



## REGULAR MEETING AGENDA

**Date:** 10/19/2015  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

### A. Call To Order

### B. Roll Call – Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken (Chair), Strehl (Vice Chair)

### C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

### D. Public Comment

Under “Public Comments,” the public may address the Commission on any subject not listed on the agenda within the jurisdiction of the Commission and items listed under Consent. When you do so, please state your name and city or political jurisdiction in which you live for the record. The Commission cannot respond to non-agendized items other than to receive testimony and/or provide general information

### E. Consent Calendar

Items on the consent calendar are considered routine in nature, require no further discussion by the Planning Commission, and may be acted on in one motion unless a member of the Planning Commission or staff requests a separate discussion on an item.

- E1. Approval of minutes from the September 21, 2015 Planning Commission meeting. ([Attachment](#))  
***Continued from the meeting of October 5, 2015.***

### F. Public Hearing

- F1. **Use Permit/Farnad Fakoor and Aria Vatankhah/755 Cambridge Avenue:** Request for a use permit to demolish two single-family dwelling units and to construct two two-story, single-family dwelling units on a substandard lot with regard to lot width in the R-2 (Low Density Apartment) zoning district. The project includes a request for excavation within the right side setback for basement lightwells. As part of the project, two heritage laurel trees in poor condition on the left side of the parcel are proposed for removal. ([Staff Report #15-018-PC](#))
- F2. **Use Permit/Lauren Goldman/219 Santa Margarita Avenue:** Request for a use permit to construct a rear addition and conduct interior modifications to an existing nonconforming single-story residence in the R-1-U (Single-Family Urban) zoning district. The value of the proposed work would exceed 75 percent of the replacement cost of the existing structure. As a part of the

proposal, a heritage tree (Norway spruce) in the rear yard is proposed for removal. ([Staff Report #15-019-PC](#))

- F3. **Development Agreement Annual Review/Facebook/1 Hacker Way and 1 Facebook Way:** Annual review of the property owner's good faith compliance with the terms of the Development Agreements for their East and West Campus Projects. ([Staff Report #15-020-PC](#))
- F4. **Architectural Control, Major Subdivision, and Below Market Rate (BMR) Housing Agreement /Hunter Properties/133 Encinal Avenue:** Request for architectural control and major subdivision to allow the demolition of existing garden nursery buildings, and construction of 24 attached townhouse-style residential units and associated site improvements in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. A tentative map would be required to create 24 residential condominium units. Five heritage trees are proposed for removal as part of the proposed development. In addition, the applicant is requesting approval of a Below Market Rate (BMR) Agreement for the provision of three on-site BMR units for this project. ([Staff Report #15-021-PC](#))

## **G. Regular Business**

- G1. **Architectural Control and Below Market Rate (BMR) Housing Agreement /Lane Partners/1010-1026 Alma Street:** Request for architectural control to demolish two existing commercial buildings, construct a new three-story office building with two underground parking levels in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The proposed development would be at the public benefit bonus level, which would exceed the Base level floor area ratio (FAR) for office uses on the subject site. The public benefit bonus proposal includes the provision of public plazas along Alma Street, a small pavilion for a cafe, and a financial contribution to the City. A lot merger would merge five existing parcels into one parcel. As part of the proposed project, two heritage trees are proposed for removal. In addition, the applicant is requesting approval of a Below Market Rate (BMR) In Lieu Fee Agreement for this project. ***Continued to the meeting of November 2, 2015***

## **H. Commission Business**

## **I. Informational Items**

- I1. **Future Planning Commission Meeting Schedule** – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: November 2, 2015
  - Regular Meeting: November 16, 2015
  - Regular Meeting: December 7, 2015
  - Regular Meeting: December 14, 2015

## **J. Adjournment**

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at [www.menlopark.org](http://www.menlopark.org) and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at [menlopark.org/notifyme](http://menlopark.org/notifyme). Agendas and staff reports may also be obtained by contacting Vanh Malathong at 650-330-6702. (Posted: 10/15/2015)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



## REGULAR MEETING MINUTES - DRAFT

**Date:** 9/21/2015  
**Time:** 7:01 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

Chair Onken called the meeting to order at 7:00 p.m.

Present: Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken (Chair), Strehl (Vice Chair)

Staff: Justin Murphy, Assistant Community Development Director, Leigh Prince, City Attorney, Nikki Nagaya, Transportation Manager, Deanna Chow, Principal Planner, Tom Smith, Associate Planner

### A. Reports and Announcements

Senior Planner Chow said that the City Council on October 6, 2015 would conduct its biennial review of the Specific Plan and consider the General Plan and M-2 Area Zoning Update. She said that comments from tonight's meeting on the General Plan and M-2 Area Zoning Update would be provided to Council.

### B. Public Comment

Ms. Pamela Jones, Menlo Park, said she received the notice about the General Plan and M-2 Zoning Update, but the notice did not indicate it would affect the area where she lived.

### C. Consent Calendar

Commission Action: M/S Strehl/Goodhue to approve minutes as listed in C1 and C2 to include the comments on those minutes submitted by Commissioners Goodhue and Kadvany prior to the meeting.

C1. Approval of minutes from the August 3, 2015 Planning Commission meeting. (Attachment)

C2. Approval of minutes from the August 17, 2015 Planning Commission meeting. (Attachment)

Motion carried 7-0.

Chair Onken asked if the Commission wanted to approve under consent or pull item C3 for discussion. He said if the latter he would need to recuse himself due to the proximity of his property to the subject property. Commissioner Strehl said her motion was meant to include all three items on the consent calendar with the modifications to the minutes as submitted by Commissioners Goodhue and Kadvany.

Chair Onken asked if the other Commissioners understood the motion had been for the entire consent calendar, to which he received positive responses. Senior Planner Chow asked Chair Onken about his vote to approve considering the inclusion of C3. Chair Onken asked if the Commission could take a separate vote on C3 as he could not vote on that item.



Commission Action: M/S Strehl/Ferrick to approve consent calendar Item C3 as recommended by staff and recognizing that Chair Onken was recused from consideration of the item.

- C3. Architectural Control/Anthony Chau/132 Stone Pine Lane: Request for architectural control for exterior modifications to the front façade, enclosing the existing second floor balcony to enlarge the existing kitchen and creating an addition on the third floor to expand the existing master bedroom to the edge of the existing third floor deck of a townhouse located in the R-3 (Apartment) zoning district. (Staff Report # 15-013-PC)
1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current CEQA Guidelines.
  2. Make findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:
    - a. The general appearance of the structure is in keeping with the character of the neighborhood.
    - b. The development will not be detrimental to the harmonious and orderly growth of the City.
    - c. The development will not impair the desirability of investment or occupation in the neighborhood.
    - d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking.
    - e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.
  3. Approve the use permit subject to the following **standard** conditions:
    - a. Development of the project shall be substantially in conformance with the plans prepared by Anthony Chau & Partners LLC, consisting of eight (8) plan sheets, dated received September 17, 2015, and approved by the Planning Commission on September 21, 2015 except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
    - b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, San Mateo County Health Department, and utility companies’ regulations that are directly applicable to the project.
    - c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
    - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations

of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.

Motion carried 6-0 with Commissioner Onken recused.

#### **D. Public Hearing**

- D1 Use Permit/CardioKinetix, Inc./1360 O'Brien Drive: Request for a use permit for the storage and use of hazardous materials related to the development and manufacture of cardiovascular implants and catheters to treat heart-related conditions, in an existing building in the M-2 (General Industrial) zoning district. All hazardous materials would be used and stored within the existing building. (Staff Report #15-014-PC)

Staff Comment: Planner Smith said staff had not updates to the written staff report.

Public Comment: Mr. Brett Hale, CFO, CardioKinetix, showed the Commission the medical device, an implant to treat heart failure, that his company had developed, noting they were currently on Hamilton Avenue, and were pleased they could keep their business in Menlo Park at 1360 O'Brien Drive to continue their development of this heart treatment.

Chair Onken closed the public hearing.

Commission Comment: Chair Onken said they had received the hazardous materials list all of which met codes and guidelines per the authorizing agencies. Commissioner Ferrick said she liked the suggestion of the addition of another emergency number in their emergency response plan as recommended by the SFPUC. She confirmed with the applicant that was acceptable to include that additional phone number. She moved to approve to approve as recommended and with that addition. Chair Onken seconded the motion.

An individual in the audience asked to speak. Chair Onken explained he had closed the public hearing but reopened it to allow the person to speak.

Ms. Bridgit Louie, Menlo Park, said that this property is immediately adjacent to the City of East Palo Alto and asked if residents in that city had been noticed about this project.

Chair Onken asked if this project had been noticed to the City of East Palo Alto. Planner Smith said notices were sent to all properties within a quarter-mile radius of the subject property including residents within that radius in East Palo Alto.

Commissioner Ferrick thanked the speaker for coming forward and noted that this application had a short list of hazardous materials and those were used in small quantities.

Chair Onken closed the public hearing.

Commission Action: M/S Ferrick/Onken to approve as recommended in the staff report.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.

2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following standard conditions:
  - a. Development of the project shall be substantially in conformance with the plans provided by DES Architects/Engineers, consisting of seven plan sheets, dated received September 3, 2015, and approved by the Planning Commission on September 21, 2015 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - b. Prior to building permit issuance, the applicant shall comply with all sanitary district, Menlo Park Fire Protection District, and utility companies regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. If there is an increase in the quantity of hazardous materials on the project site, a change in the location of the storage of the hazardous materials, or the use of additional hazardous materials after this use permit is granted, the applicant shall apply for a revision to the use permit.
  - d. If there is an increase in the quantity of hazardous materials on the project site, a change in the location of the storage of the hazardous materials, or the use of additional hazardous materials after this use permit is granted, the applicant shall apply for a revision to the use permit.
  - e. Any citation or notification of violation by the Menlo Park Fire Protection District, San Mateo County Environmental Health Department, West Bay Sanitary District, Menlo Park Building Division or other agency having responsibility to assure public health and safety for the use of hazardous materials will be grounds for considering revocation of the use permit.
  - f. If the business discontinues operations at the premises, the use permit for hazardous materials shall expire unless a new business submits a new hazardous materials information form and chemical inventory to the Planning Division for review by the applicable agencies to determine whether the new hazardous materials information form and chemical inventory are in substantial compliance with the use permit.
4. Approve the use permit subject to the following **project-specific** conditions:
  - a. The emergency response plan shall include the phone numbers of the San Francisco Public Utilities Commission's Millbrae Dispatch, West Bay Sanitary District, Silicon Valley Clean Water, and all other standard relevant agencies in the event of an accidental spill or discharge.

Motion carried 7-0.

Chair Onken noted that Commissioner Combs would need to recuse himself from the consideration of the General Plan and M-2 Area Zoning Update. Commissioner Ferrick asked why as all of the

Commissioners owned property within the General Plan area. Commissioner Combs said it related to the change in zoning for the M-2 area in which his employer was one of the largest landowners. He said that could relate to a financial impact for his employer, and he could then be considered to have a financial interest. He said for other parts of the General Plan update and other zoning areas he may be able to participate.

## **E. Scoping Session**

- E1. City of Menlo Park General Plan and M-2 Area Zoning Update – The proposed General Plan provides an update to the City's Land Use and Circulation Elements, which focuses on potential land uses changes in the M-2 Area (the business parks generally located between Highway 101 and Bayfront Expressway) and the overall citywide circulation system. The associated M-2 Area Zoning Update would implement specific programs in the proposed General Plan Update to help guide future development in the M-2 Area. (Staff Report # 15-015-PC)

The City has prepared a Notice of Preparation (NOP) for this project and will be preparing an Environmental Impact Report (EIR). The Scoping Session allows for input from Planning Commissioners and the public on specific topics that they believe should be addressed in the environmental analysis.

Staff Comment: Senior Planner Chow introduced City Attorney Leigh Prince, Transportation Division Manager Nikki Nagaya, and consultant Charlie Knox, PlaceWorks. She said they would do one presentation on both items related to the General Plan and M-2 Zoning Update.

Mr. Knox made a PowerPoint presentation. He briefly reviewed the Council's directives for the project and the project schedule. He said the land use policy outline looked at topics, part of which were carryover from the existing General Plan with goals of orderly development related to neighborhood preservation and serving neighborhoods, business development and economy, a largely referential goal from the General Plan to the Downtown/El Camino Real Specific Plan, and the emphasis on the importance of open space and sustainability. He referred to the maximum development map prepared for the environmental impact report and noted that it did not mean everything shown would be developed in the Bayfront area but showed what was being analyzed for the environmental impact report so some level of development within that might be mitigated appropriately for the various subjects covered by the California Environmental Quality Act (CEQA). He showed the draft of the zoning framework that would allow for that to happen and proposed new districts: Office, Life Science, Residential/Mixed Use, and carryovers from some existing commercial and industrial districts. He said those containing the notation –B would allow developers additional density / intensity beyond what the General Plan currently allowed specifically in exchange for the provision of community benefit subject to approval of the Planning Commission and City Council. He said unique about this General Plan was the movement toward a mix of uses to create a live/work/play environment in and around the Belle Haven neighborhood and M-2 area through single-use districts that would allow certain amounts of the other types of uses. He said the idea was to create the live/work/play environment along or as close to Willow Road as possible and put services into the Chilco/Jefferson Drive/Haven for day and night time activities to make these areas vibrant places.

Mr. Knox said the circulation element was looking at a more modern approach to traffic/road assessment beyond the traditional approach of looking at roads just serving automobiles. He said this included safety, complete streets, sustainability, health and wellness through biking and walking, support of transit, transportation demand management options, and controlling parking. He noted

the traffic classification map differed from the existing one in that it looked at the best routes dependent upon the travel mode being used.

Mr. Knox said there had been three General Plan Advisory Committee (GPAC) meetings since June and two well-attended public workshops in September. He said comments most recently received said it was great new traffic was being mitigated but asked what was being done with existing traffic. He said there was a comment to establish an affordable housing requirement so even in the residential / mixed use portion of the Bayfront area they were looking at what percent of housing should be required to be below market rate or somehow otherwise be restricted for people who already work in Menlo Park or have contracts to work in Menlo Park such as teachers, police and fire/emergency personnel. He said stronger voices about the needs for more parks and open space in Belle Haven had arisen more recently. He said they heard a consistent comment about community benefits that emerged more strongly in the last several months related to people's desire to know what benefits could be and how much things cost as that was important for them to know before they could think about how much more development should or should not be allowed. He said they also received a specific comment about needed bicycle parking at Tinker Park to serve Hillview School students.

Mr. Knox said CEQA required the City to disclose the effects on the environment of any project. He said a General Plan was programmatic and in itself did not result in any development. He said the Program EIR for the General Plan described what could potentially happen in the years until 2040. He said a benefit to property owners was if approved and additional development was included it would allow for the possibility of streamlined environmental review for projects that comply with the zoning in the General Plan update. He said scoping was another chance to weigh in on what the EIR should address in addition to the 30-day comment period in June/July on the Notice of Preparation (NOP). He said all of the comments received will be considered in the draft EIR, but the comments received during the 45-day comment period for the draft EIR would be responded to in writing. He said there were six to eight more chances to comment on the Program EIR and the Plan update and zoning. He noted the topics for consideration under CEQA and that economics was not one of them. He said they had tried to self-mitigate environmental impacts as much as possible in the development of the General Plan and M-2 Zoning Update.

Public Comment: Ms. Patti Fry, 24-year Menlo Park resident and former Planning Commissioner, said when she served on the Commission from 2000 to 2004 the 1994 General Plan was already fully built out, and that had been achieved before the year 2000. She said the amount of development possible under those zoning rules has never been studied. She said the potential growth using the existing zoning rules for the rest of the City that was not part of M-2 was included in the no development project alternative. She said it would be important to determine whether those 1994 zoning rules still worked for the City. She suggested an alternative would be to analyze what development exists and what has been approved so far as a base line and then to have an alternative to look at the increment that was possible in the City using the current rules and see what that means. She said part of the reason she made this suggestion was the concern of Suburban Park residents about increased traffic hampering their ability to get out of their neighborhood. She noted the Menlo Gateway Project that was not built but approved; very large projects under the Specific Plan emerging; and the Ravenswood/Alma intersection project and those indicated the pressures of having a built out City. She said it was important to evaluate the existing increment for development specifically and then look at what the proposed changes in the M-2 would do additionally. She said the City needed to be comfortable that all of the parts of the General Plan would work including the 1994 zoning, the M-2 and policy goals and programs.



Chair Onken said that comments should be held to three minutes or less.

Ms. Adina Levin, Transportation Commission and GPAC, said she was representing herself. She said the staff report discussed how typically EIR scenarios cover a greater amount of development plus a lesser amount of development that would have lesser impacts. She said another dimension important to both Menlo Park and the greater region was the relationship between jobs and housing and transportation impacts. She said she thought that staff and the consultants could analyze scenarios on what the traffic impact was when there were more jobs and less housing or a closer balance wherein more people would have the option of not driving to work.

Mr. Steve Van Pelt, 32 year City resident, said he wanted to amplify some of the comments included in Attachment H. He said one from Ms. Levin asked for an analysis of the traffic and circulation impacts on Willow Road and another from the Fire District Chief to look at traffic and circulation impacts upon the Fire District's response times, and from the City Manager of East Palo Alto to look at the impacts on that City. He suggested that landing zones for helicopters be established in conjunction with the Fire District in the area toward 101 and beyond noting the traffic congestion that inhibits emergency response. He said a heliport sounded expensive but what he meant were landing zones for helicopters. He said the pedestrian/bicycle crossing discussed for Middle Avenue with the proposed graded separation needed to be expanded to allow for emergency vehicle access, and this needed to be included in the General Plan update.

Ms. Eileen McLaughlin, Citizen's Committee to Complete the Refuge, said they had previously sent in a letter but she would like to emphasize the need to consider sea level rise. She read from a document prepared by the Coastal Commission on sea level rise noting that BCDP did not yet have an equivalent document. She read: *The notion of stable, predictable geography in which we live, work and build permanent buildings will be off the table in decades ahead (Little Hoover Commission 2014). Locations that might have seemed relatively safe from flooding 20 to 30 years ago may now be shown to have greater vulnerability due to sea level rise. Sites that might have seemed safe 80 to 100 years ago might only be safe for another 40 to 50 years. As coastal change accelerates it will become more apparent that development close to the coast cannot be treated in the same way as more inland development where hazardous conditions may be less dynamic. Coastal dynamics have long been a part of land use planning and considerations in project design. However, a focus on this change will grow in importance with the rise in sea level. This may mean as properties are evaluated for a proposed development the type and density of the proposed development may need to change to address the dynamic nature of the property and the changing nature of hazards.* She said they hoped that the General Plan Update EIR process would have a very thorough analysis of what kind of planning process as that the Coastal Commission had developed might be suitable for Menlo Park.

Mr. Tim Tosta said they were moving away from a congestion model and level of service (LOS) measurements to a vehicle miles traveled (VMT) measurement that refocused attention from traffic delay to the air quality impacts that arise from people traveling either longer or shorter distances. He said the difficulty with the LOS model was that it was a car focused model and did not look at other traffic impacts. He said the state put out VMT information last year for comment and there had been a furor as to what was appropriate VMT calculation and the methodologies, and so much so that the state withdrew their guidance. He said CEQA has always had an overlying methodology that if something works, and it can be proved, use it. He said Menlo Park should get ahead of the curve and start helping people understand the more complex traffic relationships that come out of using a VMT model and opening up occasions and methodologies of looking at traffic through a different lens. He said CEQA was not very helpful in telling what the underlying conditions were in the region. He

said cities were in competition with another through the traditional congestion model to be the first and the biggest as the more a city could build out and use the available capacity of the roads, the greater advantage it had. He said with this phase of the EIR and with Facebook projects and others coming that he hoped for an intelligent conversation about what was possible inside Menlo Park. He said other cities would be very happy to use the capacity left by this City and that would severely reduce the number of projects in Menlo Park. He said where they were in the traffic analysis and traffic conversation was not where they needed to be to make intelligent long term decisions.

Commission Comment: Chair Onken thanked the GPAC for all of the work they had done on the General Plan and M-2 Zoning Update. He asked if Mr. Knox or staff would like to address any of the comments made by the public.

Mr. Knox said in reference to the no project alternative and studying the available development potential under the current General Plan as another project alternative that very early in the process they had done a rough calculation and found there was about as much citywide development available now as what was proposed in just the M-2 area or about 2,000,000 square feet. Assistant Community Development Director Murphy said that the round number of 2,000,000 square feet citywide equated to approximately 1.6 million in the M-2 and approximately 400,000 square feet in the rest of the City. Mr. Knox said there was about as much development that could occur citywide as what was being potentially looked at in this maximum development potential under the EIR just for the M-2. He said the tools available that would be required to be put in place for development were very different from what existed for development that would be allowed under the existing General Plan and zoning. He said traffic impact mitigation, traffic demand management, parking maximums instead of minimums, and requirements for employees to not drive to work at all or not during commute times were things that could be placed on new development being allowed by the changes to the General Plan and planning. He said he thought Ms. Fry was saying that not everything that could be built under the 1994 General Plan had been and suggested they explore that alternative in detail. He said the scope of the General Plan update called for them to analyze in detail the proposed project and did not call for that detailed level of analysis for the no project alternative.

Commissioner Ferrick said Ms. Fry had indicated the build out under the 1994 General Plan had occurred by 2000 which indicated there was no developable square footage remaining. Mr. Knox said he understood that when the General Plan was last updated in 1994 that whatever the estimate had been for what could be built was less in Ms. Fry's view than what had been built and there was still potential for more development under existing Plan. He said they had characterized what could happen as part of the project under CEQA in the Bayfront area, and although they had looked parcel by parcel in the rest of the City, they had not been charged with comparing what could be built in the rest of the City to what had been characterized 21 years ago. He said there was approximately 2,000,000 square feet that still could be built under the 1994 General Plan.

Commissioner Kadvany said he thought Ms. Fry wanted a base line of what was here now and what was the remaining base level of development. He asked if they were being told this simple request could not be done under CEQA.

Mr. Knox said the answer to Ms. Fry's question was that there was about 2,000,000 square feet of non-residential development that could happen in Menlo Park under the existing General Plan zoning. He said he thought Ms. Fry got that but she would like to see that increment of growth evaluated in detail as the project itself would be evaluated under CEQA and add that to the EIR. He said what he thought was wanted was to analyze the remaining square footage of build out under the existing Plan and develop mitigations for them. Commissioner Kadvany asked if there could be

some higher level aggregate analysis and whether the project scope and budget might be amended to include that if it was helpful to the City.

Commissioner Strehl said she appreciated Ms. Fry's comments. She said going from the 1994 level to what was now being proposed did not account for what could occur already and did not account for all the potential trips and impacts on the City. She said she lived near Willow Road and experiences the traffic impacts every day. She said there was some merit in Ms. Fry's suggestions. She said it was not to look at mitigations citywide but to understand what the impacts were from that increment allowed under the existing General Plan as that was not being studied.

Mr. Murphy said the additional development that was a potential under the existing General Plan would be analyzed in the traffic analysis and the water analysis as part of what was termed background. He said he thought Ms. Fry was asking for some of that to be discretely reported as opposed to being aggregated into the background. He said the basic analysis would factor in that other background growth.

Commissioner Strehl said in terms of the background people might assume that it was the traffic that existed today but potentially there could be much more traffic. Regarding Mr. Tosta's comments that there was a lot of discussion at the GPAC about VMT and using that analysis versus LOS, she said people were not comfortable having both methods and reporting that in an environmental document or traffic impact reports. She said together they were important. She said LOS at an intersection was LOS at an intersection and there were many levels of VMT but it did not necessarily tell what was happening on the ground.

Commissioner Kadvany said he agreed with Commissioner Strehl that it was not just LOS or just VMT that should be used. He said traffic was a multi-dimensional study with multiple outcomes. He said there were problems with LOS metrics but there was a well-established nexus through decades of how mitigations were funded through traffic analysis. He said it would be difficult to re-establish that. He said it was critical that the City not give up its leverage to have developers help fund roadways and all kinds of transit improvements because of the changing background in CEQA. He said it would be helpful for all the decision and policy makers, and residents in the City to understand all of the outcomes of transportation. After comments by Chair Onken regarding the breadth of scope and topics considered under the EIR, Commissioner Kadvany said as mentioned by one of the speakers there were traffic impacts related to emergency response and that might be included in the EIR scope.

## **F. Study Session**

- F1. City of Menlo Park General Plan and M-2 Area Zoning Update – The proposed General Plan provides an update to the City's Land Use and Circulation Elements, which focuses on potential land uses changes in the M-2 Area (the business parks generally located between Highway 101 and Bayfront Expressway) and the overall citywide circulation system. The associated M-2 Area Zoning Update would implement specific programs in the proposed General Plan Update to help guide future development in the M-2 Area. (Staff Report #15-015-PC)

The Study Session allows the Planning Commission and public to become more familiar with aspects of the project. In addition to the EIR, the City will also be preparing a Fiscal Impact Analysis (FIA) to analyze the fiscal impacts of the project on the City and other public agencies. The General Plan and Zoning Ordinance Amendments and associated environmental and fiscal documents will be reviewed by the Planning Commission and reviewed and acted on by the City Council at



subsequent public hearings.

Mr. Knox said Attachments I, J and K were the public review draft of land use and circulation elements that were presented to the GPAC on August 24 and were part of the community workshops on September 2 and 9. He said Attachment L contained staff and consultants' recommended changes to those elements with strikeouts showing, which captured everything from the August 24 GPAC meeting and the two public meetings.

Public Comment: Mr. Jon Johnston, Fire Marshall, Menlo Park Fire Protection District, said he had brought copies of a letter for each of the Commissioners from Fire Chief Schapelhouman. From the Fire Chief's letter: He said they had been happy to work with City staff to make sure their comments and considerations were received. He said they appreciated provisions under life and safety related to the District's needs. He said on page 135 in addition to their primary response routes K5 they would like to add a single page map of all of the traffic control devices district-wide. He said that information was on their website. He said on page 136 under the emergency response coordination paragraph, their District Board recently adopted a time-based performance standard on September 15, 2015, which they believed should be referenced in this paragraph related to acceptable response times. He said on pages 140 through 142 in table 1, descriptions of street classifications, they believed that emergency vehicles should be added under mode priorities of transportation similar to pedestrian, bicycle, transit and vehicle. He said page 138, goals, circulation 1, provide and maintain a safe, efficient, attractive, user-friendly circulation system, they asked that the term safe be augmented to include public safety as it applied to emergency services. Page 152, policies in circulation, Q.14, they recommended adding emergency response times as the measurement. He said Page 155, goals in circulation 3, broadly addressed congestion as it affected emergency response. On Page 155, policy circulation 3.3, they agreed and supported emergency transportation technology and traffic pre-emption but noted technology might not be effective at times due to gridlock, traffic and roadway design. He said pre-emption had been installed on Willow Road but during peak commute, congestion coupled with the roadway design that favored medians, bulbouts and other devices, emergency responders had a very difficult time negotiating equipment through those areas and that extended emergency response times. He said emergency vehicles were now responding through Palo Alto and University Avenue to avoid Willow Road and many times against traffic flow just to maintain acceptable response times.

Ms. Diane Bailey, Executive Director, Menlo Spark, said her local non-profit organization was working to make Menlo Park climate neutral in the next 10 years. She said her comments would focus on the climate change impacts of the General Plan and M-2 Zoning Update. She said last year was the hottest year on record since records had been taken and this year seemed like it would top that. She said climate change was a growing threat to their community and they felt it needed to be more prominently accounted for in the General Plan process. She said this Plan process was the most powerful tool in cities to create changes needed in citywide infrastructure to support climate action plan goals. She said they supported the draft Plan as it was an excellent start of the process and included many key goals, policies, programs and projects needed to make Menlo Park more sustainable, healthy and vibrant. She said the Plan process needed to be joined with the climate action plan. She said Menlo Park has a goal to reduce greenhouse gas pollutants by about 27% by 2020 and the Plan needed to help move that in the right direction. She said they sent comments to the GPAC in July, and they have been providing sample language from other General Plans and updates in other cities and examples of programs done well. She said they would submit those examples in support of their recommendation in a forthcoming letter. She said for now she wanted to highlight measures that were key: sustainable building standards, stronger support for alternatives to driving, and restructuring public benefit so they were clear and could be easily anticipated. She

said regarding sustainable building standards that Menlo Park was planning on adding over 2,000,000 square feet of new building development. She said they should make sure that the new buildings would not add to the climate debt, pollution and traffic congestion. She said the climate debt aspect had not been fully addressed and if it was addressed through the EIR process, they would look forward to that. She said that net zero energy buildings and standards were the best tools to stem additional greenhouse gas emissions from new development. She said net zero energy buildings are developments that created the same amount of energy as it used. She referred to solar and other renewable energy production and using the most energy efficient equipment and design standards available. She said the state was mandating net zero energy new residential development by 2020 and the same for new commercial buildings by 2030. She said that over 60 buildings have met the net zero energy standards within the Bay area. She said they would send examples of those. She said in Menlo Park there was the opportunity to link all of these sustainable practices together.

Ms. Patti Fry said her request was that they evaluate where they were now and what was possible under the current rules and then discretely look at what was being proposed in addition so that in the General Plan operation they were able to handle the growth that was coming. She said through the goals, policies and programs there should be a way to implement monitoring of whether or not they were losing housing, retail, achieving the kind of housing / job goals they would like, and the things that would self-mitigate, and not just in the 2,000,000 square feet of commercial. She said it was the General Plan update process that would allow them to go back and modify the existing rules if they were not working for the City.

Ms. Vicky Roble, Belle Haven, said she agreed with much that had been said and noted the City had done a tremendous number of studies and surveys. She said her concerns were about emergency response. She said there were a lot of elderly people in the Belle Haven community and throughout the City and they needed to look at how emergency access for them was available. She said her other concern was with the 2,000,000 square feet of commercial development possible in the M-2. She said beyond traffic congestion her concern was how such development would impact their beautiful bayfront and the animals that inhabit the area. She said car emissions would pollute the area. She said regarding bicycle lanes that a person riding a bike on a road with bumper to bumper traffic would be inhaling pollutants. She said it was contradictory to have bike lanes and not eliminate car traffic. She urged the City to not only study the impacts on the environment but study the impacts on Belle Haven and its residents. She said they were losing so much of Menlo Park and noted Sunset Publishing. She said she wanted communities to be integrated and asked how that would be done with the new communities being built around Belle Haven. She said they needed to keep their diversity and they needed housing for blue collar / service workers, non-profit employees and teachers. She suggested that buildings on properties bought by Facebook be reused and not demolished.

Ms. Pamela Jones said the reason she made the comment early in the meeting regarding notification was that if they wanted to include the community east of Bayshore, the most affected community, they needed to reach out more to people with information that explained the process in understandable language. She said the City needed to do some door to door outreach to talk to people who might hold two jobs or people who were afraid because they were renters. She said they needed to look at what was happening for instance with people making left hand turns from Chilco onto Hamilton in front of the school. She said they needed to look at how the community was changing and maybe changing back to what it was before 1955. She said the Belle Haven residents were being moved out, which she hoped the City would take under consideration.

Ms. Adina Levin said the staff report indicated staff was working on housing related policies that would be presented to the City Council related to the concerns people were rightly bringing up about the community. She said the concerns raised about the metrics of VMT and LOS related to LOS historically being used to get funding to make transportation improvements and that moving away from that metric would remove that tool. She said hopefully the policies and programs staff was working on would protect and retain the ability to have development impact fees. She said there were scenarios where if only LOS was used the ability to fund transportation improvements was diminished. She said the tunnel to Facebook would not be mitigation under a LOS scenario because it was not at an intersection, and even if it was replacing a trip with a different mode, LOS did not let that happen. She said circulation goal number 7 was about parking and it talked about in-lieu parking fees. She said one of the more innovative and helpful things some cities in the region were beginning to do was use those development in-lieu fees to reduce driving and not just increase parking supply. She suggested calling them access in-lieu fees.

Ms. Eileen McLaughlin, Citizen's Groups to Complete the Refuge, said they work as a partner to the Don Edwards National Wildlife Refuge, which has 1,572 acres off the shoreline next to the M-2 zone, making it one of the largest property owner neighbors. She said they were concerned that what happened in the M-2 area would happen to the Refuge as well. She said the Salt Pond Restoration Project was important to the City and the Refuge. She said part of that was a flood project working with the City of Redwood City that would do a storm water control that would probably help relieve Haven Avenue flooding. She said the idea of maximum development in an area of sea level rise contingencies and wildlife sensitivities was frightening to them. She said one specific was that Facebook on its east campus was proposing to put 1,500 units of residences that would need rezoning. She said that housing would surround the Ravenswood slough, identified by the U.S. Fish and Wildlife Service as habitat they needed to preserve for two endangered species: the ridgeway rail and salt marsh harvest mouse. She said just across that slough in pond RF3 the threatened snowy plover has created a home. She said residences would push the animals away from the refuge that were meant to serve them.

Mr. Omar Chatty said he was an alternate transportation advocate. He said he hoped there was some way to work with Facebook to have them dedicate a hundred million dollars to overpass State 84 to reduce congestion. He said it was important for pedestrians, bicyclists, emergency access and air quality. He said they needed BART on the Peninsula, and he would like to see it replace Caltrain over time. He said it would be grade separated and safe, shuttles could be used to connect to Facebook and other facilities, it would reduce vehicle miles traveled, increase bus transit and reduce high tech bus need. He said regarding the Don Edwards National Wildlife Refuge that they did not want the Dumbarton rail restored. He said BART would really support TDM programs as it was high capacity and clean, and would support the environment.

Mr. Victor Torreano, San Mateo Building and Construction Trades Union, said they might want to implement in the General Plan to have state certified apprentices work on some of these future projects that would be implemented. He said these apprentices were men, women and youth from the local community trained to build the sustainable buildings mentioned. He said for some of the projects now that workers were coming from distances to work on them and taking their wages back to their home communities.

Mr. Jason Tarricone, Directing Attorney with the Housing Program of the Community Legal Services, in East Palo Alto, said numerous comments throughout the process had been made about the housing affordability crisis, the jobs/housing imbalance, the displacement of Belle Haven residents, and traffic. He said those were tightly linked and by focusing more on affordable housing in the Plan

the City could address traffic at the same time as it addressed jobs/housing imbalance. He said the M-2 zoning did not guarantee or incentivize affordable housing. He said they had options to suggest including using the existing affordable housing overlay and applying that to more of the residential and mixed use areas in the M-2 plan. He said the City right now had no housing impact fee for rental housing and that fee could be adopted to allow funds to either go to affordable housing in other areas or building affordable housing right at the premises. He said Community Legal Services was willing to work with the City on different options.

Chair Onken closed the public comment.

Commission Comment: Commissioner Strehl said at their GPAC meetings the need to set aside or have a requirement that new rental housing have x amount of units for low income housing or below market rate rental housing was raised several times. She asked where that language was in the draft Plan. Mr. Knox said that language would be in the zoning code provisions specifically the regulations for residential and mixed use development in the M-2.

Mr. Murphy said however that there was the question of how that would be structured as current state law did not allow for inclusionary rental housing which meant it would need to be structured as a voluntary program. He said part of the rezoning would be to create the potential for a voluntary program the details of which needed to be developed. He said he saw this occurring as a check-in after they had taken the first pass at rezoning that was scheduled for the October / November timeframe.

Chair Onken asked if as part of this process they could look at the existing ownership BMR rate. Mr. Murphy said the City was part of a 12-city group looking at a nexus study tied to BMR requirements. He said with that nexus study they would be taking the ordinance and guidelines back to the City Council and Planning Commission to see if there are any changes to those programs people would like.

Mr. Knox said on page L1 that housing for all income levels were defined as possible public amenities or benefits.

### Transportation

Commissioner Kahle asked in reference to the speaker's comment about BART whether something regional like that could be addressed in the General Plan. Mr. Knox said he would defer to City staff but he thought it was the Commission's purview to make any recommendation it wanted regarding policy language to the City Council.

Commissioner Strehl said to mitigate traffic impacts on the City that at some point they should be pushing for rail extension across the Bay from Union City to Menlo Park.

Commissioner Ferrick said she wanted to make sure that project impacts on a section of road were not being obscured because in the new street classification it was now being called something other than what it had been.

Ms. Nikki Nagaya, Transportation Manager, said the chart on the screen showed a breakdown of the new street classifications and the traditional street category that would match the 1994 General Plan. She said a thoroughfare would be equivalent to a primary arterial and those thresholds that would be defined in the Traffic Impact Analysis (TIA) would translate across those categories. She said in the

staff report there was a discussion about potential changes to the TIA guidelines all of which were contingent upon the VMT and LOS discussions. She said these classifications in themselves did not necessarily make any changes to the classifications or the thresholds but subsequent changes in policy or how the actual TIA guidelines were structured would make changes farther along.

Commissioner Ferrick said she noticed the section of Willow Road between Hwy.101 and Middlefield Road category had changed to Avenue, and while it did not perfectly match the description of a Thoroughfare it did seem more like a Thoroughfare than an Avenue. Ms. Nagaya said Willow Road had two classifications: Boulevard from Bayfront Expressway to Bay Road which was consistent with the area under Caltrans' jurisdiction today. She said the southern half from Middlefield to Bay was shown as an avenue and that was the section roughly one lane in each direction, and under the City's jurisdiction. She said they used the Thoroughfare classification for Marsh Road and Sand Hill Road. She said a Mixed Use - Avenue seemed to be the closest classification for Willow Road and not Thoroughfare.

Commissioner Ferrick asked about the classification of Bay Road between Willow and Marsh and why that was different from the just mentioned section of Willow Road. Ms. Nagaya said Bay Road in the traditional classification was called a collector street and Willow Road was called an Arterial street. She said in the new classification the section of Willow Road was called a Mixed Use - Avenue and the section of Bay Road between Marsh and Willow would be a Neighborhood Collector.

Commissioner Ferrick asked if a project was developed at the corner of Willow Road and Bay Road what the impacts would be on Bay Road versus Willow Road. Ms. Nagaya said this related to the VMT and LOS discussion but was even broader. She said Commissioner Kadvany had mentioned that no one transportation metric could capture everything and that was true. She said they were proposing to develop the first Transportation Master Plan which would be the first step in a broader city nexus study to identify the transportation infrastructure they wanted to build to solve both the existing transportation problems and potential new impacts from additional development envisioned as part of the General Plan. She said in trying to get away from LOS it was to get away from having project specifically identified issues and toward a system where they would proactively identify where the issues were, identify the solutions, and have development help implement or fund those solutions as opposed to doing broad analyses of intersections and roadway segments for individual projects. She said for the example Commissioner Ferrick mentioned they would not necessarily analyze street impacts specifically but look at the greater context of what improvements had been identified or needed in the vicinity of that project, and task that development with implementing or funding those improvements. Commissioner Ferrick said she liked the idea of proactively solving traffic impacts but asked if it was helpful to have so many different classifications or if that added complexity. Ms. Nagaya said they had about half of the classifications as the total number and a single classification was then split out to either a neighborhood use or mixed use description. She said as they were developing plans and projects for future infrastructure investments it was identifying both the context and the priority for how the street would get designed.

Chair Onken said to clarify that they were looking a draft classification map with the same streets starting with the same categories but with a finer grain of what the City has right now. Ms. Nagaya said the only streets that jumped classifications were in the M-2. She said Constitution, Jefferson, a portion of Chilco, Hamilton, and O'Brien were the ones she recalled being classified as local streets but were now proposed as mixed use collectors because of the character of the development and the traffic volume.



Commissioner Strehl said she liked the idea of a transportation master plan. She asked if the street designations affected how they looked at impacts and future investments. She said she had a problem with the section of Willow Road from Bay Road to Middlefield Road because she did not see that section having any less traffic than the section between Bay Road and Bayfront. She said she did not want these street classifications to negatively affect future decision making in terms of investment and mitigation. Ms. Nagaya said she would be happy to speak with Commissioner Strehl in depth about that section of Willow Road. She said one of the intents of classifying that section as an avenue was to maintain certain characteristics there today while allowing for potential modifications whether it was for emergency access or multi-modal or signal improvements. Commissioner Strehl said she did not think it was sustainable and that in the future they might find they would need to make some changes to Willow Road that they had not anticipated in the past.

Commissioner Kadvany said regarding the measure of LOS and VMT as it was appearing in the draft Plan that he thought they had not sufficiently articulated what they were trying to do with those tools. He suggested a statement of what the philosophy was going forward. He said that as an example the transportation analysis had value laden terms being placed on streets and that would be influential so that people would try to make policy based on how this looked. He said the street classification map would be more challenging noting the indication of priorities for the different classified streets was quite ambiguous. He said for example if they cared about safety and probability of death than bicycle riders on El Camino Real were more likely to be killed than cyclists on less busy streets so that should be a priority and the number of people affected should include the 30,000 vehicle drivers a day on that road. He said the point was that what was identified as a priority had had no meaning outside of the context of what was being looked at. He said there was amazing language in the Plan moving them from the auto-centric view but suggested there needed to be even stronger language with some sub-goals. He said vision zero it was great in the Plan and it's goal was to get the number of traffic fatalities in the City down to zero. He said to him that meant how transportation systems were designed and providing infrastructure for other modes of transit. He encouraged stronger language there about what they were really trying to do. He said they were not quite there in saying what they wanted to do to take the City forward. He said there was not enough detail about Willow Avenue. He asked what their expectation for congestion was as they would live with that for years. He said he wanted to see more articulation on where they were going with the sub-goals and asked if perhaps there could be sidebars.

Commissioner Kahle said BART did not seem to be contemplated in the long term plan, and asked what the mechanism was for that. He said it should be considered in a 20-year plan as eventually San Jose BART would connect with Millbrae BART, and he thought Menlo Park should be ahead of the curve in determining where that would be best located.

Mr. Knox said the BART comment was new and if the Commission wanted to see that included they could make a recommendation to Council regarding that.

Chair Onken said regarding the draft street classification map that these classifications needed to be used carefully to measure things and to envision what they wanted out of a place. He said they needed to get Caltrans' focus on Menlo Parks' concerns and mitigate and develop roads within the City. He said referring back to one speaker's comments about seniors and families with young children that those groups were heavily dependent upon cars and emergency vehicles. He said this should not be overlooked in this process and that they should prioritize some of that development rather than the younger far-reaching ideas of multi-modal transportation. He said he supported the draft language for the transportation element and thought including BART would be good. Queried by the Chair, Mr. Knox said two things not specifically in the program language were the Dumbarton

rail across the Bay and BART service to San Jose and/or Millbrae. Ms. Nagaya asked the Commission to also consider Commissioner Strehl's comments about Willow Road and if they wanted to make a recommendation that the proposed classification be changed.

Chair Onken said he supported any reuse of the Dumbarton rail to Redwood City and the East Bay. Commissioner Ferrick said she supported a more immediate use of that track for bicyclist and/or commuter buses. She said her neighborhood did not like that as a rail corridor. She said if it was connected to BART that might be different. She said it was conceived as a line from Union City to Redwood City and back again so there was no use for that by citizens on this side of the Bay but they would experience the impacts.

Commissioner Kahle said the neighborhood discussion mentioned by Commissioner Ferrick had been about diesel trains and he thought light rail would probably get a better reception. Commissioner Ferrick agreed if it was tied into other transit systems rather than being its own separate one. Commissioner Strehl said she thought in the interim that this rail should be used from basically Facebook to Redwood City for bicycle/pedestrian/buses. She said the possibility of having a rail connection to Union City was still a long way off as it would be costly, and would need a lot of effort to get it back on the table for their regional transportation commission. She said to have BART come down the peninsula would be a formidable challenge because of the funding and public support needed. She said years prior San Mateo County would not put the measure on the ballot for the County to become part of the BART District. She said the current investments were to have a robust railroad connection between Millbrae and San Jose through Caltrain and their electrification and modernization program, and high speed rail. She said she would not like to foreclose the opportunity for change on Willow Road between Middlefield and Bay. She said if they did not do something to accommodate traffic there the traffic would spill into the neighborhoods. She said they could put all kind of alternative goals in for biking and pedestrian transit but she thought that unfortunately use of cars was the preferred mode.

Mr. Knox confirmed with the Chair that there was no consensus to make a recommendation on BAR, an agreed upon use for the Dumbarton rail corridor, or whether Willow Road between Bay Road and Middlefield Road should be classified differently.

### Land Use

Commissioner Kadvany said he thought they could use more language about what was public benefit to include what the City's policies were and where they were going with that. He said in the M-2 many of the amenities would only occur if there was sufficient financing through growth to obtain them. He suggested there were amenities so essential and fundamental that the City needed a policy to make those happen within some identified time period. He said the rail corridor was something along those lines and should be repurposed for pedestrians, bicycles and light transit. He said it would energize the area, and he thought that was something they would want to do that was not dependent upon development above the baseline. He said he did not see enough in the Plan about tree canopy management for city and residential trees. He said they needed stronger language about water management and water supply. He said that under the update he had hoped to see something to move hazardous materials use permits out of the Commission's discretion. He said there was great language about human scale of development and consideration of neighborhood character tending toward design considerations. He said an alternative to design guidelines for residential development was setting a criteria that gave neighbors when a project was near or at maximum floor area a mechanism to have the Community Development Director or Planning Commission review the project.

Chair Onken said they would like some metric or method in the way the General Plan would work to control or enforce aesthetics. He said there was mention of unbundling parking. He said however that the plan still worked off the scenario of how big the parcel was and how much parking would be needed to define the development project. He suggested they look at changing that model and if that was what the City wanted to do he would support that. He said in the M-2 110-feet high buildings might be possible through public benefit and he wasn't sure that was the best thing for the City. He said they should look at what they wanted in the M-2 that would work for everybody and then look at public benefit as a much smaller development driver.

Commissioner Ferrick said she supported sustainable services as shown in goals LU-7 and the policies under that to support energy efficient building. She would like new development to be as close to net zero as possible now, and to do that through the land use policy.

**G. Regular Business**

There was none.

**H. Commission Business**

There was none.

**I. Informational Items**

There was none.

**J. Adjournment**

The meeting was adjourned at 9:25 p.m.

Staff Liaison: Deanna Chow, Principal Planner

Recording Secretary: Brenda Bennett





## STAFF REPORT

### Planning Commission

**Meeting Date:** 10/19/2015

**Staff Report Number:** 15-018-PC

**Public Hearing:** Use Permit/Farnad Fakoor/755 Cambridge Ave.

### Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish two single-family dwelling units and to construct two two-story, single-family dwelling units on a substandard lot with regard to lot width in the R-2 (Low Density Apartment) zoning district, at 755 Cambridge Avenue. The project includes a request for excavation within the right side setback for basement light wells. As part of the project, two heritage laurel trees in poor condition on the left side of the parcel are proposed for removal. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### Site Location

The project site is located at 755 Cambridge Avenue, between Alto Lane and Cornell Road in the Allied Arts area. A location map is included as Attachment B. The adjacent parcels are all also R-2 properties, and are occupied by one- and two-unit residential developments. The greater neighborhood also includes single-family residences that are in the R-1-U (Single Family Urban Residential) zoning district, as well as commercial and residential properties that are part of the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The area does not have a single predominant architectural style, although bungalow, ranch, traditional residential and craftsman styles are common. Nearby buildings are generally one- and two-story in size.

#### Project Review

On July 20, 2015, the Planning Commission conducted a study session on an earlier iteration of the proposal. A selection of these plan sheets is included as Attachment H. At this meeting, the Planning Commission did not make a group action, but provided individual feedback on the proposal, in particular regarding the aesthetics of the design. In general, Planning Commissioners relayed that the proposal would benefit from a fresh approach, with a different architectural style. Since this meeting, the applicant has worked to revise the design, as well as address a few technical items that had been identified earlier by staff.

## **Analysis**

### **Project Description**

The applicant is proposing to demolish the existing, one-story front house and two-story rear duplex, and construct two new residences, both of which would be two stories in height with a basement. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

Each residence would feature four bedrooms, with two on the second floor and two in the basement. The earlier proposal had three bedrooms on each second floor, which may have driven certain design decisions. The proposal would meet R-2 standards for FAL (Floor Area Limit), both for the overall parcel and the second floor. The basement light wells would intrude into the setback on the right side, which may be permitted by use permit, as discussed in more detail later. The project is well within the required daylight plane, and small balconies on both residences would comply with the relevant setback requirements.

The driveway would be kept in generally the same location at the left side of the parcel. Parking for each residence would be provided by a one-car garage and an uncovered space (four spaces total). As noted on the plans, the driveway would not feature any automotive gates in the first twenty feet, in order to ensure that vehicles would not block the public right-of-way while waiting for a gate to open/close.

The applicant is also requesting tentative map approval for the creation of two condominium units, which would allow each of the units to be sold individually. The map is being reviewed concurrently by staff through the administrative review process. For new construction, minor subdivisions can be approved administratively, if a project obtains use permit approval by the Planning Commission. Because the tentative map review occurred while the project was in its earlier iteration, and since aspects of the project have changed somewhat, staff has included a condition of approval (4a) requiring resubmittal of the map and associated documents (e.g. grading and drainage plans), in order to verify that they remain in compliance.

### **Design and Materials**

As described by the designer, the homes are designed as a fusion of Tuscan and southwestern styles, with warm colors and natural materials. The exterior siding would be smooth stucco, with stone veneer at the entrances and chimneys. Windows are specified as simulated divided light, with interior/exterior grids and a between-the-glass spacer bar, as well as wood shutters on certain windows. The basement light wells would be bounded by an ornamental iron railing.

Staff believes the current proposal would be more in keeping with the neighborhood styles and scales, relative to the earlier design. The earlier iteration of the project featured prominent circular corner stair features and a variety of window shapes and sizes, while the revised proposal would present a more muted, cohesive aesthetic. In keeping with positive aspects of the original design, the structures would feature varied forms, limiting the perception of second-floor mass, and the garage/parking areas would not be particularly visible from the street.

### **Trees and Landscaping**

The applicant has submitted an arborist report (Attachment E), which describes the species, size, and conditions of the significant trees on or near the site. The report determines the present condition,

discusses the impacts of the proposed improvements, and provides recommendations for tree preservation. The report has been completely upgraded since an earlier arborist letter was submitted.

The applicant is proposing to remove two heritage trees:

Tree Number	Tree Type	Diameter	Location on Site	Condition
#206	Laurel	20 inches	Left/middle	Poor
#209	Laurel	23 inches	Left/middle-rear	Poor

The City Arborist has reviewed the proposed removals and is tentatively recommending approval, in consideration of the following factors listed in the Heritage Tree Ordinance:

- (1) The condition of the tree or trees with respect to disease, danger of falling, proximity to existing or proposed structures and interference with utility services;*
- (2) The necessity to remove the tree or trees in order to construct proposed improvements to the property;*
- (4) The long-term value of the species under consideration, particularly lifespan and growth rate;*

Two new trees would serve as the heritage tree replacements. For the other existing trees, the arborist report details site-specific protection measures, which will be ensured through recommended condition 3g.

#### Excavation

Use permit approval is required at the right side, for the intrusion of the front unit's light well and associated retaining wall, as well as for the rear unit's light well retaining wall. The front residence's light well would be located relatively close to the property line, although Building Code and related requirements should address potential construction effects. In response to an item of correspondence from the adjacent right-side neighbor, staff has added a condition of approval requiring submittal of a shoring plan, in order to provide greater certainty to this neighbor (condition 4b). These light wells would not be particularly visible from adjacent properties or the public right-of-way.

#### Correspondence

Two items of correspondence are included as Attachment F. The neighbor at 114 Cornell Road submitted an email prior to the study session, stating that the look and feel of the proposed residences do not seem to match that of the surrounding homes and general neighborhood, and questioning whether the proposed rear home would have views to 114 Cornell Road. The applicant reached out to this neighbor with views from the subject property, showing that landscaping and distance would obscure views. The neighbor has not sent additional correspondence to staff since this dialogue. In addition, the right side neighbor, at 775 Cambridge Avenue, submitted an email just after the study session. This neighbor states concerns with the potential for land shifting due to the basement construction. As noted above, staff believes the standard building permit process would address this, but has added a condition of approval for a shoring plan, to provide additional clarity.

### **Conclusion**

Staff believes that the scale, materials, and style of the proposed residence are compatible with those of the greater neighborhood. The design has been revised since the original proposal, and now features a more muted and internally consistent style. The floor area, building coverage, and height of the proposed residence would all be at or below the maximum amounts permitted by the Zoning Ordinance, and the new structure would be well within the daylight plane requirements. The proposed tree removals are based on the poor condition and low long-term value of these specimens, and two replacement trees would be planted. The basement shoring plan will provide additional certainty to the adjacent right side neighbor. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay planning, building and public works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Correspondence
- H. Project Plan Excerpts from July 20, 2015 Planning Commission Meeting

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City

Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

None

Report prepared by:

Thomas Rogers, Interim Principal Planner

Report reviewed by:

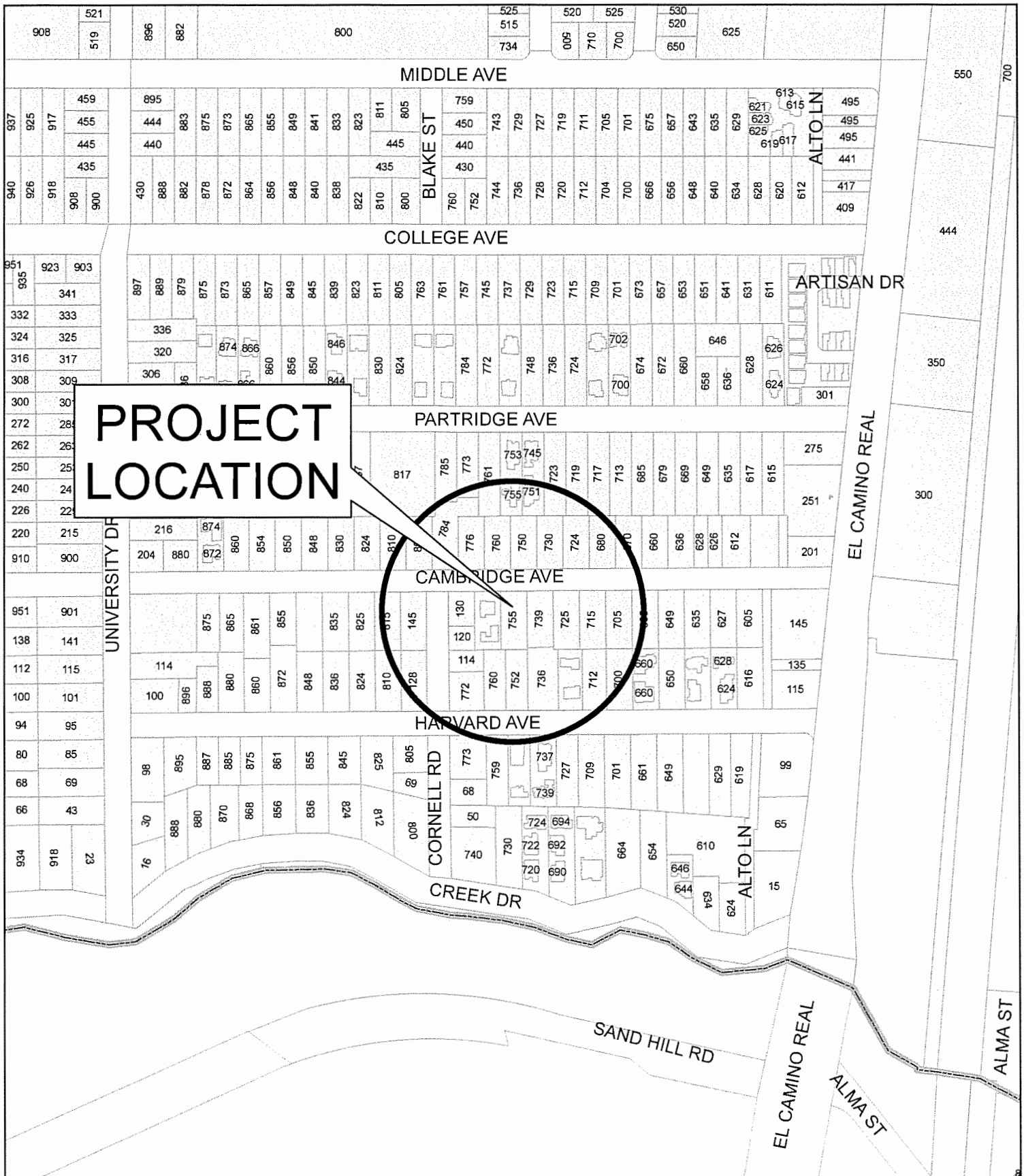
Arlinda Heineck, Community Development Director

755 Cambridge Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 755 Cambridge Ave	<b>PROJECT NUMBER:</b> PLN2014-00082	<b>APPLICANT:</b> Farnad Fakoor and Aria Vatankhah	<b>OWNER:</b> Farnad Fakoor and Aria Vatankhah
<b>REQUEST:</b> Request for a use permit to demolish two single-family dwelling units and to construct two two-story, single-family dwelling units on a substandard lot with regard to lot width in the R-2 (Low Density Apartment) zoning district. The project includes a request for excavation within the right side setback for basement lightwells. As part of the project, two heritage laurel trees in poor condition on the left side of the parcel are proposed for removal.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> October 19, 2015	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current CEQA Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions:             <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Behrooz Nemati Construction, consisting of 18 plan sheets, dated received on October 13, 2015, and approved by the Planning Commission on October 19, 2015, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</li> </ol> </li> </ol>			

755 Cambridge Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 755 Cambridge Ave	<b>PROJECT NUMBER:</b> PLN2014-00082	<b>APPLICANT:</b> Farnad Fakoor and Aria Vatankhah	<b>OWNER:</b> Farnad Fakoor and Aria Vatankhah
<b>REQUEST:</b> Request for a use permit to demolish two single-family dwelling units and to construct two two-story, single-family dwelling units on a substandard lot with regard to lot width in the R-2 (Low Density Apartment) zoning district. The project includes a request for excavation within the right side setback for basement lightwells. As part of the project, two heritage laurel trees in poor condition on the left side of the parcel are proposed for removal.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> October 19, 2015	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
<b>ACTION:</b> 4. Approve the use permit subject to the following <i>project-specific</i> conditions: <ul style="list-style-type: none"> <li>a. Prior to or simultaneous with the submittal of a complete building permit application, the applicant shall submit a revised Tentative Map and any associated documents (e.g., grading and drainage plan and/or hydrology report), reflecting all project changes made since their earlier review, subject to review and approval of the Engineering Division.</li> <li>b. Simultaneous with the submittal of a complete building permit application, the applicant shall submit an engineered shoring plan with supporting structural calculations for the basement excavation, subject to review and approval by the Building Division. Prior to issuance of the building permit, the applicant shall submit documentation of OSHA (Occupational Safety &amp; Health Administration) approval of the shoring plan, subject to review and approval of the Building Division.</li> </ul>			



# CITY OF MENLO PARK

LOCATION MAP

755 CAMBRIDGE AVENUE

DRAWN: THR CHECKED: THR DATE: 10/19/15 SCALE: 1" = 300' SHEET: 1

B1





755 Cambridge Avenue – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	8,107.0 sf	8,107.0 sf	7,000 sf min.
Lot width	60.0 ft.	60.0 ft.	65 ft. min.
Lot depth	135.1 ft.	135.1 ft.	100 ft. min.
Setbacks			
Front	20.0 ft.	25.0 ft.	20 ft. min.
Rear	28.3 ft.	5.0 ft.	20 ft. min.
Side (left)	6.0 ft.	5.0 ft.	6 ft. min.
Side (right)	6.0 ft.	11.0 ft.	6 ft. min.
Building coverage	2,110.7 sf 26.0 %	3,006.0 sf 37.1 %	2,837.5 sf max. 35 % max.
FAL (Floor Area Limit)	3,242.5 sf	3,006.0 sf	3,242.8 sf max.
Square footage by floor	1,578.4 sf/1st 1,215.1 sf/2nd 2,377.7 sf/basement 448.0 sf/ garage 84.3 sf/porches	2,255.0 sf/1st 751.0 sf/2nd	
Square footage of buildings	5,664.5 sf	3,006.0 sf	
Building height	25.2 ft.	~22 ft.	28 ft. max.
Parking	2 covered/2 uncovered	0 covered/2 uncovered	1 covered/1 uncovered per unit
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees	8*	Non-Heritage trees	9**	New Trees	2
	Heritage trees proposed for removal	2	Non-Heritage trees proposed for removal	0	Total Number of Trees	17

\*Includes one street tree and two trees on neighboring properties

\*\*Includes three trees on neighboring properties

CONSULTANTS	
OWNER Mrs FARNAD FAKOOR 577 CAMBRIDGE AVENUE MENLO PARK CA 94025 TEL: (650) 799-8168 aria.vatankhah@gmail.com	ENERGY CONSULTANTS MILES HANCOCK ENERGY DESIGN GROUP 2149 DARTMOUTH STREET PALO ALTO, CA 94306 TEL: (650)424-1189
STRUCTURAL ENGINEER RAHMANI & ASSOCIATES INC. 1870 HAMILTON AVENUE San JOSE CA 95125 TEL : 408- 377- 4000 FAX : 408- 377- 4001 MRAHMANI@RAHMANIDESIGN.COM	DESIGNER BEHROOZ NEMATI CONSTRUCTION LICENSE # 986104 2260 HOMESTEAD CT LOS ALTOS, CA 94024 TEL: (310) 560-2314 b.n.a.associates@gmail.com

## PROPOSED NEW 2 STORY, TWO SINGLE FAMILY HOME IN

755 CAMBRIDGE AVENUE , MENLO PARK CA 94025

Mrs. FARNAD FAKOOR

### PROJECT INFORMATION

LOCATION : 755 CAMBRIDGE AVENUE	APN : 071-433-030	CONSTRUCTION TYPE : V-B
EXISTING USE : 2 SINGLE FAMILY DWELLING	NET LOT AREA: 8,107 SQ. FT.	ZONING: R2
PROPERTY USE : NEW SINGLE FAMILY RESIDENCE	APPLICANTS : MRS. FARNAD FAKOOR	PROPERTY OWNER : MRS. FARNAD FAKOOR
DEVELOPMENT STANDARD	PROPOSED DEVELOPMENT	ZONING ORDINANCE
LOT AREA:	8,107 SQ. FT.	8000- 10000 SQ. FT.
LOT WIDTH :	60 FT.	
LOT DEPTH :	135.12 FT.	
SET BACK :		
FRONT SET BACK	20'	BUILDING HEIGHT : MAX. ALLOWABLE : 24 FEET 28 FEET CFC Section 507 : Parcels less than 1/2 acre: Need max 350 feet from public fire hydrant, which is more than Existing 89 feet distance from 776 Cambridge Ave, and therefore the Provision CFC Section 507
REAR SET BACK	20'	
RIGHT SET BACK	6'	
LEFT SET BACK	6'	

#### ALLOWABLE FLOOR AREA FOR TWO STORY STRUCTURE IN R-2 ZONE :

FLOOR AREA LIMIT ( FAL)40% X 8107 =3242.8 sqf /2(FOR EACH HOUSE)=1621.4 S.F  
SECOND FLOOR FAL 15% X 8107 = 1216.05 s.f ( FOR EACH HOUSE) / 2 = 608.025 S.F  
FIRST FLOOR MAXIM 3242.8-1216.05 = 2026.75 (FOR EACH HOUSE) /2 =1013.375 S.F  
MAX LOT COVERAGE %35 X 8107 = 2837.45 S.F > proposed 2137.63 SF  
PARKING: ONE COVERS / ONE UNCOVERED PER HOUSE  
LANDSCAPE : 3961.51 > %40 (OF THE LOT)X 8107= 3242.8  
DRIVEWAY: 1598.88 s.f

FIRE SPRINKLER SYSTEM REQUIREMENT :  
EACH HOME WILL REQUIRES SYSTEM INSTALLED IN ACCORDANCE  
TO NFPA 13-D CONSTRUCTION STANDARD, WITH EACH FIRE  
SPRINKLER SYSTEM SUBMITTED UNDER SEPARATE DEFERRED  
SUBMITTAL (FEE'S REQUIRED), FIRE SPRINKLER SYSTEM TO  
COMPLY WITH MENLO PARK FIRE PROTECTION DISTRICT  
STANDARD.  
RESIDENTIAL FIRE SPRINKLER SHALL HAVE AN INTERIOR  
ALARM,ACTIVATED BY THE FLOW SWITCHES THAT IS AUDIBLE IN  
ALL SLEEPING AREA. FIRE FLOW DATA TO BE PROVIDED AT TIME  
OF DEFERRED SUBMITTAL FOR THE FIRE SUPPRESSION SYSTEM

Arborist Note : Tree Replacement: trees 2068,209 are heritage tree and be replaced  
with two # 15 container Catalina Iron wood

FLOOR AREA	PROPOSED FRONT HOUSE	PROPOSED REAR HOUSE	TOTAL	EXISTING (TO BE DEMOLISHED)	ALLOWED
HABITAT AREA 1st floor	792.7 S.F	792.7 S.F	1585.4 S.F		
GARAGE	220.5 S.F	220.5 S.F	441 S.F		
TOTAL 1ST FLOOR AREA	1013.2 S.F	1013.2 S.F	2026.4 S.F	2255 S.F	2026.75 S.F
HABITAT AREA 2nd floor	607.85 S.F	608.2 S.F	1216.05 S.F	751 S.F	1216.05 S.F
TOTAL LIVABLE AREA WITHOUT BASEMENT	1400.55 S.F	1400.9 S.F	2801.45 S.F		
TOTAL AREA	1621.05 S.F	1621.4 S.F	3242.45 S.F	3006 S.F	3242.8 S.F
BASEMENT AREA	1185.68 S.F	1192 S.F	2377.68 S.F		
TOTAL LIVABLE AREA WITH BASEMENT			5179.13 S.F		

Tree Species	Number	Trunk Diameter	Height	
Shrub (Sycamore)	201	8	12	
Shrub (Sycamore)	202	8	45	
Shrub (Sycamore)	203	10	25	
Shrub (Sycamore)	204	21	45	
Shrub (Sycamore)	205	8	24	
Shrub (Sycamore)	206	25	45	TO BE REMOVED & REPLACED
Shrub (Sycamore)	207	13	45	
Shrub (Sycamore)	208	8	25	
Shrub (Sycamore)	209	22	25	TO BE REMOVED & REPLACED
Shrub (Sycamore)	210	15	15	
Shrub (Sycamore)	211	5	21	
Shrub (Sycamore)	212	10	25	
Shrub (Sycamore)	213	2	18	
Shrub (Sycamore)	214	11	25	
Shrub (Sycamore)	215	17	15	TO BE REMOVED
Shrub (Sycamore)	216	12	15	TO BE REMOVED
Shrub (Sycamore)	217	13	15	TO BE REMOVED

### SHEET INDEX

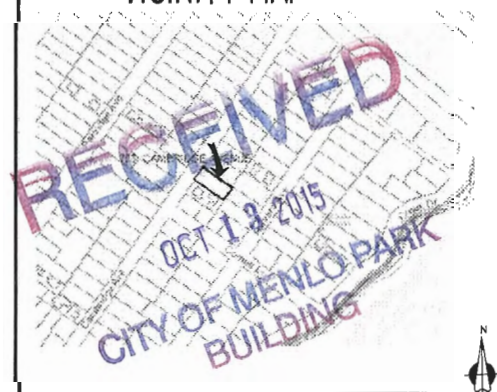
#### ARCHITECTURAL SHEETS

A-0	COVER SHEET
A-01	EXISTING PLAN AND ELEVATIONS
A-02	AREA PLAN
A-03	AREA CALCULATION & LOT COVERAGE
A-04	STREETSCAPE & LOT COVERAGE
A-1	EX. SITE, TOPO & DEMOLITION PLAN
A-2	PROPOSED SITE PLAN & LANDSCAPE PLAN
A-3	PROPOSED FIRST FLOOR PLAN
A-4	PROPOSED SECOND FLOOR PLAN
A-5	PROPOSED BASEMENT FLOOR PLAN
A-6	FRONT ELEVATION OF BOTH HOUSE
A-7	PROPOSED RIGHT ELEVATIONS
A-8	PROPOSED LEFT ELEVATIONS
A-9	PROPOSED REAR ELEVATIONS BOTH HOUSE
A-10	SECTION A-A
A-11	SECTION B-B & C-C
A-12	ROOF PLAN
L-1	LANDSCAPE PLAN
TM-1	TENTATIVE MAP
TM-2	TENTATIVE MAP
TM-3	TENTATIVE MAP
TM-4	TENTATIVE MAP

#### CODE & REGULATIONS

APPLICABLE BUILDING CODES:  
2013: CBC- 2008: T- 24 energy standard  
2013: CPC - CMC- CEC- CFC  
2013: NEC & 2013 energy code  
2013: CA, PLUMBING CODE UPC  
2013: CA, residential CODE CRC

### VICINITY MAP



REVISIONS		
No.	Date	By
1	02/02/2015	B/N
2	07/11/2015	B/N
3	08/05/2015	B/N
4	09/03/2015	B/N



BEHROOZ NEMATI  
CONSTRUCTION  
License # 986104  
2260 HOMESTEAD CT  
LOS ALTOS, CA 94024  
TEL: (310) 560-2314

DESIGNER: BEHROOZ NEMATI  
CONSTRUCTION  
2260 HOMESTEAD CT  
LOS ALTOS, CA 94024  
TEL: (310) 560-2314

PROJECT ADDRESS:  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

SHEET TITLE:  
COVER SHEET

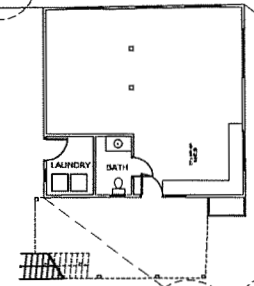
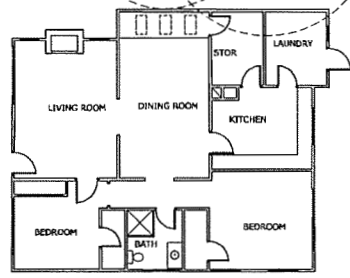
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Scale:  
DESIGN BY:  
B. NEMATI  
APPROVED BY:  
B. NEMATI  
Sheet No.:  
A-0  
Job No.: 106

CAMBRIDGE AVE.

738 CAMBRIDGE AVENUE

755 CAMBRIDGE AVENUE

756 CAMBRIDGE AVENUE



REAR HOUSE  
RIGHT ELE.



REAR HOUSE  
EX. MAIN ELEVATION



FRONT HOUSE  
EX. LEFT ELEVATION



FRONT HOUSE  
EX. MAIN ELEVATION



REAR HOUSE  
EX. REAR ELEVATION



REAR HOUSE  
EX. LEFT ELEVATION



FRONT HOUSE  
EX. REAR ELEVATION



FRONT HOUSE  
EX. RIGHT ELEVATION

REVISIONS		
No.	Date	BY

**BNC**

BEHROOZ NEMATI  
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Tel: (310) 560-2314

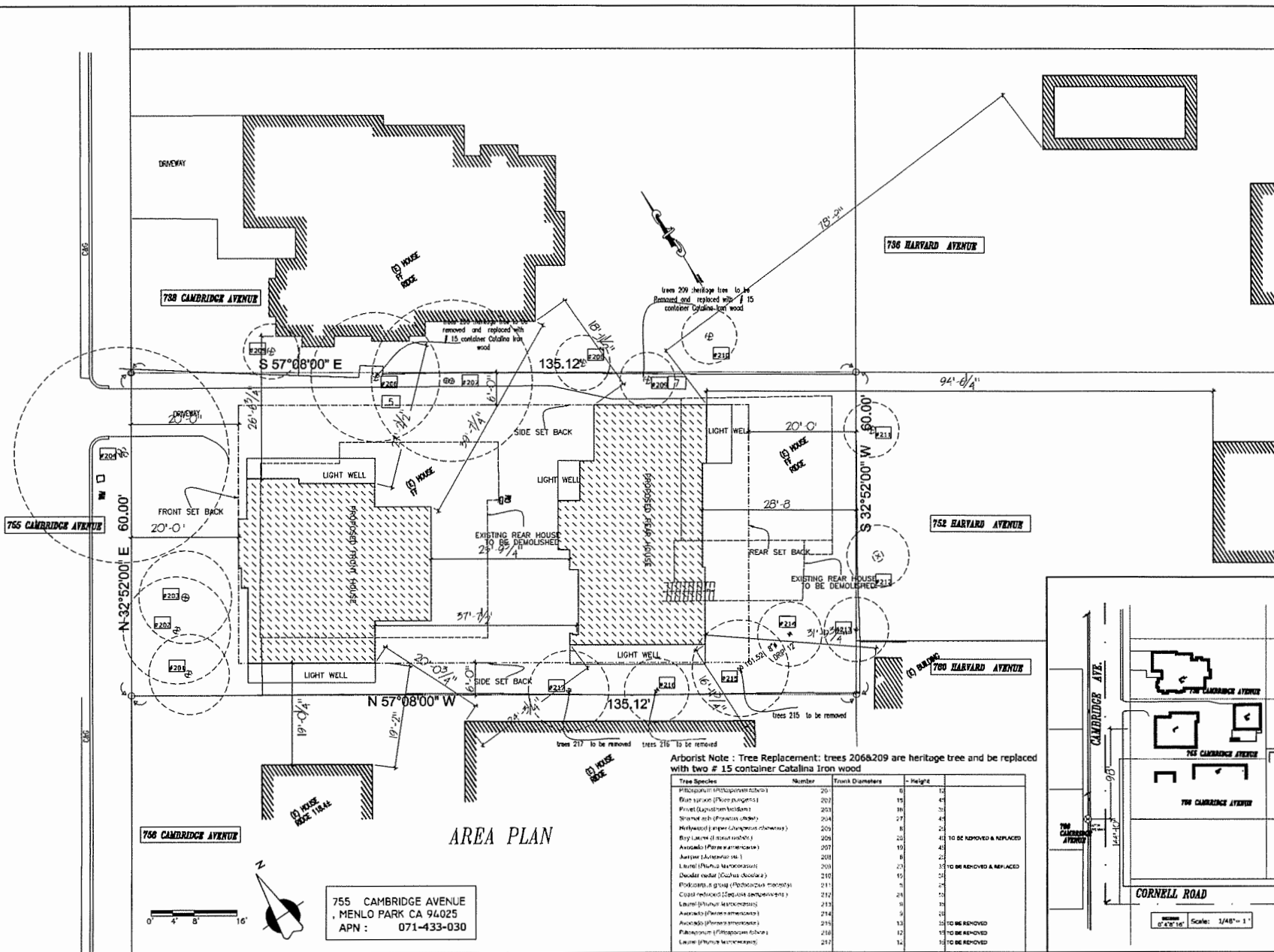
DESIGNER: BEHROOZ NEMATI  
CONSTRUCTION  
2280 HOMESTEAD CT  
LOS ALTOS, CA - 94024  
TELL: (310) 560-2314

PROJECT ADDRESS:  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

SHEET TITLE:  
EXISTING  
SITE PLAN  
DEMOLITION PLAN

Date: 12/07/14  
Scale: 1/8" = 1'  
DESIGN BY: B. NEMATI  
APPROVED BY: B. NEMATI  
Sheet No.:  
**A-01**  
Job No.: 106

CAMBRIDGE AVE.



AREA PLAN

755 CAMBRIDGE AVENUE  
MENLO PARK CA 94025  
APN : 071-433-030

Arborist Note : Tree Replacement: trees 206&209 are heritage tree and be replaced with two # 15 container Catalina Iron wood

Tree Species	Number	Trunk Diameter	Height
Pithecellobium (Pithecellobium aduncum)	201	8"	12'
Blue gum (Eucalyptus globulus)	202	15"	45'
Pine (Pinus ponderosa)	203	18"	30'
Strawberry (Fragaria chiloensis)	204	27"	45'
Hollywood (Hollywoodia cuneata)	205	8"	25'
Bay Laurel (Laurus nobilis)	206	20"	40'
Avocado (Persea americana)	207	19"	40'
Arbutus (Arbutus menziesii)	208	8"	25'
Laurel (Prunus laurocerasus)	209	23"	35'
Doody oak (Quercus doodyi)	210	19"	25'
Podocarpus (Podocarpus neriifolia)	211	15"	25'
Catalpa (Catalpa bignonioides)	212	20"	35'
Laurel (Prunus laurocerasus)	213	15"	25'
Avocado (Persea americana)	214	5"	10'
Avocado (Persea americana)	215	13"	15'
Podocarpus (Podocarpus neriifolia)	216	12"	15'
Laurel (Prunus laurocerasus)	217	14"	15'

REVISIONS

No.	Date	By
1	02/02/2015	B/N
2	07/11/2015	B/N
3	08/5/2015	B/N
4	09/03/2015	B/N

**B N C**

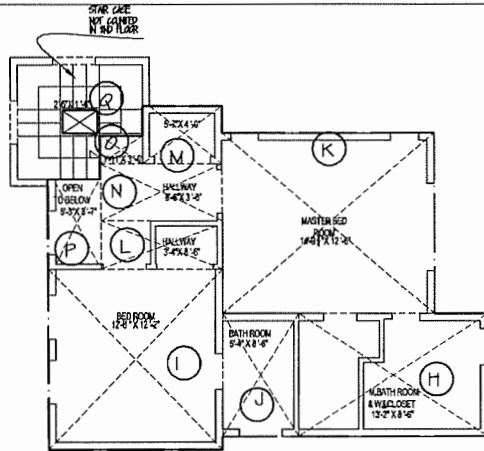
BEHROOZ NEMATI  
CONSTRUCTION  
LICENSE # 986104  
2280 HOMESTEAD CT  
LOS ALTOS CA 94024  
Tel: 310-661-2314  
Email: bnc@bncdesign.com

DESIGNER: BEHROOZ NEMATI  
CONSTRUCTION  
2280 HOMESTEAD CT  
LOS ALTOS, CA 94024  
TEL: (310) 660-2314

PROJECT ADDRESS:  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

SHEET TITLE:  
AREA PLAN  
LOCATION NEAR  
T SECTION  
STREET

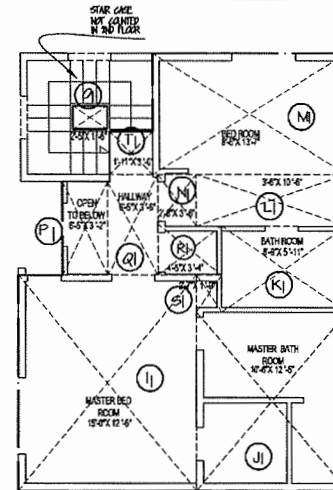
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B. NEMATI  
APPROVED BY:  
B. NEMATI  
Sheet No.:  
**A-02**  
Job No.: 106



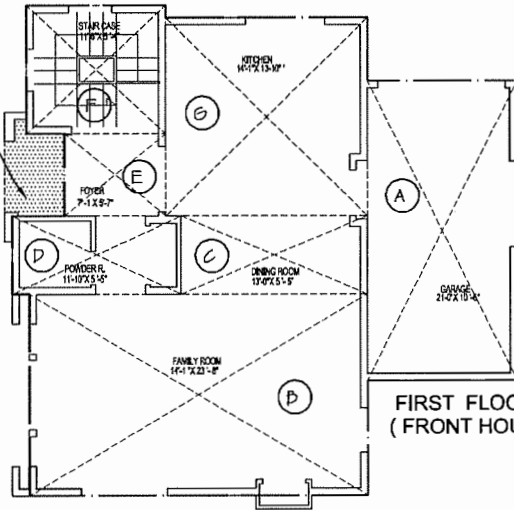
SECOND FLOOR  
(FRONT HOUSE)

SECOND FLOOR(FRONT HOUSE)		SECOND FLOOR(REAR HOUSE)	
H : 8.5	6'	I : 10.25	6'
I : 10.5	6'	J : 10.7	6'
J : 10.5	6'	K : 10.5	6'
K : 10.5	6'	L : 10.5	6'
L : 10.5	6'	M : 10.5	6'
M : 10.5	6'	N : 10.5	6'
N : 10.5	6'	O : 10.5	6'
O : 10.5	6'	P : 10.5	6'
P : 10.5	6'	Q : 10.5	6'
Q : 10.5	6'	R : 10.5	6'
R : 10.5	6'	S : 10.5	6'
S : 10.5	6'	T : 10.5	6'
TOTAL LIVABLE : 607.85 SQ.F		TOTAL LIVABLE : 608.2 SQ.F	

SECOND FLOOR  
AREA CALCULATION



SECOND FLOOR  
(REAR HOUSE)

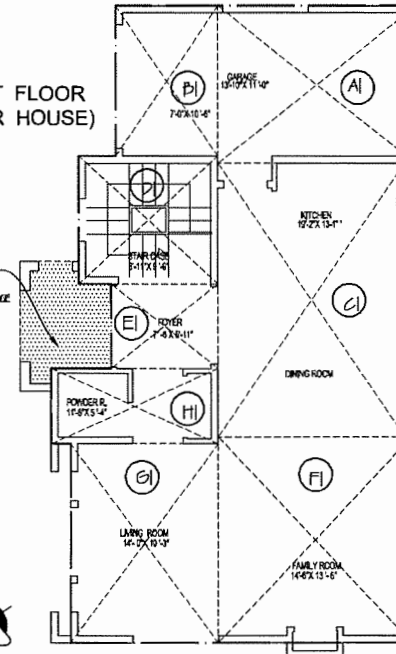


FIRST FLOOR  
(FRONT HOUSE)

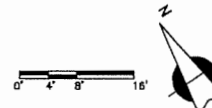
FIRST FLOOR(FRONT HOUSE)		FIRST FLOOR(REAR HOUSE)	
A : 10.5	6'	A1 : 10.5	6'
B : 10.5	6'	B1 : 10.5	6'
C : 10.5	6'	C1 : 10.5	6'
D : 10.5	6'	D1 : 10.5	6'
E : 10.5	6'	E1 : 10.5	6'
F : 10.5	6'	F1 : 10.5	6'
G : 10.5	6'	G1 : 10.5	6'
TOTAL LIVABLE : 1013.2 SQ.F		TOTAL LIVABLE : 1013.2 SQ.F	

FIRST FLOOR  
AREA CALCULATION

FIRST FLOOR  
(REAR HOUSE)



LOT COVERAGE :  
TOTAL SQUARE FOOT IS 2137.63 SQUARE FEET



REVISIONS		
No.	Date	By
1	02/02/2015	B/N
2	07/11/2015	B/N
3	08/05/2015	B/N
4	08/02/2015	B/N

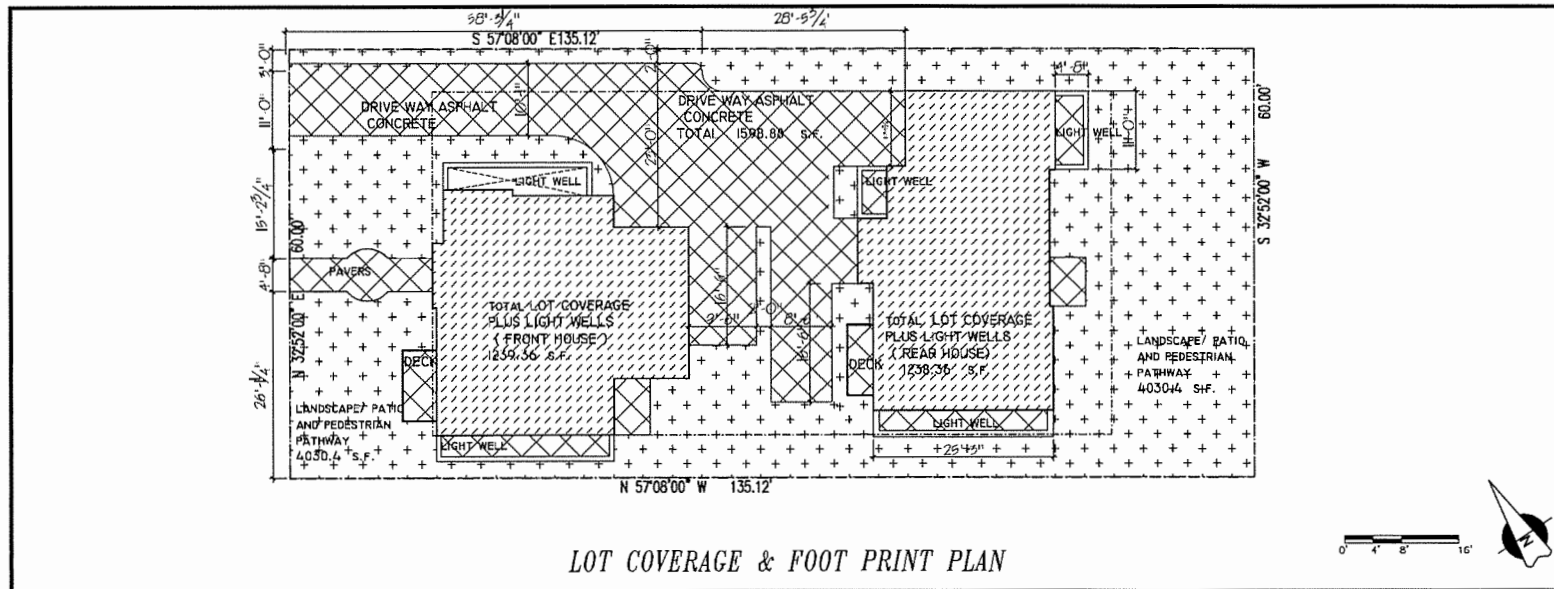
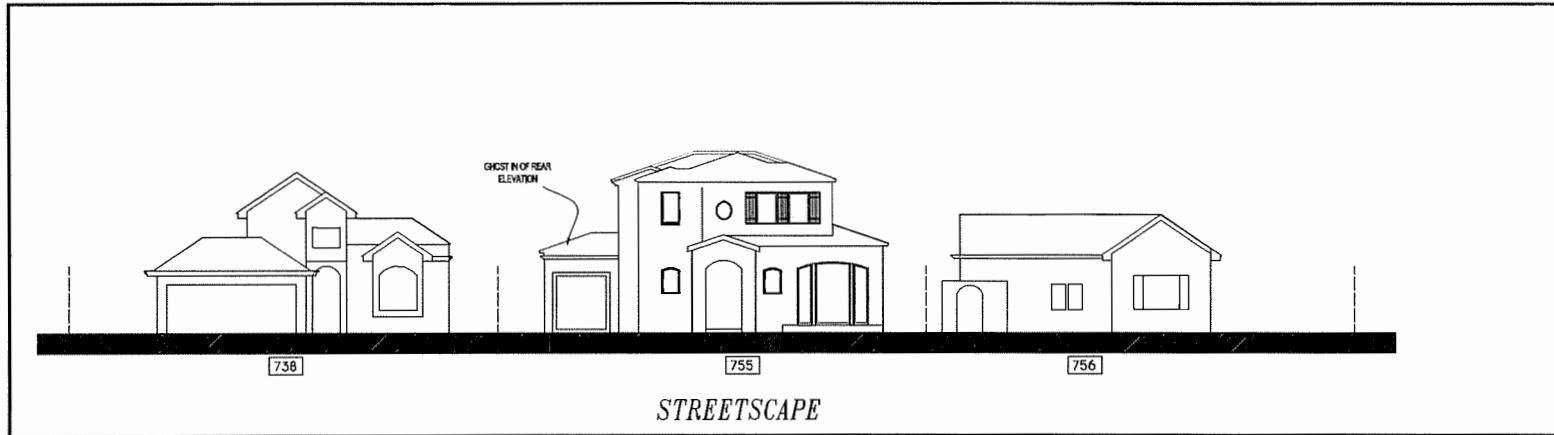
**BEHROOZ NEMATI**  
CONSTRUCTION  
License # 986104  
2280 HOMESTEAD CT  
LOS ALTOS, CA 94024  
TEL: 310-560-2314

DESIGNER: **BEHROOZ NEMATI**  
CONSTRUCTION  
2280 HOMESTEAD CT  
LOS ALTOS, CA - 94024  
TELL : (310) 560-2314

PROJECT ADDRESS:  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

SHEET TITLE:  
**AREA CALCULATION**

Date: 12/07/14  
Scale: 1/4" = 1'  
DESIGN BY:  
B. NEMATI  
APPROVED BY:  
B. NEMATI  
Sheet No.:  
**A-03**  
Job No.: 106



TOTAL LOT COVERAGE +LIGHT WELLS	2477.72 S.F
TOTAL DRIVEWAY &PARKING SPACE	1598.88 S.F
TOTAL LANDSCAPE OPEN PEDESTRIAN /PATIO	4030.4 S.F

REVISIONS		
No.	Date	BY
1	02/02/2015	B/N
2	05/05/2015	B/N
3	09/03/2015	B/N

**BNC**

BEHROOZ NEMATI  
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DESIGNER: BEHROOZ NEMATI  
CONSTRUCTION  
2260 HOMESTEAD CT  
LOS ALTOS, CA - 94024  
TELL : (310) 560-2314

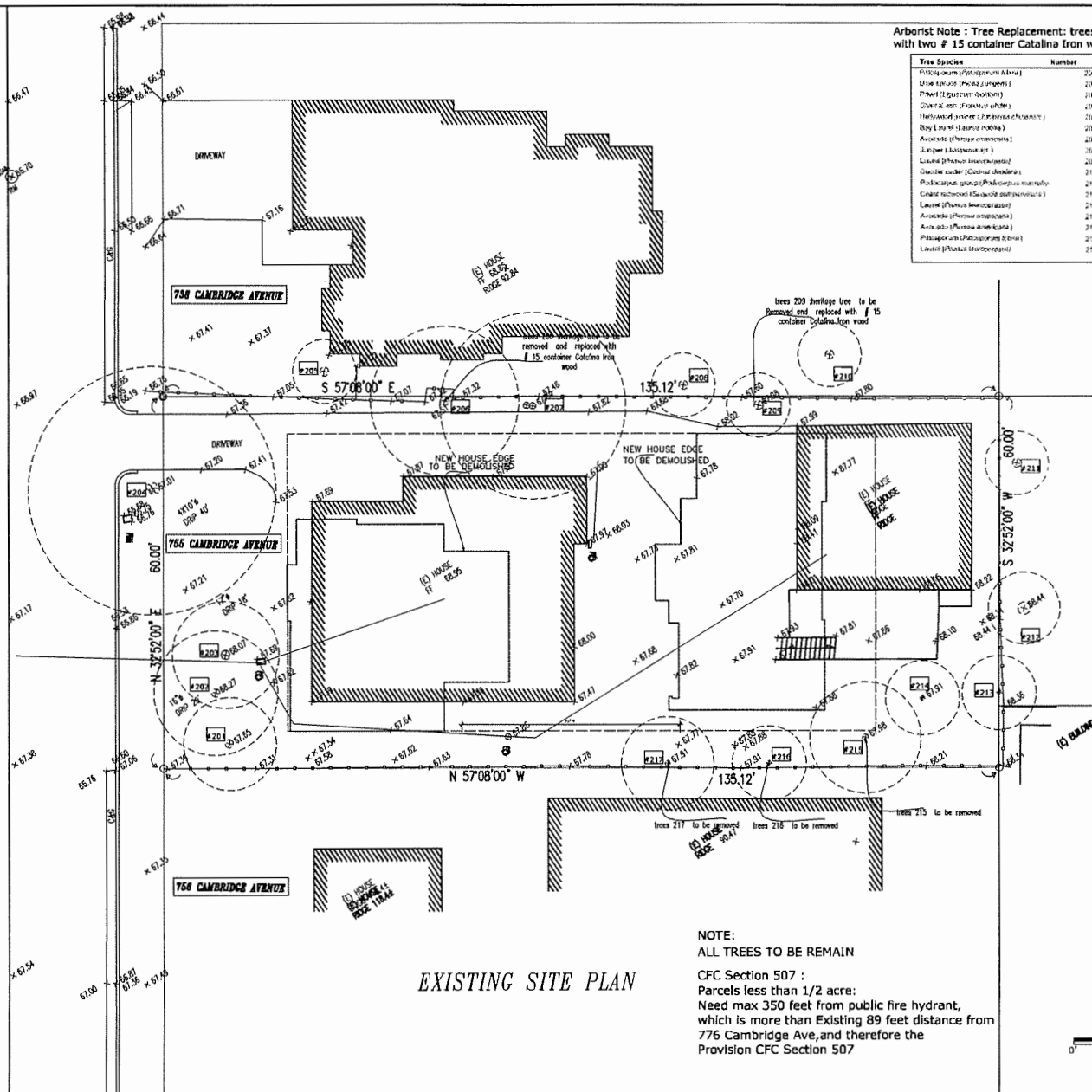
PROJECT ADDRESS:  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

SHEET TITLE:  
**STREET SCAPE  
&  
LOT COVERAGE**

Date: 12/07/14  
Scale: 1/8" = 1'  
DESIGN BY:  
B. NEMATI  
APPROVED BY:  
B. NEMATI  
Sheet No.:  
**A-04**  
Job No.: 106



CAMBRIDGE AVE.



EXISTING SITE PLAN

NOTE:  
ALL TREES TO BE REMAIN  
CFC Section 507 :  
Parcels less than 1/2 acre:  
Need max 350 feet from public fire hydrant,  
which is more than Existing 89 feet distance from  
776 Cambridge Ave, and therefore the  
Provision CFC Section 507

Arborist Note : Tree Replacement: trees 206&209 are heritage tree and be replaced with two # 15 container Catalina Iron wood

Tree Species	Number	Trunk Diameter	Height
Redwood (Sequoia sempervirens)	206	12"	15'
Oak (Quercus agrifolia)	207	12"	15'
Redwood (Sequoia sempervirens)	208	12"	15'
Redwood (Sequoia sempervirens)	209	12"	15'
Redwood (Sequoia sempervirens)	210	12"	15'
Redwood (Sequoia sempervirens)	211	12"	15'
Redwood (Sequoia sempervirens)	212	12"	15'
Redwood (Sequoia sempervirens)	213	12"	15'
Redwood (Sequoia sempervirens)	214	12"	15'
Redwood (Sequoia sempervirens)	215	12"	15'
Redwood (Sequoia sempervirens)	216	12"	15'
Redwood (Sequoia sempervirens)	217	12"	15'
Redwood (Sequoia sempervirens)	218	12"	15'
Redwood (Sequoia sempervirens)	219	12"	15'
Redwood (Sequoia sempervirens)	220	12"	15'
Redwood (Sequoia sempervirens)	221	12"	15'
Redwood (Sequoia sempervirens)	222	12"	15'
Redwood (Sequoia sempervirens)	223	12"	15'
Redwood (Sequoia sempervirens)	224	12"	15'
Redwood (Sequoia sempervirens)	225	12"	15'
Redwood (Sequoia sempervirens)	226	12"	15'
Redwood (Sequoia sempervirens)	227	12"	15'
Redwood (Sequoia sempervirens)	228	12"	15'
Redwood (Sequoia sempervirens)	229	12"	15'
Redwood (Sequoia sempervirens)	230	12"	15'

REVISIONS	No.	Date	BY
	1	02/02/2015	B/N
	2	07/11/2015	B/N
	3	08/05/2015	B/N
	4	09/03/2015	B/N

**B N C**

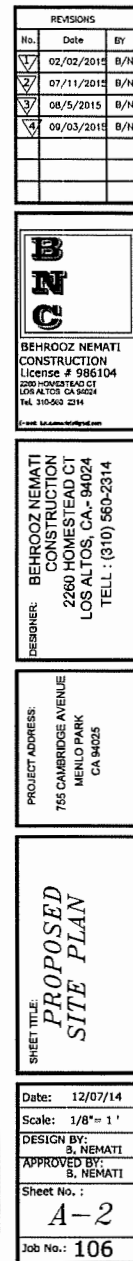
BEHROOZ NEMATI  
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PROJECT ADDRESS  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

SHEET TITLE:  
EXISTING  
SITE PLAN  
DEMOLITION PLAN

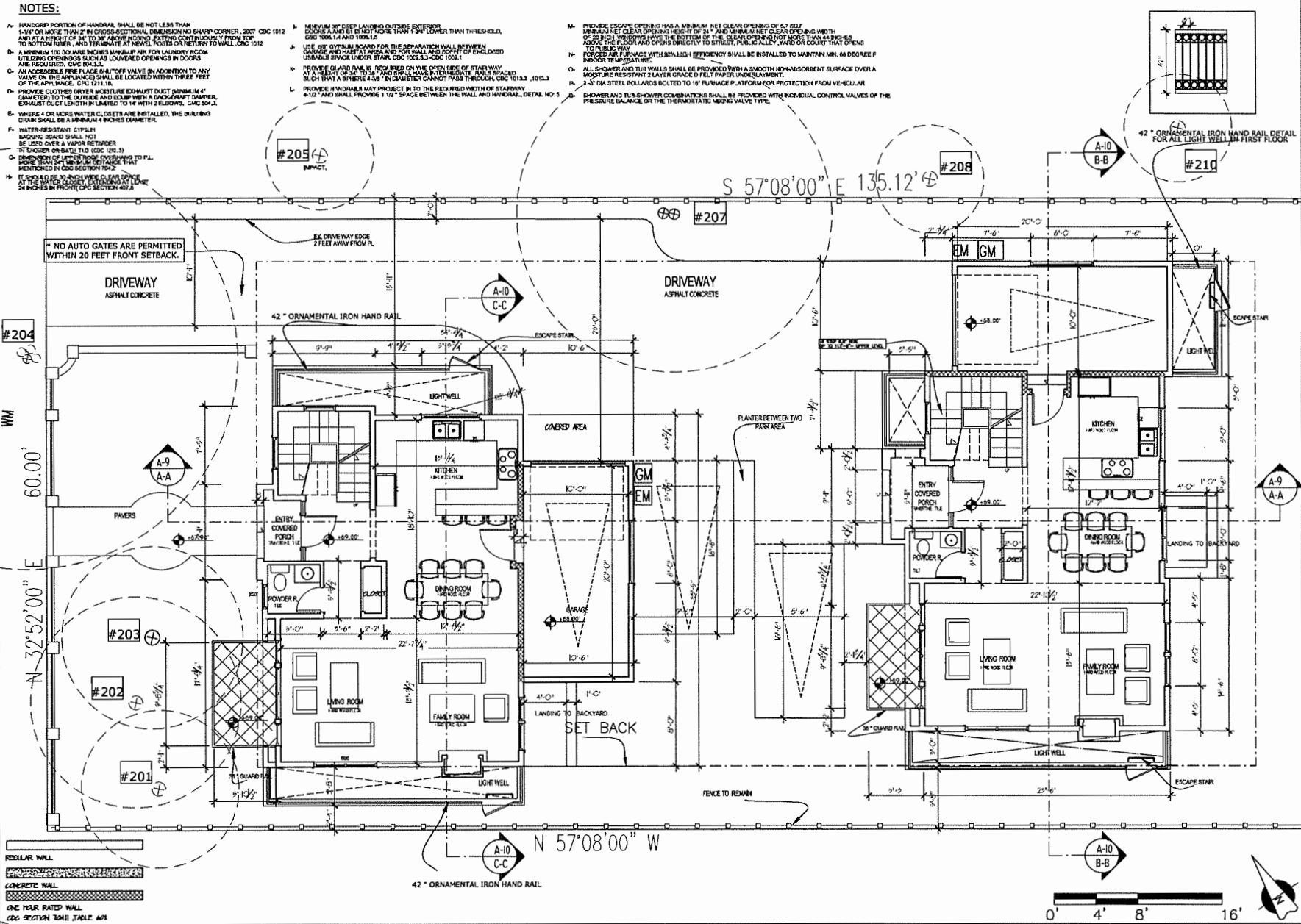
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B. NEMATI  
APPROVED BY:  
B. NEMATI  
Sheet No.:  
**A-1**  
Job No.: 106





NOTES:

- A. HANDICAP PORTION OF HANDRAIL SHALL BE NOT LESS THAN 1-1/4" OR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION NO SHARP CORNER, 2007 CBC 1012 AND AT A POINT OF 24" TO 36" ABOVE FLOOR EXTENDING CONTINUOUSLY FROM TOP TO BOTTOM RISES, AND TERMINATE AT NEARLY 90° TURN EXCEPT TO WALL, CBC 1012
- B. A MINIMUM 100 SQUARE INCHES HANDRAIL FOR LAUNDRY ROOM UTILIZING OPENINGS SUCH AS LOYERED OPENINGS IN DOORS ARE REQUIRED, CBC 1013.3
- C. AN ACCESSIBLE FIVE PLACE VALVE IN ADDITION TO ANY VALVE ON THE APPLIANCE SHALL BE LOCATED WITHIN THREE FEET OF THE APPLIANCE, CBC 1011.16
- D. PROVIDE CLOTHES DRYER MOISTURE EXHAUST DUCT MINIMUM 4" DIA. CONNECTED TO THE OUTSIDE AND EQUIP WITH A DRAINAGE DRAIN, EXHAUST DUCT LENGTH IS LIMITED TO 14' WITH 2 ELBOWS, CBC 504.2
- E. WHERE 4 OR MORE WATER CLOSETS ARE INSTALLED, THE BUILDING DRAIN SHALL BE A MINIMUM 8 INCHES DIAMETER
- F. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER SET 5/8" OVER OSB/PLY (CBC 102.3)
- G. DIMENSION OF LIFT-UP THRESHOLDS (MOVING) TO PL. MORE THAN 20" MAXIMUM DISTANCE THAT MENTIONED IN CBC SECTION 104.2
- H. IT SHALL BE 30 INCHES CLEAR AT THE WATER CLOSET, EXTENDING 30 INCHES 24 INCHES IN FRONT OF THE CLOSURE
- I. MINIMUM 36" CLEAR LAUNDRY OUTSIDE EXTERIOR CLOSURE AND BE NOT MORE THAN 4" FROM THRESHOLD, CBC 1014.1 AND 1014.1.1
- J. USE 2" BY 4" GYPSUM BOARD FOR THE SEPARATION WALL BETWEEN GARAGE AND HABITAT AREA AND FOR WALL AND DOOR OF ENCLOSED UNFINISHED SPACE UNDER STAIR, CBC 1003.1.3, CBC 1003.1
- K. PROVIDE GUARD RAIL IS REQUIRED ON THE OPEN SIDE OF STAIRWAY AT A HEIGHT OF 34" TO 38" AND RAIL HAVE INTERMEDIATE HAND RAILS SUCH THAT A 3/4" DIA. 3/8" IN DIAMETER CANNOT PASS THROUGH, CBC 1013.3, 1013.3.1
- L. PROVIDE IF VAPORBAR MAY PROJECT IN TO THE REQUIRED WIDTH OF STAIRWAY 4" DIA. SHALL PROVIDE 1/2" SPACE BETWEEN THE WALL AND VAPORBAR, DETAIL NO. 5
- M. PROVIDE ESCAPE OPENING HAS A MINIMUM NET CLEAR OPENING OF 57" SELF MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND MINIMUM NET CLEAR OPENING WIDTH OF 20" INCHES VENTURES HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR AND OPENING DIRECTLY TO STREET, PUBLIC ALLEY, YARD OR COURT THAT OPENS TO PUBLIC WAY
- N. FORCED AIR FURNACE WITH 25% EFFICIENCY SHALL BE INSTALLED TO MAINTAIN MIN. 68 DEGREE F INDOOR TEMPERATURE
- O. ALL SHOWER AND TUB WALLS SHALL BE PROVIDED WITH A SMOOTH NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT 2 LAYER GRADE D FELT PAPER UNDERLAYMENT
- P. 2-3/8" DIA STEEL BOLTS ARE BOLTED TO 1/4" FURNACE PLATFORM OR PROTECTION FROM VEHICULAR
- Q. SHOWER AND TUBS WITH COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE



REVISIONS		
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1	02/02/2016	B/H
2	07/11/2015	B/H
3	08/05/2015	B/H
4	09/02/2015	B/H

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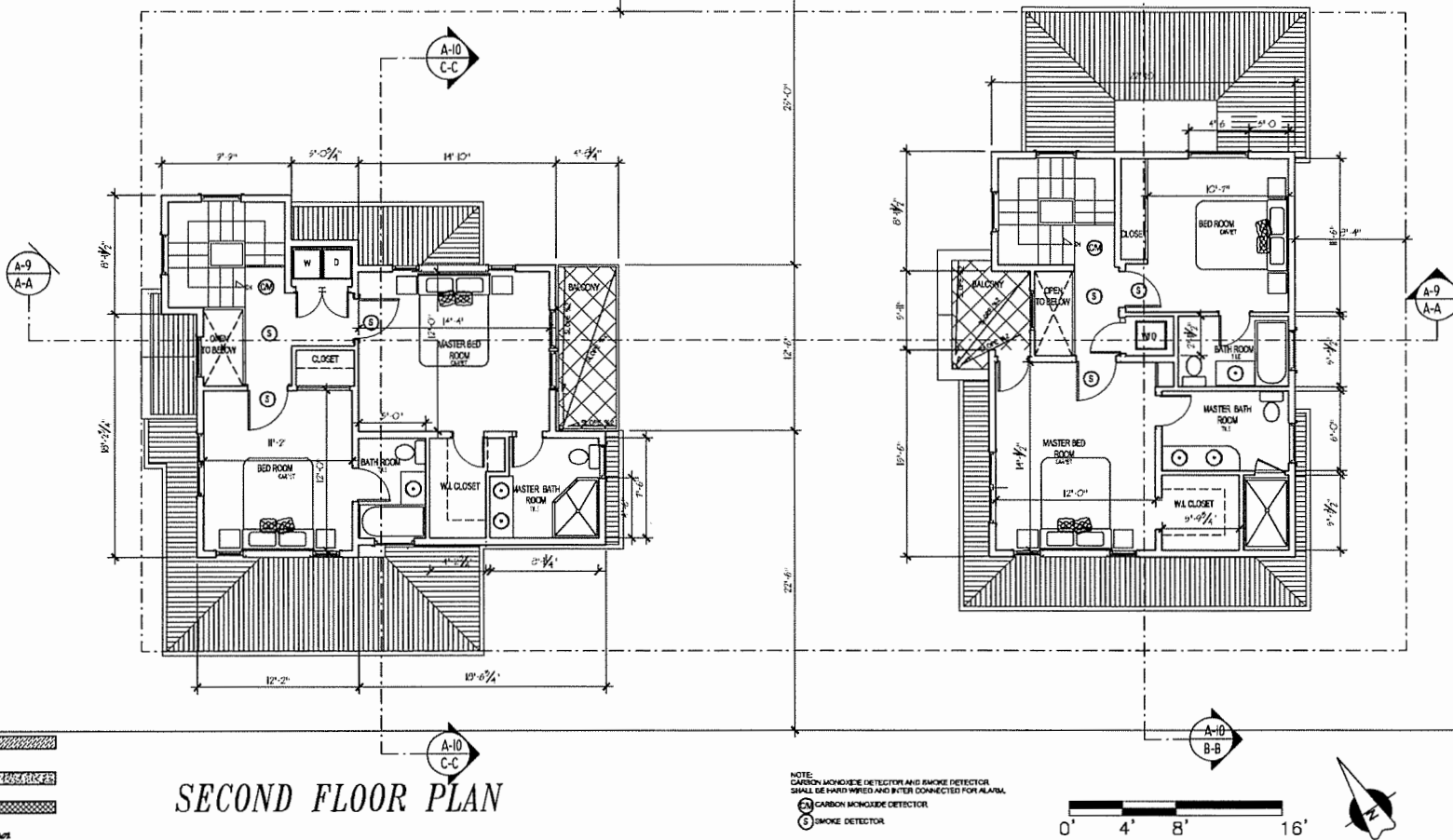
PROJECT ADDRESS:  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

SHEET TITLE:  
**PROPOSED  
1ST FLOOR**

Date: 12/07/14  
Scale: 1/4" = 1'  
DESIGN BY:  
B. NEMATI  
APPROVED BY:  
B. NEMATI  
Sheet No.:  
**A-3**  
Job No.: 106

# NOTES:

- A. HANDICAP PORTION OF HANDRAIL SHALL BE NOT LESS THAN 3'-0" OR MORE THAN 2' IN CROSS-SECTIONAL DIMENSION NO SHARP CORNER, 2007 CBC 1012 AND AT A HEIGHT OF 34" TO 38" ABOVE FINISH FLOOR CONTINUOUSLY FROM TOP TO BOTTOM RAIL, AND TERMINATE AT WHEEL FOSTS OR RETURN TO WALL, CBC 1012
- B. A MINIMUM 100 SQUARE INCHES HANDRAIL FOR LAUNDRY ROOM UTILIZING OPENINGS SUCH AS LOUVERED OPENINGS IN DOORS AND REQUITER, CBC 1012.16
- C. AN ACCESSIBLE FIRE PLACER SHUTTER VALVE IN ADDITION TO ANY VALVE ON THE APPLIANCE SHALL BE LOCATED WITHIN THREE FEET OF THE APPLIANCE, CBC 1211.16
- D. PROVIDE CLOTHES DRYER VENTLINE EXHAUST DUCT MINIMUM 4" DIAMETER TO THE OUTSIDE AND EQUIP WITH A BACKDRAFT DAMPER EXHAUST DUCT LENGTH LIMITED TO 14' WITH 2 ELBOWS, CBC 503.4
- E. WHERE 4 OR MORE WATER CLOSETS ARE INSTALLED, THE BUILDING DRAIN SHALL BE A MINIMUM 4 INCHES DIAMETER
- F. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATH TUB (CBC 1203.3)
- G. OVERVIEW OF UPPER FLOOR OVERHANGING TO PL. MORE THAN 24" MINIMUM DISTANCE THAT MOUNTED IN CBC SECTION 704.2
- H. IT SHALL BE 20 INCHES CLEAR SPACE AT THE WATER CLOSET, EXTENDING AT LEAST 24 INCHES IN FRONT, CBC SECTION 407.8
- I. MINIMUM 3/4" DEEP LANDING OUTSIDE EXTERIOR DOORS, AND BE NOT MORE THAN 1-3/4" LOWER THAN THRESHOLD, CBC 1006.1.4 AND 1006.1.5
- J. USE 1/2" GYPSUM BOARD FOR THE SEPARATION WALL BETWEEN GARAGE AND WARE AT AREA AND FOR WALL AND PART OF EXCLUDED USABLE SPACE UNDER STAIR, CBC 1009.5.3 - CBC 1009.1
- K. FINISHES OF 3/4" TO 1 1/2" FLOOR SHALL HAVE INTERGRATE HAND SPACED 4 INCHES WITH A MINIMUM 4 INCH SPACER CANNOT PASS THROUGH, CBC 1013.2, 1013.3
- L. PROVIDE HANDRAILS WAY PROJECT IN TO THE REQUIRED WIDTH OF STAIRWAY 4 1/2" AND SHALL PROVIDE 1 1/2" SPACE BETWEEN THE WALL AND HANDRAIL, DETAIL NO. 5
- M. PROVIDE ESCAPE OPENING HAS A MINIMUM NET CLEAR OPENING OF 57 SQ. MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND MINIMUM NET CLEAR OPENING WIDTH OF 20 INCH. WINDOWS HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 4 INCHES ABOVE THE FLOOR AND OPEN DIRECTLY TO STREET, PUBLIC ALLEY, YARD OR COURT THAT OPENS TO PUBLIC WAY
- N. FORCED AIR FURNACE WITH 82% HIGH EFFICIENCY SHALL BE INSTALLED TO MAINTAIN MIN. 68 DEGREE F INDOOR TEMPERATURE.
- O. ALL SHOWER AND TUB WALLS SHALL BE PROVIDED WITH A SMOOTH NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT 2 LAYER GRADE D FELT PAPER UNDERLAMENT.
- P. 3/4" DIA STEEL BOLLARDS BOLTED TO 1/2" FURNACE PLATFORM FOR PROTECTION FROM VEHICULAR IMPACT.
- Q. SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.



REVISIONS		
No.	Date	BY
1	02/02/2015	B/N
2	07/11/2015	B/N
3	09/02/2015	B/N

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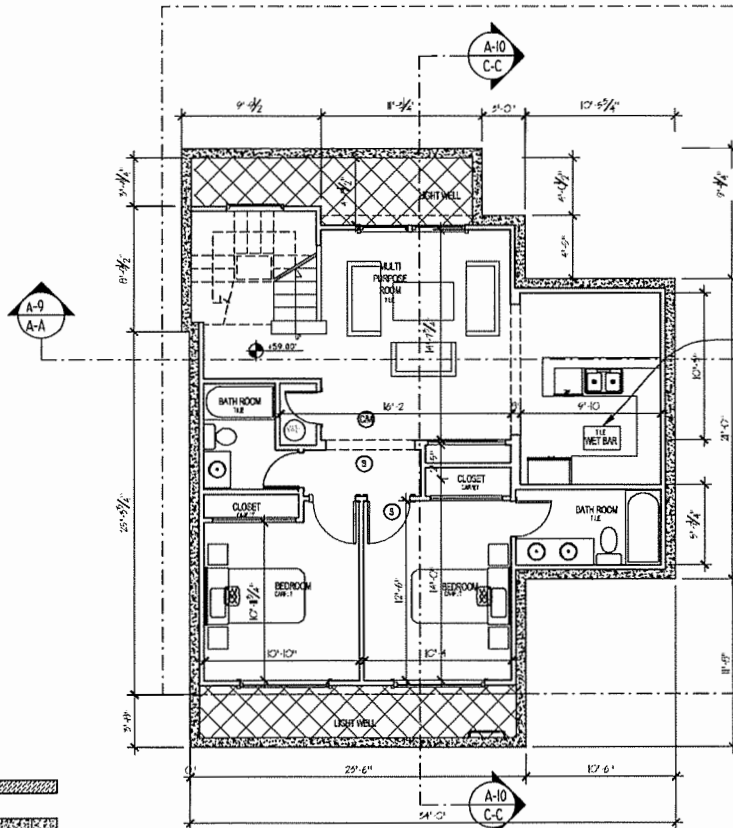
PROJECT ADDRESS:  
 755 CARBIDE AVENUE  
 MENLO PARK  
 CA 94025

SHEET TITLE:  
**PROPOSED**  
**2ND FLOOR**

Date: 12/07/14  
 Scale: 1/4" = 1'  
 DESIGN BY:  
 B. NEMATI  
 APPROVED BY:  
 B. NEMATI  
 Sheet No.:  
**A-4**  
 Job No.: 106

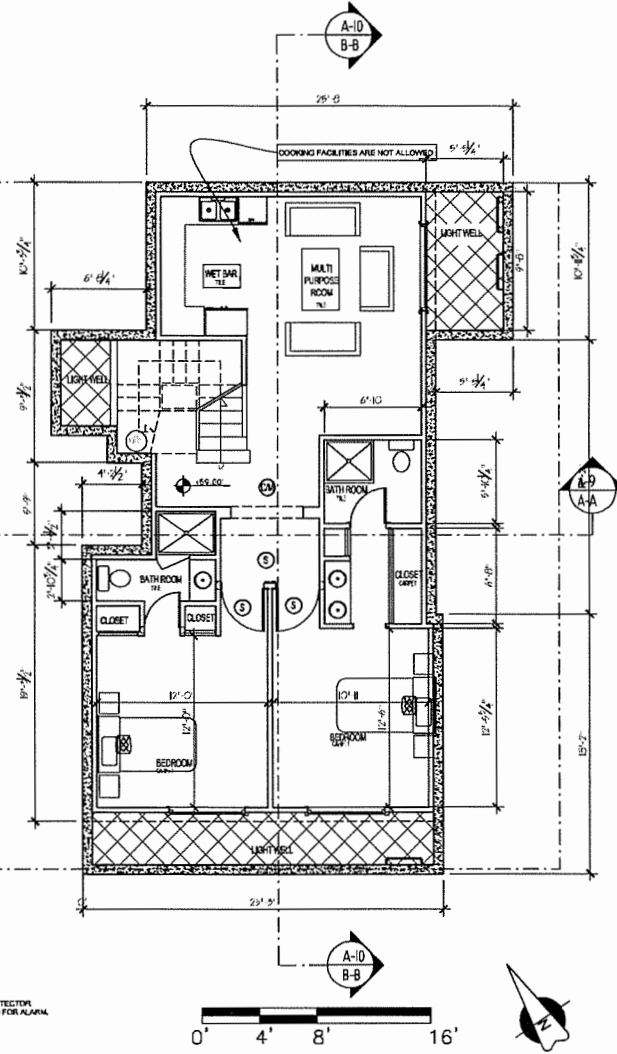
# NOTES:

- A- HANDSPR PORTION OF HANDRAIL SHALL BE NOT LESS THAN 1-1/4" OR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION NO SHARP CORNER, 2007 CBC 1012 AND AT A HEIGHT OF 34" TO 38" ABOVE FLOOR, EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RAILER, AND TERMINATE AT NEVEL POSTS OR RETURN TO WALL, CBC 1012
- B- A MINIMUM 100 SQUARE INCHES HANDRAIL AREA FOR LAUNDRY ROOM UTILIZING OPENINGS SUCH AS LOUVERED OPENINGS IN DOORS ARE REQUIRED, CBC 1013.3
- C- AN ACCESSIBLE FLOOR PLATE SHUTOFF VALVE IN ADDITION TO ANY VALVE ON THE APPLIANCE SHALL BE LOCATED WITHIN THREE FEET OF THE APPLIANCE, CBC 1011.15
- D- PROVIDE CLOTHES DRYER VENTURE EXHAUST DUCT MINIMUM 4" DIAMETER TO THE OUTSIDE AND EQUIP WITH A BACKDRAFT DAMPER. EXHAUST DUCT LENGTH IS LIMITED TO 14' WITH 2 ELBOWS, CBC 504.2
- E- WHERE 4 OR MORE WATER CLOSETS ARE INSTALLED, THE BUILDING DRAIN SHALL BE A MINIMUM 4 INCHES DIAMETER.
- F- WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATH TUB (CBC 120.3)
- G- DIMENSION OF UPPER ROOF OVERHANG TO PL. MORE THAN 24" MINIMUM DISTANCE THAT MENTIONED IN CBC SECTION 704.2
- H- IT SHALL BE SURE TO SHOW CLEAR SPACE AT THE MATCH CLOSET, EXTENDING AT LEAST 24 INCHES IN FRONT OF CLOSET 407.8
- I- MINIMUM 30" DEEP LANDING OUTSIDE EXTERIOR DOOR AND ALL BUT 15" NOT MORE THAN 134" LOWER THAN THRESHOLD, CBC 1008.1.4 AND 1008.1.5
- J- USE 5/8" GYPSUM BOARD FOR THE SEPARATION WALL BETWEEN GARAGE AND CLOSET AREA AND FOR WALL AND DOOR OF ENCLOSED JAMBLE SPACE UNDER STAIR, CBC 1005.3.2 AND 1005.3
- K- PROVIDE GLASS RAILER REQUIRED ON THE OPEN SIDE OF STAIRWAY AT A HEIGHT OF 34" TO 38" AND SHALL HAVE IN TERMINATE, HAND SPACED SUCH THAT A 3/4" DIAMETER 4-3/4" IN DIAMETER CANNOT PASS THROUGH, CBC 1013.2, 1013.3
- L- PROVIDE HANDRAILS WAY PROJECT IN TO THE REQUIRED WIDTH OF STAIRWAY 4-1/2" AND SHALL PROVIDE 1-1/2" SPACE BETWEEN THE WALL AND HANDRAIL, UNITS NO. 5
- M- PROVIDE ESCAPE OPENING HAS A MINIMUM NET CLEAR OPENING OF 5'7" MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND MINIMUM NET CLEAR OPENING WIDTH OF 20" FEET, INCLUDING ABOVE THE BOTTOM OF THE LAPOR OPENING, NOT MORE THAN 10 INCHES ABOVE FLOOR AND OPENING DIRECTLY TO STREET, PUBLIC ALLEY, YARD OR COURT THAT OPENS TO PUBLIC WAY
- N- FORCED AIR FURNACE WITH 62% HIGH EFFICIENCY SHALL BE INSTALLED TO MAINTAIN MIN. 65 DEGREE F INDOOR TEMPERATURE
- O- ALL SHOWER AND TUB WALLS SHALL BE PROVIDED WITH A SMOOTH NON-ABSORBENT SURFACE OVER A MONITONE PERMANENT FLOOR GRADE 3 FEET PANKY UNDERLAMENT
- P- 3/4" DIA STEEL BOLLARDS BOLTED TO 18" FLURFACE PLATFORM FOR PROTECTION FROM VEHICULAR IMPACT
- Q- SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.



- REGULAR WALL
- CONCRETE WALL
- ONE HOUR RATED WALL
- CBC SECTION 704.2 TABLE 401

- NOTE:  
CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR SHALL BE HARD WIRED AND INTER CONNECTED FOR ALARM.
- ① CARBON MONOXIDE DETECTOR
  - ② SMOKE DETECTOR



0' 4' 8' 16'

REVISIONS		
No.	Date	BY
1	02/02/2015	B/N
2	07/11/2015	B/N
3	09/02/2015	B/N

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PROJECT ADDRESS:  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

SHEET TITLE:  
**PROPOSED  
BASEMENT**

Date: 12/07/14  
Scale: 1/4" = 1'  
DESIGN BY: B. NEMATI  
APPROVED BY: B. NEMATI  
Sheet No.: **A-5**  
Job No.: 106



DOOR SAMPLE



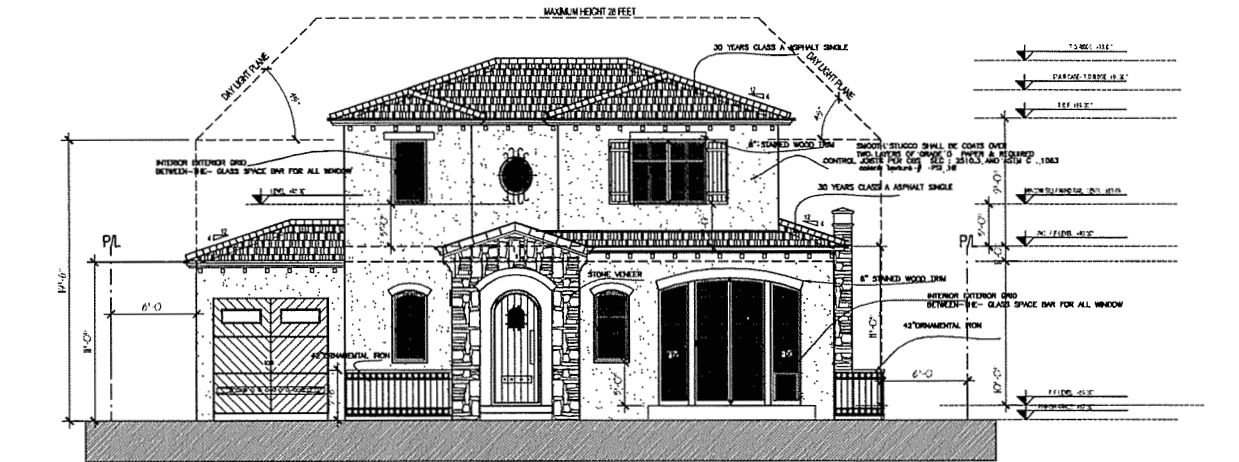
VENEER STONE SAMPLE



GARAGE DOOR SAMPLE



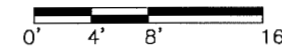
STAIN WOOD TRIM SAMPLE  
FOR ELEVATION



REAR HOUSE  
MAIN ELEVATION



FRONT HOUSE  
MAIN ELEVATION



REVISIONS		
No.	Date	BY
1	02/02/2015	B/N
2	07/11/2015	B/N
3	08/5/2015	B/N

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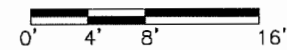
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FRONT  
ELEVATIONS**

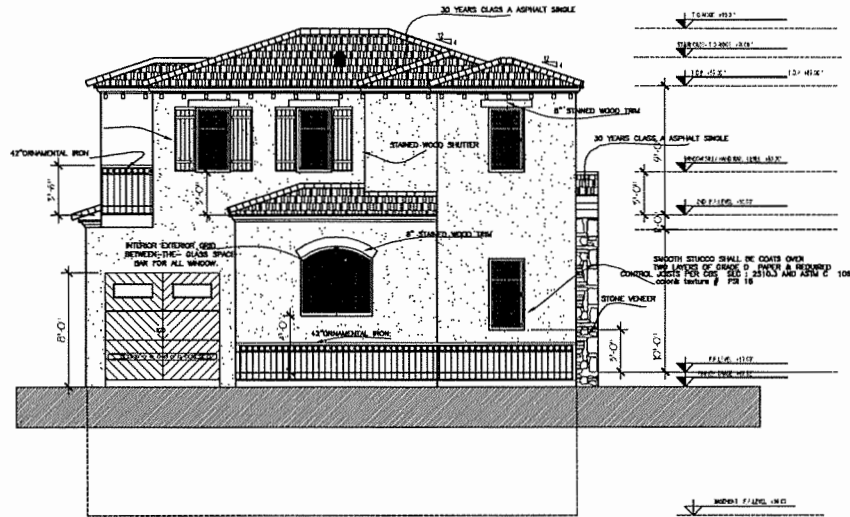
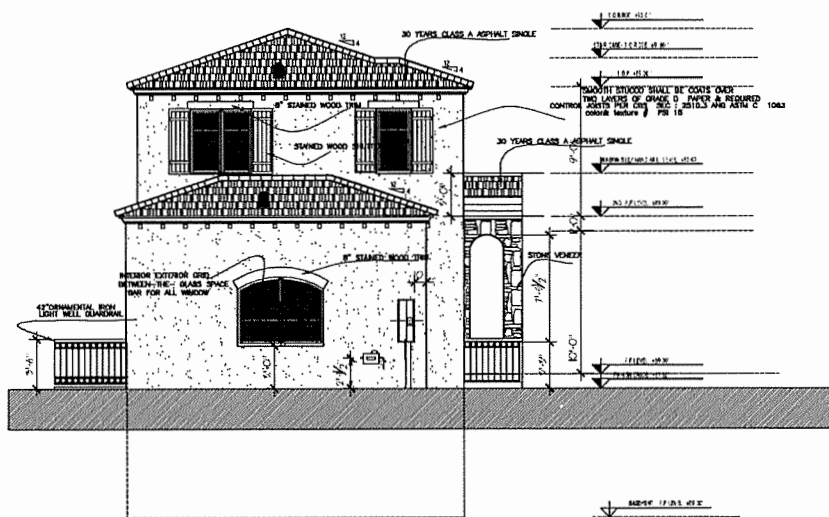
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B. NEMATI  
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B. NEMATI  
Sheet No.:  
**A-6**  
Job No.: 106



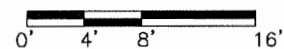
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Sheet No. : *A-7*  
Job No.: 106

Date:	12/07/14
Scale:	1/4" = 1'
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Sheet No. :	A-7
Job No.:	106





LEFT (NORTH) ELEVATION



REVISIONS		
No.	Date	By
1	02/02/2015	B/N
2	07/11/2015	B/N
3	08/5/2015	B/N
4	09/02/2015	B/N

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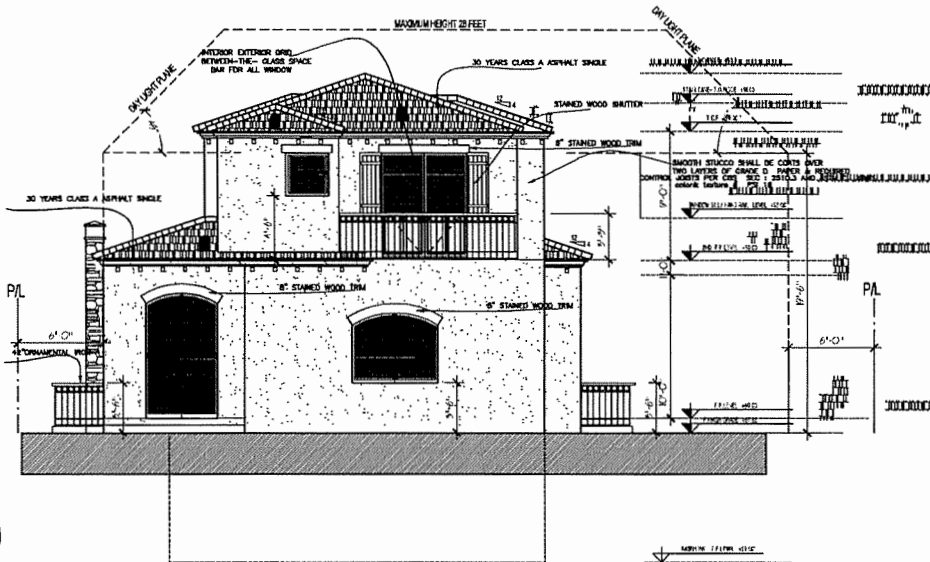
DESIGNER: BEHROOZ NEMATI  
CONSTRUCTION  
2260 HOMESTEAD CT  
LOS ALTOS, CA - 94024  
TELL: (310) 560-2314

PROJECT ADDRESS:  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

SHEET TITLE: **PROPOSED  
LEFT  
ELEVATIONS**

Date: 12/07/14  
Scale: 1/4" = 1'  
DESIGN BY:  
B. NEMATI  
APPROVED BY:  
B. NEMATI  
Sheet No.:  
**A-8**  
Job No.: 106

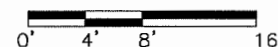




REAR ELEVATION (FRONT HOUSE)



REAR ELEVATION ( REAR HOUSE)



REVISIONS		
No.	Date	BY
1	02/02/2015	B/N
2	07/11/2015	B/N
3	08/05/2015	B/N
4	09/02/2015	B/N

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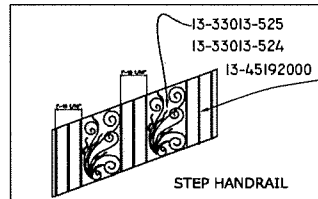
DESIGNER:  
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PROJECT ADDRESS:  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

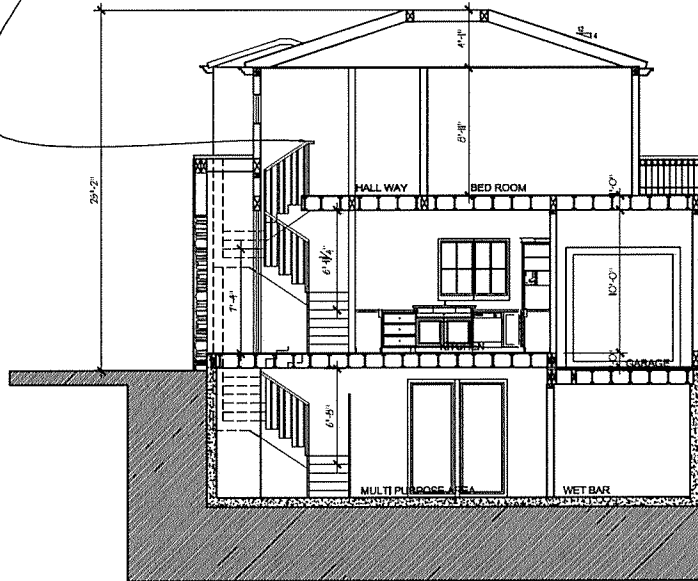
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REAR  
ELEVATIONS**

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APPROVED BY:  
B. NEMATI  
Sheet No.:  
**A-9**  
Job No.: **106**

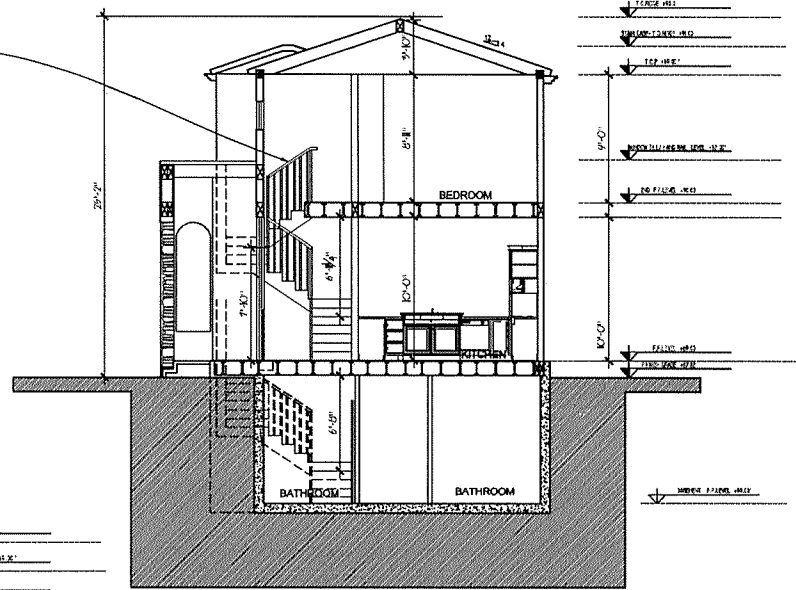
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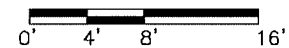
36" HANDRAIL FOR  
STAIR WAY



SECTION A-A  
FRONT HOUSE



SECTION A-A  
REAR HOUSE



REVISIONS		
No.	Date	By
1	02/02/2015	B/N
2	07/11/2015	B/N
3	08/5/2015	B/N
4	09/02/2015	B/N

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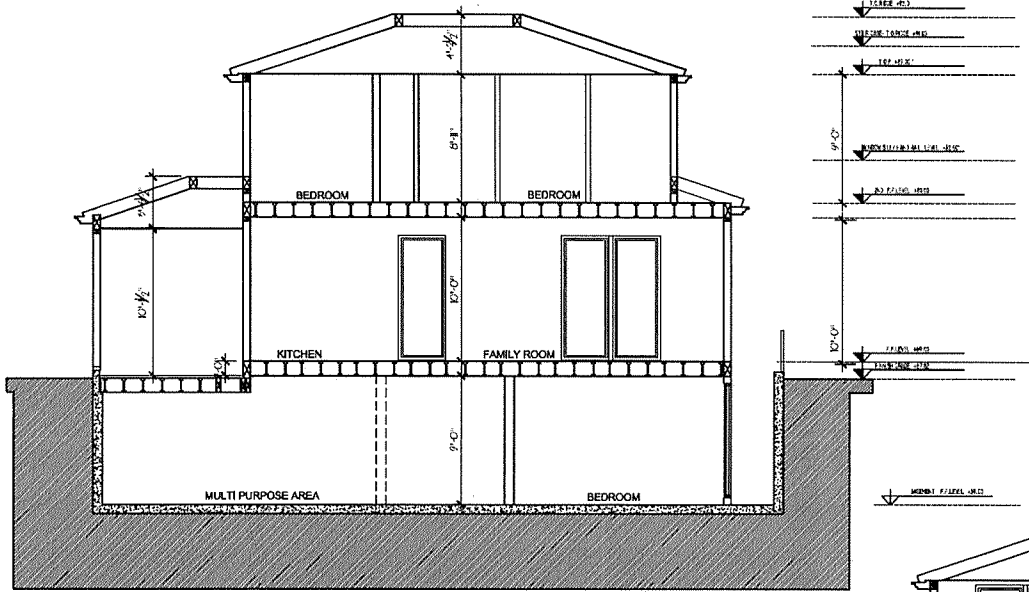
BEHROOZ NEMATI  
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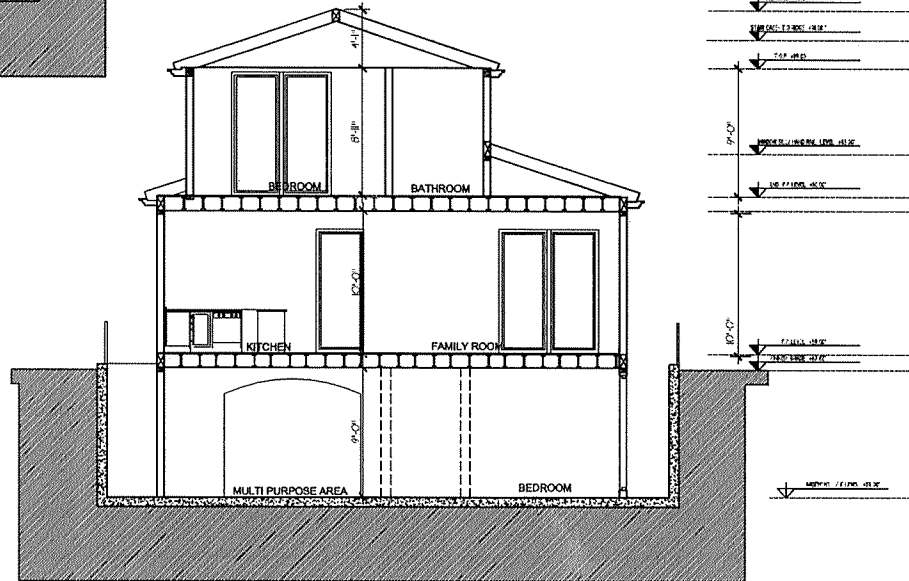
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755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

SHEET TITLE:  
SECTION  
A-A

Date: 12/07/14  
Scale: 1/4" = 1'  
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B. NEMATI  
APPROVED BY:  
B. NEMATI  
Sheet No.:  
A-10  
Job No.: 106



SECTION B-B



SECTION C-C

0' 4' 8' 16'

REVISIONS		
No.	Date	BY
1	02/02/2015	B/N
2	07/11/2015	B/N
3	08/05/2015	B/N
4	09/02/2015	B/N



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DESIGNER: BEHROOZ NEMATI  
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PROJECT ADDRESS:  
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MENLO PARK  
CA 94025

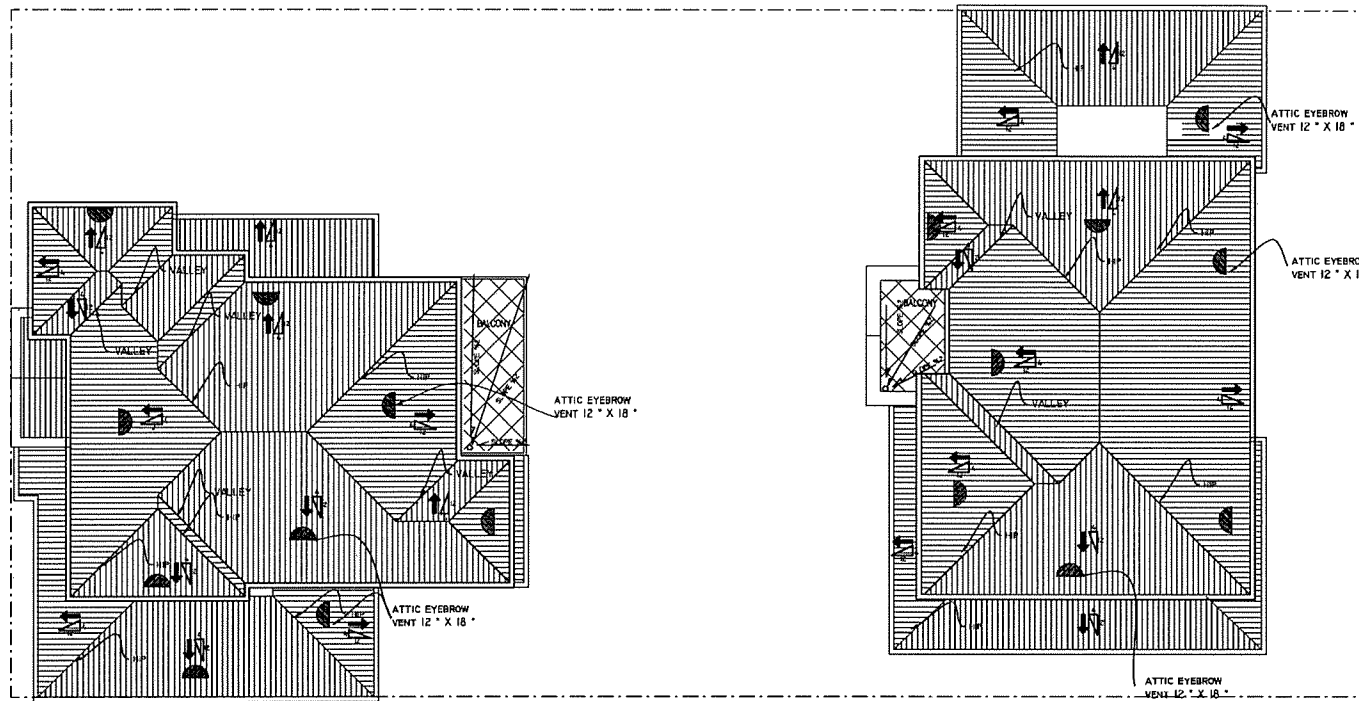
SHEET TITLE:  
SECTION  
B-B & C-C

Date: 12/07/14  
Scale: 1/4" = 1'  
DESIGN BY:  
B. NEMATI  
APPROVED BY:  
B. NEMATI  
Sheet No.:  
**A-11**  
Job No.: 106

ATTICE VENTILATION- VENTILATING AREA SHALL NOT BE LESS THAN  $\frac{1}{150}$  OF THE AREA PER CBC 1203.2  
 $ATTIC \ S.F = 630 \ S.F / 150 = 4.20$   
 $4.2 \times 144 = 604.8 \text{ SQ INCH FOR ROOF VENT (HIGH VENT)}$   
 $604.8 / (8' \times 12') = 6.3 = 7$

\* FIRE DEP. NOTES:

- 1- NEW RESIDENTIAL BUILDING SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS NUMBER SHALL BE AT LEAST SIX FEET ABOVE FINISH SURFACE OF THE DRIVE WAY.
- 2- A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURE, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO A PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL LIVING TREES.
- 3- TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMITED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
- 4- REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTEND WITHIN 10 FEET OF OUTLET OF A CHIMNEY OR STOVEPIPE OR IS 6" OF ANY STRUCTURE. REMOVE THAT PORTION OF EXISTING TREES WHICH EXTEND WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVE PIPE OR IS WITHIN 6" OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVER-HANGING A BUILDING FREE OF DEAD OR DYING WOOD.



ROOF PLAN

0' 4' 8' 16'



REVISIONS		
No.	Date	BY
1	02/02/2015	B/N
2	07/11/2015	B/N
3	09/02/2015	B/N

**BNC**

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PROJECT ADDRESS:  
 755 CAMBRIDGE AVENUE  
 MENLO PARK  
 CA 94025

SHEET TITLE:  
**ROOF PLAN**

Date: 12/07/14  
 Scale: 1/4" = 1'  
 DESIGN BY: B. NEMATI  
 APPROVED BY: B. NEMATI  
 Sheet No.: **A-12**  
 Job No.: **106**

D17

Arborist Note : Tree Replacement: trees 206&209 are heritage tree and be replaced with two # 15 container Catalina Iron wood

Tree Species	Number	Trunk Diameter	Height
Platanus (Platanus sp.)	206	12	12
Blue spruce (Picea pungens)	205	10	45
White (Liquidum laurum)	210	10	35
Shrub (Syringa)	208	27	45
Hollywood (Laurus nobilis)	203	8	25
Bay Laurel (Laurus nobilis)	208	20	45
Avocado (Persea americana)	205	15	45
Juniper (Juniperus sp.)	204	0	25
Laurel (Laurus nobilis)	206	20	35
Oak (Quercus sp.)	210	15	50
Podocarpus (Podocarpus sp.)	211	5	25
Coast redwood (Sequoia sempervirens)	210	24	105
Laurel (Laurus nobilis)	210	6	15
Avocado (Persea americana)	214	5	25
Avocado (Persea americana)	210	10	35
Platanus (Platanus sp.)	210	10	15
Laurel (Laurus nobilis)	210	12	15

# TREE LEGEND:

TREE NO.	DESCRIPTION (COMMON)	CIRCUMFERENCE (INCHES)	SPREAD (FEET)
1	MOON ORANGE (PHILADELPHUS CORONATUS)	18"	30
2	DOUGLAS FIR (PSEUDOTSUGA MENZIESII)	57"	36
3	PRINCE (LIGUSTRUM VULGARE)	56"	15
4	BLACK ACACIA (ACACIA MELANOTYLON)	91"	30
5	BAY TREE (LAURUS NOBILIS)	74"	75
6	AVOCADO (PERSEA AMERICANA)	63"	33
7	PISTACHIO (PISTACHIO TIGRIS)	86"	36
8	LAUREL (LAURACEAE)	63"	21
9	AVOCADO (PERSEA AMERICANA)	28"	19
10	AVOCADO (PERSEA AMERICANA)	41"	60
11	LAUREL (LAURACEAE)	36"	15

REVISIONS	No.	Date	By
1	02/02/2015	B/N	
2	07/11/2015	B/N	
3	08/05/2015	B/N	
4	09/03/2015	B/N	

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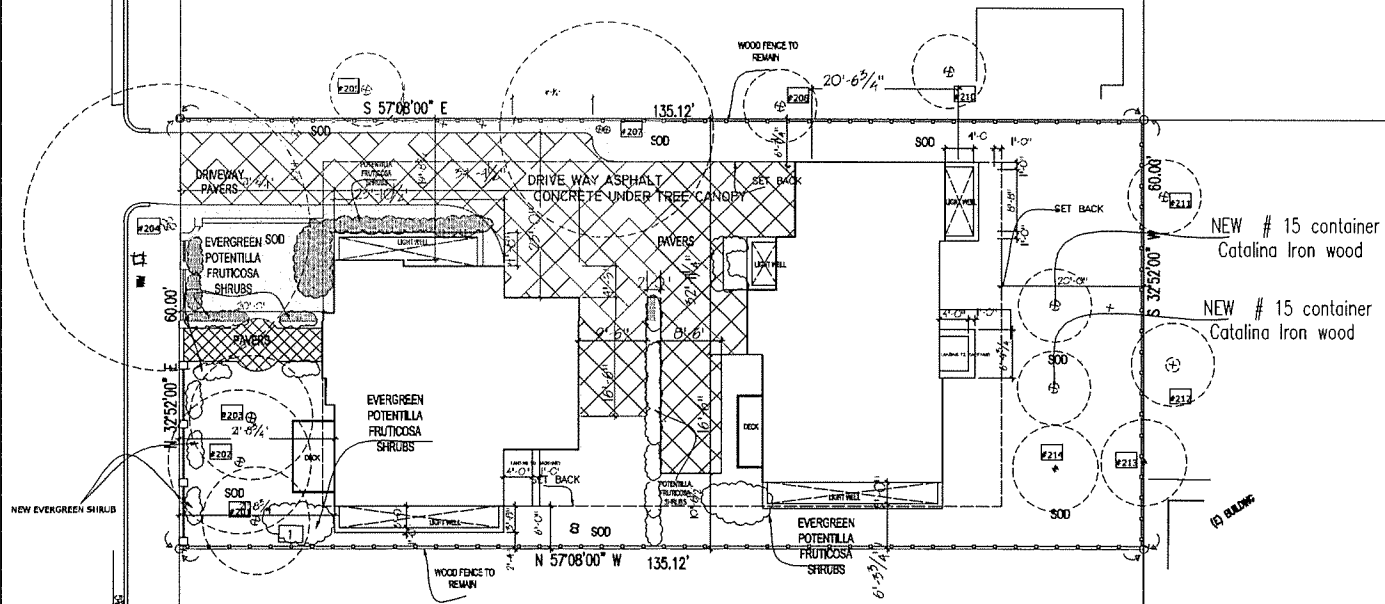
**BEHROOZ NEMATI**  
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**PROJECT ADDRESS:**  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

**SHEET TITLE:**  
**PROPOSED**  
**LANDSCAPE**

Date: 12/07/14  
Scale: 1/8" = 1'  
DESIGN BY: B. NEMATI  
APPROVED BY: B. NEMATI  
Sheet No.: L-1  
Job No.: 106

CAMBRIDGE AVE.

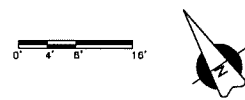


**TOTAL IRRIGATED LANDSCAPE AREA**  
**LANDSCAPE 3531.58 SQ.FT.**

NOTE: If the project is approved, these is a water Efficient Ordinance that may require/encourage more drought -tolerant landscaping .

ALLOWABLE FLOOR AREA FOR TWO STORY STRUCTURE :
FLOOR AREA LIMIT ( FAL)40% X 8107 =3242.8 sqf /2(FOR EACH HOUSE)=1621.4 S.F
SECOND FLOOR FAL 15% X 8107 = 1216.05 s.f/ (2 FOR EACH HOUSE) = 608.025 S.F
FIRST FLOOR MAXIM 3242.8-1216.05 = 2026.75 (FOR EACH HOUSE) /2 =1013.375 S.F
MAX LOT COVERAGE %35 X 8107 = 2837.45 S.F > 2021.11 S.F+143.78=2164.89
PARKING: ONE COVERS / ONE UNCOVERED PER HOUSE

**PROPOSED SITE PLAN**  
**LANDSCAPE PLAN**



BEHROOZ NEMATI CONSTRUCTION

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<http://www.bnaa.net>

Cell: (310)560-2314

**Date: Sep 08, 2015**

To: Thomas Rogers  
Senior Planner, City of Menlo Park

CC: Farnad Fakor, Aria Vatankhah

RE: 755 Cambridge Avenue, Use Permit  
PN: PLN 2014-00082

**SUBJECT: DESCRIPTION LETTER**

The 755 Cambridge Avenue project started earlier this year, and has been prepared according to the owner program based on the following basic principles:

- 1: Programed based on 2 separate buildings
- 2: Each house with 3 bedrooms on the second floor
- 3: Complete separate basement for each house
- 4: Design the houses based on French style (Beaux Art)

These principles went forward without any particular problems. Except for a few points from planner (Stephen) regarding Entry porch which was excessive proportions and also the whole details and elements which were over designed.

Finally, after the first meeting of the commission meeting, the principles listed above denied, and the following amendment notified to the designer and the client.

- 1: Number of bedrooms reduced to 2.
- 2: Due to lack of compatibility with neighborhood fabric, decided to change the proposed style to compliance to the normal regional appearance.

Finally, all of the above comments modified and comply with neighborhood architectural style which has been studied and researched by designer and client in the last 3 months.

Proposed architectural style is relatively large extent influenced by the fabric of the neighborhood and the fusion of architecture style defined between Tuscany and southwestern home style with a usage of warm colors and natural materials such as wood stain, stucco and Veneer stone.

Fortunately, the project appearance has been considered acceptable by planner





recently. Structures are typically based on a rectangular floor plan, and feature massive, symmetrical primary façades. Stuccoed walls, windows in the shape of arches or circles, one or two stories, wood or wrought iron balconies with window grilles, and articulated door surrounds are characteristic. Keystones were occasionally employed mostly for Entry porch. Ornamentation may be simple or dramatic. Lush gardens often appear.

Sincerely,

Behrooz Nemati  
Assoc. AIA,  
Master of Architecture  
General B, LIC# 986104

**Tree Inventory, Assessment,  
And  
Protection**

**755 Cambridge Avenue  
Menlo Park, CA 94025**

**Prepared for:**

**Aria Vatankhah  
and  
The City of Menlo Park**

**September 4, 2015  
Revised  
September 15, 2015**

**Prepared By: Richard Gessner**

**ASCA - Registered Consulting Arborist ® #496  
ISA - Board Certified Master Arborist® WE-4341B**

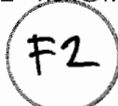


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## Summary

The tree inventory and assessment for 755 Cambridge Avenue consists of seventeen trees comprised of twelve different species, of which eight are considered 'heritage trees' in the City of Menlo Park. Two trees are in good condition while ten trees are in fair condition and five are in poor shape including two heritage trees. Two trees have good suitability for preservation, seven poor, and eight fair. Ten trees will be highly affected by the project which are primarily located along the existing and proposed driveway and near the back of the site. Two trees will be moderately affected and the neighbor's trees will not be impacted. It may be impractical to fence off the TPZ/CRZ near the construction because there will be limited room to work, and a working platform will need to be constructed and/or existing hardscape retained during the construction process.

## Introduction

### Background

Aria Vatankhah asked me to assess the site, trees, and proposed footprint plan, to provide a report with my findings and recommendations to help satisfy the City of Menlo Park planning requirements. Previously another tree inventory and assessment report was submitted and authored by David Wood of Serano's Expert Tree Service, Inc Dated July 20, 2015 which was deemed incomplete by the city.

### Assignment

1. Provide an arborist's report that includes an assessment of the trees within the project area and those nearby on adjacent sites. The assessment is to include the species, size (trunk diameter), condition (health and structure), and suitability for preservation ratings.
2. Provide tree protection specifications and influence ratings for the trees that will be influenced by the project.

### Limits of the assignment

1. The information in this report is limited to the condition of the trees during my inspection on September 1, 2015. No tree risk assessments were performed.
2. The plans reviewed for this assignment were as follows: Second Floor Site Plan A3 dated September 3, 2015. No grading, drainage, utility, landscape, or basement excavation plans were reviewed.



## Purpose and use of the report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the property owners, their agents, and the City of Menlo Park as a reference for existing tree conditions to help satisfy the City of Menlo Park planning requirements. This report is to supersede any previous tree inventory or report submitted for this project.

## Observations

The property located on the east side of Cambridge Avenue and contains two structures with a driveway running down the north side of the site. There are several trees growing around the perimeter of the property including three in front of the site visible from the road. There are seventeen trees on and adjacent to the site with an average trunk diameter of approximately 15 inches. There are no oaks (*Quercus*) species on or adjacent to the site near the planned improvements. Eight trees have trunk diameters greater than fifteen inches four of which have codominant stems and were measured at the bifurcation. The average height of the trees is about 30 feet tall including the two tallest trees which are the deodara cedar (*Cedrus deodara*) and coast redwood (*Sequoia sempervirens*) located onto adjacent sites. Five of the seventeen trees are located on the adjacent sites.

The proposed site plans indicate two structures to be built primarily in the same locations as the existing structures but moved closer to the front of the property to meet the setbacks. The site plan and the existing topographic survey were missing the neighboring trees. The two largest trees on the adjacent properties, deodar cedar #210 and coast redwood #212, are six and three feet from the neighbor fence respectively.

- The paver driveway will pass within one to two feet of trees #204 through #208.
- The rear structure will be within four feet of tree #209 and twelve feet of #210.
- The rear structure will be erected approximately twenty-three feet from coast redwood number #212.
- The rear structure will be approximately seven feet from #215 and five feet from #217.
- The front main structure will be within twelve feet of trees #201, #202, and #203.





## Discussion

### Tree Inventory

All the trees on the property with a trunk diameter greater than four inches at fifty-four inches above grade were inventoried and assessed including those on adjacent properties with crowns that extend over the neighbor fence boundary. All trees referenced in this report have aluminum number tags affixed to them for reference in the report, on the site plans, and on the site itself. Trees on adjacent properties have number tags affixed to the fence near the tree location. Multi stem trees were measured at the bifurcation.

Section 13.24.020 of the City of Menlo Park ordinance defines “heritage tree as the following:

1. A tree or group of trees of historical significance, special character or community benefit, specifically designated by resolution of the city council;
2. An oak tree (*Quercus*) which is native to California and has a trunk with a circumference of 31.4 inches (diameter of ten (10) inches) or more, measured at fifty-four (54) inches above natural grade. Trees with more than one trunk shall be measured at the point where the trunks divide, with the exception of trees that are under twelve (12) feet in height, which will be exempt from this section.
3. All trees other than oaks which have a trunk with a circumference of 47.1 inches (diameter of fifteen (15) inches) or more, measured fifty-four (54) inches above natural grade. Trees with more than one trunk shall be measured at the point where the trunks divide, with the exception of trees that are under twelve (12) feet in height, which will be exempt from this section. (Ord. 928 § 1 (part), 2004).

The tree inventory and assessment consists of seventeen trees comprised of twelve different species. There are eight trees considered heritage trees which are as follows:

1. blue spruce (*Picea pungens*) #202
2. deodar cedar (*Cedrus deodara*) #210
3. privet (*Ligustrum lucidum*) #203
4. laurel (*Laurus nobilis*) #206
5. avocado (*Persea americana*) #207
6. English laurel (*Prunus laurocerasus*) #209
7. coast redwood (*Sequoia sempervirens*) #212
8. Shamel ash (*Fraxinus uhdei*) #204



The table below lists the trees and their characteristics (Table 1).

Table 1: Tree Inventory and Characteristics

Tree Species	Number	Trunk Diameters	~ Height	~ Crown Radius
Pittosporum ( <i>Pittosporum tobira</i> )	201	6	12	6
Blue spruce ( <i>Picea pungens</i> )	202	15	45	10
Privet ( <i>Ligustrum lucidum</i> )	203	*18	35	16
Shamal ash ( <i>Fraxinus uhdei</i> )	204	*27	45	18
Hollywood juniper ( <i>Juniperus chinensis</i> ) - N	205	8	25	10
Bay Laurel ( <i>Laurus nobilis</i> )	206	20	40	15
Avocado ( <i>Persea americana</i> )	207	*19	45	15
Juniper ( <i>Juniperus sp.</i> ) - N	208	8	25	10
Laurel ( <i>Prunus laurocerasus</i> )	209	*23	35	5
Deodar cedar ( <i>Cedrus deodara</i> ) - N	210	15	50	15
Podocarpus group ( <i>Podocarpus macrphyllus</i> ) - N	211	5	25	8
Coast redwood ( <i>Sequoia sempervirens</i> ) - N	212	24	55	15
Laurel ( <i>Prunus laurocerasus</i> )	213	*9	15	10
Avocado ( <i>Persea americana</i> )	214	9	20	10
Avocado ( <i>Persea americana</i> )	215	13	35	15
Pittosporum ( <i>Pittosporum tobira</i> )	216	*12	15	10
Laurel ( <i>Prunus laurocerasus</i> )	217	12	15	10

Trees with \* indicate multi-trunk trees with codominant stems measured at the bifurcation.

Tree with "N" indicates on adjacent property.



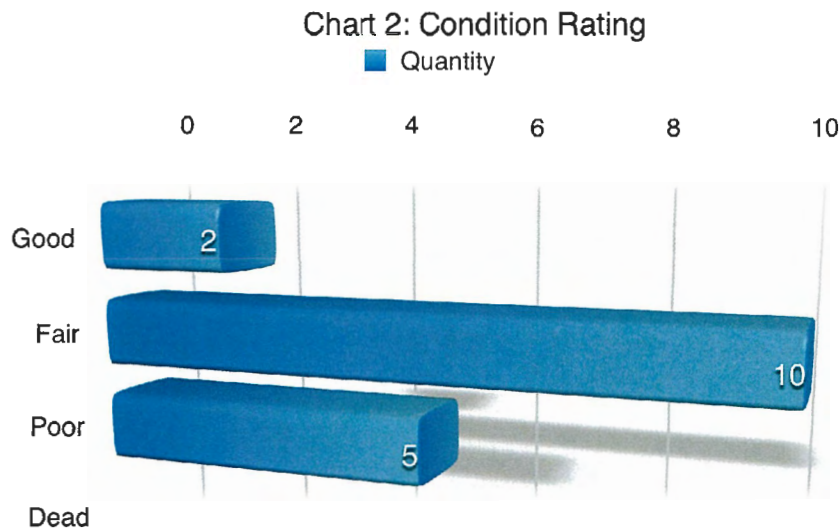
## Condition Rating

A tree's condition is a determination of its overall health and structure based on five aspects: Roots, trunk, scaffold branches, twigs, and foliage. The assessment considered both the health and structure of the trees for a combined condition rating.

- Exceptional = Good health and structure with significant size, location or quality.
- Good = No apparent problems, good structure and health, good longevity for the site.
- Fair = Minor problems, at least one structural defect or health concern, problems can be mitigated through cultural practices such as pruning or a plant health care program.
- Poor = Major problems with multiple structural defects or declining health, not a good candidate for retention.
- Dead/Unstable = Extreme problems, irreversible decline, failing structure, or dead.

Two trees are in good condition which are blue spruce #202 and coast redwood #212. Ten trees are in fair condition with some defects or conditions that could be mitigated through proper care. Five trees are in poor condition which include 'heritage tree' laurels #206 and #209 along the driveway and non-heritage size pittosporum #216, laurel #217, and avocado #214.

The chart below list the condition ratings and the relative quantity of each category (Chart 2).



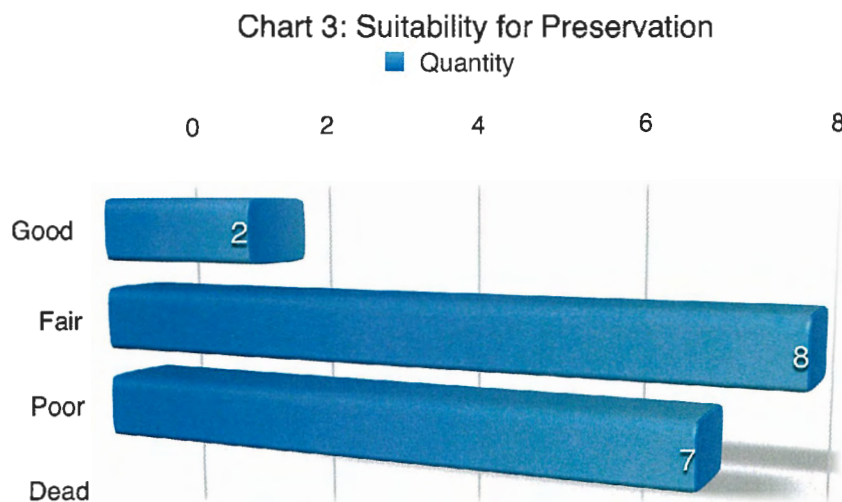
## Suitability for Preservation

A tree's suitability for preservation is determined based on its health, structure, age, species characteristics, and longevity using a scale of good, fair, or poor. The following list defines the rating scale (Tree Care Industry Association, 2012):

- Good = Trees with good health, structural stability and longevity.
- Fair = Trees with fair health and/or structural defects that may be mitigated through treatment. These trees require more intense management and monitoring, and may have shorter life spans than those in the good category.
- Poor = Trees in poor health with significant structural defects that cannot be mitigated and will continue to decline regardless of treatment. The species or individual may possess characteristics that are incompatible or undesirable in landscape settings or unsuited for the intended use of the site.

Two trees have good suitability for preservation which are the blue spruce #202 and coast redwood #212. Seven trees have poor suitability for preservation including all the trees in poor condition and additionally pittosporum #201 and privet #203, which is an invasive plant.

The chart below list the condition ratings and the relative quantity of each category (Chart 3).



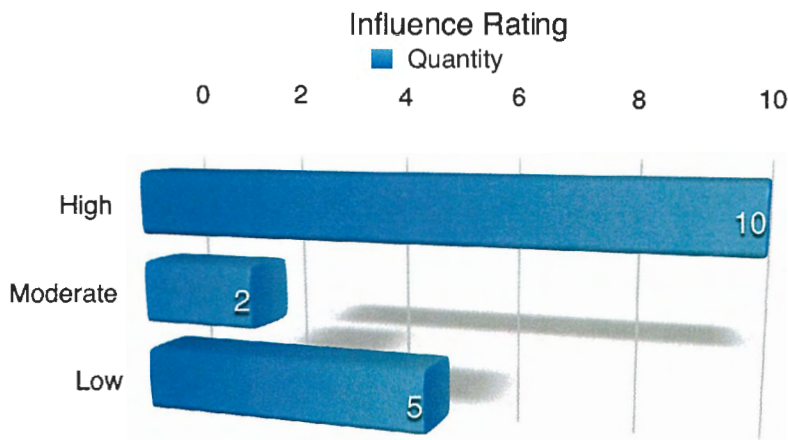
## Influence Level

Influence level defines how a tree may be influenced by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

- Low = The construction activity will have little influence on the tree.
- Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
- High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

Ten trees will be highly affected by the project which are primarily located along the existing and proposed driveway. The construction of the driveway sub-grade excavation will cause the most disturbance to the tree roots of #204 through #208. The impact around these trees could be reduced to moderate with alternative construction techniques. Trees #209, #214, #215, #216, and #217 will all be highly affected by the construction of the back structure and the excavation of the basement. Two trees will be moderately affected which are blue spruce #202 and privet #203 if the basement excavation can be limited to the twelve foot distance from their trunks. The neighbor's trees will not be affected including trees #210 and #212.

The chart below lists the trees and the development influence rating (Chart 4).



## Tree Protection

Tree protection focuses on protecting trees from damage to the roots, trunk, or scaffold branches from heavy equipment (Appendix D).

The tree protection zone (TPZ) is the defined area in which certain activities are prohibited to minimize potential injury to the tree. The TPZ can be determined by a formula based on species tolerance, tree age, and diameter at breast height (DBH) (Matheny, N. and Clark, J. 1998) or as the drip line in some instances (Figure 1). Tree protection zones and type of tree protection will vary depending on what may be impacting the tree.

Preventing mechanical damage to the main stems from equipment or hand tools can be accomplished by wrapping the main stem with straw wattle (Figure 2). The wattle will create a porous barrier around the trunk and prevent damage to the bark and vascular tissues underneath. Trees that are to be moderately affected by the project without adequate fence protection should be wrapped in wattle.

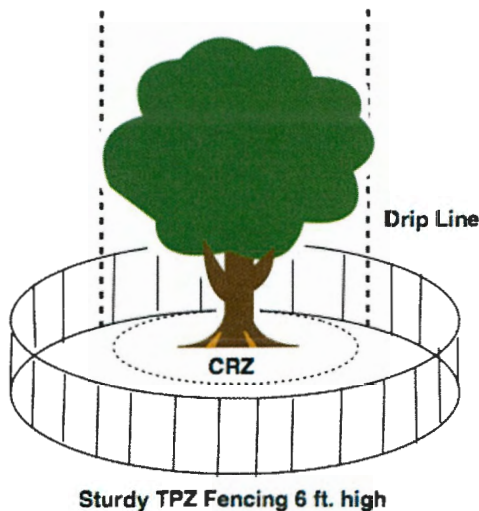


Figure 1: Tree protection distances

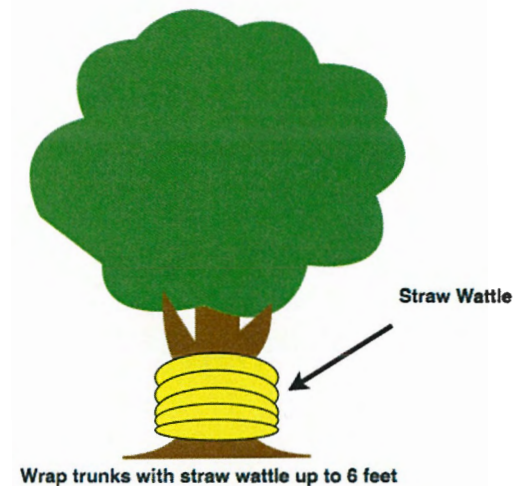


Figure 2: Trunk protection with straw wattle





## Critical Root Zone

Because most of the trees will only be influenced on one side the CRZ will in effect be the TPZ for this project. The CRZ distances are listed in “Appendix B2”.

The critical root zone (CRZ) is the area of soil around the trunk of a tree where roots are located that provide stability and uptake of water and nutrients required for the tree’s survival. The CRZ is the minimum distance from the trunk that trenching or root cutting can occur and will be defined by the trunk diameter as a distance of three times the DBH in feet, and preferably, five times (Smiley, E.T., Fraedrich, B. and Hendrickson, N. 2007). For example if the tree is two feet in diameter, the minimum CRZ distance would be six to ten feet from the stem on one side of the tree (Figure 3).

Trenching for the driveway sub-base and the structure in back near tree #209 will need to be outside the CRZ to help reduce the risk of failure after the project is completed.

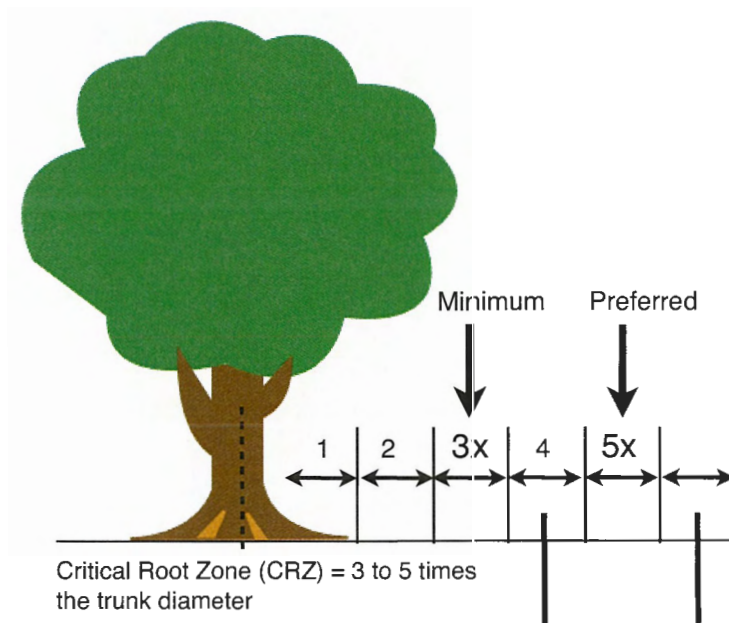


Figure 3: Critical Root Zone depiction



## Bridging with Mulch

It will be necessary to bridge near trees #204 through #208 when the new buildings are constructed and demolition occurs. Because tree protection fence would not allow for the actual construction of the new building, demolition, excavation, or access, a platform will be required to help protect the roots from compaction in this area.

Because the highly influenced trees are close to the proposed construction the CRZ and the TPZ may be the same distance in these instances. It may be impractical to fence off the TPZ near the construction because there will be limited room to work in the vicinity of the trees.

Placing mulch and steel road plates over the CRZ/TPZ will create a work platform that can be used to help protect the roots from compaction (Figure 4). Once the mulch is spread under the trees the steel road plate or plywood can be placed on top and the compaction of the root zones will be limited as pressure on the soil is now dispersed and displaced.

One option for trees #204 through #208 would be to leave the existing concrete driveway in place while construction and demolition is occurring.

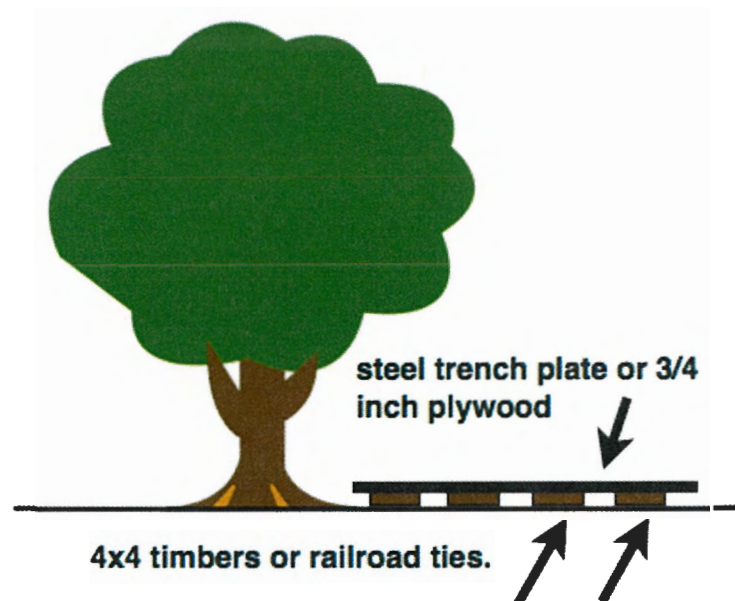


Figure 4: The image above depicts bridging for a work platform under the trees.



## Conclusion

The tree inventory and assessment for 755 Cambridge Avenue consists of seventeen trees comprised of twelve different species, of which eight are considered 'heritage trees' in the City of Menlo Park. Two trees are in good condition which are blue spruce #202 and coast redwood #212 while ten trees are in fair condition with some defects or conditions that could be mitigated through proper care. Five trees are in poor condition which include 'heritage tree' laurels #206 and #209 along the driveway and non-heritage size pittosporum #216, laurel #217, and avocado #214. Two trees have good suitability for preservation which are the blue spruce #202 and coast redwood #212. Seven trees have poor suitability for preservation including all the trees in poor condition and additionally pittosporum #201 and privet #203, which is an invasive plant. Ten trees will be highly affected by the project which are primarily located along the existing and proposed driveway. The construction of the driveway sub-grade excavation will cause destruction of tree roots on #204 through #208. The impact around these trees could be reduced to moderate with alternative construction techniques. Trees #209, #214, #215, #216, and #217 will all be highly affected by the construction of the back structure and the excavation of the basement. Two trees will be moderately affected which are blue spruce #202 and privet #203 if the basement excavation can be limited to the twelve foot structural footprint distance from their trunks. The neighbor's trees will not be affected including #210 and #212. Tree protection zones and type of tree protection will vary depending on what may be impacting the trees. Trenching for the driveway sub-base and the structure in back near trees #209, #214, #215, #216, and #217 will need to be outside the CRZ distance of three to five times the trunk diameters in feet to help reduce the risk of failure after the project is completed. It may be impractical to fence off the TPZ/CRZ near the construction because there will be limited room to work, and a working platform will need to be constructed and/or existing hardscape retained during the construction process.



## Recommendations

Obtain all necessary permits from the City of Menlo Park prior to removing or significantly altering any tree.

Refer to Appendix D of this document for general protection guidelines and specifications.

### Protection during demolition

1. Place tree protection fence around trees 201 through 204 in the front of the property with the fence running north to south along the property edge, driveway and seven feet from #202 and #203 in front of the house connecting with the neighbor fence. Basement excavation shall be limited to seven feet from the trees.
2. Place tree protection fence at a distance of five feet from trees #213 to #217 in an "L" shape running from the back neighbor fence around tree #217 connecting with south neighbor fence.
3. Place tree protection fence along the driveway on top of the existing concrete around trees #205 through #209 at a distance of six feet from the trunks.

### Protection during construction

1. Place tree protection fence around trees 201 through 204 in the front of the property with the fence running north to south along the property edge, driveway and seven feet from #202 and #203 in front of the house connecting with the neighbor fence. Basement excavation shall be limited to seven feet from the trees.
2. Place tree protection fence at a distance of five feet from trees #213 to #217 in an "L" shape running from the back neighbor fence around tree #217 connecting with south neighbor fence.
3. Place tree protection at the back of the site connecting with the neighbor fence at a radius of twelve feet from tree #212. No basement excavation can encroach within twelve feet of tree #212.
4. Create working platforms with mulch or timbers and road plate or three quarter inch plywood along the driveway if the existing concrete is to be removed. Place tree protection fence parallel to the neighbor fence to the north at a distance of six feet from trees #205 through #209 and at the entrance near #204.



### **Options for trees #204 through #209 demolition and construction**

Retain the existing concrete driveway until the new driveway is ready to be installed. The existing concrete will protect the roots of the existing trees along the driveway during the construction and demolition process.

### **Option for trees #206, #209, and trees #213 through #217**

1. File a heritage tree removal permit application to remove trees #206 and #209 because they are in poor condition and poorly suited for preservation. Provide a replanting plan with appropriate species for the locations.
2. Submit for a permit to remove trees #213 through #217 and provide a replanting or landscape plan to help recover the lost canopy cover.

### **Option for Driveway Construction**

1. The first priority for the driveway construction is to adopt a no dig policy and incorporate a design plan that will minimize soil compaction and root disturbances around trees to be retained.
2. Use the thinnest material possible to achieve structural compliance such as concrete versus asphalt.
3. Adjust the finished grade to be above the natural grade without digging for a sub-grade treatment. In this instance the pavement will be higher up and edge treatments or curbing also need to be constructed above grade.
4. Use paving material that does not rely on the strength of a compacted sub-base for strength. This may be accomplished by reinforcing the surface layer material.
5. Place geotextile fabric at the bottom of the sub-base to reduce displacement into the parent soil along with a reduction in compaction requirements. Use biaxial Tensar BX-1100 or equivalent to manufacturer specifications on grade.
6. Create pop-outs with a least two feet of space between the trunk flare at grade level and the new hard-scape.



## Bibliography

American National Standard for Tree Care Operations: Tree, Shrub and Other Woody Plant Management : Standard Practices (Management of Trees and Shrubs During Site Planning, Site Development, and Construction)(Part 5). Londonderry, NH: Secretariat, Tree Care Industry Association, 2012. Print.

ISA. *Glossary of Arboricultural Terms*. Champaign: International Society of Arboriculture, 2011. Print.

Matheny, Nelda P. Trees and development: A technical guide to preservation of trees during land development. Bedminster, PA: International Society of Arboriculture, 1998.

Smiley, E. Thomas, Fraedrich, Bruce R., and Hendrickson, Neil. *Tree Risk Management*. 2nd ed. Charlotte, NC: Bartlett Tree Research Laboratories, 2007.



## Glossary of Terms

**Defect:** An imperfection, weakness, or lack of something necessary. In trees defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength.

**Diameter at breast height (DBH):** Measures at 1.4 meters (4.5 feet) above ground in the United States, Australia (arboriculture), New Zealand, and when using the Guide for Plant Appraisal, 9th edition; at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arboriculture.

**Drip Line:** Imaginary line defined by the branch spread or a single plant or group of plants.

**Mechanical damage:** Physical damage caused by outside forces such as cutting, chopping or any mechanized device that may strike the tree trunk, roots or branches.

**Scaffold branches:** Permanent or structural branches that form the scaffold architecture or structure of a tree.

**Straw wattle:** also known as straw worms, bio-logs, straw noodles, or straw tubes are man made cylinders of compressed, weed free straw (wheat or rice), 8 to 12 inches in diameter and 20 to 25 feet long. They are encased in jute, nylon, or other photo degradable materials, and have an average weight of 35 pounds.

**Tree Protection Zone (TPZ):** Defined area within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction or development.

**Tree Risk Assessment:** Process of evaluating what unexpected things could happen, how likely it is, and what the likely outcomes are. In tree management, the systematic process to determine the level of risk posed by a tree, tree part, or group of trees.

**Trunk:** Stem of a tree.

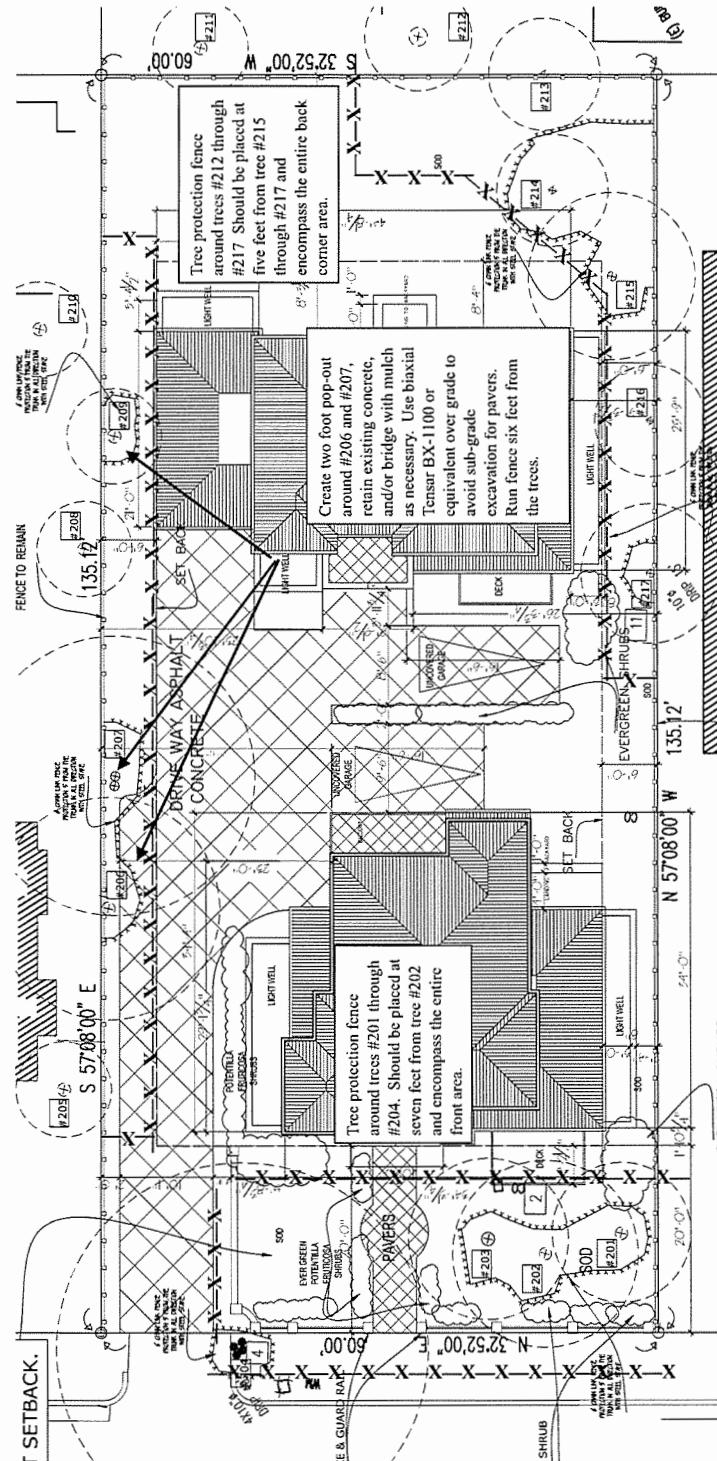
**Volunteer:** A tree, not planted by human hands, that begins to grow on residential or commercial property. Unlike trees that are brought in and installed on property, volunteer trees usually spring up on their own from seeds placed onto the ground by natural causes or accidental transport by people. Normally, volunteer trees are considered weeds and removed, but many desirable and attractive specimens have gone on to become permanent residents on many public and private grounds.

This Glossary of terms was adapted from the Glossary of Arboricultural Terms (ISA, 2011).





## Appendix A: Tree Protection Plan



## Appendix B: Tree Inventory and Disposition Tables

Table 2: Tree Inventory and Assessment

Tree Species	Number	Trunk Diameter	~ Height	~ Crown Radius	Condition	Suitability	Influence Level
Pittosporum ( <i>Pittosporum tobira</i> )	201	6	12	6	Fair	Poor	Low
Blue spruce ( <i>Picea pungens</i> )	202	15	45	10	Good	Good	Moderate
Privet ( <i>Ligustrum lucidum</i> )	203	18	35	16	Fair	Poor	Moderate
Shamal ash ( <i>Fraxinus uhdei</i> )	204	27	45	18	Fair	Fair	High
Hollywood juniper ( <i>Juniperus chinensis</i> )	205	8	25	10	Fair	Fair	High
Bay Laurel ( <i>Laurus nobilis</i> )	206	20	40	15	Poor	Poor	High
Avocado ( <i>Persea americana</i> )	207	19	45	15	Fair	Fair	High
Juniper ( <i>Juniperus sp.</i> )	208	8	25	10	Fair	Fair	High
Laurel ( <i>Prunus laurocerasus</i> )	209	23	35	5	Poor	Poor	High
Deodar cedar ( <i>Cedrus deodara</i> )	210	15	50	15	Fair	Fair	Low
Podocarpus group ( <i>Podocarpus macrphyllus</i> )	211	5	25	8	Fair	Fair	Low
Coast redwood ( <i>Sequoia sempervirens</i> )	212	24	55	15	Good	Good	Low
Laurel ( <i>Prunus laurocerasus</i> )	213	9	15	10	Fair	Fair	Low



Tree Species	Number	Trunk Diameter	~ Height	~ Crown Radius	Condition	Suitability	Influence Level
Avocado ( <i>Persea americana</i> )	214	9	20	10	Poor	Poor	High
Avocado ( <i>Persea americana</i> )	215	13	35	15	Fair	Fair	High
Pittosporum ( <i>Pittosporum tobira</i> )	216	12	15	10	Poor	Poor	High
Laurel ( <i>Prunus laurocerasus</i> )	217	12	15	10	Poor	Poor	High



**B2: Disposition Table**

Table 3: Disposition Table

Tree Species	#	Trunk Diameters	~ Height	Heritage Tree	Remove or Retain
Pittosporum ( <i>Pittosporum tobira</i> )	201	6	12	No	Retain
Blue spruce ( <i>Picea pungens</i> )	202	15	45	Yes	Retain
Privet ( <i>Ligustrum lucidum</i> )	203	*18	35	Yes	Retain
Shamal ash ( <i>Fraxinus uhdei</i> )	204	*27	45	Yes	Retain
Hollywood juniper ( <i>Juniperus chinensis</i> ) - N	205	8	25	No	Retain
Bay Laurel ( <i>Laurus nobilis</i> )	206	20	40	Yes	Remove
Avocado ( <i>Persea americana</i> )	207	*19	45	Yes	Retain
Juniper ( <i>Juniperus sp.</i> ) - N	208	8	25	No	Retain
Laurel ( <i>Prunus laurocerasus</i> )	209	*23	35	Yes	Remove
Deodar cedar ( <i>Cedrus deodara</i> ) - N	210	15	50	Yes	Retain
Podocarpus group ( <i>Podocarpus macrophyllus</i> ) - N	211	5	25	No	Retain
Coast redwood ( <i>Sequoia sempervirens</i> ) - N	212	24	55	Yes	Retain
Laurel ( <i>Prunus laurocerasus</i> )	213	*9	15	No	Retain
Avocado ( <i>Persea americana</i> )	214	9	20	No	Retain
Avocado ( <i>Persea americana</i> )	215	13	35	No	Remove
Pittosporum ( <i>Pittosporum tobira</i> )	216	*12	15	No	Remove
Laurel ( <i>Prunus laurocerasus</i> )	217	12	15	No	Remove

Trees with \* indicate multi-trunk trees with codominant stems measured at the bifurcation.  
Tree with "N" indicates on adjacent property.



## Appendix C: Photographs

### C1: Front of the property #202, #203, #204





**C2: Driveway Trees #205 through #209**



**C3: Trees #208, #209, and #210**

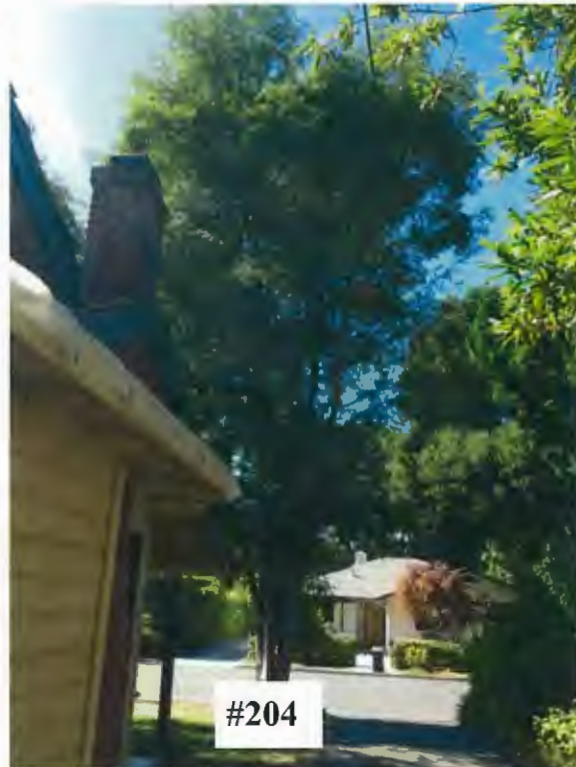




**C4: Trees #212 through #216**



**C5: Tree #204**





**C6: Tree #217**



**C7: Trees #213 and #214**





**C8: Trees #206 and #207**



## Appendix D: Tree protection specifications

Tree protection locations should be marked before any fencing contractor arrives.

### Pre-Construction Meeting with the Project Arborist

Prior to beginning work, all contractors involved with the project should attend a pre construction meeting with the project arborist to review the tree protection guidelines. Access routes, storage areas, and work procedures will be discussed.

### Tree Protection Zones and Fence Specifications

Tree protection fence should be established prior to the arrival of construction equipment or materials on site. Fence should be comprised of six-foot high chain link fence mounted on eight-foot tall, 1 7/8-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart. Once established, the fence must remain undisturbed and be maintained throughout the construction process until final inspection.

The fence should be maintained throughout the site during the construction period and should be inspected periodically for damage and proper functions.

Fence should be repaired, as necessary, to provide a physical barrier from construction activities.

A final inspection by the city arborist at the end of the project will be required prior to removing any tree protection fence and replacement tree shall be planted at this time.

### Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

### Restrictions Within the Tree Protection Zone

No storage of construction materials, debris, or excess soil will be allowed within the Tree Protection Zone. Spoils from the trenching shall not be placed within the tree protection zone either temporarily or permanently. Construction personnel and equipment shall be routed outside the tree protection zones.



## Root Pruning

Root pruning shall be supervised by the project arborist. When roots over two inches in diameter are encountered they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

## Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

## Timing

If the construction is to occur during the summer months supplemental watering and bark beetle treatments should be applied to help ensure survival during and after construction.

## Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree pruning should be specified according to ANSI A-300A pruning standards and adhere to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.

## Tree Protection Signs

All sections of fencing should be clearly marked with signs stating that all areas within the fencing are Tree Protection Zones and that disturbance is prohibited. Text on the signs should be in both English and Spanish (Appendix E).





## **Appendix E: Tree Protection Signs**

**E1: English**

# **WARNING**

## **Tree Protection Zone**

**This Fence Shall not be moved without  
approval. Only authorized personnel  
may enter this area!**

Project Arborist



**E2: Spanish**

# CUIDADO Zona De Arbol Pretejido

Esta cerca no sera removida sin  
aprobacion. Solo personal autorizado  
entrara en esta area!

Project Arborist



## Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.



## Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist®. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner



ASCA Registered Consulting Arborist® #496  
ISA Board Certified Master Arborist® WE-4341B



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**From:** Brian Schmitz <brian@brianschmitz.com>

**To:** stephen@stephenconnell.net

**Sent:** Thursday, January 8, 2015 4:49 PM

**Subject:** Re: Use Permit/Farnad Fakoor and Aria Vatankhah/755 Cambridge Ave

On Wed, Dec 31, 2014 at 5:36 PM, Brian Schmitz <brian@brianschmitz.com> wrote:

Hi, Stephen. I'm writing regarding the use permit for the two new homes at 755 Cambridge. My wife, Stephanie Rowen, and I live nearby at 114 Cornell.

Based on the plans, we have two concerns and one question:

1. The look and feel of the new homes do not seem to match the look and feel of the surrounding homes and the Allied Arts neighborhood.
2. It looks like the rear home's second story bedroom windows (south side) will provide the opportunity to see into our kitchen dining area windows.
3. Will this lot be sub-divided?

I'm looking forward to your feedback.

Thank you,

Brian Schmitz  
114 Cornell Rd  
415-845-6952

## Rogers, Thomas H

---

**From:** Cama Garcia <c4cama@sbcglobal.net>  
**Sent:** Wednesday, July 22, 2015 8:46 PM  
**To:** \_Planning Commission  
**Subject:** 755 Cambridge Ave

Dear Mebers of the Menlo Park Planning Commission,

I apologize for this late and very informal email, but I wanted to send it as soon as possible since you met last evening.

I live at 775 Cambridge ave, right adjacent to 755 Cambridge ave. I have read through all the planning commission notes in regards to this planned demolition and massive build, as well as the architectural plans and designs.

I sincerely appreciate all your time and effort looking into all the aspects of this proposition, demolition and build.

Has anyone looked into and considered the possibility of the shifting that could occur?

Our property lines are extremely close, and from the projected plans, it appears now our houses will be even closer in proximity.

With the massive digging and clearing out for the 2 large basements what is the possibility of shifting? If this occurs who is liable for structural damage?

I have yet to speak with the neighbors, I have lived in this house for 8 years and they have never waved or said hello, even smiled in response to mine. They left a note on our door late Sunday evening, which I found in the morning.

Obviously when you look around the neighborhood every third house is currently being torn down, and it's the nature of those who are blessed with the current state of the economy.

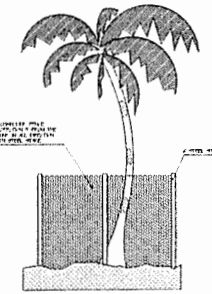
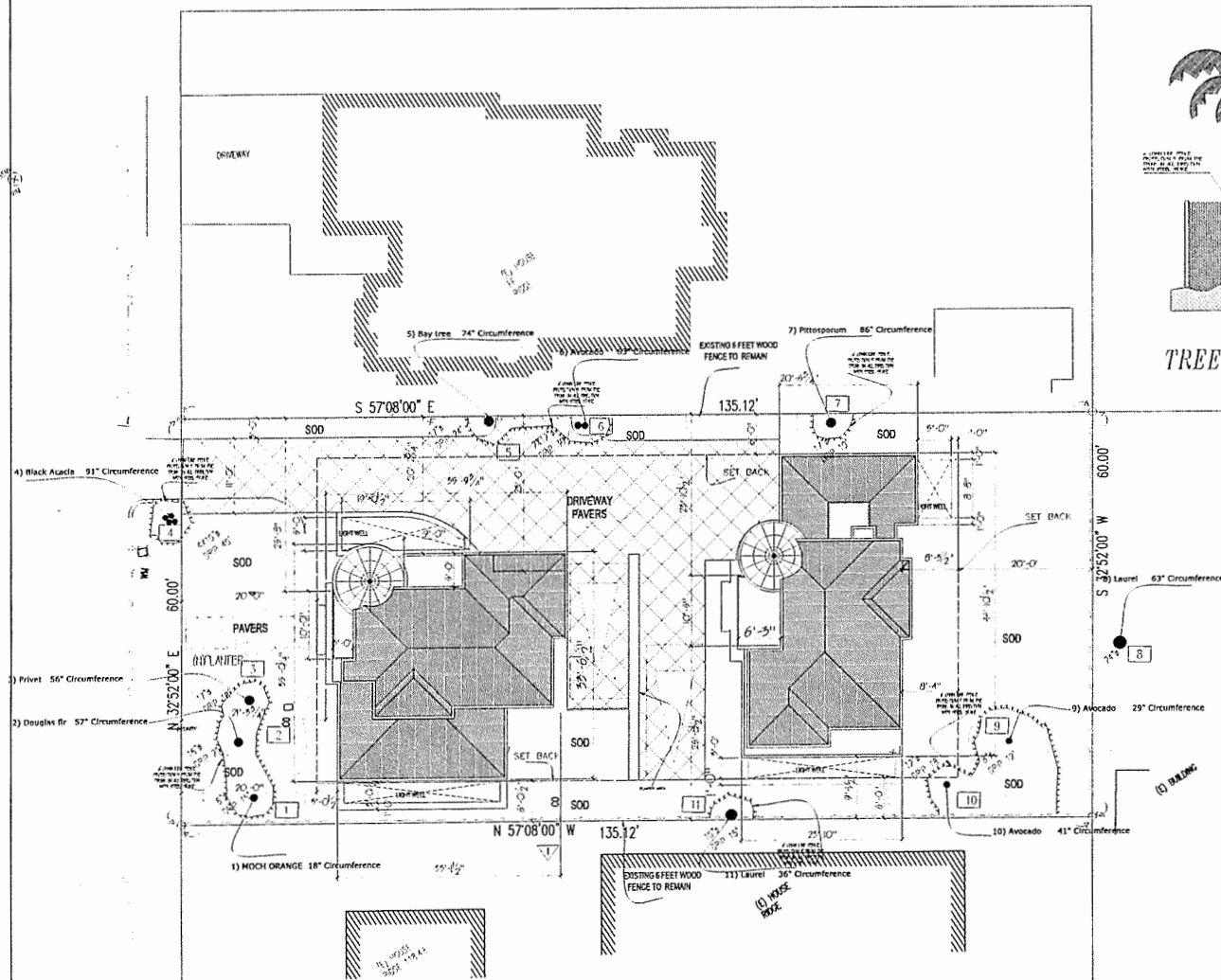
Thank you for your time and consideration.

Sincerely,

Cama Lock

14

CAMBRIDGE AVE.



TREE PROTECTION

ALLOWABLE FLOOR AREA FOR TWO STORY STRUCTURE :	
FLOOR AREA LIMIT ( FAL)40% X 8107 =3242.8 sqf /2(FOR EACH HOUSE)=1621.4 S.F	
SECOND FLOOR FAL 15% X 8107 = 1216.05 s.f/ (2 FOR EACH HOUSE) = 608.025 S.F	
FIRST FLOOR MAXIM 3242.8-1216.05 = 2026.75 (FOR EACH HOUSE) /2 =1013.375 S.F	
MAX LOT COVERAGE %35 X 8107 = 2837.45 S.F > 2021.11 S.F+143.78=2164.89	
PARKING: ONE COVERS / ONE UNCOVERED PER HOUSE	

PROPOSED SITE PLAN  
LANDSCAPE PLAN

0' 4' 8' 16'



1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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BEHROOZ NEMATI  
CONSTRUCTION  
License # 986104  
2280 HOMESTEAD CT  
LOS ALTOS, CA 94024  
Tel: 310.560.2314

DESIGNER: BEHROOZ NEMATI  
CONSTRUCTION  
2280 HOMESTEAD CT  
LOS ALTOS, CA - 94024  
TELL: (310) 560-2314

PROJECT ADDRESS:  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

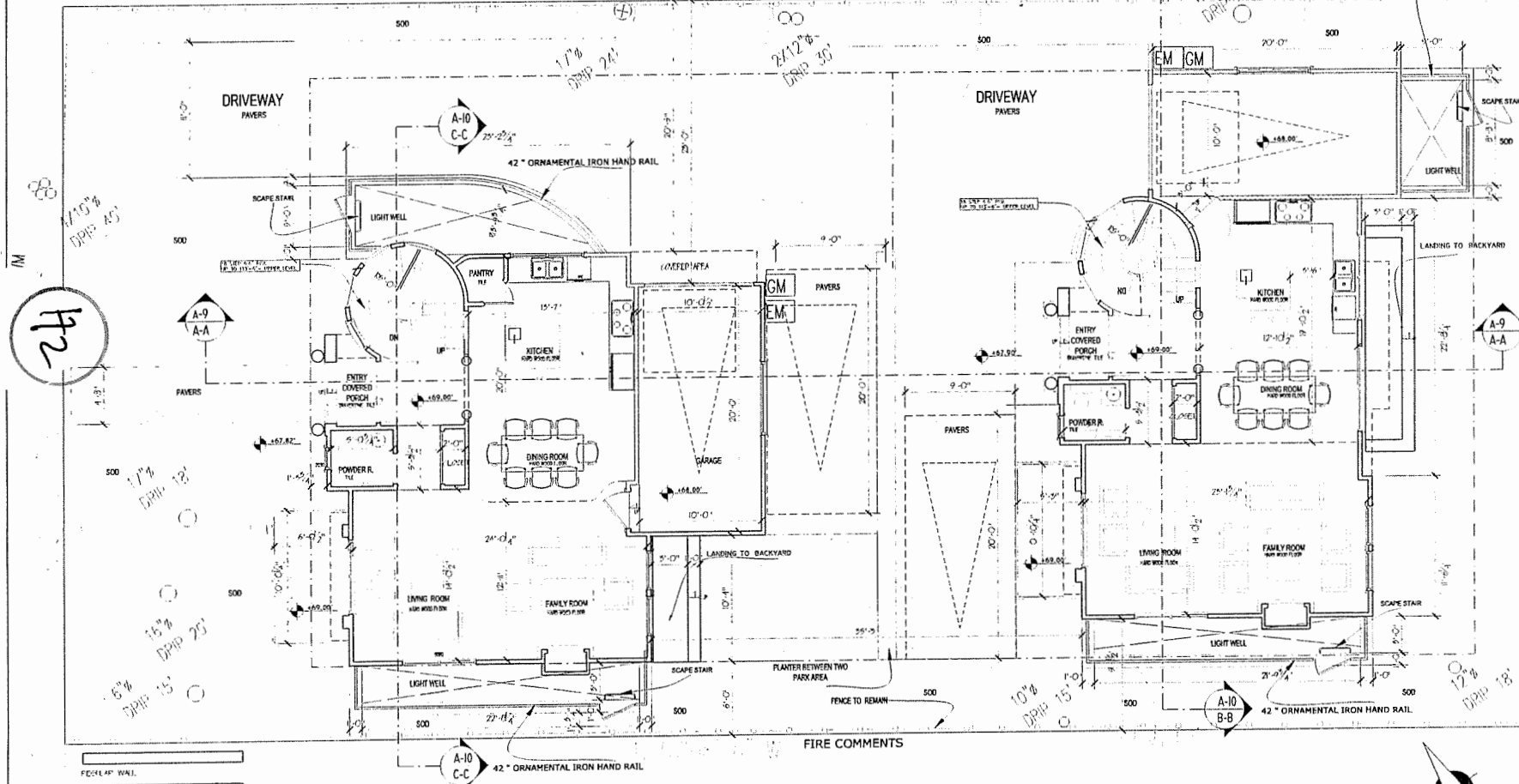
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PROPOSED  
SITE PLAN &  
LANDSCAPE

Date: 12/07/14  
Scale: 1/8" = 1'  
DESIGN BY:  
B. NEMATI  
APPROVED BY:  
B. NEMATI  
Sheet No.:  
Job No.: 106



# NOTES:

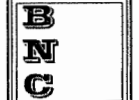
1. HANDRAIL PORTION OF HANDRAIL SHALL BE NOT LESS THAN 1 1/4" OR MORE THAN 2" IN CROSS SECTIONAL DIMENSION AND SHARP CORNER. 2007 CBC 1012 AND AT A HEIGHT OF 34" TO 38" ABOVE FINISH FLOOR CONTINUOUSLY FROM TOP TO BOTTOM ROSE, AND TERMINATE AT A WALL POST OR RETURN TO WALL. CBC 1012
2. A MINIMUM 100 SQUARE INCHES MAKE-UP AIR FOR LAUNDRY ROOM UTILIZING OPENINGS SUCH AS LOUVERED OPENINGS IN DOORS ARE REQUIRED. CBC 904.5.2
3. AN ACCESSIBLE FIRE PLACE SHUTOFF VALVE IN ADDITION TO ANY VALVE ON THE APPLIANCE SHALL BE LOCATED WITHIN THREE FEET OF THE APPLIANCE. CBC 1311.18
4. PROVIDE CLOTHES DRYER EXHAUST DUCT (MINIMUM 4" DIAMETER) TO THE OUTSIDE AND EQUIP WITH A BACK DRAFT DAMPER. EXHAUST DUCT LENGTH IS LIMITED TO 14' WITH 2 ELBOWS. CBC 904.5
5. WHERE 4 OR MORE WATER CLOSETS ARE INSTALLED, THE BUILDING DRAIN SHALL BE A MINIMUM 4 INCHES DIAMETER.
6. WATER-RESISTANT CYPRESS BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATH TUB (CBC 1209.3)
7. OVERLAP OF UPPER ROOF COVERING TO P.L. MORE THAN 24" MINIMUM DISTANCE THAT MENTIONED IN CBC SECTION 704.2
8. IT SHOULD BE 30 INCH WIDE CLEAR SPACE AT THE WATER CLOSET, EXTENDING AT LEAST 24 INCHES IN FRONT (CBC SECTION 407.6)
9. MINIMUM 30" WIDE LANDINGS OUTSIDE EXTERIOR DOORS A AND B SHALL BE MORE THAN 1/4" LOWER THAN THRESHOLD. CBC 1008.1.4 AND 1008.1.5
10. USE 3/4" OUPPER BOARD FOR THE SEPARATION WALL BETWEEN GARAGE AND LAND AT AREA AND FOR WALL AND SOFFIT OF ENCLOSED UPFALL. CBC 1009.5.3
11. PROVIDE GUARD RAIL IS REQUIRED ON THE OPEN SIDE OF STAIR WAY AT A HEIGHT OF 34" TO 38" AND SHALL HAVE INTERMEDIATE RAILS SPACED SUCH THAT A 6 INCH DIA. RIGID CYLINDER CANNOT PASS THROUGH. CBC 1013.2, 1013.3
12. PROVIDE HANDRAILS MAY PROJECT IN TO THE REQUIRED WIDTH OF STAIRWAY 4-1/2" AND SHALL PROVIDE 1 1/2" SPACE BETWEEN THE WALL AND HANDRAIL. DETAIL NO. 6
13. PROVIDE ESCAPE OPENING HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND MINIMUM NET CLEAR OPENING WIDTH OF 20" IF WINDOWS ARE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 4 INCHES ABOVE THE FLOOR AND OPENS DIRECTLY TO STREET, PUBLIC ALLEY, YARD OR COURT THAT OPENS TO PUBLIC WAY
14. FORCED AIR FURNACE WITH 80% HIGH EFFICIENCY SHALL BE INSTALLED TO MAINTAIN MIN. 68 DEGREE F ROOMS TEMPERATURE
15. ALL SHOWER AND TUB WALLS SHALL BE PROVIDED WITH A SMOOTH NON ABSORBENT SURFACE OVER A MOISTURE RESISTANT 2 LAYER GRADE D FELT PAPER UNDERLAYMENT.
16. 3/4" DIA. RIGID ROLLERS BOLTED TO 1/4" PLUNGE PLATE FOR PROTECTION FROM VEHICULAR IMPACT
17. SHOWER AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR TRIP THERMOSTATIC MIXING VALVE TYPE.



FIRST FLOOR PLAN

- FOUR LAY WALL
- FOUR LAY WALL
- FOUR LAY WALL
- ONE 1/2\"/>

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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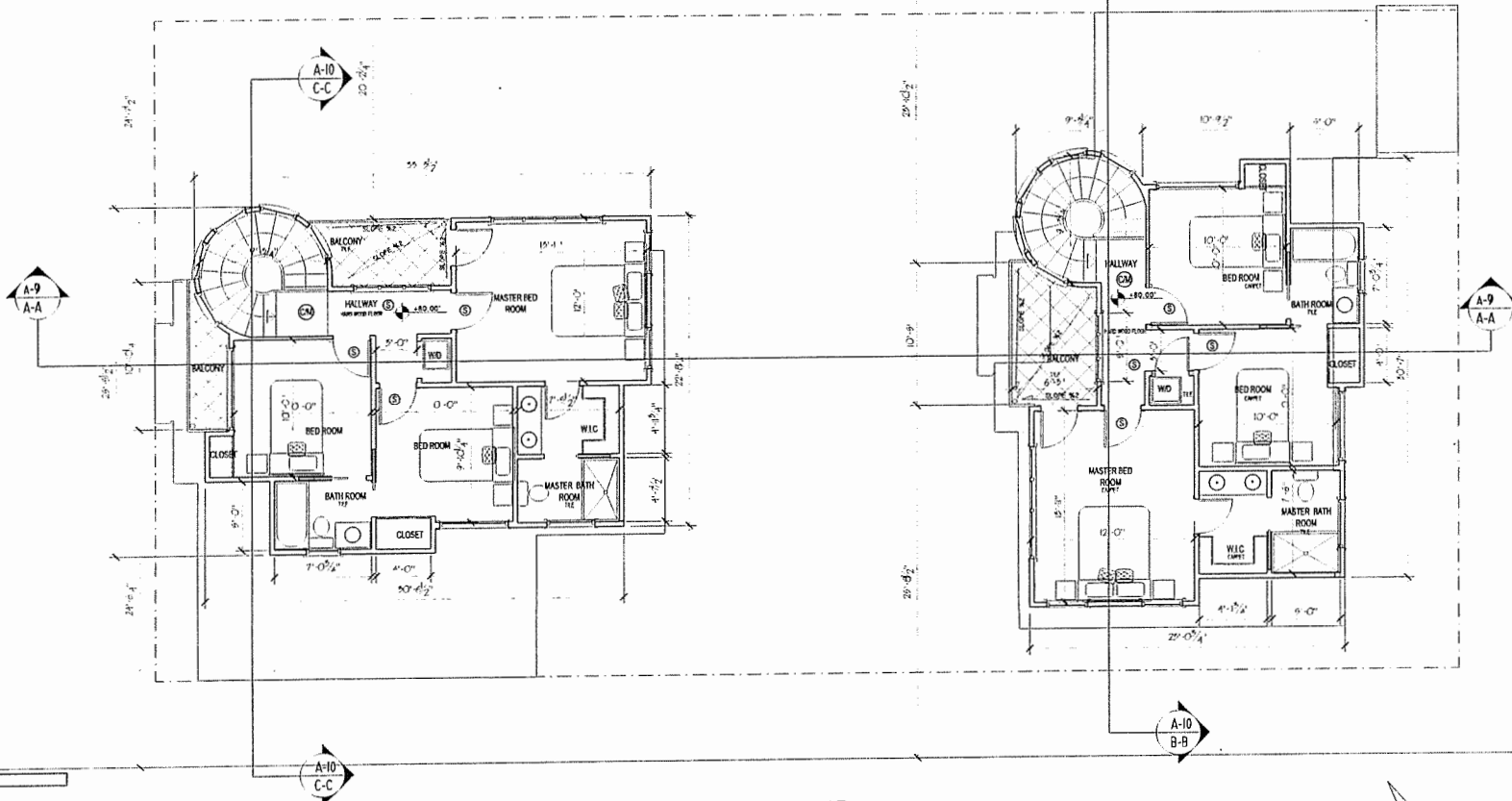
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755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

SHEET TITLE:  
PROPOSED  
1ST FLOOR

Date: 12/07/14  
Scale: 1/4" = 1'  
DESIGN BY: B. NEMATI  
APPROVED BY: B. NEMATI  
Sheet No.:  
Job No.: 106

# NOTES:

- A. HANDICAP PORTION OF HANDRAIL SHALL BE NOT LESS THAN 1-1/2" OR MORE THAN 2" IN CROSS SECTIONAL DIMENSION AND SHARP CORNER, 2002, CBC 101.2 AND AT A HEIGHT OF 34" TO 38" ABOVE FLOOR, EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER, AND TERMINATE AT HANDRAIL POST OR RETURN TO WALL, CBC 101.2
- B. A MINIMUM 100 SQUARE INCHES MAKE-UP AIR FOR LAUNDRY ROOM UTILIZING OPENINGS SUCH AS LOUVERED OPENINGS IN DOORS ARE REQUIRED, CMC 504.5.2
- C. AN ACCESSIBLE FREE PLACE SINK/STOVE VALVE IN ADDITION TO ANY VALVE ON THE APPLIANCE SHALL BE LOCATED WITHIN THREE FEET OF THE APPLIANCE, CMC 1211.18
- D. PROVIDE CLOTHES DRYER EXHAUST DUCT (MINIMUM 4" DIAMETER) TO THE OUTSIDE AND EQUIP WITH A BACK-DRAFT DAMPER, EXHAUST DUCT LENGTH IS LIMITED TO 14' WITH 2 ELBOWS, CMC 504.3
- E. WHEN 4 OR MORE WATER CLOSETS ARE INSTALLED, THE BUILDING DRAIN SHALL BE A MINIMUM 4 INCHES DIAMETER.
- F. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED OVER A VAPOR BARRIER IN SHOWER OR BATH TUB (CBC 109.13)
- G. DIMENSION OF UPPER ROOF OVERHANG TO P.L. MORE THAN 24" MINIMUM DISTANCE THAT MENTIONED IN CBC SECTION 104.7
- H. IT SHOULD BE 30-INCH WIDE CLEAR SPACE AT THE WATER CLOSET, EXTENDING AT LEAST 24 INCHES IN FRONT, CMC SECTION 407.8
- I. MINIMUM 30" DEEP LANDING OUTSIDE EXTERIOR DOORS A AND B IS NOT MORE THAN 2-1/4" LOWER THAN THRESHOLD, CBC 1008.1.4 AND 1008.1.5
- J. USE 1/4" MINIMUM BEARING FOR THE SEPARATION WALL BETWEEN GARAGE AND HABITAT AREA AND FOR WALL AND SOFFIT OF ENCLOSED USABLE SPACE UNDER STAIR, CBC 1008.5.3, CBC 1009.1
- K. PROVIDE GUARD RAIL IS REQUIRED ON THE OPEN SIDE OF STAIRWAY AT A HEIGHT OF 36" TO 38" AND SHALL HAVE INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE 4-3/8" IN DIAMETER CANNOT PASS THROUGH, CBC 1013.2, 1013.3
- L. PROVIDE HANDRAILS MAY PROJECT IN TO THE REQUIRED WIDTH OF STAIRWAY 4-1/2" AND SHALL PROVIDE 1-1/2" SPACE BETWEEN THE WALL AND HANDRAIL, DETAIL NO. 5
- M. PROVIDE ESCAPE OPENING HAS A MINIMUM NET CLEAR OPENING OF 5.7 SQ.F. MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND MINIMUM NET CLEAR OPENING WIDTH OF 20 INCH. WHENEVER HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 66 INCHES ABOVE THE FLOOR AND OPENING DIRECTLY TO STREET, PUBLIC ALLEY, YARD OR COURT THAT OPENS TO PUBLIC WAY
- N. FORCED AIR FURNACE WITH 82% HIGH EFFICIENCY SHALL BE INSTALLED TO MAINTAIN MIN. 68 DEGREE F INDOOR TEMPERATURE.
- O. ALL SHOWER AND TUB WALLS SHALL BE PROVIDED WITH A SMOOTH NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT 2 LAYER GIBBER FELT PAPER UNDERLAYMENT.
- P. 3/4" DIA. RIFLE IN WALLS BOLTED TO 1/4" FURNACE PLATFORM FOR PROTECTION FROM VEHICULAR IMPACT
- Q. SHOWER AND TUB SHOWER CONNECTIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.



SECOND FLOOR PLAN

RECALL WALL  
 1/2" REINFORCED CONCRETE  
 1/2" REINFORCED CONCRETE  
 1/2" REINFORCED CONCRETE  
 1/2" REINFORCED CONCRETE

NOTE:  
 CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR  
 SHALL BE HARD WIRED AND WTER CONNECTED FOR ALARM.  
 (C) CARBON MONOXIDE DETECTOR  
 (S) SMOKE DETECTOR



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PROJECT ADDRESS  
 755 CAMBRIDGE AVENUE  
 MENLO PARK  
 CA 94025

SHEET TITLE:  
 PROPOSED  
 2ND FLOOR

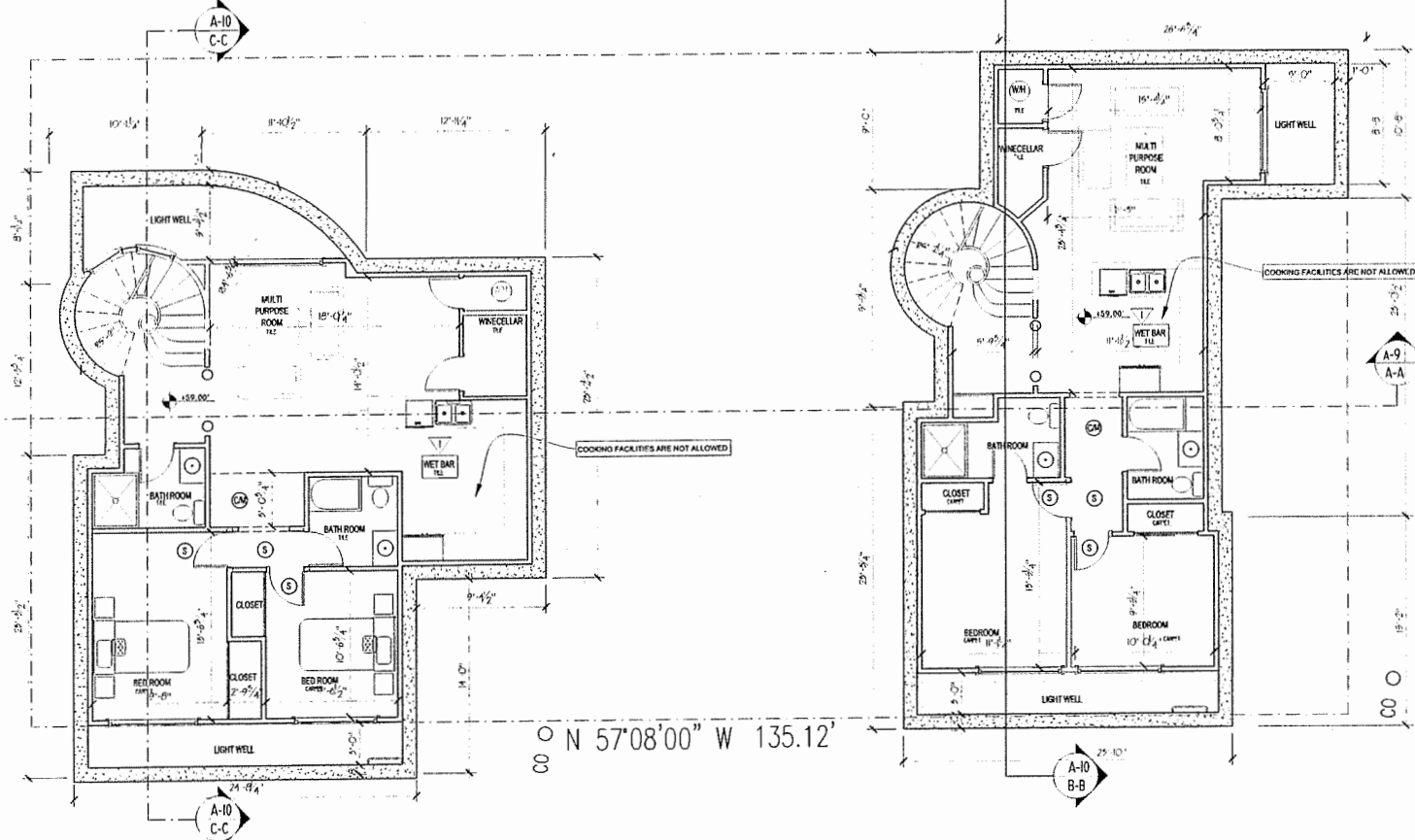
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 DESIGN BY:  
 B. NEMATI  
 APPROVED BY:  
 B. NEMATI  
 Sheet No.:  
 Job No.: 106

# NOTES:

- A. HANDSIP PORTION OF HANDRAIL SHALL BE NOT LESS THAN 4'-0" OR MORE THAN 2' IN CROSS-SECTIONAL DIMENSION NO SHARP CORNER. 2007 CBC 1812 AND AT A HEIGHT OF 34" TO 38" ABOVE HOSING EXTENDING CONTINUOUSLY FROM TOP TO BOTTOM RAIL, AND TERMINATE AT NEWEL POSTS OR RETURN TO WALL. CBC 1812
- B. A MINIMUM 100 SQUARE INCHES MAKE UP AIR FOR LAUNDRY ROOM UTILIZED OPENINGS SUCH AS LOUVERED OPENINGS IN DOORS ARE REQUIRED. CBC 904.3.2
- C. AN ACCESSIBLE FIVE PLACE SHUTOFF VALVE (IN ADDITION TO ANY VALVE ON THE APPLIANCE) SHALL BE LOCATED WITHIN THREE FEET OF THE APPLIANCE. CBC 1211.16
- D. PROVIDE CLOUSED OVER MOISTURE EXHAUST DUCT (MINIMUM 4" DIAMETER) TO THE OUTSIDE AND EQUIP WITH A BACK DRAFT DAMPER EXHAUST DUCT LENGTH IS LIMITED TO 14' WITH 2 ELBOWS. CBC 904.3
- E. WHERE 4 OR MORE WATER CLOSETS ARE INSTALLED, THE BUILDING DRAIN SHALL BE A MINIMUM 4 INCHES DIAMETER.
- F. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATH TUB (CBC 109.3)
- G. DIMENSION OF UPPER ROOF OVERHANG TO P.L. MORE THAN 24" MINIMUM DISTANCE THAT MENTIONED IN CBC SECTION 704.2
- H. IT SHOULD BE 30-INCH WORK CLEAR SPACE AT THE WATER CLOSET, EXTENDING AT LEAST 24 INCHES IN FRONT OF SECTION 407.8
- I. MINIMUM 30" DEEP LANDING OUTSIDE EXTERIOR DOOR (A AND B) SHALL BE MORE THAN 2' IN LOWER THAN THRESHOLD. CBC 1008.14 AND 1008.15
- J. USE 1/2" CONCRETE BOARD FOR THE SEPARATION WALL BETWEEN GARAGE AND LANTANA AREA AND FOR WALL AND ROOF OF ENCLOSED USEABLE SPACE UNDER STAIR. CBC 1008.5.3 - CBC 1008.1
- K. PROVIDE GUARD RAIL IS REQUIRED ON THE OPEN SIDE OF STAIRWAY 4'-0" HIGH SHALL PROVIDE 1' 0" SPACE BETWEEN THE WALL AND HANDRAIL. DETAIL NO. 5
- L. PROVIDE HANDRAILS MAY PROJECT IN TO THE REQUIRED WIDTH OF STAIRWAY 4'-0" HIGH SHALL PROVIDE 1' 0" SPACE BETWEEN THE WALL AND HANDRAIL. DETAIL NO. 5
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- P. 3'-2" DIA STEEL ROLLERS BOLTED TO 18" FURNACE PLATFORM FOR PROTECTION FROM VEHICULAR IMPACT
- Q. SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE

S 57°08'00" E 135.12'

H4



BASEMENT FLOOR PLAN

NOTE:  
CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR  
SHALL BE HARD WIRED AND INTER CONNECTED FOR ALARM  
② CARBON MONOXIDE DETECTOR  
③ SMOKE DETECTOR

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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**BNC**

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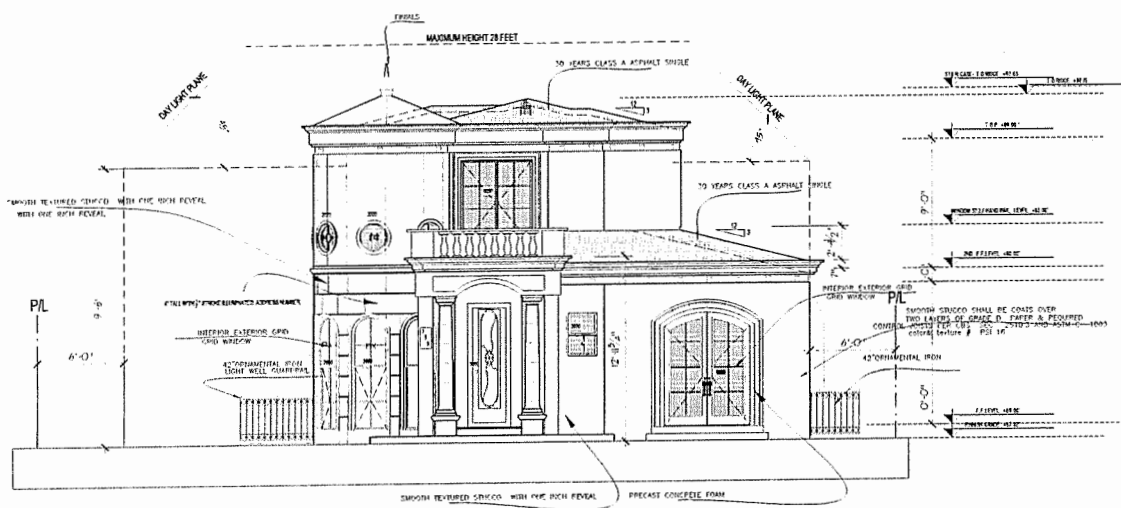
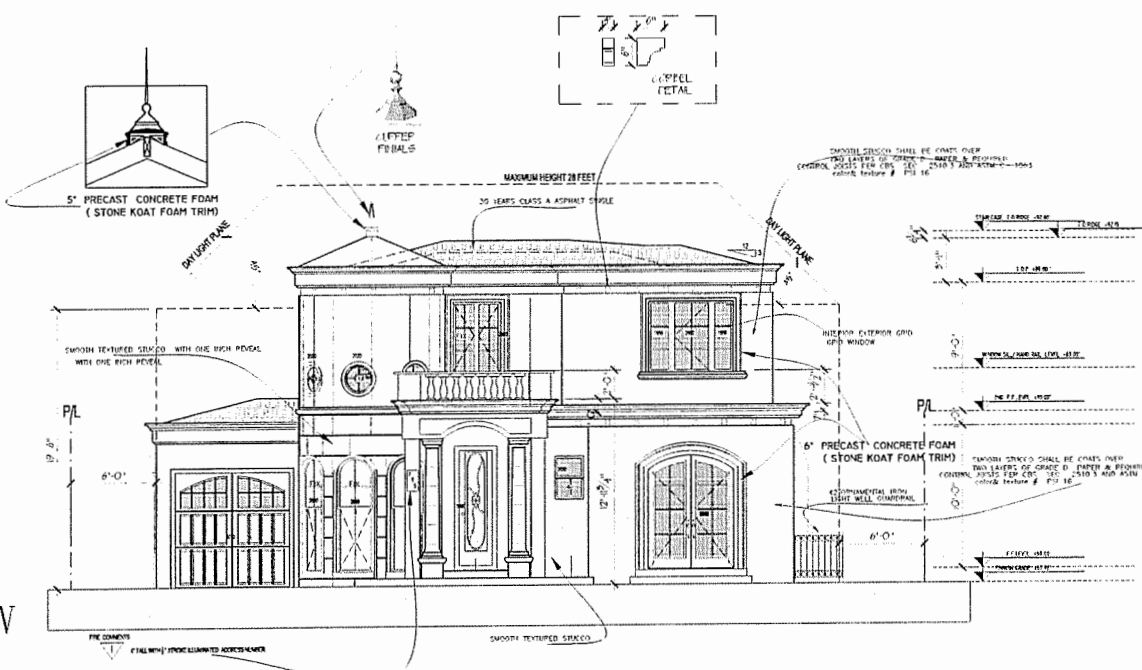
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755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

SHEET TITLE:  
**PROPOSED  
BASEMENT**

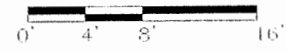
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APPROVED BY: B. NEMATI  
Sheet No.: 106  
Job No.: 106

HS

# REAR HOUSE MAIN ELEVATION



# FRONT HOUSE MAIN ELEVATION



NO.	DATE	BY	CHKD.
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2			
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4			
5			
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10			

**BNC**

BEHROOZ NEMATI  
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LOS ALTOS, CA 94024  
Tel: 310-560-2314

DESIGNER: BEHROOZ NEMATI  
CONSTRUCTION  
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LOS ALTOS, CA 94024  
TELL: (310) 560-2314

PROJECT ADDRESS:  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

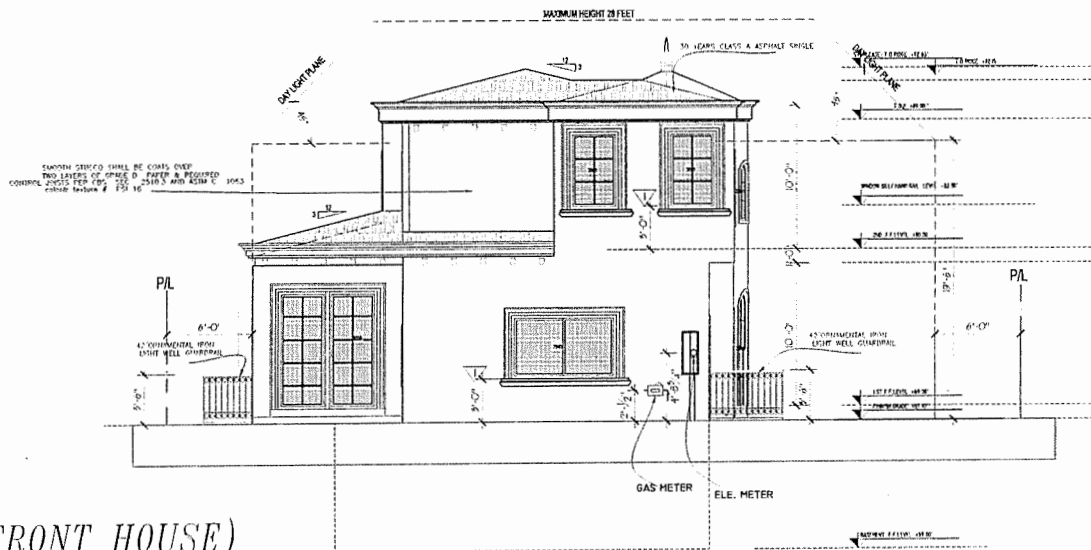
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FRONT  
ELEVATIONS

Date: 12/07/14  
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DESIGN BY: B. NEMATI  
APPROVED BY: B. NEMATI  
Sheet No.: 1-6  
Job No.: 106

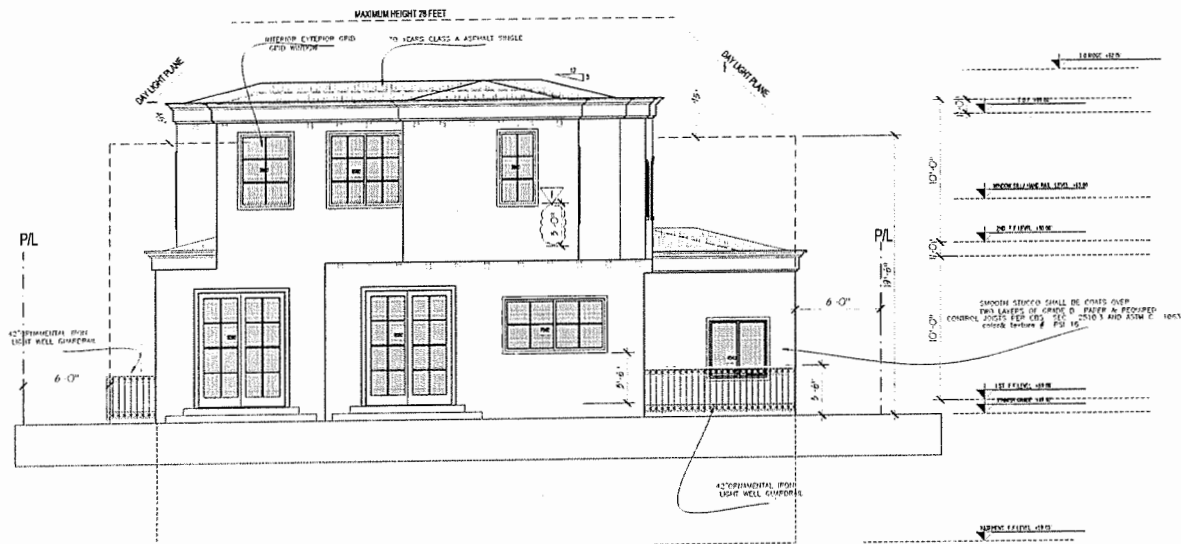




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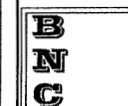
REAR ELEVATION (FRONT HOUSE)



REAR ELEVATION ( REAR HOUSE)



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LOS ALTOS, CA 94024  
TELL: (310) 580-2314

PROJECT ADDRESS:  
755 CAMBRIDGE AVENUE  
MENLO PARK  
CA 94025

SHEET TITLE: PROPOSED  
REAR  
ELEVATIONS

Date: 12/07/14  
Scale: 1/4" = 1'  
DESIGN BY:  
B. NEMATI  
APPROVED BY:  
B. NEMATI  
Sheet No.:  
Job No.: 106





## STAFF REPORT

### Planning Commission

**Meeting Date:** 10/19/2015

**Staff Report Number:** 15-019-PC

**Public Hearing:** Use Permit/ Lauren Goldman/219 Santa Margarita Avenue

### Recommendation

Staff recommends that the Planning Commission approve a use permit to construct a rear addition and conduct interior modifications to an existing nonconforming single-story residence in the R-1-U (Single-Family Urban) zoning district, at 219 Santa Margarita Avenue. The value of the proposed work would exceed 75 percent of the replacement cost of the existing structure. As a part of the proposal, a heritage tree (Norway spruce) in the rear yard is proposed for removal. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### Site Location

The project site is located at 219 Santa Margarita Avenue, which is an interior lot located in between Middlefield Road and Nash Avenue in the Menlo Oaks neighborhood. A location map is included as Attachment B. All parcels on Santa Margarita Avenue and within the broader vicinity contain single-family residences that are also zoned R-1-U. There is a mix of one and two-story single-family residences surrounding the project site which feature varied architectural styles, including ranch and craftsman style homes.

### Analysis

#### Project Description

The applicant proposes to reconfigure the interior of their three bedroom, single-story residence and add square footage to the rear of the house, including a new patio. One of the existing bedrooms would be remodeled to create additional dining and living room space. The existing bathroom would also be remodeled. The rear addition would contribute to a larger dining room, new kitchen and a new master bedroom suite with a new bathroom. Overall, the existing residence would not create any additional bedrooms, and the existing accessory building and structures would remain. Some of the hardscape would be demolished, including existing concrete in the rear and left side yards, and the brick fascia at the front of the home would be removed to accommodate a slightly expanded lawn. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's two project

description letters are included as Attachments D and E, respectively.

The existing residence is considered nonconforming with regard to the required 5.5-foot side yard setbacks and the one-story daylight plane. The remodeling and addition would exceed 75 percent of the existing replacement value in a 12-month period. However, the new addition would comply with all the setback requirements, and the framing members of the nonconforming walls and roof would be retained. The parking would remain nonconforming, with only one required space located outside of the front setback. However, the driveway would provide two usable, unofficial parking spaces, and parking nonconformities may be permitted to remain on remodel/expansion projects.

#### Design and Materials

The applicant proposes to update the exterior materials and colors in order to create a “contemporary farmhouse” character for their residence. The existing exterior of the residence would be remodeled by using vertical board and batten siding in grey and white. No changes are proposed to the roof pitches; however, the roof would feature a new metal standing seam roof. There would be five new double-pane fixed and single hung windows for the new master bedroom and master bathroom, and a new door leading to the new patio from the master bedroom. Staff believes that the scale, materials, and style of the proposed residence would be consistent with the architectural styles of the neighborhood.

#### Trees and Landscaping

The applicant has applied for a heritage tree removal permit to remove one heritage tree: the Norway spruce on the right rear side of the lot. In the applicant’s project description letter (Attachment E) the spruce is described as having “low hanging limbs that limit the use of the yard.” The trunk of the spruce would be approximately eight feet away from the proposed patio. There is a liquidambar heritage tree within the City’s right-of-way at the front of the property, which is not proposed for removal. No other trees on the subject property are proposed for removal. The Norway spruce has been evaluated by the City Arborist who has concluded that the tree is in good health, and that he will likely deny the request. The proposed patio would be within the dripline of this tree; therefore, the City Arborist recommends requesting the project arborist provide a report which specifies appropriate tree protection measures be put in place during construction of the patio and addition. Staff has included a condition of approval (4a) requiring this as part of the building permit submittal, although the condition allows for flexibility if the heritage tree removal permit is ultimately granted.

#### Valuation

The City uses standards established by the Building Division to calculate the replacement and new construction costs on which the use permit threshold is based. The City has determined that the replacement cost of the existing structure would be approximately \$252,841, meaning that the applicant would be allowed to propose new construction and remodeling at this site totaling less than \$189,631 in any 12-month period without applying for a use permit. The City has determined that the value of the proposed work would be approximately \$231,734. Based on this estimate, the proposed project exceeds 75 percent of the replacement cost of the existing structure, therefore requiring use permit approval by the Planning Commission.

#### Correspondence

The applicant has indicated that they have spoken with their adjacent neighbors regarding the project plans. Staff has not received any items of correspondence on the proposed project.

### **Conclusion**

Staff believes that the scale, materials, and style of the proposed residence would remain compatible with those of the existing structures on Santa Margarita Avenue and in the general vicinity. Design elements such as the vertical board and batten siding and metal standing seam roof would add visual interest to the project. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay planning, building and public works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-ft radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

### **Exhibits to Be Provided at Meeting**

None

Staff Report #: 15-019-PC

Report prepared by:  
Michele T. Morris, Assistant Planner

Report reviewed by:  
Thomas Rogers, Interim Principal Planner

219 Santa Margarita Avenue – Attachment A: Recommended Actions

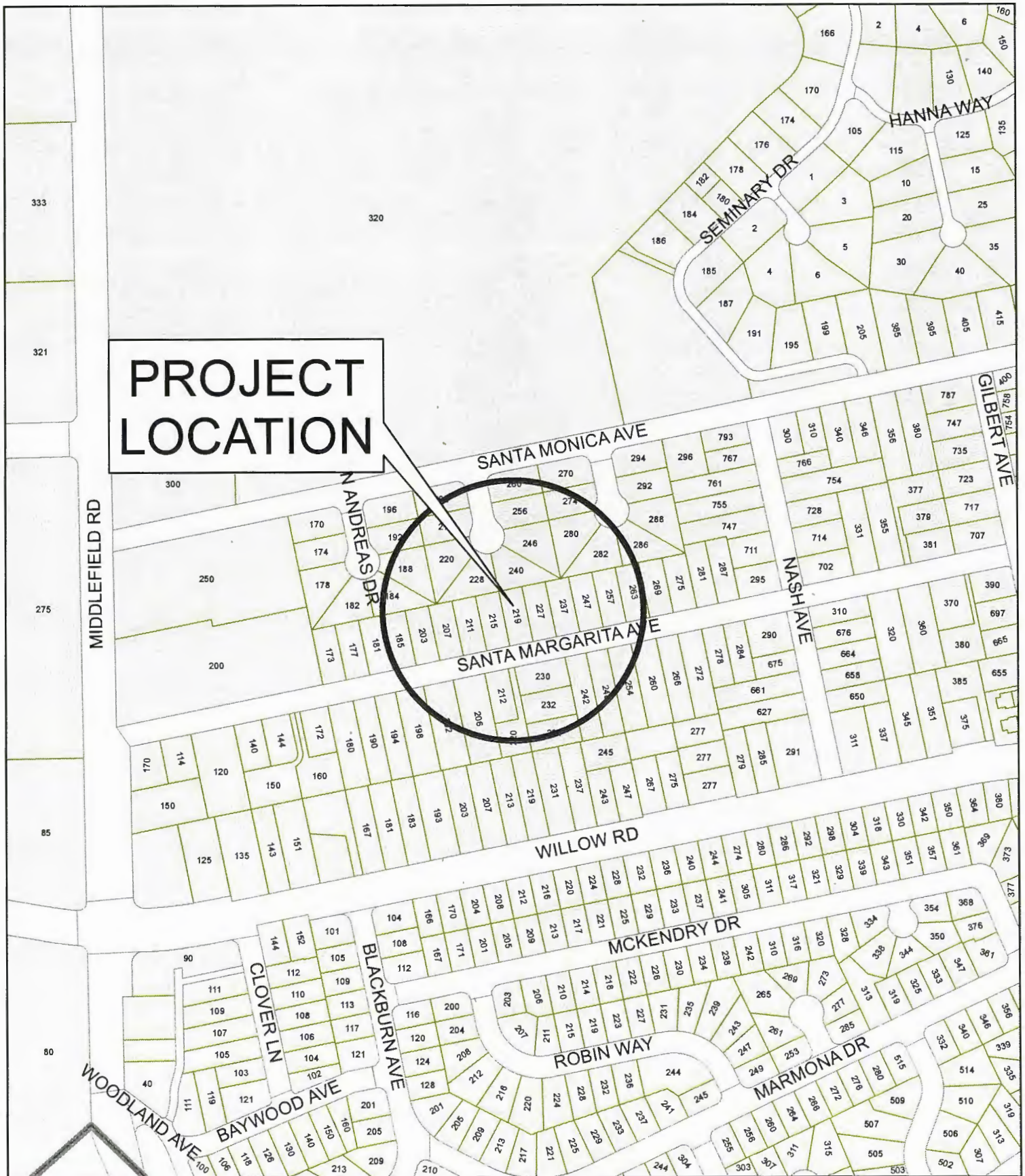
<b>LOCATION:</b> 219 Santa Margarita Avenue	<b>PROJECT NUMBER:</b> PLN2015-00064	<b>APPLICANT:</b> Lauren Goldman	<b>OWNER:</b> Kennith and Elizabeth Fluharty
<b>REQUEST:</b> Request for a use permit to construct a rear addition and conduct interior modifications to an existing nonconforming single-story residence in the R-1-U (Single-Family Urban) zoning district. The value of the proposed work would exceed 75 percent of the replacement cost of the existing structure. As a part of the proposal, a heritage tree (Norway spruce) in the rear yard is proposed for removal.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> October 19, 2015	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
<b>ACTION:</b>			
<div>1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.</div> <div>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</div> <div>3. Approve the use permit subject to the following <b>standard</b> conditions:<div><div>a. Development of the project shall be substantially in conformance with the plans prepared by L'Oro Designs, consisting of 16 plan sheets, dated received September 25, 2015, and approved by the Planning Commission on October 19, 2015 except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</div><div>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</div><div>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</div><div>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</div><div>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</div><div>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</div><div>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</div></div></div> <div>4. Approve the use permit subject to the following <b>project-specific</b> condition:<div><div>a. Simultaneous with the submittal of a complete building permit application, the applicant shall</div></div></div>			

219 Santa Margarita Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 219 Santa Margarita Avenue	<b>PROJECT NUMBER:</b> PLN2015-00064	<b>APPLICANT:</b> Lauren Goldman	<b>OWNER:</b> Kennith and Elizabeth Fluharty
<b>REQUEST:</b> Request for a use permit to construct a rear addition and conduct interior modifications to an existing nonconforming single-story residence in the R-1-U (Single-Family Urban) zoning district. The value of the proposed work would exceed 75 percent of the replacement cost of the existing structure. As a part of the proposal, a heritage tree (Norway spruce) in the rear yard is proposed for removal.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> October 19, 2015	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
<b>ACTION:</b>  submit a revised arborist report with tree protection measures for the Norway spruce tree in the rear yard. The revised arborist report shall be subject to review and approval of the Planning Division. If revisions to the project plans (for example, adjustments to the location or size of the patio) are recommended by the project arborist, City Arborist or as the result of an appeal of the decision regarding this project by the Planning Commission, such changes shall be subject to review and approval of the Planning Division. This condition shall not be applicable if a Heritage Tree Removal permit is granted for the Norway spruce tree.			



**PROJECT  
LOCATION**



# CITY OF MENLO PARK

## LOCATION MAP

### 219 SANTA MARGARITA AVE

DRAWN: KTP CHECKED: KTP DATE: 10/19/15 SCALE: 1" = 300' SHEET: 1

B1





# 219 Santa Margarita Avenue – Attachment C: Data Table

	PROPOSED PROJECT		EXISTING PROJECT		ZONING ORDINANCE	
Lot area	7,078	sf	7,078	sf	7,000	sf min.
Lot width	54.9	ft.	54.9	ft.	65	ft. min.
Lot depth	129	ft.	129	ft.	100	ft. min.
Setbacks						
Front	20	ft.	24.8	ft.	20	ft. min.
Rear	20	ft.	67	ft.	20	ft. min.
Side (left)	5.3	ft.	5.3	ft.	5.5	ft. min.
Side (right)	4.9	ft.	4.9	ft.	5.5	ft. min.
Building coverage	2,716.7	sf	2,027	sf	2,823.3	sf max.
	38.4	%	28.6	%	39.9	% max.
FAL (Floor Area Limit)	2,162.6	sf	1,473	sf	2,819.5	sf max.
Square footage by floor	1,874.8	sf/1st	1,185.1	sf/1st		
	226	sf/garage	226	sf/garage		
	277	sf/porch & trellis	277	sf/porch & trellis		
	338.9	sf/acc.	338.9	sf/acc.		
Square footage of building	2,439.7	sf	1,750	sf		
Building height	15.4	ft.	15.4	ft.	28	ft. max.
Parking	1 covered		1 covered		1 covered/1 uncovered	
Trees	Heritage trees	2*	Non-Heritage trees	9	New Trees	0
	Heritage trees proposed for removal	1	Non-Heritage trees proposed for removal	0	Total Number of Trees	10

\*Includes one street tree.

# RECEIVED

SEP 25 2015

CITY OF MENLO PARK  
BUILDING

# Fluharty Remodel

219 Santa Margarita, Menlo Park, CA

SYMBOL LEGEND		PROJECT DIRECTORY		PROJECT DATA		DRAWING INDEX			
BUILDING ELEVATION KEY: DETAIL #/SHEET # BUILDING SECTION KEY: DETAIL #/SHEET # INTERIOR ELEVATION KEY: DETAIL #/SHEET # DETAIL KEY: DETAIL #/SHEET # DETAIL BUBBLE KEY: DETAIL #/SHEET # DOOR KEY: DOOR NUMBER WINDOW KEY: WINDOW NUMBER		<b>OWNER</b> KEN & BEH FLUHARTY 219 SANTA MARGARITA AVENUE MENLO PARK, CA 94025 TEL (P): 650.489.7224 TEL (F): 650.489.9216 EMAIL: ken.fluharty@purestorage.com beh.fluharty@gmail.com <b>ARCHITECT &amp; OWNER'S REPRESENTATIVE</b> FLORO DESIGNS 2249 CHESTNUT STREET #131 SAN FRANCISCO, CA 94123 TEL (O): 415.617.9592 TEL (M): 650.575.6515 EMAIL: kousen@floro-designs.com <b>CONTRACTOR COMPANY</b> ADDRESS Palo Alto, CA 94304 CONTACT: TEL: LICENSE #: EMAIL:		<b>STRUCTURAL ENGINEER</b> SKG STRUCTURAL ENGINEERS 1155 BROADWAY STREET, SUITE 205 REDWOOD CITY, CA 94063 TEL (M): 650.489.7224 TEL (F): 650.489.9216 CONTACT: ADAM KLEIN EMAIL: adam.klein@skg.com <b>TOPOGRAPHIC SURVEYOR</b> LEA & BRAZE ENGINEERS 2495 INDUSTRIAL PARKWAY WEST HAYWARD, CA 94545 TEL: 510.867.4066 FAX: CONTACT: TONY THAO EMAIL: tthao@leabrazee.com		<b>SITE INFORMATION</b> PROJECT LOCATION: 219 SANTA MARGARITA AVENUE MENLO PARK, CA 94025 APN: 062-271-430 ZONING: R1U OCCUPANCY GROUP: R-3 CONSTRUCTION TYPE: V-B FLOOD ZONE: AE HISTORIC: NO SIZE OF PROPERTY: 7.078 SF (0.16 ACRES) <b>SETBACKS</b> FRONT: 20 FEET SIDE: 5.487 FEET (10% OF LOT WIDTH) REAR: 20 FEET <b>MAXIMUM ALLOWABLE FLOOR AREA</b> FOR LOT: 2,819.50 SF 2,800 SF + 25% (LOT AREA - 7,000 SF) = FLOOR AREA LIMIT (FAL) 2,800 SF + 25% (7.078 SF - 7.000 SF) = 2,819.50 SF (E) HOUSE + (E) GARAGE: 1,411.11 SF (E) HOUSE ADDITION: 687.65 SF HOUSE + GARAGE TOTAL: 2,100.76 SF (E) STUDIO: 288.25 SF (E) SHED: 50.57 SF TOTAL FAL: 2,439.58 SF <b>CONDITIONS NOT INCLUDED IN FLOOR AREA CALCULATIONS (17.32)</b> Statements under structures within a main floor level at 30" or less above grade, garden structures with a semi solid roof, covered porches and patios structural attached to the exterior of the main residence, provided that one end is open and looks outward from the residence, bay window protrusions no more than 7ft in length, chimney and fireplaces, and eave overhangs. <b>PROPOSED BUILDING COVERAGE</b> HOUSE + GARAGE: 2,100.76 SF (E) COVERED PORCH: 67.64 SF (E) STUDIO: 288.25 SF (E) SHED: 50.57 SF (E) TRELLIS: 207.34 SF TOTAL: 2,716.82 SF		<b>ARCHITECTURAL DRAWINGS</b> A0.0 COVER SHEET A0.1 GENERAL NOTES A0.2 ARBORIS REPORT A0.3 STORMWATER CONSTRUCTION BMP PLAN S01 TOPOGRAPHIC SURVEY A1.0 SITE PLAN A1.1 FLOOR AREA BLOCK OUT PLANS A1.2 AREA PLAN & STREETSCAPE A1.3 NONCONFORMING DIAGRAMS A2.0 DEMOLITION PLAN A2.1 FIRST FLOOR PLAN A2.2 ROOF PLAN A3.0 EXISTING EXTERIOR ELEVATIONS A3.1 EXTERIOR ELEVATIONS A3.2 EXTERIOR ELEVATIONS A4.0 BUILDING SECTIONS	
<b>ABBREVIATIONS</b> A1 CENTERLINE 2 DEGREES 0 DIAMETER OF ROUND 0 PROPERTY LINE AC AIR CONDITIONING ADJ ADJUTABLE ATF ABOVE FINISH FLOOR APP APPROXIMATELY ATTN ATTENTION BD BOARD BLDG BUILDING BO BOTTOM OF CLG CEILING CLOS CLOSURE CLR CLEAR CONT CONTINUOUS CSMT CASEMENT DBL DOUBLE DEMO DEMOLISH DET DETAIL DIM DIMENSION DWG DRAWING EX EXISTING EA EACH ELEV ELEVATION EQ EQUAL ETC ETCETERA EXG EXISTING EXT EXTERIOR FD FLOOR DRAIN FGG FERROUS GABBER GROUP FFE FINISH FLOOR ELEVATION FSE FINISH SLAB ELEVATION FRN FINISH FLR FLOOR FOC FACE OF CONCRETE FOF FACE OF FINISH FOS FACE OF STUD GA GAGE OR GAUGE GAL GALLON CAL CALVANEZED GL GLASS GPM GALLONS PER MINUTE GSM GALVANEZED SHEET METAL HORIZ HORIZONTAL HVAC HEATING VENTING AIR CONDITIONING INCL INCLUDES OR INCLUDING INT INTERIOR LAV LAVATORY LF LINEAR FEET MAT MATERIAL MAN MANUFACTURER MAX MAXIMUM MIN MINIMUM (N) NEW NIC NOT IN CONTRACT NOM NOMINAL NTS NOT TO SCALE OC ON CENTER R RADIUS RW RAIN WATER LEADER RCP REFLECTED CEILING PLAN REQ REQUIRED RD ROOF DRAIN RM ROOM RO ROUGH OPENING S SINK SF SQUARE FOOT/FOOTAGE SIMA SIMILAR SSD SEE STRUCTURAL DRAWINGS SCD SEE CIVIL DRAWINGS SJOR STORAGE T&G TONGUE AND GROOVE TBD TO BE DETERMINED TO TOP OF TOS TOP OF SLAB TYP TYPICAL UBC UNIFORM BUILDING CODE UGW UNLESS OTHERWISE NOTED VERT VERTICAL VIF VERIFY IN FIELD W/ WITH WC WATER CLOSET WH WATER HEATER WO WHERE OCCURS		<b>PROJECT DESCRIPTION</b> THIS PROJECT CONSISTS OF A REMODEL AND ADDITION TO AN EXISTING ONE-STORY RESIDENCE WITH ATTACHED GARAGE.		<b>VICINITY MAP</b> 		<b>APPLICABLE CODES &amp; REGS.</b> 2013 CALIFORNIA RESIDENTIAL CODE 2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA FIRE CODE 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE 2013 CALIFORNIA ENERGY CODE			
				<b>FIRE SPRINKLER NOTES</b> 1. THE RESIDENCE SHALL RECEIVE A FIRE SPRINKLER SYSTEM. 2. PRIOR TO INSTALLATION OF THE SYSTEM, DESIGN DRAWINGS, INCLUDING HEAD CALCULATIONS AND LOCATIONS WILL BE SUBMITTED AND APPROVED BY MENLO PARK FIRE. 3. SPRINKLER RISER WATER SUPPLY LINE SHALL OCCUR PRIOR TO SHUT-OFF VALVE FOR RESIDENCE AND BE MARKED BY A RED SHUT OFF VALVE. 4. SPRINKLER POP DOWN HEADS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO ORDERING. 5. SUBMIT & REVIEW LOCATION DRAWINGS TO THE ARCHITECT FOR COORDINATION PRIOR TO ORDERING COMPONENTS.		<b>SPECIAL INSPECTIONS &amp; TESTING</b> THE FOLLOWING ITEMS OF WORK ARE DESIGNATED BY THE STRUCTURAL ENGINEER FOR SPECIAL INSPECTION & TESTING:			

loro



Fluharty Remodel  
219 Santa Margarita, Menlo Park, CA

DATE	DESCRIPTION
PL 14.14	FILE REVIEW
AP 07-15	OFF PROJECT SITE VISIT

COPYRIGHT © 2015 GARY GALLAGHER, P.E.  
SHEET NO. COVER SHEET

SHEET NUMBER

A0.0





# Arborist Form

Please complete one form for each tree. Mark each tree with colored ribbon or tape prior to our inspection.

Site Address: 219 Santa Margarita

ARBORIST INFORMATION: Kiely Kialty  
Name of Certified Arborist:

ISA or ASCA number: 219276A Menlo Park Business License number:

Company: Kiely Arborist Services

Address: P.O. Box 6187 San Mateo, CA 94403

Phone: 650-515-9783 FAX: Email:

## TREE INFORMATION:

Date of Inspection: 3/23/15

Common Name: Many Seals Botanical Name: Acacia saligna

Location of Tree: Road of St Height of Tree: 25'

Diameter of tree at 54 inches above natural grade: 25.4"

Circumference of tree at 54 inches above natural grade:

Condition of Tree:

Poor - Fair, sap oozing from trunk

severe decline, topped

If recommending removal or pruning, please list all reasons:

Reduces use of property

history of limb failure

Suggested Replacement Tree:

Red Oak, Red maple, Chinese pistache

Signature of Arborist: Date:

Print Form

Print Form

## Kiely Arborist Services LLC

Certified Arborist WF00476A  
P.O. Box 6187  
San Mateo, CA 94403  
(650) 515-9783

July 1, 2015

Mr. Ken Fluharty  
219 Santa Margarita  
Menlo Park, CA 94025

Site: 219 Santa Margarita, Menlo Park, CA

Dear Mr. Fluharty,

As requested on Thursday, June 25, 2015, I visited the above site for the purpose of inspecting and commenting on a liquidambar tree. New construction is planned for this site and as required a survey of the tree on site and a tree protection plan will be provided. Your concern as to the future health and safety of this tree has prompted this visit.

### Method:

All inspections were made from the ground; the tree was not climbed for this inspection. The tree in question was located on a "Not-to-Scale" map provided by me. The tree was then measured for diameter at 54 inches above ground level (DBH) or diameter at breast height. The tree was given a condition rating for form and vitality. The tree's condition rating is based on 50 percent vitality and 50 percent form, using the following scale:

- 1 - 29 Very Poor
- 30 - 49 Poor
- 50 - 69 Fair
- 70 - 89 Good
- 90 - 100 Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

## Kiely Arborist Services LLP

Certified Arborist WF00476A  
P.O. Box 6187  
San Mateo, CA 94403  
650-515-9783

March 31, 2015

Mr. Ken Fluharty  
219 Santa Margarita  
Menlo Park, CA 94025

Site: 219 Santa Margarita, Menlo Park, CA

Dear Mr. Fluharty,

As requested on Saturday, March 22, 2015, I visited the above site to inspect and comment on a spruce tree in the rear of the property. New construction is planned for this site making the area around the tree a heavily used target. Your concern as to the future health and safety of the tree has prompted this visit.

### Method:

All inspections were made from the ground; the tree was not climbed for this inspection. The tree in question was located on a "Not-to-Scale" map provided by me. The tree was then measured for diameter at 54 inches above ground level (DBH) or diameter at breast height. The tree was given a condition rating for form and vitality. The tree's condition rating is based on 50 percent vitality and 50 percent form, using the following scale:

- 1 - 29 Very Poor
- 30 - 49 Poor
- 50 - 69 Fair
- 70 - 89 Good
- 90 - 100 Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

Spruce tree in the rear of the property. The tree has a history of limb failure and limits the use of the property.



Site: 219 Santa Margarita, Menlo Park  
7/1/15

### Observations:

The tree in question is a street tree, located in front of the existing home. It received a condition rating of 45, making it a poor tree. The tree is a liquidambar (*Liquidambar styraciflua*) with a height of 65 feet and a total spread canopy of 35 feet. The tree was planted under utility lines. The majority of the tree's foliage is on the west side. The tree has been topped for line clearance to keep it away from the utility lines and as a result there is an abundance of water sprouts. The tree is multi leader at 7 feet. Cables were installed between leaders at the height of 20 feet. There is evidence of limb loss and the tree has been hit by vehicles noted by scars.

### Summary:

The tree to be protected is a liquidambar (*Liquidambar styraciflua*). The tree has poor form as it was planted under utility lines. The tree was once topped to try and control its height. As a result there is an abundance of water sprout growth. These water sprouts are areas of weak attachment and are prone to failure. The tree is bordering the sidewalk. This tree is expected to have minor to no impacts during construction as it is located on the perimeter of the property. The following tree protection plan will help to reduce impacts to the retained tree.

### Tree Protection Plan:

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the drip line as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out".

No materials or equipment should be stored or cleaned inside the tree protection zones. Areas outside the fencing but still beneath the drip line of protected trees, where foot traffic is expected to be heavy, should be mulched with 4-to-6 inches of chipper chips. The spreading of chips will help to relieve compaction and improve the soil structure.

### Root cutting:

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend fertilizing or irrigation if root cutting is significant. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Site: 219 Santa Margarita, Menlo Park  
(3)

219 Santa Margarita/2015

(2)

### Observations:

The tree in question is a Norway spruce (*Picea abies*) with a diameter at breast height of 25.4 inches. The tree is located in the rear of the property northwest of the home. The estimated height of the spruce is 55 feet with a total crown spread of 40 feet. The vigor of the spruce is fair with normal shoot growth for the species and some decline in the canopy. The form of the tree is poor with a main topping at 50 feet and a slight lean to the south. The spruce has a recent history of limb loss.



### Summary:

The medium sized spruce is in fair condition with poor form. The past topping has contributed to recent limb failure and future limb failure is expected. Overextended limbs are common when trees have been topped leading to limb and leader failure. Future limb failure is likely.

Though the planned construction will have no effect on the spruce the tree should be removed as the spruce reduces the usable space in the property. With young children using the property the likelihood of limb failure makes the tree an immediate hazard. Remove and replace the spruce as removal is the only method that will eliminate all hazards and liabilities associated with the tree.

The sap flow on the trunk may be contributing to the trees declining canopy.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kiely  
Certified Arborist WF00476A



7/1/15

### Trenching:

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the drip lines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap and kept moist. Plywood or on the top of the trench will also help protect exposed roots below.

### Irrigation:

Normal irrigation shall be maintained on this site at all times. The liquidambar will require regular warm season irrigation. On a construction site, I recommend irrigation during both summer and winter months. During winter months irrigate heavily 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April - November, my recommendation is to use heavy irrigation, 2 times per month. The on-site arborist may make adjustments to the irrigation recommendations as needed.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kiely  
Certified Arborist WF00476A

David P. Beckham  
Certified Arborist WF00724A

1010



Fluharty Remodel  
219 Santa Margarita, Menlo Park, CA

DATE	DESCRIPTION
07/14/15	USE PLANT
07/01/15	USE PLANT
07/01/15	USE PLANT

COMPANY: L. GORDON & SONS, INC.

SHEET NO. ARBORIST REPORT

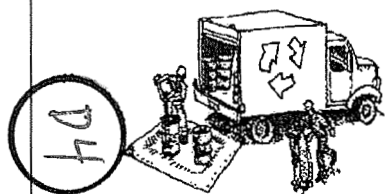
SHEET NUMBER

A0.2

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not over filled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as berms, rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells.
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



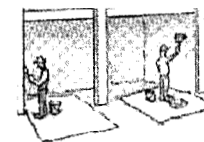
- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

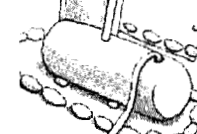
## Painting & Paint Removal



### Painting Cleanup and Removal

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

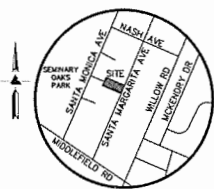
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	01/14/15	ISS PERMIT	SP/07/15
2		DATE PERMIT	
3		DATE PERMIT	
4		DATE PERMIT	
5		DATE PERMIT	
6		DATE PERMIT	
7		DATE PERMIT	
8		DATE PERMIT	
9		DATE PERMIT	
10		DATE PERMIT	

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STORMWATER  
 CONSTRUCTION  
 BMP PLAN

SHEET NUMBER

A0.3



VICINITY MAP  
NO SCALE

### BASIS OF BEARINGS

THE BEARING S 22°00'00" E ALONG THE CENTERLINE OF SANTA MARGARITA AVENUE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN BOOK 25 OF L.S. MAPS AT PAGE 60 IS THE BASIS OF ALL BEARINGS SHOWN UPON THIS MAP.

### SURVEYOR'S STATEMENT

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

GREGORY F. BRAZE  
L.S. NO. 7623  
DATE 7-15



### FLOOD ZONE

THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE AE WITH A BASE FLOOD ELEVATION OF 49.7.  
BOTTOM OF CRAWL SPACE ELEVATION = 47.8'  
BOTTOM OF FLOOR JOIST ELEVATION = 50.0'  
GARAGE TOP OF SLAB ELEVATION = 49.28'

### HARDSCAPE AREAS

HOUSE & GARAGE	1,411± SQ.FT.
STUDIO	288± SQ.FT.
SHED	51± SQ.FT.
TRELLIS	209± SQ.FT.
DRIVEWAY	530± SQ.FT.
PATIOS, WALKWAYS, PADS	648± SQ.FT.
TOTAL	3,137± SQ.FT.

SCALE: 1" = 10'

### NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.  
UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.

BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.  
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)

### EASEMENT NOTE

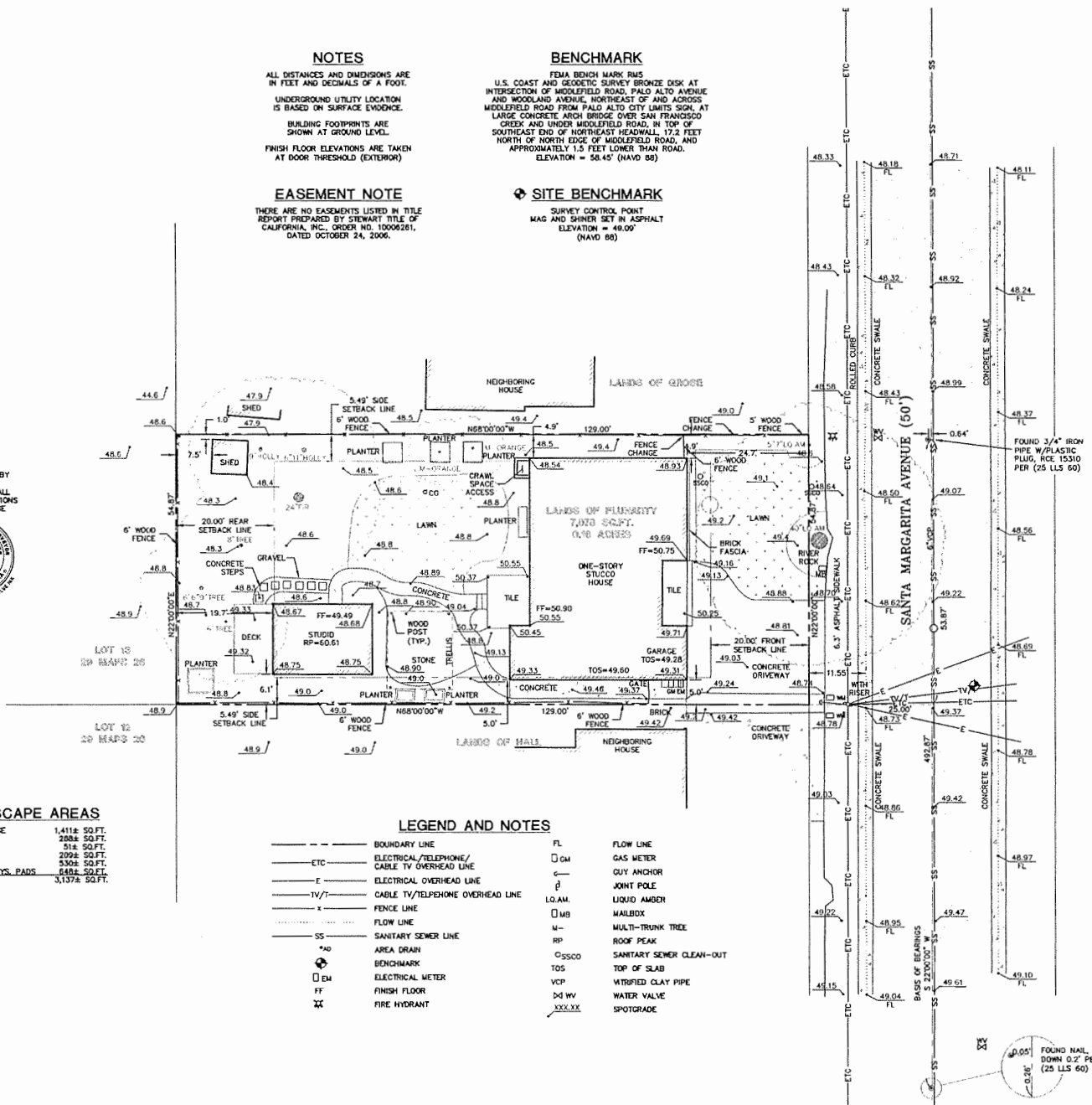
THERE ARE NO EASEMENTS LISTED IN TITLE REPORT PREPARED BY STEWART TITLE OF CALIFORNIA, INC., ORDER NO. 10008261, DATED OCTOBER 24, 2006.

### BENCHMARK

FEMA BENCH MARK RMS  
U.S. COAST AND GEODETIC SURVEY BRONZE DISK AT INTERSECTION OF MIDDLEFIELD ROAD, PALO ALTO AVENUE AND WOODLAND AVENUE, NORTHEAST OF AND ACROSS MIDDLEFIELD ROAD FROM PALO ALTO CITY LIMITS SIGN, AT LARGE CONCRETE ARCH BRIDGE OVER SAN FRANCISCO CREEK AND UNDER MIDDLEFIELD ROAD, IN TOP OF SOUTHEAST END OF NORTHEAST HEADWALL, 17.2 FEET NORTH OF NORTH EDGE OF MIDDLEFIELD ROAD, AND APPROXIMATELY 1.5 FEET LOWER THAN ROAD.  
ELEVATION = 58.45' (NAVD 88)

### SITE BENCHMARK

SURVEY CONTROL POINT  
MAG AND SHINER SET IN ASPHALT  
ELEVATION = 48.00'  
(NAVD 88)



### LEGEND AND NOTES

---	BOUNDARY LINE	FL	FLOW LINE
---	ELECTRICAL/TELEPHONE/	GM	GAS METER
---	CABLE TV OVERHEAD LINE	GA	GUY ANCHOR
---	ELECTRICAL OVERHEAD LINE	JP	JOINT POLE
---	TV/7	LOAM	LIQUID AMBER
---	CABLE TV/TELEPHONE OVERHEAD LINE	MB	MAILBOX
---	FENCE LINE	M	MULTI-TRUNK TREE
---	FLOW LINE	RP	ROOF PEAK
---	SANITARY SEWER LINE	SS	SANITARY SEWER CLEAN-OUT
---	AREA DRAIN	TOS	TOP OF SLAB
---	BENCHMARK	VCP	VERTICAL CLAY PIPE
---	ELECTRICAL METER	D4 WV	WATER VALVE
---	FINISH FLOOR	XXX XX	SPOTGRADE
---	FIRE HYDRANT		



LEA & BRAZE ENGINEERING, INC.  
CIVIL ENGINEERS - LAND SURVEYORS  
219 SANTA MARGARITA AVENUE, SUITE 200  
MENLO PARK, CALIFORNIA 94025  
(650) 321-7333  
WWW.LEA-BRAZE.COM

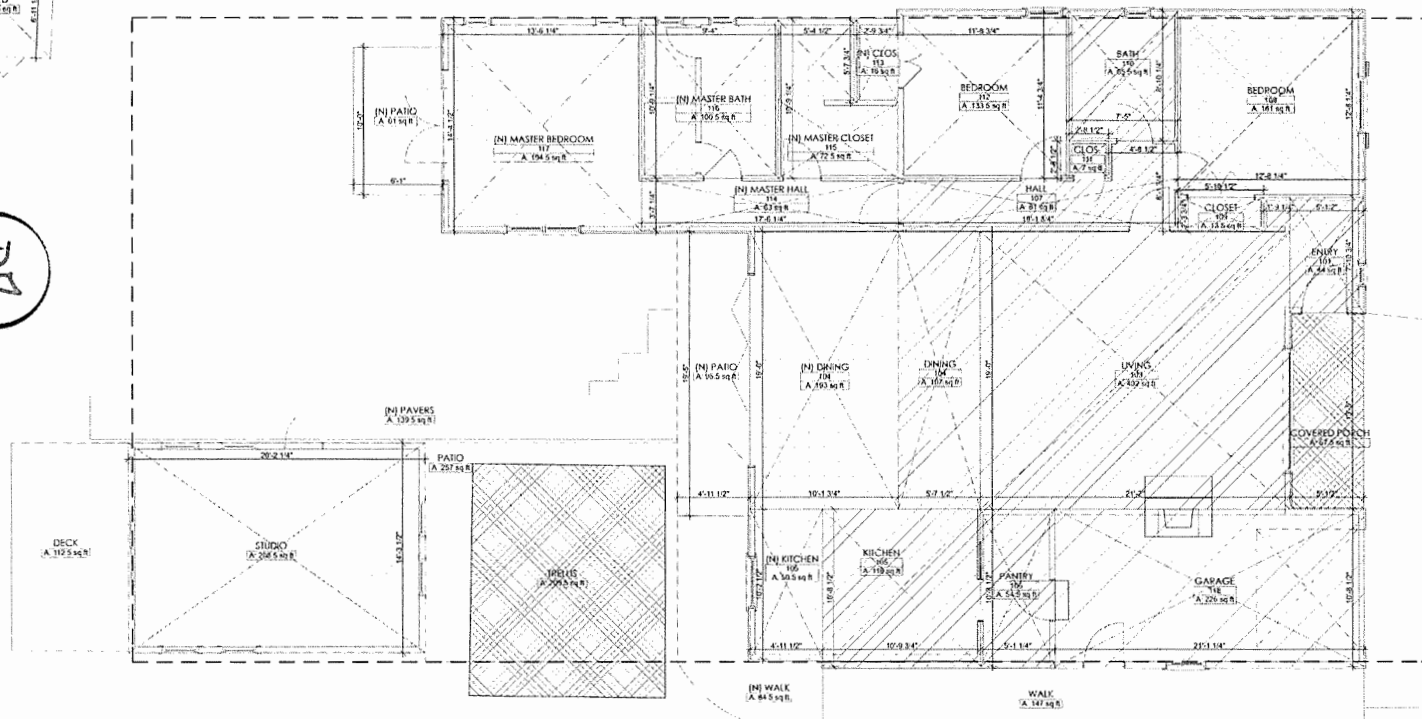
219 SANTA MARGARITA AVENUE  
MENLO PARK  
CALIFORNIA  
SAN MATEO COUNTY  
APR. 2022-271-420

BOUNDARY &  
TOPOGRAPHIC  
SURVEY

---	---
---	---
---	---
---	---
MENLO PARK STANDARDS 9-1-15	
REVISIONS	BY
JOB NO:	2150177
DATE:	4-10-15
SCALE:	1" = 10'
DRAWN BY:	MF/DB
SHEET NO:	



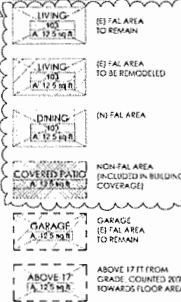




# 1 AREA CALCULATIONS

SCALE: 1/4" = 1'-0"

### BLOCK OUT PLAN LEGEND



## FLOOR AREA CALCULATION SHEET NOTE

- |                                |             |
|--------------------------------|-------------|
| 1) (N) HOUSE FLOOR AREA        | 1,185.10 SF |
| (N) HOUSE ADDITION FLOOR AREA  | 699.65 SF   |
| (N) GARAGE AREA                | 252.60 SF   |
| (N) PORCHES                    | 50.32 SF    |
| (N) DECK                       | 50.32 SF    |
| (N) HOUSE + GARAGE + ACCESSORY | 2,437.97 SF |
| 2) TOTAL FAL AREA              |             |
- 3) BASIS FOR FAL AREA CALCULATIONS
- BASEMENTS UNDER STRUCTURES WITH A MAIN FLOOR LEVEL OF 3' OR LESS ABOVE GRADE ARE EXCLUDED.
  - CRAWL STRUCTURES, SUCH AS ARCHES AND TRELLISES WITH A SEMI SOLID ROOF ARE EXCLUDED FROM FAL AREA.
  - COVERED PORCHES, DECKS, PATIOS, AND TERRACES ATTACHED TO THE EXTERIOR OF THE MAIN RESIDENCE, PROVIDED THAT ONE END IS OPEN AND LOOKS OUTWARD FROM THE RESIDENCE ARE EXCLUDED FROM FAL AREA.
  - PAV WINDOW PROTRUSIONS WHICH DO NOT PROVIDE FOUNDATION AND WHICH ARE NO MORE THAN 7 FEET IN LENGTH ARE EXCLUDED FROM FAL AREA.
  - CHIMNEY AND FIREBOXES OR FIREPLACES ARE EXCLUDED FROM FAL AREA.
  - PAV OVERHANGS ARE EXCLUDED FROM FAL AREA.
  - INTERIOR SPACES WITH PERIMETER WALLS ARE MEASURED TO INTERIOR FACE OF STUD.
  - INTERIOR SPACES WITH INTERIOR WALLS ARE MEASURED TO CENTER OF STUD.
  - EXTERIOR COVERED SPACES ARE MEASURED FROM EXTERIOR FACE OF STUD IN EXTERIOR WALL TO EXTERIOR FACE OF STUD.
  - FAL INCLUDES SQUARE FOOTAGE OF ALL ABOVE GROUND LEVELS OF STRUCTURE, ACCESSORY BUILDINGS, AND GARAGES OR CARPITS.

### FLOOR AREA CALCULATIONS

PANTRY	54.66
KITCHEN	115.78
BEDROOM	133.65
HALL	80.97
CLOS.	6.88
BATH	65.66
CLOSET	13.59
DINING	196.85
LIVING	492.20
ENTRY	43.90
GARAGE	226.01
BEDROOM	160.96

**New**

(N) MASTER HALL	63.15
(N) MASTER CLOSET	72.30
(N) CLOS.	15.86
(N) MASTER BATH	100.52
(N) MASTER BEDROOM	194.38
(N) KITCHEN	50.62
(N) DINING	192.80

2 100 36 g g f

## BUILDING COVERAGE CALCULATIONS

COVERED PORCH	67.64
STUDIO	288.29
SHED	50.57
TRELLIS	209.36
(N) HOUSE ADDITION	689.65
(E) HOUSE	1,185.11
(E) GARAGE	226.01

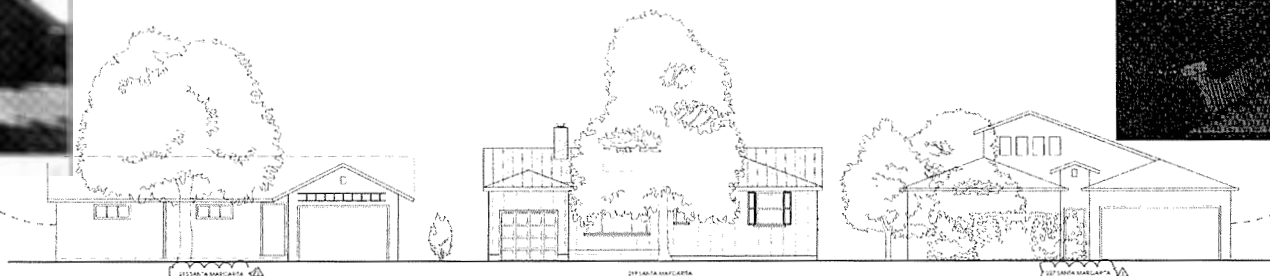
2.716.62 sq ft

### BUILDING COVERAGE CALCULATION NOTES

- A) BUILDING COVERAGE INCLUDES ALL STRUCTURES WITH ROOFS, INCLUDING SEMI-SOLID ROOFS SUCH AS TRELLISES AND ARBORS.  
B) EAVES NOT IN EXCESS OF 6 FT ARE EXCLUDED FROM BUILDING



28



2 STREETScape  
SCALE: 1/8" = 1'-0"



Fluharty Remodel  
219 Santa Margarita, Menlo Park, CA

[illegible]

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AREA PLAN & STREETScape

SLEEP INJURY?

## A1.2

# NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION

EXISTING DEVELOPMENT			
NON CONFORMING STRUCTURE TYPE	SQUARE FOOTAGE	CONSTRUCTION COST	EXISTING VALUE
(E) FIRST FLOOR	1,185.10	\$200/SF	\$237,020.00
(E) GARAGE	226.01	\$70/SF	\$15,820.70
TOTAL			\$252,840.70

NOTE: A USE PERMIT APPROVED BY THE PLANNING COMMISSION IS REQUIRED IF THE VALUE OF THE PROPOSED WORK EXCEEDS 75% OF REPLACEMENT COST OF THE EXISTING STRUCTURE.

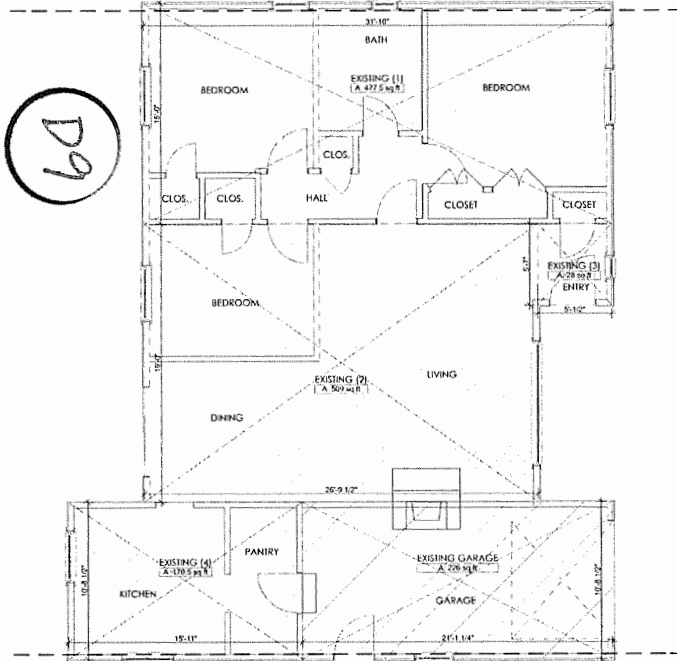
# NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION

PROPOSED DEVELOPMENT			
PROPOSED DEVELOPMENT TYPE	SQUARE FOOTAGE	CONSTRUCTION COST	DEVELOPMENT VALUE
CATEGORY 1 : NEW SQUARE FOOTAGE			
ADDITION FIRST FLOOR	689.65	\$200/SF	\$137,930.00
CATEGORY 2 : REMODEL OF EXISTING SQUARE FOOTAGE			
REMODEL KITCHEN	115.78	\$130/SF	\$15,051.40
REMODEL BATH	65.66	\$130/SF	\$8,535.80
REMODEL OTHER	702.17	\$100/SF	\$70,217.00
TOTAL			\$231,734.20

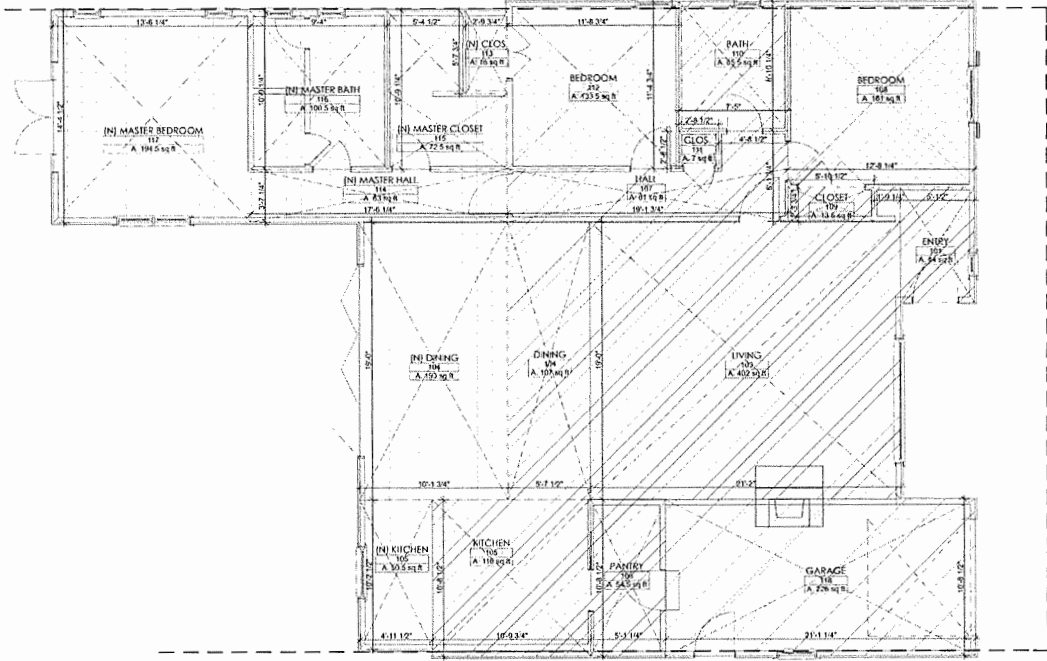
91.65%

## NONCONFORMING DIAGRAM LEGEND

- (E) LIVING - (E) TAL AREA TO REMAIN
- (E) LIVING - (E) TAL AREA TO BE REMODELED
- (E) DINING - (E) TAL AREA TO REMAIN
- (E) GARAGE - (E) TAL AREA TO REMAIN



1 EXISTING PLAN  
SCALE 1/4" = 1'-0"



2 PROPOSED PLAN  
SCALE 1/4" = 1'-0"

loro



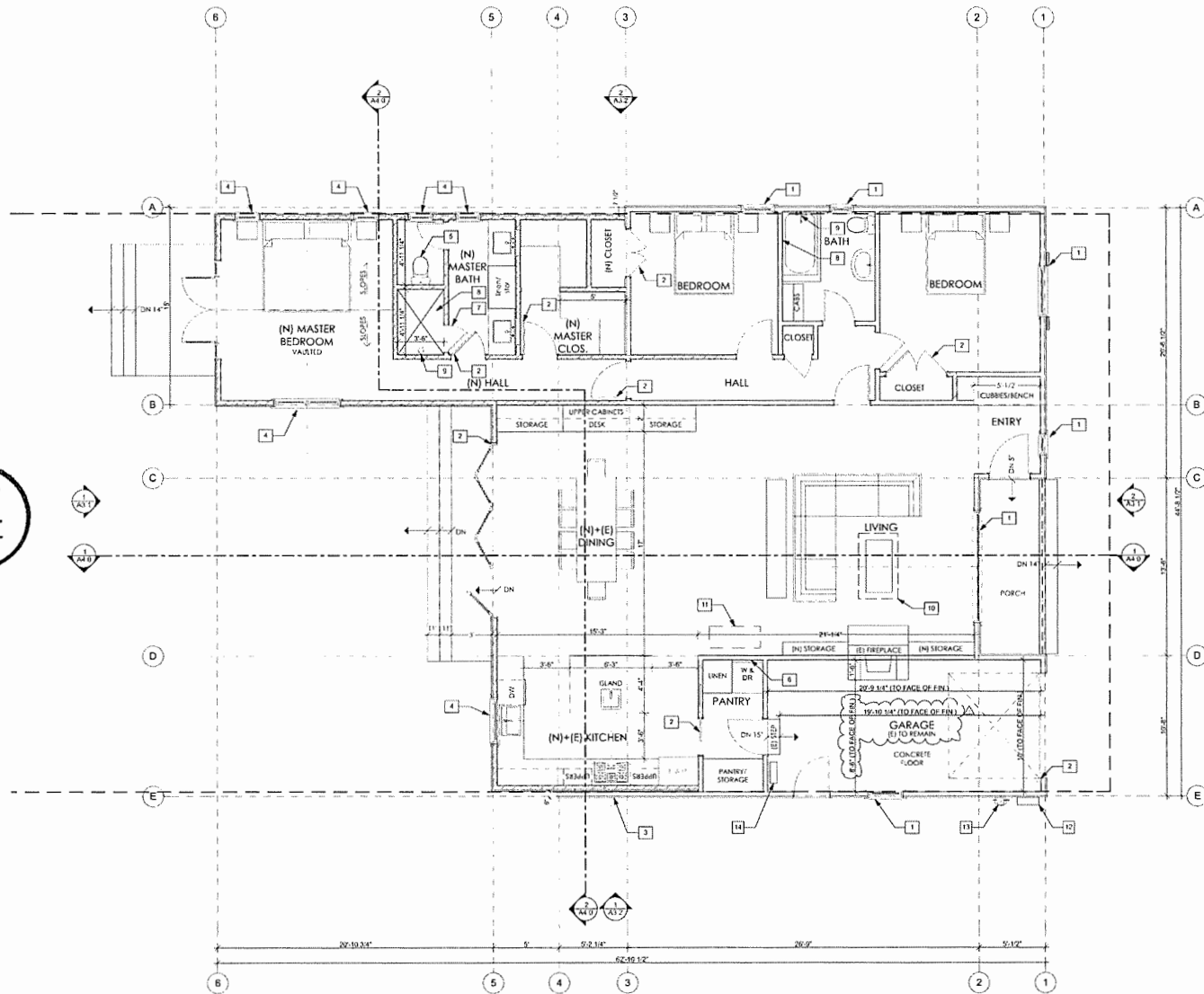
Fluharty Remodel  
219 Santa Margarita, Menlo Park, CA

DATE	DESCRIPTION
07/14/14	ISS PERMIT
09/01/15	ISS PERMIT

SHEET NUMBER  
A1.3



111



1 FIRST FLOOR - PROPOSED  
SCALE: 1/4" = 1'-0"



# FLOOR PLAN SHEET NOTES

- ALL INTERIOR DIMENSIONS ARE SHOWN TO GRIDLINE, FACE OF STUD, CENTERLINE OF DOOR/WINDOW.
- ALL INTERIOR WALLS TO HAVE (1) LAYER 5/8" GWB BOTH SIDES UNO ALL SOFFITS AND CEILINGS TO HAVE (1) LAYER 5/8" GWB UNO.
- PROVIDE 2x4 OR 2x6 FIRE BLOCKING AT ALL STUD BAYS GREATER THAN 10'-0" HIGH AND AT ALL SOFFIT-TO-WALL INTERSECTIONS.
- AT UNFILLED BATH LOCATIONS, PROVIDE (1) LAYER 5/8" WATER RESISTANT GWB OR HANDIC BACKERBOARD TO 7' AFF BRAD ALL SINKS AND TOILETS AND TO ALL SIDE RETURN WALLS WITHIN 3'-0" OF SINKS AND TOILETS.
- AT TUB BATH LOCATIONS, TILE IS TO BE INSTALLED OVER A MORTAR BED & (1) LAYER 1/2" WATER RESISTANT CEMENT BOARD OR HARDIE BACKERBOARD.
- COORDINATE VENT STACK LOCATIONS FOR PLUMBING FIXTURES AND APPLIANCES WITH ARCHITECT PRIOR TO INSTALLATION.
- COORDINATE INSTALLATION OF ALL RECESSED LIGHT FIXTURES, SPEAKERS, WALL SCONCES, ELECTRICAL OUTLETS, TELEPHONE JACKS, THERMOSTATS AND HVAC GRILLES WITH ARCHITECT PRIOR TO INSTALLATION. SEE LIGHTING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- AS PER CBC R312.7.4.1 & CBC R312.7.4.2 - THE RISE OF STAIR TREADS SHALL BE 7 3/4" MAX AND 4" MIN. STAIR TREAD DEPTHS SHALL BE 10" MIN. NOSING SHALL BE 3/4" MIN AND 1 1/4" MAX.
- AS PER CBC R312.7.7.1 & CBC R312.7.7.2 - CENTER HANDRAIL @ 34" MIN/38" MAX ABOVE STAIR NOSING. TIP: HANDRAIL TO HAVE 1 1/4" MIN/2" MAX @ GRIPABLE CROSS SECTION WITH A MAX OF 1 1/2" CLEAR SPACE BETWEEN HANDRAIL AND WALL WITH NO SHARP CORNERS. HANDRAIL GRIPPING SURFACES TO BE CONTINUOUS AND RETURN TO A WALL, GUARD OR WALKING SURFACE.
- INTERIOR AND EXTERIOR GUARDRAILS AND HANDRAILS TO BE CAPABLE OF RESISTING PERPENDICULAR LOADS AS PER CBC SECTION 1607.7.10P OF GUARD IS 42" HIGH ABOVE ADJACENT WALKING SURFACE. (3) GUARDS ON OPEN SIDES OF STAIRS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 3/8" IN DIAMETER PER CBC R312.3.
- HABITABLE SPACES TO HAVE EXTERIOR GLAZING AREA EQUAL TO 8% OF THE FLOOR AREA MIN. 4% MIN OF THE GLAZING AREA TO BE OPERABLE.
- PROVIDE BLOCKING FOR HANDRAILS AND GUARD RAILS. CURTAIN ROD ATTACHMENTS ABOVE ALL WINDOWS AND EXTERIOR DOORS. ACCESSORIES IN BATHROOMS, AND ALL WALL MOUNTED EQUIPMENT. VERIFY HEIGHT WITH ARCHITECT PRIOR TO INSTALLATION.
- SEE FINISH FLOOR PLANS FOR FLOOR FINISHES AND STRUCTURAL DRAWINGS FOR RECESSED SUBSTRUCTURE BLOCK-OUT LOCATIONS.
- IN BATHROOMS, PROVIDE 5 AIR CHANGES MIN. PER HOUR W/ DRYING AT LEAST 3'-0" FROM OPENINGS THAT ALLOW AIR DRY TO OCCUPY AREAS OF THE BUILDING.
- CONTRACTOR TO VERIFY W/ MANUFACTURERS AND PROVIDE ALL CLEARANCES. PLUMBING, ELECTRICAL AND MECHANICAL REQUIREMENTS. SEE ELECTRICAL PLAN ON SHEET A2.09 FOR FURTHER INFORMATION.
- PLUMBING FIXTURES AND FITTINGS WILL REDUCE WATER CONSUMPTION BY AT LEAST 20% SHALL BE PROVIDED (CALGREEN 4.303). EACH FIXTURE & FITTING SHALL MEET THE REDUCED FLOW RATES SPECIFIED IN TABLE 4.303.2.
- TOILETS: 1.28 GALLON/FLUSH MAXIMUM & MEET THE EPA WATERSENSE SPECIFICATION. LAVATORY FAUCETS: 1.5 GALLON/MINUTE MAXIMUM. KITCHEN FAUCETS: 1.8 GALLON/MINUTE MAXIMUM.
- SHOWER HEADS: 2.0 GALLON/MINUTE MAXIMUM. WHEN SINGLE STALL SHOWERS HAVE MULTIPLE SHOWER FIXTURES, THE COMBINED FLOW RATE OF ALL THE SHOWER HEADS SHALL NOT EXCEED THE 20% REDUCTION AS SHOWN IN TABLE 4.303.2 OR ONLY ALLOW ONE SHOWERHEAD TO OPERATE AT A TIME.
- MINIMUM SHOWER INTERIOR SIZE 1042 SQ IN AND 30" CIRCLE MINIMUM FROM A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD TANGENT TO CIRCLE'S CENTERLINE TO 7'0" ABOVE THE DRAIN OUTLET.

## FLOOR PLAN KEY NOTES

- (E) WINDOW TO REMAIN
- PROVIDE & INSTALL (N) DOORS & FRAMES, (N) INTERIOR DOORS TO MATCH (E) INTERIOR DOORS.
- INFILL AT ALL WINDOW AND DOOR OPENINGS. FLUSH WITH EXTERIOR ADJACENT WALL. ALL SIDES. PROVIDE SIDING ON EXTERIOR FACE PAINT TO MATCH.
- PROVIDE AND INSTALL (N) WINDOWS.
- COORDINATE ROOF VENT AND VENT STACK LOCATIONS FOR PLUMBING FIXTURES AND APPLIANCES WITH ARCHITECT PRIOR TO INSTALLATION.
- VENT DRYER W/ 4" SMOOTH METAL DUCT WITH BACKDRAFT DAMPER. MAX. 10' WITH 2 MAX 90 DEGREE BENDS.
- SHOWER DOORS MUST BE 22" WIDE MIN. OUTWARD OPENING. GLAZING FULLY TEMPERED OR LAMINATED SAFETY GLASS WITHIN 30" ABOVE STANDING SURFACE AND DRAIN FLEET.
- SHOWER COMPARTMENTS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 7'2" ABOVE FLOOR AS PER CBC R307.2.
- SHOWER AND BATH VALVES SHALL BE PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED TO PROVIDE MAX. 120 DEGREE WATER AND PREVENT UNEVEN MIXING.
- (E) SKYLIGHT TO REMAIN
- (E) GAS FURNACE IN ATTIC ABOVE
- (E) MAIN BREAKER & 125 AMP CIRCUIT BREAKER
- (E) GAS MAIN
- (E) TANKLESS HOT WATER HEATER

1010



**Fuharty Remodel**  
219 Santa Margarita, Menlo Park, CA

REVISION			
DATE	DESCRIPTION	BY	CHK
07-14-15	REV. PER ARCH	JP	ML
07-07-15	REV. PER ARCH	JP	ML
COPYRIGHT: © 2015 LUDWIG & SONS			
SHEET NO. 1			
FIRST FLOOR PLAN			
SHEET NUMBER			
A2.1			

This architectural drawing shows a detailed roof plan with the following features:

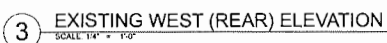
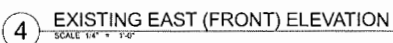
- Slopes:** Multiple areas are labeled with slopes such as "IN SLOPE 4:9.12", "OUT SLOPE 4:9.12", and "GUTTER 2:12".
- Setbacks and Dimensions:** Various setbacks are indicated, including "2' 0 1/4\"", "2' 6\"/>

SCALE: 1/4" = 1'-0"

6 (N) DOWNSPOUT

PLAN  
NORTH





Fluharty Remodel  
219 Santa Margarita, Menlo Park, CA

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EXISTING EXTERIOR  
ELEVATIONS &  
STREETSCAPE

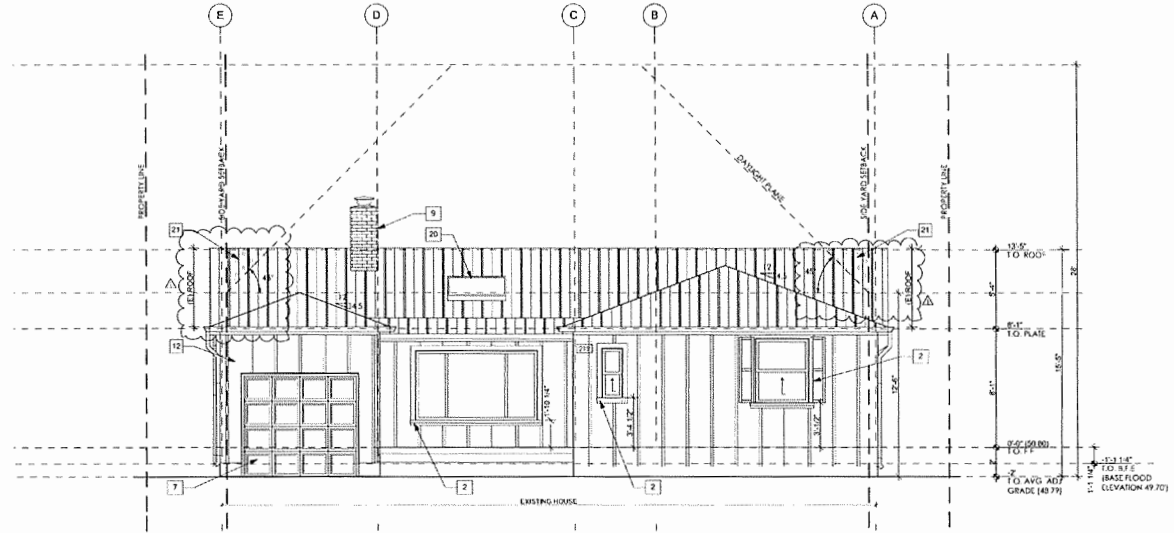
SWEET NUMBER

A3.0

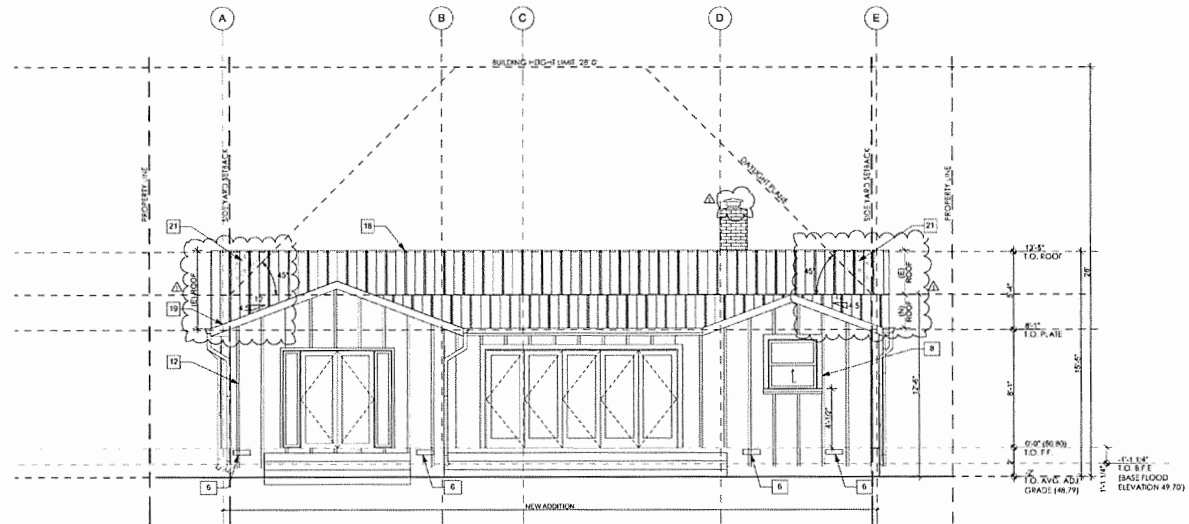
# ELEVATION KEY NOTES

- 1 (E) WINDOW TO BE REMOVED
- 2 (E) WINDOW TO REMAIN
- 3 (E) DOOR TO BE REMOVED
- 4 (E) DOOR TO REMAIN
- 5 (E) VENTS TO REMAIN
- 6 (N) VENTS
- 7 (N) GARAGE DOOR, WHITE CLAD EXTERIOR
- 8 (N) WINDOW, DOUBLE PANELED & SINGLE HUNG WINDOWS TO MATCH (E) WHITE CLAD EXTERIOR & PAINTED WOOD INTERIOR
- 9 (E) CHIMNEY TO REMAIN
- 10 (E) DOWNSPOUT & GUTTER TO REMAIN
- 11 (N) DOWNSPOUT & GUTTER
- 12 (N) BOARD & BATT SIDING
- 13 (N) PATIO & STEPS
- 14 (E) HOUSE NUMBER PER CITY REQUIREMENTS
- 15 (E) GAS & ELECTRICAL METERS TO REMAIN
- 16 (E) CRAWLSPACE TO BE REMOVED
- 17 (N) CRAWLSPACE
- 18 (E) ROOF LINE TO RECEIVE (N) METAL ROOFING
- 19 (N) ROOF WITH METAL ROOFING
- 20 (E) SKYLIGHT TO REMAIN

21 (E) NONCONFORMING GABLE ROOF TO REMAIN. SHADED AREA INDICATES AREA OF (E) ROOF ABOVE DAYLIGHT PLANE WHICH STARTS AT SIDE YARD SETBACK AT 12'-6" ABOVE AVERAGE NATURAL GRADE.



2 EAST (FRONT) ELEVATION  
SCALE 1/8" = 1'-0"



1 WEST (REAR) ELEVATION  
SCALE 1/8" = 1'-0"

loro



Fluharty Remodel  
219 Santa Margarita, Menlo Park, CA

DATE	DESCRIPTION
07/14/15	ISS. PERMIT
07/07/15	ISS. PERMIT
07/07/15	REVISIONS

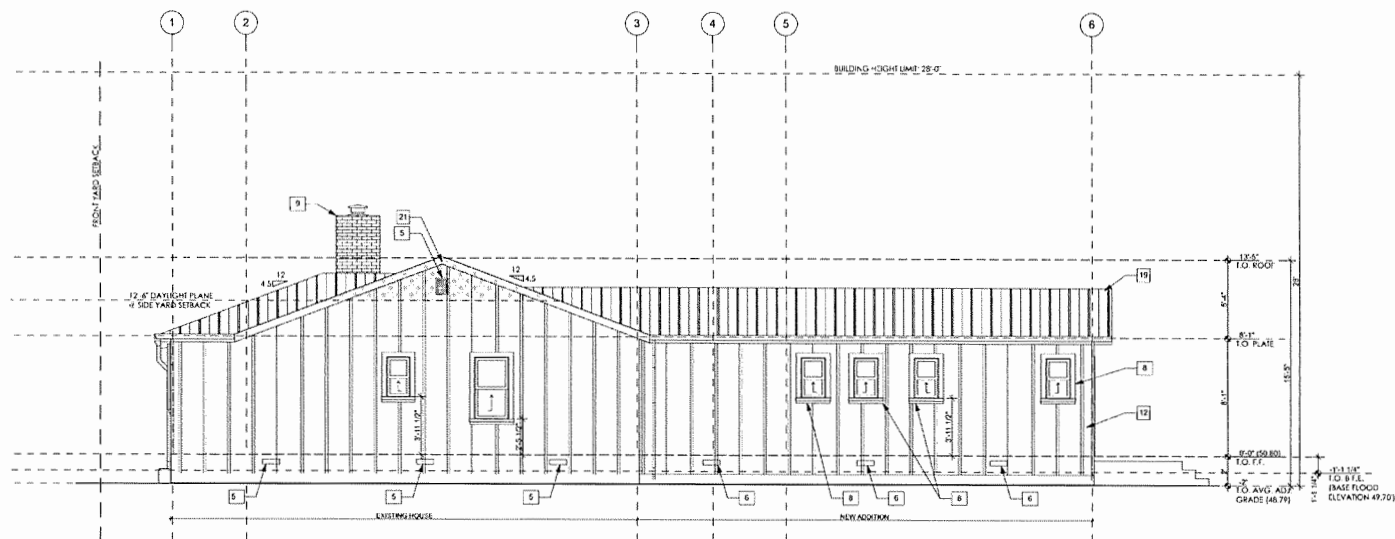
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SHEET NO. 2  
EXTERIOR ELEVATIONS

SHEET NUMBER

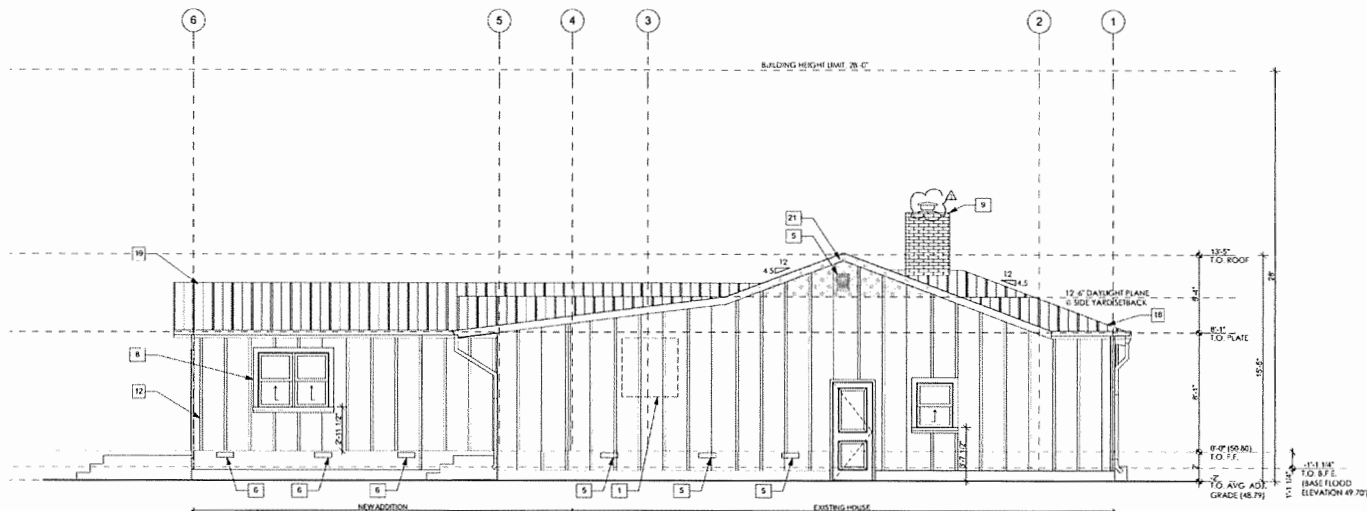
A3.1

1 (E) WINDOW TO BE REMOVED

- 21 (E) NONCONFORMING GABLE ROOF TO REMAIN - SHADED AREA DENOTES AREA OF (E) ROOF ABOVE DAYLIGHT PLANE WHICH STARTS AT SIDE YARD SETBACK AT 12'-6" ABOVE AVERAGE NATURAL GRADE



2 NORTH (RIGHT) ELEVATION  
SCALE: 1/4" = 1'-0"



1 SOUTH (LEFT) ELEVATION  
SCALE 1/4" = 1'-0"

101



Fluharty Remodel  
219 Santa Margarita, Menlo Park, CA

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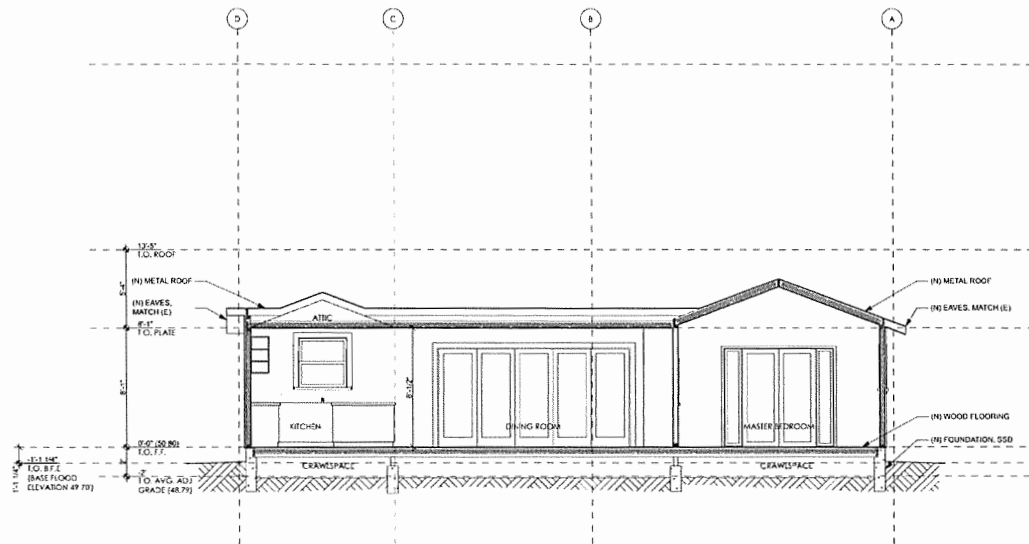
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SHEET TITLE  
EXTERIOR  
ELEVATIONS

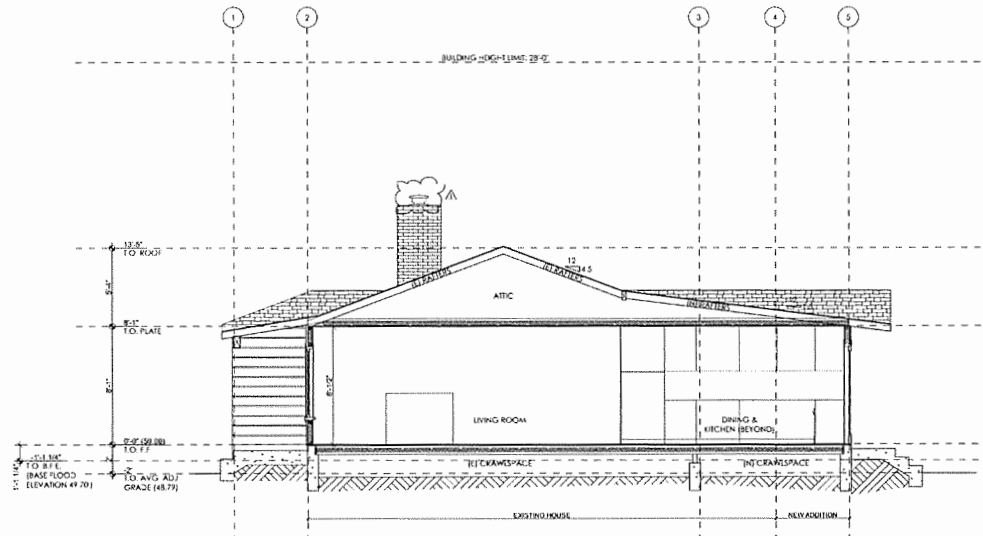
### SECRETARY

### A3.2

D16



2 NORTH - SOUTH SECTION  
SCALE: 1/4" = 1'-0"



1 EAST - WEST SECTION  
SCALE: 1/4" = 1'-0"

loro



Fluharty Remodel  
219 Santa Margarita, Menlo Park, CA

DATE	DESCRIPTION
07-14-15	10% PERMIT
07-14-15	20% PERMIT
07-14-15	30% PERMIT
07-14-15	40% PERMIT
07-14-15	50% PERMIT
07-14-15	60% PERMIT
07-14-15	70% PERMIT
07-14-15	80% PERMIT
07-14-15	90% PERMIT
07-14-15	100% PERMIT

2. COPYRIGHT © LORO ARCHITECTS, 2015  
SHEET 001  
BUILDING SECTIONS

SHEET NUMBER

A4.0

RECEIVED

July 14, 2015

JUL 14 2015

CITY OF MENLO PARK  
PLANNING

219 Santa Margarita Project Description:

The goal for the remodel and addition at 219 Santa Margarita is simple: gain modest square footage, better access to the outdoors and better use of the yard. Also, we plan to accomplish this with a one-story home that keeps in line with the integrity of the neighborhood.

The remodeled home will remain a three bedroom single-family, single-story residence. Our plans include adding square footage to the rear of the house which includes adding a second bathroom, and reconfiguring the interior of the existing home – all new square footage within the constraints of existing setbacks. The roofline will remain the same, as will the general look of the home with upgrades to the exterior finishes and colors. The house will be updated into a contemporary farmhouse with the use of updated vertical board and batten siding and metal standing seam roof with a grey and white color palette.

In order to accomplish our remodeling goals, the main living areas will be remodeled so the current interior is reconfigured to have an open living, dining area with easy access to the back yard. We plan to remove the spruce in the rear yard that is in poor condition with low hanging limbs that limit the use of the yard. Construction will take roughly eight months.

Thank you in advance for supporting improvements to the beautiful neighborhood.

L'oro Designs  
2269 Chestnut Street, #131  
San Francisco, CA 94123  
[lauren@loro-designs.com](mailto:lauren@loro-designs.com)  
415.617.9592

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RECEIVED

SEP 02 2015

August 28, 2015

CITY OF MENLO PARK  
BUILDING

We discussed the remodel with our immediate neighbors to our side, and our new neighbors who just moved in across the street.

We explained the goal for the remodel and addition at 219 Santa Margarita is simple: gain modest square footage, better access to the outdoors and better use of the yard. Also, we plan to accomplish this with a one-story home that keeps in line with the integrity of the neighborhood.

The remodeled home will remain a three bedroom single-family, single-story residence. Our plans include adding square footage to the rear of the house which includes adding a second bathroom, and reconfiguring the interior of the existing home – all new square footage within the constraints of existing setbacks. The roofline will remain the same, as will the general look of the home with upgrades to the exterior finishes and colors. The house will be updated into a contemporary farmhouse with the use of updated vertical board and batten siding and metal standing seam roof with a grey and white color palette.

In order to accomplish our remodeling goals, the main living areas will be remodeled so the current interior is reconfigured to have an open living, dining area with easy access to the back yard. We plan to remove the spruce in the rear yard that is in poor condition with low hanging limbs that limit the use of the yard. Construction will take roughly eight months.

Thank you,



Beth Fluharty



Kenny Fluharty

L'oro Designs  
2269 Chestnut Street, #131  
San Francisco, CA 94123  
lauren@l'oro-designs.com  
415.617.9592

E2





## STAFF REPORT

### Planning Commission

**Meeting Date:** 10/19/2015

**Staff Report Number:** 15-020-PC

**Public Hearing:** Facebook Development Agreements – Third Annual Review

### Recommendation

Staff recommends that the Planning Commission review the information provided and make a determination that Facebook, over the course of the past year, has demonstrated good faith compliance with the provisions of both the Development Agreements for both the East and West Campuses for the period of October 2014 through September 2015.

### Policy Issues

The implementation of each of these development agreements is considered individually. The Planning Commission should consider whether or not Facebook has demonstrated its good faith compliance with the provisions of both the East and West Campus Development Agreements.

### Background

The Facebook Campus Project includes two project sites, specifically, the East Campus and West Campus. Each site has its own Development Agreement (DA) and Conditional Development Permit (CDP). The land use entitlements and development agreements were also processed in phases, with the East Campus entitlement process being completed first. An overview of both project phases is provided below.

#### East Campus

The 56.9-acre East Campus is located at 1 Hacker Way (previously 1601 Willow Road). This developed site was previously occupied by Oracle and Sun Microsystems. The site is developed with nine buildings (Buildings 10 through 19), which contain approximately 1,035,840 square feet. Applicable entitlements and agreements for the Facebook East Campus project include:

- Amended and Restated Conditional Development Permit (CDP): to implement a vehicular trip cap that includes an AM and PM peak period, and daily trip cap to accommodate an increase in employees at the site beyond the 3,600 employees that were permitted under the CDP applicable to Oracle;
- Development Agreement (DA): which results in the provision of overall benefits to the City and adequate development controls in exchange for vested rights in East Campus Project approvals; and
- Heritage Tree Removal Permits: to remove one heritage tree on the East Campus and seven

heritage trees on the West Campus to facilitate construction of Phase I of the Bayfront Expressway undercrossing improvements.

The Planning Commission recommended approval of all requested land use entitlements and development agreement to the City Council on May 7, 2012. The City Council approved the project in May and June of 2012. All of the buildings on the East Campus are occupied at this time.

### West Campus

The approximately 22-acre West Campus is located at 1 Facebook Way (previously 312 and 313 Constitution Drive). The new 433,555 square foot building (Building 20) is constructed over surface parking and was completed and occupied earlier this year. Applicable entitlements and agreements for the Facebook West Campus Project include:

- Rezone from M-2 (General Industrial) to M-2(X) (General Industrial, Conditional Development) and Conditional Development Permit (CDP): to permit the proposal to diverge from standard M-2 zone requirements related to building height and lot coverage;
- Development Agreement (DA): which results in the provision of overall benefits to the City and adequate development controls in exchange for vested rights in West Campus Project approvals;
- Below Market Rate (BMR) Housing Agreement: per the requirements of the City's Municipal Code, a BMR Housing Agreement was required and the applicant has satisfied the BMR Housing Agreement requirements by funding 15 off-site affordable housing units being constructed at 3639 Haven Avenue, via an agreement with St. Anton Partners;
- Lot Line Adjustment: to modify the location of the two legal lots that comprise the project site; and
- Heritage Tree Removal Permits: to permit the removal of approximately 175 heritage trees associated with the proposed project.

The Planning Commission recommended approval of all requested land use entitlements and agreements to the City Council in February 2013. The City Council approved the project in March 2013. At this time, the approved West Campus Project has completed construction.

### **Analysis**

A Development Agreement is a legally binding contract between the City of Menlo Park and an applicant that delineates the terms and conditions of a proposed development project. A Development Agreement allows an applicant to secure vested rights and allows the City to secure benefits that are generally not obtainable otherwise. Development Agreements are commonly used for land use developments which are implemented in phases over a period of time. Development Agreements provide assurances to both the applicant and the City that the terms of the agreement will be in force until the completion of the project, and in some cases, elements of the Development Agreement could be in effect for the life of the project. Development Agreements are enabled by California Government Code Sections 65864-65869.5.

The City Council adopted Resolution No. 4159 in January 1990, establishing the procedures and requirements for the consideration of Development Agreements. Resolution No. 4159 calls for the Planning Commission to conduct a public hearing at which the property owner (or representative for the property owner) must demonstrate good faith compliance with the terms of the agreement. The Planning Commission is to determine, upon the basis of substantial evidence, whether or not the property owner

has, for the period under review, complied in good faith with the terms and conditions of the Agreement. The decision of the Planning Commission is final, unless it is appealed to the City Council. These provisions implement Government Code Section 65865.1 which requires the periodic review, at least once every 12 months, to determine compliance with the terms of the agreement.

In addition, the approved Development Agreements for both the East and West Campuses, Sections 24.1 and 15.1, respectively, set forth the following requirement for the Annual Review: "The City shall, at least every 12 months during the term of this Agreement, review the extent of Facebook's and Owner's good faith compliance with the terms of this Agreement pursuant to Government Code Section 65865.1 and Resolution No. 4159. Notice of such annual review shall be provided by the City's Community Development Director to Facebook and Owner not less than 30 days prior to the date of the hearing by the Planning Commission on Facebook's and Owner's good faith compliance with this Agreement and shall to the extent required by law include the statement that any review may result in amendment or termination of this Agreement. A finding by the City of good faith compliance with the terms of this Agreement shall conclusively determine the issue up to and including the date of such review."

There is an additional clause in the Facebook West Campus Development Agreement that requires that, "Such review shall be scheduled to coincide with the City's review of compliance with the 1601 Willow Road Development Agreement."

In evaluating Facebook's progress at implementing the Development Agreements, staff has developed a classification system to describe how the specific requirements are being implemented using four categories. Three of these categories are consistent with the principle of good faith compliance with the terms of the agreements and are as follows:

- **Completed:** A One-time Action was completed or an Ongoing Activity occurred during the DA review year.
- **In Progress:** A One-time Action is underway (acceptable progress).
- **Conditional, No Action Required:** The triggering event, condition or requirement to undertake an item has not occurred; no action is necessary.

The fourth category, described as Unacceptable Progress implies that, at least potentially, good faith compliance for that item may not have occurred. However, a determination that substantial and persistent non-implementation of a development agreement would have to occur before a lack of good faith compliance could truly be determined. None of the Development Agreement requirements have been identified as unacceptable progress during the 2014-2015 DA review year.

To ensure that the City is aware of the status of their compliance and any challenges they may be having achieving compliance, Facebook provides periodic updates on the status of all applicable requirements. These updates, as well as supporting correspondence and written documentation have been used to develop the Development Agreement Implementation tables attached to this staff report.

#### East Campus Development Agreement

The East Campus Development Agreement includes 37 requirements that are associated with the annual Development Agreement tracking. These requirements fall into two categories, One-Time Actions and Ongoing Activities. A detailed description of the requirements of the Development Agreement for the East

Campus are contained in Attachments A and B, respectively. The summary of the implementation status of the 37 Development Agreement requirements is provided in the following table.

<b>East Campus DA Implementation Status</b>	<b>One-Time Actions (Attachment A)</b>	<b>Ongoing Activities (Attachment B)</b>
Completed	11	15
In Progress (Acceptable Progress)	5	
Conditional / No Action Required	1	5
Unacceptable Progress	0	0

During last year's Implementation Review, the Trip Cap Monitoring system was still a work-in-progress. Since the last review, the trip cap monitoring system has been installed and is counting properly. The City continues to monitor compliance with the trip cap requirements. Facebook is in compliance with the trip cap specified in the Conditional Development Permit.

#### West Campus Development Agreement

The West Campus Development Agreement (for Facebook's Building 20) includes 11 requirements that are associated with the annual Development Agreement tracking. These requirements fall into two categories, One-Time Requirements and Ongoing Activities. Requirements that apply only to project construction (e.g. 7.3.1 and 7.3.2) are also classified as One-Time activities since once construction is completed the obligation no longer applies. All of the Ongoing Activities are required to be implemented after the West Campus has been constructed and occupied. As a result, these items have been classified as Conditional/No Action Necessary.

These requirements fall into two categories, One-Time Actions and Ongoing Activities. A detailed description of the requirements of the Development Agreement for the West Campus is contained in Attachments C and D, respectively. The West Campus building received its certificate of occupancy in March 2015. Ongoing activity 7.2, the Property Tax Guarantee is in process, waiting for the County Assessor to complete their reassessment. Because completion is dependent upon an outside entity, and there appear to be no obstacles to Facebook's eventual compliance, the item has been identified as complete. It will be verified as part of next year's implementation review. The summary of the implementation status of the 11 West Campus Development Agreement requirements is provided below:

<b>West Campus DA Implementation Status</b>	<b>One-Time Actions (Attachment C)</b>	<b>Ongoing Activities (Attachment D)</b>
Completed	5	4
In Progress (Acceptable Progress)	0	
Conditional / No Action Required	0	2
Unacceptable Progress	0	0

The West Campus building also has a trip cap requirement. The system has been installed and is counting properly. The City continues to monitor compliance with the trip cap requirements. Facebook is in compliance with the trip cap specified in the Conditional Development Permit.

#### Requirements of the Conditional Development Permits

As part of this annual review staff has also reviewed the major infrastructure improvements identified in the Conditional Development Permits (CDPs) for both the East Campus (EC) and West Campus (WC) projects. For the sake of simplicity, only the East Campus CDP numbers are provided when the improvement is identified in both CDP documents.

The original schedule required bonding for the improvements within 90 days after the approval of the Development Agreement, and the submittal of complete construction/ improvement plans within 180 days of approval of the Development Agreement. Once Caltrans (and/or the cities of Menlo Park and East Palo Alto) approve the construction plans, construction is required to be completed within 180 days. The CDP schedule contains no deadlines for the review and approval of the encroachment permit by either Caltrans or the City of East Palo Alto since these outside agencies have their own processing requirements and timelines.

The following table summarizes the status of the various infrastructure requirements contained in the Conditional Development Permits for the East and West Campus Projects. As shown below, Facebook has made good progress at meeting their obligations under their Conditional Development Permits. During the next annual review cycle, it is expected that all of the substantially completed improvements will be complete and accepted by the City. Acceptance of the improvements by the City is the last step in any public infrastructure project.

<b>Completion Status Summary</b>	<b>Number</b>
Project Complete, Work Accepted by the City	1
Project Substantially Completed, the improvements have not been accepted by the City and corrections are in process	7
Project still under design development/Encroachment Permit has not been issued/Construction has not started	2

While most of the projects are done or nearly complete, two of the ten projects are lagging behind the others. The Willow Road and Bayfront Expressway Improvements began construction over the summer and are not yet substantially complete.

The Willow Road and Newbridge Street improvements relate to the US-101/Willow Road interchange reconstruction, due to the high likelihood that any improvements would end up being removed or replaced. As a result, staff is adjusting the timing of this project to conform to the timing of the interchange reconstruction. The final design for the interchange has not been completed.

A summary of the status of each of the required public improvements is provided in the following table.

STATUS OF FACEBOOK CDP INFRASTRUCTURE IMPROVEMENTS						
CDP Requirement	Bond Paid	Encroachment Permit		Construction		
		Applied For	Received	Started	Substantially Complete	Complete and Accepted
EAST CAMPUS						
Willow Rd. & Bayfront Expway. lane widening and bike lanes (EC CDP 10.1)	✓	✓	✓	✓		
Willow Rd. & Middlefield Rd. lane and signal revisions (EC CDP 10.2)	✓	✓	✓	✓	✓	✓
University Ave. & Bayfront Expway. trail improvement (EC CDP 10.3)	✓	✓	✓	✓	✓	
Bayfront Expway. & Chrysler Drive lane restriping (EC CDP 10.4)	✓	✓	✓	✓	✓	
Marsh Rd. & Bayfront Expway. lane restriping (EC CDP 10.5)	✓	✓	✓	✓	✓	
Marsh Rd. & US101 NB Ramp ramp widening (EC CDP 10.6)	✓	✓	✓	✓	✓	
Willow Rd. & Newbridge St. lane widening (EC CDP 10.7)	✓	✓	✓			
WEST CAMPUS						
Bayfront Expway. Undercrossing (WC CDP 10.0)	✓	✓	✓	✓	✓	
University Ave. & Donahoe St. restriping (WC CDP 12.10)	✓	✓	✓	✓	✓	
Willow Rd. Median, emergency vehicle access	✓	✓	✓	✓	✓	

### Impact on City Resources

Facebook is required to pay all costs associated with this review to fully cover the cost of staff time spent on the review of these projects.



## **Environmental Review**

The California Environmental Quality Act (CEQA) requires that activities which meet the definition of a Project be evaluated for their potential impacts on the environment. The Annual Review of the Development Agreements has no potential to result in an impact to the environment and does not meet the definition of a Project under CEQA; as a result, no environmental review or determination is needed. The environmental impacts of the original projects and their associated development agreements were evaluated and considered at the time projects were initially approved by the City in 2012 and 2013, respectively.

## **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

## **Attachments**

- A. East Campus Development Agreement One-Time Action Status
- B. East Campus Development Agreement Ongoing Activities Status
- C. West Campus Development Agreement One-Time Action Status
- D. West Campus Development Agreement Ongoing Activities Status

Report prepared by:

David Hogan, Contract Planner

Report reviewed by:

Thomas Rogers, Interim Principal Planner

**ATTACHMENT A  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
7.1	<u>Capital Improvement.</u> Facebook shall make a one-time payment of One Million One Hundred Thousand Dollars (\$1,100,000) to the City for the City's unrestricted use toward capital improvement projects.	Within 45 days of the satisfaction of the Conditions Precedent* (11/2/12)	Completed	During the 2012-2013 Review Period.
7.2.1	<u>Bicycle/Pedestrian.</u> Facebook shall perform one-time improvements to the Undercrossing above and beyond those described in the Project; including to the extent appropriate, preserving existing art and/or providing wall surfaces for invited artists to create mural art with the intent to create an "art gallery" experience for the pedestrians/bicyclists using the undercrossing. (See also East Campus CDP, Section 9)	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13)	In Progress	The undercrossing is currently open to the public. Facebook has contracted with a mural artist to do a community art mural in the Undercrossing. Facebook indicates that they are currently in the permitting process with Caltrans. The Standard Encroachment Permit was submitted to Caltrans on behalf of Facebook on 9/29/15 by BKF Engineers. Caltrans sees no issue, so we should have the permit soon. The project is estimated to begin this month.
7.2.2	<u>Bicycle/Pedestrian.</u> Facebook shall perform restriping improvements for bicycle lanes to the following streets on a one-time basis:  (a) Willow Road and Middlefield Road intersection.	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13)	Completed	

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT A  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
	(b) Willow Road and U.S. 101 bridge.	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13)	Completed	Facebook contacted Caltrans again during this period. Caltrans still does not support the installation of green lane bicycle striping over US101. No further actions are possible, obligation satisfied.
	(c) Willow Road between Hamilton Avenue and Bayfront Expressway.		In Progress	The encroachment permit has been issued by Caltrans. Construction began last month and will be completed during the next annual review.
	(d) Willow Road between Newbridge Street and Ivy Drive.		In Progress	The encroachment permit has been issued by Caltrans. Construction is scheduled to begin over the winter.
	(e) Willow Road between O'Keefe Street and U.S. 101 (shared lane markings).		Complete	Caltrans did not approve the proposed improvements. No further actions are possible, obligation satisfied.
7.2.3	<u>Bicycle/Pedestrian</u> . Facebook shall have a one-time obligation to investigate the possibility of making crosswalk improvements to the pedestrian crossings at the US 101 and Willow Road interchange.	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13)	Completed	Caltrans will not allow the proposed improvements. No additional action by Facebook is required.
7.2.4	<u>Bicycle/Pedestrian</u> . Facebook shall perform one-time improvements to publicly accessible walking paths, trails and levees in the immediate vicinity of the Property, subject to approval by the San Francisco Bay Conservation and	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13)	Completed	Trail improvements and interpretive signage has been designed and prepared. Installation of the signage along

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT A  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
	Development Commission ("BCDC").			the levee trail around the East Campus will be verified during the next annual review.
7.3	<u>Business District.</u> Facebook will have a one-time obligation to investigate the possibility of creating a business improvement district in the Willow Road corridor between US 101 and Bayfront Expressway that includes the Property. If the business improvement district is feasible and the adjacent property owners are likewise interested in creating the business improvement district, Facebook shall initiate the process for creating the business improvement district.	Within three years of the satisfaction of the Conditions Precedent* (10/3/15)	In Progress	There are ongoing discussions as part of the General Plan update and the future redevelopment of the Prologis site.
9.1	<u>Housing.</u> Facebook will explore opportunities to invest in low income tax credits for affordable housing projects in the City and the City of East Palo Alto, including partnering with a local non-profit housing developer(s) or contributing funds toward the creation of low, very-low or extremely-low income housing. Facebook shall report the results of its explorations to the City's Community Development Director upon the City's Community Development Director's written request. The decision of whether to make any investments will be in Facebook's sole and absolute discretion.	Prior to February 6, 2026	Completed	

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT A  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
9.2	<u>Housing.</u> Facebook will contact a local real estate developer or local real estate developers interested in building housing projects in the City. Facebook in concert with the real estate developer(s) will explore ways to support housing projects, including, but not limited to investing capital, committing to leasing units or offering marketing opportunities to Facebook employees. Facebook shall report the conclusions from this collaborative effort to the City's Community Development Director upon the City's Community Development Director's written request. The decision of whether to provide any support will be in Facebook's sole and absolute discretion.	Prior to February 6, 2026	Completed	Facebook has collaborated with the St Anton's Housing Project and provided funding for Below Market Rate housing units.
11.	<u>Bay Trail Gap.</u> Facebook will work with Bay Trail stakeholders, including, but not limited to Mid-peninsula Regional Open Space District, Association of Bay Area Governments (ABAG), the City of East Palo Alto and the City and County of San Francisco and appropriate members of the business community to close the Bay Trail Gap, commonly known as Gap No. 2092, which terminates at the railroad right-of-way on University Avenue.	Prior to February 6, 2026	Completed	Facebook indicated that they wrote a letter of support for the project and that San Mateo County Measure A funds were received by ABAG for the project. Midpeninsula Regional Open Space District is in charge of the project, which has not yet started construction. Facebook has indicated that they are committed to providing additional funding, as needed.
12	<u>Utility Undergrounding.</u> Facebook agrees to cooperate with the City in the City's efforts to underground existing electric transmission lines located in the vicinity of the property. However, neither the City nor Facebook will be obligated to provide funding for utility undergrounding.	Prior to February 6, 2026	Conditional / No Action Required	No undergrounding project was initiated during this annual review period.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT A**  
**EAST CAMPUS DEVELOPMENT AGREEMENT**  
**ONE TIME ACTIONS OR IMPROVEMENTS**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
15	<u>Adopt-a-Highway</u> . Facebook will adopt a roadway segment in the vicinity of the Property pursuant to Caltrans' Adopt-A-Highway Program. This commitment will be for a period of five years. If there are no segments available for adoption in the vicinity of the Property, Facebook's obligation shall be deferred until a segment becomes available.	Within 180 days of the satisfaction of the Conditions Precedent* (4/1/13)	In Progress	No Adopt-a-Highway road segments in the vicinity of the Project Site are available. Lack of available segments means that Facebook is in compliance with this requirement. However since no road segment is available Facebook has initiated the process of adopting the west bound bike path along Hwy 84 from the end of Dumbarton Bridge to Marsh Road. Facebook indicates that they are clearing the trail once a month.
22.1	<u>Sanitary Sewer System Upgrades</u> . Facebook shall purchase a third wastewater pump to be placed into reserve in case of pump failure at the Hamilton Henderson Pump Station. Within 120 days of the Effective Date of this Agreement, Facebook shall purchase a 3-Phase pump as approved by West Bay Sanitary District (WBSD).	Facebook shall post a bond equal to 120 percent of the cost of the wastewater pump within 30 days of the satisfaction of the Conditions Precedent* (11/2/12)	Completed	Pump purchased and provided to WBSD.

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.



**ATTACHMENT A  
EAST CAMPUS DEVELOPMENT AGREEMENT  
ONE TIME ACTIONS OR IMPROVEMENTS**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
22.2	<u>Sanitary Sewer System Upgrades</u> . Facebook shall upsize 114 feet of the existing 12-inch diameter pipeline that runs north along Hamilton Avenue, beginning at the Hamilton/Willow Road intersection, to a 15-inch diameter pipe.	Within 90 days of the Effective Date of this Agreement (10/3/12), Facebook shall apply for a Class 3 permit from WBSD. Facebook shall post a bond equal to 200 percent of the estimated cost of the work within 30 days of the satisfaction of the Conditions Precedent* (11/2/12)	Completed	Construction completed June 5, 2014.

\*Conditions Precedent. Facebook's and Owner's obligations are expressly conditioned on the resolution of all legal challenges, if any, to the EIR, the Project Approvals and the Project. If no litigation or referendum is commenced challenging the EIR, the Project Approvals and/or the Project, Facebook's and Owner's obligations will vest 90 days after the Effective Date, with the **effective date being July 5, 2012 and 90 days post that being October 3, 2012**. If litigation or a referendum is commenced challenging the EIR, the Project Approvals and/or the Project, then Facebook's and Owner's obligations will vest on the date of final, non-appealable resolution of all litigation in a manner that is reasonably acceptable to Facebook and Owner or resolution of the referendum in a manner that is reasonably acceptable to Facebook and Owner. The conditions described in this Section 6 shall, collectively, be referred to as the "Conditions Precedent".

\* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT B**  
**EAST CAMPUS DEVELOPMENT AGREEMENT**  
**ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
5.	<u>Trip Cap.</u> Facebook shall adhere to the Trip Cap, details included in the Project Approved, and incorporated herein by this reference (CDP Requirement 7).	Within 180 days of CDP Approval.	Completed	The revised vehicle trip counting system is in operation and has proven to be reliable. Facebook is currently operating within the specified trip cap. See additional information under DA Item #19 .
8.	<u>Annual Payment.</u> During the term of this Agreement, Facebook and/or Owner shall make an annual payment ("Annual Payment") to the City in lieu of sales tax or other revenue that might otherwise accrue to the City if the Property was occupied by a sales tax producer. 8.1.1. In each of the first five years beginning with the first payment on January 1, 2013, the amount of the Annual Payment shall be Eight Hundred Thousand (\$800,000).	Due on July 1, 2013 of each year.	Completed	Payment was made on June 3, 2015.
10.	<u>Local Community Fund.</u> Facebook shall create a Local Community Fund ("LCF") in partnership with a non-profit partner to manage and administer the LCF and Facebook shall contribute Five Hundred Thousand Dollars (\$500,000) to the LCF. The purpose of the LCF will be to provide support for local community needs.	Within one year of the satisfaction of the Conditions Precedent* (10/3/13)	Completed	Funds were distributed to 22 non-profit organizations on June 18, 2015.
13.1	<u>Internship Program.</u> Facebook will create a summer intern program for residents of the Ravenswood Elementary School District. The summer intern program will commence with an initial, pilot program, and then later, if successful, may be expanded, in Facebook's sole and absolute discretion, to include more participants and/or subject areas.	No later than summer 2013	Completed	The Third Annual Facebook Academy was completed in August of 2015.

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**ATTACHMENT B**  
**EAST CAMPUS DEVELOPMENT AGREEMENT**  
**ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
13.2	<u>Encourage Local Jobs.</u> Facebook will work with a local training program to expand training services for residents of the City and the City of East Palo Alto. Facebook will also create an ongoing quarterly series of career development workshops to commence within one year of the satisfaction of the Conditions Precedent. The workshops will focus on topics such as resume writing, interviewing skills and how to find a job via social media, including Facebook. These workshops will take place in local community centers and/or other neighborhood sites. In addition, within one year of the satisfaction of the Conditions Precedent, Facebook will host a session, promoted in the Belle Haven neighborhood and East Palo Alto, on how to become a Facebook employee and to encourage contractors to hire City residents and residents of the City of East Palo Alto, Facebook will require future vendors to use reasonable efforts to notify residents of the City and the City of East Palo Alto when they are hiring new people to work at the Property in the facilities, culinary and construction trades. Vendors with existing contracts will be encouraged to use reasonable efforts to promote local hiring as openings become available. Facebook will also encourage campus vendors to host sessions on how to become an employee of their organization.	Within one year of the satisfaction of the Conditions Precedent* (10/3/13)	Completed	A job workshop conducted on 10/27/14 had limited attendance. As a result, Facebook shifted to a "Job Fair." A Job Fair held in May 2015 was attended by about 300 people and 11 vendors providing FB campus jobs, 1 outside vendor, and 1 nonprofit job organization (JobTrain). Facebook indicated that they continue to explore opportunities to use local vendors to meet their needs by making it a standard practice to include at least one local vendor in all RFP's.
16.1	<u>Environmental Education.</u> When performing work that might impact the San Francisco Bay, Facebook will hire an environmental consultant knowledgeable about the San Francisco Bay and associated marsh habitats to ensure that endangered species, particularly the Salt Marsh Harvest Mouse and Clapper Rail, are not harmed.	Prior to February 6, 2026	Completed	Facebook has retained HT Harvey & Associates to ensure compliance with this requirement.

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**ATTACHMENT B**  
**EAST CAMPUS DEVELOPMENT AGREEMENT**  
**ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
16.2	<u>Environmental Education</u> . Facebook will cooperate with the Don Edwards San Francisco Bay National Wildlife Refuge ("Refuge") team and related nonprofit groups on habitat protection and restoration adjacent to the Property. Facebook will establish an ongoing, in-house point of contact for the Refuge, nonprofit groups and related agencies to ensure collaborative success.	Prior to February 6, 2026	Completed	See responses to Items 16.1 and 16.3.
16.3	<u>Environmental Education</u> . Facebook will educate employees and visitors about the unique species next to the Property and their habitat requirements. Such education may include installing interpretive signage and/or hosting educational programs.	Prior to February 6, 2026	Completed	Ongoing commitment. Facebook made and posted a video about the history of the salt ponds, the salt pond renovations, and the wildlife. Signs are in production and due to be installed October 2015. They will each contain two QR codes - one that directs visitors to the Refuge and other environmental websites related to the bay, and the other that links to the new video. This is also partially addressed under item 7.2.4.
16.4	<u>Environmental Education</u> . Facebook will engage in "wildlife-friendly" behavior, such as: (a) adopting policies requiring the trapping and removal of feral cats and the leashing of dogs when using trails located on the Property, (b) employing wildlife-safe rodent control measures, and (c) encouraging beneficial species.	Prior to February 6, 2026	Completed	Traps set in March 2015 resulted in no cats trapped.  Traps set in June 2015 resulted in one cat being caught. The animal went to SPCA.

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**ATTACHMENT B**  
**EAST CAMPUS DEVELOPMENT AGREEMENT**  
**ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
17.1	<u>On-going Environmental Commitments.</u> When performing landscape improvements, Facebook and/or Owner will minimize (or require the minimization of) potential stormwater runoff through the use of appropriate techniques, such as grassy swales, rain gardens and other Low Impact Development (LID) measures.	Prior to February 6, 2026	Conditional / No Action Required	Facebook has not initiated any landscape improvements which would trigger this requirement.
17.2	<p><u>On-going Environmental Commitments.</u> If Facebook and/or Owner installs at the Property new windows or new window treatments on windows facing the parking lot or the San Francisco Bay, Facebook and/or Owner will select (or require the selection of) windows and window treatments that minimize impacts of light pollution and risk of collision to birds.</p> <p>If Facebook and/or Owner installs new lighting in the parking lot at the Property, Facebook and/or Owner will use (or require the use of) then available best practices to design and shield that new lighting so as to confine direct rays to the Property and not out into the adjacent areas of the San Francisco Bay.</p>	Prior to February 6, 2026	Conditional / No Action Required	Facebook has not initiated the replacement of any new windows which would trigger this requirement.
17.3	<u>On-going Environmental Commitments.</u> Except for the existing basketball court, Facebook and/or Owner will not create (or permit the creation of) any lighted playing field on the perimeter of the site that abuts the San Francisco Bay. Facebook and/or Owner will require the lights on the existing basketball court to be controlled so that the court is dark except when in use.	Prior to February 6, 2026	Conditional / No Action Required	Facebook has not initiated any lighting improvements which would trigger this requirement.

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**ATTACHMENT B**  
**EAST CAMPUS DEVELOPMENT AGREEMENT**  
**ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
17.4	<u>On-going Environmental Commitments.</u> If Facebook and/or Owner installs new building roofs, window ledges, parking lot light poles or landscaping changes, Facebook and/or Owner will use (or require use of) then available best practices to ensure that the new building roofs, window ledges, parking lot light poles or landscaping changes do not create sites for predatory bird species to roost or nest.	Prior to February 6, 2026	Conditional / No Action Required	Facebook has not initiated any improvements which would trigger this requirement.
17.5	<u>On-going Environmental Commitments.</u> When performing landscape improvements to those portions of the Property that abut the San Francisco Bay, Facebook and/or the Owner will consult with (or require consultation with) a qualified environmental consultant familiar with California native plant communities and select (or require the selection of) suitable native plants for landscaping.	Prior to February 6, 2026	Completed	HT Harvey and Associates continues to monitor landscape plantings at the East Campus.
18.1	<u>Local Purchasing.</u> Facebook shall adopt a program to incentivize Facebook employees to frequent local businesses and continue such program for three years from the Effective Date.	July 5, 2015: Three year duration required from effective date.	Completed	Facebook has initiated the "Facebucks" program will satisfy this obligation to introduce Facebook employees to downtown Menlo Park businesses. Round 2 ran through 5/2015. Round 3 is schedule to kick off In November 2015.
18.2	<u>Local Purchasing.</u> When purchasing goods that can be sourced locally, Facebook shall endeavor to purchase goods from vendors located in the City if the quality, price, terms and conditions are competitive.	Prior to February 6, 2026	Completed	According to Facebook, the following are some of the local businesses patronized by Facebook: Susie Cakes, Fleet Feet, Menlo Hardware, Willows Market, Bay Area Catering, Flegel's Home Furnishings, and

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**ATTACHMENT B**  
**EAST CAMPUS DEVELOPMENT AGREEMENT**  
**ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
				Menlo Hardwoods
18.3	<u>Local Purchasing</u> . When engaging vendors to provide on-site services to employees (e.g., chiropractic services), Facebook shall endeavor to engage vendors that are located in the City if their services satisfy Facebook's needs and the quality, price, terms and conditions are competitive.	Prior to February 6, 2026	Completed	Current ongoing vendors include fitness towel service and car wash service from Belle Haven. Facebook also indicated that they continue to evaluate local vendors and that many local vendors are small-scale vendors that seem to have difficulty managing Facebook's large scale projects.
18.4	<u>Local Purchasing</u> . If the Menlo Gateway project is developed, Facebook will consider adding the hotel built as part of that project to its list of preferred hotels for visitors.	Prior to February 6, 2026	Conditional / No Action Required	The Menlo Gateway Project was not constructed/developed during this review year.
19.	<u>Transportation Demand Management Information Sharing</u> . To help mitigate regional traffic, Facebook agrees to share its Transportation Demand Management best practices with other interested Silicon Valley companies that request such information from Facebook.	Ongoing through to February 6, 2026.	Completed	During the previous review, Facebook indicated that their Transportation Manager spoke at a symposium put on by the Corporate Bike Forum.

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**ATTACHMENT B**  
**EAST CAMPUS DEVELOPMENT AGREEMENT**  
**ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
20.	<u>Volunteerism.</u> Facebook will actively promote local volunteer opportunities in the City and the City of East Palo Alto to all its employees. Such promotion shall include the creation of an internal Facebook page for the posting of volunteer opportunities. Facebook will host a "Local Community (Non-Profit) Organization Fair" on the Property.	Annually through February 6, 2026.	Completed	A Community Fair was held in November of 2014. The theme was STEM (Science, Technology Engineering, and Mathematics) nonprofits. Facebook brought in 10 local nonprofits into Hacker Plaza during the lunch period (11am to 2pm). Facebook estimated about 250 employees chatted with representatives for the nonprofits to learn about their opportunities to participate.

\*Conditions Precedent. Facebook's and Owner's obligations are expressly conditioned on the resolution of all legal challenges, if any, to the EIR, the Project Approvals and the Project. If no litigation or referendum is commenced challenging the EIR, the Project Approvals and/or the Project, Facebook's and Owner's obligations will vest 90 days after the Effective Date, with the **effective date being July 5, 2012 and 90 days post that being October 3, 2012**. If litigation or a referendum is commenced challenging the EIR, the Project Approvals and/or the Project, then Facebook's and Owner's obligations will vest on the date of final, non-appealable resolution of all litigation in a manner that is reasonably acceptable to Facebook and Owner or resolution of the referendum in a manner that is reasonably acceptable to Facebook and Owner. The conditions described in this Section 6 shall, collectively, be referred to as the "Conditions Precedent".

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**ATTACHMENT C**  
**WEST CAMPUS DEVELOPMENT AGREEMENT**  
**ONE TIME ACTIONS OR IMPROVEMENTS**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
6.	Capital Improvements. Within 60 days of the later of (a) City sign off on final building permits allowing occupancy of the West Campus by Owner and (b) Owner's receipt of City's request for payment, Owner shall make a one-time payment of \$100,000 to the City for the City's unrestricted use toward capital improvement projects that benefit the adjacent Belle Haven neighborhood.	Payable within 60 days of Certificate of Occupancy.	Complete	Paid on June 22, 2015.
7.3.1	Sales and Use Taxes; for all construction work performed on the project, should include a provision in all construction contracts for \$5 million or more to record a sub-permit from CA State Board of Equalization to book and record construction materials purchases/sales as sales originating in the City	Throughout duration of construction through occupancy (not applicable to future remodeling or construction).	Completed	Provisions were included the appropriate construction contracts.
7.3.2	Sales and Use Taxes; from the purchase of furnishings, equipment and personal property for initial occupancy of the building, owner shall maximize sales and use taxes to be received by the City.	Applicable throughout the duration of construction and initial occupancy (not applicable to future remodeling or construction)	Complete	In satisfaction of this requirement, Facebook indicated that they have paid over \$277,000 through the Second Quarter of 2015 (the most recent quarter available).
8.	Local Community Fund. Facebook shall contribute an additional \$100,000 to the Local Community Fund within one year of occupancy. However, if the fund is depleted at the time the owner receives a core and shell permit, owner shall make a payment within 6 months of conditions precedent.	Within one year of final building permit sign-off, or sooner if the fund is depleted at the time the owner receives a core and shell permit.	Complete	Paid on May 11, 2015.

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**ATTACHMENT C**  
**WEST CAMPUS DEVELOPMENT AGREEMENT**  
**ONE TIME ACTIONS OR IMPROVEMENTS**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
10.	<p>Design and Environment.</p> <p>Use of Gehry Partners as Architect of record.</p> <p>The green roof shall be designed consistent with project approvals.</p> <p>Owner will design building to be LEED Gold equivalency.</p>	Prior to approval of the building plans for the West Campus.	Completed	<p>Gehry Partners is the architect of record on the project.</p> <p>Core and shell permit approved in 2014 and incorporated roof landscaping designs consistent with original approval.</p> <p>LEED Report is part of Core and Shell permit. Facebook is currently on track for gold equivalency.</p>

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**ATTACHMENT D**  
**WEST CAMPUS DEVELOPMENT AGREEMENT**  
**ONGOING ACTIVITIES**

<b>DA Term</b>	<b>Task/Requirement/Action*</b>	<b>Timeline</b>	<b>Status</b>	<b>Notes</b>
7.1	Recurring Public Benefits Payment - \$150,000/year	Payments are due on July 1 beginning after building occupancy is approved and continue for 10 years.	Completed	Paid on June 22, 2015.
7.2	Property Tax Guarantee – Facebook shall pay the City the positive difference between the projected assessed value and property tax collected.	Payment due the first tax fiscal year following the initial reassessment of the property and shall continue for 10 years.	In progress/ Completed	According to Facebook, the County Assessor has not yet completed the reassessment process. This is expected to be completed during the next annual cycle.
9.	Recycling – Facebook agrees to use the City's franchisee for all trash and recycling services, provided the price is the same as that charged to other commercial users in the City.	For lifetime of development agreement (February 6, 2026).	Completed	Recology is providing trash and recycling services to the West Campus.
11.	Public Access - public access shall be permitted on the landscaped area adjacent to the undercrossing (in addition to the dedicated access easement).	For lifetime of development agreement (February 6, 2026).	Completed	The undercrossing and connecting pathways are open for public use.
12.	Future Pedestrian/Bike Access - If a public transit agency provides service proximate to the West Campus, and locates a stop near Willow Road and the rail spur and there is not a convenient alternative to service adjacent properties, owner will work with City to explore a bike/pedestrian route on the West Campus.	For lifetime of development agreement (February 6, 2026).	Conditional / No Action Required	Additional transit service in proximity to the West Campus is has not been established. No action required.
13.	Facebook East Campus Benefits - if some of the commitments under the East Campus DA terminate, they shall be required under the West Campus Development Agreement.	Until the earlier of (i) Owner and Facebook vacate WC, or (ii) February 6, 2026.	Conditional / No Action Required	East Campus Development Agreement still in effect, this requirement is not applicable for the 2014-2015 period.

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## STAFF REPORT

### Planning Commission

**Meeting Date:** 10/19/2015

**Staff Report Number:** 15-021-PC

**Public Hearing:** Architectural Control, Major Subdivision, and  
Below Market Rate Agreement/Hunter  
Properties/133 Encinal Avenue

### Recommendation

Staff recommends that the Planning Commission recommend that the City Council approve the architectural control and major subdivision to allow the demolition of existing garden nursery buildings, and construction of 24 attached townhouse-style residential units and associated site improvements in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district, at 133 Encinal Avenue. A tentative map would be required to create 24 residential condominium units. Five heritage trees are proposed for removal as part of the proposed development. In addition, the applicant is requesting approval of a Below Market Rate (BMR) Agreement for the provision of three on-site BMR units for this project. The recommended actions are included as Attachment A.

### Policy Issues

Each architectural control and major subdivision request is considered individually. The Planning Commission should consider whether the required architectural control and subdivision findings can be made for the proposal.

### Background

#### Site Location

The subject site is approximately 1.7 acres located at 133 Encinal Avenue in the ECR/D-SP (El Camino Real/ Downtown Specific Plan) zoning district. The site is on the north side of Encinal Avenue between El Camino Real and the Caltrain railroad tracks. Adjacent uses include attached townhouses to the north, the Caltrain railroad tracks to the east, apartments to the south, and offices to the west.

The subject site operated as Roger Reynolds Nursery, a commercial garden nursery, from 1919 through 2013. There are currently three buildings and several storage sheds associated with the former nursery use.

#### Housing Commission Recommendation

The proposed Below Market Rate (BMR) Housing proposal was reviewed by the Housing Commission at their meeting on May 6, 2015. The Housing Commission unanimously recommended approval for the provision of three BMR units on site consisting of one low-income BMR unit and two moderate-income BMR units, which is discussed in more detail in the Below Market Rate Housing Agreement section below.

### Environmental Quality Commission Recommendation

The proposed heritage tree removals were reviewed by the Environmental Quality Commission at their meeting on June 24, 2015. The Environmental Quality Commission unanimously recommended the retention of additional heritage and non-heritage trees in the front half of the site, along with more stringent measures to ensure the health of retained trees throughout the construction process. Their recommendation is discussed in more detail in the Trees and Landscaping section below.

### Overall Project Review

The subject application was submitted in August 2014. Review of the project took time due to addressing the concerns raised by the neighbors, refinement of the site layout and architectural design, and the complexity of the El Camino Real/Downtown Specific Plan and the need to verify full compliance with the Plan's extensive design standards and guidelines. The initial development included 26 units in nine three-story buildings, with the community building and guest parking along the front. In response to neighbors' concerns, the applicant reduced the unit count to 24 units, and reduced the height of the building along at the rear closest to the neighbors. Additionally, the community building was moved to the rear and guest parking removed from the front so that residential units could front the street. While the overall architectural style did not change as part of the review process, the applicant did make key changes in response to comments from staff and staff's design consultant to address key standards and guidelines. Staff also required multiple revisions to the technical reports, including the arborist report and acoustic analysis, in order to provide enhancements and clarifications that are discussed in a following section.

## **Analysis**

### Project Description

The applicant is proposing to construct 24 residential townhouse-style units, a community building, and associated site improvements. The residential units would be distributed in seven buildings throughout the site, with each building containing between two to five units. In addition, a community building would be provided as a site amenity. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

Residential dwelling units are a permitted use in the El Camino Real Mixed Use land use designation. The residences would include four three-bedroom units and 20 four-bedroom units. The proposal would meet the Specific Plan's Base level standards, which were established to achieve inherent public benefits, such as the redevelopment of underutilized properties, the creation of more vitality and activity, and the promotion of healthy living and sustainability. As specified by the Specific Plan, the development would be required to achieve LEED Silver certification (condition 6f).

The development would have a residential density of 13.8 dwelling units per acre, well under the limit of 20 dwelling units per acre. The project would have a FAR (Floor Area Ratio) of 0.74, below the 0.75 maximum. The FAR has been calculated per the definition of Gross Floor Area, which includes all levels of a structure, with exemptions for covered parking and certain non-usable/non-occupiable areas. The development would adhere to the building height (38 feet) limit, and the façade height (30 feet) limit along both the front and rear. The proposed front setback would be between 16.2 and 18.2 feet, and would accommodate a 15-foot wide sidewalk, entry walkways, landscaping, and preservation of an existing



heritage tree.

The subject site currently consists of one parcel with a 40-foot wide utility easement along the entire length of the right side property line for a water pipeline. The City and County of San Francisco Public Utilities Commission (SFPUC) has rights to this easement, and has imposed restrictions on any improvements within the easement area, including preclude any structures, its use for emergency access, and restricts the planting of large trees and shrubs. The applicant has coordinated with SFPUC to ensure that the proposed landscape and hardscape improvements within the easement would be in compliance with SFPUC's requirements. Although no structures are permitted within the easement, the easement area still contributes towards the maximum allowable FAR and minimum open space.

The applicant has submitted a tentative map for a major subdivision to allow the 24 residential units to be sold individually as condominiums on the existing shared common lot. With the exception of exclusive use easements for private open space, all shared facilities and landscaping would be maintained by the future homeowner's association. The applicant has indicated that all units will have Encinal Avenue addresses.

### Design and Materials

Staff has prepared a detailed Standards and Guidelines Compliance Worksheet (Attachment F), which discusses all relevant Specific Plan Chapter E (Land Use and Building Character) requirements in detail. The proposal complies with all standards (which are required), and the majority of guidelines (which are recommended). Where guidelines are only partially complied with, the basis/context for that is noted.

### *General Design*

The project would create 24 townhomes in seven buildings consisting of two- to five-unit buildings, one small community building, and several landscaped community garden and open spaces. The site plan is organized so that most buildings would be set parallel with the front lot line, with the sides of end units facing the Caltrain tracks to limit noise impacts on units. Primary open spaces would be at the northeast and northwest corners of the site where prominent groves of oaks and redwoods exist, and along the eastern edge of the site where paved seating areas and garden plots are proposed.

Six units in two buildings would front Encinal Avenue with craftsman style architecture rendered in dark stained cedar shingles and horizontal siding with contrasting white painted window groupings, deck railings, trim and decorative brackets. Gable roof edges, entry porches with stone base walls supporting pairs of wood posts, and large window bays would punctuate the façade. The streetscape façade would have some common forms, but would be more balanced than repetitive in overall façade composition. The porches would be somewhat underscaled given the three-story building mass as seen along Encinal Avenue, but the corner porches to each side of the main entry drive would be well located to articulate the corners of Buildings A and G at the ground level and mark the project's entry point on the street. Additionally, the projecting building forms above the corner porches and elsewhere on the sidewalls of Buildings A and G would effectively provide scale to the building form and articulation to the upper wall mass.

There would be one building break along Encinal Avenue, which would serve as the project entry point for both cars and pedestrians. At the visual termination of the main drive aisle would be the one-story community building. This building would be a re-creation of an existing building on site that had been previously used as a plant nursery and ice cream parlor. It would feature the cottage style architecture of

the original building along replica materials and detailing, including board and batten siding, cedar shingle roofing, turned wood posts, and wood scrollwork detailing at eaves and rakes. Although the existing building may be considered a memorable feature, it has been determined to not be a historical resource. As a result, there are no constraints to its demolition or replication.

The site layout and building orientation are designed such that parking and garages would not be visible from Encinal Avenue, nor prominently visible along the site's main access driveway and internal pedestrian walkways. Most parking would be tucked between buildings and accessed from secondary drive aisles. At Building F where units front the main drive aisle, tandem parking would be used within garages so that single wide garage doors face the drive aisle instead of double wide doors.

At the center of the site would be ten units in buildings B and C that face each other along a pedestrian path perpendicular to the main entry drive. The pedestrian path would lead to the unit entries as well as to the gardens along the east side of the site within the SFPUC easement. The west side of the pedestrian path would face a courtyard entry space to two units in Building F. Decorative paving would link the linear pedestrian path with the courtyard to strengthen the visual cross axis.

Overall, while constraints with the SFPUC easement make planning townhouse-style units somewhat difficult, the general design approach has been managed to highlight building and landscape features, and downplay parking and garages. The placement of two-story structures facing the rear lot line, in combination with high windowsill heights on the second level of those units would limit privacy impacts on property across the rear lot line.

#### *Buildings and Units*

With the exception of the three two-story units in building D adjacent the rear lot line and the community building (building H), the buildings and townhouse units would be three stories. Typical townhomes would have two-car garages, with entries and an extra bedroom on the first floor, living areas and a deck on the second floor, and three bedrooms on the third floor. Some units vary from this formula, such as at building F, where the units would have two bedrooms on the third floor, one bedroom and living areas on the second floor, and one bedroom on the first floor. Eight of the 24 units (units in buildings D, E, and F) would face the interior or rear lot lines, and would have small private yard areas. Yard areas, however, would only be on the same level as living areas for the three units in building D. The three-level units would range in size from approximately 1,900 to 2,100 square feet, excluding garages. The two-level units would be slightly smaller at approximately 1,700 square feet.

The three-story units would feature open plan layouts at the main living floor (second floor) with ten-foot ceilings. Upper floors would have eight-foot ceilings and first floors nine-foot ceilings. Some units would have large corner decks on the main living level, and units generally are designed with large three-panel windows at living areas, master bedrooms or both.

Noise control is a factor with the project's location next to the train tracks. Buildings A, B, C, and D would have noise attenuated windows on their north, south, and east walls. Noise attenuation would be provided with the use of double glazed windows plus an additional interior sash.

### *Architecture, Detailing, and Materials*

Building architecture throughout the site would be based on craftsman style architectural precedents for roof forms and pitches, rake and eave overhang detailing, window groupings, trim, muntin patterns, porch forms, garage doors, and similar visual attributes. Low pitch roof forms would be prominent in this style with occasional use of shed roofs. The proposed building massing would show off mostly gables rooflines with some variation in scale from primary to secondary forms, including common nesting gable combinations along with minor building projections using shed roof forms.

Given the deep roof overhangs, the exposed wood detailing at the open eaves and rakes would show off the building detailing and be significant as viewed from the street. Roofing would be asphalt/composition shingles, and except at porches, would not be prominently visible due to the building height and 3:12 roof pitch.

Building walls would be clad in stained cedar shingles and horizontal siding. Building corners would have mitered or lapping siding and shingles without vertical corner boards. The absence of vertical corner board trim would provide significantly enhanced detailing and material usage for the chosen building style.

To provide visual/color contrast and strong features on the façade, two-story window panels with spandrels in smooth painted fiber cement and box bay forms are proposed. The vertical panels with grouped windows would be a standard occurrence, while the box bay forms would occur more freely and asymmetrically on façades to lend some informality to the building forms. The box bay form on the unit at the drive aisle side of building F, which projects out from the upper floor and is visible upon entering the site, would be an especially effective visual device.

In regards to windows and doors, the windows would be aluminum-clad wood casement windows with a six-over-one lite pattern that creates an impression of double hung windows, as both double hung and casement windows are common with the craftsman style. Garage doors have two designs that have the appearance of carriage doors, with vertical board panels set back from stiles and rails or grid patterns. Entry doors have a similar panel design, and are generally consistent with the craftsman style.

Conceptual detailing and material features to note include painted, smooth wood surfacing for decorative corbels, window and eave trim, porch columns and garage doors, angled cuts at edges of window and door header trim and beam extensions, half-round gutters that do not obscure exposed rafter tails, wide exterior applied muntin bars at simulated divided lite windows, and adequately sized trims, corbels, and posts. Proposed craftsman style exterior lighting fixtures and stone clad post piers with tapered profiles would also add to the detailing refinement.

The color scheme would use two general color groups, brown and grey, for building body and roofing color. On the brown buildings, cedar lap siding and shingles would have semi-transparent stain, somewhat darker for the lap siding. The semi-transparent stain would allow the material's natural grain and sawn texture to be seen, while giving the siding some visual depth consistent with the use of natural wood. This natural use of cedar material would also contrast well with the painted white finish of trim, windows and panels.

The grey buildings would have similar stain and paint usage. In both the brown and grey schemes, the color variation between the siding and shingle would be sufficient to help differentiate the siding types without being harsh.

Accent color would be provided at entry doors and with natural stone at porches. Entry doors would be reddish-brown to provide identity to unit entries. Stone veneer would have warm beige with some orange coloration that should blend well with both the building and the landscape. Additionally, stone pavers with brown and grey colors are shown on the landscape plan and would relate well the stone veneer used at porch walls and piers. Overall, the color scheme would be balanced and with the use of semi-transparent stain at cedar at horizontal lap siding and shingles, the color variation should be restrained but noticeable, and should not produce a busy looking façade.

## Parking and Circulation

### *Vehicular*

As required by the Specific Plan, a minimum of 1.85 parking spaces per dwelling unit would be provided for each of the 24 residences. Each unit is designed with a two-car garage, where 22 units have side-by-side garages, and two units have garages in a tandem configuration. Additionally, seven uncovered parking spaces would be provided throughout the site. Tandem parking is not typically permitted for required parking spaces; however, the two tandem garages may be approved because the overall parking supply of 53 standard (non-tandem) parking spaces on the site would exceed the 45 spaces that are required to be provided. As a result, the second tandem space in these garages is considered surplus.

Per the Specific Plan, a minimum of three residential parking spaces are required to be provided with an electric vehicle charger. The plans currently designate all three charging stations to be installed in private garages, with one charging station each in buildings E, F, and G, which meets the Specific Plan requirement.

There is currently on-street parking on Encinal Avenue along the project frontage. Future build-out of the Specific Plan identifies a future Class II/Class III bicycle route on Encinal Avenue between El Camino Real and the railroad tracks. Future implementation of the bicycle lane would likely necessitate the removal of existing on-street parking along the project site's frontage, but it is not anticipated that this improvement would result in changes to the location of the existing curb. Given that the proposed development would provide off-street parking spaces in excess of the minimum requirement, there would be sufficient parking provided on the site such that the development would not be affected by the presence or absence of on-street parking.

### *Bicycle*

In addition to automobile parking, the Specific Plan requires bicycle parking for all new developments, for both short-term and long-term use. Since all residential units would have private garages, the long-term requirement is addressed by each unit's garage. The short-term requirement would need to be addressed through the installation of three bicycle parking spaces, which would be clarified as part of the building permit submittal (condition 6g).

### *Pedestrian*

In this area, the Specific Plan specifies that sidewalks should have a 15-foot total width, made up of a five-foot furnishings zone and a ten-foot clear walking zone. As shown on the site plan and landscape plan, a

minimum of ten feet of unobstructed sidewalk would be provided on the interior side of the furnishings zone along the majority of the frontage. To account for the fact that the adjacent properties have narrower, attached sidewalks (and may continue to for some time), the proposed furnishings zone would be paved as it approaches the sides, allowing pedestrians to transition from the new detached sidewalk to the older attached sidewalks. A walking zone narrower than 10-feet would be installed at the right side property line, which staff believes would be necessary in order to preserve an existing tree and provide a better transition to the existing pedestrian crossing at the railroad tracks. For the portion of the sidewalk that extends onto the subject property, a Public Access Easement (PAE) would need to be recorded (condition 5g).

The residential entries along Encinal Avenue would feature entries with direct access from the Encinal Avenue sidewalk. Pedestrian access to/from the rest of the site would be provided by pedestrian paths along the drive aisle. Where drive aisle widths limit the ability to install pedestrian walkways to access residential entries, decorative pavers would be used to identify key driveway crossing points. This paving could be driven on, but vehicle/pedestrian conflicts should be limited given the relatively low on-site traffic volumes and speeds.

With the addition of new housing at the site, the City anticipates an increase in pedestrian crossing demand at Garwood Way, to connect to nearby destinations including the Menlo Park Caltrain station. The proposed project includes a new marked crosswalk on Encinal Avenue at Garwood Way to improve pedestrian connections to transit facilities and downtown.

### Subdivision

As noted earlier, the applicant is proposing a major subdivision to allow the 24 dwelling units to be bought and sold independently. State law outlines factors that the Planning Commission may consider in reviewing the request for subdivisions. Specifically, there are five factors for the Planning Commission to consider.

The first consideration is whether the proposed subdivision is in conformance with the City's General Plan. The General Plan land use designation for the subject property is El Camino Real/Downtown Specific Plan, which is consistent with the SP-ECR/D zoning district. The proposed subdivision would not conflict with General Plan goals and policies, and would comply with the Zoning Ordinance, and Subdivision Ordinance.

The second factor to consider is whether the site of the subdivision is physically suitable for the proposed type or density of the development. The proposed subdivision would meet all applicable regulations of the Subdivision Ordinance as well as all development regulations pertaining to the El Camino Real North-East – Low Density (ECR NE-L) district within the Specific Plan. The existing lot contains two commercial buildings and the proposed subdivision would result in 24 townhouse residences.

The third and fourth factors are concerned with whether the design of the subdivision or proposed improvements is likely to cause substantial environmental damage or serious public health problems. The proposed subdivision is located within a fully developed neighborhood and all necessary utilities are readily available. In addition, the development of the properties would need to adhere to specific conditions of the Engineering Division, all applicable building codes and requirements of other agencies such as the Sanitary District, Menlo Park Fire Protection District, and other utility companies. Adherence to

the conditions and all applicable codes would eliminate substantial or serious environmental or public health impacts.

The final factor to consider is whether the proposed subdivision would conflict with any public access easements. No public access easements currently exist on the site, so there is no conflict. As part of the proposed sidewalk improvements, the proposed development would dedicate a public access easement for the portion of the new sidewalk that encroaches onto private property. Staff has determined that the dedication of the public access easement would improve sidewalk access and usability.

Staff has reviewed the tentative map and has found the map to be in compliance with State and City regulations subject to the conditions outlined in Attachment A. All standard and project specific conditions of approval would need to be complied with prior to recordation of the final map. The applicant would need to apply for the final map within two years of the approval date of the tentative map. In order to deny the proposed subdivision, the City Council would need to make specific findings that would identify conditions or requirements of the State law or the City's ordinance that have not been satisfied.

#### Trees and Landscaping

There are 31 heritage trees on and near the project property, including a grove of heritage redwood trees in the northwest corner, a grove of heritage oak trees in the northeast corner, six heritage trees on the adjacent property to the west (1600 El Camino Real), three heritage trees on the adjacent property to the north (192 Stone Pine Lane), and one heritage street tree along Encinal Avenue. The overall site layout is designed to preserve the two groves of trees at the northwest and northeast corners of the property, while trees elsewhere on the property are proposed for removal.

The applicant has submitted an arborist report (Attachment G) to evaluate 36 trees on and near the subject property, including 31 heritage trees and five non-heritage trees. The report determines the present condition, discusses the impacts of the proposed improvements, and provides recommendations for tree preservation. All recommendations identified in the arborist report would be ensured through condition 5f.

#### *Heritage Trees*

The applicant is proposing to remove five heritage trees, summarized in the following table:

*Intentionally Left Blank*



### Proposed Heritage Tree Removals

Heritage Tree Summary	Size (diameter in inches)	Condition	Location
<b>Tree #7:</b> Coast redwood ( <i>Sequoia sempervirens</i> )	15.8	Good	Front
<b>Tree #10:</b> Incense cedar ( <i>Calocedrus decurrens</i> )	18.3	Good	Front
<b>Tree #23:</b> Coast redwood ( <i>Sequoia sempervirens</i> )	37.0	Good	Front
<b>Tree #25:</b> Japanese maple ( <i>Acer palmatum</i> )	20.8	Fair	Front
<b>Tree #46:</b> Coast redwood ( <i>Sequoia sempervirens</i> )	16.8	Fair	Center

The City Arborist had reviewed the arborist report and conducted a site visit to independently evaluate the health and condition of each tree, and had recommended tentative approval for the removal of all five heritage trees. The proposed heritage tree removals were considered by the EQC at their meeting on June 24, 2015. The EQC was generally supportive of staff's recommendation for the heritage tree removals, with the exception of trees #23 and #25, which the EQC expressed a desire to be retained, although it was acknowledged that retention of tree #23 would be challenging due to its location. The EQC also recommended the retention of trees #2 (non-heritage Japanese maple) and #15 (non-heritage crape myrtle) that were proposed for removal due to construction impacts. Additionally, the EQC expressed concerns over potential damage to and removal of heritage trees during the construction process, and requested that Planning staff explore prohibiting the transfer of title should the Heritage Tree Ordinance be violated during construction. A copy of the EQC meeting minutes is included as Attachment H.

In response to the EQC's recommendation, the applicant was able to retain tree #15 by realigning the sidewalk to taper around this tree, but retention of the other trees proved to be infeasible.

Tree #23 is still proposed for removal because it is in direct conflict with the footprint of proposed building A. Tree #23 is located within the rear portion of building A, and its retention would require significantly redesigning the building with the potential loss of one or more units. Retention of tree #23 would be more feasible with the removal of tree #11 (heritage incense cedar) at the front of the building, thus allowing the building to be pushed forward closer to the street. While the applicant initially requested the removal of tree #11, the City Arborist recommended its retention due to its prominence along the street and its suitability for preservation, and the applicant has accommodated this request by redesigning the building with the middle units pushed back to enable its preservation. The proposed project could accommodate the retention of one, but not both trees, and the City Arborist's evaluation determined that of the two, tree #11 would be more suitable for preservation.

Tree #25 is still proposed for removal due to conflicts with the proposed construction. While not within the proposed building footprint, it is within close proximity to proposed building A, and significant construction activity would occur within the dripline of this tree such that its health would be



compromised. Furthermore, the City Arborist has indicated that tree #25 is not a suitable candidate for preservation.

Non-heritage tree #2, located along the front of the property, is still proposed for removal because it is in direct conflict with the location of the proposed sidewalk. The Specific Plan requires a 15-foot wide sidewalk consisting of a ten-foot wide clear walking zone and five-foot wide furnishings zone along the street frontage. The applicant had explored retention of tree #2, but found that doing so would result in a substandard sidewalk width of five feet, four inches as the sidewalk tapers around tree #2, and due to the encroachment of the existing utility pole and guy wire obstructions, the full width could not be used for walking. Therefore, retention of this tree would significantly compromise the usability of the sidewalk. Furthermore, the City Arborist has indicated that tree #2 is not a suitable candidate for preservation. An additional consideration is that redevelopment of the adjacent property to the left would necessitate building out the full 15-foot wide sidewalk along Encinal Avenue to connect to the proposed sidewalk. Staff believes removal of tree #2 would improve the usability of the sidewalk and would facilitate future sidewalk connections to the adjacent property to the left.

The project has been revised to realign the sidewalk to taper around tree #15, thus enabling the retention of this tree. Tapering this section of the sidewalk would also enable a better transition to/from the existing pedestrian crossing over the railroad tracks. The pedestrian rail crossing improvements, including new curb and sidewalk, railing, and pedestrian gate, appear to have been constructed recently, and the width of this crossing is not anticipated to change significantly in the foreseeable future. While tapering the sidewalk around the tree would result in a substandard sidewalk width, staff believes it is appropriate in order to provide a better transition to the pedestrian crossing and to allow the retention of tree #15.

According to the City Attorney, the City's Heritage Tree ordinance specifies the enforcement mechanism for the illegal removal of a heritage tree during development. Restricting title transfer and effectively prohibiting the sale of the proposed for-sale residential units is not consistent with the provisions of the City's Heritage Tree ordinance and might expose the City to a claim of a regulatory taking by the City for depriving the owner of utility or value for the property until the unit can be sold and therefore exposing the City to a claim for damages for such taking. In past experience, requiring a bond to be posted to ensure the health of heritage trees over a period of time (consistent with the City's Heritage Tree ordinance) has proven to be an effective mechanism to ensure compliance with the Heritage Tree Ordinance. For this project, staff is proposing a requirement for the applicant to post a bond on all heritage trees that would potentially be affected by construction as part of the recommended conditions of approval (condition 6b). The bond would be posted for a period of five years to ensure the viability of the heritage trees for a sufficient length of time to gauge any impacts during the construction process.

The preliminary landscape plan shows 24 heritage tree replacements to compensate for the loss of five heritage trees, which represents a ratio of 4.8 replacement trees for each heritage tree proposed for removal. The preliminary landscape plan also indicates that approximately 58 new trees would be planted throughout the site, including five street trees along Encinal Avenue. The proposed play equipment in the redwood grove would have low impact to the trees, and would provide a recreational amenity. The proposed street trees would consist of 15-gallon sweet bay trees, although the final size and species would require the City Arborist's approval.

### *Open Space*

The project would meet the El Camino Real North-East – Low Density (ECR NE-L) minimum open space requirement of 20 percent of the lot, with 41.9 percent proposed. The majority of the open space would be met at ground level through at-grade porches, patios, the front sidewalk, private yards, landscaped SFPUC easement, and the preservation of two groves of trees in the rear corners. Upper level decks would provide additional usable private open space.

### Trash and Recycling

Each residential unit would store individual refuse bins in the private garages. The bins would be wheeled out to the private driveway on service day for collection. The plans have been reviewed and tentatively approved by the City's refuse collector, Recology.

### Below Market Rate Housing Agreement

The proposed project is required to comply with Chapter 16.96 of City's Municipal Code, ("BMR Ordinance"), and with the BMR Housing Program Guidelines adopted by the City Council to implement the BMR Ordinance ("BMR Guidelines"). Residential use is allowed by the applicable zoning regulations on the subject property. In accordance with the BMR Ordinance, a residential development of 20 or more units is required to provide not less than 15 percent of the units at below market rates to very low-, low-, and moderate-income households. If the number of units required for a residential development includes a fraction of a unit, the developer shall provide either a whole unit or a prorated in lieu payment to account for the fraction of a unit. The BMR obligation for the proposed 24-unit project is 3.6 BMR units. The applicant's original BMR proposal included three moderate-income BMR units on site and payment of an in lieu fee for the remaining 0.6 fraction of a unit.

At the May 6, 2015 Housing Commission meeting, the Housing Commission expressed a strong preference for one low-income and two moderate-income units with no in lieu fee, but were willing to consider the applicant's initial proposal of three moderate-income units with an in lieu fee should provision of their preferred option prove infeasible. The provision of one low-income unit is preferred because there is a greater need for units at this income level. The Housing Commission's meeting minutes is included as Attachment I.

In response to the Housing Commission's recommendation, the applicant has revised the BMR proposal to align with the Housing Commission's desire for one low-income and two moderate-income units with no in lieu fee. The applicant's BMR proposal and the draft BMR Agreement are included as Attachments E and J, respectively.

The three proposed BMR units would be distributed throughout the subject site. Unit A would be located in Building A fronting along Encinal Avenue, and would be an end unit that is adjacent to the site's open space amenity and nearest the railroad tracks. Unit B would be located in Building C on the interior of the site, and like Unit A, it would also be an end unit that is adjacent to the site's open space amenity and nearest the railroad tracks. Unit C would be located in Building F in the western portion of the site adjacent to an existing office development, and would be an interior unit within the building. The locations, floor plans, and elevations for each unit are provided in Attachment A. The bedroom and bathroom counts, approximate unit sizes, and garage configurations are summarized in the table below:

**Proposed BMR Units Summary**

<b>Unit</b>	<b>Bedrooms</b>	<b>Bathrooms</b>	<b>Approximate Square Footage</b>	<b>Garage Type</b>	<b>Location</b>
A	4	3.5	1,889 sq.ft.	2 side-by-side spaces	Building A
B	4	3.5	1,889 sq.ft.	2 side-by-side spaces	Building C
C	4	4	2,131 sq.ft.	2 tandem spaces	Building F

Other characteristics of the BMR units, including Design and Materials as well as Legal Characteristics shall be as set forth in the BMR Guidelines. According to the applicant, the exteriors of the BMR units would be indistinguishable from those of the market-rate units, and the interiors of the BMR units would be similar to those of the market-rate units, with the exception of upgrades purchased by individual buyers.

**Correspondence**

The applicant's initial proposal included development of 26 residential units, including three three-story buildings along the rear where each building contained two units. The applicant and the neighbors to the rear along Stone Pine Lane have met several times to discuss the concerns raised by these neighbors. At the request of the neighbors, the applicant has erected story poles to illustrate the proposed heights for building D.

Staff has received nine pieces of correspondence on the initial development proposal and/or subsequent revisions (Attachment M), and all comments are summarized below:

- John Onken, resident at 192 Stone Pine Lane, stated concerns regarding the desire for a larger rear setback, privacy, the desire for a mixed-use development, and the preservation of an existing heritage oak tree.
- Bianka Skubnik and Scott Phillips, residents at 188 Stone Pine Lane, expressed concerns regarding privacy, building shadows, the overall design and quality of proposed materials, larger unit sizes, preservation of an existing heritage oak tree, and potential impacts to traffic and schools.
- Peri Caylor, a resident at 164 Stone Pine Lane, stated concerns on the overall height and scale of the development, the desire for a mixed-use development that incorporates retail uses, and potential traffic and safety issues as it relates to street parking along Encinal Avenue.
- In Lee, a resident at 180 Stone Pine Lane, expressed concerns over privacy, building shadows, impacts to the school district, and potential increase in traffic, and the desire to see a mix of retail and residential uses to help alleviate traffic along El Camino Real.
- Ursula Feusi, resident at 184 Stone Pine Lane, stated concerns regarding privacy, height, rear setback, building shadows, retention of an existing heritage oak tree, and the desire for a mixed use development with retail and/or offices and residential.
- Collective letter signed by 58 neighbors on Stone Pine Lane, Forest Lane, and Buckthorn Way. They express a desire for a mixed-use project with small retail or office, and stated concerns regarding the proposed height, rear setback, privacy, building shadow, the overall design being incompatible with the surrounding neighborhood, and proposed impacts to heritage trees, including the existing heritage oak tree.
- Michael Brady, a resident at 191 Forest Lane, expressed concerns over impacts to heritage trees.

- Fritz Yambrach, a resident at 151 Stone Pine Lane, expressed concerns over impacts to heritage trees.
- Scott Phillips, resident at 188 Stone Pine Lane, stated the desire to ensure the health of the existing heritage oak tree.

The table below summarizes the concerns raised by the neighbors, and the revisions to the proposed project that the applicant has incorporated, with the intent of addressing these concerns:

Neighbors' Concerns	Revisions to the Project
1) Overall building height, massing, and shadow impacts as it relates to adjacent properties to the rear.	<ul style="list-style-type: none"> <li>• Height of buildings along the rear have been reduced from three stories at a height of 35 feet, 10 inches, to one- and two-story buildings at a height of up to 27 feet, 5 inches;</li> <li>• Design changes have been incorporated throughout the project to improve massing, articulation, and design details consistent with the craftsman style; and,</li> <li>• Overall improvement to the quality and aesthetics of building materials, including aluminum clad windows instead of vinyl windows, and wood lap siding instead of fiber cement lap siding.</li> </ul>
2) Privacy concerns due to the location of living spaces and proximity of units to adjacent properties to the rear.	<ul style="list-style-type: none"> <li>• The unit count along the rear property line has been reduced from six to three units, reducing the overall number units that are potentially impacted;</li> <li>• Residential building height at the rear has been reduced from three to two stories. The one-story community building has also been relocated from the front to the rear;</li> <li>• All living areas in proposed rear-facing units were shifted from the second story to the first story. Second story areas now consist of bedrooms with no living spaces;</li> <li>• Overall reduction in the number of upper story windows as compared with the original proposal;</li> <li>• All second story windows on the rear elevation of building D would be designed with high sill height windows (minimum of 5-foot sill heights); and,</li> <li>• Additional trees and shrubs are proposed to be planted along the rear property line to provide landscape screening.</li> </ul>
3) Potential impacts to heritage trees due to construction activity, in particular, the existing heritage oak tree (tree #52).	<ul style="list-style-type: none"> <li>• Reduced the total number of tree removals on the site to allow retention of one heritage tree (tree #11) and one non-heritage tree (tree #15);</li> <li>• Slight (approximately 1 feet, 3 inches) increase in the building setback from tree #52;</li> <li>• Reduction in the amount of paving proposed within the dripline of tree #52;</li> <li>• Trimming of tree #52 would still be required to</li> </ul>

	<p>accommodate construction of building D, although this may be lessened with the reduction in the overall height of this building; and,</p> <ul style="list-style-type: none"> <li>• The arborist report has been revised to include more detailed tree protection measures.</li> </ul>
4) Desire for a mixed-use development on the site, particularly for light retail and/or small office.	<ul style="list-style-type: none"> <li>• A mixed-used development for the subject property is not required under the Specific Plan; therefore, no revisions have been made to incorporate a commercial component to the proposed project; and,</li> <li>• The overall residential density has been reduced from 26 to 24 units.</li> </ul>
5) Potential traffic and school impacts with proposed residential use.	<ul style="list-style-type: none"> <li>• Traffic and school impacts have been evaluated under the Specific Plan EIR, and the proposed development would be in conformance with the EIR; and,</li> <li>• According to trip generation rates published by the Institute of Transportation Engineers, the proposed residential development would result in fewer trips (daily trips as well as peak hour trips) as compared with the pre-existing commercial nursery use.</li> </ul>

While the applicant has generally been responsive in addressing many of the concerns that have been raised, some neighbors have expressed outstanding concerns regarding the rear setback of building D due to its proximity to adjacent residences along Stone Pine Lane, but according to the applicant, the rear setback could not be increased further due to compliance with emergency vehicle access requirements to the rear of the site. It is worth noting that the 20-foot setback was established to provide an appropriate transition to lower-density residential districts abutting the Specific Plan area, and that other districts within the Specific Plan have a smaller rear setback requirement. Staff would also note that the proposal's residential use, heights, and density are generally similar to that of the Stone Pine Lane townhouse development.

### Conclusion

The proposed project would occupy an existing underutilized site and provide housing near downtown, including providing three BMR housing units. The proposal would adhere to the extensive standards and guidelines established by the Specific Plan, as verified in detail in the Standards and Guidelines Compliance Worksheet. The applicant has redesigned the project to accommodate the requests of the Stone Pine Lane area neighbors by reducing density and shifting the height and mass of buildings away from the neighbors, incorporating design measures to reduce privacy impacts, and improving the quality of the building materials and finishes. Heritage tree removals are justified by conflicts with building s and low suitability for preservation, and remaining heritage trees would be protected and ensured through the recommended bond condition. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay planning, building and public works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project. In addition, the recommended conditions of approval include payment of the Transportation Impact Fee (TIF) (condition

6h), the El Camino Real/Downtown Specific Plan Preparation Fee (condition 6i), and Recreation In Lieu Fee (condition 6e). These required fees were established to account for projects' proportionate obligations.

## **Environmental Review**

The Specific Plan process included detailed review of projected environmental impacts through a program Environmental Impact Report (EIR), as required by the California Environmental Quality Act (CEQA). In compliance with CEQA requirements, the Draft EIR was released in April 2011, with a public comment period that closed in June 2011. The Final EIR, incorporating responses to Draft EIR comments, as well as text changes to parts of the Draft EIR itself, was released in April 2012, and certified along with the final Plan approvals in June 2012.

The Specific Plan EIR identifies no impacts or less-than-significant impacts in the following categories: Aesthetic Resources; Geology and Soils; Hydrology and Water Quality; Land Use Planning and Policies; Population and Housing; and Public Services and Utilities. The EIR identifies potentially significant environmental effects that, with mitigation, would be less than significant in the following categories: Biological Resources; Cultural Resources; Hazards and Hazardous Materials. The EIR identifies potentially significant environmental effects that will remain significant and unavoidable in the following categories: Air Quality; Greenhouse Gases and Climate Change; Noise; and Transportation, Circulation and Parking. The Final EIR actions included adoption of a Statement of Overriding Considerations, which is a specific finding that the project includes substantial benefits that outweighs its significant, adverse environmental impact.

As specified in the Specific Plan EIR and the CEQA Guidelines, program EIRs provide the initial framework for review of discrete projects. In particular, projects of the scale of the proposed development are required to be analyzed with regard to whether they would have impacts not examined in the Program EIR. This conformance checklist, which analyzes the project in relation to each environmental category in appropriate detail, is included as Attachment K. As detailed in the conformance checklist, the proposed project would not result in greater impacts than were identified for the Program EIR. Relevant mitigation measures have been applied and would be adopted as part of the Mitigation Monitoring and Reporting Program (MMRP), which is included as Attachment L. Full compliance with the MMRP would be ensured through condition 6a. No new impacts have been identified and no new mitigation measures are required for the proposed project. Mitigations include construction-related best practices regarding air quality and noise, payment of transportation-impact-related fees (condition 6h), and implementation of a Transportation Demand Management (TDM) program.

The MMRP includes two fully completed mitigation measures relating to cultural resources, which are required to be addressed at the application submittal stage. First, for Mitigation Measure CUL-1: due to the age of the structures being greater than 50 years, a historic resource evaluation was conducted by a qualified architectural historian and concluded that the existing garden nursery structures do not qualify as a historic resource. As a result, the redevelopment project can proceed without impacts to historic resources. Second, for Mitigation Measure CUL-2a: a cultural resources study performed by a qualified archaeologist/cultural resources professional determined that the proposed project will have no impact on cultural resources.

The proposed development would place future residents, who are considered sensitive receptors, within close proximity to the Caltrain railroad tracks. Additional technical analyses have been prepared as part of



an initial evaluation of Mitigation Measures AIR-7, NOI-3 and NOI-4, which evaluate exposure to toxic air contaminants (TACs), interior noise levels, and groundborne vibration to sensitive receptors, respectively. For Mitigation Measure AIR-7, recommendations from the health risk assessment included measures to control dust and exhaust during construction, and for the installation of air filtration units with a Minimum Efficiency Reporting Value (MERV) rating of 14 or higher for the residential units. Potential impacts from exposure to TACs would be reduced to a less than significant level with implementation of these recommendations. As part of Mitigation Measures NOI-3 and NOI-4, acoustical and vibration analyses were prepared by a qualified acoustical engineer, which included recommendations for window, door, and wall assemblies for noise attenuation, as well as recommended foundation system to reduce vibration transferred into the building. With the implementation of the recommended measures, potential impacts associated with noise and vibration exposure would be reduced to a less than significant level.

All of the studies are available for review upon request.

#### Specific Plan Maximum Allowable Development

Per Section G.3, the Specific Plan establishes the maximum allowable net new development as follows:

Residential uses: 680 units; and

Non-residential uses, including retail, office and hotel: 474,000 square feet.

These totals are intended to reflect likely development throughout the Specific Plan area. As noted in the Plan, development in excess of these thresholds will require amending the Specific Plan and conducting additional environmental review.

If the project is approved and implemented, the Specific Plan Maximum Allowable Development would be revised to account for the net changes as follows:

	<b>Dwelling Units</b>	<b>Commercial Square Footage</b>
<b>Existing</b>	0	6,166
<b>Proposed</b>	24	0
<b>Net Change</b>	<u>24</u>	<u>-6,166</u>
<b><u>% of Maximum Allowable Development</u></b>	<u>3.5%</u>	<u>-1.3%</u>

#### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-ft radius of the subject property.

#### **Appeal Period**

The Planning Commission will review the requested discretionary actions and make a recommendation to the City Council, which will be the decision-making body for the requested set of actions.



## **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter and Inclusionary Housing Plan
- F. Specific Plan Standards and Guidelines Compliance Worksheet
- G. Arborist Report by McClenahan Consulting, LLC, dated July 6, 2015
- H. Minutes from June 24, 2015 Environmental Quality Commission Meeting (without attachments)
- I. Minutes from May 6, 2015 Housing Commission Meeting
- J. Below Market Rate Housing Agreement
- K. Specific Plan Program EIR Conformance Checklist
- L. Mitigation Monitoring and Reporting Program (MMRP)
- M. Correspondence
  - Emails from John Onken, dated September 7, 2014 through April 29, 2015
  - Email from Bianka Skubnik and Scott Phillips, dated September 16, 2014
  - Email from Peri Caylor, dated September 27, 2014
  - Email from In Lee, dated September 28, 2014
  - Letter from Ursula Feusi, dated received September 29, 2014
  - Letter from neighbors on Stone Pine Lane, Forest Lane, and Buckthorn Way, dated received on September 29, 2014
  - Letter from Michael Brady, dated June 29, 2015
  - Letter from Fritz Yambrach, dated received July 14, 2015
  - Email from Scott Phillips dated July 16, 2015

## **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

## **Exhibits to Be Provided at Meeting**

Color and Materials Boards

Report prepared by:

Jean Lin, Associate Planner

Report reviewed by:

Thomas Rogers, Interim Principal Planner

133 Encinal Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 133 Encinal Avenue	<b>PROJECT NUMBER:</b> PLN2014-00054	<b>APPLICANT:</b> Hunter Properties	<b>OWNER:</b> SFP Las Positas LLC
<p><b>REQUEST:</b> Request for architectural control and major subdivision to allow the demolition of existing garden nursery buildings, and construction of 24 attached townhouse-style residential units and associated site improvements in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. A tentative map would be required to create 24 residential condominium units. Five heritage trees are proposed for removal as part of the proposed development. In addition, the applicant is requesting approval of a Below Market Rate (BMR) Agreement for the provision of three on-site BMR units for this project.</p>			
<b>DECISION ENTITY:</b> City Council		<b>DATE:</b> December 15, 2015	<b>ACTION:</b> TBD
<b>VOTE:</b> TBD (Carlton, Cline, Keith, Mueller, Ohtaki)			
<p><b>ACTION:</b></p> <ol style="list-style-type: none"> <li>1. Make findings with regard to the California Environmental Quality Act (CEQA) that the proposal is within the scope of the project covered by the El Camino Real/Downtown Specific Plan Program EIR, which was certified on June 5, 2012. Specifically, make findings that: <ol style="list-style-type: none"> <li>a. A checklist has been prepared detailing that no new effects could occur and no new mitigation measures would be required (Attachment K).</li> <li>b. Relevant mitigation measures have been incorporated into the project through the Mitigation Monitoring and Reporting Program (Attachment L), which is approved as part of this finding.</li> <li>c. Upon completion of project improvements, the Specific Plan Maximum Allowable Development will be adjusted by 24 residential units and negative 6,166 square feet of non-residential uses, accounting for the project's net share of the Plan's overall projected development and associated impacts.</li> </ol> </li> <li>2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval: <ol style="list-style-type: none"> <li>a. The general appearance of the structure is in keeping with the character of the neighborhood.</li> <li>b. The development will not be detrimental to the harmonious and orderly growth of the City.</li> <li>c. The development will not impair the desirability of investment or occupation in the neighborhood.</li> <li>d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking.</li> <li>e. The development is consistent with the El Camino Real/Downtown Specific Plan, as verified in detail in the Standards and Guidelines Compliance Worksheet (Attachment F).</li> </ol> </li> <li>3. Make findings that the proposed major subdivision is technically correct and in compliance with all applicable State regulations, City General Plan, Zoning and Subdivision Ordinances, and the State Subdivision Map Act.</li> <li>4. Approve the Below Market Rate Housing Agreement to provide three on-site BMR units in accordance with the City's Below Market Rate Housing Program (Attachment D).</li> <li>5. Approve the architectural control and major subdivision subject to the following <b>standard</b> conditions:</li> </ol>			

133 Encinal Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 133 Encinal Avenue	<b>PROJECT NUMBER:</b> PLN2014-00054	<b>APPLICANT:</b> Hunter Properties	<b>OWNER:</b> SFP Las Positas LLC
<p><b>REQUEST:</b> Request for architectural control and major subdivision to allow the demolition of existing garden nursery buildings, and construction of 24 attached townhouse-style residential units and associated site improvements in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. A tentative map would be required to create 24 residential condominium units. Five heritage trees are proposed for removal as part of the proposed development. In addition, the applicant is requesting approval of a Below Market Rate (BMR) Agreement for the provision of three on-site BMR units for this project.</p>			
<b>DECISION ENTITY:</b> City Council		<b>DATE:</b> December 15, 2015	<b>ACTION:</b> TBD
<b>VOTE:</b> TBD (Carlton, Cline, Keith, Mueller, Ohtaki)			
<p><b>ACTION:</b></p> <ul style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by KTG Y Group consisting of 125 plan sheets, dated received October 14, 2015, and approved by the City Council on December 15, 2015, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li> <li>b. Minor modifications to building exteriors and locations, fence styles and locations, signage, and significant landscape features may be approved by the Community Development Director or designee, based on the determination that the proposed modification is consistent with other building and design elements of the approved Architectural Control and will not have an adverse impact on the character and aesthetics of the site. The Director may refer any request for revisions to the plans to the Planning Commission for architectural control approval. A public meeting could be called regarding such changes if deemed necessary by the Planning Commission.</li> <li>c. Major modifications to building exteriors and locations, fence styles and locations, signage, and significant landscape features may be allowed subject to obtaining an architectural control permit from the Planning Commission, based on the determination that the proposed modification is compatible with the other building and design elements of the approved Architectural Control and will not have an adverse impact on the character and aesthetics of the site. A public meeting could be called regarding such changes if deemed necessary by the Planning Commission.</li> <li>d. Major revisions to the development plan which involve material changes, or expansion or intensification of development require public meetings by the Planning Commission and City Council.</li> <li>e. The Tentative Subdivision Map shall expire two years from the date of approval if the applicant does not submit a complete building permit application within that time, or apply for an extension with the Planning Commission and City Council. Within two years from the date of approval of the tentative map, the applicant shall submit a Final Map for City Council approval.</li> <li>f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. Prior to demolition permit issuance, the applicant shall retain an on-site arborist who shall be designated with the responsibility and authority to insure that the instructions for tree protection are properly executed throughout the construction of the project.</li> <li>g. Prior to recordation of the Final Map, the applicant shall install new improvements as shown on the project plans per City standards along the entire property frontage subject to the</li> </ul>			

133 Encinal Avenue – Attachment A: Recommended Actions

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<b>DECISION ENTITY:</b> City Council		<b>DATE:</b> December 15, 2015	<b>ACTION:</b> TBD
<b>VOTE:</b> TBD (Carlton, Cline, Keith, Mueller, Ohtaki)			
<b>ACTION:</b> <p>review and approval of the Engineering Division. The applicant shall obtain an encroachment permit, from the appropriate reviewing jurisdiction, prior to commencing any work within the right-of-way or public easements. If determined appropriate and subject to the approval of the Engineering Division, the applicant shall enter into a Subdivision Improvement Agreement and provide a performance bond for the completion of the work subsequent to the recordation of the Final Map. The Final Map shall include the Public Access Easement (PAE) along the property frontage to accommodate the full ten-foot clear walking zone.</p> <ul style="list-style-type: none"> <li>h. Frontage improvements and dedication of easements shall be to the satisfaction of the Engineering Division.</li> <li>i. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>j. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>k. Simultaneous with the submittal of a complete building permit application and application for the Final Map, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to issuance of a grading, demolition or building permit. Prior to Final Map approval, the applicant shall submit engineered Improvement Plans (including specifications &amp; engineers cost estimates), for review and approval of the Engineering Division, showing the infrastructure necessary to serve the Project. The Improvement Plans shall include, but are not limited to, all engineering calculations necessary to substantiate the design, proposed roadways, drainage improvements, utilities, traffic control devices, retaining walls, sanitary sewers, and storm drains, pump/lift stations, street lightings, common area landscaping and other project improvements.</li> <li>l. Prior to issuance of a demolition, grading, and/or building permit, the applicant shall provide documentation of the recordation of the Final Map at the County Recorder's Office for review and approval of the Engineering Division and the Planning Division. Application for a grading permit may be made prior to recordation.</li> <li>m. Concurrent with the submittal for a demolition permit, the applicant shall submit a plan for: 1) construction safety fences around the periphery of the construction area, 2) dust control, 3) air pollution control, 4) erosion and sedimentation control, 5) tree protection fencing, and 6) construction vehicle parking. The plans shall be subject to review and approval by the</li> </ul>			

# 133 Encinal Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 133 Encinal Avenue	<b>PROJECT NUMBER:</b> PLN2014-00054	<b>APPLICANT:</b> Hunter Properties	<b>OWNER:</b> SFP Las Positas LLC
<b>REQUEST:</b> Request for architectural control and major subdivision to allow the demolition of existing garden nursery buildings, and construction of 24 attached townhouse-style residential units and associated site improvements in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. A tentative map would be required to create 24 residential condominium units. Five heritage trees are proposed for removal as part of the proposed development. In addition, the applicant is requesting approval of a Below Market Rate (BMR) Agreement for the provision of three on-site BMR units for this project.			
<b>DECISION ENTITY:</b> City Council	<b>DATE:</b> December 15, 2015	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Carlton, Cline, Keith, Mueller, Ohtaki)			
<b>ACTION:</b> <p>Building, Engineering, and Planning Divisions prior to issuance of a demolition permit. The fences and erosion and sedimentation control measures shall be installed according to the approved plan prior to commencing demolition.</p> <p>n. Simultaneous with the application for a grading permit, the applicant shall submit a draft "Stormwater Treatment Measures Operations and Maintenance (O&amp;M) Agreement" with the City subject to review and approval by the Engineering Division. With the executed agreement, the property owner is responsible for the operation and maintenance of stormwater treatment measures for the project. The agreement shall run with the land and shall be recorded by the applicant with the San Mateo County Recorder's Office. The applicant shall enter into and record a Stormwater Treatment Measures Operations and Maintenance Agreement prior to finalizing the building permit for the first residential unit.</p> <p>o. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for the review and approval of the Engineering Division.</p> <p>p. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a plan for any new utility installations or upgrades for review and approval of the Planning, Engineering, and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</p> <p>q. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a utility plan that shows all existing communications lines along the site's frontage to be undergrounded, subject to the approval of the Engineering Division.</p> <p>r. Simultaneous with the submittal of a complete building permit application, the applicant shall provide documentation indicating the amount of irrigated landscaping. If the project proposes more than 2,500 square feet of irrigated landscaping, it is subject to the City' Water Efficient Landscaping Ordinance (Municipal Code Chapter 12.44). Submittal of a detailed landscape plan would be required concurrently with the submittal of a complete building permit application. In accordance with City Council Resolution 6261 in response to the 2014 Water Shortage Contingency Plan (WSCP), as required by the State of California to address the present drought, potable irrigation water may only be delivered by drip or micro-spray irrigation devices. The landscaping shall be installed prior to final building inspection.</p> <p>s. Simultaneous with the submittal of a complete building permit application, the applicant shall</p>			

133 Encinal Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 133 Encinal Avenue	<b>PROJECT NUMBER:</b> PLN2014-00054	<b>APPLICANT:</b> Hunter Properties	<b>OWNER:</b> SFP Las Positas LLC
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<b>DECISION ENTITY:</b> City Council		<b>DATE:</b> December 15, 2015	<b>ACTION:</b> TBD
<b>VOTE:</b> TBD (Carlton, Cline, Keith, Mueller, Ohtaki)			
<p><b>ACTION:</b></p> <p>submit a lighting plan, providing the location, architectural details and specifications for all exterior lighting subject to review and approval by the Planning Division.</p> <ul style="list-style-type: none"> <li>t. Simultaneous with the submittal of a complete building permit application, a design-level geotechnical investigation report shall be submitted to the Building Division for review and confirmation that the proposed development fully complies with the California Building Code. The report shall determine the project site's surface geotechnical conditions and address potential seismic hazards. The report shall identify building techniques appropriate to minimize seismic damage.</li> <li>u. Prior to issuance of each building permit, the applicant shall pay the applicable Building Construction Street Impact Fee in effect at the time of payment. The current fee is calculated by multiplying the valuation of the construction by 0.0058.</li> <li>v. A complete building permit application will be required for any remediation work that requires a building permit. No remediation work that requires approval of a building permit shall be initiated until the applicant has received building permit approvals for that work. All building permit applications are subject to the review and approval of the Building Division.</li> <li>w. For construction activity resulting in a land disturbance of one acre or more, the applicant shall file a Notice of Intent (NOI) with the State Water Resources Control Board under the Construction Activities Storm Water General Permit (General Permit). The NOI indicates the applicant's intent to comply with the San Mateo Countywide Stormwater Pollution Prevention Program, including a Stormwater Pollution Prevention Plan (SWPPP). The applicant shall prepare a Notice of Intent and submit a copy to the Engineering Division for the proposed grading operation.</li> <li>x. Simultaneous with the submittal of a complete building permit application, the applicant shall submit the City's "NPDES Permit Compliance Checklist", and provide for permanent stormwater control measures selected from the City's "Local Source Control Measures List", as appropriate, for review and approval of the Engineering Division. For potential solutions, the Applicant may refer to "Start at Source", a Manual developed by the Bay Area Stormwater Management Agencies Association by (BASMMA).</li> <li>y. If construction is not complete by the start of the wet season (October 1 through April 30), the applicant shall implement a winterization program to minimize the potential for erosion and sedimentation. As appropriate to the site and status of construction, winterization requirements shall include inspecting/maintaining/cleaning all soil erosion and sedimentation controls prior to, during, and immediately after each storm event; stabilizing disturbed soils through temporary or permanent seeding, mulching, matting, tarping or</li> </ul>			

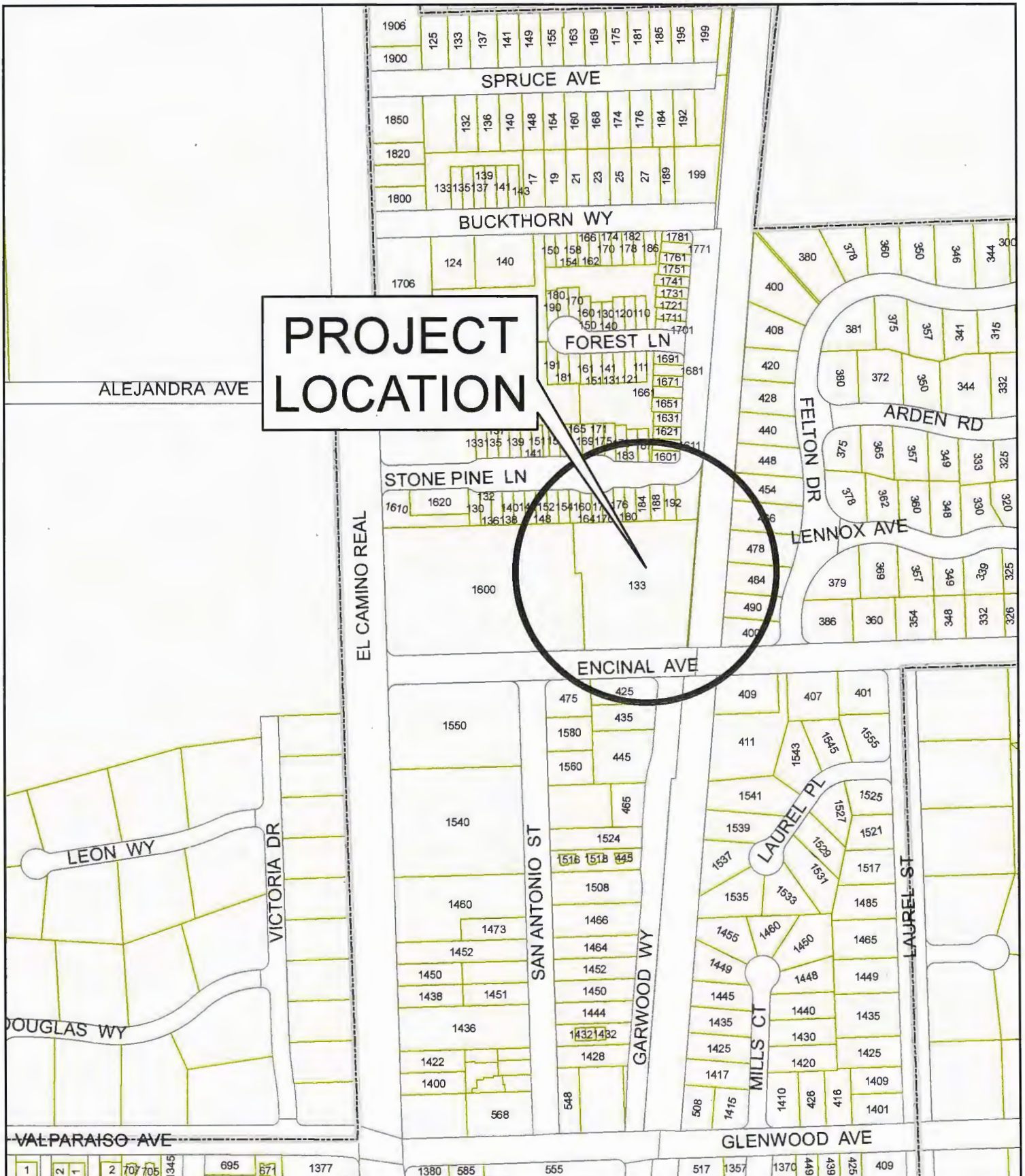
133 Encinal Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 133 Encinal Avenue	<b>PROJECT NUMBER:</b> PLN2014-00054	<b>APPLICANT:</b> Hunter Properties	<b>OWNER:</b> SFP Las Positas LLC
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<b>DECISION ENTITY:</b> City Council		<b>DATE:</b> December 15, 2015	<b>ACTION:</b> TBD
<b>VOTE:</b> TBD (Carlton, Cline, Keith, Mueller, Ohtaki)			
<b>ACTION:</b>  other physical means; rocking unpaved vehicle access to limit dispersion of much onto public right-of-way; and covering/tarping stored construction materials, fuels, and other chemicals. Plans to include proposed measures to prevent erosion and polluted runoff from all site conditions shall be submitted for review and approval of the Engineering Division prior to beginning construction.  z. The applicant shall retain a civil engineer to prepare "as-built" or "record" drawings, and the drawings shall be submitted in AutoCad format to the Engineering Division.  6. Approve the architectural control and major subdivision subject to the following <b>project-specific</b> conditions:  a. The applicant shall address all Mitigation Monitoring and Reporting Program (MMRP) requirements as specified in the MMRP (Attachment L). Failure to meet these requirements may result in delays to the building permit issuance, stop work orders during construction, and/or fines.  b. Prior to demolition permit issuance, the applicant shall furnish a certificate of deposit with the City Finance Division equal to the value of the heritage trees in the vicinity of the construction project for five years to ensure the preservation, maintenance and health of the trees. The five-year time period will commence upon issuance of the demolition permit. The bond may be released after five years upon verification that the heritage trees have been successfully preserved and protected under the Heritage Tree Ordinance, subject to inspection of the City Arborist. Should any heritage trees to be preserved suffer injury or removal as a result of construction activities, the applicant shall be required to replace the damaged Heritage Tree(s) with one or more containerized trees having a material value of not less than the appraised value of the Heritage Trees. Appraisal shall be determined prior to demolition permit issuance using the Trunk Formula Method from the Council of Tree & Landscape Appraisers, Guide for Plant Appraisal, 9th edition, and subject to review and approval of the City Arborist.  c. Simultaneous with the application for a Final Map, the applicant shall submit covenants, conditions and restrictions (CC&Rs) for the approval of the City Engineer and the City Attorney. The CC&Rs shall be recorded as deed restrictions with the Final Map. The CC&Rs shall include the following provisions: i. The community building (building H) is to be used by residents and their guests only, and shall remain under common ownership by the Homeowner's Association (HOA); ii. All heritage trees shall be maintained pursuant to the Heritage Tree Ordinance; iii. Provision for funding and maintenance of all common facilities, such as streets and utilities, not accepted for maintenance by a public agency. The CC&Rs shall stipulate			



133 Encinal Avenue – Attachment A: Recommended Actions

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<b>VOTE:</b> TBD (Carlton, Cline, Keith, Mueller, Ohtaki)			
<b>ACTION:</b>  that the HOA is responsible for maintaining landscaping consistent with the Landscape Maintenance Agreement; and, iv. The CC&Rs shall describe how the Stormwater Best Management Practices (BMPs) associated with privately owned improvements and landscaping shall be funded and maintained by the HOA.  d. Simultaneous with the application for a Final Map, the applicant shall execute the Below Market Rate (BMR) Housing Agreement and submit it to the Planning Division. Prior to recordation of the Final Map, the applicant shall record the fully executed BMR Housing Agreement at the County of San Mateo Recorder's Office.  e. Prior to recordation of the Final Map, the applicant shall pay any applicable recreation fees (in lieu of dedication) per the direction of the Engineering Division in compliance with Section 15.16.020 of the Subdivision Ordinance. The estimated recreation in-lieu fee is \$1,881,600 (based on \$9.8 million value of acreage).  f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit an updated LEED Checklist, subject to review and approval of the Planning Division. The Checklist shall be prepared by a LEED Accredited Professional (LEED AP). The LEED AP should submit a cover letter stating their qualifications, and confirm that they have prepared the Checklist and that the information presented is accurate. Confirmation that the project conceptually achieves LEED Silver certification shall be required before issuance of the building permit. Prior to final inspection of the building permit, the project shall submit verification that the development has achieved final LEED Silver certification.  g. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans clearly specifying that a minimum of three short-term bicycle parking spaces shall be provided on the development, not in conflict with any other site improvements, subject to review and approval of the Planning Division.  h. Prior to issuance of the building permit, the applicant shall pay the citywide Transportation Impact Fee (TIF), which is currently estimated at \$17,699.90. This was calculated by multiplying the fee of \$1,927.02 per multi-family unit by 24 units for new uses and a credit for 6,166 square feet of existing commercial uses. This fee is updated annually on July 1st based on the Engineering News Record Bay Area Construction Cost Index.  i. Prior to issuance of the building permit, the applicant shall pay the El Camino Real/Downtown Specific Plan Preparation Fee, which is established at \$1.13/square foot for all net new development. For the subject proposal, the fee is estimated at \$55,893.19 (\$1.13 x 49,463 net new square feet).			

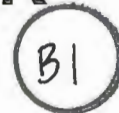


# CITY OF MENLO PARK

## LOCATION MAP

### 133 ENCINAL AVENUE

DRAWN: KTP CHECKED: KTP DATE: 10/19/15 SCALE: 1" = 300' SHEET: 1



133 Encinal Avenue – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	75,612 sf	75,612 sf	n/a sf min.
Setbacks			
Front	16.2-18.2 ft.	±56 ft.	10-20 ft. min.-max.
Rear	20.0 ft.	±100 ft.	20 ft. min.
Side (left)	10.0-25.0 ft.	±72 ft.	10-25 ft. min.-max.
Side (right)	42.4-45.4 ft. <sup>1</sup>	±49 ft.	10-25 ft. min.-max.
Density	24 du	0 du	34 du max.
	13.8 du/acre	0 du/acre	20 du/acre max.
FAR (Floor Area Ratio)	55,629 sf	6,166 sf	56,709 sf max.
	73.6 %	0.08 %	75 % max.
Square footage by use			
Residential	55,629 sf	0 sf	
Commercial	0 sf	6,166 sf	
Open Space	31,675 sf	not available sf	22,683.6 sf min.
	41.9 %	%	30.0 % min.
Building height	37.2 ft.	not available ft.	38.0 ft. max.
Parking			
Residential	53 spaces	n/a	45 spaces per 1.85
	(not including 2 tandem spaces)		spaces per du min.
Commercial	n/a	25 spaces	n/a
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
<sup>1</sup> While the right side setback is measured from the property line, an existing 40-foot wide Hetch Hetchy water pipeline easement along the right side property line precludes construction within the easement area. Due to this unique condition, the proposed setbacks are determined to be in compliance, to the extent possible, to the setback standards.			

Trees

Heritage trees <sup>2</sup>	30	Non-Heritage trees <sup>3</sup>	6	New Trees	58
Heritage trees proposed for removal	5	Non-Heritage trees proposed for removal <sup>3</sup>	5	Total Number of Trees	84
<sup>2</sup> Includes six trees on/near the left side property line and three trees near the rear property line.					
<sup>3</sup> Includes three street trees.					



# RECEIVED

OCT 14 2015

CITY OF MENLO PARK  
BUILDING



## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

MENLO PARK, CA

KTGY # 2014-0032

10/14/2015

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com



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C4.0	Storm Water Control Plan
C4.1	Erosion + Sediment Control Plan
C4.2	Best Management Practices
C5.1	Preliminary Site Utility Plan
C5.2	Preliminary Site Utility Plan
C5.3	Fire Access & Apparatus Diagram
C5.4	Frontage Undergrounding Diagram

### Tentative Map

1	Existing Conditions
2	Proposed Conditions
3	Proposed Site Plan
4	Preliminary Grading & Drainage Plan
5	Preliminary Grading & Drainage Plan
6	Stormwater Control Plan
7	Preliminary Site Utility Plan
8	Preliminary Site Utility Plan
9	Existing Tree Disposition Plan
10	Conceptual Landscape Plan
11	Landscape Enlargement Plan

133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

SHEET INDEX

MENLO PARK, CA

KITG M 2014-0032

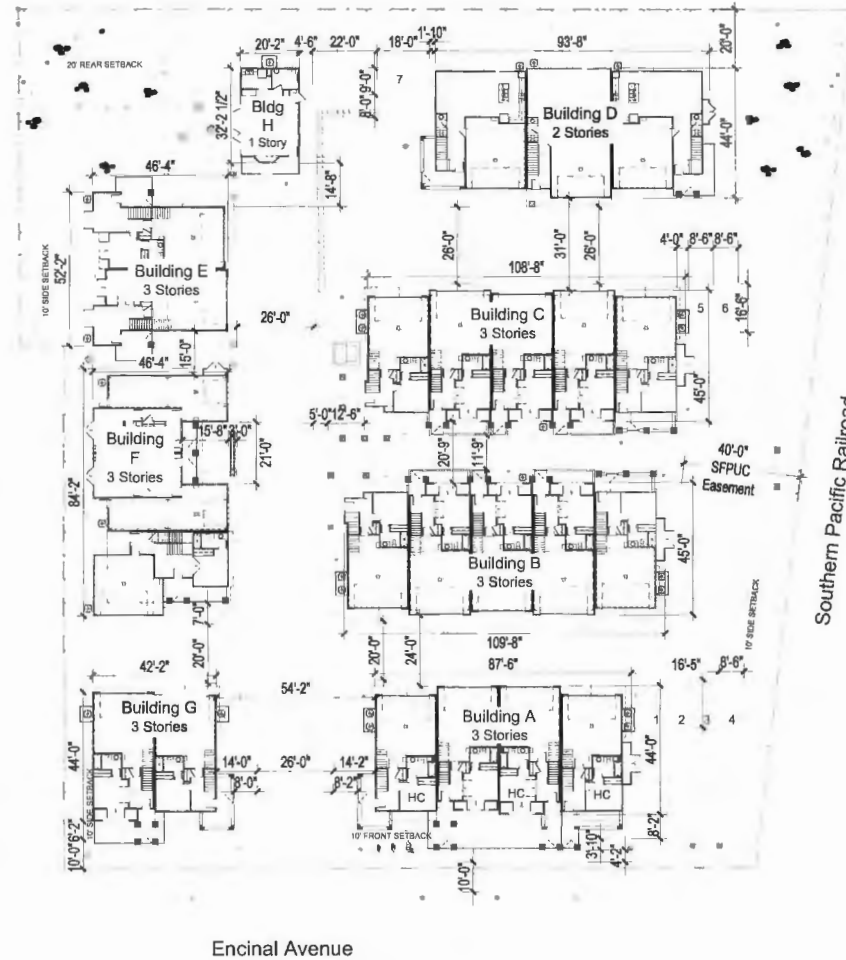
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A0.1

03



# Legend

- Electric Vehicle Charging Station- Buildings E, F, + G; See Building Plans
- AC Condenser with wood screen See Landscape Drawings for planting to screen from view
- AC Condenser without wood screen at private backyard
- Transformer; See Civil Drawings See Landscape Drawings for planting to screen from view
- Guest Bike Parking; See Landscape Drawings

NOTE: Refer to C2.0 Proposed Site Plan for all dimensions to easements, setbacks, and property line.

1" = 20'-0" 0 10 20 40

## 133 ENCINAL AVENUE

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## CONCEPTUAL SITE PLAN

MENLO PARK, CA  
#101 # 1014-0032 10.14.2015

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A1.0



D4



Encinal Avenue

## 133 ENCINAL AVENUE

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## ADDRESS PLAN

MENLO PARK, CA

KTGY # 2014-002

10.14.2015

1" = 20'-0"

AI.0a

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05



Red-marked facades should use recommended windows from acoustical report, Figure 5: Higher STC Window Location

1" = 20'-0" 0 10 20 40

## 133 ENCINAL AVENUE

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## WINDOW EXHIBIT

MENLO PARK, CA  
KTGT # 2014-0032 10.14.2015

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A1.0b

Site Analysis	Proposed Development	Development Regulations
Lot Area:	75,612 sf ±1.74 ac	-
Floor Area Ratio:	73.57%	54,687 sf / 75,612 sf
Total Dwellings Units:	24 du	Maximum 75%
Density:	13.8 du/ac	Maximum 20 du/ac
Site Coverage:		
Building Coverage*:	26,880 sf	
Additional Site Coverage**:	20 sf	
Total Site Coverage:	26,900 sf	36%
Total Pavement Area***:	16,809 sf	22%
Site Open Space Area:	31,675 sf	42%
Total Parking Spaces:	55 sp	Minimum 30%, see A6.1d 45 sp per city ratio; see Parking Summary

\*Building Coverage includes massing popouts/deck projections at Levels 2 & 3  
\*\*Additional Site Coverage includes landscape trellises  
\*\*\*Pavement area includes impervious parking and roadways

Residential Open Space		
Provided*	Required	
9,180 sf total	80 sf/unit	80 sf x 24 units = 1,920 sf min.

\*Residential Open Space required by El Camino Real / Downtown Specific Plan Section E.3.6.01 is provided as Private Open Space for all units. Minimum 5' dimensions are satisfied in Plan Types P1, P2, and P7 by second floor decks and in Plan Types P3-P6 by private rear yards

(Private Open Space = Porches + Decks + Private Yards)

Parking Summary			
Parking Required:	# of Units	Spaces/D.U.	Required
Outside Downtown On-Site Parking Area	24	1.85	45
Parking Provided:	Garage	Uncovered	Total
	48	7	55

Bicycle Parking Summary			
Parking Required:	Long Term	Short Term	Required
Multi-Family Dwelling w/ Private Garage per Unit	0	1 sp for every 10 units	3
Parking Provided:	Long Term	Short Term	Total
	0	4	4

Gross Floor Area Summary					
	Level 1	Level 2	Level 3	Total	Exclusions*
Building A	1,737 sf	3,731 sf	3,720 sf	9,188 sf	23 sf
Building B	2,233 sf	4,720 sf	4,660 sf	11,613 sf	20 sf
Building C	2,233 sf	4,721 sf	4,659 sf	11,613 sf	20 sf
Building D	2,323 sf	3,484 sf	0 sf	5,807 sf	0 sf
Building E	1,052 sf	1,897 sf	1,851 sf	4,800 sf	6 sf
Building F	1,668 sf	2,851 sf	2,832 sf	7,351 sf	0 sf
Building G	881 sf	1,886 sf	1,855 sf	4,622 sf	13 sf
Building H	635 sf			635 sf	0 sf
Total				55,629 sf	82 sf
Site Area				75,612 sf	
Floor Area Ratio				73.57%	

Note: Gross floor area is measured to the exterior finish as defined per Zoning Ordinance 16.04.325 and excludes garages, non-occupable spaces, and decks with at least one end open and unobstructed to the exterior

\*Exclusions Limited to 3% of Maximum Allowed Gross Floor Area per Zoning Ordinance 16.04.325(C)(1)

Total Exclusions per 16.04.325(C)(1)	82 sf
Maximum Allowed Gross Floor Area	0.75 x 75,612 = 56,709 sf
	of Max. Allowed
82 / 56,709 sf =	0.1% GFA

Unit Plan Summary				
	Unit Plan Type	Unit Description	Net Area*	Unit Quantity
4 BR	Plan 1	4 BR / 3.5 BA	1,913 sf	2 du
	Plan 1a	4 BR / 3.5 BA	1,909 sf	2 du
	Plan 1b	4 BR / 3.5 BA	1,985 sf	1 du
	Plan 2	4 BR / 3.5 BA	1,907 sf	3 du
	Plan 2a	4 BR / 3.5 BA	1,939 sf	1 du
	Plan 2b	4 BR / 3.5 BA	1,892 sf	1 du
	Plan 2c	4 BR / 3.5 BA	1,956 sf	4 du
	Plan 2d	4 BR / 3.5 BA	2,031 sf	1 du
3 BR	Plan 3	3 BR / 2.5 BA	1,874 sf	1 du
	Plan 4	3 BR / 2.5 BA	1,721 sf	2 du
	Plan 5	3 BR / 3.5 BA	2,106 sf	1 du
4 BR	Plan 6	4 BR / 4 BA	2,131 sf	2 du
	Plan 7	4 BR / 3.5 BA	1,889 sf	3 du
TOTAL				24 du

\*Unit net area measured to inside face of stud.

133 ENCINAL AVENUE

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PROJECT DATA

MENLO PARK, CA  
KTGT # 2014-0032 10/14/2015

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AI.I

## Code Analysis:

### 1. Use / Occupancy Classification:

Encinal Avenue is a multifamily residential use project. Each building has tuck-under garage parking for automobiles associated with the residential use. Buildings A, B, C, D, and F are defined as a multifamily buildings, and their governing code will be the 2013 California Building Code. The residential portions of the buildings are classified as an R-2 occupancy, and the tuck-under garages are classified as a U occupancy. Buildings E and G are defined as townhouses, and their governing code will be the 2013 California Residential Code. The residential portions of the buildings are classified as an R-3 occupancy, and the tuck-under garages are classified as a U occupancy. Building H is type B occupancy per 303.1.1 as the occupant load is less than 50 persons.

### 2. Fire Sprinkler System:

Buildings A, B, C, D, and F are proposed to be fully sprinklered with automatic fire sprinklers meeting NFPA 13 standards per CBC Section 903.3.1.1. Automatic fire protection of the R-2 occupancy is required per CBC Section 903.2.8. Buildings E and G are proposed to be fully sprinklered with automatic residential fire sprinklers meeting NFPA 13D standards per CRC Section 313.1.1. Automatic fire protection of townhouses are required per CRC Section R313.1.

### 3. Construction Type:

All residential buildings and tuck-under parking garages shall be of **Type VB** construction. Basic height and area limitations per occupancy and construction type per CBC Table 503 are as follows:

R-2 Occupancy / VB Construction = 40 feet and 2 stories\*, 7,000 SF per story / 14,000 SF per building

U Occupancy / VB Construction = 40 feet and 1 story, 5,500 SF per story / 5,500 SF per building

R-3 Occupancy / VB Construction = 40 feet and 3 stories, Unlimited SF per story

\*Fire sprinklers are provided to allow story increase modification per CBC Section 504.2.

### 4. Actual Heights And Areas:

Buildings A, B, C, E, F and G are three stories in height. Building D is two stories. Building H is one Story. Areas are measured to the exterior face of framing of exterior walls, including exterior areas within the horizontal projections of floors and roofs above. The following is a list of total height and areas for all buildings:

	Height*	Stories	Area
<b>Building A:</b>	<b>33'-8"</b>	<b>3</b>	<b>11,356 SF total</b>
R-2/VB			9,397 SF
U/VB			1,959 SF
<b>Building B:</b>	<b>33'-0"</b>	<b>3</b>	<b>13,764 SF total</b>
R-2/VB			11,259 SF
U/VB			2,505 SF
<b>Building C:</b>	<b>33'-0"</b>	<b>3</b>	<b>14,356 SF total</b>
R-2/VB			11,851 SF
U/VB			2,505 SF
<b>Building D:</b>	<b>23'-9"</b>	<b>2</b>	<b>7,312 SF total</b>
R-2/VB			5,860 SF
U/VB			1,452 SF
<b>Building E:</b>	<b>33'-0"</b>	<b>3</b>	<b>5,797 SF total</b>
R-3/VB			4,816 SF
U/VB			981 SF
<b>Building F:</b>	<b>33'-4"</b>	<b>3</b>	<b>8,993 SF total</b>
R-2/VB			7,438 SF
U/VB			1,555 SF
<b>Building G:</b>	<b>33'-0"</b>	<b>3</b>	<b>5,670 SF total</b>
R-3/VB			4,691 SF
U/VB			979 SF
<b>Building H:</b>	<b>14'-8"</b>	<b>1</b>	<b>730 SF total</b>
B/VB			730 SF

Buildings A, B, C, E, F and G exceed the basic allowable stories per CBC Table 503. Story modifications per CBC Section 504.2 are utilized. "Where a building is equipped throughout with a approved automatic sprinkler system in accordance with Section 903.3.1.1., the value specified in Table 503 for the maximum building height is increased by 20feet and the maximum number of stories is increased by one.

\*Building Height is measured from grade plane to average height of the highest roof surface.

Per CBC Chapter 2: Definitions

### 5. Fire Resistant Construction

In Buildings A, B, C, D, and F per CBC Table 601 the fire-resistance rating requirements for building elements in Type VB construction are as follows:

Primary structural frame	0 hour
Exterior bearing wall	0 hour
Interior bearing wall	0 hour
Non bearing exterior walls and partitions	0 hour
Non bearing interior walls and partitions	0 hour
Floor construction & associated secondary members	0 hour
Roof construction & associated secondary members	0 hour

In Buildings E and G, per CRC Section 302.2 each townhouse shall be considered a separate building and separated by fire resistance-rated wall assemblies meeting the requirements of CRC Section R302.1 for exterior walls. Per CRC Section 302.1 Exception, a common 1-hour fire-resistance-rated wall assembly is permitted if such walls do not contain plumbing or mechanical equipment, ducts or vents in the cavity of the common wall, are rated for fire exposure from both sides, and extend to exterior walls and the underside of roof sheathing.

### 6. Fire-Resistance Rating of Fire Partitions

For Buildings A, B, C, D, and F, per CBC Section 708.3 Exception 2, dwelling unit and sleeping unit separations in building of Type VB construction shall have fire-resistance ratings of not less than 1/2 hour in buildings equipped throughout with an automatic sprinkler system in accordance with CBC Section 903.3.1.1.

### 8. Required Separation of Occupancies

R-2 and U occupancies are separated by not less than 1/2" gypsum board applied to the garage side and from the habitable rooms above by not less than 5/8" Type X gypsum board per CBC Section 406.3.4 (in accordance with CBC Table 508.4, footnote (c)). R-3 and U occupancies are separated from the residence by not less than 1/2" gypsum board applied to the garage side and from the habitable rooms above by not less than 5/8" Type X gypsum board per requirements on CRC Table R302.6.

## 133 ENCINAL AVENUE

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## CODE ANALYSIS

MENLO PARK, CA

KTGY # 2014-2032

10/14/2015

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AI.2





## 133 ENCINAL AVENUE

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## EXISTING SITE CONDITIONS

MENLO PARK, CA

KTGY # 2014-2022

10.14.2015

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A1.3





4. Elevation C



3. Elevation B



2. Elevation A



Existing Context

Open Space

Building G

Entry

Building A

Open Space

Southern Pacific Railroad

Existing Context

1. Encinal Avenue Elevation



Key Map n.t.s.

## 133 ENCINAL AVENUE

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## STREETSCAPE ELEVATION

MENLO PARK, CA

KTGY # 2014-0032

10.14.2015

A2.0

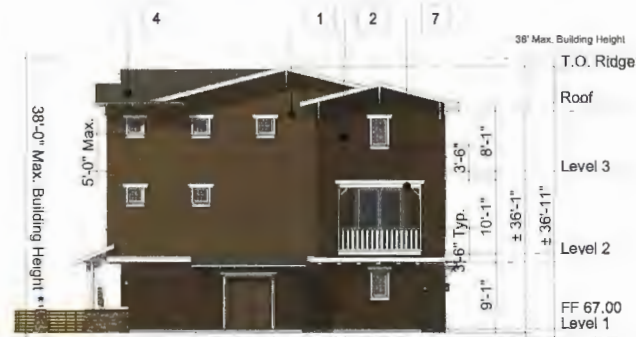
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+65.7 Average Natural Grade (@ Building A)

1. Front Elevation - Encinal Avenue



+65.7 Average Natural Grade (@ Building A)

2. Right Elevation\*



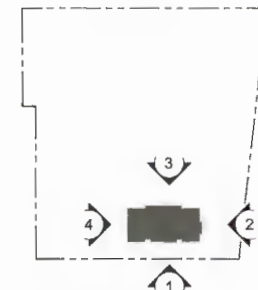
+65.7 Average Natural Grade (@ Building A)

3. Rear Elevation



+65.7 Average Natural Grade (@ Building A)

4. Left Elevation



Key Map n.t.s.

#### Material Legend

1. Wood Shingles
2. Wood Lap Siding
3. Smooth Fiber Cement Panel
4. Laminated Composite
5. Shingle Roof (3:12 Pitch)
6. Aluminum Clad Window
7. Wood Railing
8. Wood Trim
9. Smooth Paneled Garage Door
9. Stone Veneer

Note: No use of stucco proposed.

\*Elevation faces Southern Pacific Railroad and has been designed for smaller openings.

## 133 ENCINAL AVENUE

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## CONCEPTUAL ELEVATIONS - BUILDING A

MENLO PARK, CA

KITG # 2014-0032

10.14.2015

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1/8" = 1'-0"

A2.1

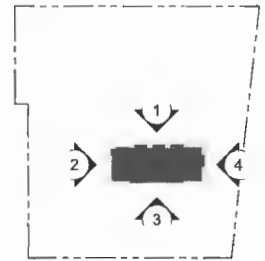




1. Front Elevation



2. Right Elevation

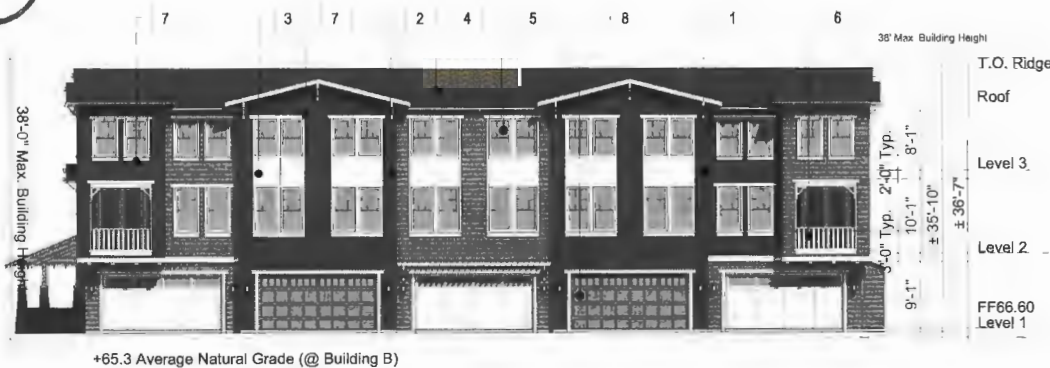


Key Map n.t.s.

#### Material Legend

1. Wood Shingles
2. Wood Lap Siding
3. Smooth Fiber Cement Panel
4. Laminated Composite
5. Shingle Roof (3:12 Pitch)
6. Aluminum Clad Window
7. Wood Railing
8. Wood Trim
9. Smooth Paneled Garage Door
- Stone Veneer

Note: No use of stucco proposed.



3. Rear Elevation



4. Left Elevation\*

\*Elevation faces Southern Pacific Railroad and has been designed for smaller openings.

## 133 ENCINAL AVENUE

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## CONCEPTUAL ELEVATIONS - BUILDING B

MENLO PARK, CA  
KIT # 2014-0032 10.14.2015

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A2.2

1/8" = 1'-0" 0 4 8 16





1. Front Elevation



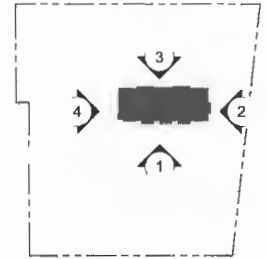
2. Right Elevation\*



3. Rear Elevation



4. Left Elevation



Key Map n.t.s.

#### Material Legend

1. Wood Shingles
2. Wood Lap Siding
3. Smooth Fiber Cement Panel
4. Laminated Composite
5. Shingle Roof (3:12 Pitch)
6. Aluminum Clad Window
7. Wood Railing
8. Wood Trim
9. Smooth Paneled Garage Door
- Stone Veneer

Note: No use of stucco proposed.

\*Elevation faces Southern Pacific Railroad and has been designed for smaller openings.

1/8" = 1'-0"

133 ENCINAL AVENUE

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CONCEPTUAL ELEVATIONS - BUILDING C

MENLO PARK, CA

KTGY # 1214-0032

10.14.2015

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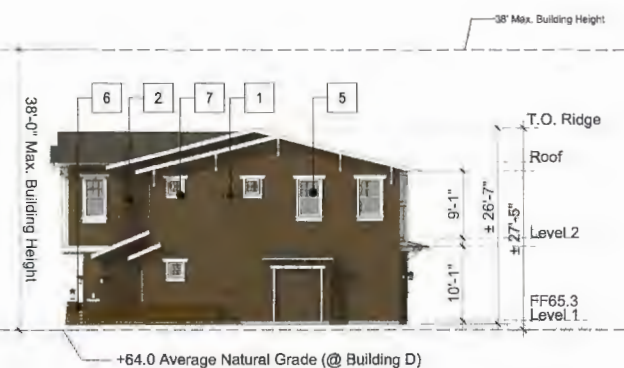


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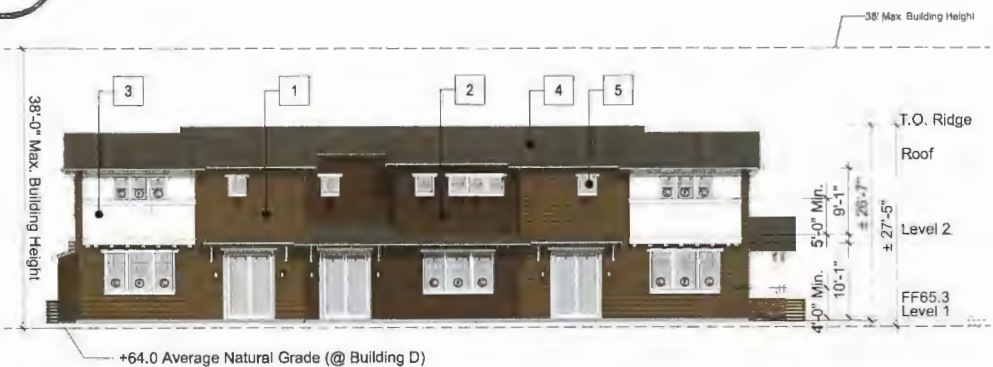
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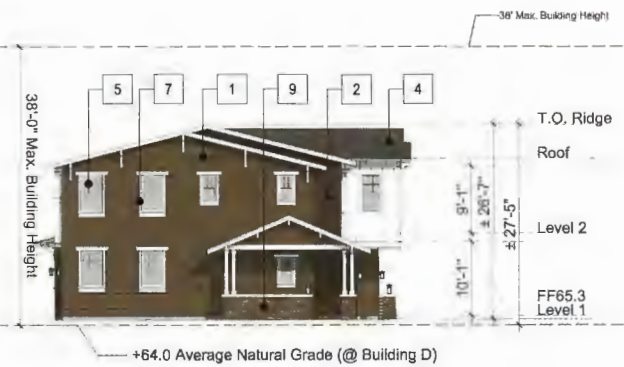
1. Front Elevation



2. Right Elevation\*

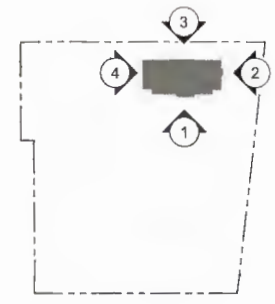


3. Rear Elevation



4. Left Elevation

Denotes Casement window at rear elevation  
Denotes fixed window at rear elevation



Key Map n.t.s.

**Material Legend**

1. Wood Shingles
2. Wood Lap Siding
3. Smooth Fiber Cement Panel
4. Laminated Composite Shingle Roof (3:12 Pitch)
5. Aluminum Clad Window
6. Wood Railing
7. Wood Trim
8. Smooth Paneled Garage Door
9. Stone Veneer

Note: No use of stucco proposed.

\*Elevation faces Southern Pacific Railroad and has been designed for smaller openings.

**133 ENCINAL AVENUE**

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**CONCEPTUAL ELEVATIONS - BUILDING D**

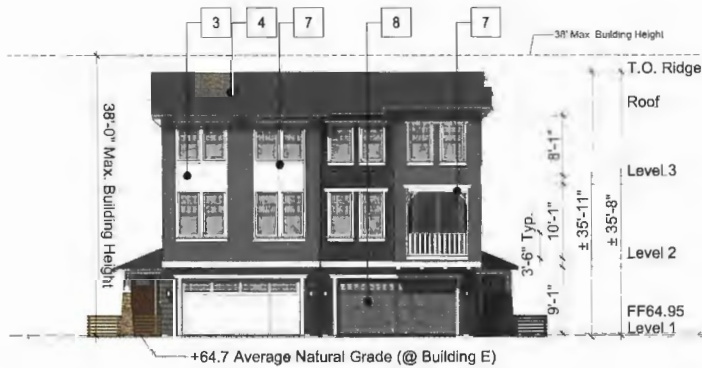
MENLO PARK, CA  
KTGY # 2014-0032 10.14.2015

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Oakland, CA 94607  
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1/8" = 1'-0"



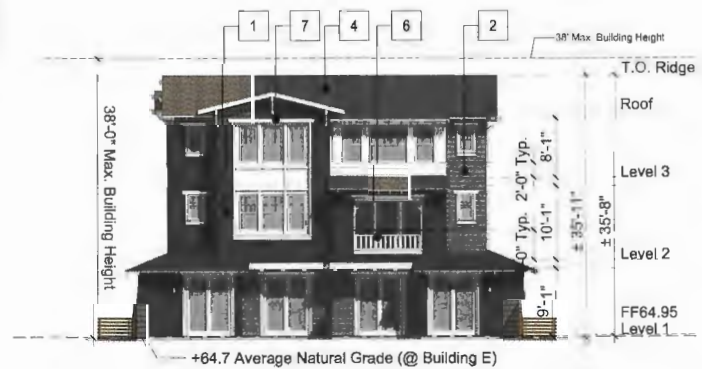
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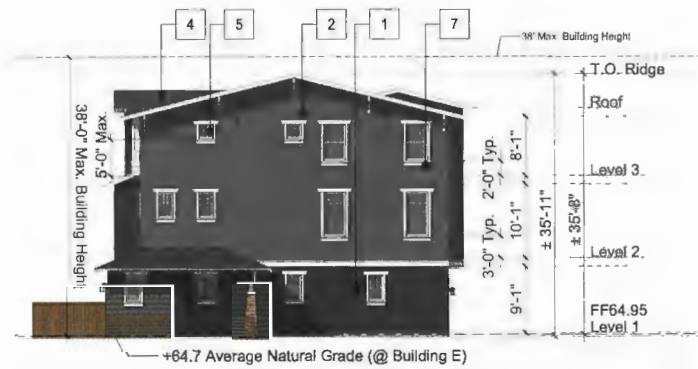
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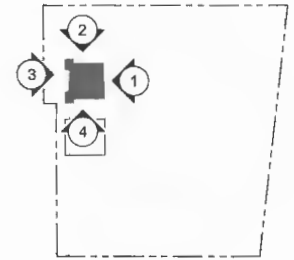
2. Right Elevation



3. Rear Elevation



4. Left Elevation



Key Map n.t.s.

#### Material Legend

1. Wood Shingles
2. Wood Lap Siding
3. Smooth Fiber Cement Panel
4. Laminated Composite
5. Shingle Roof (3:12 Pitch)
6. Aluminum Clad Window
7. Wood Railing
8. Wood Trim
9. Smooth Paneled Garage Door
- Stone Veneer

Note: No use of stucco proposed.

D14

133 ENCINAL AVENUE

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CONCEPTUAL ELEVATIONS - BUILDING E

MENLO PARK, CA

K101 # 2014-2032

10.14.2015

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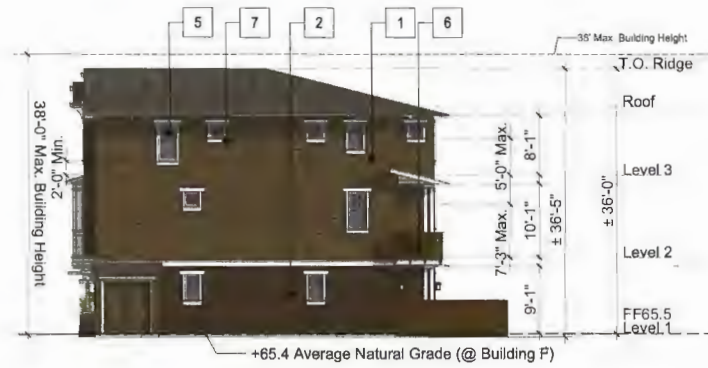
1/8" = 1'-0"

A2.5

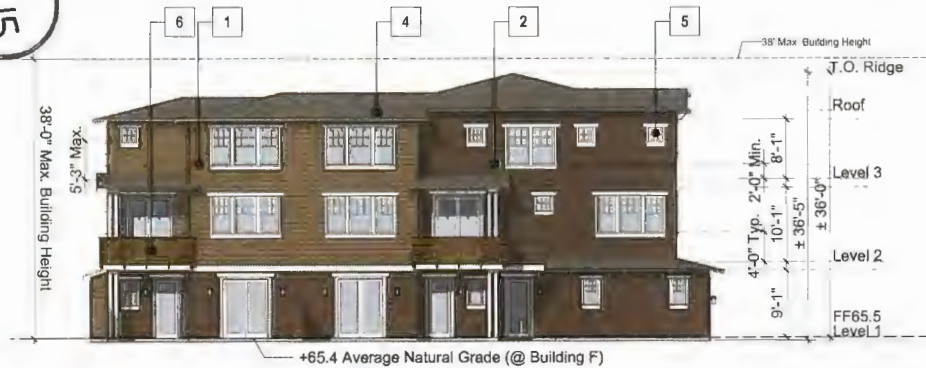




1. Front Elevation



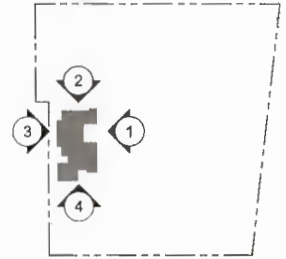
2. Right Elevation



3. Rear Elevation



4. Left Elevation



Key Map n.t.s.

#### Material Legend

1. Wood Shingles
2. Wood Lap Siding
3. Smooth Fiber Cement Panel
4. Laminated Composite Shingle Roof (3:12 Pitch)
5. Aluminum Clad Window
6. Wood Railing
7. Wood Trim
8. Smooth Paneled Garage Door
9. Stone Veneer

Note: No use of stucco proposed.

133 ENCINAL AVENUE

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## CONCEPTUAL ELEVATIONS - BUILDING F

MENLO PARK, CA

KTGY # 2014-0032

10.14.2015

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1/8" = 1'-0"

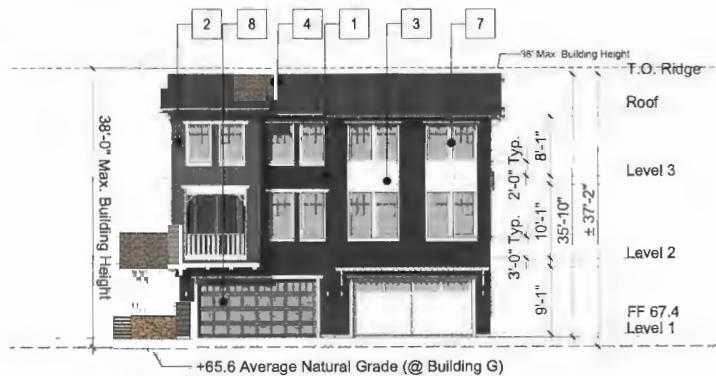
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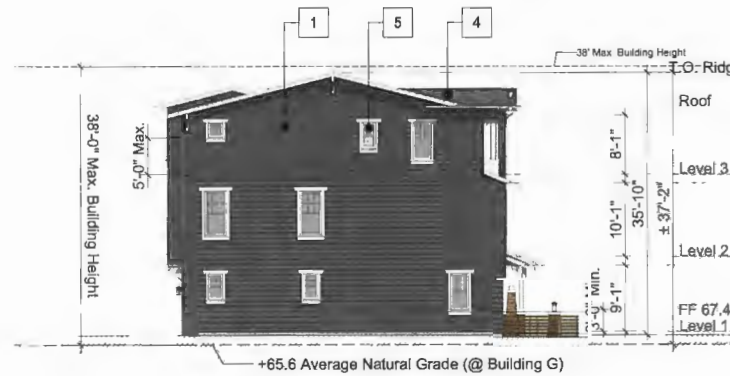
1. Front Elevation - Encinal Avenue



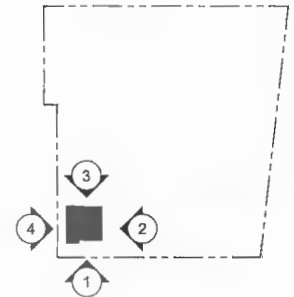
2. Right Elevation



3. Rear Elevation



4. Left Elevation



Key Map n.t.s.

#### Material Legend

1. Wood Shingles
2. Wood Lap Siding
3. Smooth Fiber Cement Panel
4. Laminated Composite Shingle Roof (3:12 Pitch)
5. Aluminum Clad Window
6. Wood Railing
7. Wood Trim
8. Smooth Paneled Garage Door
9. Stone Veneer

Note: No use of stucco proposed.

133 ENCINAL AVENUE

Hunter Properties Inc.  
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Cupertino, CA 95014  
408.255.4100

CONCEPTUAL ELEVATIONS - BUILDING G

MENLO PARK, CA

KTGY # 2014-0032

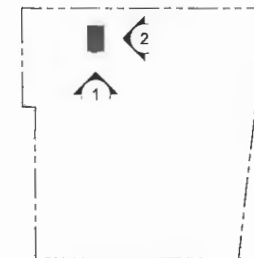
10.14.2015

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Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com



1/8" = 1'-0"

A2.7



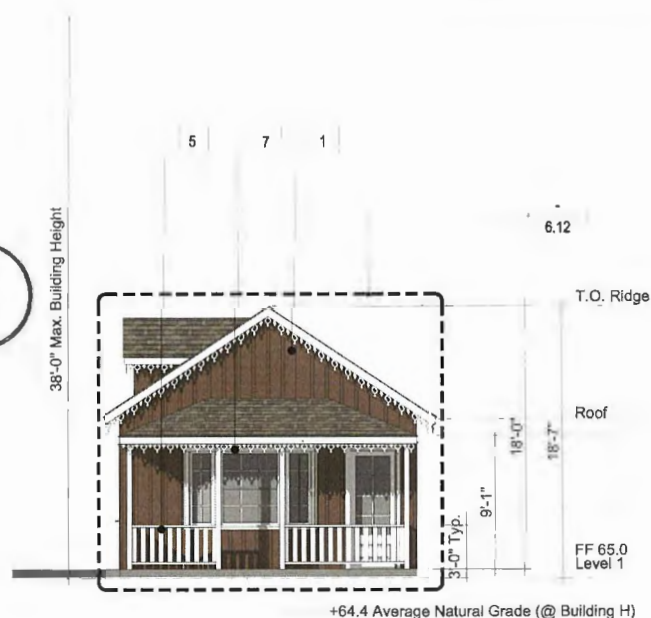
Key Map n.t.s.

#### Material Legend

1. Wood Board + Batten
2. Wood Shingle Roof (8:12 Pitch)
3. Folding Glass Wall
4. Wood Window
5. Wood Railing
6. Wood Trim
7. Decorative Wood Bargeboard
8. Gable End Vent

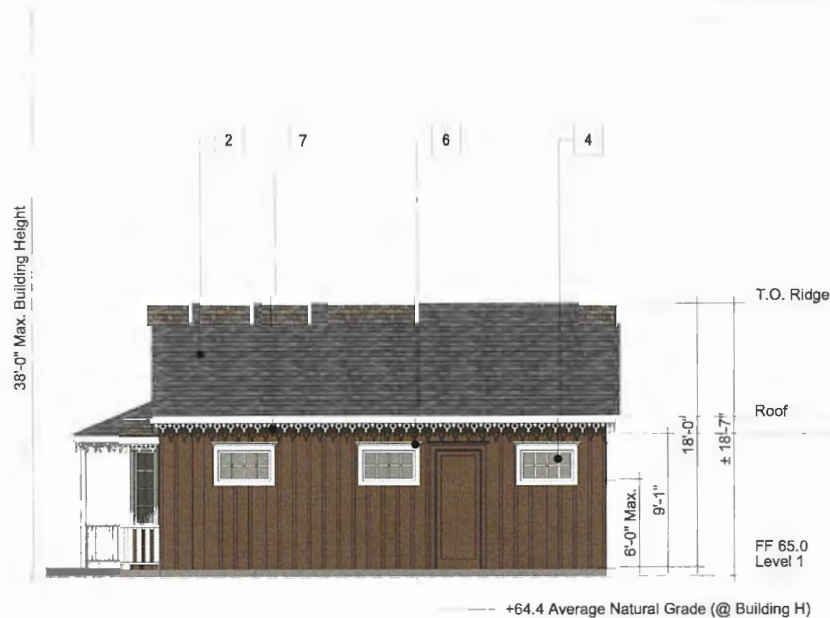
Note: No use of stucco proposed.

38' Max. Building Height



1. Front Elevation

38' Max. Building Height



2. Right Elevation

133 ENCINAL AVENUE

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CONCEPTUAL ELEVATIONS - BUILDING H

MENLO PARK, CA

KTGY # 2014-0032

10.14.2015

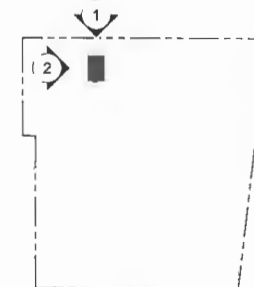
KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com

1/4" = 1'-0"

A2.8a

ktgy



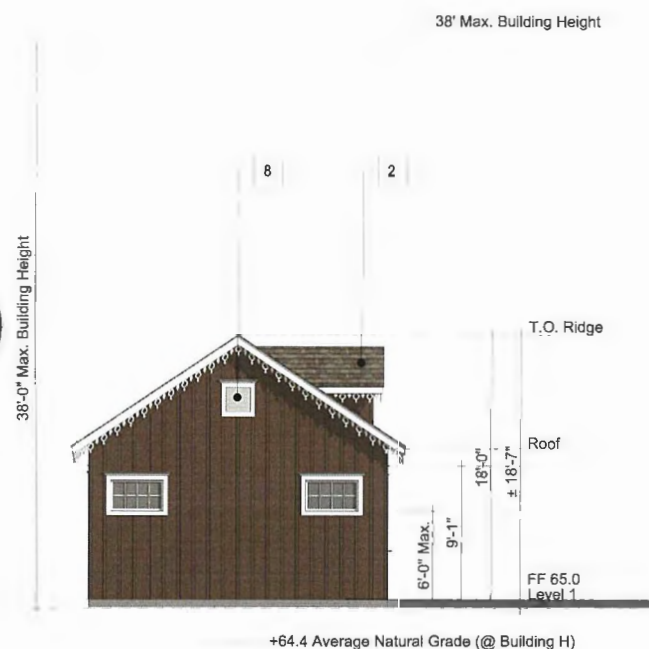


Key Map n.t.s.

# Material Legend

1. Wood Board + Batten
2. Wood Shingle Roof (8:12 Pitch)
3. Folding Glass Wall
4. Wood Window
5. Wood Railing
6. Wood Trim
7. Decorative Wood Bargeboard
8. Gable End Vent

Note: No use of stucco proposed.



1. Rear Elevation



2. Left Elevation

133 ENCINAL AVENUE

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CONCEPTUAL ELEVATIONS - BUILDING H

MENLO PARK, CA

KTGY # 2014-0032

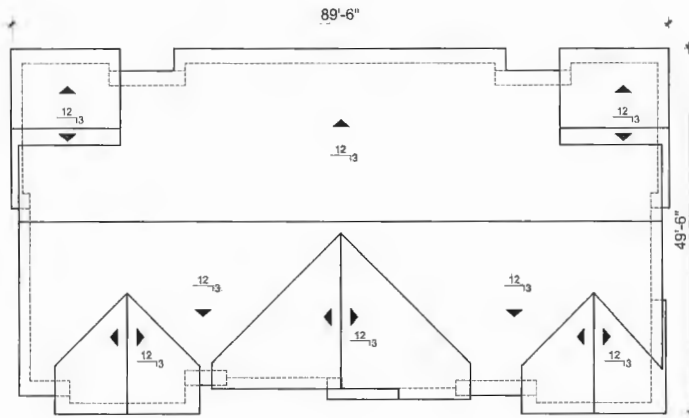
10.14.2015

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
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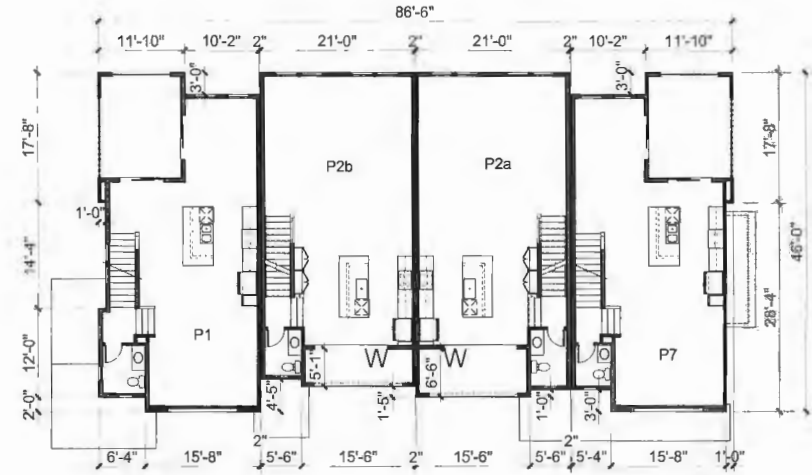


A2.8b

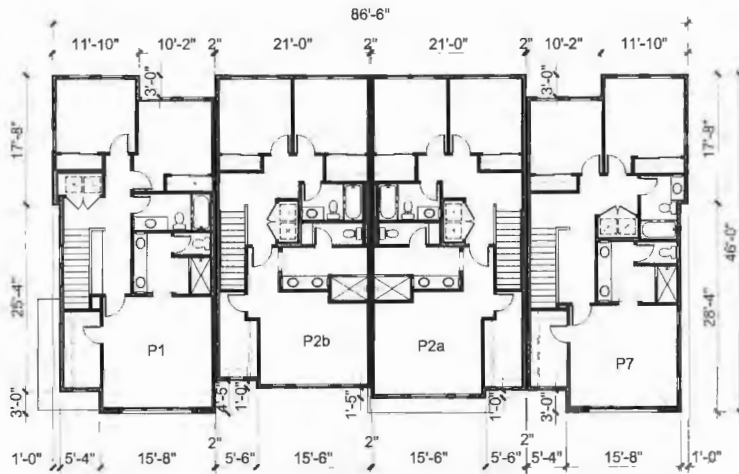
1/4" = 1'-0"



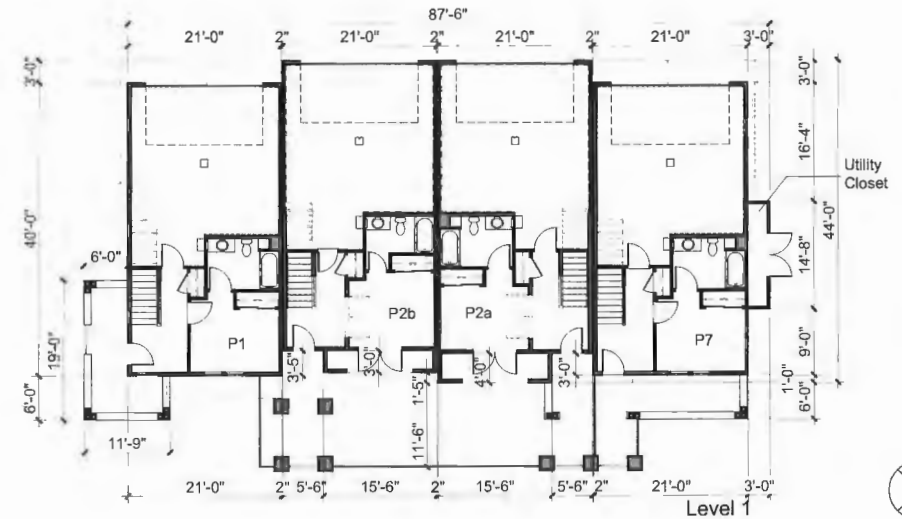
Roof



Level 2



Level 3



Level 1

Refer to Floor Plan Sheets (A5.0 series) for additional unit information, including room labels and room dimensions.  
 \*\*Refer to Elevation Sheets (A2.0 series) for additional elevation information, including porch styles

## 133 ENCINAL AVENUE

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 Cupertino, CA 95014  
 408.255.4100

## BUILDING A PLANS

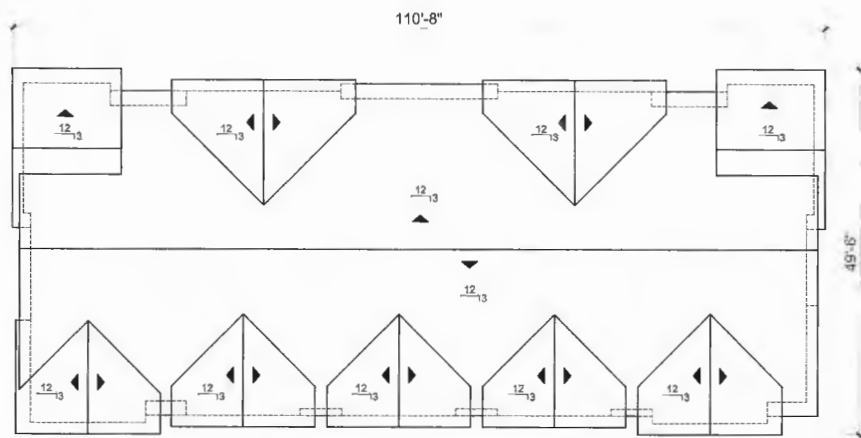
MENLO PARK, CA  
 KTG # 2014-0032 10/14/2015

KTGY Group, Inc.  
 Architecture+Planning  
 580 Second St., Suite 200  
 Oakland, CA 94607  
 510.272.2910  
 ktgy.com

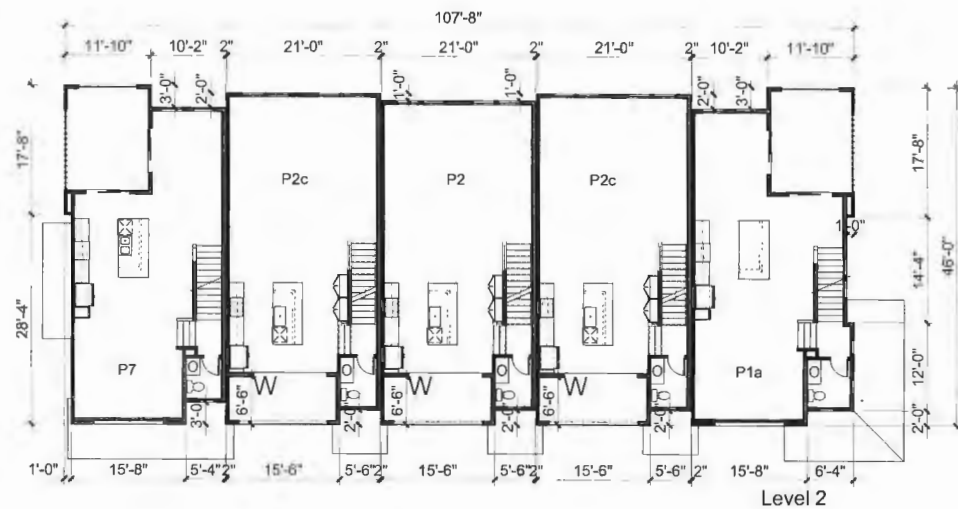


1/8" = 1'-0"

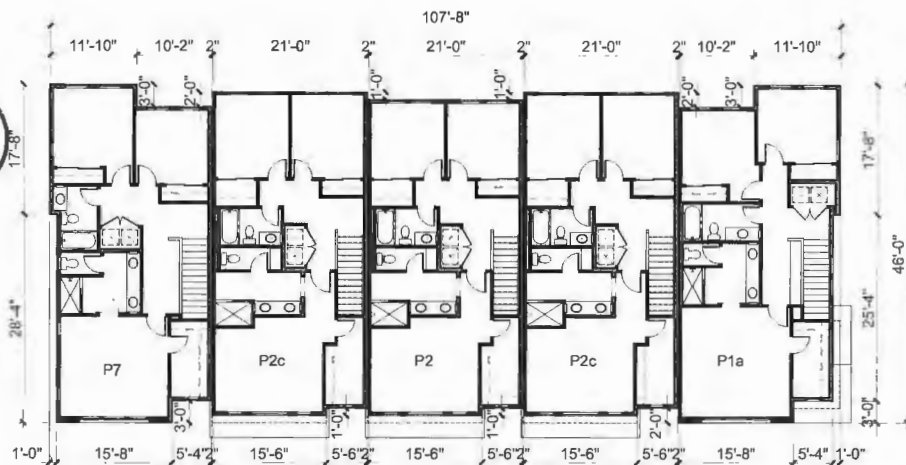
A3.0



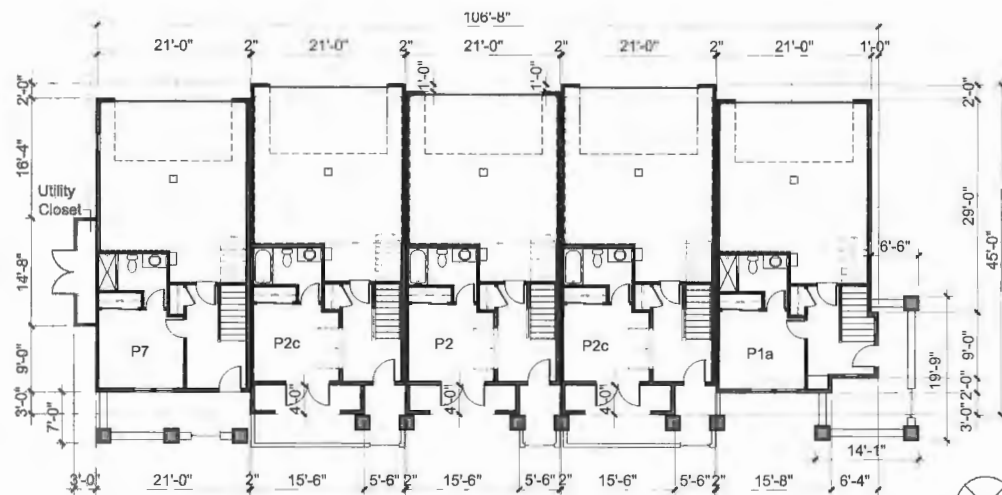
Roof



Level 2



Level 3



Level 1

Refer to Floor Plan Sheets (A5.0 series) for additional unit information, including room labels and room dimensions.  
 \*\*Refer to Elevation Sheets (A2.0 series) for additional elevation information, including porch styles

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
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 Cupertino, CA 95014  
 408.255.4100

## BUILDING B PLANS

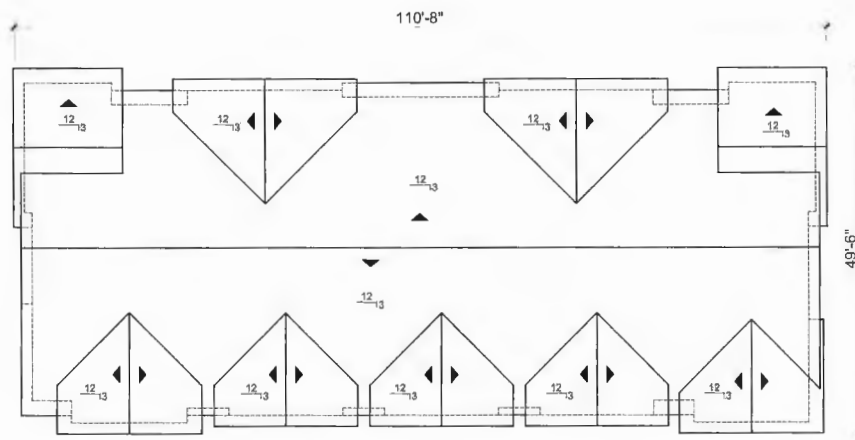
MENLO PARK, CA  
 12/21/14 # 2014-0032 10.14.2015

KTGY Group, Inc.  
 Architecture+Planning  
 580 Second St., Suite 200  
 Oakland, CA 94607  
 510.272.2910  
 ktgy.com

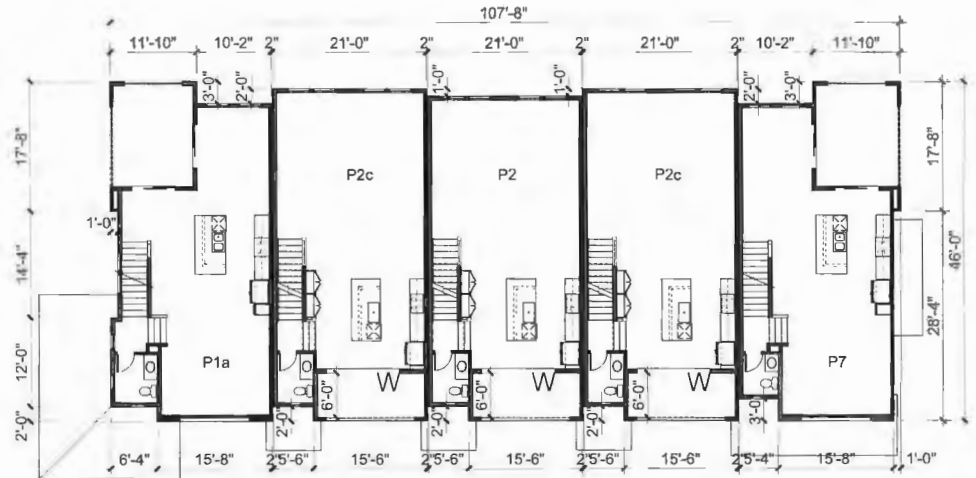


1/8" = 1'-0"

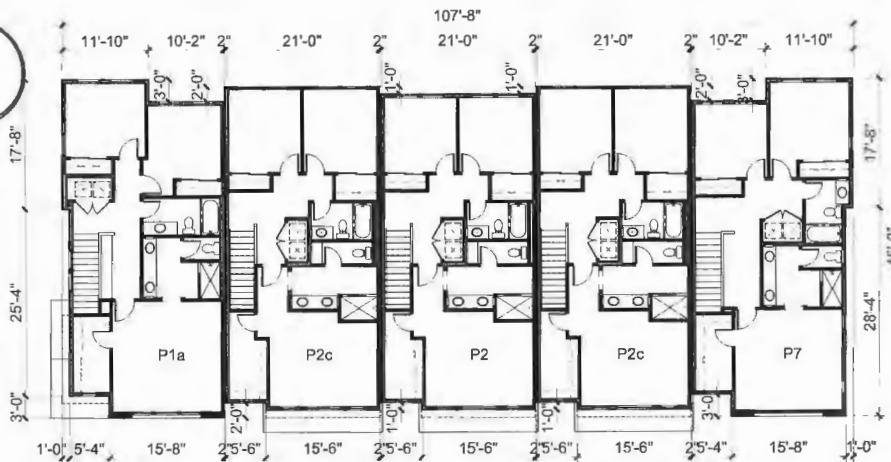
A3.1



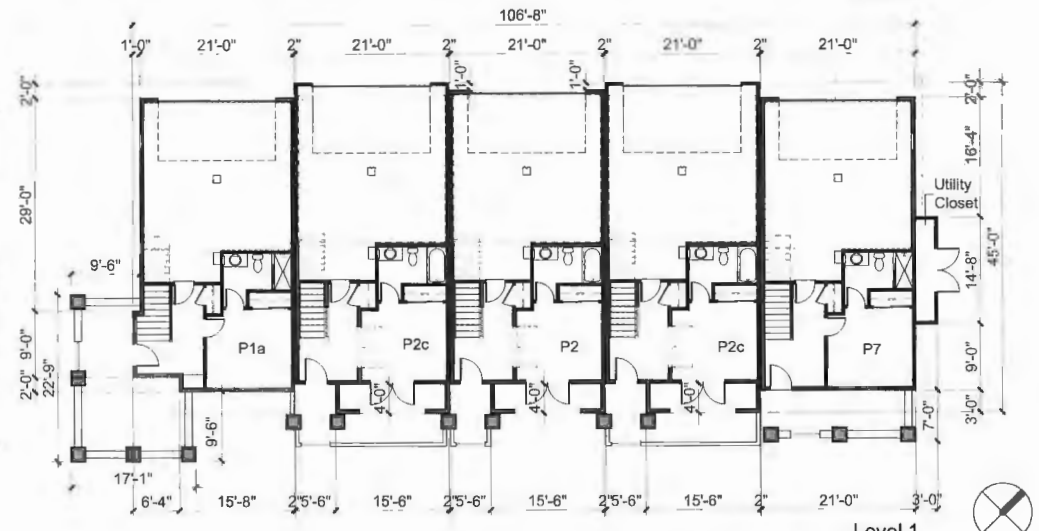
Roof



Level 2



Level 3



Level 1

Refer to Floor Plan Sheets (A5.0 series) for additional unit information, including room labels and room dimensions.  
 \*\*Refer to Elevation Sheets (A2.0 series) for additional elevation information, including porch styles

## 133 ENCINAL AVENUE

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 Cupertino, CA 95014  
 408.255.4100

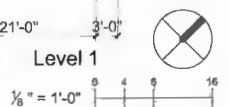
## BUILDING C PLANS

MENLO PARK, CA  
 K101 # 2014-0032 10.14.2015

KTGY Group, Inc.  
 Architecture+Planning  
 580 Second St., Suite 200  
 Oakland, CA 94607  
 510.272.2910  
 ktgy.com

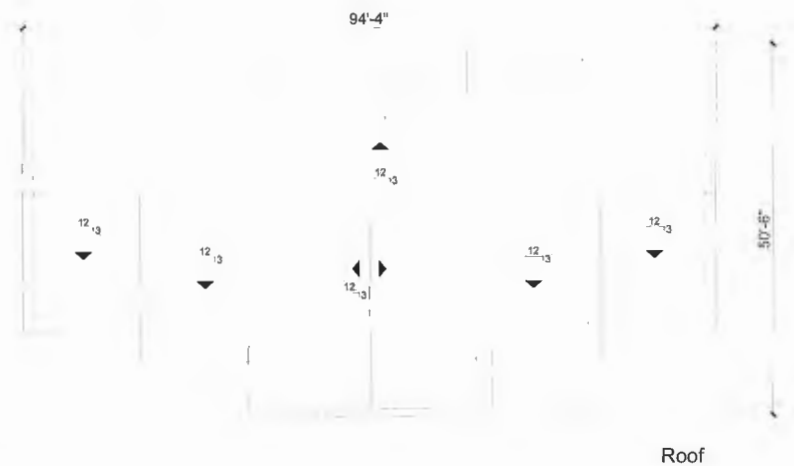


A3.2





D 22



Level 2



Level 1

Refer to Floor Plan Sheets (A5.0 series) for additional unit information, including room labels and room dimensions.  
 \*\*Refer to Elevation Sheets (A2.0 series) for additional elevation information, including porch styles

## 133 ENCINAL AVENUE

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## BUILDING D PLANS

MENLO PARK, CA  
 K107 # 2014-0032 10.14.2015

KTGY Group, Inc.  
 Architecture+Planning  
 580 Second St., Suite 200  
 Oakland, CA 94607  
 510.272.2910  
 ktgy.com

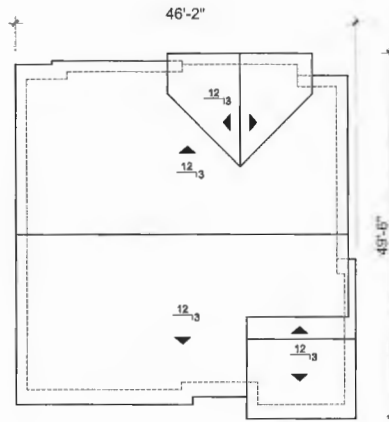


A3.3

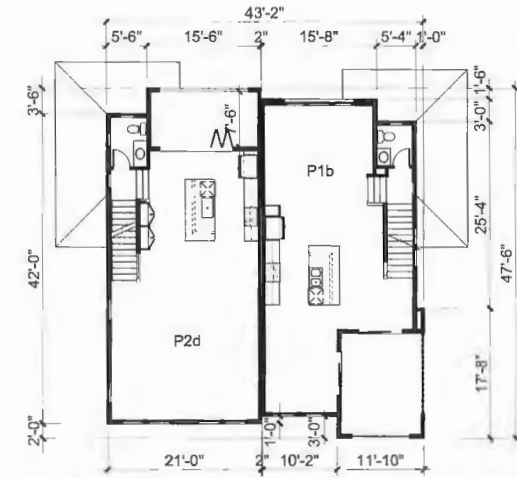
1/8" = 1'-0"

# Legend

EV = Electric Vehicle  
Charging Station



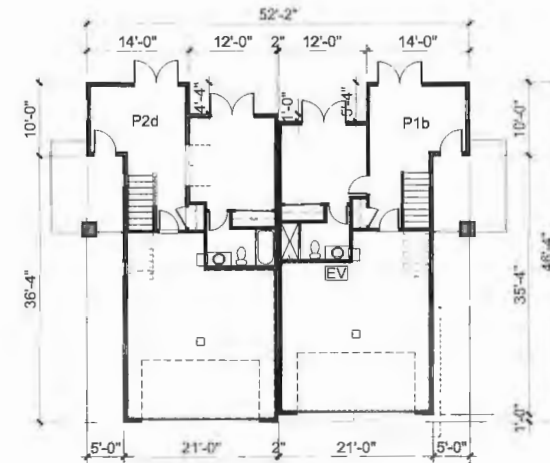
Roof



Level 2



Level 3



Level 1

Refer to Floor Plan Sheets (A5.0 series) for additional unit information, including room labels and room dimensions.

\*\*Refer to Elevation Sheets (A2.0 series) for additional elevation information, including porch styles

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
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Cupertino, CA 95014  
408.255.4100

## BUILDING E PLANS

MENLO PARK, CA

KTGY # 2016-0032

10.14.2015

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com



1/8" = 1'-0"

A3.4



# Legend

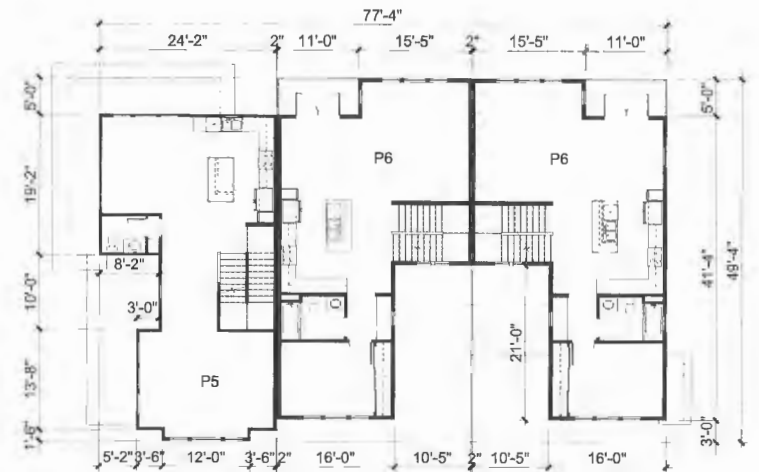
EV = Electric Vehicle  
Charging Station



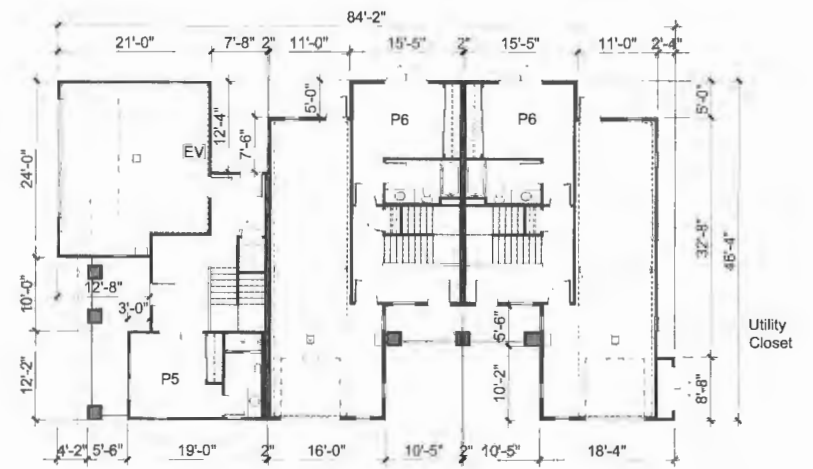
Roof



Level 3



Level 2



Level 1

\*Refer to Floor Plan Sheets (A5.0 series) for additional unit information, including room labels and room dimensions.  
\*\*Refer to Elevation Sheets (A2.0 series) for additional elevation information, including porch styles

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
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Cupertino, CA 95014  
408.255.4100

## BUILDING F PLANS

MENLO PARK, CA

KTG # 2014-0012

10.14.2015

KTGY Group, Inc.  
Architecture+Planning  
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Oakland, CA 94607  
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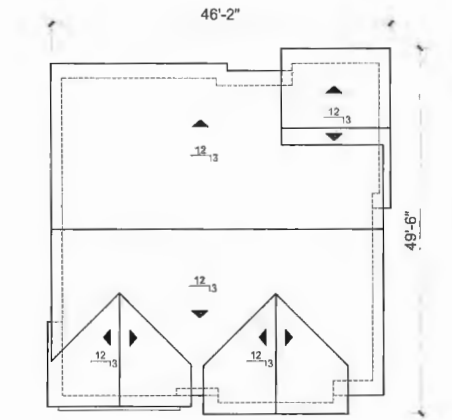
A3.5

1/8" = 1'-0"

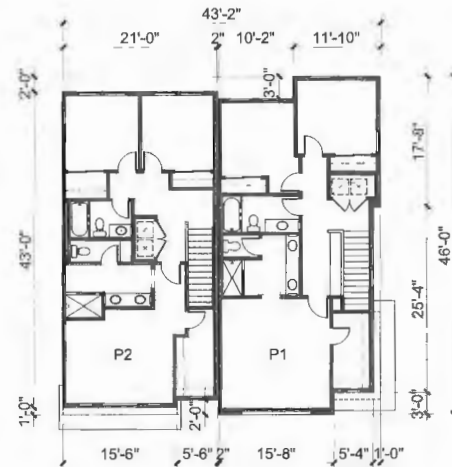
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# Legend

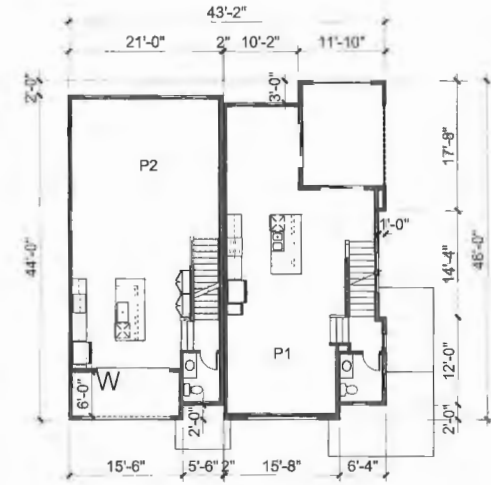
EV = Electric Vehicle  
Charging Station



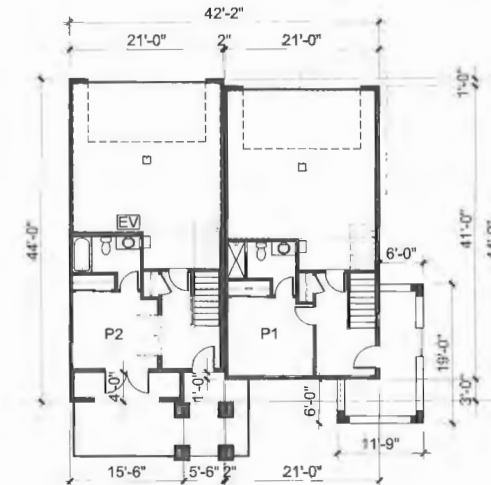
Roof



Level 3



Level 2



Level 1

Refer to Floor Plan Sheets (A5.0 series) for additional unit information, including room labels and room dimensions.  
\*\*Refer to Elevation Sheets (A2.0 series) for additional elevation information, including porch styles

## 133 ENCINAL AVENUE

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408.255.4100

## BUILDING G PLANS

MENLO PARK, CA  
KTGY # 2014-0032 10.14.2015

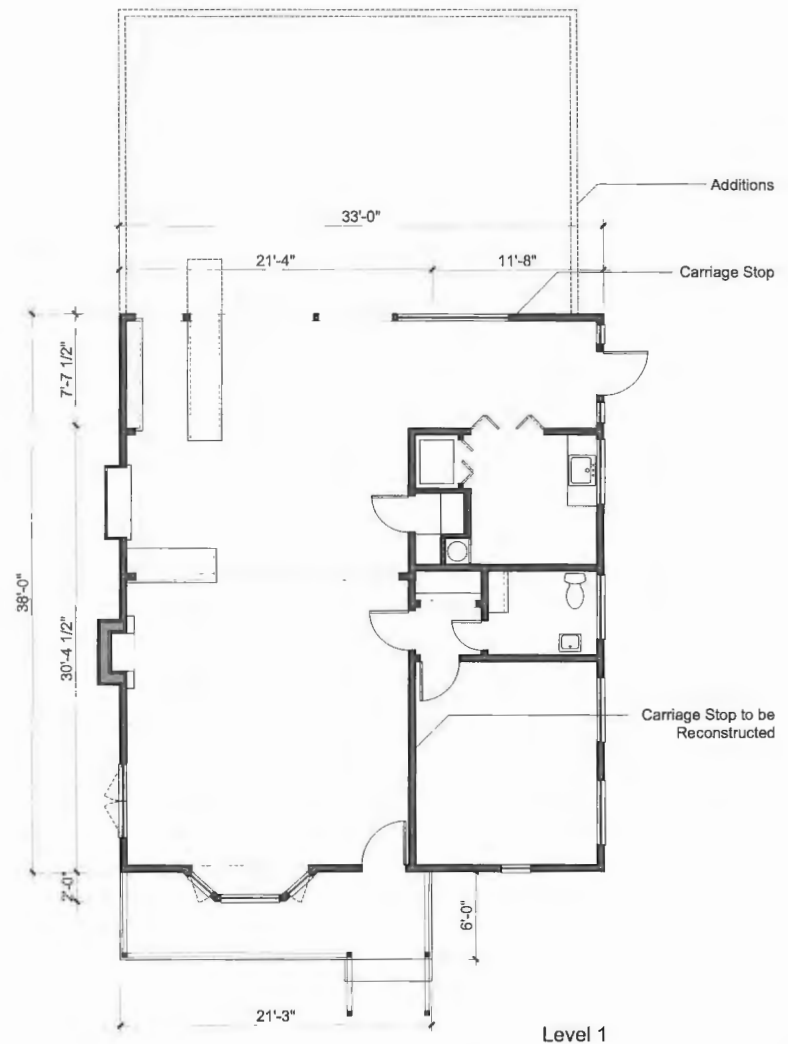
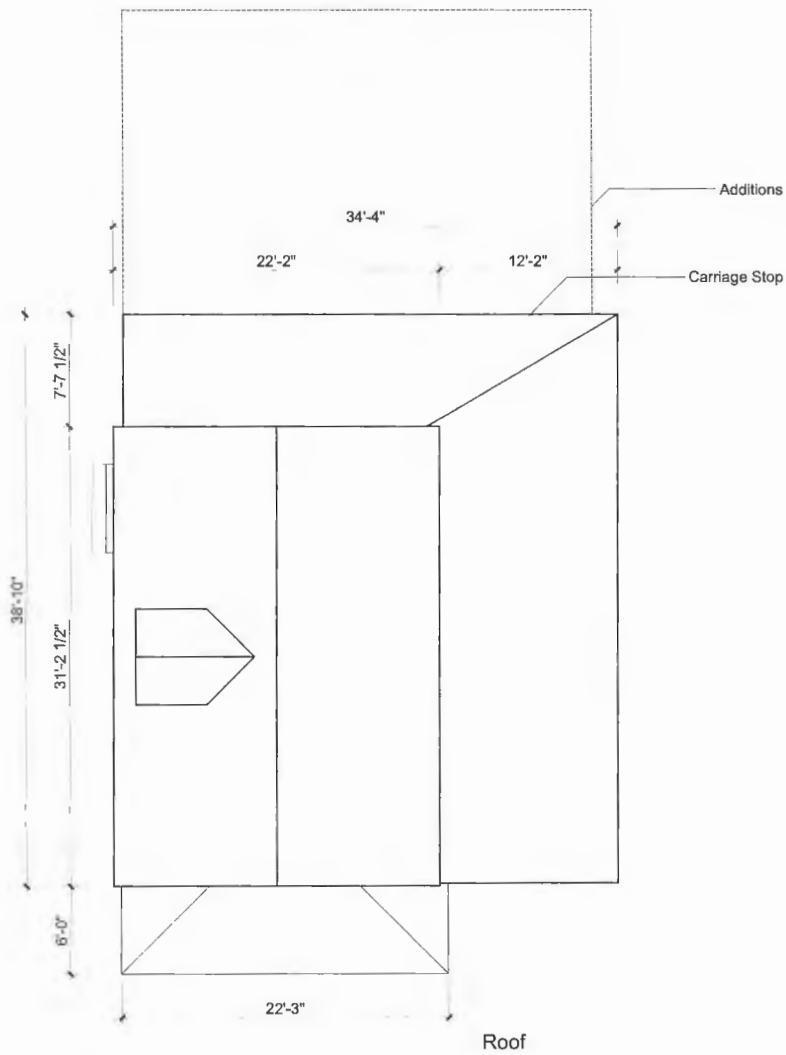
KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com



1/8" = 1'-0"

A3.6

D 26



Level 1

1/4" = 1'-0"

## 133 ENCINAL AVENUE

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Cupertino, CA 95014  
408.255.4100

## CARRIAGE STOP PLANS - EXISTING CONDITIONS

MENLO PARK, CA

KTGY # 1014-0032

10.14.2015

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com



A3.7a



9



6



3



8



5



2



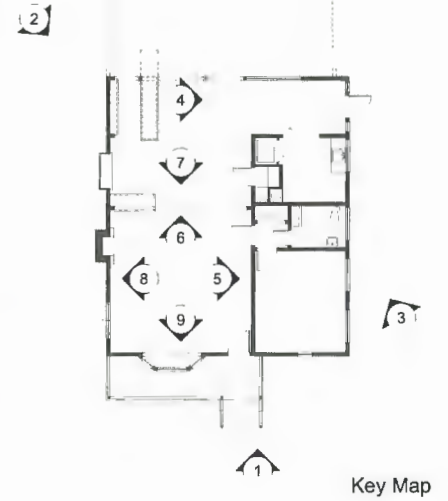
7



4



1



## 133 ENCINAL AVENUE

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Cupertino, CA 95014  
408.255.4100

## CARRIAGE STOP PHOTOS - EXISTING CONDITIONS

MENLO PARK, CA

KTGY # 2014-0032

10.14.2015

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Oakland, CA 94607  
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A3.7b



D 28



6. Window Trim

1 1/2" x 3" Drip  
Cap with Profile

2" x 4" Wood  
Window Trim

Wood Fixed  
Window  
Wood Casement  
Window



5. Guard Rail

2" x 4"  
Wood Top Rail

1" x 4"  
Wood Balusters

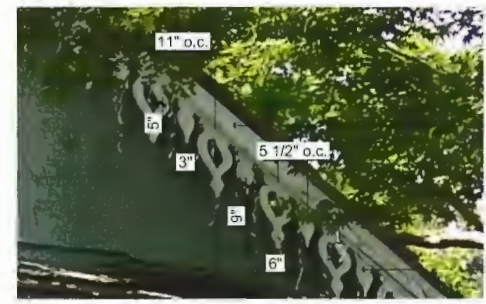
2" x 4"  
Wood Bottom Rail



2. Battens

1/2" x 2 1/2"  
Fiber Cement  
Batten

Fiber Cement  
Board

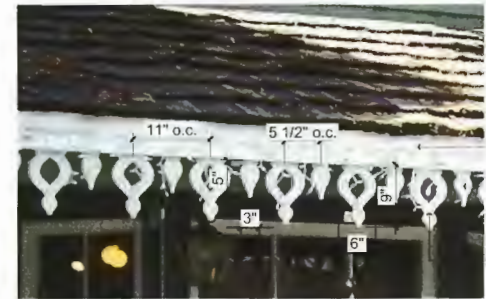


4. Rake Trim

2" x 6"  
Wood Bargeboard

Decorative  
Wood Trim

Decorative  
Wood Trim



1. Eave/Hipped Roof Trim

2" x 6" Trim

Decorative  
Wood Trim

Decorative  
Wood Trim



Key Elevation: Building H - Front

## 133 ENCINAL AVENUE

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Cupertino, CA 95014  
408.255.4100

## CARRIAGE STOP PHOTOS - EXISTING CONDITIONS

MENLO PARK, CA

KTGY 1P 2014-0032

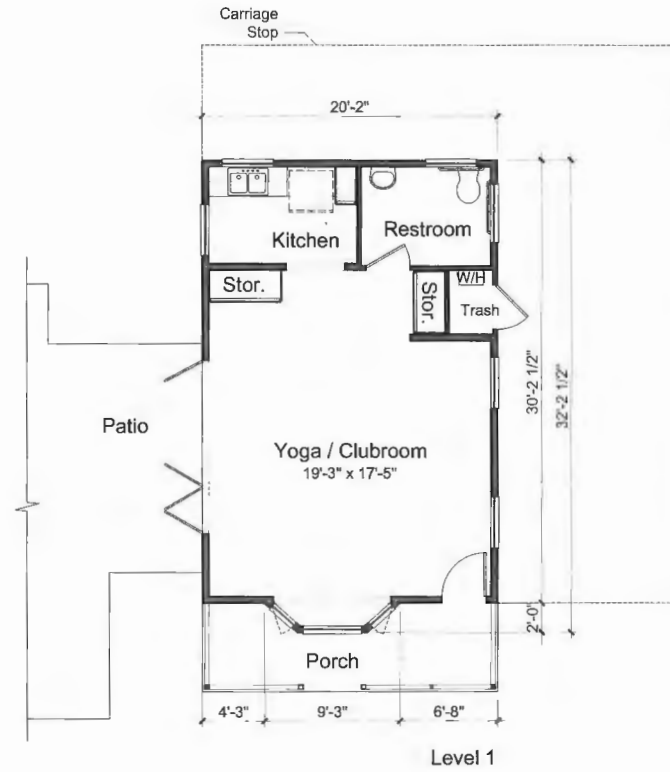
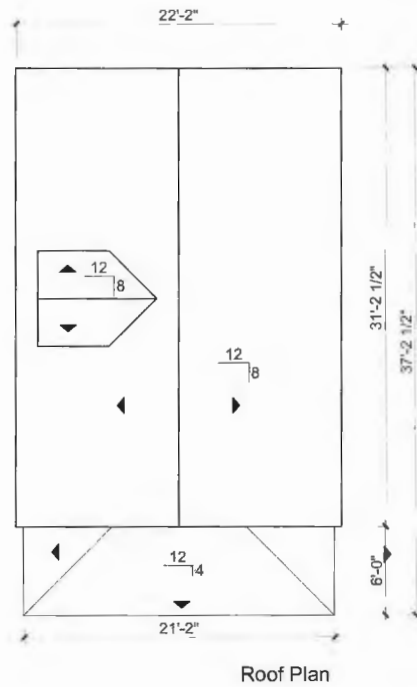
10 14 2015

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510.272.2910  
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A3.7c

D29



Key Map n.t.s.

## 133 ENCINAL AVENUE

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408.255.4100

## BUILDING H - PROPOSED PLANS

MENLO PARK, CA  
KTGY # 2014-0032 10.14.2015

KTGY Group, Inc.  
Architecture+Planning  
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Oakland, CA 94607  
510.272.2910  
ktgy.com

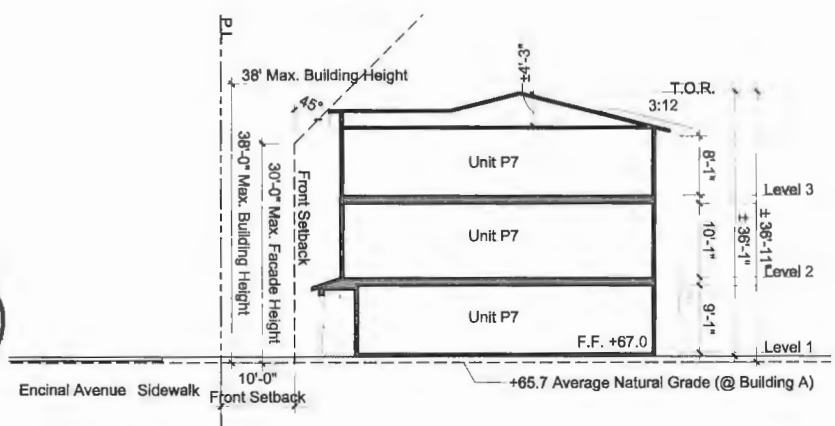
1/4" = 1'-0"

A3.7d

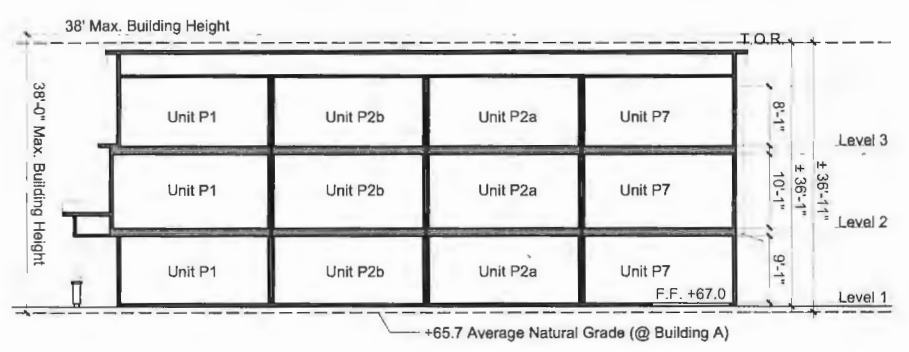
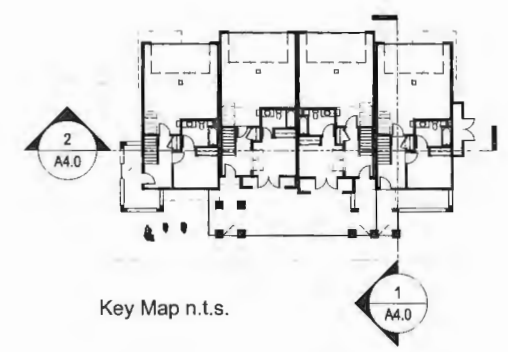




D 30



Section 1



Section 2

# 133 ENCINAL AVENUE

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408.255.4100

## CONCEPTUAL SECTIONS - BUILDING A

MENLO PARK, CA

KTGY # 2014-0032

10.14.2015

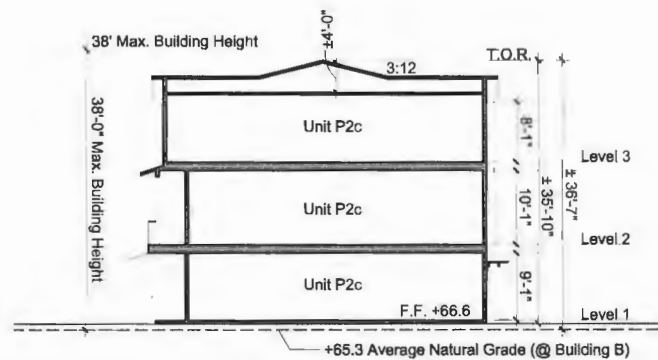
KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com



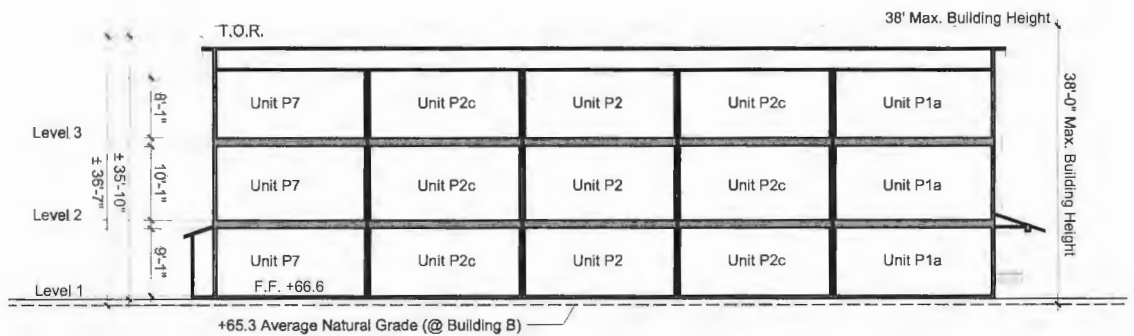
1/8" = 1'-0"

A4.0

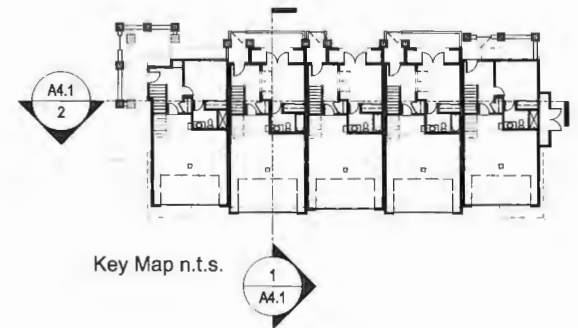
D 31



Section 1



Section 2



## 133 ENCINAL AVENUE

Hunter Properties Inc.  
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Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL SECTIONS - BUILDING B

MENLO PARK, CA

KTGY # 2014-0032

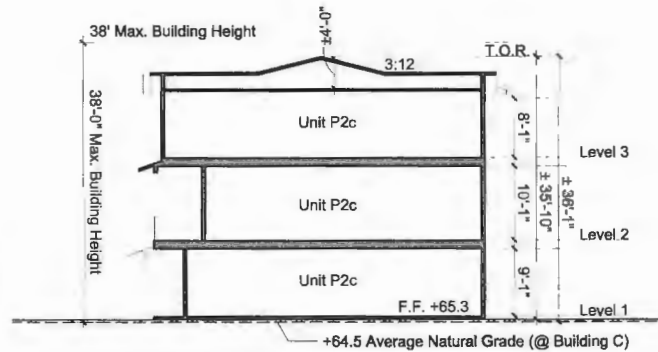
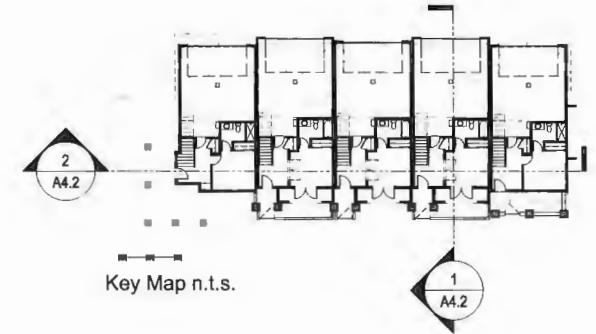
10.14.2015

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com

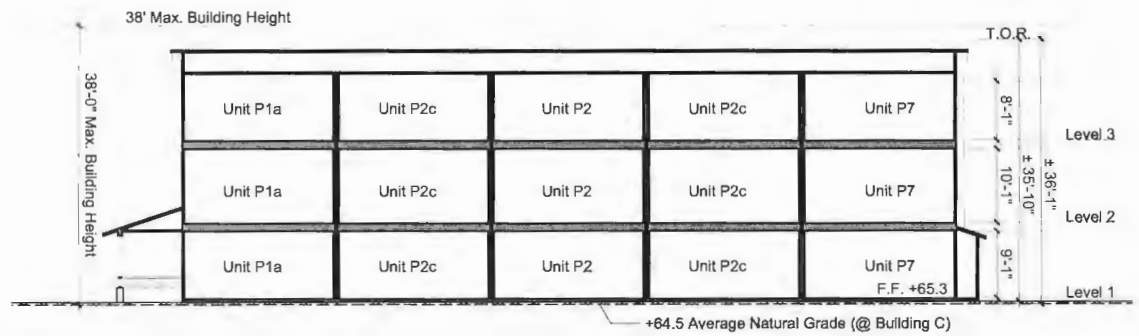


1/8" = 1'-0"

A4.1



Section 1



Section 2

## 133 ENCINAL AVENUE

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Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL SECTIONS - BUILDING C

MENLO PARK, CA

KTGY # 2014-0032

10.14.2015

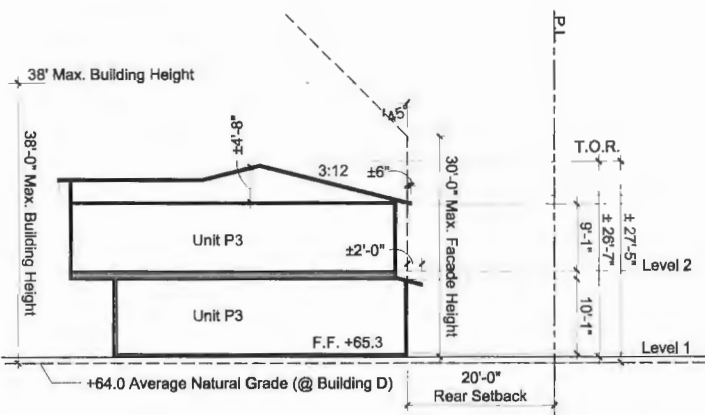
KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com



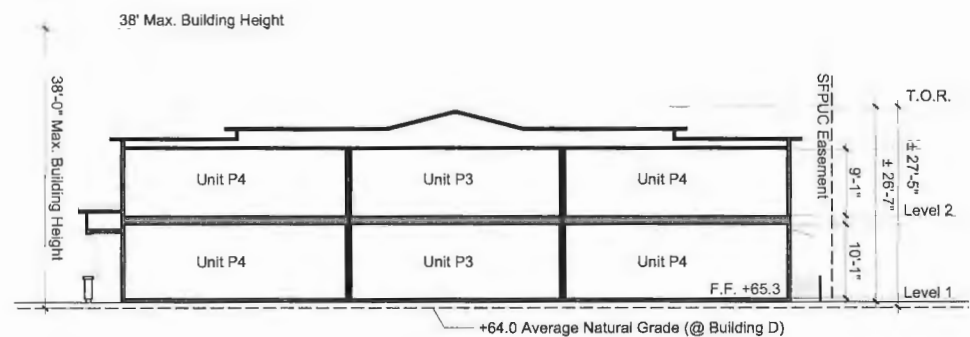
1/8" = 1'-0"

A4.2

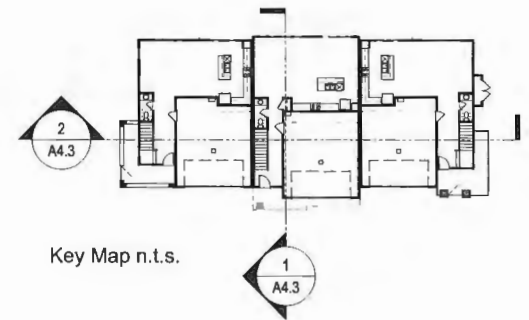
D 32



Section 1



Section 2



## 133 ENCINAL AVENUE

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Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL SECTION - BUILDING D

MENLO PARK, CA  
KTGY # 2016-2032 10.14.2015

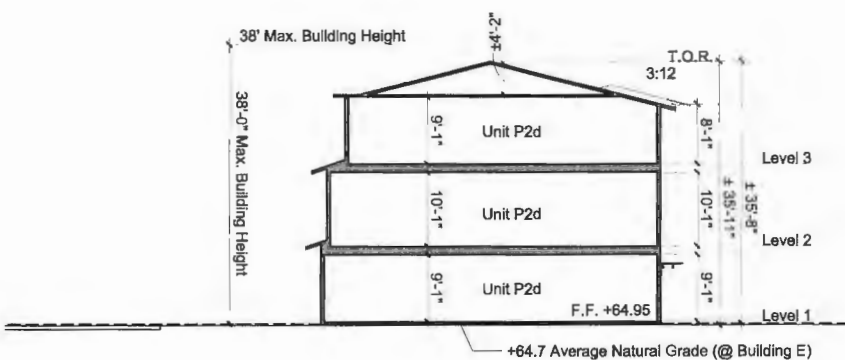
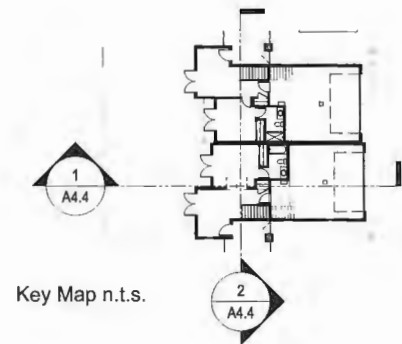
KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com



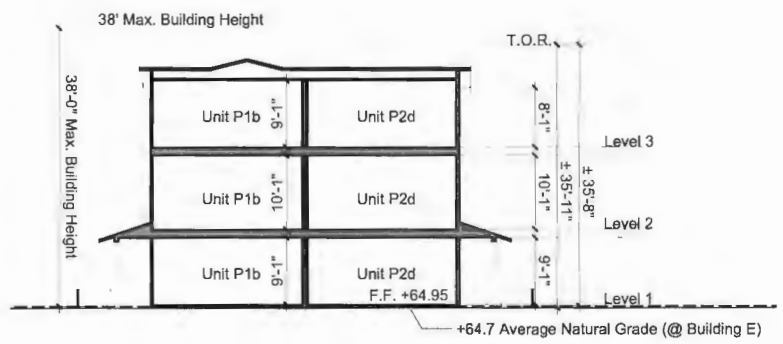
1/8" = 1'-0"

A4.3

D 34



Section 1



Section 2

# 133 ENCINAL AVENUE

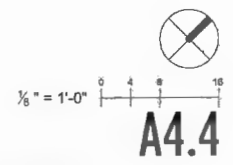
Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL SECTION - BUILDING E

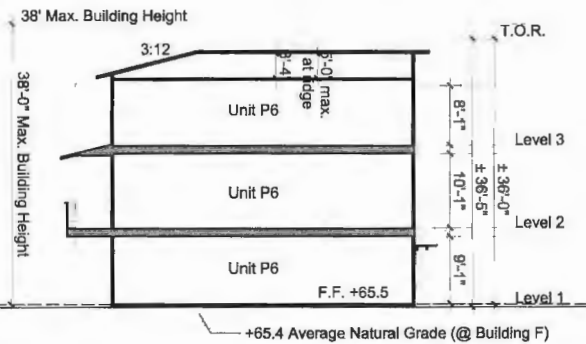
MENLO PARK, CA

KTGY # 2014-0032 10.14.2015

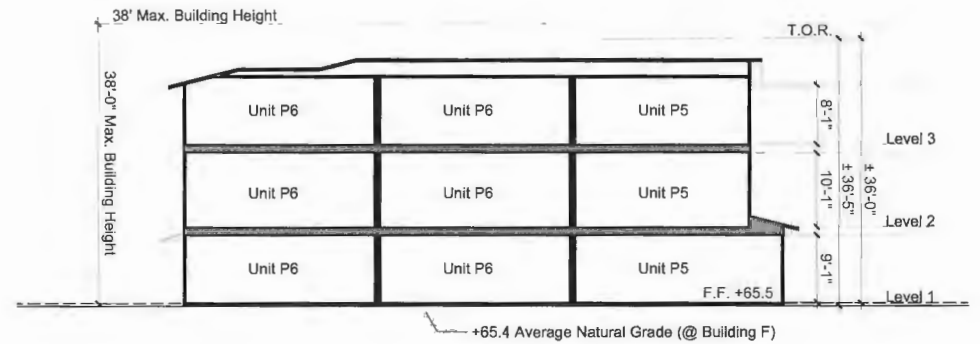
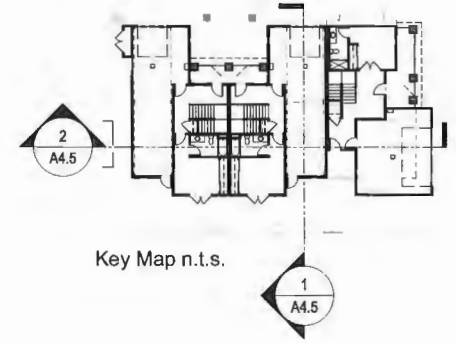
KTGY Group, Inc.  
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510.272.2910  
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D 35



Section 1



Section 2

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL SECTION - BUILDING F

MENLO PARK, CA  
KTGY # 2014-0032

10.14.2015

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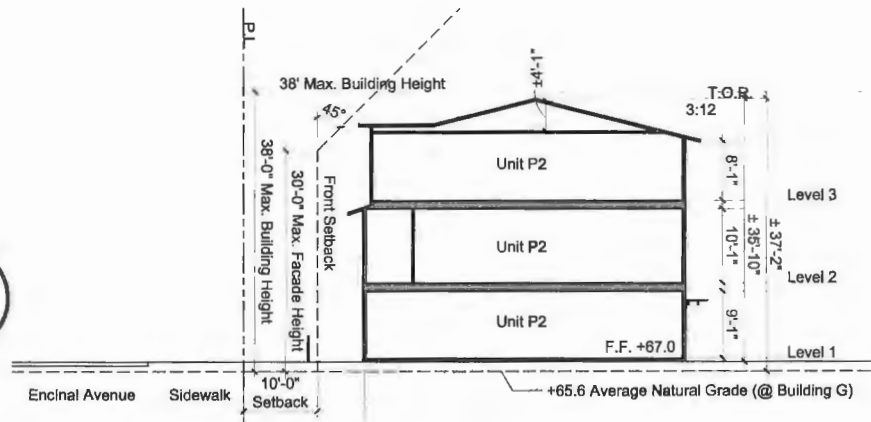


1/8" = 1'-0"

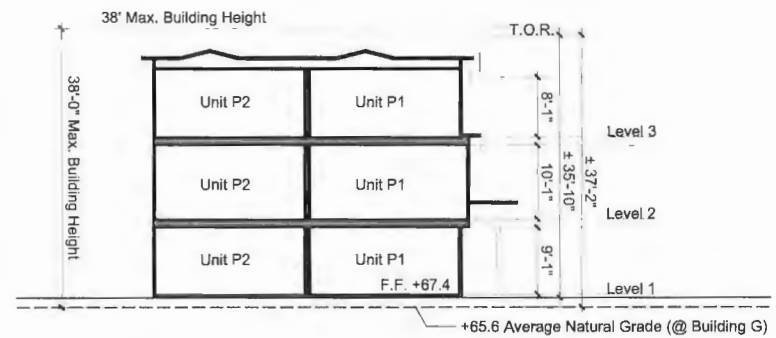
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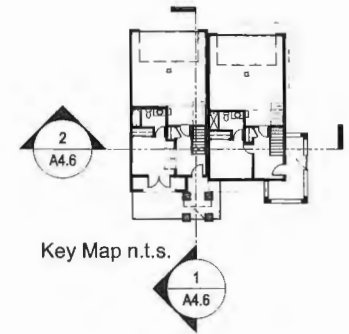
D 36



Section 1



Section 2



## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL SECTION - BUILDING G

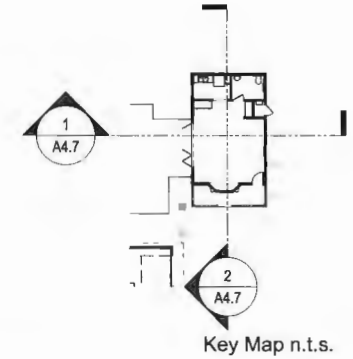
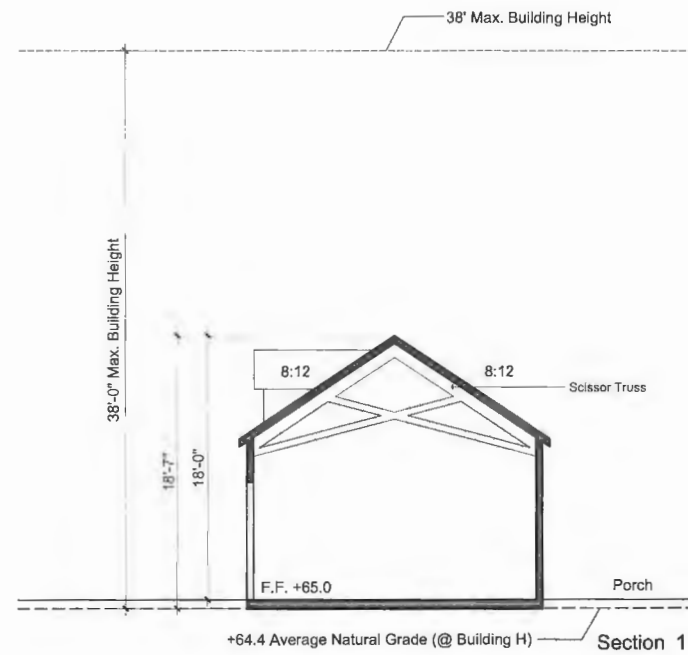
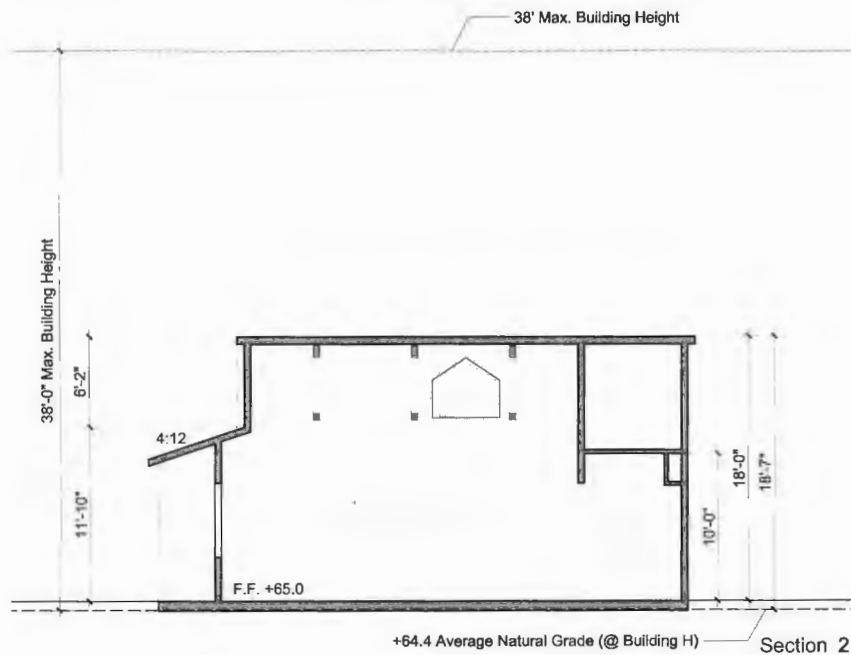
MENLO PARK, CA  
KTGY # 2014-0032 10/14/2015

KTGY Group, Inc.  
Architecture+Planning  
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Oakland, CA 94607  
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1/8" = 1'-0"

A4.6





133 ENCINAL AVENUE

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CONCEPTUAL SECTION - BUILDING H

MENLO PARK, CA

KTGY # 2014-2032

10/14/2015

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Oakland, CA 94607  
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1/4" = 1'-0"

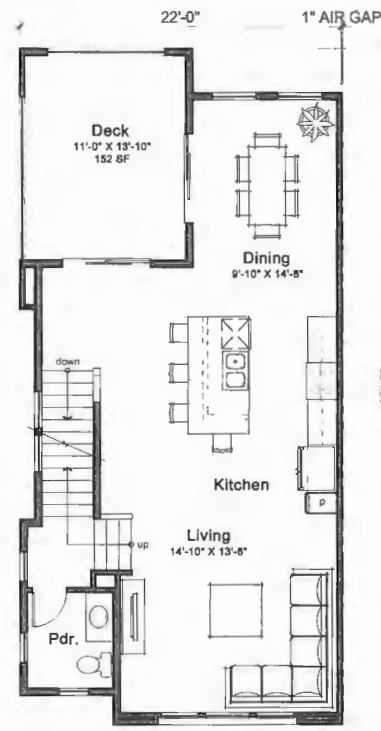
A4.7

D37

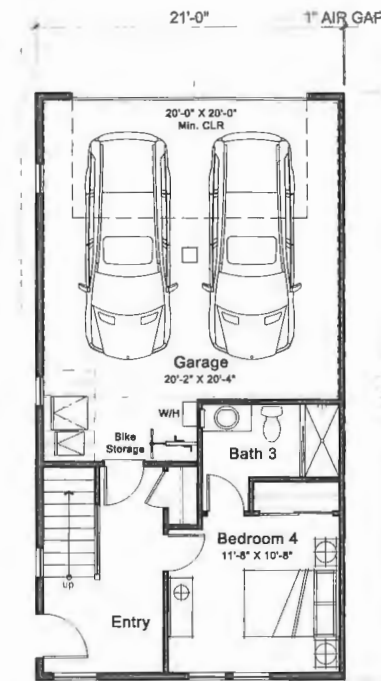
D 38



Third Floor



Second Floor



First Floor

Plan 1  
4 Bedroom / 3.5 Bath  
1,913 Net SF

note: Unit net area measured to inside face of stud.

1/4" = 1'-0"

A5.0

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE I

MENLO PARK, CA

KTGY # 2014-0202

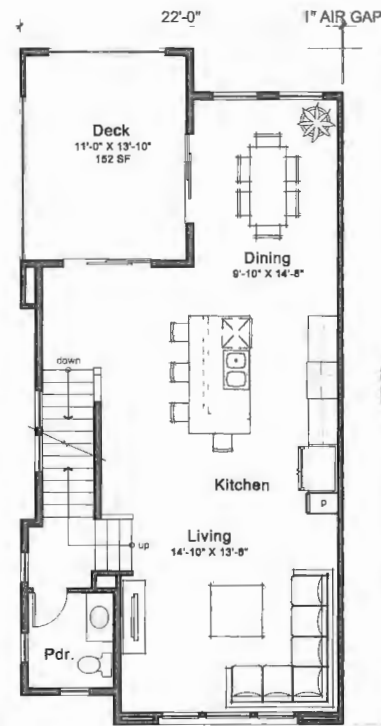
10/14/2015

KTGY Group, Inc.  
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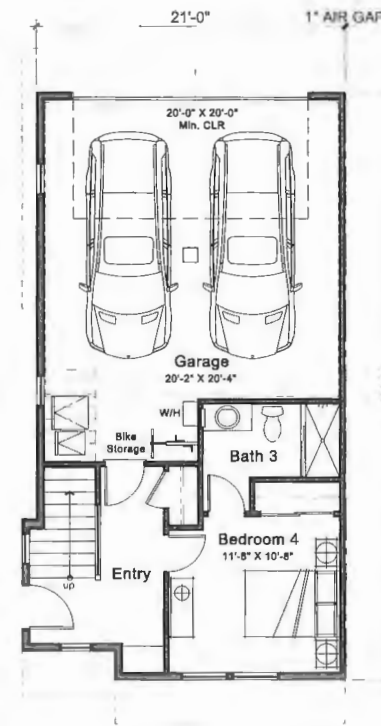




Third Floor



Second Floor



First Floor

Plan 1A  
4 Bedroom / 3.5 Bath  
1,909 Net SF

039

ote: Unit net area measured to inside face of stud.

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
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Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 1A

MENLO PARK, CA

KTGY # 2014-0032

10.14.2015

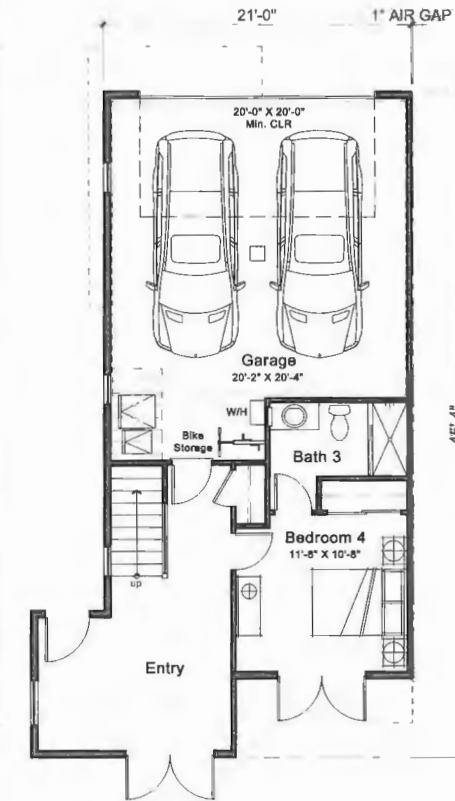
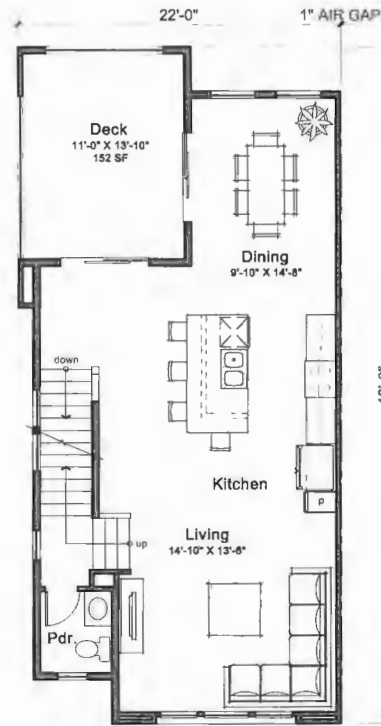
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Oakland, CA 94607  
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ktgy.com

1/4" = 1'-0"

A5.1



D40



Plan 1B  
4 Bedroom / 3.5 Bath  
1,985 Net SF

Note: Unit net area measured to inside face of stud.

## 133 ENCINAL AVENUE

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Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 1B

MENLO PARK, CA

KIT # 2014-0032

10/14/2015

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1/4" = 1'-0"

A5.2

D41



Plan 2  
4 Bedroom / 3.5 Bath  
1,907 Net SF

Note: Unit net area measured to inside face of stud.  
\*air gap at interior walls only  
\*\* As occurs - see building plans for window location

**133 ENCINAL AVENUE**

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 2

MENLO PARK, CA  
KTGY # 2014-0032 10.14.2015

KTGY Group, Inc.  
Architecture+Planning  
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Oakland, CA 94607  
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1/4" = 1'-0" 0 2 4 8

A5.3





D42



Plan 2A  
4 Bedroom / 3.5 Bath  
1,939 Net SF

Note: Unit net area measured to inside face of stud.

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
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Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 2A

MENLO PARK, CA  
KTGY # 2014-0032 10.14.2015

KTGY Group, Inc.  
Architecture+Planning  
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Oakland, CA 94607  
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1/4" = 1'-0"

A5.4



D43



Plan 2B  
4 Bedroom / 3.5 Bath  
1,892 Net SF

Note: Unit net area measured to inside face of stud.

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
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Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 2B

MENLO PARK, CA

KTGY # 2014-0032

10 14 2015

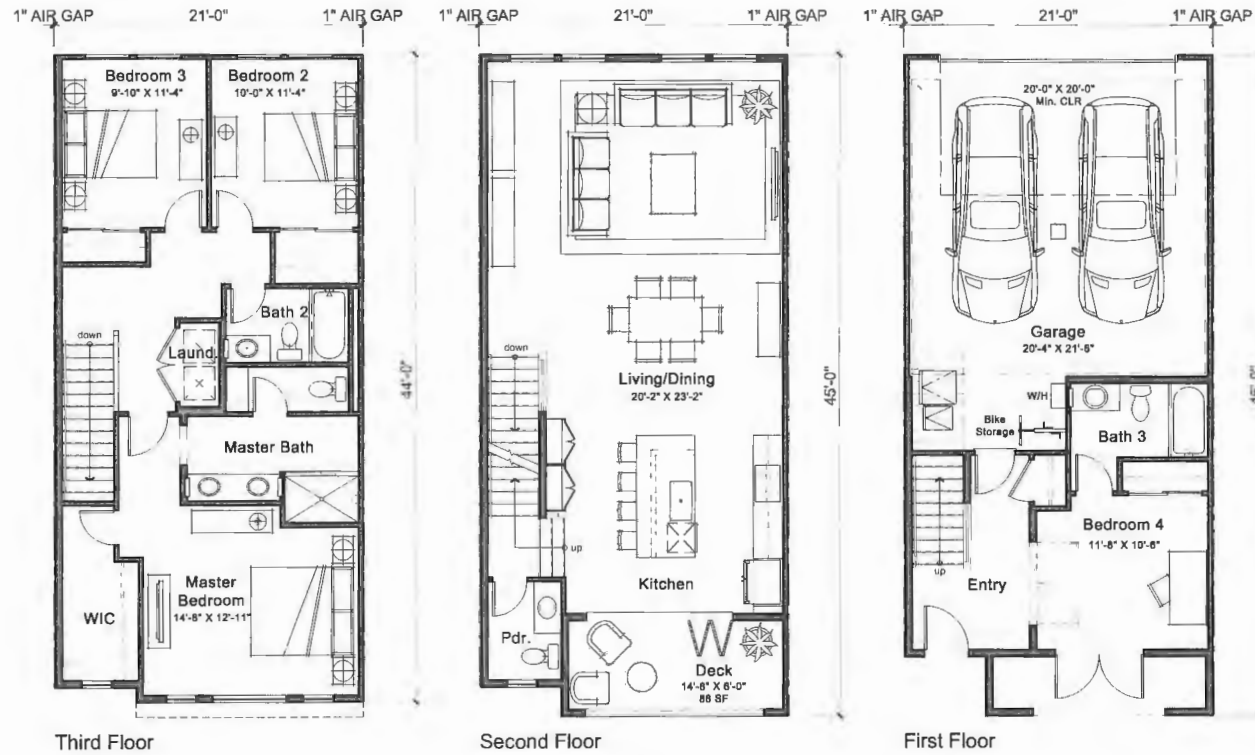
KTGY Group, Inc.  
Architecture+Planning  
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Oakland, CA 94607  
510.272.2910  
ktgy.com

1/4" = 1'-0"

A5.5



DATA



Plan 2C  
4 Bedroom / 3.5 Bath  
1,956 Net SF

note: Unit net area measured to inside face of stud.

## 133 ENCINAL AVENUE

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Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 2C

MENLO PARK, CA

KTGY # 2014-0032

10/14/2015

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Architecture+Planning  
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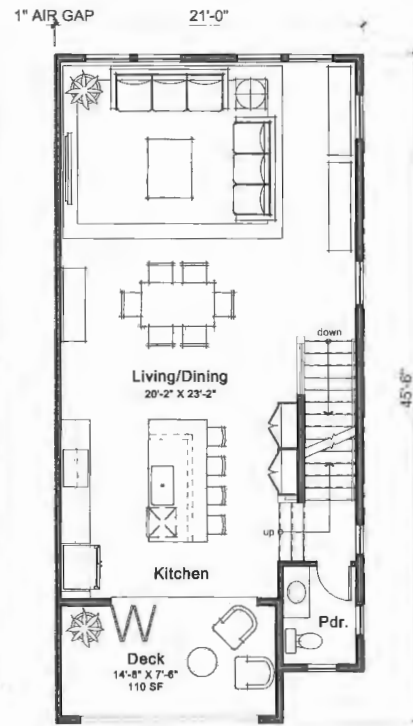
1/4" = 1'-0"

A5.6

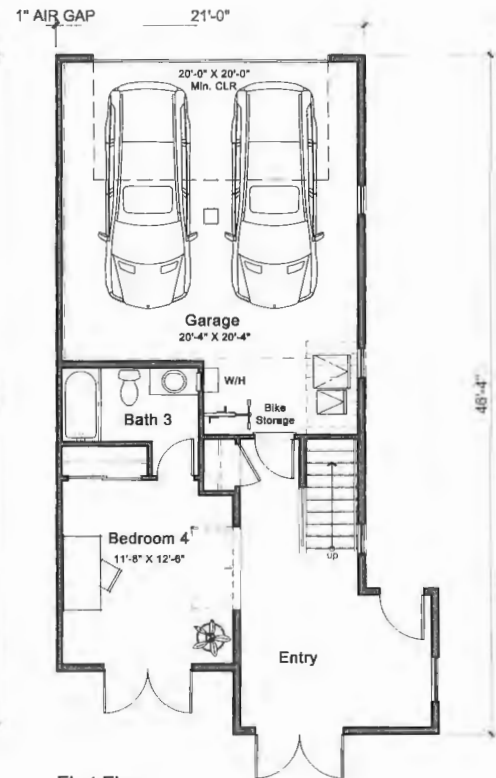
045



Third Floor



Second Floor



First Floor

Plan 2D  
4 Bedroom / 3.5 Bath  
2,031 Net SF

Note: Unit net area measured to inside face of stud.

## 133 ENCINAL AVENUE

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408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 2D

MENLO PARK, CA

KTGY # 2014-0632

10/14/2015

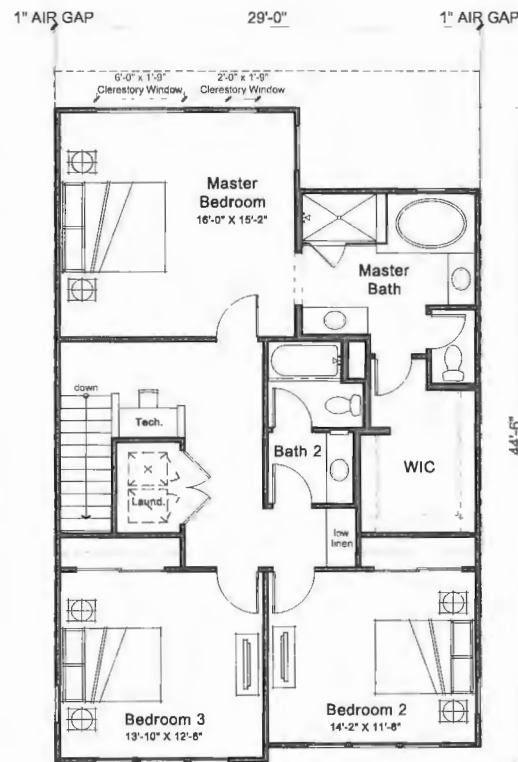
KTGY Group, Inc.  
Architecture+Planning  
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Oakland, CA 94607  
510.272.2910  
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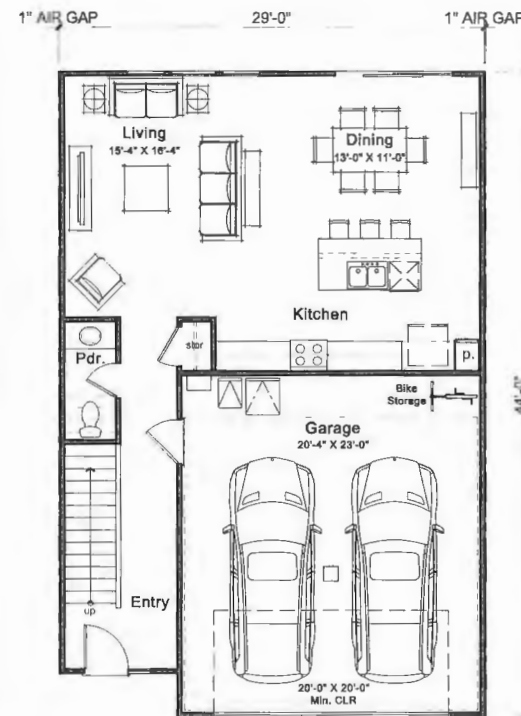
1/4" = 1'-0"

A5.7

D46



Second Floor



First Floor

Plan 3  
3 Bedroom / 2.5 Bath  
1,874 Net SF

Note: Unit net area measured to inside face of stud.

1/4" = 1'-0"

A5.8

## 133 ENCINAL AVENUE

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Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 3

MENLO PARK, CA

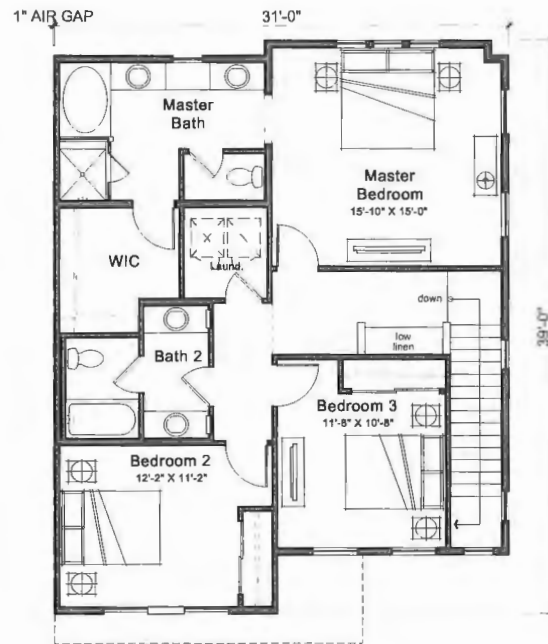
KTGY # 2014-0632

10.14.2015

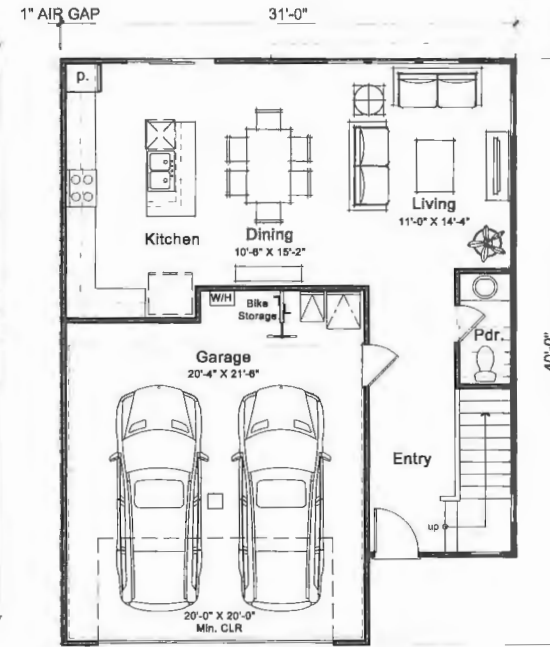
KTGY Group, Inc.  
Architecture+Planning  
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Oakland, CA 94607  
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D47



Second Floor



First Floor

Plan 4  
3 Bedroom / 2.5 Bath  
1,721 Net SF

Note: Unit net area measured to inside face of stud.

## 133 ENCINAL AVENUE

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408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 4

MENLO PARK, CA

KTGY # 2014-0032

10/14/2015

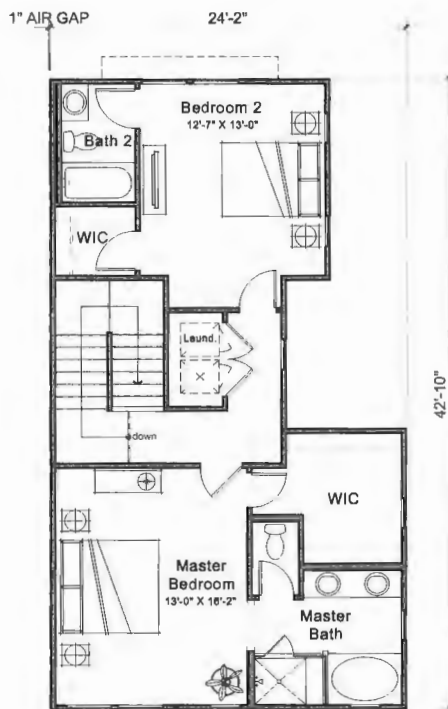
KTGY Group, Inc.  
Architecture+Planning  
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Oakland, CA 94607  
510.272.2910  
ktgy.com

1/4" = 1'-0"

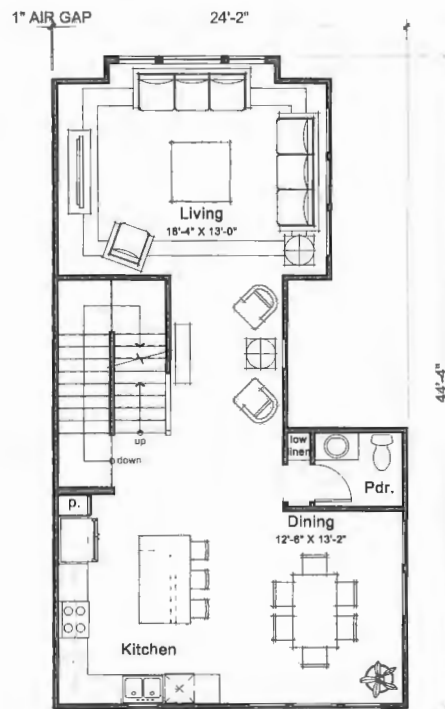
A5.9



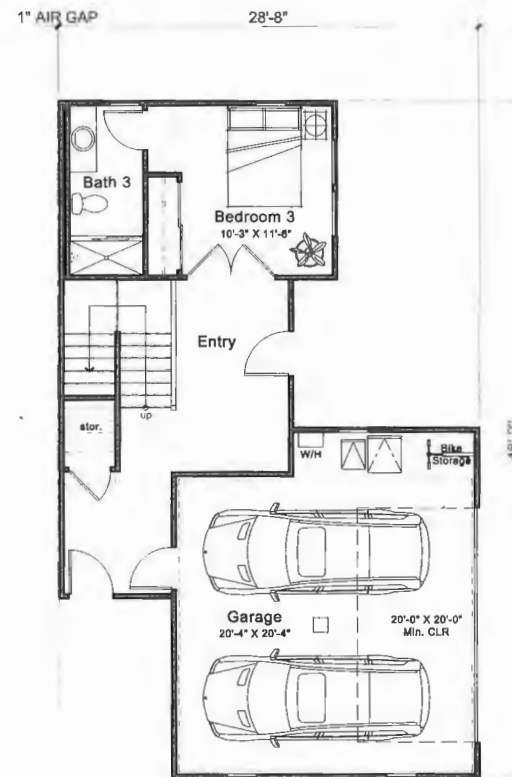




Third Floor



Second Floor



First Floor

Plan 5  
3 Bedroom / 3.5 Bath  
2,106 Net SF

Note: Unit net area measured to inside face of stud.

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
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Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 5

MENLO PARK, CA  
KTGY # 2014-0632 10/14/2015

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Architecture+Planning  
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Oakland, CA 94607  
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1/4" = 1'-0"

A5.10





Plan 6  
4 Bedroom / 4 Bath  
2,131 Net SF

ote: Unit net area measured to inside face of stud.  
\*air gap at interior walls only  
\*\* As occurs - see building plans for window location

133 ENCINAL AVENUE

Hunter Properties Inc.  
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Cupertino, CA 95014  
408.255.4100

CONCEPTUAL FLOOR PLANS - PLAN TYPE 6

MENLO PARK, CA

KTGY # 1014-2032

10/14/2015

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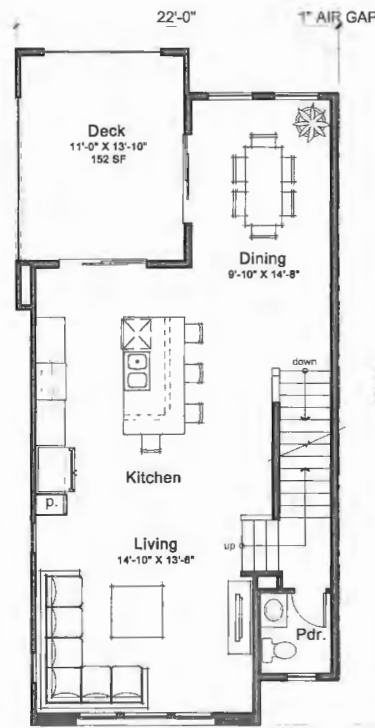
1/4" = 1'-0"

A5.11

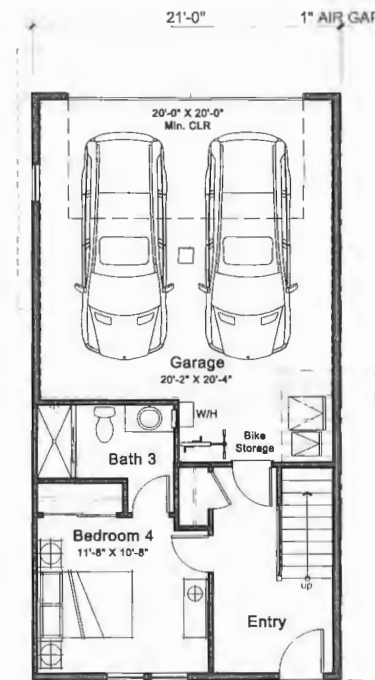




Third Floor



Second Floor



First Floor

Plan 7  
4 Bedroom / 3.5 Bath  
1,889 Net SF

Note: Unit net area measured to inside face of stud.

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
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Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 7

MENLO PARK, CA

KTGY # 2014-0032

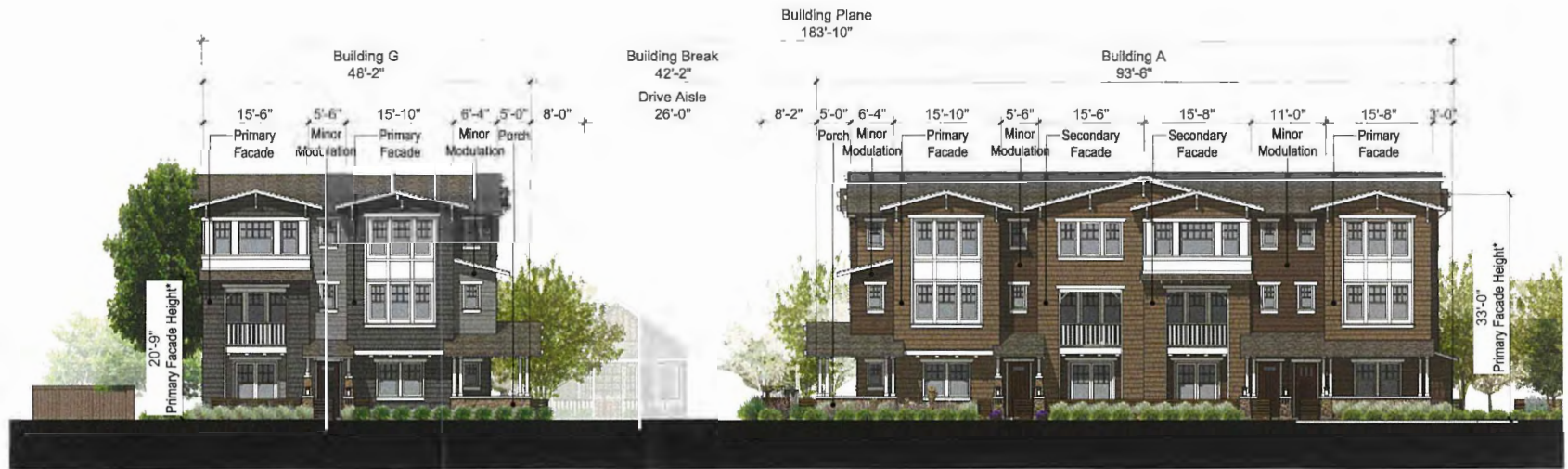
10.14.2015

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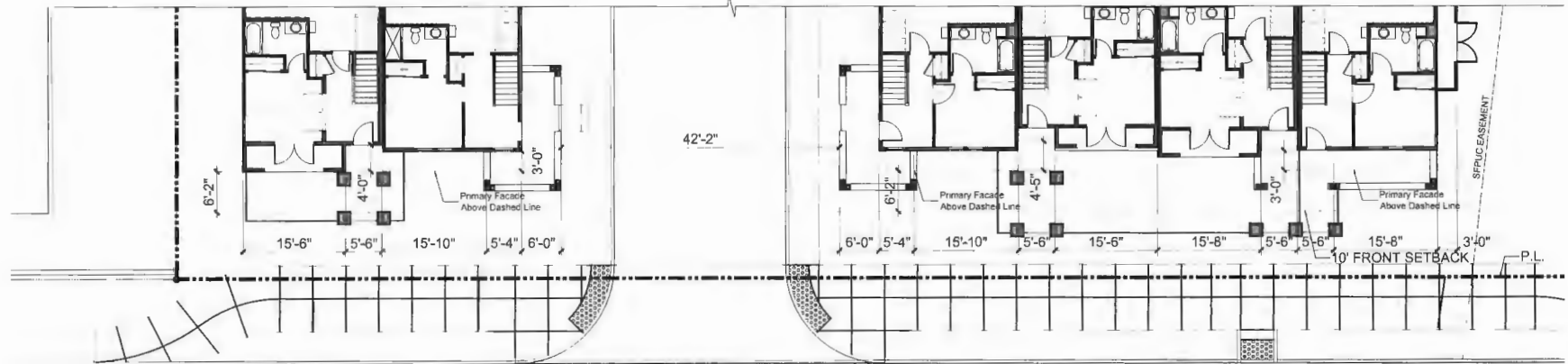
1/4" = 1'-0"

A5.12



1. Encinal Avenue Elevation

\*Note: The Primary Building Facade is set back an additional 6'-2" from the Minimum Required Setback and complies with the 30' Maximum Facade Height with a 45° Building Profile. Sections appear on A4.0 and A4.6.



2. Ground Level Plan

1/8" = 1'-0"

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## BUILDING BREAK & MODULATION EXHIBIT

MENLO PARK, CA

KTGY # 1014-2032

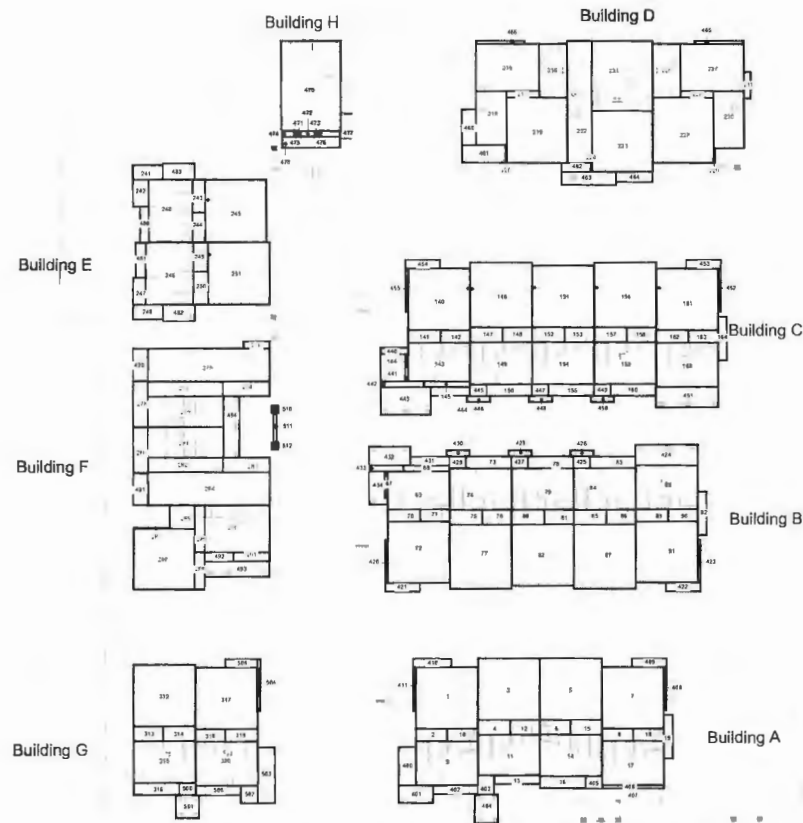
10.14.2015

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A6.0

052



1" = 20'-0"

A6.1a

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
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## SITE COVERAGE CALCULATIONS

MENLO PARK, CA  
KTGY # 2014-0032

10/14/2015

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Oakland, CA 94607  
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Building A - Site Coverage			
Name	Length (Feet)	Width (Feet)	Area (SF)
1	20.958	21.208	444
2	4.250	10.625	45
3	21.167	20.958	444
4	5.042	11.083	56
5	21.167	20.958	444
6	5.042	10.500	53
7	21.208	20.958	444
8	4.250	10.583	45
9	15.042	21.208	319
10	4.250	10.584	45
11	13.834	21.167	293
12	5.042	10.083	51
13	3.000	15.708	47
14	14.250	21.167	302
15	5.042	10.667	54
16	4.000	15.708	63
17	15.042	21.208	319
18	4.250	10.625	45
19	14.917	3.000	45
400	5.875	13.125	77
401	11.750	5.875	69
402	2.875	15.364	44
403	6.458	5.427	35
404	8.000	9.833	79
405	5.458	4.000	22
406	1.000	21.186	21
407	27.667	4.875	135
408	14.792	0.875	13
409	2.875	11.833	34
410	2.875	12.940	37
411	14.792	0.905	13
Total			4137

Building B - Site Coverage			
Name	Length (Feet)	Width (Feet)	Area (SF)
67	9.250	1.000	9
68	15.875	2.000	32
69	13.042	21.208	277
70	4.250	11.125	47
71	4.250	10.083	43
72	20.958	21.208	444
73	15.708	4.000	63
74	14.250	21.167	302
75	5.042	11.083	56
76	5.042	10.083	51
77	21.958	21.167	465
78	4.000	15.708	63
79	14.250	21.167	302
80	5.042	11.083	56
81	5.042	10.083	51
82	20.958	21.167	444
83	4.000	15.709	63
84	14.250	21.167	302
85	5.042	11.083	56
86	5.042	10.083	51
87	21.958	21.167	465
88	21.208	15.042	319
89	4.250	11.083	47
90	4.250	10.125	43
91	20.958	21.208	444
92	14.917	3.000	45
420	14.792	0.875	13
421	2.875	11.833	34
422	2.875	11.833	34
423	14.792	0.874	13
424	6.875	21.292	146
425	4.000	5.542	22
426	2.042	8.000	16
427	4.000	5.542	22
428	2.042	8.000	16
429	4.000	5.542	22
430	2.042	8.000	16
431	2.875	13.417	39
432	6.375	14.083	90
433	2.000	11.736	23
434	11.375	6.375	73
Total			5119

Building C - Site Coverage			
Name	Length (Feet)	Width (Feet)	Area (SF)
140	20.958	21.208	444
141	4.250	11.125	47
142	4.250	10.083	43
143	13.042	21.208	277
144	9.250	1.000	9
145	15.875	2.000	32
146	21.958	21.167	465
147	5.042	11.083	56
148	5.042	10.083	51
149	14.250	21.167	302
150	15.708	4.000	63
151	20.958	21.167	444
152	5.042	11.083	56
153	5.042	10.083	51
154	14.250	21.167	302
155	4.000	15.708	63
156	21.958	21.167	465
157	5.042	11.083	56
158	5.042	10.083	51
159	14.250	21.167	302
160	4.000	15.709	63
161	20.958	21.208	444
162	4.250	11.083	47
163	4.250	10.125	43
164	14.917	3.000	45
165	21.208	15.042	319
440	2.125	9.402	20
441	8.375	9.250	77
442	14.735	2.000	29
443	17.110	9.375	160
444	13.417	2.875	39
445	5.542	4.000	22
446	8.000	2.042	16
447	5.542	4.000	22
448	8.000	2.042	16
449	5.542	4.000	22
450	8.000	2.042	16
451	21.292	6.875	146
452	0.874	14.792	13
453	11.833	2.875	34
454	11.833	2.875	34
455	0.875	14.792	13
Total			5219

Building D - Site Coverage			
Name	Length (Feet)	Width (Feet)	Area (SF)
215	21.625	15.958	345
216	9.583	18.125	174
217	2.167	11.167	24
218	10.458	18.292	191
219	22.125	20.750	459
220	1.125	6.000	7
221	20.750	23.625	490
222	8.417	41.250	347
223	20.625	20.750	428
224	0.458	3.000	1
225	9.583	18.125	174
226	11.167	2.167	24
227	21.625	15.958	345
228	20.750	22.125	459
229	0.458	5.000	2
230	19.292	10.458	202
460	4.875	12.125	59
461	14.875	5.875	87
462	10.167	3.000	30
463	4.375	18.867	82
464	3.375	12.500	42
465	16.792	1.000	17
466	16.792	1.000	17
Total			4006

Building E - Site Coverage			
Name	Length (Feet)	Width (Feet)	Area (SF)
240	15.042	21.208	319
241	10.250	5.000	51
242	5.333	9.250	49
243	4.250	11.125	47
244	4.250	10.083	43
245	21.208	20.958	444
246	21.208	16.249	345
247	9.250	4.333	40
248	10.250	5.000	51
249	5.042	10.083	51
250	5.042	11.125	56
251	21.208	20.958	444
480	12.042	2.875	35
481	11.875	3.376	40
482	10.874	5.500	60
483	10.874	5.500	60
Total			2135

- NOTES:
1. All areas have been measured to the exterior finish.
  2. SF data column sums may differ slightly from totals due to rounding of SF numbers.

133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

SITE COVERAGE CALCULATIONS

MENLO PARK, CA  
KTGY # 2014-0632

10/14/2015

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com



A6.1b



## Site Coverage Summary:

Additional Site Coverage			
Name	Length (Feet)	Width (Feet)	Area (SF)
510	2.333	2.333	5
511	10.104	1.000	10
512	2.333	2.333	5
Total			20

Building H - Site Coverage			
Name	Length (Feet)	Width (Feet)	Area (SF)
470	30.458	20.417	622
471	2.000	2.250	2
472	4.750	2.000	9
473	3.010	1.495	2
474	2.000	4.083	8
475	2.000	2.250	2
476	2.250	2.000	2
477	6.500	2.000	13
478	3.708	19.833	74
Total			734

Building G - Site Coverage			
Name	Length (Feet)	Width (Feet)	Area (SF)
312	21.208	20.958	444
313	5.042	10.125	51
314	5.042	11.083	56
315	14.250	21.208	302
316	15.750	4.000	63
317	21.208	20.958	444
318	4.250	10.083	43
319	4.250	11.125	47
320	15.042	21.208	319
500	5.375	4.042	22
501	7.833	8.000	63
502	5.874	5.875	35
503	19.000	5.875	112
504	17.667	1.000	18
505	2.875	10.833	31
506	16.417	3.042	47
Total			2097

Building F - Site Coverage			
Name	Length (Feet)	Width (Feet)	Area (SF)
274	15.958	4.958	79
275	41.583	11.292	470
276	8.917	2.333	21
277	25.625	4.958	127
278	15.625	5.000	78
279	25.917	10.375	269
280	5.000	15.625	78
281	25.917	10.375	269
282	25.625	4.958	127
283	15.958	4.958	79
284	41.589	11.250	468
285	8.458	8.083	68
286	20.792	20.792	432
287	12.333	0.458	6
288	12.792	3.458	44
289	3.458	16.083	56
290	16.125	22.167	357
291	3.000	12.417	37
490	5.000	11.000	55
491	10.875	5.000	54
492	3.000	9.750	29
493	5.375	22.042	118
494	20.750	5.375	112
Total			3433

Site Plan Square Footage	
Building A	4137
Building B	5119
Building C	5219
Building D	4006
Building E	2135
Building F	3433
Building G	2097
Building H	734
Additional Site Coverage	20
Total Site Coverage	26900
Total Site Area	75,612
Coverage as Percent of Site Area	38%

### NOTES:

1. All areas have been measured to the exterior finish.
2. SF data column sums may differ slightly from totals due to rounding of SF numbers.

133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
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408.255.4100

SITE COVERAGE CALCULATIONS

MENLO PARK, CA

KIT # 2014-0032

10/14/2015

KTGY Group, Inc.  
Architecture+Planning  
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Oakland, CA 94607  
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A6.1c

D54

D55



Encinal Avenue

Site Open Space Requirements		
Project Site Area:		±1.74 ac (75,612 sf)
Open Space Required:	30% of Site	22,684 sf
Open Space Provided		
Total Area:	42% of Site	31,675 sf
Excess Open Space Area Provided:		8,991 sf
Site Open Space is defined per Zoning Ordinance 16.04.500: "Open space" means that portion of the building site open, unobstructed and unoccupied from the ground upward; including walkways, landscaping, uncovered patios and uncovered recreation facilities.		

133 ENCINAL AVENUE

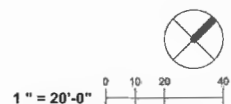
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Cupertino, CA 95014  
408.255.4100

SITE OPEN SPACE CALCULATION

MENLO PARK, CA  
KTGY # 2014-0032

10.14.2015

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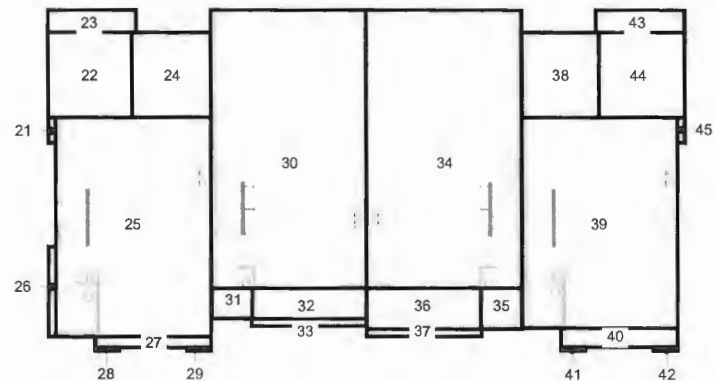


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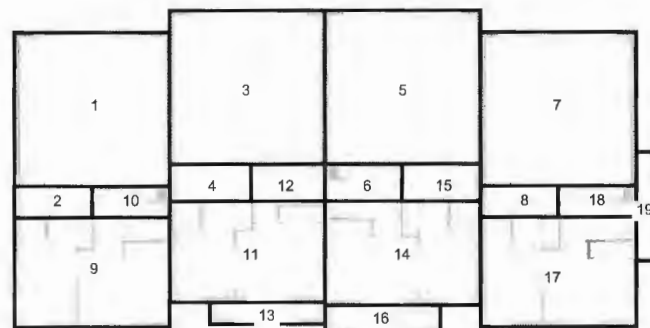
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Level 3

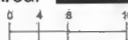


Level 2



Level 1

Included in Gross Floor Area:   
Excluded from Gross Floor Area: 

1/8" = 1'-0" 

## 133 ENCINAL AVENUE

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## BUILDING A AREA CALCULATIONS

MENLO PARK, CA  
KTGY # 2014-0032 10/14/2015

KTGY Group, Inc.  
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A6.2a

Building A - Level 1 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
2	4.250	10.625	45
4	5.042	11.083	56
6	5.042	10.500	53
8	4.250	10.583	45
9	15.042	21.208	319
10	4.250	10.584	45
11	13.634	21.167	293
12	5.042	10.083	51
13	3.000	15.708	47
14	14.250	21.167	302
15	5.042	10.667	54
16	4.000	15.708	63
17	15.042	21.208	319
18	4.250	10.625	45
Total SF			1737

Building A - Level 2 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
22	11.461	11.458	131
23	12.083	3.000	36
24	11.458	10.749	123
25	29.792	21.208	632
26	12.250	1.000	12
27	15.875	1.500	24
30	37.625	21.167	796
31	5.500	4.209	23
32	4.209	15.583	66
33	1.000	15.708	16
34	37.625	21.167	796
35	5.625	5.583	31
36	5.625	15.583	88
37	1.000	15.708	16
38	10.585	11.458	121
39	21.208	28.792	609
40	15.915	2.625	42
43	12.083	3.000	36
44	11.825	11.458	133
Total SF			3731

Building A - Level 1 Excluded			
Level 1 - Garage			
Per zoning Ordinance 16.04.325 (C)(3)			
Name	Length (Feet)	Width (Feet)	Area (SF)
1	20.958	21.208	444
3	21.167	20.958	444
5	21.167	20.958	444
7	21.208	20.958	444
19	14.917	3.000	45
Total SF			1821

Building A - Level 2 Excluded			
*Non-occupiable Spaces			
Per zoning Ordinance 16.04.325 (C)(1)			
Name	Length (Feet)	Width (Feet)	Area (SF)
21	3.458	1.002	3
28	0.500	3.332	2
29	3.293	0.500	2
41	0.500	3.333	2
42	0.500	3.332	2
45	3.458	1.002	3
Total SF			14

Building A - Level 3 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
50	16.792	12.083	199
51	13.792	10.418	144
52	26.458	21.208	561
53	15.875	2.500	40
56	41.833	21.167	885
57	1.000	15.707	16
58	43.250	21.167	915
59	1.000	15.707	16
60	10.127	14.917	151
61	17.917	12.083	216
62	21.208	25.333	537
63	15.915	2.500	40
Total SF			3720

Building A - Level 3 Excluded			
*Non-occupiable Spaces			
Per zoning Ordinance 16.04.325 (C)(1)			
Name	Length (Feet)	Width (Feet)	Area (SF)
49	1.125	1.002	1
54	0.500	3.332	2
55	3.293	0.500	2
64	0.500	3.333	2
65	0.500	3.332	2
Total SF			9

\*LIMITED TO 3% OF MAXIMUM ALLOWED GROSS FLOOR AREA IN ACCORDANCE WITH ZONING ORDINANCE 16.04.325(c)(1); SEE A1.1 FOR EXCLUSIONS SUMMARY

TOTAL EXCLUSION MAX:  
9188 \* 3% = 275 SF

## Building A Summary:

Building A - Total Included in Gross Floor Area			
Dwelling Unit Area			
Level 1			1737
Level 2			3731
Level 3			3720
Total (SF)			9188

Building A - Total Excluded from Gross Floor Area			
Dwelling Unit Area			
Level 1			1821
Level 2			14
Level 3			9
Total (SF)			1844

- NOTES:
- All areas have been measured to the exterior finish.
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133 ENCINAL AVENUE

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BUILDING A AREA CALCULATIONS

MENLO PARK, CA

KTGY # 2014-0032

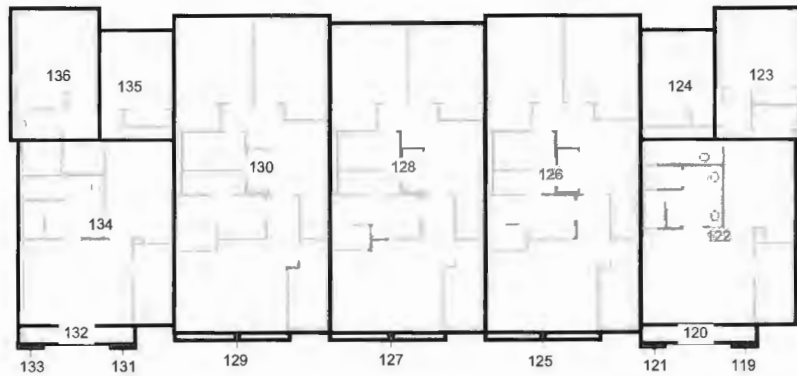
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580 Second St., Suite 200  
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510.272.2910  
ktgy.com

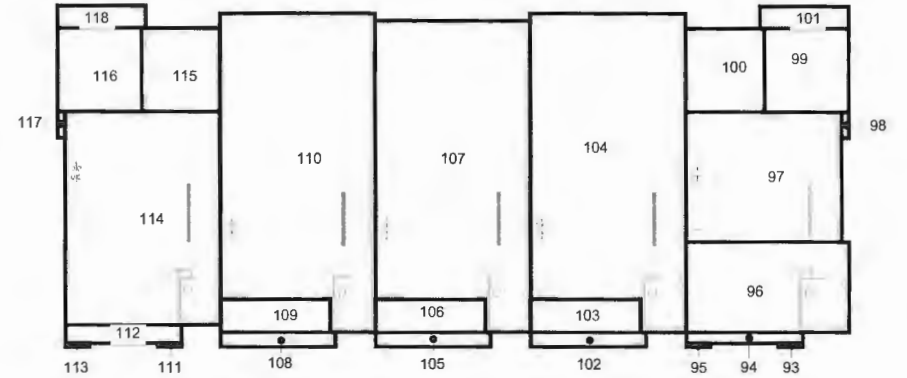


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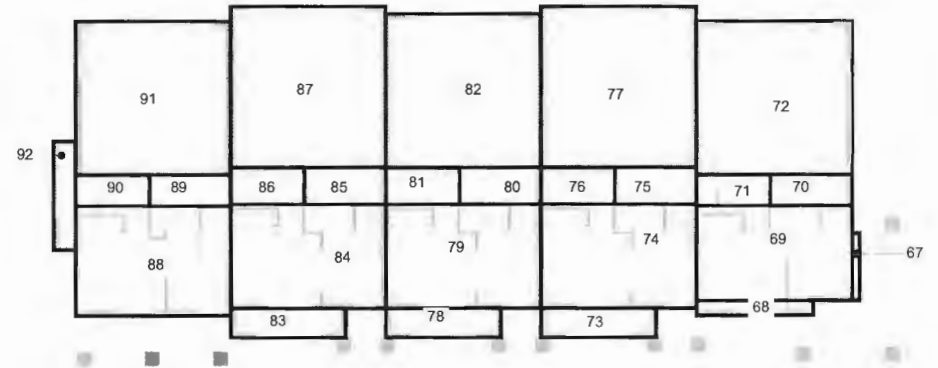
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Level 3



Level 2



Level 1

Included in Gross Floor Area:   
 Excluded from Gross Floor Area:   
 1/8" = 1'-0"

## 133 ENCINAL AVENUE

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 Cupertino, CA 95014  
 408.255.4100

## BUILDING B AREA CALCULATIONS

MENLO PARK, CA

KTGY # 2014-0032

10 14 2015

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A6.3a

Building B - Level 1 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
67	9.250	1.000	9
68	15.875	2.000	32
69	13.042	21.208	277
70	4.250	11.125	47
71	4.250	10.083	43
73	15.708	4.000	63
74	14.250	21.167	302
75	5.042	11.083	56
76	5.042	10.083	51
78	4.000	15.708	63
79	14.250	21.167	302
80	5.042	11.083	56
81	5.042	10.083	51
83	4.000	15.708	63
84	14.250	21.167	302
85	5.042	11.083	56
86	5.042	10.083	51
88	21.208	15.042	319
89	4.250	11.083	47
90	4.250	10.125	43
Total			2233

Building B - Level 2 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
94	15.875	1.500	24
96	22.208	12.250	272
97	17.857	21.208	375
99	11.461	11.333	130
100	11.333	10.749	122
101	12.083	3.000	36
102	2.000	15.707	31
103	4.500	14.957	67
104	43.250	21.167	848
105	2.000	15.707	31
106	4.500	14.957	67
107	21.167	42.250	827
108	2.000	15.707	31
109	4.500	14.957	67
110	21.167	43.250	848
112	15.915	2.500	40
114	21.208	28.917	613
115	10.710	11.333	121
116	11.500	11.333	130
117	3.583	1.002	4
118	12.083	3.000	36
Total			4720

Building B - Level 1 Excluded			
Level 1- Garage			
Per zoning Ordinance 16.04.325 (C)(3)			
Name	Length (Feet)	Width (Feet)	Area (SF)
72	20.958	21.208	444
77	21.958	21.167	465
82	20.958	21.167	444
87	21.958	21.167	465
91	20.958	21.208	444
92	14.917	3.000	45
Total			2307

Building B - Total Included in Gross Floor Area			
Dwelling Unit Area			
Level 1			2233
Level 2			4720
Level 3			4660
Total (SF)			11613

Building B - Level 2 Excluded			
*Non-occupiable Spaces			
Per zoning Ordinance 16.04.325 (C)(1)			
Name	Length (Feet)	Width (Feet)	Area (SF)
93	0.500	3.335	2
95	3.290	0.500	2
98	3.583	1.002	4
111	3.333	0.500	2
113	0.500	3.332	2
Total			12

Building B - Total Excluded from Gross Floor Area			
Dwelling Unit Area			
Level 1			2307
Level 2			12
Level 3			8
Total (SF)			2327

Building B - Level 3 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
120	15.875	2.500	40
122	25.333	21.208	537
123	17.917	12.083	216
124	14.917	10.127	151
125	1.000	15.707	16
126	43.250	21.167	915
127	1.000	15.707	16
128	21.167	42.250	894
129	1.000	15.624	16
130	21.167	43.250	915
132	15.915	2.500	40
134	21.208	25.333	537
135	10.127	14.917	151
136	17.917	12.083	216
Total			4660

Building B - Level 3 Excluded			
*Non-occupiable Spaces			
Per zoning Ordinance 16.04.325 (C)(1)			
Name	Length (Feet)	Width (Feet)	Area (SF)
119	0.500	3.335	2
121	3.290	0.500	2
131	0.500	3.333	2
133	0.500	3.332	2
Total			8

\*LIMITED TO 3% OF MAXIMUM ALLOWED GROSS FLOOR AREA IN ACCORDANCE WITH ZONING ORDINANCE 16.04.325(c)(1); SEE A1.1 FOR EXCLUSIONS SUMMARY

TOTAL EXCLUSION MAX:  
11,613 \* 3% = 348 SF

- NOTES:
1. All areas have been measured to the exterior finish.
  2. SF data column sums may differ slightly from totals due to rounding of SF numbers.

133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

BUILDING B AREA CALCULATIONS

MENLO PARK, CA  
KTGY # 2014-0032

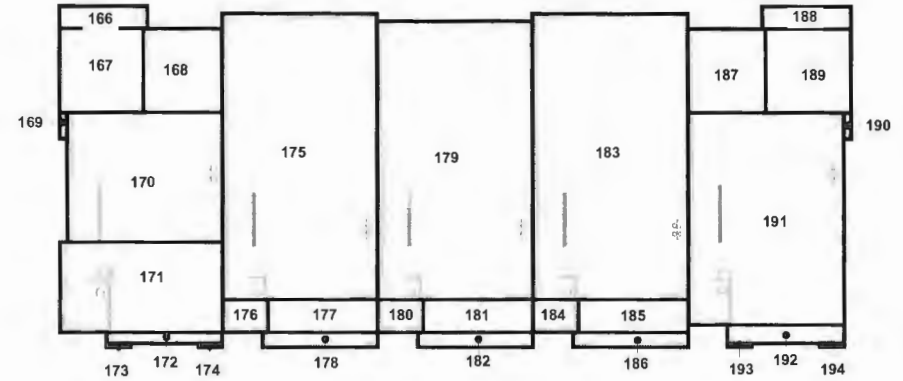
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Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com

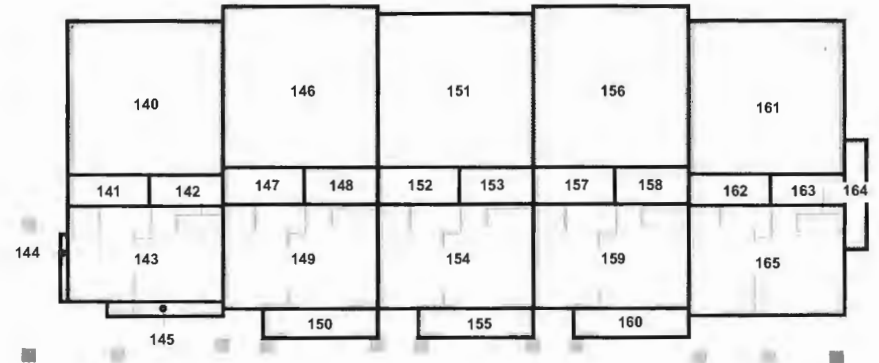


A6.3b





Level 2



Level 1

Included in Gross Floor Area:   
 Excluded from Gross Floor Area:

$\frac{1}{8}" = 1'-0"$  0 4 8 12

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
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## BUILDING C AREA CALCULATIONS

MENLO PARK, CA  
 KTGY # 2014-0032 10/14/2015

KTGY Group, Inc.  
 Architecture+Planning  
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 Oakland, CA 94607  
 510.272.2910  
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A6.4a

Building C - Level 1 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
141	4.250	11.125	47
142	4.250	10.083	43
143	13.042	21.208	277
144	9.250	1.000	9
145	15.875	2.000	32
147	5.042	11.083	56
148	5.042	10.083	51
149	14.250	21.167	302
150	15.708	4.000	63
152	5.042	11.083	56
153	5.042	10.083	51
154	14.250	21.167	302
155	4.000	15.708	63
157	5.042	11.083	56
158	5.042	10.083	51
159	14.250	21.167	302
160	4.000	15.708	63
162	4.250	11.083	47
163	4.250	10.125	43
165	21.208	15.042	319
Total			2233

Building C - Level 2 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
166	12.083	3.000	36
167	11.458	11.333	130
168	11.333	10.752	122
169	3.583	1.002	4
170	17.667	21.208	375
171	22.208	12.250	272
172	15.792	1.500	24
175	38.750	21.167	820
176	4.500	6.210	28
177	4.500	14.957	67
178	2.000	15.707	31
179	21.167	37.750	799
180	6.210	4.500	28
181	4.500	14.957	67
182	2.000	15.707	31
183	21.167	38.750	820
184	6.210	4.500	28
185	4.500	14.957	67
186	2.000	15.707	31
187	10.582	11.333	120
188	12.083	3.000	36
189	11.628	11.333	132
191	21.208	28.917	613
192	15.915	2.500	40
Total			4721

Building C - Level 1 Excluded			
Level 1- Garage			
Per zoning Ordinance 16.04.325 (C)(3)			
Name	Length (Feet)	Width (Feet)	Area (SF)
140	20.958	21.208	444
146	21.958	21.167	465
151	20.958	21.167	444
156	21.958	21.167	465
161	20.958	21.208	444
164	14.917	3.000	45
Total			2307

Building C - Level 2 Excluded			
*Non-occupiable Spaces			
Per zoning Ordinance 16.04.325 (C)(1)			
Name	Length (Feet)	Width (Feet)	Area (SF)
173	0.500	3.335	2
174	3.207	0.500	2
190	3.583	1.002	4
193	0.500	3.333	2
194	0.500	3.332	2
Total			12

Building C - Level 3 Excluded			
*Non-occupiable Spaces			
Per zoning Ordinance 16.04.325 (C)(1)			
Name	Length (Feet)	Width (Feet)	Area (SF)
199	0.500	3.335	2
200	3.290	0.500	2
211	0.500	3.333	2
212	0.500	3.332	2
Total			8

\*LIMITED TO 3% OF MAXIMUM ALLOWED GROSS FLOOR AREA IN ACCORDANCE WITH ZONING ORDINANCE 16.04.325(c)(1); SEE A1.1 FOR EXCLUSIONS SUMMARY

TOTAL EXCLUSION MAX:  
11,613 \* 3% = 348 SF

## Building C Summary:

Building C - Total Included in Gross Floor Area			
Dwelling Unit Area			
Level 1			2233
Level 2			4721
Level 3			4659
Total (SF)			11613

Building C - Total Excluded from Gross Floor Area			
Dwelling Unit Area			
Level 1			2307
Level 2			12
Level 3			8
Total (SF)			2327

- NOTES:
- All areas have been measured to the exterior finish.
  - SF data column sums may differ slightly from totals due to rounding of SF numbers.

133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
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BUILDING C AREA CALCULATIONS

MENLO PARK, CA

EST. # 2014-0612

10/14/2015

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Oakland, CA 94607  
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A6.4b

D62



Level 2



Level 1

Included in Gross Floor Area:   
Excluded from Gross Floor Area: 

1/8" = 1'-0"

# 133 ENCINAL AVENUE

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10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## BUILDING D AREA CALCULATIONS

MENLO PARK, CA

KTGY # 2014-0032

10.14.2015

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A6.5a

D63

Building D - Level 1 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
215	21.625	15.958	345
216	9.583	18.125	174
217	2.167	11.167	24
218	10.458	18.292	191
220	1.125	6.000	7
221	20.750	23.625	490
222	8.417	41.250	347
225	9.583	18.125	174
226	11.167	2.167	24
227	21.625	15.958	345
230	19.292	10.458	202
Total			2323

Building D - Level 2 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
232	31.208	34.250	1069
233	4.000	15.374	61
234	16.876	5.500	93
235	39.250	14.709	577
236	38.250	14.457	553
237	31.208	34.250	1069
238	15.376	4.000	62
465	16.791	1.001	17
466	16.792	0.998	17
Total			3484

Building D - Level 1 Excluded			
Level 1- Garage			
Per zoning Ordinance 16.04.325 (C)(3)			
Name	Length (Feet)	Width (Feet)	Area (SF)
219	22.125	20.750	459
223	20.625	20.750	428
224	0.456	3.000	1
228	20.750	22.125	459
229	0.456	5.000	2
231	8.917	2.333	21
Total			1370

**Building D Summary:**

Building D - Total Included in Gross Floor Area			
Dwelling Unit Area			
Level 1			2323
Level 2			3484
Total (SF)			5807

Building D - Total Excluded from Gross Floor Area			
Level 1			1370
Total (SF)			1370

\*LIMITED TO 3% OF MAXIMUM ALLOWED GROSS FLOOR AREA IN ACCORDANCE WITH ZONING ORDINANCE 16.04.325(c)(1); SEE A1.1 FOR EXCLUSIONS SUMMARY

TOTAL EXCLUSION MAX:  
5807 \* 3% = 174 SF

- NOTES:**
1. All areas have been measured to the exterior finish.
  2. SF data column sums may differ slightly from totals due to rounding of SF numbers.

133 ENCINAL AVENUE

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408.255.4100

BUILDING D AREA CALCULATIONS

MENLO PARK, CA  
KTGY # 2014-0632 10/14/2015

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Architecture+Planning  
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Oakland, CA 94607  
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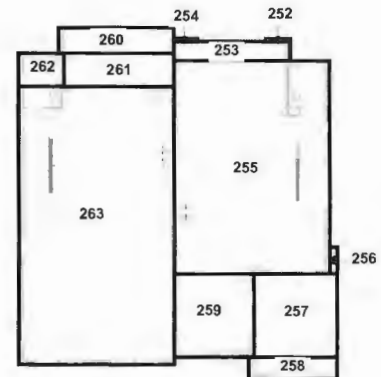


A6.5b

DA





Level 3



Level 2



Level 1

Included in Gross Floor Area:   
Excluded from Gross Floor Area: 

1/8" = 1'-0" 

## 133 ENCINAL AVENUE

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## BUILDING E AREA CALCULATIONS

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KTGY # 2015-0032 10/14/2015

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Architecture+Planning  
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A6.6a

065

Building E - Level 1 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
240	15.042	21.208	319
241	10.250	5.000	51
242	5.333	9.250	49
243	4.250	11.125	47
244	4.250	10.083	43
246	21.208	16.249	345
247	9.250	4.333	40
248	10.250	5.000	51
249	5.042	10.083	51
250	5.042	11.125	56
Total			1052

Building E - Level 2 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
253	2.625	15.874	42
255	26.917	21.208	613
256	3.583	0.999	4
257	11.333	11.332	128
258	12.083	3.001	36
259	10.874	11.332	123
260	3.500	15.709	55
261	14.959	4.500	67
262	6.249	4.500	28
263	21.208	37.749	801
Total			1897

Building E - Level 3 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
265	2.500	15.874	40
267	26.333	21.208	558
268	11.917	16.750	200
269	10.124	13.916	141
270	15.709	1.000	16
271	42.249	21.208	896
Total			1851

Building E - Level 1 Excluded			
Level 1 - Garage			
Per zoning Ordinance 16.04.325 (C)(3)			
Name	Length (Feet)	Width (Feet)	Area (SF)
245	21.208	20.958	444
251	21.208	20.958	444
Total			888

Building E - Level 2 Excluded			
*Non-occupiable Spaces			
Per zoning Ordinance 16.04.325 (C)(1)			
Name	Length (Feet)	Width (Feet)	Area (SF)
252	3.333	0.375	1
254	0.375	3.291	1
Total			2

Building E - Level 3 Excluded			
*Non-occupiable Spaces			
Per zoning Ordinance 16.04.325 (C)(1)			
Name	Length (Feet)	Width (Feet)	Area (SF)
264	3.333	0.500	2
266	0.500	3.291	2
Total			4

\*LIMITED TO 3% OF MAXIMUM ALLOWED GROSS FLOOR AREA IN ACCORDANCE WITH ZONING ORDINANCE 16.04.325(c)(1); SEE A1.1 FOR EXCLUSIONS SUMMARY

TOTAL EXCLUSION MAX:  
4800 \* 3% = 144 SF

### Building E Summary:

Building E - Total Included in Gross Floor Area			
Dwelling Unit Area			
Level 1			1052
Level 2			1897
Level 3			1851
Total (SF)			4800

Building E - Total Excluded from Gross Floor Area			
Dwelling Unit Area			
Level 1			888
Level 2			2
Level 3			4
Total (SF)			894

- NOTES:
1. All areas have been measured to the exterior finish.
  2. SF data column sums may differ slightly from totals due to rounding of SF numbers.

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BUILDING E AREA CALCULATIONS

MENLO PARK, CA

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10/14/2015

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A6.6b







Level 3




Level 2



Level 1

Included in Gross Floor Area:   
Excluded from Gross Floor Area: 

$\frac{1}{8}" = 1'-0"$  

## 133 ENCINAL AVENUE

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## BUILDING F AREA CALCULATIONS

MENLO PARK, CA

KTGY # 2014-0032

10/14/2015

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A6.7a

Building F - Level 1 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
274	15.958	4.958	79
277	25.825	4.958	127
278	15.625	5.000	78
279	25.917	10.375	269
280	5.000	15.625	78
281	25.917	10.375	269
282	25.625	4.958	127
283	15.958	4.958	79
285	8.458	8.083	68
288	12.792	3.458	44
289	3.458	16.083	56
290	16.125	22.167	357
291	3.000	12.417	37
Total			1668

Building F - Level 2 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
292	41.583	16.250	676
293	15.625	5.000	78
294	20.584	10.375	214
295	5.000	15.625	78
296	20.584	10.375	214
297	16.208	41.583	674
298	43.083	16.208	698
299	18.416	8.167	159
300	3.000	13.918	42
301	12.250	1.500	18
Total			2851

Building F - Level 1 Excluded			
Level 1 - Garage			
Per zoning Ordinance 16.04.325 (C)(3)			
Name	Length (Feet)	Width (Feet)	Area (SF)
275	41.583	11.292	470
276	8.917	2.333	21
284	41.589	11.250	468
286	20.792	20.792	432
287	12.333	0.458	6
Total			1397

### Building F Summary:

Building F - Total Included in Gross Floor Area			
Dwelling Unit Area			
Level 1			1668
Level 2			2851
Level 3			2832
Total (SF)			7351

Building F - Total Excluded in Gross Floor Area			
Dwelling Unit Area			
Level 1			1397
Total (SF)			1397

Building F - Level 3 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
302	20.584	11.000	226
303	16.250	20.999	341
304	15.625	25.584	400
305	25.584	15.625	400
306	20.584	10.958	226
307	20.999	16.208	340
308	43.083	16.208	698
309	19.416	8.167	159
310	3.000	13.918	42
Total			2832

\*LIMITED TO 3% OF MAXIMUM ALLOWED GROSS FLOOR AREA IN ACCORDANCE WITH ZONING ORDINANCE 16.04.325(c)(1); SEE A1.1 FOR EXCLUSIONS SUMMARY

TOTAL EXCLUSION MAX:  
7351 \* 3% = 220 SF

- NOTES:
1. All areas have been measured to the exterior finish.
  2. SF data column sums may differ slightly from totals due to rounding of SF numbers.

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BUILDING F AREA CALCULATIONS

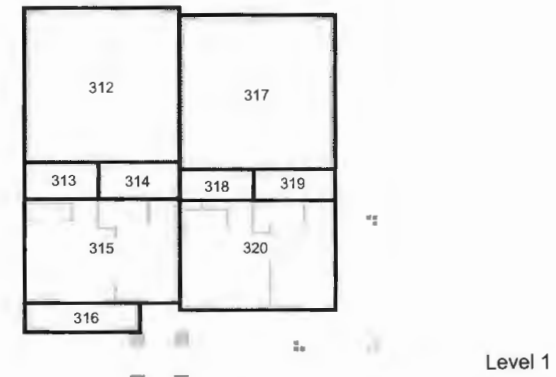
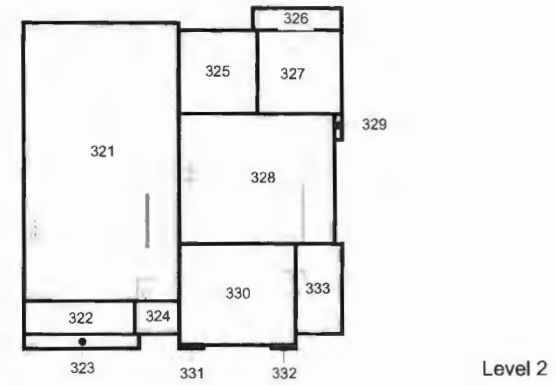
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A6.7b

D68



Included in Gross Floor Area:   
Excluded from Gross Floor Area:   
 $\frac{1}{8}'' = 1'-0''$  

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## BUILDING G AREA CALCULATIONS

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A6.8a

D69

# Building G Summary:

Building G - Level 1 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
313	5.042	10.125	51
314	5.042	11.083	56
315	14.250	21.208	302
316	15.750	4.000	63
318	4.250	10.083	43
319	4.250	11.125	47
320	15.042	21.208	319
Total			881

Building G - Level 1 Excluded			
Level 1 - Garage			
Per zoning Ordinance 16.04.325 (C)(3)			
Name	Length (Feet)	Width (Feet)	Area (SF)
312	21.208	20.958	444
317	21.208	20.958	444
Total			888

Building G - Total Included in Gross Floor Area			
Dwelling Unit Area			
Level 1			881
Level 2			1886
Level 3			1855
Total (SF)			4622

Building G - Level 2 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
321	21.208	37.750	801
322	15.125	4.500	68
323	15.750	2.000	31
324	4.500	6.083	27
325	10.750	11.333	122
326	12.083	3.000	36
327	11.458	11.333	130
328	17.667	21.208	375
330	13.750	15.875	218
333	6.333	12.250	78
Total			1886

Building G - Level 2 Excluded			
Non-occupiable Spaces			
Per zoning Ordinance 16.04.325 (C)(1)			
Name	Length (Feet)	Width (Feet)	Area (SF)
329	3.583	1.000	4
331	0.500	3.209	2
332	3.333	0.500	2
Total			8

Building G - Total Excluded in Gross Floor Area			
Dwelling Unit Area			
Level 1			888
Level 2			8
Level 3			5
Total (SF)			901

Building G - Level 3 Included			
Dwelling Unit Area			
Name	Length (Feet)	Width (Feet)	Area (SF)
334	21.208	42.250	896
335	15.750	1.000	16
336	10.125	13.917	141
337	16.917	12.083	204
339	26.333	21.208	558
340	2.500	15.875	40
Total			1855

Building G - Level 3 Excluded			
Non-occupiable Spaces			
Per zoning Ordinance 16.04.325 (C)(1)			
Name	Length (Feet)	Width (Feet)	Area (SF)
338	1.000	1.000	1
341	0.500	3.209	2
342	3.333	0.500	2
Total			5

\*LIMITED TO 3% OF MAXIMUM ALLOWED GROSS FLOOR AREA IN ACCORDANCE WITH ZONING ORDINANCE 16.04.325(c)(1); SEE A1.1 FOR EXCLUSIONS SUMMARY

TOTAL EXCLUSION MAX:  
4622 \* 3% = 138 SF

- NOTES:
1. All areas have been measured to the exterior finish.
  2. SF data column sums may differ slightly from totals due to rounding of SF numbers.

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BUILDING G AREA CALCULATIONS

MENLO PARK, CA

KTGY # 1014-0032

10.14.2015

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A6.8b

D70



Building H			
Name	Length (Feet)	Width (Feet)	Area (SF)
470	30.456	20.417	622
471	2.000	2.250	2
472	4.750	2.000	9
473	3.010	1.495	2
Total			635

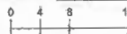
\*LIMITED TO 3% OF MAXIMUM ALLOWED  
GROSS FLOOR AREA IN ACCORDANCE  
WITH ZONING ORDINANCE 16.04.325(c)(1);  
SEE A1.1 FOR EXCLUSIONS SUMMARY

TOTAL EXCLUSION MAX:  
 $635 * 3\% = 19 \text{ SF}$



Level 1

Included in Gross Floor Area:   
Excluded from Gross Floor Area: 

$\frac{1}{8}'' = 1'-0''$  

133 ENCINAL AVENUE

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## BUILDING H AREA CALCULATIONS

MENLO PARK, CA

KTGY # 1014-0032

10.14.2015

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A6.9

D71



- 2" x 6" Smooth Wood Trim
- 6" x 6" Smooth Wood Beam
- Decorative Corbel with Kicker-2"x4" Smooth members
- 2" x 2" Smooth Wood Trim
- Smooth Wood Top Rail
- Smooth Wood Balusters
- Smooth Wood Deck Fascia
- Smooth Wood Corbels

3. Porch  
N.T.S



2. Entry Porch Column  
N.T.S

- 8" x 8" Smooth Wood Column Cap
- 6" x 6" Smooth Wood Column Post
- 8" x 8" Smooth Wood Column Base
- Stone Veneer w/ 1/2" grouted joints



1. Decorative Corbel  
N.T.S

- 2" x 6" Bargeboard
- 2" x 6" Rafter Tail
- 6" x 8" Smooth Bracket Beam
- 2" x 6" Smooth Knee Brace
- 2" x 6" Smooth Bracket Post



Key Elevation: Building A - Front

## 133 ENCINAL AVENUE

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## CONCEPTUAL DETAILS

MENLO PARK, CA  
KTGT # 2014-0032

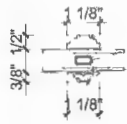
10.14.2015

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A6.10a





Plan Detail



3. Simulated Divided Lite w/ Spacer  
N.T.S

Simulated divided lite  
on exterior  
Spacer Bar  
Glass

Simulated divided lite  
on interior

Simulated divided lite  
on exterior and  
interior glass with  
spacer bar (SDLS).  
Location as shown  
on elevations.

\*Note: Detail reflects  
SDLS components  
and adjacencies, not  
actual material



Exterior Sheathing

Wood Lap Siding

Smooth Wood Trim  
Header

Marvin Ultimate Casement  
Aluminum Clad Window, or equivalent

Interior sash where required by  
Acoustical Report

Simulated divided lite on exterior and  
interior glass with spacer bar (SDLS).  
Location as shown on elevations.

5. Aluminum Clad Window Head at Siding  
3" = 1'-0"



Marvin Ultimate Casement  
Aluminum Clad Window, or equivalent

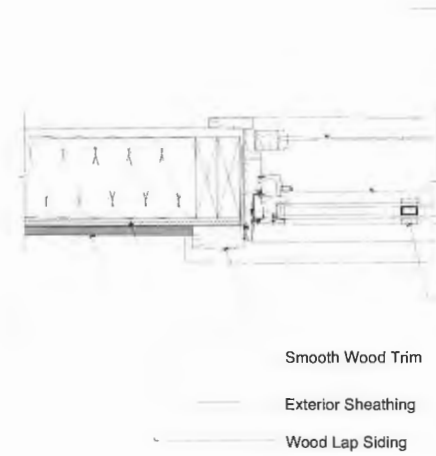
Interior sash where required by  
Acoustical Report

Shaped smooth Wood Sill  
Smooth Wood Apron

Exterior Sheathing

Wood Lap Siding

2. Aluminum Clad Window Sill at Siding  
3" = 1'-0"



Interior sash where  
required by Acoustical  
Report

Marvin Ultimate  
Casement  
Aluminum Clad  
Window, or  
equivalent

Simulated divided lite  
on exterior and interior  
glass with spacer bar  
(SDLS). Location as  
shown on elevations.

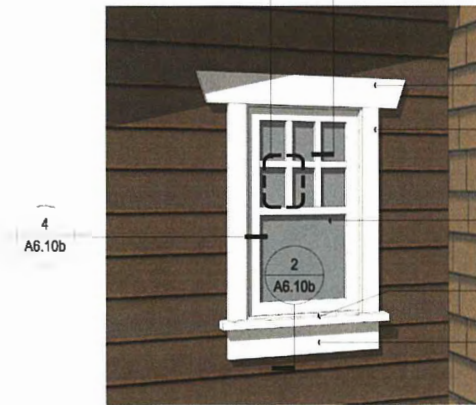
Smooth Wood Trim

Exterior Sheathing

Wood Lap Siding

4. Aluminum Clad Window Jamb at Siding  
3" = 1'-0"

3 5  
6.10b A6.10b



2" x 6" Wood  
Window Trim

2" x 4" Wood  
Window Trim

Marvin Ultimate Casement  
Aluminum Clad  
Window, or equivalent

2 x 4 Shaped Smooth  
Wood Window Sill

2 x 6 Smooth  
Wood Window Apron

1. Aluminum Clad Window  
N.T.S

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CONCEPTUAL DETAILS

MENLO PARK, CA

KTGY # 1814-2032

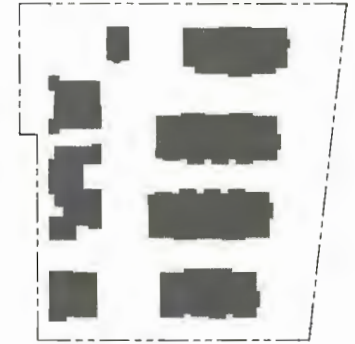
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A6.10b

073



Key Map n.t.s.



2. AC Condenser wooden screen (w/o landscape)  
See Detail #1 for landscape screening



1. AC Condenser screening  
(See Landscape Drawings for species; See plans for locations)

## 133 ENCINAL AVENUE

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## CONCEPTUAL DETAILS

MENLO PARK, CA  
KTGY # 2014-0032

10.14.2015

A6.10c

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D74



3. Roof and Gutter  
N.T.S

- Laminated Composite Shingle Roof
- 4" Radius Gutter
- 2" x 6" Exposed Rafter Tail
- 2" Radius Down Spout
- Wood Lap Siding w/ 6" Exposure



2. Fiber Cement Panel  
N.T.S

- 2" x 6" Smooth Wood Trim
- Marvin "Ultimate Casement" Aluminum Clad Window or equivalent- See A6.10b for Details
- 2" x 6" Smooth Wood Trim
- Wood Shingles w/ 7" Exposure, spaced joints, and even-butt line
- Fiber Cement Panel



1. Garage Trellis  
N.T.S

- 1" x 2" Smooth Wood Rafter
- 2" x 6" Smooth Wood Beam
- Smooth Wood Decorative Corbel with Kicker- See A1/A6.10a for Detail
- Decorative Light Fixture
- Garage Doors Inc., Plantation Series or Custom Panel Series, Custom Designed, Smooth Paneled Garage Door or Equivalent.



Key Elevation: Building A - Rear

## 133 ENCINAL AVENUE

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## CONCEPTUAL DETAILS

MENLO PARK, CA  
KTGY # 2014-0092 10.14.2015

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A6.11



Wood Shingles  
Sheathing  
2x4 Outriggers  
Wood Fascia

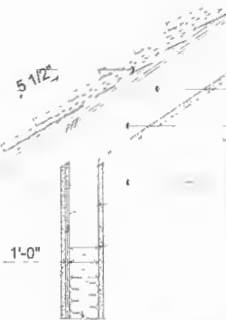


2" x 6"  
Rafter

8"

8. Rake Detail

Wood Shingles



1" x 6"  
Wood Fascia

1'-0"

7. Eave Detail  
1-1/2"=1'-0"

Sheathing

Rafter

Scissor Truss

4  
8.12  
3  
6.12  
1  
6.12  
5  
6.12



2  
6.12  
6  
6.12

Key Elevation: Building H - Front



1 1/2" x 3" Drip  
Cap with Profile

2" x 4" Wood  
Window Trim

Wood Fixed  
Window

Wood Casement  
Window

6. Window Trim  
N.T.S.



Wood Rafter

4" x 8" Wood  
Beam

4" x 4" Wood  
Column

3. Hipped Roof Structure



2" x 4"  
Wood Top Rail

1" x 4"  
Wood Balusters

4" x 4"  
Wood Column

2" x 4"  
Wood Bottom Rail

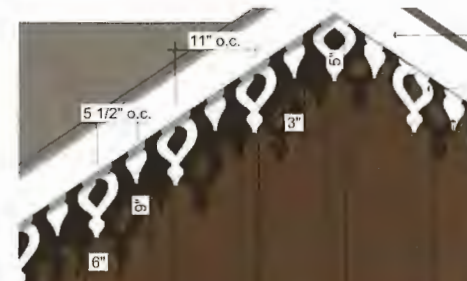
5. Guard Rail



Wood Batten

Wood Board

2. Battens

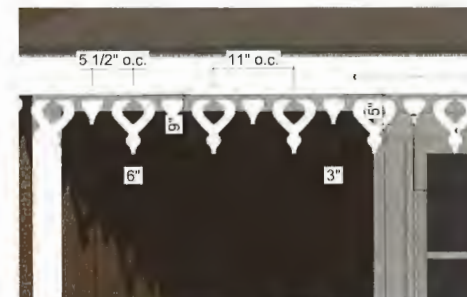


2" x 6"  
Wood Bargeboard

Decorative  
Wood Trim

Decorative  
Wood Trim

4. Rake Trim



2" x 6" Trim

Decorative  
Wood Trim

Decorative  
Wood Trim

1. Eave/Hipped Roof Trim

1 1/2" = 1'-0"  
U.O.N.

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CONCEPTUAL DETAILS - BUILDING H

MENLO PARK, CA

EXIST # 2014-0032

10.14.2015

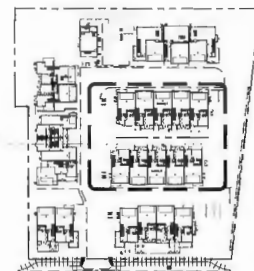
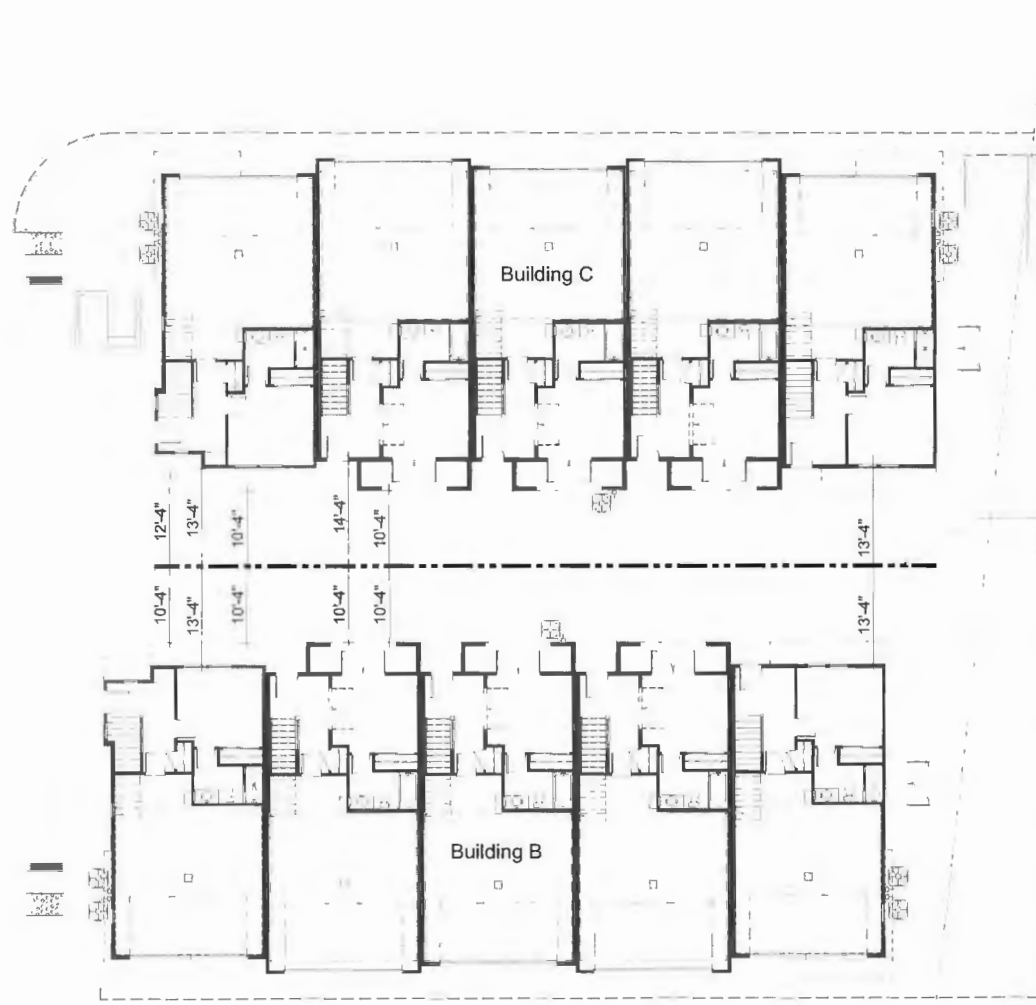
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A6.12

D75

D76



Key Map n.t.s.

Assumed Property Line

1. Building B + C Plan

IN ACCORDANCE WITH CBC 705.8.1 ALLOWABLE AREA OF OPENINGS, EXCEPTION #2: BUILDINGS WHOSE EXTERIOR BEARING WALLS, EXTERIOR NONBEARING WALLS AND EXTERIOR PRIMARY STRUCTURAL FRAME ARE NOT REQUIRED TO BE FIRE-RESISTANCE RATED SHALL BE PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS. ACCORDING TO CBC TABLE 602 FOR TYPE VB CONSTRUCTION, FIRE SEPARATION DISTANCES BETWEEN 10'-0" TO 30'-0" FOR GROUP R AND U OCCUPANCIES, ARE NOT REQUIRED TO BE FIRE RESISTANCE RATED. THUS, UNLIMITED PROTECTED OPENINGS ARE PERMITTED.

# 133 ENCINAL AVENUE

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Cupertino, CA 95014  
408.255.4100

## ALLOWABLE WINDOW AREA - BUILDING B+C

MENLO PARK, CA  
KTGY # 2014-0032

10.14.2015

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Architecture+Planning  
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Oakland, CA 94607  
510.272.2910  
ktgy.com



1/8" = 1'-0"

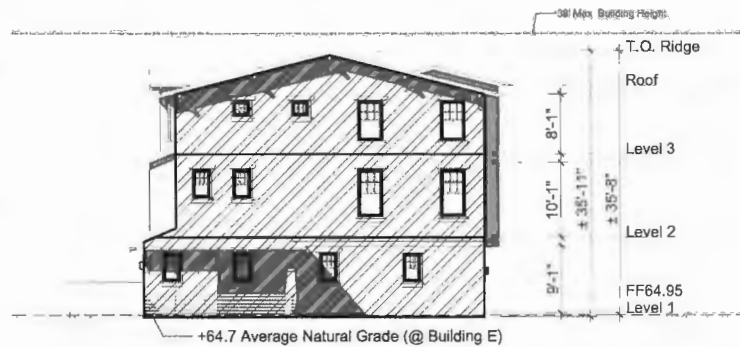
A6.13

## EXTERIOR WALL OPENING CALCULATIONS

LEVEL 3  
WALL AREA 451 SF  
OPENING AREA 37 SF  
PERCENTAGE OPENING: 11%  
ALLOWABLE OPENINGS: UNLIMITED

LEVEL 2  
WALL AREA 475 SF  
OPENING AREA 50 SF  
PERCENTAGE OPENING: 10%  
ALLOWABLE OPENINGS: UNLIMITED

LEVEL 1  
WALL AREA 499 SF  
OPENING AREA 28 SF  
PERCENTAGE OPENING: 6%  
ALLOWABLE OPENINGS: UNLIMITED

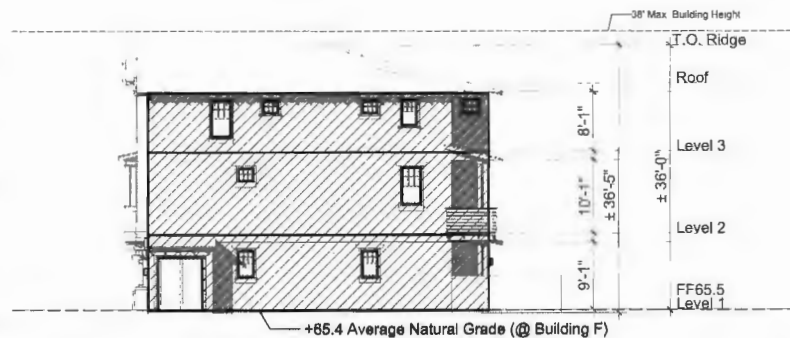


3. Building E- Left Elevation

LEVEL 3  
WALL AREA 375 SF  
OPENING AREA 30 SF  
PERCENTAGE OPENING: 8%

LEVEL 2  
WALL AREA 522 SF  
OPENING AREA 16 SF  
PERCENTAGE OPENING: 4%

LEVEL 1  
WALL AREA 475 SF  
OPENING AREA 58 SF  
PERCENTAGE OPENING: 13%

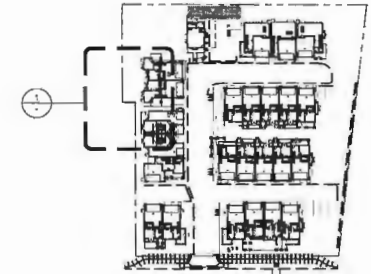


2. Building F- Right Elevation

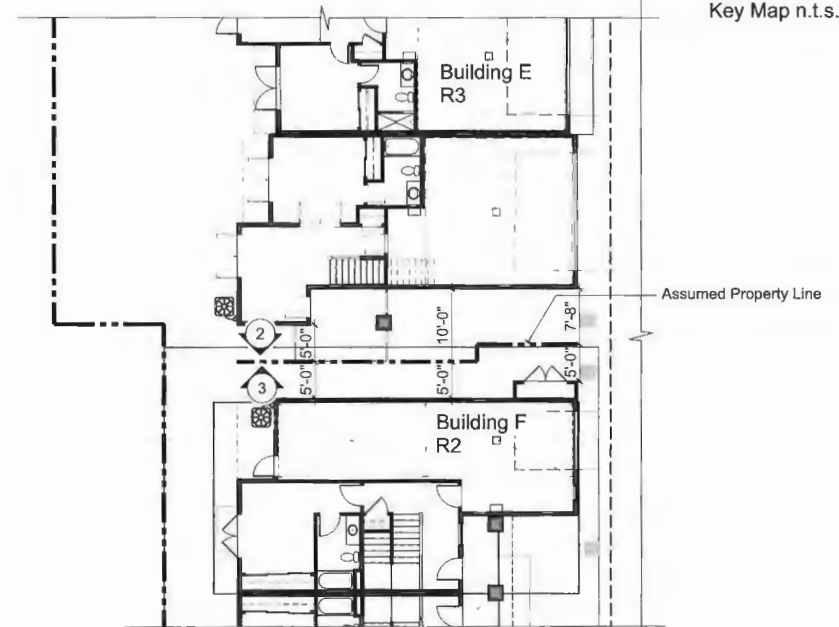
## LEGEND

R2 OCCUPANCY (BUILDING F):  
EXTERIOR WALL AREA WITHIN 5'-0" TO LESS  
THAN 10'-0" FIRE SEPARATION DISTANCE OF  
A PROPERTY LINE: 25% MAXIMUM  
ALLOWABLE EXTERIOR WALL OPENINGS  
PER CBC TABLE 705.8

R3 OCCUPANCY (BUILDING E):  
FOR A MINIMUM FIRE SEPARATION  
DISTANCE OF 3 FEET, UNLIMITED  
OPENINGS IN WALLS ARE PERMITTED PER  
CBC TABLE 302.1.2.



Key Map n.t.s.



1. Building E + F Plan

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ALLOWABLE WINDOW AREA - BUILDING E + F

MENLO PARK, CA

KTGY # 2014-0032

10.14.2015

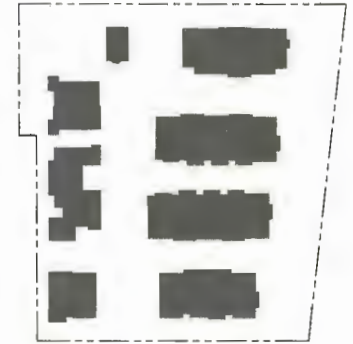
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Architecture+Planning  
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1/8" = 1'-0"

A6.14





Key Map n.t.s. 1



1. Project Entry Drive

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## CONCEPTUAL PERSPECTIVES

MENLO PARK, CA

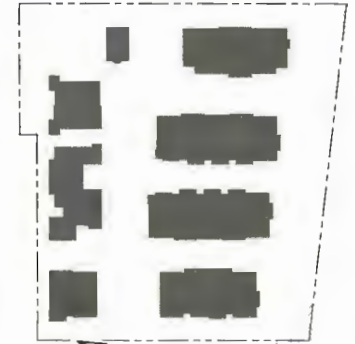
KTGY # 1014-0032

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A7.0

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1  
Key Map n.t.s.

1. Building A Corner Porch

## 133 ENCINAL AVENUE

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## CONCEPTUAL PERSPECTIVES

MENLO PARK, CA

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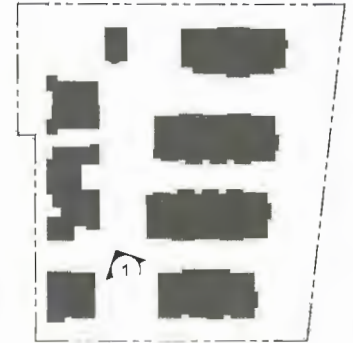
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A7.1

079





Key Map n.t.s.

1. Building F Corner Porch

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## CONCEPTUAL PERSPECTIVES

MENLO PARK, CA

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A7.2

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Key Map n.t.s.

1. Paseo Entry at Building B & C

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## CONCEPTUAL PERSPECTIVES

MENLO PARK, CA

KTG # 2014-0032

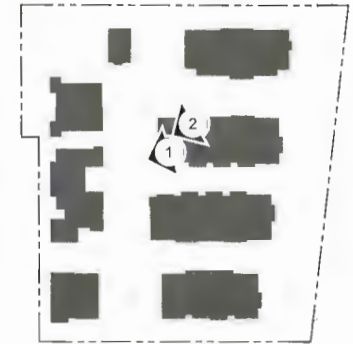
10.14.2015

A7.3

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Key Map n.t.s.



2. Building F Courtyard Bird's Eye Perspective



1. Building F Courtyard Street-Level Perspective

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## CONCEPTUAL PERSPECTIVES

MENLO PARK, CA

KTGY 10/14/2015

10/14/2015

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A7.4



Key Map n.t.s.

1. Building H and Building D Porches

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## CONCEPTUAL PERSPECTIVES

MENLO PARK, CA

EXIST # 2014-0032

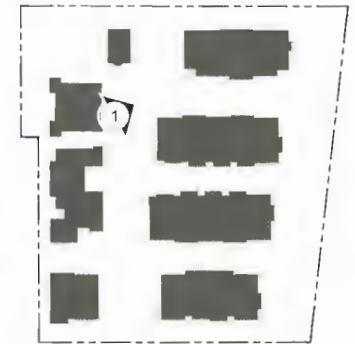
10.14.2015

A7.5

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Key Map n.t.s.

## 133 ENCINAL AVENUE

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## CONCEPTUAL PERSPECTIVES

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XT01 1P 2014-0032

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1. Building D Porch and Bay

A7.6

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Key Map n.t.s.

1. Building E - Tree Grove Entry

## 133 ENCINAL AVENUE

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## CONCEPTUAL PERSPECTIVES

MENLO PARK, CA

10/01/14 10/14/2015

10/14/2015

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A7.7





Key Map n.t.s.

1. Building F Courtyard - Building E Monuments

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## CONCEPTUAL PERSPECTIVES

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A7.8

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J. STONE VENEER



A. WOOD LAP SIDING



G. WOOD SHINGLES



H. WINDOW



I. TRIPLE LAMINATE COMPOSITE ROOF SHINGLE



B. ACCENT 1 (FIBER CEMENT PANEL)



C. ACCENT 2



D. ACCENT 3



E. ACCENT 4



F. ACCENT 5

## 133 ENCINAL AVENUE

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## MATERIAL/COLOR BOARD SCHEME I

MENLO PARK, CA  
KTGY # 2014-0032

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A8.0A

D&T



## Encinal Avenue

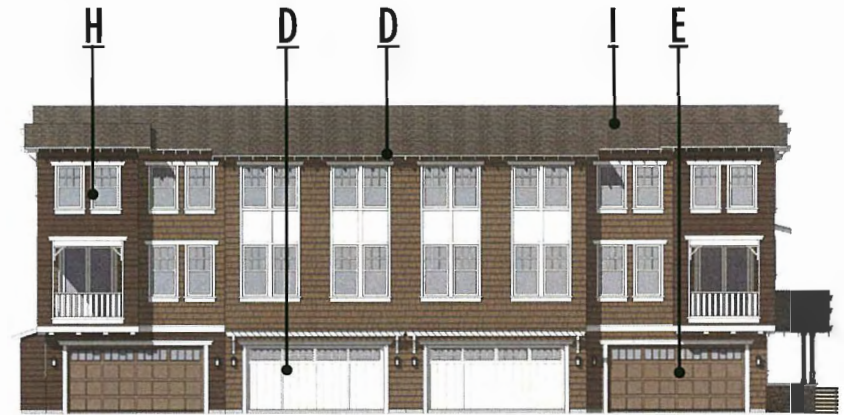
Menlo Park, CA

#2014-0032

09.25.2015

Legend	Material Sample	Color	Description
<b>Sherwin-Williams Paint + Stain</b>			
A	Body 1 - Cedar Wood Lap Siding	SW 3507 Riverwood	Exterior Semi-Transparent Stain
B	Accent 1 - Fiber Cement Panel	SW 7008 Alabaster	Paint
C	Accent 2 - Entry Door	SW 3501 Redwood	Exterior Semi-Transparent Stain
D	Accent 3 - Trim, Garage Door 1	SW 7008 Alabaster	Paint
E	Accent 4 - Garage Door 2	SW 6096 Jute Brown	Paint
F	Accent 5 - Wood Board	SW 6110 Steady Brown	Paint
G	Body 2- Cedar Wood Shingles	SW 3508 Covered Bridge	Exterior Semi-Transparent Stain
<b>Marvin Window</b>			
H	Window - Aluminum Clad (or sim.)	Stone White	Standard Finish
<b>Certaiteed Roofing</b>			
I	Roof - Triple Laminate Composite Roof Shingle	Mountain Timber	Landmark TL
<b>Coronado Stone</b>			
J	Stone Series - Ashlar & Rubble	Texas Cream	Country Rubble

Note: Color of transformer and backflow preventers to match adjacent building color as allowed by PG&E and Fire.



KEY ELEVATION - BUILDING A (N.T.S.)

## 133 ENCINAL AVENUE

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## MATERIAL/COLOR BOARD SCHEME I

MENLO PARK, CA

KTGY # 2014-0032

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A8.0B



A. WOOD LAP SIDING



G. WOOD SHINGLES



H. WINDOW



I. TRIPLE LAMINATE COMPOSITE ROOF SHINGLE



B. ACCENT 1 (FIBER CEMENT PANEL)



C. ACCENT 2



D. ACCENT 3



E. ACCENT 4



F. ACCENT 5



J. STONE VENEER

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## MATERIAL/COLOR BOARD SCHEME II

MENLO PARK, CA  
KTGY # 2014-0032

10.14.2015

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A8.1A

D89



## Encinal Avenue

Menlo Park, CA

#2014-0032

09.25.2015

Legend	Material Sample	Color	Description
<b>Sherwin-Williams Paint</b>			
A	Body 1 - Cedar Wood Lap Siding	SW 3541 Harbor Mist	Exterior Semi-Transparent Stain
B	Accent 1 - Fiber Cement Panel	SW 7008 Alabaster	Paint
C	Accent 2 - Entry Door	SW 3501 Redwood	Exterior Semi-Transparent Stain
D	Accent 3 - Trim, Garage Door 1	SW 7008 Alabaster	Paint
E	Accent 4 - Garage Door 2	SW 7067 Cityscape	Paint
F	Accent 5 - Wood Board	SW 6089 Grounded	Paint
G	Body 2 - Cedar Wood Shingles	Matched to Shakertown Bound Rock	Exterior Semi-Transparent Stain; Shakertown Craftsman Shingle Panel (or sim.)
<b>Marvin Window</b>			
H	Window - Aluminum Clad (or sim.)	Stone White	Standard Finish
<b>Certaainteed Roofing</b>			
I	Roof - Triple Laminate Composite Roof Shingle	Country Gray	Landmark TL
<b>Coronado Stone</b>			
J	Stone Series - Ashlar & Rubble	Texas Cream	Country Rubble

Note: Color of transformer and backflow preventers to match adjacent building color as allowed by PG&E and Fire.



KEY ELEVATION - BUILDING B (N.T.S.)

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## MATERIAL/COLOR BOARD SCHEME II

MENLO PARK, CA  
KTGY # 2014-0032

10.14.2015

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A8.1B



## Encinal Avenue

Menlo Park, CA

#2014-0032

09.25.2015

Legend	Material Sample	Color	Description
<b>Sherwin-Williams Paint</b>			
A	Body 1 - Wood Board + Battens	SW 3507 Riverwood	Exterior Semi-Transparent Stain
B	Accent 1 - Wood Guardrail, Columns, Trim, Decorative Trim, Fascia Board, Doors	SW 7008 Alabaster	Paint
<b>Windows</b>			
C	Window - Wood Windows	Stone White	Paint
<b>Cedar Roof Shingles</b>			
D	Roof - Cedar Wood Shingles	(Natural)	



A. WOOD BOARD + BATTEN



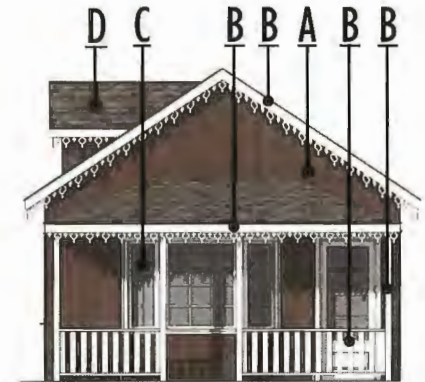
B. ACCENT 1



C. WINDOW (WOOD WINDOWS)



D. ROOF (CEDAR WOOD SHINGLES)



KEY ELEVATION - BUILDING H (N.T.S.)

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## MATERIAL/COLOR BOARD SCHEME III- BUILDING H

MENLO PARK, CA

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A8.2

D91





## LANDSCAPE & WATER EFFICIENCY DESIGN INTENT STATEMENT

THE LANDSCAPE DESIGN INCORPORATES PRINCIPLES INCLUDED IN THE "BAY FRIENDLY LANDSCAPE GUIDELINES" & WILL COMPLY WITH THE CITY OF MENLO PARK'S DESIGN GUIDELINES & MUNICIPAL CODE.

PLANTS ARE GROUPED BY HYDROZONAL EXPOSURE & LOCAL CLIMATIC CONDITIONS. THE PLANTING DESIGN ALLOWS FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE AND ELIMINATES THE NEED FOR EXCESSIVE PRUNING OR HEDGING.

SELECTED TREES HAVE BEEN CHOSEN TO PROVIDE A VARIATION OF HEIGHTS, WIDTHS, COLORS, TEXTURES, AND CHARACTER. TREE LOCATION AND ORIENTATION HAVE BEEN DESIGNED FOR MAXIMUM AESTHETIC EFFECT AND PASSIVE SOLAR BENEFITS.

VEGETATED SWALES AND BIORETENTION TREATMENT AREAS WILL BE PLANTED WITH APPROVED WATER-CONSERVING CAREX PANGA OR ALTERNATIVE GRASS SPECIES, AND PERIMETER SHRUBS THAT ARE ADAPTED TO BIO-SWALE CONDITIONS.

THE TREES, SHRUBS AND TURF PLANTING AREAS WILL BE DESIGNED FOR MAXIMUM WATER CONSERVATION. THE LANDSCAPE ESTIMATED TOTAL WATER USE WILL NOT EXCEED THE PROJECT'S MAXIMUM WATER ALLOWANCE AS SPECIFIED IN THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.

THE PLANTING & IRRIGATION DESIGN WILL COMPLY WITH THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE & THE CITY OF MENLO PARK'S MUNICIPAL CODE 12.44.

THE PLANTS HAVE BEEN SELECTED UTILIZING THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PLANT LIST. WUCOLS III. NO PLANTS ARE USED THAT ARE CONSIDERED INVASIVE IN THE REGION AS LISTED BY THE CALIPC.

## SF PUC RIGHT OF WAY:

GARDEN PLOTS (RAISED PLANTERS), CITRUS AND SELECTED SHRUBS AND GROUNDCOVER ARE ALLOWABLE PER THE SAN FRANCISCO PUBLIC UTILITIES COMMISSION RIGHT OF WAY REQUIREMENTS. LANDSCAPE PLANS WILL CONFORM TO SF PUC REQUIREMENTS.

## BUILD IT GREEN LANDSCAPE ITEMS:

THE LANDSCAPE DESIGN WILL INCORPORATE THE FOLLOWING "BUILD IT GREEN" ITEMS TO MAXIMIZE WATER CONSERVATION:

- NO INVASIVE PLANT SPECIES USED ON PROJECT.
- 75% OF PLANTS ARE WATER-CONSERVING CALIFORNIA NATIVES OR MEDITERRANEAN SPECIES.
- TURF IS TALL FESCUE WITH WATER USE PLANT FACTOR OR 0.8.
- TURF ARE IS LESS THAN 32% OF ENTIRE LANDSCAPED AREA.
- PLANTS ARE GROUPED BY WATER NEEDS AND EACH AREA IS IRRIGATED SEPARATELY (I.E., TURF AND SHRUB AREAS HAVE SEPARATE IRRIG. CIRCUITS).
- LOW FLOW SPRINKLER HEADS ARE USED ON PROJECT.
- 2" COMPOST ADDED INTO SOIL.
- 3" OF MULCH ADDED TO SHRUB AND GROUND COVER PLANTING AREAS.

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CONCEPTUAL LANDSCAPE PLAN

MENLO PARK, CA

TALA # 1436

10.14.2015



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81 14TH STREET, SAN FRANCISCO, CA  
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D92



**A GARDEN PLAZA ENLARGEMENT PLAN**  
SCALE: 1/8"=1'-0"

**B SITE FURNITURE**  
SCALE: 1/4"=1'-0"

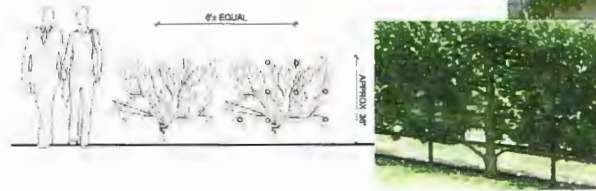


BENCH THROUGHOUT SITE



LOUNGE CHAIR AND SIDE TABLE

**D FLOWERING/FRUITING ESPALIER**  
SCALE: NTS



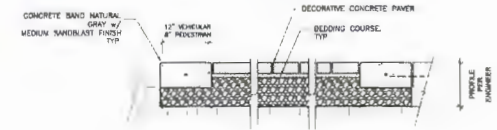
**C GARDEN PLOTS**  
SCALE: NTS



NOTE: PAVERS SHALL PERMEABLE WHEREVER FEASIBLE  
AND AS PER CIVIL ENGINEER'S C-3 PLANS  
PROFILE SHALL BE PER GEO-TECH ENGINEER



CONCRETE PAVERS TO BE:  
QUARRY STONE BY CALSTONE OR APPROVED  
EQUIVALENT, COLOR: OAK BARREL GRAY  
VEHICULAR PAVES: 80mm  
PEDESTRIAN PAVES: 60mm



**E PERMEABLE CONCRETE PAVERS**  
SCALE: NTS

SCALE: AS SHOWN

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LANDSCAPE ENLARGEMENT PLAN & DETAILS

MENLO PARK, CA

SALA # 1414

10.14.2015

L2.0

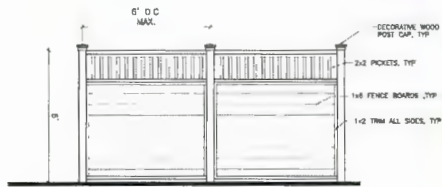
**VAN DORN ABED**  
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81 14TH STREET, SAN FRANCISCO, CA  
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D93

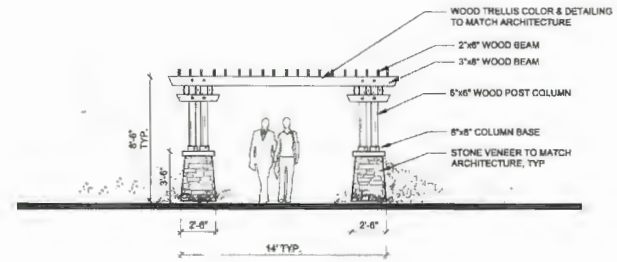




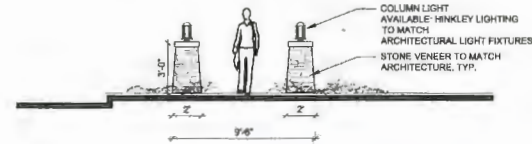
**A BUILDING E AND F COURTYARD ENLARGEMENT PLAN**  
SCALE: 1/8" = 1'-0"



**B 6' GOOD NEIGHBOR SIDEYARD FENCE WITH LATTICE**  
SCALE: 3/8" = 1'-0"

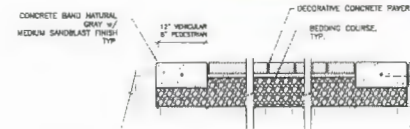


**C TRELLIS FEATURE**  
SCALE: 1/4" = 1'-0"



**D COLUMN FEATURE WITH LIGHTING**  
SCALE: 1/4" = 1'-0"

NOTE: PAVERS SHALL PERMEABLE WHEREVER FEASIBLE AND AS PER CIVIL ENGINEER'S C-3 PLANS. PROFILE SHALL BE PER GEO-TECH ENGINEER



CONCRETE PAVERS TO BE QUARRY STONE BY CAL STONE OR APPROVED EQUIVALENT. COLOR: OAK BARREL GRAY  
VEHICULAR PAVES: 80mm  
PEDESTRIAN PAVES: 60mm

**E PERMEABLE CONCRETE PAVERS**  
SCALE: 1/2" = 1'-0"

SCALE: AS SHOWN

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LANDSCAPE ENLARGEMENT PLAN & DETAILS

MENLO PARK, CA

SALA # 1416

10/14/2015

L2.1

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ZIP 94103 PH (415) 864-1921 FAX (415) 864-6796



- PLAY COMPONENTS ON FIBER SAFETY SURFACE ELEMENTS INCLUDE:
- MUSHROOM STEPPER
  - PEAK CLIMBER
  - LOG TUNNEL
  - LOG STEPPERS
- BY LANDSCAPE STRUCTURES AVAILABLE THROUGH ROSS RECREATION

**A CHILDREN'S DISCOVERY GARDEN AND COMMUNITY COURTYARD ENLARGEMENT PLAN**  
SCALE: 1/8"=1'-0"

**B PLAY COMPONENTS**  
SCALE: NTS

SCALE: AS SHOWN

3 ENCINAL AVENUE

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LANDSCAPE ENLARGEMENT PLAN & DETAILS

MENLO PARK, CA  
VALA # 1416

10.14.2015

L2.2

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96D



**A OAK GROVE GARDEN WITH SHADED SEATING**  
SCALE: 1/8"=1'-0"



**B OAK GROVE GARDEN CONCEPTUAL IMAGERY**  
SCALE: NTS



BENCH THROUGHOUT SITE



TABLE AND CHAIRS AT  
COMMUNITY COURTYARD



LOUNGE CHAIR AND SIDE TABLE AT OAK GROVE  
GARDEN

**C SITE FURNITURE**  
SCALE: NTS

SCALE: AS SHOWN

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Cupertino, CA 95014  
408.255.4100

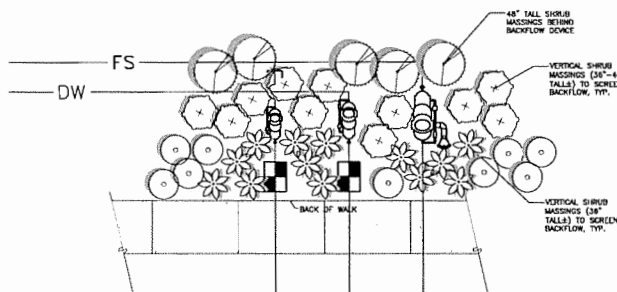
LANDSCAPE ENLARGEMENT PLAN & DETAILS

MENLO PARK, CA  
SALA # 1416

10.14.2015

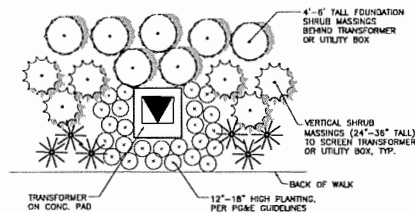
L2.3

**VAN DORN ABED**  
LANDSCAPE ARCHITECTS, INC.  
81 14TH STREET, SAN FRANCISCO, CA  
ZIP 94103 PH (415) 864-9921 FAX (415) 864-4796

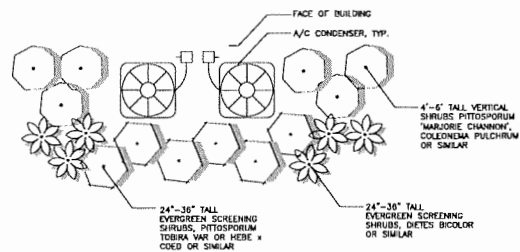


TYPICAL BACKFLOW SCREENING

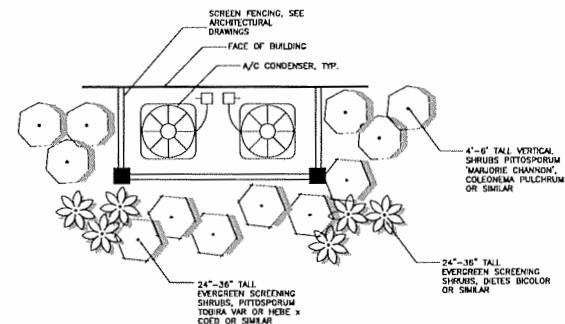
NOTE:  
FOR SCREENING PURPOSES, ALL  
PLANTING ADJACENT TO UTILITIES  
SHALL BE UP-SIZED AS FOLLOWS:  
1 GALLON - UPSIZE TO 5 GALLON  
5 GALLON - UPSIZE TO 15 GALLON



TYPICAL TRANSFORMER SCREENING



TYPICAL A/C CONDENSER LANDSCAPE SCREENING



TYPICAL A/C CONDENSER LOW FENCE & LANDSCAPE SCREENING

## A LANDSCAPE UTILITY SCREENING DETAILS

SCALE: NTS

SCALE: AS SHOWN

133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

LANDSCAPE ENLARGEMENT PLAN & DETAILS

MENLO PARK, CA

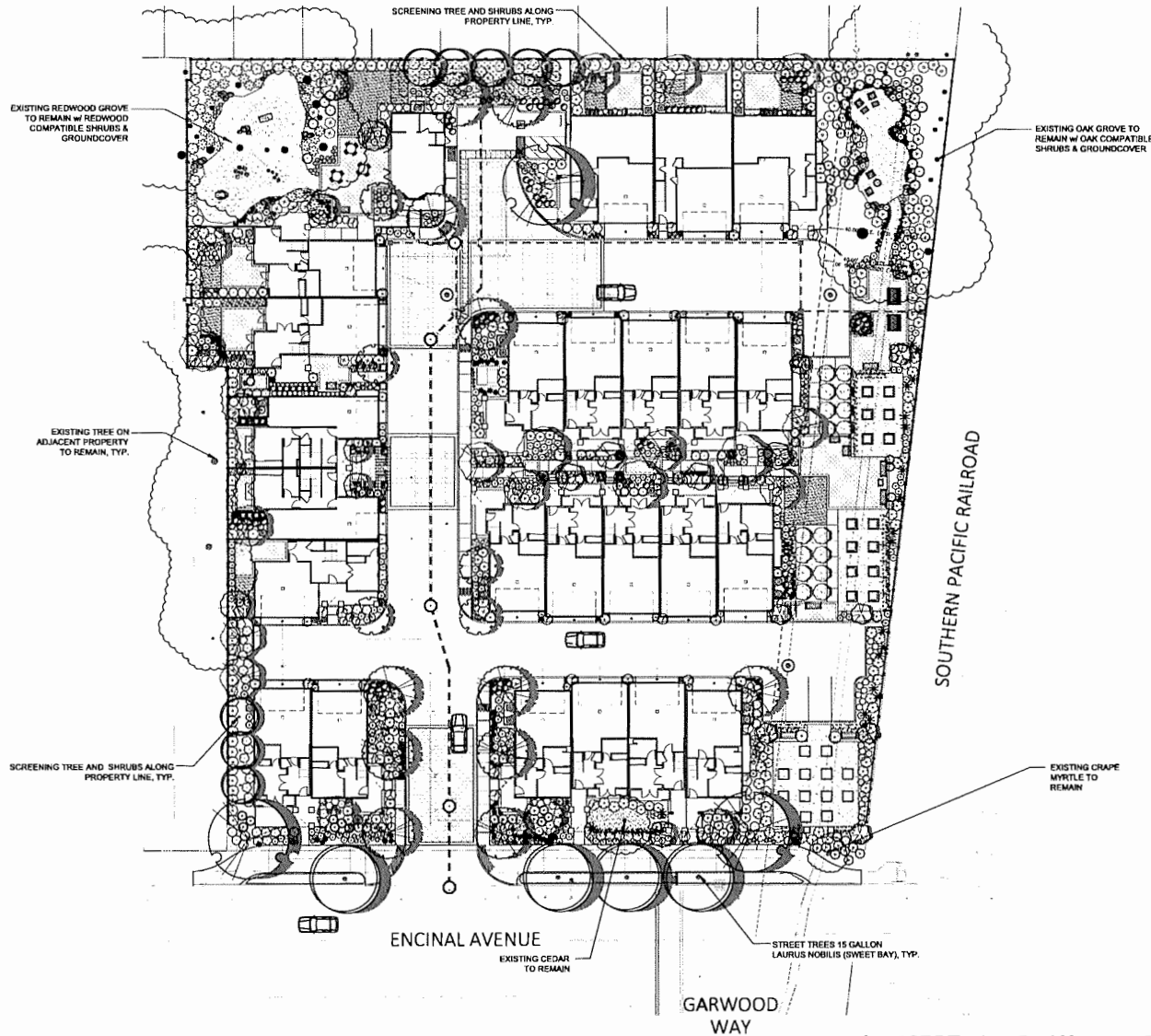
WALA # 1416

10.14.2015

L2.4



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81 14TH STREET, SAN FRANCISCO, CA  
2P 94103 PH (415) 864-9221 FAX (415) 864-4796



### PLANTING NOTES:

1. THE CONCEPTUAL PLANTING PLAN IS PRELIMINARY IN NATURE AND IS INTENDED TO CONVEY GENERAL PLANTING THEMES & DESIGN CONCEPT ONLY. THE PROPOSED PLANT SPECIES, SIZES & QUANTITIES REPRESENT THE GENERAL PALETTE OF PROPOSED PLANTS AND PLANT COMMUNITIES WE INTEND ON USING INCLUDING THE INTENDED INSTALLED SIZES.  
FINAL PLANTING QUANTITIES, SIZES AND LOCATIONS WILL BE FINALIZED ON THE CONSTRUCTION DOCUMENTS.
2. SEE SHEET L3.0 FOR LANDSCAPE DESIGN INTENT & WATER EFFICIENCY STATEMENT.

### REPLACEMENT TREES:

#### MITIGATION:

- NUMBER OF EX. HERITAGE TREES TO BE REMOVED = 5
- NUMBER OF 15 GAL. MIN. REPLACEMENT TREES REQUIRED = 10
- NUMBER OF MITIGATION/REPLACEMENT TREES PROVIDED = 9 - 24" BOX  
15 - 15 GAL  
TOTAL = 24 TREES
- TOTAL NUMBER OF PROPOSED TREES TO BE PLANTED = 58 PROPOSED

SEE SHEET L4.0 EXISTING TREE DISPOSITION PLAN FOR ADDITIONAL INFORMATION.

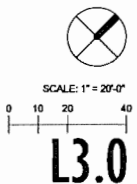
SEE L3.1 FOR PLANT LEGEND

133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

CONCEPTUAL PLANTING PLAN

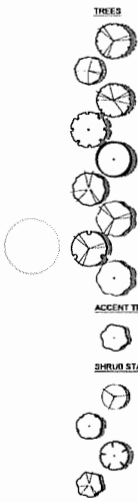
MENLO PARK, CA  
SALA # 1416  
10.14.2015



L3.0



VAN DORN ABED  
LANDSCAPE ARCHITECTS, INC.  
81 14TH STREET, SAN FRANCISCO, CA  
ZIP 94103 PH (415) 864-7921 FAX (415) 864-4796



DB9



## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

SHRUB	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
🌳	ADU BLU	Abutilon hybridum 'Blushing Bells'	Flowering Maple	5 gal	41	
🌳	ANI BUS	Anipenthoris x 'Bush Gold'	Kangaroo Paw	5 gal	33	
🌳	ANI TAZ	Anilodonia x hypomanducum 'Tara's Pink' STD	Tara's Pink Cape Meadow STD	50'-STD	8	
🌳	AZA FOS	Azalea indica Topiary	Formosa Azalea 3 Ball Palm Pom Topiary	5 gal	1	
🌳	BER CRI	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry	5 gal	30	
🌳	BER COR	Berberis corifolia	Heartleaf Berberis	1 gal	227	
🌳	BUX BEA	Buxus microphylla japonica 'Green Beauty'	Green Beauty Boxwood	5 gal	3	
🌳	BUX GRS	Buxus sempervirens 'Green Tower'	Green Tower Boxwood	5 gal	11	
🌳	CAL LIT	Callistemon citrinus 'Little John'	Dwarf Bottle Brush	5 gal	11	
🌳	CAM NUC	Camelia japonica 'Nuccio's Gem'	White Camellia	5 gal	23	
🌳	CAR PRA	Carex praegracilis	Slender Sedge	5 gal	75	
🌳	CAR CAL	Carpenteria californica	Bush Anemone	5 gal	15	
🌳	CEA ARR	Coenothus thyrsiflorus 'Arroyo de la Cruz'	Blue Blossom	5 gal	7	
🌳	COL PUL	Coleonema pulchrum	Pink Breath Of Heaven	5 gal	18	
🌳	COL SUN	Coleonema pulchrum 'Sunset Gold'	Golden Breath Of Heaven	5 gal	31	
🌳	COT MIC	Cotoneaster microphyllus	Rockspiny Cotoneaster	5 gal	31	
🌳	DIE BIC	Dielsia bicolor	Fortnight Lily	5 gal	83	
🌳	DIE VA3	Dielsia grandiflora 'Variegata'	Striped Fortnight Lily	1 gal	18	
🌳	DOD PUR	Dodonaea viscosa 'Purpurea'	Purple Leafed Hopseed Bush	15 gal	5	
🌳	ERI CAP	Eriogon glaucus 'Cape Sebastian'	Seaside Daisy	1 gal	97	
🌳	ERI WAY	Eriogon glaucus 'Wayne Roderick'	Seaside Daisy	5 gal	87	
🌳	ERY BOW	Erysimum x 'Bowles' Mauve'	Wallflower	5 gal	5	
🌳	ERY WEN	Erysimum x 'Winkler Beauty'	Wallflower	1 gal	51	
🌳	ESC NEW	Escallonia rubra 'Newport Dwarf'	Dwarf Escallonia	5 gal	33	
🌳	ESC APP	Escallonia x 'Apple Blossom'	Apple Blossom Escallonia	5 gal	3	
🌳	EUP MAR	Euphorbia x martini	Euphorbia	1 gal	22	
🌳	FES DW	Festuca ovina glauca 'Elijah Blue'	Blue Fescue	5 gal	183	
🌳	FUC GAR	Fuchsia hybrid 'Gartenmeister Bonstedt'	Gartenmeister Fuchsia	1 gal	49	
🌳	GRE NOE	Grevillea x 'Hoodii'	Grevillea	5 gal	13	
🌳	HEB COE	Hebe x 'Cord'	Hebe	5 gal	30	
🌳	HEB VA3	Hebe x 'Variegata'	Variegated Hebe	5 gal	28	
🌳	HEU SA3	Heuchera x 'Santa Ana Cardinal'	Coral Bells	1 gal	250	
🌳	LIG TE3	Ligustrum lauratum	Tea Olive	5 gal	4	

LIR GIG	Liriodendron giganteum	Giant Liriodendron	1 gal	15
LIR GIG	Liriodendron giganteum	Giant Liriodendron	5 gal	30
LIR NAN	Liriodendron nanum 'Nana Variegata'	Dwarf Variegated Lily Turf	5 gal	100
LOR SZ2	Loropetalum chinensis 'Sizzling Pink'	Sizzling Pink Fringe Flower	5 gal	33
PHO DAZ	Phoradendron 'Dazzler'	New Zealand Flax	5 gal	10
PHO MA2	Phoradendron 'Maori Queen'	New Zealand Flax	5 gal	17
PHO DAR	Phoradendron 'Dark Delight'	Purple Flax	5 gal	23
PHO DUE	Phoradendron 'Duet'	New Zealand Flax	5 gal	12
PHO YEL	Phoradendron x 'Yellow Wave'	New Zealand Flax	1 gal	8
PIT CO2	Pittosporum tenuifolium 'Compactum'	Dwarf Kero	5 gal	57
PIT MAR	Pittosporum tenuifolium 'Marjorie Channon'	Tea Olive	5 gal	78
PIT CRE	Pittosporum tobira 'Cream De Mint' TM	Cream De Mint Dwarf Mock Orange	1 gal	84
PIT VAR	Pittosporum tobira 'Varegate'	Varegate Mock Orange	5 gal	22
PIT WHE	Pittosporum tobira 'Whisper Dwarf'	Whisper's Dwarf Mock Orange	5 gal	4
POD ICE	Podocarpus x 'Ice Blue'	Ice Blue Podocarpus	15 gal	7
POL MUN	Polystichum munroianum	Western Sword Fern	5 gal	30
RHO OCC	Rhododendron occidentale	Western Azalea	5 gal	10
RIB SAN	Ribes sanguineum	Red Flowering Currant	5 gal	14
ROS CAL	Rosa californica	California Wild Rose	5 gal	43
ROS ZEP	Rosa David Austin 'Zepherine Drouhin'	Climbing Rose	5 gal	9
ROS IC2	Rosa 'Iceberg'	Iceberg Rose	5 gal	74
ROS IS4	Rosa 'Iceberg'	Iceberg Rose Standard	5 gal	15
ROS PM4	Rosa 'Pink Iceberg'	Rose	5 gal	11
ROS F23	Rosa x 'Flower Carpet Amber'	Amber Carpet Rose	2 gal	33
ROS FL4	Rosa x 'Flower Carpet Pink'	Rose	2 gal	25
ROS FL6	Rosa x 'Flower Carpet White'	Rose	2 gal	8
SOL ROY	Solanum elaeagnifolium 'Royal Robe'	Paraguay Nightshade STD	5 gal	19
STA BIG	Stachys byzantina 'Big Ears'	Lamb's Ear	1 gal	82
TIB URV	Tibouchina urvilleana	Princess Flower	5 gal	8

## CONCEPTUAL PLANTING LEGEND

MENLO PARK, CA

DATE: 10/14/2015

10/14/2015

VAN DORN ABED  
LANDSCAPE ARCHITECTS, INC.  
81 14TH STREET, SAN FRANCISCO, CA  
ZIP: 94103 PH: (415) 864-7921 FAX: (415) 864-4796

L3.1



100



GINKGO BILOBA



PISTACHIA CHINENSIS



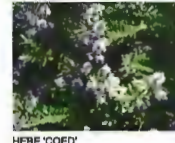
HEUCHERA 'SANTA ANA CARDINAL'



STACHYS BYZANTINA



ERYSIMUM x BOWLES MAUVE



HEBE 'COED'



ROSA ICEBURG STANDARDOS



ROSA ICEBURG



MAGNOLIA LITTLE GEM



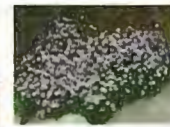
PYRUS CALLERYANA



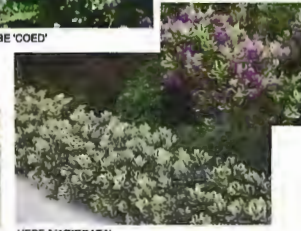
EUPHORBIA x MARTINII



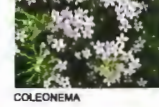
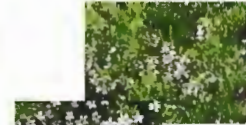
ROSA FLOWER CARPET 'AMBER'



ERIGERON GLAUCUS



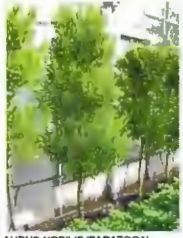
HEBE VARIEGATA



COLEONEMA



ROSA ZEPRERIN DROUHN



LAURUS NOBILIS 'SARATOGA'



ULMUS PARVIFOLIA 'TRUE GREEN'



RHODODENDRON OCCIDENTALE



POLYSTICHUM MUNITUM



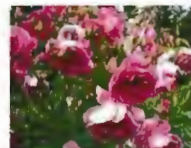
DIETES BICOLOR



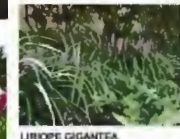
POLYSTICHUM MUNITUM



PITTOSPORUM TOBIRA 'CREME DE MINT'



ROSA ICEBURG 'PINK'



LIRIOPE GIGANTEA



WISTERIA 'AMETHYST FALLS'



X CHIHLP YASHKENTENSIS 'PINK DAWN'



PHORMIUM HYBRIDS



PHORMIUM HYBRIDS



PITTOSPORUM TENUIFOLIUM 'MARJORIE CHANNON'



CAREX PRAEGRACILIS



GREVILLEA



GREVILLEA



LAGERSTROEMIA



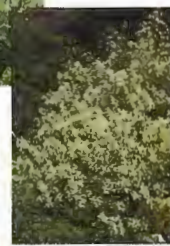
MAGNOLIA STELLATA



CARPENTERIA CALIFORNICA



LIGUSTRUM TEXANUM



PITTOSPORUM TENUIFOLIUM 'MARJORIE CHANNON'



ABUTILON 'BLUSHING BELLE'



FESTUCA 'ELIAH BLUE'

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL PLANT IMAGERY

MENLO PARK, CA

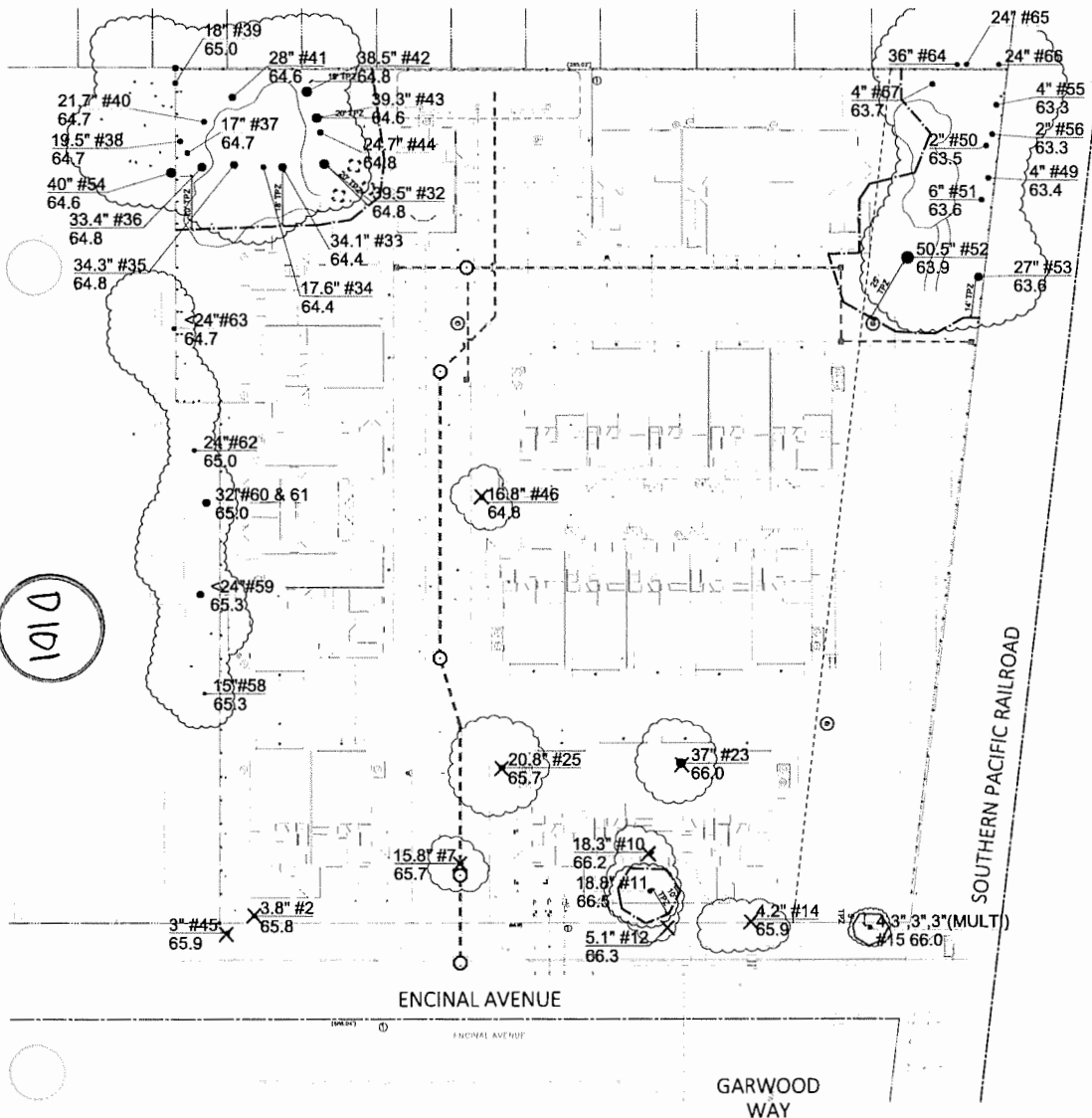
PLAN # 1416

10.14.2015

## L3.2

**VAN DORN ABED**  
LANDSCAPE ARCHITECTS, INC.  
81 14TH STREET, SAN FRANCISCO, CA  
ZIP 94103 PH (415) 864-9921 FAX (415) 864-4796





EXISTING TREE CHART					
TREE NO.	TREE TYPE	CONDITION	DISPOSITION	TPZ SIZE	DIA./HT./SPREAD
2	JAPANESE MAPLE	FAIR	TO BE REMOVED	2'	3.8"/7'6"
7	COAST REDWOOD	FAIR-GOOD	TO BE REMOVED	-	15.8"/25'12"
10	INCENSE CEDAR	FAIR/PROTECTED	TO BE REMOVED	-	18.3"/34'11"
11	INCENSE CEDAR	FAIR	PRESERVE	10 FEET	18.8"/40'22"
12	CRAB APPLE	FAIR	TO BE REMOVED	-	5.1"/7'12"
13	BIRCH	POOR-FAIR	TO BE REMOVED	-	10.5"/16'12"
14	TEA TREE	POOR-FAIR	TO BE REMOVED	-	4.2"/9'10"
15	GRAPE MYRTLE	GOOD/PROTECTED	PRESERVE	5'	8.8'
23	COAST REDWOOD	FAIR/PROTECTED	TO BE REMOVED	-	37"/85'25"
25	JAPANESE MAPLE	POOR-FAIR/PROTECTED	TO BE REMOVED	-	20.8"/15'22"
32	COAST REDWOOD	FAIR	PRESERVE	20 FEET	38.5"/90'22"
33	COAST REDWOOD	POOR-FAIR	PRESERVE	16 FEET	34.1"/70'20"
34	COAST REDWOOD	FAIR	PRESERVE	10 FEET	17.6"/70'11"
35	COAST REDWOOD	FAIR-GOOD	PRESERVE	18 FEET	34.3"/95'18"
36	COAST REDWOOD	POOR-FAIR	PRESERVE	18 FEET	33.4"/90'22"
37	COAST REDWOOD	FAIR	PRESERVE	10 FEET	17"/70'14"
38	COAST REDWOOD	POOR-FAIR	PRESERVE	10 FEET	19.5"/85'15"
39	COAST REDWOOD	POOR-FAIR	PRESERVE	10 FEET	16"/75'16"
40	COAST REDWOOD	POOR-FAIR	PRESERVE	11 FEET	21.7"/80'11"
41	COAST REDWOOD	FAIR-GOOD	PRESERVE	14 FEET	28"/85'26"
42	COAST REDWOOD	FAIR	PRESERVE	18 FEET	35.5"/85'30"
43	COAST REDWOOD	FAIR-GOOD	PRESERVE	20 FEET	39.3"/85'34"
44	COAST REDWOOD	FAIR	PRESERVE	13 FEET	24.7"/75'11"
45	JAPANESE MAPLE	FAIR-GOOD	TO BE REMOVED	-	37'12'6"
46	COAST REDWOOD	FAIR/PROTECTED	TO BE REMOVED	-	16.8"/35'10"
52	COAST LIVE OAK	FAIR	PRESERVE	25 FEET	50.5"/55'50"
53	COAST LIVE OAK	FAIR	PRESERVE	14 FEET	27'05'38"
54	COAST REDWOOD	FAIR	PRESERVE	20 FEET	40"/80'22"
58	COAST LIVE OAK		PRESERVE	12 FEET	EST 15'
59	SYCAMORE		PRESERVE	12 FEET	EST <24"
60 & 61	COAST LIVE OAK		PRESERVE	12 FEET	32"
62	COAST LIVE OAK		PRESERVE	12 FEET	EST <24"
63	COAST LIVE OAK		PRESERVE	12 FEET	EST <24"
64	COAST REDWOOD		PRESERVE	18 FEET	EST 36"
65	MONTEREY PINE		PRESERVE	15 FEET	EST 24"
66	MONTEREY PINE		PRESERVE	15 FEET	EST 24"

## EXISTING TREE LEGEND:

- EXISTING PROTECTED/HERITAGE TREE TO REMAIN, TYP.
- EXISTING NON-PROTECTED TREE TO REMAIN, TYP.
- EXISTING PROTECTED/HERITAGE TREE TO BE REMOVED, TYP.
- TREE PROTECTION FENCE, TYP.

## EXISTING TREE NOTES:

- TOTAL NUMBER OF EXISTING PROTECTED/HERITAGE TREES ON SITE = 29
  - 4 OF EXISTING PROTECTED/HERITAGE TREES PROPOSED FOR REMOVAL = 5
  - MITIGATION:
    - NUMBER OF 15 CAL. MIN. REPLACEMENT TREES REQUIRED: 10
- TREE DISPOSITION PLAN IS BASED ON ARBORIST REPORT DATED SEPTEMBER, 2015  
CONTRACTOR TO FOLLOW TREE PROTECTION GUIDELINES AND TPZ FENCING PER ARBORIST REPORT AND ALL CITY REQUIREMENTS.

133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

EXISTING TREE DISPOSITION PLAN

MENLO PARK, CA

TAXA # 1416

10/14/2015

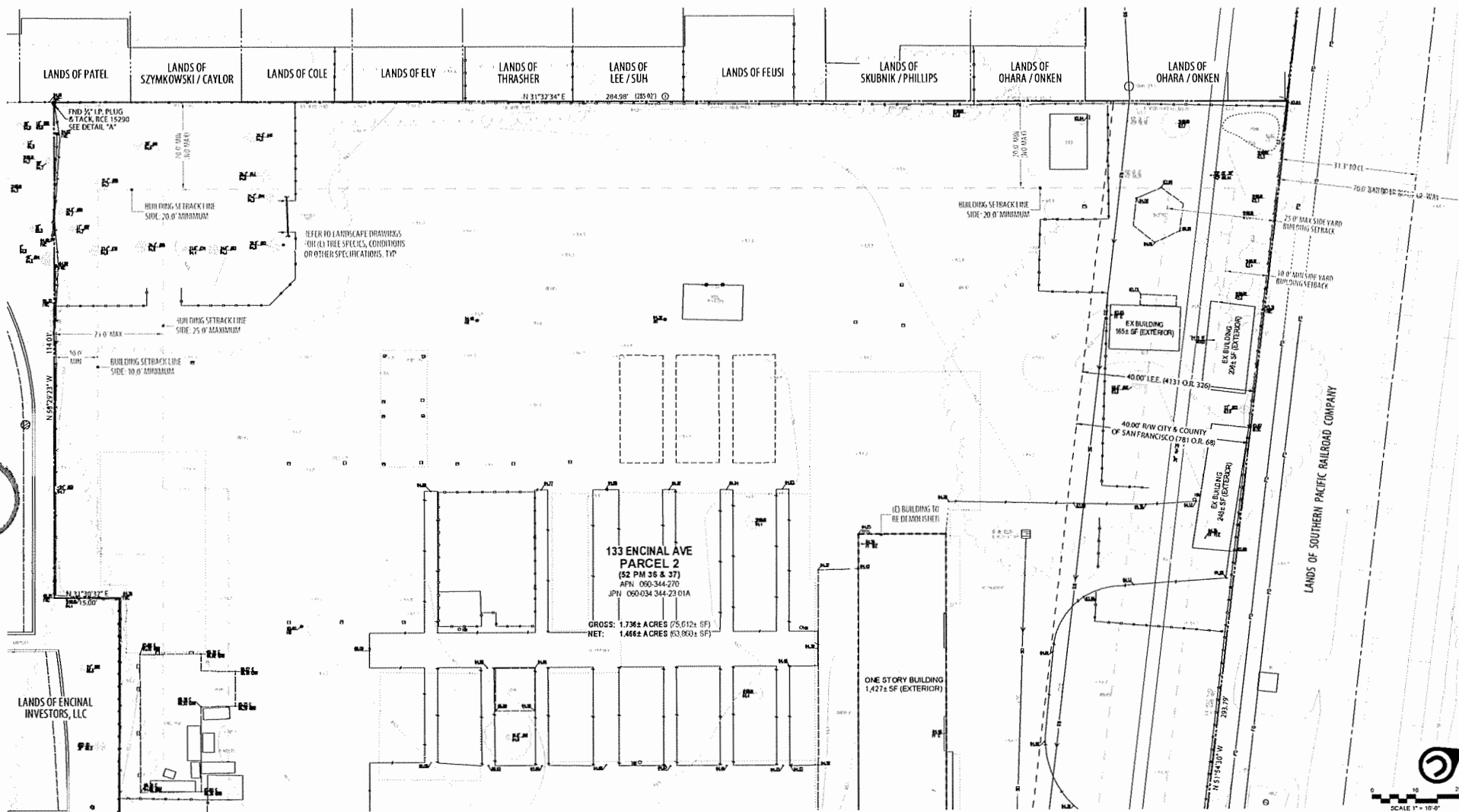
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LANDSCAPE ARCHITECTS, INC.  
81 14TH STREET, SAN FRANCISCO, CA  
ZIP 94103 PH (415) 864-7221 FAX (415) 864-4796

SCALE: 1" = 20'-0"  
0 10 20 40  
L4.0

# EL CAMINO REAL



**INTERRA GROUP**  
1155 N. FIRST STREET, SUITE 214  
SACRAMENTO, CALIFORNIA 95812



## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

### SURVEY LEGEND

EXISTING PROPERTY LINE	WOOD FENCE	FOUND MONUMENT AS NOTED	CATCH BASIN / DRAIN INLET
ADJACENT PROPERTY LINE	WALL	FOUND IRON PIPE OR AS NOTED	WATER METER
CENTERLINE	EDGE OF PAVEMENT	LIGHT	FIRE DEPARTMENT CONNECTION
EXISTING EASEMENT	SANITARY SEWER	STREET LIGHT	BACKFLOW PREVENTER
BUILDING SETBACK LINE	STORM DRAIN	FIRE HYDRANT	POST INDICATOR VALVE
BUILDING OVERHANG	DOMESTIC WATER	STORM DRAIN MANHOLE	WELL OR MONITORING WELL
CURB	NATURAL GAS	MANHOLE	UTILITY BOX (SIZE & TYPE VARY)
CURB & GUTTER	UNDERGROUND ELECTRIC	CLEAN OUT	SIGN
TELEPHONE HEADER BOARD	OVERHEAD	GAS METER	POST
CONCRETE	JOINT TRENCH	UTILITY POLE W/ GUY WIRE	TREE W/ SIZE, TAG AND ELEVATION
CHAIN LINK FENCE	FIRE OPTIC CONDUIT BANK	VALVE	RECORD INFORMATION BY REFERENCE

## BOUNDARY & TOPOGRAPHIC SURVEY

MENLO PARK, CA

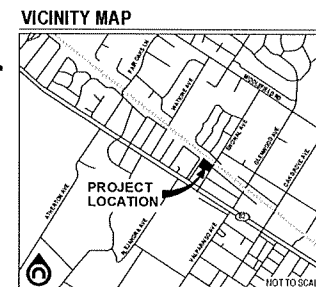
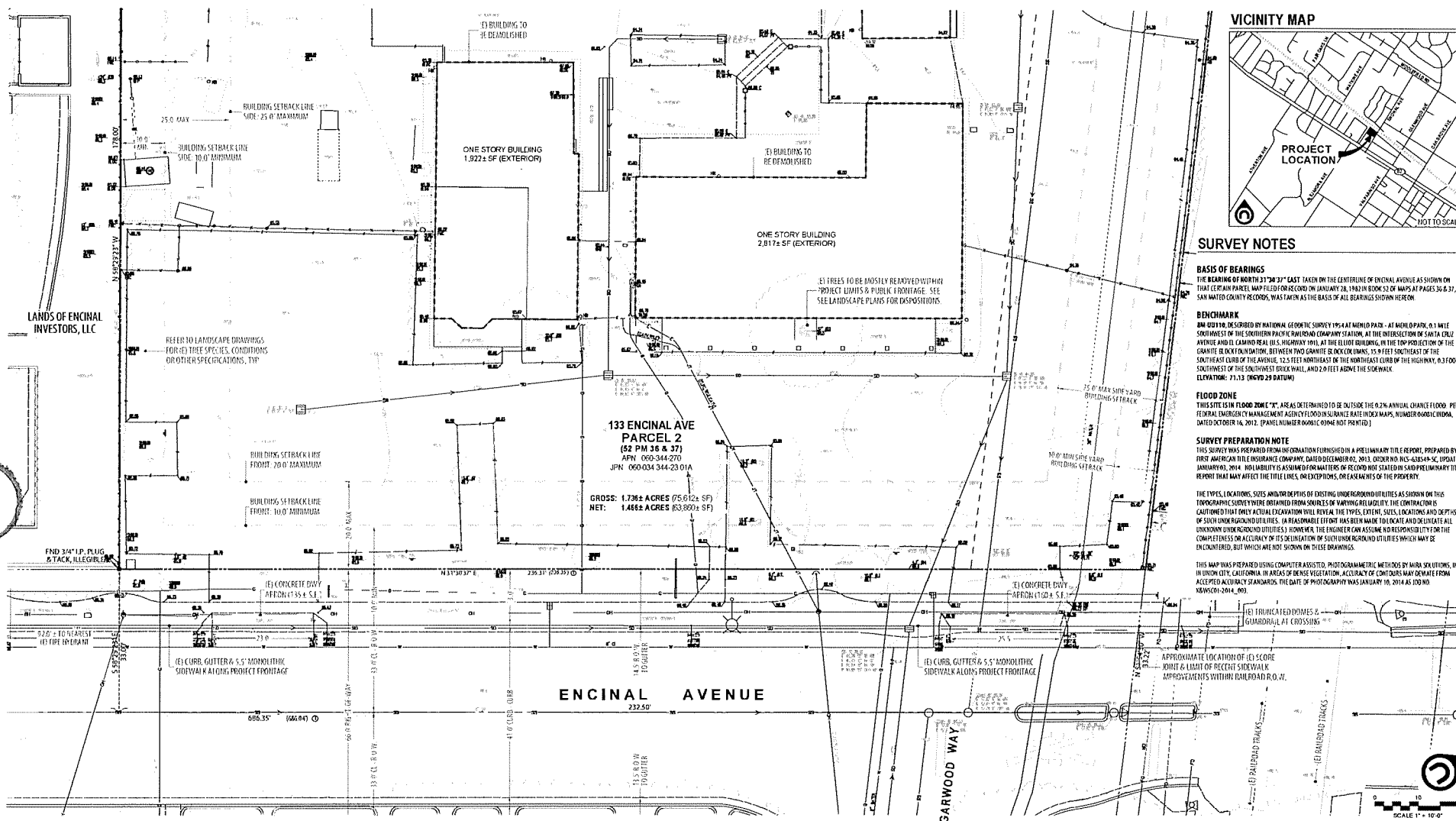
REC # 15-002

7.28.2014  
0.04.2015 3rd SUBMITTAL  
7.04.2015 3rd SUBMITTAL  
9.21.2015 4th SUBMITTAL  
10.15.2015 5th SUBMITTAL

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS SHOWN ON THIS SURVEY IN ACCORDANCE WITH THE LAND SURVEYORS ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE REPRODUCED.



NTERRA GROUP  
1155 H. FIRST STREET, SUITE 214  
SAN JOSE, CALIFORNIA 95112



# **SURVEY NOTES**

**BASIS OF BEARINGS**  
THE BEARING OF NORTH 31°30'30" EAST TAKEN ON THE CENTERLINE OF ENCINAL AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON JANUARY 28, 1983 IN BOOK 52 OF MAPS AT PAGES 36 & 37, SAN MATEO COUNTY RECORDS, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

**BENCHMARK**  
BM 101110, DESCRIBED BY NATIONAL GEODETIC SURVEY 1984 AT MENLO PARK, 0.1 MILE SOUTHWEST OF THE SOUTHERN PACIFIC RAILROAD COMPANY STATION, AT THE INTERSECTION OF SANTA CRUZ AVENUE AND EL CAMINO REAL (U.S. HIGHWAY 101), AT THE ELEVATION OF 101.1 FEET, IN THE TOP PROJECTION OF THE GRANITE BLOCK FOUNDATION, BETWEEN TWO GRANITE BLOCK CORNERS, 15.9 FEET SOUTHEAST OF THE SOUTHEAST CORNER OF THE AVENUE, 12.5 FEET NORTHEAST OF THE NORTHEAST CURB OF THE HIGHWAY, 0.3 FEET SOUTHWEST OF THE SOUTHWEST CORNER, AND 2.8 FEET ABOVE THE SIDEWALK. ELEVATION: 71.13 (NAD 83 DATUM).

**FLOOD ZONE**  
THIS SITE IS IN FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD. PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE (FIRM) MAPS, NUMBER 06030100A, DATED OCTOBER 16, 2012. (PANEL NUMBER 06030100A NOT PRINTED).

**SURVEY PREPARATION NOTE**  
THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED DECEMBER 02, 2013, ORDER NO. FIC-43854-SC, UPDATED JANUARY 03, 2014. NO LIABILITY IS ASSUMED FOR MATTERS OR RECORDS NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINE, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.

THE TYPES, LOCATIONS, SIZES AND DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SAMPLES OF TAPPING AND LOCATED BY THE CONTRACTOR. IT IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNKNOWN UNDERGROUND UTILITIES.) HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

THIS MAP WAS PREPARED USING COMPUTER ASSISTED PHOTOGRAMMETRIC METHODS BY NARRA SURVEYING, INC. IN UNION CITY, CALIFORNIA. IN AREAS OF DENSE VEGETATION, ACCURACY OF CONTOURS MAY DEVIATE FROM ACCEPTED ACCURACY STANDARDS. THE DATE OF PHOTOGRAPHY WAS JANUARY 10, 2014 AS (DD MM YYYY) 2014\_003.

APPROXIMATE LOCATION OF (E) SCORPION HOLE & LIMIT OF RECENT SIDEWALK IMPROVEMENTS WITHIN RAILROAD R.O.W.



## **133 ENCINAL AVENUE**

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## **SURVEY LEGEND**

EXISTING PROPERTY LINE	WOOD FENCE	FOUND MONUMENT AS NOTED	CATCH BASIN / 20" DRAIN
ADJACENT PROPERTY LINE	WALL	FOUND IRON PIPE OR AS NOTED	WATER METER
CENTERLINE	EDGE OF PAVEMENT	STREET LIGHT	FIRE DEPARTMENT CONNECTION
EXISTING EASEMENT	SANITARY SEWER	FIRE HYDRANT	BACKFLOW PREVENTER
BUILDING SETBACK LINE	STORM DRAIN	STORM DRAIN MANHOLE	POST INDICATOR VALVE
BUILDING OVERHANG	DOMESTIC WATER	MANHOLE	WELL OR MONITORING WELL
CURB	NATURAL GAS	GAS METER	UTILITY BOX (SIZE & TYPE VARY)
CURB & GUTTER	UNDERGROUND ELECTRIC	CLEAN DIRT	SHO
REDWOOD HEADER BOARD	OVERHEAD	GAS DIRT	POST
CONCRETE	JOINT TRENCH	UTILITY POLE W/ GUY WIRE	TREE W/ SIZE, TAG AND ELEVATION
CHAIN LINK FENCE	FIBER OPTIC CONDUIT BANK	VALVE	RECORD INFORMATION BY REFERENCE

## **BOUNDARY & TOPOGRAPHIC SURVEY**

MENLO PARK, CA  
NIT # 15-002

7/20/2014  
4/06/2015 2nd SUPPLEMENT  
7/06/2015 3rd SUPPLEMENT  
9/25/2015 4th SUPPLEMENT  
10/15/2015 5th SUPPLEMENT

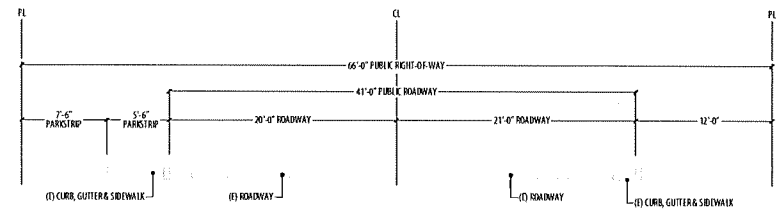
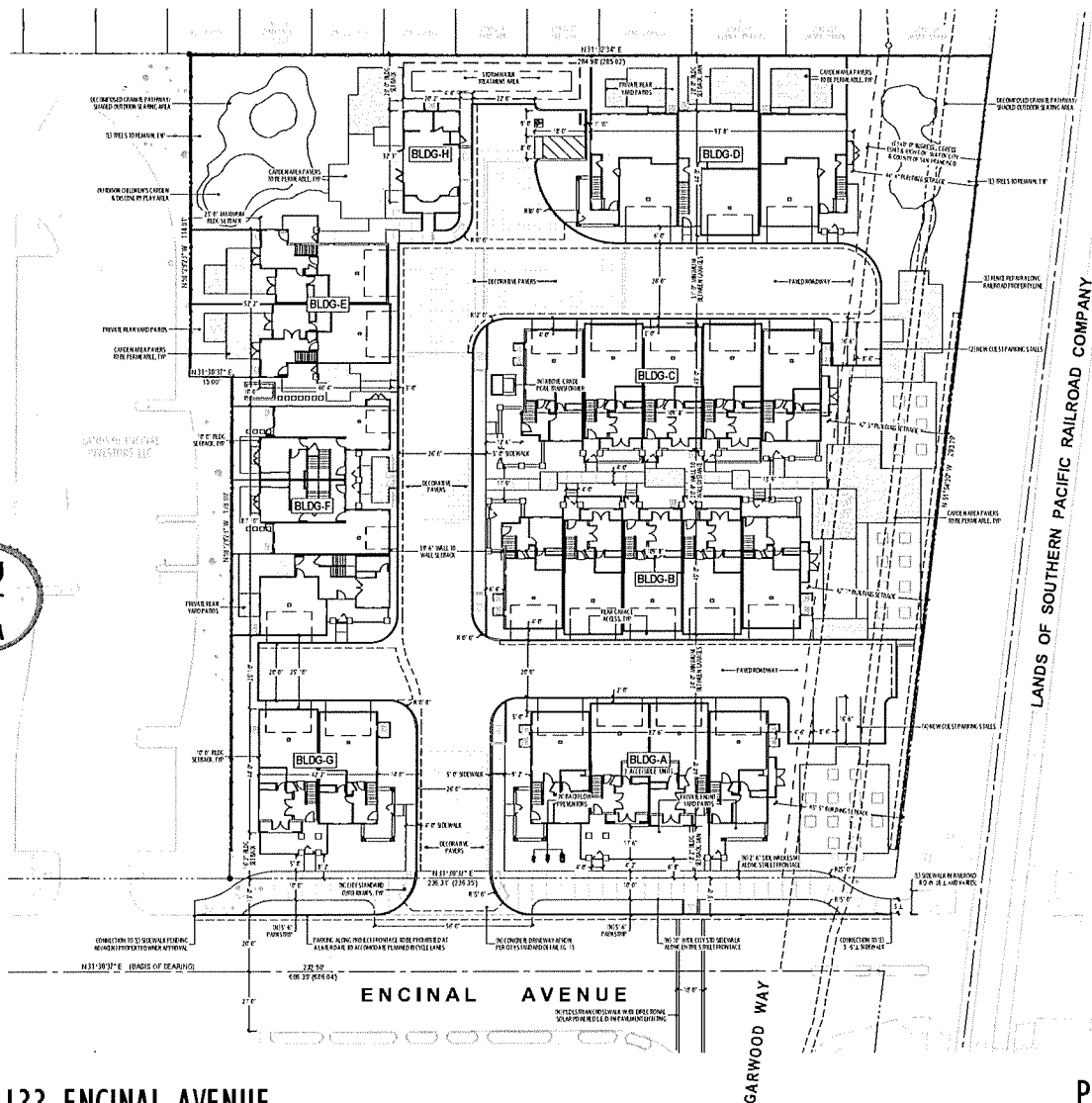
IT IS CERTIFIED THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY THE SURVEYOR'S SUPERVISOR AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYING ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



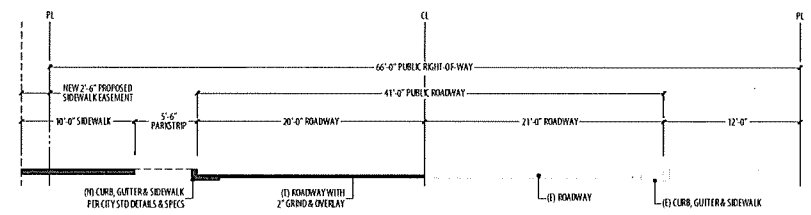
TERRA GROUP  
1125 N. FIRST STREET, SUITE 214  
SARASOTA, CALIFORNIA 95112

**C1.2**

D105



Encinal Ave - Existing Street Section  
Scale: 1" = 5'-0"



Encinal Ave - Proposed Street Section  
Scale: 1" = 5'-0"

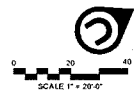
## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## PROPOSED SITE PLAN

MENLO PARK, CA  
WIT # 15-002

7.28.2014  
4.04.2015 2nd SUBMITTAL  
7.04.2015 3rd SUBMITTAL  
9.23.2015 4th SUBMITTAL  
10.15.2015 5th SUBMITTAL

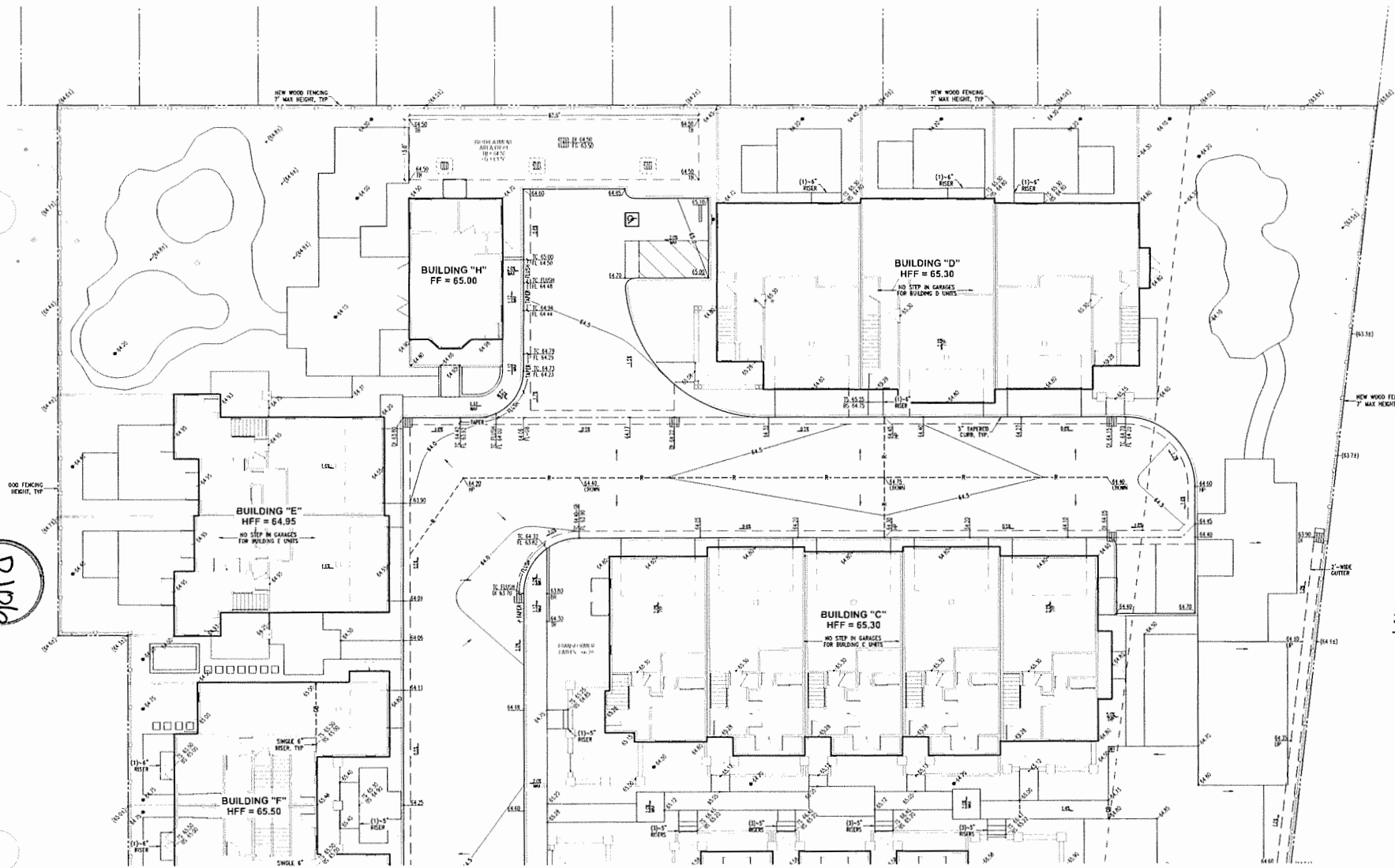


C2.0



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SAN JOSE, CALIFORNIA 95132





LANDS OF SOUTHERN PACIFIC RAILROAD COMPANY

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## PRELIMINARY GRADING & DRAINAGE PLAN

MENLO PARK, CA

NTG # 15-002

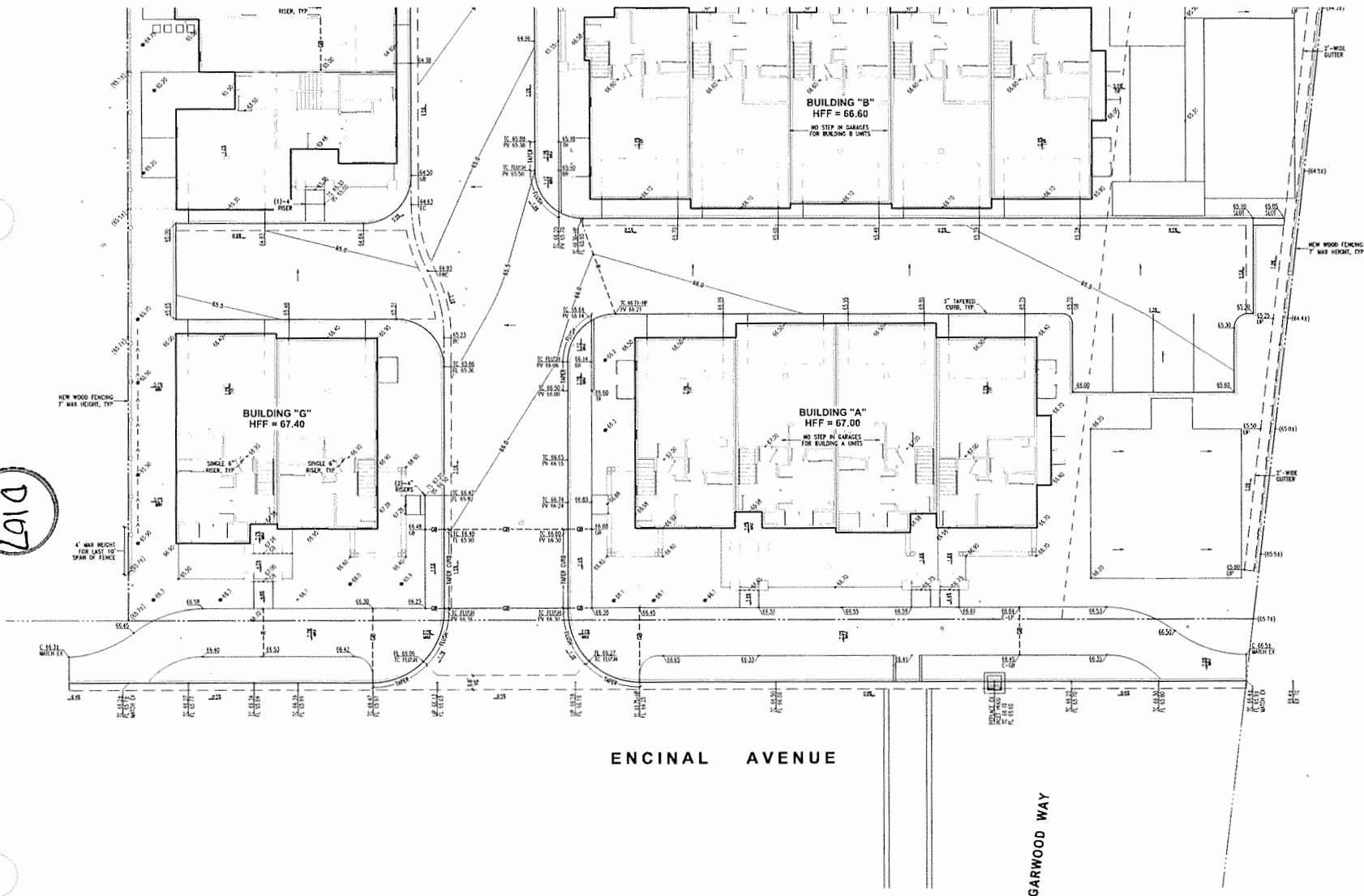
7/28/2014  
4/04/2015 2nd SUBMITTAL  
7/04/2015 3rd SUBMITTAL  
9/25/2015 4th SUBMITTAL  
10/15/2015 5th SUBMITTAL



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C3.1

D107



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## PRELIMINARY GRADING & DRAINAGE PLAN

MENLO PARK, CA

NTG # 15-002

7/28/2014  
4/04/2015 2nd SUBMITTAL  
7/04/2015 3rd SUBMITTAL  
9/25/2015 4th SUBMITTAL  
10/15/2015 5th SUBMITTAL

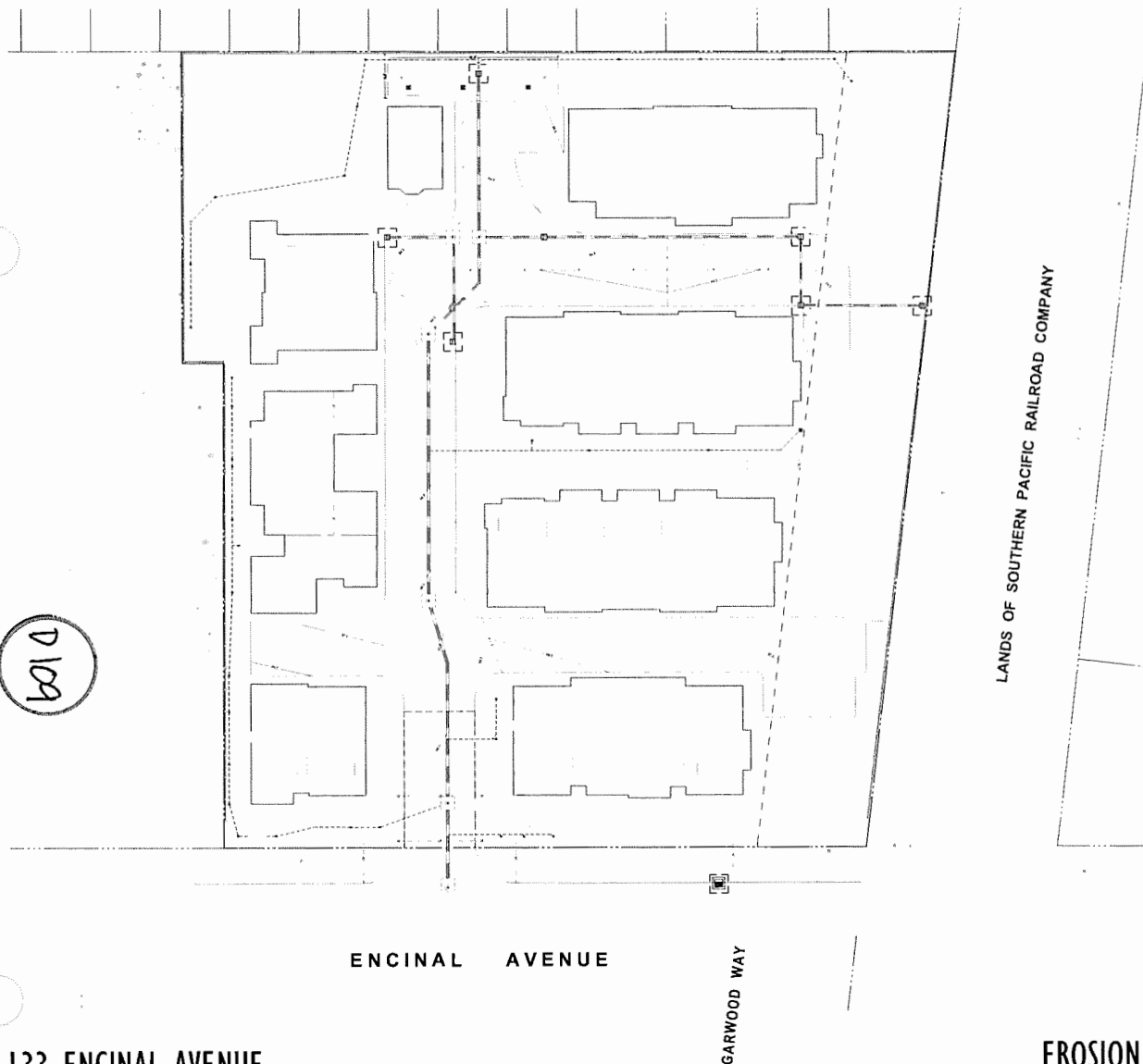


C3.2

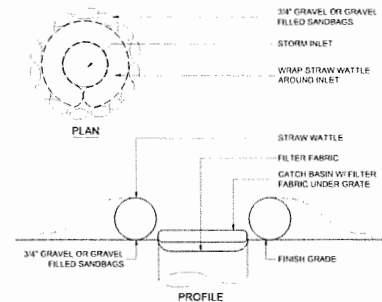


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## INLET PROTECTION DETAIL



## EROSION CONTROL NOTES

1. EROSION CONTROL FACILITIES AND MEASURES ARE TO BE INSTALLED AND OPERABLE AT THE COMMENCEMENT OF CONSTRUCTION UNTIL INSTALLATION OF THE PERMANENT PROJECT LANDSCAPING AND PAVING.
2. CHANGES TO THE EROSION CONTROL MEASURES INDICATED ON THESE PLANS AND DESCRIBED HEREIN TO ACCOMMODATE FIELD CONDITIONS MAY BE MADE ONLY WITH THE PRIOR APPROVAL OF OR AT THE DIRECTION OF THE CITY ENGINEER.
3. A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE. THE CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF CONCRETE DRAIN ROCK 12" TO 18" DIAMETER AT LEAST, TWELVE (12) FEET THICK BY FIFTY (50) FEET LONG BY TWELVE (12) FEET WIDE AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.
4. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND EACH STORM INLET AS INDICATED ON THE EROSION CONTROL PLAN. SEE THE "DRAIN INLET PROTECTION" DETAIL ON THIS SHEET. THESE SEDIMENT TRAPS SHALL BE MAINTAINED IN PLACE UNTIL THE COMPLETION OF THE SITE PAVING AND THE INSTALLATION OF PERMANENT LANDSCAPING SQUARE FEET PER TRIBUTARY ACRE. ALL INLETS WHICH ARE NOT PROTECTED BY SEDIMENT TRAPS SHALL BE COMPLETELY BLOCKED AS LONG AS THE EROSION CONTROL PLAN IS IN EFFECT.
5. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAINAGE SYSTEM OR ADJACENT PROPERTIES.
6. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE COMPLETION OF EACH WORKING DAY DURING THE RAINY SEASON. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS THERE TO PRIOR TO ANTICIPATED STORMS, AND SHALL PERIODICALLY INSPECT THE SITE AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE REPAIRED IMMEDIATELY.
7. ANY DAMAGE TO REVEGETATED SLOPES SHALL BE REPAIRED AS SOON AS PRACTICABLE.
8. PROVISION SHALL BE MADE TO ASSURE THAT BORROW AREAS AND STOCKPILED SOILS ARE PROTECTED FROM EROSION. THIS SHALL CONSIST AS A MINIMUM, OF COVERING WITH PLASTIC SHEETING, OR BY SEEDING, MULCHING AND FERTILIZING.
9. FOLLOWING EACH STORM, THE CONTRACTOR SHALL INSPECT EACH STORM INLET SEDIMENT TRAP TO ASSURE THE INTEGRITY OF THE BASIN AND OUTLET PIPE. ANY DAMAGE TO THESE OR OTHER EROSION CONTROL DEVICES SHALL BE REPAIRED AS SOON AS PRACTICABLE.
10. AS SOON AS PRACTICABLE FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE SEDIMENT TRAP BASIN AND SHALL CLEAN THE OUTLET PIPE OF ANY BLOCKAGE.
11. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL FACILITIES AND SHALL CONDUCT PERIODIC INSPECTION OF THE PROJECT SITE DURING STORMS OF PROLONGED DURATION AND/OR HEAVY INTENSITY TO ASSURE THAT THEY FUNCTION IN THE MANNER DESCRIBED HEREIN.

## PLAN LEGEND

- EXISTING DRAIN INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE PER CITY STANDARD DETAIL CG-16
- FIBER ROLLS



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## EROSION & SEDIMENT CONTROL PLAN

MENLO PARK, CA

NYC # 15-002

7/28/2014  
6/04/2015 2nd SUBMITTAL  
7/04/2015 3rd SUBMITTAL  
9/25/2015 4th SUBMITTAL  
10/15/2015 5th SUBMITTAL



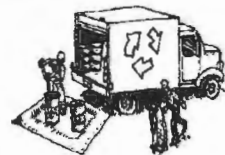
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1155 N. FIRST STREET, SUITE 214  
SAN JOSE, CALIFORNIA 95112

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# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ☐ Store and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days
- ☐ Use (but don't use) reclaimed water for dust control

### Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours
- ☐ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste

### Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters
- ☐ Do not clean vehicle or equipment onsite using solvents, degreasers, steam cleaning equipment, etc.

### Spill Prevention and Control

- ☐ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags)
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number; 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours)

## Earthwork & Contaminated Soils



### Erosion Control

- ☐ Schedule grading and excavation work for dry weather only
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber mats) until vegetation is established
- ☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

### Sediment Control

- ☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- ☐ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins
- ☐ Keep excavated soil on the site where it will not collect into the street
- ☐ Transfer excavated materials to dump trucks on the site, not in the street
- ☐ Contaminated Soils
  - ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board
    - Local soil conditions, discoloration, or odor
    - Abandoned underground tanks
    - Abandoned wells
    - Buried barrels, debris, or trash

## Paving/Asphalt Work



- ☐ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement

### Sawcutting & Asphalt/Concrete Removal

- ☐ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner)
- ☐ If sawcut slurry enters a catch basin, clean it up immediately

## Concrete, Grout & Mortar Application



- ☐ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain
- ☐ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage
- ☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite

### Dewatering



- ☐ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required
- ☐ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal

## Painting & Paint Removal



### Painting cleanup

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters
- ☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Fill and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

### Paint removal

- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash

### Landscape Materials



- ☐ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used
- ☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

**133 ENCINAL AVENUE**

Hunter Properties Inc.  
 10121 Miller Avenue, Suite 200  
 Cupertino, CA 95014  
 408.255.4100

**BEST MANAGEMENT PRACTICES**

MENLO PARK, CA

WIC # 15-002

7/28/2014  
 4/06/2015 2nd SUBMITTAL  
 7/06/2015 3rd SUBMITTAL  
 9/25/2015 4th SUBMITTAL  
 10/15/2015 5th SUBMITTAL

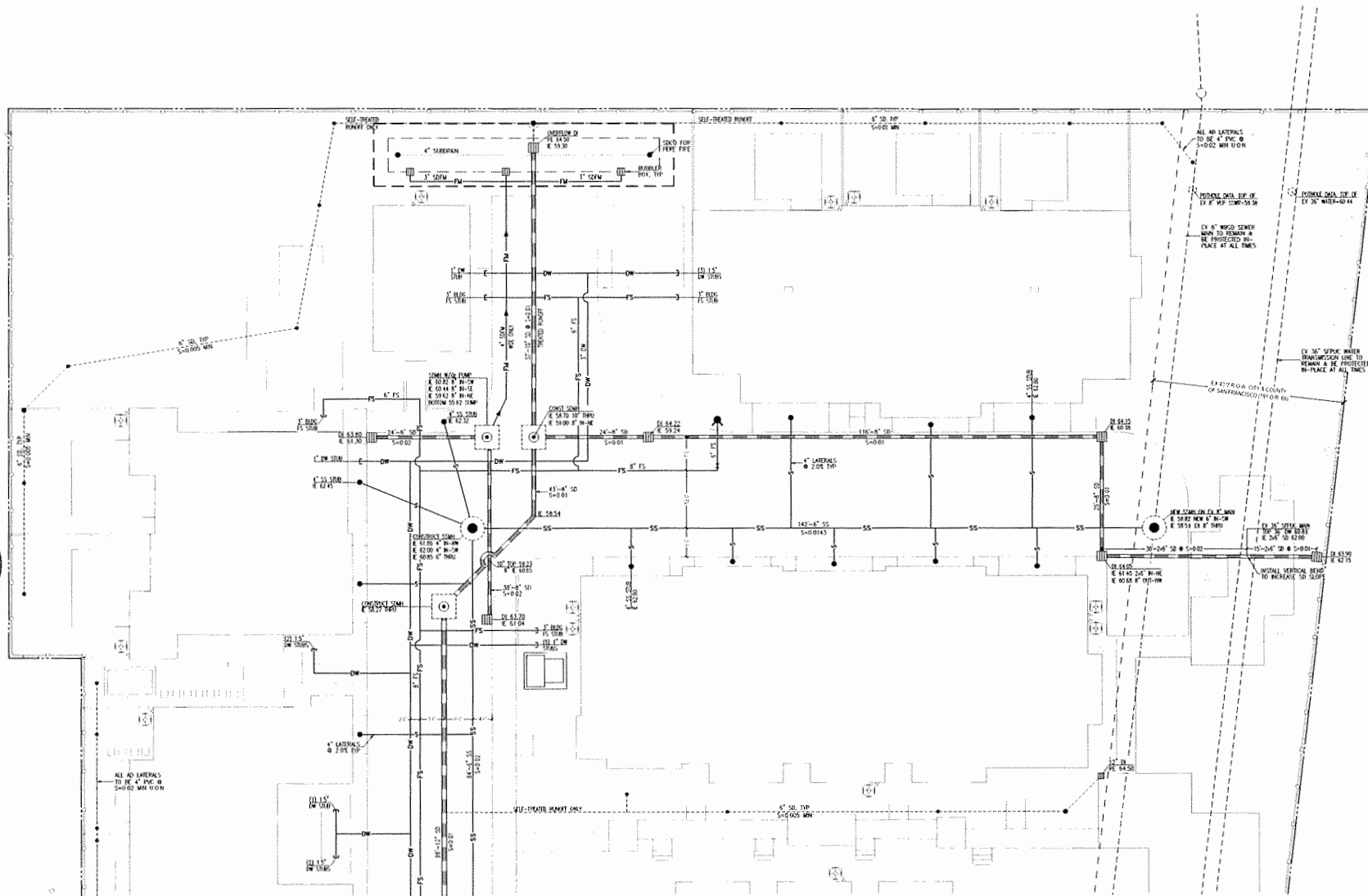


**NTERRA GROUP**  
 1155 N. FIRST STREET, SUITE 214  
 SAN JOSE, CALIFORNIA 95112

**C4.2**



D III



LANDS OF SOUTHERN PACIFIC RAILROAD COMPANY

# 133 ENCINAL AVENUE

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10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## UTILITY LEGEND

	DOMESTIC WATER		TELEPHONE/COMMUNICATIONS		AREA DRAIN/INLETS
	FIRE SERVICE		JOINT TRENCH		WATER METER
	IRRIGATION		STORM DRAIN		BACKFLOW DEVICE
	NATURAL GAS/METER ASSEMBLY		SANITARY SEWER LINE		FIRE DEPARTMENT CONNECTION
	FORCE MAIN		EXISTING UTILITY LINE (VARIES)		ABOVE GRADE POST INDICATOR VALVE

# PRELIMINARY SITE UTILITY PLAN

MENLO PARK, CA

NTG # 15-002

7.28.2014  
04.04.2015 2nd SUBMITTAL  
07.06.2015 3rd SUBMITTAL  
09.25.2015 4th SUBMITTAL  
10.15.2015 5th SUBMITTAL

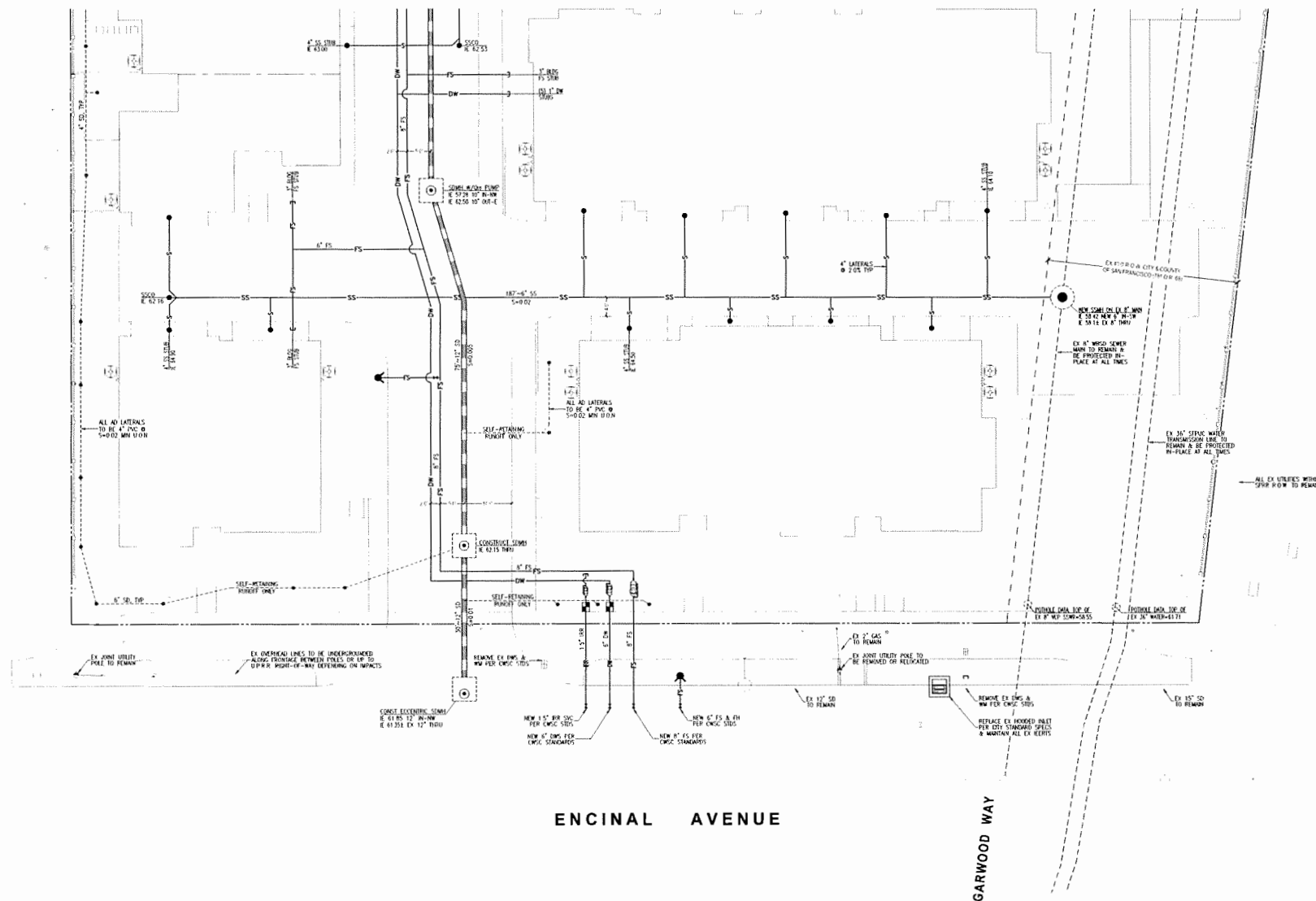


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SAN JOSE, CALIFORNIA 95112



C5.1

LANDS OF SOUTHERN PACIFIC RAILROAD COMPANY












ENCINAL AVENUE

GARWOOD WAY

133 ENCINAL AVENUE

**Hunter Properties Inc.**  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

### UTILITY LEGEND

	DOMESTIC WATER		TELEPHONE COMMUNICATIONS		AREA DRAIN
	FIRE SERVICE		JOINT TRENCH		WATER METER
	ABROGATION		STORM DRAIN		BACKFLOW DEVICE
	NATURAL GAS - METER ASSEMBLY		SANITARY SEWER LINE		FIRE DEPARTMENT CONNECTION
	FORCE MAIN		EXISTING UTILITY LINE (W OR CS)		ABOVE-GROUND POST INDICATOR VALVE

# PRELIMINARY SITE UTILITY PLAN

MENLO PARK, CA

NTG # 15-002

7/28/2014

406 2015 2nd SUBMITTAL

7 06 2015 3rd SUBMITTAL

9/25/2015 4th SUBMITTAL

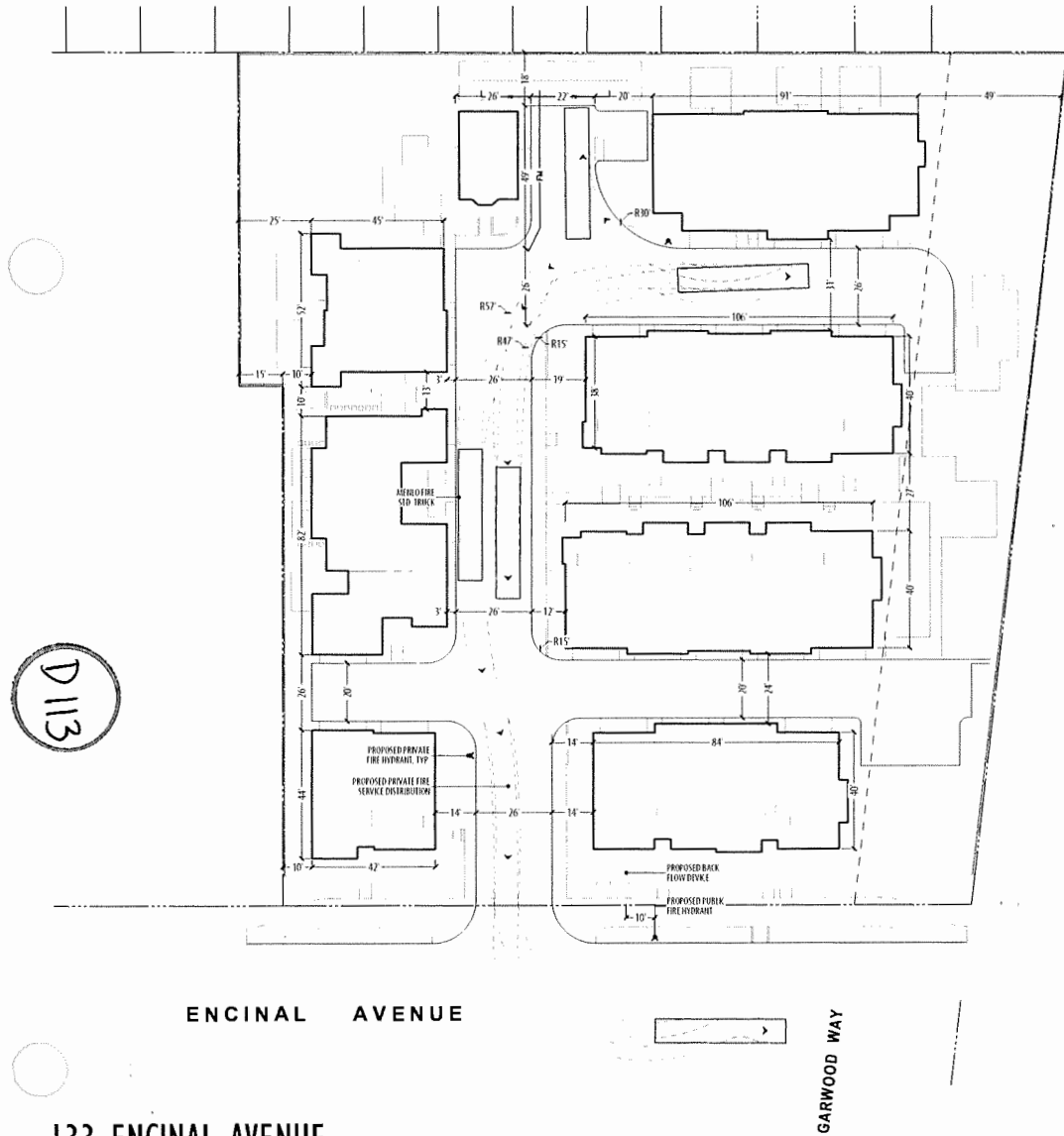
10 IS 2015 5th SUBMITTAL



C5.2



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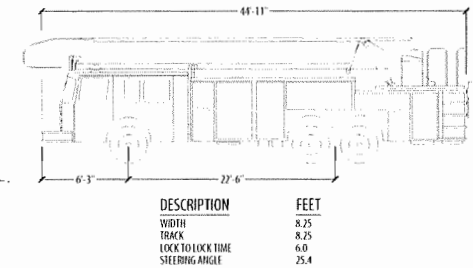
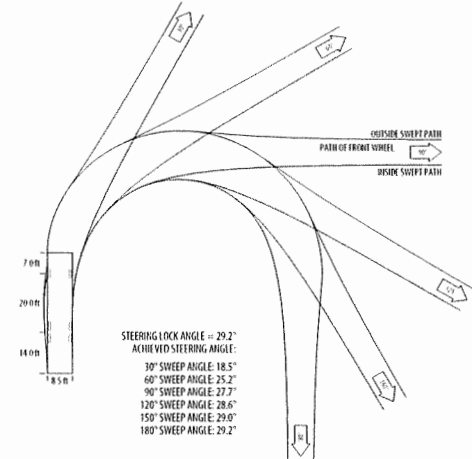
## FIRE ACCESS & APPARATUS DIAGRAM

MENLO PARK, CA

NTG # 15-002

7/28/2014  
4/04/2015 2nd SUBMITTAL  
7/04/2015 3rd SUBMITTAL  
9/25/2015 4th SUBMITTAL  
10/15/2015 5th SUBMITTAL

### MENLO PARKING FIRE DEPARTMENT LADDER TRUCK



### PLAN NOTES

#### RED CURBS

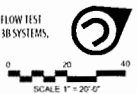
ALL CURBS THAT DO NOT ADJUT A GARAGE OR PARKING STALL WILL BE PAINTED RED AND MARKED AS "FIRE LANE - NO PARKING" ON BOTH TOP AND FACE OF CURB PER FIRE DEPARTMENT STANDARDS.

#### E.V.A. ROADWAYS

THE EMERGENCY VEHICLE ACCESS PATHWAY WILL CONSIST OF STRUCTURALLY REINFORCED MATERIALS TO ACCOMMODATE A MINIMUM 75,000 POUND LOAD PER FIRE DEPARTMENT REQUIREMENTS.

#### FIRE SYSTEM DESIGN

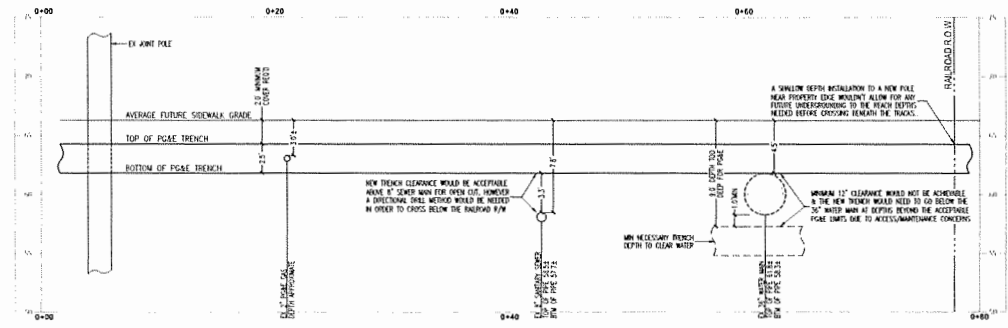
FIRE HYDRANTS AND UNDERGROUND SYSTEM DESIGN TO BE DETERMINED IN CONJUNCTION WITH FIRE DEPARTMENT AND FLOW TEST RESULTS. BUILDINGS A, B & C SHALL BE FULL NFPA 13 SYSTEMS AT 0.1 DENSITY. ALL OTHER BUILDINGS SHALL BE NFPA 13B SYSTEMS, WITH HYDRANT SPACING AT A MAXIMUM OF 300'.



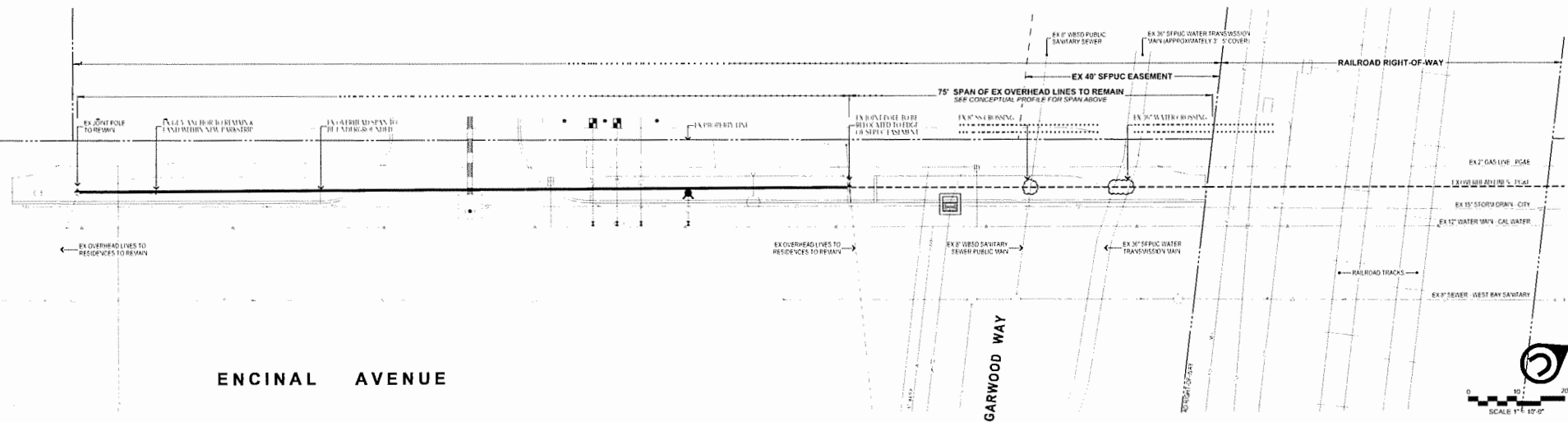
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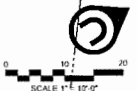


CONCEPTUAL PROFILE  
(IMPACTS OF UNDERGROUNDING REMAINING 75' SPAN)  
H: 1" = 5' V: 1" = 5'



ENCINAL AVENUE

GARWOOD WAY



133 ENCINAL AVENUE

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UTILITY LEGEND

— DW — DOMESTIC WATER	— TEL — TELEPHONE/COMMUNICATIONS	■ AREA DRAIN/INLETS
— FS — FIRE SERVICE	— JT — JOINT TRENCH	— WM — WATER METER
— IR — IRRIGATION	— SD — STORM DRAIN	— BD — BACKFLOW DEVICE
— NG — NATURAL GAS / METER ASSEMBLY	— SS — SANITARY SEWER LINE	— FC — FIRE DEPARTMENT CONNECTION
— FM — FORCE MAIN	— EX — EXISTING UTILITY LINE (VARIES)	— AV — ABOVE GRADE POST INDICATOR VALVE

FRONTAGE UNDERGROUNDING DIAGRAM

MENLO PARK, CA

NTG # 15-002

7/28/2014  
4/04/2015 2nd SUBMITTAL  
7/04/2015 3rd SUBMITTAL  
9/25/2015 4th SUBMITTAL  
10/15/2015 5th SUBMITTAL



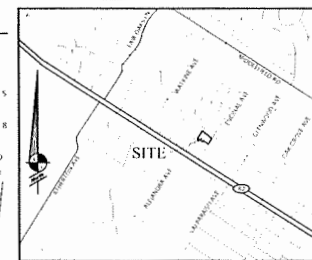
NTERRA GROUP  
1155 N. FIRST STREET, SUITE 214  
SAN JOSE, CALIFORNIA 95112

C5.4

## -51- PARCEL MAP (S2 PM 16 &amp; 17)

A ONE LOT SUBDIVISION FOR CONDOMINIUM PURPOSES  
133 ENCINAL AVENUE

EXISTING CONDITIONS  
PROPOSED CONDITIONS  
PROPOSED SITE PLAN  
PRELIMINARY GRADING & DRAINAGE PLAN  
STORMWATER CONTROL PLAN  
PRELIMINARY SITE UTILITY PLAN  
EXISTING TREE DISPOSITION PLAN  
CONCEPTUAL LANDSCAPE PLAN  
LANDSCAPE ENLARGEMENT PLAN

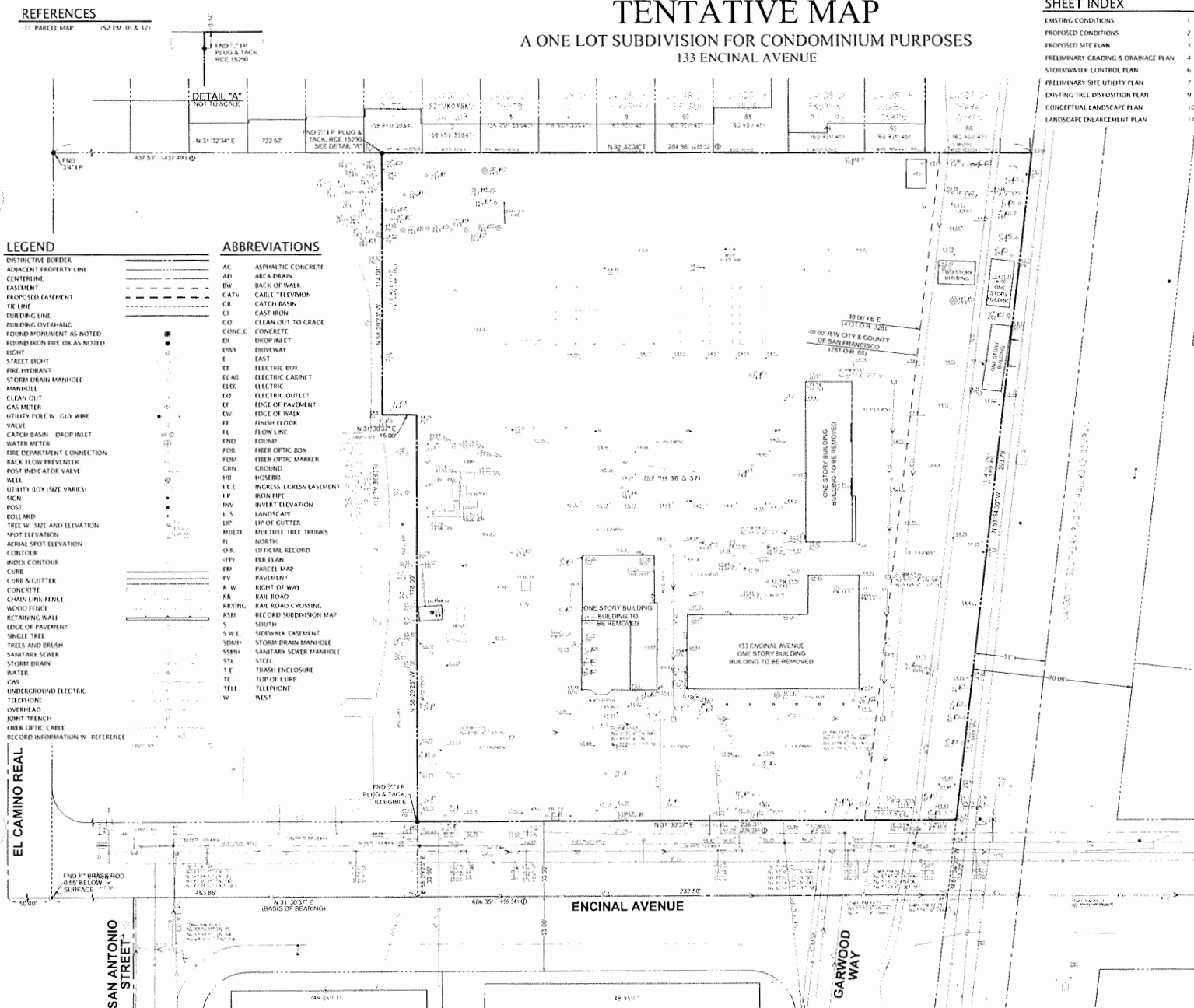


VICINITY MAP  
NOT TO SCALE

1. RECORD OWNERS LOP LINDEN, LLC
2. SUBDIVIDER HURTER PROPERTIES  
10000 W. CENTRIE  
CULBERTSON, CA 95014  
PHONE 408.245.4100  
CONTACT DICK HUNTER
3. MAP PREPARED BY KIER & WRIGHT CIVIL ENGINEERS &  
SURVEYORS  
1500 N. COTT BOULEVARD, BUILDING 22  
SANTA CLARA, CA 95050  
PHONE 727.6665  
CONTACT: RYAN M. ANAYA, RS 1314
4. A.P.N.'S 960 364 270
5. EXISTING USE COMMERCIAL
6. PROPOSED USE RESIDENTIAL
7. EXISTING ZONING "SC 10R 1" EL CAMINO REAL DOWNTOWN SPECIFIC PLAN
8. PROPOSED ZONING NO CHANGE
9. GENERAL PLAN "TECHNICAL EL CAMINO REAL DOWNTOWN SPECIFIC PLAN
10. PROPOSED NUMBER OF LOTS 4
11. TOTAL ACREAGE 1.736 - ACRES
12. ALL DISTANCES ARE APPROXIMATE
13. ALL NEW 5' FREET HAMES PROVIDED
14. THIS TENTATIVE MAP WAS PREPARED FROM INFORMATION FURNISHED BY A  
PRELIMINARY TITLE REPORT PREPARED BY FIRST AMERICAN TITLE  
INSURANCE COMPANY ORDER NUMBER 647122 M, DATED JUNE 04, 2015.
15. FLOOD ZONE NOTE  
THE 100 YEAR FLOOD PROTECTION FROM THE FEDERAL EMERGENCY  
MANAGEMENT AGENCY FLOOD INSURANCE RATE INDEX MAP, NUMBER  
GFCF10ND, DATED OCTOBER 16, 2012 AS BEING LOCATED PARTIALLY  
IN FLOOD ZONE "A"
16. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD  
PLAIN (NUMBER 0304 E NOT NOTED)
17. BENCHMARK  
BM 10110 - ESTABLISHED BY NATIONAL GEODETIC SURVEY 1954 AT MENDO  
PARC AT MENDO PARK, 1/4 MILE SOUTHWEST OF THE SOUTHERN PACIFIC  
RAILROAD STATION, AT THE INTERSECTION OF SANTA CRUZ  
AVENUE AND EL CAMINO REAL HIGHWAY 101, AT THE DOWNTOWN  
BUILDING, IN THE TOP PROJECTION OF THE GRANITE ROCK FOUNDATION,  
TOWARD TWO GRANITE ROCK COLUMNS, 15 FEET SOUTHEAST OF THE  
SOUTHERN CURB OF THE HIGHWAY, 1/4 MILE NORTHEAST OF THE  
NORTHEAST CURB OF THE HIGHWAY, 0.1 FOOT SOUTHWEST OF THE  
SOUTHWEST ROCK WALL, AND 2 FEET ABOVE THE SIDEWALK.  
ELEVATION: 21.13 MCGO 29 DATUM
18. BASIS OF BEARINGS  
THE BEARING OF NORTH 11° 07' 12" EAST TAKEN ON THE CENTRLINE OF  
CENTRIE AVENUE AS SHOWN ON CERTAIN PARCELS MAP FILED FOR  
RECORD ON JANUARY 28, 1982 IN BOOK 52 OF MAPS AT PAGES 16 & 17,  
SANTA CRUZ COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARING  
SHOWN HEREIN
19. UTILITIES  
STORM DRAINAGE CITY OF MENDO PARK  
SEWAGE TRENCH SAN JOSE WATER SERVICE COMPANY  
WATER PACIFIC GAS & ELECTRIC COMPANY  
ELECTRIC PACIFIC GAS & ELECTRIC COMPANY  
TELEPHONE AT&T  
CABLE COMCAST  
FIRE MENDO PARK FIRE PROTECTION DISTRICT

DESTRUCTIVE BORDER  
 ADJACENT PROPERTY LINE  
 CENTERLINE  
 EASEMENT  
 PROPOSED EASEMENT  
 TIE LINE  
 BUILDING LINE  
 BUILDING OVERHANG  
 FOUND MONUMENT AS NOTED  
 FOUND IRON PIPE OR AS NOTED  
 LIGHT  
 STREET DRAIN  
 FIRE HYDRANT  
 FISH HATCH  
 FURNITURE OR GARDEN MANHOLE  
 MANHOLE  
 CLEAN OUT  
 GAS METER  
 UTILITY POLE W/ CLO WIRE  
 VALVE  
 CATCH BASIN DROP INLET  
 HOLE  
 FISH REPEATER  
 BACKFLOW PREVENTER  
 BACK FLOW PREVENTER  
 POST INDICATOR VALVE  
 WELL  
 UTILITY BOX-SIZE VARIIES  
 SEN  
 POST  
 ROLLAND  
 TREE W/ SIZE AND ELEVATION  
 POST ELEVATION  
 AERIAL SPOT ELEVATION  
 CONTOUR  
 INDEX CONTOUR  
 CURB  
 CURB & GUTTER  
 CONCRETE  
 CHALK LINE FENCE  
 WOOD FENCE  
 RETAINING WALL  
 EDGE OF PAVEMENT  
 SPRUCE TREE  
 TREES AND BRUSH  
 SANITARY SEWER  
 STORM DRAIN  
 WATER  
 GAS  
 UNDERGROUND ELECTRIC  
 TELEPHONE  
 OVERHEAD  
 JOINT TRENCH  
 FIBER OPTIC CABLE  
 RECORD INFORMATION W/ REFERENCE

AC ASPHALTIC CONCRETE  
AD ADDRESS  
BW BACK OF WALK  
CATV CABLE TELEVISION  
CR CATCH BASIN  
CA CATCH CATCH  
CO CLEAN OUT TO GRADE  
CC CONCRETE  
DI DOW DRULET  
DWN DOWNSIDE  
E EAST  
E ELECTRIC  
ECAB ELECTRIC CABINET  
E ELECTRIC  
CO ELECTRIC OUTLET  
EP EDGE OF PAVEMENT  
EW EDGE OF WALK  
F FOUND  
FL FLOW LINE  
FND FOUND  
F FREE OF OBSTACLE  
GRN GRASS  
HE HOSELINE  
H HIGHWAY CROSSING/ENCASEMENT  
R RAIL  
INV INVERT ELEVATION  
L LANDSCAPE  
L ELEVATION  
MULTI MULTIPLE TREE TRUNKS  
N NORTH  
O.R. OFFICIAL RECORD  
P.P. PLAN  
EV PARCEL MAP  
EP PAVEMENT  
R HIGHWAY OF WAY  
RW RAIL ROAD  
R.V.M. RAIL ROAD CROSSING  
R RECORD SUBORDINATE MAP  
S.S. SIDEWALK  
S.S.W. SIDEWALK/ENCASEMENT  
STORM DRAIN BRANCH/LE  
S.S.M. SANITARY SEWER BRANCH/LE  
S.S. SANITARY SEWER  
T TRASH ENCLOSURE  
T TOP OF CURB  
TELE TELEPHONE



## EXISTING CONDITIONS

DATE	JULY, 2015
SCALE	1" = 20'
DESIGNER	RMA
DRAFTER	EK
JOB	A14003 2
SHEET	1
OF 11 SHEETS	

**KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
1350 Scott Boulevard Building 22 • (408) 727-6065  
Santa Clara, California 95054 • (408) 727-5641

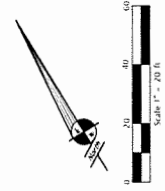
**TENTATIVE MAP  
FOR: HUNTER PROPERTIES, INC.  
133 ENCINAL AVENUE**

CALIFORNIA

MENLO PARK

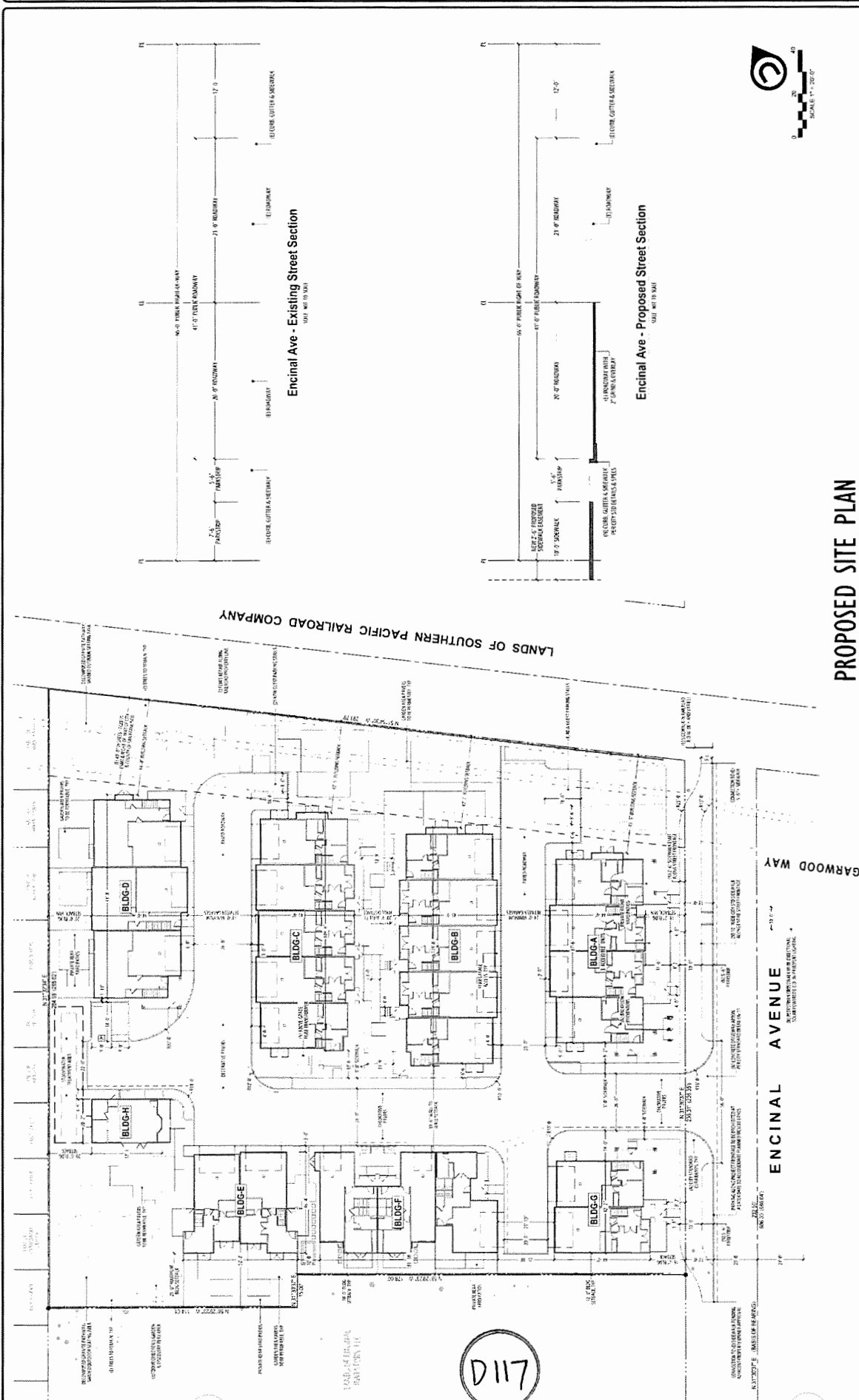
OF 11 SHEETS





[View full text](#)

D 116



**PROPOSED SITE PLAN**

MENLO PARK, CA

178,204  
488,295 sq. ft. TOTAL  
178,204 sq. ft. TOTAL  
178,204 sq. ft. TOTAL  
178,204 sq. ft. TOTAL

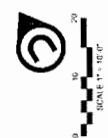
**TERRA GROUP**  
 1155 R STREET, SUITE 214  
 SAN JOSE, CALIFORNIA 95112

**ENCINAL AVENUE**

133 ENCINAL AVENUE

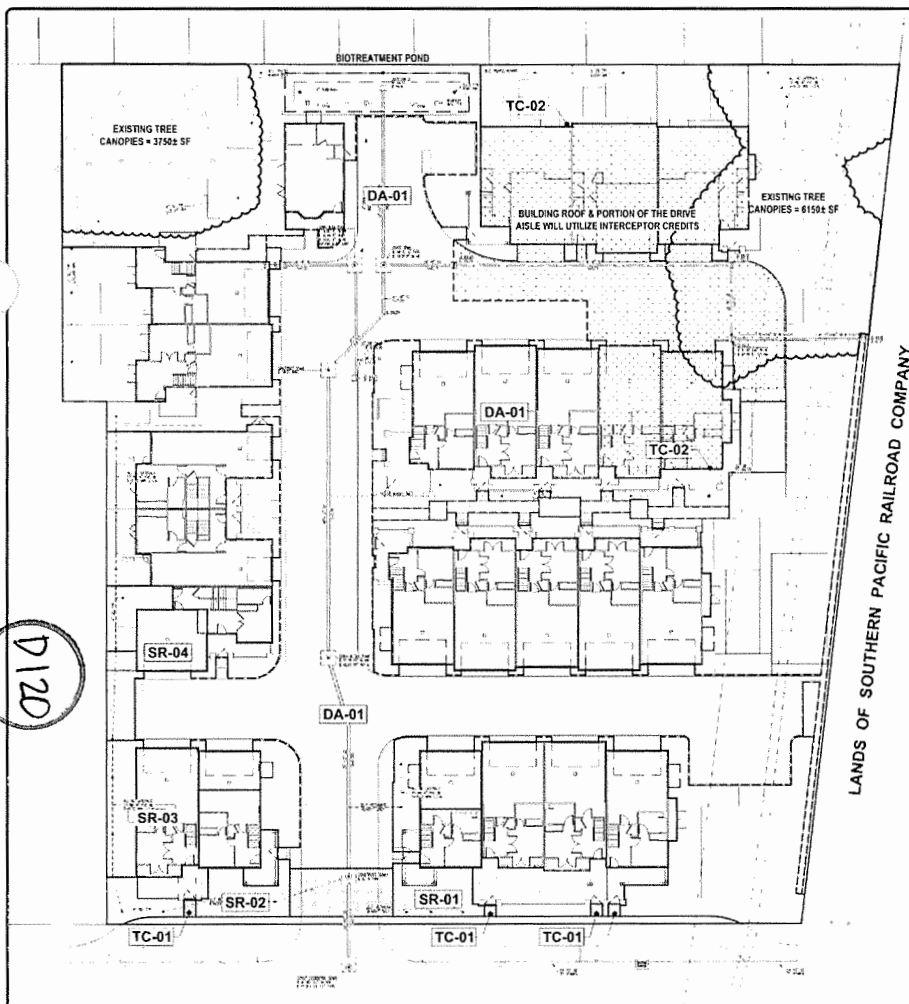
**ENCINAL AVENUE**

133 ENCINAL AVENUE





D120

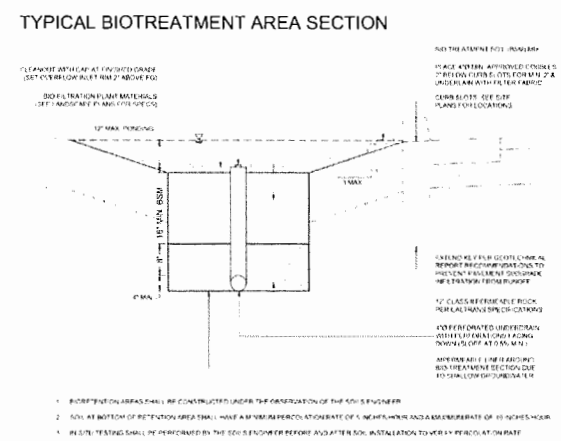


ENCINAL AVENUE

GARWOOD WAY

LANDS OF SOUTHERN PACIFIC RAILROAD COMPANY

- PLAN LEGEND**
- BIOTREATMENT DRAINAGE MANAGEMENT AREAS
  - SELF-RETAINING AREAS
  - SELF-TREATING AREAS
  - IMPERVIOUS AREAS FOR INTERCEPTOR CREDITS
  - TREE CANOPY AREA FOR INTERCEPTOR CREDITS
  - DRAINAGE MANAGEMENT AREA LIMITS

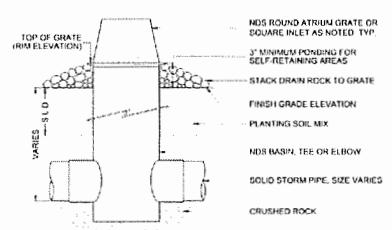


**TREATMENT MEASURES SUMMARY TABLE**

AREA NO.	DMA SIZE (SF)	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)	TREATMENT AREA (SF) REQUIRED	TREATMENT AREA (SF) PROVIDED	TREATMENT FACILITY
DA-01	56520	27645	31575	SEE NOTE	500	BIOTREATMENT
SR-01	1321	181	843	420	481	SELF-RETAINING
SR-02	995	429	556	278	429	SELF-RETAINING
SR-03	1380	471	909	455	471	SELF-RETAINING
SR-04	832	298	534	262	258	SELF-RETAINING
TC-01	648	0	648	648	1300	TREE CREDIT
TC-02	8595	0	8595	8595	8600	TREE CREDIT

- NOTES**
- ALL BIOTREATMENT AREAS HAVE BEEN SIZED USING THE COMBINATION METHOD WITH A MAXIMUM EXPOSURE DEPTH OF 6\"/>

**OVERFLOW DRAIN: SELF-RETAINING AREAS**



# STORMWATER CONTROL PLAN

MENLO PARK, CA

NTG # 15-082

7/28/2014  
4/06/2015 2nd SUBMITTAL  
7/04/2015 3rd SUBMITTAL  
9/25/2015 4th SUBMITTAL  
10/15/2015 5th SUBMITTAL



**NTERRA GROUP**  
1155 N. FIRST STREET, SUITE 214  
SAN JOSE, CALIFORNIA 95112

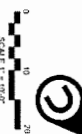
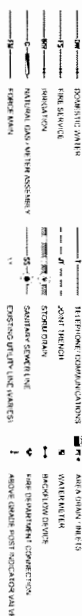
DATE: 10/14/2015  
SCALE: 1" = 20'  
DESIGNER: RMA  
DRAFTER: TK  
JOB: A1-4001.2  
SHEET: 6  
OF 11 SHEETS

**KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
1000 S. EL CAMINO REAL, SUITE 200  
SANTA CLARA, CALIFORNIA 95050  
TEL: 408.277.5641  
FAX: 408.277.5642

**TENTATIVE MAP**  
FOR: HUNTER PROPERTIES, INC.  
133 ENCINAL AVENUE  
MENLO PARK, CALIFORNIA



## UTILITY LEGEND



# PRELIMINARY SITE UTILITY PLAN

MENLO PARK, CA

7/28/2014  
4/06/2015 2nd SUBMITTA  
7/06/2015 3rd SUBMITTA  
9/25/2015 4th SUBMITTA  
10/15/2015 5th SUBMITTA



**NTERRA GROUP**  
1155 N FIRST STREET SUITE 214  
SAN JOSE, CALIFORNIA 95112

LANDS OF SOUTHERN PACIFIC RAILROAD COMPANY

TENTATIVE MAP  
FOR: HUNTER PROPERTIES, INC.

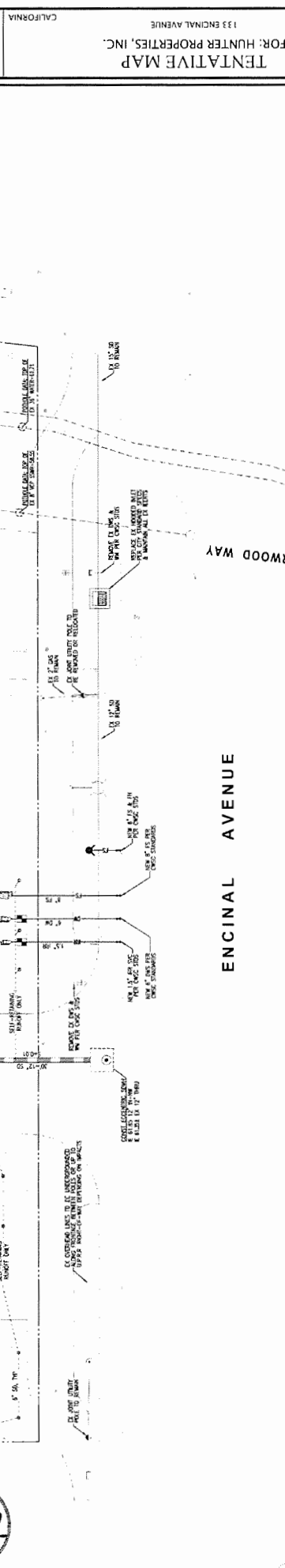
133 ENCINAL AVENUE

CALIFORNIA



**KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
3350 Scott Boulevard, Building 22 • (408) 727 6069  
Santa Clara, California 95054 • (408) 727 5641

NO	REVISION	BY	NO	REVISION	DATE
1	PER CITY COMMENTS 9-5-15	AK	1		
2	CITY SUBMITTAL 9-25-15	AK	2		
3	CITY SUBMITTAL 10-1-15	AK	3		
4			4		
5			5		



NIG # 15-002

7.28.2014  
4.04.2015 2nd SUBMITTAL  
7.06.2015 3rd SUBMITTAL  
9.25.2015 4th SUBMITTAL  
10.15.2015 5th SUBMITTAL




**INTERRA GROUP**  
1155 N. FIRST STREET SUITE 214  
SAN JOSE, CALIFORNIA 95112

[illegible]

Domestic Water	Telephone Connections	Public Sewer / Paved
1	1	1
2	2	2
3	3	3
4	4	4
5	5	5
6	6	6
7	7	7
8	8	8
9	9	9
10	10	10
11	11	11
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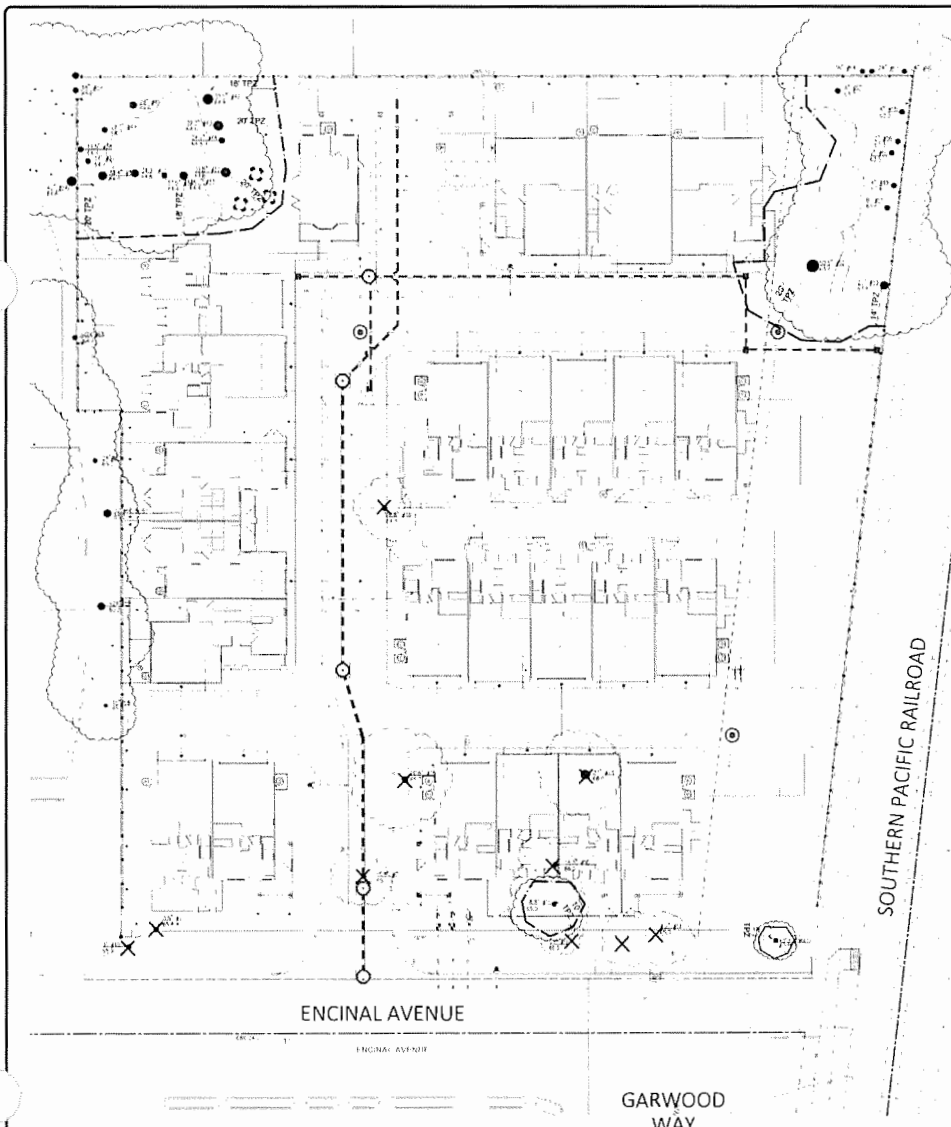
TENTATIVE MAP  
FOR: HUNTER PROPERTIES, INC.  
133 ENCINAL AVENUE



**KIER & WRIGHT**  
CIVIL ENGINEERS & SURV.  
3350 Scott Boulevard, Building 22  
Santa Clara, California 95054

LANDS OF SOUTHERN PACIFIC RAILROAD COMPANY

D122



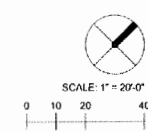
EXISTING TREE CHART					
TREE NO	TREE TYPE	CONDITION	DISPOSITION	TPZ SIZE	DIA./HT./SPREAD
2	JAPANESE MAPLE	FAIR	TO BE REMOVED	7'	3.8/5.8'
7	COAST REDWOOD	FAIR/GOOD	TO BE REMOVED	15'	8.0/25.1/2'
10	INCENSE CEDAR	FAIR/PROTECTED	TO BE REMOVED	10 FEET	18.8/40.1/8'
11	INCENSE CEDAR	FAIR	PRESERVE	10 FEET	18.8/40.2/2'
12	CRAB APPLE	FAIR	TO BE REMOVED	5'	5.1/7.1/2'
13	BIRCH	POOR/FAIR	TO BE REMOVED	10'	5.1/16.1/2'
14	TEA TREE	POOR/FAIR	TO BE REMOVED	4'	2.7/9.1/0'
15	CRAB MYRTLE	GOOD/PROTECTED	PRESERVE	5'	5.8'
23	COAST REDWOOD	FAIR/PROTECTED	TO BE REMOVED	37'	85.2/2'
25	JAPANESE MAPLE	POOR/FAIR/PROTECTED	TO BE REMOVED	20'	8.1/15.2/2'
37	COAST REDWOOD	FAIR	PRESERVE	20 FEET	39.5/90.2/2'
33	COAST REDWOOD	POOR/FAIR	PRESERVE	16 FEET	34.1/70.2/0'
34	COAST REDWOOD	FAIR	PRESERVE	10 FEET	17.6/15.1/6'
35	COAST REDWOOD	FAIR/GOOD	PRESERVE	10 FEET	34.3/90.1/10'
36	COAST REDWOOD	POOR/FAIR	PRESERVE	18 FEET	33.4/90.2/2'
37	COAST REDWOOD	FAIR	PRESERVE	10 FEET	17.7/20.1/4'
38	COAST REDWOOD	POOR/FAIR	PRESERVE	10 FEET	19.5/85.1/5'
39	COAST REDWOOD	POOR/FAIR	PRESERVE	10 FEET	18.7/5.7/6'
40	COAST REDWOOD	POOR/FAIR	PRESERVE	11 FEET	21.7/40.1/10'
41	COAST REDWOOD	FAIR/GOOD	PRESERVE	14 FEET	28.8/85.2/0'
42	COAST REDWOOD	FAIR	PRESERVE	18 FEET	35.5/85.0/3'
43	COAST REDWOOD	FAIR/GOOD	PRESERVE	20 FEET	33.3/85.3/4'
44	COAST REDWOOD	FAIR	PRESERVE	13 FEET	24.7/25.1/8'
45	JAPANESE MAPLE	FAIR/GOOD	TO BE REMOVED	37'	12.3/0'
46	COAST REDWOOD	FAIR/PROTECTED	TO BE REMOVED	16.8'	8.0/5.1/0'
52	COAST LIVE OAK	FAIR	PRESERVE	25 FEET	58.5/50.5/3'
53	COAST LIVE OAK	FAIR	PRESERVE	14 FEET	27.3/35.0/8'
54	COAST REDWOOD	FAIR	PRESERVE	20 FEET	40.9/80.2/2'
58	COAST LIVE OAK		PRESERVE	12 FEET	EST 15'
59	SYCAMORE		PRESERVE	12 FEET	EST 124'
60 & 61	COAST LIVE OAK		PRESERVE	12 FEET	32'
62	COAST LIVE OAK		PRESERVE	12 FEET	EST 124'
63	COAST LIVE OAK		PRESERVE	12 FEET	EST 124'
64	COAST REDWOOD		PRESERVE	18 FEET	EST 30'
65	MONTEREY PINE		PRESERVE	15 FEET	EST 24'
66	MONTEREY PINE		PRESERVE	15 FEET	EST 24'

### EXISTING TREE LEGEND:

- EXISTING PROTECTED/HERITAGE TREE TO REMAIN, TYP
- EXISTING NON PROTECTED TREE TO REMAIN, TYP
- ⊗ EXISTING PROTECTED/HERITAGE TREE TO BE REMOVED, TYP
- TREE PROTECTION FENCE (TPZ)

### EXISTING TREE NOTES:

- TOTAL NUMBER OF EXISTING PROTECTED/HERITAGE TREES ON SITE - 29
  - # OF EXISTING PROTECTED/HERITAGE TREES PROPOSED FOR REMOVAL - 5
  - MITIGATION**
  - NUMBER OF 1 1/2" GAL. MIN. REPLACEMENT TREES REQUIRED: 10
- TREE DISPOSITION PLAN IS BASED ON ARBORIST REPORT DATED SEPTEMBER, 2015. CONTRACTOR TO FOLLOW TREE PROTECTION GUIDELINES AND TPZ FENCING PER ARBORIST REPORT AND ALL CITY REQUIREMENTS.



## EXISTING TREE DISPOSITION PLAN

MENLO PARK, CA

DATE: 10/16

9/25/2015

**VAN DORN ABED**  
LANDSCAPE ARCHITECTS, INC.  
81 14TH STREET, SAN FRANCISCO, CA  
ZIP 94103 PH (415) 864-1921 FAX (415) 864-4796

DATE	SCALE	DRAWN	CHECKED	APPROVED
10/16/2015	1" = 20'	RBAA	EX	EX
10/16/2015	1" = 20'	RBAA	EX	EX
10/16/2015	1" = 20'	RBAA	EX	EX
10/16/2015	1" = 20'	RBAA	EX	EX

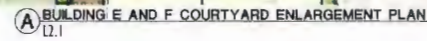
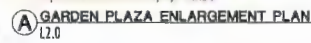
**KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
1000 SAN CARLOS AVENUE, SUITE 200  
SAN CARLOS, CALIFORNIA 95061  
TEL: (925) 271-5641  
FAX: (925) 271-5641

**TENTATIVE MAP**  
FOR: HUNTER PROPERTIES, INC.  
133 BICAL AVENUE  
MENLO PARK, CALIFORNIA

DATE	10/16/2015
SCALE	1" = 20'
DRAWN	RBAA
CHECKED	EX
APPROVED	EX
JOB	A14-0011.2
SHEET	9








9.14.2015

[illegible][illegible]

 **KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
3350 Scott Boulevard, Building 22 • (408) 727-6605  
Santa Clara, California 95054 • (408) 727-5641

**TENTATIVE MAP  
FOR: HUNTER PROPERTIES, INC.**  
133 ENCINAL AVENUE

MENLO PARK

DATE	10/14/2015
SCALE	N.T.S.
DESIGNER	RMA
DRAFTER	EK
JOB	A14009-2
SHEET	11
OF 11 SHEETS	



## 133 ENCINAL AVENUE TOWNHOMES

### Project Description

Hunter Properties Inc., a leading real estate development and investment firm in Northern California, is proposing the development of 24 townhomes at 133 Encinal Avenue. The project sits at the edge of the El Camino Real and Downtown Specific plan and its scale and density work to create a transition to the adjacent neighborhoods.

The townhomes are planned across 2 duplexes (Buildings E and G) and 5 multifamily buildings (Buildings A, B, C, D, and F). Townhomes range from 2 to 3 floors with 3-4 bedrooms and 2.5-3.5 bathrooms, averaging 1,950 net square feet. Generous second-floor ceiling heights with open living and dining room plans will create bright and airy living spaces. The homes will have plentiful access to the outdoors as well, with a combination of private decks, front porches, or rear patios. Townhome porches front Encinal, enhancing street liveliness while maintaining resident privacy with layers of transitional elements such as landscaping and private porches. Paseos among the buildings create an off-street approach and sense of arrival at each front door.

In its contemporary craftsman-style architecture, thoughtful detailing will be seen throughout in enhanced eaves, trims, balconies, trellises, and porch elements. All the buildings will be in wood frame construction and clad with a combination of wood shingles and lap siding. Two color schemes based on cool, refined grays and warm, light browns will work with the site layout to bring a lively variety and scale to the community.

An existing one-story building on site with previous lives as a plant nursery and ice cream parlor will be reconstructed on site. On axis with the main drive aisle and visible from Encinal, it will be relocated to improve its connection to the neighborhood and serves as an amenity space for the project. The site is also unique in having heritage redwood and oak groves that will be complemented by a new landscape design. Additional California-native shrubs will be introduced to a new children's discovery garden and oak grove garden. Elsewhere, garden plazas will provide active and passive places with boxed garden plots and courtyards with relaxing places to sit beneath trellis features.

### Outreach

As part of our ongoing outreach effort with the Stone Pine residents, we have commissioned story poles to illustrate Building D elevations. We have informed John Onken of the flagged representations (second floor level, eave, and top ridge of building D). We recognize the neighbors design concerns as it relates to the rear of the site. As such, the unit count has been reduced from six (6) units to three (3) along the rear property and the height has been lowered to two-stories. We have also allowed for the maximum rear setback based on the required fire truck width within the drive isle. By increasing the rear setback any further we would be forced to eliminate Building D.



We understand the neighbors concern for privacy and as a result have reduced the second floor window size and count from our original scheme. Addressing the neighbors desire to see architectural relief on the rear elevation of Building D we have made several architectural modifications- one being the extension of the roof line between the first and second floor. Additionally, we have modulated of the facade at either side of the rear elevation, added trim and corbels, and grouped windows to create architectural interest and break up the massing.

September 24, 2015

Ms. Jean Lin  
Associate Planner, Planning Department  
City of Menlo Park  
701 Laurel Street  
Menlo Park, CA 94025



**Re: (Revised) Inclusionary Housing Plan - 133 Encinal Avenue, Menlo Park**

Dear Jean,

This correspondence outlines the Inclusionary Housing Plan for our 24-unit for-sale residential project for the site located at 133 Encinal Avenue, Menlo Park. This IHP includes the following.

- 1) Project Description
- 2) BMR Requirement for the Project
- 3) Housing Commission Recommendations
- 4) Proposal to Satisfy BMR Requirement
- 5) Site Plan
- 6) Landscape Plan
- 7) Elevations
- 8) Floor Plans

**1) Project Description:**

The 133 Encinal Avenue project involves the redevelopment of an approximately 1.74 acre site located within the Menlo Park El Camino Real/Downtown Specific Plan north of El Camino Real close to the Caltrain tracks, opposite of Garwood Way. The project proposes to demolish buildings associated with a former nursery and to construct twenty four (24) residential units plus one amenity building for future homeowners.

The townhomes consist of 2 duplexes (Buildings E and G) and 5 multifamily buildings (Buildings A, B, C, D, and F). Townhomes range from 2 to 3 floors with 3-4 bedrooms and 2.5-4 bathrooms, averaging 1,950 net square feet. Generous second-floor ceiling heights with open living and dining room plans will create bright and airy living spaces. The homes will have plentiful access to the outdoors as well, with a combination of private decks, front porches, or rear patios. Townhome porches front Encinal, enhancing street liveliness while maintaining resident privacy with layers of transitional elements such as landscaping and private porches. Paseos among the buildings also create an off-street approach and sense of arrival at each front door.

Abundant open space is provided across the project, totaling 31,300 square feet or approximately 41% of the site. Highlights of the landscape plan include heritage redwood and oak groves that will be preserved. Small play elements for children will be integrated among the towering redwoods, and new outdoor furniture will create a contemplative space within the oak grove. Raised planting plots on the northeast edge of the site will also give residents the opportunity to cultivate their own gardens.

Three of the twenty four units (12.5%) are two-story townhome units, while the remaining twenty one units are three-stories. Sixteen of the twenty four units (66.7%) have four bedrooms and three-and-a-half or four bathrooms and range from 1,888 to 2,132 square feet. Eight of the twenty four units (33.3%) have three bedrooms and two-and-a-half bathrooms and range from 1,698 to 2,108 square feet.

In its contemporary craftsman-style architecture, thoughtful detailing will be seen throughout the project in enhanced eaves, trims, balconies, trellises, and porch elements. All the buildings will be in wood frame construction and clad with a combination of wood shingles and lap siding. Two color schemes based on cool, refined grays and warm, light browns will work with the site layout to bring a lively variety and scale to the community.

## **2) BMR Requirement for the Project:**

The on-site BMR requirement is to provide 15% of units as BMR units. For a 24-unit development, the BMR requirement would be 3.6 units.

## **3) Housing Commission Recommendations:**

A Housing Commission meeting was held on May 6, 2015 to review the BMR requirements for the Project. The Housing Commission approved the Developers Inclusionary Housing Plan of providing three (3) BMR units at the moderate-income level and 0.6 unit obligation via a in-lieu fee. However, the Housing Commission's recommendation asked the Developer to evaluate the feasibility of providing two (2) BMR units at moderate-income level and one (1) BMR unit at the low-income level and no in-lieu fee.

## **4) Proposal to Satisfy BMR Requirement:**

The Developer is adhering to the Housing Commissions recommendation. Three (3) of the twenty four (24) residences shall be set aside on-site as affordable units for "Low Income" families (the "BMR Units"). Per the Housing Commissions recommendation two (2) BMR units will be set aside for moderate-income level families and one (1) BMR unit will be set aside low-income level families. These 3 units are designated as Unit A, Unit B, and Unit C. These units are chosen for their representation of the different product types offered and desire to spread the units evenly throughout the site. Units A and B benefit from being an "endcap" of their buildings and have three unshared walls. These units have the additional advantage of being next to the landscaped garden plaza and the provided guest parking. Unit C benefits from being one of two units with an open entry courtyard that overlooks a grand paseo between Buildings B & C. This unit is also provided with a private backyard that backs up to dense mature trees along the property line. All three (3) BMR units are 4 bedroom units, the max number of bedrooms in the unit types offered.

All BMR units will be built to the same standards as non-BMR units. The exterior materials used in construction of the BMR Units will be similar and indistinguishable from those to be used on the market rate units. The interior finishes of the BMR Units shall be similar to those of the market rate units, except for upgrades purchased by individual buyers.

ES



# Legend

- EV Electric Vehicle Charging Station  
Buildings E, F, + G; See Building
- AC Condenser with wood screen  
See Landscape Drawings for planting to screen from view
- AC Condenser without wood screen  
at private backyard
- Transformer; See Civil Drawing  
See Landscape Drawings for planting to screen from view
- Guest Bike Parking;  
See Landscape Drawings
- Below Market Rate Unit

1" = 20'-0"

IHP 1.0

ktgy

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

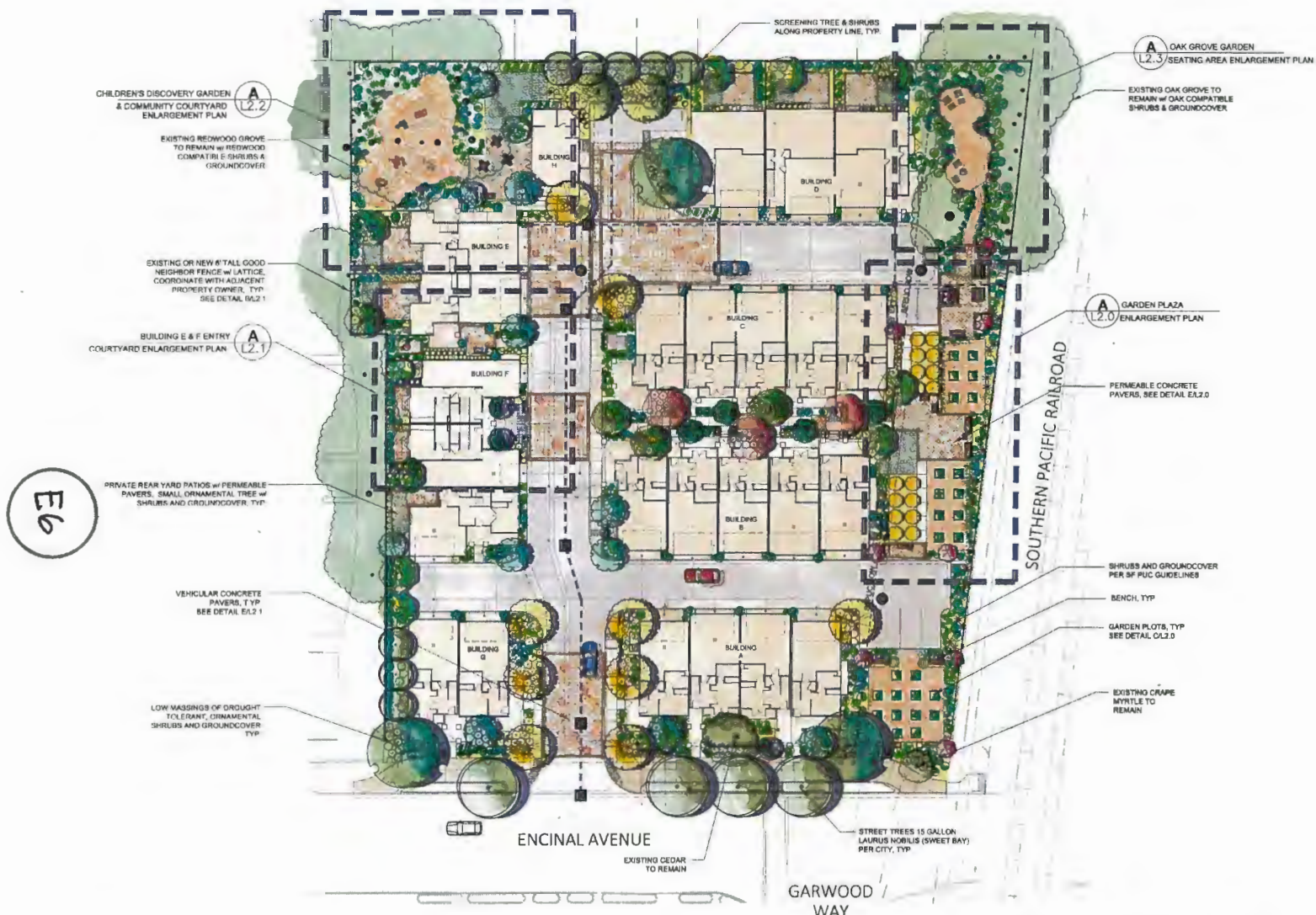
## CONCEPTUAL SITE PLAN

MENLO PARK, CA  
REV: 10/24/2013

01/25/2015

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com





## LANDSCAPE & WATER EFFICIENCY DESIGN INTENT STATEMENT

THE LANDSCAPE DESIGN INCORPORATES PRINCIPLES INCLUDED IN THE "SAY FRIENDLY" LANDSCAPE GUIDELINES & WILL COMPLY WITH THE CITY OF MENLO PARK'S DESIGN GUIDELINES & MUNICIPAL CODE.

PLANTS ARE CHOSEN BY HYDROZONE, EXPOSURE & LOCAL CLIMATIC CONDITIONS. THE PLANTING DESIGN ALLOWS FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE AND ELIMINATES THE NEED FOR EXCESSIVE PRUNING OR HEDGING.

SELECTED TREES HAVE BEEN CHOSEN TO PROVIDE A VARIATION OF HEIGHTS, WIDTHS, COLORS, TEXTURES, AND CHARACTER. TREE LOCATION AND ORIENTATION HAVE BEEN DESIGNED FOR MAXIMUM AESTHETIC EFFECT AND PASSIVE SOLAR BENEFITS.

VEGETATED SWALES AND BIORETENTION TREATMENT AREAS WILL BE PLANTED WITH APPROVED WATER CONSERVING, CAREX PANSA OR ALTERNATIVE GRASS SPECIES, AND PERIMETER SHRUBS THAT ARE ADAPTED TO BIO SWALE CONDITIONS.

THE TREES, SHRUBS AND TURF PLANTING AREAS WILL BE DESIGNED FOR MAXIMUM WATER CONSERVATION. THE LANDSCAPE ESTIMATED TOTAL WATER USE WILL NOT EXCEED THE PROJECT'S MAXIMUM WATER ALLOWANCE AS SPECIFIED IN THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.

THE PLANTING & IRRIGATION DESIGN WILL COMPLY WITH THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE & THE CITY OF MENLO PARK'S MUNICIPAL CODE 12.44.

THE PLANTS HAVE BEEN SELECTED UTILIZING THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PLANT LIST, WHICH IS: NO PLANTS ARE USED THAT ARE CONSIDERED INVASIVE IN THE REGION AS LISTED BY THE CAL-IPC.

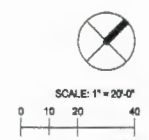
## SF PUC RIGHT OF WAY:

GARDEN PLOTS (RAISED PLANTERS), CITRUS AND SELECTED SHRUBS AND GROUND COVER ARE ALLOWABLE PER THE SAN FRANCISCO PUBLIC UTILITIES COMMISSION RIGHT OF WAY REQUIREMENTS. LANDSCAPE PLANS WILL CONFORM TO SPUC REQUIREMENTS.

## BUILD IT GREEN LANDSCAPE ITEMS:

THE LANDSCAPE DESIGN WILL INCORPORATE THE FOLLOWING "BUILD IT GREEN" ITEMS TO MAXIMIZE WATER CONSERVATION:

- NO INVASIVE PLANT SPECIES USED ON PROJECT.
- 75% OF PLANTS ARE WATER CONSERVING CALIFORNIA NATIVES OR MEDITERRANEAN SPECIES.
- TURF IS TALL TURF WITH WATER USE PLANT FACTOR OF 0.8.
- TURF ARE IS LESS THAN 33% OF ENTIRE LANDSCAPED AREA.
- PLANTS ARE GROUPED BY WATER NEEDS AND EACH AREA IS IRRIGATED SEPARATELY, I.E., TURF AND SHRUB AREAS HAVE SEPARATE IRRIG. CIRCUITS.
- LOW FLOW SPRINKLER HEADS ARE USED ON PROJECT.
- 2" COMPOST ADDED INTO SOIL.
- 3" OF MULCH ADDED TO SHRUB AND GROUND COVER PLANTING AREAS.



133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

CONCEPTUAL LANDSCAPE PLAN

MENLO PARK, CA

SHEET # 1411

12/1/15

**VAN DORN ABED**  
LANDSCAPE ARCHITECTS, INC.  
81 14TH STREET, SAN FRANCISCO, CA  
ZIP 94103 PH (415) 864-1921 FAX (415) 864-4796

E7



1. Front Elevation - Encinal Avenue



2. Right Elevation\*



Key Map n.t.s.

 Below Market Rate Unit

\*Elevation faces Southern Pacific Railroad and has been designed for smaller openings.



3. Rear Elevation



4. Left Elevation

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL ELEVATIONS - BUILDING A

MENLO PARK, CA

STGT # 2014-0002

09.25.2015

$\frac{1}{8}" = 1'-0"$

IHP 2.0

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com



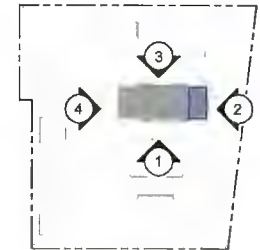




1. Front Elevation



2. Right Elevation\*



Key Map n.t.s.

 Below Market Rate Unit

\*Elevation faces Southern Pacific Railroad and has been designed for smaller openings.



3. Rear Elevation



4. Left Elevation

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL ELEVATIONS - BUILDING C

MENLO PARK, CA

1307 R 2014-0032

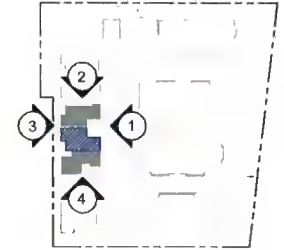
09.23.2015

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com

$\frac{1}{8}" = 1'-0"$

IHP 2.1





Key Map n.t.s.

Below Market Rate Unit



1. Front Elevation



2. Right Elevation



3. Rear Elevation



4. Left Elevation

$\frac{1}{8}'' = 1'-0''$

IHP 2.2



## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL ELEVATIONS - BUILDING F

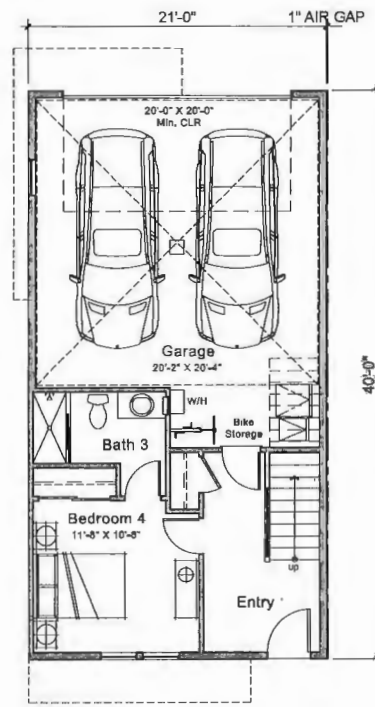
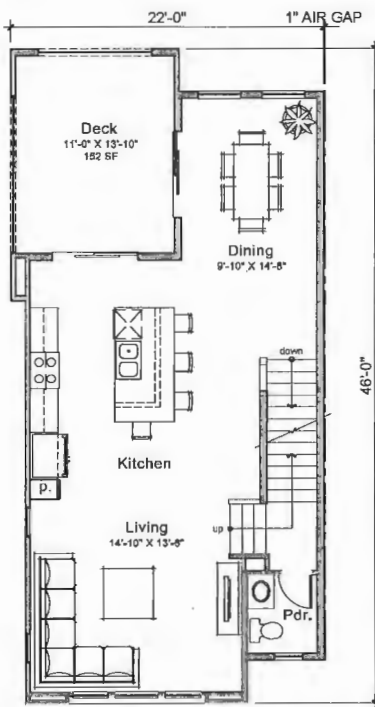
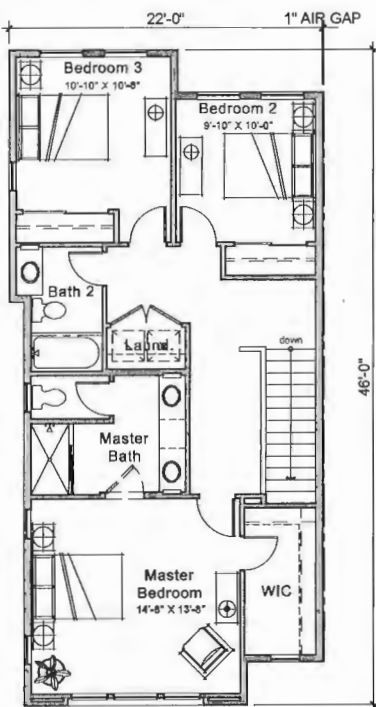
MENLO PARK, CA

1301 # 2014-002

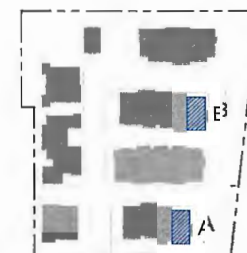
09.25.2015

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com

E9



Plan 7 - BMR Units A & B  
4 Bedroom / 3.5 Bath  
1,889 Net SF



Key Map n.t.s.

Below Market Rate Unit

Note: Unit net area measured to inside face of stud.

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 7

MENLO PARK, CA

DATE: 10/16/2012

BY: 10/15/2015

1/4" = 1'-0"

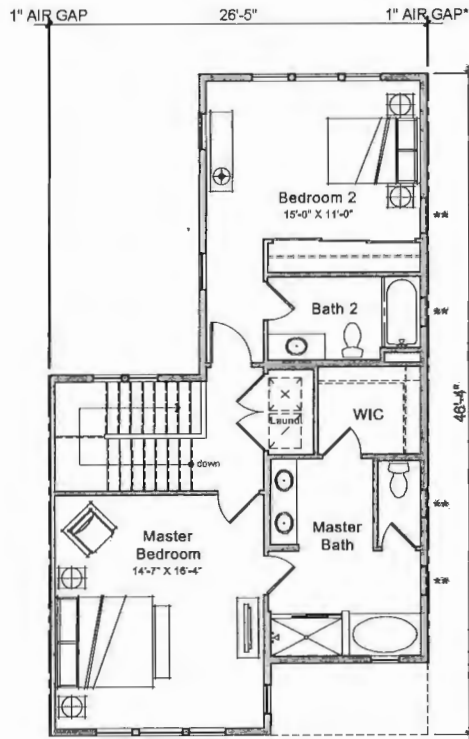
IHP 3.0

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Architecture+Planning  
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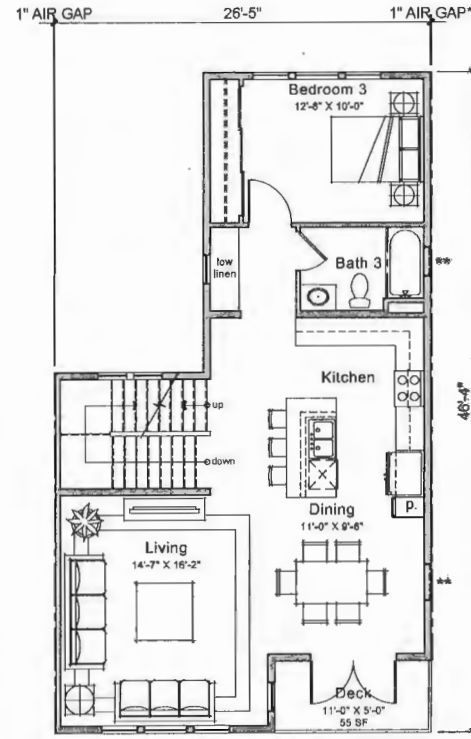




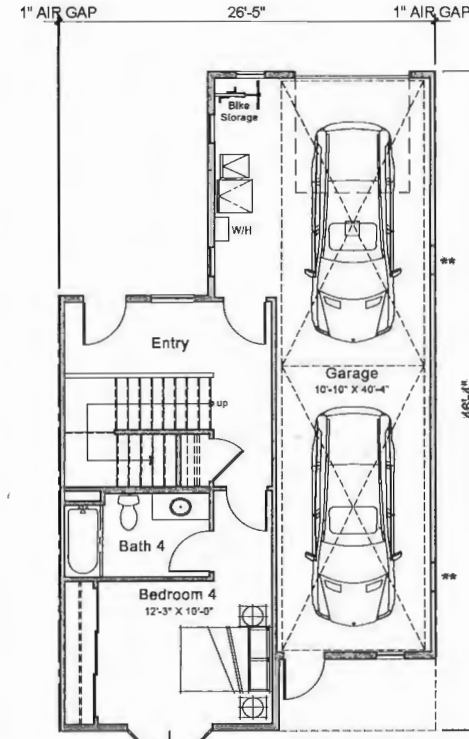
E11



Third Floor

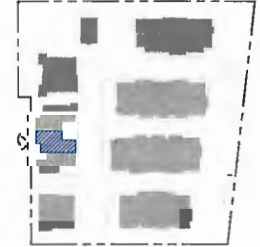


Second Floor



First Floor

Plan 6 - BMR Unit C  
4 Bedroom / 4 Bath  
2,131 Net SF



Key Map n.t.s.

Below Market Rate Unit

Note: Unit net area measured to inside face of stud.  
\*air gap at interior walls only  
\*\* As occurs - see building plans for window location

133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

CONCEPTUAL FLOOR PLANS - PLAN TYPE 6

MENLO PARK, CA  
10/07/15 2014-03-12

09/25/2015

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com

1/4" = 1'-0"

IHP 3.1



**133 Encinal Avenue**  
Menlo Park El Camino Real/Downtown Specific Plan  
Standards and Guidelines: Project Compliance Worksheet

<b>Section</b>	<b>Standard or Guideline</b>	<b>Requirement</b>	<b>Evaluation</b>
<b>E.3.1 Development Intensity</b>			
<b>E.3.1.01</b>	Standard	Business and Professional office (inclusive of medical and dental office) shall not exceed one half of the base FAR or public benefit bonus FAR, whichever is applicable.	Not Applicable: No business/professional office use is proposed.
<b>E.3.1.02</b>	Standard	Medical and Dental office shall not exceed one third of the base FAR or public benefit bonus FAR, whichever is applicable.	Not Applicable: No medical/dental office use is proposed.
<b>E.3.2 Height</b>			
<b>E.3.2.01</b>	Standard	Roof-mounted mechanical equipment, solar panels, and similar equipment may exceed the maximum building height, but shall be screened from view from publicly-accessible spaces.	Complies: No roof-mounted equipment currently proposed. <i>Sheets A2.1-A2.7</i>
<b>E.3.2.02</b>	Standard	Vertical building projections such as parapets and balcony railings may extend up to 4 feet beyond the maximum façade height or the maximum building height, and shall be integrated into the design of the building.	Complies: No vertical projections are exceeding maximum building or façade height. <i>Sheets A4.0-A4.7</i>
<b>E.3.2.03</b>	Standard	Rooftop elements that may need to exceed the maximum building height due to their function, such as stair and elevator towers, shall not exceed 14 feet beyond the maximum building height. Such rooftop elements shall be integrated into the design of the building.	Complies: No rooftop elements are exceeding the maximum building height. <i>Sheets A4.0-A4.7</i>
<b>E.3.3 Setbacks and Projections within Setbacks</b>			
<b>E.3.3.01</b>	Standard	Front setback areas shall be developed with sidewalks, plazas, and/or landscaping as appropriate.	Complies: Sidewalks and landscaping are provided in the front setback. <i>Sheet L1.0</i>
<b>E.3.3.02</b>	Standard	Parking shall not be permitted in front setback areas.	Complies: No parking is located in the front setback. <i>Sheet A1.0</i>
<b>E.3.3.03</b>	Standard	In areas where no or a minimal setback is required, limited setback for store or lobby entry recesses shall not exceed a maximum of 4-foot depth and a maximum of 6-foot width.	Not Applicable: Project is not in a zone with no/minimal setback requirements.
<b>E.3.3.04</b>	Standard	In areas where no or a minimal setback is required, building projections, such as balconies, bay windows and dormer windows, shall not project beyond a maximum of 3 feet from the building face into the sidewalk clear walking zone, public right-of-way or public spaces, provided they have a minimum 8-foot vertical clearance above the sidewalk clear walking zone, public right-of-way or public space.	Complies: No building projections are within required setbacks. <i>Sheet A1.0</i>
<b>E.3.3.05</b>	Standard	In areas where setbacks are required, building projections, such as balconies, bay windows and dormer windows, at or above the second habitable floor shall not project beyond a maximum of 5 feet from the building face into the setback area.	Complies: No building projections are within required setbacks. <i>Sheet A1.0</i>

**133 Encinal Avenue**  
Menlo Park El Camino Real/Downtown Specific Plan  
Standards and Guidelines: Project Compliance Worksheet

<b>Section</b>	<b>Standard or Guideline</b>	<b>Requirement</b>	<b>Evaluation</b>
<b>E.3.3.06</b>	Standard	The total area of all building projections shall not exceed 35% of the primary building façade area. Primary building façade is the façade built at the property or setback line.	Complies: No building projections are within setbacks except eave at Building D. Eave projects approx. 2'-0" into setback. <i>Sheets A4.0-A4.7</i>
<b>E.3.3.07</b>	Standard	Architectural projections like canopies, awnings and signage shall not project beyond a maximum of 6 feet horizontally from the building face at the property line or at the minimum setback line. There shall be a minimum of 8-foot vertical clearance above the sidewalk, public right-of-way or public space.	Complies: Porch canopies and trellises do not extend more than 6' from building faces at setbacks or property line. Vertical clearances are greater than 8'. <i>Sheets A1.0; A2.1-A2.8b; A3.0-A3.7d</i>
<b>E.3.3.08</b>	Standard	No development activities may take place within the San Francisquito Creek bed, below the creek bank, or in the riparian corridor.	Not Applicable: The project is not located in or near San Francisquito Creek.
<b>E.3.4 Massing and Modulation</b>			
<b>E.3.4.1 Building Breaks</b>			
<b>E.3.4.1.01</b>	Standard	The total of all building breaks shall not exceed 25 percent of the primary façade plane in a development.	Complies: The building break between Buildings A and G is 42'-2" for a building plane of 183'-10", which is 23% of the building plane. <i>Sheet A6.0</i>
<b>E.3.4.1.02</b>	Standard	Building breaks shall be located at ground level and extend the entire building height.	Complies: The provided building break extends for the entire building height from the ground level up. <i>Sheet A6.0</i>
<b>E.3.4.1.03</b>	Standard	In all districts except the ECR-SE zoning district, recesses that function as building breaks shall have minimum dimensions of 20 feet in width and depth and a maximum dimension of 50 feet in width. For the ECR-SE zoning district, recesses that function as building breaks shall have a minimum dimension of 60 feet in width and 40 feet in depth.	Not Applicable: Project proposes a full building break, not a recess.
<b>E.3.4.1.04</b>	Standard	Building breaks shall be accompanied with a major change in fenestration pattern, material and color to have a distinct treatment for each volume.	Complies: The building break between Buildings A and G is accompanied by a change in color (brown scheme to grey scheme), and windows vary within and between the two structures. <i>Sheet A6.0</i>
<b>E.3.4.1.05</b>	Standard	In all districts except the ECR-SE zoning district, building breaks shall be required as shown in Table E3.	Complies: Per Table E3, the building plane on Encinal Avenue is less than 200'. 1 building break req. at 100'. Building A width is 93.5'. Break 42'. <i>Sheet A6.0</i>

### **133 Encinal Avenue**

#### Menlo Park El Camino Real/Downtown Specific Plan Standards and Guidelines: Project Compliance Worksheet

<b>Section</b>	<b>Standard or Guideline</b>	<b>Requirement</b>	<b>Evaluation</b>
<b>E.3.4.1.06</b>	Standard	<p>In the ECR-SE zoning district, and consistent with Table E4 the building breaks shall:</p> <ul style="list-style-type: none"> <li>• Comply with Figure E9;</li> <li>• Be a minimum of 60 feet in width, except where noted on Figure E9;</li> <li>• Be a minimum of 120 feet in width at Middle Avenue;</li> <li>• Align with intersecting streets, except for the area between Roble Avenue and Middle Avenue;</li> <li>• Be provided at least every 350 feet in the area between Roble Avenue and Middle Avenue; where properties under different ownership coincide with this measurement, the standard side setbacks (10 to 25 feet) shall be applied, resulting in an effective break of between 20 to 50 feet.</li> <li>• Extend through the entire building height and depth at Live Oak Avenue, Roble Avenue, Middle Avenue, Partridge Avenue and Harvard Avenue; and</li> <li>• Include two publicly-accessible building breaks at Middle Avenue and Roble Avenue.</li> </ul>	Not Applicable: The property is not in the ECR-SE district.
<b>E.3.4.1.07</b>	Standard	In the ECR-SE zoning district, the Middle Avenue break shall include vehicular access; publicly-accessible open space with seating, landscaping and shade; retail and restaurant uses activating the open space; and a pedestrian/bicycle connection to Alma Street and Burgess Park. The Roble Avenue break shall include publicly-accessible open space with seating, landscaping and shade.	Not Applicable: The property is not in the ECR-SE district.
<b>E.3.4.1.08</b>	Guideline	In the ECR-SE zoning district, the breaks at Live Oak, Roble, Middle, Partridge and Harvard Avenues may provide vehicular access.	Not Applicable: The property is not in the ECR-SE district.
<b>E.3.4.2 Façade Modulation and Treatment</b>			
<b>E.3.4.2.01</b>	Standard	Building façades facing public rights-of-way or public open spaces shall not exceed 50 feet in length without a minor building façade modulation. At a minimum of every 50' façade length, the <b>minor vertical façade modulation</b> shall be a minimum 2 feet deep by 5 feet wide recess or a minimum 2 foot setback of the building plane from the primary building façade.	Complies: Buildings A and G facing Encinal Avenue have minor vertical façade modulations with minimum measurements of 5'-6" in width and 3' in depth. <i>Sheet A6.0</i>

**133 Encinal Avenue**  
**Menlo Park El Camino Real/Downtown Specific Plan**  
**Standards and Guidelines: Project Compliance Worksheet**

<b>Section</b>	<b>Standard or Guideline</b>	<b>Requirement</b>	<b>Evaluation</b>
<b>E.3.4.2.02</b>	Standard	Building façades facing public rights-of-way or public open spaces shall not exceed 100 feet in length without a major building modulation. At a minimum of every 100 feet of façade length, a <b>major vertical façade modulation</b> shall be a minimum of 6 feet deep by 20 feet wide recess or a minimum of 6 feet setback of building plane from primary building façade for the full height of the building. This standard applies to all districts except ECR NE-L and ECR SW since those two districts are required to provide a building break at every 100 feet.	Not Applicable: Major modulation not required as building façade at Building A is less than 100 feet wide. <i>Sheet A6.0</i>
<b>E.3.4.2.03</b>	Standard	In addition, the major building façade modulation shall be accompanied with a 4-foot minimum height modulation and a major change in fenestration pattern, material and/or color.	Not Applicable: Major modulation not required as building façade at Building A is less than 100 feet wide. <i>Sheet A6.0</i>
<b>E.3.4.2.04</b>	Guideline	Minor façade modulation may be accompanied with a change in fenestration pattern, and/or material, and/or color, and/or height.	Complies: Minor façade modulations in Buildings A and G are accompanied by a change in material (shingle to horizontal siding) and color (variation in darkness of brown or grey at modulation). <i>Sheet A6.0</i>
<b>E.3.4.2.05</b>	Guideline	Buildings should consider sun shading mechanisms, like overhangs, <i>bris soleils</i> and clerestory lighting, as façade articulation strategies.	Complies: Overhangs at eaves and rakes, covered porches and covered upper decks provide shading are shown on the elevations and conceptual details. <i>Sheets A2.1-A2.8b; Sheet A6.10a</i>
<b>E.3.4.3 Building Profile</b>			
<b>E.3.4.3.01</b>	Standard	The 45-degree building profile shall be set at the minimum setback line to allow for flexibility and variation in building façade height within a district.	Complies: Buildings A and G along the front and building D along the rear comply with the 45-degree building profile requirement. <i>Sheets A4.0, A4.3, A4.6</i>
<b>E.3.4.3.02</b>	Standard	Horizontal building and architectural projections, like balconies, bay windows, dormer windows, canopies, awnings, and signage, beyond the 45-degree building profile shall comply with the standards for Building Setbacks & Projection within Setbacks (E.3.3.04 to E.3.3.07) and shall be integrated into the design of the building.	Complies: No horizontal projections are proposed within the 45-degree building profile. <i>Sheets A4.0, A4.6</i>
<b>E.3.4.3.03</b>	Standard	Vertical building projections like parapets and balcony railings shall not extend 4 feet beyond the 45-degree building profile and shall be integrated into the design of the building.	Complies: No vertical building projections are proposed within the 45-degree building profile. <i>Sheets A4.0, A4.6</i>
<b>E.3.4.3.04</b>	Standard	Rooftop elements that may need to extend beyond the 45-degree building profile due to their function, such as stair and elevator towers, shall be integrated into the design of the building.	Complies: No rooftop elements extend beyond the 45-degree building profile. <i>Sheet A4.0, A4.6</i>
<b>E.3.4.4 Upper Story Façade Length</b>			



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<b>E.3.4.4.01</b>	Standard	Building stories above the 38-foot façade height shall have a maximum allowable façade length of 175 feet along a public right-of-way or public open space.	Not Applicable: No buildings exceed the 38-foot façade height. <i>Sheet A6.0</i>
<b>E.3.5 Ground Floor Treatment, Entry and Commercial Frontage</b>			
<b>Ground Floor Treatment</b>			
<b>E.3.5.01</b>	Standard	The retail or commercial ground floor shall be a minimum 15-foot floor-to-floor height to allow natural light into the space.	Not Applicable: No retail/commercial uses are proposed.
<b>E.3.5.02</b>	Standard	Ground floor commercial buildings shall have a minimum of 50% transparency (i.e., clear-glass windows) for retail uses, office uses and lobbies to enhance the visual experience from the sidewalk and street. Heavily tinted or mirrored glass shall not be permitted.	Not Applicable: No retail/commercial uses are proposed.
<b>E.3.5.03</b>	Guideline	Buildings should orient ground-floor retail uses, entries and direct-access residential units to the street.	Complies: Street facing units at Buildings A and G are direct access—facing the street with front doors. <i>Sheet A1.0 and A2.0</i>
<b>E.3.5.04</b>	Guideline	Buildings should activate the street by providing visually interesting and active uses, such as retail and personal service uses, in ground floors that face the street. If office and residential uses are provided, they should be enhanced with landscaping and interesting building design and materials.	Complies: Porches facing Encinal Avenue are provided at the ground level of Building A and G. Free-standing trellises and landscaping are also provided along the sidewalk to engage pedestrians. <i>Sheet A1.0 and A2.0</i>
<b>E.3.5.05</b>	Guideline	For buildings where ground floor retail, commercial or residential uses are not desired or viable, other project-related uses, such as a community room, fitness center, daycare facility or sales center, should be located at the ground floor to activate the street.	Not Applicable: Ground-floor residential uses are proposed.
<b>E.3.5.06</b>	Guideline	Blank walls at ground floor are discouraged and should be minimized. When unavoidable, continuous lengths of blank wall at the street should use other appropriate measures such as landscaping or artistic intervention, such as murals.	Complies: Elevations show porches, windows, gates etc. at ground floor condition. Landscaping is also provided around walls at ground floors. <i>Sheet A2.0-A2.7 and L1.0</i>
<b>E.3.5.07</b>	Guideline	Residential units located at ground level should have their floors elevated a minimum of 2 feet to a maximum of 4 feet above the finished grade sidewalk for better transition and privacy, provided that accessibility codes are met.	Complies by Alternative Method: Preliminary Grading & Drainage Plans for floor elevations and sidewalk grades indicate ground level floor is about 6 inches to a foot above grade, but access to units are behind porches or recessed courts for transition and privacy, and main living areas above first floor are not facing access points. <i>Sheets C3.1-C3.2, A1.0, L1.0</i>
<b>E.3.5.08</b>	Guideline	Architectural projections like canopies and awnings should be integrated with the ground floor and overall building design to break up building mass, to add visual interest to the building and provide shelter and shade.	Complies: Canopies/trellis elements are used at entries and garage doors, etc. Refer to Conceptual Elevations for strategies used in the building design. <i>Sheets A2.1-A2.8b; Perspective Sheet A7.2, A7.4, A7.8</i>
<b>Building Entries</b>			

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.5.09</b>	Standard	Building entries shall be oriented to a public street or other public space. For larger residential buildings with shared entries, the main entry shall be through prominent entry lobbies or central courtyards facing the street. From the street, these entries and courtyards provide additional visual interest, orientation and a sense of invitation.	Complies: Entries for Buildings A and G are oriented toward Encinal Avenue. Entries for Buildings B, C, and F are oriented toward a common landscaped paseo off the project drive aisle. Entries for Buildings D and E employ a similar strategy and are oriented to landscaped paseos among buildings or to landscaped open space. Pedestrian walkways and decorative paving provide clear orientation between the public right-of-way and the building entries. <i>Sheet L1.0</i>
<b>E.3.5.10</b>	Guideline	Entries should be prominent and visually distinctive from the rest of the façade with creative use of scale, materials, glazing, projecting or recessed forms, architectural details, color, and/or awnings.	Complies: Buildings entries are highlighted by covered porches with stone veneer columns, stone veneer or wood enclosures, and landscaping. <i>Sheets A2.1-2.8b</i>
<b>E.3.5.11</b>	Guideline	Multiple entries at street level are encouraged where appropriate.	Complies: Buildings A and G, which face Encinal Avenue, have street level entrances into the units. <i>Sheets A2.0-A2.1, A2.7, A3.0, A3.6</i>
<b>E.3.5.12</b>	Guideline	Ground floor residential units are encouraged to have their entrance from the street.	Complies: Buildings A and G, which face Encinal Avenue have entries oriented toward the street. <i>Sheets A2.0-A2.1, A2.7, A3.0, A3.6</i>
<b>E.3.5.13</b>	Guideline	Stoops and entry steps from the street are encouraged for individual unit entries when compliant with applicable accessibility codes. Stoops associated with landscaping create inviting, usable and visually attractive transitions from private spaces to the street.	Complies: Porches and other transitional elements, such as landscaping, are provided. <i>Sheets A2.1-A2.8b, A3.0-A3.7d</i>
<b>E.3.5.14</b>	Guideline	Building entries are allowed to be recessed from the primary building façade.	Complies: Buildings A and G have entries recessed under porches. <i>Sheets A3.0-A3.7d</i>
<b>Commercial Frontage</b>			
<b>E.3.5.15</b>	Standard	Commercial windows/storefronts shall be recessed from the primary building façade a minimum of 6 inches	Not Applicable: No retail/commercial uses are proposed.
<b>E.3.5.16</b>	Standard	Retail frontage, whether ground floor or upper floor, shall have a minimum 50% of the façade area transparent with clear vision glass, not heavily tinted or highly mirrored glass.	Not Applicable: No retail/commercial uses are proposed.
<b>E.3.5.17</b>	Guideline	Storefront design should be consistent with the building's overall design and contribute to establishing a well-defined ground floor for the façade along streets.	Not Applicable: No retail/commercial uses are proposed.
<b>E.3.5.18</b>	Guideline	The distinction between individual storefronts, entire building façades and adjacent properties should be maintained.	Not Applicable: No retail/commercial uses are proposed.
<b>E.3.5.19</b>	Guideline	Storefront elements such as windows, entrances and signage should provide clarity and lend interest to the façade.	Not Applicable: No retail/commercial uses are proposed.

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<b>Section</b>	<b>Standard or Guideline</b>	<b>Requirement</b>	<b>Evaluation</b>
<b>E.3.5.20</b>	Guideline	Individual storefronts should have clearly defined bays. These bays should be no greater than 20 feet in length. Architectural elements, such as piers, recesses and projections help articulate bays.	Not Applicable: No retail/commercial uses are proposed.
<b>E.3.5.21</b>	Guideline	All individual retail uses should have direct access from the public sidewalk. For larger retail tenants, entries should occur at lengths at a maximum at every 50 feet, consistent with the typical lot size in downtown.	Not Applicable: No retail/commercial uses are proposed.
<b>E.3.5.22</b>	Guideline	Recessed doorways for retail uses should be a minimum of two feet in depth. Recessed doorways provide cover or shade, help identify the location of store entrances, provide a clear area for out-swinging doors and offer the opportunity for interesting paving patterns, signage and displays.	Not Applicable: No retail/commercial uses are proposed.
<b>E.3.5.23</b>	Guideline	Storefronts should remain un-shuttered at night and provide clear views of interior spaces lit from within. If storefronts must be shuttered for security reasons, the shutters should be located on the inside of the store windows and allow for maximum visibility of the interior.	Not Applicable: No retail/commercial uses are proposed.
<b>E.3.5.24</b>	Guideline	Storefronts should not be completely obscured with display cases that prevent customers and pedestrians from seeing inside.	Not Applicable: No retail/commercial uses are proposed.
<b>E.3.5.25</b>	Guideline	Signage should not be attached to storefront windows.	Not Applicable: No retail/commercial uses are proposed.
<b>E.3.6 Open Space</b>			
<b>E.3.6.01</b>	Standard	Residential developments or Mixed Use developments with residential use shall have a minimum of 100 square feet of open space per unit created as common open space or a minimum of 80 square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of 6 feet by 6 feet. In case of a mix of private and common open space, such common open space shall be provided at a ratio equal to 1.25 square feet for each one square foot of private open space that is not provided.	Complies: A minimum of 80 square feet of residential open space meeting minimum 6 foot depth dimension is provided for each unit as a deck or private yard area. (Note: deck at plan 2b unit is less than 6 foot depth, with patio next to ground floor entry). Additional residential open space is provided for some units as a covered porch or open deck. Residential open space calculations are provided on the Project Data sheet A1.1. Common open space is also provided in the SFPUC easement area. In addition Site Open Space is provided on Sheet A6.1d. <i>Sheets A1.0, A1.1, A5.0-A5.12, A6.1d</i>
<b>E.3.6.02</b>	Standard	Residential open space (whether in common or private areas) and accessible open space above parking podiums up to 16 feet high shall count towards the minimum open space requirement for the development.	Not Applicable: Project exceeds the 30% minimum requirement at the ground level, so upper level decks have not been calculated towards this requirement.
<b>E.3.6.03</b>	Guideline	Private and/or common open spaces are encouraged in all developments as part of building modulation and articulation to enhance building façade.	Complies: Refer to Conceptual Landscape Plan. <i>Sheet L1.0</i>

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<b>Section</b>	<b>Standard or Guideline</b>	<b>Requirement</b>	<b>Evaluation</b>
<b>E.3.6.04</b>	Guideline	Private development should provide accessible and usable common open space for building occupants and/or the general public.	Complies: Refer to Conceptual Landscape Plan. <i>Sheet L1.0</i>
<b>E.3.6.05</b>	Guideline	For residential developments, private open space should be designed as an extension of the indoor living area, providing an area that is usable and has some degree of privacy.	Complies: Private open space is provided for each unit as a deck, covered porch, or private yard and is connected to indoor living spaces. <i>Sheets A5.0-A5.12, A1.0</i>
<b>E.3.6.06</b>	Guideline	Landscaping in setback areas should define and enhance pedestrian and open space areas. It should provide visual interest to streets and sidewalks, particularly where building façades are long.	Complies: Landscaping within the front setback helps to define the public sidewalk. Large street trees, site trees, and trellises create a street presence. <i>Sheet L1.0</i>
<b>E.3.6.07</b>	Guideline	Landscaping of private open spaces should be attractive, durable and drought-resistant.	Complies: Refer to notes on Landscape plan, Plant list and images with Conceptual Plan Imagery. <i>Sheets L1.0, L,3.1, L3.2</i>
<b>E.3.7 Parking, Service and Utilities</b>			
<b>General Parking and Service Access</b>			
<b>E.3.7.01</b>	Guideline	The location, number and width of parking and service entrances should be limited to minimize breaks in building design, sidewalk curb cuts and potential conflicts with streetscape elements.	Complies: One entrance to project interior at street, individual garage fronts minimized on main access way into project. <i>Sheets A1.0 and C2.0</i>
<b>E.3.7.02</b>	Guideline	In order to minimize curb cuts, shared entrances for both retail and residential use are encouraged. In shared entrance conditions, secure access for residential parking should be provided.	Not Applicable: No retail use is proposed. The project would result in one curb cut for the entire development, which is a reduction from the two curb cuts that currently exist.
<b>E.3.7.03</b>	Guideline	When feasible, service access and loading docks should be located on secondary streets or alleys and to the rear of the building.	Not Applicable: No service access or loading docks are proposed.
<b>E.3.7.04</b>	Guideline	The size and pattern of loading dock entrances and doors should be integrated with the overall building design.	Not Applicable: No loading docks are proposed.
<b>E.3.7.05</b>	Guideline	Loading docks should be screened from public ways and adjacent properties to the greatest extent possible. In particular, buildings that directly adjoin residential properties should limit the potential for loading-related impacts, such as noise. Where possible, loading docks should be internal to the building envelope and equipped with closable doors. For all locations, loading areas should be kept clean.	Not Applicable: No loading docks are proposed.
<b>E.3.7.06</b>	Guideline	Surface parking should be visually attractive, address security and safety concerns, retain existing mature trees and incorporate canopy trees for shade. See Section D.5 for more complete guidelines regarding landscaping in parking areas.	Complies: Refer to Conceptual Landscape Plan for relationships between parking space and tree canopies. <i>Sheet L1.0</i>
<b>Utilities</b>			
<b>E.3.7.07</b>	Guideline	All utilities in conjunction with new residential and commercial development should be placed underground.	Complies: Refer to Preliminary Site Utility Plan. <i>Sheets C5.1-C5.2</i>

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<b>E.3.7.08</b>	Guideline	Above ground meters, boxes and other utility equipment should be screened from public view through use of landscaping or by integrating into the overall building design.	Complies: Refer to landscape screening details and conceptual perspectives showing fencing and landscape at AC units. Utility equipment such as transformers and back flow prevention devices also to be painted to match adjacent building color as permitted by PGE and Fire District. <i>Sheets L2.4, A6.10, A8.0B</i>
<b>Parking Garages</b>			
<b>E.3.7.09</b>	Standard	To promote the use of bicycles, secure bicycle parking shall be provided at the street level of public parking garages. Bicycle parking is also discussed in more detail in Section F.5 "Bicycle Storage Standards and Guidelines."	Not Applicable: No parking garages are proposed.
<b>E.3.7.10</b>	Guideline	Parking garages on downtown parking plazas should avoid monolithic massing by employing change in façade rhythm, materials and/or color.	Not Applicable: No parking garages are proposed.
<b>E.3.7.11</b>	Guideline	To minimize or eliminate their visibility and impact from the street and other significant public spaces, parking garages should be underground, wrapped by other uses (i.e. parking podium within a development) and/or screened from view through architectural and/or landscape treatment.	Not Applicable: No parking garages are proposed.
<b>E.3.7.12</b>	Guideline	Whether free-standing or incorporated into overall building design, garage façades should be designed with a modulated system of vertical openings and pilasters, with design attention to an overall building façade that fits comfortably and compatibly into the pattern, articulation, scale and massing of surrounding building character.	Not Applicable: No parking garages are proposed.
<b>E.3.7.13</b>	Guideline	Shared parking is encouraged where feasible to minimize space needs, and it is effectively codified through the plan's off-street parking standards and allowance for shared parking studies.	Not Applicable: No parking garages are proposed.
<b>E.3.7.14</b>	Guideline	A parking garage roof should be approached as a usable surface and an opportunity for sustainable strategies, such as installment of a green roof, solar panels or other measures that minimize the heat island effect.	Not Applicable: No parking garages are proposed.
<b>E.3.8 Sustainable Practices</b>			
<b>Overall Standards</b>			
<b>E.3.8.01</b>	Standard	Unless the Specific Plan area is explicitly exempted, all citywide sustainability codes or requirements shall apply.	To Be Determined: Per applicant, project will comply with the requirement for LEED Certification. Preliminary LEED Checklist submitted.
<b>Overall Guidelines</b>			
<b>E.3.8.02</b>	Guideline	Because green building standards are constantly evolving, the requirements in this section should be reviewed and updated on a regular basis of at least every two years.	Acknowledged.
<b>Leadership in Energy and Environmental Design (LEED) Standards</b>			



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<b>E.3.8.03</b>	Standard	<p>Development shall achieve LEED certification, at Silver level or higher, or a LEED Silver equivalent standard for the project types listed below. For LEED certification, the applicable standards include LEED New Construction; LEED Core and Shell; LEED New Homes; LEED Schools; and LEED Commercial Interiors. Attainment shall be achieved through LEED certification or through a City-approved outside auditor for those projects pursuing a LEED equivalent standard. The requirements, process and applicable fees for an outside auditor program shall be established by the City and shall be reviewed and updated on a regular basis. LEED certification or equivalent standard, at a Silver level or higher, shall be required for:</p> <ul style="list-style-type: none"> <li>• Newly constructed residential buildings of Group R (single-family, duplex and multi-family);</li> <li>• Newly constructed commercial buildings of Group B (occupancies including among others office, professional and service type transactions) and Group M (occupancies including among others display or sale of merchandise such as department stores, retail stores, wholesale stores, markets and sales rooms) that are 5,000 gross square feet or more;</li> <li>• New first-time build-outs of commercial interiors that are 20,000 gross square feet or more in buildings of Group B and M occupancies; and</li> <li>• Major alterations that are 20,000 gross square feet or more in existing buildings of Group B, M and R occupancies, where interior finishes are removed and significant upgrades to structural and mechanical, electrical and/or plumbing systems are proposed.</li> </ul> <p>All residential and/or mixed use developments of sufficient size to require LEED certification or equivalent standard under the Specific Plan shall install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces provided. Per the Climate Action Plan the complying applicant could receive incentives, such as streamlined permit processing, fee discounts, or design templates.</p>	To Be Determined: Per applicant, project will comply with the requirement for LEED Certification. Preliminary LEED Checklist submitted.
<b>Leadership in Energy and Environmental Design (LEED) Guidelines</b>			

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<b>E.3.8.04</b>	Guideline	<p>The development of larger projects allows for more comprehensive sustainability planning and design, such as efficiency in water use, stormwater management, renewable energy sources and carbon reduction features. A larger development project is defined as one with two or more buildings on a lot one acre or larger in size. Such development projects should have sustainability requirements and GHG reduction targets that address neighborhood planning, in addition to the sustainability requirements for individual buildings (See Standard E.3.8.03 above). These should include being certified or equivalently verified at a LEED-ND (neighborhood development), Silver level or higher, and mandating a phased reduction of GHG emissions over a period of time as prescribed in the 2030 Challenge.</p> <p>The sustainable guidelines listed below are also relevant to the project area. They relate to but do not replace LEED certification or equivalent standard rating requirements.</p>	To Be Determined: Per applicant, project will comply with the requirement for LEED Certification. Preliminary LEED Checklist submitted.
<b>Building Design Guidelines</b>			
<b>E.3.8.05</b>	Guideline	Buildings should incorporate narrow floor plates to allow natural light deeper into the interior.	Complies: Building Plans for floor plate dimensions. Units have light from 2 or more building sides. <i>Sheets A3.0-A3.7d</i>
<b>E.3.8.06</b>	Guideline	Buildings should reduce use of daytime artificial lighting through design elements, such as bigger wall openings, light shelves, clerestory lighting, skylights, and translucent wall materials.	Complies: Units have light from 2 or more building sides; Window groupings large enough to increase light into units. <i>Sheets A3.0-A3.7d, A2.0-A2.7</i>
<b>E.3.8.07</b>	Guideline	Buildings should allow for flexibility to regulate the amount of direct sunlight into the interiors. Louvered wall openings or shading devices like <i>bris soleils</i> help control solar gain and check overheating. <i>Bris soleils</i> , which are permanent sun-shading elements, extend from the sun-facing façade of a building, in the form of horizontal or vertical projections depending on sun orientation, to cut out the sun's direct rays, help protect windows from excessive solar light and heat and reduce glare within.	Comment: Overhangs on building roofs may provide some shading on large windows and recesses at porches and covered decks provide shading on other windows and glass doors. Shading devices as noted in guideline other than trellis or small roof canopies would not fit building architecture.
<b>E.3.8.08</b>	Guideline	Where appropriate, buildings should incorporate arcades, trellis and appropriate tree planting to screen and mitigate south and west sun exposure during summer. This guideline would not apply to downtown, the station area and the west side of El Camino Real where buildings have a narrower setback and street trees provide shade.	Complies: Proposed planting would improve shade to summer south and west exposures on some buildings. Refer to Conceptual Landscape Plan for relationship of trees to building sun exposure. <i>Sheet L1.0</i>

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<b>E.3.8.09</b>	Guideline	Operable windows are encouraged in new buildings for natural ventilation.	Complies: Operable windows are provided on every floor for all residential units. <i>Sheets A3.0-A3.5</i>
<b>E.3.8.10</b>	Guideline	To maximize use of solar energy, buildings should consider integrating photovoltaic panels on roofs.	Comment: Status of Use of Photovoltaic panels on roof is unknown.
<b>E.3.8.11</b>	Guideline	Inclusion of recycling centers in kitchen facilities of commercial and residential buildings shall be encouraged. The minimum size of recycling centers in commercial buildings should be 20 cubic feet (48 inches wide x 30 inches deep x 24 inches high) to provide for garbage and recyclable materials.	Complies: Individual townhome units provided with garages that will hold garbage/recycling receptacles.
<b>Stormwater and Wastewater Management Guidelines</b>			
<b>E.3.8.12</b>	Guideline	Buildings should incorporate intensive or extensive green roofs in their design. Green roofs harvest rain water that can be recycled for plant irrigation or for some domestic uses. Green roofs are also effective in cutting-back on the cooling load of the air-conditioning system of the building and reducing the heat island effect from the roof surface.	Comment: Green roofs are not proposed as they would not be compatible with the craftsman-style buildings.
<b>E.3.8.13</b>	Guideline	Projects should use porous material on driveways and parking lots to minimize stormwater run-off from paved surfaces.	To Be Determined: Permeable materials at driveway noted for landscape pavers and referenced to Civil Drawings. Three areas of possible permeable pavers shown along driveway. <i>Sheet L2.1, C2.0</i>
<b>Landscaping Guidelines</b>			
<b>E.3.8.14</b>	Guideline	Planting plans should support passive heating and cooling of buildings and outdoor spaces.	Complies: Refer to Conceptual Landscape Plan for relationship of trees to building and open space sun exposure. Large trees provided to support cooling. <i>Sheet L1.0</i>
<b>E.3.8.15</b>	Guideline	Regional native and drought resistant plant species are encouraged as planting material.	Complies: More than 75% of plant species are water-conserving California natives or Mediterranean species; refer to note on Conceptual Landscape Plan and Conceptual Plant List. No invasive species are used on project. <i>Sheets L1.0, L3.0, L3.1</i>
<b>E.3.8.16</b>	Guideline	Provision of efficient irrigation system is recommended, consistent with the City's Municipal Code Chapter 12.44 "Water-Efficient Landscaping".	Complies: Planting and irrigation design will comply with Menlo Park Municipal Code and California's 2010 Model Water Efficient Landscape Ordinance; refer to note on Conceptual Landscape Plan. <i>Sheet L1.0</i>
<b>Lighting Standards</b>			
<b>E.3.8.17</b>	Standard	Exterior lighting fixtures shall use fixtures with low cut-off angles, appropriately positioned, to minimize glare into dwelling units and light pollution into the night sky.	Complies: See E.3.3.19

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#### **Menlo Park El Camino Real/Downtown Specific Plan Standards and Guidelines: Project Compliance Worksheet**

<b><u>Section</u></b>	<b><u>Standard or Guideline</u></b>	<b><u>Requirement</u></b>	<b><u>Evaluation</u></b>
<b>E.3.8.18</b>	Standard	Lighting in parking garages shall be screened and controlled so as not to disturb surrounding properties, but shall ensure adequate public security.	Not Applicable: No parking garages are proposed.
<b>Lighting Guidelines</b>			
<b>E.3.8.19</b>	Guideline	Energy-efficient and color-balanced outdoor lighting, at the lowest lighting levels possible, are encouraged to provide for safe pedestrian and auto circulation.	Complies: Fixtures provided separately from plan set: Hinkley "Harbor" 2574Ar-GU24 fixture wall mounted and "Harbor" 2576AR-GU24 Pedestal mount fixture has option for full cut off.; see perspectives for visual of fixtures at walls and pedestals.
<b>E.3.8.20</b>	Guideline	Improvements should use ENERGY STAR-qualified fixtures to reduce a building's energy consumption.	Complies: Fixture selected has compact fluorescent or LED lamp option.
<b>E.3.8.21</b>	Guideline	Installation of high-efficiency lighting systems with advanced lighting control, including motion sensors tied to dimmable lighting controls or lighting controlled by timers set to turn off at the earliest practicable hour, are recommended.	To Be Determined: Advanced lighting control to be reviewed in building permit stage. Light fixtures selected have the ability to meet standards.
<b>Green Building Material Guidelines</b>			
<b>E.3.8.22</b>	Guideline	The reuse and recycle of construction and demolition materials is recommended. The use of demolition materials as a base course for a parking lot keeps materials out of landfills and reduces costs.	To Be Determined: Guideline is acknowledged by applicant.
<b>E.3.8.23</b>	Guideline	The use of products with identifiable recycled content, including post-industrial content with a preference for post-consumer content, are encouraged.	To Be Determined: Guideline is acknowledged by applicant.
<b>E.3.8.24</b>	Guideline	Building materials, components, and systems found locally or regionally should be used, thereby saving energy and resources in transportation.	To Be Determined: Guideline is acknowledged by applicant.
<b>E.3.8.25</b>	Guideline	A design with adequate space to facilitate recycling collection and to incorporate a solid waste management program, preventing waste generation, is recommended.	To Be Determined: Guideline is acknowledged by applicant.
<b>E.3.8.26</b>	Guideline	The use of material from renewable sources is encouraged.	To Be Determined: Guideline is acknowledged by applicant.

# ARBORIST REPORT

Submitted To:

**Hunter Properties, Inc.  
Attention: Mr. Sachneel Patel  
10121 Miller Avenue #200  
Cupertino, CA 95014**

Project Location:

**133 Encinal Avenue  
Menlo Park, CA**

Submitted By:

**McCLENAHAN CONSULTING, LLC  
John H. McClenahan  
ISA Board Certified Master Arborist, WE-1476B  
member, American Society of Consulting Arborists  
July 6, 2015  
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July 6, 2015

### Hunter Properties, Inc.

Attention: Mr. Sachneel Patel

10121 Miller Avenue #200

Cupertino, CA 95014

RE 133 Encinal Avenue  
Menlo Park, CA

### Assignment

As requested, I performed a visual inspection of 37 trees protected by city ordinance to determine species, size, condition, disposition and impacts from construction. In addition, *Tree Protection Zones* have been assigned to neighboring trees within 10-feet of property line. Please be advised this report has been updated from our previously submitted report of June 6, 2014 and April 3, 2015.

### Summary

Trees in this report correspond to the numbers shown on the topographic survey. Proposed site development will require removal of three small city street trees (12, 14 and 45) and five city protected trees (10, 15, 23, 25 and 46) on site. Further review of plans may be necessary to determine if additional small right of way trees will require removal. Current plans show the grove of redwoods at the left rear corner and cluster of live oaks at right rear corner as remaining. Tree protection fencing should surround each grouping of trees. This fencing will adequately protect the neighboring trees at the right rear corner. Fencing should also be installed to protect neighboring oaks, etc. at the 1600 El Camino fence line.

- Any grading or excavation within *Tree Protection Zones (TPZ's)* must be accomplished by hand digging.
- A qualified arborist must supervise any cutting of roots greater than one inch diameter.
- Mitigation is required for root cutting inside the *TPZ*.

### Methodology

No root crown exploration, climbing or plant tissue analysis was performed as part of this survey.

In determining Tree Condition several factors have been considered which include:

Rate of growth over several seasons;  
Structural decays or weaknesses;  
Presence of disease or insects; and  
Life expectancy.

**Tree Description/Observation**

**2 Japanese maple (*Acer palmatum 'dissectum'*)**

**Diameter:** 3.8"

**Height:** 5' **Spread:** 6'

**Condition:** Fair

**Location:** Street tree

**Observation:** Surface rooting observed. The *TPZ* is 6-feet. Proposed sidewalk should be at least 2-feet from the tree.

**7 Coast redwood (*Sequoia sempervirens*)**

**Diameter:** 15.8"

**Height:** 25' **Spread:** 12'

**Condition:** Fair to Good

**Location:** Front parking lot

**Observation:** Planter box and asphalt parking lot create a poor root environment. The *TPZ* is 8-feet.

**10 Incense cedar (*Calocedrus decurrens*)**

**Diameter:** 18.3"

**Height:** 34' **Spread:** 18'

**Condition:** Fair

**Location:** Front parking strip

**Observation:** Crown appears water stressed with a moderate accumulation of deadwood. Poor root environment. Proposed for removal.

**11 Incense cedar**

**Diameter:** 18.8"

**Height:** 40' **Spread:** 22'

**Condition:** Fair

**Location:** Front parking strip

**Observation:** Crown appears water stressed with a moderate accumulation of deadwood. Poor root environment. The *TPZ* is 10-feet. Although Building A will encroach within the *TPZ*, the existing asphalt is 4 feet to the northwest, 3-feet to the west and 1-foot to the northeast. The new design will remove the asphalt at least 6-feet to the northwest, at least 4-feet on the sides. The new area will allow for root management mitigation such as biostimulants, mycorrhizae and other microbes that improve root growth and function.

**12 Weeping crabapple (*Malus floribunda*)**

**Diameter:** 5.1"

**Height:** 7' **Spread:** 12'

**Condition:** Fair

**Location:** Street tree

**Observation:** Surface rooting observed. Proposed for removal.

**13 White birch (*Betula jaquemontii*)**

**Diameter:** 10.5" Low Branching

**Height:** 16' **Spread:** 12'

**Condition:** Poor to Fair

**Location:** Street tree

**Observation:** Lacks vigor, water stressed.

**14 New Zealand tea tree (*Leptospermum scoparium*)**

**Diameter:** 4.2"  
**Height:** 9' **Spread:** 10'  
**Condition:** Poor to Fair  
**Location:** Street tree  
**Observation:** Lacks vigor, water stressed. Proposed for removal.

**15 Crape myrtle (*Lagerstroemia indica*)**

**Diameter:** 8.8" at the base, Multi trunk  
**Height:** 12' **Spread:** 16'  
**Condition:** Good  
**Location:** Street tree  
**Observation:** Minor interior deadwood. The TPZ is 6-feet. Proposed sidewalk should be 5-feet from the trunk.

**23 Coast redwood**

**Diameter:** 37.0"  
**Height:** 85' **Spread:** 25'  
**Condition:** Fair  
**Location:** Adjacent to building  
**Observation:** Existing roof overhang is constructed around tree. Very poor root environment, concrete surrounds root flare. The TPZ is 19-feet. Construction activity within the TPZ must be monitored to assess actual impact to tree health.

**25 Japanese maple (*Acer palmatum*)**

**Diameter:** 20.8" Multi trunk  
**Height:** 15' **Spread:** 22'  
**Condition:** Poor to Fair  
**Location:** Front of carriage house  
**Observation:** Dieback of upper crown observed. Poor structure. Limited root environment. The TPZ is 11-feet. Proposed sidewalk should remain on the left side or entry road side of tree.

**32 Coast redwood**

**Diameter:** 39.5"  
**Height:** 90' **Spread:** 22'  
**Condition:** Fair  
**Location:** Grove left rear corner  
**Observation:** Crown is one sided from grove effect. Deadwood observed. The TPZ is 20-feet.

**33 Coast redwood**

**Diameter:** 34.1"  
**Height:** 70' **Spread:** 20'  
**Condition:** Poor to Fair  
**Location:** Grove left rear corner  
**Observation:** Dead top. Crown is one sided. The TPZ is 18-feet.

**34 Coast redwood**

**Diameter:** 17.6"  
**Height:** 75' **Spread:** 16'  
**Condition:** Fair  
**Location:** Grove left rear corner  
**Observation:** Crown is one sided from grove effect. Deadwood observed. Subdominant tree. The TPZ is 10-feet.

**35 Coast redwood**

**Diameter:** 34.3"  
**Height:** 95' **Spread:** 18'  
**Condition:** Fair to Good  
**Location:** Grove left rear corner  
**Observation:** Trumpet vine climbing crown. The *TPZ is 18-feet*.

**36 Coast redwood**

**Diameter:** 33.4"  
**Height:** 90' **Spread:** 22'  
**Condition:** Poor to Fair  
**Location:** Grove left rear corner  
**Observation:** Water stressed. Irregular curvature of stem. The *TPZ is 18-feet*.

**37 Coast redwood**

**Diameter:** 17.0"  
**Height:** 70' **Spread:** 14'  
**Condition:** Fair  
**Location:** Grove left rear corner  
**Observation:** Subdominant tree. The *TPZ is 10-feet*.

**38 Coast redwood**

**Diameter:** 19.5"  
**Height:** 85' **Spread:** 15'  
**Condition:** Poor to Fair  
**Location:** Grove left rear corner  
**Observation:** Abnormal cankers or old wounds observed at three heights from 10-35 feet on stem. The *TPZ is 10-feet*.

**39 Coast redwood**

**Diameter:** 18"  
**Height:** 75' **Spread:** 16'  
**Condition:** Poor to Fair  
**Location:** Grove left rear corner  
**Observation:** Subdominant tree. Low vigor. Neighbor's tree. The *TPZ is 10-feet*.

**40 Coast redwood**

**Diameter:** 21.7"  
**Height:** 80' **Spread:** 16'  
**Condition:** Poor to Fair  
**Location:** Grove left rear corner  
**Observation:** Subdominant tree. Low vigor and branch dieback observed. The *TPZ is 11-feet*.

**41 Coast redwood**

**Diameter:** 28.0"  
**Height:** 85' **Spread:** 26'  
**Condition:** Fair to Good  
**Location:** Grove left rear corner  
**Observation:** Lower crown is one sided. The *TPZ is 14-feet*.

**42 Coast redwood**

**Diameter:** 35.5" Low Branching

**Height:** 85' **Spread:** 30'

**Condition:** Fair

**Location:** Grove left rear corner

**Observation:** Crown is one sided from grove effect. Deadwood observed. Codominant leaders at 3-feet. Recommend cable support. The *TPZ is 18-feet*.

**43 Coast redwood**

**Diameter:** 39.3"

**Height:** 85' **Spread:** 34'

**Condition:** Fair to Good

**Location:** Grove left rear corner

**Observation:** Lower crown is one sided from grove effect. Deadwood observed. The *TPZ is 20-feet*.

**44 Coast redwood**

**Diameter:** 24.7"

**Height:** 75' **Spread:** 18'

**Condition:** Fair

**Location:** Grove left rear corner

**Observation:** Crown is one sided from grove effect. Deadwood observed. The *TPZ is 13-feet*.

**45 Japanese maple**

**Diameter:** 3.0"

**Height:** 12' **Spread:** 6'

**Condition:** Fair to Good

**Location:** Street tree

**Observation:** Young establishing tree. The *TPZ is 5-feet*.

**46 Coast redwood**

**Diameter:** 16.8"

**Height:** 35' **Spread:** 10'

**Condition:** Fair

**Location:** Asphalt area behind carriage house

**Observation:** Appears water stressed. Irregular curvature of stem. Proposed for removal.

**52 Coast live oak (*Quercus agrifolia*)**

**Diameter:** 50.5"

**Height:** 55' **Spread:** 50'

**Condition:** Fair

**Location:** Right side setback

**Observation:** Crown exhibits a moderate accumulation of deadwood. Large old pruning wounds exhibit decay. Grows to an exaggerated southwest lean. The *TPZ is 25-feet*. The building and driveway encroachment into the *TPZ* will potentially impact up to 35 percent of the root area. Most of the work will occur on the compression and side of the tree at a distance greater than 9-feet from the tree from the porch and 13-feet from the foundation of Building D. At this distance oblique roots and sinker roots should remain intact. Arborist monitoring during grading and excavation is recommended. Raising of the crown will be required for the construction of Building D.



**53 Coast live oak**

**Diameter:** 27.0"

**Height:** 35' **Spread:** 38'

**Condition:** Fair

**Location:** Right side fence

**Observation:** Crown exhibits a moderate accumulation of deadwood. Previous crown reduction pruning has occurred. Leans toward street. Fruiting body from *Ganoderma applanatum* observed on compression side of lean. The TPZ is 14-feet.

**54 Coast redwood**

**Diameter:** 40"

**Height:** 80' **Spread:** 22'

**Condition:** Fair

**Location:** Grove at left rear Neighbor tree

**Observation:** Crown is one sided. Irregular curvature of stem. The TPZ is 20-feet.

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**64 Coast redwood**

**Diameter:** Est 36"

**Height:** **Spread:**

**Location:** Neighbors tree right rear corner

**Observation:** The TPZ is 18-feet.

**65 Monterey pine (*Pinus radiata*)**

**Diameter:** Est 24"

**Location:** Neighbors tree right rear corner

**Observation:** The TPZ is 15-feet.

**66 Monterey pine**

**Diameter:** Est 24"

**Location:** Neighbors tree right rear corner

**Observation:** The TPZ is 15-feet. Significant crown dieback.

**58 Coast live oak**

**Diameter:** Est 15"

**Location:** Neighbor's at 1600 El Camino

**Observation:** The TPZ is 12-feet.

**59 Sycamore (*Platanus x acerifolia*)**

**Diameter:** Est <24"

**Location:** Neighbor's at 1600 El Camino

**Observation:** TPZ is 12-feet.

**60 & 61 Coast live oak**

**Diameter:** 32.0", multi trunk (previously described as 2 trees)

**Location:** Neighbor's at 1600 El Camino

**Observation:** TPZ is 12-feet.

**62 Coast live oak**

**Diameter:** Est <24", bifurcation at 4-1/2 feet

**Location:** Neighbor's at 1600 El Camino

**Observation:** *TPZ is 12-feet.*

**Hunter Properties, Inc.**

Attention: **Mr. Sachneel Patel**

Page 8

**63 Coast live oak**

**Diameter:** Est <24", leaning toward 1600 El Camino

**Location:** Neighbor's at 1600 El Camino

**Observation:** *TPZ is 12-feet.*

## **TREE PRESERVATION GUIDELINES**

### **Tree Preservation and Protection Plan**

In providing recommendations for tree preservation, we recognize that injury to trees as a result of construction include mechanical injuries to trunks, roots and branches, and injury as a result of changes that occur in the growing environment.

To minimize these injuries, we recommend grading operations encroach no closer than six times the trunk diameter, (i.e. 30" diameter tree x 6=180" distance). At this distance, buttress/anchoring roots would be preserved and minimal injury to the functional root area would be anticipated. Should encroachment within the area become necessary, hand digging is **mandatory**.

### **Barricades**

Prior to initiation of construction activity, temporary barricades should be installed around all trees in the construction area. Six-foot high, chain link fences are to be mounted on steel posts, driven 2 feet into the ground, at no more than 10-foot spacing. The fences shall enclose the entire area under the drip line of the trees or as close to the drip line area as practical. These barricades will be placed around individual trees and/or groups of trees as the existing environment dictates.

The temporary barricades will serve to protect trunks, roots and branches from mechanical injuries, will inhibit stockpiling of construction materials or debris within the sensitive 'drip line' areas and will prevent soil compaction from increased vehicular/pedestrian traffic. No storage of material, topsoil, vehicles or equipment shall be permitted within the tree enclosure area. The ground around the tree canopy shall not be altered. These barricades should remain in place until final inspection of the building permit, except for work specifically required in the approved plans to be done under the trees to be protected. Designated areas beyond the drip lines of any trees should be provided for construction materials and onsite parking.

### **Root Pruning (if necessary)**

During and upon completion of any trenching/grading operation within a tree's drip line, should any roots greater than one inch (1") in diameter be damaged, broken or severed, root pruning to include flush cutting and sealing of exposed roots should be accomplished under the supervision of a qualified Arborist to minimize root deterioration beyond the soil line **within twenty-four (24) hours**.

### **Pruning**

Pruning of the foliar canopies to include removal of deadwood is recommended and should be initiated prior to construction operations. Such pruning will provide any necessary construction clearance, will lessen the likelihood or potential for limb breakage, reduce 'windsail' effect and provide an environment suitable for healthy and vigorous growth.

### **Fertilization**

A program of fertilization by means of deep root soil injection is recommended with applications in spring and summer for those trees to be impacted by construction.

Such fertilization will serve to stimulate feeder root development, offset shock/stress as related to construction and/or environmental factors, encourage vigor, alleviate soil compaction and compensate for any encroachment of natural feeding root areas.

Inception of this fertilizing program is recommended prior to the initiation of construction activity.

### **Irrigation**

A supplemental irrigation program is recommended for the non-oak trees and should be accomplished at regular three to four week intervals during the period of May 1<sup>st</sup> through October 31<sup>st</sup>. Irrigation is to be applied at or about the 'drip line' in an amount sufficient to supply approximately fifteen (15) gallons of water for each inch in trunk diameter.

Irrigation can be provided by means of a soil needle, 'soaker' or permeable hose. When using 'soaker' or permeable hoses, water is to be run at low pressure, avoiding runoff/puddling, allowing the needed moisture to penetrate the soil to feeder root depths.

### **Mulch**

Mulching with wood chips (maximum depth 3") within tree environments (outer foliar perimeter) will lessen moisture evaporation from soil, protect and encourage adventitious roots and minimize possible soil compaction.

### **Inspection**

Periodic inspections by the **Site Arborist** are recommended during construction activities, particularly as trees are impacted by trenching/grading operations.

Inspections at approximate four (4) week intervals would be sufficient to assess and monitor the effectiveness of the Tree Preservation Plan and to provide recommendations for any additional care or treatment.

All written material appearing herein constitutes original and unpublished work of the Arborist and may not be duplicated, used or disclosed without written consent of the Arborist.

We thank you for this opportunity to be of assistance in your tree preservation concerns.

Should you have any questions, or if we may be of further assistance in these concerns, kindly contact our office at any time.

**McCLENAHAN CONSULTING, LLC**



By: **John H. McClenahan**  
ISA Board Certified Master Arborist, WE-1476B  
member, American Society of Consulting Arborists



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### ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.

Arborist:

John H. McClenahan

Date:

June 19, 2015





## ENVIRONMENTAL QUALITY COMMISSION FINAL MINUTES

Regular Meeting  
Wednesday, June 24, 2015 at 6:30 PM  
City Administration Building  
701 Laurel Street, Menlo Park, CA 94025

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### CALL TO ORDER

The meeting was called to order at 6:47 p.m.

**ROLL CALL** – Allan Bedwell (Chair), Kristin Kuntz-Duriseti, Deborah Martin, Christina Smolke

Absent: DeCardy, Scott, Barnes

### A. PUBLIC COMMENT (Limited to 30 minutes)

- Steve Van Pelt, resident of Menlo Park stated that he wants to learn more about the City's environmental efforts and asked if the General Plan Advisory Committee (GPAC) had any role in the sea level rise indicated on the GPAC maps.

### B. REGULAR BUSINESS

- B1.** Consider a Recommendation to the City Council on a Request to Remove Seven Heritage Trees on Property Located at 133 Encinal Avenue (Attachment) - 45 min

Jean Lin, Associate City Planner and Sachn  l Patel with Hunter Properties briefed the Commission on the project. The applicant also provided an update to the Commission that the project will be removing six heritage trees as they were able to redesign and save tree #11 (heritage incense cedar) that was originally proposed for removal.

**ACTION:** Motion and second (Kuntz-Duriseti/Smolke) to recommend the following:

1. That the applicant consider project modifications to retain tree #2 (non-heritage Japanese maple), tree #25 (heritage Japanese maple), tree #15 (heritage crape myrtle), and tree #23 (heritage coast redwood).
2. That Planning staff look into compliance mechanisms that can be applied to prohibit title transfer if the Heritage Tree Ordinance is violated during construction.

The motion passes (4-0-3), (Absent: DeCardy, Marshall, Barnes).

- B2.** Discuss and Potentially Make Recommendations to the General Plan Advisory Committee (GPAC) to Incorporate Sustainability Goals into the General Plan - 30 mins



Commissioner Kuntz-Duriseti and Heather Abrams, Environmental Programs Manager provided an update to the Commission.

**Public Comment:**

- Jan Butts, resident of Menlo Park expressed the importance of stormwater management to retain and use rainwater versus wasting runoff.
- Steve Van Pelt, resident of Menlo Park stated that he uses tools such as Google Maps to find out about traffic throughout the area.
- Mitch Slomiak, resident of Menlo Park and former EQC member stated that he would like to see a requirement for data collection and display of green building actual performance.

**ACTION:** No formal vote was taken on this item; Commissioner Kuntz-Duriseti was authorized to draft a letter of recommendation to provide to the GPAC.

**B3.** Make an Appointment to the CAP Subcommittee - 5 mins

**ACTION:** Motion and second (Bedwell/Smolke) to appoint Deb Martin to CAP subcommittee, passes (4-0-3), (Absent: DeCardy, Scott, Barnes).

**B4.** Receive Update from CAP Subcommittee on California Clean Power and Potentially Make a Recommendation to City Council - 30 mins

Commission Kuntz-Duriseti provided an update to the Commission.

**Public Comment:**

- Jim Eggemeyer, Director of the Office of Sustainability for San Mateo County stated that his office is leading the CCE effort and has contracted Pacific Energy Advisors to conduct a feasibility study that will be complete in late summer 2015.
- Jan Butts, resident of Menlo Park commented that she would like the EQC to conduct extensive research on CCA options before making a recommendation to City Council. There may be other approaches to achieving one hundred percent renewable energy for the city versus going with a private company. The County JPA model will include more public disclosure.
- Mitch Slomiak, resident of Menlo Park and Vice Chair of Menlo Spark stated that the goal is to get Menlo Park climate neutral within ten years. Suggested that the City adopt a framework around one hundred percent renewable power or as close as we can get to maximize participation.
- Sue Chow, resident of Redwood City and speaking on behalf of the Sierra Club reaffirmed that the Sierra Club supports the public JPA model.

- Mike Ferrera, resident of Moss Beach and speaking on behalf of Sierra Club, stated that the Sierra Club supports the public JPA model since there are a lot of sub-goals that they want to achieve. A public JPA is something that we can work with. A private company only presents a product.
- Diane Bailey, Executive Director of Menlo Spark expressed that Menlo Spark is a strong supporter of the County CCE effort and that she recommends that the EQC focus on how we can maximize renewable power quickly. She also clarified that for the County JPA arrangement there is also a private company providing the energy.

**ACTION:** Motion and Second (Kuntz-Duriseti/Martin) for (1) the Climate Action Plan subcommittee to meet to discuss a set of criteria/comments to provide to CCE/CCP to address and be considered by the EQC, and (2) draft a letter of support to City Council requesting that funds be prioritized for hiring a consultant to conduct an analysis on the different CCE options, passes (4-0-3), (Absent: DeCardy, Marshall, Barnes).

**B5.** Receive Update on the City's New Water Restrictions and State Water Regulations (Attachment) – 15 mins

**ACTION:** No formal action was taken on this item. Heather Abrams, Environmental Programs Manager, provides an update to the Commission. Chair Bedwell requests that the City make the information available on the City website.

**B6.** Approve April 22, 2015 Minutes (Attachment) – 2 mins

**ACTION:** Motion and Second (Smolke/Martin) to approve the April 22, 2015 minutes, passes (4-0-3), (Absent: DeCardy, Marshall, Barnes).

**B7.** Approve May 27, 2015 Minutes (Attachment) – 2 mins

**ACTION:** Motion and Second (Bedwell/Martin) to make a correction to the May 27, 2015 minutes to state that Commissioner Kuntz-Duriseti left the meeting at 8:35 p.m., not 7:35 p.m., passes (4-0-3), (Absent: DeCardy, Marshall, Barnes)

**B8.** Select the EQC Vice Chair – 5 mins

**ACTION:** Motion and second (Bedwell/Kuntz-Duriseti) to appoint Commissioner Martin as EQC Vice Chair passes (4-0-3), (Absent: DeCardy, Marshall, Barnes).

### **C. REPORTS AND ANNOUNCEMENTS**

**C1.** Staff Update on Environmental Policies to be considered by City Council – 5 mins

**C2.** Commission Subcommittee Reports and Announcements – 2 mins

**C3.** Discuss Future Agenda Items – 5 mins

**D. ADJOURNMENT**

The meeting was adjourned at 9:42 p.m.

Meeting minutes taken by Environmental Quality Commissioner Christina Smolke

Meeting minutes prepared by Vanessa Marcadejas, Environmental Programs Specialist

Minutes accepted at the meeting of August 26, 2015





## REGULAR MEETING MINUTES

**Date:** 5/6/2015  
**Time:** 5:30 p.m.  
**Administration Building**  
**701 Laurel St., Menlo Park, CA 94025**

Chair Clarke called the meeting to order at 5:33 p.m.

### Roll Call

Present: Clarke (Chair), Cadigan, Calder, Dodick (arrived at 5:44 p.m.), Tate  
Absent: None  
Staff: Curtin, Lin, Perata

### A. Public Comment - None

### B. Regular Business

- B1. Recommendation of a Below Market Rate Housing In-Lieu Term Sheet with Tarlton Properties, Inc. for Commercial Linkage Fees for 1315 O'Brien Dr.

Associate Planner Kyle Perata provided the staff presentation.

**ACTION:** Motion by Clarke, Second by Cadigan to approve the Below Market Rate Housing In-Lieu Term Sheet with the recommendation to seek a development partner for affordable units with a potential proportional reduction in fees timed on the development cycle. Motion passes 5-0.

- B2. Recommendation of a Below Market Rate Housing In-Lieu Term Sheet with Hunter Properties for 133 Encinal Ave.

Associate Planner Jean Lin provided the staff presentation.

**ACTION:** Motion by Clarke, Second by Calder to approve the Below Market Rate Housing In-Lieu Term Sheet including options of 1) accepting the applicant's initial proposal to provide three moderate-income level BMR units on site and paying the in lieu fee for the remaining 0.6 fraction of a unit or 2) the applicant's proposal to provide two moderate-income level BMR units and 1 low-income level BMR unit on site. Motion passes 5-0.

### C. Reports and Announcements

- C1. Commissioner Reports.

Commissioner Cadigan announced the Housing Resource Fair taking place May 9, 2015, and mentioned the current status of the Buena Vista mobile home park in Palo Alto.



**C2. Reports from Staff**

Assistant to the City Manager Curtin announced that the City Council had recently reappointed Commissioner Dodick to a new term on the Housing Commission. He also noted some upcoming meeting dates:

- Commissioner Training and Appreciation Event – Tuesday, May 12, 2015, at the City Council Chambers
- Housing Commission Special Meeting regarding housing issues related to the General Plan Update – Thursday, May 28, 2015, at the Senior Center.

**D. Informational Items – None**

**E. Adjournment**

Chair Clarke adjourned the meeting at 6:35 p.m.

Minutes approved at the August 5, 2015, Housing Commission Regular Meeting.



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CITY OF MENLO PARK )  
701 Laurel Street )  
Menlo Park, CA 94025-3483 )  
Attention: Community Development Director )  
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**BELOW MARKET RATE FOR-SALE AGREEMENT**  
**133 ENCINAL AVENUE**

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## BELOW MARKET RATE FOR-SALE AGREEMENT

This Below Market Rate For-Sale Agreement ("Agreement") is made as of this \_\_\_\_\_ day of \_\_\_\_\_ 2015 by and between THE CITY OF MENLO PARK, a California municipality ("City") and SPF LAS POSITAS, LLC, a California corporation ("Owner"), with respect to the following:

### RECITALS

A. Owner is the owner of certain real property located in the City of Menlo Park, County of San Mateo, State of California ("Property"), more particularly described in Exhibit A attached hereto. The Property is commonly known as 133 Encinal Avenue and consists of Assessor's Parcel Number 060-344-270.

B. Pursuant to City Municipal Code Chapter 16.96, the City's BMR Housing Ordinance ("BMR Ordinance"), and the City's Below Market Rate Housing Program Guidelines ("Guidelines") attached hereto as Exhibit B, Owner is required to enter into this Agreement for the benefit of the City to insure compliance with the City's BMR Ordinance and the Guidelines, which is a prerequisite to obtaining final development approvals and "Final Inspection" of the units from the Building Division.

C. Owner plans to redevelop the Property by constructing a total of twenty-four (24) new attached for-sale single-family residential units of which three (3) shall be below market rate units ("BMR Units"), as required by, and in full compliance with the City's BMR Ordinance and the Guidelines.

D. The BMR Units shall be sold to third parties who meet the eligibility requirements set forth in the BMR Ordinance and the Guidelines, and with prices determined in accordance with this Agreement.

E. This Agreement is for the benefit of Owner and the City. The deeds to the BMR Units shall contain restrictions that limit the sales price of the BMR Units in accordance with the BMR Ordinance and the Guidelines. These deed restrictions relating to the three (3) BMR Units shall be binding on the future owners of those units.

NOW, THEREFORE, the parties agree as follows:

1. The three (3) BMR Units are to be completed and sold in accordance with the BMR Ordinance and the Guidelines with the appropriate deed restrictions. For purposes of Section 8 of the Guidelines, a BMR Unit shall be deemed "available for purchase" when the City has issued a letter that states that the BMR Unit meets the requirements of the Guidelines and satisfies the provisions of this Agreement. The letter will be issued when the BMR Unit is substantially ready for occupancy, as reasonably determined by the City's Community Development Director, and when the BMR Unit has passed Final Inspection by the Building Division.

2. Section 5.1 of the Guidelines requires the BMR Units to generally be of the same size as the market rate units and be distributed throughout the development. The locations of the three (3) BMR Units are shown as BMR Units A, B, and C on Exhibit C attached hereto. The floor plans showing the size and layout of the BMR Units are shown on Exhibit D attached hereto.

3. The streetscape elevations of the BMR Units will be as approved by the City Council.

4. The exterior materials used in the construction of the BMR Units will be similar and indistinguishable from those used on the market rate units. The interior finishes of the BMR Units shall be similar to those of the market rate units, except for upgrades purchased by individual buyers.

5. Each BMR Unit shall be affordable to households which are U.S. Department of Housing and Urban Development ("HUD") low or moderate income eligible as defined in Section 50079.5 of the California Health and Safety Code, as described in the Guidelines, and are of the smallest household size eligible for the BMR Unit on the BMR waiting list maintained by the City on the date that the Sales Price is set, as more particularly described below. The BMR Sales Price shall be calculated according to the following formula by reference to the definitions and standards set forth in Sections 6.1 and 6.2, below. Of the three BMR Units, one unit shall be affordable to low-income households, and two units shall be affordable to moderate-income households.

6.1 The **"Sales Price"** shall be calculated by adding the cash down payment, defined in 6.2.10., below, to the Maximum Mortgage Amount, defined in Section 6.1.6, below, less lender and escrow fees and costs incurred by the buyer. The Sales Price shall be set before the commencement of the sale process for the BMR Units.

6.1.1 Calculate the **"Smallest Household Size"**: The household with the smallest number of persons eligible for the BMR Unit, as shown in Section 14, Table C (Occupancy Standards) of the Guidelines.

6.1.2. The current **"Maximum Eligible Income"** shall be the most current State Income Limit for San Mateo County, Lower and Moderate Income categories, as published by the State of California Department of Housing and Community Development, for the Smallest Household Size.

6.1.3. Calculate the **"Maximum Allowable Monthly Housing Expenses"**: Multiply the Maximum Eligible Income by thirty three percent (33%) and divide by twelve (12).

6.1.4. Calculate the **"Actual Monthly Housing Expenses"**: Add the following costs associated with a particular BMR Unit, as more particularly described in Paragraph 6.2 below, and divide by twelve (12): (a) any loan fees, escrow fees and other closing costs (amortized over 360 months) and/or private mortgage insurance associated therewith; (b) property taxes and assessments; (c) fire, casualty insurance and flood insurance, if required; (d) property maintenance and repairs, deemed to be One Hundred

Dollars (\$100) per month; (e) a reasonable allowance for utilities as set forth in the Guidelines, not including telephones, and (f) homeowners association fees, if applicable, but less the amount of such homeowners association fees allocated for any costs attributable to (c), (d) or (e) above.

6.1.5. Calculate the **"Maximum Monthly Mortgage Payment Amount"**: Subtract the Actual Monthly Housing Expenses from the Maximum Allowable Monthly Housing Expenses.

6.1.6. Determine the **"Maximum Mortgage Amount"**: Determine the amount of mortgage that a lender would loan, based upon the Maximum Monthly Mortgage Payment Amount and based upon the down payment found to be the lowest that lenders are willing to accept in a survey of lenders as described below. Survey and take the average of at least three local lenders who regularly make home loans at a typical housing expense ratio to first-time buyers in the price range of the BMR home on the day that the price is set. The mortgage amount shall be for a 30-year fixed rate mortgage with standard fees, closing costs and no points, and shall be less than or equal to the Maximum Monthly Mortgage Amount.

6.2. The calculation of the Sales Price shall be based upon the factors defined below. These definitions conform to the eligibility and underwriting standards established by the major secondary mortgage market investors, such as the Federal National Mortgage Association ("Fannie Mae") and the Federal Home Loan Mortgage Corporation ("Freddie Mac").

6.2.1. Mortgage Interest Rate. The mean average of contract interest rates on the date that the Sales Price is set, for fixed rate, 30-year "Conforming" mortgages (presently \$417,000 or less, as such amount may be adjusted from time to time as the maximum amount of FHA Conforming mortgages), or for jumbo mortgages if applicable, as quoted by three local retail lenders. The three local retail lenders shall be selected at random by the City from the list of lenders certified by San Mateo County to make first mortgage loans with Mortgage Credit Certificates.

6.2.2. Points. The mean average of points quoted by three local lenders that make mortgage loans to first time home buyers in the City of Menlo Park on the date that the Sales Price is set for fixed rate, 30 year mortgages of \$417,000 or less, or for jumbo mortgages if applicable, which lenders are selected on a random basis by the City. Points are a one-time fee paid to a lender for making a loan. One point is equal to one percent of the loan amount.

6.2.3. Lender/Escrow Fees. The mean average of fees charged by three local lenders that make mortgage loans to homebuyers, which lenders are selected on a random basis by the City, plus escrow company fees, for such items as title insurance, appraisal, escrow fees, document preparation and recording fees.

6.2.4. Loan to Value Ratio. The maximum ratio of the dollar amount of a

Conforming mortgage to the sales price of a home which a lender is willing to approve at a given point in time. For purposes of this Agreement, the Loan to Value Ratio shall be calculated as the mean average of the maximum Loan to Value Ratios as quoted by three local lenders selected on a random basis by the City from a list of lenders who actively make loans to homebuyers and who participate in the Mortgage Credit Certificate program.

6.2.5. Housing Expense Ratio. The mean average of the housing expense ratio as reported on the date that the sales price is set, for fixed rate, 30-year mortgages of \$417,000 or less, or for jumbo mortgages if applicable, by three local lenders that make mortgage loans to homebuyers in the City of Menlo Park, which lenders are selected on a random basis by the City. Housing expense is defined as the sum of the annual mortgage payment (including principal and interest), and annual payments for taxes, homeowners association dues, insurance, property maintenance and repairs, a reasonable allowance for utilities according to the San Mateo County Housing Authority Utility Financial Allowance Chart which is periodically updated and amended, and any secondary financing (but excluding any portion of the aforementioned expenses covered by homeowners association dues). To determine the ratio, this sum is divided by gross annual income.

6.2.6. Homeowners Insurance. Calculated as the mean average of the annual cost of insurance quoted by two or three local brokers, based on their experience, for a housing unit of the price, room configuration, location, construction material and structure type of the subject BMR Unit. Flood insurance costs, if required, shall be calculated by this same method.

6.2.7. Private Mortgage Insurance. The mean average of the annual cost of private mortgage insurance quoted by two or three local lenders, based on their experience, for a housing unit of the price, location, and structure type of the subject BMR Unit.

6.2.8. Taxes. The tax rate as reported by the San Mateo County Assessor's Office.

6.2.9. Homeowners' Dues. Reported by the developer and as set forth in the Public Report issued by the California Department of Real Estate for the project.

6.2.10. Down Payment. Cash portion paid by a buyer from his own funds, as opposed to that portion of the purchase price which is financed. For the purpose of calculating the BMR Sales Price, the down payment will be defined as the mean average of the smallest down payment required by the two or three local lenders surveyed.

6.3. The Sales Price shall be agreed upon in writing by Owner and the City's Community Development Director no later than the date of the Final Inspection, or at an earlier date agreed to by the City's Community Development Director, and before the process begins to find a buyer.



7. As a condition precedent to a Final Inspection of any market rate unit at least one (1) BMR Unit shall have passed Final Inspection, and no more than nine (9) market rate units shall have passed Final Inspection until a second BMR Unit passes Final Inspection. In any event, the last BMR Unit must pass Final Inspection before the last market rate unit passes Final Inspection.

8. If there is a standard pre-sale requirement by the BMR applicant's lender for a certain percentage of units in the project to be sold before the BMR applicant's lender will close escrow on the loan, then the time for the City's purchase or the buyer's purchase will be extended until that requisite number of units has closed.

9. This Agreement shall be binding on and inure to the benefit of the parties hereto and any respective assigns and or owners of the property. Either party may freely assign this Agreement without the consent of the other. However, to be valid, an assignment of this Agreement must be in writing.

10. This Agreement is a covenant running with the land for the benefit of the City and all lands owned by the City within the limits of the City.

11. If any legal action is commenced to interpret or enforce this Agreement or to collect damages as a result of any breach of this Agreement, the party prevailing shall be entitled to recover all reasonable attorney's fees and costs incurred in such action from the other party.

12. Owner shall record this Agreement in the Office of the County Recorder of San Mateo prior to the recording of a final subdivision map for any portion of the Property and shall provide a copy of such recorded agreement to the City.

13. This Agreement shall be governed by and construed in accordance with the laws of the State of California.

14. The terms of this Agreement may not be modified or amended except by an instrument in writing executed by each of the parties hereto.

15. The exhibits attached hereto are hereby incorporated herein by this reference for all purposes.

16. This Agreement supersedes any prior agreements, negotiations and communications, oral or written, and contains the entire agreement between the parties as to the subject matter hereof.

17. If any portion of this Agreement as applied to either party or to any circumstances shall be adjudged by a court to be void or unenforceable, such portion shall be deemed severed from this Agreement and shall in no way effect the validity or enforceability of the remaining portions of this Agreement.

18. Any and all obligations or responsibilities of Owner under this Agreement shall terminate upon the recording of the grant deeds conveying the BMR Units to qualified third party purchasers in accordance with the terms and provisions of this Agreement, the recording of the deed restrictions against such BMR Units, and/or the payment of the in lieu fees, if applicable, to be paid through escrow, as set forth in Section 4.3 of the Guidelines.

19. The execution and delivery of this Agreement shall not be deemed to be for the benefit of the third party purchasers of the BMR Units or any other third party and any and all obligations and responsibilities of Owner under this Agreement are to the City for whose benefit this Agreement has been entered into. No third party purchaser of a BMR or market rate unit, homeowners' association or any other third party shall obtain any rights or standing to complain that the BMR Units were not constructed, designed, sold or conveyed in accordance with this Agreement, or the BMR Ordinance and the Guidelines as a result of this Agreement. Furthermore, the acceptance of this Agreement by the City, the acceptance of the interior specifications for the BMR Units and the conveyance of the BMR Units to qualified third parties shall conclusively indicate that Owner has complied with this Agreement and the BMR Ordinance and the Guidelines.

20. To the extent of any conflict between the terms and provisions of the Guidelines attached hereto as Exhibit B and the terms and provisions of the Agreement, the terms and provisions of this Agreement shall prevail.

*\*\*Signatures on next page\*\**

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City of Menlo Park

SPF Las Positas, LLC  
a California corporation

By: \_\_\_\_\_

Name: Alex D. McIntyre

Its: City Manager

By: \_\_\_\_\_

Name: Derek K. Hunter, Jr.

Its: President

## List of Exhibits

## Exhibit B: BMR Guidelines

Exhibit D: BMR Floor Plans

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## EXHIBIT A

### LEGAL DESCRIPTION

Real property in the City of Menlo Park, County of San Mateo, State of California, described as follows:

PARCEL 2, AS DELINEATED UPON THAT CERTAIN MAP ENTITLED "PARCEL MAP, BEING THAT PARCEL OF LAND DESIGNATED AS LAND OF WM. BARBER OF 'MAP OF VILLA LOTS AT FAIR OAKS' RECORDED IN BOOK C OF MAPS AT PAGE 31, AND COPIED INTO BOOK 1 OF MAPS AT PAGE 87, SAN MATEO COUNTY RECORDS", FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA, ON JANUARY 28TH, 1982 IN BOOK 52 OF MAPS, AT PAGES 36 AND 37.

APN: 060-344-270

JPN: 060-034-344-23.01A



## **EXHIBIT B**

### **GUIDELINES**

[The City's Below Market Rate Housing Program Guidelines as modified or amended as of May 6, 2014 are incorporated herein by this reference]





# **BELOW MARKET RATE HOUSING PROGRAM GUIDELINES**

The rental BMR provisions contained in this document are not currently enforceable due to the Palmer court decision. The severability clause (13.6) allows the remainder of the guidelines to remain in effect. If changes are made to state law that allow the resumption of rental BMR programs, these provisions will be reinstated or changed as needed to comply with state law.

May 4, 2011

## **Income Limits/Section 14, Tables A and B Updated for 2015**

Originally Adopted by City Council on January 12, 1988

Revised by City Council on the following dates:

- December 17, 2002 (No Resolution)
- March 25, 2003 (Resolution No. 5433)
- January 13, 2004 (No Resolution)
- March 22, 2005 (Resolution No. 5586)
- March 2, 2010 (Resolution No. 5915)
- May 10, 2011 (No Resolution)
- May 6, 2014 (Resolution No. 6196)

# BELOW MARKET RATE HOUSING PROGRAM GUIDELINES

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## 1. OVERVIEW

The high cost and scarcity of housing in Menlo Park have been caused in large part because the number of jobs in Menlo Park has grown, but the supply of housing has not increased significantly. A majority of new employees earn low- and moderate-incomes and are most severely impacted by the lack of affordable housing in Menlo Park. Because of the high cost of housing, families who seek to live in Menlo Park cannot afford to purchase homes here and are forced to rent. Many renters pay a disproportionately high amount of their incomes in rent.

**1.1 Purpose.** The City of Menlo Park's Below Market Rate (BMR) Housing Program is intended to increase the housing supply for households that have very low, low- and moderate-incomes compared to the median income for San Mateo County. The primary objective is to obtain actual housing units, either "rental" or "for sale," rather than equivalent cash. Occupancy of BMR units is determined according to these City Council established guidelines from those on a numbered waiting list maintained by the City or its designee.

**1.2 Enabling Legislation.** The Below Market Rate Housing Program is governed by Chapter 16.96 of the Municipal Code. The BMR Program is administered under these Below Market Rate Housing Program Guidelines ("Guidelines").

## 2. BMR HOUSING AGREEMENT AND REVIEW PROCESS

**2.1 BMR Housing Agreement.** Before acceptance of plans for review by the City of Menlo Park staff, a developer should provide a proposal for meeting the requirements of the Below Market Rate Housing Program. The proposal should include one or a combination of the following alternatives: a) Provision of BMR units on site; and/or b) Provision of BMR units off site; and/or c) Payment of an in lieu fee. These alternatives are listed in order of preference.

**2.2 Review Steps.** The following review steps apply to most development projects:

- City Staff will review a BMR For-Sale Agreement or the Affordability Restriction Agreement (collectively, "BMR Housing Agreement"), that has been prepared by the developer's attorney on a form substantially similar to that provided by the City and shall make a recommendation with respect to it to the Planning Commission and, if applicable, the City Council.
- The Planning Commission will review the application for development with the BMR Housing Agreement. The City Attorney must approve the BMR Housing Agreement prior to its review by the Planning Commission. If the City Council has final approval authority for the project, the Planning Commission will recommend the BMR Housing Agreement for

City Council approval. Otherwise the Planning Commission will approve the BMR Housing Agreement.

- The City Council grants approval of the BMR Housing Agreement for projects which it reviews. The BMR Housing Agreement must be immediately signed and recorded after City Council approval.

### 3. REQUIREMENTS FOR DEVELOPMENTS BY TYPE

**3.1 Commercial Developments.** The Below Market Rate Housing Program requires commercial developments which bring employees to Menlo Park to provide BMR units or to contribute to the BMR Housing Fund that is set up to increase the stock of housing for very low-, low- and moderate-income households, with preference for workers whose employment is located in the City of Menlo Park, and for City residents.

**3.1.1 Commercial Development Requirements.** Commercial buildings of ten thousand (10,000) square feet or more gross floor area are required to mitigate the demand for affordable housing created by the commercial development project. In order to do so, it is preferred that a commercial development project provide below market rate housing on-site (if allowed by zoning), or off-site, if on-site BMR units are infeasible. A density bonus of up to fifteen percent (15%) above the density otherwise allowed by zoning may be permitted when below market rate housing is provided on-site. The BMR Housing Agreement will detail the BMR Housing Program participation of a particular development.

Although the provision of actual BMR units is strongly preferred, it is not always possible to provide BMR housing units. In such cases, the developer shall pay a commercial in-lieu fee rather than provide actual BMR housing units. Commercial in lieu fees must be paid prior to the issuance of a building permit.

Commercial in lieu fees are charged at different rates to two groups based on the employee housing demand the uses produce. Group A uses are office and research and development (R & D). Group B uses are all other uses not in Group A.

Commercial in lieu fee rates are adjusted annually on July 1st. The amount of the adjustment is based on a five-year moving average of the percentage increase in the Consumer Price Index (Shelter Only) for All Urban Consumers in the San Francisco-Oakland-San Jose area.

(Refer to Section 14, Table D, for the current year's Commercial In lieu Fee Rates.)

**3.1.2 Applicability.** The BMR Housing Program applies to conditional use permits, conditional development permits, planned development permits, subdivision approvals, architectural control approvals, variance approvals and building permits for any commercial development. The BMR Housing Program also applies to the construction of any new square footage or any square footage that is converted

from an exempt use to a non-exempt use. Finally, the BMR Housing Program applies to the conversion of floor area from a less intensive use (Commercial/Industrial uses) to a more intensive use (Office/R&D).

**3.1.3 Exemptions.** The following are exempted from the BMR Housing Program:

- (a) Private schools and churches;
- (b) Public facilities;
- (c) Commercial development projects of less than ten thousand (10,000) square feet; and
- (d) Projects that generate few or no employees.

**3.2 Residential Developments.** The Below Market Rate Housing Program requires residential developments which use scarce residentially zoned land in Menlo Park to provide BMR units or to contribute to the BMR Housing Fund. The BMR Fund is set up to increase the stock of housing for very low-, low- and moderate-income families, with preference for workers whose employment is located in the City of Menlo Park, and for City residents.

**3.2.1 Residential Development Requirements.** Residential developments of five (5) or more units are subject to the requirements of the Below Market Rate Housing Program. These requirements also apply to condominium conversions of five (5) units or more. As part of the application for a residential development of five (5) or more units, the developer must submit a Below Market Rate Housing Agreement, in a form substantially similar to that provided by the City, which details the developer's plan for participation in the BMR Program. No building permit or other land use authorization may be issued or approved by the City unless the requirements of the BMR Program have been satisfied.

**3.2.2 Condominium Conversions.** If an apartment complex already participating in the BMR program elects to convert the complex to condominiums, then the existing BMR rental apartments shall be converted to BMR condominium units under the BMR Housing Program.

When market rate rental units are removed from the rental housing stock for conversion to condominiums, and they are not already participating in the BMR Program, then the project shall meet the same requirements as new developments to provide BMR units in effect at the time of conversion. When the property owner notifies the City of the intent to sell, the property owner shall notify any BMR tenants of such units of the pending sale and non-renewal of lease. Such tenant(s) shall be given the right of first refusal to purchase the unit. If the tenant seeks to purchase the unit, at the close of escrow the unit shall exist as a For-Sale BMR unit. If the tenant does not seek to purchase, the tenant shall vacate the unit at the expiration of the current lease term



and the unit will be sold to an eligible third party according to the BMR Guidelines and held as a for-sale BMR unit. The tenant who vacates will have priority to move to other vacant BMR rental units in the City for two (2) years from the date the lease expired, regardless of the place of residence of the displaced BMR tenant.

**3.3 Mixed Use Developments.** Mixed use developments must comply with the requirements for commercial developments in the commercial portion of the development and must comply with the requirements for residential developments for the residential portion of the development.

**3.4 Required Contribution for Residential Development Projects.** All residential developments of five (5) units or more are required to participate in the BMR Program. The preferred BMR Program contribution for all residential developments is on-site BMR units. If that is not feasible, developers are required to pay an in lieu fee as described in Section 4.3. The requirements for participation increase by development size as shown below:

**One (1) to Four (4) Units.** Developers are exempt from the requirements of the BMR Housing Program.

**Five (5) to Nine (9) Units.** It is preferred that the developer provide one (1) unit at below market rate to a very low-, low-, or moderate-income household.

**Ten (10) to Nineteen (19) Units.** The developer shall provide not less than ten percent (10%) of the units at below market rates to very low-, low- and moderate-income households.

**Twenty (20) or More Units.** The developer shall provide not less than fifteen percent (15%) of the units at below market rates to very low-, low- and moderate-income households. On a case-by-case basis, the City will consider creative proposals for providing lower cost units available to lower income households such as smaller unit size, duet-style, and/or attached units that are visually and architecturally consistent with the market-rate units on the exterior, and that meet the City's requirements for design, materials, and interior features of BMR units.

**3.4.1 Fraction of a BMR Housing Unit.** If the number of BMR units required for a residential development project includes a fraction of a unit, the developer shall provide either a whole unit, the preferred form of participation, or make a pro rata residential in lieu payment on account of such fraction per Section 4.3.

*Example: A residential project is developed with 25 condominium units. The preferred BMR Program participation is 4 BMR units. In this case the developer would pay no in lieu fee. If the developer is able to demonstrate that producing four BMR units is not feasible, the developer would provide three BMR units, which is the required amount for a 20 unit project. The developer would be eligible for three bonus units for the three BMR units, and would pay in lieu fees for the remaining two market rate units in the development.*

#### **4. BMR PROGRAM REQUIREMENTS FOR ON-SITE BMR UNITS, OFF-SITE BMR UNITS AND IN LIEU FEES**

##### **4.1 On-Site BMR Units.**

**4.1.1 Initial Price for For-Sale Unit.** The initial selling price of BMR For-Sale units is based on what is affordable to households with incomes at One Hundred Ten Percent (110%) of the median income related to household size, as established from time to time by the State of California Housing and Community Development Department (HCD) for San Mateo County. See Section 14, Table A.

**4.1.2 Initial Price for Rental Unit.** The initial monthly rental amounts for BMR rental units will be equal to or less than thirty percent (30%) of sixty percent (60%) of median- income limits for City subsidized projects and thirty percent (30%) of Low-Income limits for non-subsidized private projects, minus eligible housing costs. In no case shall the monthly rental amounts for BMR units (subsidized or unsubsidized) exceed 75% of comparable market rate rents. The maximum rent for specific BMR units will be based on Section 14, Table B of the BMR Guidelines. See also Sections 11.1.1 and 11.1.2.

The purchase or rental price for BMR units shall be established and agreed upon in writing by the City Manager, or his or her designee, prior to final building inspection for such BMR units.

**4.1.3 Bonus Unit.** For each BMR unit provided, a developer shall be permitted to build one additional market rate (bonus) unit. However, in no event shall the total number of units in a development be more than fifteen percent (15%) over the number otherwise allowed by zoning.

**4.2 Off-Site BMR Units.** If authorized by the City as described in Section 2.2, developers may propose to provide BMR units at a site other than the proposed development. These off-site BMR units must be provided on or before completion of the proposed development and must provide the same number of units at below market rates to very low-, low- and moderate-income households as required for on-site developments. Such units may be new or existing. Provision by the developer and acceptance by the City of off-site units shall be described in the BMR Housing Agreement. Size, location, amenities and condition of the BMR units shall be among the factors considered by the City in evaluating the acceptability of the off-site BMR units. For existing units the developer shall be responsible for correcting, at his expense, all deficiencies revealed by detailed inspection of the premises by qualified inspectors, including a certified pest inspector.

The initial price or rent for the BMR units shall be established as stated in Sections 4.1.1 and 4.1.2 and in accordance with the BMR Income Guidelines in Section 14 in effect at the time the BMR unit is ready for sale or rent. Fractions of required BMR units shall be handled by provision of an in lieu fee for the market rate units for which no BMR unit is provided.

#### **4.3 Residential In Lieu Payments Based on Sales Price.**

**4.3.1 Developments of Ten (10) or More Units.** In developments of ten (10) or more units, the City will consider an in lieu payment alternative to required BMR units only if the developer substantiates to the City's satisfaction that the BMR units cannot be provided on or off site. In developments of ten (10) or more units which provide BMR units, upon the close of escrow on the sale of each unit in the subdivision for which a BMR unit has not been provided, the developer shall pay to the City an in lieu payment calculated at three percent (3%) of the actual sales price of each unit sold. In lieu payments for fractions of BMR units shall be determined by disregarding any bonus units and as three percent (3%) of selling price of each market rate unit sold if the developer substantiates to the City's satisfaction that the BMR units cannot be provided on or off-site.

If a portion of a BMR requirement is met by a provision of BMR units, and the developer substantiates to the City's satisfaction that a sufficient number of BMR units cannot be provided on or off site, then BMR in lieu payments will be required from the sales of the number of market rate units (excluding bonus units) that is in proportion to the BMR requirement that is not met.

#### **4.3.2 Developments of Five (5) to Nine (9) Units.**

**Residential In Lieu Payments Based on Sales Price.** In developments of five (5) to nine (9) units, the City will consider an in lieu payment alternative to required BMR units only if the developer cannot provide an additional BMR unit. If providing an additional BMR unit is not feasible, developers are required to pay a residential in lieu fee as described below.

<u>Unit No.</u>	<u>In lieu fee for each unit</u>
1, 2 and 3	1% of the sales price
4, 5 and 6	2% of the sales price
7, 8 and 9	3% of the sales price

*Example: In a development of 7 units, the BMR contribution would be, in order of preference: a) One BMR unit out of the seven units, with the possibility of a density bonus of one unit, or, if that is not feasible, b) Three units designated to pay an in lieu fee of 1% of the sales price, three units to pay in lieu fees of 2% of their sales prices and one unit to pay 3% of its sales price.*

Units paying in lieu fees are designated so that they are distributed by unit size and location throughout the project.

In developments of 10 or more units which provide BMR units, upon the close of escrow on the sale of each unit in the subdivision for which a BMR unit has not been

provided, the developer shall pay to the City an in lieu payment calculated at 3% of the actual sales price of each unit sold.

*Example: Two possible plans to meet the BMR requirement for a project of 15 housing units are, in order of preference: a) Two BMR units are provided, and no in lieu fees are paid, or b) One BMR unit is provided out of the first ten units, one bonus unit is granted for the provision of the BMR unit, and four units pay in lieu fees.*

**Units held as rental, in lieu fee.** If the developer retains any completed unit as a rental, either for its own account or through subsidiary or affiliated organizations, the BMR contribution including BMR housing unit or in lieu payment for such unit shall be negotiated between the developer and the City. If an in lieu fee is paid, the market value shall be based on an appropriate appraisal by an appraiser agreed upon by the City and the developer and paid for by the developer. The basis for such appraisal shall be as a condominium rather than as a rental.

## **5. CHARACTERISTICS OF BMR UNITS**

**5.1. Size and Location of BMR Units.** BMR housing units shall generally be of the same size (number of bedrooms and square footage) as the market-rate units. The BMR units should be distributed throughout the development and should be indistinguishable from the exterior. BMR units shall contain standard appliances common to new units, but need not have luxury accessories, such as Jacuzzi tubs. The Planning Commission and/or City Council shall have the authority to waive these size, location and appearance requirements of BMR units in order to carry out the purposes of the BMR Housing Program and the Housing Element.

**5.2 Design and Materials in BMR Units.** The design and materials used in construction of BMR units shall be of a quality comparable to other new units constructed in the development, but need not be of luxury quality.

**5.3 The BMR Price Must Be Set Before Final Building Inspection.** There shall be no final inspection of BMR housing units until their purchase or rental prices have been agreed upon in writing by the developer and the City Manager, or his or her designee. Also, the sale or rental process will not begin until the sales price is set.

### **5.3.1 Final Inspection Schedule for Smaller and Larger Developments.**

**Less Than Ten (10) Units.** In developments of less than ten (10) units with one (1) or more BMR units, all BMR units must pass final inspection before the last market rate unit passes final inspection.

**Ten (10) to Nineteen (19) Units.** In developments of ten (10) or more units, including developments that are constructed in phases, for the first ten (10) housing units, a BMR unit must pass final inspection before nine (9) market rate units may pass final inspection. For each additional group of ten (10) housing units, one (1)

additional BMR unit must pass final inspection before nine (9) additional market rate units may pass final inspection.

**Twenty (20) or More Units.** In developments of twenty (20) or more units, including developments that are constructed in phases, for the first ten (10) housing units, a BMR unit must pass final inspection before nine (9) market rate units may pass final inspection. In addition, two (2) additional BMR units must pass final inspection before eight (8) additional market rate units may pass final inspection. For each additional group of Twenty (20) housing units, three (3) additional BMR units must pass final inspection before seventeen (17) additional market rate units may pass final inspection. No project or phase may pass final inspection unless all the BMR units, which equal fifteen percent (15%) or more of the housing units in that phase or project, have passed final inspection for that phase or project.

**Last Unit.** In no case may the last market rate unit pass final inspection before the last BMR unit has passed final inspection.

**5.4 Sales Price Determination for BMR For-Sale Units.** The maximum sales price for BMR units shall be calculated as affordable to households on the BMR waiting list, which are eligible by income at the time that the maximum prices are set and which are of the smallest size eligible for the BMR units (excluding two-bedroom units, which shall be based on incomes for two person households even when units are made available to one person households). See Section 14, Table A, for income eligibility limits for the current year. The affordability of maximum prices will take into consideration mortgage interest rates, minimum down payments, mortgage debt-to-income ratios and other qualifying criteria used by lenders at the time the sales prices are set, as well as cost of insurance, taxes, homeowners' dues and any other necessary costs of homeownership.

**5.4.1 Price Determination for Projects with Condominium Maps That Will Rent for an Indefinite Period of Time.** Projects with condominium subdivision maps that will rent BMR units for an indefinite period shall have basic sales prices established at the outset for such BMR units in accordance with the Guidelines. Such initial sales prices shall be adjusted for the period between the month of completion of the BMR units and the month of notification of intent to sell the units, with further adjustments for improvements and deterioration per the Guidelines. The adjustments shall be based on one-third of the increase in the Consumer Price Index, All Urban Consumers, San Francisco-Oakland-San Jose, published by the U.S. Department of Labor, Bureau of Labor Statistics, plus certain other equitable adjustments.

**5.5 Legal Characteristics of BMR Units: Right of First Refusal and Deed Restrictions.** All BMR units shall be subject to deed restrictions and conditions which include a right of first refusal in favor of the City for a period of fifty-five (55) years under which the City or its designee will be entitled to purchase the property at the lower of (1) market value, or (2) the purchase price paid by seller, plus one-third of the increase (during the period of seller's ownership) in the Consumer Price Index (CPI), All Urban Consumers, San Francisco-Oakland-San Jose, published by the U.S.

Department of Labor, Bureau of Labor Statistics, plus certain other equitable adjustments. The deed restrictions will also prohibit sales or transfers of the property except with the written consent of the City and at a price computed as above. Exceptions from all prohibitions against sale or transfer will include:

- (1) Demonstrated unlikelihood of obtaining a qualified buyer within a reasonable period;
- (2) Transfer by termination of joint tenancy or by gift or inheritance to parents, spouse, children, grandchildren or their issue.

The prohibition against sales or transfers will not terminate at the end of fifty-five (55) years in the event of an exempt transfer by termination of joint tenancy or by gift or inheritance to family members. The prohibition against sales or transfers will terminate in the event of an exempt sale or transfer when there is a demonstrated unlikelihood of obtaining a qualified buyer within a reasonable period of time.

In the event of an exempt sale when there is a demonstrated unlikelihood of obtaining a qualified buyer within a reasonable period of time, the seller will be entitled to receive the lesser of (A) market value or (B) the purchase price paid by the seller plus one-third of the increase (during the seller's ownership) in the CPI, plus certain other equitable adjustments, as specified in the deed restrictions. The balance of the proceeds shall be paid to the City of Menlo Park to be deposited in the BMR Housing Fund. Any transferee pursuant to an exempt transfer by termination of joint tenancy or by gift or inheritance to family members must reside in the BMR unit and must qualify under the income criteria of the BMR Program at the time of the transfer of the BMR unit.

## **6. ELIGIBILITY REQUIREMENTS FOR HOUSEHOLDS APPLYING TO PURCHASE BMR UNITS**

**Note:** Eligibility requirements for households that wish to be placed on the BMR waiting list are identified in Section 7. The requirements identified below apply at the actual time of application to purchase a BMR unit. In order for a household to be eligible at the time of application to purchase, ALL of the following requirements must be met:

**6.1 BMR Waiting List.** Applicants are eligible to have their names placed on the BMR waiting list if they meet the following three requirements at the time they submit an application for the waiting list: (1) currently live or work within incorporated Menlo Park; (2) meet the current income limit requirements (per household size) for purchase of a BMR unit; and (3) all applicants currently live together as a household.

**6.1.1 Definition of Household.** For the purposes of this program, household is defined as a single person, or two or more persons sharing residency whose income resources are available to meet the household's needs. To be considered a household, all applicants/household members must live together in a



home that is their primary residence. To be considered part of the household and included in household size, children under the age of 18 (including foster children) must reside in the home at least part-time or parents must have at least partial (50%) custody of the child/children.

**6.2 Live and/or Work Eligibility.** Households that live and/or work within incorporated Menlo Park shall be eligible for the Below Market Rate Housing Program in accordance with the following provisions:

**6.2.1 Eligibility by Living in Menlo Park.** To qualify as living in Menlo Park, the applicant household must meet the following two requirements at the time of application: (1) currently live in Menlo Park as the household's primary residence and (2) must have continuously lived in Menlo Park for a minimum of one (1) year prior to the date of actual application to purchase.

**6.2.2 Eligibility by Working in Menlo Park.** To qualify as a household that works in Menlo Park, a member of the applicant's household must meet the following two requirements at the time of application: (1) currently work in Menlo Park at least twenty (20) hours per week, or (if currently less than 20 hours per week) hours worked over the course of the one year prior to application averages a minimum of twenty (20) hours per week and (2) must have continuously worked in Menlo Park for a minimum of one (1) year prior to the date of actual application to purchase.

**6.2.2.1 Types of Work.** Work is defined as (1) owning and operating a business at a Menlo Park location; (2) employment for wages or salary by an employer located at a Menlo Park location; (3) contract employment where the actual work is conducted at a Menlo Park location for one (1) year; or (4) commission work, up to and including a one hundred percent (100%) commission arrangement, conducted in Menlo Park.

**6.2.2.2 Employer-Based Work.** If employed for wages or salary by an employer, working in Menlo Park is defined as the employer is located in Menlo Park AND the employment/actual work is performed within incorporated Menlo Park.

**6.2.2.3 Owning and Operating a Business at a Menlo Park Location.** This does NOT include owning (either wholly or in part) a residential or commercial property for investment purposes only.

**6.2.2.4 Work does NOT include volunteer or unpaid work.**

**6.3 Household Requirement.** To constitute a household, all members of the applicant household must currently live together (in a location that is their primary residence) at the time of application. Also at the time of application and regardless of where they currently live, all members who make up the applicant household must have continuously lived together for a minimum of one (1) year prior to the date of application.

**Exceptions.** Exceptions to this minimum one (1) year joint-residency requirement include:

- Children under the age of 18 who have recently joined the household in conjunction with marriage, separation, or divorce, or similar family re-organization, and for whom there is evidence of a custody agreement or arrangement. This also applies to foster children.
- Children born into a household.
- Households newly formed as a result of marriage.

**6.4 First Time Homebuyer.** All members of the applicant household must be first time homebuyers, defined as not having owned a home as your primary residence within the last three (3) years prior to the date of application. First time homebuyers DO include owners of mobile homes, as well as applicants whose names are on title for properties they have not lived in as their primary residences for the last three years (for instance rental properties, which must be considered as part of the applicant's eligibility per assets).

**Exceptions.** Exceptions to this requirement are:

- Applicants who are current BMR homeowners and are otherwise eligible for the BMR Program, are eligible to place their names on the BMR waiting list and to purchase a smaller or larger home needed due to changes in household size or family needs, such as for handicap accessibility (per Section 7.2.6, below).
- Applicants whose names were placed on the BMR waiting list prior to March 2, 2010.
- Applicant households that currently and/or within the last three (3) years prior to the date of application own homes as their primary residences more than fifty (50) miles outside Menlo Park city limits, that are otherwise eligible for the BMR Program.

**6.5 Complete One-Time Pre-Purchase Homebuyer Education.** After an applicant's name is placed on the BMR waiting list and before receiving an offer to purchase a BMR property, all adult applicants/household members must complete a one-time homebuyer education workshop, class, or counseling session. When applicants' names are placed on the waiting list to purchase BMR units, program staff provides them with a list of approved local organizations that provide pre-purchase homebuyer education. Applicants choose an education provider or program from the approved list and may choose to attend in either a group or individualized setting. It is the applicants' responsibility to provide the City or the City's BMR program provider with evidence that a pre-purchase homebuyer education workshop or session was completed. In most cases, the education providers will provide applicants with certificates of completion, which applicants can submit to the City's BMR program

provider as proof that the pre-purchase education requirement was completed. Households on the waiting list that have not completed the homebuyer education requirement will retain their rank on the list but will NOT be invited to apply to purchase BMR units. Only households on the waiting list that have completed the education requirement will be invited to apply when units become available. Elderly parents of applicants living in the household need not complete the education requirement.

**6.5.1 Prior Completion of Pre-Purchase Homebuyer Education.** At the time of application to the BMR waiting list, applicants who provide written evidence of having completed an approved homebuyer education workshop, class, or counseling session within the previous twelve months prior to the date of application to the waiting list are not required to complete an additional workshop, class, or counseling session.

**6.5.2 Homebuyer Education Provider.** At the City's discretion, the City may elect to work exclusively with one or more homebuyer education providers/organizations. The City may also choose to contract with a particular person or organization to provide this educational component.

**6.5.3 Long-Term Education or Counseling Required for Certain Applicants.** Applicants who are invited to apply to purchase BMR units and are twice denied (on separate occasions) due to long-term or significant credit problems, will be required to meet individually with a credit counseling professional in order to remain on the waiting list. The applicant must provide evidence of completion of credit counseling within six (6) months to the City's BMR provider or the applicant will be removed from the BMR waiting list. This does not exclude the applicant from applying to the waiting list again, to be placed at the bottom of the list.

**6.6 Ownership Interest.** A minimum of fifty percent (50%) of the ownership interest in the property must be vested in the qualifying applicant(s), regardless of income.

**6.7 Income and Asset Limits for Purchasers of BMR Units.** Income eligibility limits are established by the State of California Housing and Community Development Department (HCD). Income limits are updated by State HCD on an annual basis. BMR units shall only be sold to very low-, low-, and moderate-income households. Only households having gross incomes at or below one hundred ten percent (110%) of the Area Median Income (AMI) for San Mateo County, adjusted for household size, are eligible to purchase and occupy BMR for-sale units, either upon initial sale or upon any subsequent resale, as specified in the deed restrictions.

(Refer to Section 14, Table A, for the current year's income eligibility limits.)

An asset is a cash or non-cash item that can be converted into cash. Only households having non-retirement assets that do not exceed the purchase price of the BMR units are considered eligible.

- Assets Include: cash held in checking accounts, savings accounts, and safe deposit boxes; equity in real property; cash value of stocks (including options), bonds, Treasury bills, certificates of deposit, money market accounts, and revocable trusts; personal property held as an investment such as gems, jewelry, coin and art collections, antiques, and vintage and/or luxury cars; lump sum or one-time receipts such as inheritances, capital gains, lottery winnings, victim's restitution, and insurance settlements; payment of funds from mortgages or deeds of trust held by the applicant(s); boats and planes; and motor homes intended for primary residential use.
- Assets DO NOT Include: cars and furniture (except cars and furniture held as investments such as vintage and/or luxury cars, and antiques); company pension and retirement plans; Keogh accounts; dedicated education funds/savings accounts; and funds dedicated to federally recognized retirement programs such as 401K's and IRA's.

Note that equity in real property or capital investments is defined as follows: the estimated current market value of the asset less the unpaid balance on all loans secured by the asset and all reasonable costs (e.g. broker/realtor fees) that would be incurred in selling the asset.

**6.7.1 Senior or Disabled Households That Use Assets for Living Expenses.** An exception to the income and asset limit requirement is a household whose head is over sixty-two (62) years of age, or permanently disabled and unable to work, with assets valued up to two (2) times the price of the BMR unit. The applicant must be able to demonstrate that the sole use of his/her assets has been for household support for at least the three (3) previous years, and that the total annual household income meets the Guidelines.

## **7. BMR WAITING LIST FOR RENTAL AND FOR-PURCHASE UNITS**

**7.1 Waiting List Eligibility Requirements.** A numbered waiting list of households eligible for rental and/or for-purchase BMR units is maintained by the City or the City's designee. Households are eligible to be placed on the BMR waiting list if they meet the following four (4) requirements at the time they submit applications for the waiting list:

- The household currently resides within incorporated Menlo Park as its primary residence OR a member of the household currently works at least 20 hours per week within incorporated Menlo Park.
- The household meets the current income limit requirements (per household size) for rent and/or purchase of a BMR unit. See Section 14, Table A, for income eligibility limits for the current year.

- All persons included as members of the household currently live together in a residence that is their primary home. Applicant households may submit applications and, if eligible, will be placed on the numbered BMR waiting list in the order in which their applications were received.
- In accordance with Section 6.4, all members of the household must be first time homebuyers.

**7.2 Waiting List Management.** BMR units available for rent or purchase are offered to households on the BMR waiting list in the order in which the waiting list applications were received.

**7.2.1 Annual affirmation of continued interest in remaining on the BMR waiting list.** On an annual basis, all households on the BMR waiting list will be required to confirm their continued interest in remaining on the list. At or around the same time each year, the City's BMR program provider will mail and/or email annual update forms/applications to all current households on the waiting list. Households on the waiting list that wish to remain on the list are asked to complete the form and return it to the City's BMR program provider within a specified period of time (usually about one month) with a \$10 annual fee for processing. Households who do not respond by completing and returning the forms and the fee by the specified deadline, or whose mail is returned undeliverable to the City's BMR program provider or who otherwise cannot be reached, shall be removed from the BMR waiting list. This does not exclude households removed from the waiting list from re-applying to the list, to be added to the bottom of the list in accordance with normal procedures.

**7.2.2 Complete One-Time Pre-Purchase Homebuyer Education for Households That Would Like to Purchase a BMR Unit.** For households that indicate they would like to purchase BMR units, after households are placed on the BMR waiting list and before receiving offers to purchase BMR properties, all adult applicants/household members must complete a one-time homebuyer education workshop, class, or counseling session, per Section 6.5.

**7.2.3** When a BMR unit is offered for purchase or rent, applicants must enter into a purchase agreement or lease within a defined, reasonable period of time. If an applicant fails to do so, the BMR unit will be offered to the next eligible applicant on the waiting list. The City of Menlo Park reserves the right to establish other criteria to give preference to certain categories of eligible participants on the waiting list.

**7.2.4** A tenant of a BMR rental unit who is required to vacate the BMR rental unit due to its conversion to a BMR for sale unit, shall have first priority for vacant BMR rental units for which the tenant is eligible and qualifies for two (2) years from the expiration of the lease, regardless of the place of residence of the displaced tenant.

**7.2.5 Preference for Handicap Accessible Units for Bona Fide Wheelchair Users.** If the BMR unit is wheelchair accessible, then bona fide wheelchair users on the BMR waiting list who are otherwise eligible for the BMR unit, including by household size and income, will receive preference over other applicants, and the BMR unit will be offered to the bona fide wheelchair users in the order that their applications were received.

**7.2.6** Households who are current BMR homeowners are eligible to place their name on the BMR waiting list and to purchase a smaller or larger home needed due to changes in their household size or family needs, such as for a handicapped accessible unit.

## **8. THE BMR UNIT PURCHASE PROCESS: BUYER SELECTION AND SALE PROCEDURES**

### **8.1 New Units and Condominium Conversions.**

**8.1.1** The participating developer informs the City or its designee in writing that the BMR unit has received its final building inspection and that the BMR unit is ready for sale and occupancy. "The City" shall mean the City Manager, or his or her designee.

**8.1.2** City of Menlo Park staff or the City's BMR program provider inspects the BMR unit. After approval of the unit, the City or the City's BMR program provider writes a certifying letter that states the BMR unit meets the BMR Program's requirements and satisfies the BMR Agreement's provisions. The certifying letter will also state the price for the BMR unit. The price for the BMR unit will be determined based on the information described in the next three sections.

**8.1.3** The City or its designee obtains necessary information for determining the price of the BMR unit. These include, but may not be limited to, the estimated tax figures from the developer and the County Assessor, as well as Homeowner's Association dues, Covenants, Conditions and Restrictions, and insurance figures from the developer. Also included will be all associated Homeowner Association documentation.

**8.1.4** Household size and income qualifications are established. In households in which an adult holds fifty percent (50%) or more custody of a minor child or children through a legally binding joint custody settlement, each such child shall count as a person in determining the household size.

**8.1.5** The City or its designee determines the maximum price of the BMR unit based on an income up to one hundred ten percent (110%) of the San Mateo County median income for the smallest household size eligible for the BMR unit (excluding two-bedroom units, which are based on income for a two person household), monthly housing costs including current mortgage rates, insurance costs, homeowners' dues, taxes, closing costs and any other consideration of costs of



qualifying for a first mortgage and purchase of the BMR unit. See Section 14, Table A, for income eligibility limits for the current year. When these documents and the information described in this and preceding sections have been received, the City will provide the developer with a certifying letter in which the City states the price for the BMR unit, accepts the BMR unit as available for purchase and the purchase period will commence.

**8.1.6** If there is a standard pre-sale requirement by the BMR applicant's lender for a certain percentage of units in the project to be sold before the BMR applicant's lender will close, then the time for the City's purchase or the buyer's purchase will be extended until that requisite number of units has closed.

**8.1.7** The City may retain a realtor to facilitate the sale of the property.

**8.1.8** Contact is established between the City or its designee and the developer's representative to work out a schedule and convenient strategy for advertisements, if needed, when the units will be open for viewing, and for when the interested applicants may obtain detailed information about the units.

**8.1.9** All marketing and sales procedures for BMR units must be approved by the City and will be subject to review on a periodic basis for compliance.

**8.1.10** An information packet and application forms are designed and duplicated by the City or its designee. The developer provides information about the unit, including a floor plan of the unit and of the building showing the location of the unit, dimensions, appliances, amenities, and finishes.

**8.1.11** The City or the City's BMR program provider holds an application orientation meeting(s). Households on the waiting list with the lowest numbers are contacted and invited to attend the orientation meeting(s). Only households that are eligible by household size and have completed the one-time pre-purchase education requirement are contacted and invited to attend the orientation. Applications to purchase BMR units can only be obtained by attending an application orientation meeting. At the meeting, potential applicants are provided with the following information:

- A detailed description of the BMR program, including the rights, restrictions, and responsibilities of owning a BMR home.
- A complete description of the property or properties being offered for sale including buyer eligibility requirements, the purchase price, home owner association costs (if any), estimated property taxes, and home features.
- An overview of the home loan application process and description of necessary costs including down payment (if required), closing costs, real estate taxes, and mortgage insurance.

- A description of the BMR and home loan approval process. Potential applicants are informed they must work with one of the program's approved mortgage providers. Per the City's discretion the potential applicants are also informed of the kinds of acceptable mortgage financing, and also of mortgage financing not allowed at that time (for instance negative amortizing loans).
- Based on the purchase price, estimates are provided on the minimum annual income required to purchase, as well as possible monthly housing costs including principal and interest, property taxes, and insurance payments.
- A step-by-step explanation of the BMR purchase application. If there are several sizes of units for which applicants may be eligible, applicants are instructed where to indicate their unit size preferences.

Potential applicants are invited to ask questions. Meeting attendees are invited to sign up to tour the property or properties for sale. Attendees are given applications and a reasonable deadline to submit their completed applications.

**8.1.12** Completed applications are submitted to the City or its designee along with income and asset verifications.

**8.1.13** When the application period closes, the City or its designee reviews the completed applications. The complete, eligible, qualifying applications are ranked in order by BMR waiting list numbers and/or other criteria established by the City. The complete applications with the lowest numbers, and meeting other qualifying criteria for each unit, if any, are selected, and the households that submitted them are notified of the opportunity to purchase the BMR unit, in the order of their numbers on the BMR waiting list. They are invited to an orientation meeting.

**8.1.14** If the leading applicant for a unit fails to contact the developer, provide a deposit, or obtain appropriate financing within the period of time specified in the notification letter, the City or its designee will contact the next household on the list.

**8.1.15** The City of Menlo Park or its designee submits to the title insurance company the Grant Deed, BMR Agreement and Deed Restrictions, and Request for Notice to be recorded with the deed to the property.

**8.1.16** The developer shall be free to sell a BMR unit without restriction as to price or qualification of buyer if all of the following criteria are met, unless the BMR applicant's lender has a loan condition that a specific number of units in the development must be sold before the loan can be approved: (1) the City and the developer are unable to obtain a qualified buyer within six (6) months after the City has provided written notice both certifying that the unit is available for purchase and setting the price for the BMR unit, (2) the City or its designee does not offer to purchase the BMR unit within said six (6) months period, and complete said purchase within not

more than sixty (60) days following the end of the six (6) month period, (3) the developer has exercised reasonable good faith efforts to obtain a qualified buyer. A qualified buyer is a buyer who meets the eligibility requirements of the BMR Program and who demonstrates the ability to complete the purchase of the BMR unit. Written notice of availability shall be delivered to the City Manager, City of Menlo Park, 701 Laurel Street, Menlo Park, CA 94025. Separate written notice of availability shall also be delivered to the City Manager, City of Menlo Park, 701 Laurel Street, Menlo Park, CA 94025.

## **9. OCCUPANCY REQUIREMENTS FOR OWNER-OCCUPIED BMR UNITS**

**9.1 Primary Residence.** The owners listed on title to the BMR property must occupy it as their primary residence and remain in residence for the duration of the Deed Restrictions (fifty-five years). Occupancy is defined as a minimum stay of ten months in every twelve month period. BMR owners may not terminate occupancy of the BMR property and allow the property to be occupied by a relative, friend, or tenant. Failure of the purchaser to maintain a homeowner's property tax exemption shall be construed as evidence that the BMR property is not the primary place of residence of the purchaser. As necessary, the City may request that BMR owners provide evidence that their units are currently occupied by them as their primary residences. Examples of such evidence may include current copies of any of the following: homeowner's insurance, car/vehicle registration, and utility bills.

**9.2 Refinancing and BMR Valuations.** BMR owners may refinance the debt on their property at any time following purchase, however, they must contact the City's designated BMR program provider first, prior to a refinance or equity line. The City's BMR contractor will provide the owner with clear instructions to ensure program compliance. At that time and at any other time the owner requests it, the BMR contractor will provide the owner and/or the lender with the current BMR value of the home, in accordance with the formula specified in the BMR Deed Restrictions. Only the City's BMR contractor can determine the appraised value of a BMR property and it is the owner's responsibility to inform their lender that the property is a BMR property. BMR owners are not allowed to take out loans against their property that exceed the BMR value of the home. There is a fee for refinancing a BMR home that is set by the City's BMR Housing contractor.

**9.3 Transfers of Title.** Prior to adding an additional person to title or transferring title to the BMR property, BMR owners must contact the City for clear instructions to ensure program compliance.

The following transfers of title are exempt from the City's right of first refusal and do NOT re-start the fifty-five (55) year deed restriction clock:

- Transfer by devise or inheritance to the owner's spouse.

- Transfer of title by an owner's death to a surviving joint tenant, tenant in common, or a surviving spouse of community property (that is, another owner already on title).
- Transfer of title to a spouse as part of divorce or dissolution proceedings.
- Transfer of title or an interest in the property to the spouse in conjunction with marriage.

Transfers by devise or inheritance (such as to a child or other family member), are permitted under certain terms and conditions identified in the BMR Deed Restrictions. These kinds of transfers must first be reviewed and approved by the City or the BMR program contractor. If the person inheriting the property meets the following terms and conditions, then that person may take title, assume full ownership, and reside in the BMR unit. This would then restart the fifty-five (55) year deed restriction clock. If the person inheriting the property does NOT meet the following terms and conditions they may still inherit the property but are not allowed to live there. In such case, the inheriting party must sell the property and shall be entitled to receive any proceeds from the sale after payment of sales expenses and all liens against the property. The property would then be sold by the City through the BMR Program to an eligible, qualified household on the BMR waiting list.

For transfers of title by devise or inheritance, the inheriting party (Transferee) must meet the following terms and conditions in order to live in the BMR unit:

- Transferee shall occupy, establish and maintain the property as the Transferee's primary residence.
- The Transferee must meet all current eligibility requirements for the BMR Program, as identified at the time of transfer in the BMR Guidelines.
- The Transferee must sign a new BMR Deed Restrictions Agreement for the property. This restarts the fifty-five (55) year clock.

## **10. PROCESS FOR RESALE OF BMR UNITS**

**10.1** The seller notifies the City by certified mail that he/she wishes to sell the unit. The City notifies its designee, if applicable. The unit must be provided in good repair and salable condition, or the cost of rehabilitating the unit will be reimbursed to the City out of the proceeds of the sale. The definition of "salable condition" for any given unit shall be provided on a case-by-case basis following the City's inspection of the unit, and shall be at the discretion of the City Manager or his/her designee. "Salable condition" shall refer to the general appearance, condition, and functionality of all: flooring; painted surfaces; plumbing, heating, and electrical systems; fixtures; appliances; doors; windows; walkways; patios; roofing; grading; and landscaping. In addition for each unit, the City reserves the right to withhold the cost of having it professionally cleaned from the seller's proceeds. Once cleaning is complete, the

seller will be refunded any difference between the amount withheld and the actual cost to clean the unit.

**10.2** When the seller notifies the City or the City's BMR contractor, and it has been determined that the unit is in good repair and salable condition, and the City has set the price for the BMR unit, then the City or the City's BMR contractor will state in writing that the one-hundred and eighty day (180) period for completing the sale of the BMR unit shall commence. The price will be set using information in Sections 10.3 through 10.6 below.

**10.3** The City or its designee obtains an appraisal made to ascertain the market value of the unit, giving consideration to substantial improvements made by the seller, if needed.

**10.4** The City or its designee obtains figures for homeowners' dues, insurance, and taxes from the seller.

**10.5** The City or its designee checks major lending institutions active in this market to ascertain current mortgage information (prevailing interest rates, length of loans available, points, and minimum down payments). Monthly housing costs are estimated.

**10.6** The City or its designee establishes a sales price, based on the original selling price of the unit, depreciated value of substantial improvements made by the seller, and 1/3 of the increase in the cost of living index for the Bay Area. The selling price is established for the unit at the appraised market value or the computed price whichever is the lower.

**10.7** The City retains a realtor to facilitate the sale of the property.

**10.8** Agreement is reached between seller and the City or its designee for a schedule of open houses for the unit, at the seller's convenience.

**10.9** The procedure continues the same as in Sections 8.1.7 – 8.1.16 above, with the seller substituted for the developer.

**10.10** The City or its designee submits to the title insurance company the Grant Deed, BMR Agreement and Deed Restrictions, and Request for Notice and the seller's release from the old deed restrictions, to be recorded with the new deed to the property.

## **11. REQUIREMENTS FOR BMR RENTAL DEVELOPMENTS**

### **11.1 Income and Rent Standards.**

**11.1.1 Income Limits upon Occupancy of BMR Rental Units.** Only households having gross incomes at or below the Low Income for San Mateo County,

adjusted for household size, are eligible to occupy BMR rental units, either when initially rented or upon filling any subsequent vacancy. See Section 14, Table A (Below Market Rate Household Income Limits).

**11.1.2 BMR Rent.** BMR units may be rented for monthly amounts not exceeding thirty percent (30%) of sixty (60%) of median household income limits for City subsidized projects and thirty percent (30%) of Low Income limits for non-subsidized private projects, minus eligible housing costs. In no case shall the monthly rental amounts for BMR units (subsidized or unsubsidized) exceed 75% of comparable market rate rents. The maximum rental amounts are listed in Section 14, Table B, (Maximum Monthly Housing Cost Limits for BMR Rental Units.) BMR rents may be adjusted from time to time to reflect any changes to the then current Income limits.

**11.1.3 Tenant Selection and Certification Procedures.** Priority for occupancy of all BMR rental units shall be given to those eligible households who either live or work in the City of Menlo Park. During the fifteen (15) day period following the date the City and its designee receive notification from the owner (or owner's agent) of an impending availability or vacancy in a BMR rental unit, priority for occupancy of that unit, when available, shall be given to eligible households on the Waiting List, on a first-come, first-served basis. The selected household shall be allowed up to thirty (30) days to move into the unit after it is ready for occupancy.

If no qualified household living or working in Menlo Park is available to occupy the vacated unit as aforesaid, the owner shall be free to rent the BMR unit to any other eligible BMR tenant.

**11.1.4 BMR Waiting List.** The qualifications of BMR rental tenants will be independently verified by the City or its designee. The City of Menlo Park or the City's designee shall maintain the waiting list for BMR rental units.

**11.1.5 One-Year Lease Offer.** Each BMR tenant shall be offered the opportunity to enter into a lease, which has a minimum term of one (1) year. Such offer must be made in writing. If the tenant rejects the offer, such rejection must also be in writing. A lease may be renewed upon the mutual agreement of both parties.

**11.1.6 Vacation of Units and Re-Renting.** When a BMR tenant vacates, the owner must provide notice to the City, and re-rent the unit to a qualified BMR tenant in accordance with these Guidelines and the Affordability Restriction Agreement for the unit.

**11.1.7 Annual Recertification of BMR Units.** The City of Menlo Park or the City's BMR contractor will recertify annually, by procedures to be established in the Affordability Restriction Agreement, the provision of BMR rental units as agreed at the time of application for the permit. If, at the time of recertification, for two consecutive years, a Tenant's household income exceeds the eligibility requirements set forth in the Guidelines ("Ineligible Tenant"), the Ineligible Tenant shall no longer be qualified to rent the BMR unit and the Lease shall provide that the Lease term shall expire and the



Tenant shall vacate the BMR unit on or prior to sixty (60) days after delivery of a notice of ineligibility by the property manager or City or City's designee to the Tenant. Upon expiration of the Lease term pursuant to the foregoing, if the Tenant has not vacated the BMR unit as required, the property manager shall promptly take steps to evict the Ineligible Tenant and replace the BMR unit with an Eligible Tenant as soon as reasonably possible.

**11.1.8 Annual Report.** On an annual basis on or before July 1 of each year, the Developer or subsequent owner shall submit a report (the "Annual Report") to the City which contains, with respect to each BMR unit, the name of the Eligible Tenant, the rental rate and the income and household size of the occupants. The Annual Report shall be based on information supplied by the Tenant or occupant of each BMR unit in a certified statement executed yearly by the Tenant on a form provided or previously approved by the City or designee. Execution and delivery thereof by the Tenant may be required by the terms of the Lease as a condition to continued occupancy at the BMR rate. In order to verify the information provided, City shall have the right to inspect the books and records of Developer and its rental agent or bookkeeper upon reasonable notice during normal business hours. The Annual Report shall also provide a statement of the owner's management policies, communications with the tenants and maintenance of the BMR unit, including a statement of planned repairs to be made and the dates for the repairs.

## **12. EQUIVALENT ALTERNATIVES**

Nothing set forth herein shall preclude the City from considering reasonably equivalent alternatives to these Guidelines, including, but not limited to, the size of units and differentiation of internal materials.

## **13. BELOW MARKET RATE HOUSING FUND ("BMR FUND") AND SEVERABILITY CLAUSE**

**13.1 Purpose.** The City of Menlo Park Below Market Rate Housing Fund is a separate City fund set aside for the specific purpose of assisting the development of housing that is affordable to very low, low and moderate-income households. The BMR Fund is generated by such income as in-lieu fees. All monies contributed to the BMR Fund, as well as repayments and interest earnings accrued, shall be used solely for this purpose, subject to provisions set forth below.

**13.2 Eligible Uses.** The BMR Fund will be used to reduce the cost of housing to levels that are affordable to very low, low and moderate-income households, as defined in the Housing Element of the City's General Plan. A preference will be given to assisting development of housing for households with minor children; however, this preference does not preclude the use of funds for other types of housing affordable to households with very low, low and moderate- incomes.

**13.3 Eligible Uses in Support of Very Low-, Low- and Moderate-Income Housing Development.** The BMR Fund may be used for, but is not limited, to the following:

- Provision of below market rate financing for homebuyers.
- Purchase of land or air rights for resale to developers at a reduced cost to facilitate housing development for very low, low or moderate-income households.
- Reduction of interest rates for construction loans or permanent financing, or assistance with other costs associated with development or purchase of very low, low or moderate-income housing.
- Rehabilitation of uninhabitable structures for very low, low or moderate-income housing.
- On-site and off-site improvement costs for production of affordable housing.
- Reduction of purchase price to provide units that are very low, low or moderate cost.
- Rent subsidies to reduce the cost of rent for households with limited incomes.
- Emergency repair and/or renovation loan program for BMR owners of older units.
- Loan program to assist BMR condominium owners who have no other way to pay for major special assessments.
- City staff time and administrative costs associated with implementation of the BMR program.

**13.4 Procedures.** Requests for use of BMR Housing Fund money shall be submitted to staff for review and recommendation to the City Council. A request for funding shall provide the following minimum information:

- A description of the proposal to be funded and the organizations involved in the project. Public benefit and relevant Housing Element policies and programs should be identified.
- Amount of funding requested.
- Identification of the number of very low, low and moderate-income households to be assisted and the specific income range of those assisted.

- Reasons why special funding is appropriate.
- Identification of loan rate, financial status of applicants, and source of repayment funds or other terms.
- Identification of leverage achieved through City funding.

**13.5 Annual Report.** At the close of each fiscal year, City staff shall report on activity during the previous year (deposits and disbursements) and available funds. The City's auditor shall periodically examine this report and all other BMR Fund financial records, and shall report the results of this examination. In addition, City staff shall report annually on activities assisted by monies from the BMR Fund. The report will review how the program is serving its designated purpose. It will include a discussion of the timely use of funds for actions taken to provide Below Market Rate housing units, a review of management activities, and staff recommendations for policy changes to improve the program's performance. In addition it will provide, for each activity, information corresponding to that required of funding requests listed above in Section 13.4.

**13.6 Severability Clause.** If any one or more of the provisions contained in the Below Market Rate Housing Program Guidelines shall, for any reason, be held to be invalid, illegal or unenforceable in any respect, then such provisions shall be deemed severable from the remaining provisions contained in the Guidelines, and the Guidelines shall be construed as if such invalid, illegal or unenforceable provision(s) had never been contained herein.

**13.7 Administrative Updates.** Future updates to tables in Section 14 may be made annually without Council approval when data becomes available from the appropriate state and federal agencies.

## 14. TABLES

**Table A**  
**Below Market Rate Household Income Limits**

<i>Household Size</i>	<i>Very Low</i>	<i>60% of Median</i>	<i>Low</i>	<i>Median</i>	<i>110% of Median</i>	<i>120% of Median</i>
1	41,050	43,260	65,700	72,100	79,310	86,520
2	46,050	49,440	75,100	82,400	90,640	98,880
3	52,750	55,620	84,500	92,700	101,970	111,240
4	58,600	61,800	93,850	103,000	113,300	123,600
5	63,300	66,750	101,400	111,250	122,375	133,500
6	68,000	71,700	108,900	119,500	131,450	143,400
7	72,700	76,620	116,400	127,700	140,470	153,240
8	77,400	81,570	123,900	135,950	149,545	163,140

Source: Based on median income for a household of four persons as reported in the State Income Limits for San Mateo County published by the California Department of Housing and Community Development in 2015. <http://www.hcd.ca.gov/hpd/hrc/rep/state/inc2k15.pdf>

**Table B**  
**Maximum Monthly Housing Cost Limits for BMR Rental Units**

<i>Unit Size</i>	<i>30% of 60% of Median</i>	<i>30% of Low</i>
Studio	1,082	1,643
1	1,236	1,878
2	1,391	2,113
3	1,545	2,346
4	1,669	2,535
5	1,793	2,723

**Table C**  
**Occupancy Standards**

Occupancy of BMR units shall be limited to the following:

Unit Size	Number of Persons	
	<u>Minimum</u>	<u>Maximum</u>
Studio	1	2
1	1	4
2	2	5
3	3	7
4	4	9

Note: Smallest household size for purposes of determining the maximum rental amount shall be one (1) person per bedroom or studio. The City Manager or his/her designee has the discretion to vary the persons per unit for unusually large units, not to exceed one (1) person per bedroom, plus one (1).

**Table D**  
**Commercial In-Lieu Fees for 2015-2016**

<b>Group A</b> uses are Research & Development and Office.	Fee: \$15.57 per square foot of gross floor area.
--	---

<b>Group B</b> uses are all other Commercial Uses not in Group A.	Fee: \$8.45 per square foot of gross floor area.
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Commercial In-Lieu Fees are adjusted annually on July 1.

## **EXHIBIT C**

### **BMR UNIT LOCATIONS**



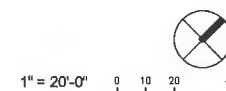


540



# Legend

- Electric Vehicle Charging Station  
Buildings E, F, + G; See Building Details
- AC Condenser with wood screen  
See Landscape Drawings for planting to screen from view
- AC Condenser without wood screen  
at private backyard
- Transformer; See Civil Drawing  
See Landscape Drawings for planting to screen from view
- Guest Bike Parking;  
See Landscape Drawings
- Below Market Rate Unit



IHP 1.0



## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL SITE PLAN

MENLO PARK, CA  
XREF # 2014-0032 09.25.2015

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com

## **EXHIBIT D**

### **BMR FLOOR PLANS**

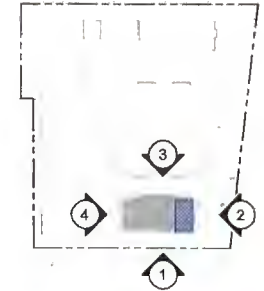
J41



1. Front Elevation - Encinal Avenue



2. Right Elevation\*



Key Map n.t.s.

 Below Market Rate Unit

\*Elevation faces Southern Pacific Railroad and has been designed for smaller openings.



3. Rear Elevation



4. Left Elevation

$\frac{1}{8}'' = 1'-0''$

IHP 2.0



## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL ELEVATIONS - BUILDING A

MENLO PARK, CA

1101 W 2014-0012

09.25.2015

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com

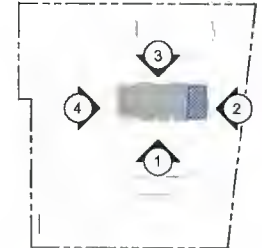
J42



1. Front Elevation



2. Right Elevation\*



Key Map n.t.s.

 Below Market Rate Unit

\*Elevation faces Southern Pacific Railroad and has been designed for smaller openings.



3. Rear Elevation



4. Left Elevation

$\frac{1}{8}'' = 1'-0''$

IHP 2.1



## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL ELEVATIONS - BUILDING C

MENLO PARK, CA

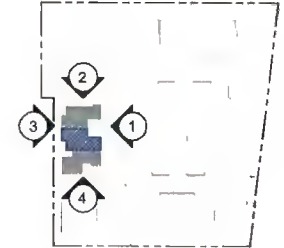
EXIST' N 2014-0002

09.25.2015

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com

543





Key Map n.t.s.

 Below Market Rate Unit



544



$\frac{1}{8}'' = 1'-0''$

IHP 2.2

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL ELEVATIONS - BUILDING F

MENLO PARK, CA

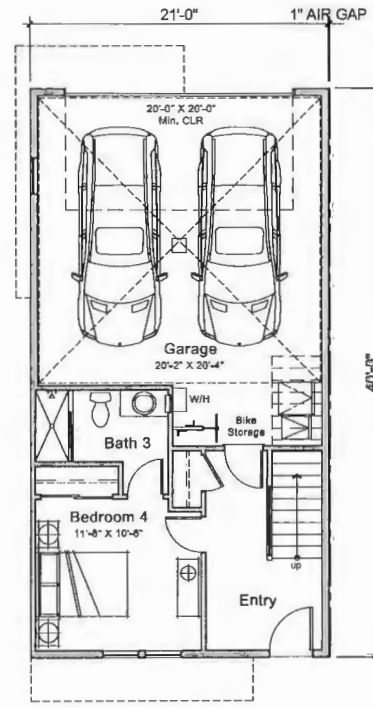
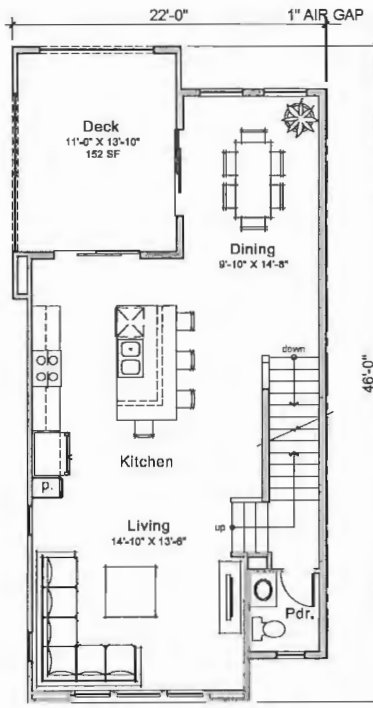
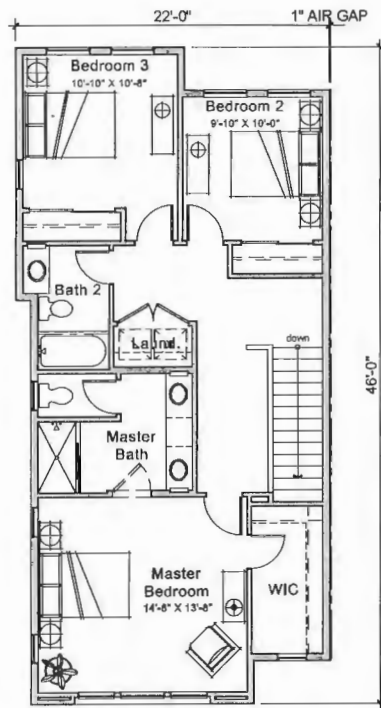
1107 # 2014-0032

09.25.2015

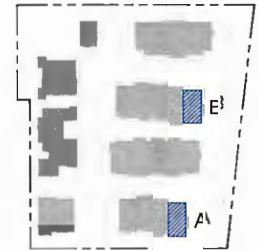
KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com



345



Plan 7 - BMR Units A & B  
4 Bedroom / 3.5 Bath  
1,889 Net SF



Key Map n.t.s.

Below Market Rate Unit

Note: Unit net area measured to inside face of stud.

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 7

MENLO PARK, CA

10/01 # 23144032

09/25/2015

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Oakland, CA 94607  
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ktgy.com

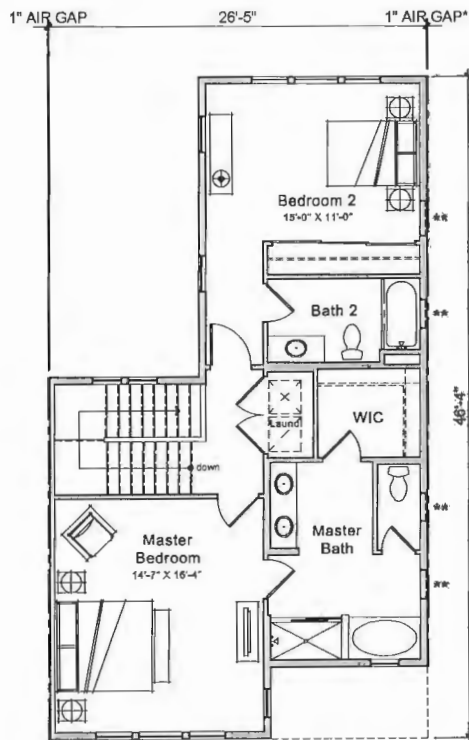
1/4" = 1'-0"

IHP 3.0

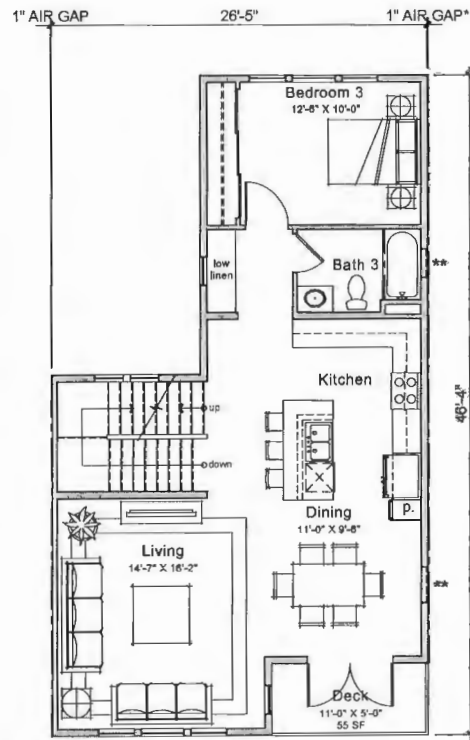




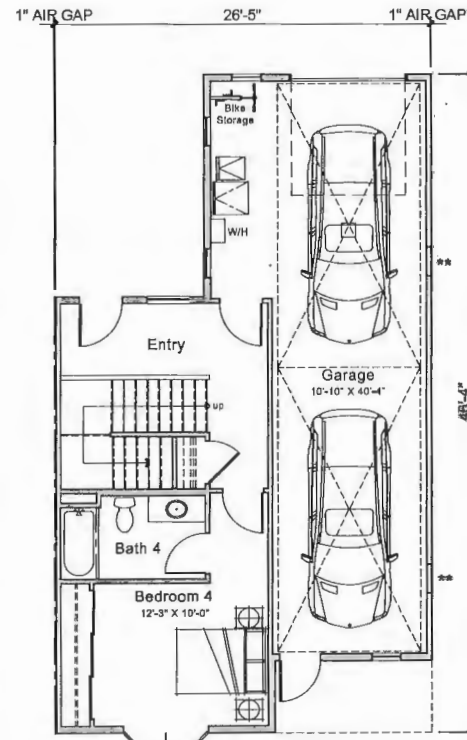
346



Third Floor

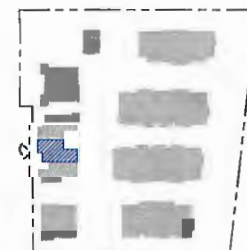


Second Floor



First Floor

Plan 6 - BMR Unit C  
4 Bedroom / 4 Bath  
2,131 Net SF



Key Map n.t.s.

Below Market Rate Unit

Note: Unit net area measured to inside face of stud.  
\*air gap at interior walls only  
\*\* As occurs - see building plans for window location

## 133 ENCINAL AVENUE

Hunter Properties Inc.  
10121 Miller Avenue, Suite 200  
Cupertino, CA 95014  
408.255.4100

## CONCEPTUAL FLOOR PLANS - PLAN TYPE 6

MENLO PARK, CA  
0109 # 20140012

09-25-2015

1/4" = 1'-0"

IHP 3.1

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ktgy.com



**133 Encinal Avenue  
El Camino Real/Downtown Specific Plan Program EIR – Conformance Checklist**

**Introduction**

The City of Menlo Park (City) has developed the El Camino Real/Downtown Specific Plan (Specific Plan) to establish a framework for private and public improvements in the Specific Plan area for the next 30 years. The Specific Plan addresses approximately 130 acres and focuses on the character and density of private infill development, the character and extent of enhanced public spaces, and circulation and connectivity improvements. The primary goal of the Specific Plan is to “enhance the community life, character and vitality through mixed use infill projects sensitive to the small-town character of Menlo Park, an expanded public realm, and improved connections across El Camino Real.” The Specific Plan includes objectives, policies, development standards, and design guidelines intended to guide new private development and public space and transportation improvements in the Specific Plan area over the next 30 years. The Plan builds upon the El Camino Real/Downtown Vision Plan that was unanimously accepted by the Menlo Park City Council on July 15, 2008.

On June 5, 2012, the City Council certified the Menlo Park El Camino Real and Downtown Specific Plan Program EIR (Program EIR). According to the Program EIR, the Specific Plan does not propose specific private developments, but establishes a maximum development capacity of 474,000 square feet of non-residential development (inclusive of retail, hotel, and commercial development), and 680 new residential units.

Hunter Properties Inc. has submitted an application for 24 residential units. The project site is located at 133 Encinal Avenue and currently consists of the vacant Roger Reynolds Nursery and Carriage Stop and site improvements. The property is part of the Specific Plan area, and as such may be covered by the Program EIR analysis. The intent of this Environmental Conformity Analysis is to determine: 1) whether the proposed project does or does not exceed the environmental impacts analyzed in the Program EIR, 2) whether new impacts have or have not been identified, and 3) whether new mitigation measures are or are not required.

**Existing Condition**

The subject property is located at 133 Encinal Avenue, on the north side of Encinal Avenue east of the intersection of El Camino Real and Encinal Avenue, which is part of the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The site is bounded by residential apartments to the north and northeast, Caltrain tracks to the east, Encinal Avenue and apartments to the south, and a commercial office building and parking lot to the west.

The project site consists of one parcel (Assessor's Parcel Number: 060-344-270) of approximately 1.7-acre (75,612 square feet). 133 Encinal Avenue is currently developed with a nursery and carriage stop building (Roger Reynolds Nursery and Carriage Stop). The proposed development consists of two and three story buildings with 24 residential units. There are eight proposed buildings (Buildings A-H) including the reconstructed carriage stop building with two buildings facing Encinal Avenue with the remaining buildings accessed off of a private drive from Encinal Avenue. The square footage totals 55,629 square feet.

K1

## **Proposed Project**

The project includes the reconstruction and the relocation of the carriage stop building toward the rear of the site (Building H), demolition of the nursery building and construction of 24 multi-family residential units. The project would be developed with seven, two to three-story structures. The reconstructed carriage stop building (single story) would house the community building for the project. The residential units are planned across six buildings (Buildings A, B, C, D, E, and F), each with two to five units. The residential units would range from two to three stories with three to four bedrooms and 2.5 to four bathrooms, averaging approximately 2,300 square feet. The units on Encinal Avenue would have porches facing the street.

Each residential unit would have a two-car garage. Parking consists of 48 covered parking stalls and seven uncovered parking spaces. Access to the project site is from a 26-foot wide driveway from Encinal Avenue. Permeable pavers are proposed in the driveway and on the surface parking.

The proposal includes the removal of five non-heritage trees and five heritage trees, and would preserve two existing groves of trees along the rear. Landscaping is proposed around the perimeter of the project site. Additional California-native shrubs would be planted in the proposed children's discovery garden and oak grove garden.

The project requires architectural control and major subdivision. A tentative map would be required to create 24 residential condominium units. In addition, the applicant is requesting approval of a Below Market Rate (BMR) Agreement for the provision of three on-site BMR units. The proposed development requires review and recommendation by the Planning Commission, and the City Council would make the final decision on all requested actions.

## **Environmental Analysis**

As discussed in the introduction, this comparative analysis has been undertaken to analyze whether the project would have any significant environmental impacts that are not addressed in the Program EIR. The comparative analysis discusses whether impacts are increased, decreased, or unchanged from the conclusions discussed in the Program EIR. The comparative analysis also addresses whether any changes to mitigation measures are required.

As noted previously, the proposal is a multi-unit residential project, including relocating and reconstructing the existing carriage house. Assuming full occupancy, the proposed project is estimated to generate 2 AM peak hour trips and 15 PM peak hour trips, which are fewer trips than the pre-existing commercial nursery use. Based on this level of vehicle traffic, a detailed traffic study is not required. The proposed project is consistent with the Specific Plan land uses. The proposed project will be subject to the fair share contribution towards infrastructure required to mitigate transportation impacts as identified in the Program EIR.

## ***Aesthetic Resources***

Impacts would be the same as the Specific Plan. The Program EIR concluded that the project would not have a substantial adverse effect on a scenic view, vista, or designated state scenic highway, nor would the project have significant impacts to the degradation of character/quality, light and glare, or shadows.

K2

Implementation of the proposed project would result in the construction of a multi-unit residential development. The carriage stop will be reconstructed and located toward the rear of the property on the axis of the main drive aisle and visible from Encinal Avenue. This type of project was evaluated under the Specific Plan EIR, and determined that changes to the visual character would not be substantially adverse, and the impact is considered less than significant. The proposed project would be subject to the Planning Commission and City Council architectural control and major subdivision review and approval, which includes public notice and ensures aesthetic compatibility. Therefore, the proposed project would not result in any impacts to the existing visual character of the site and its surroundings.

This type of project was evaluated under the Specific Plan EIR, and determined that changes to light and glare would not be substantially adverse, and the impact would be less than significant. The Specific Plan includes regulatory standards for nighttime lighting and nighttime and daytime glare. Therefore, the proposed project would not result in any impacts associated with substantial light or glare.

As was the case with the Specific Plan, the project would not have a substantial adverse effect on a scenic view or vista, a state scenic highway, character/quality, or light and glare impacts. Therefore, no new impacts have been identified and no new mitigation measures are required for the proposed project.

#### *Agriculture Resources*

Impacts would be the same as the Specific Plan. The Program EIR concluded that no impacts would result with regard to Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, or any area zoned for agricultural use or forest land.

As was the case with the Program EIR, the proposed project would not result in any impacts to farmland, agricultural uses, or forest land. Therefore, no new impacts have been identified and no new mitigation measures are required for the proposed project.

#### *Air Quality*

Impacts would be the same as the Specific Plan.

AIR-1: The Program EIR determined that emissions of criteria pollutants associated with construction would be significant, and established Mitigation Measures AIR-1a and AIR-1b to address such impacts. However, the Program EIR concluded that impacts could still be significant and unavoidable even with implementation of such mitigations. The proposed project would construct 24 residential units, would not involve the type of large-scale construction activities that would create such impacts, and the Project would be well below the 220 dwelling-unit construction screening threshold adopted by the Bay Area Air Quality Management District. Mitigation Measure AIR-1a includes basic controls that would apply to all construction sites, and would need to be implemented as part of the proposed project. Implementation of Mitigation Measure AIR-1b, because it is below the construction screening threshold, would not be required for this project.

AIR-2: The Program EIR determined that the Specific Plan would have long-term emissions of criteria pollutants from increased vehicle traffic and on-site area sources that would contribute to an air quality violation (due to being inconsistent with an element of the *2010 Clean Air Plan*), and established Mitigation Measure AIR-2 requiring implementation of Mitigation Measure TR-2

regarding Transportation Demand Management (TDM) strategies to address this impact. However, the Program EIR noted that TDM effectiveness cannot be guaranteed, and concluded that the impact would be significant and unavoidable. The Project would be consistent with the Program EIR analysis, and as such would be required to implement Mitigation Measure AIR-2.

AIR-3: The Program EIR determined that the Specific Plan would increase levels of Toxic Air Contaminants (TACs) due to increased heavy duty truck traffic, but that the impacts would be less than significant. The Project would not generate an unusual amount of heavy truck traffic relative to other developments due to the limited nature of the construction, and the proposed project's share of overall Specific Plan development (24 residential units) would be accounted for through deduction of this total from the Specific Plan Maximum Allowable Development.

AIR-4: The Program EIR concluded that the Specific Plan would not have a substantial adverse effect pertaining to Particulate Matter (PM<sub>2.5</sub>). The proposed project is consistent with the assumptions of this analysis.

AIR-5, AIR-6, AIR-7, AIR-8, AIR-10, and AIR-11: The Specific Plan determined that the introduction of sensitive receptors, specifically new residences, to an environment (near El Camino Real and the Caltrain tracks) with elevated concentrations of TACs and PM<sub>2.5</sub> could result in significant or potentially significant impacts (including in the cumulative scenario), and established Mitigation Measures AIR-5, AIR-7, and AIR-10 to bring impacts to less than significant levels. Since the project site is adjacent to the Caltrain tracks, implementation of Mitigation Measure AIR-7 would be required to reduce cancer risk to a less than significant level.

An Air Quality Existing Conditions Report was prepared by Advance Soil Technology, Inc. dated December 24, 2014. The report addressed the environmental constraints to air quality problems impacting the development of the 24 residential units along with community risk analysis results due to the close proximity to sources of toxic air contaminants (TACs), and modeling of the health risk impacts were conducted. Recommended measures include dust and exhaust control during construction, and the installation of air filtration units with a Minimum Efficiency Reporting Value (MERV) rating of 14 or higher for the residential units. Potential impacts from exposure to TACs would be reduced to a less than significant level with implementation of these recommendations.

AIR-9: The Program EIR determined that the Specific Plan is fundamentally consistent with the growth projections of the Bay Area 2010 Clean Air Plan, particularly with regard to residential development. The project proposes 24 residential units which is consistent with the growth projections of the Bay Area 2010 Clean Air Plan.

No new Air Quality impacts have been identified and no new mitigation measures are required for the proposed project.

#### *Biological Resources*

Impacts would be the same as the Specific Plan. The Program EIR determined that less than significant impacts would result with regard to special status plant and wildlife species, sensitive natural communities, migratory birds, and jurisdictional waters and wetlands upon implementation of the recommended Mitigation Measures BIO-1a, BIO-1b, BIO-3a, BIO-3b, BIO-5a through BIO-5c, and BIO-6a. The analysis also found that the Specific Plan would not

conflict with local policies, ordinances, or plans. The project site is fully developed and within a highly urbanized/landscaped area.

The project site provides little wildlife habitat and essentially no habitat for plants other than the opportunity ruderal species adapted to the built environment or horticultural plants used in landscaping. The project would not result in the take of candidate, sensitive, or special-status species.

The proposal includes the removal of five non-heritage trees and five heritage trees. The heritage trees proposed for removal include a 15.8-inch coast redwood in the front (tree #7), a 18.3-inch incense cedar in the front (tree #10), a 37-inch coast redwood in the front (tree #23), a 20.8-inch Japanese maple in the front (tree #25), and a 16.8-inch coast redwood in the center of the site. The Program EIR determined that no mitigation would be required with implementation of the Heritage Tree Ordinance Chapter 13.24 which requires a planting replacement at a 1:1 basis for residential projects. Additionally, the City of Menlo Park's Building Division provides "Tree Protection Specification" measures and procedures to further insure the protection of heritage trees during construction. Compliance with these existing code requirements, guidelines, and Tree Protection Specification measures and procedures, coupled with the proposed planting of approximately 58 new trees, would mitigate the impact of any loss of protected trees and would constitute consistency with local ordinances designed to protect existing tree resources. The impact would be less than significant.

With implementation of the proposed project, construction activities would occur on an existing developed site. Therefore, as with the Program EIR, the Project would result in less than significant impacts to biological resources and no new mitigation measures would be required. The Project would also not conflict with local policies, ordinances, or plans, similar to the Program EIR. No new impacts have been identified and no new mitigation measures are required for the proposed project.

### *Cultural Resources*

Impacts would be the same as the Specific Plan. The Program EIR determined that no significant impacts to a historic resource would result with implementation of Mitigation Measure CUL-1. The analysis also concluded that the Specific Plan would result in less than significant impacts to archeological resources, paleontological resources, and burial sites with implementation of Mitigation Measures CUL-2a, CUL-2b, and CUL-4. With regard to the project site, the physical conditions, as they relate to archeological resource, have not changed in the Specific Plan area since the preparation of the Specific Plan EIR. The proposed project would incorporate CUL-4. Mitigation Measure CUL-3 would not be required, as the project would not excavate beyond previously disturbed soil.

A Historic Resource Evaluation was prepared by Corri Jimenez, dated March 2015 for the Project. Existing historical documents were evaluated on the resources of Roger Reynolds Nursery and Carriage Stop. The nursery building lacks integrity specific to design, materials, and workmanship due to significant alterations on the buildings which include rear alterations and replacement of original materials. The Carriage Stop has been moved from its original location on El Camino Real to 133 Encinal Avenue and altered as well. The report concluded, the buildings at 133 Encinal Avenue are not historically significant according to the criteria of the California Register of Historical Resources, and thus are not considered historic resources under CEQA.



A Cultural Resource Evaluation was prepared by Basin, dated December 24, 2014 for the Project. The report concluded that the archival research revealed that there are no recorded cultural resources located within the study area. No traces of significant cultural materials, prehistoric or historic, were noted during the surface reconnaissance. In the event, however, that prehistoric traces are encountered, the Specific EIR requires protection activities if archaeological artifacts are found during construction.

No new impacts have been identified and no new mitigation measures are required.

### *Geology and Soils*

Impacts would be the same as the Specific Plan. The Program EIR found that no significant impacts pertaining to earthquake faults, seismic ground shaking, seismically induced hazards (e.g., liquefaction, lateral spreading, land sliding, settlement, and ground lurching), unstable geologic units, expansive soils, corrosive soils, landslides, and soil erosion would result. No mitigation measures are required.

The project site is not located within an Alquist-Priolo Earthquake Fault Zone as designated by the California Geological Society, and no known active faults exist on the site. The nearest active fault to the project area is the San Andreas fault which is located approximately seven miles southwest. Although this is the case, the Project is located in a seismically active area and, while unlikely, there is a possibility of future faulting and consequent secondary ground failure from unknown faults is considered to be low. Furthermore, the project would comply with requirements set in the California Building Code (CBC) to withstand settlement and forces associated with the maximum credible earthquake. The CBC provides standards intended to permit structures to withstand seismic hazards. Therefore, the code sets standards for excavation, grading, construction earthwork, fill embankments, expansive soils, foundation investigations, liquefaction potential, and soil strength loss. No mitigation is required.

### *Greenhouse Gas Emissions*

Impacts would be the same as the Specific Plan.

GHG-1: The Program EIR determined that the Specific Plan would generate Greenhouse Gas (GHG) emissions, both directly and indirectly, that would have a significant impact on the environment. Specifically, the operational GHG using the Bay Area Air Quality District (BAAQMD) GHG Model, measured on a "GHG: service population" ratio, were determined to exceed the BAAQMD threshold. The proposed project's share of this development (24 residential units) and associated GHG emissions and service population would be accounted for through deduction of this total from the Specific Plan Maximum Allowable Development, and as such is consistent with the Program EIR analysis. The Program EIR established Mitigation Measure GHG-1, although it was determined that the impact would remain significant and unavoidable even with this mitigation. For the proposed project, implementation of Mitigation Measure GHG-1 is not necessary as the BAAQMD-identified GHG Mitigation Measures are primarily relevant to City-wide plans and policies.

GHG-2: The Program EIR determined that the Specific Plan could conflict with AB 32 and its Climate Change Scoping Plan by virtue of exceeding the per-capita threshold cited in GHG-1. Again, the proposed project's share of this development (24 residential units) and associated GHG emissions and service population would be accounted for through deduction of this total from the Specific Plan Maximum Allowable Development, and as such is consistent with the

Program EIR analysis. The Program EIR established Mitigation Measure GHG-2a and GHG-2b, although it was determined that the impact would remain significant and unavoidable even with this mitigation. The project would be required to install three dedicated electric vehicle charging station to meet Mitigation Measure GHG-2a.

No new impacts have been identified and no new mitigation measures are required for the proposed project.

#### *Hazards and Hazardous Materials*

Impacts would be the same as the Specific Plan. The Program EIR determined that a less than significant impact would result in regards to the handling, transport, use, or disposal of hazardous materials during construction operations. The analysis also concluded that the project site is not included on a list of hazardous materials sites, is not within the vicinity of an airport or private airstrip, would not conflict with an emergency response plan, and would not be located in an area at risk for wildfires. The Specific Plan analysis determined that with implementation of Mitigation Measures HAZ-1 and HAZ-3, impacts related to short-term construction activities, and the potential handling of and accidental release of hazardous materials would be reduced to less than significant levels.

The proposed project would involve ground-disturbance activities and demolition of an existing commercial building and as such implementation of Mitigation Measures HAZ-1, HAZ-2, and HAZ-3 would be required. Project operations would result in a multi-family residential project rather than the existing commercial uses. An Environmental Soil Sampling report was prepared by Advance Soil Technology, dated February 3, 2014 and concluded that an elevated level of arsenic was detected, although further sampling determined that arsenic did not occur at significant levels and that no further analysis is required. With implementation of Mitigation Measure HAZ-1 impacts would be reduced to less than significant levels. The mitigation measure provides remediation and cleanup to levels established by the overseeing agency.

The proposed residential project would not handle, store, or transport hazardous materials in quantities that would be required to be regulated. Thus, project operations would result in similar impacts as that analyzed for the Specific Plan. No new impacts have been identified and no new mitigation measures are required for the proposed project.

#### *Hydrology and Water Quality*

Impacts would be the same as the Specific Plan. The Program EIR found that no significant impacts pertaining to construction-related impacts (i.e., water quality and drainage patterns due to erosion and sedimentation), or operational-related impacts to water quality, groundwater recharge, the alteration of drainage patterns, or flooding would result. The City of Menlo Park Engineering Division requires a Grading and Drainage Permit and preparation of a construction plan for any construction project disturbing 500 square feet or more. The Grading and Drainage (G&D) Permit requirements specify that the construction must demonstrate that the sediment laden-water shall not leave the site. Incorporation of these requirements would be expected to reduce the impact of erosion and sedimentation to a less-than-significant level. No mitigation measures are required.

A Hydrology Report was prepared by Nterra Group dated August 3, 2015 and determined that the proposed project increases the amount of runoff as compared with existing conditions, and that retention is required. Engineering Division staff have completed preliminary review of this

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report and the associated civil plans, and tentatively determined that the project should be able to meet the detailed hydrology/grading requirements at the building permit stage. Thus, the proposed project would result in less than significant impacts, no new impacts have been identified, and no new mitigation measures are required.

#### *Land Use and Planning*

Impacts would be the same as the Specific Plan.

LU-1: The Program EIR determined that the Specific Plan would not divide an established community. The proposed project would involve demolition of an existing single-story commercial site. The Specific Plan would allow for taller buildings, any new development would occur along the existing grid pattern and proposed heights and massing controls would result in buildings comparable with existing buildings found in the Plan area. The proposed development consists of two to three-story buildings with 24 residential units and is subject to architectural review by the Planning Commission and City Council. The project would not create a physical or visual barrier, therefore would not physically divide a community. There are no impacts.

LU-2: The Program EIR determined that the Specific Plan would not alter the type and intensity of land uses in a manner that would cause them to be substantially incompatible with surrounding land uses or neighborhood character. The proposed project is an infill development that meets the intent of the Specific Plan. No mitigation is required for this impact, which is less than significant.

LU-3: The Program EIR determined that the Specific Plan would not conflict with the City's General Plan, Zoning Ordinance, or other land use plans or policies adopted for the purpose of mitigating an environmental effect. The General Plan and Zoning Ordinance were amended concurrent with the Specific Plan adoption, and the proposed project would comply with all relevant regulations. No mitigation is required for this impact, which is less than significant.

LU-4: The Program EIR determined that the Specific Plan, in combination with other plans and projects, would not result in cumulatively considerable impacts to land use. The proposed project, being a part of the Specific Plan area and accounted for as part of the Maximum Allowable Development, is consistent with this determination. No mitigation is required for this impact, which is less than significant.

No new impacts have been identified and no new mitigation measures are required for the proposed project.

#### *Mineral Resources*

Impacts would be the same as the Specific Plan. The Program EIR noted that the project site is not located within an area of known mineral resources, either of regional or local value.

As was the case with the Specific Plan, the Project would not result in the loss of availability of a known mineral resource or mineral resources recovery site. No new impacts have been identified and no new mitigation measures are required for the proposed project.

#### *Noise*

Impacts would be the same as the Specific Plan.

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NOI-1: The Program EIR determined that construction noise, in particular exterior sources such as jackhammering and pile driving, could result in a potentially significant impact, and established Mitigation Measures NOI-1a through NOI-1c to address such impacts. The physical conditions as they relate to noise levels have not changed substantially in the Specific Plan area since the preparation of the Specific Plan EIR. Therefore construction noise impacts of the proposed project would be less than significant, and these mitigation measures would apply (with the exception of Mitigation Measure NOI-1b, which applies to pile driving activities, which wouldn't take place as part of the project).

NOI-2: The Program EIR determined that impacts to ambient noise and traffic-related noise levels as a result of the Specific Plan would be less than significant. The proposed project's share of this development (24 residential units) would be accounted for through deduction of this total from the Specific Plan Maximum Allowable Development.

NOI-3 and NOI-4: The Program EIR determined that the Specific Plan could include the introduction of sensitive receptors, specifically new residences, to a noise environment (near the Caltrain tracks) with noise levels in excess of standards considered acceptable under the City of Menlo Park Municipal Code, as well as the introduction of sensitive receptors to substantial levels of ground borne vibration from the Caltrain tracks. A Noise Analysis prepared by Mei Wu Acoustics dated July 7, 2015 concludes that sound rated walls and windows are required to meet the noise level standard. Therefore, with the sound rated walls and windows, the proposed project would not result in any impacts related to noise.

The project area is adjacent to the Caltrain right-of-way, which has the potential for vibration-related issues. A vibration analysis was prepared by Mei Wu Acoustics. The report concludes that a "recommended foundation system" be used which isolates the building from the soil and therefore reduces the vibration transferred into the building. Mitigation Measure NOI-4 states if required, vibration isolation techniques could be included supporting the new building foundation on elastomer pads similar to bridge bearing pads. Therefore, with the vibration isolation techniques, the proposed project would not result in any impacts related to ground borne noise or vibration.

NOI-5: The Program EIR determined that implementation of the Specific Plan, together with anticipated future development in the area in general, would result in a significant increase in noise levels in the area. The Program EIR established Mitigation Measure NOI-5 to require the City to use rubberized asphalt in future paving projects within the Plan area if it determines that it will significantly reduce noise levels and is feasible given cost and durability, but determined that due to uncertainties regarding Caltrans approval and cost/feasibility factors, the cumulative impact of increased traffic noise on existing sensitive receptors is significant and unavoidable. The proposed project's share of this development (24 residential units) would be accounted for through deduction of this total from the Specific Plan Maximum Allowable Development.

No new noise impacts have been identified and no new mitigation measures are required for the proposed project.

### *Population and Housing*

Impacts would be similar from that analyzed in the Program EIR.

POP-1: The Program EIR determined that the implementation of the Specific Plan would not cause the displacement of existing residents to the extent that the construction of replacement facilities outside of the Plan area would be required. The project includes the demolition of existing commercial buildings and the construction of seven new two- to three-story buildings comprised of 24 residential units. Therefore, no residents would be displaced. No mitigation is required for this impact, which is less than significant.

POP-2: The Program EIR determined that the implementation of the Specific Plan would not be expected to induce growth in excess of current projections, either directly or indirectly. The Program EIR found that full build-out under the Specific Plan would result in 1,537 new residents, well within the Association of Bay Area Governments (ABAG) projection of 5,400 new residents between 2010 and 2030 in Menlo Park and its sphere of influence. Additionally, the Program EIR projected the new job growth associated with the new retail, commercial and hotel development to be 1,357 new jobs. The ABAG projection for job growth within Menlo Park and its sphere of influence is an increase of 7,240 jobs between 2010 and 2030. The Program EIR further determines that based on the ratio of new residents to new jobs, the Specific Plan would result in a jobs-housing ratio of 1.56, below the projected overall ratio for Menlo Park and its sphere of influence of 1.70 in 2030 and below the existing ratio of 1.78.

The project includes the construction of 24 multi-family residential units. Construction of the project, including site preparation and building demolition phase, would temporarily increase construction employment. Given the relatively common nature and scale of the construction associated with the project, the demand for construction employment would likely be met within the existing and future labor market in the City and the County. The size of the construction workforce would vary during the different stages of construction, but a substantial quality of workers from outside the City or County would not be expected to relocate permanently.

The residential units would have two to four bedrooms and would average 2,300 square feet. The units could be utilized by couples and families. As such, the household size would be similar to that used in the Specific Plan (which did take into account families). Based on the average household size of 2.38 persons per household (per the Specific Plan), implementation of the project would add approximately 57 people to the City's population. The anticipated population growth from the proposed housing units proposed under the project would represent less than 1 percent of the City's current population and would be approximately less than 1 percent of the City's population growth through 2020. Therefore, the project would not directly result in substantial population growth beyond that expected for the City. No mitigation is required for this impact, which is less than significant.

POP-3: The Program EIR determined that implementation of the Specific Plan, in combination with other plans and projects would not result in cumulatively considerable impacts to population and housing. The EIR identified an additional 959 new residents and 4,126 new jobs as a result of other pending projects. These combined with the projection for residents and jobs from the Specific Plan equate to 2,496 new residents and 5,483 new jobs, both within ABAG projections for Menlo Park and its sphere of influence in 2030. The estimated additional 57 persons associated with the proposed residential project would not be considered a substantial increase, would continue to be within all projections and impacts in this regard would be considered less than significant. Thus, no new impacts have been identified and no new mitigation measures are required for the proposed project.

No new Population and Housing impacts have been identified and no new mitigation measures are required for the proposed project.

#### *Public Services and Utilities*

Impacts would be the same as the Specific Plan. The Program EIR concluded that less than significant impacts to public services, including fire protection, police protection, schools, parks, and other public facilities would result. In addition, the Program EIR concluded that the project would result in less than significant impacts to utilities and service systems, including water services, wastewater services, and solid waste. No mitigation measures were required under the Program EIR for Public Services and Utilities impacts.

The Menlo Park Fire Protection District (MPFPD) currently serves the Project area. MPFPD review and approval of individual development plans is a standard part of the project review process, ensuring that new buildings meet all relevant service requirements. The project would not intensify development over what has previously been analyzed, nor modify building standards (height, setbacks, etc.) in a way that could affect the provision of emergency services by the MPFPD. Therefore, the project would not result in any impacts resulting in the need for new or physically altered fire facilities.

Public parks near the project area include Burgess Park, Fremont Park, and Nealon Park. Additional public facilities, such as the Library and recreation buildings, are located next to Burgess Park, in the Civic Center. The Project would not intensify development over what has previously been analyzed, and existing public facilities would continue to be sufficient to serve the population of the Project area. Therefore, the proposed project would not result in the demand for new public parks or other public facilities.

The existing water, wastewater, electric, gas, and solid waste infrastructure is adequate to support the proposed project, as the number of residential units and commercial area would not exceed what was previously analyzed, which the current site was developed to support.

No new Public Services and Utilities impacts have been identified and no new mitigation measures are required for the proposed project.

#### *Transportation, Circulation and Parking*

As noted previously, the proposal is a residential project that includes demolishing the existing commercial buildings. Assuming full occupancy, the proposed project is estimated to generate 2 AM peak hour trips and 15 PM peak hour trips, which are fewer trips than the pre-existing commercial nursery use. Based on this level of vehicle traffic, a detailed traffic study is not required because the project is consistent with the Specific Plan land uses. The project would be subject to the fair share contribution towards infrastructure required to mitigate transportation impacts as identified in the Downtown Specific Plan Final Environmental Impact Report.

TR-1 and TR-7: The Program EIR concluded that the Specific Plan would result in significant and unavoidable traffic impacts related to operation of area intersections and local roadway segments, in both the short-term and cumulative scenarios, even after implementation of Mitigation Measures TR-1a through TRA-1d, TR-2, TR-7a through TR-7n, and TR-8.

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TR-2 and TR-8: The Program EIR determined that the Specific Plan would adversely affect operation of certain local roadway segments, in both the near-term and cumulative scenarios. Assuming full occupancy, the proposed project would generate fewer trips than the pre-existing commercial nursery use. Based on this level of vehicle traffic, a detailed traffic study is not required. The proposed project's share of the overall Specific Plan development (24 residential units) would be accounted for through deduction of this total from the Specific Plan Maximum Allowable Development, and as such is consistent with the Program EIR analysis.

According to trip generation rates published by the Institute of Transportation Engineers, the proposed residential development would result in fewer trips (daily trips as well as peak hour trips) as compared with the pre-existing commercial nursery use. The proposed project would still be required to implement Mitigation Measure TR-2.

TR-3, TR-4, TR-5, and TR-6: The Program EIR determined that the Specific Plan would not result in impacts to freeway segment operations, transit ridership, pedestrian and bicycle safety, or parking in the downtown. The proposed project, using a parking rate supported by appropriate data and analysis, would be consistent with this analysis, and no new impacts or mitigation measures would be projected.

No new impacts have been identified and no new mitigation measures are required for the proposed project.

## **Conclusion**

As discussed, the Conformance Checklist is to confirm that 1) the proposed project does not exceed the environmental impacts analyzed in the Program EIR, 2) that no new impacts have been identified, and 3) no new mitigation measures are required. As detailed in the analysis presented above, the proposed project would not result in greater impacts than were identified for the Program EIR. No new impacts have been identified and no new mitigation measures are required for the proposed project.

## **References**

1. Archeological Review Evaluation prepared by Basin Research Associates, dated December 24, 2014.
2. Historic Resource Evaluation prepared by Corri Jimenez, MS, dated March 2015.
3. Acoustic Report prepared by Mei Wu Acoustics, dated September 25, 2015.
4. Vibration Measurement prepared Mei Wu Acoustics, dated January 21, 2015, 2015
5. Vibration Mitigation prepared by Gouvis Engineering, dated April 8, 2015.
6. Air Quality Report prepared by Advance Soil Technology, dated December 2014.
7. Phase I ESA prepared by Advance Soil Technology, dated February 2014.
8. Phase I ESA Response letter prepared by Advance Soil Technology, dated June 26, 2015.

9. Limited Soil Sampling Report prepared Advance Soil Technology, dated February 2014.
10. Arborist Report prepared by McClenahan Consulting, dated July 6, 2015.
11. Hydrology Report prepared by Nterra Group, dated August 3, 2015
12. Staff site visit August 22, 2015.

# 133 Encinal Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
AIR QUALITY				
<b>IMPACT BEING ADDRESSED: Impact AIR-1: Implementation of the Specific Plan would result in increased long-term emissions of criteria pollutants associated with construction activities that could contribute substantially to an air quality violation. (Significant)</b>				
<p><i>Mitigation Measure AIR-1a:</i> During construction of individual projects under the Specific Plan, project applicants shall require the construction contractor(s) to implement the following measures required as part of Bay Area Air Quality Management District's (BAAQMD) basic dust control procedures required for construction sites. For projects for which construction emissions exceed one or more of the applicable BAAQMD thresholds, additional measures shall be required as indicated in the list following the Basic Controls.</p> <p><u>Basic Controls that Apply to All Construction Sites</u></p> <ol style="list-style-type: none"> <li>1. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.</li> <li>2. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.</li> <li>3. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.</li> <li>4. All vehicle speeds on unpaved roads shall be limited to 15 mph.</li> <li>5. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.</li> <li>6. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.</li> <li>7. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.</li> </ol>	<p>Exposed surfaces shall be watered twice daily.</p> <p>Trucks carrying demolition debris shall be covered.</p> <p>Dirt carried from construction areas shall be cleaned daily.</p> <p>Speed limit on unpaved roads shall be 15 mph.</p> <p>Roadways, driveways, sidewalks and building pads shall be laid as soon as possible after grading.</p> <p>Idling times shall be minimized to 5 minutes or less; Signage posted at all access points.</p> <p>Construction equipment shall be properly tuned and maintained.</p>	Measures shown on plans, construction documents and on-going during demolition, excavation and construction.	Project sponsor(s) and contractor(s)	Public Works Engineering and Transportation Divisions (PW) / Community Development Planning and Building Divisions (CDD)

### 133 Encinal Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
8. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.	Signage will be posted with the appropriate contact information regarding dust complaints.			
<b>Impact AIR-7: Implementation of the Specific Plan would expose sensitive receptors to elevated concentrations of Toxic Air Contaminants (TACs) associated with Caltrain operations which may lead to considerable adverse health effects. (Potentially Significant)</b>				
<p><b>Mitigation Measure AIR-7:</b> The Mitigation Monitoring and Reporting Program shall require that all developments that include sensitive receptors such as residential units that would be located within approximately 1,095 feet of the edge of the Caltrain right-of-way shall undergo, prior to project approval, a screening-level health risk analysis to determine if cancer risk, hazard index, and/or PM<sub>2.5</sub> concentration would exceed BAAQMD thresholds. If one or more thresholds would be exceeded at the site of the subsequent project, the project (or portion of the project containing sensitive receptors, in the case of a mixed-use project) shall be equipped with filtration systems with a Minimum Efficiency Reporting Value (MERV) rating of 14 or higher. The ventilation system shall be designed by an engineer certified by the American Society of Heating, Refrigeration and Air-Conditioning Engineers, who shall provide a written report documenting that the system reduces interior health risks to less than 10 in one million, or less than any other threshold of significance adopted by BAAQMD or the City for health risks. The project sponsor shall present a plan to ensure ongoing maintenance of ventilation and filtration systems and shall ensure the disclosure to buyers and/or renters regarding the findings of the analysis and inform occupants as to proper use of any installed air filtration. Alternatively, if the project applicant can prove at the time of development that health risks at new residences due to DPM (and other TACs, if applicable) would be less than 10 in one million, or less than any other threshold of significance adopted by BAAQMD for health risks, or that alternative mitigation measures reduce health risks below any other City-adopted threshold of significance, such filtration shall not be required.</p>	<p>A health risk analysis shall be prepared.</p> <p>If one or more thresholds are exceeded, a filtration system shall be installed; Certified engineer to provide report documenting that system reduces health risks</p> <p>Plan developed for ongoing maintenance and disclosure to buyers and/renters.</p>	Simultaneous with a building permit submittal	Project sponsor(s)	<p>CDD</p> <p><b>STATUS: PARTIALLY COMPLETE:</b> A health risk assessment prepared by Advance Soil Technology, Inc., included recommended measures to control dust and exhaust during construction, and for the installation of air filtration units with a Minimum Efficiency Reporting Value (MERV) rating of 14 or higher for the residential units. Potential impacts from exposure to TACs would be reduced to a less than significant level with implementation of these recommendations.</p>

# 133 Encinal Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
BIOLOGICAL RESOURCES				
<b>Impact BIO-1: The Specific Plan could result in the take of special-status birds or their nests. (Potentially Significant)</b>				
<p><b>Mitigation Measure BIO-1a:</b> Pre-Construction Special-Status Avian Surveys. No more than two weeks in advance of any tree or shrub pruning, removal, or ground-disturbing activity that will commence during the breeding season (February 1 through August 31), a qualified wildlife biologist will conduct pre-construction surveys of all potential special-status bird nesting habitat in the vicinity of the planned activity. Pre-construction surveys are not required for construction activities scheduled to occur during the non-breeding season (August 31 through January 31). Construction activities commencing during the non-breeding season and continuing into the breeding season do not require surveys (as it is assumed that any breeding birds taking up nests would be acclimated to project-related activities already under way). Nests initiated during construction activities would be presumed to be unaffected by the activity, and a buffer zone around such nests would not be necessary. However, a nest initiated during construction cannot be moved or altered.</p> <p><b>If pre-construction surveys indicate that no nests of special-status birds are present or that nests are inactive or potential habitat is unoccupied:</b> no further mitigation is required.</p> <p><b>If active nests of special-status birds are found during the surveys:</b> implement Mitigation Measure BIO-1b.</p>	<p>A nesting bird survey shall be prepared if tree or shrub pruning, removal or ground-disturbing activity will commence between February 1 through August 31.</p>	<p>Prior to tree or shrub pruning or removal, any ground disturbing activity and/or issuance of demolition, grading or building permits.</p>	<p>Qualified wildlife biologist retained by project sponsor(s)</p>	<p>CDD</p>

### 133 Encinal Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<p><b>Mitigation Measure BIO-1b:</b> Avoidance of active nests. If active nests of special-status birds or other birds are found during surveys, the results of the surveys would be discussed with the California Department of Fish and Game and avoidance procedures will be adopted, if necessary, on a case-by- case basis. In the event that a special-status bird or protected nest is found, construction would be stopped until either the bird leaves the area or avoidance measures are adopted. Avoidance measures can include construction buffer areas (up to several hundred feet in the case of raptors), relocation of birds, or seasonal avoidance. If buffers are created, a no disturbance zone will be created around active nests during the breeding season or until a qualified biologist determines that all young have fledged. The size of the buffer zones and types of construction activities restricted will take into account factors such as the following:</p> <ol style="list-style-type: none"> <li>1. Noise and human disturbance levels at the Plan area and the nesting site at the time of the survey and the noise and disturbance expected during the construction activity;</li> <li>2. Distance and amount of vegetation or other screening between the Plan area and the nest; and</li> <li>3. Sensitivity of individual nesting species and behaviors of the nesting birds.</li> </ol>	<p>If active nests are found during survey, the results will be discussed with the California Department of Fish and Game and avoidance procedures adopted.</p> <p>Halt construction if a special-status bird or protected nest is found until the bird leaves the area or avoidance measures are adopted.</p>	<p>Prior to tree or shrub pruning or removal, any ground-disturbing activities and/or issuance of demolition, grading or building permits.</p>	<p>Project sponsor(s) and contractor(s)</p>	<p>CDD</p>
<b>Impact BIO-3: Impacts to migratory or breeding special-status birds and other special-status species due to lighting conditions. (Potentially Significant)</b>				
<p><b>Mitigation Measure BIO-3a:</b> Reduce building lighting from exterior sources.</p> <ol style="list-style-type: none"> <li>a. Minimize amount and visual impact of perimeter lighting and façade up-lighting and avoid uplighting of rooftop antennae and other tall equipment, as well as of any decorative features;</li> <li>b. Installing motion-sensor lighting, or lighting controlled by timers set to turn off at the earliest practicable hour;</li> <li>c. Utilize minimum wattage fixtures to achieve required lighting levels;</li> <li>d. Comply with federal aviation safety regulations for large buildings by installing minimum intensity white strobe lighting with a three-second flash interval instead of continuous flood lighting, rotating lights, or red lighting</li> <li>e. Use cutoff shields on streetlight and external lights to prevent upwards lighting.</li> </ol>	<p>Reduce building lighting from exterior sources.</p>	<p>Prior to building permit issuance and ongoing.</p>	<p>Project sponsor(s) and contractor(s)</p>	<p>CDD</p>



**133 Encinal Avenue Project Mitigation Monitoring and Reporting Program**

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<b>Impact BIO-5: The Specific Plan could result in the take of special-status bat species. (Potentially Significant)</b>				
<p><b>Mitigation Measure BIO-5a:</b> Preconstruction surveys. Potential direct and indirect disturbances to special-status bats will be identified by locating colonies and instituting protective measures prior to construction of any subsequent development project. No more than two weeks in advance of tree removal or structural alterations to buildings with closed areas such as attics, a qualified bat biologist (e.g., a biologist holding a California Department of Fish and Game collection permit and a Memorandum of Understanding with the California Department of Fish and Game allowing the biologist to handle and collect bats) shall conduct pre-construction surveys for potential bats in the vicinity of the planned activity. A qualified biologist will survey buildings and trees (over 12 inches in diameter at 4.5-foot height) scheduled for demolition to assess whether these structures are occupied by bats. No activities that would result in disturbance to active roosts will proceed prior to the completed surveys. If bats are discovered during construction, any and all construction activities that threaten individuals, roosts, or hibernacula will be stopped until surveys can be completed by a qualified bat biologist and proper mitigation measures implemented.</p> <p><b>If no active roosts present:</b> no further action is warranted.</p> <p><b>If roosts or hibernacula are present:</b> implement Mitigation Measures BIO-5b and 5c.</p>	<p>Retain a qualified bat biologist to conduct pre-construction survey for bats and potential roosting sites in vicinity of planned activity.</p> <p>Halt construction if bats are discovered during construction until surveys can be completed and proper mitigation measures implemented.</p>	<p>Prior to tree pruning or removal or issuance of demolition, grading or building permits.</p>	<p>Qualified bat biologist retained by project sponsor(s)</p>	<p>CDD</p>

**133 Encinal Avenue Project Mitigation Monitoring and Reporting Program**

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<p><b>Mitigation Measure BIO-5b:</b> Avoidance. If any active nursery or maternity roosts or hibernacula of special-status bats are located, the subsequent development project may be redesigned to avoid impacts. Demolition of that tree or structure will commence after young are flying (i.e., after July 31, confirmed by a qualified bat biologist) or before maternity colonies forms the following year (i.e., prior to March 1). For hibernacula, any subsequent development project shall only commence after bats have left the hibernacula. No-disturbance buffer zones acceptable to the California Department of Fish and Game will be observed during the maternity roost season (March 1 through July 31) and during the winter for hibernacula (October 15 through February 15). Also, a no-disturbance buffer acceptable in size to the California Department of Fish and Game will be created around any roosts in the Project vicinity (roosts that will not be destroyed by the Project but are within the Plan area) during the breeding season (April 15 through August 15), and around hibernacula during winter (October 15 through February 15). Bat roosts initiated during construction are presumed to be unaffected, and no buffer is necessary. However, the "take" of individuals is prohibited.</p>	<p>If any active nursery or maternity roosts or hibernacula are located, no disturbance buffer zones shall be established during the maternity roost and breeding seasons and hibernacula.</p>	<p>Prior to tree removal or pruning or issuance of demolition, grading or building permits</p>	<p>Qualified bat biologist retained by project sponsor(s)</p>	<p>CDD</p>
<p><b>Mitigation Measure BIO-5c:</b> Safely evict non-breeding roosts. Non-breeding roosts of special-status bats shall be evicted under the direction of a qualified bat biologist. This will be done by opening the roosting area to allow airflow through the cavity. Demolition will then follow no sooner or later than the following day. There should not be less than one night between initial disturbance with airflow and demolition. This action should allow bats to leave during dark hours, thus increasing their chance of finding new roosts with a minimum of potential predation during daylight. Trees with roosts that need to be removed should first be disturbed at dusk, just prior to removal that same evening, to allow bats to escape during the darker hours. However, the "take" of individuals is prohibited.</p>	<p>A qualified bat biologist shall direct the eviction of non-breeding roosts.</p>	<p>Prior to tree removal or pruning or issuance of demolition, grading or building permits.</p>	<p>Qualified bat biologist retained by project sponsor(s)</p>	<p>CDD</p>

**133 Encinal Avenue Project Mitigation Monitoring and Reporting Program**

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<b>CULTURAL RESOURCES</b>				
<b><i>Impact CUL-1: The proposed Specific Plan could have a significant impact on historic architectural resources. (Potentially Significant)</i></b>				
<p><b>Mitigation Measure CUL-1:</b> Site Specific Evaluations and Treatment in Accordance with the Secretary of the Interior's Standards:</p> <p><b>Site-Specific Evaluations:</b> In order to adequately address the level of potential impacts for an individual project and thereby design appropriate mitigation measures, the City shall require project sponsors to complete site-specific evaluations at the time that individual projects are proposed at or adjacent to buildings that are at least 50 years old.</p> <p>The project sponsor shall be required to complete a site-specific historic resources study performed by a qualified architectural historian meeting the Secretary of the Interior's Standards for Architecture or Architectural History. At a minimum, the evaluation shall consist of a records search, an intensive-level pedestrian field survey, an evaluation of significance using standard National Register Historic Preservation and California Register Historic Preservation evaluation criteria, and recordation of all identified historic buildings and structures on California Department of Parks and Recreation 523 Site Record forms. The evaluation shall describe the historic context and setting, methods used in the investigation, results of the evaluation, and recommendations for management of identified resources. If federal or state funds are involved, certain agencies, such as the Federal Highway Administration and California Department of Transportation (Caltrans), have specific requirements for inventory areas and documentation format.</p>	<p>A qualified architectural historian shall complete a site-specific historic resources study. For structures found to be historic, specify treating conforming to Secretary of the Interior's standards, as applicable.</p>	<p>Simultaneously with a project application submittal.</p>	<p>Qualified architectural historian retained by the Project sponsor(s).</p>	<p>CDD <b>STATUS:</b> <b>COMPLETE:</b> The historic resource evaluation prepared by Corri Jimenez concludes that the existing buildings are not historically significant, and the project will not have an adverse effect on a historic resource, as the property is not eligible for the California Register of Historical Resources. Due to the fact that the property is not eligible for the Register, the project is not required under CEQA to comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving,</p>

### 133 Encinal Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<p><b><i>Treatment in Accordance with the Secretary of the Interior's Standards.</i></b> Any future proposed project in the Plan Area that would affect previously recorded historic resources, or those identified as a result of site-specific surveys and evaluations, shall conform to the Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995). The Standards require the preservation of character defining features which convey a building's historical significance, and offers guidance about appropriate and compatible alterations to such structures.</p>				Rehabilitating, Restoring, and Reconstructing Historic Buildings.
<b><i>Impact CUL-2: The proposed Specific Plan could impact currently unknown archaeological resources. (Potentially Significant)</i></b>				
<p><b>Mitigation Measure CUL-2a:</b> When specific projects are proposed that involve ground disturbing activity, a site-specific cultural resources study shall be performed by a qualified archaeologist or equivalent cultural resources professional that will include an updated records search, pedestrian survey of the project area, development of a historic context, sensitivity assessment for buried prehistoric and historic-period deposits, and preparation of a technical report that meets federal and state requirements. If historic or unique resources are identified and cannot be avoided, treatment plans will be developed in consultation with the City and Native American representatives to mitigate potential impacts to less than significant based on either the Secretary of the Interior's Standards described in Mitigation Measure CUL-1 (if the site is historic) or the provisions of Public Resources Code Section 21083.2 (if a unique archaeological site).</p>	<p>A qualified archeologist shall complete a site-specific cultural resources study.</p> <p>If resources are identified and cannot be avoided, treatment plans will be developed to mitigate impacts to less than significant, as specified.</p>	Simultaneously with a project application submittal.	Qualified archaeologist retained by the project sponsor(s).	<p>CDD</p> <p><b>STATUS:</b></p> <p><b>COMPLETE:</b> The cultural resource evaluation, prepared by Basin Research Associates concludes that the proposed project will have no impact on cultural resources.</p>

### 133 Encinal Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<b>Mitigation Measure CUL-2b:</b> Should any archaeological artifacts be found during construction, all construction activities within 50 feet shall immediately halt and the City must be notified. A qualified archaeologist shall inspect the findings within 24 hours of the discovery. If the resource is determined to be a historical resource or unique resource, the archaeologist shall prepare a plan to identify, record, report, evaluate, and recover the resources as necessary, which shall be implemented by the developer. Construction within the area of the find shall not recommence until impacts on the historical or unique archaeological resource are mitigated as described in Mitigation Measure CUL-2a above. Additionally, Public Resources Code Section 5097.993 stipulates that a project sponsor must inform project personnel that collection of any Native American artifact is prohibited by law.	<p>If any archaeological artifacts are discovered during demolition/construction, all ground disturbing activity within 50 feet shall be halted immediately, and the City of Menlo Park Community Development Department shall be notified within 24 hours.</p> <p>A qualified archaeologist shall inspect any archaeological artifacts found during construction and if determined to be a resource shall prepare a plan meeting the specified standards which shall be implemented by the project sponsor(s).</p>	Ongoing during construction.	Qualified archaeologist retained by the project sponsor(s).	CDD
<b>Impact CUL-4: Implementation of the Plan may cause disturbance of human remains including those interred outside of formal cemeteries. (Potentially Significant)</b>				
<b>Mitigation Measure CUL-4:</b> If human remains are discovered during construction, CEQA Guidelines 15064.5(e)(1) shall be followed, which is as follows:  * In the event of the accidental discovery or recognition of any human remains in any location other than a dedicated cemetery, the following steps should be taken:  1) There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until:	<p>If human remains are discovered during any construction activities, all ground-disturbing activity within the site or any nearby area shall be halted immediately, and the County coroner must be contacted immediately and other specified procedures must be followed as applicable.</p>	On-going during construction	Qualified archeologist retained by the project sponsor(s)	CDD

**133 Encinal Avenue Project Mitigation Monitoring and Reporting Program**

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<p>017</p> <p>a) The San Mateo County coroner must be contacted to determine that no investigation of the cause of death is required; and</p> <p>b) If the coroner determines the remains to be Native American:</p> <ol style="list-style-type: none"> <li>1. The coroner shall contact the Native American Heritage Commission within 24 hours;</li> <li>2. The Native American Heritage Commission shall identify the person or persons it believes to be the most likely descended from the deceased Native American;</li> <li>3. The most likely descendent may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.98; or</li> </ol> <p>2) Where the following conditions occur, the landowner or his authorized representative shall reburial the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance.</p> <ol style="list-style-type: none"> <li>a) The Native American Heritage Commission is unable to identify a most likely descendent or the most likely descendent failed to make a recommendation within 48 hours after being notified by the Commission.</li> <li>b) The descendant identified fails to make a recommendation; or</li> <li>c) The landowner or his authorized representative rejects the recommendation of the descendant, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.</li> </ol>				



# 133 Encinal Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
GREENHOUSE GASES AND CLIMATE CHANGE				
<b>Impact GHG-2: The Specific Plan could conflict with applicable plans, policies or regulations of an agency with jurisdiction over the Specific Plan adopted for the purpose of reducing the emissions of GHGs. (Significant)</b>				
<b>Mitigation Measure GHG-2a:</b> All residential and/or mixed use developments of sufficient size to require LEED certification under the Specific Plan shall install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces provided. Per the Climate Action Plan the complying applicant could receive incentives, such as streamlined permit processing, fee discounts, or design templates.	Install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces	Simultaneous with project application submittal	Project sponsor(s)	CDD

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### 133 Encinal Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<b>HAZARDOUS MATERIALS</b>				
<b><i>Impact HAZ-1: Disturbance and release of contaminated soil during demolition and construction phases of the project, or transportation of excavated material, or contaminated groundwater could expose construction workers, the public, or the environment to adverse conditions related to hazardous materials handling. (Potentially Significant)</i></b>				
<p><b>Mitigation Measure HAZ-1:</b> Prior to issuance of any building permit for sites where ground breaking activities would occur, all proposed development sites shall have a Phase I site assessment performed by a qualified environmental consulting firm in accordance with the industry required standard known as ASTM E 1527-05. The City may waive the requirement for a Phase I site assessment for sites under current and recent regulatory oversight with respect to hazardous materials contamination. If the Phase I assessment shows the potential for hazardous releases, then Phase II site assessments or other appropriate analyses shall be conducted to determine the extent of the contamination and the process for remediation. All proposed development in the Plan area where previous hazardous materials releases have occurred shall require remediation and cleanup to levels established by the overseeing regulatory agency (San Mateo County Environmental Health (SMCEH), Regional Water Quality Control Board (RWQCB) or Department of Toxic Substances Control (DTSC) appropriate for the proposed new use of the site. All proposed groundbreaking activities within areas of identified or suspected contamination shall be conducted according to a site specific health and safety plan, prepared by a licensed professional in accordance with Cal/OHSA regulations (contained in Title 8 of the California Code of Regulations) and approved by SMCEH prior to the commencement of groundbreaking.</p>	<p>Prepare a Phase I site assessment.</p> <p>If assessment shows potential for hazardous releases, then a Phase II site assessment shall be conducted.</p> <p>Remediation shall be conducted according to standards of overseeing regulatory agency where previous hazardous releases have occurred.</p> <p>Groundbreaking activities where there is identified or suspected contamination shall be conducted according to a site-specific health and safety plan.</p>	<p>Prior to issuance of any grading or building permit for sites with groundbreaking activity.</p>	<p>Qualified environmental consulting firm and licensed professionals hired by project sponsor(s)</p>	<p>CDD</p>
<b><i>Impact HAZ-3: Hazardous materials used on any individual site during construction activities (i.e., fuels, lubricants, solvents) could be released to the environment through improper handling or storage. (Potentially Significant)</i></b>				
<p><b>Mitigation Measure HAZ-3:</b> All development and redevelopment shall require the use of construction Best Management Practices (BMPs) to control handling of hazardous materials during construction to minimize the potential negative effects from accidental release to groundwater and soils. For projects that disturb less than one acre, a list of BMPs to be implemented shall be part of building specifications and approved of by the City Building Department prior to issuance of a building permit.</p>	<p>Implement best management practices to reduce the release of hazardous materials during construction.</p>	<p>Prior to building permit issuance for sites disturbing less than one acre and on-going during construction for all project sites</p>	<p>Project sponsor(s) and contractor(s)</p>	<p>CDD</p>

**133 Encinal Avenue Project Mitigation Monitoring and Reporting Program**

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<b>NOISE</b>				
<b><i>Impact NOI-1: Construction activities associated with implementation of the Specific Plan would result in substantial temporary or periodic increases in ambient noise levels in the Specific Plan area above levels existing without the Specific Plan and in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies. (Potentially Significant)</i></b>				
<p><i>Mitigation Measure NOI-1a:</i> Construction contractors for subsequent development projects within the Specific Plan area shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures, and acoustically attenuating shields or shrouds, etc.) when within 400 feet of sensitive receptor locations. Prior to demolition, grading or building permit issuance, a construction noise control plan that identifies the best available noise control techniques to be implemented, shall be prepared by the construction contractor and submitted to the City for review and approval. The plan shall include, but not be limited to, the following noise control elements:</p> <p>* Impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for construction shall be hydraulically or electrically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler shall achieve lower noise levels from the exhaust by approximately 10 dBA. External jackets on the tools themselves shall be used where feasible in order to achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever feasible;</p> <p>* Stationary noise sources shall be located as far from adjacent receptors as possible and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or other measures to the extent feasible; and</p>	<p>A construction noise control plan shall be prepared and submitted to the City for review.</p> <p>Implement noise control techniques to reduce ambient noise levels.</p>	<p>Prior to demolition, grading or building permit issuance</p> <p>Measures shown on plans, construction documents and specification and ongoing through construction</p>	<p>Project sponsor(s) and contractor(s)</p> <p>Project sponsor(s) and contractor(s)</p>	<p>CDD</p> <p>CDD</p>

### 133 Encinal Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
* When construction occurs near residents, affected parties within 400 feet of the construction area shall be notified of the construction schedule prior to demolition, grading or building permit issuance. Notices sent to residents shall include a project hotline where residents would be able to call and issue complaints. A Project Construction Complaint and Enforcement Manager shall be designated to receive complaints and notify the appropriate City staff of such complaints. Signs shall be posted at the construction site that include permitted construction days and hours, a day and evening contact number for the job site, and day and evening contact numbers, both for the construction contractor and City representative(s), in the event of problems.				
<i>Mitigation Measure NOI-1c:</i> The City shall condition approval of projects near receptors sensitive to construction noise, such as residences and schools, such that, in the event of a justified complaint regarding construction noise, the City would have the ability to require changes in the construction control noise plan to address complaints.	Condition projects such that if justified complaints from adjacent sensitive receptors are received, City may require changes in construction noise control plan.	Condition shown on plans, construction documents and specifications. When justified complaint received by City.	Project sponsor(s) and contractor(s) for revisions to construction noise control plan.	CDD

### 133 Encinal Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<b>Impact NOI-3: The Specific Plan would introduce sensitive receptors to a noise environment with noise levels in excess of standards considered acceptable under the City of Menlo Park Municipal Code. (Potentially Significant)</b>				
<i>Mitigation Measure NOI-3:</i> Interior noise exposure within homes proposed for the Specific Plan area shall be assessed by a qualified acoustical engineer to determine if sound rated walls and windows would be required to meet the Title 24 interior noise level standard of 45 dBA, Ldn. The results of each study shall be submitted to the City showing conceptual window and wall assemblies with Sound Transmission Class (STC) ratings necessary to achieve the noise reductions for the project to satisfy the interior noise criteria within the noise environment of the Plan area.	Interior noise exposure assessed by qualified acoustical engineer and results submitted to City showing conceptual window and wall assemblies necessary to meet City standards.	Simultaneous with submittal for a building permit.	Project sponsors(s) and contractor(s)	CDD
<b>Impact NOI-4: The Specific Plan would expose sensitive receptors to substantial levels of groundborne vibration. (Potentially Significant)</b>				
<i>Mitigation Measure NOI-4:</i> Prior to project approval for development within 200 feet of the mainline track, a detailed vibration design study shall be completed by a qualified acoustical engineer to confirm the ground vibration levels and frequency content along the Caltrain tracks and to determine appropriate design to limit interior vibration levels to 75 VdB for residences and 78 VdB for other uses. If required, vibration isolation techniques could include supporting the new building foundations on elastomer pads similar to bridge bearing pads.	A qualified acoustical engineer to complete a vibration design study.	Simultaneous with submittal for a building permit	Qualified acoustical engineer retained by the project sponsor(s)	CDD

### 133 Encinal Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<b>TRANSPORTATION, CIRCULATION AND PARKING</b>				
<b>Impact TR-1: Traffic from future development in the Plan area would adversely affect operation of area intersections. (Significant)</b>				
Mitigation Measures TR-1a through TR-1d: (see EIR for details)	Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD
<b>Impact TR-2: Traffic from future development in the Plan area would adversely affect operation of local roadway segments. (Significant)</b>				
<div style="position: absolute; left: -100px; top: 50px; border: 1px solid black; border-radius: 50%; padding: 2px;">116</div> Mitigation Measure TR-2: New developments within the Specific Plan area, regardless of the amount of new traffic they would generate, are required to have in-place a City-approved Transportation Demand Management (TDM) program prior to project occupancy to mitigate impacts on roadway segments and intersections. TDM programs could include the following measures for site users (taken from the C/CAG CMP), as applicable: * Commute alternative information; * Bicycle storage facilities; * Showers and changing rooms; * Pedestrian and bicycle subsidies; * Operating dedicated shuttle service (or buying into a shuttle consortium); * Subsidizing transit tickets; * Preferential parking for carpoolers; * Provide child care services and convenience shopping within new developments; * Van pool programs; * Guaranteed ride home program for those who use alternative modes; * Parking cashout programs and discounts for persons who carpool, vanpool, bicycle or use public transit; * Imposing charges for parking rather than providing free parking; * Providing shuttles for customers and visitors; and/or * Car share programs.	Develop a Transportation Demand Management program.	Submit draft TDM program with building permit. City approval required before permit issuance. Implementation prior to project occupancy.	Project sponsor(s)	PW/CDD
<b>Impact TR-7: Cumulative development, along with development in the Plan area, would adversely affect operation of local intersections. (Significant)</b>				
Mitigation Measures TR-7a through TR-7n: (see EIR for details)	Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD
<b>Impact TR-8: Cumulative development, along with development in the Plan area would adversely affect operation of local roadway segments. (Significant)</b>				
Mitigation Measure TR-8: Implement TR-2 (TDM Program).	See Mitigation Measure TR-2.			



**Lin, Jean P**

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**From:** John Onken <johnonken27@gmail.com>  
**Sent:** Sunday, September 07, 2014 8:44 AM  
**To:** Lin, Jean P  
**Subject:** 133 Encinal Town Homes application

Jean:

I'm writing you as an adjoining resident to this application, not as planning commissioner. There are a number of specific concerns that I think warrant sending the plans back to the applicant and requiring revision.

- The new townhouses are taller than almost all of our houses on Stone Pine, by one story in most cases, and because of our short gardens, they're only **30'** away from our rear bedrooms. The main living spaces of the townhomes are focused to the rear of the houses, so both our privacy and theirs will be seriously compromised. Their orientation of living spaces to face directly into the single-aspect habitable rooms of Stone Pine Lane creates an un-mitigated problem which could be corrected by the re-siting and redesign of the house.
- The Downtown Specific Plan, which is the template for this development allows for the extra height of these units if the developer promises to make a proportion of the units BMR but it is not clear whether this undertaking has been made. Surely the community would welcome the developer to not grab the extra height for the modest profit margin a handful of BMR units will net.
- The Specific Plan also zones this parcel as 'Mixed Use.' The intent of the plan for the larger parcels has been to create vibrancy and community by having mixed-use developments throughout our community, and this site is a good example of where some nice small retail or offices could be mixed with housing facing Encinal. The developer has instead chosen to go with 100% single-family housing which even though allowed by the letter of the plan, is certainly not what the spirit of the plan was hoping to achieve. We're now looking at another example of a Specific Plan Project that's creating unexpected consequences (like 26 new Encinal School Families who can't be accommodated) showing the flaws and loopholes in the plan rather than the benefits for the community. Can we push the developer to go back to some kind of mixed-use model?
- 

I hope you get a chance to move the developers away from this poorly thought out plan and we get a development that works for everyone.

Thanks,

John Onken  
192 Stone Pine Lane, Menlo Park  
I



**Lin, Jean P**

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**From:** JOHN ONKEN <johnonken27@gmail.com>  
**Sent:** Monday, September 22, 2014 9:23 AM  
**To:** Lin, Jean P  
**Subject:** Re: 133 Encinal Town Homes application  
**Attachments:** 133 Encinal revised plan.pdf

Jean:

Please find attached an alternative site layout for which I'd be grateful if you could forward to the applicant. The layout shows the whole development shunted forward to the front setback line to give an acceptable setback between their rear houses and the existing living spaces on Stone Pine Lane. Their rear drive has also been reduced to the same width and building spacing as the front units.

I also note that even though their arborist recommended a 25' protection fence around the heritage oak, their plans significantly cut into that zone. I've shown the full 25' fence in this plan, and suggested that the loss of one unit could be compensated by making a larger split unit on the end.

Thanks and I look forward to seeing the developer's alternatives and changes as this progresses.

John Onken

On Mon, Sep 15, 2014 at 9:45 AM, Lin, Jean P <jplin@menlopark.org> wrote:

Hi John,

I spoke with the applicant about your concerns, and they are open to considering alternative site layouts. It would be helpful if you could forward any sketches of your suggested site layout(s) to me, and I will forward them to the applicant.

Thanks,

Jean Lin

Associate Planner

City of Menlo Park

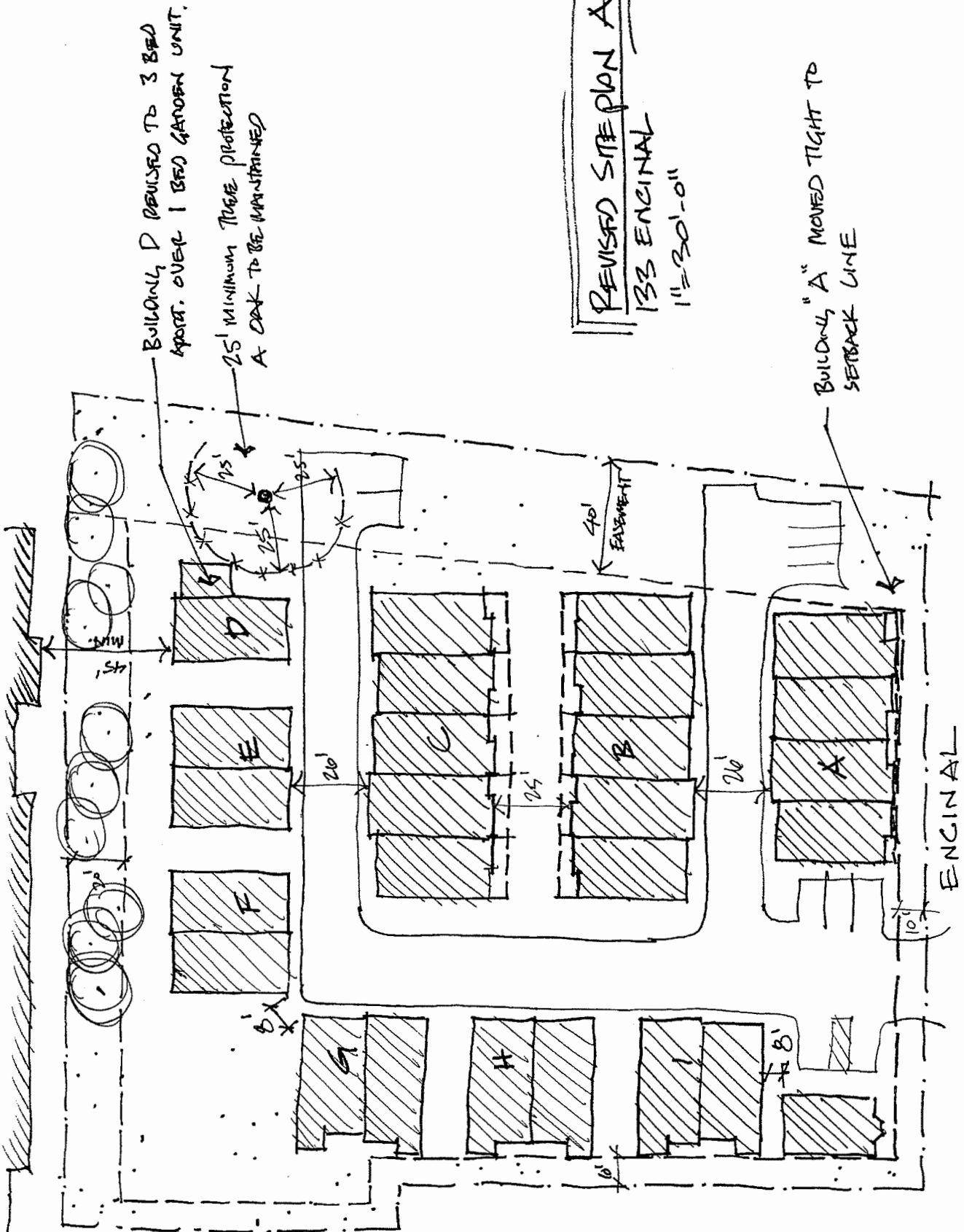
701 Laurel Street

Menlo Park, CA 94025

phone (650) 330-6735



M3



REVISED SITE PLAN A  
133 ENGICAL  
1"=30'-0"

**Lin, Jean P**

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**From:** Deke Hunter <Deke@hunterproperties.com>  
**Sent:** Wednesday, April 29, 2015 9:45 PM  
**To:** JOHN ONKEN  
**Cc:** Lin, Jean P; Bianka Skubnik; In Lee; Ursula Feusi; Jason Thrasher; Scott Phillips; Fin O'Hara; ali@box.com  
**Subject:** Re: 133 Encinal

Thank you John for your letter and I understand your desire to further widen the rear set back. Our limitation is the required fire truck width on the driveway side, so the request is not easily resolved. We have been working with staff to satisfy some other requirements, and will circle back to you and the neighbors shortly.

Thank you,  
Deke Hunter  
Hunter Properties Inc.  
(408) 255-4100  
[deke@hunterproperties.com](mailto:deke@hunterproperties.com)

On Apr 29, 2015, at 1:15 PM, JOHN ONKEN <[johnonken27@gmail.com](mailto:johnonken27@gmail.com)> wrote:

Jean/Deke:

RE: 133 Encinal Proposals, Hunter Properties

Deke Hunter of Hunter Properties graciously presented a revised site plan on March 30th to myself and the immediate neighbours of Stone Pine Lane bordering the rear of his site. We were shown revised site plan, landscaping, and elevations for some of the buildings. We have not seen the recently revised submission on record with the City but have been assured by Deke Hunter that these would be the same. Our comments are as follow:

- We greatly appreciate that Hunter Properties has listened to our concerns and made moves to accommodate them by redesigning the rear of the site. The three x three-story duplex townhouses along the rear of the property have been eliminated and substituted with a block of three x two-story townhouses and the relocation of the community building. The townhomes have reduced fenestration where facing the rear at their upper floor so as to prevent potential privacy conflicts. The reduced height to two stories and the relocation of the Carriage House also are an improvement to the feeling of overcrowding and unacceptable mass and bulk presented in the original site development plan.
- The rear facades of the buildings remain at 21' from the rear property line. Although this is behind the rear setback prescribed in the recommendations of the DSP, it is still unacceptable as it relates to the existing neighborhood character. All of the townhomes on Stone Pine Lane are oriented with the living

spaces facing Southeast to the subject property, all within 10' to 14' from the property boundary. The separating resulting in the proposals creates a distance of 32' to 36' which we seriously object to. Strategies for increasing this separation we presented to Hunter Properties originally which have not been adapted, other than moving the building line by 1'. This minimal separation remains an unacceptable situation.

- A draft landscape plan was also presented. There was the suggestion that the large heritage Oak at the east of the property may be considered for removal, which we would seriously object to as would our wider community. The landscape plan also showed little to no boundary screening planting along the rear property line in question. Deke Hunter proposed that landscape screening could be mutually negotiated, but we believe it essential that screening is on the landscape plan submitted, and not left to a staff condition after action is taken on the Use Permit. Please ensure that good screening is shown on the landscape plan.

Deke Hunter has promised to erect story poles for the rear-most building on the site to model the effect of the mass along the property line. They have not yet been erected, but we're hopeful that this happens soon to give everyone a better understanding of the proposal.

In summary, improvements have been made to the scheme but more needs to be done to consider this acceptable to the neighborhood and compliant with the DSP in respecting neighborhood character.

Many Thanks,

John Onken



Lin, Jean P

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**From:** Bianka <bskubnik@gmail.com>  
**Sent:** Tuesday, September 16, 2014 3:29 PM  
**To:** Lin, Jean P  
**Cc:** Bressler, Vincent; Combs, Drew; Eiref, Ben; Ferrick, Katie; Kadvany, John; Katherine Strehl; Onken, John; Phillips Scott  
**Subject:** Response to the proposed 133 Encinal Avenue Project  
  
**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Jean and copy to Menlo Park Planning Commission Members:

It appears clear that the proposed plans for 133 Encinal Avenue Project have been formulated to maximize the development under the allowable limits of SP-ECR/D zoning with little to no consideration for the intended spirit of the plan, nor consideration of how the proposed development shall impact the established neighboring properties.

As owners of an adjacent property on Stone Pine Lane we would wish to voice the following concerns:

**Privacy** – The proposed units in general are higher than most of the units along Stone Pine Lane. This combined with the fact that most of our rear yards are shallow means that the proximity of rear facing windows seriously compromises the privacy of both the new and established units. In the specific case of the last two Stone Pine residences (nearest Caltrain) the problem is further aggravated due to the fact that these units are only two stories. The new development is approximately twice as high as these units. Additionally, the second floor living/great room windows of the new units are essentially 31' away and almost directly in line with our master bedrooms. The site plan appears to propose the planting of shrubbery. This does not mitigate the privacy problem as plants are a temporary solution (they may move, die or not be maintained) and they are unlikely to screen two and three stories high.

**Building Shadow** – The height of the proposed structures impacts morning sun and visual field from the back patios of the Stone Pine units. The end effect being that summer sun in the Stone Pine back patios is reduced by more than half. In addition, the depth of the open space between structures being less than the height would provide an unpleasant "sitting in a canyon" environment in what are currently pleasant patios.

**Character of the Neighborhood** – The proposed finishing elements (gables, rafters, siding, "allied arts" -like style...) are not in line with the contemporary, primarily stucco finishing of the Stone Pine residences nor the Mediterranean style Davis Polk building. Not to mention that it appears that the lowest cost finishing materials appear to have been selected. The proposed residential units also have a higher bedroom/square footage ratio (4br/≤2000) contributing to a perception of density. By contrast the existing units on Stone Pine being average approximately 2400 sq. ft. and tend to be 3 bedroom units. The unique nature of the Stone Pine/Forest/Buckthorn developments has been described as "loft" like. Furthermore, the adjacent Stone Pine and Felton Gables neighborhoods are all individually owned single family residences.

**Oak Tree** – The parcel has at least one magnificent oak with a robust canopy. It is unconscionable that such a mature and majestic tree should be removed or drastically damaged to facilitate construction, especially in a city that prides itself on its tree heritage. The proposed site plan shows a significant reduction in the tree canopy, which currently extends some 40 feet, and Building D located about 14 feet from the trunk. Construction will impact not only the canopy but also the root system thereby compromising the tree. Lastly, there also appear to be owls nesting in the oak tree.

**The Specific Plan** – The 100 % residential proposal allows for no "Mixed Use" developments and yet does not need to follow residential zoning requirements. It also remains unclear as to how many and which units are to be "Below Market Rate".

1 M6



**Traffic and Schools** – With the addition of 26 units, traffic along Encinal Avenue and load on the school system will increase. An impact assessment has yet to be provided.

It is our belief that the aforementioned concerns make the currently proposed plan unacceptable and stand to have a major negative impact the value of the neighboring properties.

Thank you for your attention,

**Bianka Skubnik & Scott Phillips**

**188 Stone Pine Lane**



**Lin, Jean P**

---

**From:** Peri Caylor <pericaylor@sbcglobal.net>  
**Sent:** Saturday, September 27, 2014 5:46 PM  
**To:** Lin, Jean P  
**Subject:** Hunter/133 Encinal Development Comment

Dear Jean,

Thanks again for responding to my questions about the proposed development at 133 Encinal. The following thoughts are meant to facilitate thoughtful discussion of potential adjustments to the plans.

I like the project's overall design, but I'm concerned its height may feel too urban for the site. Ideally, the design's scale and bearing should align well visually with that of a suburban village, not a vertical cityscape. An example of a successful development, in my view, is the series of townhomes integrated into the 19<sup>th</sup> Avenue corridor of San Francisco. All stand side by side, like the other homes on the busy street, and are of comparable height, with facades and color schemes that complement the existing housing. There is little planting, but that is in keeping with the neighborhood. Given that the homes on Encinal do not have a vertical profile, most being one and two story, I wonder whether there is a suitable compromise on height. Could the developers' goals be achieved with two or two-and-a-half story homes? You might point out that many of the homes on Stone Pine Lane are three story. However, the Park Forest community is physically confined by a horseshoe formed by two streets, and thus has no impact on surrounding neighborhoods (with the exception of a few homes on Buckthorn).

I'd also like to mention that the Specific Plan calls for mixed-use development. While I don't object to a purely residential project, I wonder whether some portion of the property could include retail spaces that would serve not only residents but others in the neighborhood. My sense is that Encinal is not well-designed to carry much additional traffic, a possible factor in the decision to build housing alone. This leads to my last point.

Please carefully consider traffic patterns and safety when planning any additional street parking. Visibility for drivers entering and driving along Encinal is already hampered by cars parked along the curb. The street is well traveled by cyclists, and families with young children, particularly during the morning rush hour.

I would appreciate your consideration of my feedback.

Sincerely,

Peri Caylor  
510-376-4379



**Lin, Jean P**

---

**From:** In Lee <inlee.123@gmail.com>  
**Sent:** Sunday, September 28, 2014 2:21 PM  
**To:** Lin, Jean P  
**Cc:** Mueller, Raymond; Carlton, M.Catherine; Cline, Richard A; Keith, Kirsten; Ohtaki, Peter I  
**Subject:** Letter in Opposition to Proposed Development at 133 Encinal Avenue  
**Attachments:** 180 Stone Pine Letter.pdf

Dear Jean,

My name is In Lee and I am the owner of 180 Stone Pine Lane. Attached please find my letter to the Planning Commission in opposition to the proposed development at 133 Encinal Avenue.

As a directly impacted home owner, I would appreciate it if you could keep me updated as to the status of the proposed development at 133 Encinal Avenue.

Thank you and best regards,  
In

In Lee  
180 Stone Pine Lane  
Menlo Park, CA 94025  
Tel: 650-425-3955  
Email: [inlee.123@gmail.com](mailto:inlee.123@gmail.com)

September 26, 2014

City of Menlo Park Planning Commission  
Attention: Jean Lin, Associate Planner

Re: Opposition to Proposed Development at 133 Encinal Avenue

Dear Jean,

This letter is to voice my strong opposition to the currently proposed development at 133 Encinal Avenue (the "***Proposed Development***").

From my review of the plans for the Proposed Development, I understand that the new townhouses will be built to a height of 38 feet with a distance of approximately 30 feet or less from my building. I also understand that the main living spaces in each applicable townhouse will be built facing my home. My townhouse is less than 30 feet high.

The height of the proposed townhouses in comparison to mine and distance of such townhouses from my own home will lead to 2 unacceptable results:

First, of utmost concern is the privacy issue. The first and second stories of my home have floor to ceiling windows. We also have waist height (or lower) windows in the bedrooms facing the Proposed Development. The higher sight lines in the new townhouses due to the greater height of these new townhouses in comparison to my home will result in the residents of the Proposed Development being able to look down into the entirety of my living room, dining room and 2 out of 3 bedrooms. The inside of my home will effectively be subject to outside surveillance 24/7.

Second, also of grave concern is the fact that the additional height of the new townhouses and their proximity to my building will likely result in my home being cast in shadow for the entire morning until midday. As mentioned previously, the windows facing 133 Encinal Avenue are extremely large to take advantage of the great amount of morning sunlight and the unrestricted views when 133 Encinal Avenue was Roger Reynolds Nursery. If the new townhouses are built as proposed, my living room and dining room are unlikely to receive any direct sunlight.

I am also concerned about the impact the Proposed Development will have on the local neighborhood and the school district. Although I was greatly saddened when Roger Reynolds Nursery suddenly closed its doors, I was very hopeful when I learned that 133 Encinal Avenue was zoned for mixed use. 133 Encinal Avenue would be an ideal plot to develop as a mix of light retail and residential. Given the right mix of stores, I think it would also help to reduce some traffic along El Camino Real and make the neighborhood more walkable.

MID

I was dismayed when I learned that the Proposed Development would not only be exclusively residential but also rental properties. I think adding 26 purely residential units to the neighborhood will materially add to traffic congestion in the area. More importantly, I currently have a first grader in Encinal Elementary and a preschooler. I know first-hand the strain that the Menlo Park City School District is experiencing in trying to absorb the rapidly expanding student body. The addition of 26 new residential units will only exacerbate this problem. As 4-bedroom townhouses, it is very likely that each unit will be occupied by families with at least 1 (if not more likely 2 or more) students. The Menlo Park City School District is greatly dependent on donations from its student families in order to provide the level of education that it is famous for. Currently the Menlo Park-Atherton Education Foundation is requesting annual donations of at least \$1,500 per student and the Encinal Elementary School PTO is requesting \$250 per student annually. I am concerned that the renters in the Proposed Development, as short term residents of Menlo Park, will not have any incentives to make these voluntary donations towards their students' education and the permanent residents will end up having to bear the burden of these free riders. Additionally, I don't know enough about how rental property owners are taxed but I would expect that in the aggregate the Menlo Park City School District will receive less in property tax revenues from a single rental development vs. if each unit in the Proposed Development were taxed individually. I would appreciate it if you could confirm whether the Planning Commission specifically analyzed the long term potential impact of these 26 large family rental units would have on the neighborhood and school district, and if so, what conclusions it made in this regard.

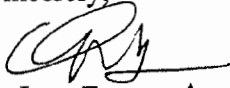
For the reasons stated above, I oppose the Proposed Development because it will not only materially and adversely impact the use of my home by my family on a daily basis but I also believe it will materially and adversely impact the value of my home.

As a resident of Menlo Park's El Camino Real and downtown area, I am a supporter of the Specific Plan (and an opponent of Measure M) and firmly believe that the Specific Plan, when thoughtfully and carefully implemented by the Planning Commission, will greatly help revitalize this part of Menlo Park. That said, although the Proposed Plan may fit within the letter of the Specific Plan, I do not believe that it fits in the spirit and the broader goals of the Specific Plan. I strongly urge the Planning Commission to reject the Proposed Development.

MII

As a resident who is directly impacted by the Proposed Development, I would greatly appreciate it if the Planning Commission could keep me updated on any developments with respect to 133 Encinal Avenue, including any scheduled meeting.

Sincerely,



In Lee, Esq.

cc: Ray Mueller, Mayor  
Catherine Carlton, May Pro Tem  
Richard Cline, Councilmember  
Kirsten Keith, Councilmember  
Peter Ohtaki, Councilmember

M12



**Ursula Feusi**  
**184 Stone Pine Lane**  
**Menlo Park, CA 94025**  
**Tel: 650.996.5113**  
**Email: ufeusi@sbcglobal.net**

**RECEIVED**

SEP 29 2014

CITY OF MENLO PARK  
BUILDING

September 26, 2014

City of Menlo Park Planning Commission  
Attention: Jean Lin, Associate Planner

Re: Proposed Hunter Properties/133 Encinal Avenue

Dear Jean:

As the homeowner of 184 Stone Pine Lane for the past 32 years, I am writing to voice my strong opposition to the currently proposed development at 133 Encinal Avenue.

Over these many years we enjoyed the privacy, open/green space, the beauty of heritage trees and the serenity the former Roger Reynolds Nursery had offered our neighborhood. These factors played an important part in our decision not to relocate. Instead, we invested a substantial amount into renovating our home throughout. I felt greatly saddened when our beloved Nursery suddenly closed its doors, but were hopeful then, that a Buyer/Developer would propose a project "compatible" with our existing residential neighborhood.

Having said that, and after reviewing the Proposed Development Plans, I am alarmed to see that the Proposed Development directly facing the back of our homes will be built to a height of 38 feet (most Stone Pine Lane townhouses are less than 30 feet high). Furthermore, the distance between the proposed development and my home is approximately 30 feet.

These factors present a serious compromise on our Privacy and Quality of Life. The first and second stories of my home have soaring 16 feet floor to ceiling windows, overlooking a well designed and often used patio, directly facing the former Roger Reynolds Nursery. The third floor, existing of the Master Suite/Master Bathroom with a wall of 8 feet sliding doors leading to a balcony overlooking the proposed development. The additional height of these townhouses, coupled by the shallow distance between the properties will result in the residents of the proposed new townhouses being able to look in/and down the entirety of our living and bedroom quarters. That would leave us with NO Privacy in our home.

M13

#### Building Shadow/Loss of Light.

If the townhouses are built with the proposed additional height and proximity to my property, my living area with its wall of tall windows, will no longer receive any sunlight, something we enjoyed for the past many years. In addition, our newly designed back patio/garden would have no personal value to us and a costly re-design would be necessary. Most of the sunlight would be blocked by the height and proximity of the proposed buildings.

#### Removal of 7 Heritage Trees.

The proposed plans ask for the removal of 7 heritage trees. Please clarify which trees are affected. I am mostly concerned about the mature oak tree with a vast canopy by Building D.

The Specific Plan zones this parcel as "Mixed Use". Although the proposed plans for 133 Encinal Avenue may be within the letter of the Downtown Specific Plan, I do not believe the Proposed Plan fits IN THE SPIRIT and GOALS of the Specific Plan. I view the 133 Encinal Avenue site as an ideal parcel to develop as a "Mixed Use" project, where light retail and/or small offices could be mixed with Residential.

As a concerned resident who is directly impacted by the Proposed Development, I ask the Planning Commission to seriously consider the above stated concerns and have the Developer present a re-design/re-sitting of the proposed property. Also ask the Developer to present plans for a 2-story complex, allowing for deeper set-backs for the rear development facing the residential community of Stone Pine Lane.

The proposed 133 Encinal Avenue proposal is not only negatively affecting the Quality and Privacy aspect of our lives, it also is having a major negative impact on the value of our home. I strongly oppose the proposed Development Plan and I welcome a meeting with the Developer, together with our other concerned neighbors.

Thank you for your attention.



Ursula Feusi

cc: Ray Mueller, Mayor  
Catherine Carlton, Mayor Pro Tem  
Richard Cline, Councilmember  
Kristen Keith, Councilmember  
Peter Ohtaki, Councilmember

# Regarding the proposed development of the former Roger Reynolds Nursery site.

RECEIVED

SEP 29 2014

CITY OF MENLO PARK  
BUILDING

Dear Jean and Menlo Park Planning Commission Members:

We, the undersigned, would like to express our collective concerns over the impact to our neighborhood of the 133 Encinal Avenue Project proposal.

While the proposed project may be within the letter of the Downtown Specific Plan it has little to no consideration for the intended spirit of the plan, the impacts on the surrounding neighborhoods or the Downtown Vision Plan.

The developer has opted for a purely residential model on a parcel that might well be suited for a mix of some small retail or office along Encinal Avenue. The density of the units provides little in the way of "Open Space" and the impact of 26 residential units on schools and traffic has not been evaluated. In light of the fact that the parcel does not front onto El Camino Real and does abut residential zones, the development intensity should also be a factor in planning.

The proposed units are taller than almost all the backing units along Stone Pine Lane and the separation between the new and existing units is some 31 to 36 feet. This presents a serious compromise to privacy on both parts as the bedrooms and living areas are situated at the rear. The size and proximity of the new units also stands to shadow the relatively shallow back patios of our beautiful homes.

The character and finishing of the proposed units is not in line with the surrounding structures; contemporary Park Forest, Mediterranean Davis Polk & Wardwell, and detached single family Felton Gables. While there is a smaller scale rental community on the facing side of Encinal Avenue, the Park Forest and Felton Gables neighborhoods are single family owned units.

Lastly, the plan calls for the removal of heritage trees and a severe impact on the mature oak tree on the site.

**It is our belief that these concerns make the currently proposed plan unacceptable and that it shall have a major negative impact the value of the neighboring properties. We urge a re-design/re-siting of the current proposal.**

Thank you for your attention.

Name	Address	Signature
Deborah Koelling	1611 Stone Pine Ln MP	Deborah Koelling
Carmen McSwain	181 Forest Lane MP	Carmen McSwain
Niane Ely	172 Stone Pine Ln.	Niane Ely
Maria Teusi	184 Stone Pine Ln.	Maria Teusi
Blanka Slubnit	188 Stone Pine Lane	Blanka Slubnit

Regarding the proposed development of the former Roger Reynolds Nursery site. (Continued)

Name	Address	Signature
ELZA KEET	138 Stone Pine Lane	Elza C. Keet
THEO KEET	138 Stone Pine Ln	Theo Keet
LINDA EDWARDS	161 STONE PINE LN.	Linda S Edwards
Michael EDWARDS	161 STONE PINE LN.	Michael S Edwards
Anjali Patel	160 Stone Pine LN.	A Patel
Ln Lee	180 Stone Pine Ln.	Ln Lee
MARTIN MAZNER	183 STONE PINE LN	Martin Mazner
Ruth MAZNER	183 Stone Pine Ln	Ruth Mazner
JASON THRASHER	176 STONE PINE LN.	Jason Thrasher
Ali Ghotbi	170 Stone Pine LN	Ali Ghotbi
Angela Ghotbi	170 Stone Pine Ln	Angela Ghotbi
Katherine Parker	187 Stone Pine Lane	Katherine Parker
Ralph Parker	187 Stone Pine Lane	Ralph Parker
Susan Flax	111 Forest Lane	Susan Flax
JOHN DAVID FORTER	151 FOREST LN	John David Forter
Milce Brady	191 Forest Ln	Milce Brady
Hillary Eason	171 Forest Ln.	Hillary Eason
Alfred Glover	1651 Stone Pine Ln	Alfred Glover
Martin Engel	1621 " " "	Martin Engel
Wm. KAMIN	169 Stone Pine Ln	Wm. Kamin
BRAE ANKER	165 STONE PINE LN.	Brae Anker
MARCIA COX	133 Stone Pine Ln	MARCIA COX
Denise H. Brown	140 Stone Pine Ln	Denise H. Brown
Deborah	1761 Stone Pine Ln	Deborah

## Regarding the proposed development of the former Roger Reynolds Nursery site.

**Dear Jean and Menlo Park Planning Commission Members:**

We, the undersigned, would like to express our collective concerns over the impact to our neighborhood of the 133 Encinal Avenue Project proposal.

While the proposed project may be within the letter of the Downtown Specific Plan it has little to no consideration for the intended spirit of the plan, the impacts on the surrounding neighborhoods or the Downtown Vision Plan.

The developer has opted for a purely residential model on a parcel that might well be suited for a mix of some small retail or office along Encinal Avenue. The density of the units provides little in the way of "Open Space" and the impact of 26 residential units on schools and traffic has not been evaluated. In light of the fact that the parcel does not front onto El Camino Real and does abut residential zones, the development intensity should also be a factor in planning.

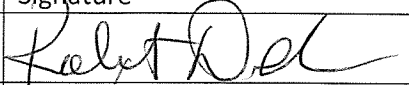
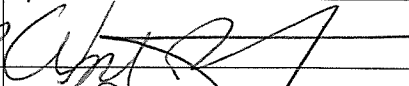
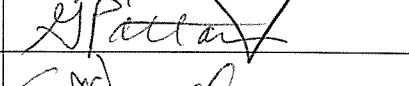


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The character and finishing of the proposed units is not in line with the surrounding structures; contemporary Park Forest, Mediterranean Davis Polk & Wardwell, and detached single family Felton Gables. While there is a smaller scale rental community on the facing side of Encinal Avenue, the Park Forest and Felton Gables neighborhoods are single family owned units.

Lastly, the plan calls for the removal of heritage trees and a severe impact on the mature oak tree on the site.

**It is our belief that these concerns make the currently proposed plan unacceptable and that it shall have a major negative impact the value of the neighboring properties. We urge a re-design/re-siting of the current proposal.**

Thank you for your attention.

Name	Address	Signature
Robert Dehn	1661 Stone Pine Ln MP	
WILLIAM ANDERSON	141 FOREST LANE	
Glenna Patton	190 Forest Lane	
S. Neville	1600 Forest Lane	
J. Reveno	1751 Stone Pine	

**Regarding the proposed development of the former Roger Reynolds Nursery site. (Continued)**

[illegible]



Regarding the proposed development of the former Roger Reynolds  
Nursery site. (Continued)

Name	Address	Signature
Richard Bertman	186 Buckhorn Way	Richard Bertman
Diane Levine	186 Buckhorn Way	Diane Levine
Pearl Graves	135 Stone Pine Lane	Pearl Graves
Cecilia Luitz	154 Buckhorn Way, MP	Cecilia Luitz
Michael Golub	150 Forest Ln. MP	Michael Golub
Linda Golub	150 Forest Ln. MP	Linda Golub
VALI MASKATIYA	148 Stone Pine Ln. M.P.	VALI MASKATIYA
Nathan Gylor	179 Stone Pine Ln. MP	Nathan Gylor
Randy Gylor	179 Stone Pine	Randy Gylor
TEJ GUGOLZ	188 Stone Pine Lane MP	TEJ GUGOLZ
Shelley Evenson	1701 Stone Pine Lane	Shelley Evenson
LORELI TRIPPEL	154 Stone Pine Lane	Loreli Trippel
JOHN ONKEN	192 Stone Pine Lane, MP	John Onken
STAFF PHILLIPS	188 Stone Pine Lane	Staff Phillips
Claire Kwan	141 Stone Pine Ln	Claire Kwan
Karl Zinn	152 Stone Pine Lane	Karl Zinn
Richard Trihy	152 Stone Pine Lane	Richard Trihy
JACK AJLUNI	142 Stone Pine Ln	Jack Ajluni

Regarding the proposed development of the former Roger Reynolds  
Nursery site. (Continued)

Additional Comments:

Comment	Signature
<div style="text-align: center;">M19</div>	

Michael J. Brady  
191 Forest Lane  
Menlo Park, CA 94025  
650-780-1724  
[Michael.brady@rmkb.com](mailto:Michael.brady@rmkb.com)

June 29, 2015

Dear City Officials of Menlo Park:

I am a resident of Menlo Park and live on Forest Lane, immediately north of Roger Reynolds Nursery. I write to urge the PRESERVATION of the eleven historic heritage trees on the old Roger Reynolds property. I do not think I was given proper notice as an adjoining property owner on land formerly owned by the nursery. These trees are magnificent and irreplaceable. They epitomize why Menlo Park is called the City of Trees.

These trees pose no physical or property damage danger to anyone. The only thing they imperil is the ability of the developer to make more money—an unacceptable excuse to destroy them. All of our neighborhood (Park Forest I, II, and III, comprised of 110 homes), and Felton Gables love to look up and see these towering specimens with their dark green piercing the blue sky. These are the trees that California is famous for. Indeed, much of Park Forest I, II, and III was built on former Roger Reynolds property, and we have a magnificent Heritage Tree Grove in our park in Park Forest I. This dates back to W. W. II.

This developer can just re-design its project around the trees. The developer will make less money, but that is the way it has to be when considering environmental and similar matters. Maybe you can excuse him from some of your affordable housing requirements to make up for it. Why don't you investigate that? The properties (apartments) will have increased value if you preserve the trees, making up for any "loss" on the developer's part.

Menlo Park already faces loss of its trees from an aggressive Cal Train, bent on bringing HSR to the Peninsula. Let's don't have the city directly cooperating with the developer to destroy eleven of our greatest treasures which DO NOT HAVE TO COME DOWN!

Many in Menlo Park are already broken-hearted over the closure of Roger Reynolds, a town institution for a century; we are also unhappy over the increasing disappearance of nurseries in San Mateo County. Saving these trees will be a fitting reminder of what the CITY OF TREES is famous for. Live up to your motto!

Michael J. Brady



RECEIVED

JUL 14 2015

City Clerk's Office  
City of Menlo Park

Dear City Council, City Planning Commission, and Environmental Quality Commission,

I am a resident of the Park Forest community and the city of Menlo Park. I have heard that commercial development of the Reynolds property on Encinal proposes to down 11 Heritage trees. I vigorously oppose this!!!

The beauty of Menlo is in the existing trees which live in the city. IF you allow this selective removal of this valuable part of our environment Menlo will become another barren California city devoid of much of its beauty. I am sure you are aware that trees allow for birds and other wildlife to exist in an urban setting and this is what adds to the value of life in Menlo Park

There are alternatives in design that allow buildings to be situated in settings without destroying the landscape.

Please consider.. "the environment is not something we pass along to our children it is something we borrow from them"

Sincerely

Fritz Yambrach

151 Stone Pine Lane

PS please forward this note to the appropriate committees

--

Fritz Yambrach PhD.

Professor and Director of Packaging

San Jose State University

408-924-7193



Lin, Jean P

---

**From:** Scott Phillips <phillips.d.scott@gmail.com>  
**Sent:** Thursday, July 16, 2015 3:08 PM  
**To:** Lin, Jean P  
**Cc:** Bianka; ufeusi@sbcglobal.net  
**Subject:** Re: 133 Encinal Project  
**Attachments:** Oak&Poles.JPG

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Jean,

Thanks for your assistance on clarifying these points. I would like to point out that the new story poles make it clear that there would need to be major pruning of the large oak tree. I have always been concerned that the tree did not seem to be accurately placed on the plans. I have enclosed a photo that clearly show the further story pole extending into the canopy. Given that this pole represents the ridge line the front half of the roof will clearly extend well into the canopy. Presumably this would also compromise the roots.

We will raise this with Hunter Properties, but I thought this should also be pointed out to the city.

Thanks,  
Scott Phillips  
188 Stone Pine Lane

On Wed, Jul 15, 2015 at 7:10 PM, Lin, Jean P <jplin@menlopark.org> wrote:

Hi Bianka,

Thanks for your feedback. I've forwarded your message to the applicant and asked that they circle back with you and the Stone Pine Lane neighbors regarding the issues you've identified below, which they've agreed to do, so you will be hearing from them. As Ursula and Diane had previously brought up these same issues, I am copying Ursula on this email. Please see my response in ***bold italics*** below.

As an update, we just received revised plans from the applicant yesterday. The plans are available for review in our offices now (same location, and previous plan versions are still available at our front counter), and I will be sending out an update to the neighbors early next week.

Thanks,

Jean Lin



Associate Planner

City of Menlo Park

701 Laurel Street

Menlo Park, CA 94025

phone (650) 330-6735

email jplin@menlopark.org

www.menlopark.org

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**From:** Bianka [mailto:[bskubnik@gmail.com](mailto:bskubnik@gmail.com)]

**Sent:** Thursday, July 02, 2015 4:49 PM

**To:** Lin, Jean P

**Cc:** Phillips Scott

**Subject:** 133 Encinal Project

Hi Jean,

It's been a few months since we've connected. There has been some recent activity on the site – mainly some clearing up of debris (still in progress). While it is good to see that the lot is being cleaned up I'd like to raise a couple of concerns with you:

- A while back, we Stone Pine residents requested Hunter properties to set up some story poles so that we could see the potential impact of the re-planned units. The poles were erected but there were also two sets (one closer to the fence and one further). We had requested clarification from Deke as to the two distances and have not received any elaboration. The story poles have since been removed.

*The applicant informed me that the poles were accidentally taken down by the clean-up crew, and that they intend to re-erect them. In talking to Ursula and having gone out to the site to view the poles myself, it does appear that it is not entirely clear what the three poles represented. I have asked the applicant to provide clarification on the heights of the poles as well as the setbacks shown.*



- The re-planned units (Building D) while lowered to 2 stories remains higher than our two end units and is actually 2 ft **closer** to the fence than the original plan. The objection to the initial plan was both for height of structures and their proximity to the fence.

*Noted. It appears the rear setback was reduced in order to accommodate a wider driveway for fire truck circulation. That said, Building D does meet the required setback, and we do not have any mechanism to require a larger setback. You may, however, negotiate a larger setback with the applicant.*

- Also speaking as the second unit from the end with the closest proximity to the proposed structures, we are now centered on a block of three units. Looking out from our living area, bedroom and back patio sightlines are almost entirely the three unit structure. When the story poles were up, the negative impact was clearly evident.

*One potential solution I had discussed with Ursula and Diane was to soften up the rear elevation by breaking up the massing and giving it a more residential design, versus unbroken first- and second-story walls. We're working with the applicant to address this.*

- Lastly, (I believe that you may have already discussed this with Ursula) when the story poles were present it appeared very much as though the unit closest to the track interferes with the Oak tree canopy. I realize the Oak is intended to be preserved, but wouldn't construction severely damage the canopy and roots, thus put the tree at risk.

*The intent is to fully retain this oak tree, as it was one of the initial concerns expressed by the neighborhood. As we refine the project, the City Arborist will continue to review any potential construction impacts and tree preservation measures to ensure that this tree and other trees are retained in good condition during and post-construction. The Environmental Quality Commission had also expressed a desire to implement measures to ensure the health of trees to be retained throughout the site. Preservation of the oak tree and two groves of trees in the rear are definitely crucial to the project.*

Please share any updates that you may have from Deke.

Regards,

Bianka Skubnik & Scott Phillips

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