the City’s Municipal Code [“MPMC”]), as well as the *Below Market Rate Housing Program Guidelines*. In addition, as discussed below, the Project would meet the bonus level development requirements applicable under the Property’s zoning restrictions, and the Project is entitled to a density bonus and various concessions and waivers of development standards pursuant to the State Density Bonus Law.

1. General Overview

The City’s BMR Housing Program (“BMR Program”) is codified in the MPMC at Chapter 16.96 and generally applies to residential development projects containing five or more units. The City’s certified Housing Element emphasizes the importance of the BMR Program towards helping “contribute[] to increased affordable housing opportunities in Menlo Park.”

By implementing inclusionary housing requirements, the BMR Program encourages the production of deed restricted housing at below market rates to very low-, low- and moderate-income households. To implement the BMR Program, the City has also adopted the BMR Housing Program Guidelines (“BMR Guidelines”). According to the City’s BMR Program, “[f]or residential developments of twenty (20) or more units, the developer shall provide not less than fifteen (15%) of the units at below market rates to very low-, low- and moderate-income households.” (MPMC, § 16.96.020.)

The Property is zoned R-MU-B (residential mixed-use bonus zoning district), which establishes a “bonus level development” that developers may achieve in exchange for the voluntary provision of community amenities. The bonus level of development that may be

achieved includes an increase in the permitted density per acre (up to a maximum 100 du/acre). (MPMC § 16.45.050.) The value of the community amenities to be provided must be equal to “fifty percent (50%) of the fair market value of the additional gross floor area of the bonus level development.” (MPMC, § 16.45.070(3).)

Under the State Density Bonus Law, housing development projects that include units for rent or sale for very low, low, or moderate-income households are eligible for density bonuses and other benefits including concessions or incentives, waivers of development standards, and reductions in the amount of required parking. The requested State Density Bonus Law benefits and the Project’s compliance with the State Density Bonus Law are discussed in greater detail in the State Density Bonus Law Letter provided separately.

The Project has a base density of 66 units and through State Density Bonus Law proposes to construct a total of 112 rental units, which would include ten units at levels affordable to very low-income households and four units affordable to moderate income households. As explained below, except as permitted through State Density Bonus Law incentives/concessions or waivers, the Project would comply with the City’s BMR Program, and it also would comply with the community amenities requirements for achieving the bonus level development.

2. Program Design

As proposed, the Project would include 112 for-rent apartments, inclusive of ten units affordable to very low-income households and four units affordable to moderate income households (collectively, the “BMR Rental Units”). The unit type, average size, and allocation of the Project’s units, including the BMR Rental Units, are set forth below in Table 1.

Table 1: Allocation and Average Size of Project Units

| Unit Type | Avg. Size (all units) (sq. ft.) | Avg. Size (market) (sq. ft.) | Avg. Size (BMR) (sq. ft.) | Very Low | Moderate | Market | Total |
|------------------|--|-------------------------------------|----------------------------------|-----------------|-----------------|---------------|--------------|
| Studio | 586 | 594 | 534 | 3 | 2 | 31 | 36 |
| 1 Bedroom | 802 | 809 | 755 | 5 | 1 | 43 | 49 |
| 2 Bedroom | 999 | 1008 | 924 | 2 | 1 | 23 | 26 |
| 3 Bedroom | 1,583 | 1,583 | N/A | 0 | 0 | 1 | 1 |
| Total | | | | 10 | 4 | 98 | 112 |

The initial locations of the BMR Rental Units are set forth below in Table 2.

Table 2: Initial BMR Rental Unit Locations

| Unit Type | BMR Category | Unit Number | Notes |
|------------------|---------------------|--------------------|------------------|
| 1 Bedroom | VL | 201 | BMR Program Unit |
| Studio | VL | 202 | BMR Program Unit |
| 2 Bedroom | VL | 204 | Amenity Unit |
| 2 Bedroom | VL | 312 | Amenity Unit |
| 1 Bedroom | VL | 314 | BMR Program Unit |
| Studio | VL | 315 | BMR Program Unit |
| 2 Bedroom | Mod | 416 | BMR Program Unit |
| 1 Bedroom | VL | 417 | BMR Program Unit |
| Studio | VL | 418 | BMR Program Unit |
| 1 Bedroom | VL | 513 | Amenity Unit |
| 1 Bedroom | VL | 517 | BMR Program Unit |
| Studio | Mod | 518 | BMR Program Unit |
| 1 Bedroom | Mod | 617 | SDBL Unit |
| Studio | Mod | 618 | BMR Program Unit |

3. BMR Proposal

The Property’s R-MU-B zone permits a maximum “bonus level” density of 100 dwelling units per acre. Based on the Property being a total of approximately 0.66 acres, the Property could be developed with a total of 66 units, exclusive of any additional units that would be allowed based on the State Density Bonus Law. Based on the total of 66 units permitted under the zoning, the Project would be required under the BMR Program to provide a minimum of 10 units (i.e., 15 percent) at below market rates to very low-, low- or moderate-income households. (MPMC, § 16.96.020.) The Project would comply with this requirement by providing seven units at below market rates for very low-income households and three units at below market rates for moderate income households (together, the “BMR Program Units”), as shown in Table 2.

The Project’s BMR Program Units would comply with the BMR Guidelines inclusive of the requested State Density Bonus Law benefits (referenced further below and discussed in greater detail in the State Density Bonus Law letter provided separately). The BMR Program Units would initially be distributed throughout the development as set forth in Table 2 above, though the location of the individual BMR Rental Units may float thereafter to account for availability requirements and as otherwise necessary for the professional maintenance and operation of the Project. Further, BMR Program Units would have proportionally the same number of bedrooms as the market rate units, be distributed throughout the development, and be indistinguishable from the exterior. The design and materials used in the construction of the BMR Program Units would be of a quality comparable to the other new residential rental units in

the Project but would not need to include any luxury accessories, consistent with the BMR Guidelines.

4. Bonus Level Development and Additional State Density Bonus Law Unit

To be eligible for the “bonus level” of development permitted in the Property’s R-MU-B zone, the Project would provide community amenities. The value of the provided community amenities must equal at least fifty percent of the fair market value of the additional gross floor area of the bonus development, and may include on-site amenities, an in-lieu payment, or other amenities pursuant to a development agreement. (MPMC, § 16.45.070(3).) Consistent with the relevant valuation reports that have been prepared, the Project proposes to meet its community amenity requirement through the provision of three units at below market rates for very low-income households (“Amenity Units”).

In addition to the Amenity Units and BMR Program Units, the Project would provide one additional unit at below market rates for a moderate income household (“SDBL Unit”), which would result in the Project providing a total of four units affordable to moderate income households and ten units affordable to very low-income households, as shown in Table 2.

5. State Density Bonus Law Benefits

The Project’s ten very low-income units make the Project eligible for the benefits of the State Density Bonus Law, including a 50 percent density bonus. (Gov. Code, § 65915, subds. (b)(1), (f)(2).) By providing the additional four moderate income units, the Project also is entitled to an additional 22.5 percent density bonus. (*Id.*, subd. (v)(2).) In total, the Project is entitled to a 72.5 percent density bonus, which would accommodate the Project’s proposed 112 units. The Project also is entitled to three incentives or concessions and an unlimited number of waivers of development standards, as well as State Density Bonus Law parking requirements. (*Id.*, subds. (d)(2)(C), (e), (p).)

a. Density Bonus

The Project requests a 69.7 percent density bonus.

b. Density Bonus Law Incentives for Project

The Project requests three incentives, as discussed in greater detail in the State Density Bonus Law Letter provided separately. To summarize, the requested incentives are: (1) exceeding the BMR Guidelines’ 75 percent rental cap for BMR Program Units; (2) not to pre-plumb for recycled water; and (3) to construct a new above-ground utility pole rather than undergrounding the existing pole.

c. Density Bonus Law Waivers for Project


The Project's requested waivers are discussed in greater detail in the State Density Bonus Law Letter provided separately. To summarize, the Project is requesting the following seven waivers:

- Increase in residential floor area ratio ("FAR") from 225 percent to 410 percent;
- Increase in the maximum height permitted from 80 feet to approximately 86 feet measured from average natural grade to top of roof plywood, excluding rooftop mechanical equipment, stairs, and the elevator;
- Decrease the minimum height permitted on the ground floor from 10 feet to no lower than 8.5 feet;
- Provide fewer vehicle parking spots than required;
- Provide some compact vehicle parking spaces;
- Allow some BMR Program Units to be slightly smaller than the market-rate units; and
- Decrease ground floor transparency to below 30 percent.

The Applicant may request different or additional waivers, if needed, for the Project.

Thank you for the opportunity to present this BMR Proposal. We look forward to continuing our work with you and other City staff to develop the 3705 Haven Project.

Sincerely,


Linda C. Klein

References

State Density Bonus Law Letter (provided separately)

Community Amenity Valuation Report (previously provided)

cc: Deanna Chow, Assistant Community Development Director
Eric Phillips, Assistant City Attorney
Ruby Huang, 3705 Haven LLC



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File No. 100837

January 17, 2025

VIA E-MAIL

Ms. Deanna Chow
 Assistant Community Development Director
 City of Menlo Park
 701 Laurel Street
 Menlo Park, CA 94025
 dmchow@menlopark.org

Re: Updated State Density Bonus Law Requests for 3705 Haven Avenue and Housing Accountability Act Issues

Dear Ms. Chow:

We write on behalf of our client, 3705 Haven LLC (“Owner”), to update its requested State Density Bonus Law (“SDBL”) benefits for a proposed residential project (“Project”) located at 3705 Haven Avenue (“Property”) in the City of Menlo Park (“City”). We last sent a list of requested SDBL benefits on July 29, 2024, and have updated it in response to City comments. Regarding the Housing Crisis Act (“HCA”) and Housing Accountability Act (“HAA”), which prevent the City from requiring compliance with subjective desires and standards, please refer to our July 29, 2024, letter.

As currently proposed, the Project would make 15 percent of its base units (66 units) affordable to very low-income households and six percent of its base units affordable to moderate-income households. These affordable units make the Project eligible for a 72.5 percent density bonus. (Gov. Code, § 65915, subds. (f)(2), (v).) In addition, the Project remains entitled to the following SDBL benefits: three incentives/concessions, an unlimited number of waivers, and use of certain vehicular parking standards. (See *id.*, subds. (d)(2)(C), (e)(1), (p).)

The Owner requests the following SDBL benefits:

- **Density Bonus.** The maximum density permitted for Bonus Level Development in the R-MU zone is 100 dwelling units per acre. At this density, the approximately 0.66-acre Property could have 66 units. The Project requests a 69.7 percent density bonus to provide 112 units (66 units + 46 bonus units). This results in a density of 169.7 dwelling units per acre, which is greater than the 100 dwelling units per acre permitted by the Municipal Code.

- Incentives
 - Exceeding 75 Percent Rental Cap. BMR Program Units (i.e., those units provided to satisfy City inclusionary requirements) must comply with the City's BMR Guidelines, which restrict rental amounts for such units from exceeding 75 percent of market rate rents. (BMR Guidelines, § 4.1.2.) This restriction particularly impacts moderate income units and, applied here, would render the Project economically infeasible. Thus, the Owner requests an incentive to allow rents for moderate income BMR Program Units to exceed the 75 percent cap, up to the rental amount permitted by the Health and Safety Code section 50053. This incentive will result in cost savings through increased revenue from the moderate income units, thus reducing overall costs and facilitating the production of affordable housing.
 - Adding Rather Than Replacing a Utility Pole. The City asked the Project to replace an existing utility pole that transitions power lines from above ground to underground. Rather than replace this pole, the Project would accomplish the necessary step up by adding a utility pole. Adding a new pole rather than replacing the existing utility pole results in significant cost savings due to the decrease in construction necessary to add a new pole compared to replacing the existing pole. Replacing the existing pole would require construction of an additional underground vault and more extensive underground exploration efforts than necessary for a new pole.
 - Not Pre-Plumbing For Recycled Water. City Municipal Code section 16.45.130(3)(D) requires all new buildings to be dual plumbed for the internal use of recycled water. The Owner requests an incentive to not pre-plumb the Project for recycled water. There is no recycled water available now or in the foreseeable future for the Project's location. Not pre-plumbing for recycled water saves hundreds of thousands of dollars in construction costs and thus results in an identifiable and actual cost saving to provide for affordable housing.
- Waivers
 - Increase in Residential Floor Area Ratio ("FAR"). The maximum Bonus Level Development residential FAR is 225 percent. The Owner requests a waiver of this standard to allow an FAR of 410 percent. This waiver is necessary for the Project to be constructed at the density allowed and as designed by the Project applicant. Absent this waiver, the density bonus units would not fit in the Project.

- Increase in Height. The maximum Bonus Level Development height is 70 feet, plus an additional 10 feet for a location in a flood zone, for a total of 80 feet. (Mun. Code, § 16.45.050.) The Owner requests a waiver to increase the maximum height to approximately 86 feet measured from average natural grade to top of roof plywood, excluding rooftop mechanical equipment, stairs, and the elevator. With this increase in the maximum height, the average building height would be 71.1 feet. The waiver is necessary for the Project to be constructed at the density allowed and as designed by the Owner. Absent the waiver, the density bonus units would not fit in the Project.
- Decrease Ground-Floor Height. City Municipal Code section 16.45.120(3) requires a minimum ground-floor height of 10 feet for residential uses. The Owner requests a waiver to decrease this minimum to no lower than 8.5 feet. The waiver is necessary for the Project to be constructed at the density allowed and as designed by the Owner. Absent the waiver, the Project would further exceed the height limit.
- Decrease in Parking. The City Municipal Code is a bit unclear regarding whether a leasing office in a multifamily apartment building must be parked as an office use. The Municipal Code requires two parking spaces per 1,000 square feet of office. (Mun. Code, § 16.45.080.) The Owner requests a waiver to provide no office parking. In addition, the Project provides 99 full sized parking spaces for 112 units, which is fewer parking spaces than required. (*Id.* § 16.45.080.) The parking waivers are necessary for the Project to be constructed at the density allowed and as designed. Absent these waivers, the Project would need to reduce units to make room for additional parking spaces.
- Reduction in Parking Space Size. To address City concerns regarding the number of parking spaces, Owner requests the ability to construct compact spaces, which would be 7.5 x 15 feet rather than 8.5 x 16.5 feet, and to decrease the wall clearance from one foot to no clearance. The size of the compact spaces is consistent with city of San Francisco requirements, indicating that such spaces would be useable and safe. At this time, Owner has yet to study exactly how many spaces it could add to the Project, but compact spaces would allow the Project to get closer to the City's desired parking ratio of 1 space per unit.
- BMR Unit Size. The BMR Guidelines, section 5.1, states, "BMR housing units shall generally be of the same proportionate size (number of bedrooms and square footage) as the market-rate units." The BMR Program Units (i.e., the 15 percent affordable units provided to comply with the City's inclusionary ordinance) have the same proportionate bedrooms as the market-rate units but are not the same size. A waiver is

requested to allow some BMR Program Units to be slightly smaller than the market-rate units to allow the Project to fit the density allowed in the design proposed. HCD has affirmed that waivers can be requested to alter inclusionary requirements. (See HCD Letter to West Hollywood, dated Sept. 2, 2022, at p. 3 [“The SDBL can be used to modify or waive provisions of an inclusionary ordinance.”].)

- Reduction in Ground Floor Transparency. City Municipal Code section 16.45.120(3) requires 30 percent of the ground floor to be transparent. The Owner requests a waiver to reduce the ground floor glazing to below 30 percent. The waiver is necessary for the Project to be constructed at the density allowed and as designed by the Owner. To meet ground floor transparency requirements, the required indoor bicycle parking and utility space would need to be relocated to the second floor, replacing units.

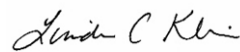
The Owner also may request additional waivers, if needed, for the Project as designed.

When considering SDBL requests, it is important to remember that “[i]n no case may a city, county, or city and county apply any development standard that will have the effect of physically precluding the construction of a development [with affordable housing] at the densities or with the concessions or incentives permitted by” SDBL. (Gov. Code, § 65915, subd. (e)(1).) Cases have confirmed that incentives and waivers must be granted even if a different project design would avoid the need for the requested incentives or waivers. (E.g., *Bankers Hill 150 v. City of San Diego* (2022) 74 Cal.App.5th 755, 775 [incentives must be granted even though decreasing the open space would reduce the need for incentives]; *Wollmer v. City of Berkeley* (2011) 193 Cal.App.4th 1329, 1346–1347 [waivers must be granted even though decreasing project amenities would reduce the need for waivers].)

* * *

Please do not hesitate to contact me if you have any questions about any of the above.

Sincerely,



Linda C. Klein

cc: Ruby Huang, 3705 Haven LLC
Fahteen Khan, Associate Planner
Eric Phillips, Assistant City Attorney