



REGULAR MEETING AGENDA

Date: 3/7/2016
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Public Hearing

- E1. Use Permit/Ann Weiss/2108 Clayton Drive: Request for a use permit for excavation in the required front, left side, and rear yard setbacks associated with landscape improvements on a standard lot in the R-1-S (Single Family Suburban) zoning district. Nine heritage trees located in the front and corner side yards are proposed for removal as part of the proposed project. ([Staff Report #16-016-PC](#))
- E2. Use Permit/Amin Ahmadi/427 Bay Road: Request for a use permit for additions to, and remodeling of, an existing, nonconforming one-story, single-family residence on a lot in the R-1-U (Single-Family Urban) zoning district. The value of the work would exceed 75 percent of existing replacement value in a 12-month period. ([Staff Report #16-017-PC](#))

F. Informational Items

- F1. City Council Work Plan Transmittal and Capital Improvement Program (CIP) process update ([Attachment](#))

F2. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.

- Regular Meeting: March 21, 2016
- Regular Meeting: April 11, 2016
- Regular Meeting: April 18, 2016

G. Adjournment

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at www.menlopark.org and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting the Planning Division at 650-330-6702. (Posted: 3/3/16)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



STAFF REPORT

Planning Commission

Meeting Date:

3/7/2016

Staff Report Number:

16-016-PC

Public Hearing:

Use Permit/Ann Weiss/2108 Clayton Drive

Recommendation

Staff recommends that the Planning Commission approve a use permit for excavation in the required front, left side, and rear yard setbacks associated with landscape improvements on a standard lot in the R-1-S (Single Family Suburban) zoning district, at 2108 Clayton Drive. Nine heritage trees located in the front and corner side yards are proposed for removal as part of the proposed project. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at 2108 Clayton Drive, at the southwest corner of Clayton Drive and Alameda de las Pulgas. A location map is included as Attachment B. The property is surrounded by single-family residences, where properties south of Alameda de las Pulgas are likewise in the R-1-S zoning district, and properties north of Alameda de las Pulgas are in the unincorporated County. The parcel is a corner lot, and Clayton Drive is the front lot line, with Alameda de las Pulgas designated the corner side lot line.

Analysis

Project description

The subject site is currently occupied by a single-story, single-family residence. The applicant is proposing to demolish this structure and replace it with a new two-story, single-family residence, a detached secondary dwelling unit, and associated site improvements. Both the proposed main and secondary dwelling units would be a contemporary design. The new residences would conform to all applicable zoning regulations. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The subject site is not level, sloping approximately 11 feet downwards from the left front corner towards Alameda de las Pulgas. The applicant is requesting the use permit to allow excavation in the front, left side, and rear yard setbacks to create more usable outdoor space. Excavation, which is defined by the Zoning

Ordinance as the removal of dirt to a depth of more than 12 inches within required setbacks, requires use permit approval by the Planning Commission.

The subject parcel is a standard lot, meeting the R-1-S zoning district requirements for minimum lot area, lot width, and lot depth. Therefore, the proposed single-family and secondary residences do not require Planning Commission review. In this particular case, the Commission's scope of review is the proposed excavation within the setbacks. However, the excavation is integral to the overall site plan, and affects usable open space in the front and rear yards.

Excavation

The applicant has identified the area to be excavated on the site plan (sheet XA01). The proposed front and left side yard excavations are requested to create a patio area with more usable outdoor space, and a walkway connecting the front and rear yards. The retaining walls in the front and left side yards would range in height from approximately one foot, five inches to three feet, five inches in height, and due to the existing grade, would be minimally visible from the street. The proposed rear excavation is requested to create more usable outdoor space within the backyard, and the proposed rear retaining wall would be approximately one foot, nine inches in height.

The footprint of the proposed main residence would be located towards the front of the lot, and the secondary unit would be located at the rear of the lot.

Without the proposed excavation, usability of the front and rear yards could be limited. The proposed excavation is relatively modest in scale, and would have limited visibility from other properties and the public right-of-way. Staff believes the proposed excavation would generally be compatible with other developments in this area. As noted earlier, because this is a standard lot, a proposal that met all of the development regulations and did not include excavation within the setbacks would not require Planning Commission review. The proposed retaining walls would be reviewed to ensure compliance with Building Code standards.

Trees and landscaping

There are 34 trees on or near the project site, including 17 heritage trees. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of these trees. The report determines the present condition and discusses the impacts of the proposed improvements, and provides recommendations for tree preservation. As part of the project review, the arborist report was enhanced with additional analysis and detail. Exploratory trenching was performed to determine the potential impacts to the heritage coast live oak (tree #16) in the left side yard. Construction impacts to this tree would be moderate with no long-term impacts, and specific measures to ensure the protection of this tree have been included in the arborist report. Nine heritage trees and 10 non-heritage trees are proposed for removal. The heritage trees proposed for removal are summarized in the following table:

Intentionally left blank

Table 1: Proposed Heritage Tree Removals			
Heritage Tree	Size (diameter in inches)	Condition	Location
Tree #1X: Coast live oak	10.2	Fair	Corner side
Tree #3X: Coast live oak	10.2	Poor	Corner side
Tree #5X: Monterey pine	19.3	Dead	Corner side
Tree #7X: Monterey pine	16.3	Poor	Front
Tree #8X: Siberian elm	20.1	Poor	Front
Tree #10X: Coast live oak	13.5	Fair	Front
Tree #13X: Monterey pine	28.0	Poor	Front
Tree #14X: Coast live oak	15.5	Poor	Front
Tree #15X: Coast live oak	12.8	Poor	Front

The City Arborist has reviewed and tentatively approved these removals. Recommended tree protection measures, including specific measures to ensure the protection of tree #16, would be ensured through recommended condition 3g. The applicant is proposing to plant 15 new trees throughout the site, including two trees along Clayton Drive and one tree along Alameda de las Pulgas.

Correspondence

Staff has not received any items of correspondence on the proposed project.

Conclusion

The proposed excavation would improve the usability of the front and rear yards for the new house and secondary dwelling unit. Staff believes that the proposed excavation would have limited impact on the adjacent neighbors, given the location and extent of the excavation, and would be compatible with the surrounding neighborhood. Recommended tree preservation measures, including specific measures to protect tree #16, have been incorporated into the project. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building, and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72

hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report by Kielty Arborist Services, dated revised on February 17, 2016

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

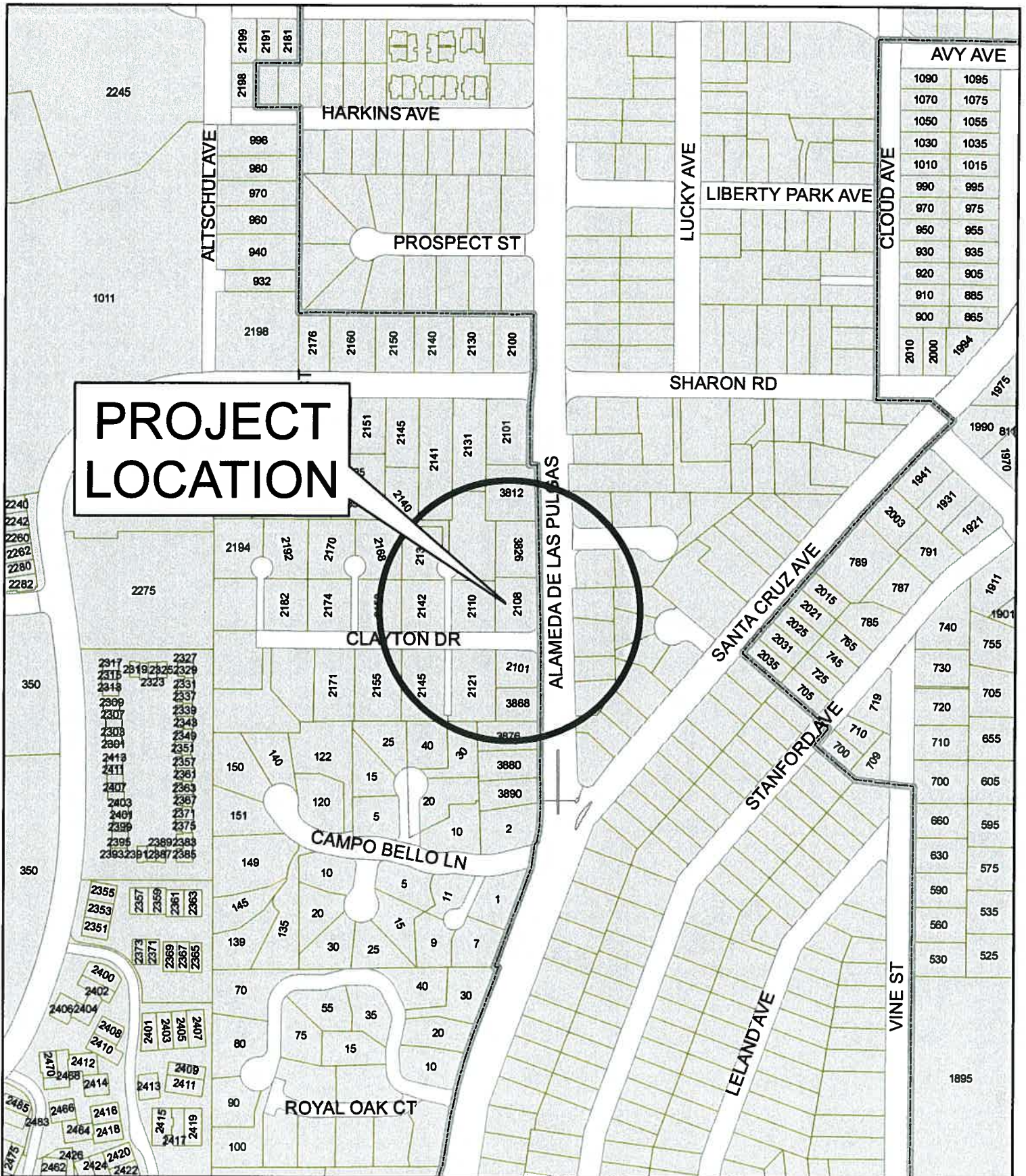
Jean Lin, Senior Planner

Report reviewed by:

Thomas Rogers, Principal Planner

2108 Clayton Drive – Attachment A: Recommended Actions

LOCATION: 2108 Clayton Drive	PROJECT NUMBER: PLN2015-00068	APPLICANT: Ann Weiss	OWNER: Ann Weiss
REQUEST: Request for a use permit for excavation in the required front, left side, and rear yard setbacks associated with landscape improvements on a standard lot in the R-1-S (Single Family Suburban) zoning district. Nine heritage trees located in the front and corner side yards are proposed for removal as part of the proposed project.			
DECISION ENTITY: Planning Commission	DATE: March 7, 2016	ACTION: TBD	
VOTE: TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
ACTION: <ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Moderna Homes, consisting of 15 plan sheets, dated received on March 1, 2016, and approved by the Planning Commission on March 7, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans to remove and replace the non-standard asphalt curb along Clayton Drive between the utility pole and the existing storm drain inlet for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the recommendations in the arborist report by Kielty Arborist Services revised on February 17, 2016. 			



CITY OF MENLO PARK

LOCATION MAP

2108 CLAYTON DRIVE

B1



DRAWN: THR CHECKED: JPL DATE: 03/07/15 SCALE: 1" = 300' SHEET: 1

2108 Clayton Drive – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	12,904.7 sf	12,904.7 sf	10,000 sf min.
Lot width	100.3 ft.	100.3 ft.	80 ft. min.
Lot depth	127.5 ft.	127.5 ft.	100 ft. min.
Setbacks			
Front	20.0 ft.	48 ft.	20 ft. min.
Rear	68.0 ft.	15 ft.	20 ft. min.
Side (left)	13.0 ft.	49 ft.	10 ft. min.
Side (right)	16.7 ft.	19 ft.	12 ft. min.
Building coverage	3,202 sf 24.8 %	2,055 sf 15.9 %	4,516.6 sf max. 35 % max.
FAL (Floor Area Limit)	4,275.5 sf	2,008 sf	4,276.2 sf max.
Square footage by floor	1,699.3 sf/1st 1,489.2 sf/2nd 528.5 sf/garage 558.2 sf/secondary unit 416.0 sf/porch and trellises	1,424 sf/1st 400 sf/garage 184 sf/sheds 260 sf/porch	
Square footage of buildings	4,691.2 sf	2,268 sf	
Building height	25.9 ft.	13 ft.	28 ft. max.
Parking	2 covered/1 uncovered	2 covered	1 covered/2 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees

Heritage trees	17*	Non-Heritage trees	17	New Trees	15
Heritage trees proposed for removal	9	Non-Heritage trees proposed for removal	10	Total Number of Trees	30

* Includes one heritage tree on the adjacent rear property.



WEISS RESIDENCE

VICINITY MAP



PROJECT DATA

DESCRIPTION	NEW SINGLE FAMILY 2-STORY RESIDENCE
ADDRESS	2108 CLAYTON DRIVE, MENLO PARK
APH	074-111-330
ZONING	R-1-S
CONSTRUCTION TYPE	TYPE-V-B
OCCUPANCY GROUP	R-3U
BUILDING USE	SINGLE FAMILY RESIDENTIAL
SEPTIC/SEWER	SEWER
FIRE SPRINKLER	INSTALL NFPA 13-D FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT

SPECIAL INSPECTIONS

SHEET INDEX

SHEET #	SHEET NAME
A0.00	USE PERMIT TITLE SHEET
C.0	SITE SURVEY
1A.01	SITE PLAN & SECTIONS
A0.4	DEMOLITION PLAN
A1.0	SITE PLAN
A1.2	AREA PLANS
A2.2	FIRST FLOOR
A2.3	SECOND FLOOR PLAN
A2.4	ROOF PLANS
A2.5	GUEST HOUSE PLANS
A4.0	NORTH-SOUTH ELEVATIONS
A4.1	EAST-WEST ELEVATIONS
A4.2	GUEST HOUSE ELEVATIONS
A5.0	SECTIONS
A5.1	SECTIONS

PLANNING DATA AND CALCULATIONS

LOT SIZE	12,904.7 sf
MAX. BUILDING COVERAGE (35% OF LOT SIZE)	4,516.6 sf
PROPOSED COVERAGE	3,202 sf
MAX. FLOOR AREA LIMIT (FAL) = (2,800 + (25' * (LOT SIZE - 7,000))) = (2,800 + (25' * (12,904.7 - 7,000)))	4,276.1 sf
PROPOSED FLOOR AREA	4,273.2 sf
MAX. HEIGHT	28'-0"
AVG. CALC. GRADE (SEE A1.0) LOWEST PT. OF STRUCTURE = 105'-0.10" HIGHEST PT. OF STRUCTURE = 117'-5.10"	88'-3"
MAX. HEIGHT ELEVATION BASED ON AVG. GRADE (28' + 88'-3" = 114'-3")	114'-3"
MAX. HEIGHT OF HOUSE	25'-11.14"

SEE SHEET A1.2 FOR AREA CALCULATIONS

**MAXIMUM BUILDING HEIGHT AT ANY ONE POINT ON THE PROPERTY SHALL BE MEASURED FROM AVERAGE NATURAL GRADE. CHIMNEYS ARE EXCLUDED FROM THIS HEIGHT LIMIT PER ZONING CODE SECTION 16.14.030(7).

APPLICABLE CODES

- a. 2013 CALIFORNIA BUILDING CODE
- b. 2013 CALIFORNIA RESIDENTIAL CODE
- c. 2013 CALIFORNIA MECHANICAL CODE
- d. 2013 CALIFORNIA ELECTRICAL CODE
- e. 2013 CALIFORNIA PLUMBING CODE
- f. 2013 CALIFORNIA GREEN BUILDING CODE
- g. 2010 CALIFORNIA ENERGY CODE
- h. 2013 CALIFORNIA FIRE CODE



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MAR 01 2015

CITY OF MENLO PARK
BUILDING

REVISIONS

NO.	DESCRIPTION	DATE
1	PLANNING DATA AND CALCULATIONS	2/23/2015

PROJECT NUMBER: 2013-152

DATE: 2/23/2015

SCALE: As Indicated

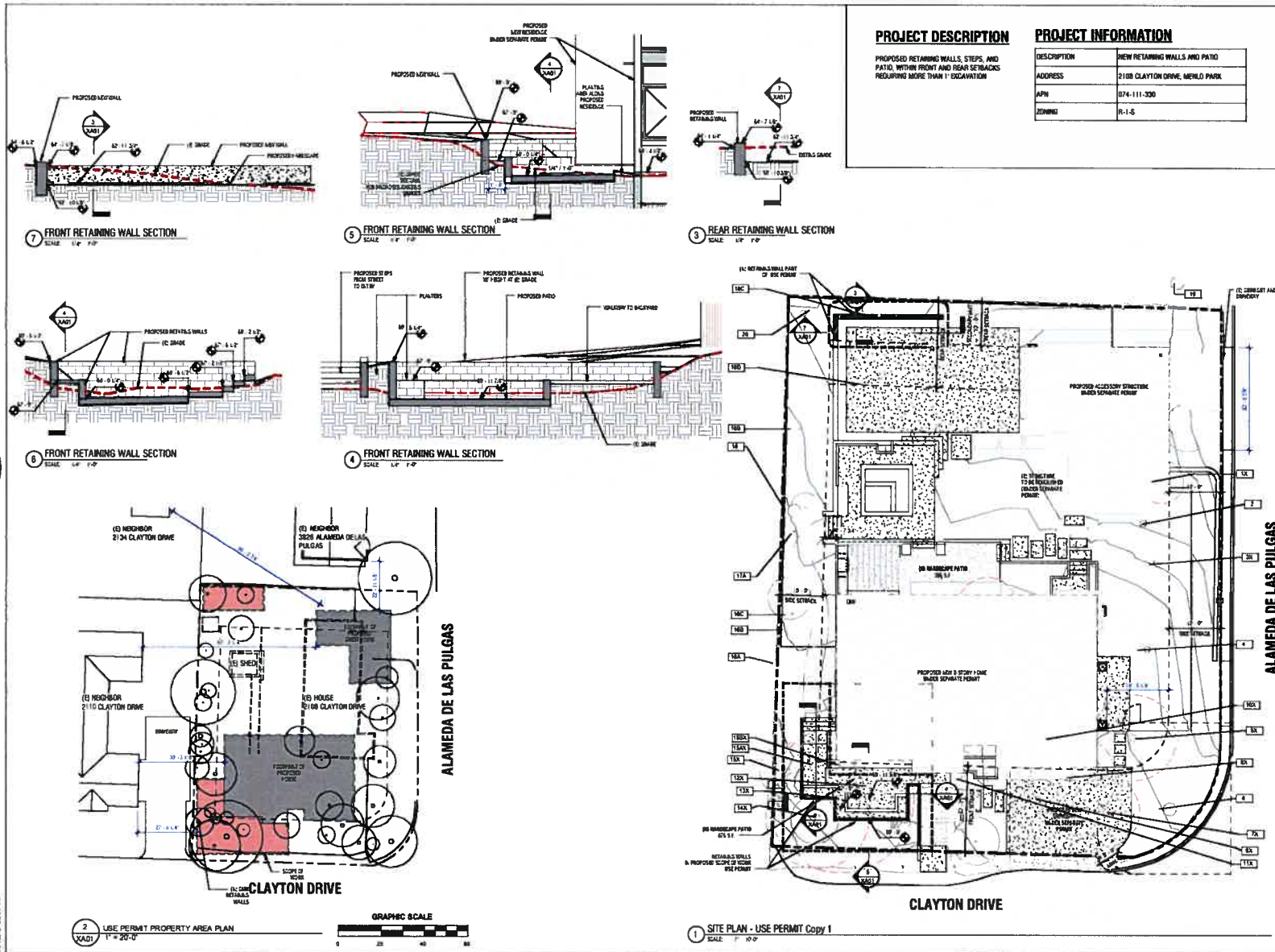
PROJECT LOCATION: MENLO PARK SUBMITTAL

REV 01

USE PERMIT TITLE SHEET

A0.00

D3



MODERNA HOMES

MODERNA HOMES
1850 S. F. ST. #100
SUNNYVALE, CA 94086
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WWW.MODERNAHOMES.COM

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GLADWIN ENGINEERING, INC.
1000 LOMA BLVD. STE. 400
ALHAMBRA, CA 91801
626.441.1111

HARRIS ENGINEERING, INC.
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SUNNYVALE, CA 94086
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WIS & ASSOCIATES, INC.
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SUNNYVALE, CA 94086
408.241.1111
WWW.WIS-CA.COM

WEISS RESIDENCE
2108 CLAYTON DRIVE
MENLO PARK, CA

REVISIONS

NO.	DESCRIPTION	DATE
1	PLANNING CONCEPTS 1/23/2016	

PROJECT NUMBER: 2015-02
ISSUE DATE: 8/20/2015
SCALE: As Indicated

ISSUE NAME: MENLO PARK SUBMITTAL
REV 01

SITE PLAN & SECTIONS

XA01

1/27/2019 9:52:21 AM



1. SETUP TRICE PROTECTION AS ORDERED PER GULFSTREAM REPORT DATED AUGUST 4, 2003.
2. ROPS AND SEATBELTS MUST BE USED PER REPORT.
3. CONDUCT AN INSPECTION OF TRUCKS TO DETERMINE IF TRUCKS HAVE BEEN PROPERLY
4. EQUIPPED FOR PLASMA AND RECYCLE. SUBMIT DUMP TACS TO WENBLY LAMPELL DIVISION.
5. CAP TIGHTEN AND WOTER
6. DISCONNECT GAS AND ELECTRIC
7. DUST SHALL BE CONTROLLED BY:
-WATERING EXPOSED SOIL SURFACES THREE TIMES DAILY.
-SHOWERING PARKING AREAS AS ALL PARKED OR STOPPED TRUCKS THREE TIMES DAILY.
TRUCKS CARRYING CONSTRUCTION DEBRIS SHALL BE COVERED.

THE UNIVERSITY OF CHICAGO LIBRARY

- PROJECT IDENTITY
- FILE
- 

A0.4

TREE TABLE		
TREE #	DIAMETER (IN)	TREE SPECIES
15AX	4.1	BREWWOOD
15BX	5.9	ELM
15CX	2.5	PRUNEL
15DX	12.8	COAST RED OAK (HERITAGE)
16	19.1	COAST LINE OAK (HERITAGE)
18A	3.2	BAY LAUREL
18B	6.6	REYNOLDS
18C	8.1	REYNOLDS
17	10.0	REYNOLDS (HERITAGE)
17A	5.0	REYNOLDS
18	20.8	REYNOLDS (TREE HERITAGE)
19A	5.8	PRUNEL
19B	5.3	PRUNEL
19C	7.9	APPLE
19D	11.6	ALMOND
19	~30 (ESTIMATE)	REYNOLDS (TREE HERITAGE)
20	17.2	REYNOLDS (HERITAGE)

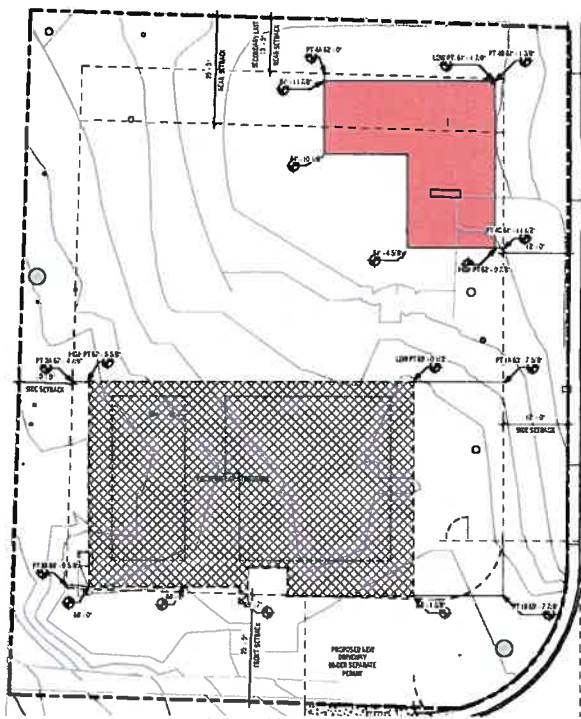
_____	TREE DROPLINE FOR TREES TO KEEP/REMAIN
-----	TREES TO BE REMOVED AND LINE OF EXISTING STRUCTURE/ELEMENTS TO BE REMOVED
_____	PROPOSED NEW TREES

1. REFER TO CIVE, 50 FEET FOR SURVEY AND TOPOGRAPHIC INFORMATION
2. REFER TO CIVE, 50 FEET FOR ALL GRADIS AND ELEVATIONS
3. REFER TO CIVE, AND LANDSCAPE 50 FEET FOR PAVEMENT DESIGN, LAYOUT, AND MATERIALS INCLUDING DRIVEWAY, DECKS, AND EXTERIOR STAIRS
4. REFER TO CIVE, 50 FEET FOR UTILITY INFORMATION
5. THESE 50 FEET ARE FOR PROGRAMATIC PURPOSES ONLY. REFER TO NEEDS AND/OR REPORT FOR A 60' PDMC CONSTRUCTION. DATED MARCH 13, 2014

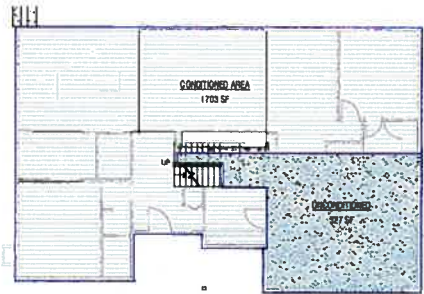
CHIEFS SITE NATURAL AREA, A/CN IRRIGATED: 9056 SF
LOW SITE A/CN-TREE NATURAL AREA, A/CN IRRIGATED: 4487 SF
LOW SITE LANDSCAPED AREA IRRIGATED: 2512 SF

WATER LANDSCAPE IRRIGATION TO BE LIMITED TO SNIP OR MICROSPIN
DEVICES ONLY, & ACCORDANCE WITH THE CITY OF MOJO PARK'S
RESOLUTION FOR WATER SHORTAGE CONTINGENCY PLAN.

[illegible]



5 SITE PLAN - AVG GRADE
SCALE: 1" = 10'-0"



4 CONDITIONED AREA - 1ST FLOOR
SCALE: 1/8" = 1'-0"

DAYLIGHT PLANE AVERAGE GRADES

AVG. GRADE AT EAST ELEVATION
PT 1A = 82'-7 1/2"
PT 1B = 82'-0"
AVE = 84'-3 3/4"

AVG. GRADE AT WEST ELEVATION
PT 2A = 87'-4 3/4"
PT 2B = 88'-3 1/2"
AVE = 87'-1 1/8"

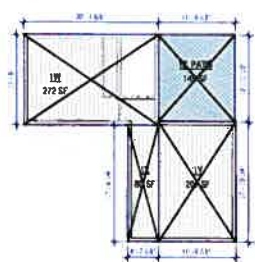
AVG. OVERALL GRADE - MAIN HOUSE
LOW PT = 82'-0 1/2"
HIGH PT = 87'-5 1/2"
AVE = 88'-3"

GUEST HOUSE AVG GRADE AT EAST ELEVATION
PT 4A = 81'-1 1/4"
PT 4B = 81'-1 1/2"
AVE = 81'-6 3/8"

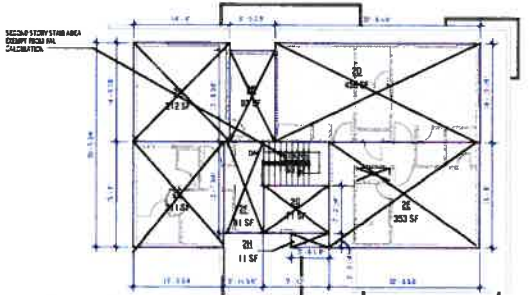
GUEST HOUSE AVG GRADE AT NORTH ELEVATION
PT 4A = 82'-0"
PT 4B = 81'-1 1/4"
AVE = 81'-5 5/8"

GUEST HOUSE AVG GRADE AT WEST ELEVATION
PT 4C = 81'-1 1/2"
PT 4D = 82'-1"
AVE = 81'-7 3/8"

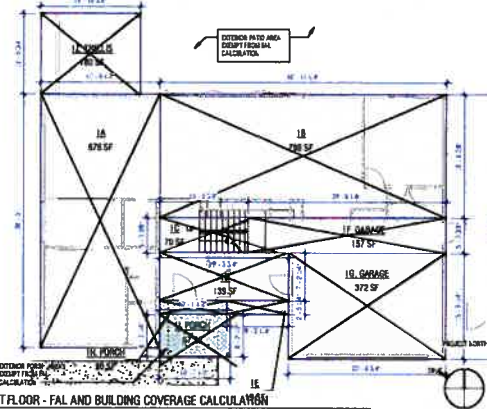
ALAMEDA DE LAS PULGAS



3 GUEST HOUSE - FOOTPRINT AND BUILDING COVERAGE CALCULATION
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR - FOOTPRINT AND BUILDING COVERAGE CALCULATION
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR - FOOTPRINT AND BUILDING COVERAGE CALCULATION
SCALE: 1/8" = 1'-0"

AREA SCHEDULE - TDA			
LEVEL	NAME	AREA	
1ST	CONDITIONED AREA	1,703 SF	
1ST		1,703 SF	
2ND	2A	458 SF	
2ND	2B	212 SF	
2ND	2C	81 SF	
2ND	2D	71 SF	
2ND	2E	11 SF	
2ND	2F	353 SF	
2ND	2G	211 SF	
2ND	2H	93 SF	
2ND		1,489 SF	
	CONDITIONED	3,192 SF	
	UNCONDITIONED	527 SF	
	UNCONDITIONED	527 SF	
	Grand Total	3,719 SF	

Area Schedule - BUILDING COVERAGE			
LEVEL	NAME	AREA	COMMENTS
1ST	1A	678 SF	17'-8 1/2" x 38'-0"
1ST	1B	788 SF	42'-11 1/4" x 18'-0 7/8"
1ST	1C	70 SF	12'-2 3/8" x 5'-3 3/8"
1ST	1D	138 SF	7'-2 1/4" x 19'-3 3/4"
1ST	1E	18 SF	2'-1 1/4" x 8'-2 1/4"
1ST	1F GARAGE	157 SF	8'-3 3/8" x 29'-8 1/8"
1ST	1G GARAGE	372 SF	22'-4 3/4" x 15'-8 1/4"
1ST	1H PORCH	20 SF	10'-1 1/2" x 2'-1 1/2"
1ST	1I PORCH	67 SF	10'-7 1/2" x 6'-2 1/2"
1ST	1J	272 SF	20'-1 5/8" x 13'-8"
1ST	1K	88 SF	8'-7 1/8" x 17'-4 1/4"
1ST	1L	207 SF	11'-4 3/8" x 17'-10 1/4"
1ST	1M PATIO	149 SF	11'-4 1/8" x 12'-11 1/2"
1ST	1N TERRACE	180 SF	14'-10 3/4" x 12'-8 3/4"
1ST		3,202 SF	
	Grand Total	3,202 SF	

AREA SCHEDULE - FLOOR AREA LIMIT (FAL)			
LEVEL	NAME	AREA	COMMENTS
1ST	1W	271.80 SF	20'-1 5/8" x 12'-8"
1ST	1X	73.72 SF	4'-7 1/8" x 12'-4 1/4"
1ST	1Y	208.82 SF	11'-6 3/8" x 17'-10 1/4"
1ST - 3	GUEST	558.17 SF	
1ST - 3	GUEST	558.17 SF	
1ST	1A	678.08 SF	17'-8 1/2" x 38'-0"
1ST	1B	788.08 SF	42'-11 1/4" x 18'-0 7/8"
1ST	1C	69.72 SF	12'-2 3/8" x 5'-3 3/8"
1ST	1D	138.00 SF	7'-2 1/4" x 19'-3 3/4"
1ST	1E	18.57 SF	2'-1 1/4" x 8'-2 1/4"
1ST	1F GARAGE	156.81 SF	8'-3 3/8" x 29'-8 1/8"
1ST	1G GARAGE	371.67 SF	22'-4 3/4" x 15'-8 1/4"
1ST	7	2,227.81 SF	
2ND	2A	212.38 SF	14'-4" x 14'-9 7/8"
2ND	2B	93.42 SF	8'-0 7/8" x 12'-4 3/8"
2ND	2C	211.10 SF	12'-6 3/4" x 15'-8"
2ND	2D	455.56 SF	30'-8 1/8" x 14'-10 1/8"
2ND	2E	353.20 SF	22'-4 3/8" x 15'-8 3/4"
2ND	2F	81.39 SF	8'-11 5/8" x 9'-2 3/4"
2ND	2G	70.71 SF	8'-10" x 7'-2 1/4"
2ND	2H	11.47 SF	3'-4 1/8" x 2'-1 1/4"
2ND - 8		1,489.23 SF	
	MAIN HOUSE	3,717.03 SF	
	Grand Total	4,275.21 SF	



MODERNA HOMES
343 Santa Clara Ave., Suite 100
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650-326-8833
www.modernehomes.com

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Menlo Park, CA 94025
650-326-8833
www.modernehomes.com

FLANNERY STRONGHOLD CONSULTING, INC.
1000 LOMA BLVD., 1ST FLOOR
LOS ANGELES, CA 90001
310-553-4357

MODERNA HOMES
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Menlo Park, CA 94025
650-326-8833
www.modernehomes.com

WEISS RESIDENCE
2105 CLAYTON DRIVE
MENLO PARK, CA

WEISS RESIDENCE
2105 CLAYTON DRIVE
MENLO PARK, CA

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISION 1	10/25/2015
2	REVISION 2	10/25/2015
3	REVISION 3	10/25/2015
4	REVISION 4	10/25/2015
5	REVISION 5	10/25/2015
6	REVISION 6	10/25/2015
7	REVISION 7	10/25/2015
8	REVISION 8	10/25/2015
9	REVISION 9	10/25/2015
10	REVISION 10	10/25/2015

PROJECT NUMBER: 2015-02
DATE: 8/20/2015
SCALE: As Indicated
FROM: 10/25/2015
MENLO PARK SUBMITTAL
REV 01

AREA PLANS

A1.2

1000-0000



1. ALL DIMENSION DIMENSIONS ARE TO FACE OF THE SURFACE
2. ALL INTERIOR DIMENSIONS ARE TO RAIL WALLS
3. ALL EXTERIOR ARE DIMENSIONS ARE TO FACE OF THE SURFACE
4. REPAIR TO STRUCTURE TO BE DONE IN ACCORDANCE WITH THE
5. REPAIR TO EXTERIOR AND VENTILATION SYSTEMS FOR OPEN SPACES AND COORDINATE
WITH STRUCTURAL FOR LOCATING CHANGES REQUIRED TO ACCOMMODATE HVAC EQUIPMENT
6. REPAIR TO CHIMNEY SYSTEMS FOR DAMAGED BRICKWORK AND RAIN PIPES
7. REPAIR TO WINDHATCHES AND ALL OTHER TYPES OF VENTILATION
8. REPAIR TO EXTERIOR WALLS SHALL BE DONE TO THE 7/8" TOP LINED TO THE RAILED
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9. REPAIR TO ROOF AT ALL LEVELS
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MODERN HOMES *Patricia Lopez*
613 Santa Cruz Avenue S. # 225
Menlo Park, CA. 94025
650-394-0836
www.modernhomes.net

MODERN SPACE
443 Union City Ave. Ste. 205
Metairie, LA 70005
504-885-1111
www.modernspace.com

BLINDOR STRUCTURAL ENGINEERS, INC.
70475 CEDAR BLVD. STE #205C
LAKELAND, FL 34601
813-573-4357

MURPHY ENGINEERS, INC.
305 FIDELITY AVE
LOS ALTOS, CA 94033
650-959-9760
WWW.MURPHY-ENG.COM

WHE & ASSOCIATES, INC.
2025 WINDLEY FIELD RD., #456
PAULS VALLEY, CA 94308
850-623-6486
WWW.WHEPC.COM

REVISIONS

[illegible]

PROJECT NUMBER:	2013
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ISSUE DATE 6/20/20

SCALE: 1/4" = 1'

MEMO PARK SUBMITTA

MENLO PARK SUBMITTA
 REV 01

REV 01

FIRST FLOOR

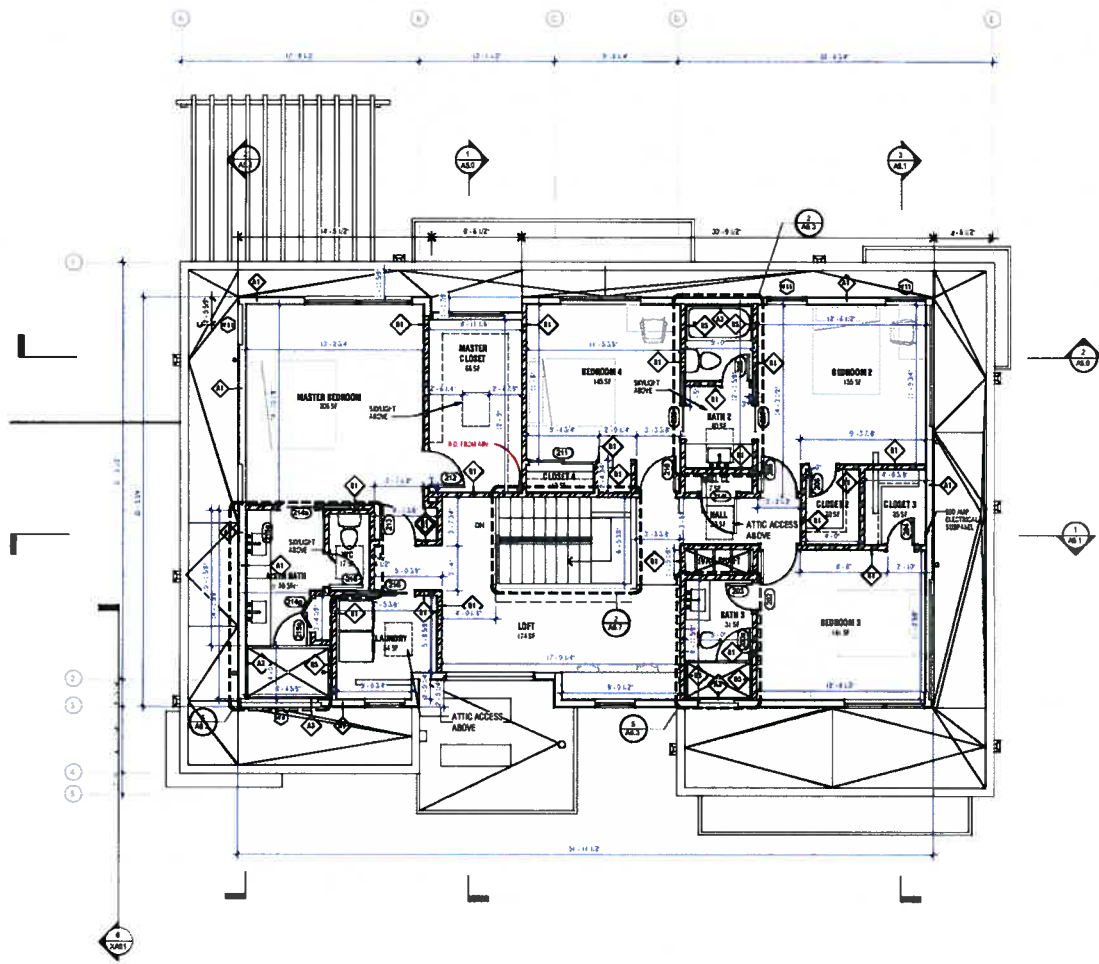
FIRST FLOOR

100

A22

12.2

84



1 MAIN HOUSE SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

ARCHITECTURAL PLAN NOTES

1. ALL DIMENSIONS UNLESS NOTED ARE TO FACE OF STUD. E.O.A.
2. ALL DIMENSIONS UNLESS NOTED ARE TO FACE OF STUD. E.O.A.
3. ALL DIMENSIONS UNLESS NOTED ARE TO FACE OF STUD. E.O.A.
4. NOTES TO STRUCTURAL FOR MATERIAL DETAILS
5. NOTES TO PLUMBING AND MECHANICAL FOR CHASE LOCATIONS AND COORDINATE
6. NOTES TO ELECTRICAL FOR LOCATING CHASES TO ACCOMMODATE PANEL COMPARTMENT
7. NOTES TO CIVIL FOR CHASE LOCATIONS AND CHASE SIZES
8. NOTES TO MECHANICAL FOR CHASE LOCATIONS AND CHASE SIZES
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12. NOTES TO MECHANICAL FOR CHASE LOCATIONS AND CHASE SIZES



OWNER	MODERNA HOMES 665 S. 1st St., Suite 100 Menlo Park, CA 94028 www.modernahomes.com
ARCHITECT	WEISS RESIDENCE 2108 CLAYTON DRIVE MENLO PARK, CA www.weissresidence.com
STRUCTURAL ENGINEER	ELIENOR STRUCTURAL ENGINEERS, INC. 1000 COLUMBIA BLVD., STE. #100 SANTA CLARA, CA 95050 www.elenor.com
MECHANICAL ENGINEER	MECHANICAL ENGINEERS, INC. 1000 COLUMBIA BLVD., STE. #100 SANTA CLARA, CA 95050 www.mechanical.com
ELECTRICAL ENGINEER	ELECTRICAL ENGINEERS, INC. 1000 COLUMBIA BLVD., STE. #100 SANTA CLARA, CA 95050 www.electrical.com

WEISS
RESIDENCE
2108 CLAYTON DRIVE
MENLO PARK, CA

REVISIONS		
NO.	DESCRIPTION	DATE
1	FOR SUBMITTAL	10/20/2015
2	FOR SUBMITTAL	10/20/2015
3	FOR SUBMITTAL	10/20/2015
4	FOR SUBMITTAL	10/20/2015
5	FOR SUBMITTAL	10/20/2015
6	FOR SUBMITTAL	10/20/2015
7	FOR SUBMITTAL	10/20/2015
8	FOR SUBMITTAL	10/20/2015
9	FOR SUBMITTAL	10/20/2015
10	FOR SUBMITTAL	10/20/2015

PROJECT NUMBER:	2015-02
ISSUE DATE:	10/20/2015
SCALE:	1/8" = 1'-0"
PROJECT NAME:	MENLO PARK SUBMITTAL
REV:	01
SECOND FLOOR PLAN	
A2.3	

ROOF SLOPE	ROOF WEIGHT	CLIMATE ZONE	Minimum 3-year Aged Solar Reflectance	Thermal Emittance	SR
≤ 2:12	N/A	13 & 15	0.55	0.75	64
> 2:12	< 5 lb/ft ²	10-15	0.70	0.75	10
	≥ 5 lb/ft ²	1-16	0.15	0.75	10

MINERAL

1. REFER TO DETAIL 5 ON SHEETS 86 OR 87 FOR ROOF ASSEMBLY AND EAVE DETAILS
2. REFER TO RCP FOR ARCH-STRUCTURAL BAYNET SPACING
3. REFER TO S30 FOR SHEATHING DETAIL AND JOIST SPACING
4. REFER TO RCP FOR EAVE FLASHING DETAIL
5. REFER TO CIVIL FOR DRAINAGE TIE-IN

FOOTING
ALL ROOF INSULATION SHALL COMPLY WITH CBC SECTION 0464 FOR AN IMPERMEABLE INSULATION LISTED AS SPIRY FOAM INSULATION.

ROOFING
INSULATION SPECIFIED IS BASED ON SPIN-APPLIED POLYURETHANE INSULATION PER ICC REPORT NO. ESR-1068 OR SIMILAR TO BE APPLIED IN ACCORDANCE WITH ICC REPORT AND MANUFACTURER'S INSTRUCTIONS.

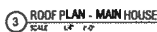
IF SHOWN CONTRACT OR OTHER BIDDING DOCUMENT TO THE FOLLOWING APPLIES AND SHOWN CONTRACT MUST SHOW REVERSED SIDE SHOWN MUST BE USED FOR CALCULATIONS.

1. VENTILATION SHALL COMPLY WITH CEC SECTION 900.2.
2. UPPER AND LOWER ROOMS OVER OCCUPATION SPACE MUST COMPLY WITH VENTILATION REQUIREMENTS.
3. PROVIDE CURT. NUMBER OF S.F. BL. OF VENTILATION AT SCHEMATIC AND AT 100% IF CURT. NUMBER OF S.F. BL. OF VENTILATION IS LESS THAN 100% OF S.F. BL. OF VENTILATION PER 30% OF CALCULATED AREA MUST BE MET AND EQUIV. VENTILATION.
4. PROVIDE AT LEAST 1 VENTILATION CALCULATIONS FOR ROOMS OR BL. OF VENTILATION IF REQ'D.
5. PROVIDE MAX. 1 VENTILATION CALCULATION FOR EACH VENTILATION PER CEC.

200P MATERIAL
 1040P
 FIRE-RATLS
 TYPE
 COLOR
 SURF. PRO. NO. 0000-0000

CUSTOM-BILT METAL
 100. CLASS "C" NON-COMBUSTIBLE, 16, 203
 TRAIL COOL ROOFING 30. 34 GARDIE SELECT SEAM 17" WARRON
 BATTED W/ 4" COV
 PEBBLESTONE SURFIN SAMPLE FOR APPROVAL

HEAVY-GAUGE REINFORCED SAND METAL WITH SOLDERS JOINT



PROJECT A-500



ADDRESS HERE *Patricia L. L...*
663 Santa Cruz Avenue S. # 226
Menlo Park, CA. 94025
800-381-9826
650-300-7100 ext 10

BOOKING OFFICE *Richard L. Lister*
663 South Washington St. 205.
Mtn. Park, GA 30405
650-391-4606
www.honolulu.gov

ELEMENT STRUCTURAL ENGINEERS, INC.
20675 CEDAR BLVD. STE. A-250C
MORTON, IL 61550
618-573-4357

HAWKEYE ENGINEERS, INC.
 935 FREIGHT AVE
 LOS ALTOS, CA 94024
 650-950-9760
 WWW.HI-ENG.COM

WFE & ASSOCIATES, INC.
2025 WINDLEY LANE, #156
P.O. BOX 4172, LA 70608
504-621-4488
WWW.WFEINC.COM

REVISIONS

[illegible]

PROJECT NUMBER:	2013-02
ISSUE DATE:	8/20/2013
SCALE:	As indicated
ISSUE STATUS:	
MENLO PARK SUBMITTAL	
REV 01	

ROOF PLANS

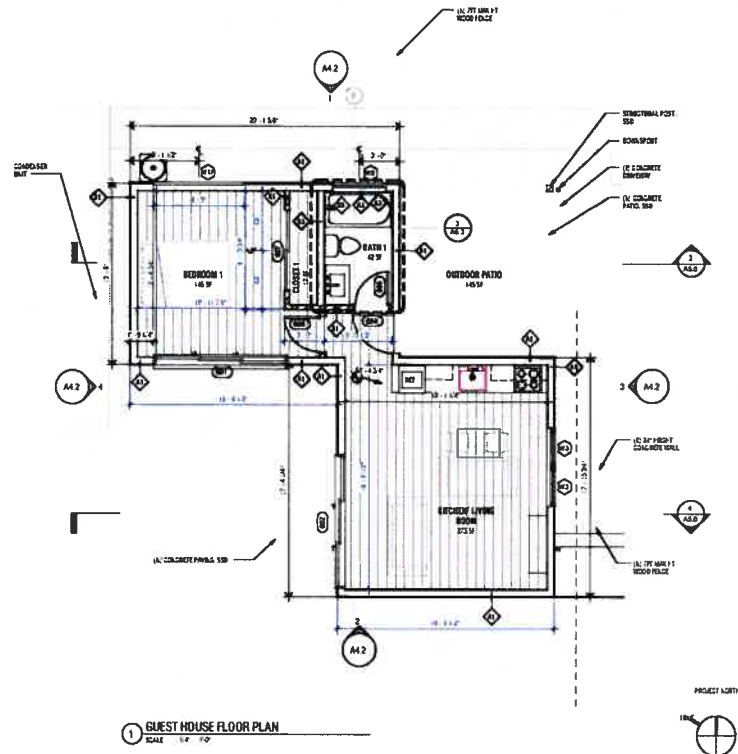
A2.4

NUSC 1240

ROOF/VENT NOTES

- [illegible]

HEAVY GANGE BONDING. GALV METAL W/ SOLDERED JOINTS



1 GUEST HOUSE FLOOR PLAN
SCALE 1/4" = 1'-0"

REVISIONS		
NOS.	DESCRIPTION	DATE
1	PORCHY RECONSTRUCTION	07/28/2015
2	PORCHY RECONSTRUCTION	09/06/2015
PROJECT NUMBER:	2015-02	
ISSUE DATE:	8/29/2015	
SHEET:	As Indicated	
CIRCLE NUMBER:		
MENLO PARK SUBMITTAL REV 01		
GUEST HOUSE PLANS		
A2.5		

A2.5

EXTERIOR MATERIAL SPEC

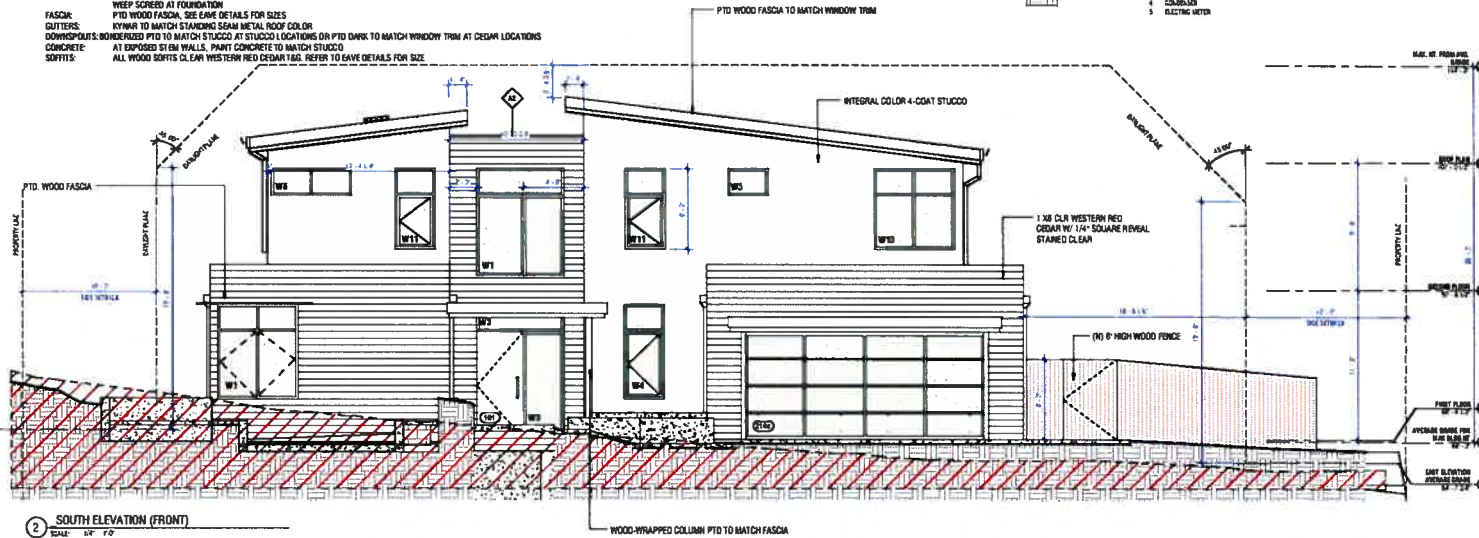
WOOD SIDING: CLEAR WESTERN RED CEDAR, T&G, 1/8" W/ 1/4" SQUARE REVEAL STAINED CLEAR WITH PENOPH OR SIMILAR OVER WATER RESISTIVE BARRIER PER IRC R703.8.3
STUCCO: 3-COAT INTERIOR STUCCO W/ SMOOTH FINISH OVER TWO LAYERS OF GRADE D PAPER W/ GALVANIZED WEEP
FASCIA: PTD WOOD FASCIA, SEE EAVE DETAILS FOR SIZES
GUTTERS: 5" W/ 1/2" DOWN PITCH, 1/2" W/ 1/2" DOWN PITCH, 1/2" W/ 1/2" DOWN PITCH
DOWNSPUTS: BONDED PTD TO MATCH STUCCO AT STUCCO LOCATIONS OR PTD DARK TO MATCH WINDOW TRIM AT CEDAR LOCATIONS
CONCRETE: AT EXPOSED STEM WALLS, PART CONCRETE TO MATCH STUCCO
SOFFITS: ALL WOOD SOFFITS CLEAR WESTERN RED CEDAR T&G, REFER TO EAVE DETAILS FOR SIZE

GRADING LEGEND

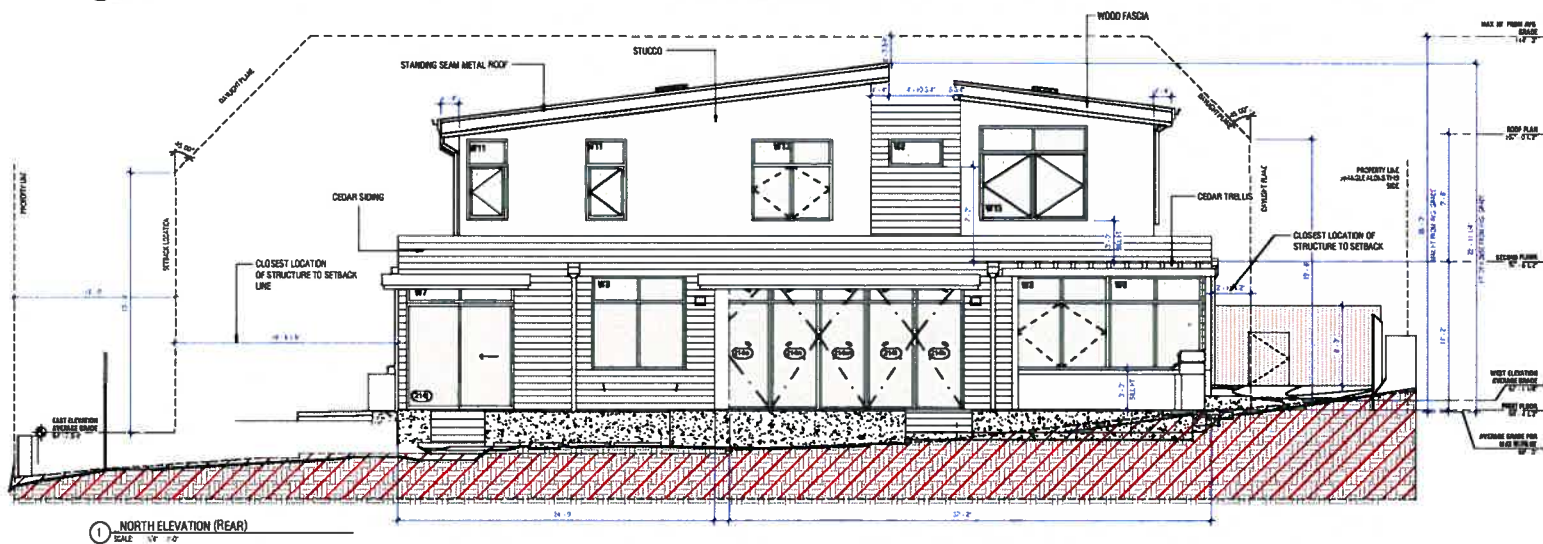


KEYNOTE LEGEND

- 3-COAT INTERIOR STUCCO W/ SMOOTH FINISH
- 3-COAT STUCCO SYSTEM 1 W/ TWO LAYERS OF GRADE D PAPER BARRIER STUCCO SYSTEM 2 OVER PENOPH OR SIMILAR OVER WATER RESISTIVE BARRIER PER IRC R703.8.3
- 7/8" W/ 1/2" DOWN PITCH
- 1/2" W/ 1/2" DOWN PITCH
- CONCRETE
- ELECTRIC METER



2 SOUTH ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION (REAR)
SCALE: 1/4" = 1'-0"



DESIGNER	MODERNA HOMES 883 TOWN OF MENLO PARK, CA 94025 www.modername.com
ARCHITECT	MODERNA HOMES 883 TOWN OF MENLO PARK, CA 94025 www.modername.com
ENGINEER	BLUMBERG ENGINEERING, INC. 3005 CLAYTON DRIVE, SUITE 100 LOS ANGELES, CA 90008 (310) 471-1000
CONTRACTOR	WEISS & ASSOCIATES, INC. 1000 WILSON AVENUE, SUITE 100 LOS ANGELES, CA 90008 (310) 471-1000
OWNER	WEISS & ASSOCIATES, INC. 1000 WILSON AVENUE, SUITE 100 LOS ANGELES, CA 90008 (310) 471-1000

WEISS RESIDENCE
2108 CLAYTON DRIVE, MENLO PARK, CA

REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	8/20/2015
2	REVISIONS TO PERMIT	10/16/2015
3	REVISIONS TO PERMIT	10/16/2015
4	REVISIONS TO PERMIT	10/16/2015
5	REVISIONS TO PERMIT	10/16/2015
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82	REVISIONS TO PERMIT	10/16/2015
83	REVISIONS TO PERMIT	10/16/2015
84	REVISIONS TO PERMIT	10/16/2015
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97	REVISIONS TO PERMIT	10/16/2015
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99	REVISIONS TO PERMIT	10/16/2015
100	REVISIONS TO PERMIT	10/16/2015

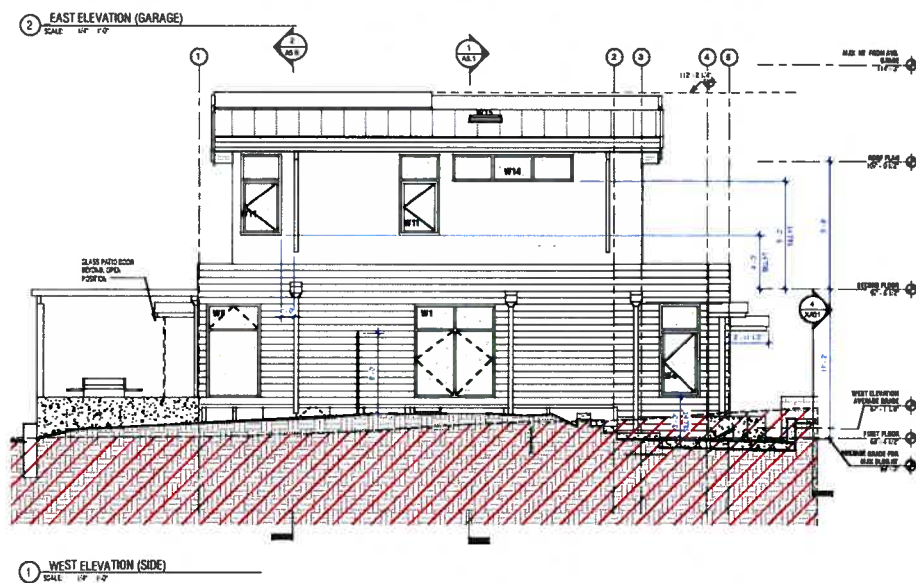
PROJECT NUMBER: 2015-02
ISSUE DATE: 8/20/2015
SCALE: As Indicated
PROJECT NAME: MENLO PARK SUBMITTAL
REV 01
NORTH-SOUTH ELEVATIONS
A4.0

WILSON & CO. LTD.



- 1 COMBINATION AND GRABBLE SPACE ACCESS VENT, INTER 15 30X24 X 1/8 IN VENT MODULAR HANG
- 2 3-COAT AT EQUAL COLOR STREGED VS SAGOTY FINISH, 3-COAT STREGED SPEEN 1-15 TWO LAYERS OF GRADE 0 PAPER
- 3 BOUND STREGED VS ONE OCCURS 3 OVER PLYWOOD 30 15X40 X 1/4 AND 1/4 IN 20 SARGE GALVANIZED DEEP SCREED AT
- 4 COMBINATION PLATE LIME AT LEAST 6" ABOVE BRICK AND 6" ABOVE PAVED AREA 5. COLOR TR
- 5 WALLS ON GRADE
- 6 BRICK 1/2 IN
- 7 ELECTRIC METER
- 8 5/45 METER
- 9 CONDENSER
- 10 791 MARK 1/2 RECO PLAGE
- 11 COMBINATION SPACE VENT

GRADING LEGEND



MODERATOR REMARKS *Patricia Linder*
663 Santa Cruz Avenue, Suite 205,
Marina Park, CA 94025
650-391-4620
WWW.WOODWARDLINDERS.COM

GLENN STRUCTURAL ENGINEERS, INC.
30675 CEDAR BLVD. STE #205C
LYNDHURST, CA 94029
510-573-4357

MORROW ENGINEERS, INC.
905 FREEDAY AVE
LOS ALTOS, CA 94024
(650) 948-9962
www.m-e-inc.com

WE: B. JACOBSEN, INC.
2025 MONROVIE BL RD 4E #666
P.O. BOX 4672, CA 94336
650-673-6466
WWW.BJACOBSEN.COM

**WEISS
RESIDENCE**
2108 CLAYTON DRIVE,
MENLO PARK, CA

REVISIONS

[illegible]

PROJECT NUMBER:	2013-02
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ISSUE DATE	8/20/2015
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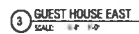
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ISSUE STARTS:	

ISSUE STATUS:
MENLO PARK SUBMITTAL
REV 01

EAST-WEST ELEVATIONS

A4.1

10/10/2016 8:53:22 PM



1. 3-COAT INTEGRAL COLOR STREGCO REINFORCING FABRIC - 3-COAT STREGCO SYSTEM HAS TWO LAYERS OF GRADED PAPER UNDER STREGCO REIN- FIBER COLORED OVER PLYWOOD IN (STRENGTH) AND 1-1/2" IN GRADE SALVANT'S STEEL SHEET AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE AND 7" ABOVE PAVED AREAS. COLOR TID.

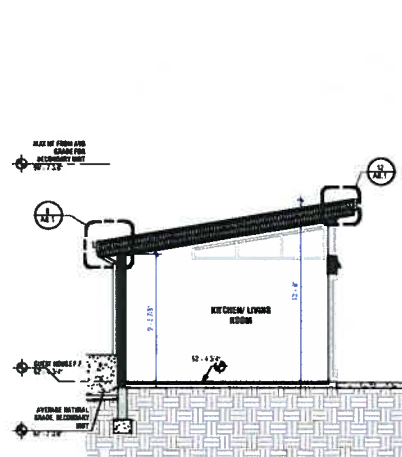
 EXISTING GRADE

 PROPOSED GRADE

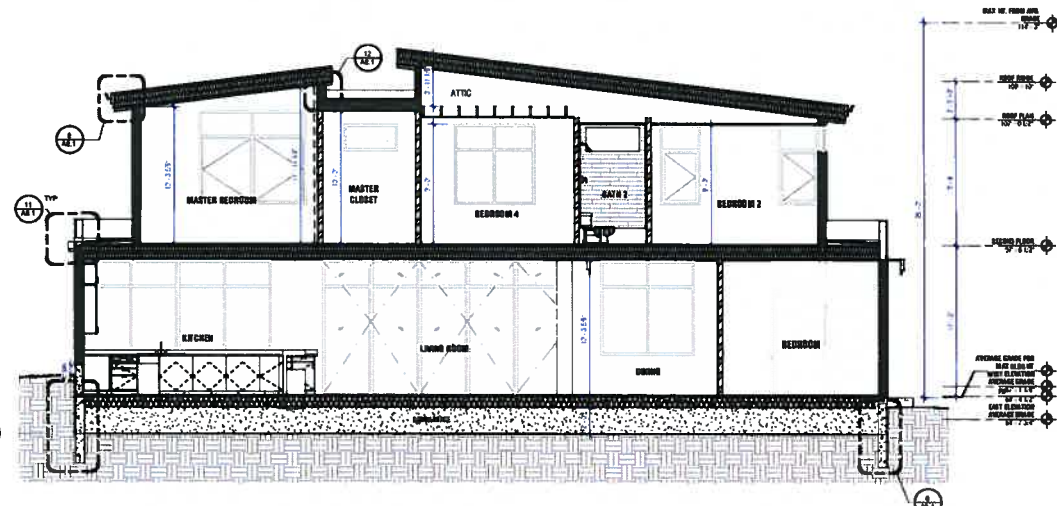
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A4.2

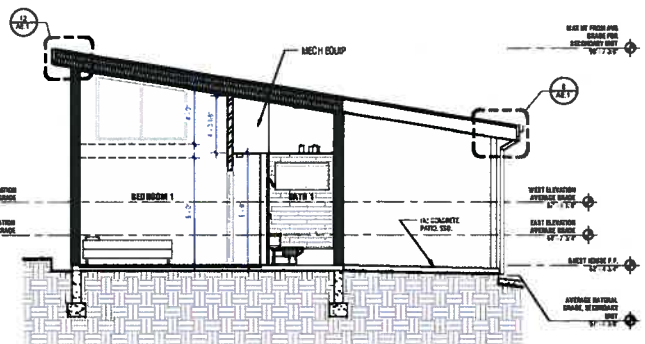
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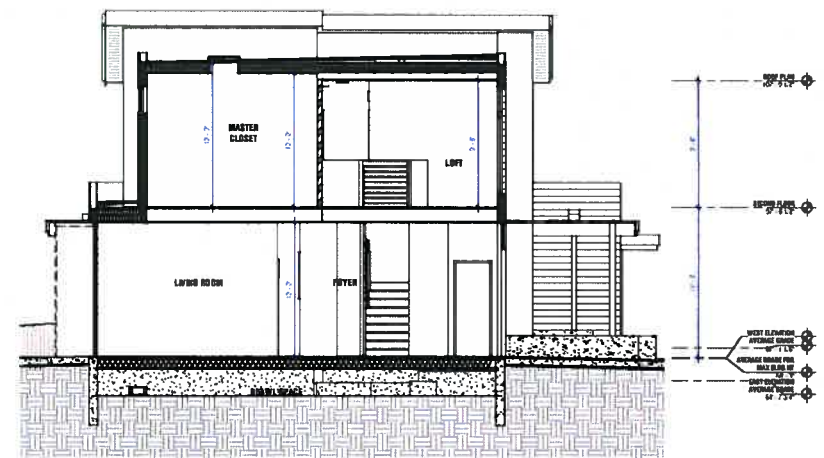
4 GUEST HOUSE @ LIVING/KITCHEN
SCALE: 1/4" = 1'-0"



2 MAIN HOUSE - KITCHEN/LIVING/DEN
SCALE: 1/4" = 1'-0"



3 GUEST HOUSE @ BEDROOM
SCALE: 1/4" = 1'-0"



1 MAIN HOUSE - ENTRY SECTION
SCALE: 1/4" = 1'-0"



DESIGNER	MODERNA HOMES 6835 Santa Monica Blvd., Suite 100 Beverly Hills, CA 90210 www.modernehomes.com
ARCHITECT	MODERNA HOMES 6835 Santa Monica Blvd., Suite 100 Beverly Hills, CA 90210 www.modernehomes.com
STRUCTURAL ENGINEER	BLUMBERG ENGINEERING, INC. 20015 CEDAR BLVD. STE. #200 LAUREL CA 91540 (951) 251-1000
Mechanical Engineer	WISNET ENGINEERS, INC. 1000 FREDERICK AVE. LOS ANGELES, CA 90001 (213) 463-1000
Electrical Engineer	WEB & ASSOCIATES, INC. 1000 FREDERICK AVE., PMB. 100 LOS ANGELES, CA 90001 (213) 463-1000

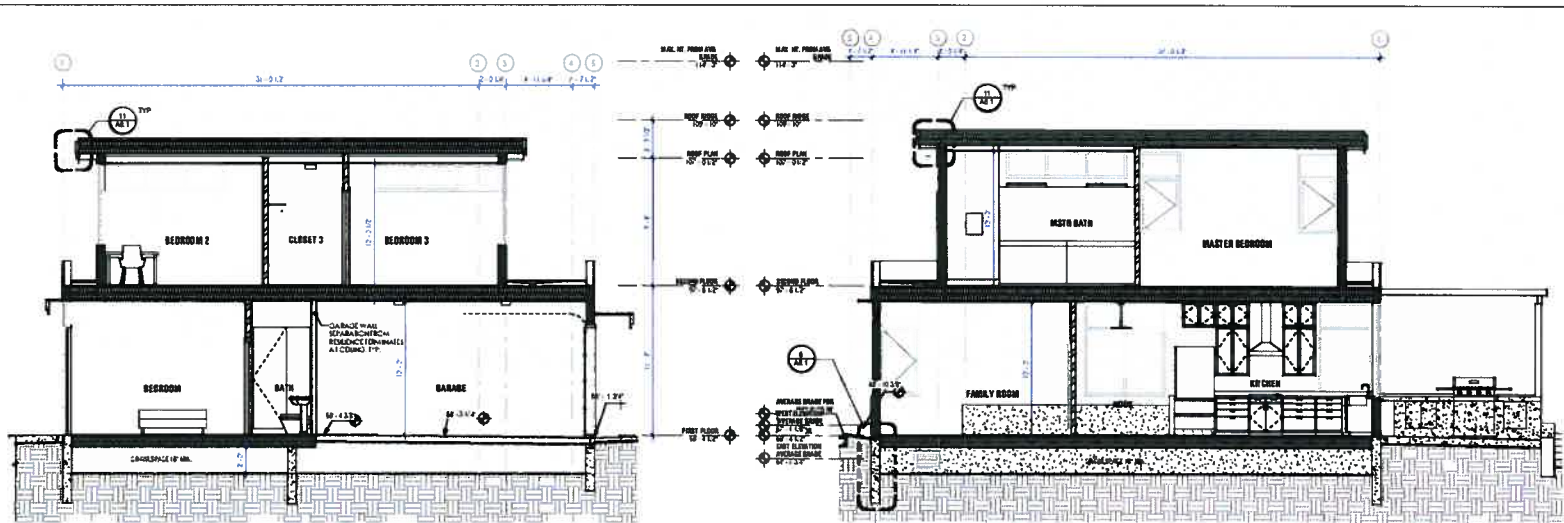
**WEISS
RESIDENCE**
2108 CLAYTON DRIVE,
MENLO PARK, CA

REVISIONS		
NO.	DESCRIPTION	DATE
1	PERFORM REVISIONS	08/05/2015
2	REVISIONS FOR COMMENTS	08/05/2015
3	PERFORM REVISIONS	08/05/2015

PROJECT NUMBER: 2013-02
ISSUE DATE: 8/20/2015
SCALE: 1/4" = 1'-0"
PROJECT NAME: MENLO PARK SUBMITTAL
REV 01

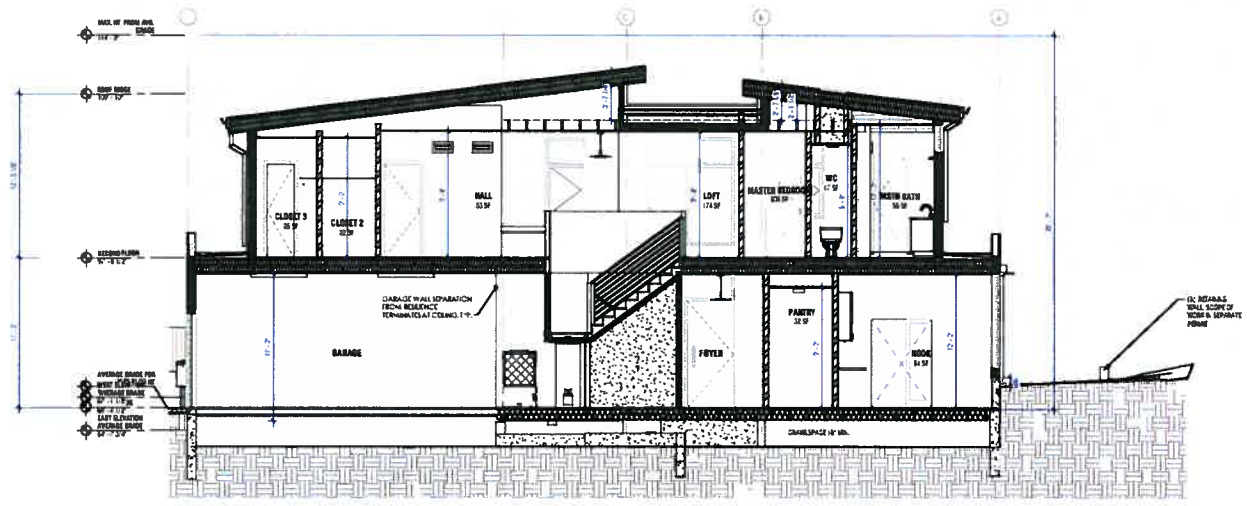
SECTIONS
A5.0

D15



3 DEN/GARAGE
SCALE 1/4" = 1'-0"

2 KITCHEN/FAMILY RM.
SCALE 1/4" = 1'-0"



1 FAMILY RM./FOYER/GARAGE
SCALE 1/4" = 1'-0"



ARCHITECT	MODERNA HOMES
DESIGNER	MODERNA HOMES
PROJECT MANAGER	MODERNA HOMES
STRUCTURAL ENGINEER	CLARKSON STRUCTURAL ENGINEERS, INC.
MECHANICAL ENGINEER	CLARKSON STRUCTURAL ENGINEERS, INC.
ELECTRICAL ENGINEER	CLARKSON STRUCTURAL ENGINEERS, INC.
PLUMBING ENGINEER	CLARKSON STRUCTURAL ENGINEERS, INC.
PAINT ENGINEER	CLARKSON STRUCTURAL ENGINEERS, INC.
LANDSCAPE ARCHITECT	CLARKSON STRUCTURAL ENGINEERS, INC.
INTERIOR DESIGNER	CLARKSON STRUCTURAL ENGINEERS, INC.
GENERAL CONTRACTOR	CLARKSON STRUCTURAL ENGINEERS, INC.

**WEISS
RESIDENCE**
2108 CLAYTON DRIVE
MENLO PARK, CA

REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	8/20/2015
2	ISSUE FOR PERMIT	8/20/2015
3	ISSUE FOR PERMIT	8/20/2015
4	ISSUE FOR PERMIT	8/20/2015
5	ISSUE FOR PERMIT	8/20/2015
6	ISSUE FOR PERMIT	8/20/2015
7	ISSUE FOR PERMIT	8/20/2015
8	ISSUE FOR PERMIT	8/20/2015
9	ISSUE FOR PERMIT	8/20/2015
10	ISSUE FOR PERMIT	8/20/2015

PROJECT NUMBER:	2013-02
ISSUE DATE:	8/20/2015
SCALE:	1/4" = 1'-0"
PROJECT NAME:	MENLO PARK SUBMITTAL
REV:	01
SECTIONS:	
A5.1	



883 SANTA CRUZ AVE. SUITE 205 ■ MENLO PARK, CA ■ 94025

www.modernahomes.net

(650)-391-9805

Jean:

This is a summary of the scope of work for the Use Permit Application for the property located at 2108 Clayton Drive, Menlo Park.

This use permit application is for 839 square feet of outdoor patio space, with approximately 95'-0" lineal feet of CMU retaining wall in the side, front setback, and rear setback.

The purpose of the retaining walls is to create a more flat, useable yard space, as this area slopes up toward Clayton Drive. The owner has sent out notices to all of the immediate neighbors including those across the street and will hold a meeting at her house to present the plans this week. She has already discussed with the adjacent owner at 2110 Clayton Drive.

Thank you,

A handwritten signature in cursive script that reads "Kathleen Liston".

Kathleen Liston

RECEIVED

MAR 01 2016

CITY OF MENLO PARK
BUILDING



Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650- 515-9783

August 8, 2013, revised February 17, 2016, February 10, 2016

Ms. Ann Crady Weiss
2108 Clayton Drive
Menlo Park, CA

Site: 2108 Clayton Drive, Menlo Park, CA

As requested on Wednesday, June 29, 2013, I visited the above site to inspect and comment on the trees. A new home is planned for the site and as required by the city of Menlo Park a survey of the trees and a tree protection plan will be provided. Site plan A1.0 dated 8/20/15 was viewed for this report.

Method:

The significant trees on this site were located on a map provided by you. Each tree was given an identification number. This number was inscribed on a metal foil tag and nailed to the trees at eye level. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). Each tree was assigned a condition rating from 1 to 100 for form and vitality using the following scale;

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of each tree was estimated and the spread was paced off. Lastly, a comments section is provided. An exploratory trench was hand dug in combination with an air spade on Tuesday February 2nd, 2016 cutting no significant roots to help identify possible impacts to oak #16. The latest site plan dated March 25, 2012 was reviewed for this report.

2/17/2016 Revision Note:

Additional trees per updated civil survey, provided on 1/30/2015, were added to report.

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1X	Coast live oak (<i>Quercus agrifolia</i>)	10.2	50	30/25	Fair vigor, fair form, suppressed by # 2.
2	Coast live oak (<i>Quercus agrifolia</i>)	19.2	70	40/35	Good vigor, fair form, abundance of lower deadwood.
3X	Coast live oak <i>Quercus agrifolia</i>	10.2	40	25/15	Fair vigor, poor form, large wound on trunk.
4	Coast live oak (<i>Quercus agrifolia</i>)	15.2	55	40/35	Good vigor, fair form, codominant at 10 feet, fair crotch formation.
5X	Monterey pine (<i>Pinus radiata</i>)	19.3	0	50/40	Dead, poor form, trunk leans north.
6	Coast live oak (<i>Quercus agrifolia</i>)	26.2	55	35/25	Good vigor, fair form, multi leader at 4 feet.
6A	Pittosporum (<i>Pittosporum undulatum</i>)	2.8	40	15/10	Poor vigor, poor form, in decline.
7X	Monterey pine (<i>Pinus radiata</i>)	16.3	45	55/35	Fair vigor, poor form, leans south.
8X	Siberian elm (<i>Ulmus pumila</i>)	20.1	40	35/25	Fair vigor, poor form, leans south.
9X	Coast live oak (<i>Quercus agrifolia</i>)	8.2	50	25/20	Good vigor, poor form, suppressed
10X	Coast live oak (<i>Quercus agrifolia</i>)	13.5	55	35/25	good vigor, poor form, cankers of trunk
10AX	Evergreen pear (<i>Pyrus kawakamii</i>)	7.3	45	10/10	Poor vigor, poor form, against existing house.
10BX	Xylosma (<i>Xylosma congestum</i>)	5.0	45	15/15	Fair vigor, fair form, against house.

Tree#	Species	DBH	CON	HT/SP	Comments
11X	Siberian elm (<i>Ulmus pumila</i>)	9.3	25	20/15	Fair vigor, poor form, decay at base.
12X	Coast live oak (<i>Quercus agrifolia</i>)	5.1	65	15/10	Good vigor, fair form.
13X	Monterey pine (<i>Pinus radiata</i>)	28.0	45	60/35	Fair vigor, poor form, leans south west. Tree is in decline.
14X	Coast live oak <i>Quercus agrifolia</i>	15.5	45	35/25	Good vigor, poor form, suppressed by ivy.
15X	Coast live oak (<i>Quercus agrifolia</i>)	12.8	50	32/25	Fair vigor, poor form, heavy to the west.
15AX	Redwood (<i>Sequoia sempervirens</i>)	4.1	40	25/10	Poor vigor, poor form, suppressed.
15BX	Elm (<i>Ulmus americana</i>)	5.8	50	25/15	Fair vigor, fair form, codominant at 15 feet.
15CX	Privet (<i>Ligustrum japonica</i>)	2.5	50	10/10	Poor vigor, poor form, suppressed.
16	Coast live oak (<i>Quercus agrifolia</i>)	19.1	60	35/30	Fair vigor, fair form, codominant at 15 feet.
16A	Bay laurel (<i>Umbellularia californica</i>)	3.2	45	15/10	Poor vigor, poor form.
16B	Redwood (<i>Sequoia sempervirens</i>)	6.6	55	30/10	Fair vigor, fair form, tall for DBH.
16C	Redwood (<i>Sequoia sempervirens</i>)	6.4	55	30/10	Fair vigor, poor form, tall for DBH.
17	Redwood (<i>Sequoia sempervirens</i>)	16.0	60	50/35	Good vigor, fair form.
17A	Redwood (<i>Sequoia sempervirens</i>)	5.0	55	30/10	Good vigor, fair form, suppressed.
18	Redwood tree (<i>Sequoia sempervirens</i>)	30.6	75	70/30	Good vigor, fair form.

Tree#	Species	DBH	CON	HT/SP	Comments
18A	Privet (<i>Ligustrum japonicum</i>)	5.8	35	15/15	Fair vigor, fair form, suppressed.
18B	Privet (<i>Ligustrum japonicum</i>)	5.3	35	15/15	Poor vigor, poor form, covered with ivy.
18C	Apple (<i>Malus domestica</i>)	7.9	60	20/15	Good vigor, fair form.
18D	Almond (<i>Prunus dulcis</i>)	11.6	25	15/15	Poor vigor, poor form.
19*	Redwood (<i>Sequoia sempervirens</i>)	30est	65	70/35	Good vigor, fair form, codominant @ base.
20	Redwood (<i>Sequoia sempervirens</i>)	17.2	50	35/20	Fair vigor, poor form, multi leader at 20 feet.

* indicates neighbor's tree, X indicates removal planned



Exploratory Trench Observations:

On Tuesday, February 2, 2016 an exploratory trench was dug to expose and observe what roots will be severed to install the proposed retaining wall. The exploratory trench was dug at the location of the retaining wall to a depth of the bottom of the trees root zone. The trench is 20 feet long, 2 feet deep, and 18 inches wide. An air-spade was used for the excavation to reduce impacts to un-earthed roots. The following roots were unearthed and will have to be severed to install the proposed wall:

- 2 roots over 2 inches
- 5 roots over 1 inch
- 8 roots less than 1 inch

A forester's tree calipers was used to measure root diameter.

Exploratory trench exposed several small roots 3.3 feet to 4.9 feet from the trunk of tree #16.

Summary:

The trees on site are a mix of native oaks and several species of imported trees. The oaks are in poor to fair condition with no excellent trees. The imported trees consist of Monterey pine, Siberian elm and redwoods. The pines have a poor condition rating both having poor form. Removal of the pines as they are a short lived trees is a viable option. The redwoods are on the perimeter and will not be affected by the construction. The elms also have a poor condition rating and should be removed. Trees on the site to be retained shall be protected as outlined in the report below.



Oak #16 will be retained and will have a retaining wall 3.3 feet from its trunk. The trunk of the tree will be wrapped with wood planks and orange plastic fencing. Tree protection fencing will also be extending out from the trunk of the tree to the edge of the over excavation for the retaining wall. Impacts to this tree are expected to be moderate with no long term impacts. Root loss will be at 26% of the total root zone. This number was found by taking the total square feet of the dripline and dividing it by the area of the dripline to be removed. Roots protruding into the exploratory trench will be cut prior to the start of the excavation. The site arborist will be on site during excavation near this tree and will cleanly cut any damaged roots. Mitigating measures including irrigation, fertilization and trimming will be provided at that time.

Tree #16 will have a retaining wall 3.3 feet from the trunk. Impacts are expected to be minor to moderate with no long term impacts expected. The eastern side of the tree (left) will be raised and the 7 inch over-extended leader will be removed. Pruning impacts will be minor to non-existent.

Some minor trimming of the tree on the house side will be required to facilitate the proposed construction including the 7 inch diameter northeastern leader. Trimming will be carried out by a licensed tree care provider and supervised by the site arborist. Impacts from the trimming is expected to be minor to non-existent.

Tree Protection Plan Prior to Construction:

Heavy than normal winter rains has reduced the need for pre-construction watering. The redwoods and oak #16 along the rear of the lot will be fertilized with 400 gallons of 22-14-14 mixed at a tank mix of 8 pounds of fertilizer mix per 100 gallons of clean water.

Tree trimming for tree #16 will be carried out prior to the start of excavation. Trimming will be minor and will have no long term impacts to the oak.

Tree Protection Zones

A tree protection zone should be installed and maintained throughout the entire length of the project. Fencing for tree protection zones should be 6' tall, metal chain link material supported by 2 inch poles pounded into the ground by no less than 2 feet. The location for the protective fencing should be as close to the dripline of desired trees as possible, still allowing room for construction to safely continue. No equipment or materials shall be stored or cleaned inside the protection zones. Areas outside protection zones, but still beneath the tree's driplines, where foot traffic is expected to be heavy, should be mulched with 4-6" of chipper chips. The spreading of chips will help to reduce compaction and improve soil structure.

Tree protection will be inspected prior to the start of demolition of the existing home.

Tree Protection Plan during Construction:

Tree Protection Zones

A tree protection zone should be installed and maintained throughout the entire length of the project. Fencing for tree protection zones should be 6' tall, metal chain link material supported by 2 inch poles pounded into the ground by no less than 2 feet. The location for the protective fencing should be as close to the dripline of desired trees as possible, still allowing room for construction to safely continue. No equipment or materials shall be stored or cleaned inside the protection zones. Areas outside protection zones, but still beneath the tree's driplines, where foot traffic is expected to be heavy, should be mulched with 4-6" of chipper chips. The spreading of chips will help to reduce compaction and improve soil structure.

Root cutting

Any roots to be cut shall be monitored and documented. Large roots or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Trenching

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible.

Irrigation

Normal irrigation shall be maintained on this site at all times. The imported trees and any oaks that are impacted will require regular warm season irrigation. On a construction site, I recommend irrigation during both summer and winter months. During winter months irrigate heavily 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April – November, my recommendation is to use heavy irrigation, 2 times per month. The on-site arborist may make adjustments to the irrigation recommendations as needed.

Tree protection will be re-inspected prior to the start of the construction phase of the project.

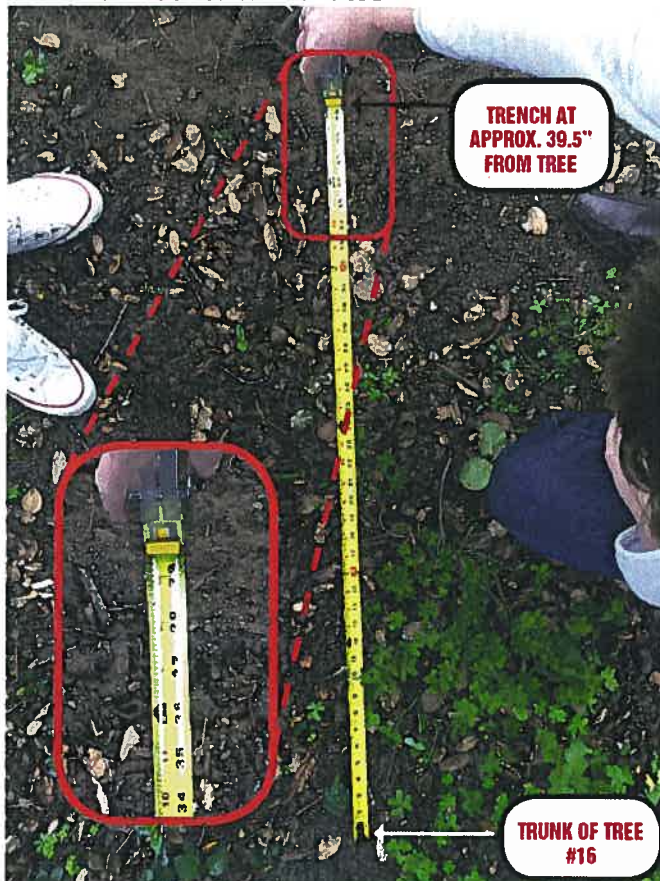
Post Construction Tree Protection:

The site shall be inspected by the site arborist 2 time per year for a period of three years. Any mitigating measures that are needed will be provided at that point. Soil moisture levels will be documented, tree trimming recommendations will be made and fertilization will be recommended if needed.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely

Kevin R. Kielty
Certified Arborist WE#0476A



Picture showing edge of trench at 3.3 feet from the trunk.



STAFF REPORT

Planning Commission

Meeting Date:

3/7/2016

Staff Report Number:

16-017-PC

Public Hearing:

Use Permit/Amin Ahmadi/427 Bay Road

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit for additions to, and remodeling of, an existing, nonconforming one-story, single-family residence on a lot in the R-1-U (Single-Family Urban) zoning district, at 427 Bay Road. The value of the work would exceed 75 percent of existing replacement value in a 12-month period. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at 427 Bay Road, at the corner of Bay Road and Oakland Avenue. A location map is included as Attachment B. The subject parcel is immediately surrounded by single-family homes that are also in the R-1-U zoning district, except along Bay Road, where the parcel faces properties in unincorporated San Mateo County. There are primarily one-story and two-story single family residences surrounding the project site which feature architectural styles including ranch and farmhouse style homes. Most of the nearby parcels are also substandard with regard to lot width and feature one-car detached and attached garages.

Analysis

Project description

The applicant is proposing to remodel the interior of their existing single-story, single-family ranch style residence and add square footage at the front and rear to create a new master bedroom, master bathroom and walk-in closet, and expand the living room, dining room and kitchen. The dining room and kitchen would be reconfigured into a larger kitchen and a new mudroom/laundry. The project would include a new front entry and covered porch.

The street side of the building encroaches into the 12-foot corner side setback, making it a nonconforming structure with regard to the provisions of the Zoning Ordinance. The remodeling and additions would exceed 75 percent of the existing replacement value in a 12-month period, as discussed in more detail in the Valuation section. However, the additions would comply with all the setback requirements, and the framing members of the nonconforming walls and roof would be retained. The parking would remain

nonconforming; however, the driveway would provide one usable, unofficial parking space, and parking nonconformities may be permitted to remain on remodel/expansion projects. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

Design and materials

The applicant proposes to comprehensively update the exterior materials of their residence. The exterior of the residence would use cedar siding at the new front entry and a steel planter box to help frame the new covered porch. The entire structure would include either stucco or lap siding materials, to be determined by the applicant. The roof would feature a new metal standing seam roof with four new skylights in the living room and two new skylights in the kitchen. There would be new fixed anodized aluminum dark bronze windows for the entire residence, and a new wood door leading from the mudroom out to the interior side yard. Staff believes that the new covered front porch would provide some balance to the dimensions of the garage, and the scale, materials, and design of the proposed additions would be consistent with the neighborhood's mix of architectural styles.

Trees and landscaping

There is a non-heritage magnolia and non-heritage birch tree at the front left side of the property, and two crepe myrtles in the front setback. The heritage size redwood in the rear yard is more than 12 feet from the proposed rear addition, and the addition would not be under its drip line. There is also a small non-heritage olive tree near the far right corner of the subject property. There are four heritage trees (two magnolias and two oak trees) in the right-of-way along Oakland Avenue. The applicant does not propose to remove any trees at this time. The proposed project is not anticipated to adversely affect any of the trees, as standard tree protection measures would be ensured through standard condition 3g.

Valuation

The City uses standards established by the Building Division to calculate the replacement and new construction costs on which the use permit threshold is based. The City has determined that the replacement cost of the existing structure would be \$263,300, meaning that the applicant would be allowed to propose new construction and remodeling at this site totaling less than \$197,475 in any 12-month period without applying for a use permit. The City has determined that the value of the proposed work would be approximately \$215,878. Based on this estimate, the proposed project exceeds 75 percent of the replacement cost of the existing structure, therefore requiring use permit approval by the Planning Commission.

Correspondence

Staff has not received any items of correspondence on the proposed project.

Conclusion

Staff believes the scale, materials, and style of the proposed remodel and additions are compatible with the surrounding neighborhood. The covered front porch and decorative elements such as the new anodized aluminum windows would deemphasize the garage as a design feature. The recommended tree protection measures would help minimize impacts on the nearby heritage trees. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

Michele T. Morris, Assistant Planner

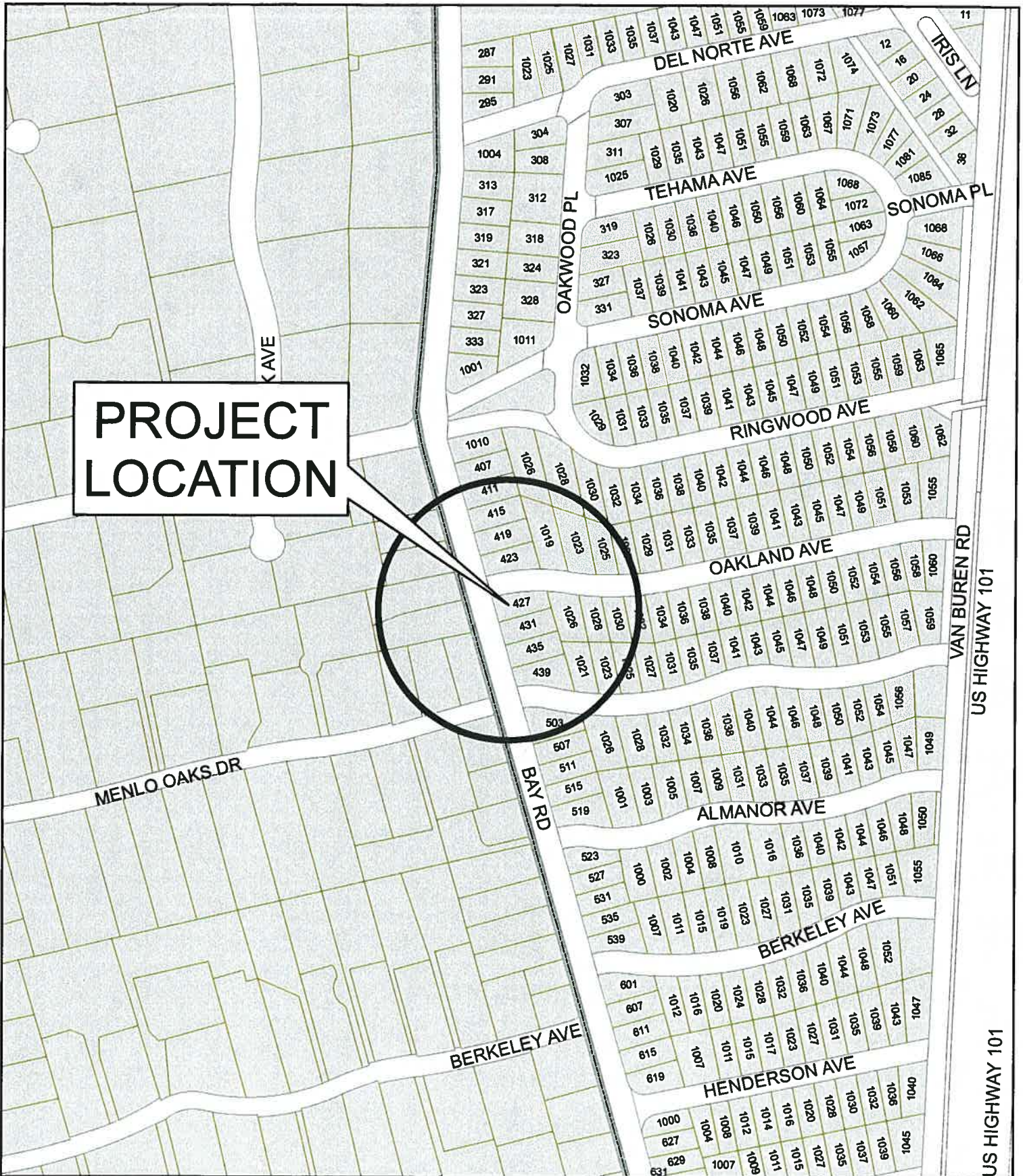
Report reviewed by:

Thomas Rogers, Principal Planner

427 Bay Road – Attachment A: Recommended Actions

LOCATION: 427 Bay Road	PROJECT NUMBER: PLN2015-00098	APPLICANT: Amin Ahmadi	OWNER: Amin Ahmadi
REQUEST: Request for a use permit for an addition to, and remodeling of, an existing, nonconforming one-story, single-family residence on a lot in the R-1-U (Single-Family Urban) zoning district. The value of the work would exceed 75 percent of existing replacement value in a 12-month period.			
DECISION ENTITY: Planning Commission	DATE: March 7, 2016	ACTION: TBD	
VOTE: TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
ACTION: <ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Amin Ahmadi, consisting of 10 plan sheets, dated received February 29, 2016, and approved by the Planning Commission on March 7, 2016 except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 			





CITY OF MENLO PARK

LOCATION MAP
427 BAY ROAD



DRAWN: THR CHECKED: MTM DATE: 03/07/15 SCALE: 1" = 300' SHEET: 1



427 Bay Road – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	6,593 sf	6,593 sf	7,000 sf min.
Lot width	59 ft.	59 ft.	65 ft. min.
Lot depth	125 ft.	125 ft.	100 ft. min.
Setbacks			
Front	20 ft.	25.5 ft.	20 ft. min.
Rear	36.5 ft.	47.5 ft.	20 ft. min.
Side (street)	10 ft.	10 ft.	12 ft. min.
Side (interior)	5.1 ft.	5.1 ft.	5 ft. min.
Building coverage	2,201 sf	1,523 sf	2,637.2 sf max.
	33.4 %	23.1 %	40 % max.
FAL (Floor Area Limit)	2,057 sf	1,492 sf	2,800 sf max.
Square footage by floor	1,787 sf/1st	1,222 sf/1st	
	270 sf/garage	270 sf/garage	
	144 sf/porch	31 sf/porch	
Square footage of building	2,201 sf	1,523 sf	
Building height	16.9 ft.	16.9 ft.	28 ft. max.
Parking	1 covered	1 covered	1 covered/1 uncovered

Trees

Heritage trees	5*	Non-Heritage trees	5	New Trees	0
Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0	Total Number of Trees	10

*Includes four street trees.

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FEB 29 2016

CITY OF MENLO PARK
PLANNING

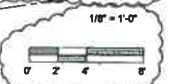
DI

OAKLAND AVENUE

BAY ROAD

Site Analysis
Zoning R-1-U

Lot Area-	6,593sf
Max building coverage- 6,593*40% =	2,637sf
Total building coverage- see A2.3	2,200sf
Land covered by structures	34%
Landscaping	60%
Paved surfaces (388sf)	6%
Parking spaces	1 cov'd 1 uncov'd
All grades to remain	
FAL for R-1-U 5,000-7,000sf	2,800sf max
Area counted as FAL(see A2.3)	1,221 existing 370 garage 310 addition 255 addition
TOTAL	2,056 sf



427 Bay Rd
Menlo Park

Rev	Date	Description
12.10.15		Planning Review
01.25.16		Plan Reductn
02.26.16		Plan Reductn2

SITE PLAN

1/8" = 1'-0"

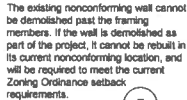
A1.0

This site plan illustrates the layout of a property at 427 Oakland Avenue. The central feature is an 'EXISTING RESIDENCE' with two shaded 'ADDITION' areas. A 'DRIVEWAY' is located to the north of the residence. The property is bounded by 'OAKLAND AVENUE' to the west and 'BAY ROAD' to the south. Surrounding properties include 'EXISTING RESIDENCE' units at 1026, 1019, 423, 431, and 430. 'MENLO OAKS DRIVE' is shown to the east. The plan includes various dimensions for setbacks and lot widths, such as 22'-6", 23'-0", 13'-6", 74'-5", 20'-0", 18'-11", 23'-3", 22'-1", 25'-0", 22'-1", and 23'-0". A north arrow is located in the upper left corner.

[illegible]

Red	White	Grey
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D3

[illegible]

FLOOR PLAN

Room Name	Area	Qty
N		

A2.0

5.



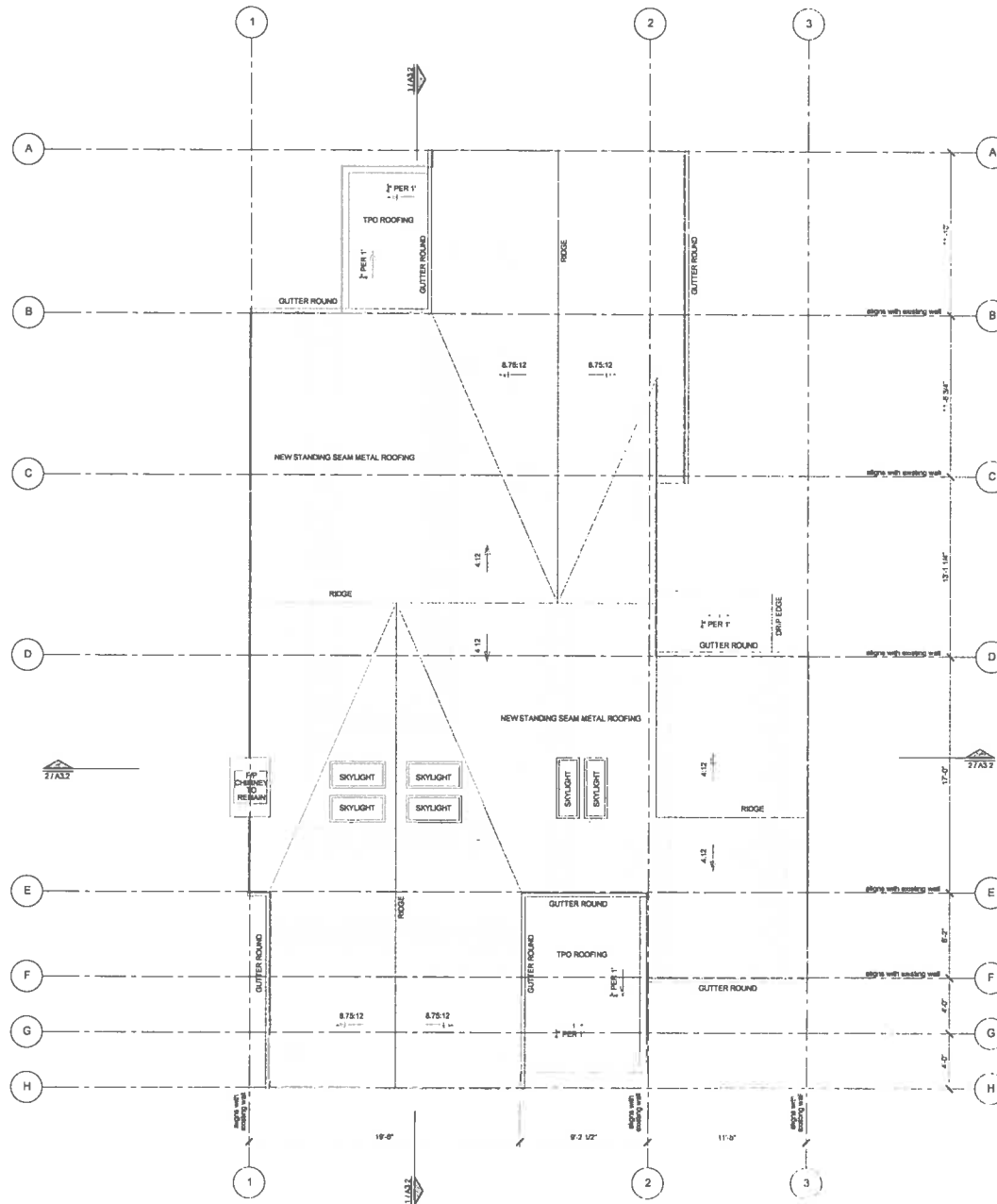
Existing wall -

[illegible]

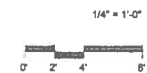
Test result	Good	OK
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A2.1

05



Metal Roof -
(hatch indicative of standing seams)



427 Bay Rd
Menlo Park

Rev.	Date	Revised by/Revised for
1	12.10.16	Planning Subm.

ROOF PLAN

A2.2

This architectural floor plan illustrates a house with several additions and a garage. The layout includes the following areas and dimensions:

- Overall Dimensions:**
 - Left side: 15'-7" (top), 11'-9" (middle), 15'-0" (bottom), 8'-0" (bottom left).
 - Right side: 11'-0" (top), 12'-0" (middle), 11'-0" (bottom).
 - Bottom: 17'-0" (left), 8'-1 1/2" (center), 11'-0" (right).
- Rooms and Additions:**
 - A:** 8th ADDITION (Top left, 8'-0" wide).
 - B:** 2nd ADDITION (Top right, 18'-1 3/4" wide).
 - C:** 2nd ADDITION (Middle right, 12'-0" high).
 - D:** 122 sq. EXISTING (Center, 12'-0" high).
 - E:** 40th COVERED PORCH (Middle right, 8'-0" wide).
 - F:** 2nd EXISTING GARAGE (Bottom right).
 - G:** 172nd ADDITION (Bottom left, 17'-0" wide).
 - H:** 8th ADDITION (Bottom center, 8'-1 1/2" wide).
 - I:** 2nd COVERED PORCH (Bottom center, 2'-0" wide).
 - J:** 2nd COVERED PORCH (Bottom right, 2'-0" wide).
 - K:** 8th EXISTING (Bottom left, 4'-6 1/4" wide).
- Other Features:**
 - Stairs are located at the bottom center.
 - Various rooms are shown with furniture and fixtures, including a kitchen, living area, and bedrooms.
 - Dimensions for individual rooms and sections are provided throughout the plan.

AREA	DIMENSIONS	SQUARE
A	10'7" x 8'9"	69
B	18'1" x 11'0"	214
C	20'0" x 12'0"	24
D	41'10" x 29'2"	1221
E	8'4" x 4'9"	40
F	11'8" x 23'4"	270
G	10'0" x 17'0"	172
H	9'0" x 9'1"	83
I	4'0" x 17'0"	68
J	31'1" x 9'1"	36
K	4'4" x 1'4"	6
Total Building Coverage-		2,200sf or (33.4%)

Lot Area-		8,593sf
FAL max R-1-U-		2,800sf
AREA	DIMENSIONS	SQUARE
A	10'7"x6'6"	69
B	18'1"x11'10"	214
C	2'0"x12'0"	24
D	41'10"x29'2"	1221
F	11'8"x23'4"	270
G	10'0"x17'0"	172
H	9'0"x9'1"	83
Total areas over 17'		
Total		2,056sf

$$1/4" = 1'-0"$$

10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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427 Bay Rd
Marina Park

Int	Day	Topic/Study phase
	12.10.15	Planning Subm
A	01.25.16	Plan ReSubm
A	02.26.16	Plan ReSubm

SQUARE FOOTAGE

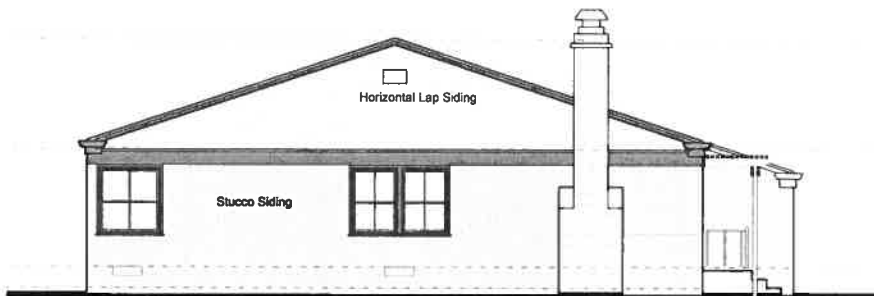
SCALE PLAN

A2.3



Existing Southeast Right Elevation

SCALE
1/4" = 1'-0" 4



Existing Northwest Left Elevation

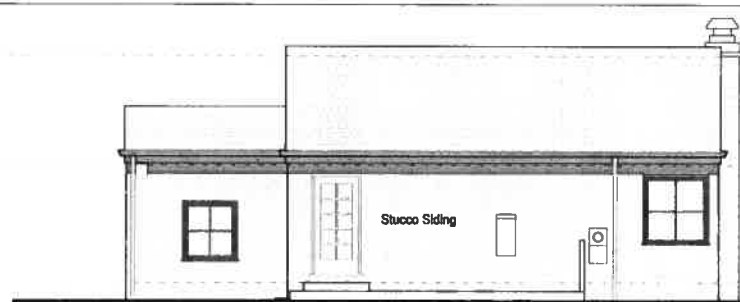
SCALE
1/4" = 1'-0" 3

D7



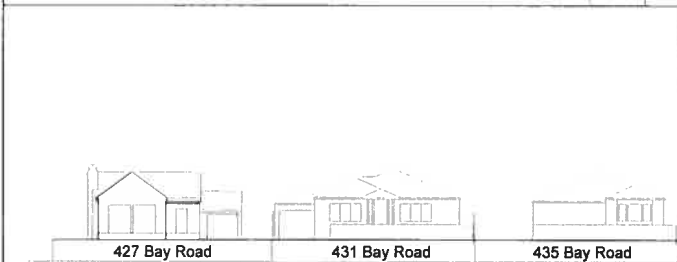
Streetscape Oakland Avenue

SCALE
1/16" = 1'-0" 6



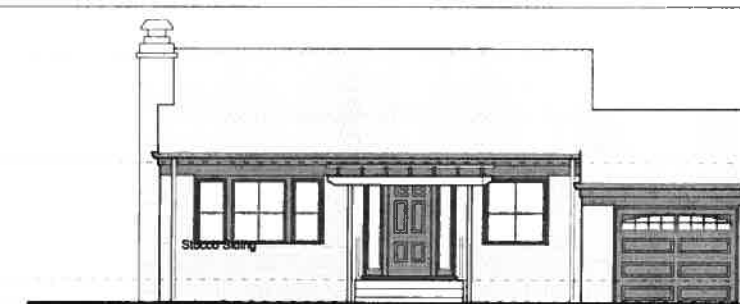
Existing Northeast Rear Elevation

SCALE
1/4" = 1'-0" 2



Streetscape Bay Road

SCALE
1/16" = 1'-0" 5



Existing Southwest (Street) Front Elevation

SCALE
1/4" = 1'-0" 1

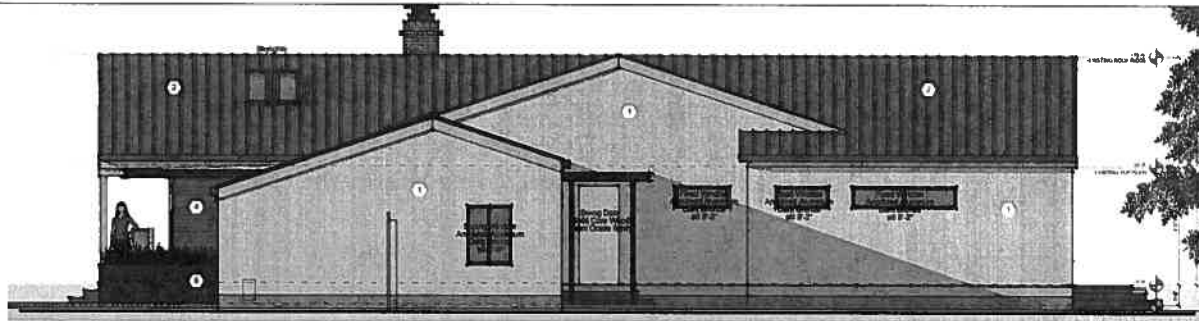
427 Bay Rd
Menlo Park

No.	Date	Revised By	Revised For
1	12.10.18	Planning	Submit

ELEVATIONS
EXISTING

For Date: Sheet: of

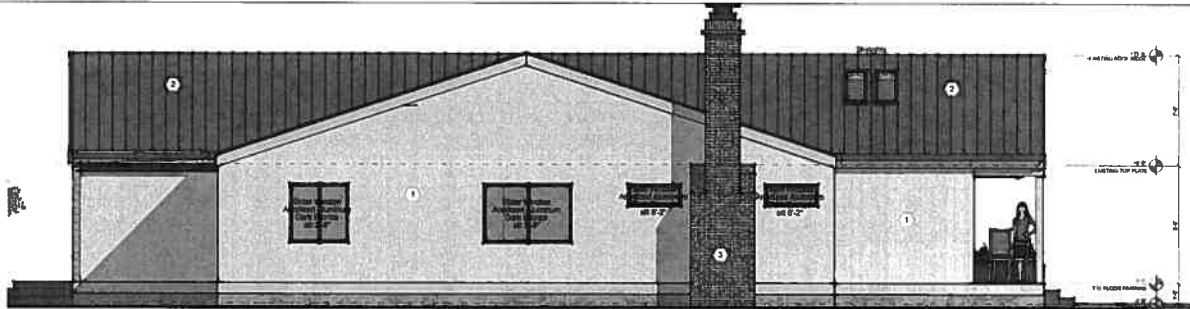
A3.0



Southeast Right Elevation

SCALE
1/4" = 1'-0"

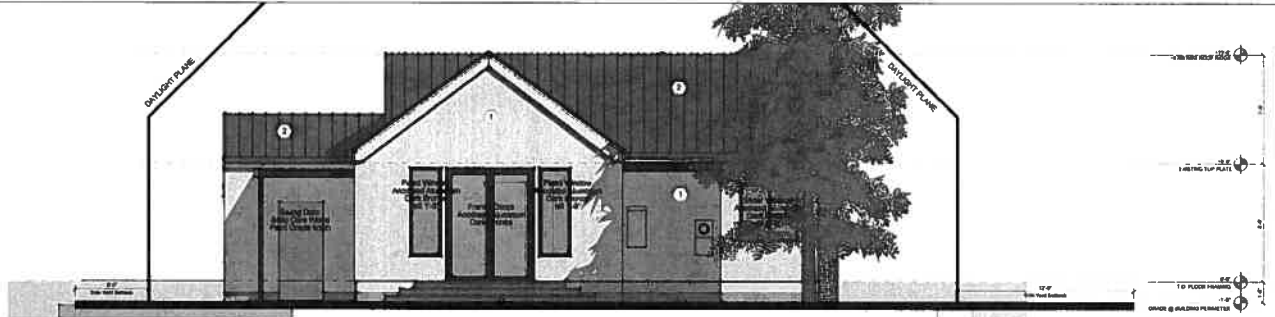
4



Northwest Left Elevation

SCALE
1/4" = 1'-0"

3



Northeast Rear Elevation

SCALE
1/4" = 1'-0"

2



Southwest (Street) Front Elevation

SCALE
1/4" = 1'-0"

1

Average Grade of finished floor is 1'-5" below top of floor framing.

1. Smooth Shingles or Hardie Lap siding typ. Oak-white color
2. Standing Seam metal roof, Galvalume, cool gray color
3. Existing Brick Chimney stack to remain
4. Accent Material at entry, steel grade 1st color siding shown
5. Hot-rolled steel planter box at entry

0' 2' 4' 6' 10'

427 Bay Rd
Menlo Park

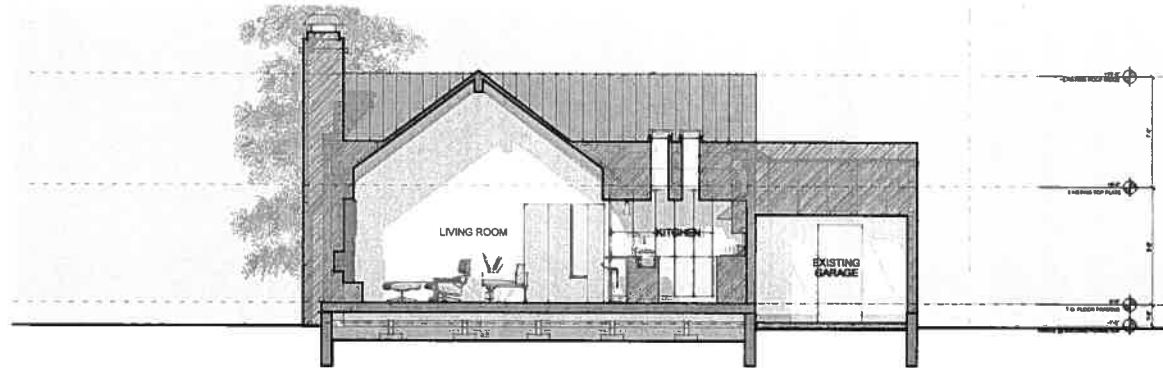
Rev	Date	Revised By
12	10.15	Planning Subm

NEW ELEVATIONS

Full Name Street City State Zip

A3.1

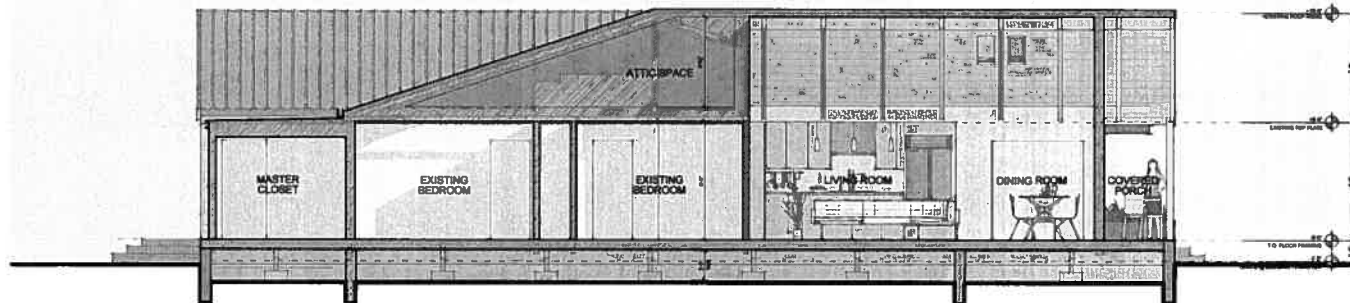
D9



Existing Northwest Left Elevation

SCALE
1/4" = 1'-0"

2



Existing Southwest (Street) Front Elevation

SCALE
1/4" = 1'-0"

1

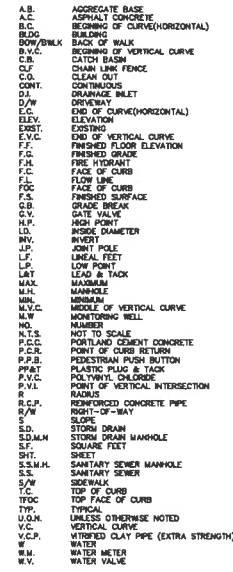
427 Bay Rd
Menlo Park

Rev	Date	Revised and Rechecked
1	12.10.18	Planning Subm

BUILDING SECTIONS

Rev Notes

A3.2



THE BEARING OF N72°17'56"W OF THE NORTHERLY
RIGHT-OF-WAY OF BAY ROAD AS SHOWN UPON
CERTAIN SUBDIVISION MAP ENTITLED "BLOCK 1 TO
17 BELLE HAVEN CITY" FILED FOR RECORD IN BOOK
18 OF MAPS AT PAGES 43, 44 AND 45 OF SAN
MATEO COUNTY RECORD WERE USED AS BASIS OF
BEARING FOR THIS MAP.

I CERTIFY THAT THIS PARCELS BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

427 Bay Rd Menlo Park, CA 94025 Addition Project

This proposal was initiated when we learned that the setback of the existing home on the side street falls less than 2 ft from the current specified setback of the zoning codes (10' vs. 12'). The scope of work is enough to warrant a review process for the nonconforming structure. We would like our addition to be considered as an extension of the existing form.

This project consists of a front and back addition to an existing single-family home, as well as remodeling the interior, and replacement of the existing exterior finishes.

The character of the building is not changed with much significance, the roof ridge remains at the same height and the new additions employ gabled roof similar to the existing but with steeper pitch. The exterior materials will be similar to those seen when touring the neighborhood, either stucco or lap siding (off white) as the primary material, with a stronger material such as clear stained wood or tile at the entry. It will all be wood framed with a perimeter footing foundation to tie into the existing. The additions on the front and back both have exposed beam vaulted ceilings.

The addition tries to retain as much the existing structure as possible; it stays within front and rear yard setbacks, increases the size of one bedroom and adds a master suite, enlarges living area, adds laundry/mud room, and improves the kitchen. The existing driveway and garage are to remain unchanged.

The project remains in use as a single-family home, no changes to the family that resides here. It will now better facilitate their desired uses and improve the perception of the home as seen from the street. As a result of the property being a corner lot, only one neighbor was in position to be affected by the work, keeping this neighbor in mind we kept the roofline at or below the existing roofline, so no additional shadows and limited line-of-sight would be affected. Their closest structure is a garage that also was built within the current side yard setback.

In conclusion the project is a simple addition, keeping with the neighborhood, and we hope it will improve the perception of the neighborhood as a whole.

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CITY OF MENLO PARK
PLANNING





MEMORANDUM

Date: 2/26/2016
To: Commission Members
From: Alex D. McIntyre, City Manager
Re: City Council Work Plan Transmittal and Capital Improvement Program (CIP) process update

The City Council adopts its work plan at the beginning of the year. The work plan is the guiding document for the initiatives and projects staff will be working on throughout the next 12-18 months. Some of these items are typically not funded until the adoption of the budget later in June. At the Jan. 29, 2016, City Council special meeting, the City Council was provided with an update on the work plan items for 2015. Many of the items on the work plan and many of the currently funded CIP projects for 2015 are ongoing. The ongoing work plan items combined with CIP projects that are currently funded were combined for a draft work plan for Council to review for 2016.

The list was grouped into themes and priority levels to help categorize the items. The themes are as follows in no specific order:

- Improving Menlo Park's multimodal transportation system to more efficiently move people and goods through Menlo Park
- Responding to the development needs of private residential and commercial property owners
- Realizing Menlo Park's vision of environmental leadership and sustainability
- Maintaining and enhancing Menlo Park's municipal infrastructure and facilities
- Attracting thoughtful and innovative private investment to Menlo Park
- Furthering efficiency in city service delivery models
- Providing high-quality resident enrichment, recreation, discovery and public safety services

The City Council approved the work plan for 2016, which includes approximately 70 items, some of which include multiple components. The work plan is included as Attachment A.

In previous years, as a part of the annual budget development process, the City updated its Five-Year Capital Improvement Plan (CIP), even though only the first year of CIP is funded by Council. The CIP typically represents recommendations for short- and long-range public investment in infrastructure development, maintenance, improvement and acquisition. The CIP provides a link between the City's Infrastructure Master Plan, various master planning documents, and various budgets and funding sources, and provides a means for planning, scheduling, funding and implementing capital and comprehensive planning projects over the next five years. Typically, a capital project is defined as a project costing more than \$25,000.

Since, the Council has already approved the work plan and prioritized the initiatives

and projects for the year and due to the current number and complexity of projects, there isn't the intent to add additional items to the CIP. The focus for the year is to work toward completion of the work plan items approved by Council including the CIP projects. It is important to note that some of the items in the work plan are not currently funded and they will be proposed as part of the upcoming budget for fiscal year 16-17. There may be a few CIP items added for FY16-17, but they will mainly be based on legal requirements. Other items that were previously listed in the CIP for FY16-17 and not included in the Council work plan will be shifted to the next fiscal year.

Staff capacity has continued to be a limiting factor to the Council work plan and CIP implementation. The staffing for work plan and CIP projects comes from a variety of areas and continued vacancies have impacted available resources. This has affected the work plan and CIP schedules for many of the City's projects. We are in the process of filling these positions and finding the right talent to execute the work plan. It should be noted that these positions function as high-level project managers who work with contract engineering firms for design and construction of projects.

The CIP process should be a continuous discussion. It is important for the commissions to continually think about projects throughout the year and to discuss the merits of those projects including how they fit into the overall master plans within the City. The Council will be provided regular updates on the work plan items throughout the year. These updates can service as an opportunity and check in for the commissions to discuss any future projects that might be important to the City in the context of master plans and issues that arise.

Thank you, as always, for your valuable support of the Council's efforts to meet their goals of responsible fiscal management of the City's resources and infrastructure.

Responding to the development needs of private residential and commercial property owners

Number	Source	Description	Lead Department
Extremely Important			
1	WP	Complete the General Plan Update	Community Development
2	WP	Process complex development projects	Community Development
Very Important			
3	WP	Implement Downtown/EI Camino Real Specific Plan biennial review	Community Development

Realizing Menlo Park's vision of environmental leadership and sustainability

Number	Source	Description	Lead Department
Important			
4	CIP	Community Zero Waste Policy Draft	City Manager's Office
5	CIP WP	Install EV charging stations as part of the Climate Action Plan	City Manager's Office
6	WP	Update the Heritage Tree ordinance	City Manager's Office

Attracting thoughtful and innovative private investment to Menlo Park

Number	Source	Description	Lead Department
Extremely Important			
7	WP	Implement Housing Element programs	City Manager's Office Community Development
Very Important			
8	WP	Expand downtown outdoor seating program	City Manager's Office
Important			
9	WP	Implement the Economic Development Plan	City Manager's Office
10	CIP WP	Implement Downtown/EI Camino Real Specific Plan streetscape (paseo, parklets)	City Manager's Office Public Works

Providing high-quality resident enrichment, recreation, discovery and public safety services

Number	Source	Description	Lead Department
Extremely Important			
11	WP	Create a community disaster preparedness partnership (MenloReady) with residents, businesses and schools utilizing the existing agreement with the Menlo Park Fire Protection District	Police
12	WP	Complete the Belle Haven Pool facility analysis for year-round operations	Community Services
Very Important			
13	WP	Complete the Belle Haven Action Plan Phase III implementation	Community Services
14	WP	Enhance Community special events	Community Services
15	WP	Maintain City Council-approved cost recovery levels in all Community Services programs	Community Services
16	CIP	Undertake a community process to rank potential projects for Measure T funding	Community Services
17	WP	Develop a Bedwell Bayfront Park operations / maintenance plan to enhance use, improve access and determine a sustainable funding source for ongoing maintenance	Community Services
Important			
18	WP	Develop an implementation plan for the Sister City and Friendship program	City Manager's Office

Maintaining and enhancing Menlo Park's municipal infrastructure and facilities

Number	Source	Description	Lead Department
Extremely Important			
19	CIP	Complete Belle Haven Youth Center playground replacement	Community Services Public Works
20	CIP WP	Install bicycle and pedestrian improvements on Chilco Street	Public Works
21	CIP	Maintain citywide sidewalk repair program	Public Works
22	CIP	Maintain citywide street resurfacing program	Public Works
23	CIP WP	Improve Haven Avenue streetscape (bike lanes, complete sidewalk gaps, new pedestrian bridge over Atherton Channel) (grant funded)	Public Works
24	CIP	Adopt Urban Water Management Plan update	Public Works
25	CIP WP	Complete sidewalks on Santa Cruz Ave	Public Works
26	CIP WP	Develop a water master plan	Public Works
27		a. Add an additional emergency water well	
28		b. Develop a recycled water program	
29		c. Enter into an agreement with West Bay Sanitary District for the Sharon Heights Recycled Water Project	
Very Important			
30	CIP	Repair and Upgrade the Bedwell Bayfront Park leachate collection system	Public Works
31	CIP	Install Library landscaping	Public Works
32	CIP	Replace Police radio infrastructure	Public Works
33	CIP WP	Address downtown parking garage - prioritize location, develop design concepts - consider Oak Grove bike lanes	Public Works
34	CIP	Enter into an agreement with Redwood City and the Salt Pond Restoration Project for the Bayfront Canal Bypass Project	Public Works
35	CIP	Design Pope/Chaucer bridge improvements	Public Works
Important			
36	CIP	Construct restroom at Jack Lyle Park	Public Works
37	CIP	Replace Library interior wall fabric	Public Works
38	CIP	Replace Nealon Park sports field sod and irrigation system	Public Works
39	CIP	Address Nealon Park dog park	Public Works
40	CIP	Replace Willow Oaks dog park and install restroom	Public Works
41	CIP	Initiate Downtown utility undergrounding	Public Works
42	CIP	Complete library space needs study	Public Works

Furthering efficiency in city service delivery models

Number	Source	Description	Lead Department
Extremely Important			
43	WP	Complete the classification and compensation study and work with labor units to address the study's findings	Administrative Services
44	CIP WP	Complete the Information Technology Master Plan and:	Administrative Services
45		a. Implement key best practices	
46		b. Launch a selection process for replacement of mission critical systems including an enterprise resource planning (ERP) business management system for the city including administrative and land development operations	
47		c. Identify and implement interim upgrades to existing business systems as a bridge to their replacement	
48	WP	Complete a fee study for solid waste and water utilities	Administrative Services Public Works
49	CIP WP	Complete administration building space planning	Public Works
Very Important			
50	WP	Complete an updated cost allocation plan, user fee study for non-utility operations, and cost recovery models for non-development related services	Administrative Services
	WP	Implement recommendations from the department operational reviews:	Community Services Library
51		Develop and implement strategic plans for the Library and Community Services departments	
52		Revise and update departmental policies and procedures in the Library and Community Services departments	
53		Develop and improve cooperative relationships with community stakeholders (school districts, community groups, etc.)	
Important			
54	WP	Analysis and prioritization of alternative service delivery model goals, what outcome is desired (financial, service changes, etc.) and what metrics determine success	City Manager's Office
55	WP	Assess current staffing levels in the Administrative Services department, realign existing resources, and add resources where necessary to support the organization's current and future needs for technology, financial, and human resources support	Administrative Services
56	WP	Improve community communications	City Manager's Office
57	WP	Initiate organizational study for development services utilizing industry best practices	City Manager's Office Community Development Public Works
58	WP	Initiate organizational study for Public Works maintenance services	City Manager's Office Public Works

Improving Menlo Park's multimodal transportation system to move people and goods through Menlo Park more efficiently

Number	Source	Description	Lead Department
Extremely Important			
59	WP	Develop and implement transit improvements (study transit options including enhancements to existing shuttles and transportation management associations, install new shuttle stop signs and amenities)	Public Works
60	CIP WP	Study and prioritize Willow Road transportation improvement options	Public Works
61	CIP WP	Work with Caltrans and regional funding partners to design and begin construction on 101/Willow Road interchange	Public Works
62	CIP WP	Construct Citywide Bicycle and Pedestrian Visibility Project (add green colored pavement to existing high-use corridors at conflict points and downtown bike racks) (grant funded)	Public Works
63	CIP WP	Construct Menlo Park-Atherton Bike/Pedestrian Improvements Project (Valparaiso Avenue Safe Routes to School project) (grant funded)	Public Works
64	CIP WP	Construct Menlo Park-East Palo Alto Connectivity Project (add Class III bike routes and sharrows to connecting streets and fill sidewalk gaps on O'Connor Street and Menalto Avenue) (grant funded)	Public Works
65	CIP WP	Prepare Project Study Report for Ravenswood Avenue/Caltrain Grade Separation Project (grant funded)	Public Works
66	CIP WP	Explore Dumbarton Rail Corridor activation / re-use	Public Works
67		Install bus shelters at the Senior Center and on Willow Road between U.S. 101 and Bayfront Expressway	Public Works
Very Important			
68	CIP WP	Coordinate with regional agencies on High Speed Rail project, including environmental review	Public Works
69	CIP WP	Begin design and implement El Camino Real Corridor Study	Public Works
70	CIP	Design and construct Sand Hill Road signal modification project	Public Works
71		Establish a crosswalk policy	Public Works
Important			
72	CIP WP	Work with Caltrain to complete Peninsula Corridor Electrification Project design review	Public Works

City Council Initiated Projects

Number	Source	Description	Lead Department
73		Explore adoption of a minimum wage ordinance	City Manager's Office