



PLANNING COMMISSION AGENDA

Regular Meeting
March 9, 2015 at 7:00 p.m.
City Council Chambers
701 Laurel Street, Menlo Park, CA 94025

CALL TO ORDER – 7:00 p.m.

ROLL CALL – Bressler, Combs, Eiref (Chair), Ferrick, Kadvany, Onken (Vice Chair), Strehl

INTRODUCTION OF STAFF – Deanna Chow, Senior Planner; Stephen O’Connell, Contract Planner; Kyle Perata, Associate Planner; Thomas Rogers, Senior Planner; Tom Smith, Associate Planner

A. REPORTS AND ANNOUNCEMENTS

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

- A1. Update on Pending Planning Items**
 - a. ConnectMenlo (General Plan Update)
 - i. Workshop #3 (March 12, 2015)
 - ii. Open House #3 (March 19, 2015)
 - b. City Council
 - i. 1400 El Camino Real Study Session (February 24, 2015)
 - ii. 1300 El Camino Real Status Report (February 24, 2015)

B. PUBLIC COMMENTS #1 (Limited to 30 minutes)

Under “Public Comments #1,” the public may address the Commission on any subject not listed on the agenda within the jurisdiction of the Commission and items listed under Consent. When you do so, please state your name and city or political jurisdiction in which you live for the record. The Commission cannot respond to non-agendized items other than to receive testimony and/or provide general information.

C. CONSENT

Items on the consent calendar are considered routine in nature, require no further discussion by the Planning Commission, and may be acted on in one motion unless a member of the Planning Commission or staff requests a separate discussion on an item.

- C1.** Approval of minutes from the February 9, 2015 Planning Commission meeting ([Attachment](#))
- C2. Architectural Control/Helen Peters/131 Forest Lane:** Request for architectural control to remove and replace exterior trim and stucco, remove and repair the underside and overhang of the balcony, and replace the front door on the front elevation of a townhouse located in the R-3 (Apartment) zoning district. ([Attachment](#))

D. PUBLIC HEARING

- D1. Use Permit and Variance/Jeanne Moeschler/1029 Ringwood Avenue:** Request for a use permit to construct single-story additions and conduct interior modifications to a single-story, single-family residence that would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal includes a request for a variance for an addition to encroach approximately three feet into the required 20-foot front setback. The subject parcel is located in the R-1-U (Single-Family Urban) zoning district. ([Attachment](#))
- D2. Use Permit/Natalie Hylund/810 University Drive:** Request for a use permit to demolish an existing single-story, single-family residence and detached accessory buildings, and construct a new two-story, single-family residence on a substandard lot with regard to lot width and lot area in the R-3 (Apartment) zoning district. ([Attachment](#))
- D3. Use Permit Revision and Architectural Control/Sharon Heights Golf and Country Club/2900 Sand Hill Road:** Request for a use permit revision and architectural control to allow an expansion of the clubhouse facilities, including an addition to the existing clubhouse building, demolition of an existing pool building, construction of a new pool building with indoor and outdoor dining areas, and construction of a new movement building for fitness classes and wellness activities at an existing golf and country club in the OSC (Open Space and Conservation) zoning district. As part of the proposed expansion, 10 regular parking stalls would be eliminated and replaced with 13 new tandem parking spaces. No changes are proposed to site's existing membership cap of 680 members. ***Continued from the meeting of February 23, 2015.*** ([Attachment](#))

E. REGULAR BUSINESS

- E1. Public Resources Code Section 21151.2 Review/Sequoia Union High School District/150 Jefferson Drive:** Consideration of a proposed public high school at 150 Jefferson Drive, in the M-2 (General Industrial) zoning district, with regard to Public Resources Code Section 21151.2. This code states that, to promote the safety of pupils and comprehensive community planning, the Planning Commission shall investigate a proposed school site and submit a report prior to the school governing board acquiring title to the property. On January 26, 2015, the Planning Commission conducted a General Plan conformity review regarding the same property. The overall school approval actions will be considered separately by the Sequoia Union High School District. ([Attachment](#))

F. COMMISSION BUSINESS – None

G. INFORMATION ITEMS - None

ADJOURNMENT

Future Planning Commission Meeting Schedule

Regular Meeting	March 23, 2015
Joint City Council	March 31, 2015
Regular Meeting	April 6, 2015
Regular Meeting	April 20, 2015
Regular Meeting	May 4, 2015
Regular Meeting	May 18, 2015

This Agenda is posted in accordance with Government Code Section §54954.2(a) or Section §54956. Members of the public can view electronic agendas and staff reports by accessing the City website at <http://www.menlopark.org/notifyme> and can receive email notification of agenda and staff report postings by subscribing to the "Notify Me" service on the City's homepage. Agendas and staff reports may also be obtained by contacting Vanh Malathong at 650-330-6736. (Posted: March 4, 2015)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the commission by any person in connection with an agenda item is a disclosable public record (subject to any exemption under the Public Records Act) and is available for inspection at The Community Development Department, Menlo Park City Hall, 701 Laurel Street, Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Planning Commission meetings, may contact the City Clerk at (650) 330-6600.

Planning Commission meetings are recorded and audio broadcast live. To listen to the live audio broadcast or to past recordings, go to www.menlopark.org/streaming.



PLANNING COMMISSION

Agenda and Meeting Information

The Planning Commission welcomes your attendance at and participation in this meeting. The City supports the rights of the public to be informed about meetings and to participate in the business of the City.

ASSISTANCE FOR PERSONS WITH DISABILITIES: Person with disabilities who require auxiliary aids or services in attending or participating in Planning Commission meetings, may call the Planning Division office at (650) 330-6702 prior to the meeting.

COMMISSION MEETING AGENDA AND REPORTS: Copies of the agenda and the staff reports with their respective plans are available prior to the meeting at the Planning Division counter in the Administration Building, and on the table at the rear of the meeting room during the Commission meeting. Members of the public can view or subscribe to receive future weekly agendas and staff reports in advance by e-mail by accessing the City website at <http://www.menlopark.org>.

MEETING TIME & LOCATION: Unless otherwise posted, the starting time of regular and study meetings is 7:00 p.m. in the City Council Chambers. Meetings will end no later than 11:30 p.m. unless extended at 10:30 p.m. by a three-fourths vote of the Commission.

PUBLIC TESTIMONY: Members of the public may directly address the Planning Commission on items of interest to the public that are within the subject matter jurisdiction of the Planning Commission. The City prefers that such matters be presented in writing at the earliest possible opportunity or by fax at (650) 327-1653, e-mail at planning.commission@menlopark.org, or hand delivery by 4:00 p.m. on the day of the meeting.

Speaker Request Cards: All members of the public, including project applicants, who wish to speak before the Planning Commission must complete a Speaker Request Card. The cards shall be completed and submitted to the Staff Liaison prior to the completion of the applicant's presentation on the particular agenda item. The cards can be found on the table at the rear of the meeting room.

Time Limit: Members of the public will have **three** minutes and applicants will have **five** minutes to address an item. Please present your comments clearly and concisely. Exceptions to the time limits shall be at the discretion of the Chair.

Use of Microphone: When you are recognized by the Chair, please move to the closest microphone, state your name and address, whom you represent, if not yourself, and the subject of your remarks.

DISORDERLY CONDUCT: Any person using profane, vulgar, loud or boisterous language at any meeting, or otherwise interrupting the proceedings, and who refuses to be seated or keep quiet when ordered to do so by the Chair or the Vice Chair is guilty of a misdemeanor. It shall be the duty of the Chief of Police or his/her designee, upon order of the presiding officer, to eject any person from the meeting room.

RESTROOMS: The entrance to the men's restroom is located outside the northeast corner of the Chamber. The women's restroom is located at the southeast corner of the Chamber.

If you have further questions about the Planning Commission meetings, please contact the Planning Division Office (650-330-6702) located in the Administration Building.



PLANNING COMMISSION DRAFT MINUTES

Regular Meeting
February 9, 2015 at 7:00 p.m.
City Council Chambers
701 Laurel Street, Menlo Park, CA 94025

CALL TO ORDER – 7:00 p.m.

ROLL CALL – Bressler, Combs, Eiref (Chair), Ferrick, Kadvany, Onken (Vice Chair), Strehl

INTRODUCTION OF STAFF – Deanna Chow, Senior Planner; Justin Murphy, Assistant Community Development Director (Absent); Kyle Perata, Associate Planner

A. REPORTS AND ANNOUNCEMENTS

A1. Update on Pending Planning Items

- a. 700 Oak Grove Avenue (Fire Station #6) – City Council (January 27, 2015)

Senior Planner Chow noted that the City Council adopted Ordinances for the rezoning of properties at 700 Oak Grove and 1231 Hoover Street an amendment related to the PF Zoning District at its January 27 meeting.

- b. Economic Development Goals – City Council (January 27, 2015)

Senior Planner Chow noted that the City Council approved the Economic Development Goals, subject to a minor modification to highlight the City's ownership of the downtown parking plazas.

- c. ConnectMenlo (General Plan Update)
 - i. GPAC Meeting #4 (January 28, 2015)
 - ii. GPAC Meeting #5 (February 12, 2015)

Senior Planner Chow provided an update on the past and upcoming GPAC meetings, which focused on the preliminary draft M-2 Area preferred land use alternative and the Draft Existing Conditions Reports.

B. PUBLIC COMMENTS #1 (Limited to 30 minutes)

There were no public comments.

C. CONSENT

Senior Planner Chow noted that some modifications to the minutes had been sent by email and distributed to the Commission at the dais. She said there were no additions to the staff reports or comment cards received for items C2 or C3.

Commissioner Strehl said for the minutes of the January 12, 2015 meeting that she recalled the Commission had prioritized their recommended projects for the Capital Improvement Program. She said they had listed downtown parking structures first, then El Camino Real Specific Plan improvements for east-west traffic, and lastly single-family residential development advisory guidelines. Chair Eiref noted that discussion was on page 6 of the draft minutes.

Commissioner Combs said he recalled discussion on prioritizing and he specifically recalled Commissioner Kadvany's suggestion to de-prioritize single-family residential development advisory guidelines. Chair Eiref confirmed with Commissioner Strehl that she wanted the bullets of #2 and #3 reversed in order from how they were currently shown.

Commissioner Strehl moved to approve the minutes with the modifications noted and approve items C2 and C3.

Commissioner Kadvany said he wanted to pull item C2 for discussion.

Commissioner Strehl modified her motion to approve the minutes with the modifications previously sent by email and as discussed this evening and approve item C3. Chair Eiref seconded the motion.

C1. Approval of minutes from the January 12, 2015 Planning Commission meeting
([Attachment](#))

Commission Action: Strehl/Eiref to approve with the following modifications.

- Page 6, 1st paragraph, 1st line: Replace "Commissioner's" with "Commissioners"
- Page 6, 2nd paragraph, 1st line: Replace "Commission Kadvany" with "Commissioner Kadvany"
- Page 6, 5th paragraph, bulleted list: Switch the order of items #2 and #3

Motion carried 7-0.

C2. Sign Review/Bow Wow Meow/654 Santa Cruz Avenue: Request for sign review for a new awning that would feature greater than 25 percent of the sign area in a bright orange color. In addition, the sign graphics would be located on the angled (non-vertical) portion of the awning. The signage would be located on an existing building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. ([Attachment](#))

Commissioner Kadvany asked for this item to be pulled from the consent agenda for discussion.

Staff Comment: Planner Perata said staff had no additions to the staff report.

Public Comment: Mr. Mitchell Bearg, business owner, said the awning was part of the business' branding. He said that big trees in front and on the side blocked the storefront from view. He provided the Commission with samples of the logo and the color orange used.

Commissioner Strehl asked if the orange for the awning was the same as the orange on the sign. Mr. Bearg said it was as close as they could get to with the products from Sunbrella.

Commissioner Kadvany asked if they had talked to other store owners and managers about the proposed awning. Mr. Bearg said he had talked to some managers and store owners and had not gotten any negative reaction. He said he was not able to get the attention of every manager or store owner about the proposed awning. He said his ongoing goal was to create an appealing storefront and streetscape.

Ms. Fran Dehn, Chamber of Commerce, said she had visited nearby businesses and found support for this proposed change. She noted recent color changes downtown such as Cheeky Monkey and Suzie's Cakes were liked by downtown merchants as they created a more lively-looking street façade.

Commissioner Onken moved to approve as recommended in the staff report. Commissioner Ferrick seconded the motion.

Commission Action: M/S Onken/Ferrick moved to approve as recommended in the staff report.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.
2. Make a finding that the sign is appropriate and compatible with the businesses and signage in the downtown area, and is consistent with the Design Guidelines for Signs.
3. Approve the sign review request subject to the following **standard** conditions of approval:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Brandon Silkscreen, dated received February 3, 2015, consisting of two plan sheets and approved by the Planning Commission on February 9, 2015, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. The applicant shall comply with all West Bay Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.

Motion carried 7-0.

C3. Architectural Control/Pauline Schley/2700 Sand Hill Road: Request for approval for architectural control for exterior modifications to the main entrance of an existing office building in the C-1-C (Administrative, Professional and Research District, Restrictive) zoning district, including the addition of new building coverage for an entry awning.
([Attachment](#))

Commission Action: M/S Strehl/Eiref to approve as recommended in the staff report.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:

- a. The general appearance of the structure is in keeping with the character of the neighborhood.
 - b. The development will not be detrimental to the harmonious and orderly growth of the City.
 - c. The development will not impair the desirability of investment or occupation in the neighborhood.
 - d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking.
 - e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.
3. Approve the architectural control request subject to the following **standard** conditions of approval:
- a. Development of the project shall be substantially in conformance with the plans prepared by AP+I Design, dated received January 22, 2015, consisting of six plan sheets and approved by the Planning Commission on February 9, 2015 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. The applicant shall comply with all West Bay Sanitary District, Menlo Park Fire Protection District, and utility companies regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval of the Planning, Engineering and Building Divisions. Landscaping shall properly screen all utility equipment that is installed outside of a building and that cannot be placed underground. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

Motion carried 7-0.

D. PUBLIC HEARING

There were none.

E. REGULAR BUSINESS

There were none.

F. COMMISSION BUSINESS

There were none.

G. INFORMATION ITEMS

G1. ConnectMenlo/City of Menlo Park: ConnectMenlo (General Plan and M-2 Area Zoning Update) Status Update ([Attachment](#))

Senior Planner Chow said this was an informational item to update the Commission on the status of the General Plan and M-2 Area Zoning Update. She said the Commission had met in a joint session with the City Council on the guiding principles to follow and next would meet with them on land use and preferred alternatives for the M-2. She said the Existing Conditions Report was being circulated for comment which was requested by February 19. She said that report provides an overview of land use, economics, circulation and community character.

Commissioner Onken commented on the unusual uses being proposed in the M-2 recently such as a high school and that much of the area was being purchased by Facebook. He said the upcoming plan might be obsolete by the time it was adopted.

Commissioner Strehl said that Facebook bought the Prologis site over the weekend. She said upon her inquiry that staff had indicated that Facebook was participating in the GPAC meetings.

Commissioner Kadvany said he thought the consultant had captured the joint session well. He said the Council spent time on the wording in the document prepared by the consultant at its next meeting which he thought weakened the meaning of what had been said.

Responding to a question from Chair Eiref about Belle Haven participation, Senior Planner Chow said that there has been increased participation by community members. She said in reply to Commissioner Strehl that in addition to online noticing there had been some bilingual notices mailed.

Commissioner Kadvany said in reference to things happening quickly in the M-2 and what the Commission's role was that this was not just a process about buildings but about other projects that could happen in Belle Haven. He said multiple outcome planning was the goal and upgrades such as the grocery store, the pharmacy, and the bike path on the Dumbarton should be tied to the development occurring. He said these were talked about in the Existing Conditions Report. He said the Planning Commission and City Council needed to fight for the best outcomes.

Commissioner Bressler said he was on the GPAC and that at their last meeting he had noted the City was making the same mistake they had made on the Specific Plan, which was to say what was wanted but not how to get what was wanted. He said for instance that development agreements helped get what was wanted. He said the City was rushing to get things done.

Senior Planner Chow said the concept of community benefits was weaved throughout all of the discussion on development and the potential of development. She said they have a list of

benefits drawn from community members. She said at an upcoming workshop they would look at identifying the priorities based on the anticipated revenues.

Commissioner Onken said if there were going to be community benefits for development in the M-2 that consistent rules had to be established, which would encourage development because of its certainty.

Commissioner Kadvany said the framing of the distribution of benefits from developer to community had to be developed by the City.

Commissioner Combs asked for a copy of the Existing Conditions Report. Senior Planner Chow said she would provide a hard copy to any of the Commissioners who wanted one. Chair Eiref noted that the report was online.

ADJOURNMENT

The meeting adjourned at 7:45 p.m.

Staff Liaison: Senior Planner Chow

Recording Secretary: Brenda Bennett



PLANNING COMMISSION STAFF REPORT

FOR THE PLANNING COMMISSION
MEETING OF MARCH 9, 2015
AGENDA ITEM C2

LOCATION: 131 Forest Lane

**APPLICANTS AND
PROPERTY
OWNERS:** Helen Peters and
Detlev Kunz

EXISTING USE: Townhouse

PROPOSED USE: Townhouse

APPLICATION: Architectural
Control

ZONING: R-3 (Apartment)

PROPOSAL

The applicant is requesting architectural control to remove and replace exterior trim and stucco, remove and repair the underside and overhang of the balcony, and replace the front door on the front elevation of a townhouse located in the R-3 (Apartment) zoning district.

ANALYSIS

Site Location

The project site is located at 131 Forest Lane, which is a cul-de-sac street located off of Stone Pine Lane. This area is located between the Caltrain right-of-way and El Camino Real, behind a number of commercial buildings that front onto El Camino Real. This parcel and the residences surrounding it were originally developed under the jurisdiction of San Mateo County as a Planned Unit Development. The area represents a variety of architectural styles, and many residents have modified their units since being annexed into the City of Menlo Park.

Project Description

The existing townhouse contains approximately 2,398 square feet of gross floor area. The existing townhome also includes a 590 square foot garage which is not included in

the calculation of gross floor area. The townhouse consists of three levels with three bedrooms, two and a half bathrooms, and a two-car garage. As noted on the existing elevation and the demolition elevation, the applicant proposes to modify the front façade by removing and replacing the exterior trim, corbels, stucco, and the walkway-entry concrete. The wood trim around the windows will remain white, and the shutters and the geometrical trim above the second floor windows will be removed. No windows will be removed. As part of the modifications, the balcony ceiling and the underside of the balcony floor (above the garage) will be removed and replaced. The stucco will be painted Berkshire beige. The color rendering of the front elevation provides an accurate illustration of the proposed intent of the applicant: the decorative vertical wood trim above the garage will be removed, the house numbers will be replaced, and the double front door will be replaced with a single door. Also, the columns around the front door will be removed. The existing concrete which makes up the walkway leading to the front door will be replaced with concrete pavers.

The proposal would not result in an increase in the gross floor area of the building, nor in an increase in building coverage. The proposed modifications require Planning Commission approval for architectural control review. The applicant has submitted a detailed project description letter (Attachment C) that describes the project as striving to achieve a consistent, streamlined and contemporary architectural style for the individual unit. The Park Forest development has four homeowners associations, and the applicant has provided documentation of approval from the applicable homeowners association.

Correspondence

Staff has received one e-mail and five letters, all in support of this project, which are included as Attachment D to this report.

Conclusion

Staff believes that the project would result in a consistent architectural style for the individual unit. In addition, the proposed architectural style is complementary to the development as a whole, which includes a variety of materials and architectural styles. The proposed project has been reviewed and approved by the homeowners association. Staff recommends that the Planning Commission approve the proposed project.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Class 1 (Section 15301, ~~Existing Facilities~~) of the current California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDATION

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, ~~Existing Facilities~~) of the current CEQA Guidelines.

2. Make findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:
 - a. The general appearance of the structure is in keeping with the character of the neighborhood.
 - b. The development will not be detrimental to the harmonious and orderly growth of the City.
 - c. The development will not impair the desirability of investment or occupation in the neighborhood.
 - d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking.
 - e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Helen Peters, consisting of four (4) plan sheets, dated received February 25, 2015, and approved by the Planning Commission on March 9, 2015 except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, San Mateo County Health Department, and utility companies regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.

Report prepared by:
Michele T. Morris
Assistant Planner

Report reviewed by:
Thomas Rogers
Senior Planner

PUBLIC NOTICE & APPEAL PERIOD

Public notification consisted of publishing a legal notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property. Planning Commission action will be effective after 15 days calendar days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

ATTACHMENTS

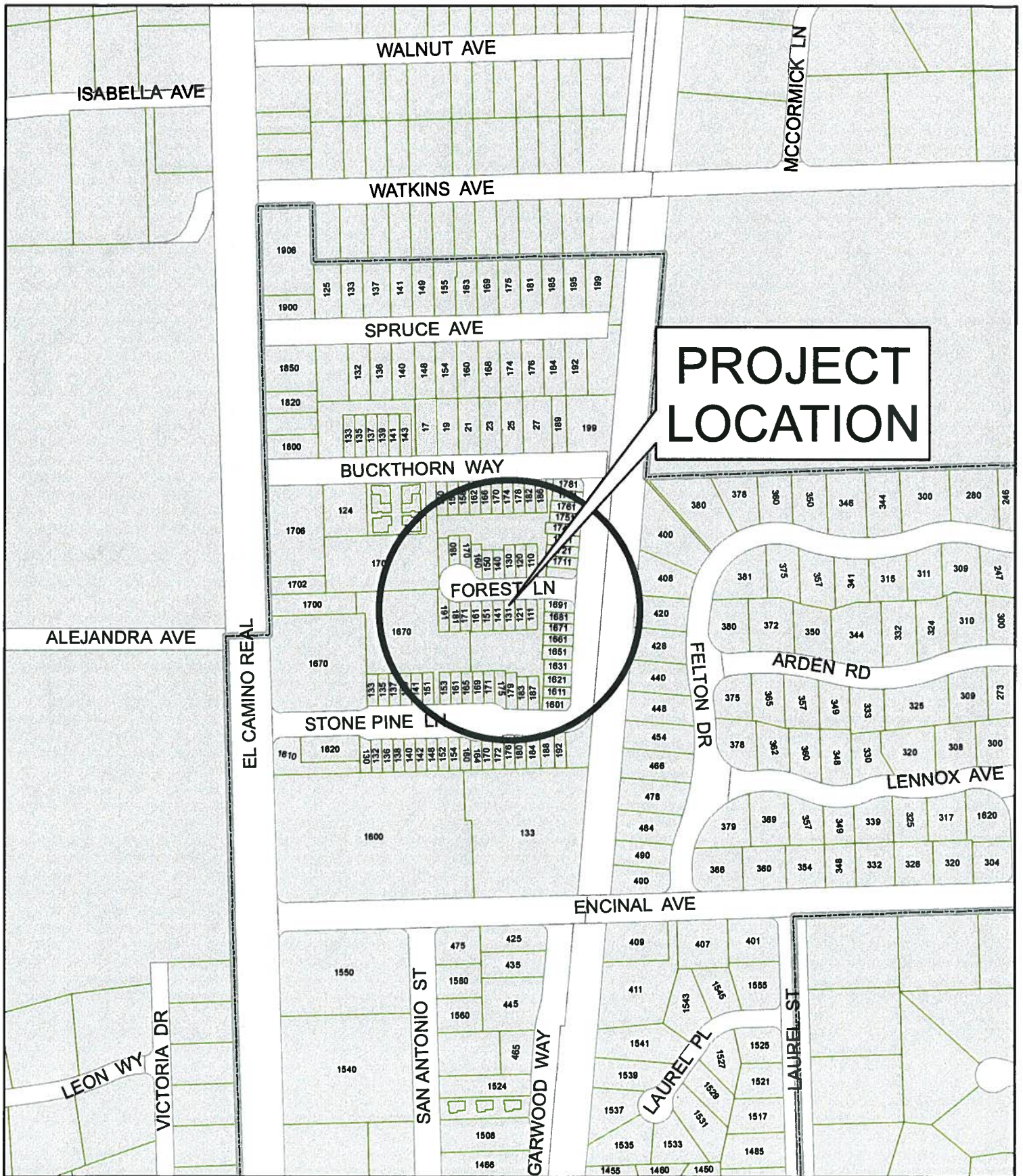
- A. Location Map
- B. Project Plans
- C. Project Description Letter
- D. Correspondence

Note: Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

EXHIBITS TO BE PROVIDED AT MEETING

Color and Materials Sheet
Photograph of Front Façade

V:\STAFFRPT\PC\2015\030915 - 131 Forest Lane.docx



CITY OF
MENLO PARK

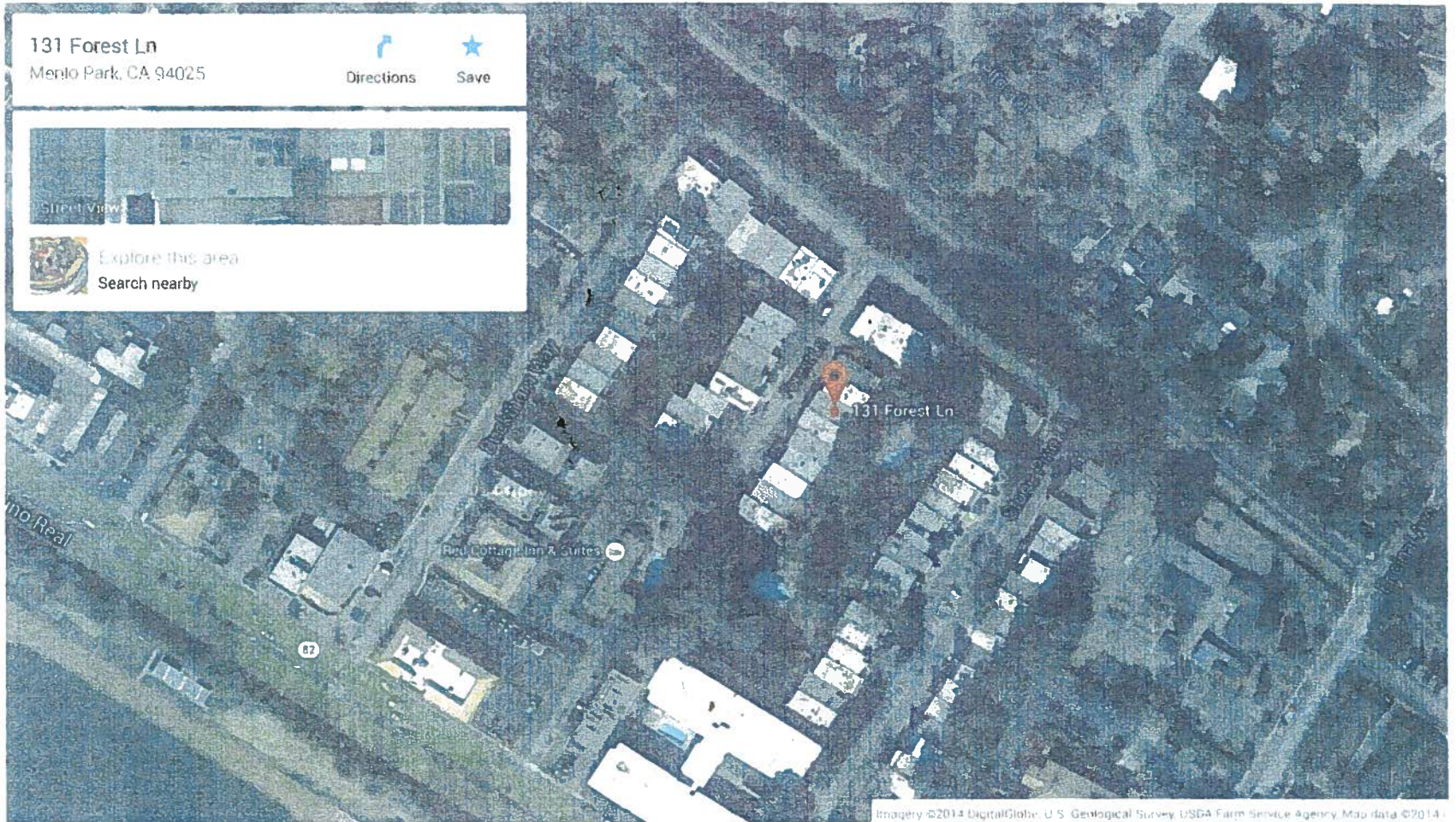
CITY OF MENLO PARK

LOCATION MAP
131 FOREST LANE

A1



DRAWN: KTP CHECKED: KTP DATE: 03/09/15 SCALE: 1" = 300' SHEET: 1



81

AREA PLAN

RECEIVED

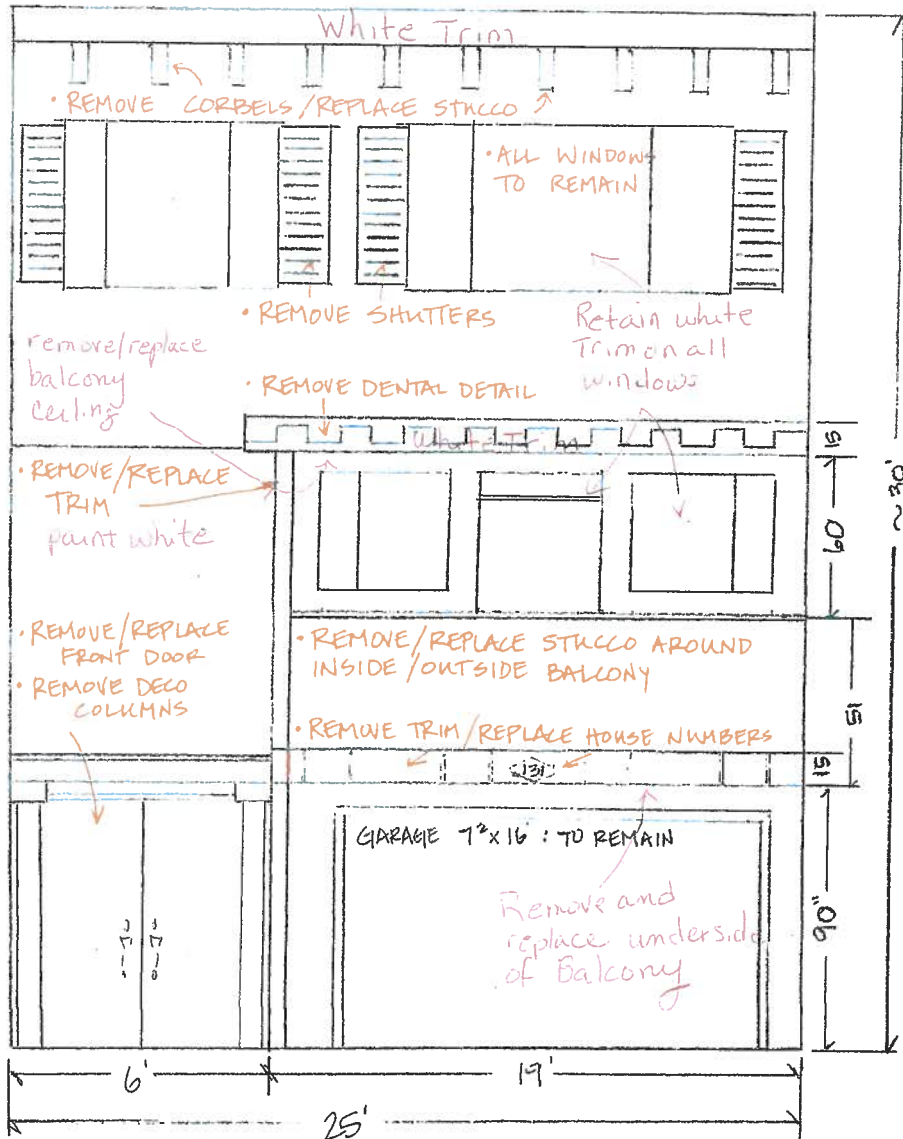
FEB 25 2015

CITY OF MENLO PARK
BUILDING

<https://www.google.com/maps/place/131+Forest+Ln,+Menlo+Park,+CA+94025/@37.7302m,data=!3m2!1e3!4b1!4m2!3m1!1s0x808fa35f5332686b:0xa892af63ec256606>

PETERS RESIDENCE
131 FOREST LANE
MENLO PARK

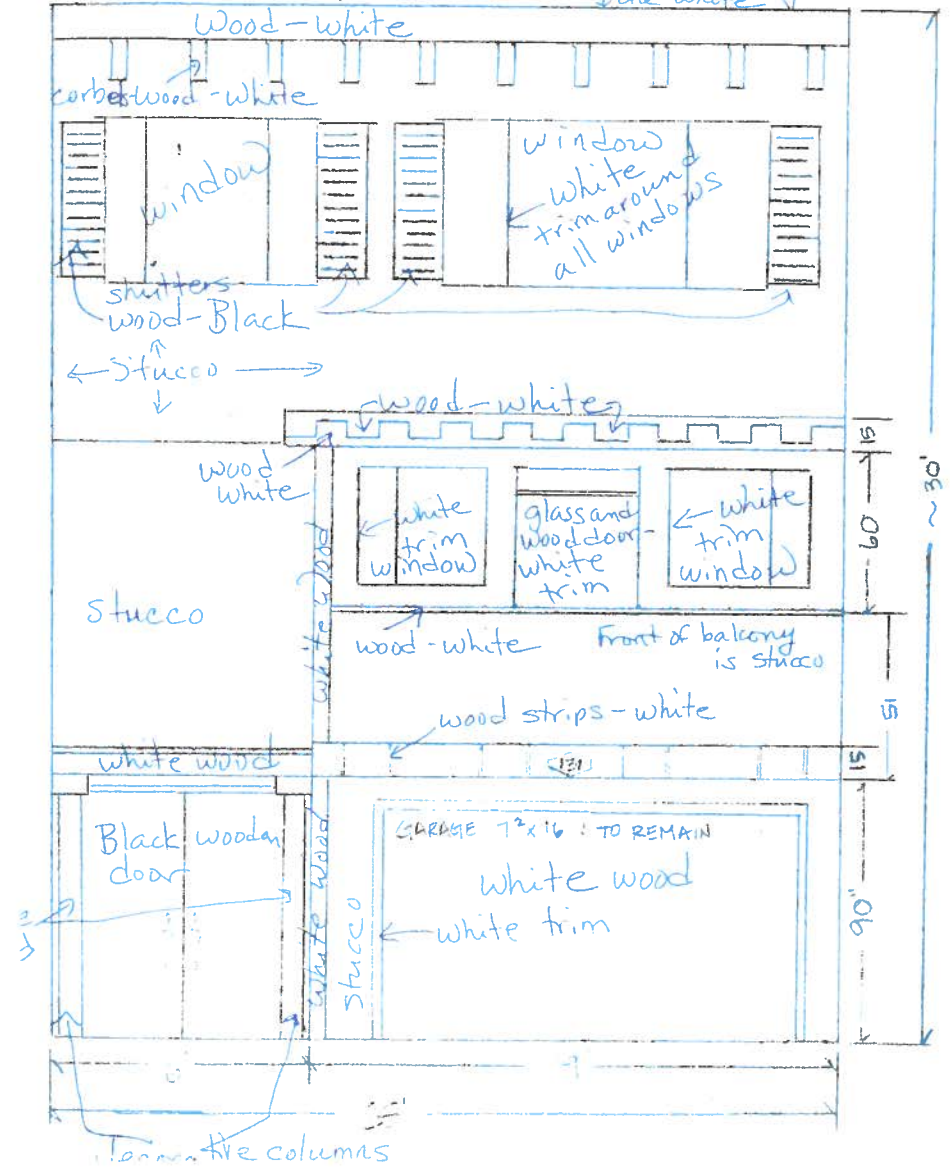
DEMOLITION



PETERS RESIDENCE
131 FOREST LANE
MENLO PARK

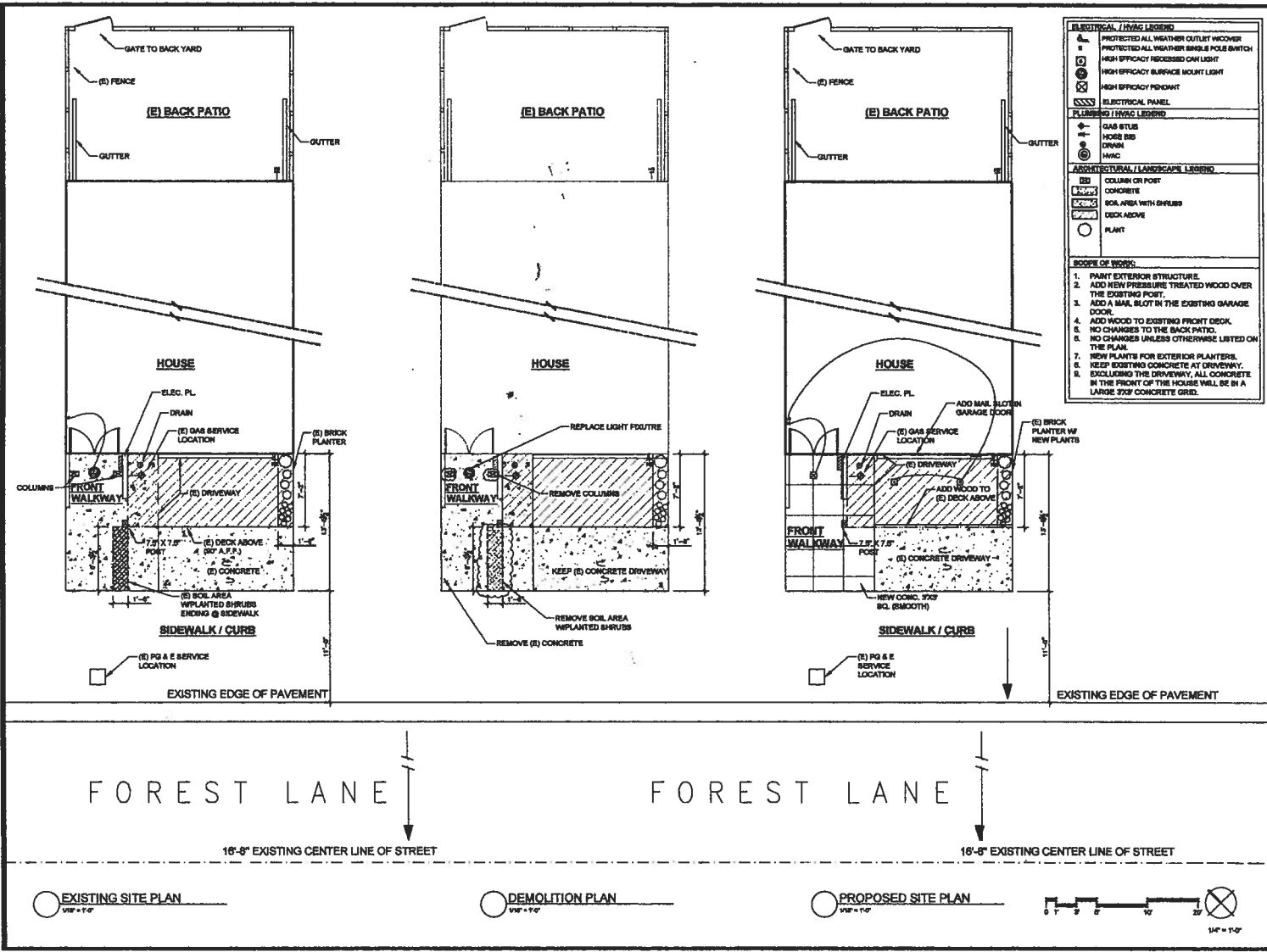
EXISTING ELEVATION
FRONT

1/4" = 1' All stucco currently painted Bone white



B2

B3



CHD
Carrington Hill
Designs
P (408) 644-3861
F (408) 644-3862
www.chdhill.com
10000 American Road
San Carlos, CA 95070

PETERS RESIDENCE
131 FOREST LANE, MENLO PARK, CA

Design plans are not provided for architect or engineering. The rendering is an artistic representation of the general appearance of the proposed project. The E.C. or Agent is responsible for verifying all building codes, regulations, and permits are met. The E.C. or Agent is also responsible for the final design and construction of the project. The E.C. or Agent is not responsible for the final design and construction of the project. The E.C. or Agent is not responsible for the final design and construction of the project.

DATE: 1/19/15
SCALE: 1/4" = 1'-0"
DRAWN: MELLER
REVISED: N/A
SHEET: 1 of 1
PAGE:

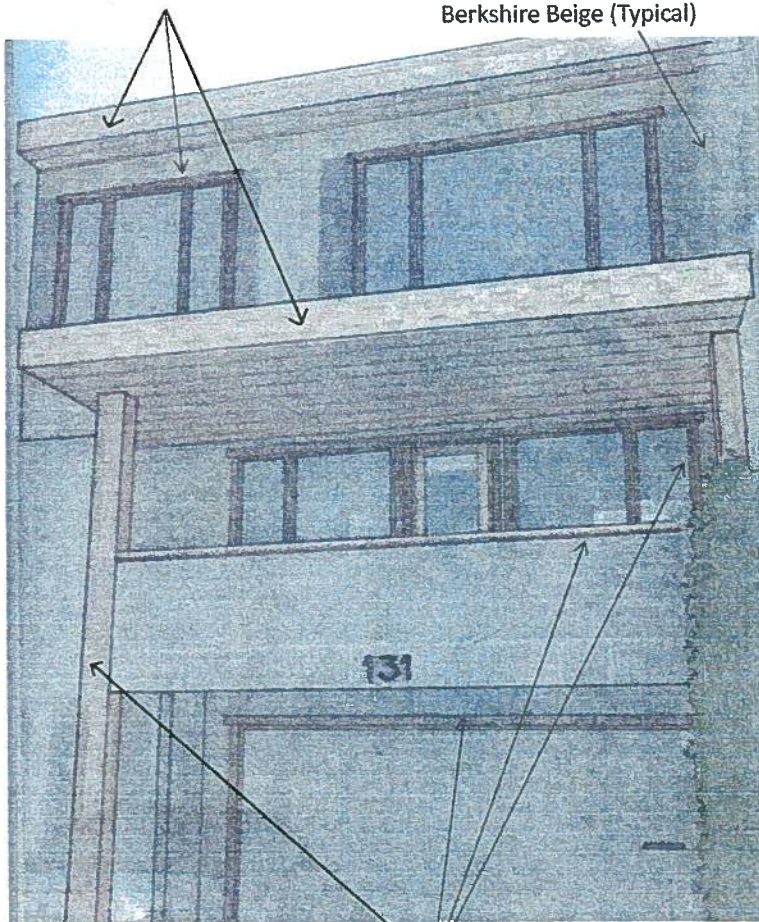
L1

131 Forest Place, Menlo Park, CA /Peters Residence

Proposed

Trim: Benjamin Moore
Linen White

Stucco: Benjamin Moore
Berkshire Beige (Typical)



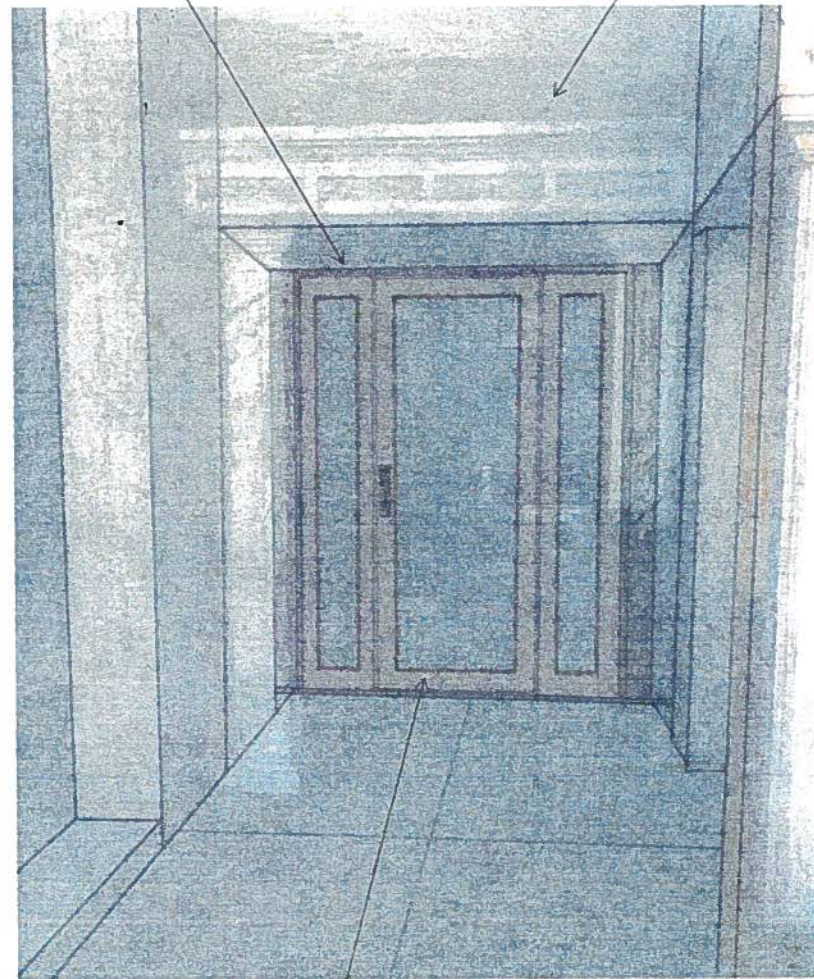
Trim: Benjamin Moore
Linen White

131 Forest Place, Menlo Park, CA /Peters Residence

Proposed

Trim: Benjamin Moore
Linen White

Stucco: Benjamin Moore
Berkshire Beige (Typical)



Front Door & Side Lights :
Benjamin Moore
Deep Bronze

B4

RECEIVED

JAN 21 2015

CITY OF MENLO PARK
PLANNING

Project Description

131 Forest Lane
Menlo Park, CA 94025

Owners: Helen Peters, Detlev Kunz
General Contractor: Joe Niccum, Niccum Construction (Lic. #: 929280)

Purpose of Project:

Although zoned R-3, 131 Forest Lane is a single-family townhouse that was built in 1971. The use of the property will not change. The wooden trim and stucco on the front of the property are original. The purpose of the project is two-fold:

- Remove and replace dated and damaged exterior trim and stucco, as well as walkway/entry porch concrete.
- Update the look of the house to a more streamlined and contemporary style, consistent with the general architectural style of the house and the other homes on Forest Lane.

Project Scope:

All the work is cosmetic in nature. There will be no structural changes, nor changes in door or window sizes. The wooden trim and trim around the windows, which is currently painted white, will remain white. The stucco will be painted in a neutral color that is slightly darker than the current color, and was chosen, in part, to complement the homes on either side.

Project Details:

- Remove/replace stucco around outside and inside of balcony walls.
- Remove/replace balcony ceiling and underside of balcony (above garage door) with exterior grade, pre-primed 1X6 v-board (or similar).
- Remove/replace exterior trim. (The shutters and corbels on the third floor, the "dental detail" on the trim over the balcony, and the detail trim (currently painted white) over the garage and front entry will not be replaced.)
- Remove the decorative columns in the entry portico and replace/remove portico trim.
- Remove/replace double front door (wood) with a single front door and slide light (frosted glass).
- Remove and replace walkway/entry porch concrete with new concrete that compliments the concrete walkway at 121 Forest Lane. (These two walkways are side-by-side with no barrier.) In addition, a dirt planting area on one side of the current walkway will be removed. A free-standing planter(s) will be added to the entryway.

C1

Project Description cont.

Outreach to Neighboring Properties:

The project has been reviewed and approved by the Architectural Board of the Park Forest Three Homeowners Association (a letter from the Association President is attached). In addition, five personal letters from neighbors on Forest Lane are attached:

Dave Forter – 151 Forest Lane
Susan Lynch – 121 Forest Lane
Fred Rose and Anne Gregor – 130 Forest Lane
Bob Flax – 111 Forest Lane
Anna Eshoo – 120 Forest Lane

C2

Morris, Michele T

From: Martin Mazner <mmazner@hotmail.com>
Sent: Monday, February 02, 2015 8:12 AM
To: Morris, Michele T
Subject: 131 Forest Lane Project

I live at 183 Stone Pine Lane in the Park Forest neighborhood and believe the proposed alterations for 131 Forest Lane are a very much appreciated improvement.

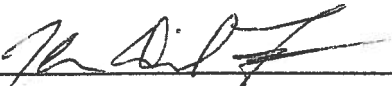
Martin Mazner

D1

Community Development Department
Planning Division
701 Laurel Street,
Menlo Park, CA 94025

To Whom it May Concern:

I live at 151 Forest Lane, Menlo Park, two doors from 131 Forest Lane. I am a member of the Architectural Review Board of the Park Forest Three Homeowners Association. In that capacity, I have reviewed and approved the suggested changes submitted to the Board (see letter from Board President, Debbie Koelling, dated October 16, 2014). As a resident on Forest Lane, I believe that the changes to 131 will significantly improve the exterior appearance of the home and be a positive addition to our neighborhood.



Dave Forter

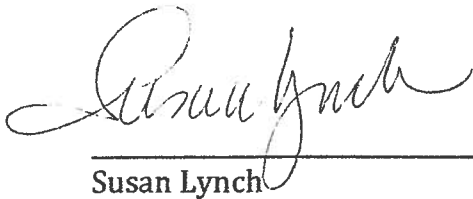
10-31-14
Date

D2

Community Development Department
Planning Division
701 Laurel Street,
Menlo Park, CA 94025

To Whom it May Concern:

I live at 121 Forest Lane, Menlo Park, next door to 131 Forest Lane. I am a member of the Architectural Review Board of the Park Forest Three Homeowners Association. In that capacity, I have reviewed and approved the suggested changes submitted to the Board (see letter from Board President, Debbie Koelling, dated October 16, 2014). As a resident on Forest Lane, I believe that the changes to 131 will significantly improve the exterior appearance of the home and be a positive addition to our neighborhood.



Susan Lynch

10/31/2014

Date

D3

Community Development Department
Planning Division
701 Laurel Street,
Menlo Park, CA 94025

To Whom it May Concern:

We own and live in the home at 130 Forest Lane, Menlo Park, directly across the street from 131 Forest Lane. We are aware of and approve of the exterior trim, paint, and sidewalk changes they have proposed. We believe that the changes to 131 will significantly improve the exterior appearance of the home and be a positive addition to our street.

Fred B. Rose
Signature(s)

A. H. Gregor

Fred Rose
Anne Gregor

10/31/2014

Date

10/31/2014

D4

Community Development Department
Planning Division
701 Laurel Street,
Menlo Park, CA 94025

To Whom it May Concern:

I live at 111 Forest Lane, Menlo Park, two doors from 131 Forest Lane. I am a member of the Architectural Review Board of the Park Forest Three Homeowners Association. In that capacity, I have reviewed and approved the suggested changes submitted to the Board (see letter from Board President, Debbie Koelling, dated October 16, 2014). As a resident on Forest Lane, I believe that the changes to 131 will significantly improve the exterior appearance of the home and be a positive addition to our neighborhood.

Bob Flax
Bob Flax

11/2/14
Date

D5

Community Development Department
Planning Division
701 Laurel Street,
Menlo Park, CA 94025

To Whom it May Concern:

I live at 120 Forest Lane, Menlo Park, across the street from 131 Forest Lane. I am aware of and approve of the exterior trim, paint, and sidewalk changes they have proposed. I believe that the changes to 131 will significantly improve the exterior appearance of the home and be a positive addition to our street.


Anna Eshoo

31 October 2014
Date

Friday 31



October

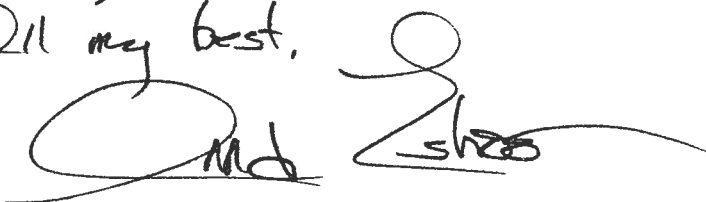
Anna G. Eshoo
Member of Congress

Dear Helen and Detlev,

Glad to help!

Your changes sound wonderful.

With my best,



D6



PLANNING COMMISSION STAFF REPORT

FOR THE PLANNING COMMISSION
MEETING OF MARCH 9, 2015
AGENDA ITEM D1

LOCATION: 1029 Ringwood Avenue

**APPLICANT/
OWNER:** Jeanne Moeschler

EXISTING USE: Single-Family Residence

PROPOSED USE: Single-Family Residence

APPLICATION: Use Permit and Variance

ZONING: R-1-U (Single-Family Urban Residential)

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	6,461.0 sf	6,461.0 sf	7,000.0 sf min.
Lot width	n/a	n/a	65.0 ft. min.
Lot depth	113.5 ft.	113.5 ft.	100.0 ft. min.
Setbacks			
Front	11.5 ft.	11.5 ft.	20.0 ft. min.
Rear	20.0 ft.	24.6 ft.	20.0 ft. min.
Side (left)	n/a	n/a	5.0 ft. min.
Side (right)	5.0 ft.	4.7 ft.	5.0 ft. min.
Building coverage	2,417.7 sf 37.4 %	1,624.0 sf 25.1 %	2,584.4 sf max. 40.0 % max.
FAL (Floor Area Limit)	2,383.0 sf	1,574.0 sf	2,800 sf max.
Square footage by floor	2,004.9 sf/1 st 64.9 sf/ single-story over 17 feet 313.2 sf/garage 89.6 sf/porches 10.0 sf/fireplace	1,290.0 sf/1 st 56.0 sf/ single-story over 17 feet 284.0 sf/garage 40.0 sf/porch 10.0 sf/fireplace	
Square footage of buildings	2,482.6 sf	1,624.0 sf	
Building height	18.9 ft.	18.9 ft.	28.0 ft. max.
Parking	1 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees 3	Non-Heritage trees 1	New Trees 0
	Heritage trees 0 proposed for removal	Non-Heritage trees 0 proposed for removal	Total Number of Trees 4

PROPOSAL

The applicant is requesting use permit approval to construct single-story additions and conduct interior modifications to a single-story, single-family residence that would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal includes a request for a variance for an addition to encroach approximately three feet into the required 20-foot front setback. The subject parcel is located in the R-1-U (Single-Family Urban) zoning district.

ANALYSIS

Site Location

The subject site is located at 1029 Ringwood Avenue. Ringwood Avenue, Oakwood Place and Sonoma Avenue form a horseshoe. The subject site is located on Ringwood Avenue where it turns into Oakwood Place. All surrounding parcels are also in the R-1-U zone and are developed with single-family homes. The nearby properties feature a mixture of architectural styles and scales, although single-story ranch/bungalow designs are the most common.

As a three sided parcel, the subject property has a front property line, along Ringwood Avenue and Oakwood Place, a rear property line (the line most directly opposite the front, which in this case is the property line opposite the Ringwood Avenue frontage), and one side property line, separating the subject site from 1031 Ringwood Avenue. These designations are established by the Zoning Ordinance's definitions for lot lines.

Project Description

The applicant is proposing to add on to the front and rear of the house and to remodel most of the interior of the house. The existing residence is considered to be a legal non-conforming structure as it is 11.5 feet from the front property line at the closest point, where 20 feet is required. The closest point of the existing master bathroom to the front property line is 15 feet. The applicant is proposing to demolish most of the master bathroom, which currently sticks out from the rest of the house, and build a master closet that would be approximately 17 feet from the property line at the closest point. Because three of the walls of the existing master bathroom would be demolished as part of this project, a variance is required to build the proposed addition less than 20 feet from the front property line. This element of the project would effectively represent the reduction of an existing nonconformity, but the reconstruction of structural elements within the required setback cannot be permitted without a variance.

The garage is currently 4.7 feet from the right side property line; however, as part of the project, this non-conformity would be corrected and the building would meet the required side setback of 5 feet. (In the R-1-U zone the required interior side setback is defined as 10 percent of the minimum lot width, and minimum lot width is defined as the shortest distance between the side property lines, between the required front and rear

setback lines. As this lot only has one side property line the lot width is not defined, and a default minimum side yard setback of 5 feet is used.)

The proposed changes to the roof would also correct the existing daylight plane nonconformity on the right side of the house. The garage would continue to provide the minimum interior clear space of 10 feet by 20 feet required for a one-car garage. Because the house was originally permitted with only one required parking space, the building is considered legal non-conforming in terms of parking and the front setback. The existing driveway would continue to provide an unofficial parking space within the front setback, which would not meet the off-street parking requirement but which would provide some flexibility. The proposed additions, as well as the proposed remodeling of the existing house, would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period.

The remodeled house would not exceed the existing height of 18.9 feet and would be well below the maximum permissible height of 28 feet. With the proposed addition, the residence would have a floor area of 2,383.0 square feet where 2,800 square feet is the floor area limit (FAL) and building coverage of 37.4 percent where 40 percent is the maximum permitted. The FAL total includes a 64.9-square foot area over 17 feet in height from a point 18 inches above grade to the roof. The proposed additions would add square footage to the front and rear but the residence would remain a three bedroom, two bath house. The applicant has provided a project description and neighborhood outreach letter, which discusses the proposal in more detail (Attachment C).

Design and Materials

The applicant has stated that the existing bungalow style of the residence would be maintained and modernized. A gable is proposed over the entry addition. A new gable is also proposed over the garage, which will bring the building into conformance with regard to the daylight plane requirement. The new siding would consist of horizontal wood siding and Hardie lap siding. The existing siding, consisting of a mixture of stucco and wood siding, would be completely removed. The areas of the new roof would be composition shingle to match the existing. The new windows and exterior doors would be wood casement with simulated true divided lights with grids on the inside and outside and a spacer bar in between. The proposal also includes the addition of one skylight. The applicant proposes varying projections and articulations to reduce massing. Staff believes that the scale, materials, and style of the proposed residence are in keeping with those of the neighborhood.

Variance

As part of this proposal, the applicant is requesting a variance for an addition to encroach approximately three feet into the required 20-foot front setback. (The existing living room encroaches 9.5 feet into the front setback and is proposed to be retained.) As required by the Zoning Ordinance, the variance would not exceed 50 percent of the required 20-foot front yard setback. The applicant has provided a variance request letter

that has been included as Attachment D. The required variance findings are evaluated below in succession:

1. *That a hardship peculiar to the property and not created by any act of the owner exists. In this context, personal, family or financial difficulties, loss of prospective profits and neighboring violations are not hardships justifying a variance. Further, a previous variance can never have set a precedent, for each case must be considered only on its individual merits;*

The three-sided nature of the parcel, in combination with the Zoning Ordinance's lot line definitions and setback requirements, creates a uniquely small area for the permitted building footprint. This hardship is unique to the property, and has not been created by an act of the owner.

2. *That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property in the same vicinity and that a variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his/her neighbors;*

With the proposed additions, the building would occupy almost the entire area outside the setbacks as well as portions within the front setback. However, the proposed building coverage of 2,417.7 square feet is still well below the maximum permitted coverage of 2,584.4 square feet. The variance would thus be necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property. Given that other properties in the vicinity do not have similar constraints with regard to the long front setback, the requested variance would not represent a special privilege.

3. *That the granting of the variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property; and*

The proposed addition would intrude into the front setback along the left side of the house. This element of the project would effectively represent the reduction of an existing nonconformity, but the reconstruction of structural elements within the required setback cannot be permitted without a variance. If the lot was a typical corner lot, the area where the intrusion is proposed would be considered a side yard with a setback of 12 feet. The closest point of the proposed addition to the street would be 17 feet, resulting in very limited impacts on the adjacent residential parcels. The proposed project would be below the maximum allowed building coverage and all other Zoning Ordinance standards would be met. As such, granting of the variance would not be materially detrimental to the public health, safety, or welfare, and will not impair an adequate supply of light and air to adjacent property.

4. *That the conditions upon which the requested variance is based would not be applicable, generally, to other property within the same zoning classification.*

Although there are a few other parcels in the area with unusual shapes and sizes, these are clear exceptions to the prevailing neighborhood standard of R-1-U lots with a rectangular shape and an area of approximately 6,500 square feet. As such, the conditions on which the variance is based would not be generally applicable to other property in the same zoning classification.

5. *That the condition upon which the requested variance is based is an unusual factor that was not anticipated or discussed in detail during any applicable Specific Plan process.*

The property is not within any Specific Plan area, and as such no finding regarding an unusual factor is required to be made.

Due to the above factors, staff is recommending approval of the variance request, and has included findings to that effect in the recommended actions.

Trees and Landscaping

A letter from West Valley Arborists, detailing the species, size, and conditions of the trees on or near the site, is included on the second sheet of the plan set. The letter determines the present condition, discusses the impacts of the proposed improvements, and provides recommendations for tree preservation. Two heritage redwood trees are located just past the rear property line. Two street trees, an ash tree and a heritage oak tree, are located to the front left hand side of the house, along Ringwood Avenue. A third street tree, described in the letter as being in poor shape, has since been removed. No additional trees are proposed for removal. The proposed site improvements should not adversely affect the surrounding trees as standard tree protection measures will be ensured through recommended condition 4.g.

Valuation

To calculate the replacement and new construction costs on which the 75 percent limit is based, the City uses standards established by the Building Division. The City has determined that the replacement cost of the existing structure would be \$277,880 meaning that the applicant would be allowed to propose new construction and remodeling at the site totaling less than \$208,410 in any 12-month period. The City has determined that the value of the proposed work would be \$271,750. Based on this estimate, the project requires use permit approval by the Planning Commission for exceeding 75 percent of the replacement cost.

Correspondence

The applicant indicated in the project description and neighborhood outreach letter that she discussed the plans with interested neighbors and received positive feedback. Staff has not received any correspondence.

Conclusion

Staff believes that the scale, materials, and style of the proposed residence are in keeping with those of the neighborhood. The variance would be based on the uniquely small area allowed for the building footprint, resulting from the three-sided nature of the parcel. Aside from the setback variance, the proposal would meet all Zoning Ordinance requirements. The applicant proposes varying projections and articulations to reduce massing. The heritage trees would be protected. Staff recommends that the Planning Commission approve the proposed project.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDATION

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Make the following findings as per Section 16.82.340 of the Zoning Ordinance pertaining to the granting of variance:
 - a. Relative to other properties in the vicinity, the subject parcel is unusually oddly-shaped. The three-sided nature of the parcel, in combination with the Zoning Ordinance's lot line definitions and setback requirements, create a uniquely small area for the permitted building footprint. These hardships are unique to the property, and have not been created by an act of the owner.
 - b. With the proposed additions, the building would occupy almost the entire area outside the setbacks as well as portions within the front setback. However, the proposed building coverage is well below the maximum permitted coverage. The variance would thus be necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property. Given that other properties in the vicinity do not have similar constraints with regard to the length of the front setback, the requested variance would not represent a special privilege.
 - c. The proposed addition would intrude into the front setback along the left side of the house. This element of the project would effectively represent the reduction of an existing nonconformity, but the reconstruction of structural

elements within the required setback cannot be permitted without a variance. If the lot was a typical corner lot, the area where the intrusion is proposed would be considered a side yard with a setback of 12 feet. The closest point of the proposed addition to the street would be 17 feet, resulting in very limited impacts on the adjacent residential parcels. The proposed project would be below the maximum allowed building coverage and all other Zoning Ordinance standards would be met. As such, granting of the variance would not be materially detrimental to the public health, safety, or welfare, and will not impair an adequate supply of light and air to adjacent property.

- d. The prevailing neighborhood standard is of R-1-U lots with a rectangular shape and an area of approximately 6,500 square feet. The subject parcel is uniquely oddly-shaped relative to this standard. As such, the conditions on which the variance is based are not generally applicable to other property in the same zoning classification.
 - e. The property is not within any Specific Plan area, and as such no finding regarding an unusual factor is required to be made.
4. Approve the use permit and variance subject to the following **standard** conditions:
- a. Development of the project shall be substantially in conformance with the plans prepared by l'oro, consisting of 14 plan sheets, dated received February 18, 2015 and approved by the Planning Commission on March 9, 2015, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.

- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

Report prepared by:
Corinna Sandmeier
Associate Planner

Report reviewed by:
Thomas Rogers
Senior Planner

PUBLIC NOTICE & APPEAL PERIOD

Public notification consisted of publishing a legal notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property. Planning Commission action will be effective after 15 calendar days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

ATTACHMENTS

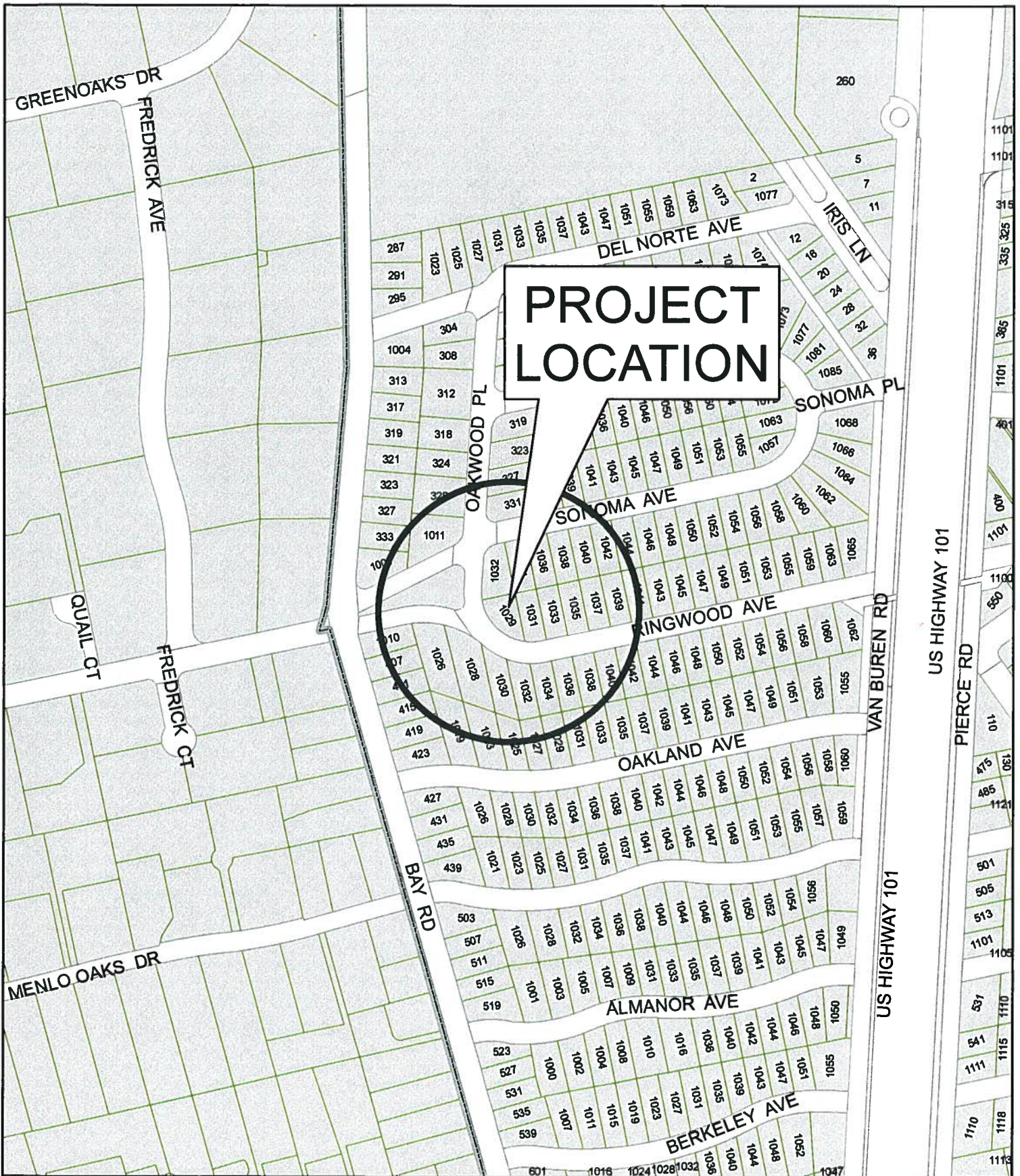
- A. Location Map
- B. Project Plans
- C. Project Description and Neighborhood Outreach Letter
- D. Variance Request Letter

Note: Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

EXHIBITS TO BE PROVIDED AT MEETING

None

V:\STAFFRPT\PC\2014\030915 - 1029 Ringwood Ave.doc



CITY OF MENLO PARK

LOCATION MAP

1029 RINGWOOD AVE

A-1

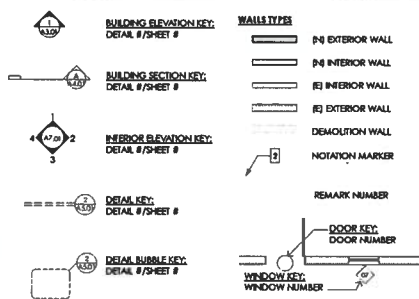


DRAWN: KTP CHECKED: KTP DATE: 03/09/15 SCALE: 1" = 300' SHEET: 1

Moeschler Residence

1029 Ringwood Avenue, Menlo Park, CA 94025

SYMBOL LEGEND



ABBREVIATIONS

AT	CENTERLINE	HORT	HORIZONTAL
DEG	DEGREES	HVAC	HEATING VENTING AIR CONDITIONING
Ø	DIAMETER OR ROUND	INCL	INCLUDES OR INCLUDING
PL	PROPERTY LINE	INT	INTERIOR
AC	AIR CONDITIONING	LAV	LABATORY
ADJ	ADJUSTABLE	LF	LINEAR FEET
APP	ABOVE FINISH FLOOR	MAF	MATERIAL
ATTN	ATTENTION	MFR	MANUFACTURER
BD	BOARD	MAX	MAXIMUM
BLDG	BUILDING	MIN	MINIMUM
BO	BOTTOM OF		
CLG	CERILING	NI	NEW
CLOS	CLOSET	NIC	NOT IN CONTRACT
CLF	CLEAR	NOM	NOMINAL
CONT	CONTINUOUS	NTS	NOT TO SCALE
CSHW	CASEMENT	OC	ON CENTER
DBL	DOUBLE	OC	ON CENTER
DEM	DEMOLISH	RD	RADIUS
DET	DETAIL	RWL	RAIN WATER LEADER
DM	DIMENSION	RCP	REFLECTED CEILING PLAN
DWG	DRAWING	REQD	REQUIRED
		RD	ROOF DRAIN
EXT	EXISTING	RM	ROOM
EA	EACH	RO	ROUGH OPENING
ELEV	ELEVATION	S	SINK
EQ	EQUAL	SF	SQUARE FOOT/FOOTAGE
ETC	ETCETERA	SM	SIMILAR
EXTG	EXISTING	SSD	SEE STRUCTURAL DRAWINGS
EXT	EXTERIOR	SCD	SEE CIVIL DRAWINGS
		STOR	STORAGE
FD	FLOOR DRAIN		
FGG	FERTIG GARNER GROUP	T&G	TONGUE AND GROOVE
FRE	FINISH FLOOR ELEVATION	TBD	TO BE DETERMINED
FRE	FINISH SLAB ELEVATION	TO	TO
FIN	FINISH	TOS	TOP OF SLAB
FLR	FLOOR	TYP	TYPICAL
FOC	FACE OF CONCRETE		
FOF	FACE OF FINISH	UBC	UNIFORM BUILDING CODE
FOS	FACE OF STUD	UDN	UNLESS OTHERWISE NOTED
GA	GAGE OR GAUGE	VERT	VERTICAL
GAL	GALLON	VF	VERIFY IN FIELD
GALV	GALVANIZED		
GL	GLASS	W/	WITH
GPM	GALLONS PER MINUTE	WC	WATER CLOSET
GSM	GALVANIZED SHEET METAL	WH	WATER HEATER
		WO	WHERE OCCURS

PROJECT DIRECTORY

OWNER
JEANNE & MICHAEL MOESCHLER
1029 RINGWOOD AVENUE
MENLO PARK, CA 94025
TEL (415): 650.391.3619
EMAIL: jeanne_condi@yahoo.com

ARCHITECT & OWNER REPRESENTATIVE
LAUREN GOLDMAN
L'ORO DESIGNS
2289 CHESTNUT STREET #131
SAN FRANCISCO, CA 94123
TEL (415): 415.417.9592
TEL (415): 450.575.6518
EMAIL: lauren@lro-designs.com

STRUCTURAL ENGINEER
RICK TENNEN
1300 INDUSTRIAL ROAD, SUITE 14
SAN CARLOS, CA 94070
TEL (415): 650.595.2973
TEL (415): 650.595.2990
CONTACT: ADAM KLEN
EMAIL: ricktennen@aol.com

TOPOGRAPHIC SURVEYOR
TOM LAND SURVEYORS, LP
2250 BOHANNON DRIVE
SAN JOSE, CA 95050
TEL: 408.615.8855
FAX: 408.615.1556
TEL (415): 408.741.8847
CONTACT: TOM MELLO
EMAIL: tom@tmslandsurveyors.com

CONTRACTOR
COMPANY:
FAX:
LICENSE #:
EMAIL:

PROJECT DATA

SITE INFORMATION

PROJECT LOCATION: 1029 RINGWOOD AVENUE
MENLO PARK, CA 94025

APR: 042-034-170

ZONING: R1-U

GENERAL PLAN: RESIDENTIAL LOW DENSITY

CONSTRUCTION TYPE: TYPE V

FLOOD ZONE: NO

HISTORIC: NO

MAX. BUILDING HEIGHT: 28 FEET

LOT SIZE: 6,461 SF

SETBACKS

FRONT: 20 FEET

SIDE: 5 FEET

REAR: 20 FEET

MAXIMUM ALLOWABLE FLOOR AREA

FAR: 2,800 SF (per 14.14.030.4.3)

BUILDING LOT COVERAGE (LOT SIZE x .43) = 2,804.4

(B) FIRST FLOOR: 1,574 SF

ADDITION TO FIRST FLOOR: 746 SF

HOUSE TOTAL: 2,320 SF

MINIMUM FLOOR AREA OF HOUSE: 1,494 SF

COVERED PORCHES

40.05 SF (REAR PORCH)

10 SF (B) FIREPLACE

49.40 SF (FRONT PORCH)

TOTAL

99.45 SF

PROPOSED LOT COVERAGE

FIRST FLOOR: 2,383.06 SF

COVERED PORCH AREAS: 59.45 SF

TOTAL

2,442.51 SF

PROPOSED IMPERVIOUS AREA

FIRST FLOOR: 2,383.06 SF

COVERED PORCH AREAS: 59.45 SF

TOTAL

2,442.51 SF

APPLICABLE CODES

2013	CALIFORNIA BUILDING CODE
2013	CALIFORNIA ELECTRICAL CODE
2013	CALIFORNIA MECHANICAL CODE
2013	CALIFORNIA PLUMBING CODE
2013	GREEN BUILDING CODE
2013	CALIFORNIA ENERGY CODE - EFFECTIVE JULY 1, 2014, SEE CALIFORNIA ENERGY CODE

SPECIAL INSPECTIONS & TESTING

THE FOLLOWING ITEMS OF WORK ARE DESIGNATED BY THE STRUCTURAL ENGINEER FOR SPECIAL INSPECTION & TESTING:
SEE SHEET 50.1

DRAWING INDEX

ARCHITECTURAL DRAWINGS

A0.0 COVER SHEET

A0.1 GENERAL NOTES & ARBORIST REPORT

A0.4 SITE SURVEY

A0.5 STORMWATER CONSTRUCTION BMP PLAN

A1.0 SITE PLAN

A1.1 AREA CALC

A1.3 AREA PLAN & NONCONFORMING DIAGRAMS

A2.0 DEMOLITION PLAN

A2.1 PROPOSED FLOOR PLAN

A2.2 ROOF PLAN

A3.0 EXISTING EXTERIOR ELEVATIONS & STREETScape

A3.1 EXTERIOR ELEVATIONS

A3.2 EXTERIOR ELEVATIONS

A4.0 BUILDING SECTIONS

RECEIVED

FEB 18 2015

By PLANNING

loro

Moeschler Residence

1029 Ringwood Avenue, Menlo Park, CA 94025

DATE	DESCRIPTION
04.24.14	Final Set
09.18.14	Construction Set
01.28.15	Construction Set
02.12.15	Construction Set
02.18.15	Construction Set

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SHEET TITLE

COVER SHEET

SHEET 1/4/489

A0.0

SHOP DRAWINGS & SAMPLE SCHEDULE

CONTRACTOR TO PROVIDE FINISH SAMPLES AND/OR SHOP DRAWINGS FOR ARCHITECT AND OWNER REVIEW FOR THE FOLLOWING ITEMS:

INTEIOR DOORS (INCLUDING HARDWARE SCHEDULE)

EXTERIOR DOORS (INCLUDING HARDWARE SCHEDULE)

WINDOWS & SCREENS (INCLUDING HARDWARE)

CABINETS, INCLUDING PAINT OR STAIN

CABINETS, HARDWARE

HVAC LAY-OUT INCLUDING DUCTWORK & REGISTER LOCATIONS

COUNTERTOP MATERIALS & LAY-OUT DRAWINGS

CERAMIC TILE (ACTUAL SIZE AND VARIATIONS)

TRIM SYSTEMS & PANELING

PLUMBING FIXTURES

APPLIANCES (KITCHEN & MECH)

DECORATIVE RANGE HOOD SHELL

LIGHTING SWITCH PLATES & CONTROL DIAGRAMS

WOOD FLOORING, INCLUDING STAIN

PAINT DRAW DOWN CARDS

SUPPLY/RETURN GRILLES

RECESSED LIGHT FIXTURES

SHOP DWG

SAMPLE

WALL TYPES LEGEND

(N) 2 X 4 INTERIOR WALL

5/8" GYP BD

3 1/2" STUD W/ BATT

(N) 2 X 4 INTERIOR WALL

(SINGLE SHEAR)

5/8" GYP BD

1/2" PLYWOOD

3 1/2" STUD W/ BATT

5/8" GYP BD

(N) 2 X 4 INTERIOR WALL

SINGLE SHEAR

(N) 2 X 6 INTERIOR WALL

DOUBLE SHEAR

(N) 2 X 8 INTERIOR WALL

5/8" GYP BOARD

3/4" TH WOOD PANEL

(N) 2 X 6 EXTERIOR WALL

DOUBLE SHEAR

(N) 2 X 6 EXTERIOR WALL

(N) CONCRETE WALL

(N) 2 X 4 INTERIOR WALL

(N) 2 X 6 INTERIOR WALL

(N) 1 HR FIRE-RATED WALL

OR SHAFT

GENERAL PROJECT NOTES

GENERAL NOTES

1. THE WORK INCLUDED UNDER THESE DRAWINGS CONSISTS OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT - LEAVING ALL WORK READY FOR USE.

2. THE PLANS INCLUDE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL NEW WORK NECESSARY TO ALL FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS IS INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR ADDRESSED IN THE NOTES.

3. ANY ERRORS, OMISSIONS OR CONTRADICTIONS FOUND IN THE VARIOUS PARTS OF THE DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.

4. ALL WORK, MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES AND ORDINANCES, INCLUDING THE MOST RECENT EDITIONS, ADDITIONS, AMENDMENTS AND INTERPRETATIONS.

5. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE. THE CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK OR INSTALLATION.

6. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DRAWINGS AS REQUIRED.

7. CONTRACTORS SHALL USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS.

8. DIMENSIONS ARE TO FACE OF STUD, GRID LINES OR CENTER LINES OF DOORS AND WINDOWS UNLESS OTHERWISE NOTED. DIMENSIONS MARKED "CLF" SHALL BE MAINTAINED WITHIN 1/4". ALL DIMENSIONS NOTED "V.L." ARE TO BE CHECKED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. REPORT ANY VARIANCES TO THE ARCHITECT AND/OR OWNER PRIOR TO PROCEEDING.

9. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS AND SURFACES TO REMAIN. CONTRACTOR SHALL RESTORE ANY WEAR OF SURFACES DAMAGED DURING DEMOLITION AND CONSTRUCTION TO A LIKE NEW CONDITION. CONTRACTOR TO PROTECT TREES PER THE TOWN OF ARBONIST REQUIREMENTS.

10. CONTRACTOR TO KEEP ALL SITE-STORED BUILDING MATERIALS IN DRY AREAS; PROVIDE UV PROTECTION TO UV SENSITIVE BUILDING MATERIALS DURING STORAGE AND CONSTRUCTION.

11. COORDINATE ALL ARCHITECTURAL WORK WITH STRUCTURAL, ELECTRICAL, AND MECHANICAL CONDITIONS BEFORE THE ORDERING OF, OR THE INSTALLATION OF, ANY ITEM OF WORK.

12. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES FOR SEALANT AND CAULKING LOCATIONS. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR IF REQUESTED AT TIME OF INSPECTION.

13. GENERAL CONTRACTOR SHALL, ON A REGULAR BASIS, REMOVE ALL RUBBISH AND DEBRIS OF ALL SUBCONTRACTORS AND TRADES, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DEBRIS OR DIRT FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE. COMPLY WITH THE TOWN OF ARBONIST'S RECYCLING AND WASTE PROGRAM.

14. UTILITY SERVICE AND EMERGENCY SERVICES ARE TO BE MAINTAINED FOR THE USE BY THE CONTRACTOR DURING ALL PHASES OF WORK.

15. "TYP" - REPEAT WHEREVER THE CONDITION OCCURS.

16. "B.M." - REPEAT AND MODIFY AS REQUIRED TO SET CONDITION.

17. PROVIDE BACKING AS REQUIRED FOR INSTALLATION OF EQUIPMENT, FIXTURES, ACCESSORIES, AND CAULKING.

18. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND INDUSTRY STANDARDS AND BUILDING PRACTICES FOR SEALANT, CAULKING & FLASHING.

19. TEST MOISTURE CONTENT OF CONCRETE BEFORE COVERING WITH FINISH MATERIALS: MOISTURE CONTENT TO BE LESS THAN 12 %.

20. KEEP BELOW-GRADE PLUMBING, ELECTRICAL AND MECHANICAL INSIDE WATERPROOFING ENVELOPE DRY/SAFE ALL BELOW GRADE WALL PENETRATIONS AS HIGH AS POSSIBLE OR ABOVE GRADE.

21. ALL WASTE WATER PIPES ARE TO BE 4" CAST IRON WITH CAST IRON VENTING. ALL NEW WATER LINES ARE TO BE COPPER.

22. WHERE SURFACES ARE TO BE PAINTED, USE TWO COATS (PLUS PRIMER, IF NEW CONSTRUCTION) MINIMUM. COMPLY WITH PAINT MANUFACTURER'S RECOMMENDATIONS FOR PREPARATION AND APPLICATION AS WELL AS CALGREEN VOC / AIR QUALITY REQUIREMENTS.

23. CONTRACTOR TO PROVIDE DUSTPROOF BARRIERS AT ALL MECHANICAL DUCT OPENINGS TO PROTECT DUCTS.

24. INSULATE AND SEAL AROUND ALL WALL AND FLOOR PENETRATIONS. INSULATE ALL COLD WATER PIPES IN EXTERIOR WALLS; SEAL VENTILATION DUCTWORK FROM AIR PRESSURE TEST HOUSE FOR LEAKS AT DOORS, WINDOWS, AND CONNECTIONS; AND PERFORM WHOLE HOUSE AIR FLUSH PRIOR TO OCCUPANCY.

25. ROOFING SEAL ALL EXTERIOR JOINTS AND CONNECTIONS COMPLETELY; SEAL ALL WALL AND FLOOR PENETRATIONS, AND INSTALL CORROSION RESISTANT SCREENS AT ALL VENT HOLES.

26. ALL EARTHWORK AND USE DRAINAGE INCLUDING EXCAVATION OF BASEMENT, PER & GRADE BEAM, SPREAD FOOTINGS, PREPARATION OF SUBGRADE BENEATH SLAB-ON-GRADE UNDERLAMENT AND FINAL SURFACE DRAINAGE INSTALLATION SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. NOTIFICATION OF ANY EARTHWORK OPERATIONS SHOULD BE PROVIDED 48 HOURS IN ADVANCE FOR ANY WORK OR TESTING, AS NECESSARY.

ARBORIST REPORT

West Valley Arborists

Urban Tree Specialist

ISA CERTIFIED ARBORIST WE-1505A

Licensed - Bonded - Insured

June 19, 2014

Re: Arborist Report

Property: 1029 Ringwood Ave.
Menlo Park, CA 94025

To Whom It May Concern:

At the request of the owner, West Valley Arborists Inc. made site visit to 1029 Ringwood Ave., Menlo Park, CA 94025 where proposed construction, as addition to the rear of the home, will require a tree protection plan. This will also include three City Trees located in the planting strip in the front adjacent area.

Both Tree# 1 and Tree# 2 are located in the neighboring property and extend (roots and foliage) into the general area where proximity to proposed construction could result in impacts without protection. Tree# 1 has a circumference of 160in, a height of 80ft, a crown spread of 20ft and is in good health. Tree# 2 has a circumference of 120in, a height of 60ft and a crown spread of 28ft. To provide protection for these trees a 6ft chain link fence should be placed 14ft from the root collars and construction should not take place closer than 14ft. If roots are encountered at the edge of the tree protection zone then the activity should stop until the City or Project Arborist decides root anchorage needs and how to cut the root if necessary. Roots should not be encountered at the tree protection zone edge with a back-bore but this area should not be excavated by hand as any excavation machinery would destroy anchorages with immediate contact.

Tree# 3 is a Q. Agrifolia (Oak) with a circumference of 20in, a height of 15ft, a crown spread of 30ft and is in good health. Tree# 4 is a Acacia Melanocoryn with a circumference of 120in, a height of 50ft, a crown spread of 30ft and has a deep trunk and is in poor shape. Tree# 5 is a Ficus Virens (Ash) with a circumference of 35in, a height of 15ft, a crown spread of 18ft and is in good condition. Tree# 3, 4 and 5 are City Trees by their location and should be fenced as a group with the full planting area receiving a single fence and protected tree

PO Box 162 Campbell, CA 95009 408-866-1148 / CSL#912956

Page 1

protection zone. As with all tree protection zones no activity, grade changes, excavation, rock cobbles or the like should take place and should always become an issue then 10-12in of clean wood chips and cover with 3/4in plywood plates (4ft by 8ft linked together) should be in the access zone to dispose weight.

Please feel free to contact our office contact us if you have any questions or concerns.

Sincerely,

Signature

Simon J. Tumbull, Owner Operator

ISA Certified Arborist WE-1505A

6-2

DEFERRED SUBMITTAL ITEMS

SPRINKLER PLANS

LANDSCAPE PLANS

MATERIAL AND FINISH NOTES

ALUM	ALUMINUM	M	MIRROR
C	CARPET	MB	MOUNTING BRACKET
CG	CORNER GUARD	MBH	MOP & BROOM HOLDER
CH	CLOTHES HOOK	MFR	MANUFACTURER
CONC	CONCRETE	MR	MOP RECEPTOR
CR	CURTAIN ROD		
CT	CARPET TILE	OSB	ORIENTED STRAND BOARD
EWC	ELECTRIC WATER COOLER	P	PAINT
FD	FLOOR DRAIN	PEX	
FE	FIRE EXTINGUISHER	PL	PLASTIC LAMINATE
REC	RECEIVING/STORAGE CABINET	PLWD	PLYWOOD
FIN	FINISH	PT	PANE TYPE
FTD	FOUNTAIN	PTD	PAPER TOWEL DISPENSER
RFP	REINFORCED PANEL	RSD	RECESSED SOAP DISPENSER
RS	REINFORCED	RS	RESILIENT BASE
RSS	FOLDING SHOWER SEAT	RF	RESILIENT FLOORING
PWC	FABRIC WALL COVERING	RT	RESILIENT TILE
PWP	FABRIC WRAPPED PANEL	RM	RUBBER MAT
G	GROUT	SC	SEALED CONCRETE
GAUV	GALVANIZED	SD	SOAP DISH
GB	GRAB BAR	SDU	SOAP DISPENSING UNIT
GD	GARBAGE DISPOSAL	SH	SHOWER HEAD
GL	GLASS	SSM	SOLID SURFACE MATERIAL
GM	GALVANIZED SHEET METAL	SP	SOLID PHENOLIC
GWB	GYPSPUM WALL BOARD	SS	STAINLESS STEEL
		ST	STONE
HCWD	HOT/COLD WATER DISPENSER	STL	STEEL
INSUL	INSULATION	T	TREAD OR TILE
LAM	LAMINATE	TB	TOWEL BAR
LSD	LIQUID SOAP DISPENSER	TJ	TRUSS JOIST SECTION
		TPD	TOILET PAPER DISPENSER
		TSCD	TOILET SEAT COVER DISPENSER
		VCT	VINYL COMPOSITE TILE
WH	WATER HEATER		
WR	WASTE RECEPTACLE		
WT	WINDOW TREATMENT		

loro

Seal of the State of California

Seal of the City of Menlo Park

Moeschler Residence

1029 Ringwood Avenue, Menlo Park, CA 94025

BLUE DATE

DATE	DESCRIPTION
04.24.14	Permit fee
09.18.14	Construction Use Permit
02.18.15	Construction Use Permit (Renewal)

COPYRIGHT: Date: 04/24/2014

SHEET TITLE

GENERAL NOTES & ARBORIST REPORT

SHEET NUMBER

A0.1

LEGEND

BOUNDARY	---
PROPERTY LINE	---
EASEMENT LINE	---
FACE OF BUILDING LINE	---
WOODEN FENCE	---
6" CONCRETE CURB WITH GUTTER	---
GAS METER	●
WATER METER	●
STREET LIGHT	●
SANITARY SEWER MANHOLE	●

NOTES

1. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS MOBILE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
2. DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
3. NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
4. ASSESSOR'S PARCEL NUMBER: 062-034-170
5. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
6. DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED ON THAT TRACT MAP RECORDED IN BOOK 44 OF MAPS AT PAGE 16, SAN MATEO COUNTY RECORDS.

PROJECT BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON AN ASSUMED ELEVATION. A MAG NAIL WAS SET IN THE STREET ACROSS FROM THE SITE, ASSUMED ELEVATION 100.00'.

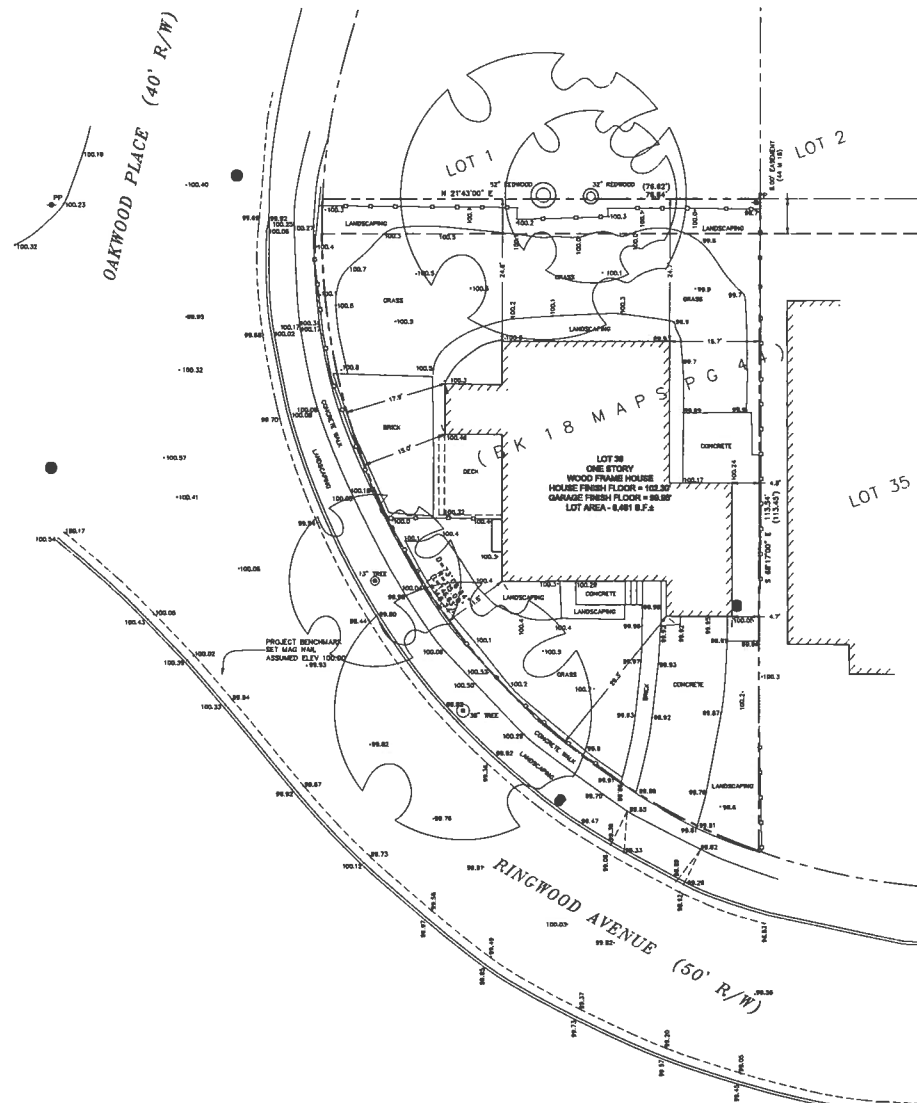
SURVEYOR'S STATEMENT

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.

TOM H. WILD
L.S. 6438 EXP. 12-31-2016

DATE

GRAPHIC SCALE



DRAWN BY: DCJ
CHK. BY: THM
DATE: 10/14/2012
SCALE: 1" = 10'

BOUNDARY & TOPOGRAPHIC SURVEY
APN: 062-034-170
1029 RINGWOOD AVENUE
MENLO PARK CALIFORNIA

T.K.M.
Land Surveyors

2250 Bohannon Drive
Santa Clara, CA 95050
408.615.8853 phone
408.615.1956 fax

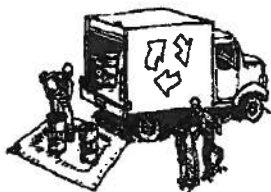
JOB NO.
FILE NO.

SHEET
1
OF
1

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not over filled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number; 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as berms, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

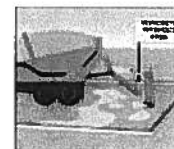


- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet items, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



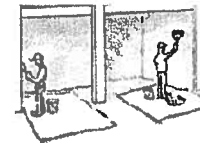
- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

SITE PLAN

DATE	DESCRIPTION	PERIOD	DATE	DESCRIPTION	PERIOD
06.24.14	PERIOD END		09.10.14	CONTRIBUTOR USE	
			01.20.15	CONTRIBUTOR USE	
			02.12.15	PERIOD END	
			02.18.15	PERIOD END	

Moeschler Residence

1029 Ringwood Avenue, Menlo Park, CA 94025



1010

SITE PLAN SHEET NOTES

THE PROTECTION

- ALL MEASUREMENTS OBTAINED IN THE AIRPORT REPORT
AND THE APPROVED PLANS SHALL BE
MAINTAINED, INCLUDING INSPECTIONS AND REQUIRED
WARRANTS OF TITLE.

SEASONALITY

- 1) SITE GRADING: REFER TO GEOTECHNICAL ENGINEER'S RECOMMENDATION.

NOTES

- | | |
|---------------------|--|
| DEMOLITION | |
| EXISTING | |
| NEW CONSTRUCTION | |
| NEW EXTERIOR PAVING | |

SITE PLAN LEGEND

- [illegible]

Abbreviations

- | | |
|-------|---|
| 8W/TW | BOTTOM OF WALL/TOP OF WALL |
| CB | CABLE CATCH BASIN |
| EB | ELECTRIC BOX |
| EM | ELECTRIC METER |
| R | FLOWLINE |
| GM | GAS METER |
| GV | GAS VALVE |
| KWD | PIPE HYPOTHEZ SEE LOWER LEFT ON DRAWING |

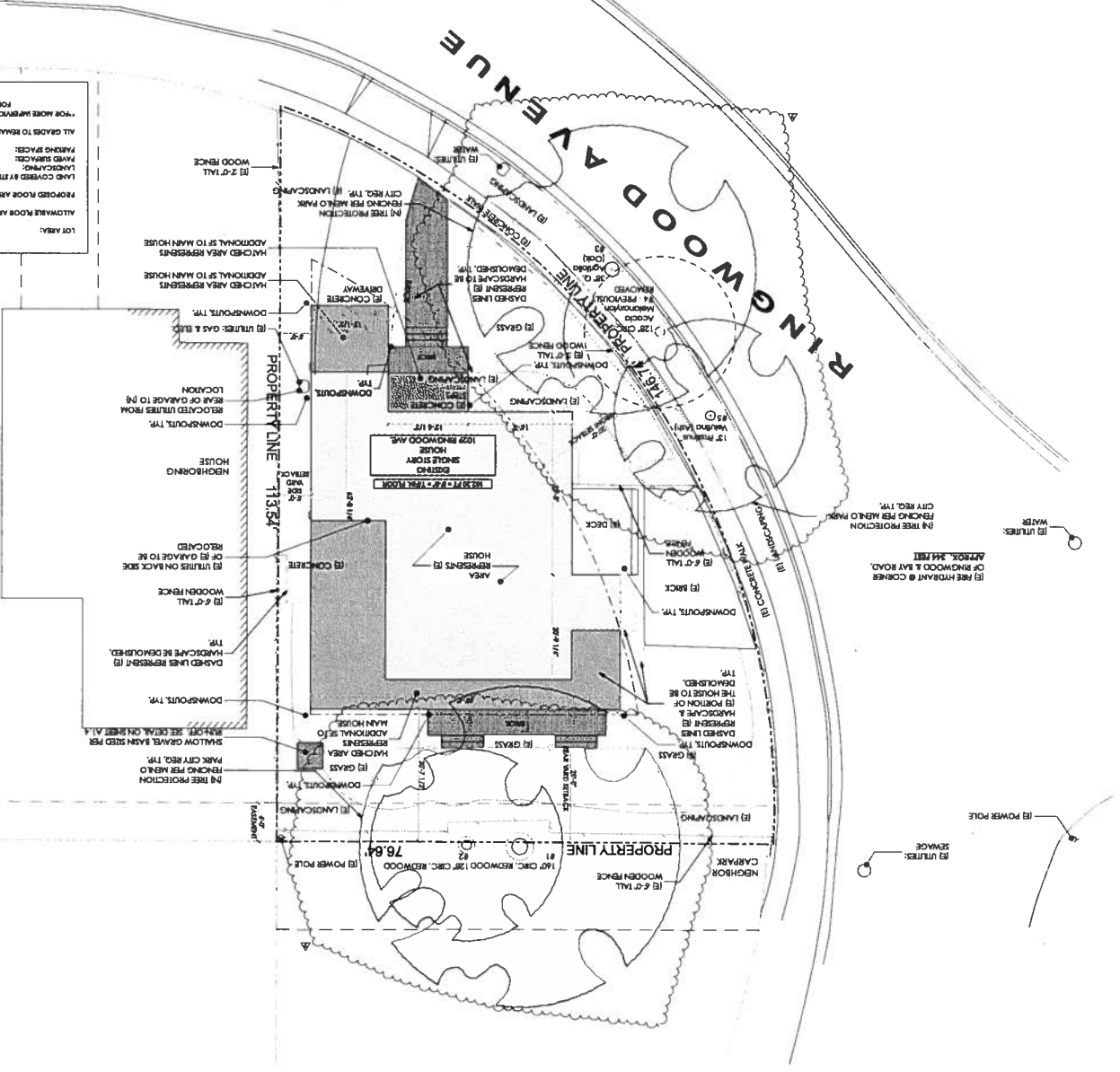
STATVNY BLS

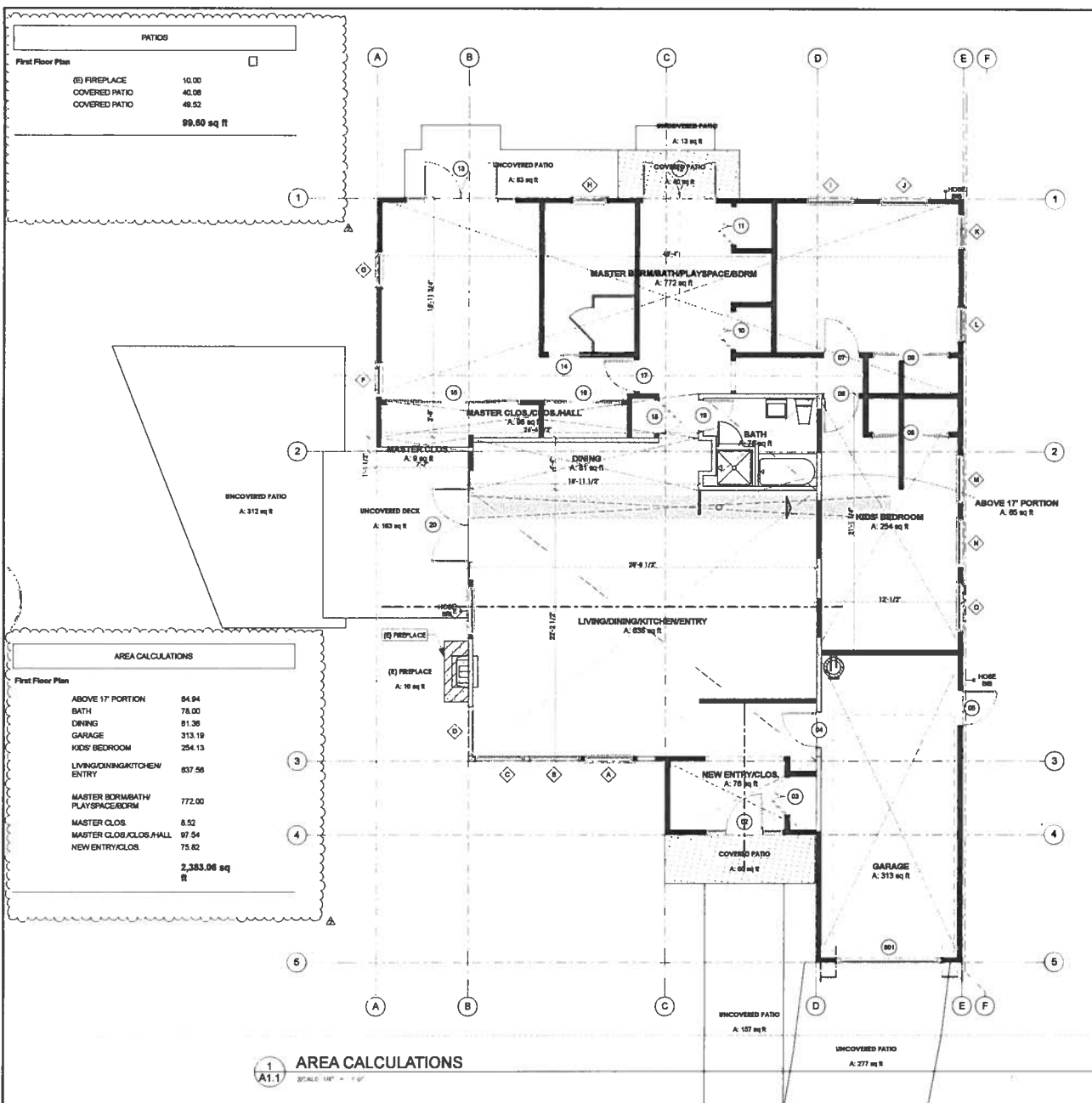
- BY STRUCTURES:
- | | |
|-----------|-------|
| 1 COVERED | 30% |
| 2 | 44.0% |
| 3 | 25.0% |
- BY AREA:
- | | | |
|---------|---------|----------|
| 4.13 SF | 2.80 SF | 2.342 SF |
|---------|---------|----------|

BRUNNEN C.

- PREVIOUS CALCULATION, SEE SHEET A1.

-





BLOCK AREA CALCULATIONS SHEET NOTE

1) (B) FLOOR AREA: 1,574 SF
 (N) ADDITION FLOOR AREA: 645 SF
 (N) ADDITION GARAGE: 128 SF
 TOTAL SF FOR HOUSE: 2,347 SF

2) TOTAL FAL AREA: 2,482.66 SF

3) BASIS FOR FAL AREA CALCULATION:

- BASEMENTS UNDER STRUCTURES WITH A MAIN FLOOR LEVEL OF 30' OR LESS ABOVE GRADE ARE EXCLUDED FROM FAL AREA.
- GARDEN STRUCTURES, SUCH AS ARBORS AND TRELLISES WITH A SEMI SOLID ROOFARE EXCLUDED FROM FAL AREA.
- COVERED PORCHES AND PATIOS STRUCTURALLY ATTACHED TO THE EXTERIOR OF THE MAIN RESIDENCE, PROVIDED THAT ONE END IS OPEN AND LOOKS OUTWARD FROM THE RESIDENCE ARE EXCLUDED FROM FAL AREA.
- BAY WINDOW PROTRUSIONS WHICH DO NOT PROVIDE FOUNDATION AND WHICH ARE NO MORE THAN 7 FEET IN LENGTH ARE EXCLUDED FROM FAL AREA.
- CHIMNEYS AND FIREBOXES OR FIREPLACES ARE EXCLUDED FROM FAL AREA.
- EAVE OVERHANGS ARE EXCLUDED FROM FAL AREA.
- INTERIOR SPACES WITH PERIMETER WALLS ARE MEASURED TO EXTERIOR FACE OF STUD.
- INTERIOR SPACES WITH INTERIOR WALLS ARE MEASURED TO THE CENTER OF STUD.
- EXTERIOR COVERED SPACES ARE MEASURED FROM EXTERIOR FACE OF STUD IN EXTERIOR WALL TO EXTERIOR FACE OF STUD.

BLOCK-OUT PLAN LEGEND

KIDS' BEDROOM A: 254 sq ft	FAL AREA
UNCOVERED PATIO / FIREPLACE A: 28 sq ft	NON-FAL AREA
COVERED PATIO A: 28 sq ft	NON-FAL AREA
KIDS' BEDROOM A: 25 sq ft	FAL ROOM AREA
ABOVE 17' ROOF A: 28 sq ft	ABOVE 17' FROM GRADE, COUNTED 200% TOWARDS FLOOR AREA
GARAGE A: 28 sq ft	GARAGE

loro

Moeschler Residence

1029 Ringwood Avenue, Menlo Park, CA 94025

DATE DATE

DATE	DESCRIPTION
04.24.14	Permit Set
09.18.14	Conditional Use Permit
01.28.15	Conditional Use Permit
02.12.15	Conditional Use Permit
02.18.15	Conditional Use Permit

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SHEET TITLE

AREA CALCS

SHEET NUMBER

A1.1

Proposed Development			
Proposed Development Type	Square Footage	Construction Cost	Bidding Value
Category 1: New Square Footage			
1st floor addition	639	X \$200/sq.ft.	\$127,800.00
Garage addition	124	X \$70/sq.ft.	\$8,680.00
Category 2: Remodel of Existing Square Footage			
Remodel of Kitchen	170	X \$130/sq.ft.	\$22,100.00
Remodel of Bathroom	69	X \$130/sq.ft.	\$8,970.00
Remodel of Other Living Areas	1042	X \$100/sq.ft.	\$104,200.00
Total	2,342		\$271,750.00

3 Proposed non-conforming

A1.3

SCALE: 1/4" = 1'-0"

Existing Development			
Non-conforming Structure Type	Square Footage	Construction Cost	Bidding Value
Existing floor	1290	X \$200/sq.ft.	\$258,000.00
Existing garage	284	X \$70/sq.ft.	\$19,880.00
Total	1574		\$277,880.00

Existing \$277,880.00 x .76 = \$208,410.00 max for work to avoid use permit

2 Existing non-conforming

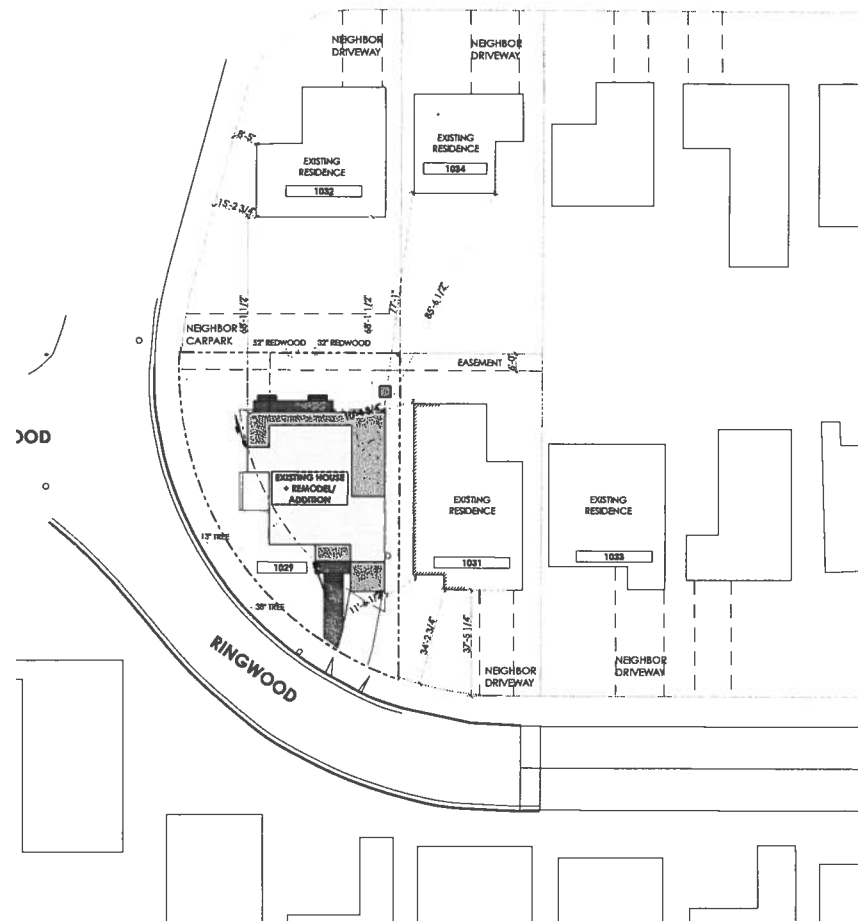
A1.3

SCALE: 1/4" = 1'-0"

1 AREA PLAN

A1.3

SCALE: 1" = 20'



loro



Moeschler Residence

1029 Ringwood Avenue, Menlo Park, CA 94025

ISSUE DATE	
DATE	DESCRIPTION
04.24.14	Permit Set
09.18.14	Conditions of Use
01.28.15	Construction
02.12.15	Construction
02.18.15	Permit Set

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SHEET TITLE
AREA PLAN &
NONCONFORM-
ING DIAGRAMS

SHEET NUMBER

A1.3

1029 Ringwood Avenue, Menlo Park, CA 94025

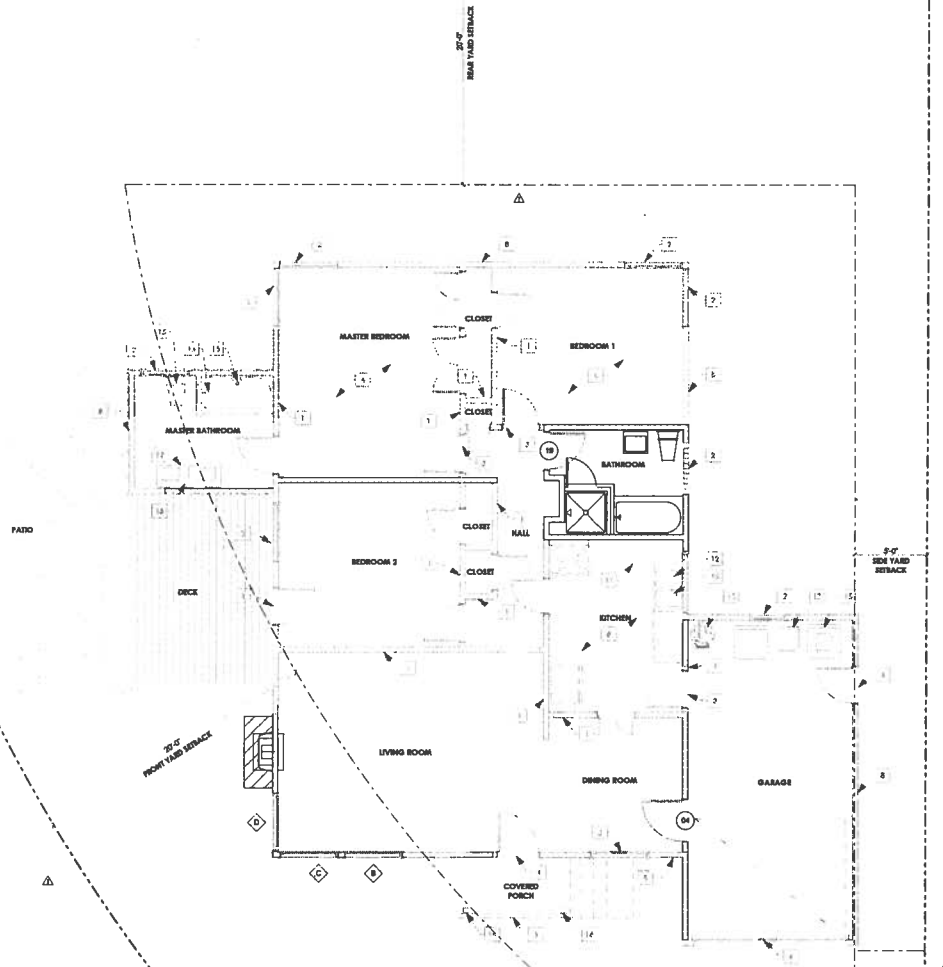
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SHEET TITLE
DEMOLITION
PLAN

A2.0

1. ANY MISCELLANEOUS CONSTRUCTION LOCATED BEHIND DEMOLISHED STRUCTURES WHICH COULD AFFECT NEW CONSTRUCTION SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR ARCHITECT IMMEDIATELY.
2. CONTRACTOR TO PROTECT ALL EXISTING TO REMAIN WALLS, FLOOR, STRUCTURES, AND CEILING FROM DAMAGE DURING CONSTRUCTION, AND SHALL RESTORE THEM TO ORIGINAL CONDITION IF FIGURED.
3. REMOVE AND CAP OFF EXISTING PLUMBING LINES, ELECTRICAL LINES, AND HVAC DUCTWORK NOT USED IN NEW CONSTRUCTION.
4. DEMOLITION IS NOT LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLAN. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE COMPLETE SCOPE OF DEMOLITION WORK TO COMPLETE THE PROJECT. REFER TO ALL DRAWINGS FOR FURTHER DEMOLITION WORKS.
5. REMOVE ALL MISCELLANEOUS ACCESSORIES, BRACKETS & PARTS FROM EXISTING SURFACES.
6. PROVIDE TEMPORARY SUPPORT AS REQUIRED.

- 1 REMOVE EXISTING RAIL HEIGHT PARTITION. PATCH ADJACENT SURFACES AS REQUIRED.
- 2 REMOVE EXISTING WINDOW & FRAME. MODIFY OPENINGS AS REQUIRED FOR NEW DOORS. SEE SURVEILLANCE.
- 3 REMOVE EXISTING INTERIOR DOOR & FRAME. MODIFY OPENINGS AS REQUIRED FOR NEW ADDITION/RENOVATION.
- 4 REMOVE EXISTING EXTERIOR DOOR & FRAME. MODIFY OPENINGS AS REQUIRED FOR NEW DOORS. SEE SURVEILLANCE.
- 5 REMOVE [X] CONCRETE PAV. & PAVO
- 6 REMOVE [X] FLOORING AND PREPARE FOR [X] FINISHES. USE AN APPROXIMATE LEVEL TO DETERMINE FINISH ELEVATION TO ESTABLISH A FLAT AND LEVEL SUB-SLAB SURFACE [X] INHURTS. PER-10% WITH EXISTING ROOMS IN PREPARATION FOR NEW FLOOR COVERING MATERIAL.
- 7 REMOVE [X] EXTERIOR WALL AND WINDOW FINISHES. COORDINATE W/ IN CONSTRUCTION ON A2.1. PATCH ADJACENT SURFACES AS REQUIRED.
- 8 REMOVE EXISTING LOWER, UPPER AND RAIL HEIGHT CABINETS, SHELVES, AND SPOOLS. REMOVE COUNTERTOPS AND PREPARE WALL SURFACES FOR NEW FINISHES.
- 9 REMOVE EXISTING SINKS, CAP OR REMOVE ALL PLUMBING LINES TO BE RE-USED AS REQUIRED BY NEW PLUMBING LOCATION.
- 10 RELOCATE EXISTING WATER AND HEATING DUCTS AS REQUIRED
- 11 REMOVE [X] POSTS. PATCH ADJACENT SURFACES AS REQUIRED



PLAN NORTH

NORTH

1 **DEMOLITION PLAN**
A2.0 SCALE 1/8" = 1'-0"

 $\chi^2_{\text{A.E.}}(16) = 5.7$

0101



Moeschler Residence

1029 Ringwood Avenue, Menlo Park, CA 94025

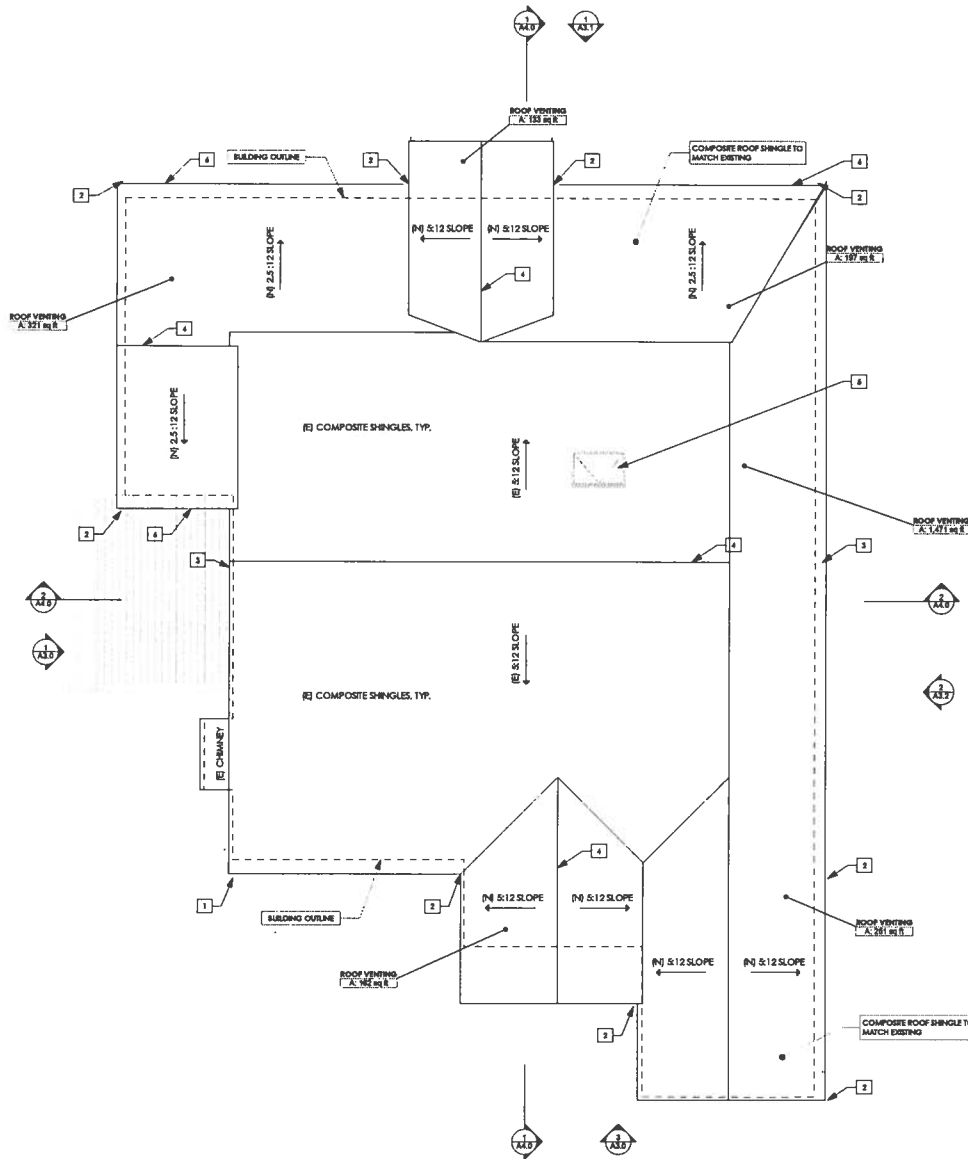
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PROPOSED
FLOOR PLAN

SHEET 1 OF 4

A2.1



ROOF PLAN NOTES

- 1) ALL ROOF SLOPES TO BE AS SHOWN
- 2) PROVIDE 4"X6" OUTSIDE & RAIN WATER LEADERS AS SHOWN. ALL RAIN WATER LEADERS SHALL DISCHARGE AS PER CIVIL DRAWINGS
- 3) ALL ROOF PENETRATIONS TO BE FLASHED ACCORDING TO CURRENT BEST PRACTICE AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (BACHA) GUIDELINES. PAINT EXPOSED VENT STACKS TO MATCH ROOF FINISH COLOR.
- 4) ALL DIMENSIONS ARE SHOWN TO CENTRELINE OF STUD, OR CENTRELINE OF DOOR OR WINDOW, UNLESS NOTED OTHERWISE
- 5) 4"X6" ROOF COVERING IS UL CLASS A FIRE RESISTANT & IS CORRODED TO MEET ASTM D3181 TYPE 1.
- 6) COORDINATE ROOF VENT AND VENT STACK LOCATIONS FOR PLUMBING FIXTURES AND APPLIANCES WITH ARCHITECT PRIOR TO INSTALLATION.
- 7) VENT STACKS TO BE GANGED TO SINGLE COORDINATED LOCATIONS COORDINATE ROOF VENT AND VENT STACK LOCATIONS FOR PLUMBING FIXTURES AND APPLIANCES WITH ARCHITECT PRIOR TO INSTALLATION.
- 8) PLUMBING VENTS SHALL BE LOCATED MIN 1/2" HORIZONTALLY OR 5" MIN VERTICALLY FROM OPERABLE SKYLIGHTS, AIR INTAKES, OR OPERABLE DOORS AND WINDOWS.
- 9) INSTALL BRANCHED MEMBRANE AND 30 LB FELT AT DAVIS, VALLEY, AND AT ALL ROOF PENETRATIONS.
- 10) CONTRACTOR TO VERIFY W/ MANUFACTURERS AND PROVIDE ALL CLEARANCES, PLUMBING, ELECTRICAL AND MECHANICAL REQUIREMENTS. SEE ELEVATIONS AND ELECTRICAL PLAN ON SHEET A2.3 FOR FURTHER INFORMATION.

ROOF PLAN KEY NOTES:

- 1) [R] DOWNPOUT
- 2) [R] DOWNPOUT
- 3) [R] GABLE VENT
- 4) [R] COR-A-VENT 300 E REFER TO VENTING CALCULATION THIS SHEET
- 5) [R] OPERABLE VELUX DECK MOUNTED SKYLIGHT - MODEL NO. V5000
- 6) [R] SAVE VENT

VENTING CALCULATIONS

ROOF AREA OVER EXISTING ROOF - 1	W	SLUR	WIND	WIND
	1,471	211,524	200	768
	SLUR	WIND	WIND	WIND
	10.00	12	120	
SAVE VENTS: COR-A-VENT 300 E	11.50	29	311	
ROOF VENTS: COR-A-VENT 300 E	118.00	2	276	
CABLE VENTS: EXISTING GABLE VENTS	0.00	0	0	
OTHER VENTS:				
PROVIDED			767	SLUR
				OK
ROOF AREA OVER MASTER - 2	W	SLUR	WIND	WIND
	221	48,224	300	154
	SLUR	WIND	WIND	WIND
	10.00	12	120	
SAVE VENTS: COR-A-VENT 300 E	11.50	29	41	
ROOF VENTS: COR-A-VENT 300 E	0.00	0	0	
CABLE VENTS:	0.00	0	0	
OTHER VENTS:				
PROVIDED			161	SLUR
				OK
ROOF AREA OVER ENTRY ROOM - 3	W	SLUR	WIND	WIND
	197	29,364	300	95
	SLUR	WIND	WIND	WIND
	10.00	14	140	
SAVE VENTS: COR-A-VENT 300 E	0.00	0	0	
ROOF VENTS: COR-A-VENT 300 E	11.50	0	122	
CABLE VENTS:	0.00	0	0	
OTHER VENTS:				
PROVIDED			330	SLUR
				OK
ROOF AREA OVER GARAGE - 4	W	SLUR	WIND	WIND
	251	36,144	200	330
	SLUR	WIND	WIND	WIND
	0.00	0	0	
SAVE VENTS:	0.00	0	0	
ROOF VENTS: COR-A-VENT 300 E	11.50	0	122	
CABLE VENTS:	0.00	0	0	
OTHER VENTS:				
PROVIDED			122	SLUR
				OK
ROOF AREA OVER ENTRY & PLAYSPACE - 5	W	SLUR	WIND	WIND
	295	42,484	300	148
	SLUR	WIND	WIND	WIND
	0.00	0	0	
SAVE VENTS:	0.00	0	0	
ROOF VENTS: COR-A-VENT 300 E	11.50	11	149	
CABLE VENTS:	0	0	0	
OTHER VENTS:				
PROVIDED			149	SLUR
				OK



1 Roof Plan Proposed
A2.2

loro

Moeschler Residence

1029 Ringwood Avenue, Menlo Park, CA 94025

DATE DESCRIPTION

04.24.14	Permit Set
08.18.14	Construction Use
01.26.15	Construction Use
02.18.15	Construction Use

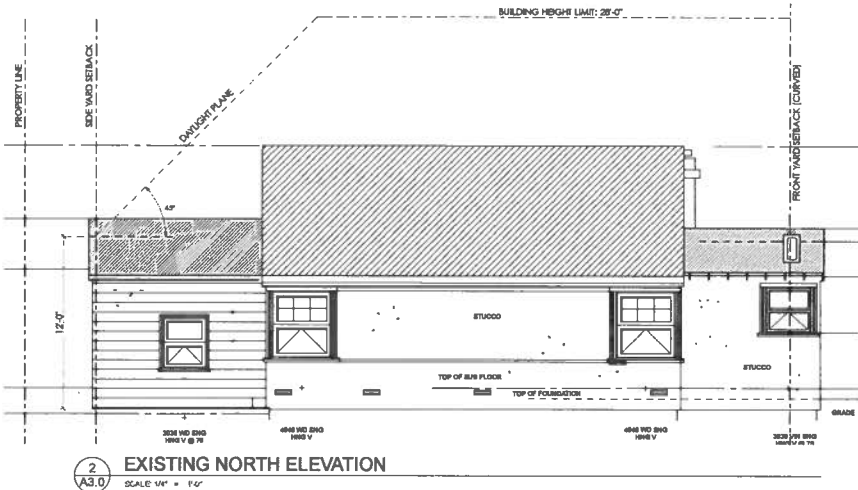
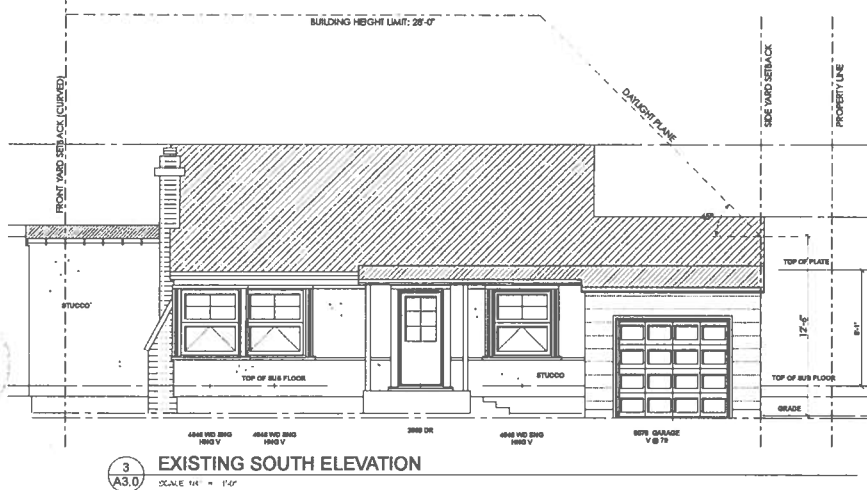
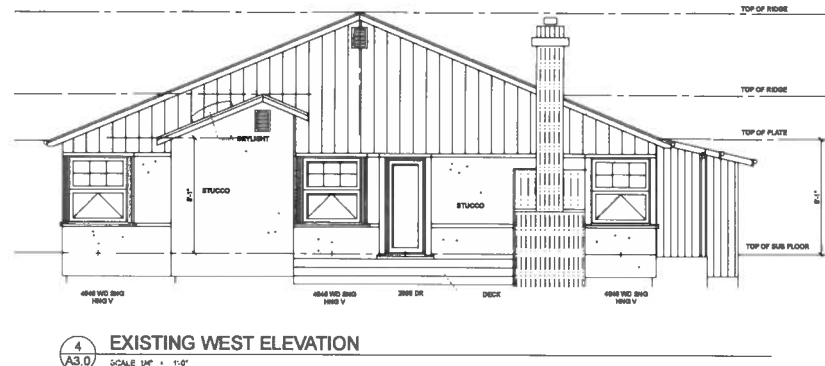
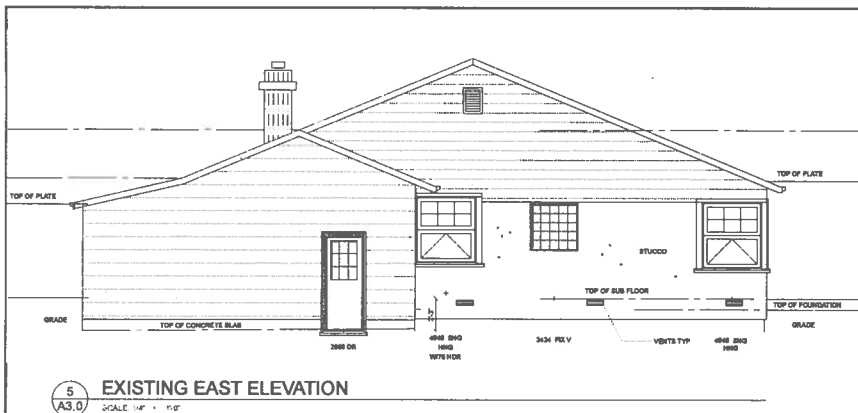
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SHEET TITLE

ROOF PLAN

SHEET NUMBER

A2.2



loro



Moeschler Residence

1029 Ringwood Avenue, Menlo Park, CA 94025

DATE	DESCRIPTION
04.24.14	Permit Set
01.26.15	Construction Use Permit Set
02.18.15	Construction Use Permit Set

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EXISTING EXTERIOR ELEVATIONS & STREETScape

SHEET 1 of 1

1029 RINGWOOD

1029 RINGWOOD

1029 RINGWOOD

1029 RINGWOOD

1029 RINGWOOD

1029 RINGWOOD

1029 RINGWOOD

1029 RINGWOOD

1029 RINGWOOD

1029 RINGWOOD

1029 RINGWOOD

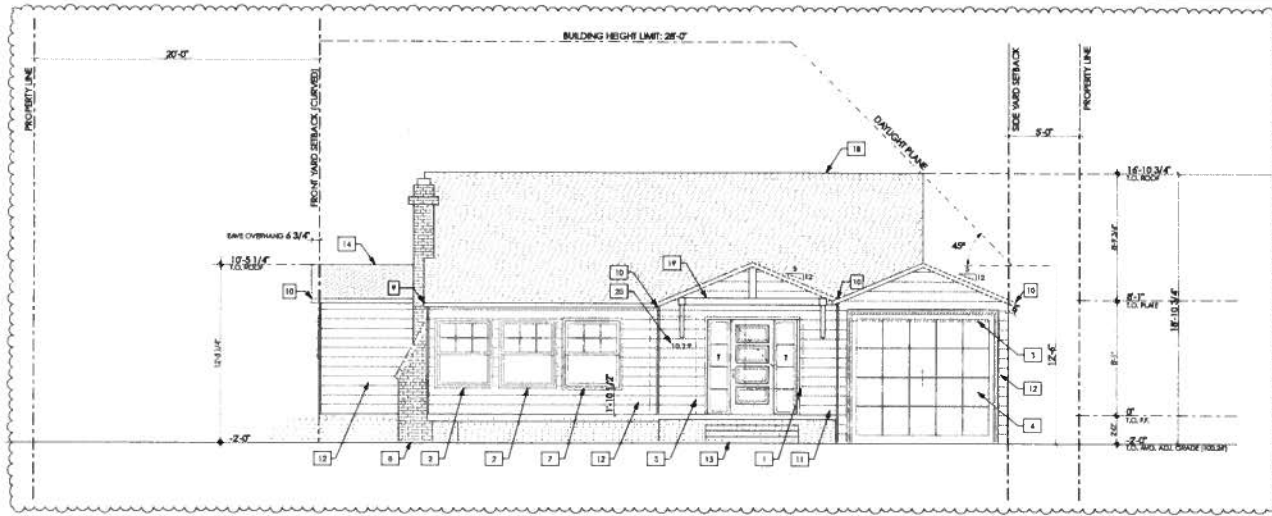
1029 RINGWOOD

SHEET NOTES

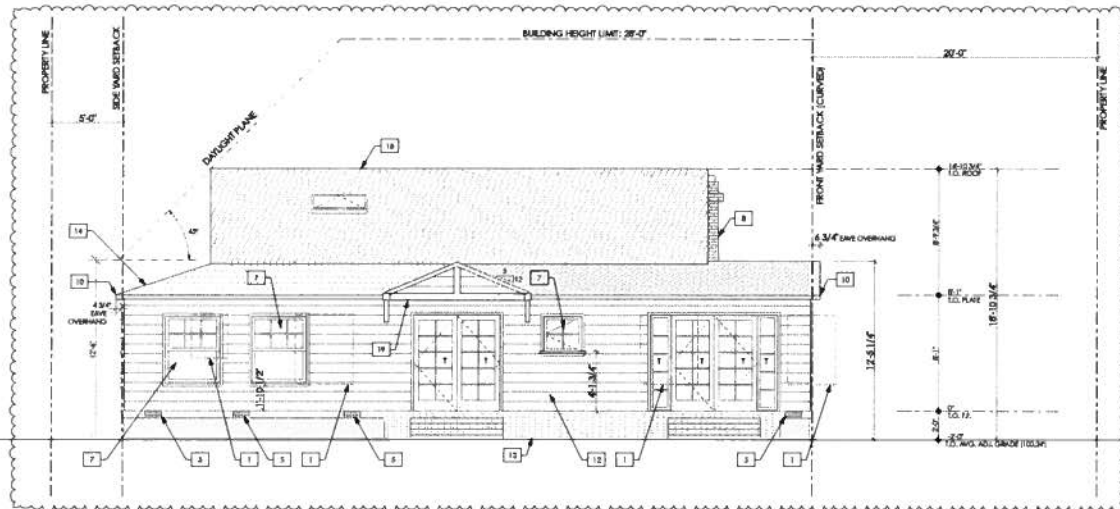
- (1) (R) WINDOW TO BE REMOVED.
- (2) (R) WINDOW TO REMAIN.
- (3) (R) DOOR TO BE REMOVED.
- (4) (R) DOOR TO REMAIN.
- (5) (R) VENTS TO REMAIN.
- (6) (R) GARAGE DOOR.
- (7) (R) WINDOW TO MATCH (R).
- (8) (R) PREPLACED TO REMAIN.
- (9) (R) DOWNSPOUT & GUTTER TO REMAIN.
- (10) (R) DOWNSPOUT & GUTTER.
- (11) (R) 1" x 7-3/4" HORIZONTAL WOOD SIDING.
- (12) (R) 1x6 HORIZONTAL LAP SIDING.
- (13) (R) BRICK LANDING AND STEPS.
- (14) (R) ROOF TO MATCH (R) ROOF.
- (15) (R) VENT TO REMAIN.
- (16) (R) GAS & ELECTRICAL METERS.
- (17) (R) CRAWLSPACE TO REMAIN.
- (18) (R) ROOFLINE.
- (19) (R) WOOD BEAMS, SSD.
- (20) (R) HOUSE NUMBERS PER CITY REQUIREMENTS.

ALL NEW WINDOWS TO MATCH (R) TO REMAIN, WHICH ARE WOOD, DOUBLE-HUNG & CASSEMENT BY ANDERSEN 'RENEWAL' WITH TRUE DIVIDED LIGHTS AND A SPACER BAR WITH INTERNAL & EXTERNAL GRIDS.

ALL EXTERIOR DOORS TO BE WOOD BY ANDERSEN 'RENEWAL' WITH TRUE DIVIDED LIGHTS, SPACER BAR WITH INTERNAL & EXTERNAL GRID.



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

loro



Moeschler Residence

1029 Ringwood Avenue, Menlo Park, CA 94025

DATE		DESCRIPTION
04.24.14	Permit Set	
09.18.14	Construction Use	
01.28.15	Construction Use	
02.12.15	Construction Use	
02.18.15	Construction Use	

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SHEET 1112
EXTERIOR ELEVATIONS

SHEET 1112

A3.1

SHEET NOTES

- 1 (R) WINDOW TO BE REMOVED.
- 2 (R) WINDOW TO REMAIN.
- 3 (R) DOOR TO BE REMOVED.
- 4 (R) DOOR TO REMAIN.
- 5 (R) VENTS TO REMAIN
- 6 (R) GARAGE DOOR
- 7 (R) WINDOW TO MATCH (R)
- 8 (R) FIREPLACE TO TRANSITION TO GAS FIREPLACE - SEE SHEET A3.1
- 9 (R) DOWNSPOUT & GUTTER TO REMAIN.
- 10 (R) DOWNSPOUT & GUTTER.
- 11 (R) 1" x 7-3/4" HORIZONTAL WOOD SIDING.
- 12 (R) 1x8 HARDIE LAP SIDING
- 13 (R) BRICK LANDING AND STEPS
- 14 (R) ROOF TO MATCH (R) ROOF
- 15 (R) VENT TO REMAIN
- 16 (R) GAS & ELECTRICAL METERS
- 17 (R) CRAWLSPACE TO REMAIN
- 18 (R) ROOFLINE
- 19 (R) WOOD BEAMS, SSD
- 20 (R) HOUSE NUMBERS PER CITY REQUIREMENTS

"ALL NEW WINDOWS TO MATCH (R) TO REMAIN, WHICH ARE WOOD, DOUBLE-HUNG & CASEMENT BY ANDERSEN 'RENEWAL' WITH TRUE DIVIDED LIGHTS AND A SPACER BAR WITH INTERNAL & EXTERNAL GRIDS.

"ALL EXTERIOR DOORS TO BE WOOD BY ANDERSEN 'RENEWAL' WITH TRUE DIVIDED LITES, SPACER BAR WITH INTERNAL & EXTERNAL GRID

2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

loro



Moeschler Residence

1029 Ringwood Avenue, Menlo Park, CA 94025

REVISION	
DATE	DESCRIPTION
04.24.14	Permit Set
09.18.14	Conditional Use Permit Set
01.28.15	Conditional Use Permit Set
02.12.15	Conditional Use Permit Set
02.18.15	Conditional Use Permit Set

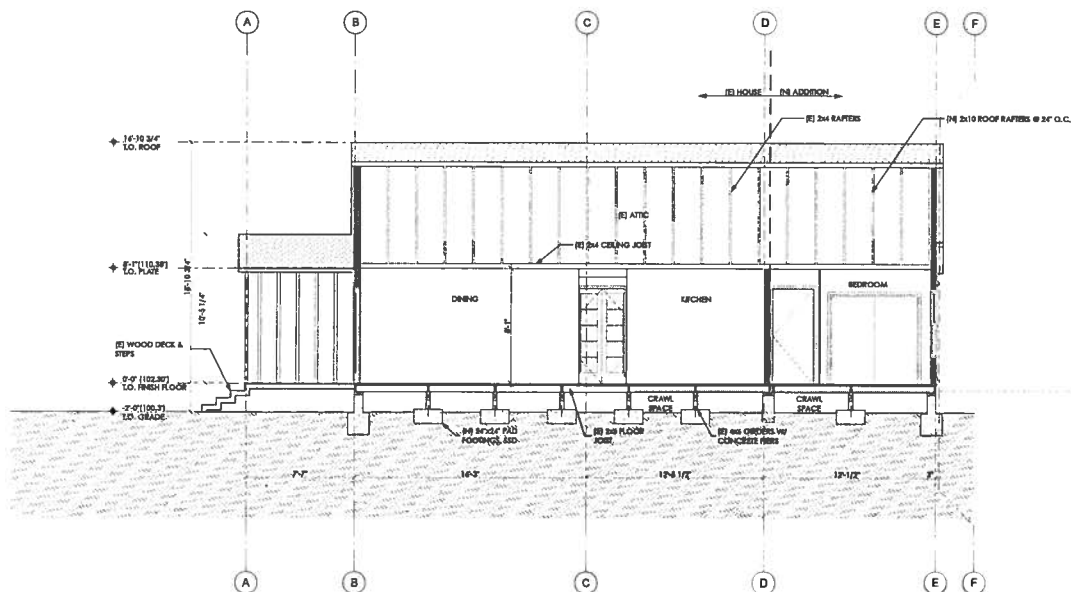
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SHEET TITLE
EXTERIOR ELEVATIONS

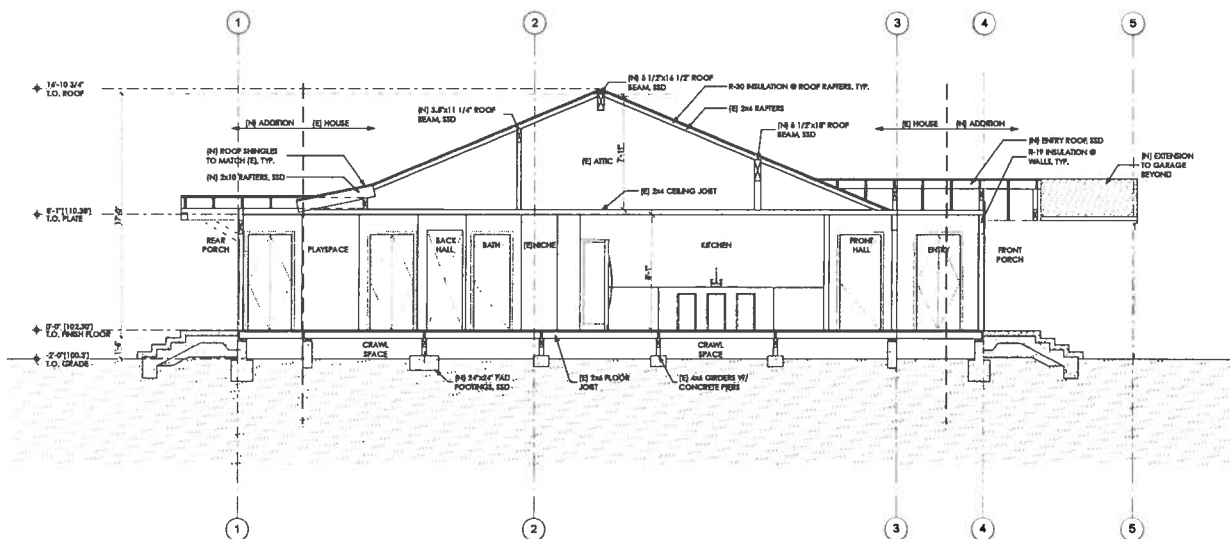
SHEET NUMBER

A3.2

8-12



2 BUILDING SECTION - EAST/WEST
SCALE: 1/8\"/>



1 BUILDING SECTION - NORTH/SOUTH
SCALE: 1/8\"/>

loro



Moeschler Residence

1029 Ringwood Avenue, Menlo Park, CA 94025

BLUE GATE

DATE	DESCRIPTION
06.24.14	Permit Set
09.18.14	Construction Use Permit
01.28.15	Construction Use Permit Extension

12.18.15 Construction Use Permit Renewal

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SHEET 182
BUILDING SECTIONS

SHEET NUMBER

A4.0

Below is a copy of the letter that was sent to neighbors within a 2 block radius, which invited them to our home to see construction plans and discuss the project. Only two neighbors showed up to the open house and simply said that they are thrilled we are investing in our home and will continue on as neighbors. We also heard from neighbors in the following weeks with similar sentiments – that they are glad we are staying the neighborhood and improving our home. No one flagged any concerns, nor do we expect any to arise.

October 1, 2014

Dear Neighbors,

We are writing to share our plans to update our home at 1029 Ringwood Ave. When we bought 7 years ago as a newly married couple, we wouldn't have imagined that our "3 year house" would turn into 7, and now plans for more! We love this neighborhood and want to create a home that better suits our family, now with two kids.

Our goal is simple: gain modest square footage, better access to the outdoors and storage. Also, to accomplish this with a one-story home that keeps in line with the integrity of the neighborhood.

The remodeled home will remain a three bedroom, two bathroom single-family, single-story residence. Our plans include adding square footage to the front and rear of the house, and reconfiguring the interior of the existing home – all within the constraints of existing setbacks and without impact to existing trees. The roofline will remain the same, as will the general look of the home with upgrades to the exterior finishes and colors. The house will be updated into a contemporary bungalow home with the use of updated, modern horizontal siding and a black and white color palette.

In order to accomplish our remodeling goals, most of the home will be gutted with the current interior reconfigured with the addition of a formal entry in the front and more space in the rear of the home, particularly behind the garage. Construction will take roughly 8 months.

Thank you in advance for supporting improvements to the beautiful neighborhood that we all live. We look forward to being your long-time neighbors.

Best,

Jeanne & Michael Moeschler

1029 Ringwood Ave
Jeanne_condit@yahoo.com

RECEIVED

FEB 12 2015

By PLANNING

C-1

Jeanne Moeschler
1029 Ringwood Avenue
Menlo Park, CA 94025

January 23, 2015

Dear Ms. Corrina Sandmeier,

This letter outlines the findings requested by Menlo Park for granting a variance. Each finding corresponds numerically to the outline on the Community Development Department's Variance handout.

1. The property at 1029 Ringwood Ave, Menlo Park has an unusual hardship. The property is a corner lot with a very long front setback that runs along the front and side of the home, which is nearly 147'. This setback severely limits the potential for the home and property. Previous owners built a permitted master bathroom that crosses into the setback. In order to infill the odd "notch" that this created in the home, we are proposing to reduce the amount of non-conforming home so that it matches with a flush wall of new conforming home. The new square footage is all within the setback and some of the existing variance structure must remain. See Fig 1 – attached.
2. The long front setback on our curved lot poses challenges that other neighbors are not faced with. The proposal to reduce the existing non-conformity and make the bedroom wall smooth rather than "notched" will make the house more conforming and less unsightly for neighbors.
3. The variance will not affect or be detrimental to anyone. The area affected has existing foundation and roof in place. There are no adjacent neighbors given the corner lot. Additionally, the integrity of the house would be improved, as the new wall would be continuously insulated and the eyesore "notch" removed.
4. This is a situation that is specific to this house only with the long front setback. Other homes in the neighborhood do not have the same set of conditions and any decision made by Menlo Park to grant the variance would not be applicable to other homes in the same zoning classification.
5. The decision to request this variance is based solely on the fact that the home is on an unusual lot with a long front setback and that a large portion of the property is part of this setback. In order to improve the home, some non-conformity must remain although it is proposed to reduce this nonconformity. This variance was not discussed in detail during any applicable Specific Plan process.

D-2

Orange circle shows existing non-conformity that must remain. Pink hashed area shows reduction in current non-conformity.

SITE PLAN
SCALE: 1/8" = 1'-0"

SITE PLAN LEGEND

- DEMOLITION
- EXISTING
- NEW CONSTRUCTION
- NEW EXTERIOR PAVING

NOTES

1. SITE DRAWING REFER TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
2. GAS EXISTING GAS METER TO REMAIN. WATER EXISTING WATER METER TO REMAIN.
3. ELECTRICAL HAZARD SIGN REMAINS IN PLACE UNDER ANY TREE CANOPY.

REVISIONS

1. ALL MEASUREMENTS CONTAINED IN THE PROJECT ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SPECIFICALLY NOTED OTHERWISE.

SITE PLAN SHEET NOTES

1. VERIFY ALL GRADING IN THE EXISTING SITE PLAN AND SETTING WITH EXISTING GRADIENTS AS PER CITY OF MEMPHIS RECORDS.
2. DURING CONSTRUCTION, NOTICES ALL EXISTING UTILITIES, TREES, LANDSCAPE AND LANDSCAPING NOT IN PROJECT SCOPE.
3. RED "CONTRACT" WORK AND CONSTRUCTION WITHIN THE CITY OF MEMPHIS MUST HAVE AN APPROVED "CONTRACT" WORK CONSTRUCTION IN THE "PUBLIC STREET" PRIOR TO COMMENCEMENT OF THIS WORK. THE PERMITTING OFFICE WILL NOT AUTHORIZE ANY WORK WITHIN THE CITY OF MEMPHIS WITHOUT THE REQUIRED PERMIT INFORMATION ON THE "BUILDING PERMIT" INFORMATION ONLY.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A STREET CLOSURE PERMIT FROM THE CITY OF MEMPHIS PRIOR TO STARTING ANY STREET IMPROVEMENT WORK.
5. AS POSSIBLE, ALL EXISTING UTILITIES SHALL BE RELOCATED TO THE STREET SIDE OF THE PROPERTY AS REQUIRED. UNDERGROUND UTILITIES SHALL BE PROTECTED FROM STREET TRAFFIC BY A MINIMUM OF 18" DEPTH.
6. REFER TO EXISTING STORM SEWER ALL INFORMATION ON THE PROPERTY AS REQUIRED BY THE CITY OF MEMPHIS.
7. STORM SEWER COLLECTION SYSTEM: THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXISTING STORM SEWER COLLECTION SYSTEMS. THE CONTRACTOR SHALL OBTAIN A STREET CLOSURE PERMIT FROM THE CITY OF MEMPHIS PRIOR TO STARTING ANY STREET IMPROVEMENT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXISTING STORM SEWER COLLECTION SYSTEMS. THE CONTRACTOR SHALL OBTAIN A STREET CLOSURE PERMIT FROM THE CITY OF MEMPHIS PRIOR TO STARTING ANY STREET IMPROVEMENT WORK.
8. ALL UTILITIES SHALL BE PROTECTED FROM STREET TRAFFIC BY A MINIMUM OF 18" DEPTH. REFER TO EXISTING STORM SEWER ALL INFORMATION ON THE PROPERTY AS REQUIRED BY THE CITY OF MEMPHIS.
9. DOWNSPOUTS TO STREET BY RELOCATED GRASS, REFER TO EXISTING STORM SEWER ALL INFORMATION ON THE PROPERTY AS REQUIRED BY THE CITY OF MEMPHIS.

SITE ANALYSIS	
EXISTING AREA	5,815 SF
ALLOWABLE FLOOD AREA	2,800 SF
AND COVERED BY STRUCTURES	365
LANDSCAPING	848 SF
PAVED SURFACES	585
PARKING SPACES	COVERED
ALL GRADES TO REMAIN NATURAL	
WORK MOVED SURFACES CALCULATED. SEE SHEET 1.1.1 FOR IMPROVEMENTS AND NOTES.	

ABBREVIATIONS	
EXISTING	EXISTING
DEMOLITION	DEMOLITION
NEW CONSTRUCTION	NEW CONSTRUCTION
NEW EXTERIOR PAVING	NEW EXTERIOR PAVING
PROPERTY LINE	PROPERTY LINE
STORM SEWER	STORM SEWER
SANITARY SEWER	SANITARY SEWER
UTILITY	UTILITY
TOP OF CURB	TOP OF CURB
WATER METER	WATER METER
WATER VALVE	WATER VALVE





PLANNING COMMISSION STAFF REPORT

FOR THE PLANNING COMMISSION
MEETING OF MARCH 9, 2015
AGENDA ITEM D2

LOCATION: 810 University Avenue **APPLICANT:** Natalie Hyland

EXISTING USE: Single-Family Residence **OWNER:** DGB Investment

PROPOSED USE: Single-Family Residence **APPLICATION:** Use Permit

ZONING: R-3 (Apartment)

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	5,060.0 sf	5,060.0 sf	7,000.0 sf min.
Lot width	50.0 ft.	50.0 ft.	70.0 ft. min.
Lot depth	101.2 ft.	101.2 ft.	100.0 ft. min.
Setbacks			
Front	23.0 ft.	30 ft.	20.0 ft. min.
Rear	28.5 ft.	32.5 ft.	15.0 ft. min.
Side (left)	10.0 ft.	7.0 ft.	10.0 ft. min.
Side (right)	10.0 ft.	0.5 ft.	10.0 ft. min.
Building coverage	1,398.0 sf 27.6 %	1,382.0 sf 27.3 %	2,100.0 sf max. 30.0 % max.
FAR (Floor Area Ratio)	2,277.0 sf 45.0 %	2,427.0 sf 48.0 %	2,277.0 sf max. 45.0 % max.
Square footage by floor	0 sf/basement 1,150.0 sf/1st 1,127.0 sf/2nd 216.0 sf/att. garage 0 sf/acc. str. 32.0 sf/porch 0 sf/fireplaces	1,045.0 sf/basement 1,047.0 sf/1st 0 sf/2nd 290.0 sf/att. garage 166.0 sf/acc. str. 45.0 sf/porch 9.0 sf/fireplaces	
Square footage of building	2,309.0 sf	2,602.0 sf	
Building height	24.5 ft.	17.0 ft.	35.0 ft. max.
Parking	1 covered/1 uncovered	1 covered/1 uncovered	1 covered/1 uncovered
	Note: Areas shown highlighted indicate a nonconforming or substandard situation.		
Trees	Heritage trees 1*	Non-Heritage trees 4	New Trees 3
	Heritage trees proposed for removal 0	Non-Heritage trees proposed for removal 2	Total Number of Trees 6
	*Located on the adjacent right side property		

PROPOSAL

The applicant is requesting a use permit to demolish an existing single-story, single-family residence and detached accessory buildings, and construct a new two-story, single-family residence on a substandard lot with regard to lot width and lot area in the R-3 (Apartment) zoning district

ANALYSIS

Site Location

The subject site is located at 810 University Avenue between Live Oak Avenue and Roble Avenue. The subject parcel is surrounded by other residences that are also in the R-3 zoning district. Some of the properties are developed with single-family homes and some are developed with multi-family units. There is a mix of single-story and two-story structures in the vicinity of the subject site. There are a variety of architectural styles in the greater neighborhood, although the immediately adjacent structures are one-story and bungalow style.

Project Description

The applicants are proposing to remove the existing single-story, single-family house with attached garage and accessory structures and construct a new two-story residence with an attached one-car garage. A conforming uncovered parking space would be located behind the house. There is an existing basement, but no new basement is proposed. The lot is substandard with regard to lot width and lot area and the proposed project requires approval of a use permit.

The proposed residence would have a floor area of 2,277 square feet, at the floor area ratio (FAR) maximum. Building coverage would be 27.6 percent where 30 percent is the maximum permitted. The proposed residence would have four bedrooms and 2.5 bathrooms with three of the bedrooms and two full bathrooms on the second floor. The first floor would have a guest bedroom and a half bathroom. The house is proposed to be 24.5 feet in height, below the maximum permissible height of 35 feet. The proposed structure would comply with setback requirements. The existing side setbacks and FAR are currently non-conforming. The proposed project would bring the property into compliance.

The applicants have submitted a project description statement, Attachment C, which discusses the proposal in more detail.

Design and Materials

The proposed residence is a two-story contemporary style home. It would have a stucco plaster finish with stained, horizontal redwood siding. The windows and doors would be aluminum clad with true divided lights. The garage door would be aluminum clad with obscured glass windows. There would be a combination of casement and double-hung windows.

Although the proposal is for a two-story residence with a flat roof, the applicants have taken measures to propose a residence with a consistent architectural vocabulary inherent to this style. The proposed structure would be over 10 feet lower than the 35 foot maximum limit. It would also have a front setback three feet more than the allowed minimum 20 foot. The additional setback would assist in the perception of a slightly smaller house as viewed from the street while adding additional landscaping to soften the house.

The house would be separated into zones by subtle variation of the rectangular forms. The alternating stucco and redwood siding also serve to reinforce the creation of distinct zones. The mass is broken up by the use of horizontal roof overhangs. At the front entry, the deep overhangs would extend to provide a porch area, adding architectural interest.

The design attempts to limit the privacy impacts of the second floor windows. On the left side elevation there would be two, small casement windows, with the one in the master bedroom set back approximately 25 feet from the left side property line. The bedroom window at the front would be set back approximately 15 feet, eight inches from the left side property line. There would be a window at the staircase that would not lend itself to casual viewing of the neighboring property. Sill heights of the three windows would each be two feet. On the right side elevation there would be three small windows. One would be above the master bedroom tub with a sill height of three feet, six inches. The middle window would also be above a tub with a sill height of six feet. The third window would be in a bedroom at the front corner of the house with a sill height of two feet.

Trees and Landscaping

There are no Heritage trees on the project site. There is a 34-inch Heritage pine tree on the property to the right. Its canopy and roots encroach into the project site. The existing and proposed driveway is over the roots of the tree. An arborist report has been submitted detailing construction methods to be used to protect the health of the tree during and after construction (Attachment D).

A 6 foot tall stained wood fence is proposed along the rear property line and along the allowed portions of the side property lines.

Correspondence

The applicants have stated that they have reached out to the adjacent neighbors regarding the proposed project (Attachment E). Staff has received e-mail correspondence signed by three neighbors on the 800 block of University Avenue (Attachment F). E-mail was also received from the next-door neighbor at 820 University Drive (Attachment G). The concern expressed in each letter is that the proposed architectural style is not in context with the neighborhood. Staff would note that the Planning Commission has not typically used the use permit process to require certain

architectural styles, but rather to limit the potential for impacts relating to privacy or heritage trees, as well as ensure that proposals utilize good proportions and balance, for whichever style that has been chosen. As noted earlier, staff believes the applicant has proposed a residence with a consistent architectural vocabulary inherent to this style, and would use materials, massing, and site placement to limit the potential for impacts.

Conclusion

Staff believes that the scale, materials, and style of the proposed residence are compatible with those of the greater neighborhood. The two-story residence is carefully designed with regard to detailing and materials and is of a consistent, coherent architectural style. Staff recommends that the Planning Commission approve the proposed project.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDATION

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Hyland Design Group, consisting of eight plan sheets, dated received February 24, 2015, and approved by the Planning Commission on March 9, 2015, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance; the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.

- d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

Report prepared by:
Stephen O'Connell
Contract Planner

Report reviewed by:
Thomas Rogers
Senior Planner

PUBLIC NOTICE & APPEAL PERIOD

Public notification consisted of publishing a legal notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property. Planning Commission action will be effective after 15 days calendar days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

ATTACHMENTS

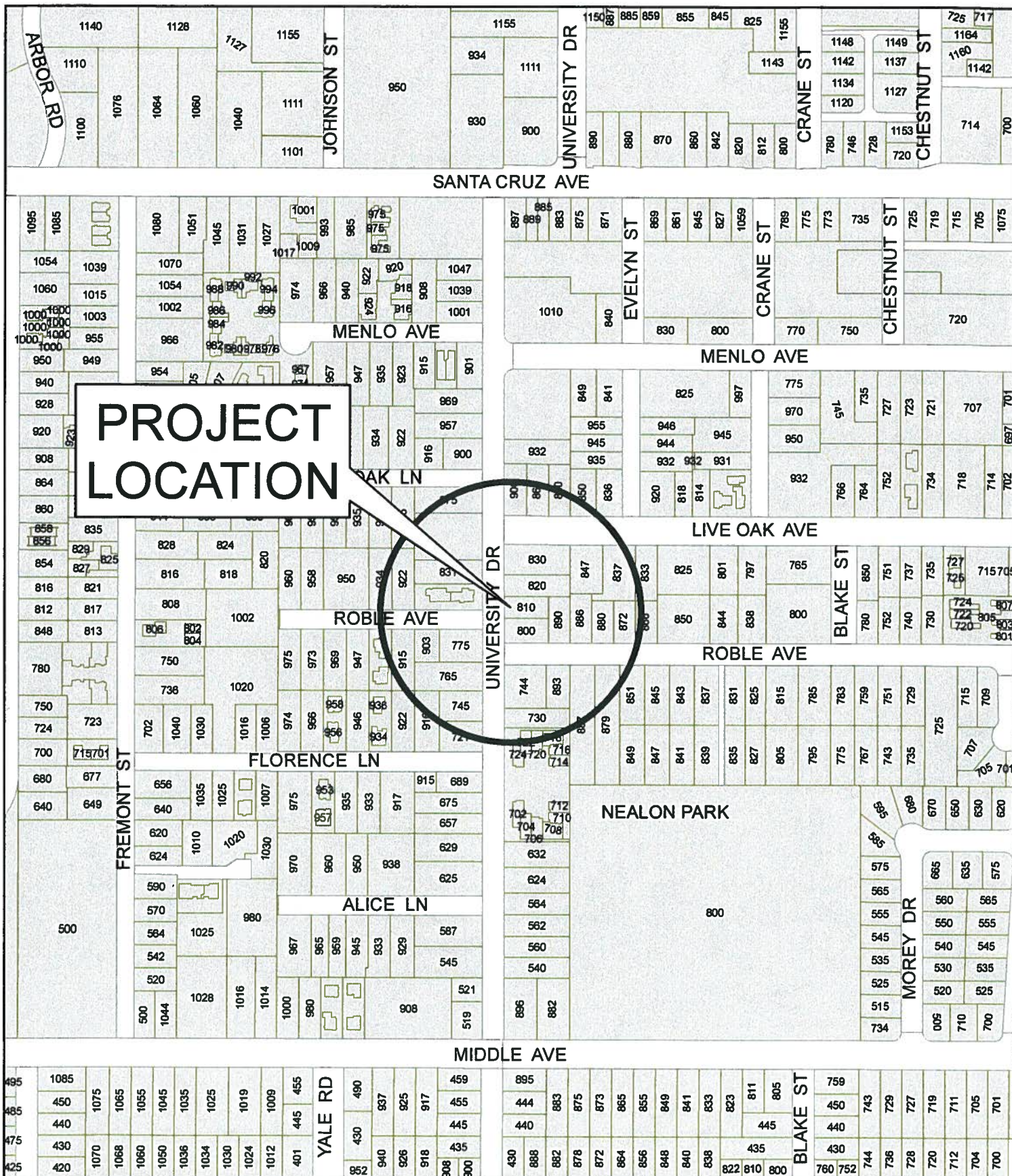
- A. Location Map
- B. Project Plans
- C. Project Description Statement
- D. Arborist Report, prepared by Kielty Arborist Services, dated July 23, 2014
- E. Neighbor Outreach Statement
- F. Correspondence from three neighbors on 800 block of University Avenue
- G. Correspondence from the property owner of 820 University Avenue

Note: Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

EXHIBITS TO BE PROVIDED AT MEETING

None

V:\STAFFRPT\PC\2015\030915 - 810 University Avenue.doc



CITY OF MENLO PARK

LOCATION MAP

810 UNIVERSITY DRIVE

A1



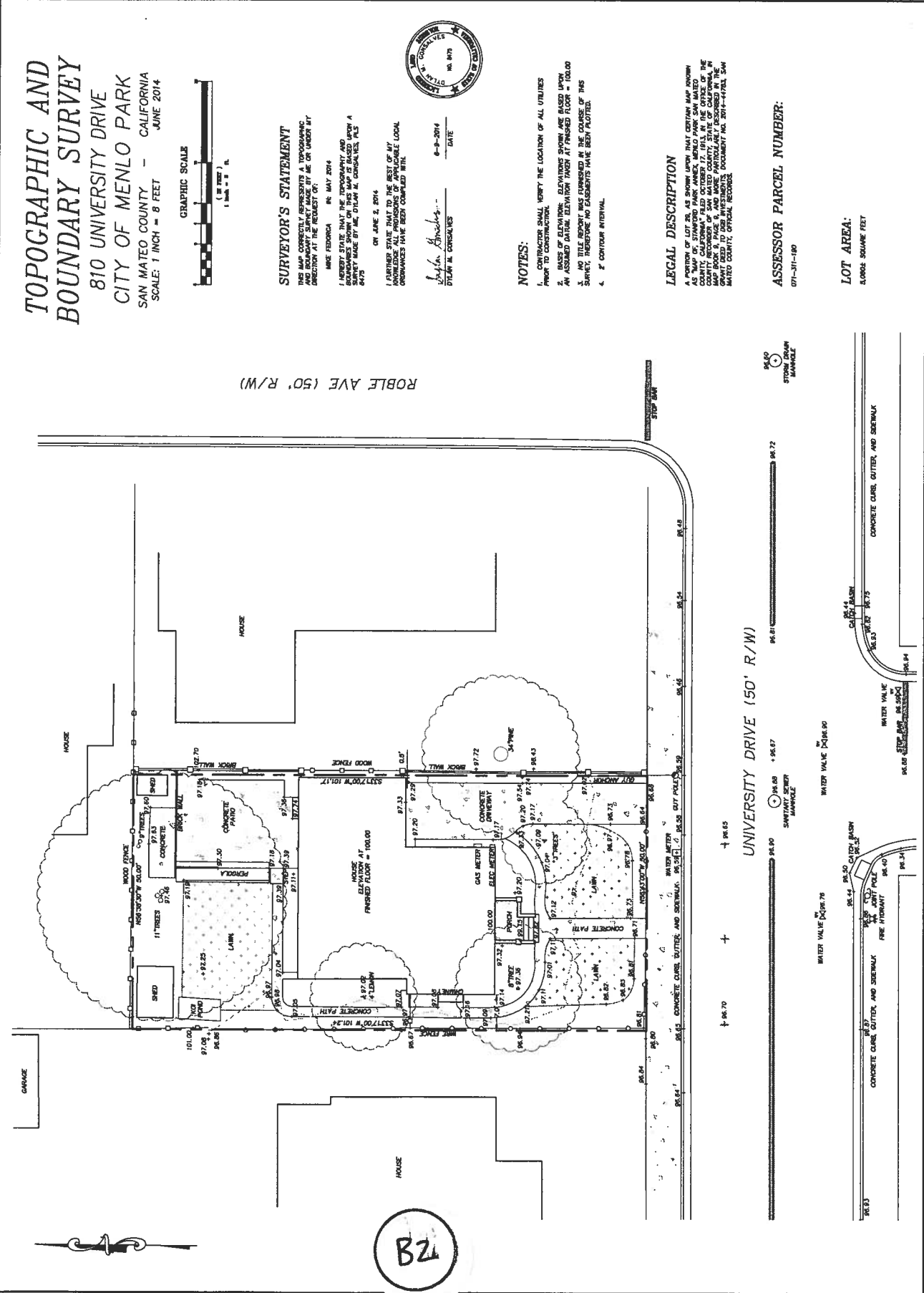
DMG ENGINEERING, Inc.
 30 OAKVIEW COURT
 PLEASANT HILL, CA 94523
 PHONE: (925) 787-0463
 FAX: (925) 287-8503

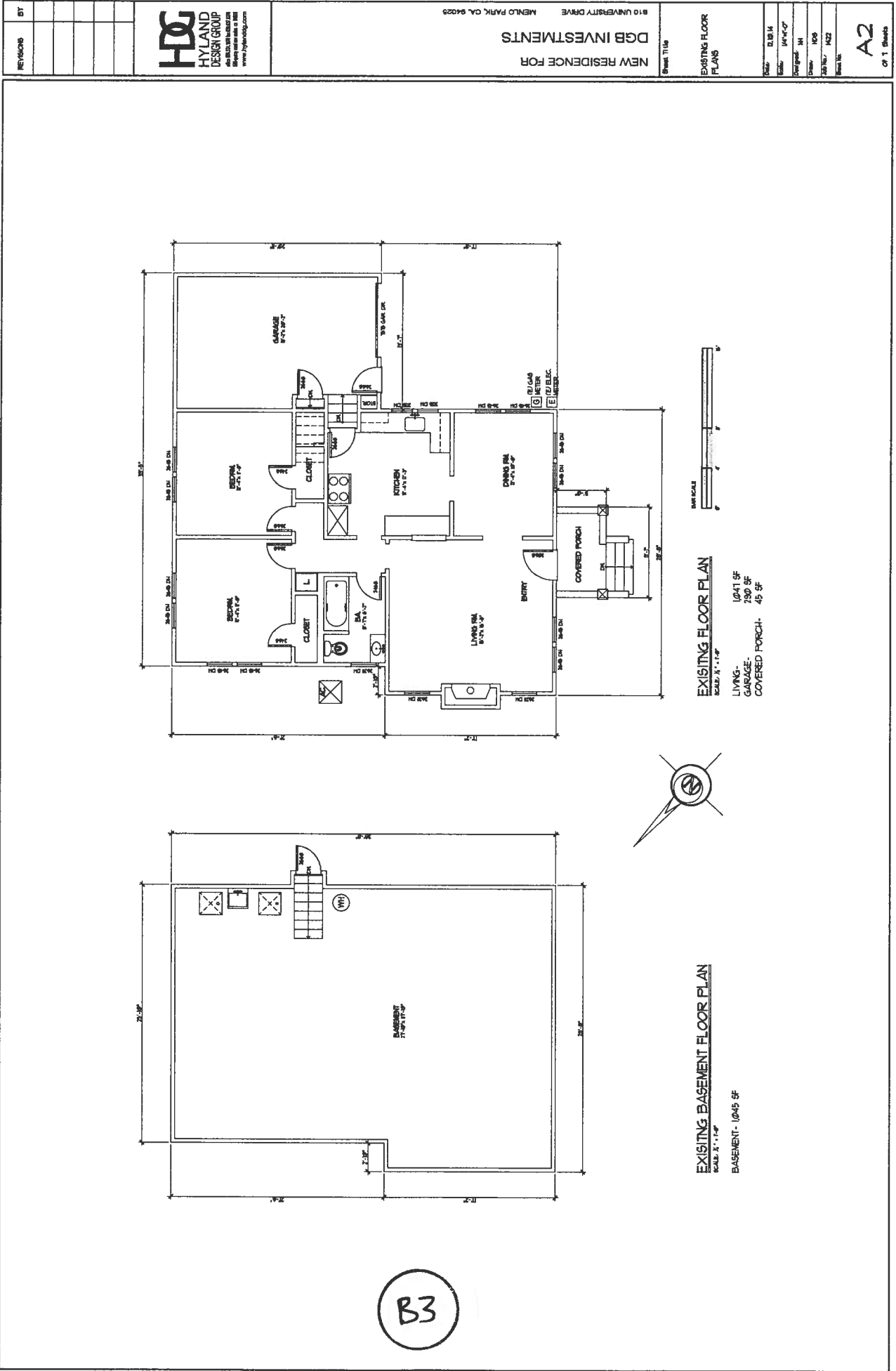
DMG ENGINEERING, Inc.
 REGISTERED ENGINEERING DRAWINGS
 DESIGN, PLANNING, SURVEYING, AND CONSTRUCTION
 This information is provided for informational purposes only and is not to be used for any other purpose without the written consent of DMG Engineering, Inc.
 The information is provided for informational purposes only and is not to be used for any other purpose without the written consent of DMG Engineering, Inc.

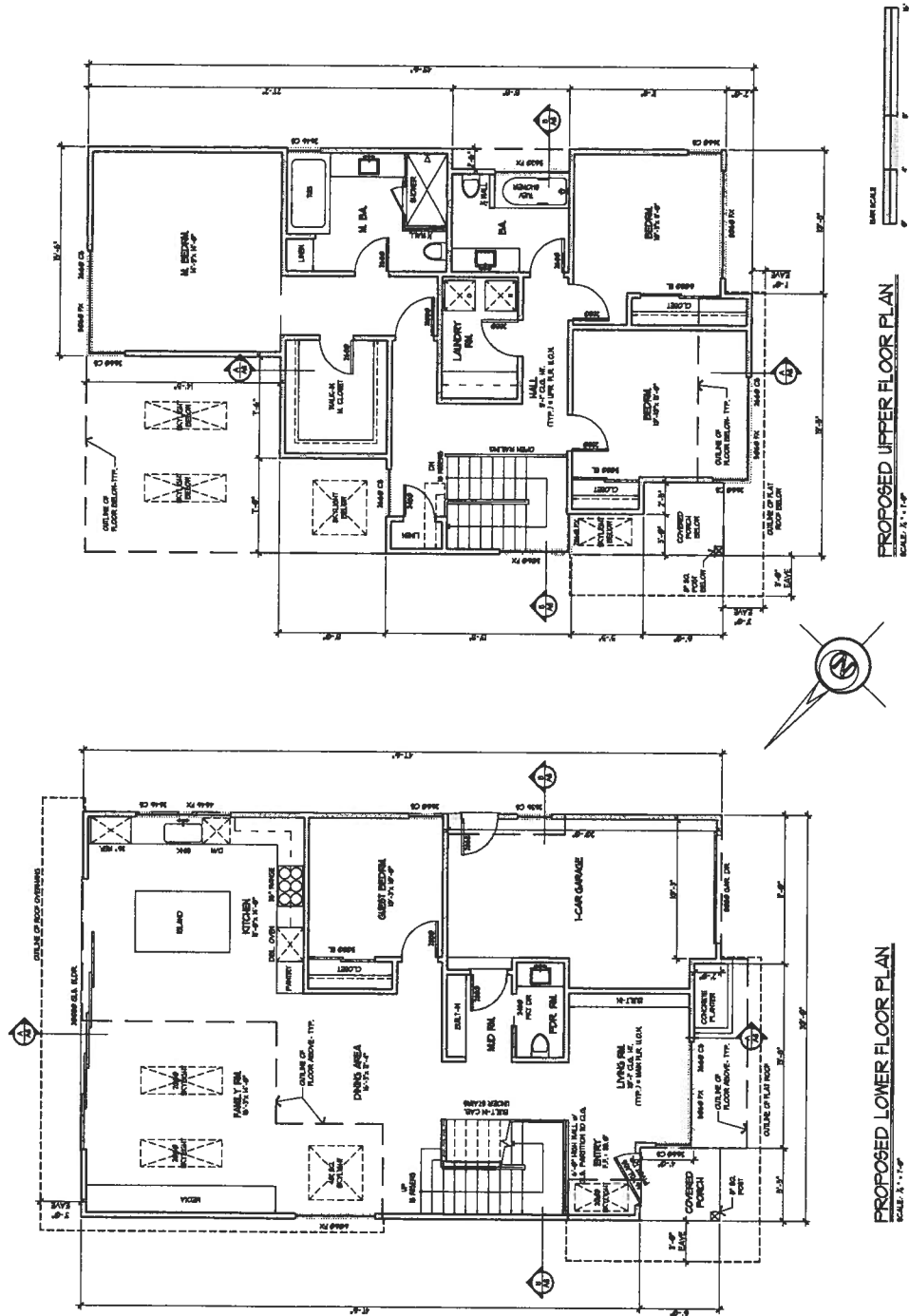
NO.	DATE	DESCRIPTION
1	6-8-2014	DATE
2		
3		
4		
5		
6		
7		
8		
9		
10		

TOPOGRAPHIC AND BOUNDARY SURVEY
 810 UNIVERSITY DRIVE
 CITY OF MENLO PARK - CALIFORNIA
 SCALE: 1" = 40' FEET
 JUNE 2014

SHEET 1 OF 1
 DRAWING: 8-1-2014
 DATE: 8-1-2014







PROPOSED UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"
LIVING INCL. STAIRS = 127 SF

PROPOSED LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"
LIVING INCL. STAIRS = 1273 SF
GAR. = 243 SF
COVERED PORCH = 32 SF

FLOOR PLAN LEGEND

 NEW 2 x 8 STUDS @ 16" O.C.
STUD WALLS
UNLESS OTHERWISE NOTED

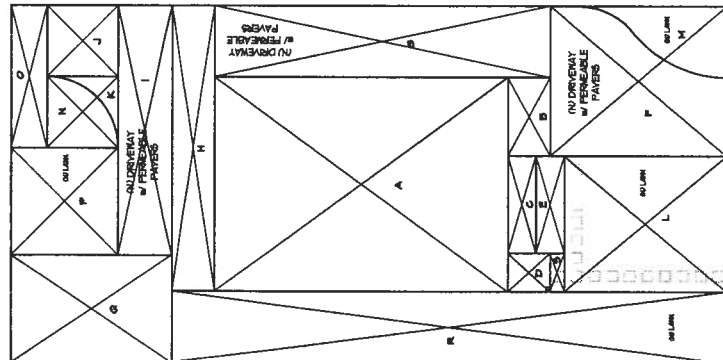
B4

AREA	DIMENSIONS	BUILDING COVERAGE	PARKING/DRIVEWAY	OPEN SPACE/LANDSCAPING
A	30'-0" x 4'-0"	120.00		
B	14'-0" x 8'-0"	64.00		
C	15'-0" x 4'-0"	96.00		
D	3'-0" x 8'-0"	96.00		
E	15'-0" x 4'-0"	60.00		
F	2'-0" x 2'-0"	4.00		
G	10'-0" x 10'-0"	100.00		
H	10'-0" x 10'-0"	100.00		
I	10'-0" x 10'-0"	100.00		
J	10'-0" x 10'-0"	100.00		
K	10'-0" x 10'-0"	100.00		
L	10'-0" x 10'-0"	100.00		
M	10'-0" x 10'-0"	100.00		
N	10'-0" x 10'-0"	100.00		
O	10'-0" x 10'-0"	100.00		
P	10'-0" x 10'-0"	100.00		
Q	10'-0" x 10'-0"	100.00		
R	10'-0" x 10'-0"	100.00		
S	10'-0" x 10'-0"	100.00		
TOTAL		1495.00 (30.1%)	13.00 (0.26%)	2402.9 (47.3%)

AREA	DIMENSIONS	F.A.L. LOT. COV.	NOTES
A	30'-0" x 4'-0"	120.00	Building
B	14'-0" x 8'-0"	64.00	Building
C	15'-0" x 4'-0"	96.00	Building
D	3'-0" x 8'-0"	96.00	Building
E	15'-0" x 4'-0"	60.00	Building
F	2'-0" x 2'-0"	4.00	Building
G	10'-0" x 10'-0"	100.00	Building
H	10'-0" x 10'-0"	100.00	Building
I	10'-0" x 10'-0"	100.00	Building
J	10'-0" x 10'-0"	100.00	Building
K	10'-0" x 10'-0"	100.00	Building
L	10'-0" x 10'-0"	100.00	Building
M	10'-0" x 10'-0"	100.00	Building
N	10'-0" x 10'-0"	100.00	Building
O	10'-0" x 10'-0"	100.00	Building
P	10'-0" x 10'-0"	100.00	Building
Q	10'-0" x 10'-0"	100.00	Building
R	10'-0" x 10'-0"	100.00	Building
S	10'-0" x 10'-0"	100.00	Building
TOTAL		1282.00	

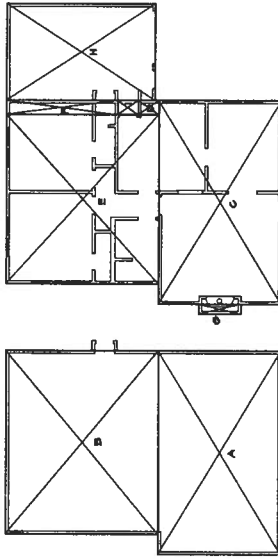
AREA	DIMENSIONS	F.A.L. LOT. COV.	NOTES
A	11'-0" x 4'-0"	44.00	
B	11'-0" x 4'-0"	44.00	
C	11'-0" x 4'-0"	44.00	
D	11'-0" x 4'-0"	44.00	
E	11'-0" x 4'-0"	44.00	
F	11'-0" x 4'-0"	44.00	
G	11'-0" x 4'-0"	44.00	
H	11'-0" x 4'-0"	44.00	
I	11'-0" x 4'-0"	44.00	
J	11'-0" x 4'-0"	44.00	
K	11'-0" x 4'-0"	44.00	
L	11'-0" x 4'-0"	44.00	
M	11'-0" x 4'-0"	44.00	
N	11'-0" x 4'-0"	44.00	
O	11'-0" x 4'-0"	44.00	
P	11'-0" x 4'-0"	44.00	
Q	11'-0" x 4'-0"	44.00	
R	11'-0" x 4'-0"	44.00	
S	11'-0" x 4'-0"	44.00	
TOTAL		1400.00	

AREA	DIMENSIONS	F.A.L. LOT. COV.	NOTES
A	11'-0" x 4'-0"	44.00	
B	11'-0" x 4'-0"	44.00	
C	11'-0" x 4'-0"	44.00	
D	11'-0" x 4'-0"	44.00	
E	11'-0" x 4'-0"	44.00	
F	11'-0" x 4'-0"	44.00	
G	11'-0" x 4'-0"	44.00	
H	11'-0" x 4'-0"	44.00	
I	11'-0" x 4'-0"	44.00	
J	11'-0" x 4'-0"	44.00	
K	11'-0" x 4'-0"	44.00	
L	11'-0" x 4'-0"	44.00	
M	11'-0" x 4'-0"	44.00	
N	11'-0" x 4'-0"	44.00	
O	11'-0" x 4'-0"	44.00	
P	11'-0" x 4'-0"	44.00	
Q	11'-0" x 4'-0"	44.00	
R	11'-0" x 4'-0"	44.00	
S	11'-0" x 4'-0"	44.00	
TOTAL		1400.00	

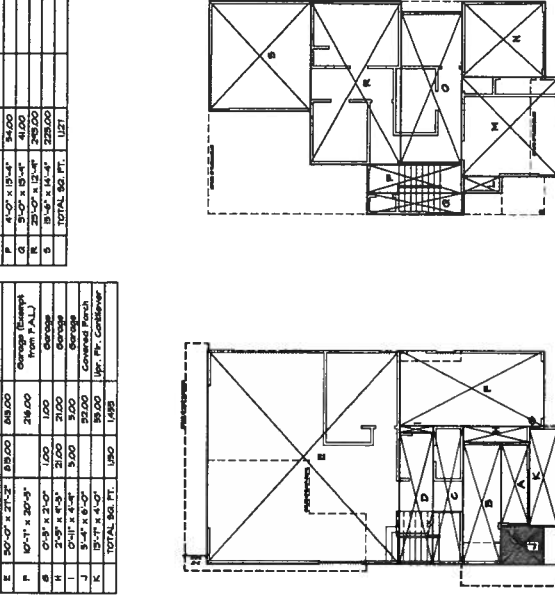


SITE PLAN SQ. FTG. CALCULATION
SCALE: 1/8" = 1'-0"

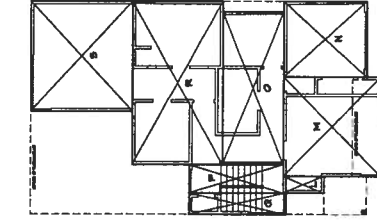
B8



EXISTING MAIN FLOOR
SQ. FT. CALCULATIONS
SCALE: 1/8" = 1'-0"



LOWER FLOOR SQ.
FT. CALCULATIONS
SCALE: 1/8" = 1'-0"



UPPER FLOOR SQ.
FT. CALCULATIONS
SCALE: 1/8" = 1'-0"

AREA	DIMENSIONS	COVERAGE
A	30'-0" x 4'-0"	120.00
B	14'-0" x 8'-0"	64.00
TOTAL		184.00 (30.1%)

BUILDING COVERAGE
SQ. FTG. CALCULATION
SCALE: 1/8" = 1'-0"



Project Description Letter:
For 810 University Avenue

We are proposing a new two-story single family dwelling with attached one-car garage. The architectural style is Contemporary and includes 2250 square feet of living, 216 square foot garage and a Front Covered Porch.

Due to the fact that this property is zoned R-3 and part of the downtown Menlo Park Area we thought it appropriate to design a more Urban Modern style Home.

We coordinated with the city planner, Stephen O'Connell on form, windows and exterior materials. There is a mixed media of materials, stucco and stained siding and it has a flat roof.

We believe it has good form and mass for this style of architecture.

Kielty Arborist Services
Certified Arborist WE#0476A
P.O. Box 6187
San Mateo, CA 94403
650- 515- 9783

RECEIVED

AUG 21 2014

CITY OF MENLO PARK
BUILDING

July 23, 2014

Fedorca Investments, LLC
PO Box 52128
Palo Alto, CA 94303

Site: 810 University Drive, Menlo Park, CA

Dear Mr. Fedorca,

As requested on Wednesday, July 24, 2014, I visited the above site for the purpose of inspecting and commenting on the trees. A new home is planned for this site and as required by the City of Menlo Park a survey of the trees and a tree protection plan will be included.

Method:

The significant trees on this site were located on a map provided by you. Each tree was given an identification number. This number was inscribed on a metal foil tag and nailed to the trees at eye level. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). Each tree was assigned a condition rating from 1 to 100 for form and vitality using the following scale;

1 - 29 Very Poor
30 - 49 Poor
50 - 69 Fair
70 - 89 Good
90 - 100 Excellent

The height of each tree was estimated and the spread was paced off. Lastly, a comments section is provided.

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1	Monterey pine (<i>Pinus radiata</i>)	33.9	50	45/50	Fair vigor, fair form, roots have lifted wall and driveway
2*	Tulip magnolia (<i>Magnolia x solangeana</i>)	5.8@base	60	10/8	Good vigor, poor-fair form multi leader at base of tree.

DI

Tree#	Species	DBH	CON	HT/SP	Comments
3*	Persimmon (<i>Diospyros kaki</i>)	7.2	60	15/15	Good vigor, fair form, leans to the south, 4 feet from existing house.
4*	Mexican lime tree (<i>Citrus x aurantiifolia</i>)	6.4@ 1'	60	10/10	Good vigor, fair form, multi leader at 2 feet.
5	Loquat (<i>Eriobotrya japonica</i>)	12@base	60	20/15	Good vigor, fair form, poor location, multi leader at base.
6	Avocado (<i>Persea americana</i>)	20.3	65	30/35	Fair vigor, fair form, heavy lean to the south, abundance of fruit
7	Avocado (<i>Persea americana</i>)	15est.	55	30/20	Poor to fair vigor, poor form, codominant at base, freeze damage

*indicates tree to be removed

Summary:

The property at 810 University has only imported tree species most of them are fruiting trees. The trees are in poor to fair condition. The proposed house is near the same footprint as the existing house and with the exception of Tree #2, #3 and #4. The proposed home will not greatly affect the protected trees. Trees #2,#3,#4 are all very close the existing house and will have to be removed. The following tree protection plan will help to insure the health of the trees to be retained.

Tree Protection Plan:

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones.

Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips.

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend fertilizing or irrigation if root cutting is significant. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The site arborist will be on site for the excavation the foundation.

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

During the demolition process all tree protection must be in place. An inspection prior to the start of the demolition is required. A pre-demolition meeting with the site arborist may be required. All vehicles must remain on paved surfaces if possible. If vehicles are to stray from paved surfaces, 4 to 6 inches of chips shall be spread and plywood laid over the mulch layer. This type of landscape buffer will help reduce compaction of desired trees. Parking will not be allowed off the paved surfaces. The removal of foundation materials, when inside the driplines of protected trees, should be carried out with care. Hand excavation may be required in areas of heavy rooting. Exposed or damaged roots should be repaired and covered with native soil. Six inches of chipper chip mulch will be spread beneath the driplines of all protected trees. The mulch layer will be kept 12 inches from the trunk of protected trees, protection fencing may need to be moved after the demolition. The site arborist should be notified and the relocated fence should be inspected. A pre-construction fencing inspection is required.

This information should be kept on site at all times. The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kiely
Certified Arborist We#0476A



HYLAND DESIGN GROUP

December 10, 2014

NEIGHBORHOOD OUTREACH

The attached Neighborhood outreach packet was hand delivered on November 23rd 2014 to each adjacent neighboring properties to include:

800 University (Front Unit)

800 University (Rear Unit)

820 University

900 University

890 University

890 Roble

At this point in time there has been no response from any neighbors

Sincerely,

Natalie Hyland
Lead Designer
Hyland Design Group



Hello my name is Natalie Hyland and I am a building designer out of San Carlos. My client, Mike Fedorca has recently purchased the adjacent property at 810 University.

We are very excited about the enclosed project of a new Single Family Dwelling and I stopped by today to introduce myself and see if you have any questions or concerns.

Enclosed you will find a Site Plan, Exterior Elevations and Project Description for your review along with a ***Neighbor Acknowledgement Form***. If you would be ever so kind to sign the form and return to our office at your earliest convenience we would really appreciate it.

If you have any questions please do not hesitate to call me at 650.331.1870 and I will be happy to discuss the scope of the project with you.

Sincerely,

Natalie Hyland



Rogers, Thomas H

From: Stephen OConnell <stephen@stephenoconnell.net>
Sent: Tuesday, March 03, 2015 4:26 PM
To: Rogers, Thomas H
Subject: Fw: Comment on proposed plan 810 Univ. Dr., Menlo Park

----- Forwarded Message -----

From: liz <e.anhorn@comcast.net>
To: stephen@stephenoconnell.net
Sent: Sunday, January 4, 2015 5:34 PM
Subject: Comment on proposed plan 810 Univ. Dr., Menlo Park

As homeowners in the vicinity of the 800 block of University Drive, we are concerned with the design of the proposed new home at 810 University Drive. The contemporary look does not fit in with the character of the neighborhood. A flat roof is not a pleasing architectural design for a home in an area of older homes.

In the Planning Commission Staff Report for the meeting on 12/15/14 referencing the proposed plan for the new firehouse at Oak Grove Ave. & Hoover St., it states that on 2/4/13 the Planning Commission provided guidance on the development proposal which included: "The design of the Hoover Street facade should be more compatible with the adjacent neighborhood". We feel the Planning Commission should follow the same criteria for the proposed new home in the residential neighborhood on University Drive as they have with the Oak Grove Ave. firehouse.

Thank you for considering. Elizabeth Anhorn, Virginia Ghezzi, Maurizio Ghezzi



Rogers, Thomas H

From: Stephen OConnell <stephen@stephenoconnell.net>
Sent: Tuesday, March 03, 2015 4:26 PM
To: Rogers, Thomas H
Subject: Fw: Use Permit/Natalie Hylund/810 University Drive
Attachments: image.jpeg; image.jpeg

----- Forwarded Message -----

From: Julie <juliepardini@yahoo.com>
To: "planning.commission@menlopark.org" <planning.commission@menlopark.org>
Cc: "stephen@stephenoconnell.net" <stephen@stephenoconnell.net>
Sent: Saturday, January 3, 2015 5:32 PM
Subject: Use Permit/Natalie Hylund/810 University Drive

Date: January 3, 2015

Members of The Planning Commission:

I own the property located at 820 University Drive. I am opposed to the approval of the Use Permit for 810 University Drive.

The design of the proposed residence is architecturally inconsistent with the homes in the neighborhood. It is totally out-of-character with Menlo Park homes in the immediate vicinity. It looks more like a container vessel at the Port of Oakland than it does a single family residence on University Drive.

I cannot imagine that the Planning Commission could or would approve such a structure---glaring as it is to the visual aspects of Menlo Park's University Drive.

I have attached a copy of a schematic to show the startling differences between the proposed new structure when seen adjacent to the present homes on University Drive.

820 University Drive. 810 University

810 University Drive, Flanked by Adjacent Existing Residences

Yours truly,

Ronald Bongio
Email: juliepardini@yahoo.com

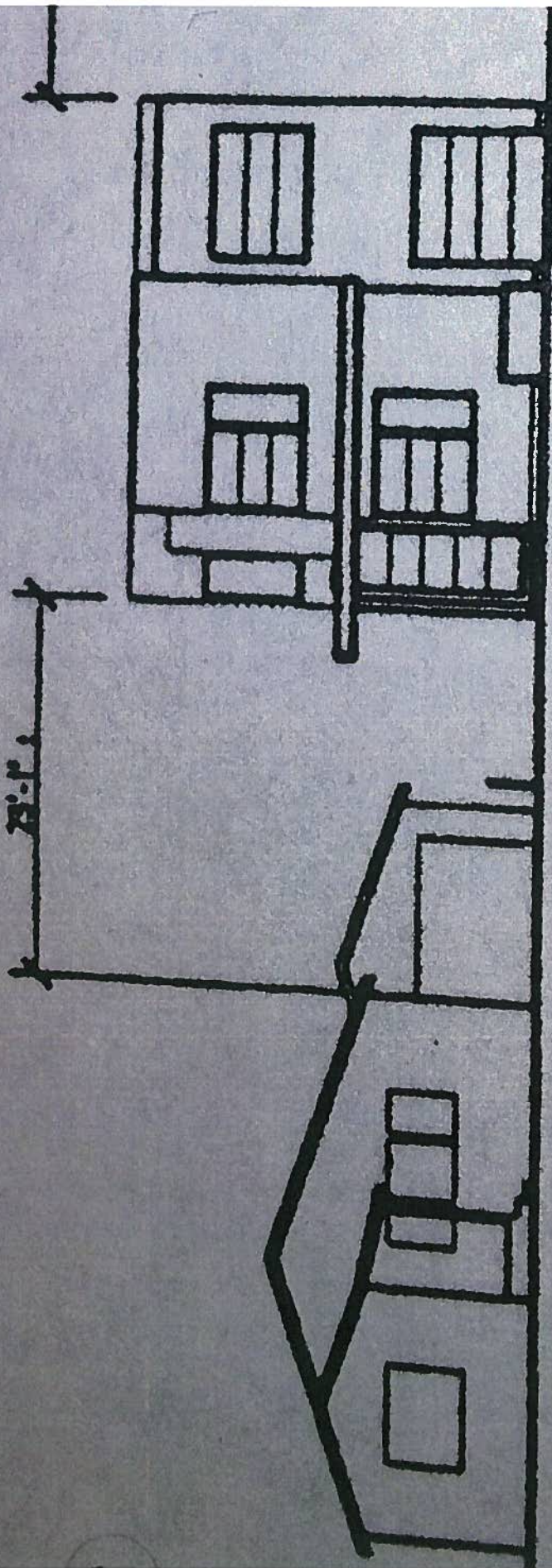
Sent from my iPhone

AREA PLAN

SCALE: 1" = 20'-0"



25'-0"

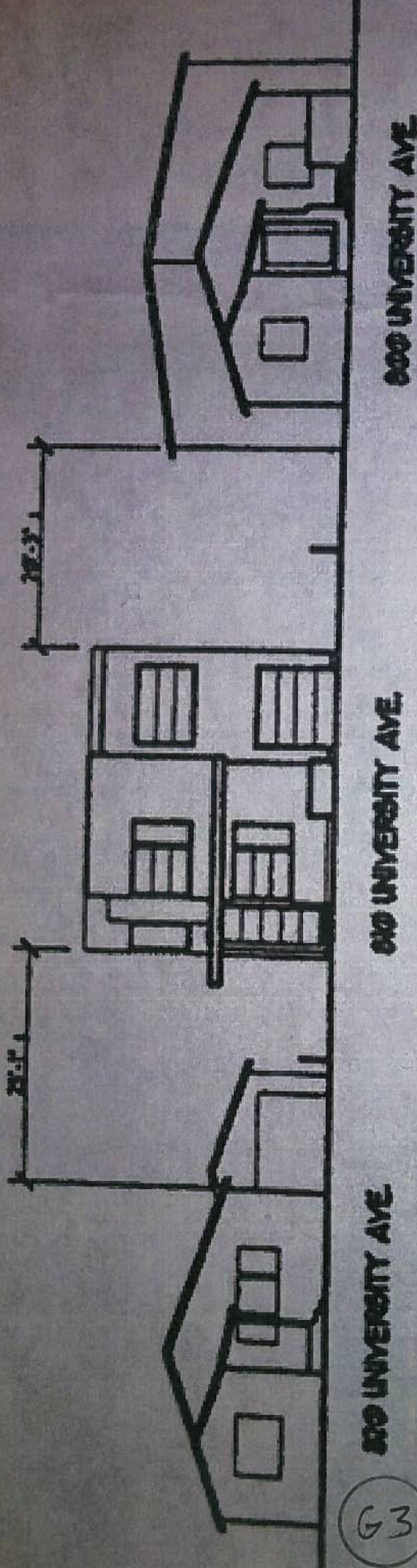


820 UNIVERSITY AVE

810 UNIVERSITY AVE

AREA PLAN

SCALE: 1" = 10'-0"



STREETSCAPE

SCALE: 1/8" = 1'-0"





PLANNING COMMISSION STAFF REPORT

FOR THE PLANNING COMMISSION
MEETING OF MARCH 9, 2015
AGENDA ITEM D3

LOCATION:	2900 Sand Hill Road	APPLICANT:	Sharon Heights Golf and Country Club
EXISTING USE:	Golf and Country Club	OWNER:	Sharon Heights Golf and Country Club, Leland Stanford Jr. University
PROPOSED USE:	Golf and Country Club	APPLICATION:	Use Permit Revision and Architectural Control
ZONING:	OSC (Open Space and Conservation)		

BACKGROUND

Since 1962, the Sharon Heights Golf and Country Club (“SHGCC”) has been operating a private recreational facility on an approximately 111-acre site consisting of multiple contiguous parcels. Recreational facilities at the subject site include an 18-hole golf course, tennis courts, a swimming pool, clubhouse, restaurant, and associated facilities. Use of these facilities is generally restricted to club members.

In December 2000, SHGCC received use permit approval to construct its current clubhouse. More recently in March 2012, SHGCC received a use permit to allow for the annual Fourth of July Celebration event to occur at the site, including a fireworks display, children’s carnival, and amplified music. In August 2012, SHGCC received use permit and architectural control approval to construct a new maintenance yard and to store and use hazardous materials. Construction of the new maintenance yard facilities is pending as of the date of this report. In September 2013, SHGCC received a use permit revision to allow a membership increase from 550 to 680 members (a 130

member increase). A Negative Declaration was prepared to review the potential environmental impacts of the membership increase.

PROPOSAL

The applicant is requesting a use permit revision and architectural control to allow an expansion of the clubhouse facilities, including an addition to the existing clubhouse building, demolition of an existing pool building, construction of a new pool building with indoor and outdoor dining areas, and construction of a new movement building for fitness classes and wellness activities in the OSC (Open Space and Conservation) zoning district. As part of the proposed expansion, 10 regular parking stalls would be eliminated and replaced with 13 new tandem parking spaces. No changes are proposed to site's existing membership cap of 680 members.

ANALYSIS

Site Location

The Sharon Heights Golf and Country Club (SHGCC) is located at 2900 Sand Hill Road, near the junction of Interstate 280 and Sand Hill Road in the OSC (Open Space and Conservation) zoning district. The golf course and associated facilities are located on multiple contiguous properties comprising approximately 111 acres on property that is owned or leased by SHGCC. The SHGCC completely surrounds the multi-building office development at 3000 Sand Hill Road and the townhome developments located along Sand Hill Circle. In addition, the golf course completely encircles the townhome and condominium developments located at the end of Sharon Park Drive. The existing clubhouse and proposed clubhouse expansion would be located on the southern portion of the site, and takes access from Sand Hill Road frontage road. The closest residential neighbors to the clubhouse are located along Sand Hill Circle at approximately 300 feet from the northwest corner of the existing clubhouse.

Single-family residences, located within the Town of Atherton, are located to the north of the site. The Sharon Heights neighborhood is located to the east of the project site and contains a mix of single-family residences, townhomes, and condominium developments. Adjacent parcels along the Sand Hill Road entrance to the site contain multi-building office developments. Parcels located across Sand Hill Road, south of the project site, include multi-building office developments and a hotel.

Project Description

The applicant is proposing to expand the recreational facilities at the existing clubhouse. The clubhouse currently consists of a two-story clubhouse building, a pool building, and a swimming pool. The proposed changes would be limited to the southwest portion of the clubhouse, around the existing swimming pool.

The clubhouse building would be expanded and remodeled to accommodate a new fitness room, treatment rooms, shower area, and pool office. An existing pool building located to the east of the pool would be demolished, and a new expanded pool building would be constructed at the same location. The new pool building would provide indoor and outdoor dining areas, a kitchen, restrooms, youth lounge, and a room to house pool equipment. A new bocce ball court would be installed to the south of the pool. A new movement building would be located to the west of the pool, and would provide space for fitness classes, wellness activities, and storage for these activities. An existing spa located to the northeast of the pool would be demolished, and a new spa would be constructed to the west of the pool, next to the movement building. An existing spa will be demolished, and a new spa will be constructed to the south of the movement building. The applicant has provided a project description letter, which discusses the proposal in more detail (Attachment C).

Development Regulations

The only development regulation in the OSC zoning district is that the floor area ratio (FAR) shall not exceed 2.5 percent of the lot area. The proposed gross floor area of the clubhouse facilities would be approximately 57,324 square feet, a net increase of approximately 5,213 square feet as compared to the existing clubhouse. The proposed total gross floor area of all buildings on the project site, including the clubhouse facilities and all outbuildings, would comprise approximately 1.6 percent FAR on the approximately 97 acres of SHGCC-owned property.

PG&E Easement

There is an existing Pacific Gas and Electric (PG&E) utility easement that runs to the south and west of the existing pool area. The proposed pool building, movement building, and retaining wall for the new spa would encroach into the existing easement. PG&E has indicated that this portion of their electric line lies outside of the existing easement, and that the proposed encroachment would not impact the utility line. Additionally, PG&E has granted the applicant permission to encroach into the easement as proposed, and has indicated that the existing easement may need to be modified or a new easement may need to be obtained to cover the facilities that are outside of the existing easement. The requirement to provide an agreement between SHGCC and PG&E regarding the realignment of the existing easement has been included as condition 5b.

Events

The SHGCC holds approximately 33 major recurring club events throughout the year, such as golf tournaments and holiday celebrations. The event with the highest attendance is the annual Fourth of July Celebration. A use permit was granted in March 2012 to allow for recurring special events at the site, including, but not limited to, a fireworks display, children's carnival, and amplified music.

Non-club events, such as banquets and weddings, also occur on the subject site. As part of the 2000 use permit approval, non-club events were limited to no more than 15 percent of SHGCC's total revenue. The 15 percent limit is consistent with the current Internal Revenue Service's regulations for non-member use of club facilities and services at tax-exempt social clubs. This limitation on revenues from non-club events would remain intact as a mechanism to help limit the number of events that can occur at the site.

Design and Materials

The proposed new construction was designed to be consistent with the craftsman style, materials, and colors of the existing clubhouse. The proposed gable roof forms and shed dormers would be clad in composite shingles, and the walls would be clad in wood shingles. Wood columns and trellises would highlight the building entries and provide shade in the outdoor dining area. The base of the addition to the clubhouse building and the chimneys would be clad in stone veneer. Simulated true divided light wood-clad windows and doors, with grids on the interior and exterior and spacer bars between the glass, would be consistent with the design and materials of existing windows and doors. The applicant proposes to maintain the existing color scheme of brown for the wall cladding and trellis, and dark green for the trims and columns.

Staff believes that the scale, materials, and style of the proposed addition and new buildings are compatible with those of the existing clubhouse and surrounding neighborhood.

Parking and Circulation

The subject site has two parking areas, including the main parking lot at the clubhouse and a secondary parking lot at the tennis courts, both of which are accessed through Sand Hill Road frontage road. According to the parking demand analysis that was prepared in 2013 by TJKM Transportation Consultants, a total of 250 parking spaces (including 11 disabled spaces) are provided at the two parking lots. Based on the current rates of parking occupancy, the analysis concluded that up to 783 members could be accommodated with the existing parking supply. Therefore, there is sufficient parking to accommodate the site's current membership cap of 680 members.

The proposed new pool building would expand into the main parking lot and result in the loss of nine existing parking spaces, including two disabled parking spaces. A row of parking immediately in front of the clubhouse would be reconfigured to eliminate one regular parking space in order to provide two additional disabled spaces to compensate for the two disabled spaces that were removed. To compensate for the loss of 10 regular parking spaces, the applicant is proposing to construct 13 new tandem spaces, resulting in a net increase of three spaces. The tandem spaces are intended to be used for valet parking during events only. These 13 parking spaces would be paved

with permeable pavers, and would be physically delineated from the regular parking spaces with posts, chains, and signage.

For the Fourth of July Celebration event, SHGCC has an agreement to utilize the parking lot for the adjacent office complex at 2882 Sand Hill Road. The event occurs on a holiday, and would not coincide with the office use's business hours.

The proposed modifications to the parking lot would continue to provide sufficient parking to accommodate the parking demand on the site. Staff is not aware of any complaints from the neighbors or the community about insufficient parking supply on the site, or any overflow of parking into neighboring streets. Although tandem spaces are not typically permitted, staff believes they will function adequately on the subject site, given the unique attributes of a country club with regard to the provision of valet parking.

Trees and Landscaping

The applicant has submitted an arborist report (Attachment D) detailing the species, size, and conditions of the existing trees in the vicinity of the proposed areas of work. The report determines the present condition, discusses the impacts of the proposed improvements, and provides recommendations for tree preservation. The applicant is proposing to remove a total of eight non-heritage trees due to the proposed construction. While there are a number of heritage trees on the larger golf and country club site, there are no heritage trees within close proximity of the proposed construction. The applicant is proposing to plant eight new trees in the parking lot along Sand Hill Road frontage road. All recommendations identified in the arborist report shall be implemented and have been included as condition of approval 4.e.

Correspondence

Staff has not received any items of correspondence on the proposed project.

Conclusion

Staff believes the proposed exterior modifications are consistent with the scale, design, and materials of the existing clubhouse building, and the proposed addition would improve the functionality of the recreational and dining facilities at the clubhouse. Staff recommends approval of the use permit revision and architectural control request.

ENVIRONMENTAL REVIEW

On September 9, 2013, the Planning Commission adopted the Negative Declaration (ND) for the 2900 Sand Hill Road – Sharon Heights Golf and Country Club Membership Increase project (File Number PLN2011-00067), which evaluated a request for a use permit revision to allow a membership increase from 550 to 680 members. The analysis

included an evaluation of the potential environmental effects of the existing and continued use of the site as a private recreational facility with the increased membership. The ND did not evaluate potential environmental effects from any expansion of existing recreational facilities as the applicant had contemplated, but had not made any commitments to, any new construction at the time.

An Addendum to the Adopted Negative Declaration (Addendum) has been prepared for the proposed project to consider the specific development plans for the expansion of recreational facilities at the clubhouse. The Addendum updates the analysis in the ND, and is intended to determine whether the proposed project does or does not exceed the environmental impacts analyzed in the ND, whether new impacts have or have not been identified, and whether new mitigation measures are or are not required. The Addendum concludes that the revised project would not result in more significant impacts (or require new or significantly altered mitigation measures) beyond those already identified in the ND. The Planning Commission should consider the Addendum while making its decision on the project. The adopted ND and the Addendum are included as Attachments E and F, respectively.

RECOMMENDATION

1. Make the following findings relative to the environmental review of the proposal:
 - a. A Negative Declaration was previously prepared and circulated for public review in accordance with current State CEQA Guidelines;
 - b. The Planning Commission considered the Negative Declaration prepared for the 2900 Sand Hill Road – Sharon Heights Golf and Country Club Membership Increase and any comments received during the public review period and subsequently adopted the Negative Declaration;
 - c. Based on the Initial Study prepared for the Negative Declaration, there is no substantial evidence that the proposed project will have a significant effect on the environment; and,
 - d. The Addendum to the Negative Declaration provides adequate environmental documentation of the changes to the project, which will likewise not have a significant effect on the environment.
2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:
 - a. The general appearance of the structure is in keeping with the character of the neighborhood.

- b. The development will not be detrimental to the harmonious and orderly growth of the City.
 - c. The development will not impair the desirability of investment or occupation in the neighborhood.
 - d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking.
 - e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.
3. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
4. Approve the use permit revision and architectural control request subject to the following **standard** conditions of approval:
- a. Development of the project shall be substantially in conformance with the plans prepared by BAR Architects, dated received on March 5, 2015, consisting of 21 plan sheets and approved by the Planning Commission on March 9, 2015 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. The applicant shall comply with all West Bay Sanitary District, Menlo Park Fire Protection District, and utility companies regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval of the Planning, Engineering and Building Divisions. Landscaping shall properly screen all utility equipment that is installed outside of a building and that cannot be placed underground. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.

- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition, or building permits.
 - f. Trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the recommendations specified in the arborist report.
5. Approve the use permit revision and architectural control subject to the following ***project-specific*** conditions:
- a. Prior to building permit issuance, the applicant shall pay the transportation impact fee per the direction of the Transportation Division in compliance with Chapter 13.26 of the Municipal Code. The current estimated transportation impact fee is \$41,438.32, although the final fee shall be the fee in effect at the time of payment.
 - b. Concurrent with the submittal of a complete building permit application, the applicant shall submit an agreement between the Sharon Heights Golf and Country Club and Pacific Gas and Electric Company (PG&E) regarding the realignment of the existing utility easement, including exhibit(s) showing the location of the proposed easement. Prior to building permit issuance, the applicant shall submit recorded documentation for any new and/or amended easement.
6. Approve the use permit revision and architectural control subject to the following ***ongoing, project-specific*** conditions:
- a. The maximum membership level shall be a total of 680 members, which includes members in all membership categories.
 - b. The applicant shall continue to maintain the flashing stop warning sign and flashing stop sign located at the main driveway exit.
 - c. Approve the use permit subject to the following restated conditions from the use permit approved by the Planning Commission on March 19, 2012 for recurring special events at the site, including, but not limited to, a fireworks display, children's carnival, and amplified music:
 - Development of the project shall be substantially in conformance with the plans provided by the applicant, consisting of two plan sheets, dated received March 13, 2012, and approved by the Planning Commission on March 19, 2012 except as modified by the conditions

contained herein, subject to review and approval of the Planning Division.

- Prior to the commencement of the event, the applicant shall obtain all necessary permits from the Menlo Park Fire Protection District, Menlo Park Building Division, and other applicable agencies.
- d. Approve the use permit subject to the following restated conditions from the use permit and architectural control approved by the Planning Commission on August 6, 2012 for the proposed maintenance yard and storage and use of hazardous materials:
- If there is an increase in the quantity of hazardous materials on the project site, a change in the location of the storage of the hazardous materials, or the use of additional hazardous materials after this use permit is granted, the applicant shall apply for a revision to the use permit.
 - Any citation or notification of violation by the Menlo Park Fire Protection District, San Mateo County Environmental Health Department, West Bay Sanitary District, Menlo Park Building Division or other agency having responsibility to assure public health and safety for the use of hazardous materials will be grounds for considering revocation of the use permit.
 - If the business discontinues operations at the premises, the use permit for hazardous materials shall expire unless a new business submits a new hazardous materials business plan to the Planning Division for review by the applicable agencies to determine whether the new hazardous materials business plan is in substantial compliance with the use permit.
 - The applicant shall diligently work with Caltrans to obtain encroachment permits for installation of 12, 24-inch box redwood trees on the southern side of the project site to decrease visibility of the corporation yard from Interstate 280. If after two years from the approval date the applicant is unable to obtain encroachment permit approval from Caltrans for installation of the trees within the Caltrans public right-of-way, the applicant shall install the 12 trees on the subject project site in a manner that screens the corporation yard from public view to the satisfaction of the Community Development Director.

Report prepared by:
Jean Lin
Associate Planner

Report reviewed by:
Thomas Rogers
Senior Planner

PUBLIC NOTICE & APPEAL PERIOD

Public notification consisted of publishing a legal notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property. Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

ATTACHMENTS

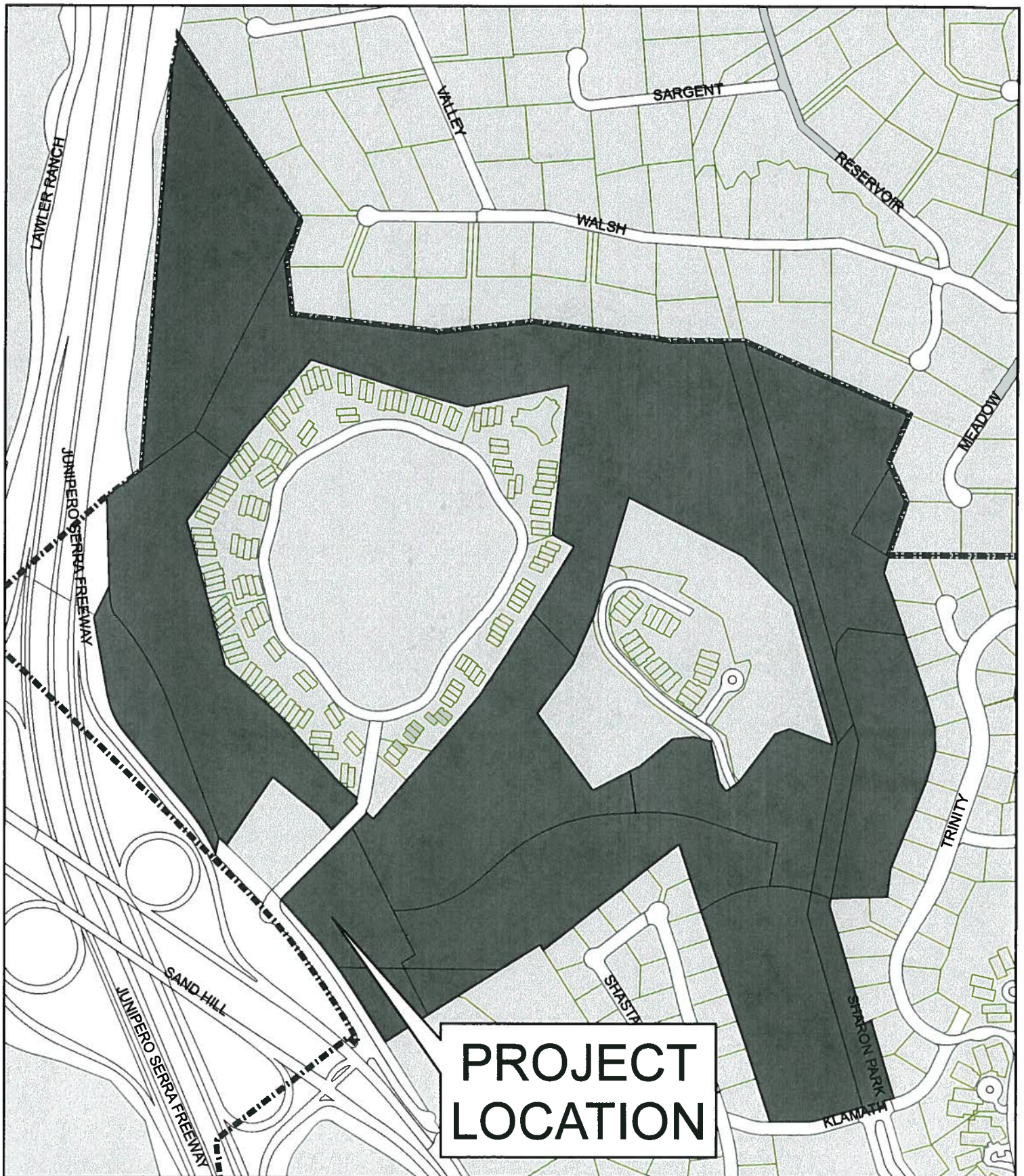
- A. Location Map
- B. Project Plans
- C. Project Description Letter
- D. Arborist Report prepared by HortScience, Inc., dated October 2014
- E. Negative Declaration for 2900 Sand Hill Road – Sharon Heights Golf and Country Club Membership Increase, adopted on September 9, 2013 (without appendices)
- F. Addendum to the 2900 Sand Hill Road – Sharon Heights Golf and Country Club Membership Increase Negative Declaration

Note: Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

EXHIBITS TO BE PROVIDED AT MEETING

Color Chips

V:\STAFFRPT\PC\2015\030915 - 2900 Sand Hill Road (SHGCC clubhouse expansion).doc



CITY OF MENLO PARK

LOCATION MAP

2900 SAND HILL ROAD

DRAWN: KTP CHECKED: KTP DATE: 03/09/15 SCALE: 1" = 500' SHEET: 1

A1



[illegible]

1. BLANKS BLANKS PLANNER

2. BLANKS BLANKS PLANNER

3. BLANKS BLANKS PLANNER

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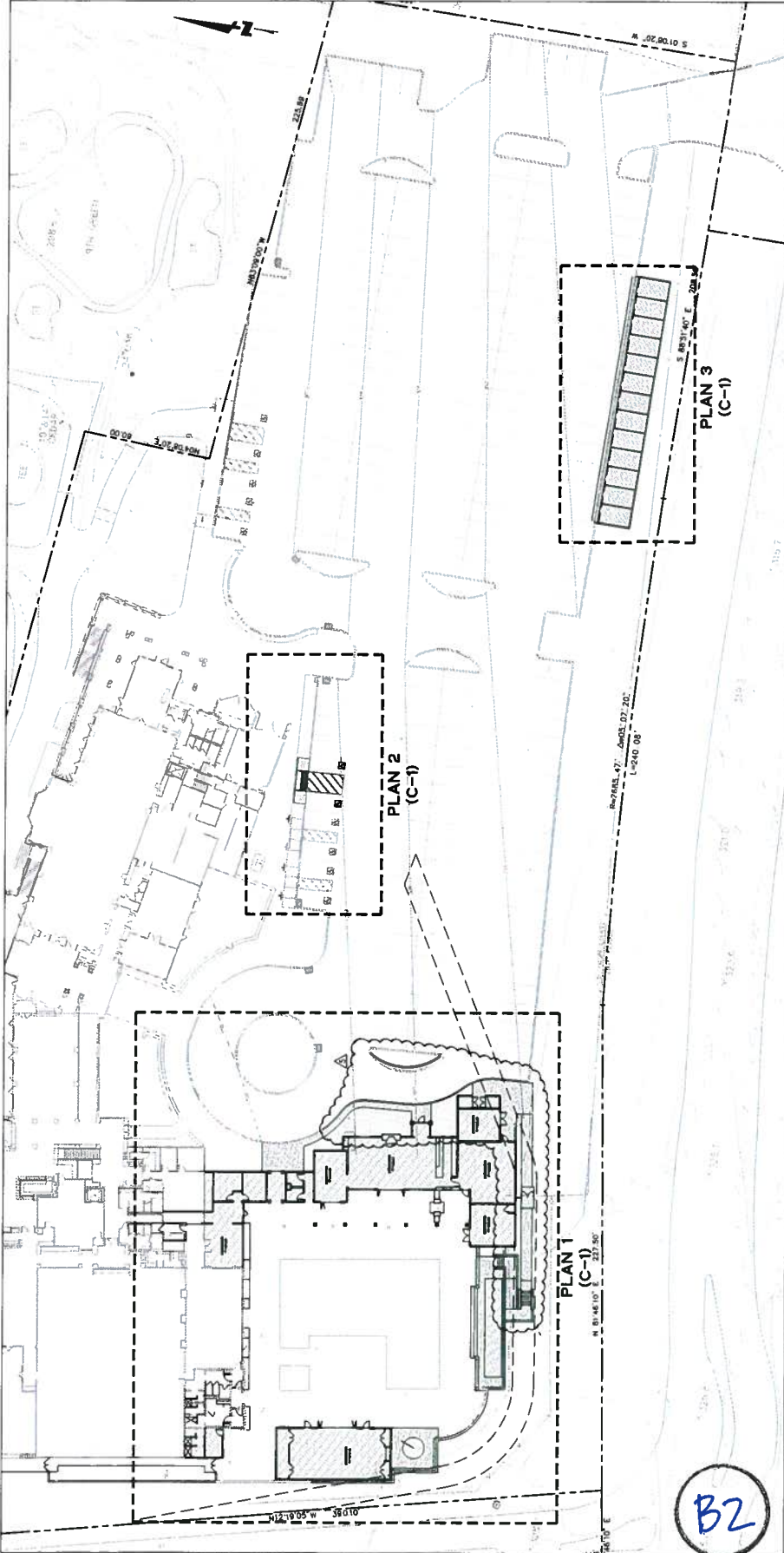
21. BLANKS BLANKS PLANNER

22. BLANKS BLANKS PLANNER

23. BLANKS BLANKS PLANNER

24. BLANKS BLANKS PLANNER

RECEIVED
MAR 05 2015
CITY OF MENLO PARK
BUILDING



PROPOSED SITE PLAN

PROPOSED HATCH LEGEND:

CONCRETE	GRASS PINE	ASPHALT
LANDSCAPING	BRICK COURT	

PARKING TOTAL COUNT

	PRE-DEVELOPMENT	POST-DEVELOPMENT
REGULAR STALLS	204	194
ACCESSIBLE STALLS	11	11
VALET STALLS	0	13
TOTAL	215	218

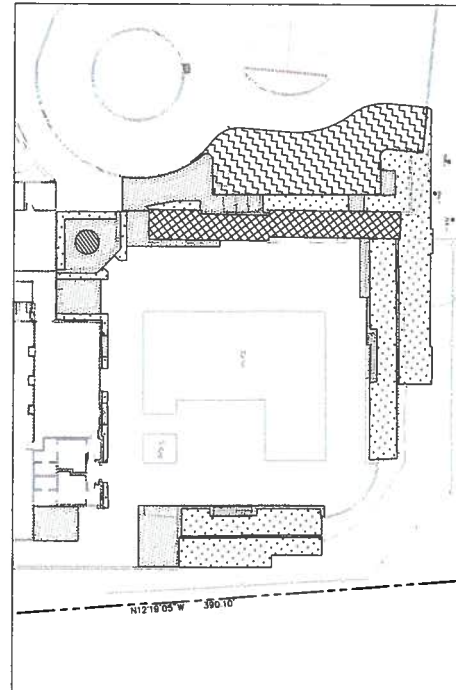
IMPROVEMENT AREAS

	PLAN 1	PLAN 2	PLAN 3	TOTALS
BUILDINGS	1,153	0	0	1,153
IMPROVEMENTS	3,553	3,112	135	6,800
PERIMETER LANDSCAPING	1,353	1,957	0	3,310
TOTALS	6,059	5,069	135	11,263

C-3 REGULATION NOTES

AS SHOWN ON THIS PLAN, THE TOTAL AREA OF IMPROVEMENTS IS 11,263 SQ. FT.

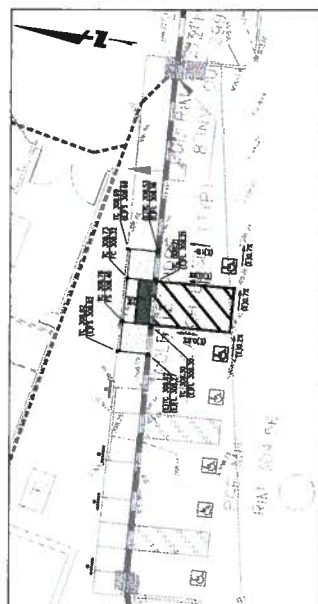
CALCULATED IMPROVEMENTS:
CONCRETE: 1,153 SQ. FT.
LANDSCAPING: 6,800 SQ. FT.
GRASS PINE: 135 SQ. FT.
TOTAL: 8,088 SQ. FT.
BALANCE: 3,175 SQ. FT. (EXPORT)



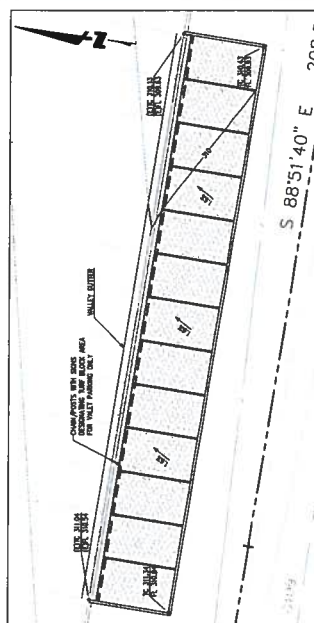
EXISTING POOL BUILDINGS

EXISTING HATCH LEGEND:

CONCRETE	LANDSCAPING	ASPHALT
BUILDINGS		









PLAN 2 - NEW ADA PARKING STALLS

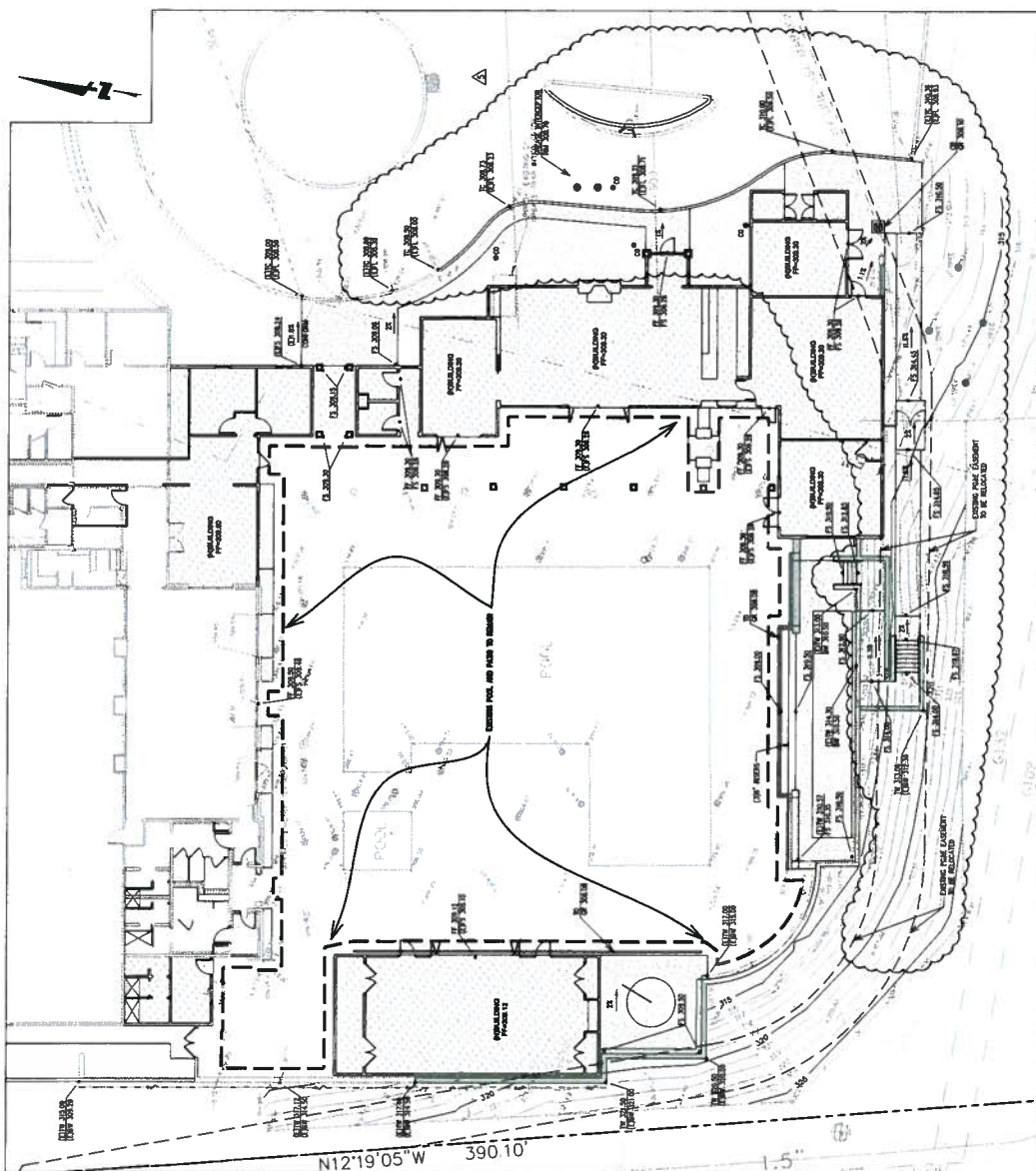


PLAN 3 - NEW VALET PARKING STALLS

HATCH LEGEND:

	NEW ROOF		BRICK COURT		LANDSCAPING TO MATCH (E)
	CONCRETE		GRASS PAVE		ACQUID

ABBREVIATIONS:

[illegible]

PLAN 1 - POOL & FITNESS CENTER

LEGEND:

EXTENSION	PROVIDED	EXTENSION
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99.	99.	99.
100.	100.	100.



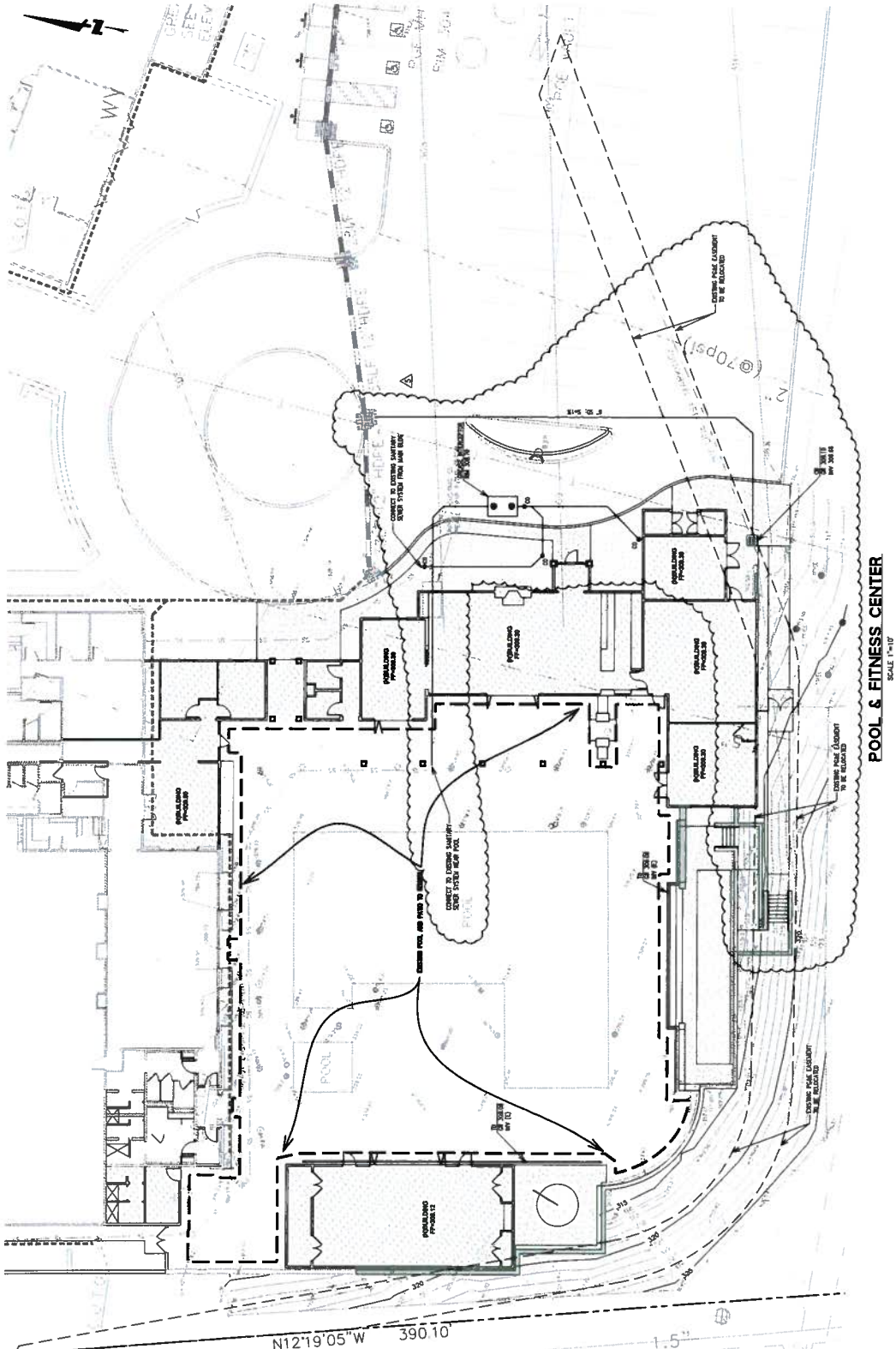
**Know what's below.
Call before you dig.**

B3

GRAPHIC SCALE



SEE SHEET C-1 FOR
ABBREVIATIONS AND
LEGENDS



B4

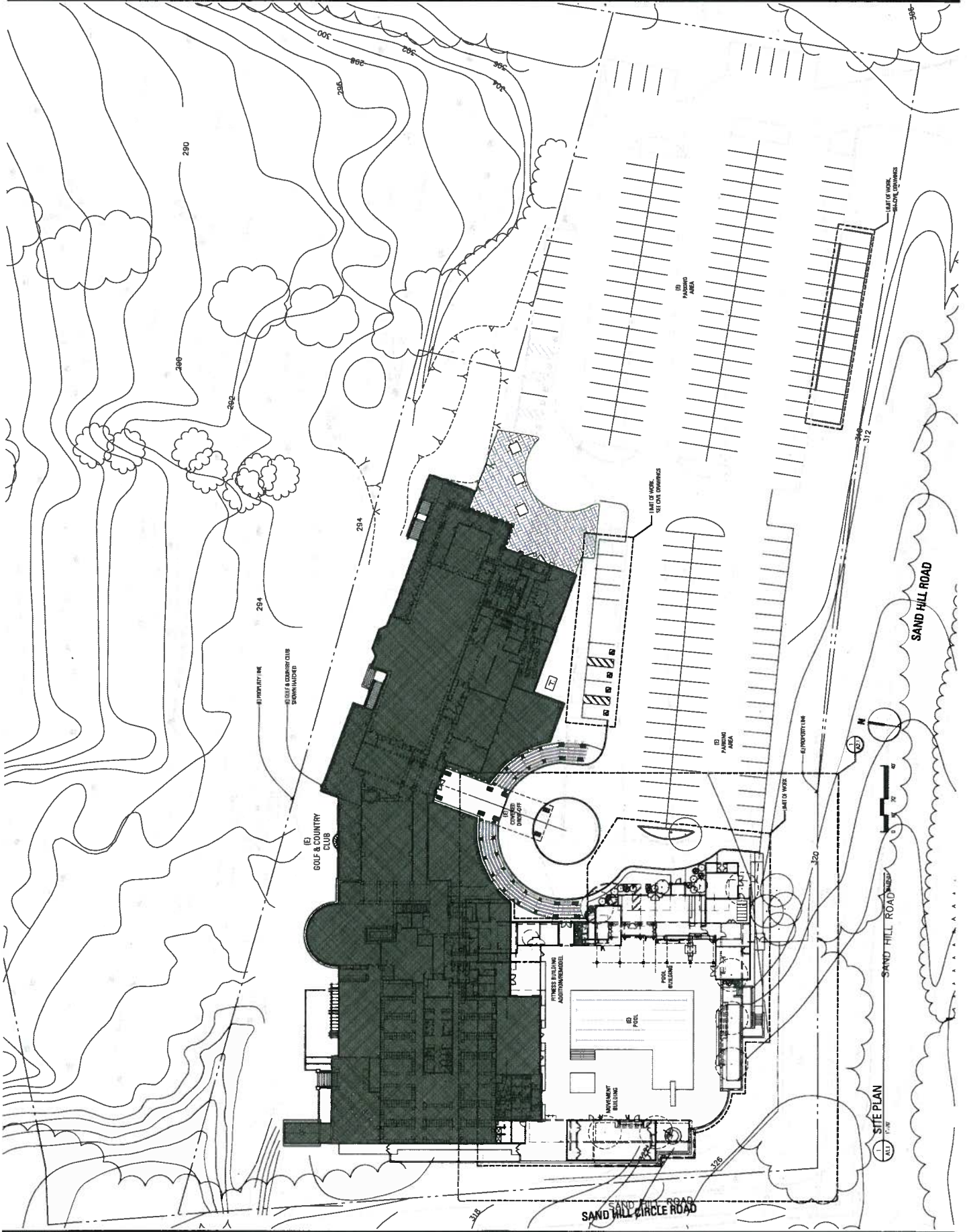
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POOL & FITNESS IMPROVEMENTS
 SHARON HEIGHTS GOLF & COUNTRY CLUB
 2900 SAND HILL ROAD MENLO PARK, CA

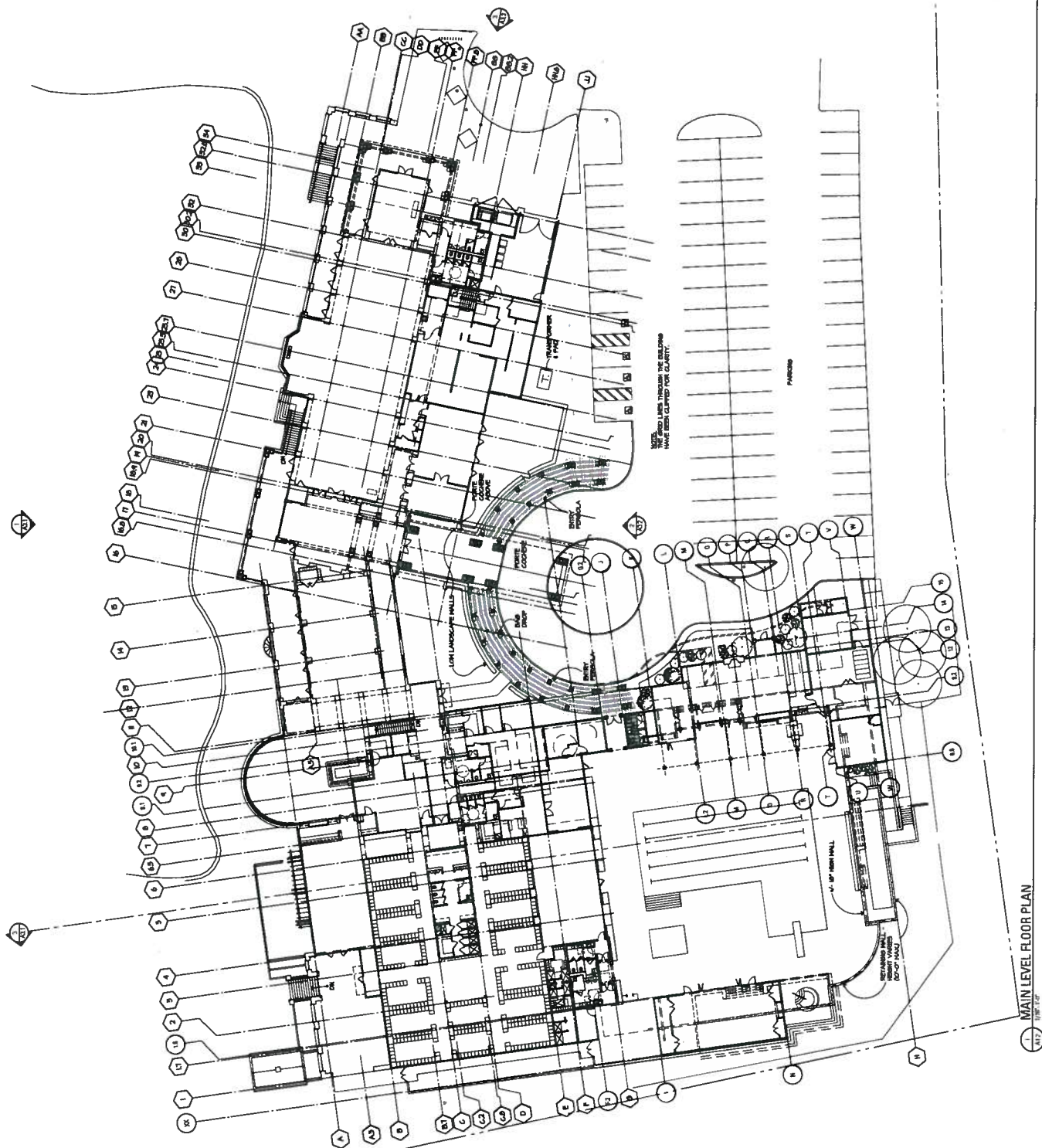
SHEET NO.	13
PROJECT NO.	2008
DATE	11.11.08
DESIGNED BY	BAR ARCHITECTS
CHECKED BY	BAR ARCHITECTS
IN CHARGE	BAR ARCHITECTS
DATE	11.11.08
PROJECT NO.	2008
SHEET NO.	13

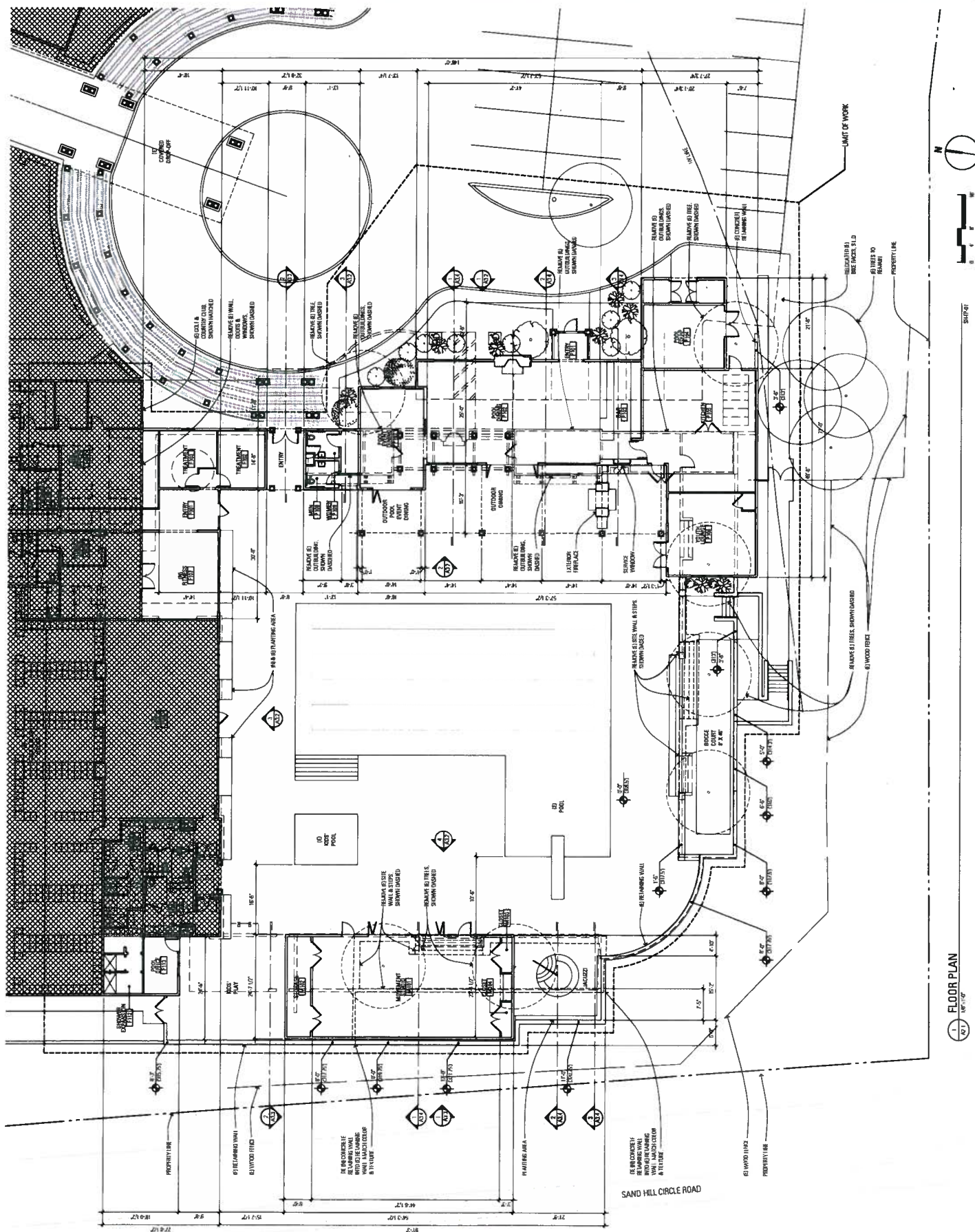
SITE PLAN

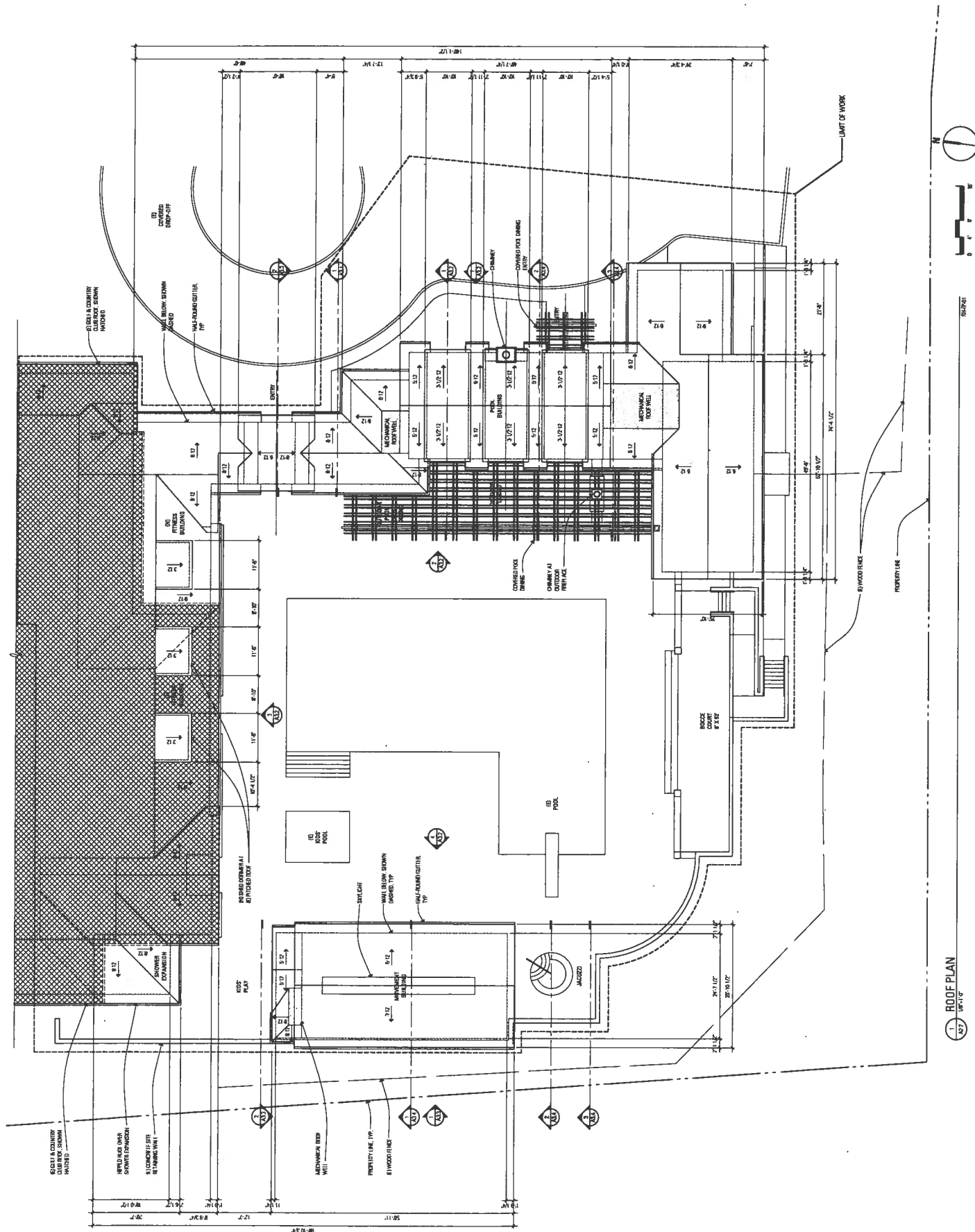
A1.1



DESIGNED BY	BAR
DATE	11.11.11
PROJECT NO.	11-11-11
PROJECT NAME	SHARON HEIGHTS GOLF & COUNTRY CLUB
PROJECT ADDRESS	2900 SAND HILL ROAD, MENLO PARK, CA 94025
PROJECT OWNER	SHARON HEIGHTS GOLF & COUNTRY CLUB
PROJECT CONTACT	JOHN W. WILSON
PROJECT PHONE	650.321.1111
PROJECT FAX	650.321.1112
PROJECT EMAIL	jwilson@shgclubs.com







1 ROOF PLAN
A27 1/8"=1'-0"

B11

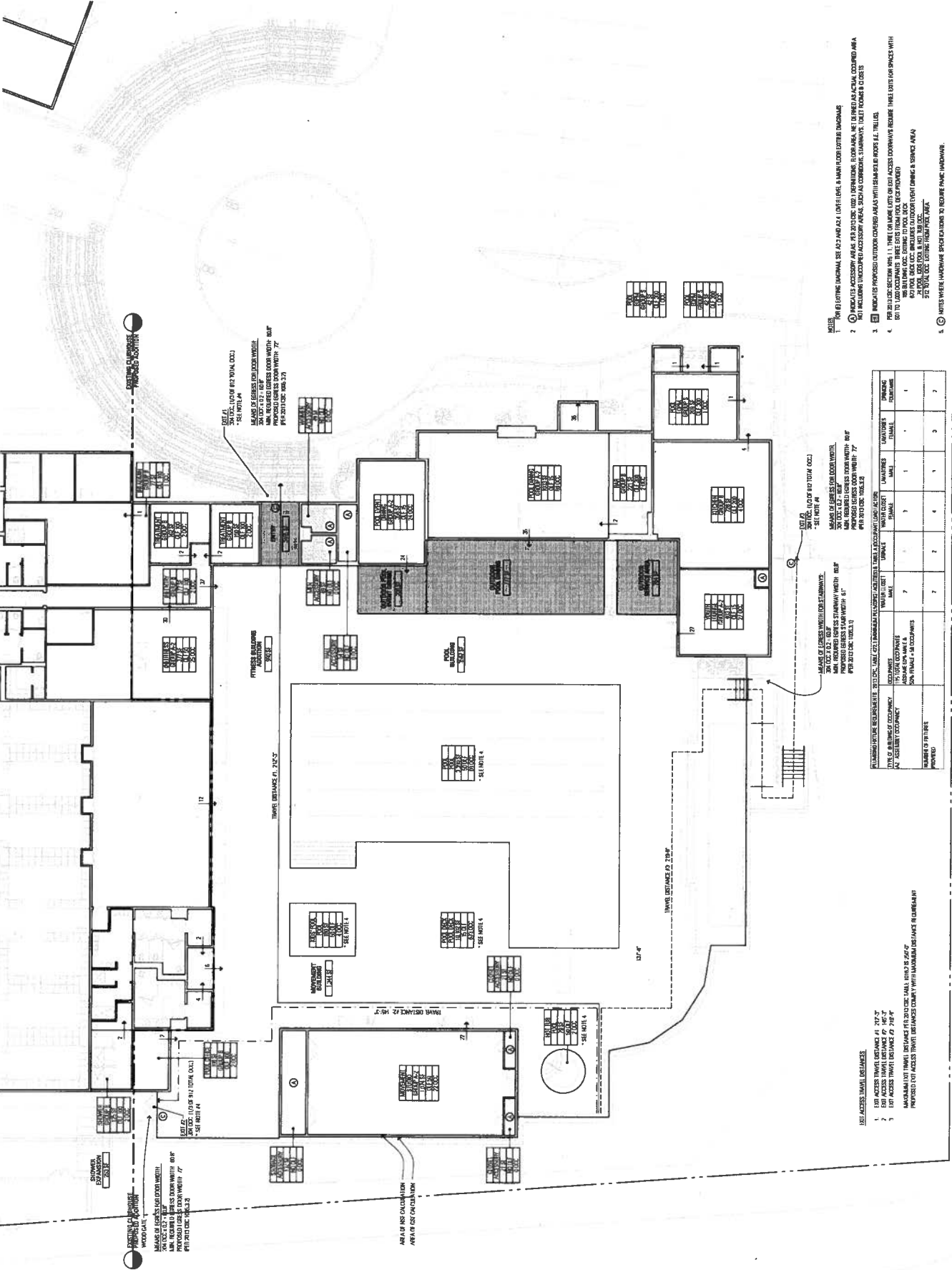
POOL & FITNESS IMPROVEMENTS
 SHARON HEIGHTS GOLF & COUNTRY CLUB
 2900 SAND HILL ROAD MENLO PARK, CA

DESIGNED BY	BAR
DATE	11/11/11
PROJECT	POOL & FITNESS IMPROVEMENTS
CLIENT	SHARON HEIGHTS GOLF & COUNTRY CLUB
LOCATION	2900 SAND HILL ROAD, MENLO PARK, CA
ARCHITECT	BAR ARCHITECTS
ENGINEER	BAR ARCHITECTS
PLUMBER	BAR ARCHITECTS
ELECTRICIAN	BAR ARCHITECTS
MECHANICAL	BAR ARCHITECTS
PAINTER	BAR ARCHITECTS
LANDSCAPE	BAR ARCHITECTS
INTERIOR DESIGNER	BAR ARCHITECTS
GENERAL CONTRACTOR	BAR ARCHITECTS
OWNER	SHARON HEIGHTS GOLF & COUNTRY CLUB

ENLARGED MAIN LEVEL
 EXISTING DIAGRAM &
 PLUMBING
 CALCULATIONS

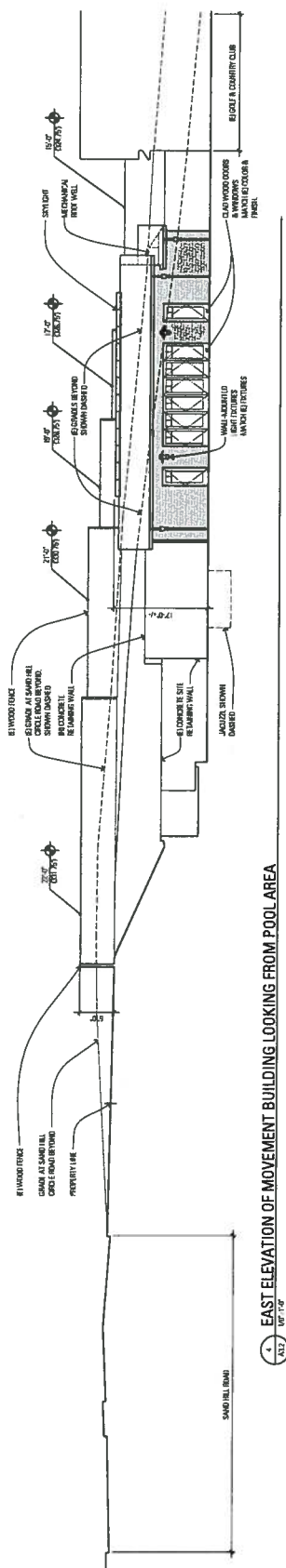
1/8" = 1'-0"

A2.5

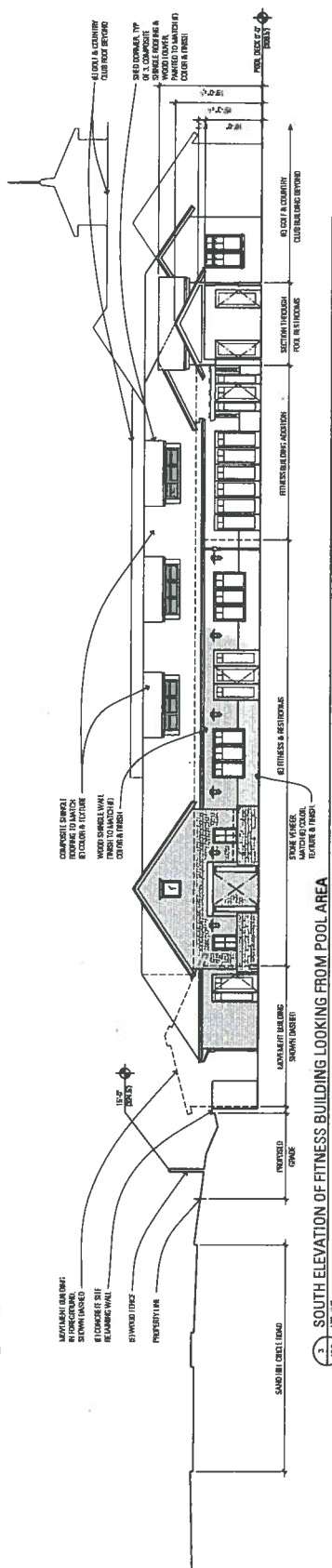


ENLARGED MAIN LEVEL EXISTING DIAGRAM
 A2.5 1/8" = 1'-0"

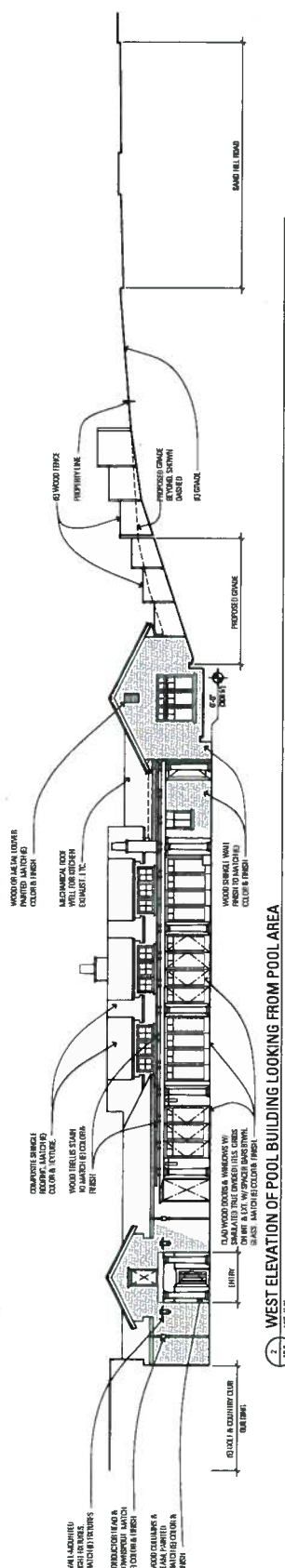
B14



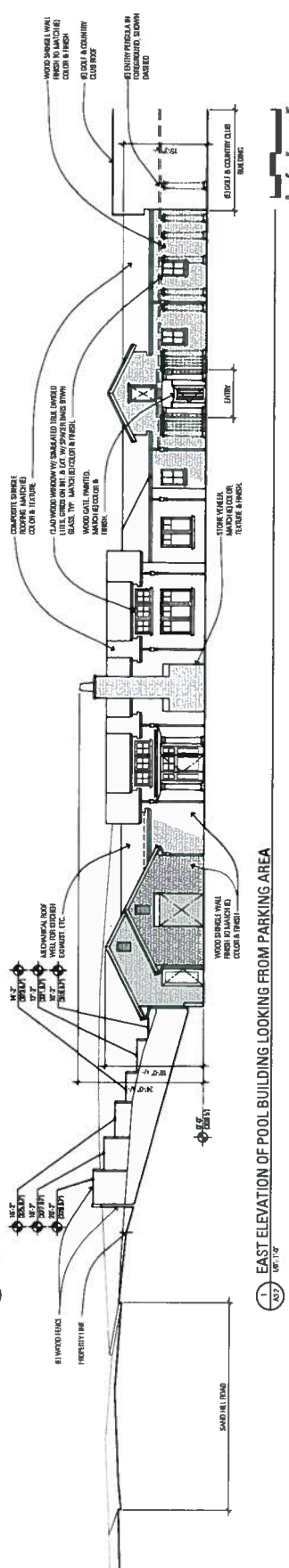
EAST ELEVATION OF MOVEMENT BUILDING LOOKING FROM POOL AREA



SOUTH ELEVATION OF FITNESS BUILDING LOOKING FROM POOL AREA



WEST ELEVATION OF POOL BUILDING LOOKING FROM POOL AREA



EAST ELEVATION OF POOL BUILDING LOOKING FROM PARKING AREA



SHARON HEIGHTS GOLF & COUNTRY CLUB

July 24, 2014 (revised March 4, 2015)

Ms. Jean Lin
City of Menlo Park
Planning Division
701 Laurel Street
Menlo Park, CA 94025

RECEIVED
MAR 05 2015
CITY OF MENLO PARK
BUILDING

RE: Sharon Heights Golf & Country Club
Proposed Pool & Fitness Improvements
Project Description

The Golf and Country Club marketplace is a dynamic one. Many clubs are struggling to retain existing members and to attract new members. Over 50 years ago, when Sharon Heights Golf and Country Club (SHGC) was founded, golf clubs were golf-centric, male oriented and formal. Today successful clubs need to be family oriented, offer varied services and in keeping with society, be more casual in nature. While golf is a core asset golf rounds locally and nationally are down substantially in the past 10 years. It is critical that we continue to evolve to be more of a full service country club that also offers excellent casual and formal dining, a full range of fitness, swim and tennis, programs for members and their families. The clubs that we are most competitive with – Los Altos G&CC, Palo Alto Hills, Menlo CC and The Circus Club – have all taken significant steps in the last several years to upgrade their facilities.

SHGCC is the premier club in its market. About 15-20 years ago, it recognized many of these trends and as a result it rebuilt its clubhouse which did improve dining options and introduced fitness facilities for the first time. The rebuild was successful and the club is strong in most areas. Two areas we are not where we need to be are in our fitness offerings and on our ability to offer more casual, family oriented dining. The proposed improvements build on and expand incrementally on the existing clubhouse and address these areas.

Features of the proposed improvements include:

- Provide more comfortable and casual indoor and outdoor dining and lounge areas.
- Create a more inviting, resort-like atmosphere with comfortable indoor and outdoor venues with fireplaces and inviting seating for members to gather and socialize.
- Increase the health and wellness capabilities and programming by expanding the fitness center and providing a room for programmed fitness classes.
- Become more family-friendly by providing a dedicated children's lounge/activities area and offering more social, family and children's activities.
- Take advantage of views, terraces, weather, and camaraderie among our members.

The proposed Pool and Fitness Improvements are a sensitive extension of the existing Craftsman style architecture. The continuation of building forms, proportions, details, materials, and colors cohesively integrates into the exiting design. The improvements consist of three building components:

- Fitness Building – an addition and remodel of the existing facilities that expands the cardio and strength training, shower area, reconfigures the administrative area while adding a second treatment room and a pool office.
- Pool Building – a new outbuilding that replaces the existing pool office, snack bar and kitchen and provides indoor/outdoor casual dining, outdoor seating and social areas, a kitchen, youth lounge, and restrooms.
- Movement Building – a new outbuilding that provides space for fitness classes and wellness activities along with storage for such activities.

The proposed improvements take advantage of space around the existing pool while creating indoor/outdoor spaces focusing inward toward the pool. In doing so, the existing Pool Outbuildings and adjoining trellis are removed to make way for the new Pool Building, which maintains an edge to the parking area and the pool area. The new Pool Building creates a new entry to the pool area and a separate entry to the new dining room. The new dining room transitions to the pool area through a large trellis covered indoor/outdoor area for dining and socializing. The simple gable roofed Movement Building opens to and faces the existing pool. This new building nestles itself against the retaining wall adjacent to the planting area running parallel to Sand Hill Circle Road. With such a large elevation change between the pool deck and Sand Hill Circle Road, along with the existing trees, planting, and fences, the new buildings, which are all single story and the same style as the existing buildings are down substantially below the roads and are mostly or entirely out of view from the public right-of-way to their south and west. They are also remote from our residential and commercial neighbors. The existing club parking lot is to the east and the existing clubhouse is to the north.

Neighbors

We have recently discussed these facility improvements with all four of the local HOA presidents (Sand Hill Circle, Sand Hill Townhomes, Country Club Fairways, Sharon Park HOA). All were in support of our application and the changes we are proposing. We understand that's the view of the individual presidents who lead the associations, so I also offered to meet with their boards to answer questions if they deemed that helpful or necessary. None of them thought that was necessary at this time, but they all committed to informing their board and membership and said they would let us know if and when any questions should come up that needed to be addressed. We continue to be committed to maintaining a strong, close relationship and open lines of communication with our local neighbors as they do with us.

Parking

The 2013 parking and traffic analysis concluded that we had sufficient parking for up to 783 members versus the current 552 members and maximum approval of 680 under our use permit. The remodel eliminates ten regular stalls. While the Club has more accessible spaces than required, two accessible stalls plus the accessible aisle are relocated in the northeast corner of the parking area. In addition, in the southeast corner of the parking area 13 tandem spaces are added on what is existing lawn. The vertical curb will be modified to a rolled curb and the spaces will be constructed with Grasspave or a similar pervious material. These spaces would be used during the times there are events at the club that use valet parking. The proposed parking remodel has a net gain of three parking stalls.

Trees

No heritage or oak trees will be removed. A number of ornamental landscape trees planted with the 2001 new clubhouse will be removed from around the pool deck and to the east of the existing pool buildings. The trees to be removed are shown on the plans.

We look forward to working with you on this application.

Sincerely,



Rick Sussman
COO / General Manager, SHGCC

cc: Steve Zales, Bob Olson, David Israel, Randy Simonson, Dale Leda, Craig Smith

path: Z:\13019 Sharon Heights Renov\1 ADMINISTRATION\1.10 Project Management\1.14 Internal Communication\140724 Project Description.docx

(C3)



**Pacific Gas and
Electric Company**

Land Surveying & Engineering
Support

111 Almaden Boulevard, Rm. 814
San Jose, CA 95113

October 1, 2014

Jean Lin
Associate Planner
City of Menlo Park
701 Laurel Street
Menlo Park, CA 94025

Re: SHGCC Pool and Fitness Enhancements – PG&E Easements

Dear Ms. Lin,

I have been contacted by Steve Zales with the Sharon Heights Golf and Country Club. He has shared the club's plans in the Development Permit Submittal dated July 24, 2014 for the pool and fitness enhancements with us. One of the proposed buildings, (the southeast corner of the proposed kitchen), will be in close proximity to an existing PG&E underground electric line which is within a PG&E easement dated October 12, 2004 and recorded as Document No. 2005-033047, San Mateo County Records.

Our electric personnel have determined that the encroachment into our easement will be allowed. At its' closest point the building will be 1 foot-9 inches away from the line itself. This distance has been deemed as being sufficient. We expect to have an agreement with the Golf Club stating such within the next 30 days.

It has also been brought to our attention that portions of the electric line to the southwest and west of the proposed improvements are located outside of said PG&E easement. The line was constructed south and west of the easement in those areas and the proposed development plans on the westerly portion of the plan (movement studio building) does not affect that line. We are in the process of correcting that situation, either by modifying the existing easement or quitclaiming the unused portion and obtaining a new easement to cover the facilities outside of the easement.

If you have any questions or concerns please contact me at (408) 282-7347 or via email at dan9@pge.com.

Sincerely,

David Neal
Lead Land Technician



SHARON HEIGHTS GOLF & COUNTRY CLUB

December 22, 2014

Ms. Jean Lin
Planning Division
Community Development Department
City of Menlo Park
701 Laurel Street
Menlo Park, CA 94025

RECEIVED
DEC 23 2014
CITY OF MENLO PARK
BUILDING

Reference: Sharon Heights Golf & Country Club (SHGCC), Menlo Park, CA

Subject: Response to Application Confirmation Notice – PLN 2014-00049

Dear Ms. Lin:

In response to the Planning Division General Comments Item 1a, 1b and 1c, SHGCC hereby confirms that it accepts all risks associated with the planned building of the clubhouse in close proximity to the existing PG&E line, and assumes responsibility for getting final PG&E approval to do so. SHGCC also confirms that there are no other utilities or utility rights in said easement. As part of the building permit application submittal, SHGCC will provide a copy of the agreement between SHGCC and PG&E regarding the realignment and/or permitted encroachment of the utility easement, including any recorded documentation on the new easement.

Sincerely,

Paul Scott, President
Sharon Heights Golf and Country Club

Lin, Jean P

From: Bob Olson <bobolson@novapartners.com>
Sent: Thursday, March 05, 2015 8:19 AM
To: Lin, Jean P
Cc: Steve Zales; Randy Simonson; David Israel; Dale Leda; Rick Sussman CCM; Craig Smith
Subject: Fwd: Sharon Heights GCC - PGE Easement Revision

Good morning Jean,

Please read below the confirmation from PG&E that the gate is acceptable.

Thanks,

Bob

Begin forwarded message:

From: "Neal, David" <DAN9@pge.com>
Date: March 5, 2015 at 6:53:05 AM PST
To: Dale Leda <dleda@bkf.com>, "Nguyen, Karen" <KCV2@pge.com>
Cc: Bob Olson <bobolson@novapartners.com>, "Steve Zales (steve@zalesinvestments.com)" <steve@zalesinvestments.com>, Craig Smith <csmith@bkf.com>
Subject: RE: Sharon Heights GCC - PGE Easement Revision

Dale,

The proposed gate and fence post footing are allowable within the easement. Please take care in assuring that the existing underground electric facilities are protected during the installation of these items.

David

From: Dale Leda [mailto:dleda@bkf.com]
Sent: Wednesday, March 04, 2015 9:21 AM
To: Neal, David; Nguyen, Karen
Cc: "Bob Olson" (bobolson@novapartners.com); 'Steve Zales (steve@zalesinvestments.com)'; Craig Smith
Subject: RE: Sharon Heights GCC - PGE Easement Revision

David,

Per our discussion see the attached exhibit, which has been revised to show the existing fence, much of which already encroaches on the easement. Our only intent is to modify this by adding a gate at the point where the existing fence crosses the mandated walkway. Please let us know if this is acceptable to PGE.

Thank you,

DALE LEDA, PE, QSD | Project Engineer

BKF Engineers

255 Shoreline Drive, Suite 200, Redwood City, CA 94065

d 650.482.6457 | o 650.482.6300

dleda@bkf.com | www.bkf.com

From: Dale Leda

Sent: Wednesday, March 04, 2015 8:58 AM

To: 'Neal, David'; 'Nguyen, Karen'

Cc: 'Bob Olson' (bobolson@novapartners.com); 'Steve Zales' (steve@zalesinvestments.com); Craig Smith

Subject: RE: Sharon Heights GCC - PGE Easement Revision

Hi David,

Thanks again for your help yesterday. We received one more question from Menlo Park. The city has asked if you could also comment on the gate that's shown within the easement. It will likely require some small fence post footings within the easement. Is this ok with PGE?

Thanks,

DALE LEDA, PE, QSD | Project Engineer

BKF Engineers

255 Shoreline Drive, Suite 200, Redwood City, CA 94065

d 650.482.6457 | o 650.482.6300

dleda@bkf.com | www.bkf.com

From: Neal, David [<mailto:DAN9@pge.com>]

Sent: Tuesday, March 03, 2015 2:01 PM

To: Dale Leda; Nguyen, Karen

Cc: 'Bob Olson' (bobolson@novapartners.com); Steve Zales (steve@zalesinvestments.com); Craig Smith

Subject: RE: Sharon Heights GCC - PGE Easement Revision

Dale and Craig,

PG&E approves of the proposed concrete walkway that will cross over the easement. You are correct in that the new alignment should be clear of the buildings, stairs and retaining walls.

David Neal

Lead Land Technician

Pacific Gas and Electric Company

Land Surveying & Engineering Support

111 Almaden Boulevard., Room 814

San Jose, CA 95113

Internal: 8-282-7347

External: (408) 282-7347

Fax: (408) 282-7118

From: Dale Leda [<mailto:dleda@bkf.com>]

Sent: Tuesday, March 03, 2015 1:42 PM

To: Neal, David; Nguyen, Karen

Cc: 'Bob Olson' (bobolson@novapartners.com); Steve Zales (steve@zalesinvestments.com); Craig Smith

Subject: RE: Sharon Heights GCC - PGE Easement Revision

David,

Just wanted to add that the easement shown in this exhibit matches the latest one prepared by Karen per the attached.

The only thing that's changed is that we are required by the City of Menlo Park to provide a concrete walkway back to the parking lot here and the walkway would extend across the easement. Our understanding is that this is ok, and its just the buildings, stairs and retaining walls that need to stay clear of it.

The City of Menlo Park is holding off on giving us planning approval until we get some confirmation from you that the easement, as shown in the exhibit and the plat, meets your approval, as well as the intended improvements (sidewalk) which encroach over it.

We're hoping we can get a response from you sometime today that we can forward to Menlo Park before 5:00pm. If it would be possible for you to take a look and offer you approval/disapproval we would greatly appreciate it.

Feel free to give Steve or I a call with any questions.

Thank you kindly,

DALE LEDA, PE, QSD | Project Engineer

BKF Engineers

255 Shoreline Drive, Suite 200, Redwood City, CA 94065

d 650.482.6457 | o 650.482.6300

dleda@bkf.com | www.bkf.com

From: Craig Smith

Sent: Tuesday, March 03, 2015 11:49 AM

To: David Neal (DAN9@pge.com); Karen Nguyen (KCV2@pge.com)

Cc: 'Bob Olson' (bobolson@novapartners.com); Dale Leda; Steve Zales (steve@zalesinvestments.com)

Subject: Sharon Heights GCC - PGE Easement Revision

Good morning Karen/David,

BKF has made some small adjustments to the PGE easement at Sharon Heights GCC to accommodate the proposed improvements. The attached exhibit shows the proposed development and the required revision to the PGE easement. The revised easement shown would avoid buildings and walls but would cross under proposed pathway.

Please review the attached exhibit and confirm your approval of the revised easement.

Kind regards,



ENGINEERS
SURVEYORS
PLANNERS

100
YEARS

CRAIG SMITH, P.E. | Project Engineer

BKF Engineers

255 Shoreline Drive, Suite 200
Redwood City, CA 94065

d 650.482.6375

f 650.482.6399

csmith@bkf.com

www.bkf.com



Delivering Inspired Infrastructure

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Arborist Report

Sharon Heights Golf and Country Club Menlo Park, CA

Prepared for:
Nova Partners, Inc.
855 El Camino Real, Suite 307
Palo Alto, CA 94301

Prepared by:
HortScience, Inc.
325 Ray St.
Pleasanton, CA 94566

October 2014

OCT 21 2014

CITY OF MENLO PARK
BUILDING



DI

Arborist Report
Sharon Heights Golf and Country Club
Menlo Park CA

Table of Contents

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Introduction and Overview	1
Survey Methods	1
Description of Trees	2
Suitability for Preservation	3
Evaluation of Impacts and Recommendations for Preservation	5
Tree Preservation Guidelines	6

List of Tables

Table 1. Tree condition and frequency of occurrence	3
Table 2. Suitability for preservation	4
Table 3. Proposed action	5

Attachments

Tree Assessment Form

Tree Assessment Map

Introduction and Overview

Nova Partners is helping to coordinate the development application materials for the proposed pool and fitness improvement project at the Sharon Heights Golf and Country Club (SHGCC), located at 2900 Sand Hill Rd. in Menlo Park CA. The proposed project would renovate the existing pool house and surrounding landscape. HortScience, Inc. was asked to prepare an **Arborist Report** for the site as part of the development submittals for review by the City of Menlo Park.

This report provides the following information:

1. A survey of trees within and immediately adjacent to the proposed project area.
2. An assessment of the impacts of constructing the proposed project on the trees based on the plans provided by Nova Partners.
3. Guidelines for tree preservation during the design, construction and maintenance phases of development.

Assessment Methods

Trees were evaluated on October 9, 2014. The evaluation included all trees 4" and greater in diameter within and immediately adjacent to the proposed improvements. The survey procedure consisted of the following steps:

1. Identifying the tree as to species;
2. Tagging each tree with an identifying number and recording its location on a map;
3. Measuring the trunk diameter at a point 54" above grade;
4. Evaluating the health and structural condition using a scale of 1 – 5:
 - 5 - A healthy, vigorous tree, reasonably free of signs and symptoms of disease, with good structure and form typical of the species.
 - 4 - Tree with slight decline in vigor, small amount of twig dieback, minor structural defects that could be corrected.
 - 3 - Tree with moderate vigor, moderate twig and small branch dieback, thinning of crown, poor leaf color, moderate structural defects that might be mitigated with regular care.
 - 2 - Tree in decline, epicormic growth, extensive dieback of medium to large branches, significant structural defects that cannot be abated.
 - 1 - Tree in severe decline, dieback of scaffold branches and/or trunk; most of foliage from epicormics; extensive structural defects that cannot be abated;
5. Rating the suitability for preservation as "high", "moderate" or "low". Suitability for preservation considers the health, age and structural condition of the tree, and its potential to remain an asset to the site for years to come.

High: Trees with good health and structural stability that have the potential for longevity at the site.

Moderate: Trees with somewhat declining health and/or structural defects than can be abated with treatment. The tree will require more intense management and monitoring, and may have shorter life span than those in 'high' category.

Low: Trees in poor health or with significant structural defects that cannot be mitigated. Tree is expected to continue to decline, regardless of treatment. The species or individual may have characteristics that are undesirable for landscapes, and generally are unsuited for use areas.

Description of Trees

Twelve (12) trees were evaluated, representing 3 species (Table 1, following page). Descriptions of each tree are found in the **Tree Assessment Form** and locations are plotted on the **Tree Assessment Map** (see attachments).

The most commonly encountered species were hawthorne and zelkova, each represented by five (5) trees.

Hawthornes were all located around the perimeter of the pool, in raised planter beds (Photo 1). The trees were young, with diameters of 4 or 5". Condition of the hawthornes was good (2 trees) to excellent (5 trees). Some had narrow branch attachments, others showed signs of sunscald and #88 had experienced a branch tear-out, resulting in a trunk wound.

Zelkovas were located in the landscape beds between the parking lot and the existing pool house and on the slope south of the pool house. These were also young trees, with diameters ranging from 4-9". The two trees adjacent to the parking lot (#89 and 90) had been topped at ~15', producing trees with small crowns and dieback. The three trees on the slope (#92-94) had been pruned more gently and their form and structure had not been as badly compromised as a result.

The remaining trees were both young coast redwoods, with diameters of 4". Tree #95 was located on the slope with zelkovas #92-94. It was in excellent health, with good form and structure. Tree #91 was located toward the east end of the parking lot, beneath the canopy of larger trees along Sand Hill Road. It was in fair condition, with a small, sparse canopy.



Photo 1: Zelkova #90 was located in an island between the parking lot and the existing pool house. Both of the parking lot trees (#89 and 90) had been topped at ~15', producing small crowns and dieback.

The City of Menlo Park Municipal code Ch. 13.24 defines a *Heritage* tree as follows:

- Any tree with a trunk diameter of 15" or greater (47.1" in circumference).
- Any Calif. native oak tree with a trunk diameter of 10" or greater (31.4" in circumference).
- Any tree or group of trees designated by the City Council for protection.
- Any multi-stemmed tree with a trunk diameter of 15" or greater (47.1" in circumference), measured where the trunks divide.

Based on the City's definition for *Heritage* tree, none of the trees assessed at the SHGCC qualified as *Heritage*.

Table 1. Tree condition and frequency of occurrence.
Sharon Heights Golf and Country Club, Menlo Park

Common name	Scientific name	Condition			No. of trees
		Poor (2)	Fair (3)	Good (4-5)	
Hawthorne	<i>Crataegus laevigata</i>	-	-	5	5
Coast redwood	<i>Sequoia sempervirens</i>	-	1	1	2
Zelkova	<i>Zelkova serrata</i>	1	1	3	5
Total		1 8%	2 17%	9 75%	12 100%

Suitability for Preservation

Before evaluating the impacts that will occur during development, it is important to consider the quality of the tree resource itself, and the potential for individual trees to function well over an extended length of time. Trees that are preserved on development sites must be carefully selected to make sure that they may survive development impacts, adapt to a new environment and perform well in the landscape.

Our goal is to identify trees that have the potential for long-term health, structural stability and longevity. For trees growing in open fields, away from areas where people and property are present, structural defects and/or poor health presents a low risk of damage or injury if they fail. However, we must be concerned about safety in use areas. Therefore, where development encroaches into existing plantings, we must consider their structural stability as well as their potential to grow and thrive in a new environment. Where development will not occur, the normal life cycles of decline, structural failure and death should be allowed to continue.

Evaluation of suitability for preservation considers several factors:

- **Tree health**
Healthy, vigorous trees are better able to tolerate impacts such as root injury, demolition of existing structures, changes in soil grade and moisture, and soil compaction than are non-vigorous trees.
- **Structural integrity**
Trees with significant amounts of wood decay and other structural defects that cannot be corrected are likely to fail. Such trees should not be preserved in areas where damage to people or property is likely.
- **Species response**
There is a wide variation in the response of individual species to construction impacts and changes in the environment. In our experience, for example, coast redwood are tolerant of site disturbance, while harthorne is moderately tolerant of construction impacts.
- **Tree age and longevity**
Old trees, while having significant emotional and aesthetic appeal, have limited physiological capacity to adjust to an altered environment. Young trees are better able to generate new tissue and respond to change.
- **Invasiveness**
Species which spread across a site and displace desired vegetation are not always appropriate for retention. This is particularly true when indigenous species are displaced. The California Invasive Plant Inventory Database (<http://www.cal-ipc.org/paf/>) lists species identified as being invasive. Menlo Park is part of the Central West Floristic Province. None of the species surveyed at the subject sites are considered invasive.

Each tree was rated for suitability for preservation based upon its age, health, structural condition and ability to safely coexist within a development environment (Table 2, following page).

We consider trees with good suitability for preservation to be the best candidates for preservation. We do not recommend retention of trees with low suitability for preservation in areas where people or property will be present. Retention of trees with moderate suitability for preservation depends upon the intensity of proposed site changes.

Table 2. Suitability for preservation.
Sharon Heights Golf and Country Club, Menlo Park

High

These are trees with good health and structural stability that have the potential for longevity at the site. Four (4) of the trees were considered highly suitable for preservation.

Tree No.	Species	Diameter (in.)
85	Hawthorne	5
86	Hawthorne	5
87	Hawthorne	5
95	Coast redwood	4

Moderate

Trees in this category have fair health and/or structural defects that may be abated with treatment. Trees in this category require more intense management and monitoring, and may have shorter life-spans than those in the "high" category. Seven (7) trees were of moderate suitability for preservation.

Tree No.	Species	Diameter (in.)
84	Hawthorne	4
88	Hawthorne	5
89	Zelkova	8
91	Coast redwood	4
92	Zelkova	9
93	Zelkova	6
94	Zelkova	6

Low

Trees in this category are in poor health or have significant defects in structure that cannot be abated with treatment. These trees can be expected to decline regardless of management. One (1) tree was of low suitability for preservation.

Tree No.	Species	Diameter (in.)
90	Zelkova	4

Evaluation of Impacts and Recommendations for Preservation

Appropriate tree retention develops a practical match between the location and intensity of construction activities and the quality and health of trees. The ***Tree Assessment*** was the reference point for tree condition and quality. Potential impacts from construction were evaluated using the Pool and Fitness Improvements Plans (Sheets C-0, C-1 and C-2), prepared by BKF Engineers (dated 7/24/2014).

The site plans showed building and improvement footprints, grading and utilities for the site. Surveyed trunk locations were provided for each tree evaluated.

The development includes construction of several new buildings around the pool, including fitness buildings, kitchen and dining buildings, a bar, treatment rooms, a bocce court and an exterior fireplace. In addition, 13 new valet parking stalls will be constructed at the east end of the existing parking lot.

Impacts were estimated for each tree. Construction of the new buildings around the pool will directly impact five of the trees (#84, 85, and 88-90), requiring their removal. An additional two trees would be within the proposed bocce court and would also require removal (#86 and 87). Finally, construction of the valet parking will require the removal of coast redwood #91.

The remaining four trees (#92-95), located on the slope south of the new pool buildings, can be preserved. Some pruning of canopies of trees #92 and 94 may be required to provide construction clearance. Table 3 identifies trees recommended for preservation and removal and the reasons for removal. Preservation is predicated on following the ***Tree Preservation Guidelines*** provided on the following page.

Table 3. Proposed action.
Sharon Heights Golf and Country Club, Menlo Park

Tree No.	Species	Diameter (in.)	Proposed Action
84	Hawthorne	4	Remove, within new bldg.
85	Hawthorne	5	Remove, within new bldg.
86	Hawthorne	5	Remove, within bocce ct.
87	Hawthorne	5	Remove, within bocce ct.
88	Hawthorne	5	Remove, within new bldg.
89	Zelkova	8	Remove, within new bldg.
90	Zelkova	4	Remove, impacted by new bldg.
91	Coast redwood	4	Remove, within new parking
92	Zelkova	9	Preserve , outside impacts
93	Zelkova	6	Preserve , outside impacts
94	Zelkova	6	Preserve , outside impacts
95	Coast redwood	4	Preserve , outside impacts

Tree Preservation Guidelines

The goal of tree preservation is not merely tree survival during development but also maintenance of tree health and aesthetic for many years. Trees retained on sites that are either subject to extensive injury during construction or are inadequately maintained become a liability rather than an asset. The response of individual trees will depend on the amount of excavation and grading, the care with which demolition is undertaken and construction methods.

The following recommendations will help reduce impacts to trees from development and maintain and improve their health and vitality through the clearing, grading and construction phases.

Design recommendations

1. All plans affecting trees shall be reviewed by the Consulting Arborist with regard to tree impacts. These include, but are not limited to, demolition plans, grading and utility plans, landscape and irrigation plans.
2. A **Tree Protection Zone** shall be established around each tree to be preserved. No trenching, excavation, construction or storage of materials shall occur within that zone. No underground services including utilities, sub-drains, water or sewer shall be placed in the **Tree Protection Zone**. Spoil from trench, footing, utility or other excavation shall not be placed within the **Tree Protection Zone**, either temporarily or permanently. The TPZ for trees #92-95 shall be established at the dripline in all directions.
3. Underground services including utilities, sub-drains, water or sewer shall be routed around the **TREE PROTECTION ZONE**. Where encroachment cannot be avoided, special construction techniques such as hand digging or tunneling under roots shall be employed where necessary to minimize root injury.
4. **Tree Preservation Guidelines**, prepared by the Consulting Arborist, should be included on all plans.
5. Any herbicides placed under paving materials must be safe for use around trees and labeled for that use.
6. Irrigation systems must be designed so that no trenching will occur within the **Tree Protection Zone**.

Pre-construction treatments and recommendations

1. The construction superintendent shall meet with the Consulting Arborist before any work, including demolition, begins to discuss work procedures and tree protection.
2. Fence all trees to be retained to completely enclose the **Tree Protection Zone** prior to demolition, grubbing or grading. Fences shall be 6' high chain link attached to posts driven in to the ground, or equivalent as approved by the City of Menlo Park. Fences are to remain until all grading and construction are completed.
3. Trees identified for preservation (#92-95) may require pruning to provide construction clearance. All pruning shall be completed by a Certified Arborist or Tree Worker and adhere to the latest edition of the ANSI Z133 and A300 standards as well as the *Best Management Practices – Tree Pruning* published by the International Society of Arboriculture.
4. Any work within the **Tree Protection Zone** shall use the smallest equipment possible and operate from outside the **Tree Protection Zone**. The Consultant Arborist shall monitor all operations within the **Tree Protection Zone**.
5. Apply and maintain 4-6" wood chip mulch within the **TREE PROTECTION ZONE**.

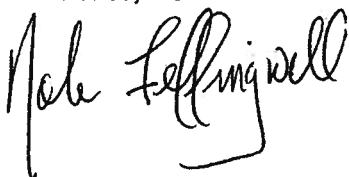
Recommendations for tree protection during construction

1. Prior to beginning work, the contractors working in the vicinity of trees to be preserved should meet with the Consulting Arborist at the site to review all work procedures, access routes, storage areas, and tree protection measures.
2. No grading, construction, demolition or other work shall occur within the **Tree Protection Zone**. Any modifications must be approved and monitored by the Consulting Arborist.
3. Maintain existing irrigation to trees #92-95 during the construction period. Each irrigation shall wet the soil within the **Tree Protection Zone** to a depth of 30".
4. Any excavation within the dripline or other work that is expected to encounter tree roots should be approved and monitored by the Consulting Arborist. Roots shall be cut by manually digging a trench and cutting exposed roots with a sharp saw. The Consulting Arborist will identify where root pruning is required.
5. If injury should occur to any tree during construction, the Consulting Arborist should evaluate it as soon as possible so that appropriate treatments can be applied.
6. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without prior review and approval by the Consulting Arborist.
7. No excess soil, chemicals, debris, equipment or other materials shall be dumped or stored within the **Tree Protection Zone**.
8. Any additional tree pruning needed for clearance during construction must be performed by a Certified Arborist and not by construction personnel.

Maintenance of impacted trees

Trees preserved at SHGCC will experience a physical environment different from that pre-development. As a result, tree health and structural stability should be monitored. Occasional pruning, fertilization, mulch, pest management, replanting and irrigation may be required. In addition, provisions for monitoring both tree health and structural stability following construction must be made a priority. As trees age, the likelihood of branches or entire trees failing will increase. Therefore, annual inspection for hazard potential is recommended.

HortScience, Inc.



John Leffingwell
Board Certified Master Arborist WE-3966B
Registered Consulting Arborist #442

Attached: **Tree Assessment Form**

Tree Assessment Map

Tree Assessment

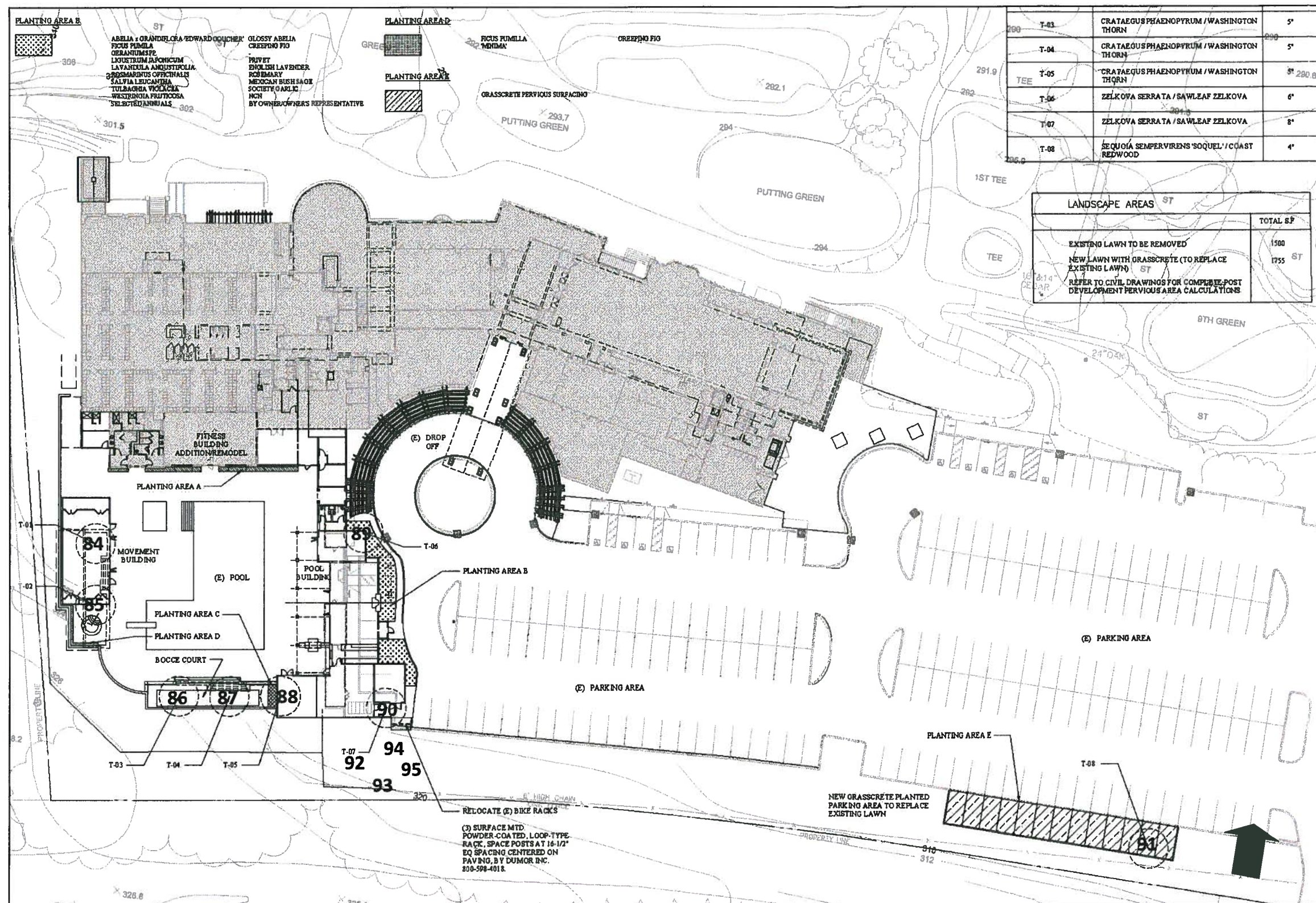
Sharon Heights Golf and Country Club
Menlo Park, California
October 2014



TREE SPECIES No.	TRUNK DIAMETER (in.)	CONDITION 1=poor 5=excellent	SUITABILITY for PRESERVATION	COMMENTS	Driplines (ft.)			
					North	South	East	West
85 Hawthorne	5	5	High	Multiple attachments at 5"; narrow attachments; good young tree.	9	11	9	9
84 Hawthorne	4	4	Moderate	Multiple attachments at 5"; leans E.; sunscald W.	9	9	7	7
86 Hawthorne	5	5	High	Multiple attachments at 5"; narrow attachments; good young tree.	8	9	8	8
87 Hawthorne	5	5	High	Multiple attachments at 5"; surface root; good young tree.	9	12	8	9
88 Hawthorne	5	4	Moderate	Multiple attachments at 5"; trunk wound from branch tear-out; trunk decay.	9	9	8	9
89 Zelkova	8	3	Moderate	Multiple attachments at 7"; topped at 15'; fair structure; twig dieback.	10	10	10	10
90 Zelkova	4	2	Low	Multiple attachments at 7"; topped at 15'; poor structure; twig dieback.	5	4	4	7
91 Coast redwood	4	3	Moderate	Small, thin crown; suppressed beneath blue gums.	5	5	5	5
92 Zelkova	9	4	Moderate	Multiple attachments at 6"; topped at 15'; surface roots.	15	15	8	15
93 Zelkova	6	4	Moderate	Multiple attachments at 6"; narrow attachments.	10	12	10	10
94 Zelkova	6	4	Moderate	Multiple attachments at 6"; topped at 15'; one sided N.	15	8	15	15
95 Coast redwood	4	5	High	Good form and structure.	7	5	8	5

D10

325 Ray Street
Pleasanton, California 94566
Phone 925.484.0211
Fax 925.484.0596

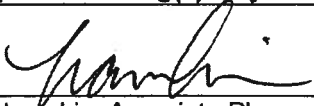


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COMMUNITY DEVELOPMENT PLANNING DIVISION

PUBLIC NOTICE OF AVAILABILITY NEGATIVE DECLARATION

Document Type: Negative Declaration		Date: August 8, 2013
Project Title: 2900 Sand Hill Road – Sharon Heights Golf and Country Club Membership Increase		
Project Location (Specific): 2900 Sand Hill Road		
Project Location (City): Menlo Park		Project Location (County): San Mateo
Description of Project: Request for a use permit revision to allow a membership increase from 550 to 680 members (130 member increase) and remove an existing condition that limits the number of vehicular trips during the a.m. and p.m. peak hours at a golf and country club located in the OSC (Open Space and Conservation) zoning district.		
Lead Agency: City of Menlo Park		Lead Agency Contact Person: Jean Lin Telephone No.: (650) 330-6735
ADDRESSES WHERE DOCUMENT MAY BE OBTAINED & REVIEWED		
Obtained and Reviewed: City of Menlo Park Planning Division 701 Laurel Street Menlo Park, California		Reviewed: Menlo Park Library Library Reference Desk 800 Alma Street Menlo Park, California
Public Review Period: Begins: Thursday, August 8, 2013 Ends: Monday, September 9, 2013 at 5:30 p.m. or at the public hearing scheduled for 7:00 p.m. Oral comments may also be presented at the public hearing. All written and oral comments will be considered by the Planning Commission.		
Public Hearing (Planning Commission) Date & Time: Monday, September 9, 2013 at 7:00 p.m. Location: Menlo Park Council Chambers 701 Laurel Street, Menlo Park		
Anyone interested in this matter is invited to comment on the document by written response or by personal appearance at the public hearing. Information regarding availability of the document and the public hearing(s) may be obtained from the Planning Division at (650) 330-6702.		
		
Jean Lin, Associate Planner		



COMMUNITY DEVELOPMENT PLANNING DIVISION

NEGATIVE DECLARATION

INTRODUCTION

This Negative Declaration has been prepared in accordance with the California Environmental Quality Act (CEQA) of 1970 and its applicable Guidelines, as amended. It is an informational document prepared to inform the decision-makers and the general public of the potential environmental effects associated with the proposed project at 2900 Sand Hill Road.

The City of Menlo Park will use this Negative Declaration in its decision making process on the proposed project.

The conclusion of this Negative Declaration is that the proposed project would not generate any significant direct or primary physical impacts on the environment.

PROJECT DESCRIPTION AND LOCATION

The Sharon Heights Golf and Country Club is requesting a use permit revision to allow a membership increase from 550 to 680 members (130 member increase) and remove an existing condition that limits the number of vehicular trips during the a.m. and p.m. peak hours at a golf and country club located in the OSC (Open Space and Conservation) zoning district. The subject site is located at 2900 Sand Hill Road, north of Sand Hill (frontage) Road and east of Interstate 280 in the Sharon Heights neighborhood.

FINDINGS AND BASIS FOR A NEGATIVE DECLARATION

The Planning Division has reviewed the Initial Study for the project and finds the following:

1. The project will not generate significant adverse effects on the water or air quality, greenhouse gases, or increase noise levels substantially.
2. The project will not have any significant adverse impacts on the flora or fauna of the area.
3. The project will not significantly degrade the aesthetic quality of the area.
4. The project will not have any significant adverse impacts on traffic, land use, population and housing, public services, and infrastructure.
5. In addition, the project will not:
 - a. Create impacts that have the potential to significantly degrade the quality of the environment.
 - b. Create significant impacts that achieve short-term, to the disadvantage of long-term, environmental goals.
 - c. Create impacts that are individually limited, but cumulatively considerable to a significant degree.

- d. Create environmental effects that will cause significant adverse effects on human beings, either directly or indirectly.

It may, therefore, be determined that the potential environmental impact of the project will be less than significant.

INITIAL STUDY

A copy of the Initial Study on which the findings for a Negative Declaration has been based is attached.

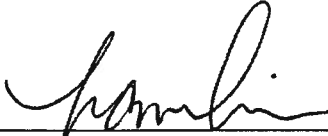
REVIEW PERIOD:

The review period is from August 8, 2013 through September 9, 2013. All written comments regarding this Negative Declaration must be received by the City of Menlo Park Planning Division, 701 Laurel Street, Menlo Park, California 94025, no later than 5:30 P.M., September 9, 2013.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

This Negative Declaration has been prepared in accordance with the California Environmental Quality Act of 1970 and its applicable guidelines, as amended.

CONTACT PERSON: JEAN LIN – (650) 330-6735



Jean Lin, Associate Planner



COMMUNITY DEVELOPMENT PLANNING DIVISION

(650) 330-6702

INITIAL STUDY

1. Project Title
2900 Sand Hill Road – Sharon Heights Golf and Country Club Membership Increase
File: PLN2011-00067
2. Lead Agency
City of Menlo Park
701 Laurel Street
Menlo Park, CA 94025-3469
3. Contact Person
Jean Lin, Associate Planner
(650) 330-6735
4. Project Location
2900 Sand Hill Road
APN #073-250-070, 073-250-150, 074-160-050, 074-160-070, 074-220-330, 074-232-130, 074-250-250, 074-250-270, 074-250-280, 074-250-340, 074-250-290, 074-500-050, 074-500-280, and 074-500-290
5. Project Applicant
Rick Sussman
Sharon Heights Golf and Country Club
2900 Sand Hill Road
Menlo Park, CA 94025

Property Owners
Sharon Heights Golf and Country Club
2900 Sand Hill Road
Menlo Park, CA 94025

Leland Stanford Jr. University
c/o Sharon Heights Golf and Country Club
2900 Sand Hill Road
Menlo Park, CA 94025
6. General Plan Designation
Parks and Recreation

7. Zoning

OSC (Open Space and Conservation) Zoning District

8. Description of project

The Sharon Heights Golf and Country Club ("SHGCC") currently operates a private recreational facility which includes an 18-hole golf course, tennis courts, a swimming pool, clubhouse, restaurant, and associated facilities on an approximately 111-acre site consisting of multiple contiguous parcels. Usage of the facilities is generally restricted to its members. As part of the conditions of approval currently in effect, club membership is limited to a maximum of 550 members. Additionally, vehicular trips are limited to 70 two-way vehicular trips during the a.m. peak hour and 88 two-way vehicular trips during the p.m. peak hour, with annual monitoring of trips to ensure compliance with the peak hour trip caps.

SHGCC currently maintains a membership base of 550 members, and is requesting a use permit revision to allow a membership levels to increase to 680 members (an increase of 130 members). The larger member base is intended to allow SHGCC to stay competitive with other local recreational clubs, with the potential to increase the membership categories offered and the number of memberships in the various categories. The increase in membership could be accommodated by existing facilities, and no construction or expansion of existing facilities is proposed. In addition, SHGCC is proposing to remove the condition limiting the number of vehicular trips during the a.m. and p.m. peak hours. SHGCC anticipates that increases in membership would occur gradually over a period of ten to twenty years.

The proposed changes require use permit review and approval by the Planning Commission.

9. Surrounding land uses and setting

The project site is located to the north of Sand Hill (frontage) Road and east of Interstate 280 in the Sharon Heights neighborhood of Menlo Park. The subject site is in a suburban area surrounded by single-family residences to the north, single-family residences, offices, and a public park (Sharon Park) to the east, offices, a hotel, roadways (Sand Hill Road and Interstate 280 freeway ramps) and vacant land to the south, and Interstate 280 and vacant land to the west. Additionally, the site surrounds two pockets of separate development comprising of multi-family residences and offices.

10. Other public agencies whose approval may be required
California Department of Transportation (Caltrans)

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

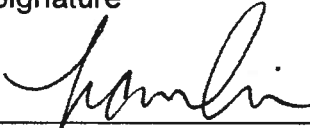
The environmental factors checked below would be potentially affected by this project.

<input type="checkbox"/> Aesthetics	<input type="checkbox"/> Agriculture and Forestry Resources	<input type="checkbox"/> Air Quality
<input type="checkbox"/> Biological Resources	<input type="checkbox"/> Cultural Resources	<input type="checkbox"/> Geology/Soils
<input type="checkbox"/> Greenhouse Gas Emissions	<input type="checkbox"/> Hazards & Hazardous Materials	<input type="checkbox"/> Hydrology/Water Quality
<input type="checkbox"/> Land Use/Planning	<input type="checkbox"/> Mineral Resources	<input type="checkbox"/> Noise
<input type="checkbox"/> Population/Housing	<input type="checkbox"/> Public Services	<input type="checkbox"/> Recreation
<input type="checkbox"/> Transportation/Traffic	<input type="checkbox"/> Utilities/Service Systems	<input type="checkbox"/> Mandatory Findings of Significance

DETERMINATION: (To be completed by the Lead Agency.)

On the basis of this initial evaluation:

- ☒ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- ☐ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- ☐ I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- ☐ I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Signature 	For the City of Menlo Park
Jean Lin, Associate Planner	August 8, 2013

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
1. AESTHETICS				
Would the project:				
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X

DISCUSSION:

a,b) **No Impact.** In 1963, the State Legislature established the California Scenic Highway Program through Senate Bill 1467. The stated intent of the Scenic Highway Program is to protect and enhance California's natural scenic beauty and to protect the social and economic values provided by the State's scenic resources, and is oriented to preserve and protect scenic highway corridors from change which would diminish the aesthetic value of lands adjacent to highways. The merits of a scenic highway are based on how much of the natural landscape a passing motorist sees and the extent to which visual intrusions (e.g., buildings, unsightly land uses, noise barriers) impact the "scenic corridor". A scenic corridor is the land generally adjacent to and visible from the highway, and is identified using a motorist's line of vision. The California Department of Transportation (Caltrans) has full jurisdiction over all State highways, and oversees the Scenic Highway Program.

In April 1980, a 21.8-mile segment of Interstate 280 (I-280) within San Mateo County, from the Santa Clara County line to the northern city limit of San Bruno, was designated as a state scenic highway. The western portion of the subject site abuts this segment of I-280. The proposed membership increase could be accommodated with existing facilities, and no new structures or other physical changes are proposed. Therefore, the proposed project would not result in any impacts to a state scenic highway or other scenic resources.

c) **No Impact.** The subject site is located in a developed suburban area surrounded by residential and commercial uses, a public park, and I-280. The majority of the site is landscaped with turf with mature trees lining the golf course. There are currently several buildings on the site, including a clubhouse, tennis pro shop, maintenance building, and golf teaching shelter. The applicant has indicated that the proposed membership increase could be accommodated with existing facilities, and no new structures or other physical expansion of existing facilities are proposed. Therefore, the proposed project would not result in any impacts to the existing visual character of the site and its surroundings.

d) **No Impact.** Exterior lighting is currently installed at existing buildings near entrances, and parking lots for safety purposes. These fixtures are similar to residential-scale outdoor lighting, are not directed towards neighboring properties, and do not cast glare or light spillover onto nearby properties. The golf course, which

abuts neighboring residential uses, is not lit at night. There is security lighting for the tennis pro shop, but the tennis courts are not lit for nighttime use. No new lighting and no changes to the existing lighting fixtures are proposed as part of the proposed project. Therefore, there would not be any new impacts associated with substantial light or glare.

Sources:

City of Menlo Park, *General Plan*, adopted 1994

City of Menlo Park Zoning Ordinance, effective June 12, 2012

California Department of Transportation (Caltrans), *Officially Designated State Scenic Highways website*

<http://www.dot.ca.gov/hq/LandArch/scenic/schwy.htm>, updated July 11, 2012, accessed July 10, 2013

Caltrans, *Scenic Highway Guidelines*, October 2008

Field Observations

Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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2. AGRICULTURAL RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|----------|
| a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |

Timberland Production (as defined by Government
Code section 51104(g))?

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|----------|
| d) Result in the loss of forest land or conversion of forest land to non-forest use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |

DISCUSSION:

- a-e) **No Impact.** The California Department of Conservation defines urban and built-up land as being “occupied by structures with a building density of at least 1 unit to 1.5 acres or approximately 6 structures to a 10-acre parcel.”

The subject site is located within a suburban area that is surrounded by residential and commercial development, I-280 freeway, and a public park. Although the OSC (Open Space and Conservation) zoning district allows agricultural uses as a conditional use, the subject site has operated as a private recreational facility since 1962, and does not currently include any active agricultural uses, nor have agricultural uses occurred at the site for many years. The subject site is not designated by the Farmland Mapping and Monitoring Program of the California Resources Agency as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance. The subject site is not under a Williamson Act contract. Therefore, there would be no impacts related to agricultural resources.

Sources:

California Department of Conservation, *Important Farmland in California Map*, 2010.
City of Menlo Park, *General Plan*, adopted 1994

Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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3. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations.
Would the project:

- | | | | | |
|---|--------------------------|--------------------------|----------|--------------------------|
| a) Conflict with or obstruct implementation of the applicable air quality plan? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |
|---|--------------------------|--------------------------|----------|--------------------------|

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|--------------------------|
| b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |
| c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |
| d) Expose sensitive receptors to substantial pollutant concentrations? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |
| e) Create objectionable odors affecting a substantial number of people? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |

DISCUSSION:

- a) **Less than Significant Impact.** The Bay Area Air Quality Management District (BAAQMD) is primarily responsible for regulating air pollution emissions from stationary (i.e., factories) and indirect (i.e., traffic) sources in the San Francisco Bay Area Air Basin, as well as for monitoring ambient pollutant concentrations in the Basin. The *2010 Clean Air Plan* is the latest Clean Air Plan which contains district-wide control measures to reduce ozone precursor emissions (i.e., reactive organic gases and oxides of nitrogen). The BAAQMD had developed *CEQA Air Quality Guidelines (updated May 2011)* which identifies screening criteria based on land use and project size, and is generally representative of new development on greenfield sites without inclusion of any form of mitigation measures. The screening criteria do not account for project design features, attributes, or local development requirements that could also result in lower emissions. These screening criteria are not intended to establish thresholds of significance, rather they are a conservative indication of whether a proposed project could result in potentially significant air quality impacts and assist in determining whether or not a detailed air quality assessment would be required.

On March 5, 2012, the Court issued a ruling in *California Building Industry Association v. Bay Area Air Quality Management District* (Superior Court Case No. RG10548693). Pursuant to the ruling, the Court found that the adoption of the BAAQMD's CEQA Guidelines, which comprise the BAAQMD's air quality and greenhouse gas significance criteria, is a "project" requiring CEQA review. Since no CEQA review was conducted for the Guidelines prior to their adoption, the Court set aside adoption of the Guidelines for determining the significance of air quality and GHG emissions, and ordered BAAQMD to take no further action to disseminate the thresholds until CEQA review is complete. While adoption of the thresholds was set aside, the thresholds are supported by appropriate studies and analysis (see <http://www.baaqmd.gov/Divisions/Planning-and-Research/CEQA-GUIDELINES/Tools-and-Methodology.aspx>). Accordingly, pursuant to its discretion under State CEQA Guidelines section 15064(b) ("lead agencies may exercise their discretion on what criteria to use"), and the recent holding in *Citizen for Responsible Equitable Environmental Development v. City of Chula Vista* (2011) 197 Cal.App.4th 327, 335-336, ("[t]he determination of whether a project may have a significant effect on the environment calls for careful judgment on the part of the public agency involved, based to the extent possible on scientific and factual data."), the City has decided to apply the BAAQMD CEQA thresholds to the proposed project.

The recreational land use categories identified in the Guidelines include a racquet club, racquetball/health club, and city park, and the screening criteria is associated with the amount of floor area or land area dedicated to these uses, as summarized in the table below:

BAAQMD Operational Screening Criteria

Land Use Type	Operational Criteria Pollutant Screening Size
Racquet Club	291,000 sq.ft. (NOX) ¹
Racquetball/health club	128,000 sq.ft. (NOX)
City Park	2,613 acres (ROG) ²

¹NOX: Oxides of Nitrogen

²ROG: Reactive Organic Gases

Source: BAAQMD CEQA Air Quality Guidelines (updated May 2011)

The Guidelines include two recreational land use categories, a racquet club and a racquetball/health club, for which the screening criteria are significantly different, which implies different recreational amenities and/or different intensities of use, although neither use is clearly defined. Our analysis evaluated the SHGCC against the racquetball/health club category with respect to square footage because the screening criteria for a racquetball/health club is considerably lower and therefore more conservative than that of the racquet club land use category. In addition, our analysis evaluated the SHGCC against the city park land use category.

Given that the SHGCC is not proposing any changes to their facilities as part of the proposed membership increase, our analysis evaluated the equivalent amount of floor area and land area associated with the proposed 130 member increase based on the current average rate of floor and land area per member. The “average area per member” is calculated by taking the existing floor area and land area, and dividing it by the number of current members (550 members) to arrive at the average amount of area that is theoretically demanded on a per member basis. The “equivalent for 130 members” is calculated by taking the “average area per member” and multiplying it by the proposed number of new members (130 members), to arrive at the amount of area that would theoretically be required to accommodate the additional members. The theoretical “equivalent for 130 members” would thus allow a direct square footage-to-square footage and acre-to-acre comparison with the screening criteria for the relevant land use category.

Comparative Analysis: BAAQMD Guidelines and Proposed Membership Increase

BAAQMD Guidelines Air Quality Operational Screening Criteria		Sharon Heights Golf and Country Club Existing and Member Increase Equivalent		
Land Use Type	Screening Size	Existing Area	Average Area per Member	Equivalent for 130 members
Racquetball/ health club	128,000 sq.ft. (NOX)	60,000 sq.ft.	$60,000 \div 550 = 109$ sq.ft. members sq.ft. per member	14,170 sq.ft.
City Park	2,613 acres (ROG)	111 acres	$111 \div 550 = 0.20$ acres members acres per member	26 acres

Since the equivalent square footage and land area for the proposed membership increase fall well within the screening criteria specified in BAAQMD's *Guidelines*, a detailed air quality assessment is not required. The proposed project would not conflict with or obstruct implementation of the 2010 *Clean Air Plan* as it is not expected to generate any significant amount of emissions, and the impact would be less than significant. Therefore, the proposed project would have a less than significant impact in the implementation of the applicable air quality plans.

- b,c) **Less than Significant Impact.** The California Air Resources Board (CARB) coordinates and oversees both state and federal air quality control programs in California. The CARB is required by the California Clean Air Act (CCAA) to designate areas of the State as “attainment”, “non-attainment”, or “unclassified” for each of the

California Ambient Air Quality Standards (CAAQS). An attainment designation signifies that pollutant concentrations did not violate the standard for that pollutant. A non-attainment designation indicates that a pollutant concentration violated the standard at least once, excluding those occasions when a violation was caused by an exceptional event, as defined in the criteria. U.S. Environmental Protection Agency (EPA) also establishes air pollution standards – the National Ambient Air Quality Standards (NAAQS). The NAAQS are equal to or less stringent than the CAAQS.

The entire San Francisco Bay Area is currently designated as a “non-attainment” area for the state ozone standard. This means that the level of ozone during a one-hour period exceeds the standard of 0.09 parts per million (ppm) on more than one day per year, excluding when a violation was caused by an exceptional event. The Bay Area Air Basin is currently designated as a non-attainment area for the state PM₁₀ standard, and as non-attainment for the federal PM₂₅ standard. All other pollutants are designated as an attainment or unclassified area for federal standards and as an attainment area for the state standard.

As discussed in 3a) above, the proposed project is well below the *BAAQMD CEQA Guidelines* screening criteria for operational-related air pollutants. Therefore, the proposed project will not contribute to significant increases in any criteria pollutant.

- d) **Less than Significant Impact.** The BAAQMD defines sensitive receptors as facilities where sensitive population groups (children, elderly, acutely and/or chronically ill) are likely to be located. These land uses include residences, schools, playgrounds, childcare centers, retirement homes, convalescent homes, hospitals, and medical clinics.

Residential uses abut the subject site to the north and to the east, and the site completely surrounds two separate pockets of residential development. The proposed membership increase would incrementally increase air emissions primarily through an increase in vehicular trips, but would not expose nearby sensitive receptors to any significant concentrations of air pollutants.

- e) **No Impact.** The routine maintenance of the golf course involves the use and storage of fertilizers, which may emit odors perceptible to nearby properties. The proposed membership increase is not anticipated to affect the current levels of fertilizer use or generate any new or more severe odor emissions. Therefore, the proposed project would have no impacts related to objectionable odors.

Sources:

Bay Area Air Quality Management District, *2010 Clean Air Plan*, adopted September 15, 2010
–, *BAAQMD CEQA Air Quality Guidelines*, updated May 2011

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
4. BIOLOGICAL RESOURCES				
Would the proposal:				
a) Have a substantial adverse effect, either directly or indirectly through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|---|
| b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |

DISCUSSION:

- a) **No Impact.** The subject site has been operating as a private recreational facility with a golf course since 1962, and the surrounding properties are developed with residential and commercial uses, a public park, and I-280 freeway. The subject site provides low habitat value for wildlife, and the proposed project would not directly or indirectly impact habitat for any species identified as a candidate, sensitive or special status species. Therefore, there would be no impact to sensitive habitat as a result of this project.
- b) **No Impact.** The subject site is situated in a suburban setting and is not near any riparian or sensitive habitat. San Francisquito Creek is the nearest creek, and is located approximately half a mile to the south of the site. Since the subject site does not contain any riparian or sensitive habitat, the proposed project would not result in any impacts to riparian or other sensitive habitats.
- c) **No Impact.** The subject site itself does not contain any federally protected wetlands. Therefore, the proposed project would not result in any impacts.
- d) **No Impact.** The subject site does not contain any habitat for migratory fish or migratory wildlife corridors. The proposed membership increase would not require any physical expansion of existing facilities and would not impact any trees or wildlife migratory corridors. Therefore, there would be no impact to wildlife movement or nursery sites.
- e) **No Impact.** The City of Menlo Park Heritage Tree Ordinance defines a heritage tree as:
 - 1) any tree having a trunk with a circumference of 47.1 inches (diameter of 15 inches) or more measured

- at 54 inches above natural grade;
- 2) an oak tree (*Quercus*) which is native to California and has a trunk with a circumference of 31.4" (diameter of 10") or more, measured at 54" above the natural grade;
- 3) a tree or group of trees of historical significance, special character or community benefit, specifically designated by resolution of the city council; or,
- 4) any tree with more than one trunk measured at the point where the trunks divide, with a circumference of 47.1 inches (diameter 15 inches) or more, with the exception of trees that are under twelve (12) feet in height.

There are currently hundreds of trees on the subject site. No construction or expansion of recreational facilities is proposed, and all existing trees would be retained. Therefore, the proposed membership increase would not result in any impacts to trees.

- f) **No Impact.** The proposed project is already developed as a private recreational facility in a suburban area, and would not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conversation Plan, or other approved local, regional, or state habitat conservation plan. Therefore, the proposed project would not impact any conservation plans.

Sources:

City of Menlo Park, *Municipal Code*, updated March 2013
Field Observations

5. CULTURAL RESOURCES

Would the Proposal:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Cause a substantial adverse change in the significance of a historical resource as defined in CEQA Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
d) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X

DISCUSSION:

- a) **No Impact.** The subject site is not listed as a City landmark or historic resource, nor is it listed in the State Historic Resources Inventory System. The existing recreational use has occupied the site since 1962, and buildings on the site are not considered to be culturally significant. No construction or physical expansion of

existing facilities is proposed as part of the membership increase. Even if the existing buildings were eligible for the listing on a historic register, a change in membership would not affect any potential historic integrity. Therefore, the proposed project would not result in any impacts to historical resources.

- b,c) **No Impact.** The subject site has not been identified as an archaeological resource, a unique paleontological resource or site, or unique geologic feature. As no construction is proposed as part of the membership increase, the proposed project will not result in any impacts to any archaeological or paleontological resources, or any unique geologic features.
- d) **No Impact.** There is currently no cemetery or known history of a cemetery having existed at the subject site. As no construction activity is proposed, the proposed project will not result in any impacts to human remains.

Sources:

California State Parks Office of Historic Preservation, *California Historic Resources Information System (CHRIS)*, <http://ohp.parks.ca.gov/ListedResources/>, accessed July 16, 2013

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
6. GEOLOGY & SOILS				
Would the project:				
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|--------------------------|
| c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |
| d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |
| e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |

DISCUSSION:

a.i,ii) **Less than Significant Impact.** The City of Menlo Park is located within a seismically sensitive area, subject to very strong ground shaking in the event of an earthquake. According to the U.S. Geologic Survey (USGS), there is a high probability of a magnitude 6.7 earthquake occurring in the San Francisco Bay Area by the year 2030. The major faults near the subject site are listed in the table below. These faults are considered to be active or potentially active and have a long history of seismic activity.

Regional Faults and Seismicity

Fault	Approximate Distance from Site (miles)	Direction from Site	Maximum Magnitude
Monte Vista	1	Southwest	6.5
San Andreas (1906 segment)	2	Southwest	7.9
San Andreas (Peninsula segment)	2	Southwest	7.0
San Gregorio	12	West	7.3
Hayward	17	Northeast	7.1

The subject site is not directly located on an active or potentially active fault, and is not located in a special studies zone identified on the Alquist-Priolo Maps as defined by the California Geological Survey. Therefore, the potential for surface fault rupture is low and the impact is considered to be less than significant.

The subject site is located in Seismic Zone 4, as designated by the current Uniform Building Code, which is expected to experience the greatest effects from earthquake ground shaking. The intensity of such an event would depend on the causative fault and the distance to the epicenter, the moment magnitude, and the duration of shaking. Although some structural damage is typically not unavoidable during an earthquake, building codes and construction ordinances have been established to protect against building collapse and major injury during a seismic event. Therefore, it may be assumed that structures on the subject site would be subjected to seismic induced hazards at some time during its lifetime. Generally, any new structures would be required to comply with the seismic standards of the California Building Code for construction within this seismic zone. Although the proposed membership increase would not involve any construction or expansion of existing facilities, an increase in the usage of the existing recreational facilities may potentially expose more people to the risks of seismic hazards at the site in the event of an earthquake. The incremental increase in the exposure to seismic hazards from the proposed project is considered a less than significant impact.

- a.iii,iv) **Less than Significant Impact.** Liquefaction refers to the sudden, temporary transformation of loose saturated granular sediments from a solid state to a liquefied state as a result of seismic ground shaking. Liquefaction-related phenomena include seismically induced settlement, flow failure, and lateral spreading. While there would be considerable ground shaking, seismic ground failure, including liquefaction and subsidence of the land are possible. Landslides occur when forces such as excessive rainfall or earthquakes loosen unstable materials from hillsides causing the material to slide downhill.

According to the State of California Seismic Hazard Zones Official Map for the Palo Alto Quadrangle, portions in the western and northern peripheries of the subject site are within areas that are susceptible to liquefaction, with two small pockets near the liquefaction areas being susceptible to earthquake-induced landslides. Currently, the liquefaction- and landslide-prone areas are located on portions of the site occupied by the golf course, and there are no buildings within these areas. No new construction or expansion of existing facilities is proposed as part of the proposed project. With respect to the exposure of people to these hazard-prone areas, the scheduling of golf games is staggered as part of standard practice to help minimize overcrowding and promote safety on the course. Limiting the number of golf games that can occur at any one time helps to limit the number of people on the golf course, thus, even with the proposed increase in membership, the exposure of people to seismic hazards on the golf course would remain substantially the same as existing levels because the capacity of the golf course remains the same. Therefore, the exposure to seismically induced ground failure and liquefaction is considered a less than significant impact.

- b) **No Impact.** No new construction or expansion of existing facilities is proposed as part of the proposed membership increase. Therefore, the proposed project will not result in any impacts due to erosion.
- c) **Less than Significant Impact.** No new construction or expansion of existing facilities is proposed as part of the proposed membership increase. As discussed in item 6a(iii,iv) above, the subject site contains liquefaction- and landslide-prone areas, but there are no structures located within these hazard-prone areas. The subject site contains no other known potentially unstable geologic units or soils. Therefore, impacts related to unstable geologic units or soils are considered to be less than significant.
- d) **Less than Significant Impact.** Expansive soil occurs when clay particles interact with water causing volume changes in the clay soil. The clay soil swells when saturated and contracts when dried. This phenomenon generally decreases in magnitude with increasing confinement pressure at depth. These volume changes may damage lightly loaded foundations, retaining walls and shallow improvements.

The subject site contains expansive soils, and any new structures on the site would be required to comply with the recommendations of a geotechnical investigation. Since no new construction or expansion of existing facilities is proposed as part of the proposed membership increase, the proposed project will not result in any significant impacts due to expansive soils.

- e) **No Impact.** The subject site is served by the existing West Bay Sanitary District sewer system and does not use septic tanks or an alternative wastewater disposal system. Therefore, there is no potential impact related to adequate support of septic tanks or alternative waste water disposal systems.

Sources:

California Geological Survey, *Alquist-Priolo Earthquake Fault Zone Map – Palo Alto Quadrangle*, July 1, 1974
–, *Seismic Hazard Zones Map – Palo Alto Quadrangle*, October 18, 2006
Treadwell and Rollo Environmental and Geotechnical Consultants, *Geotechnical Investigation, New Clubhouse and Pool, Sharon Heights Golf & Country Club, Menlo Park, California*, May 12, 2000
West Bay Sanitary District, *Areas of Coverage map*, February 2010

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7. GREENHOUSE GAS EMISSIONS

Would the proposal:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|--------------------------|
| a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |
| b) Conflict with any applicable plan, policy, or regulation an agency adopted for the purpose of reducing the emissions of greenhouse gases? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |

DISCUSSION:

- a) **Less Than Significant Impact.** The Bay Area Air Quality Management District's (BAAQMD) *CEQA Air Quality Guidelines (updated May 2011)* identifies screening criteria based on land use and project size, and is generally representative of new development on greenfield sites without inclusion of any form of mitigation measures. The screening criteria do not account for project design features, attributes, or local development requirements that could also result in lower emissions. These screening criteria are not intended to establish thresholds of significance; rather, they are a conservative indication of whether a proposed project could result in potentially significant air quality impacts and assist in determining whether or not a detailed air quality assessment would be required.

Similar to the Air Quality discussion above, although adoption of the BAAQMD CEQA Air Quality Guidelines was set aside, the thresholds are supported by appropriate studies and analysis, and lead agencies may exercise their discretion to apply them. Once again, the Guidelines' screening criteria for recreational land use types is based on the floor area or land area of the land use type, and does not evaluate emissions based on the number of members or users. The screening criteria for the recreational land use categories identified in the Guidelines are summarized in the table below:

Operational Screening Criteria for Greenhouse Gas

Land Use Type	Operational GHG ³ Screening Size
Racquet Club	46,000 sq.ft.
Racquetball / Health Club	24,000 sq.ft.
City Park	600 acres

³GHG: Greenhouse

Source: BAAQMD CEQA Air Quality Guidelines (updated May 2011)

The Guidelines include two recreational land use categories, a racquet club and a racquetball/health club, for which the screening criteria is significantly different, which implies different recreational amenities and/or different intensities of use, although neither use is clearly defined. Our analysis evaluated the SHGCC against the racquetball/health club category with respect to square footage because the screening criteria for a racquetball/health club is considerably lower and therefore more conservative than the racquet club land use category. In addition, our analysis evaluated the SHGCC against the city park land use category.

Given that the SHGCC is not proposing any changes to their facilities as part of the proposed membership increase, our analysis evaluated the equivalent amount of floor area and land area associated with the

proposed 130 member increase based on the current average rate of floor and land area per member. The "average area per member" is calculated by taking the existing floor area and land area, and dividing it by the number of current members (550 members) to arrive at the average amount of area that is theoretically demanded on a per member basis. The "equivalent for 130 members" is calculated by taking the "average area per member" and multiplying it by the proposed number of new members (130 members), to arrive at the amount of area that would theoretically be required to accommodate the additional members. The theoretical "equivalent for 130 members" would thus allow a direct square footage-to-square footage and acre-to-acre comparison with the screening criteria for the relevant land use category.

Comparative Analysis: BAAQMD Guidelines and Proposed Membership Increase

BAAQMD Guidelines Operational GHG Screening Criteria		Sharon Heights Golf and Country Club Existing and Member Increase Equivalent		
Land Use Type	Operational GHG Screening Size	Existing Area	Average Area per Member	Equivalent for 130 members
Racquetball/ health club	24,000 sq.ft.	60,000 sq.ft.	$60,000 \div 550 = 109$ sq.ft. members sq.ft. per member	14,170 sq.ft.
City Park	600 acres	111 acres	$111 \div 550 = 0.20$ acres members acres per member	26 acres

Since the equivalent square footage and land area for the proposed membership increase fall well within the screening criteria specified in BAAQMD's Guidelines, a detailed air quality assessment is not required. The proposed project would not conflict with or obstruct implementation of the 2010 Clean Air Plan as it is not expected to generate any significant amount of emissions, and the impact would be less than significant. Therefore, the proposed project would have a less than significant environmental impact in generation of greenhouse gas emissions.

- b) **No Impact.** The City's Climate Action Plan includes recommendations on reducing greenhouse gas emissions through reductions in vehicular trips, but does not provide thresholds of significance or screening criteria for greenhouse gas emissions. Therefore, the proposed project will not have any impact on the City's Climate Action Plan.

Sources:

City of Menlo Park, *General Plan*, adopted 1994

--, *Climate Action Plan*, adopted May 2009

Bay Area Air Quality Management District, *2010 Clean Air Plan*, adopted September 15, 2010

--, *BAAQMD CEQA Air Quality Guidelines*, updated May 2011

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8. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?



- | | | | | |
|--|--------------------------|--------------------------|--------------------------|--------------------------|
| b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |
| c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |
| d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |

DISCUSSION:

- a,b) **Less than Significant Impact.** The subject site currently uses and stores hazardous materials as part of its maintenance, including two 500-gallon above-ground fuel tanks, fertilizers, pesticides, and other maintenance products. As part of the use permit and architectural control approval in August 2012, a new maintenance building will be constructed on the southwest portion of the site that will house the fuel tanks, a chemical mixing area, and fertilizer and chemical storage. The SHGCC currently operates under an approved Hazardous Materials Business Plan (HMBP), which includes an emergency response plan, a record keeping plan, and a site plan illustrating the locations of chemical storage, emergency eye wash and shower, and fire extinguisher, and is subject to regular inspections by the Menlo Park Fire Protection District. The proposed membership increase would not result in any changes to the quantities of hazardous materials being stored, and potential impacts with

respect to creating a significant hazard to the public or the environment through the routine transport, use, emission, or disposal of hazardous materials would be substantially the same as existing levels, which does not pose any significant hazards.

- c) **Less than Significant Impact.** The schools nearest the subject site include Trinity School, Phillips Brooks School, La Entrada Middle School, and Las Lomitas Elementary School. Trinity School is the only school within a quarter mile, and all of the other schools are located at least half a mile away. Hazardous materials are stored on the western portion of the site, which is approximately 0.8 miles away from Trinity School, located to the southeast of the site. The proposed membership increase would not affect the existing use and storage of hazardous materials on the subject site. There is a low potential to affect existing schools in the vicinity; therefore, impacts related to emissions or handling of hazardous materials in close proximity to schools would be less than significant.
- d) **No Impact.** The subject site is not on the California Department of Toxic Substances Control's Hazardous Waste and Substances Site List (Cortese List) pursuant to Government Code Section 65962.5. Therefore, there would be no impact.
- e,f) **No Impact.** The nearest airports to the subject site are the Palo Alto Airport and San Carlos Airport, which are approximately 7 and 10 miles from the subject site, respectively. The subject site is not located within the airport safety zones of either airport, or within an area that would be impacted by aircraft noise. Therefore, the proposed project does not have the potential to result in exposing people residing or working in the project area to safety hazards associated with airports or airstrips.
- g) **No Impact.** No construction or expansion of existing facilities is proposed as part of the membership increase. Therefore, the proposed project will not interfere with any emergency response plan or emergency evacuation plan.
- h) **Less than Significant Impact.** The subject site is developed as a private recreational facility, with most of the land area landscaped as part of a golf course, and has not been identified as being at risk for wildland fires. Properties immediately adjacent to the subject site are developed, but there are vacant lands in the vicinity along the south side of Sand Hill Road and to the west of I-280 freeway, which have been identified by the California Emergency Management Agency as areas of high fire hazard. Although the subject site is in close proximity to areas prone to wildfires, the landscaping on the site is well irrigated and maintained, and roadways consisting of four to eight lanes would provide a buffer between the site and the vacant lands in the vicinity. Therefore, there is a low probability for wildfires to occur on the subject site, and the proposed project would not have any significant impacts with respect to exposing people or structures to wildland fires.

Sources:

California Department of Toxic Substances Control, *Hazardous Waste and Substances Site List – Site Cleanup (Cortese List)*, http://www.dtsc.ca.gov/SiteCleanup/Cortese_List.cfm, accessed July 15, 2013
California Emergency Management Agency, *Hazard Mitigation Portal website* <http://myhazards.calema.ca.gov/>, accessed July 15, 2013
City of Menlo Park, *2900 Sand Hill Road Use Permit and Architectural Control (PLN2012-00007)*, approved August 6, 2012
City of San Carlos, *General Plan Noise Element*, adopted October 12, 2009
Santa Clara County Airport Land Use Commission, *Palo Alto Airport Comprehensive Land Use Plan*, adopted November 19, 2008

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
9. HYDROLOGY AND WATER QUALITY				
Would the project:				
a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|---|
| i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| j) Inundation by seiche, tsunami, or mudflow? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |

DISCUSSION:

- a) **No Impact.** The subject site is currently developed as a private recreational facility. Wastewater generated by the site consists primarily of stormwater runoff due to impervious surfaces. The proposed membership increase would not involve construction of new structures or increase the amount of impervious surface area. Therefore, the proposed project would not result in any impacts to water quality or wastewater discharge.
- b) **Less than Significant Impact.** Water service for the subject site is supplied by the Menlo Park Municipal Water District. The proposed increase in membership would result in an incremental increase in water demand due to increased human consumption, while the level of water usage for landscaping and maintenance purposes would remain substantially the same as existing levels. The proposed project does not contain any new restrooms or kitchens, or any expansion of landscaped areas. Therefore, the proposed project would not result in any significant impacts with respect to the depletion of groundwater resources.
- c,d,e) **No Impact.** The proposed project does not involve any new construction or expansion of existing facilities, and the existing drainage patterns and amount of impervious surfaces would remain the same as existing. The existing stormwater runoff that is generated from the subject site does not exceed the capacity of existing or planned stormwater drainage systems. Therefore, the proposed project would not have any impacts to the site's drainage patterns, the rate or volume of stormwater runoff, and existing stormwater drainage systems.
- f) **No Impact.** No construction or expansion of existing facilities is proposed as part of the requested membership increase. Therefore, the proposed project would not result in any impacts with respect to water quality degradation.
- g,h) **No Impact.** The subject site is not located within a 100-year floodplain as mapped by the Federal Emergency Management Agency (FEMA) and will development on the site does not have the potential to impede or redirect 100-year flood flows. The proposed membership increase does not include any construction, and would not have any impacts associated with the alteration of existing drainage patterns, or any impacts with respect to the placement of housing or structures within a 100-year flood hazard area.
- i) **No Impact.** The project is not located near a levee or dam and is not within a flood zone. Therefore, the project would not result in any impacts with respect to exposure to the risks of flooding.
- j) **No Impact.** Tsunamis, which are large ocean waves generated by seismic events are rare, and if generated would be expected to inundate lower-lying coastal areas several miles west of the project site. Seiches are seismically induced waves that occur in an enclosed body of water, such as a lake.

Areas that would be at risk of inundation by a tsunami include areas along the bay. The nearest tsunami inundation risk areas are approximately 5.5 miles away from the subject site, in areas directly adjacent to the bay. The subject site is not located near the bay, and is not in an area at risk of inundation by a tsunami. Furthermore, the site is elevated at approximately 200 feet above sea level at the lowest point, further reducing any potential risk of a tsunami impacting the site. There are no natural bodies of water near the subject site that would pose any risks of a seiche. There are no geologic features on the subject site or surrounding areas that would pose a risk of inundation by mudflow. Therefore, the proposed project would not result in any impacts due to exposing people to a significant risk due to inundation by tsunami, mudflow, or seiche.

Sources:

City of Menlo Park, *General Plan, Open Space, Conservation, Noise and Safety Elements*, adopted May 21, 2013

Federal Emergency Management Agency (FEMA), *FEMA Flood Map*, October 16, 2012

Field Observations

Regional Water Quality Control Board, *San Francisco Bay Region Municipal Regional Stormwater NPDES Permit*, adopted October 14, 2009, revised November 28, 2011

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
10. LAND USE AND PLANNING				
Would the project:				
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X

DISCUSSION:

- a) **No Impact.** The physical division of an established community typically refers to the construction of a physical feature (such as an interstate highway or railroad tracks) or removal of a means of access (such as a local road or bridge) that would impair mobility within an existing community, or between a community and outlying areas.

No construction or expansion of existing facilities is proposed as part of the requested membership increase. Therefore, the proposed project would not physically divide an established community.

- b) **No Impact.** The subject site is in the OSC (Open Space and Conservation) zoning district, which allows a private recreational facility as a conditional use. A use permit had previously been granted to allow a private recreational facility to operate on the site. The site's General Plan designation is Parks and Recreation, which provides for recreational uses.

The existing private recreational facility is in conformance with both its Zoning and General Plan designations, and the proposed project will not require rezoning or any changes in land use designation. The proposed project is requesting modifications to the site's existing use permit conditions to allow the proposed increase in membership, as well as removal of the trip cap and monitoring requirement, but does not otherwise alter the nature of the approved recreational use. Therefore, the project would not conflict with any applicable land use plans or policies.

- c) **No Impact.** The proposed project would not be in conflict with a habitat conservation plan or natural community conservation plan, since no such plans have been developed on or adjacent to the site. Therefore, no impact would occur with the project as it relates to a habitat conservation plan or natural community conservation plan.

Sources:

City of Menlo Park, *General Plan*, adopted 1994

--, *Zoning Ordinance*, effective July 2012

Field Observations

TJKM Transportation Consultants, *Sharon Heights Golf and Country Club Traffic Impact Study*, May 6, 2013

Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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11. MINERAL RESOURCES

Would the project:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|----------|
| a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |

DISCUSSION:

- a) **No Impact.** The subject site does not contain any known mineral resources. The nearest mines include the Langley Hill Quarry and Pilarcitos Quarry, approximately 13 and 16 miles away, respectively. Therefore, there is no potential for impact associated with mineral resources as a result of this project.
- b) **No Impact.** The City of Menlo Park General Plan does not discuss any locally important mineral resource recovery site on or in the vicinity of the subject site. Therefore, the proposed project would not result in any environmental impacts associated with locally important mineral resources.

Sources:

California Department of Conservation, Division of Mines and Geology, *Generalized Mineral Land Classification Map of the South San Francisco Bay Production-Consumption Region*, 1996

City of Menlo Park, *General Plan*, adopted 1994

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
12. NOISE				
Would the project result in:				
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X

DISCUSSION:

- a) **Less than Significant Impact.** The City's Noise Ordinance (Chapter 8.06 of the Municipal Code) sets standards of 60 dBA for daytime noise, and 50 dBA for nighttime noise measured at the nearest residential property line, with exceptions to these noise standards that include the following:
- Powered equipment used on a temporary, occasional or infrequent basis operated between the hours of eight (8) a.m. and six (6) p.m. Monday through Friday. No piece of equipment shall generate noise in excess of eighty-five (85) dBA at fifty (50) feet;
 - Certified leaf blowers may be operated between the hours of eight (8) a.m. and five (5) p.m. Mondays through Fridays. Operation of certified leaf blowers in the city is prohibited on Sundays, observed federal holidays as defined by the city and on "Spare the Air" days as declared by the Bay Area Air Quality Management District;
 - Deliveries to restaurants; and,
 - Deliveries to commercial businesses between the hours of seven (7) a.m. and six (6) p.m. Monday through Friday and nine (9) a.m. to five (5) p.m. Saturdays, Sundays and holidays.

Sensitive noise land uses located within the vicinity of the subject site include two separate pockets of multi-family residential developments encompassed within SHGCC's golf course, as well as adjacent single-family residences to the north and to the east of the site. Operation of the existing facility involves the use of noise-generating landscaping and maintenance equipment, such as lawnmowers, that may generate periodic temporary noise levels exceeding the daytime noise standard of 60 dBA at the residential property line; however, as noted above, the City's Noise Ordinance includes a provision that exempts noise generated from powered equipment and leaf blowers while operating within the days and times specified above. The proposed increase in membership is not anticipated to require more landscape maintenance beyond existing levels, and noise generated from other site activities, such as deliveries, would continue to adhere to the provisions of the Noise Ordinance. Therefore, the noise exposure with the proposed project is anticipated to be substantially the same as existing conditions, and would not result in any significant impacts.

- b) **No Impact.** Construction activities, truck traffic, mass transit and other transportation infrastructure are common sources of groundborne noise and vibration. No construction is proposed as part of the membership increase, and the normal operation of the recreational facilities at the subject site would not result in perceivable groundborne vibration or groundborne noise levels. Therefore, the proposed project would not result in any impacts related to groundborne noise or vibration.
- c) **Less than Significant Impact.** The proposed membership increase could result in an increase in the ambient noise levels due to road noise associated with an increase in the number of vehicular trips. The I-280 freeway is the major road noise generator in the vicinity of the project site. Because the additional vehicular trips that would be generated is not expected to be significant (see Transportation section below), the noise from these trips would be incremental, and is not anticipated to significantly impact the existing ambient noise level. The proposed project would not involve any new or expanded facilities that would result in a new noise source or generate noise exceeding existing levels. Therefore, the proposed project would not result in any significant impacts with respect to increasing the ambient noise levels in the project vicinity.
- d) **Less than Significant Impact.** The proposed project would potentially result in periodic and temporary increases in ambient noise during the day due to maintenance activities and increased use of outdoor recreational facilities. As discussed in 12a) above, routine maintenance of the existing facilities involves the use of noise-generating equipment. Periodic temporary noise generated by users of the outdoor facilities may increase during daytime hours as members participate in outdoor recreational activities, but nighttime ambient noise levels would remain substantially the same as existing levels. Outdoor facilities with the potential for the highest concentration of users include the swimming pool and tennis courts which are approximately 400 feet and 200 feet away from the nearest residences, respectively, and the distance helps buffer noise generated from the use of these facilities. Therefore, the potential increases in temporary and periodic noise levels is not expected to significantly impact existing ambient noise levels in the project vicinity.
- e,f) **No Impact.** The nearest airports are the Palo Alto Airport and San Carlos Airport, which are approximately 7 and 10 miles from the subject site, respectively. According to the Palo Alto Airport Comprehensive Land Use Plan, the subject site is not located within the noise contour areas that would be impacted by aircraft noise. The subject site is not within the noise contours for the San Carlos Airport according to the City of San Carlos's General Plan Noise Element. Therefore, the project does not have the potential to result in exposing people residing or working in the project area to excessive noise levels.

Sources:

City of Menlo Park, *General Plan*, adopted 1994

–, *General Plan Open Space, Conservation, Noise and Safety Elements*, adopted May 21, 2013

–, *Municipal Code*, updated March 2013

City of San Carlos, *General Plan Noise Element*, adopted October 12, 2009

Santa Clara County Airport Land Use Commission, *Palo Alto Airport Comprehensive Land Use Plan*, adopted November 19, 2008

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
13. POPULATION AND HOUSING				
Would the project:				
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X

DISCUSSION:

- a) **No Impact.** The proposed increase in membership would help accommodate the local demand for recreational resources, and would not result in the need for any new residences or businesses, or otherwise induce population growth. Therefore, the proposed project will not result in any impacts associated with population growth in the area.
- b,c) **No Impact.** The project site is currently developed as a private golf course and country club, and will not displace any existing housing units or residents. Therefore, the proposed project will not have any impacts in displacing housing units or persons.

Sources:

City of Menlo Park, *General Plan*, adopted 1994
Project Description Letter from Applicant

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Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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14. PUBLIC SERVICES

a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

i. Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
ii. Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
iii. Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
iv. Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
v.) Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X

DISCUSSION:

a) i) **Less than Significant Impact.** The Menlo Park Fire Protection District (MPFPD) operates seven fire stations with a service area that covers approximately 30 square miles, and has service agreements with neighboring fire departments, including the Palo Alto Fire Department and the Woodside Fire Protection District. The MPFPD currently serves the site, with the first response from Station 4 (3322 Alameda de las Pulgas) approximately two miles from the subject site, and second response from Station 6 (700 Oak Grove Avenue) approximately four miles from the subject site.

The proposed project would increase the number of users, resulting in an incremental increase the demand for fire protection services at the subject site. However, existing fire services would be sufficient to serve the proposed project and would not result in the need for new or expanded emergency services facilities. Therefore, the proposed project will not result in any significant impacts resulting in the need for new or physically altered fire facilities.

a) ii) **Less than Significant Impact.** The Menlo Park Police Department (MPPD) provides preventative patrol and emergency response services throughout the City. The MPPD's headquarters is located at the Menlo Park Civic Center (701 Laurel Street), which is approximately four miles away from the subject site.

The proposed project would increase the number of users, resulting in an incremental increase the demand for police protection services at the subject site. However, existing police services would be sufficient to serve the proposed project and would not result in the need for new or expanded police services facilities. Therefore, the proposed project will not result in any significant impacts resulting in the need for new or physically altered police facilities.

- a) iii) **No Impact.** The schools nearest the subject site include Trinity School, Phillips Brooks School, La Entrada Middle School, and Las Lomitas Elementary School. Trinity School is the only school within a quarter mile, and all of the other schools are located at least half a mile away.

The proposed membership increase would not induce population growth resulting in a need for more school services. Therefore, the proposed project would not generate any demand for increased school services.

- a) iv,v) **No Impact.** The nearest public park is Sharon Park, located east of the subject site. The subject site is a private recreational facility that serves the recreational needs of its members. Recreational facilities at the site include an 18-hole golf course, tennis courts, a swimming pool, a gymnasium, and a clubhouse. The demand for recreational facilities by SHGCC's existing 550 members and the proposed 130 new members could be accommodated on the subject site without the need to construct new facilities. Existing public parks, such as Sharon Park, would not see an increase in use and would not otherwise be impacted by the proposed membership increase. In addition, as described in the Population and Housing section above, the project would have no impact in increasing residential population and associated demands for parks and other public facilities in the area. Therefore, the proposed project would not result in the demand for new public parks or other public facilities.

Sources:

City of Menlo Park, *General Plan*, adopted 1994

Menlo Park Fire Protection District, email correspondence with Frank Fraone, dated July 20, 2013

Project Description Letter from Applicant

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
15. RECREATION				
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X

DISCUSSION:

- a) **No Impact.** Sharon Park is the nearest public park, and is adjacent to the east of the subject site. The subject site is developed as a private recreational facility that provides recreational amenities to its members, which potentially reduces the demand for public recreational facilities. The proposed membership increase would not result in any adverse impacts to existing public parks or other recreational facilities.
- b) **No Impact.** The subject site is a private recreational facility, and the existing facilities have sufficient capacity to accommodate the increase in recreational demand generated by the proposed membership increase without the need for new or expanded recreational facilities. Therefore, the proposed project would not result in any impacts related to the need for construction or expansion of recreational facilities.

Sources:

City of Menlo Park, *General Plan*, adopted 1994
Project Description Letter from Applicant

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
16. TRANSPORTATION/TRAFFIC				
Would the project:				
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	X	<input type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that result in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
e) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X
f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	X

DISCUSSION:

- a) **Less than Significant Impact.** Potential traffic impacts of the proposed membership increase have been analyzed in a traffic study prepared by TJKM Transportation Consultants dated May 6, 2013.

Analysis Methodology

The traffic study analyzed traffic conditions at the following three study intersections that the proposed project may potentially impact:

- 1) Sand Hill Circle and Sand Hill Road (frontage)
- 2) Sand Hill Road (frontage) and Sharon Heights Golf Course Driveway
- 3) Sand Hill Road and Interstate 280 Northbound Off-Ramp

Sand Hill Circle is a two-lane local street with no on-street parking on the segment leading to the internal loop road. It connects to Sand Hill Road (frontage) at its southern terminus.

Sand Hill Road (frontage) is a two-lane road located to the north of and parallel to Sand Hill Road.

Sand Hill Road is a four-lane east-west major arterial roadway that runs in the Cities of Menlo Park and Palo Alto. It connects to El Camino Real on the east, and runs west for approximately six miles to become Portola Road.

Interstate 280 (I-280) is an eight-lane freeway in the vicinity of the project area and provides regional access to the project area.

SHGCC had originally proposed increasing their membership from 550 to 700 members (a net increase of 150 members over what is currently approved), and the traffic study evaluated the following scenarios based on the original proposal:

- **Scenario 1: Existing Condition (550 members)** – This scenario evaluates existing traffic volumes and roadway conditions when the study was conducted in 2012. The SHGCC had 550 members at the time of the study.
- **Scenario 2: Near Term Condition (550 members)** – This scenario adds traffic generated by pending projects (proposed, approved, or under construction) in the study area, which have not been occupied in 2012 when the study was conducted.
- **Scenario 3: Near Term plus Project Condition (700 members)** – This scenario adds traffic generated by the proposed SHGCC membership increase to the Near Term Condition.
- **Scenario 4: 10-Year Cumulative No Project (including Pending Projects) Condition (550 members)** – A one percent compound growth was assumed per year for increase in traffic volume within 10 years, not including the traffic generated by the proposed SHGCC membership increase.
- **Scenario 5: 10-Year Cumulative plus Project Condition (700 members)** – This scenario adds traffic generated by the proposed increase of 150 members at SHGCC to the previous scenario.

Subsequent to the completion of the traffic study, the applicant has scaled down the proposal from 700 to 680 members, for a net increase of 130 members over the current 550 members. Therefore, the analysis provided in Scenarios 3 and 5 are for informational purposes only.

Thresholds of Significance

The City of Menlo Park's Circulation System Assessment (CSA) document specifies the following thresholds of significance for traffic impacts:

- A project is considered to have a significant traffic impact if the addition of project traffic causes an intersection on a collector street operating at Level of Service (LOS) "A" through "C" to operate at an unacceptable level (LOS "D," "E" or "F") or have an increase of 23 seconds or greater in average vehicle delay, whichever comes first. Additionally, significance is also defined as an impact at an intersection on arterial streets or local approaches to State-controlled signalized intersections operating at LOS "A"

through “D” to operate at an unacceptable level of service (LOS “E” or “F”), or have an increase of 23 seconds or greater in average vehicle delay, whichever comes first.

- A project is considered to have a significant traffic impact if the addition of project traffic causes an increase of more than 0.8 seconds of average delay to vehicles on all critical movements for intersections operating at a near term LOS “D” through “F” for collector streets and at a near term LOS “E” or “F” for arterial streets. For local approaches to State-controlled signalized intersections, a project is considered to have a significant impact if the addition of project traffic causes an increase of more than 0.8 seconds of average delay to vehicles on the most critical movements for intersections operating at a near term LOS “E” or “F.”
- A project is considered to have a potentially significant impact if the existing Average Daily traffic Volume (ADT) on minor arterial streets is:
 - 1) Greater than 18,000 (90 percent of capacity), and there is a net increase of 100 trips or more in ADT due to project-related traffic;
 - 2) Greater than 10,000 (50 percent of capacity) but less than 18,000, and project-related traffic increases the ADT by 12.5 percent or the ADT becomes 18,000 or more; or,
 - 3) Less than 10,000, and project-related traffic increases the ADT by 25 percent.
- A project is considered to have a potentially significant impact if the existing Average Daily traffic Volume (ADT) on local streets if:
 - 1) Greater than 1,350 (90 percent of capacity), and there is a net increase of 25 trips or more in ADT due to project-related traffic;
 - 2) Greater than 750 (50 percent of capacity) but less than 1,350, and the project-related traffic increases the ADT by 12.5 percent or the ADT becomes 1,350; or,
 - 3) Less than 750, and the project-related traffic increases the ADT by 25 percent.

Trip Generation Patterns

Vehicle trip counts were conducted in September 2012 to determine the vehicle trip generation rates of the subject site. The trip counts were taken at the driveway entrance to the clubhouse parking lot over a 48-hour period. The SHGCC’s membership level was at the maximum of 550 members at the time of the study. Based on the driveway trip counts, the estimated trip generation rates are as follows:

- 0.100 trips/member during a.m. peak hour (7:00 a.m. to 9:00 a.m.)
- 0.136 trips/member during p.m. peak hour (4:00 p.m. to 6:00 p.m.)

Level of Service Analysis

Scenario 1: Existing Condition (550 members)

- All of the study intersections currently operate at acceptable levels of service (LOS). Therefore, no significant traffic impacts are expected to result at the study intersections, and no mitigations are necessary under this scenario.

Scenario 2: Near Term Condition (550 members)

- A net total of 4,679 trips during the a.m. peak hour and 4,659 trips during the p.m. peak hour are expected to be generated by pending projects.
- All of the study intersections are expected to operate at acceptable levels of service. Therefore, no significant traffic impacts are expected to result at the study intersections under this scenario.

Scenario 3: Near Term plus Project Condition (700 members)

- An increase of 150 members is expected to generate approximately 15 a.m. peak hour trips and 20 p.m. peak hour trips.
- All of the study intersections are expected to continue operating at acceptable levels of service. Therefore, no significant traffic impacts are expected to result at the study intersections, and no mitigations are necessary under this scenario.

Scenario 4: 10-Year Cumulative No Project including Pending Projects Condition (550 members)

- Compared to Scenario 3: Near Term plus Project Condition, the intersection of eastbound Sand Hill Road and I-280 northbound off-ramp is estimated to operate at LOS E instead of LOS D during the a.m. peak hour. All other study intersections are expected to operate at acceptable levels of service.

Scenario 5: 10-Year Cumulative plus Project Condition (700 members)

- With an increase of 150 members, all of the study intersections are expected to operate at acceptable levels of service, with the exception of the intersection of eastbound Sand Hill Road and I-280 northbound off-ramp, where it is estimated that the increase in delay is one second of the critical movement for the northbound approach and 0.9 seconds at the eastbound approach. Since this delay is more than 0.8 seconds, the impact may be considered potentially significant.
- At the impacted intersection of eastbound Sand Hill Road and I-280 northbound off-ramp, two project trips triggered a one second delay impact on the northbound and eastbound approaches.
- Potential Mitigation Measure: A reduction of 20 new members (an increase of 130 members instead of 150 members) could be equivalent to a reduction of two project trips. This would result in less than significant impacts for the northbound and eastbound approaches at the intersection of eastbound Sand Hill Road and I-280 northbound off-ramp.

Current Proposal (680 members)

Membership Increase

The traffic study concluded that potentially significant cumulative impacts would be triggered by two project trips causing delay at the intersection of eastbound Sand Hill Road and I-280 northbound off-ramp. The study further determined that a reduction of 20 new members (an increase of 130 members instead of 150 members) would eliminate two trips at the impacted intersection, to the extent that no significant traffic impacts would be triggered.

Based on the conclusions from the traffic study, the SHGCC had requested to scale down their membership increase proposal from 700 to 680 members, for a net increase of 130 members over the current 550 members. The 680 total members as currently proposed would not trigger any significant traffic impacts at any of the study intersections.

Trip Cap and Trip Monitoring

As part of the conditions of approval that is currently in effect, the number of vehicular trips generated at the site during the a.m. and p.m. peak hour were capped as follows:

- 70 two-way a.m. peak hour vehicular trips
- 88 two-way p.m. peak hour vehicular trips

These limits on the number of peak hour trips were established on the average number of vehicular trips generated by 550 members on a normal day. To ensure compliance with these trip caps, the condition of approval further required annual monitoring to ensure compliance with these trip caps. This condition was incorporated into the approval with the intent to document the membership levels and the traffic generation rates in 2000 to allow opportunities to re-evaluate the traffic situation should vehicular trips exceed those specified above.

Given that the current traffic study has determined that an increase to 680 members would not result in any significant traffic impacts both in the near-term and long-term cumulative scenarios, it would no longer be necessary to continue to implement the original trip cap and monitoring requirements to ensure that traffic levels do not exceed the significance threshold.

- b) **Less than Significant Impact.** The San Mateo County Congestion Management Program (CMP) Land Use Analysis Program guidelines require that Routes of Regional Significance be evaluated to determine the impact of added project-generated trips for projects that create more than 100 p.m. peak hour trips.

The proposed project is projected to generate 20 p.m. peak hour trips, and is well below the 100 p.m. peak hour trips threshold requiring a CMP analysis. Therefore, the proposed project would not cause an exceedance, either individually or cumulatively, of a level of service standard established by the San Mateo County Congestion Management Agency, and would not result in a significant impact.

- c) **No Impact.** No uses or structures are proposed that could affect air traffic patterns, nor is an airport located in proximity to the project site. Therefore, the proposed project would not result in substantial safety risks related to air traffic and would have no impact.
- d) **No Impact.** The proposed project would not create hazardous conditions as a result of design features or by introducing incompatible uses. Therefore, the project will not result in any impacts associated with the creation of hazardous conditions.
- e) **No Impact.** The proposed membership increase would not obstruct any on- and off-site emergency access. Fire suppression and emergency response would continue to be provided by the Menlo Park Fire Protection District. The subject site currently has adequate access to emergency services. Therefore, the proposed project would not have any impacts related to emergency access.
- f) **No Impact.** The proposed project would not result in any construction that would alter existing facilities, nor interfere with construction of any future planned facilities, such as bike lanes or alternative modes of transportation. Therefore, the proposed project would not conflict with adopted policies or plans supporting alternative transportation and no impact would result from the project.

Sources:

City of Menlo Park, *2900 Sand Hill Road Use Permit and Architectural Control*, approved December 11, 2000
--, *General Plan*, adopted 1994
Project Description Letter from Applicant
TJKM Transportation Consultants, *Sharon Heights Golf and Country Club Traffic Impact Study*, May 6, 2013

Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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17. UTILITIES AND SERVICE SYSTEMS

Would the project:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|--------------------------|
| a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |
| c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |

- | | | | | |
|---|--------------------------|--------------------------|----------|--------------------------|
| d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |
| e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |
| f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |
| g) Comply with federal, state, and local statutes and regulations related to solid waste? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |

DISCUSSION:

- a) **No Impact.** The City of Menlo Park is subject to the San Francisco Bay Region Municipal Regional Stormwater National Pollution Discharge Elimination System (NPDES) Permit issued by the Regional Water Quality Control Board, which establishes performance standards for new development, redevelopment, and construction site controls. The performance standards include water quality protection to the maximum extent practicable.

As discussed in the Hydrology and Water Quality Section above, no physical changes to the subject site would be required to accommodate the proposed membership increase. All existing surface runoff can be accommodated by the existing drainage and wastewater treatment systems. Therefore, there will be no change to the amount of surface runoff that is currently generated at the site.

- b) **Less than Significant Impact.** Wastewater generated on-site would be treated by the West Bay Sanitary District. The amount of wastewater that is anticipated from the proposed project would increase incrementally with the addition of up to 130 new members. The proposed project would not exceed the wastewater treatment requirements of the San Francisco Bay Regional Water Quality Control Board as there is sufficient capacity within the system to treat the wastewater generated by the proposed project. No expansion in wastewater treatment facilities is expected to be necessary as a result of the proposed project. Therefore, the anticipated impact associated with requiring new or expanded wastewater treatment facilities is less than significant.
- c) **No Impact.** The proposed membership increase would not result in any changes to the existing amount of pervious and impervious surfaces at the subject site, and would not result in any changes to the amount of stormwater runoff that is currently generated. Existing and future amounts of surface runoff could be accommodated by existing storm water drainage facilities, and is not expected to require the construction of new storm water drainage facilities or expansion of existing facilities. Therefore, the proposed project would not have any impacts to the drainage of stormwater.
- d) **Less than Significant Impact.** Water to the subject site is supplied by the Menlo Park Municipal Water District. Landscaping is the major source of water usage at the site, as the majority of the site is developed as a golf course. The proposed increase in membership would not result in any physical expansion of the golf course or amount of landscaped area. The additional users of the site would result in an incremental increase in water usage, but would not significantly affect overall water usage on the site. The proposed

project does not contain any new restrooms or kitchens. It is anticipated that there would be sufficient water supplies available to serve the site and neighboring properties from existing entitlements and resources. Therefore, this project would result in a less than significant impact to water supplies.

- e) **Less than Significant Impact.** The proposed membership increase would generate a small increase in the amount of wastewater. This increase is not expected to exceed the wastewater treatment requirements of the San Francisco Bay Regional Water Quality Control Board. Existing wastewater treatment facilities would be sufficient to serve the proposed project, and no additional facilities would need to be constructed to accommodate the proposed project. Therefore, the proposed project would not result in a significant impact with respect to the provision of wastewater services to the site.
- f) **Less than Significant Impact.** The proposed project would generate a small increase in the amount of solid waste generated by the subject site. Since the proposed project is not expected to induce population growth in the area, the amount of solid waste generated in the local area would remain substantially the same as existing levels. Therefore, the proposed project would not result in any significant impacts on the capacity of solid waste disposal.
- g) **Less than Significant Impact.** The proposed project would need to comply with all federal, state, and local statutes and regulations related to solid waste. Therefore, the project's impact on solid waste would be less than significant.

Sources:

City of Menlo Park, *General Plan*, adopted 1994

Menlo Park Municipal Water District, *Boundary Map*,

http://www.menlopark.org/departments/pwk/mpmwd_map.pdf, accessed July 16, 2013

Project Description Letter from Applicant

Regional Water Quality Control Board, *San Francisco Bay Region Municipal Regional Stormwater NPDES*

Permit, adopted October 14, 2009, revised November 28, 2011

Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
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18. MANDATORY FINDINGS OF SIGNIFICANCE

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|--------------------------|
| a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | X |
| b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? | <input type="checkbox"/> | <input type="checkbox"/> | X | <input type="checkbox"/> |

- c) Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly? ☐ ☐ ☒ ☐

DISCUSSION:

- a) **No Impact.** The subject site is located in a suburban neighborhood and is surrounded by residential and commercial development, and roadways. Based on background research and field observations, the proposed membership increase does not have the potential to impact the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory. Therefore, the proposed project would not have any impacts as it relates to these criteria.
- b) **Less than Significant Impact.** The proposed project would not result in environmental impacts that are individually limited but cumulatively significant. Therefore, the proposed project results in less than significant impacts that are both individually and cumulatively limited.
- c) **Less than Significant Impact.** The proposed project would not result in significant effects on human beings either directly or indirectly.

Appendices (Available Upon Request)

- A. Project Description Letter from Applicant
B. TJKM Transportation Consultants, *Sharon Heights Golf and Country Club Traffic Impact Study*, May 6, 2013

ATTACHMENT F

2900 Sand Hill Road

Addendum to the 2900 Sand Hill Road – Sharon Heights Golf and Country Club Membership Increase Project Negative Declaration

INTRODUCTION

On September 9, 2013, the Planning Commission of the City of Menlo Park adopted the Negative Declaration (ND) for the 2900 Sand Hill Road – Sharon Heights Golf and Country Club Membership Increase project (File Number PLN2011-00067) that evaluated a request for a use permit revision to allow a membership increase from 550 to 680 members. The analysis included an evaluation of the potential environmental effects of the existing and continued use of the site as a private recreational facility with the increased membership.

At the time of the adoption of the ND, Sharon Heights Golf and Country Club's (SHGCC) Board had contemplated, but had not made any commitments to, any new expansion of their recreational facilities. According to the applicant, the proposed clubhouse expansion is intended to "accommodate increased member interest and pressure from competing clubs in the areas of fitness and casual dining." The membership increase and the clubhouse facility improvements were contemplated separately, such that the membership increase did not trigger the need for physical improvements, and vice versa. With respect to timing, the SHGCC had initially submitted a formal request for the membership increase in 2006 and approved in 2013, whereas a commitment to pursue the clubhouse expansion project did not occur until shortly after the adoption of the ND. Therefore, the ND only evaluated the membership increase and long-term operational impacts, and did not evaluate any impacts due to construction activity or physical expansion of the site's facilities.

The Addendum to the ND (Addendum) updates the analysis in the ND in light of the current development proposal. The intent of the Addendum is to determine: 1) whether the proposed project does or does not exceed the environmental impacts analyzed in the ND, 2) whether new impacts have or have not been identified, and 3) whether new mitigation measures are or are not required.

Statutory Background

Under the California Environmental Quality Act (CEQA), an Addendum to an adopted Negative Declaration is needed if minor technical changes or additions are necessary for modifications to the proposed project (CEQA Guidelines §15164). An Addendum is appropriate only if these minor technical changes or modifications do not result in any new significant impacts or a substantial increase in the severity of previously identified significant impacts. The Addendum need not be circulated for public review (CEQA Guidelines §15164(c)); however, an addendum is to be considered along by the

decision making body prior to making a decision on the project (CEQA Guidelines §15164(d)).

This Addendum demonstrates that the environmental analysis, impacts, and mitigation requirements identified in the 2900 Sand Hill Road - Sharon Heights Golf and Country Club Membership Increase Project Negative Declaration remain substantively unchanged by the situation described herein, and supports the finding that the proposed project does not raise any new issues and does not exceed the level of impacts identified in the previous Negative Declaration.

Existing Condition

The SHGCC is located at 2900 Sand Hill Road, near the junction of Interstate 280 and Sand Hill Road in the OSC (Open Space and Conservation) zoning district. The golf course and associated facilities are located on multiple contiguous properties comprising approximately 111 acres on property that is owned or leased by SHGCC. The SHGCC completely surrounds the multi-building office development at 3000 Sand Hill Road and the townhome developments located along Sand Hill Circle. In addition, the golf course completely encircles the townhome and condominium developments located at the end of Sharon Park Drive. The existing clubhouse and proposed clubhouse expansion would be located on the southern portion of the site, and takes access from Sand Hill Road frontage road. The closest residential neighbors to the clubhouse are located along Sand Hill Circle at approximately 300 feet from the northwest corner of the existing clubhouse.

Single-family residences, located within the Town of Atherton, are located to the north of the site. The Sharon Heights neighborhood is located to the east of the project site and contains a mix of single-family residences, townhomes, and condominium developments. Adjacent parcels along the Sand Hill Road entrance to the site contain multi-building office developments. Parcels located across Sand Hill Road, south of the project site, include multi-building office developments and a hotel.

Proposed Revisions to the Project

The applicant is requesting a use permit revision and architectural control to allow an expansion of the clubhouse facilities, including an addition to the existing clubhouse building, demolition of an existing pool building, construction of a new pool building with indoor and outdoor dining areas, and construction of a new movement building for fitness classes and wellness activities. As part of the proposed expansion, ten regular parking stalls would be eliminated and replaced with 13 new tandem parking spaces. No changes are proposed to site's existing membership cap of 680 members.

ENVIRONMENTAL ANALYSIS

As discussed in the Introduction, this comparative analysis has been undertaken to analyze whether the project would have any significant environmental impacts that are

not addressed in the ND. The analysis discusses whether impacts are increased, decreased, or unchanged from the conclusions discussed in the ND. The analysis also addresses whether any changes to the mitigation measures are required.

Analysis

Aesthetic Resources

The ND concluded that no impacts would result with regard to effects on any scenic vistas, scenic resources, degradation of the existing visual character or quality of the site and its surroundings, or create new sources of substantial light or glare.

While the western portion of the subject site abuts Interstate 280, a designated state scenic highway, the clubhouse and proposed construction is approximately 700 feet northeast of Interstate 280. Due to the topography, vegetation, and 700-foot separation, the clubhouse and the proposed addition would not be visible from and would not impact any scenic views along the Interstate 280 corridor. Therefore, the proposed project would continue to have no impact on scenic vistas and other scenic resources.

The proposed clubhouse expansion is designed to be compatible with the massing, scale, colors, and materials of the existing clubhouse such that it would blend in with the existing surroundings. While eight non-heritage trees are proposed for removal due to construction, the applicant is proposing to plant eight new trees in the same general location as the trees that will be removed. Therefore, the proposed project would continue to have no impact on the visual character or quality of the site and its surroundings.

The proposed project would include the installation of exterior safety lighting that would be similar to residential-scale outdoor lighting. Furthermore, the proposed expansion of clubhouse facilities would be oriented away from nearby residences, and any new exterior lighting would be located far enough away as to minimize any light spillover and glare onto adjacent properties. No new impacts would result from the creation of new sources of light and glare. Therefore, the impacts to aesthetic resources would be similar to those identified in the ND, and no new mitigation measures are required.

Agriculture and Forestry Resources

The ND concluded that no impacts would result with regard to Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, or any area zoned for agricultural use or forest land.

The subject site is not situated on any farmland, land with agricultural uses, or forest land. Therefore, the proposed project would continue to have no impacts to agriculture and forestry resources, and no new mitigation measures are required.

Air Quality

The ND concluded that there would be no impact with respect to generating objectionable odors. The analysis further determined that less than significant impacts would result from air pollutant emissions from normal operation of the golf and country club with the proposed membership increase.

Construction-related activities generate criteria air pollutants including carbon monoxide (CO), sulfur dioxide (SO₂), particulate matter (PM₁₀, and PM_{2.5}); precursor emissions such as, reactive organic gases (ROG) and oxides of nitrogen (NOX); and greenhouse gases (GHG) from exhaust, fugitive dust, and off-gas emissions. Sources of exhaust emissions could include on-road haul trucks, delivery trucks, worker commute motor vehicles, and off-road heavy-duty equipment. Sources of fugitive dust emissions could include construction-related activities such as soil disturbance, grading, and material hauling. Sources of off-gas emissions could include asphalt paving and the application of architectural coatings.

The Bay Area Air Quality Management District (BAAQMD) is primarily responsible for regulating air pollution emissions from stationary (i.e., factories) and indirect (i.e., traffic) sources in the San Francisco Bay Area Air Basin, as well as for monitoring ambient pollutant concentrations in the Basin. The *2010 Clean Air Plan* is the latest Clean Air Plan which contains district-wide control measures to reduce ozone precursor emissions (i.e., reactive organic gases and oxides of nitrogen). The BAAQMD had developed *CEQA Air Quality Guidelines (updated May 2011)*^a which identifies screening criteria based on land use and project size, and is generally representative of new development on greenfield sites without inclusion of any form of mitigation measures. The screening criteria do not account for project design features, attributes, or local development requirements that could also result in lower emissions. These screening criteria are not intended to establish thresholds of significance, rather they are a conservative indication of whether a proposed project could result in potentially significant air quality impacts and assist in determining whether or not a detailed air quality assessment would be required.

Construction activity for the proposed project is anticipated to involve demolition, grading and site preparation, paving, and building construction. During grading and site preparation activities dust would be generated. Although construction activities are temporary and short-term in duration, they have the potential to cause adverse impacts to the air quality. According to the *BAAQMD CEQA Guidelines*, construction-related screening criteria for a racquetball/health club is 277,000 square feet for concentrations of reactive organic gases (ROG). The proposed addition to the clubhouse facilities would result in a net addition of approximately 5,200 square feet, resulting in approximately 66,500 gross square feet for all buildings on the subject site, including the clubhouse facilities and all outbuildings. The proposed project would fall well below the screening criteria specified in BAAQMD's *Guidelines*, and would not result in a significant impact.

The proposed project is well below the *BAAQMD CEQA Guidelines* screening criteria for construction-related air pollutants, and construction-related fugitive dust emissions is not expected to be significant based on the extent of the proposed expansion. Therefore, construction of the proposed project will not violate any air quality standards or contribute to significant increases in any criteria pollutant. Operational air quality impacts for the proposed project would be the same as those identified in the ND. Additionally, no odorous emissions would result from the proposed project. Impacts to air quality would be the same as identified in the ND, and no new mitigation measures are required.

Biological Resources

The ND concluded that there would be no impacts to any riparian or sensitive habitat, federally protected wetlands, movement of wildlife species, biological resources protected by local policies or ordinances, and local, regional, or state habitat conservation plans.

The subject site is not situated on or near any riparian or sensitive habitat, wetlands, migratory corridors, or habitat conservation plan areas, and would therefore continue to have no impact to these habitat resources. The proposed project would result in the removal of 8 non-heritage trees due to construction. Unlike heritage trees, non-heritage trees are not protected by City ordinance. The applicant is proposing to plant eight new trees in the same general location as the trees that will be removed. Therefore, the impacts to biological resources would be the same as identified in the ND, and no new mitigation measures would be required.

Cultural Resources

The ND concluded that there would be no impacts to identified historical resources, archaeological and paleontological resources, and the discovery of human remains.

The existing clubhouse facility was constructed in 2005, and does not qualify for listing on any City or State historic resources listing. Furthermore, the site and its structures do not exhibit any unique architectural attributes, nor are they known to be associated with any significant persons or events. The subject site has not been identified as containing any archaeological or paleontological resources, does it appear to contain any unique geologic features, and is not known to have been used as a cemetery or contain any human remains. Therefore, impacts to cultural resources would be the same identified in the ND, and no new mitigation measures are required.

Geology and Soils

The ND concluded that there would be no impacts resulting from erosion and the ability of the soil to support waste water disposal systems. The analysis also determined that less than significant impacts would result from exposure of people or structures to earthquakes, seismic ground shaking, liquefaction, landslides, and expansive soil.

The clubhouse expansion would involve some minor grading for construction of the proposed buildings and site improvements, and construction activities would need to comply with Best Management Practices to minimize the potential for erosion, in accordance with the conditions of approval. The proposed planting of new landscaping would further limit any potential for erosion and loss of top soil on the site to a less than significant impact. The subject site is served by the existing West Bay Sanitary District sewer system, and the ability of the soil at the site to support this waste water disposal system would not be impacted by the proposed project. The site is in a seismically sensitive area, and all proposed structures are required to adhere to the standards of the California Building Code, which is intended to address seismic risks to an acceptable level. New construction will also need to comply with any recommendations as part of a geology and soils report to address any impacts associated with liquefaction and expansive soil. Therefore, impacts associated with the exposure to hazards from geology and soil conditions would be the same as those identified in the ND, and no new mitigation measures are required.

Greenhouse Gas Emissions

The ND concluded that there would be no impact to any applicable greenhouse emission plan or policy. The analysis also determined that continued operation of the site at higher membership levels would result in a less than significant impact to greenhouse gas emissions.

The proposed project would not be in conflict with the City's Climate Action Plan. Project construction activities would result in a temporary increase in greenhouse gas emissions, including exhaust emissions from on-road haul trucks, worker commute vehicles, and off-road heavy duty equipment. Project emissions during construction would not be a considerable contribution to the cumulative greenhouse gas impact, given that construction would be temporary and would not require a large fleet of earthmoving equipment. Operational impacts from the proposed project would remain the same as those identified in the ND. Therefore, no mitigation measures are required.

Hazards and Hazardous Materials

The ND concluded that there would not be any impacts associated with being located on a listed hazardous materials site, located within an airport land use plan area or safety hazard area of an airport or airstrip, and interfering with any emergency response or emergency evacuation plans. The analysis determined that less than significant impacts would result from the transport, use, disposal, and handling of hazardous materials, from the use and storage of fuel, fertilizers, pesticides, and other maintenance products. Although the SHGCC property is not identified as being at risk for wildland fires, it is within close proximity to vacant lands along the south side of Sand Hill Road and to the west of Interstate 280 that have been identified as areas of high fire hazard.

Construction activities associated with the proposed clubhouse expansion would involve the use of hazardous materials, such as fuels, lubricants, paints and solvents. These materials are commonly used during construction, are not acutely hazardous and would be used in small quantities. Regular transport of such materials to and from the subject site during construction could result in an incremental increase in the potential for accidents. However, numerous laws and regulations ensure the safe transportation, use, storage and disposal of hazardous materials. Because contractors would be required to comply with existing and future hazardous materials laws and regulations covering the transport, use and disposal of hazardous materials, the impacts related to hazardous materials used during project construction would be less than significant. The existing clubhouse and proposed expansion would be located on a site that is well irrigated and maintained, and roadways consisting of four to eight lanes would provide a buffer between the clubhouse and the high fire risk vacant lands nearby, and would pose a low probability for wildfires to occur on the subject site. Therefore, impacts from exposure to hazards and hazardous materials would be the same as identified in the ND, and no new mitigation measures are required.

Hydrology and Water Quality

The ND concluded that there would be no impacts with respect to violating water standards or waste discharge requirements, alteration of drainage patterns of the site or area, contributing to runoff water that exceeds planned stormwater drainage systems or generating substantial additional polluted runoff, degradation of water quality, placing housing in a flood hazard area, placing structures in flood hazard areas, exposing people and structures to the failure of a levee or dam, or by seiche, tsunami, or mudflow. The analysis also determined that there would be a less than significant impact resulting from the depletion of groundwater supplies.

The subject site is not situated in an area that would be exposed to flooding, the hazards of a levee or dam failure, or inundation by seiche, tsunami, or mudflow, and would not expose people and structures to such hazards. The clubhouse expansion project would result in a net increase of approximately 2,700 square feet of impervious surface area. As part of the conditions of approval, the proposed project would be required to provide a grading and drainage plan to treat any stormwater runoff on-site in compliance with the current stormwater treatment requirements, and would not result in any significant impacts due to erosion, sedimentation, alteration of drainage patterns and degradation to water quality. The proposed project may result in an incremental increase in water usage due to human consumption and landscape irrigation, but would not result in significant changes in water usage from existing levels, nor result in any significant impacts to the depletion of groundwater supplies.

Therefore, impacts to hydrology and water quality would be similar to those identified in the ND, and no new mitigation measures are required.

Land Use and Planning

The ND concluded that there would be no impacts with respect to physically dividing an established community, conflicts with any land use plan, policy, or regulation, and conflicts with any applicable habitat conservation plan or natural community conservation plan. The existing and continued use of the site as a private recreational facility is consistent with both its Zoning and General Plan designations.

The proposed clubhouse expansion would occur on existing SHGCC property, and would not physically divide an established community, nor would it conflict with any applicable habitat conservation plan, natural community conservation plan, or land use regulation. Therefore, the impacts to land use and planning would be the same as those identified in the ND, and no new mitigation measures are required.

Mineral Resources

The ND concluded that there would be no impacts resulting in the loss of availability of known mineral resources or mineral resources recovery site as the whole of the City of Menlo Park is not located within an area of known mineral resources, either of regional or local value.

The subject site does not contain any known mineral resources, and is not a mineral resources recovery site. No new impacts have been identified with respect to impacts to mineral resources, and no new mitigation measures are required.

Noise

The ND concluded that no impacts would result from exposure to groundborne vibration, groundborne noise levels, and noise within the vicinity of an airport or private airstrip. The analysis also determined that there would be less than significant impacts resulting from exposure to increases in periodic and ambient noise levels due to noise-generating landscaping and maintenance equipment, road noise, and human activity due to increased use of outdoor recreational facilities. Outdoor facilities with the potential for the highest concentration of users include the swimming pool and tennis courts which are approximately 400 feet and 200 feet away from the nearest residences, respectively, and the distance helps buffer noise generated from the use of these facilities.

The subject site is not exposed to any noise within the vicinity of an airport or private airstrip. Noise and groundborne vibration generated from construction activities as part of the clubhouse expansion would be temporary, and construction hours and noise levels for powered equipment are regulated by City ordinance. As the nearest residential sensitive receptor is located approximately 400 feet away from the pool area where the proposed expansion will occur, any transmission of noise and vibration from construction activities would be minimized and buffered by distance and by the existing clubhouse building. The long-term operation of the golf and country club would

continue to generate temporary periodic increases in noise similar to existing levels. Therefore, the level of noise impacts from the proposed project would be the same as those identified in the ND, and no new mitigation measures are required.

Population and Housing

The ND concluded that there would be no impacts to inducing population growth, and would not displace existing housing or people.

The proposed clubhouse expansion would not induce population growth in the area, nor would it displace any existing housing units or residents. Therefore, impacts with regards to inducing population growth and housing displacement would be the same as those identified in the ND, and no new mitigation measures are required.

Public Services

The ND concluded that there would be no impacts to schools, parks, and other public facilities. The analysis also determined that there would be less than significant impacts associated with the provision of fire and police protection.

The expansion of recreational facilities at the clubhouse could potentially increase the use of the site by its members, which could result in an incremental increase in the demand for fire and police protection services, but would not require new or expanded fire and police service facilities. Therefore, the proposed project would result in similar impacts to public facilities as identified in the ND, and no new mitigation measures are required.

Recreation

The ND concluded that there would be no impacts resulting from increased use of neighborhood or regional recreational facilities, nor the construction or expansion of recreational facilities, as the subject site is a private recreational facility that provides recreational amenities to its members.

The proposed project is an expansion to the existing clubhouse to provide improved recreational amenities to the site's members, and would potentially reduce the demand for public recreational facilities. According to the applicant, the proposed clubhouse expansion is intended to "accommodate increased member interest and pressure from competing clubs in the areas of fitness and casual dining." The membership increase and the clubhouse facility improvements were contemplated separately, such that the membership increase did not trigger the need for physical improvements, and vice versa. Therefore, impacts from the proposed project would be the same as those identified in the ND, and no new mitigation measures are required.

Transportation and Traffic

The ND concluded that there would be no impacts with respect to changes in air traffic patterns, an increase in hazards due to design features or incompatible uses, emergency access, or any conflict with adopted policies, plans, or programs for public transit, bicycle, or pedestrian facilities. The analysis found that there would be less than significant impacts with respect to traffic threshold impacts in accordance with the City of Menlo Park's Circulation System Assessment and San Mateo County's Congestion Management Program due to additional trips generated by an increase in club membership.

The proposed clubhouse expansion would maintain the same use at the same density as evaluated in the ND, and would not result in any changes to traffic and circulation. Therefore, the proposed project would be consistent with the ND's determinations with respect to transportation and traffic, would not result in any new or worsened impact, and no new mitigation measures would be required.

Utilities and Service Systems

The ND concluded that no impacts would result from exceeding stormwater treatment requirements, nor would the project result in the need to construct or expand storm water drainage facilities as there would not be any increase in impervious area. The ND further concluded that less than significant impacts would result from an incremental increase in the amount of wastewater, water usage, and solid waste generated due to an increase in the number of users on the site.

The proposed clubhouse expansion would result in a net increase of approximately 2,700 square feet of impervious surface area. As part of the conditions of approval, the proposed project would be required to provide a grading and drainage plan to treat any stormwater runoff on-site in compliance with the current stormwater treatment requirements. The proposed new facilities include a kitchen and restrooms, and shower facilities, which would result in the incremental, less than significant increase in water consumption, and the generation of wastewater and solid wastes. The proposed project would not result in any significant changes to the demand for utilities and public services and would result in the same level of impacts as those identified in the ND. Therefore, no new mitigation measures are required for the proposed project.

Mandatory Findings of Significance

The ND concluded that the project would not have the potential to degrade the quality of the environment, substantially reduce plant wildlife habitat or populations, or eliminate cultural resources. Additionally, the analysis determined that there is a less than significant cumulative impact. The potential impacts of the proposed clubhouse expansion are consistent with these determinations, and would not result in any new significant impacts or require any additional mitigation measures.

CONCLUSION

The Addendum to the ND confirms that 1) the proposed project does not exceed the environmental impacts analyzed in the ND, 2) that no new significant impacts have been identified, and 3) no new mitigation measures are required. As detailed in the analysis presented above, the proposed project would not result in any impacts that are significantly greater than were identified in the ND. No new significant impacts have been identified, and no new mitigation measures are required for the proposed project.

ATTACHMENT

Zales, Steve, *Subject: Sharon Golf and Country Club application to expand fitness and casual dining* (Letter), dated December 24, 2014

REFERENCES

BAR Architects, *Pool & Fitness Improvements, Sharon Heights Golf & Country Club, 2900 Sand Hill Road Menlo Park, CA*, dated received on March 5, 2015.

Bay Area Air Quality Management District, *2010 Clean Air Plan*, adopted September 15, 2010

Bay Area Air Quality Management District, *BAAQMD CEQA Air Quality Guidelines*, updated May 2011

City of Menlo Park, *2900 Sand Hill Road – Sharon Heights Golf and Country Club Membership Increase Negative Declaration*, dated August 8, 2013 (adopted on September 9, 2013).

HortScience, Inc., *Arborist Report, Sharon Heights Golf and Country Club, Menlo Park, CA*, dated October 2014

^a On March 5, 2012, the Court issued a ruling in *California Building Industry Association v. Bay Area Air Quality Management District* (Superior Court Case No. RG10548693). Pursuant to the ruling, the Court found that the adoption of the BAAQMD's CEQA Guidelines, which comprise the BAAQMD's air quality and greenhouse gas significance criteria, is a "project" requiring CEQA review. Since no CEQA review was conducted for the Guidelines prior to their adoption, the Court set aside adoption of the Guidelines for determining the significance of air quality and GHG emissions, and ordered BAAQMD to take no further action to disseminate the thresholds until CEQA review is complete. While adoption of the thresholds was set aside, the thresholds are supported by appropriate studies and analysis. Accordingly, pursuant to its discretion under State CEQA Guidelines section 15064(b) ("lead agencies may exercise their discretion on what criteria to use"), and the recent holding in *Citizen for Responsible Equitable Environmental Development v. City of Chula Vista* (2011) 197 Cal.App.4th 327, 335-336, ("[t]he determination of whether a project may have a significant effect on the environment calls for careful judgment on the part of the public agency involved, based to the extent possible on scientific and factual data."), the City has decided to apply the BAAQMD CEQA thresholds to the proposed project.

12/24/14

Ms. Jean Lin
701 Laurel Street
Menlo Park, Ca. 94025

Subject: Sharon Golf and Country Club application to expand fitness and casual dining

Dear Jean,

As we have discussed, it was never our plan or intent to sequence our approvals so that we would introduce the current proposed expansion after the Use Permit was approved, or to incur two CEQA processes and Planning Commission actions if we could have had one. Following is a timeline related to the two applications:

2000- Amended Use Permit approved in conjunction with an application for replacement of the original 1962 clubhouse with the new facility. The Use Permit caps membership levels for the first time at the then current level of 550 members.

2006 - We had started an application to modify our Use Permit and increase membership, in conjunction with a proposed expansion of the Club's maintenance building, under a previous Board of Directors but that effort stalled on our end.

April 2011 - I joined the Board of Directors for a three year term. The President at that time asked if I'd be willing to take the lead on an application for a Use Permit modification in which we would seek the ability to increase our membership over the long term. At this time there were no thoughts or discussions to expand our facility. The application was in response to competitive market pressures facing the club where golf use was down, costs were rising, and most of our competing clubs offered significantly more memberships, and membership categories, and had lower membership costs.

July 2011 - We had an introductory, pre-application meeting with Arlinda, Justin and Deanna to discuss our interest in modifying the Use Permit. Staff determined we'd need to do a traffic study. Our and staff's expectation at this time was that the process would be 6-12 months from the time of application.

September 2011 - Application submitted for modification to our Use Permit to allow up to 700 members (from 550) along with changes to traffic monitoring.

September 2012 - Traffic Study completed. It assumes all 150 memberships are issued upon approval, in addition to assuming all traffic from known projects in the pipeline will be built plus underlying growth in traffic estimated at 2%/year. There were no significant impacts for our membership increase up to an increase of about 130-135 members. At this time we projected that we will be before Planning Commission in the next 3-6 months.

April 2013 - The Board holds a strategic planning off-site, with an industry consultant, and for the first time since before 2000, among a long "laundry list" of a couple dozen possible strategic initiatives, there was discussion about the possibility of expanding our clubhouse to accommodate increased member interest and pressure from competing clubs in the areas of fitness and casual dining. There was a vote on which initiatives should be highest priority. Rebuilding our tee boxes (completed in early 2014) and expanding fitness and casual dining were the top three priorities. The Board decided that we should evaluate the possibilities, and the pros and cons

of doing these three projects, as well as survey members to get their input. The needs that were identified and the decision to evaluate our options in these three areas was entirely independent of and separate from the imminent hearing to amend our Use Permit, which application had been completed 20 months earlier. The Board decided to form an exploratory committee and to hire an architect to evaluate possible options in these areas.

July 2013 – Negative Declaration for project is prepared by City staff based on our original application information filed in 2011 and the Sept. 2012 traffic report.

September 9, 2013 – The use permit amendment was approved by the Planning Commission for up to 680 members on a 7-0 vote. The approval was not controversial and was supported by the local neighboring Homeowner's Associations. This occurred 7 years after the initial Use Permit application was filed, 29 months after it was restarted in April 2011, and 24 months after the amended application was refiled. Note: We have added 4 of the 130 potential memberships so far and anticipate being very judicious with any increases over the coming decades.

September 18, 2013 - The Committee developed, reviewed and refined options between June and September and recommended and presented, the option ultimately approved, to the Board in September 2013. The Board requested additional information. I discussed the project with Arlinda in mid-October of 2013 to get her input on the process so that could be discussed by the board on 10/23. I did not think this addition would trigger another planning process and in a brief conversation with Arlinda, she believed that since we had recently completed a traffic study and the expansion was less than 10,000 square feet, that we normally would be exempt from CEQA. But she suggested we meet with you and Ron LaFrance to discuss and confirm the process.

October 23, 2013. The Board approved moving forward with introducing the preliminary plans developed by the Committee to membership.

December 2013 and January 2014 – Proposed expansion plans first presented to Club Membership in writing and in member meetings.

February 2014 – Membership votes to support moving forward with plans for expansion.

July 28, 2014 – Application filed for expansion of fitness and casual dining adjacent to the pool facility. This application is 34 months after the application to amend our use permit.

February 2015 – Projected Planning Commission hearing on current expansion application. This projected date is 17 months after the prior Use Permit action.

The Club sincerely regrets not starting the discussion regarding a possible expansion with the City, even if it was still general, tentative and not approved by the Board or membership. We now understand if we had done so before the Negative Declaration had been prepared in July 2013, even a preliminary, non-specific project might have been folded into and considered in our 2013 Negative Declaration and September 2013 Planning Commission hearing. Because we had started the Use Permit Process a full two years earlier, we unfortunately did not foresee that this would be related to the use permit. We are not CEQA experts, and the possible expansion plans were not contingent on getting approval on the Use Permit modifications we received. As the target Use Permit hearing was moved from the spring of 2013 to September in 2013, it never occurred to me to amend our 9/2011 application to introduce the new expansion possibility.

I would never want to have two CEQA processes for relatively low impact, non-controversial projects, either for staff to do, or for me to process on a volunteer basis, when we might have factored this into the prior Negative Declaration and could have had one.

Best Regards,

A handwritten signature in black ink, appearing to read 'Steve Zales', with a stylized flourish extending to the right.

Steve Zales
Immediate Past President,
Sharon Heights Golf and Country Club



PLANNING COMMISSION STAFF REPORT

FOR THE PLANNING COMMISSION
MEETING OF MARCH 9, 2015
AGENDA ITEM E1

LOCATION:	150 Jefferson Drive	APPLICANT:	Sequoia Union High School District
EXISTING USE:	Light Industrial	OWNER:	Jefferson Fields LLC
PROPOSED USE:	Public High School	APPLICATION:	Public Resources Code Section 21151.2 Review
ZONING:	M-2 (General Industrial)		

PROPOSAL

Sequoia Union High School District is requesting that the Planning Commission consider a proposed public high school at 150 Jefferson Drive, in the M-2 (General Industrial) zoning district, with regard to Public Resources Code Section 21151.2. This code states that, to promote the safety of pupils and comprehensive community planning, the Planning Commission shall investigate a proposed school site and submit a report prior to the school governing board acquiring title to the property. The overall school approval actions will be considered separately by the Sequoia Union High School District.

BACKGROUND

On January 26, 2015, the Planning Commission conducted a General Plan conformity review for a proposed public high school at 150 Jefferson Drive, which is required by Government Code Section 65402(c). A location map is included as Attachment A, and the project description letter is attached for reference as Attachment B. At the meeting, the applicant, Sequoia Union High School District ("Sequoia Union"), described the proposal in more detail and distributed a conceptual site plan, included here as Attachment C. The Planning Commission also reviewed testimony from two members of the public, asked questions, and ultimately voted 5-2 (with Commissioners Onken and Strehl dissenting) that the proposed high school would be consistent with the General Plan. This finding was based on the fact that the General Plan's "Limited

Industry" designation specifically allows for public and quasi-public uses. The adopted Planning Commission resolution is included as Attachment D.

Following the meeting, an attorney representing an adjacent property owner, Exponent Inc. at 149 Commonwealth Drive, submitted a letter calling the City's attention to a different State requirement relating to school planning. This letter is included as Attachment E. After reviewing the letter, the City and Sequoia Union determined that this requirement is applicable to the proposal, and is the subject of this report.

ANALYSIS

Site Location

The subject site is located at 150 Jefferson Drive, close to the intersection of Chrysler Drive. All of the immediately adjacent parcels are also part of the M-2 district, which is correlated with the "Limited Industry" General Plan land use designation. In addition, other parcels in the vicinity are within the M-3-X (Commercial Business Park, Conditional Development) zoning district, which is correlated with the "Commercial Business Park" General Plan land use designation.

The subject parcel is approximately 2.1 acres in size, and is currently occupied by a light industrial building that is predominantly one-story, with some mezzanine areas. The nearby parcels are occupied by similar light industrial buildings, as well as offices in a variety of scales. A location map is included as Attachment A, and a land use map (using data from the San Mateo County Assessor) is included as Attachment F.

Project Description

The applicant, Sequoia Union High School District ("Sequoia Union"), serves students from eight feeder school districts, covering areas including Atherton, Belmont, East Palo Alto, Menlo Park, Portola Valley, Redwood City, San Carlos, and Woodside. In late 2014, Sequoia Union disclosed that, in order to address projected enrollment increases, the district was exploring the purchase of two properties that could serve as new high school sites. The two parcels are located at 535 Old County Road (San Carlos) and 150 Jefferson Drive (Menlo Park).

The applicant has submitted a project description letter (Attachment B), which provides more information about the proposed school at 150 Jefferson Drive. The applicant states that the school is anticipated to serve up to 400 students. The school could have a technology-type focus, although this has not yet been finalized. Sequoia Union has stated that community meetings will soon be held to discuss the project and its review process. The earliest the school would open is August 2017, although Sequoia Union has stated that an August 2018 opening is more likely.

The development and use of the property for a public high school is exempt from the City's zoning code. The overall school approval actions will be considered separately by Sequoia Union, and neither the previous General Plan consistency review nor the current Public Resources Code Section 21151.2 review should be considered

substitutes to Sequoia Union’s comprehensive school review and approval process, which will include multiple opportunities for public input and consideration under the California Environmental Quality Act (CEQA).

Public Resources Code Section 21151.2 Review

The full text of Public Resources Code (PRC) Section 21151.2 reads as follows:

To promote the safety of pupils and comprehensive community planning the governing board of each school district before acquiring title to property for a new school site or for an addition to a present school site, shall give the planning commission having jurisdiction notice in writing of the proposed acquisition. The planning commission shall investigate the proposed site and within 30 days after receipt of the notice shall submit to the governing board a written report of the investigation and its recommendations concerning acquisition of the site.

The governing board shall not acquire title to the property until the report of the planning commission has been received. If the report does not favor the acquisition of the property for a school site, or for an addition to a present school site, the governing board of the school district shall not acquire title to the property until 30 days after the commission's report is received.

The City of Menlo Park has not previously conducted a PRC Section 21151.2 review, but staff has reviewed examples from other communities. There does not appear to be a consistent format of such reports and recommendations, although it is clear that they are advisory in nature, and not meant to be replacements for the comprehensive school review process that is conducted by the applicable school district. For the City of Menlo Park, the “report” will be considered to be this staff report (inclusive of attachments), except as it may be amended or augmented by the Planning Commission. Elements of this analysis overlap with the previously-conducted General Plan conformity review.

Site Attributes

The subject parcel has the following characteristics:

<u>Address</u>	150 Jefferson Drive
<u>Assessor’s Parcel Number</u>	055-243-030
<u>Assessor’s Description</u>	LOTS 6 7 & 8 BOHANNON INDUSTRIAL PARK UNIT NO 4 RSM 56/5
<u>Approximate Lot Size</u>	90,927 square feet (2.1 acres)
<u>Zoning District</u>	M-2 (General Industrial)
<u>General Plan Land Use Designation</u>	Limited Industry
<u>General Plan Circulation Diagram</u>	Jefferson Drive: Local Street
<u>Annexation Date</u>	1/22/1957 Bohannon Industrial Park
<u>Elementary School District</u>	Ravenswood City School District
<u>High School District</u>	Sequoia Union High School District
<u>Sanitary Sewer District</u>	West Bay Sanitary District
<u>Water District</u>	Menlo Park Municipal Water District

General Plan Conformity

Staff has reviewed the proposal in relation to the existing General Plan goals, policies, and implementation programs. As noted by the applicant, the following description of the “Limited Industry” land use designation allows for this type of school use:

Limited Industry

*This designation provides for light manufacturing and assembly, distribution of manufactured products, research and development facilities, industrial supply, incidental warehousing, offices, limited retail sales (such as sales to serve businesses in the area), **public and quasi-public uses**, and similar and compatible uses. The maximum FAR shall be in the range of 45 percent to 55 percent.*

[emphasis added]

This land use designation correlates to the M-2 zoning district, which conditionally allows for private schools as a Special Use. Two such facilities have been permitted in the M-2 district under this provision: Mid-Peninsula High School (1340 Willow Road) and Casa dei Bambini Preschool (1215 O'Brien Drive). Although the new Sequoia Union school would be a public school (and as such would not require City use permit review), the two private schools listed above do not appear to have negatively impacted the M-2 district or other nearby parcels.

The previously-adopted Planning Commission Resolution No. 2015-01 (“Determining That a Proposed High School at 150 Jefferson Drive is Consistent with the General Plan”) is included for reference as Attachment D.

Nearby Land Uses and Hazardous Materials Usage

A land use map (using data from the San Mateo County Assessor) is included as Attachment F. Nearby uses include warehouses, light manufacturing, research and development (R&D), and offices. Existing buildings range in scale from one to three stories, and other projects (Menlo Gateway and Commonwealth Corporate Center) have been approved for office and hotel buildings with greater heights.

The M-2 zoning district conditionally permits the use and storage of hazardous materials in association with the main use. The conditional use permit process allows the Planning Commission and the public to review elements such as:

- Chemical inventory
- Location of materials use and storage
- Waste collection procedures
- Safety training plan
- Emergency response plan

The hazardous materials use permit review also includes initial review by applicable safety agencies, including the Menlo Park Fire Protection District and the San Mateo County Environmental Health Division, which also have their own independent review and approval processes. If approved, use permits typically include conditions that limit changes in the use of hazardous materials, require a new business to submit a Hazardous Materials Business Plan (HMBP) to seek compliance if the existing use is discontinued, and address violations of other agencies in order to protect the health and safety of the public.

Staff believes that the use permit and related requirements for hazardous materials use address the safety of properties and individuals in the vicinity of such uses. If a business were to use hazardous materials in an unsafe manner, staff believes that should be addressed through enforcement operations on that use itself, not necessarily by limits on adjacent uses.

Sequoia Union Preliminary Analyses

Sequoia Union has conducted a number of preliminary analyses in preparation for the full school review and approval process. To assist the Planning Commission with the PRC Section 21151.2 review, Sequoia Union has submitted a memo (Attachment G) and presentation (Attachment H) that was made at a Sequoia Union Board of Trustees meeting in December 2014. The memo and presentation describe a number of other attributes of the site, including proximity to features like airports, power lines, active fault zones, and pipelines. Sequoia Union has also submitted a number of technical reports, which are not included here, but which can be reviewed upon request, including:

Report	Preparer	Date
Phase I Environmental Site Assessment	Geologica Inc.	July 31, 2014
Initial School Site Evaluation Form	California Department of Education	October 13, 2014
Phase I Environmental Site Assessment	Cornerstone Earth Group	November 5, 2014
Preliminary Geotechnical Investigation	Cornerstone Earth Group	December 5, 2014
Soil, Soil Vapor and Ground Water Quality Evaluation	Cornerstone Earth Group	December 12, 2014
Pipeline Safety Hazard Assessment	PlaceWorks	January 2015

These analyses are technical in nature, and as such not strictly under the purview of the Planning Commission for the general PRC Section 21151.2 review. However, staff understands that they have not identified any fundamental barriers to use of this site for a school. Additional technical analysis will be required through the Sequoia Union school review and approval process.

Correspondence

Other than the previously-referenced letter submitted on behalf of Exponent, Inc. at 149 Commonwealth Drive (Attachment E), staff has not received any correspondence regarding the General Plan conformance review. The attached letter touches on a number of topics, such as possible transportation impacts, which staff believes should be raised through the Sequoia Union approval process, which will address CEQA and related requirements.

Conclusion

The proposed high school would be located in the Limited Industry land use designation, which allows for “public and quasi-public uses.” Two schools are already in operation in this designation. The site is located in an area where hazardous materials are used, but such uses require review and approval by the City and relevant safety agencies. A number of preliminary analyses have been conducted, which have not identified fundamental barriers to the use of this site as a school, and additional analysis will be required through the overall school review process, which includes opportunities for additional public input. Staff recommends that the Planning Commission submit this staff report to the Sequoia Union High School District as the required report under Public Resources Code Section 21151.2, and recommend acquisition of the 150 Jefferson Drive property.

ENVIRONMENTAL REVIEW

Public Resources Code Section 21151.2 review is not a “project” as defined by the California Environmental Quality Act (CEQA), in that such a determination itself would not have a potential for resulting in a physical change to the environment. Sequoia Union will be required to address applicable CEQA requirements relating to the development of a school at this site. County Counsel has indicated that when Sequoia Union determines their programmatic needs/plans for the site, they will conduct their CEQA process, which will include notice to Menlo Park before taking final action/proceeding with their project.

RECOMMENDATION

1. Make a finding that the Public Resources Code Section 21151.2 review is not a “project” as defined by the California Environmental Quality Act (CEQA).
2. Submit this staff report, inclusive of attachments, as the required report under Public Resources Code Section 21151.2, and recommend acquisition of the 150 Jefferson Drive property.

Report prepared by:
Thomas Rogers
Senior Planner

Report reviewed by:
Arlinda Heineck
Community Development Director

PUBLIC NOTICE

Public notification consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 1,320-foot radius of the subject property. Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

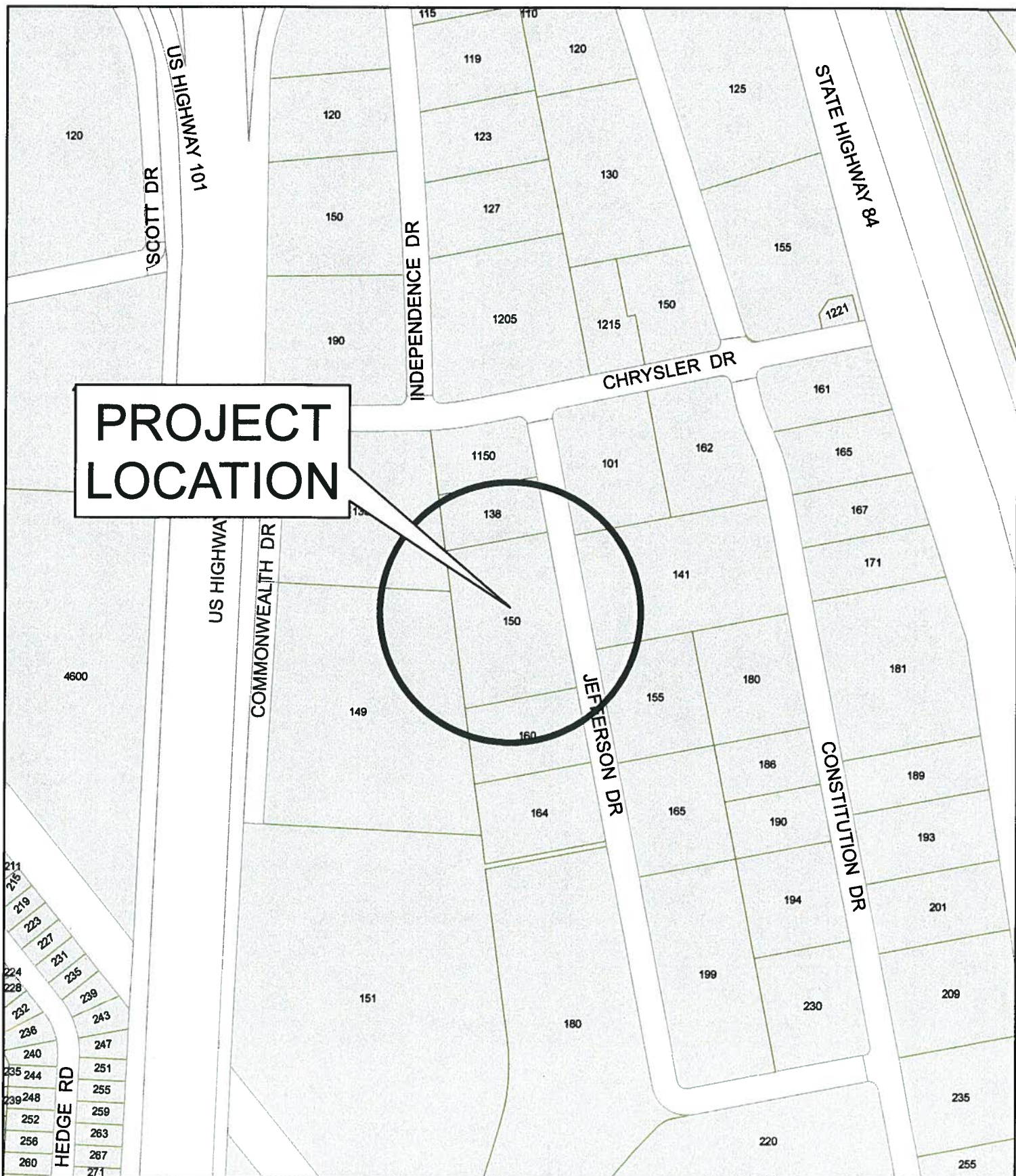
ATTACHMENTS

- A. Location Map
- B. Project Description Letter
- C. Conceptual Site Plan
- D. Planning Commission Resolution No. 2015-01, "Determining That a Proposed High School at 150 Jefferson Drive is Consistent with the General Plan"
- E. Correspondence from Edward Shaffer (Representing Exponent, Inc.), received January 28, 2015
- F. Land Use Map
- G. Preliminary Review Memo, prepared by MIG|TRA Environmental Sciences, December 9, 2014
- H. Sequoia Union Board of Trustees Presentation, December 10, 2014

EXHIBITS TO BE PROVIDED AT MEETING

None

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CITY OF MENLO PARK

LOCATION MAP
150 JEFFERSON DRIVE

A1



DRAWN: THR CHECKED: THR DATE: 03/09/15 SCALE: 1" = 300' SHEET: 1

COUNTY COUNSEL

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Please respond to: (650) 363-4757

January 7, 2015

Via United States Mail and E-Mail (throgers@menlopark.org)

Mr. Thomas Rogers
Senior Planner
City of Menlo Park
701 Laurel Street
Menlo Park, CA 94025**PAID**

JAN 08 2015

CITY OF MENLO PARK

Re: Application for General Plan Conformity Determination Hearing Before Menlo
Park Planning Commission - Sequoia Union High School District's Possible
Acquisition of Property at 150 Jefferson Drive, Menlo Park, CA

Dear Mr. Rogers:

Thank you for your email of January 2, 2015, wherein you set forth the process for bringing the above-referenced matter to a hearing before the Menlo Park Planning Commission. My office represents the Sequoia Union High School District (the "District"). Pursuant to your email, I enclose with this letter a Development Permit Application and Agreement to Pay Fees, along with a check payable to the City of Menlo Park, in the amount of \$1,000 to cover the fees in this matter.

In terms of the basis for this request, as you know, the District is considering the purchase of property at 150 Jefferson Drive, in Menlo Park, California for possible use as a District school site serving up to 400 students. In connection with this possible property acquisition, section 65402(c) of the California Government Code requires that the District apply to the appropriate land use agency for a determination of whether the property acquisition/proposed use complies with the general plan adopted by the jurisdiction in which the property is located.

The District believes that its acquisition of the property located at 150 Jefferson Drive for use as a school complies with the Menlo Park General Plan. The General Plan land use designation for the 50 Jefferson Drive property is "Limited Industry." The General Plan states that this designation "provides for light manufacturing and assembly, distribution of

B1

manufactured products, research and development facilities, industrial supply, incidental warehousing, offices, limited retail space . . . *public and quasi-public uses*, and similar or comparable uses." Menlo Park General Plan, at II-3 (emphasis added).

The District submits that a school, such as is under consideration for the property at 150 Jefferson Drive, is inarguably a public use/public facility, and that acquisition of this property for school use would conform to the General Plan. In this regard, the District notes that the General Plan specifically identifies *schools* as *public facilities*. See Menlo Park General Plan, at II-4 (describing the "Public Facilities" designation as providing "for public and quasi-public uses such as . . . schools").

Given the preliminary nature of the District's planning at this point, it does not have available conceptual site plans, architectural renderings, or loading/access information. The District does note, however, that it does not anticipate needing 400 parking spaces for the proposed school use. Relatively few students would be expected to drive themselves to school and therefore require parking. In any event, District staff will be available to consult with you as you prepare this matter for the Planning Commission.

Thank you for your attention in this matter.

Very truly yours,

JOHN C. BEIERS, COUNTY COUNSEL

By: 

John D. Nibbelin, Chief Deputy

JCB:JDN/jdn

cc: Jim Lianides, Enrique Navas, and Matthew Zito, Sequoia Union High School District



SEQUOIA UNION HIGH SCHOOL DISTRICT

QUATTROCCHI KWON
ARCHITECTS
395.05
EIGHTH FLOOR, 2015

PLANNING COMMISSION RESOLUTION NO. 2015-01

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MENLO PARK
DETERMINING THAT A PROPOSED PUBLIC HIGH SCHOOL AT 150 JEFFERSON
DRIVE IS CONSISTENT WITH THE GENERAL PLAN**

WHEREAS, California Government Code Section 65402(c) requires that a school district apply to the appropriate land use agency for a determination of whether the proposed property acquisition/proposed use complies with the general plan adopted by the jurisdiction in which the property is located; and

WHEREAS, the Sequoia Union High School District is considering the development of a new public high school at 150 Jefferson Drive; and

WHEREAS, 150 Jefferson Drive is part of the Menlo Park General Plan's "Limited Industry" land use designation, which allows for public and quasi-public land uses; and

WHEREAS, two other schools are already in operation within the General Plan "Limited Industry" land use designation; and

WHEREAS, the Planning Commission has held a public meeting on this subject on January 26, 2015, providing an opportunity for public input; and


NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Menlo Park hereby determines that the Sequoia Union High School District's proposal to develop a new public high school at 150 Jefferson Drive is consistent with the General Plan.

I, Arlinda Heineck, do hereby certify that the above and foregoing Resolution was duly and regularly passed and adopted by a majority of the total voting members of the Planning Commission of the City of Menlo Park at a meeting held by said Commission on the 26th day of January, 2015, by the following vote:

AYES:	Commissioners: Bressler, Combs, Eiref, Ferrick, Kadvan
NOES:	Commissioners: Onken, Strehl
ABSTAIN:	Commissioners: None
ABSENT:	Commissioners: None

I further certify that the foregoing copy is a true and correct copy of the original of said resolution on file in the office of the Community Development Department, City Hall, Menlo Park, California.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Official Seal of said City this 27th day of January, 2015.


Arlinda Heineck
Arlinda Heineck
Community Development Director
City of Menlo Park

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January 28, 2015

VIA E-MAIL

Sequoia Union High School District
Board of Trustees
480 James Avenue
Redwood City, CA 94062

City of Menlo Park
Planning Commission
701 Laurel Street
Menlo Park, CA 94025

RE: Consideration of High School at 150 Jefferson Drive, Menlo Park

Honorable Trustees and Commissioners:

We represent Exponent, Inc., an engineering and scientific consulting firm with facilities located at 149 Commonwealth Drive and 160 Jefferson Drive in Menlo Park. The School District is proposing to build a high school at 150 Jefferson Drive, which is adjacent to Exponent's two sites. Exponent is concerned that such a use is not compatible with its business operations and is not appropriate in this industrial neighborhood. The purpose of this letter is two-fold: generally, to express opposition to the proposed school; and specifically, to put you on notice that the District and City have failed to comply with California law regarding their consideration of the project.

On January 7, 2015, the San Mateo County Counsel's office sent a letter on behalf of the District asking the City to determine if the project complies with the general plan, pursuant to California Government Code section 65402(c). The Planning Commission held a hearing on the question on January 26, at which the Commission adopted a resolution finding that the project is consistent with the Menlo Park General Plan.



However, the District and City have failed to comply with a similar – but not identical – requirement in Public Resources Code section 21151.2 (see attached). This provision in the California Environmental Quality Act (“CEQA”) requires that before the District purchases land for a school, it must notify the City and wait for the Planning Commission to “*investigate the proposed site*” and give the School Board “*a written report of the investigation and its recommendations.*” Section 21151.2 was not mentioned in the County Counsel’s letter, the City’s staff report, or the Planning Commission resolution. In fact, when an Exponent representative spoke at the Commission hearing and raised the question, staff and the Commission did not seem aware of the CEQA requirement.

The stated purpose of Section 21151.2 is “*To promote the safety of pupils and comprehensive community planning*”. That is very different from the purpose of Section 65402(c). First, it raises the topic of safety, a key concern under CEQA. The City is directed to investigate the question before making recommendations. This is especially critical where the District proposes to place a large number of children in an industrial area.

Regarding safety, the City must recognize that Jefferson Drive is only a two-lane local road which does not even have sidewalks along its whole length. This raises serious traffic and pedestrian issues affecting both students and surrounding businesses. There is no public transit to the area and none is planned. Many students will come from outlying areas too far to walk. How will they travel to and from school? Will students be allowed to go off-campus during the day? How will they interact with cars and trucks visiting businesses in the area?

District staff told the Commission that the school will only have 90 parking spaces. Reserving spaces for 35 staff and visitors will leave very few for student cars. The County Counsel letter claimed that “relatively few students would be expected to drive themselves to school” to justify limited parking. If true, that suggests hundreds of parent cars every morning and afternoon. If the need is greater, how will it affect the neighborhood if students are filling every available curbside parking space?

I understand that Commissioners asked questions about transit, parking and traffic during the hearing. However, because they were not made aware of Section 21151.2, they did not know that they had an opportunity – and a duty – to investigate details and provide recommendations to the District related to safety. The Commission was wrongly told that its role was limited to the narrow question of consistency with General Plan wording.

Second, Section 21151.2 requires a broader and more in-depth evaluation than merely determining general plan consistency. The City must determine if a school in this location promotes comprehensive community planning. Because this statute is part of CEQA, the City is expected to consider actual physical conditions and any planned changes in the area to determine if the school will be compatible with the plans and expectations of the City and surrounding

property owners and businesses. This inquiry goes far beyond simply asking if the wording of the general plan can be interpreted to allow a school.

I understand that the City has considered and approved plans for substantial new development and revitalization projects in the area. Under Section 21151.2, the Commission should consider how the school might interfere with those plans and adversely affect the proposed development and new businesses. This topic was briefly raised during the hearing, but again the Commissioners did not know that they could address these questions.

Regarding this planning issue, we question if the City Council in adopting the general plan truly meant to include schools as a permitted “public and quasi-public use” in industrial areas. In our experience cities typically intend and allow more limited public-type uses (e.g., utility facilities, corporation yards). This is supported by the fact that there is a separate “Public Facilities” designation that specifically authorizes schools. Does the City Council truly believe that it is consistent with Menlo Park’s comprehensive planning to introduce a school with 400 students in this industrial setting? I understand the Commission raised this issue but did not go further because it was not part of the narrow Section 65402(c) “consistency” question – even though it should be considered under Section 21151.2.

We point out that Section 21151.2 was adopted by the State after Section 65402(c). Thus the Legislature and the Governor knew the wording was different and intended to require the more specific and CEQA-oriented review called for by Section 21151.2. The City and the District must comply with these requirements.

The School District is subject to CEQA and all its requirements. Before the District may take action the City must comply with Section 21151.2, investigate the appropriate details, and provide a report with recommendations. We note that unlike Section 65402(c), the City is not subject to a strict schedule: the reference to completing the report in 30 days is advisory and failure to meet the deadline is not deemed a finding of no problems. The District must wait for the City to complete a thoughtful investigation of these questions and provide recommendations regarding the project – with proper opportunities for public input.

This is an important step in the District’s obligation to comply with CEQA. Separately from the City’s review under Section 21151.2, the District must reconsider parking, transit, traffic and safety issues before it commits to this project. Furthermore, the public must be given an adequate opportunity to consider and comment on the safety, traffic and other consequences. The District should not use its scarce funds to buy the property before confirming the site actually is appropriate for a school.

Sequoia Union High School District
City of Menlo Park
January 28, 2015
Page 4

Exponent expects the District and City to make sure this project is safe for students and does not harm the surrounding industrial community. Full compliance with CEQA is the starting point. Please put Exponent's representative Richard Schlenker and me on the list to receive all notices, studies and staff reports by the City and the District regarding this matter.

Very truly yours,

ARCHER NORRIS

/s/ Edward L. Shaffer

Edward L. Shaffer

ELS

cc: Allen Weiner District Board President (aweiner@seq.org)
James Lianides, District Superintendent (jlianides@seq.org)
Enrique Navas, District Assistant Superintendent, Administrative Services (enavas@seq.org)
Matthew Zito, District Director of Facilities (mzito@seq.org)
John Nibbelin, Chief Deputy County Counsel (jnibbelin@smcgov.org)
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Benjamin Eiref, Menlo Park Planning Commission Chair (beiref@gmail.com)
Thomas Rogers, Menlo Park Senior Planner (throgers@menlopark.org)
Menlo Park City Council (city.council@menlopark.org)
Bill McClure, Menlo Park City Attorney (wlm@jsmf.com)
Richard Schlenker, Exponent, Inc. (schlenker@exponent.com)

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California Public Resources Code

21151.2. To promote the safety of pupils and comprehensive community planning the governing board of each school district before acquiring title to property for a new school site or for an addition to a present school site, shall give the planning commission having jurisdiction notice in writing of the proposed acquisition. The planning commission shall investigate the proposed site and within 30 days after receipt of the notice shall submit to the governing board a written report of the investigation and its recommendations concerning acquisition of the site.

The governing board shall not acquire title to the property until the report of the planning commission has been received. If the report does not favor the acquisition of the property for a school site, or for an addition to a present school site, the governing board of the school district shall not acquire title to the property until 30 days after the commission's report is received.

LAND USES: 150 JEFFERSON DR

1 inch = 300 feet



Memo

To: Enrique Navas, Assistant Superintendent of Administrative Services, SUHSD

CC: Matthew Zito, Chief Facilities Officer

John Nibbelin, Chief Deputy County Counsel, San Mateo County

From: Chris Dugan and Christina Lau

Date: December 9, 2014

SUBJECT: Preliminary Review of 150 Jefferson Drive, Menlo Park, CA

MIG | TRA Environmental Sciences, Inc. (MIG | TRA) has prepared this memorandum at the request of the Sequoia Union High School District (SUHSD, or the District) to provide a preliminary review of publicly available information on 150 Jefferson Drive, Menlo Park, CA, as it relates to the District's potential acquisition of the site for school development purposes. The District met with representatives of the California Department of Education (CDE) to review the site on October 8, 2014. Accordingly, MIG | TRA has focused its review on the issues identified by the CDE during this initial site evaluation. Below is a preliminary summary of known information regarding 150 Jefferson Drive (the site). Additional time is needed to provide a more thorough, complete investigation for the District.

Land Use / Zoning / General Plan Information

Land use at and in the vicinity of 150 Jefferson Drive consists of developed office, warehouse, light manufacturing, and transit-oriented lands, including SR 101 and SR 84 transit corridors and a rail corridor.

The City of Menlo Park's zoning designation for the site is "General Industrial District" (M-2) (City of Menlo Park 2013, 2014a). According to the Title 16 of the City's municipal code, Zoning, Section 16.46.10 (1, 2), permitted uses at the site include warehousing, manufacturing, printing, assembling and offices. Schools are not listed as permitted, administratively permitted or conditionally permitted uses (per Section 16.46.15 and Section 16.46.20, of the municipal code respectively). Surrounding zoning designations are also "General Industrial District" (M-2).

The City of Menlo Park's General Plan land use designation for the site is "Limited Industry" (IL), (City of Menlo Park 2013). This designation provides for light manufacturing and assembly, distribution of manufactured products, research and development facilities, industrial supply, incidental warehousing, offices, limited retail sales (such as sales to serve businesses in the area), public and quasi-public uses, and similar and compatible uses. Surrounding general plan land use designations are also "Limited Industry" (City of Menlo Park 2013, 2014a).

Several projects occur in the vicinity of the 150 Jefferson Drive site. These include the Dumbarton Transit Station Area Plan near the intersection of Willow Road and Highway 84, approximately 1.2 mile east of the 150 Jefferson Drive property. The last staff report issued by the City for this project was issued in March 2009 (City of Menlo Park 2014b), and therefore the assumption is that the project has stalled. Additional time is needed to further research the issue. A Notice of Availability for a Draft EIR for the Facebook Campus Project was published December 7, 2011 (City of Menlo Park 2011). The Notice stated the Draft EIR found significant and unavoidable impacts for air quality, noise, and transportation. The EIR is no longer publicly available on the City's website and therefore was not available for review at the time of this

memo's preparation. The Conditional Development Permit (City of Menlo Park 2014c) established employee caps of 2,800 and 6,600 for the West and East Campuses, respectively. Peak period trip caps were also established at 1,100 and 2,600, respectively for the West and East Campuses. Roadway improvements associated with the Facebook Campus Project include those at Willow/Bayfront Expressway, University Avenue/Bayfront Expressway, Marsh Avenue/Bayfront Expressway, Marsh to northbound Highway 101 and Bayfront Expressway/Chrysler Drive and others.

Traffic Conditions

The site is less than 0.1 mile (approximately 490 feet) east of Highway 101. The site is approximately 900 feet south of Highway 84 and 0.34 mile (approximately 1800 feet) east of Marsh Road. Marsh Road/Highway 84 has an average daily traffic volume of approximately 48,000 vehicles per day; Highway 101 has an average daily traffic volume of approximately 211,000 vehicles per day (CEHTP 2014). Chilco Street to the east of the site has an average daily traffic volume of 3,000 vehicles per day.

Proximity to Railroads

The site is approximately 950 feet north of an unused segment of the Dumbarton rail line.

Proximity to Airports

The site is more than 2.8 nautical miles from the closest airport, Palo Alto Airport of Santa Clara County. The site is not located within any Palo Alto Airport influence area or related noise contour (Santa Clara County Airport Land Use Commission 2008).

Power Lines

The Phase 1 Environmental Site Assessment prepared for the site identifies that no high power transmission lines were readily observable on site (Cornerstone 2014). Electric lines adjacent to the site appear to be standard distribution lines (21 kilovolts or less); however, the City of Menlo Park Department of Public Works or PG&E may need to be contacted to determine the voltage of nearby electric lines.

Pipelines

A high pressure natural gas transmission pipeline (Line 101) runs north and south under the west side of Highway 101, approximately 700 feet from the site (PG&E, undated). This gas pipeline is presumed to operate at 300 PSI or higher (CPUC 2013); however, PG&E should be contacted to verify both the pressure and diameter of this line.

Ambient Noise Conditions

The project site is in the vicinity of two major state highways (Route 101, 84). As such, ambient noise levels at the site and vicinity are elevated. The City of Menlo Park's General Plan Noise Element identifies 24-hour, Community Noise Equivalent Levels of 70.8 to 81.8 in the vicinity of the site (City of Menlo Park 2013).

Active Fault Zones

According to the Association of Bay Area Governments Earthquake and Hazards Program, the site is not located in an active or Alquist-Priolo fault zone (ABAG 2014a).

Landslides or Liquefaction

According to the City of Menlo Park General Plan Safety Element, the eastern portions of the City of Menlo Park, particularly areas underlain by bay mud, are susceptible to liquefaction (City of Menlo Park 2013). According to the Association of Bay Area Governments Earthquake and Hazards Program, the site is located in a liquefaction hazard zone (ABAG 2014b). The General Plan also identifies that landslides are more common in the western, more hilly area of the City (west of Alameda de las Pulgas). The Association of Bay Area Governments' Earthquake and Hazards Program identifies the site as "flatland", which has a low risk of landslides (ABAG 2014c).

Flooding / Dam Inundation

According to the Federal Emergency Management Agency Flood Rate Insurance Map for the project vicinity, the site is outside the 100-year or 500-year floodplain, in flood zone "X", which area with a 0.2 percent chance of annual flood, areas where the one percent annual chance flood has a base flood depth less than one foot, or areas protected by levees from the one percent annual chance flood (FEMA 2012). The site also is not in a dam inundation area (City of Menlo Park 2013).

Fuel Storage Tanks

The Phase 1 Environmental Site Assessment prepared for the site identifies that no above or underground storage tanks were readily observable on site; however, some chemical storage and a transformers were observed (Cornerstone 2014).

Soil and Groundwater Hazards

150 Jefferson Drive is not a property recorded in the State Water Resources Control Board "Geotracker" database (<http://geotracker.waterboards.ca.gov/>) or the California Department of Toxic Substances Control's "Envirostor" (<http://www.envirostor.dtsc.ca.gov/public/>) database (SWRCB 2014, DTSC 2014).

The Phase 1 Environmental Site Assessment prepared for the site identifies several historical land uses and current observations (e.g., ruptured hydraulic line) at the site that could pose concerns to soil and groundwater. The Phase 1 Environmental Site Assessment also identifies that asbestos and lead paint could be present in current building materials (Cornerstone 2014).

Hazardous Air Emissions

150 Jefferson Drive is within approximately ¼ mile of eight sources of emissions permitted by the BAAQMD, including a backup generator, painting facility, printing facility, an energy-related facility, a manufacturing facility, an unknown City facility, and two pharmaceutical facilities (BAAQMD 2012). The specific nature of these facilities' emissions is unknown.

Traffic on roadways in the vicinity of the project also emit hazardous air emissions, specifically Highway 101. Screening-level information available from the BAAQMD identifies an excess

cancer risk from Highway 101 traffic of approximately 15.5 in one million. This screening value is above the commonly applied risk threshold of 10 in one million. This screening level information and the appropriate threshold for comparison should be verified for consistency and compatibility with the Office of Environmental Health Hazard Assessment's health risk assessment guidance manual.

Major Traffic Corridor / Freeway

As noted above under "Traffic Conditions" the project site is preliminarily presumed to be located within 500 feet of the closest traffic lane of a freeway or other major traffic corridor (northbound Highway 101). As described above in "Hazardous Air Emissions", the health risks at the site associated with Highway 84 and Highway 101 traffic should be verified.

Sources of Information / References

The following sources of information and references were used to prepare this memo:

Aerial imagery review and distance measurements performed in Google Earth Pro

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City of Menlo Park. 2014c. Conditional Development Permit - Facebook West Campus. Web. <http://www.menlopark.org/DocumentCenter/View/2342> Accessed on December 8, 2014.

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Pacific Gas and Electric Company (PG&E) undated.

Santa Clara County Airport Land Use Commission 2008. *Comprehensive Airport Land Use Plan – Palo Alto Airport*. San Jose, CA. November 2008.

State Water Resources Control Board (SWRCB) 2014. *150 Jefferson Drive, Menlo Park, Ca* [map]. n.d. Scale undetermined; generated by MIG | TRA using "<http://geotracker.waterboards.ca.gov/>". December 8, 2014.

California Environmental Health Tracking Program (CEHTP) 2014. "CEHTP Traffic Linkage Service Demonstration" *CEHTP Traffic Linkage Service Demonstration*. CEHTP, Tools, Traffic Volume Tool, Tools and Services: Traffic Volume Linkage Tool. 2007. Web. December 7, 2014. < http://www.ehib.org/traffic_tool.jsp >

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CPD / CSL

**Public Hearing
Feasibility & Suitability
Potential School Site
at 150 Jefferson Drive
Menlo Park CA**

Board of Trustees Meeting
December 10, 2014



Why We Need New School Campuses?

- Projected enrollment growth
 - Growth is expected, in particular, in the Menlo Park-Atherton area
 - Not sufficient space at existing campuses to meet projected enrollment growth
- Increased program offerings to meet diverse interests of students
- The proposed District Operated school will educate up to 400 students and will have a high interest magnet program to be determined by the end of the 2014-15 school year.
- It is anticipated that the school will open either Fall 2017 or Fall 2018.

Why this Site?

- Proximity to target student population and anticipated enrollment growth
- Accessibility
 - EPA – University Ave/Bay → 2.5 miles
 - 5th/Fair Oaks → 2.0 miles
 - Menlo-Atherton High School → 2.0 miles
- One of few purchase options





Purpose of Public Hearing

- Per Cal Education Code, Board of Trustees evaluates potential school sites pursuant to the site selection standards established by the California Department of Education (CDE)
- CDE site selection standards codified at section 14010 of Title 5 of the California Code of Regulations
- This hearing is for the Board of Trustees and community to review these site selection criteria with respect to property at 150 Jefferson Ave. in Menlo Park

Steps to Date – Initial Site Evaluation

- Initial evaluation of site by CDE Facilities Division (October 13, 2014)
- CDE ranks potential sites on scale of 1 to 5 (1 being the most suitable)
 - CDE preliminarily ranked this site as a “2”
- Initial evaluation identified potential issues that District staff is working to address

Steps to Date – Purchase Contract

- District and property owner are in contract for District purchase of the property
 - Contract entered into October 29, 2014
- Contract allows District to terminate if the property is found unsuitable for school purposes
 - Due diligence period ends December 15, 2014
 - Option to extend to January 14, 2015
- Closing date presently scheduled for January 29, 2014
 - Option to extend to March 2, 2015

Steps to Date – Due Diligence

- Environmental assessment (Phases I and II)
- Staff and consultant inspections of site
- Staff and consultant research regarding site selection-related issues
- Meetings and outreach to city officials

Discussion of CDE Site Selection Criteria (5 CCR sec. 14010)

- Net usable acreage
 - Not an issue with site, per CDE initial evaluation
- Landslides/Liquefaction
 - Not an issue with site, per CDE initial evaluation; District will conduct geotechnical evaluation in connection with any project
- Flood or Dam Inundation
 - Publicly available information indicates that property not within FEMA 100 or 500 year flood plain; not within a dam inundation area

Discussion of CDE Site Selection Criteria (cont.)

- Soil stability/bearing capacity
 - Not an issue with the site, per CDE initial evaluation; District will conduct geotechnical evaluation in connection with any project
- Water/fuel storage tanks
 - Phase I environmental assessment identifies no above or below ground storage tanks
- Site accessibility/peripheral visibility
 - Not an issue with the site; per CDE initial evaluation

Discussion of CDE Site Selection Criteria (cont.)

- Earthquake fault or fault trace
 - Publicly available information (2014 ABAG report) indicates that property is not located in an active or Alquist-Priolo fault zone
- Shape of site (length to width ratio)
 - Not an issue with the site, per CDE initial evaluation
- Existing/proposed zoning compatibility with respect to safety/health
 - Publicly available information reflects that school operations can be conducted safely, given existing zoning

Discussion of CDE Site Selection Criteria (cont.)

- Location within attendance area and promotion of walking routes
 - The District seeks to draw students from Atherton, Menlo Park, East Palo Alto, Belle Haven, and North Fair Oaks coordination will take place with the City of Menlo Park to promote safe walking routes

Discussion of CDE Site Selection Criteria (cont.)

- Public Services
 - Proposed location appears conveniently located for access to public services such as fire protection, police protection, public transportation, etc.
- Orientation for light and wind
 - Not an issue with the site per CDE initial evaluation
- Development costs in light of needed utilities, site preparation, landscaping and maintenance costs, existence of wildlife habitat
 - Not issues with the site per CDE initial evaluation

Discussion of CDE Site Selection Criteria (cont.)

- Proximity to road or freeway that may adversely affect educational program due to noise/safety
 - Issues re noise and safety are to be analyzed through traffic study and geotechnical/geohazards report, which will be completed before any project goes forward

Discussion of CDE Site Selection Criteria (cont.)

- Traffic
 - Not an issue with the proposed site , per CDE initial study. However, issues re traffic are to be analyzed through a traffic study, which will be completed before any project goes forward

Discussion of CDE Site Selection Criteria (cont.)

- Power line easements (lines 50 kV or greater)
 - Present power lines are located outside the easement required by CDE
- Within 1,500 feet of railroad track easement
 - Site is 950 feet from an unused segment of the Dumbarton rail line; confirming that line is no longer used

Discussion of CDE Site Selection Criteria (cont.)

- Pipelines/Water and Fuel Storage Tanks
 - Publicly available information indicates that there are no water or fuel storage tanks on the property
 - A PG&E natural gas distribution line is approximately 700 feet from the property
 - Existing gas line ranges between 250 and 315 psi
 - Pipeline risk assessment will be undertaken
- Ambient Noise
 - Geotechnical/Geo-Hazards report analyzing ambient noise and impact on school operations to be completed before any potential school project moves forward

Discussion of CDE Site Selection Criteria (cont.)

- Airport Operations
 - Property not within two miles of any airport
- Toxics and Soil/Groundwater Hazards
 - Property not recorded in databases maintained by the State Water Resources Control Board or the Department of Toxic Substances Control
 - Phase I assessment identifies several historical land uses and current observations that could pose concerns re soil and groundwater
 - Phase II environmental assessment pending
 - Phase I environmental site assessment indicates that asbestos and lead paint may be present in the existing building on site.
 - If needed, mitigation plan will be developed

Discussion of CDE Site Selection Criteria (cont.)

- Hazardous Air Emissions/Hazardous Materials
 - Phase I environmental report reflects various sources or emission permitted by the BAAQMD; further analysis of these emissions/emitters will take place prior to any project going forward
- Odors, dust, smoke, pesticides
 - Phase I environmental report reflects various sources or emission permitted by the BAAQMD; further analysis of these emissions/emitters will take place prior to any project going forward

Discussion

- Questions
- Public Comment
- Next Steps