



## REGULAR MEETING AGENDA

**Date:** 2/22/2016  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

**A. Call To Order**

**B. Roll Call**

**C. Reports and Announcements**

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

**D. Public Comment**

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

**E. Consent Calendar**

- E1. Approval of minutes from the January 25, 2016 Planning Commission meeting. ([Attachment](#))

**F. Public Hearing**

- F1. Use Permit/Cheryl Cheng/760 Hobart Street:  
Request for a use permit to demolish an existing single-story residence and construct a new two-story residence with a basement on a substandard lot as to lot width in the R-1-S (Single Family Suburban Residential) zoning district. This item was continued from the meeting of January 11, 2016, with direction for redesign. ([Staff Report #16-010-PC](#))
- F2. Use Permit/Judith Wilson/220 Robin Way:  
Request for a use permit to add a secondary dwelling unit to an existing detached accessory building that is a nonconforming structure on a lot located in the R-1-U (Single-Family Urban Residential) zoning district. The value of the work would exceed 75 percent of the replacement value of the existing structure in a 12-month period. ([Staff Report #16-011-PC](#))
- F3. Use Permit/Greg Klein/1215 Valparaiso Avenue:  
Request for a use permit to demolish an existing single-story, single-family residence and construct

a new two-story, single-family residence on a substandard lot with regard to lot width in the R-E (Residential Estate) zoning district. The proposal also includes a request to allow the combined square footage of all accessory buildings and structures to exceed 25 percent of the square footage of all levels of the main building, and request to allow an accessory building to be located on the front half of the lot. ([Staff Report #16-012-PC](#))

- F4. Use Permit/Justin Young/435 University Drive:  
Request for a use permit to partially demolish, remodel, and construct first- and second-story additions to an existing single-story, single-family residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban Residential) zoning district. The proposal would exceed 50 percent of the existing floor area on the lot and is considered equivalent to a new structure. ([Staff Report #16-013-PC](#))
- F5. Use Permit/Eugene Sakai/311 O'Keefe Street: Request for a use permit to demolish an existing single-story residence and construct a new two-story residence on a substandard lot with respect to lot width in the R-1-U (Single Family Urban Residential) zoning district. ([Staff Report #16-014-PC](#))

## **G. Public Meeting**

- G1. Housing Element Annual Report/City of Menlo Park:  
Opportunity to consider and provide comments and/or a recommendation to the City Council on the 2015 Annual Report on the status and progress in implementing the City's Housing Element (2015-2023). ([Staff Report #16-015-PC](#))

## **H. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual G. Informational Items**

- H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: March 7, 2016
  - Regular Meeting: March 21, 2016
  - Regular Meeting: April 11, 2016

## **I. Adjournment**

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at [www.menlopark.org](http://www.menlopark.org) and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at [menlopark.org/notifyme](http://menlopark.org/notifyme). Agendas and staff reports may also be obtained by contacting the Planning Division at 650-330-6702. (Posted: 2/18/16)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on

any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



## REGULAR MEETING MINUTES - DRAFT

**Date:** 1/25/2016  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

### A. Call To Order

Chair John Onken called the meeting to order at 7:00 p.m.

### B. Roll Call

**Present:** Andrew Combs, Katie Ferrick, Susan Goodhue, John Kadvany, Larry Kahle, John Onken (Chair), Katherine Strehl (Vice Chair)

**Staff:** Thomas Rogers, Principal Planner; Tom Smith, Associate Planner

### C. Reports and Announcements

Principal Planner Thomas Rogers reported that the City Council at their January 12 meeting approved the 133 Encinal Avenue project for 24 new residential units on the former Roger Reynolds Nursery site.

### D. Public Comment

- Mr. Gerry Andeen – noted it is an El Nino year and presented his thoughts on possible solutions for flood control related to the San Francisquito Creek including using existing small lakes as reservoirs to manage the input of water to the Creek as well as using site water holding methods.

### E. Consent Calendar

- E1. Approval of minutes from the December 14, 2015 Planning Commission meeting. ([Attachment](#))

Chair Onken noted that Commissioner Goodhue had suggested modifications to the minutes.

**ACTION:** Motion and second (Strehl/Ferrick) to approve the minutes with the following modifications; passes 7-0.

- Page 1, under “Reports and Announcements,” 3<sup>rd</sup> paragraph, last sentence: Delete “and” between “pedestrian” and “crossing”
- Page 8, 4<sup>th</sup> paragraph, last sentence: Replace “Commissioner Strehl” with “Commissioner Goodhue”



## F. Public Hearing

- F1. Use Permit/Ying-Min Li/1980 Santa Cruz Avenue:  
Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot area and lot width in the R-1-U (Single Family Urban) zoning district. In addition, one heritage plum tree (15.9-inch diameter), in poor condition, at the front right side of the property, and one heritage privet tree (17.9-inch diameter), in poor condition, at the rear left side of the property, would be removed. (Staff Report #16-003-PC)

Staff Comment: Associate Planner Tom Smith said he had provided the Commissioners a replacement Sheet A6. He said staff noticed after preparation of the agenda packet that Sheet A6's streetscape diagram showed the previous design proposal and not the current proposal.

Applicant Presentation: Mr. Rick Hartman, Hometec Architecture, Inc., said the project description letter described the five items that were changed on the design based on the Planning Commission's direction. He said the landscape plan in the packet did not show the correct replacement trees as it was the previously proposed plan and not the currently proposed plan. He said the replacement trees were shown accurately in the architectural plan on A1. He said the landscape plan was the previous one and not the currently proposed one.

In response to questions from Commissioner Kahle, Mr. Hartman said the two, second-story, front-facing gables had a Hardie product shingle siding and he was happy to eliminate the corner boards on the shingled area of the front- and rear-facing gables.

Chair Onken opened the public hearing. There being no public comment, he closed the public hearing.

Commission Comment: Commissioner Kahle said he appreciated the project ceiling height reduction to nine-feet.

Commissioner Ferrick moved to approve the use permit as recommended in the staff report. Commissioner Strehl seconded the motion. Principal Planner Rogers asked about the elimination of the gable corner boards requested by Commissioner Kahle. Commissioners Ferrick and Strehl, as the makers of the motion and second, confirmed their approval should include the corner boards modification requested by Commissioner Kahle.

**ACTION:** Motion and second (Ferrick/Strehl) to approve the use permit request as recommended in the staff report with the following modification; passes 7-0.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:

- a. Development of the project shall be substantially in conformance with the plans prepared by Hometec Architecture, Inc., consisting of 11 plan sheets, dated received on January 11, 2016, and approved by the Planning Commission on January 25, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
  - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
  - g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.
4. Approve the use permit subject to the following **project-specific** condition:
- a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised elevations indicating that no corner boards will be used on the two front gables and one rear gable featuring shingle siding.

- F2. Use Permit/Ana Williamson/420 Claire Place:  
Request for a use permit to partially demolish, remodel, and construct first- and second-story additions to an existing single-story, single-family nonconforming residence on a substandard lot with regard to depth in the R-1-S (Single-Family Suburban Residential) zoning district. The proposed expansion and remodeling would exceed 50 percent of the replacement value of the existing structure in a 12-month period and requires approval of a use permit by the Planning Commission. ([Staff Report #16-004-PC](#))

Commissioner John Kadvany recused himself as his residence is located within 500 feet of the subject property.

Staff Comment: Associate Planner Smith said staff had no additions to the staff report.

Applicant Presentation: Mr. Ken Drazan, property owner, said they had chosen to remodel and update remodeling efforts made by prior owners, and to maintain the existing heritage trees rather than do a larger project.

Chair Onken opened the public hearing. There being no public comment, he closed the public hearing.

Commission Comment: Commissioner Ferrick said it was a thoughtful design. Chair Onken said it was a supportable project.

Commissioner Kahle asked the applicant about the massing noting it was mainly on one side. Ms. Ana Williamson, project architect, said new construction on the left side was impossible because of a heritage tree. She said they looked at different ways of adding the 750 square feet desired and found it could be accommodated on the right side. She said that allowed for lifting up the volume of the first floor living space and not having a second story at the center of the house.

**ACTION:** Motion and second (Kahle/Ferrick) to approve the item as recommended in the staff report; passes 6-0 with Commissioner Kadvany recused.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Ana Williamson Architect, consisting of 16 plan sheets, dated received on January 11, 2016, and approved by the Planning Commission on January 25, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.

- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance

- F3. Development Agreement Annual Review/Bohannon Development Company/101-155 Constitution Drive and 100-190 Independence Drive (Menlo Gateway Project):  
Annual review of the property owner's good faith compliance with the terms of the Development Agreement for the Menlo Gateway (Bohannon Hotel & Office) project. ([Staff Report #16-005-PC](#))

Staff Comment: Associate Planner Smith said the applicant had a presentation for the Commission.

Applicant Presentation: Mr. David Bohannon, project applicant, said over the past year they had solidified their relationship with Ensemble and AECOM, who will develop the hotel. He said the hotel will be a four star Marriott product called an Autograph. He said demolition has begun on the Independence site and they were well into their permitting efforts. He said the project was underway. He provided the Commission with a visual presentation of renderings of the proposed project.

Mr. Matthew Stevens, President and CEO of Bay Club, made a video presentation about the Bay Club. He said they currently have 25 properties with half of those in Northern California and half in Southern California. He said this project would be a 40,000 square foot facility providing fitness and hospitality services. He said they would also have a restaurant, open to the public, called Café Vita featuring fresh CalMex cuisine.

Mr. Jack Highwart, Cuningham Group Architects, made a presentation with visual images on the hotel project architecture, landscape and interior plans.

Replying to questions from Commissioner Ferrick, Mr. Bohannon said there had been no change to building heights and he did not anticipate needing any further extension for the project. He said they were in the permitting process and conferring with a team person noted the grading permit was applied for currently; next they would apply for the foundation permit and then in May for the building permit.

Chair Onken opened the public hearing.

- Sarah Staley Schenk – a Suburban Park resident and Vice President of the Suburban Park Neighborhood Association commented that their neighborhood was the highest density residential area in proximity to the project. She requested mitigations for impacts to their neighborhood including for noise and light impacts from this project and others in the M-2 zoning district.

Chair Onken closed the public hearing.

Commission Comment: Commissioner Ferrick thanked Ms. Schenk for her comments noting they were acquaintances. She said that the buildings recently constructed on Commonwealth Avenue were visible from the Suburban Park residential area despite the distance between the buildings, which was why she asked about any changes to this project's building height.

Commissioner Strehl commended the applicant and moved to make a determination that the property owner has demonstrated good faith compliance with the provisions of the Development Agreement for the period of January 2015 through January 2016. Commissioner Kadvany seconded the motion and made comments regarding the creativity of the project design.

Chair Onken confirmed with staff that flood plain measures were included in the project design.

**ACTION:** Motion and second (Strehl/Kadvany) to make a determination that the property owner has demonstrated good faith compliance with the provisions of the Development Agreement for the period of January 2015 through January 2016; passes 7-0.

## **G. Informational Items**

G1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.

- Regular Meeting: February 8, 2016
- Regular Meeting: February 22, 2016
- Regular Meeting: March 7, 2016

## **H. Adjournment**

Chair Onken adjourned the meeting at 8:08 p.m.

Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett



## STAFF REPORT

### Planning Commission

**Meeting Date:** 2/22/2016

**Staff Report Number:** 16-010-PC

**Public Hearing:** Use Permit/Cheryl Cheng/760 Hobart Street

### Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to demolish an existing single-story residence and construct a new two-story residence with a basement on a substandard lot as to lot width in the R-1-S (Single Family Suburban Residential) zoning district. The recommended actions are contained within Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

On January 11, 2016, the Planning Commission reviewed an initial version of the proposal for the subject property. The Planning Commission continued the use permit application with direction to modify the plans. In particular, the Commission requested a redesign of the project, specifically with regard to reducing the prominence of the garage, modifying the front gable and shed roof, and a creating a more cohesive roof plan. The Planning Commission's approved January 11 minutes are available as Attachment G, and a selection of the earlier project plans are included as Attachment H.

### Analysis

#### *Site location*

The subject site is located at 760 Hobart Street, between Santa Cruz Avenue and Middle Avenue. A location map is included as Attachment B. The subject parcel is surrounded on all sides by single-family homes that are also in the R-1-S zoning district. There is a mix of one and two-story single-family residences surrounding the project site which feature architectural styles including ranch, farmhouse, mission and craftsman style homes.

#### *Project description*

The applicant is proposing to demolish an existing single-story, single-family residence and construct a new two story residence with a new basement. On the basement level, there would be a bedroom and bathroom, office and game room connected to a lightwell, a sitting room adjacent to the game room and another lightwell, a laundry room, wine cellar, an additional half-bathroom, and an exercise room. The exterior lightwell stairs would ascend to the first floor level at the rear yard adjacent to the kitchen. At the first floor, the front covered porch would open to a foyer which would lead to the hall, living room, dining



room which would connect to the family room, the interior stairway and the kitchen nook. The first floor would also feature a guest bedroom, and bathroom, and a mud room. The second floor would have two bedrooms, two bathrooms, a master bathroom, and a master bedroom with a walk-in closet. The proposed residence would have five bedrooms and five bathrooms, two half-bathrooms, where one bedroom and one and a half-bathroom would be on the first floor.

The house is proposed to be 27 feet 6 inches in height, below the maximum permissible height of 28 feet, and the proposed structure would comply with daylight plane requirements. A data table summarizing parcel and project attributes is included as Attachment C. Relative to the original proposal, the FAL (Floor Area Limit) has not changed significantly, although the building coverage has increased slightly due to the enlargement of the front porch. However, building coverage would still be well below the maximum that may be permitted. The project plans, and the applicant's project description letter and summary of public outreach, are included as Attachments D and E, respectively.

### ***Design and materials***

The revised proposal for the new residence, with some slight adjustments, would maintain many of the same materials and finishes as the previous design. The proposed residence would consist of a modern farmhouse style with a standing seam metal roof. The exterior material would be off-white painted vertical wood siding, with a mix of casement windows and bronze metal windows with simulated divided lites and minimal trim. All lightwells would have metal railings. The new home would have five bay windows on the first floor and three bay windows on the second floor. The changes made to the original design include the following:

- The second floor gable has been lowered from the ridge of the shed roof by two feet. The gabled garage roof has been lowered by one foot. Both front gables would have gable vents.
- The covered front porch would project seven feet into the front yard instead of the originally proposed five feet.
- The single garage door would be recessed with a wood trellis overhead, and would simulate a double garage door.
- The revised plans include a sheet (A4.3) that shows the original front elevation in comparison to the revised proposal.

Staff believes the revised covered porch, modified shed roof, and gable would provide some balance to the dimensions of the two-car garage and maintain visual compatibility with the surrounding neighborhood.

### ***Trees and landscaping***

The applicant has submitted an arborist report (Attachment F) detailing the species, size and conditions of the trees on or near the site, including four heritage size trees. As part of the initial project review, the arborist report was enhanced with additional analysis and specificity. None of the revisions to the proposal since the January 11 meeting would affect the substance of the report. Two heritage coast live oak trees (trees #16 and #17) are located on a neighboring property in their front yard near the left side property line of the subject parcel. Two additional heritage trees, one redwood and a coast live oak (trees #9 and #11) are located in the rear yard of the property. Three non-heritage size trees are proposed for removal.

The arborist report indicates that the heritage coast live oak trees would not be affected by the proposed project. The arborist states that proposed construction would be outside the drip lines of trees #16 and 17 and protective fencing would be installed at the trees' dripline. For trees #9 and #11 protective fencing would be installed along the path and lawn. The proposed site improvements should not adversely affect any of the trees as tree protection measures will be ensured through standard condition 3g and recommended condition 4a, which includes additional tree protection measures recommended by the City Arborist for trees #16 and 17.

### **Correspondence**

Staff has not received any items of correspondence on the proposed project.

### **Conclusion**

Staff believes the scale, materials, and style of the proposed residence are compatible with the neighborhood. Although the project would be a two-story residence, the applicant has taken measures to set the second floor in along the front and side elevations, lower the front gable and modify the roof to achieve more cohesive projections and articulations to reduce the perception of mass. The extended front porch, lower garage roof, and decorative elements like the gable vents and trellis would help deemphasize the garage as a design feature. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Planning Commission Minutes – January 11, 2016
- H. Original Project Plans (selection)



**Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

None

Report prepared by:

Michele T. Morris, Assistant Planner

Report reviewed by:

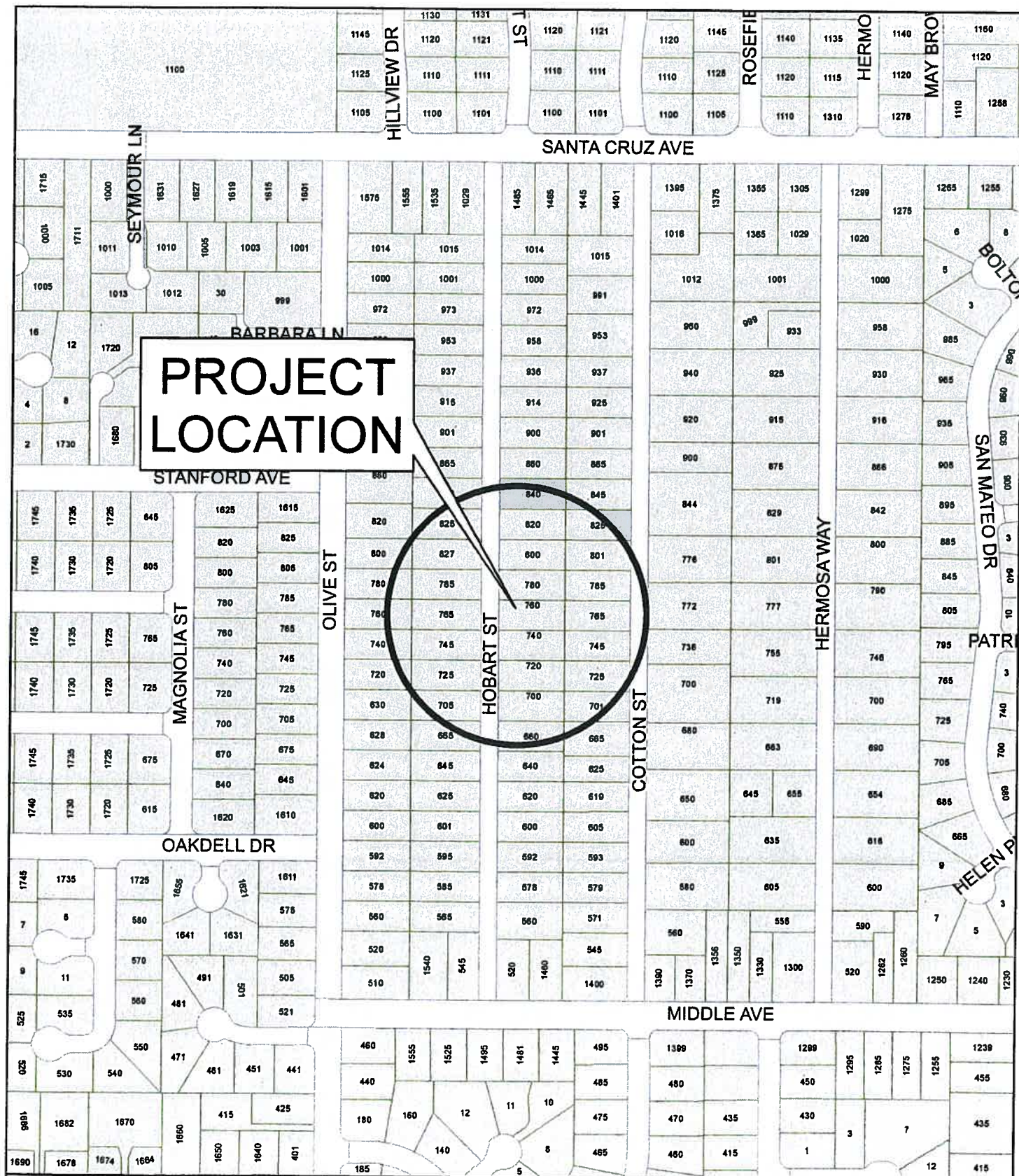
Thomas Rogers, Principal Planner

760 Hobart Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 760 Hobart Street	<b>PROJECT NUMBER:</b> PLN2015-00088	<b>APPLICANT:</b> Cheryl Cheng	<b>OWNER:</b> Cheryl Cheng
<b>REQUEST:</b> Use Permit/Cheryl Cheng/760 Hobart Street: Request for a use permit to demolish an existing single-story residence and construct a new two-story residence with a basement on a substandard lot as to lot width in the R-1-S (Single Family Suburban Residential) zoning district.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 22, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
<p><b>ACTION:</b></p> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions: <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Jonathan Jang Architect consisting of fifteen plan sheets, dated received February 10, 2016, and approved by the Planning Commission on February 22, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</li> </ol> </li> <li>4. Approve the use permit subject to the following <b>project-specific</b> conditions: <ol style="list-style-type: none"> <li>a. Simultaneous with the submittal of a complete building permit application, the applicant shall</li> </ol> </li> </ol>			

760 Hobart Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 760 Hobart Street	<b>PROJECT NUMBER:</b> PLN2015-00088	<b>APPLICANT:</b> Cheryl Cheng	<b>OWNER:</b> Cheryl Cheng
<b>REQUEST:</b> Use Permit/Cheryl Cheng/760 Hobart Street: Request for a use permit to demolish an existing single-story residence and construct a new two-story residence with a basement on a substandard lot as to lot width in the R-1-S (Single Family Suburban Residential) zoning district.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 22, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
<b>ACTION:</b>  submit a revised arborist report regarding trees numbered 16 and 17 and revised plans addressing the following, subject to the review and approval of the Planning Division: 1) Include the use of concrete pilings or stitch piers in the area where over excavation of basement will impede upon the drip line to include the following elements: a) Piers should be limited in diameter and quantity; b) The design will include the ability to adjust its position a few inches one way or the other to minimize root damage 2) Lower the threshold for tree root inspection by arborist prior to cutting from 3 inches to 2 inches; and 3) Install a temporary root protection pad (4 to 6 inch wood chips covered with ¾ inch plywood or alternative) under areas outside dripline.			



# CITY OF MENLO PARK

## LOCATION MAP

### 760 HOBART STREET

B1



DRAWN: KTP CHECKED: KTP DATE: 1/11/16 SCALE: 1" = 300' SHEET: 1



760 Hobart Street – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	10,688 sf	10,688 sf	10,000 sf min.
Lot width	70 ft.	70 ft.	80 ft. min.
Lot depth	152.7 ft.	152.7 ft.	100 ft. min.
Setbacks			
Front	20 ft.	25.1 ft.	20 ft. min.
Rear	20 ft.	25.6 ft.	20 ft. min.
Side (left)	10 ft.	9.9 ft.	10 ft. min.
Side (right)	10 ft.	6.7 ft.	10 ft. min.
Building coverage	2,689.1 sf	3,720 sf	3,740.8 sf max.
	25 %	34.8 %	35 % max.
FAL (Floor Area Limit)	3,721.8 sf	3,720 sf	3,722 sf max.
Square footage by floor	2,103 basement 2,082 sf/1 <sup>st</sup> 1,207.1 sf/2 <sup>nd</sup> 427.5 sf/garage 5.2 attic > 5ft 175 sf/porch 4.6 fireplace	3,250 sf/1st 470 sf/garage	
Square footage of building	6,004.4 sf	3,720 sf	
Building height	27.5 ft.	18.3 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered

Trees	Heritage trees	4*	Non-Heritage trees	12	New Trees	0
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	3	Total Number of Trees	17**

\*Two heritage trees are located on an adjacent property.

\*\*Four trees are located on adjacent properties.

RECEIVED

FEB 10 2016

CITY OF MENLO PARK  
PLANNING



VICINITY MAP

### SCOPE OF WORK

DEMOLITION OF AN EXISTING HOUSE AND CONSTRUCTION OF A NEW TWO STORY SINGLE FAMILY RESIDENCE WITH A FULL BASEMENT AND RELATED SITE WORK.

### DEFERRED SUBMITTALS

ROOF TRUSSES AND FIRE SPRINKLERS TO BE A DEFERRED SUBMITTAL.

### PROJECT DATA

PROJECT ADDRESS: 780 Hobart St, Menlo Park, CA

APH #: 071-232-280

TYPE OF CONSTRUCTION: V-S / SPRINKLED  
OCCUPANCY CATEGORY: R3-A  
ZONING: R1-0  
LOT SIZE: 10,888 sq. ft.

LOT COVERAGE:  
ALLOWED LOT COVERAGE (25%): 3,740.8 sq. ft.  
PROPOSED LOT COVERAGE:  
BARN FLOOR + GARAGE + FIRE PLACE + COVERED PORCH: 2,888.12 sq. ft. (25%)  
LOSE + 427.8 + 4.82 + 178 = 2,888.12 sq. ft.

FLOOR AREA LIMIT (FAL):  
ALLOWED 2,300 + 25% (10,888 - 7,000)  
2,300 + 25% (2,888) = 2,888 + 722 =

HOUSE MAIN FLOOR AREA: 2,082.0 sq. ft.  
UPPER FLOOR AREA: 1,207.1 sq. ft.  
GARAGE FLOOR AREA: 427.8 sq. ft.  
ATTIC AREA ABOVE 8': 5.2 sq. ft.

TOTAL BLDG FLOOR AREA: 3,721.8 sq. ft. ≤ 3,722

BASEMENT FLOOR AREA: 2,108 sq. ft.  
(Not included in floor area calculations)

COVERED FRONT PORCH: 178 sq. ft.

FIRE PLACE: 4.82 sq. ft.

CANTILEVERED WOOD BAYS: 51.8 sq. ft.

MAX. BLDG HEIGHT ALLOWED: 28'-0" 27'-0" PROPOSED

2-COVERED PARKING SPACES PROVIDED

PAVED AREAS - DRIVEWAY - PATHS - TERRACE - LIGHTWELL - STAIRS: 1,331 sq. ft. (12%)

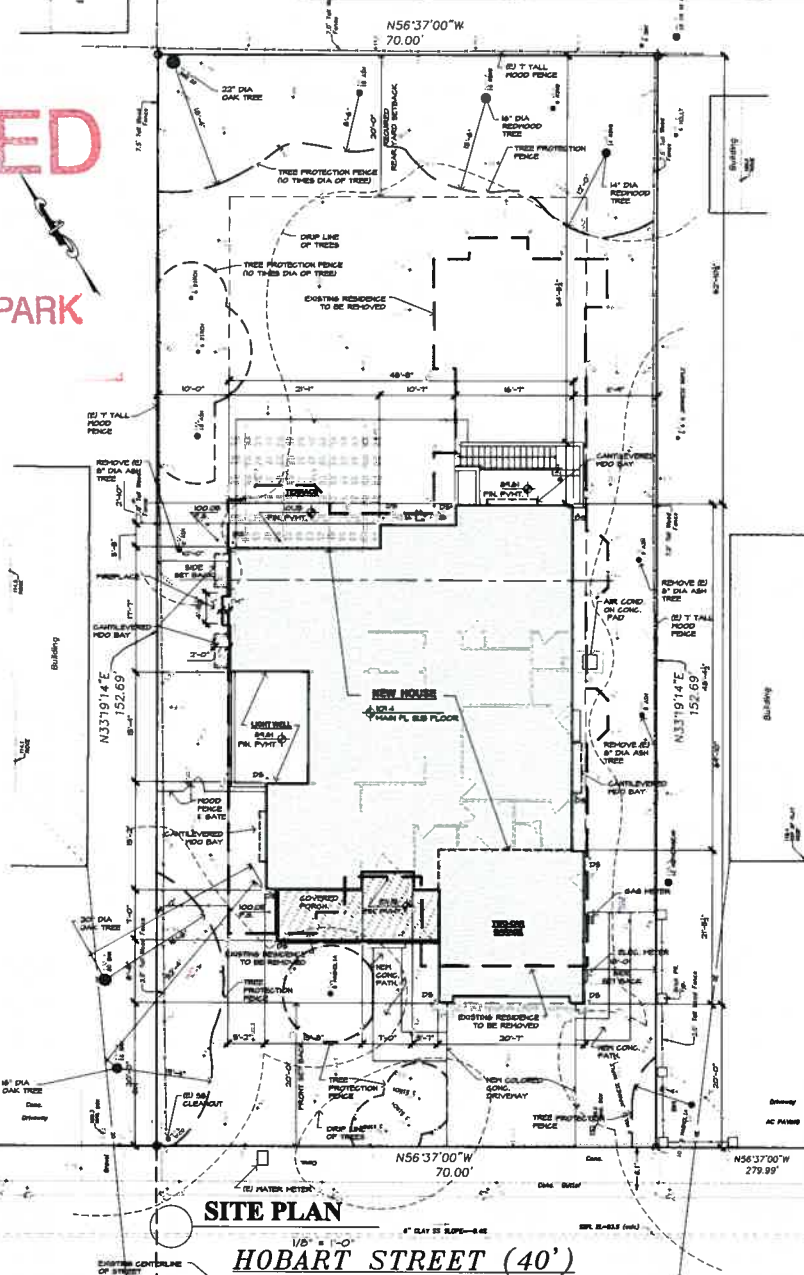
LANDSCAPED AREAS: 2,289 sq. ft. (21%)

### SHEET INDEX:

- A1.0 - SITE PLAN / PROJECT DATA
- C.1 - TOPOGRAPHIC SURVEY
- A1.1 - AREA PLAN
- N.1 - CONTEXTUAL SITE PLAN & STREETScape ELEV.
- A2.1 - MAIN FLOOR PLAN
- A2.2 - UPPER FLOOR PLAN
- A2.3 - BASEMENT FLOOR PLAN
- A2.4 - ROOF PLAN
- A2.5 - MAIN FLOOR AREA CALCULATIONS
- A2.6 - UPPER FLOOR AREA CALCULATIONS
- A3.1 - BUILDING SECTIONS
- A3.2 - BUILDING SECTIONS
- A4.1 - BUILDING ELEVATIONS
- A4.2 - BUILDING ELEVATIONS
- A4.3 - PREVIOUS AND NEW FRONT ELEVATIONS

### GOVERNING CODES:

CBC	California Building Code	2013
CRC	California Residential Code	2013
CEC	California Electrical Code	2013
CPC	California Plumbing Code	2013
CMC	California Mechanical Code	2013
	California Green Building Standards Code (CalGreen)	2013
CEC	California Energy Code	2013



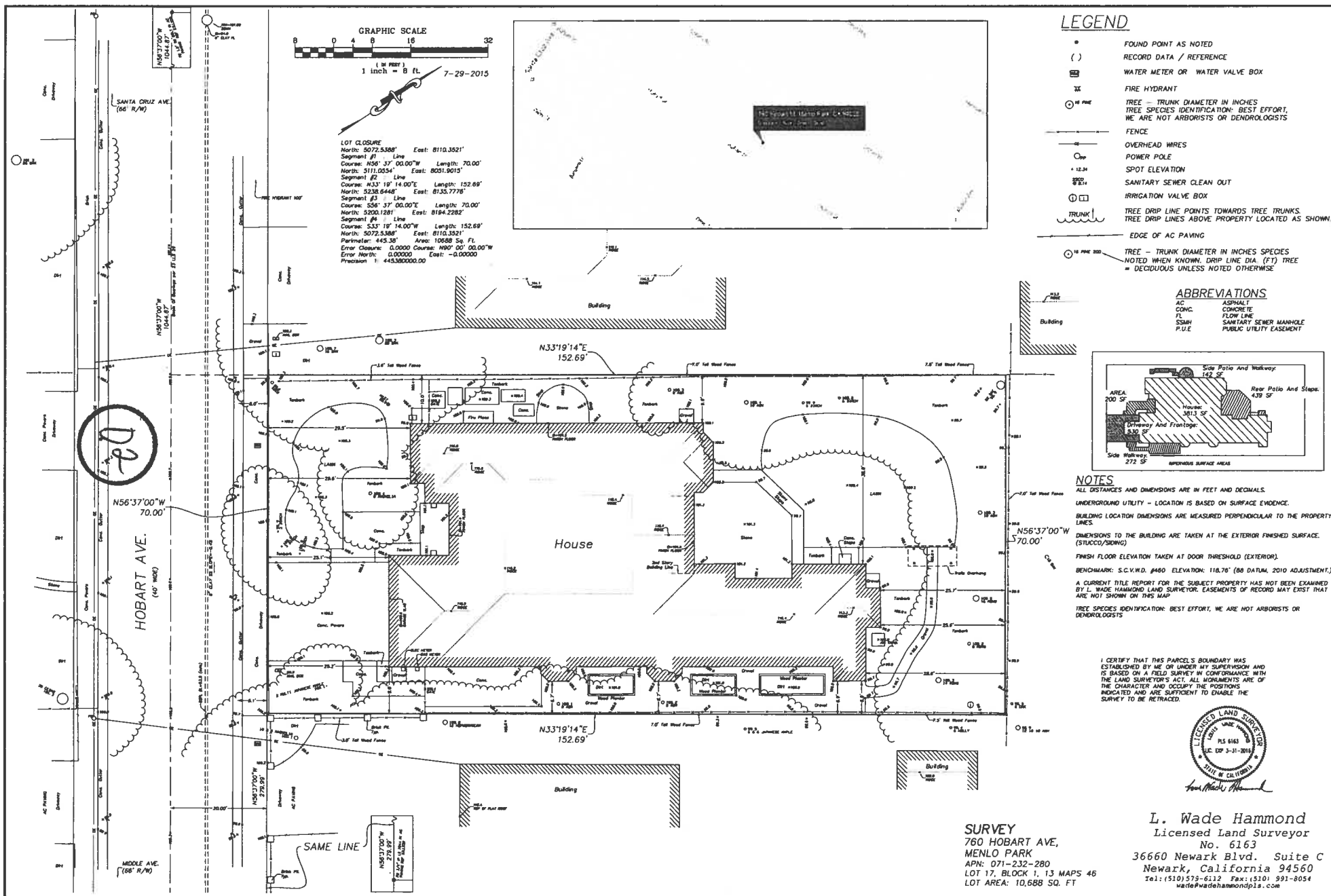
SITE PLAN

1/8" = 1'-0"  
HOBART STREET (40')



NEW RESIDENCE  
**CHENG**  
780 HOBART STREET  
MENLO PARK, CA

PROJECT  
PAID  
DATE  
JOB NO.  
A1.0



[illegible]

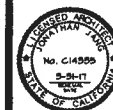
**AREA PLAN: 760 HOBART STREET**  
SCALE: 1"=20'-0"

[illegible]

ARCHITECT

JOHN THALE  
JANIS

10 Maple Street  
Newport City, RI  
02840-1234

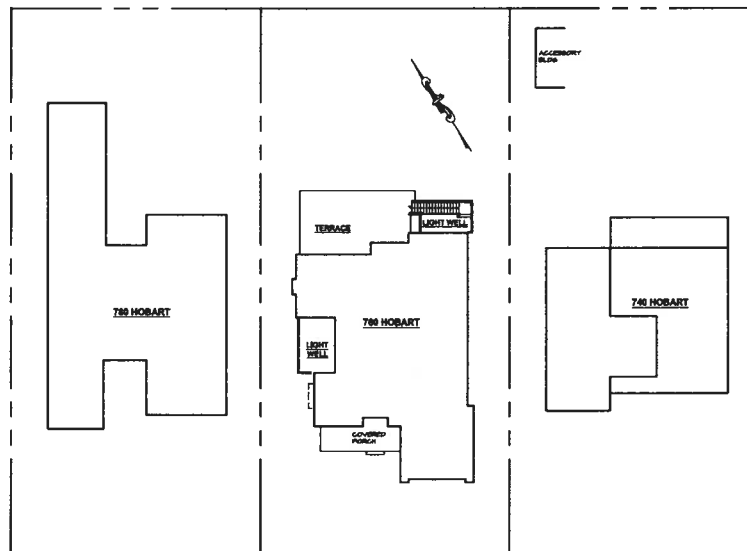


NEW RESIDENCE  
**CHENG**  
760 HOBART STREET  
MENLO PARK, CA

BRAND
FAC
CHECKED
JJ
DATE
12-01-15
SCALE
1100-8
JOB NO
Sheet
A1.1
OF
Sheet



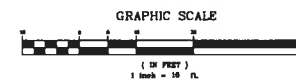
D4



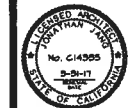
HOBART STREET  
**CONTEXTUAL SITE PLAN**  
 1/16" = 1'-0"



**STREETSCAPE ELEVATION**  
 1/16" = 1'-0"



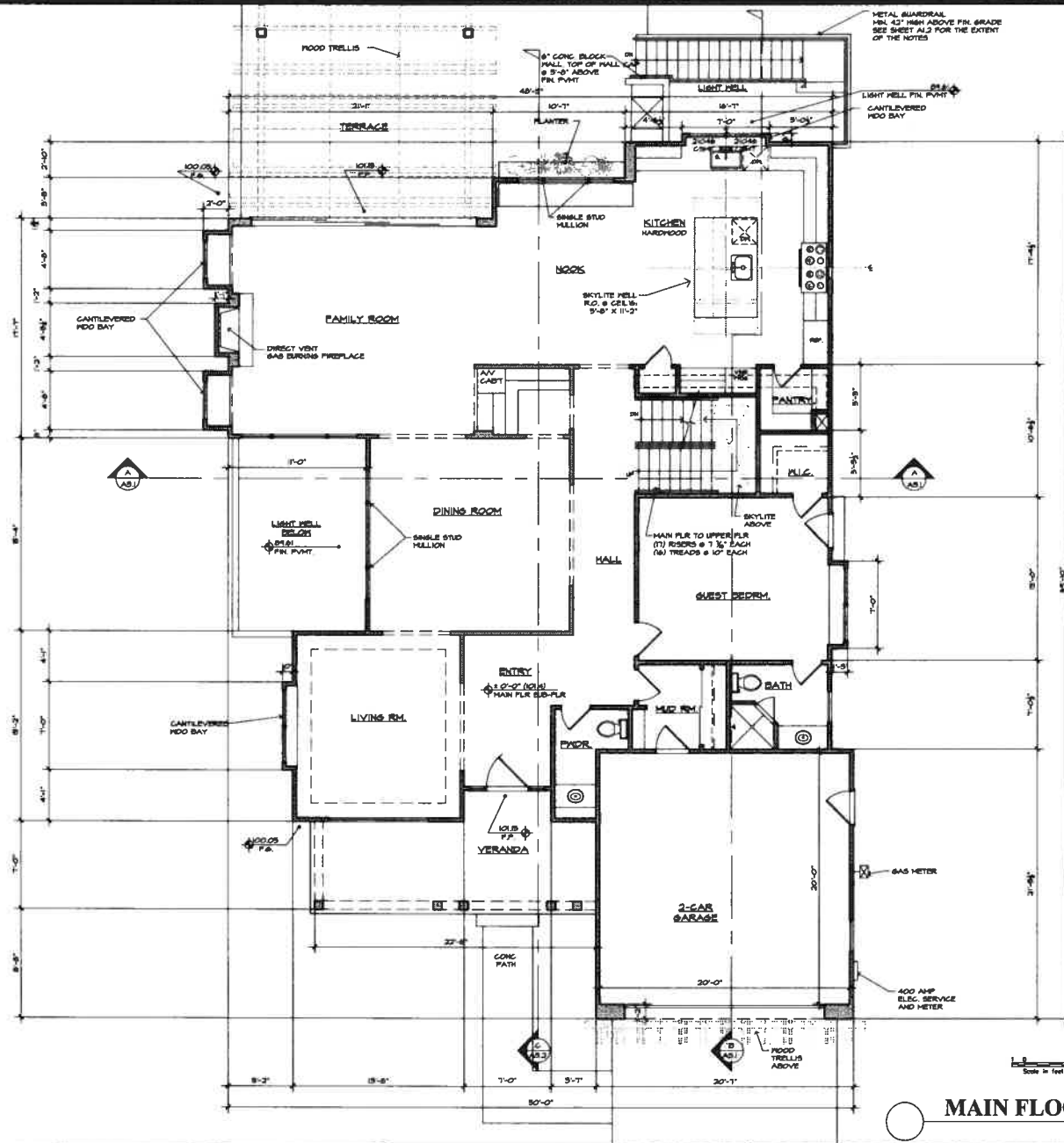

PROJECT NAME	ARCHITECT FIRM
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NEW RESIDENCE  
**CHENG**  
 760 HOBART STREET  
 MENLO PARK, CA

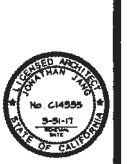
DESIGN FIRM
DATE 12-18-18
SCALE NATIVE
DATE 12-18-18
SHEET <b>N.1</b>

DS



REVISION	DATE

ARCHITECT
DATE
PROJECT

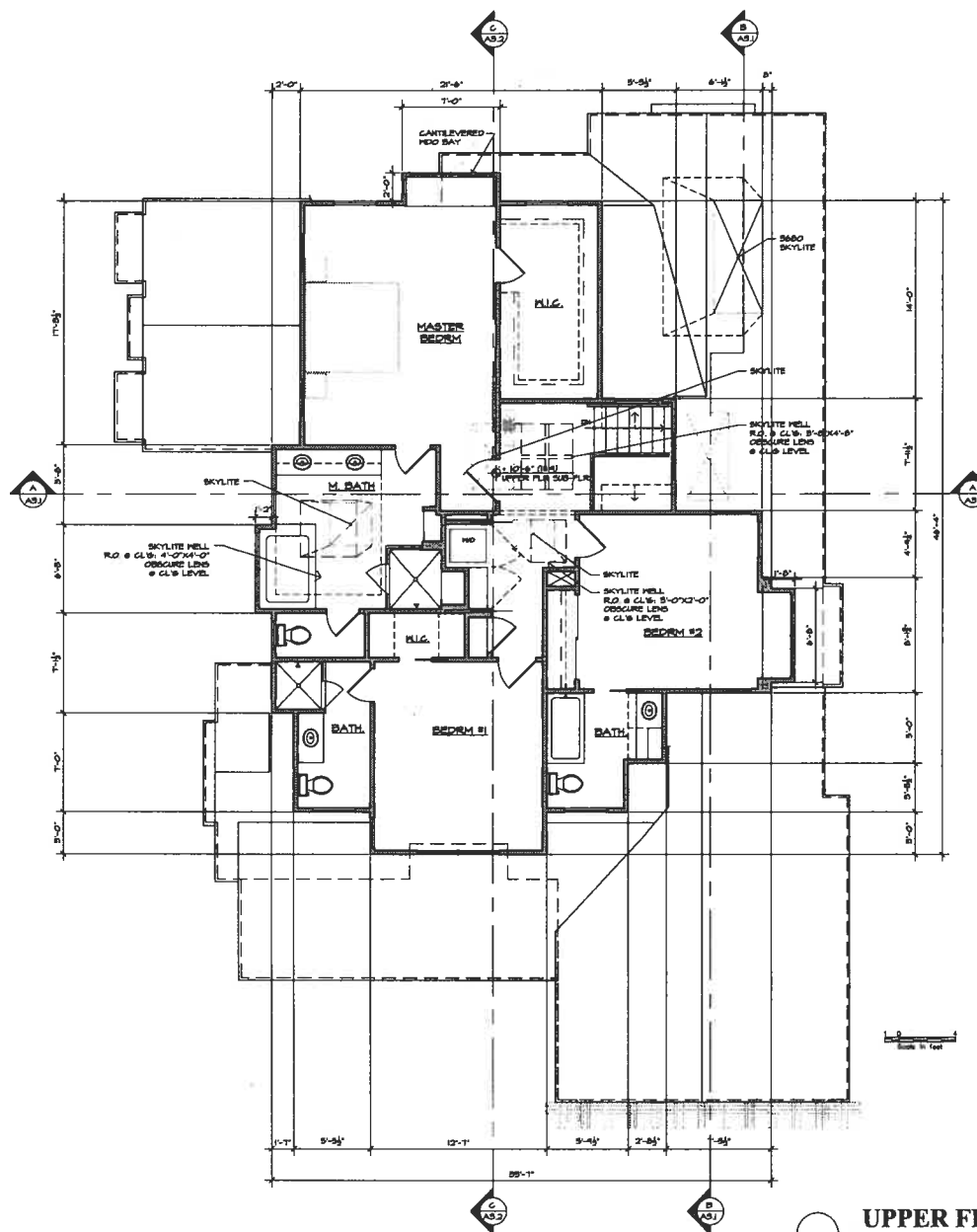


NEW RESIDENCE  
**CHENG**  
760 HOBART STREET  
MENLO PARK, CA

DATE
BY
CHECKED
DATE
SCALE
DATE
BY
CHECKED

A2.1

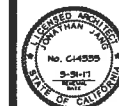
76


$$1/4^{\circ} \approx 1^{\circ}-0^{\circ}$$
[illegible]

JOHN THOMAS  
JAMES

ARCHITECT

101 Maple Street,  
Barnstable City, MA  
Tel. 508/361-1414

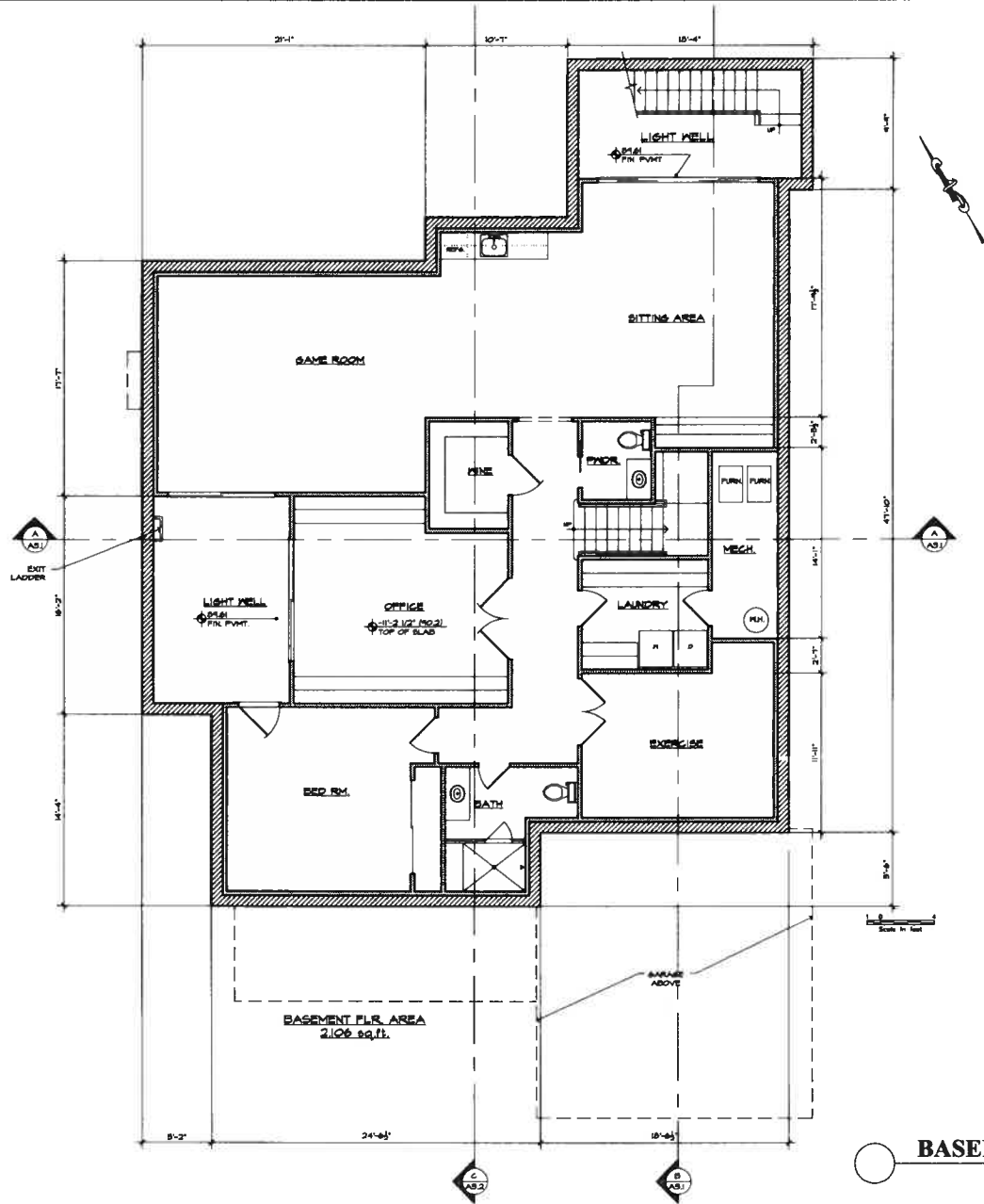


NEW RESIDENCE  
**CHENG**  
760 HOBART STREET  
MENLO PARK, CA

DRAWING  
 P. A. 10  
 C-10-100  
 J. J.  
 DATE  
 06-10-10  
 SCALE  
 1" = 4'  
 JOB NO.  
 1-001  
 A2.2

## A2.2

D7



**BASEMENT FLOOR PLAN**  
1/4" = 1'-0"

REVISION	NO.

ARCHITECT
ARCHITECT
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ARCHITECT

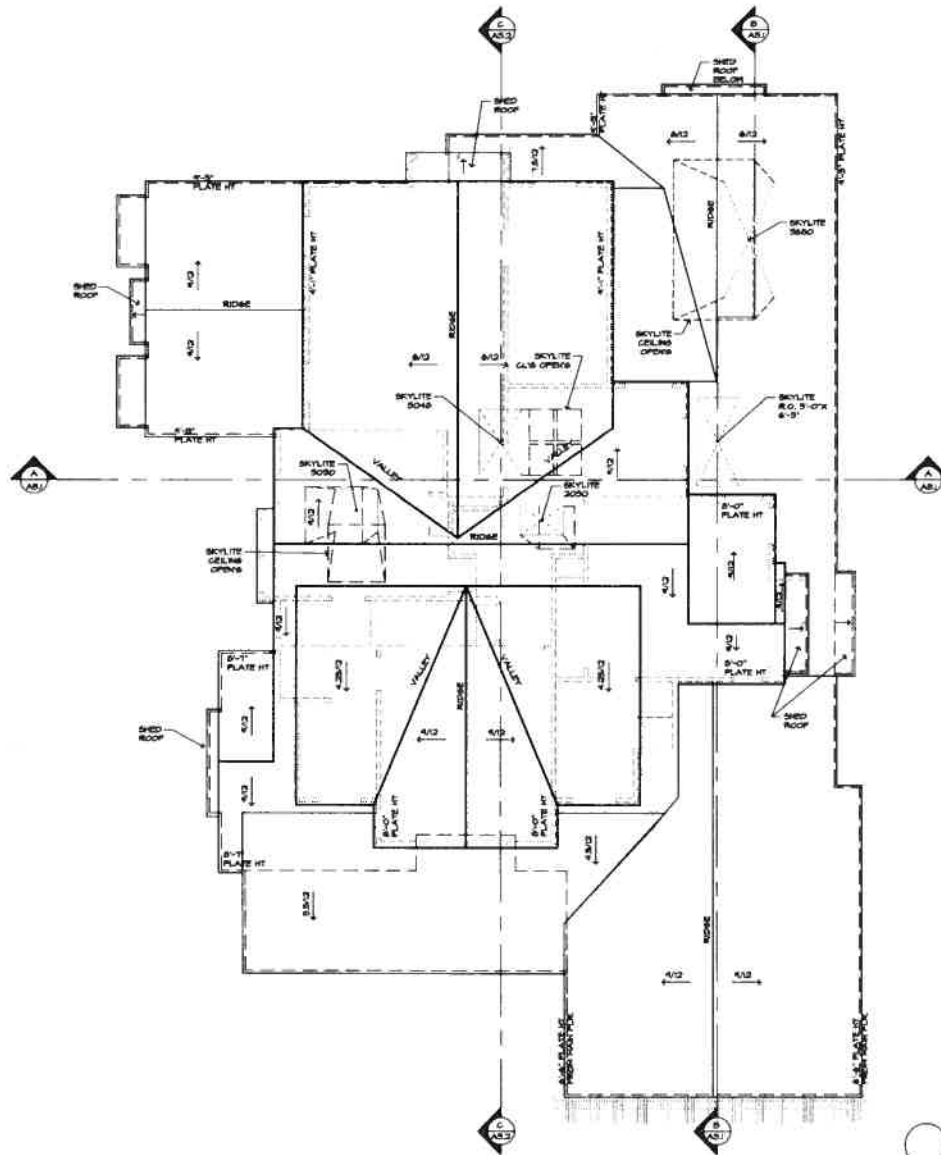


NEW RESIDENCE  
**CHENG**  
780 HOBART STREET  
MENLO PARK, CA

OWNER	DATE
OWNER	DATE
OWNER	DATE
OWNER	DATE
OWNER	DATE
OWNER	DATE
OWNER	DATE
OWNER	DATE

A2.3

8D



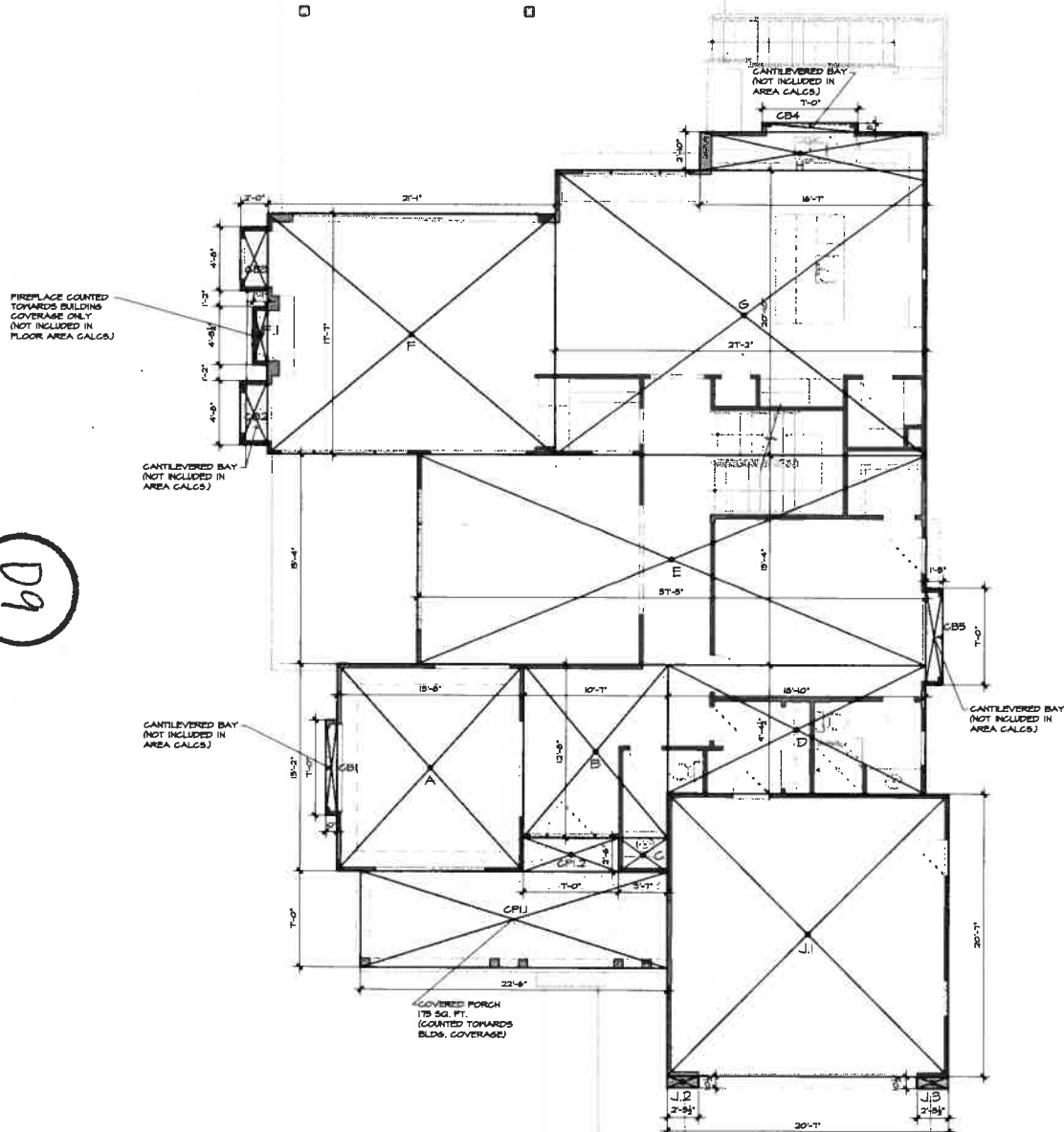
### ROOF PLAN

$$1/4'' = 1'-0''$$
[illegible]

NEW RESIDENCE  
**CHENG**  
760 HOBART STREET  
MENLO PARK, CA

## A2.4

69



# MAIN FLOOR AREA CALCULATIONS

1/4" = 1'-0"

## MAIN FLOOR AREA CALCULATIONS

SECTION	DIMENSIONS	AREA
A	15'-5" x 15'-2"	207.5 SQ. FT.
B	10'-7" x 12'-8"	134.1 SQ. FT.
C	9'-7" x 2'-6"	25.15 SQ. FT.
D	18'-10" x 2'-4 1/2"	47.4 SQ. FT.
E	51'-5" x 15'-4 1/2"	773.2 SQ. FT.
F	21'-1" x 17'-7"	367.11 SQ. FT.
F1	FIRE PLACE AREA NOT INCLUDED IN FLOOR AREA CALCS	
G	21'-2" x 20'-10"	425.5 SQ. FT.
H	16'-7" x 2'-10"	46.98 SQ. FT.

HOUSE MAIN FLOOR AREA: 2,082.0 SQ. FT.

J1	20'-7" x 20'-7"	429.5 SQ. FT.
J2	2'-5 1/2" x 10 1/2"	2.0 SQ. FT.
J3	2'-5 1/2" x 10 1/2"	2.0 SQ. FT.

GARAGE AREA: 427.5 SQ. FT.

ATTIC AREAS ABOVE S: NONE

TOTAL FIRST FLOOR AREA: 2,509.5 SQ. FT.  
(INCLUDING GARAGE)

## UPPER FLOOR AREA CALCULATIONS

SECTION	DIMENSIONS	AREA
K	12'-7" x 24'-0 1/2"	305.44 SQ. FT.
L	5'-5 1/2" x 7'-0"	38.9 SQ. FT.
M	7'-0 1/2" x 7'-1 1/2"	50.17 SQ. FT.
N	8'-2 1/2" x 6'-3"	51.5 SQ. FT.
O	7'-0 1/2" x 5'-0"	35.4 SQ. FT.
P	17'-7 1/2" x 5'-3 1/2"	94.01 SQ. FT.
Q	14'-0" x 21'-8"	301.0 SQ. FT.
R	5'-4" x 7'-11 1/2"	38.59 SQ. FT.
S	15'-5 1/2" x 12'-11"	197.51 SQ. FT.
S1	0'-5" x 8'-1 3/4"	4.2 SQ. FT.
S2	1'-5" x 5'-8"	8.75 SQ. FT.
T	8'-6" x 5'-0"	42.5 SQ. FT.
U	5'-4 1/2" x 5'-5 1/2"	30.02 SQ. FT.

UPPER FLOOR AREA: 1,207.1 SQ. FT.

ATTIC AREA ABOVE S: 5.2 SQ. FT.  
V 1'-7" x 5'-5 3/4"

SKYLITE WELL AREA ABOVE I2: NONE

TOTAL UPPER FLOOR AREA: 1,212.3 SQ. FT.

## DISPLACEMENT

PJ	1'-4" x 4'-8 1/2"	4.62 SQ. FT.
----	-------------------	--------------

## COVERED PORCHES

CP1	22'-6" x 7'-0"	157.9 SQ. FT.
CP2	7'-0" x 2'-6"	17.5 SQ. FT.

TOTAL COVERED PORCHES: 175 SQ. FT.

## CANTILEVERED MIDO BAYS

CB1 (LIVING RM)	0'-10" x 7'-0"	5.88 SQ. FT.
CB2 (FAMILY RM)	2'-0" x 4'-8"	9.33 SQ. FT.
CB3 (FAMILY RM)	2'-0" x 4'-8"	9.33 SQ. FT.
CB4 (KITCHEN)	7'-0" x 0'-8"	5.83 SQ. FT.
CB5 (BATH BDRM)	1'-8" x 7'-0"	12.25 SQ. FT.
CB6 (B. BDRM)	2'-0" x 7'-0"	14.0 SQ. FT.

TOTAL CANTILEVERED MIDO BAYS: 54.4 SQ. FT.

BUILDING COVERAGE AREA: 2,689.12 SQ. FT.

MAIN FLR-FIRE PLACE-GARAGE-COVERED PORCH  
(2,082.0 + 4.62 + 427.5 + 175 = 2,689.12 sq.ft. / 25 %)

NO.	DATE	REVISION

ARCHITECT  
JAMES CHENG  
ARCHITECT  
1000 16TH AVENUE  
SUITE 100  
DENVER, CO 80202  
TEL: 303.733.8888  
FAX: 303.733.8889



NEW RESIDENCE  
**CHENG**  
760 HOBART STREET  
MENLO PARK, CA

DATE  
12-01-18  
BY  
JCH  
CHECKED  
JCH  
DATE  
12-01-18  
BY  
JCH  
DATE  
12-01-18  
BY  
JCH

A2.5

## MAIN FLOOR AREA CALCULATIONS

SECTION	DIMENSIONS	AREA
A	15'-0" x 15'-2"	207.9 SQ. FT.
B	10'-7" x 12'-0"	128.4 SQ. FT.
C	9'-7" x 2'-6"	25.3 SQ. FT.
D	18'-10" x 11'-4 1/2"	215.4 SQ. FT.
E	17'-0" x 13'-4"	228.0 SQ. FT.
F	21'-1" x 17'-1"	359.7 SQ. FT.
F.1	FIRE PLACE AREA NOT INCLUDED IN FLOOR AREA CALC.	
G	21'-2" x 20'-10"	425.5 SQ. FT.
H	16'-1" x 2'-10"	46.9 SQ. FT.

HOUSE MAIN FLOOR AREA: 2082.0 SQ. FT.

J.1	20'-1" x 20'-1"	402.0 SQ. FT.
J.2	2'-5 1/2" x 10 1/2"	27.5 SQ. FT.
J.3	2'-5 1/2" x 10 1/2"	27.5 SQ. FT.

GARAGE AREA: 427.5 SQ. FT.

ATTIC AREAS ABOVE S1: NONE

TOTAL FIRST FLOOR AREA: 2,509.5 SQ. FT.  
(INCLUDING GARAGE)

## UPPER FLOOR AREA CALCULATIONS

SECTION	DIMENSIONS	AREA
K	12'-7" x 24'-0 1/2"	305.44 SQ. FT.
L	8'-5 1/2" x 7'-0"	59.9 SQ. FT.
M	7'-0 1/2" x 7'-4 1/2"	52.1 SQ. FT.
N	8'-2 1/2" x 6'-3"	51.8 SQ. FT.
O	7'-0 1/2" x 5'-8"	40.8 SQ. FT.
P	17'-7 1/2" x 9'-8 1/2"	168.0 SQ. FT.
Q	14'-0" x 21'-4"	298.4 SQ. FT.
R	9'-4" x 7'-1 1/2"	66.5 SQ. FT.
S	15'-5 1/2" x 12'-11"	197.5 SQ. FT.
S.1	0'-0" x 0'-1 3/4"	0.0 SQ. FT.
S.2	1'-0" x 6'-8"	6.7 SQ. FT.
T	8'-6" x 5'-0"	42.3 SQ. FT.
U	5'-4 1/2" x 3'-5 1/2"	19.0 SQ. FT.

UPPER FLOOR AREA: 1207.1 SQ. FT.

ATTIC AREA ABOVE S1: 5.2 SQ. FT.

SKYLITE WELL AREA ABOVE J2: NONE

TOTAL UPPER FLOOR AREA: 1,212.3 SQ. FT.

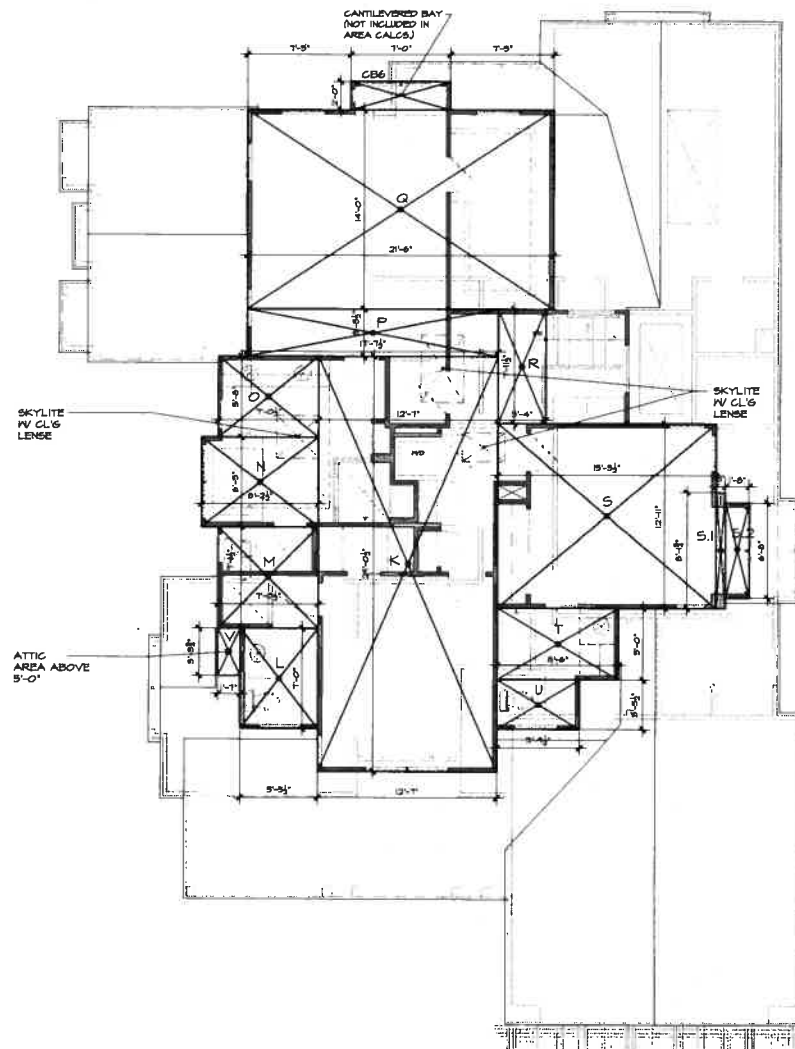
P.1	1'-1" x 4'-8 1/2"	4.82 SQ. FT.
-----	-------------------	--------------

C.P.1	22'-6" x 7'-0"	158.2 SQ. FT.
C.P.2	7'-0" x 2'-6"	17.5 SQ. FT.
TOTAL COVERED PORCHES		175.7 SQ. FT.

C.B.1 (LIVING RM)	0'-0" x 7'-0"	0.0 SQ. FT.
C.B.2 (FAMILY RM)	2'-0" x 4'-0"	8.0 SQ. FT.
C.B.3 (FAMILY RM)	2'-0" x 4'-0"	8.0 SQ. FT.
C.B.4 (KITCHEN)	7'-0" x 0'-0"	0.0 SQ. FT.
C.B.5 (BATH RM)	1'-0" x 7'-0"	7.0 SQ. FT.
C.B.6 (H. BATH)	2'-0" x 7'-0"	14.0 SQ. FT.

TOTAL CANTILEVERED HOO BAYS: 31.0 SQ. FT.

BUILDING COVERAGE AREA: 2,689.12 SQ. FT.  
MAIN FLR+FR+GARAGE+COVERED PORCH  
(2,082.0 + 4.82 + 427.5 + 175.7 = 2,689.12 sq.ft. / 25 %)



## UPPER FLOOR AREA CALCULATIONS

1/4" = 1'-0"

DATE	BY

ARCHITECT

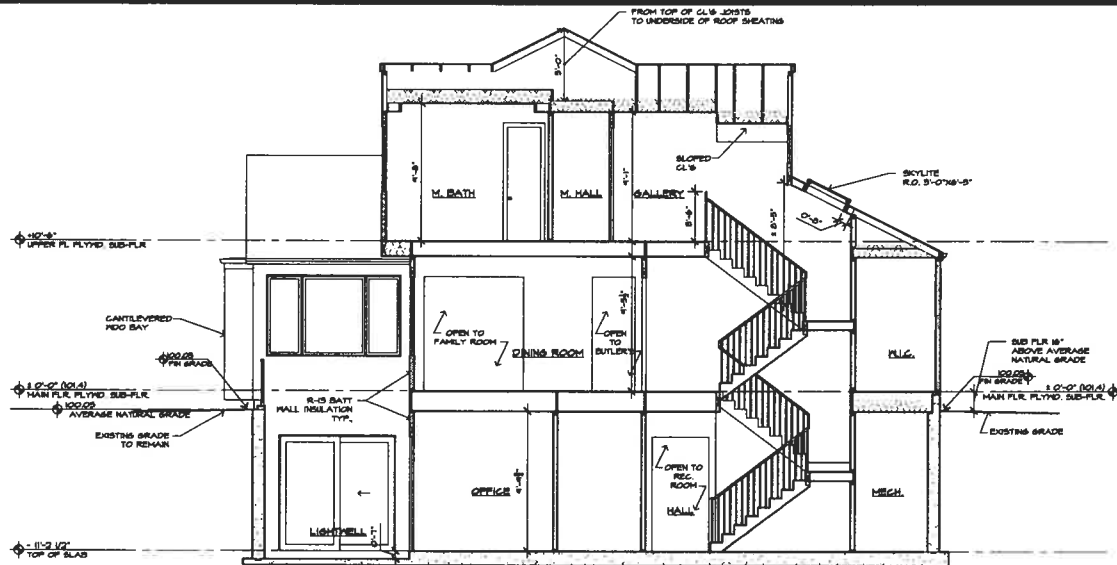


NEW RESIDENCE  
**CHENG**  
780 HOBART STREET  
MENLO PARK, CA

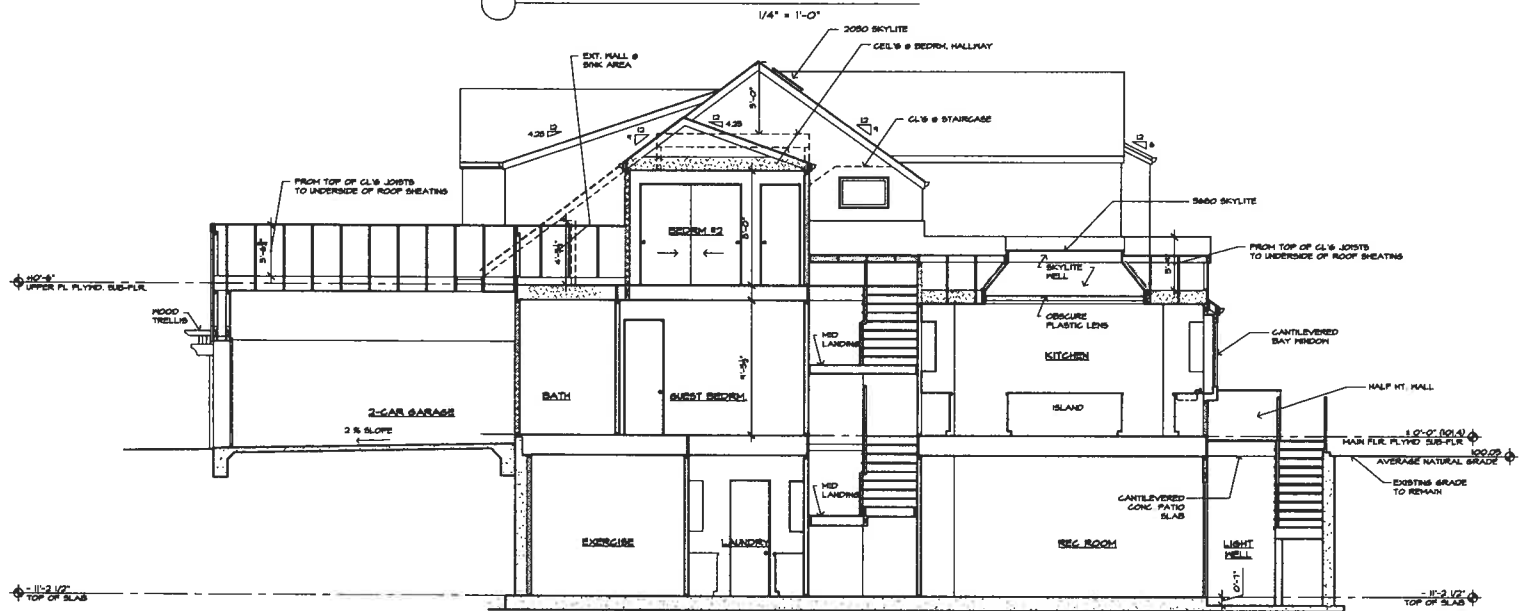
OWNER

A2.6

D 11



SECTION A-A



SECTION B-B

REVISION	BY

ARCHITECT

JOSEPH CHENG

DATE



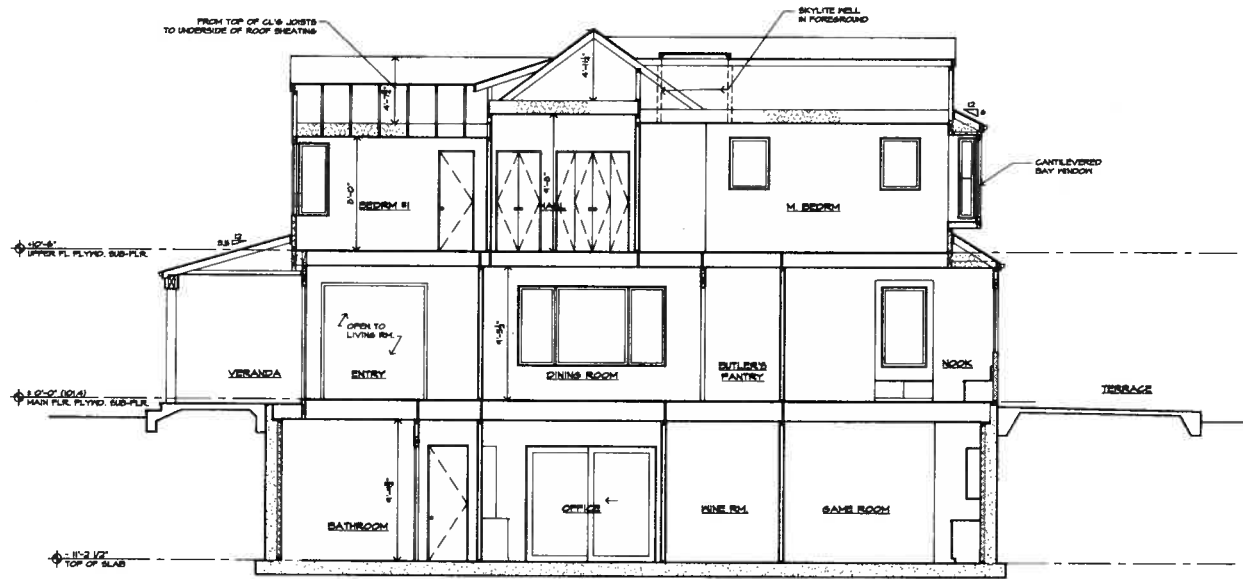
NEW RESIDENCE  
**CHENG**  
760 HOBART STREET  
MENLO PARK, CA

DESIGN
PLANS
EXTERIOR
DATE
10-11-18
SCALE
1/4" = 1'-0"
JOB NO.
SHEET

A3.1



D12



SECTION C-C

1/4" = 1'-0"

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
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8		
9		
10		

ARCHITECT	DATE
PROJECT	NO.



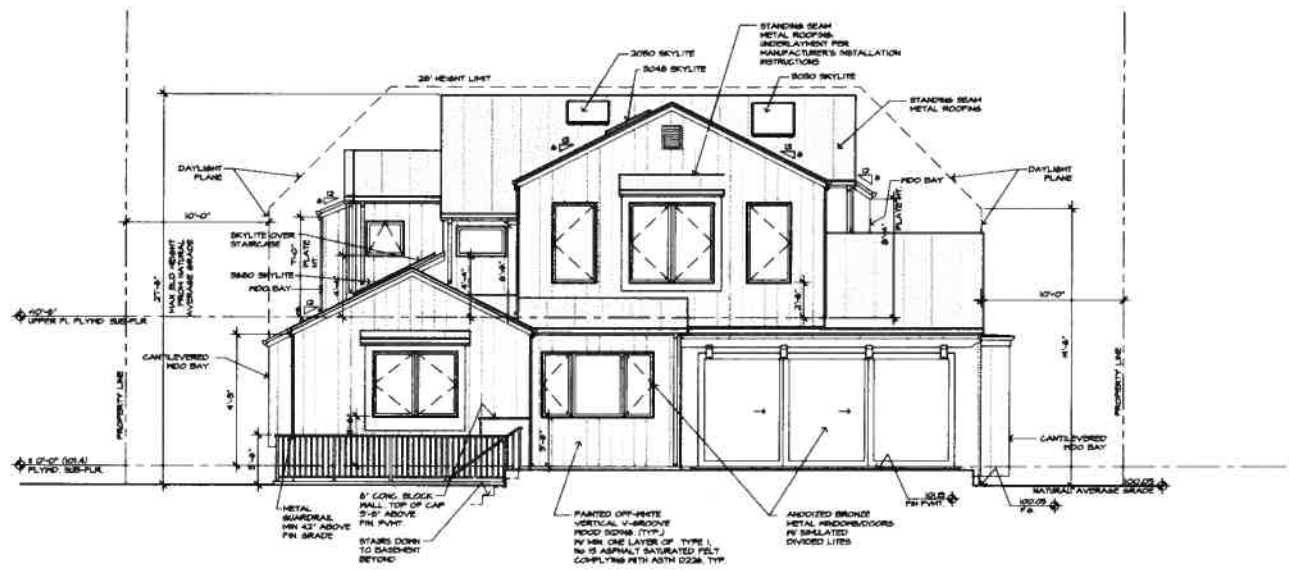
NEW RESIDENCE  
**CHENG**  
760 HOBART STREET  
MENLO PARK, CA

OWNER	DATE
ARCHITECT	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE

A3.2

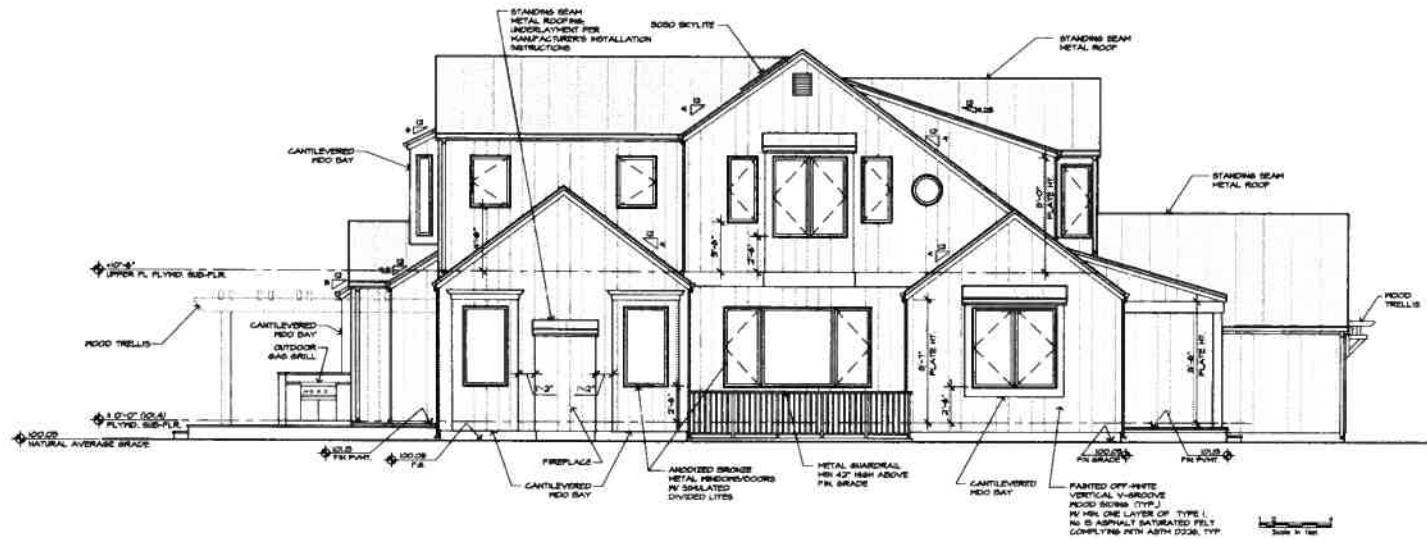


### A4.1



REAR (NORTH) ELEVATION

1/4" = 1'-0"



LEFT-SIDE (EAST) ELEVATION

1/4" = 1'-0"

D14


ARCHITECT



NEW RESIDENCE  
**CHENG**  
760 HOBART STREET  
MENLO PARK, CA

DATE	12-26-17
BY	
CHECKED	
DATE	
BY	
CHECKED	
DATE	

A4.2



February 8, 2016

RECEIVED

FEB 08 2016

CITY OF MENLO PARK  
BUILDING

To: Menlo Park Planning Commission  
Re: Design Response to 1/22/16 Planning Commission Meeting

Please note the following design changes in response to commission comments from the January 22, 2016 meeting:

To address concern about the garage massing and facade facade:

- The front gable roof pitches (including garage) have lowered from 10/12 to 9/12.
- Gable vent, a trellis, and the garage door recessed 12" add articulation the garage front.
- The front porch moves forward 3'-6" which creates a more recessed massing of the garage.

To address concern about varying roof pitches:

- The Family room and Bedroom#1 gable roof pitches have been changed to 9/12 to match the garage and living room gable roofs.

A suggestion was made of changing the garage roof form to something other than a gable. The only form options are hip, shed or flat roof forms, - none of which we feel are consistent with the overall style and gable forms of the house as designed. It is our hope that the mitigating measures noted above render this suggestion mute.

We hope that these revisions have adequately addressed the main concerns of the Planning Commission. Thank you for your consideration.

  
Jon Jang Architect, AIA

E1



RECEIVED

JAN 04 2016

CITY OF MENLO PARK  
PLANNING

## Mayne Tree Expert Company, Inc.

ESTABLISHED 1931

STATE CONTRACTOR'S LICENSE NO. 276793

CERTIFIED FORESTER • CERTIFIED ARBORISTS • PEST CONTROL • ADVISORS AND OPERATORS

RICHARD L. HUNTINGTON  
PRESIDENT

JEROMEY INGALLS  
CONSULTANT/ESTIMATOR

535 BRAGATO ROAD, STE. A  
SAN CARLOS, CA 94070-6311

TELEPHONE: (650) 593-4400  
FACSIMILE: (650) 593-4443  
EMAIL: info@maynetree.com

December 14, 2015  
(Revised December 29, 2015)

Mr. Jon Jang, Architect, AIA  
722 Maple St.  
Redwood City, CA 94063

Dear Mr. Jang,

RE: 760 HOBART STREET, MENLO PARK

On December 7, 2015, I inspected 21 trees at the above-referenced site. Only four of these trees, #9, #11, #16, and #17, are considered heritage trees. Trees #9 and #11 are in the lot setback, so potential impacts are nearly zero. Trees #16 and #17 are on the neighboring property and potential impacts again will be zero.

Four of the trees, #1, #3, #16, and #17, are on neighboring properties. None of these trees will be impacted. The site plan shows proposed tree protection for trees #7-#11, #12-#14, #16, #17, #18, and #19-#21. I think this will be more than adequate.

I recommend tree protection be installed prior to demolition of the existing house. This fencing should be chain link on steel poles. See the tree survey for individual tree information.

Two live oaks, *Quercus agrifolia*, trees #16 and #17 are along the north fence, about 3 to 4 feet away. All new proposed construction will be outside the driplines. Install protective fencing at the trees' driplines.

If, however, any roots 3 inches in diameter and larger are encountered, do not cut them unless the arborist has looked at them and agrees to the cutting.

The other heritage trees that need protecting are trees #9 and #11. Install fencing along the path and lawn. The owner wants to retain other non-heritage trees. These are marked with fencing on the site plan.

To significantly reduce construction impacts to all retained trees, keep all construction equipment and materials outside of this fencing. Also, keep all excavation outside the fenced tree areas unless the arborist gives his approval. See the enclosed *Mitigating Measures for Construction Impacts on Existing Trees*.

F1

This is a very simple plan and tree protection positioning. I think this report is accurate and based on sound arboricultural principles and practices.

Sincerely,



Richard L. Huntington  
Certified Arborist WE #0119A  
Certified Forester #1925

RLH:pmd

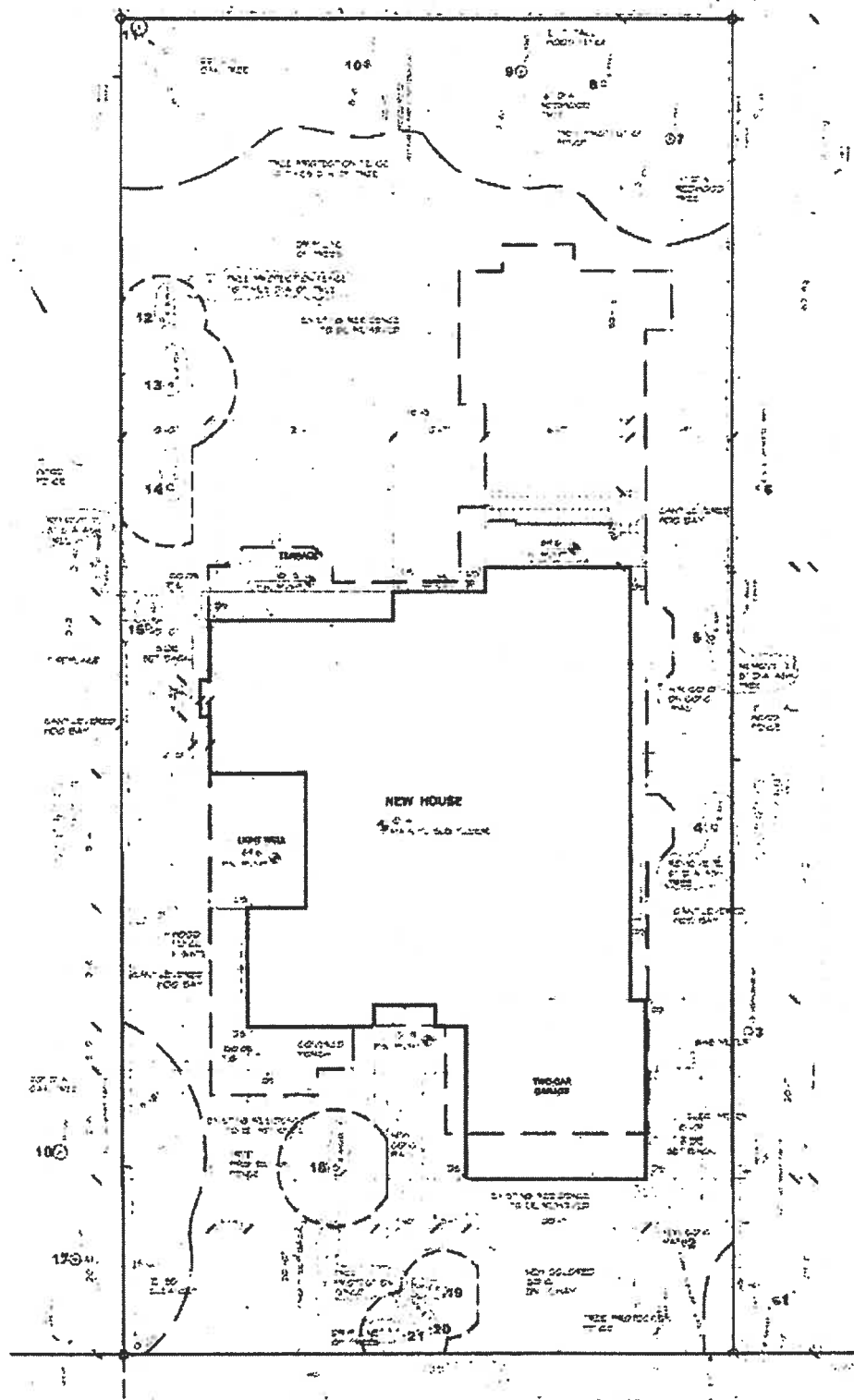


F2

## Tree Survey

Tree #	Species	Diameter (inches)	Condition (percent)	Comments
1	Deciduous Magnolia	10, 8, 8	65	South neighbor's tree; no impacts expected.
2	Japanese Maple	4, 5	65	Fence off at dripline.
3	Hopseed	12	60	Keep excavation 8 feet away.
4	Camphor	8	70	To be removed.
5	Camphor	9.3	65	To be removed.
6	Japanese Maple	6, 6, 6 (est.)	65	On neighbor's property; keep excavation 8 feet away.
7	Redwood	14	75	No impacts expected.
8	Redwood	8	60	No impacts expected.
9	Redwood	16	70	No impacts expected.
10	Camphor	10	65	Thin canopy.
11	Coast Live Oak	22	70	Leans west; most growth on west side.
12	Birch	6.3	65	To be retained.
13	Birch	7.5	65	To be retained.
14	Camphor	9.5	65	To be retained.
15	Camphor	8.8	60	To be removed.
16	Coast Live Oak	24 @ 2' (est.)	60	Neighboring tree; 3 trunks at 4 feet; included bark.
17	Coast Live Oak	19	65	Suppressed by #16.
18	Magnolia	8	75	To be retained.
19	Birch	4	65	To be retained.
20	Birch	4	60	To be retained.
21	Birch	4, 4	65	To be retained.





F4

## MITIGATING MEASURES FOR CONSTRUCTION IMPACTS ON EXISTING TREES

### SECTION I: INTRODUCTION

It is an established fact that construction around existing trees will impact the trees to some degree. The degree of impact is largely predicated on the condition of the tree(s) before the construction activity begins. It is therefore important to inspect all trees prior to any construction activity to develop a "Tree Protection Program" based on the species, size, condition, and expected impact. A Certified Arborist (International Society of Arboriculture) is suggested for this work. The local University of California Extension or County Farm Advisors Office has the names of local certified arborists.

### SECTION II: SITE PREPARATION

All existing trees shall be fenced within, at, or outside the dripline (foliar spread) of the tree using the following formula: Five inches in distance from the trunk, for every inch in trunk diameter, measured 4.5 feet above the average ground level. Example: a 24-inch diameter tree would have a fence erected 10 feet from the base of the tree ( $24 \times 5 = 120/12 = 10$ ). The fencing should not interfere with actual construction, but is intended to redirect unnecessary traffic, and to protect limbs and roots. No storage of materials, unnecessary trenching, grading, or soil compaction shall be allowed within the dripline of the trees. Local ordinances may have different tree protection formulae.

The fence should be a minimum of four feet high, made of pig wire, snow fence, or cyclone, with steel stakes or pipes as posts.

If the fence is within the dripline of the trees, the foliar fringe outside the fence shall be raised to offset the chance of limb breakage from construction equipment encroaching within the dripline.

All contractors, subcontractors, and other personnel shall be warned that encroachment within the fenced area is forbidden without the consent of the certified arborist on the job. This includes, but is not limited to, storage of lumber and other materials, disposed-of paints, solvents, or other noxious materials, parked cars, grading equipment, and other heavy equipment. The temporary fence shall be maintained until the landscape contractor enters the job and commences landscape construction.

### SECTION III: GRADING/EXCAVATING

All grading plans that specify grading within the dripline of any tree, or within the distance from the trunk as outlined in SECTION II when said distance is outside the dripline, shall first be reviewed by the certified arborist. The arborist shall outline provisions for aeration, drainage, pruning, tunneling beneath roots, root pruning, or other necessary actions to protect the trees. The arborist shall be notified prior to any excavation within the dripline of any heritage tree.

If trenching is necessary within the area, as described above, said trenching shall be undertaken by hand labor. All roots 2 inches or larger shall be tunneled and smaller roots shall be cut smoothly to the side of the trench. The side of the trench should be draped immediately with two layers of untreated burlap to a depth of 3 feet from the surface. The burlap shall be soaked nightly and left in place until the trench is backfilled to the original level. The arborist shall examine the trench prior to backfilling to ascertain the number and size of roots cut, and to suggest further remedial repairs.

### SECTION IV: REMEDIAL REPAIRS, PENALTIES

The arborist on the job shall have the responsibility of observing all ongoing activities that may affect the trees, and prescribing necessary remedial work to insure the health and stability of said trees. This includes, but is not limited to, all arborist activities specified in SECTIONS I, II, and III. In addition, pruning, as outlined in the "Pruning Standards" of the Western Chapter of the International Society of Arboriculture, shall be prescribed as necessary. Fertilizing, mulching, aeration, irrigation, drainage, pest control, and other activities shall be prescribed according to the tree needs, local site requirements, and State Agricultural Pest Control Laws. All specifications shall be in writing. For a list of licensed pest control operators or advisors, consult the local County Agricultural Commissioner's Office.

Penalties, based on the cost of remedial repairs and the appraised values provided in the Evaluation Guide published by the International Society of Arboriculture, shall be assessed for damages to the trees.

### SECTION V: FINAL INSPECTION

Upon completion of the project, the arborist shall review all work undertaken that impacted the existing trees. Special attention shall be given to cuts and fills, compaction, drainage, pruning, and future remedial work. The arborist should submit a final report in writing outlining the ongoing remedial care following the final inspection.

PREPARED BY THE MAYNE TREE EXPERT COMPANY – JANUARY 1, 1994

REVISED – MAY 13, 2014

F6



## REGULAR MEETING MINUTES

**Date:** 1/11/2016  
**Time:** 7:01 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

### A. Call To Order

Chair Onken called the meeting to order at 7:01 p.m.

### B. Roll Call

**Present:** Andrew Combs, Katie Ferrick, John Kadvany, Larry Kahle, John Onken (Chair), Katherine Strehl (Vice Chair)

**Absent:** Susan Goodhue

**Staff:** Thomas Rogers, Principal Planner; Michele Morris, Assistant Planner; Corinna Sandmeier, Associate Planner

### C. Reports and Announcements

Principal Planner Thomas Rogers said the City Council at its January 12 meeting would consider the 133 Encinal Avenue project. He said the project, 24 residential units on the former Roger Reynolds nursery site, was reviewed by the Planning Commission with a positive recommendation to the City Council with an encouragement to the applicant to work with neighbors regarding the rear building. He said the applicants have revised the plan in that area and staff was making a positive recommendation to the City Council to approve. He said the General Plan update or ConnectMenlo would have a zoning focus group meeting on Thursday, January 14. He said the draft zoning information has been released online.

Replying to Commissioner Katherine Strehl's question about the 133 Encinal Avenue project, Principal Planner Rogers said the applicant had originally proposed to do one three-unit building in the rear with a residents' community amenities space in the former carriage house, but now would remove the carriage-style building. He said that would allow an increase to the first floor of the residential building, which would pull back the second story and reduce the potential for direct views to neighbors and limit the height from what was allowable.

Commissioner Katie Ferrick said that former Council Member Andy Cohen had passed away, and she wanted to acknowledge his many years of public service to the City and his focus on poverty alleviation and social justice. She said he had encouraged her to become involved in public service during a town hall meeting in 2003 at a neighborhood coffee house.

Commissioner John Kadvany asked about Facebook's plan to study the Dumbarton corridor. Principal Planner Rogers said that he did not have information beyond the news article he had seen, but he would find out if there was any additional information to share with the Commission

later.

**D. Public Comment**

There was none.

**E. Consent Calendar**

- E1. Approval of minutes from the December 7, 2015 Planning Commission meeting. (Attachment)

**ACTION:** Motion and second (Strehl/Combs) to approve the minutes as submitted; passes 5-0 with Commissioner Ferrick abstaining and Commissioner Goodhue absent.

**F. Public Hearing**

- F1. Use Permit/Karen Douglass/1253 University Drive:  
Request for a use permit to demolish an existing single-story, single-family residence and detached garage and construct a new two-story, single-family residence with an attached garage on a substandard lot with regard to lot width and area in the R-1-U (Single-Family Urban) zoning district. (Staff Report #16-001-PC)

Staff Comment: Associate Planner Corinna Sandmeier said there was a correction to the data table to include the basement in the total square footage.

Applicant Comment: Mr. Alan Douglass said he and his wife Karen were the property owners.

Commissioner Larry Kahle noted the letter from the neighbor at 1265 University Drive and asked if they had addressed that neighbor's concerns about the facing windows and the location of the air conditioner.

Mr. Douglass said they had worked with that neighbor and relocated the air conditioning unit and reduced the size of the windows.

Replying to a question from Commissioner Ferrick, Mr. Douglass said the air conditioner unit would be in the light well in the left back corner if facing the house. Commissioner Ferrick asked if the neighbor on that side had been informed about the location of the air conditioner. Mr. Douglass said they had worked with that neighbor on the location of trees and that home's bedrooms were on the opposite side from their home.

Responding to a question from Commissioner Ferrick regarding the changes to the windows, Mr. Jim Stoecker, Stoecker and Northway Architects Incorporated, project architect, said they had raised the sill heights to 36-inches on all the side yard windows on the east and west. Commissioner Ferrick asked if both neighbors had an opportunity to review the changes. Mr. Stoecker said he sent an email to both neighbors regarding the change to the plans after they made their first revision.

Chair Onken asked about the first floor gable and roof junction on the south elevation, Mr. Stoecker said that they slipped the roof under the gable, noting the gable roof extends from the back to front yard.

Commissioner Strehl confirmed with the architect that the garage was two-car; she noted the data sheet showed a one-car garage, which was acknowledged as an error.

Commissioner Kahle said there were numerous and different roof styles. He said on the front elevation, the ridge from the back at the master bedroom would be visible from the street. Mr. Stoecker said that it would not appear as prominent on the structure as it appeared in the 2-D graphic. He said the only solution would be to bring that gable forward, and he thought a small gable would look odd on top of the ridge spanning from east to west.

Commissioner Ferrick asked for detail on why the property owners chose this particular design style on this lot. Mr. Stoecker said the lot was only 50-foot wide and substandard in lot size as well. He said the property owners' goals were to have a style appropriate for the community and to maximize the floor area ratio and lot coverage allowed. Commissioner Ferrick asked why they wanted to maximize the square footage. He said the 2,800 square feet allowed was modest compared to other homes in the area and the property owners wanted bedroom space. Commissioner Ferrick asked about energy efficiencies that might minimize the environmental impact of a large home. Mr. Stoecker said CalGreen standards required certain levels of efficiencies in development. He said additionally they would use spray-in insulation at the rafter level and would have a high-recovery water tank system. Commissioner Ferrick asked about the plate heights. Mr. Stoecker said the first floor plate height was eight-feet, nine-inches.

Chair Onken asked if a street parking space was lost due to the driveway widening. Associate Planner Sandmeier said she did not think there was a designated parking space in front of the project site.

Chair Onken opened the public hearing. There being no speakers, he closed the public hearing.

Commission Comment: Commissioner Kadvary noted that 10-foot of curb was being lost with the driveway widening and he suggested this loss of curb and street parking was something they needed to start paying attention to with development projects.

Recognized by the Chair, Mr. Stoecker said they had looked at how best to provide access to the two-car garage and protect a tree by doing a curb cut around it. He said there had been no comments received about on street parking space preservation. He said he was not sure if there were parking space marks on the street.

Commissioner Ferrick noted the Google photo showed a red curb there.

Commissioner Kahle said this was an R-1-U lot that interfaced with a commercial and more urban area. He said it was a nicely designed project with the exception of the piece of ridge toward the back of the house he would like to see eliminated. He moved to approve as recommended in the staff report. Commissioner Kadvary seconded the motion.

Commissioner Ferrick asked about landscape screening between the project and adjacent neighbors. Mr. Stoecker said they considered landscape screening particularly for the west side yard as that neighbor had a concern. He said an existing pittosporum and liquid amber tree were directly in front of the main two-story elements and almost as tall as the window heights on the second story, which greatly protected that adjacent property. He said on the other side that currently it was a driveway without plant screening. He said he did not think having a side yard path on that side would worsen the existing situation. Commissioner Ferrick said she disagreed as the project would be built to the five-foot setback where now there was open air, space and light. She suggested a robust planting plan of hedges or trees to reduce the impact to the neighbors' views of a large structure.

Commissioner Strehl said the project met all of the specific standards but was a very big house on a small lot. She said she would support the project but thought this amount of lot coverage was something to be discussed in an appropriate context such as residential design guidelines.

Commissioner Combs said he was supportive of the project. He suggested that more discussion regarding building to the maximums should occur.

Commissioner Ferrick said the design was beautiful but she wished the lot was much larger. She said this project was built to the maximum and all the elements that were allowed to encroach, such as the eaves and chimney, were encroaching. She said one reason a project like this had discretionary review rather than administrative review was for an experienced body like the Commission to look at the nuances of a project within the context of the neighborhood. She said with the lack of screening she would need to oppose the project.

Commissioner Kadvany said with this project and the area in which it was situated that there should be more of a setback on the second story element. He said if they needed to have a front facing garage, it should be pushed back so that visually living space was dominant.

Commissioner Combs said he understood the concerns being expressed. He said the neighborhood context in addition to the adjacent one-story and modest two-story residences was commercial and included a multi-story building.

In response to Chair Onken, Commissioner Ferrick said requiring a landscape plan would help alleviate her concerns. She said Commissioner Combs made a good point that there was greater density and more developable area in the larger area beyond the immediate neighbors' properties. She said however she was sensitive to the impact of a much more massive residence just five feet away from smaller scaled homes. She said the project would stand out because of the bulk.

Commissioner Kadvany suggested screening could be planted along the path on the west side. Mr. Stoecker said within the five-foot setbacks there were window pop-outs and they were trying to maintain a three-foot wide path. He said they would have about two feet of planting area and any planting would need to be a vertical shrub along the fence. Commissioner Kadvany said he thought it was essential to have a screening plan.

Chair Onken confirmed with Commissioners Kahle and Kadvany as the makers of the motion to approve and the second to add a condition for a landscaping plan.

Mr. Stoecker said that fortunately on the west side where they would have window bump outs there was quite a lot of screening on the neighbor's property including a liquid amber and pittosporum. He asked adjacent to the bump outs if they could leave the area clear to the fence and create a little planting strip on either side of the bump outs so the path would weave around those.

Chair Onken said the plan needed to show clearly on either side what would be planted. He said they should work with staff on the details and then staff would email the Commission with it and ask if the Commission found it in conformance with the project approval.

Commissioner Kadvany asked whether the pavers were pervious. Mr. Stoecker said that they were interlocking pavers and as such partially pervious. Chair Onken said driveways were either pervious or not.

Commissioner Ferrick said a letter from a neighbor asked how airborne dust particles from the basement excavation would be mitigated. Mr. Stoecker said the only way was to water it; he said



they had talked with the neighbor about that concern. Commissioner Ferrick asked if the neighbor acknowledged their acceptance of that. Mr. Stoecker said they were fine with all the solutions and measures they had discussed including the curb cut around their tree, the basement excavation, and debris issue.

**ACTION:** Motion and second (Kahle/Kadvany) to approve the item with the following modification; passes 5-1 with Commissioner Ferrick opposed and Commissioner Goodhue absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Stoecker and Northway Architects Incorporated consisting of 12 plan sheets, dated received January 4, 2016, and approved by the Planning Commission on January 11, 2015, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
  - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.



- g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the arborist report by Kevin Kielty Arborist Services LLC, dated received December 18, 2015.

4. Approve the use permit subject to the following **project-specific** condition:

- a. The lightwell on the left (east side) of the property shall be constructed using shotcrete techniques as described in the letter from GeoForensics Inc, dated received December 4, 2015. The building permit plans shall include clear specifications to this effect, subject to review and approval of the Planning Division.
- b. ***Simultaneous with the submittal of a complete building permit application, the applicant shall submit an enhanced landscape plan, which shall have the objective of providing additional screening along both side property lines. The revised landscape plan shall be subject to review and approval of the Planning Division. The Planning Commission shall be notified by email of this action, and any Commissioner may request that the Planning Division's approval of the revised landscape plan may be considered at the next Planning Commission meeting. The revised landscape plan shall be fully approved prior to issuance of the overall building permit.***

F2. Use Permit/Cheryl Cheng/760 Hobart Street:

Request for a use permit to demolish an existing single-story residence and construct a new two-story residence with a basement on a substandard lot as to lot width in the R-1-S (Single Family Suburban Residential) zoning district. (Staff Report #16-002-PC)

Staff Comment: Assistant Planner Michele T. Morris said there were no additions to the staff report.

Applicant Comment: Mr. Jon Jang, project architect, said the home was a mixture of gables with shed roofs coming off those gables. He said the upper floor side walls were set back and there was a fair amount of articulation of the upper floor side wall mass. He said the front second-story massing was also setback. He said the garage although attached in front was mitigated somewhat by the veranda.

Chair Onken asked if they had considered the second-story view from the side facing windows and the neighbors' privacy. He said there was considerable fenestration on the east side.

Mr. Jang said the window placement had addressed not looking over into any of the neighbors' patio living area.

Chair Onken opened the public hearing. He closed the public hearing as there were no speakers.

Commission Comment: Chair Onken said in contrast to the last project they saw this project's mass was moved back on the second story. He said the roof lines were challenging but he appreciated the complexity. He said his only concern was the size of the windows on the second-story sides specifically on the east side, where there was a large pair of casements between two other windows with two-foot, six-inch sills. He said he would like the sill height to be higher on a side second-story wall.

Commissioner Kahle said the last project had six roof pitches and this one has nine roof pitches. He said his main concern was how the second-story massing on the front elevation seemed so much larger than that of the first story. He said he did not think the shed roof of the gable should

be tied into the main roof but should have a secondary ridge drop from there. He said he would like the massing addressed if not the roof pitches.

Chair Onken said this house from the street would be seen as a two-car garage. He asked if there was something they could do to mitigate the appearance of the double garage doors. Mr. Jang said he agreed with that but his client's preference was for a single garage door. Chair Onken said there were ways to visually alter the appearance so it did not look like a single garage door.

Mr. Jang said he could see Commission Kahle's point about not having the shed roof tie into the ridge but he worried that the shed roof pitch would get very shallow when viewed from the side. He said regarding pitch roof variations that they vary on the gables and while they looked prominent in the 2-D drawings he did not think people would notice them in reality from one gable to another.

Chair Onken said he was comfortable with varying roof pitches.

Commissioner Kahle said the siding was noted as vertical v-groove. He asked if this was intended to have a farmhouse type of look. Mr. Jang said it was not intended noting the client liked the v-groove look. Commissioner Kahle asked if they had thought about using some other material or vents for the gable noting there was a lot of the v-groove around the gables at the garage end and elsewhere. Mr. Jang said a vent or trellis would help.

Commissioner Kadvany said this was a 70-foot wide lot and the two-car garage was as prominent as it possibly could be. He said the existing home, which was a one-story was configured similarly, but it would be demolished. He said this was one of the nicest streets with some of the nicest homes in Menlo Park, and he could not support the project as designed. In reply to Chair Onken, Commissioner Kadvany said that possibly a side-facing garage would work.

Commissioner Ferrick said she thought there were options for split-look garage doors. She said if the garage was moved to a side entrance most of the front landscaping would be destroyed. She said there were two trees that would need to be removed for that type of garage placement. She concurred however with minimizing the garage face.

Commissioner Kahle said he still could not support the project. He said he thought the project needed another round of design refinement.

Commissioner Kadvany said that from the aerial view the garage would not line up with neighbors' garages.

Commissioner Ferrick said if they recommended to continue that she would like to see more articulation about the plant screening for the project. She said she was comfortable with the size of the house on this size lot.

Commissioner Kadvany moved to continue the project for redesign. Motion died for lack of a second.

Chair Onken said the garage door needed to be looked at; but also the roof form at the garage. He asked if the gable there had to come all the way out or whether it could stop and another roof pitch come down lower noting there was no habitable space over the garage except rafters. He said they were concerned about the size and prominence of the garage.

Commissioner Kahle asked about neighbor outreach. Assistant Planner Morris said the neighbors had received notices, and she had received no comments on the project.

Commissioner Strehl said she had to leave. She said she agreed the prominence of the garage was problematic. She said she felt some frustration with voting for a continuance because this project was a better house than the last one they approved and this project provided greater side setbacks.

Chair Onken noted Commissioner Strehl had departed. He said he would like to make a motion to continue the project.

Commissioner Combs said he could not vote for a continuance unless he knew the specific guidance they would provide to support the continuance.

Chair Onken said the desired changes he would like to see was to adjust the roof at the garage so there was not a full tall gable all the way to the front. He said if there was enough scope to do so the garage could be moved back. He said additionally the garage door could be articulated so it did not appear to be such a wide double-garage door.

Commissioner Kahle asked if the applicant could also create a more cohesive roof plane noting especially the second story front gable and how that affected the shed behind it. He suggested they also consider a better refinement of the materials noting the predominance of one material, and as suggested by Commissioner Ferrick some type of landscape plan.

Commissioner Combs said he could support a continuance based upon reducing the prominence of the garage door and providing landscaping plan information. He moved to second the motion.

**ACTION:** Motion and second (Onken/Combs) to continue the item with direction for redesign, in particular with regard to reducing the prominence of the garage; passes 5-0 with Commissioners Goodhue and Strehl absent.

## **G. Informational Items**

- G1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.

- Regular Meeting: January 25, 2016
- Regular Meeting: February 8, 2016
- Regular Meeting: February 22, 2016

## **H. Adjournment**

Chair Onken adjourned the meeting at 8:28 p.m.

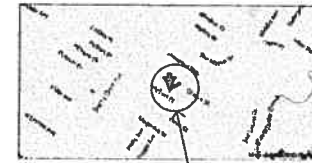
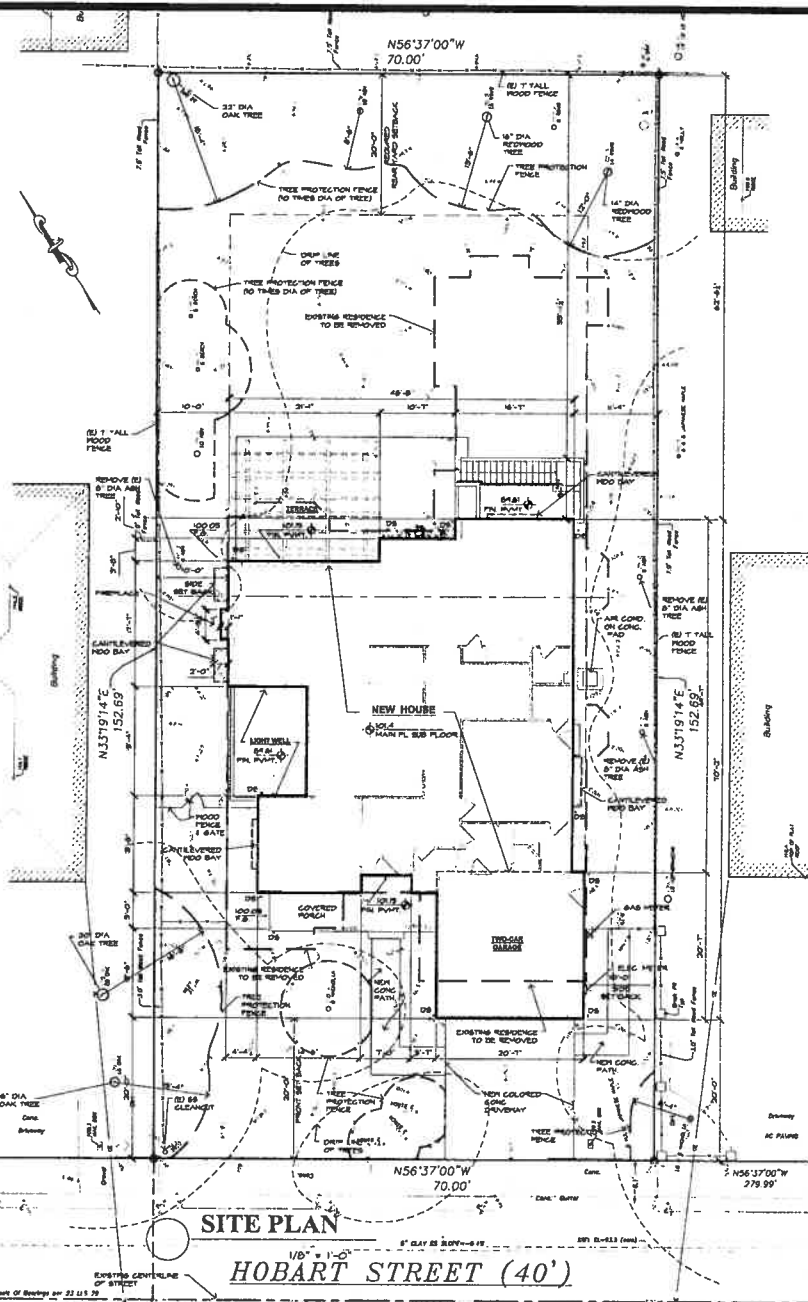
Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett

RECEIVED

JAN 04 2015

CITY OF MENLO PARK  
PLANNING



VICINITY MAP

NTS

### SCOPE OF WORK

DEMOLITION OF AN EXISTING HOUSE AND CONSTRUCTION OF A NEW TWO STORY SINGLE FAMILY RESIDENCE WITH A FULL BASEMENT AND RELATED SITE WORK

### DEFERRED SUBMITTALS

ROOF TRUSSES AND FIRE SPRINKLERS TO BE A DEFERRED SUBMITTAL

### PROJECT DATA

PROJECT ADDRESS: 760 Hobart St, Menlo Park, CA

APN #: 071-232-280

TYPE OF CONSTRUCTION: V-N / SPRINKLED  
OCCUPANCY CATEGORY: R3-4  
ZONING: R1-B  
LOT SIZE: 10,888 sq.ft.

LOT COVERAGE  
ALLOWED LOT COVERAGE (35%): 3,740.8 sq.ft.  
PROPOSED LOT COVERAGE (BASE FLOOR + GARAGE + FIRE PLACE + COVERED PORCH): 2,840.82 sq.ft. (24.7%)  
2,879.4 + 423.8 + 4.82 + 130.2 = 3,438.2 sq.ft.

FLOOR AREA LIMIT (F.A.L.)  
ALLOWED: 7,800 + 25% (19,650 sq.ft.)  
2,800 + 25% (3,080) = 2,800 / 822 = 3,722 sq.ft. allowed

HOUSE MAIN FLOOR AREA: 2,079.4 sq.ft.  
UPPER FLOOR AREA: 1,307.1 sq.ft.  
GARAGE FLOOR AREA: 423.8 sq.ft.  
ATTIC AREA ABOVE: 8.2 sq.ft.

TOTAL BLDG FLOOR AREA: 3,715.3 sq.ft. < 3,722

BASEMENT FLOOR AREA: 2,103 sq.ft.  
(Not Included in floor area calculations)

COVERED FRONT PORCH: 133 sq.ft.

FIRE PLACE: 4.82 sq.ft.

CANTILEVERED WOOD BAYS: 51.9 sq.ft.

MAX. BLDG HEIGHT ALLOWED: 28'-0" 27'-5" PROPOSED

COVERED PARKING SPACES PROVIDED

PAVED AREAS (DRIVEWAY + PATHS + TERRACE + WALKWAYS + STAIRS): 1,331 sq.ft. (12%)

LANDSCAPED AREAS: 2,250 sq.ft. (21%)

### SHEET INDEX:

- A1.0 - SITE PLAN PROJECT DATA
- C1.1 - TOPOGRAPHIC SURVEY
- A1.1 - AREA PLAN
- N1.1 - CONTEXTUAL SITE PLAN & STREETSCAPE ELEV.
- A2.1 - MAIN FLOOR PLAN
- A2.2 - UPPER FLOOR PLAN
- A2.3 - BASEMENT FLOOR PLAN
- A2.4 - ROOF PLAN
- A2.5 - MAIN FLOOR AREA CALCULATIONS
- A2.6 - UPPER FLOOR AREA CALCULATIONS
- A3.1 - BUILDING SECTIONS
- A3.2 - BUILDING SECTIONS
- A4.1 - BUILDING ELEVATIONS
- A4.2 - BUILDING ELEVATIONS

### GOVERNING CODES:

CBC	California Building Code	2013
CRC	California Residential Code	2013
CEC	California Electrical Code	2013
CPC	California Planning Code	2013
CDC	California Mechanical Code	2013
	California Green Building Standards Code (CalGreen)	2013
CEC	California Energy Code	2013

REVISION	BY

ARCHITECT



NEW RESIDENCE  
**CHENG**  
760 HOBART STREET  
MENLO PARK, CA

DATE	

A1.0



374

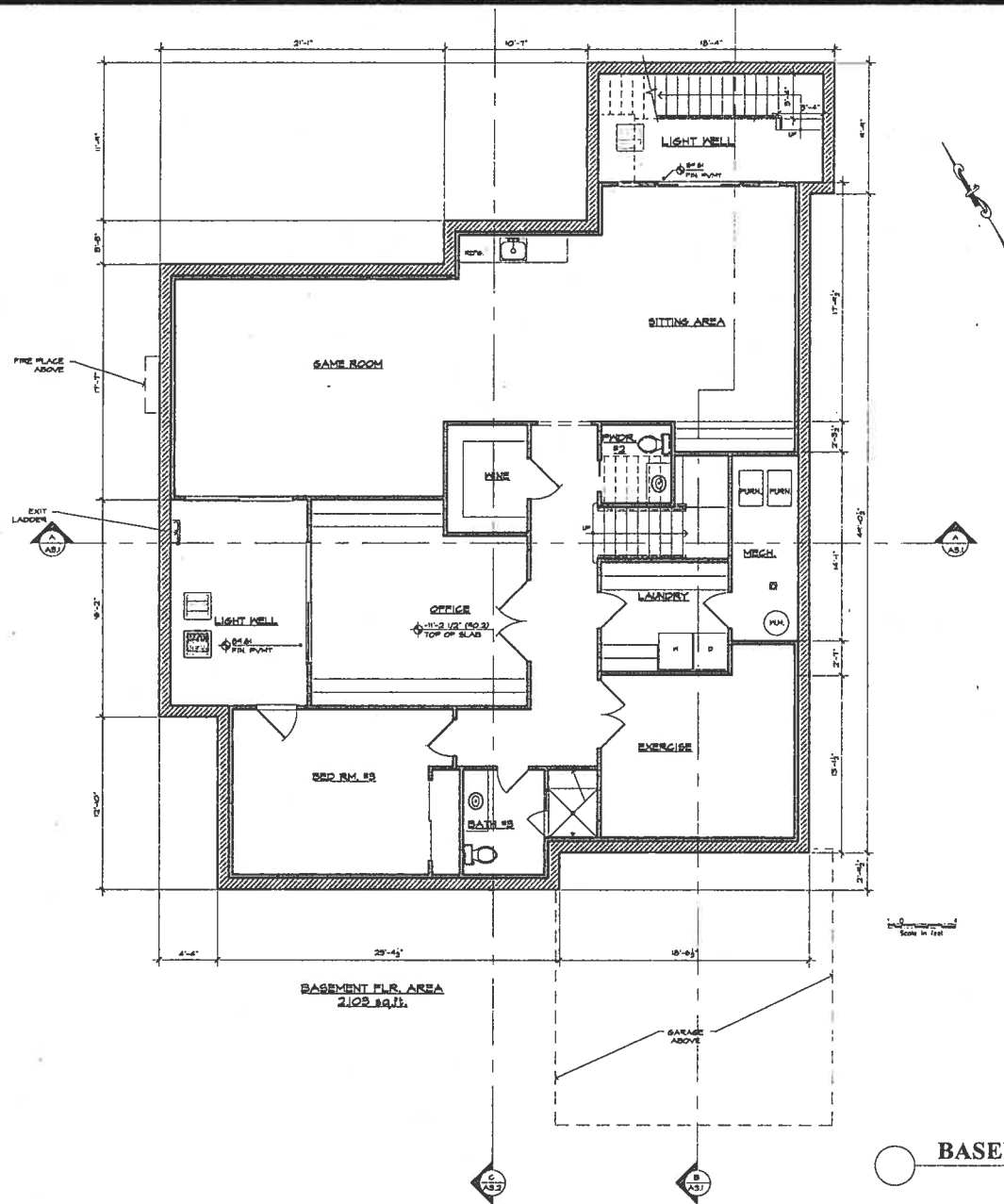

$$1/A^2 \approx 1 - O^2$$

BROWN  
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 CHERRY  
 JUL  
 MAY  
 12-01-18  
 BROWN  
 7-1-07  
 MAY 10  
 BEST  
 A2.2

NEW RESIDENCE  
**CHENG**  
760 HOBART STREET  
MENLO PARK, CA

## A2.2

144



**BASEMENT FLOOR PLAN**  
1/4" = 1'-0"

DATE	
BY	
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DATE	

ARCHITECT  
JANUARY 1988



NEW RESIDENCE  
**CHENG**  
750 HOBART STREET  
MENLO PARK, CA

DATE	
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## STAFF REPORT

### Planning Commission

**Meeting Date:** 2/22/2016

**Staff Report Number:** 16-011-PC

**Public Hearing:** Use Permit/Judith Wilson/220 Robin Way

### Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to add a secondary dwelling unit to an existing detached accessory building that is a nonconforming structure on a lot located in the R-1-U (Single-Family Urban Residential) zoning district, at 220 Robin Way. The value of the work would exceed 75 percent of existing replacement value in a 12-month period. The recommended actions are contained within Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject site is located at 220 Robin Way, between McKendry Drive and Marmona Drive. A location map is included as Attachment B. The subject parcel is surrounded on all sides by single-family homes that are also in the R-1-U zoning district. There are primarily one-story single family residences surrounding the project site which feature architectural styles including ranch and farmhouse style homes. Most of the nearby parcels are also substandard with regard to lot width and feature one-car attached garages.

### Analysis

#### *Project description*

The applicant is proposing to add to an existing detached accessory building (a one-car garage and additional accessory space), in order to create a new accessible secondary dwelling unit of approximately 648.8 square feet in size. Secondary dwelling units are allowed a maximum square footage of 640 square feet. However, secondary dwelling units that comply with disabled access requirements are allowed a maximum square footage of 700 square feet. This proposal would comply with such accessibility regulations.

Secondary dwelling units that meet all applicable regulations are designated as permitted uses, with no Planning Commission review required. However, the existing garage portion of the building encroaches into the side and rear setbacks, making it a nonconforming structure with regard to the provisions of the Zoning Ordinance. Because the addition/remodel work would exceed 75 percent of the replacement value

of the nonconforming structure, use permit approval is required. The valuation calculation is discussed in more detail in a following section.

With regard to the areas of new construction, the Zoning Ordinance requires that a rear setback of 10 feet be provided for new secondary dwelling units, although a setback of five feet may be authorized by contiguous neighbors, or by the Planning Commission through a use permit. The owners of the subject property have acquired written approval from their contiguous neighbors to reduce the rear setback to five feet for the new secondary dwelling unit. Therefore, Planning Commission approval of this setback is not required.

Although the existing detached one-car garage would remain as-is, the existing accessory building space of 233 square feet would be converted into a new kitchen, dining room and bathroom. The new bathroom would include grab rails in the bathroom and in the shower, in order to meet the accessibility requirements referenced earlier. The living room/bedroom would be newly added square footage and would include French doors leading out to concrete landing with an accessible ramp. The front entry would also include an accessible ramp.

The secondary dwelling unit is proposed to be 12 feet, two inches in height, below the maximum permissible height of 17 feet, and the proposed structure would comply with daylight plane requirements. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

### ***Design and materials***

The exterior materials of the secondary unit would match the existing stucco siding and composition shingle roof of the main residence. The proposed roof pitches would complement the existing roof design of the structure. The new windows and new French door (with sidelights) would echo the existing grid windows. Opposite the French door there would be an earth swale in the rear yard and a new pervious-paved pathway which would lead through the yard to the front entry area. Although the expanded one-story structure would not be particularly visible from the public right-of-way or adjacent properties, staff believes that the scale, materials, and design of the proposed secondary dwelling unit would be consistent with the main building of the subject property and neighborhood's mix of architectural styles.

### ***Parking and circulation***

The subject property owners currently have an agreement with the owners of the adjacent lot on the left side of the subject property for access to the driveway which straddles the shared side lot line. Off-street parking for the new secondary unit would be provided on the driveway beyond the existing gates. As permitted by the Zoning Ordinance, this would be an uncovered space located in tandem with the garage. The portion of the driveway wholly on the subject parcel would be repaved with pervious materials. An existing additional parking area at the front right of the property would be reduced in size in order to comply with Municipal Code requirements regarding parking in yards.

### ***Trees and landscaping***

The applicant has submitted an arborist report (Attachment F) detailing the species, size and conditions of the trees on or near the site, including three heritage trees. Heritage tree #2 is in the City right-of-way immediately next to the front lot line, and tree #3 is in front of the adjacent right side property. Tree #4 is in the rear yard and not a heritage-sized tree. An additional heritage walnut tree (tree #1) is located on a neighboring property beyond the rear lot line of the subject property.

The arborist report indicates that the heritage tree #1 would not be affected by the proposed project and the proposed construction would be approximately 18 feet away from the proposed construction. Standard

tree protection fencing would be installed for tree #3 which is close to the point of access for construction. Although the applicant is proposing to remove tree #4, the proposed project is not anticipated to adversely affect any of the remaining trees, as tree protection measures would be ensured through standard condition 3g.

### **Valuation**

The City uses standards established by the Building Division to calculate the replacement and new construction costs on which the use permit threshold is based. The City has determined that the replacement cost of the existing accessory structure would be \$64,100, meaning that the applicant would be allowed to propose new construction and remodeling at this site totaling less than \$48,075 in any 12-month period without applying for a use permit. The City has determined that the value of the proposed work would be approximately \$118,950. Based on this estimate, the proposed project exceeds 75 percent of the replacement cost of the existing structure, therefore requiring use permit approval by the Planning Commission.

### **Correspondence**

Staff has not received any items of correspondence on the proposed project.

### **Conclusion**

Staff believes the scale, materials, and style of the proposed secondary dwelling unit are compatible with the main building of the subject property and the surrounding neighborhood. The applicant has designed the addition to match the materials and design of the existing main residence. The recommended tree protection measures would help minimize impacts on the nearby heritage trees. Aside from the fact that the new secondary dwelling unit would be constructed as an addition/alteration to an existing nonconforming structure, it would meet all other applicable requirements. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

### **Exhibits to Be Provided at Meeting**

None

Report prepared by:

Michele T. Morris, Assistant Planner

Report reviewed by:

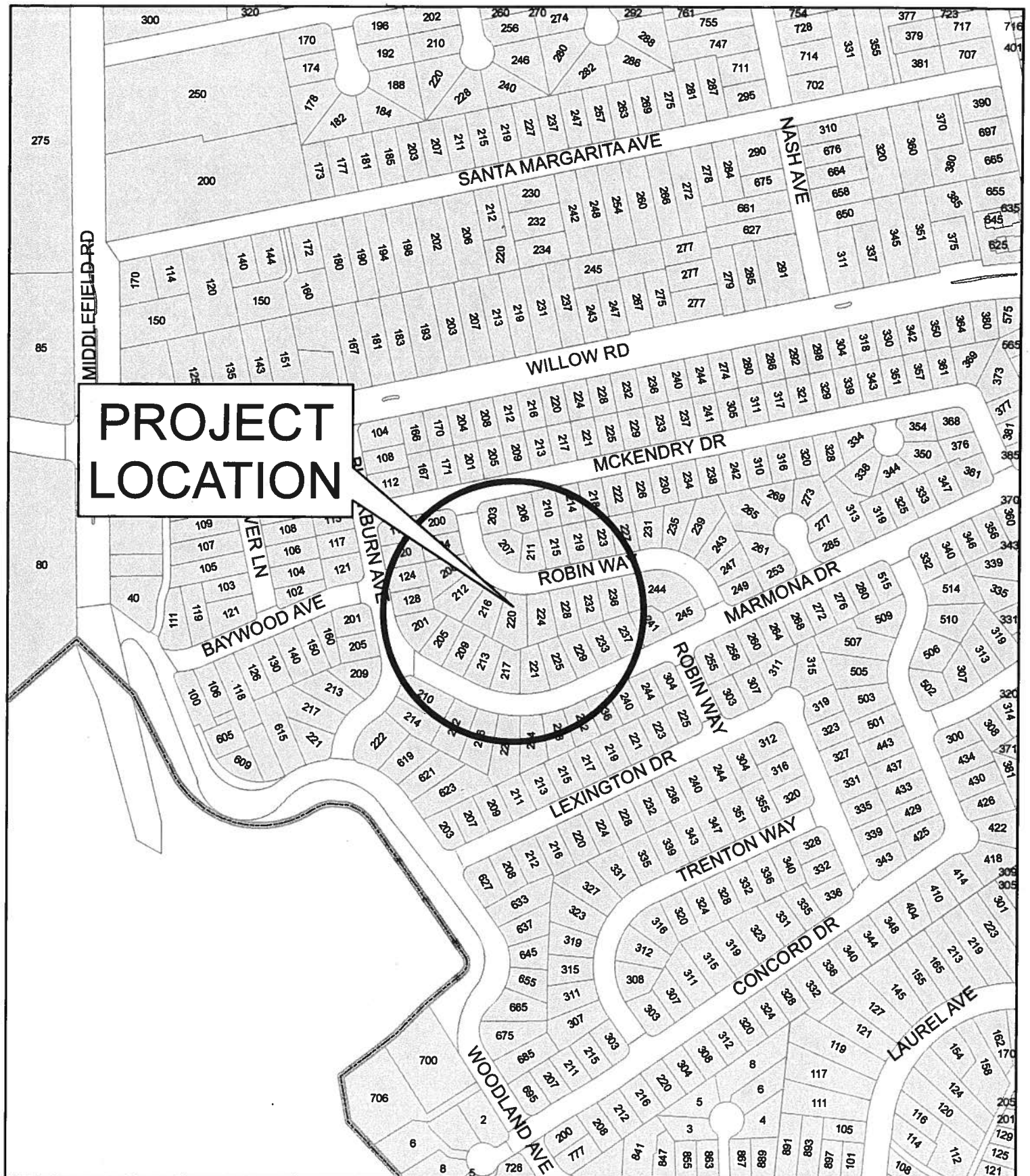
Thomas Rogers, Principal Planner

220 Robin Way – Attachment A: Recommended Actions

<b>LOCATION:</b> 220 Robin Way	<b>PROJECT NUMBER:</b> PLN2015-00100	<b>APPLICANT:</b> Judith Wilson	<b>OWNERS:</b> Judith Wilson and Enrique Cuellar
<b>REQUEST:</b> Use Permit/Judith Wilson/220 Robin Way: Request for a use permit to add a secondary dwelling unit to an existing detached accessory building that is a nonconforming structure on a lot located in the R-1-U (Single-Family Urban Residential) zoning district. The value of the work would exceed 75 percent of existing replacement value in a 12-month period.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 22, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions:             <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Margaret Wimmer Residential Design consisting of sixteen plan sheets, dated received February 10, 2016, and approved by the Planning Commission on February 22, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</li> </ol> </li> </ol>			



**PROJECT  
LOCATION**



# CITY OF MENLO PARK

B1

LOCATION MAP  
220 ROBIN WAY



DRAWN: THR CHECKED: THR DATE: 02/22/15 SCALE: 1" = 300' SHEET: 1

# 220 Robin Way – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	8,117 sf	8,117 sf	7,000 sf min.
Lot width	53 ft.	53 ft.	65 ft. min.
Lot depth	113.3 ft.	113.3 ft.	100 ft. min.
Setbacks			
Front	24.7 ft.	24.7 ft.	20 ft. min.
Rear	55 ft.	55 ft.	20 ft. min.
Side (left)	10 ft.	10 ft.	5 ft. min.
Side (right)	4.9 ft.	4.9 ft.	5 ft. min.
Building coverage	2,729.3 sf	2,313.5 sf	3,117.3 sf max.
	33.6 %	28.5 %	38.4 % max.
FAL (Floor Area Limit)	2,586.3 sf	2,170.5 sf	3,079.3 sf max.
Square footage by floor	1,687.5 sf/1 <sup>st</sup> 250 sf/garage 648.8 sf/SDU* 143 sf/porch	1,687.5 sf/1st 250 sf/garage 233 sf/acc. structure 143 sf/porch	
Square footage of building	2,729.3 sf	2,313.5 sf	
SDU Building height	12.6 ft.	12.6 ft.	17 ft. max.
Parking	1 covered/2 uncovered	1 covered/1 uncovered	1 covered/1 uncovered
Trees	Heritage trees	2**	Non-Heritage trees 2
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal 0
			New Trees 0
			Total Number of Trees 4

\*SDU is an abbreviation for secondary dwelling unit.

\*\*Two heritage trees are located on an adjacent property.

C1.



# PROJECT SCOPE:

415.75 square foot addition to existing detached 250.0 square foot garage with existing 233.0 square foot dwelling space.  
New dwelling unit shall comply with all Menlo Park zoning regulations and shall comply with ADA standards for disabled persons.

The square footage of all levels of the secondary dwelling unit shall not exceed 640 square feet, except buildings complying with all aspects of the disabled access requirements for kitchens, bathrooms, and accessible routes established in the California Building Code for adaptable residential dwelling units shall have a maximum square footage of 700 square feet. The maximum square footage does not include the square footage of an attached accessory building for which there is no internal connection to the secondary dwelling unit. (Section 16.79.040(5)(A)).

Summary of Secondary Dwelling Unit Requirements (Chapter 16.79 of the Menlo Park Ordinance Adopted on June 13, 2014)	
Unit Type	Attached to main dwelling unit or detached
Minimum Lot Size	6,500 sq. ft.
Density	No more than 1 secondary dwelling unit per lot
Attachment	Attached
Minimum Yard	Detached
Unit Use	Maximum of 640 sq. ft. may be increased up to 700 sq. ft. if the building complies with all aspects of disabled access requirements.
Number of Bedrooms and Bathrooms	1 bedroom (maximum) 1 bathroom (maximum)
Height	Attached Detached
Daylight Plane	Daylight plane shall begin at a horizontal line 1' 6" above the average natural grade at a line 3 feet from the side property line, and slope upwards at a 4% average slope.
Parking	1 covered or uncovered, tandem slip parked vehicle required, master side yard and within the front yard if no more than 100' of the front yard is paved for motor vehicles and a minimum side setback of 15 feet is maintained.
Consistency	Consistent with all applicable development regulations for the single-family zoning district and building code requirements.
Aesthetics	One shall have the color, materials and textures and architectural details to match existing work.
Yanuary	Property owner shall occupy either the main or secondary dwelling unit, unless a leasehold agreement is submitted to the Planning Commission.
Process	Projects that comply with all of the development regulations are not subject to discretionary review. A modification to the development regulations, except the density and subdivision standards, may be granted through the use permit process by the Planning Commission.
For the full Secondary Dwelling Unit Ordinance, please refer to the zoning Ordinance at <a href="http://www.menlopark.gov/DocumentCenter/View/1117">http://www.menlopark.gov/DocumentCenter/View/1117</a>	

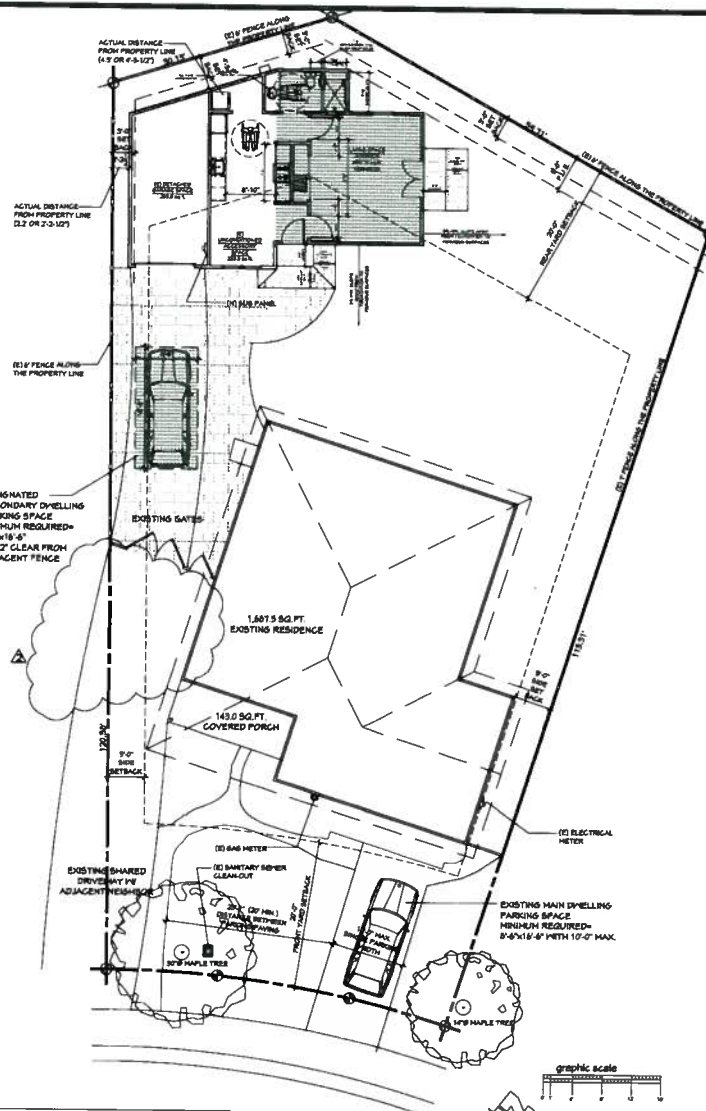
## NOTES:

1. "All materials below BFE shall be resistant to flood damage." (i.e., concrete, Redwood or pressure treated Douglas Fir).
2. PRIOR TO APPROVAL OF FOUNDATION INSPECTION, A LICENSED SURVEYOR SHALL VERIFY FOUNDATION ELEVATION BY SUBMITTING A SIGNED, STAMPED STATEMENT.
3. A "FINISHED CONSTRUCTION" ELEVATION CERTIFICATE WILL BE REQUIRED AT PROJECT COMPLETION.
4. Any frontage improvements which are damaged as a result of construction will be required to be replaced.
5. An encroachment permit will be required for any work in the public right of way. The water provider is Menlo Park Water District. Coordinate accordingly if water meter or service needs to be upgraded.
6. The sanitary sewer provider is West Bay Sanitary District.
7. On May 5, 2015, the City Council passed Resolution 6261 in response to the 2014 Water Shortage Contingency Plan (WSCP), as required by the State of California, to address the present drought. The resolution requires that potable irrigation water be delivered only by drip or micro-spray irrigation devices.
8. AT THE TIME OF FINAL INSPECTION AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER (CGBSC Section 4.410)

## FRONT EXTERIOR ELEVATION REQUIREMENT

(CGB-1314.1) ADDRESS NUMBERS - Buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 1/2 inch. Where access is by means of a private road and the building address cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

TITLE-24 REQUIREMENTS:	
CEILING INSULATION	R-30 min.
WALL INSULATION	R-13 min.
SLAB FLOOR INSULATION	N/A
RADIANT BARRIER ON ROOF	
NEW WINDOWS DOUBLE GLAZED	
NEW FURNACE EFFICIENCY - 90% AFUE	
ON DEMAND GAS WATER HEATER	140,000 BTU/Hr 0.68 EF
IAQ PANS HERS VERIFICATION REQUIRED	



graphic scale  
1" = 10'-0"

SITE PLAN  
scale: 1/8"=1'-0"

## These Plans Shall Comply With:

- 2013 CBC - California Building Code
- 2013 CRC - California Residential Code
- 2013 CMC - California Mechanical Code
- 2013 CEC - California Electric Code
- 2013 California Building Energy Efficiency Standards
- 2013 California Fire Code
- 2013 California Administrative Code
- 2013 California Energy Code

## ARCHITECTURAL DRAWING INDEX:

- A-1.0 Condition Use Permit Plan
- A-1.1 Site Plan
- A-1.2 Area Calculation
- A-2.0 General Notes
- A-3.0 General Notes, Existing Floor Plan and Exterior Elevations
- A-4.0 Proposed Floor Plan
- A-5.0 Lighting and Electrical Plan
- A-5.1 Gas Wall Heater Specification, Gas Diagram
- A-6.0 Proposed Exterior Elevations
- A-7.0 Roof Plan, Building Sections, Venting Details
- A-8.0 Building Section, Door/Window Schedule, Flood Certificate
- G-0.1 Grading and Drainage Plan
- ADA Voluntary ADA Compliance Sheet
- BMP Best Management Practices
- S-1 Survey
- AP-1.0 Area Plan

## PROJECT DATA:

Address: 220 Robin Way  
Owner: Judith Wilson & Enrique Cuellar  
APN: 062-340-060  
Lot area: 8,117.0 sq. ft.  
Occupancy Group: R-1/U  
Construction Type: V-B  
Stories: 1  
Fire Sprinklers: N  
Flood Zone: AE  
Base Flood Elevation: +50.7

Floor Area Limit: 3,074.25 sq. ft.  
Building Lot Coverage: 3,117.0 sq. ft. maximum

## EXISTING FLOOR AREA:

Existing Main House: 1,687.5 sq. ft.  
Existing Detached Building: 493.0 sq. ft.  
EXISTING FLOOR AREA: 2,180.5 sq. ft.

## PROPOSED ADDITION:

New Secondary Dwelling: 415.75 sq. ft.  
TOTAL FLOOR AREA: 2,596.25 sq. ft.

## SECONDARY DWELLING FLOOR AREA:

Addition to Secondary Dwelling: 415.75 sq. ft.  
Conversion Area: 233.0 sq. ft.  
Total Dwelling Area: 648.75 sq. ft.

Unconditioned Area (Garage): 250.0 sq. ft.  
TOTAL DETACHED BUILDING: 648.75 sq. ft.

## LOT COVERAGE:

Main House: 1,687.5 sq. ft.  
Main House Covered Porch: 143.0 sq. ft.  
Secondary Dwelling: 648.75 sq. ft.  
TOTAL LOT COVERAGE: 2,479.25 sq. ft.

Front Yard Setback: 20'-0"  
Rear Yard Setback: 20'-0"  
Side Yard Setbacks: 5'-0"  
Accessory Building Setback: 5'-0"

VICINITY MAP  
scale: nts

REVISIONS	
NO	DATE
1	09/10/15 MM
2	12/02/16 MM



MARGARET WIMMER  
RESIDENTIAL DESIGN  
P.O. BOX 60681  
PALO ALTO, CA 94306  
MMWIMMER@YAHOO.COM  
(650) 646-1610

CONDITIONAL USE PERMIT  
SITE PLAN  
PROJECT DATA

A Secondary Dwelling Unit For The:  
**WILSON/CUELLAR Family**  
220 Robin Way - Menlo Park CA 94025

DESIGNED BY	MM
DATE	2/10/2016
CHECKED BY	AS SACKSON
SHEET NO.	

A-1.0

FEB 10 2016

CITY OF MENLO PARK  
BUILDING

# PROJECT SCOPE:

415.75 square foot addition to existing detached 250.0 square foot garage with existing 293.0 square foot dwelling space.  
New dwelling unit shall comply with all Menlo Park zoning regulations and shall comply with ADA standards for disabled persons.

The square footage of all levels of the secondary dwelling unit shall not exceed 840 square feet, except buildings complying with all aspects of the disabled access requirements for kitchens, bathrooms, and accessible routes established in the California Building Code for adaptable residential dwelling units shall have a maximum square footage of 700 square feet. The maximum square footage does not include the square footage of an attached accessory building for which there is no internal connection to the secondary dwelling unit. (Section 16.79.040(5)(A)).

Summary of Water, Building Code Requirements	
Chapter 19.03 Building Code	
Observations 11/11/15	
Unit Type	Attached to main dwelling unit as detached
Minimum Lot Size	6,000 sq ft
Density	No more than 1 secondary dwelling unit per lot
Minimum Yard	Attached: Comply with minimum yard requirements for existing district. Detached: Comply with minimum yard requirements for existing district. If the detached unit is located within 10 feet of the main dwelling unit, the minimum rear yard setback shall be 10 feet and the minimum side yard setback shall be 5 feet. If the detached unit is located more than 10 feet from the main dwelling unit, the minimum rear yard setback shall be 10 feet and the minimum side yard setback shall be 5 feet. If the detached unit is located within 10 feet of the main dwelling unit, the minimum rear yard setback shall be 10 feet and the minimum side yard setback shall be 5 feet. If the detached unit is located more than 10 feet from the main dwelling unit, the minimum rear yard setback shall be 10 feet and the minimum side yard setback shall be 5 feet.
Unit Use	Residential (dwelling)
Number of Bedrooms and Bathrooms	1 bedroom (dwelling) 1 bathroom (dwelling)
Height	Attached: Comply with the height requirement for the existing district. Detached: 17.5'
Daylight Plane	Daylight plane shall begin at a horizontal line 9 feet, 6 inches above the average natural grade at a line 3 feet from the side property line, and slope upwards at a 4:1 degree angle.
Parking	1 space for each detached unit, unless otherwise specified. If the detached unit is located within 10 feet of the main dwelling unit, the minimum rear yard setback shall be 10 feet and the minimum side yard setback shall be 5 feet. If the detached unit is located more than 10 feet from the main dwelling unit, the minimum rear yard setback shall be 10 feet and the minimum side yard setback shall be 5 feet.
Designation	Comply with all applicable development regulations for the single-family zoning district and building code requirements.
Architect	Unit shall have the colors, materials and textures and architecture similar to main dwelling unit.
Finishes	Property owner shall occupy either the main or secondary dwelling unit, unless a non-resident registration or use permit is obtained. Request this comply with all of the development regulations and are subject to discretionary review. A modification to the development regulations, except the density and minimum standards, may be granted through the use permit process by the Planning Commission.
Process	Building permits are required prior to any construction.

For the full Secondary Dwelling Unit Ordinance, please refer to the Zoning Ordinance at <http://www.menlopark.org/DocumentCenter/View/1312>

## NOTES:

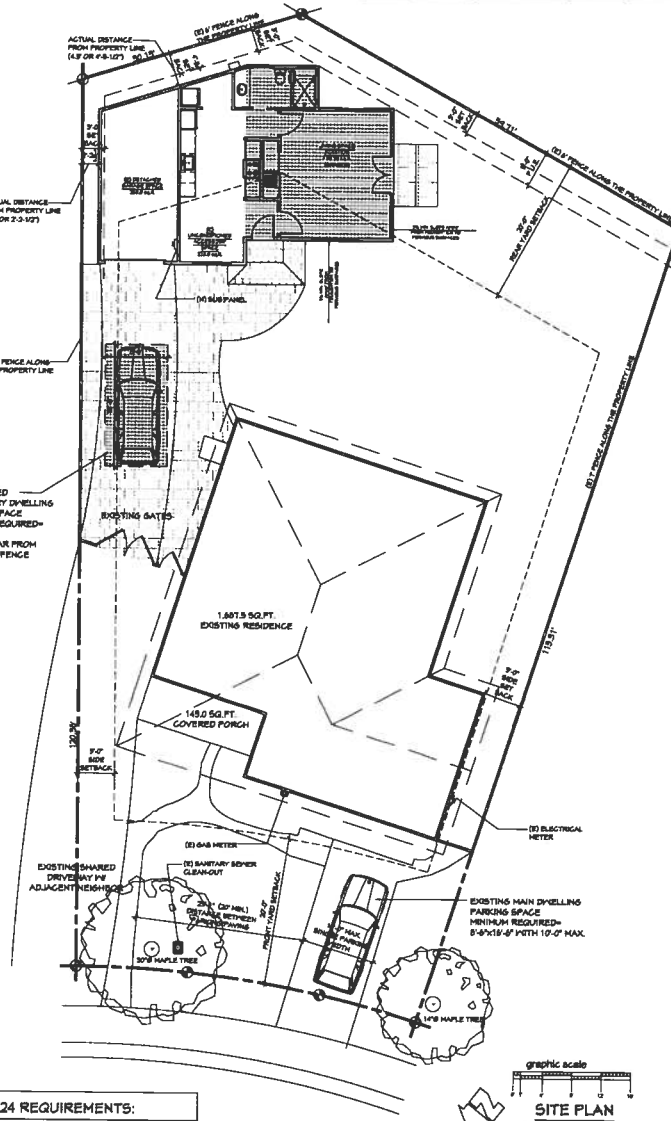
- "All materials below BFE shall be resistant to flood damage." (i.e., concrete, Redwood or pressure treated Douglas Fir).
- PRIOR TO APPROVAL OF FOUNDATION INSPECTION, A LICENSED SURVEYOR SHALL VERIFY FOUNDATION ELEVATION BY SUBMITTING A SIGNED, STAMPED STATEMENT.
- A "FINISHED CONSTRUCTION" ELEVATION CERTIFICATE WILL BE REQUIRED AT PROJECT COMPLETION.
- Any frontage improvements which are damaged as a result of construction will be required to be replaced.
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- AT THE TIME OF FINAL INSPECTION AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER (CGBSC Section 4.410)

## FRONT EXTERIOR ELEVATION REQUIREMENT

(CIBC-R314.1) ADDRESS NUMBERS - Buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 1/2 inch. Where access is by means of a private road and the building address cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure.

## TITLE-24 REQUIREMENTS:

CEILING INSULATION	R-30 min.
WALL INSULATION	R-13 min.
SLAB FLOOR INSULATION	N/A
RADIANT BARRIER ON ROOF	
NEW WINDOWS DOUBLE GLAZED	
NEW FURNACE EFFICIENCY - 90% AFUE	
ON DEMAND GAS WATER HEATER	195,000 BTU/HR 0.65 EF
140 FANS HERS VERIFICATION REQUIRED	



graphic scale  
SITE PLAN  
scale: 1/8"=1'-0"

These Plans Shall Comply With:  
2013 CBC - California Building Code  
2013 CRC - California Residential Code  
2013 CPG - California Plumbing Code  
2013 CMG - California Mechanical Code  
2013 CEG - California Electric Code  
2013 California Building Energy Efficiency Standards  
2013 California Fire Code  
2013 California Administrative Code  
2013 California Energy Code

## ARCHITECTURAL DRAWING INDEX:

- A-1.0 Site Plan, Area Calculation
- A-1.1 Area Calculation
- A-2.0 General Notes
- A-3.0 General Notes, Existing Floor Plan and Exterior Elevations
- A-4.0 Proposed Floor Plan
- A-5.0 Lighting and Electrical Plan
- A-5.1 Gas Wall Heater Specification, Gas Diagram
- A-6.0 Proposed Exterior Elevations
- A-7.0 Building Sections, Venting Details
- A-8.0 Flood Certificate
- T-24.1 Title-24 Calculations
- T-24.2 Mandatory Measures
- A-9.0 Grading and Drainage Plan
- ADA Voluntary ADA Compliance Sheet
- Best Management Practices

## STRUCTURAL DRAWING INDEX:

- STD-1 Structural Standard Details
- STD-2 Structural Standard Details
- STD-3 Structural Standard Details
- S-1 Structural Foundation Plan
- S-2 Structural Roof Framing Plan
- S-3 Structural Details
- S-4 Structural Details

## PROJECT DATA:

Address: 220 Robin Way  
Owner: Judith Wilson & Enrique Cuellar  
APN: 062-340-060  
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Occupancy Group: R-1/U  
Construction Type: V-B  
Stories: 1  
Fire Sprinklers: N  
Flood Zone: AE  
Base Flood Elevation: +50.7

Floor Area Limit: = 3,074.25 sq. ft.  
Building Lot Coverage: = 3,117.0 sq. ft. maximum

EXISTING FLOOR AREA:  
Existing Main House: 1,687.5 sq. ft.  
Existing Detached Building: 499.0 sq. ft.  
EXISTING FLOOR AREA: 2,186.5 sq. ft.

PROPOSED ADDITION:  
New Secondary Dwelling: 415.75 sq. ft.  
TOTAL FLOOR AREA: 2,602.25 sq. ft.

SECONDARY DWELLING FLOOR AREA:  
Addition to Secondary Dwelling: 415.75 sq. ft.  
Conversion Area: 250.0 sq. ft.  
Total Dwelling Area: 665.75 sq. ft.

Unconditioned Area (Garage): 250.0 sq. ft.  
TOTAL DETACHED BUILDING: 645.75 sq. ft.

LOT COVERAGE:  
Main House: 1,687.5 sq. ft.  
Main House Covered Porch: 149.0 sq. ft.  
Secondary Dwelling: 645.75 sq. ft.  
TOTAL LOT COVERAGE: 2,486.25 sq. ft.

Front Yard Setback: 20'-0"  
Rear Yard Setback: 20'-0"  
Side Yard Setbacks: 5'-0"  
Accessory Building Setback: 3'-0"



REVISIONS	
NO.	DATE
1	04/01/15 MM



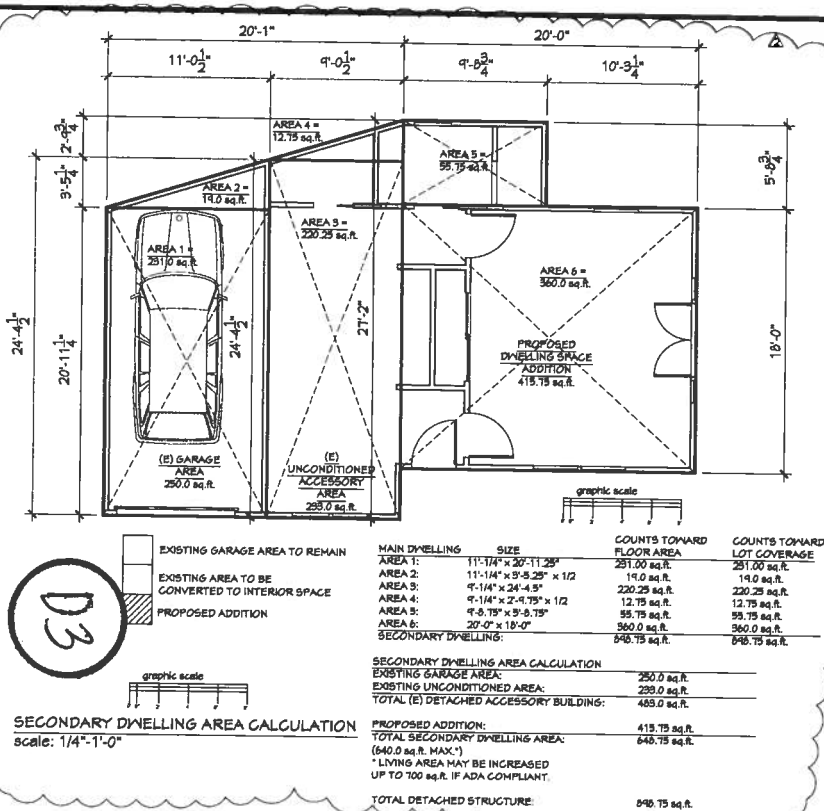
MARGARET WIMMER  
RESIDENTIAL DESIGN  
P.O. BOX 60681  
PALO ALTO, CA 94306  
MMWIMMER@YAHOO.COM  
650 646-1610

SITE PLAN  
PROJECT DATA

A Secondary Dwelling Unit For The:  
**WILSON/CUELLAR Family**  
220 Robin Way - Menlo Park CA 94025

DRAWN BY:	MM
DATE:	2/10/2016
SCALE:	AS SHOWN
SHEET NO.	

A-1.1



#### GREEN BUILDING NOTES:

\*Architectural paints and coatings, adhesives, caulks and sealants shall comply with the Volatile Organic Compound (VOC) limits listed in Tables 4.504.1-4.504.3. [CalGreen 4.504.2.1 thru 4.504.2.3] Finish materials for pollutant control shall comply with this section. [CalGreen 4.504.1]

16.1 Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

16.1.1 Adhesives, adhesive bonding primers, adhesive primers, sealers, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 116B VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 116B prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.

16.1.2 Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

16.2 Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

16.3 Aerosol paints and coatings shall meet the Product-weighted MIR limits for ROG in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (c)(2) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent vob by weight of product limits of Regulation 5, Rule 44.

16.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

16.4.1 Manufacturer's product specification

16.4.2 Field verification of on-site product containers

17. Carpet systems shall meet Green Building Requirements. [CalGreen 4.504.3]

17.1 All new carpet installed in the building interior shall meet the testing and product requirements of one of the following:

17.1.1 Carpet and Rug Institute's Green Label Plus Program

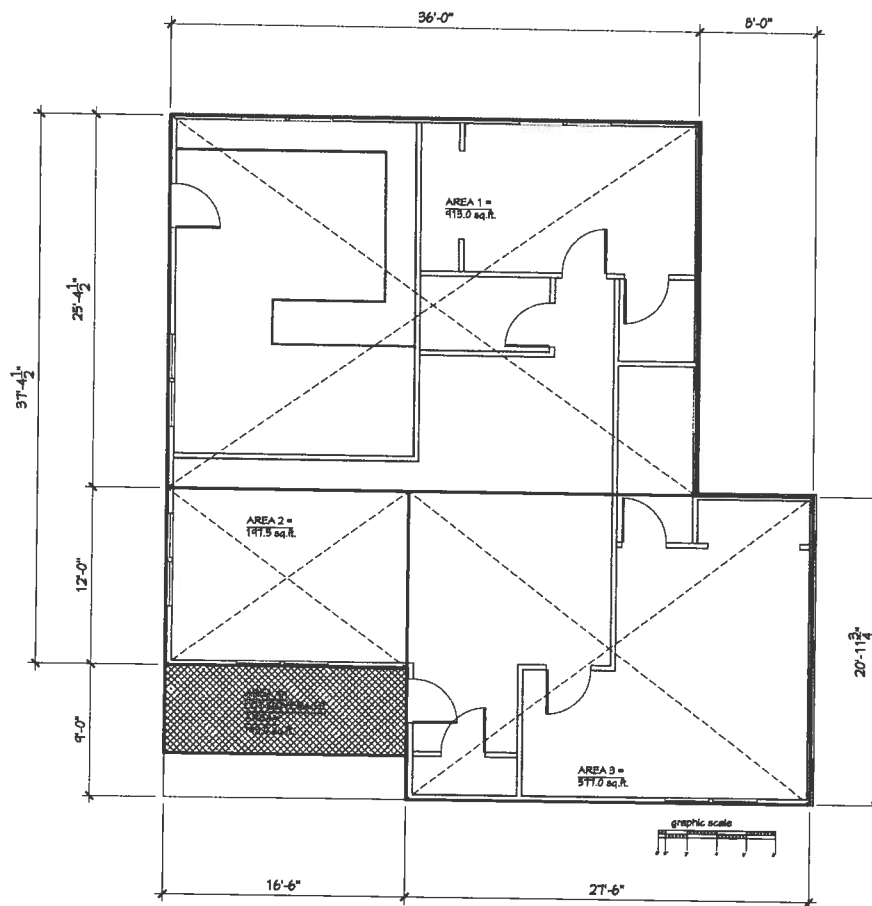
17.1.2 California Department of Public Health's Specification 01950

17.1.3 NSF/ANSI 140 at the Gold level

17.1.4 Scientific Certifications Systems Indoor Advantage™ Gold

17.2 All new carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program. [CalGreen 4.504.3.1]

17.3 All carpet adhesives shall meet the requirements of Table 4.504.1. [CalGreen 4.504.3.2]



EXISTING FLOOR AREA  
COUNTS TOWARD LOT COVERAGE



EXISTING MAIN DWELLING AREA CALCULATION  
scale: 1/4"=1'-0"

REVISIONS	
NO.	DATE
1	04/10/15 MM
2	02/02/16 MM



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FLOOR AREA  
LOT COVERAGE  
CALCULATIONS  
GREEN BUILDING NOTES

A Secondary Dwelling Unit For The:  
**WILSON/CUPELLAR Family**  
220 Robin Way - Menlo Park CA 94025

DRAWN BY:	MM
DATE:	01/02/2016
SCALE:	AS SHOWN
SHEET NO.	

A-1.2

Form	Section B (cont.)		
	Section C		
	Section D		
	Section E		
Data	Section F		
	Section G		
	Section H		
	Section I		
Form	Section J		
	Section K		
	Section L		
	Section M		

REVISIONS	
NO.	DATE
1	09/10/15 MAM



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GENERAL NOTES  
SKYLIGHT SPECS

A Secondary Dwelling Unit For The:  
**NILSON/CUELLAR Family**  
220 Robin Way ~ Menlo Park CA 94025

DRAWN BY:
MM
DATE
2/10/2016
SCALE
AS SHOWN

A-20



# MECHANICAL NOTES:

[CRC-303.5.1] Each BATHROOM containing a bathtub, shower or tub/shower combination shall be MECHANICALLY VENTILATED for purposes of humidity control in accordance with CMG Chapter 4; and CAL Green Division 4.5. The minimum local exhaust rates shall be 30 cubic feet per minute for intermittent ventilation or 20 cubic feet per minute for continuous ventilation. Exhaust air from the space shall be exhausted directly to the outdoors.

[CRC-121.2.5] GAS utilization appliances connected to a piping system shall have an accessible, approved MANUAL SHUT OFF VALVE installed within 6 feet of the appliance it serves.

[CRC-304.0] SERVICE ACCESS/CLEARANCE: Unless otherwise specified, not less than 30" inches in depth, width, and height of working space shall be provided.

Cooktop hood exhaust termination must be 4 feet from any window or door.

[CMC-307.1 and 307.2.] Provide minimum 36" MECHANICAL CLEARANCE (floor to ceiling) in front of all mechanical equipment as required.

[CMC-307.1] PROTECTION AGAINST DAMAGE. Appliances installed in garages shall be guarded against such damage by being installed behind protective barriers (BOLLARDS) or by being elevated or located out of the normal path of vehicles. Heating and cooling equipment located in a garage and that generates a glow, spark, or flame capable of igniting flammable vapors shall be installed with the pilot and heating elements and switches at least eighteen (18) inches above the floor level.

[CRC-303.4.2, CRC-303.5] EXHAUST AIR shall not be directed onto walls/ceiling. Air exhaust and intake openings that terminate outdoors shall be protected with corrosion-resistant screens, louvers or grilles having a minimum opening size of 1/2 inch and a maximum opening size of 1/2 inch, in any dimension. Outdoor air exhaust and intake openings shall meet the provisions for exterior wall opening protectives in accordance with this code.

[CMC-404.11.1] ACCESS - Appliances installed in attic or under floor shall be accessible through an opening at least as large as the largest component of the appliance and not less than 22x30".

[CMC-404.11.2 & CMC-404.11.3] PASSAGEWAY HEIGHT - If less than 6 feet high, the distance to the appliance shall exceed 20 feet. PASSAGEWAY shall have SOLID FLOORING not less than 24" wide from the entrance opening to the appliance.

[CMC-404.11.6] LIGHTING AND CONVENIENCE OUTLET - 120-volt receptacle and lighting fixture shall be installed near the appliance with switch control located at the access entrance.

[CMC-916.1] Upper cabinets adjacent to a cooking surface shall be a minimum of 30" above cooking top or a hood is to be installed per manufacturer's requirements with clearances as required by the range/cooktop manufacturer's installation instructions. Provide minimum clearances to combustible materials.

[CMC-420.0] Open-Top Broiler units shall be provided with a hood and an exhaust fan having a minimum capacity of 100 cubic feet per minute per square foot of hood intake area.

[CMC-420.0] Protection Above Domestic Units. Domestic open-top broiler units shall be provided with a metal ventilating hood not less than (0.5 mm) thick with a clearance of not less than 14" between the hood and the underside of combustible material or metal cabinets. A clearance of at least 24" shall be maintained between the cooking top and the combustible material or metal cabinet, and the hood shall be at least as wide as the open-top broiler unit and centered over the unit.

[CMC-425.1] REFRIGERATORS - Shall be provided with a 2" clearance in the back of the appliance and 12" above the top for ventilation (or as instructed by the manufacturer).

[CMC-504.2] DOMESTIC RANGE VENTS - Ducts used for domestic kitchen range ventilation shall be of metal and shall have smooth interior surfaces. Ducts for domestic range hoods shall only serve cooking appliances.

## WATER HEATER

[CMC-505.5] All storage or instantaneous-type water heaters shall be equipped with a temperature-limiting means in addition to its control thermostat to disconnect all ungrounded conductors.

[CMC-507.1.4] Gas utilization appliances INSTALLED IN RESIDENTIAL GARAGES and in adjacent spaces that open to the garage and are not part of the living space of a dwelling unit shall be installed so that burners and burner-ignition devices are located not less than eighteen (18) inches above the floor unless listed as flammable vapor ignition resistant. Such appliances shall be located or protected so it is not subject to physical damage by a moving vehicle. When appliances are installed in a separate enclosed space having access only from outside of the garage, such appliances shall be permitted to be installed at floor level, providing the required combustion air is taken from the exterior of the garage.

[CMC-508.2] Water heaters shall be anchored for protection from 0.25g seismic damage or strapped to resist horizontal displacement due to earthquake motion. Strapping shall be at points within the upper one-third and lower one-third of its vertical dimensions. At the lower point, a minimum distance of four (4) inches shall be maintained above the controls with the strapping.

[CMC-508.5] A water heater supported from the ground shall rest on level concrete or other approved base extending not less than three (3) inches above the adjoining ground level.

[CMC-508.4] When a water heater is located in an attic, attic-ceiling assembly, floor-ceiling assembly, or floor-attic assembly where damage results from a leaking water heater, a watertight pan of corrosion-resistant materials shall be installed beneath the water heater with not less than three-quarters of an inch diameter drain to an approved location.

## DOMESTIC CLOTHES DRYERS

[CMC-504.3.2] DOMESTIC CLOTHES DRYERS-When a compartment or space for a domestic clothes dryer is provided, a minimum 4" diameter moisture exhaust duct of approved material (ducts shall be of metal and shall have smooth interior surfaces). Dryer shall vent to outside of building and be a maximum of 25' in length with 2.5 feet reduction for each 45 degree elbow and 5 feet reduction for each 90 degree elbow.

[CMC-701.3] Provide COMBUSTION AIR for the Gas Dryer by means of a louvered door.

[CMC-404.11.0] Appliances (HVAC UNITS) in Attic - Provide min. 22x30" ACCESS.

[CMC-404.11.2] Where the height of the Passageway Height is less than 6 feet, the distance from the passageway access to the appliance shall not exceed 20 feet.

[CMC-404.11.3] The passageway shall be unobstructed and shall have a solid flooring not less than 24" wide.

[CMC-404.11.4] Work Surface - Provide a level working platform not less than 50" by 50" in front of the appliance.

[CMC-404.11.5] Provide a permanent 120-volt receptacle outlet and a lighting fixture shall be installed near the appliance. The switch controlling the light shall be located at the entrance to the passageway.

[CMC-602.9.2.1] Chimney Termination for residential-type or low-heat appliances shall extend at least 3' feet above the highest point where it passes through a roof of a building and at least two (2) feet higher than any portion of a building within a horizontal distance often 10' feet.

[CMC-1309.4.1] SIZING OF GAS PIPING SYSTEMS - Gas piping systems shall be of such size and so installed as to provide a supply of gas sufficient to meet the maximum demand and supply gas to each appliance listed at not less than the minimum supply pressure required by the appliance. Guideline usage is as follows:

## WATER HEATING APPLIANCES:

Water heater 30 to 40 gal tank 95,000 btu/hour

Water heater 50 gal tank 40,000 btu/hour

## COOKING APPLIANCES:

Range, free standing, domestic 65,000 btu/hour

Built-in oven or broiler unit, domestic 25,000 btu/hour

Built-in top unit, domestic 40,000 btu/hour

## OTHER APPLIANCES:

Clothes dryer, Type 1 (domestic) 95,000 btu/hour

Gas fireplace, direct vent 40,000 btu/hour

Gas log 50,000 btu/hour

Gas barbecue 50,000 btu/hour

HVAC SYSTEM [Square Feet x 25] TBD btu/hour

Note: 1 Btu/hr = 0.293 W

[CMC-505.5]

## 64 TANKLESS SERIES

Continuous hot water for 1-2 bathroom homes

RTS-400V Instant On/Off and RTS-402 outdoor natural and LP models - 11,000 - 118,000 BTU input. 4.0 GPM at 20" WC min. 3.4 gal./min. at 40" WC

Features:

• 12 Year No Leak Exchange, 5 Year on parts, 3 Year on labor

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Tankless water heaters  
Continuous hot water

Rheem  
relax  
it's rheem

TANKLESS WATER HEATER SPEC

## 64 TANKLESS SERIES

Continuous hot water for 1-2 bathroom homes

RTS-400V Instant On/Off and RTS-402 outdoor natural and LP models - 11,000 - 118,000 BTU input. 4.0 GPM at 20" WC min. 3.4 gal./min. at 40" WC

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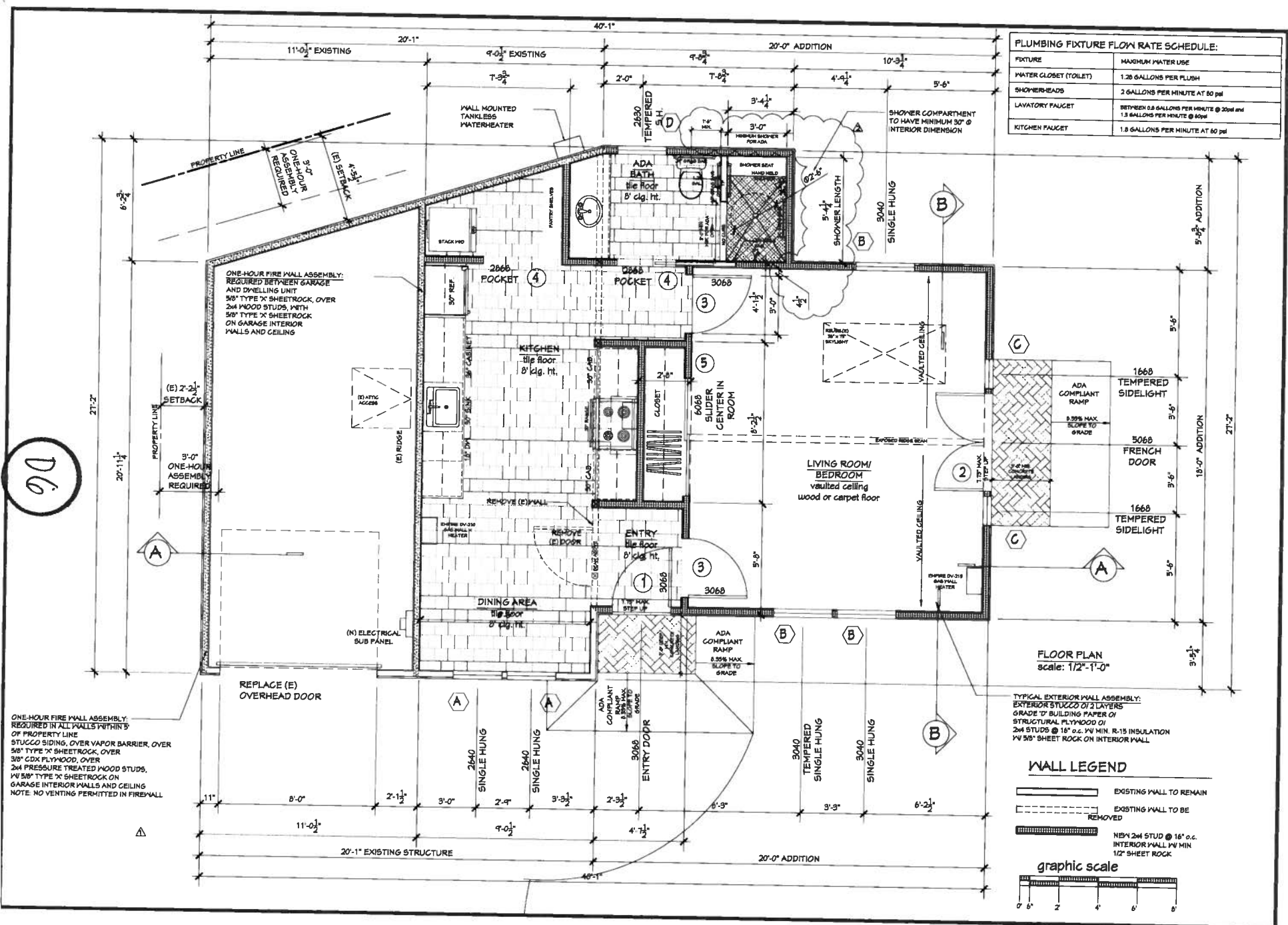
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D6



REVISIONS	
NO.	DATE
1	04/10/15 MFM
2	02/02/16 MFM



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RESIDENTIAL DESIGN  
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**FLOOR PLAN**

A Secondary Dwelling Unit For The:  
**WILSON/CUELLAR Family**  
220 Robin Way - Menlo Park CA 94025

DRAWN BY:	MFM
DATE:	2/10/2016
SCALE:	AS SHOWN
SHEET NO.	

**A-4.0**

## ELECTRICAL NOTES

## GENERAL

1. Contractor shall Verify the locations of outlets, lights, etc. with owner at the time of box rough in and prior to final wiring.

2. Contractor shall Review power requirements of all kitchen appliances, HVAC units, water heaters, fireplace, washer and dryer prior to electrical rough in and order.

3. Light switches shall be mounted at +40" (to centerline) above finished floor.

4. Typical wall mounted receptacles shall be mounted HORIZONTALLY and CENTERED within the BASEBOARD.

5. Wall mounted receptacles at +36" High kitchen counter tops shall be mounted at +42" (to centerline) above finished floor.

6. Wall mounted receptacles at +34" High bathroom counter tops shall be mounted at +40" (to centerline) above finished floor.

7. [CEC-210.3.2] WORKING CLEARANCE - provide working clearance in front of all mechanical and electrical equipment of 6-12 feet High and 3 feet wide with a door that swings open 90° minimum.

[CEC-210.6(A)] GROUND FAULT CIRCUIT INTERRUPTER - Provide 125-volt, single-phase, 15- and 20-ampere ground-fault circuit-interrupter protection receptacles installed in: Bathrooms, Kitchen, Laundry, Garages, Outdoor, Craft spaces at or below grade level, and unfinished basements.

[CEC-210.11(D)] BRANCH CIRCUITS REQUIRED - (2) or more 20-ampere Small-Appliance Branch Circuits shall be provided within the kitchen area, (1) 30-ampere Laundry Branch Circuit shall be provided within the laundry area, and (1) 20-ampere Bathroom Branch Circuits shall be provided within the bathroom area within each dwelling unit. Such circuits shall have no other outlets.

[CEC-210.12(A)] ARC FAULT CIRCUIT INTERRUPTER - All 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways or similar rooms or areas shall be protected by a listed arc-fault circuit interrupter combination-type, installed to provide protection of the branch circuit.

[CEC-210.52(A)] Receptacle Outlets shall be installed such that no point measured horizontally along the floor line in any unit space is more than 6 ft. from a receptacle outlet. Any space (2 ft. or more in width [including space measured around corners] and unbroken along the floor line by doorways, fireplaces, and similar openings. Receptacle outlets in floors shall not be counted as part of the required number of receptacle outlets unless located within 18 in. of the wall.

[CEC-210.52(C)] 1) A Receptacle Outlet shall be installed at each wall COUNTERTOP space that is 12 in. or under. Receptacle outlets shall be installed so that no point along the wall line is more than 24 in. measured horizontally from a receptacle outlet in that space. At least one receptacle shall be installed at each island countertop space with a long dimension of 24 in. or greater and a short dimension 12 in. or greater. At least one receptacle outlet shall be installed at each peninsula countertop space with a long dimension of 24 in. or greater and a short dimension of 12 in. or greater. [CEC-210.52(G)] 2) Locate Countertop Receptacles within 20 inches of the Countertop.

[CEC-210.52(C) 2 & 3] Provide at least One Receptacle in each ISLAND, and One in each PENINSULA.

[CEC-210.52(C) 4] COUNTERTOP SPACES SEPARATED by range tops, refrigerators, or sinks shall be considered as separate countertop spaces. Receptacle outlets shall be located above, but not more than 20 in. above, the countertop.

Receptacle outlets rendered not readily accessible by appliances fastened in place shall not be considered as those required outlets. At least one receptacle outlet shall be installed in bedrooms within 3 ft. of the outside edge of each basin. The receptacle outlet shall be located on a wall or partition that is adjacent to the basin or basin countertop, or installed on the side of the basin cabinet not more than 12 in. below the countertop.

[CEC-210.52(D)] Provide One Receptacle within 3 FEET of a BATHROOM Basin or Countertop.

C-210.52(E) OUTDOOR OUTLETS - For a one family dwelling that is at grade level, at least one receptacle outlet accessible while standing at grade level and located not more than 6'-6" above grade shall be installed at the front and back of the dwelling. At balconies, decks and porches, accessible from inside the dwelling unit shall have at least one receptacle outlet installed within the perimeter of the balcony, deck or porch and be located not more than 6'-6" above the deck or porch surface.

[CEC-406.9(A)] Receptacles in WET OR DAMP locations shall have a weatherproof cover.

[CEC-220.52] SMALL-APPLIANCE and Laundry Loads. (A) Small-Appliance Circuit Load. In each dwelling unit, the load shall be calculated at 1500 volt-amperes for each 2-wire small-appliance branch circuit as covered by [210.1(C) 1]. Where the load is subdivided through two or more feeders, the calculated load for each shall include not less than 1500 volt-amperes for each 2-wire small-appliance branch circuit. These loads shall be permitted to be included with the general lighting load and subjected to the demand factors provided in Table 220.42. (B) Laundry Circuit Load. A load of not less than 1500 volt-amperes shall be included for each 2-wire laundry branch circuit installed as covered by 210.11 (C)(2). This load shall be permitted to be included with the general lighting load and subjected to the demand factors provided in Table 220.42.

[CEC-220.53] APPLIANCE LOAD - It shall be permissible to apply a demand factor of 75 percent to the nameplate rating load of four or more appliances fastened in place, other than electric ranges, clothes dryers, space-heating equipment, or air conditioning equipment, that are served by the same feeder or service in a one-family, two-family, or multifamily dwelling.

[CEC-220.54] Electric CLOTHES DRYERS - The load for household electric clothes dryers shall be either 5000 watts (volt-amperes) or the nameplate rating, whichever is larger, for each dryer served. Where two or more single-phase dryers are supplied by a 3-phase, 4-wire feeder or service, the total load shall be calculated on the basis of twice the maximum.

[CEC-220.55] ELECTRIC RANGES and Other Cooking Appliances. The load for household electric ranges, wall-mounted ovens, counter-mounted cooking units, and other household cooking appliances individually rated in excess of 1½ kW shall be permitted to be calculated in accordance with Table 220.55. Kilovolt-amperes shall be considered equivalent to kilowatts for loads calculated under this section.

[CEC-406.12] [CEC 210.52] TAMPER RESISTANT RECEPTACLES in Dwelling Units in all areas specified in 210.52 every kitchen, family room, dining room, living room, parlor, library, den, sunroom, bedroom, recreation room, bathroom, garage, basement, laundry and outdoor area, all 125-volt, 15- and 20-ampere receptacles shall be listed tamper resistant receptacles.

[CEC-422.16(B)] WASTE DISPOSERS, Built-in DISHWASHERS and Trash Compactors shall be permitted to be cord and plug-connected with a flexible cord identified as suitable for the purpose in the installation instructions of the appliance manufacturer where The flexible cord shall be terminated with a grounding-type attachment plug. The length of the cord shall be 3 ft. to 4 ft. measured from the face of the attachment plug to the plane of the rear of the appliance. Range hoods shall be permitted to be cord and plug-connected with a flexible cord identified as suitable for use on range hoods in the installation instructions of the appliance manufacturer.

[CEC-410.10(A)] Luminaires installed in WET OR DAMP LOCATIONS shall be installed such that water cannot enter or accumulate in wiring compartments, lampholders, or other electrical parts. All luminaires installed in wet locations shall be marked "Suitable for Wet Locations." All luminaires installed in damp locations shall be marked "Suitable for Wet Locations" or "Suitable for Damp Locations."

[CEC-410.14] All luminaires shall be marked with the Medium Lamp Wattage or electrical rating, manufacturer's name, trademark, or other suitable means of identification.

[CEC-410.16] CLOTHING CLOSETS Listed luminaires of the following types shall be permitted to be installed in a clothing closet:

(1) A surface-mounted or recessed incandescent luminaire with a completely enclosed lamp, (2) a surface-mounted or recessed fluorescent luminaire, (3) a surface mounted fluorescent or LED luminaire identified as suitable for installation within the storage area. A minimum 12" clearance is required between surface mounted fully enclosed INCANDESCENT luminaire mounted on the ceiling or mounted on the wall above the door.

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[CEC-410.10(D)] Bathroom and Shower Areas - CEILING SUSPENDED Luminaires, Pans, Track Lighting or Associated Parts shall be located within a ZONE measured 3 feet horizontally and 3 feet vertically from the top of the bathtub rim or shower stall threshold. Luminaires located within the outside dimension of the bathtub or shower shall be marked for damp locations, or wet locations where subject to shower spray.

[CEC-410.116] CLEARANCE AND INSTALLATION

(1) Non-Type IC. A recessed luminaire that is not identified for contact with insulation shall have all recessed parts spaced not less than 1/2" from combustible materials. The points of support and the trim finishing off the opening in the ceiling or wall surface shall be permitted to be in contact with combustible materials.

(2) Type IC. A recessed luminaire that is identified for contact with insulation, Type IC, shall be permitted to be in contact with combustible materials at recessed parts, points of support, and portions passing through or finishing off the opening in the building structure.

(B) Installation. Thermal insulation shall not be installed above a recessed luminaire or 3 inches of the recessed luminaire's enclosure, wiring compartment, or ballast transformer. LED driver or power supply unless it is identified as TYPE IC for contact with insulation.

[RS09.7] Stairway Illumination. All interior and exterior stairways shall be provided with a means to illuminate the stairs, including the landings and treads. Interior stairways shall be provided with an artificial light source located in the immediate vicinity of each landing of the stairway. For interior stairs the artificial light source shall be capable of illuminating treads and landings to levels not less than 1 foot-candle measured at the center of treads and landings. Exterior stairways shall be provided with an artificial light source located in the immediate vicinity of the top landing of the stairway. Exterior stairways providing access to a basement from the outside grade level shall be provided with an artificial light source located in the immediate vicinity of the bottom landing of the stairway.

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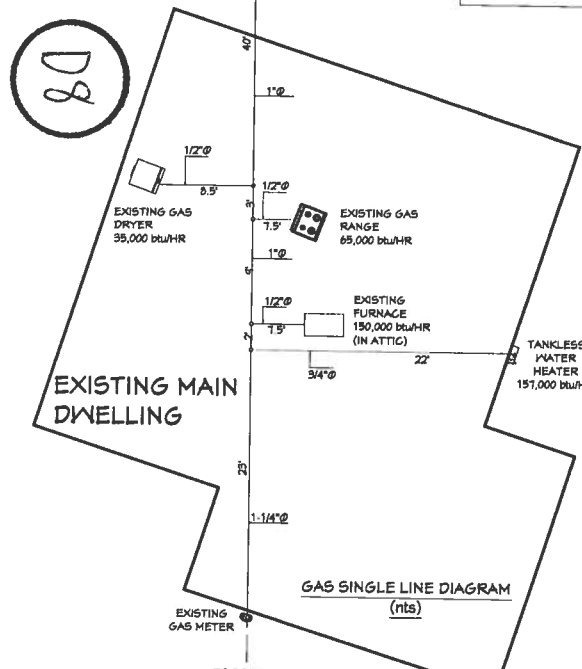
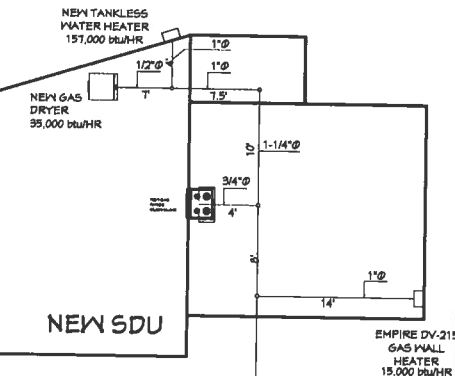
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150,000 WATER HEATER	150,000	136	90 FT	1 1/2"
150,000 WATER HEATER	150,000	140	95 FT	1 1/2"
150,000 WATER HEATER	150,000	145	100 FT	1 1/2"
150,000 WATER HEATER	150,000	150	105 FT	1 1/2"
150,000 WATER HEATER	150,000	155	110 FT	1 1/2"
150,000 WATER HEATER	150,000	160	115 FT	1 1/2"
150,000 WATER HEATER	150,000	165	120 FT	1 1/2"
150,000 WATER HEATER	150,000	170	125 FT	1 1/2"
150,000 WATER HEATER	150,000	175	130 FT	1 1/2"
150,000 WATER HEATER	150,000	180	135 FT	1 1/2"
150,000 WATER HEATER	150,000	185	140 FT	1 1/2"
150,000 WATER HEATER	150,000	190	145 FT	1 1/2"
150,000 WATER HEATER	150,000	195	150 FT	1 1/2"
150,000 WATER HEATER	150,000	200	155 FT	1 1/2"
150,000 WATER HEATER	150,000	205	160 FT	1 1/2"
150,000 WATER HEATER	150,000	210	165 FT	1 1/2"
150,000 WATER HEATER	150,000	215	170 FT	1 1/2"
150,000 WATER HEATER	150,000	220	175 FT	1 1/2"
150,000 WATER HEATER	150,000	225	180 FT	1 1/2"
150,000 WATER HEATER	150,000	230	185 FT	1 1/2"
150,000 WATER HEATER	150,000	235	190 FT	1 1/2"
150,000 WATER HEATER	150,000	240	195 FT	1 1/2"
150,000 WATER HEATER	150,000	245	200 FT	1 1/2"
150,000 WATER HEATER	150,000	250	205 FT	1 1/2"
150,000 WATER HEATER	150,000	255	210 FT	1 1/2"
150,000 WATER HEATER	150,000	260	215 FT	1 1/2"
150,000 WATER HEATER	150,000	265	220 FT	1 1/2"
150,000 WATER HEATER	150,000	270	225 FT	1 1/2"
150,000 WATER HEATER	150,000	275	230 FT	1 1/2"
150,000 WATER HEATER	150,000	280	235 FT	1 1/2"
150,000 WATER HEATER	150,000	285	240 FT	1 1/2"
150,000 WATER HEATER	150,000	290	245 FT	1 1/2"
150,000 WATER HEATER	150,000	295	250 FT	1 1/2"
150,000 WATER HEATER	150,000	300	255 FT	1 1/2"
150,000 WATER HEATER	150,000	305	260 FT	1 1/2"
150,000 WATER HEATER	150,000	310	265 FT	1 1/2"
150,000 WATER HEATER	150,000	315	270 FT	1 1/2"
150,000 WATER HEATER	150,000	320	275 FT	1 1/2"
150,000 WATER HEATER	150,000	325	280 FT	1 1/2"
150,000 WATER HEATER	150,000	330	285 FT	1 1/2"
150,000 WATER HEATER	150,000	335	290 FT	1 1/2"
150,000 WATER HEATER	150,000	340	295 FT	1 1/2"
150,000 WATER HEATER	150,000	345	300 FT	1 1/2"
150,000 WATER HEATER	150,000	350	305 FT	1 1/2"
150,000 WATER HEATER	150,000	355	310 FT	1 1/2"
150,000 WATER HEATER	150,000	360	315 FT	1 1/2"
150,000 WATER HEATER	150,000	365	320 FT	1 1/2"
150,000 WATER HEATER	150,000	370	325 FT	1 1/2"
150,000 WATER HEATER	150,000	375	330 FT	1 1/2"
150,000 WATER HEATER	150,000	380	335 FT	1 1/2"
150,000 WATER HEATER	150,000	385	340 FT	1 1/2"
150,000 WATER HEATER	150,000	390	345 FT	1 1/2"
150,000 WATER HEATER	150,000	395	350 FT	1 1/2"
150,000 WATER HEATER	150,000	400	355 FT	1 1/2"
150,000 WATER HEATER	150,000	405	360 FT	1 1/2"
150,000 WATER HEATER	150,000	410	365 FT	1 1/2"
150,000 WATER HEATER	150,000	415	370 FT	1 1/2"
150,000 WATER HEATER	150,000	420	375 FT	1 1/2"
150,000 WATER HEATER	150,000	425	380 FT	1 1/2"
150,000 WATER HEATER	150,000	430	385 FT	1 1/2"
150,000 WATER HEATER	150,000	435	390 FT	1 1/2"
150,000 WATER HEATER	150,000	440	395 FT	1 1/2"
150,000 WATER HEATER	150,000	445	400 FT	1 1/2"
150,000 WATER HEATER	150,000	450	405 FT	1 1/2"
150,000 WATER HEATER	150,000	455	410 FT	1 1/2"
150,000 WATER HEATER	150,000	460	415 FT	1 1/2"
150,000 WATER HEATER	150,000	465	420 FT	1 1/2"
150,000 WATER HEATER	150,000	470	425 FT	1 1/2"
150,000 WATER HEATER	150,000	475	430 FT	1 1/2"
150,000 WATER HEATER	150,000	480	435 FT	1 1/2"
150,000 WATER HEATER	150,000	485	440 FT	1 1/2"
150,000 WATER HEATER	150,000	490	445 FT	1 1/2"
150,000 WATER HEATER	150,000	495	450 FT	1 1/2"
150,000 WATER HEATER	150,000	500	455 FT	1 1/2"
150,000 WATER HEATER	150,000	505	460 FT	1 1/2"
150,000 WATER HEATER	150,000	510	465 FT	1 1/2"
150,000 WATER HEATER	150,000	515	470 FT	1 1/2"
150,000 WATER HEATER	150,000	520	475 FT	1 1/2"
150,000 WATER HEATER	150,000	525	480 FT	1 1/2"
150,000 WATER HEATER	150,000	530	485 FT	1 1/2"
150,000 WATER HEATER	150,000	535	490 FT	1 1/2"
150,000 WATER HEATER	150,000	540	495 FT	1 1/2"
150,000 WATER HEATER	150,000	545	500 FT	1 1/2"
150,000 WATER HEATER	150,000	550	505 FT	1 1/2"
150,000 WATER HEATER	150,000	555	510 FT	1 1/2"
150,000 WATER HEATER	150,000	560	515 FT	1 1/2"
150,000 WATER HEATER	150,000	565	520 FT	1 1/2"
150,000 WATER HEATER	150,000	570	525 FT	1 1/2"
150,000 WATER HEATER	150,000	575	530 FT	1 1/2"
150,000 WATER HEATER	150,000	580	535 FT	1 1/2"
150,000 WATER HEATER	150,000	585	540 FT	1 1/2"
150,000 WATER HEATER	150,000	590	545 FT	1 1/2"
150,000 WATER HEATER	150,000	595	550 FT	1 1/2"
150,000 WATER HEATER	150,000	600	555 FT	1 1/2"
150,000 WATER HEATER	150,000	605	560 FT	1 1/2"
150,000 WATER HEATER	150,000	610	565 FT	1 1/2"
150,000 WATER HEATER	150,000	615	570 FT	1 1/2"
150,000 WATER HEATER	150,000	620	575 FT	1 1/2"
150,000 WATER HEATER	150,000	625	580 FT	1 1/2"
150,000 WATER HEATER	150,000	630	585 FT	1 1/2"
150,000 WATER HEATER	150,000	635	590 FT	1 1/2"
150,000 WATER HEATER	150,000	640	595 FT	1 1/2"
150,000 WATER HEATER	150,000	645	600 FT	1 1/2"
150,000 WATER HEATER	150,000	650	605 FT	1 1/2"
150,000 WATER HEATER	150,000	655	610 FT	1 1/2"
150,000 WATER HEATER	150,000	660	615 FT	1 1/2"
150,000 WATER HEATER	150,000	665	620 FT	1 1/2"
150,000 WATER HEATER	150,000	670	625 FT	1 1/2"
150,000 WATER HEATER	150,000	675	630 FT	1 1/2"
150,000 WATER HEATER	150,000	680	635 FT	1 1/2"
150,000 WATER HEATER	150,000	685	640 FT	1 1/2"
150,000 WATER HEATER	150,000	690	645 FT	1 1/2"
150,000 WATER HEATER	150,000	695	650 FT	1 1/2"
150,000 WATER HEATER	150,000	700	655 FT	1 1/2"
150,000 WATER HEATER	150,000	705	660 FT	1 1/2"
150,000 WATER HEATER	150,000	710	665 FT	1 1/2"
150,000 WATER HEATER	150,000	715	670 FT	1 1/2"
150,000 WATER HEATER	150,000	720	675 FT	1 1/2"
150,000 WATER HEATER	150,000	725	680 FT	1 1/2"
150,000 WATER HEATER	150,000	730	685 FT	1 1/2"
150,000 WATER HEATER	150,000	735	690 FT	1 1/2"
150,000 WATER HEATER	150,000	740	695 FT	1 1/2"
150,000 WATER HEATER	150,000	745	700 FT	1 1/2"
150,000 WATER HEATER	150,000	750	705 FT	1 1/2"
150,000 WATER HEATER	150,000	755	710 FT	1 1/2"
150,000 WATER HEATER	150,000	760	715 FT	1 1/2"
150,000 WATER HEATER	150,000	765	720 FT	1 1/2"
150,000 WATER HEATER	150,000	770	725 FT	1 1/2"
150,000 WATER HEATER	150,000	775	730 FT	1 1/2"
150,000 WATER HEATER	150,000	780	735 FT	1 1/2"
150,000 WATER HEATER	150,000	785	740 FT	1 1/2"
150,000 WATER HEATER	150,000	790	745 FT	1 1/2"
150,000 WATER HEATER	150,000	795	750 FT	1 1/2"
150,000 WATER HEATER	150,000	800	755 FT	1 1/2"
150,000 WATER HEATER	150,000	805	760 FT	1 1/2"
150,000 WATER HEATER	150,000	810	765 FT	1 1/2"
150,000 WATER HEATER	150,000	815	770 FT	1 1/2"
150,000 WATER HEATER	150,000	820	775 FT	1 1/2"
150,000 WATER HEATER	150,000	825	780 FT	1 1/2"
150,000 WATER HEATER	150,000	830	785 FT	1 1/2"
150,000 WATER HEATER	150,000	835	790 FT	1 1/2"
150,000 WATER HEATER	150,000	840	795 FT	1 1/2"
150,000 WATER HEATER	150,000	845	800 FT	1 1/2"
150,000 WATER HEATER	150,000	850	805 FT	1 1/2"
150,000 WATER HEATER	150,000	855	810 FT	1 1/2"
150,000 WATER HEATER	150,000	860	815 FT	1 1/2"
150,000 WATER HEATER	150,000	865	820 FT	1 1/2"
150,000 WATER HEATER	150,000	870	825 FT	1 1/2"
150,000 WATER HEATER	150,000	875	830 FT	1 1/2"
150,000 WATER HEATER	150,000	880	835 FT	1 1/2"
150,000 WATER HEATER	150,000	885	840 FT	1 1/2"
150,000 WATER HEATER	150,000	890	845 FT	1 1/2"
150,000 WATER HEATER	150,000	895	850 FT	1 1/2"
150,000 WATER HEATER	150,000	900	855 FT	1 1/2"
150,000 WATER HEATER	150,000	905	860 FT	1 1/2"
150,000 WATER HEATER	150,000	910	865 FT	1 1/2"
150,000 WATER HEATER	150,000	915	870 FT	1 1/2"
150,000 WATER HEATER	150,000	920	875 FT	1 1/2"
150,000 WATER HEATER	150,000	925	880 FT	1 1/2"
150,000 WATER HEATER	150,000	930	885 FT	1 1/2"
150,000 WATER HEATER	150,000	935	890 FT	1 1/2"
150,000 WATER HEATER	150,000	940	895 FT	1 1/2"
150,000 WATER HEATER	150,000	945	900 FT	1 1/2"
150,000 WATER HEATER	150,000	950	905 FT	1 1/2"
150,000 WATER HEATER	150,000	955	910 FT	1 1/2"
150,000 WATER HEATER	150,000	960	915 FT	1 1/2"
150,000 WATER HEATER	150,000	965	920 FT	1 1/2"
150,000 WATER HEATER	150,000	970	925 FT	1 1/2"
150,000 WATER HEATER	150,000	975	930 FT	1 1/2"
150,000 WATER HEATER	150,000	980	935 FT	1 1/2"
150,000 WATER HEATER	150,000	985	940 FT	1 1/2"
150,000 WATER HEATER	150,000	990	945 FT	1 1/2"
150,000 WATER HEATER	150,000	995	950 FT	1 1/2"
150,000 WATER HEATER	150,000	1000	955 FT	1 1/2"

The material being installed for gas services is a medium density polyethylene (PE) pipe, OR APPROVED EQUAL



## INSTALLATION INSTRUCTIONS AND OWNER'S MANUAL

**DIRECT VENT  
WALL FURNACE**

**MODELS  
DV-210-108G  
DV-215-108G**

**INSTALLATION INSTRUCTIONS**

Leave this manual with the appliance. Retain this manual for future reference.

**WARNING:** If the information in these instructions are not followed exactly, a fire or explosion may result causing property damage, personal injury or loss of life.

- Do not alter or use gas controls or other fusible parts and replace in the vicinity of any other appliance.
- Do not try to light any appliance.
- Do not touch any electrical switch; do not use any phone in your building.
- Immediately call your gas supplier from a neighbor's phone. Follow the gas supplier's instructions.
- If you cannot reach your gas supplier, call the fire department.
- Installation and service must be performed by a qualified installer, service agency or the gas supplier.

**WARNING:** If not installed, operated, and maintained in accordance with the manufacturer's instructions, this product could expose you to substances in fuel or from fuel combustion which may cause death or serious illness.

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- Do not try to light any appliance.
- Do not touch any electrical switch; do not use any phone in your building.
- Immediately call your gas supplier from a neighbor's phone. Follow the gas supplier



# EXTERIOR ELEVATION GENERAL NOTES

## EXTERIOR SIDING NOTES

### EXTERIOR STUCCO NOTES

[CRC-R109.6.1] ALL LATH and Lath attachments shall be of corrosion-resistant materials. Expanded metal or woven wire lath shall be attached with 1-1/2" inch-long nails, spaced at no more than 6 inches.  
[CRC-R109.6.2] EXTERIOR STUCCO Plastering with portland cement plaster materials shall be in compliance with ASTM C 906 and ASTM C 1063 and shall be a minimum of 7/8" thick and not less than three coats when applied over metal lath or wire lath and shall be not less than three coats when applied over masonry, concrete, pressure-preservative treated wood or decay-resistant wood as specified in Section R317.1 or gypsum backing. If the plaster surface is completely covered by veneer or other facing material or is completely concealed, plaster application need be only two coats, provided the total thickness is as set forth in Table R102.1(1).  
[CRC-R109.6.2.1] WEEP SCREED - A minimum 26 gauge corrosion-resistant weep screed, with a minimum vertical attachment flange of 5-1/2 inches shall be provided at or below the foundation plate line on exterior stud walls. The weep screed shall be placed a minimum of 4 in. above the earth or 2 in. above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. On wood-frame construction with an on-grade floor slab system, exterior plaster shall be applied to cover, but not extend below, lath, paper and screed.  
[CRC-R109.6.3] WATER RESISTIVE BARRIER (FOR STUCCO) - shall be installed as required in where applied over wood-based sheathing, shall include a water-resistant vapor-permeable barrier with a performance at least equivalent to two layers of Grade 'D' Paper. The individual layers shall be installed independently such that each layer provides a separate continuous plane and any flashing intended to drain to the water-resistant barrier is directed between the layers.

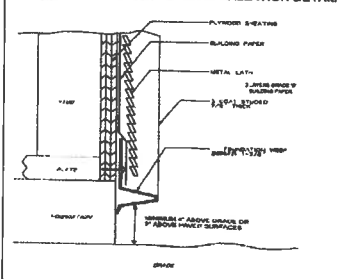
[CRC-R314.1] Buildings shall have approved ADDRESS NUMBERS, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 1/2 inch.

[CRC-R321.1.3] EXTERIOR WALL COVERING ASSEMBLY SHALL BE OF NON-COMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, HEAVY THINER LOG WALL CONSTRUCTION, OR FIRE RESISTIVE CONSTRUCTION AS REQUIRED.

[CRC-R321.1.3.1] THE EXTERIOR WALL COVERING SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2" NOMINAL SOLID FLOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

[CRC-R321.1.4] MATERIALS FOR OPEN ROOF EAVES, ENCLOSED ROOF EAVES OR SOFFITS, EXTERIOR PORCH CEILINGS, FLOOR PROJECTIONS, UNDER FLOOR AREAS, AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS INCLUDING: NON-COMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL, ONE LAYER 5/8" TYPE X GY 1/2".

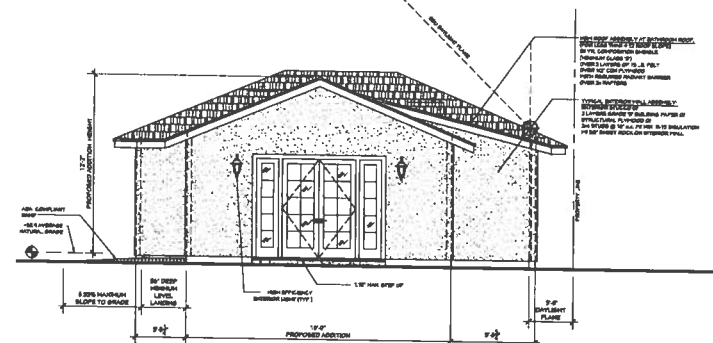
## FOUNDATION WEEP SCREED INSTALLATION DETAIL



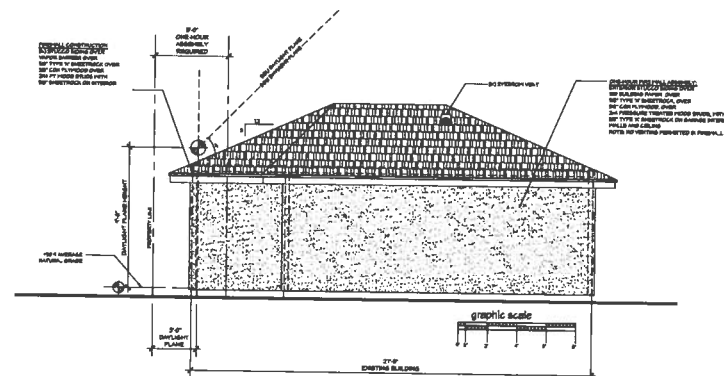
WEEP SCREED DETAIL  
scale: nts

## NOTES:

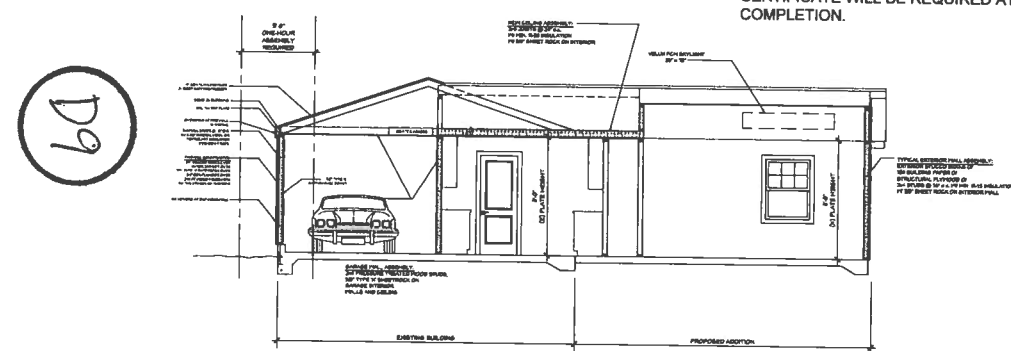
1. "All materials below BFE shall be resistant to flood damage."
2. PRIOR TO APPROVAL OF FOUNDATION INSPECTION, A LICENSED SURVEYOR SHALL VERIFY FOUNDATION ELEVATION BY SUBMITTING A SIGNED, STAMPED STATEMENT.
3. A "FINISHED CONSTRUCTION" ELEVATION CERTIFICATE WILL BE REQUIRED AT PROJECT COMPLETION.



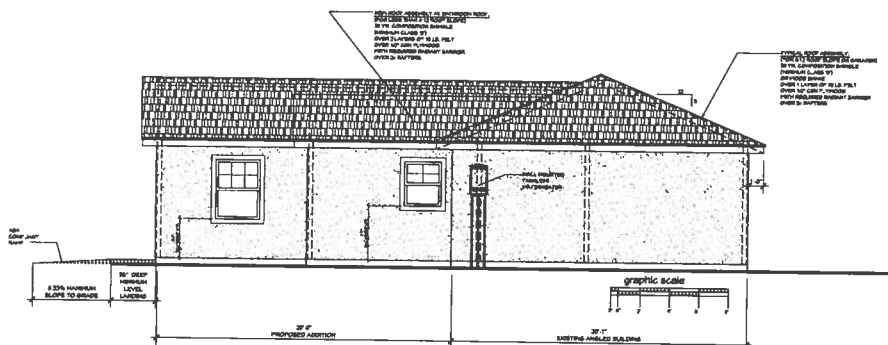
GARDEN SIDE (EAST) ELEVATION  
scale: 1/4"=1'-0"



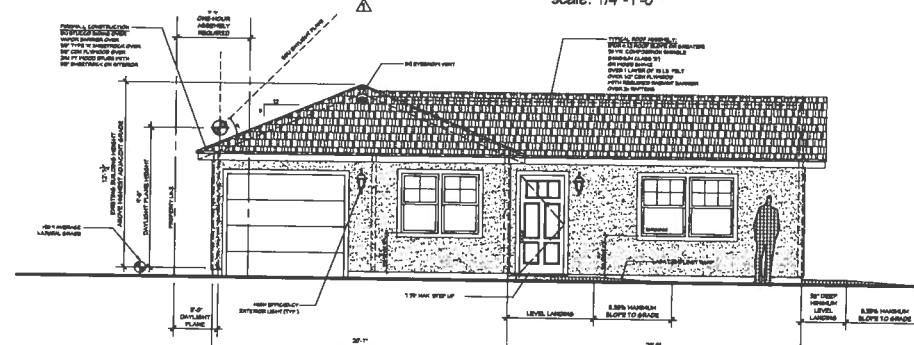
FENCE SIDE (WEST) ELEVATION  
scale: 1/4"=1'-0"



BUILDING SECTION A-A  
scale: 1/2"=1'-0"



REAR ELEVATION  
scale: 1/4"=1'-0"



FRONT ELEVATION  
scale: 1/4"=1'-0"

REVISIONS	
NO.	DATE
1	04/10/15 M/M



MARGARET WIMMER  
RESIDENTIAL DESIGN  
P.O. BOX 60681  
PALO ALTO, CA 94306  
MARGARET@WIMMERDESIGN.COM  
650.646.6810

PROPOSED  
EXTERIOR  
ELEVATIONS

A Secondary Dwelling Unit For The:  
**WILSON/CUCELLAR Family**  
220 Robin Way - Menlo Park CA 94025

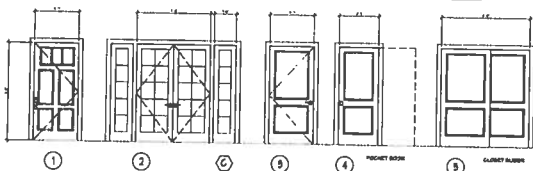
DESIGNED BY:	M/M
DATE:	2/10/2016
SCALE:	AS SHOWN
SHEET NO.	

A-6.0

D 10

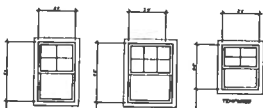
# door schedule

QNT	SIZE	OPERATION AND STYLE	FINISH MATERIAL
1	8'-0" x 6'-6"	SOLID CORE ENTRY DOOR	PART GRADE WOOD
2	8'-0" x 6'-6"	EXTERIOR DOUBLE FRENCH DOOR	PART GRADE WOOD
3	8'-0" x 6'-6"	TYPICAL SINGLE INTERIOR DOOR	PART GRADE WOOD
4	2'-6" x 6'-6"	TYPICAL SINGLE INTERIOR FOGARET DOOR	PART GRADE WOOD
5	8'-0" x 6'-6"	TYPICAL SINGLE INTERIOR CLOSET SLIDER	PART GRADE WOOD

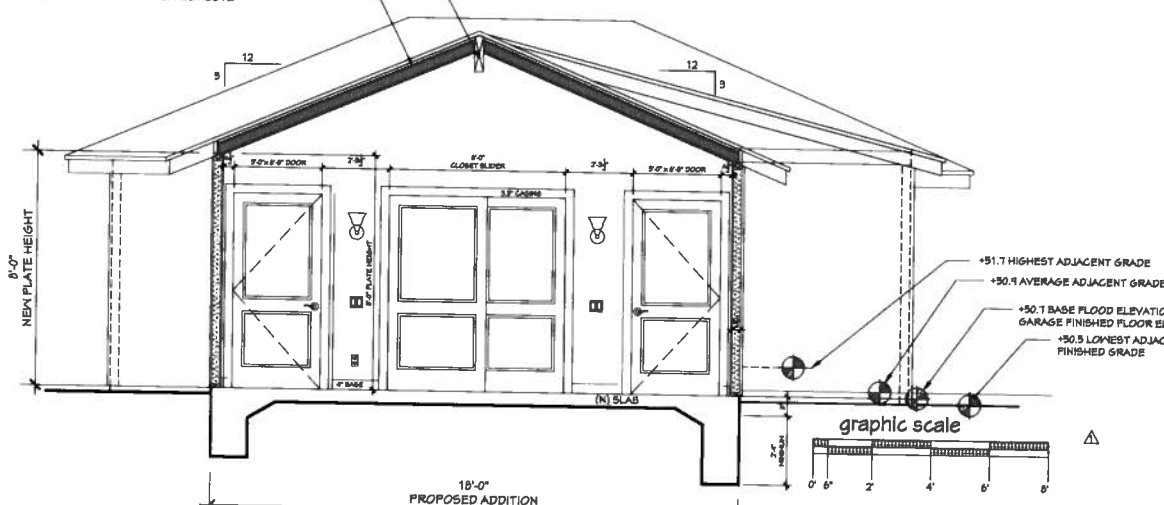


# window schedule

QNT	SIZE	OPERATION AND STYLE	FINISH MATERIAL
A	2'-6" x 6'-6"	DOUBLE HUNG DOUBLE GLAZED DIVIDED LIGHT	ALUMINUM OR VINYL GLAD EXTERIOR PART GRADE WOOD INTERIOR
B	3'-0" x 9'-0"	DOUBLE HUNG TOP/TRANSOM DOUBLE GLAZED DIVIDED LIGHT	ALUMINUM OR VINYL GLAD EXTERIOR PART GRADE WOOD INTERIOR
C	1'-6" x 6'-6"	DOUBLE GLAZED DIVIDED LIGHT	ALUMINUM OR VINYL GLAD EXTERIOR PART GRADE WOOD INTERIOR
D	2'-6" x 9'-0"	DOUBLE HUNG DOUBLE GLAZED DIVIDED LIGHT	ALUMINUM OR VINYL GLAD EXTERIOR PART GRADE WOOD INTERIOR



3" x 14" PSL RIDGE BEAM AS SPECIFIED BY ENGINEER  
2X6 ROOF RAFTERS 1/4" 4-1/2" THERMASEAL® RIGID INSULATION (R-30) TO ALLOW 1" AIR SPACE ABOVE



BUILDING SECTION B-B  
scale: 1/2"-1'-0"

# NOTES:

- "All materials below BFE shall be resistant to flood damage."
- PRIOR TO APPROVAL OF FOUNDATION INSPECTION, A LICENSED SURVEYOR SHALL VERIFY FOUNDATION ELEVATION BY SUBMITTING A SIGNED, STAMPED STATEMENT.
- A "FINISHED CONSTRUCTION" ELEVATION CERTIFICATE WILL BE REQUIRED AT PROJECT COMPLETION.

U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
FEDERAL EMERGENCY MANAGEMENT AGENCY  
FEMA Form 1800-0008 (Rev. 10-20-00)

## ELEVATION CERTIFICATE

SECTION 1 - PROPERTY INFORMATION

1. Building Name: **WILSON/CUELLAR FAMILY**  
2. Address: **220 Robin Way, Menlo Park, CA 94025**  
3. City: **Menlo Park**, State: **CA**, Zip: **94025**  
4. County: **SAN MATEO**  
5. Parcel Number: **107090112**  
6. Assessor's Parcel Number: **107090112**  
7. Owner: **WILSON/CUELLAR FAMILY**  
8. Date of Completion: **10/20/06**  
9. Date of Inspection: **10/20/06**  
10. Inspector: **Tom R. Smith**  
11. Signature: **Tom R. Smith**  
12. Title: **Surveyor**  
13. Seal: **Professional Surveyor**  
14. State: **CA**  
15. Commission Number: **107090112**  
16. Expiration Date: **10/20/12**  
17. Filing Date: **10/20/06**  
18. Filing Office: **San Mateo County**  
19. Filing Fee: **\$100.00**  
20. Filing Fee Paid: **\$100.00**  
21. Filing Fee Due: **\$100.00**  
22. Filing Fee Paid: **\$100.00**  
23. Filing Fee Due: **\$100.00**  
24. Filing Fee Paid: **\$100.00**  
25. Filing Fee Due: **\$100.00**  
26. Filing Fee Paid: **\$100.00**  
27. Filing Fee Due: **\$100.00**  
28. Filing Fee Paid: **\$100.00**  
29. Filing Fee Due: **\$100.00**  
30. Filing Fee Paid: **\$100.00**  
31. Filing Fee Due: **\$100.00**  
32. Filing Fee Paid: **\$100.00**  
33. Filing Fee Due: **\$100.00**  
34. Filing Fee Paid: **\$100.00**  
35. Filing Fee Due: **\$100.00**  
36. Filing Fee Paid: **\$100.00**  
37. Filing Fee Due: **\$100.00**  
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39. Filing Fee Due: **\$100.00**  
40. Filing Fee Paid: **\$100.00**  
41. Filing Fee Due: **\$100.00**  
42. Filing Fee Paid: **\$100.00**  
43. Filing Fee Due: **\$100.00**  
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46. Filing Fee Paid: **\$100.00**  
47. Filing Fee Due: **\$100.00**  
48. Filing Fee Paid: **\$100.00**  
49. Filing Fee Due: **\$100.00**  
50. Filing Fee Paid: **\$100.00**  
51. Filing Fee Due: **\$100.00**  
52. Filing Fee Paid: **\$100.00**  
53. Filing Fee Due: **\$100.00**  
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U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
FEDERAL EMERGENCY MANAGEMENT AGENCY  
FEMA Form 1800-0008 (Rev. 10-20-00)

## ELEVATION CERTIFICATE, page 2

SECTION 2 - BUILDING INFORMATION (SURVEY NOT REQUIRED FOR ZONE A AND ZONE A (WITHOUT BFE))

1. Building Name: **WILSON/CUELLAR FAMILY**  
2. Address: **220 Robin Way, Menlo Park, CA 94025**  
3. City: **Menlo Park**, State: **CA**, Zip: **94025**  
4. County: **SAN MATEO**  
5. Parcel Number: **107090112**  
6. Assessor's Parcel Number: **107090112**  
7. Owner: **WILSON/CUELLAR FAMILY**  
8. Date of Completion: **10/20/06**  
9. Date of Inspection: **10/20/06**  
10. Inspector: **Tom R. Smith**  
11. Signature: **Tom R. Smith**  
12. Title: **Surveyor**  
13. Seal: **Professional Surveyor**  
14. State: **CA**  
15. Commission Number: **107090112**  
16. Expiration Date: **10/20/12**  
17. Filing Date: **10/20/06**  
18. Filing Office: **San Mateo County**  
19. Filing Fee: **\$100.00**  
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U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
FEDERAL EMERGENCY MANAGEMENT AGENCY  
FEMA Form 1800-0008 (Rev. 10-20-00)

## ELEVATION CERTIFICATE, page 3

SECTION 3 - BUILDING PHOTOGRAPHS

1. Building Name: **WILSON/CUELLAR FAMILY**  
2. Address: **220 Robin Way, Menlo Park, CA 94025**  
3. City: **Menlo Park**, State: **CA**, Zip: **94025**  
4. County: **SAN MATEO**  
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6. Assessor's Parcel Number: **107090112**  
7. Owner: **WILSON/CUELLAR FAMILY**  
8. Date of Completion: **10/20/06**  
9. Date of Inspection: **10/20/06**  
10. Inspector: **Tom R. Smith**  
11. Signature: **Tom R. Smith**  
12. Title: **Surveyor**  
13. Seal: **Professional Surveyor**  
14. State: **CA**  
15. Commission Number: **107090112**  
16. Expiration Date: **10/20/12**  
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REVISIONS	DATE	BY
1	09/10/06	MM



MARGARET WIMMER  
RESIDENTIAL DESIGN  
P.O. BOX 50681  
PALO ALTO, CA 94306  
MMWIMMER@ATTNOC.COM  
(650) 646-1810

DOOR/WINDOW  
BUILDING SECTION  
FLOOD ELEVATION  
CERTIFICATE

A Secondary Dwelling Unit For The:  
**WILSON/CUELLAR Family**  
220 Robin Way - Menlo Park, CA 94025

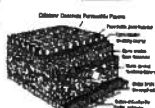
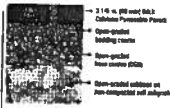
DATE: 10/20/06  
SCALE: AS SHOWN  
SHEET NO.

A-8.0

## Permeable

### Environmentally Friendly

Permeable paving allows water to infiltrate the ground and recharge the aquifer, reducing runoff and erosion. It also reduces the heat island effect by allowing water to evaporate and cool the surrounding area. Permeable paving is a sustainable solution for urban areas with limited green space.



Permeable paving allows water to infiltrate the ground and recharge the aquifer, reducing runoff and erosion. It also reduces the heat island effect by allowing water to evaporate and cool the surrounding area. Permeable paving is a sustainable solution for urban areas with limited green space.

## CALSTONE

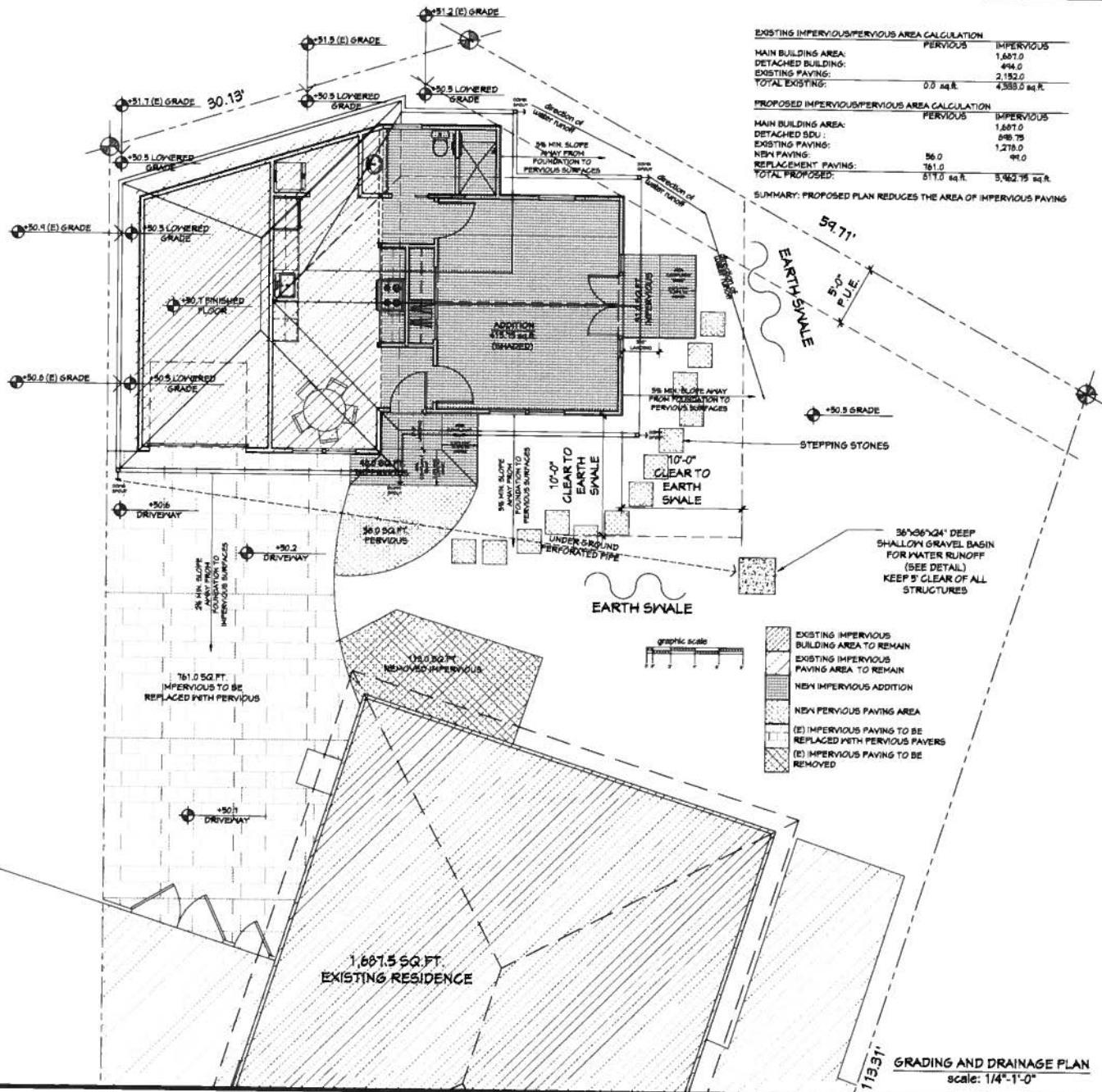
Established 1948

### Drainage FAQ

- Q: What is Drainage?**  
A: Drainage is the process of removing water from a surface and directing it to a collection point. It is a critical component of any building's foundation and exterior walls.
- Q: What are the advantages of Drainage?**  
A: The primary advantage of drainage is that it prevents water from accumulating around a building's foundation. This can lead to foundation damage, mold, and other structural issues. Drainage also helps to prevent water damage to the building's exterior walls and landscaping.
- Q: How is Drainage installed?**  
A: Drainage is typically installed by digging a trench around the building's foundation and installing a drainage pipe. The pipe is then connected to a collection point, such as a sump pump or a storm drain. The trench is then filled with gravel to allow water to flow into the pipe.
- Q: Why does Calstone make Drainage?**  
A: Calstone makes Drainage because it is a high-quality, durable product that is designed to last for many years. It is made from a special blend of concrete and aggregate, which gives it a strong, weather-resistant structure. Calstone Drainage is also easy to install and maintain, making it a popular choice for homeowners and professionals alike.



### IMPERVIOUS SURFACES SPECIFICATION



EXISTING IMPERVIOUS/PERVIOUS AREA CALCULATION		
	PERVIOUS	IMPERVIOUS
MAIN BUILDING AREA:		1,667.0
DETACHED BUILDING:		494.0
EXISTING PAVING:		2,152.0
TOTAL EXISTING:	0.0 sq. ft.	4,383.0 sq. ft.

PROPOSED IMPERVIOUS/PERVIOUS AREA CALCULATION		
	PERVIOUS	IMPERVIOUS
MAIN BUILDING AREA:		1,667.0
DETACHED BUILDING:		494.0
EXISTING PAVING:		2,152.0
NEW PAVING:	56.0	1,218.0
REPLACEMENT PAVING:	511.0 sq. ft.	5,462.15 sq. ft.
TOTAL PROPOSED:	511.0 sq. ft.	5,462.15 sq. ft.

SUMMARY: PROPOSED PLAN REDUCES THE AREA OF IMPERVIOUS PAVING

### REVISIONS

NO.	DATE



MARGARET WIMMER  
RESIDENTIAL DESIGN  
P.O. BOX 50681  
PALO ALTO, CA 94306  
MMWIMMER@A1500.COM  
650.646.1510

DRAINAGE PLAN  
IMPERVIOUS PLAN

A Secondary Dwelling Unit For The:  
**WILSON/CUellar Family**  
220 Robin Way - Menlo Park CA 94025

DRAWN BY:  
MMW  
DATE:  
2/10/2016  
SCALE:  
AS SHOWN  
SHEET NO.

GD-1

§11.4 Height. Top loading machines shall have the door to the laundry compartment located 36 inches (915 mm) maximum above the finish floor. Front loading machines shall have the bottom of the opening to the laundry compartment located 15 inches (380 mm) minimum and 36 inches (915 mm) maximum above the finish floor.

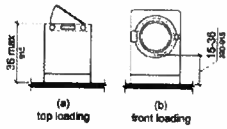
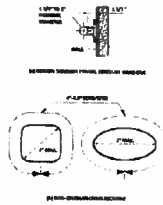


Figure §11.4

Height of Laundry Compartment Opening

### ADA LAUNDRY ROOM



### ADA COMPLIANT GRAB BAR

§306.3.5 Width. Knee clearance shall be 30 inches (760 mm) wide minimum.

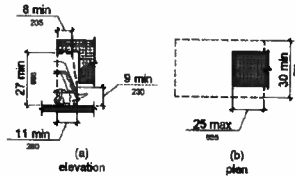
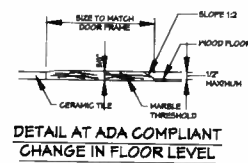
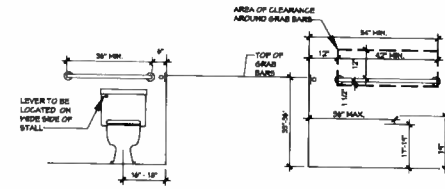


Figure §306.3

### ADA KNEE CLEARANCE



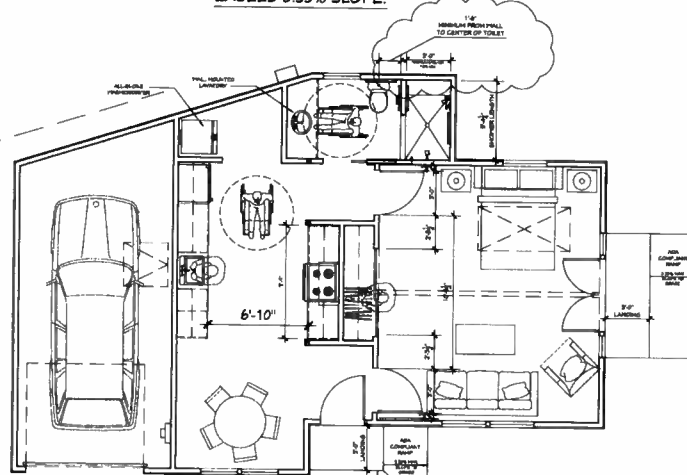
### DETAIL AT ADA COMPLIANT CHANGE IN FLOOR LEVEL



### ADA COMPLIANT STANDARD DETAILS

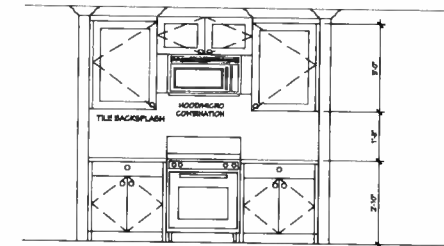
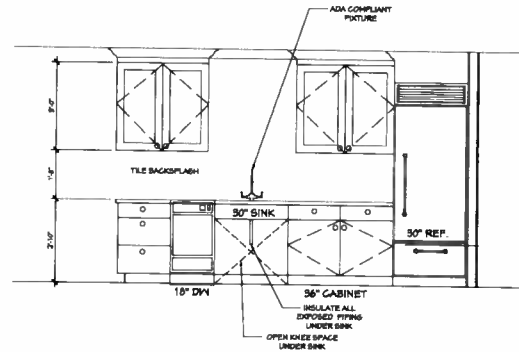
scale: 1/2"-1'-0"

NOTE: THE PATH OF TRAVEL FROM THE SECONDARY DWELLING UNIT TO THE CITY SIDE WALK SHALL NOT EXCEED 8.33% SLOPE.



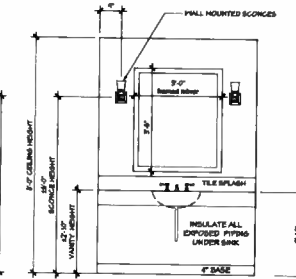
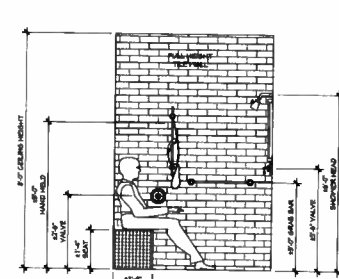
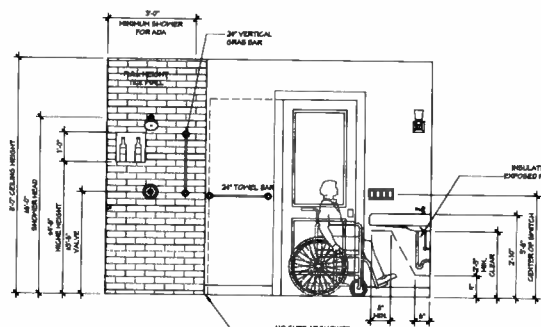
### ADA COMPLIANT FLOOR PLAN

scale: 1/4"-1'-0"



### KITCHEN ELEVATIONS

scale: 1/2"-1'-0"



### BATHROOM ELEVATIONS

scale: 1/2"-1'-0"

REVISIONS	
NO.	DATE



MARGARET WIMMER  
RESIDENTIAL DESIGN  
P.O. BOX 60681  
PALO ALTO, CA 94306  
MWM@AOL.COM  
650.646.1610

ADA COMPLIANCE  
BATHROOM  
ELEVATIONS

A Secondary Dwelling Unit For The:  
**WILSON/CUCELLAR Family**  
220 Robin Way - Menlo Park CA 94025

DRAWN BY: JH  
DATE: 2/10/2016  
SCALE: AS SHOWN  
SHEET NO.

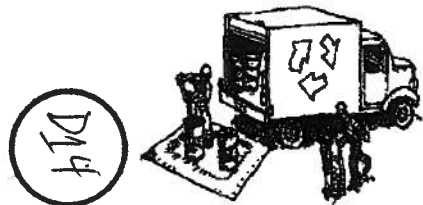
ADA



# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

### Spill Prevention and Control

- ☐ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthwork & Contaminated Soils



### Erosion Control

- ☐ Schedule grading and excavation work for dry weather only.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

### Sediment Control

- ☐ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- ☐ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ☐ Keep excavated soil on the site where it will not collect into the street.
- ☐ Transfer excavated materials to dump trucks on the site, not in the street.
- ☐ Contaminated Soils
- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- ☐ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- ☐ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



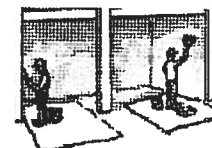
- ☐ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ☐ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

### Dewatering



- ☐ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

## Painting & Paint Removal



### Painting cleanup

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

### Paint removal

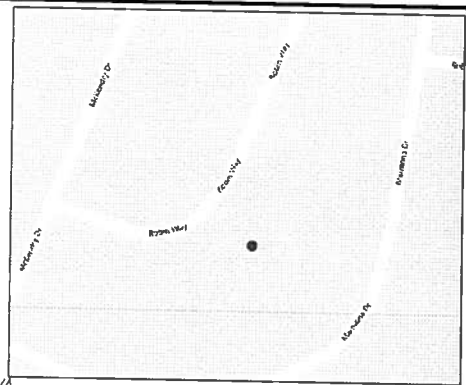
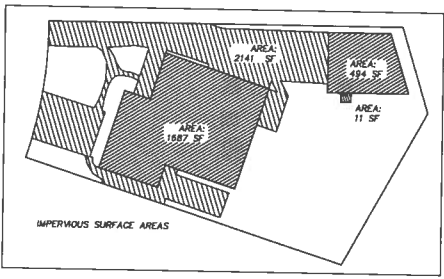
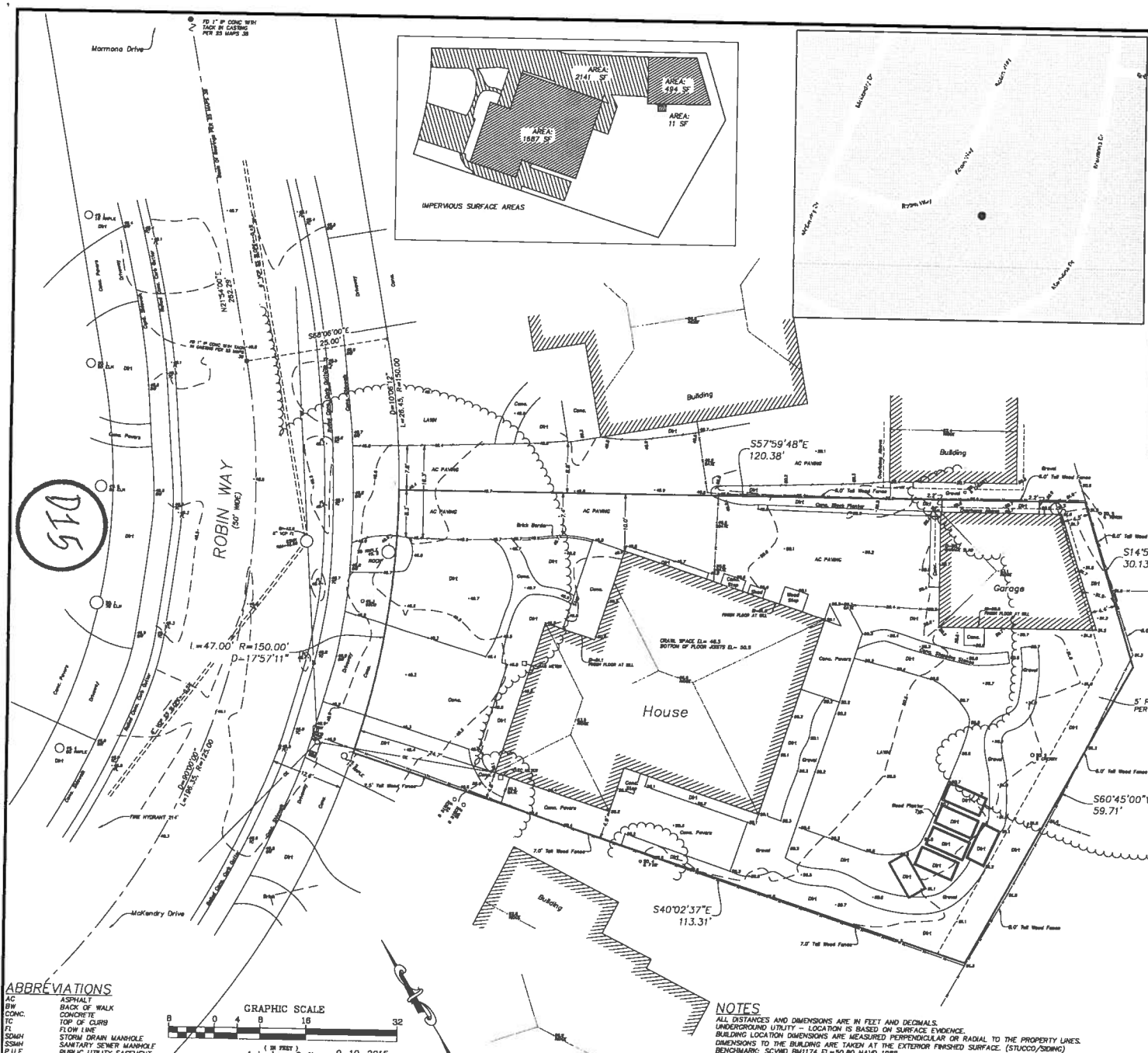
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

## Landscape Materials



- ☐ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

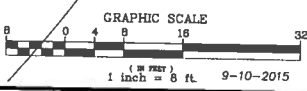
**Storm drain polluters may be liable for fines of up to \$10,000 per day!**



D15

- LEGEND**
- FOUND POINT IN MONUMENT CASTING (AS NOTED)
  - ( ) RECORD DATA / REFERENCE
  - ⊠ WATER METER OR WATER VALVE BOX
  - ⊠ FIRE HYDRANT
  - 10 12 8 OAK TREE - TRUNK DIAMETER IN INCHES TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS
  - 10 12 8 OAK TREE - WITH MULTIPLE TRUNKS
  - +— TOP OF CURB
  - +— FENCE
  - +— OVERHEAD WIRES
  - POWER POLE
  - SPOT ELEVATION
  - +— SANITARY SEWER CLEAN OUT
  - ⊠ UTILITY BOX - TYPE AS NOTED SIZE AS DRAWN
  - ⊠ ELECTROLIER
  - +— TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
  - +— POLE ANCHOR
  - +— EDGE OF AC PAVING
  - +— AC PAVING
  - +— FLOW LINE
  - ⊠ INLET PL=12.34 STORM DRAIN CURB INLET

- ABBREVIATIONS**
- AC ASPHALT
  - BW BACK OF WALK
  - CONC CONCRETE
  - TC TOP OF CURB
  - FL FLOW LINE
  - SMH STORM DRAIN MANHOLE
  - SSMH SANITARY SEWER MANHOLE
  - PUE PUBLIC UTILITY EASEMENT



**NOTES**

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.

BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL TO THE PROPERTY LINES.

DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. (STUCCO/SIDING)

BENCHMARK: SCVD BMT174 EL=50.80 NAVD 1988

SITE LIES IN FLOOD ZONE AEO 2 PER FIRM MAP

TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS

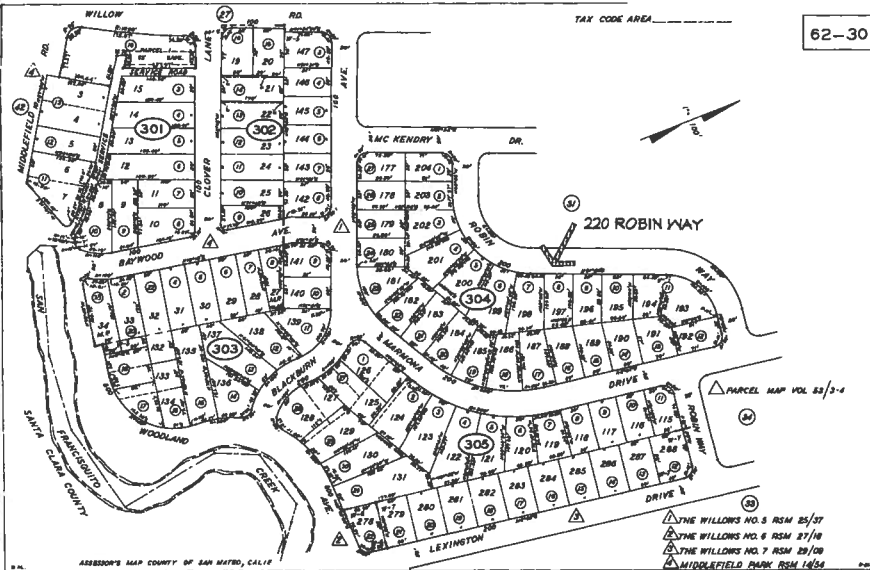
I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



**SURVEY**  
 220 ROBIN WAY  
 MENLO PARK  
 APN: 062-304-080  
 LOT 199, 25 MAPS 38  
 LOT AREA: 8,092 SQ. FT.  
 GROSS AND NET

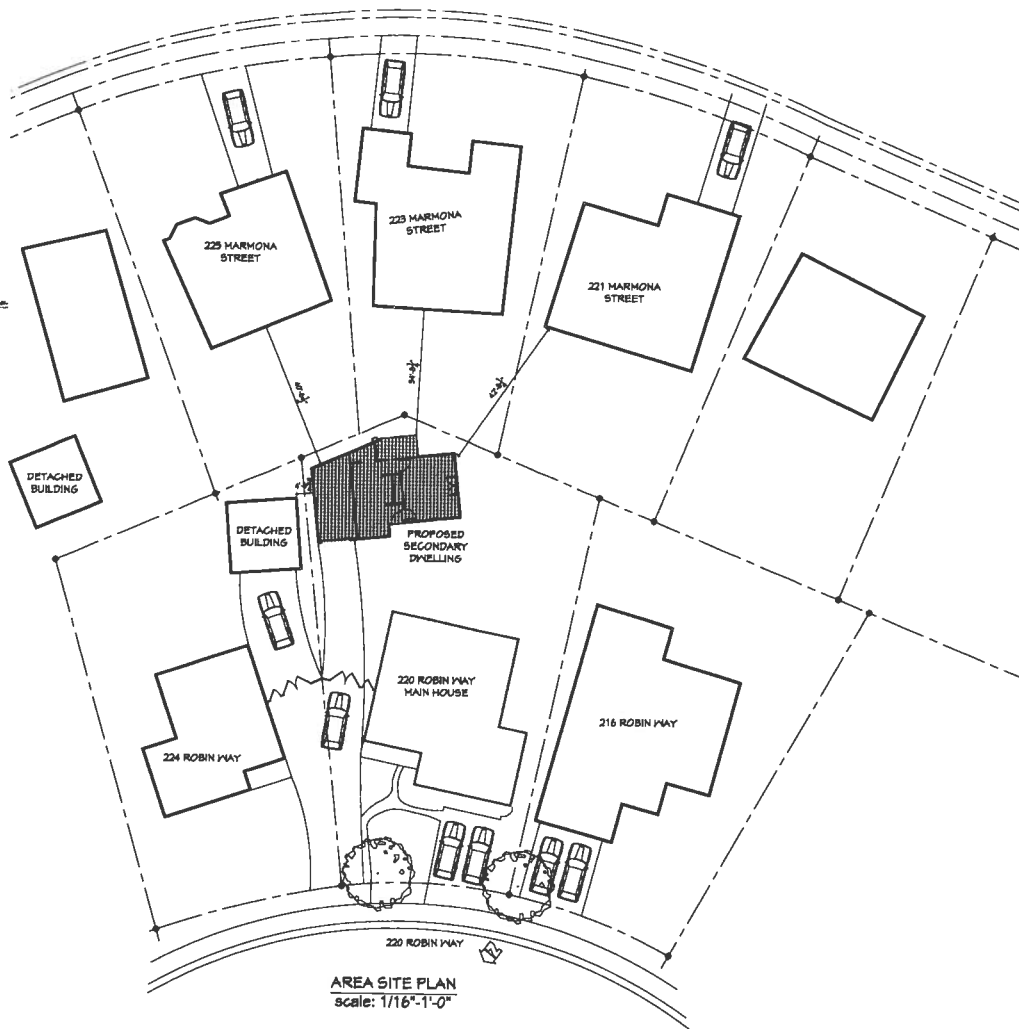
**L. Wade Hammond**  
 Licensed Land Surveyor  
 No. 6163  
 36660 Newark Blvd. Suite C  
 Newark, California 94560  
 Tel: (510) 579-6112 Fax: (510) 591-8054  
 wade@wlandsurveyor.com





AREA APN MAP

D110



REVISIONS	
NO.	DATE
1	09/10/15 MM



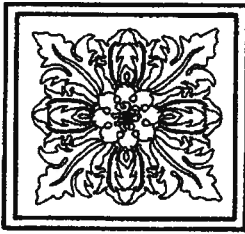
MARGARET WIMMER  
RESIDENTIAL DESIGN  
P.O. BOX 60681  
PALO ALTO, CA 94306  
MMWIMMER@YAHOO.COM  
650 646-1610

AREA PLAN

A Secondary Dwelling Unit For The:  
**WILSON/CUCELLAR Family**  
220 Robin Way - Menlo Park CA 94025

DRAWN BY	MM
DATE	2/10/2016
SCALE	AS SHOWN
SHEET NO.	

AP-1



**MARGARET WIMMER**, *residential design*

P.O. Box 60681~PALO ALTO, CA ~94306

(650) 646-1610 ~ [MMWIMMER@YAHOO.COM](mailto:MMWIMMER@YAHOO.COM)

Date: November 2, 2015  
RE: Judith Wilson & Enrique Cuellar  
220 Robin Way  
Menlo Park, CA 94025

**PROJECT SCOPE:**

The proposed project includes a 415.75 square foot addition to existing 483.0 square foot detached building that consists of a 250.0 square foot garage with adjoining 233.0 square foot unconditioned space. The resulting building will be a total of 898.75 square foot consisting of a 250.0 square foot garage with adjoining 648.75 square foot conditioned secondary dwelling space. The new dwelling space includes a full kitchen and new bathroom, as well as a laundry area. The new dwelling unit shall comply with all Menlo Park zoning regulations and shall comply with ADA standards for disabled persons.

# Advanced Tree Care

P. O. Box 5326 Redwood City, CA 94063

220 Robin Way, Menlo Park

January 26, 2016

Judith Wilson  
220 Robin Way  
Menlo Park, CA 94025

RECEIVED

January 26, 2016

FEB 02 2016

Site: 220 Robin Way, Menlo Park

CITY OF MENLO PARK  
BUILDING

Dear Judith,

At your request I visited the above site for the purpose of inspecting and commenting on the heritage trees around the property. A living space addition is planned for the garage, prompting the need for this tree protection report.

## Method:

The location of all the notable trees on this site can be found on the plan provided by you. The trees are measured at 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end of the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don't hesitate to call.

Sincerely



Robert Weatherill  
Certified Arborist WE 1936A

F1

### Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Walnut <i>Juglans nigra</i>	71.5"	60/50	65	Large healthy tree on neighbor's property <b>Regulated</b>
2	Sycamore <i>Platanus acerifolia</i>	18.0"	30/20	50	Good health and condition, topped for PG and E. <b>Street tree, Regulated</b>
3	Sycamore <i>Platanus acerifolia</i>	32.9"	30/20	50	Good health and condition, topped for PG and E. <b>Street tree, Regulated</b>
4	Plum <i>Prunus cerasifera</i>	8.0"	20/10	40	Poor health and condition <b>Not Regulated.</b>

### **Summary:**

There are 4 trees on this property of which 2 are street trees, 1 is not regulated and 1 is regulated on the neighbor's property.

Tree # 1 is regulated and growing on the neighbor's property. The tree is 15.5 feet from the fence and therefore approximately 18 feet from the closest point of construction.

Tree #s 2 and 3 are both street trees and should be protected.

Tree # 4 is not regulated and perhaps should be removed

### Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1½" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. The TPZ should be defined by the **dripline** of the tree.

Tree #1 is on the neighbor's property and a good distance away from the closest point of construction. No Tree Protection is needed for this tree

Tree No. 2 is a street tree on the neighbor's property and also a good distance from the construction and the construction access. No Tree Protection is needed at this time.

Tree No. 3 is a street tree close to the construction point of access. This tree should be wrapped in 4 layers of plastic snow fencing to prevent damage from passing vehicles and equipment.

F2

# Advanced Tree Care

P. O. Box 5326 Redwood City, CA 94063

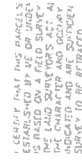
220 Robin Way, Menlo Park

January 26, 2016

2. Any excavation in ground where there is potential to damage roots of 1" or more in diameter should be carefully hand dug or with an air spade. Where possible, roots should be dug around rather than cut.
3. Normal irrigation should be maintained at all times. Supplemental irrigation or deep watering may be necessary if root zones are impacted.
4. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.<sup>(2)</sup>
5. Any pruning and maintenance of the tree shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel.** No limbs greater than 4" in diameter shall be removed.
6. **Do Not:** <sup>(4)</sup>
  - a. Allow run off or spillage of damaging materials into the area below any tree canopy.
  - b. Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
  - c. Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
  - d. Allow fires under any adjacent trees.
  - e. Discharge exhaust into foliage.
  - f. Secure cable, chain or rope to trees or shrubs.
  - g. Apply soil sterilants under pavement near existing trees.
7. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.<sup>(4)</sup>
8. Route pipes into alternate locations to avoid conflict with roots.<sup>(4)</sup>
9. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.<sup>(4)</sup>
10. Compaction of the soil within the dripline shall be kept to a minimum.<sup>(2)</sup>
11. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken. <sup>(4)</sup>
12. Ensure upon completion of the project that the original ground level is restored.

**P. O. Box 5326 Redwood City, CA 94063**

January 26, 2016



F4

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### Glossary

- Canopy**      The part of the crown composed of leaves and small twigs.<sup>(2)</sup>
- Dripline**      The width of the crown as measured by the lateral extent of the foliage.<sup>(1)</sup>
- Root crown**      The point at which the trunk flares out at the base of the tree to become the root system.
- Species**      A Classification that identifies a particular plant.

### References

- (1) Matheny, N.P., and Clark, J.P. Evaluation of Hazard Trees in Urban Areas. International Society of Arboriculture, 1994.
- (2) Harris, R.W., Matheny, N.P. and Clark, J.R.. Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines. Prentice Hall, 1999.
- (3) Carlson, Russell E. Paulownia on The Green: An Assessment of Tree Health and Structural Condition. Tree Tech Consulting, 1998.
- (4) Extracted from a copy of Tree Protection guidelines. Anon
- (5) T. D. Sydnor, Arboricultural Glossary. School of Natural Resources, 2000
- (6) D Dockter, Tree Technical Manual. City of Palo Alto, June, 2001



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***Certification of Performance<sup>(3)</sup>***

I, Robert Weatherill certify:

- \* That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;
- \* That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;
- \* That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;
- \* That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;
- \* That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;
- \* That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 15 years.

*Signed*



*Date: 1/26/16*

## Terms and Conditions(3)

The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care :

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
3. All reports and other correspondence are confidential, and are the property of Advanced Tree Care and it's named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warrantee or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
7. Advanced Tree Care has no warrantee, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphs material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.



## STAFF REPORT

### Planning Commission

**Meeting Date:** 2/22/2016

**Staff Report Number:** 16-012-PC

**Public Hearing:** Use Permit/Greg Klein/1215 Valparaiso Avenue

### Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-E (Residential Estate) zoning district, at 1215 Valparaiso Avenue. The proposal also includes a request to allow the combined square footage of all accessory buildings and structures to exceed 25 percent of the square footage of all levels of the main building, and a request to allow an accessory building to be located on the front half of the lot. The recommended actions are contained within Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject site is a panhandle lot, located at 1215 Valparaiso Avenue, near the intersection of Valparaiso Avenue and San Mateo Drive. The lot is irregularly-shaped, with a substandard width at the back right corner. The site is surrounded by single-family homes that are also in the R-E zoning district. Sacred Heart School, located in the Town of Atherton, is directly across Valparaiso Avenue from the subject property. The surrounding area is a mixture of one and two-story structures.

### Analysis

#### *Project description*

The applicant is requesting use permit approval to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-E zoning district. The proposal also includes a request to allow the combined square footage of all accessory buildings and structures to exceed 25 percent of the square footage of all levels of the main building, and a request to allow an accessory building to be located on the front half of the lot. A data table summarizing parcel and project attributes is included as Attachment C. The project plans, and the applicant's project description letter and summary of public outreach, are included as Attachments D and E, respectively.

Although the existing residence would be demolished, the existing garage, carport and pool house, all attached to each other and located in the back right corner of the property, would remain. The garage is located approximately 2.8 feet from the right side property line where three feet is required, and is approximately 17.5 feet in height where 14 feet is the height limit for accessory buildings. However, this structure is considered to be a legal non-conforming structure and may be permitted to remain. An existing arbor, located behind the proposed residence, would also remain.

An existing utility shed, located near the front, left corner of the property, is proposed to be relocated to the left of the proposed residence, outside of the required 20-foot front yard setback for the main residence. Accessory buildings are required to be located in the rear half of the lot, although they may be located in front half of the lot, outside of the required front setback for the main building, with use permit approval.

An existing well and accompanying water conditioning equipment, including approximately 4-foot tall tanks, are also located in the front setback. This equipment is being replaced and moved to a new concrete pad to the left (north) side of the parcel, adjacent to the proposed residence. The well itself would remain in its existing location. The equipment is considered an accessory structure (as opposed to an accessory building), and the new location would comply with the requirement that accessory structures be located outside of the 20-foot front setback for the main residence. The site plan also includes a proposed trash enclosure, to the south of the residence, and a proposed barbeque area, to the southeast of the residence. The water conditioning equipment, the proposed trash enclosure and the proposed barbeque are all considered accessory structures. However, these structures do not count towards the floor area or building coverage for the lot as they are uncovered.

The proposed residence would have a floor area of 4,343 square feet, including 620 square feet of attic area over five feet in height. The existing accessory buildings and structures, including the garage and carport, the pool house, the arbor, and the utility shed, would have a total area of 1,406 square feet. Including the basement but not including the attic areas, the square footage of all levels of the main house would be 4,683 square feet and the total square footage of all accessory structures and buildings would be 30 percent of the square footage of the main house.

The total proposed floor area for the lot would be 5,655 square feet where 6,100.8 is the floor area limit (FAL) and the total building coverage would be 22.3 percent where 30 percent is the maximum permitted. The residence would have four bedrooms and four bathrooms, with one bedroom and two bathrooms on the first floor, and three bedrooms and two bathrooms on the second floor. A basement is also proposed for storage and mechanical equipment. The house is proposed to be 24.1 feet in height, below the maximum permissible height of 30 feet.

Staff does not anticipate any problems with allowing the combined square footage of all accessory buildings and structures to exceed 25 percent of the square footage of the main building or allowing the utility shed to be located on the front half of the lot as these structures are not visible from the right-of-way and only partially visible from neighboring properties due to landscaping and the large size of the subject parcel.

Pursuant to Zoning Ordinance Section 16.68.030, recommended condition of approval 4a, requiring the applicant to record a declaration of conditions and covenants relative to the uses of the proposed accessory structures and buildings, has been included.

### ***Design and materials***

The architect describes the proposed design as a farmhouse/cottage style. The siding would consist of painted horizontal lap siding and/or painted shingles. The simulated true divided light windows would be

painted wood or clad casement or fixed windows. The design includes painted trim and decorative exterior panels below the bay windows, as well as decorative brackets and oval windows to add visual interest.

The second story windows along the west elevation, located at least 20 feet from the front property line, would have sill heights of two feet. Long windows are proposed at the staircase, with sill heights of 1.5 feet above the stair landing. Additionally, small attic windows are proposed on this elevation. The second story windows along the north elevation, which is over 17 feet from the left side property line, would have sill heights of at least 2.5 feet. The second floor windows along the east elevation, located over 32 feet from the nearest property line, would have sill heights of at least two feet. A small attic window is also proposed on this elevation. No second story windows are proposed along the south elevation.

Staff believes the scale, materials, and style of the proposed residence are compatible with the neighborhood. Although the project would be a two-story residence, the second floor would be limited in size, at 915 square feet of usable area, and occupy less than half of the footprint of the first story. In addition, the proposed residence and the accessory building and structures would not be visible from the right-of-way as the subject site is a panhandle lot and would only be partially visible from neighboring properties due to landscaping and the size of the subject parcel. The surrounding area is a mixture of one and two-story structures.

### ***Trees and landscaping***

The applicant has submitted an arborist report (Attachment F) detailing the species, size and conditions of the trees on or near the site. As part of the initial project review, the arborist report was enhanced with additional analysis and specificity. The arborist report indicates that no heritage trees would need to be pruned to accommodate the proposed construction and no impacts to heritage trees are expected as a result of the proposed project.

Three heritage redwood trees (tree #2, tree #3 and tree #4) are located along the west side of the property. The arborist report indicates that the rerouting of the water line from the current location of the well tanks to their location along north side of the proposed residence would be dug by hand to avoid any impacts to the heritage redwood trees.

In order to meet Menlo Park Fire Protection District requirements, the applicant is proposing to replace the existing paver driveway with an all-weather surface capable of supporting a 4,500 pound fire apparatus and expanding the driveway width from approximately 10 feet to 12 feet. A heritage valley oak tree (tree #14) and heritage redwood tree (tree #17) are both located on 1205 Valparaiso Avenue, to the north of the subject parcel's driveway. To ensure that there would be no impacts to these trees, the removal of the existing paver driveway would also be done by hand, and the base rock would be replaced or reused.

Additional heritage trees with canopies that extend over the subject site are not located near proposed construction. These trees include a heritage coast live oak tree (tree #5) and a heritage green ash tree (tree #6), both located on 1319 San Mateo Drive. An additional two heritage trees, an incense cedar tree (tree #10) and a black walnut tree (tree #11), are located on 1241 Valparaiso Avenue near the subject property's southern property line.

Several non-heritage trees are proposed for removal, including a weeping beech tree (tree #7) and birch tree (tree #8), both located near the proposed barbeque area. Additionally, 11 Grecian laurels (trees #18-#28) are proposed for removal to accommodate the widening of the existing panhandle driveway from approximately 10 feet to 12 feet pursuant to the requirements of the Fire District. The applicant indicated that a series of evergreen trees with a maximum height of 15 feet to 20 feet would be planted in the two-foot wide planting strip along the northern side of the panhandle driveway. Recommended condition of approval 4b has been added requiring the applicant to submit a revised site plan showing the proposed

new evergreen trees in the landscape strip along the northern boundary of the panhandle driveway as part of the building permit submittal.

The proposed site improvements should not adversely affect any of the trees as tree protection measures in the arborist report will be ensured through recommended condition 3g.

### ***Parking and circulation***

As noted earlier, the applicant is proposing to widen the panhandle driveway to a width of 12 feet and to replace the existing paver driveway with an all-weather surface in order to address the Fire District's access requirements. The existing two-car garage and attached two-car carport are proposed to remain. In addition, the applicant is providing an uncovered, two-car, guest parking area, as required for panhandle lots, in front of the south side of the proposed residence.

### ***Correspondence***

Staff received a letter and an email from the property owner at 1205 Valparaiso Avenue, in addition to photographs taken from her property, expressing several concerns about the proposed project including construction impacts, the location of the proposed second floor, the windows along the west elevation, a lack of landscape screening between the two properties and exterior lighting. Staff received an email from the property owner at 1251 Valparaiso Avenue stating she has no objections to the proposed project but objects to the removal of trees visible from her property. Staff received additional emails in favor of the proposal from several neighboring property owners. All correspondence received by staff is included as Attachment G.

Concerns regarding construction activities, including dust control, should be addressed by Building and Engineering Division standards at construction. Construction activities are also subject to the Noise Ordinance during nights and weekends. The windows along the west elevation would be at least 20 feet from the property line and approximately 54 feet from the residence at 1205 Valparaiso Avenue. Although the second story bedroom windows would be at least partially screened by the existing heritage redwood tree (tree #3), as well as small trees along the west property line, the Planning Commission may wish to consider requiring higher sill heights. The Grecian laurels that would be removed to widen the proposed driveway are visible from 1251 Valparaiso Avenue. However, their removal is required to accommodate the driveway width required by the Fire District and the applicant is proposing to plant evergreen trees along the northern boundary of the driveway. As noted earlier, Attachment E describes the applicant's own outreach.

### ***Conclusion***

Staff believes the scale, materials, and style of the proposed residence are compatible with the neighborhood. Although the project would be a two-story residence, the second floor would be limited in size, at 915 square feet of usable area, and occupy less than half of the footprint of the first story. In addition, the proposed residence and the accessory building and structures would not be visible from the right-of-way as the subject site is a panhandle lot and would only be partially visible from neighboring properties due to landscaping and the size of the subject parcel. The tree protection measures in the arborist report would protect the existing trees. Staff recommends that the Planning Commission approve the proposed project.

### ***Impact on City Resources***

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

## **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

## **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

## **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

## **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Correspondence

## **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

## **Exhibits to Be Provided at Meeting**

None

Report prepared by:

Corinna Sandmeier, Associate Planner

Report reviewed by:

Thomas Rogers, Principal Planner

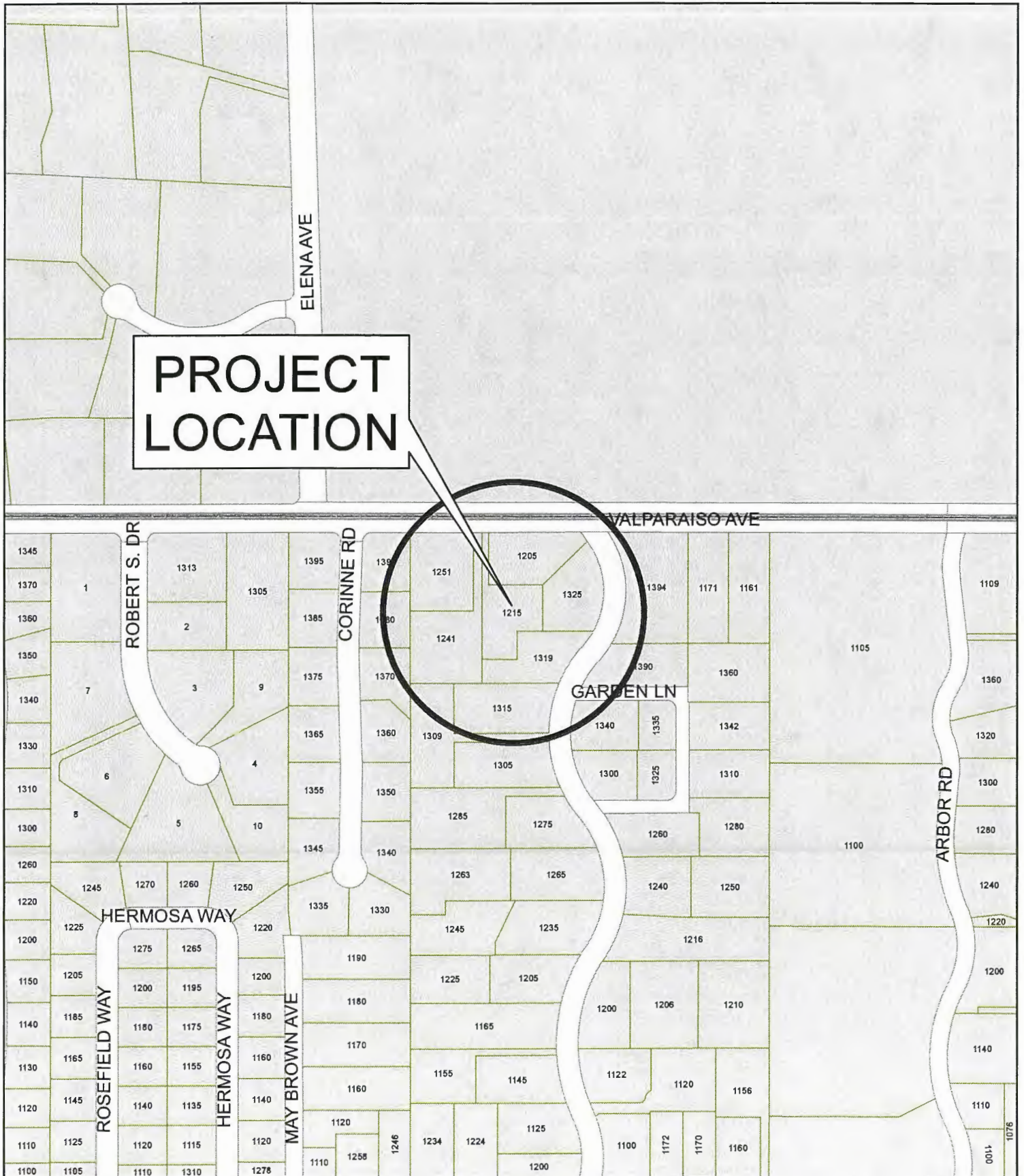


1215 Valparaiso Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 1215 Valparaiso Avenue	<b>PROJECT NUMBER:</b> PLN2015-00091	<b>APPLICANT:</b> Greg Klein	<b>OWNER:</b> Craig and Jane Williams
<b>REQUEST:</b> Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-E (Residential-Estate) zoning district. The proposal also includes a request to allow the combined square footage of all accessory buildings and structures to exceed 25 percent of the square footage of all levels of the main building, and a request to allow an accessory building to be located on the front half of the lot.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 22, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions:             <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by John Malick &amp; Associates, consisting of 15 plan sheets, dated received February 12, 2016, and approved by the Planning Commission on February 22, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</li> </ol> </li> </ol>			

1215 Valparaiso Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 1215 Valparaiso Avenue	<b>PROJECT NUMBER:</b> PLN2015-00091	<b>APPLICANT:</b> Greg Klein	<b>OWNER:</b> Craig and Jane Williams
<b>REQUEST:</b> Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-E (Residential-Estate) zoning district. The proposal also includes a request to allow the combined square footage of all accessory buildings and structures to exceed 25 percent of the square footage of all levels of the main building, and a request to allow an accessory building to be located on the front half of the lot.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 22, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
<b>ACTION:</b> 4. Approve the use permit subject to the following <i>project-specific</i> conditions: <ul style="list-style-type: none"> <li>a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a draft declaration of conditions and covenants relative to the uses of the accessory structures and buildings, subject to review and approval of the Planning Division and the City Attorney's office. Prior to issuance of a building permit, the applicant shall submit documentation of the approved declaration of conditions and covenants' recordation, subject to review and approval of the Planning Division.</li> <li>b. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a revised site plan showing proposed new evergreen trees in the landscape strip along the northern boundary of the panhandle driveway, subject to review and approval of the Planning Division.</li> </ul>			



# CITY OF MENLO PARK

## LOCATION MAP

### 1215 VALPARAISO AVENUE

DRAWN: TAS CHECKED: CDS DATE: 2/22/16 SCALE: 1" = 300' SHEET: 1



*Handwritten signature or initials.*

1215 Valparaiso Avenue – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area (gross)	22,003.0 sf	22,003.0 sf	20,000.0 sf min.
Lot area (net)	20,203.0 sf	20,203.0 sf	
Lot width	81.0 ft.	81.0 ft.	110.0 ft. min.
Lot depth	140.0 ft.	140.0 ft.	130.0 ft. min.
Setbacks			
Front	20.0 ft.	21.0 ft.	20.0 ft. min.
Rear	95.7 ft.	87.0 ft.	20.0 ft. min.
Side (left)	17.3 ft.	21.0 ft.	10.0 ft. min.
Side (right)	36.8 ft.	27.0 ft.	20.0 ft. min.
Building coverage	4,912.0 sf 22.3 %	5,484.0 sf 24.9 %	6,600.9 sf max. 30.0 % max.
FAL (Floor Area Limit)	5,655.0 sf	4,899.0 sf	6,100.8 sf max.
Square footage by floor	960.0 sf/basement 2,808.0 sf/1 <sup>st</sup> floor 915.0 sf/2 <sup>nd</sup> floor 620.0 attic > 5' 7.0 sf/chimney 880.0 sf/garage and carport 365.0 sf/pool house 67.0 sf/shed 94.0 sf/arbor 691.0 sf/porch/trellis areas	3,587.0 sf/1 <sup>st</sup> floor 880.0 sf/garage and carport 365.0 sf/pool house 67.0 sf/shed 94.0 sf/arbor 491.0 sf/porch/trellis areas	
Square footage of buildings	7,407.0 sf	5,484.0 sf	
Building height	27.6 ft.	18.0 ft.	30.0 ft. max.
Parking	4 covered/ 2 uncovered	4 covered/ 2 uncovered	1 covered/1 uncovered
	Note: Areas shown highlighted indicate a nonconforming or substandard situation.		
Trees	Heritage trees: 9*	Non-Heritage trees: 19	New Trees: 0**
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 13	Total Number of Trees: 15
	* Six of the heritage trees are located on adjacent properties		
	** New evergreen trees are proposed along the panhandle driveway but the specific number is not yet known		



1. See topographic boundary survey for additional information concerning existing easements, street frontage conditions, utility company equipment, grade elevations, etc.
2. There will be no change to existing grade elevations on the lot except at the area of new construction for the proposed residence. Average existing grade to remain. See proposed finished floor elevations noted on plan and on exterior elevations.
3. Per the Arborist Report, the removal of the existing paver driveway will be done by hand and the project Arborist will be on site during the removal of the driveway.

1. Driveway to be an "all-weather surface" and capable of supporting a 45,000 lb fire apparatus.
2. The vehicle gate and driveway shall have a minimum 18"-0" clear unobstructed linear width and minimum 15'-4" clear vertical clearance. See width expansion on site plan below.
3. The automatic vehicle gate shall have a *fail-safe* override key switch installed and the function verified after final inspection.
4. Electric gates shall have a backup source of power, but shall have at a minimum a manual method for allowing the opening of the gates during a power failure.
5. Illuminated address numbers at least 4" tall and with 1/2" stroke shall be provided. The address shall be visible from the street and contrasting to its background. Address numbers shall be maintained.

VALPARAISO AVENUE (beyond)

Property Continuation  
 $1/4'' = 1'-0''$

○#14  
(X) 48" Valley  
Oak to remain  
HERITAGE TREE

total of 11 (X) Greville towers (non-harriage Great #18-20H, exact locations not surveyed, see inland. Report for varying values between 3"-6") to be removed	extent of neighbor (X) gms

proposed 2' wide max. driveway  
planting strip down middle of 12'  
wide paved driveway, reserved and

retain approx. 1'-3" (north) and 1'-3" (north) phasing stripe on either side of new all-traffic surface driveway for adjacent trees, which shall retain min. 12'-3" side horizontal clearance and min. 12'-4" vertical clearance provided by 3000

proposed upgraded underground  
utility in existing location to house  
gas, water, electric, sprinkler, sewer,  
cable TV, etc.  
all shall be covered in place of entry  
chamber and shall be accessible from  
outside.

missing 6'-7' tall (vertical property line) wood fence on perimeter of lot to surround

lot of greatest length,  
not including penultimate  
(201.94' - 120.00' = 171.94')

RECEIVED

FEB 12 2016

CITY OF MENLO PARK  
PLANNING[illegible]

JOHN MALICK  
&  
ASSOCIATES



Architecture • Planning

1195 Park Ave., Suite 102  
Bakersville, California 94608  
Tel: 510.595.8042 Fax: 510.595.8365



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Reviewing	Date
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Use Permit Application 10/06/11

Mesa Park Fire District 10/12/15

[illegible]

Moose Park Fire Revision 12/18/11

Use Form (Re-submittal) #3 01/25/11

### The Williams Residence

1215 Valparaiso Avenue  
Menlo Park, CA 94025

APN: 071-061-300

Drawing Title

### Site Plan and Roof Plan

Drawn By AO

Job Number	534.1
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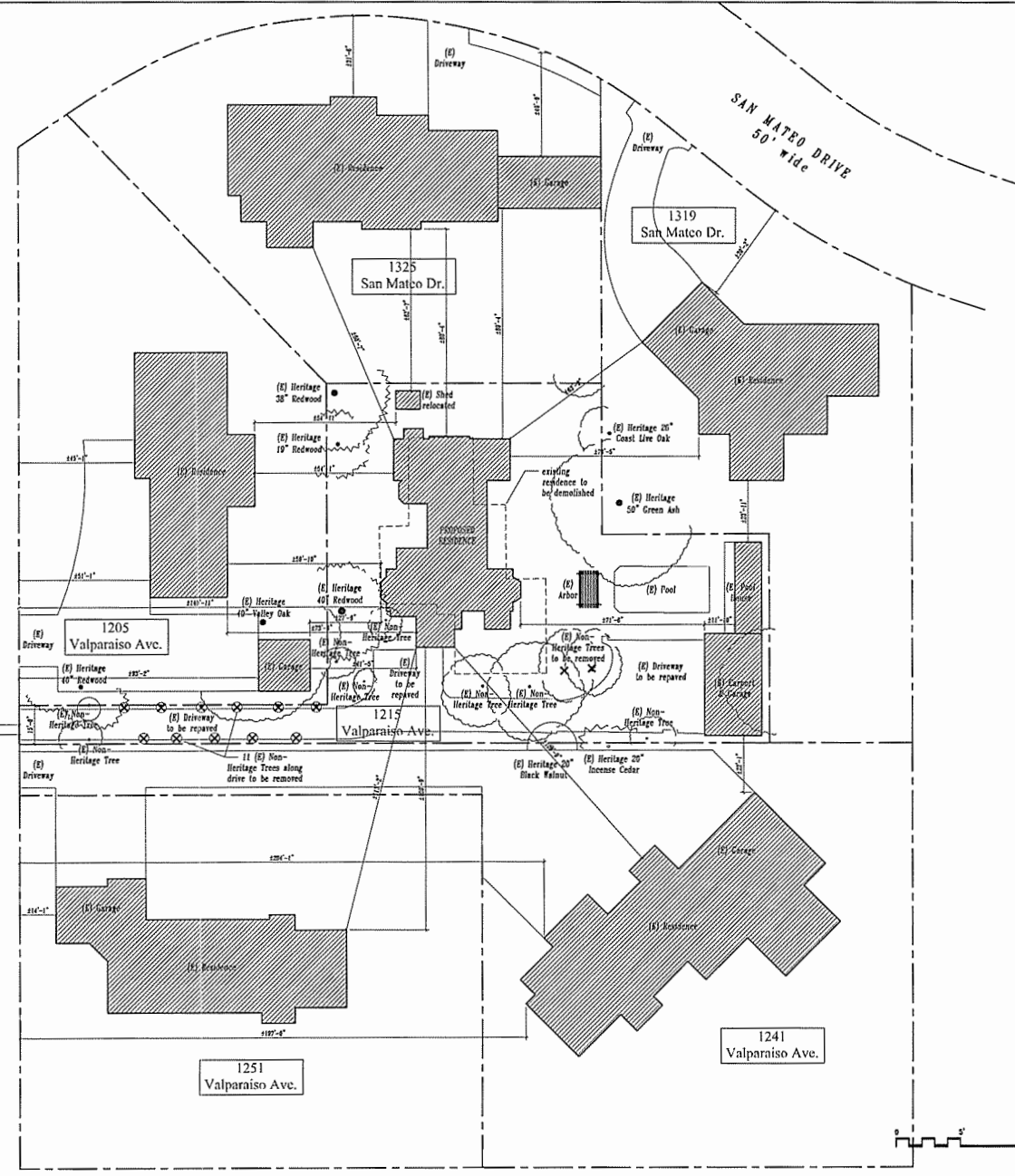
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A101

10-2

① Area Plan - 1215 Valparaiso Avenue  
Scale: 1" = 20'-0"

VALPARAISO AVENUE  
66' wide



JOHN MALICK  
&  
ASSOCIATES



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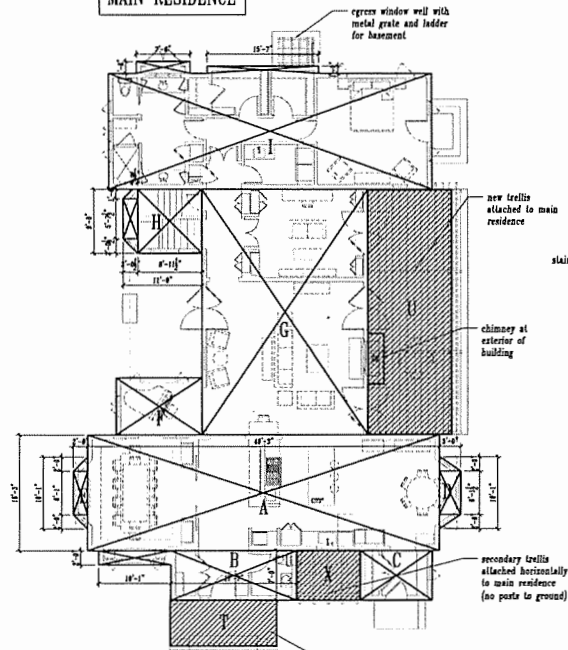
Revisions:	Date:
Use Permit Application	05/06/15
Menlo Park Fire District	06/22/15
Menlo Park Fire Re-Submittal	11/04/15
Use Permit ReSubmittal	12/15/15
Menlo Park Fire Revision	12/15/15
Use Permit ReSubmittal #2	01/25/16

The  
Williams  
Residence  
1215 Valparaiso Avenue  
Menlo Park, CA 94025  
APN: 071-061-200

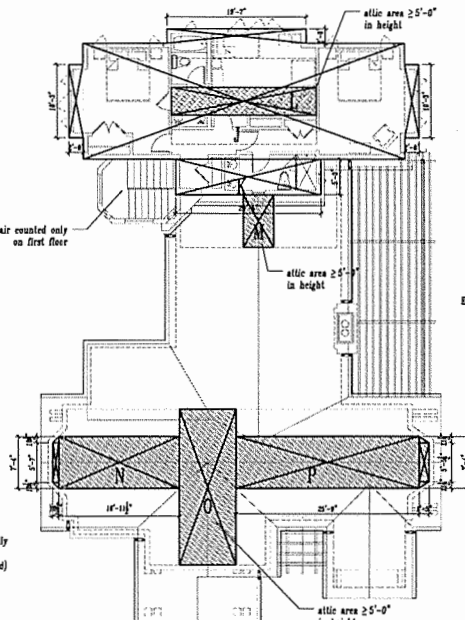
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Scale	1" = 20'-0"
Drawn by	AG
Architect	534.1
Drawing Number	

A102

# MAIN RESIDENCE

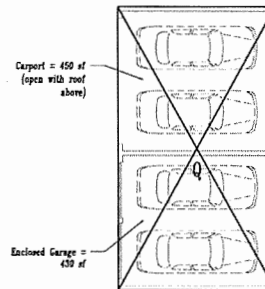


PROPOSED RESIDENCE - FIRST FLOOR



PROPOSED RESIDENCE - SECOND FLOOR

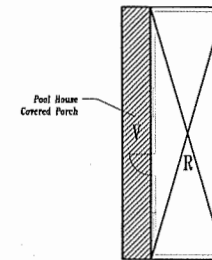
# ACCESSORY BUILDINGS / STRUCTURES



(E) DETACHED 4-CAR GARAGE & CARPORT



(E) DETACHED UTILITY SHED



(E) DETACHED POOL HOUSE



(E) ARBOR/TRELLIS

FLOOR AREA LIMIT CALCULATION		
Area	Dimensions	Square Footage
A (Main Residence)	15'-3" x 49'-3"	801
B	7'-0" x 17'-7" x 2'-0" x 10'-1"	143
C	7'-0" x 10'-1"	71
D	3'-0" x 6'-0" (a) + 3'-0" x 2'-0" (2 A)	24
E	2'-0" x 6'-1" (a) + 2'-0" x 2'-0" (2 A)	16
F	8'-0" x 12'-0"	96
G	23'-3" x 34'-3"	797
H	8'-10" x 8'-4" (a) + 2'-0" x 5'-0" (a) + 10'-0" x 8'-4" (a) + 10'-0" x 8'-4" (a)	96
I	16'-3" x 45'-3" x 1'-4" x 7'-4" x 1'-4" x 13'-7"	764
J (2nd story)	16'-3" x 45'-3" x 10'-4" x 18'-7" x 7'-4" x 18'-7"	813
K (2nd story)	5'-0" x 20'-5"	102
L (Attic)	3'-11" x 20'-5"	82
M (Attic)	4'-4" x 7'-4"	33
N (Attic)	7'-4" x 18'-10" (a) + 10'-4" x 5'-0" (a) + 10'-4" x 10'-4" (a)	131
O (Attic)	8'-0" x 22'-0"	176
P (Attic)	7'-4" x 20'-4" (a) + 7'-4" x 5'-0" (a) + 10'-4" x 18'-7" (a)	198
Q (Garage & Carport)	22'-2" x 39'-0"	869
R (Pool House)	16'-4" x 35'-4"	365
S (Detached Utility Shed)	7'-0" x 9'-6"	67
<b>TOTAL FLOOR AREA LIMIT</b>		<b>5,655</b>

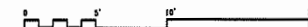
BUILDING COVERAGE CALCULATION		
Area	Dimensions	Square Footage
T (Covered Porch)	6'-5" x 14'-11"	95
U (Chimney and New Trellis)	11'-9" x 34'-2"	400
V (Pool House Covered Porch)	4'-0" x 35'-5"	141
W (Arbor/Trellis)	7'-6" x 12'-6"	94
X (Secondary Trellis - Mud Room)	7'-0" x 8'-11"	62
Main Residence First Floor (A-I)	-	2506
Garage & Carport (Q)	-	869
Pool House (R)	-	365
Detached Utility Shed (S)	-	67
<b>TOTAL BUILDING COVERAGE</b>		<b>4,912 (24%)</b>

# LEGEND

- Floor Area Limit
- Building Coverage ONLY
- Attic Space >= 5' (FAL)

R-E Zoning Ordinance Allowable FAL/BC		
<b>NET LOT AREA</b>	Total Lot Area - Pushhandle Extension = 22,003 sf ~ 1,800 sf	20,203 sf
<b>FLOOR AREA LIMIT</b>	2,800 sf + 25% (Net Lot Area - 7,000 sf) = 2,800 + 25% (20,203 - 7,000)	6,101 sf
<b>BUILDING COVERAGE</b>	30% of Net Lot Area = 30% x 20,203 sf	6,061 sf

1 Floor Area Limit and Building Coverage Calculation Diagrams  
Scale: 1/8" = 1'-0"



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Revisions	Date
Use Permit Application	10/06/15
Mobile Park Fire District	10/13/15
Mobile Park Fire Re-Submittal	11/04/15
Use Permit Re-Submittal	12/15/15
Mobile Park Fire Revisions	12/18/15
Use Permit Re-Submittal #2	01/25/16

The Williams Residence

1215 Valparaiso Avenue  
Menlo Park, CA 94025

APP: 071-041-200

Drawing Title

FAL and Building Coverage Diagrams

Scale: 1/8"=1'-0"

Drawn By: AG

Job Number: 534.1

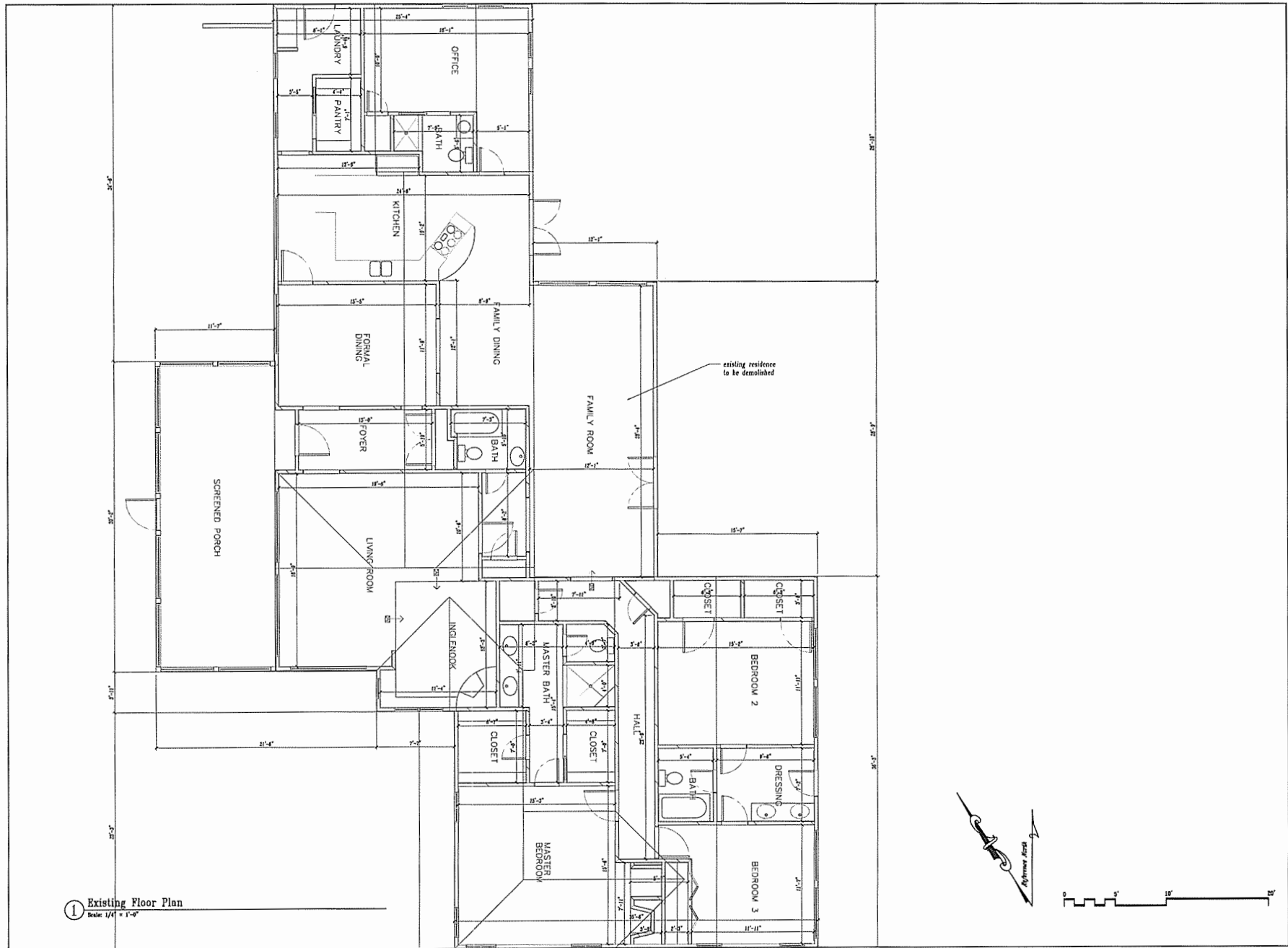
Drawing Number

A103





9-6



① Existing Floor Plan  
Scale: 1/4" = 1'-0"

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Revision	Date
Use Permit Application	10/06/15
Make Park Fire District	10/13/15
Make Park Fire Re-Submittal	11/04/15
Use Permit Re-Submittal	12/15/15
Make Park Fire Re-Submittal	12/15/15
Use Permit Re-Submittal #2	01/20/16

### The Williams Residence

1215 Valparaiso Avenue  
Marin Park, CA 94025  
APN: 071-061-200

Drawing Title	Existing Floor Plan
Scale	1/4"=1'-0"
Drawn By	other
Job Number	534.1
Drawing Number	

A200

1195 Park Ave., Suite 102  
Emeryville, California 94608  
Tel: 510.595.8042 Fax: 510.595.8365



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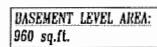
Revisiensi
Date

**Figure 1**

APN: 071-061-200

534.1  
Drawing Number

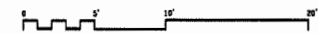
A201



① Basement Level Floor Plan  
Scale: 1/4" = 1'-0"

— egress window well with metal stair and grate above, min. 9 sf per CRC Section R310.2

----- dashed line indicates extent of  
exterior wall of main level above



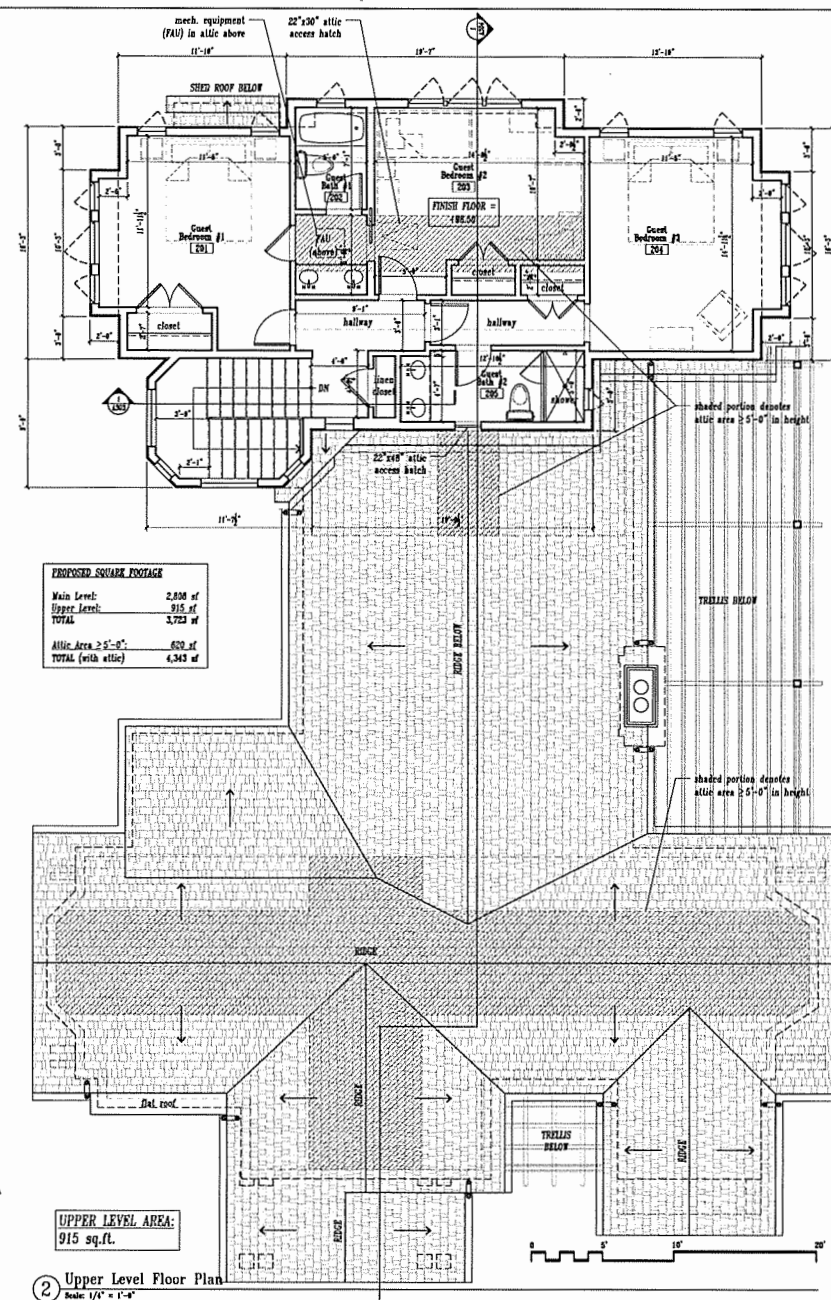
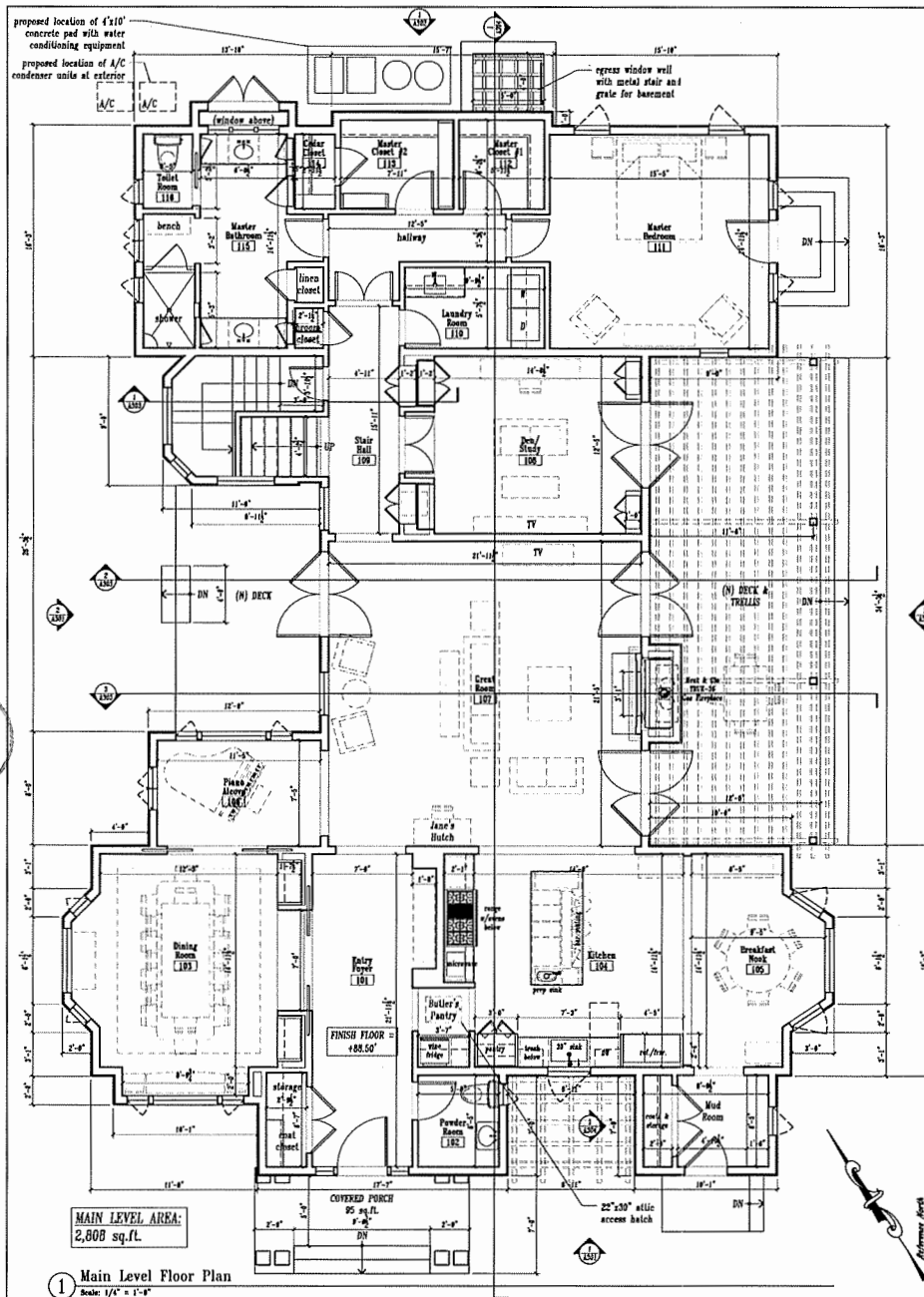


Use Permit Application	10/06/15
Menlo Park Fire District	10/13/15
Menlo Park Fire Re-Submittal	11/04/15
Use Permit Re-Submittal	12/15/15
Menlo Park Fire Revision	12/16/15
Use Permit Re-Submittal #2	01/23/16

APN: 071-061-200

Drawing Title	
Proposed	
Main/Upper Floor Plans	
Scale	1/4"=1'-0"
Drawn By	AG
Job Number	534.1
Drawing Number	

A202





Revisions	Date
Use Permit Application	10/06/15
Menlo Park Fire Districts	10/12/15
Menlo Park Fire Re-Submittal	11/04/15
Use Permit Re-Submittal	12/15/15
Menlo Park Fire Revision	12/15/15
Use Permit Re-Submittal #2	03/25/16

The  
Williams  
Residence

1215 Valparaiso Avenue  
Menlo Park, CA 94025

APN: 071-061-200

Drawing Title

Existing  
Exterior Elevations

Scale 1/4"=1'-0"

Drawn By AG

Job Number 534.1

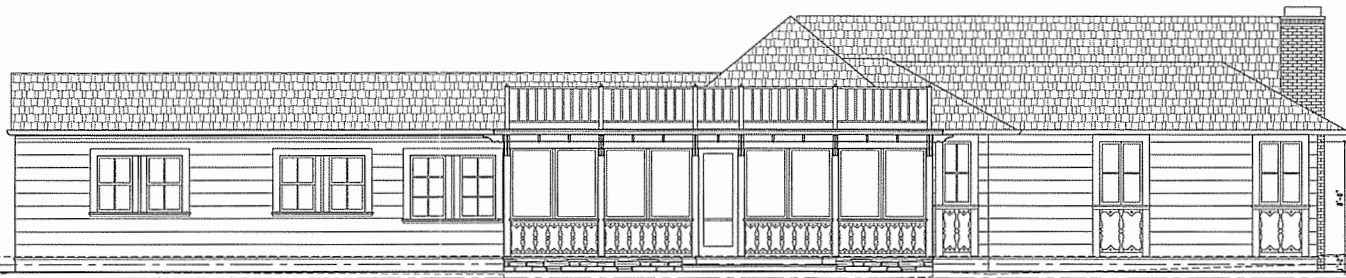
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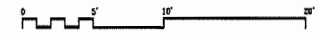


① Existing South (Right Side) Elevation  
Scale: 1/4" = 1'-0"

NOTE:  
These drawings are representative exterior elevations only and are not to be used for measurement accuracy. Supplementary photographs of the existing structure are available upon request. The entire existing residence is to be demolished.



② Existing West (Front) Elevation  
Scale: 1/4" = 1'-0"





Revisions	Date
Use Permit Application	10/06/15
Menlo Park Fire District	10/12/15
Menlo Park Fire Submittal	11/04/15
Use Permit Re-Submittal	12/15/15
Menlo Park Fire Revision	12/19/15
Use Permit Re-Submittal #2	01/25/16

The  
Williams  
Residence

1215 Valparaiso Avenue  
Menlo Park, CA 94025  
APN: 071-061-200

Drawing Title

Existing Exterior Elevations
Scale 1/4"=1'-0"
Drawn by AG
Job Number 534.1
Drawing Number

A300.2

(E) painted wood, louvered  
attic vent, typical

(E) painted wood railing, typical

(E) painted wood brackets at  
entry sun porch, typical

(E) painted wood paneling, door  
and window surrounds, typical

① Existing North (Left Side) Elevation  
Scale: 1/4" = 1'-0"

NOTE:  
These drawings are representative exterior elevations only and  
are not to be used for measurement accuracy. Supplementary  
photographs of the existing structure are available upon  
request. The entire existing residence is to be demolished.

(E) wood shake roof, typical

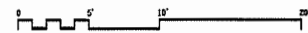
(E) painted lap siding, typical

(E) painted wood casement  
or double-hung windows  
and doors, typical

existing finish floor:  
+87.55' per survey

average grade: +86.55' per survey  
(average of highest and lowest  
points of natural grade covered by  
structure: +87.00' and +86.00')

② Existing East (Rear) Elevation  
Scale: 1/4" = 1'-0"





**NOTE:**

All accessory buildings and structures shown on this sheet are existing and proposed to remain with no change to the building or structure.

All overall heights are approximate.



① Existing Garage & Carport - West Elevation

Scale: not to scale



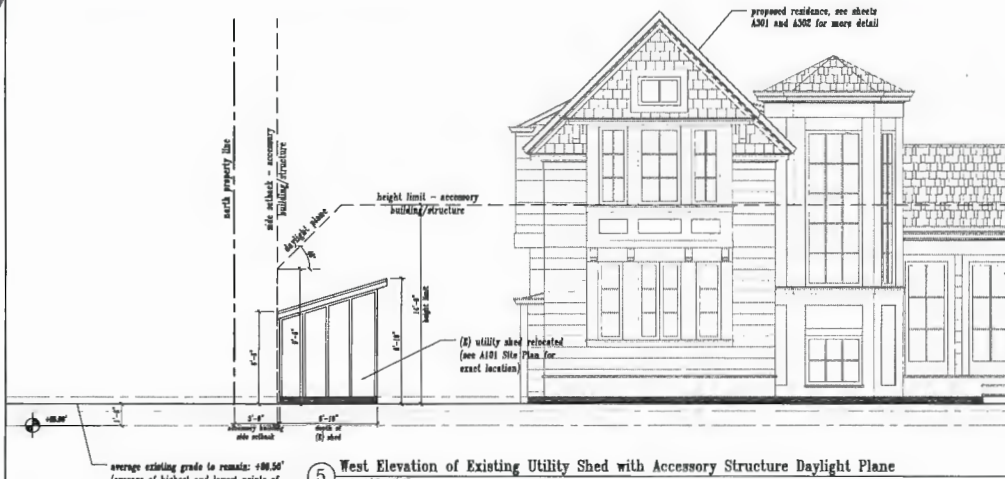
② Existing Poolhouse - West Elevation

Scale: not to scale



③ Existing Arbor Elevations

Scale: not to scale



④ Existing Utility Shed Elevations

Scale: not to scale



JOHN MALICK  
&  
ASSOCIATES



Architecture-Planning

1195 Park Ave., Suite 102  
Menlo Park, California 94025  
Tel: 510.395.8042 Fax: 510.395.8365



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Revisions	Date
Use Permit Application	08/06/15
Menlo Park Fire District	08/13/15
Menlo Park Fire District	11/04/15
Use Permit Re-Submittal	12/10/15
Menlo Park Fire District	12/10/15
Use Permit Re-Submittal #2	01/23/16

The  
Williams  
Residence

1215 Valparaiso Avenue  
Menlo Park, CA 94025

APN: 071-061-280

Drawing Title

Existing  
Accessory Structures

Scale	as noted
Drawn By	AG
Job Number	534.1
Drawing Number	

A300.3





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Revisions	Date
Use Permit Application	10/06/15
Menlo Park Fire District	10/13/15
Menlo Park Fire Submittal	11/04/15
Use Permit Fire Submittal	12/13/15
Menlo Park Fire Revisions	12/18/15
Use Permit Re-Submittal #2	01/25/16

The  
Williams  
Residence

1215 Valparaiso Avenue  
Menlo Park, CA 94025

APN: 071-041-200

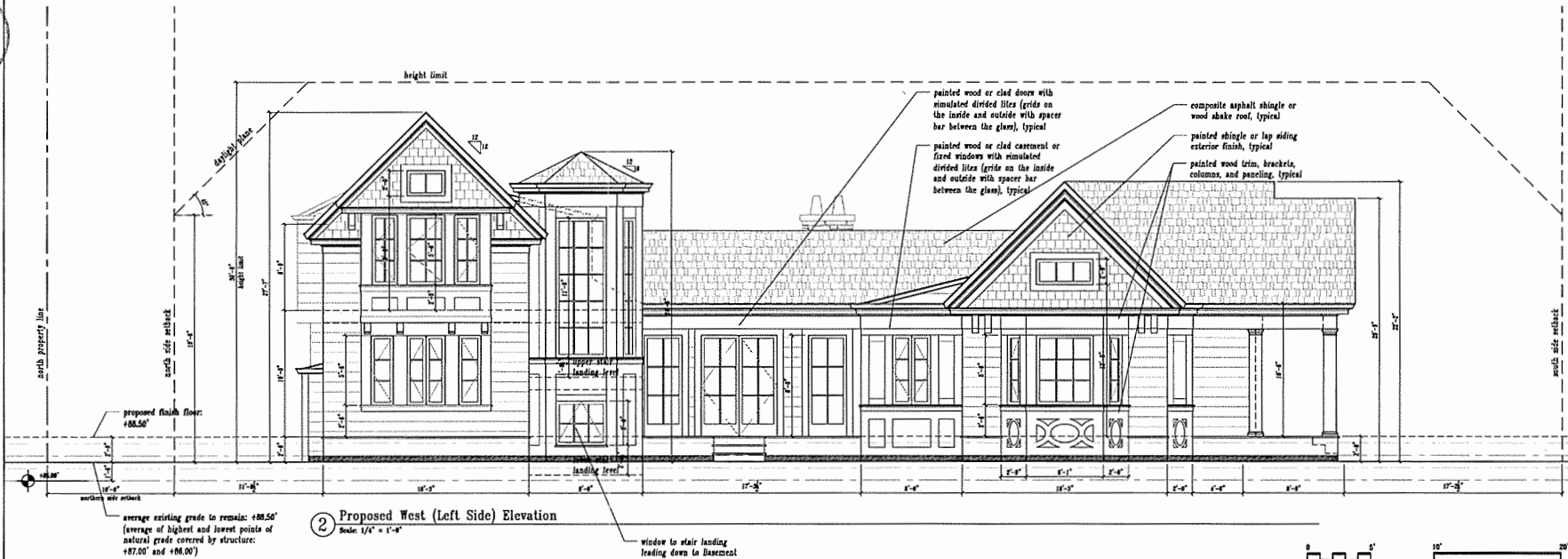
Drawing Title	Exterior Elevations
Scale	1/4"=1'-0"
Drawn By	AG
Job Number	534.1
Drawing Number	

A301



① Proposed South (Front) Elevation  
Scale: 1/4" = 1'-0"

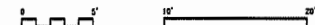
Painted wood front door  
with leaded glass or wood  
mountain specialty sidelites



② Proposed West (Left Side) Elevation  
Scale: 1/4" = 1'-0"

average existing grade to remain: +88.50'  
(average of highest and lowest points of  
natural grade covered by structure:  
+87.00' and +86.00')

Window to stair landing  
leading down to basement





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Revisions	Date
Use Permit Application	10/06/15
Minto Park Fire District	10/12/15
Minto Park Fire Re-Submittal	11/04/15
Use Permit Re-Submittal	12/03/15
Minto Park Fire Revision	12/09/15
Use Permit Re-Submittal #2	01/25/16

The  
Williams  
Residence

1215 Valparaiso Avenue  
Menlo Park, CA 94025

APN: 071-061-200

Drawing Title

## Exterior Elevations

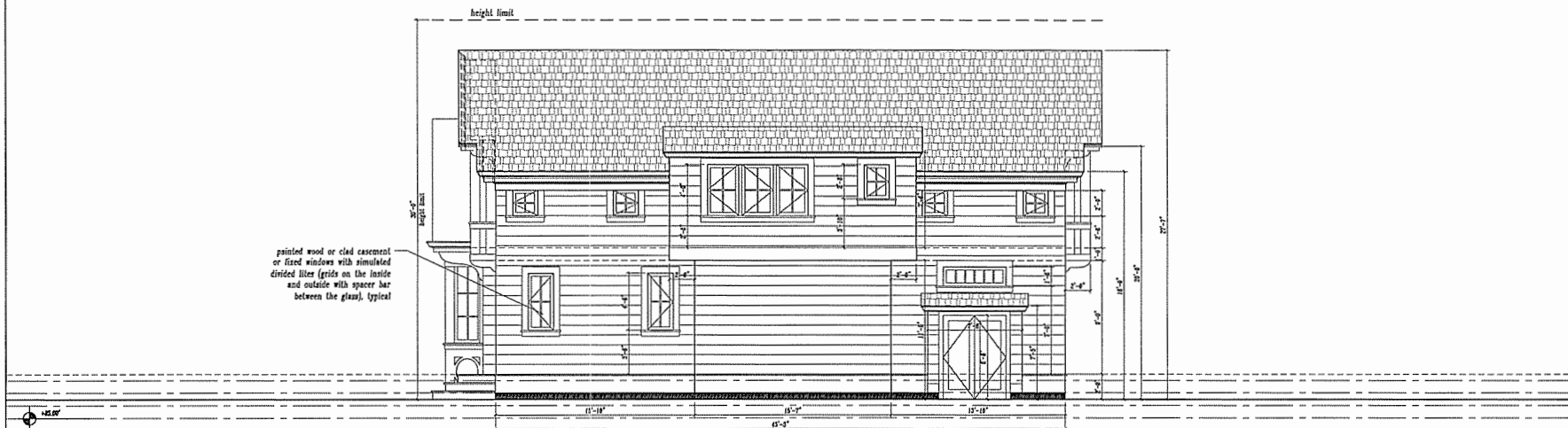
Scale 1 (100–11.00)

Draw by AG

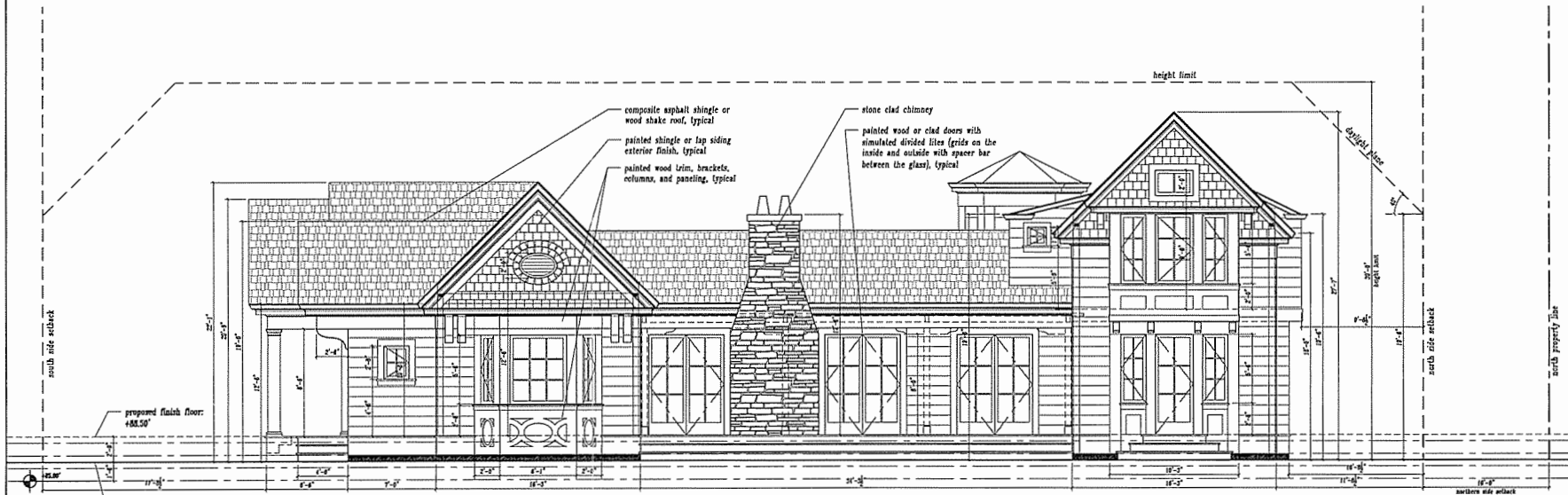
Job Number **534.1**

Drawing Number

A302



① Proposed North (Rear) Elevation  
Scale: 1/4" = 1'-0"



2 Proposed East (Right Side) Elevation  
Scale: 1/4" = 1'-0"

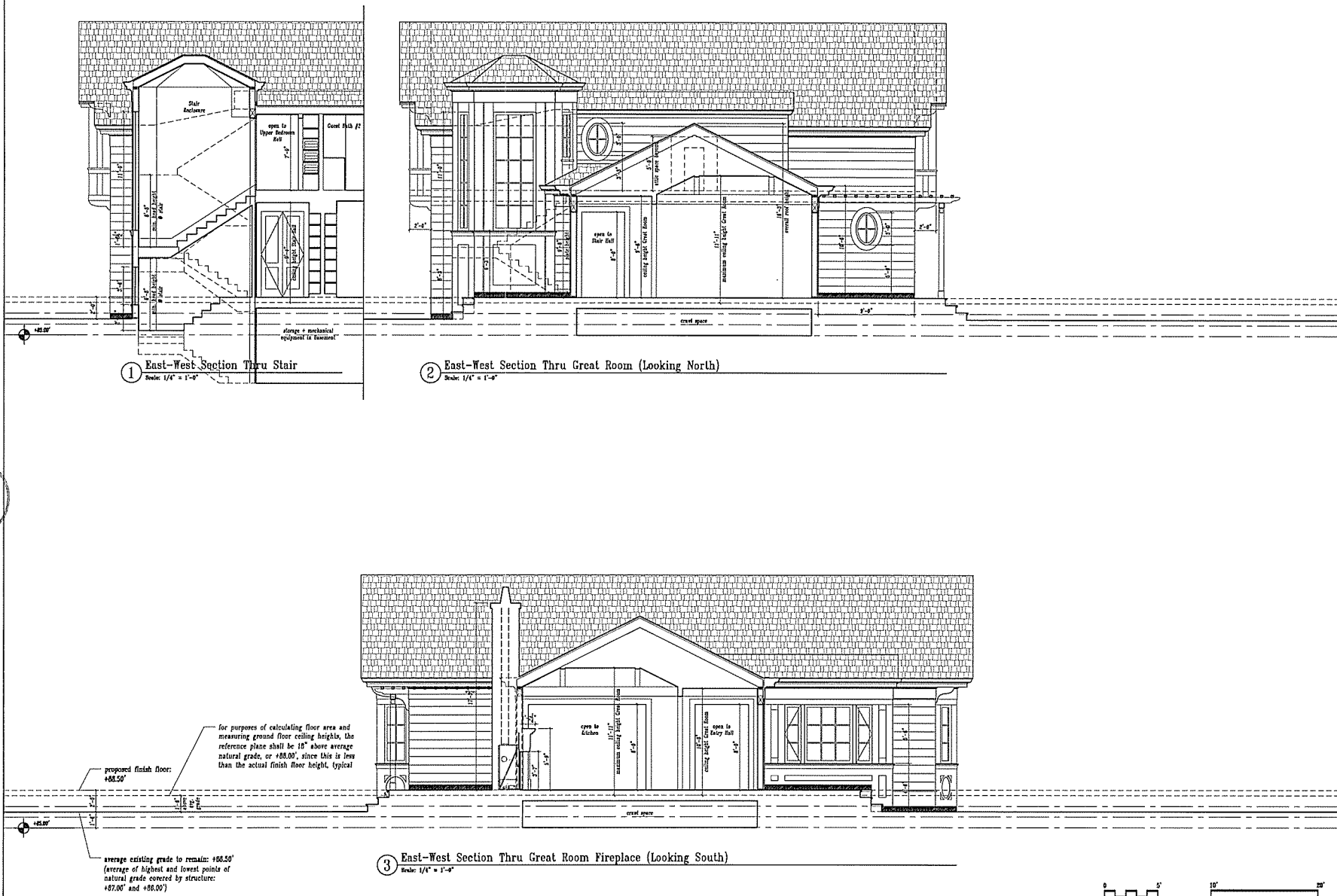


Use Permit Application	10/06/15
Menlo Park Fire District	10/12/15
Menlo Park Fire Re-Submittal	11/04/15
Use Permit Re-Submittal	12/11/15
Menlo Park Fire Revision	12/18/15
Use Permit Re-Submittal #2	01/24/16

The  
Williams  
Residence  
1215 Valparaiso Avenue  
Menlo Park, CA 94025  
APN: 671-0441-200

Drawing Title	Transverse Sections & Elevations
Scale	1/4" = 1'-0"
Drawn by	AG
Job Number	534.1
Drawing Number	

A303





Revisions	Date
Use Permit Application	10/06/15
Marko Park Fire District	10/12/15
Marko Park Fire Re-Submittal	11/04/15
Use Permit Re-Submittal	12/01/15
Marko Park Fire Revision	12/15/15
Use Permit Re-Submittal #2	01/25/16

The  
Williams  
Residence

1215 Valparaiso Avenue  
Menlo Park, CA 94025

APN: 071-061-020

Drawing Title

Longitudinal  
Section

Scale

1/4"=1'-0"

Drawn By

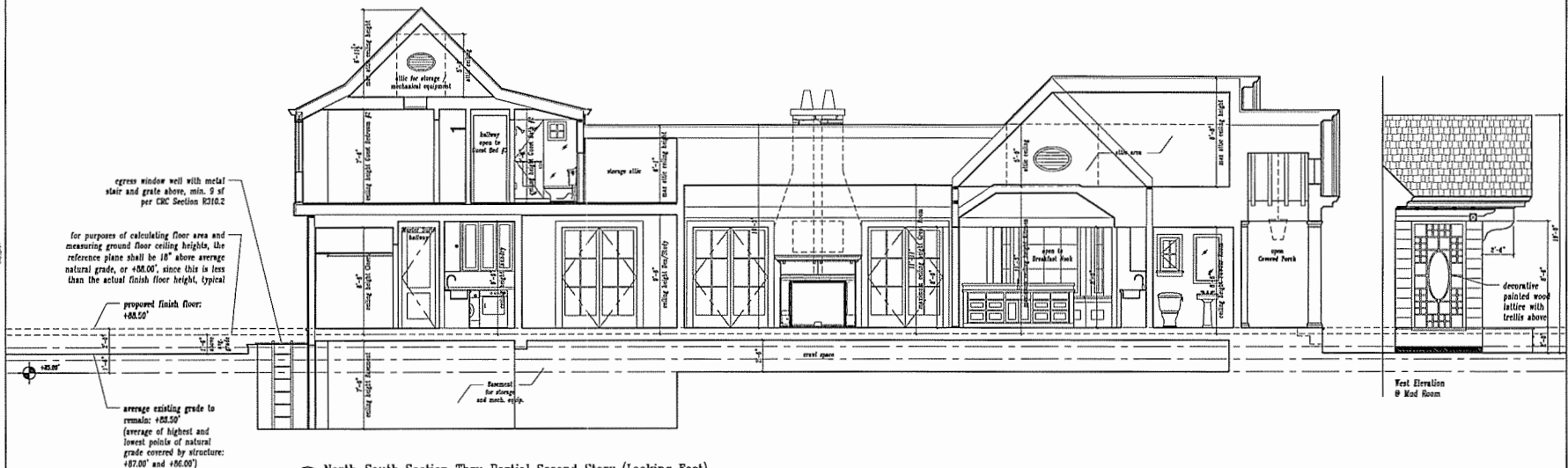
AG

Job Number

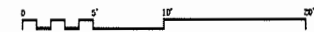
534.1

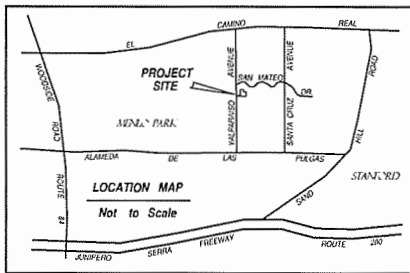
Drawing Number

A304



1 North-South Section Thru Partial Second Story (Looking East)  
Scale: 1/4" = 1'-0"





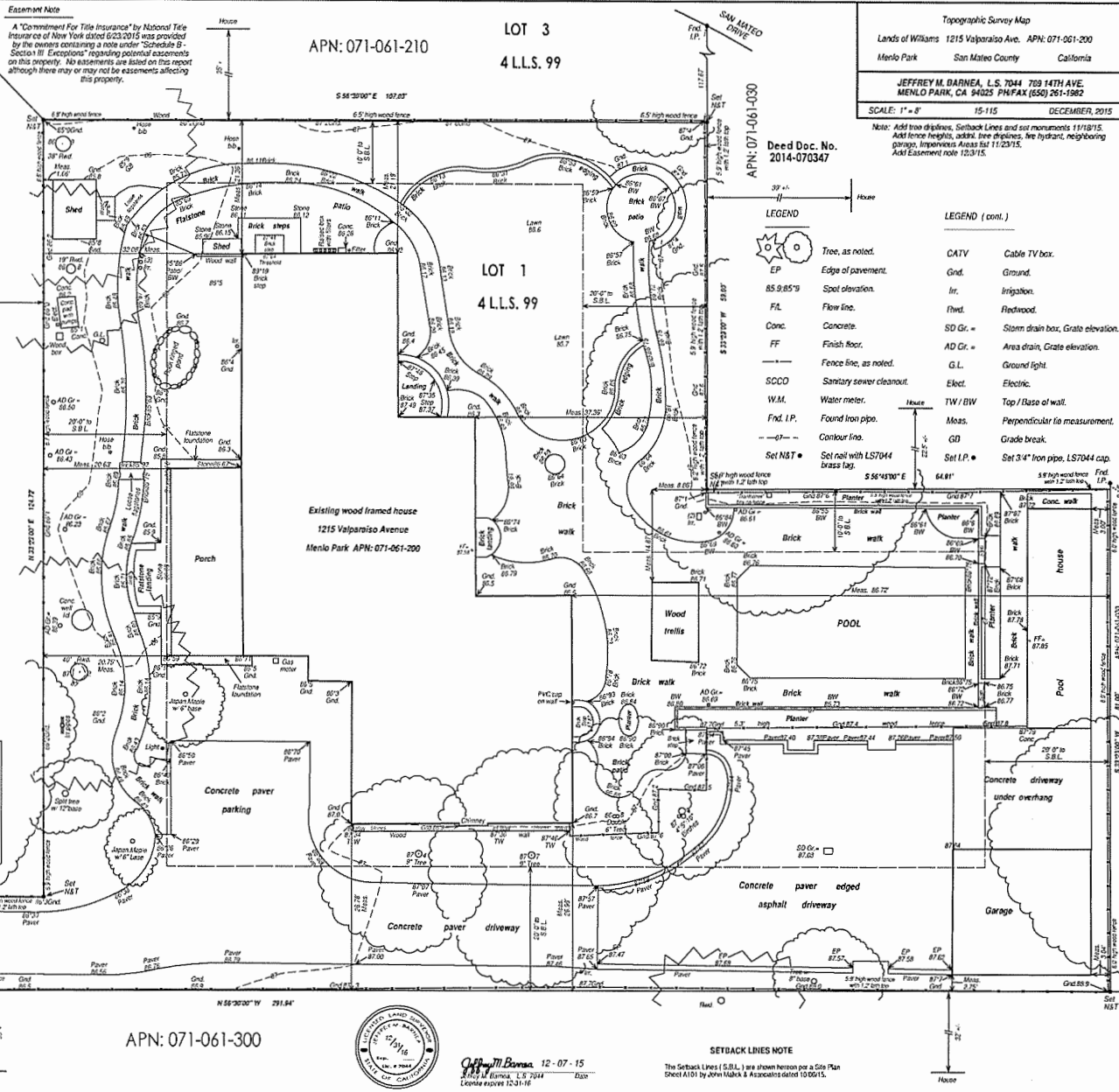
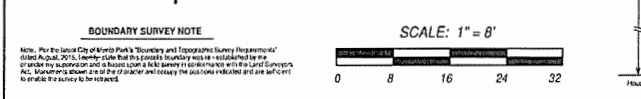
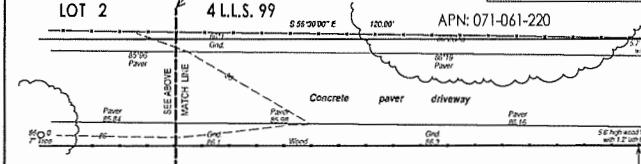
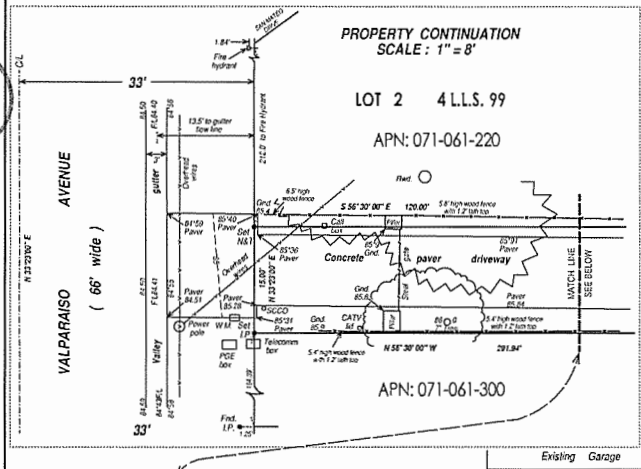
- NOTES**
- This Topographic Survey Map was prepared from ground surveys done by Jeffrey M. Barnes, PLS in May, September, and November, 2015.
  - Trees shown were located at the ground and trunk diameters measured at 4.5' above ground. Some ditches were measured and are depicted as such. The existing house, garage, and pool fence were measured at their outside wood line. Perpendicular tie measurements (Ties) are shown to the outside rim, not foundations.
  - Boundaries are shown per an updated site survey. The boundary perimeter of Lot 1 per the Record of Survey Map filed in 4 LLS 99 were re-established by me on November 16, 2015 and will be shown upon a Record of Survey to be placed on file with the San Mateo County Recorder's Office. The calculated Gross Area of this property is 22,003 s.f. +/-, and the Net Area is 20,203 s.f. +/-, Elevations are shown per GPS readings and are depicted in NAVD 88 Datum.
  - The final product delivered to owner Craig and Jane Williams were signed bond points. An electronic CAD version of this Map may be provided to the owners or their associates upon request. Any changes, revisions or additions made to this Map without the consent and approval of Jeffrey M. Barnes, PLS, is not the responsibility of Jeffrey M. Barnes, as the owners have agreed to in writing.
  - This updated Topographic Survey Map supersedes earlier versions of this drawing dated May and September, 2015 and contains revised boundary perimeter dimensions and courses, Gross and Net Area calculations, and perpendicular ties from building corners to nearby property lines.

**Impervious Surface Areas**

House / Porch	3587 s.f.
Shed	67
Pool House / Brick walk	512
Garage with Overhang	878
Brick walk, patios, street, flagstone, pool driveway	4587
<b>Impervious Areas - Total</b>	<b>13,772 s.f. +/-</b>

**Easement Note**

A "Commitment For Title Insurance" by National Title Insurance of New York dated 6/23/2015 was provided by the owners containing a note under "Schedule B - Section 1B (Exceptions)" regarding potential easements on this property. No easements are listed on this report although there may or may not be easements affecting this property.



**Topographic Survey Map**  
 Lands of Williams 1215 Valparaiso Ave. APN: 071-061-290  
 Menlo Park San Mateo County California

**JEFFREY M. BARNES, L.S. 704 789 14TH AVE. MENLO PARK, CA 94025 PH/FAX (650) 261-1962**

**SCALE: 1" = 8' 15'-115 DECEMBER, 2015**

**Note:** Add tree ditches, Setback Lines and set monuments 11/18/15. Add fence heights, add tree ditches, the hydrant, neighboring garage, Impervious Areas list 11/23/15. Add Easement note 12/31/15.

**Deed Doc. No. 2014-070347**

**LEGEND**

- Tree, as noted.
- EP Edge of pavement.
- 85.85% Spot elevation.
- FFL Flow line.
- Conc. Concrete.
- FF Finish floor.
- Fence line, as noted.
- SCCO Sanitary sewer cleanout.
- W.M. Water meter.
- Fnd. I.P. Found iron pipe.
- Contour line.
- Set NKT Set nail with L57044 brass tag.

**LEGEND (cont.)**

- CATV Cable TV box.
- Grnd. Ground.
- Irr. Irrigation.
- Redwood.
- SD Gr. Storm drain box, Grate elevation.
- AD Gr. Area drain, Grate elevation.
- G.L. Ground light.
- Elect. Electric.
- TV/BW Top / Base of wall.
- Moas. Perpendicular to measurement.
- GD Grade break.
- Set I.P. Set 3/4" iron pipe, L57044 cap.



**Jeffrey M. Barnes, 12-07-15**  
 L.S. 704  
 License expires 12/31/16

**SETBACK LINES NOTE**

The Setback Lines (SBL) are shown herein per a Site Plan Check A151 by John Nakka & Associates dated 10/06/15.

JOHN MALICK & ASSOCIATES

Architecture • Planning

1195 Park Avenue, Suite 102 • Emeryville, California 94608 • Telephone 510.595.8042 • Telex 510.595.8365

January 20, 2016

Corinna Sandmeier, Associate Planner  
City of Menlo Park  
Community Development Department  
Planning Division  
701 Laurel Street  
Menlo Park, CA 94025  
(650) 330-6702

RECEIVED

JAN 23 2016

CITY OF MENLO PARK  
BUILDING

**SUBJECT:** Project Description Cover Letter (Use Permit Application) – Revised  
*Williams Residence, 1215 Valparaiso Avenue, Menlo Park*

Dear Corinna,

I am writing on behalf of Craig and Jane Williams, in order to describe our proposed project for their new residence located at 1215 Valparaiso Avenue, Menlo Park.

We are applying for a use permit for the following reasons:

- 1) Request to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-E (Residential Estate) zoning district.
- 2) Request to retain all existing, accessory buildings and structures on the site (i.e. pool, pool house, arbor/trellis, Garage, Carport, and small shed), which currently exceed the prescribed limits of 25% of the square footage of all levels of the main building or 700 square feet. These structures are to remain completely unchanged, except that the existing shed shall be relocated outside of the front setback prescribed by the main building.
- 3) Request to relocate the aforementioned existing shed outside the front setback prescribed by the main building, but still within the front half of the lot. The shed is considered an “accessory building” per Section 16.04.110 and must normally be located in the rear half of the lot. We have indicated the front and rear halves of the lot by subtracting the panhandle portion of the lot (greatest length front to back 291.94’ – panhandle portion 120.00’ = 171.94’).

The current residence is a low, one-story “farmhouse style” home with yellow horizontal lap siding and white trim that sits more or less in the middle of the site, and is surrounded by varied, lush landscaping, gardens, and a pool and pool house structure on the east side of the lot. Because the lot is considered a “panhandle” lot in shape, the driveway access runs along the southern portion of the site, with an enclosed Garage and Carport at the southeastern end. The current uses of the home are distributed as follows: an entrance porch at the west, which is rarely used and is not very visible as an “entrance” from the driveway easement, kitchen and living areas toward the north end of the home, and two bedrooms, a bathroom, and the Master Bedroom Suite at the southern end of the house, nearest



E-1



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the pool and arbor areas, which are the more “public” areas of the site. The current home also has very little to no crawl space, wood roof shakes that have reached the end of their life, and several flat-roofed areas that are constantly posing leakage and repair problems.

The purpose of our proposal is to improve the layout of the house and the manner in which it is situated on the site, as well as its relationships to the landscaping, gardens, garage, pool, and pool house. As such, the scope of the project includes demolition of the existing one-story home and construction of a completely new, partial two-story residence, better situated on the site to respond to the various landscaping, garden, and pool elements.

The first floor plan of the proposed residence relocates the entry to the south end of the house with a recognizable entry porch and doorway, which is more visible from the driveway easement as one enters the property from the street. North of the entry are the dining room, kitchen, and breakfast room, which are on axis with the pool and situated much closer to the garage areas, where the owners are more likely to be walking from to enter the house. North of these spaces and at the heart of the home is a large Great Room, which has glazed doorways along both the east and west sides, simultaneously accessing private garden areas as well as public, trellised areas to the east, more planting space, and the pool areas. The Master Bedroom Suite and three guest bedrooms and bathrooms have all been relocated to the northern-most end of the site and home, which is the most quiet, private area of the lot. Existing trees and large redwoods along the northern perimeter of the site will also screen much of the partial second story, which is low and utilizes gable roofs for space, from adjacent properties. Relocating the guest bedrooms to an upper story has also made the footprint of the home much more compact, allowing the house to be set back much further away from the southern property line and creating a landscape buffer of planting and trees from the driveway at the entry porch, giving the home a much more comfortable, casual feel upon entering.

We are proposing a farmhouse / cottage architectural style, which uses painted horizontal lap siding and/or painted shingles, as well as an expressed exterior chimney in stone, to create an interesting, textured exterior finish. The general intent for the exterior of the home is to be casual, warm, inviting, and disarming, similar to a cottage. We are also proposing painted trim and decorative exterior panels below the windows at the bays, as well as decorative brackets, oval windows, and windows at the gables to create visual, playful architectural interest. The roof will be either composite asphalt shingles or treated wood shakes. We have attached images of the references and traditional farmhouse styles that we are using as inspiration and precedent for the proposed exterior. It primarily derives from a traditional American farmhouse style predominant in the eastern United States, but widely adopted elsewhere. The use of clapboard siding, shingles, decorative paneling, and brackets is reminiscent of the traditional Victorian and shingle style homes of California and specifically the Bay Area, but in a more simplified, modest form. The scope of the new landscaping work will include a new deck and private garden area to the west of the Great Room, additional landscaping to the east, and a covered porch to the south. There will also be an improved barbeque area near the pool and arbor, as well as an improved, enclosed utility shed area to the northwest, at the most private (and least desirable) part of the lot. The owners feel that the new placement of the house on the lot, as well as the rearrangement of the spaces within the residence, greatly improves the relationships between the house and the site elements around it and makes for a more welcoming, desirable home.



E-2



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The owners have also conducted neighborhood outreach regarding this proposal. We have attached the documents package that the owners put together to send, at a minimum, to the following contiguous neighbors at the following addresses:

- Eric Saltzman at 1251 Valparaiso Avenue
- Jeffrey Guardino at 1241 Valparaiso Avenue
- Diane Bregler at 1215 Valparaiso Avenue
- Great Universal Holdings LLC at 1325 San Mateo Drive
- Kenneth Kim at 1319 San Mateo Drive

The owners sent out the neighborhood outreach package by US Mail on Monday, November 16, 2015. They have sent them first to the five (5) neighbors abutting their property, and plan to send them to additional neighbors within the 300' mile radius of the home. In addition, they have attempted to visit each neighbor and personally explain the proposal and address any questions or concerns they may have in person. So far, these are excerpts of the summaries of feedback we have received from Craig Williams by email, and any other feedback will be forwarded to you as they receive it:

Email from Tuesday, November 17, 2015 at 10:18 a.m.:

"Finally, Jane and I completed the 'outreach' document on the project over the weekend and have begun talking with our neighbors about it. We are starting with the five abutters because the impact on them will be the greatest, but plan to talk with others this week. Those whom we cannot reach in person will get a copy of the document by US Mail. So far, we have contacted Diane Bregler (Jane went by her office at her house today but Diane did not have time to discuss the document or our plans so we will re-connect by email), the Kims (our abutters to the rear) who believe the project is fine as proposed, plus the Stritters and the Whelans who also have no objections. They have indicated that they would support the project in the form of an email to you."

Email from Sunday, November 22, 2015 at 9:33 p.m.:

"To catch you up on the outreach effort, I have talked to 3 of the homeowners on Corinne Lane, each of whom think the project will have no impact on them whatsoever. In fact, two of them said, "I can't even see your house from here". They all said they would send you an email indicating support, but I did not ask them to copy me. Jane went over to San Mateo Drive and Garden Lane today and had a similar response. I have also spoken with all of our abutting neighbors, except Diane Bregler who received our document by hand from my wife, Jane, but didn't have time to discuss it. My wife did let her know in a follow up email that we would be available to talk with her about her concerns and to have our architect join us to hear what she had to say. FYI, the homeowner of 1325 San Mateo is a Chinese national who lives at his home in China. The Menlo Park house is occupied by his daughter who is a junior at Sacred Heart and, occasionally, by her brother who is a student at Columbia University in NY. They have someone older living there, but inasmuch as none of them are the legal owners, do you have any particular thoughts on what requirements I might have with respect to that property. The remaining three abutters — two of whom have a more direct view of our property than Ms. Bregler — have indicated that they can't see any issues with the project. As with the others, I've asked them to indicate that to you in an email. I may contact you in a week or two to see if you have received any input from them.



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Finally, please also note that a Request for Evaluation for Potential Historic Significance, along with a Cover Letter, Unit Appraisal Record for 1215 Valparaiso, List of Building Permits Issued Since 1960, and eight (8) photographs of the existing structure and outbuildings, were submitted to you both electronically and personally on November 4, 2015. We were made aware of this requirement some time ago and put together the information so that you could have it earlier rather than later, so it is our understanding that you have this already with our Use Permit Application materials. Please let us know if there is anything else you need.

Thank you in advance for your attention, and please feel free to contact me at (510) 595-8042 or [greg@jmalick.com](mailto:greg@jmalick.com) with any questions about our proposal for this project.

Sincerely,



Greg Klein  
*Principal, John Malick & Associates*

Attachments: (1) Cover Letter Addressing Planning Department Comments from 11/05/15  
(1) Revised Data Sheet  
(1) Set of Project Plans and Survey, 24"x36" (Full Size)  
(1) Set of Project Plans and Survey, 11"x17" (Reduced Size)  
(1) Arborist Report  
(1) Copy of Neighborhood Project Proposal Package  
(2) Precedent Images of "Farmhouse Style" Homes, 8.5"x11"  
(1) Copy of Title Report with Legal Description of Property







Williams Residence - Use Permit Application  
Precedent Image 01 - Shingle Style  
John Malick & Associates 11-13-15

E-5





Williams Residence - Use Permit Application  
Precedent Image 02 - Farmhouse/Cottage Style  
John Malick & Associates 11-13-15

# Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

November 18, 2015, revised January 20, 2016 and February 04, 2016

Mr. Craig Williams  
1215 Valparaiso Avenue  
Menlo Park, CA 94025

Site: 1215 Valparaiso, Menlo Park, CA

Dear Mr. Williams,

As requested on Wednesday, November 11, 2015 and again on Tuesday, January 19, 2016, I visited the above site to inspect and comment on the trees. A new house is planned for this site and your concern as to the future health and safety of the trees has prompted this visit. Neighbors trees located close to the property line will be included in this report as required by the city of Menlo Park.

## Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

## Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1	Holly ( <i>Ilex aquifolium</i> )	13.2	55	25/15	Good vigor, poor-fair form, codominant at 6 inches.
2	Redwood ( <i>Sequoia sempervirens</i> )	47.1	85	95/35	Good vigor, good form, 3 feet inside fence.

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FEB 08 2016  
CITY OF MENLO PARK  
BUILDING

F-1

Tree#	Species	DBH	CON	HT/SP	Comments
3	Redwood ( <i>Sequoia sempervirens</i> )	22.4	80	75/30	Good vigor, fair form, 6 feet from well holding tanks.
4	Redwood ( <i>Sequoia sempervirens</i> )	49.4	75	75/35	Fair vigor, fair form, trunks lean north slightly.
5*	Coast live oak ( <i>Quercus agrifolia</i> )	26est	55	40/35	Good vigor, poor-fair form, suppressed by #6.
6*	Green ash ( <i>Fraxinus uhdei</i> )	50est	50	70/60	Good vigor, poor-fair form, multi leader with poor-fair crotches.
7	Beech ( <i>Fagus sylvatica</i> )	10.2	55	20/20	Good vigor, poor-fair form, codominant at 1 foot with a poor crotch.
8	Birch ( <i>Betula pendula</i> )	12.8	55	45/35	Good vigor, poor-fair form, grown as a clump.
9	Tristania ( <i>Tristaniopsis laurina</i> )	6.6	60	25/15	Good vigor, fair form, slightly suppressed.
10*	Incense cedar ( <i>Calocedrus deccurans</i> )	20est	55	40/30	Fair vigor, fair form, trunk leans south.
11*	Black walnut ( <i>Juglans californica</i> )	20est	50	25/30	Fair vigor, poor form, codominant at 4 feet.
12	Chinese pistache ( <i>Pistachia chinensis</i> )	10.2	75	30/35	Good vigor, fair form, heavy over drive.
13	Chinese pistache ( <i>Pistachia chinensis</i> )	9.6	55	30/25	Fair vigor, fair form, suppressed.
14*	Valley oak ( <i>Quercus lobata</i> )	40est	55	45/40	Good vigor, poor-fair form, topped in past.
15	Strawberry madrone ( <i>Arbutus marina</i> )	5.4	50	20/15	Fair vigor, fair form, suppressed.
16	Strawberry madrone ( <i>Arbutus marina</i> )	8.5	65	30/20	Good vigor, fair form, located near drive entrance.

Tree#	Species	DBH	CON	HT/SP	Comments
17*	Redwood ( <i>Sequoia sempervirens</i> )	40	70	120/45	Good vigor, fair form, near entrance gate.
18	Grecian Laurel ( <i>Laurus noblis</i> )	6.3	55	15/15	Good vigor, poor-fair form, hedge-like.
19	Grecian Laurel ( <i>Laurus noblis</i> )	6.2	60	15/15	Good vigor, fair form, hedge-like.
20	Grecian laurel ( <i>Laurus noblis</i> )	6.1	50	15/15	Good vigor, poor-fair form, topped.
21	Grecian laurel ( <i>Laurus noblis</i> )	5.8	60	15/15	Good vigor, fair form, hedge-like.
22	Grecian laurel ( <i>Laurus noblis</i> )	5.0	55	15/15	Good vigor, fair form, heavily trimmed.
23	Grecian laurel ( <i>Laurus noblis</i> )	6.3	45	15/15	Good vigor, poor form, sunscald on trunk.
24	Grecian laurel ( <i>Laurus noblis</i> )	4.9	45	15/15	Good vigor, poor form, sunscald on trunk.
25	Grecian laurel ( <i>Grecian laurel</i> )	3.7	50	15/15	Good vigor, poor-fair form, minor sunscald.
26	Grecian laurel ( <i>Laurus noblis</i> )	3.4	45	15/15	Good vigor, poor form, sunscald.
27	Grecian laurel ( <i>Laurus noblis</i> )	3.5	50	15/15	Good vigor, poor-fair form, sunscald.
28	Grecian laurel ( <i>Laurus noblis</i> )	4.6	50	15/15	Good vigor, poor form, sunscald.

\*indicates neighbor's tree



**Summary:**

The trees on and close to the site are a mix of native and imported trees. The front of the property is dominated by large redwood trees. The redwoods should not be affected by the proposed construction. The re-routing of the water line from the current location of the well tanks to their new location on the north wall of the new house will all be dug by hand and will all be outside the dripline of heritage redwood #3. There will be no dripline or tree root interaction with the other redwood in the corner of the lot. There also will be no impact to tree roots of heritage redwood #3 due to the installation of a small section of new walkway in the northwestern corner of the lot.

The neighbor's trees will not be affected by the proposed construction. The widening and installation of the new driveway should have no effects on the neighbor's redwood tree (#17) and oak tree #14. The removal of the existing paver drive will be done by hand and the base rock will be replaced or re-used requiring very little excavation. The driveway bed will be inspected by the site arborist after excavation. Mitigating measures if needed will be provided at that time.

The utilities will be located along the southern edge of the drive (in their existing location) minimizing impacts to any neighboring trees and redwood #2. The utility trench will cross the drive to the house well outside the dripline of redwood #2. Trenching for the installation of the utilities will be done by hand when roots are present. Any root impacts will be inspected by the site arborist. The site arborist will provide mitigating measures if needed at that time. Impacts are expected to be non-existent to minor with no long term impacts expected.

No pruning of any of the heritage trees will be required to accommodate the construction of the second floor.

Several small trees will be removed including the weeping beech (#7), birch (#8), and the 11 Grecian laurels (#18-#28) along the drive. The laurels will be removed per the fire departments request to widen the drive. The following tree protection plan will help to reduce impacts to any protected trees during construction.

**Tree Protection Plan:**

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones.

Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips. The wooden fencing will suffice for the neighbor's trees.

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside

protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

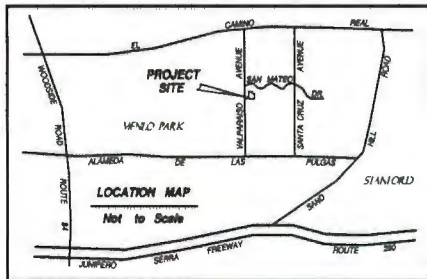
Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

The tree protection measures will be inspected by the site arborist prior to the start of any demolition or construction. This inspection is required by the city of Menlo Park. Other inspections will be on an as needed basis.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty  
Certified Arborist WE#0476A



#### NOTES

1. This Topographic Survey Map was prepared September, and November, 2015.

2. Trees shown were located at the ground were measured and are depicted as such outside wood line. Perpendicular line measurement.

3. Boundaries are shown per an updated map filed in 4/15/99 were re-established. Survey to be placed on file with the San Joaquin County Assessor's Office. The map is 22,000 S.F. +/-, and the map is depicted in NAD83 datum.

4. The final product delivered to owner. Original version of this map may be provided to the additions made to this map without the consent of Jeffrey M. Barnes, as the consent have agreed to in writing.

5. This updated Topographic Survey Map supercedes earlier versions of this drawing dated May and September, 2015 and contains revised boundary perimeter dimensions and courses, Gross and Net Area calculations, all perpendicular lines from building corners to nearby property lines.

Please note location of tree #14 is approximate and relates to corner of property indicated, not end of panhandle.

#### Impervious Surface Areas

Houses / Porch	3587 S.F.
Shed	47
Pond House / Brick walk	512
Garage with Overhang	878
Brick walk, patio, steps, flagstone, pool	4183
Driveway	4587

Impervious Areas - Total 13,775 S.F. +/-

#### Easement Note

A "Commitment For Title Insurance" by National Title Insurance of New York dated 6/23/2015 was provided by the owners containing a note under "Schedule B - Section III: Exceptions" regarding potential easements on this property. No easements are listed on this report although there may or may not be easements affecting the property.

APN: 071-061-210

LOT 3  
4 LLS. 99

Topographic Survey Map  
Lands of Williams 1215 Valparaiso Ave. APN: 071-061-300  
Menlo Park San Mateo County California

JEFFREY M. BARNES, L.S. 7044 780 14TH AVE.  
MENLO PARK, CA 94025 PH/FAX (650) 281-1882  
SCALE: 1" = 8' 15-115 DECEMBER, 2015

Note: Add tree diplines, setback lines and set monuments 1/15/2015.  
Add fence heights, add tree diplines, the hydrant, neighboring garage, impervious areas list 11/23/2015.  
Add Easement note 12/31/15.

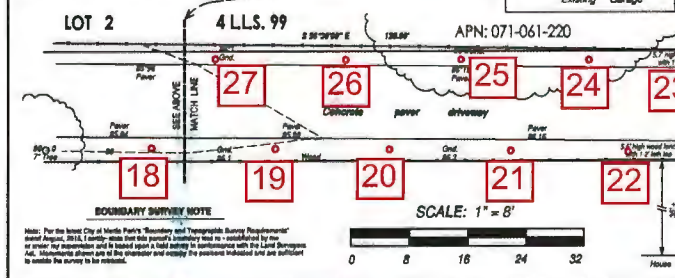
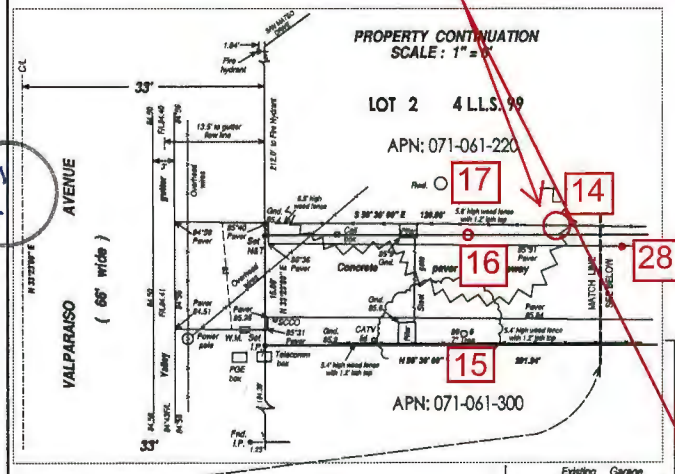
Deed Doc. No. 2014-070347

#### LEGEND

- Tree, as noted.
- EP Edge of pavement.
- SS.9.85'9 Spot elevation.
- F.L. Floor line.
- Conc. Concrete.
- FF Finish floor.
- Fence line, as noted.
- SCCO Sanitary sewer cleanout.
- W.M. Water meter.
- Found iron pipe.
- Contour line.
- Set I.P. Set iron with L57044 brass pipe.

#### LEGEND (cont.)

- CATV Cable TV box.
- Grnd. Ground.
- Ir. Irrigation.
- Recd. Redwood.
- SD Cr. Storm drain box, Grate elevation.
- AD Cr. Arre drain, Grate elevation.
- GL Ground light.
- Elect. Electric.
- TW / BW Top / Base of wall.
- Meas. Perpendicular measurement.
- GB Grate break.
- Set I.P. Set 34" iron pipe, L57044 caps.



APN: 071-061-300



Jeffrey M. Barnes, L.S. 7044  
Licenses expires 12-31-18

SETBACK LINES NOTE  
The Setback Lines (S.L.) are shown hereafter per a file Plan Sheet 0151 by John Muller & Associates dated 10/20/15.

Key Diagram of Trees revised 01/20/16

## COMMENTS REGARDING THE WILLIAMS OUTREACH PAPERS

I've been getting a bit confused about the mixed information regarding what is presented in the Outreach papers. According to information received from an appraiser friend of mine, records show the current house is 3,160 sq ft and has 6 BR and 5 BA on the .51 acre lot. Yet the Williams say that the house is 3,587 sq ft with 4 BR and 4 BA, and that whatever they have done to the house "was done without greatly altering the interior layout or adding new square footage".

The supposed "footprint" of the new main house is to be 2,730 sq ft. but there will be additional areas of 640 sq ft of attic with no mention of where it will be located or whether at some point in time it will become inhabitable. In addition, there is to be 875 sq ft of second story space with 3 BR and 2 BA. All of which seems to total 4,245 sq ft rather than the mentioned 3,605 so I'm assuming they are not counting the attic even though it will be under the roof of the house.

## CONCERNS ABOUT THE PROJECT

1. Obviously, the noise factor since I have no idea how long the project will take, nor when it will begin.
2. Because of the proximity to my property, the invasion of privacy to my backyard which is rather shallow with the greatest distance from house to fence being 40'. The West elevation of the new house plans appears to be mostly 2-story in height with many windows on both stories. Not counting the entry porch area, there appears to be only about 26' of single story footage.
3. The 4 or 5 trees that were planted to replace their twin redwoods don't afford any privacy, mainly because all of their trees, including the remaining redwoods, are so close to the fence that they overhang onto my property and don't provide any screening. (pictures showing view of current house from inside my house were previously submitted to Corinna)
4. Debris and dirt from the demolition and construction are a concern because I have two small dogs who got out in their enclosed patio area which is only 10' from the fence so I need to be concerned about their safety.
5. I do not intend to take responsibility for any damage to our common fences, nor for any replacement necessitated because of this project.
6. If as stated, the replacement of their driveway is necessary, I will be happy to give permission for them to also pave the area of my property next to said driveway that they and their invitees currently use to sometimes make turns out of their driveway, and always use for their garbage day pick up, which I might add has been done since street pick up was mandated and without having ever asked permission.

In conclusion, let me say that I'm pleased the Williams have a plan for their later years but that situation is not one I had planned for mine and apparently I've hit that plateau sooner than they have. I thought retirement was supposed to be a time of joy, relaxation, peace and quiet, rather than upheaval and noise intrusion that causes grief and despair.



Diane Bregler  
1205 Valparaiso Avenue  
Menlo Park

RECEIVED

FEB 16 2016

CITY OF MENLO PARK  
PLANNING

(G-1)











**Sandmeier, Corinna D**

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**From:** dfb <dfb@cal-ida.com>  
**Sent:** Wednesday, February 17, 2016 4:50 PM  
**To:** Sandmeier, Corinna D  
**Subject:** For future reference

Hi Corinna,

You and I at our last meeting discussed the fact that there was no indication of outdoor lighting upon the plans we reviewed. If there is still future discussion about this project, you might want to ask the architect about that.

Since we haven't had too much sun lately because of the weather being weird this year, I noticed yesterday how the morning sun impacted my property and thought about how an additional story would not allow that to happen.

What can I say other than things I now see day to day seem to bring up additions situations to ask about.

Guess, I'm the only neighbor who really cares for various reasons.....mostly because of the proximity, but I'd still seriously like to see a modification that would please all of us. 

Diane

## Sandmeier, Corinna D

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**From:** The Saltzmans <thesaltzmans@comcast.net>  
**Sent:** Friday, November 27, 2015 11:16 AM  
**To:** Sandmeier, Corinna D; craig3000@gmail.com  
**Subject:** re proposed construction at 1215 Valparaiso Ave.

Dear Ms. Sandmeier,

We live at 1251 Valparaiso, and have received information from Craig Williams regarding their proposed construction at 1215 Valparaiso. While we do not have objections to any of the three proposed housing designs we would like to go on record now to state our objections to any plans that will result in loss of trees visible from our property.

Peace and Grace

Amy Saltzman  
650-575-5780

**Sandmeier, Corinna D**

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**From:** Jody Buckley <jodybuckley@msn.com>  
**Sent:** Sunday, November 22, 2015 3:47 PM  
**To:** \_Planning Commission  
**Subject:** Use Permit Application for 1215 Valparaiso - Neighbor comment

Dear Planning Commission;

I had the pleasure of meeting my neighbor, Jane Williams, this afternoon. She discussed with me at length the plan she and her husband Craig Williams have for construction on their property at 1215 Valparaiso. I examined their site plan and was impressed by their goal of maintaining their current square footage but shrinking their house's already conservative footprint by adding a second story. I think it is an efficient and thoughtful plan and, as a neighbor, support it fully.

Please feel free to contact me if you wish to discuss.

Jody Buckley  
1309 San Mateo Drive  
650-328-5768

## Sandmeier, Corinna D

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**From:** Paul Goehner <paulgas@aol.com>  
**Sent:** Monday, November 23, 2015 3:43 PM  
**To:** Sandmeier, Corinna D  
**Subject:** Proposed improvements at 1215 Valparaiso

I am emailing you to lend my support to the proposal to improve 1215 valparaiso. Living in Menlo Park since 1988 and having built several homes here I can attest to the need to allow development and improvement to the older housing stock. This allows dramatic energy savings improved quality of living lower water usage and general increase in the tax base of the town. It is far better to have committed long term residents like the Williams who wish to make tasteful sub maximum sized homes on their existing property rather than developers bent only on maximizing size and sq footage of what they build to generate gains. The Williams have shared their plans with the neighborhood and made every attempt to have their project be low impact on the neighbors. I hope you will look favorably on this project.

Paul and Terri Goehner  
1395 Corinne Lane  
Menlo Park

## Sandmeier, Corinna D

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**From:** Craig Williams <craig3000@gmail.com>  
**Sent:** Monday, November 23, 2015 6:39 PM  
**To:** Sandmeier, Corinna D  
**Subject:** Fwd: Our home project

Corinna,

One of the contacts on our "outreach list" is Gabe Whelan on Garden Lane. I knew the Whelans were away for the Thanksgiving holiday so emailed him a copy of our plan. This is his positive response. If you need him to address something directly to you, I'll ask him to do so. Please LMK if this is sufficient documentation of his support. Thanks.

Craig C. Williams  
Cell: 650-248-1526  
email: [craig3000@gmail.com](mailto:craig3000@gmail.com)

----- Forwarded message -----

**From:** **Gabe Whelan** <[gwhelan@wgcm.com](mailto:gwhelan@wgcm.com)>  
**Date:** Tue, Nov 17, 2015 at 7:53 AM  
**Subject:** Re: Our home project  
**To:** Jane Williams <[jwilliams@sandhillglobaladvisors.com](mailto:jwilliams@sandhillglobaladvisors.com)>  
**Cc:** Debbie whelan <[dbwhelan@mac.com](mailto:dbwhelan@mac.com)>, Craig Williams <[craig3000@gmail.com](mailto:craig3000@gmail.com)>

Hi Craig and Jane

Thanks for the update. Exciting time for you to be working on the plan and it Looks terrific. Well presented and detailed. Do you have to have neighbors sign off as it would be easier and more efficient to have them like us just sign our name and check the approval box. Anyway good luck and if you need to interview contractors we have a recommendation if you like. Have a great Thanksgiving holiday with the family and we look forward to resuming out soccer get together at Menlo next year

Best to all  
Gabe

Sent from my iPhone

> On Nov 16, 2015, at 8:52 PM, Jane Williams <[jwilliams@sandhillglobaladvisors.com](mailto:jwilliams@sandhillglobaladvisors.com)> wrote:

>

> Dear Debbie and Gabe,

>

> Craig and I are launching a project as monumental as yours (perhaps larger, since we now know we will have to tear the house down and start over). We have a nice, evolving plan, thanks to Greg Klein of John Malick & Company and are need to gain an use permit since we plan to put on a partial 2nd floor. It will have no impact on you as you will see, and even if it did, I think you'd be happy with it.

>

> Craig has crafted a letter to describe the project which I am attaching. We would love both your input to the letter as we plan to circulate it to all those within a perimeter which includes you guys, and we would really



**Sandmeier, Corinna D**

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**From:** Susan Myers <susanmyers650@yahoo.com>  
**Sent:** Tuesday, November 24, 2015 1:10 PM  
**To:** Sandmeier, Corinna D  
**Subject:** 1215 Valparaiso Avenue

I wanted to send this email to the City of Menlo Park to let you know that I have spoken to our neighbors at 1215 Valparaiso regarding the rebuild of their home at this address in Menlo Park.

Mr. Williams spent about an hour with me and reviewed the footprint of their current home and the plans for the construction of a new home with two stories at 1215 Valparaiso.

My husband Tom and I live at 1390 Corinne Avenue and would like to give our approval for the Williams' plan to construct a new two story home at 1215 Valparaiso.

Please let me know if you have any additional questions. Also please let me know that you received this email.

Sincerely,

*Susan Myers, CPA*

*Cell: (650) 533-3461*

*Fax: (650) 560-6250*

CONFIDENTIALITY NOTICE: This e-mail message is for the personal and confidential use of the recipient(s) named above. This message may also contain privileged client information or work product. If the reader of this message is not the intended recipient or an agent responsible for delivering it to the intended

## Sandmeier, Corinna D

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**From:** Leilani <lstritter@yahoo.com>  
**Sent:** Sunday, December 13, 2015 12:38 PM  
**To:** Sandmeier, Corinna D  
**Subject:** in support of plans/permits for 1215 Valparaiso Avenue

Dear Corinna,

We, the homeowners at 1315 San Mateo Drive, would like to express our support for the building plans and permits for 1215 Valparaiso Avenue, home of Jane and Craig Williams. We have studied the plans and believe that the new design is an improvement which keeps the same character and spirit of the original house with minimal impact on the neighborhood. We are familiar with their architect, John Malick & Associates, and can attest to his design sensibility and eye for creating beautiful structures that are appropriate to the lot as well as the community.

Best Regards,  
Leilani and Skip Stritter  
1315 San Mateo Drive  
Menlo Park, CA 94025

## Sandmeier, Corinna D

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**From:** Rogers, Thomas H  
**Sent:** Tuesday, January 12, 2016 8:44 AM  
**To:** Sandmeier, Corinna D  
**Subject:** FW: [Sent to Planning ]Support for 1215 Valparaiso Ave remodelling

**From:** Ken [<mailto:kensckim@gmail.com>]  
**Sent:** Tuesday, January 12, 2016 7:18 AM  
**To:** PlanningDept  
**Cc:** Grace Kim  
**Subject:** [Sent to Planning ]Support for 1215 Valparaiso Ave remodelling

Planning Division Team of Menlo Park:

Good morning. As I'm sure you know, Craig and Jane Williams are seeking to remodel their house on 1215 Valparaiso Ave, Menlo Park, including getting a Use Permit.

My family and I live on 1319 San Mateo Drive, and are one of the Williams' neighbors. They have carefully and thoughtfully explained to us their plans to remodel their existing home, and sought out any concerns from us which we appreciated.

My wife Grace and I have reviewed their proposal, and wanted to let you know that we are supportive of their remodeling plans.

If you have any questions or matters to discuss, please feel free to contact me at any time.

Thank you,

Ken Kim

650-303-2852 (mobile)

[kensckim@gmail.com](mailto:kensckim@gmail.com)

1319 San Mateo Drive



## STAFF REPORT

### Planning Commission

**Meeting Date:**

**2/22/2016**

**Staff Report Number:**

**16-013-PC**

**Public Hearing:**

**Use Permit/Justin Young/435 University Drive**

### Recommendation

Staff recommends that the Planning Commission approve a use permit to partially demolish, remodel, and construct first- and second-story additions to an existing single-story, single-family residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban Residential) zoning district at 435 University Drive. The proposal would exceed 50 percent of the existing floor area on the lot and is considered equivalent to a new structure. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The project site is located at 435 University Drive, between Middle Avenue and College Avenue in the Allied Arts neighborhood. A location map is included as Attachment B. Adjacent parcels are also zoned R-1-U, with single-story, single-family residences on the south side of University Drive, and a small number of two-story, single-family residences on the north side of the street and on the east side of College Avenue in the vicinity of the proposed project. Single-story residences on University Drive predominantly feature ranch and bungalow styles, while two-story residences on nearby College Avenue feature a variety of contemporary, craftsman, and traditional styles.

### Analysis

#### *Project description*

The subject site is presently occupied by a single-story ranch/bungalow home with an attached single-car garage. The applicant is proposing to maintain 1,366.1 square feet of the existing residence, including the single-car garage, while demolishing the remaining 275.9 square feet of existing single-story living space at the rear right side of the residence. The proposal includes construction of a new second-story addition of 1,148 square feet. As a result, the proposed floor area of the residence would increase by over 872 square feet when compared with the existing residence. The residence would become a four-bedroom, three-bathroom home. A covered porch that intrudes into the rear setback would be demolished, and the building coverage would be brought into conformance. A data table summarizing parcel and project

attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The floor area, building coverage, and height of the proposed residence would all be below the maximum amounts permitted by the Zoning Ordinance. Additionally, the structure would comply with the daylight plane for a two-story home in the R-1-U zoning district.

### ***Design and materials***

The low profile, basic hipped roof, and minimal architectural detail on the existing residence are characteristic of the ranch/bungalow styles. As part of the proposed project, the façade would be updated to achieve a contemporary farmhouse aesthetic, with shed and gable dormers and a long front porch flush with the garage entrance. Wood board and batten siding would be the primary cladding material for the exterior of the residence, with horizontal wood siding accents on the second story. The front door and garage door of the residence would be stained wood. The entire roof of the residence would be replaced with more complex gabled forms covered in composition shingles.

The proposed residence would feature aluminum clad wood windows, and all existing windows would be replaced to ensure consistency in window design. Second-story windows along both side elevations are proposed to have sill heights of at least two feet, nine inches, with the exception of one window on the left side of the proposed residence at two feet, two inches. Given that the closest adjacent residence on the left side of the property, at 900 College Avenue, is approximately 36 feet away and separated from the subject property by a detached garage, privacy impacts of this lower second-story window sill height would potentially be limited. New landscaping could also help reduce the potential for privacy impacts, as noted in the following section.

A bay window architectural feature, approximately seven feet in length and midway between the first and second floors of the structure, would be located in the stairwell on the left side of the proposed residence. As an architectural feature, it is permitted to extend up to 18 inches into the required side setback and is exempt from floor area limit calculations based on current Zoning Ordinance regulations. The location of the windows in a stairwell would potentially keep privacy impacts to a minimum, given the short amounts of time the space would typically be in use. The bedroom located on the second story at the rear right-side of the residence would also feature a Juliet balcony with an accessible outdoor space enclosed by a railing. The space is not regulated as a balcony because it does not project more than 18 inches from the wall of the building, as defined by the Zoning Ordinance. Views from this space onto the adjacent right-side property at 435 University Drive may partially be obstructed by the detached garage located at the rear of the adjacent parcel.

Although the new second story would add more mass and height to the residence, the addition would be set back from the first story at the front and rear, and the sides would be provided some articulation through architectural features, changing rooflines, and variations in cladding materials. Given the architectural styles and sizes of structures in the vicinity, as well as the variation in materials and architectural accents proposed, staff believes that the scale, materials, and style of the proposed residence are consistent with the broader neighborhood.

### ***Trees and landscaping***

At present, there are four trees on the project site, none of which are heritage trees, and all of which are located along the left-side property line. One tree, an eight-inch holly, is proposed for removal as part of the project. In staff comments to the applicant, additional tree plantings on the subject property were advised. The applicant responded that screening landscaping and additional plantings were being deferred to a later point in the development process. Staff believes that additional screening trees and landscaping, especially on the right side of the property, could be warranted given the proposed second-story window sill heights and single-story height of the immediately adjacent residences. The Planning Commission may wish to consider adding a condition to this effect, requiring an enhanced landscape plan with the building permit submittal, subject to staff review and approval. The demolition of the existing residence and construction of the proposed addition are not anticipated to adversely affect the trees located on the subject site or neighboring properties, given that the footprint of the proposed structure largely retains that of the existing structure.

### ***Parking and circulation***

The existing house was originally built with only one required off-street parking space in the existing one-car garage. As a result, the building is considered legal non-conforming in terms of parking. This type of nonconformity may be permitted to remain as part of an expansion/remodeling project. For the subject property, the majority of the existing building footprint would be retained, effectively limiting the potential to bring the parking into full compliance. The existing driveway would continue to provide unofficial parking spaces within the front setback, which would not meet the off-street parking requirement but would provide some flexibility.

### ***Correspondence***

The applicant indicates that outreach was performed by contacting adjacent property owners regarding the proposed project. In the project description letter, the applicant claims that adjacent property owners were generally supportive of the proposal and that future screening plantings along the property lines will continue to be discussed. Staff has not received any correspondence regarding the project. As noted by the applicant, the project architect is herself one of the directly adjacent neighbors.

### ***Conclusion***

Staff believes that the scale, materials, and style of the proposed residence are compatible with those of the greater neighborhood. The proposed addition would be set back from the first story at the front and rear, and the sides would be provided some articulation through architectural features, changing rooflines, and variations in cladding materials. If a condition is placed on the project to provide additional screening landscaping, privacy impacts to neighboring properties would be further reduced. The floor area, building coverage, and height of the proposed residence would all be at or below the maximum amounts permitted by the Zoning Ordinance, and the new structure would be within the daylight plane requirements. Staff recommends that the Planning Commission approve the proposed project.

### ***Impact on City Resources***

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.



## **Environmental Review**

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

## **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

## **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

## **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter

## **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

## **Exhibits to Be Provided at Meeting**

None

Report prepared by:

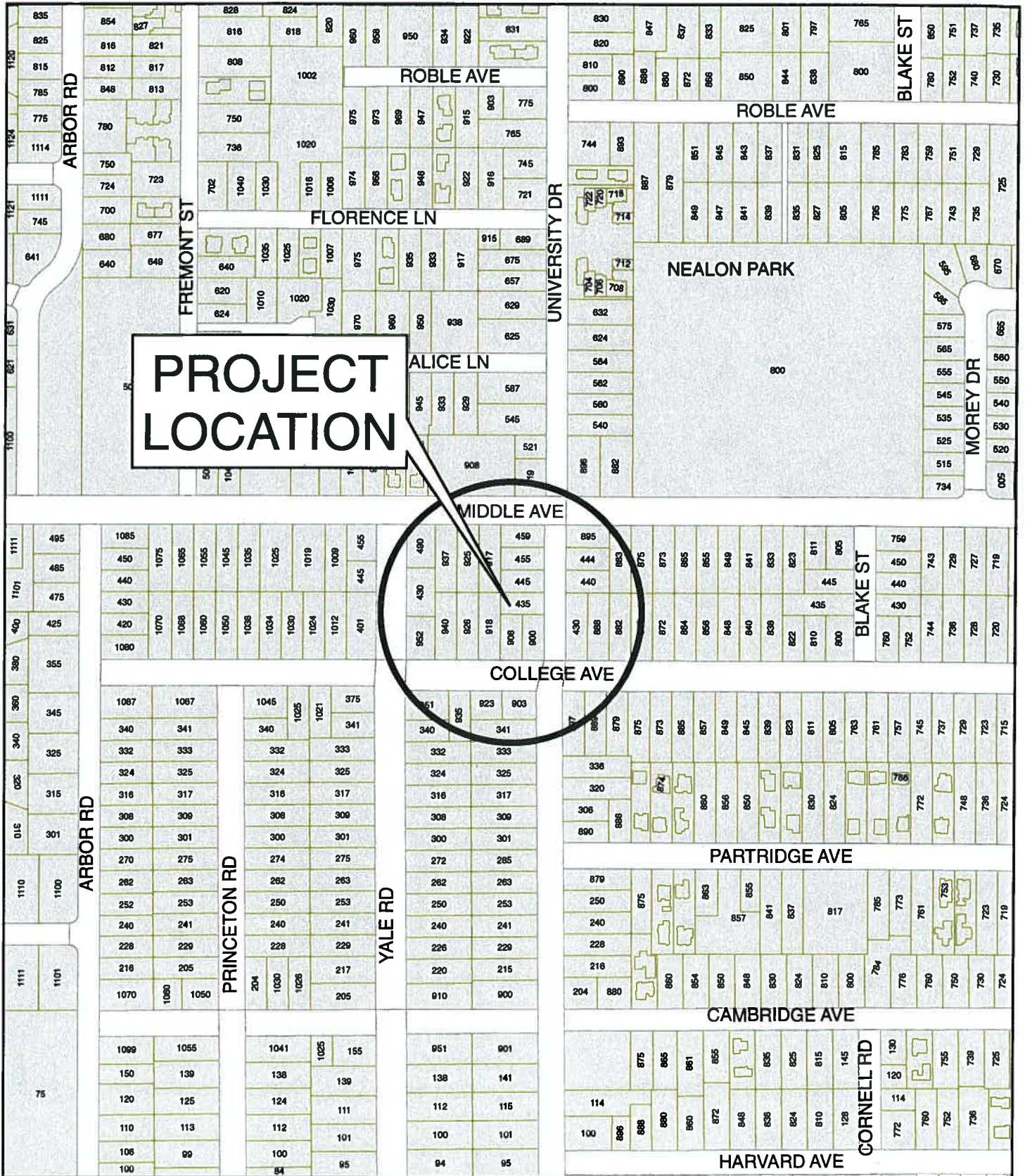
Tom Smith, Associate Planner

Report reviewed by:

Thomas Rogers, Principal Planner

435 University Drive – Attachment A: Recommended Actions

<b>LOCATION:</b> 435 University Drive	<b>PROJECT NUMBER:</b> PLN2015-00102	<b>APPLICANT:</b> Justin Young	<b>OWNER:</b> Justin Young
<b>REQUEST:</b> Request for a use permit to partially demolish, remodel, and construct first- and second-story additions to an existing single-story, single-family residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban Residential) zoning district. The proposal would exceed 50 percent of the existing floor area on the lot and is considered equivalent to a new structure.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 22, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions:               <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Zak Johnson Architects, consisting of 8 plan sheets, dated received on February 9, 2016, and approved by the Planning Commission on February 22, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</li> </ol> </li> </ol>			



# CITY OF MENLO PARK

## LOCATION MAP

### 435 UNIVERSITY DRIVE

DRAWN: TAS CHECKED: THR DATE: 2/22/16 SCALE: 1" = 300' SHEET: 1



435 University Drive – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	5,000 sf	5,000 sf	7,000 sf min.
Lot width	50 ft.	50 ft.	65 ft. min.
Lot depth	100 ft.	100 ft.	100 ft. min.
Setbacks			
Front	24.8 ft.	24.8 ft.	20 ft. min.
Rear	23.5 ft.	14.5 ft.	20 ft. min.
Side (left)	5.1 ft.	5.1 ft.	5 ft. min.
Side (right)	5.8 ft.	5.8 ft.	5 ft. min.
Building coverage	1,747.3 sf	2,183.3 sf	1,750 sf max.
	34.9 %	43.7 %	35 % max.
FAL (Floor Area Limit)	2,792.4 sf	1,985.2 sf	2,800 sf max.
Square footage by floor	1,359.8 sf/1st 1,148.0 sf/2nd 284.6 sf/garage 96.6 sf/porch 6.3 sf/fireplace	1,642 sf/1st 284.6 sf/garage 198.1 sf/porch 58.6 sf/shed	
Square footage of buildings	2,895.3 sf	2,183.3 sf	
Building height	25.5 ft.	16 ft.	28 ft. max.
Parking	1 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees

Heritage trees	0	Non-Heritage trees	4	New Trees	0
Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	1	Total Number of Trees	3



# CLARK YOUNG RESIDENCE

435 UNIVERSITY DRIVE  
MENLO PARK, CA 94025

## Project Data:

- |                                   |              |
|-----------------------------------|--------------|
| 1. Zoning District:               | R-1-U        |
| 2. Lot Area:                      | 5,000.0 s.f. |
| 3. Allowable Lot Coverage (35.0%) | 1,750.0 s.f. |
| Existing Lot Coverage (43.7%)     | 2,183.3 s.f. |
| Proposed Lot Coverage (34.9%)     | 1,747.3 s.f. |
| 4. Max. Allowed Floor Area Limit: | 2,800.0 s.f. |
| Proposed Total Square Footage:    | 2,798.7 s.f. |
| (E) First Floor                   | 1,642.0 s.f. |
| (E) 1st Floor Removed             | -275.9 s.f.  |
| (N) Second Floor                  | 1,148.0 s.f. |
| (E) Garage                        | 284.6 s.f.   |
| (N) Porch                         | 96.6 s.f.    |
| Attic Space:                      | N/A          |
| (E) Shed - Removed:               | (58.6 s.f.)  |
| 5. Existing Height                | 18'-0"       |
| Proposed Height:                  | 25'-6"       |
| Max. Height:                      | 28'-0"       |

## Consultants

**Structural Engineer:** Ross Engineering  
1250 Arroyo Avenue, Suite 100  
Menlo Park, CA 94025  
408 821-1335

**Energy Consultant:** Builder's Energy Services, Inc.  
1478 Bird Avenue  
San Jose, CA 95125  
408 718-1908

**Soils Engineer:** Murray Engineers, Inc.  
835 Fremont Avenue  
Los Altos, CA 94024  
650 558-8880

**Surveyor:** Jeff Barnes  
789 Fourteenth St.  
Menlo Park, CA 94025  
650 281-1982

## Applicable Codes & Regulations

California Residential Code 2013 Edition  
California Energy Code 2013 Edition  
California Plumbing Code 2013 Edition  
California Electrical Code 2013 Edition  
California Mechanical Code 2013 Edition  
California Fire Code 2013 Edition  
Menlo Park Municipal Code  
Along with any other local and state laws and regulations

## Menlo Park Safety Fence Notes

Prior to issuance of a Demolition or Building Permit, the plan for safety fencing will be submitted and approved by the Building Division. The Building Official may waive this requirement in a case by case basis. The fencing shall be installed as follows: 1. A chain link fence of 42" minimum height, galvanized iron posts, driven into the ground at a maximum spacing of at least 2-feet at no more than 10-foot spacing.

2. Duration: Fencing shall be erected before demolition, grading or construction begins and remain in place until the inspection of the project.

## Project Information

**Occupancy Group:** R-3 / U-1  
**Type of Construction:** V - B  
**Deferred Submittal Items:** NA  
**Special Inspection Items:** - see Structural Drawings.  
**Automatic Fire Sprinklers:** Yes

## Sheet Index

A-1	Site Plan, Roof Plan
C-1	Civil Survey
A-2	Existing Plan & Photos
A-3	First & 2nd Floor Plan
A-4	Ext. Elevations
A-5	Building Sections
A-6	Area Plan & Streetscape
A-7	Block Area Diagrams

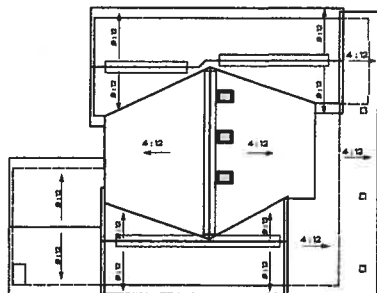
## City of Menlo Park Const. Hours & Noise Requirements:

The work hours are regulated by noise levels created during construction. The maximum noise levels allowed are established in the City of Menlo Park Municipal Code Chapter 8.08 Noise.

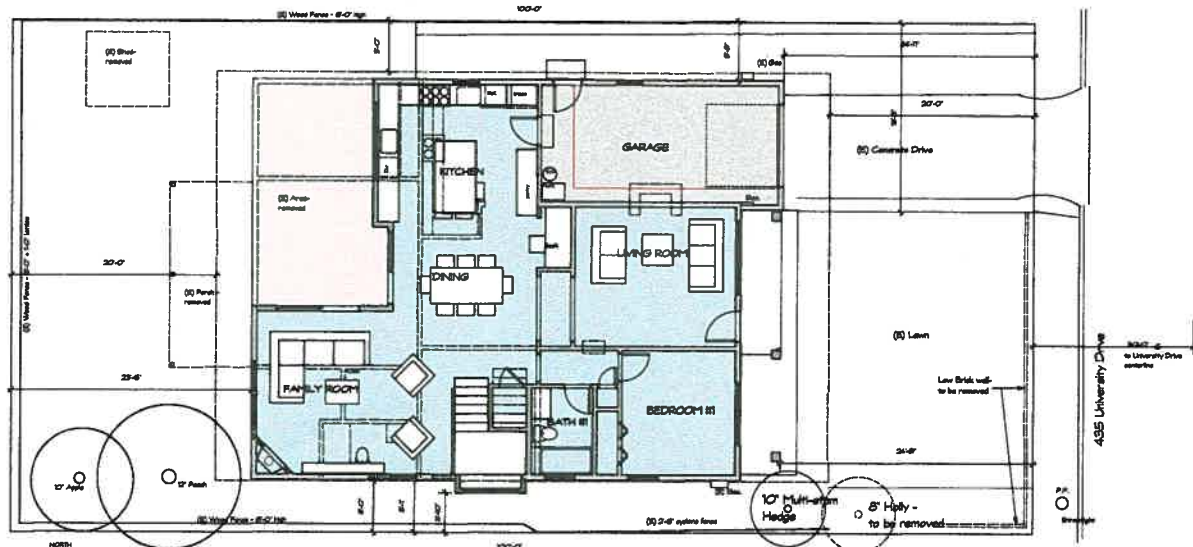
1. Any and all excessively annoying, loud or unusual noises or vibrations such as offend the peace and quiet of persons of ordinary sensibilities and which interfere with the comfortable enjoyment of life or property and affect at the same time an entire neighborhood or any considerable number of persons shall be considered a noise disturbance.

### 2. Construction Activities:

a. Construction activities are limited to the hours of eight (8) a.m. and six (6) p.m. Monday through Friday.  
b. Construction activities by residents and property owners personally undertaking construction activities to maintain or improve their property are allowed on Saturdays, Sundays or holidays between the hours of nine (9) a.m. and five (5) p.m.  
c. A sign, containing the permitted hours of construction activities exceeding the noise limits set forth in Section 8.08.030, shall be posted at all entrances to a construction site upon the commencement of construction, for the purpose of informing contractors and subcontractors and all other persons at the construction site of the basic requirements of this chapter. The sign shall be at least five (5) feet above ground level and shall consist of a white background with black letters.  
d. Notwithstanding any other provision set forth above, all powered equipment shall comply with the limits set forth in Section 8.08.040(b).



(N) ROOF PLAN  
Scale: 1/8" = 1'-0"



SITE PLAN  
Scale: 1/8" = 1'-0"

Zak Johnson Architects  
900 College Avenue  
Menlo Park, CA 94025  
650.329.8767

Unrecorded Architect  
Name: Zak Johnson  
C-25346  
Exp. 06/17  
State of California

Clark Young Residence  
435 University Drive  
Menlo Park, CA 94025

Sheet Title  
Site Plan, Roof Plan

Date  
8 January, 2016

Scale  
As Noted

A-1





Zak Johnson Architects  
900 College Avenue  
Menlo Park, CA 94025  
650.329.9767

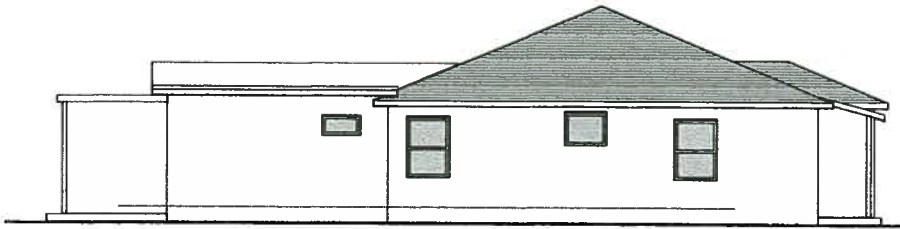
Professional Architect  
Karin Buchanan Zick  
C-25245  
Exp. 03/17  
State of California

Clark Young Residence  
435 University Drive  
Menlo Park, CA 94025

Sheet Title  
(0) Floor Plan  
(0) Elevations  
Date  
4 January, 2016

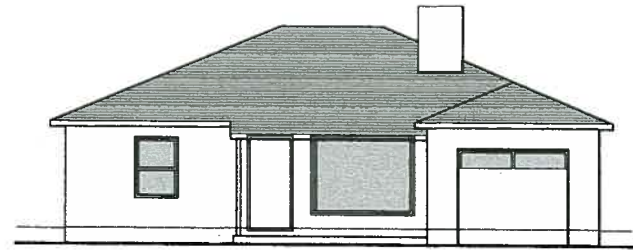
Scale  
As Noted

A-2



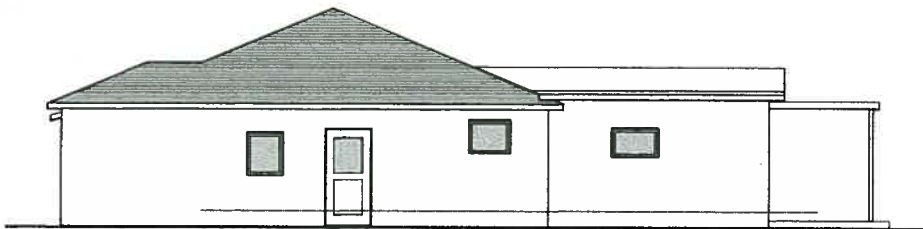
(E) SOUTH ELEVATION

Scale: 1/4" = 1'-0"



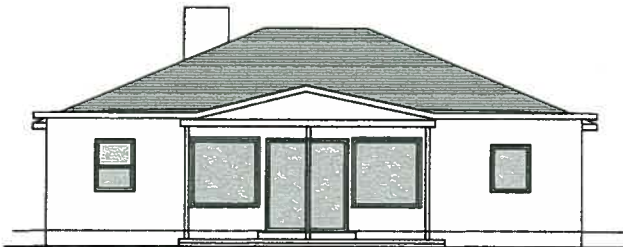
(E) EAST ELEVATION

Scale: 1/4" = 1'-0"



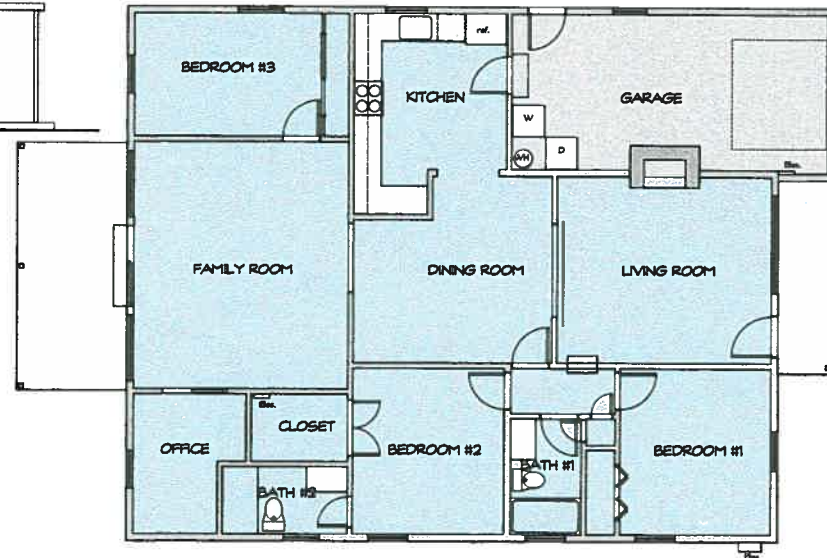
(E) NORTH ELEVATION

Scale: 1/4" = 1'-0"



(E) WEST ELEVATION

Scale: 1/4" = 1'-0"



EXISTING FLOOR PLAN

Scale: 1/4" = 1'-0"

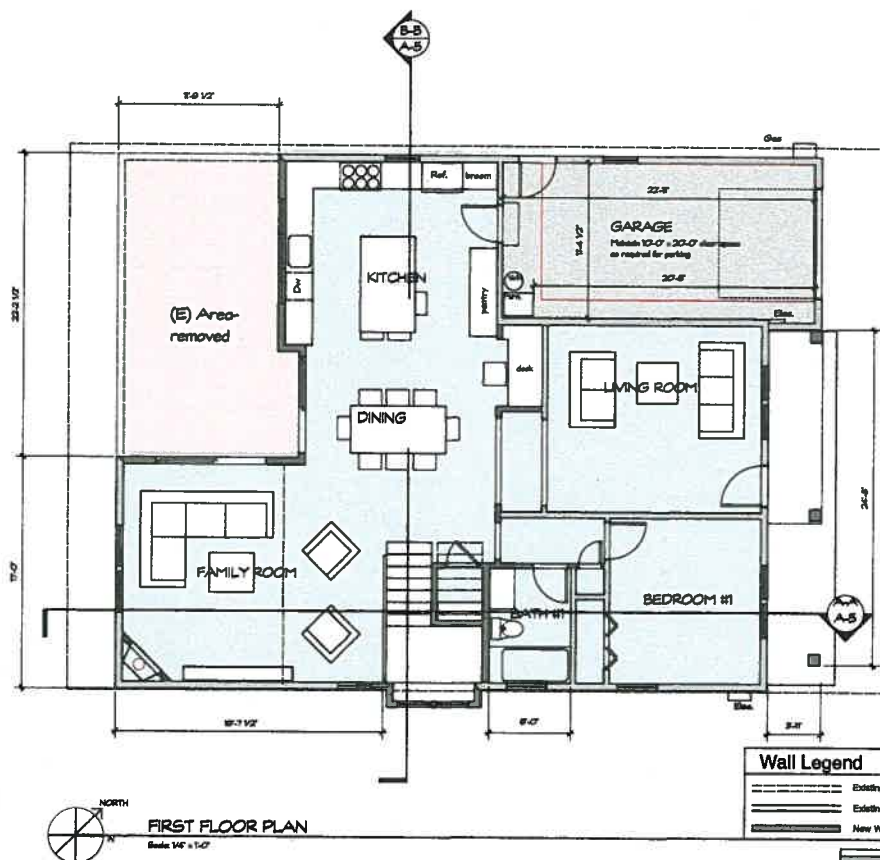
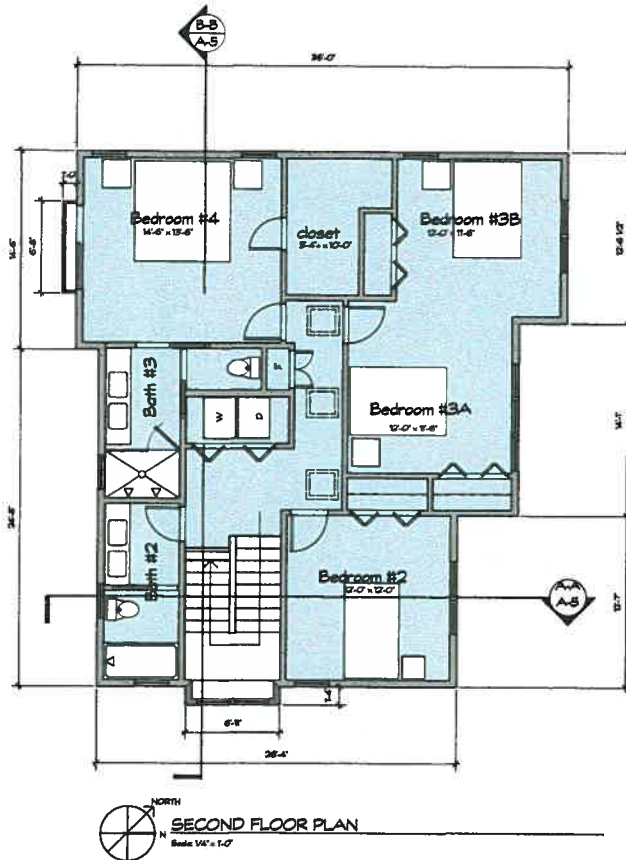
D3

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BUILDING

04



**Wall Legend**

- Existing Wall to be Removed
- Existing Wall to Remain
- New Wall to be constructed



Zak Johnson Architects  
900 College Avenue  
Menlo Park, CA 94025  
650.329.9767

License Number  
C-25546  
Exp. 03/17  
State of California

Clark Young Residence  
435 University Drive  
Menlo Park, CA 94025

Sheet Title  
First Floor Plan  
Second Floor Plan

Date  
7 December, 2015

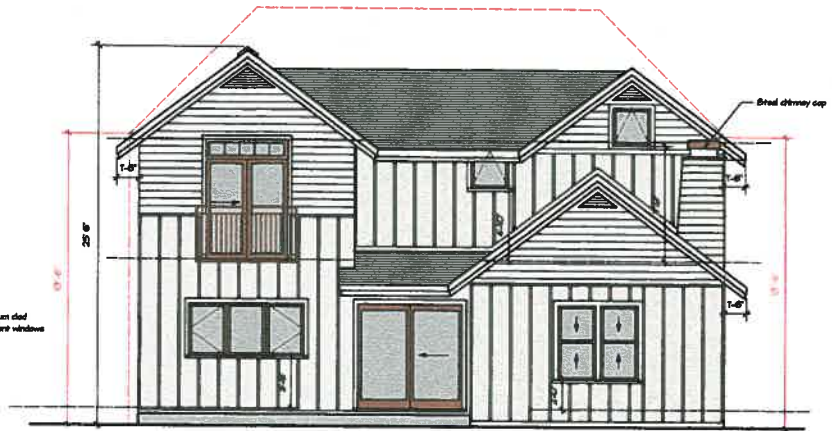
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As Noted

A-3



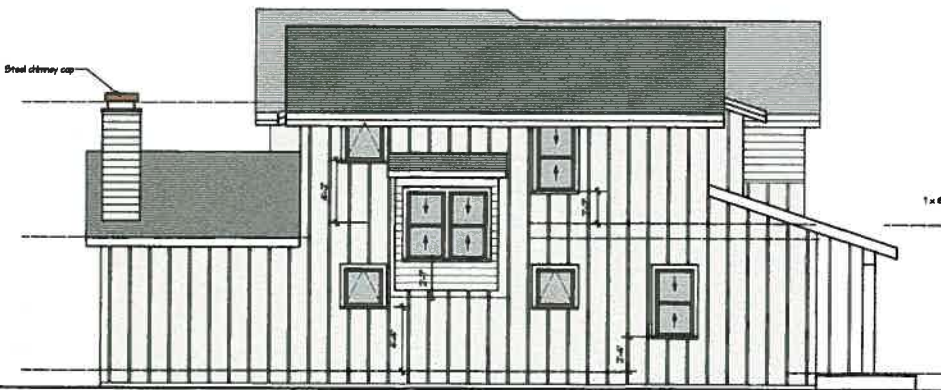
**NORTH ELEVATION**

Scale: 1/4" = 1'-0"



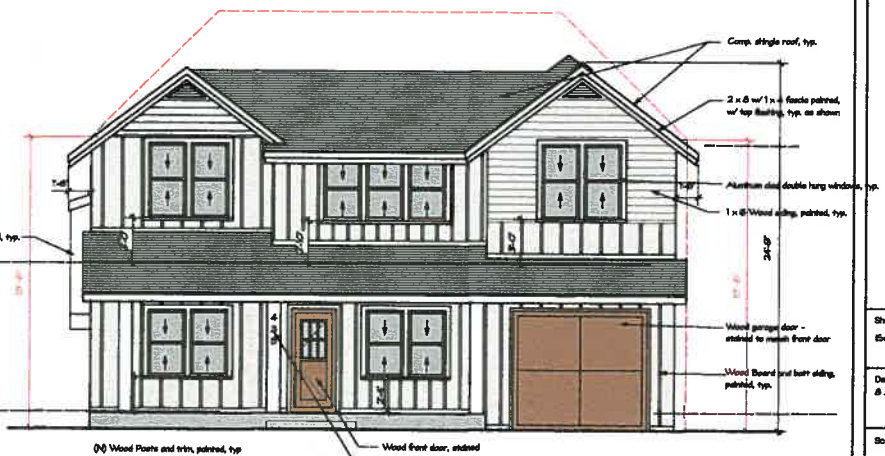
**WEST ELEVATION**

Scale: 1/4" = 1'-0"



**SOUTH ELEVATION**

Scale: 1/4" = 1'-0"



**EAST ELEVATION**

Scale: 1/4" = 1'-0"

Zak Johnson Architects  
900 College Avenue  
Menlo Park, CA 94025  
650.329.9767

Licensed Architect  
Karen Suzanne Zak  
C-28846  
Exp. 5/31/17  
State of California

Clark Young Residence  
435 University Drive  
Menlo Park, CA 94025

Sheet Title  
Exterior Elevations

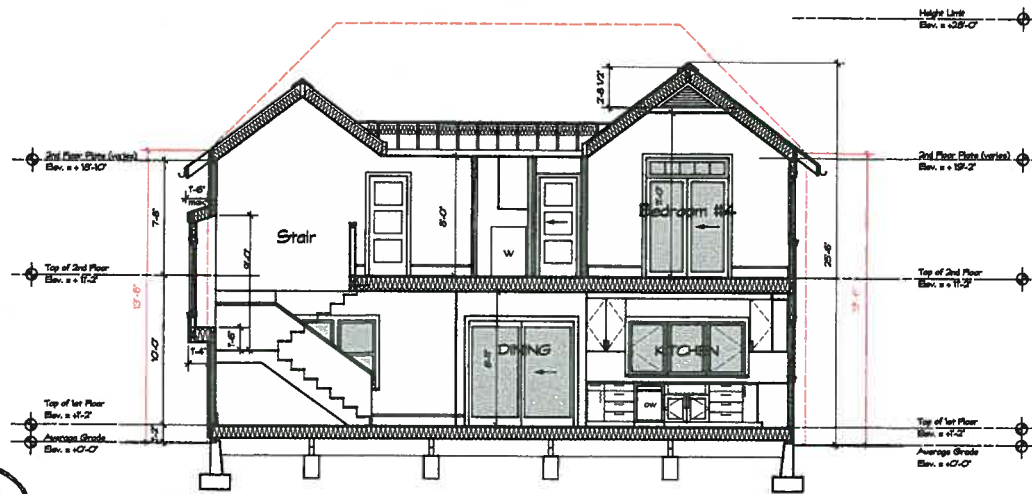
Date  
8 January, 2016

Scale  
As Noted

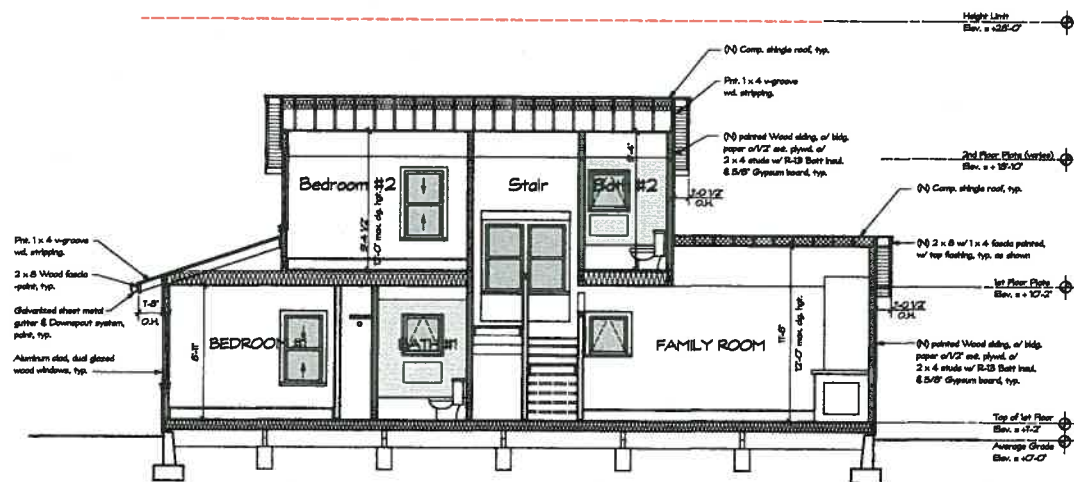
**A-4**



96



**B-B BUILDING SECTION**  
Scale: 1/4" = 1'-0"



**A-A BUILDING SECTION**  
Scale: 1/4" = 1'-0"

Zak Johnson Architects  
900 College Avenue  
Menlo Park, CA 94025  
650.329.9767

Unrecorded Architect  
Keren Buzarekian  
C-25545  
Rev. 1/2017  
State of California

Clark Young Residence  
435 University Drive  
Menlo Park, CA 94025

Sheet Title  
Building Sections

Date  
8 January, 2016

Scale  
As Noted

A-5



900 College Ave - Garage



435 University Drive

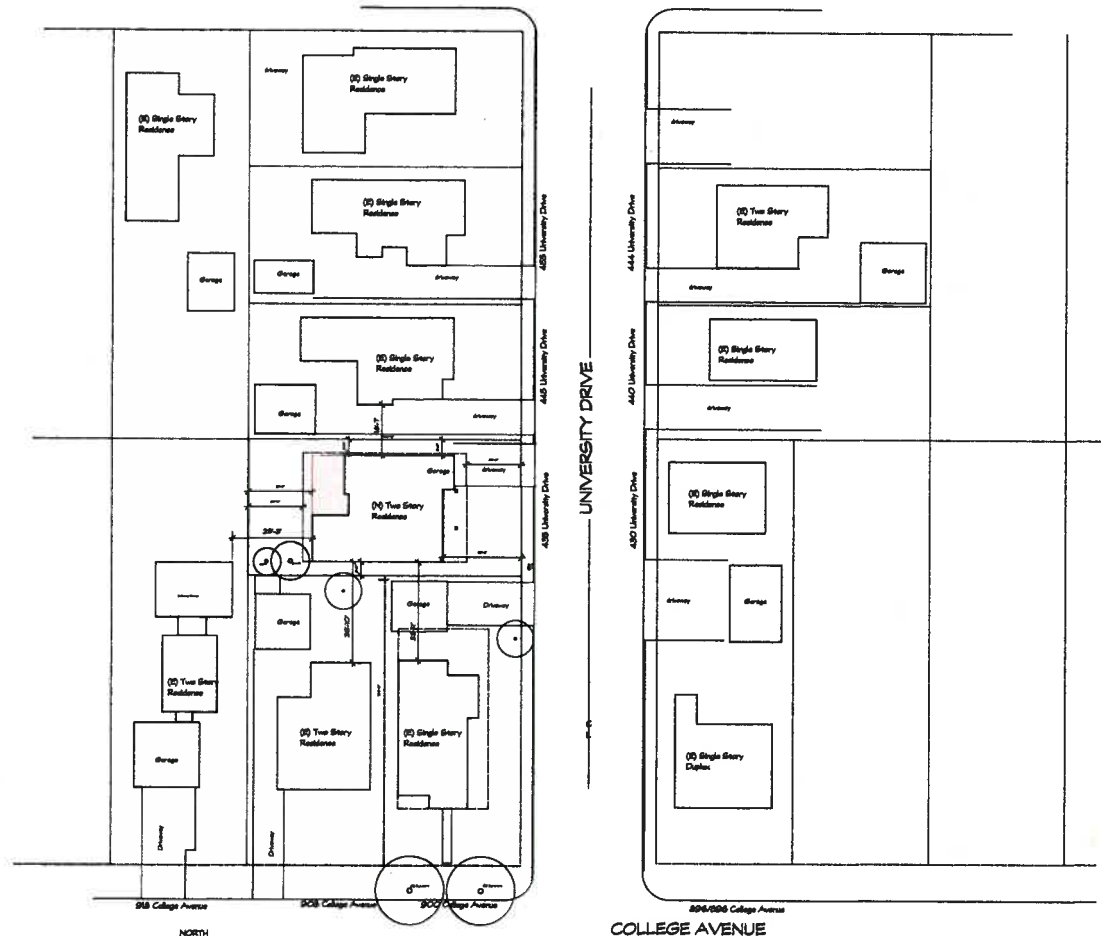


445 University Drive



Streetscape - University Drive  
1/8" = 1'-0"

MIDDLE AVENUE



NORTH  
AREA PLAN  
Scale 1" = 20'-0"

COLLEGE AVENUE



Zak Johnson Architects  
900 College Avenue  
Menlo Park, CA 94025  
650.329.9767



Clark Young Residence  
435 University Drive  
Menlo Park, CA 94025

Sheet Title  
Area Plan  
Streetscape

Date  
8 January, 2016

Scale  
As Noted

A-6

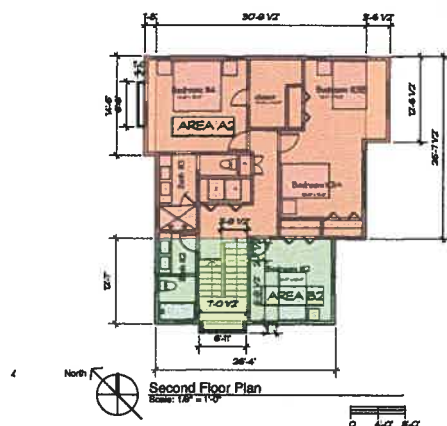
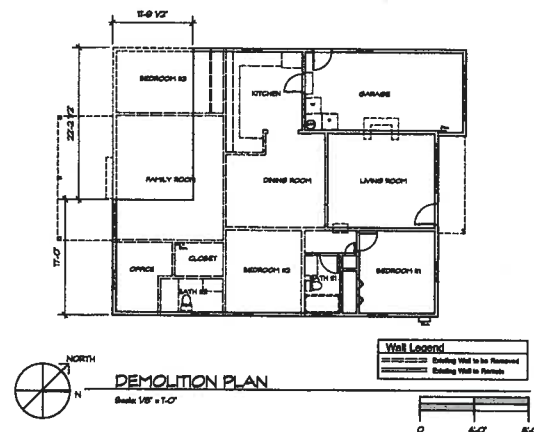
Licensed Architect  
 Kern Business Zoning  
 C-25246  
 Rev. 6/31/17  
 State of California

Sheet Title  
Black Area Diagram

Date  
8 January, 2016

Scale  
As Noted

(A-7)



### AREA CALCULATIONS

**New Second Floor Area:**

$$\text{Area } A_2 = 30-9 \sqrt{2} \times 26-7 \sqrt{2} + 1-8 \times 14-6$$
$$+ 3-6 VT \times 12-6 VT =$$

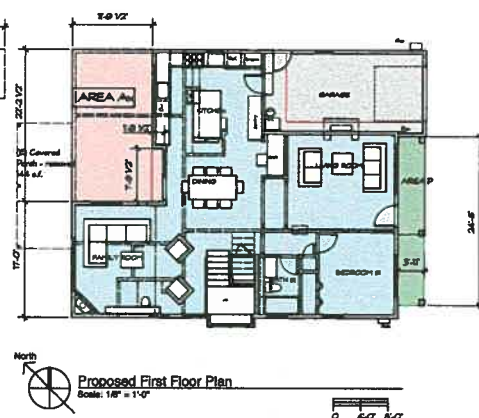
SSA of

$$\text{Area B2} = 26'-4" \times 12'-7" - (7'-0" \text{ V2}' \times 2'-0" \text{ V2}')$$

259.6.6

Proposed 2nd Floor is

1,148.0 a.f.



## AREA CALCULATIONS

**First Floor Area Removed:**

$$\text{Area } A_2 = \pi \cdot 9 \text{ VZ} \times 22 \cdot 2 \text{ VZ} + \pi \cdot 9 \text{ VZ} \times 7 \cdot 9 \text{ VZ} = 275.9 \text{ m}^2$$

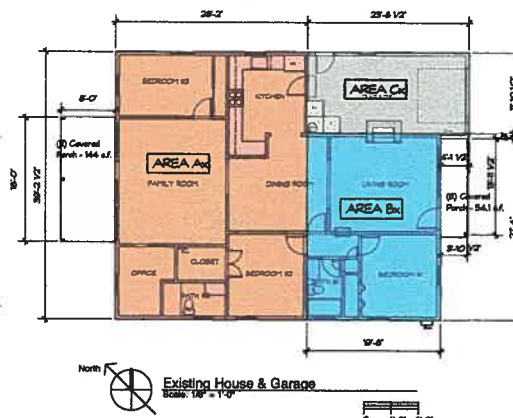
Revised 1st Floor = 1,642.0 - 275.9 = 1,366.1 a.f.

1366.1 hf.

### Let Convergent Addition

New Front Porch Area  $P = 9\text{'-}11" \times 24\text{'-}6" =$

95.5%



## AREA CALCULATIONS

### Exiting House Area

Arm Ax = 28'-2" x 39'-2 1/2" =

11044.e2

Area Bx = 19'-5" x 27'-4" =

537.6 a.f.

Existing House =

Editing Garage Area:

**Abstract**

## Area Cx = 23-5 1/2"

Total Error

Total Exditing 1926.6 af

(E) Let  $C$  denote

(E) Front Porch: 8'-0"  $\frac{1}{2}$ " x 13'-1  $\frac{1}{2}$ "

546

(E) Shed =  $8-1\frac{1}{2} \times 7-2\frac{1}{2}$  ft.

59.6 a.f.

(5) Back Porch = 8'-0" x 18'-0" =

144061



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DEC 07 2015

CITY OF MENLO PARK  
BUILDING

## Project Description

435 University Drive  
Menlo Park, CA 94025

We have submitted the required application materials to the City of Menlo Park Planning Department to construct a second story addition and first floor remodel at 435 University Drive to be reviewed for a Use Permit.

We are proposing to remove a small portion of the existing single story ranch residence and to build a new second story over the existing remaining house and single car garage. The new home is a two-story contemporary farmhouse style with shed and gabled dormers. Allied Arts is an eclectic neighborhood with original craftsman bungalows mixed with mid-century ranches and new larger two story homes. The two-story California contemporary farmhouse style works well in the Allied Arts neighborhood and complements the adjacent houses because it breaks the massing and volume of the house into smaller more proportional features and fits well under the daylight plane; which is difficult to do given the narrow dimensions of the site.

The new structure will place the second floor above the middle of the house, providing plenty of relief to the neighboring properties and minimizing the appearance of too much bulk and volume. It is our intention to use a painted wood board and batt siding system with horizontal wood siding accents and aluminum clad wood windows. By creating a two-story home, we minimize the footprint on the site and open up space for landscaping and greenery.

Dr. Justin Young & Dr. Melissa Clark reached out and communicated with the adjacent neighbors, the following is a summary of the discussions:

Karlis Felzenberg and Ariana Beil 918 College Ave - They had no objections or concerns. We agreed with them that landscape screening would be desirable (at the south/east) corner of our shared fence, and that we would discuss it further once the house is framed. (We met with them in person on 9/18/15 and showed them our drawings and 3-D model). We also emailed them the use permit materials on 10/24/15 and we discussed the future landscape screening via email.) Currently, there is bamboo planted on the 918 side of the fence and will be maintained by the Beil/Felzenbergs to not grow too tall and block the sky view for 435 University.

Mary Castellucci 445 University - We emailed her the use permit materials on 10/24/15. We met her in person on 11/8/15 and showed her the 3-D model. She had no objections or concerns.

The Burts 908 College Ave - We emailed the use permit materials on 10/24/15, and spoke by phone with them on 11/3/15. Karen Zak met with John & Becky on 11/13/15 and discussed the project and window locations. The Burts had no objections and we discussed the need to maintain the trees and privet that currently exist on the Burts' side of the fence. Additionally, the fence is about 10-12" onto the Clark Young property so there is not room to add any additional screening unless the fence is rebuilt. Everyone agreed that they are happy with the current status quo.

(E1)

Karen Zak & Gary Waymire 900 College Ave - Karen is our architect and is delighted with our project. We will discuss the shared fence and some landscape screening during the course of construction and do not need guidance from the planning commission.

By carefully studying the surrounding neighborhood and giving thoughtful attention to the character of the house, we feel we have designed a successful project for your consideration.

Sincerely,

*karen zak*

Karen Zak, Architect  
Zak Johnson Architects  
900 College Avenue  
Menlo Park, CA 94025



## STAFF REPORT

### Planning Commission

**Meeting Date:**

**2/22/2016**

**Staff Report Number:**

**16-014-PC**

**Public Hearing:**

**Use Permit/Eugene Sakai/311 O'Keefe Street**

### Recommendation

Staff recommends that the Planning Commission approve the request for a use permit to demolish an existing single-story residence and construct a new two-story residence on a substandard lot with respect to lot width in the R-1-U (Single Family Urban Residential) zoning district, at 311 O'Keefe Street. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject property is located at 311 O'Keefe Street, on the south side of O'Keefe Street between Laurel Avenue and Regal Court, in the Willows neighborhood. A location map is included as Attachment B. The subject property is surrounded by single-family residences that are primarily single-story, although two-story residences can also be found along O'Keefe Street and throughout the neighborhood. Older residences in the neighborhood are generally one story in height, while newer residences are typically two stories in height. Single-story residences in the neighborhood tend to have a ranch or bungalow architectural style, while two-story residences have a variety of styles including ranch and craftsman. Adjacent properties are also single-family residences in the R-1-U (Single Family Urban) district, and the nearby Willow Oaks Elementary School to the southwest of the site is in the P-F (Public Facilities) district.

### Analysis

#### *Project description*

The subject property is currently occupied by a single-story residence with an attached one-car garage that is nonconforming with regard to the right side setback. The applicant is proposing to demolish the existing residence and construct a new two-story, single-family residence with a one-car attached garage and one-car uncovered parking space. The subject lot is substandard with regard to lot width, with a lot width of 53 feet where 65 feet is required. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would have a floor area of 2,900.8 square feet where 2,904.2 square feet is the allowable floor area limit (FAL), and a building coverage of 30.7 percent where 35 is the maximum permitted. The residence would have four bedrooms and three-and-a-half bathrooms, with one bedroom and one-and-a-half bathrooms on the first floor, and three bedrooms and two bathrooms on the second floor. The second floor balcony in the rear would be in compliance with balcony setback requirements. An outdoor kitchen is proposed in the covered rear patio area. The residence would have an overall height of 24 feet, 10 inches, which is below the maximum allowable height of 28 feet. The proposal would be in compliance with daylight plane requirements.

### ***Design and materials***

The proposed residence is in the modern farmhouse style, and would feature standing seam metal roofs in gable and hip roof forms. The wall cladding would be a cement fiber board and batten siding throughout most of the structure, with a small section of smooth cement plaster to accentuate the front entry. Wood entry and garage doors are proposed in the front, and metal balcony railing and trellises are proposed in the rear. The parking layout, featuring a one-car attached garage and an uncovered space at the front, would help ensure that the parking features would not dominate the frontage of this relatively narrow parcel. The uncovered space would be located outside of the front setback, and would not obstruct the garage space.

The second floor would be set in along the front and rear elevations to minimize the perception of building massing. Deep insets on the left and right sides towards the center of the residence would create two small courtyards. While there are some unbroken first- and second-story walls on the left and right side elevations, these walls are broken up by the proposed pop-outs and insets, and do not extend the length of the building.

The proposed windows would be wood-clad. Although the project proposes a two-story residence, the applicant has considered the privacy of their immediate neighbors. Second story windows along the side elevations are generally minimized, with higher sill heights to promote privacy. While the left elevation features a clerestory staircase window, this window would have a setback of approximately 19 feet, and the applicant is proposing to plant a tree in the courtyard in front of this window to help preserve privacy. Additionally, skylights are proposed to promote privacy while providing access to natural light.

Staff believes that the materials, scale, and design of the proposed residence would be compatible with the surrounding neighborhood.

### ***Trees and landscaping***

There are 11 trees on or near the project site, including five heritage coast live oaks. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of these trees. As part of the initial project review, the arborist report was enhanced with additional analysis and detail. Exploratory trenching was performed to determine the potential impacts to heritage coast live oak (tree #4) in the left side yard. The footprint for the family room has been redesigned to incorporate an inset wall and a pier and grade beam foundation in order to minimize root loss to this oak tree. Recommended tree protection measures, including specific measures to ensure the protection of tree #4, would be ensured through recommended condition 3g.

### ***Flood zone***

The subject property is located within the "AE" zone established by the Federal Emergency Management Agency (FEMA). Within this zone, flood proofing techniques are required for new construction and substantial improvements of existing structures. Stated in general terms, for the proposed foundation type, the top of the slab foundation for living areas must be built at or above the base flood elevation for this site.

Building sections on sheets A5.0 to A5.2 in the plan set show the base flood elevation (30.40 feet) in relation to the existing average natural grade (approximately 30.41 feet) and the finished floor (31.11 feet). The Public Works Department has reviewed and tentatively approved the proposal for compliance with FEMA regulations.

### **Correspondence**

As part of the project description letter (Attachment E), the applicant has provided a summary of their neighbor outreach efforts and submitted correspondence from four neighbors, three of which are adjacent to the subject site, who have expressed that they have no objections to the proposed project. Staff has not received any other items of correspondence on the proposed project.

### **Conclusion**

Staff believes the scale, materials, and design of the proposed residence are compatible with the neighborhood. Although the project would be a two-story residence, the applicant has set the second floor in on the front and rear elevations and incorporated pop-outs and insets to minimize the perception of building massing. Recommended tree preservation measures, including specific measures to protect tree #4, have been incorporated into the project. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans

E. Project Description Letter

F. Arborist Report by Kielty Arborist Services, dated received January 26, 2016

**Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

None

Report prepared by:

Jean Lin, Senior Planner

Report reviewed by:

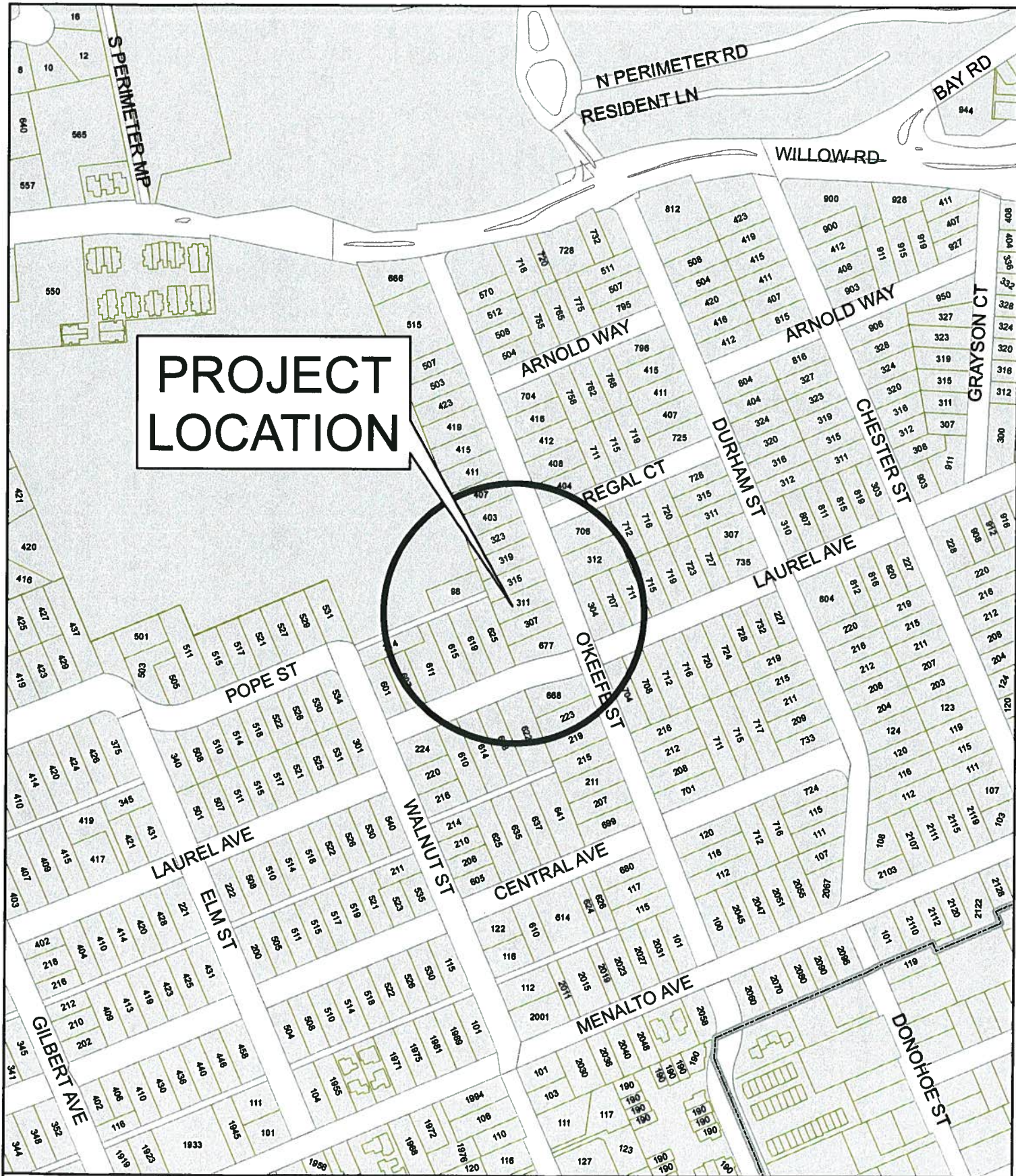
Thomas Rogers, Principal Planner



# 311 O'Keefe Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 311 O'Keefe Street	<b>PROJECT NUMBER:</b> PLN2015-00068	<b>APPLICANT:</b> Eugene Sakai	<b>OWNER:</b> Melanie and John Wagner
<b>REQUEST:</b> Request for a use permit to demolish an existing single-story residence and construct a new two-story residence on a standard lot with respect to lot width in the R-1-U (Single Family Urban Residential) zoning district.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> February 22, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions: <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Studio S<sup>2</sup> Architecture, consisting of 20 plan sheets, dated received on February 16, 2016, and approved by the Planning Commission on February 22, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the recommendations in the arborist report by Kieley Arborist Services revised on January 25, 2016.</li> </ol> </li> </ol>			





# CITY OF MENLO PARK

## LOCATION MAP

### 311 O'KEEFE STREET

B1



DRAWN: TAS CHECKED: JPL DATE: 2/22/16 SCALE: 1" = 300' SHEET: 1



# 311 O'Keefe Street – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	7,417 sf	7,417 sf	7,000 sf min.
Lot width	53 ft.	53 ft.	65 ft. min.
Lot depth	140 ft.	140 ft.	100 ft. min.
Setbacks			
Front	29.5 ft.	25 ft.	20 ft. min.
Rear	42.0 ft.	54 ft.	20 ft. min.
Side (left)	5.5 ft.	7 ft.	5.3 ft. min.
Side (right)	5.5 ft.	4 ft.	5.3 ft. min.
Building coverage	2,278.2 sf	1,907 sf	2,595.9 sf max.
	30.7 %	25.7 %	35 % max.
FAL (Floor Area Limit)	2,900.8 sf	1,718 sf	2,904.2 sf max.
Square footage by floor	1,338.1 sf/1st	1,410 sf/1st	
	1,291.2 sf/2nd	308 sf/garage	
	271.5 sf/garage	189 sf/porch	
	660.0 sf/porches and trellises		
	8.7 sf/fireplace		
Square footage of buildings	3,569.5 sf	1,907 sf	
Building height	24.8 ft.	13 ft.	28 ft. max.
Parking	1 covered/1 uncovered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees				
	Heritage trees	5*	Non-Heritage trees	6**
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0
			New Trees	1
			Total Number of Trees	12

\*Includes three trees on the adjacent left and rear properties.

\*\*Includes one tree on the adjacent right property.

# WAGNER RESIDENCE

## NEW SINGLE FAMILY RESIDENCE



311 O'KEEFE ST, MENLO PARK CA

RECEIVED

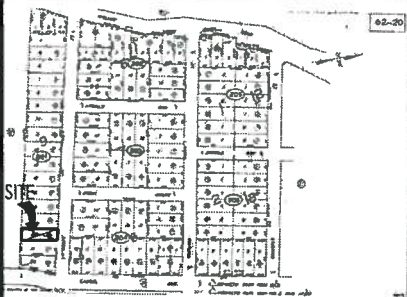
FEB 16 2016

CITY OF MENLO PARK  
BUILDING

### LOCATION MAP



### ASSESSOR'S PARCEL MAP



### SCOPE OF WORK

NEW SINGLE FAMILY CONSTRUCTION TO BE 2 STORY 4 BR, 3 BA HOUSE OF 2029 S.F. LIVING AREA & 2715 S.F. GARAGE AREA TOTALING 2900.9 S.F. ON A TOTAL SITE AREA OF 7417 S.F. EXISTING HOME TO BE DEMOLISHED.

### PROJECT SUMMARY

Assessor's Parcel No.	062-20-11-00
Zoning:	RTU
Justification:	CITY OF MENLO PARK
Type of Construction:	TYPE V-B, SPRINKLED
Building Occ. Group:	R-3/U (SINGLE FAMILY RESIDENTIAL)
Required Property Setbacks (1st / 2nd):	
Front	20'-0"
Rear	20'-0"
Right Side	5'-4"
Left Side	5'-4"
Proposed Property Setbacks (1st / 2nd):	
Front	29'-6 1/2"
Rear	42'-0 1/2"
Right Side	5'-8 1/2"
Left Side	5'-8 1/2"
Max. Allowed Building Height:	28'
Proposed Building Height:	24'-0"
Lot Area	7,417.0
Max. Floor Area Limit Allowed	2,900.9
Total New Living Area	2,029.9
Total New Garage Area	2,715.0
Total Proposed Floor Area	2,900.9
Max. 2nd Floor Floor Area Limit	1,400.0
Proposed 2nd Floor Floor Area	1,291.2
Max. Building Coverage Allowed (BLC)	2,994.0
Proposed Building Coverage Ratio (BLC)	2,278.0

### DEFERRED SUBMITTALS

1. FIRE SPRINKLERS IN ACCORDANCE WITH NPA 13D AND STATE AND LOCAL REQUIREMENTS-NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING: THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"
2. ROOF TRUSSES-TRUSS DESIGN PACKAGE AND ENGINEER OF RECORD REVIEW LETTER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL
3. STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL-NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D
4. CONSTRUCTION STAGING PLAN
5. CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.406.2

### REQUIRED SUBMITTALS TO ARCHITECT

THE FOLLOWING ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL/REVIEW.

1. WINDOW/DOOR PACKAGE
2. CABINET SHOP DRAWINGS AND FINISH SAMPLES
3. MECHANICAL DUCTING PLAN

NOTE: SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIRED SUBMITTALS FOR SHOP DRAWINGS, ETC.

### APPLICABLE CODES

APPLICABLE CODES (with City of Menlo Park Amendments)  
 2013 CALIFORNIA ADMINISTRATIVE CODE, CAC  
 2013 CALIFORNIA BUILDING CODE, CBC  
 2013 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC  
 2013 CALIFORNIA ELECTRICAL CODE, CEC  
 2013 CALIFORNIA MECHANICAL CODE, CMAC  
 2013 CALIFORNIA PLUMBING CODE, CPC  
 2013 CALIFORNIA ENERGY CODE, CEC  
 2013 CALIFORNIA FIRE CODE, CFC  
 2013 CALIFORNIA GREEN BUILDING STANDARDS  
 2013 CALIFORNIA REFERENCED STANDARDS

### SHEET INDEX

- GENERAL
- A0.0 COVER SHEET
  - A0.2 FLOOR AREA CALCULATION SHEET
  - A0.3 EXTERIOR PERSPECTIVES
  - A0.4 DAYLIGHT PLAN
  - A0.5 AREA PLAN
  - A0.6 STREETSCAPES
- CIVIL
- C.0 BOUNDARY & TOPOGRAPHIC SURVEY
- ARCHITECTURAL
- A1.0 SITE PLAN & DEMO SITE PLAN
  - A2.0 DEMO PLAN
  - A2.1a 1ST FLOOR PLAN
  - A2.1b 2ND FLOOR PLAN
  - A2.2a LOWER ROOF PLAN
  - A2.2b UPPER ROOF PLAN
  - A3.0 EXTERIOR ELEVATIONS
  - A3.1 EXTERIOR ELEVATIONS
  - A3.2 EXTERIOR ELEVATIONS
  - A3.3 EXISTING PHOTOS
  - A5.0 SECTIONS
  - A5.1 SECTIONS
  - A5.2 SECTIONS

### PROJECT TEAM

**OWNER**  
 Melanie & John Wagner  
 311 O'Keefe St  
 Menlo Park, CA  
 ph: (650) 473-0545  
 email: jwagner1800@gmail.com

**ARCHITECT**  
 Studio 5 Squared Architecture, Inc.  
 19 North Second Street, Ste. 205  
 San Jose, CA 95113  
 attn: Eugene H. Sokol AIA, LEED AP  
 ph: 408 998 0983  
 fx: 408 404 0144  
 email: Esokol@Studio5sarch.com

**CIVIL ENGINEER**  
 WEC & Associates  
 2625 Middlefield Road, #658  
 Palo Alto, CA 94306  
 attn: Ed Wu  
 fx: 650 823 6466  
 email: ed@weceng.com



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 F: (408) 404-0144

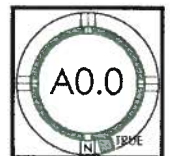
WAGNER RESIDENCE  
 NEW SINGLE FAMILY RESIDENCE

311 O'KEEFE ST, MENLO PARK CA  
 MELANIE AND JOHN WAGNER

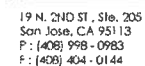


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10/16/2015	USE PERMIT SUBMITTAL	SEP	
12/07/2015	USE PERMIT SUBMITTAL	DJ	
02/01/2016	USE PERMIT SUBMITTAL	DJ	

COVER SHEET



STUDIO 5 SQUARED ARCHITECTURE, INC.



**WAGNER RESIDENCE**  
NEW SINGLE FAMILY RESIDENCE

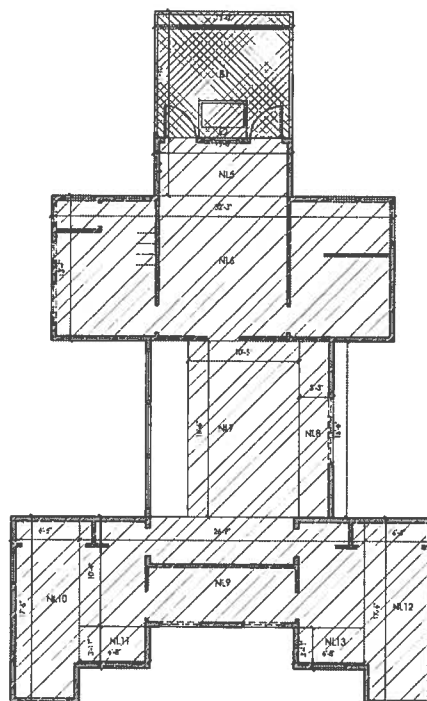
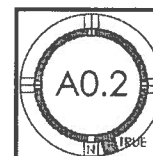
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MELANIE AND JOHN WAGNER



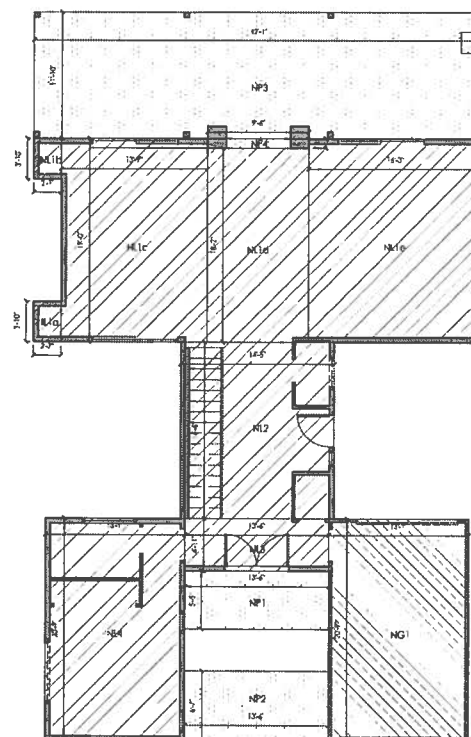
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	10.16.2015	USE PERMIT SUBMITTAL	SJR	
	12.07.2015	USE PERMIT SUBMITTAL	DJ	
	02.01.2016	USE PERMIT SUBMITTAL	DJ	

FLOOR  
AREA  
CALCS







FLOOR AREA CALCS-SECOND FLOOR

3/16"



FLOOR AREA CALCS-FIRST FLOOR

2014

-  LIVING FLOOR AREA
-  GARAGE AREA
-  BALCONY AREA
-  PORCH AREA

### FLOOR AREA LEGEND

<u>New First Round Update Areas</u>		
Location	Approximate Old analysis (1991)	Area
HL1a	$2.7 \times 10^{-2}$	26
HL1b	$2.7 \times 10^{-2}$	26
HL1c	$1.5 \times 10^{-2}$	26
HL1d	$7.6 \times 10^{-2}$	30
HL1e	$1.5 \times 10^{-2}$	26
HL2	$1.4 \times 10^{-2}$	35
HL3	$1.9 \times 10^{-2}$	41
HL4	$1.3 \times 10^{-2}$	27

New Second Floor Utility Area		
NH.9	1'-0" x 1'-0"	7
NH.6	3'-0" x 1'-0"	43
NH.7	10'-0" x 1'-0"	12
NH.8	3'-0" x 1'-0"	5
NH.1	20'-0" x 10'-0"	279
NH.10	6'-0" x 1'-0"	11
NH.11	6'-0" x 1'-0"	11
NH.12	6'-0" x 1'-0"	11
NH.13	6'-0" x 1'-0"	11
NH.13 Total		199

New Garage Floor Area		
WG1	13'1" x 20'2"	27
WG2	Total	27

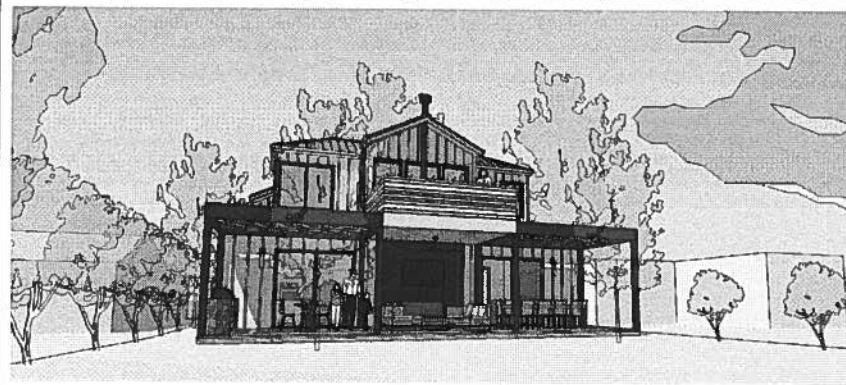
New Earth Area (Not Counted towards LAL)		
NP1	13'-6" x 5'-3"	71
NP2	13'-6" x 6'-3"	84
NP3	42'-1" x 11'-10"	491
NP4	7'-6" x 11'	

New Safety Sign (Not Covered Under T&U)		
61	12" x 11" 10"	153
<b>Total</b>		<b>153</b>

LA	1st Area	7,117.0	
	Total Area Above Area Limit Allowed	2,904.3	
NPL+NP1+NP2	Total New Above Area	2,129.3	
NP	Total New Beyond	271.4	
NP1+NP2	Total Area Above Limit Processed	2,900.8	(OK)
	Total Area Above Limit Allowed	1,400.0	
NPL2	Processed End Area Limit	1,291.3	(OK)
	Area, Building Coverage, Arterial Allowed (28.7)	2,894.0	
BC+NP1+NP2+NP3	Processed Building Coverage, Arterial (28.7)	2,278.3	(OK)

AREA TABULATION

D3



PERSPECTIVE EXTERIOR REAR RIGHT - 4



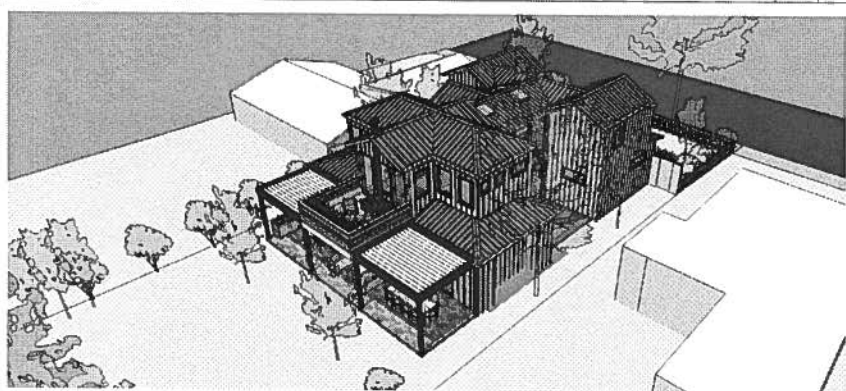
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PERSPECTIVE EXTERIOR REAR LEFT - 5



PERSPECTIVE EXTERIOR FRONT LEFT - 2



PERSPECTIVE EXTERIOR REAR HIGH - 6



PERSPECTIVE EXTERIOR FRONT HIGH - 3



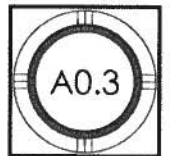
19 N. 2nd St., Ste. 205  
San Jose, CA 95113  
P : (408) 998 - 0983  
F : (408) 440 - 0144

WAGNER RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
311 O'KEEFE ST. MENLO PARK CA 94025  
MELANIE & JOHN WAGNER



DATE	DESCRIPTION	BY	CHK
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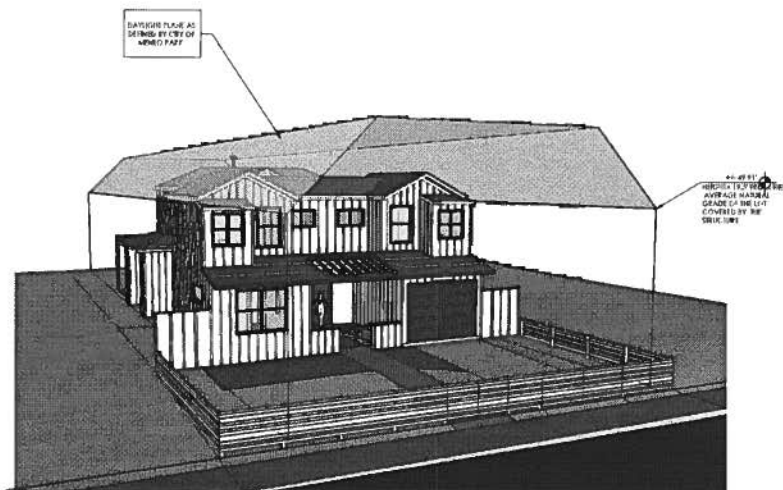
EXTERIOR  
PERSPECTIVES



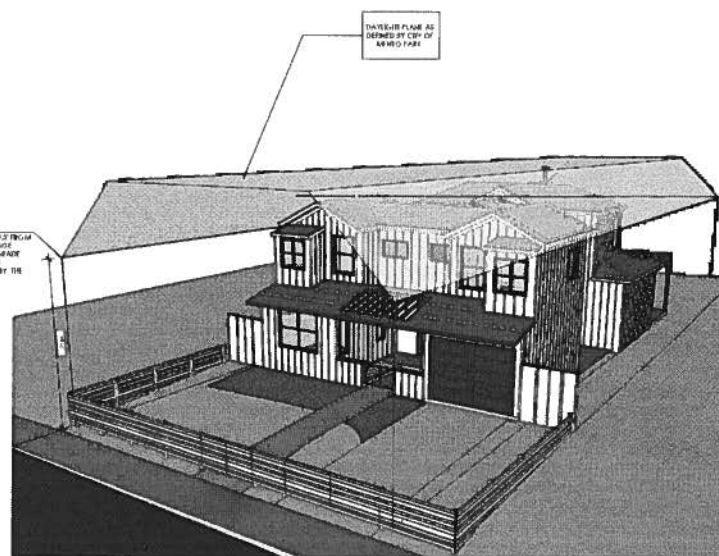
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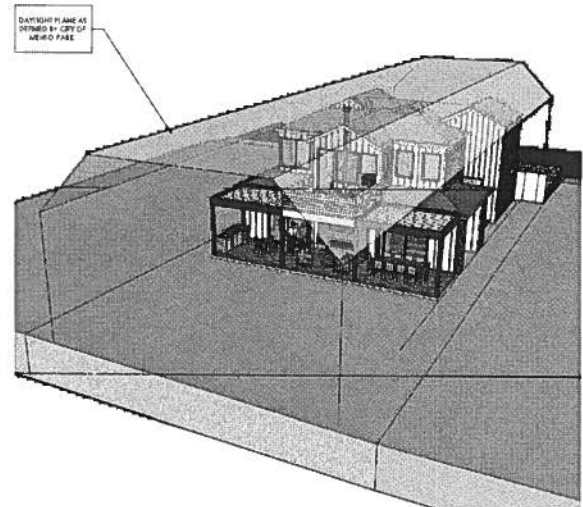
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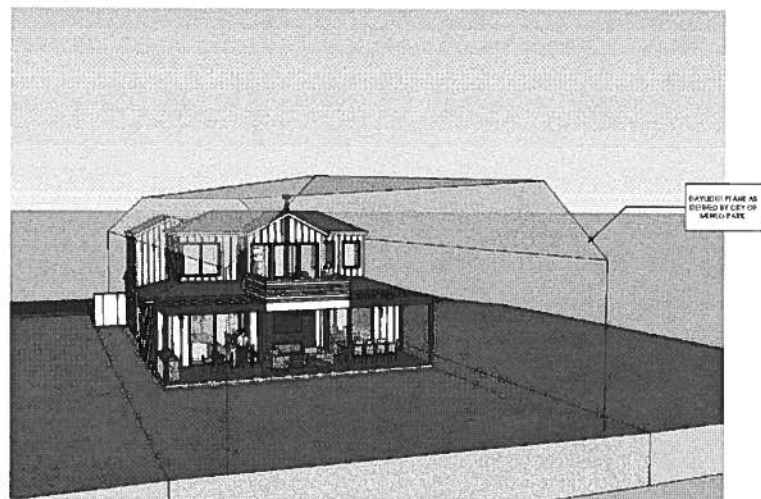
DAYLIGHT PLANE - FRONT-LEFT - 7



DAYLIGHT PLAN - FRONT-RIGHT - 5



DAYLIGHT PLANE - REAR-RIGHT - 8



DAYLIGHT PLANE - REAR-LEFT - 6



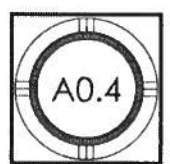
19 N. 2nd St., Ste. 205  
San Jose, CA 95113  
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**WAGNER RESIDENCE**  
NEW SINGLE FAMILY RESIDENCE  
311 O'KEEFE ST. MENLO PARK CA 94025  
MELANIE & JOHN WAGNER



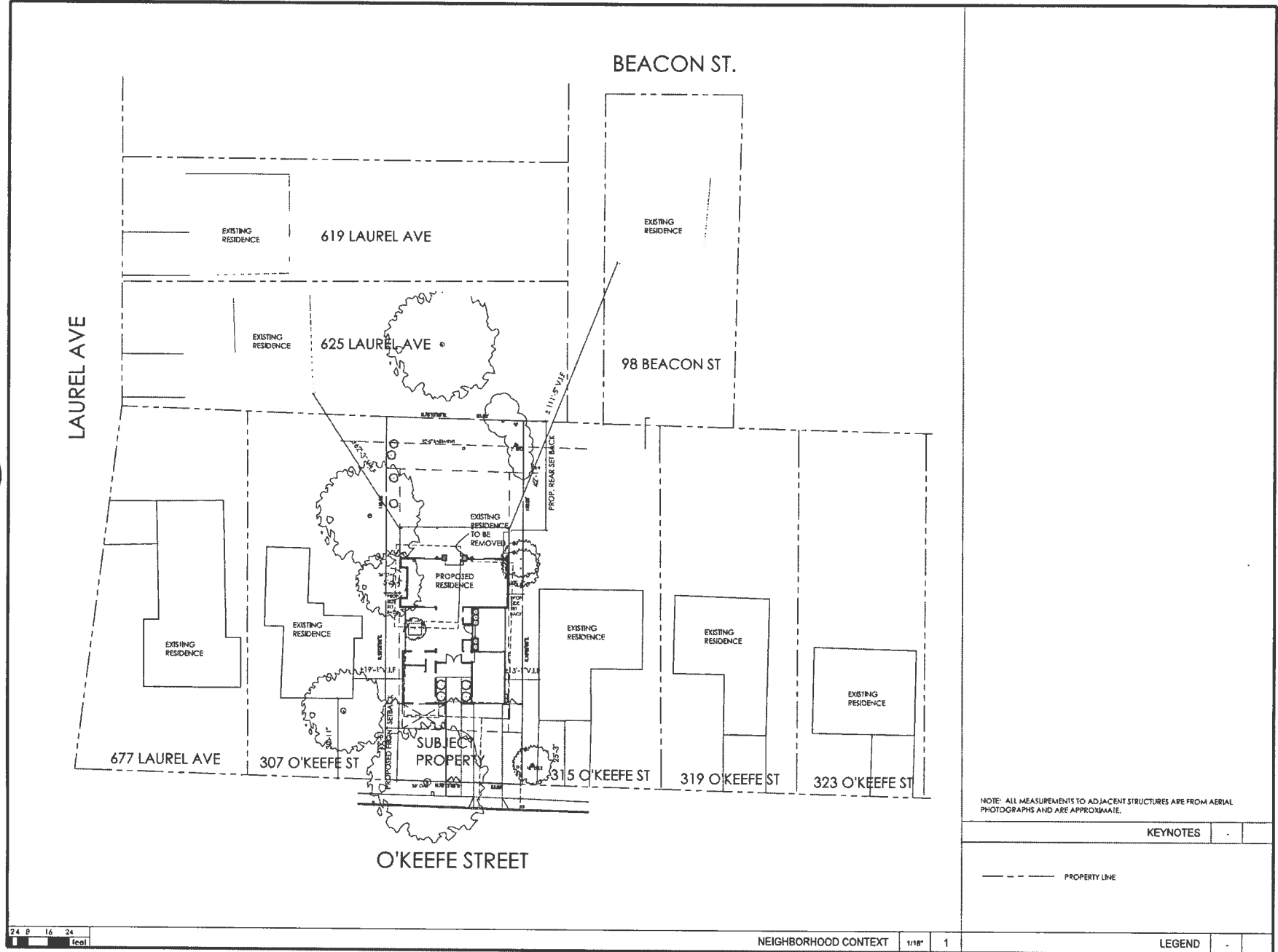
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3	10/27/2014	30% POWER RATED
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5	10/27/2014	50% POWER RATED
6	10/27/2014	60% POWER RATED
7	10/27/2014	70% POWER RATED
8	10/27/2014	80% POWER RATED
9	10/27/2014	90% POWER RATED
10	10/27/2014	100% POWER RATED

DAYLIGHT PLANE



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DS



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F: (408) 404-0144

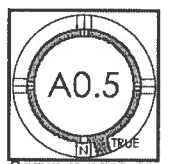
WAGNER RESIDENCE NEW SINGLE FAMILY RESIDENCE
311 O'KEEFE ST. MENLO PARK CA
MELANIE AND JOHN WAGNER



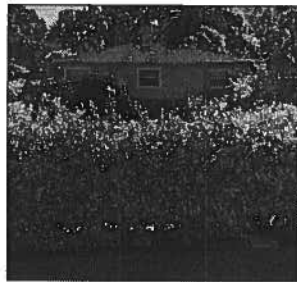
DATE	DESCRIPTION
07/22/2015	USE PERMIT SUBMITTAL
10/14/2015	USE PERMIT RESUBMITTAL
12/07/2015	USE PERMIT RESUBMITTAL
02/01/2016	USE PERMIT RESUBMITTAL

"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"

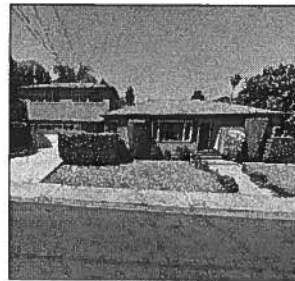
AREA PLAN



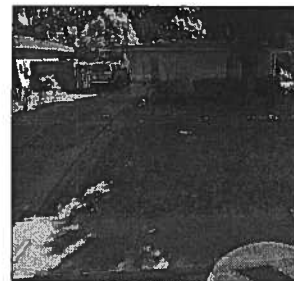
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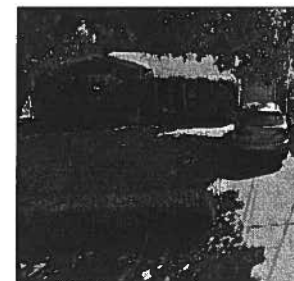
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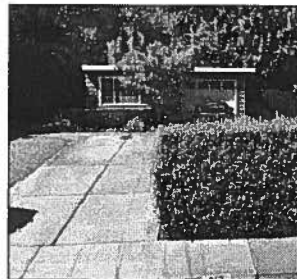
304 O'Keefe St



307 O'Keefe St



311 O'Keefe St  
Subject Property



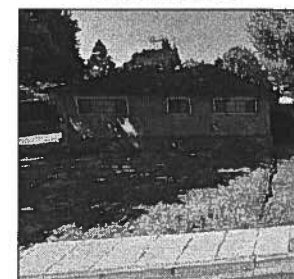
312 O'Keefe St



315 O'Keefe St



319 O'Keefe St



706 Regal Ave



STREETSCAPE ELEVATION



NEIGHBORS

STREETSCAPE IMAGES

"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



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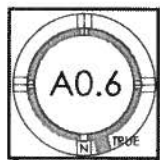
WAGNER RESIDENCE  
NEW SINGLE-FAMILY RESIDENCE

311 O'KEEFE ST, MENLO PARK CA  
MELANIE AND JOHN WAGNER



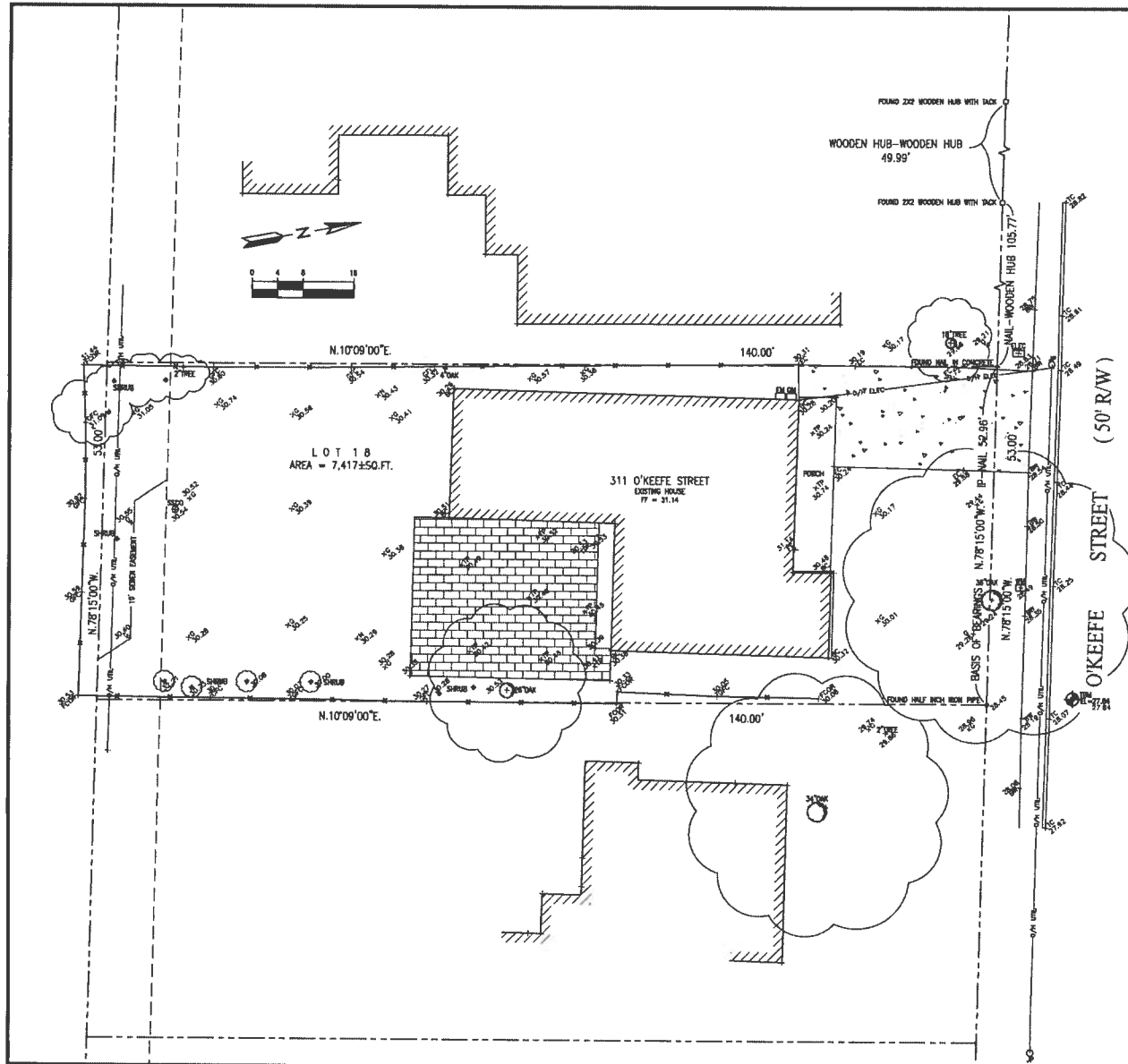
PROJECT NO.	DATE	DESCRIPTION
15-003	07-22-2015	USE PERMIT SUBMITTAL
	11-16-2015	USE PERMIT SUBMITTAL
	12-07-2015	USE PERMIT SUBMITTAL
	02-01-2016	USE PERMIT SUBMITTAL

STREETSCAPES



STUDIO 100 ARCHITECTURE INC.

D7

[illegible]

**BASIS OF BEARING:**  
THE BEARING, N78°15'00"W, OF THE RIGHT  
OF WAY LINE, OF OXLEYE STREET, AS  
SHOWN ON THAT CERTAIN MAP FILED IN THE  
OFFICE OF THE RECORDER OF SAN JACINTO  
COUNTY, STATE OF CALIFORNIA, IN BOOK 1  
OF MAPS AT PAGE 18, WAS USED AS THE  
BASIS OF BEARINGS SHOWN ON THIS MAP.

THE BEARING, N76°15'00"W, OF THE RIGHT OF WAY LINE OF O'KEEFE STREET, AS SHOWN ON 1747 CERRITOS MAP FILED IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, IN BOOK 1 OF MAPS AT PAGE 10, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BASIS OF ELEVATION** ♦

ON X130, ELEV(NGVD25)=29.849,  
ELEV(MGD25)=32.594, MGD25 USED IN  
PLAN

BM X150, ELEV(MVDDB)=29.849,  
ELEV(MWDDB)=32.301, MWDDB USED ON  
PLAN

**UTILITY NOTE:**  
UNDERGROUND UTILITIES SHOWN PER  
SURFACE EVIDENCE AND RECORD MAPS.  
MAY BE DIFFERENT THAN AS SHOWN.  
BEFORE EXCAVATION, CALL UNDERGROUND  
SERVICE ALERT (USA) 1-800-447-2444.

UNDERGROUND UTILITIES SHOWN PER  
SURFACE EVIDENCE AND RECORD MAPS.  
MAY BE DIFFERENT THAN AS SHOWN.  
BEFORE EXCAVATION, CALL UNDERGROUND  
SERVICE ALERT (USA) 1-800-647-2444.

**LEGAL DESCRIPTION:**  
LOT 18, BLOCK 8, MAP REF: BOOK 13  
PAGE 19

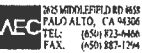
LOT 18, BLOCK 9, MAP REF: BOOK 13  
PAGE 19

**FLOOD ZONE INFO**  
AF33.4 (10/1/2018)

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING
2. THIS SURVEY MEETS CITY OF WENLO PARK'S FIELD BASED BOUNDARY SURVEY REQUIREMENT.

311 O'KEEFE STREET  
MENLO PARK, CA  
APN: 062-201-140

**WEC** 2625 WINDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294



## BOUNDARY & TOPOGRAPHIC

BOUNDARY &  
TOPOGRAPHIC  
SURVEY

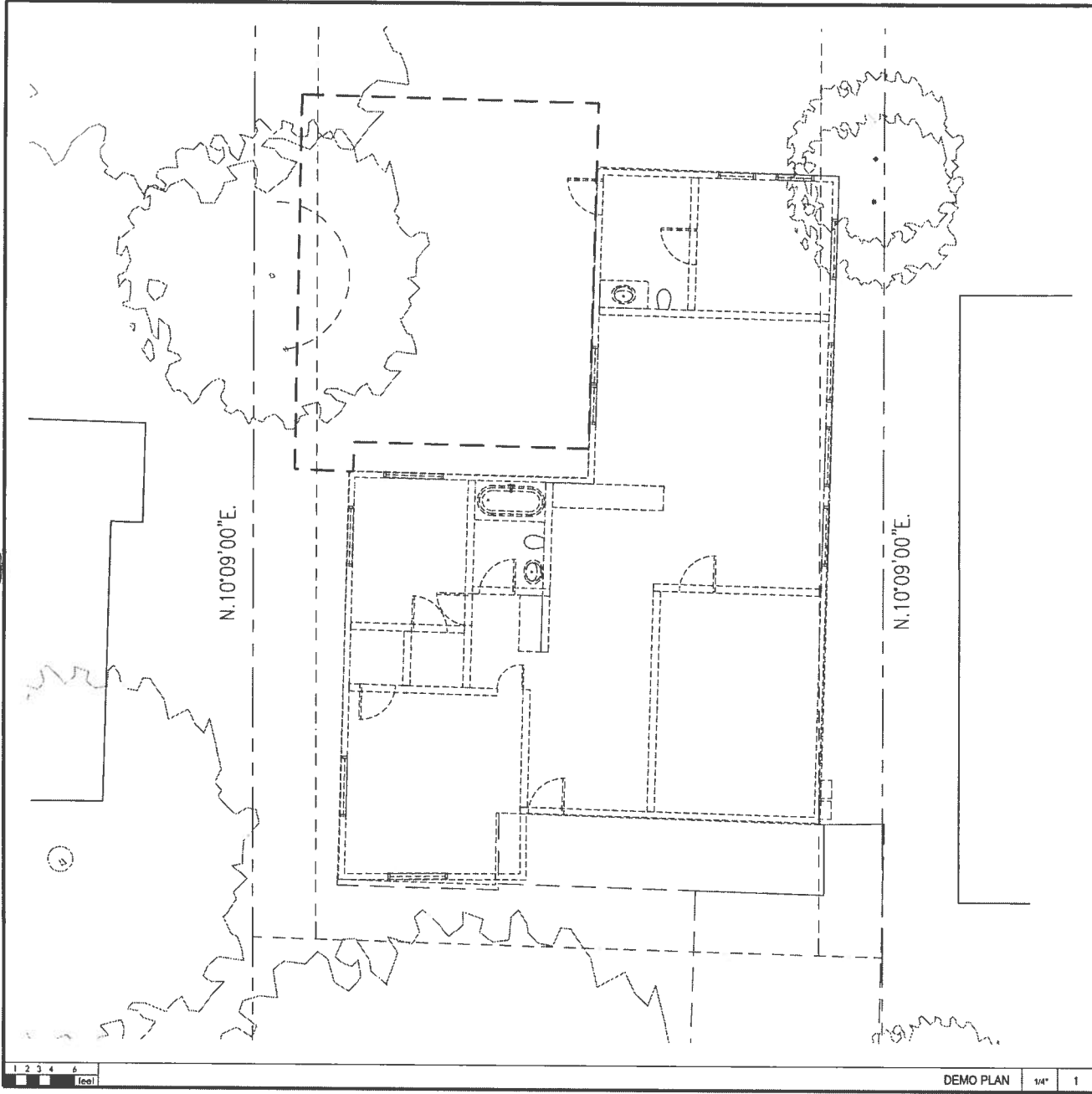
SHEET No. 2.

C.0





09



1 2 3 4 6 feet

DEMO PLAN 1/4" 1

DEMO PLAN KEYNOTES

DEMO PLAN LEGEND

===== EXISTING WALL OR ELEMENT TO BE DEMOLISHED

■ = NUMBER TO KEY NOTE BELOW

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WAGNER RESIDENCE  
NEW SINGLE FAMILY RESIDENCE

311 O'KEEFE ST. MENLO PARK CA

MELANIE AND JOHN WAGNER

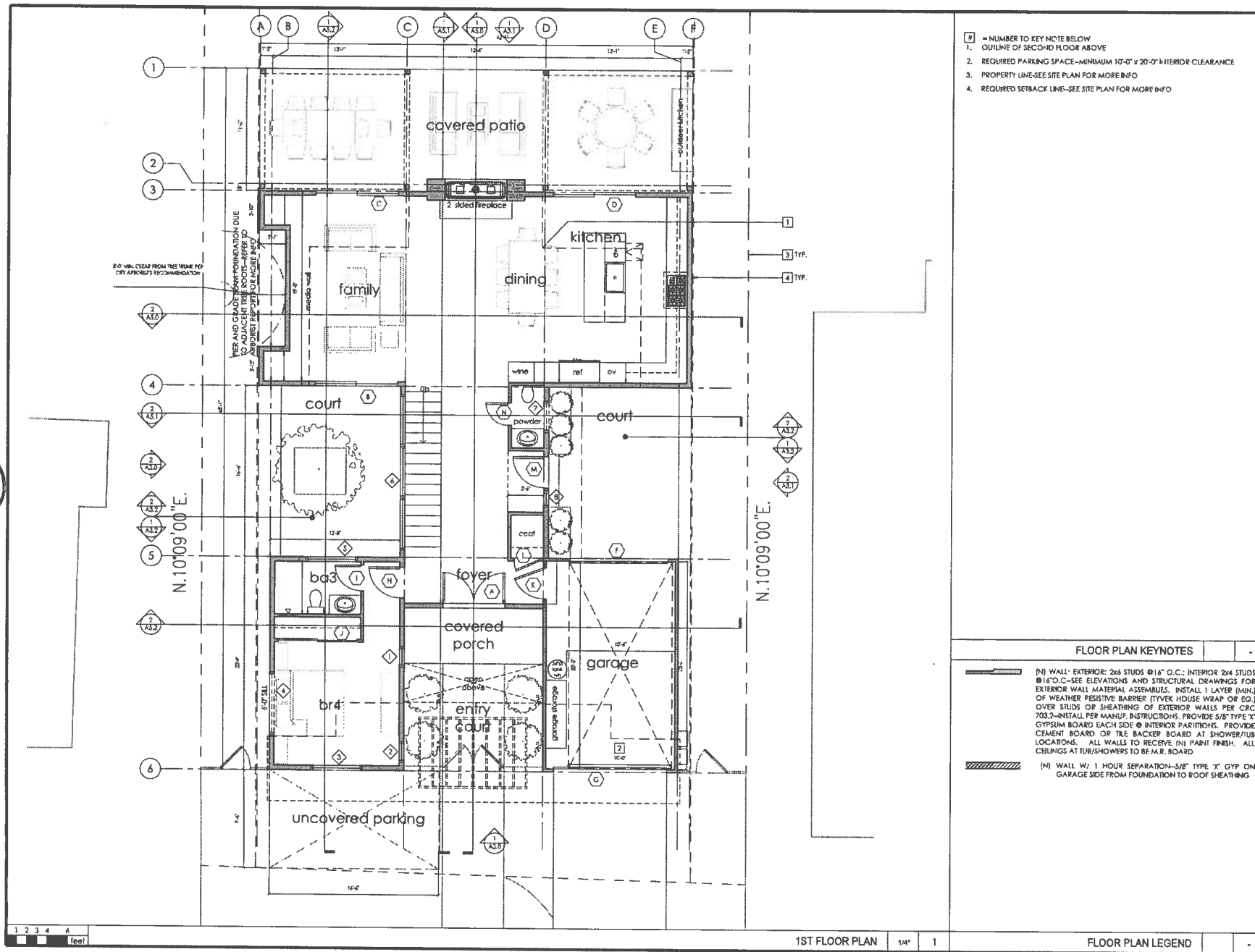


REVISION	DATE	DESCRIPTION
15-001	07.22.2015	USE PERMIT SUBMITTAL
	10.14.2015	USE PERMIT RESUBMITTAL
	12.07.2015	USE PERMIT RESUBMITTAL
	02.01.2016	USE PERMIT RESUBMITTAL

DEMO PLAN



D10



- 8 = NUMBER TO KEY NOTE BELOW  
1. OUTLINE OF SECOND FLOOR ABOVE  
2. REQUIRED PARKING SPACE--MINIMUM 10'-0" x 20'-0" INTERIOR CLEARANCE  
3. PROPERTY LINE--SEE SITE PLAN FOR MORE INFO  
4. REQUIRED SETBACK LINE--SEE SITE PLAN FOR MORE INFO

FLOOR PLAN KEYNOTES

(N) WALL: EXTERIOR: 2x6 STUDS @ 16" O.C.; INTERIOR: 2x4 STUDS @ 16" O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER STUDS OR SHEATHING OF EXTERIOR WALLS PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OF TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD

(N) WALL W/ 1 HOUR SEPARATION--5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING

1ST FLOOR PLAN

1/4"

1

FLOOR PLAN LEGEND



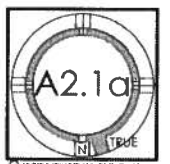
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WAGNER RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
311 O'KEEFE ST. MENLO PARK CA  
MELANIE AND JOHN WAGNER

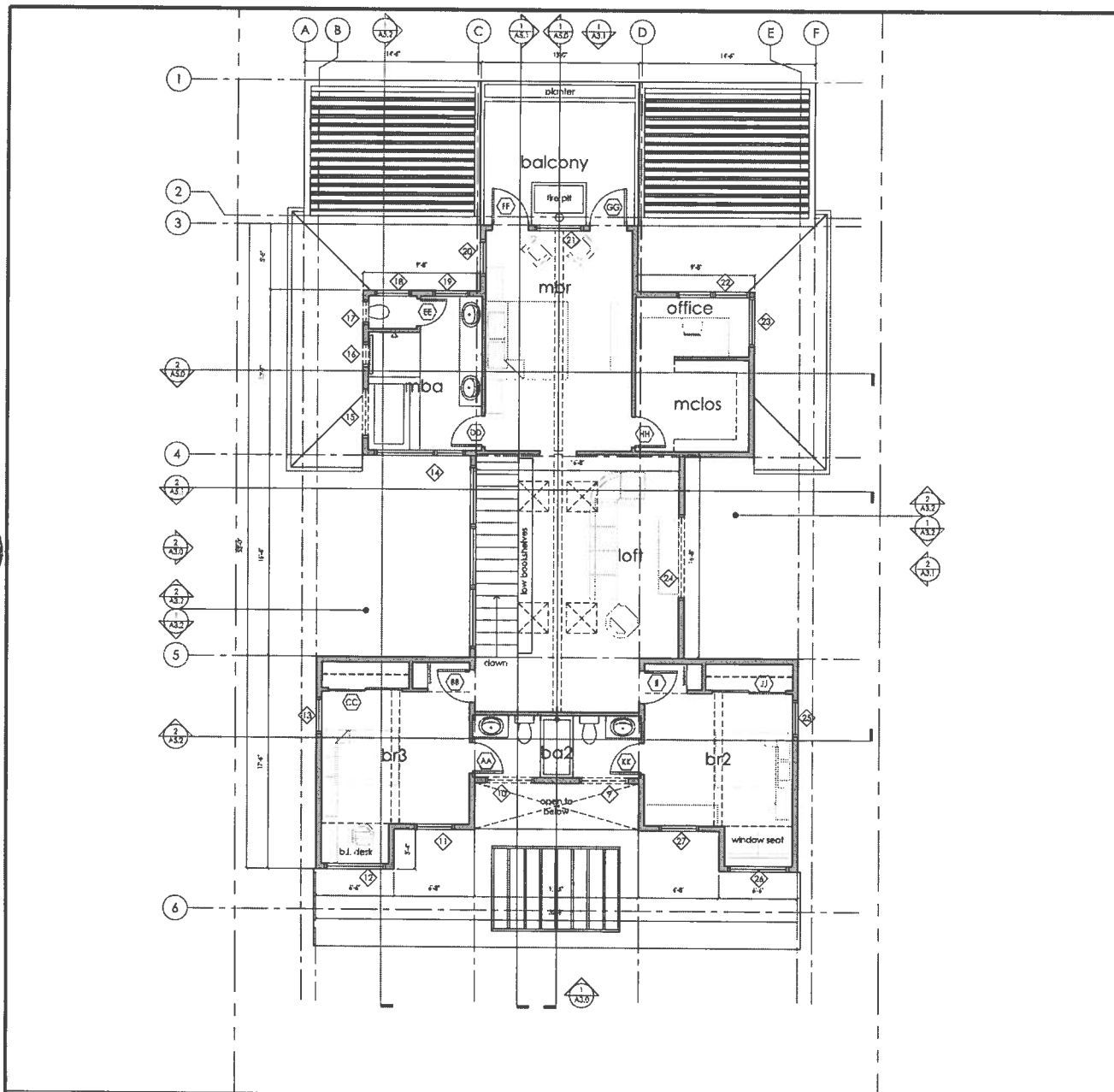


PROJECT NAME	DATE	REVISION	BY	CHK	DATE
WAGNER RESIDENCE	07-22-2015	USE PERMIT SUBMITTAL			
	10-16-2015	USE PERMIT RESUBMITTAL			
	12-07-2015	USE PERMIT RESUBMITTAL			
	02-01-2016	USE PERMIT RESUBMITTAL			

1ST FLOOR PLAN



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- 8 = NUMBER TO KEY NOTE BELOW
1. OUTLINE OF SECOND FLOOR ABOVE
  2. REQUIRED PARKING SPACE—MINIMUM 10'-0" x 20'-0" INTERIOR CLEARANCE
  3. PROPERTY LINE—SEE SITE PLAN FOR MORE INFO
  4. REQUIRED SETBACK LINE—SEE SITE PLAN FOR MORE INFO

## FLOOR PLAN KEYNOTES

N/A WALL- EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16" O.C.-SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL ASSEMBLY. INSTALL 1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYP. HOUSE WRAP OR EQ.) OVER STUDS OF SHEATHING OF EXTERIOR WALLS PER 703.2-INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE "X" GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUBS/SHOWERS TO BE MR. BOARD

(N) WALL W/ 1 HOUR SEPARATION-1-5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING

2ND FLOOR PLAN

1/4"

1

### FLOOR PLAN LEGEND

1



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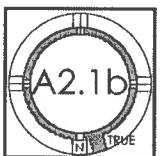
**WAGNER RESIDENCE**  
NEW SINGLE FAMILY RESIDENCE

311 O'KEEFE ST. MENLO PARK CA

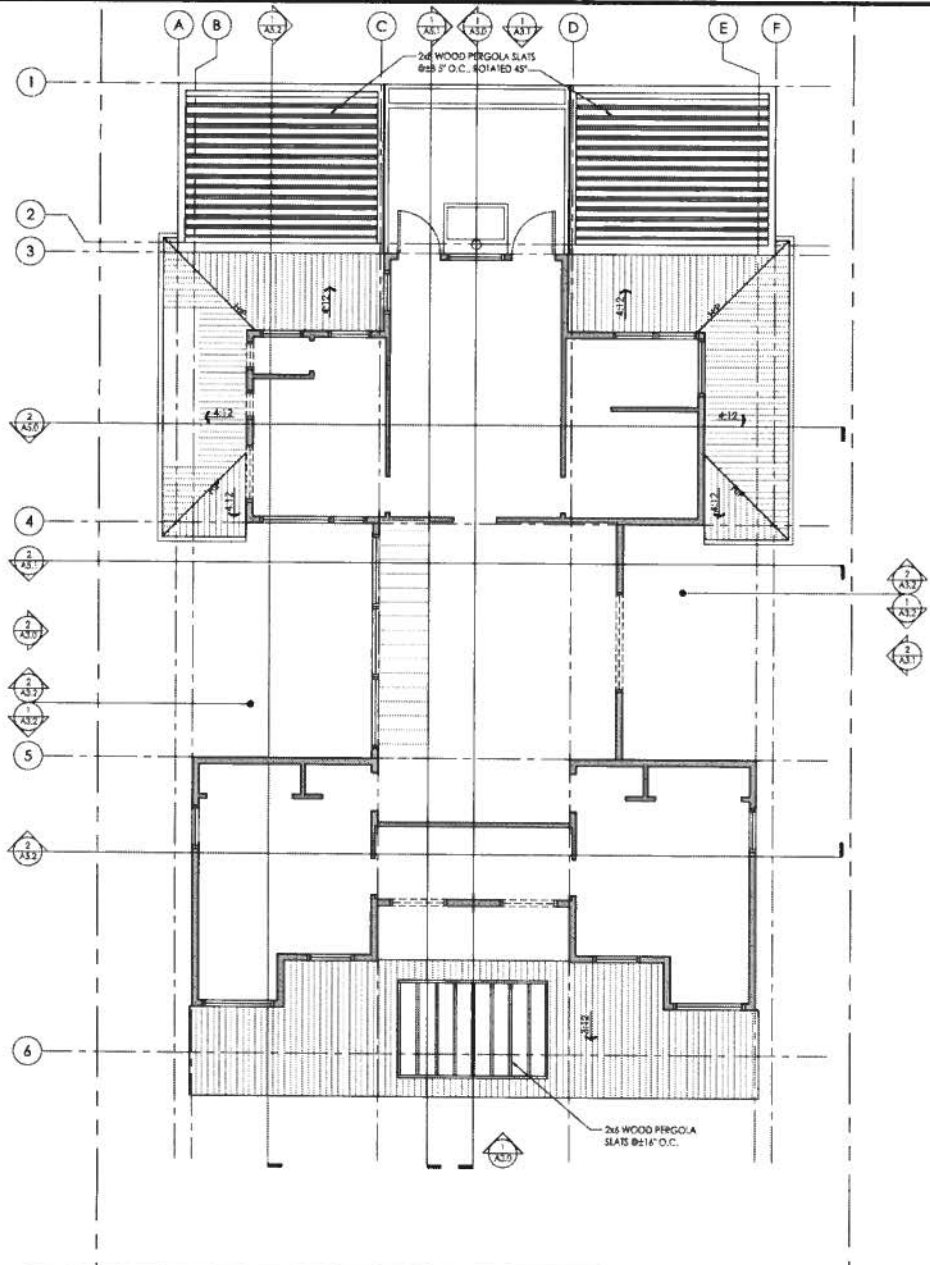
MELANIE AND JOHN WAGNER

[illegible]

2ND  
FLOOR PLAN

[illegible]

D12



1. IN: ROOFING-SEE LEGEND BELOW FOR MATERIALS-CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER.
2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
3. PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHT PER CPC 906.2
4. NOT USED
5. PROVIDE (N) GSM ROOF JACKS TYP. CAULK ALL EXPOSED NAIL HEADS WITH SILICONE SEALANT.
6. PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN
7. CONNECT ALL (N) DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION IN BACKYARD DESIGNATED BY OWNER. MIN. 5' AWAY FROM HOUSE.

ROOF GENERAL NOTES

ATTIC VENTILATION CALCULATIONS AND NOTES

- STANDING SEAM METAL ROOF, MINI CLASS C-MANUF. AWP SPAN: STYLE: SELECT SEAM: COVERAGE: 16"; GAUGE: 22; COLOR: COOL METALLIC SILVER-VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND USE EVALUATION REPORT #0309
- DENOTES DIRECTION OF SLOPE-ROOF SLOPE APPROX. REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL
- LINE OF BLDG. BELOW

LOWER ROOF PLAN

ROOF PLAN LEGEND



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WAGNER RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
311 O'KEEFE ST. MENLO PARK CA  
MELANIE AND JOHN WAGNER



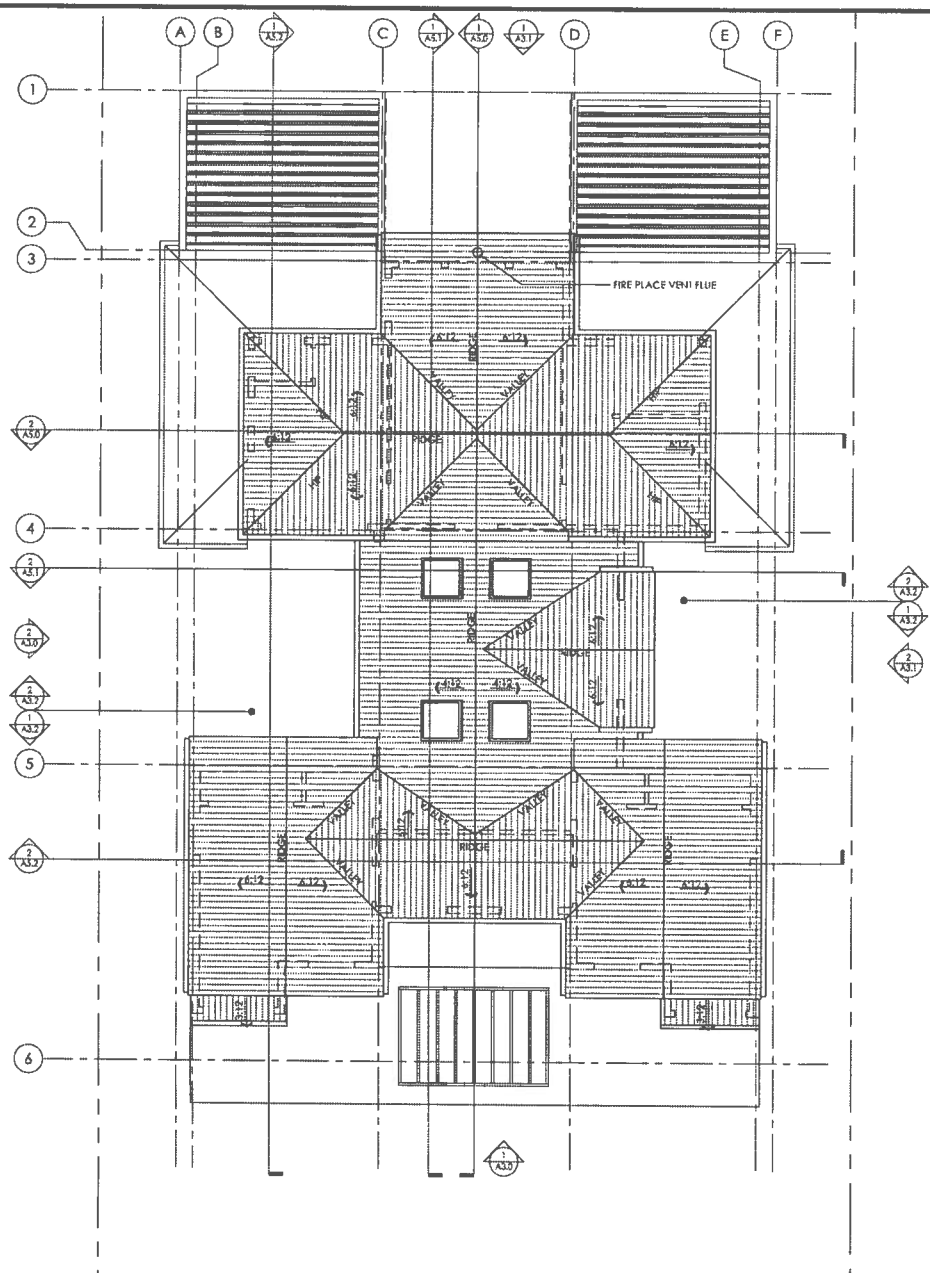
DATE	DESCRIPTION
07.22.2015	USE PERMIT SUBMITTAL
10.16.2015	USE PERMIT RESUBMITTAL
12.07.2015	USE PERMIT RESUBMITTAL
02.07.2016	USE PERMIT RESUBMITTAL

LOWER ROOF PLAN



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D13



UPPER ROOF PLAN

1. (N) ROOFING-SEE LEGEND BELOW FOR MATERIALS-CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
3. PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHT PER CPC 906.2
4. NOT USED
5. PROVIDE (N) GSM ROOF JACKS TYP. CAULK ALL EXPOSED NAIL HEADS WITH SILICONE SEALANT.
6. PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN
7. CONNECT ALL (N) DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION IN BACKYARD DESIGNATED BY OWNER, MIN. 5' AWAY FROM HOUSE.

ROOF GENERAL NOTES

ATTIC VENTILATION CALCULATIONS AND NOTES

- STANDING SEAM METAL ROOF, MIN CLASS C--MANUF: AEP SPAN; STYLE: SELECT SEAM; COVERAGE: 16'; GAUGE: 22; COLOR: COOL METALLIC SILVER--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND USE EVALUATION REPORT #0309
- ← DENOTES DIRECTION OF SLOPE--ROOF SLOPE APPROX. REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL LINE OF BLDG. BELOW

ROOF PLAN LEGEND



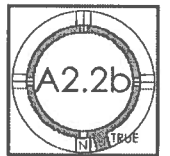
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WAGNER RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
311 O'KEEFE ST. MENLO PARK CA  
MELANIE AND JOHN WAGNER



DATE	DESCRIPTION	BY	CHK
07.22.2015	USE PERMIT SUBMITTAL		
10.18.2015	USE PERMIT RESUBMITTAL		
12.07.2015	USE PERMIT RESUBMITTAL	DJ	
02.01.2016	USE PERMIT RESUBMITTAL	DJ	

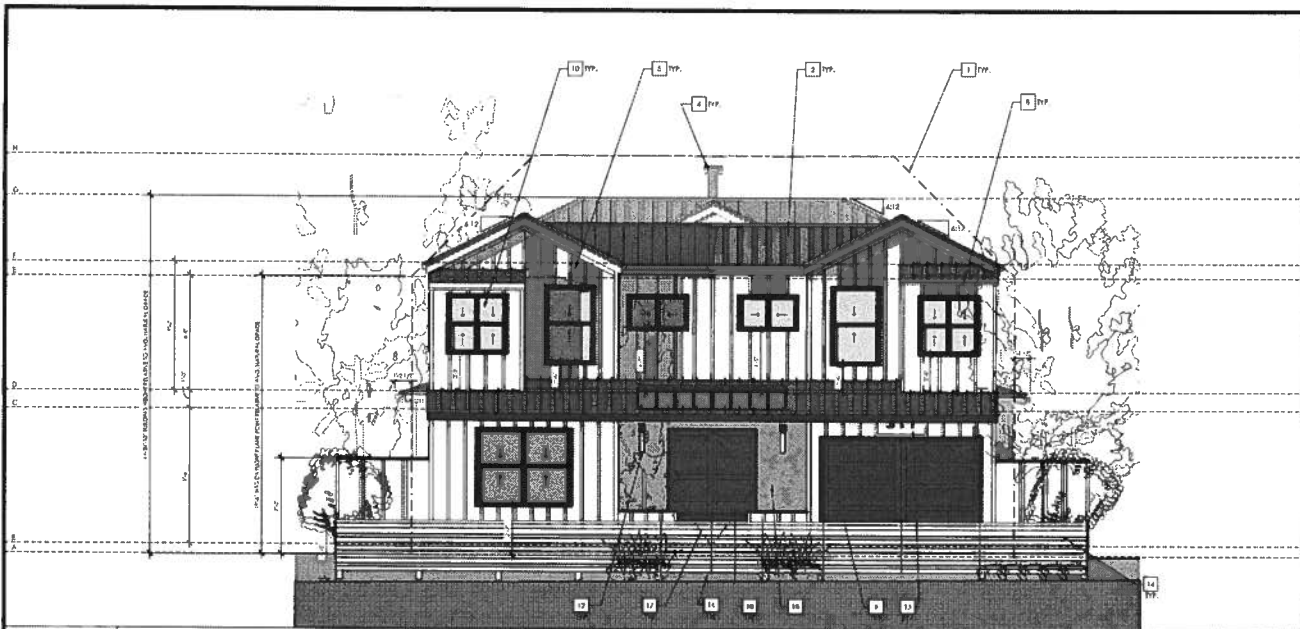
UPPER ROOF PLAN



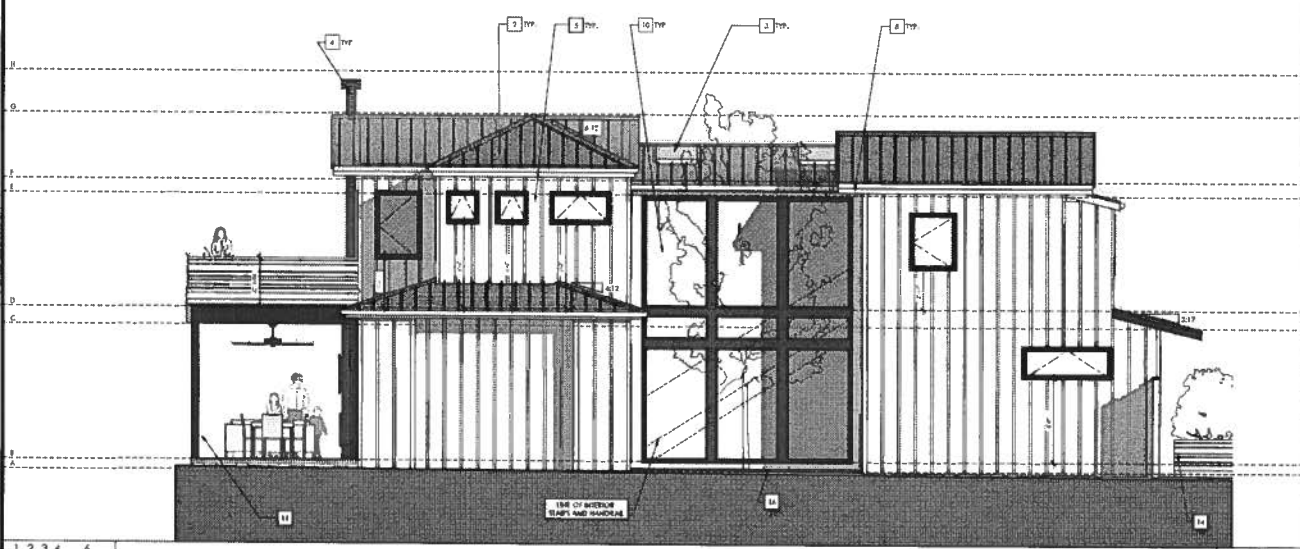
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D14



NORTH ELEVATION (FRONT) 1/4" 1



EAST ELEVATION (LEFT) 1/4" 2

- 1 = NUMBER OF KEYNOTE BELOW
- DAYLIGHT PLANE AS DERIVED BY JURISDICTION
  - STANDING SEAM METAL ROOFING-SEE ROOF PLAN FOR MORE INFO
  - STYLISH-SEE WINDOW SCHEDULE FOR MORE INFO
  - REPLACE VINYL FLUR; COLOR TO MATCH ROOF COLOR
  - CEMENT FIBER BOARD AND BATTEN STRIP; FIELD PAINTED IN NATURAL GRADE TO REMAIN
  - ADHERED LIGHTWEIGHT TILE (1/2" x 1/2") - MANUF. TBD; STYLE: TBD; COLOR: TBD; INSTALLATION STYLE: TBD-INSTALL PER MANUF. INSTRUCTIONS
  - PAINTED REDWOOD TRIM-2x4 FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL OUTLET-VERIFY OUTLET PROFILE WITH OWNER PRIOR TO FABRICATION-SEE ROOF PLAN FOR MORE INFO
  - PAINTED WOOD GARAGE DOOR-SEE DOOR SCHEDULE FOR MORE INFO
  - PAINTED WOOD DOORS AND WINDOWS-WINDOW FIXED IF NO OPERATION SHOWN
  - FIELD PAINTED STEEL COLUMN-S.S.D. FOR MORE INFO
  - EXTERIOR LIGHT; INSTALL PER MANUF. INSTRUCTIONS-MANUF. APPROX. CRAFTSMAN STYLE-FRANKLIN LONG BODY 1 LIGHT OUTDOOR WALL LANTERN FINISH SATIN BLACK; SHADE TYPE: TROSTED www.voytek.com
  - FIN MOUNTED ADDRESS SIGNAGE; CLEARLY VISIBLE FROM ADJACENT STREET-HEIGHT: 4" STYLE: TROSTED LED ADDRESS SIGNAGE-SEE SIGNAGE SCHEDULE-PROVIDE PHOTOGRAPHIC CONNECTED LED BACKLIGHTING w/ TOP RETURN EDGE OF ADDRESS IN CEILING
  - PAINTED WOOD FENCING-SLAB: REDWOOD-OWNER TO PROVIDE SPEC
  - OUTDOOR KITCHEN-OWNER TO PROVIDE SPEC
  - HARDSCAPE-SEE SITE PLAN AND FIRST FLOOR PLAN FOR MORE INFO
  - ENTRANCE GATE
  - PAINTED STEEL TROWLED IGHTON RESISTANT CEMENT PLASTER SYSTEM SMOOTH FINISH-7/8" CEMENT PLASTER ON METAL LATH OR 3 LAYERS GRADE 5 OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 24 ga. WIRE MESH AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE

NOTES:  
SEE 2/20/14 FOR PLUMBING GENERAL NOTES  
SEE 3/6/14 FOR MECHANICAL GENERAL NOTES  
SEE 3/6/14 FOR ELECTRICAL GENERAL NOTES  
SEE 4/10/13 FOR PLUMBING AND INTERIOR DESIGN NOTES  
EXTERIOR HARDSCAPE AND EXTERIOR STAIRS NOT SHOWN FOR CLARITY-SEE A3.0a FOR 3D MODEL VIEWS

KEYNOTES		-	-
ALL MEASUREMENTS SHOWN ABOVE AVERAGE NATURAL GRADE UNLESS NOTED			
A	AVG. NATURAL GRADE LEVEL = 130.41' (AVG. OF 130.33' HIGHEST ADJACENT GRADE AND 130.38' LOWEST ADJACENT GRADE)		
B	1ST FLOOR F.F. = 131.11' ± 0.4' RELATIVE TO AVG. NATURAL GRADE		
C	1ST FLOOR PLATE HEIGHT = 8.0' ± 1" ± 10" ± 10" RELATIVE TO AVG. NATURAL GRADE		
D	2ND FLOOR F.F. = 141.85' ± 11" ± 10" RELATIVE TO AVG. NATURAL GRADE		
E	2ND FLOOR PLATE HEIGHT = 11.0' ± 10" ± 10" RELATIVE TO AVG. NATURAL GRADE		
F	MASTER SUITE PLATE HEIGHT = 10.0' ± 10" ± 10" RELATIVE TO AVG. NATURAL GRADE		
G	MAX. BLDG. HEIGHT = 135.34' ± 24" ± 10" RELATIVE TO AVG. NATURAL GRADE		
H	MAX. ALLOWED HEIGHT = 134.41' ± 20" ± 10" RELATIVE TO AVG. NATURAL GRADE		



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**WAGNER RESIDENCE**  
NEW SINGLE FAMILY RESIDENCE  
311 O'KEEFE ST. MENLO PARK CA 94025  
MELANIE & JOHN WAGNER



DATE	BY	REV	DESCRIPTION
10/20/13	AW	1	ISSUED FOR PERMIT
10/20/13	AW	2	ISSUED FOR PERMIT
10/20/13	AW	3	ISSUED FOR PERMIT
10/20/13	AW	4	ISSUED FOR PERMIT
10/20/13	AW	5	ISSUED FOR PERMIT
10/20/13	AW	6	ISSUED FOR PERMIT
10/20/13	AW	7	ISSUED FOR PERMIT
10/20/13	AW	8	ISSUED FOR PERMIT
10/20/13	AW	9	ISSUED FOR PERMIT
10/20/13	AW	10	ISSUED FOR PERMIT

EXTERIOR ELEVATIONS



A3.0

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WAGNER RESIDENCE

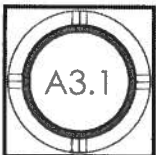
NEW SINGLE FAMILY RESIDENCE

311 O'KEEFE ST. MENLO PARK CA 94025

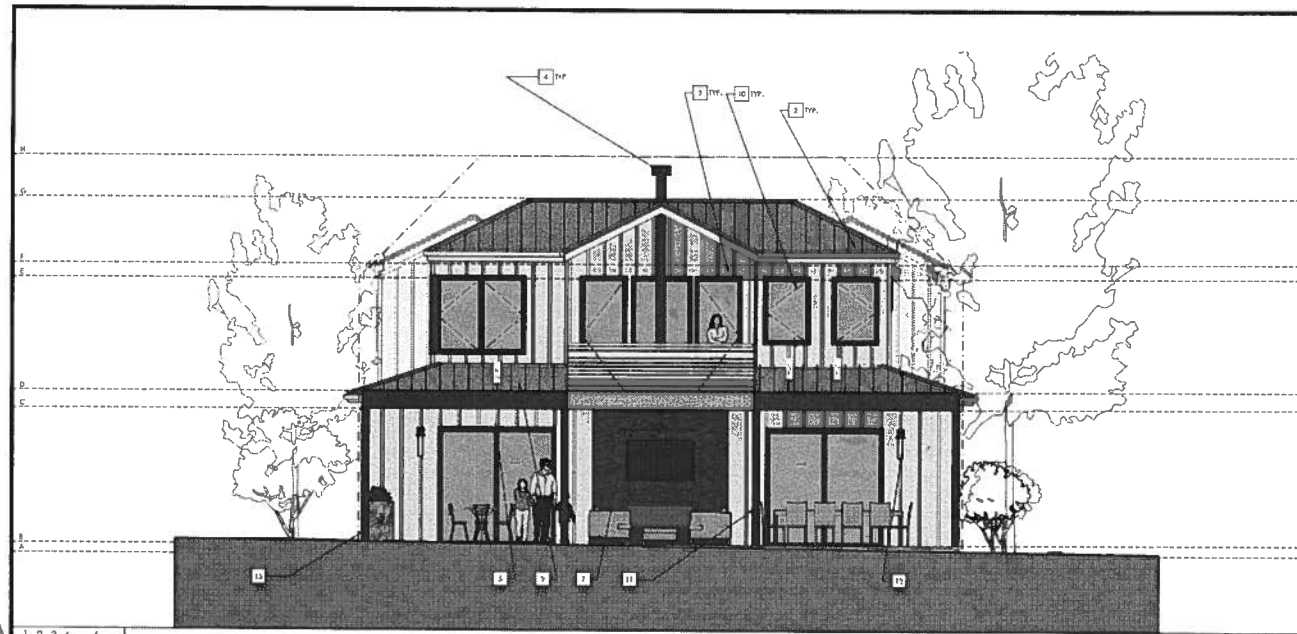
MELANIE &amp; JOHN WAGNER

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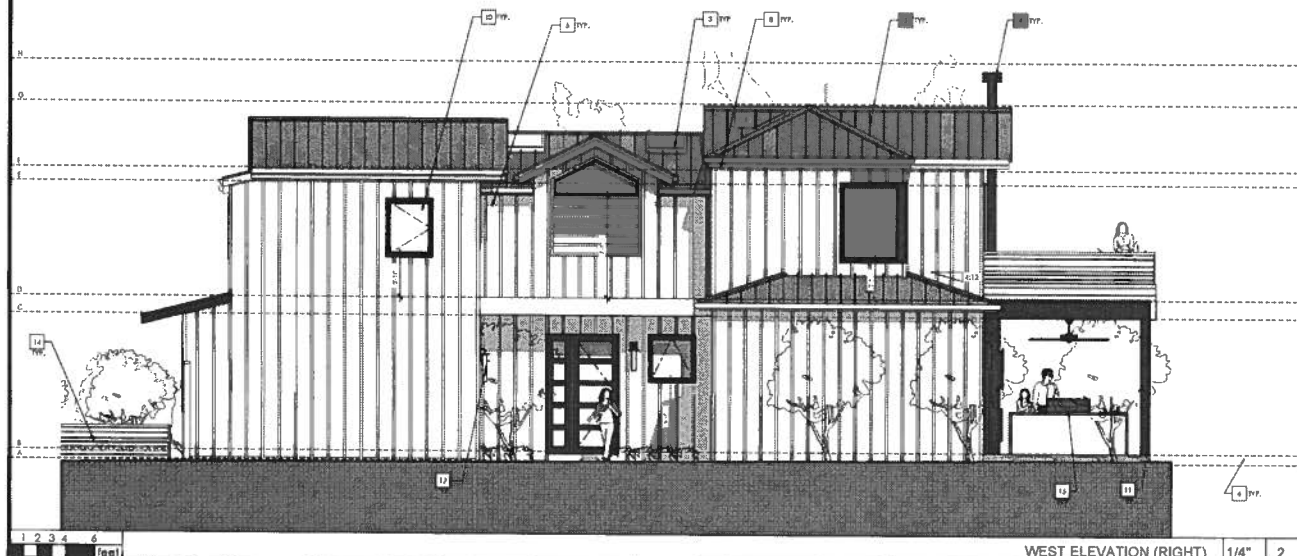
## EXTERIOR ELEVATIONS



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SOUTH ELEVATION (REAR)	1/4"	1
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WEST ELEVATION (RIGHT)	1/4"	2
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**†** = NUMBER OF KEYNOTE BELOW

- 1 DAUGHTER PLANE AS DEFINED BY JURDICTION
- 2 STANDING SEAM METAL ROOFING-SEE ROOF PLAN FOR MORE INFO
- 3 STEUERS-SEE WINDOW SCHEDULES FOR MORE INFO
- 4 REPLACE VENT FLOOR, CEILING, TO MATCH ROOF. COLORED  
CEMENT FIBER BOARD AND BATH TUBS ARE TILED PLASTER
- 5 SET NATURAL GRADE REMAIN
- 6 ADHERED LIGHTBOLT TYPE 1-1/8 X 1/8" - 3" MAN-; 3" TO; TYPE: TIED; COLOR: RED; INSTALLATION: GRADE TO TIE-INTAL PER MANUFACTURER'S INSTRUCTIONS
- 7 PAINTED WOOD TRIM WITH COLOR OF 1/2" SEAMLESS PAINTED SHEET METAL, OUTER-VENERY OUTER  
PAINTED WITH OWNER PREFER TO FABRICATION-SEE ROOF PLAN FOR MORE INFO
- 8 PAINTED WOOD GARAGE DOOR-SEE DOOR SCHEDULE FOR MORE INFO
- 9 PAINTED WOOD DOORS AND WINDOWS-ADHERED FINED IN ONE OPERATIONAL SHOWN
- 10 PAINTED TIE-SEE COLOR OF 1/2" SEAMLESS PAINTED SHEET METAL, OUTER-VENERY OUTER  
PAINTED WITH OWNER PREFER TO FABRICATION-SEE ROOF PLAN FOR MORE INFO
- 11 EXTERIOR LIGHT: INITIAL PER MANUFACTURER'S INSTRUCTIONS; MANUFACTURER: APPOINTO CRYSTAL/CRYSTAL STYLE; FINISH: BROWN  
WOOD BODY 1" LIGHT CURD/COP WALL/LIGHT: FINISH: SATIN BLACK; CHASE TYPE: TROTTED  
[www.meridian.com](http://www.meridian.com)
- 12 FINISH: BROWN WOOD BODY 1" LIGHT CURD/COP WALL/LIGHT: FINISH: SATIN BLACK; CHASE TYPE: TROTTED  
[www.meridian.com](http://www.meridian.com)
- 13 LUBILOE LID MODERN; FINISH: BROWN WOOD BODY 1" LIGHT CURD/COP WALL/LIGHT: FINISH: SATIN BLACK; CHASE TYPE: TROTTED  
[www.meridian.com](http://www.meridian.com)
- 14 CONNECTED TO ELECTRICAL IN 10' TURNING EDGE OF ABOVE DECKS
- 15 PAINTED WOOD TRIM-SEE COLOR OF 1/2" SEAMLESS PAINTED SHEET METAL, OUTER-VENERY OUTER  
PAINTED WITH OWNER PREFER TO FABRICATION-SEE ROOF PLAN FOR MORE INFO
- 16 OUTDOOR KITCHEN-OWNER TO PROVIDE SPEC
- 17 HA ROOF-CAPS-SEE SITE PLAN AND FINISH FLOOR PLAN FOR MORE INFO
- 18 ENTRANCE GATE
- 19 PAINTED TIE- TROTTED LIGHTING RESISTANT CHASE PLASTER SYSTEM BATH TUBS 1/2" SEAMLESS PAINTED SHEET METAL ROOFING TO 1/2" SEAMLESS PAINTED SHEET METAL ROOFING PAPER, 3" CANT SYSTEM  
WITH 2x6 JOIST WEBS-SEALANT AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE GRADE

NOTES:  
SEE 2/AQ.1a FOR PLUMBING GENERAL NOTES  
SEE 3/AQ.1a FOR MECHANICAL GENERAL NOTES  
SEE 3/AQ.1a FOR ELECTRICAL GENERAL NOTES  
SEE 4/AQ.1a FOR PLAT AND INTERIOR GENERAL NOTES  
EXTERIOR HARDSCAPE AND EXTERIOR STAIRS NOT SHOWN FOR CLARITY-SEE AQ.3a FOR 3D MODEL VIEWS

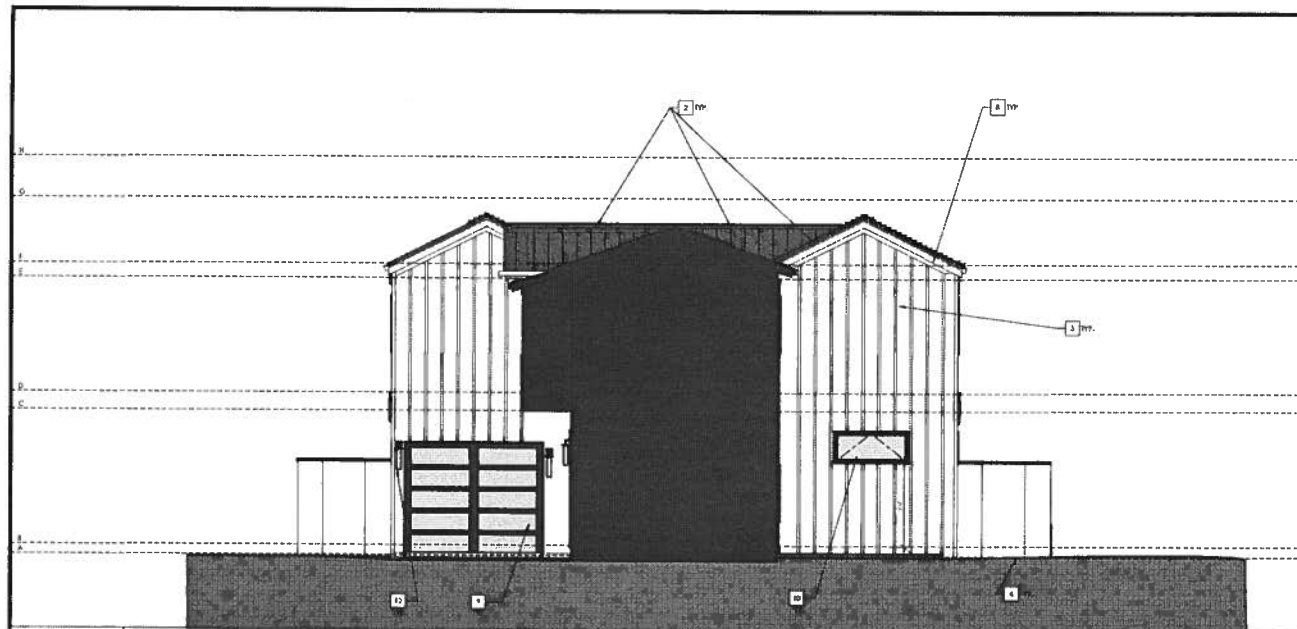
KEYNOTES	-	-
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ALL MEASUREMENTS SHOWN ABOVE AVERAGE NATURAL GRADE U.N.O.

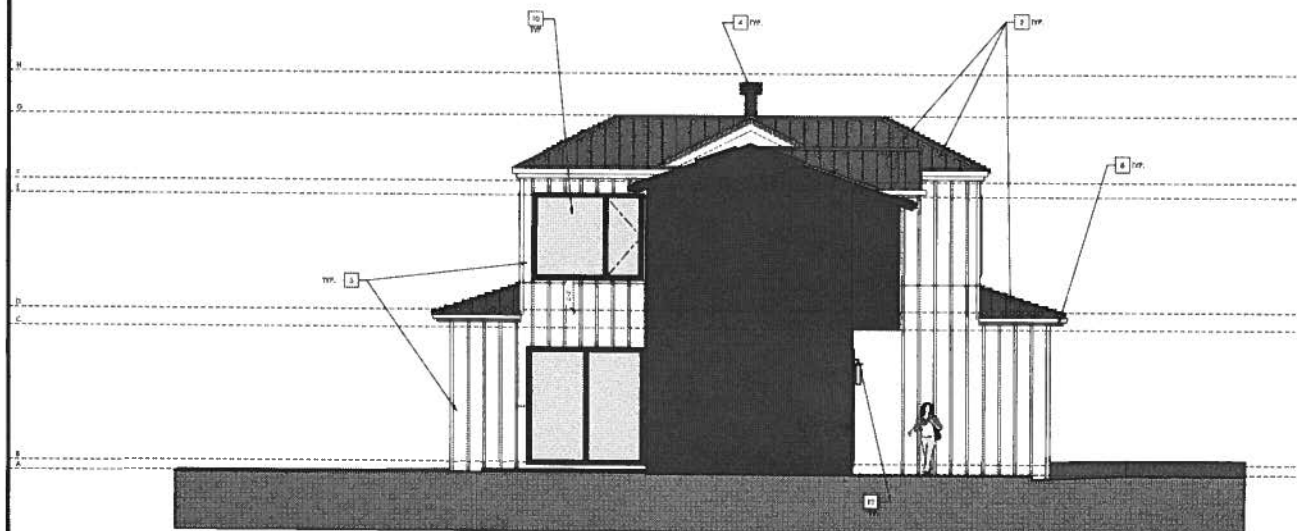
- A. AVG. NATURAL GRADE LEVEL = 330.41' (AVG. OF 330.53' HIGHEST ADJACENT GRADE AND 330.29' LOWEST ADJACENT GRADE)  
B. 1ST FLOOR F.F. = +31.11' = D.F. - 1' - 0" - 0" TO AVG. NATURAL GRADE  
C. 1ST FLOOR PLATE HEIGHT = 8' 0" 41" = 10' - 0" RELATIVE TO AVG. NATURAL GRADE  
D. 2ND FLOOR F.F. = +41.86' = 11' - 0" RELATIVE TO AVG. NATURAL GRADE  
E. 2ND FLOOR PLATE HEIGHT = 8' 0" 46" = 11' - 0" RELATIVE TO AVG. NATURAL GRADE  
F. 3RD FLOOR PLATE HEIGHT = 25' 0" 46" = 25' - 0" RELATIVE TO 1ST FLOOR PLATE  
G. MAX. BELOW GRADE HEIGHT = +35.26' = 2' - 10" RELATIVE TO AVG. NATURAL GRADE  
H. MAX. ALLOWED HEIGHT = 56' 41" = 26' - 0" RELATIVE TO AVG. NATURAL GRADE

ELEVATION GRID LINE KEY	-	-
-------------------------	---	---

D16



COURTYARD ELEVATION - NORTH 1/4" 1



COURTYARD ELEVATION - SOUTH 1/4" 2

- 18 = NUMBER OF KEYNOTE BELOW
- 1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION
  - 2 STANDING SEAM METAL ROOFING-SEE ROOF PLAN FOR MORE INFO
  - 3 EXTERIOR-SEE WINDOW SCHEDULE FOR MORE INFO
  - 4 REPLACE VINYL CLAD, COLOR TO MATCH ROOF COLOR
  - 5 CEMENT FIBER BOARD AND BATTEN SIDING, FIELD PAINTED
  - 6 (S) NATURAL GRADE TO REMAIN
  - 7 ADHERED LIGHTWEIGHT TILE (1/2" x 1/2" x 1/2") - MANUFACTURER: TRU-STYLE; TRU-COLOR; TRU-INSTALLATION STYLE: TRU-INSTALL FOR MANUFACTURER INSTRUCTIONS
  - 8 PAINTED REDWOOD TRIM-2 1/2" x 4" x 8" x 16" SEAMLESS PAINTED STEEL METAL, OUTER-VERIFY OUTER PEOPLE WITH OWNER PRIOR TO FABRICATION-SEE ROOF PLAN FOR MORE INFO
  - 9 PAINTED WOOD GARAGE DOOR-SEE DOOR SCHEDULE FOR MORE INFO
  - 10 PAINTED WOOD DOORS AND WINDOWS-WINDOW TISED P AND OVERARCH SHOWN
  - 11 FIELD PAINTED STEEL COLUMN-2 1/2" x 4" x 8" x 16" FOR MORE INFO
  - 12 EXTERIOR LIGHT, 8" BALL, PER MANUFACTURER INSTRUCTIONS-APPROXIMATE CRAFTSMAN STYLE PAINTED LONG BODY 1 LIGHT OUTDOOR WALL LAMP, FINISH: SATIN BLACK, SHADE TYPE: FRONTSIDE www.wagner.com
  - 13 PIN MOUNTED ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET-HIGH: 4" STYLE: LUSHELLO LED MODERN FINISH: BRUSHED-ALUMINUM-PROVIDE PHOTOGRAPHIC CONNECTED LED BACKLIGHTING ON TOP RETURN EDGE OF ADDRESS RECESSED
  - 14 PAINTED WOOD FENCING-2 1/2" x 4" x 8" x 16" REDWOOD-OWNER TO PROVIDE SPEC
  - 15 OUTDOOR BENCH-OWNER TO PROVIDE SPEC
  - 16 HARDSCAPE-SEE SITE PLAN AND FINISH FLOOR PLAN FOR MORE INFO
  - 17 ENTRANCE GATE
  - 18 PAINTED STEEL TROWELLED RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH)-7/8" CEMENT PLASTER OF METAL LATH OF 2 LAYERS GRADE 7" OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 24 GA. WIRE MESH AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE

NOTES:  
SEE 2/AD 18 FOR PLUMBING GENERAL NOTES  
SEE 2/AD 18 FOR MECHANICAL GENERAL NOTES  
SEE 2/AD 18 FOR ELECTRICAL GENERAL NOTES  
SEE 4/AD 18 FOR PLUMBING AND MECHANICAL GENERAL NOTES  
EXTERIOR HARDSCAPE AND EXTERIOR TREES NOT SHOWN FOR CLARITY-SEE A3.3a FOR 3D JACOBI VIEW

KEYNOTES		-	-
ALL MEASUREMENTS SHOWN ABOVE AVERAGE NATURAL GRADE UNLESS NOTED			
A	AVG. NATURAL GRADE LEVEL = 130.41' (AVG. OF 130.32' HIGHEST ADJACENT GRADE AND 130.38' LOWEST ADJACENT GRADE)		
B	1ST FLOOR F.F. = 131.11' ± 0.4" RELATIVE TO AVG. NATURAL GRADE		
C	1ST FLOOR PLATE HEIGHT = 8.0' ± 1" ± 15" RELATIVE TO AVG. NATURAL GRADE		
D	2ND FLOOR F.F. = 141.85' ± 11.5" RELATIVE TO AVG. NATURAL GRADE		
E	2ND FLOOR PLATE HEIGHT = 8.0' ± 1" ± 15" RELATIVE TO AVG. NATURAL GRADE		
F	MASTER BATH PLATE HEIGHT = 8.0' ± 1" ± 15" RELATIVE TO AVG. NATURAL GRADE		
G	MAX. BLDG. HEIGHT = 135.24' ± 24.10' RELATIVE TO AVG. NATURAL GRADE		
H	MAX. ALLOWED HEIGHT = 135.41' ± 28.0" RELATIVE TO AVG. NATURAL GRADE		

ELEVATION GRID LINE KEY - -



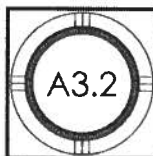
19 N. 2nd St., Ste. 205  
San Jose, CA 95113  
P: (408) 998-0983  
F: (408) 440-0144

WAGNER RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
311 O'KEEFE ST. MENLO PARK CA 94025  
MELANIE & JOHN WAGNER



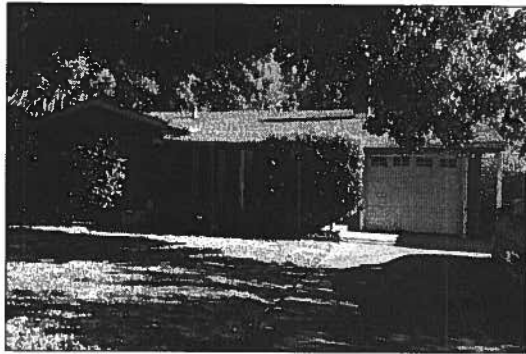
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10/22/2018	10/22/2018	10/22/2018	10/22/2018	10/22/2018
10/22/2018	10/22/2018	10/22/2018	10/22/2018	10/22/2018
10/22/2018	10/22/2018	10/22/2018	10/22/2018	10/22/2018

EXTERIOR  
ELEVATIONS

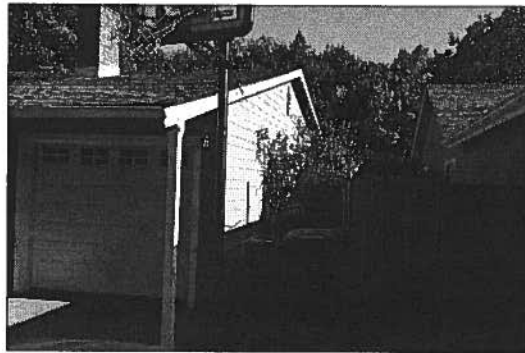


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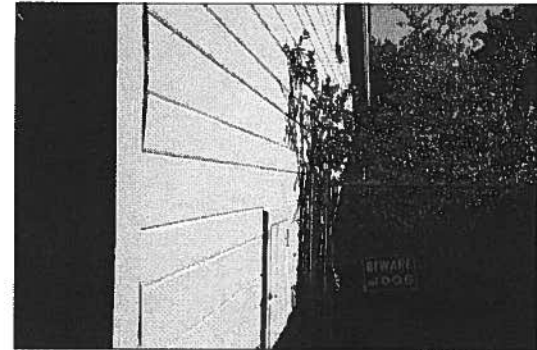
(D17)



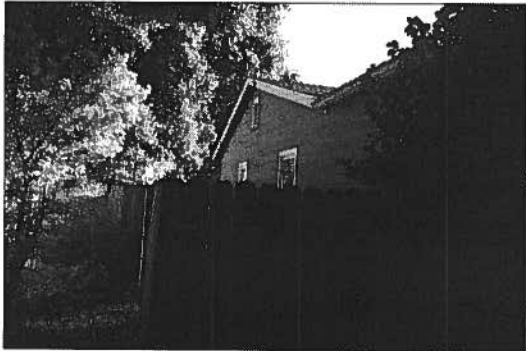
FRONT VIEW - 7



RIGHT VIEW - 4



RIGHT VIEW - 1



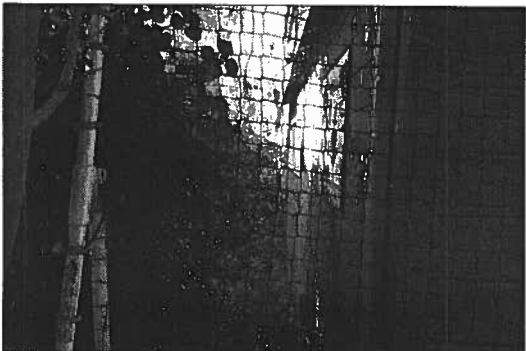
LEFT VIEW FROM STREET - 8



LEFT VIEW - 5



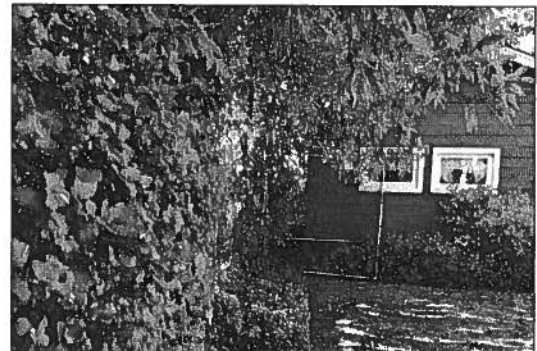
REAR VIEW - 2



RIGHT VIEW FROM BACK YARD - 9



LEFT GATE FROM BACK YARD - 6



REAR YARD - 3



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F: (408) 404-0144

WAGNER RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
311 O'KEEFE ST. MENLO PARK CA  
MELANIE AND JOHN WAGNER



"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"

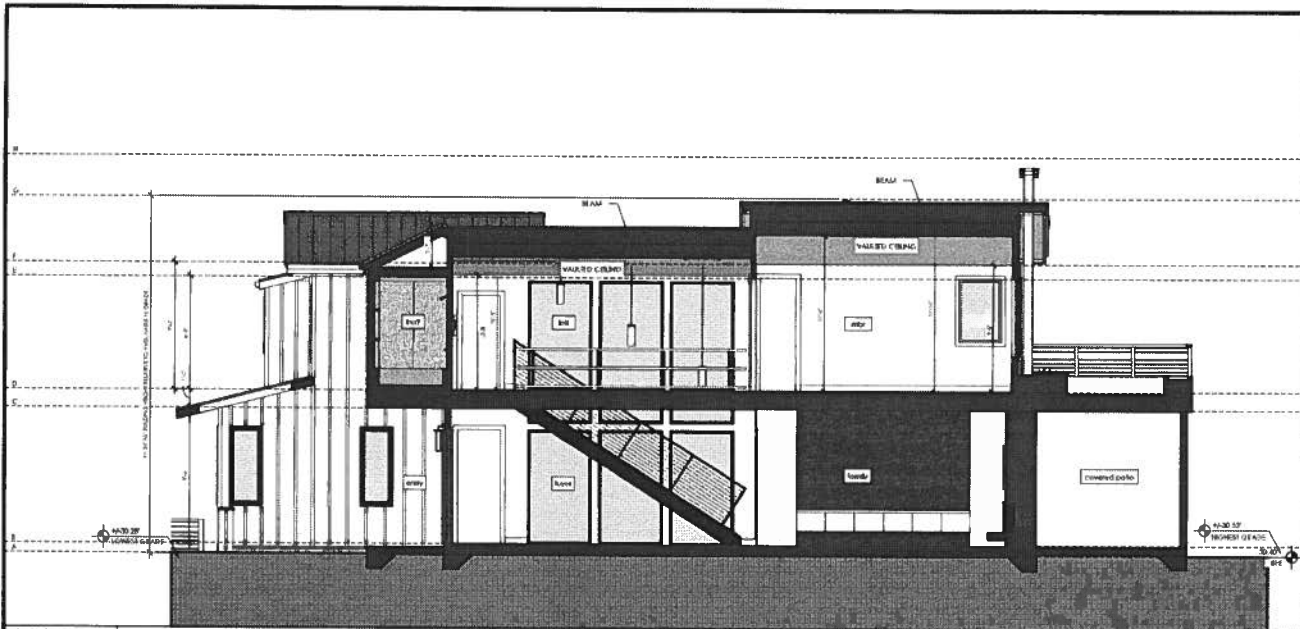
REVISION	DATE	DESCRIPTION
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15-0002	10-16-2015	USE PERMIT SUBMITTAL
15-0003	12-07-2015	USE PERMIT SUBMITTAL
15-0004	02-01-2016	USE PERMIT SUBMITTAL

EXISTING  
PHOTOS

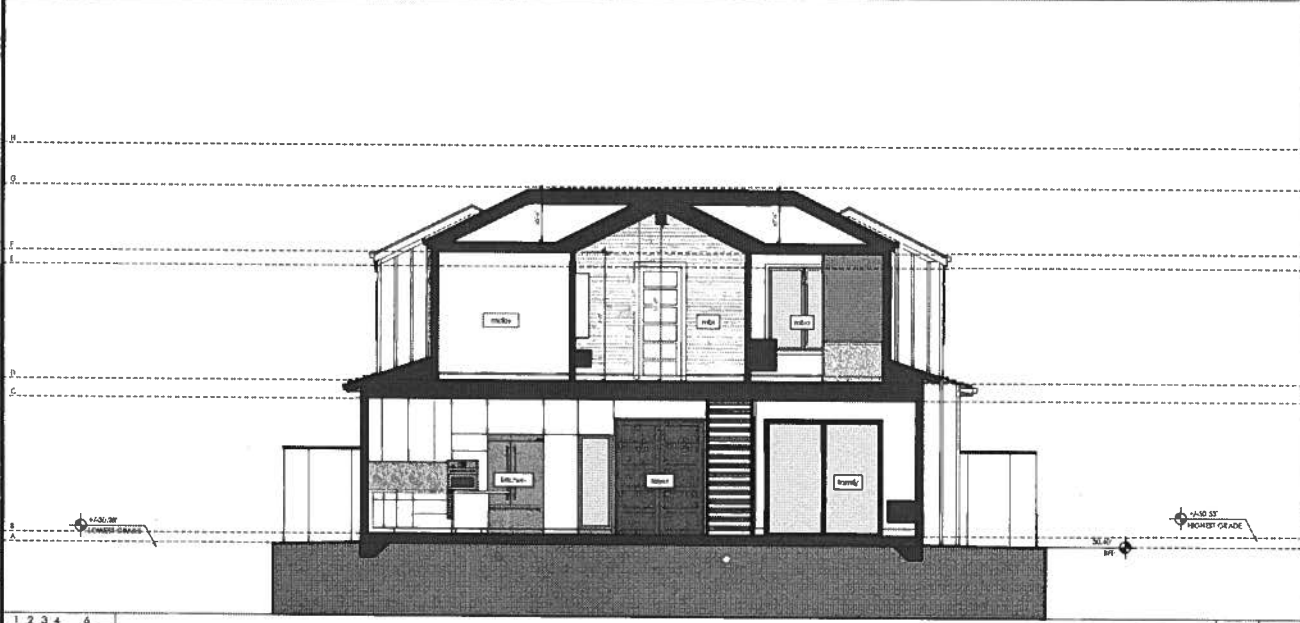


STUDIO 3 ARCHITECTURE, INC.

1810



SECTION 1 1/4" 1



SECTION 2 1/4" 2

- KEYNOTES
1. IN ROOF FRAMING OR TRUSS PACKAGE WITH PLYWOOD SHEATHING WITH RADIANT BARRIER-SEE STRUCTURAL PLANS FOR MORE INFO. INSTALL INSULATION PER BID INSTRUCTIONS AND T&E REPORT.
  2. IN PLYWOOD SHEATHING WITH RADIANT BARRIER-SEE STRUCTURAL PLANS FOR MORE INFO.
  3. SLOPES-SEE ROOF PLAN AND WINDOW SCHEDULE FOR MORE INFO.
  4. IN 2x4 OR 2x6 EXTERIOR WALL STUDS @ 16" O.C. UNLESS NOTED OTHERWISE-SEE FLOOR PLAN FOR MORE INFO. INSTALL INSULATION PER BID INSTRUCTIONS AND T&E REPORT.
  5. IN 2x4 INTERIOR WALL STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
  6. 5/8" GYPSEUM BOARD ON WALLS AND CEILING. TYPICAL THROUGHOUT, UNLESS NOTED OTHERWISE.
  7. 5/8" TYPE "X" GYPSEUM BOARD ON WALLS AND CEILING IN GARAGE. FIRE RATED. APPLY 2 LAYERS OF GYPSEUM BOARD WHERE FRAMING IS 2x4 O.C.
  8. TRAY CEILING-SEE REFLECTED CEILING PLAN FOR MORE INFO.
  9. IN FLOOR/CEILING FRAMING WITH 2x4 S. OR PLYWOOD SHEATHING-SEE STRUCTURAL PLANS FOR MORE INFO.
  10. IN FLOOR FRAMING WITH 2x4 S. OR PLYWOOD SHEATHING-SEE STRUCTURAL PLANS FOR MORE INFO. INSTALL CEILING SPACE INSULATION PER BID INSTRUCTIONS AND T&E REPORT.
  11. IN CONCRETE SLAB-SEE STRUCTURAL PLANS FOR MORE INFO.
  12. DIAGRAMMATIC REPRESENTATION OF IN CONCRETE FOUR-ON-FOUR-SEE STRUCTURAL PLANS FOR MORE INFO.
  13. CLASS 1 VAPOR BARRIER OVER TOPGRADE SURFACE / 2" EPS SLAB WITH REINFORCING MESH IN CRAWLSPACE.
  14. FINISH GRADE-SEE CIVIL PLANS.

NOTES:  
SEE 3/A0.1a FOR PLUMBING GENERAL NOTES  
SEE 3/A0.1b FOR MECHANICAL GENERAL NOTES  
SEE 3/A0.1c FOR ELECTRICAL GENERAL NOTES  
SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES  
SEE 8/A0.1 INSTRUCTIONS FOR INSULATION VALUES. INSULATION TO BE NOT LESS THAN AS INDICATED IN T&E REPORT.

KEYNOTES

ALL MEASUREMENTS SHOWN ABOVE AVERAGE NATURAL GRADE UNLESS NOTED OTHERWISE.

A. AVG. NATURAL GRADE LEVEL = 130.41' (AVG. OF 130.33' HIGHEST ADJACENT GRADE AND 130.28' LOWEST ADJACENT GRADE)  
B. 1ST FLOOR F.F. = 131.11' ± 0.4' RELATIVE TO AVG. NATURAL GRADE  
C. 1ST FLOOR FLOOR PLATE HEIGHT = 8.0' ± 0.1' RELATIVE TO 1ST FLOOR F.F.  
D. 2ND FLOOR F.F. = 141.88' ± 0.4' RELATIVE TO AVG. NATURAL GRADE  
E. 2ND FLOOR FLOOR PLATE HEIGHT = 10.0' ± 0.1' RELATIVE TO 2ND FLOOR F.F.  
F. MASTER BATH FLOOR PLATE HEIGHT = 130.88' ± 0.5' RELATIVE TO AVG. NATURAL GRADE  
G. MAX. BLDG. HEIGHT = 38.24' ± 0.4' RELATIVE TO AVG. NATURAL GRADE  
H. MAX. ALLOWED HEIGHT = 38.41' ± 0.5' RELATIVE TO AVG. NATURAL GRADE

ELEVATION GRID LINE KEY



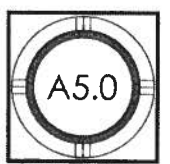
19 N. 2nd St., Ste. 205  
San Jose, CA 95113  
P : (408) 995-0983  
F : (408) 440-0144

**WAGNER RESIDENCE**  
NEW SINGLE FAMILY RESIDENCE  
311 O'KEEFE ST. MENLO PARK CA 94025  
MELANIE & JOHN WAGNER



NO.	DATE	DESCRIPTION
1	10/15/2015	1ST FLOOR PLAN
2	10/15/2015	2ND FLOOR PLAN
3	10/15/2015	3RD FLOOR PLAN
4	10/15/2015	4TH FLOOR PLAN
5	10/15/2015	5TH FLOOR PLAN
6	10/15/2015	6TH FLOOR PLAN
7	10/15/2015	7TH FLOOR PLAN
8	10/15/2015	8TH FLOOR PLAN
9	10/15/2015	9TH FLOOR PLAN
10	10/15/2015	10TH FLOOR PLAN

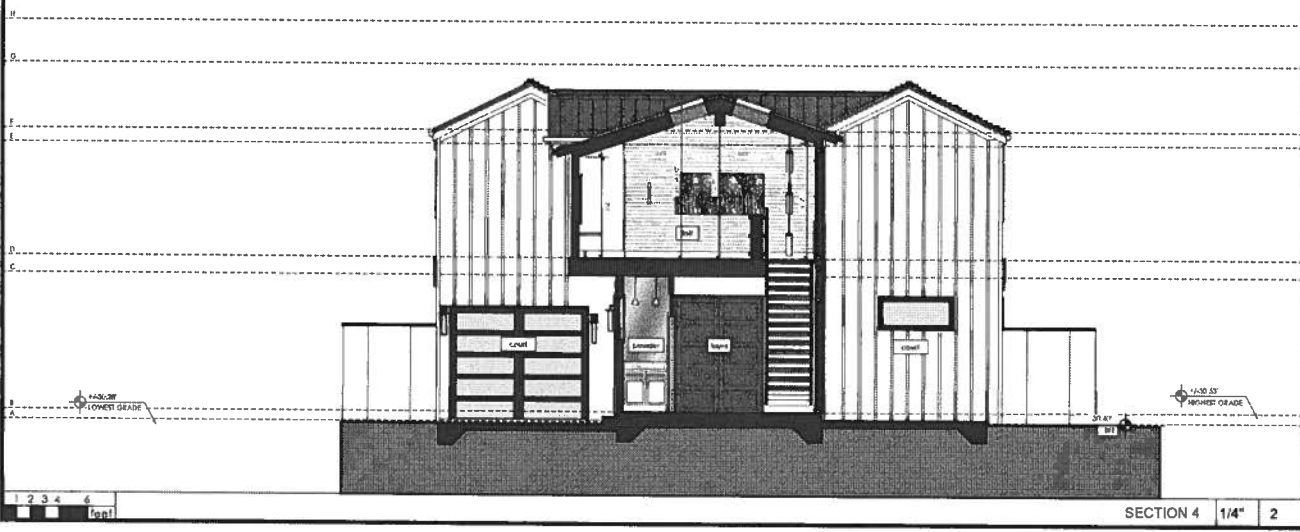
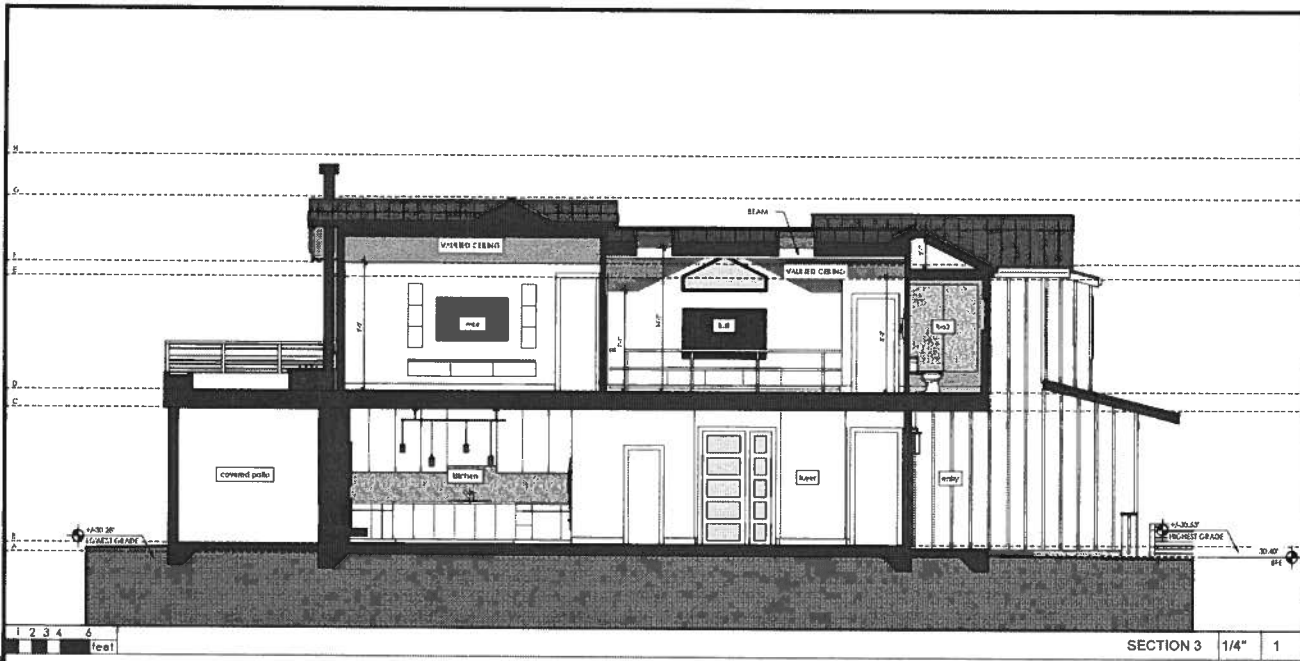
SECTIONS



A5.0



bld



- 1 IN FLOOR FRAMING OR TRUSS PACKAGE WITH PLYWOOD SHEATHING WITH RADIANT BARRIER-SEE STRUCTURAL PLANS FOR MORE INFO. INSTALL INSULATION PER BID INSTRUCTIONS AND T24 REPORT
- 2 IN PLYWOOD SHEATHING WITH RADIANT BARRIER-SEE STRUCTURAL PLANS FOR MORE INFO
- 3 SLOUCH-SEE ROOF PLAN AND WINDOW SCHEDULE FOR MORE INFO
- 4 IN 2x4 OR 2x4 EXTERIOR WALL STUDS @16\"/>

NOTES:  
SEE 2/A0.1a FOR PLUMBING GENERAL NOTES  
SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES  
SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES  
SEE 4/A0.1a FOR PLUMBING AND INTERIOR GENERAL NOTES  
SEE BID INSTRUCTIONS FOR INSULATION VALUES. INSULATION TO BE NOT LESS THAN AS INDICATED IN T24 REPORT

KEYNOTES

ALL MEASUREMENTS SHOWN ABOVE AVERAGE NATURAL GRADE UNLESS NOTED OTHERWISE

A AVG. NATURAL GRADE LEVEL = 130.41' (AVG. OF 130.32' HIGHEST ADJACENT GRADE AND 130.38' LOWEST ADJACENT GRADE)

B 1ST FLOOR F.F. = 131.11' = 0'-0\"/>



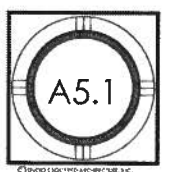
19 N. 2nd St., Ste. 205  
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F : (408) 440 - 0144

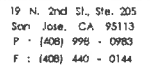
WAGNER RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
311 O'KEEFE ST. MENLO PARK CA 94025  
MELANIE & JOHN WAGNER



DATE	DESCRIPTION	BY	CHKD
10/18/2013	SET FLOOR PLAN	AW	AW
10/18/2013	SET FLOOR PLAN	AW	AW
10/18/2013	SET FLOOR PLAN	AW	AW
10/18/2013	SET FLOOR PLAN	AW	AW
10/18/2013	SET FLOOR PLAN	AW	AW
10/18/2013	SET FLOOR PLAN	AW	AW
10/18/2013	SET FLOOR PLAN	AW	AW
10/18/2013	SET FLOOR PLAN	AW	AW
10/18/2013	SET FLOOR PLAN	AW	AW
10/18/2013	SET FLOOR PLAN	AW	AW

SECTIONS





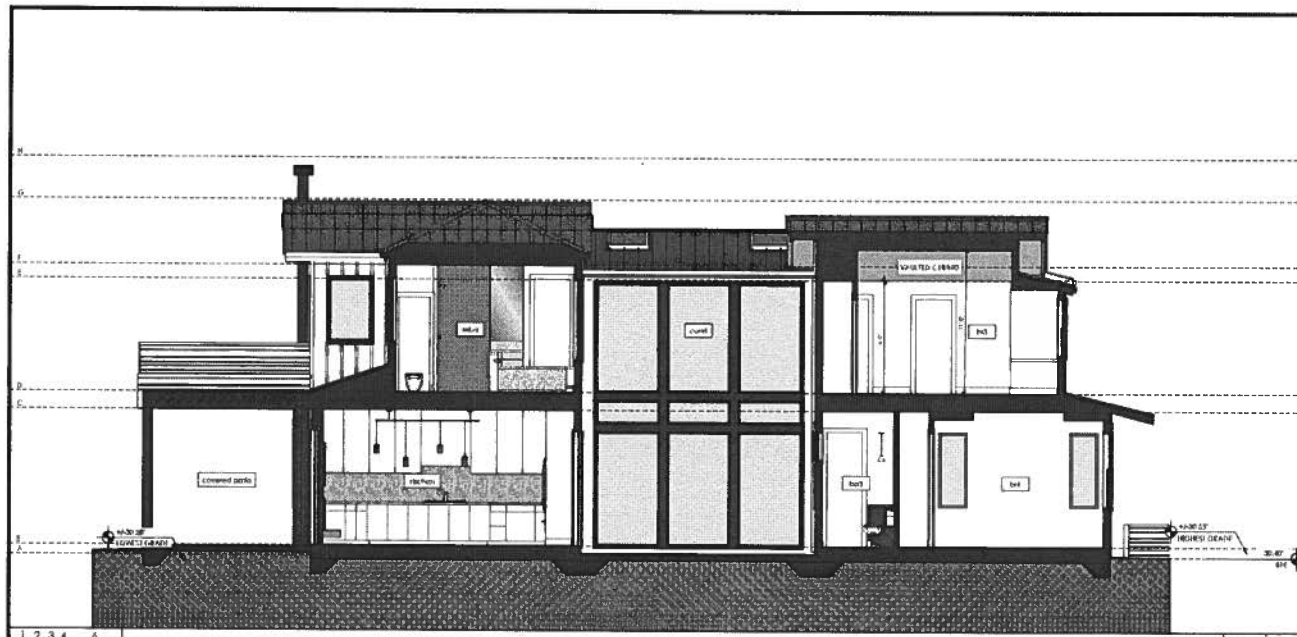
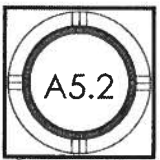
**WAGNER RESIDENCE**  
NEW SINGLE FAMILY RESIDENCE

311 O'KEEFE ST. MENLO PARK CA 94025

**MELANIE & JOHN WAGNER**

[illegible]

## SECTIONS



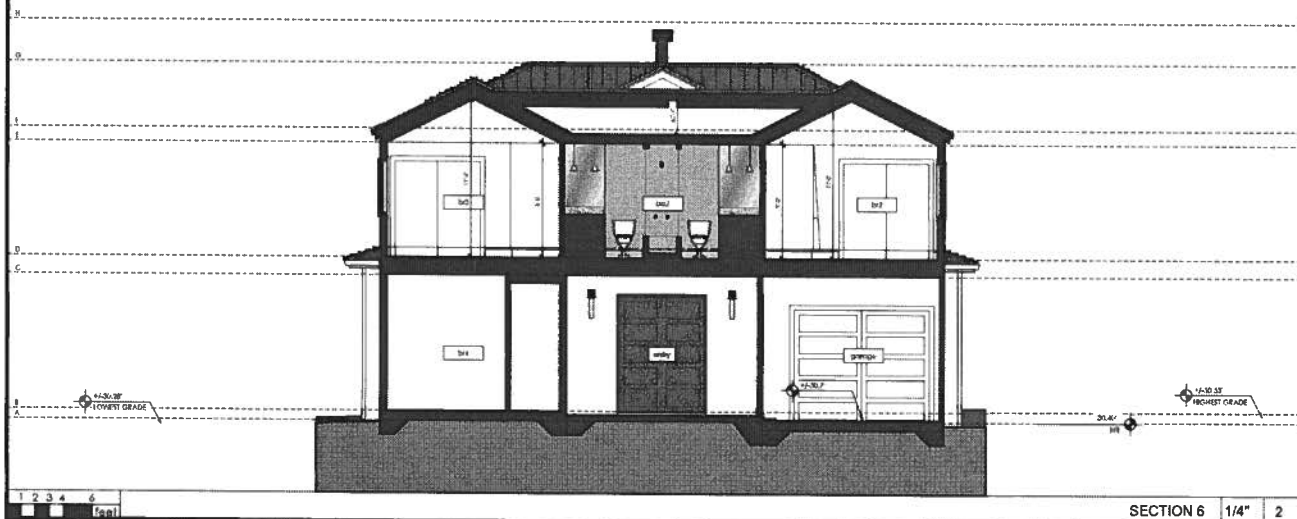
**4** = NUMBER OF KEYNOTE BELOW

1. JOIST FRAMING OR TRUSS PACKAGE WITH PLYWOOD SHEATHING WITH RADUANT BARRIER-SEE STRUCTURAL PLANS FOR MORE INFO. INSTALL INSULATION PER DET INSTRUCTIONS AND 124 INCH DET.
2. JOIST SHEATHING WITH RADUANT BARRIER-SEE STRUCTURAL PLANS FOR MORE INFO.
3. INSULATION-SEE ROOM PLAN AND WINDOW SCHEDULE FOR MORE INFO.
4. 2x4 OR 2x4 EXTERIOR WALL WITH 4" O.C. U.S.G. OR-SEE ROOM PLAN FOR MORE INFO. INSTALL INSULATION PER DET INSTRUCTIONS AND 124 INCH DET.
5. 2x4 INTERIOR WALL WITH 4" O.C. U.S.G.
6. CEILING WALL WITH 4" O.C. U.S.G. OR-SEE ROOM PLAN FOR MORE INFO.
7. SILL/PEACE SYSTEM BOARD ON WALLS AND CEILING IN GARAGE, REPT. APPLIED, 2 LAYERS OF GYPSUM BOARD WHERE FLOOR IS 9'02" O.C.
8. TRAY CEILING-SEE REFLECTED CEILING PLAN FOR MORE INFO.
9. FLOORING-SEE FRAMING WITH D.S.G. OR PLYWOOD SHEATHING-SEE STRUCTURAL PLANS FOR MORE INFO.
10. FLOOR FLOORING WITH D.S.G. OR PLYWOOD SHEATHING-SEE STRUCTURAL PLANS FOR MORE INFO. INSTALL CRACKING AND SHRINKAGE PER DET INSTRUCTIONS AND 124 INCH DET.
11. COMPLETE FLOOR FINISHES-SEE FINISHES SCHEDULE FOR MORE INFO.
12. DIMENSIONAL REPRESENTATION OF ON CONCRETE FOUNDATION-SEE STRUCTURAL PLANS FOR MORE INFO.
13. CLASS 1 VAPOR BARRIER OVER JOIST/RAUANT BARRIER IF 2" FAS WAS WITH REFROTHING MESH IN GARAGE/FLOOR.
14. FINISH GARAGE-SEE GARAGE PLANS.

NOTES:  
SEE 2/AQ.1a FOR PLUMBING GENERAL NOTES  
SEE 3/AQ.1a FOR MECHANICAL GENERAL NOTES  
SEE 4/AQ.1a FOR ELECTRICAL GENERAL NOTES  
SEE 4/AQ.1a FOR PLANT AND INTERIOR GENERAL NOTES  
SEE BID INSTRUCTIONS FOR INSULATION VALUES. INSULATION TO BE NOT LESS THAN AS  
INDICATED IN 124 BIDDING

## KEYNOTES

SECTION 5	1/4"	1
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SECTION 6	1/4"	2
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### ELEVATION GRID LINE KEY

ALL MEASUREMENTS SHOWN ABOVE AVERAGE NATURAL GRADE U.N.O.

- A. AVO. NATURAL GRADE LEVEL = 530.41' (AVG. OF 30.13' HIGHEST ADJACENT GRADE AND 530.75' LOWEST ADJACENT GRADE)
- B. 1ST FLOOR FIN. = 531.11' = 0'-8" RELATIVE TO AVO. NATURAL GRADE
- C. 131 FLOOR PLATE HEIGHT = 2'-0" @ 10" = 10" RELATIVE TO AVO. NATURAL GRADE
- D. 2ND FLOOR FIN. = 541.85' = 11'-5" RELATIVE TO AVO. NATURAL GRADE
- E. 2ND FLOOR PLATE HEIGHT = 1'-8" @ 8" = 19" RELATIVE TO AVO. NATURAL GRADE
- F. 3RD FLOOR PLATE HEIGHT = 1'-8" @ 8" = 19" RELATIVE TO AVO. NATURAL GRADE
- G. MAX. BELOW GRADE HEIGHT = 253.26' = 24'-0" RELATIVE TO AVO. NATURAL GRADE
- H. MAX. ALLOWED HEIGHT = 58.41' = 28'-0" RELATIVE TO AVO. NATURAL GRADE



RECEIVED

FEB 16 2016

CITY OF MENLO PARK  
BUILDING

**Studio S<sup>2</sup> Architecture, Inc.**

19 N. 2<sup>nd</sup> Street, Ste. 205

San Jose, CA 95113

ph: (408) 998-0983

fax: (408) 998-0982

esakai@studios2arch.com

February 16, 2016

**City of Menlo Park**

Planning Department

701 Laurel Street

Menlo Park, CA 94025

Re: 311 O'Keefe (John and Melanie Wagner Residence)

Studio S Squared job# 15003

Use Permit Application—Letter of Description

Dear Sir or Madam:

Thank you for taking the time to review our intake application. Below is our written "Letter of Description" as requested.

- PURPOSE: Use permit for new home on a substandard (<65' wide) lot in the R1-U zoning district.
- SCOPE: NEW SINGLE FAMILY CONSTRUCTION TO BE 2 STORY 4 BR, 3 BA HOUSE OF 2629.3 S.F LIVING AREA & 271.5 S.F GARAGE AREA TOTALING 2900.8 S.F ON A TOTAL SITE AREA OF 7417 S.F. EXISTING HOME TO BE DEMOLISHED.
- STYLE: "Modern Farmhouse"-influenced wood framed home with a combination of cement fiber board/batten and lap siding, painted metal railings, corrugated metal roof, clad wood double paned windows. Colors to be light tones and greys.
- BASIS FOR SITE LAYOUT: comply with city ordinances. Leave room for uncovered parking space within front setback with permeable parking area. Minimize presence of garage door on front elevation. Offer a balanced, interesting, modestly-scaled front elevation to the street.
- EXISTING/PROPOSED USES: Single family house/Single family house

E1

- NEIGHBOR OUTREACH: The property owner is in the process of conducting formal pre-hearing neighborhood outreach, and this will be completed during the 30 day review period.

Thank you for your assistance with our project. Please do not hesitate to call our office should you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to be 'EHS' with a stylized flourish.

**Eugene H. Sakai, AIA, LEED AP**  
President, Studio S<sup>2</sup> Architecture, Inc.

cc: Melanie and John Wagner  
file

**WAGNER RESIDENCE  
311 O'KEEFE ST. MENLO PARK, CA  
NEW BUILD PROJECT  
STUDIO S SQUARED – EUGENE SAKAI**

**COMMUNITY / NEIGHBORHOOD OUTREACH EFFORTS**

**HOSTED OPEN HOUSE ON 7/25**

**TWO NEIGHBORS ATTENDING AND WE TALKED / REVIEWED PLANS FOR THE PROPOSED NEW  
STRUCTURE AND BUILD PROJECT**

**BOTH WERE SUPPORTIVE OF THE PROJECT AND SIGNED LETTERS TO THAT EFFECT (BOTH HAVE BEEN  
SENT IN PREVIOUSLY TO BE ADDED TO OUR PROJECT FILE)**

**FOLLOWING THE OPEN HOUSE WE HAVE CANVASSED THE NEIGHBORHOOD GOING DOOR TO DOOR TO  
NEIGHBORS TO TALK ABOUT AND REVIEW THE PROJECT.**

**NEIGHBORS DIRECTLY BEHIND (98 BEACON ST.) HAVE HAD FACE TO FACE CONVERSATION AND THEY  
WERE POSITIVE ABOUT THE PROJECT BUT WERE NOT WILLING TO SIGN THE LETTER. SAID THEY HAD NO  
PROBLEM WITH THE NEW BUILD**

**NEIGHBOR TO OUR RIGHT (ANDERSON/SAINT AMAND) 315 O'KEEFE HAVE SIGNED LETTER FOLLOWING  
A SITDOWN IN THEIR HOUSE TO REVIEW PLANS AND PROJECT. THEY HAD NO OBJECTIONS (SIGNED  
LETTER)**

**NEIGHBOR TO OUR LEFT (VAN DER WHOO) 307 O'KEEFE ST. – HAVE TRIED SEVERAL TIMES TO REACH  
HIM AT HIM HOUSE. 2 ½ WEEKS AGO FINALLY CAUGHT UP WITH HIM AND DISCUSSED THE PROJECT  
AND SHARED PLANS FOR THE NEW BUILD. HE DID SAY HE WOULD THINK ABOUT IT OVER THAT EVENING  
AND GET BACK WITH ME THE FOLLOWING DAY. SINCE OUR INITIAL MEETING WE HAVE NOT HEARD  
FROM HIM. HE DID NOT VOICE OBJECTION OR APPROVAL ON THE PROJECT.**

**OUR NEIGHBORS @ 312 O'KEEFE ST. (EASON) HAVE REVIEWED THE PROJECT AND ARE IN FULL SUPPORT  
OF THE PROJECT (SIGNED LETTER)**

**NEIGHBOR BEHIND @ 625 LAUREL ST HAS REVIEWED THE PROJECT AND SAID SHE LIKES THE PROJECT  
AND WOULD BE IN SUPPORT OF THE PROJECT. (SIGNED LETTER)**

**WE HAVE HAD REVIEW/ CONVERSATIONS WITH OTHER NEIGHBORS ON OUR STREET AT O'KEEFE AND  
REGAL COURT AND ALL HAVE BEEN POSITIVE ABOUT THE PROJECT AND STATED THEY ARE EXCITED  
THAT THE NEIGHBORHOOD / STREET CONTINUES TO EXPERIENCE INVESTMENT AND UPDATING.**

**THERE ARE CURRENTLY A NUMBER OF UPDATES AND REMODELS TAKING PLACE OR PLANNED ON THE  
STREET. OUR PROJECT ADDS TO THOSE.**



**Planning Department**

City of Menlo Park

Re: 311 O'Keefe St.

Dear Sir or Madam:

I have reviewed the plans for the proposed project at the above address with the property Owner, and have no objections at this time.

Sincerely,

Molly & Chandler Eason 7/19/15  
(name) (date)

312 O'Keefe Street  
(street address)

Menlo Park, CA 94025  
(City/State/Zip)

Additional Comments:

None

**Planning Department**

City of Menlo Park

Re: 311 O'Keefe St.

Dear Sir or Madam:

I have reviewed the plans for the proposed project at the above address with the property Owner, and have no objections at this time.

Sincerely,

Katherine Strehl 7/19/2015  
(name) (date)

625 Laurel Ave  
(street address)

Menlo Park CA 94025  
(City/State/Zip)

Additional Comments:

**Planning Department**

City of Menlo Park

Re: 311 O'Keefe St.

Dear Sir or Madam:

I have reviewed the plans for the proposed project at the above address with the property Owner, and have no objections at this time.

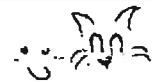
Sincerely,

Ellen J St. Amant 8/5/15  
(name) (date)

315 O'Keefe Street  
(street address)

Menlo Park, CA 94025  
(City/State/Zip)

Additional Comments:



E6

## City of Menlo Park

Re: 311 O'Keefe St.

Dear Sir or Madam:

I have reviewed the plans for the proposed project at the above address with the property Owner, and have no objections at this time.

Sincerely,

Susan Austin 8-23-15  
(name) (date)

403 O'Keefe St.  
(street address)

Menlo Park CA 94025  
(City/State/Zip)

Additional Comments:

# Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

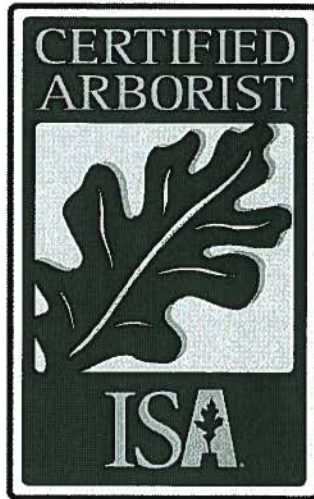
San Mateo, CA 94403

650-515-9783

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JAN 26 2016

CITY OF MENLO PARK  
BUILDING



Tree Report For Construction  
at 311 O'keefe Menlo Park  
6/1/2015 Revised 7/27/2015  
Revised again on 10/16/2015  
Revised again on 1/25/2016



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Page #3- Survey

Page #4-5 Testing, Test Results, Summary, Picture Of Roots.

Page #5-6 Mitigation, Tree Protection Plan

Page #7 Glossary

# Kielty Arborist Services

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

Mr. John Wagner  
311 O'keefe  
Menlo Park, CA

June 1, 2015 Revised, 7/27/15, Revised 10/16/15, Revised 1/25/16

## **Background:**

I am a certified arborist (WE#0476A) with experience of more than 35 years in the tree care industry. I have experience in providing tree protection plans for construction, arborist's reports, hazard tree analysis, expert witness testimony, and pruning recommendations. I have smoothly worked with many of the town arborist on the peninsula to ensure that trees are not damaged during construction.

## **Assignment:**

Dear Mr. John Wagner, here is a list of things you asked me to cover on this assignment.

1. You asked me to perform a survey of all the trees on site, also on any neighbors trees that could be affected by construction. In this section I will provide you with comments on the trees health and structure.

2. You asked me to dig an exploratory trench with an air spade, where the proposed foundation of the new house would start to see what kind of damage if any at all would occur to the root zone for tree number 4, located on the south east side of the existing home.

3. You asked me to provide you with detailed instructions on setting up a tree protection plan.

## **Limits Of Assignment:**

I did not perform an aerial inspection or a detailed root crown inspection on any of the surveyed trees.

(1)

311 O'keefe Menlo Park 6/1/15 Revised 7/27/15, Revised 10/16/15, Revised 1/25/16

### **Survey Methods**

All inspections were made from the ground; the tree was not climbed for this inspection. The tree in question was located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

### **Purpose And Use Of The Report:**

This report is to be used as guidelines on how to protect the trees on site during and after construction. Also to determine safety of the trees and how to care for the trees, and to determine if the proposed new footing of the house would affect tree number 4. This report is to be sent to the city of Menlo Park as a part of the submittal process.

### **Survey**

Tree#	Species	DBH	CON	HT/SP	Comments
1	Coast live oak ( <i>Quercus agrifolia</i> )	32.8	50	35/45	Fair vigor, poor form, codominant at 5 feet, with included bark, cables installed in past for support, pruned for line clearance.
2*	Coast live oak ( <i>Quercus agrifolia</i> )	25est	65	35/30	Fair vigor, fair form, 15 feet from property line, 2 feet from foundation of neighbors home, canopy of tree extend over property, lions tailed (poor pruning).

(2)

F4

3	Flowering plum ( <i>Prunus cerasifera</i> )	5x6	40	15/15	Poor-fair vigor, poor form, multi leader at base, topped, in decline.
4	Coast live oak ( <i>Quercus agrifolia</i> )	27.8	50	40/30	Good vigor, poor-fair form, weak crotches with included bark, possible decay where old limbs have been removed.
5*	Coast live oak ( <i>Quercus agrifolia</i> )	18est	55	30/40	Good vigor, poor form, codominant at 5 feet with included bark.
6*	Coast live oak ( <i>Quercus agrifolia</i> )	20est	50	40/45	Good vigor, poor form, leans east, good screen of neighbors property.
7*	Pittosporum ( <i>Pittosporum eugenioides</i> )	10-10est	40	15/15	Good vigor, poor form, codominant at base, topped, serves as screen
8*	Pittosporum ( <i>Pittosporum eugenioides</i> )	6x3	40	15/15	Good vigor, poor form, multi leader at base, topped, serves as screen.
9*	Pittosporum ( <i>Pittosporum eugenioides</i> )	6x3	40	15/15	Good vigor, poor form, multi leader at base, topped, serves as screen.
10*	Coast live oak ( <i>Quercus agrifolia</i> )	4.2	30	15/15	Good vigor, poor form, girdled by chain link fence, shared tree.
11*	Coast live oak ( <i>Quercus agrifolia</i> )	4.3	30	15/15	Good vigor, poor form, girdled by chain link fence, shared tree.

### **Testing**

The proposed new homes foundation will be located 6.5 feet away from tree number 4. To explore what kind of root trauma would result in the new proposed foundation, a trench was hand dug using a combination of an air spade and hand tools. The trench was 20 feet long and 2 feet deep. This foundation near oak tree #4 is going to consist of a pier and grade beam foundation, this will help minimize root the root trauma to the tree compared to the previous slab on grade foundation that was proposed.

### **Test results:**

- 1) A total of 7 roots were found.
- 2) The largest of the 7 roots measured 2.7 inches in diameter.
- 3) The remaining roots were all under 2 inches in diameter.



### **Summary:**

The trees on site are a mix of native trees and imported trees. There are a total of 7 coast live oaks surrounding the property. Three of the seven oaks are neighbors trees and will not be effected by construction. Oaks numbered ten and eleven are not of heritage size and are shared trees on the property line. Both of these trees are being girdled by a metal chain link fence. They have grown right through the fence and is the reason for a poor condition rating. The coast live oak in the front yard has fair vigor with poor form. This tree is codominant at 5 feet with included bark. Cables were once installed in the tree for needed support of the two codominant leaders. This tree has also been pruned for line clearance, as a result the trees canopy has grown wide instead of tall. Because of this, the scaffold limbs are very heavy and would benefit from a light pruning to remove end weight, making the tree safer.

(4)

311 O'keefe Menlo Park 6/1/15 Revised 7/27/15, Revised 10/16/15 Revised 1/25/16

Tree number 4 is a coast live oak and is expected to have minor root loss. Coast live oaks as a species have a good tolerance to root pruning. The largest root found was measured at 2.7 inches in diameter. The remaining 6 roots are all under 2 inches in diameter. The proposed homes pier and grade beam foundation will be 6.5 feet away from the face of the trunk to the actual cut line, including over excavation. The cut should not be less than 5 feet from the tree. The home will be cantilevered out 1.5 feet from the pier and grade beam foundation. The grade beam is to rest no lower than six inches below the existing grade. Piers should be limited in diameter and quantity. If possible a single span of 20 feet between two piers is suggested. If a middle pier is necessary, the design should include the ability to adjust its position a few inches one way or the other to minimize root damage. If roots are to be cut, they should be cut as cleanly as possible with loppers or a hand saw.

**Mitigation after root pruning is as followed:**

A minimal amount of root cutting will occur, as the foundation will be a pier and grade beam foundation with a depth of 6 inches maximum. After roots have been cut a deep watering should occur along with a slow release fertilizer that promotes new root growth. This deep watering shall be done once a month and stopped when winter rainfall has started. The following tree protection plan will help insure the health of the existing trees be retained.

**Tree Protection Plan:**

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips.

The proposed work will be within the tree protection zone for tree #4. After demolition of the existing home the tree protection fencing will be moved to facilitate excavation for the pier and grade beam foundation. At this time a letter will be provided to the city of Menlo Park to state when the tree protection was moved and to inspect that all other tree protection measures are in place. When fencing is to be moved to work in this area the site arborist must be on site to make sure the tree is not damaged during this time. A layer of mulch will be spread at a depth of 6 inches to a distance equal to the dripline of the tree to fight against compaction. All work done within the tree protection zone will be supervised by the site arborist until all work in this area is completed and the tree protection fencing is replaced.



(5)

311 O'keefe Menlo Park 6/1/15 Revised 7/27/15, Revised 10/16/15 Revised 1/25/16

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots.

Normal irrigation should be maintained throughout the entire length of the project. The imported trees (if kept) on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty  
Certified Arborist WE#0476A

David P. Beckham  
Certified Arborist WE#10724A

## Glossary

**Air spade:** The Air-spade® is a rugged and durable handheld tool that produces a stream of supersonic air moving at Mach 2. The Air-spade® effectively penetrates and dislodges most types of soil, but is harmless to non-porous objects such as plant roots, buried pipes, or cables.

**Ansi standards:** The ansi standards are guidelines to acceptable methods in the tree care industry.

**Aerial inspection:** Aerial inspection means that the tree needs to be climbed to asses.

**Buttress roots:** Buttress roots are thick roots that flare out from the base of a large tree.

**Callus tissue:** The formation of new tissue surrounding a recent wound. Callus tissue is what the tree forms when it is trying to heal itself.

**Codominant:** Term used to describe 2 or more leaders or main stems that are about the same diameter and emerge from the same location on the main trunk.

**Drip line:** The drip line is the area directly located under the outer circumference of the tree branches.

**Drill test:** A drill test is used to detect decay in trees. We drill into the tree until we feel the resistance get loose then we know we hit decay.

**DBH:** This stands for diameter at breast height.

**End weight reduction:** Is a pruning method where weight is taken off the end of large branches.

**Ganoderma:** Is a genus of polypore mushrooms that grow on wood.

**Included bark:** Included bark forms in the junctions of codominant stems where there is a narrow angle union meaning the junction looks like a "v" rather than a "u". As the tree grows the narrow union will essentially fill with bark and create a growing area of structural weakness in the tree.

**Oak root fungus:** Is a fungus that attacks the roots of trees.

(7)

311 Okeefe Menlo Park 6/1/15 Revised 7/27/15, Revised 10/16/15 Revised 1/25/16

**Root crown:** A root crown, also known as the root collar or root neck, is that part of a root system from which a stem arises.

**Root flare:** Root flare is at the base of the tree at the ground where you can just start to see the roots flare out.

**Scaffold branches:** are primary limbs that form in trees canopy.

**Spread footing:** A spread footing is a type of structural component that acts as a base for a building's foundation.

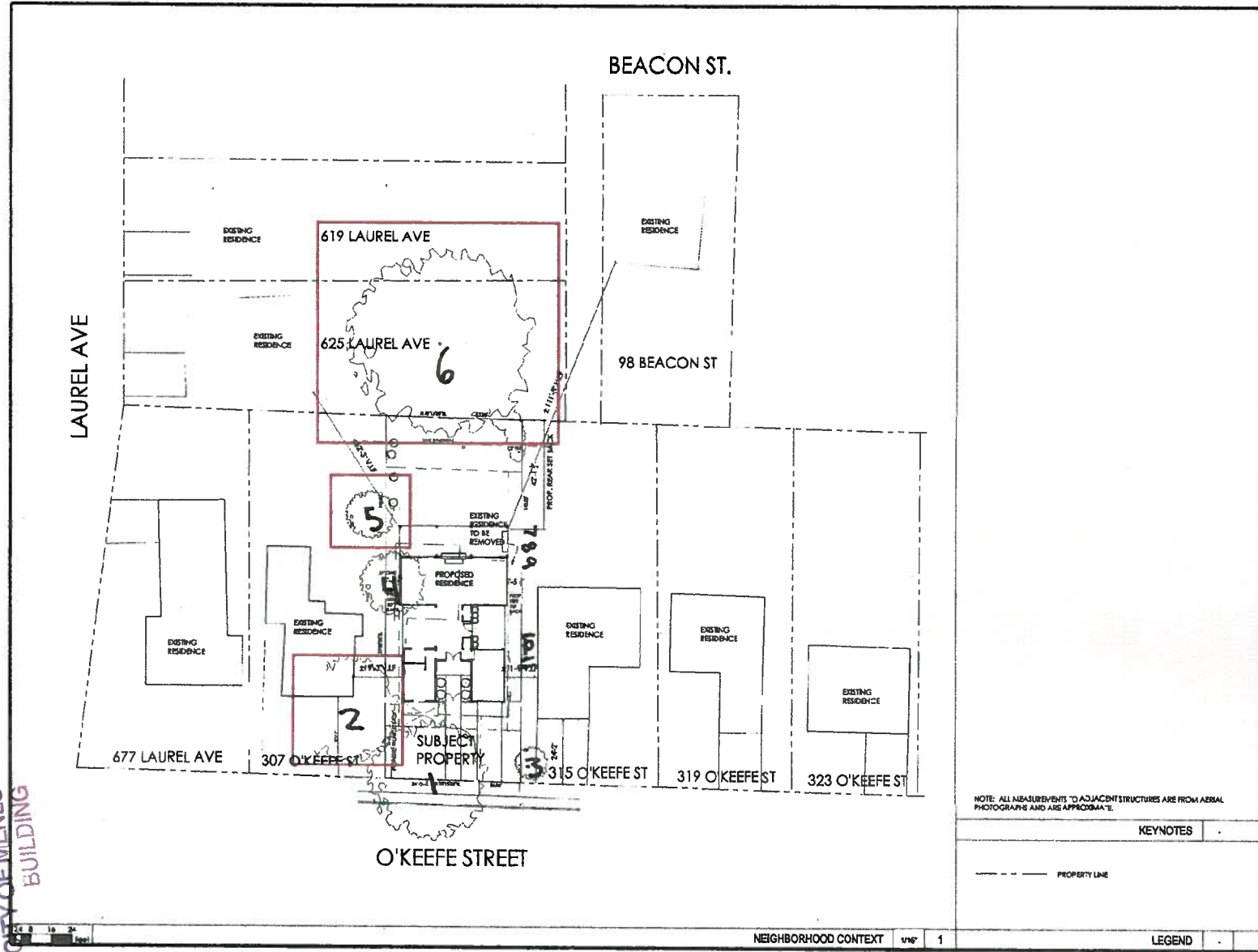
**Tree protection zone:** Tree protection zones are the minimum required distances where tree protection is to be put in place so that no construction activity of any kind will take place inside the tree protection zone.

11-1

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DEC 14 2015

CITY OF MENLO PARK  
BUILDING



NOTE: ALL MEASUREMENTS TO ADJACENT STRUCTURES ARE FROM AERIAL PHOTOGRAPHS AND ARE APPROXIMATE.

KEYNOTES	
---	PROPERTY LINE
LEGEND	



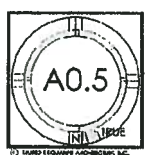
19 N. 2ND ST., Ste. 205  
San Jose, CA 95113  
P : (408) 998-0983  
F : (408) 404-0144

WAGNER RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
311 O'KEEFE ST. MENLO PARK CA  
MELANIE AND JOHN WAGNER



DATE	REVISION	BY	CHK	SR
07.22.2015	USE PERMIT SUBMITTAL			
12.09.2015	USE PERMIT SUBMITTAL			

AREA PLAN



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## STAFF REPORT

### Planning Commission

**Meeting Date:**

**2/22/2016**

**Staff Report Number:**

**16-015-PC**

**Regular Business:**

**2015 Annual Report on the Status and Progress in  
Implementing the City's Housing Element**

### Recommendation

Staff recommends that the Planning Commission consider the report and provide comments and/or a recommendation to the City Council on the 2015 Housing Element Annual Report.

### Policy Issues

The preparation and submittal of the Housing Element Annual Report to the state Housing and Community Development Department (HCD) and Governor's Office of Planning and Research (OPR) is required by State law. The Annual Report documents past housing-related activities, but does not authorize the implementation of programs or expenditure of funds.

### Background

Government Code 65400 requires each governing body to prepare an annual report on the status and progress of implementing the jurisdiction's Housing Element of the General Plan using forms and definitions adopted by the HCD. Housing Element Annual Reports are due April 1 of each year for the calendar year immediately preceding the April 1 reporting deadline. Therefore, this year's report evaluates the implementation programs of the 2015-2023 Housing Element between the time period January 1 and December 31, 2015. This is the first report for the planning period.

As part of the Housing Element Annual Review process, staff will be seeking input from the Planning Commission and Housing Commission prior to presenting the report to the City Council. At the Planning Commission meeting, Commissioners and the public will have an opportunity to provide comments on the Annual Report. The Housing Commission is scheduled to review and comment on the Annual Report at its meeting on March 2, 2016. Staff will forward comments and any additional refinements to the report to the City Council for review, which is tentatively scheduled for March 15, 2016.

### Analysis

Attachment A includes the 2015 Housing Element Annual Report. The Annual Report includes a review on the status of implementation programs and consists of an inventory of housing production in the City. This staff report highlights a few key accomplishments and other programs that are in progress and will be continued in 2016, in more detail below.

## **Implementation Programs**

### *MidPen Housing*

Housing Element Program H4.Q (Achieve Long-Term Viability of Affordable Housing) states that the City should work with non-profits and other project sponsors to implement the City's Preferences for Affordable Housing policy (Policy H4.13). The City has closely coordinated with MidPen Housing on its 90-unit affordable senior development located at 1221 Willow Road. Recognizing the challenges of providing affordable housing in the region, MidPen was able to maximize its resources with the City's financial and technical assistance. The subject site was identified as a housing opportunity site and rezoned for higher density housing with an affordable housing overlay (AHO) as part of the 2007-2014 Housing Element. Through the 2013-2014 Notice of Funding Availability (NOFA) process, the City Council awarded MidPen up to \$3.2 million from the City's Below Market Rate (BMR) housing fund for use towards the development of the project, and further contributed to the feasibility of the project by supporting the abandonment of a portion of right-of-way along Willow Road, a sidewalk easement, and public utility easements (PUE) to address circulation and access challenges of the site. Furthermore, the City granted fee waivers for the processing of the project per the requirements established in the AHO. In exchange for fee waivers and other incentives, the MidPen development is deed restricted for extremely-low (up to 30% of Area Median Income) and very low-income (31% to 50% of Area Median Income) senior households (age 62 years and older). Of the 90 units, 20 units have been established with preferences for people who live and/or work in Menlo Park with deed restriction periods of 55 years. Building permits are anticipated to be issued in the coming weeks, and then the units will be counted towards the City's 2016 Annual Report. The deed restricted units at the lower income household levels serves a void in the City's affordable housing portfolio.

### *Notice of Funding Availability*

Program H1.H (Utilize the City's Below Market Rate (BMR) Housing Fund) requires the City to administer and advertise at least every two years the availability of funds in the BMR housing fund as it applies to residential, commercial and industrial projects. The objective of the NOFA is to support the acquisition, rehabilitation or new construction of housing that will provide long term affordability. The funding is intended to fill the financing gap between projected total development costs and other available funding sources. In July 2015, the City released its second NOFA, announcing that approximately \$7.8 million of BMR funds are available. As part of this NOFA, the Council supported several changes to the requirements in an effort to increase the interest level and number of responses. The modifications were 1) a reduction in the number of completed affordable housing projects, 2) to encourage, rather than require, that an applicant's previous projects be of similar size and complexity, and 3) to allow an entity to submit as an individual and a team. The City received three applications, which is an increase from the one application received during the 2013 NOFA. Staff is in the process of reviewing the applications and will be scheduling a study session with the City Council in the coming months.

### *Affordable Housing Nexus Study*

As part of a collaborative effort working with 13 jurisdictions in San Mateo County, San Mateo County and the City of Palo Alto, the City is pursuing an affordable housing nexus study. The nexus study would



provide a defensible analysis to maintain legal justification for the City's BMR Housing Program, which includes both inclusionary zoning and affordable housing impact fees for commercial developments. Participation in this effort supports Program H4.D (Update the BMR Fee Nexus Study). Much of the work has been done, but had been put on hold given limited staffing resources. Staff believes that the nexus study can be finalized in time to become part of a larger dialogue around housing that the Council has requested. A study session with the Council to introduce the nexus study framework and other options to address affordable housing and other housing-related issues such as displacement, would be the likely next step and occur in the late Spring. The Housing Commission and Planning Commission will have opportunities to provide input on the nexus study, and the City Council will ultimately have a policy decision to make on whether to modify the City's BMR Program and/or adopt any other housing-related ordinances.

### *General Plan Update*

The City is engaged in updating its Land Use and Circulation Elements of the General Plan. While the General Plan Update is not an implementation program of the Housing Element, a number of programs have been slated to be considered as part of the General Plan update timeframe. Some of the programs directly relate to or are influenced by the current work of the General Plan and should be implemented concurrently with the Update, while other programs may be more appropriate, given the topic or geographic focus, to be considered for implementation at a future date. For example, Program H4.N (Create Opportunities for Mixed Use Development) seeks to explore opportunities to modify zoning to allow residential uses in commercial zones dependent on proximity to other services and transit and the preservation of viable local-serving commercial uses. Through the General Plan process of identifying desired land uses and locations for such land uses, smaller scale mixed-use developments at key locations along the Willow Road Corridor emerged as a potential change to the area. To implement that, staff may be proposing modifications to the C-2-B zoning district to allow for residential in mixed use developments where residential uses are not currently permitted. Other Programs such as H4.J (Consider Surplus City-Owned Land for Housing) may not be as timely because there is no City-owned surplus land in the M-2 geographic area of the General Plan Update.

Below is Table 1, which lists the Housing Element programs to be considered as part of the General Plan Update. The Commission may wish to provide input on which programs should be prioritized. Staff will also note that several other Housing Element programs were targeted for the 2016 timeframe. These programs such as H1.G (Adopt an Anti-Displacement Ordinance) and H2.A (Adopt Ordinance for "At Risk" Units) can be further discussed and considered as part of the larger housing dialogue with the Council on various housing strategies and City priorities to addressing housing concerns, tentatively scheduled for late Spring 2016.

Table 1: Housing Element Programs to be Considered During the General Plan Update Timeframe	
Program No.	Housing Element Program
H2.C	Amend the Zoning Ordinance to Protect Existing Housing
H3.G	Develop Incentives for Special Needs Housing
H4.A	Modify R-2 Zoning to Maximize Unit Potential
H4.I	Create Multi-Family Residential Mixed Use Design Guidelines
H4.J	Consider Surplus City Land for Housing
H4.L	Coordinate with School Districts to Link Housing with School District Planning Activities
H4.M	Review the Subdivision Ordinance
H4.N	Create Opportunities for Mixed Use Development
H4.O	Review Transportation Impact Analysis Guidelines
H.4.S	Explore Creation of a Transportation Management Association
H4.T	Explore Pedestrian and Bicycle Improvements (coordination with Redwood City)

As part of the 2014 Annual Review Planning Commission staff report, staff discussed the potential for several Zoning Ordinance amendments related to the secondary dwelling unit ordinance, the R-3 (Infill Around Downtown) zoning district, and items treated to accessory buildings and structures. These amendments were considered minor “clean up” amendments that would provide clarity and minimize ambiguity, and would not result in an increase in density or intensity in development that was not previously considered. With the staffing levels and priority on the General Plan Update, the El Camino Real/Downtown Specific Plan, and the processing of development projects, staff was unable to bring forward the Zoning Ordinance amendments for consideration in 2015. As part of the General Plan Update process, staff will be considering several housing programs that could trigger Zoning Ordinance amendments. For efficiencies, staff will consider bundling the “clean up” Zoning Ordinance amendments with other housing-related zoning ordinances that may come concurrent with or following the General Plan update.

### **Housing Production**

In 2015, the City experienced unprecedented housing production with the issuance of building permits for 748 net new dwelling units. A majority of the units are located within three large, multi-family residential developments that were previously identified as housing opportunity sites for higher density housing in the 2007-2014 Housing Element. Two of the developments are located along Haven Avenue and one development is on Hamilton Avenue, and all three are expected to be completed in 2016. Of the 394 units in the St. Anton development on Haven Avenue, 37 units will be dedicated affordable to very low- and low-

income households.

During 2015, the first residential building permits under the El Camino Real/Downtown Specific Plan were also issued. The project yielded three new residential units at 612 College Avenue. In addition, the City issued an unprecedented number of building permits for secondary dwelling units. Eight building permits were issued for secondary dwelling units. One of the building permits was for the conversion of a detached garage into a secondary dwelling unit, taking advantage of the limited-time conversion provision in the Zoning Ordinance that allows certain nonconformities to remain. Two more applications are pending. The conversion process for legally built and constructed accessory buildings into secondary dwelling units was established in 2015 and extended in 2015 for an additional year. The program will sunset on June 13, 2016, unless the City Council, by resolution, extends the effective date. Staff recommends that the program be extended for an additional year, and will bring a resolution for the Council's consideration in the next few months.

While the City's housing production for the year exceeds the City's Regional Housing Need Allocation of 655 units for the 8-year planning period, the City's numbers for affordable housing are not yet close to being met. The upcoming study session on housing will be an opportunity to discuss ways to obtain and retain affordable housing in the City.

### **Impact on City Resources**

There are no impacts to City resources besides the preparation of the report. Program implementation may have impacts to staffing resources and/or projects/priorities.

### **Environmental Review**

The Housing Element Annual Report is not considered a project. Implementation of Housing Programs may be subject to the California Environmental Quality Act (CEQA), and each program will be evaluated on a case-by-case basis.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. In addition, the City sent an email update to the subscribers of the Housing Element webpage.

### **Attachments**

- A. 2015 Housing Element Annual Report
- B. Link to: Adopted Housing Element for the 2015-2023 Planning Period  
(<http://menlopark.org/DocumentCenter/View/4329>)

Report prepared by:  
Deanna Chow, Principal Planner

# ANNUAL ELEMENT PROGRESS REPORT

## *Housing Element Implementation*

(CCR Title 25 §6202 )

**Jurisdiction**      City of Menlo Park

**Reporting Period**      1/1/2015 - 12/31/2015

**Table A**

### Annual Building Activity Report Summary - New Construction Very Low-, Low-, and Mixed-Income Multifamily Projects

Housing Development Information									Housing with Financial Assistance and/or Deed Restrictions		Housing without Financial Assistance or Deed Restrictions
1	2	3	4				5	5a	6	7	8
Project Identifier (may be APN No., project name or address)	Unit Category	Tenure R=Renter O=Owner	Affordability by Household Incomes				Total Units per Project	Est. # Infill Units*	Assistance Programs for Each Development	Deed Restricted Units	Note below the number of units determined to be affordable without financial or deed restrictions and attach an explanation how the jurisdiction determined the units were affordable. Refer to instructions.
			Very Low- Income	Low- Income	Moderate- Income	Above Moderate- Income			See Instructions	See Instructions	
3639 Haven Ave. (St. Anton)	5+	R	22	15	0	357	394	394		DB; BMR Ordinance	
1390 Garden Ln.	SDU	R									
220 Haight St.	SDU	R									
746 Hermosa Way	SDU	R									
331 Oak Ct.	SDU	R									
323 O'Keefe St.	SDU	R									
529 Pope St.	SDU	R									
2161 Sharon Rd.	SDU	R									
1475 Woodland Ave.	SDU	R									
SDU Subtotal	SDU	R	3	5	0	0	8	8			
(9) Total of <b>Moderate and Above Moderate</b> from Table A3 ▶▶			0	346	346	346					
(10) Total by income Table A/A3 ▶▶			25	20	0	703	748	748			
(11) Total <b>Extremely Low-Income</b> Units*											

\* Note: These fields are voluntary

Second Unit (SU) affordability is consistent with the Housing Element assumptions and based on a survey of San Mateo County jurisdictions.

**ANNUAL ELEMENT PROGRESS REPORT**  
***Housing Element Implementation***  
 (CCR Title 25 §6202 )

**Jurisdiction** City of Menlo Park  
**Reporting Period** 1/1/2015 - 12/31/2015

**Table A2**

**Annual Building Activity Report Summary - Units Rehabilitated, Preserved and Acquired pursuant to GC Section 65583.1(c)(1)**

Please note: Units may only be credited to the table below when a jurisdiction has included a program in its housing element to rehabilitate, preserve or acquire units to accommodate a portion of its RHNA which meet the specific criteria as outlined in GC Section 65583.1(c)(1)

Activity Type	Affordability by Household Incomes				(4) The Description should adequately document how each unit complies with subsection (c )(7) of Government Code Section 65583.1
	Extremely Low-Income*	Very Low-Income	Low-Income	TOTAL UNITS	
(1) Rehabilitation Activity				0	
(2) Preservation of Units At-Risk				0	
(3) Acquisition of Units				0	
(5) Total Units by Income	0	0	0	0	

\* Note: This field is voluntary

**Table A3**

**Annual building Activity Report Summary for Above Moderate-Income Units  
(not including those units reported on Table A)**

	1. Single Family	2. 2 - 4 Units	3. 5+ Units	4. Second Unit	5. Mobile Homes	6. Total	7. Number of infill units*
No. of Units Permitted for <b>Moderate</b>	0	0	0	0	0	0	0
No. of Units Permitted for <b>Above Moderate</b>	2	3	341	0	0	346	346

\* Note: This field is voluntary

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**Table B**  
**Regional Housing Needs Allocation Progress**

**Permitted Units Issued by Affordability**

Enter Calendar Year starting with the first year of the RHNA allocation period. See Example.		2015	2016	2017	2018	2019	2020	2021	2022	2023	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Income Level		RHNA Allocation by Income Level	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	
Very Low	Deed Restricted	233	22								22	208
	Non-deed restricted		3								3	
Low	Deed Restricted	129	15								15	109
	Non-deed restricted		5								5	
Moderate	Deed Restricted	143	0								0	143
	Non-deed restricted		0								0	
Above Moderate		150	703								703	-553
Total RHNA by COG. Enter allocation number:		655	748								748	-93
Total Units   ► ► ►												
Remaining Need for RHNA Period   ► ► ► ► ►												

Note: units serving extremely low-income households are included in the very low-income permitted units totals.



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**Table C**

**Program Implementation Status**

Program Description (By Housing Element Program Names)		<b>Housing Programs Progress Report - Government Code Section 65583.</b> Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.	
<b>Name of Program</b>	<b>Objective</b>	<b>Timeframe in H.E.</b>	<b>Status of Program Implementation</b>
H1.A Establish City Staff Work Priorities for Implementing Housing Element Programs	Establish staff priorities for implementing Housing Element Programs	Annually	This will be done annually as part of the annual Housing Element review.
H1.B Review the Housing Element Annually	Review and monitor Housing Element implementation; conduct public review with the Housing Commission, Planning Commission and City Council, and submit Annual Report to HCD	Annually	Annual Review for the 2014 calendar year was accepted by the City Council on March 24, 2015 and submitted to HCD for review. Using forms provided by HCD, the 2015 Annual Review was undertaken between February and March 2016, and reviewed by the Housing Commission, Planning Commission and accepted by the City Council.
H1.C Publicize Fair Housing Laws and Respond to Discrimination Complaints	Obtain and distribute materials (see Program 1H.D)	Ongoing	Materials available at the counter at City Hall and on the City's Web site.
H1.D Provide Information on Housing Programs	Obtain and distribute materials at public locations; conduct staff training	Annually	Materials available at the counter at City Hall and on the City's Web site. Housing Commission meetings are conducted on a quarterly basis, at a minimum. Agendas and notices are posted at City Hall and on the City's website. A mailer was distributed to all households and businesses in the City to promote the Energy Upgrade California, which allows eligible recipients to receive cash rebates for energy efficiency upgrades.
H1.E Undertake Community Outreach When Implementing Housing Element Programs	Conduct community outreach and distribute materials (see Programs H1.C and 1H.D)	Consistent with program timelines	Materials available at the counter at City Hall and on the City's Web site. Housing Commission meetings are conducted on a quarterly basis, at a minimum. Agendas and notices are posted at City Hall and on the City's website. Email notifications are also sent to interested parties. Additional outreach to targeted populations and interested parties depending on program.
H1.F Work with the San Mateo County Department of Housing	Coordinate with County efforts to maintain and support affordable housing	Ongoing	Coordination has occurred as part of the countywide 21 Elements process, coordination with the Department of Housing and other jurisdictions on a countywide nexus study and coordination in implementing Housing Element programs. The City also maintains a City Council representative on the Closing the Jobs/Housing Gap Task Force, which was established by the County of Board of Supervisors to address the regional affordable housing issues.
H1.G Adopt an Anti-Discrimination Ordinance	Undertake Municipal Code amendment and ensure effective implementation of anti-discrimination policies and enforcement as needed	2016	No activity to date.

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H1.H Utilize the City's Below Market Rate (BMR) Housing Fund	Accumulate and distribute funds for housing affordable to extremely low, very low, low and moderate income households	Ongoing	The City issued a Notice of Funding Availability (NOFA) in July 2013, and awarded MidPen a loan for up to \$3.2 million for an affordable senior development at 1221 Willow Road in September 2014. In June 2015, the Community Development Director issued a compliance letter indicating that the proposed 90-unit senior development is in compliance with the zoning regulations and design standards. In July 2015, the City issued its second NOFA for new affordable rental projects. Approximately \$7.8 million BMR housing funds are available under the NOFA to support the acquisition, rehabilitation and/or construction of housing that will provide long-term affordability. Staff is in the process of reviewing the three applications received. In late 2015, the 60-unit affordable housing development at 605 Willow Road (at the Veterans Affairs Campus) was completed. The City provided financial assistance to the project with a \$2.86 million loan from the Below Market Rate Housing (BMR) funds.
H1.I Work with Non-Profits on Housing	Maintain a working relationship with non-profit housing sponsors	Ongoing	The City has worked closely with MidPen to assist in their application submittal to redevelop its property on the 1200 block of Willow Road from 48 dwelling units to 90 dwelling units, including an application to abandon a portion of the public right-of-way for the proposed project, as well as other supportive documents needed for financing of the project. In June 2015, the City determined the MidPen project to be in compliance with the R-4-S (AHO) standards. The City will continue to undertake outreach to non-profit housing sponsors throughout the 2015-2023 Housing Element period. Annual funding provided to HIP and HEART.
H1.J Update the Housing Element	Assure consistency with SB375 and Housing Element law	2023	Completed. The City Council adopted the 2015-2023 Housing Element on April 1, 2014, and was certified by HCD on April 16, 2014.
H1.K Address Rent Conflicts	Resolve rent conflicts as they arise	Ongoing	No activity to date. Staff is not aware of any rental disputes that have been brought to the City's attention.
H1.L Update Priority Procedures for Providing Water Service to Affordable Housing Developments	Comply with Government Code Section 65589.7	2015 and 2020 (as part of Urban Water Management Plan updates)	Program completed in February 2014. No additional work on this program is needed at this time.
H1.M Lobby for Changes to State Housing Element Requirements	Work with other San Mateo County jurisdictions and lobby for modifications to Housing Element law (coordinate with Program H1.B)	Ongoing	Meet with State Representative and other jurisdictions and provided input on proposed legislation as needed.
H2.A Adopt Ordinance for "At Risk" Units	Protect existing affordable housing	2016	There are no "at risk" subsidized affordable units in Menlo Park at the current time. "At risk" units are those that appear to be in danger of conversion from subsidized housing units to market rents. No activity to date.

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H2.B Promote Energy Efficient/Renewable Programs	50 or more homes and businesses participating in a program	Establish policy and programs by 2017; Participation rate by 2022	The City, in partnership with San Mateo County and BayRen, hosted a home energy upgrade workshop attended by 27 people in April 2015. One hundred Belle Haven residents participated in a solar workshop. The workshop was the result of the City, non-profits Grid Alternatives and Menlo Spark, and Facebook working together. Grid Alternatives presented their solar installation program for low income households and Menlo Spark explained how they had worked with Facebook to make a significant donation, allowing qualifying Belle Haven homeowners to receive free solar systems. 53 households participated in the City's Washing Machine Rebate programs administered by both the Menlo Park Municipal Water District and PG&E. In 2015, a total of 6 Menlo Park properties participated in the HERO Program which is a Property Assessed Clean Energy (PACE) financing program. PACE allows qualified property owners the ability to finance renewable energy and water efficient retrofits through a voluntary special assessment or tax placed on their annual tax bill. The 6 completed projects amount to 946,792 KWh in energy savings, a reduction of 88 tons of GHG emissions, and 308,000 gallons of water saved.
H2.C Amend the Zoning Ordinance to Protect Existing Housing	Protect existing rental housing as part of infill implementation and other Zoning Ordinance changes	Consider as part of the City's General Plan Update (2014-2017)	No activity to date. Staff will be considering whether such changes will be considered as part of the General Plan Update.

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H2.D Assist in Implementing Housing Rehabilitation Programs	Apply to the County for CDBG funds to provide loans to rehabilitate very low and low income housing (20 loans from 2015-2023)	2015-2023	The County has temporarily stopped administering the CDBG rehabilitation loan program, except in emergency situations.
H3.A Zone for Emergency Shelter for the Homeless	Amend the Zoning Ordinance	2014; concurrent with RHNA 5 Housing Element Update	Completed. Ordinance adopted on April 29, 2014. Ordinance identifies the location of the overlay to allow an emergency shelter for the homeless for up to 16 beds as a use by right and includes standards consistent with State law as established in SB2.
H3.B Zone for Transitional and Supportive Housing	Amend the Zoning Ordinance	2014; concurrent with RHNA 5 Housing Element Update	Completed. Ordinance adopted on April 29, 2014 to update the definitions of transitional and supportive housing to be consistent with State law and adds transitional, supportive housing and small (6 or fewer) residential care facilities as part of the definition of a "dwelling" in the Zoning Ordinance so these uses are treated the same way as other residential uses as required by State law under SB2.
H3.C Adopt Procedures for Reasonable Accommodation	Amend the Zoning Ordinance and/or modify administrative procedures; create public handout	2014; concurrent with RHNA 5 Housing Element Update	Completed. Ordinance adopted April 29, 2014 to establish procedures, criteria and findings for enabling individuals with disabilities to make improvements and overcome barriers to their housing.
H3.D Encourage Rental Housing Assistance Programs	Provide assistance at current Section 8 funding levels to assist 220 extremely low and very low-income households per year (assumes continued funding of program)	2015-2023	There are 211 households provided rental assistance in Menlo Park through Section 8 and other programs. In addition, many of the tenants at the new 60-unit affordable housing project at the VA Campus receive rental assistance, including project-based HUD VASH (Veterans Affairs Supportive Housing) from the Housing Authority of San Mateo County and HUD-VASH tenant based assistance.
H3.E Investigate Possible Multi-Jurisdictional Emergency Shelter	Coordinate in the construction of homeless facility (if determined feasible)	Longer term program as the opportunity arises	There are no plans for a specific facility at this time.
H3.F Assist in Providing Housing for Persons Living with Disabilities	Provide housing and services for disabled persons	Ongoing	Annual funding provided to HIP.
H3.G Develop Incentives for Special Needs Housing	Amend the Zoning Ordinance to provide opportunities for housing and adequate support services for seniors and people living with disabilities	Consider as part of the City's General Plan Update (2014-2017)	The City's Affordable Housing Overlay (AHO), which was established in 2013, was applied to MidPen's 90-unit affordable, senior housing development. Along with financial incentives, the AHO provides density bonuses and a parking reduction for senior housing. Additional Zoning Ordinance amendments will be considered as part of the General Plan Update.
H3.H Continue Support for Countywide Homeless Programs	Support housing and services for the homeless and at-risk persons and families	Ongoing	The City has continued to support HEART and has participated in countywide activities to address homeless needs. In addition, through the City's Community Funding program, the City supports Inn Vision Shelter Network.

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H3.I Work with the Department of Veterans Affairs on Homeless Issues	Coordination in addressing the needs of the homeless	2014; ongoing thereafter	In January 2014 the City Council authorized a loan increase from the City's BMR funds to CORE Housing for up to \$2.86 million for affordable housing at 605 Willow Road (Veterans Affairs Campus). The development includes 60 dwelling units and would provide permanent housing to extremely low- and very low-income veterans. The development received its certificate of occupancy in December 2015.
H4.A Modify R-2 Zoning to Maximize Unit Potential	Amend the Zoning Ordinance to minimize underutilization of R-2 development potential	Consider as part of the City's General Plan Update (2014-2017)	Issues and strategies to be considered as part of the General Plan Update (2014-2016).
H4.B Implement Inclusionary Housing Regulations	Implement requirements to assist in providing housing affordable to extremely low, very low, low and moderate income households in Menlo Park	Ongoing	To comply with the City's BMR Ordinance for commercial and industrial projects, new commercial/industrial development (meeting certain criteria) in the City contributed \$2,387,380.00 of BMR in-lieu fees to the City's BMR fund in 2015. The funds will be used to help house extremely low, very low, low and moderate-income households (see Program H1.H).
H4.C Modify BMR Guidelines	Amend the Zoning Ordinance to require affordable units in market rate developments	2015	Modification to the City's BMR Guidelines will be considered following completion of the Nexus Study, expected to be reviewed in 2016 (see Program H4.D).
H4.D Update the BMR Fee Nexus Study	Update to fees consistent with the nexus of potential impacts on affordable housing need	2015	The City is currently participating in a multi-jurisdictional nexus study that would provide a defensible analysis to maintain the legal justification for inclusionary zoning and affordable housing impact fees. The study is anticipated to be reviewed by the City Council in 2016.

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H4.E Modify Second Dwelling Unit Development Standards and Permit Process	Amend the Zoning Ordinance to reduce the minimum lot size to create greater opportunities for new second units to be built. Achieve Housing Element target for new second units (40 new secondary dwelling units between 2015-2023, with 5 per year) — 18 very low, 18 low and 4 moderate income second units.	2014; ongoing thereafter	Concurrent with the adoption of the 2007-2014 Housing Element in May 2013, the City of Menlo Park reviewed a Zoning Ordinance amendment for modifications to the Secondary Dwelling Unit Ordinance in recognition that secondary dwelling units can be a valuable source of affordable units because they often house family members at low or no cost, and many are limited in size and therefore, have lower rents. Besides making the City's ordinance compliant with State law, the Zoning Ordinance amendment included a number of revisions to provide greater flexibility in the development regulations to encourage more development of secondary dwelling units, which exceeds the target of 5 per year.  As part of the Housing Element for the 2015-2023 Housing Element, the City of Menlo Park continued this program to further explore opportunities for additional revisions to the Secondary Dwelling Unit Ordinance. In April 2014, the City Council adopted additional revisions to the secondary dwelling unit ordinance, including increasing the maximum unit size for units that comply with accessibility requirements, establishing a new daylight plane requirement in lieu of the wall height requirement, and providing flexibility in the tenancy requirement. Staff is considering additional amendments to help provide clarity in implementation between attached and detached secondary dwelling units. In 2015, building permits for 8 new secondary dwelling units were issued.
H4.F Establish a Process and Standards to Allow the Conversion of Accessory Buildings and Structures to a Secondary Dwelling Unit	Adopt procedures and requirements to allow conversion of accessory structures and buildings (15 new secondary dwelling units — 6 very low income, 6 low income and 3 moderate income units)	2014; review the effectiveness of the ordinance in 2015	In April 2014, the City adopted an ordinance, that would allow legally permitted accessory buildings that do not meet the setback requirements for a secondary dwelling unit to be converted to a secondary dwelling unit through an administrative permit process. This conversion process through the administrative permit process was set to expire in one year from ordinance adoption, but was extended in May 2015 for one additional year, expiring in June 2016. In 2015, staff received a number of general inquiries about the conversion process. Three applications for a conversion have been submitted thus far, and one building permit was issued in 2015.
H4.G Implement First-Time Homebuyer Program	Provide referrals	2015-2023	The City is referring first time homebuyers to HEART for down payment assistance since BMR funds are no longer available for this program. Information is available on the City's Housing webpage per Housing Programs H1.C and H1.D.
H4.H Work with Non-Profits and Property Owners on Housing Opportunity Sites	Identify incentives and procedures to facilitate development of housing affordable to extremely low, very low, low and moderate income households on higher density housing sites	Ongoing	The City continues to work with Mid-Pen Housing to implement the City's Affordable Housing Overlay Zone, which provides incentives for the creation of affordable housing, as part of MidPen's Gateway Apartments project; coordinated with CORE Housing for a 60-unit low income development at the Veterans Affairs facility; and reviewed and implemented State Density Bonus law for the creation of 23 deed restricted affordable units in a new 394-unit rental development on Haven Avenue (St. Anton Partners).



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H4.I Create Multi-Family and Residential Mixed Use Design Guidelines	Adopt design guidelines for multi-family and mixed use housing developments	Consider as part of the City's General Plan Update (2014-2017)	Program will be reviewed as part of the General Plan Update (2015-2016). As part of the General Plan Update, staff is proposing design standards as part of a new residential-mixed use zoning designation.
H4.J Consider Surplus City-Owned Land for Housing	Identify opportunities for housing as they arise	Consider as part of the City's General Plan Update (2014-2017)	No activity to date. Program will be reviewed as part of the General Plan Update (2015-2016).
H4.K Work with the Fire District	Undertake local amendments to the State Fire Code and approve City Council Resolution ratifying the Fire District's local amendments	2014 (in progress)	The City Council ratified local amendments to the State Fire Code on January 27, 2015
H4.L Coordinate with School Districts to Link Housing with School District Planning Activities	Coordinate and consider school districts long-range planning, resources and capacity in planning for housing	Ongoing with Housing Element program implementation. Consider as part of the City's General Plan Update (2014-2017)	Continued coordination on new residential development (unit type, timing, etc.) and implications for enrollment growth and facility planning with various school districts. Program is included in the 2015-2023 Housing Element and will be considered during the General Plan Update (2014-2016).
H4.M Review the Subdivision Ordinance	Modify the Subdivision Ordinance as needed	Consider as part of the City's General Plan Update (2014-2017)	Program will be reviewed as part of the General Plan Update (2014-2016).
H4.N Create Opportunities for Mixed Use Development	Conduct study and establish regulations to allow housing in commercial zones	Consider as part of the City's General Plan Update (2014-2017)	Program will be reviewed as part of the General Plan Update (2014-2016). Staff is proposing to allow residential uses in the C-2-B neighborhood commercial zoning district to provide small-scale, mixed-use opportunities in key areas along the Willow Road Corridor.
H4.O Review Transportation Impact Analysis Guidelines	Modify Transportation Impact Analysis (TIA) guidelines	Consider as part of the City's General Plan Update (2014-2017)	The focus of the General Plan Update is the Land Use and Circulation Elements. In July 2015, the City adopted modifications to the TIA for certain projects considering changes of use within the M-2 Area, resulting in streamlined review for certain discretionary projects in the M-2 Area. The M-2 Area is currently the focus of land use changes being analyzed as part of the City's General Plan Update. Additional changes to the TIA will be considered as part of the General Plan Update (2014-2016).
H4.P Update Parking Stall and Driveway Design Guidelines	Modify Parking Stall and Driveway Design Guidelines	2014	No activity to date. Program will be reviewed as part of the General Plan Update (2014-2016).

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H4.Q Achieve Long-Term Viability of Affordable Housing	Establish project management and other ongoing project coordination needs	As developments are proposed and ongoing thereafter	As part of the MidPen Affordable Housing Agreement for a 90-unit affordable housing project, 20 units were established with preferences for people who live and/or work in Menlo Park.
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