



PLANNING COMMISSION AGENDA

Regular Meeting
February 10, 2014 at 7:00 p.m.
City Council Chambers
701 Laurel Street, Menlo Park, CA 94025

CALL TO ORDER – 7:00 p.m.

ROLL CALL – Bressler, Eiref (Vice Chair), Ferrick, Kadvany (Chair), Onken, Riggs, Strehl

INTRODUCTION OF STAFF – Deanna Chow, Senior Planner; Jean Lin, Associate Planner; Justin Murphy, Development Services Manager; Kyle Perata, Associate Planner; Corinna Sandmeier, Contract Planner; Thomas Rogers, Senior Planner

A. REPORTS AND ANNOUNCEMENTS

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

- A1.** Update on Pending Planning Items
 - a. Housing Element – City Council – January 28 and February 11, 2014
 - b. General Plan – City Council – February 11 and 25, 2014

B. PUBLIC COMMENTS

Under “Public Comments,” the public may address the Commission on any subject not listed on the agenda within the jurisdiction of the Commission and items listed under Consent. When you do so, please state your name and city or political jurisdiction in which you live for the record. The Commission cannot respond to non-agendized items other than to receive testimony and/or provide general information.

C. CONSENT

Items on the consent calendar are considered routine in nature, require no further discussion by the Planning Commission, and may be acted on in one motion unless a member of the Planning Commission or staff requests a separate discussion on an item.

- C1.** [Approval of minutes from the January 13, 2014 Planning Commission meeting](#)
- C2.** [Confirmation of the Summary of the Planning Commission Comments and Recommendations for the General Plan Update Scope of Work](#)

D. PUBLIC HEARING

- D1.** [Use Permit/Casey Cramer/228 Princeton Road](#): Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district.

- D2. [Conditional Development Permit Amendment/Bob Linder/350 Sharon Park Drive](#): Request for a Conditional Development Permit (CDP) amendment for a project at an existing multi-building apartment complex located in the R-3-A-X (Garden Apartment, Conditional Development) zoning district. The project would include the demolition of the existing recreation building, the construction of a new recreation building and a new leasing office and associated parking area, façade improvements to all of the existing apartment buildings, and landscaping modifications. The proposed modifications would result in an increase in the maximum building coverage of up to 40 percent at the subject site, which would exceed the current maximum of 30 percent, set by the existing CDP. The proposed amendment to the existing CDP (which covers multiple sites in the vicinity) would apply only to the subject site, and would not alter the development standards for any of the other properties within the CDP. As part of the proposal, up to 42 heritage size trees throughout the approximately 15.6-acre site are proposed for removal, which represents a reduction from the 62 heritage tree removals previously proposed. The Environmental Quality Commission reviewed the proposed heritage tree removals at its meeting on December 18, 2013. ***Continued from the meeting of November 4, 2013 and originally rescheduled and noticed for the meeting of January 27, 2014.***

E. REGULAR BUSINESS

- E1. [Architectural Control/Rob Fischer/1090 El Camino Real](#): Request for architectural control to allow exterior modifications to an existing two-story commercial building in conjunction with a restaurant use in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The proposed exterior modifications would include removing an existing arbor in the plaza shared with Menlo Center (1010 El Camino Real), relocating the main entry from the El Camino Real frontage to the Santa Cruz Avenue frontage, installing a new canopy at the main entry, adding a new exterior staircase on the Santa Cruz Avenue frontage within the shell of the existing building, and constructing a new rooftop deck at the rear of the existing building. The rooftop deck would include an elevator penthouse, stair enclosure, and a canopy shade structure. The proposed restaurant would include outdoor seating on the ground floor in the plaza, as well as on the rooftop deck. The gross floor area for the building would not increase as part of the project.

F. STUDY SESSION

- F1. **Housing Element/City of Menlo Park**: Study Session to review, discuss and comment on the proposed draft Zoning Ordinance amendments to Chapter 16.79 (Secondary Dwelling Unit) pertaining to secondary dwelling unit development standards, including reducing the minimum lot size eligible for a secondary dwelling unit (without a use permit) to 5,750 square feet to encourage the creation of more units and reducing the setback requirement for an existing and permitted accessory structure to allow for conversions of accessory structures to secondary dwelling units when specific criteria are met. In addition, amendments to Section 16.68.030 (Accessory Buildings and/or Structures) are also proposed. The modifications include establishing new setbacks for an accessory structure, dependent upon the use of the structure and to add a limit on the number of plumbing fixtures in a structure to distinguish use of an accessory structure from a secondary dwelling unit. Both amendments could also include language and formatting modifications for clarification and consistency purposes. ***Continued from the meeting of January 27. [Staff report](#) and [presentation](#) from the meeting of January 27.***

G. INFORMATION ITEMS

- G1. [Update on the R-4-S Zoning District Compliance Review and Application of State Density Bonus Law for the Anton Menlo Development at 3639 Haven Avenue.](#)**

H. COMMISSION BUSINESS - None

ADJOURNMENT

Future Planning Commission Meeting Schedule

Regular Meeting	February 24, 2014
Regular Meeting	March 10, 2014
Regular Meeting	March 24, 2014
Regular Meeting	April 7, 2014
Regular Meeting	April 21, 2014
Regular Meeting	May 5, 2014
Regular Meeting	May 19, 2014

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At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the commission by any person in connection with an agenda item is a disclosable public record (subject to any exemption under the Public Records Act) and is available for inspection at The Community Development Department, Menlo Park City Hall, 701 Laurel Street, Menlo Park, CA 94025 during regular business hours.

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PLANNING COMMISSION

Agenda and Meeting Information

The Planning Commission welcomes your attendance at and participation in this meeting. The City supports the rights of the public to be informed about meetings and to participate in the business of the City.

ASSISTANCE FOR PERSONS WITH DISABILITIES: Person with disabilities who require auxiliary aids or services in attending or participating in Planning Commission meetings, may call the Planning Division office at (650) 330-6702 prior to the meeting.

COMMISSION MEETING AGENDA AND REPORTS: Copies of the agenda and the staff reports with their respective plans are available prior to the meeting at the Planning Division counter in the Administration Building, and on the table at the rear of the meeting room during the Commission meeting. Members of the public can view or subscribe to receive future weekly agendas and staff reports in advance by e-mail by accessing the City website at <http://www.menlopark.org>.

MEETING TIME & LOCATION: Unless otherwise posted, the starting time of regular and study meetings is 7:00 p.m. in the City Council Chambers. Meetings will end no later than 11:30 p.m. unless extended at 10:30 p.m. by a three-fourths vote of the Commission.

PUBLIC TESTIMONY: Members of the public may directly address the Planning Commission on items of interest to the public that are within the subject matter jurisdiction of the Planning Commission. The City prefers that such matters be presented in writing at the earliest possible opportunity or by fax at (650) 327-1653, e-mail at planning.commission@menlopark.org, or hand delivery by 4:00 p.m. on the day of the meeting.

Speaker Request Cards: All members of the public, including project applicants, who wish to speak before the Planning Commission must complete a Speaker Request Card. The cards shall be completed and submitted to the Staff Liaison prior to the completion of the applicant's presentation on the particular agenda item. The cards can be found on the table at the rear of the meeting room.

Time Limit: Members of the public will have **three** minutes and applicants will have **five** minutes to address an item. Please present your comments clearly and concisely. Exceptions to the time limits shall be at the discretion of the Chair.

Use of Microphone: When you are recognized by the Chair, please move to the closest microphone, state your name and address, whom you represent, if not yourself, and the subject of your remarks.

DISORDERLY CONDUCT: Any person using profane, vulgar, loud or boisterous language at any meeting, or otherwise interrupting the proceedings, and who refuses to be seated or keep quiet when ordered to do so by the Chair or the Vice Chair is guilty of a misdemeanor. It shall be the duty of the Chief of Police or his/her designee, upon order of the presiding officer, to eject any person from the meeting room.

RESTROOMS: The entrance to the men's restroom is located outside the northeast corner of the Chamber. The women's restroom is located at the southeast corner of the Chamber.

If you have further questions about the Planning Commission meetings, please contact the Planning Division Office (650-330-6702) located in the Administration Building.



PLANNING COMMISSION DRAFT MINUTES

Regular Meeting
January 13, 2014 at 7:00 p.m.
City Council Chambers
701 Laurel Street, Menlo Park, CA 94025

CALL TO ORDER – 7:01 p.m.

ROLL CALL – Bressler (Arrived 7:04 p.m.), Eiref (Vice Chair), Ferrick, Kadvany (Chair), Onken, Riggs, Strehl

INTRODUCTION OF STAFF – Jean Lin, Associate Planner; Thomas Rogers, Senior Planner; Corinna Sandmeier, Contract Planner

A. REPORTS AND ANNOUNCEMENTS

There were none.

B. PUBLIC COMMENTS

There were none.

C. CONSENT

C1. Approval of minutes from the December 9, 2013 Planning Commission meeting

(Commissioner Bressler arrived.)

Commission Action: M/S Onken/Strehl to approve the minutes as submitted.

Motion carried 6-0 with Commissioner Riggs abstaining.

C2. Acceptance of Draft Attendance Report for Calendar Year 2013

Commission Action: M/S Onken/Strehl to accept the report as submitted.

Motion carried 7-0.

D. PUBLIC HEARING

D1. Use Permit/Stoecker and Northway Architects/116 Blackburn Avenue: Request for a use permit to remodel and construct a second story addition to an existing nonconforming single-story, single-family residence on a substandard lot, and to determine the Floor Area Limit (FAL) for a parcel with less than 5,000 square feet of lot area in the R-1-U (Single Family Urban) zoning district. The project would also exceed 50 percent of the existing replacement value of the nonconforming residence in a 12-month period.

Staff Comment: Planner Lin said two letters received by staff from Ms. Christie Blair, McKendry Drive and Jessica and Lewis Olsen, Baywood Avenue, supported the proposed design.

Public Comment: Ms. Amy Cramer introduced her husband Scott McGaraghan and noted they were the property owners. She said they would like to add a second story noting their family of four. Ms. Elena Campagna, project architect, said she was available for questions.

Chair Kadvany closed the public hearing.

Commission Comments: Commissioner Onken asked if the recreation room behind the existing garage shown with a kitchenette and shower was a secondary dwelling unit. Planner Lin said staff researched the history of the recreation room / garage structure and that the recreation room was built with a permit to have a full bathroom and a small sink but had not been permitted as a secondary dwelling unit.

Commissioner Riggs moved to make the findings and approve the use permit. He suggested as the lot was nearly 5,000 square feet at which the maximum floor area limit (FAL) was 2,800 that the FAL for this lot be determined to be 2,795 square feet. Commissioner Strehl seconded the motion.

Senior Planner Rogers said the applicant had not requested to build to 2,795 square feet. He noted the lot would be substandard even if it was 5,000 square feet as it has a nonconforming residence. He said a later request for space might require a revision to the use permit, regardless of whether the Commission establishes an explicit FAL at this time.

Commissioner Bressler asked what the purpose of Commissioner Riggs' suggestion was. Commissioner Riggs said he would not want the project to have to come back for a very minor revision. Planner Rogers said staff approves administratively changes that were not visible, that very minor changes noticed by others were brought to the Commission's attention to determine if the change was substantially in compliance with the use permit, and those that were clearly a change to what the use permit allowed needed to get a use permit revision. Commissioner Ferrick said setting the FAL at the proportional rate made sense and allowed for some flexibility.

Mr. McGaraghan in response to Commissioner Bressler's question said they knew they were not proposing to build to the maximum allowable FAL.

Commission Action: M/S Riggs/Strehl to approve the item with the following modification.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit and variances subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Stoecker and Northway Architects, consisting of seven plan sheets, dated received on January 9, 2014, and approved by the Planning Commission on January 13, 2014 except as modified by the conditions contained herein.
 - b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.

- c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
- d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval of the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace and damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

4. Approve the use permit and variances subject to the following project-specific condition:

- a. The maximum allowable floor area limit (FAL), which is only applicable to the currently proposed development specified in condition 3a above, is established at 2,795 square feet. Redevelopment of the subject property involving the demolition of existing buildings and the proposed addition would be subject a new FAL determination.***

Motion carried 7-0.

D2. Use Permit/Farhad Ashrafi/865 Middle Avenue: Request for a use permit to demolish an existing single-story, single-family residence and detached garage, and construct a new two-story, single-family residence with attached garage on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district.

Staff Comment: Planner Sandmeier said a letter from Jeanette Halliday, College Avenue, received that day, requested landscaping at the back of the lot to include fast growing trees with canopies of 12 to 15 feet.

Public Comment: Mr. Farhad Ashrafi, project architect, said their site plan showed that trees would be planted at the rear of the property. He said the type of trees would be determined once they had a landscape architect's design.

Commissioner Eiref noted a solar panel roof on a property on the El Camino Real side of the subject site. He asked if they had spoken with that property owner. Mr. Ashrafi said the project property owner spoke with both the left and right side neighbors and provided plans to them. He said they were very receptive to the plans. Commissioner Eiref said the design was within setbacks but was five feet closer to the other house and would be double in height. Mr. Ashrafi said the neighbors had not raised any concerns.

Commissioner Onken asked about the tree planting shown on the right side of the property and if that was to provide screening for the upstairs window. Mr. Ashrafi said that was correct noting one of the bedrooms faced the side.

Chair Kadvany asked if a tile roof was proposed. Mr. Ashrafi said that was correct. He said the property owner wanted to make one change to the plan which was to remove the grids from the windows due to the cost associated with those.

Commissioner Onken asked if this home was being built for the owner to occupy or if it would be sold. Mr. Ashrafi said the owner was developing the residence for sale.

Chair Kadvany closed the public hearing.

Commission Comment: Chair Kadvany said this design would be a change for Middle Avenue in this area which had many older, modest, one-story homes. He said that divided light windows were desirable noting without the grids the windows would create void spaces.

Commissioner Eiref said this would be the first two-story home on that side of Middle Avenue and that any other two-stories were a considerable distance away. He noted he was neutral on the design but thought the design should be held to the highest standards, and he would not want the window grids to be removed.

Commissioner Strehl said she agreed with Commissioners Kadvany and Eiref's comments on the divided light windows.

Chair Kadvany said the Commission was referring to true simulated divided light windows with a spacer bar and not pasted on grids.

Commissioner Riggs said he thought the building was handsome for its style and he appreciated seeing hand drawings nicely portrayed. He said his concern with the project was the style however as this was one of the blocks that was consistently one-story cottages.

Commissioner Onken said not having simulated divided light windows created a different looking project. He said he could consider approving the project as is or continue it to have it come back showing the window grids removed.

Mr. Shahrokh Satvatmanesh, property owner, said he would not alter the windows.

Chair Kadvany said he liked how the forms were put together and that the second floor was nicely recessed from the sides and front. He said however that he did not think the proposed style would integrate with neighboring homes as well as other styles might.

Commissioner Eiref said the residence was surrounded by bungalows and it was possible to do a nice two-story bungalow with a setback. He said as this was the first property for redevelopment in this area of Middle Avenue that it would be great to have something that would fit and could be replicated.

Commissioner Riggs said the design itself was nicely integrated and the massing was amenable for the first two-story in the area. He said he thought the floor plan could work.

Commissioner Onken moved to accept the findings and approve the use permit.

Commissioner Bressler said none of the neighbors had complained about the project. He said he did not like the proposal much but it was within the rules.

Commissioner Ferrick seconded the motion.

Chair Kadvany noted the design of a home on Creek Drive which by itself worked but was completely out of context with the neighborhood. He said he would vote no on this project.

Commissioner Eiref said the home met the correct requirements. He noted the next item was the same architect and that proposal was a very similar design.

Commissioner Riggs said although they did not have design guidelines they should protect neighborhoods, and although this was a handsome design, it did not fit within the context of the neighborhood.

Commissioner Ferrick said the project would bring front and side setbacks into conformance. She said it was a well proportioned design project and although not like neighboring styles, it was not a terrible choice noting other Mediterranean styles. She said without architectural design guidelines there was no basis to deny the project.

Commission Action: M/S Onken/Ferrick to make the findings and approve the use permit including keeping the true divided simulated light window requirement.

Motion failed 2-5 with Commissioner Ferrick and Strehl in favor and the other five Commissioners opposed.

Commissioner Ferrick asked if this proposal was being held to a different standard because the owner would sell the project and not live there. Commissioner Eiref said whether the property owner lived there or not this project would stick out because it was so different from the other homes. Commissioner Strehl said whatever the design was it would be different from the existing surrounding homes. Chair Kadvany said irrespective of design guidelines it was up to an architect to address the context of the street with design, materials, and landscaping. Commissioner Riggs said he was confident Mr. Ashrafi could design within the context of the existing homes.

Mr. Ashrafi upon Commission request said he had visited the neighborhood prior to designing the project. He said staff had made a reference that all the garages in the area were detached and in the rear. He said in fact most of them were attached and recessed. He said there were apartment buildings across the street and west of the park there were four new developments with homes having similar architecture as this proposal. He said on the next block to the east there was a remodel that was two-story and in the middle of the subject block there was a two-story recessed on the back of the lot. He said absent guidelines he believed the zoning ordinance provided the guidelines and envelop in which to design the development. He said as this was being developed to sell that it did not make sense to under-develop the lot. He said the owner put thought into the materials. He said it was a good design that gave depth and volume to the building yet was not overpowering.

Commissioner Onken said it did not matter if the developer would live in the home or not but he questioned that the same architecture was being put forward no matter what neighborhood and its context. He said when they have residential guidelines people would not be surprised when they came before the Commission. He said the zoning ordinance however required the proposed design to come before the Commission.

Mr. Ashrafi said the project was before the Commission because it was a substandard lot. He said if the lot width had been 65 feet the project would not have needed to come before the Commission. He said he served two different entities – his client and the City. He asked what he needed to do noting the project had been awhile coming forward to the Commission because of staff reductions.

Chair Kadvany said he liked the garage even though it took a prominent portion of the front but the architect had mitigated its appearance. He said the forms, massing, and setbacks were good. He said the concern was the surface materials, the roofing and the context with the neighboring homes.

Mr. Ashrafi said they could use siding and shingles for roofing if that was what the Commission wanted. He said they could play with the texture of the building.

Mr. Satvamanesh said he had developed many projects in Menlo Park. He said they did the project at 1131 Saxon Way for which Mr. Ashrafi was the architect and which was a different type of construction. He said they did 333 University Avenue, which was a Craftsman style home. He said for this project they came to the City and asked what would they like. He said they were told there were no guidelines and they could design what they liked. He said that the existing building was stucco with a tile roof and a Mediterranean style. He said they tried to replace with a similar project with what was existing. He said the homes on that block were bungalows but there was no overriding style. He said past the apartments the developments there were Mediterranean. He said he was a civil engineer with a structural and geotechnical master degree. He said there was no design style for his architect to try to match. He said he did not want to build a house that stuck out as no one would want to buy it.

Commissioner Eiref said he would protect the people of Menlo Park and there was a style in the neighborhood which was bungalows. He said the owner was building to the maximums. He said the comment made about removing the dividers because of the cost in a booming real estate market concerned him. He said this property was on the edge of the Allied Arts neighborhood that has many examples of beautiful architecture.

Mr. Satvamanesh said that Mr. Ashrafi was incorrect that the concern with the dividers was the cost. He said he personally did not like dividers and if they saw his home they would see he has no dividers. He said he was out of the country without internet access when the dividers were put into the plans.

Commissioner Eiref said his preference would be to continue the design. Commissioner Bressler said he agreed with Commissioner Eiref that they needed to protect the neighborhood and whether or not there were guidelines was irrelevant. He said if the applicants had specific questions they should ask.

Commissioner Ferrick noted the scrutiny of this project because the lot was substandard. She said the fairness of making the redevelopment process that much more difficult and expensive for the smallest property owner was something the City needed to consider, noting she did not like it as a substandard lot owner herself. She said in this neighborhood there were not only one-story bungalow homes and that she could think of a couple of two story stucco and tiled roof homes within a nearby radius. She noted the nearby Safeway project and its stucco, three-story building and tile roof. She noted stucco two-stories on College Avenue and at 389 Middle Avenue there were two family homes one of which was a Mediterranean tile roof home. She said it would not be her choice of a home but it was the applicant's choice. She said it was her observation that the opinion shifted dramatically when the architect was asked if the owner would live in the home or sell it.

Chair Kadvany said context was what was on the block and not across the street. He said the City about 10 years prior was set to adopt some City guidelines but did not as there were residents opposed. He said the zoning ordinance outlined a process to bring people before the Commission for guidance to prevent the building of McMansions by developers.

Commissioner Ferrick said she thought if the standard lots had some similar process that would be fairer. She agreed that it was good to have review as she thought they got better projects because of it. She noted an earlier project was a modern-style two-story house in the Willows and she was not sure about the context there but it was a likable house. She said initially architects on the Commission described this house as a handsome structure designed adequately and she felt like they were not being consistent.

Commissioner Riggs said he resolved substandard lot unfairness by determining to protect what he could if the City Council would not apply standards all around town. He said in terms of this architecture that he did not think the architect needed the Commission to tell him what siding to use. He said there were ideas to be had from homes in the Allied Arts area. He said that cast window trim had no basis in California. He said he understood wanting to do a "look at me" home but not in a block of the most conservative architecture in town. He said he did not necessarily think stucco or the tile roof should be ruled out.

Commissioner Eiref moved to have the project continued and for the applicant to work with staff. Commissioner Bressler seconded the motion.

Commissioner Strehl said this was not the style she would choose but she felt the applicants had followed the regulations and guidelines, which was why she had voted to approve. She noted homes built in her neighborhood not needing Commission review had not necessarily taken context into consideration and when approved were completely out of context and were larger structures than this proposal. She said she did not think they were necessarily playing evenly across the board with these properties.

Commissioner Bressler said that substandard lots cost less. He said they had nothing to apologize in that regard.

Mr. Satvatmanesh said he paid \$300,000 more than the asking price for this property and he questioned Commissioner Bressler's statement that substandard lots cost less. He said he wished he had been told earlier what the Commission would want. He said he did what the law said, did the process and talked to the planners about what kind of project he could do. He said he wished someone had told him before he had spent \$80,000 already that he would have to change the drawings. He said he did his research and there was no standard that said he had to build a bungalow and if that had been a requirement he would not have bought the lot.

Commission Action: M/S Eiref/Bressler to continue the item with direction including being more consistent with the design of existing homes along Middle Avenue, especially in regards to surface materials.

Motion carried 7-0.

D3. Use Permit/Farhad Naimy/1015 Atkinson Lane: Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot depth in the R-1-S (Single-Family Suburban) zoning district. As part of the proposal, a heritage magnolia measuring 20 inches in diameter, at the right rear corner of the property, is proposed for removal.

Staff Comment: Ms. Sandmeier said staff had no additional comments.

Public Comment: Mr. Ashrafi, project architect, said the lot was substandard because of its location on a cul de sac. He said another two-story home was just one home removed from this site and another two lots down. He said they have talked to the neighbors and were doing generous setbacks on both sides. He said the neighbors at 1005 were concerned because of how their front yard was situated and they allowed that neighbor a part of the subject property so the neighbor's lawn would be protected in lieu of putting up a fence. He said they held several meetings with the right side neighbors. He said one aspect to address was the design was originally submitted with slate roof but most of the roofs in the neighborhood except for the Mediterranean house two doors up were composite shingle. He said they would like to change the roof material to composite shingle.

Mr. Nicholas Menaker, resident at 1035 Atkinson Lane, said he was a tenant. He said the homeowner where he lived could not attend this evening nor had he been engaged by the applicants in any of the dialogues mentioned. He said he had not seen any plans until the agenda packet. He said concerns he and the homeowner have were why the setback was moved 10 feet from the left and brought to the statutory minimum on the right. He said that was compressing the property and house in which he lived, and was not necessary as the footprint of the home was not changing. He said another question the homeowner had was whether there would be an air conditioner and if so where it would be located, and what the specifications and size of it were.

Ms. Bonita Lew said her home was located to the rear of the project site. She said in her second letter she requested more screening along the rear fence and that they make the windows smaller as her living area was in the back of her home, and she felt her privacy would be impacted.

Chair Kadvany closed the public hearing.

Responding to a query from the Chair, Planner Sandmeier said an air condition unit was proposed and would be on the left side, confirming that was the opposite side from Mr. Menaker's residence.

Mr. Ashrafi said that each neighbor had received notice that they would hold a neighborhood meeting to share the plans. He noted that Mr. Menaker had not attended. He said they had asked their landscape architect to coordinate the planting of trees on the subject property with the trees planted on the neighbor's property to provide maximum screening. He said the master bedroom on the second story faced the rear and had two three foot windows that would have landscape screening.

Chair Kadvany noted that the windows on the front had shutters but there were none on the rear windows. He thought they should consider using on the rear windows or mitigating the void appearance of those windows somehow.

Commissioner Eiref said there were other large two-story homes in the neighborhood. He said it was a very large home and landscape screening was needed to protect the rear neighbor. He questioned the tall chimney located in the center of the roof as it had stone veneer but which material was not found anywhere else. Mr. Ashrafi said there was a trellis to tone down the chimney. Commissioner Eiref said the stone was basically on the rear of the chimney. Mr. Ashrafi said they have two chimneys both of which have stone veneer. Commissioner Eiref said there was not much backyard and it didn't seem the stone veneer on the rear of the chimneys would be visible for those living in the home but very visible for the rear neighbor. Mr. Ashrafi said they could use different materials on the chimney. Commissioner Eiref asked if they would replace the fence. Mr. Ashrafi said the fence on the right side was on the subject property and would be relocated to the property line and the rest of the fence was on the property line and would be maintained or

repaired if needed. Commissioner Eiref said there would be heavy construction for a 1,900 square foot basement and suggested mitigation such as fencing as much as possible. Mr. Ashrafi said there would be construction fencing.

Commissioner Ferrick said this was a large structure and asked about any energy efficiencies that might be used. Mr. Ashrafi said the appliances would be energy and water saving including a tankless water heater. He said they had not considered solar panels but would use insulation, radiant barriers in the roof, and cool roof technology. Commissioner Ferrick asked about the windows. Mr. Ashrafi said they were all dual glazed windows. Commissioner Ferrick encouraged the use of greater efficiencies than just standard requirements as the energy costs for such a large home would be great. She asked if the paving would be permeable. Mr. Ashrafi said they would use pavers. Commissioner Ferrick said she was fine with the shape and materials of the chimneys except this material was typically from China and that it was energy inefficient to import materials on boats from other countries. She said she would prefer something else for that reason. Mr. Ashrafi said this was a stone veneer that was not an imported product.

Commissioner Onken said the mass was large but within the setbacks. He said the front was articulated with a deep porch that helped break up the mass. He moved to approve.

Mr. Menaker asked why the fence was being moved to property line. Commissioner Onken encouraged him to discuss the property boundary location with staff.

Commissioner Riggs said the Magnolia proposed for removal looked healthy and he could not tell if it was a Southern Magnolia or a Saucer Magnolia. Mr. Menaker said the Magnolia's roots were breaking the concrete. Commissioner Riggs said if it was a Saucer Magnolia it would be a shame to lose one so large. He asked what tree would replace the tree lost in front of the subject property. Mr. Ashrafi said the City requested a 24-inch box Red Oak. Commissioner Riggs said he very much liked the proportions and materials of the chimneys. He asked what the color of the stone would be. Mr. Ashrafi said that they would coordinate stucco, trim and stone color. Commissioner Riggs said typically on larger projects the Commissioner was given materials and color boards and that he was noting that for staff.

Commissioner Ferrick seconded the motion.

Commissioner Riggs suggested that the motion include changing the roof material to composite shingle. Commissioner Ferrick agreed and encouraged the use of energy efficient systems and window upgrades. Commissioner Eiref asked if the applicant would confirm for the record that they would do landscape screening on the rear. Mr. Ashrafi said they would. Commissioner Ferrick asked that they work on the property line and fence location with the neighbor. Mr. Ashrafi said the fence was located two feet into their property and would be relocated on the property line.

Senior Planner Rogers noted the rear neighbor had expressed concern related to the number of trees planned for screening.

Commissioner Onken said the motion was to approve as recommended to include a modification to revise the plans to show the roof to be composite shingle and to include an enhanced landscape plan. Commissioner Ferrick seconded the motion as restated.

Commission Action: M/S Onken/Ferrick to approve the item with the following modifications,

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current CEQA guidelines.

2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Ashrafi Architect, consisting of 17 plan sheets, dated received December 16, 2013, and approved by the Planning Commission on January 13, 2014, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
 - g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the attached arborist report.

4. Approve the use permit subject to the following project-specific conditions:

- a. Simultaneous with the submittal of a complete building permit application, the applicant may submit revised plans showing the roof to be composite shingle, subject to review and approval of the Planning Division.**
- b. Simultaneous with the submittal of a complete building permit application, the applicant shall submit an enhanced landscape plan, subject to review and approval of the Planning Division. The enhanced landscape plan shall have the objective of providing additional screening to the rear neighbor at 20 Palm Court, and shall be developed with the input of this neighbor.**

Motion carried 7-0.

D4. Use Permit/Benjamin T. Himlan, Off the Grid/1090 Merrill Street: Request for a use permit for a recurring special event (weekly food truck market) on a portion of the Caltrain parking lot, at the corner of Merrill Street and Ravenswood Avenue in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The event would occur on Wednesday evenings between 5:00 p.m. and 9:00 p.m., with setup starting at 3:30 p.m. and cleanup concluding at 10:00 p.m. The event would include amplified live music (typically consisting of one to two musicians playing predominantly acoustic instruments) and generator use, which may exceed Noise Ordinance limits. The event would have an initial term of one year, so that its operations can be evaluated prior to any long-term approval.

Staff Comment: Senior Planner Rogers said staff had received additional correspondence since the printing of the staff report. He said copies were given to the Commission and copies were also available for the public. He said similar to other correspondences received included with the staff report there were letters of both opposition and support. He said the City's Economic Development Manager Jim Cogan was available to answer questions as well.

Questions of Staff: Commissioner Eiref asked if there was data related to similar events in the Bay area and impacts on local restaurants. Senior Planner Rogers said staff did not have any numerical, quantitative data but spoke with planners with the cities of Belmont and Burlingame, locations where there were Off the Grid markets. He said those planners indicated that there were no identifiable negative impacts, although in Burlingame there were statements of effects by some local merchants.

Chair Kadvany asked about the noise standard for this event. Senior Planner Rogers said the City's noise ordinance was stated as applying at the nearest residential property and enforced upon complaint. He said with complaints that enforcement officers use a noise meter at the nearest residence to the noise source.

Commissioner Ferrick asked if this was the only location considered. Senior Planner Rogers said there was the possibility of something downtown in the Chestnut Street area as related to the paseo in the Specific Plan and that was suggested to the vendor. He said the vendors indicated they have a good working relationship with Caltrain and the location was active with commuters.

Commissioner Onken said he thought on Wednesday nights there were tables set up in the area providing food to the homeless and asked if that use had gotten a permit. Senior Planner Rogers said he was not personally aware of that activity and it had not been permitted to his knowledge.

Commissioner Eiref said he went by the site at 5:30 p.m. and there were about 20 cars parked on one end. He asked how parking would be blocked. Senior Planner Rogers said the vendor at the Belmont Caltrain, on attachments F2 and F3, posts signage noticing the day, time and where parking would be restricted.

Chair Kadvany asked if the parking fee was the same throughout the day. Planner Rogers said in the Caltrain parking lot west of the tracks all of the parking cost the same, around \$5.00 and was for the entire day.

Commissioner Strehl asked if cars would be towed or ticketed because of the proposed event. Planner Rogers said there was no ticketing by the City but Caltrain can issue tickets when people do not pay fees. He said he has also been informally monitoring the lot and usually in the evening there might be only five cars.

Public Comment: Mr. Ben Himlan, Business Development Manager, Off the Grid, said the concept of grouping food and trains together started in 2010 and they now operate 25 markets in 22 locations across five counties once a week. He said they wanted to create a unique eating experience for the City of Menlo Park. He said they have worked at length with the Planning staff to thoroughly address the details of the proposal and hopefully mitigate concerns. He said he understood those who had concerns but noted there were also many who supported the project and were excited about it.

Commissioner Onken noted a specific condition stating the applicant would monitor trash and clean up after the market. He asked where the trash would be collected. Mr. Himlan said they require every vendor who participated in the market to bring a three compartment trash system with them for recycling, waste and compost. He said the vendors take the units back to their commissaries or restaurants for collection. He said they also put three waste units around the market that typically were used more than those at the trucks and those were emptied periodically into their 16-foot box truck, which was taken back to their San Francisco offices and sorted by San Francisco Conservation Corps (SFCC).

Commissioner Onken asked about liability insurance. Mr. Himlan said they carry \$5,000,000 in liability insurance. Commissioner Onken asked if that covered individual vendors. Mr. Himlan said each vendor also names them as an additional insured on an evidence of insurance and all of those fall under the company's insurance umbrella.

Commissioner Strehl asked if the vendors have to carry additional liability. Mr. Himlan said they did. Mr. Matt Cohen, owner of Off the Grid, said each vendor was required to carry a minimum of \$2,000,000 general liability insurance and \$1,000,000 per incident which was fairly standard for general food service industry.

Commissioner Strehl asked if the eating utensils, cups and plates were all biodegradable or recyclable. Mr. Himlan said they request their vendors to use only compostable and recyclable materials. Commissioner Strehl asked what their projection was for the number of expected customers. Mr. Himlan said they project 800 to 1,000 customers over the five hours and having 10 trucks. Commissioner Strehl asked about the fee to Caltrain. Mr. Himlan said they pay a base monthly fee of \$750 and a percentage of the profit. Commissioner Strehl asked if they provide tables and chairs. Mr. Himlan said only chairs. In response to Commissioner Strehl's question about attendance in Burlingame, Mr. Himlan said there were about 1,000 to 1,200 people with one large turn as people came home from work and then another of people who went home first, came later and who tended to stay longer. Commissioner Strehl asked about their relationship with local food vendors in Burlingame. Mr. Himlan said in Menlo Park they had worked with City staff for seven months to apply for a permit but in Burlingame they were told they did not need a permit as they had authorization for private property and had a business license. He said there was opposition from the Broadway Bid at which point they decided to terminate their contract with Caltrain. He said they then went to the City and asked them to issue a permit. He said that led to a public hearing and Council voted 4 to 1 for Off the Grid to stay. He said since then they have made efforts to work with the BID for cross-promotional opportunities that might be available.

Commissioner Onken asked if the applicant had any information as to negative or positive impacts on local businesses. He also asked if the Off the Grid research department had looked into ways to dampen the generator noise produced. He asked why they needed 10 trucks noting that on Monday nights there were four trucks in the Willows area and throngs of people. Mr. Himlan said as they have grown people have requested that they locate in their community and he thought they already had a customer base in Menlo Park. He said the number of trucks depended on attendance. He said they were asking to do 10 to 12 trucks. He said realistically they would start

with 10 trucks and gauge attendance. He said the number of trucks helped reduce lines and increased parking turnaround. He said typically they have eight to 10 trucks and in some areas they have 12 which were larger scale destination places. He said they encourage all their vendors to use a Honda generator that was the most energy efficient and quietest in the market. He said some trucks have the generators built into them while others were external but in both instances those were permitted through the County Health Department. He said in this proposed location there was already a lot of noise with cars on Ravenswood Avenue. He said generator noise has not deterred people from wanting to stay. He said they have testimony from different property management groups and businesses they work with but those entities had not shared their sales numbers. He said they can communicate with a lot of people through social media and they operate rain or shine. He said people come from 10 to 15 miles away and that foot traffic potentially would have a beneficial impact on local businesses. Commissioner Eiref suggested surveying customers to find out if they use other facilities in the City.

Chair Kadvany noted there would be one porta-potty. Mr. Himlan said they would have one ADA accessible porta-potty which was what they use in most of their locations. Chair Kadvany said it was all day parking and asked about employee parking, and what happened with Caltrain parking after 5:00 p.m. Mr. Himlan said employees come via the 16-foot box truck and noted a parking analysis in the staff report. He said they want to use the south end and at 5:00 p.m. they found that area lightly parked or even empty. He said the parking analysis showed over increments of 30 minutes as the evening progressed parking decreased allowing for parking availability for their customers. He said the parking fees would apply. He said Caltrain has authorized use of the space and had considerable data about use. He said there would be some overlap at 5:00 p.m. as it was a commuter lot. He said in the 5 to 7 p.m. timeframe people tend to get food to go and for the later hours people come to eat and stay. Chair Kadvany said he thought \$5 for parking was steep for those who wanted to stay 15 to 30 minutes. Mr. Himlan said they could have a conversation with Caltrain about that but at this point it was intended that the fees would apply. Chair Kadvany said there was some uncertainty about parking and maybe people would not pay \$5 to park. He asked if they considered a smaller pilot project to then determine if the parking needed increasing. Mr. Himlan said scaling down the number of trucks would not necessarily keep people from coming. He said there's been a lot of press and attention and they would need to be prepared for that if the permit was approved for them to operate.

Mr. Cohen said at their location in San Francisco there's adjacent parking at Fort Mason whose parking fees are about the same as the Caltrain's. He said while more hourly rented it starts at \$3 and goes to \$5 for one hour. He said people use that parking. He said they have identified 8 to 10 trucks for their markets as that was the number of trucks needed to serve the need. He said there might be a huge surge of use in the beginning that might drop later at which time they could have fewer trucks but they would not want the situation where people had to wait in line an hour to get food.

Mr. Joseph Sinnott said he and his wife lived across the street from the Caltrain station. He said he was very familiar with the area proposed for the market. He said it would be a mistake to issue the permit if even on a temporary basis. He said the site was close and at the same elevation as the southbound tracks or about 20 feet away. He said men, women, and children eating at the site would be subject to harmful levels of high whistle intensity sounds and might experience hearing loss. He said the tracks at the Belmont station were elevated and so there were no whistles and also further away from the trucks. He said in Menlo Park trains that don't stop at the station start sounding whistles north of Oak Grove Avenue and through the station area until they cross Ravenswood, noting there were eight of these trains each weekday night between 5 and 7 p.m. He said hearing loss depended upon not only the sound level but cumulative levels of exposure. He said he had read that train whistles were at 110 to 120 decibels and 85 decibels was enough to

cause some type of hearing loss. He suggested measuring the sound levels of site to see if they were acceptable.

Mr. Bob Larson said he was the owner and operator of the Round Table Pizza at 1220 El Camino Real in Menlo Park. He said his father started the restaurant at that site in 1959 and he was proud to continue his business in Menlo Park. He read from an article that independently owned local businesses have taken a beating in the wake of the recession and bringing this event to town represented unfair competition and created an uneven playing field. He said restaurants pay property taxes either directly if they own the premises or through rent. He said they hire local workers and they contribute to a vibrant business district seven days a week. He said food trucks don't pay rent or property taxes and just a small fee to Off the Grid. He said what outrages him the most was these food trucks would use publicly owned property which he pays for with his taxes. He said it was like a store coming to town and instead of leasing a building setting up shop in City Hall. He said there was no research on impacts. He said Burlingame restaurant owners have reported a loss of business because of food trucks in their city. He asked amplified music was need for a food truck event next door to an apartment complex at Menlo Square, home to 25 families. He said this was not about anti-competition. He said being in the restaurant business for 37 years that he expected competition but he would never have foreseen that a benign parking lot would turn into a movable food court one week night every week. He said there were food trucks in all of the corridors of the City five days of the week and that has affected his catering by at least 60 to 70%. He said there was a lack of scrutiny and no outreach to business owners. He said Wednesdays were good nights for local businesses while Monday Tuesdays tended to be slow.

Ms. Enjay Smith, Menlo Square, said the residents there ranged from small children to older people. She said her concern was the possible problem of the music/noise. She said the report indicated the amplified music and the generators would be a new noise source. She said her concern was for the residents of Menlo Square that somebody would impose their music upon the residents. She said people don't want trucks to drive up to their front door and play whatever music they want. She said she understood the music would be directed toward Kepler's but in that area noise ricochets off all the buildings. She said she was on the back of Menlo Square and it sounded like the train was coming right down El Camino Real. She said if the permit was approved, which she hoped it was not as she thought there were much better places that wouldn't cause aggravation for the residents, she suggested that whenever there was agitation or complaint about the music that the plug be pulled for the rest of whatever the initial period of the use permit was.

Mr. Ali El Safy said he was a small business owner in Menlo Park for the last 20 years. He said his restaurant Bistro Vita was located at 601 Santa Cruz Avenue. He said he was concerned with the proposal as they were just emerging from a difficult recession and business was just slowly returning to Santa Cruz Avenue. He said with the loyalty of his customers and employees they were making a comeback but it was not guaranteed. He said the addition of unregulated food trucks to the local food scene would threaten his business noting the costs of employee salaries, worker's compensation insurance and other insurance. He said his business generates \$78,000 of sales tax annually, he pays property taxes and he hires local kids when they come home for the summer. He suggested that Off the Grid was a great idea but should be in a different location and different day with no music. He suggested Burgess Park as it would be safer or in the area near Facebook.

Ms. Nicki Poulos said she operates a coffee shop in Menlo Park. She said she agreed with the first speaker Mr. Sinnott and with the second, third and fourth speakers about the music, and agreed it was wrong to have freeloaders come in after local business owners had suffered through the recession. She said she agreed with the idea of having them located further away from the

downtown. She said she did not think the cleanliness would be up to standards noting she finds her business' trash containers filled with others trash. She said she did not want to be dealing with someone else's trash.

Mr. Luis Oseguera said he and his mother Catalina run Mex-to-Go restaurant at 1081 El Camino Real. He said his father opened the restaurant there in 1987. He said the proposed use was unfair to those who running a business in Menlo Park noting the expense of operations. He said he agreed with all of the previous speakers from local businesses that this was unfair and that it was not justifiable to open up a parking lot and have vendors take away local business customers.

Mr. Kurt Ugur said that any sales tax generated by these trucks would go to the County and not the City. He said he did not know the City was running a charity. He said for his business he pays \$8,500 in property tax, \$2,300 for sewer, \$597 for a parking space at Plaza 8 where he cannot find parking, pays for business license, and he donates for nonprofit Menlo Park organizations. He said to have this market in the center of the train station was unthinkable. He said the County's health inspections and level of hygiene and safety of the restaurants inspected by them protected the health of people. He asked who would inspect these food vendors. He said this would be unfair business practices and would bring trouble on the City. He asked where 1,000 people would park their cars. He said one porta-potty would not suffice. He asked the Commission to listen to those speaking tonight and not allow this to happen at this location. He said the City had lost businesses because of the recession and economy was improving but now the City was entertaining the intent to allow people to come into the City and make money without paying any taxes.

Chair Kadvany called the speaker Emilio but no one answered.

Mr. Bez Zahedi said he owned Una Mas Mexican Restaurant at 683 Santa Cruz Avenue which he has operated there for seven years. He said he agreed with the other speakers. He said parking on this side of El Camino Real was free after 6 p.m. He said there was a huge parking issue and for this group to come and use needed parking spaces for the local businesses was wrong and they would lose customers because they would have nowhere to park. He said the closed Caltrain parking lot would force everyone else to park elsewhere. He said like Mr. Wglor noted that one porta-potty would not be enough and people would come to their restaurants to use their bathrooms, and that when people come back to their cars from the Caltrain lot they would put their garbage in their businesses' waste receptacles. He noted the reference to commuters getting takeout food from 5 to 7 p.m. He said those were the local restaurants' customers who come and pickup food from them.

Chair Kadvany asked if the projected 1,000 people was over the whole evening or expected at one time. Mr. Cohen said it was the high end number for attendance over the evening. He said it was about 100 to 150 people an hour.

Ms. Kelly Vallarino, unincorporated Menlo Park, Monterey Avenue, said she was a daily commuter to Oakland. She said that there were approximately 81 home games for the San Francisco Giants and approximately 12 day games on Wednesdays. She said they have many friends who go and use the Caltrain parking in Menlo Park to go by train to the games. She said there would be traffic impacts noting many local sports events. She said when the food trucks were inspected by the County of San Mateo they were typically empty.

Chair Kadvany called on Kristen Leep but there was no response.

Mr. Hank Lawrence said the proposal was not a good idea. He said the restaurateurs and merchants were the fabric of Menlo Park, and should be recognized for having provided really good service and belonging to the community. He said these were good people who worked hard, paid a lot of taxes and contributed much to the community. He said they needed to be treated with a certain level of dignity and respect. He said he talked with Fran Dehn and suggested the Chamber of Commerce work with all of the restaurateurs and come up with something they could do mid-week Tuesday or Wednesday where restaurants would host some type of special such as reduced prices, or a theme or more sidewalk café thing. He suggested they hold up on this proposal and allow the locals to make an alternate proposal.

Ms. Christin Evans said she was involved with the Kepler's 3.0. She said Kepler's Books was located adjacent to the proposed site. She said they polled over 20 staff members about the proposed one year trial period for the event. She said there was unanimous support for the market to be there but also concerns and caveats basically regarding the need to address parking conflicts, bathroom use, and duration of the trial period. She said the idea of having late evening diverse food choices was appealing to the staff and staff felt having this would also be fun for their patrons who attend over 200 different activities at their store a year. She said she met with Mr. Himlan and Mr. Cohen to discuss joint marketing efforts for some exciting evenings out for Menlo Park residents and the broader community that their two businesses serve. She said their primary concern would be mitigated with some measures. She said regarding parking that though Off the Grid patrons might park in the Menlo Center garage that through signage alerting their event attendees of where parking designated for them was available this could be mitigated. She said Off the Grid was offering signage for posting at the garage at Menlo Center. She said in 2013 Kepler's hosted 33 events out of 52 Wednesdays of which they thought only eight would have posed a significant conflict with Off the Grid. She said they also would like to address the bathroom concern noting that Kepler's already has significant issue with non-customer use of their bathroom facilities. She said they requested that Off the Grid use a high quality porta-potty that was inviting and regularly maintained, and that would address the majority of demand. She said if there was more demand they would request Off the Grid supply a second porta-potty. She said during the trial period they would monitor the use of Kepler's bathrooms. She said ideally they would like to see a trial period of less than a year and that two to three, even six months would produce data on impacts to businesses but they also understood Off the Grid wanted to recover its investment in building a market presence so were willing to live with the one year trial period. She said in summary they enthusiastically supported Off the Grid's temporary use permit for a trial year and eating food from the food trucks.

Mr. Milton Borg said he was very close to the problem as he has owned the 7-11 and J & J Hawaiian Barbecue for 50 years. He noted that Dardanelle's was no longer in the Menlo Square, the tea shop was gone, and he questioned whether Café Borrone's would have built a new restaurant site if they knew they would lose six hours of business one night a week. He said once a week it would be chaos and prospective tenants would not want to lease there. He said his tenant who own J&J Hawaiian also owned Jason's and was very concerned with this proposal. He said he receives a lot of mail from the City but he did not receive anything on this hearing which was proposing 52 days of loss of income for local restaurants. He said until the Daily Post wrote about this not many people knew about it.

Ms. Lenore Hennen said she lived at the far side of Menlo Square backing up to Oak Grove Avenue, that she hears the dogs barking at the animal hospital and everything happening at the Caltrain station parking lot. She said the City's noise ordinance had a maximum of 60 decibels and Off the Grid used equipment that allows for 125 decibels. She said she would hear that noise loud and clear in her unit which was at the far end of the complex. She said she did not buy her residence expecting to have someone else's music imposed upon her. She said there would be

bags of garbage and she did not believe the garbage would be completely removed. She said she was appalled that there would be 1,000 people at one of these events. She was concerned they would use a parking study done by the applicant. She said there was parking shortage in the City and certainly afternoon and early evenings were busy times.

Mr. Serge Karanov, owner of Jeffrey's Hamburgers, said he agreed with many of the points made. He said merchants donate a lot tax wise and to schools and other community organizations. He said at his San Mateo business food trucks were allowed one summer on Mondays and his business dropped 24% on those days.

Ms. Emily Finch, architect and Menlo Park resident, introduced her neighbor Toddy. She said they lived on Noel Drive. She said the location of the food trucks was basically their front yards but they fully supported the food trucks. She said it would bring much needed vibrancy and night life to Menlo Park. She said she and her neighbor eat at the restaurants in Menlo Park and one night a week they would try something different. She said they would walk so parking would not be an issue.

Toddy said they thought the food trucks would bring life and vitality to Menlo Park and might even boost businesses and economy by providing a healthy place for friends and families to get together. She said they did not think noise would be a problem noting the train noise and music and laughter from Iberia in the evenings. She said she thought a lot of people would walk or ride their bikes, or come from the train. She said there was an office building with a large parking lot for which some arrangements might be made to use parking at night. She said she could get a petition of support from residents of Noel Drive.

Ms. Finch said as an architect the location they were selecting was an underutilized spot and would bring life and might cut down on crime that happens there.

Chair Kadvany closed the public hearing.

Commission Comment: Recognized by the Chair, Mr. Matt Cohen, Off the Grid, said they would expect people to use alternate modes of traffic to get to the market. He said all of the trucks would have Menlo Park business licenses, pay sales tax, and participate as responsible members of the Menlo Park community. He said they have reached out to Fran Dehn to work with the Chamber to encourage the restaurants to actually participate in some sort of Wednesday night endeavor and they would be happy to cross promote that. He said all of the trucks were inspected once a year through the County. He said the County also receives a schedule of their events and the trucks were routinely inspected onsite for food quality and sanitation standards. He said what they wanted to achieve with the music was less of a concert atmosphere and more of atmosphere to be enjoyable for sitting, relaxing and eating. He said two key demographics of people who attend their events were professionals 30 to 40 year olds with young families and 20 to 35 year old young professionals. He said there would be two staff members cleaning the site throughout the course of the events and each of the trucks would take their trash back to the commissaries as legally required through the health department and all of his business' trash was being sorted by the San Francisco Conservation Corps.

Commissioner Bressler asked about local restaurants participating. Mr. Cohen said that if a restaurant has a truck and would like to participate they should contact them. He said however the use of tents was a different permitting process.

Commissioner Strehl asked what the vendors were charged. Mr. Cohen said they charge them \$50 base fee and 10% of the revenue per event. Commissioner Strehl asked if they ever had to

provide security at their events. Mr. Cohen said they have never had a security incident at any of their events in the three and a half years they have been doing them. He said he thought their events provided a safety enhancement to the areas rather than a detriment. Commissioner Strehl asked if the vendors' employees were California residents and citizens. Mr. Cohen said vendors were required by law to adhere to all labor regulations and their choices of vendors offered the best representation which was why he thought they have been so successful with their markets.

Commissioner Riggs asked about the possibility of increasing the number of restrooms noting commuters getting off the train. Mr. Cohen said they could but noted one restroom has been sufficient for each of the events they have done. Commissioner Riggs asked if the music could be revisited should there be a certain level of complaint. Mr. Cohen said they were happy to put an A-frame with the contact information of the manager onsite. He said they wanted to respond and adjust the level as necessary. He said the music element provided them the opportunity to work with local musicians.

Commissioner Ferrick said there was a comment about 12 home Giant games on Wednesdays and asked how they would handle that. Mr. Hamline said one of the days he did a site evaluation was a day game and the parking lot was very full. He said the game was over at 3 p.m. and the lot cleared drastically from 3 to 5 p.m. He said this year there were eight games on Wednesdays that would be night games at 7:45 p.m. He said on those days they would need to come early in the morning and barricade the one portion of the parking lot.

Commissioner Strehl asked about the fees paid to the City. Senior Planner Rogers said the most significant single fee for the City would be for the use permit review. He said the applicant and each individual truck would need to get a business license. He said if items were taxable a percentage of that should come to the City. Commissioner Strehl asked if the Farmer's Market needed a permit or paid fees. Senior Planner Rogers said it had been in existence so long he would need to research the questions.

Commissioner Bressler asked why the food trucks in the Willows did not come for Commission review. Senior Planner Rogers said no application had been made nor had there been any complaints. He said in general terms he thought such food truck events anywhere in the City should require this type of use permit review.

Commissioner Ferrick asked if the Farmer's Market impacted local groceries. Senior Planner Rogers said there was no data but anecdotally there had been concerns that it would but since then the Farmer's Market had become a beloved event. He said sales tax information since the location of BevMo in Menlo Park, for which there had been great concern from local merchants that the business would impact their businesses, indicated there was greater sales tax revenue and indication of new customers and not the movement of customers from one store to the other. Commissioner Ferrick asked if there was a way to get data from local restaurateurs to see if there was an impact. Planner Rogers said potentially by comparing sales tax revenue from 2013 to 2014 should this project be approved.

Commissioner Ferrick said this event in offering diversity might have an additive beneficial impact of bringing new people to Menlo Park. She said she has worked with a number of downtown merchants. She said an office colleague and she went to an off the grid market at Serramonte. She said they got some food but it was cold so they used another restaurant to be inside and warm. She thought it could be a collaborative and additive event for the City. She thought the review process might be sooner to assure there were no negative impacts to local restaurants.

Commissioner Riggs said he was sensitive to both the concerns of the restaurateurs and the desire as defined by the Specific Plan process to increase downtown vibrancy. He suggested having a shorter period than one year for an initial review.

Commissioner Eiref said he would support a shorter period to have an initial review. He suggested the applicant could get data by doing a survey of users. He was concerned with parking. He asked about sidewalk widening to support downtown restaurants increasing outside seating. Senior Planner Rogers said it was a project on the Capital Improvement Program list for next year he believed.

Commissioner Onken said the demographics supporting the downtown restaurants and those supporting the food trucks were different. He said he would agree with Commissioner Riggs on a more limited trial period and to require two toilets rather than one. He said regarding noise that the food trucks were closer to the library than Menlo Square. He said they were not paying sales tax revenue or property tax which was painful but they would bring vibrancy. He said he could support with a shorter period for review.

Commissioner Strehl said she did not like the proposal at all at first but then thought about the Farmer's Market and used that analogy. She said the Farmer's Market had created some vibrancy in the downtown on Sundays and she sees people afterwards go to Trader Joe's and Draeger's. She said she hoped there was a possibility this proposal would create vibrancy and not impact local restaurants. She said she had concerns with the location noting Ravenswood was a choke point. She said she could support for a limited trial of six months.

Chair Kadvany said given the needs of Menlo Park to develop interest in vibrancy and that this was one day a week, that this was in a good location. He said there were quite a few correspondences supporting the application. He said parking was somewhat uncertain. He said he was concerned that the basement garage for Menlo Center would be used for this event. Mr. Cohen said they met with Kepler's and they would provide signage. Ms. Evans, who spoke earlier on behalf of Kepler's Books, said Kepler's did not think there would be any persistent parking conflict because of this event.

Chair Kadvany said he liked the idea of working with the Chamber particularly during the summer on cross-promotional activities. He said it sounded like the trash would be handled, another bathroom added if needed, the noise would be monitored and northwest winds would tend to move it towards Ravenswood Avenue. He asked staff to comment on parking noting that if the lot filled and users did not go to Menlo Center to park which was unwanted they would need to find parking elsewhere and if they didn't find any he thought they would leave. Senior Planner Rogers said the willingness to find free parking and walking depended on the distance and if it was too far people would just leave. He said one output of a trial period whether one year or less would be observing the Caltrain lot and if that lot's fee payment became an issue that could become a requirement for the applicant to resubmit with Caltrain agreeing to remove that payment requirement. He said if other private parking lots had reoccurring issues there could be a requirement to do more signage. He said that staff's observations were consistent with the applicant's parking study and that as afternoon moved into evening, parking spaces are vacated at the Caltrain lot. Chair Kadvany said he could support a nine-month review time through the end of the year. He noted all the challenges that restaurateurs face running a successful restaurant. He said he suspected food trucks were also a challenging business. He said the goal was to do an enjoyable experience for the people of Menlo Park noting the demographic of such an event was one that was not particularly well served in Menlo Park at this time.

Commissioner Bressler said the Kepler's parking was the biggest issue and that concern had been addressed. He said this proposal was an innovation of service to people in Menlo Park, and he did not think it was the role of the Planning Commission to stand in the way of innovation. He said he would like the applicant to get at least nine months of operation before the use was reviewed.

Commissioner Ferrick said her main concern was the safety of the location and the impact to Ravenswood and its already congested traffic in the early evening hours. She said her other concern was that Caltrain was the choice of travel from this area for Giants games as opposed to gridlock traffic on 101 and paying \$20 to park in the stadium lot. She said in addition to those dates she had concerns about the Wednesday when there would be concerts downtown as she did not want to impact the success of the summer concert series. She said the City's annual block party also occurred on a June Wednesday night as a kickoff for the concert series. She said it would be important to work with Fran Dehn and the committee to make sure it all would work if this was approved. She said she was concerned about the eight night time Giants games and suggested moving the market to a different location so parking was not denied at the Caltrain parking lot for people going to the games. She said she thought the market generally would have a positive and additive effect on local merchants and she would encourage the partnering with the applicant and merchants on joint events and promotions. She said she saw three restaurants that might be impacted negatively: Jeffrey's, Mex to Go, and Round Table Pizza as they tended to serve families and the younger demographic in the immediate area. She said she would support a six-month trial noting Off the Grid was confident about their business model so they should be able to bring data back in six months that demonstrated success. She said if it was not working then it would not be allowed to continue throughout the entire summer. She asked if Jim Cogan the Economic Development Manager for the City would like to add his perspective on the application.

Mr. Cogan said last year he had contacted Off the Grid to make them aware of a change in permitting fee and that started a conversation about this proposal. He said the City was close to Redwood City and Palo Alto and lost considerable resident discretionary spending to those cities. He said an event like this was a way to pick up some of that business.

Commissioner Eiref said he thought visitors would look for free parking and suggested perhaps a reduction or waiver of parking fee on the Caltrain lot. He said they should have metrics associated with a trial period of operation. He said these type of events were not relaxing eating events noting particularly generator noise but also music and trains traveling past. He said this would not substitute for a great restaurant experience in Menlo Park.

Commissioner Strehl said the use permit would go into effect with the first event and asked when that would be projected. Mr. Cohen said it would take three weeks to prepare and they could probably start the first Wednesday in February. Commissioner Strehl said a six month trial would take the event through August. She said City Wednesday night events and Giants games were a concern and asked if they had considered Tuesday nights. Mr. Cohen said they do a Belmont location on Monday nights and wanted to be sensitive by separating the events by at least one day. He said operationally for them they have band width on Wednesdays and it would be challenging to do on another evening.

Chair Kadvany noted the porta-potty would be screened and left on site. Commissioner Onken said he thought this would make a scenic train station look like a construction site. He said as it was managed by Off the Grid at the event that ideally it should be brought and removed. Mr. Cohen said it would have a trellis around it and be locked. Mr. Himlan said the unit and the fence would be locked. He said the location was on the side of the building.

Commissioner Riggs moved to make the findings and approve the use permit with modifications to have a six-month review period and per the staff report to have the porta-potty delivered and removed and to have two units. He said he would not expect acoustic music to be an issue but if there were problems to have a condition for the applicant to work with staff to resolve them. He noted that the Caltrain lot in Redwood City was free after 6 p.m. He said it was not clear what to do about the Wednesdays when there were evening Giants games. He proposed that the applicant either skip those Wednesdays or find another location as well as the evening of the downtown block party.

Chair Kadvany asked if two porta-potties were used if they would both be stored or removed. Mr. Himlan said that he did not know the details at this time. Mr. Cohen suggested they could work with staff.

Commissioner Eiref suggested noticing whether lines were forming for the porta-potty use. He said he thought this event would be a good thing the night of the downtown block party.

Discussion ensued about parking on Giants evening game days and potential impacts with observations that there would be a trial period to review and that people would figure out parking for these times when there was more activity at the Caltrain lot and downtown.

Chair Kadvany said he would prefer a nine-month trial period. Commissioner Riggs said he did not want to expose the local restaurateurs to potential risks for that length of time without a review. Commissioner Eiref said six months was enough time but asked what the data would be. Commissioner Ferrick said that potentially there would be some sales tax data and good self reporting from local businesses. Senior Planner Rogers said the sales tax information was reported infrequently and six months was not adequate to get such data. He said he suspected the best data point would be to the extent the Commissioners could themselves observe the event.

Commissioner Riggs asked if he could get an opinion from Mr. Cogan on the block party and this event. Mr. Cogan said for the block party that he thought there might be some conflict and they would need to work with the Chamber and the applicant on that. He said he saw complementary use with the concert series. He said the downtown restaurateurs had not had a lot of time to digest this proposal and he and the City would continue to work with them to get information and input. He said perhaps in six months it might even be definable that another location would be better for this event.

Senior Planner Rogers responding to a question from Commissioner Strehl provided general process information, elements of Commission review and actions including the potential of requiring a different location for the event in the future.

Commissioner Riggs said he would keep his motion and the only remaining question was whether another restroom was needed. Chair Kadvany said he thought that could occur quickly if need was indicated. Commissioner Riggs said his motion was to make the findings and approve the use permit with a six month review period and to have the restroom removed after each event.

Commissioner Bressler seconded the motion.

Chair Kadvany asked what would happen in six months. Planner Rogers said the applicant would need to submit a use permit extension application similar to what was required for this hearing.

Commissioner Ferrick said she was concerned with the term expiring in six months noting the time required to get items on the Commission agenda and noticed and asked if the term could be one-year but the review on potential changes scheduled as close to six months as possible.

Commissioner Riggs said he thought there was ample time to schedule the July or August renewal and by then they would either have the confidence or not to extend the term longer. He said they wanted the proposal to work.

Recognized by the Chair, Mr. Cohen said one year was a realistic time frame to know how they were doing but he was willing to come back in six months to discuss but they would not be able to recoup their investment in six months. He suggested it would be better to have a six month review with at least a one year term.

Commissioner Riggs said he thought the proposal was synergistic and would be inspiring. He said the investment might not be recouped in six months but he thought they would succeed. Mr. Cohen suggested that the six month would allow them to tweak the proposal. Commissioner Eiref asked if there could be a one year term. Commissioner Ferrick said she was concerned with the fees associated with a six month review.

Commissioner Eiref suggested that the number of trucks was a parameter that could be adjusted. Senior Planner Rogers said the number of trucks was integral to the proposal.

Chair Kadvany said the motion on the table would require a six month review and potential use permit renewal with a requirement for restroom delivery and removal for each event. He said another option discussed was to have a one year term with a six month review.

Commission Action: M/S Riggs/Bressler to make the findings and approve the use permit for six months and to have the restroom delivered and removed for each event.

Motion failed 2-4 with Commissioners Riggs and Strehl voting approval, Commissioners Bressler, Eiref, Onken, and Kadvany voting against, and Commissioner Ferrick abstaining.

Chair Kadvany moved to make the findings and approve for a term of one year with a six-month review. Commissioner Onken seconded the motion.

Commission Action: M/S Kadvany/Onken to approve the item with the following modifications.

1. Make a finding that the project is categorically exempt under Class 4 (Section 15304, "Minor Alterations of Land") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the project plans and project description letter, provided by the applicant, dated January 2, 2014, and approved by the Planning Commission on January 13, 2014 except as

modified by the conditions contained herein, subject to review and approval of the Planning Division.

4. Approve the use permit subject to the following **project-specific** conditions:

- a. The market operations shall be limited to Wednesday between 5:00 P.M. and 9:00 P.M. Setup may start at 3:30 P.M., and cleanup shall be concluded by 10:00 P.M.
- b. Alcohol sales and/or consumption is prohibited.
- c. The applicant and all vendors shall comply with all applicable permitting requirements, including but not limited to: City Business License, Board of Equalization Seller's Permit, San Mateo County Mobile Food Facility Permit, liability insurance, and vehicle insurance.
- d. The applicant shall regularly monitor trash while the market is operating, and shall fully clean the market and immediately surrounding areas at the conclusion of each event.
- e. Amplified live music is permitted between 6:00 P.M. and 8:00 P.M., and shall typically consist of one to two musicians playing predominantly acoustic instruments.
- f. The applicant shall implement the parking signage plan.
- g. Every week, the portable restroom shall be delivered to the site on the day of the event, and removed the following day.
- h. The use permit shall expire one year after the first event is held, unless the applicant obtains approval of an extension of the use permit. ***The use permit is subject to initial review by the Planning Commission six months after the first event is held.***

Motion carried 5-2 with Commissioners Strehl and Riggs in opposition:

Senior Planner Rogers said there would be City fees associated with the six month review.

E. REGULAR BUSINESS

There was none.

F. COMMISSION BUSINESS

There was none.

ADJOURNMENT

Meeting adjourned at 12:15 a.m. on Tuesday, January 14, 2014.

Staff Liaison: Thomas Rogers, Senior Planner

Recording Secretary: Brenda Bennett



MEMORANDUM

DATE: February 10, 2014

TO: Planning Commission

FROM: Justin Murphy, Development Services Manager
Community Development Department

RE: **Agenda Item C2: Confirmation of the Summary of the Planning Commission Comments and Recommendations for the General Plan Update Scope of Work**

On January 27, 2014, the Planning Commission discussed the Scope of Work for the General Plan Update. The full minutes will not be available until the Commission's February 24, 2014 meeting. A draft summary (Attachment A) will be provided to the City Council to inform its review of this topic, on February 11, 2014.

On February 10, 2014, the Planning Commission may confirm or clarify the summary. Any resulting modifications will be presented to the City Council prior to its review on February 11. As in similar situations, Planning Commissioners may direct individual public comment to the City Council, as well. Absent any clarifications to the summary, this item can remain on the consent calendar and be approved without discussion.

Attachment A: Summary of the Planning Commission's Consideration of the General Plan Update Scope of Work on January 27, 2014



DRAFT
PLANNING COMMISSION SUMMARY
of Agenda Item E1

Regular Meeting
January 27, 2014 at 7:00 p.m.
City Council Chambers
701 Laurel Street, Menlo Park, CA 94025

- E1. [General Plan Update/City of Menlo Park](#):** Overview of the Proposed General Plan Update and Discuss and Potentially Provide Comments to the City Council on the Scope of Work.

The Commission listened to the staff presentation, accepted public comment from one speaker, asked questions, and provided comments including the following:

- Include the Lorelei Manor and Suburban Park neighborhoods in the targeted outreach similar to the Belle Haven neighborhood.
- Articulate the City's vision for the use of the Dumbarton Rail Corridor.
- Clarify the term "Complete Streets", clarify whether it is already embodied in the existing General Plan, and clarify whether it is a given for inclusion as part of the Update.
- Examine the regional market trends and economic pressures on the M-2 Area and be clear about whether the City intends to change the zoning to be less restrictive (e.g., requiring fewer conditional use permits).
- Focus on what it is the City is attempting to accomplish through a potential change to the Roadway Classification System and not simply renaming streets.
- Consider the comments of the public speaker related to sustainable policies; connections with recreational opportunities (e.g., Bay Trail) and regional improvement plans (e.g., Salt Pond Restoration, SAFER Bay); and sea level rise.
- Draw a more direct connection between the relationship of impacts and benefits, with an emphasis on real benefits clearly outweighing impacts.
- Investigate a people mover system or other innovative transportation technology.
- Explore the introduction of other uses in the M-2 Area in order to reduce the potential number of new trips.
- Avoid introducing new residential uses in the M-2 Area that would be subject to flooding.
- Create rules that align with categorical exemptions from the California Environmental Quality Act (CEQA) in order to achieve streamlining.
- Clarify early in the process if the City's goal is to pursue enhancements to the economic development potential of the M-2 area so that subsequent decisions align with that goal.
- Consider community and civic aesthetics in various City decisions related to public spaces and private property.
- Explore self-mitigation of environmental impacts as a concept.
- Seek out opportunities for pilot projects or testing ideas during the General Plan Update process.
- Pursue new ways to reach out and communicate with people, especially those that do not attend traditional meetings.

The Commission also discussed the topic of residential design guidelines. Individual Commissioners expressed varying opinions about whether or not residential design guidelines should be considered as part of this phase of the General Plan Update, but at a minimum the Commission agreed to continue work by the Commission subcommittee as identified at the August 19, 2013 meeting. At that meeting, the Commission discussed the development of residential

design guidelines for use by staff when working with applicants and the Commission in the review of development proposals for single-family homes on substandard lots. After development of guidelines and a period of use, the Commission would consider expanding how the guidelines could be used on a broader scale.

Finally, the Commission communicated the following based on general consensus:

- Recommend that the City Council establish guidelines for considering potential project-specific General Plan Amendments that may come forward during the General Plan Update process.
- Commissioners Kadvany and Riggs would be willing to serve on a consultant selection committee if one were formed similar to the El Camino Real/Downtown planning process with the understanding that Commissioner Riggs' term is up at the end of April 2014 and would potentially serve as an ex officio member.



PLANNING COMMISSION STAFF REPORT

FOR THE PLANNING COMMISSION
MEETING OF FEBRUARY 10, 2014
AGENDA ITEM D1

LOCATION: 228 Princeton Road **APPLICANT:** Casey Cramer

EXISTING USE: Single-Family Residence **OWNER:** Robert and Sarah Dreyer

PROPOSED USE: Single-Family Residence **APPLICATION:** Use Permit

ZONING: R-1-U (Single-Family Urban Residential)

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	7,500.0 sf	7,500.0 sf	7,000.0 sf min.
Lot width	50.0 ft.	50.0 ft.	65.0 ft. min.
Lot depth	150.0 ft.	150.0 ft.	100.0 ft. min.
Setbacks			
Front	20.0 ft.	23.0 ft.	20.0 ft. min.
Rear	46.3 ft.	65.0 ft.	20.0 ft. min.
Side (left)	5.0 ft.	8.0 ft.	5.0 ft. min.
Side (right)	6.0 ft.	6.3 ft.	5.0 ft. min.
Building coverage	1,997.6 sf 26.6 %	2,092.0 sf 27.9 %	2,625.0 sf max. 35.0 % max.
FAL (Floor Area Limit)	2,924.3 sf	2,092.0 sf	2,925.0 sf max.
Square footage by floor	1,453.5 sf/1st 1,190.8 sf/2nd 280.0 sf/garage 212.6 sf/trellises and porch 51.5 sf/fireplaces	1,737.0 sf/1st 211.0 sf/accessory structure 144.0 sf/carport	
Square footage of buildings	3,188.4 sf	2,092.0 sf	
Building height	24.4 ft.	15.5 ft.	28.0 ft. max.
Parking	1 covered/1 uncovered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 4*	Non-Heritage trees: 3	New Trees: Number to be determined
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 2	Total Number of Trees: To be determined
* All four of the heritage trees are located on adjacent parcels.			

PROPOSAL

The applicant is requesting use permit approval to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-U (Single-Family Residential Urban) zoning district.

ANALYSIS

Site Location

The subject site is located at 228 Princeton Road between Cambridge Avenue and College Avenue. The subject parcel is surrounded on all sides by single-family homes that are also in the R-1-U zoning district. There are mostly one-story and two-story, single-family structures in the vicinity of the subject parcel, although County Assessor records state that the parcel at the western intersection of Yale Road and Cambridge Avenue is developed with two detached units.

Project Description

The applicant is proposing to remove the existing single-story, single-family house, a carport and an accessory structure in the rear of the property, and construct a new two-story residence with an attached one-car garage. The second required parking space would be an uncovered space parallel to the front of the main house, located behind the front setback. The lot is substandard with regard to the lot width and the proposed project requires approval of a use permit.

The proposed residence would have a floor area of 2,924.3 square feet where 2,925.0 square feet is the floor area limit (FAL) and building coverage of 26.6 percent where 35 percent is the maximum permitted. The proposed residence would have three bedrooms and four bathrooms, with all the bedrooms and three of the bathrooms on the second floor. A small balcony is proposed adjacent to the master bedroom, which would project approximately one foot from the wall. The Zoning Ordinance defines balconies as projecting more than 18 inches from the wall of a building. Because the proposed balcony does not meet this definition, it is not required to meet the minimum setbacks for balconies.

Design and Materials

The applicant states that the proposed residence is designed in a modern agrarian style with three masses connected by circulation spaces and finished in integral color cement plaster. The entry and stair exterior would be finished with metal and vertical stained clear western cedar siding respectively. The roof would be covered with a standing seam metal roof and there would be clear western red cedar eaves to match the vertical siding. The windows and exterior doors would be aluminum clad wood with interior and exterior muntins and an internal spacer bar. The one-car garage would have a cantilevered trellis and side-hinged swinging garage doors. The second required

parking space would be parallel to the street and partially concealed behind a low landscape wall and landscaping.

Although the project would be a two-story residence, the structure would present a varied set of forms that would reduce the perception of two-story mass. Decorative features like trellises on the front and rear would also add visual interest. The immediate area is a mixture of one and two-story homes. Staff believes that the scale, materials, and style of the proposed residence are compatible with the neighborhood.

Trees and Landscaping

The applicant has submitted an arborist report (Attachment D) detailing the species, size, and conditions of the trees on or near the site. The report determines the present condition, discusses the impacts of the proposed improvements, and provides recommendations for tree preservation.

There are no heritage size trees on the subject site but there are four heritage trees with canopies that go over the property. A heritage European olive tree is located to the immediate left of the property line along the proposed residence and a heritage Douglas fir is located to the rear left of the subject site. The arborist report indicated that the trunk of the heritage olive tree is approximately four to six feet from the closest proposed excavation cut. The root system of this tree has been compromised by previous construction at 240 Princeton Road but the arborist report concludes that the olive tree has a relatively good chance of survival provided that proper irrigation and root pruning is achieved. Two heritage trees are located to the right of the subject site; a coast live oak that overhangs the rear of the proposed residence and a northern black walnut located further south that slightly overhangs the property line along the proposed garage. There is also a non-heritage Southern magnolia at the front, left corner of the property. No heritage trees are proposed for removal; however, two non-heritage trees in that rear half of the lot are proposed for removal. A new deciduous fruit tree is proposed along the front right side of the lot. Evergreen landscape screening trees are also proposed along the rear property line and along the right and left property lines adjacent to the proposed residence. The proposed site improvements should not adversely affect the surrounding trees as standard tree protection measures will be required through recommended condition 3.g.

Correspondence

The applicant indicated that the property owners shared the proposed plans with their neighbors. Staff has received emails of support from residents at 205, 240 and 241 Princeton Road.

Conclusion

Staff believes that the scale, materials, and style of the proposed residence are in keeping with those of the greater neighborhood. The building forms would be varied, reducing the perception of mass. Elements such as clear western red cedar eaves and

side-hinged swinging garage doors would add visual interest. Staff recommends that the Planning Commission approve the proposed project.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDATION

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Arcanum Architecture, Inc., consisting of 11 plan sheets, dated received January 28, 2014, and approved by the Planning Commission on February 10, 2014, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the

Engineering Division.

- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

Report prepared by:
Corinna Sandmeier
Contract Planner

Report reviewed by:
Thomas Rogers
Senior Planner

PUBLIC NOTICE & APPEAL PERIOD

Public notification consisted of publishing a legal notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property. Planning Commission action will be effective after 15 days calendar days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

ATTACHMENTS

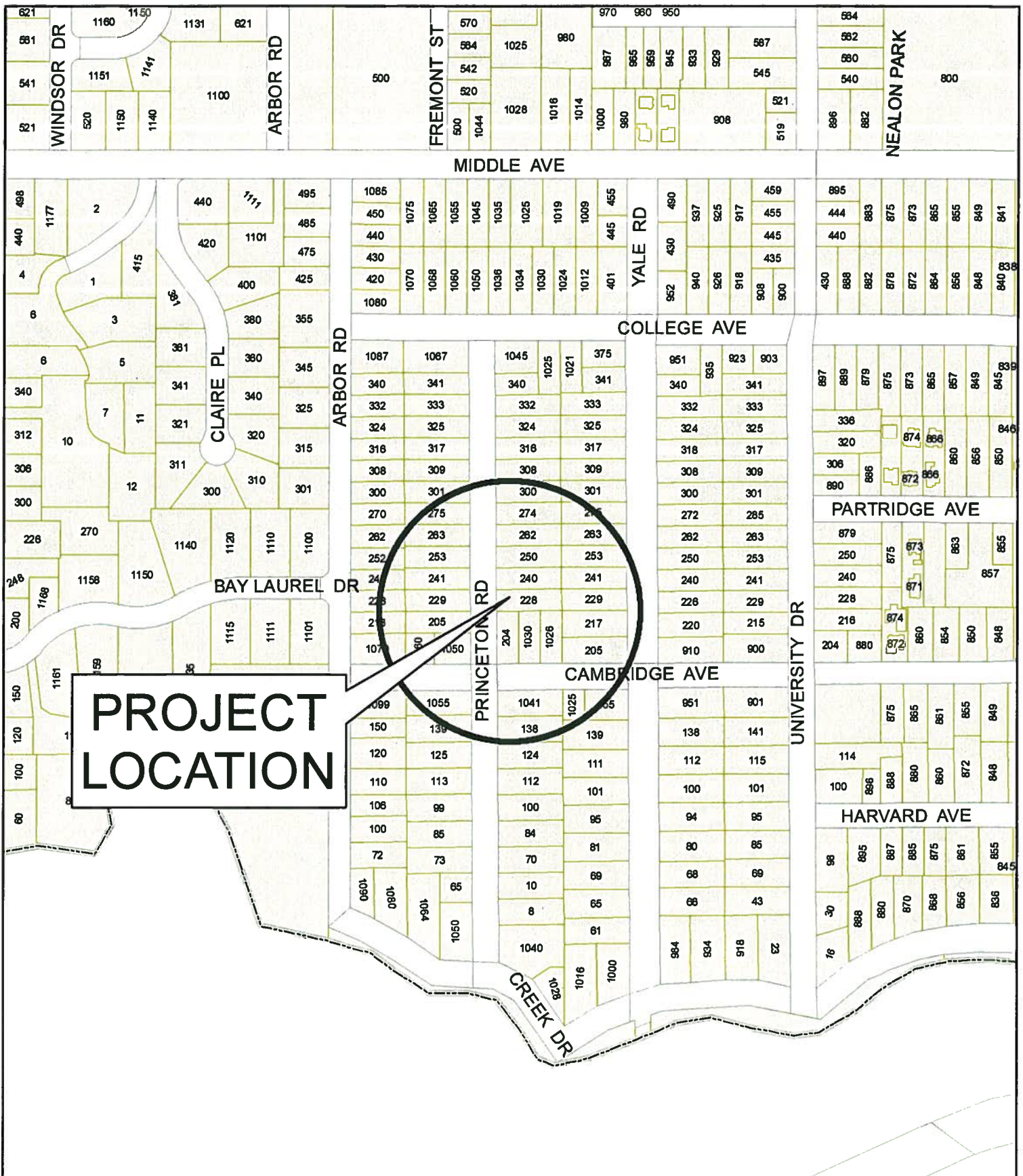
- A. Location Map
- B. Project Plans
- C. Project Description Letter
- D. Arborist Report, prepared by Walter Levison, dated received December 19, 2013
- E. Correspondence
 - Ann N. James and Don Holmquest, 205 Princeton Road, received January 29, 2014
 - Amy Sturt, 241 Princeton Road, received January 30, 2014
 - Christy Ericson, 240 Princeton Road, received January 31, 2014

Note: Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

EXHIBITS TO BE PROVIDED AT MEETING

None

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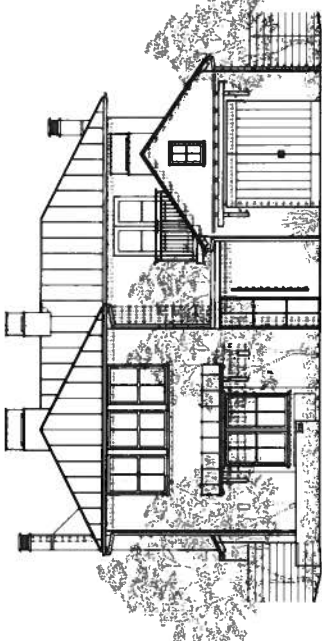


CITY OF MENLO PARK LOCATION MAP 228 PRINCETON RD

A1

DRAWN: JT CHECKED: JT DATE: 2/10/14 SCALE: 1" = 300' SHEET: 1





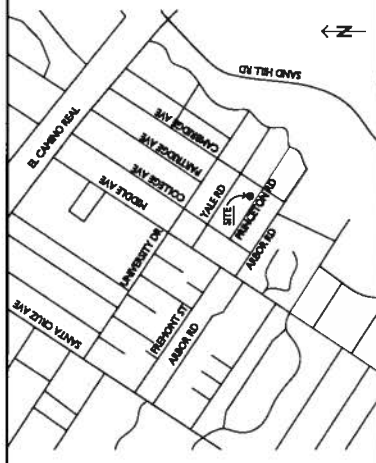
PROJECT STATISTICS

PROJECT LOCATION	PROJECT TYPE	EXISTING CONDITIONS	CONSTRUCTION TYPE	PERMITTING	LOT SIZE
728 PINECREST ROAD SANTA ANA, CA 92705 SD/NA/10 NEW SINGLE FAMILY DWELLING	RE 1/771 S.F. MAIN HOUSE RE 1/771 S.F. GARAGE STRUCTURE RE 1/771 S.F. PORCH RE 1/771 S.F. DRIVEWAY	RE 1/771 S.F. MAIN HOUSE RE 1/771 S.F. GARAGE STRUCTURE RE 1/771 S.F. PORCH RE 1/771 S.F. DRIVEWAY	RE 1/771 S.F. MAIN HOUSE RE 1/771 S.F. GARAGE STRUCTURE RE 1/771 S.F. PORCH RE 1/771 S.F. DRIVEWAY	RE 1/771 S.F. MAIN HOUSE RE 1/771 S.F. GARAGE STRUCTURE RE 1/771 S.F. PORCH RE 1/771 S.F. DRIVEWAY	RE 1/771 S.F. MAIN HOUSE RE 1/771 S.F. GARAGE STRUCTURE RE 1/771 S.F. PORCH RE 1/771 S.F. DRIVEWAY

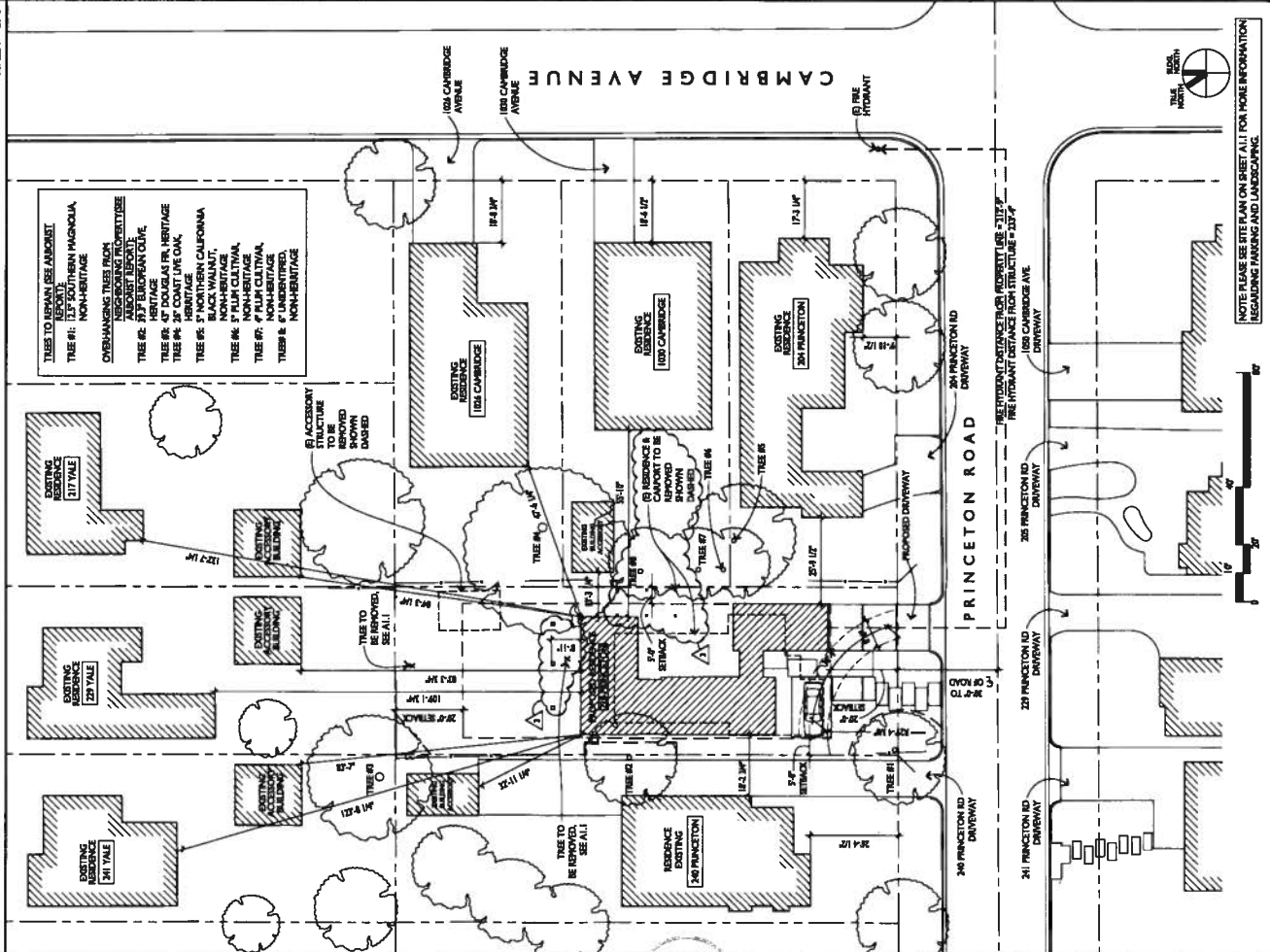
PROJECT DIRECTORY

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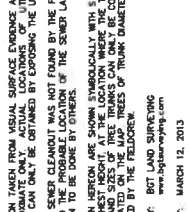
VICINITY MAP



AREA PLAN



NOTE: PLEASE SEE SITE PLAN ON SHEET A.1.1 FOR MORE INFORMATION REGARDING PARKING AND LANDSCAPING.



SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtlandsurveying.com

DATE OF FIELD SURVEY: MARCH 12, 2013

JOB NUMBER: 13-039

- [illegible]



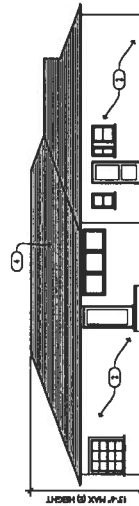
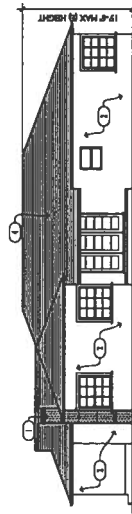
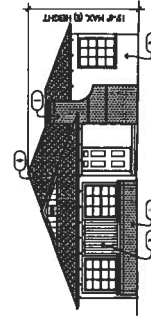
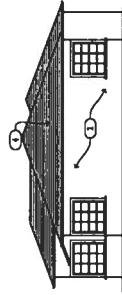
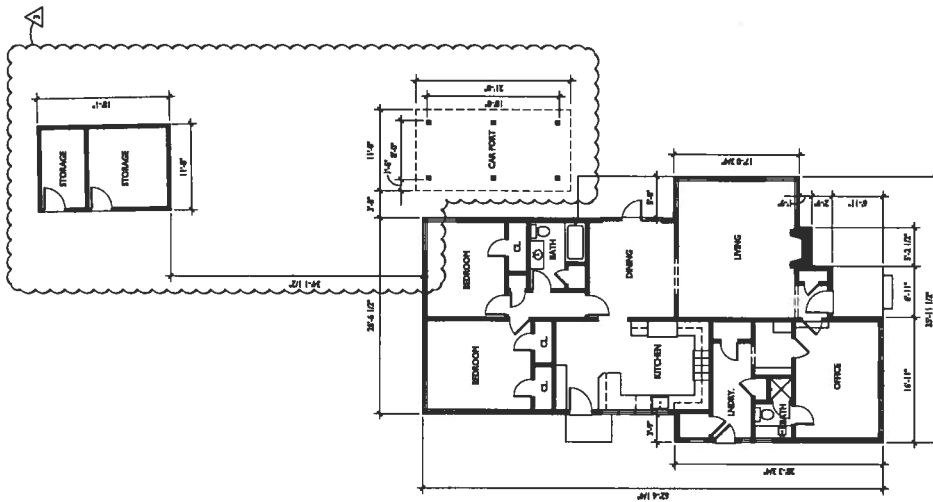
DREYER RESIDENCE
228 PRINCETON ROAD
MENLO PARK, CALIFORNIA
APN: 071-394-210

Client:	ARCANUM
Architect:	ARCANUM
Project No.:	1000 1/2" = 1'-0"
Scale:	1000 1/2" = 1'-0"
Sheet:	1000 1/2" = 1'-0"
Revision:	1000 1/2" = 1'-0"
Date:	1000 1/2" = 1'-0"

(B) FLOOR PLANS,
(B) ELEVATIONS,
& (B) STREETSCAPE

SCALE 1/8" = 1'-0"

A1.0



EXISTING FINISH SCHEDULE
1 BRICK VENEER, PAINTED
2 PLASTER SIDING, PAINTED
3 VERTICAL WOOD SIDING, PAINTED
4 WOOD SHINGLE ROOFING



SITE PLAN KEY NOTES

- | | |
|-----|---|
| 17 | TRANS ENCLOSURE |
| 18 | (A) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 19 | LANDSCAPE TREES, PLANT TALL. |
| 20 | (B) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 21 | LANDSCAPE TREES, PLANT TALL. |
| 22 | (C) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 23 | LANDSCAPE TREES, PLANT TALL. |
| 24 | (D) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 25 | LANDSCAPE TREES, PLANT TALL. |
| 26 | (E) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 27 | LANDSCAPE TREES, PLANT TALL. |
| 28 | (F) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 29 | LANDSCAPE TREES, PLANT TALL. |
| 30 | (G) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 31 | LANDSCAPE TREES, PLANT TALL. |
| 32 | (H) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 33 | LANDSCAPE TREES, PLANT TALL. |
| 34 | (I) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 35 | LANDSCAPE TREES, PLANT TALL. |
| 36 | (J) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 37 | LANDSCAPE TREES, PLANT TALL. |
| 38 | (K) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 39 | LANDSCAPE TREES, PLANT TALL. |
| 40 | (L) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 41 | LANDSCAPE TREES, PLANT TALL. |
| 42 | (M) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 43 | LANDSCAPE TREES, PLANT TALL. |
| 44 | (N) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 45 | LANDSCAPE TREES, PLANT TALL. |
| 46 | (O) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 47 | LANDSCAPE TREES, PLANT TALL. |
| 48 | (P) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 49 | LANDSCAPE TREES, PLANT TALL. |
| 50 | (Q) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 51 | LANDSCAPE TREES, PLANT TALL. |
| 52 | (R) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 53 | LANDSCAPE TREES, PLANT TALL. |
| 54 | (S) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 55 | LANDSCAPE TREES, PLANT TALL. |
| 56 | (T) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 57 | LANDSCAPE TREES, PLANT TALL. |
| 58 | (U) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 59 | LANDSCAPE TREES, PLANT TALL. |
| 60 | (V) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 61 | LANDSCAPE TREES, PLANT TALL. |
| 62 | (W) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 63 | LANDSCAPE TREES, PLANT TALL. |
| 64 | (X) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 65 | LANDSCAPE TREES, PLANT TALL. |
| 66 | (Y) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 67 | LANDSCAPE TREES, PLANT TALL. |
| 68 | (Z) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 69 | LANDSCAPE TREES, PLANT TALL. |
| 70 | (AA) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 71 | LANDSCAPE TREES, PLANT TALL. |
| 72 | (AB) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 73 | LANDSCAPE TREES, PLANT TALL. |
| 74 | (AC) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 75 | LANDSCAPE TREES, PLANT TALL. |
| 76 | (AD) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 77 | LANDSCAPE TREES, PLANT TALL. |
| 78 | (AE) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 79 | LANDSCAPE TREES, PLANT TALL. |
| 80 | (AF) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 81 | LANDSCAPE TREES, PLANT TALL. |
| 82 | (AG) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 83 | LANDSCAPE TREES, PLANT TALL. |
| 84 | (AH) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 85 | LANDSCAPE TREES, PLANT TALL. |
| 86 | (AI) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 87 | LANDSCAPE TREES, PLANT TALL. |
| 88 | (AJ) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 89 | LANDSCAPE TREES, PLANT TALL. |
| 90 | (AK) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 91 | LANDSCAPE TREES, PLANT TALL. |
| 92 | (AL) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 93 | LANDSCAPE TREES, PLANT TALL. |
| 94 | (AM) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 95 | LANDSCAPE TREES, PLANT TALL. |
| 96 | (AN) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 97 | LANDSCAPE TREES, PLANT TALL. |
| 98 | (AO) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 99 | LANDSCAPE TREES, PLANT TALL. |
| 100 | (AP) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 101 | LANDSCAPE TREES, PLANT TALL. |
| 102 | (AQ) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 103 | LANDSCAPE TREES, PLANT TALL. |
| 104 | (AR) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 105 | LANDSCAPE TREES, PLANT TALL. |
| 106 | (AS) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 107 | LANDSCAPE TREES, PLANT TALL. |
| 108 | (AT) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 109 | LANDSCAPE TREES, PLANT TALL. |
| 110 | (AU) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 111 | LANDSCAPE TREES, PLANT TALL. |
| 112 | (AV) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 113 | LANDSCAPE TREES, PLANT TALL. |
| 114 | (AW) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 115 | LANDSCAPE TREES, PLANT TALL. |
| 116 | (AX) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 117 | LANDSCAPE TREES, PLANT TALL. |
| 118 | (AY) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 119 | LANDSCAPE TREES, PLANT TALL. |
| 120 | (AZ) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 121 | LANDSCAPE TREES, PLANT TALL. |
| 122 | (BA) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 123 | LANDSCAPE TREES, PLANT TALL. |
| 124 | (BB) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 125 | LANDSCAPE TREES, PLANT TALL. |
| 126 | (BC) 1/2" TO 1/4" TALL BRUSHING LANDSCAPE |
| 127 | LANDSCAPE TREES, PLANT TALL. |
| 128 | (BD) 1/2" TO |

SITE ANALYSIS

<p> EXISTING: LOT AREA: 7,998 S.F. NET AREA: 7,998 S.F. ALLOWABLE FLOOR AREA: 2,975 S.F. NO. OF FLOORS: 1 NO. OF ATTIC SPACE OVER 5' 0" DOCKING FLOOR AREA: 1,277 SQ. FT. PROPOSED GROUND FLOOR AREA: 1,725 SQ. FT. PROPOSED SECOND FLOOR AREA: 1,725 SQ. FT. TOTAL PROPOSED FLOOR AREA: 3,450 S.F. BUILDING COVERAGE AREA: 1,077 S.F. PAVED SURFACE AREA: 3,450 S.F. LANDSCAPING / IRRIGATED SURFACE AREA: 2,373 S.F. </p>	<p> LAND COVERED BY STRUCTURES: 3,450 S.F. ROADS: 1,436 S.F. BIPODES: 22,500 S.F. LANDSCAPING: 41,500 S.F. PAVED SURFACES: 1 UNCOVERED PAVING SPACES: 1 UNCOVERED </p>
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SITE AND ROOF PLAN

11-11-11

SCALE: 1/8"=1'-0"

AI!

NOTE:

- SEE AREA PLAN, SHEET A2.0 FOR (E) FIRE HYDRANT & (F) POWER POLE LOCATIONS
- SEE GROUND FLOOR PLAN, SHEET A2.1 FOR LOCATIONS OF COVERED PARKING SPACES
- SEE FLOOR PLANS, SHEETS A2.1 & A2.2 FOR FINISHED FLOOR ELEVATIONS

THREE TO SEVEN (SEE AMOUNT REPORT)
 TREE #4: 11.5" SOUTHERN WAMANO, NON-HERITAGE
 OVER-HANGING THREE FROM NEIGHBORING PROPERTY (SEE AMOUNT REPORT)
 TREE #5: 39.3" BALOFAN OLIVE, HERITAGE
 TREE #6: 25" COAST LIME OAK, HERITAGE
 TREE #7: 26" NORTHERN CALIFORNIA BLACK WALNUT, NON-HERITAGE
 TREE #8: 5" FLUM CULIVAK, NON-HERITAGE
 TREE #9: 6" UNIDENTIFIED, NON-HERITAGE

PRINCETON ROAD

← HYDRANT DISTANCE FROM STRUCTURE = 132'-0"

11

and

30-F
JAY CENTER
E STREET

6

5

11. **REPORT**

1

1

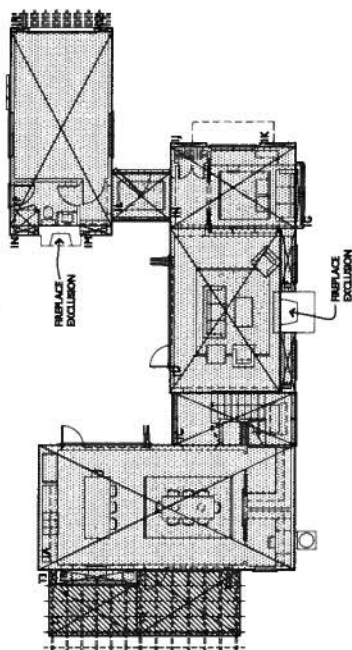


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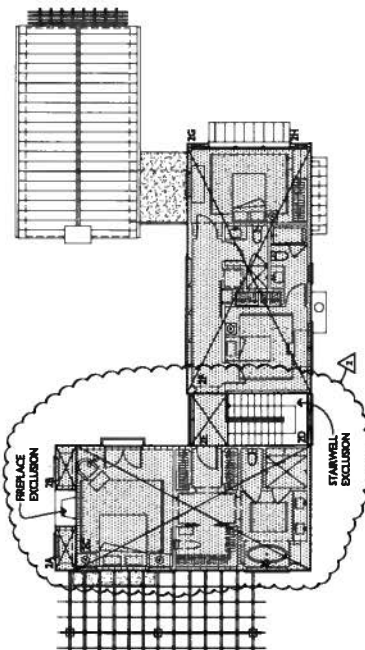
SITE / ROOF PLAN

①

FLOOR PLAN SQUARE FOOTAGE CALCULATION PLANS



GROUND FLOOR



SECOND FLOOR

FLOOR AREA CALCULATIONS:

SECTION	LENGTH	WIDTH	AREA (sq ft)
1A	17'-0"	2'-0"	34.0
1B	11'-1"	11'-0"	122.1
1C	12'-0"	12'-0"	144.0
1D	12'-0"	12'-0"	144.0
1E	8'-2 1/2"	2'-0"	16.5
1F	8'-2 1/2"	2'-0"	16.5
1G	8'-2 1/2"	2'-0"	16.5
1H	11'-1"	17'-0"	188.7
1I	0'-4"	0'-4"	1.6
1J	0'-4"	4'-10"	2.4
1K	6'-0"	6'-0"	36.0
1L	6'-0"	6'-0"	36.0
1M	12'-0"	3'-0"	36.0
1N	12'-0"	3'-0"	36.0
1P	26'-0"	17'-10"	463.0
1Q	6'-0"	2'-0"	12.0
1R	6'-0"	2'-0"	12.0
GROUND FLOOR SUBTOTAL =			1713.6
2A	6'-0"	2'-0"	12.0
2B	6'-0"	2'-0"	12.0
2C	6'-0"	2'-0"	12.0
2D	7'-0"	0'-4"	2.8
2E	7'-0"	5'-1"	36.4
2F	37'-0"	17'-0"	629.0
2G	12'-0"	2'-0"	24.0
2H	12'-0"	2'-0"	24.0
SECOND FLOOR SUBTOTAL =			746.2
MAIN HOUSE SUBTOTAL =			2459.8
TOTAL FLOOR AREA =			2759.8
MAINTENANCE TOTAL FLOOR AREA =			2759.8

PLAN SECTION	LENGTH	WIDTH	AREA (SF)
T1	7'-1"	12'-2"	84.70
T2	12'-0"	14'-0"	168.00
T3	1'-0"	1'-1"	1.87
TOTAL =			254.57

NOTE: NOT INCLUDED IN TOTAL SEE BUILDING COVERAGE CALCULATIONS

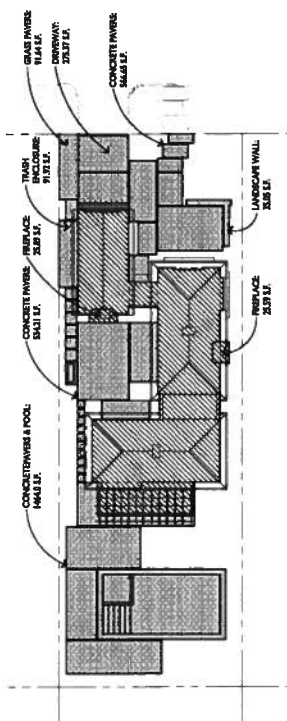
TOTAL = \$273,000

NOTE: NOT INCLUDED IN P.A.L. SEE BUILDING COVERAGE CALCULATIONS

SCALE 10" = 1'-0"



SITE PLAN SQUARE FOOTAGE CALCULATION PLAN



PAVED AREAS:

PLAN SECTION	AREA (SQ)
DRIVEWAY	275.37
POOL & CONCRETE PAVES	2,584.86
TRASH ENCLOSURE	91.92
GRASS PAVES	11.44
LANDSCAPE WALL	13.60
TOTAL AREA	3,007.19

BUILDING COVERAGE:

PLAN SECTION	AREA (SF)
GROUND FLOOR	1,783.59
PRIEPLACES	317.48
TRELLIS	115.7
BUILDING COVERAGE =	1,995.35

*SEE FLOOR PLAN AREA CALCULATION TABLE

SCALE 1/16" = 1'-0"



APN: 071-394-210

**GROUND FLOOR
PLAN**

A2.1



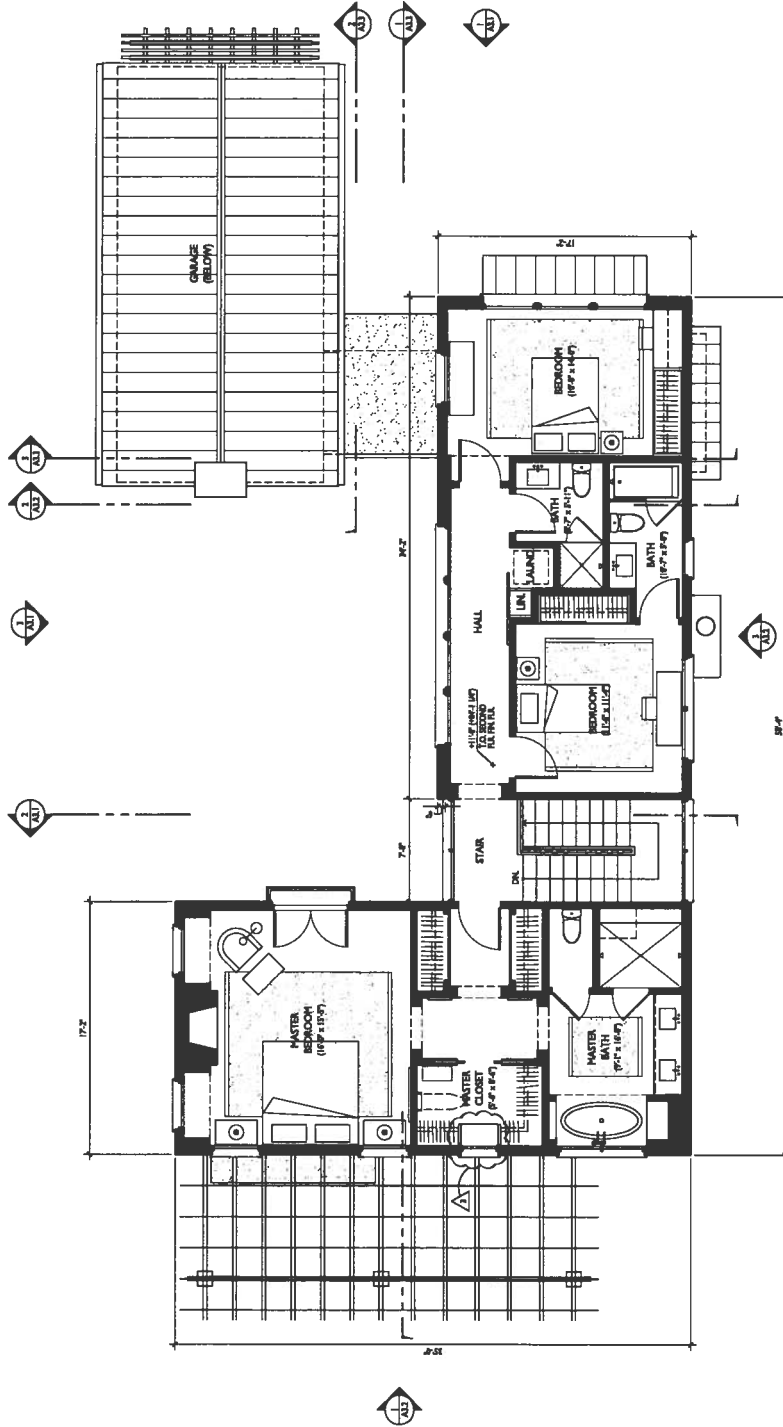
GROUND FLOOR PLAN

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	01/15/14
2	REVISION	02/10/14
3	REVISION	03/10/14
4	REVISION	04/10/14
5	REVISION	05/10/14
6	REVISION	06/10/14
7	REVISION	07/10/14
8	REVISION	08/10/14
9	REVISION	09/10/14
10	REVISION	10/10/14
11	REVISION	11/10/14
12	REVISION	12/10/14

SECOND FLOOR
PLAN

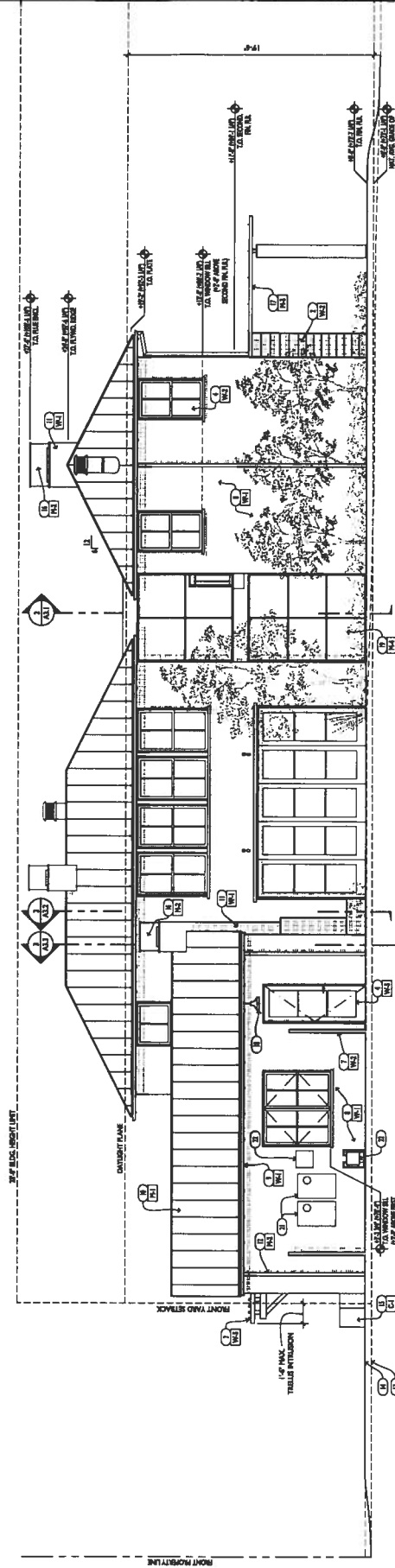
SCALE 1/8" = 1'-0"

A2.2

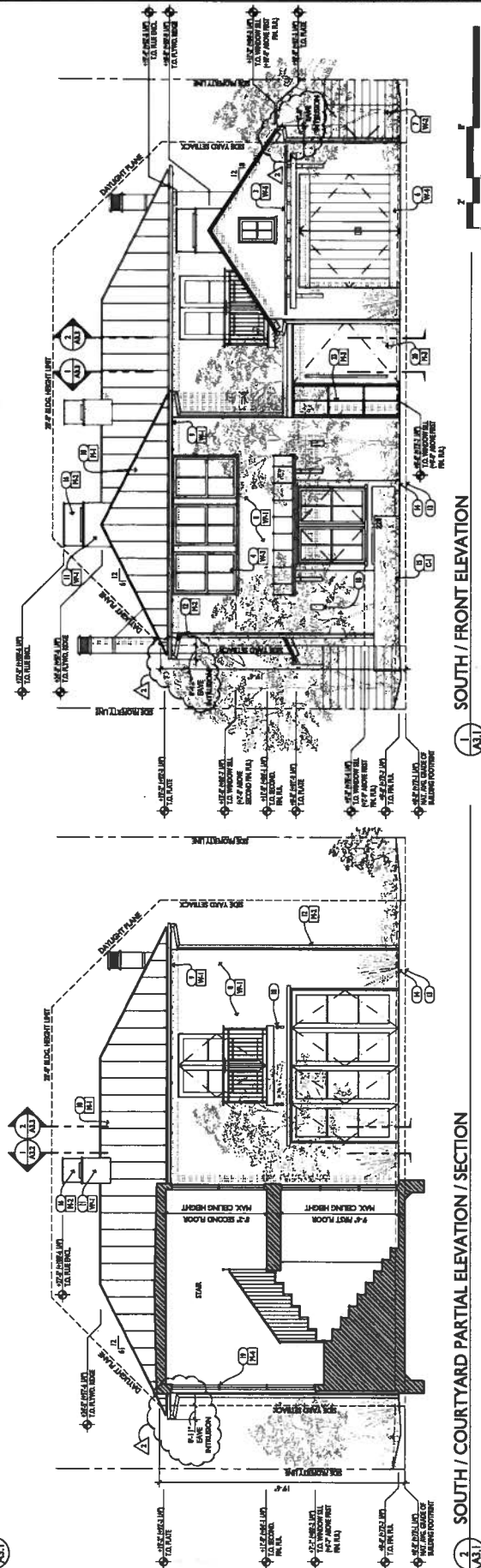


SECOND FLOOR PLAN





EAST / SIDE ELEVATION (E)



SOUTH / FRONT ELEVATION

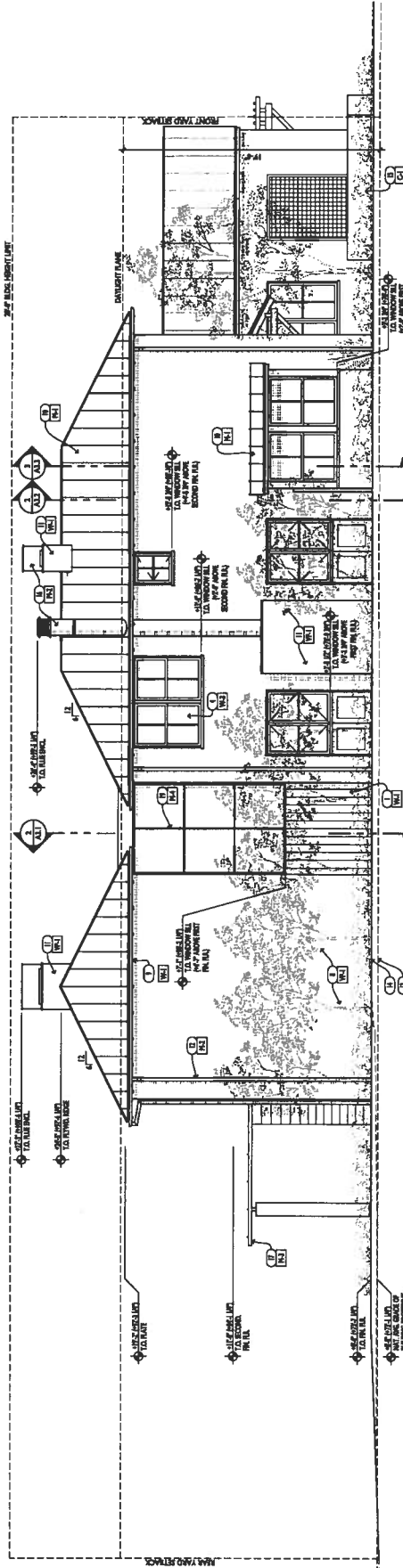
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DATE	10/1/2018
PROJECT	DREYER RESIDENCE
LOCATION	228 PRINCETON ROAD, MENLO PARK, CA 94025
CLIENT	JOHN DREYER
ARCHITECT	ARCANUM ARCHITECTS
SCALE	1/4" = 1'-0"

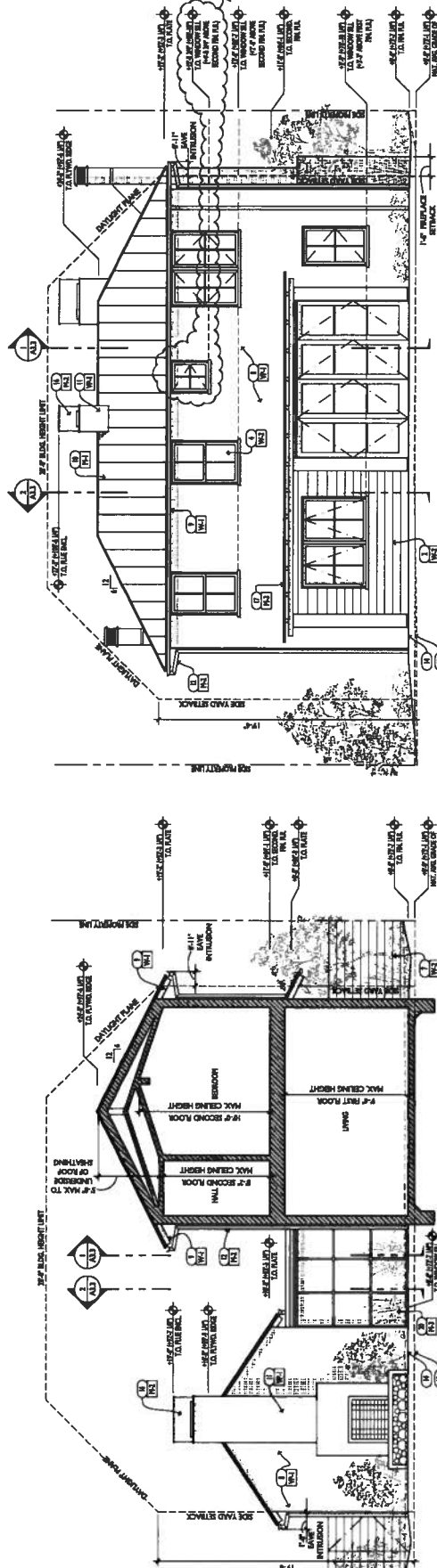
EXTERIOR ELEVATIONS

SCALE 1/4" = 1'-0"

A3.2



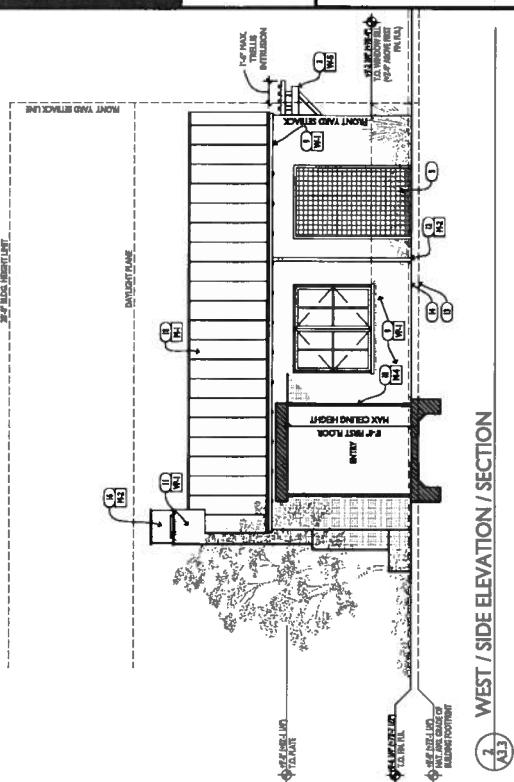
WEST / SIDE ELEVATION



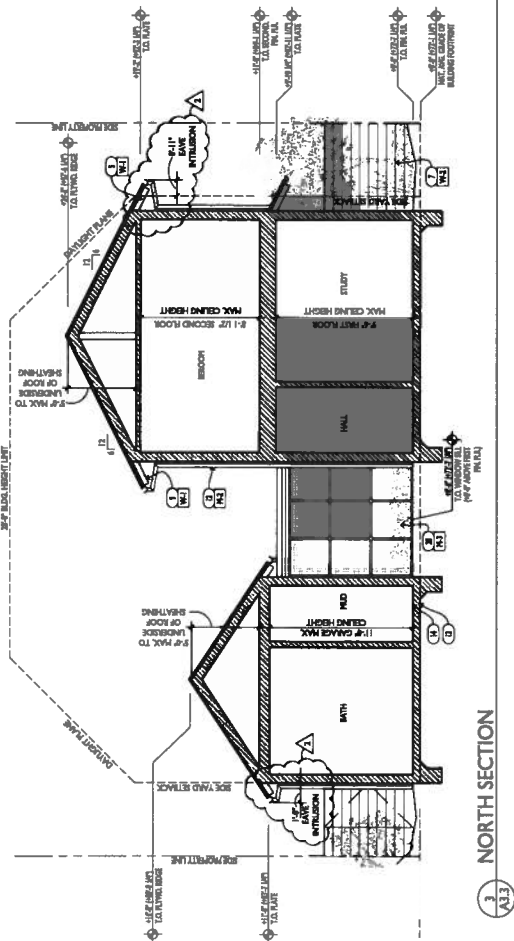
NORTH / REAR ELEVATION

NORTH / COURTYARD PARTIAL ELEVATION / SECTION

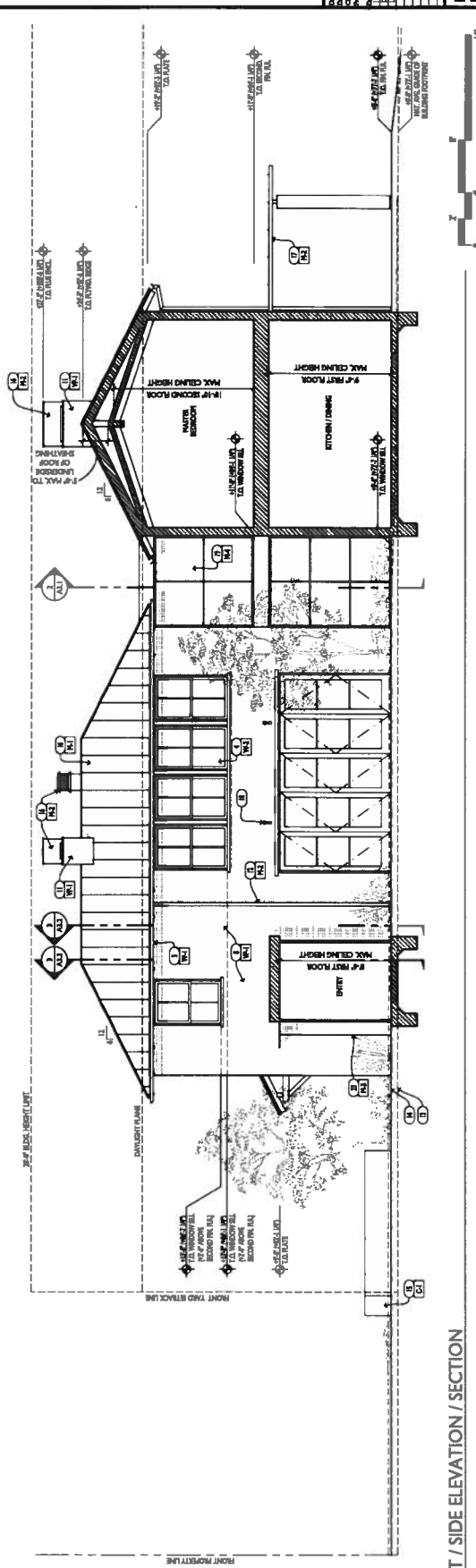
LEGEND	FINISH NOTES			ELEVATION / SECTION KEY NOTES		
	WOOD TYPES	CONCRETE TYPES	METAL TYPES			
KEY NOTE	<p>101 VERTICAL WOOD SIDING AND EAVES TYPE: CLEAN WESTERN RED CEDAR FINISH: SEMI-TRANSPARENT STAIN COLOR: T.B.D.</p> <p>102 CLAD WOOD SIDING AND EAVES TYPE: CLEAN WESTERN RED CEDAR FINISH: PAINTED COLOR: T.B.D.</p> <p>103 GARAGE DOOR TYPE: RECLAIMED WOOD FINISH: SEMI-TRANSPARENT STAIN COLOR: T.B.D.</p> <p>104 WOOD TRILLS TYPE: CLEAN WESTERN RED CEDAR FINISH: SEMI-TRANSPARENT STAIN COLOR: T.B.D.</p>	<p>105 CAST IN PLACE CONCRETE ADJACENT WALLS TO EXTERIOR FINISH: SMOOTH TROWEL</p> <p>106 CRISP PLASTER TYPE</p> <p>107 TYPE: INTEGRAL COLOR COLOR: T.B.D.</p>	<p>108 STANDING SEAM METAL ROOF TYPE: 24" PANEL COLOR: VINTAGE</p> <p>109 EXTERIOR SHEET METAL FLUES, DOWNSPOUTS, GUTTERS TYPE: ENAMELED METAL NOTE: NO CORNERS ON ELBOWS</p> <p>110 METAL ENTRY AND TRILLER TYPE: PAINTED METAL</p> <p>111 STEEL WINDOWS TYPE: PAINTED METAL</p>	<p>112 VERTICAL WOOD SIDING</p> <p>113 HORIZONTAL WOOD SIDING</p> <p>114 WOOD TRILLS HERRIBS</p> <p>115 CLAD WOOD WINDOWS AND EXT. DOORS WITH BRILLIANT DIVIDED LITES WITH 1-1/2" INTERIOR & WOOD A WIDE VERTICAL GARDEN WALL</p> <p>116 WOOD GARAGE DOORS</p> <p>117 4" HORIZONTAL WOOD FENCE</p> <p>118 PLASTER VENEER</p> <p>119 WOOD AFTER TAIL</p> <p>120 PLASTER FLUE ENCLOSURE W/ METAL CAP</p>	<p>121 8" DARK METAL GUTTER W/ 7" DIA. DOWNSPOUTS</p> <p>122 (B) GRADE SHOWN DASHED</p> <p>123 PROPOSED GRADE</p> <p>124 2-1/2" TALL LANDSCAPE WALL</p> <p>125 METAL FLUE ENCLOSURE</p> <p>126 STEEL TRILLS</p> <p>127 WALL MOUNTED EXTERIOR DOWN LIGHT</p> <p>128 STEEL WINDOWS</p> <p>129 METAL ENTRY DOORS AND WINDOWS</p> <p>130 TANKLESS WATER HEATER</p> <p>131 GAS & ELECTRIC METAL (N) UNDERGROUND ELEC. SEE ELECTRICAL SERVICE LOCATION</p> <p>132 MET. RAIN CHAIN</p>	



WEST / SIDE ELEVATION / SECTION

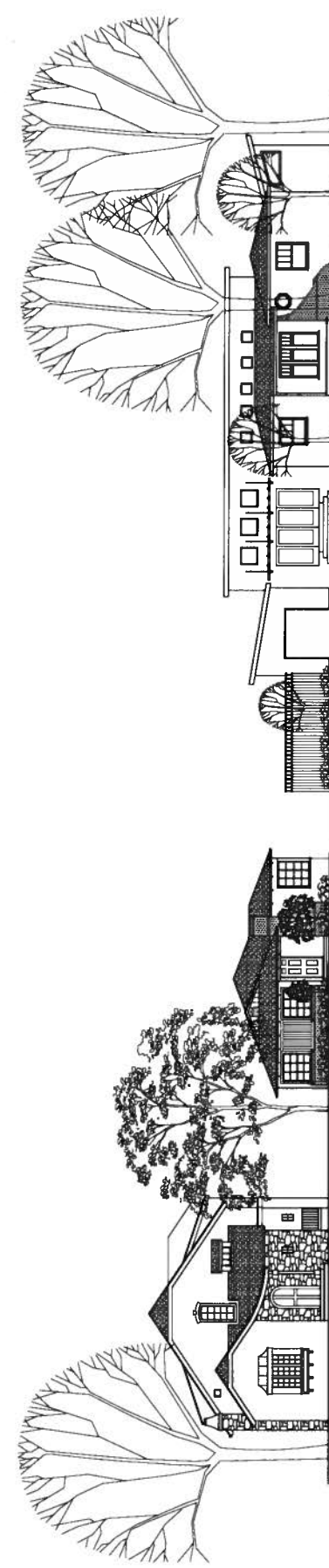


NORTH SECTION



EAST / SIDE ELEVATION / SECTION

LEGEND		FINISH NOTES		ELEVATION / SECTION KEY NOTES	
(1)	KEY NOTE	WOOD TYPES	CONCRETE TYPES	METAL TYPES	
(1)	KEY NOTE	<p>(M1) VERTICAL WOOD BRIDGE AND GAVES: FINISH: CLEAR WESTERN RED CEDAR T&G COLOR: T&D.</p> <p>(M2) HORIZONTAL WOOD BRIDGE: FINISH: 5/8" TRANSPARENT STAIN COLOR: T&D.</p> <p>(M3) WOOD TRELLIS: FINISH: CLEAR WESTERN RED CEDAR COLOR: T&D.</p>	<p>(C1) CAST IN PLACE CONCRETE BARS/REIN: #4 @ 18" ON CENTER FINISH: SMOOTH TROWEL</p> <p>CONCRETE PARTS TYPES</p> <p>(C2) TYPE: INTEGRAL COLOR FINISH: MATCH T&D COLOR: T&D.</p>	<p>(M4) STANDING SEAM METAL ROOF: TYPE: 24" GAUGE / 19" ON CENTER COLOR: VINTAGE</p> <p>(M5) EXTERIOR SHEET METAL: FLUES, DOWNSPOUTS, GUTTERS TYPE: BONDED/SEAL METAL NOTE: NO CORNERS ON EAVES</p> <p>(M6) METAL ENTRY AND TRELLIS: TYPE: PAINTED METAL</p> <p>(M7) STEEL WINDOWS: TYPE: PAINTED METAL</p>	<p>(1) VERTICAL WOOD BRIDGE</p> <p>(2) HORIZONTAL WOOD BRIDGE</p> <p>(3) WOOD TRELLIS MEMBERS</p> <p>(4) CLAD WOOD WINDOWS AND EXT. DOORS WITH SKULATED DIVIDED LITES WITH 1 1/8" INTERIOR & 1 1/8" EXTERIOR GLASS</p> <p>(5) WALL MOUNTED EXTERIOR DOWN LIGHT</p> <p>(6) STEEL WINDOWS</p> <p>(7) METAL ENTRY DOORS AND WINDOWS</p> <p>(8) TANKLESS WATER HEATER</p> <p>(9) GAS & ELECTRIC METERS, (N) UNDERGROUND ELEC. CONDUITS, (U) SERVICE LOCATION</p> <p>(10) METAL MAIN CHAIN</p>

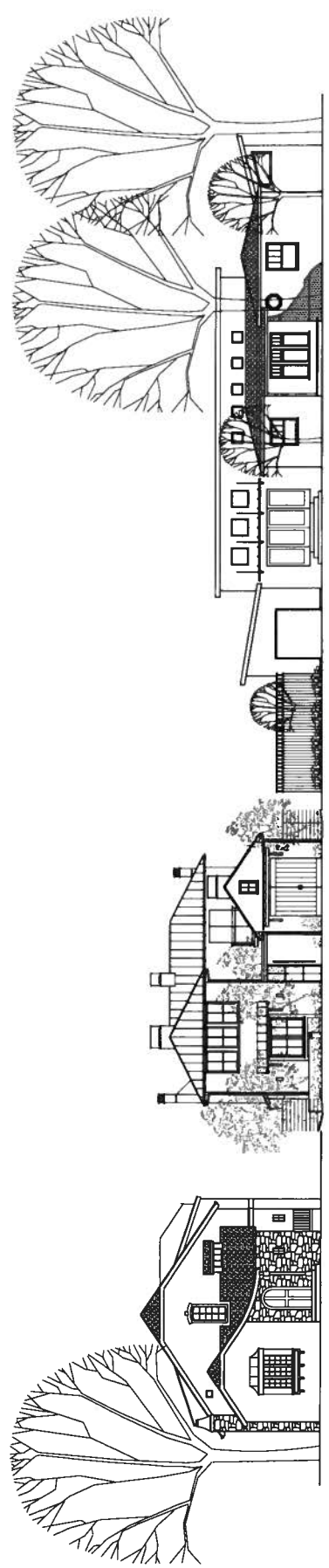


(E) 204 PRINCETON ROAD

(E) 228 PRINCETON ROAD

(E) 240 PRINCETON ROAD

2
 A3.4
 EXISTING STREETSCAPE



(E) 204 PRINCETON ROAD

(N) 228 PRINCETON ROAD

(E) 240 PRINCETON ROAD

1
 A3.4
 PROPOSED STREETSCAPE

LEGEND	FINISH NOTES	ELEVATION / SECTION KEY NOTES
<p>1 KEY NOTE</p> <p>2 FINISH NOTE</p>	<p>WOOD TYPES</p> <p>121 VERTICAL WOOD BRIMS AND GABLES TYPE: CLEAR WESTERN RED CEDAR FINISH: SP-TRANSPARENT STAIN COLOR: TALL</p> <p>122 HORIZONTAL WOOD BRIMS TYPE: CLEAR WESTERN RED CEDAR FINISH: SP-TRANSPARENT STAIN COLOR: TALL</p> <p>123 CLAD WOOD WINDOWS & EXTERIOR DOORS TYPE: CLEAR WESTERN RED CEDAR FINISH: SP-TRANSPARENT STAIN COLOR: TALL</p> <p>124 CAST IN PLACE CONCRETE FINISH: SMOOTH TROWEL COLOR: WHITE</p> <p>125 ORBIT PLASTER TYPES</p> <p>126 TYPE: INTEGRAL COLOR TYPE: BOTH STEEL TROWEL COLOR: TALL</p>	<p>METAL TYPES</p> <p>127 STANDING SEAM METAL ROOF TYPE: GALVALUME COLOR: WHITE</p> <p>128 EXTERIOR SHEET METAL BLUE DOWNSPOUTS, GUTTERS TYPE: ROUNDED METAL NOTE: NO CORNERS ON ELBOWS</p> <p>129 METAL ENTRY AND TRAILER TYPE: PAINTED METAL</p> <p>130 STEEL WINDOWS TYPE: PAINTED METAL</p>

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DEC 19 2013

arcanum architecture, in

501 third street, suite 2C
 san francisco, ca 94107
 415/ 357 4400 tel
 415/ 357 4404 fax

Description of Project

By PLANNING

Proposed is a new single-family home of 2,924 square feet. The two-story home is to be located at 228 Princeton Road in Menlo Park and will be replacing an existing single-family residence and accessory structure of 1,737 and 211 square feet respectively, at the same address. In addition to the structure, the proposal introduces a variety of hardscape and landscape improvements to the site.

The residence is designed to be a modern agrarian compound with three simple masses connected by circulation spaces that have a scale and form that harkens back to the humble ranch language that is typical of early developments in the area, but with clean and modern details that make this language fresh and new. On its surface, the design of the residence is warm and familiar, contextual with its neighborhood. Upon closer look, the contemporary detailing and unexpected courtyard create a dynamic floor plan that allows light to enter each mass from multiple sides, forms multiple outdoor spaces with the opportunity for differing functions, and elevates the design to something new and surprising.

As you approach the home from the street, you enter the property along a staggered concrete paver path interspersed with new landscaping that leads you past the one-car garage to the East and a low cast-in-place concrete landscape wall to the West and towards the front entry door. The one-car garage evokes a carriage house in its simplicity and scale with a cantilevered trellis and side-hinged swinging garage doors that are not typical of a garage and give the impression of it being a living space rather than a utilitarian one. The landscaping and concrete wall serve several functions that are key to the entry procession. First, they offer a buffer between the pedestrian path and the driveway, clearly delineating their separate purposes. Then, their second and most important design function comes into play. In order to reduce the appearance of a large garage dominating the front, street facing elevation of the house, the second parking spot is turned parallel to the street concealed behind the low landscape wall and landscaping. The path staggers towards and connects with the driveway in order to form an impermeable drivable surface for a car to pull into this uncovered parking space when necessary. This solution greatly reduces the visual impact of the garage and allows the driveway to be minimized in order to create a softer and more natural relationship to the neighborhood. The entry procession concludes as you arrive at a low cantilevered flat roof at the main entry.

The main entry is a one-story vestibule with floor to ceiling glass connecting the one-story gabled garage mass to the front two-story hip roofed living mass. This is where the first surprising glimpse into the courtyard is revealed. A turn towards the East leads you into a Mud Room, full Bath, and one-car Garage and a turn to the West into the living spaces of the house. Towards the living space, the first room that you encounter is the Study. This is a more public space that faces the front yard and for receiving guests in a more formal way. Moving towards the rear yard, the floor plan opens up into a grand Living room with a large 15 foot wide folding door that opens to the Courtyard that is the heart of the house. The Courtyard will act as an exterior extension of the Living room that will blur the line between the interior and exterior and will be the more formal outdoor living space.

The Stair to the second floor acts as a transition and connection to the second two-story gabled mass that is turned perpendicular to the first. Passing through this space that also has floor to ceiling glass looking onto the Courtyard brings you into the Dining room where there is a Desk space and walk-in Pantry to the West and the Kitchen to the East. The Dining room has a 12 foot wide folding door opening to the back yard. The Kitchen also has a 12 foot wide folding door on the opposite façade that connects this mass to the Courtyard. A steel trellis extends off of the rear façade in order reduce the scale of the two-story mass and offer a transitional element between the exterior and interior. The rear yard is meant to be a less formal outdoor living space with a pool and patio space with southern exposure for lounging in the sun.



On the second floor, the front-two story mass contains two bedrooms with en-suite bathrooms and a laundry room space off of the Hall. Moving across the Stair landing, the rear two-story mass is occupied by the Master Suite.

In order to give a more contemporary and clean finish to the agrarian forms, the exterior of the three masses will be finished in integral color cement plaster. The Entry and Stair exterior will be finished with metal and vertical stained Clear Western Red Cedar T&G siding respectively, in order to differentiate them as connecting pieces between the masses. The roof will be covered with a standing seam metal roof and there will be Clear Western Red Cedar eaves to match the vertical siding and give a soft feeling to the house from below. Clad wood windows and doors will allow the frames to recede and strengthen the transparency of these openings and the relationship between the interior and exterior.

As existing members of the neighborhood, the Dreyers have taken pride in their plans to improve their property and construct a new home for themselves. They wish to ensure that their new home will nestle harmoniously into the existing fabric of the neighborhood and that it will in no way be a disturbance to its surroundings. They have made earnest efforts to share their ideas with the neighbors and have been welcome to any suggestions or concerns that they may have. Additionally, the Dreyers will share the plans with all neighbors who share a property line with them to elicit any additional feedback before the final submission to the Planning Department.



Walter Levison
CONSULTING ARBORIST



ASCA Registered Consulting Arborist #401

ISA Qualified Tree Risk Assessor

ISA Certified Arborist #WC-3172

**Assessment of Eight (8) Neighbor Trees & Front Yard Trees
at
228 Princeton Road
Menlo Park, California**

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DEC 18 2013

Site Visit:

Walter Levison

12/12/2013

Report:

Walter Levison

12/12/2013

By PLANNING



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1.0 Summary

Eight (8) trees were assessed for this initial assignment, including seven (7) neighbor trees (trees #2, 3, 4, 5, 6, 7, 8) and one (1) front yard tree (tree #1). Refer to the attached Excel tree data charts and tree location map mark-up for more details:

1. Tree #1 is a non-protected size southern magnolia in the front yard.
2. Tree #2 is a protected size European olive that will be negatively impacted by proposed foundation work east of the trunk edge.
3. Tree #3 is a protected size Douglas fir offset from the property line that may be slightly affected by excavation cuts performed during pool excavation and/or landscape developments such as irrigation pipe trenching. The tree owner's property is an extensive open soil area that provides excellent root extension for this tree and is expected to provide a root retention zone large enough to offset most negative impacts related to proposed construction that will occur in the 228 Princeton portion of the tree's root zone. WLCA proposes cordoning off the northwest corner of the site, to create a root protection zone with no excavation or trenching allowed, providing further protection for roots extending from fir #3.
4. Tree #4 is a protected size coast live oak that extends significantly into the proposed 228 Princeton project airspace (see attached tree map). Pruning to clear airspace, if necessary, is not expected to cause any declines in tree condition, but should be performed with caution either by or under direct supervision of an ISA Certified Arborist, using pruning cuts that conform to the most current iteration of the ANSI-A300 standard for tree care operations / woody plant maintenance / pruning booklet.

This tree is well offset from the 228 Princeton site, and it not expected to be impacted by proposed work on the Dreyer property.

5. Tree #5 is a protected size Northern California black walnut which is offset 11 to 12 feet from the property line, and is therefore not expected to be impacted by proposed work. The tree has been heavily pruned in the recent past to clear the 228 Princeton airspace.
6. Tree #6 is a small diameter non-protected size plum offset 3 to 4 feet from the property line. Proposed work will not affect this tree.
7. Tree #7 is a small diameter non-protected size plum offset 3 to 4 feet from the property line. Proposed work will not affect this tree.
8. Tree #8 is a small diameter non-protected size tree (species not verified) offset 3 to 4 feet from the property line. Proposed work will not affect this tree.



2.0 Assignment & Background

The author Walter Levison Consulting Arborist ("WLCA") was retained to perform an initial assessment of neighbor trees for the design review stage of a proposed site plan project at 228 Princeton. Magnolia #1 was added to the tree study due to its significant presence as a front lawn area tree in close proximity to the public right of way (street).

WLCA was directed to assess the neighbor trees without tagging them, and prepare a written arborist report to include a tree location map, tree images, tree data charts, and recommendations for tree protection and maintenance based on arboriculture Best Management Practices (BMP), to comply with Menlo Park planning division submittal requirements.

Recommendations for maintenance and protection are located in section 5.0 below.

Digital images of the trees archived on 12/12/2013 as documentation of pre-project conditions are included as section 10.0 below.

Tree data are assembled in section 11.0 below in matrix form (Excel), and include basic arboriculture data on the left hand side of the tables, and details of additional data concerning existing conditions as well as recommendations for maintenance and protection on the right hand side of the tables.

The study trees are noted as trees #1 through #8 on the attached tree map in section 12.0 of this report. Approximate canopy dripline dimensions were added to the sheet during the WLCA site visit, and CAD-plotted canopy dripline indications removed from the architectural site plan sheet A1.1 when creating the tree map.

Most of the neighbor trees were not able to be accessed (e.g. trees #3, 4, 6, 7, 8). Trunk diameters for those trees were therefore estimated from afar, as were tree health and structural attributes. Condition ratings for these five trees are considered "estimated" since WLCA could not closely inspect buttress roots and lower trunk areas for decay, etc.

3.0 Observations & Discussion

New construction at 240 Princeton left of the subject site when viewed from the street appears to have caused declines in health and structure of heritage olive #2, probably due to root loss, soil compaction, and changes in hydrology and soil moisture that occurred as a result of that work. As can be seen in the images of this tree included below in section 10.0, twig decline is occurring, and there is little area for the root system to expand other than beneath existing hardscape. The concrete walkway surfacing on the 228 Princeton side of the root zone is severely buckled, assumedly due to radial expansion of woody lateral roots extending eastward from this tree (not verified).

Olive #2 trunk edge appears to be approximately 4 to 6 horizontal feet from the closest proposed excavation cut along the proposed west exterior wall where a foundation footing will be installed. The exact distance is somewhat nebulous, since the trunk extends through a jog in the fenceline, and the property line may or may not be exactly along the line of the existing wood property boundary fence. The distance from tree to footing can be verified later by the project architect and/or the project surveyor.



European olive does have the ability to withstand this type of "extreme" root cut scenario, though pre-existing issues such as described above (i.e. previous construction at 240 Princeton) have compromised the root system of the tree, likely predisposing olive #2 to continued declines in health and structure, even if the proposed residence foundation footing excavation cut at 228 Princeton were to never occur.

There are no relative construction tolerance ratings in any texts or literature in my arboriculture library related to *Olea europaea* (European olive) as a species, so I cannot comment on olive's tolerance to our proposed foundation work. Mattheck in *The Body Language of Trees* does have a table which deals with minimum distance of cut to allow a tree (species in general) to remain standing without endangering stability from rootplate loss. When the olive #2 trunk diameter is plugged into that table, the minimum distance from trunk edge that cuts should be made around a tree of this size is 9.5 horizontal feet. However, this is related to 360 degree circumferential cuts around the entire tree, so our east side foundation cut on the 228 Princeton portion of the root system would be considered of lesser severity than that described by Mattheck, and therefore a shorter lateral offset distance from trunk would be OK without endangering the stability of the tree. In cases of lower tree "loading" such as with this smaller dimension heavily pruned olive specimen with good trunk taper that represents a low wind loading type situation, a cut on one side of a tree can typically occur at 2x or 3x the trunk diameter and still not endanger rootplate stability (i.e. 40 inches X 2 = 80" or 6.66 feet, 40"X3 = 120" or 10 feet. The distance of foundation cut as shown on the current site plan is somewhat in line with the smaller of these two distances.

The caveat to this distance calculation is that there may be a significant loss of water uptake ability by the tree due to large diameter root cuts, and therefore a general decline in tree health and structure over time due to its inability to continue uptake of water and nutrients due to the physical loss of woody roots and fine absorbing roots attached to the large diameter roots.

Anecdotally, a number of working arborists and consulting arborists have noted European olive to be one of the most tolerant tree species to root pruning, which would suggest that olive #2 has a relatively very good chance of survival in its current condition after our site foundation work, assuming that proper irrigation and root pruning is achieved.

Douglas fir #3 is not expected to be significantly impacted by our proposed pool work and landscaping work in the rear of 228 Princeton. Pool construction including pool surround, actual pool dish excavation, etc. appears to be approximately 21 horizontal feet from the trunk edge of fir #3, though this would need to be confirmed by a surveyor as I plotted the tree on the tree location map based on a rough visual inspection only. The area between the northwest corner of the 228 Princeton property and the pool work is "landscaping T.B.D.", and may actually represent more of a threat to the tree than the pool work itself, depending on whether deep trenching were required to install PVC irrigation pipes, pool utility conduits, plants, etc. between the pool and this corner of property. Therefore, to avoid all possible impacts to the tree, I would suggest simply calling this northwest corner portion of the property a "root protection zone" (RPZ) and avoiding all work in it while erecting a chain link fence to prevent construction personnel access to it during our site plan project.



4.0 Tree Ordinance

The City of Menlo Park protects all species with stems 15 inches diameter or more at 4.5 feet above grade as 'Heritage Trees'.

Native oaks such as coast live oak, valley oak, and California black oak are protected at the 10 inch diameter threshold.

Per this definition, neighbor trees #2, 3, 4, and 5 are protected as 'Heritage Trees'. The only tree potentially impacted by proposed work at 228 Princeton is olive #2 on 240 Princeton property.

5.0 Recommendations

1. Project Arborist (PA):

Retain an ASCA registered consulting arborist such as WLCA or another qualified consulting arborist with good experience with tree protection during construction, to provide pre-project verification that tree protection and maintenance measures outlined in this section of the arborist report are adhered to. Periodic (e.g. monthly) inspections and summary reporting is advised to verify compliance with tree protection throughout the site plan project period.

The PA shall directly monitor or perform backdigging root pruning following the WLCA protocol outlined below in this section, as applicable.

PA monitoring of irrigation around olive #2 may also be necessary.

2. Trunk Buffer:

Install a trunk buffer around the lowermost eight (8) feet of the trunk of magnolia #1, and of olive #2 if the existing wood property fence is to be removed.

If the fence is to remain, then the fence will become a de-facto trunk buffer.

Wrap approximately 10 to 20 wraps of orange plastic snow fencing around the trunk between grade and 8 feet above grade to create a padding at least 1 to 2 inches thickness.

Stand 2x4 wood boards upright, side by side, around the entire circumference of the trunk. Affix using duct tape (do not use wires or ropes). See image above right.

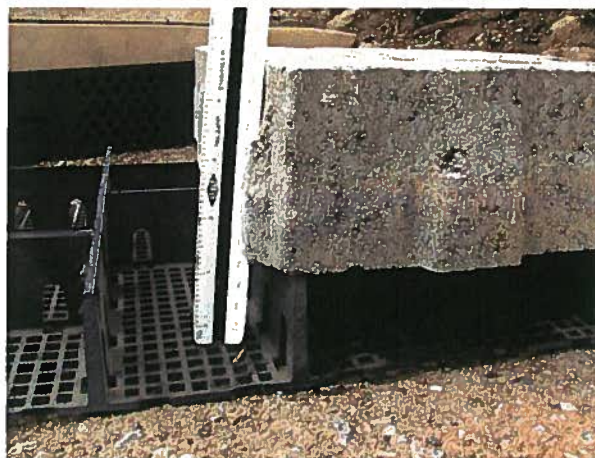


3. Fencing / Root Protection Zone:

Install 5 foot high chain link fencing as either panels set on moveable concrete footings or rolled chain link steel material hooked onto two inch diameter iron tube posts pounded 24 inches into the ground spaced at 6 feet on center, along the canopy dripline of magnolia #1, along the root protection zone east of olive #2, and across the northwest corner of the property where fir #3 roots extend in from the neighbor's property (refer to the WLCA tree location map for details).



If chain link panels are used, then pound layout stakes 24 inches into the ground at the end of each fence panel, and wire the stakes to the fence panels to prevent construction personnel from moving the panels.



4. Pathway Construction (New):

Use over-grade, tree-friendly, "no-dig" or minimal dig type construction for installation of new walkways if those walkways are to be built in the areas shown on the WLCA tree map as root protection zones near olive #2 or fir #3.

Note that the subgrade soil needs to be maintained at or less than 80% to 85% max. compaction to allow for normal tree root function below the walkways.

The following spec images are offered as alternative walkway construction examples which require zero excavation below existing open soil tree root zone elevations.

The plastic matrix in the image is Presto Geopave which is both a surfacing and a baserock base section at the same time, with only 2.0 inches height, that adequately disperses load to handle motor vehicle traffic. This product can be filled with clean crushed rock and used as a gravel or degraded granite path with two inches cut into the root systems of trees, or it can be filled with rock or levelling sand and topped with a 3 inch height permeable paver (shown below) or non-permeable paver, to achieve a more formal look.





Walter Levison
CONSULTING ARBORIST



ASCA Registered Consulting Arborist #401

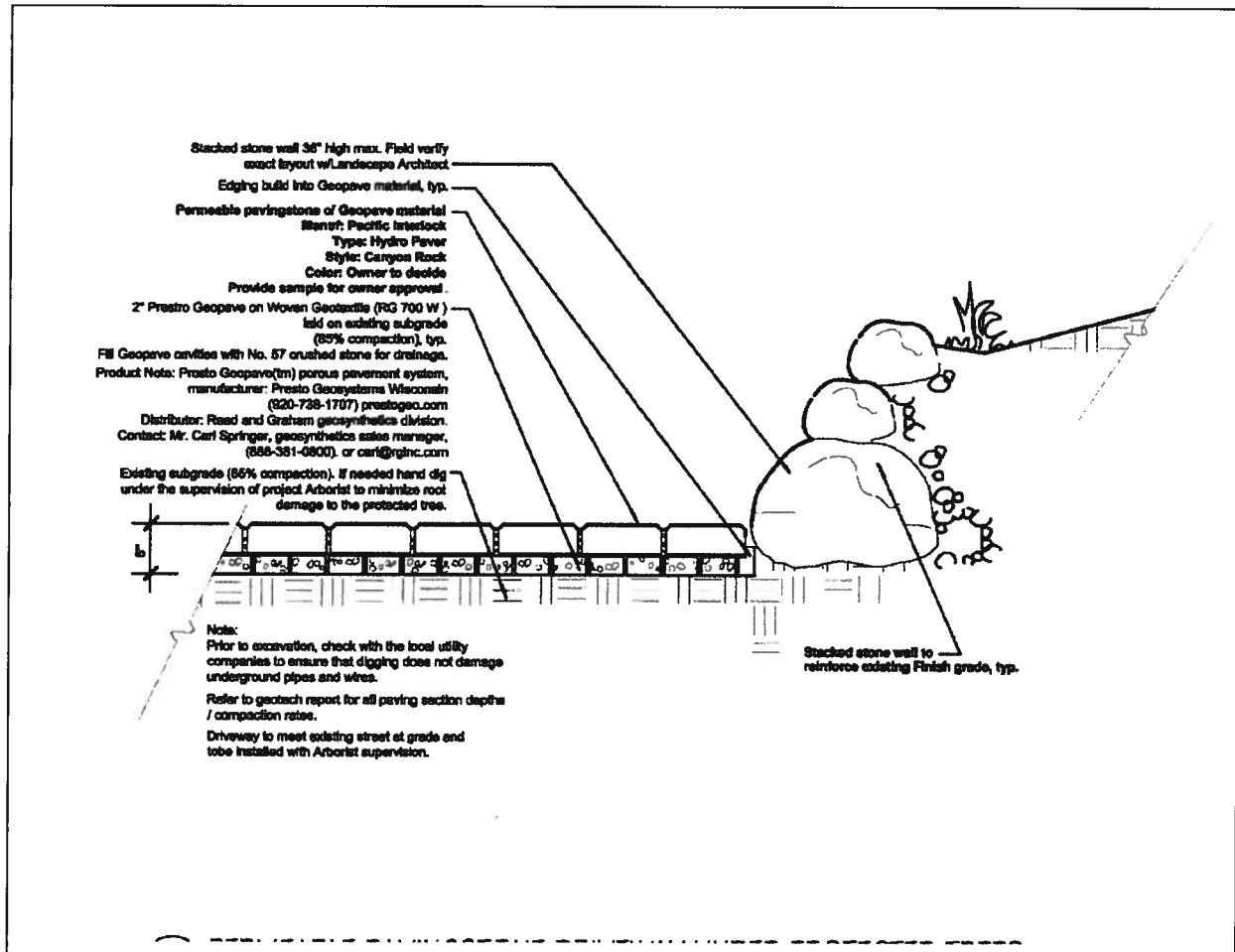
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The product can also be lain directly over grade, filled with rock, and edged with a soil choker feathered out from the solid plastic edges. The product arrives as "cell units" that clip together, with each unit having solid plastic edges around the entire perimeter of the unit.

The various geosynthetic membranes specified on the scan below are not actually required. The Geopave distributor noted to me that the product can simply be placed over soil grade and filled with sand, and then topped with the pavers without any intermediate filter fabrics. The distributor name, phone, etc. is noted on the spec image below.

On a final note, the Geopave edging does not rise above the top of the product, and some type of containment for the paver edge is required, such as a metal edging with steel pins periodically pounded into the ground to retain the pavers, or a poured in place over-grade concrete header "curb" that floats over grade with no excavation.



5. Irrigation During Construction:

I suggest maintaining heavy 1x/week irrigation around non-protected magnolia #1 throughout construction, and working with the neighbor at 240 Princeton to achieve moderate irrigation on a periodic basis (e.g. 2x/month) for olive #2.

Irrigation can be supplied via garden hose, emitter line, water truck, water tank / spray apparatus, etc.

6. Northwest Site Corner / Landscape Plant Installations & Irrigation Pipe Trenching:

Limit or eliminate all trenching and plant installation in the northwest corner of the site to avoid damaging the root system of neighbor fir #3.

If trenching and/or excavation are required in this corner of the site, I suggest a maximum of 4 inches cut below existing grade elevations. Contact the project arborist prior to finalization of plans for this area.

7. Pruning:

Retain an ISA Certified Arborist to personally perform pruning, or directly manage pruning on site (see vendor list below in this report). All pruning shall conform as best possible to the most current iterations of ANSI A300 standards for tree care / woody plant maintenance / pruning.

Specific Pruning Prescriptions:

Oaks #4: Perform branch and limb "endweight reduction pruning" to clear the construction airspace if and when necessary.

8. Utility and Drain Line Trenching:

Keep all proposed new utility trenching and drain line trenching (e.g. cable TV, drinking water, fire water, gas, internet, high voltage electric, low voltage landscape lighting, sewer, storm drain lines, Christy boxes, downspout drain lines, etc., at least 25 horizontal feet out from the trunk edges of all trees being retained. If this separation distance cannot be achieved, contact the project arborist to discuss alternatives.

9. Water Spray (if applicable):

Spray off foliage of all trees using a very high power garden hose or a pressure washer system set on low pressure to wash both the upper and lower surfaces of foliage on all trees within 25 feet of demolition type construction. This helps keep the gas portals (stomata) unclogged for better gas exchange which is crucial for normal tree function (see image at right in which a fire hose system was used to wash approximately 50 redwood tree specimens at a demolition site).





This recommendation applies only to periods of construction which generate unusually high ambient airborne dust concentrations.

10. Root Pruning with Back-Digging Protocol:

Retain the project arborist to directly monitor and advise construction personnel on correct root pruning tools, procedures, etc. for the foundation excavation face adjacent to olive #2, per the following spec images. Tools can include arborist's pruning saws, Sawzalls with 'pruning' blades that feature relatively large offset teeth (see image below), and other sharp tools.

Cuts are made at right angles to root growth direction. If roots are damaged, then the "backdigging" protocol below on page 11 must be used to dig back into the excavation face and prune roots at locations of clean, unbroken, healthy root wood and bark.

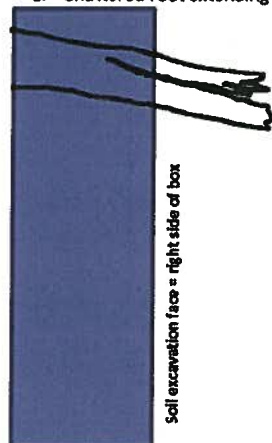




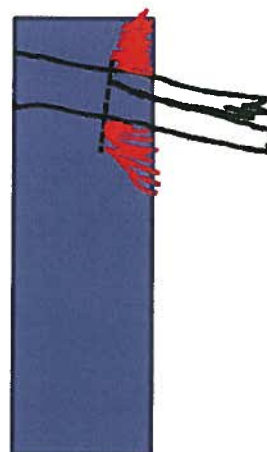
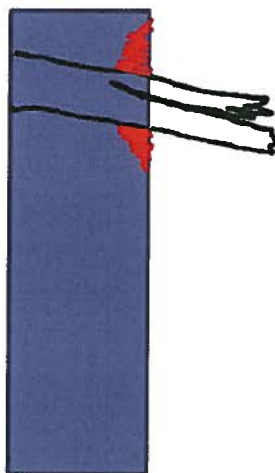
HOW TO PRUNE BROKEN OR SHATTERED ROOTS

© 2010 Walter Levison, Consulting Arborist

1. Shattered root extending out from excavation soil face. Shattered area of unknown length.



2. Dig back into soil face around root using hand tools (red area). Stop digging at 12 horizontal inches in from soil face, even if root is still broken or shattered.



3. Sever root squarely at right angle to root growth direction using sharp tool (see dashed line).



Walter Levison
CONSULTING ARBORIST



ASCA Registered Consulting Arborist #401

ISA Qualified Tree Risk Assessor

ISA Certified Arborist #WC-3172

6.0 2013 Vendors List

Service	Company	What they offer	Contact
Transplanting	Tree Movers Inc.	Large specimen trees, transplant services.	650-968-6117
Pruning	Advanced Tree Care	Pruning, root crown excavation, fertilization, tree installation, support systems for high risk trees, SOD phosphate sprays.	650-839-9539
	Maguire Tree Care	Pruning performed directly by an ISA Certified Arborist	650-245-2620
	Trees 360	Pruning performed directly by an ISA Certified Arborist (upon request).	408-866-1010
	Commercial Tree Care	Pruning of very high quality if request ISA Certified Arborist Joe Nama to directly monitor pruning work.	408-985-TREE
Special Tree Sources	Specialty Oaks Lower Lake, CA	California native oak species	www.specialtyoaks.com
	Oracle Nursery	Various oaks and hybrid elms. Only local purveyor of hard to find Italian oak (<i>Q. frainetto</i> 'Forest Green')	www.oracleoaknursery.com
	Urban Tree Farm Nursery	Orders can be made for the fantastic and hard to source silver linden tree (<i>Tilia tomentosa</i>) and Forest Green Hungarian oak (<i>Quercus frainetto</i> 'Forest Green') which are grown in Oregon.	(707) 544-4446



Walter Levison
CONSULTING ARBORIST



ASCA Registered Consulting Arborist #401

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	Sweet Lane Nursery Santa Rosa, CA	Orders can be made for the fantastic and hard to source silver linden tree (<i>Tilia tomentosa</i>) and Forest Green Hungarian oak (<i>Quercus frainetto</i> 'Forest Green') which are grown in Oregon.	(707) 792-5008
--	--------------------------------------	--	----------------

7.0 Consultant's Qualifications

- Contract Project Arborist, SFPUC Hetch Hetchy Water System Improvement Program
- PNW-ISA Certified Tree Risk Assessor #593
- ASCA Registered Consulting Arborist #401
- Millbrae Community Preservation Commission (Tree Board) 2001-2006
- ASCA Arboriculture Consulting Academy graduate, class of 2000
- ISA Certified Arborist #WC-3172
- B.A. Environmental Studies/Soil and Water Resources
UC Santa Cruz, Santa Cruz, California 1990
- Peace Corps Soil and Water Conservation Extension Agent
Chiangmai Province, Thailand 1991-1993
- Associate Consulting Arborist
Barrie D. Coate and Associates
4/99-8/99
- Contract City Arborist, City of Belmont Planning and Community Development Department
5/99-present
- Continued education through attendance of arboriculture lectures and forums sponsored by The American Society of Consulting Arborists, The International Society of Arboriculture (Western Chapter), and various governmental and non-governmental entities.
- (My full curriculum vitae is available upon request)



Walter Levison
CONSULTING ARBORIST



ASCA Registered Consulting Arborist #401

ISA Qualified Tree Risk Assessor

ISA Certified Arborist #WC-3172

8.0 Assumptions and Limiting Conditions

Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownership to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised and evaluated as through free and clean, under responsible ownership and competent management.

It is assumed that any property is not in violation of any applicable codes, ordinance, statutes, or other government regulations.

Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.

The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.

Unless required by law otherwise, the possession of this report or a copy thereof does not imply right of publication or use for any other purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant/appraiser.

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This report and any values expressed herein represent the opinion of the consultant/appraiser, and the consultant's/appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

Sketches, drawings, and photographs in this report, being intended for visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys unless expressed otherwise. The reproduction of any information generated by engineers, architects, or other consultants on any sketches, drawings, or photographs is for the express purpose of coordination and ease of reference only. Inclusion of said information on any drawings or other documents does not constitute a representation by Walter Levison to the sufficiency or accuracy of said information.

Unless expressed otherwise:

- a. information contained in this report covers only those items that were examined and reflects the conditions of those items at the time of inspection; and
- b. the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.

Loss or alteration of any part of this report invalidates the entire report.

Arborist Disclosure Statement:

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborist cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.



Walter Levison
CONSULTING ARBORIST



ASCA Registered Consulting Arborist #401

ISA Qualified Tree Risk Assessor

ISA Certified Arborist #WC-3172

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate the trees.

9.0 Certification

I hereby certify that all the statements of fact in this report are true, complete, and correct to the best of my knowledge and belief, and are made in good faith.

Signature of Consultant

10.0 Digital Images

Tree Tag Number	Image	Tree Tag Number	Image
1		1	
2		2	

D15





Walter Levison
CONSULTING ARBORIST



ASCA Registered Consulting Arborist #401

ISA Qualified Tree Risk Assessor

ISA Certified Arborist #WC-3172

Tree Tag Number	Image	Tree Tag Number	Image
3		3	
4		4	
5		5	



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ISA Certified Arborist #WC-3172

Tree Tag Number	Image	Tree Tag Number	Image
6		7	
8			

11.0 Tree Data Charts (Excel)

12.0 Tree Location Map

17 of 17

Site Address: 228 Princeton Road, Menlo Park, CA
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Version: 12/12/2013

DN

Registered Member, American Society of Consulting Arborists and Member of the International Society of Arboriculture

Cell (415) 203-0990 / Email dtree@sbcglobal.net

D18

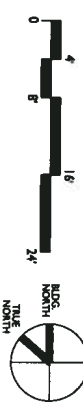
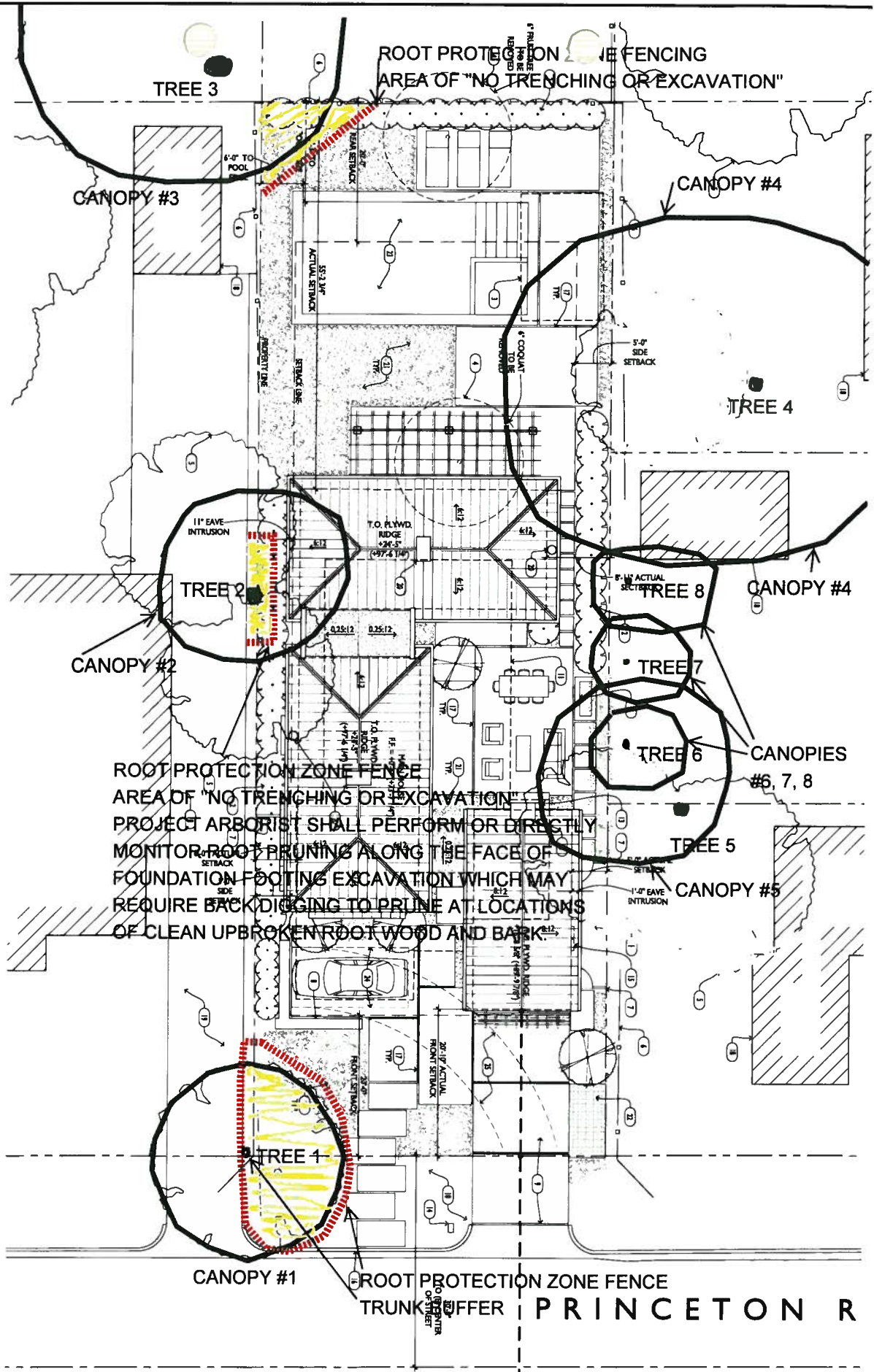
Basic Data										Tree Risk Assessment Per New ISA Protocols 2011				Existing Conditions				Recommended Maintenance and Protection Actions								Notes										
Tag Number	Common Name	Genus and species	Diameter (in.) Stem 1	Diameter (in.) Stem 2	Diameter (in.) Stem 3	Diameter (in.) Stem 4	Total of All Stem Diameters	Municipal Protection Status	Height & Spread (ft.)	Health and Structure Ratings (0-100% each)	Overall Condition Rating (0-100%)	Fee if Removed or Damaged (\$)	A Likelihood of Failure	B Likelihood of Impacting target	C Consequences	D Final Tree Risk Rating	Historical Limb Splitouts	Recent Top Pruning or Shearing Pruning	Girdling Roots	Uncorrected Trunk Lean	Severely Pruned in Past	Codominant Mainstems with Severe Bark Inclusion(s)	Soil Moisture Deficit	Live Twig Density and Extension	Trunk Buffer and/or Root Protection Zone Fencing		Remove Dead Wood	Limb Endweight Reduction Pruning	Fertilization	Irrigation - Permanent	Irrigation - Temporary	Young Tree Structural Training	Thin Crowded Branches (Structural Renovation)	Airspace Clearance Pruning	Root Pruning with Backdigging per Author's Protocols	
8	Undeclared tree species	Genus and species	est. 6"				est. 6"	None	20/20	70/55	60% Fair							X			X			est. mod												Trunk is offset 3 to 4 feet from the 228 Princeton property. Therefore, as with trees #6 and #7, no impacts from construction work are expected

Notes:

1. WPCA was not requested to determine tree risk ratings for the trees in this initial study.
2. Tree heights were determined using a Nikon Forestry Pro 550 hypsometer.
3. Only seven (7) neighbor trees and one (1) front yard tree were included in this study.
4. Trees #3, 4, 6, 7, and #8 were not accessible. Tree health and structural condition as well as trunk diameter was therefore estimated for these trees.
5. Trunk plot locations were estimated by looking at tree placement in relation to existing residential and storage structures plotted on the 228 Princeton site plan sheet created by Arcanum Architecture, Inc.

D19

1 SITE / ROOF PLAN



FIRE HYDRANT DISTANCE FROM STRUCTURE = 233'-0"
FIRE HYDRANT DISTANCE FROM PROPERTY LINE = 312'-0"
(FIRE HYDRANT LOCATED AT CORNER OF PRINCETON ROAD
AND CAMBRIDGE AVE.)

Sandmeier, Corinna D

From: James, Ann N <anjames@stanford.edu>
Sent: Wednesday, January 29, 2014 12:44 PM
To: Sandmeier, Corinna D
Cc: Don Holmquest
Subject: Letter of support for new home at 228 Princeton

My husband and I live at 205 Princeton Rd. We are writing to enthusiastically endorse the proposed new home construction project at [228 Princeton Rd.](#) The Dreyers have chosen to build a new home that is aesthetically pleasing and will improve the look of the neighborhood, as well as the property values. This house has style and its size is respectful of the overall look of our block on Princeton. We urge approval of their plans

Ann N James
Don Holmquest
205 Princeton
Menlo Park 94025

Sent from my iPhone



Sandmeier, Corinna D

From: Amy Sturt <amysturt@gmail.com>
Sent: Thursday, January 30, 2014 7:09 PM
To: Sandmeier, Corinna D
Subject: 228 princeton road

hi corinna-

I live across the street at 241 Princeton Rd and am neighbors with bob and sarah dreyer. they have told me about their plans for a new home construction project at 228 princeton road. i wanted to write and let you know that i am happy to hear that this project will be happening. the noise and construction traffic only lasts a little while, but the improvements in the value of the neighborhood (in looks and property value) last much longer.

please feel to contact me with any questions or concerns.

best-
amy sturt

Sandmeier, Corinna D

From: Christy Ericson <christyericson@me.com>
Sent: Friday, January 31, 2014 10:14 PM
To: Sandmeier, Corinna D
Subject: Dreyer Residence - 228 Princeton Rd

To whom it may concern,

We live at 240 Princeton Rd (directly next to Bob and Sarah Dreyer) and am writing to let you know that we are very much in favor of the proposed new home construction project at [228 Princeton Rd.](#) I am pleased that the Dreyers have chosen to build a new home that is aesthetically pleasing and will improve the look of the neighborhood, as well as the property values.

I believe that have designed a home that truly reflects the wonderful, eclectic nature of Allied Arts. We are very supportive of the design and plans for their new home.

Sincerely,

Christy Ericson
240 Princeton Road
Allied Arts, Menlo Park
650.269.0567

Sent from my iPhone



PLANNING COMMISSION STAFF REPORT

FOR THE PLANNING COMMISSION
MEETING OF FEBRUARY 10, 2014
AGENDA ITEM D2

LOCATION: 350 Sharon Park Drive **APPLICANT:** Bob Linder for BRE FMCA LLC

EXISTING USE: Multi-Family Residential **OWNER:** BRE FMCA LLC

PROPOSED USE: Multi-Family Residential **APPLICATION:** Conditional Development Permit Amendment

ZONING R-3-A-X (Garden Apartment, Conditional Development)

	PROPOSED PROJECT		EXISTING DEVELOPMENT		ZONING ORDINANCE
Lot area	679,266	sf. (15.6 ac)	679,266	sf. (15.6 ac)	10,000 sf. min.
Lot width	varies	ft.	varies	ft.	80 ft. min.
Lot depth	varies	ft.	varies	ft.	100 ft. min.
Building coverage	268,417	sf	263,212	sf	Per Approved Conditional Development Permit
	39.5	%	38.8	%	
FAR (Floor Area Ratio)	380,047	sf	372,306	sf	N/A
	56.0	%	54.8	%	
Building height	36.9	ft.	36.9	ft.	Per Approved Conditional Development Permit
Parking	514 spaces		514 spaces		Per Approved Conditional Development Permit
Note: Areas shown highlighted indicate a nonconforming or substandard situation.					
Trees	# of existing Heritage trees	228	# of existing non-Heritage trees	231	# of new trees 331
	# of Heritage trees proposed for removal	42	# of non-Heritage trees proposed for removal	83	Total # of trees 665

PROPOSAL

The applicant is requesting a Conditional Development Permit (CDP) amendment for a project at an existing multi-building apartment complex located in the R-3-A-X (Garden Apartment, Conditional Development) zoning district. The project would include the demolition of the existing recreation building, the construction of a new recreation building and a new leasing office and associated parking area, façade improvements to all of the existing apartment buildings, and landscaping modifications. The proposed modifications would result in an increase in the maximum building coverage of up to 40

percent at the subject site, which would exceed the current maximum of 30 percent, set by the existing CDP. The proposed amendment to the existing CDP (which covers multiple sites in the vicinity) would apply only to the subject site, and would not alter the development standards for any of the other properties within the CDP. As part of the proposal, up to 42 heritage size trees throughout the approximately 15.6-acre site are proposed for removal, which represents a reduction from the 62 heritage tree removals previously proposed. The Planning Commission initially reviewed the proposed project at its meeting on November 4, 2013 and continued the project. The Environmental Quality Commission (EQC) subsequently reviewed the proposed heritage tree removals at its meeting on December 18, 2013.

BACKGROUND

The subject property contains 296 units, varying in size from one bedroom to three bedrooms, located in 18 multi-story apartment buildings on an approximately 15.6-acre site. In addition, the site currently contains a combined recreation center and leasing office, and three multi-level parking structures. The project site is located in the Sharon Heights neighborhood, and more specifically in the subdivision known as Sharon Heights Unit 10. The Sharon Heights area was developed through multiple subdivisions in the 1960s and 1970s, which were often approved through conditional development permits (CDPs), in addition to the underlying zoning district regulations, as part of the land use entitlements. Attachment A identifies the subject site as well as the boundary of the existing CDP. The subdivision and CDP were originally approved in 1963 and subsequently amended in 1965. The existing CDP contains more detailed development and design standards for the area than the underlying zoning, specifically with regard to building coverage. The existing CDP (Attachment C) limits building coverage for the approximately 64-acre subdivision to 15.5 acres, and more specifically to a maximum of 30 percent for each individual parcel. For development standards not listed in the CDP, the CDP references the R-4-A zoning district. In 1974, the R-4 zoned properties were downzoned to R-3 citywide and therefore, the R-3-A district currently applies to the CDP.

For the Planning Commission's reference, the X (Conditional Development) district is a combining district that combines special regulations or conditions with one of the Zoning Ordinance's established zoning districts. According to the Zoning Ordinance, a CDP "may be issued to allow adjustment of the requirements of the district in order to secure special benefits possible through comprehensive planning of such large development. Further, such adjustment is intended to allow relief from the monotony of standard development; to permit the application of new and desirable development techniques; and to encourage more usable open space than would otherwise be provided with standard development."

The applicant is proposing to amend the CDP to exceed the maximum building coverage of 30 percent. The site currently contains 38.75 percent building coverage, which exceeds the maximum permitted by the CDP. The basis for this condition is not clear, although it may have related to an earlier determination that the parking structures (which are partially submerged and which have open top levels) did not count

as building coverage. Regardless, the 38.75 percent figure accurately reflects how the City currently calculates building coverage requirements for the R-3 and related zoning districts. The applicant's proposed site modifications would increase the building coverage on-site to 39.52 percent, and the applicant is requesting to modify the CDP to allow for a maximum building coverage of 40 percent to allow for future flexibility for on-site improvements. The draft CDP contains language requiring additional structures to obtain architectural control approval from the Planning Commission, but would remove the need to obtain a CDP amendment from the City Council for minor alterations and additions. The draft resolution approving the CDP amendment and the draft CDP itself are included in Attachments D and E, respectively. For proposals requesting a CDP amendment, the Planning Commission acts in a recommending capacity to the City Council, which is the final decision making body.

Initial Planning Commission And Environmental Quality Commission Review

The Planning Commission initially reviewed the proposed request at its meeting of November 4, 2013. The Commission received a number of public comments on the project, generally related to the requested tree removals. The Planning Commission voted 5-0 (with Commissioners Onken and Strehl absent) to continue the project, specifically requesting that the applicant comprehensively reevaluate the proposed heritage tree removal requests, in particular for removals that would not be directly construction-related, and to subsequently mark (e.g. ribbons) the trees proposed for removal in order to enable clear on-site review by Commissioners and/or the public. In addition, the Planning Commission directed the applicant to work with Recology to determine if on-site trash collection is feasible.

The Planning Commission also discussed the EQC's role in reviewing the requested tree removals. Since the project requires City Council review and action, the heritage tree removals would be acted upon by the Council through a resolution, which is not appealable to the EQC, and subsequently the EQC has not traditionally been involved in reviewing this type of project. By contrast, when a project is processed with the Planning Commission as the decision maker, there is an appeal period to Council. If the project involves heritage tree removal permits, then an appeal of the heritage tree permit (which is separate from the Planning Commission's action) is reviewed by the EQC, which then could be appealed to Council. In response to the comments received on this case, staff consulted with the City Attorney and determined that projects that do not allow for a typical heritage tree appeal process warrant a review by the EQC since the ordinance does not address this particular review process. Therefore, the EQC reviewed the proposed heritage tree removals at its meeting on December 18, 2013 and provided a recommendation to the Planning Commission and City Council to consider as part of their deliberations and actions on the proposed project. The EQC's recommendation is discussed further in the Trees and Landscaping section of the report.

Subsequently, the applicant has reevaluated the heritage tree removals, incorporating the input from the Planning Commission, which is discussed throughout the report. In addition, the applicant has worked with Recology and provided additional information

addressing comments from the Commission and members of the public, such as shade issues around the pool and the phasing of the site improvements. The applicant's response to the Planning Commission's direction, is contained in Attachment F, and explains the modifications to the project in more detail.

ANALYSIS

Site Location

The project site is located at 350 Sharon Park Drive, and occupies the entire city block. For the purposes of the staff report, Sharon Park Drive is considered to be in an east/west orientation. The site is bounded by Sharon Park Drive to the south, Monte Rosa Drive to the west, Eastridge Avenue to the north, and Sharon Road to the east.

Parcels to the north of the site along Eastridge Avenue are located within the R-2 zoning district. The parcels are generally occupied by duplexes and multi-family developments. To the west of the site along Monte Rosa Drive, the parcels are located in the R-3-A-X zoning district and are occupied by multi-story, multi-family complexes. The Sharon Heights Shopping Center and a multi-story office building are located across Sharon Park Drive to the south of the site. The shopping center is zoned C-2 and the office building is zoned C-1-X. The office building is located within the existing CDP for the area, while the shopping center is not. The Sharon Oaks and Sharon Glen condominium complexes are located to the east of the site across from Sharon Road. Sharon Oaks consists primarily of two-story duplexes and Sharon Glen consists of multiple three-story buildings. Both housing complexes are located within the R-3-A-X zoning district.

Existing Site Conditions

The subject site contains 18 apartment buildings for a total of 296 units, located on a 15.6-acre site. In addition, there are three parking structures on site and a combined recreation center and leasing office currently located adjacent to the pool, near the center of the development. The existing buildings contain approximately 372,306 square feet of gross floor area for a total floor area ratio (FAR) of 54.8 percent. The site currently contains 263,212 square feet of building coverage, which includes the footprints of all dwelling buildings, the parking structures, and accessory structures such as trellises, canopies, covered seating area, etc. The existing building coverage occupies 38.75 percent of the site, which exceeds the maximum building coverage permitted by the CDP. The site has 289 uncovered parking stalls and 229 covered parking stalls on site. The existing parking does not meet the Zoning Ordinance requirement of two parking spaces per dwelling unit, one of which must be covered. However, the applicant is not proposing to increase the number of dwelling units on-site, and the parking was set by the CDP. The tallest buildings on site are 36 feet, ten-and-a-quarter inches above grade.

Proposed Project

The applicant is seeking approval of a Conditional Development Permit (CDP) amendment to demolish the existing combined recreation center and leasing office building and to construct a new two-story recreation center building and a separate leasing office. The proposed recreation center would be located in the same location as the existing building. The applicant is proposing to locate the leasing office along Sharon Park Drive, and would construct a new access point to the property adjacent to the leasing center. The new access would include eight additional standard parking stalls and two accessible parking stalls for the leasing center. The proposed access would link to the existing parking lot that is accessed from Monte Rosa Drive. To limit possible cut through traffic, the Transportation Division has required that the applicant install a speed bump within the new parking lot. The proposed access would align with the most western driveway of the Sharon Heights Shopping Center.

The project is generally focused on refreshing the existing buildings, improving the landscaping and on-site amenities, and the construction of a new leasing office and recreation center. However, the applicant also intends to upgrade the interiors of the units, including the provision of in-unit washing machines and dryers. The unit interiors would be upgraded when the units are vacant. The proposed modifications would result in a slight increase in floor area, but the additions would generally be contained within the existing footprint of the structures. The proposed modifications would result in an increase of approximately 7,741 square feet of gross floor area for a total gross floor area of 380,047 square feet and an FAR of 56 percent. The CDP does not regulate FAR since FAR was not in existence at the time of the approved project. Therefore, there is no limit on the FAR at the site. However, the CDP explicitly limits the overall building coverage for the subject site to 30 percent, and for the overall area covered by the CDP to 15.5 total acres. At this time, the applicant is proposing to increase the building coverage at the site from 38.75 percent (263,212 square feet) to 39.52 percent (268,417 square feet). Additionally, the applicant is requesting to amend the CDP to allow the specific parcel to have a maximum building coverage of 40 percent. Therefore, the applicant is requesting flexibility to add 3,300 square feet (approximately 0.48 percent) in the future. Future building coverage increases would be subject to architectural control review by the Planning Commission, but would not require City Council review of a CDP amendment.

The proposed recreation center would be 30 feet, eight-and-three-quarters inches in height and the proposed leasing office would be 29 feet, seven-and-a-half inches in height. Both structures would be below the existing maximum height of 36 feet, ten-and-one-quarter inches. At the November 4 Planning Commission meeting, a member of the public and resident of the apartment complex brought up issues related to shade impacts from the proposed recreation center on the existing swimming pool. The applicant has reviewed the existing conditions and determined that the existing recreation center already shades the pool for the majority of the day. The applicant does not believe that the proposed recreation center will significantly affect the existing conditions. The applicant's photographs of the existing conditions are included in Attachment G. The applicant is also proposing to upgrade the facades of the existing

buildings with new colors and materials, which are discussed in more detail in the Design and Materials section of the report. The proposed project, as currently anticipated, would be constructed in six phases. The applicant provided a detailed phasing plan for the project, which is included in Attachment F. The phasing plan identifies the amount of work for each phase and the heritage tree removals associated with each phase of the project. In addition, the phasing plan identifies that the applicant evaluated the possibility of replacing the existing windows prior to constructing the new buildings, site improvements, and other exterior modifications, and determined that the window replacements would not be feasible in the first phase due to associated stucco and siding work. The applicant states that preconstruction "Town Hall" meetings would be held with the tenants prior to construction to help keep residents informed. In addition, the applicant is proposing to update the site's signage to be consistent with the more contemporary architectural style. The signage would generally replace the existing signage, with the exception of additional directional signs near the site entrances. The sign modifications would result in an overall reduction in total sign area at the site. The applicant's project description letter describes the proposed project in more detail and is included in Attachment H.

Site Layout and Circulation

The existing apartment buildings are located generally towards the perimeter of the site, with the pool and recreation center located in the middle of the site. The three parking structures all contain individual access points from the public streets bordering the site. Currently, Sharon Park Drive does not contain a vehicular access point to the site, while Monte Rosa Drive contains two access points, one for the parking structure and one for a small uncovered parking lot near the intersection of Monte Rosa Drive and Sharon Park Drive. The buildings are generally grouped along internal courtyards and walkways, which help to create a more suburban feel to the site. The overall site access and configuration is not proposed to change as part of the project, with the exception of the proposed access point along Sharon Park Drive, adjacent to the relocated leasing office. The applicant is proposing to add 10 uncovered parking spaces near the proposed leasing office, and would remove four spaces near the access along Monte Rosa Drive. The proposal would result in a net increase of 6 uncovered parking spaces for a total uncovered parking space count of 225 spaces. The covered parking space count would stay constant at 289 spaces. Therefore, the revised site would contain 514 total parking spaces.

During public comment at the Planning Commission meeting, concerns were raised regarding the existing trash pick-up at the site, specifically with regard to on-street pick-up along Sharon Road. As part of the continuance, the Planning Commission directed the applicant to work with Recology to determine if on-site collection is feasible. The applicant provided a letter from Recology identifying some possible modifications to the existing trash service locations that could reduce the amount of time vehicles are on the street and/or the need for curb-side pick-up. The applicant has provided a conceptual plan of proposed modifications to the location of pick-up in addition to the letter from Recology. Both are included in Attachment F, as part of the applicant's response to the Planning Commission's guidance. Staff has reviewed the proposed modifications and

believes that the proposed modifications would result in improvements to the existing trash pick-up and could help ease concerns from neighboring properties. The conceptual plan would relocate the curb-side pick up along Monte Rosa Drive and Sharon Road to locations within in the site. Along Sharon Road, the uncovered parking spaces adjacent to the entrance would be used for trash pick-up. Parking restrictions would need to be applied to those parking stalls accordingly to ensure that the spaces are available for staging of the bins for pick-up on trash pick-up days. The current proposal would retain curb-side pick up along Eastridge Avenue. However, Eastridge Avenue contains less vehicular traffic than Monte Rosa Drive and Sharon Road, and staff believes that there are no feasible alternatives along Eastridge Avenue. Staff believes that the proposed modifications adequately address the Commission's direction relating to the trash pick-up at the site. The Draft CDP (Attachment E) contains requirements for the trash pick-up at the site, based on the applicant's proposed modifications.

Design and Materials

The existing buildings on site contain stucco exteriors (painted beige) and wood trim and railings (painted in light brown tones), and are generally reminiscent of the midcentury architectural style. The applicant is proposing to upgrade the exteriors of the existing buildings, maintaining the existing forms while using more contemporary materials for an overall architectural refresh to the site. The facades would be a combination of stucco and horizontal cement fiber siding (painted in beige and brown tones). The deck railings would be replaced with dark grey metal railings and the façades within the recessed deck openings would be stucco painted in a greenish blue color. The privacy fences on the ground-level units would be replaced with painted wood (dark brown) or cedar fences. To complement the façade modifications, the applicant is proposing to modify the roof structure slightly to create parapet roof elements above certain portions of the building sides, below the main roof ridge, which are more in keeping with a more contemporary design. As necessary, the applicant intends to replace the existing roof material with 30-year composition shingle roofing.

The recreation center would contain similar materials as the upgraded residential buildings, while utilizing architectural elements that echo the existing buildings on site. The recreation center would contain a combination of stucco and horizontal cement fiber siding. However, to differentiate the recreation center from the residential buildings, the applicant is proposing to utilize reddish brown hues on the horizontal siding and stucco. The railings and entry doors would be dark grey, and the window trim would be a lighter beige color. The proposed leasing office would contain the same colors as the proposed recreation center. However, the leasing center would contain vertical siding on the upper portion of the facades and stucco on the lower portion. The stucco would be reddish brown, but the vertical siding would be a lighter beige color. The building would also contain architectural features, such as wood corbels, a cupola, and trellis elements on the main entryway façade.

Trees and Landscaping

As part of the overall site improvements, the applicant is updating the landscaping throughout the site and incorporating additional on-site amenities, such as a new dog park, bocce ball court, enclosed tot-lot, and a new BBQ courtyard. The applicant is proposing to remove the smaller secondary pool from the site and replace it with a courtyard, BBQ area, and covered trellis. The applicant has submitted a preliminary landscape plan, which is included with the project plans. The project plans are included in Attachment B. The applicant is proposing a comprehensive update of the site landscaping, which initially included the removal of 62 heritage trees. The original request included 12 heritage tree removals due to construction impacts and 50 heritage tree removals due to the existing health and/or structure of the trees. The applicant submitted an arborist report that inventories the approximately 459 heritage and non-heritage trees on site and documents the size, heritage status, and tree condition. The report also provided comments and recommendations and identified if the tree was proposed to be removed. The report also included tree protection measures to mitigate potential impacts to the protected trees during construction. The City's contracting arborist, Fujitrees Consulting, reviewed the applicant's arborist report and preliminary tree removal requests. The City's consulting arborist determined that the heritage tree removal requests were warranted, with the exception of three heritage trees. The City arborist also reviewed the consulting arborist's report. The applicant subsequently reevaluated the three tree removals and determined that the three trees could be retained as part of the project. Therefore, the applicant requested 62 heritage tree removals instead of the preliminary request for 65 tree removals, as part of the CDP amendment. The City's consulting arborist initial review and the project arborist initial tree inventory are available at the City offices for review. The original 62 heritage tree removals are summarized in the following table, based on the reason for the removal request and tree type:

ORIGINAL PROPOSAL (NOVEMBER 2013)			
Construction Related Heritage Tree Removals		Structural/Health Related Heritage Tree Removals	
<i>Tree Type (Common Name)</i>	<i>Number of Trees</i>	<i>Tree Type (Common Name)</i>	<i>Number of Trees</i>
Chinese Elm	1	Acacia	2
Cottonwood Poplar	3	Evergreen Pear	2
Gum Tree	1	Gum Tree	2
Juniper	1	Monterey Pine	20
Monterey Pine	1	Red Gum Tree	2
Tulip Tree	5	Red Ironbark	6
<i>Intentionally left blank</i>		Shamel Ash	6
		Silver Dollar Eucalyptus	9
		Tulip Tree	1
Total Construction Related Tree Removals	12	Total Structural/Health Related Tree Removals	50

As part of its continuance, the Planning Commission requested that the applicant reevaluate the proposed heritage tree removals in order to limit the number of heritage tree removals as part of the project. The project arborist subsequently reviewed the proposed removals and determined that 23 additional trees could be preserved, provided mitigation measures identified in the reevaluation report (Attachment I) are followed as part of the project. Of these 23 trees, 17 are in fair condition and six are in poor condition, according to the project arborist. A recurring mitigation for these trees would be pruning to reduce branch end-weight. In addition, the project arborist determined that three heritage trees could be negatively impacted from the proposed fire line, required by the Menlo Park Fire District as part of the project. Therefore, the applicant has revised its request to remove 42 heritage trees, a 20 tree reduction from the initial request of 62 heritage tree removals. The 23 heritage trees proposed to remain and the three additional tree removals are summarized in the table below:

Reevaluated Trees to Remain		Additional Trees to be Removed for New Fire Line	
<i>Tree Type (Common Name)</i>	<i>Number of Trees</i>	<i>Tree Type (Common Name)</i>	<i>Number of Trees</i>
Monterey Pine	9	Blue Oak	1
Red Gum	2	Sycamore	1
Red Ironbark	2	Monterey Pine	1
Eucalyptus	6	<i>This portion intentionally left blank</i>	
Shamel Ash	1		
Cottonwood	3		
Total Trees Preserved	23	Total New Tree Removals	3

The project arborist's reevaluation provided more detailed information regarding the reasons for removal for 21 of the 31 non-construction related removals. In addition, the construction related removals, even with the additional three removals for the fire line installation, have been reduced to 11 trees. Therefore, the revised project contains 11 heritage tree removals due to construction and 31 heritage trees removals due to health/structure, for a total of 42 trees. The applicant has placed ribbons on the proposed tree removals, as well as the preserved trees for the Commission's review. Orange ribbons indicate heritage trees proposed to be removed due to construction, yellow ribbons indicate heritage trees proposed to be removed due to the existing health/structure of the trees, and green ribbons indicate heritage trees proposed to be maintained as part of the comprehensive heritage tree removal reevaluation. (The Commission was notified of the ribbons ahead of the publication of the staff report.) The following table summarizes the revised heritage tree removals, based on the reason for the removal request and tree type:

CURRENT PROPOSAL (FEBRUARY 2014)			
Construction Related Heritage Tree Removals		Structural/Health Related Heritage Tree Removals	
<i>Tree Type (Common Name)</i>	<i>Number of Trees</i>	<i>Tree Type (Common Name)</i>	<i>Number of Trees</i>
Chinese Elm	1	Acacia	2
Juniper	1	Evergreen Pear	2
Monterey Pine	2	Gum Tree	2
Sycamore	1	Monterey Pine	11
Tulip Tree	5	Red Gum Tree	1
Valley Oak	1	Red Ironbark	4
<i>Intentionally left blank</i>		Shamel Ash	5
		Silver Dollar Eucalyptus	3
		Tulip Tree	1
Total Construction Related Tree Removals	11	Total Structural/Health Related Tree Removals	31

The City's consulting arborist, Fujiitrees Consulting, reviewed the project arborist's proposed revised tree removals and revised arborist report and provided comments on the tree protection measures, which have been incorporated into the revised arborist report and tree inventory (Attachment J). The revised tree inventory lists the proposed heritage tree removals based on health/structure and construction, the reevaluated heritage tree removals that will be preserved, and non-heritage tree removals. Fujiitrees consulting provided a comment letter on the applicant's revised tree removals and arborist report (Attachment K).

The applicant is proposing to provide 159 heritage tree replacements, which represents a greater than three-to-one ratio, where a one to one ratio is required. The proposed heritage tree replacements include a combination of valley oak trees, London plane trees, and redwood trees. Additionally, the applicant is proposing trees ranging in size from 24 inch box trees to 84 inch box trees, which exceed the minimum requirement of 15 gallons.

The Environmental Quality Commission (EQC) reviewed the proposed heritage tree removals at its meeting on December 18, 2013. At that meeting, the EQC took public comment and discussed the applicant's proposal, including the reduced number of heritage tree removal requests. The minutes from the EQC meeting are included in Attachment L. The EQC voted 7-0 to recommend the following prior to approval of the project:

1. The applicant reconsider trees that will be removed for building construction by submitting structure designs that preserve trees; and
2. As a condition of the development permit, the project and existing/future property owners must ensure that there are "N" number of heritage trees on the whole

property at all times going forward. The number "N" should be determined to be no less than the current total of heritage trees on the entire site, but also could be set at a higher level or set to increase in future years. A certified arborist must confirm and document the total number and locations of heritage trees on the property and then annually certify that the number of healthy and well maintained heritage trees is equal to or greater than "N." Any new trees planted on the site must be from city approved list going forward. Particular magnificent specimens should be identified and singled out for special protection. In addition, the development permit should include the following:

- a. Property owner should pay for its own oversight and city oversight of this permit requirement; and
- b. Ensure this permit standard holds when the property is sold; and
- c. Failure to maintain the required number of trees or proper maintenance to keep trees healthy, shall result in a 4-to-1 tree replacement in addition to a significant financial penalty (which EQC recommends be used to further the city's heritage tree protection and maintenance program).

The applicant has evaluated additional designs for the leasing office building to determine if any additional heritage trees could be preserved. The applicant determined that the best case scenario would be able to retain two heritage trees. However, the alternate design would result in a one-way driveway entrance from Sharon Park Drive, negatively impact the leasing office's street presence along Sharon Park Drive, and result in the need to construct retaining walls and switchback ramps to meet accessibility requirements for the new building. Therefore, the applicant does not believe the proposed redesign is feasible.

The applicant has also evaluated the feasibility of utilizing the existing heritage tree count as a baseline for the project site. However, utilizing the existing 228 heritage trees for the baseline would require that any heritage tree removals be replaced with heritage size trees. The applicant has reviewed the possibility of replanting the 42 heritage tree removals with heritage trees and determined that replacing the heritage tree removals with heritage trees is not feasible, since larger size trees have a reduced chance of long term survival and lower growth rate than the tree sizes currently proposed for replacements. In addition, heritage size replacement trees would require greater excavation and present logistical problems for equipment associated with the excavation and planting. The applicant also states that heritage size replacement trees would impose a significant financial impact to the project. The applicant also evaluated relocating some of the proposed tree removals, but determined that the long term health of the trees would be limited. The applicant, however, believes that the baseline could be set at the post project heritage tree number (186). The applicant states that they would be able to maintain the 186 post-project heritage trees and would provide an annual report identifying the number of heritage size trees on-site and the individual health of the trees. Staff believes that setting the baseline number for the on-site heritage trees as the post-project number is more feasible. Typically heritage tree removals are required to be replaced at a one-to-one ratio and with a 15-gallon size

tree. The applicant is proposing a greater than three-to-one ratio, as well as significantly larger box-size trees (24 to 84 inches) than required by the City's Heritage Tree Ordinance. Therefore, staff believes that setting the baseline as the number of trees after completion of the project and associated removals is more appropriate. The applicant would be required to provide the City with annual reports documenting that the heritage trees on-site meet or exceed the baseline (186) number. Staff believes that the annual reporting should begin within one year of approval of the CDP. Since heritage tree removals would be done in phases, consistent with the development phasing plan, the baseline would not be reached until completion of the entire project. The draft CDP (Attachment E) contains language requiring the applicant to provide an annual report to the City for review. The CDP also contains penalties for a loss of heritage trees below the baseline number. If the on-site heritage tree count is reduced to below the baseline, the applicant is required to replace the loss of heritage trees at a four-to-one ratio. The increased number of trees would result in an increased cost to the property owner, which represents a financial penalty for failing to maintain the baseline number of heritage trees on-site. The four-to-one replacement ratio is intended to help incentivize the proper maintenance of the baseline number of heritage trees at the site.

While the absolute number of proposed heritage tree removals (42) is large, they represent a small portion of the total trees (approximately 459, including heritage and non-heritage) currently on what is a fairly large 15.6-acre site. In addition, many of the proposed heritage tree removals are Monterey pines (which are susceptible to disease) and eucalyptuses (which some landscape professionals no longer consider recommended trees for this area). Additionally, the applicant has worked with their project arborist to reduce the overall number of heritage tree removals, consistent with the Planning Commission's direction. Given that the site was developed in the 1960s, staff believes that this comprehensive landscaping revision, including the replacement plantings of preferred species at larger sizes, is appropriate. In addition, the proposed baseline number of trees would help maintain the tree canopy at the site.

Correspondence

Staff has not received any items of correspondence on the project since the December 18, 2013 Environmental Quality Commission meeting.

Conclusion

The proposed project would result in a comprehensive architectural refresh of the existing buildings at the site, allow for the construction of an expanded recreation/fitness center for the benefit of tenants at the site, enable the construction of a standalone leasing office, and provide a comprehensive update to the existing landscaping at the site. The proposed project has been reviewed by the applicable departments and found to be in compliance with all applicable city requirements. The majority of the proposed heritage tree removals are related to the exiting health of the trees, and they represent a small proportion of the overall trees on a relatively large site. The project arborist has worked diligently to reevaluate the tree removals and has

reduced the requested number of heritage tree removals. The updated project arborist report contains tree protection and mitigation measures for the existing trees proposed to remain at the site. Replacement plantings of preferred species would be provided at a greater than three-to-one ratio and at greater sizes than required. The applicant would also be required to provide an annual report to document the maintenance of the post-construction baseline number of trees. Additionally, the applicant has worked with Recology to improve trash pick-up at the site. Staff recommends that the Planning Commission recommend approval of the conditional development permit amendment and heritage tree removal permits for the proposed project to the City Council.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDATION

Recommend to the City Council:

1. Adopt a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.
2. Adopt a Resolution approving the Conditional Development Permit amendment for the increase in building coverage at the subject site, in conjunction with the construction of a new leasing office and recreation center building and related site improvements, subject to the requirements of the Conditional Development Permit. (Attachment D)
3. Adopt a Resolution approving the heritage tree removal permits. (Attachment M)

Report prepared by:
Kyle Perata
Associate Planner

Report reviewed by:
Thomas Rogers
Senior Planner

PUBLIC NOTIFICATION

Public notification consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within 300 feet of the boundary of the existing CDP.

ATTACHMENTS

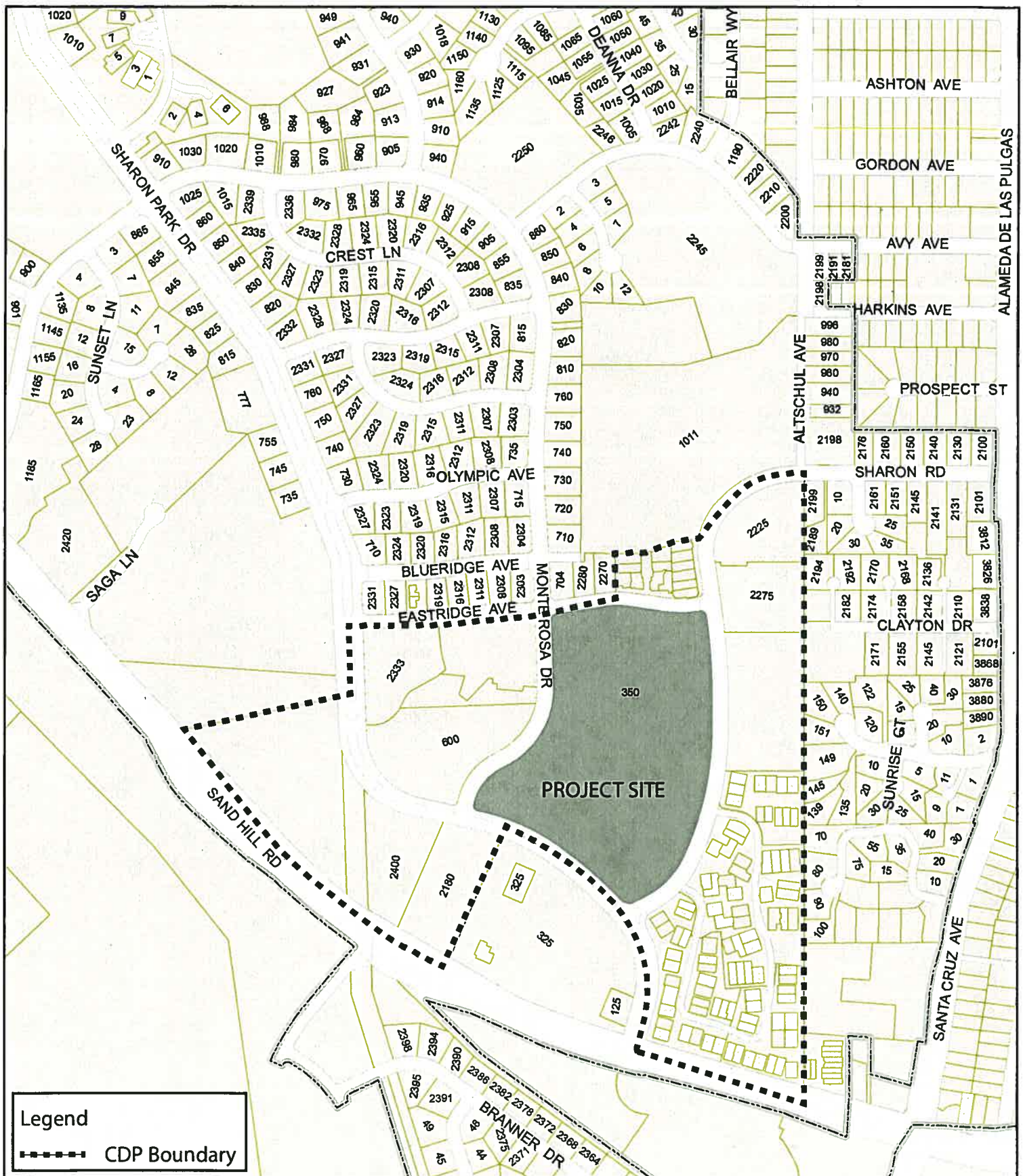
- A. Location Map
- B. Project Plans
- C. Existing CDP, dated approved January 12, 1965
- D. Draft Resolution for CDP Amendment
- E. Draft Conditional Development Permit
- F. Applicant's Response to Planning Commission and Environmental Quality Commission comments
- G. Photographs of Pool Area Existing Conditions
- H. Applicant Project Description
- I. Arborist Reevaluation, prepared by Arborwell, dated December 5, 2013
- J. Arborist Report and Tree inventory, prepared by Arborwell, dated December 10, 2013
- K. Peer Review of Arborist Reevaluation and Arborist Report, prepared by Fujitrees Consulting, dated December 11, 2013
- L. Minutes from the EQC meeting of December, 18, 2013
- M. Draft Resolution for Heritage Tree Removals

Note: Attached are reduced versions of maps and diagrams submitted by the applicant. The accuracy of the information in these drawings is the responsibility of the applicant, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

EXHIBITS TO BE PROVIDED AT MEETING

Color and Materials Board

V:\STAFFRPT\PC\2014\021014 - 350 Sharon Park Drive\021014 - 350 Sharon Park Drive (CDP Amendment) Second Report.doc

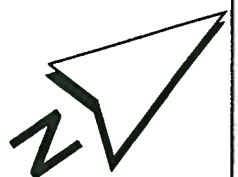


A1

CITY OF MENLO PARK

LOCATION MAP
 350 SHARON PARK DRIVE

DRAWN: KTP CHECKED: KTP DATE: 02/10/14 SCALE: 1" = 900' SHEET: 1



RECEIVED

JAN 27 2014

CITY OF MENLO PARK
BUILDING

SHARON GREEN APARTMENTS

350 SHARON PARK DRIVE
MENLO PARK, CA

PLANNING RESUBMITTAL SEPTEMBER 5, 2013



bre
Be here. Be home.

BDE
ARCHITECTURE

B1

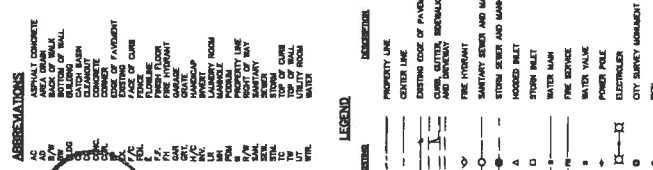


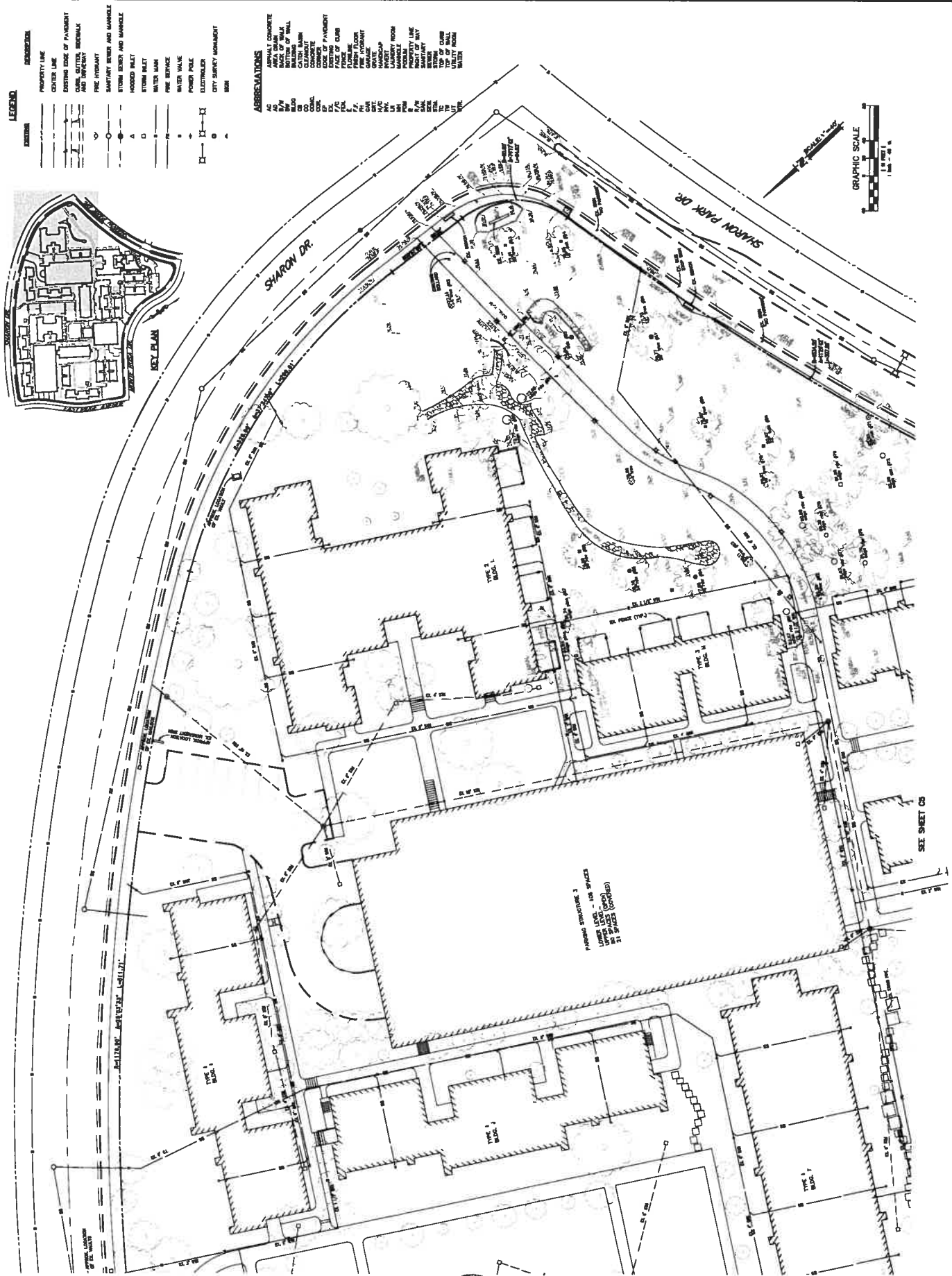
ABBREVIATIONS 3

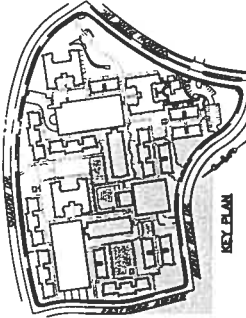
GENERAL CONDITIONS/NOTES	5
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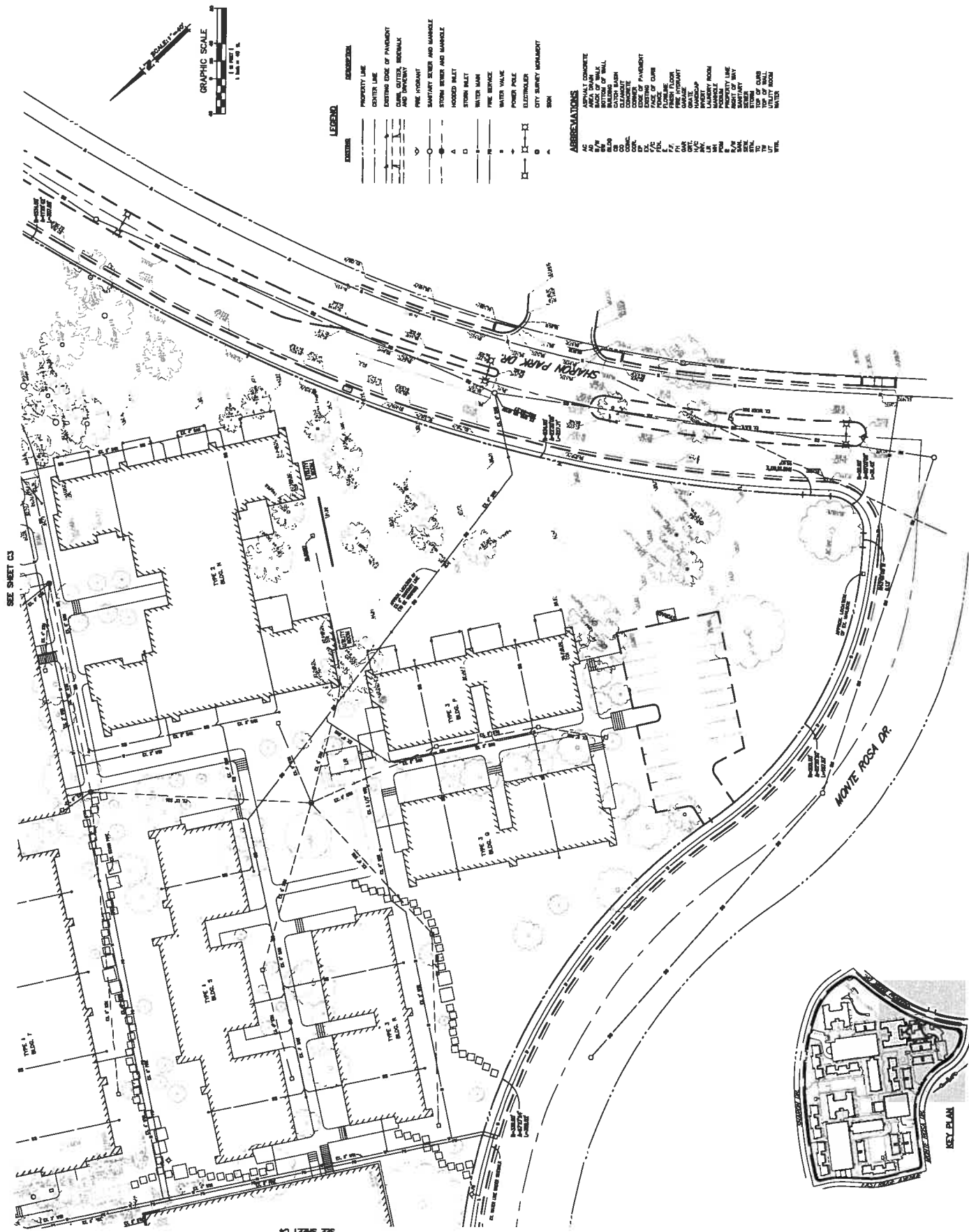


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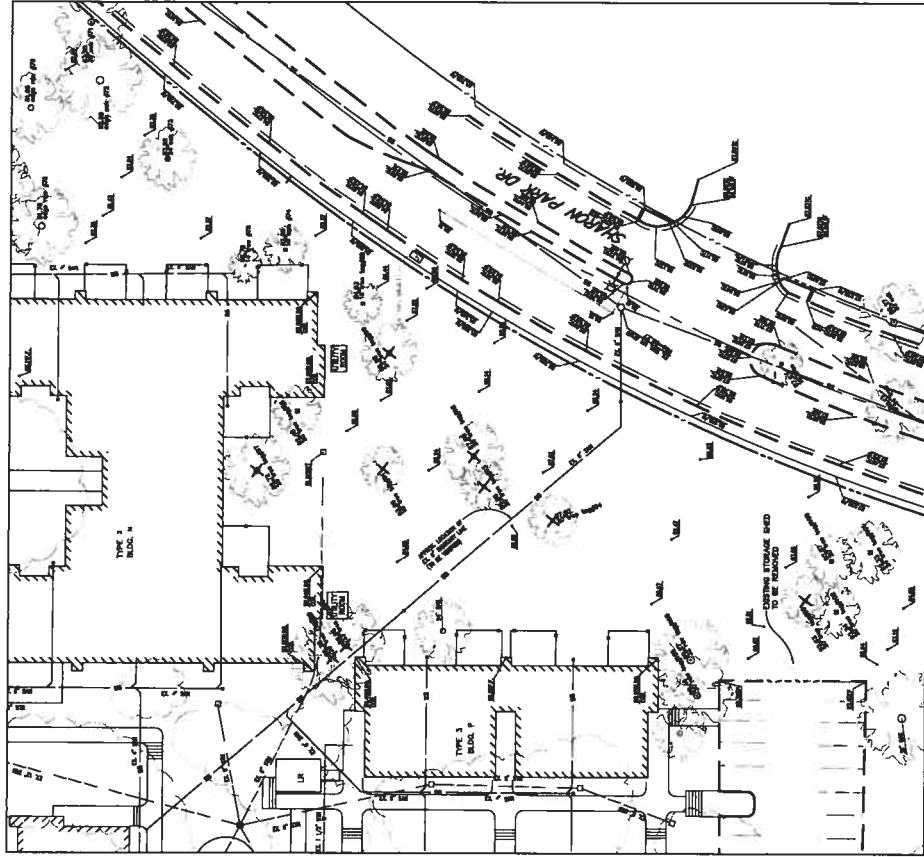




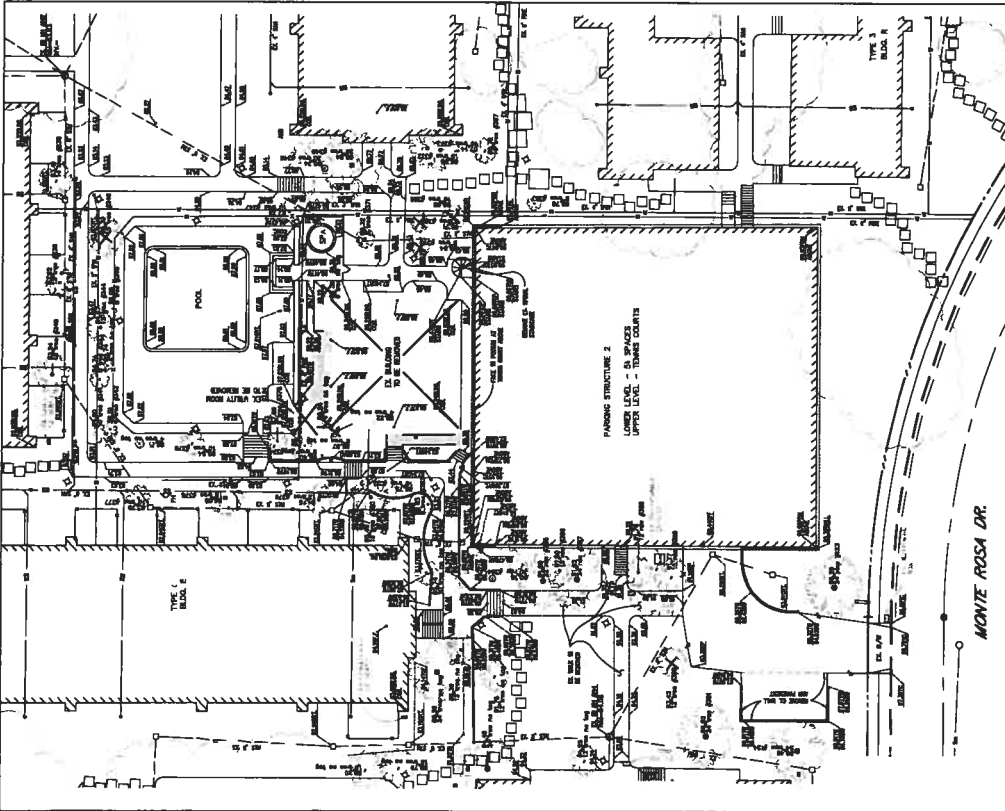




137



LEASING CENTER SITE

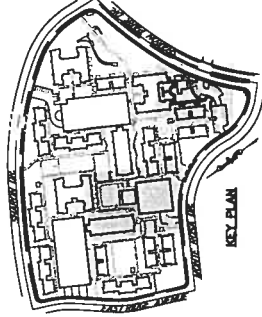


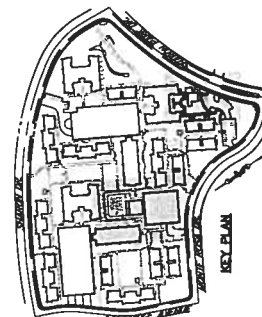
RECREATION CENTER SITE

- NOTES**
1. ALL EXISTING STRUCTURES TO BE DEMOLISHED SHALL BE REMOVED TO THE FINISHED GRADE.
 2. ALL EXISTING UTILITIES SHALL BE REMOVED TO THE FINISHED GRADE.
 3. ALL EXISTING PAVEMENT SHALL BE REMOVED TO THE FINISHED GRADE.
 4. ALL EXISTING CURBS, GUTTERS, SIDEWALKS & DRIVEWAYS SHALL BE REMOVED TO THE FINISHED GRADE.
 5. ALL EXISTING FENCE, HYDRANT, SANITARY SEWER AND MANHOLE SHALL BE REMOVED TO THE FINISHED GRADE.
 6. ALL EXISTING STORM SEWER AND MANHOLE SHALL BE REMOVED TO THE FINISHED GRADE.
 7. ALL EXISTING STORM INLET SHALL BE REMOVED TO THE FINISHED GRADE.
 8. ALL EXISTING WATER INLET SHALL BE REMOVED TO THE FINISHED GRADE.
 9. ALL EXISTING WATER MAIN SHALL BE REMOVED TO THE FINISHED GRADE.
 10. ALL EXISTING WATER VALVE SHALL BE REMOVED TO THE FINISHED GRADE.
 11. ALL EXISTING ELECTRICITY SHALL BE REMOVED TO THE FINISHED GRADE.
 12. ALL EXISTING CITY SURVEY MONUMENT SHALL BE REMOVED TO THE FINISHED GRADE.
 13. ALL EXISTING SKIN SHALL BE REMOVED TO THE FINISHED GRADE.
 14. ALL EXISTING TREES TO BE REMOVED SHALL BE REMOVED TO THE FINISHED GRADE.
 15. ALL EXISTING MAINTENANCE TO BE REMOVED SHALL BE REMOVED TO THE FINISHED GRADE.

- LEGEND**
- PROPERTY LINE
 - EXISTING EDGE OF PAVEMENT
 - CURB, GUTTER, SIDEWALK & DRIVEWAY
 - FENCE, HYDRANT
 - SANITARY SEWER AND MANHOLE
 - STORM SEWER AND MANHOLE
 - STORM INLET
 - WATER INLET
 - WATER MAIN
 - WATER VALVE
 - ELECTRICITY
 - CITY SURVEY MONUMENT
 - SKIN
 - TREES TO BE REMOVED
 - MAINTENANCE TO BE REMOVED

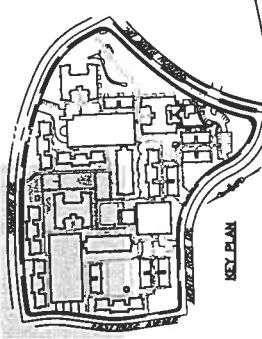
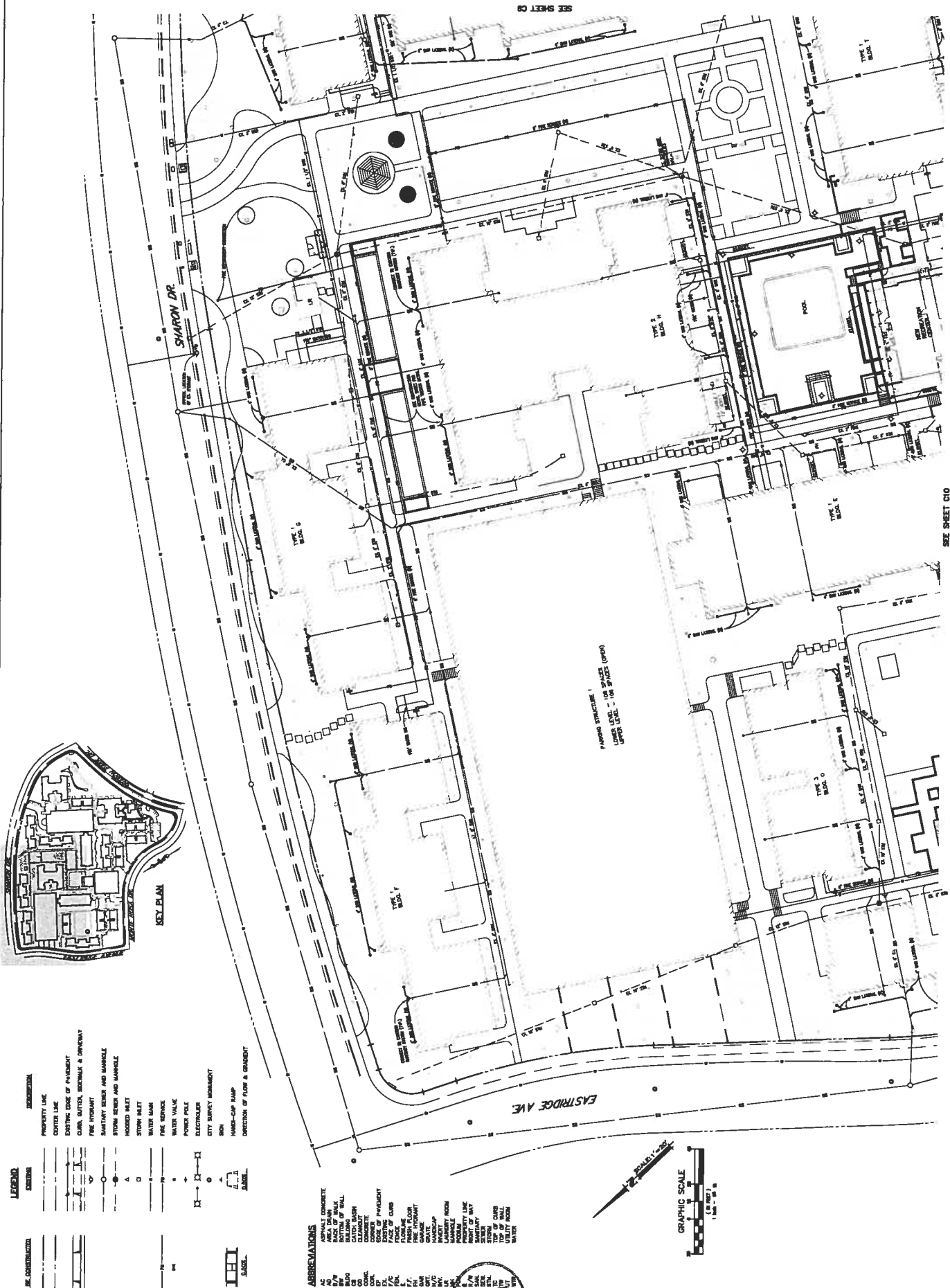
- ABBREVIATIONS**
- AC - AREA UNDER CONCRETE
 - AD - AREA UNDER DRAINAGE
 - AS - AREA UNDER SIDEWALK
 - BA - BACK OF WALL
 - BL - BUILDING
 - CL - CLEARANCE
 - CO - CONCRETE
 - CR - CURB
 - CS - CONCRETE
 - DA - DRAINAGE
 - DE - DECK
 - FL - FLOOR
 - FR - FENCE
 - GA - GUTTER
 - GL - GUTTER
 - GR - GRADE
 - HA - HYDRANT
 - IN - INLET
 - MA - MANHOLE
 - MC - MAIN
 - PM - PAVEMENT
 - PS - PAVEMENT
 - RE - REINFORCEMENT
 - SE - SEWER
 - SM - SKIN
 - ST - STREET
 - TR - TREE
 - UT - UTILITY
 - VA - VALVE
 - WM - WATER MAIN





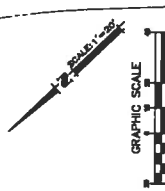
B9

DATE	02/26/00
BY	02/26/00
REVISION	02/26/00
DESCRIPTION	02/26/00
DESIGNED BY	02/26/00
CHECKED BY	02/26/00
APPROVED BY	02/26/00

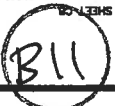


- LEGEND**
- | | |
|--|-----------------------------------|
| | PROPERTY LINE |
| | CENTER LINE |
| | EXISTING EDGE OF PAVEMENT |
| | CURB, GUTTER, SIDEWALK & DRIVEWAY |
| | FIRE HYDRANT |
| | SANITARY SINKER AND MANHOLE |
| | STORM SINKER AND MANHOLE |
| | HOODED INLET |
| | WATER MAIN |
| | FIRE SERVICE |
| | WATER VALVE |
| | POWER POLE |
| | ELECTRICIAN |
| | CITY METER MOUNTING |
| | SIGN |
| | HAND-UP MAP |
| | DIRECTION OF FLOW & GRADIENT |

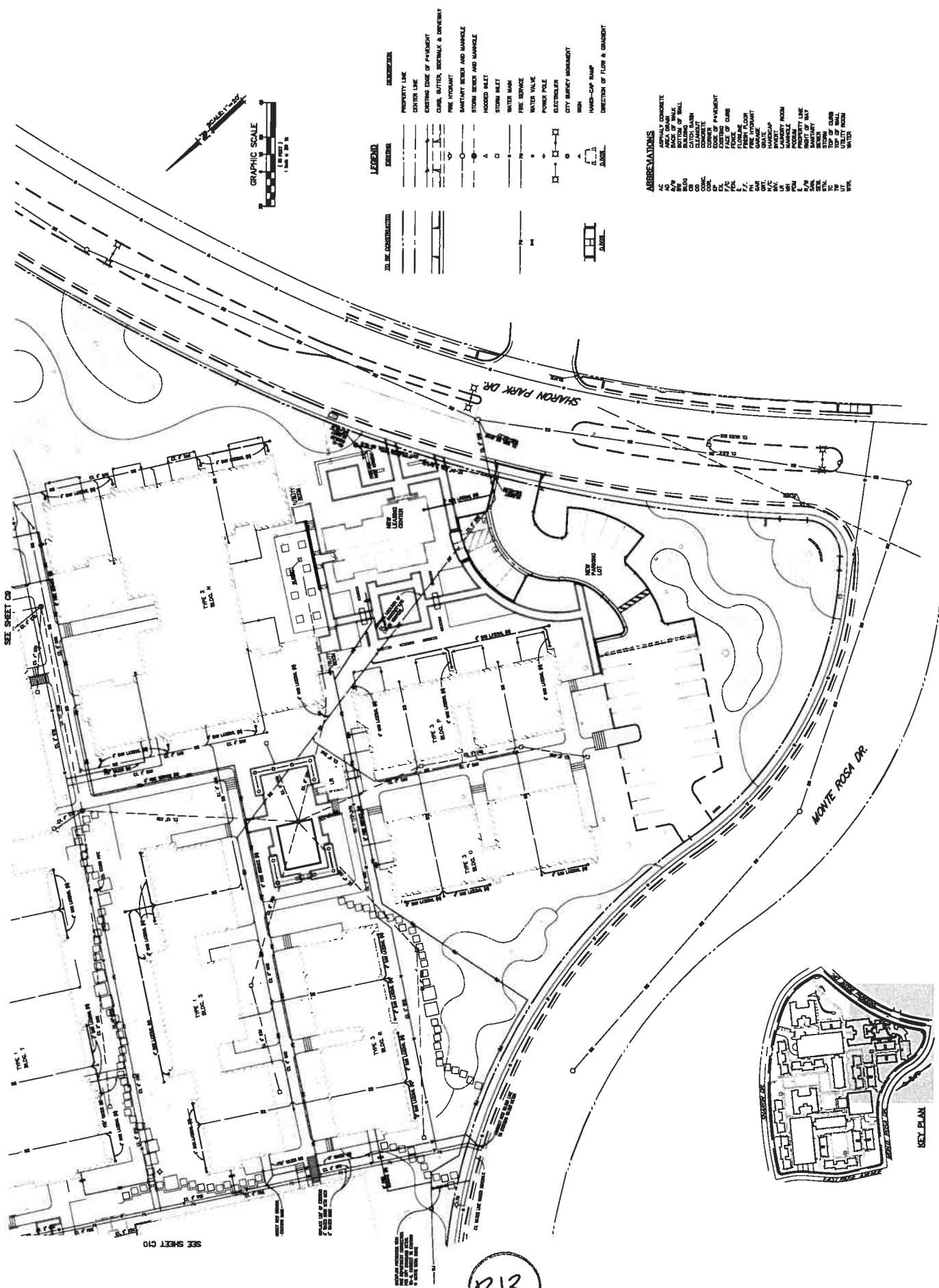
- ABBREVIATIONS**
- | | |
|------|----------------------|
| AC | ASBESTOS CEMENT |
| AG | AREA TO BE GRADUATED |
| AL | ALUMINUM |
| AP | APPROXIMATE |
| AS | ASBESTOS |
| BL | BLACK |
| BLDG | BUILDING |
| BLK | BLACK |
| CD | CLEARANCE |
| CL | CLEAR |
| CLC | CLEARANCE |
| CLD | CLEARANCE |
| CLF | CLEARANCE |
| CLG | CLEARANCE |
| CLH | CLEARANCE |
| CLJ | CLEARANCE |
| CLK | CLEARANCE |
| CLL | CLEARANCE |
| CLM | CLEARANCE |
| CLN | CLEARANCE |
| CLP | CLEARANCE |
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B10

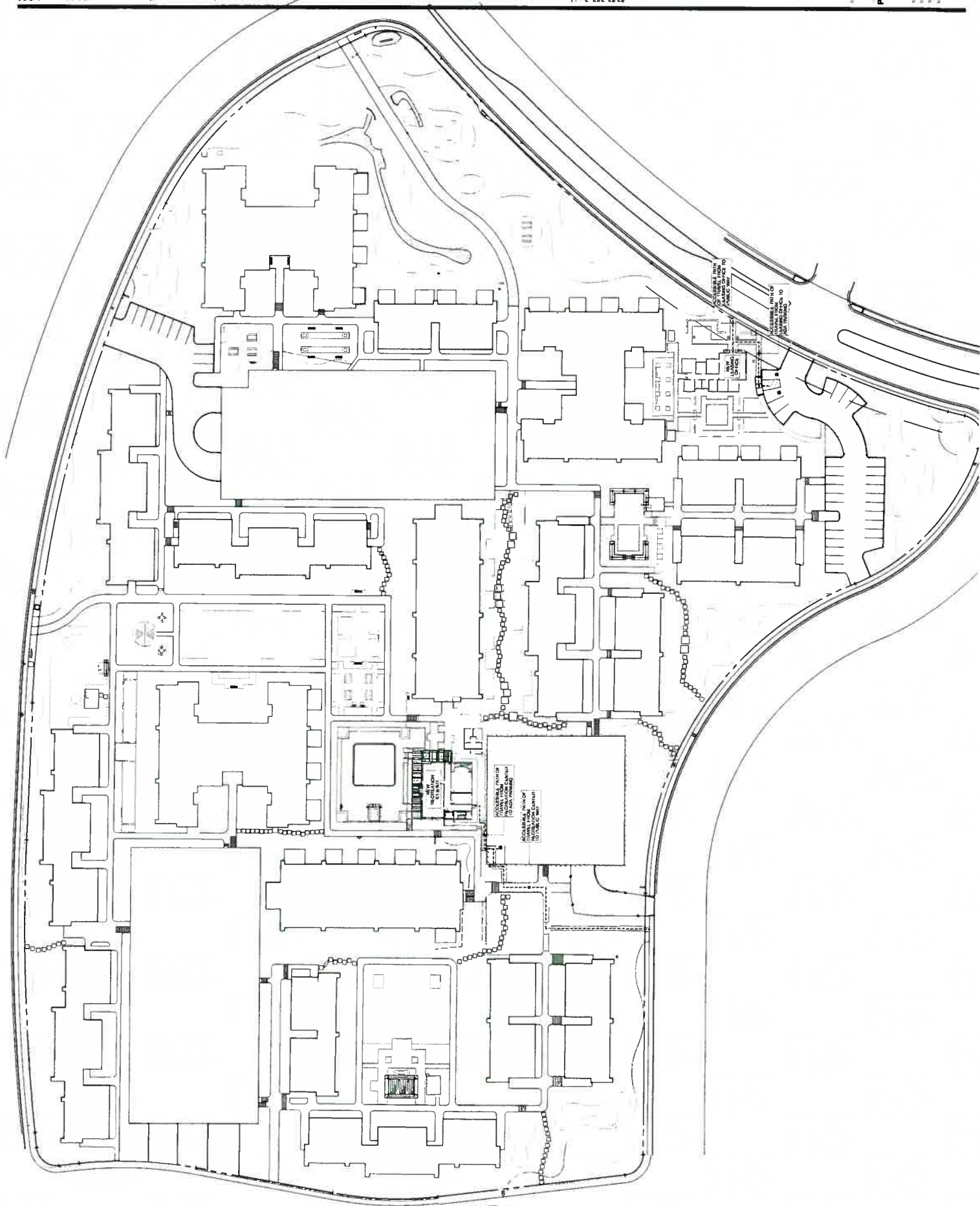






R13



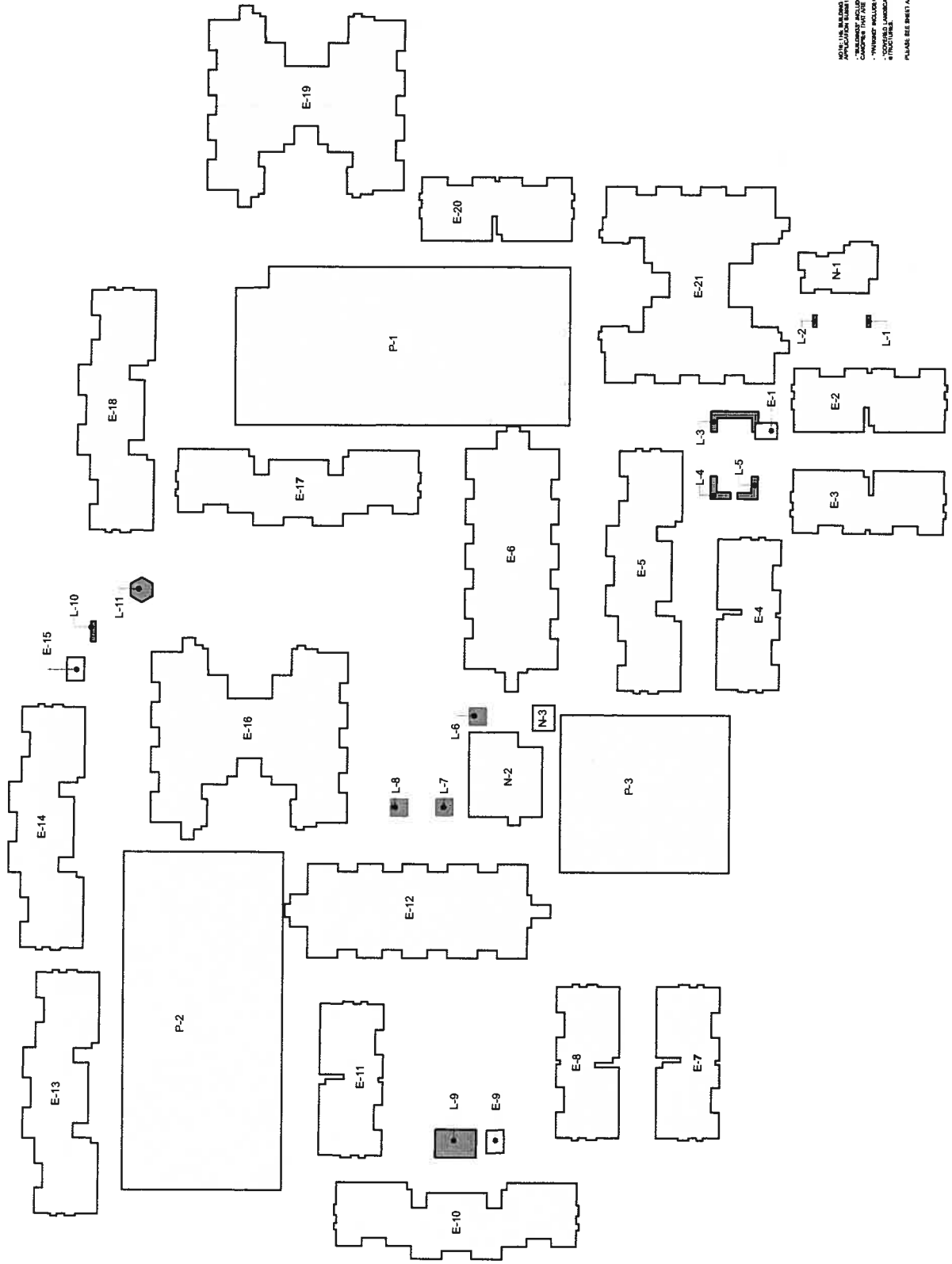


RESTROOM REQUIREMENTS - RECREATION CENTER 3

NOTE: PLEASE REFER TO B-1-1-1 AND 2 FOR THE BUILDING COVERAGE DIAGRAM

1



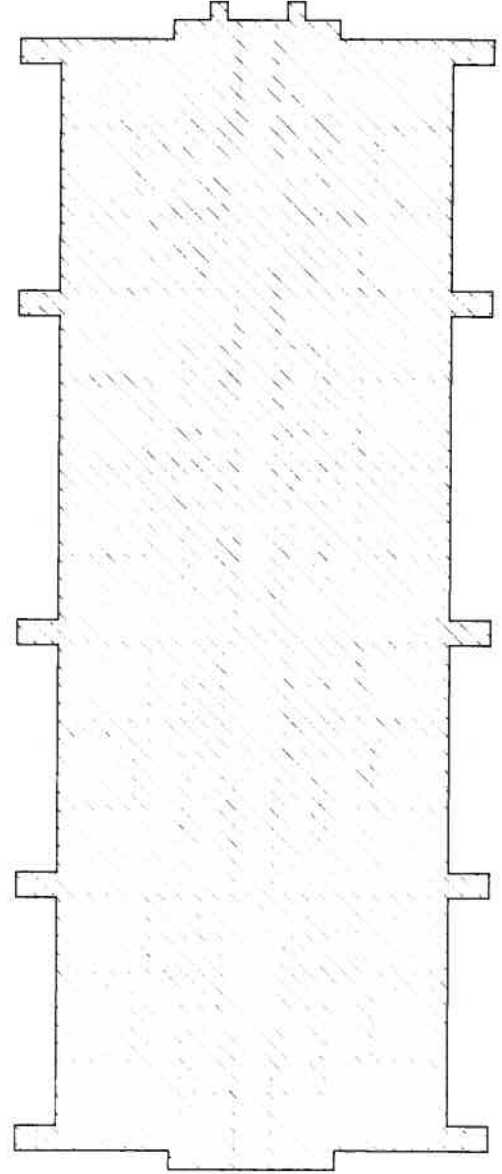


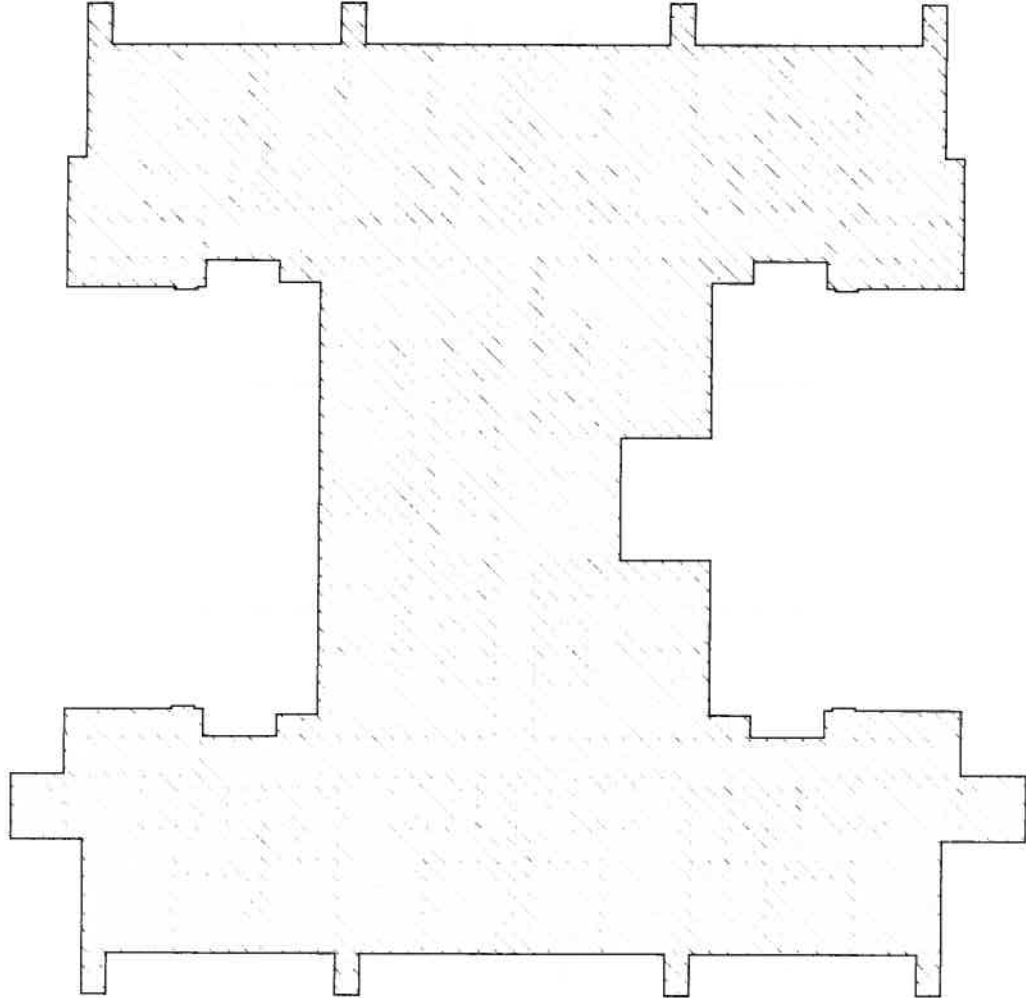
- LEGEND**
- BUILDING
 - COVERED PARKING
 - COVERED LANDSCAPE

NOTES:
1. THIS BUILDING COVERAGE DIAGRAM FOLLOWS THE GUIDELINES IN THE
2. "BUILDING" INCLUDES ANY AND ALL EXISTING BUILDINGS AND ANY TALLER OR
3. "COVERED LANDSCAPE" INCLUDES TALLER CANOPIES AND OVERHEAD
4. "COVERED PARKING" INCLUDES TALLER CANOPIES AND OVERHEAD
5. PLEASE SEE SHEET A0.1 FOR THE BUILDING COVERAGE MAP.



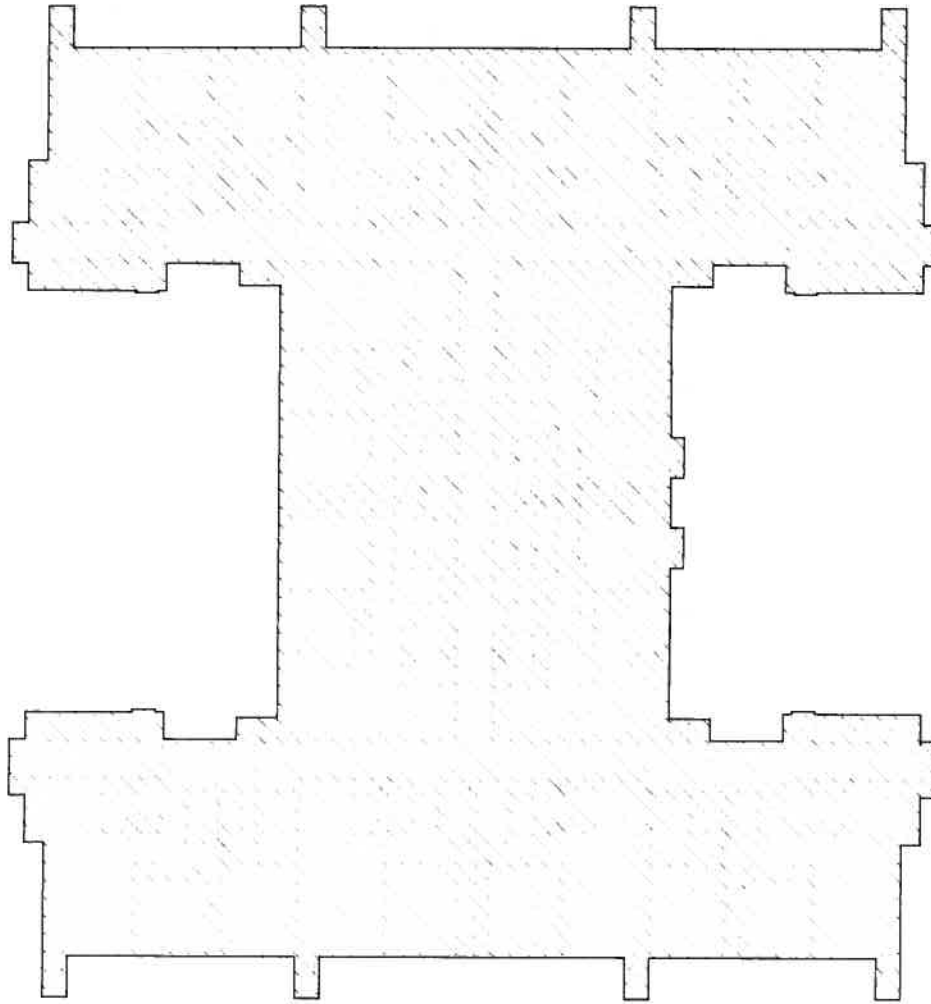
1318





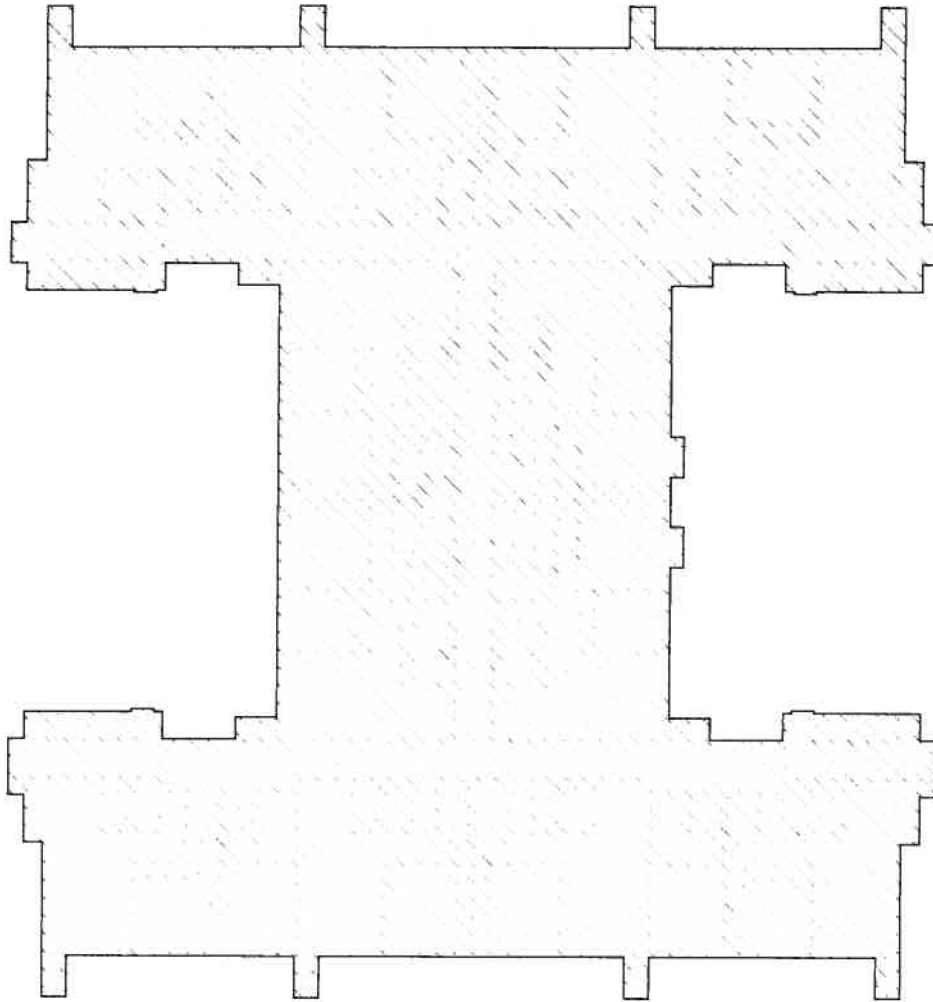
1
FIRST FLOOR AREA DIAGRAM
1" = 1'-0"

B21



**BUILDING 2:
FLOOR AREA
DIAGRAM**
SCALE: 1/8" = 1'-0"





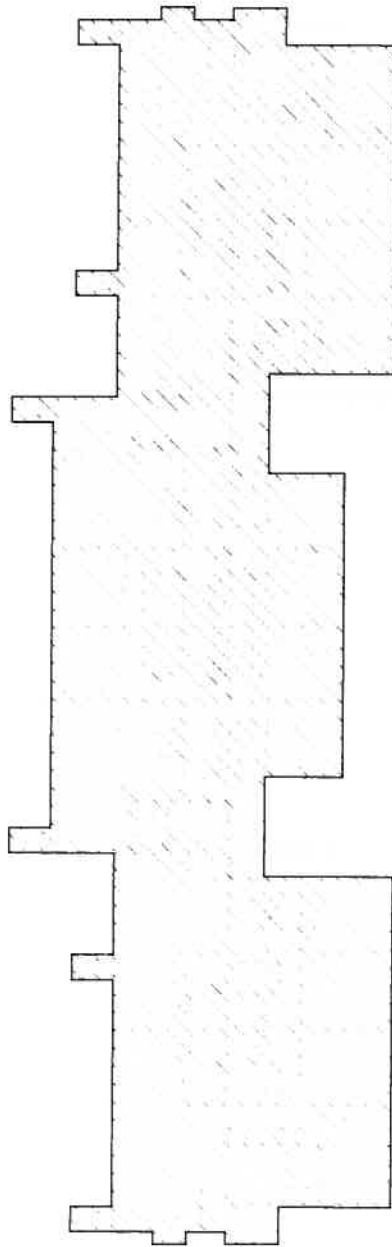
THIRD FLOOR AREA DIAGRAM 1

REFER TO BRISTAQ 1C FOR THE FLOOR AREA CALCULATIONS

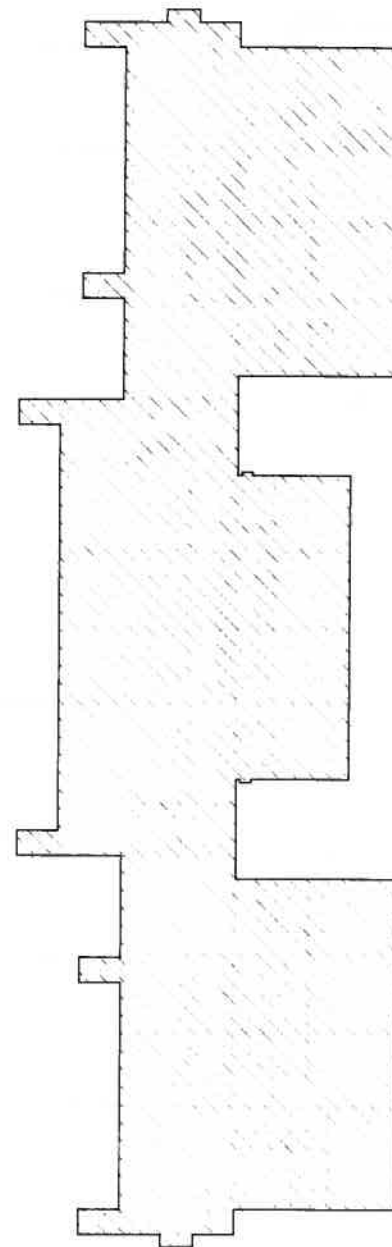
1/8" = 1'-0"



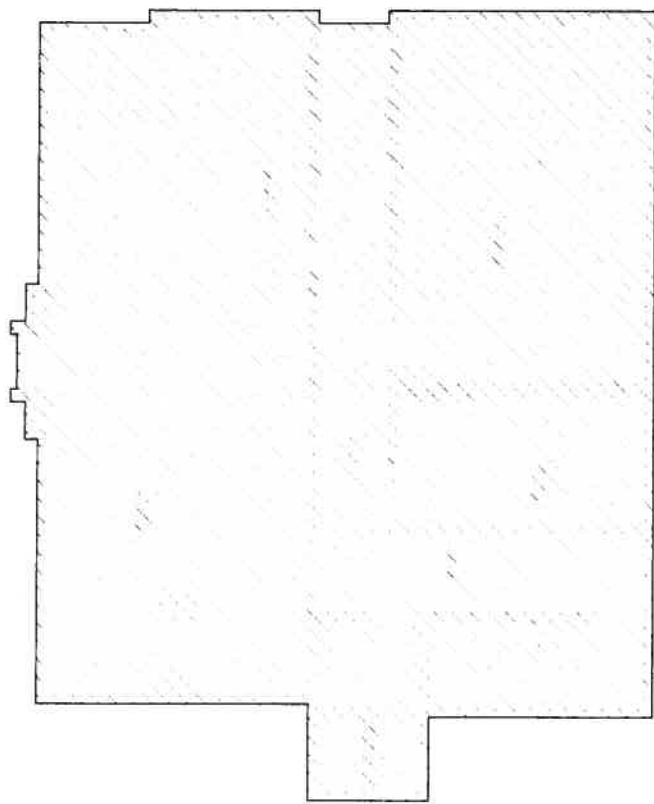
SECOND FLOOR AREA DIAGRAM **2**



FIRST FLOOR AREA DIAGRAM **1**

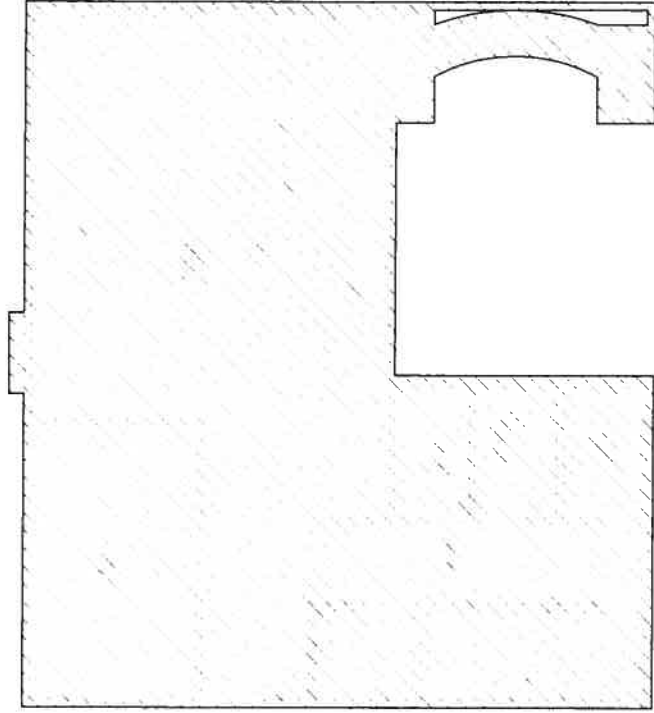


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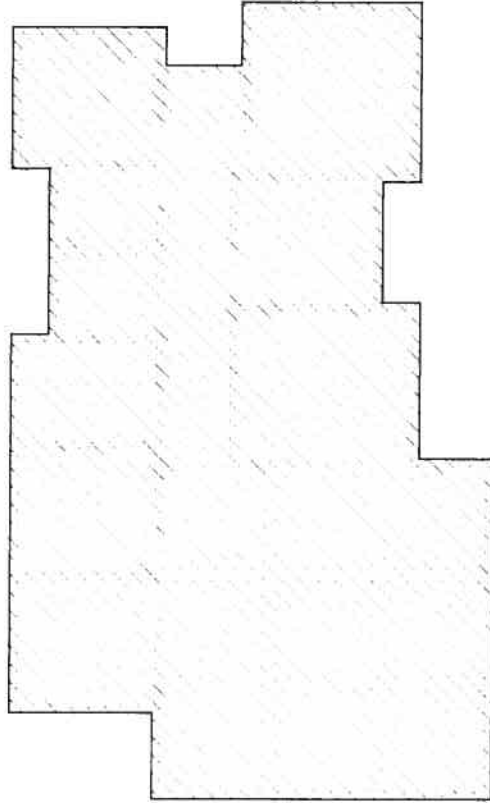
RECREATION CENTER FIRST FLOOR PLAN
AREA DIAGRAM
SCALE: 1/8" = 1'-0"

B26



RECREATION CENTER SECOND FLOOR PLAN
CENTER: FLOOR
AREA DIAGRAM





LEASING OFFICE FLOOR PLAN
INDICATES AREAS FOR FLOOR AREA CALCULATIONS
1/4" = 1'-0"

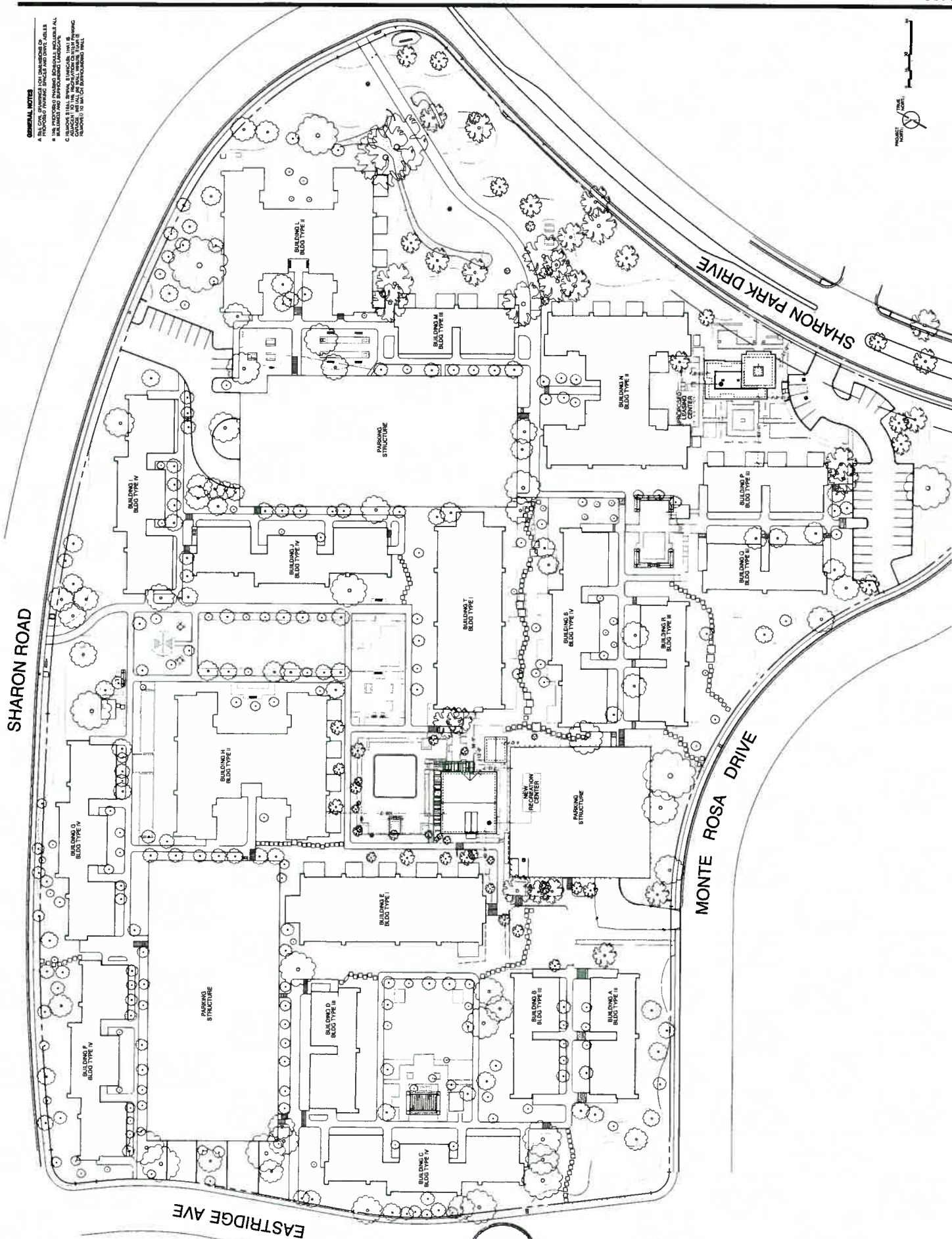


1327

GENERAL NOTES

A compass rose indicating the orientation of the map. It shows 'TRUE NORTH' and 'PROJECT NORTH' with an arrow pointing towards the top right.

SITE PLAN 1

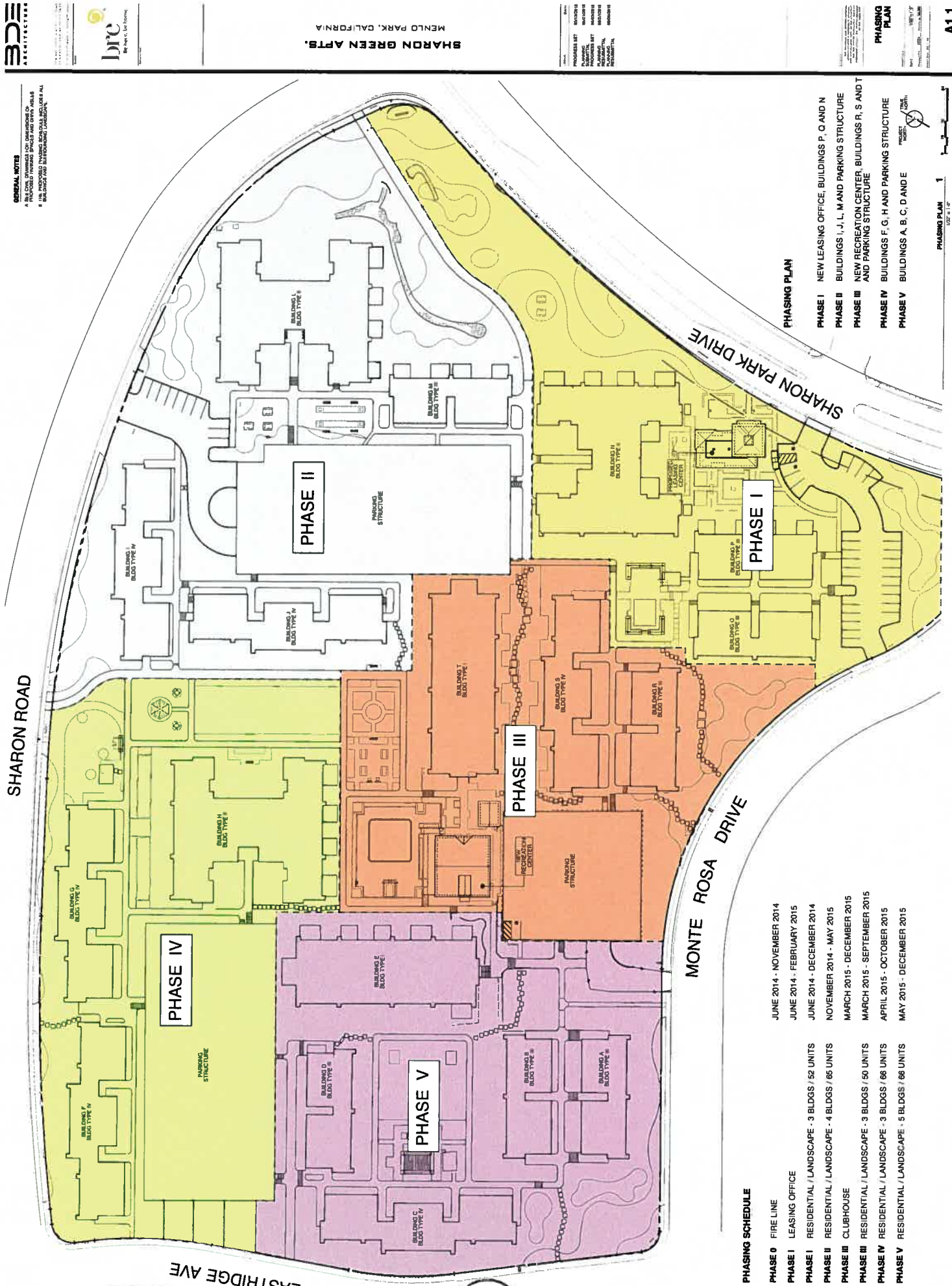


SHARON ROAD

EASTRIDGE AVE

MONTE ROSA DRIVE

SHARON PARK DRIVE



PHASING SCHEDULE

PHASE 0	FIRE LINE	JUNE 2014 - NOVEMBER 2014
PHASE I	LEASING OFFICE	JUNE 2014 - FEBRUARY 2015
PHASE II	RESIDENTIAL / LANDSCAPE - 3 BLDGS / 52 UNITS	JUNE 2014 - DECEMBER 2014
PHASE III	RESIDENTIAL / LANDSCAPE - 4 BLDGS / 65 UNITS	NOVEMBER 2014 - MAY 2015
PHASE IV	CLUBHOUSE	MARCH 2015 - DECEMBER 2015
PHASE V	RESIDENTIAL / LANDSCAPE - 3 BLDGS / 50 UNITS	MARCH 2015 - SEPTEMBER 2015
	RESIDENTIAL / LANDSCAPE - 3 BLDGS / 66 UNITS	APRIL 2015 - OCTOBER 2015
	RESIDENTIAL / LANDSCAPE - 5 BLDGS / 66 UNITS	MAY 2015 - DECEMBER 2015

PHASING PLAN

- PHASE I NEW LEASING OFFICE, BUILDINGS P, Q AND N
- PHASE II BUILDINGS I, J, L, M AND PARKING STRUCTURE
- PHASE III NEW RECREATION CENTER, BUILDINGS R, S AND T AND PARKING STRUCTURE
- PHASE IV BUILDINGS F, G, H AND PARKING STRUCTURE
- PHASE V BUILDINGS A, B, C, D AND E

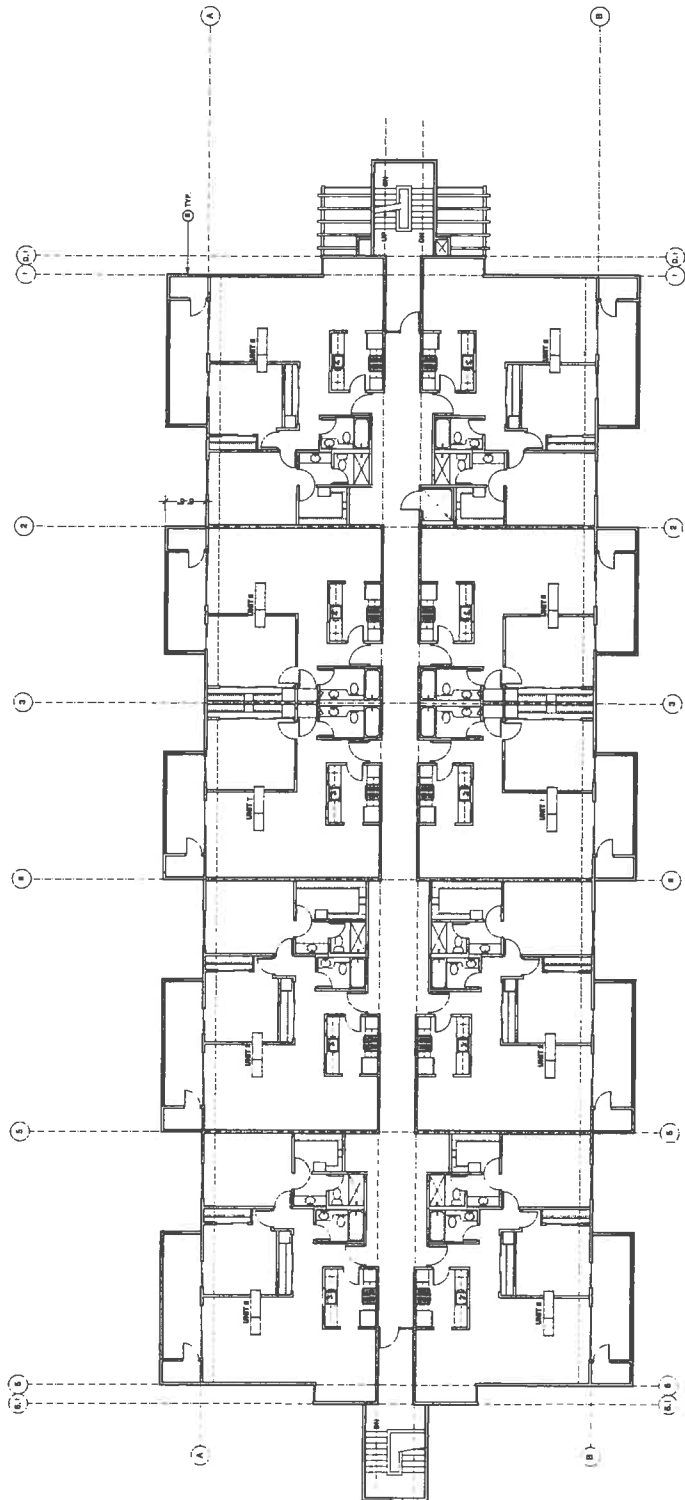


PHASING PLAN
SCALE: 1" = 10'

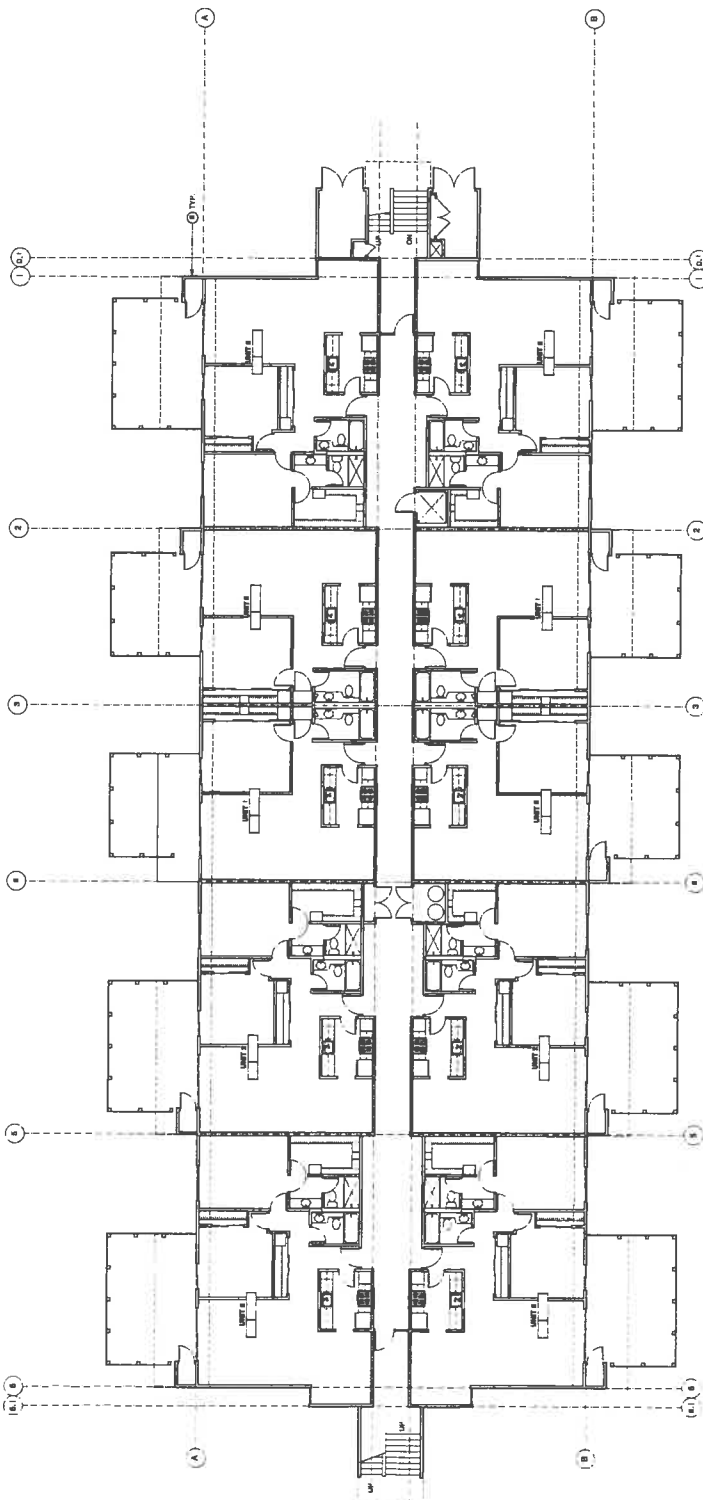
GENERAL MOTION

- [illegible]

SECOND FLOOR (THIRD FLOOR SIMILAR) **2**



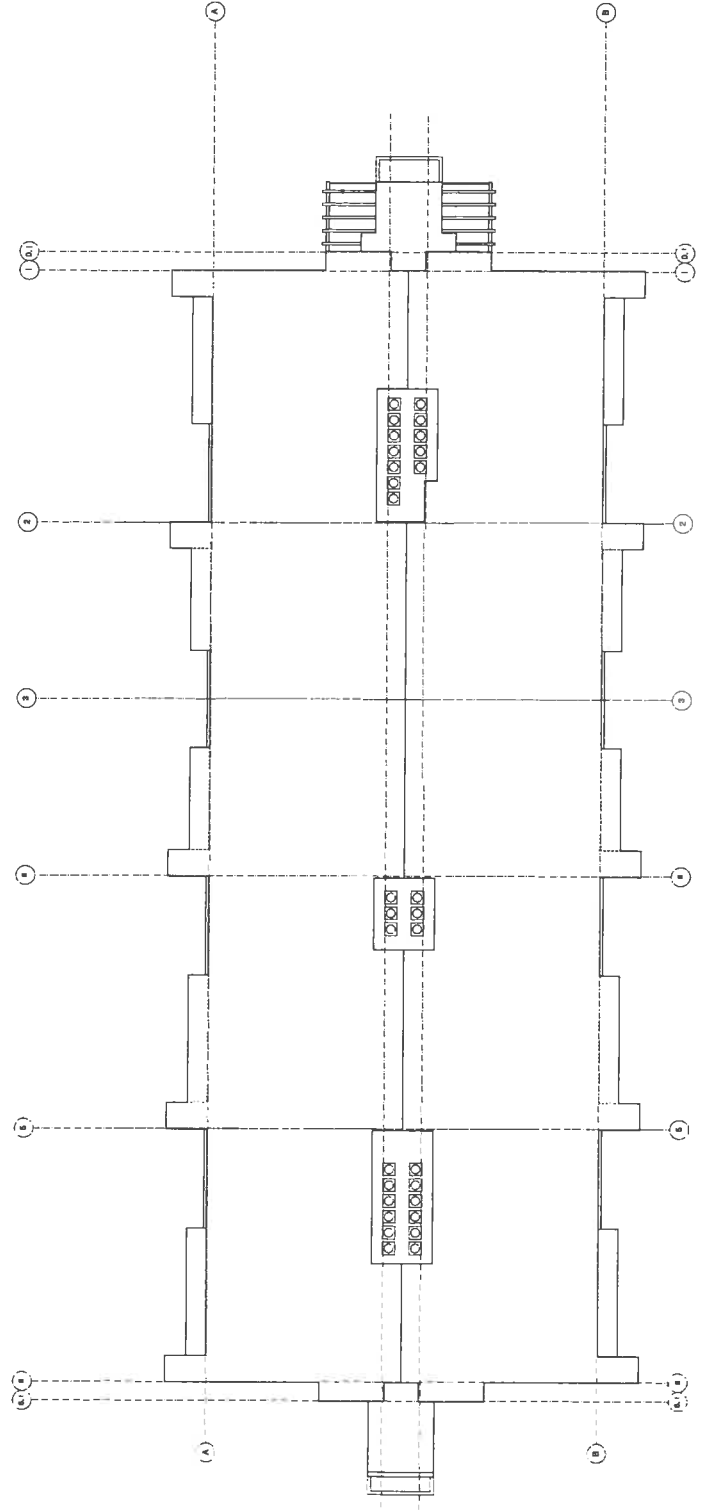
FIRST FLOOR **1**



1330

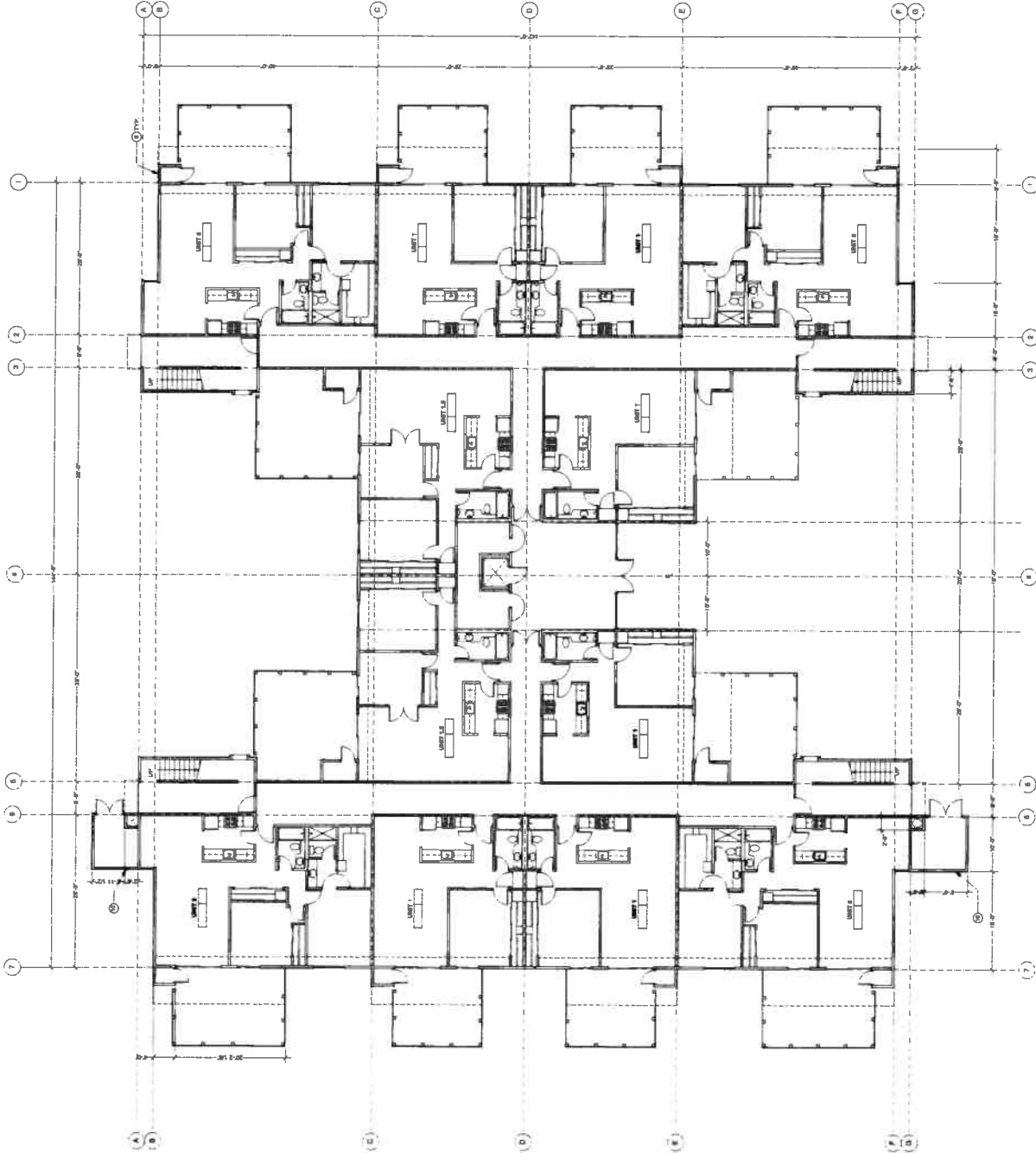
GENERAL NOTES

- A. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- B. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- C. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- D. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- E. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- F. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- G. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- H. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- I. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- J. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- K. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- L. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- M. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- N. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- O. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- P. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- Q. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- R. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- S. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- T. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- U. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- V. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- W. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- X. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- Y. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.
- Z. REMOVE AND REPLACE ROOFING IN ALL AREAS WHERE THE EXISTING ROOFING IS DAMAGED OR WEAR AND TEAR IS EVIDENT.



EXPERIMENTAL METHODS

- [illegible]

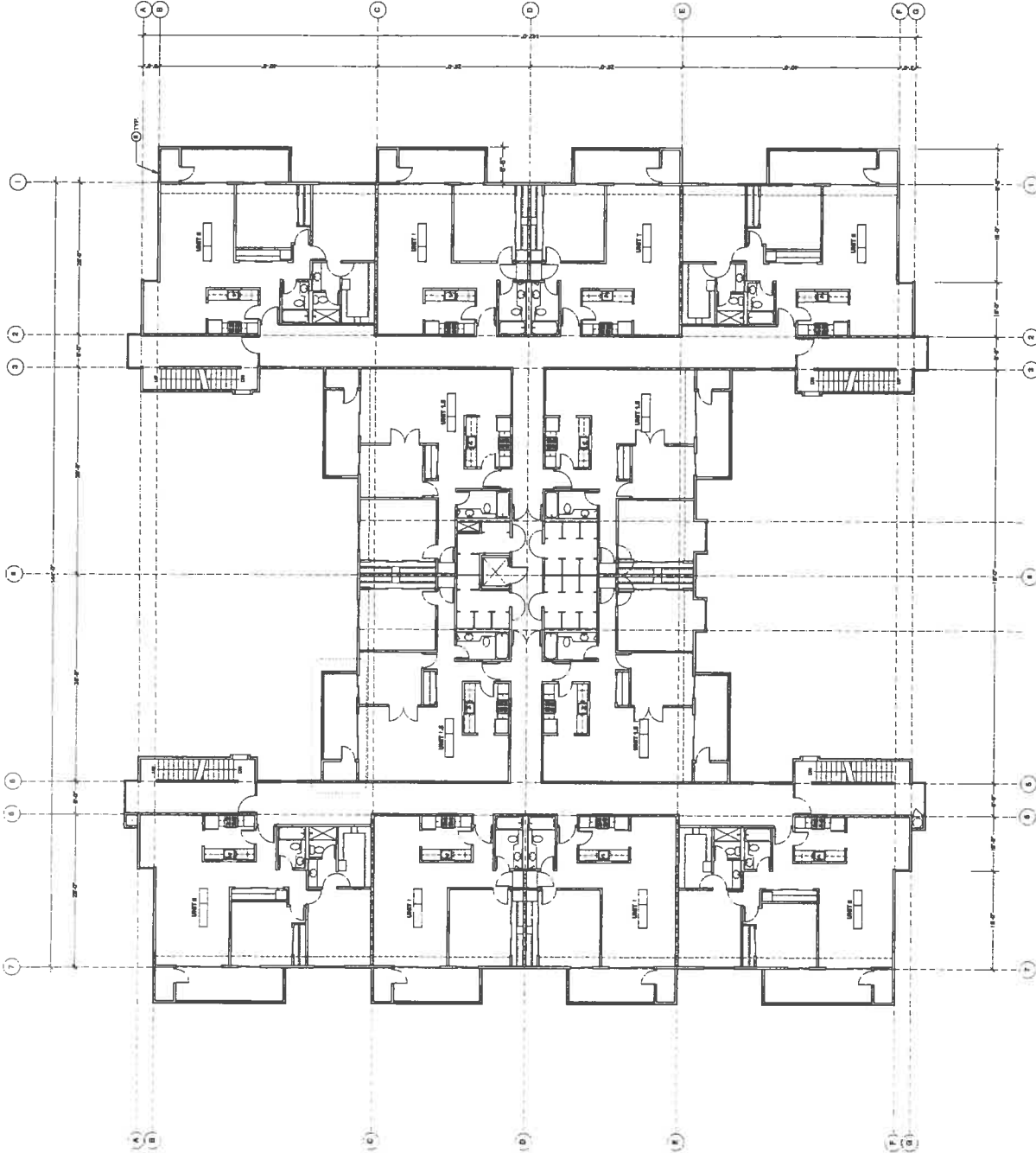


FIRST FLOOR 1
LEVEL 1-07

(B32)

GENERAL NOTES

- [illegible]

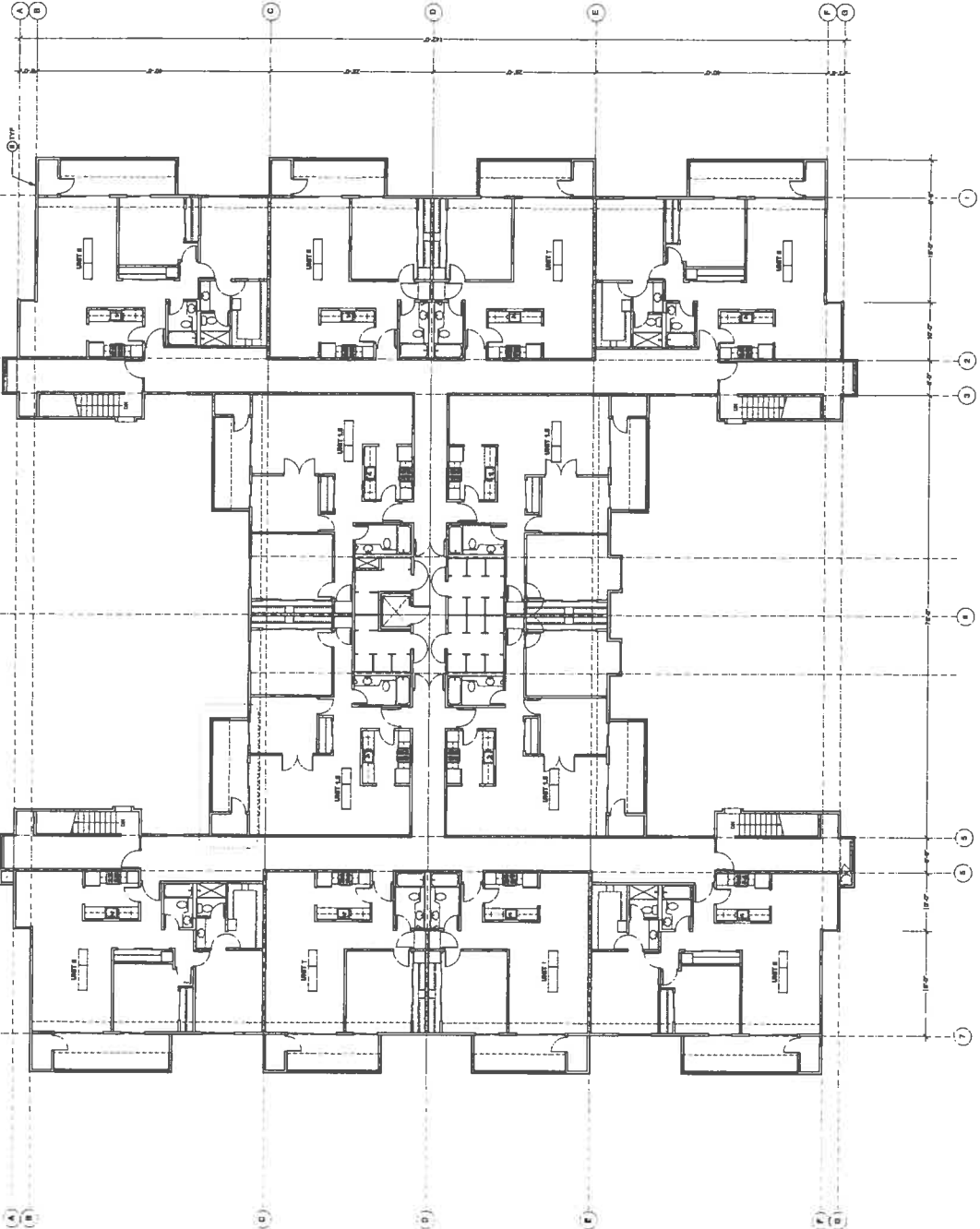


SECOND FLOOR 1
187 - 1/4"

133

GENERAL NOTES

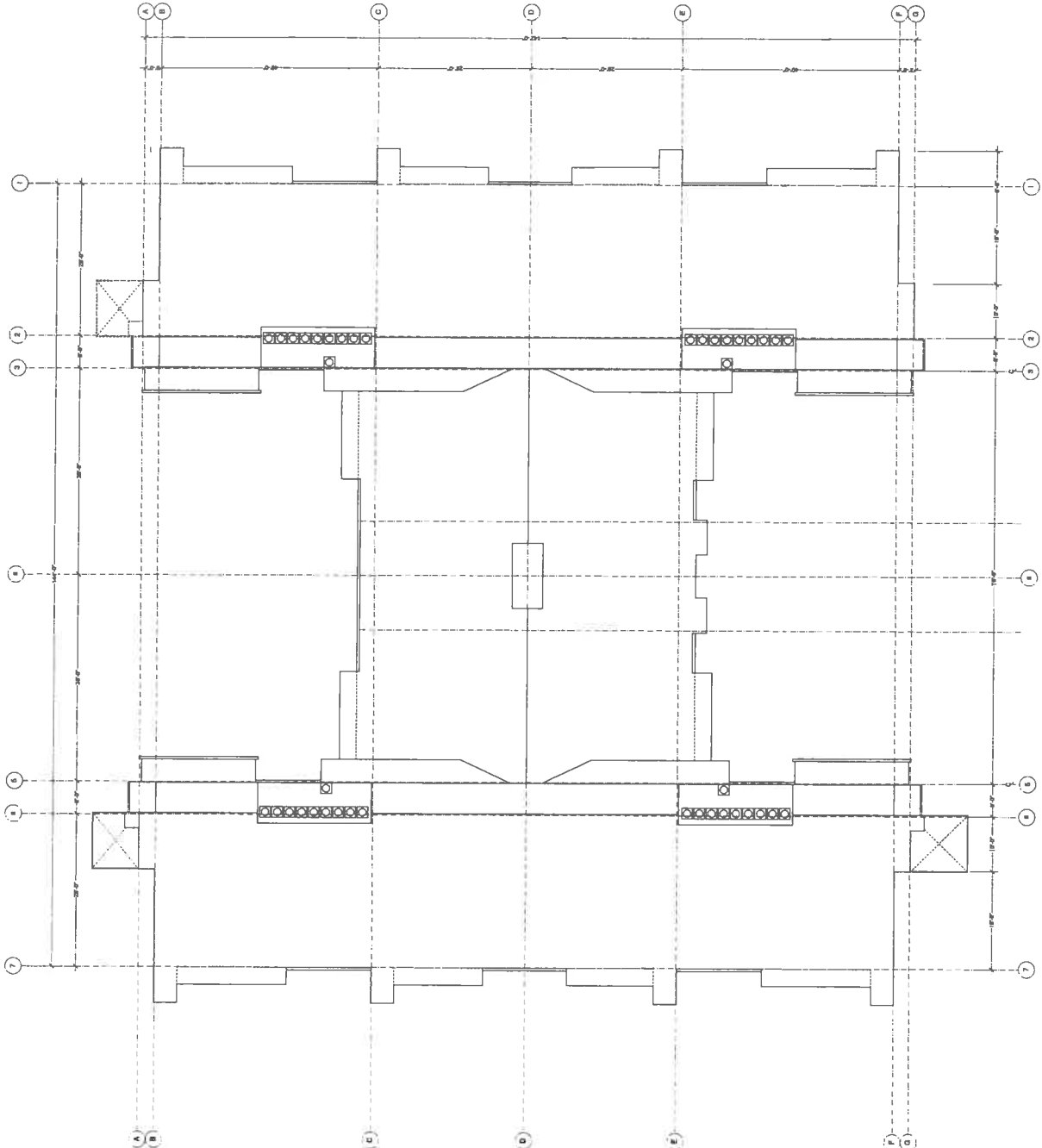
- A REMOVE AND REPLACE ROOF IN AREA OF CONCERN
- B REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- C REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- D REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- E REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- F REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- G REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- H REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- I REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- J REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- K REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- L REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- M REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- N REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- O REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- P REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- Q REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- R REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- S REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- T REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- U REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- V REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- W REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- X REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- Y REPAIR OR REPLACE ROOF IN AREA OF CONCERN
- Z REPAIR OR REPLACE ROOF IN AREA OF CONCERN



THIRD FLOOR 1
10' x 14'

134

ROOF
LIFT = 1.27

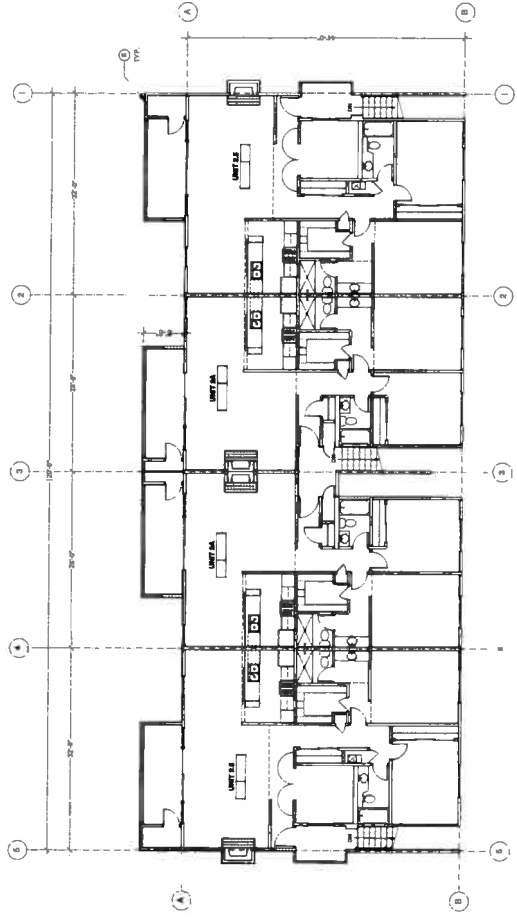


GENERAL NOTES

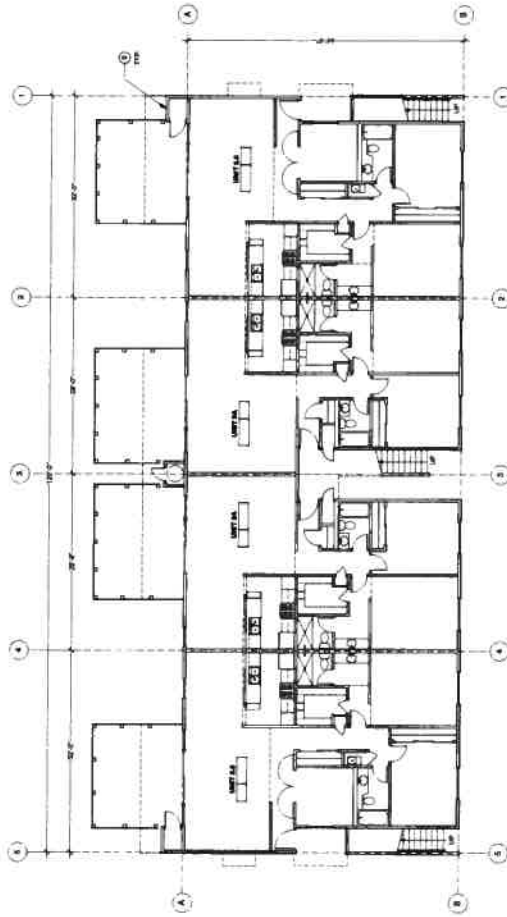
- [illegible]

INTERNATIONAL MOTIONS

- [illegible]



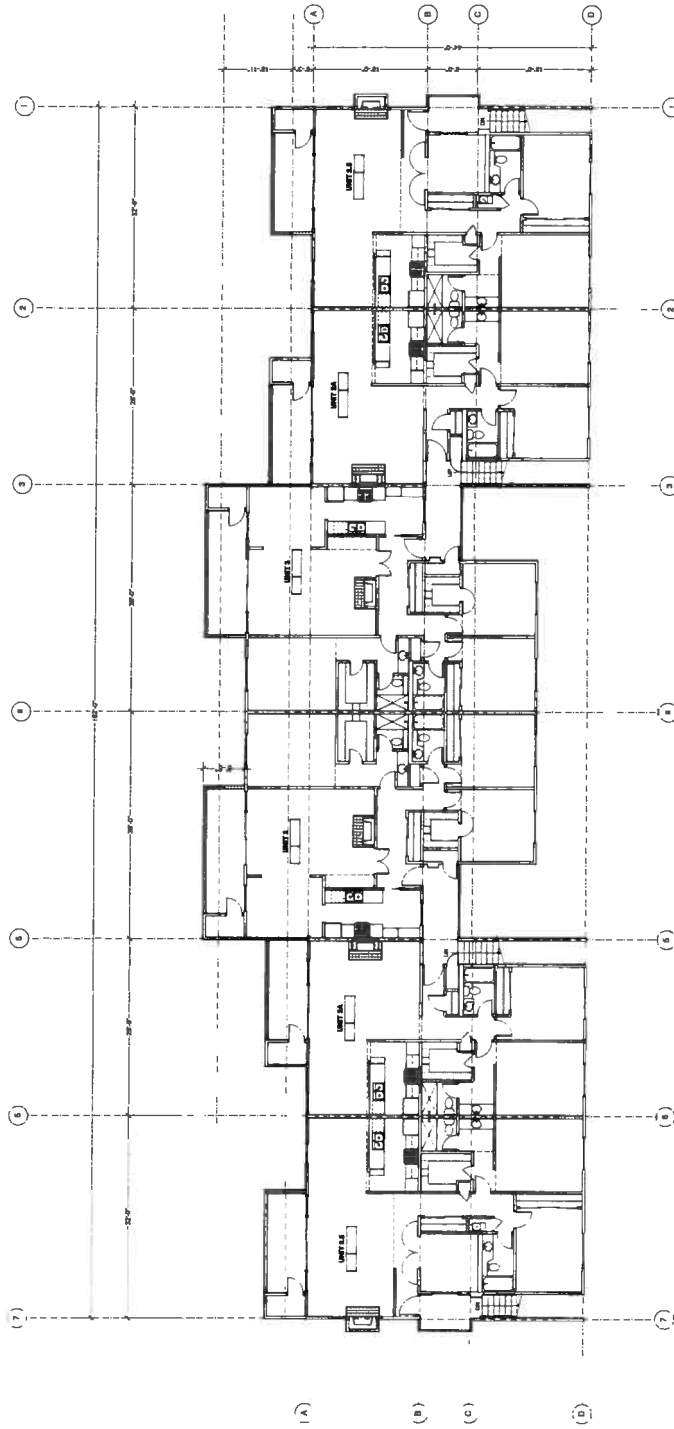
SECOND FLOOR **2**
12' x 11'



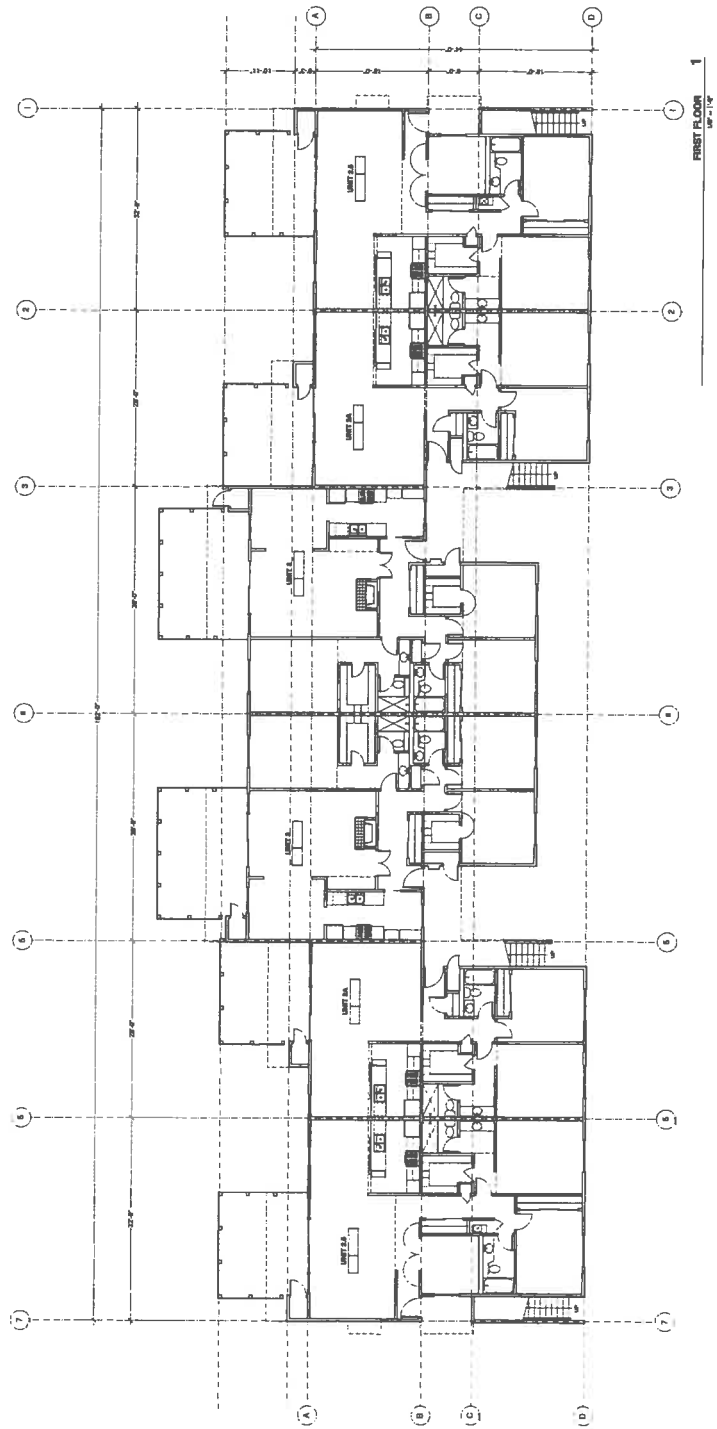
FIRST FLOOR 1
1st = 1st

GENERAL MOTORS

- [illegible]

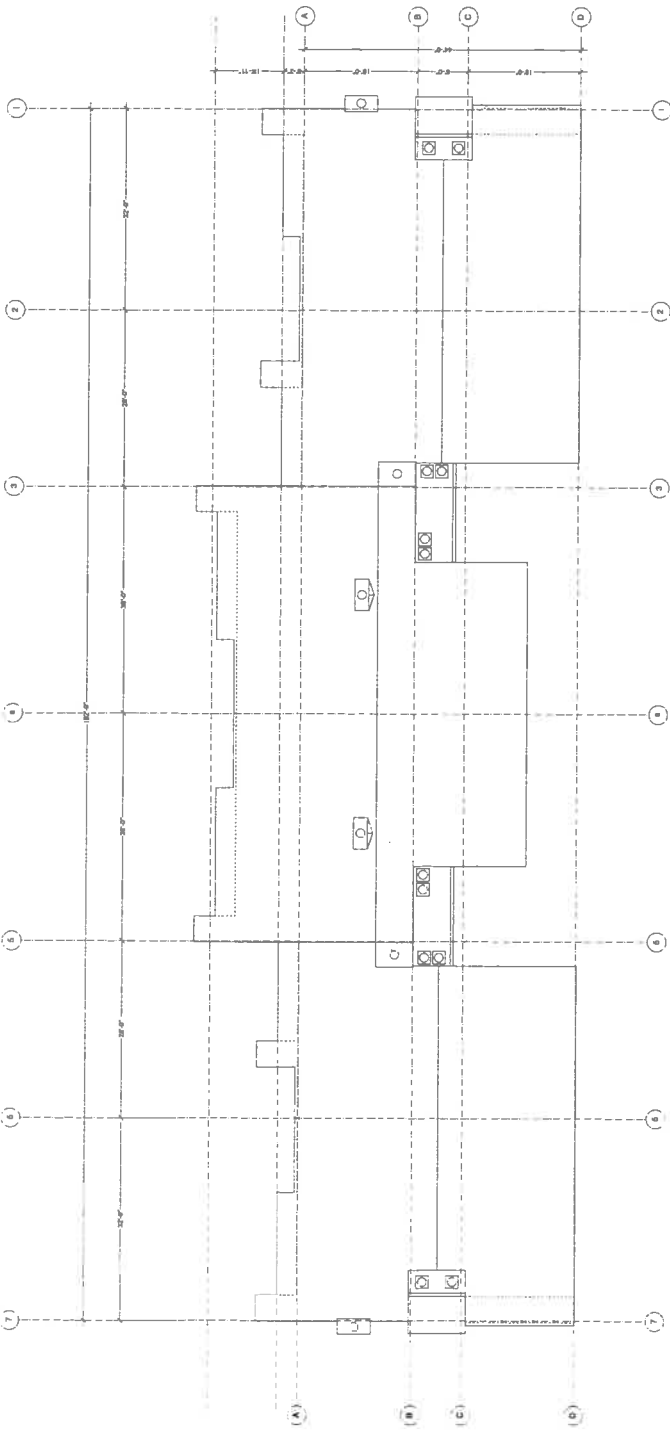


SECOND FLOOR 2



FIRST FLOOR 1
150' x 150'

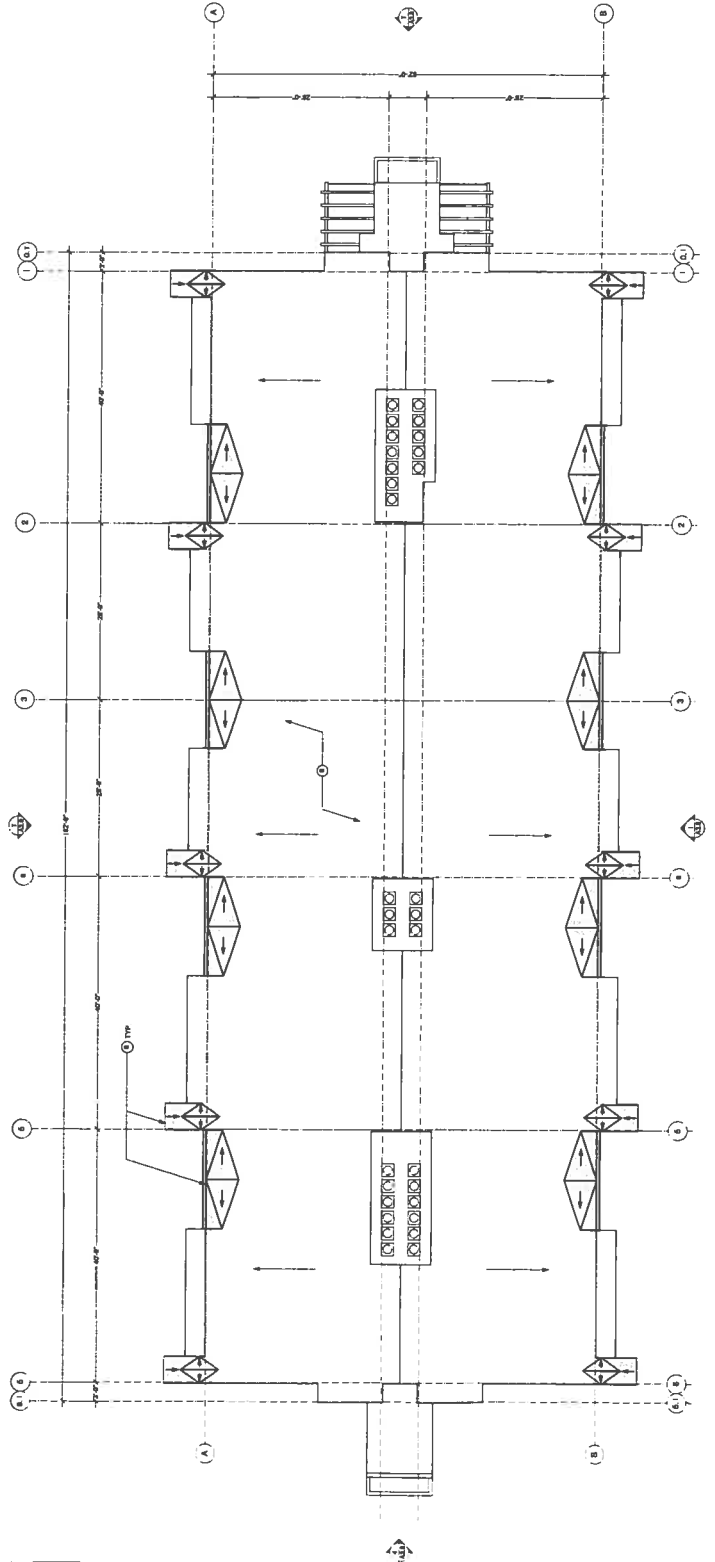
- GENERAL NOTES:**
- A. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - B. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - C. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - D. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - E. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - F. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - G. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - H. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - I. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - J. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - K. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - L. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - M. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - N. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - O. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - P. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - Q. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - R. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - S. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - T. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - U. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - V. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - W. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - X. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - Y. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.
 - Z. REMOVE AND REPLACE 1/2" ROOF IN YEAR 10 AND 20.



ROOF PLAN: BUILDING 4
1/8" = 1'-0"

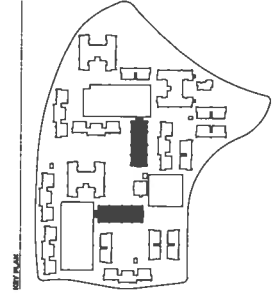
CONCLUSIONS

- [illegible]



100%

ROOF- ADDITION

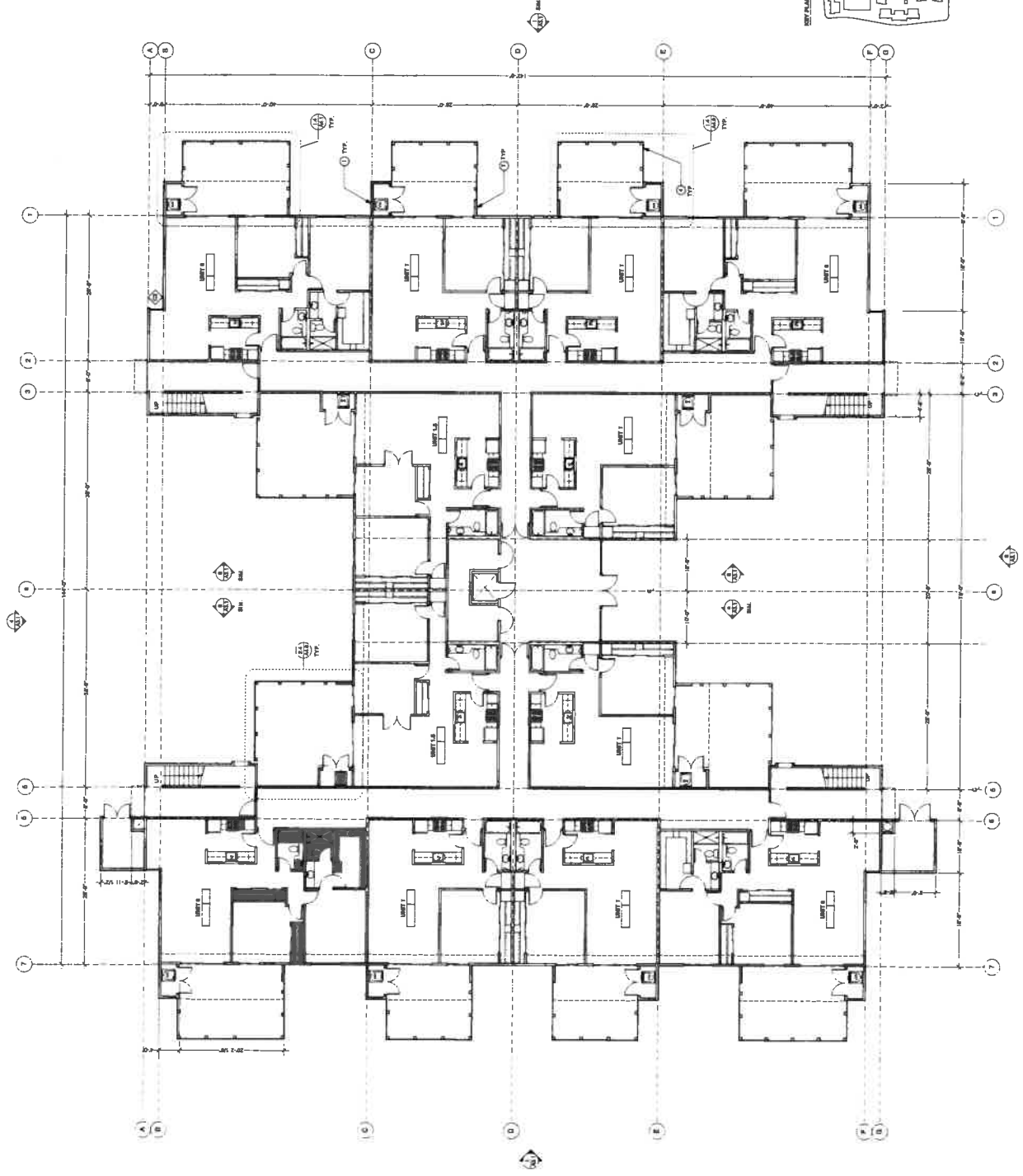


**BUILDING 1:
RENOVATED
ROOF PLAN**

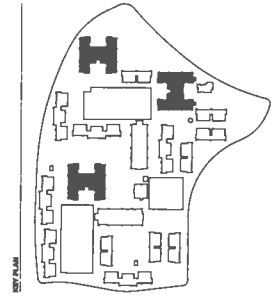
Date: _____ 1987
 Printed by: _____
 Printed at: _____

GENERAL NOTES

- A REMOVE AND REPLACE IN ROOM IN YEAR
- B REMOVE AND REPLACE IN ROOM IN YEAR
- C REMOVE AND REPLACE IN ROOM IN YEAR
- D REMOVE AND REPLACE IN ROOM IN YEAR
- E REMOVE AND REPLACE IN ROOM IN YEAR
- F REMOVE AND REPLACE IN ROOM IN YEAR
- G REMOVE AND REPLACE IN ROOM IN YEAR
- H REMOVE AND REPLACE IN ROOM IN YEAR
- I REMOVE AND REPLACE IN ROOM IN YEAR
- J REMOVE AND REPLACE IN ROOM IN YEAR
- K REMOVE AND REPLACE IN ROOM IN YEAR
- L REMOVE AND REPLACE IN ROOM IN YEAR
- M REMOVE AND REPLACE IN ROOM IN YEAR
- N REMOVE AND REPLACE IN ROOM IN YEAR
- O REMOVE AND REPLACE IN ROOM IN YEAR
- P REMOVE AND REPLACE IN ROOM IN YEAR
- Q REMOVE AND REPLACE IN ROOM IN YEAR
- R REMOVE AND REPLACE IN ROOM IN YEAR
- S REMOVE AND REPLACE IN ROOM IN YEAR
- T REMOVE AND REPLACE IN ROOM IN YEAR
- U REMOVE AND REPLACE IN ROOM IN YEAR
- V REMOVE AND REPLACE IN ROOM IN YEAR
- W REMOVE AND REPLACE IN ROOM IN YEAR
- X REMOVE AND REPLACE IN ROOM IN YEAR
- Y REMOVE AND REPLACE IN ROOM IN YEAR
- Z REMOVE AND REPLACE IN ROOM IN YEAR



FIRST FLOOR **1**
W 11'0"



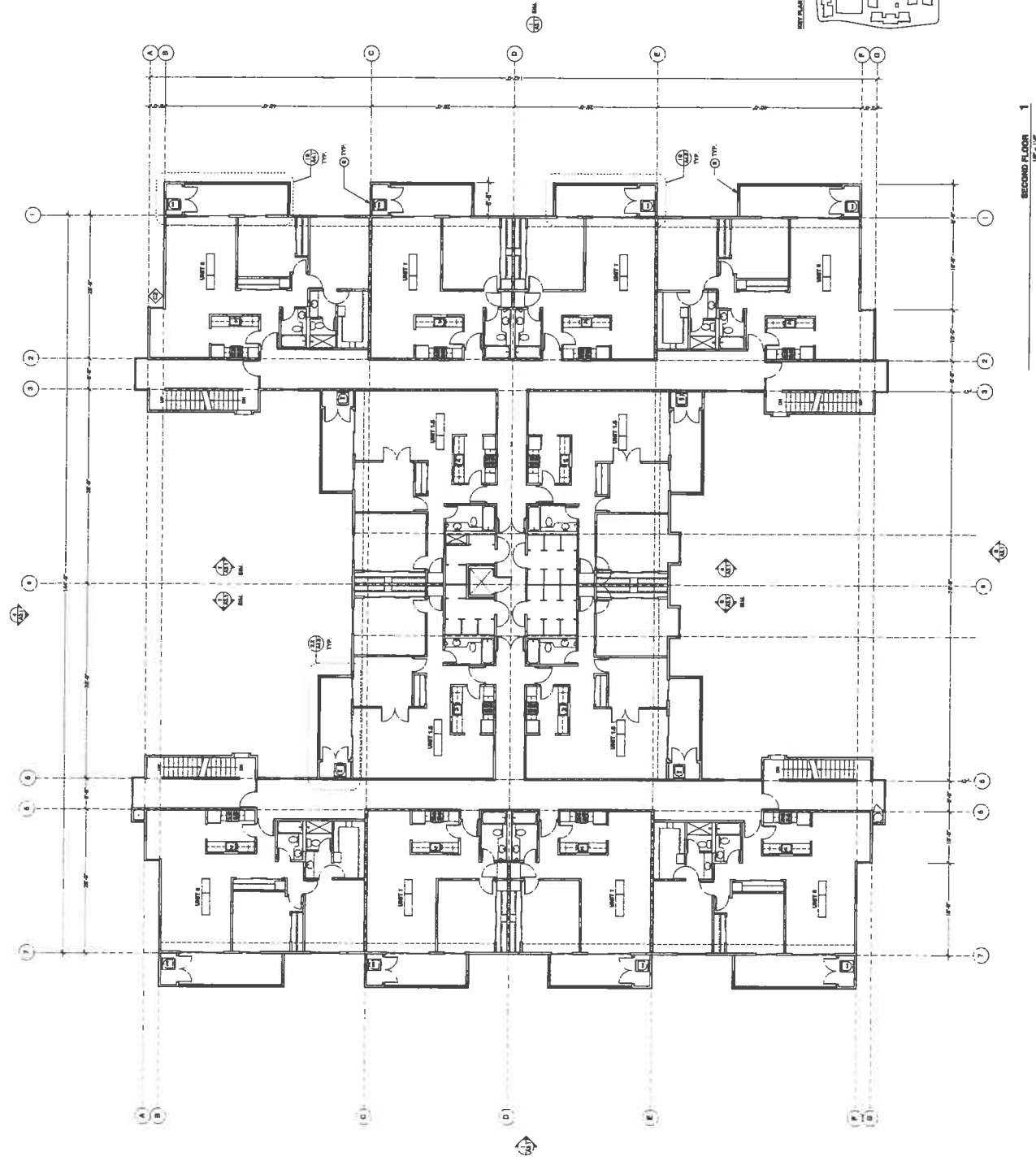
R42

SHIMAZU, A. 1977.

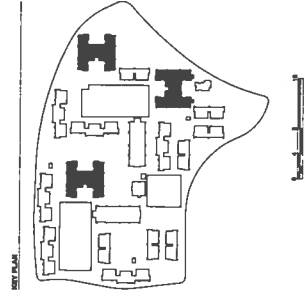
- [illegible]

FOR THE RECORD **WATER AND IDEAS ON EVERY BODY**

- [illegible]



SECOND FLOOR 1



~~B43~~

**BUILDING 2:
RENOVATED
FLOOR PLAN**

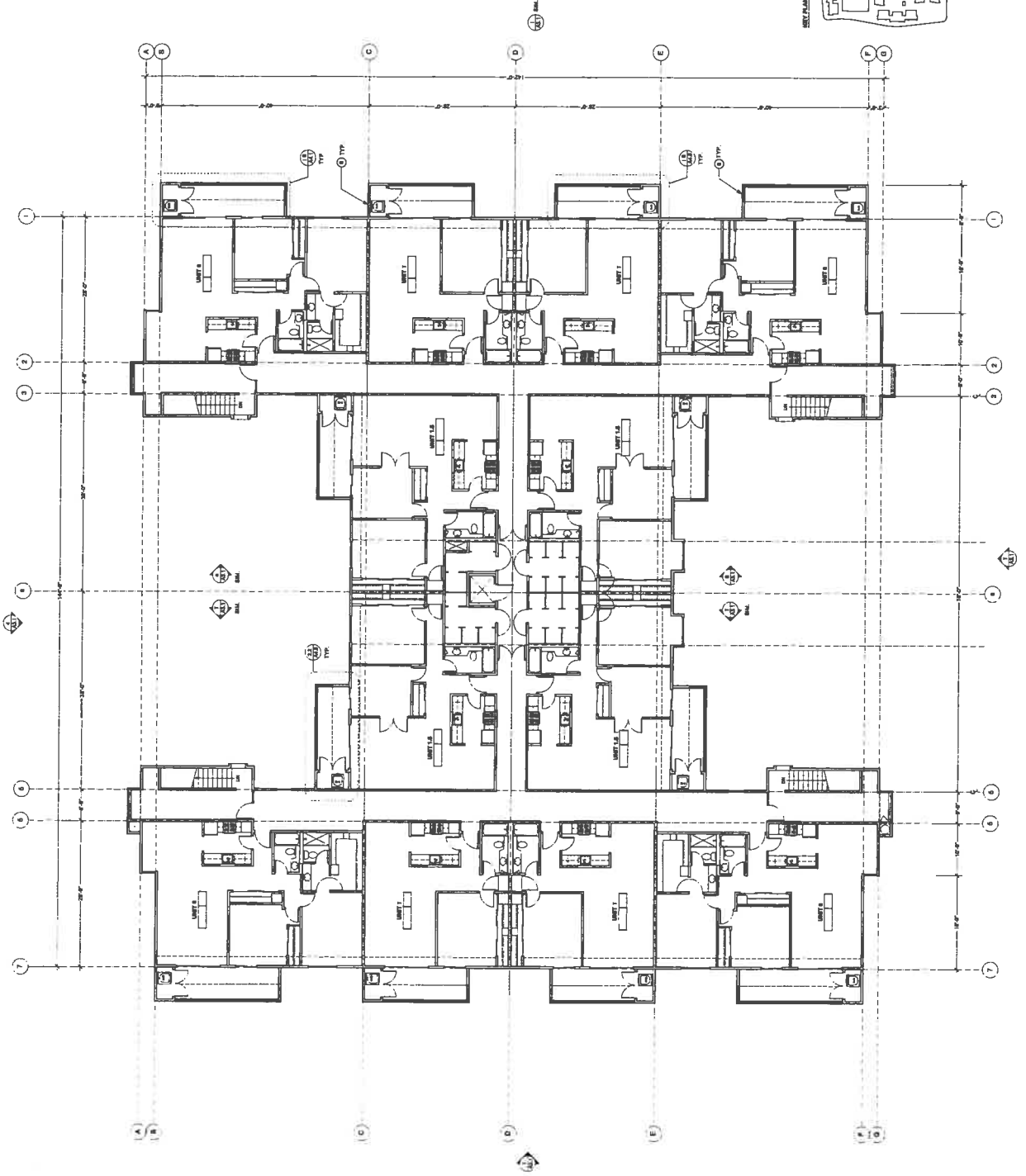
Printed at the _____
 Press, _____

GENERAL NOTES

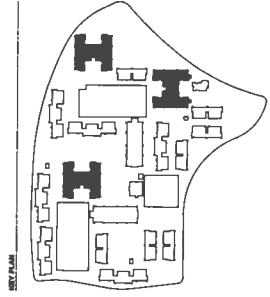
- [illegible]

SALES NOTES

- [illegible]

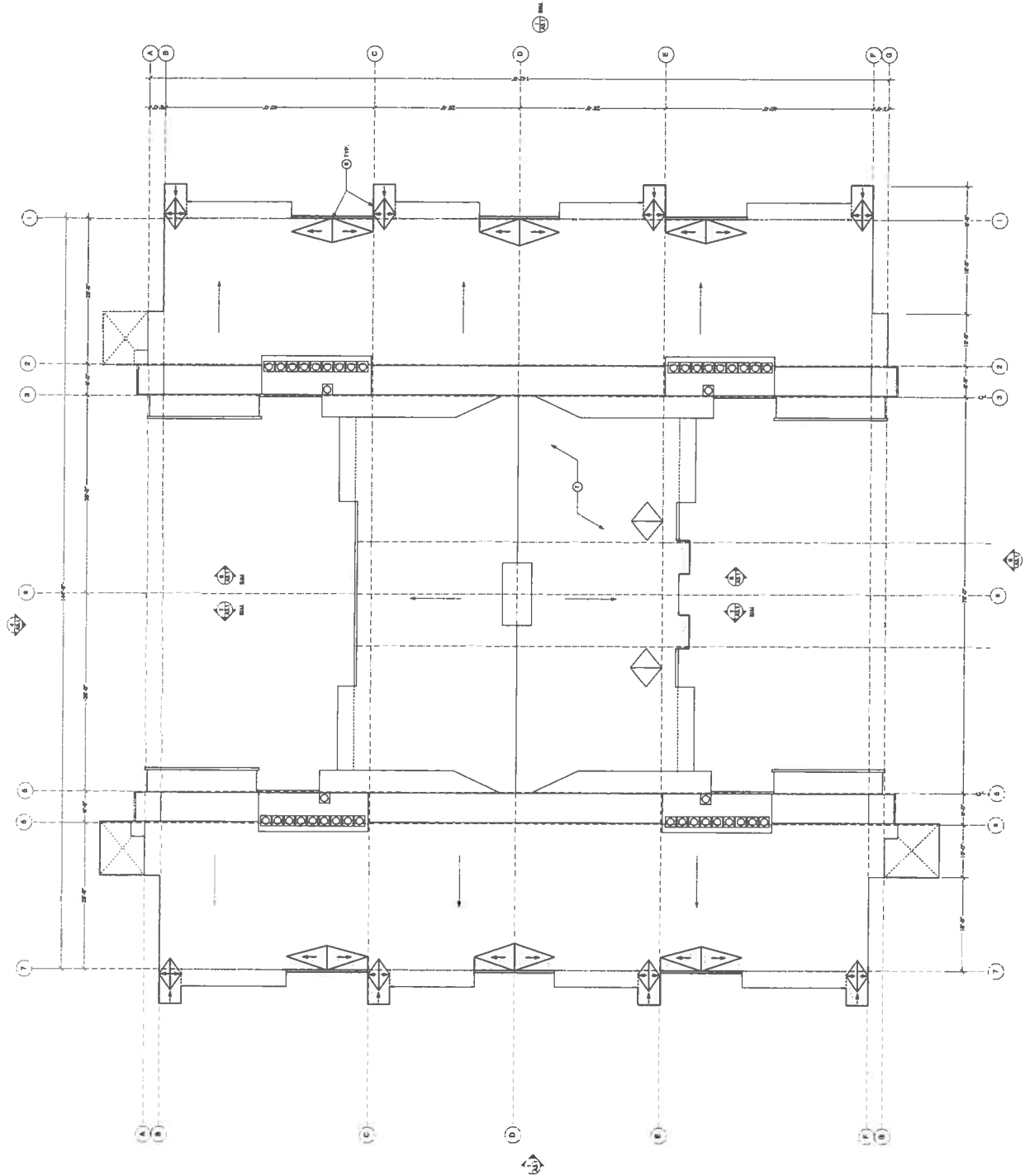


THIRD FLOOR



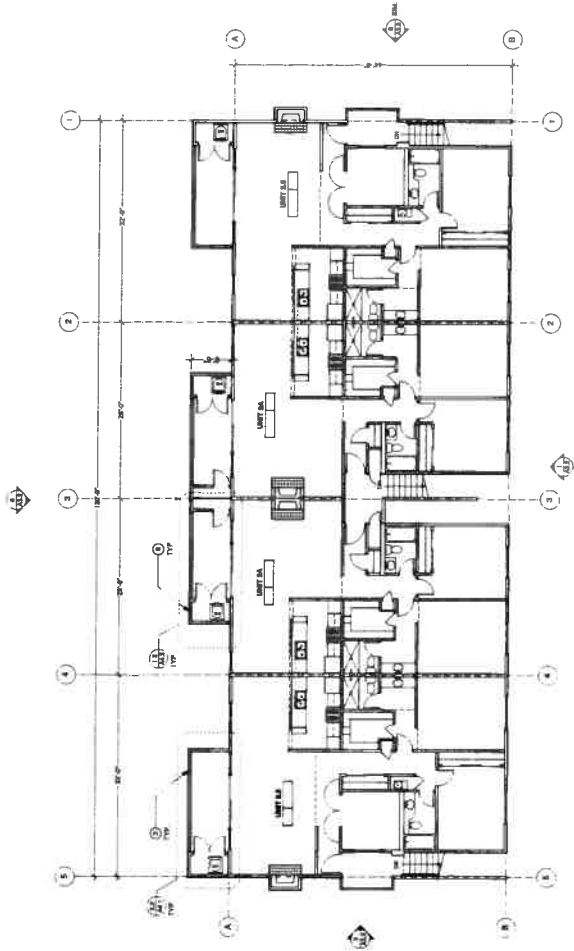
1344

A2.5

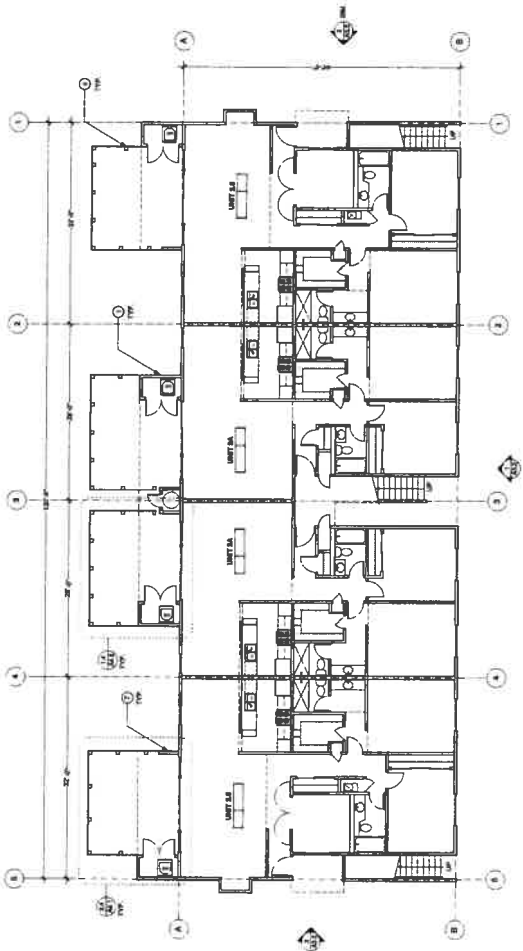
$$\frac{\text{ROOF}}{\text{WATER}} = 1$$


1345

B7c



SECOND FLOOR 2
1/8" = 1'-0"



FIRST FLOOR 1
1/8" = 1'-0"

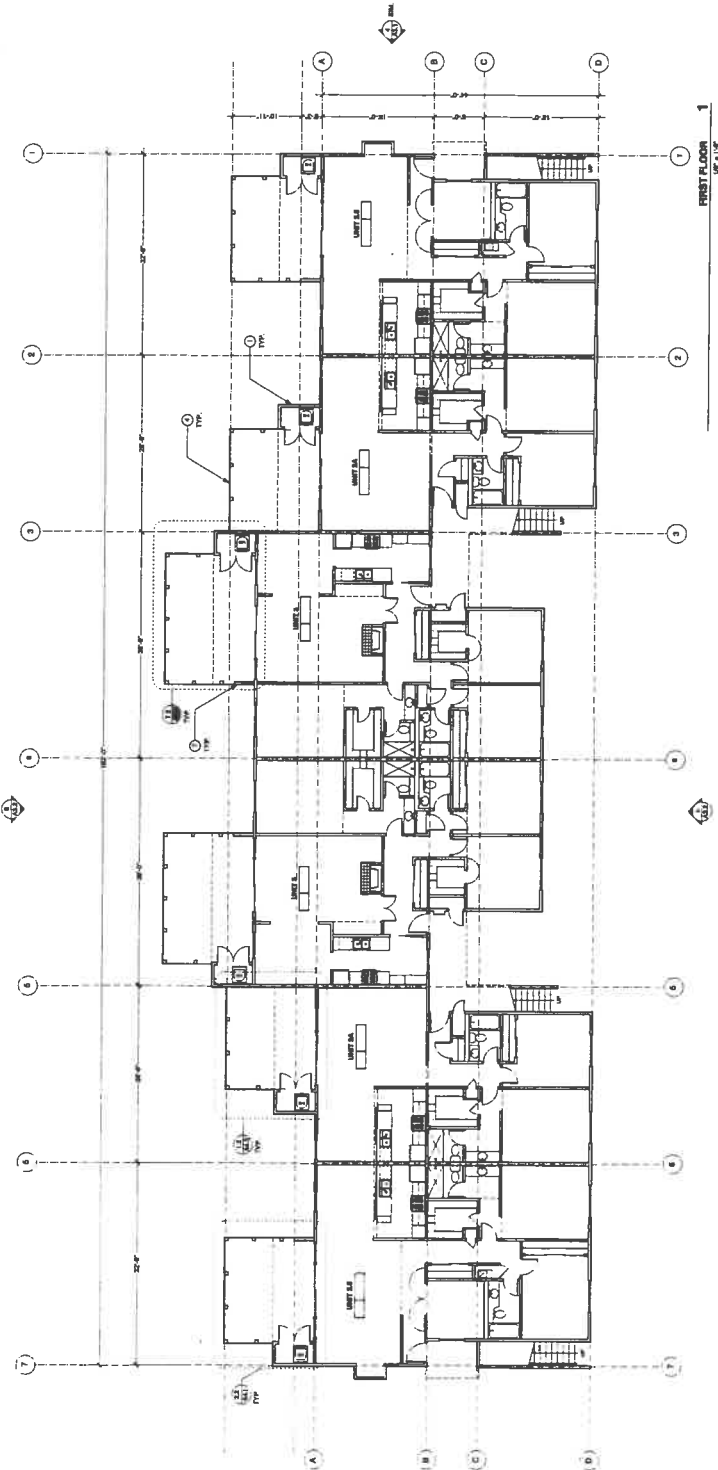
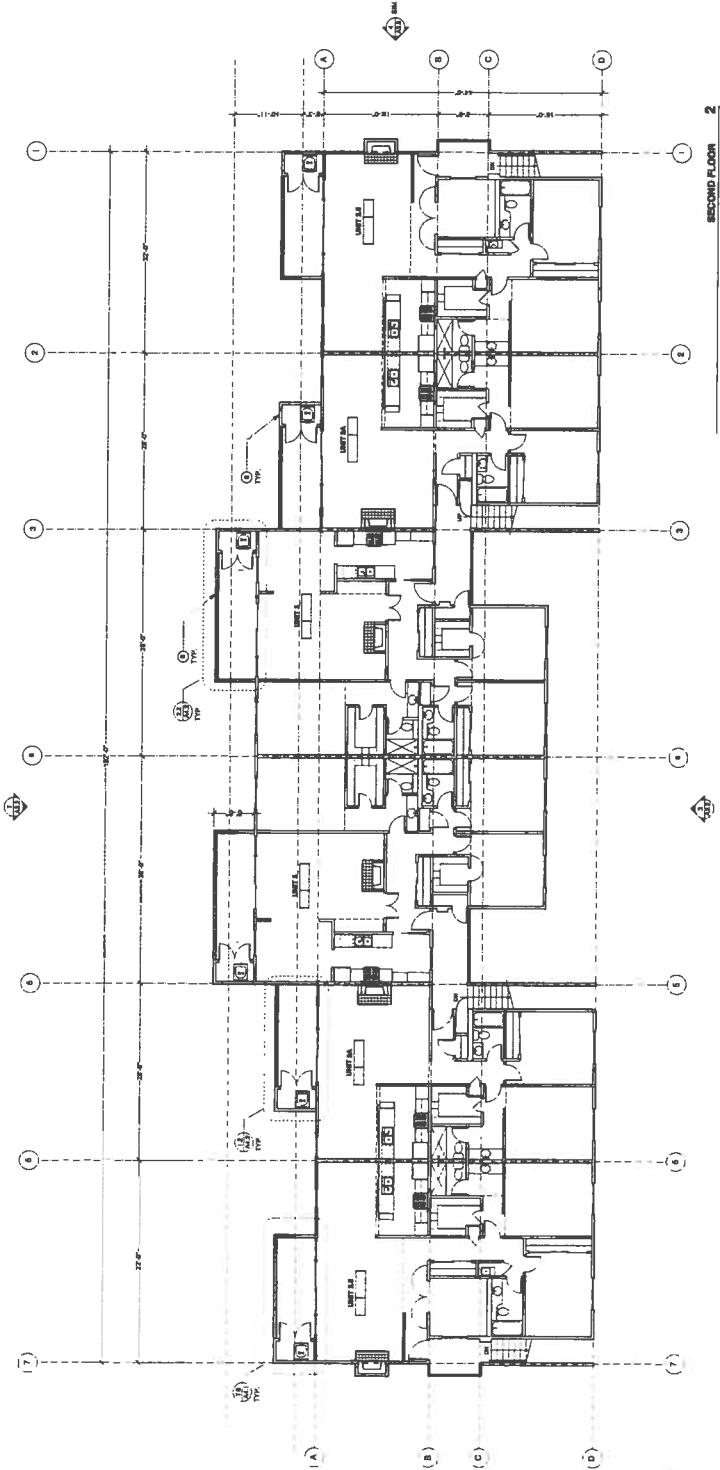
- MINORIAL NOTED:
- A. REMOVE AND REPLACE (R) ROOF W/ 20 YEAR WARRANTY COMPOSITION ASPHALT SHINGLES.
 - B. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - C. REPAIR ALL CRACKS INCLUDING BUT NOT LIMITED TO CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - D. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - E. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - F. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - G. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - H. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - I. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - J. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - K. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - L. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - M. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - N. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - O. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - P. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - Q. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - R. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - S. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - T. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - U. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - V. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - W. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - X. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - Y. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.
 - Z. REPAIR AND PATCH CRACKS IN CONCRETE BLOCKS OF BASEMENT.

SHARON GREEN APTS.
MENLO PARK, CALIFORNIA

NO.	DESCRIPTION	DATE
1	PROPOSED SET	10/1/87
2	REVISIONS	10/1/87
3	REVISIONS	10/1/87
4	REVISIONS	10/1/87
5	REVISIONS	10/1/87
6	REVISIONS	10/1/87
7	REVISIONS	10/1/87
8	REVISIONS	10/1/87
9	REVISIONS	10/1/87
10	REVISIONS	10/1/87

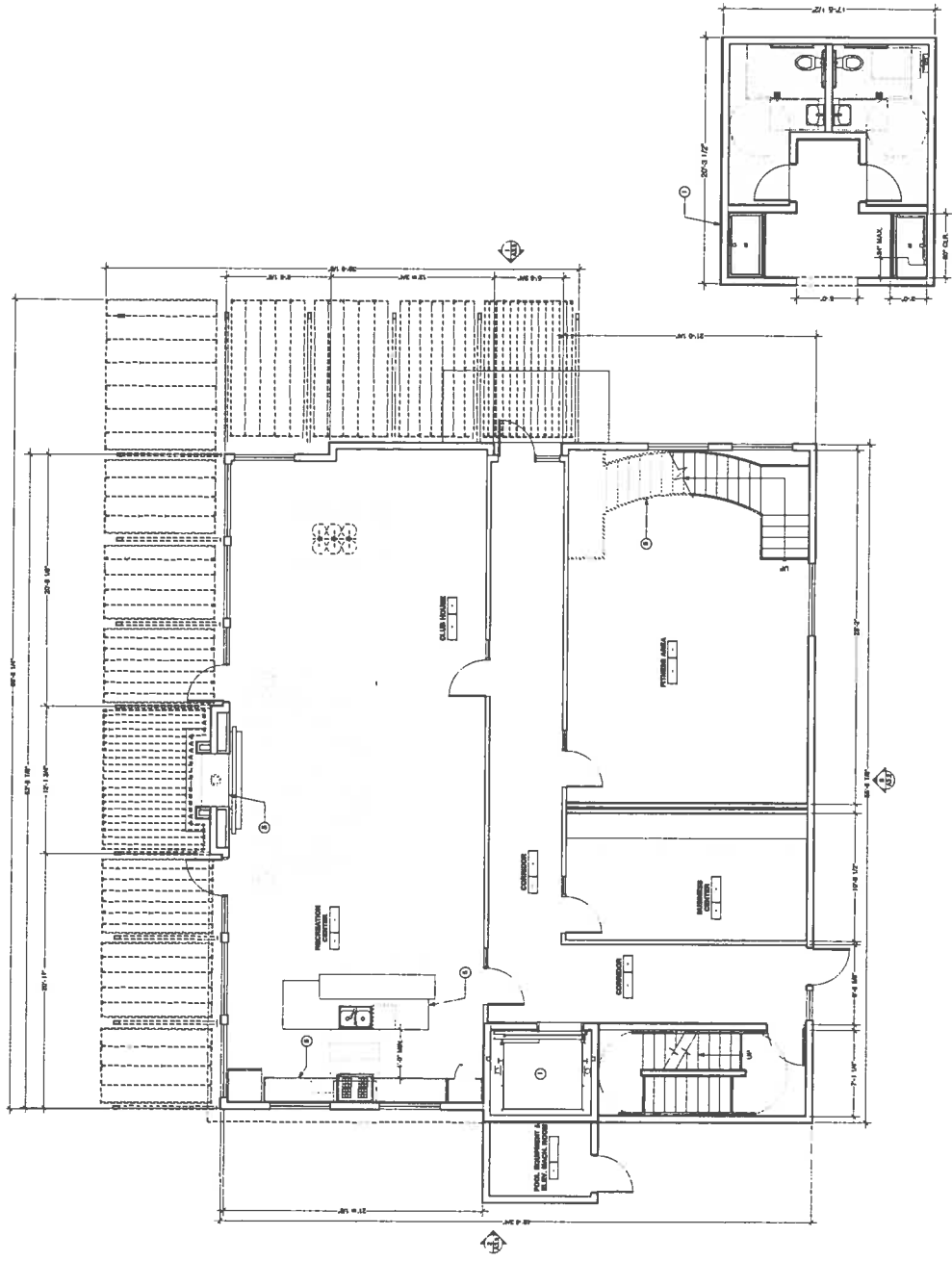
BUILDING 3:
RENOVATED
FLOOR PLANS

- [illegible]



1346

1. AREA ACCESSIBLE POOL, BATHROOM & SHOWERS
 2. STAIRS TO POOL DECK
 3. STAIRS TO POOL DECK
 4. STAIRS TO POOL DECK
 5. STAIRS TO POOL DECK
 6. STAIRS TO POOL DECK
 7. STAIRS TO POOL DECK
 8. STAIRS TO POOL DECK
 9. STAIRS TO POOL DECK
 10. STAIRS TO POOL DECK

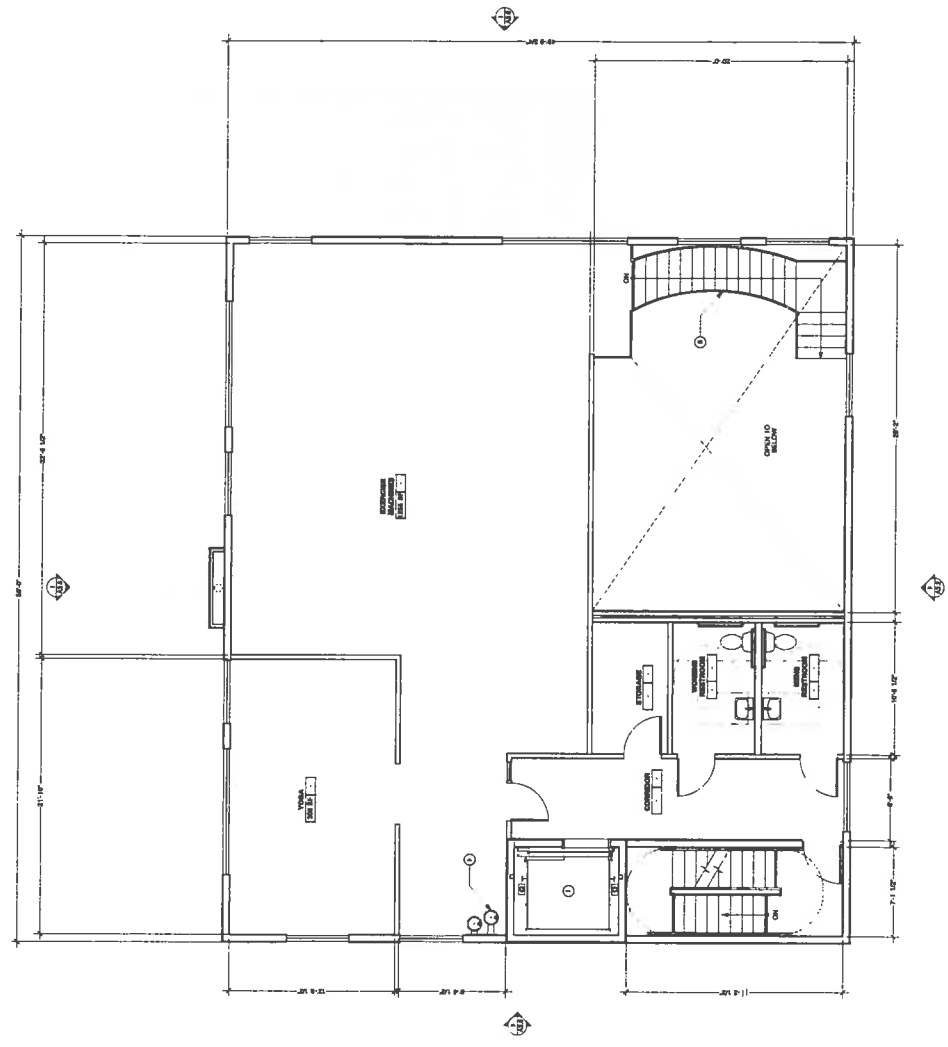


RECREATION CENTER FIRST FLOOR PLAN

1/4" = 1'-0"

BSO

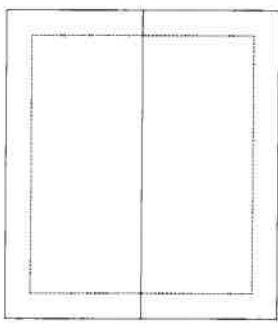
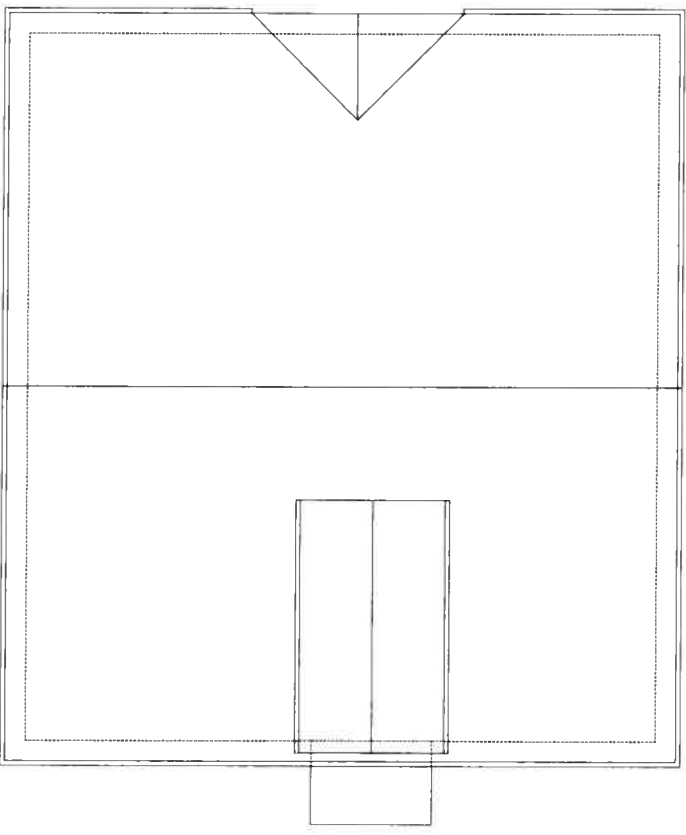
- NOTES:** NOT ALL NOTES ARE USED ON EVERY SHEET
- 1. ADA ACCESSIBLE POOL, RESTROOM & SHOWERS
 - 2. DESIGNATED ELEVATOR
 - 3. DESIGNATED ELEVATOR
 - 4. DESIGNATED ELEVATOR
 - 5. DESIGNATED ELEVATOR
 - 6. DESIGNATED ELEVATOR
 - 7. DESIGNATED ELEVATOR
 - 8. DESIGNATED ELEVATOR
 - 9. DESIGNATED ELEVATOR
 - 10. DESIGNATED ELEVATOR
 - 11. DESIGNATED ELEVATOR
 - 12. DESIGNATED ELEVATOR
 - 13. DESIGNATED ELEVATOR
 - 14. DESIGNATED ELEVATOR
 - 15. DESIGNATED ELEVATOR
 - 16. DESIGNATED ELEVATOR
 - 17. DESIGNATED ELEVATOR
 - 18. DESIGNATED ELEVATOR
 - 19. DESIGNATED ELEVATOR
 - 20. DESIGNATED ELEVATOR



RECREATION CENTER SECOND FLOOR PLAN
1/8" = 1'-0"

1351

BS2

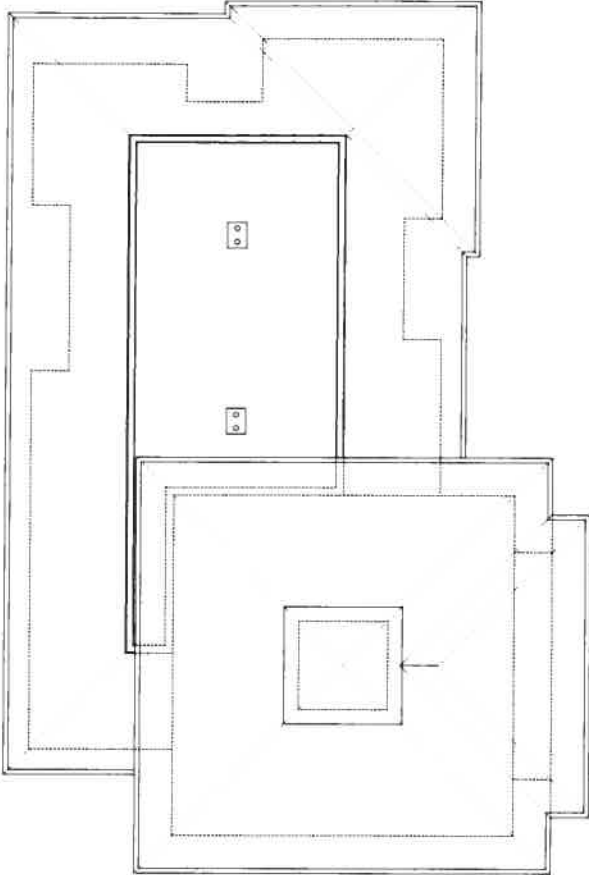


RECREATION CENTER ROOF PLAN 1
1/8" = 1'-0"

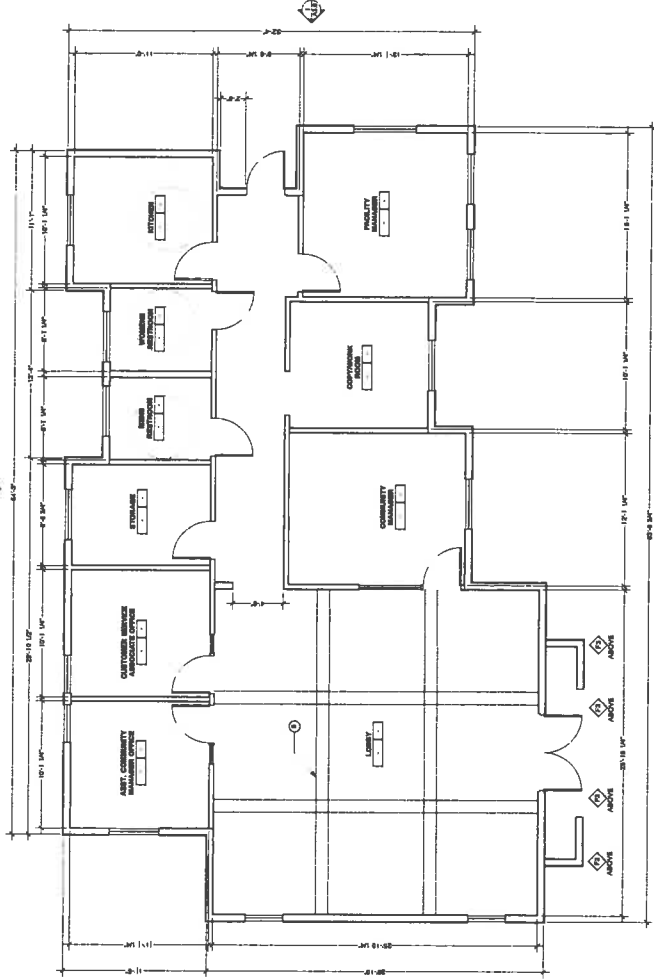


- NOTES:**
- 1. ALL ACCESSIBLE POOL, RESTROOM & SHOWERS
 - 2. ALL ACCESSIBLE POOL, RESTROOM & SHOWERS
 - 3. LEAKAGE DETECTION SYSTEM
 - 4. FLOOR PLAN
 - 5. FLOOR PLAN
 - 6. FLOOR PLAN
 - 7. FLOOR PLAN
 - 8. FLOOR PLAN
 - 9. FLOOR PLAN
 - 10. FLOOR PLAN
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 - 33. FLOOR PLAN
 - 34. FLOOR PLAN
 - 35. FLOOR PLAN
 - 36. FLOOR PLAN
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 - 49. FLOOR PLAN
 - 50. FLOOR PLAN
 - 51. FLOOR PLAN
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- NOTES:**
1. ADA ACCESSIBLE POOL, RESTROOM & SHOWERS
 2. ADA ACCESSIBLE ELEVATOR
 3. LEASING OFFICE
 4. PREPARE
 5. ELEVATOR
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LEASING OFFICE FLOOR PLAN 2



LEASING OFFICE FLOOR PLAN 1

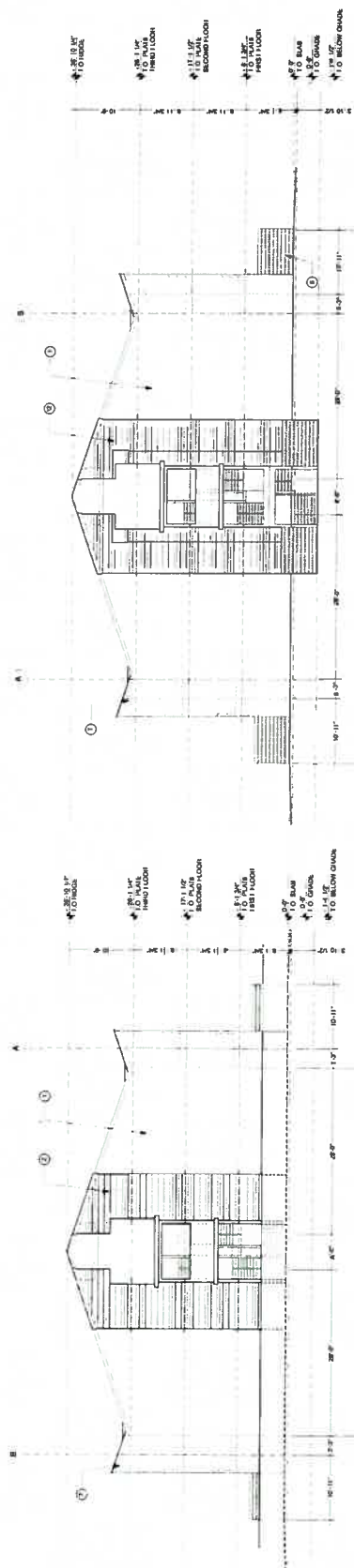
BS3

GENERAL WATER

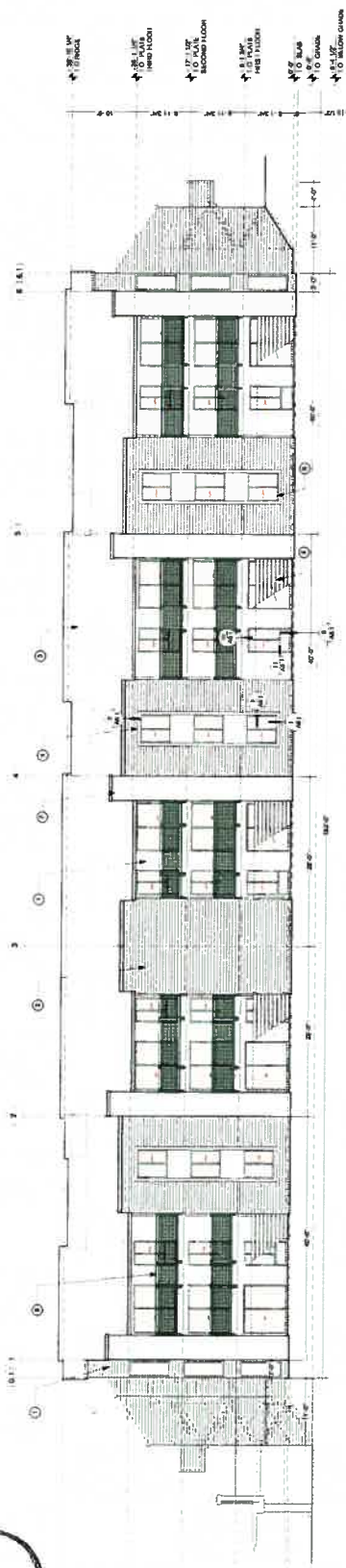
- ALL THE EXTERIOR FRAM TO BE CLEANLY FINISH, SUCH AS MAKE IT
1. REMOVE PLASTER & PROVIDE AN OVERCLASS. NO WOOD NAILING AND SILLING AND NAILING CLIMBING. FINISH

RESEARCH DESIGN

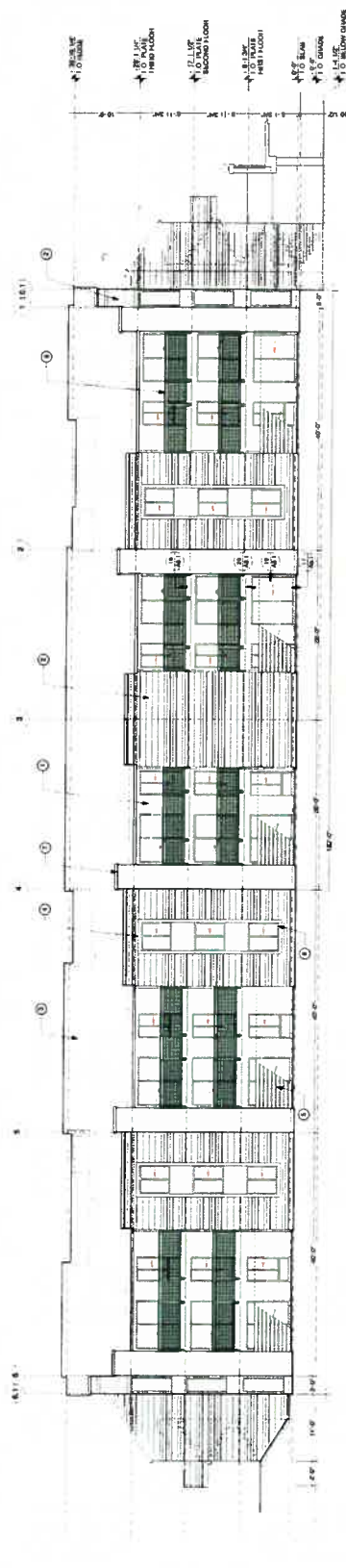
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**BUILDG | SIDE ELEVATION 3**

BLOG | SIDE ELEVATION 4



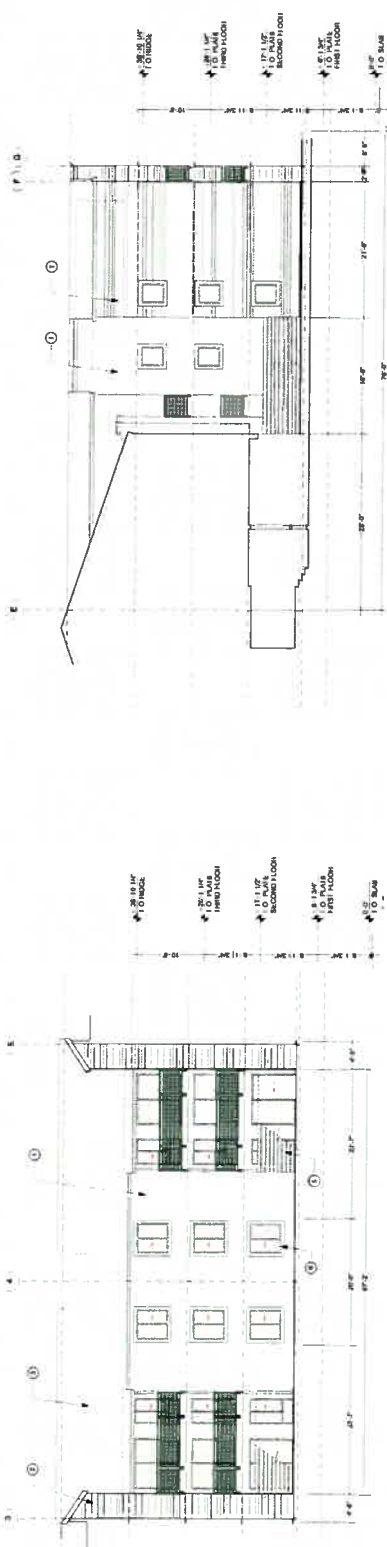
BUDG | BACK ELEVATION 2



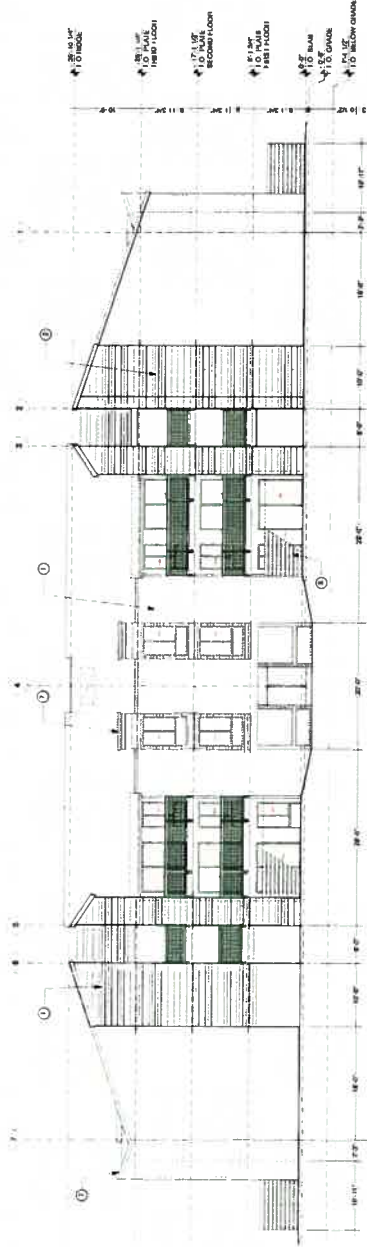
BLDG : FRONT ELEVATION 1

GENERAL NOTES

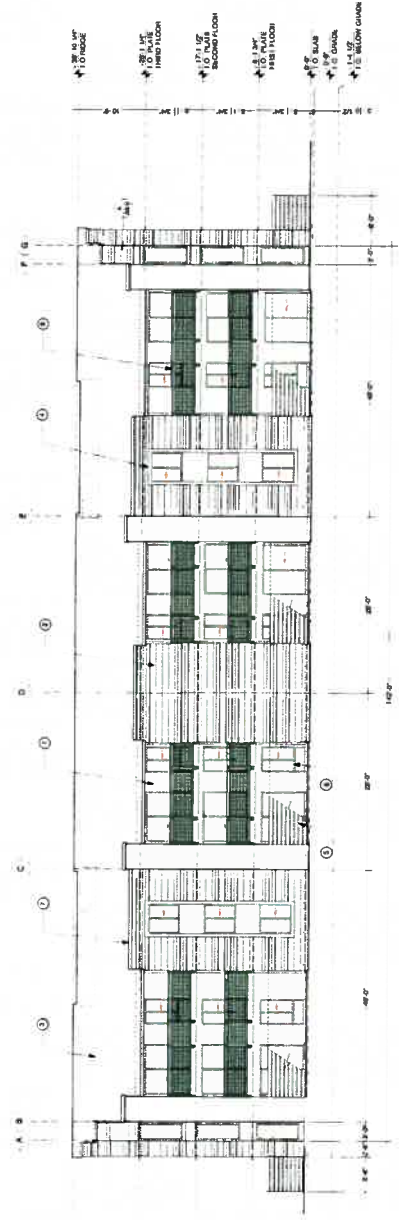
- [illegible]



BLDG # BACK ELEVATION 4



BLDG II FRONT ELEVATION 2



BLDG # SIDE ELEVATION 1

BLDG IN SIDE ELEVATION 2

BS6

NOTES:
1. ALL MATERIALS USED ON NEW WORK
2. ALL MATERIALS USED ON EXISTING WORK
3. ALL MATERIALS USED ON EXISTING WORK
4. ALL MATERIALS USED ON EXISTING WORK
5. ALL MATERIALS USED ON EXISTING WORK



BUILDING II EXISTING ELEVATION 2



BUILDING II EXISTING ELEVATION 1



NOTE: BUILDING II ELEVATION HAS BEEN ADJUSTED TO EXISTING ELEVATION ABOVE



BUILDING II EXISTING ELEVATION 4



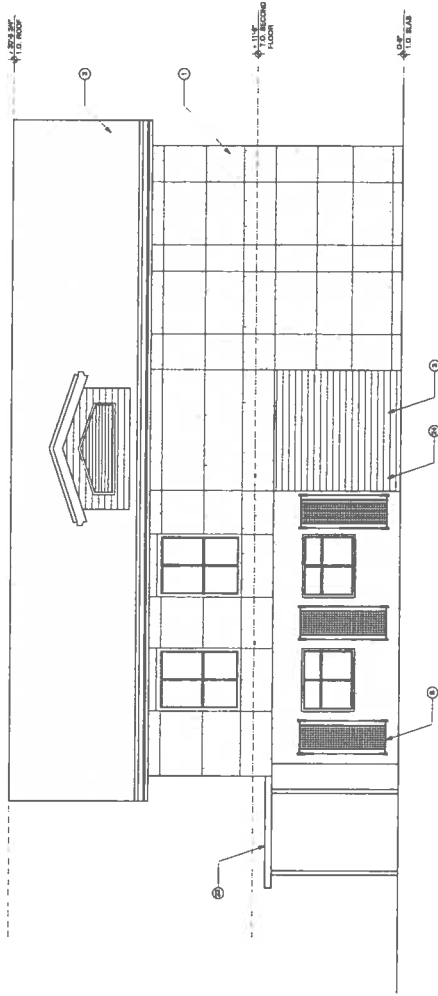
EXISTING RECREATION CENTER & LEASING OFFICE

BS1

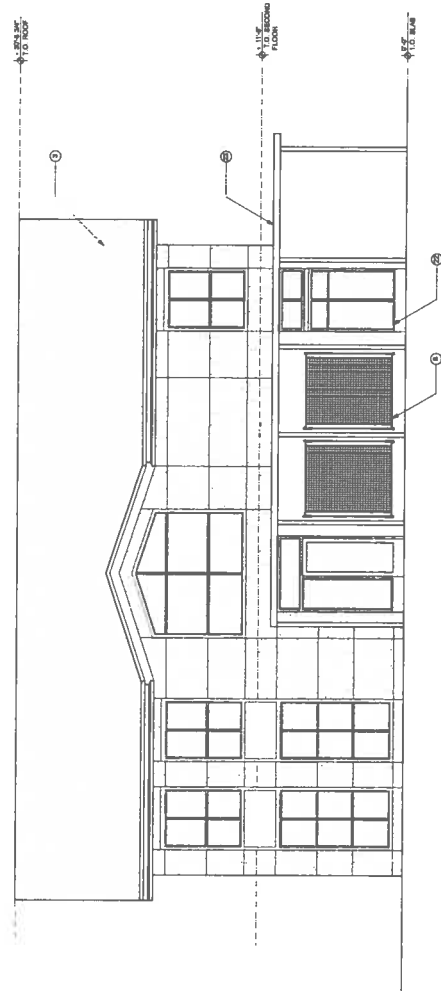
Smart Meters

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET

- [illegible]



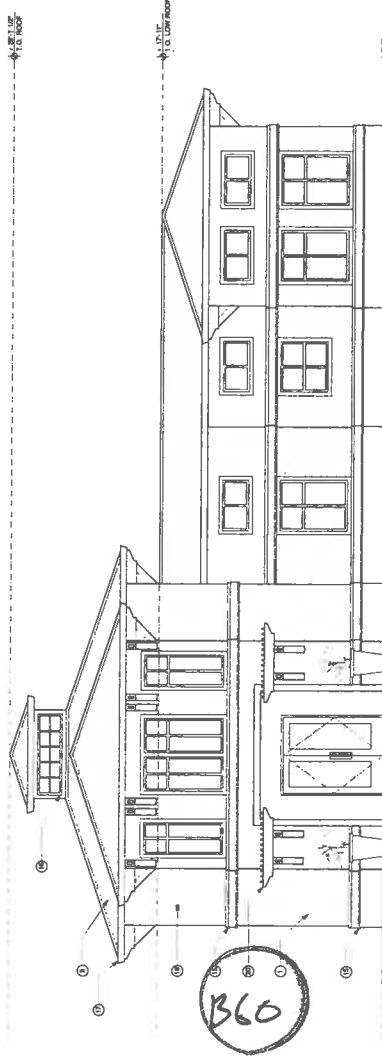
WEST ELEVATION **2**
144' x 144'



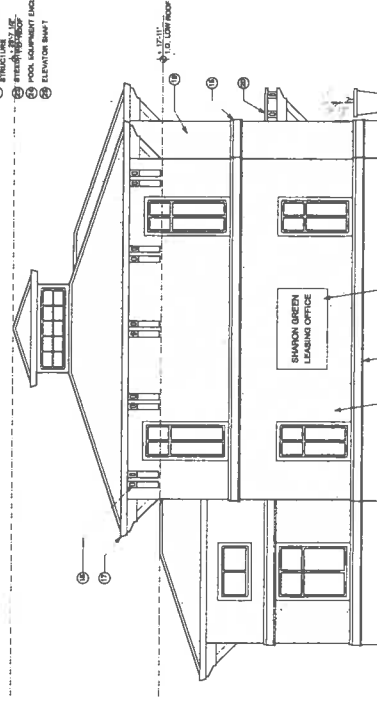
EAST ELEVATION 1
1/4" = 1'-0"

BS9

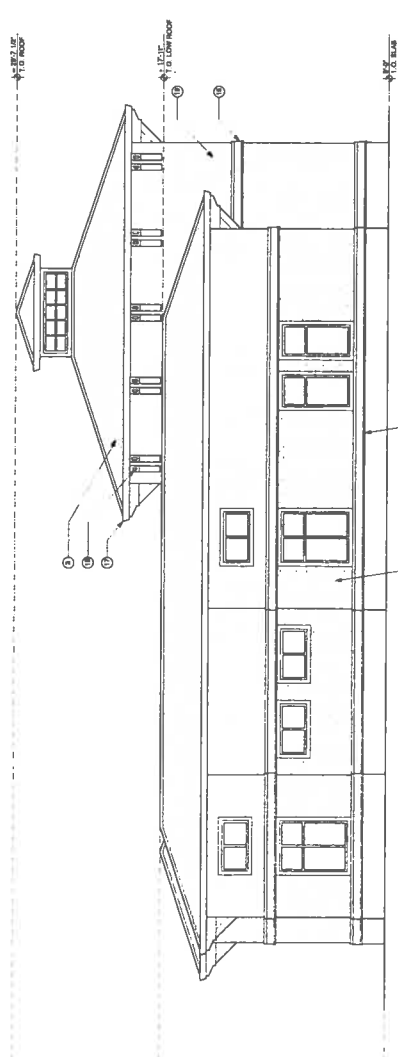
- NOTES:** NOT ALL NOTES ARE USED ON EVERY SHEET
1. EXTERIOR WALLS: PLASTER, SMOOTH, PLASTER FRESH
 2. INTERIOR WALLS: PLASTER, SMOOTH, PLASTER FRESH
 3. 1/2" THICK CONCRETE SLAB ON GROUND
 4. 1/2" THICK CONCRETE SLAB ON GROUND
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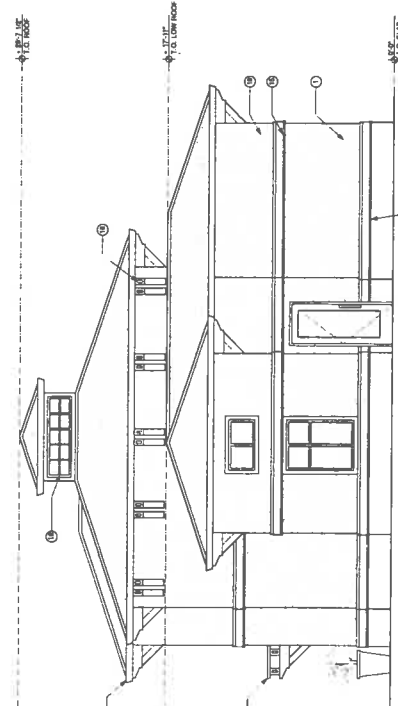
SOUTH ELEVATION
VF = 1/4"



WEST ELEVATION
VF = 1/4"



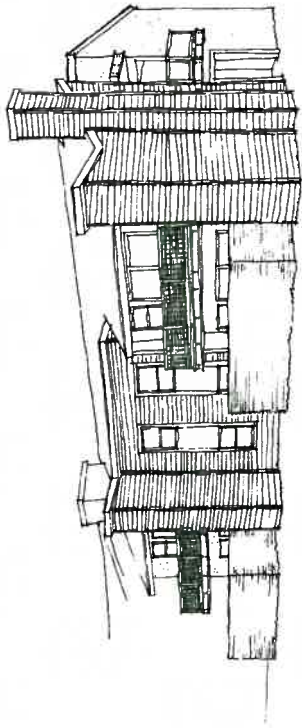
NORTH ELEVATION
VF = 1/4"



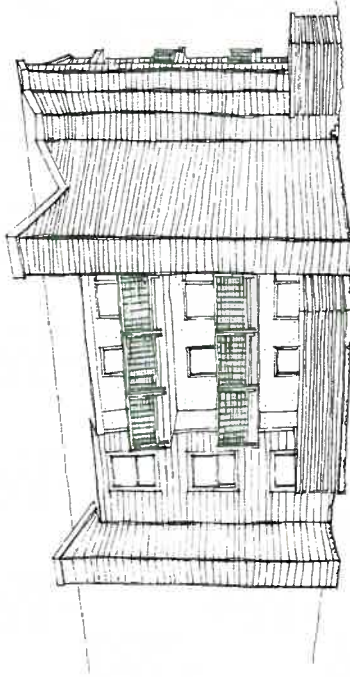
EAST ELEVATION
VF = 1/4"



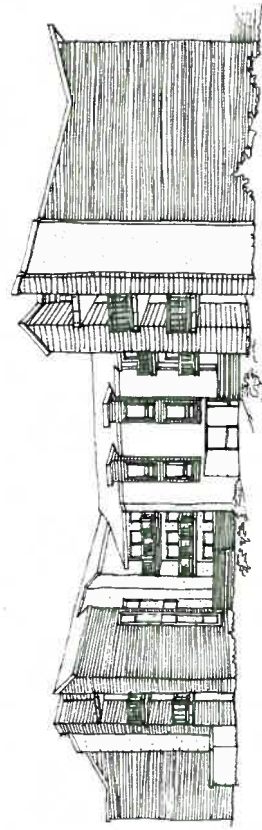
B61



BUILDING IV



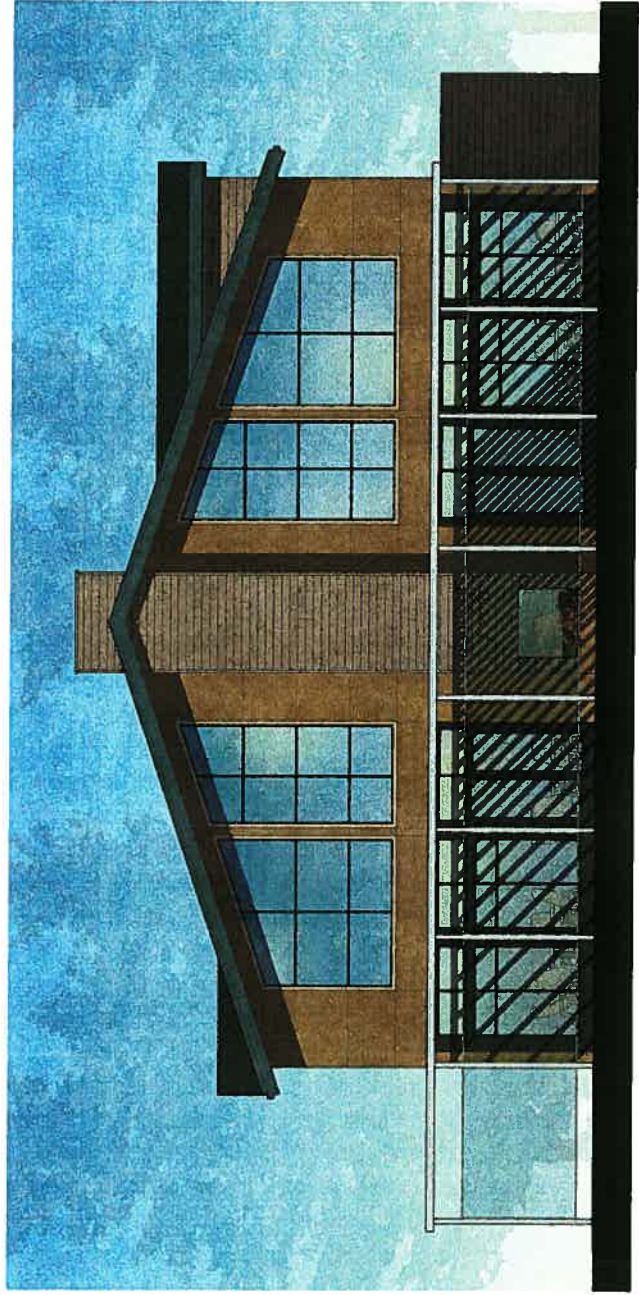
BUILDING I



BUILDING II



LEASING OFFICE 3



RECREATION CENTER 1

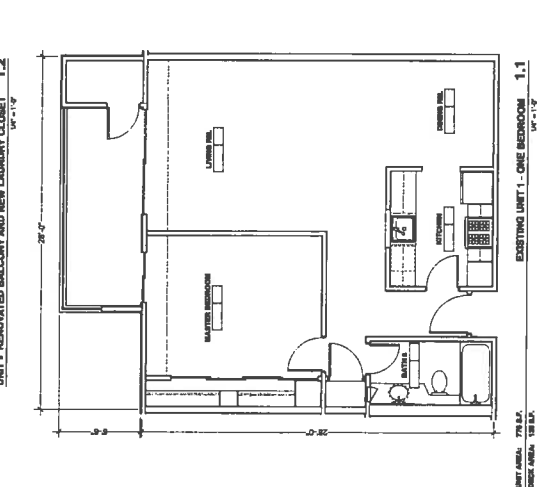
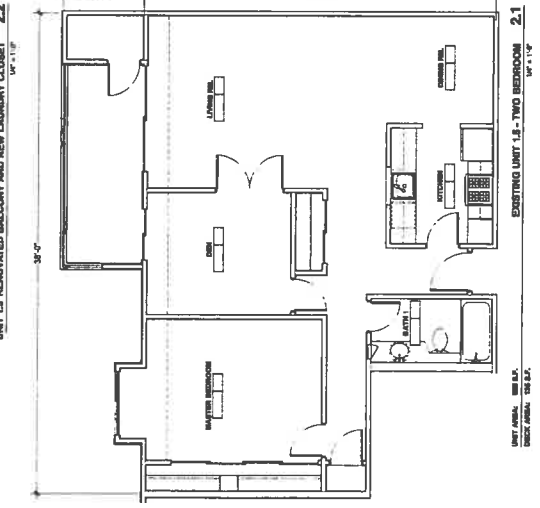
<p>Dark Body Buco SW 6122 Antique Monogramy</p>	<p>Stirling SW 6122 Georgian Brick</p>	<p>Trick, Rollings & Screens Benjamin Moore BM 1547 Dragon's Breath</p>
<p>Doors Benjamin Moore Twilight Lane</p>	<p>Vinyl Windows Joni Win Chateau Bronze</p>	<p>Roof CAUF Imperial Shingles Churchill</p>
<p>Sign Background Benjamin Moore BM 154 White Sand</p>		

LEASING OFFICE COLOR PALETTE 4

<p>Dark Body Buco SW 6122 Relic Bronze</p>	<p>Stirling SW 6122 Dapple Tan</p>	<p>Trick, Rollings & Screens Benjamin Moore BM 1547 Dragon's Breath</p>
<p>Doors Benjamin Moore Twilight Lane</p>	<p>Vinyl Windows Joni Win Chateau Bronze</p>	<p>Roof CAUF Imperial Shingles Churchill</p>
<p>Sign Background Benjamin Moore BM 154 White Sand</p>		

RECREATION CENTER COLOR PALETTE 2

B363

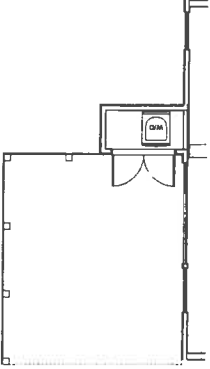


CONFIDENTIAL, NOT FOR RELEASE

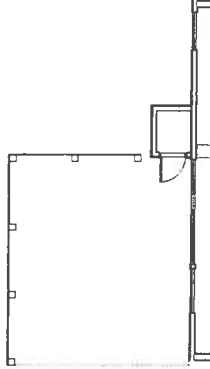
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STUDENT MOTIVATION

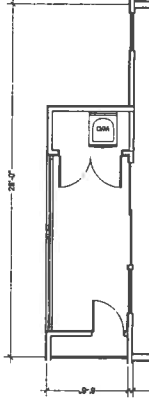
- 1 REMOVE (2) DOUBLE DOORS AND REPLACE WALL
- 2 INSTALL (8) INTERIOR DOOR
- 3 INSERT (2) WALL TO ADJACENT CLOSET, MINIMIZE SHELF AND POLE INSIDE CLOSET, REMOVE (2) BLIND DOOR AND INSTALL ON DOOR

UNIT 2A RENOVATED PATIO AND NEW LAUNDRY CLOSET 1.4
1/2" 1/2"

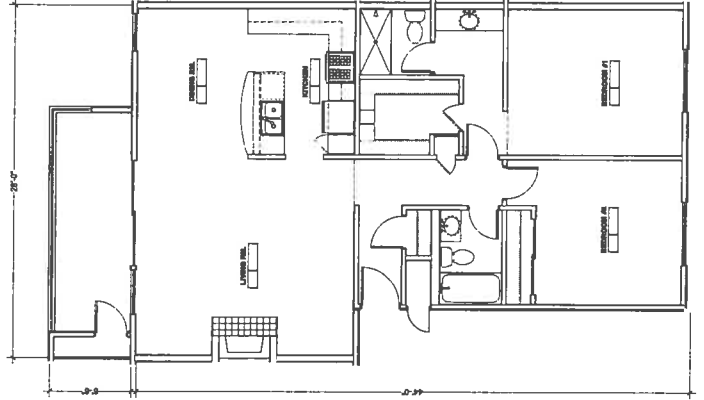
EXISTING UNIT 2A - TWO BEDROOM - FIRST FLOOR 1.3



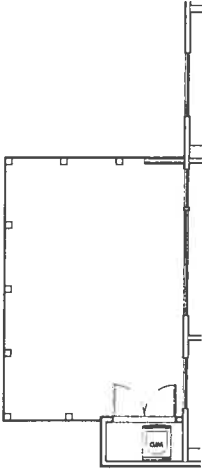
UNIT 2A RENOVATED BALCONY AND NEW LAUNDRY CLOSET 1.2



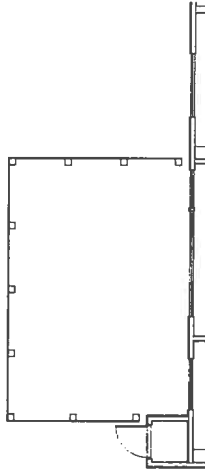
UNIT AREA 1339 S.F.	WOODEN GYM - 2ND FLOOR	11' 11"
DICK AREA 135 S.F.	14' x 12'	



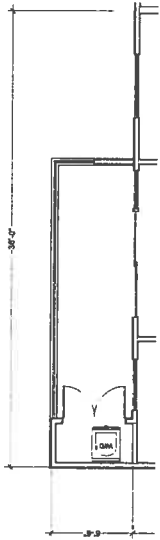
UNIT 3 RENOVATED PATIO AND NEW LAUNDRY CLOSET	2.4
UF 11-2	



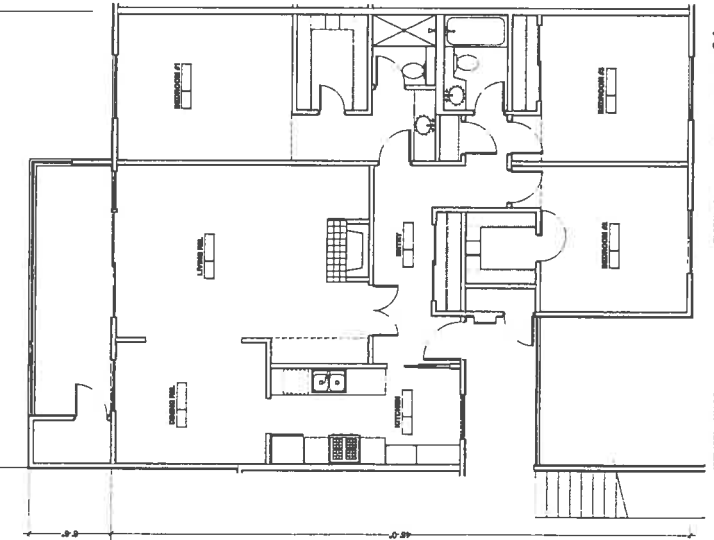
EXISTING UNIT 3 - THREE BEDROOM - FIRST FLOOR 23



UNIT 3 RENOVATED BALCONY AND NEW LAUNDRY CLOSET 2.2
14' x 1'-0"



CRACK AREA: 100 S.F.
CRACKING STRESS: 1.47



(B67)



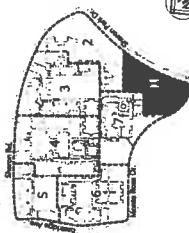
TREE INVENTORY:

TREE INVENTORY:		
TREES		
Tree #	Relative Name	Common Name
1	Black Alder	Black Alder
2	Black Alder	Black Alder
3	Black Alder	Black Alder
4	Black Alder	Black Alder
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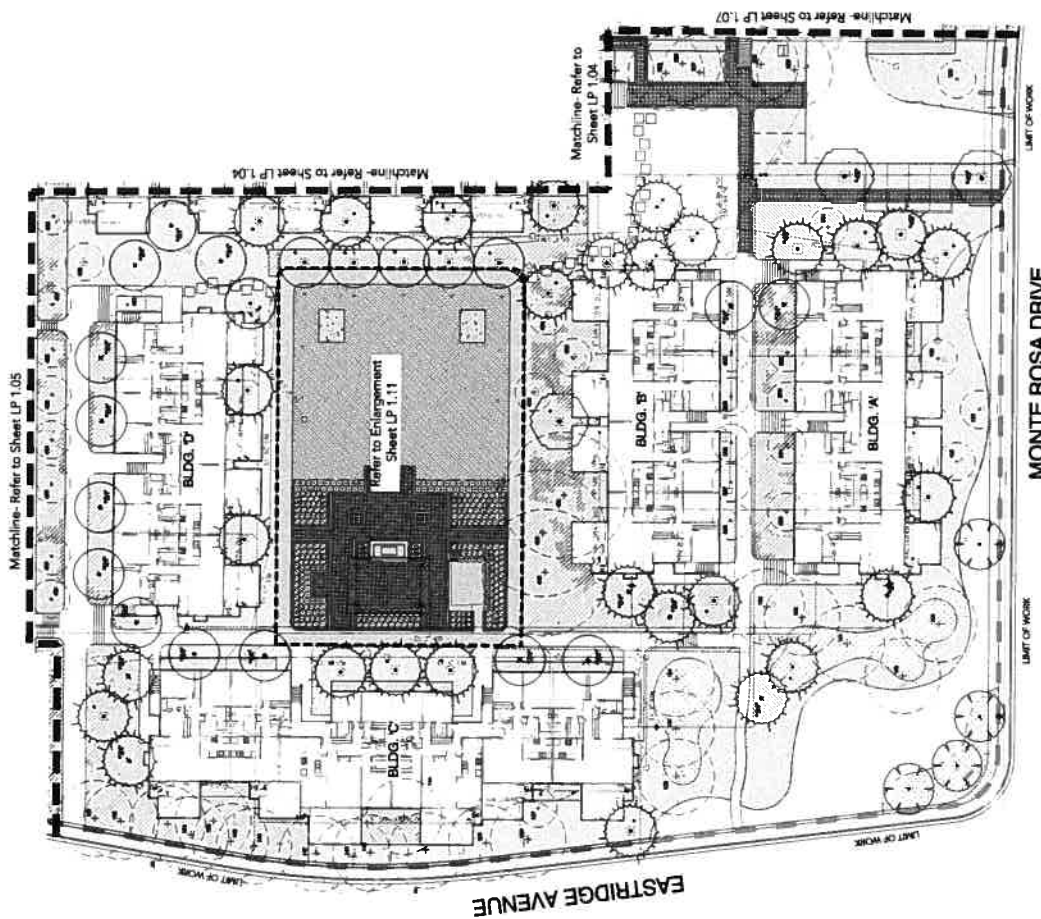
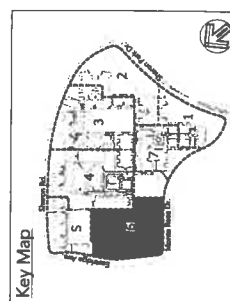
Tree #	Botanical Name	Common Name
1	Acacia saligna	Black Wattle
2	Albizia julibrissin	Silk Tree
3	Alnus incana	Hazel
4	Amelanchier alnifolia	Shadblow
5	Aspen	Aspen
6	Betula pumila	Belted Bark
7	Betula pendula	White Birch
8	Betula pubescens	Downy Birch
9	Betula rotundifolia	Round-leaved Birch
10	Betula utilis	European Birch
11	Betula vitifolia	Vine Birch
12	Betula utilis	European Birch
13	Betula utilis	European Birch
14	Betula utilis	European Birch
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16	Betula utilis	European Birch
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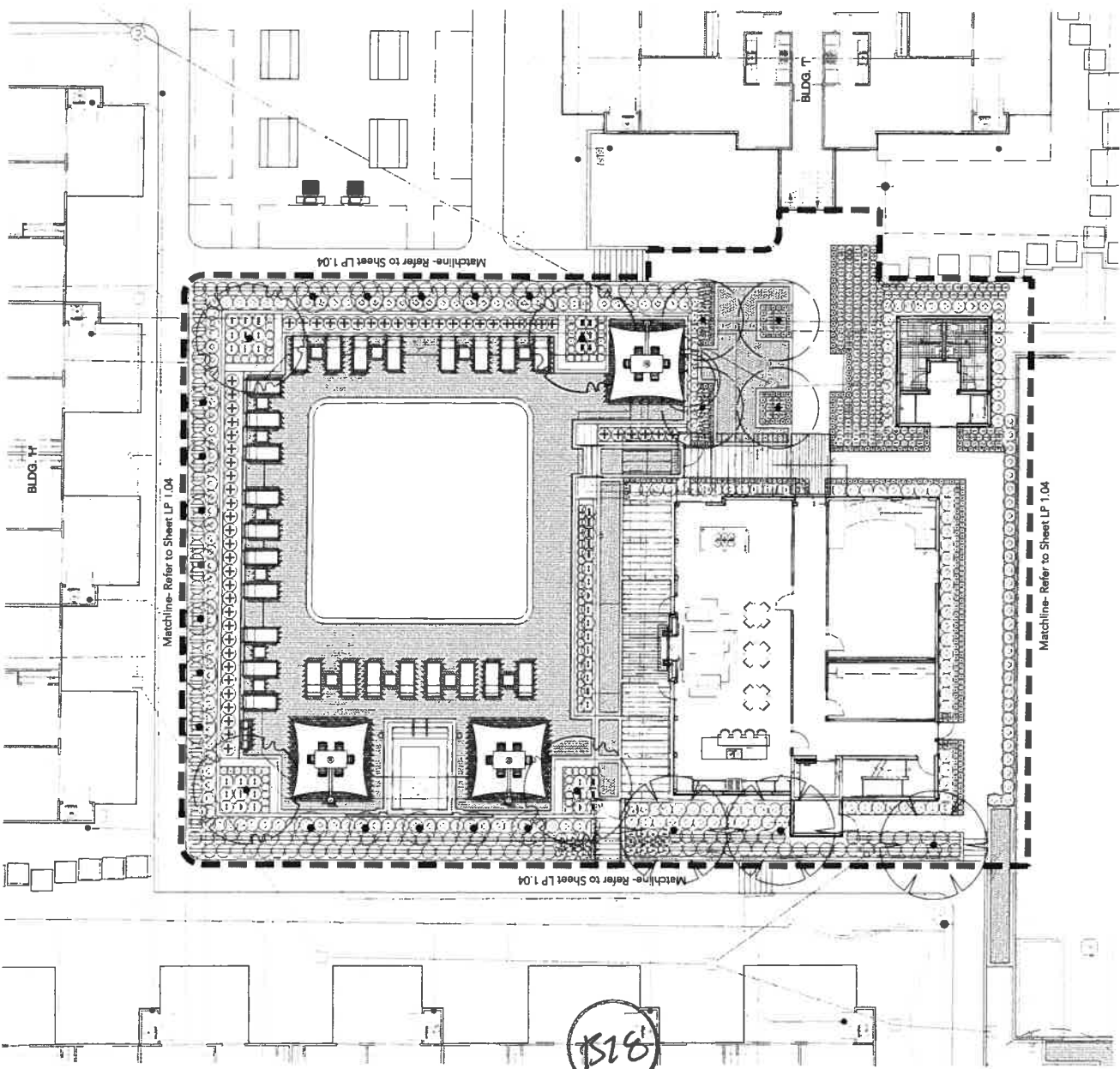
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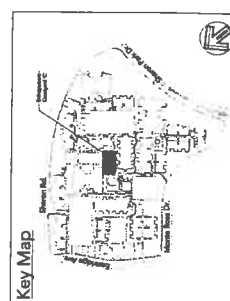






PLANTING SCHEDULE:

Symbol	Botanical Name	Size / Spacing	Qty
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CONDITIONAL DEVELOPMENT PERMIT

1. Applicant: Mr. Duncan Macdonald
 2. Property Location: Northeasterly corner of the Sharon Estate Included on Tentative Map "Sharon Heights, Unit No. 10" and Lot 12, Unit No. 3
 3. Area of Property: Approximately 64 acres, including streets; 57 net acres
 4. Proposed Zoning: R-4-A-X (Garden Apartments - Conditional Development)
 5. Purpose of Permit:
 - a) To provide for garden apartment development, regulated so as to control development over a period of years; to provide for a maximum of open space, preservation of existing ground cover and to provide many of the desirable characteristics found in single family residential areas.
 - (b) To amend Conditional Development Permit approved February 5, 1963.
- Uses Permitted: High rise apartments, garden apartments, town houses, accessory buildings and appurtenant recreation facilities.
6. Density shall not exceed 1,017 units, distributed approximately as shown on attached map entitled "Density Distribution, Sharon Heights Unit No. 10".
 7. Maps to be approved by Planning Commission and City Council.
 - a) Tentative Subdivision Map
 - b) Preliminary Site Plan for total area, showing building sites.
 8. Development Plans shall be approved by the Planning Commission prior to application for a building permit. Development plan approval for buildings higher than 2½ stories must be preceded by a public hearing. Said Development Plans shall include:
 - a) Location and elevations of buildings.
 - b) Proposed access to buildings.
 - c) Location of parking and layout of off-street parking.
 - d) Location and type of landscaping and recreation facilities.
 - e) Physical features such as trees, hydrants, flood lights, street lights, fences,
 - f) Proposed drainage facilities approved by City Engineer.
 - g) Proposed easements.
 - h) Cross sections of proposed streets.
 - i) Fire protection facilities considered necessary and reasonable, by the Fire Chief of the Menlo Park Fire District, to provide adequate fire protection.
 9. Development Standards:
 - a) Buildings shall be oriented in a functional non-monotonous manner with a maximum of open space around each main building consisting of courts, parkways and patios. Vehicular traffic shall be separated from recreational areas.
 - b) Any necessary street easement shall be dedicated to the City and shall be improved in accordance with design standards as approved by the City Council.
 - c) Maximum building coverage shall be 15.5 acres; not to exceed 30% of any single parcel. All other regulations of the R-4-A District shall apply except maximum building height, which shall be determined by approved Development Plans.
 - d) All off-street parking areas not under cover shall be screened from view by shrubs or trees whose normal growth is not less than four feet in height.
 - e) All trash and garbage collection areas shall be suitably screened with adequate access for collection vehicles.
 - f) Landscaping shall be installed and maintained according to approved landscaping plan.
 10. A lighted pedestrian walkway shall be constructed and maintained between Sand Hill Road, at Jordan, and Sharon Park Drive.
 11. A Final Subdivision Map shall be filed for the area to be built upon prior to application for a building permit.

12. No portion of the property involved in the development shall be severed or sold unless said severed parcel and the development thereon and the remaining parcel and development thereon shall comply with the requirements of this Conditional Development Permit.
13. This permit may be amended by the same procedure by which it is granted.

Approved by: Menlo Park Planning Commission

Approved by: Menlo Park City Council

Robert L. Ironside
Robert L. Ironside, Secretary

Margaret A. Becker
Margaret A. Becker, City Clerk

Date: December 7, 1964

Date: Jan 12 - 1965

(C2)

DRAFT – February, 10 2014

RESOLUTION NO.

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MENLO
PARK, CALIFORNIA APPROVING A CONDITIONAL DEVELOPMENT
PERMIT AMENDMENT FOR THE PROPERTY LOCATED AT 350
SHARON PARK DRIVE**

WHEREAS, the Zoning Ordinance establishes that a Conditional Development Permit ("CDP") may be issued to allow adjustment of requirements in order to secure special benefits possible through comprehensive planning of large development, and that such adjustment is intended to allow relief from the monotony of standard development; to permit the application of new and desirable development techniques; and to encourage more usable open space than would otherwise be provided with standard development; and

WHEREAS, the City has received an application from BRE FMCA LLC ("Applicant"), to amend an existing CDP for an existing multi-family residential development; and

WHEREAS, the proposed development will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed development, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City; and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the Planning Commission of the City of Menlo Park on February 10, 2014 whereat all persons interested therein might appear and be heard; and

WHEREAS, the Planning Commission of the City of Menlo Park having fully reviewed, considered and evaluated all the testimony and evidence submitted in this matter voted affirmatively to recommend to the City Council of the City of Menlo Park to amend the CDP; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the City Council of the City of Menlo Park on _____, 2014 whereat all persons interested therein might appear and be heard.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Menlo Park hereby approves the amendments to the Conditional Development Permit for the Property attached hereto as Exhibit A and incorporated herein by this reference.

I, Pamela Aguilar, City Clerk of Menlo Park, do hereby certify that the above and foregoing Council Resolution was duly and regularly passed and adopted at a meeting by said Council on _____, 2014, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

Pamela Aguilar
City Clerk

DRAFT – February 2, 2014

CONDITIONAL DEVELOPMENT PERMIT

350 Sharon Park Drive (“Sharon Green”)

1. GENERAL INFORMATION:

- 1.1 Applicant: Bob Linder for the BRE FMCA LLC
- 1.2 Property Owner: BRE FMCA LLC
- 1.3 Nature of Project: Conditional Development Permit (CDP) Amendment to increase the maximum permitted building coverage at the site addressed 350 Sharon Park Drive, located within the Sharon heights Unit 10 subdivision and corresponding CDP (dated approved January 12, 1965), from 30 percent, per the previous approved CDP, to 40 percent. The proposed building coverage increase is associated with the development of a new leasing center, reconstructed recreation building, and other site improvements. The proposed increase in building coverage would not allow for an increase in density. As part of the approval of the CDP amendment, the applicant is proposing to construct approximately 8,505 square feet of additional building coverage, for a current total proposed building coverage of 39.52 percent. Any future additions or new structures would be subject to architectural control review by the Planning Commission.
- 1.4 Property Location (Project Site): 350 Sharon Park Drive
- 1.5 Assessor's Parcel Numbers: 074-281-110 and 074-281-120
- 1.6 Area of Property: 679,266 square feet (15.6 acres)
- 1.7 Zoning: R-3-A (X) (Garden Apartment, Conditional Development)
- 1.8 Previous entitlements: The amended Conditional Development Permit for 350 Sharon Park Drive supersedes the previously granted Conditional Development Permit for the site. The amended permit applies only to the property addressed 350 Sharon Park. All other properties within the boundary of the Sharon Heights Unit 10 subdivision are regulated by the CDP approved January 12, 1965.

2. DEVELOPMENT STANDARDS:

- 2.1 The current development contains building coverage of **38.75 percent**, which exceeds the **30 percent** development standard set forth in the 1965 CDP. Per this permit, the maximum building coverage for the site shall not exceed **40 percent** through Architectural Control review by the conditions contained herein and in accordance with Section 6.1.3 (Major Modifications) of this document.

- 2.2 Building setbacks shall be in accordance with the approved plans, which may be modified through Architectural Control review by the conditions contained herein and in accordance with Section 6.1.3 (Major Modifications) of this document.
- 2.3 Building height shall not exceed **36 feet, ten-and-one-quarter inches**.
- 2.4 All rooftop equipment shall be fully screened and integrated into the design of the building. Rooftop equipment shall comply with noise requirements of the Municipal Code.
- 2.5 For development standards not expressly identified in this CDP, please refer to the CDP for Sharon Heights Unit 10, approved January 12, 1965.

3. USES:

- 3.1 The following uses are permitted at the site:

- 3.1.1 High rise apartments, garden apartments, townhouses, accessory buildings, and appurtenant recreation facilities, consistent with the original CDP. Per the amended CDP, administrative facilities are also permitted uses at the subject site.

4 SIGNS:

- 4.1 Signage shall comply with the proposed signage program identified in the plan set. The maximum proposed sign area shall not exceed the existing sign area at the subject site.

5 DENSITY:

- 5.1 Density shall not exceed the existing 296 units at the subject site, which is consistent with the "Density Distribution, Sharon Heights Unit 10" exhibit, dated November 1964.

6 TRASH AND RECYCLING:

- 6.1 The applicant shall continue to work with the waste service provider to relocate the existing trash collection from the public right-of-ways to on-site locations. The applicant shall at a minimum, relocate the trash collection on Monte Rosa Drive and Sharon Road to locations within the site, as identified on the Trash and Recycling plan dated received January 17, 2014 and approved by the City Council on March 4, 2014.

7 HERITAGE TREES:

- 7.1 The applicant shall maintain a minimum of 186 heritage trees on the campus at all times, which shall be considered the baseline number of heritage trees.

7.2 To ensure compliance with the proposed baseline, the applicant shall submit an annual report identifying the number of heritage trees on-site, and the existing health and overall condition of each individual tree. The annual report shall be submitted to the City for the first five years after approval of this amendment.

7.3 If the applicant fails to maintain the baseline number of heritage trees at the site, the applicant shall be required to replace the deficient number of trees at a four-to-one ratio. The replacement trees shall be a minimum of 24-inch box size, and shall be subject to review and approval of the Planning Division and City Arborist.

8 RECORDATION:

8.1 Concurrent with the submittal of a complete building permit application, the applicant shall record the amended Conditional Development Permit with the County of San Mateo County. The applicant shall provide a conformed copy of the recordation prior to building permit issuance and the official recorded copy prior to building permit final.

8.2 The Conditional Development Permit shall be in force on the effective date of the resolution approving the amendment.

9 MODIFICATIONS:

9.1 Modifications to the approved Project may be considered according to the following four tier review process:

9.1.1 Substantially Consistent Modifications are made at the staff level. Substantially Consistent Modifications are changes to or modifications of the Project that are in substantial compliance with and/or substantially consistent with the Project Plans and the Project approvals. Substantially Consistent Modifications are generally not visible to the public and do not affect permitted uses, density or intensity of use, restrictions and requirements relating to subsequent discretionary actions, monetary obligations, conditions or covenants limiting or restricting the use of the Property or similar material elements based on the determination that the proposed modification(s) is consistent with other building and design elements of the approved Conditional Development Permit, and will not have an adverse impact on the character and aesthetics of the Property. The determination as to whether a requested change is a Substantially Consistent modification will be made by the Community Development Director (in his/her reasonable discretion).

9.1.2 Minor Modifications are made at the staff level, but the Planning Commission is provided information regarding these modifications. The determination as to whether a requested change is a Minor Modification is determined by the Community Development Director (in his/her reasonable discretion). A Minor Modification is similar in nature to a

Substantially Consistent Modification, except that Minor Modifications generally are visible to the public and result in minor exterior changes to the Project aesthetics. Any member of the Commission may request within seven (7) days of receipt of the informational notice that the item(s) be reviewed by the Planning Commission.

9.1.3 Major Modifications are reviewed by the Planning Commission through Architectural Control. Major Modifications include, but are not limited to, significant changes to the exterior appearance of the buildings or appearance of the Property, and changes to the approved plans, including the addition of building coverage and modifications to the building setbacks, provided that the proposed modification meets all other development regulations set forth in the Section 2 of this document. The determination as to whether a requested change is a Major Modification is determined by the Community Development Director (in his/her reasonable discretion). In reviewing Major Modifications, the Planning Commission shall evaluate the project using the Zoning Ordinance findings for architectural control applications.

9.1.4 Conditional Development Permit Amendments are reviewed by the Planning Commission and the City Council. Conditional Development Permit Amendments are required where the Applicant seeks revisions to the Project which involve (a) the relaxation of the development standards identified in Section 2 (with the exception of setbacks and building coverage) (b) material changes to the uses identified in Section 3, (c) exceedance of the maximum permissible signage area identified in Section 4, or (d) material modifications to the conditions of approval identified in Section 8. If the Applicant wishes to make a change that requires an amendment to this Conditional Development Permit, it shall apply, in writing, to the Planning Division for review and recommendation to the Planning Commission. The Planning Commission shall then forward its recommendation to the City Council for amendment(s) to the Conditional Development Permit.

10 PROJECT SPECIFIC CONDITIONS - GENERAL:

10.1 Indemnity by Owner: The Owner shall indemnify, defend and hold harmless City, and its elective and appointive boards, commissions, officers, agents, contractors and employees (collectively, "City Indemnified Parties") from any and all claims, causes of action, damages, costs or expenses (including reasonable attorneys' fees) arising out of or in connection with, or caused on account of, the development and occupancy of the Project, any Approval with respect thereto, or claims for injury or death to persons, or damage to property, as a result of the operations of Owner or its employees, agents, contractors, representatives or tenants with respect to the Project (collectively, "Claims"); provided, however, that Owner shall have no liability under this Section 7.1 for Claims arising from the gross negligence or willful misconduct of any City Indemnified Party, or for Claims arising from, or alleged to arise

from, the repair or maintenance by the City of any improvements that have been offered for dedication by Owner and accepted by the City.

- 10.2 Project Plans: Development of the Project shall be substantially in conformance with the following plans submitted by BDE Architecture dated received by the Planning Division on October 22, 2013, consisting of 83 plan sheets, recommended for approval to the City Council by the Planning Commission on March 18, 2013, and approved by the City Council on _____, 2013, except as modified by the conditions contained herein and in accordance with Section 6 (modifications) of this document.
- 10.3 Requirements of External Agencies: Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, Recology, and utility companies' regulations that are directly applicable to the project.
- 10.4 Requirements of Internal Departments: Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
- 10.5 Demolition and Recycling: Prior to demolition permit and building permit issuance, the applicant shall comply with the requirements of Chapter 12.48 (Salvaging and Recycling of Construction and Demolition Debris) of the City of Menlo Park Municipal Code, and is subject to review and approval by the Engineering and Building Divisions.
- 10.6 Construction Safety and Erosion Control Plan: Prior to demolition permit issuance, the applicant shall submit a plan for 1) construction safety fences around the periphery of the construction area, 2) dust control, 3) erosion and sedimentation control, 4) tree protection fencing, and 5) construction vehicle parking. The plans shall be subject to review and approval by the Building and Engineering Divisions prior to issuance of a demolition permit. The fences and erosion and sedimentation control measures shall be installed according to the approved plan prior to commencing demolition.
- 10.7 Heritage Trees: Prior to demolition permit issuance, the applicant shall submit a heritage tree preservation plan, detailing the location of and methods for all tree protection measures, as described in the arborist report. The project arborist shall submit a letter confirming adequate installation of the tree protection measures. The project sponsor shall retain an arborist throughout the term of the project, and the project arborist shall submit periodic inspection reports to the Building Division. The heritage tree preservation plan shall be subject to review and approval by the Planning Division.
- 10.8 Truck Route Plan: Prior to demolition permit issuance, the applicant shall submit a truck route plan and permit to be reviewed and approved by the Transportation Division.

- 10.9 Utilities: Concurrent with the submittal of a complete building permit application, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering, and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations, dimensions, and colors of all meters, transformers, junction boxes, relay boxes, and other equipment boxes. The utility plans shall also show backflow and Double Check Detector Assembly (DCDA) devices.
- 10.10 Grading and Drainage Plan: Concurrent with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval by the Engineering Division. The Grading and Drainage Plan shall be prepared based on the City's Grading and Drainage Plan Guidelines and Checklist and the Project Applicant Checklist for the National Pollution Discharge Elimination System (NPDES) Permit Requirements. The erosion and sediment control plans shall be attached to the Grading and Drainage plans and may be similar to the erosion control plan provided for the demolition permit. The Grading and Drainage Plan shall be approved prior to or concurrent with the issuance of a building permit.
- 10.11 Geotechnical Report: Concurrent with the submittal of a complete building permit application, a design-level geotechnical investigation report shall be submitted the Building Division for review and confirmation that the proposed development fully complies with the California Building Code. The report shall determine the project site's surface geotechnical conditions and address potential seismic hazards. The report shall identify building techniques appropriate to minimize seismic damage.
- 10.12 Stormwater: Prior to building permit issuance, the applicant shall enter into and record a "Stormwater Treatment Measures Operations and Maintenance (O&M) Agreement" with the City subject to review and approval by the Engineering Division. With the executed agreement, the property owner is responsible for the operation and maintenance of stormwater treatment measures for the project. The agreement shall run with the land and shall be recorded by the applicant with the San Mateo County Recorder's Office.

February 4th, 2014

City of Menlo Park
Planning Division
Attention: Kyle Perata
701 Laurel Street
Menlo Park, CA 94025



RE: 350 Sharon Green Drive s

Kyle,

This letter is in response to the questions and comments we received during the Planning Commission and EQC hearings in 2013.

Planning Commission November 4, 2013

- We re-evaluated the Heritage removals for both construction and non-construction and have submitted the revised survey to Staff:
 - We reduced the number of Heritage trees from 62 to 42
 - We are planting 159 replacement trees which represents a 3.7:1 ratio where 1:1 is the required mitigation ratio per the City's Heritage Tree Ordinance
 - Additionally, we are planting a total of 239 new trees for the site which is 80 trees above the 159 Heritage replacements
 - Tree sizes will range from 24" to 84' box which exceeds the 15 gallon size per the City's Heritage Tree Ordinance
- Potential Urban Canopy benefits derived from additional trees at the community:
 - Our consultants believe that the new trees should increase the pounds of Oxygen produced when compared with the existing tree count and that the amount of Carbon Dioxide and other pollutants should also decrease
 - Additional benefits include the reduction of storm drain run off from the site as the additional tree canopies will theoretically capture rainfall and which may reduce the amount of irrigation required

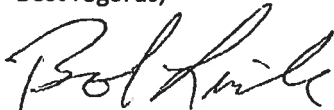
- We are also reviewing our existing tree and plant palate to determine if we can increase the amount of drought tolerant species
- Construction Phasing:
 - A detailed phasing and construction execution plan have been prepared and submitted to City
 - The phasing plan also includes a table that reflects the number of Heritage Trees that will be removed during that segment of work
 - BRE will be holding town hall meetings with residents upon project approval and at least 3 months before the commencement of any work on the residential buildings
- Feasibility of replacing all of the buildings windows first:
 - We studied the feasibility of installing all of the new windows prior to the project's exterior renovations. The upgrades included a 50/50 blend of retrofit and nail in windows. Where the nail in windows occurs there is a flange that would require the stucco and siding work to be completed while the windows are being replaced. Replacing the windows at the time of each building's exterior improvements is the most reasonable method for completing the upgrades
 - Windows will be replaced at the beginning of each buildings renovation and will be completed in one day.
- Trash pickup
 - We met with Recology and we have agreed on a revised trash pickup plan and have forwarded the proposed plan to City
- ADA – Not applicable as project in compliance with all local, State and Federal codes

EQC – December 18, 2013

- At the request of the EQC, and for our own edification, BRE studied 3 different layouts for the Leasing Center in an effort to save additional Heritage Trees. We discovered that the potential to redesign the Leasing Center was not practical for the following reasons:
 - The best plan we devised would only save 2 Heritage trees and negatively impact the drive entrance from Sharon Park Drive and require a "one way" circulation pattern through the new leasing center parking lot
 - Significant grading would be required to revise the leasing center and would result in large retaining walls and switchback ramps to address ADA path of travel
 - Articulation of leasing building and views from Sharon Park Drive would be negatively impacted
- BRE has reviewed the feasibility of replacing the 42 proposed Heritage Tree removals with Heritage Trees and found that it is not a practical course of action for the following reasons:
 - Heritage sized trees have less chance of long term survival and lower growth rate than the trees species and sizes currently reflected on our conceptual landscaping plan
 - Heritage trees will require larger areas of excavation and will present a logistical problem of getting equipment to access areas between buildings, parking structures etc.

- We examined the potential to transplant the existing Plum Trees and the likelihood of long term health and survival makes this scenario impractical
- Financial impact is significant
- Heritage Tree Baseline:
 - Owner will agree to establish a Baseline number of Heritage Trees under the following proposal
 - The Baseline number will be based upon the approved landscaping plan and confirmed at the time of final project completion/inspection
 - A 5-year monitoring plan with annual reports submitted by owner's arborist. Owner will pay for the City's review of the annual reports. City and Owner will establish a budget formula for calculating the cost of City review

Best regards,


Bob Linder

Sr. Director, Real Estate Investment

BRE Properties, Inc.

BRE Properties, Inc.
5141 California, Ste 250
Irvine, CA 92617

Telephone: 949-863-4255

Facsimile: 949-863-4202

Frances Ouellette
Sr. Director Reinvestments Capital Improvements

January 29, 2014

Kyle Perata
City Of Menlo Park
Planning Commission
701 Laurel Street
Menlo Park, CA 94025

Dear Mr. Perata,


RECEIVED

JAN 17 2014

 **CITY OF MENLO PARK
PLANNING**

Outlined below is the construction execution plan for each component of the Sharon Green Renovation Project. The execution of the work is based on the existing field conditions as we know them today. Several site inspections of the exterior and interior buildings, site topography and pot holing have been completed to support the execution assumptions. The construction plan is subject to change if there are unknown field conditions that may arise during the renovation process.

Exterior Phasing Plan

The exterior renovation will consist of 6 phases as outlined below. Each phase will include the completion of the residential building exteriors and the site amenities associated with each phase. The work will continue in occupied buildings and all construction and building codes will be enforced during the construction process to ensure the safety of the residents, guests, workers and vendors associated with the renovation and operations of the property. Included are the interior upgrades in the corridors of buildings Type 1 and 2, the work will be in process while the apartment homes are occupied. All work will take place Monday through Friday from 8:00 am to 5:00 pm.

The table below includes the sequencing of the Heritage Tree Removals associated with each phase of the renovation process.

Phase #0	Fire line Installation		12 ea Heritage Tree Removals Impacting Phases 1-5
Phase #1	Exterior Renovation of 3 Residential Buildings/New Construction of Leasing Office	Includes Landscape Amenities	8 ea Heritage Tree Removal
Phase #2	Exterior Renovation of 4 Buildings	Includes Landscape Amenities	8 ea Heritage Tree Removal
Phase #3	Exterior Renovation of 3 Residential Buildings/Reconstruct Clubhouse Building in current location	Includes Landscape Amenities	7 ea Heritage Tree Removal

F4

Phase #4	Exterior Renovation of 3 Residential Buildings	Includes Landscape Amenities	2 ea Heritage Tree Removal
Phase #5	Exterior Renovation of 4 Residential Buildings	Includes Landscape Amenities	5 ea Heritage Tree Removal

Site work

The site work consists of installing the fire line for a complete fire sprinklers system, grading, plumbing, electrical and foundation work for the new leasing office and reconstruction of the clubhouse. The installation of the fire line is expected to take an estimated 4-6 months to complete. The work will occur around the buildings and throughout the property. All Heritage Tree Ordinance, Building Code, Bay Area Air Quality Management and OSHA requirements will be in place prior to and during the course of construction.

Exterior Buildings

The renovation of the exterior building includes new roofs, new windows, new privacy patio and ornamental iron railings. The building envelope will include new stucco and Hardy Plank Siding. During the exterior construction the new gas and plumbing line infrastructure will be installed for the washer and dryers and fire sprinkler system. The exterior work will require the installation of lighted scaffolding around at each building and will remain until each individual building is complete. Each building is expected to take 4-6 months depending on the individual building type and the construction will run concurrently with at least three buildings under construction at one time.

NOTE: The feasibility of installing the new upgraded window replacements as a separate project before the exterior renovation starts has been reviewed. The upgrades included a 50/50 blend of retrofit and nail in windows. Where the nail in windows occurs there is a flange that would require the stucco and siding work to be completed while the windows are being replaced. Replacing the windows at the time of the building exterior improvements is the most reasonable and best practice for completing the upgrades.

Unit Interior Upgrades

The unit interior upgrades include new cabinets, quartz countertops, stainless steel appliances, plumbing and electrical fixtures and new flooring throughout. The work also includes the final tie in for the washer/dryer hook ups, fire sprinkler systems and gas line for the new appliances. The unit upgrade work will take place when the apartment home is vacant and expected to take about 20-25 work days to complete the upgrades.

Sincerely,

BRE Properties, Inc.

Frances C. Ouellette
Sr. Director, Reinvestments/Capital Improvements

Cc: Bob Linder Director Sr. Director Real Estate Investments

(F5)

Begin forwarded message:

From: Gino Gasparini <ggasparini@recology.com>
Date: November 19, 2013 at 5:14:35 PM PST
To: "mwiford@Breproperties.com" <mwiford@Breproperties.com>
Cc: "afitzwater@cassinfo.com" <afitzwater@cassinfo.com>, Yvette Madera <ymadera@recology.com>
Subject: Sharon Green Recology San Mateo County Collection Services

Good afternoon Michael—Per our phone conversation regarding the Sharon Green/BRE Properties location in Menlo Park and our Recology San Mateo County recycling and waste services, I have included my comments/directions pertaining to the realities of the service situation at the complex.

As I mentioned to you, at one time (in my much younger days) I worked on the collection vehicles and we/I did service the Sharon Green complex in much the same way. It was three times a week service (as it is now, M/W/F). Our trucks stayed on the streets as the collection containers were brought out to the street area. This is not unusual in many "older" Multi-Family/Apartment/Condo developments where there is no truck access to the containers and/or limited space/height to dump the containers. There are also current developments being built (as we speak) in Redwood City that fall within the guidelines of the Redwood City Downtown Precise Plan that require the containers to be brought out to an area for dumping that is not unlike Sharon Green.

With that said, we would be happy to work with BRE regarding your redevelopment of the site and to discuss and be a part of the design that has an "on site/property location" to stage the dumpsters and keep them off the streets.

In the meantime, we can look at exchanging the recycling bins/containers for larger containers. By doing this, we may be able to cut down on the service days which means less bins on the streets and we can certainly look at the possibility of doing this with the waste bins/containers as well. Also, and on the service days, I would like to investigate if we can "tighten up" the service times so that the containers are only on the streets for no more than an hour—of course this would take coordination with your team at the Sharon Green Complex. **As an example**, if your team can get the carts out (and only out) by 9AM on the service days, we would have them all dumped by 10AM and ready to get them off the streets.

Looking forward to working with you and if you have any further questions or concerns, please do not hesitate to contact me.

All the best—Gino

Gino Gasparini
Public Affairs Manager

Recology San Mateo County
225 Shoreway Road | San Carlos, CA 94070
T: 650.598.8254 | M: 650-333-5915 | ggasparini@recology.com
(a **Recology**™ company)

WASTE ZERO

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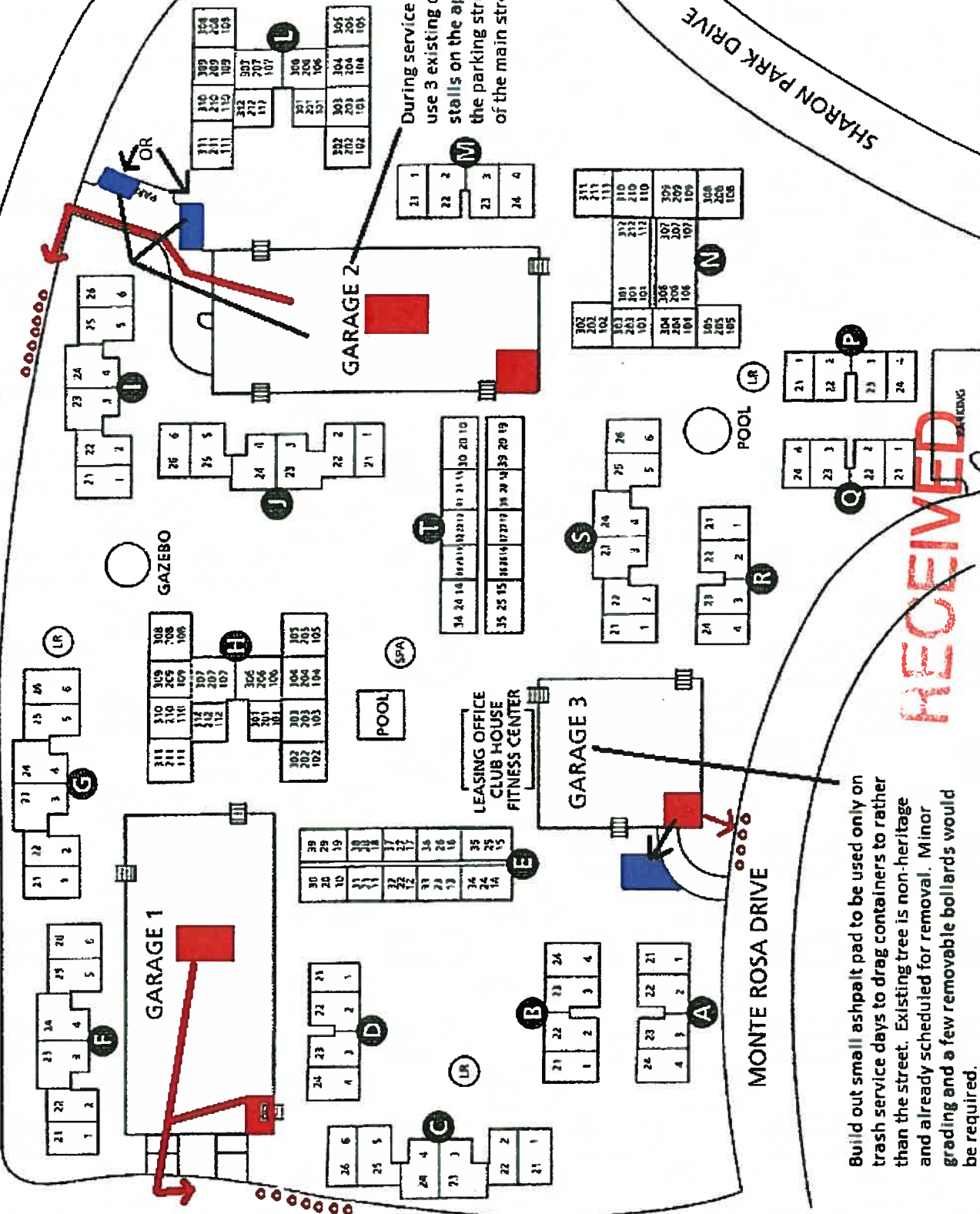
SHARON ROAD



EAST RIDGE AVENUE

SHARON PARK DRIVE

MONTE ROSA DRIVE



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JAN 17 2014

CITY OF MENLO PARK
PLANNING

Existing Plan
Potential Plan

350 Sharon Park Drive
Menlo Park, CA 94025
www.breSharonGreen.com
650.854.3900



Sharon Green

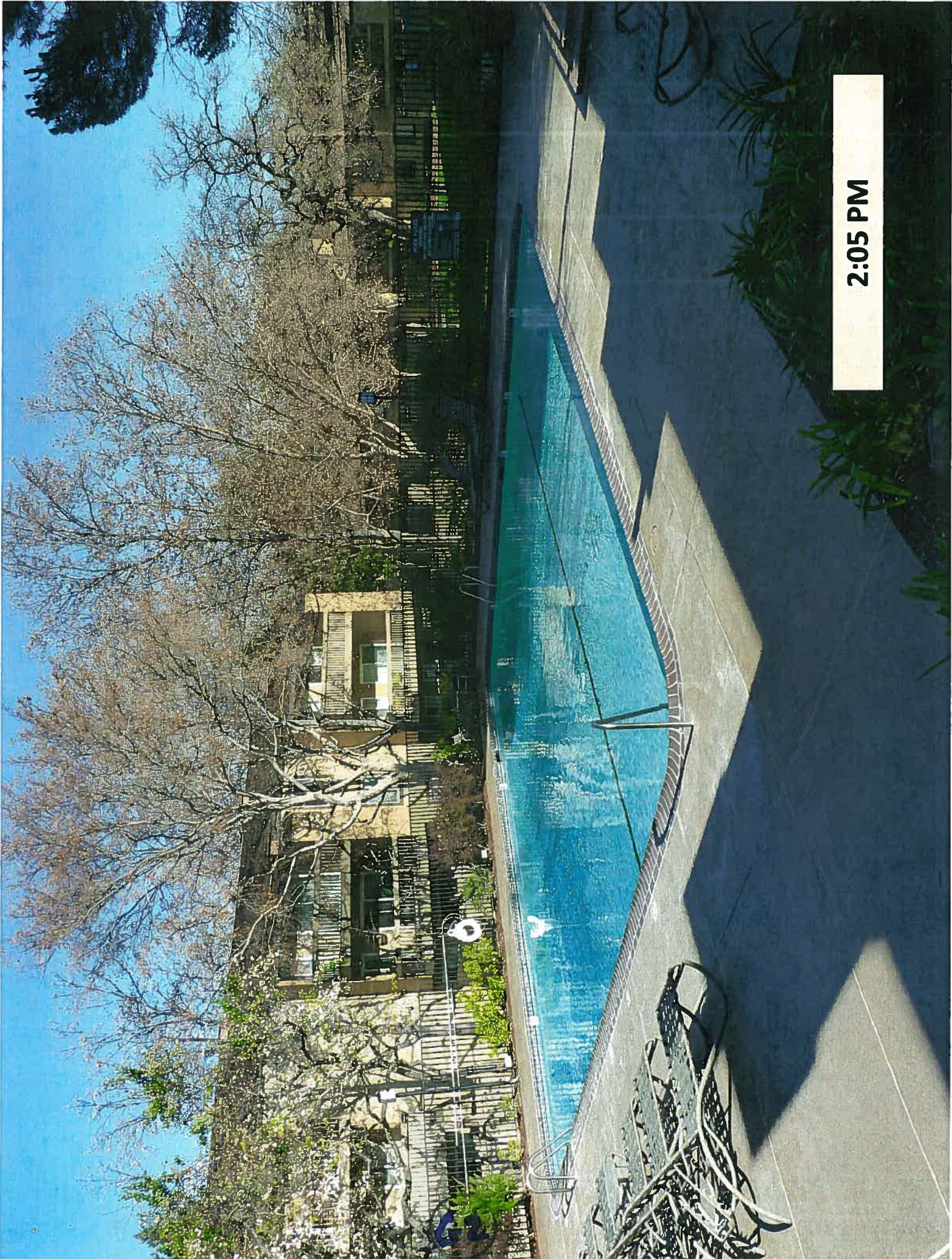
A BRE PROPERTY

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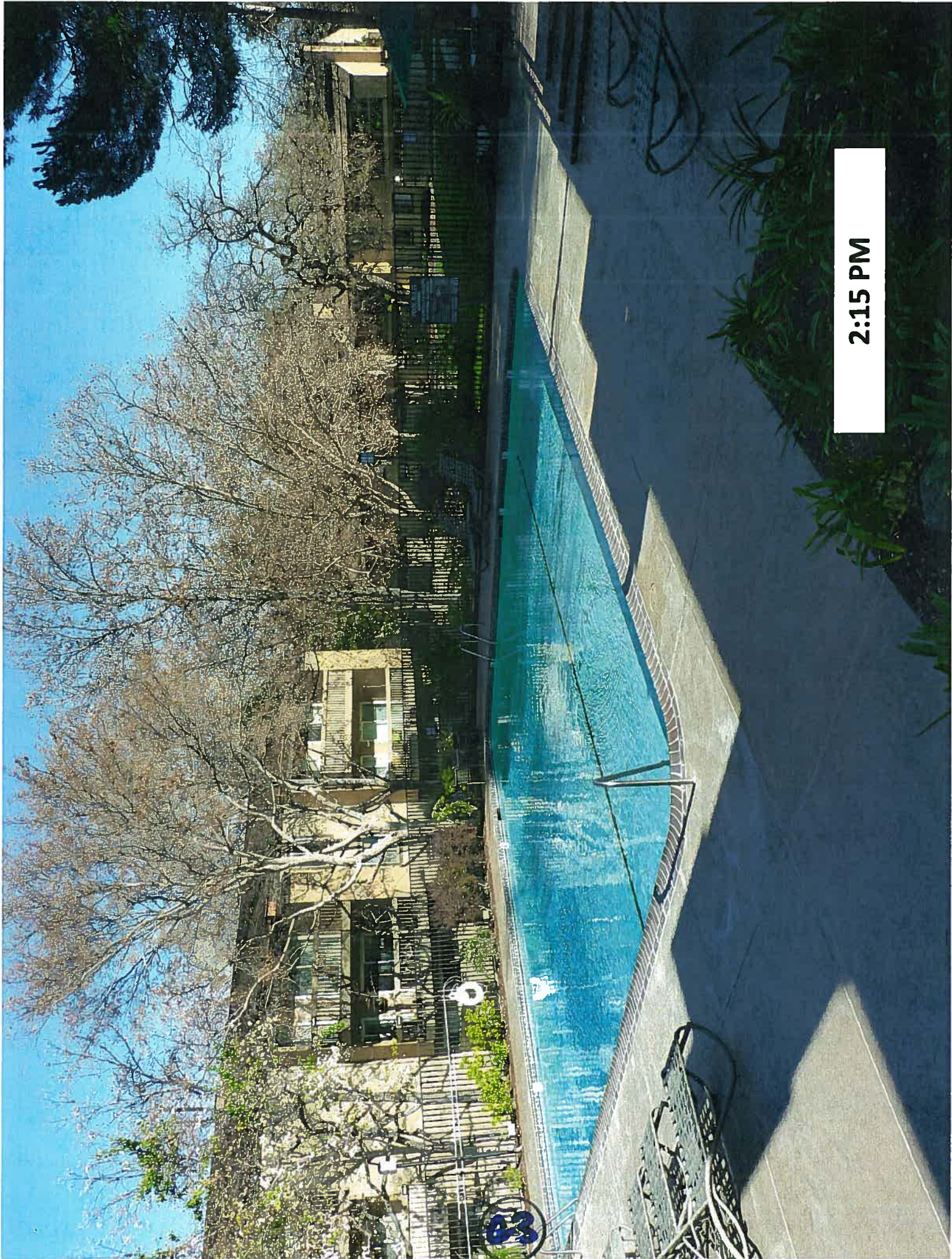
Sharon Green Rec Center Pool

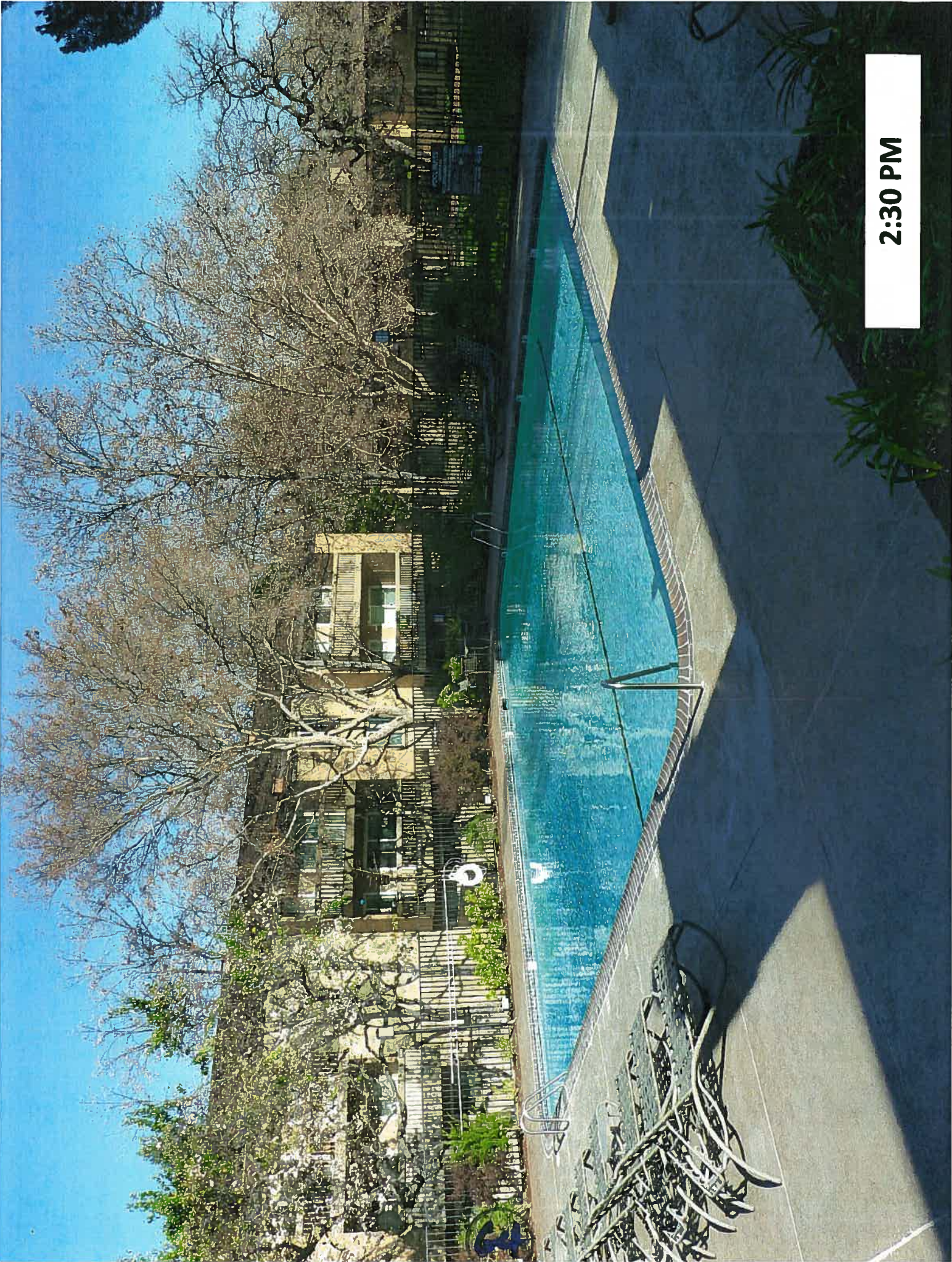
Shade Study – Existing Conditions January 2014

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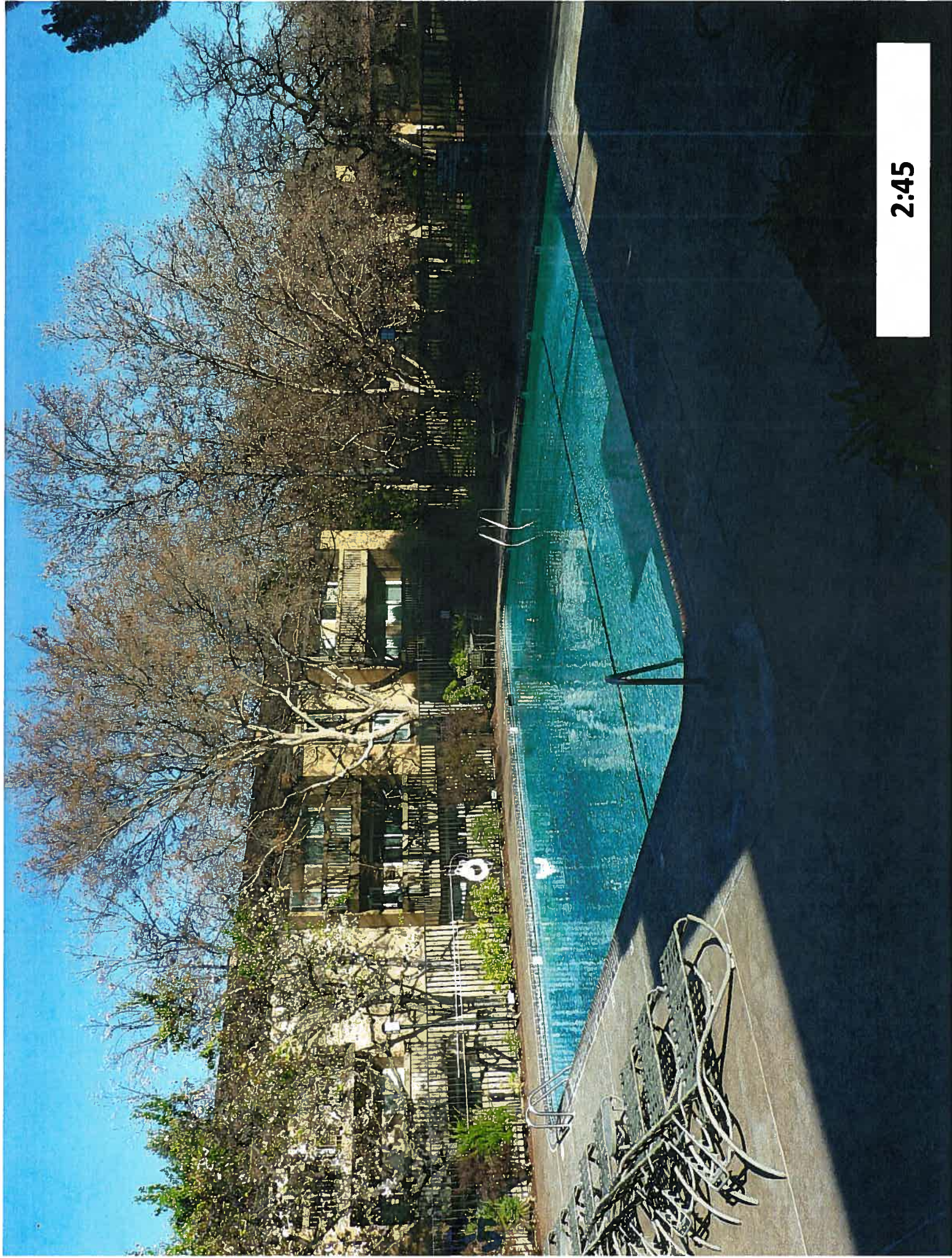


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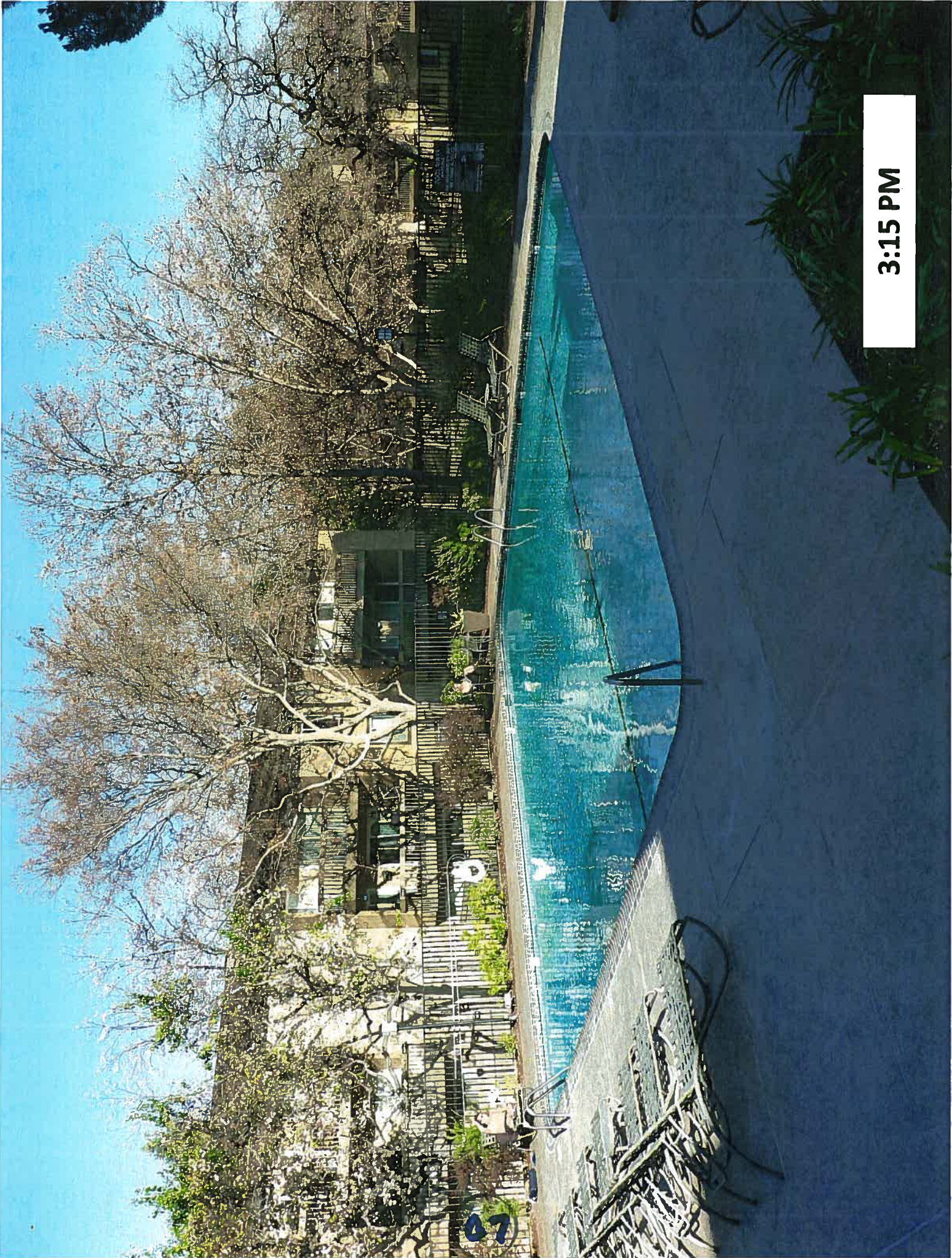
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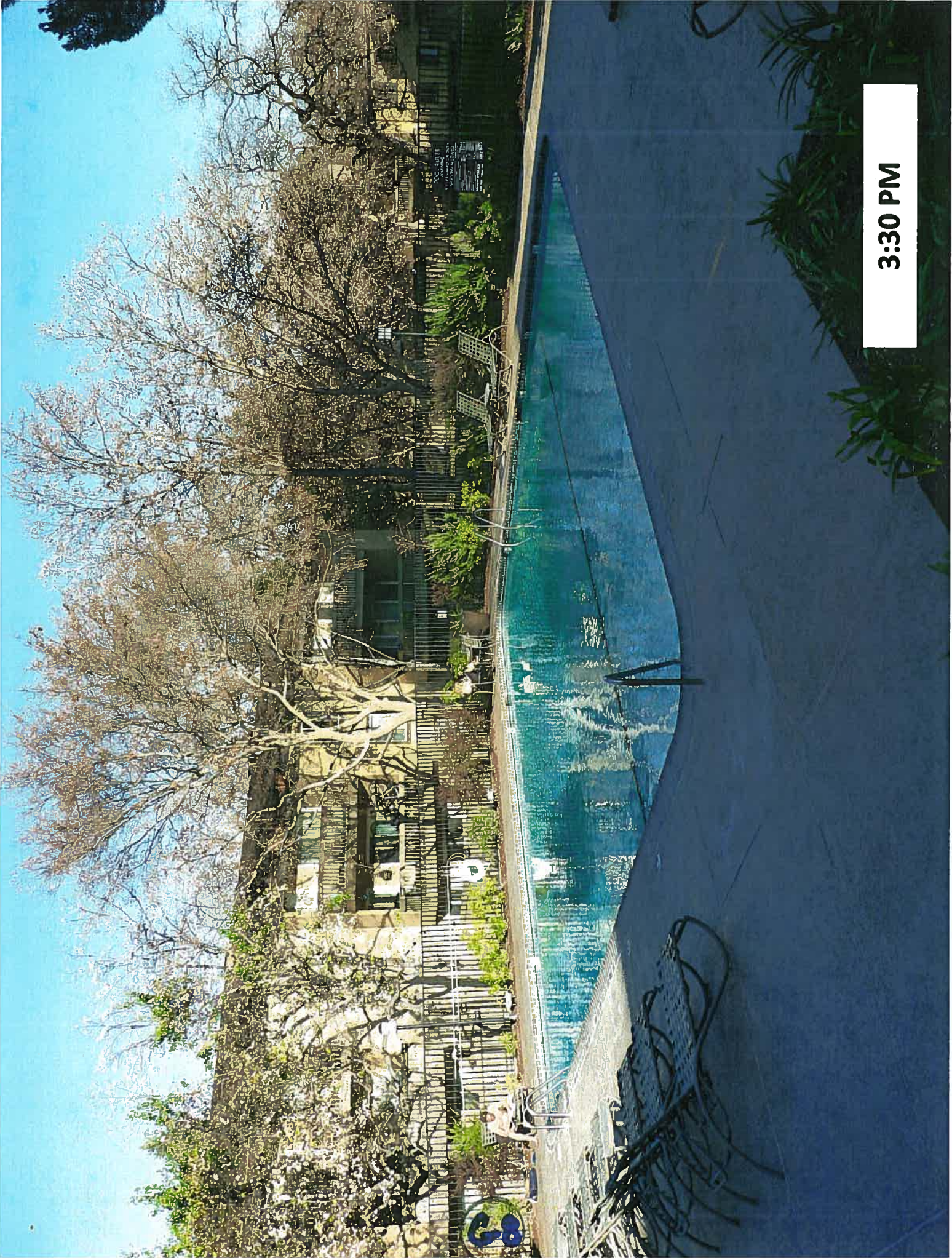
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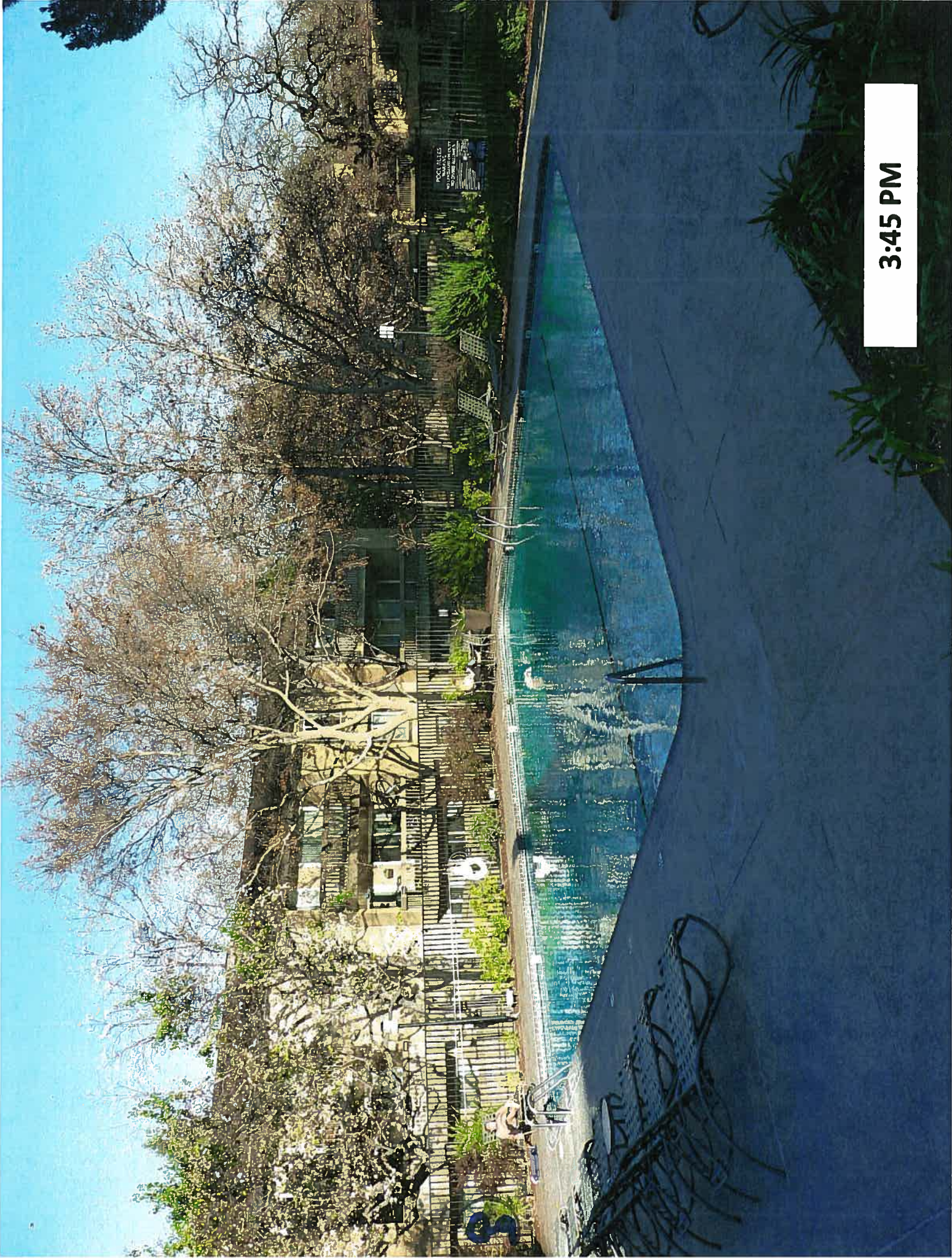
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EDWARD G. DETMER, A.I.A. ARCHITECT
JONATHAN ENNIS, A.I.A. ARCHITECT

465 CALIFORNIA STREET
SUITE 1200
SAN FRANCISCO, CA 94104
Phone: (415) 677-0966
FAX : (415) 677-0964

Project Description
Updated February 4, 2014

BRE's Sharon Green Apartments is an existing multi-family project in Menlo Park that is comprised of seventeen (17) two and three-story buildings on a 15 acre site. The renovations being proposed are intended to update and preserve our community by modernizing the residential buildings, landscaping and community open space. Our proposal also includes the construction of a new 2,069 square foot leasing office and replacement of our clubhouse and fitness center.

The new Leasing Office will create a welcoming gesture to future residents, while the new community amenities provide a modern clubhouse/fitness center and a variety of redesigned outdoor spaces for residents to enjoy. Updating the exterior building materials and landscaping improves the aesthetics of our property, while other improvements, such as the addition of fire sprinklers, laundry rooms and new windows, improve the safety and quality of the apartments. Minor renovations and repairs have occurred over the past 40 years, but the proposed project is intended to provide a comprehensive upgrade necessary to extend the life of the community.

We understand that any change to the Sharon Green Apartments can be seen as a disruption to current residents and a real concern for the surrounding community. BRE sent letters to the community in July of this year informing them that an application was filed with the City for the proposed improvements. BRE also sent emails in early October to individuals that sent comments to the City. That effort resulted in a meeting at the site on October 29, 2013. We encourage people to stay in contact with BRE during this process should they have additional questions or comments. BRE also tagged all of the trees with color coded ribbons prior to the EQC hearing but they were removed by the next day by unknown individuals. We tagged trees again on February 3 for the Planning Commission to view before the hearing on February 10th.

Furthermore, BRE will schedule a Town Hall meeting with our residents to outline the construction schedule and development plans upon project approval and at least 3 months prior to any work occurring at the site.

The proposed scope of work is outlined in greater detail below:

1. Provide Fire Sprinklers to the all existing and new buildings:

- Provide new underground fire water mains throughout the site to supply new fire sprinkler systems
- Automatic sprinkler protection will be added to all new buildings and provided for two new buildings, the Leasing Office and Recreation Center
- Fire alarm systems will be extended or replaced as necessary to account for new initiating devices (water flow alarms) and valve supervisory devices





EDWARD G. DETMER, A.I.A. ARCHITECT
JONATHAN ENNIS, A.I.A. ARCHITECT

465 CALIFORNIA STREET
SUITE 1200
SAN FRANCISCO, CA 94104
Phone: (415) 677-0966
FAX : (415) 677-0964

2. Modify and add landscaping throughout the site:

- Reduced the total number of Heritage Tree removals from 62 to 42:
 - 11 Heritage Trees to be removed for construction reasons – fire loop and building construction/renovation
 - 31 removed due to health concerns
 - 23 re-designated for preservation since Planning Commission hearing
- We are planting 159 replacement trees which represents a 3.7:1 ratio where 1:1 is the required mitigation ratio per the City's Heritage Tree Ordinance
- Additionally, we are planting a total of 239 new trees for the site which is 80 trees above the 159 Heritage replacements
- Majority of the proposed trees are similar types to existing trees, both heritage and non-heritage and we will look to include as many drought tolerant species as feasible
- All of the proposed trees are 24" box or larger including large box specimen trees for the landscape areas adjacent to leasing office along the "public edge" of the project
- All proposed trees can reach 30 feet or more at maturity based on documented standards for their size/growth habits
- Upgrade the existing irrigation system
- Improve and introduce exterior common areas such as an outdoor fireplace, outdoor seating, BBQ areas, a bocce ball court, tot-lot and a dog run area
- Enhance the presence of landscape along the edge of property with new planting materials

3. Renovate the exterior of all existing buildings:

- Update building exteriors with smooth, skim coat plaster and horizontal fiber cement siding, as indicated in the elevations
- Replace existing wood deck railings with new metal railings
- Update decks with new waterproofing membrane
- Replace privacy fences on the first floor units with new, painted, wood grain Trex or cedar fences
- Remove window sash and insert replacement windows into existing openings
- Update the roof with parapet walls and dormers as shown in the roof plans and elevations
- Replace the roof with new 30-year asphalt shingle roofing
- Replace roofing and gates on all existing trash and meter rooms



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465 CALIFORNIA STREET
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SAN FRANCISCO, CA 94104
Phone: (415) 677-0966
FAX : (415) 677-0964

4. Modify units to include exterior laundry closets:

- Renovate exterior closets on decks to provide laundry services
- Enlarge exterior closets on first floor patios to provide laundry services
- Modify sewer connections to units to provide laundry services

5. Renovate unit interiors:

- Update finishes, new cabinetry and appliances
- Rewire kitchens and add electrical panels, as required to meet code

6. Build new Leasing Office and replace the Club House/Fitness Center:

- Construct a new Leasing Office, and accompanying parking lot, along Sharon Park Drive
- Demolish existing Leasing Office, Club and Fitness areas after the new Leasing Office is constructed. The new Recreation Center will include a fitness area, a clubhouse and an exterior gathering area



Frances Ouellette
Senior Director, Capital and Renovations
BRE Properties, Inc.
5141 California Avenue, Suite 250
Irvine, CA 92617

December 5, 2013

RE: Sharon Green Apartments, 350 Sharon Park Drive

Assignment

It was requested that Arborwell re-evaluate the 62 proposed heritage trees that were recommended for removal on the Tree Inventory report dated October 30, 2013.

The purpose of this re-evaluation is:

- Identify trees that could potentially be considered for preservation.
- Propose mitigation techniques to lessen associated risks with their retention.
- Provide further information for trees that must be removed.
- Evaluate proposed fire line installation plan and its relationship to existing trees on site.

Background

In the Tree Inventory report dated 10/30/13, 464 trees were assessed and reported on. As is stated above, 62 Heritage trees were recommended for removal. Of this number, 12 removals were classified as such due to proposed development and the remaining 50 were recommended due to health, structural, or location (proximity to structures) concerns. Of this group of 50, the majority of these trees are Monterey pine, Eucalyptus (various species) and Acacia. The inherent problems with these types of trees are well documented.

Thus, these 50 trees were recommended for removal for one or more of the following reasons: 1) Poor health: meaning the trees health was poor enough to call into question its viability and or its safety. 2) Poor structure: meaning the limbs and or leaders in the tree are poorly attached and pose a significant risk to structures and or pedestrians. Or 3) poor location, meaning the trees close proximity to a structure is actively causing damage or poses a significant risk to do damage to the structure to which it is adjacent.

2337 AMERICAN AVE, HAYWARD, CA 94545
2949 EDISON WAY, REDWOOD CITY, CA 94063
1592 LITTLE ORCHARD STREET, SAN JOSE, CA 95110
3207 FITZGERALD ROAD, RANCHO CORDOVA, CA 95742
5601 EASTGATE DRIVE, SAN DIEGO, CA 92121
24551 RAYMOND WAY, SUITE 151, LAKE FOREST, CA 92630

OFFICE: (888) 969-8733
MAIN FAX: (510) 881-5208
WWW.ARBORWELL.COM



An Arborist representing the City of Menlo Park, Mr. Walt Fujii of Fujii Tree Consulting, produced a peer review document dated 10/9/13 of Arborwell's earlier Tree Inventory report dated 9/4/13 and supported all 62 heritage removals. In addition he recommended that an additional 12 heritage trees be removed.

Trees that may be considered for preservation

All trees listed in this section were recommended for removal. These conclusions were supported by the City Arborist. At BRE's request, these heritage tree removals have been re-examined and 23 trees have been identified as having the potential to be preserved if proper mitigation is performed. ***The 23 trees are as follows: 8, 74, 97, 124, 165, 166, 192, 193, 205, 299, 324, 325, 342 – 344, 355, 406 – 409, 439 – 441.*** These trees are individually discussed below.

Please note that in some cases the required mitigation techniques may be detrimental to the health of the tree. For example, in most cases the trees are noted for their poor structure which poses a danger of limb failure. The necessary mitigation in this case would include pruning the tree significantly to reduce risk to a satisfactory level. The required pruning may be such that it strains the health of the subject tree.

Tree #8 Monterey pine – 24" dbh building F. Comments: Representatives of BRE would like to preserve this tree. Because of its lean, and its potential for failure, this is not recommended. Mitigation: If this tree is retained, significantly reduce branch end-weight (side closest to the street) through pruning and monitor.

Tree #74 Red gum – 20" dbh building N. Comments: Tree is in good health, but limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Tree #97 Red Gum – 25" dbh building N. Comments: Tree is in good health, but limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Tree #124 Red Iron Bark – 29" dbh building A. Comments: Tree is in good health, but limbs are poorly attached with included bark and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Tree #165 Monterey pine – 39" dbh building F. Comments: Tree is in fair health, but limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning, remove large limb over Eastridge Avenue and monitor. Please note

that the extent of pruning required to reduce the risk of failure, may negatively impact the tree's health.

Tree #166 Monterey pine – 36" dbh building F. Comments: Tree is in fair health, but limbs are poorly attached and pose a risk of limb failure. This tree has two main leaders with significant bark inclusion. Meaning that there is a risk that one or both of these leaders could fail potentially impacting pedestrians, building F and the parking structure. Mitigation: Significantly reduce branch end-weight through pruning, install cable and monitor. Please note that the extent of pruning required to reduce the risk of failure, may negatively impact the tree's health.

Tree #192 Monterey pine – 32" dbh building G. Comments: Tree is in poor health, limbs are poorly attached and pose a risk of limb failure. Root system is lifting side walk. Mitigation: Significantly reduce branch end-weight through pruning and monitor. Please note that the extent of pruning required to reduce the risk of failure, may negatively impact the tree's health.

Tree #193 Monterey pine – 34" dbh building G. Comments: Tree is in poor health, limbs are poorly attached and pose a risk of limb failure. Root system is lifting side walk. Mitigation: Significantly reduce branch end-weight through pruning and monitor. Please note that the extent of pruning required to reduce the risk of failure, may negatively impact the tree's health.

Tree #205 Red Ironbark – 18" dbh building H. Comments: Tree is in good health, however limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Tree #299 Monterey pine – 35" dbh building N & parking structure. Comments: Tree is in fair health, but limbs are poorly attached and pose a risk of limb failure. Root system is lifting side walk. Also, tree has a significant lean to the West. Mitigation: Significantly reduce branch end-weight through pruning, take additional weight off of West side of canopy and monitor. Please note that the extent of pruning required to reduce the risk of failure, may negatively impact the tree's health.

Tree #324 Silver dollar eucalyptus – 20" dbh building S. Comments: Tree is in good health, but limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Tree #325 Silver dollar eucalyptus – 22" dbh building S. Comments: Tree is in good health, but limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Tree #342 Monterey pine – 42" dbh building Q. Comments: Tree is in fair health, but limbs are poorly attached and pose a risk of limb failure. Falling pine cones are a risk in pool area. Root system is lifting side walk. Mitigation: Significantly reduce branch end-weight and spread of canopy through pruning and monitor. Please note that the extent of pruning required to reduce the risk of failure, may negatively impact the tree's health.

Tree #343 Monterey pine – 27" dbh building S. Comments: Tree is in fair health, but limbs are poorly attached and pose a risk of limb failure. Root system is lifting side walk. Mitigation: Significantly reduce branch end-weight through pruning and monitor. Please note that the extent of pruning required to reduce the risk of failure, may negatively impact the tree's health.

Tree #344 Monterey pine – 27" dbh building S. Comments: Tree is in fair health, but limbs are poorly attached and pose a risk of limb failure. Root system is lifting side walk. Mitigation: Significantly reduce branch end-weight through pruning and monitor. Please note that the extent of pruning required to reduce the risk of failure, may negatively impact the tree's health.

Tree #355 Shamel ash – 17" dbh building S. Comments: Tree is in good health, but limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Tree #406 Silver dollar eucalyptus – 20" dbh building E. Comments: Tree is in good health, but limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Tree #407 Silver dollar eucalyptus – 16" dbh building E. Comments: Tree is in good health, but limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Tree #408 Silver dollar eucalyptus – 22" dbh building E. Comments: Tree is in good health, but limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Tree #409 Silver dollar eucalyptus – 17" dbh building E. Comments: Tree is in good health, but limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Tree #439 Cottonwood – 23" dbh building D. Comments: Tree is in fair health, but limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Tree #440 Cottonwood – 26" dbh building D. Comments: Tree is in fair health, but limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Tree #441 Cottonwood – 23" dbh building D. Comments: Tree is in fair health, but limbs are poorly attached and pose a risk of limb failure. Mitigation: Significantly reduce branch end-weight through pruning and monitor.

Trees recommended for removal

Tree # 33 - 36 Monterey pine – Average 24.5" dbh building I. Comments: These trees are grouped close to each other and the building. The health of these trees is poor as is exhibited by their thin canopies. Trees 34 & 36 have a significant lean over building I. Trees 33 & 35 lean towards Sharon Road. Each of these trees represents a risk to residents and pedestrians. Due to the fact that these trees are clustered together these trees and their canopies have grown somewhat reliant on each other. Therefore it is advisable that they are all removed at the same time. No amount of mitigation can reduce the risk that these trees represent.

Tree # 47 Evergreen pear – 20" dbh building L. Comments: Tree has significant lean due to overcrowding, structure is fair but will never develop correctly due to close proximity to building and other trees.

Tree # 48 Evergreen pear – 15" dbh building L. Comments: Tree has significant lean due to overcrowding, structure is fair but will never develop correctly due to close proximity to building and other trees.

Tree # 75 Red gum – 15" dbh building N. Comments: Tree is in good health, but the structure of this tree is very poor, imbalanced and weighted towards the building, limbs are poorly attached and pose a risk of limb failure. Its close proximity to the building makes preservation impractical.

Tree #'s 87 & 88 Monterey pine – 42" dbh building L. Comments: These very large trees are located between buildings M and L. The root systems are exerting pressure on the foundation of building M and a retaining associated with building L. These canopies have long and dangerously heavy branches that extend over the roof line that pose a risk to residents. Due to the close proximity to the structures, mitigating these risks is not possible.

Tree # 90 Tulip – 22" dbh building N. Comments: Health of this tree is very poor. Branches are weakly attached with included bark. The trunk has significant decay and the tree is at high risk of failure.

Tree # 95 Monterey pine – Average 30.5" dbh building P. Comments: This very large tree is located between buildings P and N. The root system is exerting pressure on the foundation of both buildings. The canopy has long and dangerously heavy branches that extend over the roof line that pose a risk to residents. Due to the close proximity to the structures, mitigating these risks is not possible.

Tree #177 Monterey pine – 30" dbh building F. Comments: Base of tree is in contact with the building. Tree is still actively growing and serious damage to structure is likely. Additionally, the canopy is very heavy over the structure and the walkway. Due to the close proximity to the structures, mitigating these risks is not possible.

Tree #206 Red Ironbark – 19" dbh building H. Comments: Tree is in good health, however, it is located very close to the structure and root system is actively lifting adjacent patio. Limbs are poorly attached and pose a risk of limb failure. Due to the close proximity to the structures, mitigating these risks is not possible.

Tree #'s 294 & 295 Acacia – Average 19" dbh building T. Comments: Trees have extremely poor structure. Both trees have had multiple limb failures in the past and future limb failure is likely. They are located in a tight space between building T and the parking structure. The canopies are currently growing over both the building and the parking garage. The potential of limb failure combined with many potential targets (cars & residents) makes preservation of these trees impractical.

Tree # 296 & 297 Red flowering gum – Average 19" dbh building T. Comments: Trees have extremely poor structure. They are located in a tight space between building T and the parking structure. The canopies are currently growing over both the building and the parking garage. The potential of limb failure combined with many potential targets (cars & residents) makes preservation of these trees impractical.

Tree # 298 Monterey pine – 28" dbh building T. Comments: Tree has significant lean over parking structure and poses a significant risk of failure. Due to the close proximity to the parking structure and the nature of its lean, mitigating these risks is not possible. The potential of limb failure combined with many potential targets (cars & residents) makes preservation of this tree impractical.

Tree #'s 350 – 354 Shamel ash – Average 20" dbh building R. Comments: This group of 5 trees is located between building R and the walk way. The collective root systems of these trees are exerting pressure on the walkways as well as the foundation of the building. These trees are still actively growing and will do further damage. Additionally, the canopies have weak branch attachments and long heavy limbs that extend over the roof line. Due to the close proximity to the structures, mitigating the risks in these trees is not possible.

Tree # 356 Monterey pine – 35" dbh building S. Comments: This tree is much too large for its location and is in poor health. Canopy has many long heavy branches extending over the tennis court and building S. The risk of failure of these limbs poses a significant threat to pedestrians and those that utilize the court. Root system is heaving the side walk and is near utilities that could also be damaged.

Tree # 373 Silver dollar eucalyptus – 16" dbh building T. Comments: Tree is located close to building and is structured very poorly. Due to topping many years ago, the resulting re-growth is poorly attached as is at risk of failure. No amount of mitigation pruning can fix these defects.

Tree # 402 Red Ironbark – 24" dbh building B. Comments: Tree is in good health, however, it is located very close to the structure and is exerting pressure on the foundation. Limbs are poorly attached and pose a risk of limb failure both over the building and over the pedestrian area. Due to the close proximity to the structures, mitigating these risks is not possible.

Tree # 405 Silver dollar eucalyptus – 32" dbh building E. Comments: Tree is much too large for its location. Canopy is comprised of 3 main leaders all of which appear to be very heavy and poorly attached. These leaders (or trunks) extend over the building and the pedestrian area. Due to the close proximity to the structure, mitigating these risks through pruning is not possible.

Tree # 411 Red ironbark – 27" dbh building C. Comments: Tree is much too large for its location between buildings C and D and is very close to the structure. The canopy has 4 main leaders some of which are poorly attached and extend over the roof line of the adjacent structures. Additionally, many years ago the tree was topped and the resulting regrowth is also poorly attached and at risk of failure. Due to the close proximity to the structure, mitigating these risks through pruning is not possible.

Tree # 412 Red ironbark – 31" dbh building C and laundry. Comments: The structure of this tree is very poor in part due to the nature of the species and due to the fact that years ago the tree was topped and the resulting regrowth is poorly attached and poses a risk of failure. Despite a regular maintenance program, this tree has had multiple limb failures in the past 5 years.

Tree #417 Silver dollar eucalyptus – 17" dbh building B. Comments: Tree has very poor structure and an imbalanced canopy. Additionally, it is located too close to the building.

Tree # 450 Monterey pine – 26" dbh building C. Comments: This tree is located between building C and the parking garage. It has two main leaders that are attached at approximately 3' above grade. This branch attachment is severely included. With this condition, the leader that is growing over the parking garage is at significant risk of failure.

Construction removals

Tree #'s 91 – 94, 96, 98, 99, 246 are listed as construction removals.

Additional construction removals for fire line installation

A site review of the proposed fire line was done. During this process 3 additional heritage trees were identified as needing to be removed to allow for its installation. Listed below are comments on each tree.

Tree # 315 Blue oak – 27" dbh building L. Comments: Though the original tree inventory recommended removal, BRE representatives desired to preserve this tree because of it being an Oak. However, the original comments show that the tree is in poor condition showing signs of trunk and limb decay and is located against the parking structure. Additionally, it is now apparent that it will be adversely affected by the installation of the fire line. Thus, it is recommended for removal.

Tree # 317 Sycamore – 15" dbh building L. Comments: Though the health of this tree is good, the City Arborist's representative noted extensive trunk decay and encouraged this tree to be re-considered for removal.

Tree # 122 Monterey pine – 30" dbh near the tennis court. Tree is in good health, however it does have a significant lean towards the street. Tree is located approximately 3' from the sidewalk. The plans for the fire line show the installation trench running between the side walk and the tree. Meaning that large roots will be impacted causing the tree to potentially become a hazard.




Conclusion

Sharon Green has many mature trees that truly add value to the community of Menlo Park. Unfortunately, there are also a number of large trees that were unwisely planted too close buildings many years ago that now are causing significant problems to the community and are threatening the safety of its residents. One of the fundamental principles of arboriculture is having the right tree in the right location. Moving forward with the proposed removals and their replacements will help this site to have many more trees that are placed in such a way so that the community can truly benefit from them.

Respectfully submitted,

Jonathan Cardenas
Certified Arborist WC #4333A
925-260-3186

TREE REMOVAL SCHEDULE:

TREES	Symbol	Description	Quantity
		Existing Heritage Trees to be removed per City Ordinance	11
		Existing Heritage Trees to be removed due to health and/or structural concerns	41
		Existing Heritage Trees to be removed per City Ordinance	22
Total Heritage Trees to be Removed			74



Sharon Green Apartment Homes
Revised Heritage Tree Preservation Diagram
March 2014, CA
January 16, 2014



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December 10, 2013

City of Menlo Park
Engineering Division
701 Laurel Street
Menlo Park, CA 94025

Tree Protection Measures for Sharon Green Apartments

The objective of this report is to reduce the negative impacts of construction on trees to a less-than-significant level. Trees vary in their ability to adapt to altered growing conditions, while mature trees have established stable biological systems in the preexisting physical environment. Disruption of this environment by construction activities interrupts the tree's physiological processes, causing depletion of energy reserves and a decline in vigor. This sometimes can result in death. Typically, this reaction may develop several years or more after disruption.

The tree protection regulations are intended to guide a construction project to ensure that appropriate practices will be implemented in the field to eliminate undesirable consequences that may result from uninformed or careless acts, and preserve both trees and property values.

The following are required to be implemented along with the Tree Protection Plan (TPP):

- 1) The project arborist or contractor shall verify, in writing, that all preconstruction conditions have been met (tree fencing, erosion control, pruning, etc.)
- 2) The demolition, grading and underground contractors, construction superintendent and other pertinent personnel are required to meet with the project arborist at the site prior to beginning work to review procedures, tree protection measures and to establish haul routes, staging, areas, contacts, watering, etc.
- 3) Fenced enclosures shall be erected around trees to be protected to achieve three primary goals:
 - a) To keep the foliage crowns and branching structure of the trees to be preserved clear from contact by equipment, materials and activities;
 - b) Preserve roots intact and maintain proper soil conditions in a non-compacted state;
 - c) To identify the tree protection zone (TPZ) in which no soil disturbance is permitted and activities are restricted.

Tree Protection Zone (TPZ)

Each tree to be preserved shall have a designated TPZ identifying the area sufficiently large enough to protect the tree and roots from disturbance. The recommended TPZ area can be determined by the canopy footprint. The TPZ shall be shown on all site plans for the project. Improvements or activities such as landscape enhancements, paving, utility and irrigation trenching and other ancillary activities shall occur outside the TPZ, unless authorized by the project arborist. Unless otherwise specified, the protective fencing shall serve as the TPZ boundaries.

Activities prohibited within the TPZ include:

- Storage or parking of vehicles, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots. Poisonous materials include, but are not limited to, paint, petroleum products, concrete or stucco mix, dirty water or any other material which may be deleterious to tree health.
- Lighting of fires under or near the tree.
- The use of tree trunks as a winch support, anchorage, as a temporary power pole, sign posts or other similar function.
- Cutting of tree roots by utility trenching, foundation digging, placement of curbs and trenches and other miscellaneous excavation without prior approval of the project arborist.
- Soil disturbance or grade/drainage changes.

Activities permitted or required within the TPZ include:

- Mulching: During construction, wood chips shall be spread within the TPZ to a six (6) inch depth, clear of the trunk by twelve (12) inches to avoid inadvertent compaction and moisture loss from occurring. The mulch may be removed if improvements or other landscaping is required. Mulch material shall be two (2) inch unpainted, untreated wood chip mulch or approved equal.
- Root Buffer: When areas under the tree canopy cannot be fenced, a temporary buffer is required and shall cover the root zone and remain in place at the specified thickness until final grading stage.
- Irrigation, aeration, fertilizing or other beneficial practices that have been specifically approved for use within the TPZ.
- As stated in the Menlo Park Tree Protection Specifications document: "Where the City Arborist or Project Arborist has determined that tree protection fencing will interfere with the safety of work crews, Tree Wrap may be used as an alternative form of tree protection. Wooden slats at least one inch thick are to be bound securely, edge to edge, around the trunk. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the outside of the wooden slats. Major scaffold limbs may require protection as determined by the City Arborist or Project Arborist. Straw waddle may also be used as a trunk wrap by coiling the waddle around the trunk up to a minimum height of six



feet from grade. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the straw waddle.”

Size and type of fence

All trees to be preserved shall be protected with six (6) foot high chain link fences installed around the dripline of the tree. The fences may be moved to a distance of no less than two (2) feet from the trunk of any tree, if approved by the project or city arborist. Fences are to be mounted on one and a half (1.5) inch diameter galvanized iron posts, driven into the ground to a depth of at least two (2) feet at no more than ten (10) foot spacing. This detail shall appear on grading, demolition and improvement plans.

Type of Tree Protection for Project

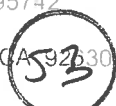
Type I Tree Protection: The fences shall enclose the entire area under the canopy dripline or tree protection zone (TPZ) of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project.

Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.

Duration of Tree Protection Fencing: Tree fencing shall be erected prior to demolition, grading or construction and remain in place until final inspection.

“Warning” Signage

A warning sign of a minimum of 8.5x11 inches shall be prominently displayed on each fence. The sign shall clearly state: “WARNING - Tree Protection Zone - This fence shall not be removed and is subject to penalty.”



Pruning, Surgery and Removal

Prior to construction, trees may require that branches be pruned clear from structures, activities, building encroachment or may need to be strengthened by means of mechanical support (cabling) or surgery. Such pruning, surgery or the removal of trees shall adhere to the following standards:

1) Pruning limitations:

- **Minimum Pruning:** If the project arborist recommends that trees be pruned, and the type of pruning is left unspecified, the standard pruning shall consist of 'crown cleaning' as defined by ISA Pruning Guidelines. Trees shall be pruned to reduce hazards and develop a strong, safe framework.
- **Maximum Pruning:** Maximum pruning should only occur in the rarest situation approved by the project arborist. No more than one-fourth (1/4) of the functioning leaf and stem area may be removed within one (1) calendar year of any tree, or removal of foliage so as to cause the unbalancing of the tree. It must be recognized that trees are individual in form and structure, and that pruning needs may not always fit strict rules. The project arborist shall assume all responsibility for special pruning practices that vary from the standards outlined in this TPP.
- **Tree Workers:** Pruning shall not be attempted by construction or contractor personnel, but shall be performed by a qualified tree care specialist or certified tree worker.



Activities During Construction and Demolition Near Trees

Soil disturbance or other injurious and detrimental activity within the TPZ is prohibited unless approved by the project arborist. If an injurious event inadvertently occurs, or soil disturbance has been specifically conditioned for project approval, then the following mitigation is required:

- **Soil Compaction:** If compaction of the soil occurs, it shall be mitigated by using the following methods:
 - **Air spading** to loosen up compacted soil, without disturbing the roots themselves, and incorporating organic matter to improve the soil structure.
 - **Mulching:** During construction, wood chips shall be spread within the TPZ to a six (6) inch depth, clear of the trunk by twelve (12) inches to avoid inadvertent compaction and moisture loss from occurring. The mulch may be removed if improvements or other landscaping is required. Mulch material shall be two (2) inch unpainted, untreated wood chip mulch or approved equal.
 - **Root Buffer:** When areas under the tree canopy cannot be fenced, a temporary buffer is required and shall cover the root zone and remain in place at the specified thickness until final grading stage.
- **Grading Limitations within the Tree Protection Zone:**
 - Grade changes outside of the TPZ shall not significantly alter drainage to the tree.
 - Grade changes within the TPZ are not permitted.
 - Grade changes under specifically approved circumstances: the Project Arborist shall not allow more than six (6) inches of fill soil added or allow more than four (4) inches of existing soil to be removed from natural grade unless mitigated.

Trenching, Excavation and Equipment Use

Avoid placing of underground utilities within the drip line of any tree. When utilities are run through the root zone of a tree, horizontal coring should be used instead of trenching. If it is not possible to use horizontal coring, the onsite certified arborist should be contacted before trenching begins. Excavation or boring activity within the TPZ is restricted to the following activities, conditions and requirements if approved by the project arborist:

- **Notification:** Contractor shall notify the project arborist a minimum of twenty-four (24) hours in advance of the activity in the TPZ.
- **Root Severance:** Roots that are encountered shall be cut to sound wood and repaired. Roots two (2) inches and greater must remain injury free.
- **Excavation:** Any approved excavation, demolition or extraction of material shall be performed with equipment sitting outside the TPZ. Methods permitted are by hand digging, hydraulic or pneumatic air excavation technology. Avoid excavation within the TPZ during hot, dry weather.
 - a) If excavation or trenching for drainage, utilities, irrigation lines, etc., it is the duty of the contractor to tunnel under any roots two (2) inches in diameter and greater.
 - b) Prior to excavation for foundation/footings/walls, grading or trenching within the TPZ, roots shall first be severed cleanly one (1) foot outside the TPZ and to the depth of the future excavation. The trench must then be hand dug and roots pruned with a saw, sawzall, narrow trencher with sharp blades or other approved root pruning equipment.
- **Heavy Equipment:** Use of backhoes, steel tread tractors or any heavy vehicles within the TPZ is prohibited.

Root Severance

Cutting and removal of roots smaller than two (2) inches in diameter shall be done by chain saw or hand saw to provide a flat and smooth cut and cause the least damage possible to the root and tree's health. Cutting roots by means of tractor-type equipment or other than chain saws and hand saws is prohibited. The Project Arborist is to perform or supervise the cutting of damaged roots two inches or greater in diameter.

Proper pruning technique shall encourage callusing of the roots. Root cutting and removal shall not exceed thirty-five (35) percent of total root surface.

The Contractor shall remove any wood chips or debris that may be left over from root removal that may affect the construction of improvements as directed by the Project Arborist.

If any roots over two (2) inches in diameter are severed during any excavation, the following procedure shall be followed:

- 1) The Contractor is to properly notify and schedule the Project Arborist to perform or supervise the cutting of any damaged roots two inches or greater in diameter. As with any site visit, the Project Arborist is to submit a written report of his/her findings and results to the City Arborist.
- 2) The roots shall be shaded by immediately covering the entire trench with plywood, or by covering the sides of the trench with burlap sheeting that is kept moist by watering twice per day.
- 3) When ready to backfill, each root shall be severed cleanly with a handsaw. Where practical, they should be cut back to a side root. Immediately, a plastic bag shall be placed over the fresh cut, and secured with a rubber band or electrical tape. Shading should immediately be placed until backfilling occurs.
- 4) Plastic bags shall be removed prior to backfilling.
- 5) Backfill shall be clean, native material free of debris, gravel or wood chips.

Irrigation Program

Irrigate to wet the soil within the TPZ to a depth of twenty-four to thirty (24-30) inches at least once a month. Begin irrigating immediately prior to any construction activity. Alternatively, sub-surface irrigation may be used at regular specified intervals by injecting on approximate three (3) foot centers, ten (10) gallons of water per inch trunk diameter within the TPZ. Duration shall be until project completion or monthly until seasonal rainfall totals at least eight (8) inches of rain, unless specified otherwise by the project arborist.

Damage to Trees - Reporting

Any damage or injury to trees shall be reported within six (6) hours to the project arborist so that mitigation can take place. All mechanical or chemical injury to branches, trunk or to roots over two (2) inches in diameter shall be reported in the monthly inspection report. The Project Arborist is to perform or supervise the cutting of damaged roots two inches or greater in diameter. In the event of injury, the following mitigation and damage control measures shall apply:

- **Root injury:** If trenches are cut and tree roots two (2) inches or larger are encountered they must be cleanly cut back to a sound wood lateral root. The end of the root shall be covered with either a plastic bag and secured with tape or rubber band, or be coated with latex paint. All exposed root areas within the TPZ shall be backfilled or covered within one (1) hour. Exposed roots may be kept from drying out by temporarily covering the roots and draping layered burlap or carpeting over the upper three (3) feet of trench walls. The materials must be kept wet until backfilled to reduce evaporation from the trench walls.
- **Bark or trunk wounding:** Current bark tracing and treatment methods shall be performed by a qualified tree care specialist within two (2) days.
- **Scaffold branch or leaf canopy injury:** Remove broken or torn branches back to an appropriate branch capable of resuming terminal growth within five (5) days. If leaves are heat scorched from equipment exhaust pipes, consult the project arborist within six (6) hours.



Inspection Schedule

The project arborist retained by the applicant shall conduct the following required inspections of the construction site:

- Inspections shall verify that the type of tree protection and/or plantings re consistent with the standards outlined within this TPP. For each required inspection or meeting, a written summary of the changing tree related conditions, actions taken, and condition of trees shall be provided to the contactor.
- Inspection of Protective Tree Fencing.
- Pre-Construction Meeting. Prior to commencement of construction, the contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading equipment operators, and the project arborist.
- Inspection of Rough Grading. The project arborist shall perform an inspection during the course of rough grading adjacent to the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least forty-eight (48) hours advance notice of such activity.
- Monthly Inspections. The project arborist shall perform monthly inspections to monitor changing conditions and tree health. The City Arborist shall be in receipt of an inspection summary during the first week of each calendar month or, immediately if there are any changes to the approved plans or protection measures.
- Any special activity within the Tree Protection Zone. Work in this area (TPZ) requires the direct on-site supervision of the project arborist.

Trees Identified for Type 1 Tree Protection
Listed by Phase, based on Phasing Plan Sheet A1.1

Phase I

76	Redwood
77	Redwood
78	Redwood
79	Redwood
80	Redwood
89	Tulip Tree
100	Tulip Tree
101	Tulip Tree
102	Tulip Tree
103	Valley Oak
104	Valley Oak
105	Redwood
106	Redwood
107	Redwood
108	Redwood
110	Redwood
111	Monterey Pine
112	White Oak
304	White Birch
305	White Birch
306	White Birch
307	White Birch
331	White Birch
332	White Birch
333	White Birch
337	Shamel Ash
338	Shamel Ash
339	Shamel Ash
340	Shamel Ash
341	Redwood



Phase II

116	Tulip Tree
120	Monterey Pine
248	Stone Pine
249	Stone Pine
250	Tulip Tree
251	Tulip Tree
252	Tulip Tree
253	Tulip Tree
322	White Birch
323	White Birch
326	White Birch
327	White Birch
328	White Birch
329	White Birch
330	White Birch
358	White Birch
365	White Oak
366	White Oak
367	White Birch

Phase III

37	Monterey Pine
38	Chinese Elm
50	Monterey Pine
59	Redwood
60	Redwood
61	Redwood
81	Redwood
255	Valley Oak (Large)
264	Monterey Pine
265	Sycamore
266	Sycamore
267	Sycamore
269	Sycamore
270	Sycamore
271	Sycamore
272	Sycamore
274	Sycamore
275	Sycamore
276	Sycamore
278	Redwood

279	Redwood
282	Redwood
284	Redwood
285	Sycamore
286	Sycamore
287	Sycamore
288	Sycamore
289	Sycamore
293	Sycamore
315	Valley Oak
316	Valley Oak
317	Sycamore
318	Sycamore
319	Sycamore
320	Sycamore
321	White Birch
462	Holly Oak
463	Valley Oak
464	Monterey Pine



Phase IV

1	Liquidambar
3	Liquidambar
8	Monterey Pine
9	Liquidambar
11	Liquidambar
13	Liquidambar
14	Liquidambar
15	Liquidambar
16	Liquidambar
17	Holly Oak
18	Liquidambar
19	Liquidambar
20	Liquidambar
21	Liquidambar
22	Liquidambar
23	Redwood
24	Redwood
26	Redwood
164	Holly Oak
165	Monterey Pine
166	Monterey Pine
170	Sycamore
171	Sycamore
172	Sycamore
173	Sycamore
174	Sycamore
175	Sycamore
179	Sycamore
180	Sycamore
181	Sycamore
182	Sycamore
183	Sycamore
184	Sycamore
185	Sycamore
194	Sycamore
195	Sycamore
196	Sycamore
197	Sycamore

198	Sycamore
199	Sycamore
200	Sycamore
214	Sycamore
215	Sycamore
216	Sycamore
217	Sycamore
218	Sycamore
221	Chinese Elm
222	Chinese Elm
223	Chinese Elm
224	Chinese Elm
225	Sycamore
226	Sycamore
227	Sycamore
228	Sycamore
229	Sycamore
230	Sycamore
231	Sycamore
232	Sycamore
233	Valley Oak
234	Valley Oak
235	Valley Oak
237	Tulip Tree
238	Tulip Tree
239	Tulip Tree
256	Sycamore
257	Sycamore
258	Sycamore
259	Sycamore
260	Sycamore
261	Sycamore
262	Sycamore
263	Sycamore
377	Tulip Tree
378	Tulip Tree
379	Tulip Tree
449	Monterey Pine

Phase V

125	Tulip Tree
126	Tulip Tree
127	Tulip Tree
137	Camphor
138	Redwood
139	Redwood
143	Redwood
144	Redwood
145	Redwood
146	Redwood
147	Redwood
148	Redwood
149	Redwood
150	Redwood
154	Redwood
155	Redwood
156	Redwood
157	Redwood
158	Monterey Pine
159	Monterey Pine
384	Redwood
385	Redwood
386	Redwood
387	Redwood
388	Redwood
389	Redwood
391	Monterey Pine
392	Sycamore
393	Sycamore
394	Sycamore
395	Sycamore

396	Sycamore
397	Sycamore
398	Sycamore
399	Sycamore
400	Sycamore
419	Holly Oak
420	Coast Live Oak
421	Coast Live Oak
422	Monterey Pine
423	Monterey Pine
424	Monterey Pine
425	Sycamore
426	Sycamore
427	Sycamore
428	Sycamore
429	Sycamore
430	Sycamore
431	Sycamore
432	Sycamore
433	Sycamore
434	Sycamore
435	Sycamore
436	Sycamore
437	Sycamore
438	Sycamore
456	Sycamore
457	Sycamore
458	Sycamore
459	Sycamore
460	Monterey Pine
461	Laurel

Assumptions and Limiting Conditions

While trees vary in their tolerance to changed conditions, disruption in any form of the environment to which the trees have grown accustomed may result in adverse reaction. Human activity among and near trees is inherently contrary to tree welfare and there are inherent risks associated. The following are limitations to this report:

- All information presented herein covers only the trees examined at the area of inspection, and reflects the conditions observed of said trees at the time of inspection.
- Observations were performed visually without probing, dissecting, coring, or exaction, unless noted above, and in no way shall the observer be held responsible for any defects that could have only been discovered by performing said services in specific area(s) where a defect was located.
- No guarantee or warranty is made, expressed or implied, that defects of the trees inspected may not arise in the future.
- No assurance can be offered that if the recommendations and precautionary measures are accepted and followed, that the desired results may be attained.
- No responsibility is assumed for the methods used by any person or company executing the recommendations provided in this report.
- The information provided herein represents an opinion, and in no way is the reporting of a specified finding, conclusion, or value based on the retainer.
- This report is proprietary to Arborwell, and may not be reproduced in whole or part without written consent. This report has been prepared exclusively for use of the parties to which it has been submitted.
- Should any part of this report be altered, damaged, corrupted, or lost the entire evaluation shall be invalid.

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TREE NO.	BOTANICAL NAME	COMMON NAME	DBH	CONDITION 1=Poor 2=Fair 3=Good 4=Very Good 5=Excellent	COMMENTS, RECOMMENDATIONS	REMOVE / PRESERVE	REMOVAL REASON (STRUCTURAL/HEALTH, CONSTRUCTION)	HERITAGE TREE?
1	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	11	3	Young tree; excellent health	Preserve		Non-heritage
2	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	16	3	Healthy tree; heavy on the ends	Preserve		Heritage
3	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	13	3	Tree failed & was removed 10/29/13			
4	<i>Prunus cerasifera</i>	<i>Plum</i>	8	1	Tree damaged by the failure of tree #3. Was removed on 10/29/13			
5	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	18	3	Good health and vigor	Preserve		Heritage
6	<i>Prunus cerasifera</i>	<i>Plum</i>	10	1	Removal recommended; tree has very poor structure and is a poor specimen. It is showing signs of trunk and root decay.	Remove	Structural/Health	Non-heritage
7	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	14	3	Good health and vigor	Preserve		Non-heritage
8	<i>Pinus radiata</i>	<i>Monterey Pine</i>	24	2	Removal recommended; heavily weighted on one side, showing signs of uprooting and is causing damage to patio.	Preserve		Heritage
9	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	14	3	Good health and vigor	Preserve		Non-heritage
10	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	15	3	Removal recommended; poor structure at very top and could lose large limbs at any time; is located near a walkway	Preserve		Heritage
11	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	14	3	Healthy tree; many water sprouts	Preserve		Non-heritage
12	<i>Prunus cerasifera</i>	<i>Plum</i>	7	1	Removal recommended; this tree has very poor structure and is a poor specimen. It is showing signs of trunk and root decay.	Remove	Structural/Health	Non-heritage

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13	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	17	3	Heavy on the ends; good health	Preserve		Heritage
14	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	12	3	Healthy with good structure	Preserve		Non-heritage
15	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	11	3	Healthy young tree	Preserve		Non-heritage
16	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	8	1	Removal recommended; overcrowded with severe trunk decay	Preserve		Non-heritage
17	<i>Quercus ilex</i>	<i>Holly Oak</i>	13	2	Good health; thin canopy	Preserve		Non-heritage
18	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	13	3	Good structure, good health	Preserve		Non-heritage
19	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	7	1	Removal recommended; overcrowded with severe root decay	Preserve		Non-heritage
20	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	12	3	Poor structure; good health	Preserve		Non-heritage
21	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	8	2	Removal recommended; may have root decay; poor structure and will be growing over the building in the future	Preserve		Non-heritage
22	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	10	3	Heavy on one side - slightly imbalanced	Preserve		Non-heritage
23	<i>Sequoia sempervirens</i>	<i>Redwood</i>	40	4	Good health	Preserve		Heritage
24	<i>Sequoia sempervirens</i>	<i>Redwood</i>	19	4	Good health	Preserve		Heritage
25	<i>Prunus cerasifera</i>	<i>Plum</i>	13	3	Poor structure	Remove	Structural/Health	Non-heritage
26	<i>Sequoia sempervirens</i>	<i>Redwood</i>	26	4	Good health	Preserve		Heritage
27	<i>Sequoia sempervirens</i>	<i>Redwood</i>	27	4	Good health	Preserve		Heritage
28	<i>Sequoia sempervirens</i>	<i>Redwood</i>	26	4	Good health	Preserve		Heritage
29	<i>Sequoia sempervirens</i>	<i>Redwood</i>	25	4	Good health	Preserve		Heritage
30	<i>Sequoia sempervirens</i>	<i>Redwood</i>	20	4	Good health	Preserve		Heritage

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31	<i>Sequoia sempervirens</i>	Redwood	15	4	Excellent health	Preserve		Heritage
32	<i>Sequoia sempervirens</i>	Redwood	19	4	Excellent health	Preserve		Heritage
33	<i>Pinus radiata</i>	Monterey Pine	24	2	Removal recommended; canopy looks thin; tree is in close proximity and leaning over building and may cause damage to foundation and pipes.	Remove	Structural/Health	Heritage
34	<i>Pinus radiata</i>	Monterey Pine	25	2	Removal recommended; canopy looks thin; tree is in close proximity and leaning over building and may cause damage to foundation and pipes.	Remove	Structural/Health	Heritage
35	<i>Pinus radiata</i>	Monterey Pine	23	2	Removal recommended; tree is in close proximity to building and may cause damage to foundation and pipes.	Remove	Structural/Health	Heritage
36	<i>Pinus radiata</i>	Monterey Pine	26	2	Removal recommended; canopy looks thin; tree is in close proximity and leaning over building and may cause damage to foundation and pipes.	Remove	Structural/Health	Heritage
37	<i>Pinus radiata</i>	Monterey Pine	30	2	Removal recommended; tree is in close proximity to building and may cause damage to foundation and pipes.	Preserve		Heritage
38	<i>Ulmus parvifolia</i>	Chinese Elm	18	3	Good health and vigor	Preserve		Heritage
39	<i>Liriodendron tulipifera</i>	Tulip Tree	9	3	Good health and vigor; heavy ended	Preserve		Non-heritage
40	<i>Liriodendron tulipifera</i>	Tulip Tree	18	3	Good health and vigor; heavy ended	Preserve		Heritage
41	<i>Liriodendron tulipifera</i>	Tulip Tree	11	3	Good health and vigor; heavy ended	Preserve		Non-heritage
42	<i>Liriodendron tulipifera</i>	Tulip Tree	13	3	Good health and vigor; heavy ended	Preserve		Non-heritage

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43	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	15	3	Good health and vigor; heavy ended	Preserve		Heritage
44	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	14	3	Good health and vigor; heavy ended	Preserve		Non-heritage
45	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	14	3	Good health and vigor; heavy ended	Preserve		Non-heritage
46	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	15	3	Good health, heavy ended	Preserve		Heritage
47	<i>Pyrus kawakamii</i>	<i>Evergreen Pear</i>	20	3	Removal recommended; has developed a heavy lean due to overcrowding, structure is fair but will never develop correctly due to close proximity to the building and other trees.	Remove	Structural/Health	Heritage
48	<i>Pyrus kawakamii</i>	<i>Evergreen Pear</i>	15	3	Removal recommended; has developed a heavy lean due to overcrowding, structure is fair but will never develop correctly due to close proximity to the building and other trees.	Remove	Structural/Health	Heritage
49	<i>Pyrus kawakamii</i>	<i>Evergreen Pear</i>	9	3	Removal recommended; has developed a heavy lean due to overcrowding, structure is fair but will never develop correctly due to close proximity to the building and other trees.	Remove	Structural/Health	Non-heritage
50	<i>Pinus radiata</i>	<i>Monterey Pine</i>	58	2	Deadwood	Preserve		Heritage
51	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	25	3	Good health, heavy ended	Preserve		Heritage
52	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	23	3	Good health, heavy ended	Preserve		Heritage
53	<i>Quercus lobata</i>	<i>Valley Oak</i>	13	1	Removal recommended; tree is in decline, has minimal branches and is overcrowded; removal will allow others to grow.	Preserve		Heritage
54	<i>Quercus lobata</i>	<i>Valley Oak</i>	42	3	Some branches have decay	Preserve		Heritage
55	<i>Betula pendula</i>	<i>White Birch</i>	8	5	Young tree; excellent health	Remove	Construction	Non-heritage

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56	<i>Betula pendula</i>	White Birch	8	5	Young tree; excellent health	Remove	Construction	Non-heritage
57	<i>Lagerstroemia</i>	Crape Myrtle	4.5	5	Young tree; excellent health	Remove	Construction	Non-heritage
58	<i>Lagerstroemia</i>	Crape Myrtle	4.5	5	Young tree; excellent health	Remove	Construction	Non-heritage
59	<i>Sequoia sempervirens</i>	Redwood	13	5	Healthy tree	Preserve		Non-heritage
60	<i>Sequoia sempervirens</i>	Redwood	56	5	Low Branches	Preserve		Heritage
61	<i>Sequoia sempervirens</i>	Redwood	40	2	Removal recommended; tree has a hard lean and is showing signs of uprooting; is located near a walkway.	Preserve		Heritage
62	<i>Malus floribunda</i>	Crab Apple	4	3	Good health, poor structure	Remove	Construction	Non-heritage
63	<i>Alnus rhombifolia</i>	Alder	22	3	Good health; heavy ended	Preserve		Heritage
64	<i>Quercus lobata</i>	Valley Oak	19	3	Canopy looks thin	Preserve		Heritage
65	<i>Quercus lobata</i>	Valley Oak	27	3	Good health; heavy ended	Preserve		Heritage
66	<i>Liriodendron tulipifera</i>	Tulip Tree	12	3	Good health and vigor	Preserve		Non-heritage
67	<i>Liriodendron tulipifera</i>	Tulip Tree	29	3	Good health and vigor	Preserve		Heritage
68	<i>Liriodendron tulipifera</i>	Tulip Tree	17	3	Good health and vigor	Preserve		Heritage
69	<i>Liriodendron tulipifera</i>	Tulip Tree	20	3	Good health and vigor	Preserve		Heritage
70	<i>Malus floribunda</i>	Crab Apple	10	3	Overgrown	Remove	Construction	Non-heritage
71	<i>Quercus lobata</i>	Valley Oak	35	3	Good health	Preserve		Heritage
72	<i>Quercus lobata</i>	Valley Oak	33	3	Good health	Preserve		Heritage
73	<i>Quercus lobata</i>	Valley Oak	24	3	Good health	Preserve		Heritage
74	<i>Corymbia ficifolia</i>	Red Gum	20	2	Removal recommended; Good health, poor structure	Preserve		Heritage
75	<i>Corymbia ficifolia</i>	Red Gum	15	2	Removal recommended; Good health, poor structure	Remove	Structural/Health	Heritage
76	<i>Sequoia sempervirens</i>	Redwood	32	4	Good health and structure	Preserve		Heritage
77	<i>Sequoia sempervirens</i>	Redwood	38	4	Good health and structure	Preserve		Heritage

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78	<i>Sequoia sempervirens</i>	Redwood	39	4	Good health and structure	Preserve		Heritage
79	<i>Sequoia sempervirens</i>	Redwood	32	4	Good health and structure	Preserve		Heritage
80	<i>Sequoia sempervirens</i>	Redwood	41	4	Good health and structure	Preserve		Heritage
81	<i>Sequoia sempervirens</i>	Redwood	40	4	Good health and structure	Preserve		Heritage
82	<i>Malus floribunda</i>	Crab Apple	7	3	Poor structure	Remove	Construction	Non-heritage
83	<i>Malus floribunda</i>	Crab Apple	6	3	Poor structure	Remove	Construction	Non-heritage
84	<i>Sequoia sempervirens</i>	Redwood	23		Good health and structure, but thin canopy	Preserve		Heritage
85	<i>Sequoia sempervirens</i>	Redwood	25		Good health and structure, but thin canopy	Preserve		Heritage
86	<i>Sequoia sempervirens</i>	Redwood	25		Good health and structure, but thin canopy	Preserve		Heritage
87	<i>Pinus radiata</i>	Monterey Pine	42	2	Removal recommended; located very close to building and retaining wall and is causing damage to foundation and pipes.	Remove	Structural/Health	Heritage
88	<i>Pinus radiata</i>	Monterey Pine	42	2	Removal recommended; located very close to building and retaining wall and is causing damage to foundation and pipes.	Remove	Structural/Health	Heritage
89	<i>Liriodendron tulipifera</i>	Tulip Tree	17	3	Good health	Preserve		Heritage
90	<i>Liriodendron tulipifera</i>	Tulip Tree	22	1	Removal recommended; included bark and poor health; severe trunk decay, potential failure.	Remove	Structural/Health	Heritage
91	<i>Liriodendron tulipifera</i>	Tulip Tree	16	3	Good health; poor structure	Remove	Construction	Heritage
92	<i>Liriodendron tulipifera</i>	Tulip Tree	21	3	Good health; poor structure	Remove	Construction	Heritage
93	<i>Liriodendron tulipifera</i>	Tulip Tree	19	3	Good health; poor structure	Remove	Construction	Heritage

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94	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	17	3	Good health; poor structure	Remove	Construction	Heritage
95	<i>Pinus radiata</i>	<i>Monterey Pine</i>	30	2	Removal recommended; too close to building and causing damage to foundation and pipes.	Remove	Structural/Health	Heritage
96	<i>Pinus radiata</i>	<i>Monterey Pine</i>	31	2	Removal recommended; too close to building and causing damage to foundation and pipes.	Remove	Construction	Heritage
97	<i>Eucalyptus spp.</i>	<i>Gum</i>	25	1	Removal recommended; overgrown and poorly structured; limbs break often and is a danger to residents	Preserve		Heritage
98	<i>Juniperus chinensis</i>	<i>Juniper</i>	19	3	Good Health; canopy is dense	Remove	Construction	Heritage
99	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	19	3	End weight is a problem, but otherwise healthy	Remove	Construction	Heritage
100	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	19	3	End weight is a problem, but otherwise healthy	Preserve		Heritage
101	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	22	3	End weight is a problem, but otherwise healthy	Preserve		Heritage
102	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	20	3	End weight is a problem, but otherwise healthy	Preserve		Heritage
103	<i>Quercus lobata</i>	<i>Valley Oak</i>	38	3	Good health and structure	Preserve		Heritage
104	<i>Quercus lobata</i>	<i>Valley Oak</i>	46	3	Good health and structure	Preserve		Heritage
105	<i>Sequoia sempervirens</i>	<i>Redwood</i>	31	3	Good health	Preserve		Heritage
106	<i>Sequoia sempervirens</i>	<i>Redwood</i>	28	4	Overcrowded	Preserve		Heritage
107	<i>Sequoia sempervirens</i>	<i>Redwood</i>	18	4	Overcrowded	Preserve		Heritage
108	<i>Sequoia sempervirens</i>	<i>Redwood</i>	14	3	Canopy looks thin and the trunk has a gash	Preserve		Non-heritage
109	<i>Arbutus marina</i>	<i>Arbutus</i>	11	3	Healthy young tree, poor structure	Remove	Construction	Non-heritage
110	<i>Sequoia sempervirens</i>	<i>Redwood</i>	11	3	Very thin canopy	Preserve		Non-heritage
111	<i>Pinus radiata</i>	<i>Monterey Pine</i>	39	2	Poor vigor and lot of deadwood	Preserve		Heritage
112	<i>Quercus alba</i>	<i>White Oak</i>	26	3	Young tree; excellent health	Preserve		Heritage

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113	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	19	2		Under stress	Preserve		Heritage
114	<i>Sequoia sempervirens</i>	<i>Redwood</i>	12	3		Young healthy tree; potentially over watered	Preserve		Non-heritage
115	<i>Sequoia sempervirens</i>	<i>Redwood</i>	18	3		Young healthy tree; potentially over watered	Preserve		Heritage
116	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	14	3		Stressed; potentially over watered	Preserve		Non-heritage
117	<i>Malus floribunda</i>	<i>Crab Apple</i>	6	3		Young tree; excellent health	Preserve		Non-heritage
118	<i>Betula pendula</i>	<i>White Birch</i>	9	3		Healthy vigor and structure	Preserve		Non-heritage
119	<i>Betula pendula</i>	<i>White Birch</i>	10	3		Heavy on the ends; good health	Preserve		Non-heritage
120	<i>Pinus radiata</i>	<i>Monterey Pine</i>	52	2		Removal recommended; very large tree close to buildings; poor structure and presents a risk of failure.	Preserve		Heritage
121	<i>Pinus radiata</i>	<i>Monterey Pine</i>	36	3		Healthy trees, but heavy on the ends	Preserve		Heritage
122	<i>Pinus radiata</i>	<i>Monterey Pine</i>	30	3		Healthy trees, but heavy on the ends	Remove	Construction	Heritage
123	<i>Pinus radiata</i>	<i>Monterey Pine</i>	30	3		Healthy trees, but heavy on the ends	Preserve		Heritage
124	<i>E. sideroxylon</i>	<i>Red Ironbark</i>	29	2		Removal recommended; very large tree close to buildings; poor structure and presents a risk of failure.	Preserve		Heritage
125	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	20	3		Large healthy tree, heavy ended	Preserve		Heritage
126	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	17	3		Large healthy tree, heavy ended	Preserve		Heritage
127	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	19	3		Large healthy tree, heavy ended	Preserve		Heritage
128	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	13	2		Removal recommended; young tree; may be receiving too much water	Remove	Structural/Health	Non-heritage
129	<i>Sequoia sempervirens</i>	<i>Redwood</i>	17	4		Healthy trees, lots of crossing branches	Preserve		Heritage
130	<i>Sequoia sempervirens</i>	<i>Redwood</i>	23	4		Healthy trees, lots of crossing branches	Preserve		Heritage

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131	<i>Sequoia sempervirens</i>	Redwood	10	4	Healthy trees, lots of crossing branches	Preserve		Non-heritage
132	<i>Sequoia sempervirens</i>	Redwood	17	4	Healthy trees, lots of crossing branches	Preserve		Heritage
133	<i>Sequoia sempervirens</i>	Redwood	18	4	Healthy trees, lots of crossing branches	Preserve		Heritage
134	<i>Sequoia sempervirens</i>	Redwood	38	4	Healthy trees, lots of crossing branches	Preserve		Heritage
135	<i>Sequoia sempervirens</i>	Redwood	33	3	Healthy trees, being over watered	Preserve		Heritage
136	<i>Sequoia sempervirens</i>	Redwood	40	3	Healthy trees, being over watered	Preserve		Heritage
137	<i>Cinnamomum camphora</i>	Camphor	16	3	Young healthy tree	Preserve		Heritage
138	<i>Sequoia sempervirens</i>	Redwood	36	3	Large healthy tree, good vigor and structure	Preserve		Heritage
139	<i>Sequoia sempervirens</i>	Redwood	26	3	Large healthy tree, good vigor and structure	Preserve		Heritage
140	<i>Betula pendula</i>	White Birch	12	3	Healthy tree, overcrowded by Redwood	Preserve		Non-heritage
141	<i>Betula pendula</i>	White Birch	11	3	Healthy tree, overcrowded by Redwood	Preserve		Non-heritage
142	<i>Betula pendula</i>	White Birch	13	3	Healthy tree, overcrowded by Redwood	Preserve		Non-heritage
143	<i>Sequoia sempervirens</i>	Redwood	15	3	Young tree, seems to be browning due to over crowding and possibly too much water	Preserve		Heritage
144	<i>Sequoia sempervirens</i>	Redwood	15	3	Young tree, seems to be browning due to over crowding and possibly too much water	Preserve		Heritage
145	<i>Sequoia sempervirens</i>	Redwood	13	3	Young tree, seems to be browning due to over crowding and possibly too much water	Preserve		Non-heritage
146	<i>Sequoia sempervirens</i>	Redwood	14	3	Young tree, seems to be browning due to over crowding and possibly too much water	Preserve		Non-heritage
147	<i>Sequoia sempervirens</i>	Redwood	19	3	Young tree, seems to be browning due to over crowding and possibly too much water	Preserve		Heritage

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148	<i>Sequoia sempervirens</i>	Redwood	30	3	Young tree, seems to be browning due to over crowding and possibly too much water	Preserve		Heritage
149	<i>Sequoia sempervirens</i>	Redwood	6	2	Removal recommended; small; over crowded and declining; should be removed to allow others to grow	Preserve		Non-heritage
150	<i>Sequoia sempervirens</i>	Redwood	15	3	Good Health and vigor	Preserve		Heritage
151	<i>Betula pendula</i>	White Birch	10	3	Good Health and vigor	Remove	Construction	Non-heritage
152	<i>Betula pendula</i>	White Birch	9	3	Over crowded and poor structure	Remove	Construction	Non-heritage
153	<i>Betula pendula</i>	White Birch	13	3	Over crowded and poor structure	Remove	Construction	Non-heritage
154	<i>Sequoia sempervirens</i>	Redwood	14	3	Good health, vigor and structure	Preserve		Non-heritage
155	<i>Sequoia sempervirens</i>	Redwood	19	3	Good health, vigor and structure	Preserve		Heritage
156	<i>Sequoia sempervirens</i>	Redwood	18	3	Good health, vigor and structure	Preserve		Heritage
157	<i>Sequoia sempervirens</i>	Redwood	16	3	Good health, vigor and structure	Preserve		Heritage
158	<i>Pinus radiata</i>	Monterey Pine	24	2	Trees in decline; thin and heavy on ends	Preserve		Heritage
159	<i>Pinus radiata</i>	Monterey Pine	39	2	Trees in decline; thin and heavy on ends	Preserve		Heritage
160	<i>Quercus ilex</i>	Holly Oak	11	3	Canopy seems thin	Preserve		Non-heritage
161	<i>Sequoia sempervirens</i>	Redwood	24	2	Has included bark but good health	Preserve		Heritage
162	<i>Sequoia sempervirens</i>	Redwood	12	2	Tree is in decline	Preserve		Non-heritage
163	<i>Sequoia sempervirens</i>	Redwood	10	2	Tree is in decline	Preserve		Non-heritage
164	<i>Quercus ilex</i>	Holly Oak	9	2	Tree has lots of water spots, and is stressed	Preserve		Non-heritage

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165	<i>Pinus radiata</i>	<i>Monterey Pine</i>	39	2	Removal recommended; tree has large potential for failure and has lost large limbs in the past, poor structure indicates it will lose more; located over parking garage and poses a danger to residents	Preserve	Heritage
166	<i>Pinus radiata</i>	<i>Monterey Pine</i>	36	2	Removal recommended; tree has large potential for failure and has lost large limbs in the past, poor structure indicates it will lose more; located over parking garage and poses a danger to residents	Preserve	Heritage
167	<i>Betula pendula</i>	<i>White Birch</i>	6	3	Healthy young trees	Remove	Non-heritage
168	<i>Juniperus chinensis</i>	<i>Juniper</i>	9	3	Healthy young trees	Remove	Non-heritage
169	<i>Liquidambar styraciflua</i>	<i>Liquidambar</i>	10	3	Healthy young trees	Preserve	Non-heritage
170	<i>Platanus hispanica</i>	<i>Sycamore</i>	12	2	Healthy vigor and structure, but over crowded and one-sided	Preserve	Non-heritage
171	<i>Platanus hispanica</i>	<i>Sycamore</i>	8	2	Healthy vigor and structure, but over crowded and one-sided	Preserve	Non-heritage
172	<i>Platanus hispanica</i>	<i>Sycamore</i>	9	2	Healthy vigor and structure, but over crowded and one-sided	Preserve	Non-heritage
173	<i>Platanus hispanica</i>	<i>Sycamore</i>	8	2	Healthy vigor and structure, but over crowded and one-sided	Preserve	Non-heritage
174	<i>Platanus hispanica</i>	<i>Sycamore</i>	10	2	Healthy vigor and structure, but over crowded and one-sided	Preserve	Non-heritage
175	<i>Platanus hispanica</i>	<i>Sycamore</i>	10	2	Healthy vigor and structure, but over crowded and one-sided	Preserve	Non-heritage
176	<i>Prunus cerasifera</i>	<i>Plum</i>	6	3	Good health, but poor structure	Remove	Non-heritage
177	<i>Pinus radiata</i>	<i>Monterey Pine</i>	30	2	Removal recommended; tree is growing directly against the building and is causing damage to foundation and pipes	Remove	Heritage
178	<i>Prunus cerasifera</i>	<i>Plum</i>	6	3	Good health, but poor structure	Remove	Non-heritage

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179	<i>Platanus hispanica</i>	<i>Sycamore</i>	10	3	Very thin due to over crowding	Preserve		Non-heritage
180	<i>Platanus hispanica</i>	<i>Sycamore</i>	12	3	Tree is overgrown due to crowding	Preserve		Non-heritage
181	<i>Platanus hispanica</i>	<i>Sycamore</i>	12	3	Tree is overgrown due to crowding	Preserve		Non-heritage
182	<i>Platanus hispanica</i>	<i>Sycamore</i>	12	3	Tree is overgrown due to crowding	Preserve		Non-heritage
183	<i>Platanus hispanica</i>	<i>Sycamore</i>	12	3	Tree is overgrown due to crowding	Preserve		Non-heritage
184	<i>Platanus hispanica</i>	<i>Sycamore</i>	10	3	Tree is overgrown due to crowding	Preserve		Non-heritage
185	<i>Platanus hispanica</i>	<i>Sycamore</i>	12	3	Tree is overgrown due to crowding	Preserve		Non-heritage
186	<i>Cinnamomum camphora</i>	<i>Camphor</i>	10	2.5	Fair health; canopy is thin	Remove	Construction	Non-heritage
187	<i>Cinnamomum camphora</i>	<i>Camphor</i>	11	2.5	Fair health; canopy is thin	Remove	Construction	Non-heritage
188	<i>Cinnamomum camphora</i>	<i>Camphor</i>	12	2.5	Fair health; canopy is thin	Remove	Construction	Non-heritage
189	<i>Cinnamomum camphora</i>	<i>Camphor</i>	13	2.5	Fair health; canopy is thin	Remove	Construction	Non-heritage
190	<i>Cinnamomum camphora</i>	<i>Camphor</i>	12	2.5	Fair health; canopy is thin	Remove	Construction	Non-heritage
191	<i>Cinnamomum camphora</i>	<i>Camphor</i>	11	2.5	Fair health; canopy is thin	Remove	Construction	Non-heritage
192	<i>Pinus radiata</i>	<i>Monterey Pine</i>	32	2	Removal recommended; showing potential for failure; causing damage to walkways and posing a danger to residents	Preserve		Heritage
193	<i>Pinus radiata</i>	<i>Monterey Pine</i>	34	2	Removal recommended; showing potential for failure; causing damage to walkways and posing a danger to residents	Preserve		Heritage
194	<i>Platanus hispanica</i>	<i>Sycamore</i>	15	3	Healthy tree, but over crowded	Preserve		Heritage
195	<i>Platanus hispanica</i>	<i>Sycamore</i>	15	3	Tree is overgrown and very one-sided	Preserve		Heritage

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196	<i>Platanus hispanica</i>	<i>Sycamore</i>	13	3	Tree is overgrown and very one-sided	Preserve		Non-heritage
197	<i>Platanus hispanica</i>	<i>Sycamore</i>	15	3	Tree is overgrown and very one-sided	Preserve		Heritage
198	<i>Platanus hispanica</i>	<i>Sycamore</i>	16	3	Tree is overgrown and very one-sided	Preserve		Heritage
199	<i>Platanus hispanica</i>	<i>Sycamore</i>	17	3	Tree is overgrown and very one-sided	Preserve		Heritage
200	<i>Platanus hispanica</i>	<i>Sycamore</i>	17	3	Tree is overgrown and very one-sided	Preserve		Heritage
201	<i>Pittosporum eugenioides</i>	<i>Pittosporum</i>	10	3	Lots of crossing and dead branches	Remove	Construction	Non-heritage
202	<i>Pittosporum eugenioides</i>	<i>Pittosporum</i>	10	3	Lots of crossing and dead branches	Remove	Construction	Non-heritage
203	<i>Platanus hispanica</i>	<i>Sycamore</i>	19	3	Removal recommended; high risk tree; significant lean, overgrown and is causing damage to pipes and foundation; very poor structure, with pruning risk can be somewhat mitigated	Preserve		Heritage
204	<i>Platanus hispanica</i>	<i>Sycamore</i>	18	3	Removal recommended; high risk tree; significant lean, overgrown and is causing damage to pipes and foundation; very poor structure, with pruning risk can be somewhat mitigated	Preserve		Heritage
205	<i>E. sideroxylon</i>	<i>Red Ironbark</i>	18	2	Removal recommended; high risk tree; significant lean, overgrown and may damage building; very poor structure and has had numerous limb failures; located near walkways and pose a danger to residents	Preserve		Heritage

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206	<i>E. sideroxylon</i>	<i>Red Ironbark</i>	19	2	Removal recommended; high risk tree; significant lean, overgrown and may damage building; very poor structure and has had numerous limb failures; located near walkways and pose a danger to residents	Remove	Structural/Health	Heritage
207	<i>Prunus caroliniana</i>	<i>Carolina Cherry</i>	9	3	Healthy tree, but heavy ended	Preserve		Non-heritage
208	<i>Cinnamomum camphora</i>	<i>Camphor</i>	15	3	Healthy tree, but heavy ended	Preserve		Heritage
209	<i>Magnolia grandiflora</i>	<i>Magnolia</i>	14	3	Good health, vigor and structure	Preserve		Non-heritage
210	<i>Prunus cerasifera</i>	<i>Plum</i>	10	3	Good health, very poor structure	Remove	Construction	Non-heritage
211	<i>Magnolia grandiflora</i>	<i>Magnolia</i>	9	1	Removal recommended; tree shows large amounts of die back; declining due to lack of light and overcrowding	Remove	Structural/Health	Non-heritage
212	<i>Magnolia grandiflora</i>	<i>Magnolia</i>	10	1	Removal recommended; tree shows large amounts of die back; declining due to lack of light and overcrowding	Remove	Structural/Health	Non-heritage
213	<i>Prunus cerasifera</i>	<i>Plum</i>	10	3	Good health; but overcrowded and overgrown	Remove	Construction	Non-heritage
214	<i>Platanus hispanica</i>	<i>Sycamore</i>	18	2	Removal recommended; tree is one-sided; overgrown and lifting the sidewalk; located too close to building and will soon cause damage to foundation.	Preserve		Heritage
215	<i>Platanus hispanica</i>	<i>Sycamore</i>	13	2	Removal recommended; tree is one-sided; overgrown and lifting the sidewalk; located too close to building and will soon cause damage to foundation.	Preserve		Non-heritage

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216	<i>Platanus hispanica</i>	<i>Sycamore</i>	15	2	Removal recommended; tree is one-sided; overgrown and lifting the sidewalk; located too close to building and will soon cause damage to foundation.	Preserve		Heritage
217	<i>Platanus hispanica</i>	<i>Sycamore</i>	11	2	Removal recommended; tree is one-sided; overgrown and lifting the sidewalk; located too close to building and will soon cause damage to foundation.	Preserve		Non-heritage
218	<i>Platanus hispanica</i>	<i>Sycamore</i>	20	2	Removal recommended; tree is one-sided; overgrown and lifting the sidewalk; located too close to building and will soon cause damage to foundation.	Preserve		Heritage
219	<i>Prunus cerasifera</i>	<i>Plum</i>	6	1	Removal recommended; poor structure, canopy looks poor; not aesthetically pleasing.	Remove	Structural/Health	Non-heritage
220	<i>Prunus cerasifera</i>	<i>Plum</i>	12	2	Healthy and vigorous; fair structure	Remove	Structural/Health	Non-heritage
221	<i>Ulmus parvifolia</i>	<i>Chinese Elm</i>	10	3	Healthy and vigorous; but very heavy ends	Preserve		Non-heritage
222	<i>Ulmus parvifolia</i>	<i>Chinese Elm</i>	15	3	Health and vigorous; but very heavy ends	Preserve		Heritage
223	<i>Ulmus parvifolia</i>	<i>Chinese Elm</i>	11	3	Healthy and vigorous; but very heavy ends	Preserve		Non-heritage
224	<i>Ulmus parvifolia</i>	<i>Chinese Elm</i>	11	3	Healthy and vigorous; but very heavy ends	Preserve		Non-heritage
225	<i>Platanus hispanica</i>	<i>Sycamore</i>	21	3	Tree is healthy; but overgrown	Preserve		Heritage
226	<i>Platanus hispanica</i>	<i>Sycamore</i>	17	3	Tree is healthy; but overgrown	Preserve		Heritage
227	<i>Platanus hispanica</i>	<i>Sycamore</i>	8	1	Removal recommended; overcrowded, and poor structure; should be removed so others can grow	Preserve		Non-heritage

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228	<i>Platanus hispanica</i>	Sycamore	22	3	Healthy tree with long heavy branches	Preserve		Heritage
229	<i>Platanus hispanica</i>	Sycamore	21	3	Healthy tree with long heavy branches	Preserve		Heritage
230	<i>Platanus hispanica</i>	Sycamore	10	1	Removal recommended; overcrowded, and poor structure; should be removed so others can grow	Preserve		Non-heritage
231	<i>Platanus hispanica</i>	Sycamore	16	3	Large healthy tree	Preserve		Heritage
232	<i>Platanus hispanica</i>	Sycamore	19	3	Large healthy tree	Preserve		Heritage
233	<i>Quercus lobata</i>	Valley Oak	11	3	Young healthy tree; one-sided, due to overcrowding	Preserve		Heritage
234	<i>Quercus lobata</i>	Valley Oak	10	3	Young healthy tree; one-sided, due to overcrowding	Preserve		Heritage
235	<i>Quercus lobata</i>	Valley Oak	10	3	Young healthy tree; one-sided, due to overcrowding	Preserve		Heritage
236	<i>Prunus caroliniana</i>	Carolina Cherry	9	3	Removal recommended; overcrowded, and poor structure; should be removed so others can grow	Preserve		Non-heritage
237	<i>Liriodendron tulipifera</i>	Tulip Tree	19	3	Healthy tree, but has heavy ends	Preserve		Heritage
238	<i>Liriodendron tulipifera</i>	Tulip Tree	15	3	Healthy tree, but has heavy ends	Preserve		Heritage
239	<i>Liriodendron tulipifera</i>	Tulip Tree	13	3	Healthy tree, but has heavy ends	Preserve		Non-heritage
240	<i>Liriodendron tulipifera</i>	Tulip Tree	13	3	Removal recommended; bad case of included bark; located too close to drain and is causing damage to pipes.	Remove	Structural/Health	Non-heritage
241	<i>Betula pendula</i>	White Birch	8	3	Tree died, removed summer of 2013			
242	<i>Betula pendula</i>	White Birch	6	3	Tree died, removed summer of 2013			
243	<i>Pyrus kawakamii</i>	Evergreen Pear	9	3	Healthy, but overgrown	Remove	Construction	Non-heritage
244	<i>Pyrus kawakamii</i>	Evergreen Pear	10	3	Healthy, but overgrown	Remove	Construction	Non-heritage
245	<i>Pyrus kawakamii</i>	Evergreen Pear	8	3	Healthy, but overgrown	Remove	Construction	Non-heritage
246	<i>Ulmus parvifolia</i>	Chinese Elm	17	3	Healthy tree, poor structure	Remove	Construction	Heritage

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247	<i>Pyrus kawakamii</i>	<i>Evergreen Pear</i>	10	3	Good health and vigor, poor structure	Remove	Construction	Non-heritage
248	<i>Pinus pinea</i>	<i>Stone Pine</i>	32	4	Healthy tree, but heavy on ends	Preserve		Heritage
249	<i>Pinus pinea</i>	<i>Stone Pine</i>	29	4	Healthy tree, but heavy on ends	Preserve		Heritage
250	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	13	3	Healthy tree; good structure, ends are weighted	Preserve		Non-heritage
251	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	9	3	Healthy tree, good structure, ends are weighted	Preserve		Non-heritage
252	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	12	3	Healthy tree, good structure, ends are weighted	Preserve		Non-heritage
253	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	11	3	Healthy tree, good structure, ends are weighted	Preserve		Non-heritage
254	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	10	1	Removal recommended; tree shows signs of root decay may be due to overwatering	Remove	Structural/Health	Non-heritage
255	<i>Quercus lobata</i>	<i>Valley Oak</i>	36	3	Old healthy tree; heavy on one side	Preserve		Heritage
256	<i>Platanus hispanica</i>	<i>Sycamore</i>	18	3	Large healthy tree; good structure	Preserve		Heritage
257	<i>Platanus hispanica</i>	<i>Sycamore</i>	9	2	Removal recommended; small overcrowded tree with poor structure; should be removed to allow others to grow.	Preserve		Non-heritage
258	<i>Platanus hispanica</i>	<i>Sycamore</i>	13	3	Healthy tree with long ends	Preserve		Non-heritage
259	<i>Platanus hispanica</i>	<i>Sycamore</i>	15	3	Healthy tree with long ends	Preserve		Heritage
260	<i>Platanus hispanica</i>	<i>Sycamore</i>	10	3	Removal recommended; small overcrowded tree with poor structure; should be removed to allow others to grow.	Preserve		Non-heritage
261	<i>Platanus hispanica</i>	<i>Sycamore</i>	7	2	Removal recommended; small overcrowded tree with poor structure; should be removed to allow others to grow.	Preserve		Non-heritage
262	<i>Platanus hispanica</i>	<i>Sycamore</i>	15	3	Healthy tree overcrowding others	Preserve		Heritage

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263	<i>Platanus hispanica</i>	<i>Sycamore</i>	8	2	Removal recommended; small overcrowded tree with poor structure; should be removed to allow others to grow.	Preserve		Non-heritage
264	<i>Pinus radiata</i>	<i>Monterey Pine</i>	28	3	Removal recommended; located too close to building and is causing damage to the foundation, pipes, and walkways.	Preserve		Heritage
265	<i>Platanus hispanica</i>	<i>Sycamore</i>	20	3	Healthy tree one-sided due to crowding	Preserve		Heritage
266	<i>Platanus hispanica</i>	<i>Sycamore</i>	15	3	Healthy tree one-sided due to crowding	Preserve		Heritage
267	<i>Platanus hispanica</i>	<i>Sycamore</i>	15	3	Healthy tree one-sided due to crowding	Preserve		Heritage
268	<i>Prunus cerasifera</i>	<i>Plum</i>	8	3	Healthy tree one-sided due to crowding	Remove	Construction	Non-heritage
269	<i>Platanus hispanica</i>	<i>Sycamore</i>	18	3	Removal recommended; showing signs of trunk decay; lifting sidewalk.	Preserve		Heritage
270	<i>Platanus hispanica</i>	<i>Sycamore</i>	14	3	Some trunk decay	Preserve		Non-heritage
271	<i>Platanus hispanica</i>	<i>Sycamore</i>	14	3	Large tree one-sided	Preserve		Non-heritage
272	<i>Platanus hispanica</i>	<i>Sycamore</i>	15	3	Large tree one-sided	Preserve		Heritage
273	<i>Prunus cerasifera</i>	<i>Plum</i>	8	3	Healthy tree, but over crowded with poor structure	Remove	Construction	Non-heritage
274	<i>Platanus hispanica</i>	<i>Sycamore</i>	15	3	Healthy tree, but overgrown	Preserve		Heritage
275	<i>Platanus hispanica</i>	<i>Sycamore</i>	13	3	Healthy tree, but overgrown	Preserve		Non-heritage
276	<i>Platanus hispanica</i>	<i>Sycamore</i>	14	3	Healthy tree, but overgrown	Preserve		Non-heritage
277	<i>Pinus radiata</i>	<i>Monterey Pine</i>	31	2	Showing signs of decline	Preserve		Heritage
278	<i>Sequoia sempervirens</i>	<i>Redwood</i>	25	3	Young healthy tree; a little overcrowded	Preserve		Heritage
279	<i>Sequoia sempervirens</i>	<i>Redwood</i>	25	3	Young healthy tree; a little overcrowded	Preserve		Heritage

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280	<i>Sequoia sempervirens</i>	Redwood	22	3	Young healthy tree, a little over crowded	Preserve		Heritage
281	<i>Sequoia sempervirens</i>	Redwood	19	3	Young healthy tree, a little over crowded	Preserve		Heritage
282	<i>Sequoia sempervirens</i>	Redwood	20	3	Young healthy tree, a little over crowded	Preserve		Heritage
283	<i>Sequoia sempervirens</i>	Redwood	18	3	Young healthy tree, a little over crowded	Preserve		Heritage
284	<i>Sequoia sempervirens</i>	Redwood	7	1	Removal recommended; small over-crowded tree; should be removed to allow others to grow	Preserve		Non-heritage
285	<i>Platanus hispanica</i>	Sycamore	17	3	Healthy tree with good structure, but lifting sidewalk	Preserve		Heritage
286	<i>Platanus hispanica</i>	Sycamore	14	3	Healthy tree with good structure, but lifting sidewalk	Preserve		Non-heritage
287	<i>Platanus hispanica</i>	Sycamore	15	3	Healthy tree with good structure, but lifting sidewalk	Preserve		Heritage
288	<i>Platanus hispanica</i>	Sycamore	11	3	Healthy tree with good structure, but lifting sidewalk	Preserve		Non-heritage
289	<i>Platanus hispanica</i>	Sycamore	15	3	Healthy tree with good structure, but lifting sidewalk	Preserve		Heritage
290	<i>Prunus cerasifera</i>	Plum	6	3	Young healthy tree, but overcrowded	Remove	Construction	Non-heritage
291	<i>Prunus cerasifera</i>	Plum	10	3	Young healthy tree, but overcrowded	Remove	Construction	Non-heritage
292	<i>Quercus lobata</i>	Valley Oak	29	3	Removal recommended; growing into parking garage and could cause damage to the structure.	Preserve		Heritage
293	<i>Platanus hispanica</i>	Sycamore	13	2	Showing signs of die back	Preserve		Non-heritage
294	<i>Acacia melanoxylon</i>	Acacia	17	1	Removal recommended; tree has lost large limbs in the past and structure shows it will lose many more in the future; is a danger to residents.	Remove	Structural/Health	Heritage

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295	<i>Acacia melanoxylon</i>	<i>Black Acacia</i>	21	1	Removal recommended; tree has lost large limbs in the past and structure shows it will lose many more in the future; is a danger to residents.	Remove	Structural/Health	Heritage
296	<i>Eucalyptus spp.</i>	<i>Gum</i>	22	2	Removal recommended; poor structure; tree has very few branches due to overcrowding and is too close to building; removal will allow for planting of a more suitable species.	Remove	Structural/Health	Heritage
297	<i>Eucalyptus spp.</i>	<i>Gum</i>	16	2	Removal recommended; poor structure; tree has very few branches due to overcrowding and is too close to building; removal will allow for planting of a more suitable species.	Remove	Structural/Health	Heritage
298	<i>Pinus radiata</i>	<i>Monterey Pine</i>	28	2	Removal recommended; has a heavy lean over parking garage and is at risk of failure.	Remove	Structural/Health	Heritage
299	<i>Pinus radiata</i>	<i>Monterey Pine</i>	35	2	Removal recommended; has a bad lean and could fail; located far too close to drain and is causing damage to pipes and walkways.	Preserve		Heritage
300	<i>Pinus radiata</i>	<i>Monterey Pine</i>	22	2	Healthy tree, minor deadwood	Preserve		Heritage
301	<i>Pinus radiata</i>	<i>Monterey Pine</i>	26	2	Healthy tree, minor deadwood	Preserve		Heritage
302	<i>Ulmus parvifolia</i>	<i>Chinese Elm</i>	12	2	Removal recommended; healthy tree with a significant lean; showing signs of uprooting	Remove	Structural/Health	Non-heritage
303	<i>Ulmus parvifolia</i>	<i>Chinese Elm</i>	13	3	Tree is healthy, but heavy ended	Remove	Construction	Non-heritage
304	<i>Betula pendula</i>	<i>White Birch</i>	11	3	Healthy tree, a little overcrowded; needs structure	Preserve		Non-heritage
305	<i>Betula pendula</i>	<i>White Birch</i>	11	3	Healthy tree, a little overcrowded; needs structure	Preserve		Non-heritage
306	<i>Betula pendula</i>	<i>White Birch</i>	10	3	Healthy tree, a little overcrowded; needs structure	Preserve		Non-heritage
307	<i>Betula pendula</i>	<i>White Birch</i>	12	3	Healthy tree, a little overcrowded; needs structure	Preserve		Non-heritage

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308	<i>Platanus hispanica</i>	<i>Sycamore</i>	18	3	Healthy tree; but overgrown on garage side	Preserve		Heritage
309	<i>Platanus hispanica</i>	<i>Sycamore</i>	12	3	Healthy tree, but overgrown	Preserve		Non-heritage
310	<i>Platanus hispanica</i>	<i>Sycamore</i>	11	3	Healthy tree, but overgrown	Preserve		Non-heritage
311	<i>Platanus hispanica</i>	<i>Sycamore</i>	12	3	Healthy tree, but overgrown	Preserve		Non-heritage
312	<i>Platanus hispanica</i>	<i>Sycamore</i>	15	3	Healthy tree, but overgrown	Preserve		Heritage
313	<i>Platanus hispanica</i>	<i>Sycamore</i>	9	3	Healthy tree, but overgrown	Preserve		Non-heritage
314	<i>Platanus hispanica</i>	<i>Sycamore</i>	15	3	Healthy tree, but overgrown	Preserve		Heritage
315	<i>Quercus lobata</i>	<i>Valley Oak</i>	27	2	Removal recommended; tree is overcrowded and growing into parking structure.	Remove	Construction	Heritage
316	<i>Quercus lobata</i>	<i>Valley Oak</i>	33	2	Good health; but shows signs of trunk decay	Preserve		Heritage
317	<i>Platanus hispanica</i>	<i>Sycamore</i>	15	3	Large healthy tree, but overcrowded; ends of branches need reduction	Remove	Construction	Heritage
318	<i>Platanus hispanica</i>	<i>Sycamore</i>	16	3	Large healthy tree, but overcrowded; ends of branches need reduction	Preserve		Heritage
319	<i>Platanus hispanica</i>	<i>Sycamore</i>	17	3	Large healthy tree, but overcrowded; ends of branches need reduction	Preserve		Heritage
320	<i>Platanus hispanica</i>	<i>Sycamore</i>	21	3	Large healthy tree, but overcrowded; ends of branches need reduction	Preserve		Heritage
321	<i>Betula pendula</i>	<i>White Birch</i>	5	2	Young tree, over crowded	Preserve		Non-heritage
322	<i>Betula pendula</i>	<i>White Birch</i>	10	3	Young tree, over crowded	Preserve		Non-heritage
323	<i>Betula pendula</i>	<i>White Birch</i>	6	3	Young tree, over crowded	Preserve		Non-heritage
324	<i>E. polyanthemos</i>	<i>Silver Dollar Eucalyptus</i>	20	2	Removal recommended; tree has been topped in the past, therefore attachments are poor; located over a walkway and is a danger to residents	Preserve		Heritage

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325	<i>E. polyanthemos</i>	Silver Dollar Eucalyptus	22	2	Removal recommended; tree has been topped in the past, therefore attachments are poor; located over a walkway and is a danger to residents	Preserve	Heritage
326	<i>Betula pendula</i>	White Birch	9	3	Healthy tree, but overgrown	Preserve	Non-heritage
327	<i>Betula pendula</i>	White Birch	6	3	Healthy tree, but overgrown	Preserve	Non-heritage
328	<i>Betula pendula</i>	White Birch	6	3	Healthy tree, but overgrown	Preserve	Non-heritage
329	<i>Betula pendula</i>	White Birch	6	3	Healthy tree, but overgrown	Preserve	Non-heritage
330	<i>Betula pendula</i>	White Birch	7	3	Healthy tree; heavy ends	Preserve	Non-heritage
331	<i>Betula pendula</i>	White Birch	10	3	Healthy tree; heavy ends	Preserve	Non-heritage
332	<i>Betula pendula</i>	White Birch	11	3	Healthy tree; heavy ends	Preserve	Non-heritage
333	<i>Betula pendula</i>	White Birch	12	3	Healthy tree; heavy ends	Preserve	Non-heritage
334	<i>E. polyanthemos</i>	Silver Dollar Eucalyptus	10	2	Removal recommended; poorly structured tree, has been topped; recommend starting over with a new tree	Remove	Non-heritage
335	<i>Fraxinus uhdei</i>	Shamel Ash	13	2	Thin tree due to building clearance	Remove	Non-heritage
336	<i>Fraxinus uhdei</i>	Shamel Ash	12	1	Thin tree due to building clearance	Remove	Non-heritage
337	<i>Fraxinus uhdei</i>	Shamel Ash	23	1	Thin tree due to building clearance	Preserve	Heritage
338	<i>Fraxinus uhdei</i>	Shamel Ash	20	1	Thin tree due to building clearance	Preserve	Heritage
339	<i>Fraxinus uhdei</i>	Shamel Ash	17	1	Thin tree due to building clearance	Preserve	Heritage
340	<i>Fraxinus uhdei</i>	Shamel Ash	17	1	Thin tree due to building clearance	Preserve	Heritage
341	<i>Sequoia sempervirens</i>	Redwood	12	1	Young healthy tree	Preserve	Non-heritage
342	<i>Pinus radiata</i>	Monterey Pine	42	2	Removal recommended; tree is in decline; too large for its location and is lifting sidewalk; falling cones pose a danger over the pool area	Preserve	Heritage

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343	<i>Pinus radiata</i>	Monterey Pine	27	2	Removal recommended; tree is in decline; too large for its location and is lifting sidewalk; falling cones pose a danger over the pool area; too close to building and causing damage to foundation and pipes	Preserve		Heritage
344	<i>Pinus radiata</i>	Monterey Pine	27	2	Removal recommended; tree is in decline; too large for its location and is lifting sidewalk; falling cones pose a danger over the pool area; too close to building and causing damage to foundation and pipes	Preserve		Heritage
345	<i>Pyrus kawakamii</i>	Evergreen Pear	7	3	Young healthy tree; needs end-weight reduction	Remove	Construction	Non-heritage
346	<i>Pyrus calleryana</i>	Bradford Pear	8	3	Young healthy tree; needs end-weight reduction	Remove	Construction	Non-heritage
347	<i>Prunus cerasifera</i>	Plum	4	3	Young healthy tree; needs end-weight reduction	Remove	Construction	Non-heritage
348	<i>Prunus cerasifera</i>	Plum	4	3	Young healthy tree; needs end-weight reduction	Remove	Construction	Non-heritage
349	<i>Pyrus kawakamii</i>	Evergreen Pear	9	3	Young healthy tree; needs end-weight reduction	Remove	Construction	Non-heritage
350	<i>Fraxinus uhdei</i>	Shamel Ash	18	1	Removal recommended; Tree is heavy on the ends due to building clearance	Remove	Structural/Health	Heritage
351	<i>Fraxinus uhdei</i>	Shamel Ash	28	1	Removal recommended; Tree is heavy on the ends due to building clearance	Remove	Structural/Health	Heritage
352	<i>Fraxinus uhdei</i>	Shamel Ash	15	1	Removal recommended; Tree is heavy on the ends due to building clearance	Remove	Structural/Health	Heritage
353	<i>Fraxinus uhdei</i>	Shamel Ash	15	1	Removal recommended; Tree is heavy on the ends due to building clearance	Remove	Structural/Health	Heritage
354	<i>Fraxinus uhdei</i>	Shamel Ash	25	1	Removal recommended; Tree is heavy on the ends due to building clearance	Remove	Structural/Health	Heritage

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355	<i>Fraxinus uhdei</i>	Shamel Ash	17	1	Removal recommended; Tree is heavy on the ends due to building clearance	Preserve	Heritage
356	<i>Pinus radiata</i>	Monterey Pine	35	2	Removal recommended; tree is much too large for its location and is damaging sidewalk, pipes, and garage; poses a danger to residents	Remove	Heritage
357	<i>Betula pendula</i>	White Birch	7	3	Young healthy tree	Remove	Non-heritage
358	<i>Betula pendula</i>	White Birch	10	3	Young healthy tree	Preserve	Non-heritage
359	<i>Betula pendula</i>	White Birch	9	3	Young healthy tree	Preserve	Non-heritage
360	<i>Betula pendula</i>	White Birch	11	3	Good health and vigor, however heavy on tops	Preserve	Non-heritage
361	<i>Betula pendula</i>	White Birch	11	1	Good health and vigor, however heavy on tops	Preserve	Non-heritage
362	<i>Betula pendula</i>	White Birch	9	3	Good health and vigor, however heavy on tops	Preserve	Non-heritage
363	<i>Betula pendula</i>	White Birch	6	3	Good health and vigor, however heavy on tops	Preserve	Non-heritage
364	<i>Betula pendula</i>	White Birch	10	3	Good health and vigor, however heavy on tops	Preserve	Non-heritage
365	<i>Quercus alba</i>	White Oak	21	3	Healthy tree, however, looks thin	Preserve	Heritage
366	<i>Quercus alba</i>	White Oak	21	3	Removal recommended; healthy tree, however it is growing into the building and will soon damage it.	Preserve	Heritage
367	<i>Betula pendula</i>	White Birch	10	3	Healthy tree, needs structure	Preserve	Non-heritage
368	<i>Betula pendula</i>	White Birch	9	3	Healthy tree, needs structure	Remove	Non-heritage
369	<i>Betula pendula</i>	White Birch	6	3	Healthy tree, needs structure	Remove	Non-heritage
370	<i>Betula pendula</i>	White Birch	9	3	Healthy tree, needs structure	Remove	Non-heritage
371	<i>Betula pendula</i>	White Birch	8	3	Healthy tree, needs structure	Remove	Non-heritage
372	<i>E. polyanthemos</i>	Silver Dollar Eucalyptus	14	2	Removal recommended; tree is a poor example of species, it has been topped in the past and is in a poor location; falling branches pose a danger to residents.	Remove	Non-heritage

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373	<i>E. polyanthemos</i>	<i>Silver Dollar Eucalyptus</i>	16	2	Removal recommended; tree is a poor example of species, it has been topped in the past and is in a poor location; falling branches pose a danger to residents.	Remove	Structural/Health	Heritage
374	<i>Betula pendula</i>	<i>White Birch</i>	5	2	Young tree in decline	Remove	Construction	Non-heritage
375	<i>Betula pendula</i>	<i>White Birch</i>	6	2	Young tree in decline	Remove	Construction	Non-heritage
376	<i>Betula pendula</i>	<i>White Birch</i>	6	2	Tree died, removed summer of 2013			
377	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	10	3	Healthy tree with significant end-weight	Preserve		Non-heritage
378	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	11	3	Healthy tree with significant end-weight	Preserve		Non-heritage
379	<i>Liriodendron tulipifera</i>	<i>Tulip Tree</i>	10	3	Healthy tree with significant end-weight	Preserve		Non-heritage
380	<i>Betula pendula</i>	<i>White Birch</i>	12	3	Healthy tree with significant end-weight	Remove	Construction	Non-heritage
381	<i>Betula pendula</i>	<i>White Birch</i>	6	3	Healthy tree with significant end-weight	Remove	Construction	Non-heritage
382	<i>Betula pendula</i>	<i>White Birch</i>	5	3	Healthy tree with significant end-weight	Remove	Construction	Non-heritage
383	<i>Betula pendula</i>	<i>White Birch</i>	9	3	Healthy tree with significant end-weight	Remove	Construction	Non-heritage
384	<i>Sequoia sempervirens</i>	<i>Redwood</i>	31	4	Healthy, well-structured tree	Preserve		Heritage
385	<i>Sequoia sempervirens</i>	<i>Redwood</i>	21	4	Healthy, well-structured tree	Preserve		Heritage
386	<i>Sequoia sempervirens</i>	<i>Redwood</i>	14	4	Healthy, well-structured tree	Preserve		Non-heritage
387	<i>Sequoia sempervirens</i>	<i>Redwood</i>	27	4	Healthy, well-structured tree	Preserve		Heritage
388	<i>Sequoia sempervirens</i>	<i>Redwood</i>	14	4	Healthy, well-structured tree	Preserve		Non-heritage
389	<i>Sequoia sempervirens</i>	<i>Redwood</i>	15	4	Healthy, well-structured tree	Preserve		Heritage
390	<i>Betula pendula</i>	<i>White Birch</i>	14	3	Healthy tree, somewhat lacking in vigor	Remove	Construction	Non-heritage

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391	<i>Pinus radiata</i>	Monterey Pine	32	2	Large tree, with good structure	Preserve		Heritage
392	<i>Platanus hispanica</i>	Sycamore	10	3	Healthy tree, but overgrown and crowded	Preserve		Non-heritage
393	<i>Platanus hispanica</i>	Sycamore	9	3	Healthy tree, but overgrown and crowded	Preserve		Non-heritage
394	<i>Platanus hispanica</i>	Sycamore	9	3	Healthy tree, but overgrown and crowded	Preserve		Non-heritage
395	<i>Platanus hispanica</i>	Sycamore	14	3	Healthy tree, but overgrown and crowded	Preserve		Non-heritage
396	<i>Platanus hispanica</i>	Sycamore	13	3	Healthy tree, but overgrown and crowded	Preserve		Non-heritage
397	<i>Platanus hispanica</i>	Sycamore	9	3	Healthy tree, but overgrown and crowded	Preserve		Non-heritage
398	<i>Platanus hispanica</i>	Sycamore	9	3	Healthy tree, but overgrown	Preserve		Non-heritage
399	<i>Platanus hispanica</i>	Sycamore	9	3	Healthy tree, but overgrown and crowded	Preserve		Non-heritage
400	<i>Platanus hispanica</i>	Sycamore	14	3	Healthy tree, but overgrown and crowded	Preserve		Non-heritage
401	<i>Pittosporum eugenioides</i>	Pittosporum	10	3	Good health; has good structure	Remove	Construction	Non-heritage
402	<i>E.sideroxylon</i>	Red Ironbark	24	3	Removal recommended; much too large for its location; there is a risk of limb failure due to poor structure and is a danger to residents.	Remove	Structural/Health	Heritage
403	<i>Ulmus parvifolia</i>	Chinese Elm	13	3	Tree is overcrowded by the Euc. behind	Remove	Construction	Non-heritage
404	<i>Ulmus parvifolia</i>	Chinese Elm	12	3	Tree is overcrowded by the Euc. behind	Remove	Construction	Non-heritage
405	<i>E. polyanthemus</i>	Silver Dollar Eucalyptus	32	1	Removal recommended; much too large for its location; there is a risk of limb failure due to poor structure and is a danger to residents.	Remove	Structural/Health	Heritage

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406	<i>E. polyanthemos</i>	<i>Silver Dollar Eucalyptus</i>	20	1	Removal recommended; overcrowded; tree has been topped therefore structure is poor and poses a danger to the patios below.	Preserve		Heritage
407	<i>E. polyanthemos</i>	<i>Silver Dollar Eucalyptus</i>	16	1	Removal recommended; overcrowded; tree has been topped therefore structure is poor and poses a danger to the patios below.	Preserve		Heritage
408	<i>E. polyanthemos</i>	<i>Silver Dollar Eucalyptus</i>	22	1	Removal recommended; overcrowded; tree has been topped therefore structure is poor and poses a danger to the patios below.	Preserve		Heritage
409	<i>E. polyanthemos</i>	<i>Silver Dollar Eucalyptus</i>	17	1	Removal recommended; overcrowded; tree has been topped therefore structure is poor and poses a danger to the patios below.	Preserve		Heritage
410	<i>Pinus radiata</i>	<i>Monterey Pine</i>	31	2	Removal recommended; tree appears to be in decline and is damaging walkway, creating a trip hazard.	Preserve		Heritage
411	<i>E. sideroxylon</i>	<i>Red Ironbark</i>	27	2	Removal recommended; much too large for its location; there is a risk of limb failure due to poor structure and is a danger to residents.	Remove	Structural/Health	Heritage
412	<i>E. sideroxylon</i>	<i>Red Ironbark</i>	31	2	Removal recommended; much too large for its location; there is a risk of limb failure due to poor structure and is a danger to residents.	Remove	Structural/Health	Heritage
413	<i>Prunus cerasifera</i>	<i>Plum</i>	9	3	Tree is healthy and young	Remove	Construction	Non-heritage
414	<i>Prunus cerasifera</i>	<i>Plum</i>	10	3	Tree is healthy and young	Remove	Construction	Non-heritage
415	<i>Pittosporum eugenioides</i>	<i>Pittosporum</i>	10	3	Good health, but overgrown	Remove	Construction	Non-heritage

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416	<i>Pittosporum eugenioides</i>	<i>Pittosporum</i>	10	3	Good health, but overgrown	Remove	Construction	Non-heritage
417	<i>E. polyanthemos</i>	<i>Silver Dollar Eucalyptus</i>	17	3	Removal recommended; tree is a poor example of species, it has been topped in the past and is in a poor location; falling branches pose a danger to residents.	Remove	Structural/Health	Heritage
418	<i>Juniperus chinensis</i>	<i>Juniper</i>	10	3	Good health and vigor	Remove	Construction	Non-heritage
419	<i>Quercus ilex</i>	<i>Holly Oak</i>	11	4	Tree is one-sided due to overcrowding	Preserve		Non-heritage
420	<i>Quercus agrifolia</i>	<i>Live Oak</i>	19	2	Tree is overcrowded and thin	Preserve		Heritage
421	<i>Quercus agrifolia</i>	<i>Live Oak</i>	12	2	Tree is overcrowded and thin	Preserve		Heritage
422	<i>Pinus radiata</i>	<i>Monterey Pine</i>	33	2	Removal recommended; tree appears to be in decline and is damaging walkway, creating a trip hazard.	Preserve		Heritage
423	<i>Pinus radiata</i>	<i>Monterey Pine</i>	27	2	Tree is well pruned, but a little thin	Preserve		Heritage
424	<i>Pinus radiata</i>	<i>Monterey Pine</i>	29	2	Tree is well pruned, but a little thin	Preserve		Heritage
425	<i>Platanus hispanica</i>	<i>Sycamore</i>	10	3	Healthy tree, but branches too long	Preserve		Non-heritage
426	<i>Platanus hispanica</i>	<i>Sycamore</i>	14	3	Healthy tree, but branches too long	Preserve		Non-heritage
427	<i>Platanus hispanica</i>	<i>Sycamore</i>	14	3	Healthy tree, but branches too long	Preserve		Non-heritage
428	<i>Platanus hispanica</i>	<i>Sycamore</i>	9	3	Healthy tree, but branches too long	Preserve		Non-heritage
429	<i>Platanus hispanica</i>	<i>Sycamore</i>	13	3	Healthy tree, but branches too long	Preserve		Non-heritage
430	<i>Platanus hispanica</i>	<i>Sycamore</i>	11	3	Healthy tree, but branches too long	Preserve		Non-heritage
431	<i>Platanus hispanica</i>	<i>Sycamore</i>	9	3	Healthy tree, but branches too long	Preserve		Non-heritage
432	<i>Platanus hispanica</i>	<i>Sycamore</i>	13	3	Healthy tree, but branches too long	Preserve		Non-heritage
433	<i>Platanus hispanica</i>	<i>Sycamore</i>	18	3	Healthy tree, but branches too long	Preserve		Heritage

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434	<i>Platanus hispanica</i>	<i>Sycamore</i>	16	3	Healthy tree, but branches too long	Preserve		Heritage
435	<i>Platanus hispanica</i>	<i>Sycamore</i>	14	3	Good health and vigor, in need of structure prune	Preserve		Non-heritage
436	<i>Platanus hispanica</i>	<i>Sycamore</i>	13	3	Good health and vigor, in need of structure prune	Preserve		Non-heritage
437	<i>Platanus hispanica</i>	<i>Sycamore</i>	12	3	Good health and vigor, in need of structure prune	Preserve		Non-heritage
438	<i>Platanus hispanica</i>	<i>Sycamore</i>	8	3	Good health and vigor, in need of structure prune	Preserve		Non-heritage
439	<i>Populus tremula</i>	<i>Cottonwood Poplar</i>	23	2	Large tree over park areas, heavy ends	Preserve		Heritage
440	<i>Populus tremula</i>	<i>Cottonwood Poplar</i>	26	2	Large tree over park areas, heavy ends	Preserve		Heritage
441	<i>Populus tremula</i>	<i>Cottonwood Poplar</i>	23	2	Large tree over park areas, heavy ends	Preserve		Heritage
442	<i>Malus floribunda</i>	<i>Crab Apple</i>	8	3	Young, vigorous tree	Remove	Construction	Non-heritage
443	<i>Malus floribunda</i>	<i>Crab Apple</i>	8	3	Young, vigorous tree	Remove	Construction	Non-heritage
444	<i>Malus floribunda</i>	<i>Crab Apple</i>	6	3	Young, vigorous tree	Remove	Construction	Non-heritage
445	<i>Malus floribunda</i>	<i>Crab Apple</i>	10	3	Young, vigorous tree	Remove	Construction	Non-heritage
446	<i>Betula pendula</i>	<i>White Birch</i>	6	3	Young, vigorous tree	Remove	Construction	Non-heritage
447	<i>Betula pendula</i>	<i>White Birch</i>	6	3	Young, vigorous tree	Remove	Construction	Non-heritage
448	<i>Betula pendula</i>	<i>White Birch</i>	10	3	Young, vigorous tree	Remove	Construction	Non-heritage
449	<i>Pinus radiata</i>	<i>Monterey Pine</i>	31	3	Included bark, fair health	Preserve		Heritage
450	<i>Pinus radiata</i>	<i>Monterey Pine</i>	26	1	Removal recommended; tree is declining and has severely included bark on the limb over garage.	Remove	Structural/Health	Heritage
451	<i>Platanus hispanica</i>	<i>Sycamore</i>	12	3	Good health, but needs to be structure pruned	Preserve		Non-heritage
452	<i>Platanus hispanica</i>	<i>Sycamore</i>	11	3	Good health, but needs to be structure pruned	Preserve		Non-heritage
453	<i>Platanus hispanica</i>	<i>Sycamore</i>	11	3	Good health, but needs to be structure pruned	Preserve		Non-heritage
454	<i>Platanus hispanica</i>	<i>Sycamore</i>	10	3	Good health, but needs to be structure pruned	Preserve		Non-heritage
455	<i>Platanus hispanica</i>	<i>Sycamore</i>	10	3	Good health, but needs to be structure pruned	Preserve		Non-heritage

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456	<i>Platanus hispanica</i>	<i>Sycamore</i>	11	3	Good health, but needs to be structure pruned	Preserve		Non-heritage
457	<i>Platanus hispanica</i>	<i>Sycamore</i>	11	3	Good health, but needs to be structure pruned	Preserve		Non-heritage
458	<i>Platanus hispanica</i>	<i>Sycamore</i>	13	3	Good health, but needs to be structure pruned	Preserve		Non-heritage
459	<i>Platanus hispanica</i>	<i>Sycamore</i>	13	3	Good health, but needs to be structure pruned	Preserve		Non-heritage
460	<i>Pinus radiata</i>	<i>Monterey Pine</i>	36	3	Good health and vigor	Preserve		Heritage
461	<i>Prunus caroliniana</i>	<i>Carolina Cherry</i>	6	3	Good health and vigor; however, tree has lean	Preserve		Non-heritage
462	<i>Quercus ilex</i>	<i>Holly Oak</i>	10	3	Good health and vigor; however, tree has lean	Preserve		Non-heritage
463	<i>Quercus lobata</i>	<i>Valley Oak</i>	33	3	Appears healthy, but is showing some trunk decay	Preserve		Heritage
464	<i>Pinus radiata</i>	<i>Monterey Pine</i>	27	2	Removal recommended; located much too close to building and is causing damage to foundation and pipes.	Preserve		Heritage

Heritage Removal
Heritage Construction Removal
Non - Heritage Removal
Tree formerly classified as Heritage Removal
For further comments on these trees please see Sharon Green Re-evaluation 12-5-13

Heritage Trees for removal 42



Walt Fujii

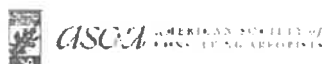
Consulting Arborist

24701 Broadmore Ave
Hayward, CA 94544

415.699.6269

fujiiitrees@gmail.com

ASCA Registered Consulting Arborist # No. 402
ISA Certified Arborist No. WL225/A
PAW/ISA Certified Tree Risk Assessor No. 1182
CA DPR Qualified Applicator Certificate No. 82521



December 11, 2013

Mr. Kyle Perata, Planner
City of Menlo Park
Community Development Department
701 Laurel Street
Menlo Park, CA 94025

Re: Sharon Green Apartments
Updated Arborist Report

Dear Mr. Perata,

As requested, Fujiitrees Consulting (FTC) completed a peer review of the Heritage Tree Reevaluation Report, November 19, 2013; Tree Protection Measures, December 3, 2013 and the Updated Tree Inventory Report. These updated reports were submitted on behalf of the Sharon Green Apartments located at 350 Sharon Park Drive in the City of Menlo Park.

This peer review would be equivalent to the work typically conducted by the City Arborist for development projects. An earlier peer review conducted by FTC included a visit to the site and was submitted October 21, 2013

The FTC Assignment:

1. Review the Heritage Tree Reevaluation Report, November 19, 2013.
2. Review the Tree Protection Measures, December 3, 2013
3. Review the Updated Tree Inventory Report

Background

The Applicant submitted a tree report to the City of Menlo Park dated August 23, 2013. After review of the submitted report the City requested the Applicant to reevaluate the Heritage trees proposed for removal for the purpose of preserving more Heritage trees.

Findings

1. Review the Heritage Tree Reevaluation Report, November 19, 2013.
FTC summarized the updated status of Heritage trees in the following table:



Sharon Green Apartments
Menlo Park, California
December 11, 2013

Summary of Reevaluated Heritage Trees

Proposed Tree Status	Count
Possible Trees for Preservation	23
Tree Removals for Poor Condition	31
Tree Removals for Construction	8
*Tree Removals for Fire Service	3
Total Revaluated Heritage Trees	65

*This is a new line item.

The above trees were cross checked for verification in the tree inventory.

2. Review the Tree Protection Measures, December 3, 2013

FTC comments for the Tree Protection Measures were submitted to City staff and relayed to the Project Arborist.

3. Review the Updated Tree Inventory Report

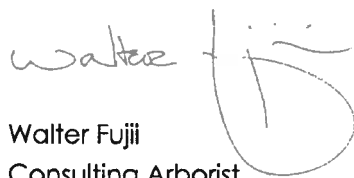
The Updated Tree Inventory contained corrections recommended by FTC but did not reflect the change of status summarized in the above table.

Conclusion

After careful review of the Heritage Reevaluation Report, Tree Protection Measures and Updated Tree Inventory including verification of the tree data FTC has no further comment.

Submittal of this report completes the FTC assignment for this second Arborist peer review of the Sharon Green Apartments Project.

Respectfully,


Walter Fujii
Consulting Arborist



Attachments: Certificate of Performance
Terms and Conditions

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(K2)

Certification of Performance

That I have personally inspected the tree(s) and /or property referred to in this report and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report and I have no personal interest or bias with respect to the parties involved;

That the analysis opinions and conclusions stated herein are my own and are based on current scientific procedures and facts;

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party nor upon the results of the assessment the attainment of stipulated results or the occurrence of any subsequent events;

That my analysis opinions and conclusion were developed and this report has been prepared according to commonly accepted Arboricultural practices;

I further certify that I am a Registered Consulting Arborist® by the American Society of Consulting Arborists (ASCA) and a Certified Arborist by the International Society of Arboriculture (ISA).

Disclosure Statement

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees and recommend measures to enhance the beauty and health of trees and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Certain conditions are often hidden within trees or below the ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances or for a specific period of time. Likewise remedial treatments cannot be guaranteed.

Trees can be managed but they cannot be controlled.
To live near trees is to accept some degree of risk.

Signed: Walter Fujii Date: 12/11/13
Walter Fujii



Fujiitrees Consulting TERMS AND CONDITIONS

The following terms and conditions apply to all oral and written reports and correspondence pertaining to the consultations, inspections and activities of Fujiitrees Consulting hereinafter referred to as "Consultant".

1. Any legal description provided to the Consultant is assumed to be correct. No responsibility is assumed for matters legal in character nor is any opinion rendered as to the quality of any title.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by the Consultant, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
3. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the Consultant and the Client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. The Consultant assumes no liability for the failure of trees or parts of trees, either inspected or otherwise. The Consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. No tree described in this report was climbed, unless otherwise stated. The Consultant cannot take responsibility for any defects, which could only have been discovered by climbing. A full root crown examination (RCX), consisting of excavating the soil around the tree to uncover the root crown and major buttress roots was not performed unless otherwise stated. We cannot take responsibility for any root defects, which could only have been discovered by such an inspection.
6. The Consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
7. The Consultant offers no guarantees or warranties, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the Consultant, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphs material or the work produce of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by the Consultant as to the sufficiency or accuracy of that information.
10. Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.
11. Payment terms are net payable upon receipt of invoice. All balances due beyond 30 days of invoice date will be charged a service fee of 1.5 percent per month (18.0% APR). All checks returned for insufficient funds or any other reason will be subject to a \$25.00 service fee. Advance payment of fees may be required in some cases.





ENVIRONMENTAL QUALITY COMMISSION MEETING MINUTES

Wednesday, December 18, 2013 at 6:30 p.m.
City Administration Building
701 Laurel Street, Menlo Park

The meeting was called to order by Chair Chris DeCardy at 6:35 p.m.

ROLL CALL:

Present: Allen Bedwell, Chris DeCardy (Chair), Kristin Kuntz-Duriseti, Scott Marshall, Mitchel Slomiak (Vice Chair), Christina Smolke

Absent: Deborah Martin

A. PUBLIC COMMENT: None

B. REGULAR BUSINESS

B1. Approve November 20, 2013 Minutes (Attachment)

ACTION: Motion and Second (Slomiak/Kuntz-Duriseti) to approve the November 23, 2013 minutes passes (4-0-3), (Absent: Martin, Abstain: Bedwell/Decardy)

B2. Consider a Recommendation on a Request to Remove 42 Heritage Trees Associated With the Construction of a New Recreation Center Building, New Leasing Office, and Comprehensive Landscaping and Site Improvements Located at 350 Sharon Park Drive (Attachment)

There was a consensus among the Commission that it greatly appreciates the move by the City to include the Commission in this type of review and believes this it is good progress to a better process. Looking at the eight heritage tree ordinance criteria, the EQC believes that one or more trees can be preserved with primary reasons based on criteria number six while being sensitive to criteria number two. Given the timing of the proposed project, it was difficult to give the same diligence as when the EQC reviews usual heritage tree appeals that include one or a few trees (given that this project includes 42 for potential removal plus broader issues).

While having this type of review is an improvement in the current heritage tree review process, the full process of reviewing projects that impact heritage trees must be streamlined to ensure the interactions and timing between the City's Planning department, Planning Commission, EQC, and City Council works most efficiently and effectively so that both opponents and proponents of a given project are not unnecessarily burdened by the process or believe that their points of view have not been adequately reviewed.

Public Comment

- Dennis Hanley, former resident of Sharon Green Apartments, stated that he does not support the proposed project and stated that there are alternatives to placing the fire line.
- Uzi Bar-Gadda, resident of Sharon Green Apartments, stated that he does not support the proposed project because the development plan needs to be reviewed thoroughly, improvements need to be made to the design of the project, development will lead to increased traffic on Sand Hill Road, and that there needs to be a proper maintenance plan for the trees on site.
- Tara Fogel, resident at Sharon Green Apartments, stated that she does not support the proposed project because the health and safety of the residents is not being taken into consideration. Steps need to be taken in order to minimize the impacts that the development will have on the tenants and trees.
- Alexander Fogel, resident at Sharon Green Apartments, stated that he does not support the proposed project because construction over a three-year period will pose significant health risks to tenants. There are prop 65 warnings throughout the apartment complex and tenants will be exposed to toxins such as asbestos which can cause lung disease and cancer. Windows alone are not a barrier to these risks and residents need to be provided with better protection.
- Amy Poon, former resident at Sharon Green Apartments, stated that she does not support the project because there are multiple maintenance issues that need to be addressed prior to the proposed project, which include making the property wheelchair accessible, installing new windows for each apartment, and ensuring that safeguards are put in place to protect tenants. Too many trees are being removed and each tree needs to be examined thoroughly prior to moving forward.
- Walt Fujii, of Fujiiitrees Consulting, commented that among the trees proposed for removal, some are in healthy condition and do not need to be removed.

ACTION: Motion and Second (Slomiak/Bedwell) that the following recommendations be considered prior to the approval of the project, passes (6-0-1), (Absent: Deborah Martin).

1. The applicant reconsider trees that will be removed for building construction by submitting structure designs that preserve trees; and
2. As a condition of the development permit, the project and existing/future property owners must ensure that there are "N" number of heritage trees on the whole property at all times going forward. The number "N" should be determined to be no less than the current total of heritage trees on the entire site, but also could be set at a higher level or set to increase in future years. A certified arborist must confirm and document the total number and locations of heritage trees on the property and then annually certify that the number of healthy and well maintained heritage trees is equal to or greater than "N." Any new trees planted on the site must be from city approved list going forward. Particular magnificent specimens should be identified and singled out for special protection. In addition, the development permit should include the following:

- a. Property owner should pay for its own oversight and city oversight of this permit requirement; and
- b. Ensure this permit standard holds when the property is sold; and
- c. Failure to maintain the required number of trees or proper maintenance to keep trees healthy shall result in a 4-to-1 tree replacement in addition to a significant financial penalty (which EQC recommends be used to further the city's heritage tree protection and maintenance program).

B3. Consider a Recommendation to the City Council Regarding the Draft 2014-2019 Capital Improvement Plan (Memo from City Manager) (Draft 2014-2019 Capital Improvement Plan)

ACTION: No Action. Staff presented the commission with an overview of the Capital Improvement Plan process and updated the commission on environmentally related projects.

B4. Receive Update on Environmental Quality Awards

ACTION: No Action. The Commission tabled this item for a future commission meeting.

B5. Discuss Environmental Quality Commission Two Year Work Plan Update and Subcommittee Changes (Work Plan and Subcommittee Attachment)

ACTION: No Action. The Commission tabled this item for a future commission meeting.

C. REPORTS AND ANNOUNCEMENTS

The following updates were received by commission:

C1. Staff Update on Environmental Policies to be Considered by City Council

C2. Commission Subcommittee Reports and Announcements

C3. Discuss Future Agenda Items

The meeting was adjourned at 9:44 p.m.

Meeting minutes prepared by Vanessa Marcadejas, Environmental Programs Specialist.

ATTACHMENT M

DRAFT – February 10, 2014

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MENLO PARK, CALIFORNIA APPROVING HERITAGE TREE REMOVAL PERMITS FOR THE PROPERTY LOCATED AT 350 SHARON PARK DRIVE.

WHEREAS, on March 20, 2013, the City of Menlo Park ("City") received applications from BRE properties, Inc. ("Project Sponsor") for removal of 62 heritage trees at the property located at 350 Sharon Park Drive in Menlo Park ("Project Site"), which have since been reduced to 42 heritage tree removals; and

WHEREAS, 11 of the requested tree removals are necessary in order to construct site improvements, including a new leasing office and site access, and 31 trees are necessary to remove due to their existing health or structure; and

WHEREAS, the removal of Heritage Trees within the City is subject to the requirements of Municipal Code Chapter 13.24, Heritage Trees; and

WHEREAS, the City contracted with an independent arborist ("Consulting Arborist") to review the requested tree removals;

WHEREAS, the Consulting Arborist reviewed the requested tree removals on October 21, 2013 and the revised tree removal request on December 11, 2013; and

WHEREAS, the Consulting Arborist determined that 31 of the heritage trees contained poor health or structure and that 11 heritage trees were necessary to enable construction of the proposed site improvements; and

WHEREAS, the Consulting Arborist reviewed the Project Arborist assessment and agreed that the 42 Heritage Trees proposed for removal were in poor to fair health; and

WHEREAS, the City Arborist reviewed the Consulting Arborist's report and agreed with the determinations; and

WHEREAS, the City Arborist determined that the proposed approximately 159 replacement trees would be more compatible with the site; and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and



WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the Planning Commission of the City of Menlo Park on February 10, 2014 whereat all persons interested therein might appear and be heard; and

WHEREAS, the Planning Commission of the City of Menlo Park having fully reviewed, considered and evaluated all the testimony and evidence submitted in this matter voted affirmatively to recommend to the City Council of the City of Menlo Park to approve the Heritage Tree Removal Permits; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the City Council of the City of Menlo Park on March 4, 2014 whereat all persons interested therein might appear and be heard.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Menlo Park hereby approves the Heritage Tree Removal Permits.

I, Pamela Aguilar, City Clerk of Menlo Park, do hereby certify that the above and foregoing Council Resolution was duly and regularly passed and adopted at a meeting by said Council on the ____ day of _____, 2014, by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this ____ day of _____, 2014.

Pamela Aguilar
City Clerk

M2



PLANNING COMMISSION STAFF REPORT

FOR THE PLANNING COMMISSION
MEETING OF FEBRUARY 10, 2014
AGENDA ITEM E1

LOCATION:	1090 El Camino Real	APPLICANT:	Rob Fischer
EXISTING USE:	Vacant	OWNER:	Dennis Grimsman
PROPOSED USE:	Restaurant	APPLICATION:	Architectural Control
ZONING:	SP-ECR/D (El Camino Real/Downtown Specific Plan) - SA E (Station Area East)		

PROPOSAL

The applicant is requesting architectural control approval to allow exterior modifications to an existing two-story commercial building in conjunction with a full-service restaurant use in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The proposed exterior modifications would include relocating the main entry from the El Camino Real frontage to the Santa Cruz Avenue frontage, installing a new canopy at the main entry, removing an existing arbor in the plaza shared with Menlo Center (1010 El Camino Real), adding a new exterior staircase on the Santa Cruz Avenue frontage within the shell of the existing building, and constructing a new rooftop deck at the rear of the existing building. The rooftop deck would include an elevator penthouse, stair enclosure, and a canopy shade structure. The proposed restaurant would include outdoor seating on the ground floor in the plaza, as well as on the rooftop deck. The gross floor area for the building would not increase as part of the project.

BACKGROUND

The existing two-story commercial building occupies the vast majority of the subject parcel. The original front portion of the building was constructed in 1925, and has historically been occupied by a variety of commercial uses, including a bank, the City's first City Hall, public library, offices, and a restaurant. Most recently, the building was occupied by the British Bankers Club (BBC) restaurant. An addition to the rear of the original building was constructed in 1990, and was designed to mimic the design and materials of the original building. The addition was constructed as an expansion to the restaurant use that had operated in the original building, and was subsequently converted into a separate tenant space that was most recently occupied by the Knickerbockers Tobacconist cigar shop.

Planned Development Permit

In 1988, a Planned Development Permit (PDP) was approved for the Menlo Center commercial development. The PDP was established for the entire city block, and included both the Menlo Center and the subject properties, which are separate parcels that are currently under separate ownership. The PDP includes provisions for shared land use regulations, parking requirements, and development standards. The PDP enabled the construction of the previously-referenced rear addition of 1090 El Camino Real. The El Camino Real/Downtown Specific Plan was adopted in June 2012, and provides new regulations to govern the use and development of property. However, the Specific Plan also states that existing entitlements (such as Planned Development Permits) will continue to be honored and enforced. The PDP is included as Attachment D.

ANALYSIS

Site Location

The subject site is located at 1090 El Camino Real, at the southeast corner of El Camino Real and Santa Cruz Avenue, with El Camino Real oriented in a north-south direction. The Menlo Center development, which occupies the remainder of the city block, consists of a mix of commercial uses (retail, restaurant, and offices). The Caltrain parking lot and train station is directly to the east, and a mix of commercial uses (restaurants, retail, offices) are located to the north, south, and west of the subject city block. The property across the street to the north at 556-558 Santa Cruz Avenue is a mixed use building containing commercial space on the ground floor and residential units above. All properties on adjacent blocks are also in the El Camino Real/Downtown Specific Plan zoning district.

Project Description

The applicant is proposing to modify the exterior building façades as part of the tenant improvements for a full-service restaurant. The proposed restaurant would operate seven days a week, from 7:00 a.m. to 2:00 a.m., with food served during the full hours of operation. The applicant has indicated that there will not be any live entertainment, either indoors or outdoors, although background music would be provided. Any future proposal to incorporate live entertainment with the restaurant use would require new discretionary review.

The overall restaurant use is permitted, and use permit approval is not required for the proposed project. Architectural control approval is required for the proposed exterior improvements, which would include relocating the main entry from the El Camino Real frontage to the Santa Cruz Avenue frontage, installing a new canopy at the main entry, removing an existing arbor in the plaza shared with Menlo Center (1010 El Camino Real), adding a new exterior staircase on the Santa Cruz Avenue frontage, and constructing a new rooftop deck at the rear of the existing building.

The new restaurant would operate on three floors, with the interior layout substantially reconfigured from the current floor plan. The ground floor would consist of indoor and outdoor (plaza) dining areas, bar areas, a kitchen, storage, and a ware wash area. The mezzanine would include a flexible dining area that could accommodate private functions, a bar, and back of house and food preparation areas. The roof level would include a new deck to accommodate an outdoor dining area, a bar, and a grill, as well as a new mechanical enclosure. An existing small basement would be closed off and would not be utilized, as described in more detail below. Circulation through all of the floors would be accommodated by an elevator, two interior staircases, and one exterior staircase. The staircases are required to provide the necessary egress for each of the upper floors.

The applicant's project description letter describes the proposal in more detail, and is included as Attachment C.

Design and Materials

Santa Cruz Avenue Entry and El Camino Real Frontage

The site's El Camino Real frontage currently has a sidewalk that is approximately eight feet in width, with the building set back approximately four feet, 11 inches from the edge of the sidewalk and property line. A concrete landscape planter occupies most of the building setback area, with a small pedestrian path providing access to the existing building entrance. The applicant is proposing to close off the entry on the El Camino Real frontage and relocate the new expanded building entry to the Santa Cruz Avenue frontage, where the sidewalk is wider at approximately ten to eleven feet in width. The El Camino Real building facade would be kept substantially intact, with the exception of replacing the existing door with a window and replacing the existing walkway with landscaping.

A new steel and glass panel entry canopy would be installed on the Santa Cruz Avenue frontage, which would project approximately three feet from the face of the building and hang over a portion of the public sidewalk, to emphasize the new main entry. The proposed canopy overhang would comply with the Specific Plan's standard for architectural projections (Specific Plan Standard E.3.3.07). The Santa Cruz Avenue entry would also include an outdoor bench feature and a ramp that leads to the recessed entry door. The proposed relocation of the building entry to the Santa Cruz Avenue frontage would be in compliance with the Specific Plan's standard for building entries to be oriented to a public street (Specific Plan Standard E.3.5.09).

The Specific Plan establishes a requirement for 12-foot wide sidewalks along El Camino Real, made up of a four-foot wide furnishings zone and an eight-foot wide clear walking zone. There are no unique sidewalk requirements along the Santa Cruz Avenue frontage. Generally, projects proposing comprehensive redevelopment are required to implement these improvements. Although implementation of a 12-foot wide sidewalk could be feasible as part of the proposed, primarily interior remodel project, it would present several significant challenges and a wider sidewalk would not necessarily result

in a significant contribution to the streetscape or pedestrian experience. The existing sidewalk along the El Camino Real frontage is approximately eight feet in width, with the clear walking zone approximately six feet due to encroachments from an existing fire hydrant and traffic signal. The necessary eight-foot wide clear walking zone could only be achieved by either significantly reducing or completely eliminating the existing landscape feature. The applicant is proposing to retain the existing planters and expand this landscape feature into the existing entry area. Staff believes that this landscaping feature would continue to contribute to the visual interest of the building and function as a buffer between the building and the street, and should be preserved as an amenity that would enhance the pedestrian experience. Furthermore, given that the proposed project primarily involves renovation of the existing building with modest site improvements, strict implementation of the sidewalk requirement would not be proportional to the limited scope of the proposed improvements.

Exterior Staircase

The proposed project would include the removal of two vertical brick wall panels along the Santa Cruz Avenue frontage in order to create an exterior staircase. This modification would preserve the existing columns and horizontal spandrel beam, with the new staircase housed inside the existing building “shell” within the 1990 addition. The staircase itself would be of a contemporary design, with steel framing with glass guardrails. A glass fence panel would be installed on top of the building base between two existing columns on the ground floor for safety. The exterior staircase would provide direct access to the street level from the roof floor only, with no direct access to the interior of the building, and is necessary to meet egress requirements for the roof floor.

Stair Vestibules

The proposed design of the staircases would result in the vestibule areas for stairs #2 and #3 to be recessed into the building and open to the street on the Santa Cruz Avenue frontage, although access to the stairs themselves would be controlled through a door. These vestibules would be consistent with Specific Plan Guideline E.3.5.14, which permits building entries to be recessed from the primary building façade. Staff had expressed potential security concerns regarding the open vestibule areas, particularly as they may provide opportunities for loitering. The applicant proposed security lighting as well as the installation of metal roll-down doors to improve security in these areas. The roll-down doors, which would consist of a metal chain curtain, would provide a security barrier while allowing the staircase to remain visible and open to the street, and would look similar to roll-down doors employed by stores inside a shopping mall. Installation of the doors would be hidden, either behind the existing wall at the stair #2 vestibule, or behind the existing spandrel beam at the stair #3 vestibule. The doors would only be rolled down and visible only when the restaurant is closed, and would be rolled up during normal business hours.

Staff believes that the aesthetics of the roll-down doors is not necessarily ideal, and recommends revisiting this component in the future, and only if there is a demonstrated

security need. Staff would be supportive of the proposed security lighting as an effective and the least aesthetically intrusive option, particularly light fixtures with motion detectors. Future proposals for the roll-down doors or other security features may be reviewed at the staff level without the need for Planning Commission consideration, and is included as condition 4a.

Roof Level

The proposed project includes improvements to the roof level, including a new roof deck dining area at the rear of the building, and a new mechanical enclosure. The roof level would be served by an elevator and two staircases (one staircase with direct access to the interior of the building, one with direct access to the street level). Structures proposed on the roof include a new elevator penthouse, stair enclosure, and canopy shade structure over the majority of the bar and dining area. The elevator penthouse and stair enclosure structure would be clad in a light colored stucco, and the canopy structure would consist of a light colored canvas canopy over a metal frame. The new mechanical equipment enclosure would be located towards the center of the building, and would be constructed of painted wood board and steel framing. The elevator penthouse would be the tallest element on the roof, with an overall height of 35 feet, 9 inches, and is well below the 51-foot height limit specified in the PDP.

Outdoor Seating

Outdoor seating is proposed in the shared plaza and on the new rooftop deck. The use of these outdoor seating areas would occur during the same business hours as the restaurant. Outdoor seating in the shared plaza has historically occurred on the site as part of the operations of the previous restaurant tenant. There is an easement agreement between the owners of the subject parcel and the Menlo Center property to allow outdoor seating serving the subject parcel to occur in the shared plaza within a defined boundary. Given the historical occurrence of outdoor seating in the plaza and the formal agreement between the owners of both properties, no further discretionary approval is required.

The applicant is proposing to remove the existing semi-circular arbor structure in the plaza in order to better accommodate the outdoor seating in this area. The proposed outdoor furniture would include tables and chairs, planter boxes, canvas umbrellas and a wait station. The proposed cast concrete planter boxes would help establish physical boundaries for the outdoor seating area on the ground level plaza. While moveable, the planters would remain in place 24 hours a day, and would be removed only for cleaning and general maintenance. Currently, Café Borrone and the soon-to-open Borrone MarketBar, both located on the ground floor of Menlo Center, provide outdoor seating in the plaza area. Café Borrone's outdoor seating includes areas within the existing portico and extends out to the uncovered plaza. Borrone MarketBar's outdoor seating is limited to the existing portico area along their tenant space. The proposed plaza seating area would not interfere with these existing outdoor seating areas, nor would it impede the pedestrian access path between these outdoor seating areas. The Tan Group, which owns and manages the Menlo Center development, has provided

comments on the plaza seating area, which is discussed in more detail in the Correspondence section below.

The rooftop outdoor dining area would include a bar, moveable grill, tables and chairs, planter boxes, and a wait station. Access to the rooftop deck would be provided through an elevator and two staircases (an interior staircase provides access from the interior of the building, and an exterior staircase provides direct access to the street level from the roof floor). A canopy structure consisting of a light earth tone canvas over steel framing is proposed over the majority of the usable deck area.

The applicant has stated that there will not be any live entertainment indoors or outdoors. Background music would be provided in the outdoor seating areas, with speakers mounted under the umbrellas in the plaza, and under the canopy structure in the roof dining area. Condition 4b is included to ensure that noise levels generated from these outdoor uses would comply with the noise requirements in the Noise Ordinance.

Staff believes the continued implementation of outdoor seating in the plaza would complement the proposed full-service restaurant use, and could help enhance the vibrancy of downtown.

On-Site Consumption of Alcohol

The sale of alcoholic beverages is regulated by both the City and the California Department of Alcoholic Beverages Control (ABC). The subject site had previously been granted a license for the sale of beer, wine, and liquor for on-site consumption from the ABC (ABC Type 47, "On-Sale General for Bona Fide Public Eating Place") as part of the operation of the previous British Bankers Club restaurant. The applicant is in the process of applying for the same type of liquor license (ABC Type 47, "On-Sale General for Bona Fide Public Eating Place") to include alcohol service both inside the building and in the outdoor seating areas. Given that the site had previously been approved for on-site consumption of alcohol, no additional discretionary approval is required for the proposed on-site consumption of alcoholic beverages as part of the restaurant use.

The proposed planter boxes on the plaza are necessary as part of the ABC's requirements to delineate the outdoor area of alcoholic beverage service. The approval would include a condition that any future citation or notice of violation by the ABC or similar agency could be grounds for considering revocation of the use permit (condition 4c).

Gross Floor Area

The proposed renovations would result in a substantially reconfigured floor plan where existing square footage would be reallocated between floors. Changes that would result in a reduction of floor area include closing off the existing small basement, opening up wall sections for the exterior staircase (stair 3), recessing the Santa Cruz Avenue

building entry, and opening up the stair vestibules on the ground floor. Expansions would occur on the mezzanine level to accommodate a larger dining area for private functions, and on the roof floor to house the elevator penthouse and staircase enclosure. The proposed trash room, mechanical chase, and hollow decorative columns on the plaza elevation are eligible for exclusion from the gross floor area (GFA) calculation.

The existing building currently has a 246.8 square foot basement that is used for utilities and storage space. The applicant has indicated that the existing basement area is not necessary for the proposed restaurant, and has requested to close off this space entirely in order to reallocate its square footage towards the expanded mezzanine and roof floors. The proposed conversion of the space would occur through several physical modifications, including: 1) removal of all existing partitions, staircase, mechanical equipment, and ductwork; 2) the installation of a metal deck with a four-inch thick concrete slab on the deck to create a new floor to reduce the interior height from approximately eight feet, four inches to four feet, measured from the top of the new concrete slab to the ceiling. The approximately three-foot, eight-inch tall area below the deck would remain empty, but would have no access for usability; and 3) close off the staircase opening with new wood framing and a new floor.

A summary of the proposed changes to the gross floor area is provided in the following table:

Gross Floor Area (GFA) Calculation

	Existing GFA	Proposed GFA	Change
Basement	246.8 sf	0 sf	- 246.8 sf
Ground Floor	4,875.8 sf	4,614.8 sf	- 261.0 sf
Mezzanine	2,727.5 sf	2,998.5 sf	+ 271.0 sf
Roof Floor	0 sf	195.3 sf	+ 195.3 sf
TOTAL	7,850.1 sf	7,808.6 sf	- 41.5 sf

With the removal of the basement and other floor plan changes, the proposed project would result in a slight overall reduction of 41.5 square foot of gross floor area as compared with existing conditions. To help ensure that the basement area is not converted into usable space in the future, staff also recommends condition 4d, which is the recordation of a deed restriction indicating that the eliminated area of the basement must remain unusable unless an equivalent amount of GFA is removed elsewhere on the site. Any proposal to modify floor area may be subject to further review and discretionary approval.

Parking

The subject site does not have any off-street parking facilities on-site. As part of the PDP approval for the Menlo Center development, parking for both the subject site and Menlo Center development is accommodated entirely on the Menlo Center site's multi-level parking structure. The parking structure provides a total of 275 parking spaces in a multi-level parking structure which includes an underground garage level, ground level parking at the rear of the building, and a second level garage. A summary of the number of parking spaces at each parking level is provided in the table below:

Parking Distribution by Location

Location	Spaces
Underground Garage	179*
Ground level	40
Second level	56
Total	275

*Per the PDP, 11 of these spaces are reserved for public use.

Parking for employees of the subject site would be accommodated at the ground level, and customers would park in the underground level. Menlo Center's office tenants currently have exclusive use of the gate-controlled parking facilities on the second level.

A restaurant use had historically occupied the subject site, and the proposed restaurant would maintain the same type of use. The proposed restaurant would not result in any increase in the existing gross floor area, and would not expand upon the previously approved use. Given that the proposed project is neither a new use on the site, nor an expansion of a previous use, there would be no change in the amount of required parking for the proposed restaurant as compared to the existing conditions.

Staff is not aware of any complaints from the neighbors or the community about insufficient parking supply for the subject site and the Menlo Center development, or any overflow of parking into neighboring streets. Given that a restaurant use had previously operated on the subject site, and that the proposed project would not result in any increase in gross floor area, staff believes that the existing parking facilities shared with the Menlo Center development would continue to adequately provide for the parking demand associated with the new business.

Correspondence

In October 2013, staff received verbal communication from the Tan Group, which owns and manages the Menlo Center development, expressing concerns regarding the structural capacity of the plaza (which is on a podium) to support the weight of the proposed concrete planters, and the proposed relocation of an existing tree planter on the plaza. The applicant is continuing to work with the Tan Group to address concerns regarding the capacity of the plaza to support the proposed planters, and has since decided to keep the existing tree planter in its current location. Staff subsequently received an email from the Tan Group expressing support for the proposed concrete

planters, but with some comments that would need to continue to be worked out with the applicant. The email is included as Attachment G.

Further refinements to the planter design and/or spacing that are substantially in conformance with the proposed plans could be reviewed by Planning staff, and would not require additional review by the Planning Commission.

Conclusion

Staff believes that the scale, materials, and proposed design would be compatible with the existing building and other commercial buildings in the area. The proposed contemporary design elements, such as the entry canopy feature and exterior staircase, would complement the character-defining elements of the original building. The continued implementation of outdoor seating in the plaza would be complementary to the proposed full-service restaurant use, and could help enhance the vibrancy of downtown. Staff recommends that the Planning Commission approve the proposed project.

ENVIRONMENTAL REVIEW

The Specific Plan process included detailed review of projected environmental impacts through a program Environmental Impact Report (EIR), as required by the California Environmental Quality Act (CEQA). In compliance with CEQA requirements, the Draft EIR was released in April 2011, with a public comment period that closed in June 2011. The Final EIR, incorporating responses to Draft EIR comments, as well as text changes to parts of the Draft EIR itself, was released in April 2012, and certified along with the final Plan approvals in June 2012.

The proposed project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines as such, no additional environmental analysis is required above and beyond the Specific Plan EIR. However, relevant mitigation measures from this EIR have been applied and would be adopted as part of the Mitigation Monitoring and Reporting Program (MMRP), which is included as Attachment E. Mitigation measures include construction-related best practices regarding noise and the handling of any hazardous materials. The MMRP also includes a completed mitigation measure relating to cultural resources: due to the age of the structure being greater than 50 years, a historic resource evaluation was prepared as part of the initial project review, and is included as Attachment F. This review, which was conducted by a qualified architectural historian, concluded that the original (front) portion of the existing building is a historically significant resource due to its association with the establishment of Menlo Park as an incorporated city, having served as the City's first City Hall, and remains an early and prominent commercial feature along El Camino Real in downtown Menlo Park. In addition, the original building is associated with prominent local architect Birge Clark, who designed over 450 buildings in the greater area, including several notable buildings in the City of Palo Alto. Recommendations for the preservation of character-defining historic elements of the building in accordance with the Secretary of the Interior's Standards have been

incorporated into the proposed design. The proposed project would not result in any significant impacts to historic resources.

RECOMMENDATION

1. Make findings with regard to the California Environmental Quality Act (CEQA) that the proposal is within the scope of the project covered by the El Camino Real/Downtown Specific Plan Program EIR, which was certified on June 5, 2012. Specifically, make findings that:
 - a. The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.
 - b. Relevant mitigation measures have been incorporated into the project through the Mitigation Monitoring and Reporting Program (Attachment E), which is approved as part of this finding.
2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:
 - a. The general appearance of the structure is in keeping with the character of the neighborhood.
 - b. The development will not be detrimental to the harmonious and orderly growth of the City.
 - c. The development will not impair the desirability of investment or occupation in the neighborhood.
 - d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking.
 - e. The development is consistent with the El Camino Real/Downtown Specific Plan. The exterior changes would comply with relevant design standards and guidelines. In particular, standards and guidelines relating to the building entry and architectural projections would be addressed.
3. Approve the use permit and architectural control subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by CCS Architecture, consisting of 30 plan sheets, dated received February 4, 2014, and approved by the Planning Commission on February 10, 2014, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.

- b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, Recology, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval of the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Prior to commencing any construction activities in the public right-of-way or public easements, including, but not limited to, installation of the proposed canopy over the public sidewalk, the applicant shall obtain an encroachment permit for review and approval of the Engineering Division.
4. Approve the use permit subject to the following ***project-specific*** conditions:
- a. Future proposals for roll-down doors or other security features for the vestibule areas for stairs #2 and #3 shall be considered based on a demonstrated need for additional security, and may be submitted for review and approval of the Planning Division. Roll-down doors shall be considered in conjunction with the proposed business hours.
 - b. All outdoor noise amplification must meet required noise levels at any residential property line in accordance with the Noise Ordinance.
 - c. Any citation or notification of violation by the California Department of Alcoholic Beverage Control or other agency having responsibility to assure public health and safety for the sale of alcoholic beverages will be grounds for considering revocation of the use permit.
 - d. Concurrent with the complete submittal of a building permit, the applicant shall submit a deed restriction for review and approval by the Planning Division and City Attorney that indicates the entirety of the existing basement shall be non-usable, non-occupiable space, and that conversion of this space

into usable or occupiable space would be subject to review and discretionary approval, and may require the elimination of gross floor area elsewhere on the property. The applicant shall submit documentation of recordation with the San Mateo County Recorder's Office to the Building Division prior to issuance of a building permit.

Report prepared by:
Jean Lin
Associate Planner

Report reviewed by:
Thomas Rogers
Senior Planner

PUBLIC NOTICE & APPEAL PERIOD

Public notification consisted of publishing a legal notice in the local newspaper and notification by mail of owners and occupants within a 500-foot radius of the subject property. Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

ATTACHMENTS

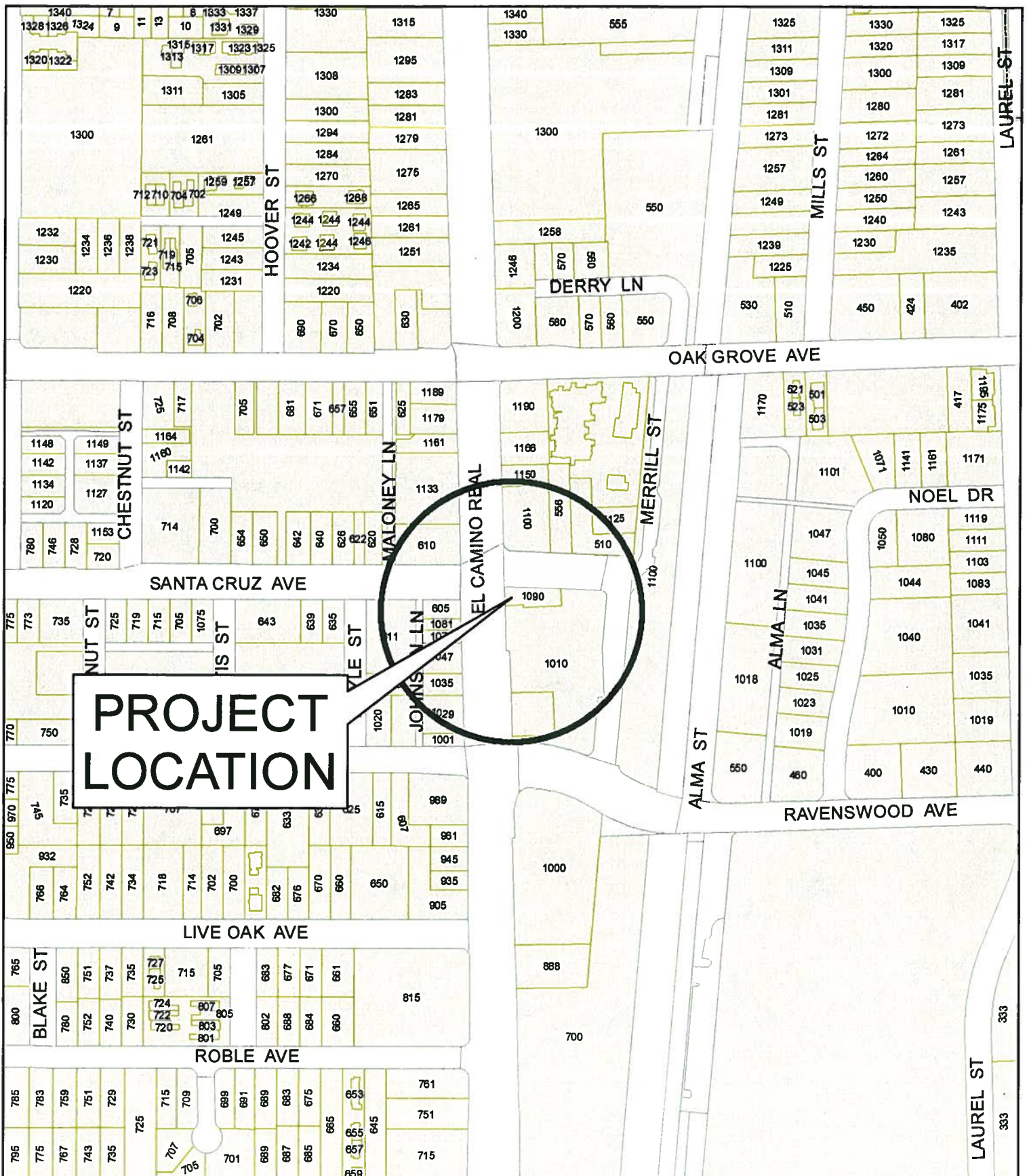
- A. Location Map
- B. Project Plans
- C. Project Description Letter
- D. Planned Development Permit for Menlo Center
- E. Mitigation Monitoring and Reporting Program
- F. Historic Resource Evaluation, dated August 2013, and email dated October 31, 2013
- G. Correspondence
 - Karen Wandvik, The Tan Group, email from dated January 23, 2014

Note: Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

EXHIBITS TO BE PROVIDED AT MEETING

None

V:\STAFFRPT\PC\2014\021014 - 1090 ECR (BBC)\021014 - 1090 El Camino Real (BBC).doc



CITY OF MENLO PARK

LOCATION MAP

1090 EL CAMINO REAL A1

DRAWN: JT CHECKED: JT DATE: 2/10/14 SCALE: 1" = 300' SHEET: 1



(B1)

RECEIVED

FEB 04 2014

CITY OF MENLO PARK
BUILDING

SHEET INDEX

COVER SHEET

GROSS FLOOR AREA CALCULATIONS

AREA PLAN

SITE SURVEY

SITE PLAN

BASEMENT PLAN (REMOVED ACCESS)

FIRST FLOOR PLAN

SECOND FLOOR PLAN

ROOF PLAN

EXTERIOR ELEVATION - WEST

EXTERIOR ELEVATION - SOUTH

EXTERIOR ELEVATION - EAST

EXTERIOR ELEVATION - NORTH

PERSPECTIVES

STREETSCAPE

BUILDING SECTION - LONGITUDINAL

BUILDING SECTION - TRANSVERSE

(E) BASEMENT PLAN

(E) FIRST FLOOR PLAN

(E) SECOND FLOOR PLAN

(E) ROOF PLAN

(E) EXTERIOR ELEVATIONS - WEST AND NORTH

(E) EXTERIOR ELEVATIONS - EAST AND SOUTH

FF&E IMAGES

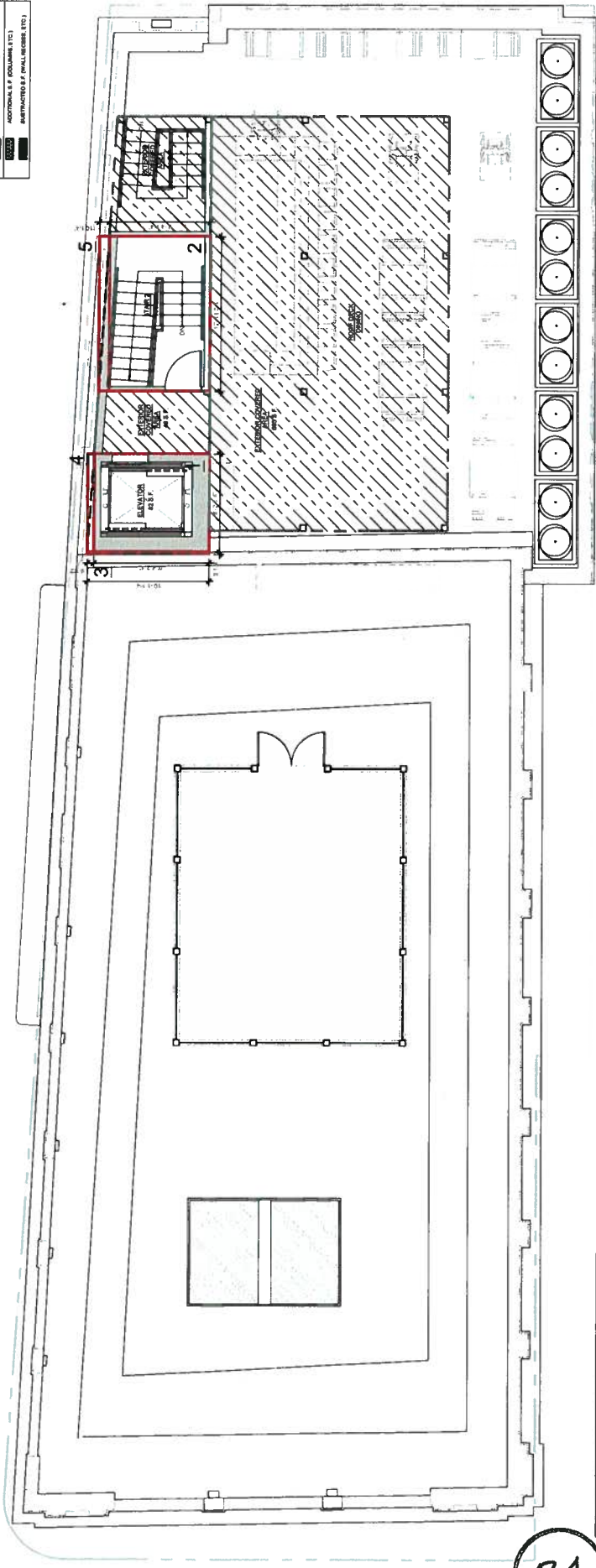
CCS ARCHITECTURE



1080 EL CAMINO REAL, MENLO PARK, CA

PLANNING SUBMITTAL 1.21.14

LEGEND	
	FLOOR AREA ZONE PERIMETER
	PROPERTY LINE
	AREA WITH EXISTING ROOF
	AREA WITH EXISTING ROOF
	EXTERIOR COVERED AREA
	ADDITIONAL S.F. (COLUMNS, ETC.)
	ATTRIBUTED S.F. (PAVILION, ETC.)



325.25 S.F.
Attributed to Roofing

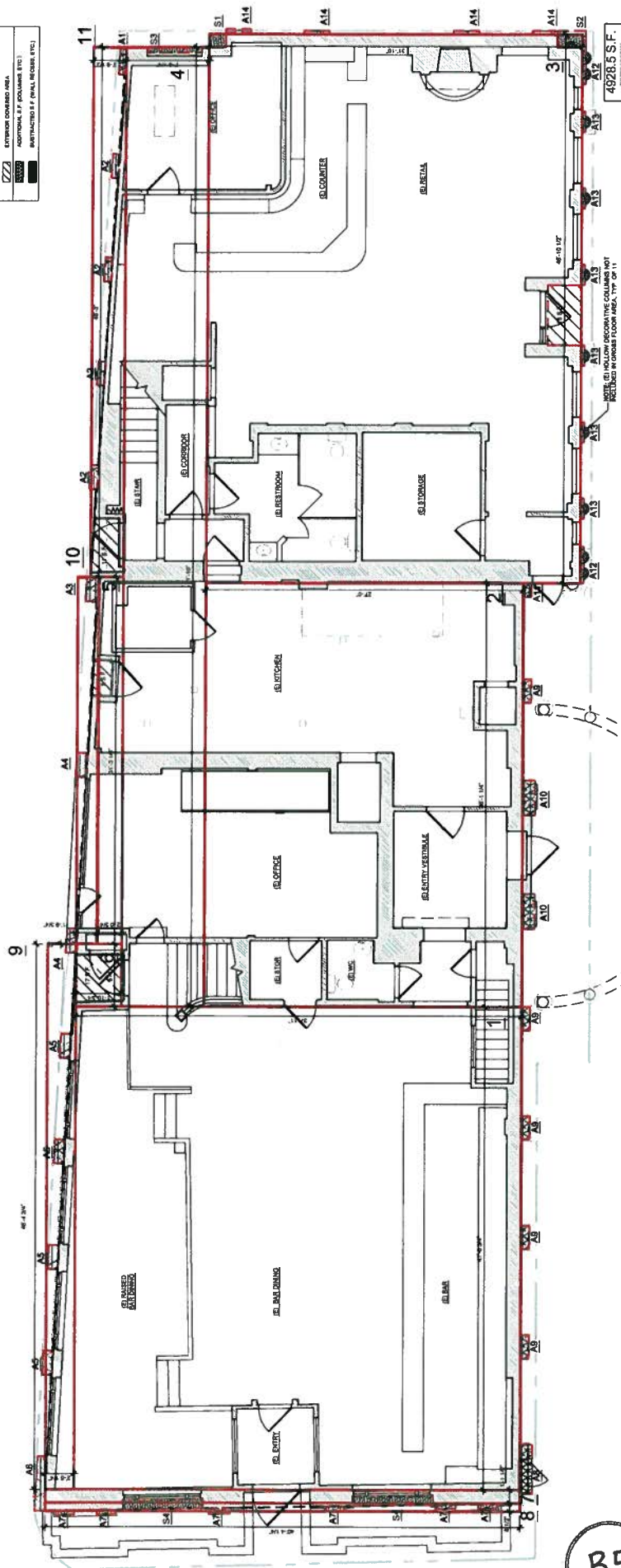
PROPOSED ROOF FLOOR PLAN

ROOF LEVEL GROSS AREA SUMMARY			
ZONE	DIM	TOTAL AREA	GROSS COVERED AREA
1 (ELEVATOR)	8'-3 3/4" x 8'-4 3/4"	70.83 SF	70.83 SF
2 (STAIRS)	12'-11 3/4" x 8'-4 1/4"	108.8 SF	108.8 SF
3 (PAVILION)	12'-11 3/4" x 8'-4 1/4"	108.8 SF	108.8 SF
4 (ELEVATOR)	8'-3 3/4" x 8'-4 3/4"	70.83 SF	70.83 SF
5 (STAIRS)	12'-11 3/4" x 8'-4 1/4"	108.8 SF	108.8 SF
TOTAL GROSS INTERIOR S.F.		368.25 SF	368.25 SF
ROOF LEVEL GROSS AREA SUMMARY			
TOTAL BUILDING COVERAGE		1005.35 SF	
EXTERIOR COVERED AREA		1005.35 SF	
EXCLUDED FLOOR AREA		9.8 SF	
GROSS FLOOR AREA		1015.15 SF	

NOTE:
OUTDOOR DECKING NOT INCLUDED IN AREA SUMMARY.
FLOOR AREA EXCLUSIONS: 10.00 SF (SLO)



B4



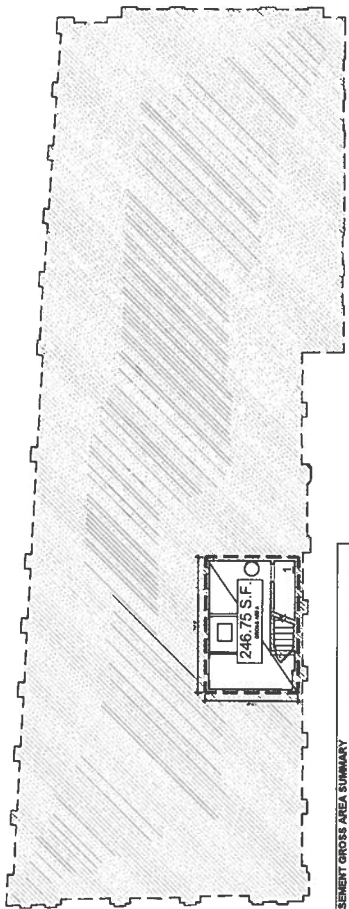
GROUND LEVEL GROSS AREA SUMMARY			
	FIN.	TOTAL AREA	GROSS COVERAGE
1	41'2" X 30'11"	1602.8 SF	1602.8 SF
2	41'2" X 30'11"	1602.8 SF	1602.8 SF
3	41'2" X 30'11"	1602.8 SF	1602.8 SF
4	81'0" X 7'2" X 24'	9728.8 SF	9728.8 SF
5	31'3" X 7'2" X 24'	6478.8 SF	6478.8 SF
6	8'2" X 3'0" X 24'	583.8 SF	583.8 SF
7	4'2" X 3'0" X 11'0"	452.8 SF	452.8 SF
8	41'2" X 30'11"	1602.8 SF	1602.8 SF
9	31'3" X 7'2" X 24'	6478.8 SF	6478.8 SF
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153	41'2" X 30'11"	1602.8 SF	1602.8 SF
154	41'2" X 30'11"	1602.8 SF	1602.8 SF
155	41'2" X 30'11"	1602.8 SF	1602.8 SF
156	41'2" X 30'11"	1602.8 SF	1602.8 SF
157	41'2" X 30'11"	1602.8 SF	1602.8 SF
158	41'2" X 30'11"	1602.8 SF	1602.8 SF
159	41'2" X 30'11"	1602.8 SF	1602.8 SF
160	41'2" X 30'11"	1602.8 SF	1602.8 SF
161	41'2" X 30'11"	1602.8 SF	1602.8 SF
162	41'2" X 30'11"	1602.8 SF	1602.8 SF
163	41'2" X 30'11"	1602.8 SF	1602.8 SF
164	41'2" X 30'11"	1602.8 SF	1602.8 SF
165	41'2" X 30'11"	1602.8 SF	1602.8 SF
166	41'2" X 30'11"	1602.8 SF	1602.8 SF
167	41'2" X 30'11"	1602.8 SF	1602.8 SF
168	41'2" X 30'11"	1602.8 SF	1602.8 SF
169	41'2" X 30'11"	1602.8 SF	1602.8 SF
170	41'2" X 30'11"	1602.8 SF	1602.8 SF
171	41'2" X 30'11"	1602.8 SF	1602.8 SF
172	41'2" X 30'11"	1602.8 SF	1602.8 SF
173	41'2" X 30'11"	1602.8 SF	1602.8 SF
174	41'2" X 30'11"	1602.8 SF	1602.8 SF
175	41'2" X 30'11"	1602.8 SF	1602.8 SF
176	41'2" X 30'11"	1602.8 SF	1602.8 SF
177	41'2" X 30'11"	1602.8 SF	1602.8 SF
178	41'2" X 30'11"	1602.8 SF	1602.8 SF
179	41'2" X 30'11"	1602.8 SF	1602.8 SF
180	41'2" X 30'11"	1602.8 SF	1602.8 SF
181	41'2" X 30'11"	1602.8 SF	1602.8 SF
182	41'2" X 30'11"	1602.8 SF	1602.8 SF
183	41'2" X 30'11"	1602.8 SF	1602.8 SF
184	41'2" X 30'11"	1602.8 SF	1602.8 SF
185	41'2" X 30'11"	1602.8 SF	1602.8 SF
186	41'2" X 30'11"	1602.8 SF	1602.8 SF
187	41'2" X 30'11"	1602.8 SF	1602.8 SF
188	41'2" X 30'11"	1602.8 SF	1602.8 SF
189	41'2" X 30'11"	1602.8 SF	1602.8 SF
190	41'2" X 30'11"	1602.8 SF	1602.8 SF
191	41'2" X 30'11"	1602.8 SF	1602.8 SF
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195	41'2" X 30'11"	1602.8 SF	1602.8 SF
196	41'2" X 30'11"	1602.8 SF	1602.8 SF
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205	41'2" X 30'11"	1602.8 SF	1602.8 SF
206	41'2" X 30'11"	1602.8 SF	1602.8 SF
207	41'2" X 30'11"	1602.8 SF	1602.8 SF
208	41'2" X 30'11"	1602.8 SF	1602.8 SF
209	41'2" X 30'11"	1602.8 SF	1602.8 SF
210	41'2" X 30'11"	1602.8 SF	1602.8 SF
211	41'2" X 30'11"	1602.8 SF	1602.8 SF
212	41'2" X 30'11"	1602.8 SF	1602.8 SF
213	41'2" X 30'11"	1602.8 SF	1602.8 SF
214	41'2" X 30'11"	1602.8 SF	1602.8 SF
215	41'2" X 30'11"	1602.8 SF	1602.8 SF
216	41'2" X 30'11"	1602.8 SF	1602.8 SF
217	41'2" X 30'11"	1602.8 SF	1602.8 SF
218	41'2" X 30'11"	1602.8 SF	1602.8 SF
219	41'2" X 30'11"	1602.8 SF	1602.8 SF
220	41'2" X 30'11"	1602.8 SF	1602.8 SF
221	41'2" X 30'11"	1602.8 SF	1602.8 SF
222	41'2" X 30'11"	1602.8 SF	1602.8 SF
223	41'2" X 30'11"	1602.8 SF	1602.8 SF
224	41'2" X 30'11"	1602.8 SF	1602.8 SF
225	41'2" X 30'11"	1602.8 SF	1602.8 SF
226	41'2" X 30'11"	1602.8 SF	1602.8 SF
227	41'2" X 30'11"	1602.8 SF	1602.8 SF
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230	41'2" X 30'11"	1602.8 SF	1602.8 SF
231	41'2" X 30'11"	1602.8 SF	1602.8 SF
232	41'2" X 30'11"	1602.8 SF	1602.8 SF
233	41'2" X 30'11"	1602.8 SF	1602.8 SF
234	41'2" X 30'11"	1602.8 SF	1602.8 SF
235	41'2" X 30'11"	1	

GROUND FLOOR GROSS AREA SUMMARY	
TOTAL BUILDING COVERAGE	48213 S.F.
EXTERIOR COVERED AREA	47726 S.F.
EXCLUDED FLOOR AREA (HOLLOW COLUMNS)	669 S.F.
GROSS FLOOR AREA	4878576 S.F.

NOTE. OUTDOOR DRINKS NOT INCLUDED IN AREA SUMMARY.
FLOOR AREA EXCLUSION: 16,04,225 (5X(1))



PROJECT MOTION
FIDELITY INVESTMENTS



246.75 S.F.
GROSS AREA

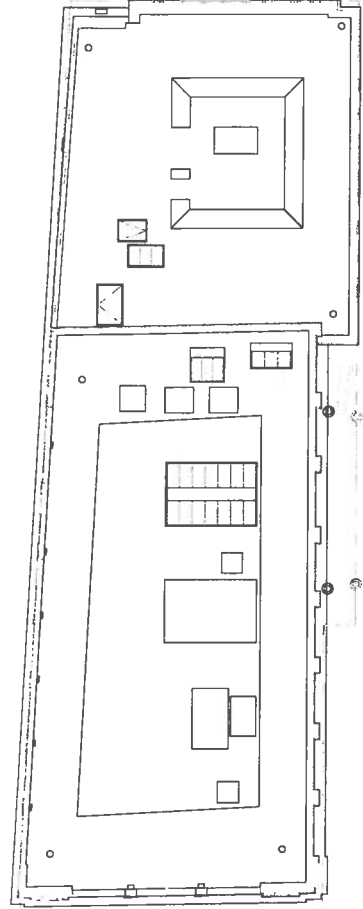
EXISTING BASEMENT FLOOR PLAN

BASEMENT GROSS AREA SUMMARY		
DATE	TOTAL AREA	GROSS COVERAGE
10/27/12	246.75 S.F.	246.75 S.F.

BASEMENT GROSS AREA SUMMARY		
DATE	TOTAL AREA	GROSS COVERAGE
10/27/12	246.75 S.F.	246.75 S.F.

BASEMENT GROSS AREA SUMMARY		
DATE	TOTAL AREA	GROSS COVERAGE
10/27/12	246.75 S.F.	246.75 S.F.

NOTE:
OUTDOOR DRINK NOT INCLUDED IN AREA SUMMARY
FLOOR AREA EXCLUSION: 16.8325 (C21)



EXISTING ROOF FLOOR PLAN

ROOF GROSS AREA SUMMARY		
DATE	TOTAL AREA	GROSS COVERAGE
10/27/12	246.75 S.F.	246.75 S.F.

ROOF GROSS AREA SUMMARY		
DATE	TOTAL AREA	GROSS COVERAGE
10/27/12	246.75 S.F.	246.75 S.F.

ROOF GROSS AREA SUMMARY		
DATE	TOTAL AREA	GROSS COVERAGE
10/27/12	246.75 S.F.	246.75 S.F.

87

B8

EXISTING FLOOR AREA RATIO

GROSS FLOOR AREA:	GROUND FLOOR	MEZZANINE	BASEMENT
	4816.75 S.F.	2777.5 S.F.	248.75 S.F.
TOTAL GROSS FLOOR AREA:	7594 S.F.		
LOT AREA:	8640 S.F.		
FLOOR AREA RATIO:	1.332 (EXISTING NON-COMPLIANT)		
F.A.R. REQUIRED:	1.350		

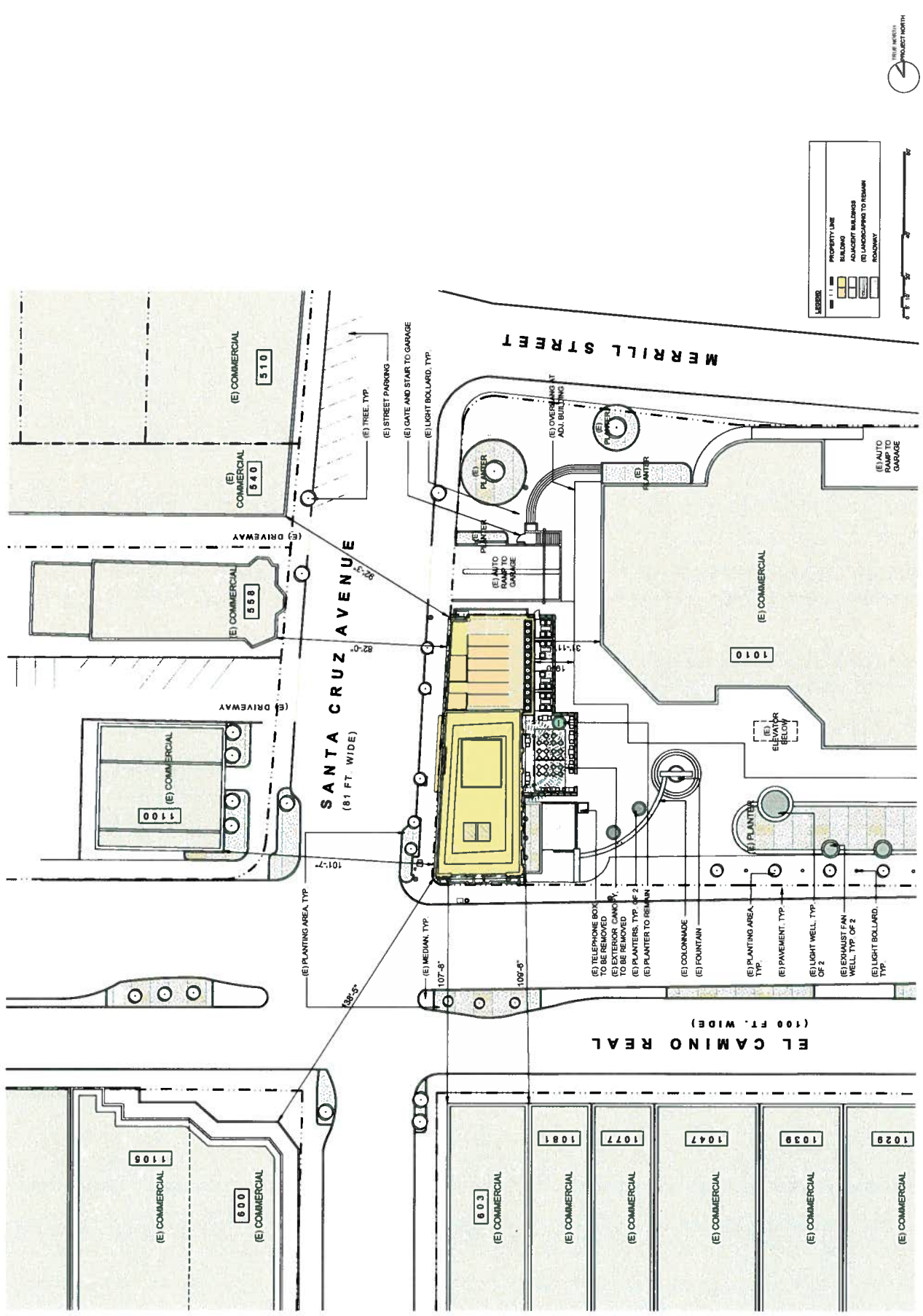
NOTE:
EXISTING BUILDING BUILT BEFORE THE ADOPTION OF CURRENT SPECIFIC PLAN.
PER SECTION 18.04.325 GROSS FLOOR AREA IS DEFINED AS "THE SUM OF HORIZONTAL AREAS OF ALL FLOORS WITHIN THE SURROUNDING SOLID WALLS OF A BUILDING COVERED BY A ROOF MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS."

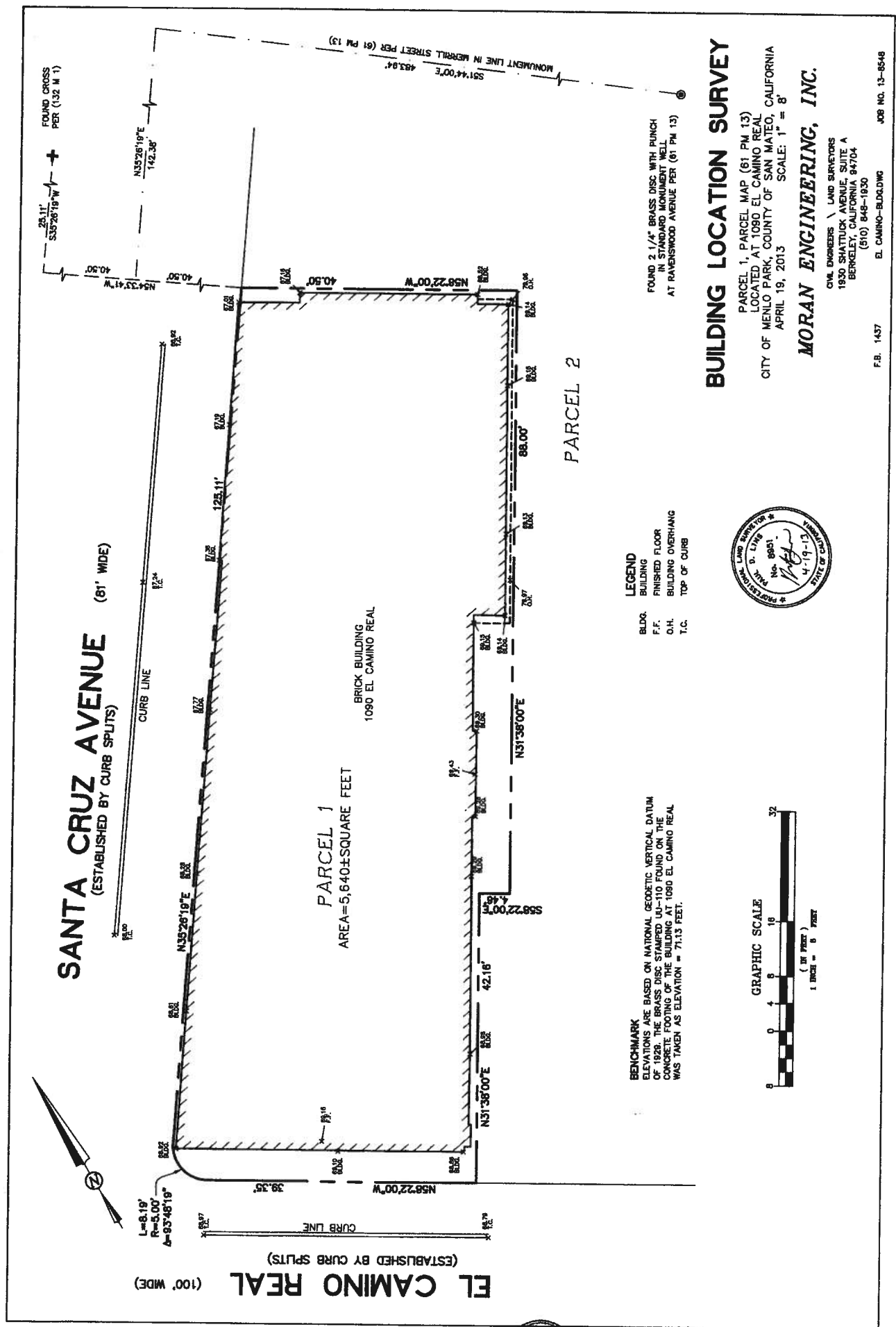
PROPOSED FLOOR AREA RATIO

GROSS FLOOR AREA:	GROUND FLOOR	MEZZANINE	ROOF
BASEMENT (NOT PROPOSED):	4816.75 S.F.	2568 S.F.	198.25 S.F.
	0 S.F.		
TOTAL GROSS FLOOR AREA:	7384 S.F.		
LOT AREA:	8640 SQ. FT.		
FLOOR AREA RATIO:	1.334		

NOTE:
PER SECTION 18.04.325 C (1) AREAS DEDICATED TO ENCLOSURE OF NOISE GENERATING EQUIPMENT, NOT TO EXCEED 1%, ARE EXCLUDED IN CALCULATION OF GROSS FLOOR AREA.
PER SECTION 18.04.325 C (6), VENT SHAFTS ARE EXCLUDED IN CALCULATION OF GROSS FLOOR AREA.
PER SECTION 18.04.325 C (6), ENCLOSURES SOLELY FOR TRASH AND RECYCLING ARE EXCLUDED IN CALCULATION OF GROSS FLOOR AREA.
PER SECTION 18.04.325 GROSS FLOOR AREA IS DEFINED AS "THE SUM OF HORIZONTAL AREAS OF ALL FLOORS WITHIN THE SURROUNDING SOLID WALLS OF A BUILDING COVERED BY A ROOF MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS."

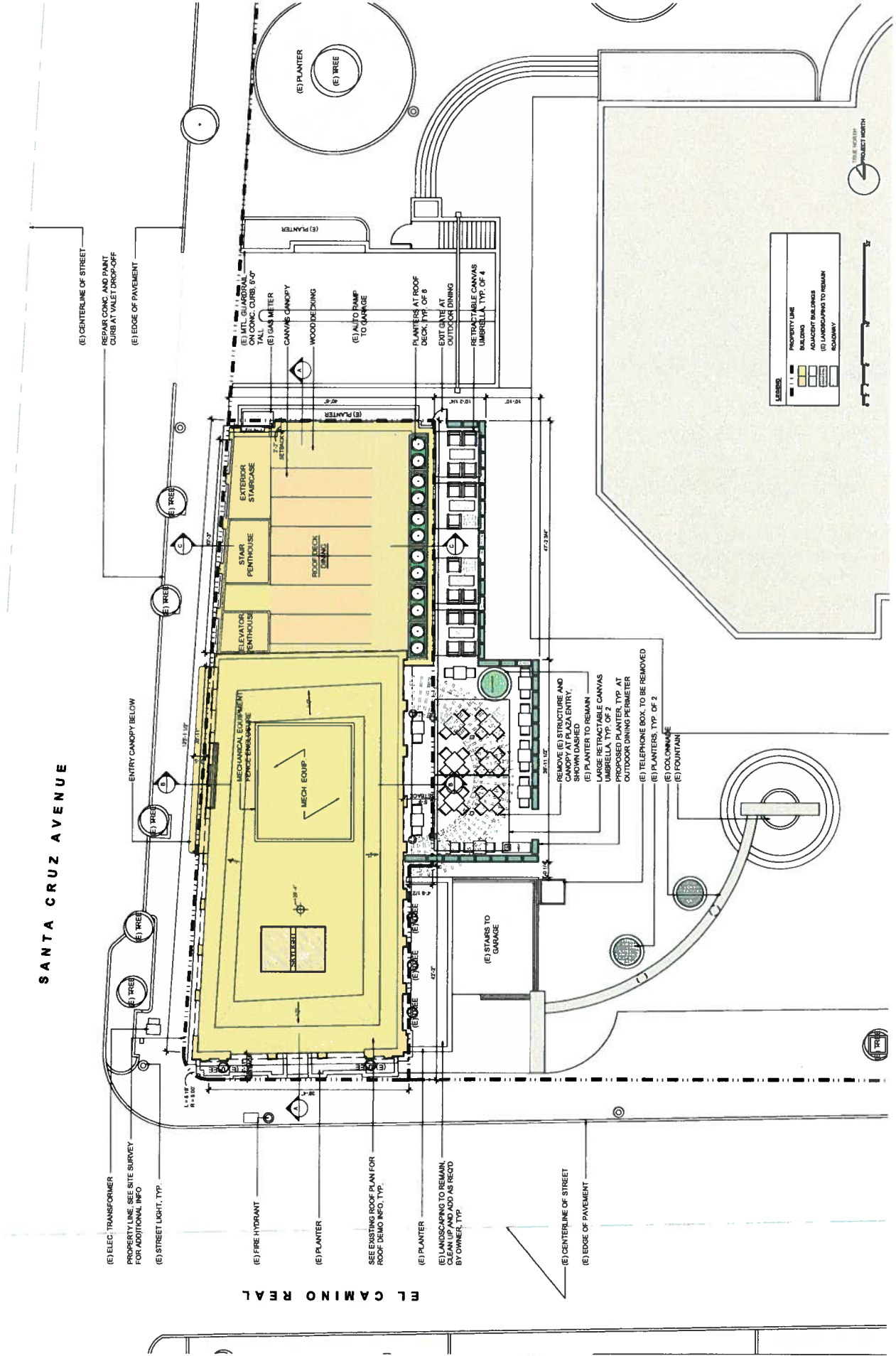
B9





B10

SANTA CRUZ AVENUE



EL CAMINO REAL

(B11)

SITE PLAN

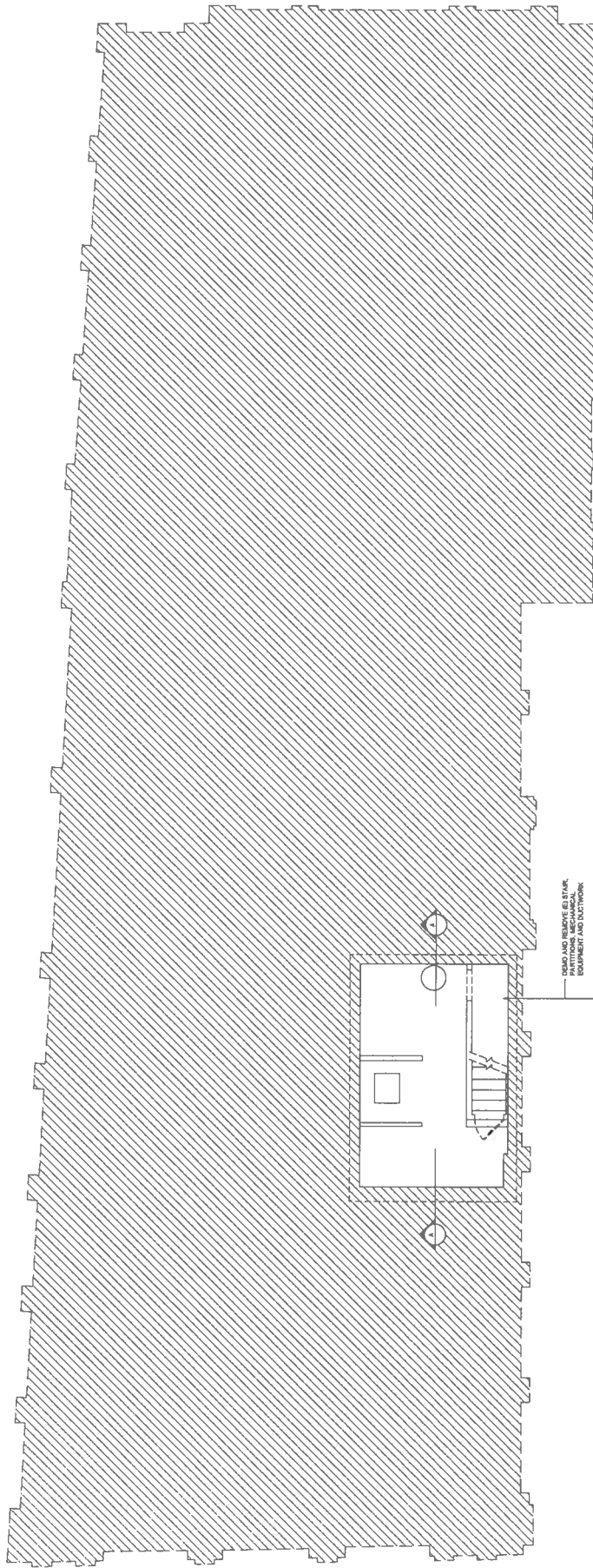
BRITISH BANKERS CLUB

1000 EL CAMINO REAL, MENLO PARK, CA

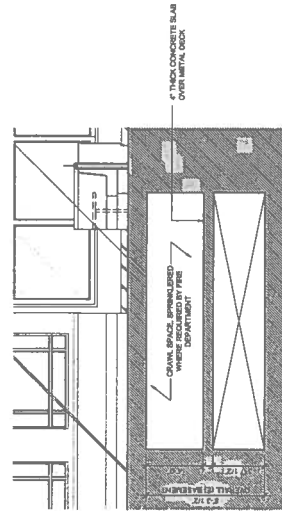
1/8" = 1'

1.21.14

CCS ARCHITECTURE



B12



1 BASEMENT SECTION A-A
1/4" = 1'



NEW

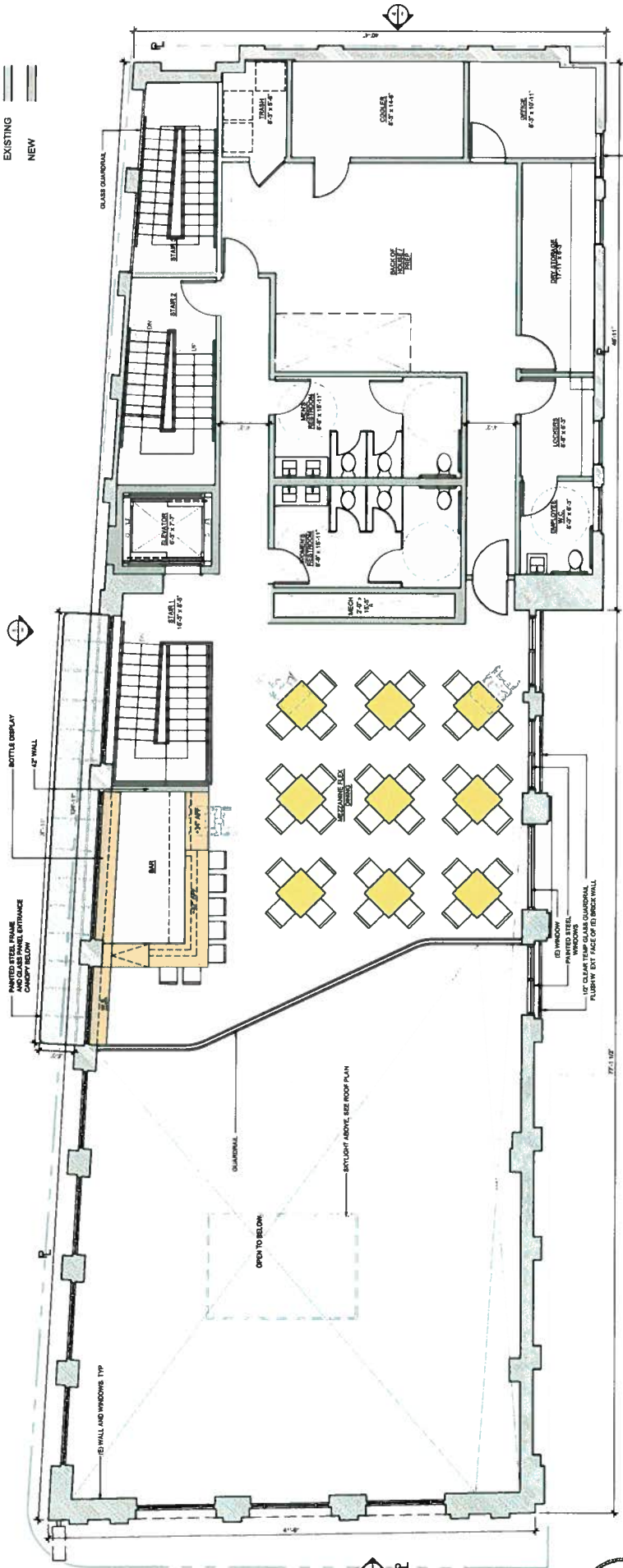


CCS ARCHITECTURE

B13

WALL LEGEND

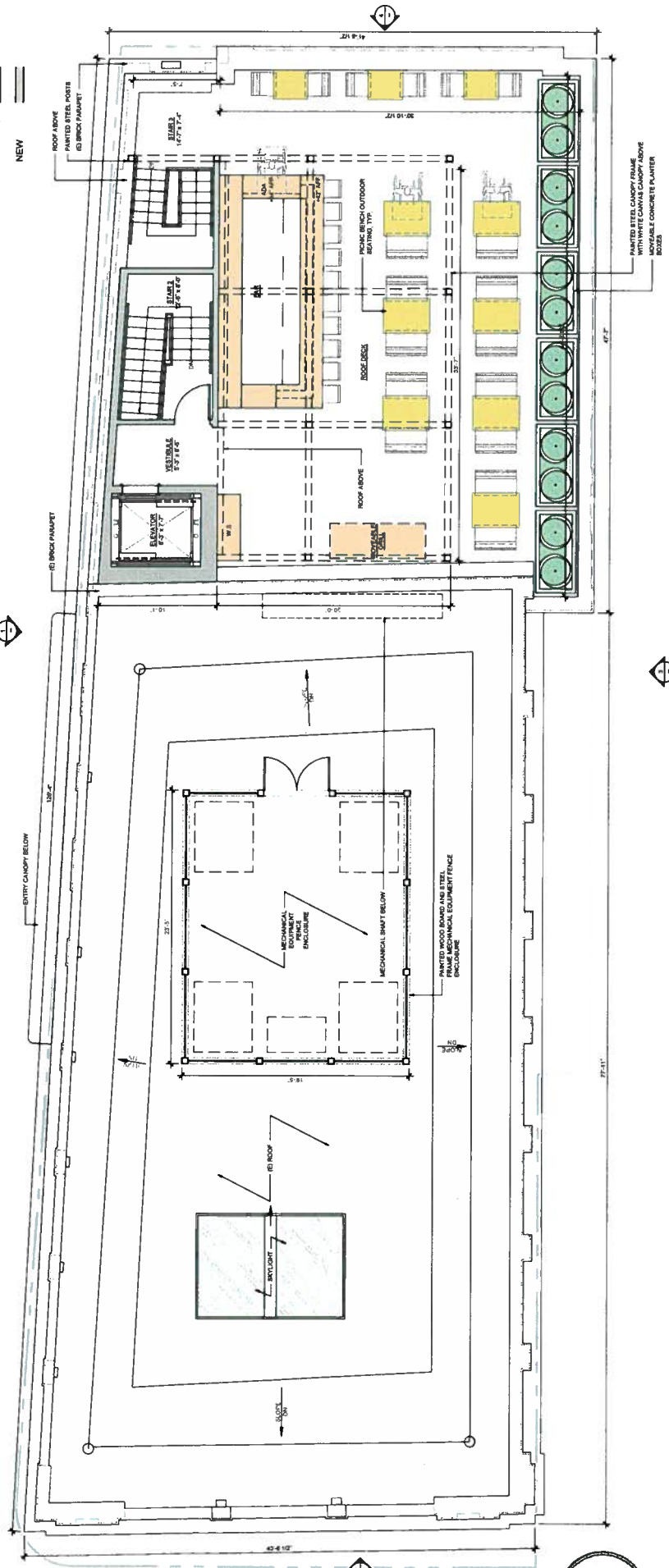
- EXISTING
- NEW



B14

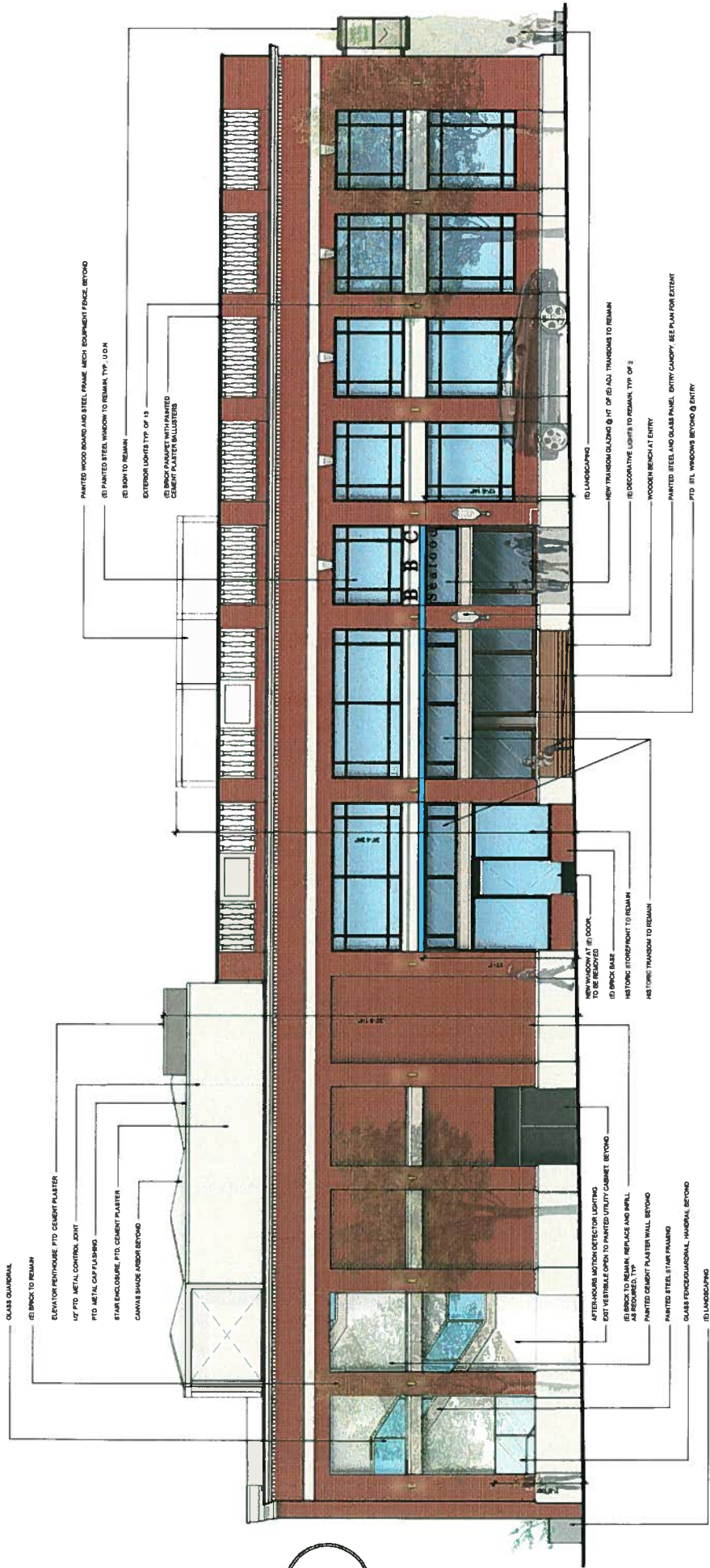
WALL LEGEND

EXISTING
NEW



B15





NOTE
 REFER TO NORTH AND SOUTH ELEVATIONS FOR ADDITIONAL BUILDING HEIGHT DIMENSIONS

1 - EXTERIOR ELEVATION - WEST

EXTERIOR ELEVATIONS

BRITISH BANKERS CLUB

1000 EL CAMINO REAL, MENLO PARK, CA

1/8" = 1'

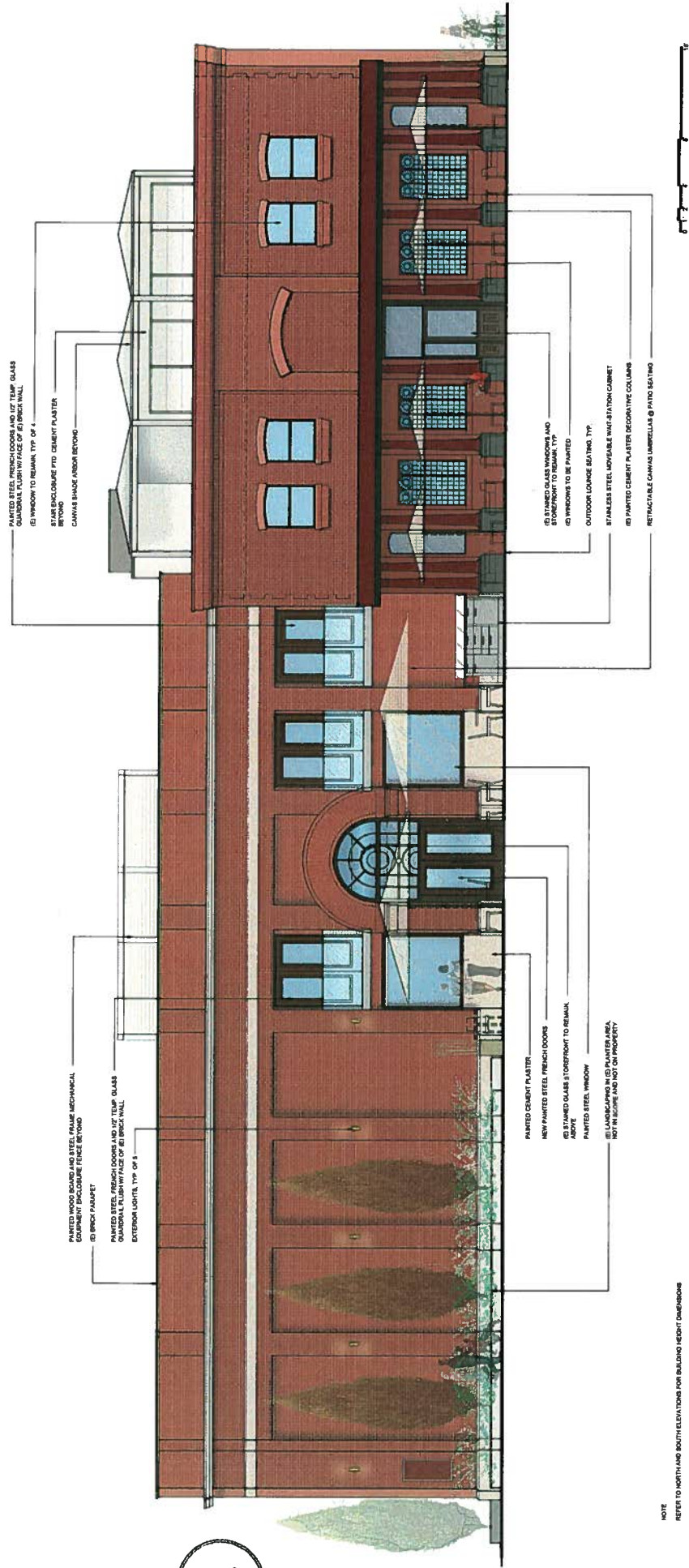
1.21.14

CCS ARCHITECTURE

B16



B18



NOTE
REFER TO NORTH AND SOUTH ELEVATIONS FOR BUILDING HEIGHT DIMENSIONS

3
-
EXTERIOR ELEVATION - EAST

EXTERIOR ELEVATIONS

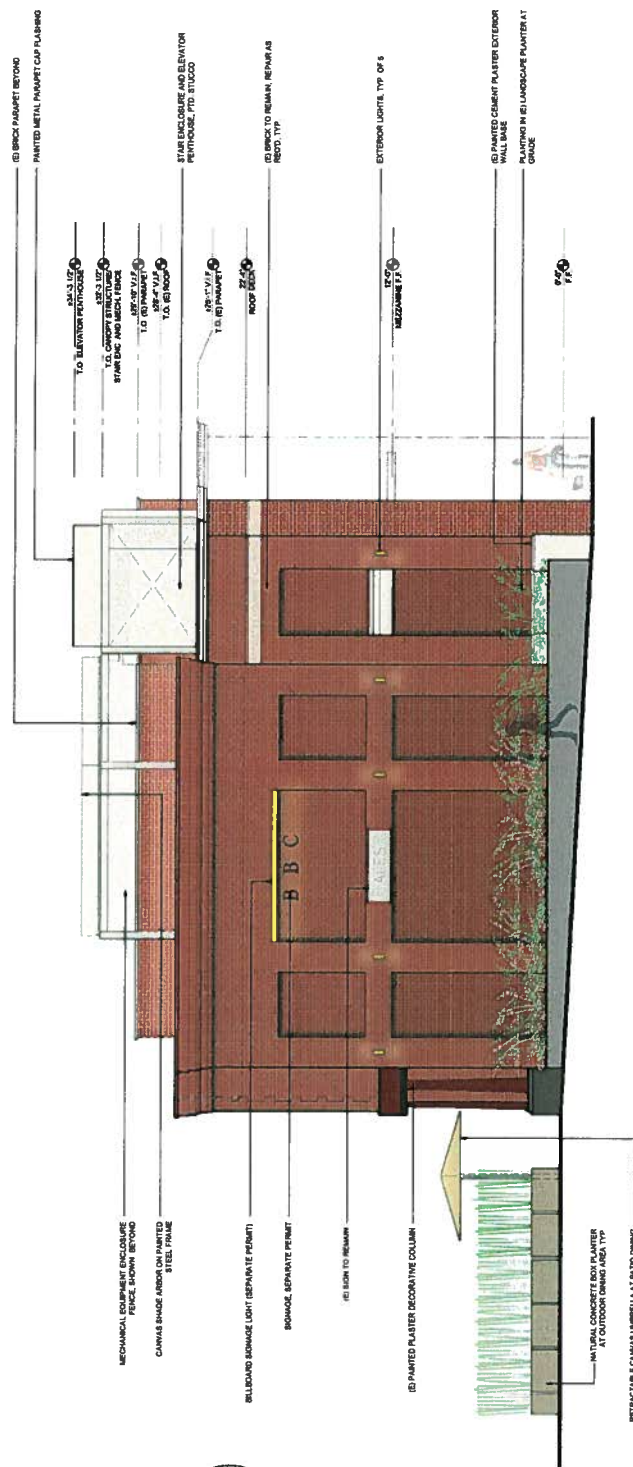
BRITISH BANKERS CLUB

1000 EL CAMINO REAL, MENLO PARK, CA

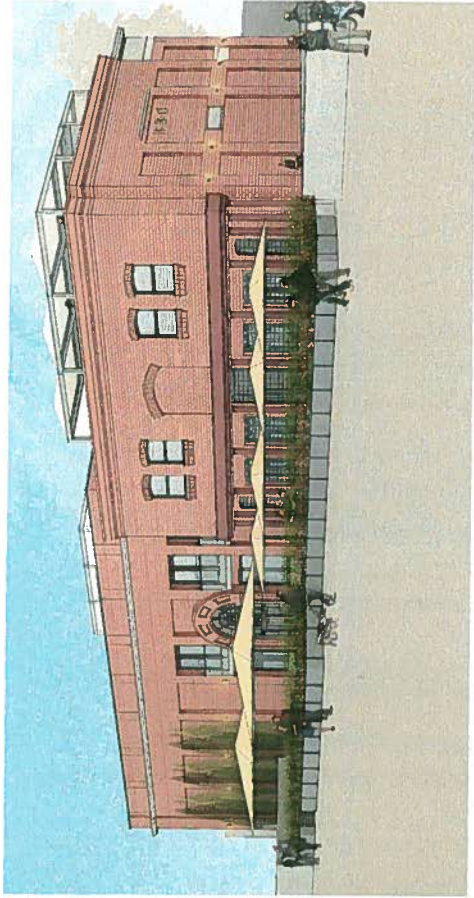
1/4" = 1'

1.21.14

CCS ARCHITECTURE



B20



VIEW LOOKING NORTHWEST



VIEW LOOKING SOUTHEAST



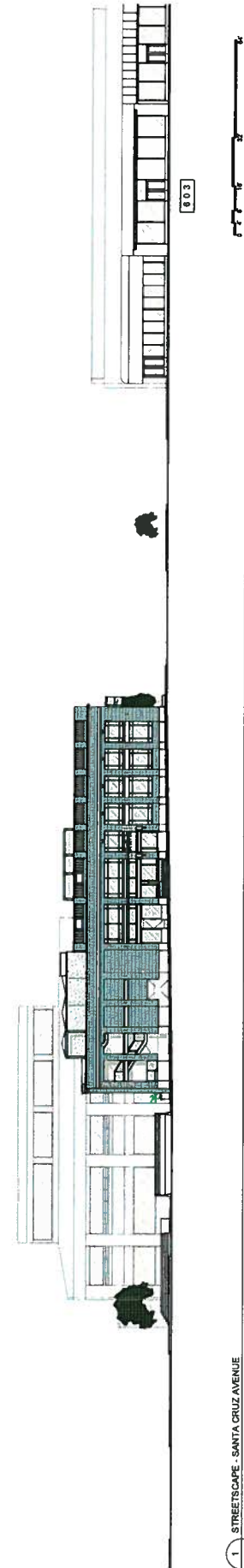
VIEW LOOKING SOUTHWEST



2

STREETSCAPE - EL CAMINO REAL

B21



1

STREETSCAPE - SANTA CRUZ AVENUE

STREETSCAPE

BRITISH BANKERS CLUB

1000 EL CAMINO REAL, MENLO PARK, CA

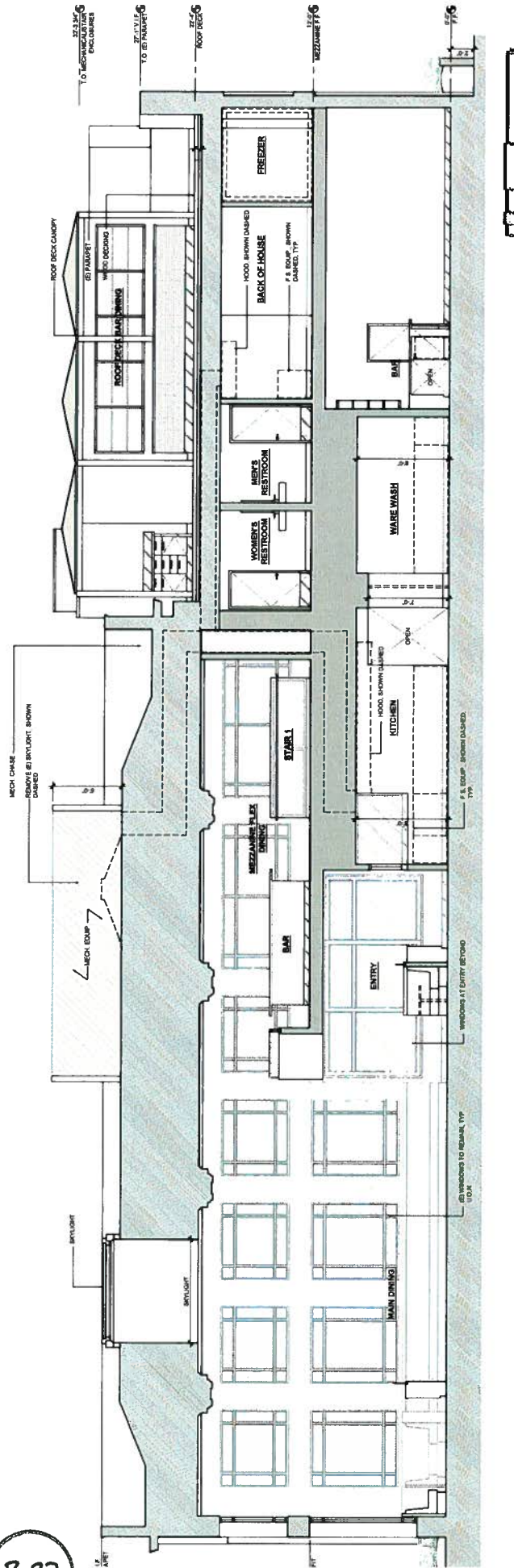
1/16" = 1'

1.21 M

CCS ARCHITECTURE

B 22

EXISTING
PROPOSED



1 SECTION - LONGITUDINAL A-A

SECTION - LONGITUDINAL A-A

BRITISH BANKERS CLUB

1000 EL CAMINO REAL, MENLO PARK, CA

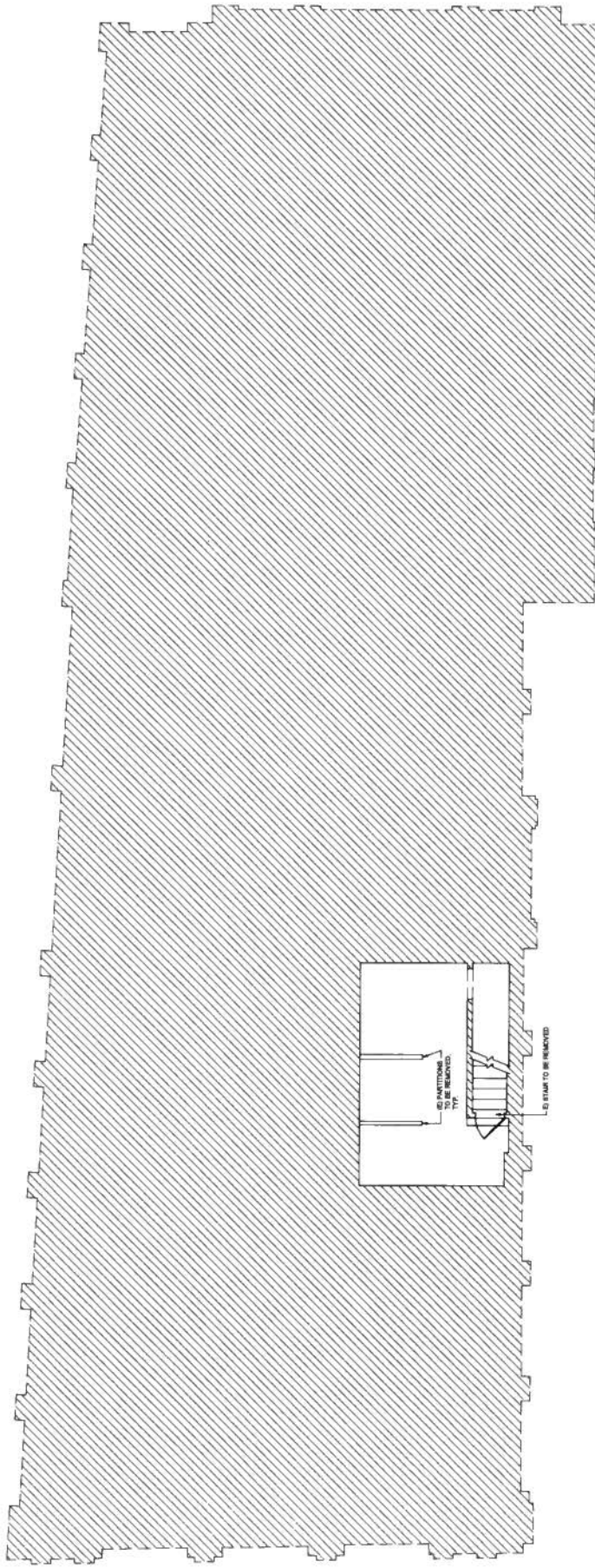
1/4" = 1'

1.21 M

CCS ARCHITECTURE

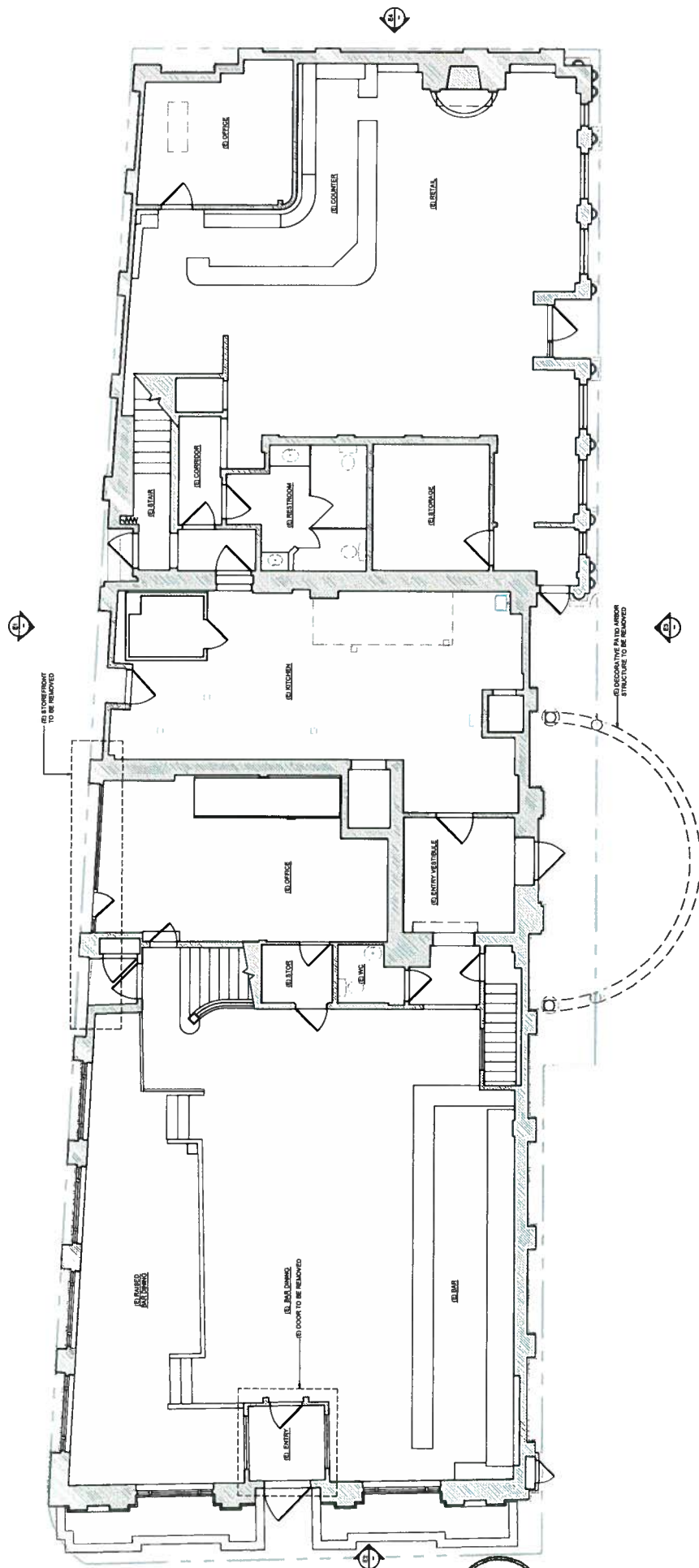


2 SECTION - TRANSVERSE - C-C



B24





B25



EXISTING FIRST FLOOR PLAN

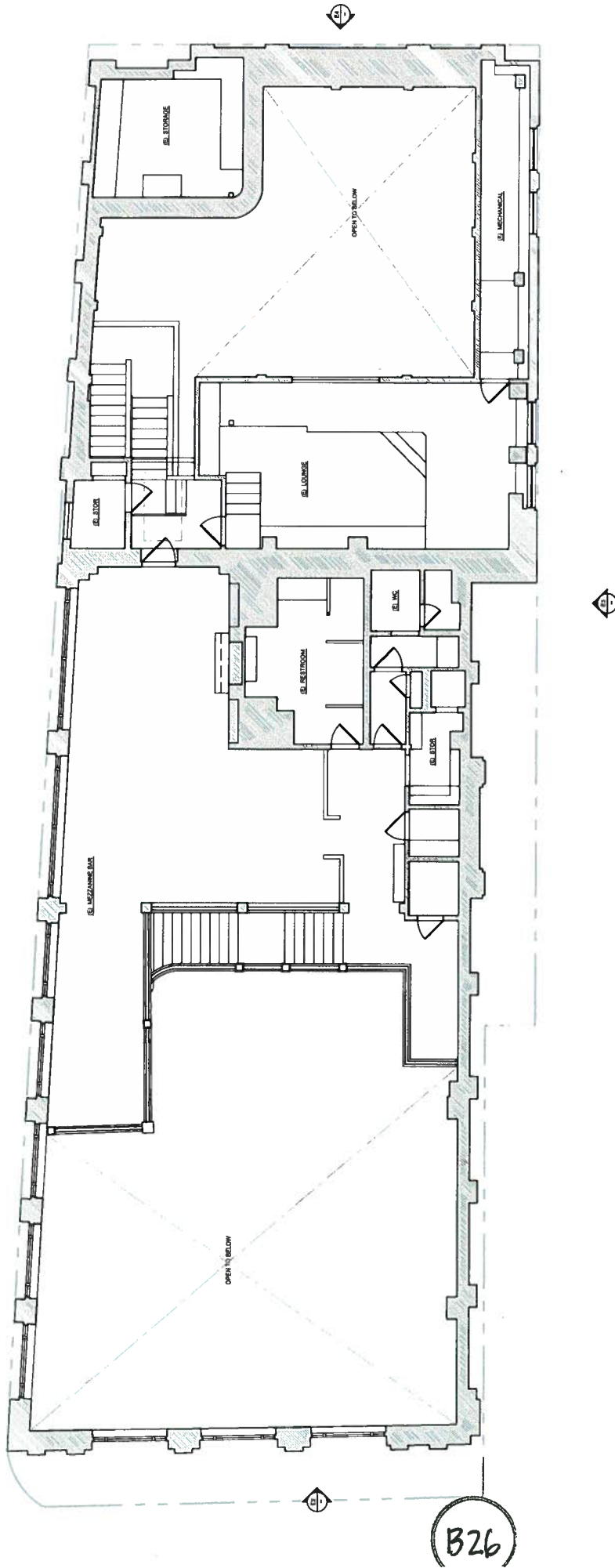
BRITISH BANKERS CLUB

1000 EL CAMINO REAL, MENLO PARK, CA

1/4" = 1'

1.2.1.14

GCS ARCHITECTURE



EXISTING SECOND FLOOR PLAN

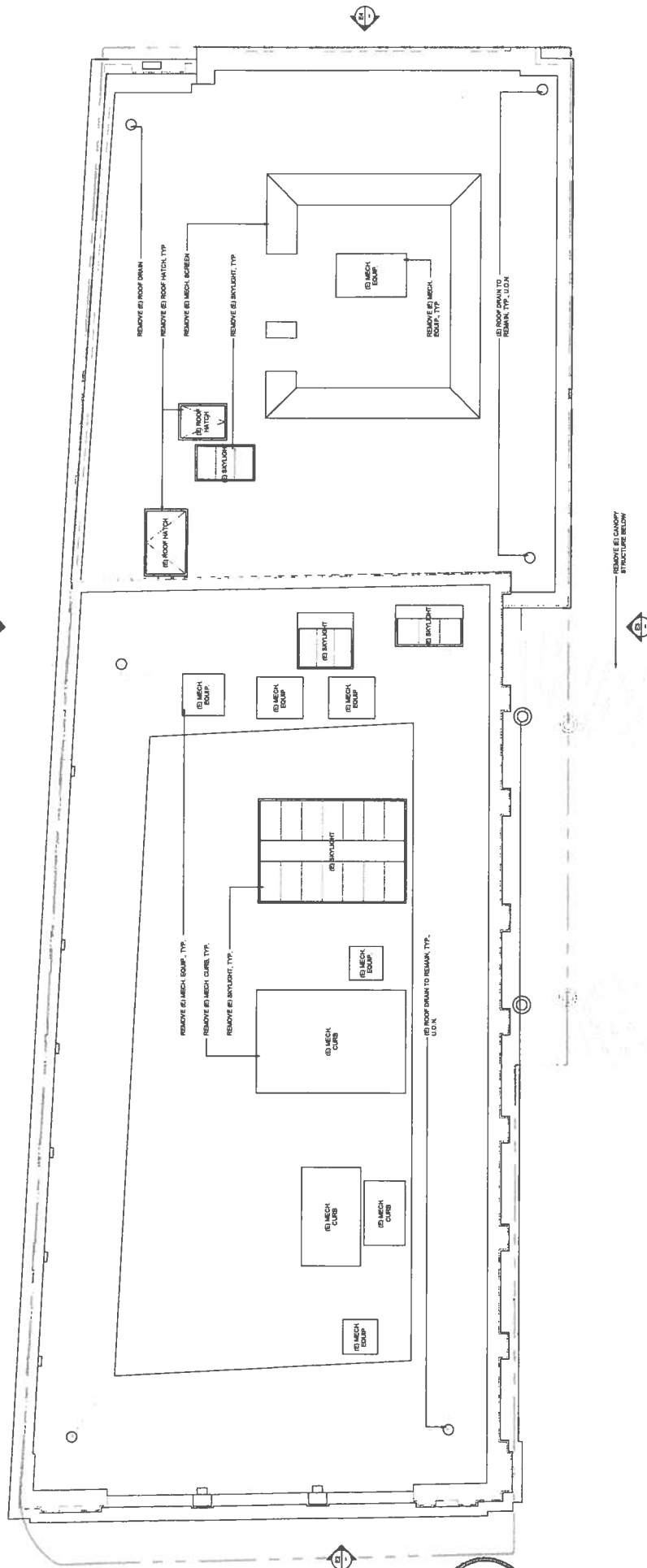
BRITISH BANKERS CLUB

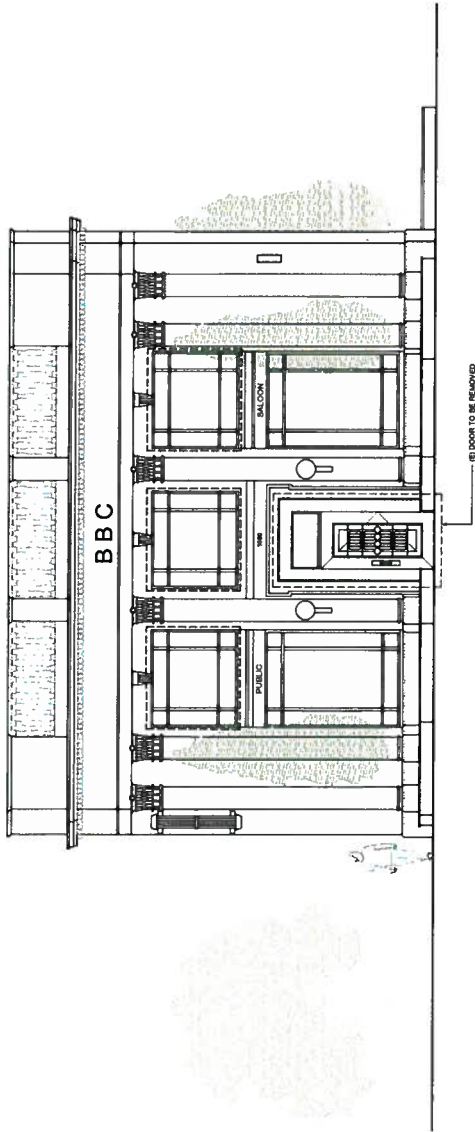
1000 EL CAMINO REAL, MENLO PARK, CA

1/8" = 1'

1.2.1.14

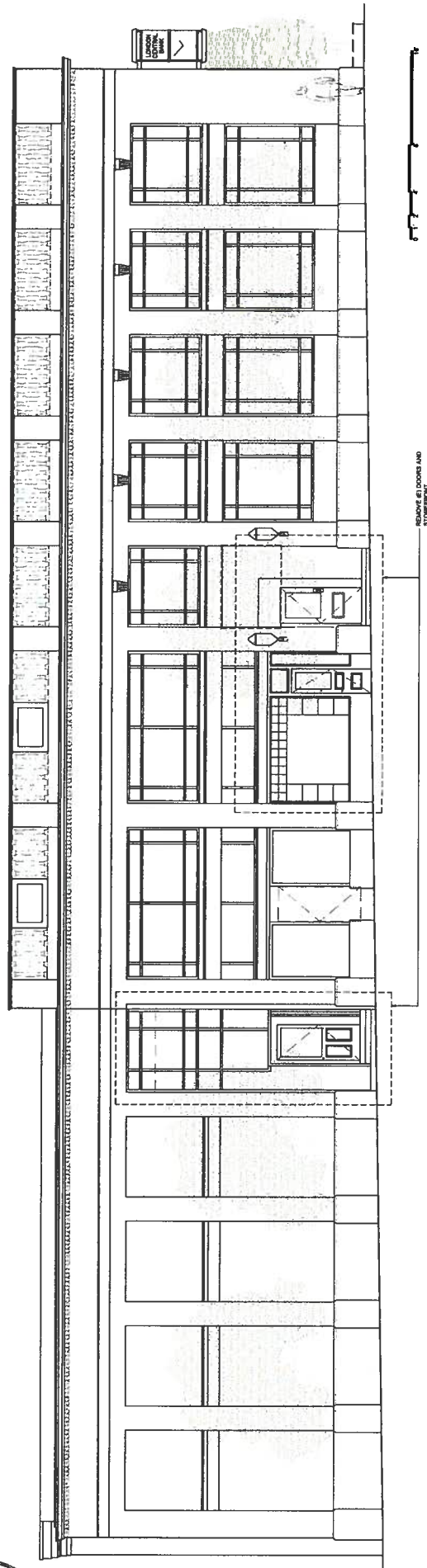
CCS ARCHITECTURE





E2 EXISTING EXTERIOR ELEVATION - SOUTH

B28



E1 EXISTING EXTERIOR ELEVATION - WEST

EXISTING EXTERIOR ELEVATIONS

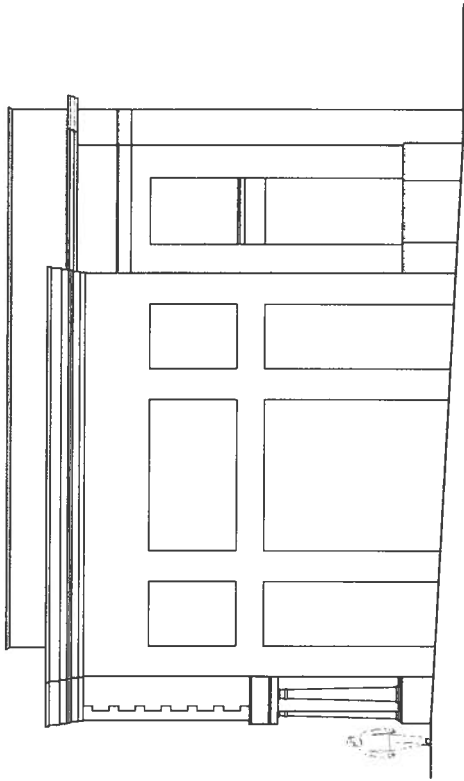
BRITISH BANKERS CLUB

1000 EL CAMINO REAL, MENLO PARK, CA

1/8" = 1'

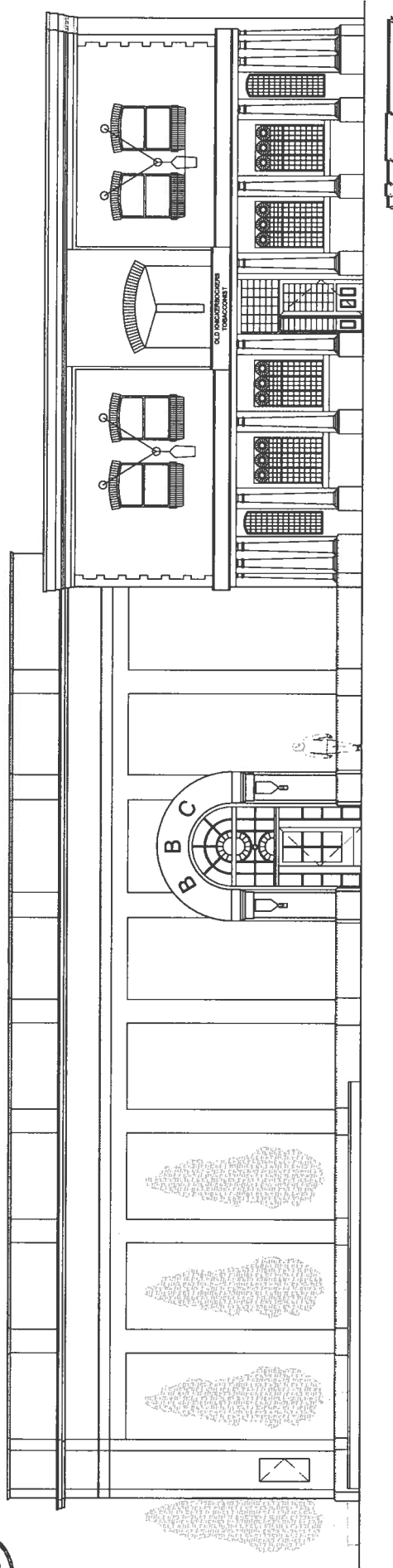
1.21.14

CCS ARCHITECTURE



E4 EXISTING EXTERIOR ELEVATION - NORTH

B29



E3 EXISTING EXTERIOR ELEVATION - EAST

EXISTING EXTERIOR ELEVATIONS

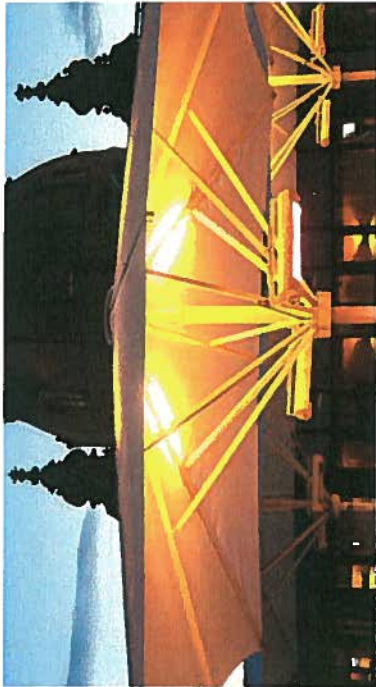
BRITISH BANKERS CLUB

1000 EL CAMINO REAL, MENLO PARK, CA

1/4" = 1'

1.21.14

CCS ARCHITECTURE



PATIO UMBRELLAS



EXTERIOR WALL
SCONCE 3' X 12"



GLASS BALCONY GUARDRAIL

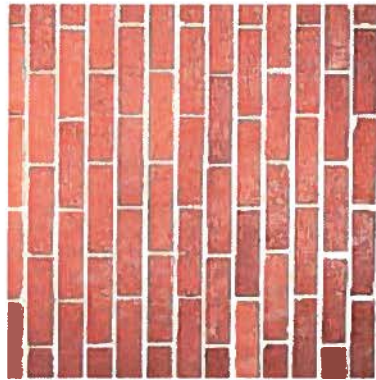


CANVAS ROOF TOP CANOPY

PAINTED METAL CANOPY



EXISTING LIGHTING TO REMAIN



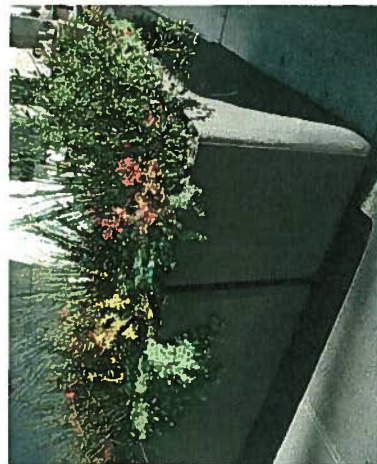
EXISTING BRICK



PAINTED CEMENT PLASTER



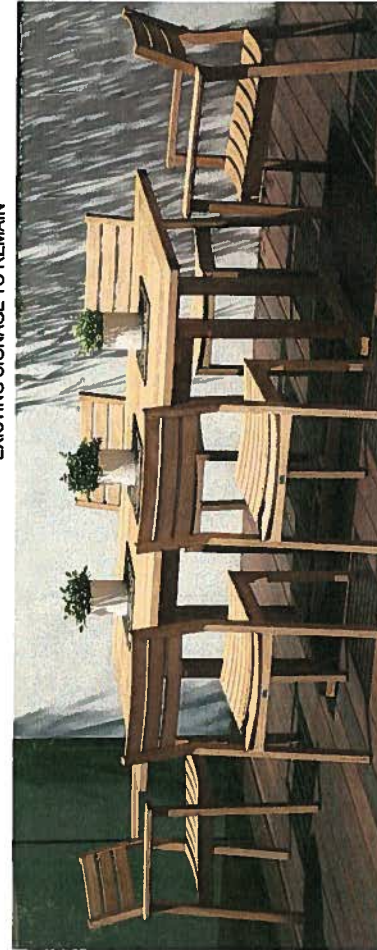
EXISTING SIGNAGE TO REMAIN



CAST CONCRETE PATIO PLANTERS



PATIO LOUNGE CHAIR



PATIO DINING FURNITURE

RECEIVED

JAN 22 2014

CCS ARCHITECTURE

1.21.14

BBC Seafood DESIGN NARRATIVE

CITY OF MENLO PARK
BUILDING

To Menlo Park Planning,

The project is the renovation to the existing British Banker's Club and Knickerbockers Cigar Shop at 1090 El Camino, Menlo Park. *BBC Seafood* is the working title for the new restaurant. The project is located at the corner of El Camino and Santa Cruz Ave a busy and vital intersection in Menlo Park.

The design aims to revitalize the existing bar and retail shop to create a new restaurant identity yet keeping the building's inherent character intact. In the proposed design there are a few main design objectives based on the buildings location and site conditions. The first is relocating the main entry off of El Camino Real on the more pedestrian friendly Santa Cruz Ave side. The sidewalk on El Camino is too narrow and creates a hazard for the pedestrian. This would otherwise be a traffic hazard on the El Camino side. Creating activity along this block provides an opportunity to link the downtown Santa Cruz business corridor with the Caltrain station. Subsequently the façade on the plaza side will also be reworked with more openings for better indoor/outdoor connection and to enhance the pedestrian thoroughfare from the train station.

In moving the entry, the design proposes to keep the existing El Camino façade intact, while enhancing the landscape and view into the restaurant. This is the prominent building façade for both vehicular and pedestrian traffic alike and important to create a strong visual presence. The exterior design carefully respects the existing structure and in some cases, like the added El Camino façade window, and roof top stair enclosures for instance, aim to keep the design in line with the existing style. In other areas, like the main building entry storefront | canopy and rooftop guardrail, the proposed architecture is intended to be treated differently to allow these elements to read clearly against the historic fabric and enhance the overall character of the building.

Many of the proposed interior changes in the remodel are driven by the programmatic requirements of the restaurant such as the repositioning of the kitchen and expanded second floor back of house prep and storage. Other changes are infrastructure and accessibility upgrades such as adding the elevator, reorganizing the floor levels and a seismic upgrade. Even though these issues are not planning specific they drive some of the reflected design. As it is logical to the proposed design interior column and ceiling detailing will remain. The interior design will reflect off of the existing yet have its own identity in line with the restaurant concept. Nothing is purely architectural expression solely for architecture's sake. All facets of design are meant to breathe new life into the building to preserve it as a resource to the community and make the restaurant a success.

Additionally, with respect to operations, the applicant proposes the following:

- That proposed business hours will be from 7am until 2am, with food served during the full schedule of operations
- That the restaurant will obtain a Type 47 license for the California Dept. of Alcoholic Beverages Control
- That there will be no live entertainment, though there will be background music provided in the outdoor dining locations, with speakers mounted under the umbrellas in the plaza, and under the canopy in the roof dining area.
- That the planter boxes proposed for the plaza will be movable, but remain in place 24 hours a day, and removed only for cleaning and general maintenance.

In the review of the subsequent documents if any questions arise, do not hesitate to call them to my attention.

Regards,



Bryan Southwick, Project Manager
Tim Quayle, Project Architect
Cass Smith, AIA, Principal
CCS Architecture

Planned Development Permit

MENLO CENTER

P-D Zone #4

I. Statement of Purpose:

The intent of the P-D Zone is to promote comprehensive planning of large parcels of land to protect the natural environment by allowing flexibility from the strict requirements of the conventional zoning regulations; to encourage development of more usable open space; to promote more efficient use of land, utilities and circulation systems; to promote creative design and to permit the application of innovative and desirable development techniques, consistent with the aesthetic and environmental qualities of the community.

II. General Information:

- A. Applicant: Pacific Real Estate and Investment Trust
- B. Nature of Project for which the P-D Zone is being requested: A 60,863 sq. ft. Restaurant/Retail Commercial/Office Development.
- C. Property Location: El Camino Real/Santa Cruz Avenue/Merrill Street/
Ravenswood Avenue Block
- D. Assessor's Parcel Numbers: 061-442 180, 061-442-240, 061-442-260,
061-442-030, 061-442-250, 061-442-170 and 061-442-020
- E. Area of Property: 83,806 sq. ft.
- F. Present Zoning: C-4 (General Commercial)
- G. Proposed Zoning: P-D (Planned Development)
- H. Permitted Uses: There are no permitted uses in the P-D Zone.
- I. Conditional Uses: A Use Permit is required for any and all uses in
a P-D Zone.

III. General Development Plans:

The General Development Plans for the proposed project shall be reviewed and approved by both the Planning Commission and the City Council. They shall consist of the following: Site Plan, Building Elevations, Parking Plan, Preliminary Landscaping Plan, and Circulation Plan.

IV. Precise Development Plans:

The Precise Development Plans shall be submitted to the Planning Commission for Architectural Control review and approval prior to the issuance of Building Permits. The Precise Development Plans shall conform with the General Development Plans and shall be comprised of the following:

1. **Site Plan:** Site Plan shall show all major dimensions and exact location of all proposed buildings and related improvements, e.g.: walls, fences patios, driveways, external lighting, fire hydrants, etc.
2. **Final Grading and Drainage Plan:** The Final Grading and Drainage Plan shall show the exact finish grade elevation and final design of the drainage system.
3. **Building Elevation and Floor Plans:** Elevation drawings shall show all exterior finishes, colors and all painted and stained surfaces and major building dimensions. Floor plans shall fully describe the proposed use of all interior space.
4. **Detail Landscaping Plan:** The Detail Landscaping Plan shall show the exact location of all plants and a plant schedule (listing size and quantity of plant material) and all other landscaping materials (including paved areas). The Plan shall also show the construction details of all fences, wall and exterior lighting fixtures. Light source for exterior lighting shall not be visible from off-site.
5. **Parking Plan:** The Parking Plan shall show the exact number and location of all the off-street parking to be developed to serve the project.
6. **Off-Site Improvement Plans:** The Off-Site Improvement Plans shall delineate all the off-site improvements that are to be constructed in conjunction with the project and shall show all construction details. Bus pads shall be designed to City of Menlo Park, Santa Clara Transit Authority, and Samtrans specifications, and all interested parties in development shall agree to a parking plan.
7. **Circulation Plan:** The Circulation Plan shall show the on-site circulation pattern and its relation to the off-site peripheral traffic pattern.
8. **Subdivision Maps:** Subdivision Maps for the resubdivision of the property shall show all the existing, newly created easements, and all necessary signatures.

V. Development Standards:

A. Building setbacks are as follows: 64 ft. from El Camino Real, 20 ft. & 70 ft. from Santa Cruz Avenue, 46 ft. from Ravenswood Avenue, 22 ft. from Merrill Street; building coverage: 24%; open space and landscaping: 53%; and shall be in accordance with the approved development plans, and the attached Exhibit A. Open space shall consist of open plazas, open arcades and landscaping.

B. Overall building height shall not exceed 46 ft. at the highest point of the roof and 51 ft., including mechanical equipment and elevator pent-house.

C. Building floor areas shall be as follows:

Gross floor area shall not exceed 60,863 sq. ft. (.726 FAR)
Retail/Restaurant--20,951 sq. ft. gross sq. ft. (19,067+ net sq. ft.), which may include 12,500 sq. ft. of restaurant and cafe use including the British Banker's Club; Offices--39,912 sq. ft. (33,978+ net sq. ft.)

D. Public Improvements:

Public Improvements shall be constructed in accordance with the approved Off-Site Improvement Plan and both City of Menlo Park and State of California Standards.

E. Parking:

Two hundred seventy-five (275) parking spaces shall be provided on three levels, including one level of underground parking: Two hundred sixty-four (264) for the restaurant, retail and office space; eleven (11) for public parking.

The City reserves the right to designate from time to time the location of the 11 parking spaces which shall be made available to the general public, and to require restrictions curtailing or eliminating the use of these spaces by, or for the benefit of, the office space, the retail space, and the restaurant space. The applicant shall pay the cost of implementing such restrictions.

F. Development Schedule:

The Precise Plans shall be accompanied by a development schedule indicating the approximate date when construction of the project can be expected to begin, which date shall be no later than one year from the effective date of the rezoning of the property, the anticipated rate of development, and completion date. The Development Schedule shall be approved by the City Council and Planning Commission and shall be adhered to by the owner of the property in the P-D Zone and his successors in interest. Periodically the Planning Commission shall compare the progress of the development with the approved Development Schedule.

VI. Conditions:

ARCHAEOLOGY/HISTORY

- A. 1. Former firehouse building shall be photo-documented prior to demolition.
- 2. Demolition of former firehouse building shall be monitored by a qualified historical archaeologist or local historian.
- 3. Doors, bricks and other salvaged material shall be offered to the Menlo Park Fire Protection District Historical Society.
- 4. Should evidence of prehistoric cultural resources be discovered during construction, work in the immediate area shall be stopped and a qualified professional archaeologist called in to evaluate the findings and recommend mitigation measures, which shall be implemented under the direction of the Director of Community Development.

OFF-SITE/ON-SITE

- B. All utilities shall be placed underground.
- C. Provide covered, secure bicycle parking for employees.
- D. All off-site improvements shall be installed to the satisfaction of the City Engineer.
- E. Install storm drainage and street lighting systems to the satisfaction of the City Engineer.
- F. Hydrology
 - 1. Submit a final drainage and on-site grading plan to the City Engineer for his approval.
 - 2. Use catch basins to retain sediment on site; remove mud from the treads of construction vehicles; retain a Soils Engineer to inspect construction.

CONSTRUCTION ACTIVITIES

- G. All construction activities shall be limited to the hours between 7:00 a.m. and 6:00 p.m., Monday through Friday. City Engineer shall develop specifications to minimize traffic conflicts.
- H. Limit road construction activities to non-peak hour time.
- I. Control dust problems during construction by the use of watering trucks during demolition and grading activities.

VI. Conditions (cont'd.):

COMMUNITY NOISE

- J. 1. All construction vehicles and equipment shall be properly muffled according to State code.
- 2. Prepare an acoustical analysis of the structural design for the proposed structures, with the assistance of a qualified acoustical engineer to comply with the Uniform Building Code, Chapter 35, and the California Administrative Code, Title 25.
- 3. Use 1/4-inch or 3/16-inch glass in fixed windows of the buildings with commercial/retail or office uses.
- 4. Perform building inspection to confirm that the required noise reductions are achieved.

BUILDINGS

- K. All roof-mounted equipment shall be properly screened and not visible from off-site.
- L. A Soils Report shall be submitted for the City's Geologist review and his recommendations shall be complied with.
- M. Incorporate appropriate life safety system into the project for emergencies, as approved by the Fire District.
- N. Provide outdoor security lighting, perimeter lighting, walkway and driveway lighting, and garage lighting. All lighting must be designed and placed in a manner so as to avoid off-site glare and nuisance.

TRAFFIC, CIRCULATION, AND PARKING

- O. The applicant shall contribute \$25.00 for each trip generated by the ~~the~~ project above and beyond the total number of trips generated by the existing uses on the site for related traffic improvements.
- P. The following measures, not included in current project plans, are included to minimize personal travel needs in private automobiles and enhance circulation both off-site and on-site:
 - 1. Provide bus and train schedules to all project occupants and encourage occupants to use public transit.

VI. Conditions (cont'd.):

TRAFFIC, CIRCULATION, AND PARKING

- P. 2. Applicant and any subsequent owner/operators shall develop and participate in a Transportation Systems Management (TSM) Programs that will include such measures as: Provision of a Transportation Coordinator; financial incentives for employees who agree to using alternatives to driving alone; encouraging ridesharing and use of public transit; providing preferred parking for carpools and vanpools; and implementing staggered work hours. The applicant and any subsequent owner/operators shall participate in any TSM Programs implemented by the City.
- Q. Applicant shall pay all construction costs and contribute the right-of-way for the addition of a right turn lane on westbound Ravenswood Avenue to north bound El Camino Real.
- R. Bus pull-outs shall be provided and paid for by the applicant on El Camino Real and Merrill Street and shall be designed into the project.
- S. Applicant shall contribute fair share of costs as determined by the Director of Public Works for the following improvements to the Middlefield and Willow Roads intersection: Provision of two exclusive left-turn lanes, one through-lane, and one shared through/right-turn lane on the southbound Middlefield Road approach by moving the median divider; and provision of a through-lane and a shared through/right-turn lane on the eastbound Willow Road approach by restriping. Traffic mitigation fee and fair share contribution shall not exceed \$30,000.
- T. Applicant shall provide and pay for the addition of a right turn lane on the northbound El Camino Real approach to eastbound Santa Cruz Avenue by restriping and pavement marking.

PUBLIC SERVICES/FISCAL IMPACTS

- W. 1. Applicant shall coordinate plans with the West Bay Sanitary District for the improvement of sanitary sewer lines as necessary to serve the proposed project.
2. Applicant shall comply with the City Building Security Ordinance and other Police Department requirements. Incorporate crime prevention measures recommended by the Police Department's crime prevention officer.
- X. All requirements of Menlo Park Fire Protection District and West Bay Sanitary District shall be met.

VI. Conditions (cont'd.):

MISCELLANEOUS

- Y. Applicant shall contribute an amount equal to 1% of construction costs for public art to be displayed within the building site and plaza areas.
- Z. Applicant shall pay for the preparation of documents and other necessary legal services for the abandonment and exchange of Tomana Lane for property required for public improvements.

TERMS OF PLANNED DEVELOPMENT PERMIT

- AA. The project shall be constructed and maintained in accordance with the approved Precise Development Plans.
- BB. This Permit is deemed to be in force for the lifetime of the project and is, therefore, binding on the applicant and any subsequent owner of the property or any portion thereof. Failure to comply with any provision or condition of this Permit constitutes grounds for revocation of the Permit.
- CC. Revision of Plan--A public hearing by the Planning Commission and City Council shall be required prior to issuance of a Permit for revisions of the Development Plan which involve changes in land use, expansion or intensification of development or a relaxation in the standards of development. All other revisions may be allowed after a Permit is approved by the Planning Commission and City Council. A public hearing may be called regarding such changes if deemed necessary by the Planning Commission.
- DD. Revocation--If, in the opinion of the Planning Commission the owner or owners are failing or have failed to meet the approved schedule, the Planning Commission may initiate proceedings to reclassify the property and revoke, the Planned Development Permit, or to amend the Development Plan. Upon the recommendation of the Planning Commission and for good cause shown by the property owner, the Council may extend the limits imposed by the development schedule.
- EE. This Permit may be amended by a majority vote of the City Council. A public hearing shall be required by both the Planning Commission and the City Council to consider such amendments. Application for amendment may be made by the property owner, in writing, to the Planning Commission. The Planning Commission shall consider the amendment request and forward its recommendation to the City Council.

Menlo Center
Page 8

Planned Development Permit
April 5, 1988

Acknowledged and agreed to by applicant:

Russell Collier
Russell Collier
(NAME, printed)

for Pacific Real Estate Investment Trust

Approved by the Planning Commission:

on December 7, 1987

Attest

Don de la Peña
Don de la Peña
Director of Community Development

Approved by the City Council:

on April 5, 1988

Attest

Jaye M. Carr
Jaye M. Carr
City Clerk

Doc 1493D

D8

**1090 El Camino Real Project
El Camino Real/Downtown Specific Plan
Mitigation Monitoring and Reporting Program (MMRP)**

Introduction

The California Environmental Quality Act (CEQA) requires the adoption of feasible mitigation measures to reduce the severity and magnitude of significant environmental impacts associated with project development. The El Camino Real/Downtown Specific Plan process included detailed review of projected environmental impacts through a program Environmental Impact Report (EIR). In compliance with CEQA requirements, the Draft EIR was released in April 2011, with a public comment period that closed in June 2011. The Final EIR, incorporating responses to Draft EIR comments, as well as text changes to parts of the Draft EIR itself, was released in April 2012, and certified along with the final Plan approvals in June 2012. The Program EIR provides the initial structure for review of subsequent development proposals, such as the subject 727 El Camino Real (Mermaid Inn) Project.

CEQA requires reporting on and monitoring of mitigation measures adopted as part of the environmental review process (Public Resources Code Section 21081.6). This Mitigation Monitoring and Reporting Program (MMRP) is designed to aid the City of Menlo Park in its implementation and monitoring of relevant measures adopted from the certified Program EIR.

The mitigation measures are taken from the certified EIR. The MMRP is presented in table format and it describes the actions that must take place to implement each mitigation measure, the timing of those actions, the entities responsible for implementing and monitoring the actions, and verification of compliance.



1090 El Camino Real Project Mitigation Monitoring and Reporting Program				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
CULTURAL RESOURCES				
IMPACT BEING ADDRESSED: Impact CUL-1: The proposed Specific Plan could have a significant impact on historic architectural resources. (Potentially Significant)				
<p><i>Mitigation Measure CUL-1: Site Specific Evaluations and Treatment in Accordance with the Secretary of the Interior's Standards:</i></p> <p>Site-Specific Evaluations: In order to adequately address the level of potential impacts for an individual project and thereby design appropriate mitigation measures, the City shall require project sponsors to complete site-specific evaluations at the time that individual projects are proposed at or adjacent to buildings that are at least 50 years old.</p> <p>The project sponsor shall be required to complete a site-specific historic resources study performed by a qualified architectural historian meeting the Secretary of the Interior's Standards for Architecture or Architectural History. At a minimum, the evaluation shall consist of a records search, an intensive-level pedestrian field survey, an evaluation of significance using standard National Register Historic Preservation and California Register Historic Preservation evaluation criteria, and recordation of all identified historic buildings and structures on California Department of Parks and Recreation 523 Site Record forms. The evaluation shall describe the historic context and setting, methods used in the investigation, results of the evaluation, and recommendations for management of identified resources. If federal or state funds are involved, certain agencies, such as the Federal Highway Administration and California Department of Transportation (Caltrans), have specific requirements for inventory areas and documentation format.</p> <p>Treatment in Accordance with the Secretary of the Interior's Standards. Any future proposed project in the Plan Area that would affect previously recorded historic resources, or those identified as a result of site-specific surveys and evaluations, shall conform to the Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995). The Standards require the preservation of character defining features which convey a building's historical significance, and offers guidance about appropriate and compatible alterations to such structures.</p>	<p>A qualified architectural historian shall complete a site-specific historic resources study. For structures found to be historic, specify treating conforming to Secretary of the Interior's standards, as applicable.</p>	<p>Simultaneously with a project application submittal. COMPLETED: A historic resource evaluation was prepared as part of the initial project review. This review, which was conducted by a qualified architectural historian, concluded that the original (front) portion of the existing building is a historically significant resource due to its association with the establishment of Menlo Park as an incorporated city, having served as the City's first City Hall, and remains an early and prominent commercial feature along El Camino Real in downtown Menlo Park. In addition, the original building is associated with prominent local architect Birge Clark, who designed over 450 buildings in the greater area, including several notable buildings in the City of Palo Alto. Recommendations for the preservation of character-defining historic elements of the building in accordance with the Secretary of the Interior's Standards have been incorporated into the proposed design. The proposed project would not result in any significant impacts to historic resources.</p>	<p>Qualified architectural historian managed by City staff.</p>	<p>Community Development Planning & Building Divisions</p>

1090 El Camino Real Project Mitigation Monitoring and Reporting Program				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
HAZARDOUS MATERIALS				
Impact HAZ-3: Hazardous materials used on any individual site during construction activities (i.e., fuels, lubricants, solvents) could be released to the environment through improper handling or storage. (Potentially Significant)				
<i>Mitigation Measure HAZ-3:</i> All development and redevelopment shall require the use of construction Best Management Practices (BMPs) to control handling of hazardous materials during construction to minimize the potential negative effects from accidental release to groundwater and soils. For projects that disturb less than one acre, a list of BMPs to be implemented shall be part of building specifications and approved of by the City Building Department prior to issuance of a building permit.	Implement best management practices to reduce the release of hazardous materials during construction.	Prior to building permit issuance for sites disturbing less than one acre and on-going during construction for all project sites	Project sponsor(s) and contractor(s)	Community Development Planning & Building Divisions
NOISE				
Impact NOI-1: Construction activities associated with Implementation of the Specific Plan would result in substantial temporary or periodic increases in ambient noise levels in the Specific Plan area above levels existing without the Specific Plan and in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies. (Potentially Significant)				
<i>Mitigation Measure NOI-1a:</i> Construction contractors for subsequent development projects within the Specific Plan area shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures, and acoustically attenuating shields or shrouds, etc.) when within 400 feet of sensitive receptor locations. Prior to demolition, grading or building permit issuance, a construction noise control plan that identifies the best available noise control techniques to be implemented, shall be prepared by the construction contractor and submitted to the City for review and approval. The plan shall include, but not be limited to, the following noise control elements: * Impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for construction shall be hydraulically or electrically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler shall achieve lower noise levels from the exhaust by approximately 10 dBA. External jackets on the tools themselves shall be used where feasible in order to achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever feasible; * Stationary noise sources shall be located as far from adjacent receptors as possible and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or other measures to the extent feasible; and	A construction noise control plan shall be prepared and submitted to the City for review. Implement noise control techniques to reduce ambient noise levels.	Prior to demolition, grading or building permit issuance shown on plans, construction documents and specification and on-going through construction	Project sponsor(s) and contractor(s)	Community Development Planning & Building Divisions

1090 El Camino Real Project Mitigation Monitoring and Reporting Program				
Mitigation Measures	Action	Timing	Implementing Party	Monitoring Party
<p>* When construction occurs near residents, affected parties within 400 feet of the construction area shall be notified of the construction schedule prior to demolition, grading or building permit issuance. Notices sent to residents shall include a project hotline where residents would be able to call and issue complaints. A Project Construction Complaint and Enforcement Manager shall be designated to receive complaints and notify the appropriate City staff of such complaints. Signs shall be posted at the construction site that include permitted construction days and hours, a day and evening contact number for the job site, and day and evening contact numbers, both for the construction contractor and City representative(s), in the event of problems.</p>				

HISTORIC RESOURCE EVALUATION

1090 El Camino Real, Menlo Park, San Mateo County, California
(061-442-330)



Prepared for:

City of Menlo Park
Attn: Jean Lin, Associate Planner
Planning Division, Department of Community Development
701 Laurel St., Menlo Park, CA 94025

Prepared by:



ARCHIVES & ARCHITECTURE, LLC
PO Box 1332
San Jose, CA 95109-1332
<http://www.archivesandarchitecture.com>



August, 2013

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Cover image: 1090 El Camino Real, Menlo Park, *ca.* 1936. Courtesy of the Menlo Park Historical Association.

INTRODUCTION

The commercial property located at 1090 El Camino Real in Downtown Menlo Park is undergoing a site-specific historic resources study to re-evaluate the historic significance of the site and building, and if found to be significant under the California Environmental Quality Act, to determine if a project proposed for the site would or would not have an adverse effect on a historic resource. The evaluation consists of a records search, an intensive-level field survey, an evaluation for significance using criteria of the National Register of Historic Places and the California Register of Historical Resources, City of Menlo Park policies and regulations, and recordation of the property on California Department of Parks and Recreation DPR523 series forms.

The building at 1090 El Camino Real, at the corner of El Camino Real and Santa Cruz Avenue was designed by architect Birge M. Clark, and constructed in 1925. An addition at the rear was constructed around 1989-1990 and is linked to a mixed-use development on the adjacent property (1010 El Camino Real) via a side entry that was added to the 1925 building. Both the addition and the adjacent projects were approved through a Planned Development (P-D) Permit that was approved by the City Council in 1988. The 1090 El Camino Real building has been occupied by a variety of uses, including a bank and City of Menlo Park municipal offices and library, and was most recently used by a restaurant/pub known as the BBC (British Bankers Club) and a tobacco store (Knickerbockers). The building is currently vacant.

On April 23, 2013, a preliminary application was submitted to renovate the structure for a new restaurant. Initial plans include elements such as: the linking of the former BBC and Knickerbockers spaces to form one tenant space; the closing of the El Camino Real entrance in order to consolidate entries on Santa Cruz Avenue and the plaza shared with the adjacent mixed-use development; the creation of a new rooftop deck at the rear; and other general building upgrades. These plans are potentially subject to change as City staff conducts a detailed review as part of the overall project review process. These changes to the building require review for potential cultural resources impacts under Mitigation Measure CUL-1 from the El Camino Real/Downtown Specific Plan EIR.

The City of Menlo Park has contracted with Archives & Architecture, LLC, to prepare this report per regulations outlined within the El Camino Real/Downtown Specific Plan (June 2012). The regulations state that this review be done by a qualified preservation professional when a project involves a historic resource identified in the Plan.

Archives & Architecture, LLC is a partnership of Leslie A.G. Dill, Historic Architect, Franklin Maggi, Architectural Historian, and Charlene Duval, Public Historian. The partners of the firm, in addition to staff Historians Sarah Winder and Jessica Kusz are preservation professionals. The firm was founded in 1989 by the late Glory Anne Laffey, Historian, and has been constituted in its current form since 2003.

This report is being prepared for review by staff of the Planning Division of Menlo Park's Department of Community Development.

Summary of Findings

The commercial building at 1090 El Camino Real is within the El Camino Real/Downtown Specific Plan area and is subject to regulations of the Plan consistent with findings with the Plan Environmental Impact Report (EIR). The property was surveyed in 1990 by the San Mateo County Historical Association for the City, who found that the property appeared to meet the criteria for listing on the National Register of Historic Places. The El Camino Real/Downtown Specific Plan was adopted with specific regulatory requirements regarding identified historic properties in the Plan area, including the subject property, which is identified as a feature building in the Plan, despite a lack of any formal declaration as a historic resource by the City Council or Planning Division. The Plan requires compliance with mitigation measures when deemed necessary by the City on significant architectural resources.

The City of Menlo Park maintains no local register of historic resources. An historical resources survey of Menlo Park in 1990 found that the subject building was individually eligible for listing in the National Register of Historic Places and given a status code of "3S" (eligible for the National Register). Potential historic resources identified in the Specific Plan EIR included the subject property, which was noted as having been previously reviewed by the State Historic Preservation Officer who advised that the property be re-evaluated using current standards (status code "7N").

This report presents supplementary information that collaborates with the prior findings made in 1990, and provides additional information on the history of the property, including the correct date of construction, periods of use as Menlo Park City Hall, individual and later owners and occupants, character-defining features of the buildings, and an evaluation of significance according to the Criteria of the California Register of Historical Resources.

The original building at 1090 El Camino Real is historically significant due to its association as Menlo Park's first City Hall, and its distinctive design by prominent Palo Alto architect Birge M. Clark. Clark designed the building in 1925, early in his career, and it remains an important example of his early work, even though various remodelings and additions have degraded its integrity over time. The property is also historically significant for its representation as a rare commercial building associated with the establishment of Menlo Park as an incorporated city. The early property use as Menlo Park's civic/governmental center and its long-term prominence as an important commercial site at a key intersection in Menlo Park for almost 90 years presents an important pattern of historic development in the community that helps define Menlo Park's origins. As such, the property should be treated as a historic resource under the California Environmental Quality Act.

Modifications and additions to the site should be done in a sensitive way in order to retain the historic character of the building.

Qualifications

The principal author of this report was Franklin Maggi, Architectural Historian, who consults in the field of historic architecture and urban development. Mr. Maggi has a professional degree in architecture with an area of concentration in architectural history from the University of California, Berkeley.

Leslie A.G. Dill, Architect, assessed the project for consistency with the Secretary of the Interior's Standards for Rehabilitation. Ms. Dill has a Master of Architecture with a Historic Preservation Program Certificate from the University of Virginia, Charlottesville.

Sarah Winder collaborated on the investigation and provided supplemental research on the property's history and the writing of this report. Ms. Winder has a Master of Art in History from San Jose State University, and undergraduate degrees in History and Anthropology from the University of Colorado-Boulder.

The investigators, Franklin Maggi, Leslie Dill, and Sarah Winder, are listed as qualified to do this work within the California Historical Resources Information System (CHRIS), which is operated under authority of the California State Office of Historic Preservation.

Franklin Maggi, Leslie Dill, and Sarah Winder meet the Secretary of the Interior's qualifications to perform identification, evaluation, registration, and treatment activities within the field of Architectural History, Historic Architecture, and History respectively, in compliance with state and federal environmental laws. CHRIS utilizes the criteria of the National Park Service outlined in 36 CFR Part 61.

Methodology of this Review

This document is presented in a report format, and addresses the extant building on the project site. Archives & Architecture, LLC, prepared updated DPR523 series forms appending information from the prior recording prepared by the San Mateo Historical Association in 1990 for the City of Menlo Park. The original recording by the San Mateo Historical Association was the result of a historic building reconnaissance survey conducted on properties in Menlo Park, and throughout San Mateo County. (see **Attachments** for both recordings.)

The site was examined in June 2013 by Franklin Maggi and Sarah Winder. Notes on the architecture, characteristic features of the buildings, and the neighborhood context were made. Photographs of the exterior and interior of the building and related ancillary structure and views of the adjacent setting were taken at this time. Photographic documentation attached as an appendix to this report were taken digitally by Franklin Maggi.

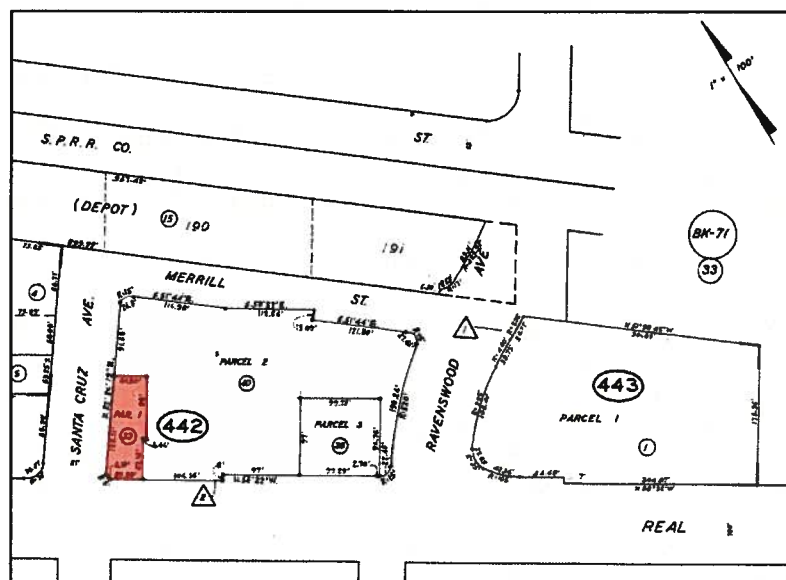
Supplemental historical research was conducted by Sarah Winder and included review of Sanborn Fire Insurance maps, city directories, building permits, census enumerations, newspaper articles, local histories, and vital statistics. Original plans of Birge Clark

considered to be associated with this building were viewed at Special Collections at the Stanford University Green Library. The research and historical investigation was prepared utilizing the methodology recommended by the National Park Service, as outlined in Preservation Briefs #17 -*Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character* (1988), and #35 -*Understanding Old Buildings: The Process of Architectural Investigation* (1994).

Survey Status

The property at 1090 El Camino Real is presently identified within the City of Menlo Park El Camino Real/Downtown Specific Plan in Chapter B, "Plan Context" as a "feature building". The property was surveyed in 1990 by the San Mateo County Historical Association for the City, who found that the property appears to meet criteria for individual listing as a historic resource on the National Register of Historic Places with a status code of "3S". The Menlo Park El Camino Real/Downtown Specific Plan EIR stated that the State Historic Preservation Officer had designated the site with status code "7N". The property is not listed on any other local, state, or national registers of historic properties. It is included in Susan Dunkelspiel Cerny's *An Architectural Guidebook to San Francisco and the Bay Area*, and featured as #11 in the Menlo Park, San Mateo County section. The listing describes the building as an impressive Neoclassical brick banking building that anchors a major corner of Menlo Park's downtown area.

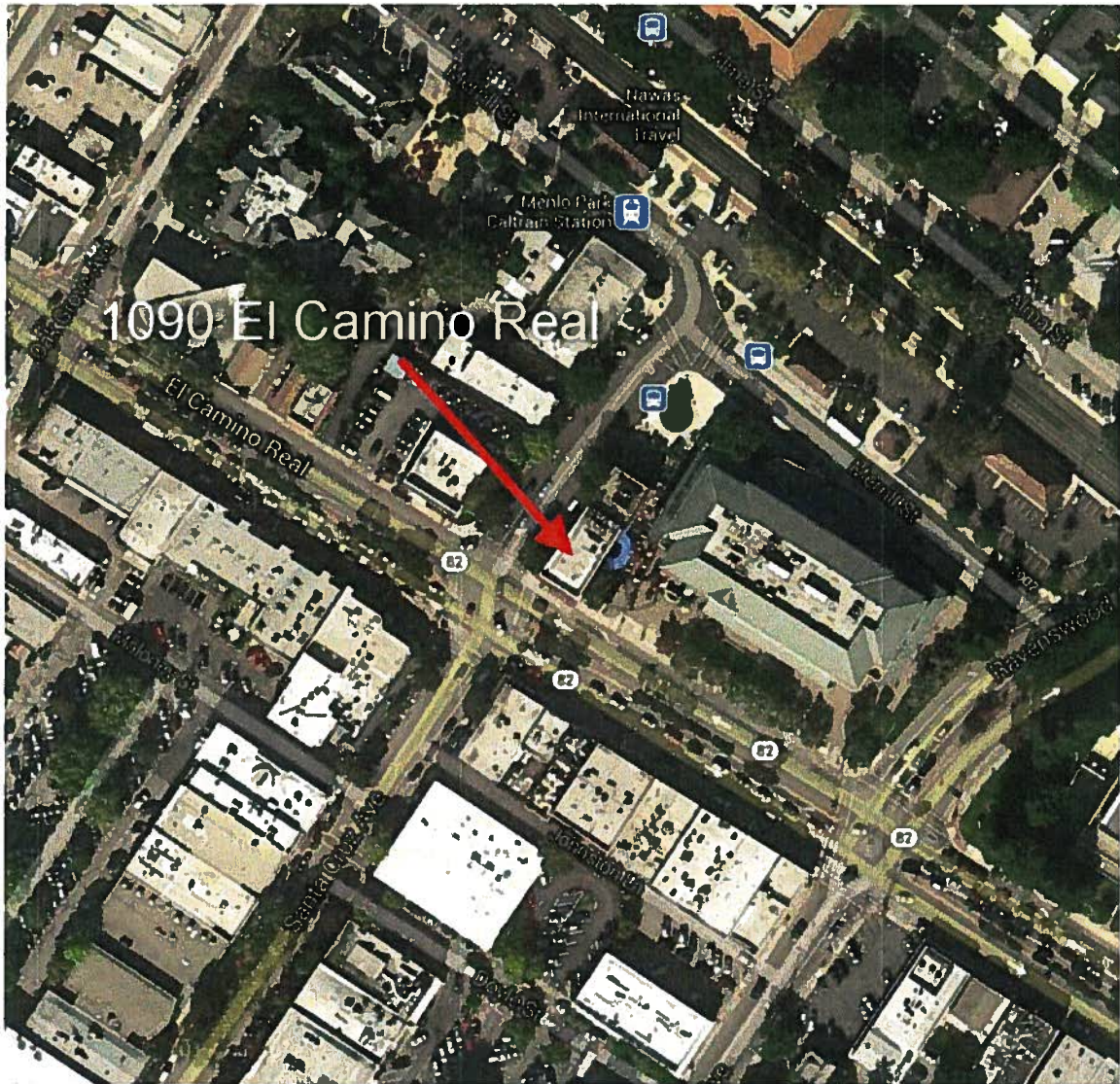
Assessor's Parcel Map-(Assessor's parcel number 061-442-330)



Area Map



Aerial View



Locational Information

Street Address: 1090 El Camino Real, Menlo Park, San Mateo County, California

(UTM): Zone 10S, 572294mE/4145525 mN

Coordinates (WGS84): Lat. -37.45377°, Long. -122.18261°

USGS Map: 7.5' Palo Alto Quadrangle, 1997 T.5S.; R.3W. ; Mount Diablo Base Meridian

HISTORICAL AND ARCHITECTURAL INFORMATION

Historical Background

The attached DPR523 series recording forms prepared by Archives & Architecture, LLC, present historical background of the property at 1090 El Camino Real in Menlo Park. It is an update of the forms prepared by the County of San Mateo Historical Association in 1990. Supplemental historical research was conducted as a part of this study, and this information is provided in *Section B10* of the DPR523 forms prepared for this report.

The *B10* section consists of a discussion of the historic context of Menlo Park during the initial period of residential development, Camp Fremont, as well as the city's development during the twentieth century. This research identified owners, occupants and uses that could be reasonably identified, and confirmed the construction date of 1925. The building was constructed by the Bank of Palo Alto to serve as a branch office in Menlo Park. It was designed by local architect Birge M. Clark. Within two years of construction, the building was functioning as the newly-incorporated Menlo Park City Hall, as well as the branch office of the American Trust Company, which acquired the Bank of Palo Alto in the late 1920s. The building continued to operate as both a bank and a center for government through the mid-1930s. For several decades it served as City Hall, a branch of the San Mateo County library (before Menlo Park established its own library), and housed the police department. In the 1950s and 1960s, the building housed several lawyers, and then later a real estate company. In 1976, property-owner Dennis Grimsman modified the former-bank building into a restaurant/bar called the British Bankers Club (BBC), a use it retained until 2012.

Property Technical Description

The updated forms also include an architectural context for the property and an integrity statement, based on a detailed onsite investigation of the property which was done as a part of this study. The DPR523 forms also contain digital photographs of the exterior of the structure taken in June 2013.

Historical Evaluation Process

Regulatory and Policy Background

Three sets of guidelines were used to conduct the historic evaluation of 1090 El Camino Real; the City of Menlo Park policies and regulations, the National Park Service's criteria for listing on the National Register of Historic Places, and the California State Historic Resources Commission's requirements for listing on the California Register of Historical Resources.

City of Menlo Park General Plan (1994)

The following policy from the Land Use Element of the General Plan pertains to the Project with regard to the protection of cultural resources (cultural resources include historic-era architectural and structural resources, archaeological resources, paleontological resources, and human remains).

Policy I-H-11: Buildings, objects, and sites of historic and/or cultural significance should be preserved.

The following goal (Goal OSC 3) and associated policies and programs from the Open Space/Conservation, Noise and Safety Element (adopted May 21, 2013) of the City's General Plan also pertains to the Project with regard to the protection of cultural resources:

Goal OSC 3: PROTECT AND ENHANCE HISTORIC RESOURCES

Protect and enhance cultural and historical resources for their aesthetic, scientific, educational, and cultural values.

It is the goal of Menlo Park to have protected and maintained historic buildings and archaeological resources as part of Menlo Park's cultural heritage. City policy has been to protect and build upon the historic character that exists in the City. City policy also protects known archeological resources to the maximum extent feasible.

Policies

- OSC3.1 Prehistoric or Historic Cultural Resources Investigation and Preservation.** Preserve historical and cultural resources to the maximum extent practical.
- OSC3.2 Prehistoric or Historic Cultural Resources Protection.** Require significant historic or prehistoric artifacts be examined by a qualified consulting archaeologist or historian for appropriate protection and preservation, and to ensure compliance with local, State and Federal regulations.
- OSC3.3 Archaeological or Paleontological Resources Protection.** Protect prehistoric or historic cultural resources either on site or through appropriate documentation as a condition of removal. Require that when a development project has sufficient

flexibility, avoidance and preservation of the resource shall be the primary mitigation measure, unless the City identifies superior mitigation. If resources are documented, undertake coordination with descendants and/or stakeholder groups, as warranted.

- OSC3.4 Prehistoric or Historic Cultural Resources Found During Construction.** Require that if cultural resources, including archaeological or paleontological resources, are uncovered during grading or other on-site excavation activities, construction shall stop until appropriate mitigation is implemented.
- OSC3.5 Consultation with Native American Tribes.** Consult with those Native American tribes with ancestral ties to the Menlo Park city limits regarding General Plan Amendments and land use policy changes.
- OSC3.6 Identification of Potential Historic Resources.** Identify historic resources for the historic district in the Zoning Ordinance and require design review of proposals affecting historic buildings.

Implementing Programs

- OSC3.A Evaluate Historic Resources Around the Downtown Specific Plan Area.** Hire a cultural resources professional to conduct a Historic Resources Survey of potential infill sites around the Downtown Specific Plan to determine whether the designation infill housing sites, or adjacent lots, contain building eligible to the California Register and/or the historic zoning designation.

El Camino Real/Downtown Specific Plan

The El Camino Real/Downtown Specific Plan builds upon the El Camino Real/Downtown Vision Plan, unanimously accepted by the Menlo Park City Council on July 15, 2008. In general, a specific plan is a tool for the systematic implementation of the general plan. It effectively establishes a link between implementing policies of the general plan and the individual development proposals in a defined area. A specific plan may be as general as setting forth broad policy concepts, or as detailed as providing direction to every facet of development from the type, location and intensity of uses to the design and capacity of infrastructure. The El Camino Real/Downtown Specific Plan

establishes the location and character of streetscape and public space improvements; the character and intensity of commercial and residential development; and the circulation pattern (vehicular, pedestrian, bicycle and transit) and parking strategy to support businesses and overall vitality, and enhance east-west connectivity. The Specific Plan includes standards and guidelines for public and private enhancements to the area, and it offers strategies for financing and implementing public improvements.

The following mitigation measure was included in the Plan to reduce impacts to historic architectural resources to a less-than-significant level:

Mitigation Measure CUL-1: Site Specific Evaluations and Treatment in Accordance with the Secretary of the Interior's Standards:

Site-Specific Evaluations: In order to adequately address the level of potential impacts for an individual project and thereby design appropriate mitigation measures, the City shall require project sponsors to complete site-specific evaluations at the time that individual projects are proposed at or adjacent to buildings that are at least 50 years old. The project sponsor shall be required to complete a site-specific historic resources study performed by a qualified architectural historian meeting the Secretary of the Interior's Standards for Architecture or Architectural History. At a minimum, the evaluation shall consist of a records search, an intensive-level pedestrian field survey, an evaluation of significance using standard National Register Historic Preservation and California Register Historic Preservation evaluation criteria, and recordation of all identified historic buildings and structures on California Department of Parks and Recreation 523 Site Record forms. The evaluation shall describe the historic context and setting, methods used in the investigation, results of the evaluation, and recommendations for management of identified resources.

Treatment in Accordance with the Secretary of the Interior's Standards. Any future proposed project in the Plan Area that would affect previously recorded historic resources, or those identified as a result of site-specific surveys and evaluations, shall conform to the *Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* (1995). The *Standards* require the preservation of character defining features which convey a building's historical significance, and offers guidance about appropriate and compatible alterations to such structures. Individual projects that would demolish or substantially alter historic resources would be required to undergo separate CEQA environmental review.

National Register of Historic Places

The National Park Service considers the quality of significance in American history, architecture, archeology, engineering, and culture that are present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and are evaluated for the National Register according to the following criteria:

- Criterion A that are associated with events that have made a significant contribution to the broad patterns of our history; or
- Criterion B that are associated with the lives of persons significant in our past; or
- Criterion C that embody the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possesses high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction; or
- Criterion D that have yielded, or may be likely to yield, information important in prehistory or history.

Properties that are listed on or formally determined eligible for the National Register are automatically listed on the California Register.

California Register of Historical Resources.

The significance criteria for the California Register of Historical Resources are similar to those used for determining eligibility for the National Register of Historic Places (see Section 4.4), but oriented to document the unique history of California. The California Register includes properties listed in or formally declared eligible for the National Register, California State Landmarks above #770, certain Points of Historical Interest, and properties listed by application and acceptance by the California Historical Resources Commission. The California Register is a guide used by state and local agencies, private groups and citizens to identify historical resources throughout the state. The types of historical resources eligible for listing in the California Register include buildings, sites, structures, objects and historical districts. [California Code of Regulations Section 4852(a)]

Under California Code of Regulation Section 4852(b) and Public Resources Code Section 5024.1, an historical resource generally must be greater than 50 years old and must be significant at the local, state, or national level under one or more of the following four criteria:

1. It is associated with events that have made a significant contribution to the broad

patterns of local or regional history, or the cultural heritage of California or the United States.

2. It is associated with the lives of persons important to local, California, or national history.
3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or important creative individual, or possesses high artistic values.
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

If nominated for listing in accordance with the procedures outlined in Public Resources Code Section 5024.1(f), the California Register may include:

- (1) Individual historical resources.
- (2) Historical resources contributing to the significance of an historic district under criteria adopted by the Commission.
- (3) Historical resources identified as significant in historical resources surveys, if the survey meets the criteria in Public Resources Code Section 5024.1(g).
- (4) Historical resources and historic districts designated or listed as city or county landmarks or historic properties or districts pursuant to any city or county ordinance, if the criteria for designation or listing under the ordinance have been determined by the State Historic Resources Officer to be consistent with California Register criteria adopted by the Commission.
- (5) Local landmarks or historic properties designated under any municipal or county ordinance.

California Code of Regulations Section 4852(c) addresses the issue of “integrity” which is necessary for eligibility for the California Register. Integrity is defined as “the authenticity of an historical resource’s physical identity evidenced by the survival of characteristics that existed during the resource’s period of significance.” Section 4852(c) provides that historical resources eligible for listing in the California Register must meet one of the criteria for significance defined by 4852(b)(1 through 4), and retain enough of their historic character of appearance to be recognizable as historical resources and to convey the reasons for their significance. Integrity is evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association. It must also be judged with reference to the particular criteria under which a resource is proposed for eligibility. Alterations over time to a resource or historic changes in its use may themselves have historical, cultural, or architectural significance.

Local Regulations

Section 16.54 of the City of Menlo Park Zoning Ordinance provides for an Historic Site District (H) for “the protection, enhancement, perpetuation and use of structures, sites and areas that are reminders of people, events or eras, or which provide significant examples of architectural styles and the physical surroundings in which past generations lived.” This section of the ordinance allows the City Council to designate historical resources or sites, and restricts the Department of Community Development from approving or issuing a permit for any construction, alteration, removal or demolition of a designated structure, unless it is in keeping with various architectural controls provided in Section 16.68.

Evaluation (from DPR523)

1090 El Camino Real is not currently designated or listed on any local, state or national registers. The property was surveyed in 1990 by the San Mateo County Historical Association for the City, who found that the property appears to meet federal criteria for listing as a historic resource on the National Register of Historic Places.

Criterion A of the National Register and Criterion (1) of the California Register addresses the association of the buildings with events significant to broad patterns of history. The rarity of the subject building in Menlo Park as an important remnant of the early evolution of Menlo Park as an incorporated city makes it important as a unique physical reminder of the early era of Menlo Park development. The building served as Menlo Park’s first and third City Hall for over twenty years, and it has remained identified as an early and prominent commercial feature along El Camino Real in downtown Menlo Park, and is recognizable as such. The establishment of a tavern at this location in the 1970s that attempted to promote the historic character of the building has created a sense of special place that is embodied in the physical building. As a key historic building within the context of Menlo Park as a whole, the property appears to qualify for the National and California Registers under Criterion A and (1) respectively.

Criterion B of the National Register and Criterion (2) of the California Register addresses the association of the property resources with significant historic personalities. No specific personage important to history was found to be directly associated with this building in a primary way as a part of this study.

Criterion C of the National Register and Criterion (3) of the California Register addresses distinction in architectural design and construction. The building, although modified and expanded, continues to be linked to important early Menlo Park history in a visual way, and the expansion at the rear and other modifications have not destroyed the integrity of the original building to a point that it no longer adequately conveys its associations and design. The property appears to qualify for the National or California Registers under Criterion C and (3) respectively, as the building is a distinctive early architectural work of a prominent local architect, Birge M. Clark, who has been

recognized as a master designer, and the building has sufficient integrity to represent its original construction.

Criterion D addresses the potential for yielding important information in the future. The determination of the presence and integrity of subsurface resources, however, is beyond the scope of this study.

The City of Menlo Park's zoning ordinance (revised and adopted July 2012) dealing with Historic Preservation can be found under Chapter 16.54 Historic Site District. The El Camino Real/Downtown Specific Plan states that the subject property at 1090 El Camino Real is a feature building of the downtown, although it has not been officially designated as a landmark by the City Council. Under the zoning ordinances, the Planning Commission can recommend to the City Council that it be officially designated a landmark structure, by resolution of the City Council or by written application of the property owners. Zoning Ordinance 16.54.010 states that the purpose of this legislation is to promote the general welfare of the public through:

- (1) The protection, enhancement, perpetuation and use of structures, sites and areas that are reminders of people, events or eras, or which provide significant examples of architectural styles and the physical surroundings in which past generations lived;
- (2) The development and maintenance of appropriate settings for such structures, sites or areas;
- (3) The enhancement of property values, the stabilization of neighborhoods and the increase of economic and financial benefits to the city and its residents;
- (4) The enrichment of the cultural and educational dimensions of human life by encouraging study and enjoyment of our historical heritage.

REVIEW AND RECOMMENDATIONS

The building at 1090 El Camino Real is historically significant according to the criteria of the California Register of Historical Resources, and thus is considered a historic resource under CEQA. Any alteration, proposed demolition, removal, relocation, or otherwise change in any manner to exterior architectural features should be reviewed by the City of Menlo Park Department of Community Development for consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings.

SOURCES CITED AND CONSULTED

Primary and Unpublished Sources

City of Menlo Park

Building Permits

Planning Files

County of San Mateo

Deeds and Official Records.

Recorded Maps.

Department of Special Collections and University Archives, Stanford University

Birge M. Clark Architectural Drawings (SC838)

R. L. Polk & Co.

Redwood City Directories.

Palo Alto Directories.

Menlo Park Directories.

Sanborn Fire Insurance Company Maps, 1925 and 1944.

U.S. Census Bureau, U.S. Department of Commerce

Census of Population, 1870-1940.

Secondary and Published Sources

"Another Birthday." *The Country Almanac*, 21 January 1987.

"Banks, Stores, and Offices", *Building and Engineering News* Vol. 25, Pt.1 (Jan-June 1925) and Pt. 2 (July-December 1925).

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Menlo Park (City of), Department of Community Development, Planning Division. *Zoning Ordinance*. Revised effective July 12, 2012.

-----, *City of Menlo Park General Plan Open Space/Conservation, Noise, and Safety Elements*. Adopted May 21, 2013.

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Schellens, Richard N. *Menlo Park History: From contemporary newspaper accounts* Vol. 2, unpublished manuscript: Menlo Park Historical Association, 1974.

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Svanevik, Michael and Shirley Burgett. *Menlo Park: Beyond the Gate*. Menlo Park: Menlo Park Historical Association, 2000.

Weinstein, Dave. "Signature Style: Birge Clark California Colonial: Palo Alto's favorite architect mixed romance with realism." *San Francisco Chronicle*, 5 July 2003.

-----, *Signature Architects of the San Francisco Bay Area*. San Francisco: Gibbs Smith, 2006.

Winslow, Ward. *Palo Alto: A Centennial History*. Palo Alto: Palo Alto Historical Association, 1993.

Websites

<http://www.pastheritage.org/Birge.html> (accessed on June 19, 2013).

ATTACHMENTS

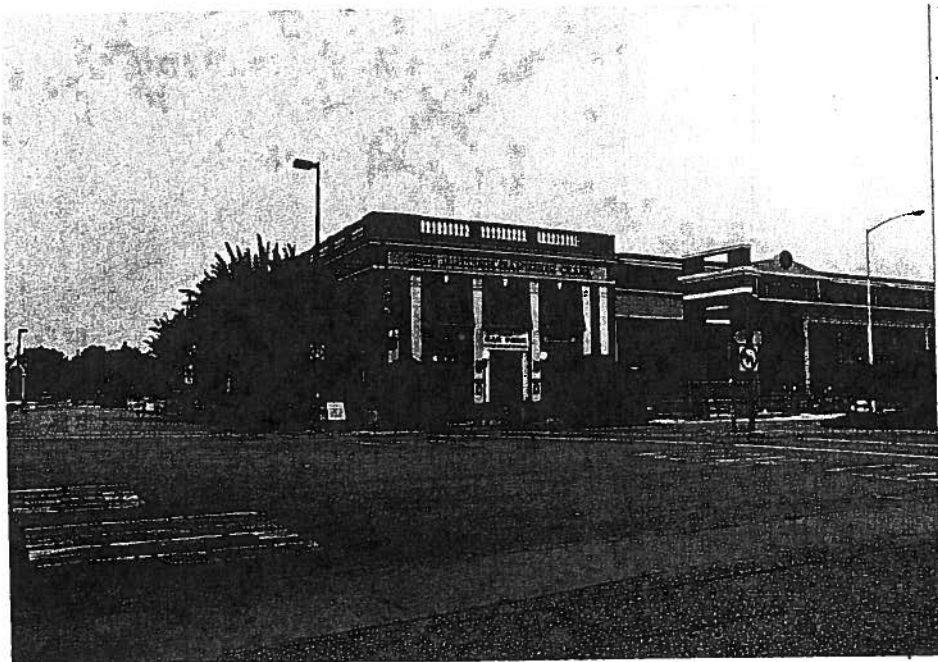
DPR523 recording for 1090 El Camino Real, prepared by San Mateo Historical Association, 1990.

DPR523 series forms, including photographic documentation, prepared by Archives & Architecture, LLC, 2013.

MENLO PARK HISTORIC RESOURCES INVENTORY

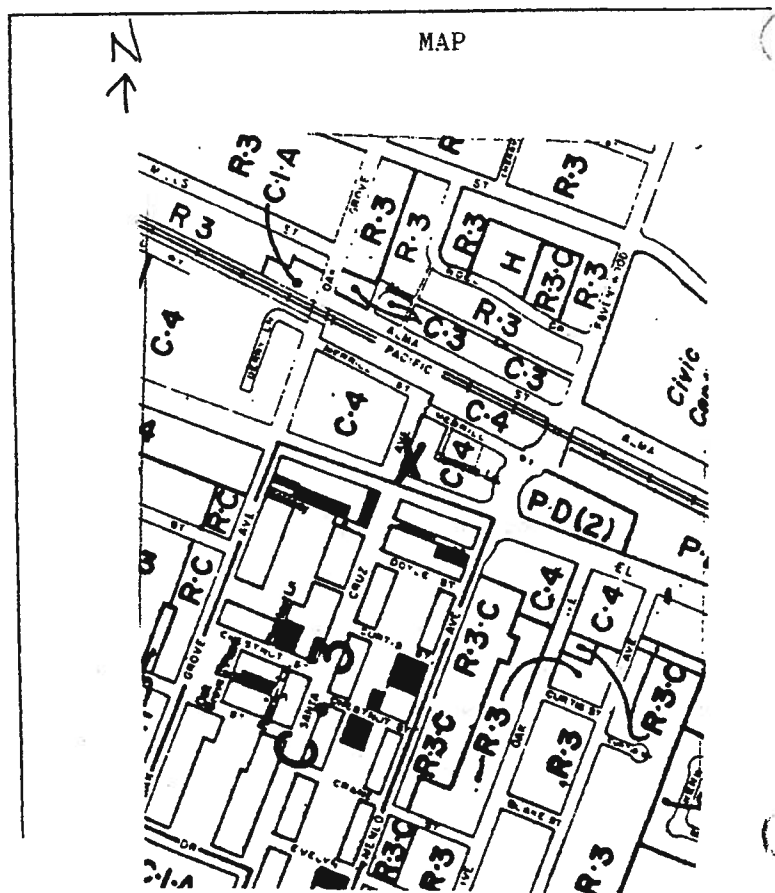
- | |
|--------------|
| Ser. No. |
| NR Status 3S |
| Local Des. |
1. Historic name: American Trust Company
 2. Common name: British Bankers' Club
 3. Address: 1090 El Camino Real Cross-Corridor:

City: Menlo Park	Vicinity Only	Zip: 94025	County: SMA
------------------	---------------	------------	-------------
 4. Quad Map No. 4282 UTM:Z 10/572380/4145310
 5. Parcel No. 061-442-170 Other:
 6. Property Category: Building Number of District Resources:
 7. Description: This is a two and a half story brick building. Classically inspired lines and proportions define the building. The main facade is divided into three main sections divided by tall white pilasters. Above the second story line is a plain frieze, now used as a space for the name of the business. A row of dentils and simple cornice project above, wrapping around the building. At the very top of the building is a brick parapet with open white balustrades. Brick piers divide the balustrade into sections along the front and side. The main front door is framed by two globe light fixtures. Flanking the door are large rectangular windows. A recent renovation has replaced original windows along the front and side with more contemporary ones; awnings cover the large upper story windows. A brick archway set perpendicular to the older structure has been added recently and visually ties the older structure to a new commercial block to the southeast.
 8. Alterations/Dates: Contemporary windows and awnings; unknown date
 9. Related Features:



10. Planning Agency: Menlo Park Planning Dept.
11. Owner/Address:
Denise and Diane Grimsman
120 Selby Lane, Atherton
94025
12. Type/Owner.: private
13. Present Use:
commercial
14. Zoning: C-4
15. Threats:

16. Construction date(s): 1926F Original location: same Date Moved: _____
17. Architect: Unknown Builder: Unknown
18. Historic Attributes: 6 - Commercial Bldg. 1-3 stories
19. Context for Evaluation: Theme Economic Growth Area Menlo Park
Period 1850-1940 Property Type Commercial Context Formally Developed? yes
20. Evaluation: This was one of the more formal structures built on El Camino prior to 1940. Although Menlo Park's economy boomed briefly during Camp Fremont days (1917-1919), it returned to its earlier pace after the war ended. The consensus among most "old-timers" was that it did not really boom again until after the Second World War. This structure is somewhat unique for its day; its size and formality suggest that its owners had hopes that Menlo Park's economy would match its wartime fervor. Apparently it did not. In the 1930s the building served as the City Hall, Police Department and Library. In later years it was used again as a bank building. Locally, the building is recognized (informally) as an important landmark; research indicates that its original construction and subsequent uses were closely tied with the local economy.
21. Sources: Jeanne Bone, CHAMPS volunteer
T. Kearny, oral history, 1975.
22. Applicable NR Criteria: A
23. Other Recognition:
State Landmark No.:
24. Evaluator/Yr.:
L. Wickert/1990
25. Survey Type:
Comprehensive
26. Survey Name:
Menlo Park Historical
Building Survey
27. March 1990
San Mateo Co. Hist. Assoc.
1700 W. Hillsdale Blvd.
San Mateo, CA 94402
(415) 574-6441



Form conforms to OHP HRI form 8/89
MP: 3ecr1090

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #

Trinomial
NRHP Status Code 7N

Other Listings
Review Code

Reviewer

Date

Page 1 of 28

*Resource Name or #: (Assigned by recorder) 1090 El Camino Real

P1. Other Identifier: British Bankers Club (1080 and 1098 El Camino Real, 595 Santa Cruz Ave.)

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County San Mateo

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Palo Alto Date 1997 T.5S.; R.3W.; Mount Diablo B.M.

c. Address 1090 El Camino Real City Menlo Park Zip 94025

d. UTM: (Give more than one for large and/or linear resources) Zone 10S; 573010mE/ 4144953mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

Assessor's Parcel Number: 061-442-330,

easterly side of El Camino Real, at southeastern corner of Santa Cruz Avenue.

*P3a Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This two-story commercial building was initially constructed in 1925 as a branch of the Bank of Palo Alto, and shortly after became Menlo Park's first City Hall. Since the early 1950s it has been functioning as a commercial building, initially occupied by a law firm, and then remodeled in the mid-1970s into an eatery and nightclub. The building has been altered over time, and expanded to the rear in the late-1980s to accommodate an additional retail shop.

Designed by prominent local architect Birge M. Clark, the distinguished character of the Neoclassical style building combines a variety and complexity of form with an elegance and consistency of detailing and materials. Although alterations have reduced the integrity of the original Clark design, the building continues to exhibit the design intent of the architect.
(Continued on page 2, DPR523L)

*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

*P4 Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #)

View facing east, June 2013.

*P6. Date Constructed/Age & Sources:
☒ Historic ☐ Prehistoric ☐ Both

1925/88 years old, newspaper articles and *Building and Engineering News*.

*P7. Owner and Address:

Dennis Grimsman
48 Lloyd Drive
Atherton, CA 94027-3834

*P8. Recorded by: (Name, affiliation, and address)

F. Maggi and S. Winder
Archives & Architecture, LLC
PO Box 1332
San Jose CA 95109-1332

*P9. Date Recorded: 7/15/2013

*P10. Survey Type: (Describe)
Intensive

*P11. Report Citation: (Cite survey report and other sources, or enter "none".)

Archives & Architecture, LLC: *Historic Resource Evaluation. 1090 El Camino Real, Menlo Park, San Mateo County, California, 2013.*

*Attachments: ☐ NONE ☒ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure and Object Record ☐ Archaeological Record
☐ District Record ☐ Linear Feature Record ☐ Milling State Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List)

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 2 of 28

*Resource Name or # (Assigned by recorder) 1090 El Camino Real

*Recorded by Franklin Maggi and Sarah Winder

*Date 7/15/2013

☒ Continuation ☐ Update

(Continued from page 1, DPR523a, P3a Description)

Prior to the First World War, commercial architecture strived to be an orderly response to the City Beautiful movement. The Columbian Exposition at Chicago in 1893 defined an era in civic architecture that tried to emulate Imperial Rome, as practiced by graduates of the French École des Beaux-Arts throughout America. Following World War I, nostalgia for the European and American past and practical building practices began to change the character of main street architecture. New materials and building systems gained ground, although in commercial buildings and especially in bank buildings such as that of the Bank of Palo Alto, classical forms and details persisted into the mid-twentieth century.

Birge M. Clark's design of the Bank of Palo Alto is a moderate-sized Neoclassical building with characteristics associated with revival styles. During the first two decades of Clark's career during the Interwar period, he would become well known for his use of revival styles in both domestic and commercial architecture in the greater Palo Alto area. The building at 1090 El Camino Real has previously been identified by the San Mateo Historical Association as being associated with the Colonial Revival style. This can be attributed to the use of unglazed bricks, multi-lite window units (since replaced), the balustrade at the front parapet wall, delicately inserted classical motifs, and the general crafted quality that give the building a sense of "quaintness" even with its moderate attempt at classical grandeur.

The building is of reinforced concrete construction, and according to the original drawings (viewed at Stanford University), utilized steel columns and heavy timber floor and roof framing. Pressed brick (a popular building material in Revival buildings in the 1920s that replaced fired bricks as a cladding material), were manufactured by Gladding McBean & Company, who also manufactured the terra cotta used for the classical architectural elements in the façades. The bricks were damaged when sandblasted in the 1970s to remove paint that had been added in the 1950s. Unlike fired bricks, the soft outer surfaces were unable to resist the hard water pressure from the stripping process. The addition to the rear of the building along Santa Cruz Avenue in the late 1980s, and reworking of the south interior property line wall after demolition of the adjacent building in that location, utilized matching bricks.

The building has a stucco-clad base that has been scored to emulate the large stone bases common to Renaissance buildings. Slender square-shaped engaged columns rise from the base at the front façade and are topped by Corinthian capital containing large Acanthus leaves characteristic of early Greek architecture. The columns, doubled at the outside, support a simple entablature with surface rosettes alongside rows of vertical flutes embedded at the ends. Adjacent the flutes on the inside are what appear to be imprinted rosettes. Below the entablature are keystones centered above the windows. The keystone detailing follows the building around the Santa Cruz Avenue side façade, with the large projecting top cove molding and bottom trim from the entablature wrapping the side of the building above the building's fenestration. The upper molding is trimmed below by dentils. The parapet consists of a turned balustrade separated by brick-clad columns lined up with the columns below.

Additional architectural detailing on the front façade includes a recessed door frame of plaster trimmed with a surrounding fret and having a beaded inner corner. The door itself and the glazing above as well as the wide marble header and jambs are contemporary replacements. The lamps and wall signage appear to have been added at the time of the most remodeling in the late 1980s.

The side elevation along Santa Cruz Avenue contains five bays of tall windows (one bay containing a side entry to the main room) of the original building extending back from El Camino Real. The window bays are segmented by large horizontal molding strips recessed back from the brick columns, creating the illusion of a two-story space inside. Although the horizontal forms continue to the rear of the original building, the left side of this façade is actually two-stories in height in the interior, as a mezzanine level fills the rear of the interior space. The entry is further recessed and surfaced with stucco. It contains what appears to be an early but not original alcove and door. (Continued on next page)

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

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*Resource Name or # (Assigned by recorder) 1090 El Camino Real

*Recorded by Franklin Maggi and Sarah Winder

*Date 7/15/2013

☒ Continuation ☐ Update

(Continued from previous page)

To the left of these five bays are two wider bays containing storefronts. The glass panels are set above brick faced kick panels. The left storefront has a narrow recessed entryway, and the right has a flushed door offset to the side of the bay. The right door appears to be a salvaged replacement, as well as the Victorian-era trimwork. Both of the storefronts have full transoms, separated from the upper window units by the horizontal molding strips at the same level of those that segment the windows to the right. The glazing all appears to have been replaced. The window frames and sash in the original building all appear to be original.

The rear of the current building is an addition that was constructed to match the original building. It contains entries on both the Santa Cruz Avenue side, as well as a large ornate entry to the plaza to the southeast. The south building elevation along the interior property line was created to also emulate the detailing of the original building and present a face to the plaza. A site feature was also added to extend the brick texture of the older building into the plaza.

The building remains in good condition and continues to contain the mezzanine that once housed the Menlo Park Library. The mezzanine area is lit naturally from a skylight; a stained glass lens has been added at the ceiling level. A second skylight over the main two-story room is hidden from view.

(continued from page 5, DPR523b, Section B6)

Construction History

Building permits for the City of Menlo Park only date back to the 1940s, so any additions or alterations to the structure predating these records are not available. The oldest permit for 1090 El Camino Real dates to 1951 (MP BP #1846), and refers to the alteration of the building for use as an office. A permit dating to 1959 (MP BP #6463) refers to its use as an office, and also refers to the building itself as the "Elliott Building".

In 1974, a use permit was approved by the Menlo Park Planning Commission for the restoration of the building to its original condition, and to add a parking lot on a then-adjacent vacant lot abutting the north side of the building. This permit also refers to the then-owner's unpermitted sandblasting of the exterior brick façade, of which the effects can be observed today. It was to be utilized as an office at this time.

In 1976, a use permit was granted to convert the vacant office building to a restaurant, and exterior modifications for this use were made in 1977, including an additional stairway and entrance located along Santa Cruz Avenue to the rear of the original building.

In 1988, the City Council approved a permit for the development of the Menlo Center, located adjacent to the BBC building. This approval allowed for the demolition of the retail storefront buildings along El Camino Real directly south of the subject building that had been located almost flush with the side property line elevation. The redevelopment of this city block included reconstruction/refinishing of the side elevation in a way that matched the character of the street elevations and included replication of the character-defining features along this side wall as well as creation of a new side entrance facing the newly created plaza.

In 1989, the owner was issued a permit for a rear addition to the building to be constructed where the parking lot previously stood, valued at the time at \$275,000. In 1995, the owner was again issued a permit, this time allowing for the construction of a new pergola at the BBC's Menlo Center plaza entrance.

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
LOCATION MAP

Primary #
HRI #
Trinomial

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*Resource Name or # (Assigned by recorder) 1090 El Camino Real

*Map Name: USGS Palo Alto 7.5 minute

*Scale: n.t.s.

*Date of Map: 1997



DPR523J
.....llkkkkkkkkkk

* Required information

F25

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #
HRI #

Page 5 of 28

*NRHP Status Code 38

*Resource Name or # (Assigned by recorder) 1090 El Camino Real

B1. Historic Name: Branch Bank of Palo Alto / Menlo Park City Hall

B2. Common Name: British Bankers Club

B3. Original use: Bank B4. Present Use: Vacant

*B5. Architectural Style: Neoclassical

*B6. Construction History: (Construction date, alterations, and date of alterations)

See page 3, DPR523L Continuation Sheet. Original construction in 1925. Various alterations throughout twentieth century (City of Menlo Park building permits from 1951-on). Rear addition in 1989/1990.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: n/a Original Location: n/a

*B8. Related Features:

None.

B9a Architect: Birge M. Clark (1925) b. Builder: L. A. Hinson (1925)

*B10. Significance: Theme Commerce/Politics & Government Area El Camino Real Specific Plan Station Area West

Period of Significance 1925-1948 Property Type Commercial/Institutional Applicable Criteria A (1), C (3)

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The front portion of the building at 1090 El Camino Real, extending about 80 deep along Santa Cruz Avenue, was originally constructed in 1925 as the Menlo Park branch of the Bank of Palo Alto. It is one of the few commercial buildings in the City of Menlo Park from the period of city incorporation. Soon after construction, the building became Menlo Park's first City Hall, and also served as Library and Police Department headquarters; uses that continued intermittently until the late 1940s. As Menlo Park's first City Hall, it has a significant place in the history of the City. The building today continues to reflect an important period when the municipality was establishing itself politically and as an institution of governance.

Designed by prominent local architect Birge M. Clark, the building is also significant as an example of his early work. The building's Neoclassical design presents a distinguished presence in the central part of downtown Menlo Park. The building has been renovated and expanded over time, but the original portions of the current building retains sufficient integrity to adequately represent this exemplary early work of Birge Clark, and to illustrate its associations with the early history of Menlo Park.

(Continued on next page, DPR523L)

B11. Additional Resource Attributes: (List attributes and codes) HP14. Government building/ HP15. Educational Building

*B12. References:

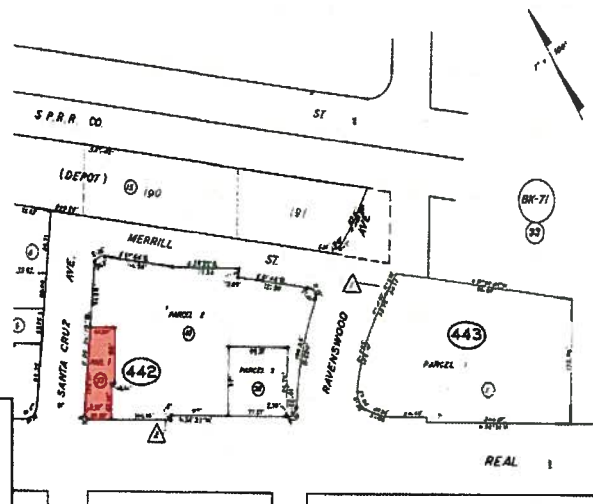
(See page 12, DPR523L Continuation Sheet)

B13. Remarks: Proposed alterations

*B14. Evaluator: Franklin Maggi

*Date of Evaluation: 7/15/2013

(This space reserved for official comments.)



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Historic Setting

In August 1854, Menlo Park received its official name when two Irishmen, Dennis J. Oliver and D. C. McGlynn, whose wives were sisters, purchased 1,700 acres of the former *Rancho de las Pulgas*, bordering present day El Camino Real. They built two houses with a common entrance and erected a huge wooden gate with tall arches on which the name of their estate *Menlo Park* (named after their home county in Ireland) was displayed. When the San Francisco & San Jose Railroad was built in 1863-1864, the stop between Redwood City and Mayfield was named the Menlo Park station, presumably by a railroad official who, looking at the gates, decided that "Menlo Park" would be officially adopted.

On March 23, 1874, Menlo Park became the second incorporated city in San Mateo County, although only for a short time. The purpose was to provide a quick way to raise money for road repairs. This incorporation, which included Fair Oaks (later Atherton) and Ravenswood (later East Palo Alto) lasted only until 1876. Menlo Park remained relatively rural until World War I, when it was suddenly populated by 43,000 soldiers in training at Camp Fremont, on land which extended from Valparaiso Avenue to San Francisquito Creek and El Camino Real to the Alameda de las Pulgas.

Menlo Park reincorporated in 1923 with much the same boundaries as the earlier town. Incorporation planning involving Menlo Park and Atherton culminated in a dramatic race to the County Courthouse to file differing plans. Atherton representatives arrived only minutes before those from Menlo Park who had wished to include Atherton in their plans. Final incorporation of Menlo Park however did not take place until November 1927.

With the closing of Camp Fremont after World War I, Menlo Park returned to its rural roots and small town feel for the next few decades as it established itself as a self-governed city. However, following World War II, Menlo Park, along with the rest of the San Francisco bay area, underwent a transformation into part of the expansive metropolitan area that exists today. By 1947, Stanford Research Institute (now SRI International) was founded in Menlo Park, and the United States Geological Survey established its western headquarters in the city in 1954.

Building History

The current property consists of Lots 15 and 16 of the Merrill Subdivision (recorded in 1918). The subject building was constructed at the southeasterly corner of El Camino Real (also known as State Highway 82) and Santa Cruz Avenue in 1925. An article in the *Redwood City Tribune* dated from July, 1925, states that, "The Bank of Palo Alto having realized the need in Menlo Park is constructing a \$40,000 building to house a branch of their institution...the people of Menlo Park welcome the coming of this bank to their city, as it is the first enterprise of this type to locate here." The article went on to further describe the project, stating that Birge M. Clark of Palo Alto was the architect, and L. A. Hinson of San Francisco was the contractor. The building was to be constructed of reinforced concrete, and designed in the Colonial style with a red pressed brick and terra cotta façade. It would stand at 43 feet by 80 feet, fronting along the state highway and extending back along Santa Cruz Avenue, featuring two stores built in the rear along Santa Cruz. The interior was to feature a 22 foot high ceiling, and a mezzanine level.

Citations in the Contractors' and Dealers' Association of California publication *Building and Engineering News* in 1925 provide exact dates for noticing of the construction of the building at 1090 El Camino Real (noted as building at corner of Santa Cruz Avenue and State Highway). Plans were being prepared in February, and were completed in April of 1925. Bids were being taken for work in May, and work began in June, and continued through the fall of that year. Various subcontractors worked to construct the subject building. Gladding McBean & Company is noted by *Building and Engineering News* as providing the pressed bricks used to construct the outer facades of the building.

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The Menlo Park branch of the Bank of Palo Alto officially opened on January 25, 1926. The Bank of Palo Alto only functioned at this location for a short time according to city directories, and by end of the 1920s it had become a branch office of the American Trust Company, which had acquired the Bank of Palo Alto sometime around 1928.

Shortly after incorporation at the end of 1927, the newly-elected Menlo Park City Council, meeting at the Masonic Hall above the Duff and Doyle Store at Santa Cruz Avenue and El Camino Real, voted to rent space in the bank building for the City Council to hold its meetings. According to an article in the *Daily Palo Alto Times*, shortly after Menlo Park incorporated for the third and final time in November of 1927, the newly formed City Council voted to rent a store in the Menlo Park Bank building (as the subject building was known then) at a cost of \$35 a month from Alfred Seale (the Chairman of the Bank of Palo Alto) to serve as the Council's headquarters.

By the end of December 1927, City Council meetings were taking place in the new chambers in the bank building. The building appears in the 1926 Menlo Park City Directory as a branch of the Bank of Palo Alto, but in 1928 (the next available directory) it is listed as both a bank and City Hall, a dual function it would hold until after 1935, when it ceased to house the American Trust Company. While the City Council was located in the bank building beginning shortly after incorporation, other city offices were later housed for about five years in a storefront building at 1040 Doyle St. (later addressed as 1036 Doyle St.) that was newly built in the mid-1930s.

In Svanevik and Burgett's *Menlo Park: Beyond the Gate*, the Doyle Street storefront (identified as 1036 Doyle St.) was identified as the Menlo Park's first City Hall which existed in that location for a decade, and they state that the subject building at 1090 El Camino Real was not rented until 1939. They also note that all City offices were located at this storefront building, and both their book as well as the City's 1874 Centennial Celebration Book *A Tradition of New Horizons* feature photos of the Doyle Street building with City Hall signage. City directories however list the subject building at 1090 El Camino Real as City Hall during the first decade following final incorporation. The building at 1040 Doyle Street does not appear at that address in city directories until 1935, and it is only listed as the location of City Hall through 1939. In 1940, the building at 1090 El Camino Real is once again listed as City Hall. 1036 Doyle St. has since been demolished.

In 1916, the San Mateo County Library opened a branch library in the Central School on El Camino Real in Menlo Park containing only 50 books. In 1926, the library moved to the Kuck Hotel at the corner of Derry Lane and Oak Grove. According to Menlo Park's official library history, four years later it moved again to the original Menlo Park City Hall which briefly operated out of a building on Doyle Street. The library is said to have occupied this space for the next nine years. This history also states that the next move came in 1939, to the subject building at 1090 El Camino Real. This official library account differs from information gathered from city directories and newspaper accounts that were examined in the course of this study. It was reported in the *Daily Palo Alto Times* that by the end of 1927, arrangements were being made to move the Menlo Park branch of the San Mateo County library from the Kuck building to the meeting place of the City Council in the Bank building, with services to resume to the public January 1, 1928. City directories also support this earlier occupation of the bank building by the library, placing the San Mateo County Library's Menlo Park branch within the subject building at 1090 El Camino Real by 1930 (earlier listings of the library could not be located). It is known that when it was located at the subject building at 1090 El Camino Real, the library was situated on the mezzanine level that required borrowers to climb 21 steps, and the rent was \$5 a month. This arrangement lasted until 1948, including the five years when City Hall was temporarily moved to 1036 Doyle Street, until the library moved to a bungalow on Menlo Avenue. In 1957, the library was finally provided with a home in a building designed specifically to function as a library.

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The subject building once again served exclusively as Menlo Park's main government building from 1940 until about 1948. 1090 El Camino Real housed almost all city services during this period, from governmental offices to the police department. The 1944 Sanborn Fire Insurance Map also supports this, labeling the subject building as City Hall. When the U.S. Army closed Dibble General Hospital after World War II, the municipality moved out of 1090 El Camino Real to one of the hospital buildings on Laurel Street. City Hall remained housed at the Dibble General Hospital site until the current civic center was completed.

After the subject building was vacated by the City of Menlo Park in the late 1940s, city directories indicate that 1090 El Camino Real, known during the 1950s and early 1960s as the Elliott Building, was occupied by several lawyers. By 1965, the building was known as the Kruse Building, and it served to accommodate the Department of Contractors of the Pacific Plan Company, as well as a company entitled Suburban Homes, Inc.

Dennis Grimsman purchased the property in 1972 for the purpose of running his company, the Menlo Realty and Investment Company out of the building. An advertisement in the *Country Almanac* in 1974 featured a sketch of the front of the building and stated that the company specialized in the listing and selling of fine residential homes and estates in the Woodside, Portola Valley, Menlo Park, and Atherton areas. By 1976, the building was vacant, and Grimsman was applying to the Menlo Park Planning Commission for permission to turn the building into a restaurant.

Opening its doors in 1977 under the ownership of Grimsman, the British Bankers Club exploited its central location on the San Francisco Peninsula as a location for informal get-togethers and meetups of those in the Silicon Valley tech industry and nearby Stanford University. One of the rear storefronts of the building for many years was also Knickerbocker Cigars, co-owned by Grimsman and opened in the 1980s. Knickerbockers sold pipes, tobacco and premium cigars for all types of smoking connoisseurs and cultivated an old-school gentleman's club feel to it. The owners of West Coast Cigars bought Knickerbockers Cigars in 2008. Both Knickerbockers and the BBC are currently closed and the commercial spaces are vacant.

Adjacent to the British Bankers Club building is the Menlo Center located at 1010 El Camino Real between Santa Cruz and Ravenswood Avenues. Approved in 1988 and built in 1990, the construction of the Menlo Center eliminated the rear parking lot that had served the BBC building since the 1970s. The design of the center is integrated with the building at 1090 El Camino Real, and features several office spaces and restaurant and retail spaces in its two story building, including several popular Menlo Park establishments like Café Borrone and Kepler's Books. Located off Santa Cruz Avenue with an entrance behind the building at 1090 El Camino Real is an underground public parking garage.

Bank of Palo Alto

The Bank of Palo Alto was founded in Palo Alto in 1892 with a capital stock of \$25,000, shortly after Stanford University opened. It was the first bank in the city. Benoni Parkinson was the first President of the bank, a position he held until his death in 1899. The bank initially operated out of the front of a hardware store where the Palo Alto Hotel now stands, and it was the first financial institution in Palo Alto. By the early 1920s, only two other banks were in Palo Alto besides the Bank of Palo Alto: First National Bank and the Stanford Bank. The Bank of Palo Alto had briefly opened a branch in Menlo Park in 1918 to service the growing population needs that Camp Fremont was bringing to the area, although it soon closed when Camp Fremont vacated the town after World War I ended. By 1925, Menlo Park once again received a branch office of the financial institution, the first of its kind in Menlo Park. The Bank of Palo Alto became a branch of the American Trust Company in the late 1920s, which then merged with Wells Fargo in 1960.

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Birge M. Clark, Architect

Birge Malcolm Clark (1894-1989) was born in Palo Alto, and his accomplishments as an architect can be found throughout Palo Alto as well as in nearby Peninsula cities and the South Bay area. His prominence as an architect in Palo Alto was honored when the City of Palo Alto declared June 5, 1984 "Birge Clark Day".

Birge was the son of Professor Arthur Bridgman Clark, a Professor at Stanford University who taught art and architecture. The Senior Clark was also Mayfield's first mayor; the family was well-rooted within the community by the time Birge became an architect. After graduating from Palo Alto High School in 1910, he received his A.B. degree in graphic arts from Stanford in 1914, and a B.Arch. from Columbia University in 1917. After graduating, Clark enlisted in the army. During World War I, Clark spent two years as an army officer and company commander in the balloon service in France, earning a Silver Star for gallantry in action.

Clark returned to Palo Alto in 1919, and soon got his start on the Stanford campus assisting his father and Lou Henry Hoover with the design of the house on San Juan Hill that now bears her name. President Herbert Hoover gave the home to the university after his wife's death for use as the university president's residence, a use it has retained since 1945. It was designated a California state historic landmark in 1978 and a national historic landmark in 1985.

When Clark opened his first office in Palo Alto in 1922, he was one of only two architects between San Jose and San Francisco; the other was located in San Mateo. Clark went on to design 39 campus houses for Stanford University, as well as the Seeley G. Mudd Chemistry Building and the John Stauffer Chemical Laboratories. He continued to practice on his own until 1928, then he worked with his brother David, until David's death in 1944. Subsequently, he worked with partners Walter Stromquist, Joe Ehrlich, and David Potter; later partners were Paul Sandstrom, Jonathan Gifford, and Ernie Ericson. During his career, Clark designed, or contributed to the design of 450 buildings in the greater Palo Alto area, including three in Palo Alto that are on the National Register of Historic Places: the U.S. Post Office on Hamilton Ave., the Dunker house at 420 Maple St., and the Charles and Kathleen Norris house at 1457 Cowper St.

Other notable Clark designs are the Lucie Stern Community Center on Middlefield, the President Apartments on University, the Senior Center on Bryant, the Palo Alto Medical Clinic, the *Peninsula Times Tribune* building at Lytton and Ramona, and the first Hewlett Packard Building on Page Mill Road. His professional awards include being named a Fellow in the American Institute of Architects (1952) and an Honor Award of Merit from the American Institute of Architects, Northern California, East Bay, and Coast Valleys Chapters for Magna Engineering Company Building (1953).

Gladding McBean & Company

Gladding McBean & Company, the manufacturer of the pressed brick cladding and terra cotta façade of 1090 El Camino Real is a well-known California clay products company founded by Charles Gladding at Lincoln, California in 1875 as a sewer pipe manufacturer. Its original product was clay sewer pipe. By the early 1890's the company had expanded its line to include fire brick, roof tile, chimney pipes and ornamental garden pottery. An early clay roof tile project was Stanford University, one of the country's most prestigious and architecturally distinctive campuses. To this day Gladding continues to provide its signature clay tile to Stanford University for any campus additions, as well as residential and commercial buildings worldwide. Although the company history is somewhat complex, Gladding & McBean Company is best known today for their architectural terra cotta, and their Franciscan dinnerware that they began making in Glendale in 1934. By 1950, the company was considered one of the world's largest ceramics manufacturers, and is still operating today.

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EVALUATION

1090 El Camino Real was surveyed in 1990 for the City of Menlo Park by the San Mateo County Historical Association, who found that the property appeared to meet the criteria for individual listing on the National Register of Historic Places. The property is not listed on any local, state, or federal registers of historic resources. As part of this study, the building and site were evaluated for historical and architectural significance according to the National Register of Historic Places, the California Register of Historical Resources, and under the City of Menlo Park's Historic Site District Ordinance.

Criterion A of the National Register and Criterion (1) of the California Register addresses the association of the buildings with events significant to broad patterns of history. The rarity of the subject building in Menlo Park as a remnant of the mid-1920s makes it a key element representative of the early era of development of Menlo Park. It also served as Menlo Park's first city hall, an association that has deep meaning within a community's history. Because of this important association, it appears that the building qualifies for the California Register under Criterion (1), and may qualify for the National Register under Criterion A.

Criterion B addresses the association of property resources with significant historic personalities. The building has hosted a number of personages important to Menlo Park history, but these associations are of a secondary nature, and would not in themselves cause the building to be eligible for either the California Register under Criterion (2) or the National Register under Criterion B.

The original building at 1090 El Camino Real represents a distinctive architectural specimen and exemplary work of prominent local architect Birge M. Clark. It is a unique Neoclassical design. The building demonstrates Clark's emerging capability during his early years as an architect. In the early days of his career, Clark worked almost exclusively in the fairly short-lived, but locally popular architectural style variously referred to as Spanish Colonial Revival, California Colonial or the closely-related, Mission Revival. Neoclassical designs such as that executed for the Bank of Palo Alto in Menlo Park are less common, but help to understand the creative breath of his work, which included a diversity of revival styles during the Interwar years, and his local reputation as an innovative modernist following World War II. Clark's ability in adapting the classical language of architectural design to new materials and building systems are important to understanding his later work. The original plans are archived in Special Collections at the Green Library of Stanford University, and with the building itself, provide a valued look into Clark's career. The building appears to qualify for the California Register under Criterion (3), and for the National Register under Criterion C. Although the building has undergone a number of renovations, and the brick cladding has been damaged due to sandblasting, the building continues (through its massing and detailing) to illustrate its associations with an important work of a regionally prominent architect.

Criterion D addresses the potential for yielding important information in the future. The determination of the presence and integrity of subsurface resources, however, is beyond the scope of this study.

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The City of Menlo Park's zoning ordinance (revised and adopted July 2012) dealing with Historic Preservation can be found under Chapter 16.54 H Historic Site District. The El Camino Real/Downtown Specific Plan notes the subject property at 1090 El Camino Real as a feature building in Chapter B, "Plan Context," although it has not been officially designated as a landmark by the City Council. Under the zoning ordinances, the Planning Commission can recommend to the City Council that it be officially designated a landmark structure, by resolution of the City Council or by written application of the property owners. Zoning Ordinance 16.54.010 Purpose, states that the purpose of this legislation is to promote the general welfare of the public through:

- (1) The protection, enhancement, perpetuation and use of structures, sites and areas that are reminders of people, events or eras, or which provide significant examples of architectural styles and the physical surroundings in which past generations lived;
- (2) The development and maintenance of appropriate settings for such structures, sites or areas;
- (3) The enhancement of property values, the stabilization of neighborhoods and the increase of economic and financial benefits to the city and its residents;
- (4) The enrichment of the cultural and educational dimensions of human life by encouraging study and enjoyment of our historical heritage.

Integrity and character-defining features:

The property retains much of its original historic integrity as per the National Register's seven aspects of integrity, although expanded at the rear and embellished on the side that once was joined to an adjacent building. The building is in its original location in a prominent place in downtown Menlo Park. It is a part of a long-time commercial setting and has continuity of building type with adjacent properties. The original structure was one-and-one-half stories with basement, and has been expanded to the rear with a structure that was created to have a secondary presence to the original building at the Santa Cruz Avenue elevation and at the rear. The original building has been altered somewhat, and the original front door has been replaced, but is set within an original classically-detailed frame. The original glazing of the building has also been removed, but the basic window frames remain and the fenestration retains a sense of historicity. The bricks have been damaged by sandblasting and should be protected from further deterioration, but have continued to function adequately since this occurred about 40 years ago. The property retains its mid-1920s small town commercial scale and feeling. Because the building form and detailing is distinctive in this prominent location at a crossroads of downtown Menlo Park, the associations with early Menlo Park and its former use as a City Hall and bank building remain understandable to the local community. The historic design is diminished by the alterations at the plaza such as new brick facings and cornice, which confuse the understanding of the original building form, but these changes are reversible.

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Elevation of 1090 El Camino Real located along Santa Cruz Avenue, ca. 1920s. Courtesy of Menlo Park Historical Association.



1090 El Camino Real, ca. 1936. Courtesy of Menlo Park Historical Association.

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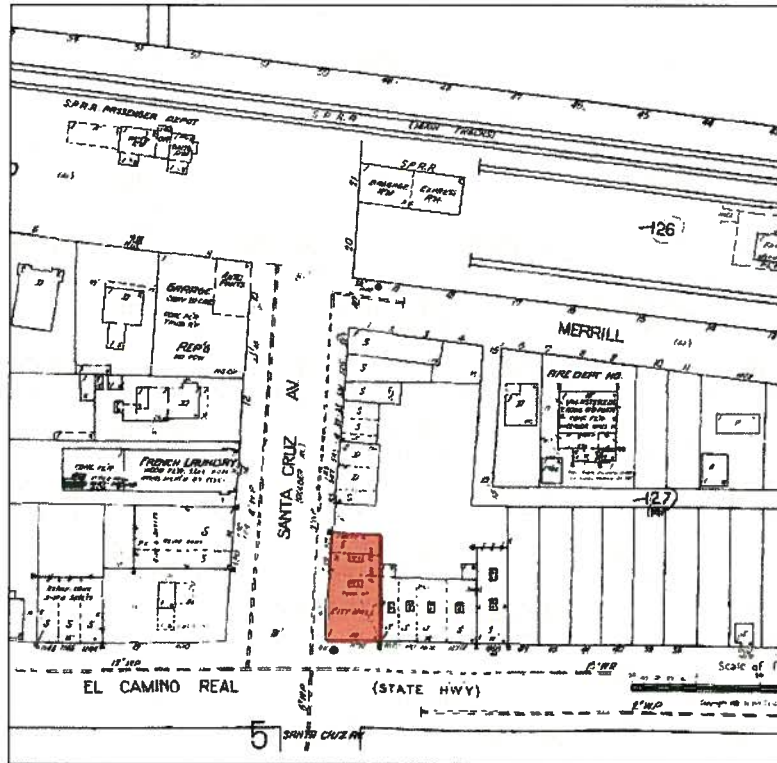
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Detailed view of subject property at 1090 El Camino Real, Sanborn Fire Insurance Map, updated to 1944.



1090 El Camino Real, ca. 1951. Courtesy of Menlo Park Historical Association.

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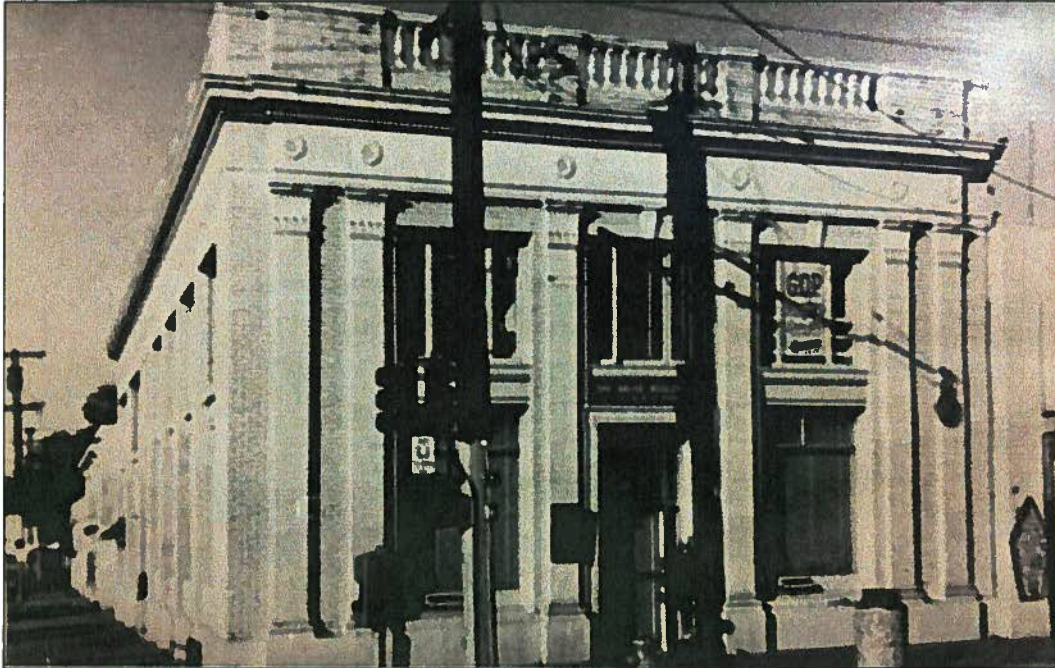
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1090 El Camino Real, identified as ca. 1940s by Menlo Park Historical Society, but sign over entryway identifies building as "Kruse Building" dating to its use ca. 1960s. Courtesy of Menlo Park Historical Association.



1090 El Camino Real (British Bankers Club), July 12, 1983. Courtesy of Menlo Park Historical Association.

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1090 El Camino Real (British Bankers Club), July 15, 1983. Courtesy of Menlo Park Historical Association.



Interior view of owner-Dennis Grimsman behind the bar of the British Bankers Club, 1988. Courtesy of Menlo Park Historical Association.

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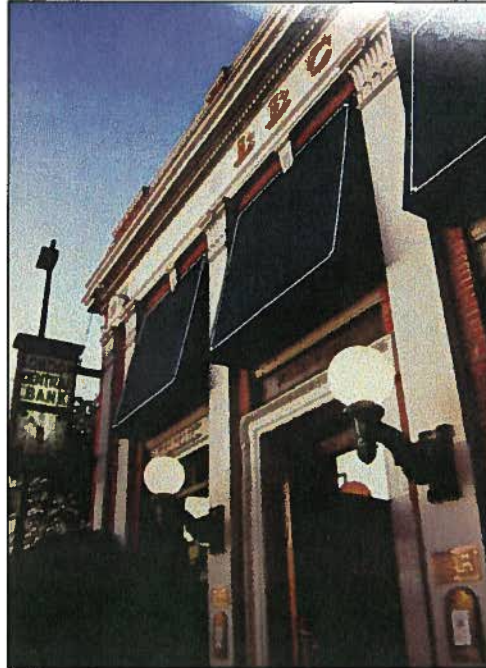
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Postcard view of the British Bankers Club entrance from El Camino Real, ca. 1990s. Courtesy of Menlo Park Historical Association.



View of 1090 El Camino Real (British Bankers Club) south elevation from Menlo Center's Café Borrone patio, May 1, 1992. Courtesy of Menlo Park Historical Association.

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
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HRI #
Trinomial

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*Resource Name or # (Assigned by recorder) 1090 El Camino Real

*Recorded by Franklin Maggi and Sarah Winder

*Date 7/15/2013

☒ Continuation ☐ Update



Main (front)elevation at El Camino Real.



Street side elevation at Santa Cruz Avenue.

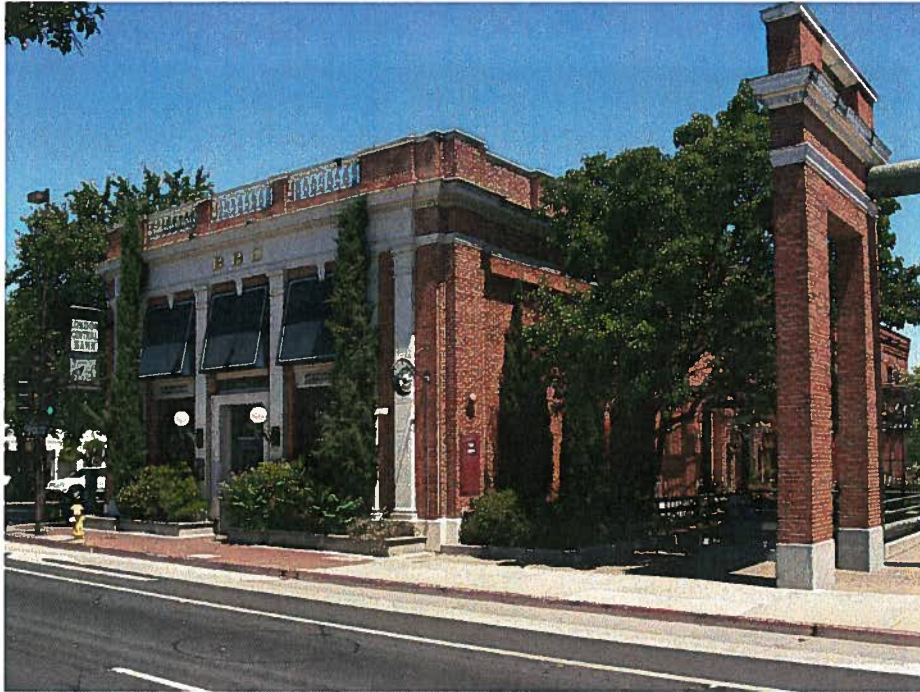
Page 20 of 28 *Resource Name or # (Assigned by recorder) 1090 El Camino Real

*Recorded by Franklin Maggi and Sarah Winder

*Date 7/15/2013

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☐ Update



Main façade on El Camino Real with re-clad side wall to the right.



Upper cornice detail with original (left) and replicated (right) elements, viewed from sidewalk to left of front façade on El Camino Real.

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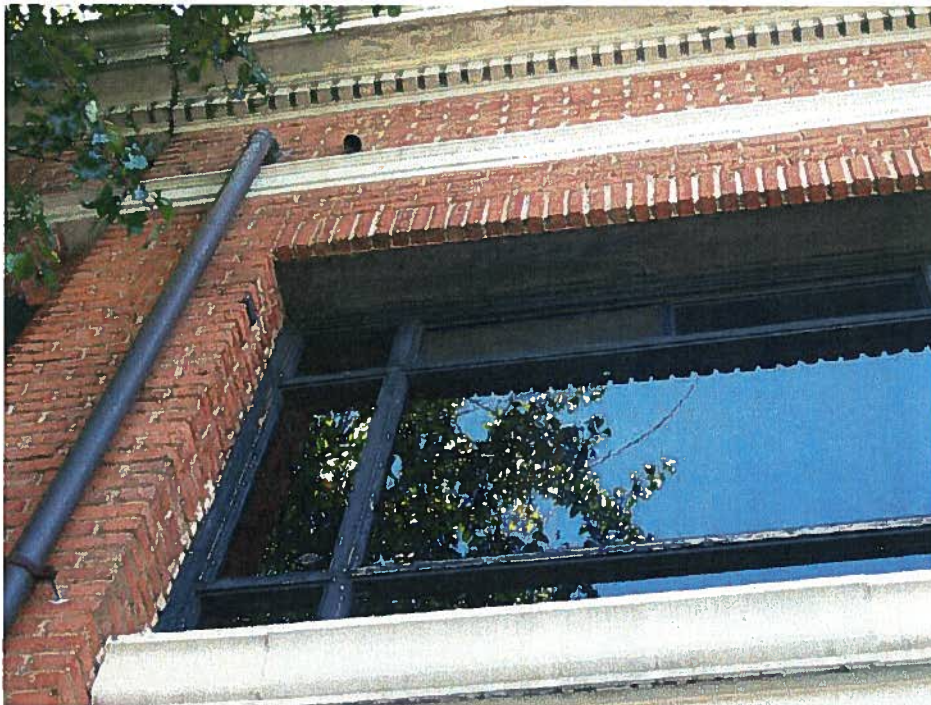
*Recorded by Franklin Maggi and Sarah Winder

*Date 7/15/2013

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Cornice and keystone at windows on Santa Cruz Avenue street elevation.



Original window unit with replaced glazing on Santa Cruz Avenue street elevation.

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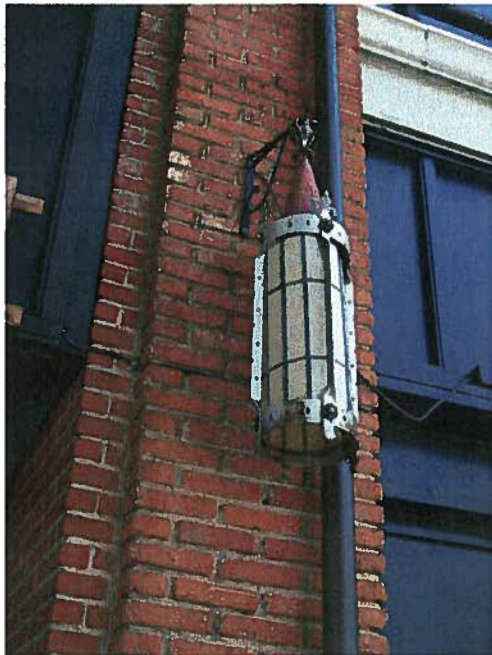
*Resource Name or # (Assigned by recorder) 1090 El Camino Real

*Recorded by Franklin Maggi and Sarah Winder

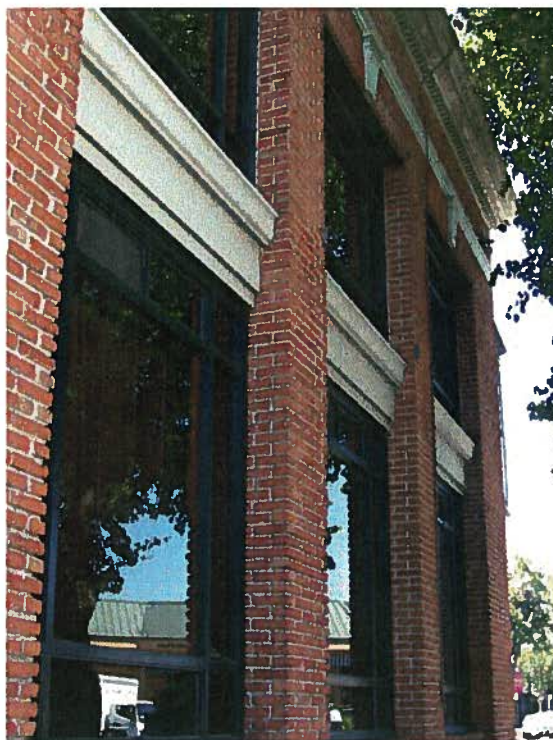
*Date 7/15/2013

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Interstice at Santa Cruz Avenue street elevation of original façade (right) and addition (left).



Fenestration and brick clad columns along Santa Cruz Avenue at right end of wall near El Camino Real.

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*Resource Name or # (Assigned by recorder) 1090 El Camino Real

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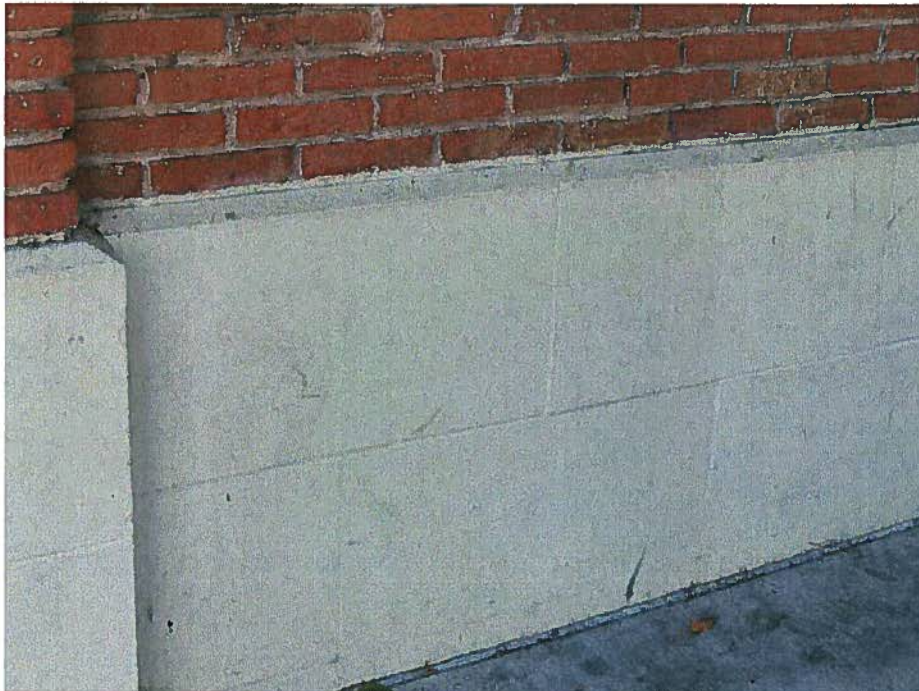
*Date 7/15/2013

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Wall base along Santa Cruz Avenue at most easterly storefront showing sandblasted brick.



Detail of wall base along Santa Cruz Avenue showing faux stone finish work on plaster.

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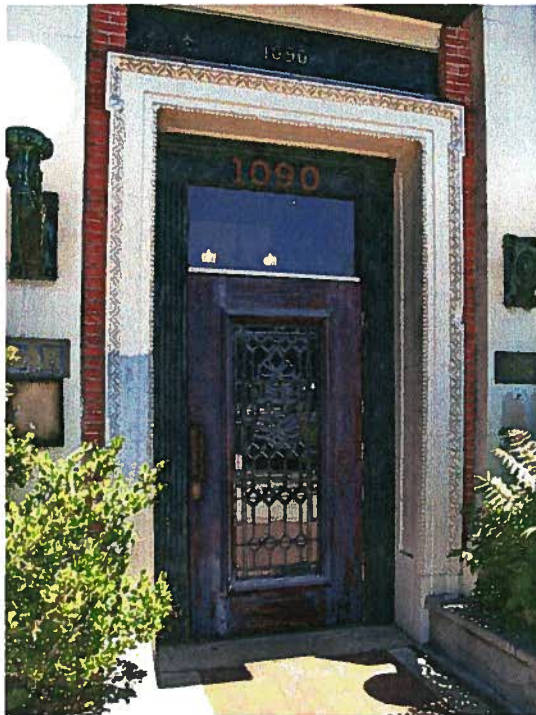
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*Resource Name or # (Assigned by recorder) 1090 El Camino Real

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Main entry on El Camino Real with replaced door and frame.



Side entry on Santa Cruz Avenue.

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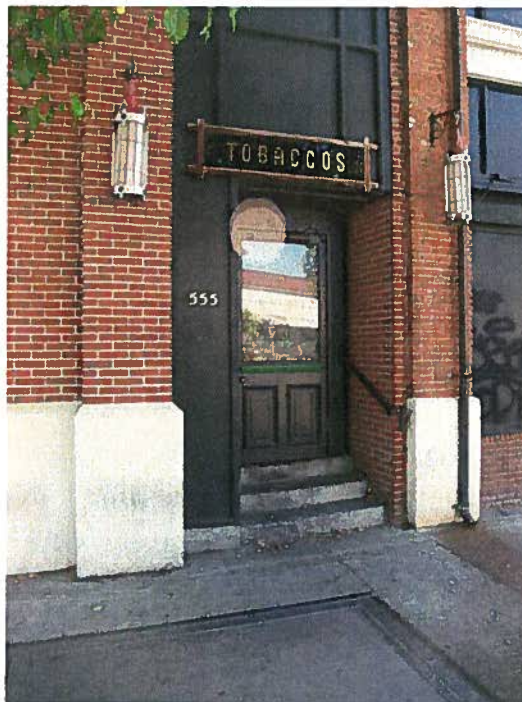
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Westerly storefront entry on Santa Cruz Avenue.



Entry to rear addition along Santa Cruz Avenue.

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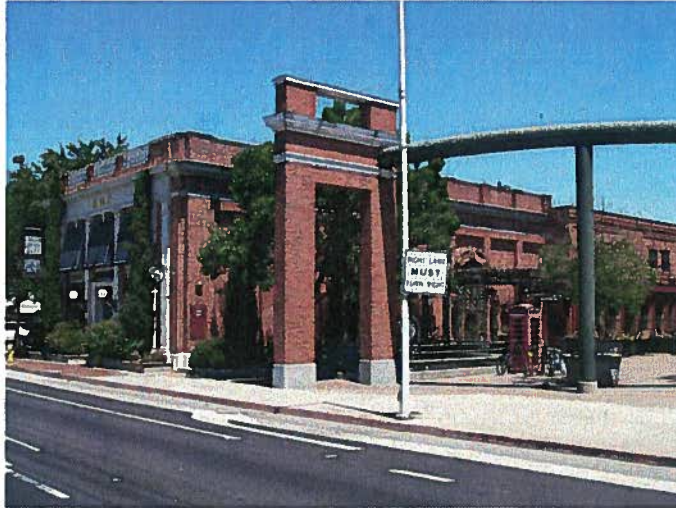
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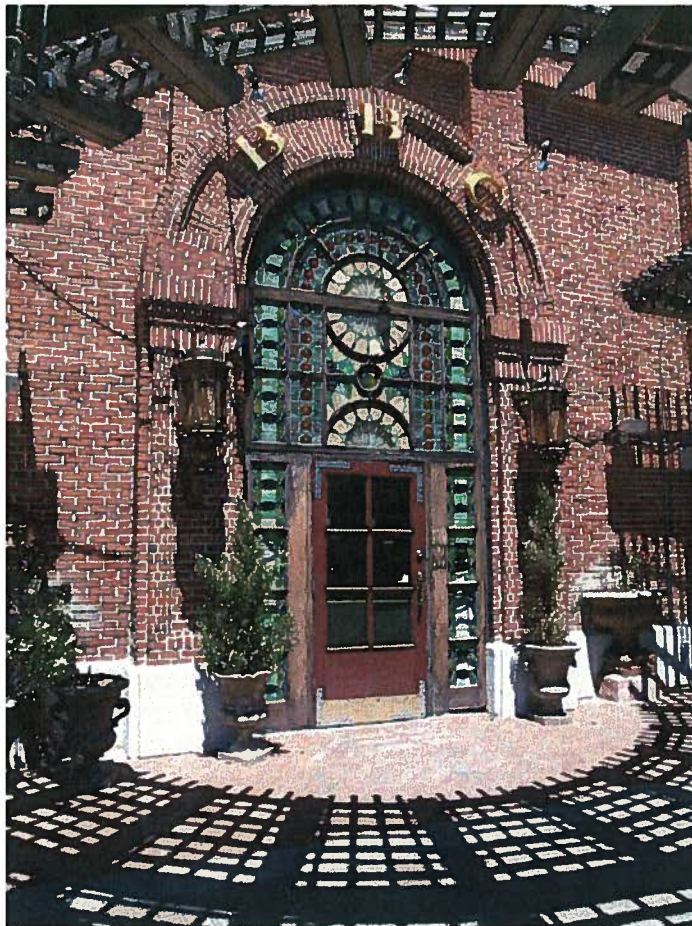
*Recorded by Franklin Maggi and Sarah Winder

*Date 7/15/2013

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View from El Camino Real of side elevation and architectural elements from adjacent site.



Entry (added in 1990) at side elevation adjacent to the plaza.

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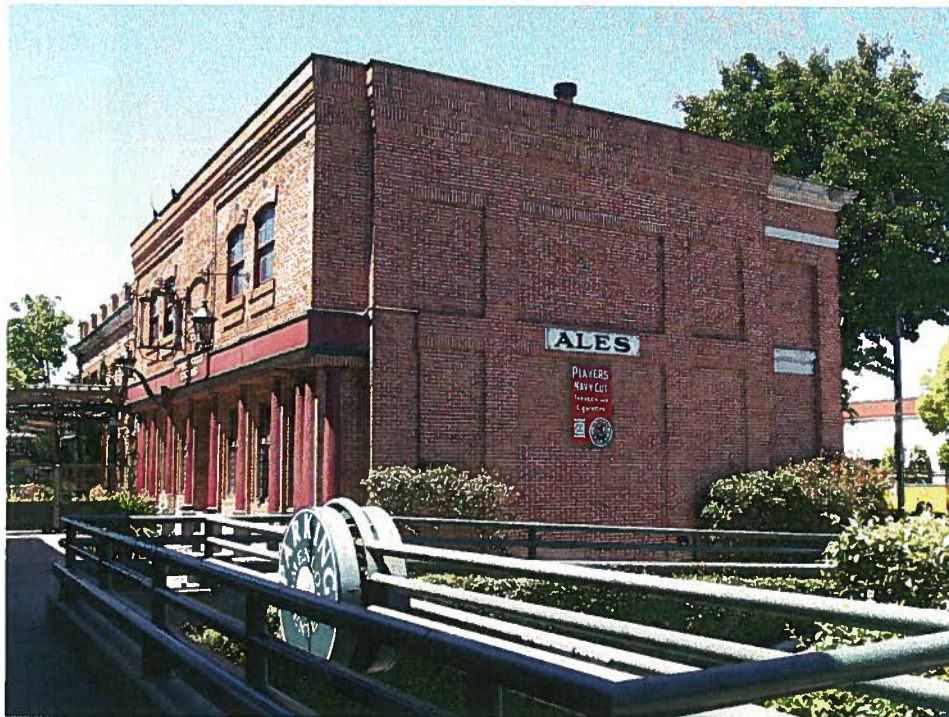
*Recorded by Franklin Maggi and Sarah Winder

*Date 7/15/2013

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View from Santa Cruz Avenue of new development (left) and rear façade of addition (right).



View of addition from rear at garage entry.

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☐ Update



Interior view of window unit.



Skylight above mezzanine.

SECRETARY OF THE INTERIOR'S STANDARDS REVIEW

PROPOSED RENOVATION TO BRITISH BANKERS CLUB BUILDING

1090 El Camino Real
(Parcel Number 061-442-330)
Menlo Park, San Mateo County
California

For:

City of Menlo Park
Attn: Jean Lin, Associate Planner
Planning Division, Department of Community Development
701 Laurel Street
Menlo Park, CA 94025

Prepared by:

ARCHIVES & ARCHITECTURE LLC
PO Box 1332
San Jose, CA 95109
408.297.2684
408.228.0762 Fax

Franklin Maggi, Architectural Historian

July 30, 2013
(Revised August 19, 2013)



INTRODUCTION

Executive Summary

The proposed project consisting of renovation and reuse of the British Bankers Club building at 1090 El Camino Real in the city of Menlo Park generally meets the *Secretary of the Interior's Standards for Rehabilitation* except for modifications to the El Camino Real entry and Santa Cruz Avenue storefront area. The analysis is described more fully below.

It is recommended that the design of the new entry along the Santa Cruz Avenue elevation be modified to accommodate the preservation of the most easterly (left) of the two existing storefronts of the original building, and that the design of the fenestration that will replace the existing entry along El Camino Real be done in a way that is more compatible with the original design concept of a main entry along this major thoroughfare (Standards 2 and 9).

Report Intent

Archives & Architecture, LLC was retained by City of Menlo Park Planning Division, Department of Community Development to conduct a Secretary of the Interior's Standards Review of a proposed remodeling of the British Bankers Club at 1090 El Camino Real, Menlo Park, California. Archives & Architecture was asked to review the exterior elevations, plans, and site plan of the project to determine if the proposed project is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties – Rehabilitation Standards* (Standards). The Standards are understood to be a common set of guidelines for the review of historic buildings and are used by many communities during the environmental review process to determine the potential impact of a project on an identified resource.

Qualifications

Franklin Maggi, Partner of the firm Archives & Architecture, has a professional degree in Architecture with an area of concentration in Architectural History from the University of California, Berkeley. Mr. Maggi is listed with the California Historic Resources Information System (CHRIS) managed under the authority of the California Office of Historic Preservation as meeting the requirements to perform identification, evaluation, registration, and treatment activities within the profession of Architectural Historian in compliance with state and federal environmental laws. CHRIS utilizes the criteria of the National Park Service as outlined in 36 CFR Part 61.

Review Methodology

For this report, Franklin Maggi viewed both the interior and exterior of the building and site. He then reviewed the conclusions within the Department of Parks and Recreation form 523 (DPR 523) prepared by Archives & Architecture, LLC (F. Maggi and S. Winder), dated July 2013. The project was then evaluated, according to the Standards. The proposed design was electronically provided for this project by the City of Menlo Park. This set of twelve drawings is dated April 23, 2013 were prepared by CCS ARCHITECTURE.

Disclaimers

This report comments on the project plans in terms of historically compatible design of the exterior design only. Archives & Architecture, LLC has not undertaken and will not undertake an evaluation or report on the structural conditions or other related safety hazards that might or might not exist at the site and building, and will not review the proposed project for structural soundness or other safety concerns.

ARCHIVES & ARCHITECTURE LLC



PROJECT DESCRIPTION

Significance of the Resource

Archives & Architecture, LLC evaluated the architectural significance of the British Bankers Club building at 1090 El Camino Real which was recorded in a DPR523 form dated July 15, 2013. The evaluation notes that "The original building at 1090 El Camino Real is historically significant due to its association as Menlo Park's first City Hall, and its distinctive design by prominent Palo Alto architect Birge M. Clark. Clark designed the building in 1925, early in his career, and it remains an important example of his early work, even though various remodelings and additions have degraded its integrity over time. The property is also historically significant for its representation as a rare commercial building associated with the establishment of Menlo Park as an incorporated city. The early property use as Menlo Park's civic/governmental center and its long-term prominence as an important commercial site at a key intersection in Menlo Park for almost 90 years presents an important pattern of historic development in the community that helps define Menlo Park's origins. As a key historic building within the context of Menlo Park as a whole, the property appears to qualify for the National and California Registers under Criterion A and (1) as well as C and (3) respectively.

Summary of the Proposed Project

The proposed project, as presented in the current set of conceptual drawings noted above and a letter from Bryan Southwick of CCS ARCHITECTURE to Menlo Park Planning dated April 26, 2013, consists of the renovation to the existing British Bankers Club and Knickerbockers Cigar Shop to establish BBC Seafood at the site. As stated in the design narrative, "the design aims to revitalize the existing bar and retail shop to create a new restaurant identity yet keeping the building's inherent character intact....The sidewalk on El Camino is too narrow and creates a hazard for the pedestrian. The sidewalk on Santa Cruz Ave allows for the opportunity for drop off / valet....Creating activity along this block provides an opportunity to link the downtown Santa Cruz business corridor with the Caltrain station. Subsequently the façade on the plaza side will also be reworked with more openings for better indoor/outdoor connection and to enhance the pedestrian thoroughfare from the train station." The narrative further states "The exterior design carefully respects the existing structure and in some cases, like the added El Camino façade window, and roof top stair enclosures...aim to keep the design in line with the existing style. In other areas, like the main building entry storefront | canopy and rooftop guardrail, the proposed architecture is intended to be treated differently to allow these elements to read clearly against the historic fabric and enhance the overall character of the building."

SECRETARY'S STANDARD'S REVIEW

The *Secretary of the Interior's Standards for Rehabilitation* (Standards), originally published in 1977 and revised in 1990, include ten standards that present a recommended approach to repair, while preserving those portions or features that convey a resource's historical, cultural, or architectural values. Accordingly, Standards states that, "Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values." For the purposes of this report, aspects of the project that affect interior features such as the mezzanine and skylights were not reviewed, as they are interior features. Interior architectural features are not normally considered when conducting

ARCHIVES & ARCHITECTURE LLC



Standard's review when the review is in response to mitigation requirements adopted by public agencies under the Guidelines of the California Environmental Quality Act. Modifications to building interiors are not normally subject to discretionary review, and are therefore not subject to CEQA requirements.

Following is a summary of the review with a list of the Standards and associated analysis for this project:

Analysis

1. **A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.**

Analysis: The proposal does not substantially change the most recent use of this property.

2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.**

Analysis: The project proposes to remove the storefronts located along Santa Cruz Avenue that are associated with the original 1925 building. Other portions of the later addition to the rear of the building, as well as remodeled portions of the side building elevation along the south property line will also be altered.

Removal of the storefronts along Santa Cruz Avenue will demolish important aspects of the early design by Birge Clark and the physical remainders of the early City Hall use, which was first established in 1927 at the storefront while the front of the building continued to be used as a branch bank. The transom frames above both storefronts appear to be original, although the most westerly storefront (right) has been modified and does not appear to be original. Early photos do not show a side entry to the main "banking" room of the building as it exists today, although a circa 1951 historic photo does show this entry.

Since the transoms and the left storefront appear to be original fabric and are important character-defining features of the building, removal of these elements is not compatible with this Standard. Removal of the existing side entry to the original building along Santa Cruz Avenue however, although an older element of the building, would not appear to affect historic fabric associated with the early design and use. It is recommended that the proposed side entry on Santa Cruz Avenue be revised to preserve the transom over both storefronts and the left storefront elements such as the window frames and brick kick panels.

Alterations to the rear addition will not affect the historic character of the original building.

Removal of the front entry on El Camino Real and replacement with a window that attempts to mimic the design of the current windows affects an important spatial relationship, as the original design of the front façade is an important character-defining feature of the original Birge Clark design. Because the existing door and frame are not original features, preservation of these elements is not necessary. However, it is recommended that the replacement window be designed in a way to not mimic the existing windows, but rather be of a compatible design that respects the original design of the front façade with its centrally located entry.

3. **Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other historic properties, will not be undertaken.**

Analysis: The proposed project includes removal of the entry along El Camino Real and replacement of this entry with a "façade window." It is recommended as noted in Standard (2) above that the replacement not mimic the existing windows, but rather be of a compatible design.

4. **Changes to a property that have acquired historic significance in their own right will be retained and preserved.**

Analysis: It is understood that the front portion of the building at the corner of El Camino Real and Santa Cruz Avenue is the "historic" portion of the building, and the rear addition and remodeled façade treatment on the side elevation facing south at the plaza are contemporary and have no historic significance. The period of significance is 1925-1948, beginning with the date the building was completed, and generally including the years in which the City of Menlo Park used the building for its municipal offices. Later periods of use of the building and changes made during those later periods have not acquired historic significance in their own right

5. **Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**

Analysis: The features, finishes, and construction techniques or examples of craftsmanship that characterize the property are generally preserved in this proposal except for the remaining original (left) storefront of the original portion of the building along Santa Cruz Avenue and the transoms above both the storefronts. The transoms of the two storefronts on Santa Cruz Avenue appear to be original to the building. The (right) storefront on Santa Cruz Avenue appears to have been reconfigured at some point in the recent past and is not historic. The side entry to the right of these two storefronts is not original. As noted in Standard (2), it is recommended that the new side entry be revised to preserve the transom and storefront elements that are original.

6. **Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**

Analysis: No deteriorated historic features are proposed for repair in this project or shown on the conceptual drawings. If any historic features are planned for repair or replacement, those items should be reviewed for consistency with the Secretary of the Interior's Standards.

7. **Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**

Analysis: No chemical treatments are shown as proposed in this project. The El Camino Real and Santa Cruz Avenue brick facades were subject to physical sandblasting in the 1970s which damaged the outer surface of the pressed bricks. Any remedial work regarding these bricks should be reviewed for consistency with the Secretary of the Interior's Standards.

8. **Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**

Analysis: Archeological resources are not evaluated in this report.

9. **New additions, exterior alterations or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**

Analysis: The proposed modifications to the building addition including the elevator penthouse, stair enclosure, and shade structure are differentiated and compatible with the historic features of the original building. The new exterior staircase on the side elevation at the plaza is not located near any character-defining features of the original structure, and therefore will not destroy an important spatial relationship. The character of the new entry along Santa Cruz Avenue has also been designed to be differentiated and compatible with the historic features of the building.

10. **New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

Analysis: The essential form and integrity of the historic property would be maintained in this project. The expansion to the original building, and contemporary installation of brick and architectural detail on the building elevation at the south side property line of the original building were done during a contemporary renovation and expansion of the property, and are not a significant part of the historic resource.

Conclusion

The proposed design is not currently compatible with the *Secretary of the Interior's Standards for Rehabilitation*. Modifications to the original building façade along Santa Cruz Avenue will demolish portions of the building that are original to the 1925 design and that have important associations to the early use as a City Hall. Additionally, replacement of the front door along El Camino Real with a window that attempts to match the existing windows is disruptive to the original design and character of the Birge Clark Neoclassical design of this primary façade. Therefore, the project should be revised to address both of these issues.



Lin, Jean P

From: franklin.maggi@gmail.com on behalf of Franklin Maggi [franklin.maggi@archistory.com]
Sent: Thursday, October 31, 2013 4:18 PM
To: Lin, Jean P
Subject: Re: 1090 El Camino Real - BBC building

Follow Up Flag: Follow up
Flag Status: Completed

Hello Jean:

Leslie and I both had a chance to look at the latest facade revision to 1090 El Camino Real in Menlo Park today.

As we had noted earlier, the 1980s-1990s expansion is not a significant part of the historic resource. The design of that addition attempted to replicate details of the 1920s building, and did not adequately differentiate itself from the historic fabric of the original building. Consequently, any modifications to that addition that would cause it to be more differentiated, without distracting from the adjacent resource and its distinctive character is highly recommended. The proposed opening of wall sections and exposure of a contemporary stair structure at the far end of this addition appears to be compatible with the historic features of the related resource. The stairs appear to be proposed with modern materials and do not distract from the more articulated character of the older building such as the brick cladding and stucco wall base, multi-pane windows, and cornice. The changes do not appear to affect in any negative way the integrity of the resource. The changes do not present a false sense of historical development, as well as can be determined from the current conceptual elevation of the Santa Cruz Avenue facade.

Let me know if you believe the above is adequate to complete your review, and if you need our observation in letter form or if the Standards Review should be updated.

Franklin Maggi, Architectural Historian
Archives & Architecture, LLC

Franklin Maggi, Architectural Historian
Archives & Architecture, LLC
PO Box 1332
San Jose CA 95109
408.297.2684 office
408.369.5683 mobile
408.228.0762 fax
franklin.maggi@archistory.com

On Wed, Oct 30, 2013 at 3:13 PM, Lin, Jean P <jplin@menlopark.org> wrote:

Hi Franklin,

I hope you are doing well.

As the BBC project is being refined, the applicant has modified the proposal to incorporate the recommendations of the historic report. However, they are proposing one major façade change that I would like to run by you to ensure that it will not affect the building's overall historic integrity.

The change would affect the Santa Cruz Avenue façade on the rear portion of the building that was constructed in the late 1980s/early 1990s. The proposal would open up two wall sections between existing columns to accommodate an "outdoor" staircase (see attached elevations). Do you think this would have any impact on the building's historic status?

Thanks,

Jean Lin

Associate Planner

City of Menlo Park

701 Laurel Street

Menlo Park, CA 94025

phone (650) 330-6735

email jplin@menlopark.org

www.menlopark.org

Lin, Jean P

From: Karen Wandvik [karen@tangroup.com]
Sent: Thursday, January 23, 2014 11:54 AM
To: Lin, Jean P
Cc: Tim Quayle (TQuayle@ccs-architecture.com); robfischer@mac.com; Karen Enger
Subject: Proposed planters for BBC building on exterior plaza of Menlo Center

Follow Up Flag: Follow up
Flag Status: Flagged

Jean,

I understand from speaking with Tim Quayle this morning that you require by noon today The Tan Group's approval of the proposed planters in order to keep this project on the Planning Commission's Feb. 10th agenda.

Joe Tan reviewed this morning what has been proposed in the "Planning Submittal" dated Nov. 6, 2013, which we received last Wednesday & approves the planters in principle subject to the following:

1. Fewer planters overall with some space in between them. He doesn't like the monolithic appearance of the "wall" of planters and based on our prior experience, although the ABC requires definition of an area where alcohol is being served, they do not require an impenetrable physical barrier, so this change should not cause any problems.
2. Planters which are more in keeping aesthetically with the BBC building. The proposed planters are very modern whereas the BBC building is definitely not.
3. The Tan Group's approval of the planting material.
4. Resolution of the discrepancy between the different allowable live loads reflected by JYASF structural engineers (100 lbs/sf) and what we have in our files (60 lbs/sf) from the original project architect based on his consultation with the original project structural engineer.

I hope this provides what you need & I apologize for the last-minute nature of this email. Unfortunately, both Joe Tan and I were out of the office the 1st 3 days of this week & we did not know until Monday that this was needed or even that this project had been tentatively scheduled for the Feb. 10th meeting.

Regards,
Karen Wandvik
The Tan Group

Potential Modifications to Secondary Dwelling Units and Accessory Buildings/Structures

Study Session
Planning Commission
January 27, 2014

Modifications to the Accessory Buildings and Structures Regulations and Secondary Dwelling Unit Ordinance (Section 16.68.030 and Chapter 16.79)

PURPOSE:

- To more clearly define how an accessory building can be used
- To establish regulations that are consistent with the use of the building
- To discourage use of an “accessory building” as a “secondary dwelling unit”
- To encourage the development of secondary dwelling units from the outset when new detached buildings are proposed

NOTE: The intent of the proposed ordinance amendments would be to not render any accessory building/structure as nonconforming as a result of the proposed changes.

16.04.110 Building and/or structure, accessory

- "Accessory building and/or structure" means a subordinate building and/or structure, the use of which is incidental to that of the main building or buildings on the same lot or building site; but not including any building used for living or sleeping quarters.
- Revise the language to clarify what is meant by “living”.

16.04.295 Dwelling unit, secondary

- A “secondary dwelling unit” means a dwelling unit on a residential lot which provides complete independent living facilities for one or more persons, and shall include permanent provisions for living, sleeping, eating, cooking and sanitation independent of the main dwelling existing on the residential lot.
- Revise the language to clarify what is meant by “eating and cooking facilities”.

Accessory Building/Structure Considerations

Accessory Buildings/Structures		
USE	Should the development regulations differentiate between “habitable” (e.g. home office and recreation room) and “non-habitable” accessory buildings (e.g., garage and shed)?	
SIZE	Should a maximum square footage be established for “habitable” accessory buildings?	<ol style="list-style-type: none"> 1) Remain unchanged; maximum of 700 sf or 25% of gross square footage of main building (without use permit); regardless of use. 2) Establish a threshold of 640 sf (equivalent to maximum secondary dwelling unit) for all “habitable” buildings; maximum 700 sf or 25% of gross square footage of main building remains for total allowance. 3) Less than 640 sf.
MINIMUM YARDS (SETBACKS)	Should the side and rear yard requirement be different for “habitable” accessory buildings or portions thereof?	<ol style="list-style-type: none"> 1) Remain unchanged; 3 feet for rear and side yards; 5 feet adjacent to alley; corner lot – determined by adjacent lot. 2) Same as secondary dwelling unit 3) Same as main dwelling unit.

MINIMUM YARD REQUIREMENTS

For “habitable” accessory buildings, establish the side and rear setbacks the same as detached secondary dwelling units requirements

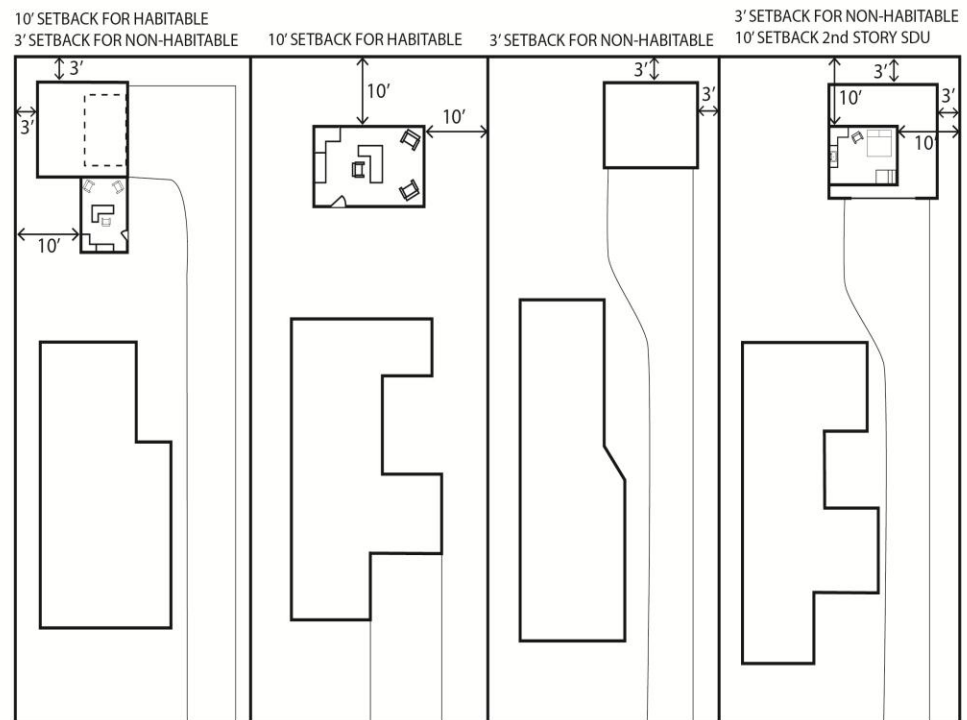
Front: Accessory buildings must be located on the rear half of the lot, which is different from a secondary dwelling unit, which follows the main dwelling unit front setback

Side (interior and corner)*: Varies; established by the minimum yard requirement for the main dwelling unit established by the zoning district

Rear*: 10 feet

* Interior and rear yards may be reduced to 5 feet, subject to written approval of the owner(s) of the contiguous property abutting the portion of the encroaching structure.

SETBACKS FOR DETACHED ACCESSORY BUILDINGS



* The setback from an alley for a non-habitable accessory structure is five feet.

*The setback for accessory structures with habitable space can be reduced to five feet with contiguous property owner approval.

Accessory Building/Structure Considerations

Use/Function

Should the number of plumbing fixtures be limited in accessory buildings?

- 1) Remain unchanged; no limitation.
- 2) Establish maximum number of fixtures and/or types of fixtures
- 3) Prohibit showers

Accessory Buildings and Secondary Dwelling Units Considerations

Daylight Plane and Wall Height

Should wall height and daylight plane requirements be modified to allow for varying roof structures and flexibility in building design?

- 1) Remain unchanged; 9 ft. wall height, 14 ft. overall height (accessory buildings/structures), 17 ft. (secondary dwelling unit); clarify that single-story daylight plane is applied for both accessory buildings/structures and secondary dwelling units.
- 2) **Replace the single-story daylight plane requirement with a new daylight plane requirement for accessory building/structure and secondary dwelling units.**

Wall Height and Daylight Plane

Existing

- Wall Height: 9 ft., except height may be increased to accommodate flood zone requirements for secondary dwelling units
- Overall Height – 14 ft. for accessory buildings/structures and 17 ft. for secondary dwelling units
- Daylight Plane – Single-story daylight plane applied (need to make explicit in code)

Proposed

- Eliminate 9 ft. wall height.
- Maintain 14 ft. and 17 ft. overall height
- Reduce the vertical height of the existing daylight plane from 12 ft., 6 in. to 9 ft. above the grade at the setback line; maintain slope inwards at 45 degree angle

Use of Daylight Plane to Establish Building Envelope

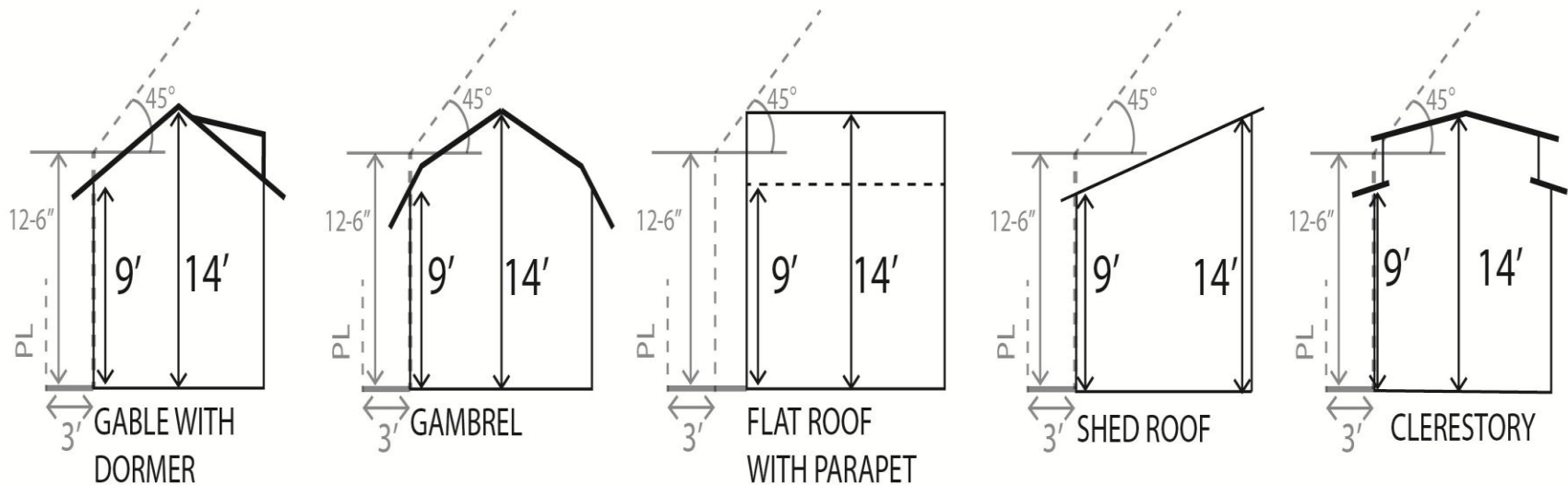
Wall Height: Maximum 9 ft. at required yard (varies; 3 ft. for accessory buildings/structures and zoning district requirement for main dwelling for secondary dwelling units); wall height may increase as setback from required yard increases.

Overall Height: Remains unchanged.

Intrusions into the Daylight Plane: None Permitted

Dormers and other features: Should there be limitations on such features as dormers?

Examples of Accessory Building/Structures and Secondary Dwelling Unit Design

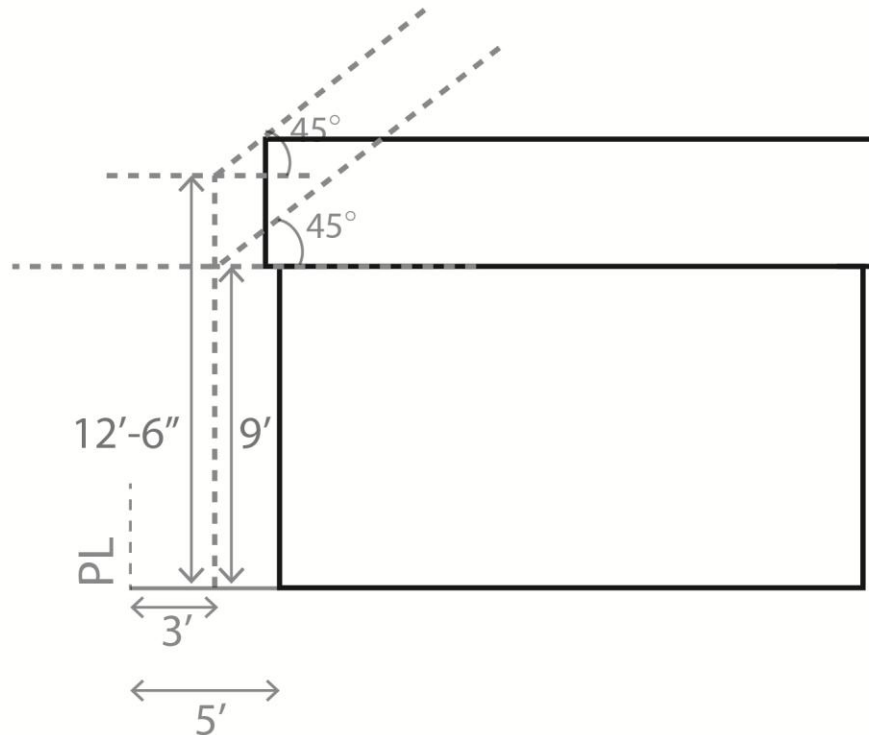


All of these roof designs would be compliant with the nine foot wall height and fourteen foot overall height. These roof designs are not intended to limit roof designs, other designs may be acceptable, such as hipped roofs.

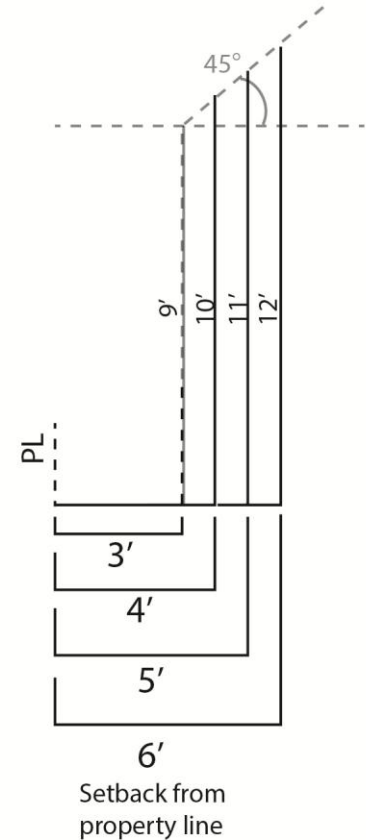
3 ft. setback shown for accessory buildings, not secondary dwelling units, which have an increased setback

Daylight Plane

- Gable-end roof encroachment would not be permitted
- An increase in the building setback would result in daylight plane compliance



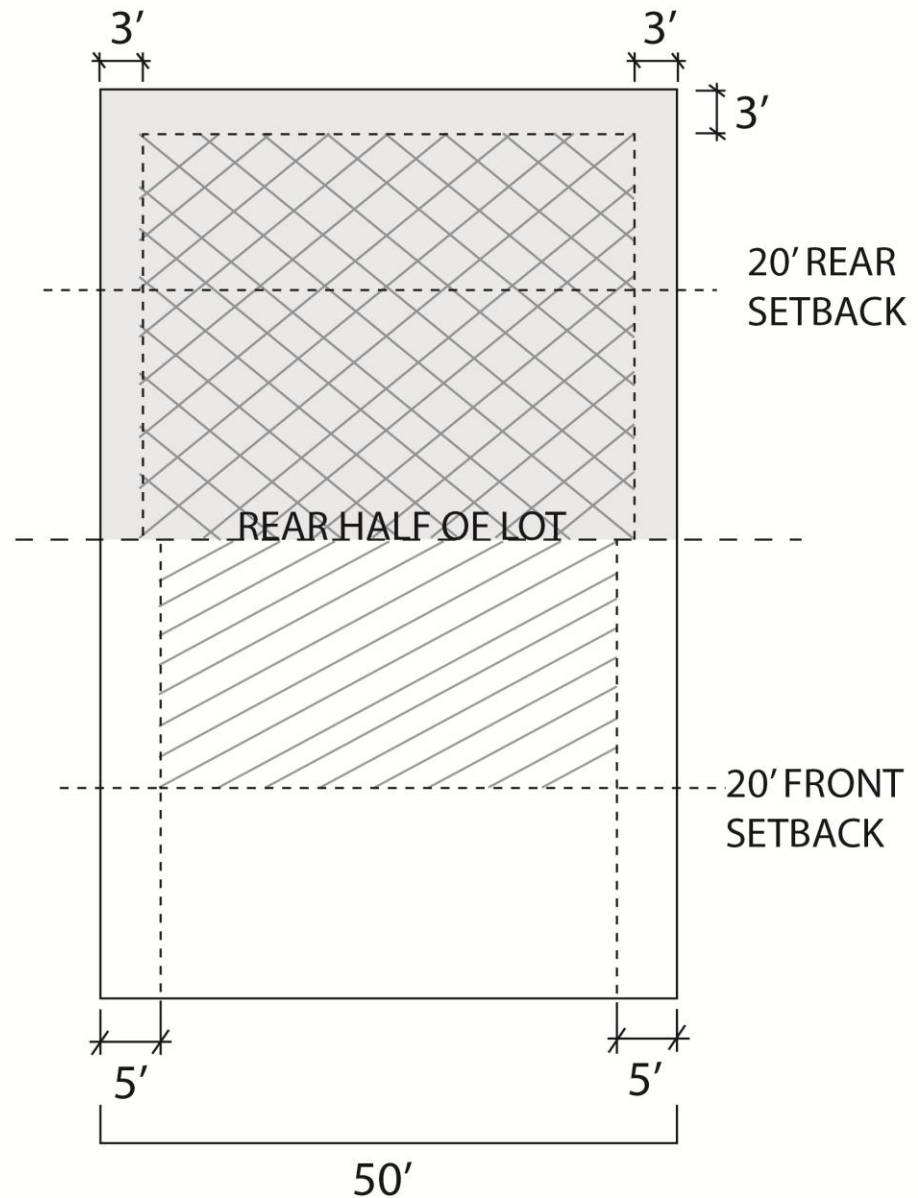
Daylight Plane



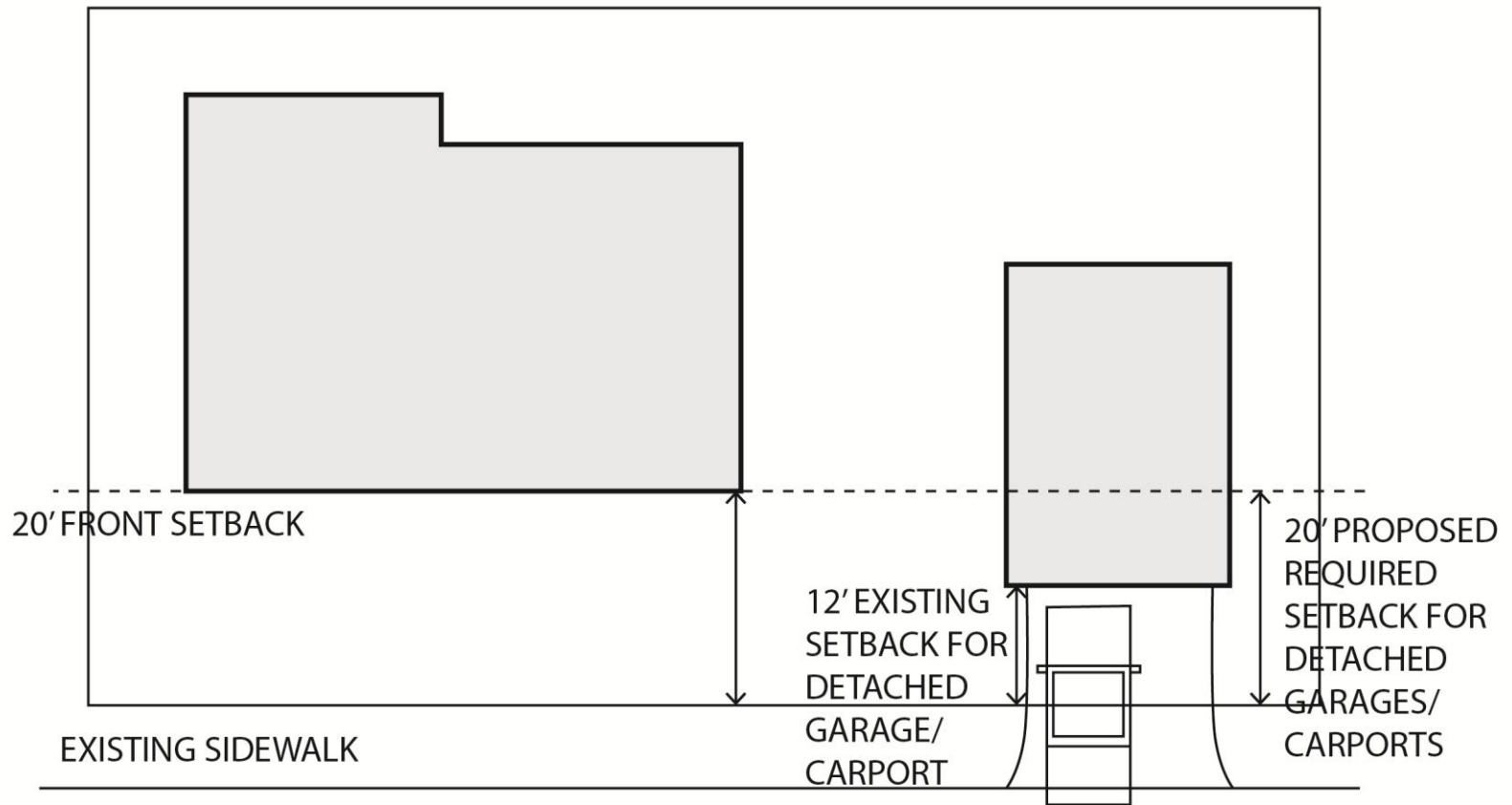
Additional Clarifications and Modifications to Accessory Building/Structure Ordinance

- Differentiate between accessory buildings (garage, shed, recreation room) and accessory structures (arbors, built-in kitchens, play structures, etc.)
- Allow accessory structures to be located within the front half of the lot if located outside of required front and side yard requirements
- Remove requirement for a 10-foot separation from any dwelling on the subject lot or adjacent lot for accessory structures only
- Regulate detached garage entrances similar to attached garage entrances; which require a minimum 20-foot setback to accommodate a car length

Proposed Location of Accessory Structures



Detached Garage/Carport Setback



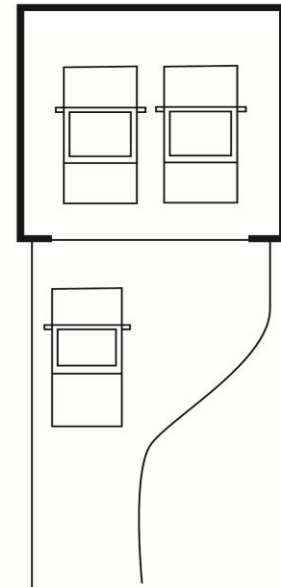
Additional Clarifications and Modifications to Accessory Building/Structure Ordinance

- Clarify that floor area is determined on a structure-by-structure basis, not by whether the main dwelling unit is single-story or two-story.
- Clarify that basements under accessory buildings are included in the maximum allowed accessory building/structure square footage, but not towards the maximum Floor Area Limit (FAL).
- Clarify that detached garages providing required parking can be located consistent with accessory building regulations.
- Other considerations: trash enclosures, pool equipment.

Clarifications and Modifications to Secondary Dwelling Unit Ordinance

- Reduction in minimum lot size: 5,750 sf
- Clarify tandem parking may include a single-car driveway leading to a two-car garage
- Clarify in “tenancy” that either the main dwelling or secondary dwelling unit shall be occupied by the property owner when both units are occupied

Clarification to Zoning Regulation Chapter 16.79.040(7)(a)



Secondary Dwelling Unit Conversion

Unit Size

Should a maximum square footage be established as part of this conversion process?

- 1) Allow accessory buildings up to 640 sf to be converted, per maximum size of secondary dwelling units
- 2) Comply with existing accessory building/structure maximum square footage, 700 sf or 25% of gross square footage of main building, whichever is greater
- 3) Establish new square footage maximum.

Secondary Dwelling Unit Conversion

Minimum Yards (Setbacks)

Should side and rear yards be established for converted accessory buildings?

- 1) **Maintain current accessory building requirements.**
- 2) Comply with the secondary dwelling unit minimum yard requirements
- 3) No established yard requirements (less than 3 ft.)

Secondary Dwelling Unit Conversion

Process

Should the conversion of a legally permitted and constructed accessory building into a secondary dwelling unit be subject to a discretionary process?

- 1) No discretionary review, subject to meeting certain criteria. (Notice of building permit application only)
- 2) Administrative Permit (noticed, discretionary review by Community Development Director, and appealable to PC)
- 3) Use Permit (current process)

Recommended Meeting Procedures

- Staff Presentation
- Public Comment
- Commission Questions of Staff
- Commission Discussion
 - Confirm purpose of proposed ordinance amendments
 - Specific feedback: 1) plumbing fixture limitations and 2) conversion process
 - Any other feedback

Next Steps – Tentative Dates

- Steering Committee Meeting (February 27)
- Housing Commission (March 5)
- Planning Commission (March 17)
- City Council (April 1 and 29)



MEMORANDUM

DATE: January 27, 2014

TO: Planning Commission

FROM: Deanna Chow, Senior Planner
Community Development Department

RE: **Agenda Item F1: Study Session on Proposed Revisions to the Secondary Dwelling Unit and Accessory Building/Structure Regulations of the Zoning Ordinance**

On November 18, 2013, staff presented the Planning Commission with an overview of the Preliminary Draft Housing Element (2015-2023) and Housing Implementation Programs. The meeting provided the Planning Commission the opportunity to review and comment on these items prior to submitting the Draft Housing Element to the State Department of Housing and Community Development (HCD) for a 60-day review period. This review was conducted with the understanding that staff would further refine and/or craft final ordinances for consideration and action in the Spring 2014.

One of the implementation items that was discussed was modifications to the existing secondary dwelling unit ordinance to allow for the conversion of legally permitted and constructed accessory buildings (meeting certain criteria) into secondary dwelling units while simultaneously amending the accessory building/structure language to more clearly distinguish how the structure could be used. The preliminary concept included prohibiting living areas without an increased setback and to limit the number and/or type of plumbing fixtures within an accessory building/structure. This would likely make the conversion of an accessory structure into a living unit more difficult, which could then encourage the development of legal secondary dwelling units from the outset. That said, the intent of the ordinance amendment would be to not render any accessory structure as nonconforming as a result of these changes.

Attachment A includes the summary chart of regulations for both the secondary dwelling unit and accessory building/structure, along with the recommended modifications to each section that was previously distributed to the Commission

on November 18. Staff will use this chart as a basis for the Planning Commission's discussion at the study session. At the meeting, staff will present each of the concepts in more detail. The study session is intended to serve as a check-in to see if staff is headed in the right direction with the revisions. In addition, the meeting is an opportunity for members of the public and Commission to provide feedback on the refinements before staff formally presents the ordinance amendments to the Planning Commission in March and the City Council in April 2014.

ATTACHMENT

- A. Summary Chart Comparing Regulations for Secondary Dwelling Units and Accessory Buildings/Structures

Secondary Dwelling Unit and Accessory Building/Structure Comparison Summary

		Secondary Dwelling Unit		Detached Accessory Buildings/ Structures	
		Existing	Proposed	Existing	Proposed
Definition		16.04.295 Dwelling unit, secondary. A “secondary dwelling unit” means a dwelling unit on a residential lot which provides complete independent living facilities for one or more persons, and shall include permanent provisions for living, sleeping, eating, cooking and sanitation independent of the main dwelling existing on the residential lot.	Revisit application of provisions for cooking.	16.04.110 Building and/or structure, accessory. "Accessory building and/or structure" means a subordinate building and/or structure, the use of which is incidental to that of the main building or buildings on the same lot or building site; but not including any building used for living or sleeping quarters.	Revisit application of living or sleeping quarters.
Minimum Lot Area		6,000 sf	5, 750 sf	N/A	N/A
Minimum Lot Width/Depth		N/A	N/A	N/A	N/A
Minimum Yard	Front	20 ft.	No Change	Varies, must be on rear half of the lot, except for R-4-S	No Change
	Rear	20 ft. (attached); 10 ft. (detached); 5 ft. (detached, with contiguous property owner approval)	Maintain setbacks for new secondary dwelling unit, but provide the flexibility for a reduced setback for an existing structure that was permitted as an accessory building/structure and constructed prior to spring 2014 (effective date of ordinance amendment)	3 ft. (5 ft. from an alley)	3 ft. (for a garage, shed or other non-habitable space); 5 ft. (from all alley for garage, shed or other non-habitable space) 10 ft. (for the portion of a building containing habitable space); may be reduced to 5 ft. with contiguous neighbor approval

Secondary Dwelling Unit and Accessory Building/Structure Comparison Summary

		Secondary Dwelling Unit		Detached Accessory Buildings/ Structures	
		Existing	Proposed	Existing	Proposed
	Side, Interior	Dependent on zoning district (attached and detached); 5 ft. (detached, with contiguous property owner approval; in the R-1-U (LM) district, it can be reduced to 3 ft.)	Maintain setbacks for new secondary dwelling unit, but provide the flexibility for a reduced setback for an existing structure that was permitted as an accessory building/structure and constructed prior to spring 2014 (effective date of ordinance amendment)	3 ft. (5 ft. from an alley)	3 ft. (for a garage, shed or other non-habitable space); 5 ft. (from all alley for garage, shed or other non-habitable space) 10 ft. (for the portion of a building containing habitable space); may be reduced to 5 ft. with contiguous neighbor approval
	Side, Corner	12 or 15 ft., depending on zoning district (attached and detached)	No Change	Varies; cannot project beyond required setback on adjacent lot	No Change
Distance Between Buildings		N/A	N/A	10 ft. from any dwelling on the existing or adjacent lot	No change
Garage/Carport Entrances		20 ft., when fronting any lot line	20 ft., when fronting any lot line	N/A	20 ft., when fronting any lot line
Height		9 ft. (wall), unless when located in a flood zone the wall height can increase proportionally to the minimum needed to meet the flood zone requirements; 17 ft. (overall height)	No change, except add clarifying language to address a variety of architectural/roof designs, which may lead to portions of a wall to be taller than 9 ft. in height	9 ft. (wall); 14 ft. (overall height)	No change, except add clarifying language to address a variety of architectural/roof designs, which may lead to portions of a wall to be taller than 9 ft. in height
Density		1 unit	No Change	N/A	N/A

Secondary Dwelling Unit and Accessory Building/Structure Comparison Summary

	Secondary Dwelling Unit		Detached Accessory Buildings/ Structures	
	Existing	Proposed	Existing	Proposed
Unit Size	640 sf; limited to studio or one-bedroom and one bathroom	No change to unit size, except allow conversions of an accessory building/structure in excess of 640 square feet that was permitted as an accessory building and constructed prior to spring 2014 (effective date of ordinance amendment) to a secondary dwelling unit, without a use permit	25% of gross square footage of the main building or 700 sq. ft., whichever is greater; may be increased through approval of use permit	Square footage allowance to remain except add language to limit the number of plumbing fixtures to two (e.g. sink, toilet, shower)
Parking	1 covered or uncovered space where the space may be provided in the following configurations: 1) in tandem, meaning one car directly behind another car; 2) within the required interior side yards; 3) within the required front yard if paving does not exceed 500 sq. ft. and a minimum 18-inch side setback is maintained	No change, except clarify that tandem may include a driveway leading to a two-car garage; Required parking needs to be met for both the main and secondary dwelling units	N/A	N/A

Secondary Dwelling Unit and Accessory Building/Structure Comparison Summary

	Secondary Dwelling Unit		Detached Accessory Buildings/ Structures	
	Existing	Proposed	Existing	Proposed
Consistency	Must comply with all applicable development regulations for the single-family zoning district and building code requirements	No Change	N/A	N/A
Aesthetics	Colors, materials, textures and architecture similar to the main dwelling	No Change	N/A	N/A
Tenancy	Property owner shall occupy main or secondary dwelling unit	No Change	N/A	N/A



MEMORANDUM

DATE: February 10, 2014

TO: Planning Commission

FROM: Deanna Chow, Senior Planner
Community Development Department

RE: **Agenda Item G1: Information Item Providing Update on the R-4-S Zoning District Compliance Review and Application of State Density Bonus Law for the Anton Menlo Development at 3639 Haven Avenue**

This item is an information item only. No action or discussion is required by the Planning Commission. The proposed changes discussed in this memo are intended to be approved by the Community Development Director as part of a revised R-4-S compliance review and State Density Bonus determination for a project at 3639 Haven Avenue.

BACKGROUND

On October 7, 2013, the Planning commission conducted a study session as part of the R-4-S (High Density Residential, Special) compliance review process for a 393-unit, multi-family residential development located at 3605-3639 Haven Avenue (herein referenced as 3639 Haven Avenue). The full staff report and minutes are included as links at the bottom of this report. The purpose of the study session was to review the architectural design of the proposed residential development relative to the development regulations and design standards of the R-4-S zoning district, and provide an opportunity for the Commission and members of the public to provide feedback on the proposal's compliance with the R-4-S regulations and the application of State Density Bonus Law. In addition to the affordable units resulting from the application of State Density Bonus Law, the project also accommodates Facebook's Below Market Rate (BMR) obligation to provide 15 affordable residential units established as part of the City's approval of the Facebook West Campus. These units did not count towards any calculation for applying State Density Bonus Law. The Planning Commission's review was advisory only, but was taken into consideration as part of the Community Development Director's determination of compliance with the R-4-S development regulations and design standards.

On November 20, 2013, the Community Development Director issued a letter regarding the State Density Bonus determination and R-4-S compliance review for 3639 Haven Avenue. The City determined that the proposed residential development was in compliance with the R-4-S district requirements, subject to conditions of approval. In addition, the City deemed that the requested incentives and waivers meet the thresholds of State Density Bonus Law and were necessary to make the 38 affordable units (low income) economically feasible and to make the construction of the project physically possible. The building permits for the project are currently under review.

PROPOSED REVISIONS

After further consideration of the financial feasibility of the project, St. Anton has reevaluated the number of affordable units and the affordability level that the project could bear. On January 15, 2014, St. Anton requested a modification to the application of State Density Bonus Law for the proposed project. The purpose of State Density Bonus is to encourage the development of affordable residential units in exchange for a density beyond what would be allowed under applicable zoning as well as to provide incentives and/or waivers of development standards to make the housing development feasible. The following table compares the approved and proposed development.

	Approved Project		Revised Proposal	
Total Number of Dwelling Units	393 units		394 units	
Total Number of Market Rate Units	340 units		357	
Total Number of Affordable Units	Application of State Density Bonus Law	38	Application of State Density Bonus Law	22
	City BMR Obligation	15	City BMR Obligation	15
Affordability Level	Application of State Density Bonus Law	Low Income	Application of State Density Bonus Law	Very Low Income
	City BMR Obligation	Low Income	City BMR Obligation	Low Income
Incentives and Waivers	Incentives	1	Incentives	1
	Waivers	5	Waivers	5

The proposed request includes a reduction in the number of affordable units from 38 to 22, and also a change in the targeted income category from low-income to very low-income. Given the selected affordability level and the percentage of very low income units in the proposal, the applicant is entitled to a 25 percent density bonus per State Density Bonus Law (Government Code Section 65915). This proposal results in a greater density bonus than what was previously permitted (23 percent), and would now allow a maximum of 399 units. The applicant proposes to utilize the increased density bonus and construct 394 dwelling units instead of 393 per the maximum previously permitted.

Although the proposal includes changes to the affordability component of the project and the total number of units, the proposed physical development would substantially remain the same as what the Planning Commission reviewed on October 7 because the plans, at that time, included a development of 394 units (a condition of approval would have reduced the total number to 393 units). Staff would note that minor adjustments may be required to account for engineering or building code requirements, but the overall look and feel of the project would remain. The approved and proposed project includes the use of one incentive and five waivers per State Density Bonus. Because the proposed density bonus is greater than what was previously permitted and the project remains essentially the same, staff believes that the proposed project would continue to meet the thresholds of the density bonus equivalent and other basis used to support the incentives and waivers. Although the total number of affordable units would be reduced, the City would benefit by fulfilling a portion of its requirement to provide very low-income housing units. These units are difficult to achieve, particularly in combination with market rate units. A revised Affordable Housing Agreement is being prepared to reflect the proposed modifications.

ATTACHMENTS

- A. Staff Report from the October 7, 2013 Planning Commission Meeting.
- B. Excerpt Minutes from the October 7, 2013 Planning Commission Meeting.
- C. Compliance Review and State Density Bonus Determination Letter, dated November 20, 2013



PLANNING COMMISSION STAFF REPORT

FOR THE PLANNING COMMISSION
MEETING OF OCTOBER 7, 2013
AGENDA ITEM E1

LOCATION:	3605-3639 Haven Avenue	APPLICANT AND OWNER:	Anton Menlo, LLC
EXISTING USE:	Warehousing, Light Industrial, Vacant		
PROPOSED USE	Multi-Family Residential Apartment Complex with Associated Resident-Serving On-Site Amenities	APPLICATION:	Study Session for Compliance with the R-4-S Design Standards and Guidelines
ZONING:	R-4-S (AHO) – High Density Residential, Special (Affordable Housing Overlay)		

PROPOSAL

The applicant is requesting a study session as part of the R-4-S compliance review process for a 393 unit, multi-family residential development located at 3605-3639 Haven Avenue. The purpose of the study session is to review the architectural design of the proposed residential development relative to the design standards and design guidelines of the R-4-S (High Density Residential, Special) zoning district. The proposal includes application of State Density Bonus Law, which provides a density bonus for providing on-site affordable units and allows modifications to development standards and/or architectural requirements.

The study session will provide the Planning Commission and members of the public an opportunity to provide feedback on the proposal's compliance with the R-4-S design standards, which are mandatory (unless a modification is requested) as well as the design guidelines, which serve to encourage features and principles of good design, but are more qualitative in nature and are not mandatory. The Planning Commission's review is advisory only and will be taken into consideration as part of the Community Development Director's determination of whether the proposal is in compliance with the R-4-S development regulations and design standards.

Following the study session, the applicant and staff will take into consideration the comments provided by the Planning Commission and members of the public, and the plans may be adjusted to address comments. Unless there are substantial changes to the architectural design of the building, the plans would not return to the Planning Commission for additional review. The determination of the Community Development Director is final and not subject to appeal.

BACKGROUND

On May 21, 2013, the City Council adopted the Housing Element of the City's General Plan for the planning period between 2007-2014. To implement the Housing Element and create housing opportunities for all income levels, the City Council also adopted a new residential zoning district called R-4-S (High Density Residential – Special), a new overlay zoning district called Affordable Housing Overlay (AHO) and an ordinance implementing State Density Bonus Law. In addition, the Council rezoned four sites with the new R-4-S zoning designation, with three of the sites having the AHO district. The subject property of this staff report is located within one of the R-4-S (AHO) zoned areas.

The R-4-S zoning district includes development regulations as well as design standards specific to the zoning district. Multiple family dwelling units are permitted uses and not subject to discretionary review if all of the development regulations and design standards are met. Instead, the project is reviewed for compliance and a determination is made by the Community Development Director or his/her designee. As indicated previously, the purpose of the October 7 study session is to provide the Planning Commission and members of the public a forum to provide input prior to the compliance determination.

ANALYSIS

Site Location

The subject site is 9.69 acres and located on parcels previously addressed 3605-3639 Haven Avenue. On September 10, 2013, the former six parcels were merged into one legal lot. The applicant wishes to address the site 3639 Haven Avenue. The site is a portion of a larger 15.5-acre area rezoned R-4-S (AHO) on Haven Avenue.

Haven Avenue begins at the intersection of Bayfront Expressway and Marsh Road, near the entrance to Bedwell Bayfront Park and connects to East Bayshore Road in Redwood City. The subject site is comprised of light industrial and warehousing type uses, as well as vacant land that has been used for outside storage. The uses reflect the greater area, which has historically been occupied by both office and industrial uses. The predominant zoning designation is M-2 (General Industrial). The subject site is surrounded by industrial uses to the west (zoned M-2), the Atherton Channel and salt flats to the north, industrial uses to the east (zoned R-4-S) and various industrial and commercial uses, including the Porsche dealership, located south across Haven Avenue. The parcels on the south side of Haven Avenue are located with the City of Redwood City.

Project Description

The proposed project is comprised of a 393 unit, multi-family residential development, consisting of studio, one-, two-, and three-bedroom apartments, approximately 11,000 square feet of resident amenity space and management offices, and a variety of common open spaces, including a rooftop terrace, pool and spa, dog park, and entertainment courtyard with an outdoor kitchen and dining. Below is a summary of the mix of unit types and the range of square footages.

Plan Summary		
	No. of Units	Square Footage Range
Studio	35	563 sf
One Bedroom	208	659-878 sf
Two Bedroom	138	935-1,243 sf
Three Bedroom	12	1,549 sf

As part of the project, the applicant is proposing to apply the City's local State Density Bonus ordinance (Chapter 16.97 of the Zoning Ordinance) in order to receive a density bonus and modifications to the existing regulations and standards in exchange for the creation of 38 affordable, on-site units dedicated for low income households. Low-income is defined as 80 percent of area median income. In San Mateo County, the 2013 median income for a four person family is \$103,000 and therefore, a low income household of four persons earns \$82,400 per year.

Recently, St. Anton, Facebook, and the City entered into agreements whereby the proposed project would accommodate Facebook's Below Market Rate (BMR) obligation to provide 15 affordable residential established as part of the City's approval of the Facebook West Campus. These 15 units would not count towards any calculation for applying State Density Bonus law, and would be in addition to the applicant's proposed 38 affordable units. The table below summarizes the number of affordable and market rate units.

	No. of Units
Market Rate	
At. Anton	340
Affordable Units	
St. Anton	38
Facebook BMR Units	15
TOTAL	393

Although the proposal is requesting modifications to the regulations and standards through the use of State Density Bonus law, the granting of a density bonus or incentive(s) shall not be interpreted in and of itself to require a general plan amendment, zoning change or other discretionary approval. Therefore, the proposed project is still not subject to a discretionary review process. A summary of the application of State Density Bonus law

and the requested incentive and waivers is provided in the State Density Bonus section below for reference.

Site Layout and Design

Proposed Structures

The development includes three buildings (A, B, and C on the plans) containing the residential units and one ancillary pool building for equipment, storage and restrooms. Two of the buildings are situated along the Haven Avenue frontage and flank the main pedestrian and vehicular entrance into the project site while the third building is located at the rear of the site. Two of the buildings (B and C) are configured with double-loaded, four story wood framing while Building A is considered a four story wood frame building wrapped around a three level concrete parking structure. All of the buildings share the same contemporary architectural influence and exterior materials, such as stucco, wood like siding, metal railing balconies, and simulated divided light windows.

Building A contains the resident amenities space, which could include a concierge center, coffee shop, business office, "Grab and Go", sports lounge, bike shop, pet spa and gym facilities. The storefronts are centered on the entry courtyard. The amenities are available to residents and their guests only. Members of the general public could be permitted to use the amenities through approval of a use permit for ancillary neighborhood serving uses as part of a mixed-use development by the Planning Commission at a future point in time.

Parking and Site Circulation

The project layout contains three vehicular access points from Haven Avenue. The main access point is located generally in the center of the project site. A secondary access point is located along the eastern edge of the property boundary, and is an access easement shared with the adjacent properties located at 3641 and 3645 Haven Avenue. Finally, the site provides a third access point at the western edge of the property, but this driveway is gated and would be used only for emergency vehicle access.

The R-4-S zoning district has established required parking based on the number of bedroom units. The project contains 691 parking spaces where 647 are required (a surplus of 44 spaces), and includes a mix of structured parking, individual tuck-under garages, covered parking as well as uncovered parking spaces throughout the site. The proposed project will also meet the requirements for electric vehicle parking and residential and guest bicycle parking, specific to the R-4-S zoning district.

Open Space and Outdoor Common Areas

The proposed project consists of a well-developed landscape plan that incorporates a generous planting palette, including approximately 400 new trees. The trees would serve as screening along the property perimeter as well as be situated within the parking lot, along the Haven Avenue frontage and internal pathways as well as within common open space areas.

The landscaping plan also includes a variety of outdoor amenities areas spread throughout the site which provides both convenient and central access from each of the buildings. The proposed project meets both the landscaping requirement as well as common open space requirements without any modifications to the development regulations and design standards.

Compliance Review

Attachment B provides a detailed set of plans, but minor clean up of some items for internal consistency is still needed. Based on staff's initial review of the plans, much of the project complies with the R-4-S requirements. Attachment D contains a checklist of all of the R-4-S development regulations and design standards and summarizes the project's compliance with each requirement. However, the applicant is requesting modifications to six of the requirements

Application of State Density Bonus Ordinance

The applicant is requesting the use of the City's State Density Bonus ordinance to construct its proposed 393 unit, multi-family residential development. The City of Menlo Park's adopted local State Density Bonus ordinance is predominantly based on California State Density Bonus Law (Government Code 65915). The purpose of State Density Bonus Law is to encourage the development of affordable residential units in exchange for a density beyond what would be allowed under applicable zoning as well as to provide incentives and/or waivers of development standards to make the housing development feasible. Per Section 16.97.040 of the Zoning Ordinance, the application of the State Density Bonus shall be processed in conjunction with the underlying application. Therefore, the granting of a density bonus, incentive(s) and/or waiver(s) pursuant to State Density Bonus Law is subject to a determination by the Community Development Director and is final.

The R-4-S (High Density Residential, Special) district has a maximum density of 30 dwelling units per acre. Per the City's State Density Bonus ordinance, a project may be eligible for a 10 percent increase in the base density if at least 50 percent of the required parking is located within a parking structure. The project provides 52.8 percent of the required parking spaces within a parking structure, which allows the base density to increase to 33 du/ac or 319 units on the 9.69 acre site. The applicant proposes to include 38 units at the low income level, which is 12 percent of the total number of units. Given the selected affordability level and the proposed percentage of low-income units in the project, the applicant is entitled to a 23 percent density bonus per State Density Bonus Law (Section 65915 (f)). The resulting number of dwelling units is 393 or approximately 40 du/ac.

In addition, the proposed project shall be granted one incentive because at least 10 percent of the total number of units would be dedicated for low income households. An incentive can include a reduction in site development standards, a modification of zoning code requirements or architectural requirements, or waiver of a fee that results in

identifiable, financially sufficient and actual cost reductions. Under State Density Bonus Law, the project is also entitled to waivers, which are modifications to development standards to make the project with the increased density physically possible. To be entitled to a requested waiver, the applicant must show that without the waiver, the project would be physically impossible to construct. There is no limit on the number of waivers an applicant may request.

Density Bonus Equivalent

The City's Below Market Rate (BMR) Housing ordinance (Chapter 16.96 of the Zoning Ordinance) permits an applicant to increase the floor area ratio by an amount that corresponds to the increase in allowable density. To accommodate the increase in density and floor area ratio, the applicant may request exceptions from all development regulations (e.g., setbacks, building coverage). Staff's historical interpretation of this provision is that it is generally reasonable for an applicant to request exceptions in accordance with the percentage density bonus granted. For example, if an applicant is receiving a 15 percent density bonus, it is reasonable for the applicant to request an equivalent exception, such as a 15 percent reduction in the setback or an increase of 15 percent in the building coverage. Therefore, staff's position is that it is reasonable to apply the same logic to waivers of development regulations, such as setback and height under the City's State Density Bonus ordinance. Similar logic may not be as easily applied to design standards, but staff recognizes that a waiver or waivers of design standards, such as façade modulation, may be necessary to either physically construct or make a development possible. Generally, a request above the density bonus equivalent would be considered a request for an incentive. However, as described below in this report, staff believes that there are instances where a waiver above the density bonus equivalent is necessary or the proposed project would be physically precluded.

Requested Incentives and Waivers

The applicant is requesting one incentive and five waivers. For reference, the table below summarizes the base requirement per the R-4-S zoning district, the density bonus equivalent for each development regulation and design standard the applicant is seeking an incentive or waiver from, and the proposed requirement for each of those items. In addition, each requested incentive or waiver is described in further detail in its respective section below. The highlighted items reflect those regulations or standards where the proposal is greater than the density bonus equivalent. For an incentive, the density bonus equivalent is not directly applicable.

Development Regulation/Standard		Base Requirement	Structured Parking Adjustment	Density Bonus Adjustment	Project
		R-4-S	10% Bonus	23% Bonus	
Front Setback		10	9	6.9 or 6'10"	2' 5"
Floor Area Ratio		90%	99.0%	121.8%	118%
Building Coverage		40%	44.0%	54.1%	45.20%
Building Height		40	44	54.1 or 54'1"	57' 9"
Building Profile		25 ft.	27.5	33.8 or 33' 9"	Varies*; 44'6"-51'7"
Façade Modulations					
	Minor	35 ft.	38.5	47.3 or 47'4"	38'3"
	Major	75 ft.	82.5	101.4 or 101'4"	87' 10"
	Major – Height	4 ft.	N/A	N/A	1'10"
*Requested incentive					

Building Profile (Incentive)

The applicant is requesting the elimination of the building profile requirements as the incentive. Starting at a height of 25 feet, a 45-degree building profile shall be set at the minimum setback line contiguous with a public right-of-way or single-family zoned property. In this case, the building profile would be applicable to the Haven Avenue frontage. The height of the building along Haven Avenue ranges from 44 feet, six inches to 51 feet, seven inches. The applicant asserts that adherence to the development regulation would result in a loss of 28 units from the building. Relocating the units to one of the other two buildings would create the addition of a fifth floor, which would require a change in construction type. This would result in more than a 20 percent increase in the project cost and make the project financially infeasible for the applicant. Even with the application of a density bonus equivalent, which results in a building profile height of 33 feet, 10 inches, 14 units would need to be relocated. Without the incentive to eliminate the building profile, the total number of dwelling units could not be maximized, rendering the financial viability of the project to be infeasible. Accordingly, this qualifies as an incentive under the definition in the City's ordinance and State Law.

Height (Waiver)

The maximum building height in the R-4-S zoning district is 40 feet. With the density bonus adjustment, the maximum height could be 57 feet, one inch. As measured to the

top of parapets and stair towers, the maximum height would be as tall as 68 feet, one inch. However, with respect to these design elements, the R-4-S design standards (16.23.070 (4)(a) and (4)(b)) provide an additional allowance of 4 feet and 14 feet above the maximum building height, respectively, for such elements. Because the design standards allow for the higher heights for these elements, the proposed heights of these design elements are within the allowable range and the applicant is not seeking a waiver from these design standards.

The applicant is, however, seeking a waiver to increase the maximum building height to 57 feet, nine inches to accommodate three residential units above the fitness center in Building A. Building A includes residential living units, project amenity areas, and management offices. The plate height of the amenity component is 19 feet, nine inches, which is typical of commercial design. The subsequent two residential floors above the amenity space have been designed to align with the overall Building A's third and fourth floors. The applicant has indicated that the floors throughout the building need to align for compliance with ADA accessibility requirements and, therefore, the non-compliant section of the building cannot be lowered. To bring the building height within the density bonus waiver (a reduction from 57 feet, nine inches to 54 feet, one inch) as calculated in the table above, the three units located on the top floor would need to be relocated.

Although the additional height request is minimal with respect to the overall project, staff believes that the waiver above the density bonus equivalent is not necessary to physically construct the proposed project and the applicant has not provided sufficient justification that the project is physically impossible to construct without the additional three feet, eight inches for three units. Staff believes that the three units could be relocated elsewhere on the project site without compromising the existing site plan or design. One possible solution would be to convert a small portion of the proposed approximate 13,000 square feet of amenity space or one or more of the 38 tuck-under garage spaces into the residential units. Both the amenity areas and tuck under garages are integrated into the current design of the building, which could minimize changes to landscaping, open space or building coverage. Given that the interior amenity space has been designed with higher ceiling heights, this would be equivalent to two stacked residential units. It is not staff's intent to design the project for the applicant, but in thinking through options, staff believes that there are feasible ways for the maximum height to comply with the density bonus equivalent height and construct the maximum number of units.

Staff is seeking the Planning Commission's guidance on whether the height waiver above the density bonus equivalent is appropriately termed a waiver, in this case, or it is an incentive because the waiver above the density bonus equivalent is not required to physically construct the project.

Façade Modulation (waiver)

Sections 16.23.070 (2)(a1), 2(a2), and 2(a3) of the R-4-S zoning district establishes façade modulation and treatment for building facades facing public rights-of-way or public open spaces. The proposed building facades facing Haven Avenue are subject to this requirement. The applicant is requesting a waiver to exceed the maximum lengths established before a minor and major façade modulations are required. The required

modulations would be 35 feet and 75 feet for a minor and major modulation, respectively, and 47 feet, four inches and 101 feet, four inches, respectively, as modified for the additional density. In addition, a major modulation should be accompanied by a four foot height modulation and a major change in color, building material and/or fenestration pattern. In this case, the applicant is requesting a waiver for modulations based on the density equivalent increase for the façade modulation.

The proposed building façade of Buildings A and B along Haven Avenue comply with the density bonus equivalent standards. Sheet A6.0 of the plans demonstrates how the proposed facades meet the adjusted requirement. The applicant states that a waiver is required to build functional unit interiors with ADA compliant features. The applicant states that the proposed variation allows the project to physically provide the units while still developing a unique and varying frontage. Although the modulation is spaced further apart, where modulation is provided, the proposed project often exceeds the minimum width requirement. With respect to height modulations, the proposed building provides height variation of approximately two feet between various elements, but they do not necessarily correspond with the major modulations. However, given the overall articulation and use of varying materials on the buildings, staff believes that the intent of the design standards are being met with the requested waiver, and without the modifications, the functionality of the interior layout of the project is compromised.

Setbacks (Waiver)

The required front setback in the R-4-S zoning district is 10 feet. The density bonus equivalent setback is six feet, 11 inches. The applicant is requesting a waiver to decrease the front setback below the density bonus equivalent. At the closest point to the property line along Haven Avenue, the setback would be two feet, eight inches, but this would be limited to one or two patios at grade and balconies on subsequent floors above. The design standard (16.23.070 (1)(a2) permits a five foot encroachment into the setback area for projections such as balconies or bay windows at or above the second floor. Using the density bonus equivalent setback of six feet, 11 inches, all projections at or above the second floor would adhere to this requirement. Although the proposed project does not meet the calculated density bonus equivalent setback, there are specific physical constraints on the site that make the project physically impossible without the requested waiver. The project site is encumbered by a 40 foot PG&E easement for a transmission tower and power lines, which bisects the property. In addition, the Haven Avenue property line is at a slight angle, which requires a setback greater than 10 feet to orient the two buildings on a straight line. The applicant has explored shifting the buildings, but this would reduce the number of units, eliminate an accessible path of travel or render the site's secondary ingress/egress infeasible. As a result of these physical constraints on the property, staff believes the requested waiver is appropriate based on the overall project design and that without the waiver, other components of the project would be impacted that would make the project infeasible.

Floor Area Ratio (Waiver)

The floor area ratio (FAR) for a development proposed at the maximum density of 30 du/ac is 90 percent. The applicant is proposing to utilize the density bonuses established in State Density Bonus law, which would increase the number of dwelling units from 290 to 393. The density bonus equivalent FAR would be 121.8 percent. It is rational to assume that the creation of additional dwellings would likely require an increase in square footage to accommodate units of a similar size without impacting the size or amenities associated with the original set of units. The proposed project, including the amenity spaces, would have a FAR of approximately 118 percent. This request is below the calculated density bonus equivalent to accommodate the increased density and therefore, the requested waiver is needed to physically accommodate the increased density resulting from the inclusion of low income units.

Building Coverage (Waiver)

Like FAR, the building coverage percentage is a function of the number of units. It is rational to assume that the creation of additional dwellings would likely require an increase in the building coverage allowance, assuming other development regulations also remain proportionate. The R-4-S zoning district has a maximum building coverage of 40 percent and an allowance of 54.1 percent with the density bonus equivalent applied. The applicant is proposing a building coverage of approximately 45.2 percent. Because the coverage is below the calculated density bonus equivalent, this is a waiver that is necessary to accommodate the density bonus units.

Reasons to Deny a Waiver

The City has generally interpreted that a development regulation modified in accordance with the density bonus equivalent shall be granted as a waiver. If the waiver is within the calculated density bonus equivalent, per Government Code Section 65915, the City shall grant the requested development waiver by the applicant, unless it can find that the waiver would have either of the following:

1. The waiver would have a specific adverse impact, as defined in Government Code Section 65589.5(d)(2), upon public health and safety or the physical environment or on any real property listed in the California Register of Historical Places.
2. The waiver would be contrary to federal or state law. (65915(d)(1))

If, however, the requested waiver is above the density bonus equivalent and the applicant has not provided evidence to indicate the waiver is necessary for the project to be physically possible to construct, the waiver can be denied. For example, with respect to the setback, the waiver is above the calculated minimum setback, but physical constraints (easement and property shape) require further modification to make the project physically possible to construct. However, with respect to the height, the requested waiver is greater than the calculated density bonus equivalent and without other evidence does not appear

to be necessary to physically construct the project. As a result, the waiver could be denied. As the increased height may be more appropriately termed an incentive, the applicant could seek a second incentive through a discretionary process or reduce the maximum height (not including parapets and stair towers) to 54 feet, 1inch.

Because the applicant desires to move forward with requesting the height increase as a waiver, staff is requesting that the Planning Commission provide guidance on whether the requested waiver above the density bonus equivalent height of 54 feet, one inch is necessary for the physical construction of the project

Correspondence

Staff has not received any correspondence regarding the proposed project.

Planning Commission Review

The purpose of the study session is to receive input on the proposal's compliance relative to the R-4-S design standards and guidelines.

The Commission may wish to discuss the following topics:

- The proposed architectural design and exterior materials of the building.
- The appropriateness of the proposed site layout and building orientation.
- Any additional items that the Planning Commission believes do not meet either the development regulation or design standard.
- Any additional information that the Planning Commission would like the applicant to consider as part of their proposal.

The Commission may also wish to comment on the following:

- The design aspects with respect to the requested incentive to eliminate the building profile.
- The design aspects with respect to the requested waivers for height, façade and height modulations, setbacks, floor area ratio and building coverage.

At the meeting, no formal action will be taken by the Planning Commission. The Planning Commission's review is advisory only and will be taken into consideration as part of the Community Development Director's compliance determination.

ENVIRONMENTAL REVIEW

The proposed project was analyzed in the Housing Element Update, General Plan Consistency Update, and Zoning Ordinance Amendments Environmental Assessment, certified by the City Council on May 21, 2013. Because the compliance review process is a non-discretionary process, ministerial items are exempt from the requirements of the Environmental Quality Act (CEQA).

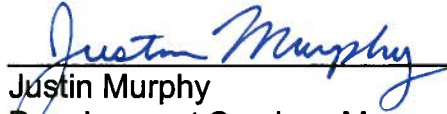
RECOMMENDED MEETING PROCEDURE

Staff recommends that the meeting be conducted as follows:

1. Project Presentation by Applicant
2. Commission Questions on Project Proposal
3. Public Comment on Project Proposal
4. Commission Comments on Project Proposal



Deanna Chow
Senior Planner
Report Author



Justin Murphy
Development Services Manager

PUBLIC NOTICE

Public notification consisted of publishing a courtesy notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property. No action will be taken at the meeting. The Community Development Director shall make the determination on the Compliance Review and application of State Density Bonus Law, and the determination is final.

ATTACHMENTS

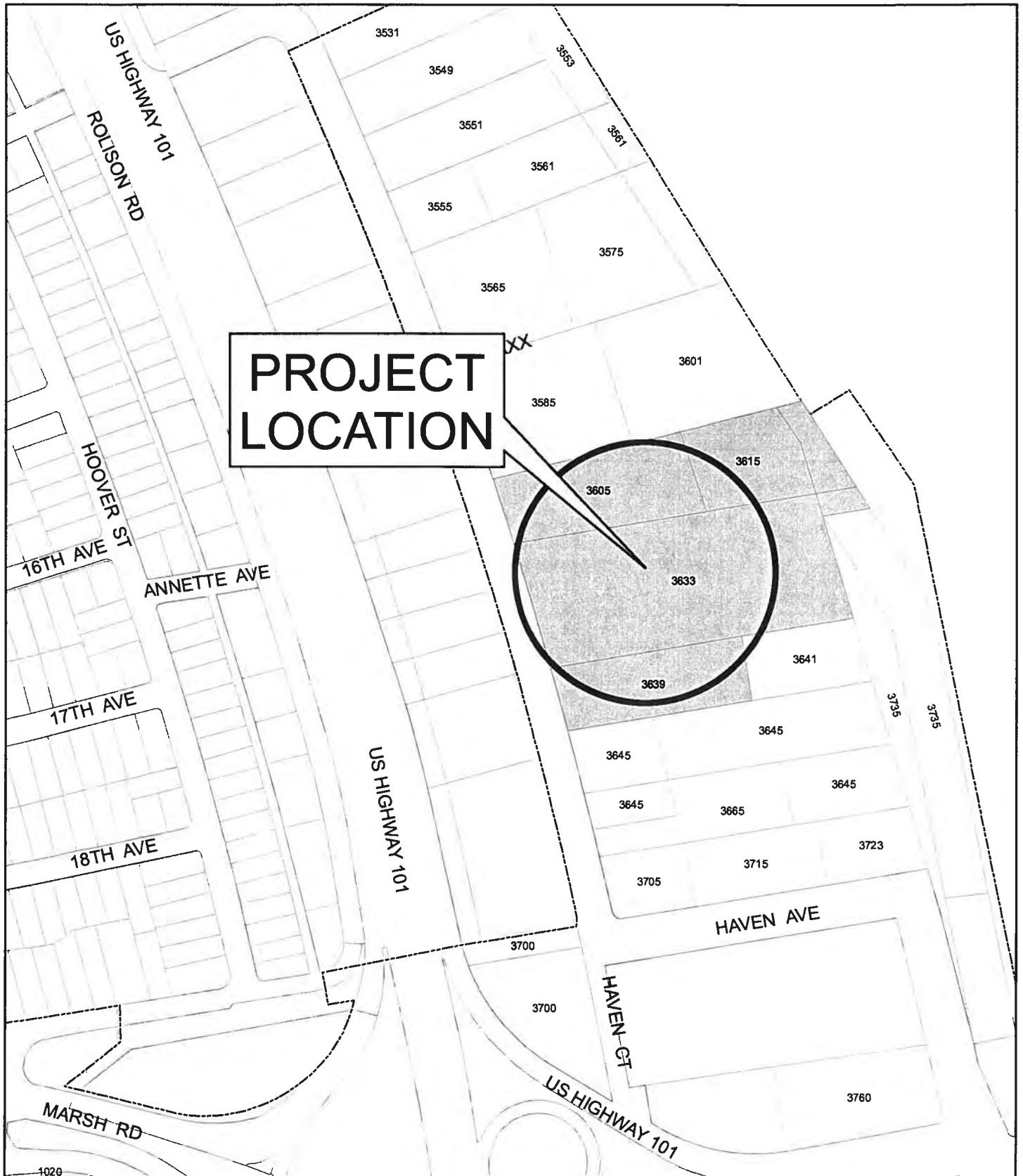
- A. Location Map
- B. Project Plans
- C. Project Renderings
- D. R-4-S Checklist

Note: Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

EXHIBITS TO BE PROVIDED AT MEETING

Colors and Materials Board

V:\STAFFRPT\PC\2013\100713 - 3639 Haven Avenue (St. Anton)_compliance review.doc



CITY OF MENLO PARK

LOCATION MAP

3605-3639 HAVEN AVE

DRAWN: KTP CHECKED: KTP DATE: 10/07/13 SCALE: 1" = 300' SHEET: 1





ANTON
MENLO PARK, CA

St. Anton
PARTNERS
St. Anton Partners
1801 I Street, Suite 200
Sacramento, California 95811
916.400.2072

COVER SHEET

MENLO PARK, CALIFORNIA
CSC # 2014078
10.12.2013

T1.0

KTGY Group, Inc.
Architecture-Planning
17822 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



BI

Sheet Index

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A1.1	Carport Exhibit	A4.7	Building Sections	A6.9b	Building Area Exhibit	A7.5	Renderings
A2.0	Elevations	A4.8	Building Sections	A6.10a	Building Area Exhibit	A7.6	Renderings
A2.1	Elevations	A5.0	Unit Plans	A6.10b	Building Area Exhibit	A7.7	Renderings
A2.2	Elevations	A5.1	Unit Plans	A6.11a	Building Area Exhibit	A8.0	Details
A2.3	Elevations	A5.2	Unit Plans	A6.11b	Building Area Exhibit	A8.1	Details
A2.4	Elevations	A5.3	Unit Plans	A6.12a	Building Area Exhibit	A8.2	Details
A3.0a	Building Plans	A5.4	Unit Plans	A6.12b	Building Area Exhibit	A8.3	Details
A3.0b	Building Plans	A5.6	Unit Plans	A6.13a	Building Area Exhibit	L1.0	Landscape Plan
A3.1a	Building Plans	A5.7	Unit Plans	A6.13b	Building Area Exhibit	L1.2	Landscape Open Space Exhibit
A3.1b	Building Plans	A5.8	Pool Building	A6.14a	Building Area Exhibit	L2.0	Wall and Fence Plan
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A3.6	Building Plans	A6.3b	Building Area Exhibit	A6.21	Unit Area Calculations	C-8	Fire Service Plan
A3.7	Building Plans	A6.3c	Building Area Exhibit	A6.22	Unit Area Calculations	C-9	Water Quality Plan
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A3.9	Building Plans	A6.4b	Building Area Exhibit	A6.24	Pool Bldg. Area Calculations	ES-2	Photometric Plan
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A3.13	Building Plans	A6.5c	Building Area Exhibit	A6.26a	Stucco Percentage Exhibit	JT-3	Joint Trench Intent
A3.14	Building Plans	A6.6a	Building Area Exhibit	A6.26b	Stucco Percentage Exhibit	JT-4	Joint Trench Intent
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A4.1	Building Sections	A6.6c	Building Area Exhibit	A6.27b	Stucco Percentage Exhibit	R-2	Removal Plan
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A4.4	Building Sections	A6.8a	Building Area Exhibit	A7.2	Renderings		



St. Anton Partners
1801 I Street, Suite 200
Sacramento, California 95811
916.400.2072



SHEET INDEX

MENLO PARK, CALIFORNIA
(REV. 01/11)

T1.1



KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

B2

Code Analysis: Anton Menlo

1. Use / occupancy classification:

Anton Menlo is primarily a multifamily residential use with amenity space and secondary a parking structure for automobiles associated with the residential use. Amenity spaces are located in several locations within the residential building. The residential building is classed as an R-2 occupancy, amenity space is classed as b occupancy and parking garage space is classed as s-2 occupancy.

2. Fire Sprinkler System:

All buildings are proposed to be fully sprinklered with automatic fire sprinklers meeting NFPA 13 standards per CBC section 903.3.1.1.

Automatic fire protection of the R-2 occupancy is required per CBC 903.2.8.

Fire sprinklers are provided to allow area modification per CBC 506.3 calculations

3. Construction type:

Residential building construction shall be of Type VA construction.

Parking structure construction shall be of Type IA construction.

Basic height and area limitations per occupancy and construction type per CBC table 503

R-2 /VA = 50 feet and 3 stories, 12,000 s.f. per story / 24,000 s.f. per building

B-VA = 50 feet and 3 stories, 12,000 s.f. per story / 24,000 s.f. per building

S-2 /IA = unlimited height, unlimited floor area per story / unlimited s.f. per building

4. Actual Heights And Areas

The project consists of a mixed use r2/b/s2 building of four stories in height. Heights are per CBC section 502.1 "height, building". For purposes of area justification, areas are measured to exterior face of framing of exterior walls including exterior areas within the horizontal projections of floors and roofs above (most conservative interpretation). The following is a list of the buildings, their total height and total areas:

Building type	height (feet)	height (stories)	area (s.f.)
R-2 / va	50'0"	4	239,458
S-2 / ia	50'0"	4	107,000
Total			346,458

The Type VA building (identified above exceeds the basic allowable height in feet and stories per CBC table 503. Height modifications per CBC 504 are utilized. The type VA building above exceeds the basic allowable area per CBC Table 503. Area modifications per CBC 506 area utilized. Area modifications are utilized, by providing firewalls to divide the building into three separate buildings per CBC 706. The areas of each separate building are justified by area calculations in accordance with CBC section 506.

The Type IA building utilized for parking is unlimited in area, stories and height which justifies its total size as one building.

The residential building is a mixed use with amenity B Occupancy areas within a multi-unit dwelling residential R-2 occupancy. Amenity space includes office, lounge, exercise, community room, equipment rooms, janitorial rooms, trash rooms, and roof deck patios, and restrooms. The mixed use buildings will be non-separated occupancies and separated per CBC sections 508.3 and 508.4 in each story. The building area shall be such that the sum of the ratios of the actual areas of each occupancy shall not exceed 2 (two) per CBC section 508.6.5.

Fire resistive rating requirements for building elements per CBC table 601

Type VA construction

Primary structural frame

1 hour

Exterior bearing wall

1 hour

Interior bearing wall

1 hour

Non bearing exterior walls and partitions 1 hour (non rated for walls with 30' or greater separation distance per CBC Table 602)

Non bearing interior walls and partitions Non-Rated

Floor construction

1 hour

Roof construction

1 hour

S. Location of the buildings on site

See site plan sheet A-1.

The project is located with all sides of each area adjacent to a street, public way or frontage with a minimum fire separation distance to any structure as required by CBC section 506.2 for area modification or section 705.8 and for unprotected opening allowances with exception of the S-2 parking structure which is embedded within the R-2 residential building. For buildings on the same lot CBC section 705.3 states that it shall be assumed that there is an imaginary line between buildings. Access and egress to and from the parking structure through openings in firewalls at the imaginary line are not limited by percentage of exterior wall area of either occupancy. CBC section 706.8 exception 2 allowing unrestricted opening size applies to this project because both buildings are protected by automatic fire sprinklers in accordance with CBC Section 903.3.1.1.

The code justification for openings between the two occupancies of differing construction is established as follows:

Section 503.1.2 Buildings on the same lot This section allows us to consider the parking garage and surrounding apartments as separate buildings

Chapter 6 - Fire Resistance ratings are as follows:

Table 601: Type IA bearing wall exterior - 3hr fire resistive

Table 601: Type VA bearing wall exterior - 1hr fire resistive

Table 602: less than 5' for both R and S-2 occupancies - 1hr fire resistive

Note The most restrictive requirement is 3hr which governs the opening protection requirement.

Section 702 Definition: Fire Separation Distance The distance measured from the building face to one of the following:

1. The closest interior lot line - (Not used)

2. To the centerline of a street, an alley or public way, or - (Not used)

3. To an imaginary line between two buildings on the property - This is the definition KTGy is using

Section 705.3 Buildings on the same lot shall be assumed to have an imaginary line between them

Section 705.5 Fire resistance rating of each wall shall be in accordance with Tables 601 and 602. (Established above)

Table 705.8 Provides maximum percentages allowable for opening size based on degree of opening protection in exterior walls based on fire separation distance. Table 705.8 for 0 to less than 3 feet superscript c. states For openings in a firewall for buildings on the same lot, see Section 706.8

Section 706.8 states Openings Each opening through a fire wall shall be protected in accordance with Section 715.4 and shall not exceed Exception 2 does not restrict size when automatic sprinklers in both buildings are installed throughout in accordance with 903.3.1.1 (NFPA 13)

Section 715.4 Sets the requirements for fire door and shutter assemblies and points to Table 715.4 for ratings of assemblies

Conclusion and design concept. Both buildings will be protected with an automatic sprinkler system in accordance with Section 903.3.1.1 The parking garage exterior wall will comply with Table 601 (3hr fire resistive) and Section 706 Fire Walls. All openings in the Fire Wall shall comply with Section 706.8, exception 2 and Table 715.4



St-Anton
P A R T N E R S
St. Anton Partners
1801 I Street, Suite 200
Sacramento, California 95811
916.400.2072

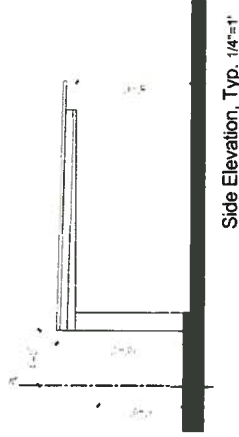
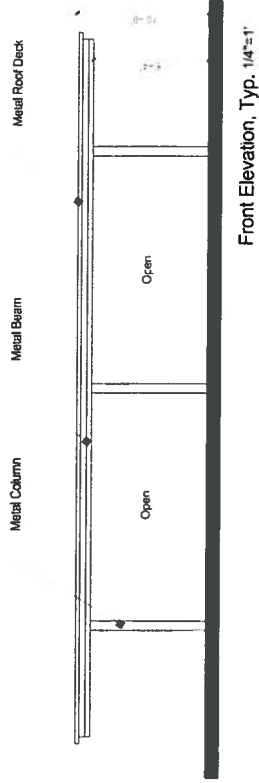
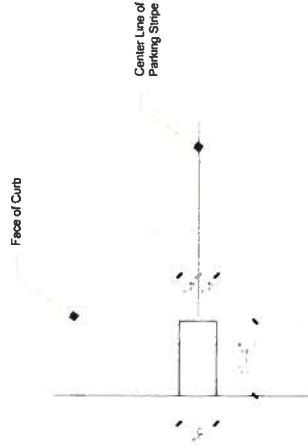
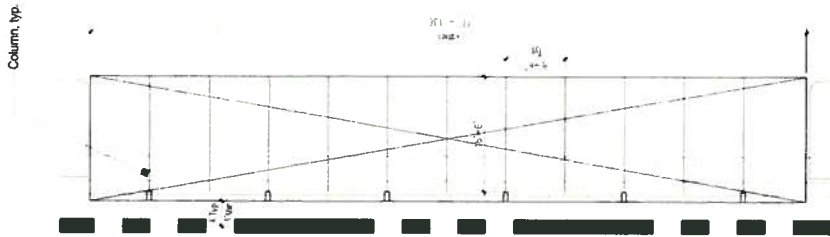
CODE ANALYSIS

HENLO PARK, CALIFORNIA
CIP # 2013019 (08/2019)

KTGY
KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

11.2

B3



Note- Metal Shall be Painted to match Dark Gray Accent Material on Building. Roof will be lighter color to comply with solar reflectance requirements.



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St. Anton
P A R T N E R S
St. Anton Partners
1801 I Street, Suite 200
Sacramento, California 95811
916.400.2072

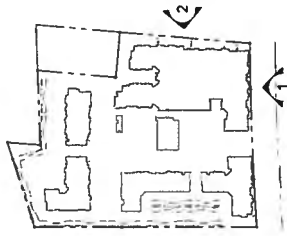
CARPORT EXHIBIT

MENLO PARK, CALIFORNIA
(REV. 03/2019)

KTGY
KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

AI.1

B5



Key Map n.t.s.

Material Legend

1. 20/30 Stucco
2. 30/30 Stucco
3. Wood-like Siding
4. Metal Railing
5. Vinyl Window
6. *note: 3" Window Sill, Typ
7. Metal Deck Edge
8. Wood Post
9. Metal Trim
10. Metal Storefront System
11. Metal Awning
12. Decorative Light Fixture
13. Metal Garage Door
14. Garage Entry Gate
15. Mechanical Screening- Metal

T.O. STAIR TOWER
T.O. PARAPET
TOR= 96.5
FF4= 42.75
FF3= 32.5
FF2= 22.25
FF1= 12.0
BFS= 10.0
ANG= 9.5

1. Front Elevation South



T.O. STAIR TOWER
T.O. PARAPET
TOR= 96.5
FF4= 42.75
FF3= 32.5
FF2= 22.25
FF1= 12.0
BFS= 10.0
ANG= 9.5

2. Right Elevation East



0 8 16 32
A2.0

BUILDING A ELEVATIONS

KTGY Group, Inc.
Architecture-Planning
17922 Fitch
Irvine, CA 92614
949 851 2133
ktgy.com

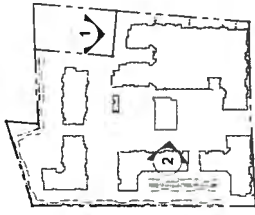
KTGY Group, Inc.
Architecture-Planning
17922 Fitch
Irvine, CA 92614
949 851 2133
ktgy.com

MENLO PARK CALIFORNIA
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MENLO PARK CALIFORNIA

St. Anton Partners
1801 I Street, Suite 200
Sacramento, California 95811
PARTNERS 916 400 2072

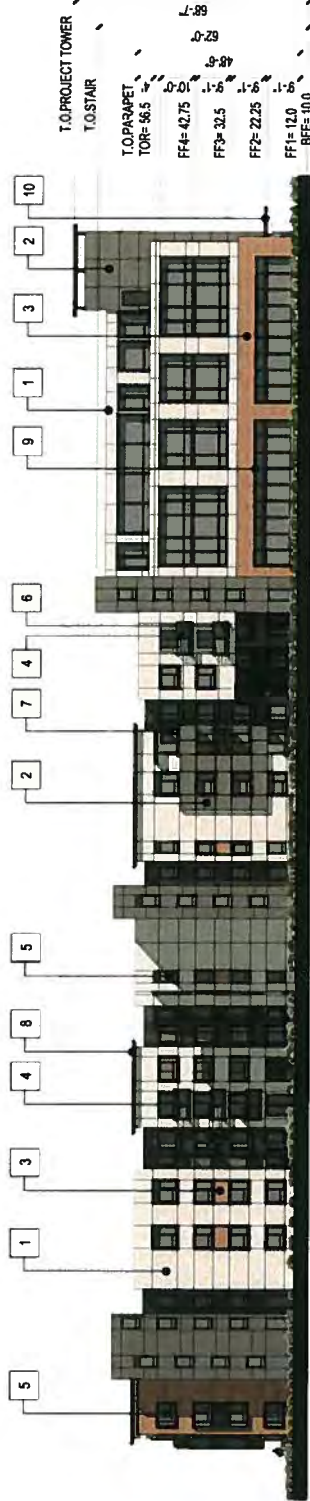
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1801 I Street, Suite 200
Sacramento, California 95811
916 400 2072



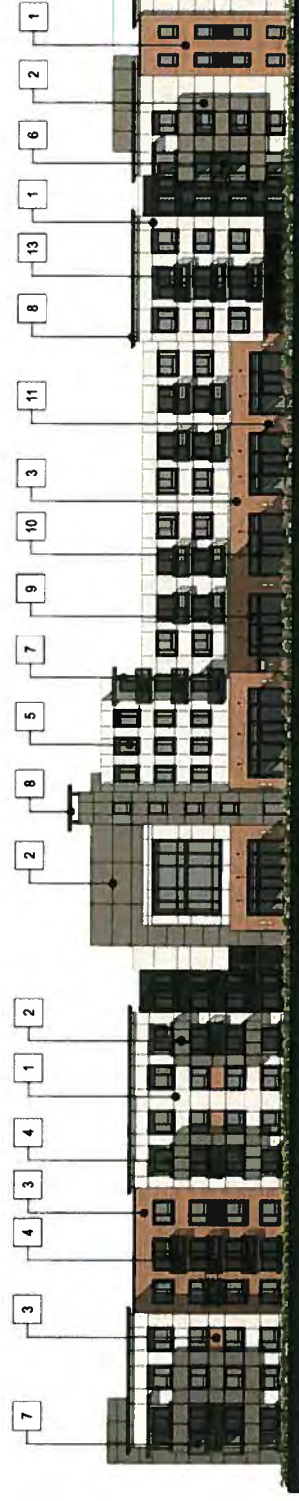
Key Map n.t.s.

Material Legend

1. 20/30 Stucco
2. 30/30 Stucco
3. Wood-like Siding
4. Metal Railing
5. Vinyl Window
6. "note: 3" Window Sill, Typ
7. Metal Deck Edge
8. Wood Post
9. Wood-like Trim
10. Metal Storefront System
11. Metal Awning
12. Decorative Light Fixture
13. Metal Garage Door
14. Mechanical Screening- Metal



1. Rear Elevation
North



2. Left Elevation
West

T.O. PROJECT TOWER
T.O. STAR
T.O. PARAPET
TOR= 56.5
FF4= 42.75
FF3= 32.5
FF2= 22.25
FF1= 12.0
BFE= 10.0
ANG= 9.5

T.O. STAR TOWER
T.O. PARAPET
TOR= 56.5
FF4= 42.75
FF3= 32.5
FF2= 22.25
FF1= 12.0
BFE= 10.0
ANG= 9.5

ANTON
MENTIONED BY

St. Anton
P A R T N E R S
St. Anton Partners
1801 I Street, Suite 200
Sacramento, California 95811
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BUILDING A ELEVATIONS

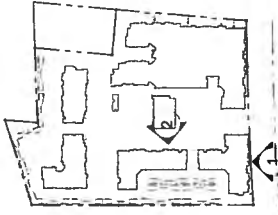
MENLO PARK, CALIFORNIA
(04.12.2013)

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0 8 16 32
A2.1

B7



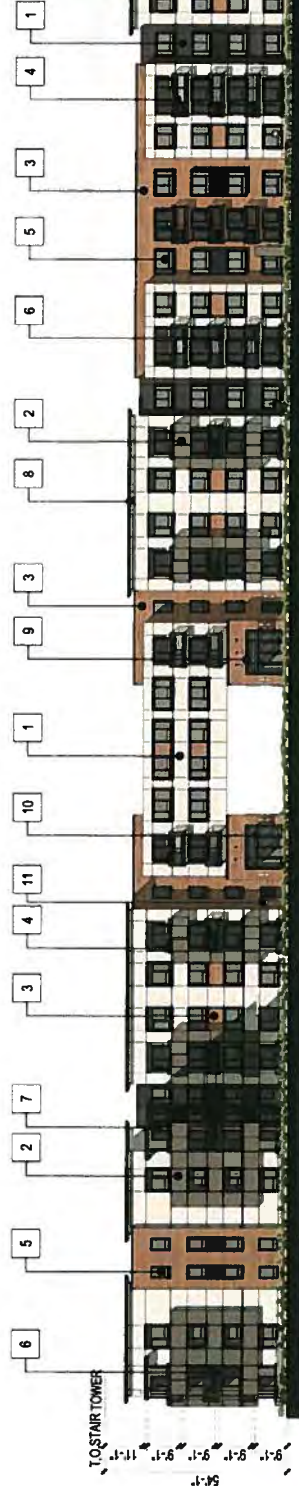
Key Map n.t.s.

Material Legend

1. 20/30 Stucco
2. 30/30 Stucco
3. Wood-like Siding
4. Metal Railing
5. Vinyl Window
6. *note: 3" Window Sill, Typ
7. Metal Deck Edge
8. Wood Post
9. Metal Trim
10. Metal Storefront System
11. Metal Awning
12. Decorative Light Fixture
13. Metal Garage Door
14. Garage Entry Gate
15. Mechanical Screening- Metal



1. Front Elevation
South



2. Right Elevation
East

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BUILDING B ELEVATIONS

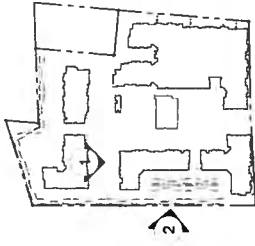
HEALO PARK, CALIFORNIA
(REV. 01/10/17)

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0 8 16 32
A2.2



B8



Key Map n.t.s.

Material Legend

1. 20/30 Stucco
2. 30/30 Stucco
3. Wood-like Siding
4. Metal Railing
5. Vinyl Window
6. Metal Deck Edge
7. Wood Post
8. Metal Trim
9. Metal Storefront System
10. Metal Awning
11. Decorative Light Fixture
12. Metal Garage Door
13. Garage Entry Gate
14. Mechanical Screening- Metal

*note: 3" Window Sill, Typ



1. Rear Elevation
North



2. Left Elevation
West

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BUILDING B ELEVATIONS

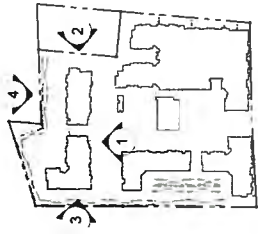
MENLO PARK, CALIFORNIA
(02 # 28.1217) (04.02.2011)

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0 6 12 18 24
A2.3

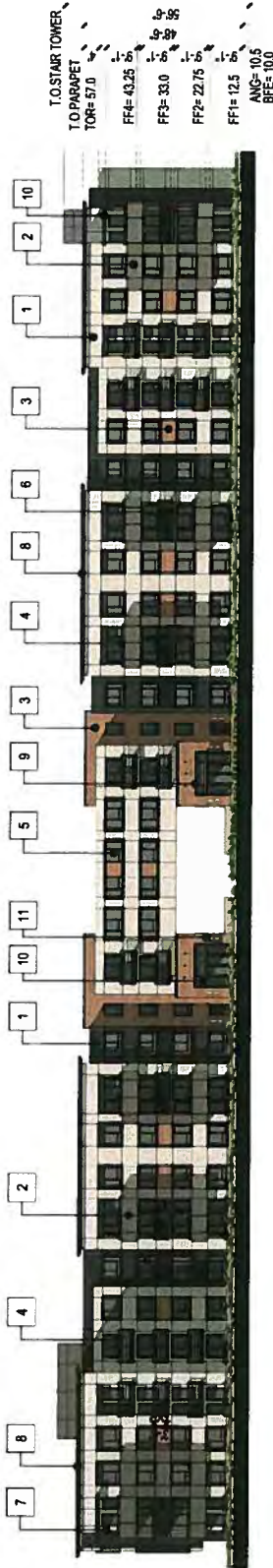
139



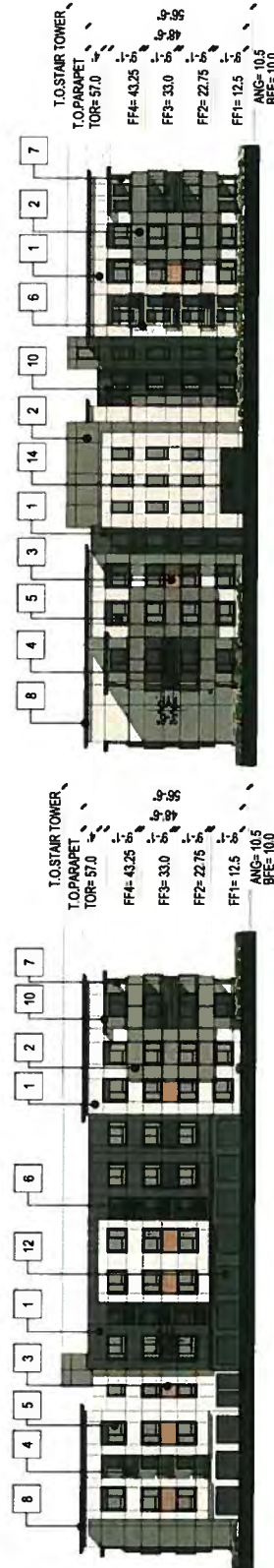
Key Map n.t.s.

Material Legend

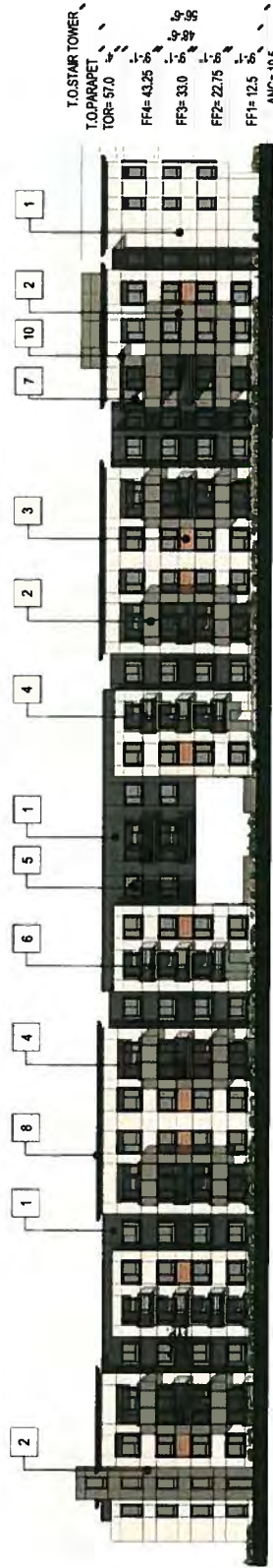
- 1 20/30 Stucco
- 2 30/30 Stucco
- 3 Wood-like Siding
- 4 Metal Railing
- 5 Vinyl Window
- 6 Metal Deck Edge
- 7 Wood Post
- 8 Metal Trim
- 9 Metal Storefront System
- 10 Metal Awning
- 11 Decorative Light Fixture
- 12 Metal Garage Door
- 13 Garage Entry Gate
- 14 Metal Trash Roll-up Door
- 15 Mechanical Screening-Metal



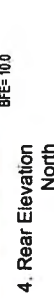
1. Front Elevation South



2. Right Elevation East



3. Left Elevation West



4. Rear Elevation North

A2.4

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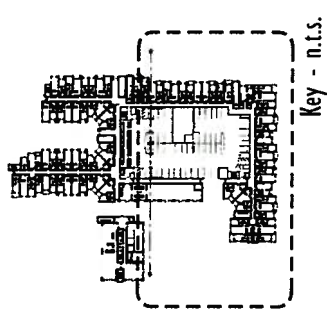
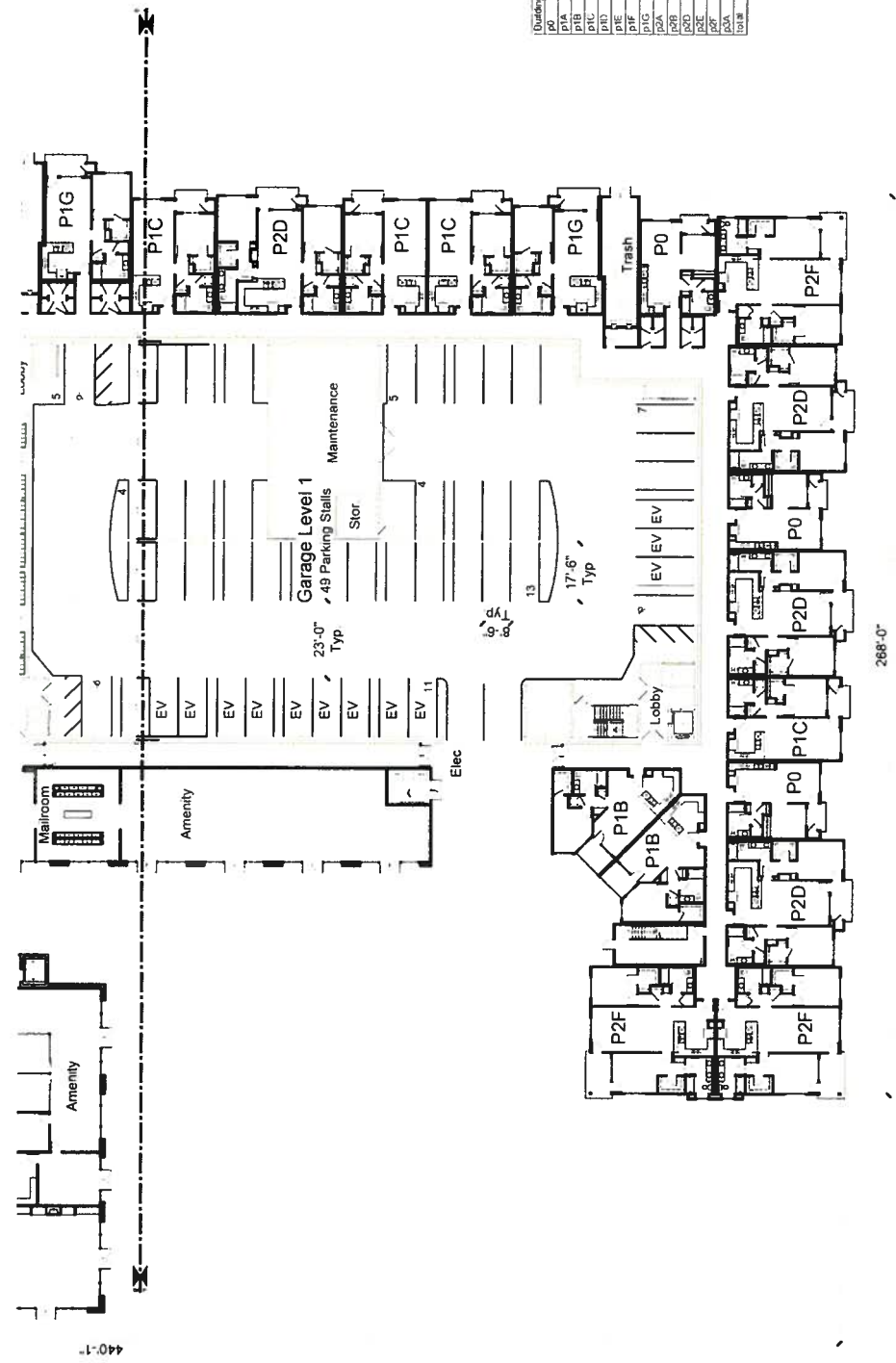
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002 # MH2019 (18.01.2019)

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B10



Building A	Units	Brig	Type	Net Area	Max Percent	Total Unit/Total Area
P0	31	1	563	16.0%	0	17.4%
P1A	0	1	659	0.0%	0	0
P1B	32	1	740	17.5%	32	23660
P1C	57	1	750	31.1%	57	43097
P1D	0	1	740	0.0%	0	0
P1E	0	1	840	0.0%	0	4860
P1F	0	1	669	0.0%	0	0
P1G	2	1	678	1.1%	2	1768
P2A	0	2	935	0.0%	0	0
P2B	6	2	900	3.3%	6	5940
P2C	30	2	1187	16.4%	30	35010
P2D	3	2	126	1.0%	3	3378
P2E	16	2	1243	8.7%	16	13888
P2F	3	3	1255	0.0%	3	15525
P0A	163	1	163	0.0%	163	15525



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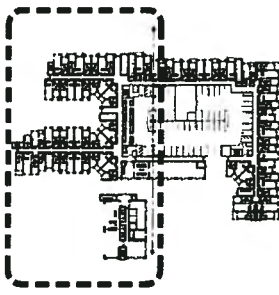
BUILDING A - LEVEL 1 FLOOR PLAN

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REV # 01.13.17 (10.01.2017)

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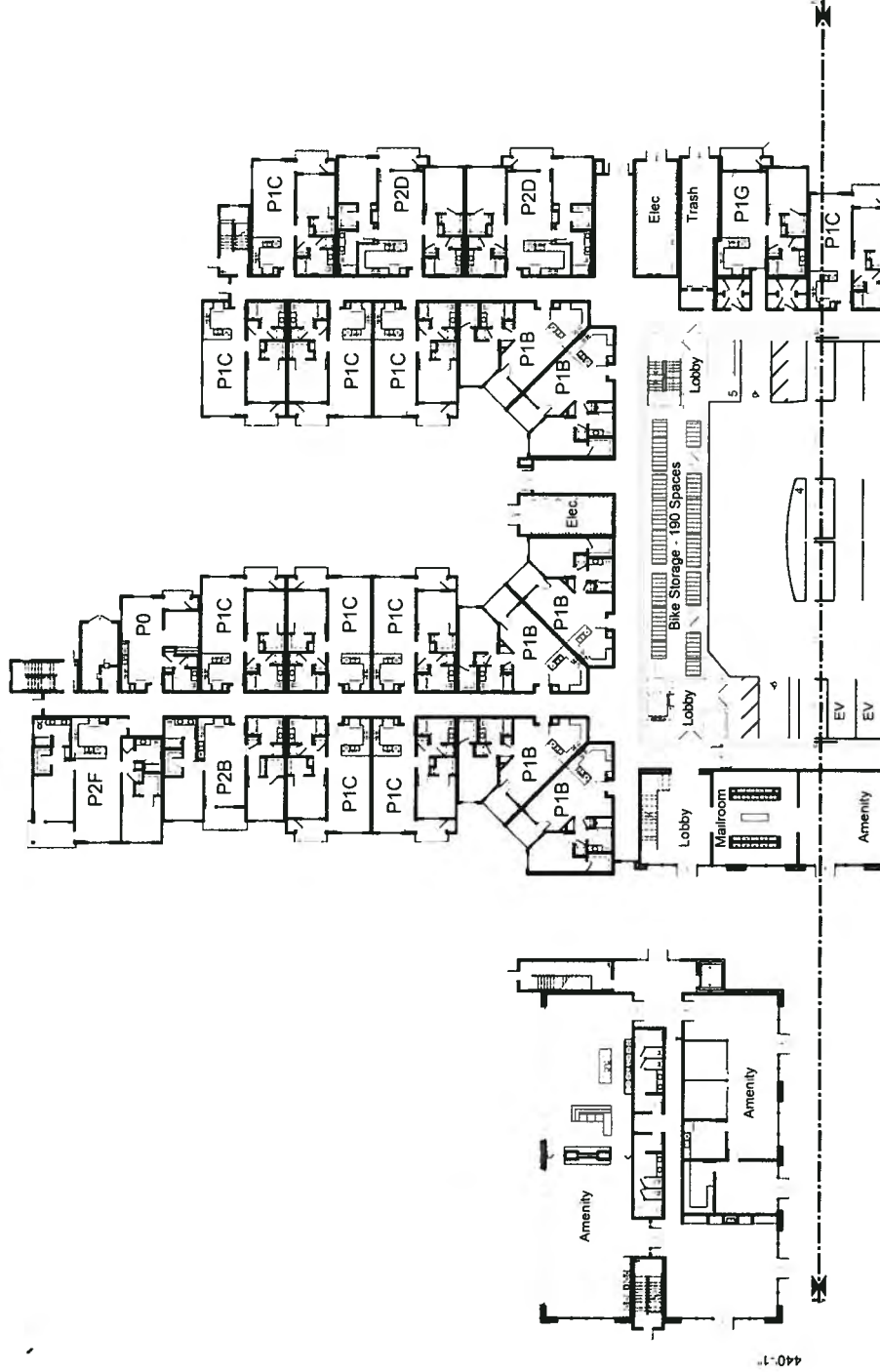
A3.0a





Key - n.t.s.

343'-11"



440'-1"



0 10 20

A3.0b



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BUILDING A - LEVEL 1 FLOOR PLAN

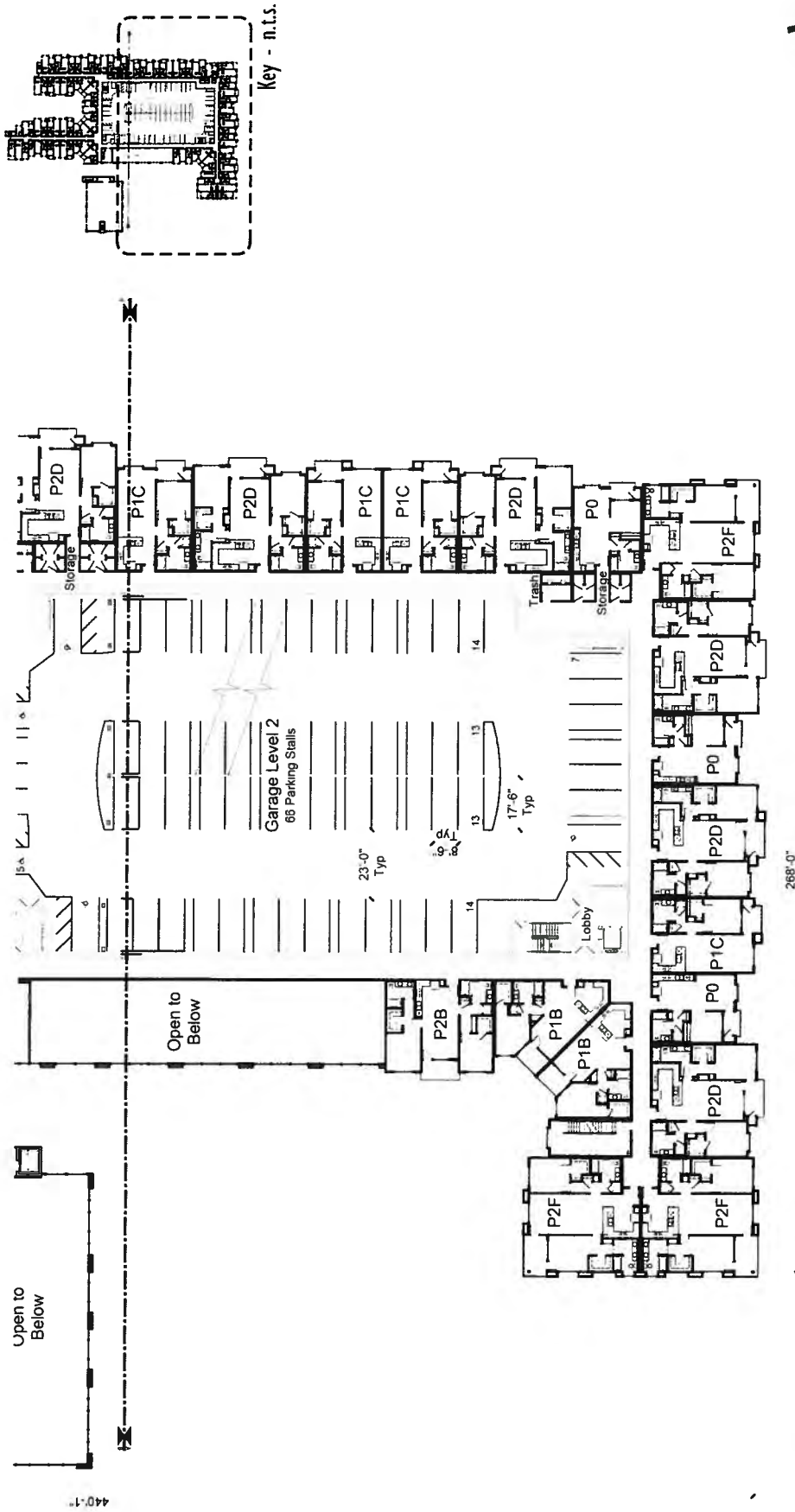
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B12



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BUILDING A - LEVEL 2 FLOOR PLAN

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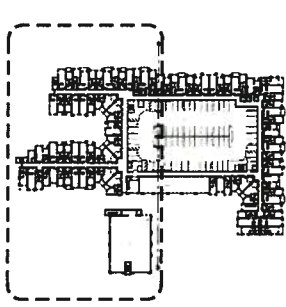
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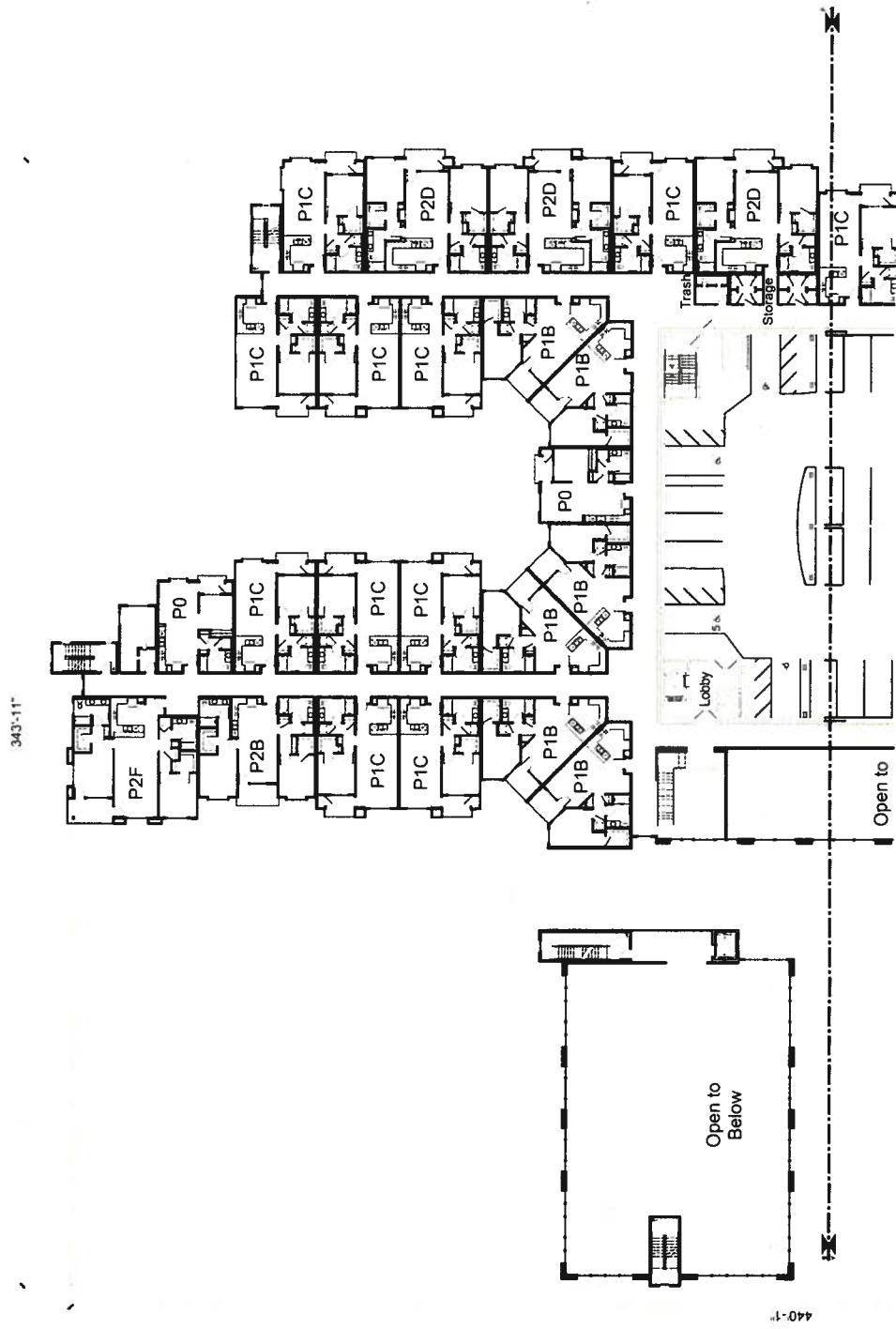
A3.1a



B13



Key - n.t.s.



0 10 20

A3.1b

BUILDING A - LEVEL 2 FLOOR PLAN

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B14



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BUILDING A - LEVEL 3 FLOOR PLAN

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 10.02.2011

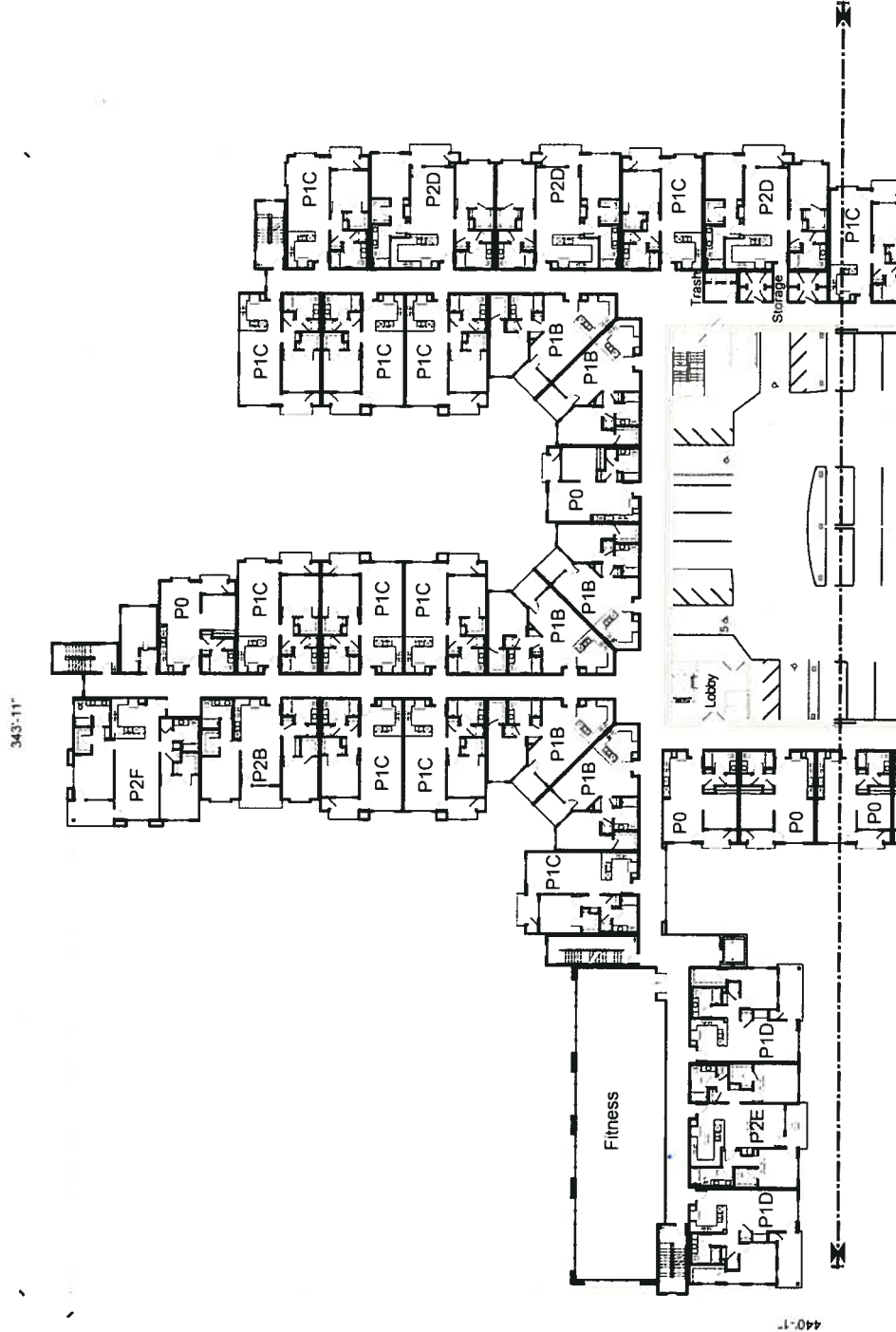
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B15

Key - n.t.s.



A3.2b



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BUILDING A - LEVEL 3 FLOOR PLAN

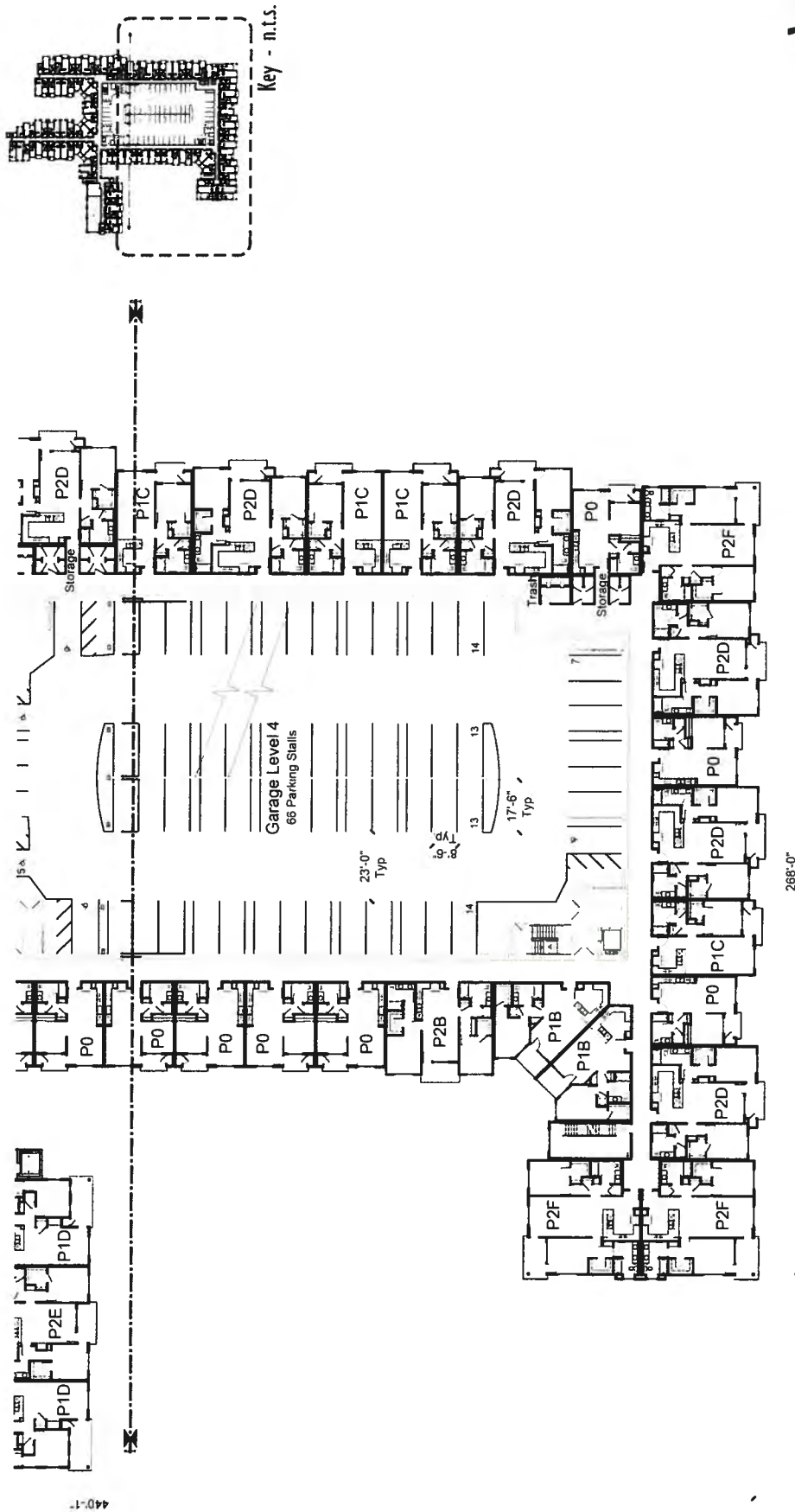
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CITY # 4017-4379

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LUXURY RENTAL

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B16



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BUILDING A - LEVEL 4 FLOOR PLAN

MENLO PARK, CALIFORNIA
REV. 10/11/11

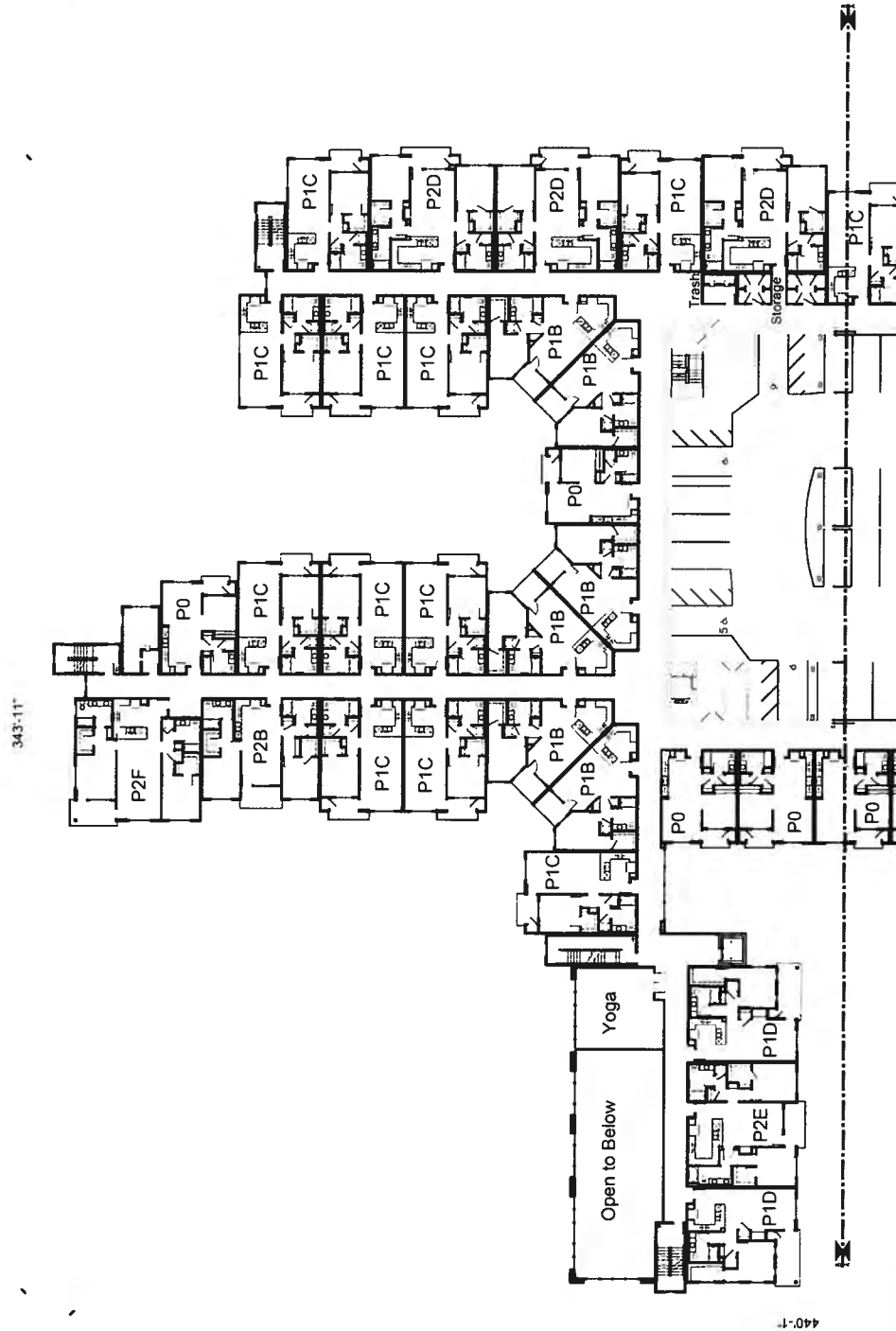
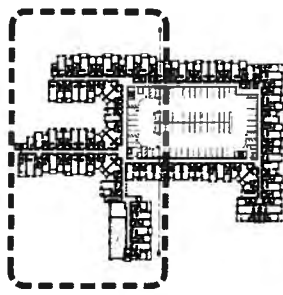
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A3.3a



B17



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BUILDING A - LEVEL 4 FLOOR PLAN

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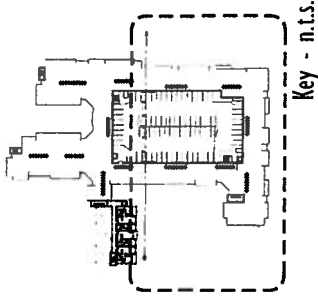
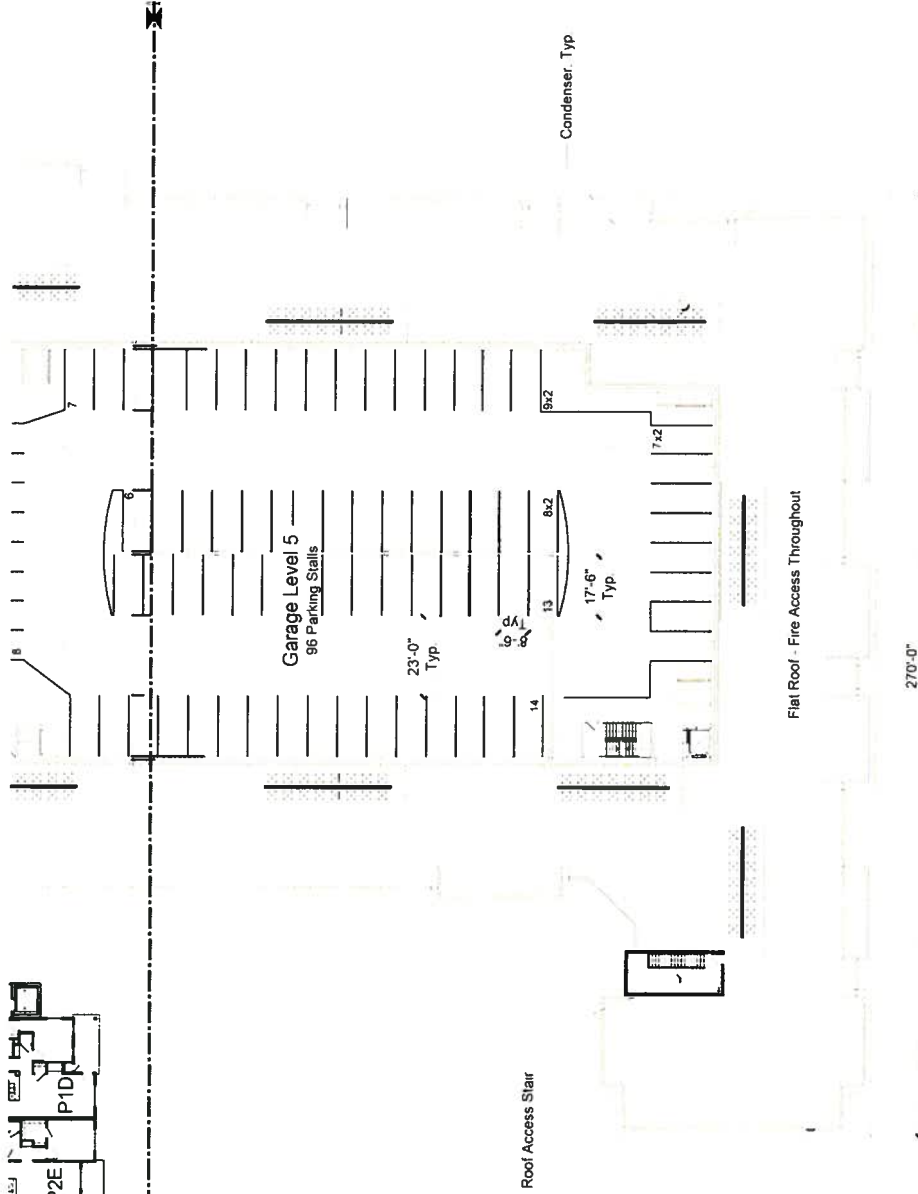
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B19



444-1"



Key - n.t.s.



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BUILDING A - LEVEL 5 FLOOR PLAN/ROOF PLAN

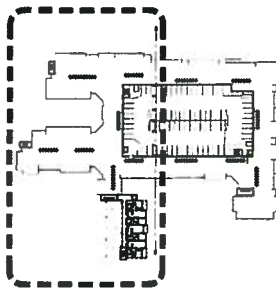
MENLO PARK CALIFORNIA
PG # 011/019 (18-01-201)

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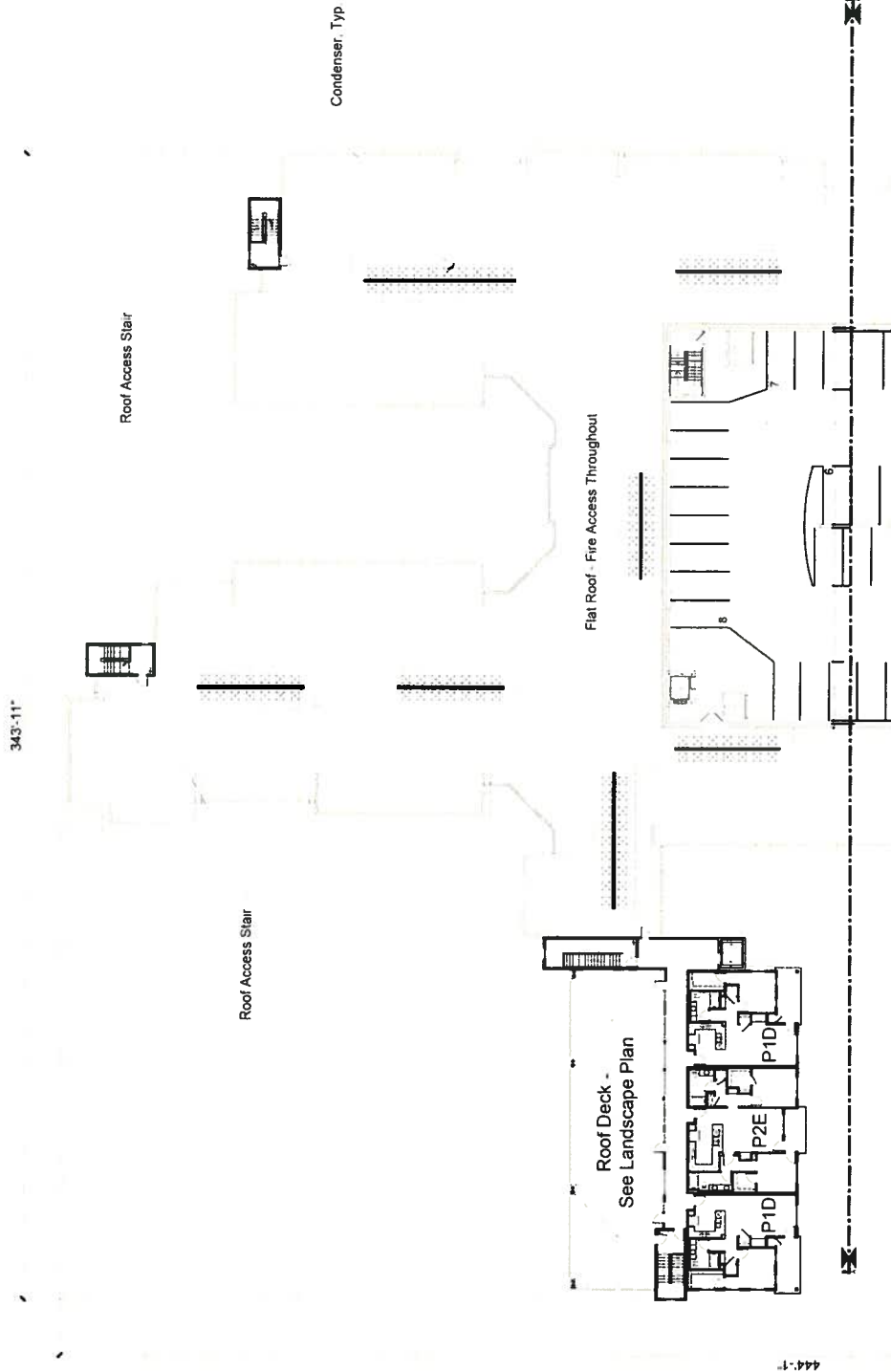


A3.4a

B19



Key - n.t.s.



Condenser, Typ



0 10 20

A3.4b

BUILDING A - LEVEL 5 FLOOR PLAN/ROOF PLAN



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B20

Trash

Guiding 0	oma/	dog/s	type	vet	ma	Percent	total	total
							area	area
000	1	2226						
001	1	659			15.5%			
01A	18	1	659		15.5%		18	
01B	20	1	740		16.5%		20	
01C	37	1	736		26.5%		37	
01D	0	1	810		0.0%	0		21
01E	4	1	846		3.3%	4		38
01F	0	1	689		0.0%	0		3
01G	1	1	689		0.0%	1		0
02A	11	2	635		0.0%	11		10
02B	4	2	690		3.3%	4		30
02D	16	2	1107		13.2%	16		167
02E	0	2	1126		0.0%	0		0
02F	12	4	1243		8.9%	12		141
03A	0	3	1549		0.0%	0		0



A3.5



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BUILDING B - FIRST FLOOR PLAN

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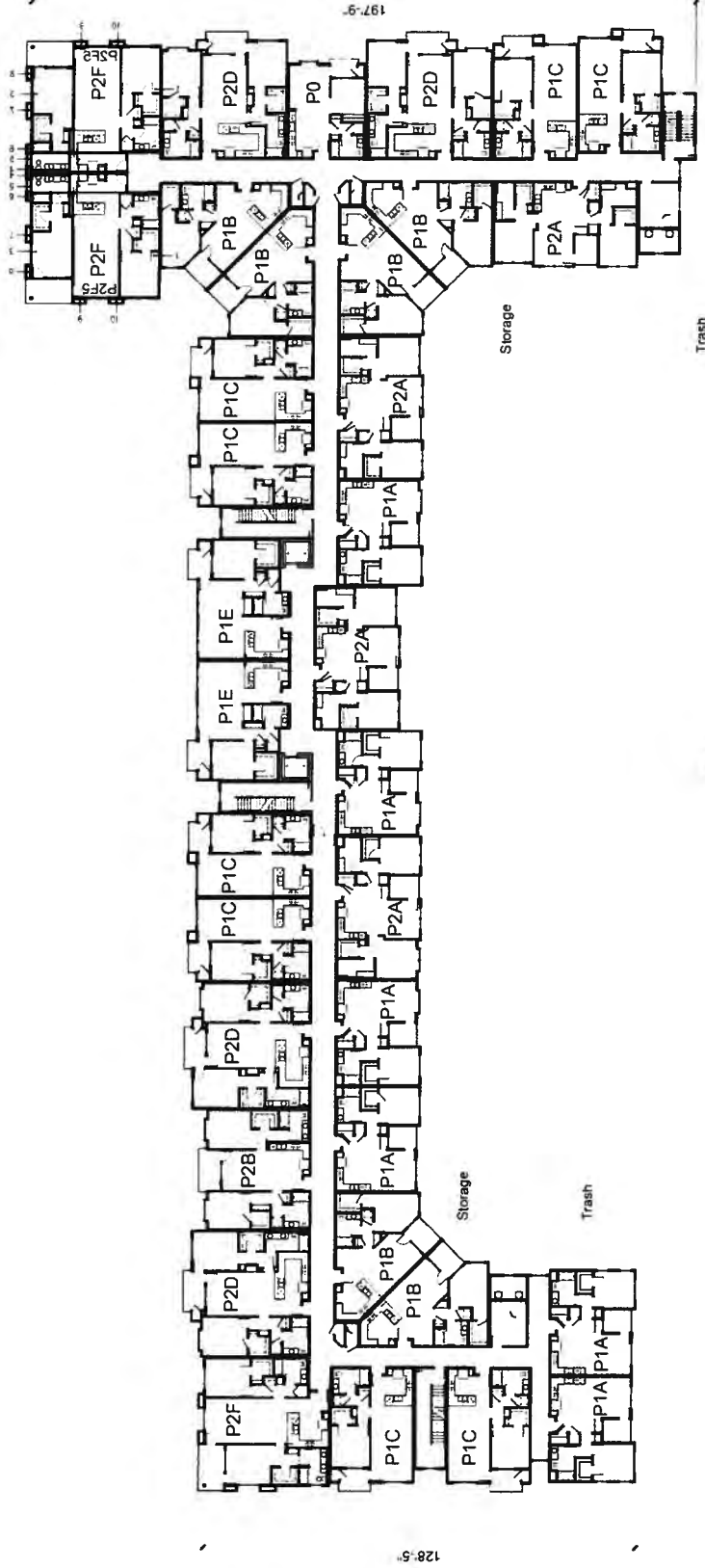
1127004

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B21





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BUILDING B - THIRD FLOOR PLAN

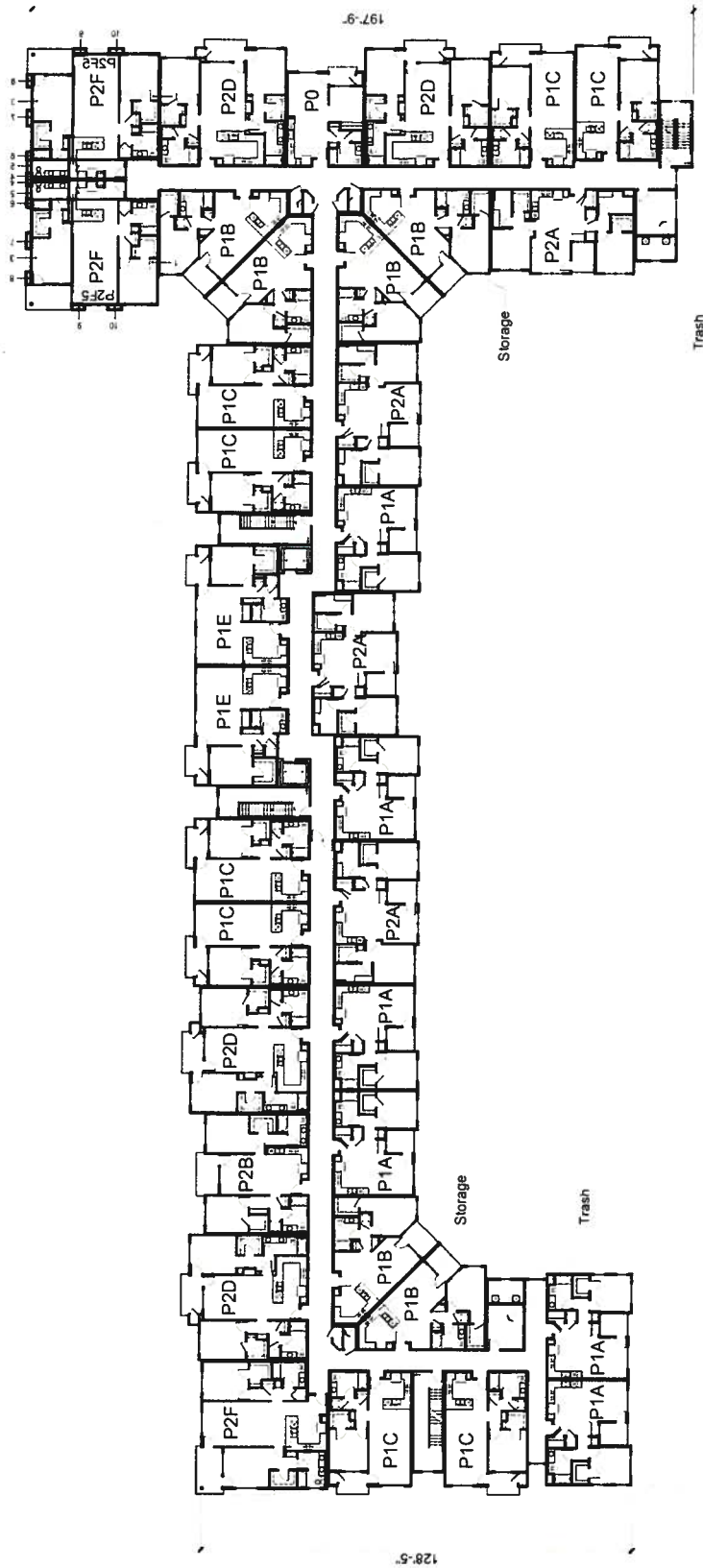
MENLO PARK, CALIFORNIA
CITY OF MENLO PARK

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A3.7

B23



0 8 16 24 32

A3.8



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BUILDING B - FOURTH FLOOR PLAN

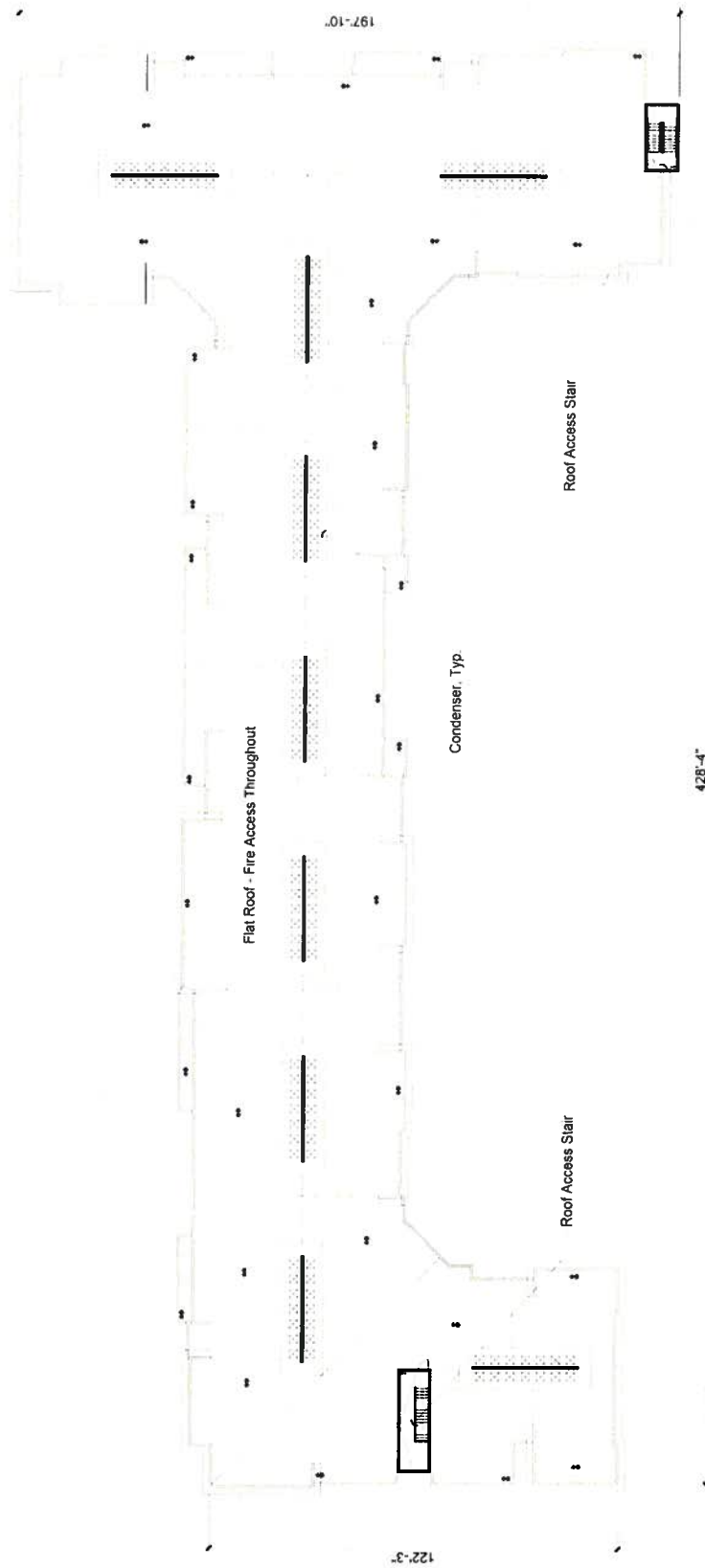
MENLO PARK, CALIFORNIA
DATE: 01/11/17



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B24



A3.9



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BUILDING B - ROOF PLAN

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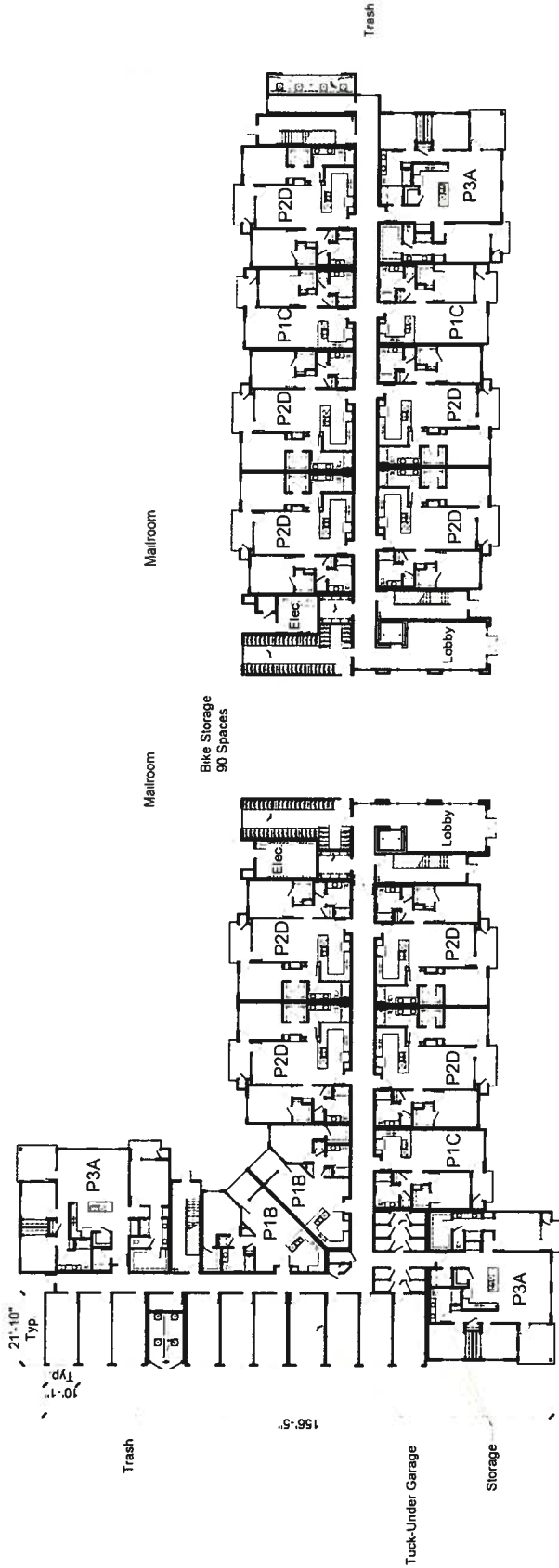


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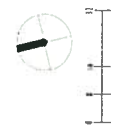


B25

399'-3"



Building C	Unit #	Unit Type	Net Area	Net Area Percent	Total Unit Area
P1A	0	1	563	0.0%	0
P1B	6	1	659	6.7%	6
P1C	18	1	740	9.0%	18
P1D	0	1	810	0.0%	0
P1E	0	1	810	0.0%	0
P1F	1	1	669	1.1%	1
P1G	0	1	878	0.0%	0
P1H	2	2	935	7.2%	2
P1I	0	2	996	0.0%	0
P1J	36	2	1187	40.4%	36
P1K	2	2	1176	2.2%	2
P1L	2	2	1176	0.0%	0
P1M	12	2	1548	13.5%	12
P1N	89	2	1548	11.1%	89
Total					82257



A3.10



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BUILDING C - FIRST FLOOR PLAN

MENLO PARK CALIFORNIA
REV # 01/11/19

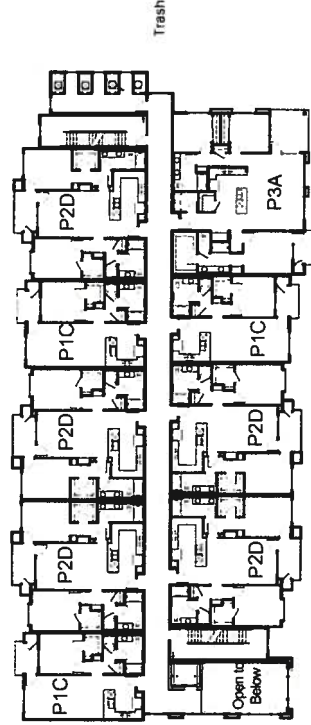
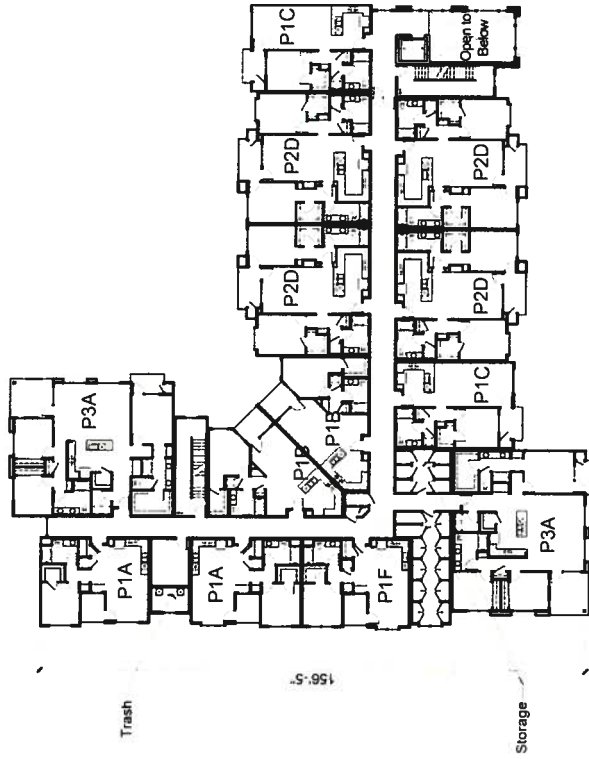


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B26

402'-3"



1" = 10'

A3.11



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BUILDING C - SECOND FLOOR PLAN

MENLO PARK CALIFORNIA
(02-0-2011) (02-2011)

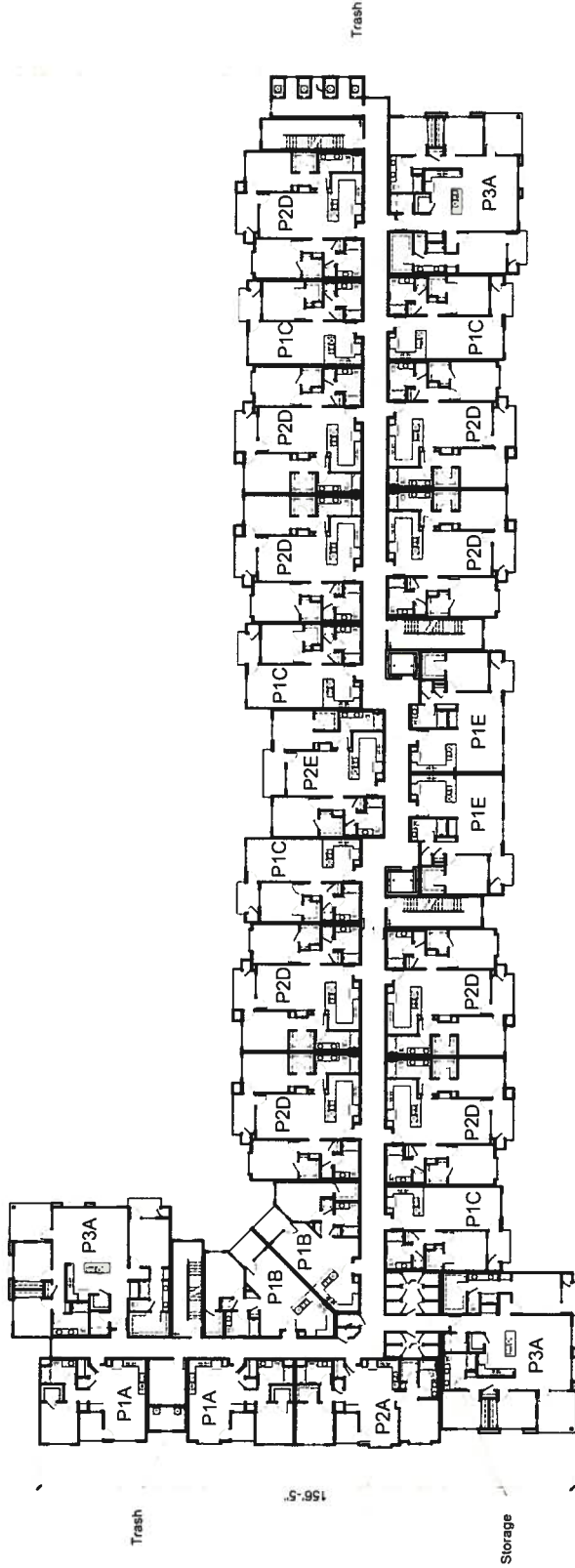


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B27

402'-5"



12
9
6
3
0

A3.12



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BUILDING C - THIRD FLOOR PLAN

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REV. 0 10/11/17 10/12/2015

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B28



BUILDING C - FOURTH FLOOR PLAN

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 (4-82 303)

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B29



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BUILDING C - ROOF PLAN

MENLO PARK, CALIFORNIA
1801 I STREET
916.400.2072

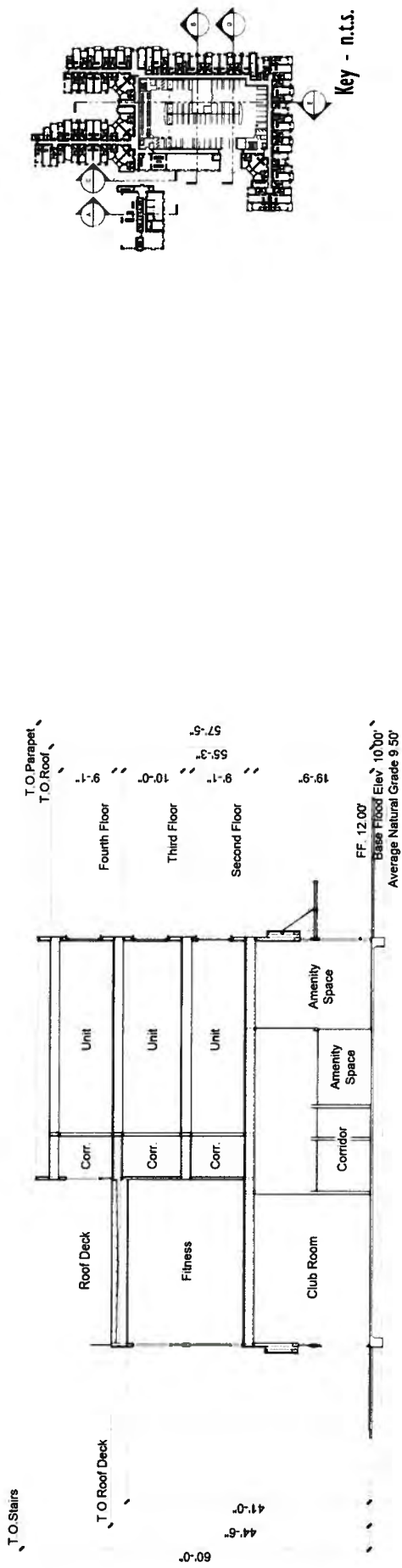


A3.14



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B30



Section A

16'-0" Light Standard



Section B

BUILDING A SECTIONS

A4.0



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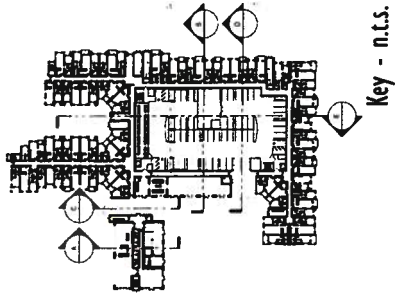
MENLO PARK, CALIFORNIA
FIG. # 101.010



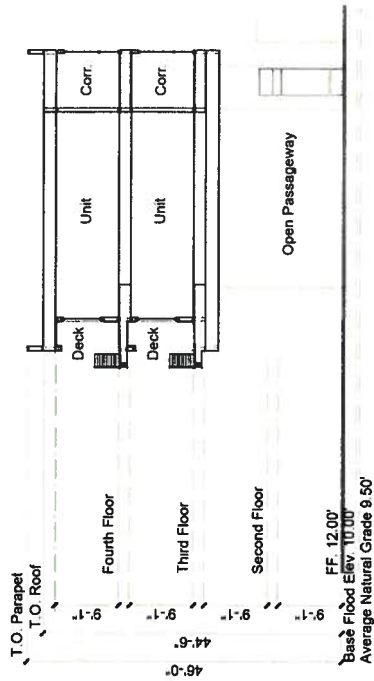
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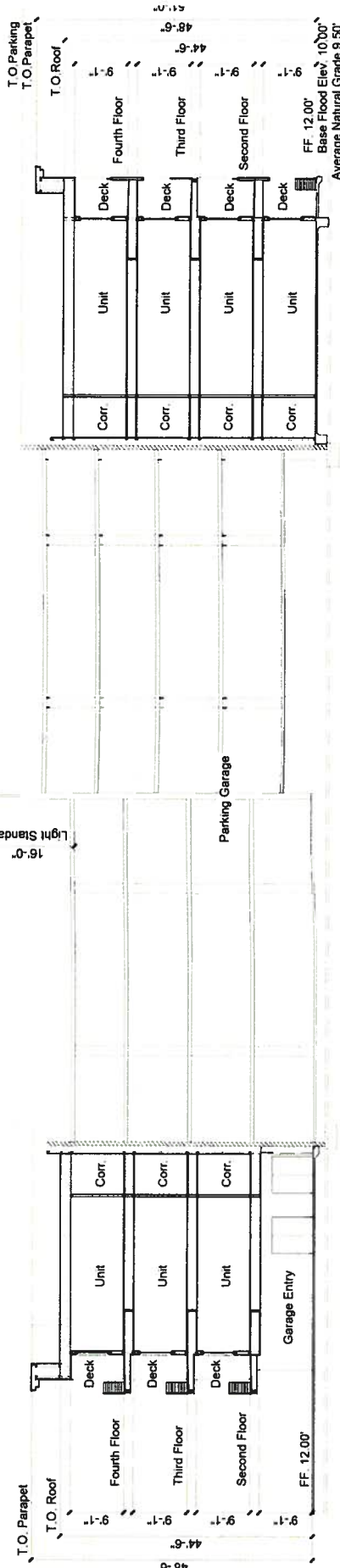
B31



Key - n.t.s.



Section C



Section D

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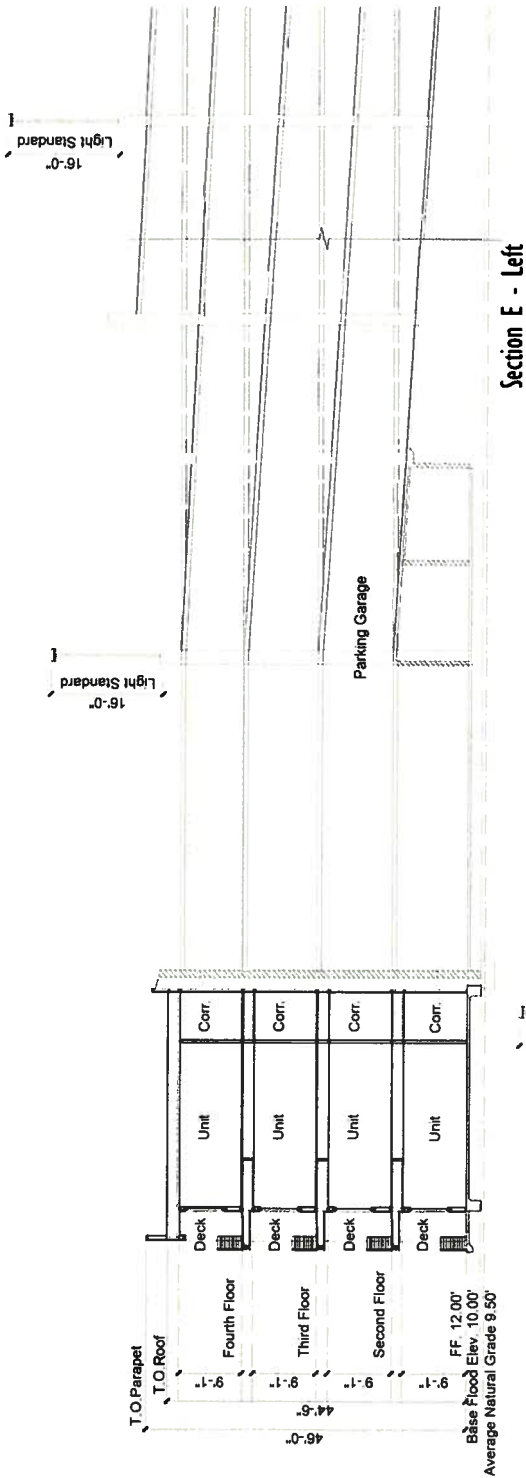
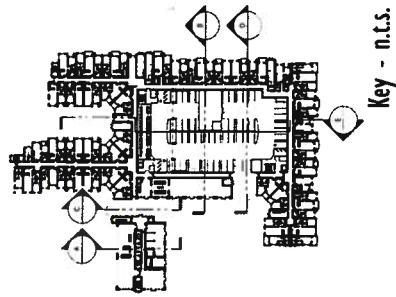
BUILDING A SECTIONS

MENLO PARK, CALIFORNIA
DEC 8 2012 PM
18-02-2013

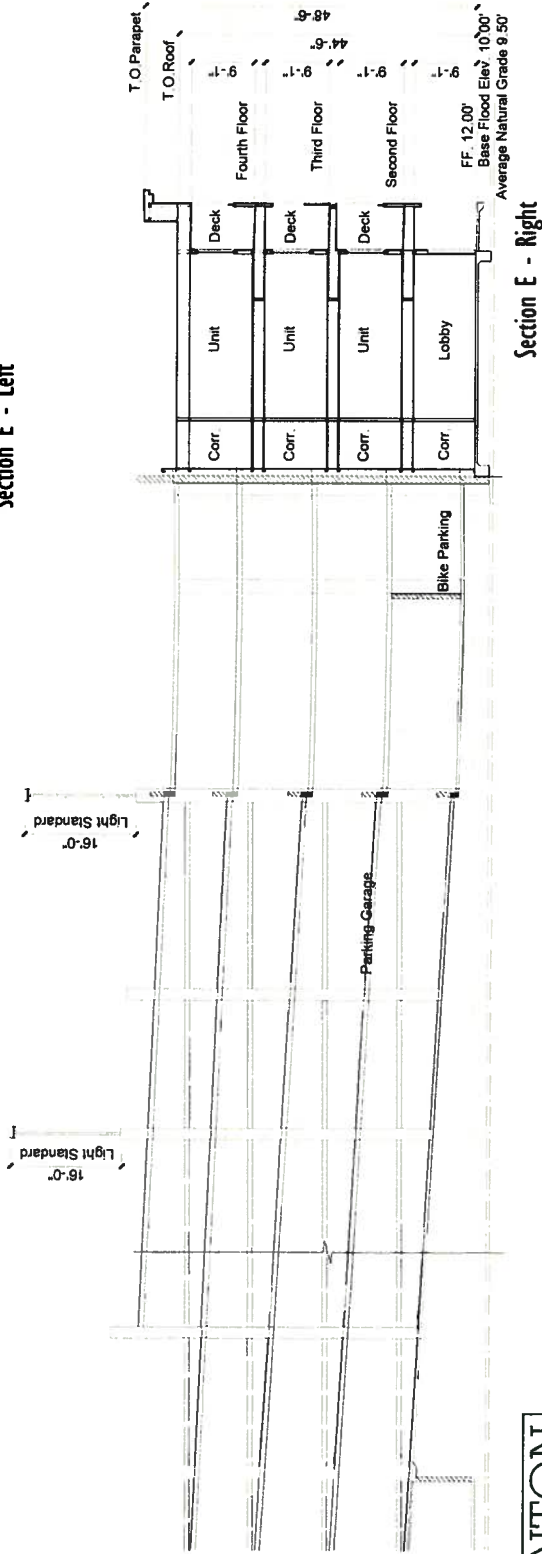
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A4.1



Section E - Left



Section E - Right

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PARTNERS

BUILDING A SECTIONS

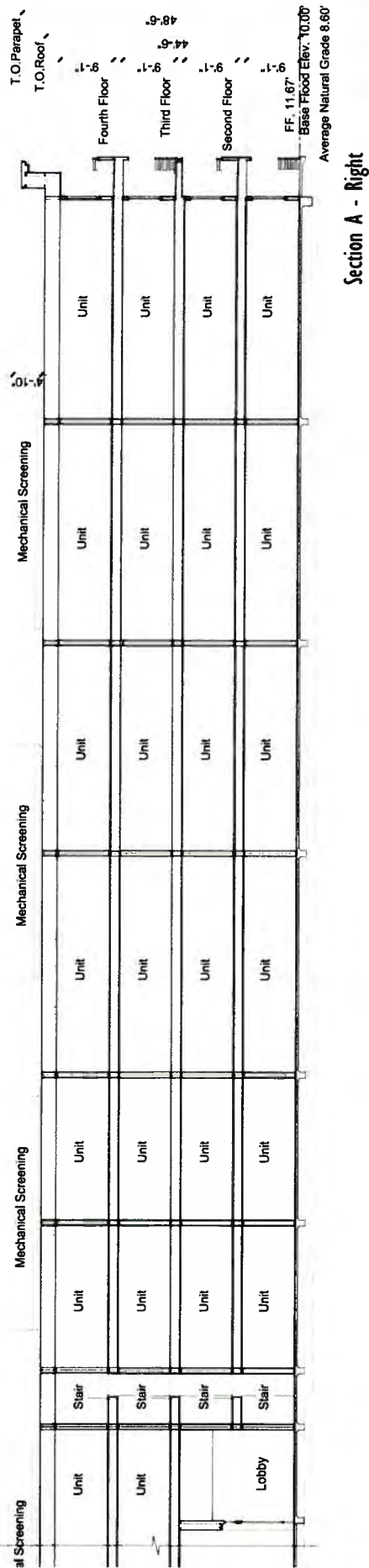
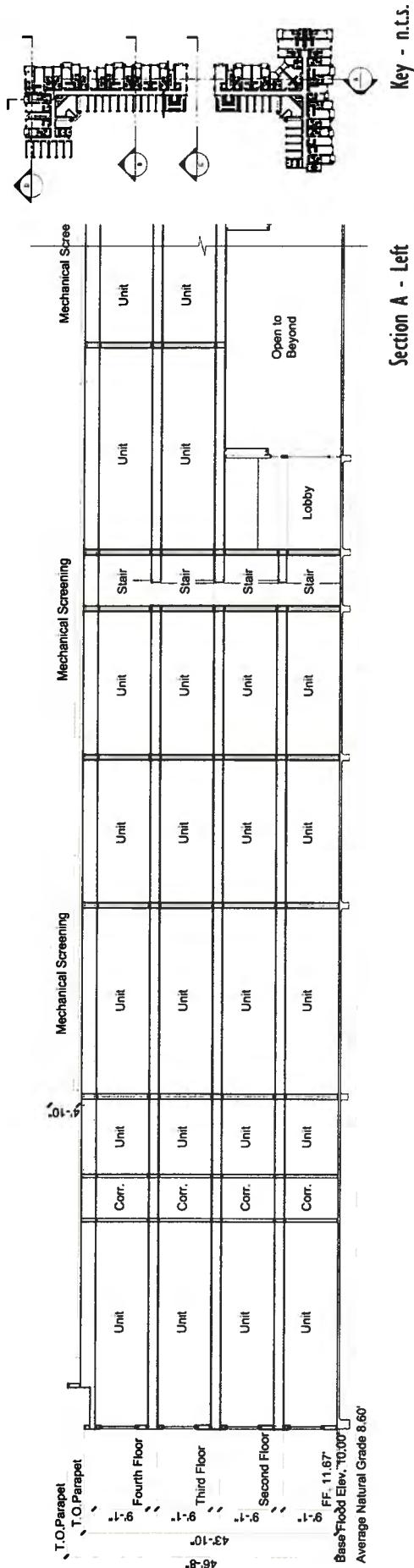
MENLO PARK, CALIFORNIA
1801 I STREET
SUITE 200
95811

A4.2

KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
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ktgy.com



B33



A4.3

BUILDING B SECTIONS

MENLO PARK CALIFORNIA
CD # 012017

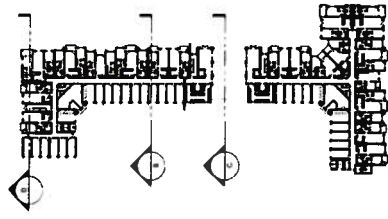
KTGY Group, Inc.
Architecture-Planning
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Irvine, CA 92614
949.851.2133
ktgy.com

St. Anton Partners
1801 I Street, Suite 200
Sacramento, California 95811
916.400.2072

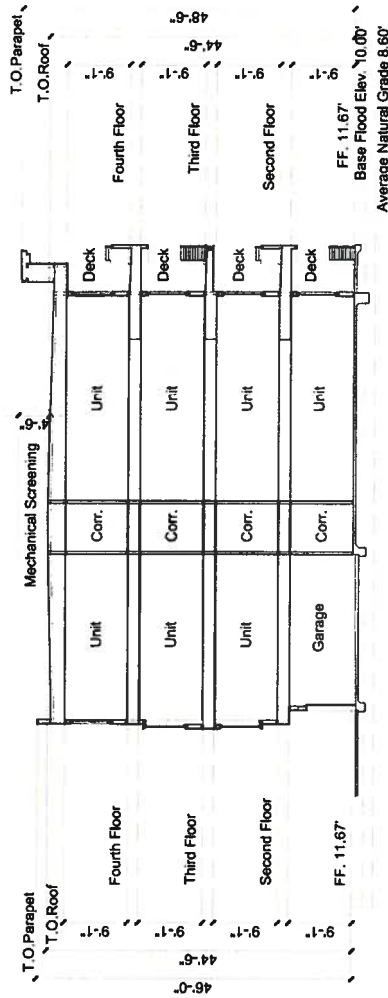
ANTON
MENLO PARK CALIFORNIA

St. Anton
PARTNERS

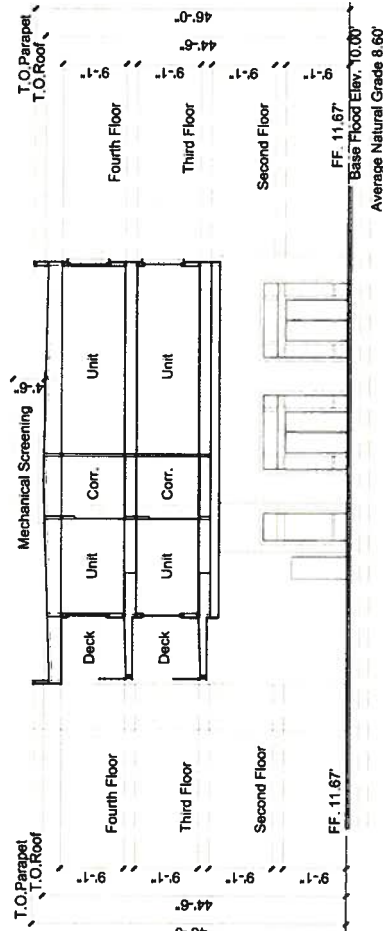
B3A



Key - n.t.s.



Section B



Section C

ANTON
MENLO PARK, CALIFORNIA

St. Anton
PARTNERS

St. Anton Partners
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Sacramento, California 95811
916 400 2072

BUILDING B SECTIONS

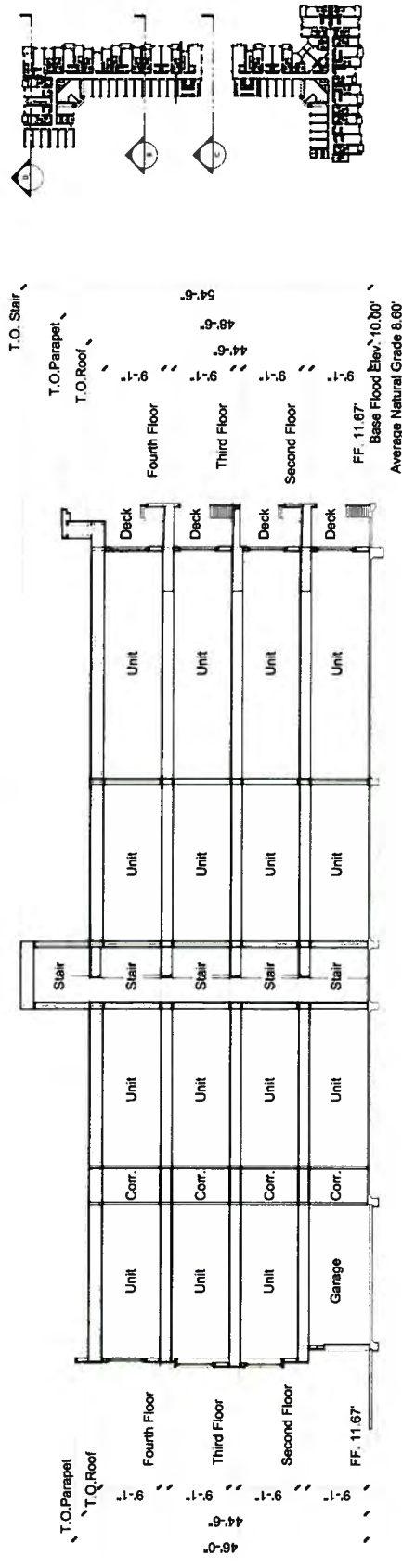
MENLO PARK, CALIFORNIA
02 # 101207

KTGY Group, Inc.
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17922 Fitch
Irvine, CA 92614
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A4.4

B35



Key - n.t.s.

Section D



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BUILDING B SECTIONS

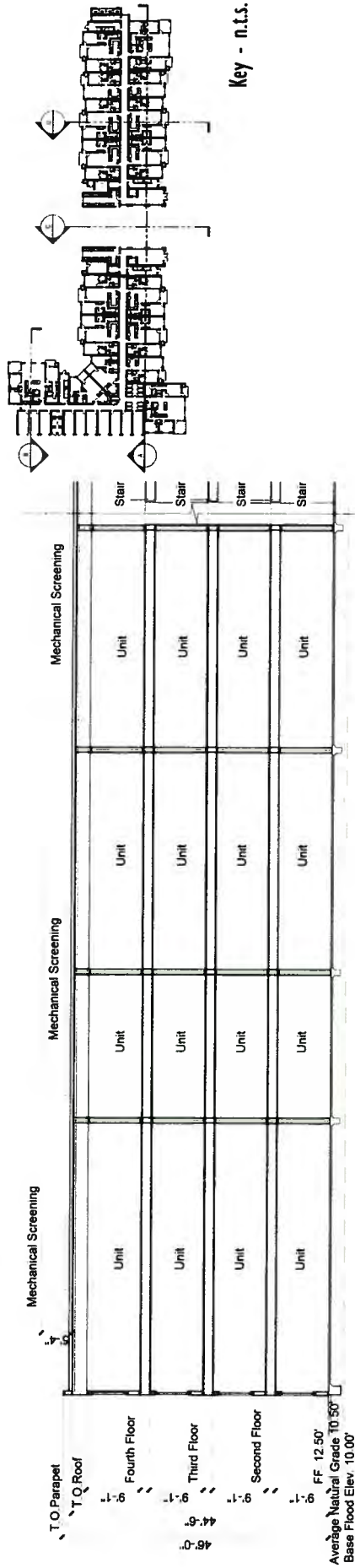
MENLO PARK, CALIFORNIA
CIR # 201307

KTGY Group, Inc.
Architecture-Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

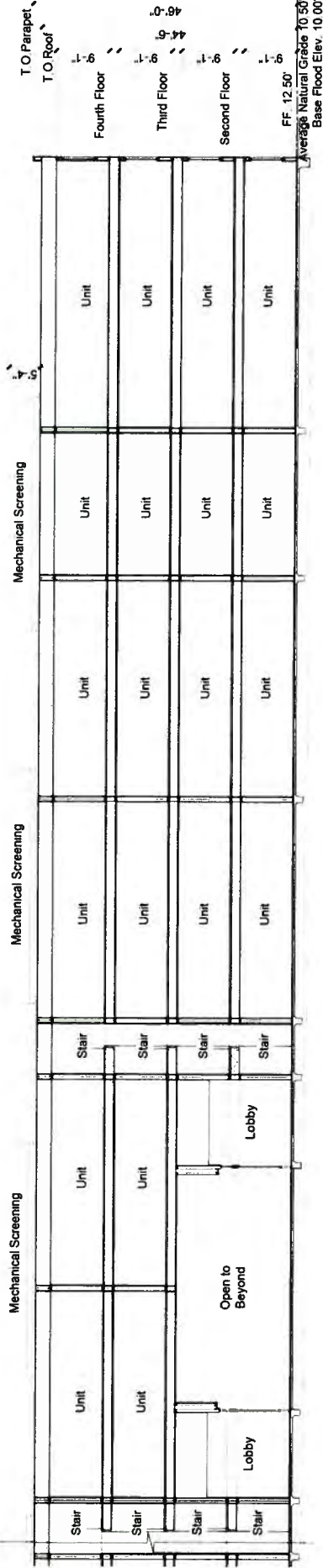


A4.5

B36



Section A - Left



Section A - Right

ANTON
MENLO PARK, CALIFORNIA

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St. Anton
PARTNERS

BUILDING C SECTIONS

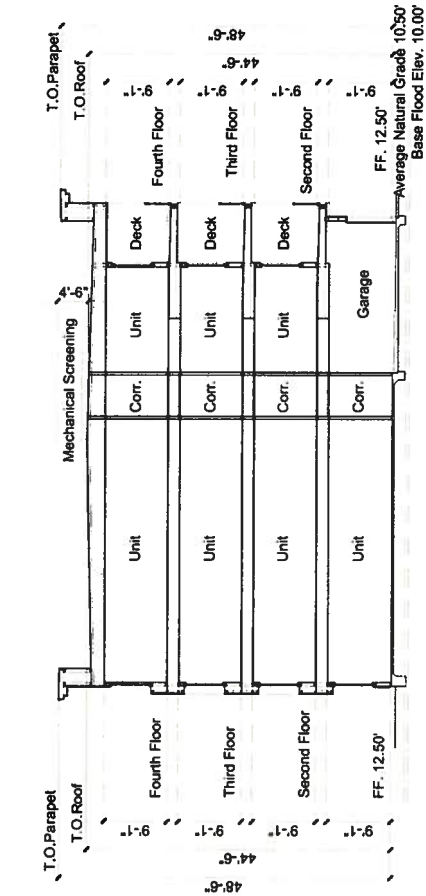
MENLO PARK, CALIFORNIA
(10.12.2011)

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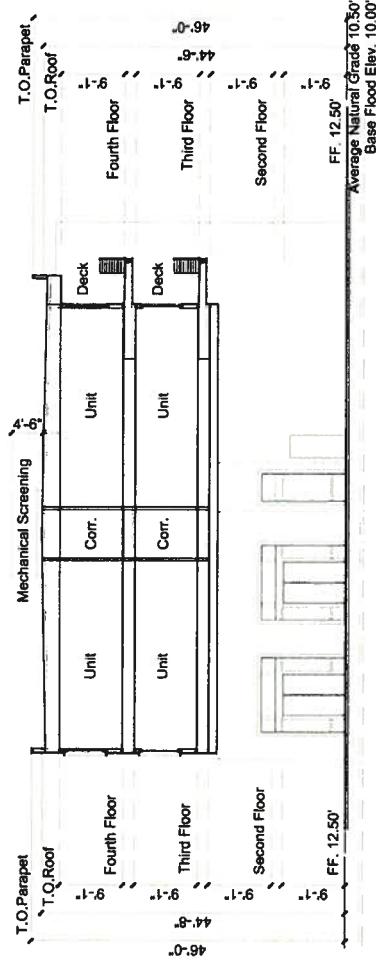


A4.6

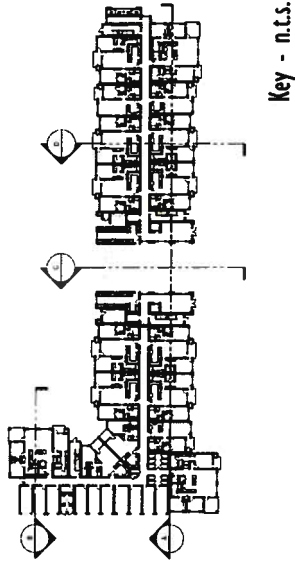
B37



Section B



Section C



Key - n.t.s.

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P A R T N E R S

BUILDING C SECTIONS

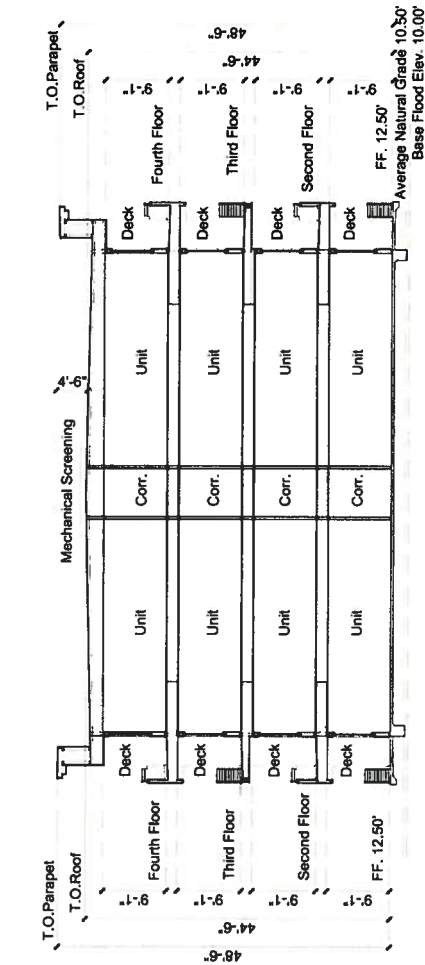
MENLO PARK, CALIFORNIA
08/12/2011

A4.7

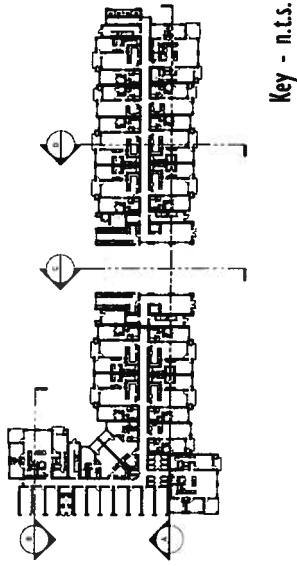
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B38



Section D



Key - n.t.s.



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BUILDING C SECTIONS

MENLO PARK, CALIFORNIA
REG # 1113017

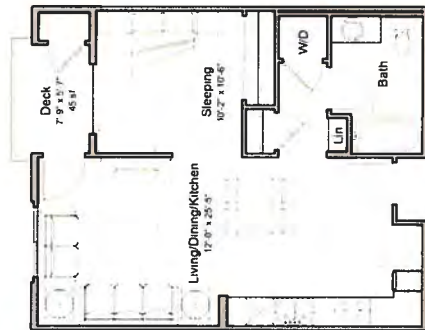
KTGY Group, Inc.
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A4.8

B39

23'-1 1/2"

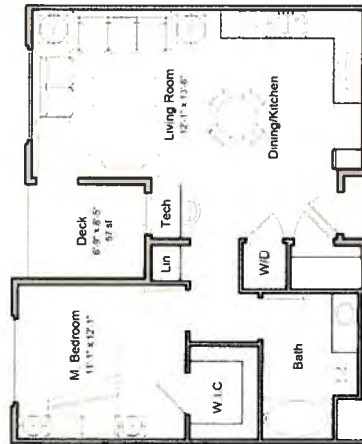


Unit P0 (Studio)

Junior 1 Bedroom / 1 Bathroom
563 NSF
Occurs 35 times

28'-6"

31'-5"



Unit P1A

1 Bedroom / 1 Bathroom
659 NSF
Occurs 24 times



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UNIT PLANS

MENLO PARK, CALIFORNIA
PRO # 301319 (04/2011)



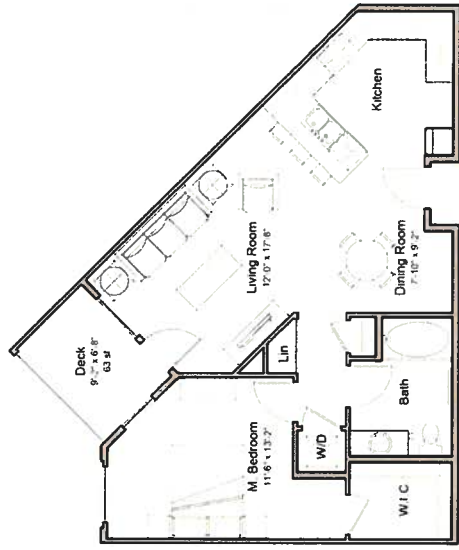
A5.0



KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949 851 2133
ktgy.com

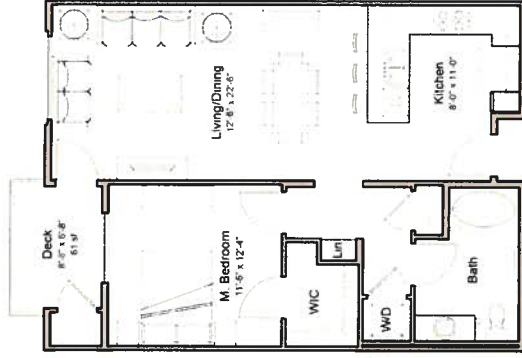
B40

38'-6 1/2"



Unit P1B
1 Bedroom / 1 Bathroom
740 NSF
Occurs 60 times

24'-8 1/2"



Unit P1C
1 Bedroom / 1 Bathroom
756 NSF
Occurs 107 times



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UNIT PLANS

MENLO PARK, CALIFORNIA
(REV. 8/2010)

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ktgy.com



A5.1



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Architecture+Planning
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ktgy.com

UNIT PLANS

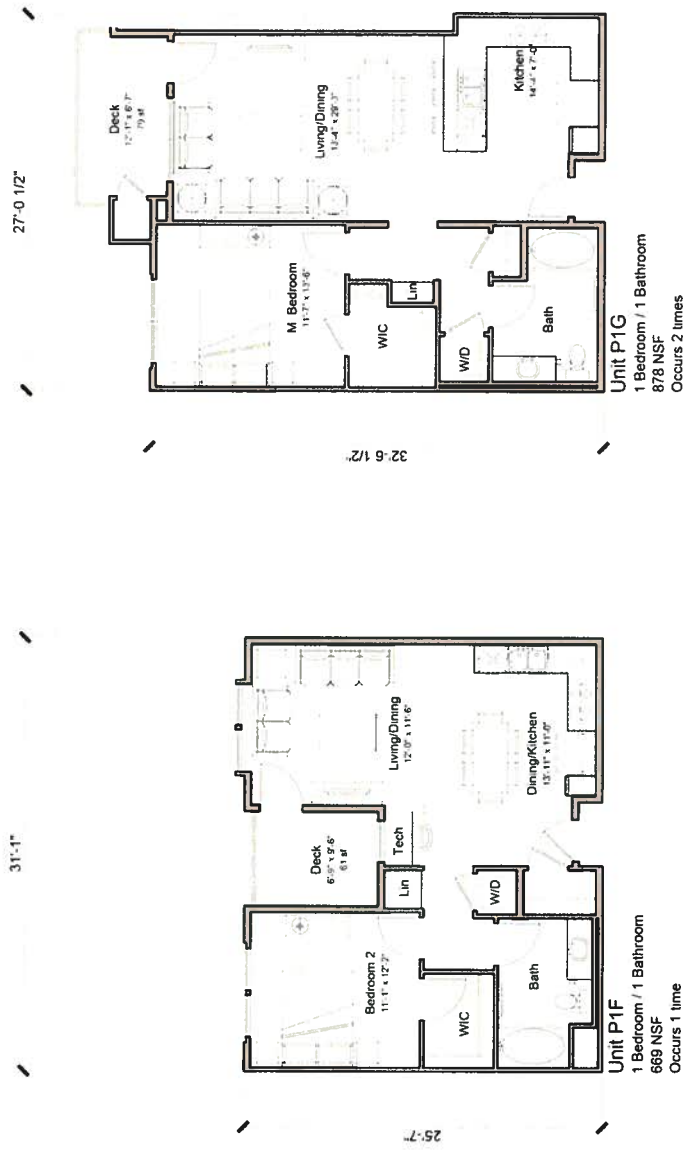
EMENLO PARK, CALIFORNIA

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916 400 2072

ANTON
MENICO | LUXURY HOMES

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B42



Unit P1F
1 Bedroom / 1 Bathroom
669 NSF
Occurs 1 time

Unit P1G
1 Bedroom / 1 Bathroom
878 NSF
Occurs 2 times



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B43

UNIT PLANS

MENLO PARK CALIFORNIA
Rev # 201.01P
(04/2011)

A5.3

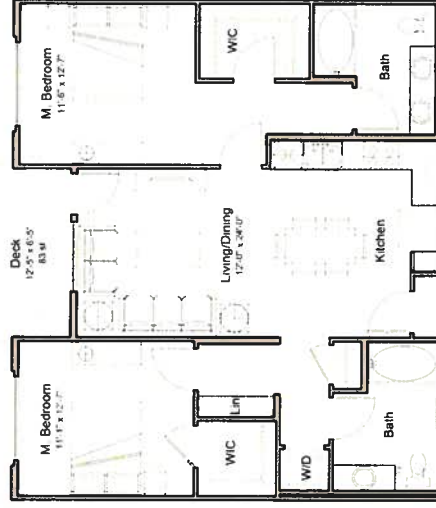
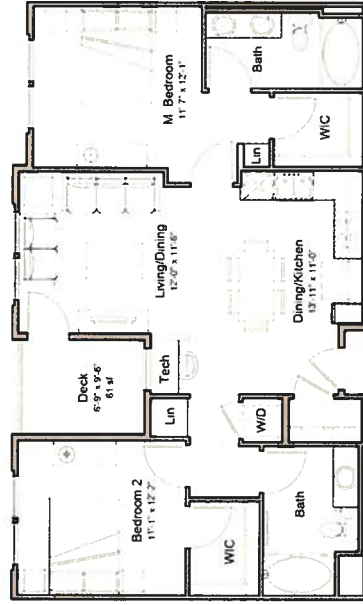


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Irvine, CA 92614
949.851.2133
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42'-9 1/2"

35'-10"

31'-0"



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PARTNERS

UNIT PLANS

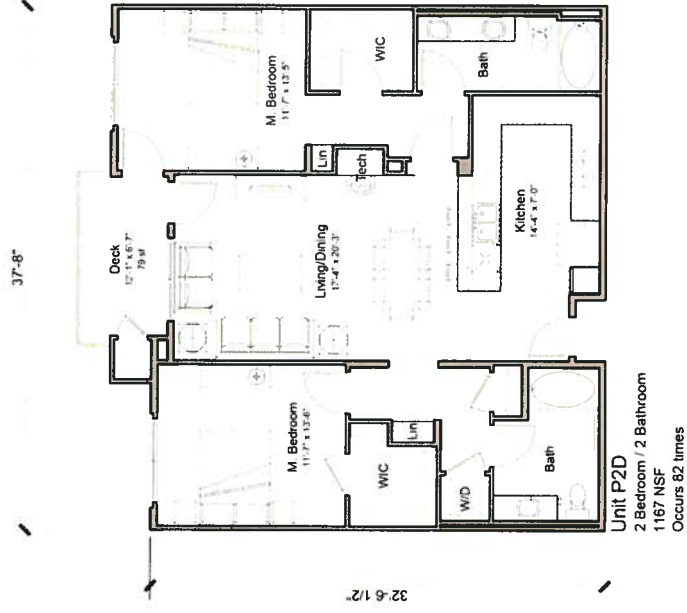
MENLO PARK, CALIFORNIA
REV. # 001.010
(08/2001)

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Architecture+Planning
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Irvine, CA 92614
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A5.4

B44



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UNIT PLANS

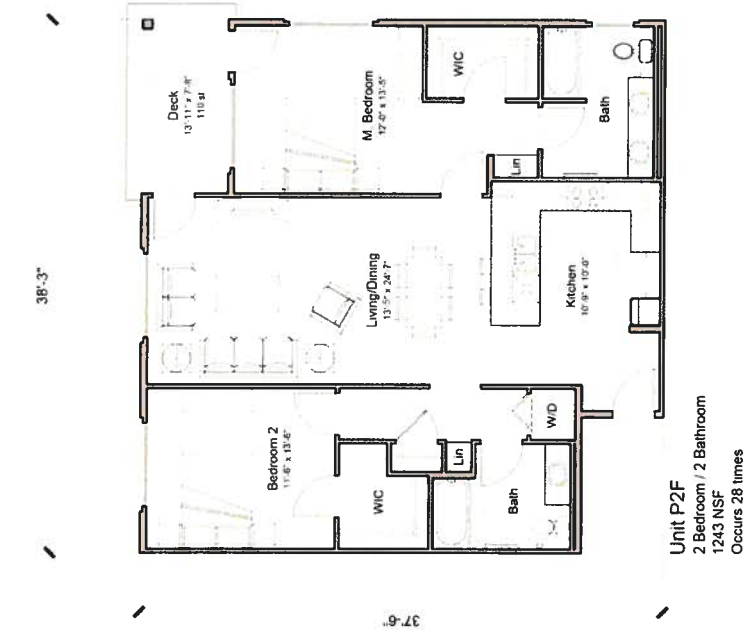
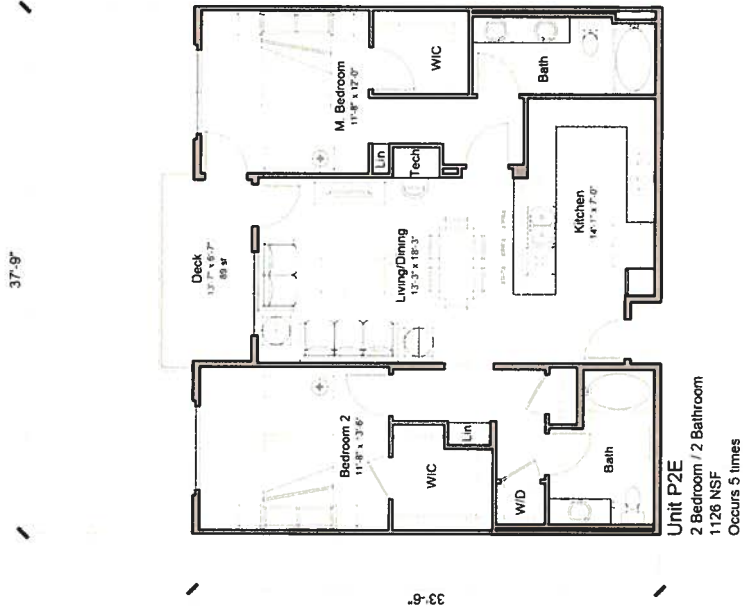
MENLO PARK, CALIFORNIA
REV. 8/2017 SHP
(8/14/2011)



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B45



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UNIT PLANS

MENLO PARK, CALIFORNIA
REV. # 2012.03P (4.0.2012)

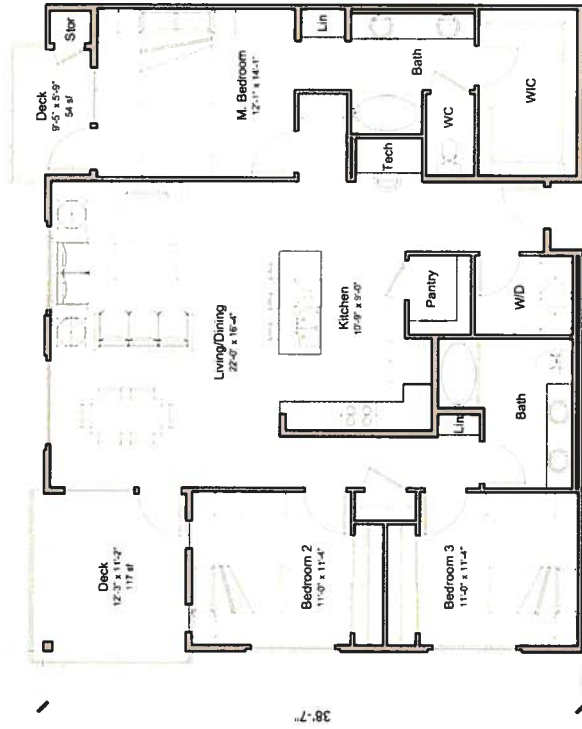
KTGY Group, Inc.
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17922 Fitch
Irvine, CA 92614
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A5.6

B46

46'-5"



Unit P3A
3 Bedroom / 2 Bathroom
1549 NSF
Occurs 12 times



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UNIT PLANS

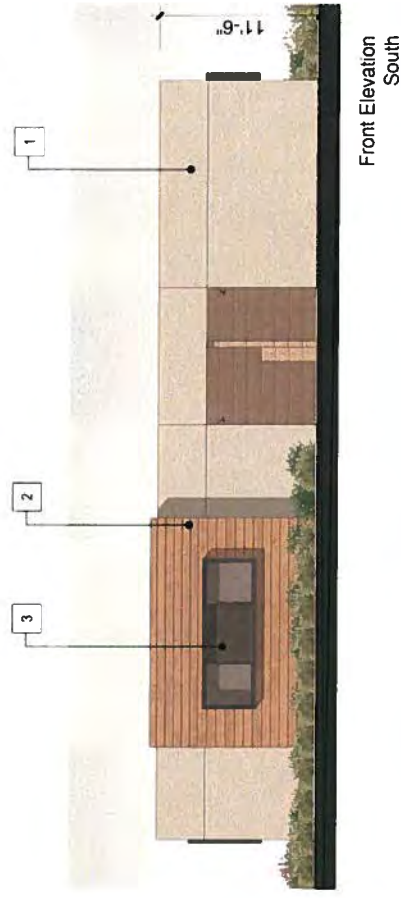
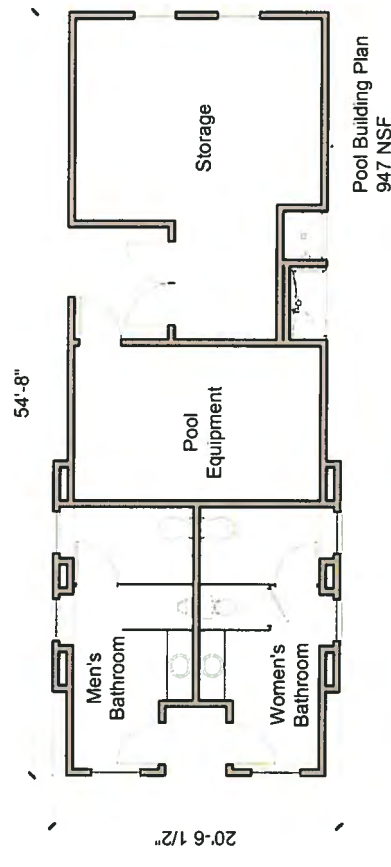
MENLO PARK, CALIFORNIA
REV # 301.01A (04/2011)

A5.7



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B47



Right Elevation
East

Left Elevation
West

Rear Elevation
North

Stucco Percentage Calculations

North	South	West	East
Stucco	322 sf	52 sq	161 sf
Wood-Like Siding	187 sf	30 sf	187 sf
Wood-Like Windows	76 sf	12 sq	104 sf
Total	585 sf	94 sq	452 sf
Stucco	47%	55%	47%
Wood-Like Siding	32%	32%	42%
Wood-Like Windows	13%	13%	11%
Total	92%	100%	100%

South	West	East
Stucco	322 sf	161 sf
Wood-Like Siding	187 sf	187 sf
Wood-Like Windows	76 sf	104 sf
Total	585 sf	452 sf
Stucco	55%	47%
Wood-Like Siding	32%	42%
Wood-Like Windows	13%	11%
Total	100%	100%

- Material Legend
- 2030 Stucco
 - Wood-like Siding
 - Vinyl Window



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POOL BUILDING PLAN AND ELEVATIONS

MENLO PARK, CALIFORNIA
REV # 01.01.19

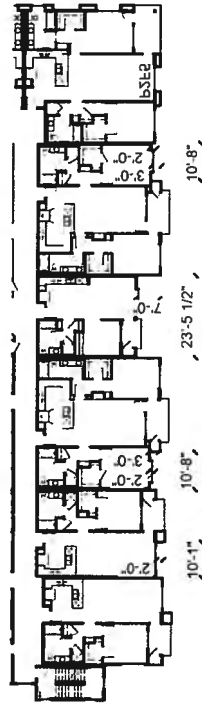
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B48



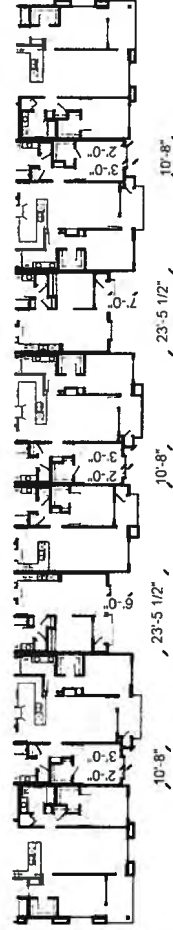
Building B Front Elevation



Building B Partial Plan



Building A Front Elevation



Building A Partial Plan

ANTON
MENLO COUNTY REGIONAL

St. Anton
P A R T N E R S
St. Anton Partners
1801 I Street, Suite 200
Sacramento, California 95811
916.400.2072

MODULATION EXHIBIT

MENLO PARK, CALIFORNIA
(SHEET 001)

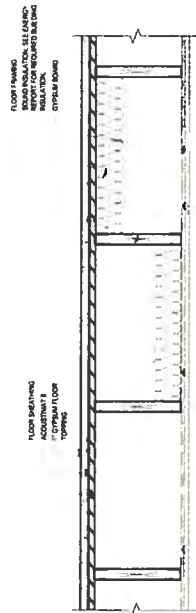
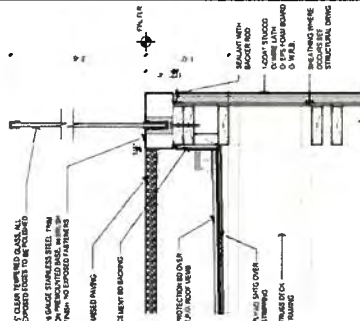
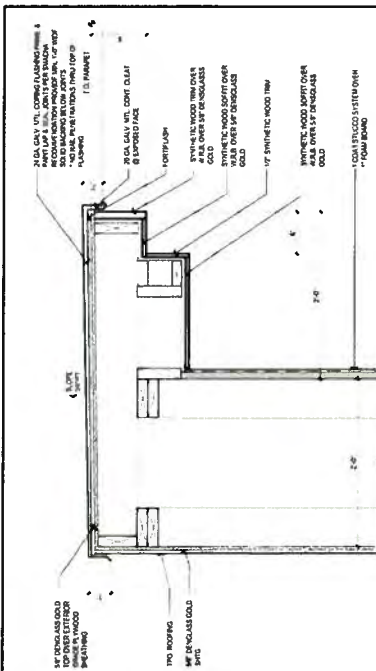
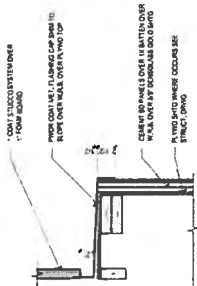
KTGY
KTGY Group, Inc.
Architecture+Planning
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Irvine, CA 92614
949.851.2133
ktgy.com



A6.0



B449



RESULTANT CHANNELS SPACED AT 17" MAX. O.C. INSULATION SHALL BE STICHTED AGAINST THE EXISTING CONCRETE TO BACK.

WOOD JOISTS, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS,
GLASS OR MINERAL FIBER BATT OR LOOSE FILL INSULATION, GYPSUM WALLBOARD

[illegible]

LAFED STATES GYPSUM COMPANY
 PROPRIETARY GYPSUM COMPOSITES
 5" SHEET ROCK®
 BOUND FIRECODE® C
 CORE GYPSUM PANELS
 4 LEVEL ROCK® BOUND FLOOR INSTALLMENT

PROPRIETARY SYSTEM COMPONENTS

5' SHEET PILE @ BRIDGE APPROACH & C
C @ APPROACH DRYERS

CONTRACTOR SHALL READ AND BE FAMILIAR WITH TEST REPORT AND RELATED SOUND AND FIRE TEST REPORTS LISTED PRIOR TO ASSEMBLY INSTALLATION.

THE TEST REPORTS LISTED PRIOR TO ASSEMBLY LINES/ALLOCATION

13. 81119 200000599 4-025 U.S. OF 1319 CONSTRUCTION 3-1-1904
14. 0820201 000
15. 71 06111 37 2-1-1904
16. 71 06112 34 2-2-1904
17. 10427 3-1-1904
18. 51 GEORGE STREET VVNL. BAL. 1904-04 4-27-04
19. (1) (1) DE HO CAPT. RAIL. 1904-05 4-27-04
20. 45 CUSHMAN STREET VVNL. BAL. 1904-05 4-27-04
21. 05 ENGINEERED PROCT. (APPROX) BAL. 1904-07 4-27-04

CSZ CERAMIC TILE: 100-009, 4-76-04

FIRE AND SOUND RATED FLOOR / CEILING ASSEMBLY

ANTON
MENON | LUXURY RENTAL

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DESIGN DETAILS

MENLO PARK, CALIFORNIA

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949.851.2133
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A8.0

40

B50

	1	WDW HD TRIM @ STUCCO	3	WDW SILL TRIM @ STUCCO	6	WDW SILL TRIM @ POP OUT	7	GUARDRAIL / DECK EDGE	8
	2	WDW JAMB TRIM @ STUCCO	5	WDW JAMB TRIM @ POP OUT	7	GUARDRAIL / DECK EDGE	8		
	4	WDW HD TRIM @ POP OUT	6	WDW HD TRIM @ POP OUT	7	GUARDRAIL / DECK EDGE	8		
	5	WDW JAMB TRIM @ POP OUT	7	GUARDRAIL / DECK EDGE	8				



ANTON
MENLO PARK

DESIGN DETAILS

St. Anton
1801 I Street, Suite 200
Sacramento, California 95811
P A R T N E R S 916.400.2072

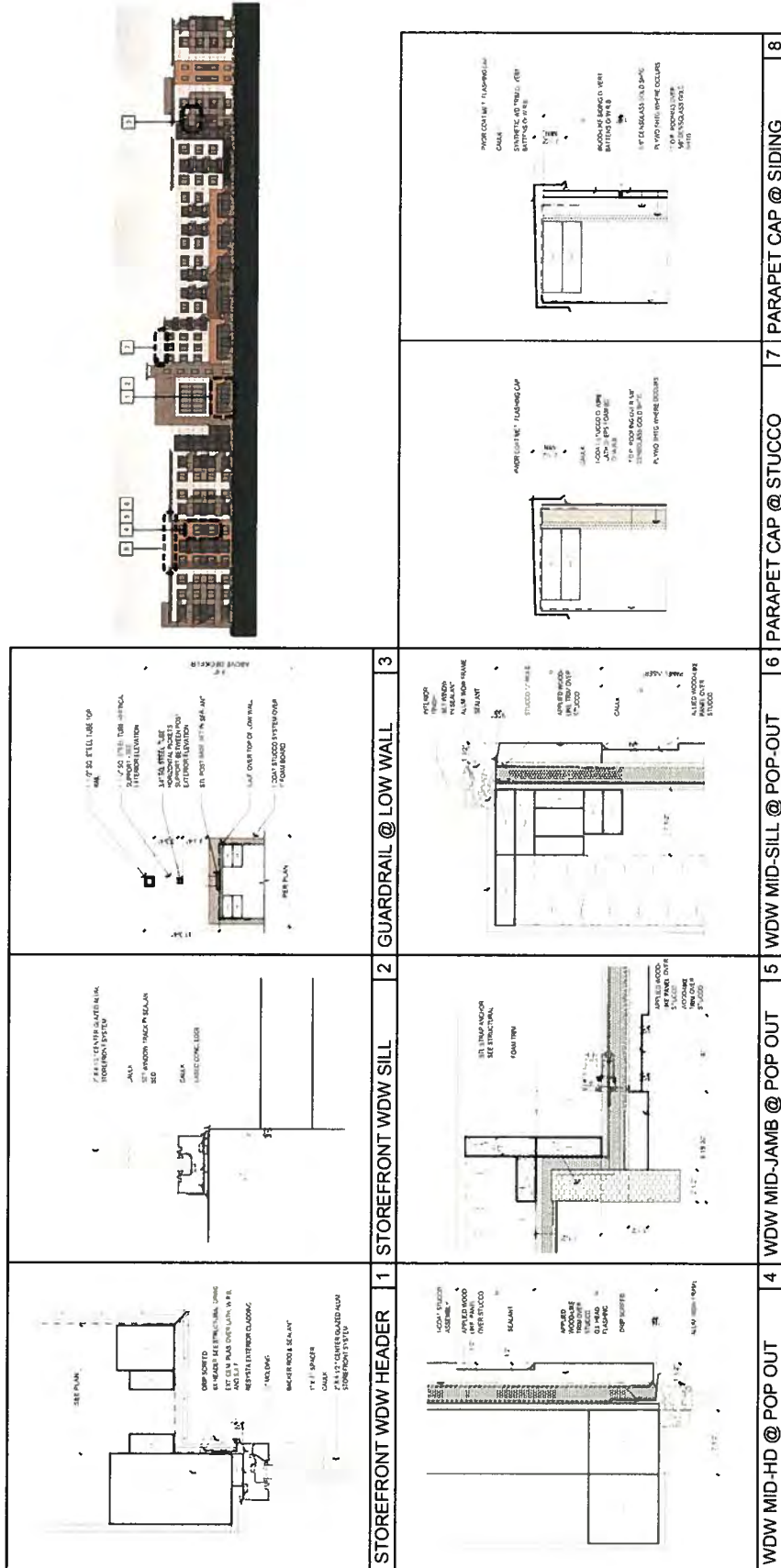
MENLO PARK, CALIFORNIA
(415) 351.8100

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Irvine, CA 92614
949.851.2133
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A8.1

351



ANTON
MENLO PARK OFFICE

St. Anton
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18011 Street, Suite 200
Sacramento, California 95811
916.400.2072

DESIGN DETAILS

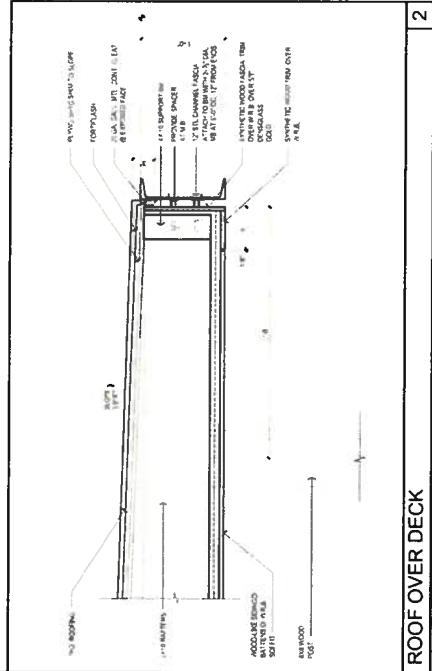
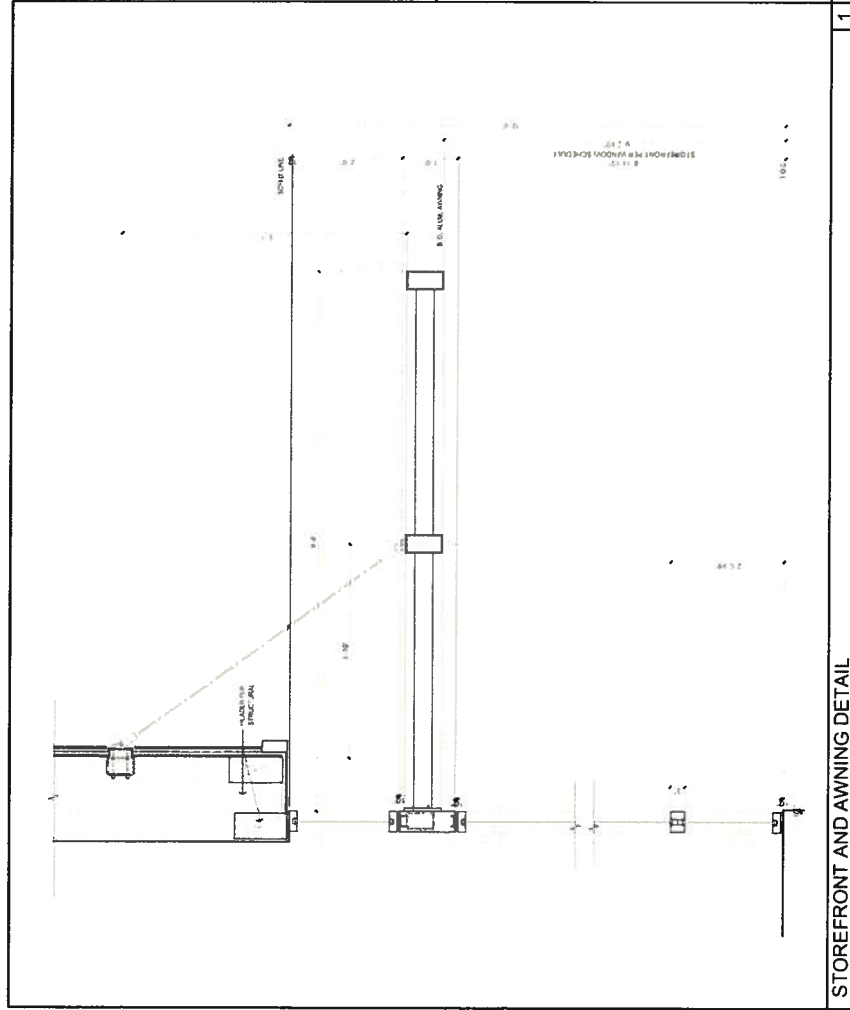
MENLO PARK, CALIFORNIA
(8/12/11)

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A8.2

B52



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DESIGN DETAILS

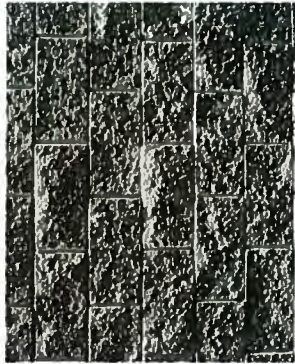
MENLO PARK, CALIFORNIA
REV. 10/11/11

KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
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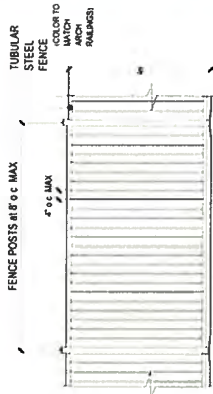


A8.3

853



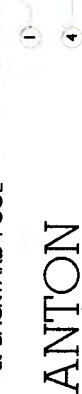
1 6' HT. SPLIT FACE BLOCK PERIMETER WALL



2 TUBULAR STEEL ENCLOSURE FENCE at 'BACKYARD' POOL



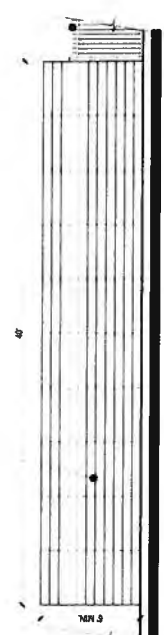
3 GLASS ENCLOSURE FENCE at 'BACKYARD' POOL



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DECORATIVE WALL
TILE



3 6' MIN. HT. DECORATIVE WALL at BACKYARD (BACK OF SPA WALL AND BBQ COUNTER)

WALL and FENCE KEY:

1	6' HT. SPLIT FACE WALL
2	5' HT. TUBULAR STEEL FENCE at POOL ENCLOSURE
3	6' MIN. HT. DECORATIVE WALL at 'BACKYARD' PERIMETER
4	E.V.A. GATE LOCATION
5	5'-6" HT. GLASS FENCE at POOL ENCLOSURE

TUBULAR STEEL EMERGENCY VEHICULAR ACCESS SWING GATE
FREE LANE SIGNAGE



4 EMERGENCY VEHICULAR ACCESS SWING GATE

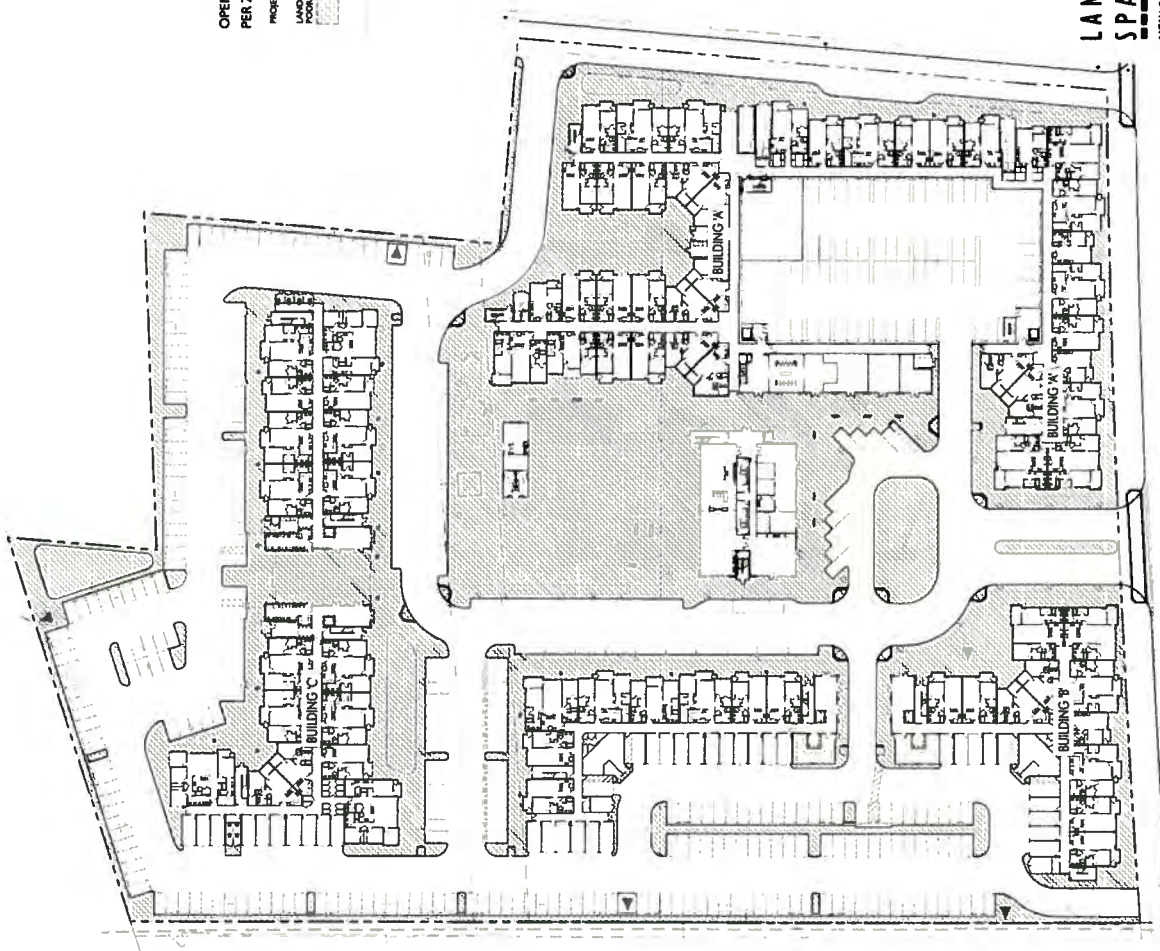
WALL and FENCE PLAN

MENLO PARK, CALIFORNIA
MJS Design Group
Caniney Luffs
507 30th Street
Newport Beach, CA 92663
(949) 675-8804

0 20' 40' 80'



CASE #: PLN2013-00062



OPEN SPACE REQUIREMENTS
PER ZONING ORDINANCE SECTION 16.04.500

PROJECT SITE: 9.49 ACRES (412,134 S.F.)

LANDSCAPE AREA PROVIDED: 117,788 S.F.
LANDSCAPE AREA REQUIRED (25% of SITE): 103,145 S.F.
POSSIBLE COURTYARD: 117,788 S.F.
REQUIRED: 103,145 S.F. EXCESS: 14,643 S.F.

LANDSCAPE OPEN SPACE EXHIBIT

MENLO PARK, CALIFORNIA

DATE: 08/10/2017
BY: J. J. JENSEN

MJS Design Group
Canary Labs
907 30th Street
Menlo Park, CA 94025
(650) 675-0904

0 20' 40' 80'

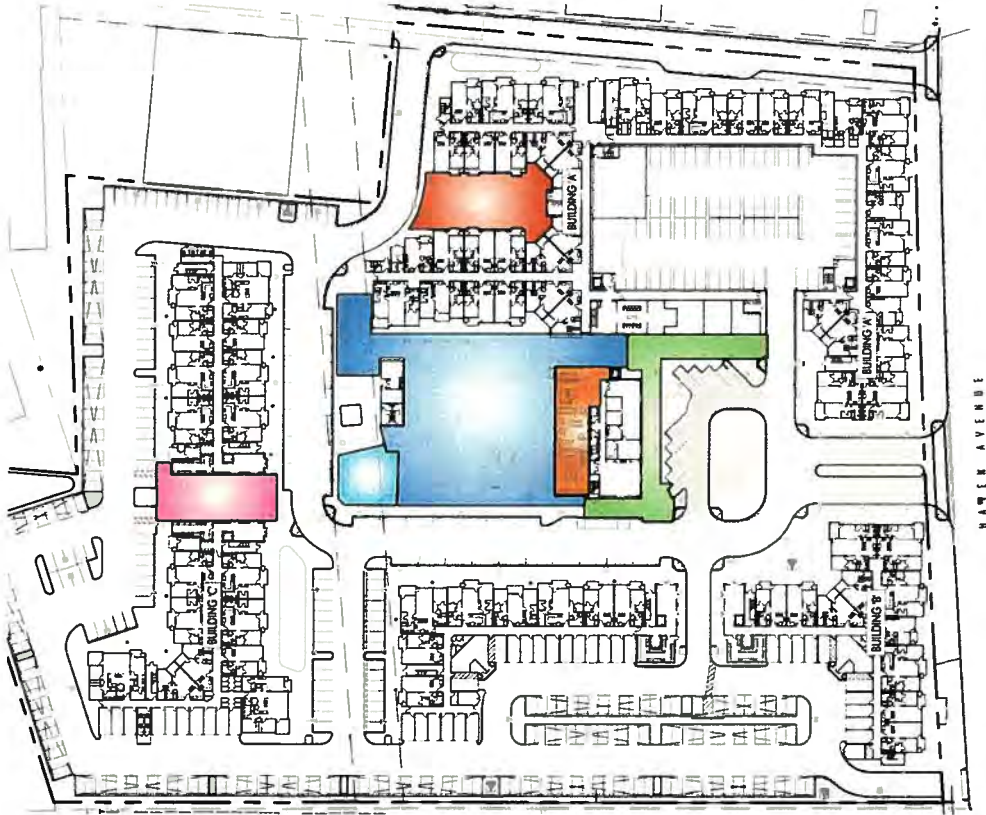
11.2

CASE #: PLN2013-00062

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MENLO PARK, CALIFORNIA

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B56



COMMON OPEN SPACE REQUIREMENTS

PROJECT SITE: 9.69 ACRES (422,136 S.F.)

MAXIMUM DWELLING UNITS = 393

TOTAL COMMON OPEN SPACE REQUIRED = 393 D.U.'S x 100 S.F. / D.U. = 39,300 S.F.

POOL, RECREATION AREA AND DOG PARK

22,980 S.F.
PROVIDED

ROOFTOP TERRACE

2,300 S.F.
PROVIDED

BUILDING 'A' COURTYARD

5,105 S.F.
PROVIDED

BUILDING 'C' COURTYARD

3,880 S.F.
PROVIDED

URBAN PLAZA

5,680 S.F.
PROVIDED

COMMON OPEN SPACE:

39,945 S.F.
PROVIDED

39,300 S.F.
REQUIRED

645 S.F.
EXCESS

MINIMUM COMMON OPEN SPACE REQUIRED:

1,600 S.F.

MINIMUM REQUIRED FOR PROJECTS
EXCEEDING 101 D.U.'S

MINIMUM OF 40' DIMENSION EACH WAY

41,545 S.F.
TOTAL COMMON OPEN SPACE PROVIDED

ANTON
MENLO PARK

St. Anton Partners
1801 I Street, Suite 200
Sacramento, California 95811
PARTNERS 916.400.2072

B57

LANDSCAPE COMMON OPEN SPACE EXHIBIT



MENLO PARK, CALIFORNIA

1801 I ST

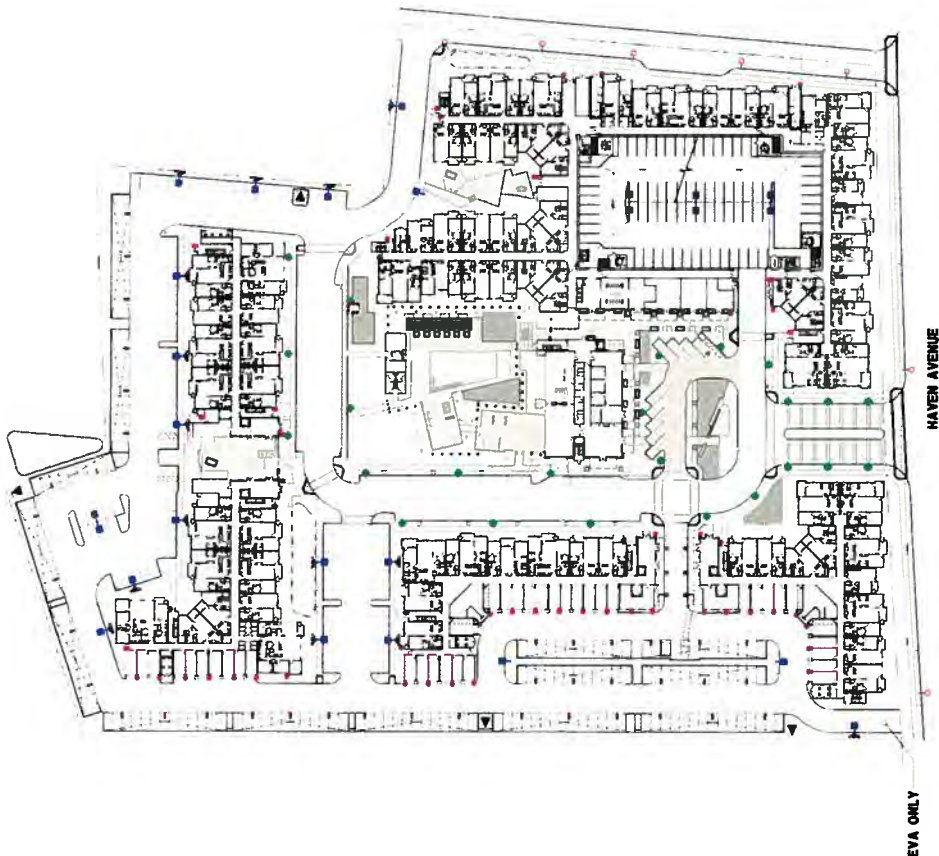
MJS Design Group
Carmichael, CA 95603
507 30th Street
Sacramento, CA 95833
(916) 625-2961

0 50' 100' 200'
SCALE 1" = 100' = 11 1/16" SHEET SIZE

CASE # PLN2013-00062

L13





LIGHTING LEGEND

- 1. FLOODLIGHT 100' BEAM, 100' POLE
- 2. FLOODLIGHT 100' BEAM, 100' POLE
- 3. FLOODLIGHT 100' BEAM, 100' POLE
- 4. FLOODLIGHT 100' BEAM, 100' POLE
- 5. FLOODLIGHT 100' BEAM, 100' POLE
- 6. FLOODLIGHT 100' BEAM, 100' POLE
- 7. FLOODLIGHT 100' BEAM, 100' POLE
- 8. FLOODLIGHT 100' BEAM, 100' POLE
- 9. FLOODLIGHT 100' BEAM, 100' POLE
- 10. FLOODLIGHT 100' BEAM, 100' POLE

SITE LIGHTING PLAN

ES-1

SCALE: 1/8" = 1'-0"

ANTON
MENLO PARK, CALIFORNIA

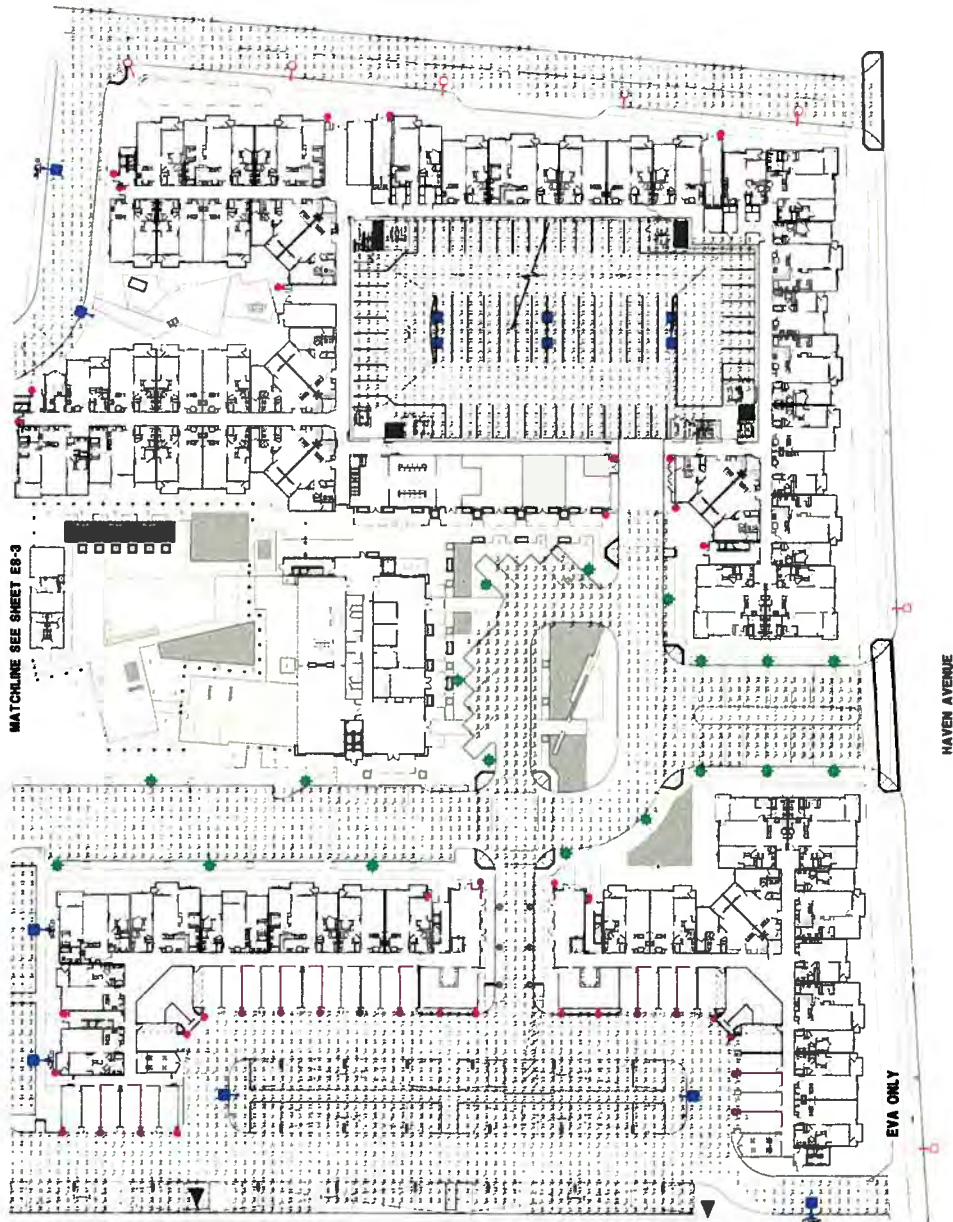
St. Anton
PARTNERS
1801 I Street, Suite 200
Sacramento, California 95811
916.400.2072

MENLO PARK, CALIFORNIA
SHEET 1 OF 1



LANDSCAPE DESIGN
LDB
1801 I Street, Suite 200
Sacramento, California 95811
(916) 400-2072

B5B



PARTIAL SITE PHOTOMETRIC PLAN

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MENTAL HEALTH

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St. Anton Partners
1801 I Street, Suite 200
Sacramento, California 95811
916.400.2072

MENLO PARK, CALIFORNIA

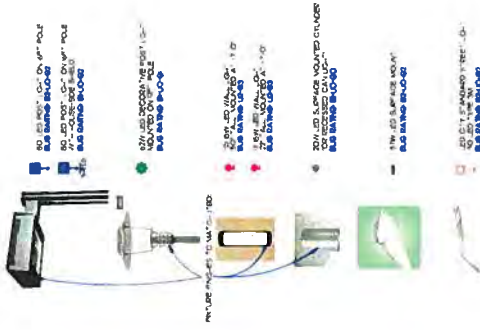


ING OTSINGER
SEC CAL ENG L
15 STUDENT
HUN, CA 92618
: (949) 770-0439
AX (949) 770-0439

ES-2

SCALE 1-100 0'

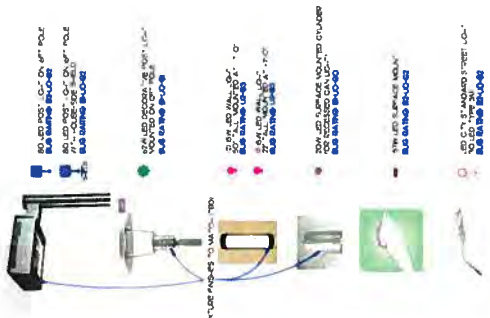
LIGHTING LEGEND



PHOTOMETRIC CALCULATIONS				
DESCRIPTION	AVG	MAX	MIN	AFC/ANL
STREET LIGHTING	21 FC	17.5 FC	0.7 FC	10.51

NOTE: THE INFORMATION PROVIDED IN THIS REPORT'S CALCULATED ASSUMPTIONS MAY DIFFER MATERIALLY FROM THE ACTUAL CONDITIONS, POSSESSION, VOLUME, WEIGHT, OR DESTRUCTION OF THE OBJECTS DURING AND GRADING. SOME PARTS MAY HAVE BEEN LEFT IN PLACE BY THE PROPERTY OWNER BASED ON VISUAL INSPECTION. THESE ASSUMPTIONS ARE BASED ON VISUAL INSPECTION.

LIGHTING LEGEND

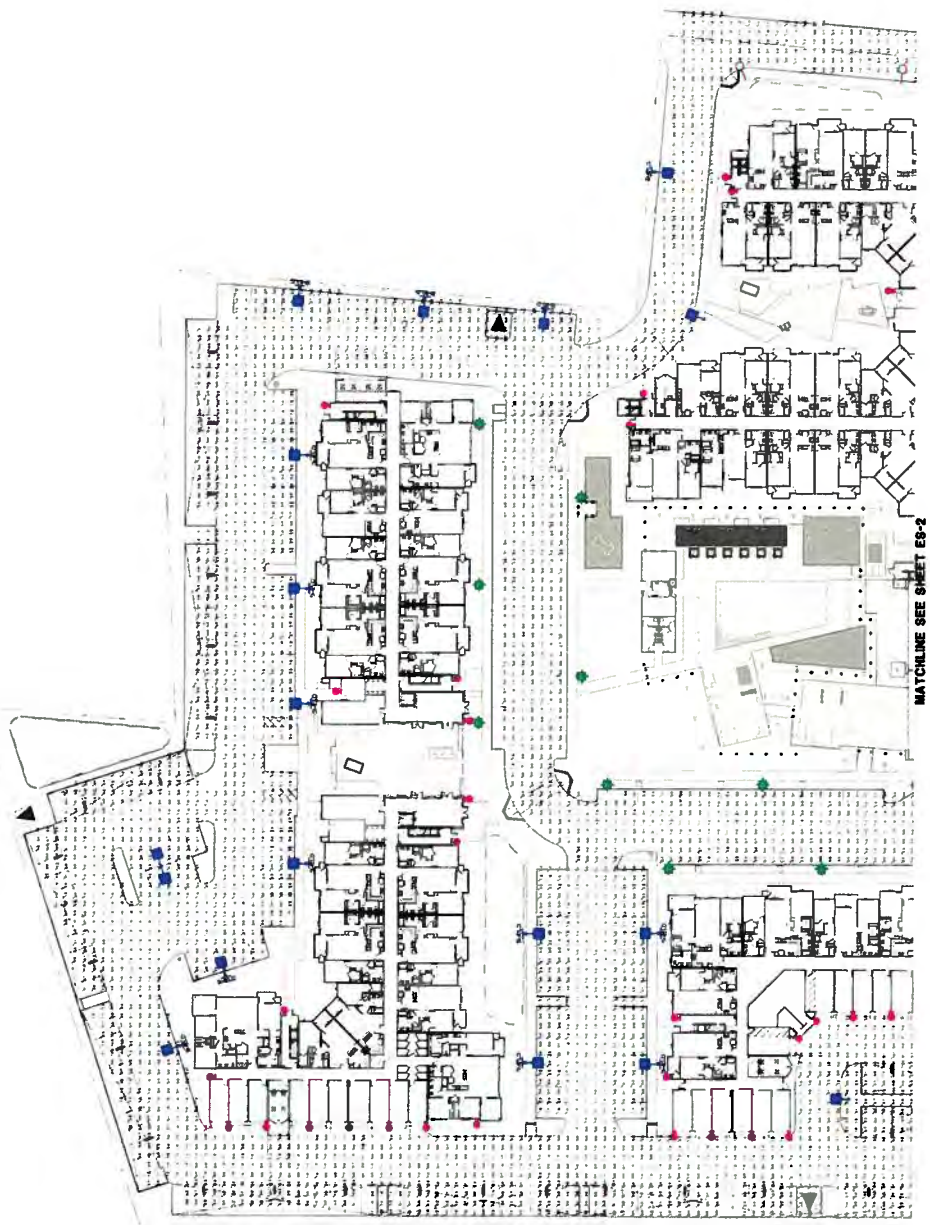


PHOTOMETRIC CALCULATIONS				
DESCRIPTION	AVC	AVC	AVC	AVC
STREET LIGHTING	21 FC	17.5 FC	17.5 FC	17.5 FC
AVC	21 FC	17.5 FC	17.5 FC	17.5 FC

NOTE: THE PHOTOMETRIC CALCULATIONS ARE BASED ON THE ASSUMPTIONS THAT THE LIGHTING FIXTURES ARE SPACED AT 10' ON CENTER. THE RESULTS MAY VARY BASED ON ACTUAL VALUES FOR LUG SIZE, BALLAST, AND LAMP. A REPORT ON THE PHOTOMETRIC CALCULATIONS IS PROVIDED IN THE PROJECT MANUAL.

ES-3

PARTIAL SITE PHOTOMETRIC PLAN



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916.400.2072

MENLO PARK, CALIFORNIA
DATE: 11/14/18



CONTRACT NO. 19-0000000000000000
PROJECT NO. 19-0000000000000000
SHEET NO. 19-0000000000000000

B60

ABBREVIATIONS

[illegible]

HATCH LEGEND

<input type="checkbox"/>	BUILDING ROOF
<input type="checkbox"/>	CONCRETE PAVEMENT
<input type="checkbox"/>	ASPHALT PAVEMENT
<input type="checkbox"/>	POROUS PAVEMENT
<input type="checkbox"/>	TREATMENT PLANT
<input type="checkbox"/>	LANDSCAPE AREA

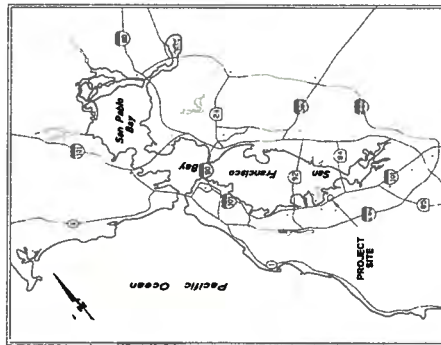
LEGEND

[illegible]

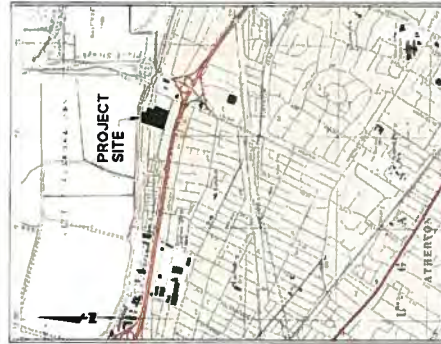
FLOOD ZONE

EMA DESIGNATED "FLOOD ZONE" AREA, OUTSIDE 0.25 ANNUAL
FINANCE FLOOD PLAN PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)
FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 08037, 0305, DATED
OCTOBER 16, 1992. THE BASE FLOOD ELEVATION (BFE) IS 10.2 NAVD 88 DATUM
ELEVATION. PERMITTEE'S BUILDING UNDER CONSTRUCTION SHALL BE
SUBMITTED AND REVIEWED BY THE BUILDING INSPECTION AGENCY TO APPROVAL OF
THE FOUNDATION INSPECTION.

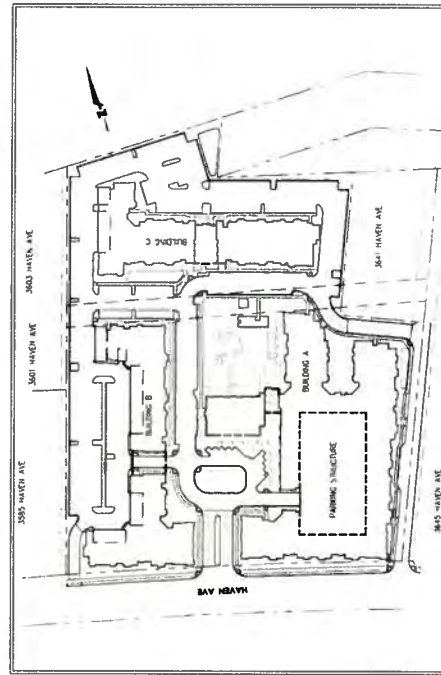
1. "UNFINISHED CONSTRUCTION" ELEVATION (CERTIFICATE NO. 10) REQUIRED AT PROJECT COMPLETION



LOCATION MAP



VICINITY MAP



SITE PLAN
SCALE 1"=100'

PROJECT SUMMARY

[illegible]

SHEET INDEX

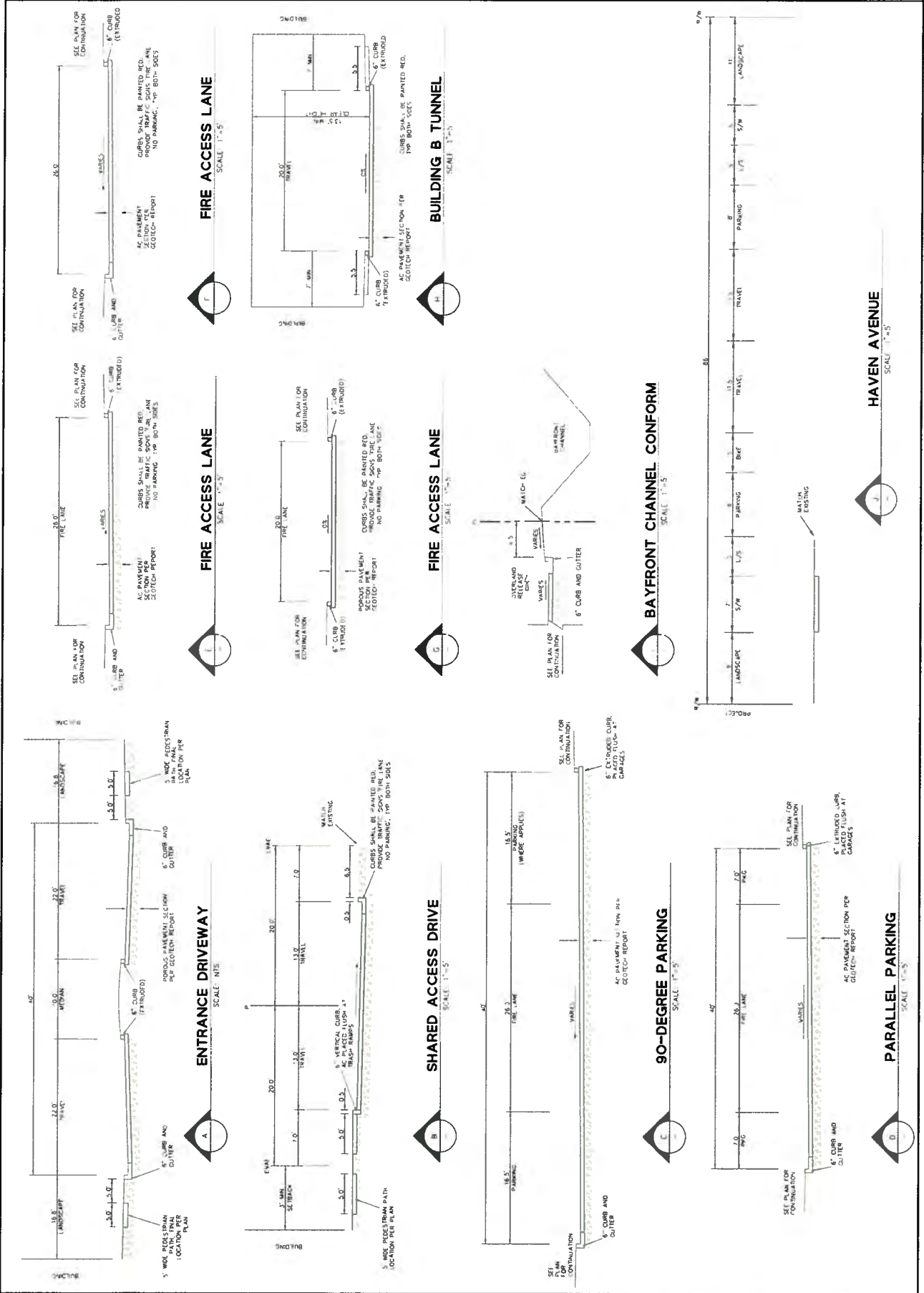
DATE	NO.	DESCRIPTION
C-11		- TLE SHEET
C-12		* CAPITAL RECTIONS
C-13		1915 % CONDITIONS
C-14		OT MERGER
C-15		SITE LAYOUT * AREA * AN
C-16		GRADING AND DRAINAGE PLAN
C-17		UTILITY PLAN
C-18		FIRE SERVICE PLAN
C-19		WATER QUALITY * TREATMENT PLAN

ENGINEER'S STATEMENT

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT OR IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE



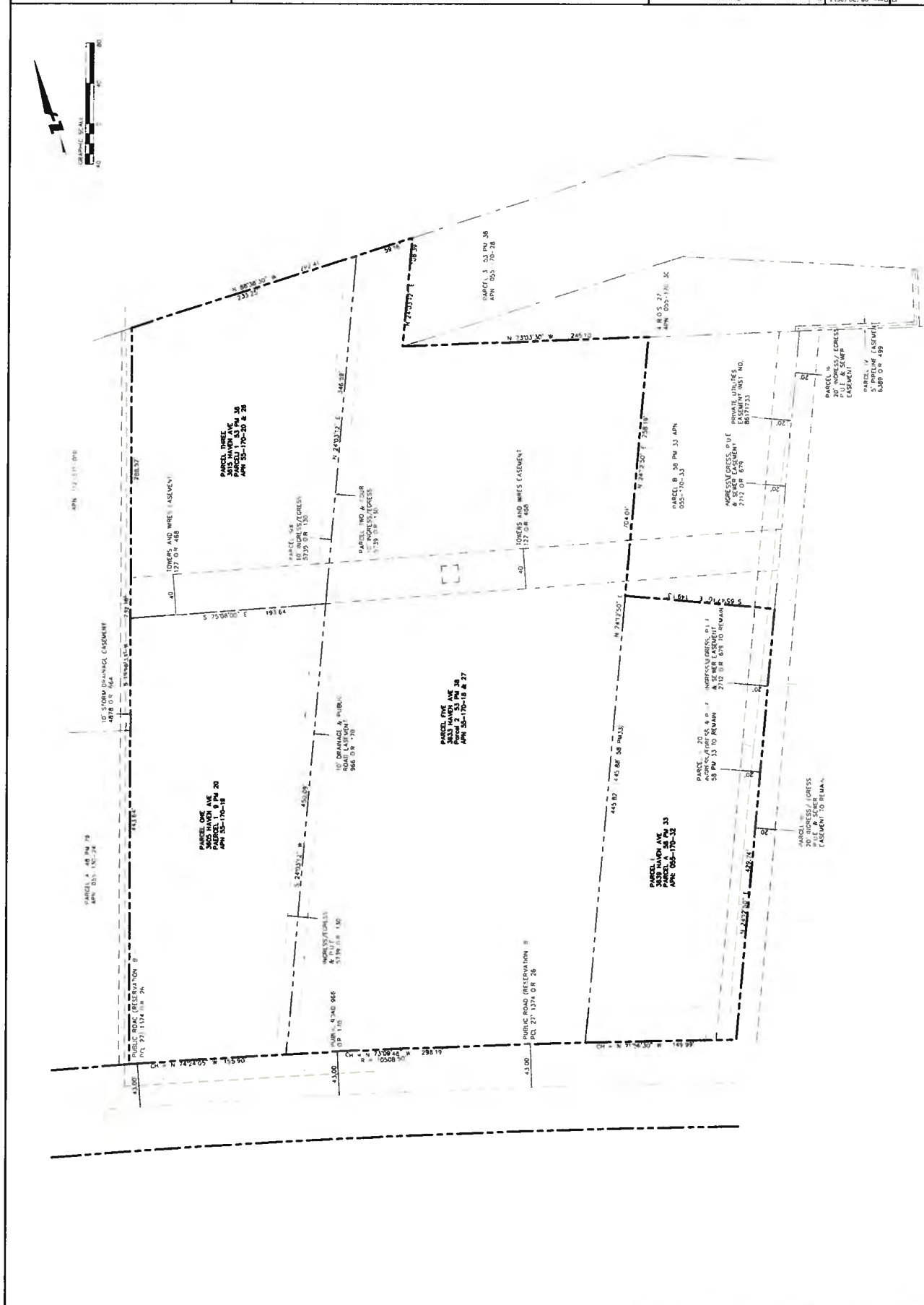
EASTON, WALTER, P.E.
PROJECT MANAGER
E 861148 EXP 12/31/14
BRI ENGINEERS



B62

**ANTON MENLO PARK
ZONING COMPLIANCE REVIEW SET
EXISTING CONDITIONS**

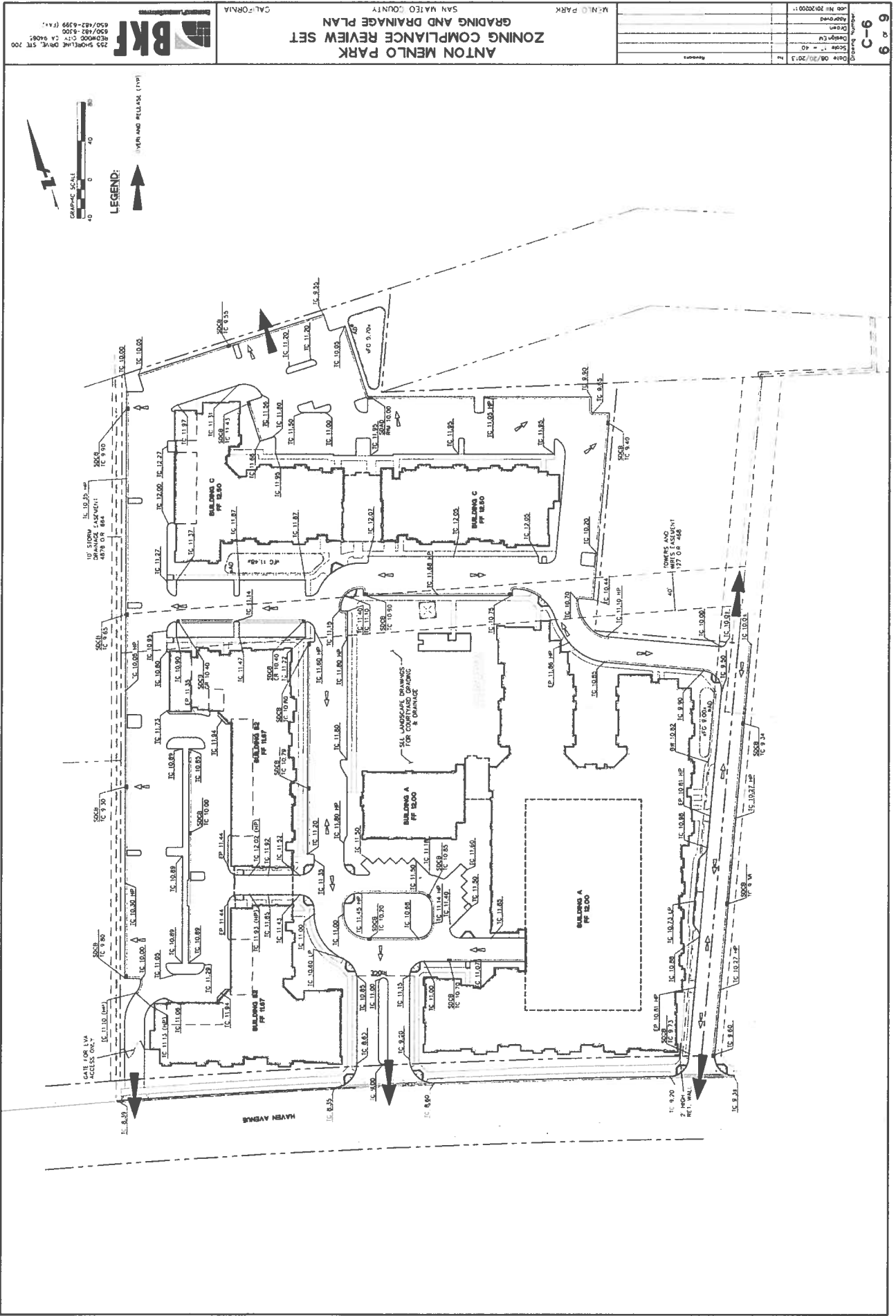
BKF
255 S. ORCHARD DRIVE, SUITE 200
REDWOOD CITY, CA 94065
650/482-6300
650/482-6599 (FAX)

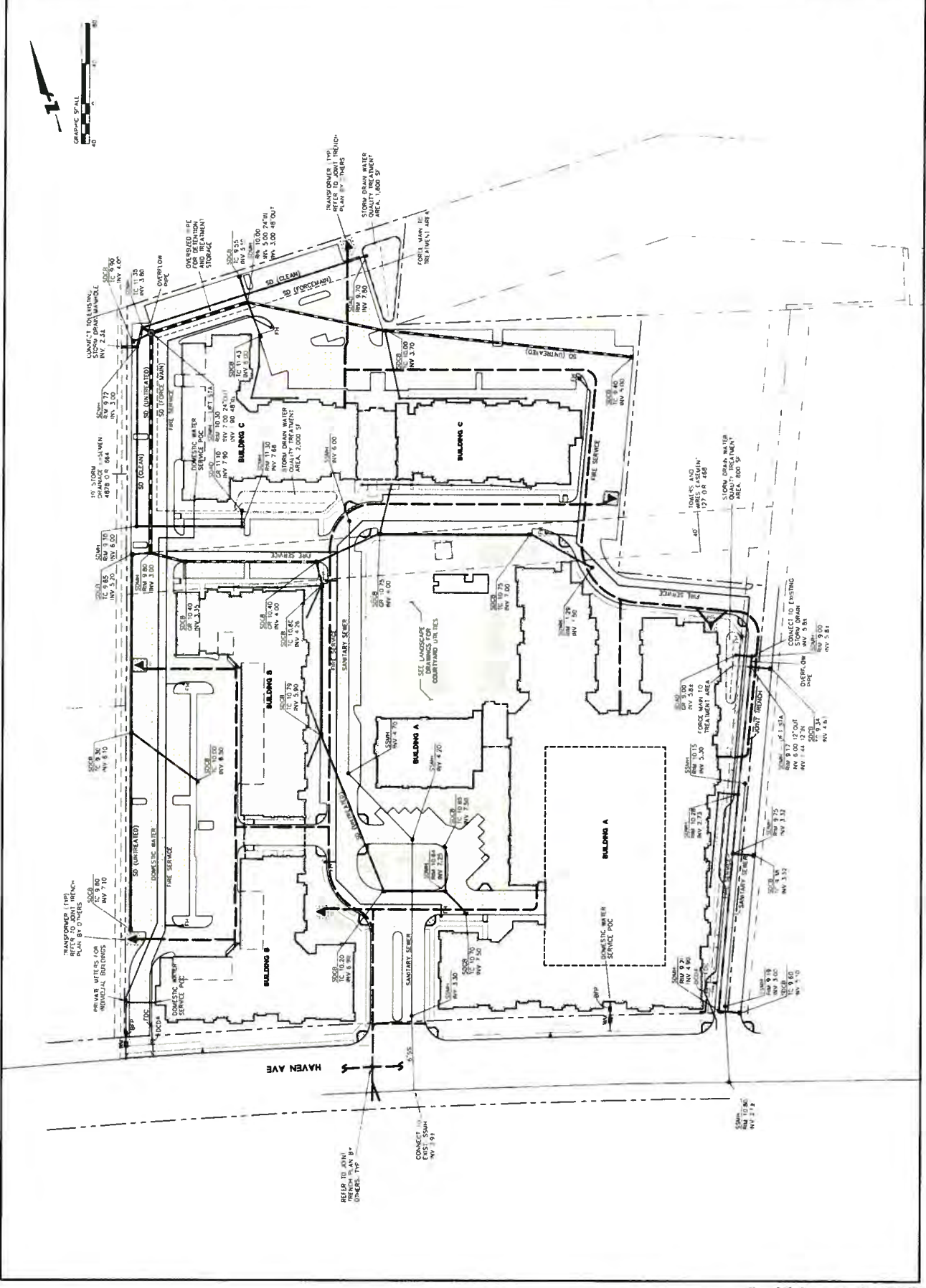


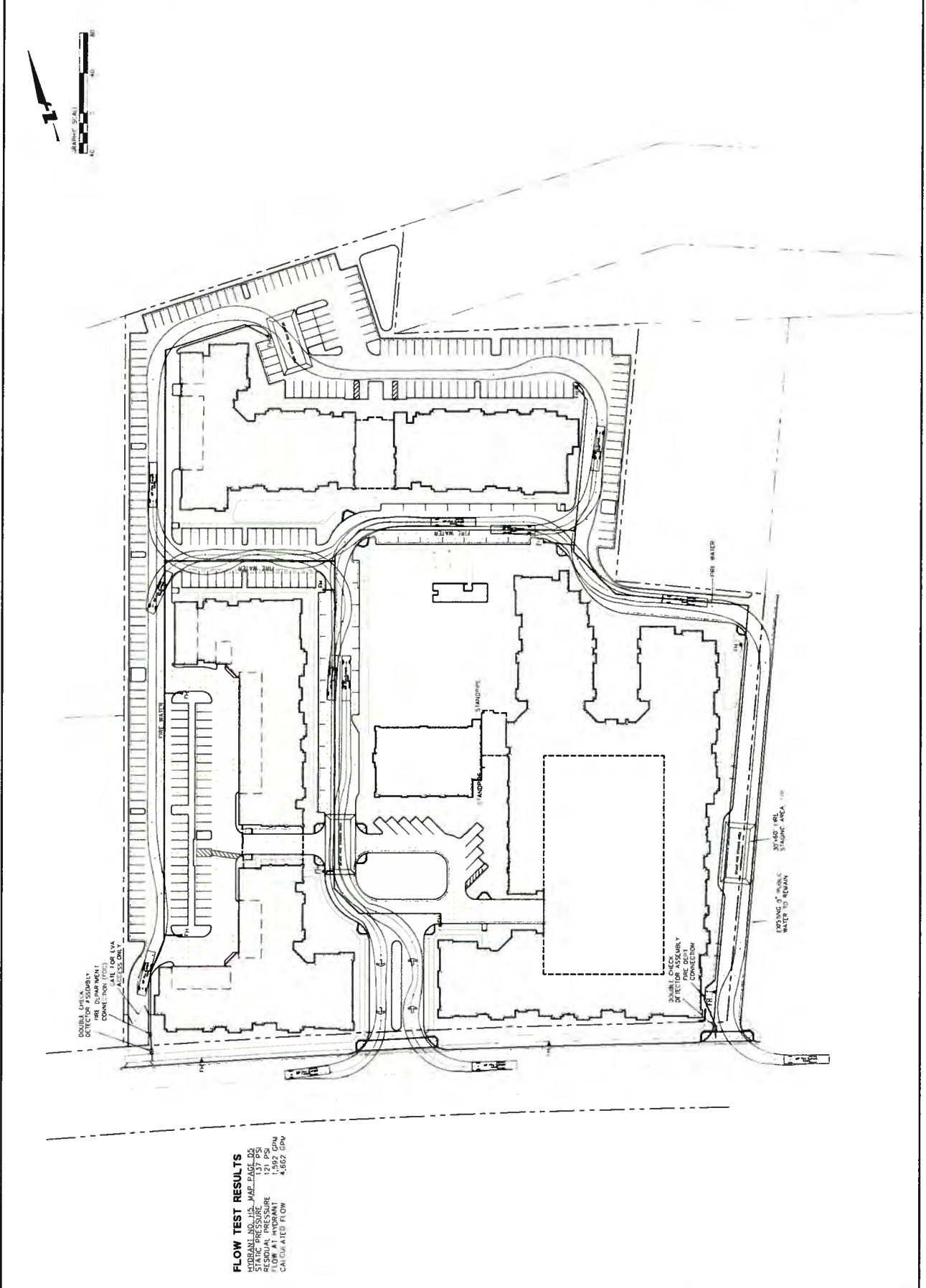
B63

(B64

B66







FLOW TEST RESULTS
HYDRANT NO. 110 - JAE PAGE 02
FLOWS: 1,592 GPM
RESIDUAL PRESSURE: 121 PSI
FLOW AT HYDRANT: 1,592 GPM
CALCULATED FLOW: 4,662 GPM



B98

PERSONNEL		OFFICE OF THE DIRECTOR OF THE FBI					
NO.	DATE	1	2	3	4	5	6
REVISION							

BASIS OF BEARINGS:
THE EAST LINE OF PARCEL 2, AS SHOWN
ON BOOK 13 OF PARCELS MAP, PAGE 36,
TAXED AS
3.1750' E. AND WAS ESTABLISHED
FROM FOUND MONUMENTS SHOWN
THEREON.

DATE: 1-10-12
SCALE: 1" = 40'
SHEET 1 OF 1
FIELD BOOK:
DRAWING NO.
DESIGNED BY: A. Zarbo

URVEY

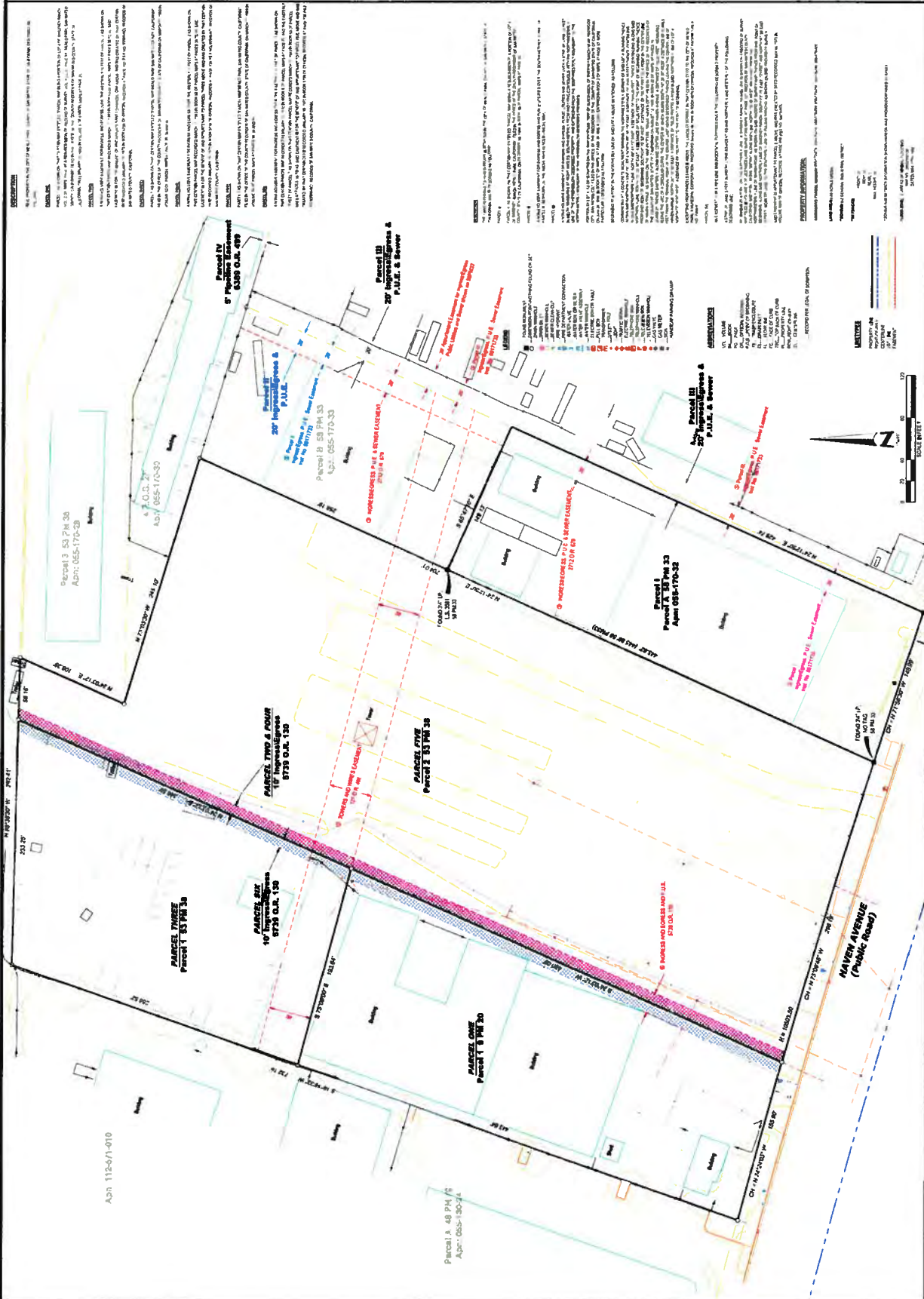
AND TITLE
Prepared for
Anton
PARTNERS
PROJECT
105 Haven Avenue
County of
California

3615 & 3616
City of Menlo Park

 Morrow

1255 Starboard Drive
West Sacramento - CA - 95691
Phone: 916-372-8124
Fax: 916-372-6538

www.monstersurveying.com





ANTON
MENLO PARK PARTNERS

St. Anton
PARTNERS
St. Anton Partners
18011 Street, Suite 200
Sacramento, California 95811
916.400.2072

SITE PLAN EXHIBIT

MENLO PARK, CALIFORNIA
JOB # 101-207
REV. 10/11

KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



B71



RECEIVED

OCT 03 2013

CITY OF MENLO PARK
BUILDING

T1.0



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ktgy.com

COVER SHEET

MENLO PARK, CALIFORNIA
REV # 2013-0109

10.02.2013

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Sacramento, California 95811
PARTNERS 916.400.2072

St. Anton

CI



Bird's Eye Looking North

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MENLO PARK, CALIFORNIA

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Sacramento, California 95811
916.400.2072

RENDERINGS

MENLO PARK, CALIFORNIA
REV # 2012-079

08.03.2012

KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



A7.0

C2



Bird's Eye Looking East

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RENDERINGS

MENLO PARK, CALIFORNIA
FIG # 2013-079

(18.0.2013)

A7.J



KTGY Group, Inc.
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17822 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

C3



Bird's Eye Looking East

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916.400.2072

St. Anton
PARTNERS

CA

RENDERINGS

MENLO PARK, CALIFORNIA
REV # 2012-0179

10.02.2012

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A7.2



Town Square

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MENLO PARK

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St. Anton
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RENDERINGS

MENLO PARK, CALIFORNIA
SOF # 2012-079

1802.001

A7.3



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Architecture+Planning
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Irvine, CA 92614
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ktgy.com

C5



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RENDERINGS

MENLO PARK, CALIFORNIA
REV # 2012-079

10.12.2010

A7.4



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ktgy.com

C6



Building A at Haven Ave.

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PARTNERS
St. Anton Partners
1801 I Street, Suite 200
Sacramento, California 95811
916.400.2072

RENDERINGS

MENLO PARK, CALIFORNIA
REV # 001-001

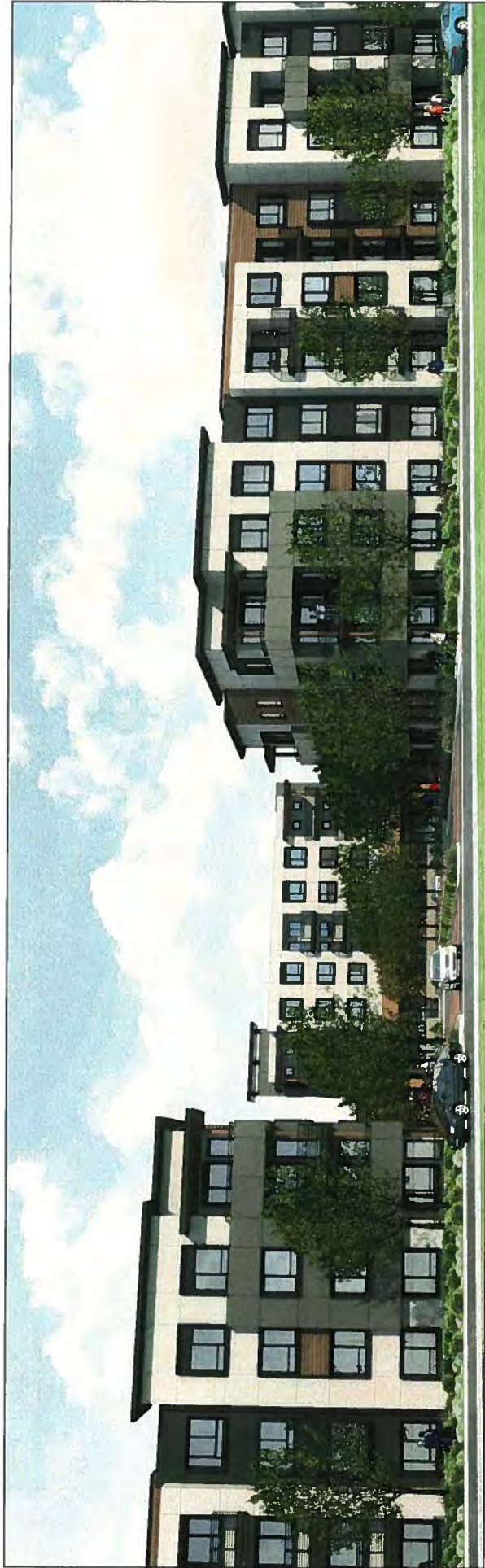
(M2L3M)

A7.5



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Irvine, CA 92614
949.851.2133
ktgy.com

C7



Project Entry

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916.400.2072

St•Anton
P A R T N E R S

C8

RENDERINGS

MENLO PARK, CALIFORNIA
ENG # 2013-079

08.02.2013

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A7.6



Building A at Entry Drive

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RENDERINGS

MENLO PARK, CALIFORNIA
DEC # 2017-079

1802.381

A7.1



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Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

C9

R-4-S Compliance Review Checklist

	Does the project meet the requirement?			If no, please explain the proposed modification and reason for the request.	If yes, list the plan sheet(s) where the development regulation is met
	Y	N	N/A		
16.23.050 Development Regulations					
Minimum Lot Area: 20,000 sf.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheet A1.0
Minimum Lot Width: 100 ft.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheet C-4
Minimum Lot Depth: 100 ft.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheet C-4
Minimum Density: 20 du/ac	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Maximum Density: 30 du/ac	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Requesting application of SDBL; will provide 38 low income units	
Minimum Front Yard: 10 ft.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	2'5" to balcony, 5'1" to building from PL	Sheet A1.0
Minimum Interior Side Yard: 10 ft., except may be reduced to 5 ft. abutting a private access easement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Balcony encroaches; ok per design standard	Sheet A1.0
Minimum Corner Side Yard: 10 ft.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Minimum Rear Yard: 10 ft.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheet A1.0
Maximum Floor Area Ratio: Increase on an even gradient from 60% for 20 du/ac to 90% for 30 du/ac	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	118%; State Density Bonus waiver	Sheet A1.0
Maximum Building Coverage: 40%	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	45.2%; State Density Bonus waiver	Sheet A6.1a & A6.1b
Minimum Open Space (Landscaping): 25%	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	27.8%	Sheet L1.2
Maximum building height: 40 ft.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	57' 9"; State Density Bonus waiver/increased heights for stairs and parapets are ok	Sheet A4.0 to 4.8
Building Profile: Starting at a height of 25 feet, a 45-degree building profile shall be set at the minimum setback line contiguous with a public right-of-way or single-family zoned property.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Request to eliminate; State Density Bonus incentive	Sheet A6.0
Parking					
Vehicular: 2 spaces for units w/ 2 or more bedrooms; 1.5 spaces for 1 bedroom unit; 1 space per studio. Spaces cannot be located in required front yard setbacks or in tandem.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheet A1.0
Electric Vehicle: A minimum of 3 percent of the required number of parking spaces shall provide dedicated electric vehicle/plug-in hybrid electric charging stations and a minimum of 2 percent of the required number of parking spaces shall be pre-wired for such equipment.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheet A1.0, A3.0a & A3.0b

R-4-S Compliance Review Checklist

	Does the project meet the requirement?			If no, please explain the proposed modification and reason for the request.	If yes, list the plan sheet(s) where the development regulation is met
	Y	N	N/A		
Bicycle Long term – 1 space per unit where a private garage (per unit) is not provided Short term (visitor) – 1 space per every 10 units	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		Sheet A3.0b, A3.5, A3.10 Sheet L1.0
16.23.060 Mitigation Monitoring					
All development within the R-4-S zoning district shall comply, at a minimum, with the Mitigation Monitoring and Report Program (MMRP) established through Resolution No. 6149 associated with the Housing Element Update, General Plan Consistency Update, and Zoning Ordinance Amendments Environmental Assessment prepared for the Housing Element adopted on twenty-first day of May, 2013.					
16.23.070 Design Standards					
(1) Building Setbacks and Projections within Setbacks					
1a. Min. of one (1) 15 gallon tree per 20 linear feet for the length of the property frontage along a public right-of-way.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Request for setback waiver	Sheet L1.0
1b. Existing trees in the ROW shall count towards the minimum tree requirement for that frontage.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
1c. Min. of one (1) 15 gallon tree per 40 linear feet of property frontage not along a public right-of-way.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheet L1.0
2. Building projections, such as balconies and bay windows, at or above the 2 nd floor shall not project more than 5 feet into the setback area.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Sheet A1.0
3. Where a property is contiguous with a single-family zoned property, no projections into the setback are permitted for balconies or decks at or above the second floor.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		



R-4-S Compliance Review Checklist

		Does the project meet the requirement?			If no, please explain the proposed modification and reason for the request.	If yes, list the plan sheet(s) where the development regulation is met
		Y	N	N/A		
4.	The total of all horizontal and vertical projections shall not exceed 35% of the building façade area, and no one projection shall exceed 15% of the façade area on which the projections are located. Where such projections enclose interior living space, 85 percent of the vertical surface of the projection shall be windows or glazed.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheet A6.15
(2) Façade Modulation and Treatment						
1.	Building façades facing public rights-of-way or public open spaces shall not exceed 50 feet in length without a minor building façade modulation. At a minimum of every 35 feet of façade length, the minor vertical façade modulation shall be a minimum 2 feet deep by 5 feet wide recess or a minimum 2 foot setback of the building plane from the primary building façade.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Request State Density Bonus Law waiver	Sheet A6.0
2.	Building façades facing public rights-of-way or public open spaces shall not exceed 100 feet in length without a major building facade modulation. At a minimum of every 75 feet of façade length, a major vertical façade modulation shall be a minimum of 6 feet deep by 20 feet wide recess or a minimum 6 foot setback of building plane from primary building façade for the full height of the building.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Request State Density Bonus Law waiver	Sheet A6.0
3.	In addition, the major building façade modulation shall be accompanied with a 4 foot minimum height modulation and a major change in fenestration pattern, material and/or color.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Request State Density Bonus Law waiver	Sheet A6.0
(3) Building Profile						
1.	The façade of a building shall be limited to one major step back.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

R-4-S Compliance Review Checklist

		Does the project meet the requirement?			If no, please explain the proposed modification and reason for the request.	If yes, list the plan sheet(s) where the development regulation is met
		Y	N	N/A		
2.	Horizontal building and architectural projections, like balconies, bay windows, dormer windows beyond the 45-degree building profile shall comply with the standards for Building Setbacks & Projections within Setbacks section and shall be architecturally integrated into the design of the building.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Request State Density Bonus Law incentive	Sheets A2.0-2.4
3.	Vertical building projections like parapets and balcony railings shall not extend more than 4 feet beyond the 45-degree building profile and shall be architecturally integrated into the design of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
4.	Rooftop elements that may need to extend beyond the 45-degree building profile due to their function, such as stair and elevator towers, shall be architecturally integrated into the design of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		

(4) Height

1.	Vertical building projections such as parapets and balcony railings may extend up to 4 feet beyond the maximum building height, and shall be architecturally integrated into the design of the building.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Request height waiver	Sheets A4.0 to A4.8
2.	Rooftop elements that may need to exceed the maximum building height due to their function, such as stair and elevator towers, shall not exceed 14 feet beyond the maximum building height. Such rooftop elements shall be architecturally integrated into the design of the building.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheets A2.0 to A2.4
3.	Towers, cupolas, spires, chimneys, and other architectural features not exceeding 10 percent of the roof area may exceed the maximum building height limit by a maximum of 10 feet. Such rooftop elements shall be architecturally integrated into the design of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		

R-4-S Compliance Review Checklist

		Does the project meet the requirement?			If no, please explain the proposed modification and reason for the request.	If yes, list the plan sheet(s) where the development regulation is met
		Y	N	N/A		
(5) External Materials						
1.	Buildings shall be designed and incorporate materials that discourage graffiti. Windows, doors, and small architectural features are exempt from this requirement.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheets A2.0 to A2.4 and L1.0
2.	All external stucco shall be completed in textures that are smooth, sanded, or fine-scraped. Heavy-figuring or rough cast stucco are not permitted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		See color and materials board
3.	Stucco on the external façade shall be limited to no more than 80% of the entire area of an elevation, inclusive of all windows and doors.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheets A6.25a to Sheet A6.27b
4.	All external windows where in solid walls shall be inset by a minimum of 2 inches from the face of the external finishes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheets A8.1 and A8.2
5.	When simulated divided light windows are included in a development, the windows shall include mullions on the exterior of the glazing and contain internal dividers (spacer bars) between the window panes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheets A8.1 and A8.2
(6) Building Entries						
1.	When a residential building is adjacent to a public street or other public space, the building shall provide entries, access points or features oriented to the street that are visible from the public right-of-way or public space and provide visual cues to denote access into the building. For larger residential buildings with shared entries, the main entry shall be through prominent entry lobbies or central courtyards facing the street.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheets A1.0, 2.0 to 2.4

R-4-S Compliance Review Checklist

		Does the project meet the requirement?			If no, please explain the proposed modification and reason for the request.	If yes, list the plan sheet(s) where the development regulation is met
		Y	N	N/A		
(7) Open Space						
1.	Residential developments shall have a minimum of 100 square feet of open space per unit created as common open space or a minimum of 80 square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of 6 feet by 6 feet. In case of a mix of private and common open space, such common open space shall be provided at a ratio equal to 1.25 square feet for each one square foot of private open space that is not provided.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		L1.3
2.	Depending on the number of dwelling units, common open space shall be provided to meet the following criteria:					
i.	10-50 units: Minimum of one space, 20 feet minimum dimension (400 sf. total, minimum).	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
ii.	51-100 units: Minimum of one space, 30 feet minimum dimension (900 sf. total, minimum).	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
iii.	101 or more units: Minimum of one space, 40 feet minimum dimension (1,600 sf. total, minimum).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheet L1.3
(8) Parking – See Development Regulations						
(9) Bicycle Parking						
1.	Each long term bicycle parking space shall consist of a locker or locked enclosure, such as a secure room or controlled access area, providing protection for each bicycle from theft, vandalism and weather. A private locked storage unit that can accommodate a bicycle satisfies this requirement. Within a common residential building garage, bicycle parking shall be located within 40 feet of common access points into the building.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheets A3.0b, A3.5 and A3.10

R-4-S Compliance Review Checklist

		Does the project meet the requirement?			If no, please explain the proposed modification and reason for the request.	If yes, list the plan sheet(s) where the development regulation is met
		Y	N	N/A		
2.	Short-term bicycle parking shall consist of a bicycle rack or racks at street level and is meant to accommodate visitors.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheet L1.0
3.	Bicycle parking facilities shall not impede pedestrian or vehicular circulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
(10) Shade and Shadow						
1.	Development shall be designed so that shadow impacts on adjacent shadow-sensitive uses (e.g. residential, recreational, churches, schools, outdoor restaurants, historic buildings, and pedestrian areas) are minimized to the best extent possible. Shadow-sensitive uses shall not be shaded by project-related structure for more than three hours between the hours of 9:00 a.m. and 3:00 p.m. Pacific Standard Time (between late October and early April), or for more than four hours between the hours of 9:00 a.m. and 5:00 p.m. Pacific Daylight Time (between early April and late October).	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
(11) Lighting						
1.	Exterior lighting fixtures shall use fixtures with low cut-off angles, appropriately positioned, to minimize glare into dwelling units and light pollution into the night sky.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Sheet ES-1 to ES-3
2.	Lighting in parking garages shall be screened and controlled so as not to disturb surrounding properties, but shall ensure adequate public security.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		ES-2



PLANNING COMMISSION EXCERPT MINUTES

Regular Meeting
October 7, 2013 at 7:00 p.m.
City Council Chambers
701 Laurel Street, Menlo Park, CA 94025

CALL TO ORDER – 7:03 p.m.

ROLL CALL – Bressler (arrived 7:05 p.m.), Eiref (Vice Chair - absent), Ferrick, Kadwany (Chair), Onken, Riggs, Strehl

INTRODUCTION OF STAFF – Deanna Chow, Senior Planner; Rachel Grossman, Associate Planner; Arlinda Heineck, Community Development Director; Kyle Perata, Assistant Planner; Leigh Prince, City Attorney; Thomas Rogers, Senior Planner

E. STUDY SESSION ITEM

- E1. Study Session for Compliance Review/St. Anton Partners/3605-3639 Haven Avenue:** Study session to review the architectural design of a 393 unit, multi-family residential development relative to the design standards and design guidelines of the R-4-S (AHO) (High Density Residential, Special – Affordable Housing Overlay) zoning district. The Planning Commission's review is advisory only and will be taken into consideration as part of the Community Development Director's determination of whether the proposal is in compliance with the R-4-S development regulations and design standards. The proposal includes application of State Density Bonus Law, which provides a density bonus for providing on-site affordable units and allows modifications to development standards and/or architectural requirements.

Staff Comment: Planner Chow said this was an opportunity for the Commission and public to provide feedback on the proposed project's compliance with the District R-4-S guidelines. She said the Planning Commission's review was advisory only and would be taken into consideration as part of the Community Development Director's determination of whether the proposal was in compliance with the R-4-S development regulations and design standards. She said the determination of the Community Development Director was final and not subject to appeal. She noted a colors and materials board had been distributed for the Commission's review. She restated the proposed outline shown on page 12 of the staff report for conducting the meeting:

- Project Presentation by Applicant
- Commission Questions on Project Proposal
- Public Comment on Project Proposal

- Commission Comments on Project Proposal

Public Comment: Mr. Ardie Zahedani, St. Anton Partners, introduced Ms. Rachael Green, project manager, Mr. Ben Seeger and Mr. Keith Labus, KTG Architects, David Johnson, community advocate, and Mr. Steve Eggert and Mr. Peter Geremia, co-founders of St. Anton Partners. He said the firm develops, builds, and manages 6,500 apartment buildings all of which were located in California. He said the housing being proposed was in close proximity to Facebook, a major employer, and Menlo Gateway, a future potential major employer and noted the community context map. He said this was a 393-unit complex that was well parked and well circulated and provided a number of options for open space and amenities. He noted the wrap parking and also private garages and carports. He said there were 363 parking spaces in the wrap, and that the Town Center and area known as the “Backyard” had many amenities.

Ms. Green said onsite amenities would include a coffee café, sports lounge, full club room with chef kitchen, convenience store, and bicycle shop. She said the project would have all of the core amenities in one location with intent of creating a sense of community and reducing traffic trips. She said the project design was contemporary transitional and had clean lines, modern forms, and warm wood tones. She said it would be consistent with sustainable multi-family green point rated development and exceed Title 24 standards. She said they would use green labeled paints and stains, carpets and flooring, and LED energy efficient lighting and recycled building materials. She showed the site plan of three buildings located around the open spaces. She said the “Backyard” concept included the swimming pool, spa, bocce ball court, dog park, outdoor dining facilities and roof deck, all of which were available for tenants to use for private parties. She noted that the Town Center would offer a location for a shuttle pickup and dropoff. She said the units were studio, one, two and three bedrooms with designer interiors.

Commissioner Ferrick asked about the textured stucco on the materials board. She said it was damaged and wondered how well it would weather on the buildings. Ms. Green said the materials were wrapped together and probably rubbed against each other. She said the full stucco would be durable.

Chair Kadvany said the staff report discussed the placement of some units in center building and amenities center. Ms. Green said there were three units located on the fourth floor on top of the amenities portion of Building A that exceed the density bonus equivalent calculation or alternative onsite height. She said they needed another four feet of height for those units. She said also it was a flood zone area and the buildings would be raised above the flood plane.

Mr. Keith Labus, KTG Group, said the units had been located in the center so they would not impact surrounding sites. He said they looked at relocating the three units without impacting the project adversely but were not able to accomplish that. Replying

to a question from Chair Kadvany, Mr. Labus said one of the units was a one-bedroom and two units were two-bedrooms.

Chair Kadvany asked about parking ratios. Mr. Zahedani said the firm's experience in managing nearly 6,500 apartment buildings has shown them that being slightly over-parked was a benefit for the community and surrounding areas. Chair Kadvany said he asked as he thought there was a possibility of freeing up area for more open space.

Commissioner Strehl asked if the shuttle service would be provided by employers or the complex. Mr. Zahedani said the infrastructure would be in place and it was master planned for others to provide shuttle service. Commissioner Strehl asked about transit through the complex. Mr. Zahedani said there was a nearby transit stop on Haven Avenue outside of the project area. Commissioner Strehl said each unit had its own washer and dryer and asked about water reclamation. Mr. Zahedani said they have energy efficient appliances and were applying green standards. He said he did not have water usage numbers at this time. Commissioner Strehl asked if they had a market analysis of who the tenants would be. Mr. Zahedani said they had done three marketing analyses which had indicated there was a major job/housing imbalance in the area. Commissioner Strehl asked about rental amounts. Mr. Zahedani said there would be 53 units rent restricted to low income and the other units would be market rate.

Commissioner Ferrick asked if there were rain collector or gray water collector systems planned. Mr. Zahedani said there were none. Commissioner Ferrick asked about flooding in winter. Mr. Zahedani said they were raising the platform two to three feet to prevent impacts.

Commissioner Riggs suggested they might want to look at collecting and treating the washing machine discharge water for landscaping use. He asked if parking was included in the unit lease or if it was unbundled. Ms. Green said in Building A parking was bundled with the unit. She said elsewhere on the site there was an opportunity to rent additional garage or included in the rent was parking available in open carport spaces.

Commissioner Bressler asked how the design guidelines informed this project. Mr. Zahedani said that the modulation guidelines forced them to accomplish many more undulations on the elevations.

Mr. Steven Bitler, Menlo Park resident, said he was also representing Lantec Corporation, located adjacent to this site. He noted the business had been located there 25 years. He asked if there was some estimate of the timing of the occupancy and if that was part of the record.

Chair Kadvany said he thought the target was two years. Planner Chow indicated the target completion date was 2016.

Mr. Bitler said every year the streets in the area flood noting a bridge and draining area and asked how that would be mitigated for the project. He said small companies in the area can send employees home early if there was flooding. He said with flooding there reached a point when it was no longer possible to drive a car through the water. He said there consideration for mitigation was odor from the landfill at the end of Marsh Road, which he said dependent upon the wind might travel in any direction. He asked what the responsibility of the City would be for these issues and their mitigation for these new residents of Menlo Park. He said he did not think flooding and odor impact had been considered fully as part of this project development.

Chair Kadvany closed the public comment period.

Commission Comment: Chair Kadvany asked if staff had any information related to the speaker's questions. Planner Chow said part of the larger Housing Element environmental assessment flooding would have been reviewed under hydrology and water quality. She said the City was looking at doing something with the City of Redwood City on the Atherton Channel to address flooding along Haven Avenue. She said in her and City Attorney Prince's recollection the issue of odors from the landfill had not been raised as part of the larger Housing Element environmental assessment.

Commissioner Bressler said that the Commission was only advisory on this project and this was being forced upon the City by the State as part of the Housing Element. He said the question was what the City's liability would be and whether it would be greater because of the existing flooding and odor problems.

Ms. Prince, City Attorney, said she did not think the City had additional liability related to the speaker's comments. She said the environmental impacts and mitigations associated with rezoning this site to the R-4-S (AHO) were considered, and now the applicant was bringing a project that fit within that zoning.

Chair Kadvany said with people living there that the responsibility might devolve to the City.

Commissioner Riggs said he did not think odor would be a problem based on the usual wind patterns in the area. He said flooding was an issue but it was an opportunity for a solution to develop between the Cities of Redwood City and Menlo Park. He said 393 parking spaces and associated traffic would have impacts on local traffic. He said he had concern with Marsh Road as one of the primary entrances to Menlo Park, and he suggested finding out from the City Council if the traffic impacts on Marsh Road were prioritized for resolution.

Commissioner Onken said students had presented plans to the Commission that connected this area to the rest of Menlo Park, which was not what this proposed

development would do. He said this proposal identified east-west connections but no north-south connections. He asked about traffic studies.

Planner Chow said there had been a traffic analysis as part of the environmental assessment and there were some traffic impacts identified as significant and unavoidable because much of the right of way was Caltrans owned. She said some identified impacts would be mitigated through Facebook or the Bohannon project if and when it moved forward. She said related to the St. Anton project proposal and other projects along Haven Avenue that there will be significant pedestrian and bicycle improvements made from Bayfront Park extending along Haven Avenue. She said they would like to include some of the north south connectivity in future planning for the area.

Commissioner Onken said there had been comments that this was a large and monotonous design which the architect had responded to with additional modulation. He thought perhaps it might be worth considering making the amenity building different from the rest of the proposal or making additional modulations. He said the materials indicated it was one coat stucco, which was a very quickly applied, commercially favorable product. He said his concern was with how it would look in 10 to 15 years.

Ms. Green said their company repainted their apartment buildings every 10 to 15 years and were very pleased with the aesthetics of the project. Prompted by Commissioner Onken, Ms. Green said they were using vinyl coated windows.

Chair Kadvany said they were looking at getting true simulated divided light windows constructed. Ms. Green said they were looking at the Milgard Monarch product that was being manufactured for them. Commissioner Onken said there were no mullions. Ms. Green said the look of mullions was created by the framing of the windows.

Commissioner Ferrick said she liked the entry area and Town Square area, the variety of amenities, and common space area. She said the buildings were handsome and she appreciated the wood trim that warmed the stucco. She urged them to consider good water use and flood protection, water use and reuse.

Commissioner Strehl asked about traffic as the site was isolated and there were no grocery stores in the area. Ms. Green said there was a convenience store that was not for regular grocery shopping. Planner Chow said the amenities were intended for residents only and not for members of the public to travel to the site.

Chair Kadvany said he liked the wood trim accents and the window design. He suggested that there might be ways to individuate space, areas, and planes.

Commissioner Riggs asked what they do when the plastic wood trim hazes. Ms. Green said it was not plastic but a recycled material called Resista that had been used in Asia for about 30 years. She said they were able to look at the material in a harbor building in Hong Kong where it had been for about 20 years and which still had its original color.

Commissioner Riggs said the ratio of benefits did not support the additional height requested and asked if there was the potential of a waiver. Planner Chow said the applicant was asking for a waiver. She said the maximum allowable height was 40 feet, the bonus density height was 54-feet one-inch and the applicant was requesting for the three units on top of the main amenities building a height of 57-feet nine-inches. She said to grant a waiver it needed to be determined that without the additional height the development would be precluded. She said they were looking at additional information from the applicant and guidance from the Commission.

Mr. Zahedani said the site was 9.69 acres, which allowed for 40 units per acre based on density bonus and underlying zoning. He said they worked to spread the project over the entire area and the question was where they could put the last three units and have the least impact on either the neighbors or freeway. He said putting the units in the center achieved that. He said they looked at moving them to front on Haven Avenue or to remove some open space. He said there was also a 40-foot easement that bisected the project. He said they found no feasible way of moving those three units without detrimentally impacting the project. Commissioner Riggs asked if the removal of one of the two story amenities would make the project infeasible. Mr. Zahedani said that went back to the scope of the project and the need to have amenities on the site to create a neighborhood. He said in that area there was no sense of space and slicing those amenities would impact the character of the project.

Commissioner Ferrick said in serving on the Housing Element Steering Committee that they had observed the benefits of the site including bay views and proximities to big employers as well as the negatives as it was isolated, which was why traffic was a major concern. She said having the amenities onsite would go a long way toward making this a viable community and attract other things like a grocery store on another site. She said she did not know if the three units were needed for the project to be fiscally feasible but where they were planned would have the least impact. She said being concerned about the flood plane that having the site raised did not bother her. She said also this project would have a good impact on schools as Redwood City welcomed it. She said the bicycle and pedestrian improvements were intended to address traffic concerns.

Commissioner Onken said this was a very supportable project. He said regarding the three units on top of the amenities building that the project needed the greater height to be more dominant than the high voltage transmission line pylon.

Commissioner Ferrick said secured bike parking was provided outside but noted it was wise that each unit has a deck with enough space to keep a bicycle stored.

Commissioner Riggs said he would also support greater individuation of the central amenities buildings, and was glad the project would be built.

Chair Kadvany said there was the potential for different landscaping around the site to help with individuation of the site and forms.

In summary, the development was generally well received by the Planning Commission, highlighting the overall design, including the site layout with the town square, modulation of the buildings, and the use of varied common open spaces and the provision of on-site amenities. Members of the Commission also provided feedback for consideration, noting the desire for more distinction between buildings and spaces, particularly the amenities and common spaces, the potential for conversion of some of the additional parking spaces into common open space, and the creation of more visual cues with the use of differentiated landscaping. The Commission also commented on St. Anton's request for a waiver for additional height for three units situated on the top of the main amenities building. The Commission generally felt that the additional height would have the least physical impact to other components of the project and from an architectural sense, the height would help avoid monotony and distinguish the amenities building. The Planning Commission's review was advisory only and will be taken into consideration as part of the Community Development Director's determination on whether the proposal is in compliance with the R-4-S development regulations and design standards.

Chair Kadvany recessed the meeting for a short break.

Chair Kadvany reopened the meeting.

ADJOURNMENT

The meeting adjourned at 11:28 p.m.

Staff Liaison: Thomas Rogers, Senior Planner

Recording Secretary: Brenda Bennett

Approved by the Planning Commission on November 4, 2013



Community Development Department

November 20, 2013

Rachel Green
St. Anton Partners
1801 I Street, Ste. 200
Sacramento, CA 95811

Dear Ms. Green:

**SUBJECT: STATE DENSITY BONUS DETERMINATION AND R-4-S COMPLIANCE REVIEW
FOR 3639 HAVEN AVENUE (ANTON MENLO RESIDENTIAL)**

The City has conducted its compliance review of the proposed 393-unit residential development and associated on-site amenities located at 3639 Haven Avenue. The proposal includes the application of the City's State Density Bonus Ordinance, which provides a density bonus for developing on-site affordable units and allows modifications to development standards and/or architectural requirements. Concurrent with the compliance review process for the R-4-S zoning district, the City reviewed the request for application of the State Density Bonus Ordinance.

On October 7, 2013, the Planning Commission completed its study session on the proposal, which is a required step in the R-4-S compliance review process. The City has taken the Commission's comments into consideration, and has determined that the proposed residential development is in compliance, subject to conditions outlined below, with the R-4-S zoning district requirements and deems that the requested incentive and waivers meet the thresholds of the State Density Bonus Law and are necessary to make the proposed 38 affordable units (low income) economically feasible and to make the construction of the project physically possible. The conditions of approval are as follows:

1. Removal of extra residential unit: The proposed design contains 394 residential units where the maximum number of dwelling units is 393. Per previous communication on this topic, the extra unit must be reconfigured and repurposed in a manner that would make the conversion of the space into habitable space practically infeasible (e.g. remove windows or reduce the size of the space such that living in the area would be difficult). While the extra unit can be combined with an existing unit, it cannot be used separately as a model unit.

If this issue has not been addressed as part of the initial building permit submittal, a conceptual plan showing how the issue is proposed to be resolved shall be submitted within **two weeks** from issuance of this compliance letter. The conceptual plans shall include, at a minimum, the affected floor plans and elevations, along with a detailed description of how the proposed change affects other elements of the project. Additional plans or information may be needed following the initial review. The conceptual plans

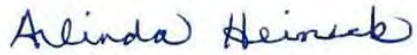
are subject to review and approval by the Community Development Director or his/her designee and the City Attorney before the Planning Division will begin its plan check of any building permit associated with the residential buildings, parking or amenity spaces. All comments from the applicable reviewing bodies and any modifications to the plans needed for the redesign to eliminate the 394th unit shall be addressed and incorporated into the building permit resubmittal package before the plans will be accepted for review.

2. Plan Set Consistency: Per the October 7, 2013 Planning Commission staff report, minor clean up items for internal consistency (e.g., consistency between elevations and cross-sections) within the plan set are needed. As part of the initial building permit submittal, please address how the inconsistencies have been resolved. The consistency review will occur concurrently with the building permit plan review, and any discrepancies will need to be reconciled.
3. Verification of R-4-S Zoning District Requirements: All elements of the project will need to comply with the R-4-S development regulations and design requirements, with the exception of the front setback, floor area ratio, building coverage, building height, building profile, and façade modulation which were requested as an incentive and waivers as described in the Planning Commission staff report of October 7, 2013. Concurrent with the building permit plan review, staff will verify that all components of the proposal are in compliance with the R-4-S zoning requirements.
4. Substantial Conformance: Staff recognizes that changes to the plans will need to occur to reflect modifications to address item #1 above, and may need to be refined to address building code requirements and/or market trends. The plans submitted for building permits should generally be in substantial conformance with the plans submitted to the City and presented to the Planning Commission on October 7, 2013. All changes from the October 7, 2013 plans shall be documented in a separate letter, and shall indicate the reason for the proposed modification (e.g., to comply with building code, product unavailability, etc.) Non-compliance with either a R-4-S development regulation or design standard that was not previously noted, or a substantial change in the architectural design and/or materials, site layout, unit mix, and/or on-site improvements and amenities may warrant a new compliance review process.
5. Affordable Housing Agreement: A draft Affordable Housing Agreement is currently under review. The Agreement, subject to approval by the St. Anton Partners and satisfaction of the City Attorney, shall be executed and recorded at the San Mateo County's Recorder's Office within **60 days** of issuance of this compliance letter. In no instance shall a building permit for the construction of any residential building be issued prior to execution of the agreement and documentation of recordation is submitted to the City.
6. Mitigation Monitoring: The proposed project is subject to the Transportation Impact Fee (TIF) and continued compliance with the Mitigation Monitoring and Report Program (MMRP) established through Resolution No. 6149. Mitigation measures AQ-1, AQ-2, GHG-1, HAZ-1, TR1-g, TR2-W outlined in the enclosed MMRP must continue to be met to proceed with issuance of a building permit.

A comprehensive building plan set, including at a minimum, all architectural, structural, mechanical, electrical, and plumbing details, shall be submitted for each of the proposed buildings for staff's review and approval. Revisions to drawings for clarity and/or supplemental drawings may be requested to verify the consistency, accuracy and compliance of the proposed plans with the R-4-S zoning requirements and previous submittals.

Should you have any questions regarding this letter or requirements of the R-4-S zoning district, please do not hesitate to contact Deanna Chow at (650) 330-6733 or dmchow@menlopark.org. We look forward to working with you through the building permit review process and construction phase.

Sincerely,

A handwritten signature in blue ink that reads "Arlinda Heineck". The signature is fluid and cursive, with the first name "Arlinda" and last name "Heineck" clearly distinguishable.

Arlinda Heineck
Community Development Director

Enclosure: Mitigation and Monitor Reporting Program