



REGULAR MEETING AGENDA

Date: 4/11/2016
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

- E1. Approval of minutes from the March 7, 2016 Planning Commission meeting. ([Attachment](#))

F. Public Hearing

- F1. Use Permit/Eric Keng/145 Oak Court:
Request for a use permit to demolish a single-story residence and detached garage and construct a new two-story residence and attached garage on a substandard lot located in the R-1-U (Single-Family Urban Residential) zoning district. ([Staff Report #16-023-PC](#))
- F2. Use Permit/Jack McCarthy/230 O'Connor Street:
Request for a use permit to demolish an existing single-story residence and detached garage and construct a new two-story, single-family residence and attached garage on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district. ([Staff Report #16-024-PC](#))
- F3. Use Permit/Sarah Potter/280 Willow Road:
Request for a use permit to construct a single-story addition and conduct interior modifications to a single-family, nonconforming residence that would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period. The subject parcel is located in the R-1-

U (Single-Family Urban) zoning district. ([Staff Report #16-025-PC](#))

G. Informational Items

G1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.

- Regular Meeting: April 18, 2016
- Regular Meeting: May 9, 2016
- Regular Meeting: May 23, 2016

H. Adjournment

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at www.menlopark.org and can receive e-mail notification of agenda and staff report postings by subscribing to the “Notify Me” service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting the Planning Division at 650-330-6702. (Posted: 4/6/16)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission’s consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk’s Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk’s Office at 650-330-6620.



REGULAR MEETING MINUTES - DRAFT

Date: 3/7/2016

Time: 7:00 p.m.

City Council Chambers

701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair John Onken called the meeting to order at 7:00 p.m.

B. Roll Call

Present: Andrew Combs, Katie Ferrick, Susan Goodhue, John Kadvany, Larry Kahle, John Onken (Chair)

Absent: Katherine Strehl (Vice Chair)

Staff: Thomas Rogers, Principal Planner; Jean Lin, Senior Planner

C. Reports and Announcements

Principal Planner Rogers reported that Thursday, March 10, 2016, a ConnectMenlo (General Plan Update) Topic Meeting on Green Building Standards would be held at 6:30 p.m. at the Belle Haven Senior Center. He said the City Council at its March 15 meeting would review the Annual Housing Element Report previously reviewed by the Planning Commission in February and the Housing Commission. He said there had not been any substantive changes to the report that the Council would receive. He said the City Council would also consider the budget for consultant services to conduct an environmental review of the proposed Stanford Middle Avenue project.

Responding to a question from Commissioner Ferrick, Principal Planner Rogers said the Commission's recommendation regarding incentives to increase lower income housing may not be part official report itself, but the recommendation would be transmitted to the Council as part of the staff report.

D. Public Comment

There was none.

- E1. Use Permit/Ann Weiss/2108 Clayton Drive: Request for a use permit for excavation in the required front, left side, and rear yard setbacks associated with landscape improvements on a standard lot in the R-1-S (Single Family Suburban) zoning district. Nine heritage trees located in the front and corner side yards are proposed for removal as part of the proposed project. ([Staff Report #16-016-PC](#))

Staff Comment: Senior Planner Lin noted a minor correction on Sheet XA01 of the Plan, drawing seven, to change the top left hand corner labeled "front retaining wall section" to "rear retaining wall section."

Commissioner Kahle said some of the trees noted for removal in the arborist report were not shown in Table 1 on page 3 of the staff report and asked if there were more than nine trees were being removed,. Senior Planner Lin said there were a total of nine heritage trees to be removed as shown in Table 1, but some non-heritage trees that would also be removed.

Commissioner Kadvany said the heritage trees slated for removal as part of the excavation were #'s 13, 14 and 15. He asked if those trees would be removed independent of the Commission's decision on the excavation use permit. Senior Planner Lin said the arborist report on Trees 13, 14 and 15 said those trees in poor condition and that the City Arborist supported removal of those trees because of their condition. Replying to Commissioner Kadvany further, she said that the City Arborist reviews Heritage Tree Removal permits and that those permits are not acted on by the Planning Commission.

Commissioner Ferrick asked about the specimen types and size of the 15 replacement trees. Senior Planner Lin said those were listed on the Site Plan A.1.0 in the table to the very right. She said the replacement trees were generally larger size and several different tree species in boxes ranging from 24 to 48-inches. Commissioner Ferrick asked why there was only one live coast tree in the list of replacement trees. Senior Planner Lin suggested the applicant might better answer that question.

Applicant Presentation: Ms. Yoanna Dakovska, Moderna Homes, project architect, said the landscape architect had selected a live oak to replace the one in the front being removed. She said he was not present to answer why he made that design decision. She said the property driveway currently connects to the Alameda de las Pulgas, which was an issue in terms of safety and traffic. She said the driveway would connect to Clayton Drive, an area having cross slope, which was why the retaining walls were needed.

Commissioner Goodhue suggested that perhaps the landscape architect had not chosen more oaks for the plan as they were not fast growing.

The project arborist Kevin Kielty said the Brisbane box trees were a quick growing upright tree and good for screening while oaks are slower growing and wider. He said it was a smaller lot and would have quite a few trees on it.

Commissioner Ferrick asked about the property address change. Ms. Ann Weiss, property owner, said they bought the property and the prior owner had changed the address. Senior Planner Lin said regardless of the street address that the front of the property was Clayton Drive, which was where they measured the front setback.

Commissioner Kahle asked about the finish on the concrete block retaining wall. Yoanna said the concrete blocks would not be seen from the street side as the grade went most of the way up the wall. She clarified for Commissioner Kahle that a few inches of the concrete blocks would be visible.

Public Comment:

- Ms. Melanie Austin – she said the existing trees on the project site were awful. She said she and her husband have in the past maintained the ones in the corner to keep leaves from going into the storm drain. She asked about neighbor protection from construction vehicles. She said it was a one-way street so trucks enter and tend to use her driveway to turn around. She noted her property has a soft berm that she has spent considerable money on repairing from prior construction projects.

Chair Onken said construction controls were not really within the Commission's purview with this permit request and suggested the speaker speak with the City and find out information about permit construction conditions.

There being no other public speakers, Chair Onken closed the public hearing.

Commission Comment: Commissioner Ferrick said for the record and the benefit of the member of the public that spoke that the Community Development website has a link to all the development and construction regulations. She also suggested that Ms. Austin speak with the neighbor and the Building Department about her concerns.

Commissioner Combs said that a property owner did not have to allow construction trucks onto private property and suggested there were avenues to pursue to prevent such unwanted use.

Chair Onken said regarding the use permit request for excavation that he was very happy with the tree plan, had no objection to the terracing and retaining wall on the site, and although not under the Commission's purview, he thought changing the driveway from Alameda to Clayton was a huge benefit in terms of safety. He moved to approve the use permit request.

Commissioner Kahle seconded the motion with a recommendation to use stucco on the retaining wall to match the house. Senior Planner Lin clarified with Commissioner Kahle that he was making a recommendation and not a condition of approval. This was acceptable to Chair Onken the maker of the motion to approve.

ACTION: Motion and second (Onken/Kahle) to approve; passes 6-0 with Commissioner Strehl absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.

3. Approve the use permit subject to the following **standard** conditions:
- a. Development of the project shall be substantially in conformance with the plans prepared by Moderna Homes, consisting of 15 plan sheets, dated received on March 1, 2016, and approved by the Planning Commission on March 7, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans to remove and replace the non-standard asphalt curb along Clayton Drive between the utility pole and the existing storm drain inlet for review and approval of the Engineering Division.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
 - g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the recommendations in the arborist report by Kielty Arborist Services revised on February 17, 2016.

- E2. Use Permit/Amin Ahmadi/427 Bay Road: Request for a use permit for additions to, and remodeling of, an existing, nonconforming one-story, single-family residence on a lot in the R-1-U (Single-Family Urban) zoning district. The value of the work would exceed 75 percent of existing replacement value in a 12-month period. ([Staff Report #16-017-PC](#))

Staff Comment: Principal Planner Rogers said this was Planner Michele Morris' item and since she was out of the office, he would cover the project for this meeting. He said the applicant had contacted him today saying he had looked into the materials in more detail and determined the windows and doors were not available in the dark bronze as indicated. He said a submittal from the applicant had been distributed to the Commission to show the proposed elevation sheets in color with an alternate color scheme using sandstone color. He said it was a relatively subtle change and the roof would also match. He said that in condition 4.a distributed tonight to the Commission and public that the applicant would have the option to revise the plans to change

elevations as presented tonight to the Commission. He said the applicant had also asked about the draining and grading condition. He said the engineer for this project had not been available but another staff member thought this condition might not be required. Principal Planner Rogers said to allow for that possibility there was clarifying language added to the end of condition 3.f that stated the condition would not apply if the Engineering Division waived the requirement. He said the handout represented the revised staff recommendation of approval.

Questions of Staff: Commissioner Kahle said there were two new windows, one on each side of an existing fireplace. He said the City required that if new construction occurred within 12-inches of an existing brick fireplace it would have to be removed and replaced. He said the windows looked like they are very close to 12 inches from the fireplace.

Principal Planner Rogers said that the Planning Division did not usually review use permit applications in detail with the Building Division before coming to the Planning Commission. He said if there were changes to or near wood burning fireplaces that they could be required to be removed or have an insert added to prevent pollution. He said the Commission could condition preferred outcomes about that whether adjusting the windows to be separated farther or to remove the fireplace and replace it with gas.

Commissioner Kadvany said the trim around the front door had changed from the stained cedar to light sandstone, stacked veneer, #4 on sheet A3.1. Principal Planner Rogers said that appeared to be accurate and was allowable under the proposed condition 4.a.

Applicant Presentation: Mr. Amin Ahmadi, project applicant, said he and his wife were proposing changes to the trim, doors, and roof color and materials.

Chair Onken asked the windows and the fireplace. Mr. Ahmadi said he did not believe the windows would encroach within 2-inches of the fireplace. He said since they moved into the home in 2005 they had never burned a fire in it, noting that they had small children. He said if it was within their budget they would convert it into a gas fireplace.

Commissioner Kahle said the main material was either stucco or Hardie siding. Mr. Ahmadi said they probably would go with smooth stucco as they wanted a simple design. Commissioner Kahle asked if they could use both materials noting there were some high gable ends that would benefit from siding to break up the stucco. Mr. Ahmadi explained that his architect thought siding was better and said stucco cracked. He said his contractor indicated that the technique for applying stucco had improved and cracking was no longer a factor. He said he and his wife wanted smooth stucco.

Commissioner Kahle said the design was nice on the Bay Road side and asked if they had considered a window on the Oakland Avenue side in area to the right of the fireplace which he thought was a dining room. Mr. Ahmadi said the dining room had a lot of light from the front, but said another window on that side was a possibility.

Commissioner Kahle said in comparing the front elevation to the plan what seemed to be posts on either side of the porch looked like 12-inch walls on the plan. He suggested they show the posts

more carefully. Mr. Ahmadi confirmed they were posts and said they would.

Commissioner Ferrick said there was a six-foot fence on the Oakland Avenue side of the house and a window there probably wouldn't be visible from the street. She said also she lives on Bay Road and her home has the same orientation. She said windows on the Oakland Avenue side became extremely hot from the sun. Mr. Ahmadi said that there was a gate at the end of the fence where the house stepped in so he would consult with the architect about the window.

Chair Onken, noting there were no persons wishing to speak, closed the public hearing.

Commission Comment: Chair Onken said it was surprising to not find the same kind of design enthusiasm with the windows on the Oakland Avenue side as with the Bay Road side. He said it was an approvable project and would like to give the architect the flexibility to further address the Oakland Avenue side façade to add siding or windows. Mr. Ahmadi said aesthetically they wanted to keep the materials simple to emphasize the dramatic windows.

Commissioner Ferrick said the fence did drop down as it approached Bay Road as noted by Commissioner Kahle and she also wanted to give them flexibility for a window on the Oakland Avenue side. She moved to approve to allow for additional flexibility on the Oakland Avenue side for additional windows. Chair Onken seconded the motion to include Commissioner Ferrick's and staff's revised conditions.

ACTION: Motion and second (Ferrick/Onken) to approve with following modifications; passes 6-0 with Commissioner Strehl absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Amin Ahmadi, consisting of 10 plan sheets, dated received February 29, 2016, and approved by the Planning Commission on March 7, 2016 except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.

- d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. This condition shall not apply if the Grading and Drainage Plan requirement is waived by the Engineering Division.
 - g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.
4. Approve the use permit subject to the following **project-specific** conditions:
- a. Simultaneous with the submittal of a complete building permit application, the plans may be modified to reflect the exterior changes submitted to the Planning Commission at the March 7, 2016 meeting, subject to review and approval of the Planning Division.
 - b. *Simultaneous with the submittal of a complete building permit application, the plans may be modified to provide additional windows on the Oakland Avenue elevation, subject to review and approval of the Planning Division.***

F. Informational Items

- F1. City Council Work Plan Transmittal and Capital Improvement Program (CIP) process update ([Attachment](#))

Principal Planner Rogers said this was an informational item and there was no action required. He said that in the past when the CIP was brought to the various commissions, the City Council had already given direction on the on the larger picture and individual commissions were making comments that did not necessarily support that direction. Thus when those comments went to the Council it seemed the commissions' comments were not being considered. He said the City Council and City Manager have a new informational proposal to provide information on what the Council has already directed in terms of overall work plan and how the CIP supports it.

Replying to Chair Onken's question, Principal Planner Rogers said items called out as "extremely important" were really the only ones that were prioritized for the immediate year. He said the listings of "important" and "very important" were ways the City Council was able to relay that they supported the overall objectives but for the near term those items were less likely to be implemented than the extremely important items.

Commissioner Combs suggested that having the budgets shown for the items listed would have been useful to see. Principal Planner Rogers said he could bring that comment to the work team for this process.

Commissioner Kadvany suggested that it would be helpful to have a Council Member who liaised with the Commission to improve communication on priorities.

Commissioner Kahle asked about the downtown parking garage. Principal Planner Rogers said it had been talked about but noted it was a Transportation Division project. He said he knew it was on the Council's radar screen.

Commissioner Ferrick said she was appreciative that "Implement the Housing Element" was listed as extremely important, which status she hoped it would retain and not shift down in priority.

Chair Onken said prior CIP showed when projects would be implemented. He said that there was some chronological sense indicated in this report with how the priority was assigned. He said what was important about the review of the CIP was that the Planning Commission identifies many potential actions and initiatives, directly and indirectly. He said they then had seen those folded into a priority list which gave the Commission the opportunity to clarify what the Commission had meant and to weigh in on the items the Commission was initiating. He confirmed with Principal Planner Rogers that feedback on the Work Plan and the CIP could be made by individual commissioners to the Council.

- F2. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.

- Regular Meeting: March 21, 2016
- Regular Meeting: April 11, 2016
- Regular Meeting: April 18, 2016

G. Adjournment

Chair Onken adjourned the meeting at 8:01 p.m.

Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett



STAFF REPORT

Planning Commission

Meeting Date: 4/11/2016

Staff Report Number: 16-023-PC

Public Hearing: Use Permit/Eric Keng/145 Oak Court

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to demolish a single-story residence and detached garage and construct a new two-story residence and attached garage on a substandard lot located in the R-1-U (Single-Family Urban Residential) zoning district, at 145 Oak Court. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at 145 Oak Court, between Menalto Avenue and Elliott Drive in the The Willows neighborhood. A location map is included as Attachment B. The subject parcel is a panhandle lot and is surrounded by single-family homes which are also in the R-1-U zoning district, and duplexes and apartment buildings that are in the R-2 (Low-Density Apartment) zoning district. This neighborhood has a mix of housing stock which includes one and two-story single-family residences of various architectural styles including ranch, farmhouse, mission and craftsman style homes.

Analysis

Project description

The applicant is proposing to demolish an existing single-story, single-family residence and construct a new two story residence. At the first floor, the front covered porch would open to a foyer and living room opposite a library. The foyer would lead to a guest bedroom and guest bathroom, and the dining room. Also, on this floor would be a utility room, a half-bathroom, family room and a two-car garage. The dining room and family room would open out to a partially covered patio in the rear yard. The second floor would have two bedrooms, one bathroom, a master bedroom with a balcony, and a master bathroom. Overall, the proposed residence would have four bedrooms and three and one-half bathrooms. The balcony would comply with relevant side and rear setback requirements.

The house is proposed to be 27 feet in height, below the maximum permissible height of 28 feet, and the proposed structure would comply with daylight plane requirements. Two additional parking spaces would be provided which would comply with requirements for panhandle lots. A data table summarizing parcel

and project attributes is included as Attachment C. The project plans, and the applicant's project description letter are included as Attachments D and E, respectively.

Design and materials

The applicant states that the new residence would be a modern, barn-style house with a gabled, standing seam metal roof in a dark color. The front entry would feature wood columns and beams and the garage door would be wood with glass panels to echo the design of the building's façade. The covered porch combined with the façade and framing details would help minimize the visual effect of the garage which would project beyond the front of the residence. In addition, the garage's prominence would be limited by the fact that this is a panhandle lot that is not particularly visible from the public right-of-way. The new wood vertical batten and board siding would be painted off-white and include wood trimmed, multiple pane dark bronze aluminum clad windows. There would be a mix of casement windows and metal windows with simulated divided lites.

The second floor would be set back from the ground floor of the residence, which would reduce the perception of mass. The design of the second floor balcony would be consistent with the wood columns and railing of the front covered porch. Staff believes that the scale, materials, and design of the proposed residence would be consistent with the neighborhood's mix of architectural styles.

Flood Zone

The subject property is located within the "AE" zone established by the Federal Emergency Management Agency (FEMA). Within this zone, floodproofing techniques are required for construction of a new structure and substantial improvements of existing structures. Under FEMA and City guidelines, the proposed project is considered a substantial improvement, and as such, the new residence is required to meet FEMA floodproofing regulations.

Trees and landscaping

The applicant has submitted an arborist report (Attachment F) detailing the species, size and conditions of the trees on or near the site, including three heritage trees. One heritage coast live oak tree (tree #74) and a heritage valley oak (tree #75) are on the neighboring property near the rear lot line. A heritage sized date palm is beyond the front line and on a neighboring property as well. No heritage tree is proposed for removal. Three non-heritage size trees, the plum and pittosporum in the front yard setback, and a small tangerine tree on the left side of the property are proposed for removal.

The arborist report indicates that the heritage coast live, valley oak and date palm trees would be protected by standard tree protection measures, such as the placement of four inches of wood chipper chips to be spread under the drip lines. This project should not adversely affect any of the trees as these tree protection measures will be ensured through standard condition 3g. Staff does not believe any new landscaping is needed on the side elevations, since the residence would face detached garages, although the Planning Commission could consider whether additional plantings should be required.

Correspondence

Staff has not received any items of correspondence on the proposed project.

Conclusion

Staff believes the scale, materials, and style of the proposed residence are compatible with the neighborhood. The applicant has set the second floor back from the ground floor of the proposed residence to reduce the perception of mass. The recommended tree protection measures would help minimize impacts on nearby heritage trees. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

Michele T. Morris, Assistant Planner

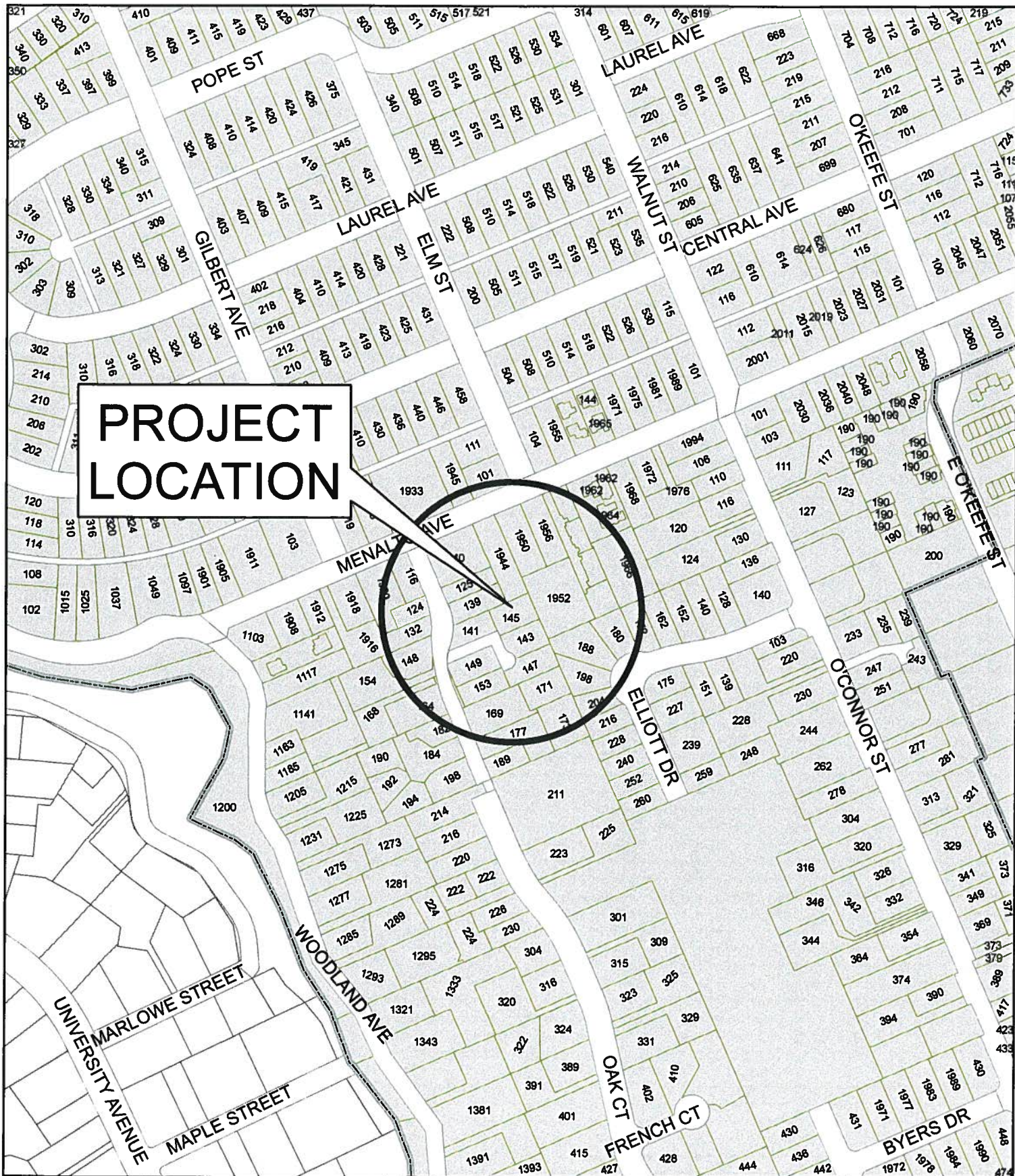
Report reviewed by:

Thomas Rogers, Principal Planner

145 Oak Court – Attachment A: Recommended Actions

LOCATION: 145 Oak Court	PROJECT NUMBER: PLN2015-00090	APPLICANT: Eric Keng	OWNER: Jungran Lee
REQUEST: Request for a use permit to demolish a single-story residence and detached garage and construct a new two-story residence and attached garage on a substandard lot located in the R-1-U (Single-Family Urban Residential) zoning district.			
DECISION ENTITY: Planning Commission	DATE: April 11, 2016	ACTION: TBD	
VOTE: TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
<p>ACTION:</p> <ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by DL Architecture and Planning consisting of twelve plan sheets, dated received March 24, 2016, and approved by the Planning Commission on April 11, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 			





CITY OF MENLO PARK



LOCATION MAP
145 OAK COURT

DRAWN: THR CHECKED: MTM DATE: 04/11/16 SCALE: 1" = 300' SHEET: 1



145 Oak Court – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area, gross*	11,929 sf	11,929 sf	
Lot area, net	6,500 sf	6,500 sf	7,000 sf min.
Lot width	65 ft.	65 ft.	65 ft. min.
Lot depth	100 ft.	100 ft.	100 ft. min.
Setbacks			
Front	20 ft.	26 ft.	20 ft. min.
Rear	28 ft.	67 ft.	20 ft. min.
Side (left)	6.5 ft.	13 ft.	6.5 ft. min.
Side (right)	6.5 ft.	10 ft.	6.5 ft. min.
Building coverage	2,021.9 sf	1,239 sf	2,275 sf max.
	31 %	19.1 %	35 % max.
FAL (Floor Area Limit)	2,792.3 sf	1,239 sf	2,800 sf max.
Square footage by floor	1,450.8 sf/1 st 903.9 sf/2 nd 437.6 sf/garage 123.5 sf/porches 10 fireplace	815 sf/1st 200 sf/garage 224 sf/accessory	
Square footage of building	2,925.8 sf	1,239 sf	
Building height	27 ft.	14 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered

Trees	Heritage trees	3**	Non-Heritage trees	4	New Trees	0
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	1	Total Number of Trees	7***

* This is a panhandle lot.

**Two heritage trees are located on adjacent properties.

***Four trees are located on adjacent properties.

CITY OF MEMPHIS PARK
BUILDING

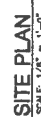
ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING

2013 CALIFORNIA RESIDENTIAL CODE	
2013 CALIFORNIA RESIDENTIAL CODE	
2013 CALIFORNIA MECHANICAL CODE	
2013 CALIFORNIA PLUMBING CODE	
2010 CALIFORNIA ENERGY CODE	
2013 CALIFORNIA GREEN BUILDING CODE	

TO EXISTING 1 STORY RESIDENCE WITH GARAGE. REBUILT NEW 2 STORY SINGLE FAMILY DWELLING WITH 4 BATHROOMS, LIVING ROOM, FAMILY ROOM AND ATTACHED 2-CAR GARAGE

IS LOCATED IN FLOOD ZONE "A" AND
WOOD ELEVATION (BFE) OF 35.7 NAVD 1985
APPROVAL OF UNDER FLOOR FRAMING
IN A LICENSED SURVEYOR SHALL
FOUNDATION ELEVATION BY SUBMITTING
A STAMPED STATEMENT.

REFER TO CALIFORNIA GREEN BUILDING CODE
2013 EDITION FOR MORE DETAIL INFORMATION

[illegible][illegible]

SK-03

DATE: 8-1-2013
SCALE: 1/8"=1'-0"
SHEET: 13

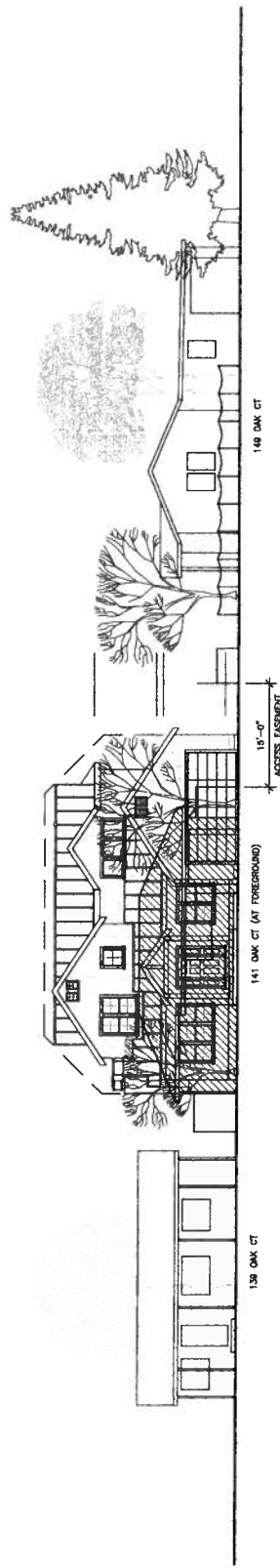
STREET SCAPE

NEW RESIDENCE
FOR: Jurgan Lee
146 DAK COURT
MENLO PARK, CA

DL Architecture
& Planning
616 RAMONA ST. STE 21
PALO ALTO, CA
(650) 321-2908



NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10	NO. 11	NO. 12	NO. 13	NO. 14	NO. 15	NO. 16	NO. 17	NO. 18	NO. 19	NO. 20	NO. 21	NO. 22	NO. 23	NO. 24	NO. 25	NO. 26	NO. 27	NO. 28	NO. 29	NO. 30	NO. 31	NO. 32	NO. 33	NO. 34	NO. 35	NO. 36	NO. 37	NO. 38	NO. 39	NO. 40	NO. 41	NO. 42	NO. 43	NO. 44	NO. 45	NO. 46	NO. 47	NO. 48	NO. 49	NO. 50	NO. 51	NO. 52	NO. 53	NO. 54	NO. 55	NO. 56	NO. 57	NO. 58	NO. 59	NO. 60	NO. 61	NO. 62	NO. 63	NO. 64	NO. 65	NO. 66	NO. 67	NO. 68	NO. 69	NO. 70	NO. 71	NO. 72	NO. 73	NO. 74	NO. 75	NO. 76	NO. 77	NO. 78	NO. 79	NO. 80	NO. 81	NO. 82	NO. 83	NO. 84	NO. 85	NO. 86	NO. 87	NO. 88	NO. 89	NO. 90	NO. 91	NO. 92	NO. 93	NO. 94	NO. 95	NO. 96	NO. 97	NO. 98	NO. 99	NO. 100
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D3

VICINITY MAP

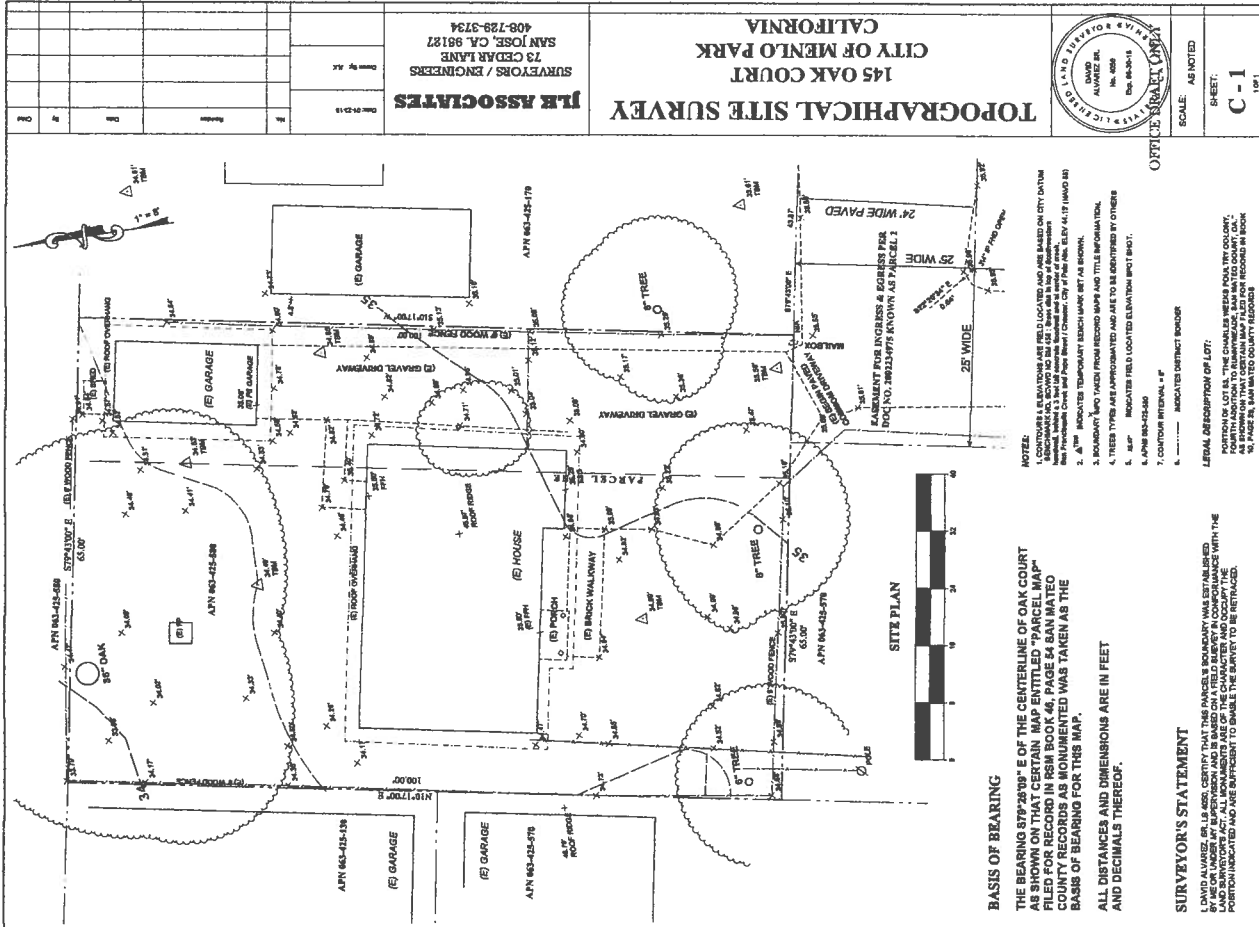
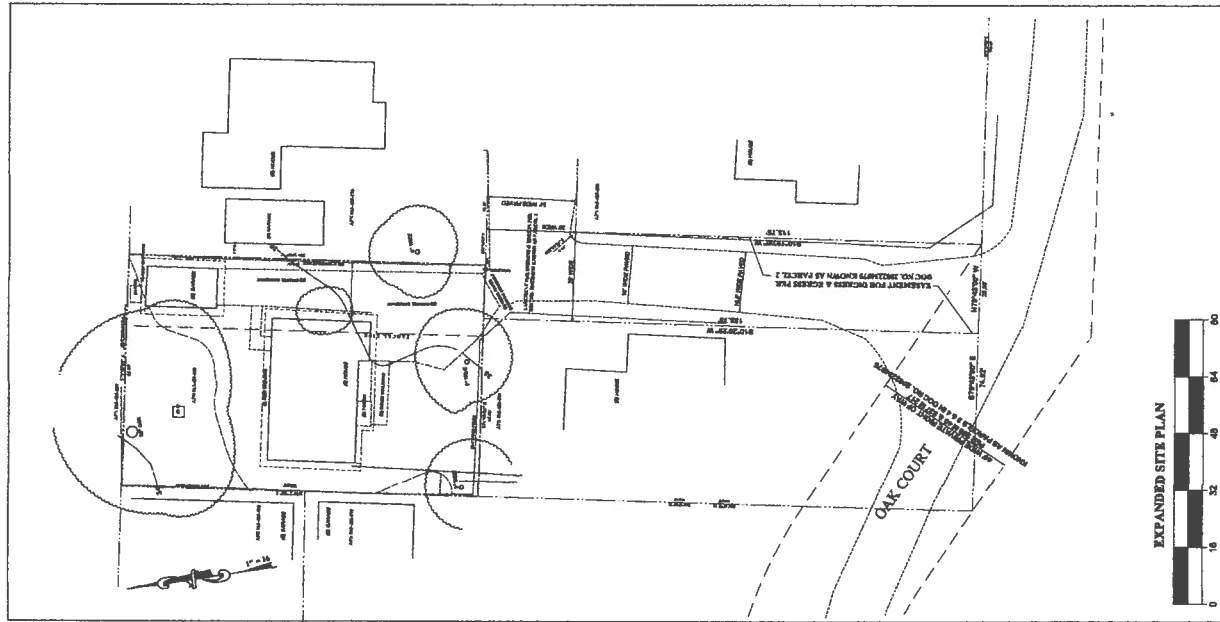
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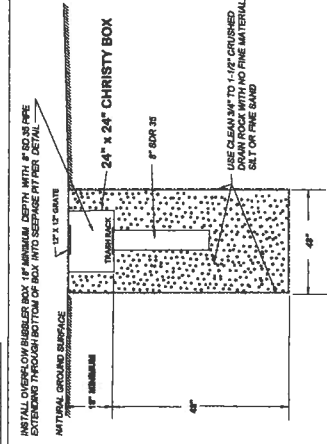
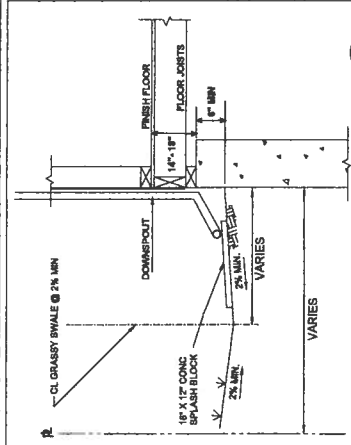
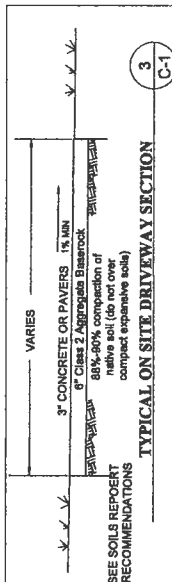
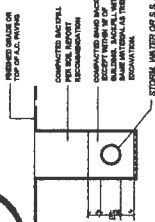
[illegible]

FLOOD NOTE:

THIS SITE IS WITHIN THE FLOOD HAZARD ZONE AE
ELEVATION 36.7' PER FLOOD MAP FEMA MAP
06030310309E, REVISED OCTOBER 16, 2012
BENCHMARK MARK UTILIZED: SCVWD NO BM 488;
Gross diast. to top of Southernmost basement
behind a 3' test fill concrete footwall and at
center of crest, San Francisco Creek and Pope
Street / Chaucer, City of Palo Alto.
ELEV 44.16' (NAVD 80) [SEE ELEVATION
CERTIFICATE PREPARED FOR THIS SITE.

D4



[illegible]

LEGEND

[illegible]

FLOOD NOTE:

THIS SITE IS WITHIN THE FLOOD HAZARD ZONE AE
ELEVATION 38.7' PER FLOOD MAP FEMA MAP
6863130398, REVISED OCTOBER 16, 2012
BENCHMARK MARK UTILIZED: SCWNO NB 488 ;
Brass disk in top of Southwestward headwall,
behind a 3 feet cast concrete floodwall and at
center of creek, San Francisco Creek and Pope
Street/Chauvin, City of Palo Alto.

BASIS OF BEARING

THE BEARING 87°28'09" E OF THE CENTERLINE OF OAK COURT
FILED FOR RECORD IN RSM BOOK 46, PAGE 54 SAN MATEO
COUNTY RECORDS AS MONUMENTED WAS TAKEN AS THE
LARS OF BEARING FOR THIS MAP.

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

NOTES:

1. CONTAINER & ELEVATIONS ARE FIELD LOCATED AND ARE BASED ON CITY DATUM. SERRAVALLO INC. INVOYO NO. 429 : Bore with 1/2" of sandstone below.
2. BORE WITH 1/2" OF SANDSTONE BELOW AND 1/2" OF SANDSTONE BELOW AND 1/2" OF SANDSTONE BELOW.
3. THE INDICATES TEMPORARY BENCH MARK SET AS SHOWN.
4. BOUNDARY INFO TAKEN FROM RECORD MAPS AND TITLE INFORMATION.
5. THESE TYPES ARE APPROXIMATED AND ARE TO BE IDENTIFIED BY OTHERS.
6. MAP INDICATES FIELD LOCATED ELEVATION (SPOT) NOT.

LEGAL DESCRIPTION OF LOT:

PORTION OF LOT 52, "THE CHARLES WHEELER POULTRY COLONY,"
FOURTH ADDITION TO RAINBOWDALE, SAN MATEO COUNTY, CA.
AS SHOWN ON THAT CERTAIN MAP FILED FOR RECORD IN BOOK
10, PAGE 28, SAN MATEO COUNTY RECORDS

SCALE:

SHEET:

1.

1401

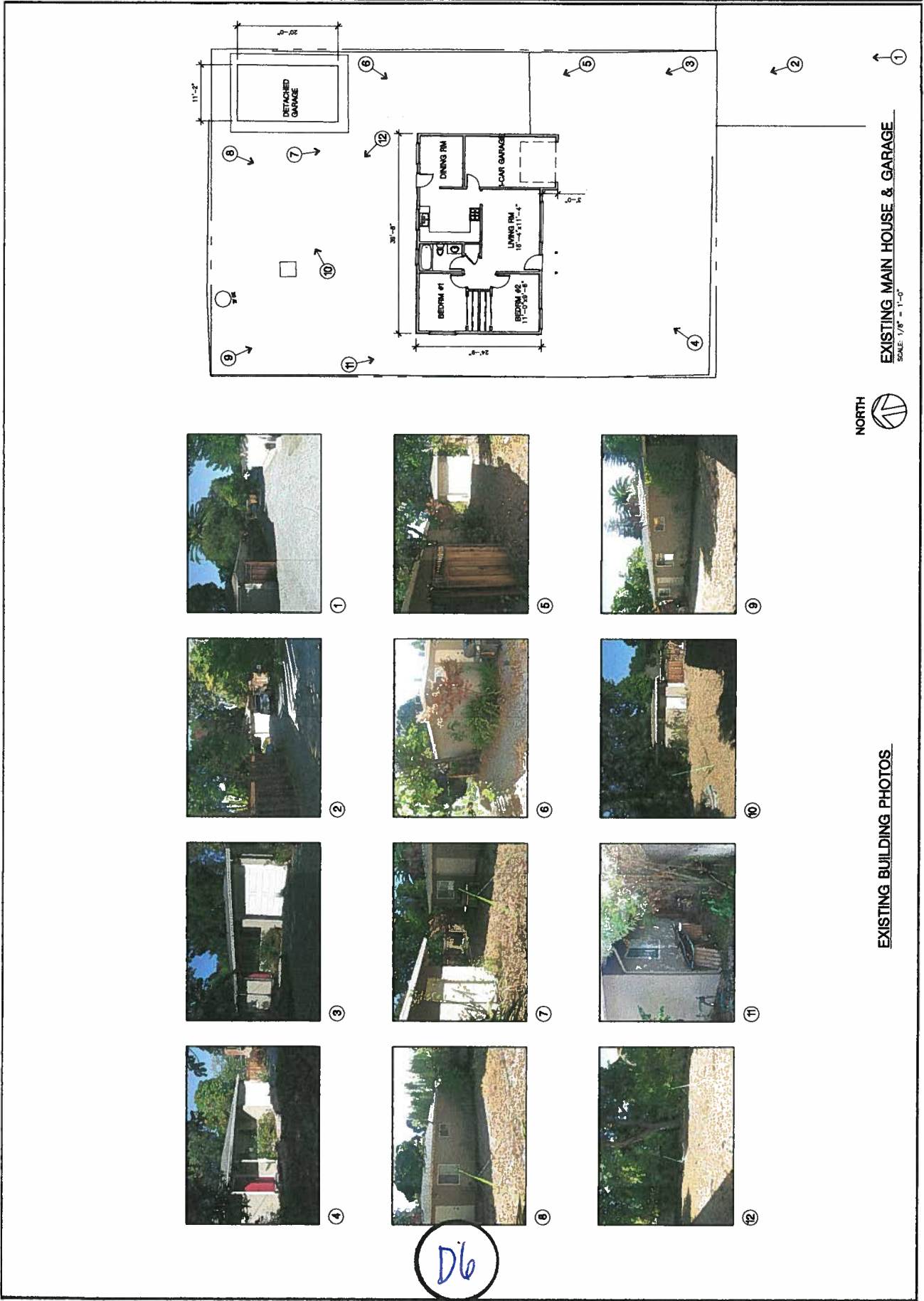
JLR ASSOCIATES
SURVEYORS / ENGINEERS
73 CEDAR LAKE
SAN JOSE, CA. 95127
408-729-3734

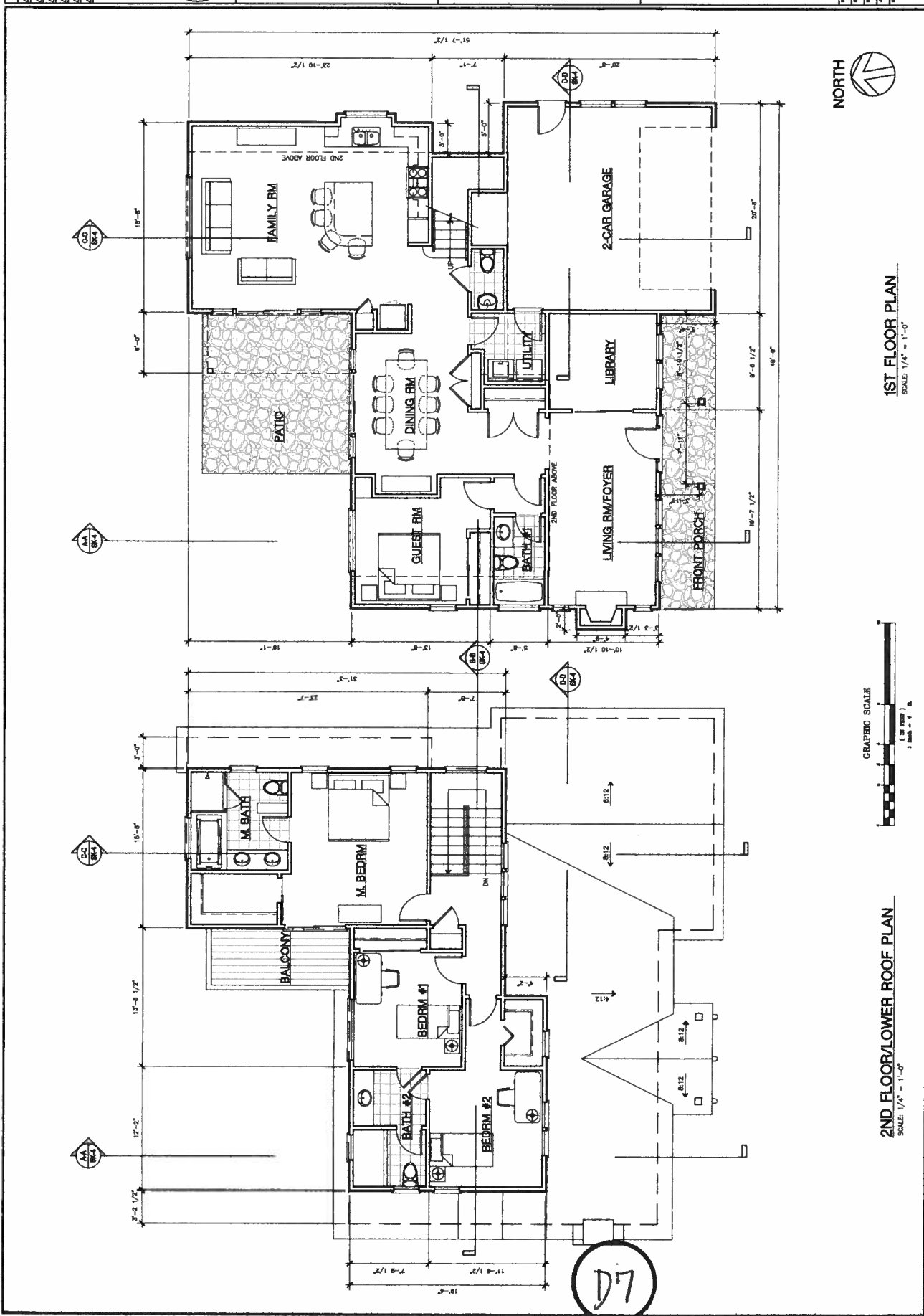
GRADING / DRAINAGE PLAN

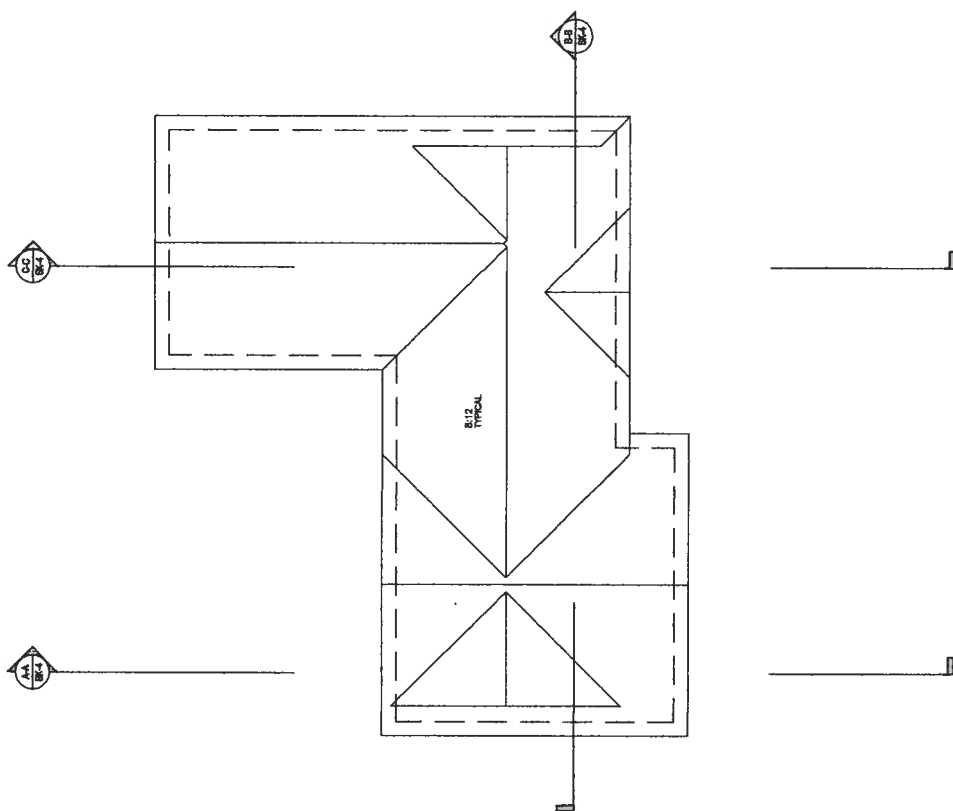
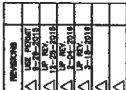
CALIFORNIA



PRELIMINARY







2nd FLOOR ROOF PLAN
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



D8

REVISIONS	
1	11-15-2018
2	11-15-2018
3	11-15-2018
4	11-15-2018
5	11-15-2018
6	11-15-2018
7	11-15-2018
8	11-15-2018
9	11-15-2018
10	11-15-2018



DL Architecture & Planning
 608 PALOMA BL. STE 21
 PALO ALTO, CA 94301
 (650) 321-2908

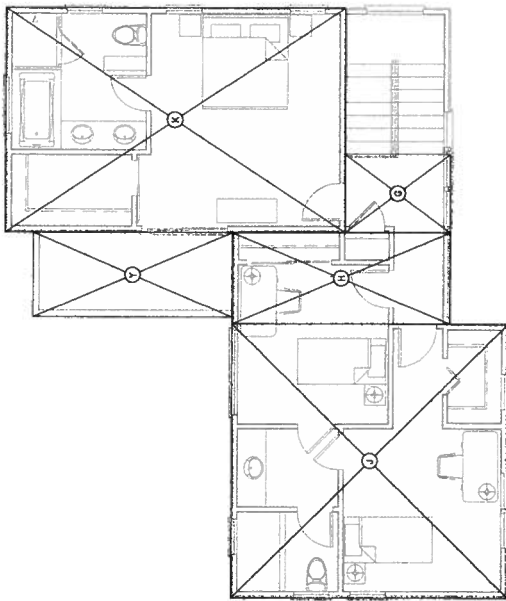
NEW RESIDENCE
 FOR: Jungan Lee
 146 OAK COURT
 MENLO PARK, CA 94025

FLOOR AREA CALCULATIONS

SK-23
 11-15-2018
 1/2" = 1'-0"

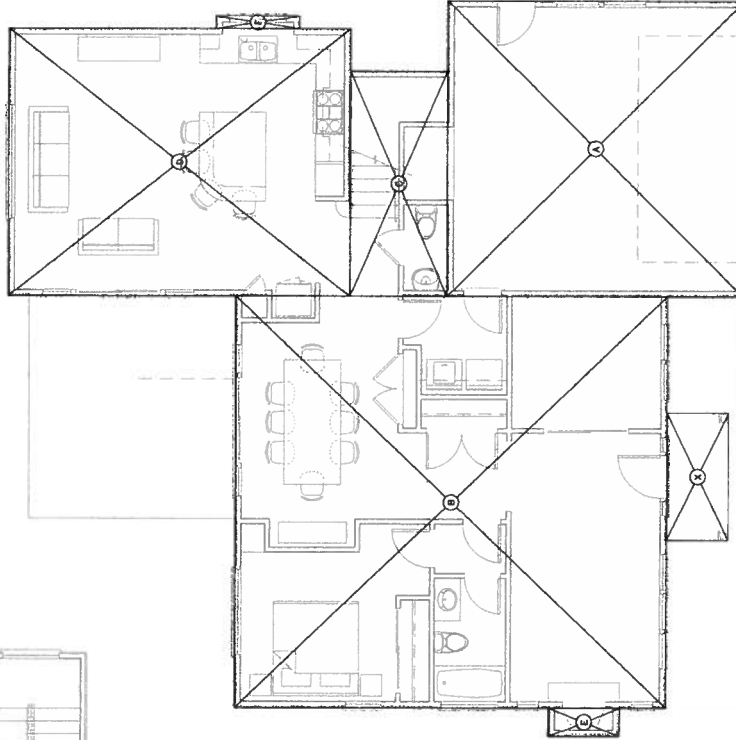
GARAGE	A = 20'-11" x 20'-11"	437.6 sqft
	B = 29'-1" x 30'-5 1/2"	885.8 sqft
	C = 15'-11" x 6'-10"	108.6 sqft
	D = 18'-11" x 24'-1 1/2"	456.4 sqft
	E = 2'-0" x 5'-0" (NOT COUNTED)	
	F = 1'-0" x 6'-0" (NOT COUNTED)	
		1688.4 sqft
1ST FLOOR	G = 5'-6 1/2" x 7'-5 1/2"	41.3 sqft
	H = 6'-5 1/2" x 15'-5"	98.6 sqft
	J = 19'-5" x 19'-7"	380.2 sqft
	K = 15'-11" x 24'-1 1/2"	382.7 sqft
	STAIR CASE (NOT COUNTED)	
		903.9 sqft
2ND FLOOR		
ATTIC OVER 5'		
TOTAL FAL =		2792.3 sqft

GARAGE	A = 20'-11" x 20'-11"	437.6 sqft
	B = 29'-1" x 30'-5"	885.8 sqft
1ST FLOOR	C = 15'-11" x 6'-10"	108.6 sqft
	D = 18'-11" x 24'-1 1/2"	456.4 sqft
	E = 2'-0" x 5'-0"	10.0 sqft
	F = 1'-0" x 6'-0"	6.0 sqft
COVER PATIO	X = 9'-0" x 4'-4"	39.0 sqft
	Y = 6'-0" x 14'-1"	84.5 sqft
	Z = 6'-0" x 14'-1"	84.5 sqft
TOTAL LOT COVERAGE =		2022.1 sqft



2ND FLOOR PLAN
 1/4" = 1'-0"

D9



1ST FLOOR PLAN
 1/4" = 1'-0"

REVISIONS	
1	10-1-2015
2	10-1-2015
3	10-1-2015
4	10-1-2015
5	10-1-2015
6	10-1-2015
7	10-1-2015
8	10-1-2015
9	10-1-2015
10	10-1-2015

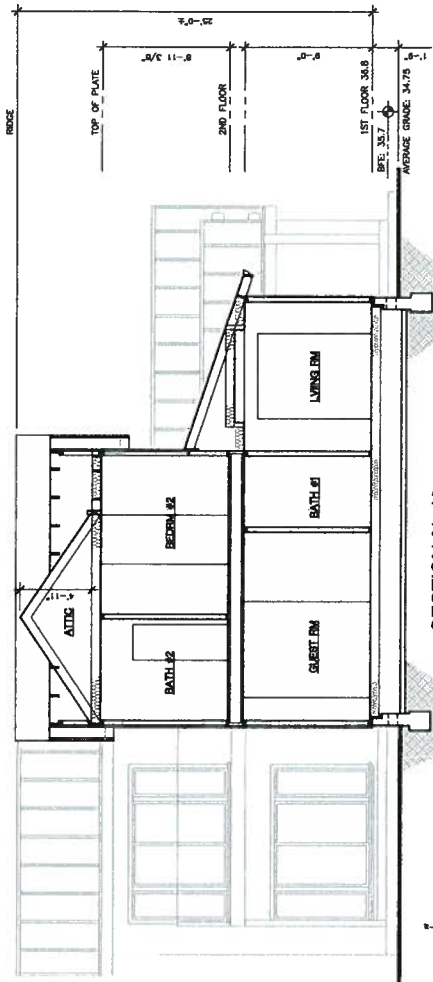
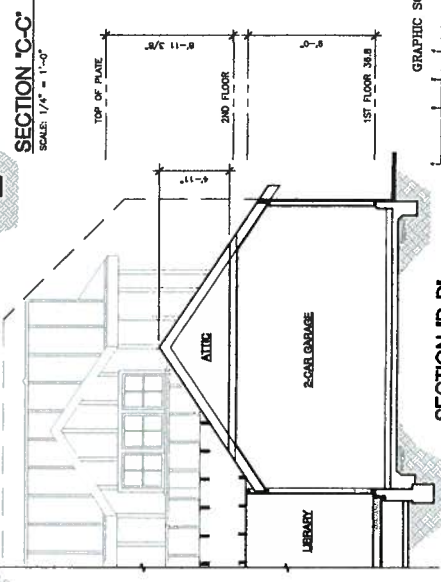
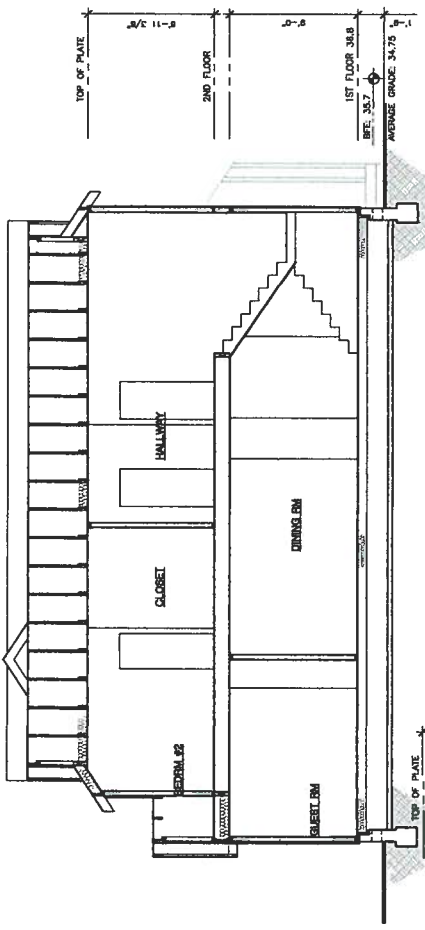
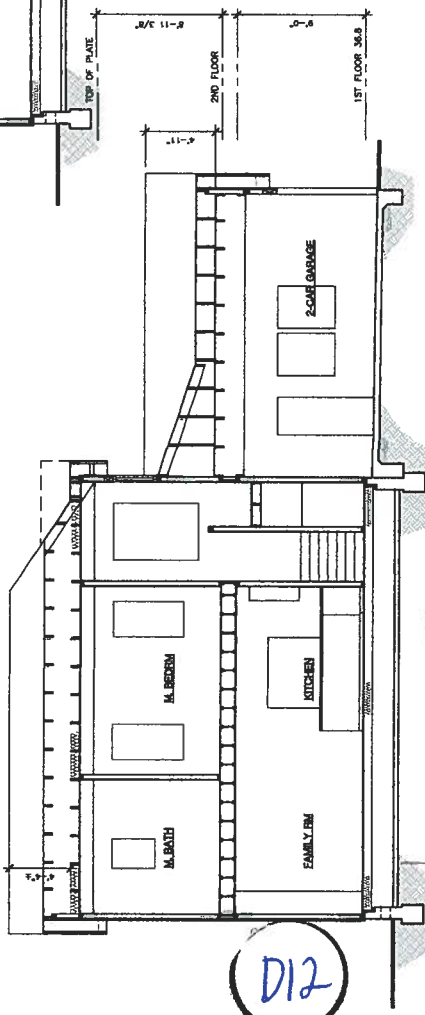
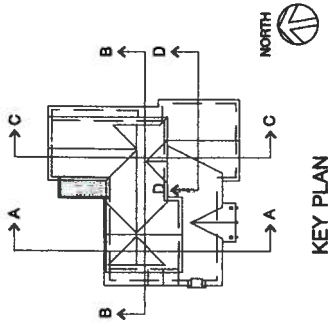


DL Architecture & Planning
 816 RAMONA ST. STE 21
 PALO ALTO, CA 94301
 (650) 321-2908

NEW RESIDENCE
 FOR: Jungan Lee
 165 OAK COURT
 MENLO PARK, CA

BUILDING SECTIONS

SK-4
 1/4" = 1'-0"
 1/8" = 1'-0"



D12

RECEIVED

OCT 01 2015

Project Description:

Re: 145 Oak Court

CITY OF MENLO PARK
PLANNING

The proposed project is located on a 65'x100' lot in R-1-U zoning which is less than 7000 sq.ft. Considered substandard lot size that needs use permit for the new 2 story residence.

The scope of work is to demolished existing single story residence and detached garage in the backyard, maintain all existing onsite trees and backyard landscape except one 6" fruit tree to be removed, build a new 2 story residence with 6'-0" wide 2nd floor deck outside of master bedroom that complies all setback requirements for 2nd floor deck/balcony.

The new 2 story house with 2 bedrooms and master bedroom suite on the 2nd floor, living room, family room, dining room and guest bedroom on the 1st floor. New house location is to the front setback line with 2 car garage facing access easement eliminate the driveway to back yard; center the house between side setbacks.

The architectural style for the new residence is modern barn style house with 8:12 roof pitch, gable roof, front entry porch with stained wood columns and beams, vertical batten board over wood siding around the entire house and wood trim around multi-pane sash windows and exterior doors. The garage door is typical wood door with glass panel and color to match building. Roofing is dark color standing seam metal roof to incorporate some modern taste, building color will be white with white trim and dark brown fascia board; windows are "Andersen" 400 series wood windows with dark bronze aluminum clad. The 2nd floor balcony in the back of house construct with matching stained wood column and railing to entry porch.

For the outreach attempt, owner have made the effort to review design plans with surrounding neighbors; all neighbors are supporting the new development of 2 story house; due to this site location, the front property is facing one neighbor's backyard, the only concern from that neighbor is the privacy. The front setback between the new house and neighbor's property is 20 feet plus 2nd floor setbacks adding additional 16 feet from the front setback line with only one bedroom window facing, neighbor could accept the current design.

EI

December 11th, 2015



RECEIVED

JAN 04 2016

CITY OF MENLO PARK
BUILDING

Summary

Thank you for calling on my services with your questions regarding your trees and the neighbor's as well at your property. If you have any questions concerning this report or if I can be further service to you, please call me at any time.



Jhonatan Corado
Certified Arborist WE-9900A

X 

Disclaimer all the recommendations in this report are based on sound and accepted Horticultural practices, the author cannot be held responsible for the final project or Approval for removal.



December 11th, 2015

Arborist Report

Jungran Lee
145 Oak Ct
Menlo Park CA 94025
650-796-4347

Dear Ms. Lee

As requested on December 1st 2015, I visited the above site to inspect and comment on the trees. A new home construction is planned for this lot and your concern as to the future health and safety of the trees has prompted this visit. As required by the City of Menlo Park, a survey of the significant trees and a tree protection plan will be included.

Method: The significant trees on this site are located on a scale map provided by you. Each tree was given an identification number. This number was inscribed onto a metal tag and nailed to the trees at eye level, a few of them are tag in the nearest eye level because they belong to the neighbor's property. The trees were then measured for diameter at 54" inches above ground level (DBH or diameter breast height). A condition rating of 1 to 100 was assigned to each tree representing form and vitality using the following scale:

1	---	29	Very poor
30	---	49	Poor
50	---	69	Fair
70	---	89	Good
90	---	100	Excellent

In this report you will find a comment for each tree followed by a summary of my findings and a recommended Tree Protection Plan that should be in place for construction.



Tree #	Species	DBH	Condition	Comments
72	Plum Tree Prunus	6"	35	Remove and grind the stump
73	Pittosporum Tree	4"	55	Remove and grind the Stump
74	Coast Live Oak Tree Quercus agrifolia	34"	72	Good vigor, heavy canopy
75	Valley Oak Tree Quercus lobata Neighbor's Tree	36"	70	Good vigor, heavy lateral limbs, large deadwood
76	Horse Chesnut Tree Aesculus hippocastanum Neighbor's Tree	11"	65	Poor condition, possible property damage
77	Honey Locust Gleditsia triacanthus Neighbor's Tree	10"	70	Good vigor, some deadwood
78	Canary Island Date Palm Phoenix canariensis	28"	72	Good vigor, some dead fronds



Summary: The trees on site are different species. The trees on this site are in poor to good condition. The proposed plan for the new house has been located where impacts to the trees will be in small percentage.

Tree # 72 a Plum tree with diameter of 6" inches and a **Tree # 73** a Pittosporum tree are in poor condition; they will be removed and facilitate the foot traffic that will go inside the house for the new construction.

Tree # 74 a Coast Live Oak Tree located at rear yard will have a small percentage of impacts to the root system, this tree is in good vigor but I recommend to clean the crown by reducing weight off to maintain good and healthy canopy. Tree protection required

Tree # 75 a Valley Oak Tree located at rear side over the property line that belongs to neighbor's will have impacts to the root system when the existing detached garaged will be removed. This should be demolished by medium size equipment and 4 inches of wood chipper chips should be spread under the drip lines to reduce the impacts. Tree protection required

Tree # 76 a Horse Chesnut Tree located at right side over the property line fence that belongs to neighbor's this tree will have impacts to the root system if heavy equipment will drive over the driveway. 4 inches of wood chipper chips should be spread under the drip lines to reduce the impacts. The Arborist on site recommends the removal because it's damaging the property line fence and in the future will damage the foundation of the garage.

Tree # 77 a Honey Locust Tree is located at right side of the driveway over the property line fence that belongs to neighbors. This tree will have a small percentage of impacts to the root system under the drip line.

Tree # 78 a Canary Island Date Palm Tree is located at 141 Oak Ct; this tree belongs to another neighbor's house that is been addressed on the site plan and it will not have any impacts to the root system.

The information included in this report is believed to be true and based on Arboricultural principles and practices.



Tree Protection Plan: The tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for the protection zones should be with heavy-duty orange barrier safety fence. The location for the protective fencing should be as close to the dripline of desired trees as possible, still allowing room for construction to safely continue. No equipment or materials shall be stored or cleaned inside the protection zones. Areas outside protection zones, but still beneath the tree's driplines, where foot traffic is expected to be heavy, should be mulched with 3-5" of chipper chips and covered with $\frac{3}{4}$ inch plywood. The spreading of chips will help to reduce compaction and soil structure. The tree protection zones for the neighbor's trees must be maintained throughout the entire project.

Demolition and Site Access: All tree protection must be in place prior to the start of the demolition process. Demolition equipment should access the property from existing driveway if at all possible. The existing driveway shall remain until construction is completed if possible and can be removed when new driveway is ready to put on. If equipment is to stray off of existing driveway; 4 to 6 inches of chipper chips should be spread under driplines of existing trees. This type of landscape buffer will help to reduce compaction of root zones. Truck loading should be carried out on the existing driveway.

Root Cutting and Grading: Any roots to be cut (if any) should be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site Arborist. The site Arborist, at this time may recommend irrigation of the root zone. All roots needing to be cut should be clean cut with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Trenching and Excavation: Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss.

Irrigation: Normal irrigation shall be maintained on this site at all times. The irrigation will improve the vigor and water content of the trees. The onsite Arborist may take adjustments to the irrigation recommendations as needed.



STAFF REPORT

Planning Commission

Meeting Date:

4/11/2016

Staff Report Number:

16-024-PC

Public Hearing:

Use Permit/Jack McCarthy/230 O'Connor Street

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to demolish an existing single-story residence and detached garage and construct a new two-story, single-family residence and attached garage on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district, at 230 O'Connor Street. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at 230 O'Connor Street, between Elliott Drive and Byers Drive. A location map is included as Attachment B. The subject parcel is immediately surrounded by single-family homes and lots with more than one dwelling unit that are also in the R-1-U zoning district. Nearby parcels are also zoned R-2 (Low-Density Apartment), R-3 (Apartment), and the Laurel Upper School site located to the rear of the subject property which is in the PF (Public Facilities) zoning district. There is a mix of one and two-story single-family residences surrounding the project site that are a range of architectural styles including ranch, farmhouse, mission and craftsman style homes. Many of the nearby parcels are also substandard with regard to lot width.

Analysis

Project description

The applicant is proposing to demolish an existing single-story, single-family residence and detached garage and construct a new two-story residence and an attached two-car garage. At the main level, the front covered porch would open to the living room, dining room, a hall leading to a half-bathroom, and the stairway at the center of the building. The dining room would connect by sliding door to the kitchen and a nook which would include a bay window. Opposite the kitchen would be the family room that would lead to a trellis-covered patio in the rear yard. There would be a guest bedroom and guest bathroom on the main level as well. The second floor would have a laundry room, two bedrooms, one bathroom, a master bedroom, and a master bathroom with a walk-in closet. Overall, the proposed residence would have four

bedrooms and three and one-half bathrooms, where one bedroom and a half-bathroom would be on the main level.

The house is proposed to be 27 feet, 2 inches in height, below the maximum permissible height of 28 feet, and the proposed structure would comply with daylight plane requirements. All setbacks for the proposed project would be greater than the required minimums. For instance, the side setbacks are proposed to be 8.2 feet, which would exceed the required minimum 6-foot side setback. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

Design and materials

The applicant states that the design consists of a California craftsman house style with asphalt shingle roof. The exterior material would be a combination of stucco and horizontal wood shiplap siding. The covered front porch would be supported by square, tapered wood columns. The covered porch combined with the façade and framing details would help somewhat to minimize the visual effect of the garage, which would project beyond the front of the residence. The second floor would be set back from the ground floor of the residence. The windows would be primarily wood metal-clad casements. Two wood carriage garage doors are proposed for the two-car garage, which would be compatible with the style of the new wood front door, and the use of two separate garage doors would also help reduce the prominence of the garage as a design feature. The varied materials and building forms would help reduce the perception of mass with the new structure. Staff believes that the scale, materials, and design of the proposed residence would be consistent with the neighborhood's mix of architectural styles.

Trees and landscaping

There are no heritage trees on the subject property. The applicant has submitted an arborist report (Attachment F) detailing the species, size and conditions of the trees on or near the site. The applicant proposes to remove seven non-heritage trees, and would work with City staff on the installation of a new street tree near the front yard. Although there are several trees on neighboring properties adjacent to the subject property's side lot lines, the Planning Commission could consider requiring new trees to be planted on the subject property as a part of this project, in particular on the left side.

Correspondence

Staff has not received any items of correspondence on the proposed project.

Conclusion

Staff believes the scale, materials, and style of the proposed residence are compatible with the neighborhood. The applicant has set the second floor back from the ground floor of the proposed residence. Design elements such as the proposed covered porch with square tapered columns, and stucco and shiplap horizontal siding would add visual interest to the project. The covered porch and two separate garage doors would help reduce the prominence of the garage as a design feature. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

Michele T. Morris, Assistant Planner

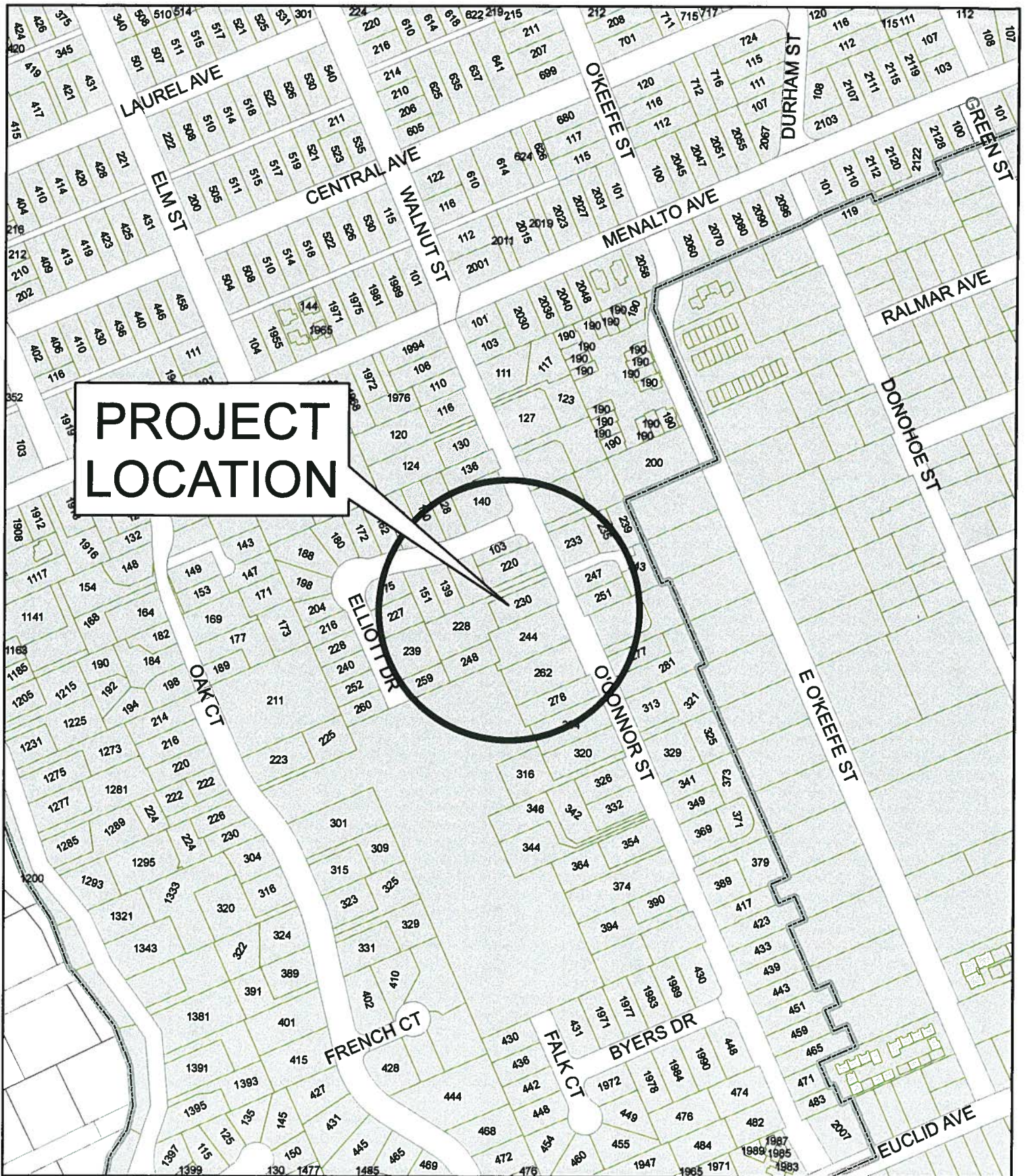
Report reviewed by:

Thomas Rogers, Principal Planner

230 O'Connor Street – Attachment A: Recommended Actions

LOCATION: 230 O'Connor Street	PROJECT NUMBER: PLN2016-00005	APPLICANT: Jack McCarthy	OWNER: Neena Goswamy and Rupinder Kaur
REQUEST: Request for a use permit to demolish an existing single-story residence and detached garage and construct a new two-story, single-family residence and attached garage on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: April 11, 2016	ACTION: TBD	
VOTE: TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
ACTION: <ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Jack McCarthy Designer, Inc. consisting of sixteen plan sheets, dated received March 22, 2016, and approved by the Planning Commission on April 11, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 			





CITY OF MENLO PARK

LOCATION MAP

230 O'CONNOR STREET

DRAWN: THR CHECKED: MTM DATE: 04/11/16 SCALE: 1" = 300' SHEET: 1



230 O'Connor Street – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	9,000 sf	9,000 sf	7,000 sf min.
Lot width	60 ft.	60 ft.	65 ft. min.
Lot depth	150 ft.	150 ft.	100 ft. min.
Setbacks			
Front	22 ft.	47.5 ft.	20 ft. min.
Rear	64 ft.	63.7 ft.	20 ft. min.
Side (left)	8.2 ft.	6 ft.	6 ft. min.
Side (right)	8.2 ft.	13.1 ft.	6 ft. min.
Building coverage	2,415.7 sf	1,836.8 sf	3,150 sf max.
	26.8 %	20.4 %	35 % max.
FAL (Floor Area Limit)	3,291.8 sf	1,826.8 sf	3,300 sf max.
Square footage by floor	1,705.2 sf/1 st	1,448 sf/1 st	
	1,120.4 sf/2 nd	388.5 sf/garage	
	464 sf/garage	10 sf/porch	
	2.2 attic > 5ft		
	225.2 sf/porch		
	21.3 fireplace		
Square footage of building	3,538.3 sf	1,836.8 sf	
Building height	27.2 ft.	16 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered

Trees

Heritage trees	0	Non-Heritage trees	19*	New Trees	1**
Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	7	Total Number of Trees	20*

* Eight trees are located on adjacent properties.

** This is a street tree proposed for installation in coordination with the City in the right-of-way.

RECEIVED

MAR 22 2016
CITY OF MENLO PARK
BUILDING

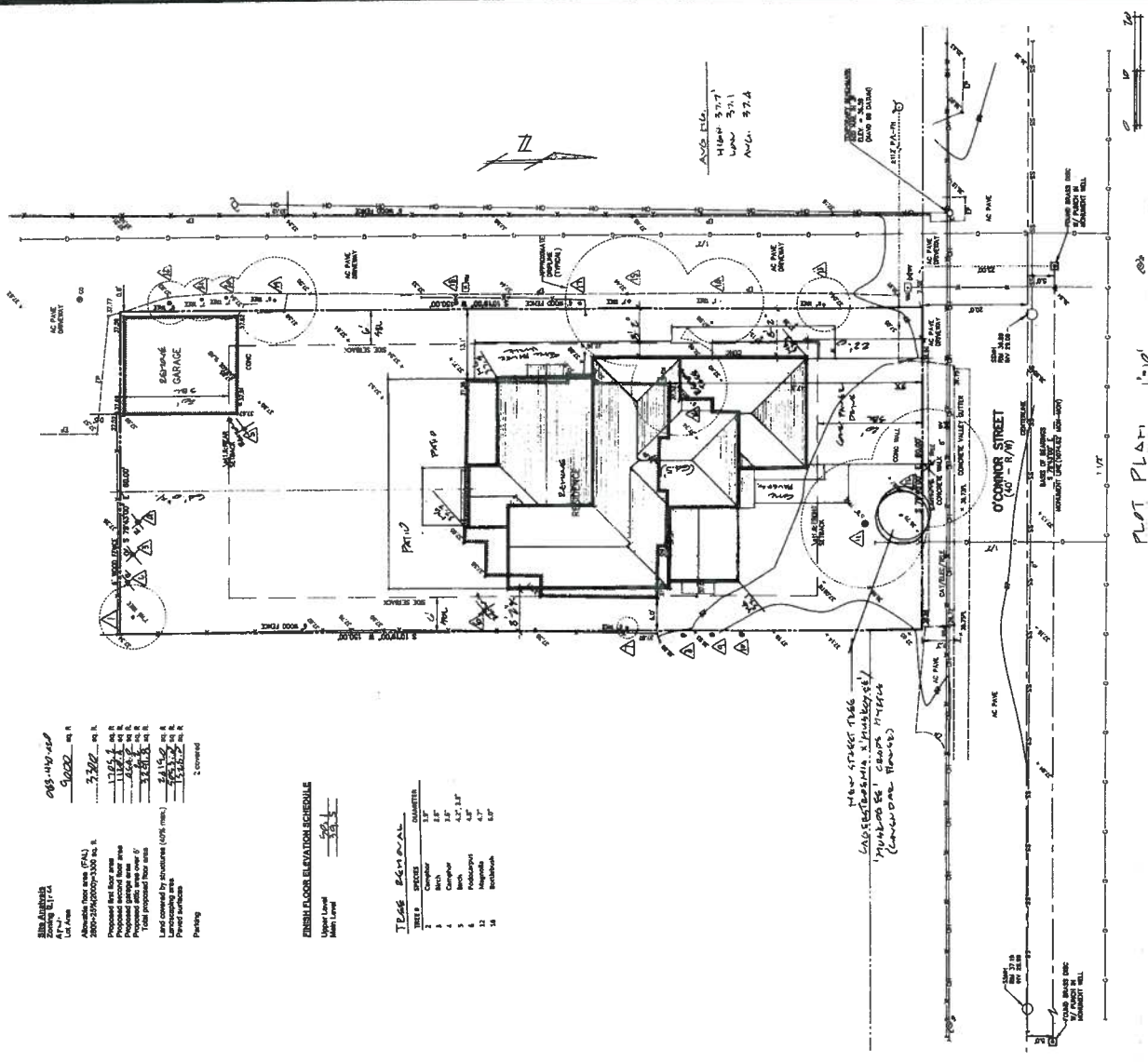
DI

REVISIONS	BY

Applewood Investments
New Structure
230 O'Connor Street, Menlo Park, CA

Jack McCarthy Designer, Inc.
6227 Stoner Lane
San Jose California 95120
408 979-9182

DATE	BY	CHKD	APPD
11/14/15			
11/14/15			
11/14/15			
11/14/15			
11/14/15			
11/14/15			
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11/14/15			
11/14/15			



Site Analysis
Zoning: M1-1A
Area: 9,000 sq. ft.

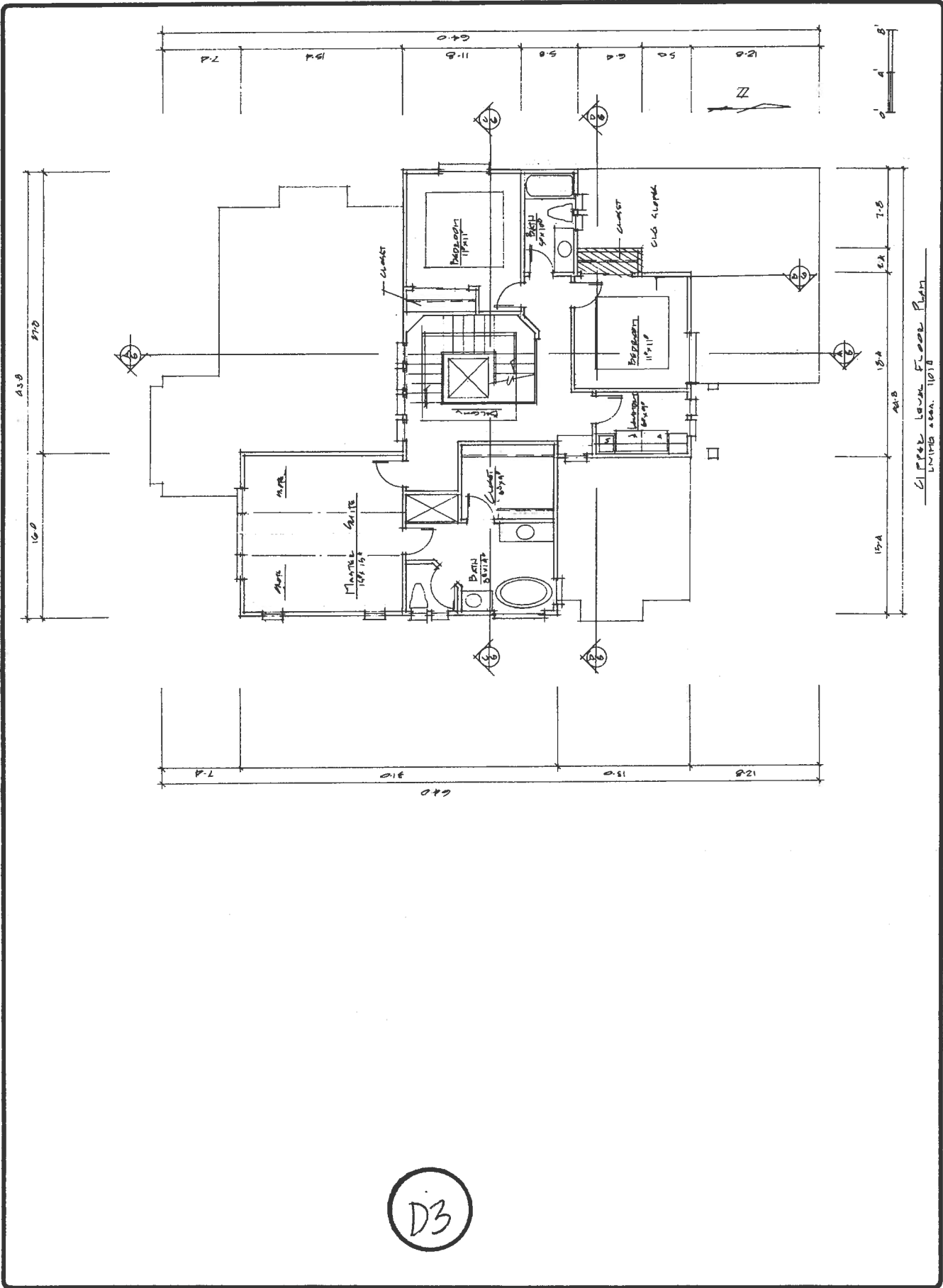
Allowable floor area (FAR)	3,300 sq. ft.
200% FAR (200% FAR)	6,600 sq. ft.
Proposed first floor area	1,700 sq. ft.
Proposed second floor area	1,700 sq. ft.
Proposed third floor area	1,700 sq. ft.
Proposed fourth floor area	1,700 sq. ft.
Proposed fifth floor area	1,700 sq. ft.
Proposed sixth floor area	1,700 sq. ft.
Proposed seventh floor area	1,700 sq. ft.
Proposed eighth floor area	1,700 sq. ft.
Proposed ninth floor area	1,700 sq. ft.
Proposed tenth floor area	1,700 sq. ft.
Proposed eleventh floor area	1,700 sq. ft.
Proposed twelfth floor area	1,700 sq. ft.
Proposed thirteenth floor area	1,700 sq. ft.
Proposed fourteenth floor area	1,700 sq. ft.
Proposed fifteenth floor area	1,700 sq. ft.
Proposed sixteenth floor area	1,700 sq. ft.
Proposed seventeenth floor area	1,700 sq. ft.
Proposed eighteenth floor area	1,700 sq. ft.
Proposed nineteenth floor area	1,700 sq. ft.
Proposed twentieth floor area	1,700 sq. ft.
Proposed twenty-first floor area	1,700 sq. ft.
Proposed twenty-second floor area	1,700 sq. ft.
Proposed twenty-third floor area	1,700 sq. ft.
Proposed twenty-fourth floor area	1,700 sq. ft.
Proposed twenty-fifth floor area	1,700 sq. ft.
Proposed twenty-sixth floor area	1,700 sq. ft.
Proposed twenty-seventh floor area	1,700 sq. ft.
Proposed twenty-eighth floor area	1,700 sq. ft.
Proposed twenty-ninth floor area	1,700 sq. ft.
Proposed thirtieth floor area	1,700 sq. ft.
Proposed thirty-first floor area	1,700 sq. ft.
Proposed thirty-second floor area	1,700 sq. ft.
Proposed thirty-third floor area	1,700 sq. ft.
Proposed thirty-fourth floor area	1,700 sq. ft.
Proposed thirty-fifth floor area	1,700 sq. ft.
Proposed thirty-sixth floor area	1,700 sq. ft.
Proposed thirty-seventh floor area	1,700 sq. ft.
Proposed thirty-eighth floor area	1,700 sq. ft.
Proposed thirty-ninth floor area	1,700 sq. ft.
Proposed fortieth floor area	1,700 sq. ft.
Proposed forty-first floor area	1,700 sq. ft.
Proposed forty-second floor area	1,700 sq. ft.
Proposed forty-third floor area	1,700 sq. ft.
Proposed forty-fourth floor area	1,700 sq. ft.
Proposed forty-fifth floor area	1,700 sq. ft.
Proposed forty-sixth floor area	1,700 sq. ft.
Proposed forty-seventh floor area	1,700 sq. ft.
Proposed forty-eighth floor area	1,700 sq. ft.
Proposed forty-ninth floor area	1,700 sq. ft.
Proposed fiftieth floor area	1,700 sq. ft.
Proposed fifty-first floor area	1,700 sq. ft.
Proposed fifty-second floor area	1,700 sq. ft.
Proposed fifty-third floor area	1,700 sq. ft.
Proposed fifty-fourth floor area	1,700 sq. ft.
Proposed fifty-fifth floor area	1,700 sq. ft.
Proposed fifty-sixth floor area	1,700 sq. ft.
Proposed fifty-seventh floor area	1,700 sq. ft.
Proposed fifty-eighth floor area	1,700 sq. ft.
Proposed fifty-ninth floor area	1,700 sq. ft.
Proposed sixtieth floor area	1,700 sq. ft.
Proposed sixty-first floor area	1,700 sq. ft.
Proposed sixty-second floor area	1,700 sq. ft.
Proposed sixty-third floor area	1,700 sq. ft.
Proposed sixty-fourth floor area	1,700 sq. ft.
Proposed sixty-fifth floor area	1,700 sq. ft.
Proposed sixty-sixth floor area	1,700 sq. ft.
Proposed sixty-seventh floor area	1,700 sq. ft.
Proposed sixty-eighth floor area	1,700 sq. ft.
Proposed sixty-ninth floor area	1,700 sq. ft.
Proposed seventieth floor area	1,700 sq. ft.
Proposed seventy-first floor area	1,700 sq. ft.
Proposed seventy-second floor area	1,700 sq. ft.
Proposed seventy-third floor area	1,700 sq. ft.
Proposed seventy-fourth floor area	1,700 sq. ft.
Proposed seventy-fifth floor area	1,700 sq. ft.
Proposed seventy-sixth floor area	1,700 sq. ft.
Proposed seventy-seventh floor area	1,700 sq. ft.
Proposed seventy-eighth floor area	1,700 sq. ft.
Proposed seventy-ninth floor area	1,700 sq. ft.
Proposed eightieth floor area	1,700 sq. ft.
Proposed eighty-first floor area	1,700 sq. ft.
Proposed eighty-second floor area	1,700 sq. ft.
Proposed eighty-third floor area	1,700 sq. ft.
Proposed eighty-fourth floor area	1,700 sq. ft.
Proposed eighty-fifth floor area	1,700 sq. ft.
Proposed eighty-sixth floor area	1,700 sq. ft.
Proposed eighty-seventh floor area	1,700 sq. ft.
Proposed eighty-eighth floor area	1,700 sq. ft.
Proposed eighty-ninth floor area	1,700 sq. ft.
Proposed ninetieth floor area	1,700 sq. ft.
Proposed ninety-first floor area	1,700 sq. ft.
Proposed ninety-second floor area	1,700 sq. ft.
Proposed ninety-third floor area	1,700 sq. ft.
Proposed ninety-fourth floor area	1,700 sq. ft.
Proposed ninety-fifth floor area	1,700 sq. ft.
Proposed ninety-sixth floor area	1,700 sq. ft.
Proposed ninety-seventh floor area	1,700 sq. ft.
Proposed ninety-eighth floor area	1,700 sq. ft.
Proposed ninety-ninth floor area	1,700 sq. ft.
Proposed one hundred floor area	1,700 sq. ft.

FINISH FLOOR ELEVATION SCHEDULE

Upper Level	5.0
Main Level	5.0

TRAILER SPECIFICATIONS

TRAILER	SIZE	TYPE
1	12' x 6'	Box
2	12' x 6'	Box
3	12' x 6'	Box
4	12' x 6'	Box
5	12' x 6'	Box
6	12' x 6'	Box
7	12' x 6'	Box
8	12' x 6'	Box
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95	12' x 6'	Box
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97	12' x 6'	Box
98	12' x 6'	Box
99	12' x 6'	Box
100	12' x 6'	Box



DATE	1-14	CHARGED
DATE	1-15-54	
SOAL	1-15-54	
JOB NO.	1-15-54	
SHEET	1-15-54	

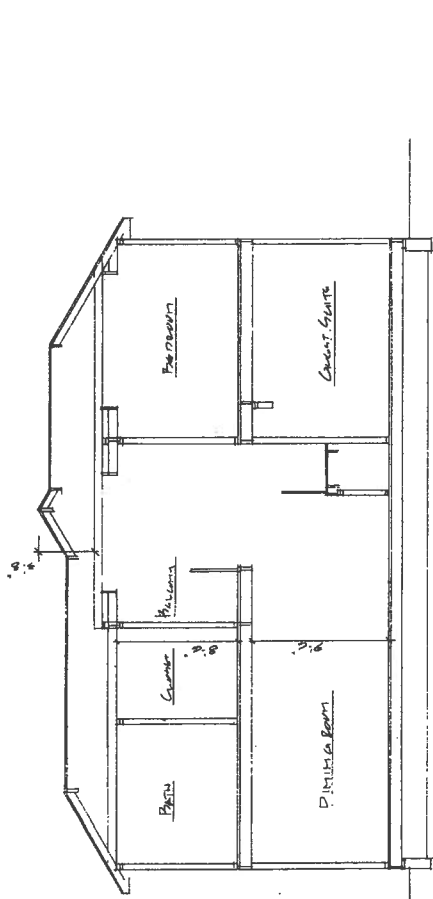
REVISIONS	BY	DATE

Applewood Investments
New Structure
230 O'Connor Street, Menlo Park, CA

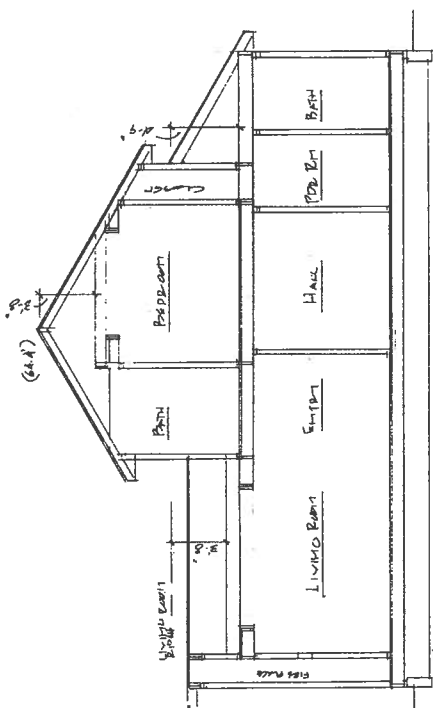
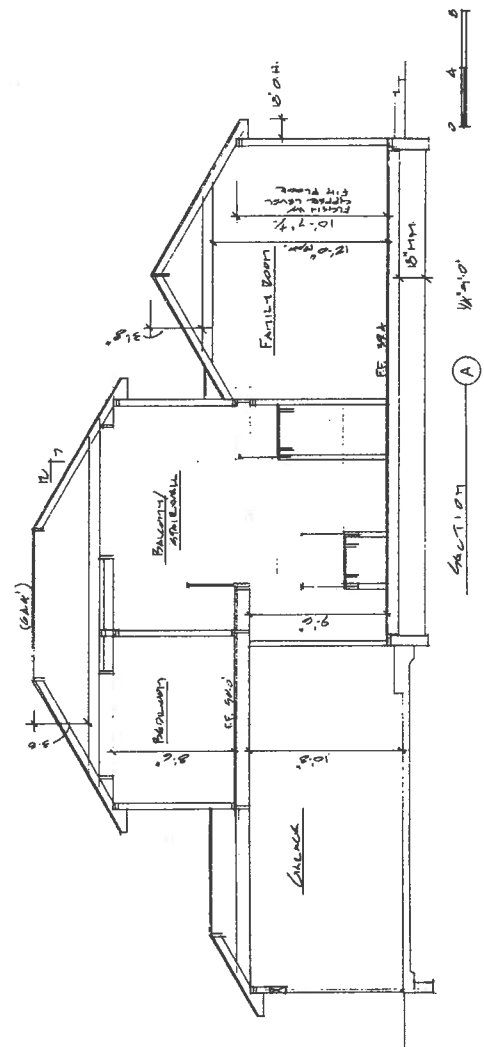
Jack McCarthy Designer, Inc.
6257 Blower Lane
San Jose, California 95128
408 973-0182



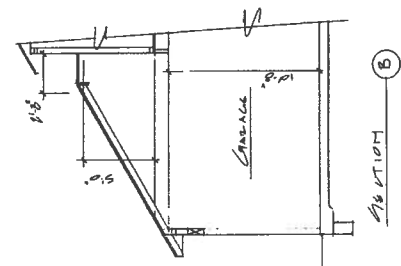
DATE	11/13/14
SCALE	1/8" = 1'-0"
PROJECT	NEW STRUCTURE
SHEET	02
DESIGNED BY	Jack McCarthy
CHECKED BY	Jack McCarthy



SECTION C 1/8" = 1'-0"



SECTION D 1/8" = 1'-0"



D6

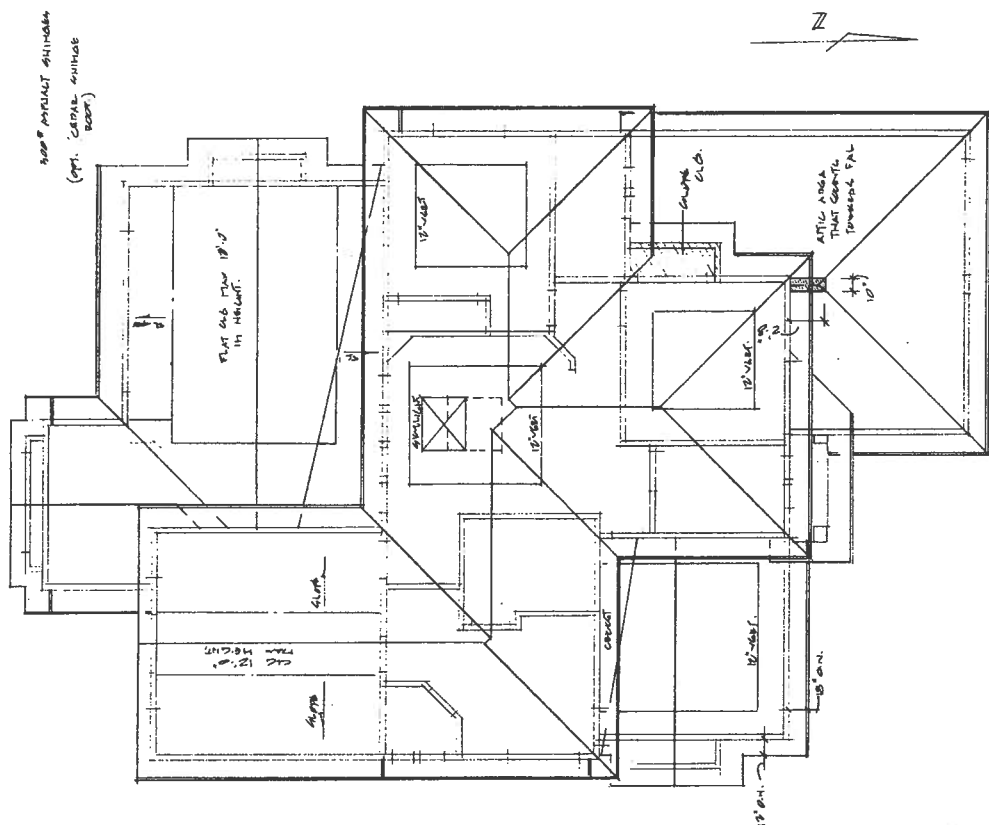
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Applewood Investments
New Structure
230 O'Connor Street, Menlo Park, CA

Jack McCarthy Designer, Inc.
6257 Blower Lane
San Jose California 95135
408 973-0182



EXP. DATE 11/15/14
CHECKED 11/15/14
SCALE 11/15/14
JOB NO. 11/15/14
SHEET 11/15/14



0 4 8

Case PLAM

D7

REVISIONS	BY

Applwood Investments
New Structure
230 O'Connor Street, Menlo Park, CA

Jack McCarthy Designer, Inc.
6257 Mosley Lane
San Jose California 95135
408 973-0182

DATE	BY	CHKD	DATE
11-12-16			

SYMBOL	DIMENSION	AREA
1	0' 10" x 2' 8"	2.2 sq ft
TOTAL	ROOF FAL	2.2 sq ft
NET FAL		2.2 sq ft

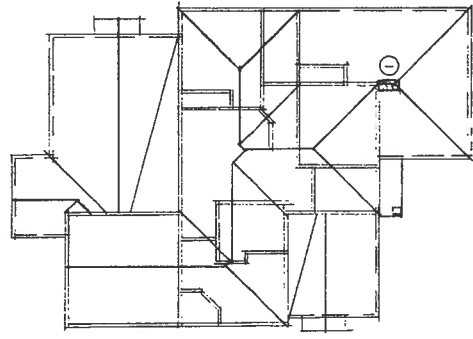
D8

SYMBOL	DIMENSION	AREA
1	16' 0" x 15' 4"	245.3 sq ft
2	15' 8" x 45' 8"	684.3 sq ft
3	28' 4" x 1' 8"	47.2 sq ft
4	20' 8" x 6' 4"	130.9 sq ft
5	18' 4" x 5' 0"	91.7 sq ft
TOTAL	MAIN LEVEL FLOOR PLAN	1199.3 sq ft
Less Stairs		-78.8
NET FAL		1120.4 sq ft

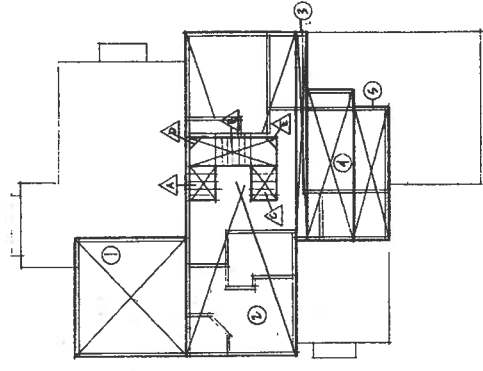
SYMBOL	DIMENSION	AREA
A	3' 8" x 4' 8"	17.1 sq ft
B	3' 8" x 4' 8"	17.1 sq ft
C	13' 8" x 3' 8"	46.4 sq ft
D	1' 4" x 1' 4"	-0.9 sq ft
E	1' 4" x 1' 4"	-0.9 sq ft
TOTAL	STAIR AREA	78.8 sq ft

SYMBOL	DIMENSION	AREA
1	11' 8" x 9' 0"	54.3 sq ft
2	10' 8" x 15' 8"	167.1 sq ft
3	27' 0" x 17' 8"	477 sq ft
4	15' 4" x 48' 8"	582.2 sq ft
5	12' 8" x 42' 4"	538.2 sq ft
6	14' 4" x 22' 4"	31.4 sq ft
7	15' 0" x 21' 0"	31.5 sq ft
TOTAL	MAIN LEVEL FLOOR AREA	2189.2 sq ft
NET FAL		2189.2 sq ft

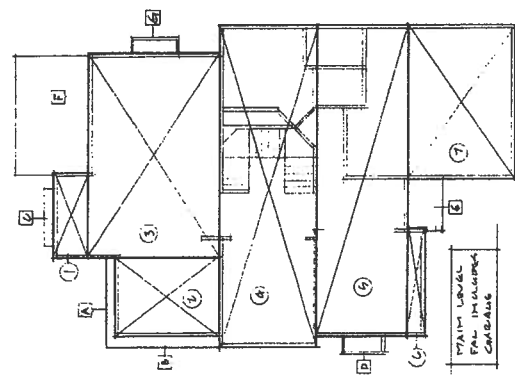
SYMBOL	DIMENSION	AREA
A	12' 0" x 4' 8"	15.0 sq ft
B	1' 4" x 17' 8"	23.6 sq ft
C	2' 0" x 6' 8"	13.3 sq ft
D	2' 0" x 6' 0"	12 sq ft
E	7' 0" x 5' 4"	37.3 sq ft
F	15' 0" x 9' 0"	135 sq ft
G	7' 0" x 1' 4"	9.3 sq ft
TOTAL	LOT COVERAGE ITEMS	246.5 sq ft
MAIN LEVEL FAL		2172.7
LOT COVERAGE		2418.2 sq ft



Roof

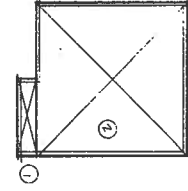


Upper Level



Main Level

SYMBOL	DIMENSION	AREA
1	10' 0" x 3' 0"	30 sq ft
2	21' 0" x 20' 8"	434 sq ft
TOTAL	GARAGE AREA	464 sq ft



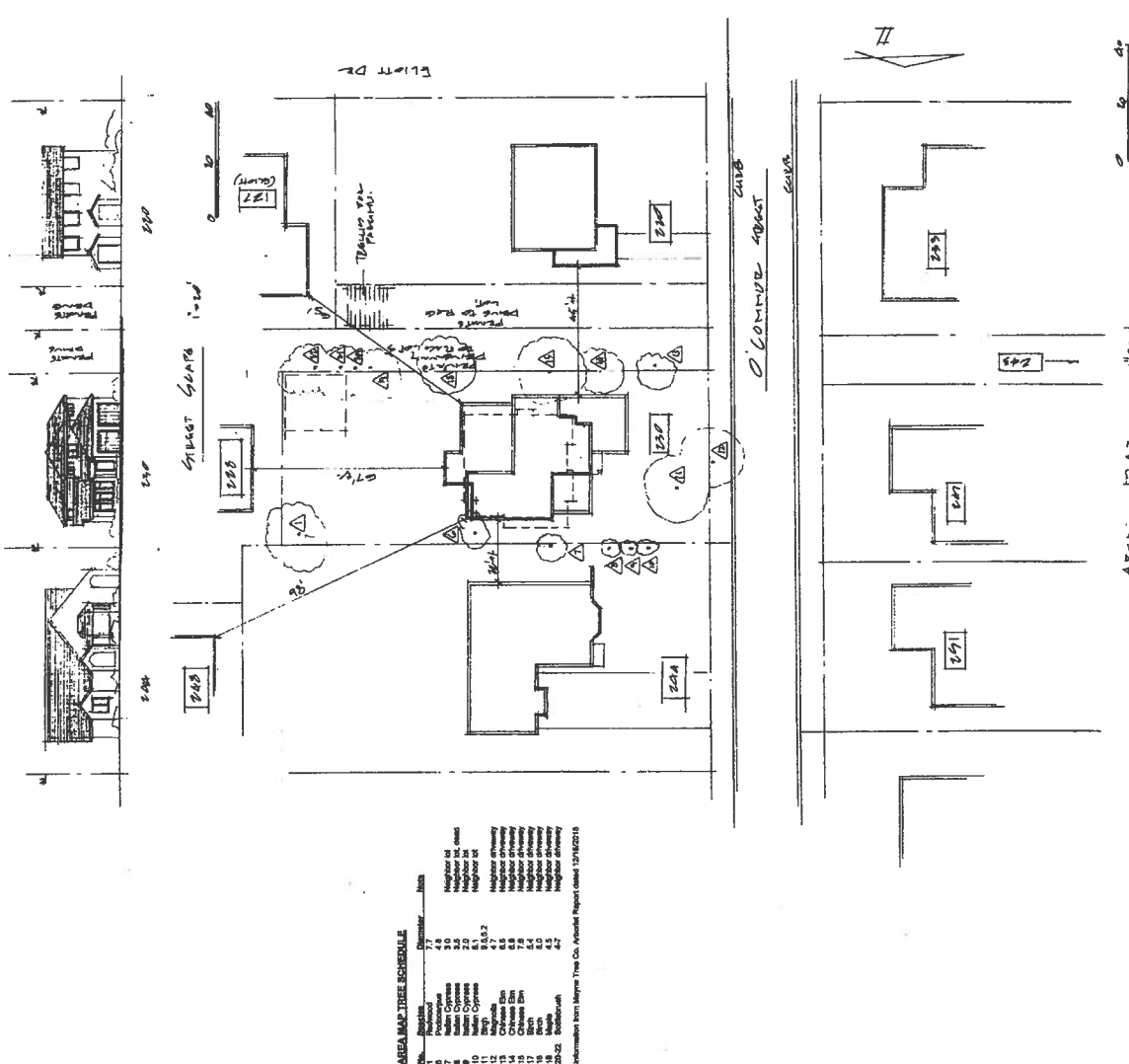
Garage

Base Level	1162.4
Upper Level	1162.4
Main Level	2169.2
TOTAL	3594.0
TOTAL FAL Allowed	3500.0

AREA CALCULATIONS

Scale 0 8 16

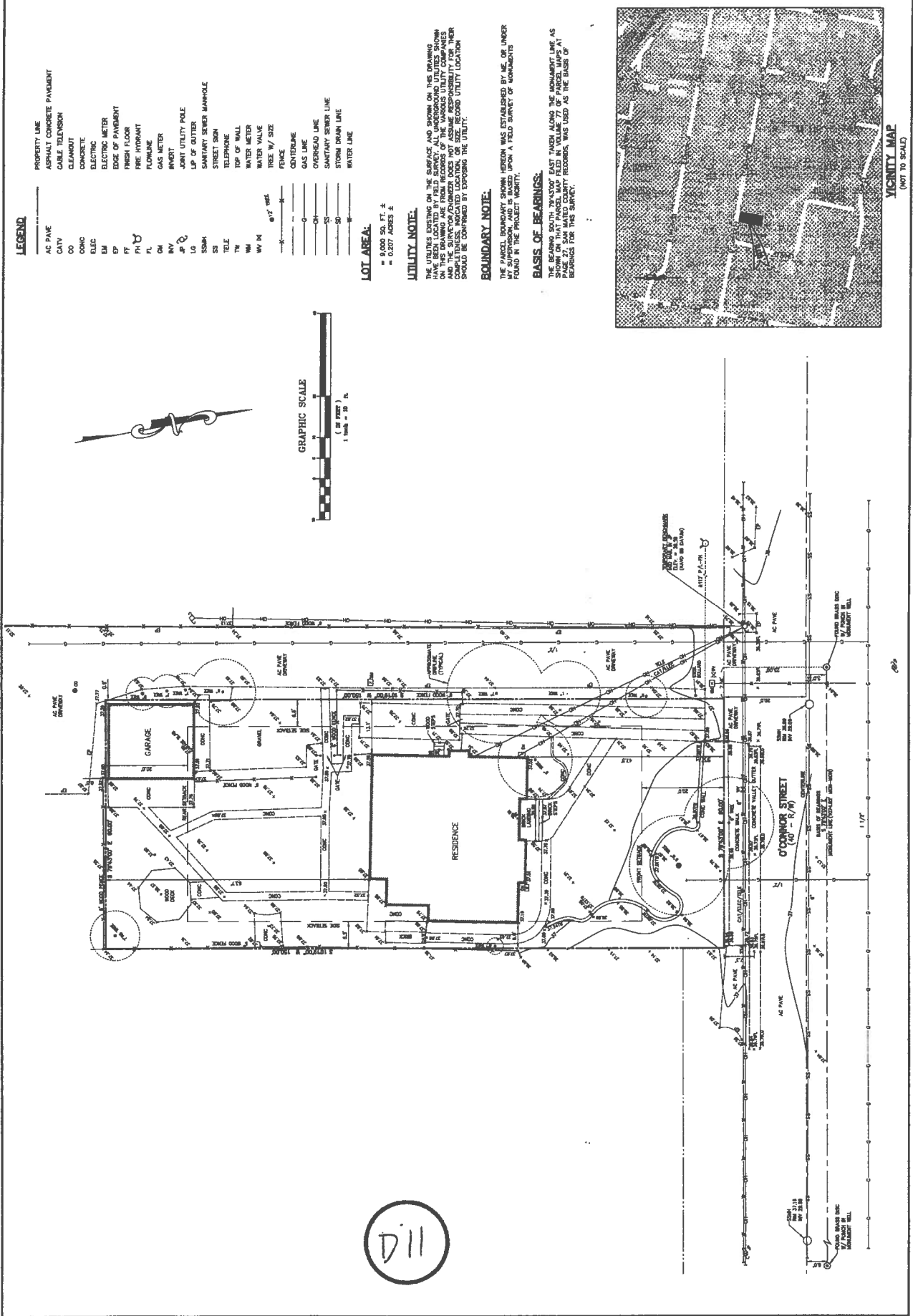
REVISIONS	BY



AREA MAP TREE SCHEDULE

Tree	Species	Height
1	Redwood	7-8
2	Redwood	7-8
3	Redwood	7-8
4	Redwood	7-8
5	Redwood	7-8
6	Redwood	7-8
7	Redwood	7-8
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93	Redwood	7-8
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97	Redwood	7-8
98	Redwood	7-8
99	Redwood	7-8
100	Redwood	7-8

D10



LEGEND

AC PAVE	PROPERTY LINE
B5	ASPHALT CONCRETE PAVEMENT
CATV	BOTTOM OF STEP
COTD	CABLE TELEVISION
CONC	CLEANOUT TO FINISHED GRADE
ELCG	CONCRETE
EM	ELECTRIC
EP	ELECTRIC METER
PH	EDGE OF PAVEMENT
FL	FIRE HYDRANT
FF	FLOWLINE
FP	FINISH FLOOR
FG	FINISH PAVEMENT
GM	FINISH GRADE
H.P.	GAS METER
INV.	HIGH POINT
JP	INVERT
LG	JOINT UTILITY POLE
P.A.	UP OF GUTTER
SS	PLANTING AREA
SSKH	STREET SIGN
TS	SANITARY SINKER MANHOLE
TC	TOP OF STEP
TE	TOP OF CURB
TELE	TELEPHONE
TO	TOP OF GRAVE
TW	TOP OF CURB AND WALK
TH	TOP OF WALL
UT	TOP OF HEADER
UF	UPPER FINISHED FLOOR
WM	WATER METER
WV	WATER VALVE
WV M	WATER VALVE

4" x 12" WEL	TREE W/ SIZE
6" x 8" WEL	TREES TO BE REMOVED
1" X	FENCE
0	GAS LINE
OH	OVERHEAD LINE
W	WATER LINE
SS	SANITARY SINKER LINE
TH	FOREGOARD
37	NEW STORM DRAIN LINE
#	NEW CONTOUR
CH	DOWNPOUTS TO DISPERSE ON THE IMPERVIOUS SURFACE
(3,1,2)	DOWNPOUTS WITH SPLASH BLOCK
	EXISTING GRADE
~	SWALE
→	SHEET FLOW DIRECTION

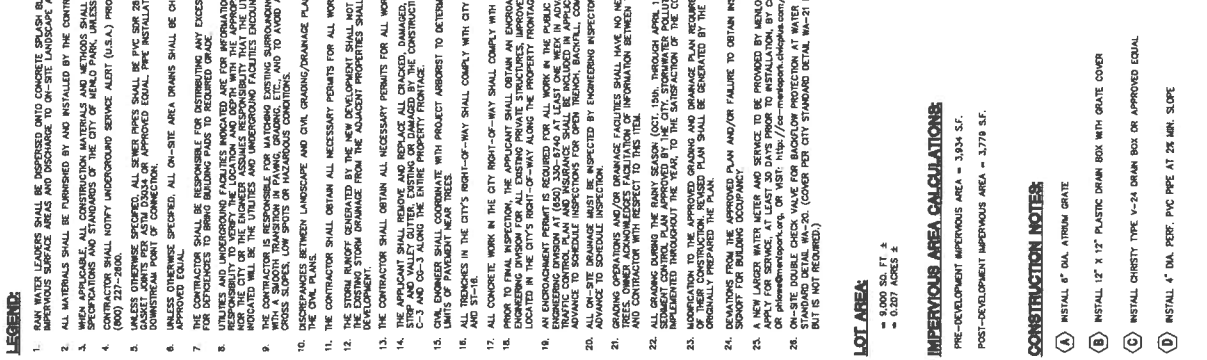
UTILITY NOTE

THE UTILITIES EXISTING ON THE SURFACE ARE SHOWN ON THIS DRAWING. ALL UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORD SURVEY DATA. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY CHANGES TO THE UTILITIES SINCE THE SURVEY WAS COMPLETED. THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF UTILITIES NOT SHOWN ON THIS DRAWING. THE UTILITY LOCATION SHOULD BE DETERMINED BY EXPOSING THE UTILITY.

GEOTECHNICAL ENGINEER'S NOTE

THE GEOTECHNICAL REPORT PREPARED BY P. M. S. & S. INC., INC. ON THIS PROJECT, DATED JUNE 20, 2015, SHALL BE MADE A PART OF THIS PLAN.

GEOTECHNICAL ENGINEER: PAUL GRASBNER
TEL. NO. (860) 347-3834



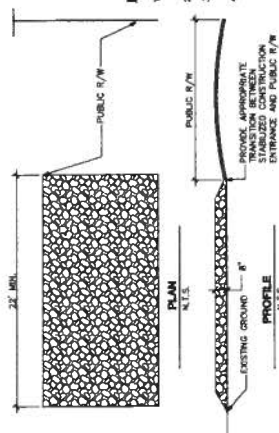
IMPERVIOUS AREA CALCULATIONS
PRE-DEVELOPMENT IMPERVIOUS AREA = 3,934 S.F.
POST-DEVELOPMENT IMPERVIOUS AREA = 3,770 S.F.

- (A)** INSTALL 6" DIA. ATRIUM GRATE
- (B)** INSTALL 12" X 12" PLASTIC DRAIN BOX WITH GRATE COVER
- (C)** INSTALL CHRISTY TYPE V-24 DRAIN BOX OR APPROVED EQUIV.
- (D)** INSTALL 4" DIA. PERF. PVC PIPE AT 2% MIN. SLOPE

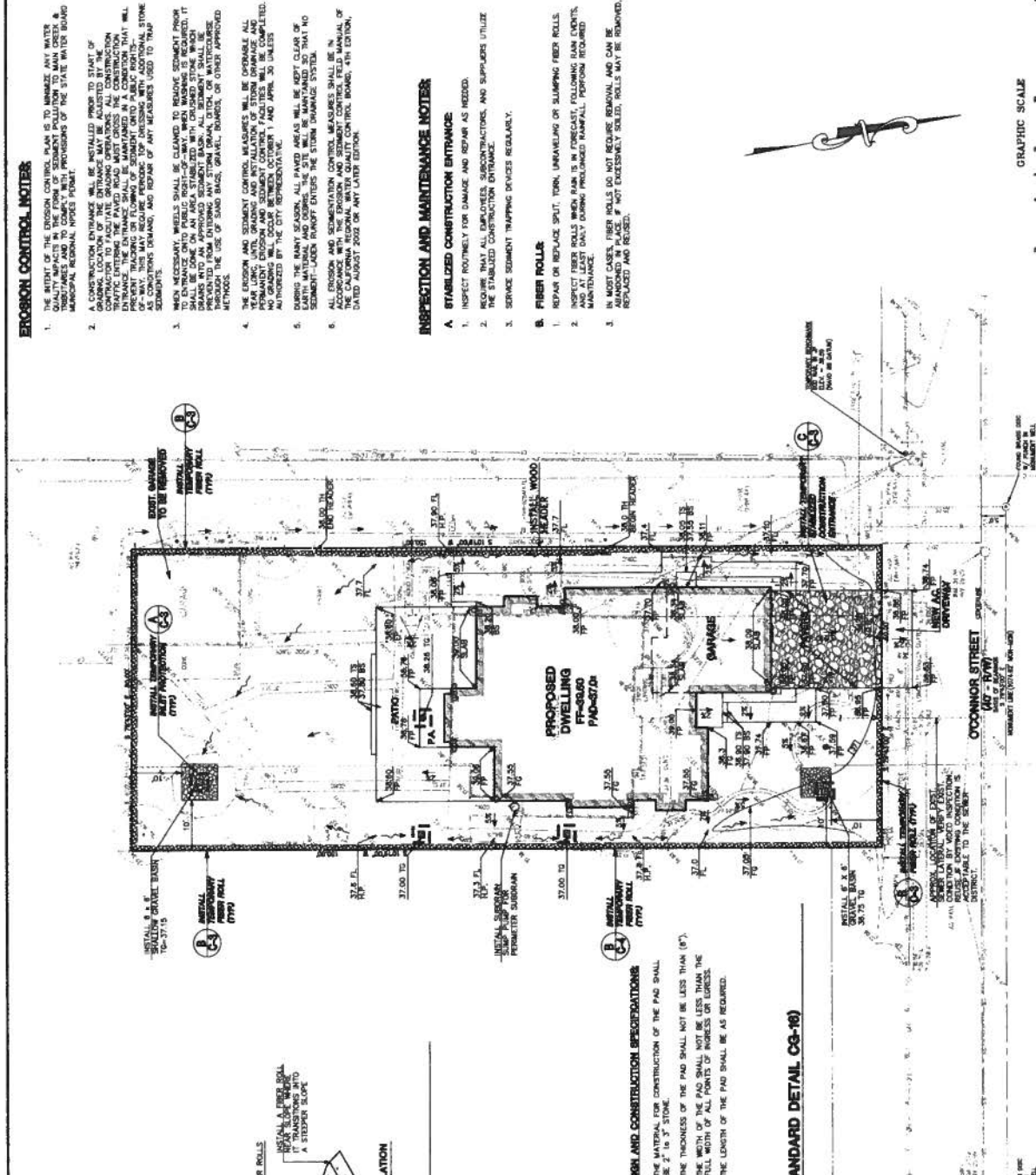
A SCALE: NOT TO SCALE

N.T.S.

B FIBER ROLL DETAIL
SCALE: NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE (CITY STANDARD DETAIL CG-10)



EROSION CONTROL NOTES

1. THE INTENT OF THE EROSION CONTROL PLAN IS TO MINIMIZE ANY WATER QUALITY IMPACTS IN THE FORM OF SEDIMENT POLLUTION TO MAIN CREEK AND THE EROSION PREVENTION OF THE STATE WATER BOARD, MUNICIPAL, REGIONAL, AND FEDERAL AGENCIES.
2. A CONSTRUCTION ENTRANCE WILL BE INSTALLED PRIOR TO START OF GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR, BUT THE ENTRANCE SHALL BE LOCATED IN AN AREA THAT WILL NOT CAUSE THE TRAILER TO BE PLACED OVER THE CONSTRUCTION. THE ENTRANCE SHALL BE CONSTRUCTED OF 12" X 12" STEEL OR 18" X 18" CONCRETE. PREVENT TRACKING OF FLOES OF SEDIMENT INTO PUBLIC ROADS. THE METHOD OF ENTRY SHALL BE DETERMINED BY THE CONTRACTOR. THE METHOD OF ENTRY SHALL BE DETERMINED BY THE CONTRACTOR. THE METHOD OF ENTRY SHALL BE DETERMINED BY THE CONTRACTOR.
3. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO LEAVING THE SITE. THE METHOD OF CLEANING SHALL BE DETERMINED BY THE CONTRACTOR. THE METHOD OF CLEANING SHALL BE DETERMINED BY THE CONTRACTOR. THE METHOD OF CLEANING SHALL BE DETERMINED BY THE CONTRACTOR.
4. THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE OBTAINABLE ALL PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES WILL BE COMPLETED WITHIN 10 DAYS OF THE START OF CONSTRUCTION AND APRIL 30, UNLESS AUTHORIZED BY THE CITY REPRESENTATIVE.
5. DURING THE MANY SEASONS, ALL PAVED AREAS WILL BE KEPT CLEAR OF SEDIMENT-LADEN MATERIAL AND OBSTACLES. THE SITE WILL BE MAINTAINED SO THAT NO EROSION-LADEN MATERIAL RUNOFF ENTERS THE DRAINAGE SYSTEM.
6. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL MEASURES MANUAL OF THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, 1ST EDITION.

INSPECTION AND MAINTENANCE NOTES:

A STABILIZED CONSTRUCTION ENTRANCE:

1. INSPECT ROUTINELY FOR DAMAGE AND REPAIR AS NEEDED.
2. REQUIRE THAT ALL EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE.
3. SERVICE SEDIMENT TRAPPING DEVICES REGULARLY.

B. FIBER ROLLS

1. REPAIR OR REPLACE SPILT, TORN, UNWINDING OR SLUMPING FIBER ROLLS.
2. INSPECT FIBER ROLLS WHEN RAIN IS IN FORECAST, FOLLOWING RAIN EVENTS, AND AT LEAST DAILY DURING PROLONGED RAINFALL. PUFFDOWN REQUIRED MAINTENANCE.
3. IN MOST CASES, FIBER ROLLS DO NOT REQUIRE REMOVAL AND CAN BE AIRDRIED IN PLACE. IF NOT EXTENSIVELY SOILED, ROLLS MAY BE REMOVED, REPAIRED AND REUSED.





SAN MATEO COUNTYWIDE Water Pollution Prevention Program Clean Water. Healthy Community.

Materials & Waste Management

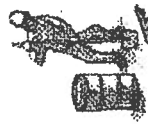


- Non-Hazardous Materials**
- ☐ Store and use stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
 - ☐ The (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
 - ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - ☐ Arrange for appropriate disposal of all hazardous wastes.

- Waste Management**
- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
 - ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
 - ☐ Clean or replace portable toilet and inspect them frequently for leaks and spills.
 - ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, pyp board, pipe, etc.)
 - ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

- Construction Entrances and Perimeter**
- ☐ Establish and maintain effective perimeter controls and stabilize all sediment entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
 - ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



- Maintenance and Parking**
- ☐ Designate an area, lined with appropriate BMPs, for vehicle and equipment parking and storage.
 - ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - ☐ If refueling or vehicle maintenance must be done onsite, work in a fenced area away from storm drains and over a drip pan or drip cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a fenced area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
 - ☐ Do not clean vehicle or equipment onsite using solvents, degreasers, or steam cleaning equipment.

- Spill Prevention and Control**
- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
 - ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
 - ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
 - ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
 - ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
 - ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center: (800) 852-7550 (24 hours).

Earthmoving



- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as straw mulch, silt fences, etc.) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes.
- ☐ Once construction is not immediately planned, construction is not immediately planned, construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite using silt fences, straw mulch, etc.
- ☐ Keep excavated soil on site and transfer it in dump trucks on site, not in the streets.

- Contaminated Soils**
- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash

Paving/Asphalt Work



- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contaminating stormwater runoff.
- ☐ Cover storm drain inlets and manholes with approved silt fences, silt socks, slurry seal, for seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess asphalt, gravel, or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

- Sawcutting & Asphalt/Concrete Removal**
- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin silt fences, or gravel bags to keep slurry out of the storm drain system.
 - ☐ Shovel, wash, or vacuum saw-cut material into a container and remove it as you are finished in one location or at the end of each work day (whichever is sooner).
 - ☐ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on plastic sheeting to protect them from rain, runoff, and wind.
- ☐ Wash out concrete equipment trucks, office or in a designated washout temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters. hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ☐ Prevent stockpiled landscaping materials (soil, mulch, and man) by storing them under tarps all year-round.
- ☐ Stack baged material on pallets and under cover.
- ☐ Discourage application of any erodible landscaping material within 2 feet of a forecast rain event or during wet weather.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Painting & Paint Removal



- Painting Cleanup and Removal**
- ☐ Never clean brushes or other paint containers into a street, gutter, storm drain, or stream.
 - ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
 - ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
 - ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
 - ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or rhinofilm must be disposed of as hazardous waste. Lead paint removal requires a state-certified contractor.

Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, discharge dewatering effluent to landscaped areas or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-off water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

Jack McCarthy

Designer, Inc.

6257 Blauer Lane

San Jose, CA 95135

408.973.0162

mccarthydesign@yahoo.com

RECEIVED

FEB 23 2016

CITY OF MENLO PARK
BUILDING

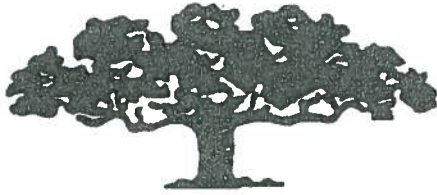
New Residence Design Concept 230 O'Connor Street

This property is the front portion of a two lot combination with a flag lot to the rear. The driveway to the rear parcel runs next to our right side property line. Also, the adjacent lot has a long drive to another flag lot at the rear. There are not heritage trees on the site and there are no significant trees on the parcel. The existing residence and the existing detached garage will be removed from the parcel as part of this application.

After analyzing the site and the surrounding parcels we decided to place our garage and driveway next to the double driveways of the rear flag lots so that the combination of our residence and the existing residence on the left side of our property could enjoy a large landscaped front yard area. We also felt that the master suite belonged on the left side of the parcel to remove it from the noise of the vehicles as they traveled the drives to the flag lots. The layout of the floor plan allows for a guest suite on the main level and the master suite and 2 bedrooms that share a hall bath on the upper level.

The structures elevations are in the California craftsman style with a combination of stucco on the main level and horizontal siding on the upper level. The roof material will be asphalt shingles. The sash will be wood metal clad casement units. We felt that this design theme would blend in well with the existing variety of architectural styles on this portion of O'Connor Street.

E1



Mayne Tree Expert Company, Inc.

ESTABLISHED 1931

STATE CONTRACTOR'S LICENSE NO. 276793

CERTIFIED FORESTER • CERTIFIED ARBORISTS • PEST CONTROL • ADVISORS AND OPERATORS

RICHARD L. HUNTINGTON
PRESIDENT

JEROMEY INGALLS
CONSULTANT/ESTIMATOR

535 BRAGATO ROAD, STE. A
SAN CARLOS, CA 94070-6311

TELEPHONE: (650) 593-4400

FACSIMILE: (650) 593-4443

EMAIL: info@maynetree.com

December 18, 2015

Mr. Jack McCarthy
Jack McCarthy Designer, Inc.
6257 Blauer Ln.
San Jose, CA 95135

Dear Mr. McCarthy,

RE: 230 OCONNOR STREET, MENLO PARK

On December 18, 2015, I inspected all trees on the above-referenced site. The purpose was to measure, number, and place numbers on the site plan. Each tree was given a condition percentage as compared to a perfect tree. Zero percentage would be a dead tree.

The largest tree on this site is the birch, tree #11. This tree has two trunks, which combined is 12.1 inches in diameter. I took the diameter of the largest trunk plus half of the smaller trunk. There are also no neighboring heritage trees within 10 feet of the fence. No damage will occur from demolition of the existing structure and construction of the proposed house.

If any of these trees are desired to be retained, follow these tree protection measures: Install fencing at their driplines and place "KEEP OUT" signs on the fencing so root impacts are minimized. Also, keep all construction equipment and materials out of these fenced off areas.

Please see the tree survey for tree species and comments. Call with any questions.

Sincerely,

Richard L. Huntington
Certified Arborist WE #0119A
Certified Forester #1925

RLH:pmd



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JAN 06 2016

CITY OF MENLO PARK
BUILDING



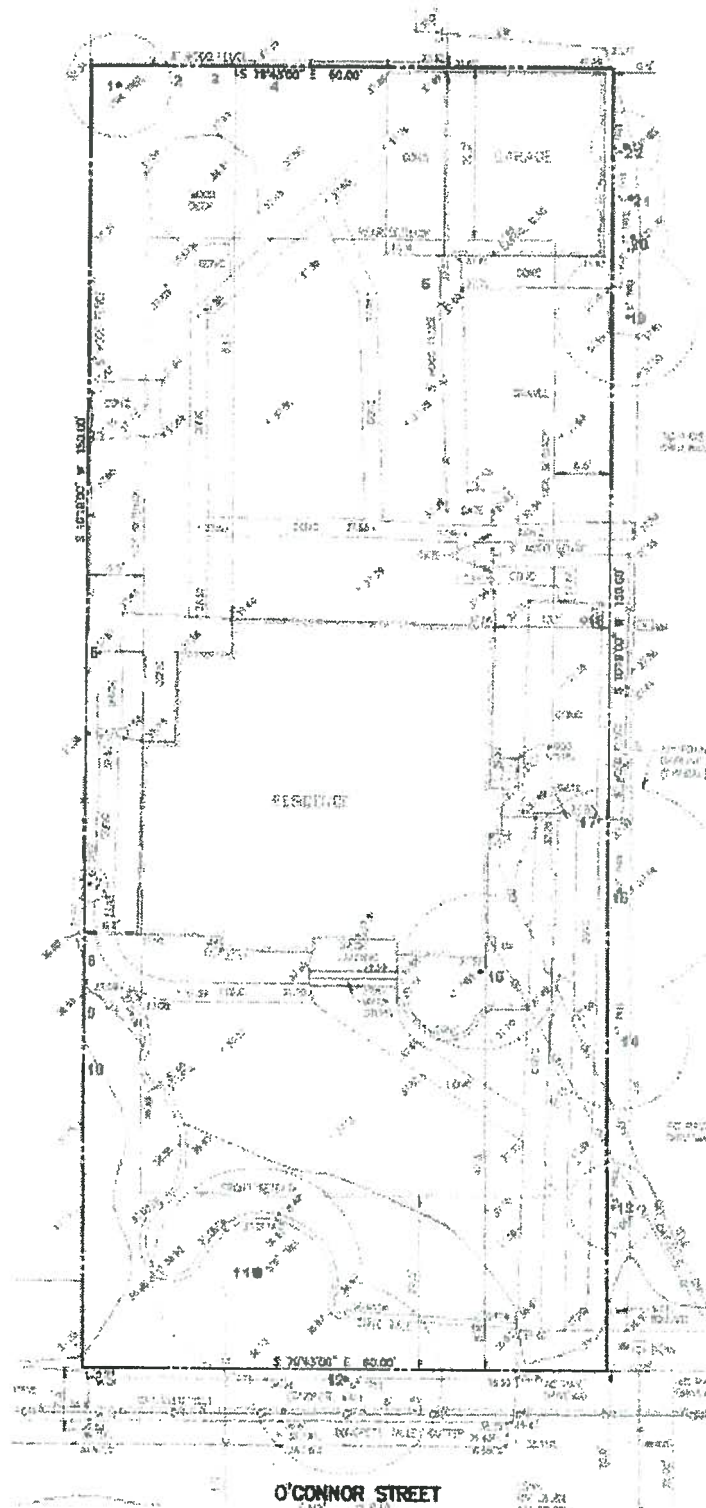
Tree Survey

Tree #	Species	Diameter (inches)	Condition (percent)	Comments
1	Redwood	7.7	75	2 feet from fence.
2	Camphor	3.9	0	Tree is dead.
3	Birch	3.8	70	Slight lean; nice tree.
4	Camphor	3.6	0	Tree is dead.
5	Birch	4.2, 3.8	70	Forks at ground level; weakened structure.
6	Podocarpus	4.8	75	2 feet from fence.
7	Italian Cypress	3.0	75	6 inches from fence
8	Italian Cypress	3.5	0	Tree is dead.
9	Italian Cypress	2.0	60	6 inches from fence.
10	Italian Cypress	6.1	65	6 inches from fence.
11	Birch	9.5, 5.2	65	Pruned for line clearance; forks at ground level; weakened structure.
12	Magnolia	4.7	60	Growing below power lines.
13	Chinese Elm	6.5	65	Roots below hardscape; remove asphalt carefully.
14	Chinese Elm	6.8	65	Roots below hardscape; remove asphalt carefully.
15	Chinese Elm	7.6	65	Roots below hardscape; remove asphalt carefully.
16	Bottlebrush	6.0	60	Only a large shrub.
17	Birch	5, 4 (est.)	65	Root covered on north side; 2 feet from fence.
18	Birch	5 (est.)	70	Root covered on north side; 2 feet from fence.
19	Maple	4.5	75	Roots below hardscape.
20-22	Bottlebrush	4-7 (est.)	60	3 large shrubs.

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JAN 06 2016

CITY OF MENLO PARK
BUILDING



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JAN 06 2016

CITY OF MENLO PARK
BUILDING

F3



STAFF REPORT

Planning Commission

Meeting Date:

4/11/2016

Staff Report Number:

16-025-PC

Public Hearing:

Use Permit/Sarah Potter/280 Willow Road

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to construct a single-story addition and conduct interior modifications to a single-family, nonconforming residence that would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period. The subject parcel is located in the R-1-U (Single-Family Urban) zoning district, at 280 Willow Road. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at 280 Willow Road, near the intersection of Willow Road and Nash Avenue. A location map is included as Attachment B. The subject parcel is surrounded on all sides by single-family homes that are also in the R-1-U zoning district.

Analysis

Project description

The existing residence is considered to be a legal non-conforming structure, with a right side setback of 4.7 feet where a minimum of 5.5 feet is required and a left side setback of five feet where 5.5 feet is required. The applicant is proposing a single-story addition and interior modifications to the existing, single-family, residence that would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period, as discussed in the Valuation section. The nonconforming walls would not be demolished, and all new construction would conform to the required setbacks.

The proposed residence would have a floor area of 1,815 square feet where 2,800 square feet is the floor area limit (FAL) and a building coverage of 36.3 percent where 40 percent is the maximum permitted. The residence would have three bedrooms and two bathrooms.

The house is proposed to be 15.2 feet in height, below the maximum permissible height of 28 feet. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

Design and materials

The designer describes the existing residence as a cottage with limited architectural features. The proposed additions would include decorative features such as a new painted wood and glass front door, a new trellis, and column features that would add visual interest. The exterior finish would be painted wood siding, and the roofing would be asphalt composite, with both the exterior finish and the roofing matching the existing residence.

The proposal includes the addition of windows and skylights for increased natural light. The windows would be divided light windows with grids on the interior and exterior, but without a spacer bar between the glass.

Valuation

To calculate the replacement and new construction costs on which the 75 percent limit is based, the City uses standards established by the Building Division. The City has determined that the replacement cost of the existing structure would be \$191,980, meaning that the applicant would be allowed to propose new construction and remodeling at the site totaling less than \$143,985 in any 12-month period. The City has determined that the value of the proposed work would be \$158,235. Based on this estimate, the project requires use permit approval by the Planning Commission for exceeding 75 percent of the replacement cost.

Flood zone

The subject property is located within the “AE” zone established by the Federal Emergency Management Agency (FEMA). Within this zone, flood proofing techniques are required for new construction and substantial improvements of existing structures. Stated in general terms, for the proposed foundation type, the bottom of the floor joist must be at or above the base flood elevation. The sections (Attachments D2 and D4) show the base flood elevation (46.3 feet) in relation to the existing average natural grade (approximately 46 feet) and the bottom of the floor joist (46.7 feet). The Public Works Department has reviewed and tentatively approved the proposal for compliance with FEMA regulations.

Trees and landscaping

Three non-heritage street trees are located in the right-of-way in front of the property. Three neighboring trees, a heritage walnut tree, a heritage oak tree, and a non-heritage avocado tree, hang over onto the back of the subject property. The proposed site improvements should not adversely affect any of the trees as standard tree protection measures will be ensured through recommended condition 3f.

Parking and circulation

The existing house was originally built with only one required off-street parking space in the existing one-car garage. As a result, the building is considered legal non-conforming in terms of parking and the two side setbacks. This type of nonconformity may be permitted to remain as part of an expansion/remodeling project. For the subject property, the existing building footprint, which would be retained, effectively limits the potential to bring the parking into full compliance. The existing driveway would continue to provide unofficial parking spaces within the front setback, which would not meet the off-street parking requirement but which would provide some flexibility, as well as potentially allow cars to turn around and enter Willow Road in a forward-facing direction.

Correspondence

Staff has not received any items of correspondence on the proposed project. The property owners indicated that they discussed the project with the neighbors on either side and to the rear of their property.

Conclusion

Staff believes the scale, materials, and style of the proposed residence are compatible with the neighborhood. Decorative features such as a new painted wood and glass front door, a new trellis, and column features would add visual interest. The proposed additions meet all Zoning Ordinance requirements, and the proposed project falls well below the maximum permitted floor area and building coverage. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Staff Report #: 16-025-PC

Report prepared by:
Corinna Sandmeier, Associate Planner

Report reviewed by:
Thomas Rogers, Principal Planner

280 Willow Road – Attachment A: Recommended Actions

LOCATION: 280 Willow Road	PROJECT NUMBER: PLN2016-00001	APPLICANT: Sarah Potter	OWNER: Steven Huynh
REQUEST: Request for a use permit to construct a single-story addition and conduct interior modifications to a single-family, nonconforming residence that would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period. The subject parcel is located in the R-1-U (Single-Family Urban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: April 11, 2016	ACTION: TBD	
VOTE: TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
ACTION: <ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by ClearStory Construction, consisting of 5 plan sheets, dated received March 28, 2016, and approved by the Planning Commission on April 11, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 			



CITY OF MENLO PARK

LOCATION MAP

280 WILLOW ROAD

DRAWN: TAS CHECKED: CDS DATE: 04/11/16 SCALE: 1" = 300' SHEET: 1

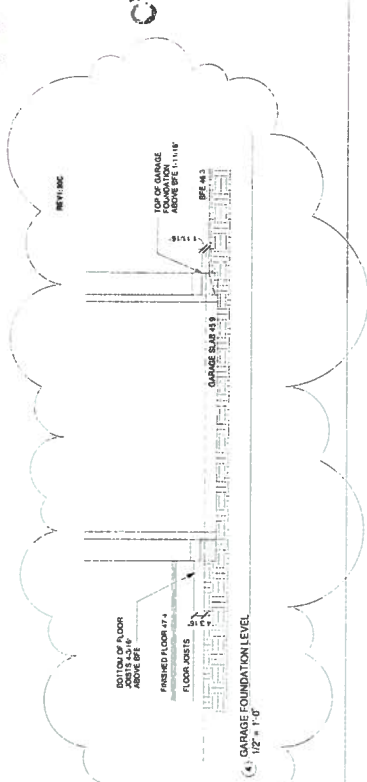


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280 Willow Road – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	5,005.0 sf	5,005.0 sf	7,000.0 sf min.
Lot width	55.0 ft.	55.0 ft.	65.0 ft. min.
Lot depth	91.0 ft.	91.0 ft.	100.0 ft. min.
Setbacks			
Front	25.5 ft.	25.5 ft.	20.0 ft. min.
Rear	21.5 ft.	32.0 ft.	20.0 ft. min.
Side (left)	5.0 ft.	5.0 ft.	5.5 ft. min.
Side (right)	4.7 ft.	4.7 ft.	5.5 ft. min.
Building coverage	1,815 sf 36.3 %	1,234.0 sf 24.7 %	2002.0 sf max. 40.0 % max.
FAL (Floor Area Limit)	1,815.0 sf	1,234.0 sf	2,800.0 sf max.
Square footage by floor	1,445.0 sf/1 st floor 274.0 sf/garage 96.0 sf/shed	864.0 sf/1 st floor 274.0 sf/garage 96.0 sf/shed	
Square footage of buildings	1,815.0 sf	1,234.0 sf	
Building height	15.2 ft.	13.5 ft.	28.0 ft. max.
Parking	1 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 2*	Non-Heritage trees: 4**	New Trees: 0
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 0	Total Number of Trees: 6
* The two heritage trees are located on neighboring properties			
**Three non-heritage trees are street trees located in front of the subject property and one is located on a neighboring property			

DISTANCE ABOVE BASE FLOOD ELEVATION



MAR 28 2016

CITY OF MENLO PARK
BUILDING

CLEARSTORY
181 CHANNING AVENUE
P.O. BOX 100
MENLO PARK, CA 94025
(650) 755-6668

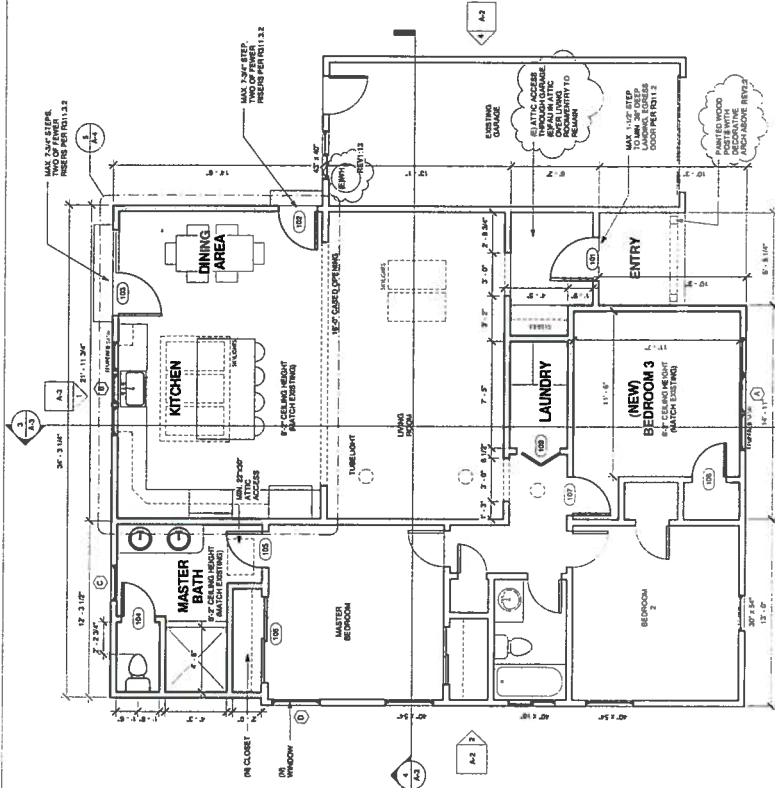
These plans are for design and layout purposes only. The general contractor is responsible for making the project conform to all applicable codes, the dimensions shown on these plans are for design and layout purposes only. The general contractor is responsible for making the project conform to all applicable codes. The dimensions shown on these plans are for design and layout purposes only. The general contractor is responsible for making the project conform to all applicable codes.

REVISIONS
REV 2/2016
REV 2/2016

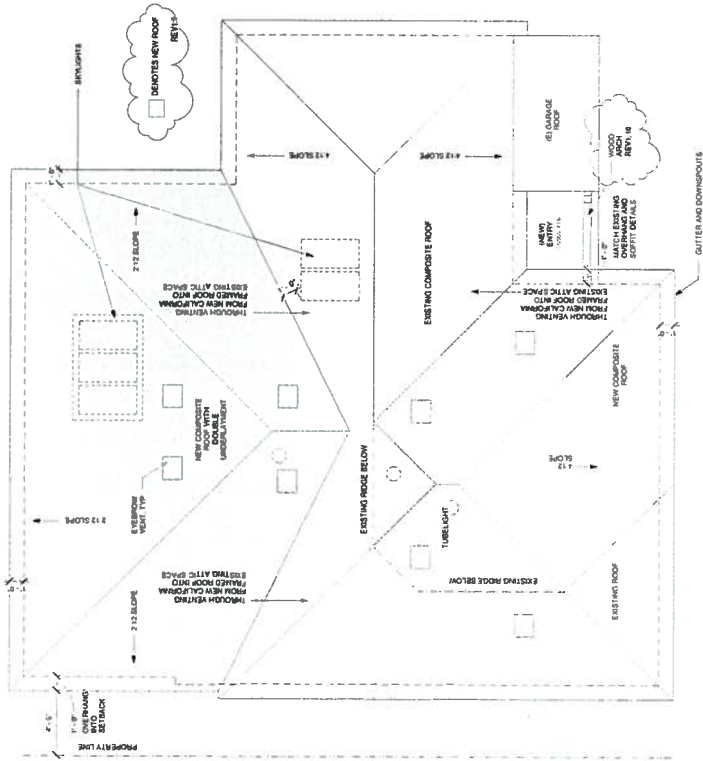
280 WILLOW ADDITION

MENLO PARK, CALIFORNIA

DATE	3/2/2016
SCALE	AS SHOWN
DRAWN	SBP
SHEET NAME	FLOOR & ROOF PLAN
SHEET NUMBER	A-1



2. NEW CONSTRUCTION - FLOOR PLAN
1/4" = 1'-0"

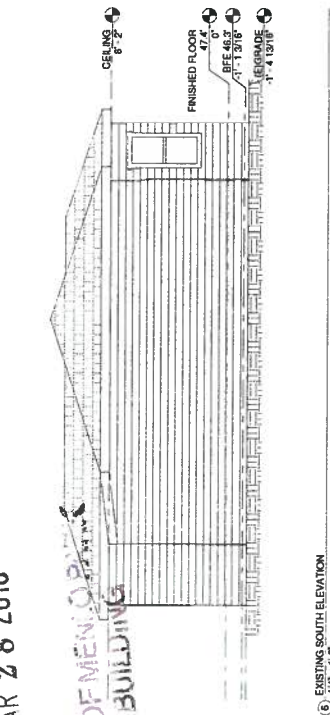


3. NEW CONSTRUCTION - ROOF PLAN
1/4" = 1'-0"

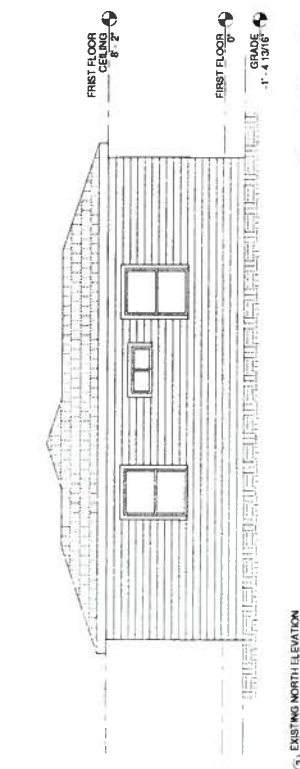
A-2

MAR 28 2016

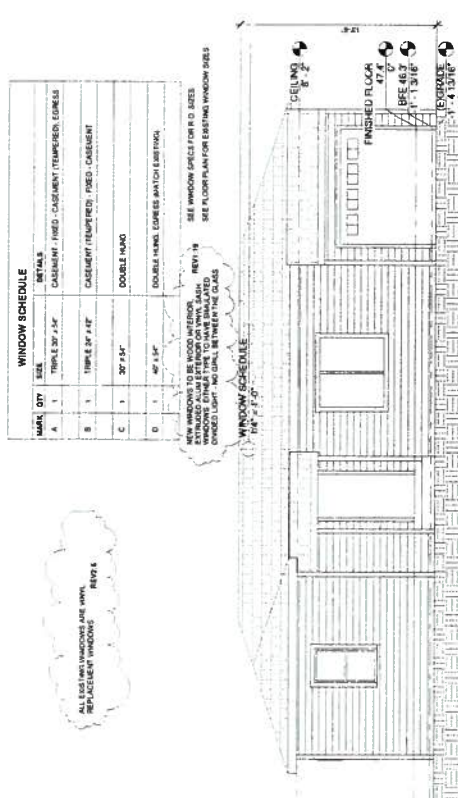
CITY OF MENLO PARK
BUILDING



5. EXISTING SOUTH ELEVATION
1/4" = 1'-0"



5. EXISTING NORTH ELEVATION
1/4" = 1'-0"



5. EXISTING FRONT ELEVATION
1/4" = 1'-0"

MARK	QTY	SIZE	MATERIALS
A	1	TRIPLE 30" x 54"	CASEMENT / FIXED - CASSETT TEMPERED, EDGES
B	1	TRIPLE 30" x 48"	CASEMENT TEMPERED / FIXED - CASSETT
C	1	30" x 54"	DOUBLE HUNG
D	1	48" x 54"	DOUBLE HUNG LUNES MATCH EXISTING

NEW WINDOWS TO BE WOOD INTERIOR, ALUMINUM EXTERIOR, AND DOUBLE GLAZED. SEE WINDOW SCHEDULE FOR WINDOW SIZES. SEE FLOOR PLAN FOR EXISTING WINDOW SIZES. SEE WINDOW SCHEDULE FOR WINDOW SIZES.

ALL EXISTING WINDOWS ARE WOOD REPLACEMENT WINDOWS REV 14

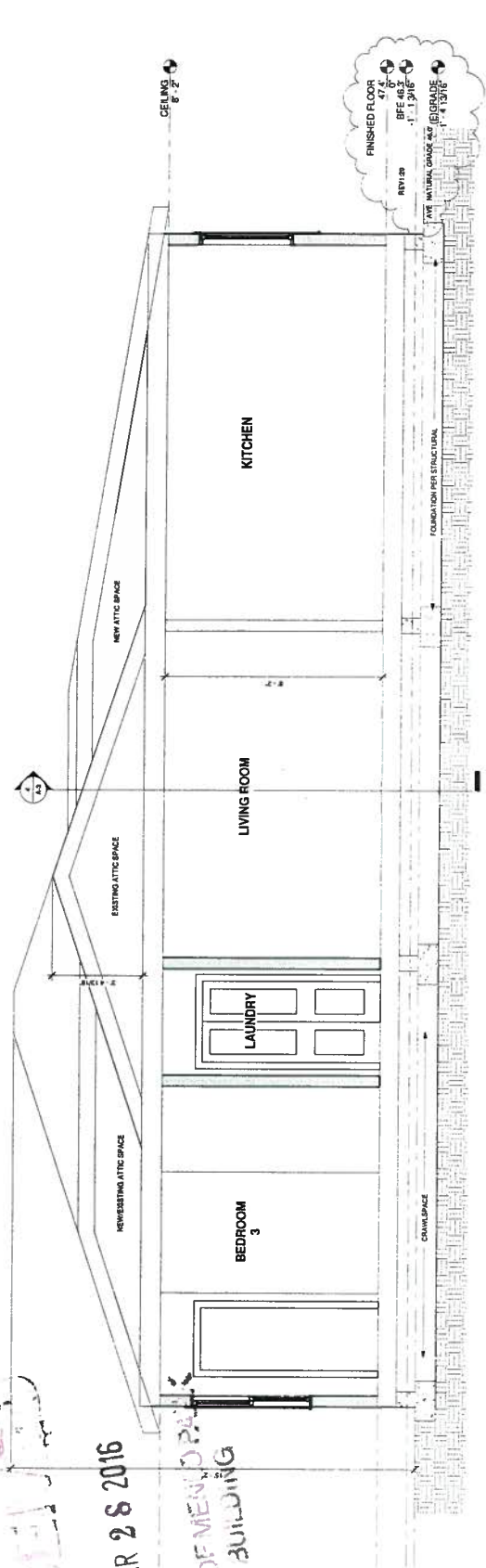
CLEARSTORY
781 CHANNING AVENUE
P.O. BOX 100
MENLO PARK, CA 94025
(650) 775-5658

These plans are for design and layout purposes only. The general contractor is responsible for taking accurate measurements in the field. The dimensions shown are approximate. The general contractor is responsible for taking accurate measurements in the field.

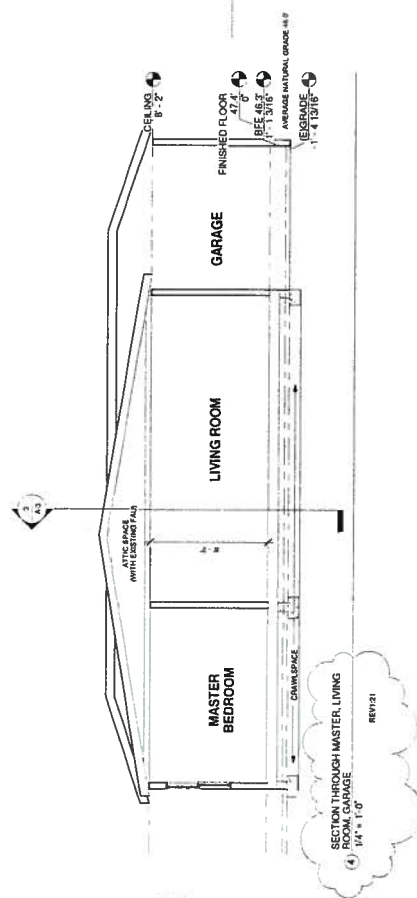
REVISIONS
1. REV 1/2/2016
2. REV 2/2/2016

280 WILLOW ADDITION
MEMLO PARK, CALIFORNIA

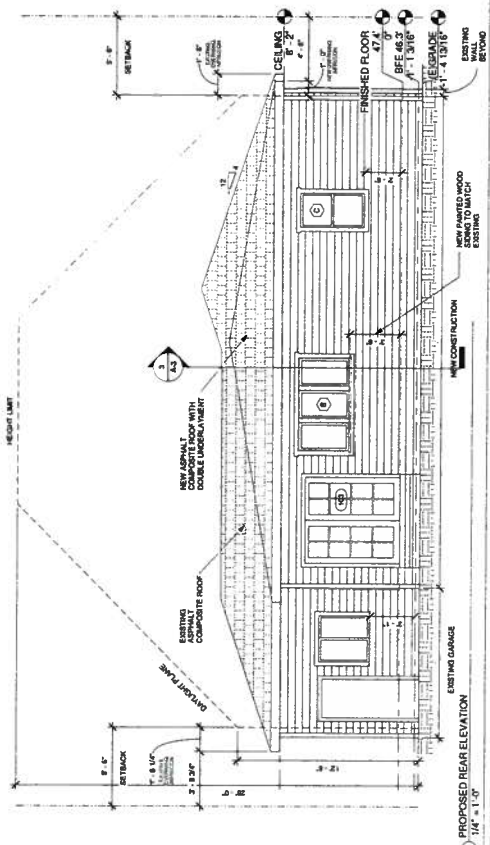
DATE 3/8/2016
SCALE AS SHOWN
DRAWN: SSP
SHEET NAME
EXISTING AND PROPOSED EXTERIOR ELEVATIONS
SHEET NUMBER A-2



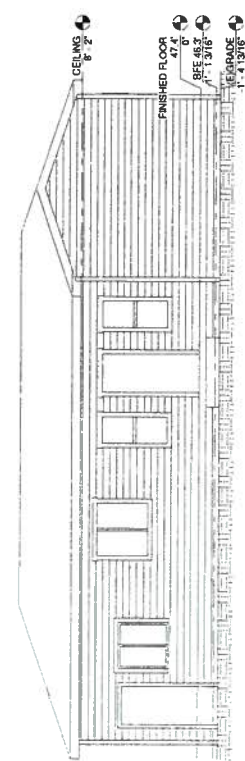
1) SECTION THROUGH HOUSE
1/2" = 1'-0"



2) SECTION THROUGH MASTER LIVING ROOM, GARAGE
1/4" = 1'-0"



3) PROPOSED REAR ELEVATION
1/4" = 1'-0"



4) EXISTING REAR ELEVATION
1/4" = 1'-0"

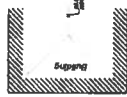
0-4



FLOOD ZONE AE 46.3
(HOBOT WITH THE CITY OF MENLO PARK)

NOTES

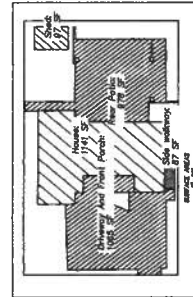
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.
DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE.
(STUCCO/SIDING)
FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
BENCHMARK: S.C.V.M.D. #174 ELEVATION: 58.79' (NAD83 DATUM, 2010 ADJUSTMENT)
A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED.
BY I. WADE HAMMOND LAND SURVEYOR EXAMINATIONS OF RECORD MAY REVEAL THAT ARE
TIE TO THE SURVEY OF THE MAP.
TREE SPECIES IDENTIFICATION: BEST EFFORT. WE ARE NOT ARBORISTS OR DENDROLOGISTS.



LEGEND

- FOUND POINT IN MONUMENT CASTING (AS NOTED)
- () RECORD DATA / REFERENCE
- WATER METER OR WATER VALVE BOX
- ⊕ FIRE HYDRANT
- ⊙ TREE - TRUNK DIAMETER IN INCHES
- ⊙ TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS
- ⊙ TREE WITH MULTIPLE TRUNKS
- TOP OF CURB
- FENCE
- SPOT ELEVATION
- SANITARY SEWER CLEAN OUT
- UTILITY BOX-TYPE AS NOTED SIZE AS DRAWN
- TREE DRIP LINE POINTS TOWARDS TREE TRUNKS
- TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN
- GAS VALVE

SURVEY
280 WILLOW ROAD
MENLO PARK
APN: 062-311-160
LOT 19, TR 537, 24 MAPS 11
GROSS AREA: 5,005 SQ. FT.
GROSS AND NET



ABBREVIATIONS
BACK OF WALK
C.C.M.C.
TOP OF CURB
SANITARY SEWER MANHOLE
C.S.M.H.
FULL

I. Wade Hammond
Licensed Land Surveyor
No. 6163
36660 Newark Blvd., Suite C
Newark, California 94560
Tel: (510) 579-4112 Fax: (510) 993-4054
www.iwahammond.com



I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS
ESTABLISHED BY A FIELD SURVEY IN CONFORMANCE WITH
THE LAND SURVEYORS ACT. ALL MEASUREMENTS ARE OF
SUFFICIENT ACCURACY TO BE AFFIDAVIT TO ENFORCE THE
SURVEY TO BE RETURNED.

5-10

RECEIVED



CLEARSTORY
CONSTRUCTION

JAN 04 2016

CITY OF MENLO PARK
PLANNING

781 Channing Avenue

Palo Alto, CA 94301

650-475-6868

sarah@clear-story.com

December 21, 2015

City of Menlo Park
Community Development Department
Planning Division

Planning Review Comments: 280 Willow Road

Dear Menlo Park Planning Division,

280 Willow Road is a quaint 1942 cottage that has remained mostly architecturally untouched for the majority of its existence. Though its charm has remained intact, the home has outgrown its livability for a modern family. The Huynh-Cheung family has loved their home for several years and hope to continue to do so after they renovate and create a beautiful, modern, yet still quaint family space.

The current home is a small 864 square feet with two bedrooms and one bath. The family is proposing to add 581 additional square feet that would create three bedrooms and two bathrooms and a modern kitchen (per submitted plans). This addition is well below the allowable 2800 sf for the lot. The homeowners are truly trying to make a conscientious usable space and not just maximize square footage.

The existing home is a small WWII era cottage with very limited substantial architectural features. The project will add detail with a decorative front door, new trellis and column features on the front façade and new SDL windows. The project would add multiple windows and skylights for increased natural light and to reduce the dependence on electricity during the daylight hours. The new exterior areas would be wood siding to match the remaining portions of the home.

The Huynh-Cheung are a wonderful family who love their home and neighborhood. They are an asset to their community and hope to make their modern, quaint renovation an asset to the neighborhood, too.

Sincerely,

Sarah B Potter, LEED AP

ClearStory Construction/ CA License # 994301

