



## REGULAR MEETING AGENDA

**Date:** 5/9/2016  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

**A. Call To Order**

**B. Roll Call**

**C. Reports and Announcements**

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

**D. Public Comment**

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

**E. Consent Calendar**

E1. Approval of minutes from the March 21, 2016 Planning Commission meeting. ([Attachment](#))

E2. Approval of minutes from the April 11, 2016 Planning Commission meeting. ([Attachment](#))

E3. Architectural Control/R. Tod Spieker/825 Menlo Avenue:  
Request for architectural control to modify the exterior of an existing multi-family residential building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The revisions would not affect the gross floor area or the number of units, but would include the replacement of existing stair and balcony railings with new steel railings, replacement of existing railings on street-facing balconies with new glass railings, replacement of board and batten siding with horizontal lap siding on front wall, replacement of pool fencing with steel and glass railings, addition of a wood belly band, addition of stone veneer over the first floor chimney and existing brick facade, and new paint. ([Staff Report #16-030-PC](#))

E4. Architectural Control/Greg Warner/1149 Chestnut Street:  
Request for architectural control to modify the exterior of an existing two-story commercial building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The building would be

comprehensively updated with stained wood and standing seam metal cladding, metal roof screen, and a new color scheme. The existing first and second floors would be reconfigured to incorporate a major building modulation inset on the west elevation (facing the parking plaza), but the gross floor area for the building would not increase as part of the project. ([Staff Report #16-031-PC](#))

## **F. Public Hearing**

- F1. Use Permit/Hilary Hubbard/1360 Delfino Way:  
Request for a use permit to remodel and add a second story to an existing nonconforming single-story, single-family residence in the R-1-U (Single-Family Urban) zoning district. The proposed work would exceed 50 percent of the existing replacement value in a 12-month period. ([Staff Report #16-032-PC](#))
- F2. Use Permit/Roger Kohler/317 Yale Road:  
Request for a use permit to demolish an existing single-story, single-family residence and accessory buildings and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district. The proposal also includes the removal of a heritage holly tree on the middle-right side of the property. ([Staff Report #16-033-PC](#))
- F3. Use Permit/Sally and Barry Karlin/624 Olive Street:  
Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-S (Single-Family Suburban) zoning district. ([Staff Report #16-034-PC](#))
- F4. Use Permit/Ohashi Design Studio/1220 Bay Laurel Drive:  
Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence with basement on a substandard lot with regard to lot width in the R-1-S (Single-Family Suburban Residential) zoning district. The project includes a request to remove a heritage Canary Island palm tree in the left side yard. ([Staff Report #16-035-PC](#))

## **G. Regular Business**

- G1. Selection of Planning Commission Chair and Vice Chair for May 2016 through April 2017 ([Staff Report #16-036-PC](#)).

## **H. Informational Items**

- H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: May 23, 2016
  - Regular Meeting: June 6, 2016
  - Regular Meeting: June 20, 2016

## **I. Adjournment**



Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at [www.menlopark.org](http://www.menlopark.org) and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at [menlopark.org/notifyme](http://menlopark.org/notifyme). Agendas and staff reports may also be obtained by contacting the Planning Division at 650-330-6702. (Posted: 5/4/16)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



## REGULAR MEETING MINUTES - DRAFT

**Date:** 3/21/2016  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

### A. Call To Order

Chair John Onken called the meeting to order at 7:00 p.m.

### B. Roll Call

Present: Andrew Combs, Katie Ferrick, John Kadvany, Larry Kahle, John Onken (Chair), Katherine Strehl (Vice Chair)

Absent: Susan Goodhue

Staff: Thomas Rogers, Principal Planner, Kyle Perata, Senior Planner, Michele Morris, Assistant Planner

### C. Reports and Announcements

Principal Planner Rogers said the City Council approved the Housing Element Update Report at their last meeting and the Planning Commission's recommendations regarding areas of focus had also been provided to them. He said the Council at the same meeting approved the Environmental Impact Report contract budget for the Stanford 500 El Camino Real project. He said the last topic meeting for the General Plan Update on Community Amenities would be March 24 at the Belle Haven Community Center. He said the Council closed the application period for Commission vacancies and he would keep the Commission updated on appointments. He noted that Commissioners Ferrick and Kadvany might be asked to continue on the Commission until new Commissioners were seated.

### D. Public Comment

There was none.

### E. Consent Calendar

- E1. Approval of minutes from the February 8, 2016 Planning Commission meeting. ([Attachment](#))

**ACTION:** Motion and second (Ferrick/Strehl) to approve with the following modification; passes 6-0 with Commissioner Goodhue absent

- Page 5, 4<sup>th</sup> paragraph from bottom, 2<sup>nd</sup> line: Replace "H" with "He"

- E2. Approval of minutes from the February 22, 2016 Planning Commission meeting. ([Attachment](#))

**ACTION:** Motion and second (Ferrick/Strehl) to approve the minutes as submitted; passes 6-0 with Commissioner Goodhue absent

Chair Onken said he recalled suggesting at the February 8, 2016 meeting in response to neighbor comments delivered to the City just before the meeting started that there could be a cutoff for comments on Commission meeting days. He suggested that be added to the minutes or made a discussion item for a future agenda. Commissioner Strehl suggested that cutoff only apply to written comment on the Commission meeting day as all were welcome to attend the meeting and make public comment on an agenda item.

## F. Public Hearing

### F1. Use Permit/Brian Watkins/276 Marmona Drive:

Request for a use permit to remodel and add approximately 539 square feet to a nonconforming single-story residence in the R-1-U (Single-Family Urban) zoning district. The proposed expansion and remodel would exceed 75 percent of the existing replacement value in a 12-month period. As part of the project, two heritage trees, a flowering pear and a crepe myrtle in the right side yard, are proposed for removal. ([Staff Report #16-019-PC](#))

Staff Comment: Associate Planner Morris said staff had no additions to the staff report.

Applicant Presentation: Ms. Lisa Shoda introduced Mr. Brian Watkins, the project applicant. Ms. Shoda said they wished to make a modest addition to the single-story home and described some of the features of the proposed design.

Commissioner Kadvany asked about the bumpout for the bathroom and asked if it was a bay window that would encroach. Mr. Gary Ahern, project architect, said it was entirely foundation and a pop-out floor space.

Commissioner Strehl confirmed with the applicants that the non-heritage tree to be removed was located in the front yard.

There being no public comment, Chair Onken closed the public hearing.

Commission Comment: Commissioner Ferrick said it was a very acceptable project.

Commissioner Kahle asked about whether they had considered a different shape rather than a rectangle for the window above the entry. Mr. Ahern said the client had considered several different shapes for that window and liked best the window shape as proposed.

**ACTION:** Motion and second (Ferrick/Strehl) to approve with the use permit as recommended in the staff report; passed 6-0 with Commissioner Goodhue absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:

- a. Development of the project shall be substantially in conformance with the plans prepared by Focal Point Design, consisting of 6 plan sheets, dated received March 1, 2016 and approved by the Planning Commission on March 21, 2016 except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
- b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
- c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
- d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

F2. Use Permit Revision/Intersect ENT/1555 Adams Drive:

Request for a revision to a use permit, previously approved in April 2015, to modify the location of the liquid nitrogen storage tank from inside the building to an exterior equipment enclosure in the M-2 (General Industrial) zoning district. Hazardous materials are currently used and stored at the site for the research and development, and production of medical technologies for use in treating ear, nose, and throat patients, located at an existing building. At this time the applicant is not requesting to modify the types and quantities of hazardous materials. ([Staff Report #16-020-PC](#))

Staff Comment: Senior Planner Perata said staff had no additions to the staff report.

Applicant Presentation: Mr. Dan Castro, Vice President of Operations, Manufacturing and Engineering, at Intersect ENT, said his company develops, manufactures and distributes devices to treat chronic sinus conditions. He said they received FDA approval in 2011 for distribution in the U.S. He said they have expanded their manufacturing operation due to robust growth. He said this use permit revision would allow them to move the liquid nitrogen storage from the interior of their building to the outside and that would also improve distribution.

Commissioner Kahle asked about impacts should liquid nitrogen be accidentally released into the atmosphere. Mr. Castro said that air is 79% nitrogen so liquid nitrogen would dissipate.

Chair Onken closed the public hearing as there was no public comment.

Commission Comment: Chair Onken said the application was routine and that the proposed landscape screening was good.

**ACTION:** Motion and second (Onken/Kahle) to approve with the use permit revision as recommended in the staff report; passes 6-0 with Commissioner Goodhue absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans provided by Green Environment, Inc., consisting of seven plan sheets, dated received March 9, 2016, and approved by the Planning Commission on March 21, 2016 except as modified by the conditions contained herein, along with the previously approved plans for the indoor storage and use of hazardous materials approved by the Planning Commission on April 6, 2015, subject to review and approval of the Planning Division.
  - b. Prior to building permit issuance, the applicant shall comply with all sanitary district, Menlo Park Fire Protection District, and utility companies regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. If there is an increase in the quantity of hazardous materials on the project site, a change in the location of the storage of the hazardous materials, or the use of additional hazardous materials after this use permit is granted, the applicant shall apply for a revision to the use permit.
  - e. Any citation or notification of violation by the Menlo Park Fire Protection District, San Mateo County Environmental Health Department, West Bay Sanitary District, Menlo Park Building Division or other agency having responsibility to assure public health and safety for the use of hazardous materials will be grounds for considering revocation of the use permit.
  - f. If the business discontinues operations at the premises, the use permit for hazardous materials shall expire unless a new business submits a new hazardous materials business plan to the Planning Division for review by the applicable agencies to determine whether the new hazardous materials business plan is in substantial compliance with the use permit

- F3. Use Permit/Antheia, Inc./1505 O'Brien Drive Suite B:  
Request for a use permit for the storage and use of hazardous materials for the research and development of small molecules for the treatment of a range of ailments including hypertension,

cancer, and viral, bacterial, and protozoan infections located within an existing building in the M-2 (General Industrial) zoning district. All hazardous materials would be used and stored within the building. ([Staff Report #16-021-PC](#))

Staff Comment: Senior Planner Perata said staff had no additions to the staff report.

Applicant Presentation: Ms. Catherine Thodey, Research Scientist, Antheia, Inc., said the company had started from a Stanford research group led by Dr. Christina Smolke. She said the hazardous materials on their application were very standard.

Chair Onken opened the public hearing. There being no comments he closed the public hearing.

Commission Comment: Commissioner Ferrick said the staff report indicated this company was near several schools and asked if this use posed any danger to those facilities. Ms. Ellen Ackerman, Green Environment, said it would not. She said the materials and quantities being used would not require any extraordinary safety measures. She said as required they will have an emergency response plan onsite.

**ACTION:** Motion and second (Kadvany/Ferrick) to approve the use permit as recommended in the staff report; passes 6-0 with Commissioner Goodhue absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans provided by Green Environment, Inc., consisting of nine plan sheets, dated received March 9, 2016, and approved by the Planning Commission on March 21, 2016 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - b. Prior to building permit issuance, the applicant shall comply with all sanitary district, Menlo Park Fire Protection District, and utility companies regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. If there is an increase in the quantity of hazardous materials on the project site, a change in the location of the storage of the hazardous materials, or the use of additional hazardous materials after this use permit is granted, the applicant shall apply for a revision to the use permit.



- e. Any citation or notification of violation by the Menlo Park Fire Protection District, San Mateo County Environmental Health Department, West Bay Sanitary District, Menlo Park Building Division or other agency having responsibility to assure public health and safety for the use of hazardous materials will be grounds for considering revocation of the use permit.
  - f. If the business discontinues operations at the premises, the use permit for hazardous materials shall expire unless a new business submits a new hazardous materials business plan to the Planning Division for review by the applicable agencies to determine whether the new hazardous materials business plan is in substantial compliance with the use permit
- F4. Draft Infill Environmental Impact Report (EIR) Public Hearing/Greenheart Land Company/Station 1300 Project (1258-1300 El Camino Real, 550-580 Oak Grove Avenue, and 540-570 Derry Lane) Public hearing to receive public comments on the Draft Infill EIR for the Station 1300 project, also known as the 1300 El Camino Real project. The Draft Infill EIR prepared for the project identifies environmental effects at a less than significant level without mitigation in the following categories: Noise (Operational). The Draft Infill EIR identifies potentially significant environmental effects that can be mitigated to a less than significant level in the following categories: Air Quality (Construction) and Hazardous Materials. The Draft Infill EIR identifies potentially significant environmental effects that are significant and unavoidable in the following category: Transportation and Traffic. The following categories were previously identified as requiring no further analysis in an earlier Infill Environmental Checklist, due to being analyzed in a prior EIR and/or being substantially mitigated by uniformly applicable development policies: Agricultural and Forestry Resources, Air Quality (Operational), Biological Resources, Cultural Resources, Geology and Soils, Greenhouse Gas Emissions, Hydrology/Water Quality, Land Use and Planning, Mineral Resources, Noise (Construction), Population and Housing, Public Services, and Utilities and Service Systems. The Infill Environmental Checklist is included as an Appendix of the Draft Infill EIR. The California Environmental Quality Act (CEQA) requires this notice to disclose whether any listed hazardous waste sites are present at the location. The project location does contain a hazardous waste site included in a list prepared under Section 65962.5 of the Government Code. The Hazardous Materials section of the Draft Infill EIR discusses this topic in more detail. Written comments on the Draft Infill EIR may also be submitted to the Community Development Department no later than 5:30 p.m., Monday, April 4, 2016. ([Staff Report #16-022-PC](#))

**Transcript was prepared for item F4.**

**G. Study Session**

- G1. Study Session/Greenheart Land Company/Station 1300 Project (1258-1300 El Camino Real, 550-580 Oak Grove Avenue, and 540-570 Derry Lane)  
Study session to receive comments on the Station 1300 proposal (also known as the 1300 El Camino Real project) to redevelop a multi-acre site on El Camino Real and Oak Grove Avenue with up to 217,000 square feet of non-residential uses and up to 202 dwelling units. The study session will allow Planning Commissioners and the public to provide feedback on the overall project, including the proposed Public Benefit ([Staff Report #16-022-PC](#)).

Staff Comment: Principal Planner Rogers said the Commission was asked to particularly comment on public benefit bonus in addition to the typical elements considered in a study session. He said the City has done the public benefit bonus proposal process fully for two project applications: the Marriott Residence Inn that converted a former senior retirement living community that was a change in use requiring Planning Commission review and City Council approval; and the 1020



Alma Street project. He said the public benefit for the hotel project was the inherent transient occupancy tax (TOT) that recurs annually and for the 1020 Alma Street office project it was a one-time payment to the City and provision of an active public plaza with retail and café use.

Principal Planner Rogers said a financial analysis was prepared by Bay Area Economics (BAE) for this proposed project. He said the report projected approximately \$6.3 million in extra profit for the bonus density based on current rents, construction costs and other factors. He said the applicant has proposed a public benefit to the City that would consist of a one-time payment of \$2.1 million. He said BAE in another memo looked at land value and if the development was limited to the base level how much extra land would need to be purchased to accommodate the additional square footage being requested. He noted that related to a prior Commission discussion about public benefit and determining value. He asked the Commission during its comment period to address whether the proposed public benefit was on the right track. He said if the public benefit being proposed was completely unacceptable that the applicant would have to reconsider the project proposal.

Applicant Presentation: Mr. Steve Pierce, principal, Greenheart Land Company, introduced his colleague Bob Burke. He said they wanted the project to be in total conformance with the Specific Plan and to follow through with the Plan's visions and goals; for it to be as environmentally sensitive as possible; and to create something that would be a great asset to the community. He said beyond a beautiful building they wanted to create a place where people would go and interact. He said to do that they needed reasons for people to come to the site or activity magnets, which were restaurants, shops, and recreational opportunities. He said the place had to be welcoming and comfortable so that once people came there they would like to spend time there. He said they needed open space to accomplish those goals.

Mr. Bob Burke, principal, Greenheart Land Company, said the project was two, three-story office buildings on El Camino Real. He said one of their goals was to provide more space as their businesses grew to incubator companies currently using their property on Willow Road. He said in 2014 for the Environmental Impact Review (EIR) they were asked how many apartments were planned. He said they posited 202 units as the high number for the purposes of the EIR, but with plan design they settled on 182 units, which number because of the stairwell, probably was now 181 units. He said the four-story residential building was the same height as the office buildings. He said the units were rental with half of the units being 900 square foot one-bedroom units, and there would be 10 below market rate units. He said community services use included retail, food, restaurants, and personal services such as a salon and/or pilates studio. He said that with their underground parking they would have 48% open space which was double the requirement under the Specific Plan. He said there would be an amphitheatre and Garwood Park with numerous amenities. Toward lessening traffic congestion, he said that two ingress/egress points on Garwood and one on El Camino Real were planned and apartment tenants and workers would pay for their parking spaces. He said their TDM plan was aggressive with GoPasses for Caltrain and Zipcars on site. He said they were working on Bike Share which was not yet available in Menlo Park. He said they have one-to-one bicycle storage for the apartments and double what was required for secure bicycle storage in the office buildings. He said there would be bicycle repair stops, showers in the office buildings, and electric bikes for the apartment dwellers. He said the Facebook and Marguerite shuttle would stop at or close to this location. He said they were also very focused on sustainability and were seeking LEED Gold for the apartments and LEED Platinum for the office buildings and going for net zero. He said there was not enough roof space on the apartment buildings for those buildings to be net zero. He said additionally toward net zero they would use a geo-thermal system. He then showed a video of the proposed Station 1300 project.

Mr. Pierce said regarding public benefit that there was intrinsic benefit in taking a derelict property and developing it into productive use. He said explicit benefit was what they would do to achieve the bonus density. He said a goal of the Specific Plan was to create residential opportunities and with the bonus density they were able build 50 more units. He said with the bonus density, the project would generate about \$1.7 million a year for schools and at base development level about 50% less. He said the City engaged an outside consultant to look at the costs as well as the revenues and with the increased square forage arrived at a value of \$6.3 million. He said a major part of that metric was the underground garage which would cost \$26 million. He said having underground parking allowed for more open space and enabled them to reach their goal of creating more community resources. He said to identify public benefits they polled many people and looked at the list in the Specific Plan. He said they had as example the Alma Street project whose public benefit was a public plaza fenced off from the private plaza, a community resource in the form of a coffee kiosk, as well as a contribution to the downtown amenity fund that represented 18% of the additional value created by the additional square footage. He said they were proposing to contribute \$2.1 to the public amenity fund and in talking to people they did not think they should be the arbitrators of where the money should go. He said regarding plazas and open spaces they did not want to create a private and a public space rather a central square that could be used by everybody. He said that was possible because of the underground parking and it would cost them about \$2 million to do the open space areas. He said they had up to 30,000 square feet for hopefully two anchor restaurants and other shops. He said the rent for those would be half what the office use rent would be and noted that retail required more parking than office. He said their public benefit proposal was the \$2.1 million and the open space and public resources they would provide.

Public Comment:

- Patti Fry said this project was on the busiest stretch of El Camino Real, would bring the worst impacts to traffic and did not provide enough residential as targeted by the Specific Plan. She said the Derry Project, which was smaller than this, had offered a public benefit of \$2 million. She said the intrinsic benefits were vague and assurances needed to be made regarding those. She said office buildings were dead space and did not create vibrancy.
- Mr. Viera said he was with Local Carpenter's Union 217 representing 1,451 carpenters in San Mateo County. He said they oppose the project as Greenheart Land Company continues to use W. L. Butler as their contractor, who fails to require its subcontractors to pay standard carpenter wages and benefits on projects and for whom they don't require state licensure.
- Skip Hilton said he was a Menlo Park resident and a tech employee. He commended the applicants for extensive community outreach. He said the project is in a prime place for transit oriented residential and business. He said the 48% open space was possible because of the underground parking. He said this development would add to the City's vibrancy. He complimented the project for its sustainability and said he supported the project.

Chair Onken closed the public comment period.

Commission Comment: Chair Onken said he thought prior Planning Commission discussions about public benefit seemed evident in what was being proposed. He asked about the Garwood parking for the Marriott Residence Inn project. Principal Planner Rogers said that project with its

approval received a formal license agreement with the City for the use of those parking spaces. He said at that time the Council and Commission were aware that something was proposed on this subject property and that Garwood Way would be extended if a project went through like this one, and that some contingencies had been built into the approval. He said he recalled that the Marriott owner was encouraged to work with any redevelopment on this site for relocating those parking spaces. He said the City however could not necessarily require an owner to negotiate in a certain way with another private property. He said there was an allowance for what the City would need to see if there was not such an agreement. He said he believed if the hotel met certain revenue targets they would not need to pay extra rent for those spaces but if they fell below standards they would. He said this project could not make those spaces go away as it was public right-of-way.

Commissioner Kadvany complimented the BAE analysis. He said the proposed project was great and would be even greater as it moved along and transformed. He said the project met many of the Specific Plan goals but he encouraged the applicants to look critically toward meeting even more, noting that the Alma Street project was much different from this project. He said it appeared that most of the use of the open spaces would be by the tenants of the surrounding offices and apartments. He said the project should get some credit for the open space but the cost of doing the plaza and park was not really a benefit for the City. He said the estimated \$6.3 million value was a conservative amount. He said rather than \$2.1 million public benefit he thought \$3 even \$4 million was more realistic. He said the number of residential units was the same as it would be at the base level.

Chair Onken said if they wanted to be aggressive about the residential, more units could be added in the area designated as Garwood Park. He said it was a tradeoff of wanting more density.

Commissioner Combs said if residential was increased above the 202 units studied in the EIR they would have to modify the EIR. He said he met with people from Greenheart Land Company noting that he has met with other applicants and people regarding projects upon request in the past. He asked what the applicant's obligation was with how the space was built out and how it would actually be used.

Principal Planner Rogers said the project was at the public bonus level and allowed discretion whether the project was providing public benefit to the City. He said land use could be part of that discussion. He said one of the themes of the Specific Plan was clustering restaurants and retail in the downtown and from that looking at uses that support the downtown core. He said once the project was out of the downtown and on El Camino Real there were no requirements for base line level for retail restaurant and personal services.

Chair Onken asked about uses under community services. Principal Planner Rogers said under the defined uses that businesses could change without Planning Commission or other review. He said conditional and different uses would require discretionary or administrative review depending upon the proposed use. He noted that there was an allowance for a real estate office within the community services portion of the project for the property owner's use and that square footage was captured in the overall office square footage.

Commissioner Strehl said she also met with representatives of Greenheart Land Company and has met with other project developers in the past when requested. She said the BAE report seemed to indicate that the developer would get a 40% return on a base level project but for the public benefit bonus level they would only get a 30% return. She said there were things the

developer was doing that were not being calculated in any of the discussion and that was the \$6 million in improvements that would be made. She said public benefit should be looked at more broadly. She said she thought Garwood Park over time would be an attraction to residents in Menlo Park particularly if the community services attracted people beyond the apartments and office buildings. She said she thought it was going to be an incredibly handsome development. She said she was not sure what the right number was for the public benefit cash amount but she felt they had to recognize that the applicant was assuming a lot of risk in this project. She said there should be a certain amount of reward for this assumed risk so the applicant would actually made money. She said without the public benefit bonus the project would not be as handsome and she did not think as many community amenities could be provided. She said their transportation measures and roadwork to make this development work were outstanding and they were not asking for credit for any of that. She said they had to look more broadly than just the \$2.1 million in how they calculate public benefit.

Commissioner Kahle said he had also met with the applicant. He said he thought it was going to be a really nice project. He said related to Commissioner Kadvany's comments about the central plaza surrounded by office buildings that he too thought it would serve those uses primarily and questioned particularly who would use it at night. He said perhaps there was a way to make this more of a mixed-used plaza as well with residential use. He said regarding a one-time payment of \$2.1 million he suggested they request 50% of the \$6.3 million as a starting point for negotiations.

Commissioner Ferrick said the design and overall composition were exceptional and vastly exceeded the template of what it could be in the Specific Plan. She said there were a balance of uses and suggested that the sustainability features beyond LEED Silver should be considered as public benefit. She agreed with Commissioner Kadvany that they should continue to look at public benefit and suggested that there might be more below market rate housing units, which she would like provided at a 10% rate. She said the TDM plan was exceptional. She said previously they had identified an undercrossing at Middle Avenue as a priority item and suggested that might be a consideration for public benefit. She said the greater public benefit was the open space on the project as well as the underground parking. She said regarding the community service businesses that she agreed with Ms. Fry's comments that more specificity about the mix of uses was important. She said the way to activate the central plaza would be to extend the community services into that space.

Chair Onken suggested looking at the net loss for another below market rate unit and to consider funding that with the proposed \$2.1 million.

Commissioner Goodhue suggested taking the \$2.1 million or whatever the amount of cash payment was and investing that in more housing on the project. She asked if the Housing Commission was looking at the project.

Principal Planner Rogers said the Housing Commission had reviewed the project at their last meeting with a focused review for the enforceable below market rate requirements which currently relate to commercial uses. He said since the project is a rental project there was no below market rate requirement deriving from the rental component. He said looking at the net increase of commercial, the project was required to provide 9.9 below market rate units and the applicant was proposing to do 10 such units onsite. He said individually Housing Commissioners said they would like to see more below market rate units.

Commissioner Goodhue said she figured the restaurant use would extend into the central plaza

and would draw people into that space. She said she did not know whether it would be feasible to bring residential uses into that area as that would impact the design.

Commissioner Kadvany said based on the BAE report, the cost of the project was around \$225 million. He said Specific Plan revenue was intended to fund public improvements such as the Middle Avenue tunnel and parking garages. He said the public benefit should be commensurate with the project value. He said he was sure more below market rate units was the best use.

Commissioner Combs said he could be supportive of the project. He said it would be helpful for the Commission to decide whether they prefer more below market rate housing or cash.

Commissioner Strehl said in reviewing the Housing Element they did not have as many below market rate units as indicated were needed but that had not taken into account more recent projects and their contributions to that such as the Midpen project on Willow Road. She asked if staff might provide an update when this project came back as to how many below market rate units were achieved and what number remained to do.

Chair Onken said it was important to look at what this project would be if it did not go to the bonus level. He said the project has a lot going for it with its frontage and that whether the outdoor space could be definitely used more broadly or not, it was good to have it.

## **H. Informational Items**

### **H1. Future Planning Commission Meeting Schedule**

- Regular Meeting: April 11, 2016
- Regular Meeting: April 18, 2016
- Regular Meeting: May 2, 2016

## **I. Adjournment**

Chair Onken adjourned the meeting at 10:24 p.m.

Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett

CITY OF MENLO PARK  
PLANNING COMMISSION

DRAFT INFILL ENVIRONMENTAL)  
IMPACT REPORT (EIR) )  
STATION 1300 PROJECT )  
\_\_\_\_\_ )

PUBLIC MEETING  
PRESENTATION and COMMENT PERIOD  
REPORTER'S TRANSCRIPT OF PROCEEDINGS  
MONDAY, MARCH 21, 2016  
MENLO PARK CITY COUNCIL CHAMBERS

Reported by: MARK I. BRICKMAN, CSR RPR  
License No. 5527

<p>1 ATTENDEES</p> <p>2 THE PLANNING COMMISSION:</p> <p>3 John Onken - Chairperson</p> <p>4 Katherine Strehl - Vice Chairperson</p> <p>5 Katie Ferrick</p> <p>6 Larry Kahle</p> <p>7 John Kadwany</p> <p>8 Susan Goodhue</p> <p>9</p> <p>10 THE CITY STAFF:</p> <p>11 Thomas Rogers - Principal Planner</p> <p>12 Kyle Perata - Senior Planner</p> <p>13 Kristiann Choy - Transportation Division</p> <p>14 Barbara Kautz - Contract City Attorney</p> <p>15 SUPPORT CONSULTANTS:</p> <p>16 Margaret Netto - General Contract Planner</p> <p>17 Mark Spencer - W-Trans Transportation Consultant</p> <p>18 Erin Efner - ICF International</p> <p>19 ---o0o---</p> <p>20</p> <p>21 BE IT REMEMBERED that, pursuant to Notice</p> <p>22 of the Meeting, and on March 21, 2016, 7:22 PM at the</p> <p>23 Menlo Park City Council Chambers, 701 Laurel Street,</p> <p>24 Menlo Park, California, before me, MARK I. BRICKMAN, CSR</p> <p>25 No. 5527, State of California, there commenced a Planning</p> <p>Commission meeting under the provisions of the City of</p> <p>Menlo Park.</p> <p>---</p> <p>Page 2</p>	<p>1 CHAIR ONKEN: We can move on to item F4 this</p> <p>2 evening. This is -- item F4 is the Draft Infill</p> <p>3 Environmental Impact Report for 1300 El Camino Real,</p> <p>4 which is also called 1300 El Camino Real 550 to 580 Oak</p> <p>5 Grove Avenue, 540 to 570 Derry Lane.</p> <p>6 I won't read the project description, but</p> <p>7 suffice to say that the Draft EIR, that we'll take it</p> <p>8 from the project presentation.</p> <p>9 Thomas, would you like to add anything to the</p> <p>10 staff report at all?</p> <p>11 MR. ROGERS: Thanks. I'll start it off and</p> <p>12 kick it over to our environmental consultant.</p> <p>13 So just a few introductory remarks. This is</p> <p>14 the Environmental Impact Report, Draft Infill</p> <p>15 Environmental Impact Report for the Station 1300 Project.</p> <p>16 This project has also been known as the 1300 El</p> <p>17 Camino Real Project or the Greenheart Project. The</p> <p>18 applicant has rebranded it as Station 1300 which does</p> <p>19 account for the fact that it has frontage on multiple</p> <p>20 streets. So that's what we're going forward just for</p> <p>21 clarity.</p> <p>22 There are two items on the agenda tonight.</p> <p>23 First is regarding CEQA, which is the California</p> <p>24 Environmental Quality Act. The purpose of CEQA in</p> <p>25 general is the informational source to provide</p> <p>Page 4</p>
<p>1 MEETING AGENDA</p> <p>2 Page</p> <p>3 Presentation by Mr. Rogers 4</p> <p>4 Presentation by Ms. Efner 8</p> <p>5 Presentation by Mr. Spencer 14</p> <p>6 Public Comments</p> <p>7 Sam Wright 23</p> <p>8 Skip Hilton 25</p> <p>9 Clem Molony 28</p> <p>10 Patti Fry 32</p> <p>11 David Howard 34</p> <p>12 Planning Commission Comments 37</p> <p>13</p> <p>14</p> <p>15</p> <p>16</p> <p>17</p> <p>18</p> <p>19</p> <p>20</p> <p>21</p> <p>22</p> <p>23</p> <p>24</p> <p>25</p> <p>Page 3</p>	<p>1 information, data in forms different -- different</p> <p>2 actions. It doesn't necessarily dictate a certain</p> <p>3 outcome for any particular project.</p> <p>4 This project regardless of the EIR still has to</p> <p>5 go through multiple review steps and final action items</p> <p>6 that are not happening tonight.</p> <p>7 The only things that are happening tonight are</p> <p>8 the presentation and comment period for the Draft EIR as</p> <p>9 well as the Final Study Session.</p> <p>10 This particular EIR is a new type of EIR for</p> <p>11 the Commission and the public. It's called the Infill</p> <p>12 Environmental Impact Report, and that is reflective of</p> <p>13 the fact that the El Camino Real Downtown Specific Plan</p> <p>14 did include a program with the EIR.</p> <p>15 In most attributes, most environmental topic</p> <p>16 areas regarding this project were adequately addressed in</p> <p>17 that previous program of the EIR.</p> <p>18 However, certain topic areas were not, and so</p> <p>19 that's why we have a new document tonight, but it's a</p> <p>20 little bit more streamlined, a little bit shorter, if you</p> <p>21 can believe that, than some other Environmental Impact</p> <p>22 Reports.</p> <p>23 It is worth noting -- and we'll talk about this</p> <p>24 in more detail -- it does include full traffic analysis,</p> <p>25 which I know is an area of -- of concern and interest for</p> <p>Page 5</p>



<p>1 a lot of folks. So we'll get into that in more detail.</p> <p>2 The agenda item tonight will start off with the</p> <p>3 presentation from our -- our consultant, impact report</p> <p>4 consultants, including our traffic consultation.</p> <p>5 You see Erin Efner as well as Mark Spencer over</p> <p>6 at the other table. Kristiann Choy from our</p> <p>7 Transportation Division will also be joining us.</p> <p>8 I am also assisted by our Contract City</p> <p>9 Attorney Barbara Kautz directly next to me, as well as</p> <p>10 Margaret Netto who's assisting as a general contract</p> <p>11 planner on environmental topics for the City.</p> <p>12 She hasn't come to all the meetings, but she's</p> <p>13 been the source behind a lot of the Specific Plan</p> <p>14 checklists that you've seen for projects like the other</p> <p>15 133 Encinal report.</p> <p>16 So that -- that's a project where everything</p> <p>17 associated with the environmental impacts were completely</p> <p>18 analyzed in the Specific Plan outline.</p> <p>19 So we have a statement of fact to that effect</p> <p>20 with the staff reports. And so she's well-versed in</p> <p>21 this, as well.</p> <p>22 We do have a Study Session, a General Study</p> <p>23 Session following this, and I'll give you a couple of</p> <p>24 brief introductory remarks in advance of that.</p> <p>25 In general, it seems like when you had these in</p> <p style="text-align: right;">Page 6</p>	<p>1 of group action.</p> <p>2 And so with that, I'll kick it over to Erin.</p> <p>3 Thank you.</p> <p>4 MS. EFNER: Thanks, Thomas.</p> <p>5 Good evening, Commissioners, members of the</p> <p>6 public. Thank you to coming to the 1300 El Camino Real</p> <p>7 Draft EIR Public Hearing.</p> <p>8 My name is Erin Efner. As Thomas mentioned,</p> <p>9 I'm with ICF International who prepared the EIR for</p> <p>10 the -- for the project. I'm here with Mark Spencer for</p> <p>11 W-Trans.</p> <p>12 My presentation will cover the environmental</p> <p>13 review process. I'll also provide a brief overview of</p> <p>14 the project and explain how the different comments and</p> <p>15 also describe the next steps.</p> <p>16 We are currently as Thomas mentioned in the</p> <p>17 Draft EIR Public Comment phase of the environmental</p> <p>18 review process.</p> <p>19 Comments are really most helpful during this</p> <p>20 phase when they consider the environmental impact of the</p> <p>21 project and provide recommendations for how they might</p> <p>22 reduce impacts of the project as well as addressing</p> <p>23 adequacy of the environmental documents.</p> <p>24 So although my presentation does include a</p> <p>25 brief overview of the project, I would like to note that</p> <p style="text-align: right;">Page 8</p>
<p>1 the past, a lot of comments are more directed towards the</p> <p>2 Study Session than the Draft Environmental Impact Report,</p> <p>3 but I would say that if you're in doubt about whether</p> <p>4 your comments are related to the EIR, go ahead and make</p> <p>5 them and we'll sort it out on our end.</p> <p>6 We do have a court reporter transcribing this</p> <p>7 portion of the meeting, and also of note it's not the</p> <p>8 last opportunity to comment tonight.</p> <p>9 So if you've got some things bubbling around,</p> <p>10 you want to get some information and you want to ask to</p> <p>11 key some questions, that's fine.</p> <p>12 We also have -- accept written comments through</p> <p>13 April 4th. That's Monday April 4th through the end of</p> <p>14 business, which is 5:30 PM.</p> <p>15 Those can come in to me through e-mail. Not by</p> <p>16 chance, but I'm going on vacation tomorrow, but all --</p> <p>17 all items of correspondence will be accepted.</p> <p>18 If any questions come up, you'll get an out-of-</p> <p>19 office comment, and Margaret can coordinate on those, but</p> <p>20 otherwise, those comments will be accepted and then</p> <p>21 collected for response and Final EIR.</p> <p>22 Erin will talk a little bit more about what the</p> <p>23 steps are in the environmental stage, but I just wanted</p> <p>24 to make the overall point of there's no project actions</p> <p>25 tonight. The Commission does not need to make any sort</p> <p style="text-align: right;">Page 7</p>	<p>1 the focus of tonight's meeting is really not on the</p> <p>2 merits of the project, but rather the impacts of the --</p> <p>3 of the project's environment and the adequacy of the</p> <p>4 document.</p> <p>5 So as we mentioned, the EIR team consists of</p> <p>6 the City of Menlo Park as a lead agency, meaning they</p> <p>7 have primary responsibility for carrying out the project.</p> <p>8 ICF is the lead environment at consultant, and as we</p> <p>9 mentioned, W-Tran is the transportation consultant.</p> <p>10 The project is a six -- on a 6.4 acre site in</p> <p>11 the City, currently contains seven buildings,</p> <p>12 approximately 22,000 square feet fronting on Derry Lane,</p> <p>13 Oak Grove and El Camino Real.</p> <p>14 The project site is within the El Camino Real</p> <p>15 Downtown Specific Plan area, and as everyone knows, the</p> <p>16 EIR for the Specific Plan was certified in 2012.</p> <p>17 In addition, portions of the site were analyzed</p> <p>18 under previous CEQA documents. The Derry Lane Mixed Use</p> <p>19 Project EIR was certified in 2006, but the approvals for</p> <p>20 that are no longer valid.</p> <p>21 The 1300 El Camino Real/Sand Hill Project EIR</p> <p>22 was certified in 2012, but because this project is</p> <p>23 substantially different from what was evaluated in that</p> <p>24 EIR, the CEQA analysis now evaluates the whole of the</p> <p>25 project and does not rely on any previous approvals.</p> <p style="text-align: right;">Page 9</p>

<p>1 The project sponsor Greenheart Land Company is 2 proposing to redevelop the project site with a mixed use 3 development. It would demolish the existing structures 4 on the site and develop approximately 420,000 square feet 5 of mixed uses.</p> <p>6 In total, the project would include three mixed 7 use buildings four stories in height, a surface parking 8 lot, underground parking, onsite linkages, landscaping 9 and a public park.</p> <p>10 The uses of the project site would consist of 11 approximately 200,000 feet of non-medical office space in 12 two buildings, 200,000 square feet of residential space 13 up to 202 units in one building, and up to 30,000 square 14 feet of community serving space throughout the project 15 site.</p> <p>16 Also, there are 1,000 parking spaces proposed, 17 both in the parking garage and the surface parking lot.</p> <p>18 As I said, the project will remain within the 19 Specific Plan Area. The project development parameters 20 are consistent with the development anticipated in the 21 Specific Plan.</p> <p>22 So the CEQA analysis for this project 23 demonstrates consistency with SB 226, which is CEQA's 24 steamlining for the whole project.</p> <p>25 SB 226 was developed by the legislature to</p> <p style="text-align: right;">Page 10</p>	<p>1 following approval, a Notice of Determination filed 2 finishing the CEQA process.</p> <p>3 An Infill -- Infill Environmental Checklist was 4 prepared for the project pursuant to SB 226. It was 5 released along with the NOP in July -- in July 2014 with 6 the Specific Plan EIR.</p> <p>7 The checklist also applies to mitigation 8 measures and uniformly applicable development policies 9 for the Specific Plan.</p> <p>10 To determine that the project would have the 11 effect of either, one, not been analyzing the Specific 12 Plan EIR; or two, a more significant than described in 13 the prior EIR.</p> <p>14 Since there are impacts that could be 15 significant, a new Infill EIR is required.</p> <p>16 The Draft EIR comments mentioned were 17 identifying physical impacts on the environment using the 18 analysis conducted by the traffic EIR team.</p> <p>19 The EIR is also used to inform the project 20 prior to approval, identified direct, indirect and 21 cumulative impacts, recommend ways to reduce impacts and 22 alternatives to less than identified physical impacts.</p> <p>23 So as shown here, the Draft EIR analyzed 24 transportation, construction, air quality, hazardous 25 materials and traffic lanes.</p> <p style="text-align: right;">Page 12</p>
<p>1 eliminate repetitive analysis of the effects of a project 2 where -- where they were previously analyzed in a 3 programmatic level in the EIR.</p> <p>4 SB 226 was applicable to the project because 5 the project proximity to the Caltrain station, but it's 6 not necessarily applicable to all projects within the 7 Specific Plan area.</p> <p>8 Other ways the projects meets the threshold of 9 SB 226 is the inclusion of renewable energy. It's in a 10 low travel vehicle area and also consistent with Plan Bay 11 Area.</p> <p>12 So the slide shows an overview of the CEQA -- 13 of the general steps involved with the CEQA project. The 14 overview was released July 2014.</p> <p>15 Following the close of the NOP comment period, 16 we prepared a Draft Infill EIR. It was released last 17 month on February 18th, and as Thomas mentioned the 18 comment period closes on April 4th.</p> <p>19 A Final EIR will then be prepared that will 20 address all the comments we receive during the Draft EIR 21 review period.</p> <p>22 A certification meeting -- a certification 23 hearing will be -- for the Final EIR will be held for 24 Planning Commission and City Council, and then after the 25 EIR certifies the project, it can be approved, and</p> <p style="text-align: right;">Page 11</p>	<p>1 In addition, EIRs are required to describe a 2 reasonable range of alternatives to a project or the 3 location of a project.</p> <p>4 SB 226 does have some relief to -- to do a 5 full-blown alternative analysis, and it relieves one 6 from having to do an analysis -- an alternative analysis 7 based on location, building densities or reduced 8 intensities.</p> <p>9 In this case, due to the unique feature of the 10 site, the City elected to perform a full analysis. That 11 included a -- a no project alternative, which is existing 12 parcels remaining as is.</p> <p>13 A base level -- and this rolls right off the 14 tongue. A base level maximum alt -- alternative, which 15 would reduce office square footage by 35,000 square feet, 16 reduce residential square footage by 62,000 square feet 17 and communities serving uses by 15,000 square feet.</p> <p>18 The second full alternative was a base level 19 maximum residential alternative which reduced office 20 square footage by 1,000 -- a hundred thousand square 21 feet, increased residential by 4,000 square feet and 22 reduced community serving by 16,000 square feet.</p> <p>23 The Draft EIR identifies and classifies 24 environmental impacts as significant, less than 25 significant or no impact.</p> <p style="text-align: right;">Page 13</p>

<p>1 For each impact identified as significant, the 2 EIR -- the initial EIR provides mitigation measures to 3 reduce, eliminate or avoid a number of impacts. 4 If mitigation measures would successfully 5 reduce the impact to less than significant level, it's 6 stated in the Infill EIR. 7 However, if mitigation would not reduce to a 8 less than significant level, then the EIR classifies it's 9 less than significant and unavoidable. 10 Mitigation measures would product the following 11 effects of less than significant impacts on bicycle and 12 pedestrian facilities, exposure of sensitive receptors to 13 adverse health risks, routine hazardous material use and 14 accidental release of hazardous materials. 15 The Draft Infill EIR identifies impacts that 16 will remain significant, unavoidable even after 17 implementation of proposed mitigation measures. 18 As a result, the City will need to determine 19 whether to approve the project as approved, and if so, 20 provide the rationale for approval in a Statement of 21 Overriding Considerations. 22 Significant unavoidable impact relate -- of the 23 project were identified related to traffic, and Mark 24 Spencer will talk a little bit more about those. 25 MR. SPENCER: Good evening. As Erin</p> <p style="text-align: right;">Page 14</p>	<p>1 study intersection such as Facebook or projects on 2 Commonwealth or wherever they might be throughout the 3 area, and then also a cumulative 2040 analysis that 4 includes area-wide buildout. 5 That's buildout of the Downtown Specific Plan 6 as well as other projects that are in the pipeline, but 7 may not be approved or even analyzed yet, but are in a 8 regional forecast model. 9 The project as proposed would result in a net 10 increase of about 3,700 trips per day, including 384 in 11 the morning and about 400 in the afternoon. 12 That does take into consideration the project's 13 location near transit. Also it subtracts the existing 14 uses on the site that would no longer be generating 15 traffic, so those would come off and get credited, in 16 essence, and then you build up to new trips based on 17 what's being proposed as part of this project that Erin 18 described. 19 In addition, we also took a look as described 20 in the documentation impacts related to bicycle activity. 21 That's also -- that's not only bike facilities, but also 22 bicyclists themselves, as well as pedestrian facilities 23 and pedestrians, transit. 24 There's nearby railroad crossings. There's 25 three nearby at-grade crossings that we took a look at.</p> <p style="text-align: right;">Page 16</p>
<p>1 mentioned, my name is Mark Spencer. I'm a principal 2 with -- is this on? I should try that again. I'll try 3 that again. Thank you. 4 Again, my name is Mark Spencer. I'm a 5 principal of W-Trans, and we are responsible under the 6 City's direction and ICF to prepare a transportation 7 analysis for the environmental document. 8 I want to briefly go over what's covered in 9 this particular transportation analysis, as Thomas 10 mentioned, the full Transportation Impact Analysis that 11 was conducted for this specific project, and then I'll 12 talk a little bit about what the findings were from that. 13 So to begin with, working with it out with City 14 Staff, there was a scope of work that covered 15 twenty-seven intersections; not all of them just in the 16 immediate vicinity, but actually on key corridors around 17 the City. 18 In addition, we looked at fourteen local 19 roadway segments, and then eighteen routes of regional 20 significance. Those would be freeways and highways, 21 things that the County or Caltrans may require. 22 We looked at two analysis horizon years, A 23 near-term 2020 condition. That included approved 24 projects within the vicinity of the Station 1300 Project. 25 But also other projects that would affect the</p> <p style="text-align: right;">Page 15</p>	<p>1 Traffic signal warnings for unsignalized locations, 2 which -- which locations may warrant a signal in the 3 future, as well as we took a look at the parking -- not 4 only parking requirements, but the applicant's proposed 5 shared parking model and how that would work onsite, 6 sharing parking between retail and residential uses, for 7 example, so you can better utilize the parking resources. 8 The next slide we see an overview of the -- 9 the -- the topics, okay, and this sort of gives an 10 organization of what's in the EIR itself. 11 The intersections both to the near-term and the 12 longer term are covered under Transportation Impacts 1 13 and 4. So 1 would be for the near-term, 2020. 14 Transportation Impact 4 would be for the longer term 15 cumulative. 16 Correspondingly for local roadway segments, 17 that would be Transportation Impacts 2 and 5. The 18 regional roadways, transportation Impacts 3 and 6, and 19 then the railway grade crossings. That would be 20 Transportation Impact 10. 21 You don't see Impact 7, 8 and 9 listed here. 22 That would be bicycles, pedestrians, transit. Those can 23 be mitigated to a less than significant level. So we 24 wanted to highlight these particular topics because they 25 stood out a little more than the other ones.</p> <p style="text-align: right;">Page 17</p>

<p>1 For example, on intersection impacts, of the  2 twenty-seven intersections that we looked at, of those in  3 the near-term, four of those would be significantly  4 impacted, which I think unavoidably impacted, whereas in  5 the longer term, 2040, some twenty-four years from today,  6 you would be looking at the eleven of the twenty-seven  7 intersections. That would be significantly unavoidably  8 impacted.</p> <p>9 Of those, there are recommended partial  10 mitigation measures pretty much for every one of those  11 intersections.</p> <p>12 Whether that's a Transportation Demand  13 Management Program to lessen the effects, or it's a  14 contribution to the City's traffic impact fee or it's a  15 other sorts of adjustments that might be made  16 geometrically, but these are -- they could contribute to  17 lessening the effects of the increased traffic, but it  18 would not lessen the effects to the extent we could say  19 the impact to fully mitigated to a level where it's  20 operating back in an acceptable condition or less than  21 significant level.</p> <p>22 However, that doesn't mean they're not ignored  23 and that they're addressed in some form.</p> <p>24 With respect to local roadways, these are  25 particularly arterial roadways in local streets within</p> <p style="text-align: right;">Page 18</p>	<p>1 project site.</p> <p>2 In each case, in essence, the idea is if you  3 add traffic, no matter how much traffic you add. If you  4 add traffic in a sense, you're going to impact that  5 location.</p> <p>6 It is -- the easiest one to look at is black  7 and white, so it's a yes or no question. So there are  8 things about, you know, looking at a keep clear area and  9 potentially looking at like the turn restrictions that we  10 have here on Alma.</p> <p>11 But in essence, if you add traffic to a railway  12 grade crossing, you would wind up resulting in an impact  13 there. So just an acknowledgement of that.</p> <p>14 The EIR is a disclosure document. We want to  15 disclose everything that would potentially happen as a  16 result of the project.</p> <p>17 That actually is the conclusion of my summary,  18 a brief summary of the transportation analysis, but  19 during the Study Session, if there are questions or if  20 there are questions now, then we can talk about specific  21 locations and things in more detail. I'd be happy to  22 address those.</p> <p>23 So with that, I think we have a concluding  24 slide.</p> <p>25 MS. EFNER: Thanks, Mark.</p> <p style="text-align: right;">Page 20</p>
<p>1 Menlo Park, which having gone through this several times  2 on other EIRs and traffic studies here in the City, Menlo  3 Park does have very stringent standards because we want  4 to protect neighborhoods.</p> <p>5 We want to make sure to take a look at how much  6 traffic's being added on particular streets and what the  7 effect of that may be.</p> <p>8 With this particular project, we'd be looking  9 at five of fourteen local roadway segments that would be  10 significant and unavoidably impacted in the short-term,  11 and in the longer term, six of those roadway segments.</p> <p>12 With respect to the regional routes, any of  13 those in the near-term and the cumulative condition, four  14 of the eighteen routes or actually segments, whether  15 those are on 101 or on El Camino, on 280, on 84, We get  16 kind of a scale really the way this is being presented at  17 this point.</p> <p>18 With respect to railway grade crossings, all of  19 us are familiar with the one right here of course on  20 Ravenswood, and the City's addressed that very recently  21 in the last six, seven months with the turn restrictions  22 and putting in barriers, and we do talk about that as  23 part of the -- the documentation.</p> <p>24 But there's a -- two closer railway grade  25 crossings that we have to take a look at closer to the</p> <p style="text-align: right;">Page 19</p>	<p>1 Just to reiterate what Thomas said earlier,  2 comments can -- in the Draft EIR can be submitted via  3 e-mail, letter, fax to Thomas. You can speak tonight.  4 All comments received tonight will be considered and  5 responded to in the Final EIR, and as mentioned, comments  6 must be received by April 4th.</p> <p>7 So the next step, compiling the responses to  8 comments document. We consider and respond to each  9 comment that's received on the EIR. Comments, you know,  10 with a -- with a common theme, several commenters may  11 be -- might be responded to in one master response.</p> <p>12 Changes to the Draft EIR will be indicated and  13 strike-through underlined and ultimately the responses to  14 comments documents in the Draft EIR will constitute to  15 the Final EIR.</p> <p>16 And that concludes our presentation.</p> <p>17 CHAIR ONKEN: Thank you very much.</p> <p>18 Thomas.</p> <p>19 MR. ROGERS: Thank you, and that segues into  20 the comments that we've received so far. So there were  21 two items of correspondence that were attached to the  22 staff report. One anonymous.</p> <p>23 There were also some last minute -- either  24 today or over the weekend. One is Commissioner Kadvan's  25 question about the -- the high school site which we can</p> <p style="text-align: right;">Page 21</p>

<p>1 talk about.</p> <p>2 I believe it's a reflection of the fact that</p> <p>3 there's actually two high school projects. One which was</p> <p>4 known when the NOP got going, which was in May, the</p> <p>5 Menlo-Atherton school expansion.</p> <p>6 The other which I don't believe was known when</p> <p>7 the NOP got going in 2014 was the new magnet or</p> <p>8 specialized high school over on Jefferson Drive.</p> <p>9 So I think that's a clarification there, but we</p> <p>10 will certainly take as a comment and clarify it either</p> <p>11 way in the EIR.</p> <p>12 The other e-mails, there was one that arrived</p> <p>13 on Sunday from former Councilmember Steve Schmidt that's</p> <p>14 included and distributed to the Commission.</p> <p>15 Another one arrived from Mitch Slomiak earlier</p> <p>16 today, and then the last item that's been distributed to</p> <p>17 the Commission as well as made available from the public</p> <p>18 is a set of slides that Commissioner Kadvanly prepared</p> <p>19 during the Specific Plan EIR review process.</p> <p>20 So Commissioner Kadvanly asked us to make it</p> <p>21 available. It wasn't something that was particularly</p> <p>22 pointed at, but wanted to be potentially referenced</p> <p>23 during this discussion.</p> <p>24 So staff based on previous projects recommends</p> <p>25 that the Commission open it up for public comments at</p> <p style="text-align: right;">Page 22</p>	<p>1 sort this out.</p> <p>2 So my view -- you know, I think we'd all love</p> <p>3 there to be a simple answer to a complex problem.</p> <p>4 We all know that we have a traffic and</p> <p>5 transportation issue in Menlo Park, but it's a complex</p> <p>6 problem and we -- even if we were to, say -- were to pull</p> <p>7 up the drawbridge and not approve any more development in</p> <p>8 Menlo Park, there's a lot of building going on in Redwood</p> <p>9 City, Stanford, Palo Alto.</p> <p>10 And El Camino at rush hour, and I -- I live in</p> <p>11 Menlo Park, have lived in Menlo Park for twenty-seven</p> <p>12 years. El Camino in rush hour is gridlocked. It just</p> <p>13 is.</p> <p>14 And whether this -- whether this project is</p> <p>15 approved or not, I don't think it's going to have a huge</p> <p>16 impact on that.</p> <p>17 We need to -- actually, it concerns me that</p> <p>18 there's so much emphasis being placed on development</p> <p>19 projects when people are talking about traffic.</p> <p>20 I'd love to see all the energy and creativity</p> <p>21 and powerful thought-provoking ideas that this community</p> <p>22 has to address traffic. If we want to talk about</p> <p>23 traffic, let's talk about traffic.</p> <p>24 Caltrain and buses and whatever the solution</p> <p>25 is, it's not -- it's not -- you know, it's not something</p> <p style="text-align: right;">Page 24</p>
<p>1 this point, close the public comment period and then</p> <p>2 Commission can ask us questions, with us meaning staff,</p> <p>3 consultants as well as other assisting staff members as</p> <p>4 well as -- and then go into Commission comments.</p> <p>5 Sometimes those two items get blurred a little</p> <p>6 bit. We'll -- if they can be cleanly divided, that's</p> <p>7 great. If not, we'll do our best to figure out what's</p> <p>8 comment versus a question.</p> <p>9 And then formally close the public hearing and</p> <p>10 move on to the Study Session.</p> <p>11 With that, I'll kick it back over to the Chair,</p> <p>12 and if you have any procedural questions, I'm happy to</p> <p>13 take a crack at that. At this point otherwise, we</p> <p>14 recommend opening up for public comment.</p> <p>15 CHAIR ONKEN: Well, that's exactly what we'll</p> <p>16 do. I have one -- one card regarding the EIR. Obviously</p> <p>17 there are more coming, but if you'd like to speak to the</p> <p>18 EIR.</p> <p>19 This is your opportunity, and I have three</p> <p>20 cards. The very first one is from Sam Wright, if you can</p> <p>21 come up.</p> <p>22 MR. WRIGHT Mr. Chairman and members of the</p> <p>23 committee, thank you. I'm not sure if actually my</p> <p>24 comment would necessarily be addressed to the EIR or the</p> <p>25 Study Session or both, but I think Thomas is going to</p> <p style="text-align: right;">Page 23</p>	<p>1 that I can figure out, but I think it's time to pull it</p> <p>2 together.</p> <p>3 I think it would be a mistake to say that we</p> <p>4 should disapprove a particular project, especially one</p> <p>5 like the Greenheart project, which really is a</p> <p>6 transportation-oriented development that we've all been</p> <p>7 pushing for.</p> <p>8 As we've discussed alleviating traffic, this is</p> <p>9 the sort of project that we have championed.</p> <p>10 So I'd like to see our attention turn to</p> <p>11 traffic and come up with resolutions for the traffic</p> <p>12 problems that we all face, and I don't think the</p> <p>13 resolution is just to say no to a project.</p> <p>14 Thank you.</p> <p>15 CHAIR ONKEN: Thank you.</p> <p>16 The next card I have is from Skip Hilton.</p> <p>17 MR. HILTON: Thank you, Commissioners.</p> <p>18 My name is Skip Hilton. I live at 127 Muir Way</p> <p>19 in Menlo Park. And I've lived in Menlo Park now for</p> <p>20 about twenty-three years.</p> <p>21 I -- I want to speak in favor of the project.</p> <p>22 I think that it's interesting. This project is among the</p> <p>23 last that's coming through to the various last obsolete</p> <p>24 version of CEQA Act, and even though currently EIR state</p> <p>25 that a lot of these traffic -- traffic impacts, while</p> <p style="text-align: right;">Page 25</p>

<p>1 significant, and unavoidable, consequences under the new 2 rule that CEQA adopts the share which favored 3 acknowledging transportation. It's like this one cited, 4 it couldn't do so at a less than significant in many 5 cases.</p> <p>6 I also think that the developer's doing a 7 number of very smart things to reduce traffic, including 8 providing free Caltrain Go Passes for all residents and 9 office workers.</p> <p>10 They'll Zip Car available onsite, and for 11 office workers that want to run errands during the day 12 and for residents have fewer cars per household.</p> <p>13 The project also includes secured enclosed bike 14 storage for residents and workers, showers and changing 15 rooms for employees who walk or bike to walk.</p> <p>16 The proposal, as you know, includes public 17 benefits of 2.1 million with the Downtown Amenity Fund, 18 and also other intrinsic public benefits within the 19 project; not just the pocket park, but the whole plaza 20 area valued at about 3.3 million dollars.</p> <p>21 And then the underground parking which will 22 create and allow that plaza to be -- be built, which is 23 the 26 million dollar expenditure.</p> <p>24 So the other thing is the Garwood Drive 25 extension I think will have a major impact, and not only</p> <p style="text-align: right;">Page 26</p>	<p>1 this project is moving in the right direction for Menlo 2 Park, and anything that's built on an acre lot is going 3 to create more traffic. We just want to make sure to do 4 it as less as possible and create a vibrant downtown with 5 residents, shoppers and office workers that are all come 6 together.</p> <p>7 Thank you.</p> <p>8 CHAIR ONKEN: Thank you.</p> <p>9 The next card I have is Clem Molony. Following 10 that, Patti Fry.</p> <p>11 MR. ROGERS: Through the chair, I did give the 12 first comment to a Doug Scott.</p> <p>13 Is he out there somewhere? The order doesn't 14 necessarily matter, so</p> <p>15 CHAIR ONKEN: I thought that was the study 16 portion.</p> <p>17 MR. ROGERS: Yeah. It wasn't exact -- it 18 wasn't specified.</p> <p>19 MR. SCOTT: Do you want to hear from me first 20 or him? Let him speak.</p> <p>21 Go ahead.</p> <p>22 CHAIR ONKEN: All right.</p> <p>23 MR. MOLONY: Good evening. My name is Clem 24 Molony, forty-year Willows homeowner and I have 25 experience evaluating EIRs. I was in environmental</p> <p style="text-align: right;">Page 28</p>
<p>1 for cars, but bikes and -- and all other forms of 2 transportation to the project.</p> <p>3 And then the bike path then on Garwood and Oak 4 Grove will help us solve the problem we've had with -- 5 with bike access along El Camino as well as the across El 6 Camino.</p> <p>7 So I would encourage you to look forward. This 8 is exactly what the Specific Plan wanted -- intended to 9 bring forward.</p> <p>10 We're now having projects that are coming 11 forward, and while this project is mixed use, as we would 12 like in this transit-rich area, it actually has more 13 housing per square foot than office.</p> <p>14 So I know there's proponents of more housing 15 and opponents of this project. It might be kind of 16 interesting that some of the opponents who were behind 17 Measure M to change the Specific Plan are now saying that 18 this project doesn't, you know, meet the needs of the 19 Specific Plan. We should pay attention to the Specific 20 Plan.</p> <p>21 In fact, it does, and it is exactly what we 22 wanted and give our public at some point.</p> <p>23 It doesn't mean that there can't be 24 improvements to it. I'd like you to think about those 25 and listen to public comment, but in general, I think</p> <p style="text-align: right;">Page 27</p>	<p>1 manager in Silicon Valley for thirty years and had to 2 slog through a number of them.</p> <p>3 Some comments tonight on the current process.</p> <p>4 The transportation chapter of the EIR and the public, 5 benefit.</p> <p>6 First, thank you to you and the City Staff for 7 the thorough review of this big project proposal and 8 other value to the City.</p> <p>9 This project level evaluation flows directly 10 from the Downtown Specific Plan's program of the EIR and 11 the carefully negotiated incentive program in that plan 12 to fund public benefits in our downtown.</p> <p>13 Second comment is I have reviewed the 14 transportation section of the EIR and I will be 15 submitting written comments.</p> <p>16 The chapter is really complex, so tonight I'll 17 focus just on a few comments on public benefit.</p> <p>18 As I understand it, the public benefits bonus 19 allows a close to thirty percent increase in density in 20 exchange for investment in public space, more affordable 21 housing, public parks, et cetera and payments into the 22 new amenity fund and to public entities.</p> <p>23 And that's what Station 1300 does. The 24 Greenheart written document public benefit proposal and 25 its exhibits I felt was very clear explanation of all of</p> <p style="text-align: right;">Page 29</p>

<p>1 those investments.</p> <p>2 In conclusion, looking at Station 1300, I think</p> <p>3 it's -- as -- as an environmental person, I look for</p> <p>4 transit-oriented development, and if it meets a good</p> <p>5 standard, then I support it.</p> <p>6 I see the two hundred apartments, the two</p> <p>7 medium sized office buildings, retail, a huge investment</p> <p>8 in under -- underground parking in order to achieve that</p> <p>9 very large open space percentage, almost a half.</p> <p>10 And when I look at this one, I see a project</p> <p>11 that's balanced, it's functional for the City, it's</p> <p>12 beautiful, it fits in this neighborhood where it is and</p> <p>13 it will bring positive improvements to our downtown, to</p> <p>14 El Camino, and in addition to the public benefits to our</p> <p>15 City.</p> <p>16 Thank you.</p> <p>17 CHAIR ONKEN: Thank you.</p> <p>18 And we remind the public that we're talking</p> <p>19 about the EIR at this point, and we will have an</p> <p>20 opportunity to again begin talking about the project as a</p> <p>21 whole during the Study Session, but I can -- Seth Scott,</p> <p>22 would you like to come up?</p> <p>23 MR. SCOTT: My name is Doug Scott. I'm a 37-</p> <p>24 year resident of Menlo Park. I've the displeasure of</p> <p>25 trying to travel from Menlo Park all the way down to</p> <p style="text-align: right;">Page 30</p>	<p>1 degree, and I would hope that's not overlooked in this</p> <p>2 process.</p> <p>3 CHAIR ONKEN: Thank you very much. Patti Fry.</p> <p>4 MS. FRY: Good evening. Since I first became</p> <p>5 a Planning Commissioner in 2000, the year 2000, I've been</p> <p>6 looking at many, many EIRs, and this is the first one</p> <p>7 where I've not been able to understand what the project</p> <p>8 is, and I am kind of a data wonky person, but I think as</p> <p>9 any of us look at both the impact of a project and the</p> <p>10 benefits of a project, we need to understand what it</p> <p>11 really is.</p> <p>12 And CEQA requires to us do that. It provides</p> <p>13 the opportunity to identify alternatives, and we should</p> <p>14 look at the alternatives, as well.</p> <p>15 And sometimes the alternatives satisfy a lot of</p> <p>16 the goals of both the community and the applicant and</p> <p>17 have fewer impacts, and those are the kinds of things</p> <p>18 that this process helps us understand.</p> <p>19 So I'm very troubled by this document because</p> <p>20 it has ranges, it has up to, but it doesn't say what it</p> <p>21 is.</p> <p>22 There have been other projects where it has</p> <p>23 variants, but it identifies what the project was. This</p> <p>24 one doesn't, and when I look at the applicant's letter of</p> <p>25 January this year, he identifies what he saw the project</p> <p style="text-align: right;">Page 32</p>
<p>1 Sunnyvale in various hours and also every two weeks, I</p> <p>2 have to go to traffic all the way up to San Mateo.</p> <p>3 It's my experience that most of this traffic is</p> <p>4 just going through those hours particularly.</p> <p>5 As I went particularly south, you look at the</p> <p>6 open lots, and most of them have cranes on them, which</p> <p>7 tell me that the traffic can only increase to some</p> <p>8 unknown degree, but it's obviously going up.</p> <p>9 If you look at Redwood City and you see all the</p> <p>10 apartment houses that have been added there, I understand</p> <p>11 it's a 5,000, and I don't they're all occupied quite yet.</p> <p>12 So our traffic is really a regional issue as</p> <p>13 much I think much more than it is in Menlo Park.</p> <p>14 I talk to my neighbors about this, and many of</p> <p>15 them aren't here tonight, but they asked me to express</p> <p>16 their endorsement of this project and -- and their</p> <p>17 encouragement of the thoroughness in which the --</p> <p>18 Greenheart prepared their open house and availability of</p> <p>19 all the people to talk to the public.</p> <p>20 One issue that I'm not familiar with, but we</p> <p>21 talked about mitigating issues on traffic such as Zip</p> <p>22 cars that go past the residents and all that.</p> <p>23 What I can't put my arms around is traffic is</p> <p>24 heavier, and I would assume that usage will go up, so</p> <p>25 there's some sort of counter-balancing to some unknown</p> <p style="text-align: right;">Page 31</p>	<p>1 to be at both the bonus level and the base level, and</p> <p>2 those numbers don't match what's in the Environmental</p> <p>3 Impact Report.</p> <p>4 To give you an example, the benefit public case</p> <p>5 that is in that letter has 172 dwelling units, whereas</p> <p>6 the bonus level in the EI -- EIR has 202.</p> <p>7 I think that's significant. I think it's also</p> <p>8 significant that the non-office commercial building --</p> <p>9 commercial space is called community serving, where we</p> <p>10 know that there's a big difference in vibrancy, in</p> <p>11 traffic patterns, in times of day when the traffic comes</p> <p>12 and goes.</p> <p>13 If it's a cafe, a nightclub, if it were a bank,</p> <p>14 if it were a realtor office, those are very different,</p> <p>15 and all it says is that those are community serving.</p> <p>16 That isn't a phrase that's in the Specific</p> <p>17 Plan. Those are allowed uses, but this project needs to</p> <p>18 identify what they are.</p> <p>19 When there's an analysis of the financial</p> <p>20 impact, there are assumptions that say it's all retail,</p> <p>21 but there's no commitment in the letter. There's no</p> <p>22 commitment in, you know, the project that there's any</p> <p>23 retail. It says: "There will be a minimum of 10,700</p> <p>24 square feet."</p> <p>25 So I think it's easy to say what we think it</p> <p style="text-align: right;">Page 33</p>



<p>1 is, what we'd like it to be based on these ranges, but I 2 think if we ask everybody in this room what is it, I 3 think we'd come up with different answers, and CEQA 4 requires us to have the same answer about what it is so 5 that we can fairly identify the impacts and the benefits 6 of this.</p> <p>7 CHAIR ONKEN: Thank you. That's been three 8 minutes</p> <p>9 MS. FRY: I'm sorry. There's no timer.</p> <p>10 CHAIR ONKEN: I've got a timer up here. 11 Finish your point.</p> <p>12 MS. FRY: Yeah. I want to say this much 13 office pushes the jobs/housing imbalance that we already 14 have further away.</p> <p>15 I think the land use aspect of this is 16 important to this part of the Specific Plan is El Camino 17 Real Northeast R, R with a focus on residential, there is 18 some residential, but the focus is on residential, 19 especially at the bonus level.</p> <p>20 Thank you.</p> <p>21 CHAIR ONKEN: Thank you.</p> <p>22 The last card I have is from David Howard. If 23 anybody else would like to speak to the EIR, please fill 24 out a card and come up.</p> <p>25 MR. HOWARD: Hello. My name is David Howard.</p> <p style="text-align: right;">Page 34</p>	<p>1 City I think can be mitigated by a concise plan, and with 2 WiFi and such like that, I can't see that the cost is 3 going to be there.</p> <p>4 And this project that's coming is just one of 5 many that I can foresee on El Camino that's going to 6 massively impact the City.</p> <p>7 I think we need to start looking at 8 apportioning out some of the costs for this area.</p> <p>9 About fifteen years ago, I tried to rent space 10 from the Clockworks, which is right down at Menlo and 11 Santa Cruz, and one of his selling points is that 12 everyone has to stop right in front of his shop and sits 13 in traffic waiting and they look over and see their 14 business, and he says that's the best thing, you know, 15 that can happen for him.</p> <p>16 And that was his selling point was all the 17 traffic gridlock, and that was fifteen years ago and it 18 keeps getting worse every single year.</p> <p>19 And I'm just -- I'm -- I'm frustrated. I see 20 other projects that are coming in like Haven Avenue. You 21 have this massive project going in over on Haven in Menlo 22 Park.</p> <p>23 I don't see, at least myself, any mitigation of 24 the problems there with Haven site and all the traffic 25 that's generated there.</p> <p style="text-align: right;">Page 36</p>
<p>1 I'm a 53-year resident of Menlo Park, and I unfortunately 2 live downtown and have for many, many years.</p> <p>3 The reason why I say unfortunate is because 4 every time I decide that I'm going to come home, it is a 5 fight on Menlo, on Willow, on Marsh.</p> <p>6 Getting home, I end up taking a lot of side 7 streets because I know the City; I've lived here all my 8 life, and so I know how to quickly get around, but I 9 still get heartache going down residential streets that I 10 know I shouldn't be going down.</p> <p>11 Twenty-five years ago my mom and I came to the 12 Council and asked about metering lights on El Camino. 13 Twenty-five years ago, we were told it was way too 14 expensive, by the time we ran the wires, everything like 15 that.</p> <p>16 Nowadays with technology the way it is, I can't 17 see that we can't mitigate most of this traffic by 18 computers and timing signals and such like that.</p> <p>19 The lady that lost her life at the railroad 20 tracks a couple years ago -- I guess -- I forget now, but 21 I went there out there right after the accident, and I 22 think one of the contributing factors for her death was 23 the fact that the street lights were not timed to the 24 railroad tracks and the trains going through.</p> <p>25 This whole city, most of the impacts to the</p> <p style="text-align: right;">Page 35</p>	<p>1 I want to see downtown. I want to see a 2 concise plan for mitigating this.</p> <p>3 Thank you very much.</p> <p>4 CHAIR ONKEN: Thank you.</p> <p>5 And I don't have any other cards for the EIR, 6 so I will close the public comment, and bring it back up 7 here.</p> <p>8 So, you know, where people would like to start 9 traffic is to the forefront.</p> <p>10 I will -- I will like to start with a question 11 that I have regarding -- we were looking at traffic 12 impact, TRA-10 regarding railway crossings.</p> <p>13 One of the -- one of the things in my mind that 14 specifically happens with this project is the impact at 15 Oak Grove as we now have everyone coming out of Garwood 16 Way or people using Garwood Way to, you know, run their 17 kids to train stop to make the 7:50 to St. Francis or 18 something like that, and we -- to my mind, we potentially 19 have the same problem at Ravenswood junction at Oak 20 Grove, but exacerbated through -- through this.</p> <p>21 That said, you know, the importance to me of 22 this EIR is, you know -- is as much to instruct the City 23 and other agencies, Caltrans, et cetera as they start 24 looking at improvements that they need to make as to what 25 the EIR going forward.</p> <p style="text-align: right;">Page 37</p>

<p>1 So is it -- what -- what could we -- what could 2 we add in -- what could we add into the EIR to make sure 3 that the need for mitigation specifically at railway 4 crossings is loud and clear to -- that it's just not an 5 objective report to how bad it might be, but actually we 6 have instruction as to, you know, what to tell Caltrans 7 to do to that junction.</p> <p>8 MR. SPENCER: That's an interesting point. I 9 think also here in Menlo Park, we have a heightened focus 10 now on railroad grade crossings in light of incidents 11 that have happened.</p> <p>12 CHAIR ONKEN: Right.</p> <p>13 MR. SPENCER: I think that's real and I think 14 we all feel that.</p> <p>15 This is actually, at least the first of the 16 documents that I've worked on -- and I've worked on 17 several, not all, but I've worked on several here in 18 Menlo Park.</p> <p>19 This is the first one where we actually had a 20 real focus on railroad crossings.</p> <p>21 And more than just what we're looking at with 22 Ravenswood and that time of day, you know, restrictions, 23 but we do call out the City's or at least the applicant's 24 responsibility that they have to be responsible.</p> <p>25 It's actually pretty straightforward, and</p> <p style="text-align: right;">Page 38</p>	<p>1 outside of any one project.</p> <p>2 I think we called attention to it pretty well 3 in the document here in terms of what our responsibility 4 is, both as -- at least with respect to the project's 5 potential impacts.</p> <p>6 The issue of the -- what can be done in 7 addition to that is really a matter of I think City Staff 8 coordinating with the County and with JPB and with 9 Caltrain to call attention to here's what we're doing to 10 help on our side and what can you do on your side?</p> <p>11 There's a lot of change coming, by the way, on 12 the Caltrain corridor. Electrification of the tracks. 13 There's more grade separations that are still planned, 14 including here in -- in Menlo Park potentially at 15 Ravenswood. We've got a grade separation project.</p> <p>16 That would be a real physical change that's 17 going to really change how traffic works on Ravenswood 18 and El Camino and in the area right here all the way to 19 City Hall on Laurel should that project, you know, get 20 off the ground and get going or go underground and get 21 going, depending on which one you choose.</p> <p>22 That's a grade sep joke. We don't get to do 23 that much in our industry.</p> <p>24 And so I think the -- the EIR does call 25 attention to it, but I think you're right, that there's</p> <p style="text-align: right;">Page 40</p>
<p>1 it's -- it's a matter of, you know, making sure that keep 2 clear zones are painted and maintained or whatever, which 3 is -- you know, there's a little bit of financial 4 consideration that goes into that.</p> <p>5 With respect, though, to your question about 6 what happens -- how do we work with Caltrain to make sure 7 that they're -- they're aware, I'll answer it this way: 8 Caltrain and the County, JPB and other agencies get to be 9 a reviewing party to the EIR, and they -- to the extent 10 that they focus on this particular issue or this 11 particular project, I can't say. That's -- that's really 12 an agency call on their part.</p> <p>13 We have had projects up and down the Peninsula 14 where Caltrain has been commenting and saying, "What are 15 the likely queues that we're going to see?"</p> <p>16 That's how we did the analysis here. So we 17 started looking at the spillback? What's the likely 18 increase in queue? How often does that occur? What's 19 the frequency of gate down time?</p> <p>20 And then if the gate is down, you know, four 21 times an hour or six times an hour, we've got queues of 22 six or eight vehicles, you know, how much are we going to 23 add to that -- that mix with this particular project?</p> <p>24 The issue of the -- the railway safety and 25 timing and all of that is -- I think it's an issue</p> <p style="text-align: right;">Page 39</p>	<p>1 more cooperative matters that can happen outside of this 2 process, which goes to bigger issue and bigger safety 3 matter.</p> <p>4 CHAIR ONKEN: Okay. The grade separation 5 issue, I know people feel very passionate about it, but 6 it's to my a pipe dream or a culvert dream to carry --</p> <p>7 MR. SPENCER: Well done.</p> <p>8 CHAIR ONKEN: But I think what's important in 9 terms of this EIR is if -- that the worst that could 10 happen is the grade -- if the crossing is not addressed 11 properly, it doesn't really work out very well, and so a 12 big no left turn sign is posted at the end of Garwood 13 Way, and then all that traffic that's going from this 14 development ends up dumping right back on El Camino as 15 opposed to using Gar -- using Oak Grove, which it's 16 supposed to do.</p> <p>17 So -- Glenwood, that way, towards the bay.</p> <p>18 And -- and so really it really behooves the -- 19 joint effort from everybody to sort that intersection out 20 so it does work and -- and not just ignore it.</p> <p>21 That's what I want to say about the EIR, the 22 importance to get the language in there rather than just 23 doing a study of there it is, because it's going to be 24 used for instruction to most of the agencies, including 25 the City to --</p> <p style="text-align: right;">Page 41</p>

<p>1 MR. SPENCER: Yeah. I -- I think one other 2 point that -- we talked about it a little bit in the EIR 3 with the frequency, the occurrence and, you know, it's 4 kind of based on the current Caltrain schedule, how often 5 does it come by now. 6 It's very much a peak hour kind of, you know, 7 commute, so you don't see as many trains at 1:00, 2:00 in 8 the afternoon as you do at 5:00, 6:00 in the afternoon. 9 As that changes over time, I think it behooves 10 all of us also to -- okay. As we're seeing more trains 11 come on, which means you have more down time or gate down 12 time, then you have more traffic being stopped at various 13 times of the day, and more likely that's going to divert 14 into other routes. 15 In that sense, it's a zero sum game. Traffic 16 is going to sit there and wait, which is actually a safe 17 condition because you have the equipment and the lights 18 and the barriers, or it's going to start diverting for 19 new routes, and that's a tradeoff. 20 It's not a tradeoff that's a bad or good one. 21 It's just what it is. 22 CHAIR ONKEN: Thank you. 23 Commissioner Strehl. 24 COMMISSIONER STREHL: So my thinking was that 25 the EIR will inform staff so as the project develops -- I</p> <p style="text-align: right;">Page 42</p>	<p>1 facilitate the interpretation of this data; not just for 2 us, but for the community at large. 3 I mean, it's just -- you know, I just -- we 4 just have to do more, and whether it's staff that does 5 that or it's an add-on to the EIR, you know, it doesn't 6 matter, but, I mean, where -- there's this big gap, and 7 I'll just -- leaving Garwood aside -- I mean, for 8 example, one issue is like everybody talks about level of 9 service standards being too sensitive in Menlo Park, so 10 they trigger unacceptable, you know, unavoidable impacts 11 right away. 12 Well, then, what's the alternative to 13 interpreting the data? You can't just say well, 14 that's -- here's the data and we go to -- we go from D to 15 E or E to F or whatever and that -- but that's just -- 16 that's an artifact of this -- this trigger. 17 Well, then what? What are people supposed to 18 make of it? It's -- it's hugely confusing, and, you 19 know, really dysfunctional. 20 There's a lot of -- there's a lot of data here 21 that uses averages on waiting times, for example, and I'm 22 wondering -- you know, something -- if you're at the 23 front of the queue, your waiting time is zero. 24 If you're way in the back of a queue of cars, 25 it could be much longer than the average, and that might</p> <p style="text-align: right;">Page 44</p>
<p>1 mean, should the project be approved as it's developed, 2 then staff can look at -- at the developer, look at the 3 best way of directing traffic on and off Oak Grove and on 4 and off El Camino using the Garwood extension. 5 You know, you want to minimize the amount of 6 traffic that goes on El Camino, but you also don't want 7 to have cars stuck making a left-hand turn on Oak Grove 8 getting on to the railroad tracks. 9 And that's why the City is looking at the grade 10 separation at Oak Grove as well as Ravenswood, so it is 11 kind of a package that goes together, and we just have to 12 raise the money. 13 CHAIR ONKEN: Thank you. 14 Commissioner Kadvary. 15 COMMISSIONER KADVANY: Okay. Thank you. 16 I -- I totally agree with this comment on 17 Garwood in particular. I have a note here on my -- you 18 know, my copy, Garwood is a mess. We're going to like 19 zero to overcapacity on this street, you know. 20 I mean, so to me, it's wholly follow-up with 21 Commissioner Onken states. It's totally disingenuous for 22 us to say well, we have -- this is our technical analysis 23 and what's required by law, but in fact it becomes our 24 decision-making document. 25 So I think a bunch needs to be done to</p> <p style="text-align: right;">Page 43</p>	<p>1 be -- that might be good data to pull out and tell us 2 what's really happening as -- as congestion gets more and 3 more and more, and that's in these models and it can be 4 provided. 5 It's not required, but it can certainly help 6 people understand. 7 And I think more generally -- I mean, there's 8 simple things simply like this -- this is a great 9 graphic. I'm just holding up the street -- you know, the 10 street diagram that's used all over. 11 There could be a whole lot more of these with a 12 lot of the table data imposed on these so that people can 13 see right away oh, I see that's an arterial street and 14 that's a collector street. 15 If you try to -- you know, and I don't have to 16 move back and forth between the table and the map and so 17 forth. Comparative numbers, like I could have 2020 and 18 2040 numbers on the same ones to help people understand 19 in a standardized perceptually salient format such that I 20 can -- you know, it will take me less than many hours and 21 maybe even, you know, the general person. 22 And just -- you know, there is some stuff. 23 Thomas mentioned several years ago that I had done 24 something on the traffic analysis on intersections. So 25 I'll mention something -- here I'll mention a couple</p> <p style="text-align: right;">Page 45</p>

<p>1 other things first.</p> <p>2 Roadway capacity. That's another thing that</p> <p>3 should be put into a map form, and with those numbers,</p> <p>4 very, you know, boldly characterized because maybe we</p> <p>5 don't -- we don't have a standards that have to do with</p> <p>6 bumping up against a capacity, say 20,000 cars on a</p> <p>7 roadway.</p> <p>8 There's -- you could hit it and then nothing</p> <p>9 happens, but it's there. You know, that's a significant</p> <p>10 number.</p> <p>11 And so it would be helpful if that's</p> <p>12 highlighted and so you'd see where we're getting close on</p> <p>13 Middlefield or maybe Middlefield looks like it's going to</p> <p>14 go over. I don't remember, or Valparaiso, and people</p> <p>15 could -- people could see that.</p> <p>16 And the same for -- for roadways and I think</p> <p>17 one for intersections.</p> <p>18 Intersections are super hard to understand</p> <p>19 because -- well, you have cars coming in from different</p> <p>20 sides.</p> <p>21 What I did -- but you can learn things from</p> <p>22 them, and I think we need to kind of -- people need --</p> <p>23 people need a kind of narrative of the traffic in the</p> <p>24 community, and the data can be used to create that.</p> <p>25 So, for example, what I did -- this is like</p> <p style="text-align: right;">Page 46</p>	<p>1 the Transportation Commission in here. One thing is if</p> <p>2 you want to understand what the difference between all</p> <p>3 the Specific Plan and without the Specific Plan in terms</p> <p>4 of traffic, it's this. It's very simple.</p> <p>5 It's the morning traffic in the future for --</p> <p>6 everything built out in the Specific Plan will be similar</p> <p>7 to the evening traffic now. That's pretty simple. At</p> <p>8 the intersections. It's summing up numbers. That gives</p> <p>9 you a picture.</p> <p>10 So that kind of thing, but we just have to find</p> <p>11 other entryways and bridge this EIR gap. So that's -- I</p> <p>12 do know that there was -- I don't think there's a</p> <p>13 definition of A through F in the main documents.</p> <p>14 You know, you guys have it in your brains</p> <p>15 forever, but I didn't -- I didn't see that one in</p> <p>16 particular.</p> <p>17 I'm not sure I saw queuing data, either, but</p> <p>18 maybe it's there somewhere. That would be useful.</p> <p>19 So that's -- that's my thinking pedagogical.</p> <p>20 We need to make that bridge. Because otherwise, you get</p> <p>21 people throwing out, you know, their own models or it's</p> <p>22 just -- it's just -- it's just really -- it's just really</p> <p>23 hard.</p> <p>24 I agree with what Patti Fry said about the</p> <p>25 definition of the project. That's confusing. 182 units</p> <p style="text-align: right;">Page 48</p>
<p>1 2011, so like five years ago now. I just summed up the</p> <p>2 numbers coming into an intersection, okay?</p> <p>3 So here's -- we have these. They're like pages</p> <p>4 and pages of these graphics which are fantastic which</p> <p>5 show the number of cars coming in and out of an</p> <p>6 inter -- coming into an intersection. They have to go</p> <p>7 out at all these -- at all the places we study.</p> <p>8 These are impossible to understand. You cannot</p> <p>9 understand these -- this level. There is a model. But I</p> <p>10 got the spread -- I got the data and I just summed these</p> <p>11 up, and it gives you an idea like well, how many cars are</p> <p>12 coming into an intersection?</p> <p>13 You don't know where they're going or where</p> <p>14 they're coming from, but you get an idea the intensity</p> <p>15 and you can compare those without the project and with</p> <p>16 the project.</p> <p>17 And maybe that's not -- maybe it's not useful.</p> <p>18 Maybe -- maybe it is, but the kind of thing that can help</p> <p>19 us get a handle on what traffic is like in -- in some way</p> <p>20 that relates to the knobs -- the knobs that we can</p> <p>21 control.</p> <p>22 So there's -- there's a lot there</p> <p>23 pedagogically, and I'll just say the things you can</p> <p>24 learn.</p> <p>25 Like one thing -- and I -- I presented this to</p> <p style="text-align: right;">Page 47</p>	<p>1 in one place, not 172. It's 182 in one place and 202 in</p> <p>2 another place.</p> <p>3 That so that's confusing, and this business of</p> <p>4 a retail versus community service also is -- is confusing</p> <p>5 to me.</p> <p>6 I do have off the -- off of traffic just some</p> <p>7 questions clarifying net zero. Erin, maybe you can</p> <p>8 answer that.</p> <p>9 The res -- residential is not -- is not going</p> <p>10 to be part of the net zero goal, is it going to come</p> <p>11 close?</p> <p>12 I didn't quite get that, or maybe that's not</p> <p>13 your -- covered by you guys. In the EIR, that's part of</p> <p>14 the benefits.</p> <p>15 MS. EFNER: I think that might be a question</p> <p>16 for you, Thomas.</p> <p>17 COMMISSIONER KADVANY: Maybe we'll get it</p> <p>18 later in the next segment. Maybe that's right place,</p> <p>19 too.</p> <p>20 MS. EFNER: I apologize. I don't have the</p> <p>21 answer to that.</p> <p>22 COMMISSIONER KADVANY: Okay. All right.</p> <p>23 Well, it is energy related. We'll come back -- back to</p> <p>24 it.</p> <p>25 Oh, here's something that I think we can repair</p> <p style="text-align: right;">Page 49</p>

<p>1 in the EIR.</p> <p>2 The alternatives analysis seems to be not</p> <p>3 tremendously in -- informative. I mean, there's a global</p> <p>4 comment about like well, you don't move the dial on the</p> <p>5 significant impacts.</p> <p>6 That's true, but then it's like you have -- you</p> <p>7 look, but there are a lot of trips -- trips -- there is</p> <p>8 trip reduction, and that's in a table there, so that's a</p> <p>9 situation where like okay. In terms of CEQA, no change,</p> <p>10 but in terms of physical impact, they're like seventeen</p> <p>11 percent less trips.</p> <p>12 And so there are fewer -- fewer cars out there,</p> <p>13 and so that may or may not be -- people may really not</p> <p>14 care about that, but they may not know how to interpret</p> <p>15 it properly, but a little bit more flesh on the</p> <p>16 alternatives analysis would definitely -- would</p> <p>17 definitely help.</p> <p>18 Do we -- was there anything -- just so I --</p> <p>19 this is my last question, simply about water conservation</p> <p>20 and water use.</p> <p>21 Where are we on that? Because that's kind of</p> <p>22 the top of mine these days for a project this size. How</p> <p>23 do they -- if we go into another drought condition, for</p> <p>24 example, what happens to this project?</p> <p>25 MS. EFNER: We didn't -- be -- because the</p> <p style="text-align: right;">Page 50</p>	<p>1 with?</p> <p>2 And -- and then someone relatedly, give me some</p> <p>3 sense of the -- of what the nature of the significant and</p> <p>4 unavoidable is in different -- sort of once you've</p> <p>5 reached significant and unavoidable.</p> <p>6 You know, there still could be gradations</p> <p>7 there, something really -- really unavoidable and</p> <p>8 significant versus just to reach that data point.</p> <p>9 MR. SPENCER: So this kind of goes to the --</p> <p>10 the last set of comments, as well, sort of a -- let's put</p> <p>11 it in perspective and put it in terms that, you know the</p> <p>12 average motorist is going to understand. What's that</p> <p>13 tipping point? What does it really mean?</p> <p>14 What I look for as a professional is patterns.</p> <p>15 What I want to look for is are we -- you know, if you</p> <p>16 have ten intersections that are significant and</p> <p>17 unavoidable because you've exceeded that threshold, are</p> <p>18 they all on El Camino, you know, all -- sort of lined up</p> <p>19 one after another after another, or are they in</p> <p>20 neighborhoods or are they -- are they on certain</p> <p>21 corridors?</p> <p>22 So to me has -- has relevance. I look at</p> <p>23 things spacially, because then I can say okay. You know</p> <p>24 what? I'm seeing that there's a pattern on El Camino or</p> <p>25 I'm seeing that there's a pattern on Ravenswood or on</p> <p style="text-align: right;">Page 52</p>
<p>1 project was, you know, within the Specific Plan</p> <p>2 parameters, this -- this EIR relies on the conclusions</p> <p>3 that were drawn in the Specific Plan.</p> <p>4 We didn't do any fresh water supply analysis</p> <p>5 for this project.</p> <p>6 COMMISSIONER KADVANY: Okay. Thanks. All</p> <p>7 right. Thank you very much.</p> <p>8 CHAIR ONKEN: Thank you.</p> <p>9 Commissioner Combs.</p> <p>10 COMMISSIONER COMBS: Yeah. a quick question.</p> <p>11 Thank you for the presentation.</p> <p>12 Indeed that the sort of significant and</p> <p>13 unavoidable impacts are concentrated with regards to</p> <p>14 traffic transportation issues.</p> <p>15 If you could sort of enlighten me, give me</p> <p>16 your expertise working on -- on these types of projects.</p> <p>17 Is -- is there a point at which the number of traffic-</p> <p>18 related unavoidable impacts, you know, become -- is there</p> <p>19 like a tipping point where something happens, or is it</p> <p>20 just, you know, based on whatever the community decides?</p> <p>21 In the EIR, there's all these unavoidable</p> <p>22 impacts, the projects improve.</p> <p>23 There's a lot. Intersections, but at what</p> <p>24 point does it -- does it become something in your</p> <p>25 professional understanding something to be concerned</p> <p style="text-align: right;">Page 51</p>	<p>1 Middlefield.</p> <p>2 This particular project, a good deal of them</p> <p>3 are on El Camino and Middlefield, because that's not</p> <p>4 unusual because those are your heavier arterials, and</p> <p>5 the -- when you look at the change over time, what</p> <p>6 happens between the near-term and the long-term?</p> <p>7 What tips, what changes during that, and is</p> <p>8 that really a project related matter or is that regional</p> <p>9 growth and everything around you is going to happen, you</p> <p>10 know, with or without the project.</p> <p>11 That's sort of my first level when I look at</p> <p>12 things.</p> <p>13 There's no magic number. There's not --</p> <p>14 there's nothing that says gee, when you're at - when you</p> <p>15 have ten intersections that are tipping over the point,</p> <p>16 that's -- that's where you have to raise the red flag,</p> <p>17 when you have fifteen or twenty.</p> <p>18 It depends on the -- every project's going to</p> <p>19 be different. They're all going to be unique, because</p> <p>20 you're -- you're specifying a certain study area of a</p> <p>21 project.</p> <p>22 So it's not really about the shear number. You</p> <p>23 know, if you look at -- we had -- we have similar type of</p> <p>24 results -- although different locations, some of them --</p> <p>25 when we looked at Facebook and their expansion or when we</p> <p style="text-align: right;">Page 53</p>

<p>1 looked at Commonwealth or, you know, going back to other 2 projects.</p> <p>3 And so we start to look at which ones keep 4 coming up over and over again.</p> <p>5 With the intersections that we have in this 6 particular project, some of them are not just tipping 7 over. We're -- we're close to the tipping point on so 8 many of them now that it doesn't take a lot to tip them 9 over.</p> <p>10 That's the reality of it. We're all feeling 11 it. Congestion is growing.</p> <p>12 When you start any one of these traffic 13 studies, you start with a baseline of where we are today, 14 and had we started this project -- a hypothetical.</p> <p>15 Had we started this in 2008 or 9 when we were 16 in the recession and traffic had gone down, then your 17 base numbers would be less. Artificially, perhaps, 18 because we look in time.</p> <p>19 Now we're on the rise again and we're all 20 feeling it because we're all driving it every day.</p> <p>21 Willow is growing seemingly by the minute, and, 22 you know, that's just part of the regional growth as well 23 as what's happening all around us.</p> <p>24 So there's no -- no simple answer.</p> <p>25 Unfortunately I can't give you this magic bullet here's</p> <p style="text-align: right;">Page 54</p>	<p>1 And so in traffic engineering, there's 2 definitely a mindset; not only, you know, here in San 3 Mateo County, but throughout the region that is sometimes 4 a bit of congestion actually can help overall safety and 5 encouragement of using other modes and get to a more sort 6 of normal condition.</p> <p>7 If we keep building our way out of congestion, 8 we're going to wind up extending those peak periods. So 9 your morning's not going to be a problem from 7:00 to 10 8:30 AM. It's going to be 6:00 to 10:00 AM.</p> <p>11 Your afternoon, we're already seeing what's 12 called peak spreading. It used to be 4:30 to 5:30, maybe 13 six o'clock.</p> <p>14 You try and go out there now at three o'clock 15 and we're getting it, and it's not just Menlo-Atherton 16 High School has a bunch of kids who are letting kids out 17 at that time.</p> <p>18 You know, Willow Road is jammed from, you know, 19 three o'clock to 7:30. That's a long extended -- that's 20 not just one particular thing that you can isolate. It's 21 not just Facebook. It's not just the high school.</p> <p>22 It's a combination of regional growth and the 23 fact that we keep trying to, you know, force more traffic 24 on to roadways, and we're not going to build our way out 25 of that.</p> <p style="text-align: right;">Page 56</p>
<p>1 where the tipping point is.</p> <p>2 But we do have a lot of intersections in Menlo 3 Park that are at sort of the level of D or level of 4 service E, and so it doesn't take a lot to send those 5 into an E or an F and an unacceptable condition.</p> <p>6 It is difficult, however, to bring them back to 7 an acceptable condition, because then you have to start 8 thing about well, what -- what does it take to do that?</p> <p>9 Maybe it's signal timing and something that's, 10 you know, using smart signals or whatever you want to 11 call it. Perhaps you can get there with that.</p> <p>12 A lot of folks say can we just add a turn lane 13 here or widen the road there? Sometimes physically you 14 can modify an intersection.</p> <p>15 Sometimes you can modify an intersection and -- 16 but it's not necessarily a desirable result.</p> <p>17 We don't want to keep building our way out of 18 congestion because you're -- you're just constantly 19 adding more capacity and encouraging more auto traffic on 20 the roadway system.</p> <p>21 So there's policy implications with that, too, 22 because at the same time, trying to encourage TOD 23 development like this one is where you want to encourage 24 bicycle activity and walking and use of Caltrain and use 25 of transit.</p> <p style="text-align: right;">Page 55</p>	<p>1 What I'm saying at the end of this is it comes 2 down to a policy decision as to how much does the City 3 want to take on in terms of physical improvement versus 4 other types of measures that try and get people out of 5 their vehicles.</p> <p>6 This particular project is very unique in that 7 it's well situated near Caltrain. We don't have a lot of 8 that in Menlo Park that we can hang our hat on.</p> <p>9 We don't have BART. We don't have bus rapid 10 transit. So we're really thinking of Caltrain as our 11 primary higher level trend. So you can concentrate here 12 and there in terms of transit-oriented development.</p> <p>13 The more opportunity that we can have -- and 14 remember the EIR's a worst case document. It's very 15 conservative.</p> <p>16 When we estimated trips, we did not go 17 overboard and say, "Hey, we give them a lot of credit 18 because they're so close to Caltrain." We were fairly 19 conservative in our approach.</p> <p>20 Similarly with what how we treated other 21 aspects. So it's kind of here's a worst case, a 22 conservative document.</p> <p>23 EIRs tend to read very negatively because of 24 that, and ultimately what happens is you probably get 25 less than that in reality, but we don't know that as a</p> <p style="text-align: right;">Page 57</p>

<p>1 forecast looking ten, fifteen, twenty years out there.  2 There's no easy answer to say here's the  3 tipping point, but I will tell you it's not hard to tip  4 things over because of where we are today, particularly  5 on our busiest corridors.  6 So we're going to see this any time we have a  7 project coming forward, this is a fairly typical thing  8 that we'll see.  9 CHAIR ONKEN: Thank you.  10 Commissioner Strehl.  11 COMMISSIONER STREHL: Hi. Thank you. So in  12 your analysis, I couldn't understand what Miss Fry was  13 saying about what the project description was because I  14 found it difficult throughout this document.  15 I pretty much know what this project is from  16 the EIR, and I couldn't find the differential in the  17 housing the way it was described.  18 But setting that aside, in your analysis --  19 what I hear you saying is if we did nothing, we're going  20 to have traffic problems on our streets in Menlo. It's  21 not going to take much for the intersections on Oak Grove  22 to go over the tipping point.  23 Is that what you're saying?  24 MR. SPENCER: In a general sense, that's  25 correct.</p> <p style="text-align: right;">Page 58</p>	<p>1 forward.  2 This project does offer quite a bit of  3 Transportation Demand Management and I think that's --  4 that's encouraging.  5 COMMISSIONER STREHL: I haven't really seen a  6 project of this size that offers this kind of amenity in  7 my experience here and elsewhere.  8 So thank you.  9 CHAIR ONKEN: Commissioner Ferrick.  10 COMMISSIONER FERRICK: Just for clarity,  11 because I heard Patti Fry's comments. There are some  12 different ranges that are listed in different parts.  13 So what did you study for what's called the  14 project, the 205, 205 and then the residential at 202  15 units?  16 MR. SPENCER: I'm going to refer to 2.3 on the  17 EIR on page 2-5. There's a range presented. Any time  18 you have a project and there's a range of up to so many  19 units or between X and Y, in transportation, in a traffic  20 analysis, we always take the upper end of that. Here's  21 the maximum envelope.  22 So the north office was 105. The south office  23 was 105, so that's a combination of 210,000 square feet  24 of office, and then residential and community serving,  25 this is 210,000 square feet.</p> <p style="text-align: right;">Page 60</p>
<p>1 COMMISSIONER STREHL: The other thing is in  2 your analysis, I think what I heard you say is that  3 you're taking a very conservative approach.  4 So all of the measures that are part of this  5 development that are being proposed through the TDM  6 program, so many people on bicycles, et cetera, et  7 cetera, et cetera, you -- am I hearing you that you don't  8 give a --  9 MR. SPENCER: Say it nicely.  10 COMMISSIONER STREHL: Give a big bump to what  11 altern -- how many people may get out of their cars and  12 use public transportation.  13 Is that what you're saying?  14 MR. SPENCER: That's what I'm saying is that I  15 believe in these measures strongly and I believe they all  16 help and they all contribute to lessening of traffic and  17 how much auto traffic is associated with the development.  18 But there's -- in some ways, our hands are tied  19 a little bit about the analysis methodology and the fact  20 that this is how we proceed in a CEQA environment.  21 It's not saying that that's necessarily a good  22 thing or a bad thing. I'm saying that it's just a fact.  23 COMMISSIONER STREHL: That's just the way it  24 goes.  25 MR. SPENCER: That -- that's they way it goes</p> <p style="text-align: right;">Page 59</p>	<p>1 Do you know how many units that is?  2 MS. EFNER: 202.  3 MR. SPENCER: So 202 units. So the total  4 maximum envelope 420,000 square feet of development with  5 202 units and 210,000 square feet of non-medical offices.  6 COMMISSIONER FERRICK: Thank you.  7 MS. EFNER: And also as noted on table -- in  8 table 2-4 on page 2-6. So, you know, there is a range,  9 but regardless of, you know, however the numbers sort of  10 shake out, the project would not exceed 420,000 square  11 feet.  12 And also as Mark just noted, the -- the total  13 that were evaluated in the transportation analysis which  14 do line up with table 2-3, each building does have a  15 certain community survey uses assigned to them.  16 So that 30,000 square feet of community  17 services goes to each one of those buildings, and we can  18 get the exact ratios.  19 COMMISSIONER FERRICK: It sounds like what's  20 called the project in the EIR is the max number that it  21 could be. If not somewhere in that range, the top  22 number.  23 MS. EFNER: That's right. The maximum number.  24 COMMISSIONER FERRICK: Thank you.  25 CHAIR ONKEN: Thank you.</p> <p style="text-align: right;">Page 61</p>



<p>1 Commissioner Kahle?</p> <p>2 COMMISSIONER KAHLE: Thank you.</p> <p>3 I have another traffic question. In one of the</p> <p>4 comments, the speaker talked about coordinating the</p> <p>5 signals. Timing was mentioned, as well.</p> <p>6 So what that really has, we were able to gather</p> <p>7 all the signals and put a percentage on it, but how much</p> <p>8 of a difference would that make overall?</p> <p>9 MR. SPENCER: What we've found, Menlo Park</p> <p>10 actually employs some of this technology already called</p> <p>11 adaptive traffic signals. Meaning it adapts to the</p> <p>12 traffic that's on the roadway; not a fixed time, a fixed</p> <p>13 cycle all the time.</p> <p>14 You can increase your capacity -- your capacity</p> <p>15 stays the same, but you can increase your throughput and</p> <p>16 your ability to flow traffic by about ten percent if</p> <p>17 your -- if you really do it well.</p> <p>18 But that really is dependent on what's</p> <p>19 happening from the side streets flowing in and you have</p> <p>20 traffic in a comes in surges.</p> <p>21 So traffic moves in a network, but unlike, say,</p> <p>22 data on the Internet or water through a pipe or</p> <p>23 electricity along electric lines, we don't get to control</p> <p>24 and tell people what route to take or how fast they</p> <p>25 should go.</p> <p style="text-align: right;">Page 62</p>	<p>1 through Menlo Park?</p> <p>2 Every city sort of has different visions that</p> <p>3 they want Menlo Park and what they want El Camino to be.</p> <p>4 And that's outside of this project. That's --</p> <p>5 that's how we deal with things on a regional and a higher</p> <p>6 level than just project by project. It's not all</p> <p>7 piecemeal.</p> <p>8 CHAIR ONKEN: Thank you.</p> <p>9 COMMISSIONER KAHLE: Thank you.</p> <p>10 CHAIR ONKEN: Thank you.</p> <p>11 Commissioner Ferrick.</p> <p>12 COMMISSIONER FERRICK: Oh, thank you. I just</p> <p>13 thought for the benefit of the public that probably</p> <p>14 aren't going to dive into the EIR, page 3.1-47, some of</p> <p>15 the levels of service of some of these intersections are</p> <p>16 very, very challenging already today and it doesn't take</p> <p>17 much to put them into even worse territory.</p> <p>18 I was looking and I'm trying to identify some.</p> <p>19 Could you -- I mean, in terms of number of</p> <p>20 seconds of delay, it looks to me like many of them get</p> <p>21 worse by less than a second or maybe a few seconds, but</p> <p>22 that does tip them into a different grade or --</p> <p>23 MR. SPENCER: Yes. That's absolutely correct.</p> <p>24 There's a couple that -- you see on this chart -- this is</p> <p>25 table 3.1-20 on page 3.1-47.</p> <p style="text-align: right;">Page 64</p>
<p>1 Everyone's moving and driving in their own</p> <p>2 manner, okay. So that's what causes a little bit of</p> <p>3 The -- you know, the backup and the change and the fact</p> <p>4 that it's not a steady flow state, much like other types</p> <p>5 of systems that move things through a network.</p> <p>6 So you can get some benefit through technology,</p> <p>7 but you're not going to -- you're going to get that much</p> <p>8 more throughput.</p> <p>9 I'd also like to point out that we discuss it a</p> <p>10 bit here in the document, but outside of this project --</p> <p>11 and, you know, the EIR talks specifically about what this</p> <p>12 project would potentially do in terms of its impacts,</p> <p>13 what would it result, what to do about those impacts.</p> <p>14 But outside of that, the City's undertaking</p> <p>15 other initiatives that -- you know, we mentioned briefly</p> <p>16 the grade separation project earlier, but, you know,</p> <p>17 there's an El Camino Corridor Study, for example, that</p> <p>18 looks at all El Camino throughout Menlo Park, the map and</p> <p>19 what fits into Palo Alto in terms of not just one</p> <p>20 particular project, but what -- what can we do</p> <p>21 system-wide, what should El Camino look like?</p> <p>22 Should we be able to accommodate more</p> <p>23 pedestrians and bicylists? Should we be able to have</p> <p>24 more traffic flow? And how can we use El Camino more</p> <p>25 efficiently or what should El Camino be as it moves</p> <p style="text-align: right;">Page 63</p>	<p>1 This is a cumulative condition. This is the</p> <p>2 2040 conditions that we're looking at looking at.</p> <p>3 So the left side of the table shows -- this is</p> <p>4 what it's projected to look like before we add this</p> <p>5 project.</p> <p>6 And you'll see several of these intersections</p> <p>7 that already projected to be in the D, E and F range, and</p> <p>8 they don't go up necessarily by a whole lot when you add</p> <p>9 the project at -- at a lot of these intersections.</p> <p>10 But there is a -- there's even a threshold</p> <p>11 criteria for that. When you're already in a level of</p> <p>12 service F range, you know, how much more can you possibly</p> <p>13 take on if you're already there?</p> <p>14 And so you look at the degree, the delta, the</p> <p>15 change of what it means from one level to another.</p> <p>16 Now I'll be honest. I'll tell you -- when you</p> <p>17 say geez, something's projected to be 122 seconds in the</p> <p>18 future, like at El Camino and Ravenswood and then it goes</p> <p>19 to 126 seconds. Gee, that's two minutes of average delay</p> <p>20 that someone might wait at that intersection, and as was</p> <p>21 correctly pointed out before, if you're in the front of</p> <p>22 the queue, you might clear in the first cycle, and if</p> <p>23 you're in the back of the queue, you might take that full</p> <p>24 two minutes.</p> <p>25 Or if you're in the left turn lane versus a</p> <p style="text-align: right;">Page 65</p>

<p>1 through lane, it might take you longer to cycle through 2 the left turn lane versus say the through. So the 3 average of that. 4 So the average from each person increases by 5 four seconds or each motorist. That's what's considered 6 significant, you know, when you're at four seconds or 7 more. 8 And is that perceptible to someone who's 9 driving, a difference of four seconds? One, two, three, 10 four. It's not a lot, but it's enough that they'll say 11 hey, you know what? We're starting to really -- when 12 that adds up times the number of cars that are on the 13 street, it gets to be -- you know, it starts to back up, 14 and then you get the queues and the congestion levels 15 that, you know, just make it -- the feel of it becomes 16 probably worse than the reality of it. 17 So there's perception versus what we see on 18 paper. 19 When we talk about trying to explain it to the 20 public and what does it really mean in practice to 21 someone who's just driving on the street, that's how you 22 would look at it. 23 It's -- you know, it's not really that you're 24 going to see a lot of change with or without the project. 25 What you're going to feel is that congestion keeps</p> <p style="text-align: right;">Page 66</p>	<p>1 contribution, and I think a lot of that downtown plan 2 was -- Specific Plan was very -- it was very well done. 3 We have to look at the Downtown Specific Plan 4 as also the land use change. You know, was this 5 considered one of the opportunity sites or was this 6 outside that zone and how was this treated in the 7 Downtown Specific Plan? 8 This was at the time I think -- I forget 9 whether it was -- 1300 Derry was actually included as one 10 of the foreseen projects and not as an opportunity site. 11 So we have to kind of rearrange the analysis to 12 fit in with the rest of the Specific Plan, but I think a 13 lot of this was disclosed in the Specific Plan, honestly. 14 CHAIR ONKEN: Yeah, so -- okay. I don't see 15 any other comments. So I would remind -- 16 COMMISSIONER STREHL: I was just going to ask 17 Thomas if you remember in the EIR for the Specific Plan, 18 the plan EIR, how about in comparison with the project of 19 EIR of traffic analysis? Do you recall if it's the same 20 or fewer trips or -- 21 MR. ROGERS: No. Unfortunately Commissioner 22 Kadwany asked -- actually asked me a similar question. I 23 wasn't able to -- to run the number. 24 So from a strict legal perspective, it doesn't 25 matter. This is a -- a fresh EIR that's looking at the</p> <p style="text-align: right;">Page 68</p>
<p>1 growing and creeping up on us. 2 And incrementally this project will add a 3 little bit to it, but you wouldn't necessarily notice the 4 difference with or without the project at that kind of 5 level, three or four seconds delay. 6 COMMISSIONER FERRICK: Thank you. 7 CHAIR ONKEN: Thank you. 8 One last question from me. 9 The how -- now that I'm looking at the EIR, how 10 different is the traffic study for this EIR from the 11 original Downtown Specific Plan, the scope of EIR at the 12 time? 13 Is this -- are the impacts significantly 14 different than that or is this all expected or what? 15 MR. SPENCER: You're asking me to put on my 16 memory hat. In the Downtown Specific Plan, as the 17 program level document, it doesn't include all of these 18 locations, all of these intersections and roadways. 19 Not all of those were studied in the downtown 20 plan, sort of at the higher program level. 21 I would say a good deal of this, however, was 22 disclosed in the Downtown Specific Plan, and that in 23 itself led to the fact that there's a separate traffic 24 impact fee for Downtown Specific Plan impacts, which this 25 project would have to contribute to in terms of financial</p> <p style="text-align: right;">Page 67</p>	<p>1 full impacts of this project over baseline conditions, 2 but -- 3 COMMISSIONER STREHL: So -- 4 MR. ROGERS: In terms of comparisons, that -- 5 that may be something we'll see if we can add as an 6 informational aspect of the Final EIR, but -- yeah. 7 This -- this EIR is providing we believe the 8 information needed to evaluate this project, but we do 9 understand that there's some bigger picture kind of 10 information context aspects that come into the community 11 discussion. 12 COMMISSIONER STREHL: Okay. Thank you. 13 CHAIR ONKEN: Yeah. Thank you. 14 So again to the public, you've got two weeks to 15 add more questions or comments to be incorporated into 16 this -- this EIR. 17 So hopefully we can all get our heads together 18 with or without Thomas' help, because he will be on 19 vacation, and make this project as good as possible, a 20 really truly didactic document as opposed to just another 21 study that holds up one leg of the table some -- 22 sometimes. 23 So -- you know, I do appreciate that when you 24 did the El Camino study for bike paths, that was a very 25 strong report which led to all sorts of decision-making</p> <p style="text-align: right;">Page 69</p>

<div>1 and thoughts of -- you know, a fair amount of action from 2 the public. 3 And so even though that document isn't required 4 for the project in terms of traffic study and all the 5 rest, hearing from the public tonight, somehow it's 6 important to see something that's much more educational 7 that we can all really take something out of. 8 So thank you very much, Mark, and I see no 9 other comments, so I'll close this section of this 10 evening and we can move on to the Study Session. 11 (This portion of the hearing concluded at 8:49 12 PM). 13 ---o0o--- 14 15 16 17 18 19 20 21 22 23 24 25</div>	
<div>1 STATE OF CALIFORNIA ) 2 COUNTY OF SAN FRANCISCO ) 3 4 I, the undersigned, hereby certify that the 5 discussion in the foregoing meeting was taken at the 6 time and place therein stated; that the foregoing is a 7 full, true and complete record of said matter. 8 I further certify that I am not of counsel or 9 attorney for either or any of the parties in the 10 foregoing meeting and caption named, or in any way 11 interested in the outcome of the cause named in said 12 action. 13 14 IN WITNESS WHEREOF, I have 15 hereunto set my hand this 16 _____ day of _____, 17 2016. 18 19 <u>MARK I. BRICKMAN CSR 5527</u> 20 21 22 23 24 25</div>	

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<b>type</b> 5:10 53:23 <b>types</b> 51:16 57:4 63:4 <b>typical</b> 58:7 <hr/> <b>U</b> <hr/> <b>ultimately</b> 21:13 57:24 <b>unacceptable</b> 44:10 55:5 <b>unavoidable</b> 14:9 14:16,22 26:1 44:10 51:13,18,21 52:4,5,7,17 <b>unavoidably</b> 18:4,7 19:10 <b>underground</b> 10:8 26:21 30:8 40:20 <b>underlined</b> 21:13 <b>undersigned</b> 71:3 <b>understand</b> 29:18 31:10 32:7,10,18 45:6,18 46:18 47:8,9 48:2 52:12 58:12 69:9 <b>understanding</b> 51:25 <b>undertaking</b> 63:14 <b>unfortunate</b> 35:3 <b>unfortunately</b> 35:1 54:25 68:21 <b>uniformly</b> 12:8 <b>unique</b> 13:9 53:19 57:6 <b>units</b> 10:13 33:5 48:25 60:15,19 61:1,3,5 <b>unknown</b> 31:8,25 <b>unsignalized</b> 17:1 <b>unusual</b> 53:4 <b>upper</b> 60:20 <b>usage</b> 31:24 <b>use</b> 9:18 10:2,7 14:13 27:11 34:15 50:20 55:24,24 59:12 63:24 68:4	<b>useful</b> 47:17 48:18 <b>uses</b> 10:5,10 13:17 16:14 17:6 33:17 44:21 61:15 <b>utilize</b> 17:7 <hr/> <b>V</b> <hr/> <b>vacation</b> 7:16 69:19 <b>valid</b> 9:20 <b>Valley</b> 29:1 <b>Valparaiso</b> 46:14 <b>value</b> 29:8 <b>valued</b> 26:20 <b>variants</b> 32:23 <b>various</b> 25:23 31:1 42:12 <b>vehicle</b> 11:10 <b>vehicles</b> 39:22 57:5 <b>version</b> 25:24 <b>versus</b> 23:8 49:4 52:8 57:3 65:25 66:2,17 <b>vibrancy</b> 33:10 <b>vibrant</b> 28:4 <b>Vice</b> 2:3 <b>vicinity</b> 15:16,24 <b>view</b> 24:2 <b>visions</b> 64:2 <hr/> <b>W</b> <hr/> <b>W-Tran</b> 9:9 <b>W-Trans</b> 2:11 8:11 15:5 <b>wait</b> 42:16 65:20 <b>waiting</b> 36:13 44:21,23 <b>walk</b> 26:15,15 <b>walking</b> 55:24 <b>want</b> 7:10,10 15:8 19:3,5 20:14 24:22 25:21 26:11 28:3,19 34:12 37:1,1 41:21 43:5 43:6 48:2 52:15 55:10,17,23 57:3 64:3,3	<b>wanted</b> 7:23 17:24 22:22 27:8,22 <b>warnings</b> 17:1 <b>warrant</b> 17:2 <b>wasn't</b> 22:21 28:17 28:18 68:23 <b>water</b> 50:19,20 51:4 62:22 <b>way</b> 19:16 22:11 25:18 30:25 31:2 35:13,16 37:16,16 39:7 40:11,18 41:13,17 43:3 44:24 47:19 55:17 56:7,24 58:17 59:23,25 71:9 <b>ways</b> 11:8 12:21 59:18 <b>we'll</b> 4:7 5:23 6:1 7:5 23:6,7,15 49:17,23 58:8 69:5 <b>we're</b> 4:20 27:10 30:18 38:21 39:15 40:9 42:10 43:18 46:12 54:7,7,10 54:19,19,20 56:8 56:11,15,24 57:10 58:6,19 65:2 66:11 <b>we've</b> 21:20 25:6,8 27:4 39:21 40:15 62:9 <b>weekend</b> 21:24 <b>weeks</b> 31:1 69:14 <b>well-versed</b> 6:20 <b>went</b> 31:5 35:21 <b>WHEREOF</b> 71:14 <b>white</b> 20:7 <b>wholly</b> 43:20 <b>widen</b> 55:13 <b>WiFi</b> 36:2 <b>Willow</b> 35:5 54:21 56:18 <b>Willows</b> 28:24	<b>wind</b> 20:12 56:8 <b>wires</b> 35:14 <b>WITNESS</b> 71:14 <b>wondering</b> 44:22 <b>wonky</b> 32:8 <b>work</b> 15:14 17:5 39:6 41:11,20 <b>worked</b> 38:16,16 38:17 <b>workers</b> 26:9,11,14 28:5 <b>working</b> 15:13 51:16 <b>works</b> 40:17 <b>worse</b> 36:18 64:17 64:21 66:16 <b>worst</b> 41:9 57:14 57:21 <b>worth</b> 5:23 <b>wouldn't</b> 67:3 <b>Wright</b> 3:7 23:20 23:22 <b>written</b> 7:12 29:15 29:24 <hr/> <b>X</b> <hr/> <b>X</b> 60:19 <hr/> <b>Y</b> <hr/> <b>Y</b> 60:19 <b>yeah</b> 28:17 34:12 42:1 51:10 68:14 69:6,13 <b>year</b> 30:24 32:5,25 36:18 <b>years</b> 15:22 18:5 24:12 25:20 29:1 35:2,11,13,20 36:9,17 45:23 47:1 58:1 <hr/> <b>Z</b> <hr/> <b>zero</b> 42:15 43:19 44:23 49:7,10 <b>Zip</b> 26:10 31:21 <b>zone</b> 68:6	<b>zones</b> 39:2 <hr/> <b>0</b> <hr/> <b>1</b> <hr/> <b>1</b> 17:12,13 <b>1,000</b> 10:16 13:20 <b>1:00</b> 42:7 <b>10</b> 17:20 <b>10,700</b> 33:23 <b>10:00</b> 56:10 <b>101</b> 19:15 <b>105</b> 60:22,23 <b>122</b> 65:17 <b>126</b> 65:19 <b>127</b> 25:18 <b>1300</b> 1:5 4:3,4,15 4:16,18 8:6 9:21 15:24 29:23 30:2 68:9 <b>133</b> 6:15 <b>14</b> 3:5 <b>15,000</b> 13:17 <b>16,000</b> 13:22 <b>172</b> 33:5 49:1 <b>182</b> 48:25 49:1 <b>18th</b> 11:17 <hr/> <b>2</b> <hr/> <b>2</b> 17:17 <b>2-3</b> 61:14 <b>2-4</b> 61:8 <b>2-5</b> 60:17 <b>2-6</b> 61:8 <b>2.1</b> 26:17 <b>2.3</b> 60:16 <b>2:00</b> 42:7 <b>20,000</b> 46:6 <b>200,000</b> 10:11,12 <b>2000</b> 32:5,5 <b>2006</b> 9:19 <b>2008</b> 54:15 <b>2011</b> 47:1 <b>2012</b> 9:16,22 <b>2014</b> 11:14 12:5 22:7
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## REGULAR MEETING MINUTES - DRAFT

**Date:** 4/11/2016  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

### A. Call To Order

Chair John Onken called the meeting to order at 7:00 p.m.

### B. Roll Call

Present: Andrew Combs, Katie Ferrick, Susan Goodhue, John Kadvany, Larry Kahle, John Onken (Chair), Katherine Strehl (Vice Chair)

Absent: None

Staff: Thomas Rogers, Principal Planner, Michel Morris, Assistant Planner, Corinna Sandmeier, Associate Planner

### C. Reports and Announcements

Principal Planner Rogers noted that the City Council would consider a consent calendar item at their April 12 meeting about storing and relocating the Carriage House, a non-historic structure, that would otherwise be demolished as part of the development of the former Roger Reynolds Nursery property on Encinal Avenue. He said there were a number of public opinions about the structure and staff was not recommending storing and relocating it.

Commissioner Strehl said the General Plan Advisory Committee at its next meeting would look at recommendations in respect to zoning, architectural control, sustainability and public benefit in the M2 area east of Highway 101.

### D. Public Comment

There was none.

### E. Consent Calendar

- E1. Approval of minutes from the March 7, 2016 Planning Commission meeting. ([Attachment](#))

**ACTION:** Motion and second (Onken/Ferrick) to approve with the following modifications; passes 6-0 with Commissioner Strehl abstaining.

- Page 2, line 3, remove the comma before the period at the end of the sentence
- Page 5, paragraph 6, change to insert word "about" after "Chair Onken asked....."

## F. Public Hearing

### F1. Use Permit/Eric Keng/145 Oak Court:

Request for a use permit to demolish a single-story residence and detached garage and construct a new two-story residence and attached garage on a substandard lot located in the R-1-U (Single-Family Urban Residential) zoning district. ([Staff Report #16-023-PC](#))

Staff Comment: Assistant Planner Morris said staff had received three letters from adjacent neighbors that had been distributed to the Planning Commission by email with copies made available for the public at the table in the rear of the Chambers.

Commissioner Kahle said he received only two letters.

Associate Planner Morris said one was an email and two were letters sent USPS.

Applicant Presentation: Mr. Eric Keng, project architect, Palo Alto, said the lot was somewhat unique in that the front of the house where they would typically put windows to protect neighbors' privacy actually faces the neighbors' yards. He said they had done neighbor outreach and there had been no concerns expressed. He said he could verify in the design that the concerns expressed in the three neighbors' recent emails had been addressed appropriately. He said he had held an emergency meeting with his client this evening in response to the letters. He said they were willing to move the building back a few feet to increase distance between properties and provide planting space for landscape screening. He said regarding the bedroom in the front of the subject project there was no other place for it to be located. He said the property owners had clearly identified the style home they wanted and they wanted to stay in this neighborhood. He said he tried to minimize the second story noting it was 900 square feet. He said per the City's ordinance the trees planned for removal were not heritage trees and noted the arborist's report. He said they would again confirm that with the arborist.

Replying to Commissioner Strehl's question about neighbor outreach, Mr. Keng said his clients met with neighbors a year ago and had expressed being available to discuss the design and that his clients had lived in the rear house for over two years.

Replying to Commissioner Kahle's question about removal of two plum trees, Mr. Keng said they would look at retaining the plum tree in the lower left.

Public Comment:

- Adam Brandt, neighbor, supported the improvement of the property but thought the design was too big as it was at 99.7% Floor Area Limit (FAL) on a substandard lot. He said his home was set back from the street with a currently private front yard and he and his family spend a lot of time there. He said the project design had three large windows that would allow a significant view of his front yard. He suggested developing more of the available square footage on the first floor rather than maximizing the second floor and move a bedroom downstairs, create a larger front setback by moving the house back, and raise the sill of the stairway window or use obscuring glass.

- Laurel Brandt, neighbor, said attachment D2 showed the front yard almost entirely paved from the lot line to the house. She recommended moving the house back to allow for landscape screening and to reduce the parking area. She said an additional parking space was not addressed in the drainage plan. She said that rain water collects in the street in front of her driveway already as there were no storm drains, and the properties were located in a flood zone. She said the arborist report missed two twelve-inch diameter trees and a third 17-inch diameter heritage tree on their property only two feet from the fence and garage that would be demolished on the subject property. She said they would like to see the paved parking area reduced and an accurate drainage plan and arborist's report.
- Ana Pedros, neighbor, showed a video of the Oak Court neighborhood. She said there were currently many trees and privacy. She said the only two-stories were on the opposite side of Oak Court. She said the project would impact the privacy of her master bedroom, the backyard where her family spends much time, and her kitchen area. She said it was detrimental to the morals, comfort and welfare of her household. She suggested replacing the three windows on the south facing wall that look directly into her master bedroom and backyard with skylights. She said the applicants could move the house back 28 feet. She also suggested more of the first floor be used and that the applicant build a home more in character with the rest of the neighborhood.
- Valentina Cogoni, neighbor, said she lives in a front house and has a rear rental unit. She said although the proposed second story was 910 square feet, her home was only 800 square feet and that was not unusual for their street. She said in remodeling her home she was very sensitive to the privacy of her neighbors.
- Pam Stadnyk, neighbor, said her property was on the right of the easement that runs along the right side of the subject property. She asked if there had been anything to address construction parking as the cul de sac was small. She noted her properties have two access points and requested that they remain open during construction. She said no one contacted her about this project a year ago and she thought there were other neighbors who had not been contacted.

Chair Onken closed the public hearing.

Commission Comment: Chair Onken asked the applicant to address the concerns expressed by the neighbors.

Mr. Keng said the property has an easement that all the other neighbors use to access their home but which makes this property a substandard lot as it did not count toward lot size.

Chair Onken asked Mr. Keng to expand on the concept of moving the home back on the lot. Mr. Keng said they want to move the garage back so it is 25 feet from the property line, have the first floor 30 feet back, and set the second floor yet another eight feet back. He said the additional five feet along the front would allow for the planting of screening trees. He said they could try to reduce the permeable paving by one foot on each side so it was just wide enough to accommodate a vehicle.

Commissioner Ferrick said the staff report indicated the plans had been discussed with neighbors

and there was no opposition, yet neighbors this evening indicated otherwise. Mr. Keng said he thought it was his fault as he had not followed up with the neighbors. He said he understood that his clients had shared the design plans with neighbors and there was no opposition. He said he would do his best to address the neighbors' concerns. He said they could raise the staircase window sill, and/or use obscure glass and plant a couple of trees outside of it. Commissioner Ferrick said it was indicated the drawings were only available during meetings and not available for review otherwise. Mr. Kang said elevations were distributed by the City to adjacent neighbors. He said last week he brought the full packet to Planner Morris which was then forwarded to all the adjacent neighbors.

Commissioner Ferrick said she was concerned that the front setback was almost completely paved with pavers and questioned why as the garage met the two space parking requirements. Mr. Keng said that two additional spaces were needed. Assistant Planner Morris explained that in addition to the two parking spaces required for the main house another two guest parking spaces were required as it is a panhandle lot. She said those two guest spaces could be located in front of a garage and needed to be 20 by 25 feet. She said if they were located elsewhere they had to be 20 by 20 feet. In response to Commissioner Ferrick's observation that the garage might be moved back five feet and accommodate the two guest spaces there, Assistant Planner Morris said that was theoretically correct. Mr. Keng said that was what they were proposing to do so the paved area would be planting area instead.

Commissioner Strehl asked if the sill could be raised on the second bedroom window that would face 141 Oak Court. Mr. Keng said the three windows were for egress and with the roof shape the sill height could not be low enough to allow for a four foot window. He said if they pushed the building higher he did not think it was approvable. Commissioner Strehl asked about the closet window. Mr. Keng said that was intended as an architectural detail on the front façade wall. Commissioner Strehl asked if they could do a skylight instead. Mr. Keng said that a skylight was not good for clothes and had suggested to the client that they use obscure glass in that window.

Commissioner Goodhue asked whether preliminary and final plans were mailed to neighbors within a specified period of time. Principal Planner Rogers said projects coming to the Planning Commission are noticed to neighbors within 300 feet of the project property by postcard with a link to a website hosting the project plans. He said they confirmed those plans were still accessible on the website and were more or less the plans being considered tonight. He said all of the neighbors expressing concerns today were on the notification list for the October 2015 notice. He said that notice requested that any concerns be brought to staff's attention. He said another notice to the same list was sent approximately three weeks before the meeting date.

Chair Onken asked when the neighbor comments were received. Assistant Planner Morris said they were received that morning and afternoon following phone calls from phone calls from neighbors to her over several days. She said prior to now there had not been any comments received on the proposed project.

Commissioner Kahle said the proposed design was nice and similar to projects the Commission has reviewed and approved. He said however upon visiting the project site he found that its configuration and the proposed design would impact neighbors' privacy. He said although a two-

story house was a permitted use, he was concerned with just removing windows as that would create blank walls. He suggested the project needed further careful thought about window placement and privacy and noted there had been some good neighbor input. He said he would like to see the paved parking area reduced as much as possible. He said since both the first story and second story have nine-foot ceilings the second-story ceiling height could be reduced to eight foot. He suggested looking at a less steep roof pitch to decrease the building height. He suggested being very careful with a second floor balcony. He said it appeared to look out over carport and garage area, but one of the speakers had indicated the privacy of living space at the rear of 139 Oak Court would be impacted by it. He said in general the front elevation was nice but suggested eliminating one or two of the south facing gables. He said he would prefer to see the gable on the second floor over the staircase removed and to have a straight eave there. He suggested the front porch might be nice without the gable as well.

Commissioner Kadvany said he agreed with the suggestions made by Commissioner Kahle. He said the City's notification was fairly pro forma and the neighborhood outreach done had been minimal. He said that the design of the first two-story development in a one-story neighborhood had to fit in with the existing neighborhood. He said the farmhouse style was attractive but had a verticality that contributed to the perception of massing. He suggested working on the face of the garage to give it a friendlier look such as adding a window or two-door appearance.

Commissioner Ferrick moved to continue the project for design revision. She said in addition to the comments made that additional plantings and trees would help. Commissioner Kahle seconded the motion.

Chair Onken said the house as proposed went entirely up to its daylight plane, its maximum setback, and its maximum floor area limit as if that was a right. He said however the project was subject to a use permit and the Commission's discretion as to whether the proposed design would work for the site and the neighborhood. He said design tweaks might make it workable but it might just be too large of a house for the site. He said reducing the roof pitches from 12 and 8 which were very prominent would help reduce the massing.

**ACTION:** Motion and second (Ferrick/Kahle) to continue the project for redesign; passed 7-0.

Chair Onken summarized the Commission's suggestions for the applicant:

- Move the house back to allow for parking in front of the garage and less paving in the front
- Consider the roof pitches
- Revisit the fenestration which currently was too aggressive and had too many gables
- Reconsider the garage front to reduce massiveness
- Provide for trees and plantings as landscape screening
- Reconsider the second story porch
- Look at project as a whole to reduce the perception of massing

Commissioner Strehl suggested that the arborist report be reviewed and if inaccurate redone.

Commissioner Kadvany added to look at the ceiling heights as suggested by Commissioner Kahle.

Commissioner Combs asked that the applicant engage to some degree with the neighbors for the redesign.

F2. Use Permit/Jack McCarthy/230 O'Connor Street:

Request for a use permit to demolish an existing single-story residence and detached garage and construct a new two-story, single-family residence and attached garage on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district. ([Staff Report #16-024-PC](#))

Staff Comment: Assistant Planner Morris said staff had no additions to the staff report.

Applicant Presentation: Mr. Jack McCarthy, project designer, said the existing house had had remodels every several years and its configuration was convoluted. He said the property has two driveways, one of which seems to serve a home around the corner and the other serves a two-unit and a single-family home. He said their design placed the garage on that side to provide privacy and more enjoyment for the house on the left.

Commissioner Strehl confirmed with Mr. McCarthy that all the windows were double pane.

Commissioner Kadvany asked about siding on the second story but not on the first story. Mr. McCarthy said he wanted to do a combination and the stucco on the first floor would slope out at the base around doors and windows.

Chair Onken opened the public hearing. There being no comment, he closed the public hearing.

Commission Comment: Chair Onken said the project seemed generally approvable.

Commissioner Kahle said he agreed except he thought the mass of the garage seemed large with the eight foot doors. He suggested that the 10-foot garage ceiling could be lower. He suggested putting the siding on the bottom and the stucco on top.

Chair Onken asked if there was a reason the garage was tall. Mr. McCarthy said he could reduce the door heights from eight to seven feet. He said he could probably reduce the plate height of the garage as well.

Commissioner Kahle said the proportion of the doors to the wall was fine but the garage mass seemed too big, and suggested reducing the door height a foot. Mr. McCarthy said he could do that but wouldn't want empty space above the door so he would reduce the plate height as well.

Chair Onken said he agreed with Commissioner Kahle's observation about lowering the garage mass.

Commissioner Goodhue confirmed with Mr. McCarthy that the roof material was asphalt shingles. She said she preferred the siding on the top and stucco on the bottom.

Commissioner Ferrick said she liked there were two separated carriage doors on the garage.



Commissioner Strehl said she has seen a home with siding on the top and stucco on the bottom which she liked.

Commissioner Kadwany said he thought the first and second story should be wood siding.

**ACTION:** Motion and second (Ferrick/Goodhue) to approve the use permit request with the following modification:

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Jack McCarthy Designer, Inc. consisting of sixteen plan sheets, dated received March 22, 2016, and approved by the Planning Commission on April 11, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
  - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.



- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance

**4. Approve the use permit subject to the following project-specific conditions:**

- a. Prior to building permit issuance, applicant shall submit revised plans to reduce the garage door and ceiling height by one foot subject to the review and approval of the Planning Division.**

**F3. Use Permit/Sarah Potter/280 Willow Road:**

Request for a use permit to construct a single-story addition and conduct interior modifications to a single-family, nonconforming residence that would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period. The subject parcel is located in the R-1-U (Single-Family Urban) zoning district. ([Staff Report #16-025-PC](#))

Staff Comment: Associate Planner Sandmeier said staff had no additions to the staff report.

Applicant Presentation: Ms. Sarah Potter, ClearStory Construction, said the property owners were proposing a modest addition to an existing single-story single-family residence for another bedroom, a master bath and an expanded kitchen area.

Commissioner Kahle said the front elevation was great. He said that the addition section with the hip roof dominated the structure. He asked if there was a way to offset or reduce or break up that massing. Ms. Potter said they had looked at a different roof line with a hip at each end but were concerned about drainage and leaves collecting in the center. She said that replacing the roof would require installation of fire sprinklers which would cost too much for the budget for this modest addition.

Chair Onken asked if the lines of the rear roof, which was 12 and 2 straight across, could be broken up. Ms. Potter said they didn't want the roof to pop up in the rear. She said they looked at many variations of roof treatment. .

Chair Onken opened and closed the public hearing, as there were no speakers.

Commission Comment: Chair Onken commended the modest addition. He said a single-story roof along Willow Road was not as worrisome as a second-story roof. Commissioner Kahle said the project was approvable and he would like some modifications to the front and rear roof but would not make it a condition.

**ACTION:** Motion and second (Strehl/Ferrick) to approve the project as recommended in the staff report; passed 7-0.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by ClearStory Construction, consisting of 5 plan sheets, dated received March 28, 2016, and approved by the Planning Commission on April 11, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
  - f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance

## **G. Informational Items**

### **G1. Future Planning Commission Meeting Schedule**

- Regular Meeting: April 18, 2016
- Regular Meeting: May 9, 2016
- Regular Meeting: May 23, 2016

Commissioner Strehl suggested an item on the next agenda to consider putting a time limit for receiving written comments on a project the day of the meeting it was to be considered. General discussion about the idea ensued. In reply to a question from Commissioner Combs, Principal Planner Rogers said the Council did not have such a policy.

Chair Onken said it was Commissioner Ferrick's last meeting as a Commissioner, and asked if she would like to speak.

Commissioner Ferrick said it was her last meeting after serving eight years. She introduced her family and thanked her husband for his generous support of her civic service. In addition to the current Commissioners, she said she had served in those eight years with Melody Pagee, Kirsten Keith, Pei Pei Yu, Henry Riggs, Jack O'Malley, Ben Eiref, and Vince Bressler. She thanked Thomas Rogers for leading the El Camino Real / Downtown Specific Plan visioning and development. She said it was a pleasure to work with all of her fellow Commissioners and as a volunteer she had gained knowledge that she was now using in her career.

Chair Onken thanked Commissioner Ferrick for her leadership as Chair and her kindness and good manners as a Commissioner.

## **H. Adjournment**

Chair Onken adjourned the meeting at 8:25 p.m.

Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett



## STAFF REPORT

### Planning Commission

**Meeting Date:**

**5/9/2016**

**Staff Report Number:**

**16-030-PC**

**Consent Calendar:**

**Architectural Control/R. Tod Spieker/825 Menlo Avenue**

### Recommendation

Staff recommends that the Planning Commission approve the architectural control request to modify the exterior of an existing multi-family residential building, located at 825 Menlo Avenue in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The revisions would not affect the gross floor area or the number of units, but would include the replacement of existing stair and balcony railings with new steel railings, the replacement of existing railings on street-facing balconies with new glass railings, the replacement of board and batten siding with horizontal lap siding on the front wall, the replacement of pool fencing with steel and glass railings, the addition of a wood belly band, the addition of stone veneer over the first floor chimney and existing brick facade, and new paint. The recommended actions are contained within Attachment A.

### Policy Issues

Each architectural control request is considered individually. The Planning Commission should consider whether the required architectural control findings can be made for the proposal.

### Background

#### *Site location*

The subject property is located at 825 Menlo Avenue, on the east side of Menlo Avenue between Evelyn Street and Crane Street, where Menlo Avenue is oriented in a north-south direction, in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district and the DA (Downtown Adjacent) sub-district. The property consists of a U-shaped two-story multi-family residential building with underground parking, originally built in 1960. A location map is included as Attachment B.

With the exception of the adjacent parcels to the east, zoned R-3 (Apartment District), the surrounding parcels are also in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The adjacent parcel to the north is developed with a duplex. The parcel to the south of the subject property, across Evelyn Street, is developed with an office building as are the parcels to the west, across Menlo Avenue.

## **Analysis**

### ***Project description***

The applicant is requesting to modify the exterior of an existing 22-unit multi-family residential building. The revisions would not affect the gross floor area or the number of units. No changes are proposed to the existing parking or circulation. The project plans and the applicant's project description letter are included as Attachments C and D, respectively.

### ***Design and materials***

The proposed changes to the front (Evelyn Street) façade would include the following:

- Replace existing stair and balcony railings with new glass railings;
- Replace board and batten siding with horizontal lap siding;
- Add a wood belly band;
- Add stone veneer over the first floor chimney and existing brick façade; and,
- New paint.

The proposed changes to the street side (Menlo Avenue) façade would include the following:

- Replace existing stair and balcony railings with new glass railings;
- Replace board and batten siding with horizontal lap siding;
- Add a wood belly band;
- Add stone veneer over the existing brick façade; and,
- New paint.

Additional proposed changes not located along the adjacent streets would include the following:

- Replace existing stair and balcony railings with new steel railings;
- Replace pool fencing with steel and glass railings; and,
- New paint.

The applicant is proposing to modify the color scheme on both the front and side street elevations to include horizontal lap siding painted in dark beige along the upper floor, new tan paint along the lower floor and light beige gutters. Both the proposed belly band and the existing stucco landscape walls along the front and street side elevations would be painted a reddish brown that is also proposed for the interior side elevation. These colors would be complemented by the proposed veneer stone and new glass and painted steel railings.

Staff believes that the proposed changes are appropriate for this existing multi-family development and would be compatible with the surrounding buildings. The proposed design elements, such as glass railings, horizontal lap siding, and revised color scheme would update the building's design. Staff believes these changes would comply with relevant El Camino Real/Downtown Specific Plan design standards and guidelines (most of which are not applicable because this is an existing building that is not being heavily modified), as documented in Attachment E, and would represent a comprehensive, cohesive aesthetic update.

### ***Trees and landscaping***

Four heritage street trees and one non-heritage street tree are located along Menlo Avenue in front of the subject parcel. The branches of one of these street trees, a heritage Cupaniopsis tree located near the intersection of Menlo Avenue and Evelyn Street, have grown up to the building. The ends of these branches would need to be trimmed to be no closer than three or four feet from the edge of the roof to allow room for the painters. The existing shrubs would remain along the sides of the building. Scaffolding would not be used during the renovation and the proposed site improvements should not adversely affect any of the trees as standard tree protection measures will be ensured through recommended condition 3e.

### ***Correspondence***

Staff has not received any items of correspondence on the proposed project. A representative of the property owner indicated that he made several attempts to reach out to surrounding neighbors and did not receive any negative feedback.

### ***Conclusion***

Staff believes that the scale, materials, and proposed design would be compatible with the existing multi-family development and surrounding buildings. The proposed design elements, such as glass railings, horizontal lap siding, and revised color scheme would update the building's design. The proposed project is a cohesive aesthetic update, and would comply with relevant El Camino Real/Downtown Specific Plan design standards and guidelines. Staff recommends that the Planning Commission approve the proposed project.

### ***Impact on City Resources***

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### ***Environmental Review***

The Specific Plan process included detailed review of projected environmental impacts through a program Environmental Impact Report (EIR), as required by the California Environmental Quality Act (CEQA). In compliance with CEQA requirements, the Draft EIR was released in April 2011, with a public comment period that closed in June 2011. The Final EIR, incorporating responses to Draft EIR comments, as well as text changes to parts of the Draft EIR itself, was released in April 2012, and certified along with the final Plan approvals in June 2012.

The proposed project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines, and as such, no additional environmental analysis is required above and beyond the Specific Plan EIR. However, relevant mitigation measures from this EIR have been applied and would be adopted as part of the Mitigation Monitoring and Reporting Program (MMRP), which is included as Attachment F. Mitigation measures include construction-related best practices regarding air quality, noise, and the handling of any hazardous materials. The MMRP also includes a completed mitigation measure relating to cultural resources: due to the age of the structure being greater than 50 years, a historic resource evaluation was prepared as part of the initial project review. This review, which was conducted by a qualified architectural historian, concluded that the building

is not eligible for listing in the State or National historic registers. Therefore, the proposed project would not result in any significant impacts to historic resources.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Project Plans
- D. Project Description Letter
- E. Specific Plan Standards and Guidelines Compliance Worksheet
- F. Mitigation Monitoring and Reporting Program

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

### **Exhibits to Be Provided at Meeting**

Color and Material Samples

Report prepared by:

Corinna Sandmeier, Associate Planner

Report reviewed by:

Thomas Rogers, Principal Planner

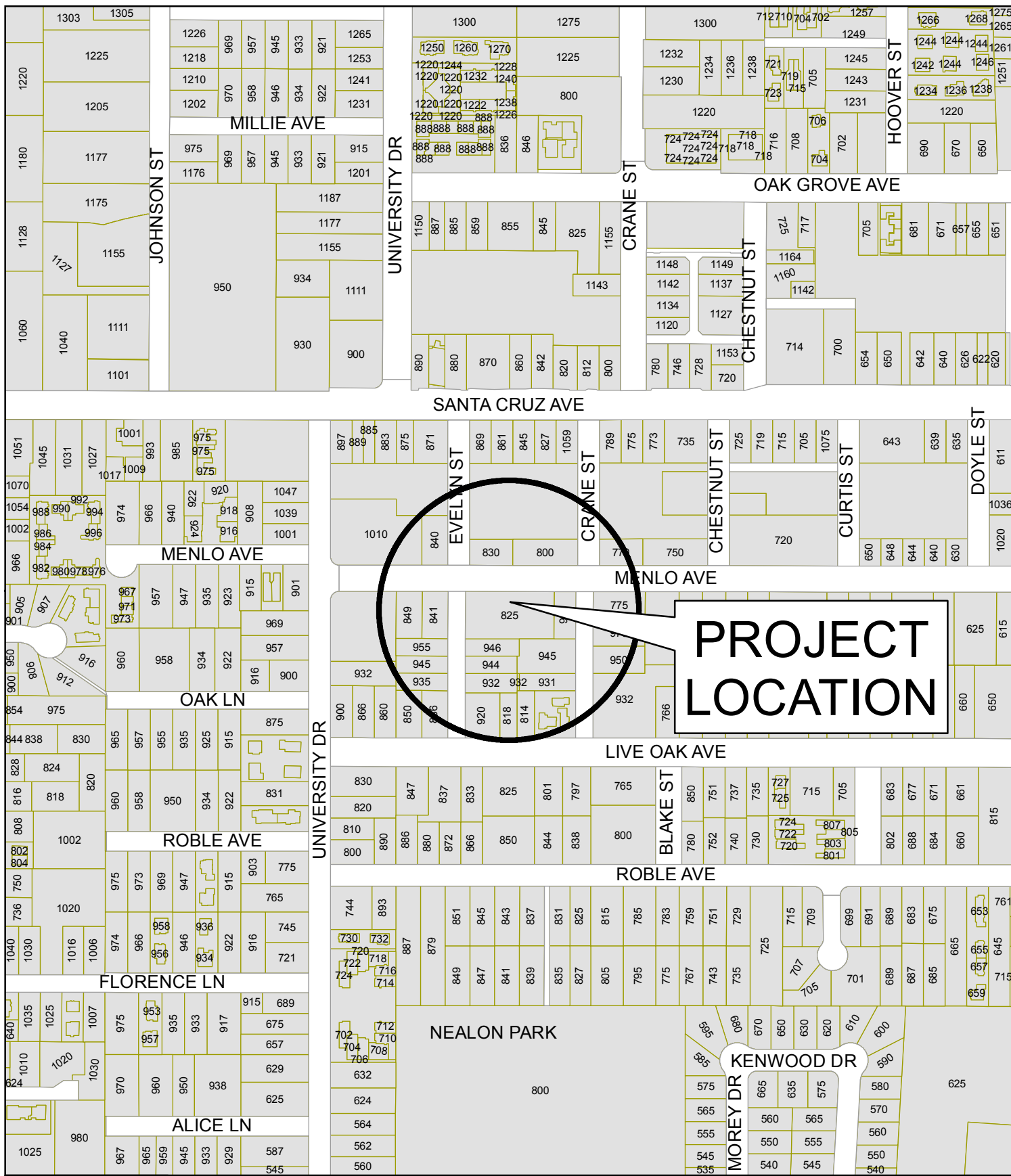
## 825 Menlo Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 825 Menlo Avenue	<b>PROJECT NUMBER:</b> PLN2016-00020	<b>APPLICANT:</b> R. Tod Spieker	<b>OWNER:</b> R. Tod Spieker
<b>REQUEST:</b> Request for architectural control to modify the exterior of an existing multi-family residential building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The revisions would not affect gross floor area or the number of units, but would include the replacement of existing stair and balcony railings with new steel railings, replacement of existing railings on street-facing balconies with new glass railings, replacement of board and batten siding with horizontal lap siding on front wall, replacement of pool fencing with steel and glass railings, addition of a wood belly band, addition of stone veneer over the first floor chimney and existing brick facade, and new paint.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> May 9, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"><li>1. Make findings with regard to the California Environmental Quality Act (CEQA) that the proposal is within the scope of the project covered by the El Camino Real/Downtown Specific Plan Program EIR, which was certified on June 5, 2012. Specifically, make findings that:<ol style="list-style-type: none"><li>a. The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.</li><li>b. Relevant mitigation measures have been incorporated into the project through the Mitigation Monitoring and Reporting Program (Attachment F), which is approved as part of this finding.</li></ol></li><li>2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:<ol style="list-style-type: none"><li>a. The general appearance of the structure is in keeping with the character of the neighborhood.</li><li>b. The development will not be detrimental to the harmonious and orderly growth of the City.</li><li>c. The development will not impair the desirability of investment or occupation in the neighborhood.</li><li>d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking.</li><li>e. The development is consistent with the El Camino Real/Downtown Specific Plan, as verified in detail in the Standards and Guidelines Compliance Worksheet (Attachment E).</li></ol></li><li>3. Approve the architectural control subject to the following <b>standard</b> conditions:<ol style="list-style-type: none"><li>a. Development of the project shall be substantially in conformance with the plans provided by Edwin Bruce Associates, consisting of nine plan sheets, dated received April 22, 2016, and approved by the Planning Commission on May 9, 2016 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li><li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, Recology, and utility companies' regulations that are directly applicable to the project.</li><li>c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly</li></ol></li></ol>			



825 Menlo Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 825 Menlo Avenue	<b>PROJECT NUMBER:</b> PLN2016-00020	<b>APPLICANT:</b> R. Tod Spieker	<b>OWNER:</b> R. Tod Spieker
<b>REQUEST:</b> Request for architectural control to modify the exterior of an existing multi-family residential building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The revisions would not affect gross floor area or the number of units, but would include the replacement of existing stair and balcony railings with new steel railings, replacement of existing railings on street-facing balconies with new glass railings, replacement of board and batten siding with horizontal lap siding on front wall, replacement of pool fencing with steel and glass railings, addition of a wood belly band, addition of stone veneer over the first floor chimney and existing brick facade, and new paint.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> May 9, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b>  applicable to the project.  d. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.  e. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.			

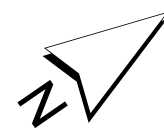


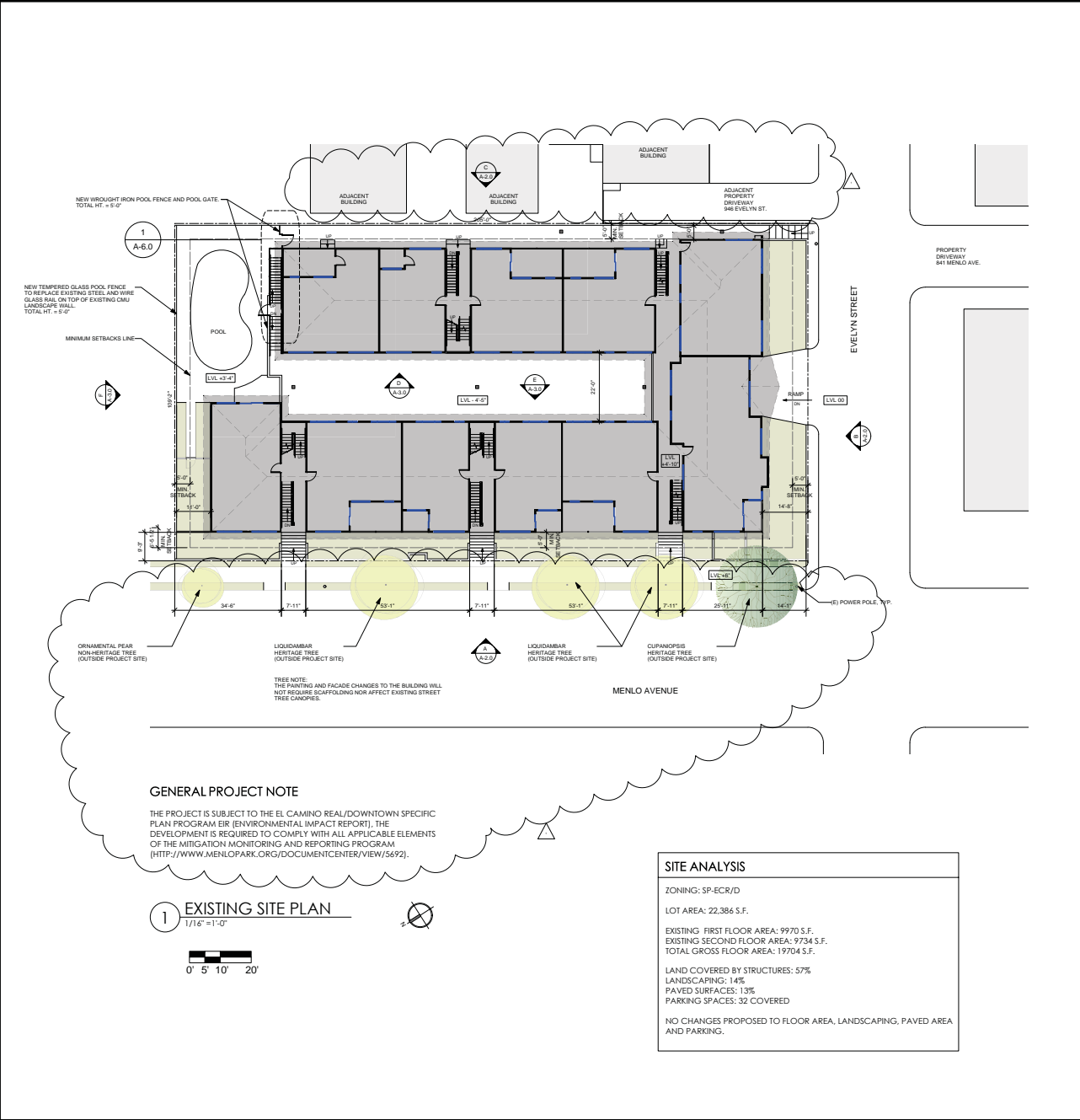
# CITY OF MENLO PARK

## LOCATION MAP

### 825 MENLO AVENUE

DRAWN: TAS CHECKED: CDS DATE: 05/09/16 SCALE: 1" = 300' SHEET: 1





MENLO AVE APARTMENTS  
EXTERIOR REMODELING

825 MENLO AVE,  
MENLO PARK, CA 94025

CONSULTANTS

ARCHITECT:  
EDWIN BRUCE ASSOCIATES ARCHITECTS  
TEL: 408.995.5701  
1625 THE ALAMEDA, SUITE 610, SAN JOSE, CA 95126

PROJECT SCOPE

THE SCOPE OF WORK INVOLVES EXTERIOR COSMETIC CHANGES WHICH INCLUDE THE FOLLOWING. REPLACE EXISTING STEEL STAIR AND BALCONY RAILINGS WITH NEW STEEL RAILINGS, REPLACE WITH GLASS RAILINGS AT STREET FACING BALCONIES, REPLACE POOL ENCLOSURE FENCING WITH NEW STEEL AND GLASS RAILINGS, ADD HORIZONTAL LAPPED SIDING WHERE THERE IS EXISTING BATTEN SIDING, ADD A NEW WOOD BELLY BAND ACROSS THE ENDS OF THE EXISTING CORBELS, ADD A NEW STONE VENEER OVER THE FIRST FLOOR CHIMNEY AND EXISTING BRICK FACADE AREAS.

PROJECT INFORMATION

PROJECT NAME: MENLO AVE APARTMENTS  
EXTERIOR REMODELING

ADDRESS: 825 MENLO AVE,  
MENLO PARK, CA 94025

APN: 071282170

OCCUPANCY GROUP: R-2

TYPE OF CONSTRUCTION: V-B

NO CHANGE TO AREA SQ.FTG

CODES:

2013 CALIFORNIA FIRE CODE - ORD. 17-2013  
2013 CALIFORNIA BUILDING CODE - ORD. 16-2013  
2013 CALIFORNIA EXISTING BUILDING CODE - ORD. 16-2013  
2013 CALIFORNIA ELECTRICAL CODE - ORD. 16-2013  
2013 CALIFORNIA MECHANICAL CODE - ORD. 16-2013  
2013 CALIFORNIA PLUMBING CODE - ORD. 16-2013  
2013 CALIFORNIA GREEN BUILDING CODE - ORD. 16-2013  
2013 CALIFORNIA RESIDENTIAL CODE - ORD. 16-2013  
2013 BUILDING ENERGY EFFICIENCY CODE - ORD. 16-2013

INCLUDING AMENDMENTS BY THE CITY OF MENLO PARK

EXISTING LOT COVERAGE:  
UNCHANGED.

LANDSCAPE AREA:  
UNCHANGED. NO TREE REMOVAL PROPOSED.

TOTAL BUILDING AREA:  
UNCHANGED

DRAWING INDEX

- |       |  |
|-------|--|
| A-1.0 | SITE PLAN, LOCATION MAP, PROJECT INFORMATION, AND PROJECT SCOPE. |
| A-1.1 | AREA PLAN AND STREET ELEVATION PHOTOS                            |
| A-2.0 | EXISTING ELEVATIONS  |
| A-3.0 | EXISTING ELEVATIONS  |
| A-4.0 | PROPOSED ELEVATIONS  |
| A-5.0 | PROPOSED ELEVATIONS  |
| A-6.0 | DETAILS  |
| A-7.0 | DETAILS  |
| A-8.0 | DETAILS  |



LOCATION MAP

SCALE = N.T.S.

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T: 408.995.5701 F: 408.995.5622 website: www.edwinbruce.com



MENLO AVE APARTMENTS  
EXTERIOR REMODELING  
825 MENLO AVENUE  
MENLO PARK, CA 94025

DATE: 1.29.16  
DRAWN: WJL/GG  
JOB NO: 1528

A-1.0



FACADE ON EVELYN STREET



CORNER OF MENLO AVE. AND EVELYN ST.

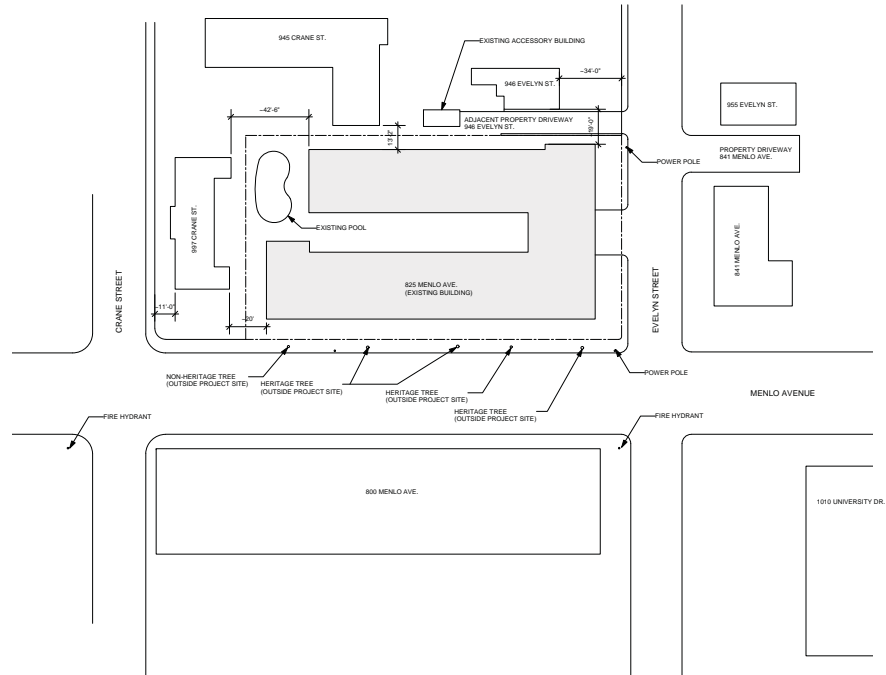


SIDEWALK ON MENLO AVENUE



FACADE ON MENLO AVENUE

## 2 PHOTOS TO SHOW EXISTING STREETSCAPE N.T.S.



## 1 EXISTING AREA PLAN 1/32" = 1'-0"



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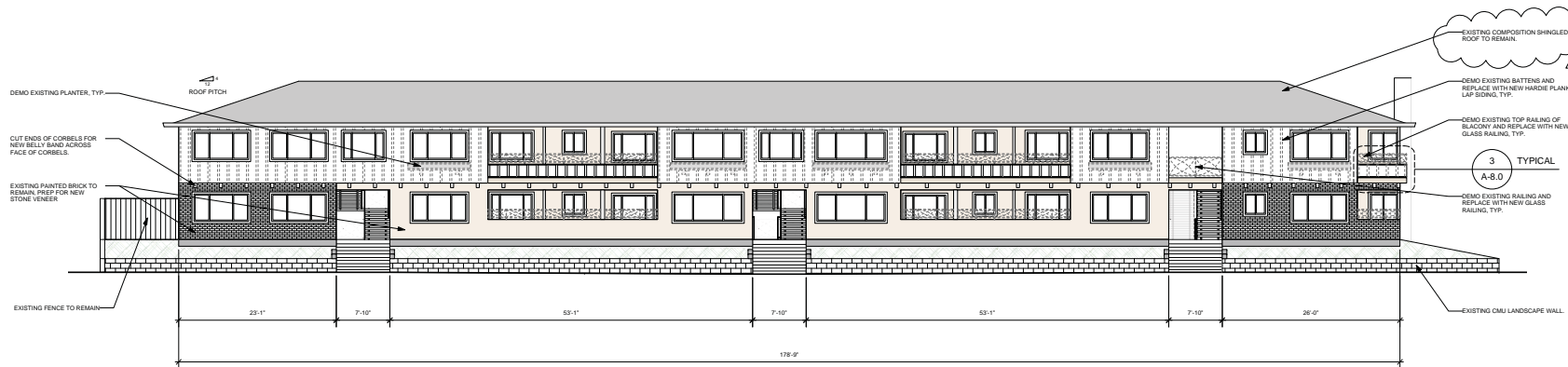
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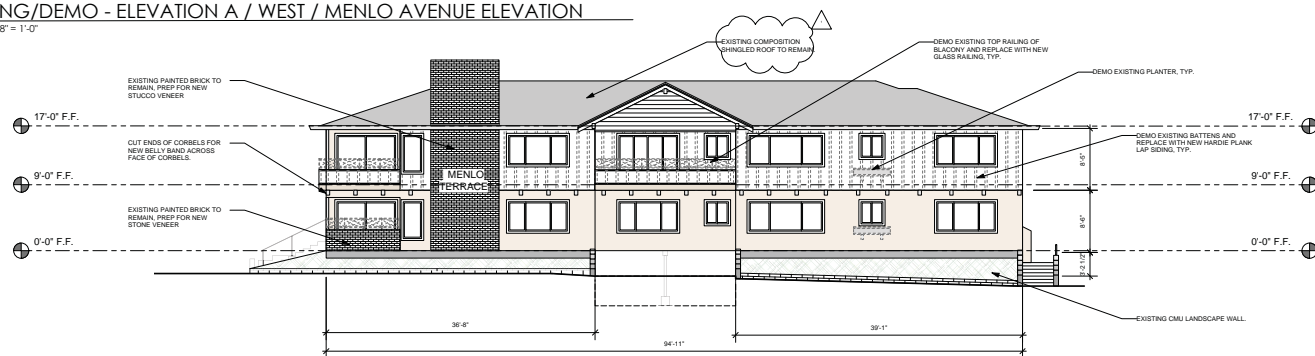
**MENLO AVE APARTMENTS**  
EXTERIOR REMODELING  
825 MENLO AVENUE  
MENLO PARK, CA 94025

DATE 1.29.14  
DRAWN PJA/GG  
JOB NO 1528

A-1.1



1 EXISTING/DEMO - ELEVATION A / WEST / MENLO AVENUE ELEVATION  
SCALE = 1/8" = 1'-0"



2 EXISTING/DEMO - ELEVATION B / SOUTH / EVELYN STREET ELEVATION  
SCALE = 1/8" = 1'-0"



3 EXISTING/DEMO - ELEVATION C / EAST / ELEVATION  
SCALE = 1/8" = 1'-0"

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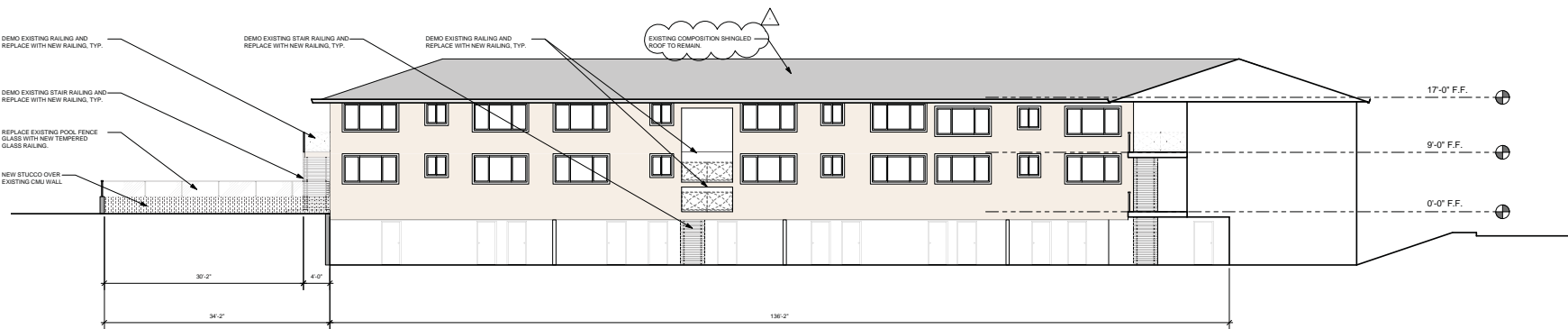
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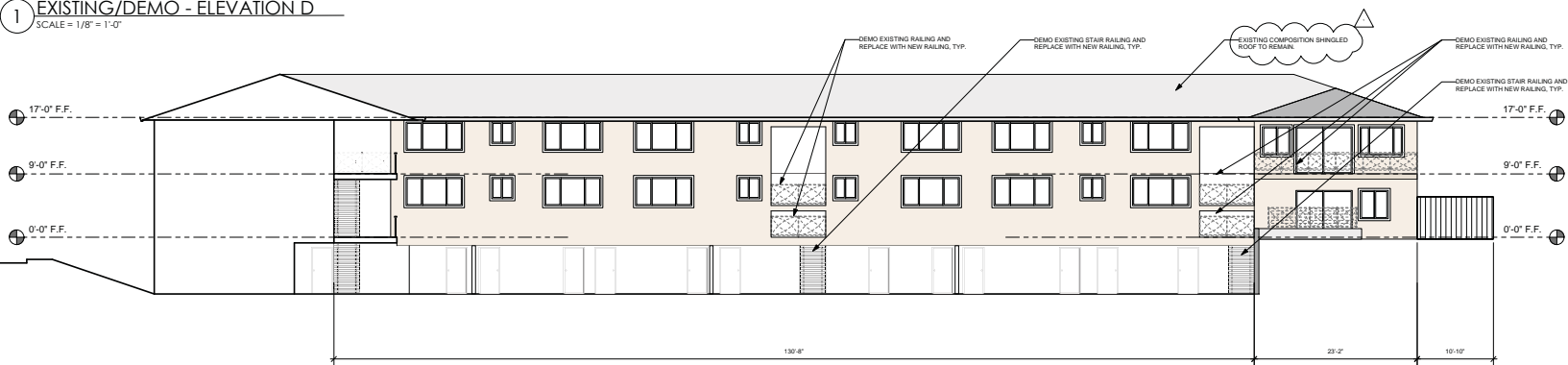
MENLO AVE APARTMENTS  
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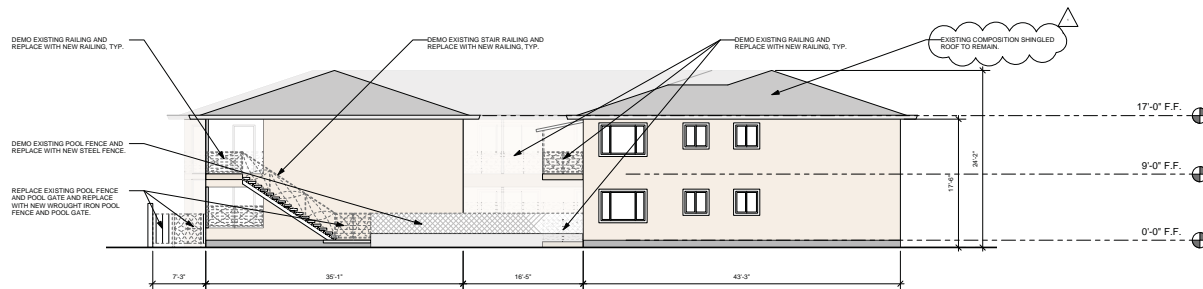
A-2.0



1 EXISTING/DEMO - ELEVATION D  
SCALE = 1/8" = 1'-0"



2 EXISTING/DEMO - ELEVATION E  
SCALE = 1/8" = 1'-0"

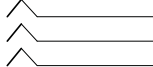


3 EXISTING/DEMO - ELEVATION F / NORTH ELEVATION  
SCALE = 1/8" = 1'-0"

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1 PLANNING REVISIONS 03/04/16



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**MENLO AVE APARTMENTS**  
EXTERIOR REMODELING  
825 MENLO AVENUE  
MENLO PARK, CA 94025

DATE 1.29.16

DRAWN PJA/GG

JOB NO 1528

A-3.0



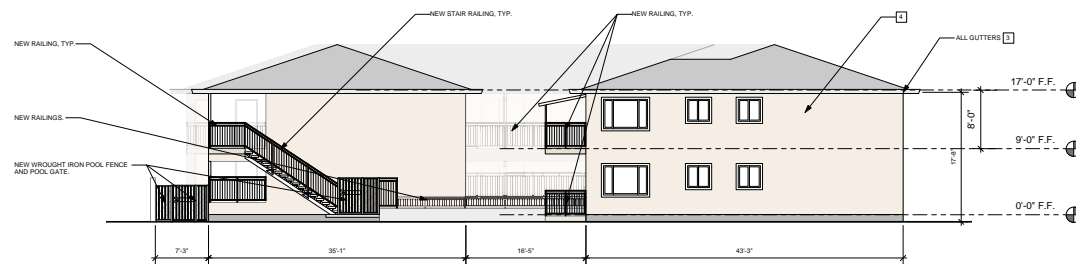




1 PROPOSED - ELEVATION D  
SCALE = 1/8" = 1'-0"



2 PROPOSED - ELEVATION E  
SCALE = 1/8" = 1'-0"



3 PROPOSED - ELEVATION F / NORTH ELEVATION  
SCALE = 1/8" = 1'-0"

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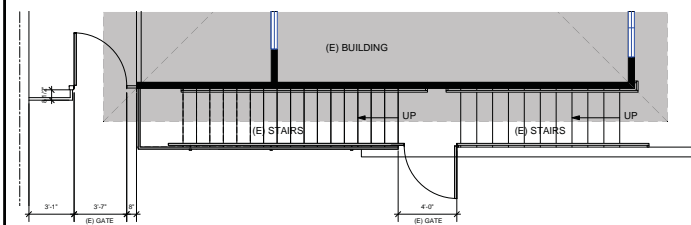


MENLO AVE APARTMENTS  
EXTERIOR REMODELING  
825 MENLO AVENUE  
MENLO PARK, CA 94025

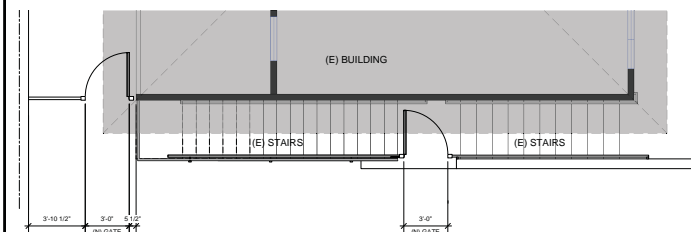
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JOB NO	1528

A-5.0

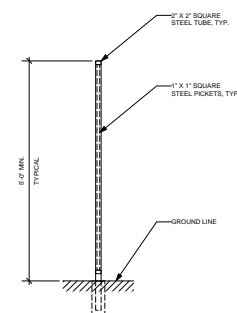




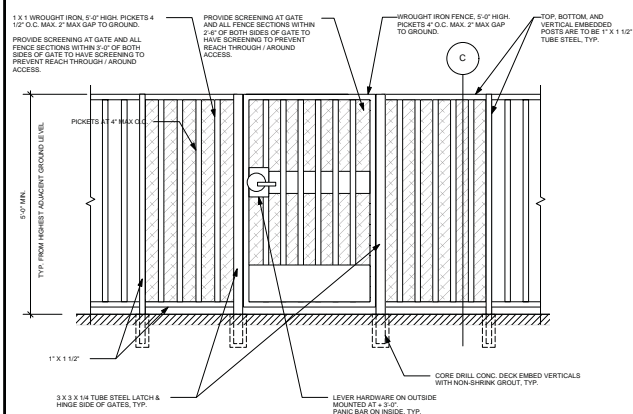
**A (E) POOL AREA PLAN VIEW**  
1/4" = 1'-0"



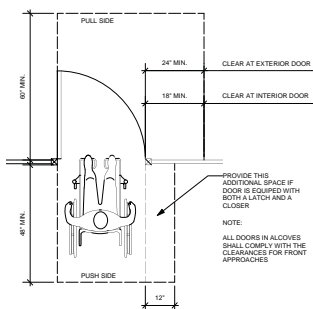
**B (N) POOL AREA PLAN VIEW**  
1/4" = 1'-0"



**C VERTICAL POST SECTION**  
3/8" = 1'-0"



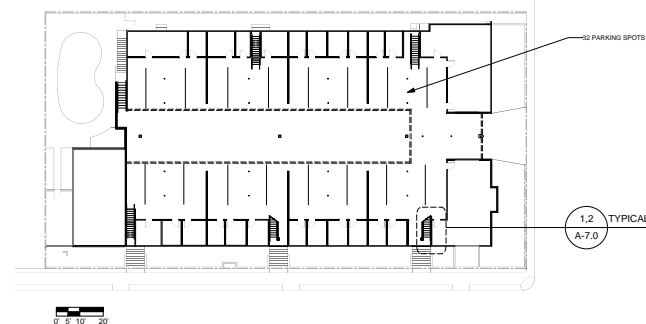
**D NEW POOL GATE DETAIL**  
3/4" = 1'-0"



**E CLEARANCE AT DOORS**  
1/2" = 1'-0"

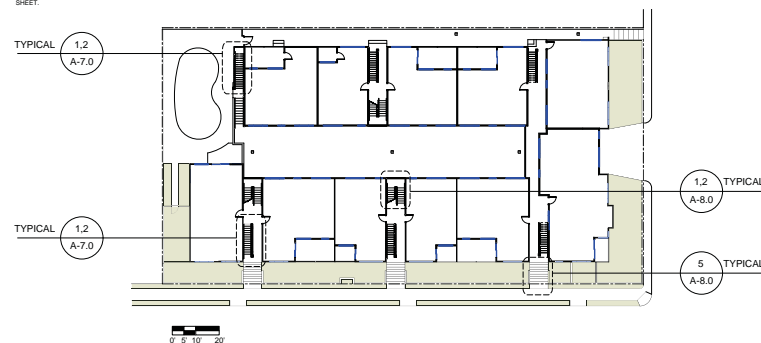
1 NEW POOL GATE DETAILS

NOTE:  
ALL STAIRS IN THE BASEMENT LEVEL GET NEW RAILINGS SHOWN ON THE SPECIFIED DETAIL SHEET.



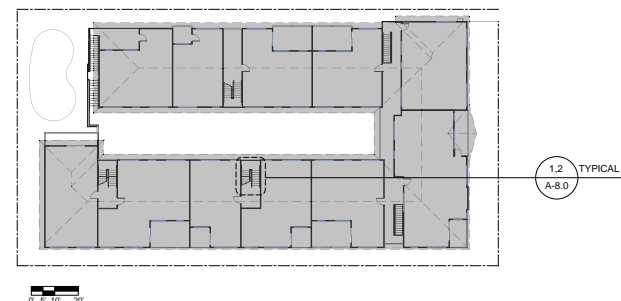
2 BASEMENT FLOOR PLAN AND PARKING PLAN

NOTE:  
ALL STAIRS ON THE GROUND LEVEL GET NEW RAILINGS SHOWN ON THE SPECIFIED DETAIL SHEET.



3 GROUND LEVEL FLOOR PLAN AND SITE PLAN

NOTE:  
ALL STAIRS ON THE UPPER LEVEL GET NEW RAILINGS SHOWN ON THE SPECIFIED DETAIL SHEET.

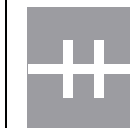


4 UPPER LEVEL FLOOR PLAN

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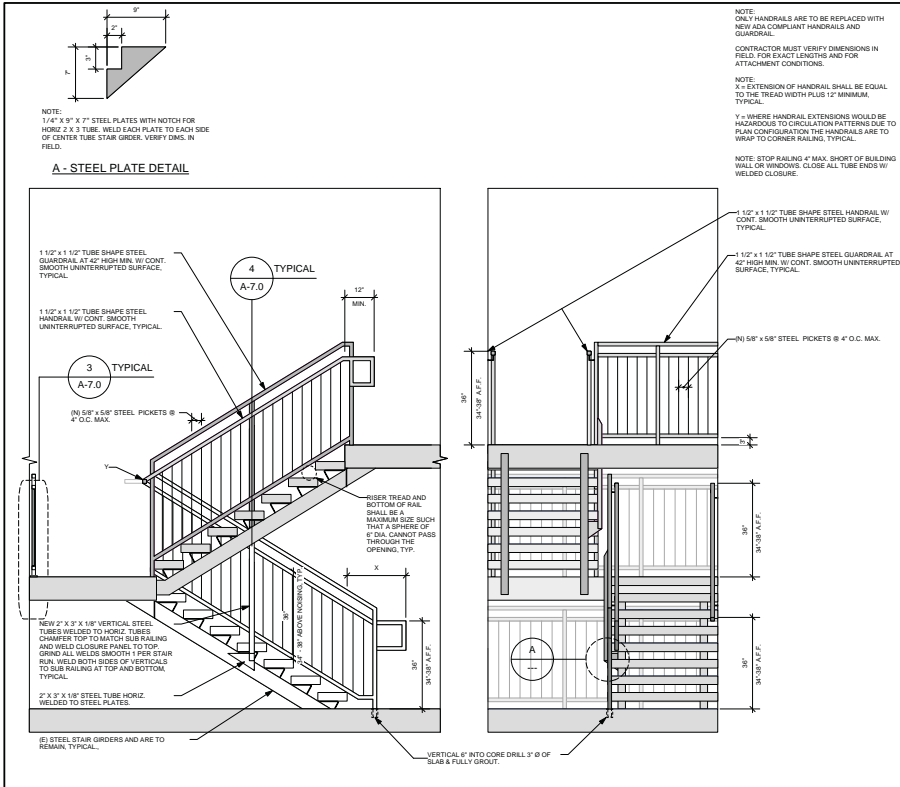


MENLO AVE APARTMENTS  
EXTERIOR REMODELING  
825 MENLO AVENUE  
MENLO PARK, CA 94025

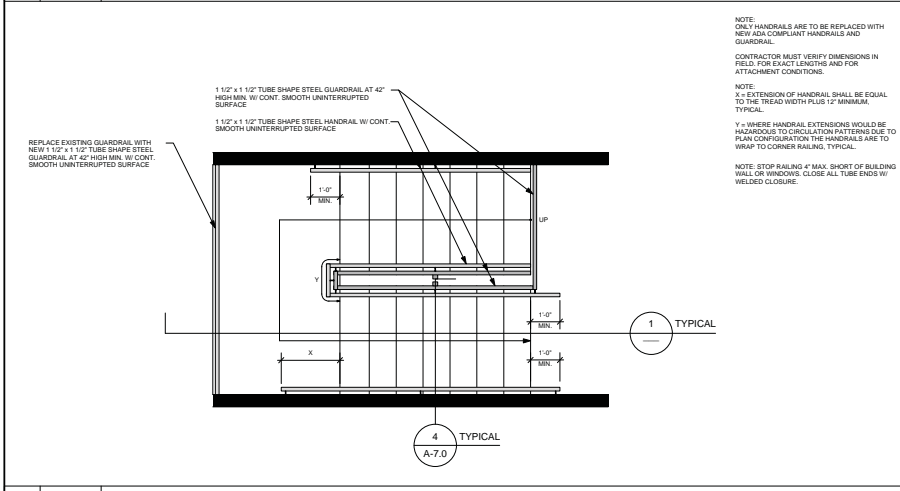
DATE 1.29.16  
DRAWN PJA/JOG  
JOB NO 1528

A-6.0

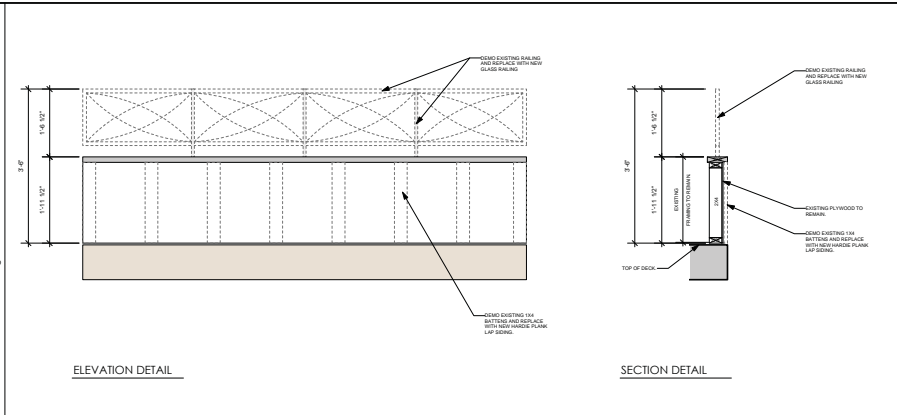




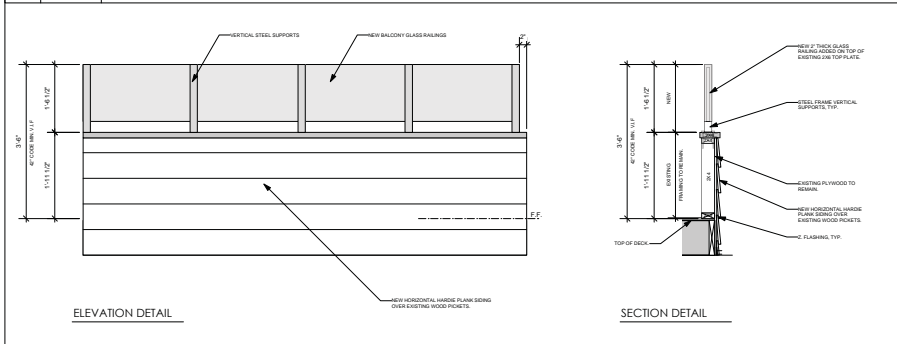
1 1/2" ± 1/0" TYPICAL STAIR DETAIL



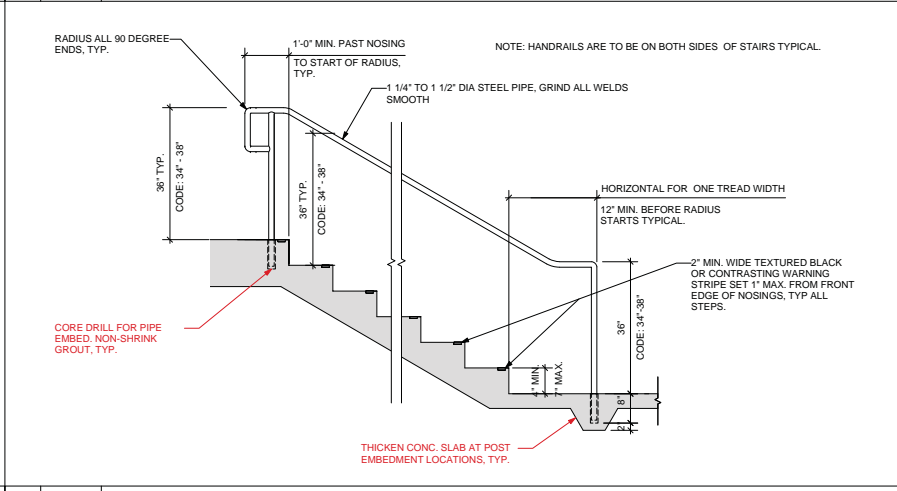
2 1/2" ± 1/0" TYPICAL STAIR PLAN DETAIL



3 3/4" ± 1/0" EXISTING BALCONY DETAIL

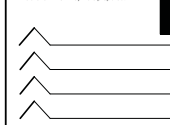


4 3/4" ± 1/0" NEW BALCONY DETAIL

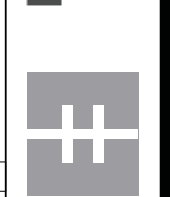


5 3/4" ± 1/0" ENTRANCE STAIR RAILING DETAIL, TYP.

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**MENLO AVE APARTMENTS**  
EXTERIOR REMODELING  
825 MENLO AVENUE  
MENLO PARK, CA 94025

DATE 11.13.15  
DRAWN IP/JL/GP  
JOB NO 1528

A-8.0

RECEIVED

MAR 21 2016

CITY OF MENLO PARK  
BUILDING

February 2, 2016

Planning Staff  
Architectural Control Application for the  
City of Menlo Park, CA

RE: Menlo Avenue Apartments - 825, Menlo Avenue, Menlo Park, CA-94025  
Exterior Remodeling

PROJECT DESCRIPTION:

A part of the Architectural Control application for this project, the following is a letter describing the project in detail, including the purpose of the proposal, the scope of the work, the materials, colors and construction for the work.

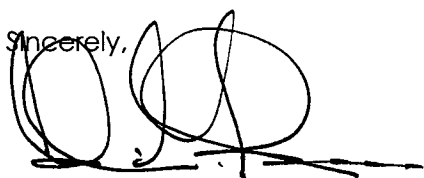
The project is an effort to update a few exterior components of the existing building consisting of 22 apartment units. The purpose is to refresh the building and make it more a more attractive and desirable place for the community, and the residents. It includes the following changes:

- Replacing the existing stair and balcony railings with new steel railings
- Replacing the existing railings on street- facing balconies with new glass railings
- Replacing the board and batten existing on the top half on the front of the building with horizontal lapped siding to visually break the mass of the front wall
- Replacing the enclosure fencing around the pool with new steel and glass railings
- Add a new wood belly band across the ends of the existing corbels
- Add a new stone veneer over the first floor chimney and existing brick facade areas
- Painting the building

The materials are predominantly Hardie Plank lapped siding for the second story of the building , with 2 x 10 detail banding across, and glass railings for the balconies, all on the street facing sides of the buildings. The railings on all the stairs and on the balconies and walkways on the sides of the building away from the street are steel.

The existing use is to remain as originally permitted and there is no change to the area, size, parking, or volume of the building.

Sincerely,



Edwin G. Bruce, AIA, LEED AP  
Architect

Menlo Park El Camino Real/Downtown Specific Plan  
Standards and Guidelines: 825 Menlo Avenue Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.1 Development Intensity</b>			
<b>E.3.1.01</b>	Standard	Business and Professional office (inclusive of medical and dental office) shall not exceed one half of the base FAR or public benefit bonus FAR, whichever is applicable.	Not Applicable: The project does not include business and professional offices.
<b>E.3.1.02</b>	Standard	Medical and Dental office shall not exceed one third of the base FAR or public benefit bonus FAR, whichever is applicable.	Not Applicable: The project does not include medical and dental offices.
<b>E.3.2 Height</b>			
<b>E.3.2.01</b>	Standard	Roof-mounted mechanical equipment, solar panels, and similar equipment may exceed the maximum building height, but shall be screened from view from publicly-accessible spaces.	Not Applicable: No new roof mounted equipment is proposed.
<b>E.3.2.02</b>	Standard	Vertical building projections such as parapets and balcony railings may extend up to 4 feet beyond the maximum façade height or the maximum building height, and shall be integrated into the design of the building.	Not Applicable: No new vertical projections are proposed.
<b>E.3.2.03</b>	Standard	Rooftop elements that may need to exceed the maximum building height due to their function, such as stair and elevator towers, shall not exceed 14 feet beyond the maximum building height. Such rooftop elements shall be integrated into the design of the building.	Not Applicable: No changes are proposed to the rooftop.
<b>E.3.3 Setbacks and Projections within Setbacks</b>			
<b>E.3.3.01</b>	Standard	Front setback areas shall be developed with sidewalks, plazas, and/or landscaping as appropriate.	Not Applicable: There is existing landscaping within the front setback.
<b>E.3.3.02</b>	Standard	Parking shall not be permitted in front setback areas.	Not Applicable: No changes are proposed to the existing parking.
<b>E.3.3.03</b>	Standard	In areas where no or a minimal setback is required, limited setback for store or lobby entry recesses shall not exceed a maximum of 4-foot depth and a maximum of 6-foot width.	Not applicable: The existing building footprint would remain unchanged.

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.3.04</b>	Standard	In areas where no or a minimal setback is required, building projections, such as balconies, bay windows and dormer windows, shall not project beyond a maximum of 3 feet from the building face into the sidewalk clear walking zone, public right-of-way or public spaces, provided they have a minimum 8-foot vertical clearance above the sidewalk clear walking zone, public right-of-way or public space.	Not Applicable: No new vertical projections are proposed.
<b>E.3.3.05</b>	Standard	In areas where setbacks are required, building projections, such as balconies, bay windows and dormer windows, at or above the second habitable floor shall not project beyond a maximum of 5 feet from the building face into the setback area.	Not Applicable: No new projections are proposed. Existing balconies extend one foot from the building facade and do not encroach into the sidewalk or public right of way.
<b>E.3.3.06</b>	Standard	The total area of all building projections shall not exceed 35% of the primary building façade area. Primary building façade is the façade built at the property or setback line.	Not Applicable: No new projections are proposed.
<b>E.3.3.07</b>	Standard	Architectural projections like canopies, awnings and signage shall not project beyond a maximum of 6 feet horizontally from the building face at the property line or at the minimum setback line. There shall be a minimum of 8-foot vertical clearance above the sidewalk, public right-of-way or public space.	Not Applicable: No architectural projections are proposed.
<b>E.3.3.08</b>	Standard	No development activities may take place within the San Francisquito Creek bed, below the creek bank, or in the riparian corridor.	Not Applicable: The site is not near San Francisquito Creek.
<b>E.3.4 Massing and Modulation</b>			
<b>E.3.4.1 Building Breaks</b>			
<b>E.3.4.1.01</b>	Standard	The total of all building breaks shall not exceed 25 percent of the primary façade plane in a development.	Not Applicable: No building breaks are proposed.
<b>E.3.4.1.02</b>	Standard	Building breaks shall be located at ground level and extend the entire building height.	Not Applicable: No building breaks are proposed.
<b>E.3.4.1.03</b>	Standard	In all districts except the ECR-SE zoning district, recesses that function as building breaks shall have minimum dimensions of 20 feet in width and depth and a maximum dimension of 50 feet in width. For the ECR-SE zoning district, recesses that function as building breaks shall have a minimum dimension of 60 feet in width and 40 feet in depth.	Not Applicable: No building recesses functioning as breaks are proposed.

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.4.1.04</b>	Standard	Building breaks shall be accompanied with a major change in fenestration pattern, material and color to have a distinct treatment for each volume.	Not Applicable: No building breaks are proposed.
<b>E.3.4.1.05</b>	Standard	In all districts except the ECR-SE zoning district, building breaks shall be required as shown in Table E3.	Not Applicable: Existing building with no building breaks proposed.
<b>E.3.4.1.06</b>	Standard	<p>In the ECR-SE zoning district, and consistent with Table E4 the building breaks shall:</p> <ul style="list-style-type: none"> <li>• Comply with Figure E9;</li> <li>• Be a minimum of 60 feet in width, except where noted on Figure E9;</li> <li>• Be a minimum of 120 feet in width at Middle Avenue;</li> <li>• Align with intersecting streets, except for the area between Roble Avenue and Middle Avenue;</li> <li>• Be provided at least every 350 feet in the area between Roble Avenue and Middle Avenue; where properties under different ownership coincide with this measurement, the standard side setbacks (10 to 25 feet) shall be applied, resulting in an effective break of between 20 to 50 feet.</li> <li>• Extend through the entire building height and depth at Live Oak Avenue, Roble Avenue, Middle Avenue, Partridge Avenue and Harvard Avenue; and</li> <li>• Include two publicly-accessible building breaks at Middle Avenue and Roble Avenue.</li> </ul>	Not Applicable: Site is not in the ECR-SE zoning district.
<b>E.3.4.1.07</b>	Standard	In the ECR-SE zoning district, the Middle Avenue break shall include vehicular access; publicly-accessible open space with seating, landscaping and shade; retail and restaurant uses activating the open space; and a pedestrian/bicycle connection to Alma Street and Burgess Park. The Roble Avenue break shall include publicly-accessible open space with seating, landscaping and shade.	Not Applicable: Site is not in the ECR-SE zoning district.
<b>E.3.4.1.08</b>	Guideline	In the ECR-SE zoning district, the breaks at Live Oak, Roble, Middle, Partridge and Harvard Avenues may provide vehicular access.	Not Applicable: Site is not in the ECR-SE zoning district.
<b>E.3.4.2 Façade Modulation and Treatment</b>			

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Standards and Guidelines: 825 Menlo Avenue Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.4.2.01</b>	Standard	Building façades facing public rights-of-way or public open spaces shall not exceed 50 feet in length without a minor building façade modulation. At a minimum of every 50' façade length, the <b>minor vertical façade modulation</b> shall be a minimum 2 feet deep by 5 feet wide recess or a minimum 2 foot setback of the building plane from the primary building façade.	Not Applicable: Existing building façade would remain substantially intact, and would not trigger the minor vertical façade modulation requirement.
<b>E.3.4.2.02</b>	Standard	Building façades facing public rights-of-way or public open spaces shall not exceed 100 feet in length without a major building modulation. At a minimum of every 100 feet of façade length, a <b>major vertical façade modulation</b> shall be a minimum of 6 feet deep by 20 feet wide recess or a minimum of 6 feet setback of building plane from primary building façade for the full height of the building. This standard applies to all districts except ECR NE-L and ECR SW since those two districts are required to provide a building break at every 100 feet.	Not Applicable: Existing building façade would remain substantially intact, and would not trigger the major vertical façade modulation requirement.
<b>E.3.4.2.03</b>	Standard	In addition, the major building façade modulation shall be accompanied with a 4-foot minimum height modulation and a major change in fenestration pattern, material and/or color.	Not Applicable: Existing building façade would remain substantially intact, and would not trigger the major vertical façade modulation requirement.
<b>E.3.4.2.04</b>	Guideline	Minor façade modulation may be accompanied with a change in fenestration pattern, and/or material, and/or color, and/or height.	Not Applicable: Existing building façade would remain substantially intact, and would not trigger the minor vertical façade modulation requirement.
<b>E.3.4.2.05</b>	Guideline	Buildings should consider sun shading mechanisms, like overhangs, <i>bris soleils</i> and clerestory lighting, as façade articulation strategies.	Not Applicable: Existing building façade would remain substantially intact.
<b>E.3.4.3 Building Profile</b>			
<b>E.3.4.3.01</b>	Standard	The 45-degree building profile shall be set at the minimum setback line to allow for flexibility and variation in building façade height within a district.	Not applicable: Existing building is not proposed to be heavily modified.
<b>E.3.4.3.02</b>	Standard	Horizontal building and architectural projections, like balconies, bay windows, dormer windows, canopies, awnings, and signage, beyond the 45-degree building profile shall comply with the standards for Building Setbacks & Projection within Setbacks (E.3.3.04 to E.3.3.07) and shall be integrated into the design of the building.	Not applicable: Existing building is not proposed to be heavily modified.



Menlo Park El Camino Real/Downtown Specific Plan  
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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.4.3.03</b>	Standard	Vertical building projections like parapets and balcony railings shall not extend 4 feet beyond the 45-degree building profile and shall be integrated into the design of the building.	Not applicable: No new projections are proposed.
<b>E.3.4.3.04</b>	Standard	Rooftop elements that may need to extend beyond the 45-degree building profile due to their function, such as stair and elevator towers, shall be integrated into the design of the building.	Not Applicable: No new rooftop elements are proposed.
<b>E.3.4.4 Upper Story Façade Length</b>			
<b>E.3.4.4.01</b>	Standard	Building stories above the 38-foot façade height shall have a maximum allowable façade length of 175 feet along a public right-of-way or public open space.	Not Applicable: The building is less than 38 feet in height.
<b>E.3.5 Ground Floor Treatment, Entry and Commercial Frontage</b>			
<b>Ground Floor Treatment</b>			
<b>E.3.5.01</b>	Standard	The retail or commercial ground floor shall be a minimum 15-foot floor-to-floor height to allow natural light into the space.	Not Applicable: No commercial or retail uses are proposed.
<b>E.3.5.02</b>	Standard	Ground floor commercial buildings shall have a minimum of 50% transparency (i.e., clear-glass windows) for retail uses, office uses and lobbies to enhance the visual experience from the sidewalk and street. Heavily tinted or mirrored glass shall not be permitted.	Not Applicable: No commercial uses are proposed.
<b>E.3.5.03</b>	Guideline	Buildings should orient ground-floor retail uses, entries and direct-access residential units to the street.	Not Applicable: No retail is proposed.
<b>E.3.5.04</b>	Guideline	Buildings should activate the street by providing visually interesting and active uses, such as retail and personal service uses, in ground floors that face the street. If office and residential uses are provided, they should be enhanced with landscaping and interesting building design and materials.	Complies: Existing landscaping visually enhances the ground floor residential use.
<b>E.3.5.05</b>	Guideline	For buildings where ground floor retail, commercial or residential uses are not desired or viable, other project-related uses, such as a community room, fitness center, daycare facility or sales center, should be located at the ground floor to activate the street.	Complies: Existing residential uses are located on the ground floor.

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.5.06</b>	Guideline	Blank walls at ground floor are discouraged and should be minimized. When unavoidable, continuous lengths of blank wall at the street should use other appropriate measures such as landscaping or artistic intervention, such as murals.	Not Applicable: Existing windows and balconies break up walls and no changes are proposed to their size or locations.
<b>E.3.5.07</b>	Guideline	Residential units located at ground level should have their floors elevated a minimum of 2 feet to a maximum of 4 feet above the finished grade sidewalk for better transition and privacy, provided that accessibility codes are met.	Not Applicable: Existing ground level units are elevated and no changes are proposed.
<b>E.3.5.08</b>	Guideline	Architectural projections like canopies and awnings should be integrated with the ground floor and overall building design to break up building mass, to add visual interest to the building and provide shelter and shade.	Not Applicable: No architectural projections are proposed.
<b>Building Entries</b>			
<b>E.3.5.09</b>	Standard	Building entries shall be oriented to a public street or other public space. For larger residential buildings with shared entries, the main entry shall be through prominent entry lobbies or central courtyards facing the street. From the street, these entries and courtyards provide additional visual interest, orientation and a sense of invitation.	Not Applicable: No changes are proposed to building entries.
<b>E.3.5.10</b>	Guideline	Entries should be prominent and visually distinctive from the rest of the façade with creative use of scale, materials, glazing, projecting or recessed forms, architectural details, color, and/or awnings.	Not Applicable: No changes are proposed to building entries.
<b>E.3.5.11</b>	Guideline	Multiple entries at street level are encouraged where appropriate.	Not Applicable: No changes are proposed to building entries.
<b>E.3.5.12</b>	Guideline	Ground floor residential units are encouraged to have their entrance from the street.	Not Applicable: No changes are proposed to building entries.
<b>E.3.5.13</b>	Guideline	Stoops and entry steps from the street are encouraged for individual unit entries when compliant with applicable accessibility codes. Stoops associated with landscaping create inviting, usable and visually attractive transitions from private spaces to the street.	Not Applicable: No changes are proposed to building entries.
<b>E.3.5.14</b>	Guideline	Building entries are allowed to be recessed from the primary building façade.	Not Applicable: No changes are proposed to building entries.
<b>Commercial Frontage</b>			

Menlo Park El Camino Real/Downtown Specific Plan  
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<b><u>Section</u></b>	<b><u>Standard or Guideline</u></b>	<b><u>Requirement</u></b>	<b><u>Evaluation</u></b>
<b>E.3.5.15</b>	Standard	Commercial windows/storefronts shall be recessed from the primary building façade a minimum of 6 inches	Not Applicable: No retail uses are proposed.
<b>E.3.5.16</b>	Standard	Retail frontage, whether ground floor or upper floor, shall have a minimum 50% of the façade area transparent with clear vision glass, not heavily tinted or highly mirrored glass.	Not Applicable: No retail uses are proposed.
<b>E.3.5.17</b>	Guideline	Storefront design should be consistent with the building's overall design and contribute to establishing a well-defined ground floor for the façade along streets.	Not Applicable: No retail uses are proposed.
<b>E.3.5.18</b>	Guideline	The distinction between individual storefronts, entire building façades and adjacent properties should be maintained.	Not Applicable: No retail uses are proposed.
<b>E.3.5.19</b>	Guideline	Storefront elements such as windows, entrances and signage should provide clarity and lend interest to the façade.	Not Applicable: No retail uses are proposed.
<b>E.3.5.20</b>	Guideline	Individual storefronts should have clearly defined bays. These bays should be no greater than 20 feet in length. Architectural elements, such as piers, recesses and projections help articulate bays.	Not Applicable: No retail uses are proposed.
<b>E.3.5.21</b>	Guideline	All individual retail uses should have direct access from the public sidewalk. For larger retail tenants, entries should occur at lengths at a maximum at every 50 feet, consistent with the typical lot size in downtown.	Not Applicable: No retail uses are proposed.
<b>E.3.5.22</b>	Guideline	Recessed doorways for retail uses should be a minimum of two feet in depth. Recessed doorways provide cover or shade, help identify the location of store entrances, provide a clear area for out-swinging doors and offer the opportunity for interesting paving patterns, signage and displays.	Not Applicable: No retail uses are proposed.
<b>E.3.5.23</b>	Guideline	Storefronts should remain un-shuttered at night and provide clear views of interior spaces lit from within. If storefronts must be shuttered for security reasons, the shutters should be located on the inside of the store windows and allow for maximum visibility of the interior.	Not Applicable: No storefronts are proposed.
<b>E.3.5.24</b>	Guideline	Storefronts should not be completely obscured with display cases that prevent customers and pedestrians from seeing inside.	Not Applicable: No storefronts are proposed.

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.5.25</b>	Guideline	Signage should not be attached to storefront windows.	Not Applicable: No storefronts are proposed.
<b>E.3.6 Open Space</b>			
<b>E.3.6.01</b>	Standard	Residential developments or Mixed Use developments with residential use shall have a minimum of 100 square feet of open space per unit created as common open space or a minimum of 80 square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of 6 feet by 6 feet. In case of a mix of private and common open space, such common open space shall be provided at a ratio equal to 1.25 square feet for each one square foot of private open space that is not provided.	Not Applicable: No changes to the existing open space are proposed.
<b>E.3.6.02</b>	Standard	Residential open space (whether in common or private areas) and accessible open space above parking podiums up to 16 feet high shall count towards the minimum open space requirement for the development.	Not Applicable: No changes to the existing open space are proposed.
<b>E.3.6.03</b>	Guideline	Private and/or common open spaces are encouraged in all developments as part of building modulation and articulation to enhance building façade.	Not Applicable: No changes to the existing open space are proposed.
<b>E.3.6.04</b>	Guideline	Private development should provide accessible and usable common open space for building occupants and/or the general public.	Not Applicable: No changes to the existing open space are proposed.
<b>E.3.6.05</b>	Guideline	For residential developments, private open space should be designed as an extension of the indoor living area, providing an area that is usable and has some degree of privacy.	Complies: Existing balconies are recessed and flush with the exterior wall of the building.
<b>E.3.6.06</b>	Guideline	Landscaping in setback areas should define and enhance pedestrian and open space areas. It should provide visual interest to streets and sidewalks, particularly where building façades are long.	Not Applicable: No changes are proposed to the existing landscaping.
<b>E.3.6.07</b>	Guideline	Landscaping of private open spaces should be attractive, durable and drought-resistant.	Not Applicable: No changes are proposed to the existing landscaping.
<b>E.3.7 Parking, Service and Utilities</b>			
<b>General Parking and Service Access</b>			

Menlo Park El Camino Real/Downtown Specific Plan  
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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.7.01</b>	Guideline	The location, number and width of parking and service entrances should be limited to minimize breaks in building design, sidewalk curb cuts and potential conflicts with streetscape elements.	Not applicable: No changes are proposed to existing entrances.
<b>E.3.7.02</b>	Guideline	In order to minimize curb cuts, shared entrances for both retail and residential use are encouraged. In shared entrance conditions, secure access for residential parking should be provided.	Not Applicable: No retail uses are proposed.
<b>E.3.7.03</b>	Guideline	When feasible, service access and loading docks should be located on secondary streets or alleys and to the rear of the building.	Not Applicable: The project would renovate exterior of an existing multi-family building, no loading docks are proposed.
<b>E.3.7.04</b>	Guideline	The size and pattern of loading dock entrances and doors should be integrated with the overall building design.	Not applicable: No loading docks are proposed.
<b>E.3.7.05</b>	Guideline	Loading docks should be screened from public ways and adjacent properties to the greatest extent possible. In particular, buildings that directly adjoin residential properties should limit the potential for loading-related impacts, such as noise. Where possible, loading docks should be internal to the building envelope and equipped with closable doors. For all locations, loading areas should be kept clean.	Not applicable: No loading docks are proposed.
<b>E.3.7.06</b>	Guideline	Surface parking should be visually attractive, address security and safety concerns, retain existing mature trees and incorporate canopy trees for shade. See Section D.5 for more complete guidelines regarding landscaping in parking areas.	Not Applicable: No changes are proposed to the existing parking.
<b>Utilities</b>			
<b>E.3.7.07</b>	Guideline	All utilities in conjunction with new residential and commercial development should be placed underground.	Not Applicable: Proposed project would renovate exterior of an existing multi-family building, and would not result in redevelopment of the site.
<b>E.3.7.08</b>	Guideline	Above ground meters, boxes and other utility equipment should be screened from public view through use of landscaping or by integrating into the overall building design.	Not Applicable: No new utility equipment is proposed.
<b>Parking Garages</b>			

Menlo Park El Camino Real/Downtown Specific Plan  
Standards and Guidelines: 825 Menlo Avenue Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.7.09</b>	Standard	To promote the use of bicycles, secure bicycle parking shall be provided at the street level of public parking garages. Bicycle parking is also discussed in more detail in Section F.5 "Bicycle Storage Standards and Guidelines."	Not Applicable: No changes are proposed to the existing parking.
<b>E.3.7.10</b>	Guideline	Parking garages on downtown parking plazas should avoid monolithic massing by employing change in façade rhythm, materials and/or color.	Not Applicable: No changes are proposed to the existing parking.
<b>E.3.7.11</b>	Guideline	To minimize or eliminate their visibility and impact from the street and other significant public spaces, parking garages should be underground, wrapped by other uses (i.e. parking podium within a development) and/or screened from view through architectural and/or landscape treatment.	Not Applicable: No changes are proposed to the existing underground parking.
<b>E.3.7.12</b>	Guideline	Whether free-standing or incorporated into overall building design, garage façades should be designed with a modulated system of vertical openings and pilasters, with design attention to an overall building façade that fits comfortably and compatibly into the pattern, articulation, scale and massing of surrounding building character.	Not Applicable: No changes are proposed to the existing parking.
<b>E.3.7.13</b>	Guideline	Shared parking is encouraged where feasible to minimize space needs, and it is effectively codified through the plan's off-street parking standards and allowance for shared parking studies.	Not Applicable: No changes are proposed to the existing parking.
<b>E.3.7.14</b>	Guideline	A parking garage roof should be approached as a usable surface and an opportunity for sustainable strategies, such as installment of a green roof, solar panels or other measures that minimize the heat island effect.	Not Applicable: No changes are proposed to the existing underground parking.
<b>E.3.8 Sustainable Practices</b>			
<b>Overall Standards</b>			
<b>E.3.8.01</b>	Standard	Unless the Specific Plan area is explicitly exempted, all citywide sustainability codes or requirements shall apply.	Acknowledged.
<b>Overall Guidelines</b>			
<b>E.3.8.02</b>	Guideline	Because green building standards are constantly evolving, the requirements in this section should be reviewed and updated on a regular basis of at least every two years.	Acknowledged.
<b>Leadership in Energy and Environmental Design (LEED) Standards</b>			

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.8.03</b>	Standard	<p>Development shall achieve LEED certification, at Silver level or higher, or a LEED Silver equivalent standard for the project types listed below. For LEED certification, the applicable standards include LEED New Construction; LEED Core and Shell; LEED New Homes; LEED Schools; and LEED Commercial Interiors. Attainment shall be achieved through LEED certification or through a City-approved outside auditor for those projects pursuing a LEED equivalent standard. The requirements, process and applicable fees for an outside auditor program shall be established by the City and shall be reviewed and updated on a regular basis. LEED certification or equivalent standard, at a Silver level or higher, shall be required for:</p> <ul style="list-style-type: none"> <li>• Newly constructed residential buildings of Group R (single-family, duplex and multi-family);</li> <li>• Newly constructed commercial buildings of Group B (occupancies including among others office, professional and service type transactions) and Group M (occupancies including among others display or sale of merchandise such as department stores, retail stores, wholesale stores, markets and sales rooms) that are 5,000 gross square feet or more;</li> <li>• New first-time build-outs of commercial interiors that are 20,000 gross square feet or more in buildings of Group B and M occupancies; and</li> <li>• Major alterations that are 20,000 gross square feet or more in existing buildings of Group B, M and R occupancies, where interior finishes are removed and significant upgrades to structural and mechanical, electrical and/or plumbing systems are proposed.</li> </ul> <p>All residential and/or mixed use developments of sufficient size to require LEED certification or equivalent standard under the Specific Plan shall install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces provided. Per the Climate Action Plan the complying applicant could receive incentives, such as streamlined permit processing, fee discounts, or design templates.</p>	Not Applicable: The proposed renovations to an existing multi-family development would not trigger the need for LEED certification.
<b>Leadership in Energy and Environmental Design (LEED) Guidelines</b>			

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.8.04</b>	Guideline	<p>The development of larger projects allows for more comprehensive sustainability planning and design, such as efficiency in water use, stormwater management, renewable energy sources and carbon reduction features. A larger development project is defined as one with two or more buildings on a lot one acre or larger in size. Such development projects should have sustainability requirements and GHG reduction targets that address neighborhood planning, in addition to the sustainability requirements for individual buildings (See Standard E.3.8.03 above). These should include being certified or equivalently verified at a LEED-ND (neighborhood development), Silver level or higher, and mandating a phased reduction of GHG emissions over a period of time as prescribed in the 2030 Challenge.</p> <p>The sustainable guidelines listed below are also relevant to the project area. They relate to but do not replace LEED certification or equivalent standard rating requirements.</p>	Not Applicable: The site is less than one acre in size and developed with one multi-family building.
<b>Building Design Guidelines</b>			
<b>E.3.8.05</b>	Guideline	Buildings should incorporate narrow floor plates to allow natural light deeper into the interior.	Not Applicable: No changes are proposed to floor plates.
<b>E.3.8.06</b>	Guideline	Buildings should reduce use of daytime artificial lighting through design elements, such as bigger wall openings, light shelves, clerestory lighting, skylights, and translucent wall materials.	Not applicable: No window changes are proposed.
<b>E.3.8.07</b>	Guideline	Buildings should allow for flexibility to regulate the amount of direct sunlight into the interiors. Louvered wall openings or shading devices like <i>bris soleils</i> help control solar gain and check overheating. <i>Bris soleils</i> , which are permanent sun-shading elements, extend from the sun-facing façade of a building, in the form of horizontal or vertical projections depending on sun orientation, to cut out the sun's direct rays, help protect windows from excessive solar light and heat and reduce glare within.	Not applicable: Existing building is not proposed to be heavily modified.



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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.8.08</b>	Guideline	Where appropriate, buildings should incorporate arcades, trellis and appropriate tree planting to screen and mitigate south and west sun exposure during summer. This guideline would not apply to downtown, the station area and the west side of El Camino Real where buildings have a narrower setback and street trees provide shade.	Not Applicable: This property is located in the downtown area.
<b>E.3.8.09</b>	Guideline	Operable windows are encouraged in new buildings for natural ventilation.	Not applicable: No window changes are proposed.
<b>E.3.8.10</b>	Guideline	To maximize use of solar energy, buildings should consider integrating photovoltaic panels on roofs.	Not Applicable: No changes are proposed to the rooftop.
<b>E.3.8.11</b>	Guideline	Inclusion of recycling centers in kitchen facilities of commercial and residential buildings shall be encouraged. The minimum size of recycling centers in commercial buildings should be 20 cubic feet (48 inches wide x 30 inches deep x 24 inches high) to provide for garbage and recyclable materials.	Not Applicable: No interior changes are proposed.
<b>Stormwater and Wastewater Management Guidelines</b>			
<b>E.3.8.12</b>	Guideline	Buildings should incorporate intensive or extensive green roofs in their design. Green roofs harvest rain water that can be recycled for plant irrigation or for some domestic uses. Green roofs are also effective in cutting-back on the cooling load of the air-conditioning system of the building and reducing the heat island effect from the roof surface.	Not Applicable: No changes are proposed to the rooftop.
<b>E.3.8.13</b>	Guideline	Projects should use porous material on driveways and parking lots to minimize stormwater run-off from paved surfaces.	Not Applicable: No changes to paved and impervious surfaces are proposed.
<b>Landscaping Guidelines</b>			
<b>E.3.8.14</b>	Guideline	Planting plans should support passive heating and cooling of buildings and outdoor spaces.	Not Applicable: No changes are proposed to the existing landscaping.
<b>E.3.8.15</b>	Guideline	Regional native and drought resistant plant species are encouraged as planting material.	Not Applicable: No changes are proposed to the existing landscaping.
<b>E.3.8.16</b>	Guideline	Provision of efficient irrigation system is recommended, consistent with the City's Municipal Code Chapter 12.44 "Water-Efficient Landscaping".	Not Applicable: No changes are proposed to the existing landscaping.
<b>Lighting Standards</b>			

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.8.17</b>	Standard	Exterior lighting fixtures shall use fixtures with low cut-off angles, appropriately positioned, to minimize glare into dwelling units and light pollution into the night sky.	Not Applicable: No new lighting is proposed.
<b>E.3.8.18</b>	Standard	Lighting in parking garages shall be screened and controlled so as not to disturb surrounding properties, but shall ensure adequate public security.	Not Applicable: No new lighting is proposed.
<b>Lighting Guidelines</b>			
<b>E.3.8.19</b>	Guideline	Energy-efficient and color-balanced outdoor lighting, at the lowest lighting levels possible, are encouraged to provide for safe pedestrian and auto circulation.	Not Applicable: No new lighting is proposed.
<b>E.3.8.20</b>	Guideline	Improvements should use ENERGY STAR-qualified fixtures to reduce a building's energy consumption.	Not Applicable: No new lighting is proposed.
<b>E.3.8.21</b>	Guideline	Installation of high-efficiency lighting systems with advanced lighting control, including motion sensors tied to dimmable lighting controls or lighting controlled by timers set to turn off at the earliest practicable hour, are recommended.	Not Applicable: No new lighting is proposed.
<b>Green Building Material Guidelines</b>			
<b>E.3.8.22</b>	Guideline	The reuse and recycle of construction and demolition materials is recommended. The use of demolition materials as a base course for a parking lot keeps materials out of landfills and reduces costs.	Not Applicable: The construction demolition waste anticipated would only be 1x2 battens to be removed from the existing building siding. No new parking is proposed.
<b>E.3.8.23</b>	Guideline	The use of products with identifiable recycled content, including post-industrial content with a preference for post-consumer content, are encouraged.	Not Applicable: Proposed products do not use these materials.
<b>E.3.8.24</b>	Guideline	Building materials, components, and systems found locally or regionally should be used, thereby saving energy and resources in transportation.	Complies: The applicant indicated the new steel stair railings would be locally fabricated.
<b>E.3.8.25</b>	Guideline	A design with adequate space to facilitate recycling collection and to incorporate a solid waste management program, preventing waste generation, is recommended.	Tentatively Complies: The existing building has trash and recycling areas at the lower garage level located between the offices and the stairs.
<b>E.3.8.26</b>	Guideline	The use of material from renewable sources is encouraged.	Tentatively Complies: The applicant indicated that the proposed hardie plank lap siding is constructed from natural and sustainable raw materials.

## 825 Menlo Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
AIR QUALITY				
<b>IMPACT BEING ADDRESSED: Impact AIR-1: Implementation of the Specific Plan would result in increased long-term emissions of criteria pollutants associated with construction activities that could contribute substantially to an air quality violation. (Significant)</b>				
<p><i>Mitigation Measure AIR-1a:</i> During construction of individual projects under the Specific Plan, project applicants shall require the construction contractor(s) to implement the following measures required as part of Bay Area Air Quality Management District's (BAAQMD) basic dust control procedures required for construction sites. For projects for which construction emissions exceed one or more of the applicable BAAQMD thresholds, additional measures shall be required as indicated in the list following the Basic Controls.</p> <p><u>Basic Controls that Apply to All Construction Sites</u></p> <ol style="list-style-type: none"> <li>1. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.</li> <li>2. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.</li> <li>3. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.</li> <li>4. All vehicle speeds on unpaved roads shall be limited to 15 mph.</li> <li>5. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.</li> <li>6. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.</li> <li>7. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.</li> </ol>	<p>Exposed surfaces shall be watered twice daily.</p> <p>Trucks carrying demolition debris shall be covered.</p> <p>Dirt carried from construction areas shall be cleaned daily.</p> <p>Speed limit on unpaved roads shall be 15 mph.</p> <p>Roadways, driveways, sidewalks and building pads shall be laid as soon as possible after grading.</p> <p>Idling times shall be minimized to 5 minutes or less; Signage posted at all access points.</p> <p>Construction equipment shall be properly tuned and maintained.</p>	Measures shown on plans, construction documents and on-going during demolition, excavation and construction.	Project sponsor(s) and contractor(s)	PW/CDD

### 825 Menlo Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
8. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.	Signage will be posted with the appropriate contact information regarding dust complaints.			

### CULTURAL RESOURCES

***Impact CUL-1: The proposed Specific Plan could have a significant impact on historic architectural resources. (Potentially Significant)***

**Mitigation Measure CUL-1:** Site Specific Evaluations and Treatment in Accordance with the Secretary of the Interior's Standards:

**Site-Specific Evaluations:** In order to adequately address the level of potential impacts for an individual project and thereby design appropriate mitigation measures, the City shall require project sponsors to complete site-specific evaluations at the time that individual projects are proposed at or adjacent to buildings that are at least 50 years old.

The project sponsor shall be required to complete a site-specific historic resources study performed by a qualified architectural historian meeting the Secretary of the Interior's Standards for Architecture or Architectural History. At a minimum, the evaluation shall consist of a records search, an intensive-level pedestrian field survey, an evaluation of significance using standard National Register Historic Preservation and California Register Historic Preservation evaluation criteria, and recordation of all identified historic buildings and structures on California Department of Parks and Recreation 523 Site Record forms. The evaluation shall describe the historic context and setting, methods used in the investigation, results of the evaluation, and recommendations for management of identified resources. If federal or state funds are involved, certain agencies, such as the Federal Highway Administration and California Department of Transportation (Caltrans), have specific requirements for inventory areas and documentation format.

A qualified architectural historian shall complete a site-specific historic resources study. For structures found to be historic, specify treating conforming to Secretary of the Interior's standards, as applicable.

Simultaneously with a project application submittal.

Qualified architectural historian retained by the Project sponsor(s).

CDD  
**STATUS: COMPLETE:** The historic resource evaluation from Richard Brandi, dated January 22, 2016, concludes that the existing apartment building at the subject property is not a historic resource, and the project will not have an adverse effect on a historic resource, as the property is not eligible for the California Register of Historical Resources. Therefore, the project is not required under CEQA to comply with the Secretary of the Interior's Standards for the Treatment of

### 825 Menlo Avenue Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<b><i>Treatment in Accordance with the Secretary of the Interior's Standards.</i></b> Any future proposed project in the Plan Area that would affect previously recorded historic resources, or those identified as a result of site-specific surveys and evaluations, shall conform to the Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995). The Standards require the preservation of character defining features which convey a building's historical significance, and offers guidance about appropriate and compatible alterations to such structures.				Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings.

#### HAZARDOUS MATERIALS

<b><i>Impact HAZ-3: Hazardous materials used on any individual site during construction activities (i.e., fuels, lubricants, solvents) could be released to the environment through improper handling or storage. (Potentially Significant)</i></b>				
<b><i>Mitigation Measure HAZ-3:</i></b> All development and redevelopment shall require the use of construction Best Management Practices (BMPs) to control handling of hazardous materials during construction to minimize the potential negative effects from accidental release to groundwater and soils. For projects that disturb less than one acre, a list of BMPs to be implemented shall be part of building specifications and approved of by the City Building Department prior to issuance of a building permit.	Implement best management practices to reduce the release of hazardous materials during construction.	Prior to building permit issuance for sites disturbing less than one acre and on-going during construction for all project sites	Project sponsor(s) and contractor(s)	CDD

#### NOISE

<b><i>Impact NOI-1: Construction activities associated with implementation of the Specific Plan would result in substantial temporary or periodic increases in ambient noise levels in the Specific Plan area above levels existing without the Specific Plan and in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies. (Potentially Significant)</i></b>				
<b><i>Mitigation Measure NOI-1a:</i></b> Construction contractors for subsequent development projects within the Specific Plan area shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures, and acoustically attenuating shields or shrouds, etc.) when within 400 feet of sensitive receptor locations. Prior to demolition, grading or building permit issuance, a construction noise control plan that identifies the best available noise control techniques to be implemented, shall be prepared by the construction contractor and submitted to the City for review and approval. The plan shall include, but not be limited to, the following noise control elements:	A construction noise control plan shall be prepared and submitted to the City for review.	Prior to demolition, grading or building permit issuance	Project sponsor(s) and contractor(s)	CDD
	Implement noise control techniques to reduce ambient noise levels.	Measures shown on plans, construction documents and specification and ongoing through construction	Project sponsor(s) and contractor(s)	CDD

**825 Menlo Avenue Project Mitigation Monitoring and Reporting Program**

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<p>* Impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for construction shall be hydraulically or electrically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler shall achieve lower noise levels from the exhaust by approximately 10 dBA. External jackets on the tools themselves shall be used where feasible in order to achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever feasible;</p> <p>* Stationary noise sources shall be located as far from adjacent receptors as possible and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or other measures to the extent feasible; and</p> <p>* When construction occurs near residents, affected parties within 400 feet of the construction area shall be notified of the construction schedule prior to demolition, grading or building permit issuance. Notices sent to residents shall include a project hotline where residents would be able to call and issue complaints. A Project Construction Complaint and Enforcement Manager shall be designated to receive complaints and notify the appropriate City staff of such complaints. Signs shall be posted at the construction site that include permitted construction days and hours, a day and evening contact number for the job site, and day and evening contact numbers, both for the construction contractor and City representative(s), in the event of problems.</p>				



## STAFF REPORT

### Planning Commission

**Meeting Date:**

**5/9/2016**

**Staff Report Number:**

**16-031-PC**

**Consent Calendar:**

**Architectural Control/Greg Warner/1149 Chestnut Street**

### Recommendation

Staff recommends that the Planning Commission approve the architectural control request to modify the exterior of an existing two-story commercial building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district, at 1149 Chestnut Street. The building would be comprehensively updated with stained wood and standing seam metal cladding, metal roof screen, and a new color scheme. The existing first and second floors would be reconfigured to incorporate a major building modulation inset on the west elevation (facing the public parking plaza), but the gross floor area for the building would not increase as part of the project. The recommended actions are contained within Attachment A.

### Policy Issues

Each architectural control request is considered individually. The Planning Commission should consider whether the required architectural control findings can be made for the proposal.

### Background

#### *Site location*

The subject property is located at 1149 Chestnut Street, on the south side of Chestnut Street between Oak Grove Avenue and Santa Cruz Avenue in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. Escondido Lane, a dead-end service alley, is located to the south (rear), and a public parking plaza (#2) is located to the west of the subject property. The property currently consists of a two-story commercial building with small-scale retail and personal service uses on the ground floor and non-medical office uses on the second floor. The existing building was originally constructed in 1960. Surrounding properties are likewise in the SP-ECR/D zoning district, and consist of a mix of commercial uses (retail, restaurant, office, personal services) and a public parking plaza. A location map is included as Attachment B.

### Analysis

#### *Project description*

The applicant is proposing to comprehensively update the architectural design of the building, including modifying the north, west, and south building façades. The east building façade abuts the wall of the adjacent building and is not visible from the street. The floor area would be reconfigured between the two floors to accommodate a major modulation inset along the west elevation (facing public parking plaza),

expansion of the office entry lobby on the first floor, and provision of a trash/recycling bin storage and bicycle parking room on the second floor, but would not result in an increase in gross floor area.

The applicant is currently contemplating a restaurant use to occupy the ground floor, although other commercial uses could be allowed including retail, personal improvement services (i.e., single-purpose fitness studios), and personal services (i.e., barber and beauty shops). Non-medical offices would be allowed on the second floor. Parking for the site is provided through the public parking plazas, and the proposed changes would not affect the parking requirements. The project plans and the applicant's project description letter are included as Attachments C and D, respectively.

### ***Design and materials***

The existing commercial building has retained much of its original architectural elements since its construction in 1960, including light grey stucco and vertical wood siding, white wood trims, and decorative projecting fins on the second floor of the west elevation. The applicant is proposing to comprehensively update the color and material schemes of the existing building.

The proposed contemporary design would include dark vertical standing seam metal cladding, accented with light-stained horizontal wood siding. Dark metal framing for windows and doors would be used, and would match the color of the metal cladding. The north elevation (facing Chestnut Street) would have an entry lobby for the office use and glass storefront door for the retail/restaurant space on the ground floor, with two bays of windows on the second floor. On the west elevation (facing the public parking plaza), window bays on the first and second floors would be aligned, and solar screens consisting of horizontal wood slats would project three feet from second story windows. The south elevation (facing Escondido Lane) would provide service entries to the building, with a covered exterior staircase accessing the rear of the second floor and wood solar screens installed at the staircase. The applicant is also proposing to add new rooftop mechanical installations, which would be screened from view through metal roof screens consisting of darker grey corrugated metal panels with fine perforations, and would be integrated with the design of the building.

The proposed removal and replacement of a significant portion of the wall structure on the west elevation triggers the need to incorporate a major façade modulation inset. The major façade modulation inset at the center of this elevation would be clad in light wood siding, which contrasts with the dark metal cladding of adjacent walls, and its roof parapet would be approximately four feet, three inches taller than the adjacent parapet. A dark metal canopy would project above the entry at the inset. The inset would provide visual relief through its variation in colors, materials, height, and being off-set from the primary building plane, which would address Specific Plan design standards.

The proposed design would be in compliance with ground floor transparency requirements on the north and west elevations, where at least 50 percent of these frontages incorporate transparent glazing. The transparency requirement would not apply to the south elevation, which faces a dead-end service alley and primarily functions as the service entrance for the building. The proposed solar screens and canopy projections into the public right-of-way would also be in compliance with Specific Plan standards.



Staff believes that the proposed changes are appropriate for the proposed retail and office uses, and would be compatible with surrounding commercial buildings. Staff believes these changes would comply with relevant El Camino Real/Downtown Specific Plan design standards and guidelines, as documented in Attachment E, and would represent a comprehensive, cohesive aesthetic update.

### ***Gross floor area***

The proposed renovations would result in a reconfigured floor plan where existing square footage would be reallocated between the two floors. Incorporation of the major façade modulation inset on the west elevation resulted in an overall reduction of floor area. The proposed utility equipment closets, duct space, and the trash/recycling bin storage and bicycle parking room are eligible for exclusion from the gross floor area (GFA) calculation. A summary of the proposed changes to the gross floor area is provided in Table 1 below:

Table 1: Gross Floor Area (GFA) Summary			
Floor	Existing GFA	Proposed GFA	Change
Ground Floor	3,931 sf	3,703 sf	-228 sf
Second Floor	4,012 sf	3,719 sf	-293 sf
TOTAL	7,943 sf	7,422 sf	-521 sf

With the removal of square footage on both floors and other floor plan changes, the proposed project would result in an overall reduction of approximately 521 square feet of gross floor area as compared with existing conditions. The proposed non-medical office use would be at 0.98 Floor Area Ratio (FAR), which is slightly below the 1.0 FAR allowed for non-medical office uses. Any proposal to modify floor area may be subject to further review and discretionary approval.

### ***Correspondence***

Staff has not received any items of correspondence on the proposed project.

### ***Conclusion***

Staff believes that the scale, materials, and proposed design would be compatible with other commercial buildings in the area. The proposed contemporary design elements, such as the metal and wood cladding, wood solar screens, and revised color scheme would update the building's design. The proposed project is a cohesive aesthetic update, and would comply with relevant El Camino Real/Downtown Specific Plan design standards and guidelines. Staff recommends that the Planning Commission approve the proposed project.

### ***Impact on City Resources***

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

## **Environmental Review**

The Specific Plan process included detailed review of projected environmental impacts through a program Environmental Impact Report (EIR), as required by the California Environmental Quality Act (CEQA). In compliance with CEQA requirements, the Draft EIR was released in April 2011, with a public comment period that closed in June 2011. The Final EIR, incorporating responses to Draft EIR comments, as well as text changes to parts of the Draft EIR itself, was released in April 2012, and certified along with the final Plan approvals in June 2012.

The proposed project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines, and as such, no additional environmental analysis is required above and beyond the Specific Plan EIR. However, relevant mitigation measures from this EIR have been applied and would be adopted as part of the Mitigation Monitoring and Reporting Program (MMRP), which is included as Attachment F. Mitigation measures include construction-related best practices regarding noise and the handling of any hazardous materials. The MMRP also includes a completed mitigation measure relating to cultural resources: due to the age of the structure being greater than 50 years, a historic resource evaluation was prepared as part of the initial project review. This review, which was conducted by a qualified architectural historian, concluded that the building is not eligible for listing in the State or National historic registers. Therefore, the proposed project would not result in any significant impacts to historic resources.

## **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

## **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

## **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Project Plans
- D. Project Description Letter
- E. Specific Plan Standards and Guidelines Compliance Worksheet
- F. Mitigation Monitoring and Reporting Program

## **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

Color and Materials Board

Report prepared by:

Jean Lin, Senior Planner

Report reviewed by:

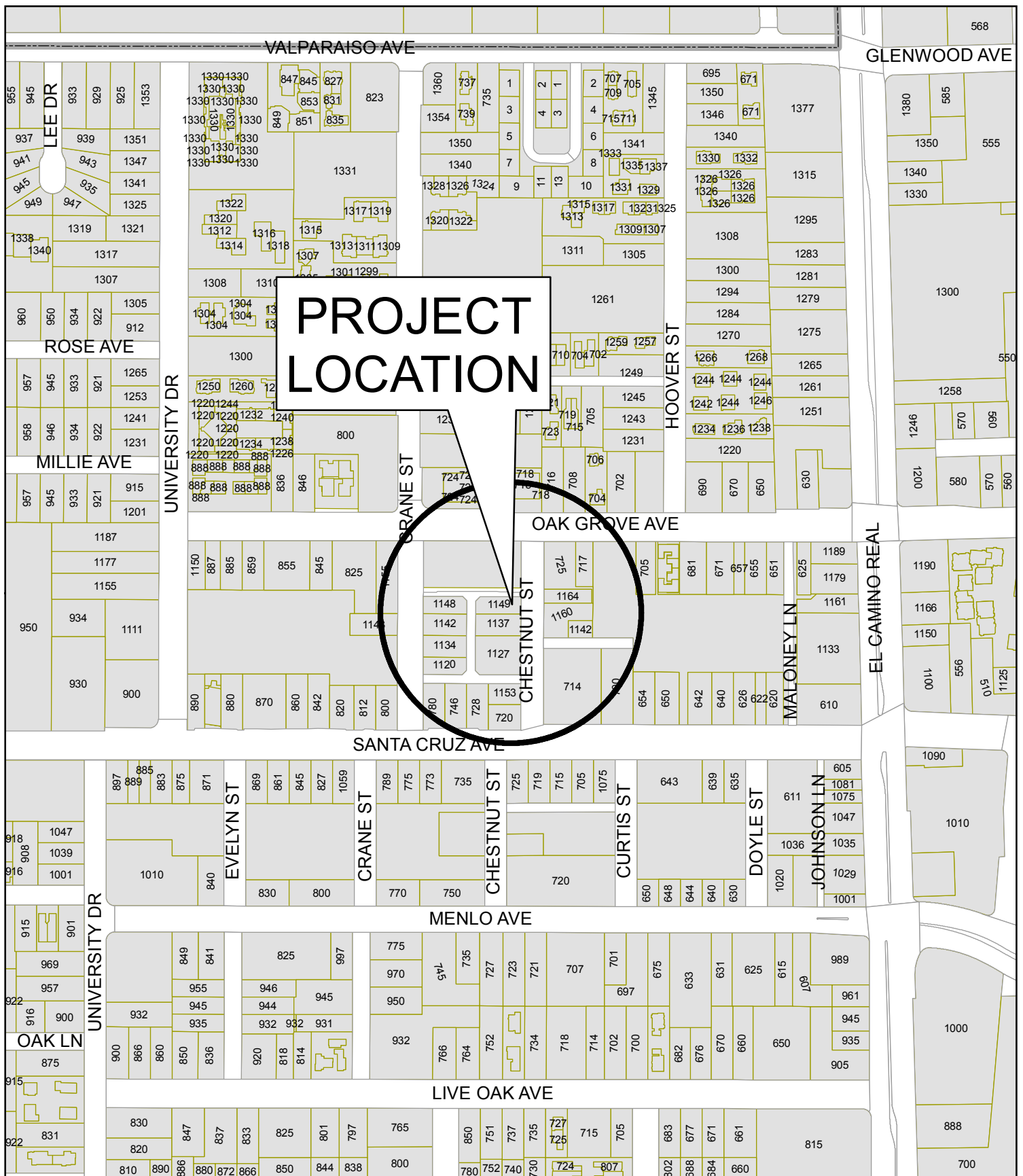
Thomas Rogers, Principal Planner

## 1149 Chestnut Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 1149 Chestnut Street	<b>PROJECT NUMBER:</b> PLN2016-00032	<b>APPLICANT:</b> Greg Warner	<b>OWNER:</b> John M Filice Jr Trust et al
<b>REQUEST:</b> Architectural control request to modify the exterior of an existing two-story commercial building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The building would be comprehensively updated with stained wood and standing seam metal cladding, metal roof screen, and a new color scheme. The existing first and second floors would be reconfigured to incorporate a major building modulation inset on the west elevation (facing the public parking plaza), but the gross floor area for the building would not increase as part of the project.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> May 9, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"><li>Make findings with regard to the California Environmental Quality Act (CEQA) that the proposal is within the scope of the project covered by the El Camino Real/Downtown Specific Plan Program EIR, which was certified on June 5, 2012. Specifically, make findings that:<ol style="list-style-type: none"><li>The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.</li><li>Relevant mitigation measures have been incorporated into the project through the Mitigation Monitoring and Reporting Program (Attachment F), which is approved as part of this finding.</li><li>Upon completion of project improvements, the Specific Plan Maximum Allowable Development will be adjusted by negative 521 square feet of non-residential uses, accounting for the project's net share of the Plan's overall projected development and associated impacts.</li></ol></li><li>Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:<ol style="list-style-type: none"><li>The general appearance of the structure is in keeping with the character of the neighborhood.</li><li>The development will not be detrimental to the harmonious and orderly growth of the City.</li><li>The development will not impair the desirability of investment or occupation in the neighborhood.</li><li>The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking.</li><li>The development is consistent with the El Camino Real/Downtown Specific Plan, as verified in detail in the Standards and Guidelines Compliance Worksheet (Attachment E).</li></ol></li><li>Approve the architectural control subject to the following <b>standard</b> conditions:<ol style="list-style-type: none"><li>Development of the project shall be substantially in conformance with the plans provided by Walker Warner Architects, consisting of 22 plan sheets, dated received May 4, 2016, and approved by the Planning Commission on May 9, 2016 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li></ol></li></ol>			

1149 Chestnut Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 1149 Chestnut Street	<b>PROJECT NUMBER:</b> PLN2016-00032	<b>APPLICANT:</b> Greg Warner	<b>OWNER:</b> John M Filice Jr Trust et al
<b>REQUEST:</b> Architectural control request to modify the exterior of an existing two-story commercial building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The building would be comprehensively updated with stained wood and standing seam metal cladding, metal roof screen, and a new color scheme. The existing first and second floors would be reconfigured to incorporate a major building modulation inset on the west elevation (facing the public parking plaza), but the gross floor area for the building would not increase as part of the project.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> May 9, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b> <ul style="list-style-type: none"><li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, Recology, and utility companies' regulations that are directly applicable to the project.</li><li>c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li><li>d. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li><li>e. Prior to commencing any construction activities in the public right-of-way or public easements, including, but not limited to, installation of the proposed canopy and fenestration treatments over the public sidewalk, the applicant shall obtain an encroachment permit for review and approval of the Engineering Division.</li><li>f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</li></ul>			

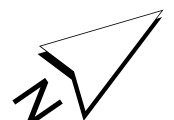


# CITY OF MENLO PARK

## LOCATION MAP

### 1149 CHESTNUT STREET

DRAWN: TAS CHECKED: JPL DATE: 05/09/16 SCALE: 1" = 300' SHEET: 1



1149 CHESTNUT  
MENLO PARK, CALIFORNIA

[illegible]

SHEET : **A0.1**

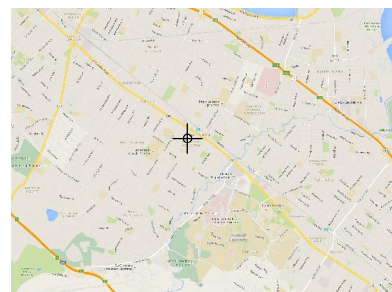
LOCATION:	1149 CHESTNUT STREET MENLO PARK, CA 94025
ASSESSOR'S PARCEL #:	071-094-050
ZONING:	SP-ECD/D
CONSTRUCTION TYPE:	
LOT SIZE:	4,169 SQ.FT.
SETBACKS:	
FRONT:	0'
REAR:	0'
SIDE:	0'
HEIGHT LIMIT:	30' @ FACADE, 38' MAX
FAR:	2.00

EXISTING FIRST FLOOR GFA: = 3,931 SQ.FT.  
EXISTING SECOND FLOOR GFA: = 4,012 SQ.FT.  
TOTAL EXISTING FLOOR AREA GFA: = 7,943 SQ.FT.

PROPOSED FIRST FLOOR GFA: = 3,703 SQ.FT.  
PROPOSED SECOND FLOOR GFA: = 3,719SQ.FT.  
TOTAL PROPOSED FLOOR AREA: = 7,422 SQ.FT.

A0.1	COVER SHEET
A1.1	AREA PLAN, PARCEL MAP
A1.2	SITE PLAN
	SURVEY
A1.3	SQUARE FOOTAGE CALCULATIONS - PROPOSED
A1.4	SQUARE FOOTAGE CALCULATIONS - EXISTING
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS - NORTH, SOUTH & WEST
A3.2	STREETSCAPE
A3.3	STREETSCAPE PHOTOS
A3.4	50% TRANSPARENCY & 35% BUILDING PROJECTION
A4.1	TRANSVERSE SECTIONS
A4.2	LONGITUDINAL SECTIONS
A4.3	LINE OF SIGHT DIAGRAMS
A2.0A	EXISTING FIRST FLOOR PLAN
A2.0B	EXISTING SECOND FLOOR PLAN
A3.0	EXISTING EXTERIOR ELEVATION - NORTH, SOUTH & WEST
A3.0P	EXISTING PHOTOGRAPHS
	PHOTO OF MATERIALS BOARD
	PERSPECTIVE RENDERINGS

## NTS





**Walker | Warner**  
*Architects*  
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San Francisco, California 94105  
415.318.8900 telephone  
415.318.8939 facsimile

1149 CHESTNUT  
MENLO PARK, CALIFORNIA

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JOB NUMBER : \_\_\_\_\_

SHEET : **A1.1**





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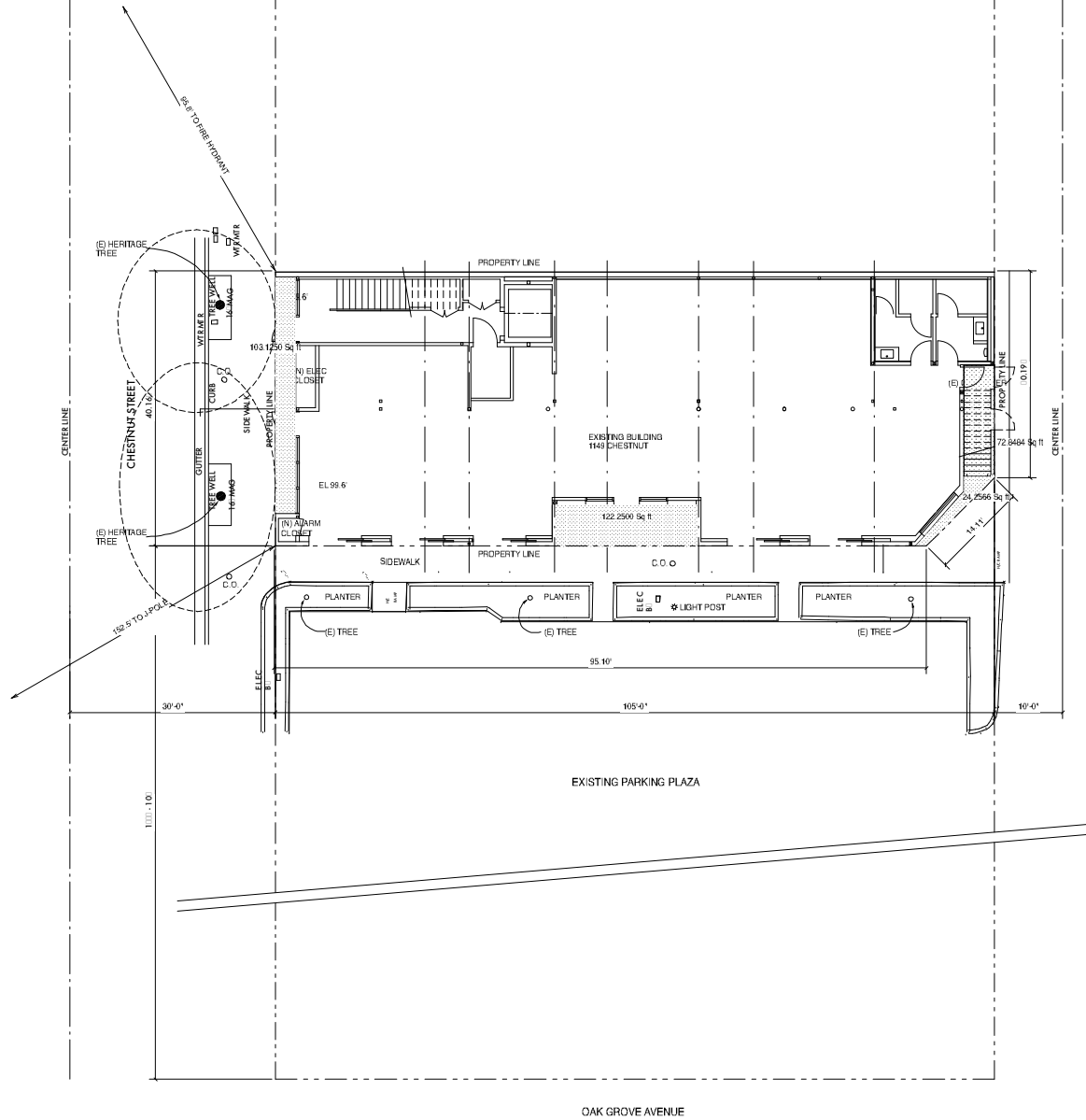
**1149 CHESTNUT**  
MENLO PARK, CALIFORNIA

ISSUED:  
5.09.16

JOB NUMBER:

SHEET:

**A1.2**

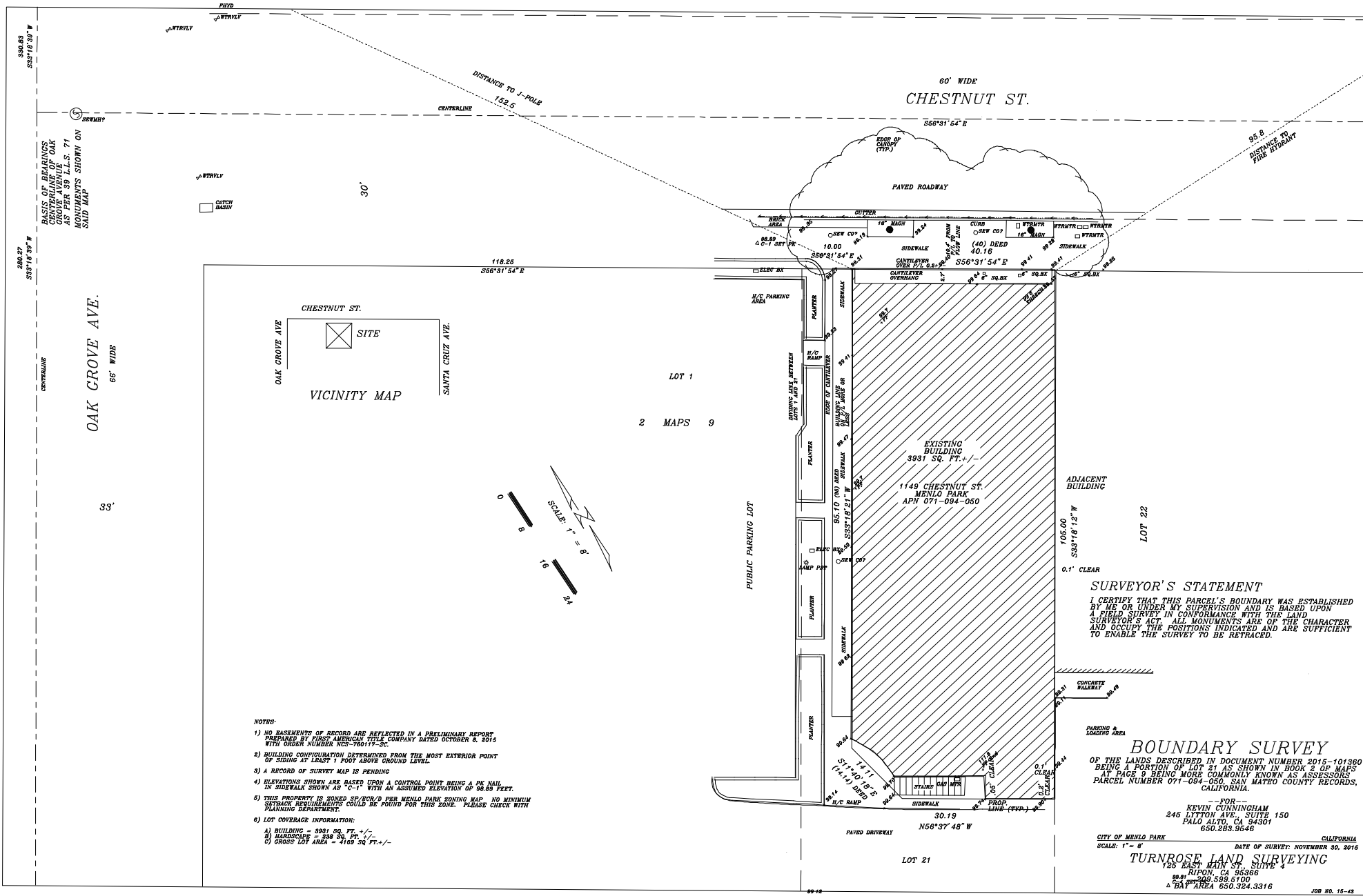


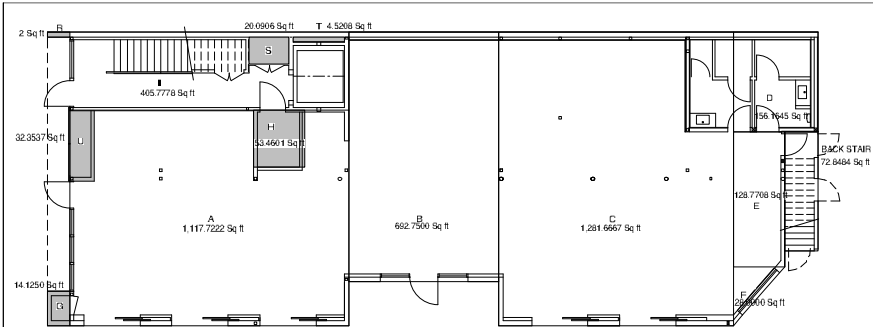
SITE ANALYSIS	
LOT AREA:	4,168 SQUARE FEET
EXISTING FIRST FLOOR GFA:	3,931 S.F.
EXISTING SECOND FLOOR GFA:	4,012 S.F.
TOTAL EXISTING FLOOR AREA:	7,943 S.F.
EXISTING LAND COVERED BY STRUCTURE:	4,007 S.F. (96%)
PROPOSED FIRST FLOOR GFA:	3,703 S.F.
PROPOSED SECOND FLOOR GFA:	3,719 S.F.
TOTAL PROPOSED FLOOR AREA GFA:	7,422 S.F.
PROPOSED LAND COVERED BY STRUCTURE:	3,900 S.F. (93.5%)
PAVED SURFACES:	
FRONT	103.13 S.F.
SIDE	122.25 S.F.
BACK	24.26 S.F.
TOTAL	322.5 S.F. (7.7%)

**1 SITE PLAN**  
A1.2  
1/8" = 1'-0"

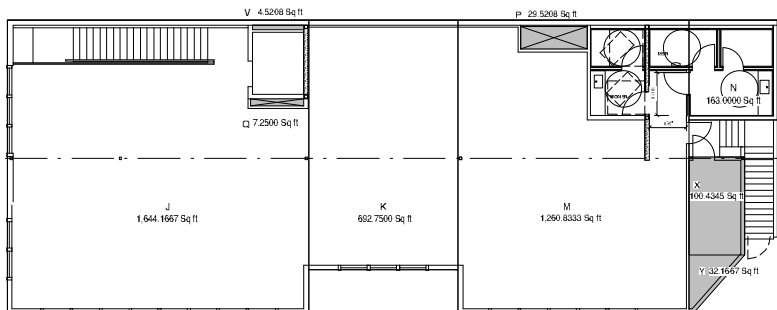


OAK GROVE AVENUE

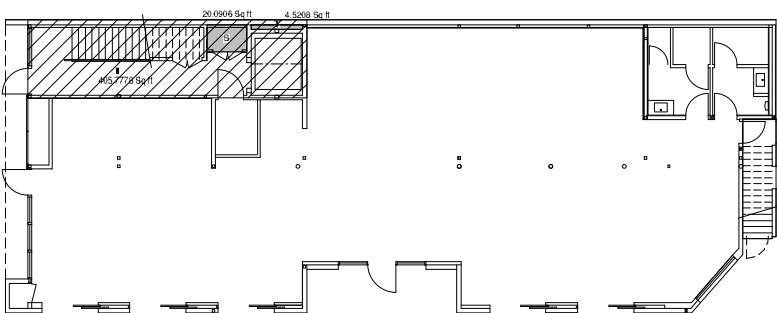




1  
A1.2  
FIRST FLOOR PLAN  
1/8" = 1'-0"



2  
A1.2  
SECOND FLOOR PLAN  
1/8" = 1'-0"



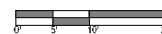
2  
A1.2  
FIRST FLOOR PLAN - OFFICE FLOOR AREA INCLUSION  
1/8" = 1'-0"

OFFICE FLOOR AREA CALCULATIONS			
SECOND FLOOR	AREA		
J	41'-1 1/4" X 40'-0"	1,644.16 SQ. FT.	
K	20'-4 1/2" X 34'-0"	692.75 SQ. FT.	
M	31'-6 1/4" X 40'-0"	1,290.83 SQ. FT.	
N	12'-0" X 13'-7"	163 SQ. FT.	
X	7'-6 1/4" X 13'-4 1/4"	100.43 SQ. FT.	
Y	7'-6 1/4" X 8'-0" / 2	30.08 SQ. FT.	
I	38'-6 1/2" X 10'-8"	405.77 SQ. FT.	LOBBY & ELEVATOR
TOTAL		4,297.62 SQ. FT.	
SECOND FLOOR EXCLUSION			
P	9'-1" X 3'-3"	-29.50 SQ. FT.	MECH DUCT
Q	7'-3" X 1'-0"	-7.25 SQ. FT.	MECH DUCT
S	5'-5" X 3'-8 1/2"	-20 SQ. FT.	SPRINKLER CLOSET
T	7'-0" X 0'-7 3/4"	-4.5 SQ. FT.	VOID SPACE
V	7'-0" X 0'-7 3/4"	-4.5 SQ. FT.	VOID SPACE
X	7'-6 1/4" X 13'-4 1/4"	-100.43 SQ. FT.	TRASH/BIKE STORAGE
Y	7'-6 1/4" X 8'-0" / 2	-30.08 SQ. FT.	TRASH/BIKE STORAGE
SUB TOTAL		-196.26 SQ. FT.	
TOTAL GFA		4,100.76 SQ. FT.	

FLOOR AREA			
LOT SIZE	4,169 SQ. FT.		
FAR = 2.00	8,338 SQ. FT.		
OFFICE 1/2 OF FAR	4,169 SQ. FT.		
PROPOSED FIRST FLOOR - GFA	3,703 SQ. FT.		
PROPOSED SECOND FLOOR - GFA	3,719 SQ. FT.		
TOTAL - GFA	7,422 SQ. FT.		
PROPOSED OFFICE AREA - GFA	4,101 SQ. FT.		

FIRST FLOOR AREA CALCULATIONS			BUILDING COVERAGE CALCULATIONS		
DIMENSIONS	AREA				
A	38'-1 1/4" X 29'-4"	1,117.72 SQ. FT.		A	1,117.72 SQ. FT.
B	20'-4 1/2" X 34'-0"	692.75 SQ. FT.		B	692.75 SQ. FT.
C	32'-0" X 40'-0"	1,281.66 SQ. FT.		C	1,281.66 SQ. FT.
D	11'-5 3/4" X 13'-7 1/4"	156.16 SQ. FT.		D	156.16 SQ. FT.
E	7'-0" X 18'-4 3/4"	128.77 SQ. FT.		E	128.77 SQ. FT.
F	8'-0" X 7'-0" / 2	28 SQ. FT.		F	28 SQ. FT.
G	3'-0" X 4'-6 1/2"	14.125 SQ. FT.	ALARM CLOSET	G	14.125 SQ. FT.
R	8'-1" X 2'-11"	2 SQ. FT.		R	2 SQ. FT.
I	38'-6 1/2" X 10'-8"	405.77 SQ. FT.	LOBBY & ELEVATOR	I	405.77 SQ. FT.
TOTAL		3,826.95 SQ. FT.			
FIRST FLOOR EXCLUSION					
G	3'-0" X 4'-6 1/2"	-14.125 SQ. FT.	ALARM CLOSET		
H	9'-11" X 7'-8 3/4"	-53.46 SQ. FT.	OFFICE ELEVATOR MACHINE ROOM		
S	5'-5" X 3'-8 1/2"	-20 SQ. FT.	SPRINKLER CLOSET		
T	7'-0" X 0'-7 3/4"	-4.5 SQ. FT.	VOID SPACE		
U	3'-4 1/4" X 9'-7 3/4"	-32.35 SQ. FT.	ELECTRICAL CLOSET		
SUB TOTAL		-124.43 SQ. FT.		TOTAL	3,899.79 SQ. FT. (3,900 S.F.)
TOTAL 1ST FLOOR GFA		3,702.5 S.F. (3,703 SQ. FT.)			

SECOND FLOOR AREA CALCULATIONS			
SECOND FLOOR	AREA		
J	41'-1 1/4" X 40'-0"	1,644.16 SQ. FT.	
K	20'-4 1/2" X 34'-0"	692.75 SQ. FT.	
M	31'-6 1/4" X 40'-0"	1,290.83 SQ. FT.	
N	12'-0" X 13'-7"	163 SQ. FT.	
X	7'-6 1/4" X 13'-4 1/4"	100.43 SQ. FT.	
Y	7'-6 1/4" X 8'-0" / 2	30.08 SQ. FT.	
TOTAL 2ND FLOOR		3,891.25 SQ. FT.	
SECOND FLOOR EXCLUSION			
P	9'-1" X 3'-3"	-29.50 SQ. FT.	MECH DUCT
Q	7'-3" X 1'-0"	-7.25 SQ. FT.	MECH DUCT
V	7'-0" X 0'-7 3/4"	-4.5 SQ. FT.	VOID SPACE
X	7'-6 1/4" X 13'-4 1/4"	-100.43 SQ. FT.	TRASH/BIKE STORAGE
Y	7'-6 1/4" X 8'-0" / 2	-30.08 SQ. FT.	TRASH/BIKE STORAGE
SUB TOTAL		-171.76 SQ. FT.	
TOTAL 2ND FLOOR GFA		3,719.49 SQ. FT.	



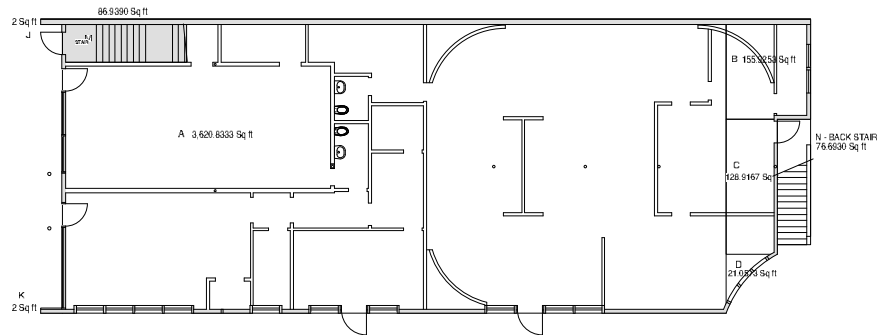
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MENLO PARK, CALIFORNIA

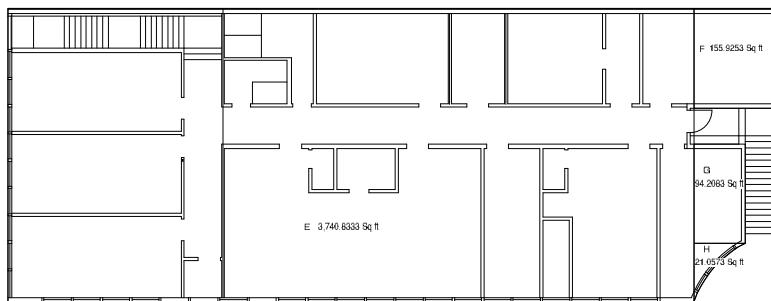
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5 - 09 - 16

JOB NUMBER:

SHEET: **A1.3**



1  
A1.2  
1/8" = 1'-0"



1  
A1.2  
1/8" = 1'-0"



EXISTING FIRST FLOOR AREA CALCULATIONS			BUILDING COVERAGE CALCULATIONS		
DIMENSIONS	AREA				
A 90'-6 1/4" X 40'-0"	3,620.83 SQ. FT.		A	3,620.83 SQ. FT.	
B 11'-5 3/4" X 13'-7"	155.93 SQ. FT.		B	155.93 SQ. FT.	
C 7'-0" X 18'-5"	128.92 SQ. FT.		C	128.92 SQ. FT.	
D 7'-0" X 8'-0" / 2 ARC AREA	21.90 SQ. FT.		D	21.90 SQ. FT.	
J 0'-8" X 2'-11"	2.90 SQ. FT.		J	2.90 SQ. FT.	
K 0'-8" X 2'-11"	2.90 SQ. FT.		K	2.90 SQ. FT.	
TOTAL	3,931.50 SQ. FT.		N	4'-5 3/4" X 17'-1 1/2" = 76.79 SQ. FT.	
			TOTAL	4,007.90 SQ. FT.	

EXISTING SECOND FLOOR AREA CALCULATIONS					
DIMENSIONS	AREA				
E 93'-6 1/4" X 40'-0"	3,740.83 SQ. FT.				
F 11'-5 3/4" X 13'-7"	155.93 SQ. FT.				
G 7'-0" X 13'-5 1/2"	94.21 SQ. FT.				
H 7'-0" X 8'-0" / 2 ARC AREA	21.90 SQ. FT.				
TOTAL	4,012.87 SQ. FT.				

EXISTING OFFICE AREA CALCULATIONS					
DIMENSIONS	AREA				
E 93'-6 1/4" X 40'-0"	3,740.83 SQ. FT.				
F 11'-5 3/4" X 13'-7"	155.93 SQ. FT.				
G 7'-0" X 13'-5 1/2"	94.21 SQ. FT.				
H 7'-0" X 8'-0" / 2 ARC AREA	21.90 SQ. FT.				
M 16'-11 1/2" X 5'-1 1/2"	87.90 SQ. FT.				
TOTAL	4,099.77 SQ. FT.				

STAIR SERVING SECOND FLOOR OFFICES



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**1149 CHESTNUT**  
MENLO PARK, CALIFORNIA

ISSUED:  
5 - 09 - 16

JOB NUMBER:

SHEET:

**A1.4**



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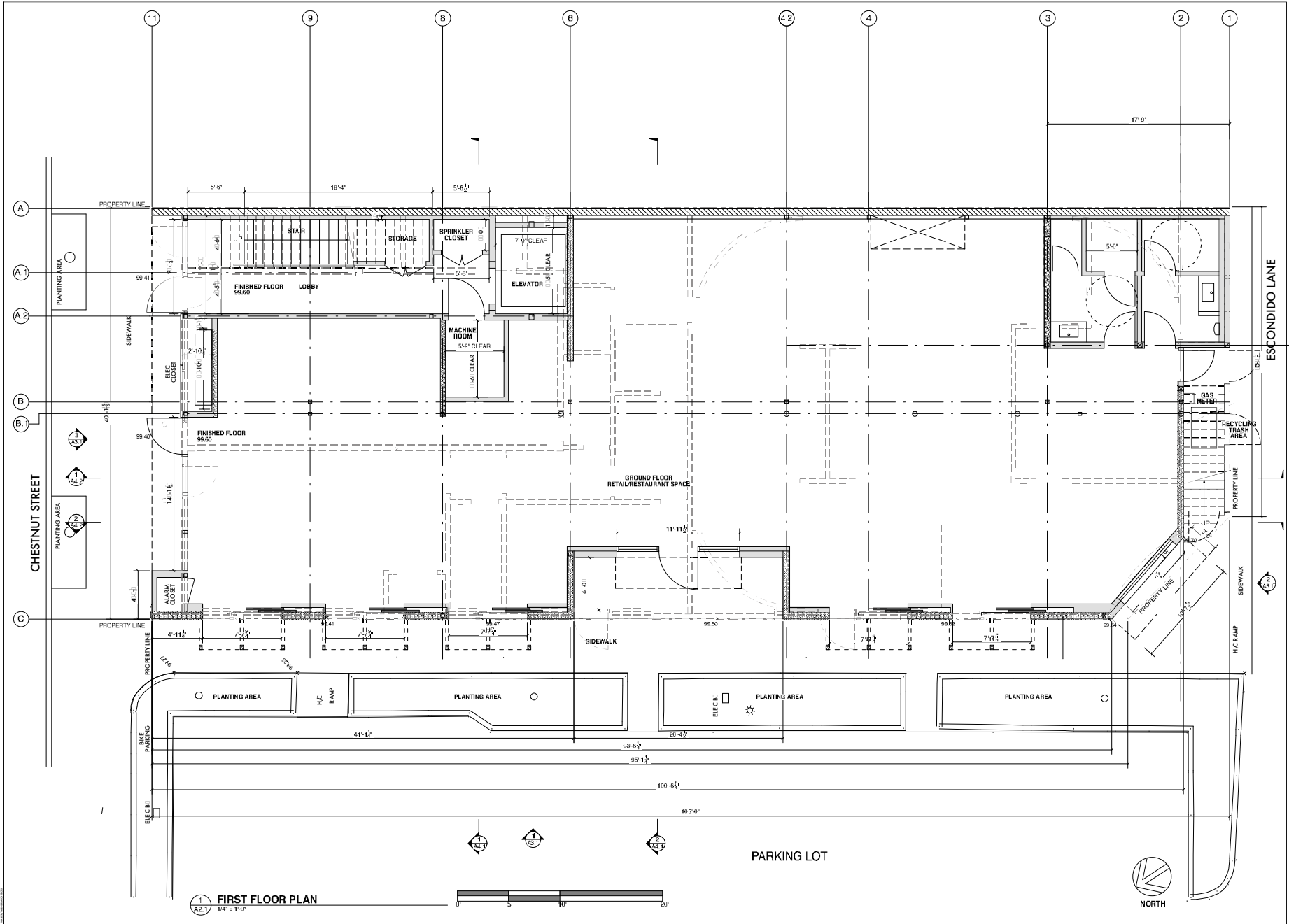
1149 CHESTNUT  
MENLO PARK, CALIFORNIA

ISSUED:  
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A2.1





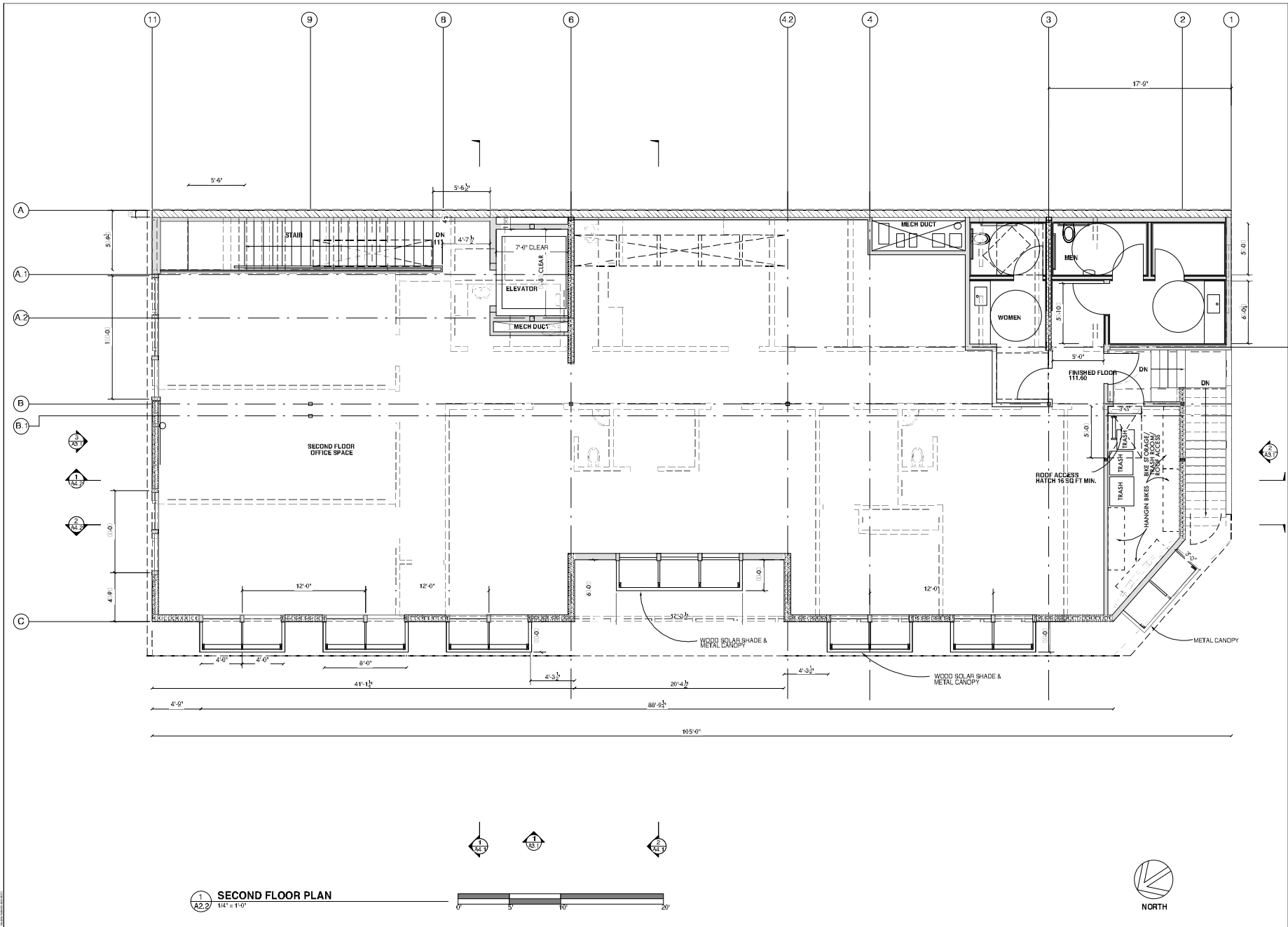
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**1149 CHESTNUT**  
MENLO PARK, CALIFORNIA

ISSUED:  
5.09.16

JOB NUMBER:

SHEET: **A2.2**



**1 SECOND FLOOR PLAN**  
A2.2 1/4" = 1'-0"

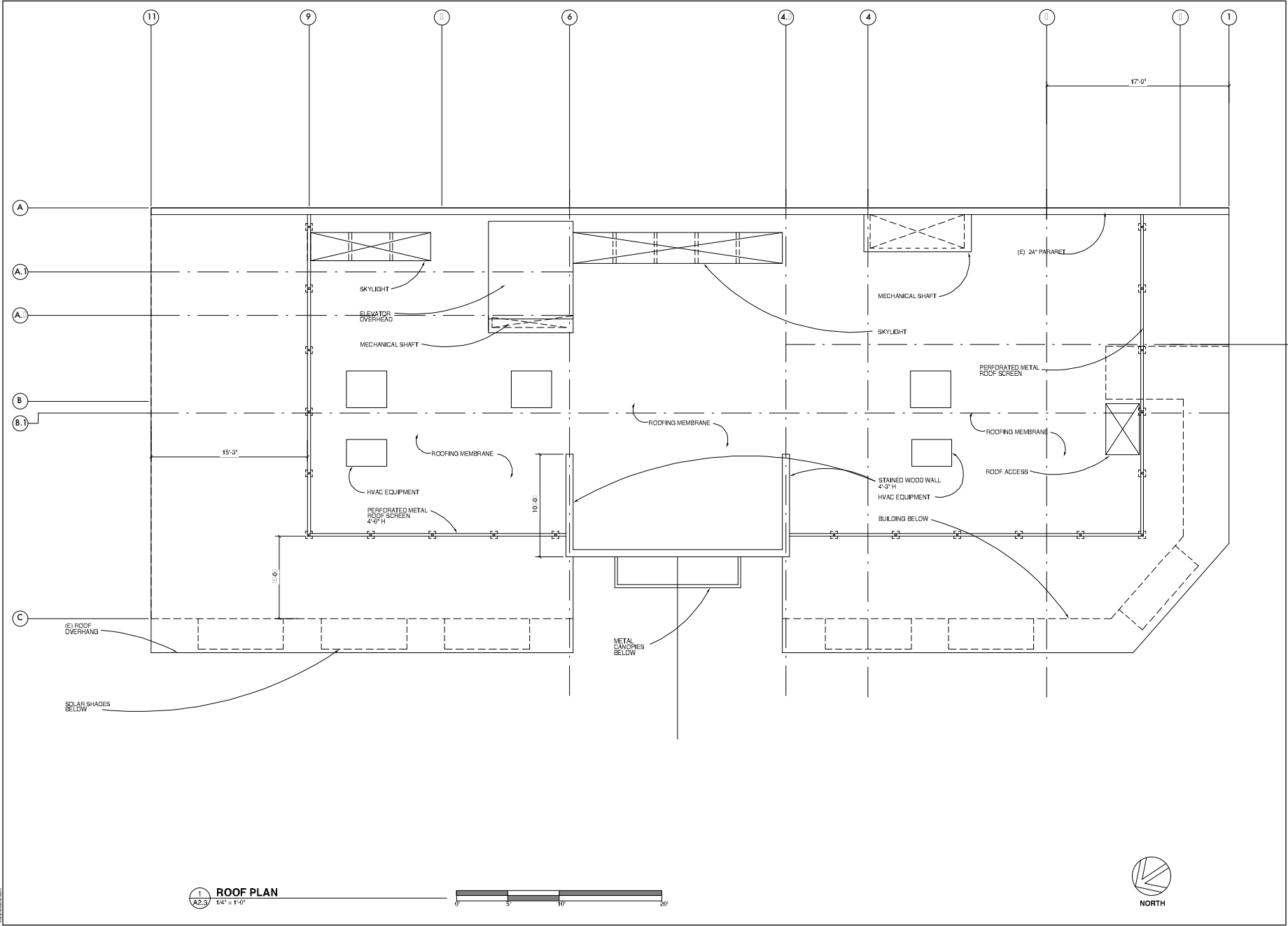


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**1149 CHESTNUT**  
MENLO PARK, CALIFORNIA

ISSUED:  
5.09.16  
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JOB NUMBER:  
SHEET: **A2.3**



**ROOF PLAN**  
A2.3 1/4" = 1'-0"



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**1149 CHESTNUT**  
MENLO PARK, CALIFORNIA

ISSUED:  
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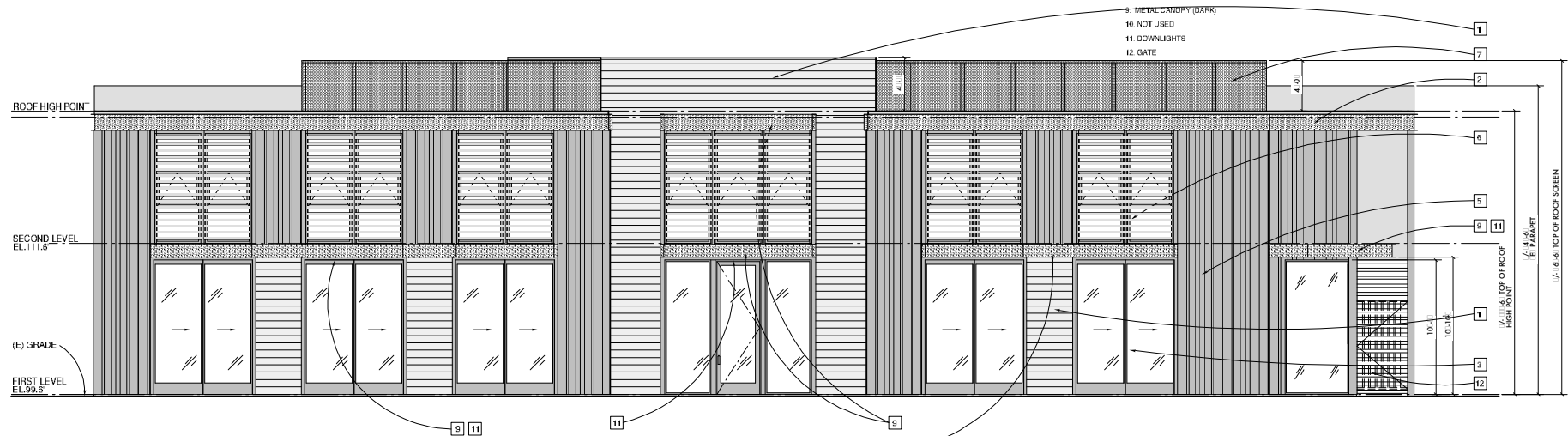
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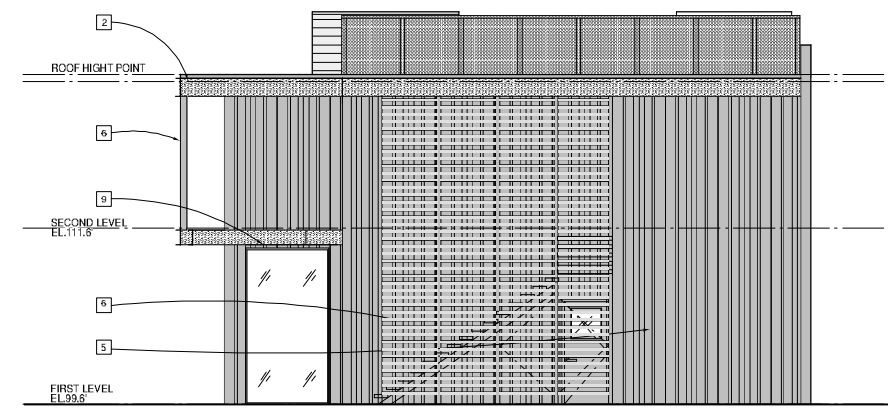
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SHEET: **A3.1**

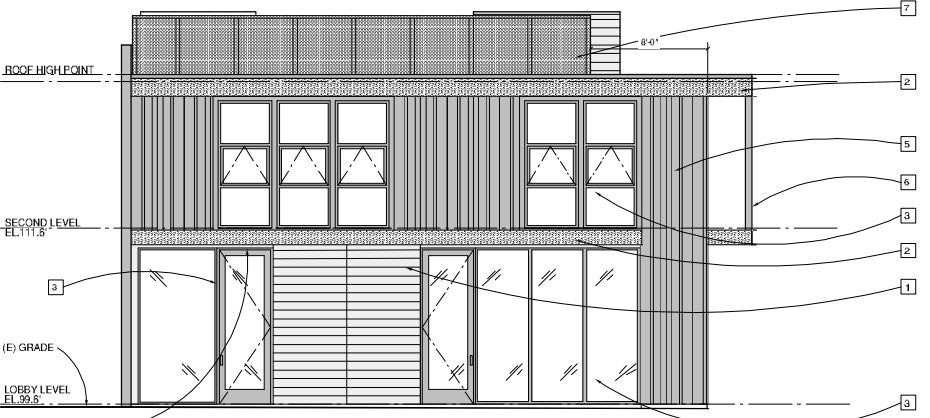
- EXTERIOR FINISH LEGEND**
- 1. WOOD SIDING 2 X 8, STAINED (LIGHT)
  - 2. PAINTED METAL FASCIA (DARK)
  - 3. METAL STOREFRONT SYSTEM (DARK)
  - 4. NOT USED
  - 5. METAL STANDING SEAM, RANDOM (DARK)
  - 6. WOOD SOLAR SHADE 2X6 @ 5' O.C. (LIGHT)
  - 7. METAL ROOF SCREEN (DARK)
  - 8. NOT USED
  - 9. METAL CANOPY (DARK)
  - 10. NOT USED
  - 11. DOWNLIGHTS
  - 12. GATE



**1 WEST ELEVATION (SIDE)**  
1/4" = 1'-0"



**2 SOUTH ELEVATION (REAR)**  
1/4" = 1'-0"



**3 NORTH ELEVATION (FRONT)**  
1/4" = 1'-0"





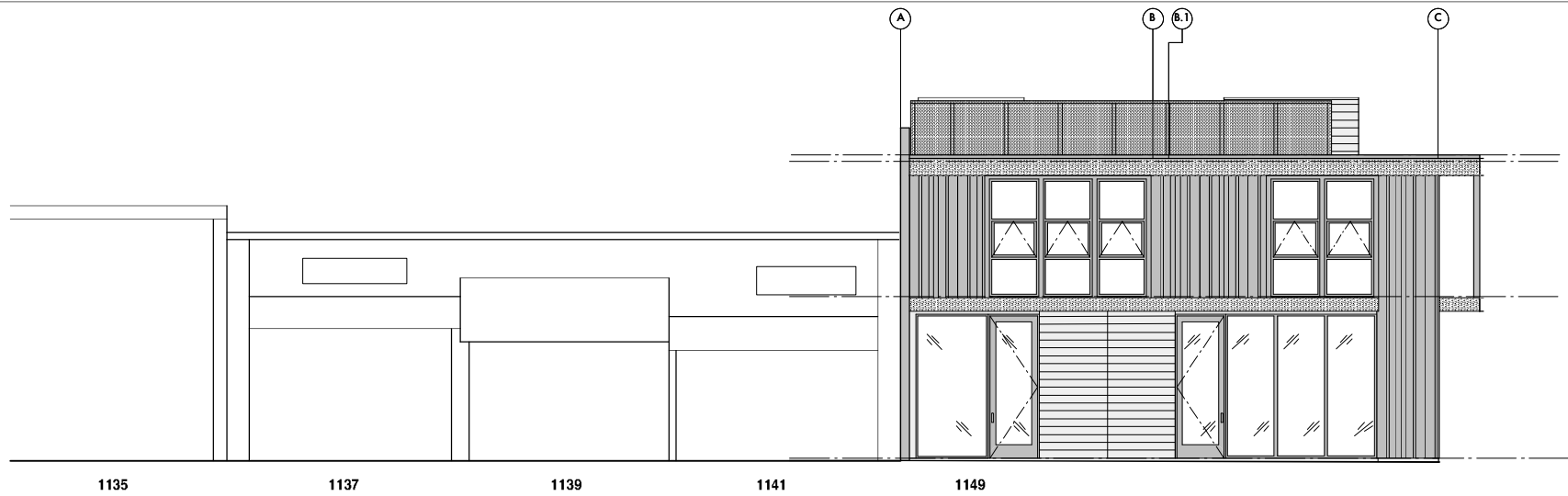


**Walker|Warner**  
Architects  
353 Polson Street  
San Francisco, CA 94105  
415.318.8900 telephone  
415.318.8939 facsimile

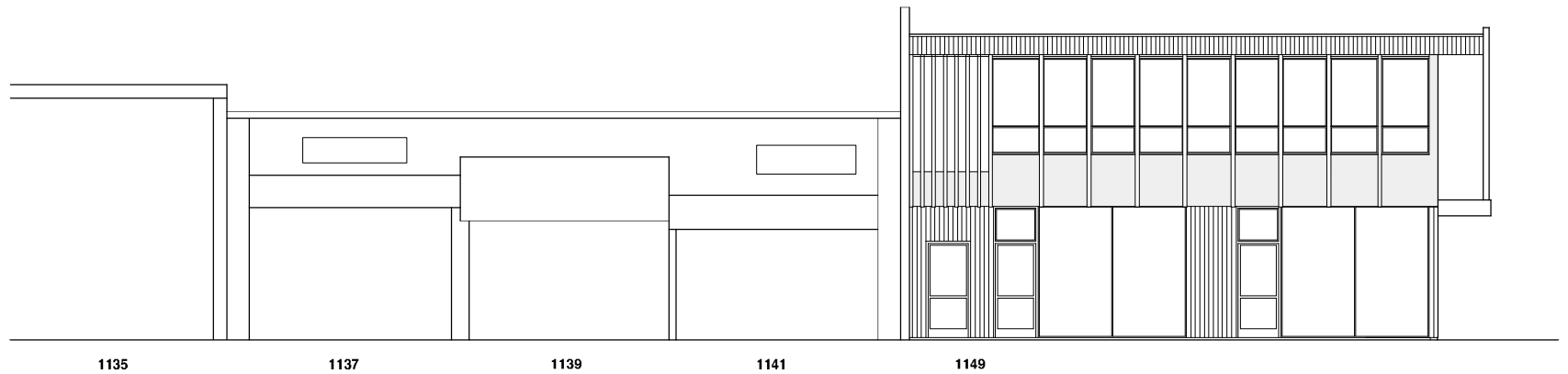
**1149 CHESTNUT**  
MENLO PARK, CALIFORNIA

ISSUED:  
5 - 09 - 16  
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\_\_\_\_\_

JOB NUMBER:  
SHEET: **A3.2**



**1 NORTH STREETScape - CHESTNUT**  
A3.2 1/4" = 1'-0"



**1 EXISTING NORTH STREETScape**  
A3.2 1/4" = 1'-0"





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**1149 CHESTNUT**  
MENLO PARK, CALIFORNIA

ISSUED:  
5.09.16

JOB NUMBER:

SHEET: **A3.3**



**1 NORTH STREETScape**  
A3.3 1/4" = 1'-0"



**2 EXISTING NORTH STREETScape**  
A3.3 1/4" = 1'-0"



## 1149 CHESTNUT

MENLO PARK, CALIFORNIA

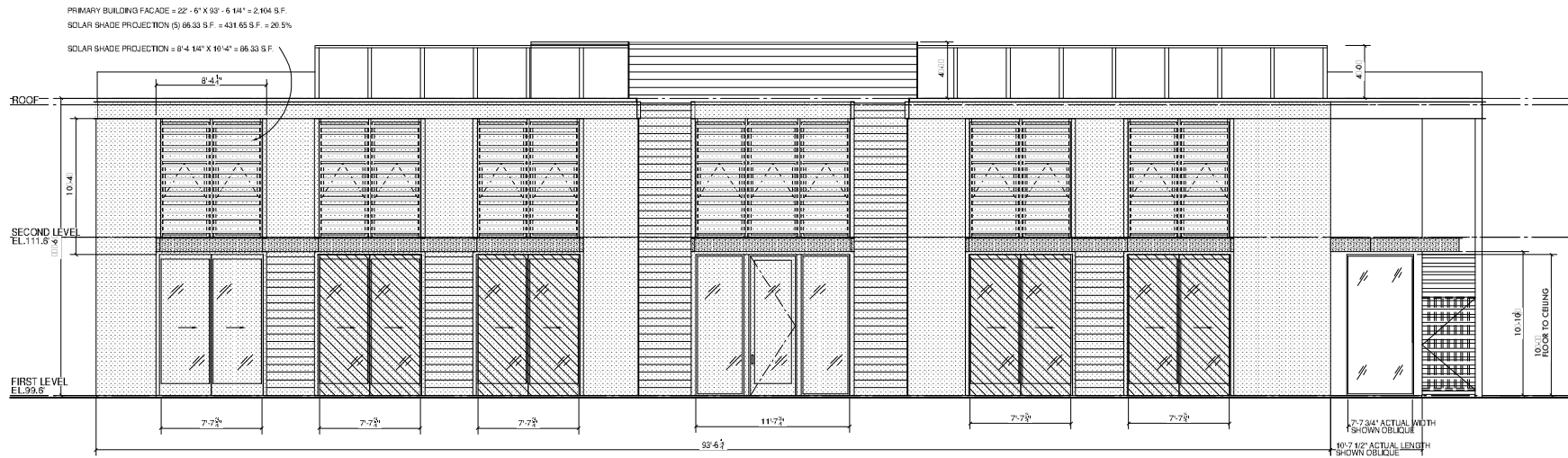
**ISSUED:**

5-09-16

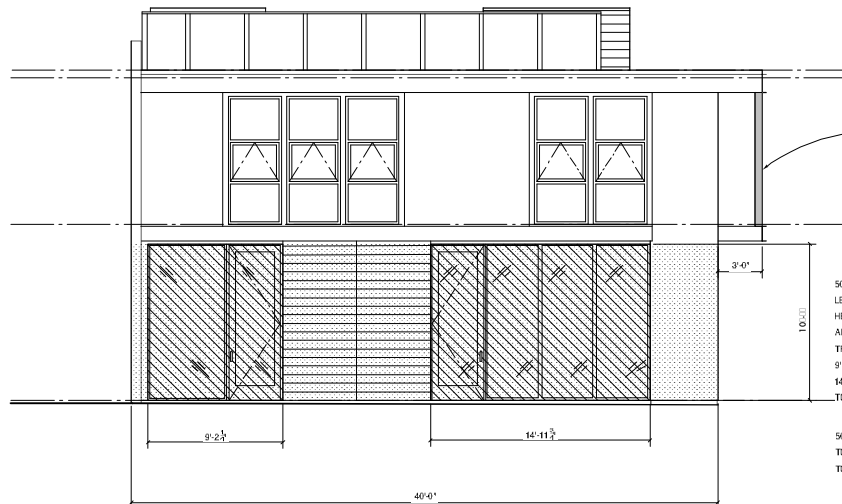
**JOB NUMBER :** \_\_\_\_\_

**SHEET :**

### A3.4



1 WEST ELEVATION 50% TRANSPARENCY 35% BUILDING PROJECTION  
A3.4 1/4" = 1'-0"



**2 NORTH ELEVATION 50% TRANSPARENCY REQUIREMENT**  
A3.4  $1/4" = 1'-0"$

### 50% TRANSPARENCY REQUIREMENT

LENGTH  $93'' - 6 \frac{1}{4}'' \times 10^{-8}'' = 997.56 \text{ S.F.}$

TRANSPARENCY (5)  $7' - 7\frac{3}{4}" \times 10' - 8" = 407.77 \text{ S.F.}$

$$11' - 7 \frac{3}{4}" \times 10' - 8" = 124.22 \text{ S.F.}$$

= 532 S.F. (53.3%)

### 50% TRANSPARENCY REQUIREMENT

TOTAL FLOOR TO CEILING WALL AREA = 997.56 S.F. + 113.33 S.F. = 1,110.89 S.F.

TOTAL GLAZING AREA = 532 S.F. + 81.55 S.F. = 613.54 S.F. (55.23%)

— SOLAR SHADE PROJECTION

### 50% TRANSPARENCY REQUIREMENT

LENGTH 40'

HEIGHT 10'-8"

AREA = 426.67 S.F.

TRANSPARENCY

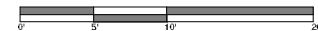
$$9' - 2 \frac{1}{4}" \times 10' - 8" = 98 \text{ S.F.}$$
$$14^{+11.34} \times 10^{+6} = 159.77 \text{ S.F.}$$

—TOTAL TRANSPARENCY = 257.77 S.F. (60.4%)

#### 50% TRANSPARENCY REQUIREMENT

TOTAL FLOOR TO CEILING WALL AREA = 436.67 S.F.

TOTAL GLAZING AREA = 08.85 + 150.77 8.5 = 257.77 8.5 (150.4%)



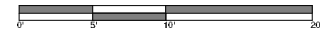


1149 CHESTNUT  
MENLO PARK, CALIFORNIA

ISSUED: \_\_\_\_\_  
5-09-16

JOB NUMBER : \_\_\_\_\_

SHEET: **A4.1**





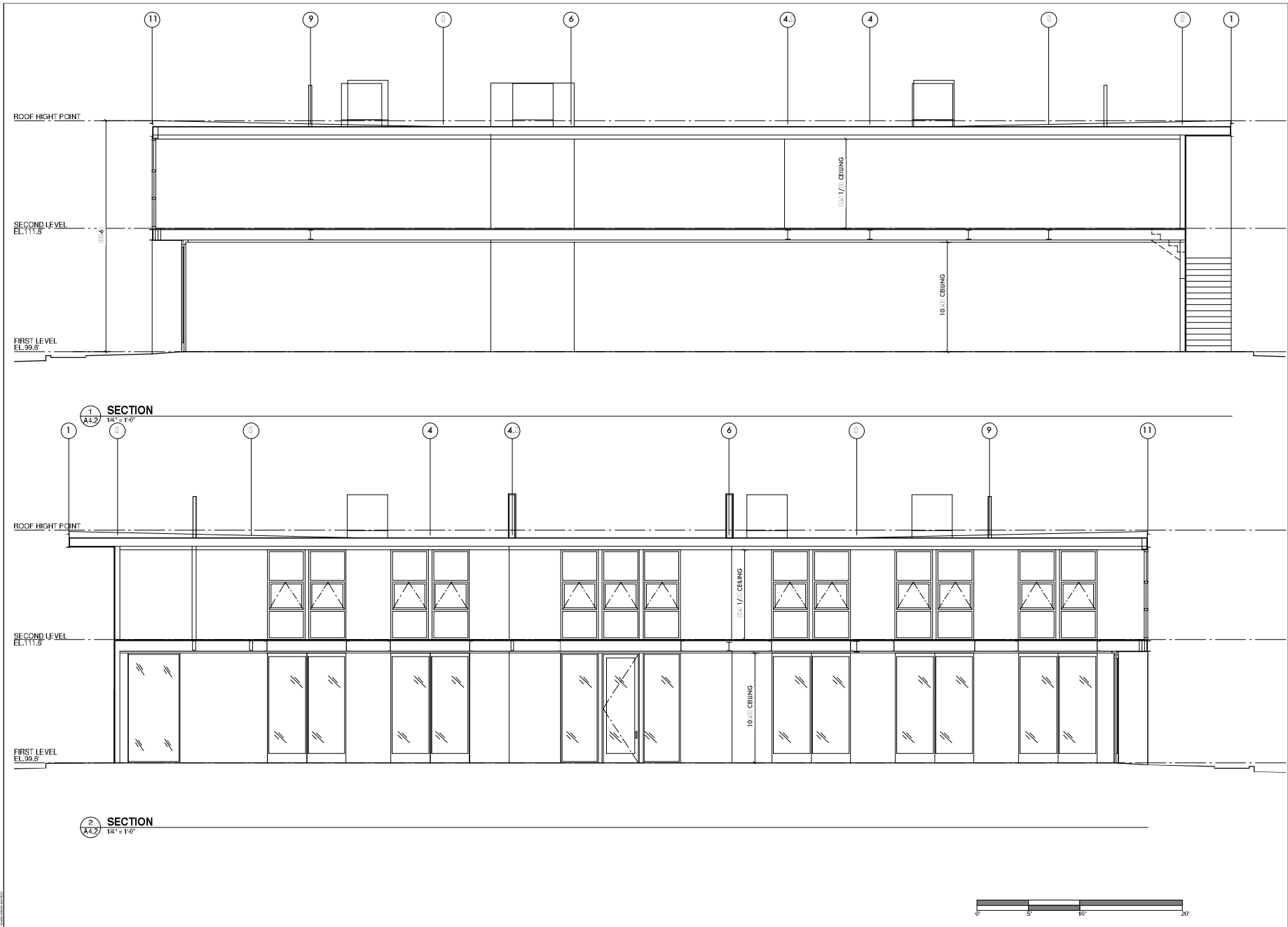
**Walker|Warner**  
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**1149 CHESTNUT**  
MENLO PARK, CALIFORNIA

ISSUED:  
5-09-16

JOB NUMBER:

SHEET: **A4.2**



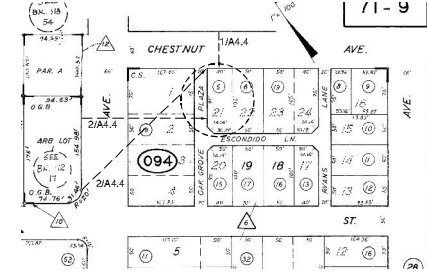


1149 CHESTNUT  
MENLO PARK, CALIFORNIA

ISSUED: \_\_\_\_\_  
5-09-16

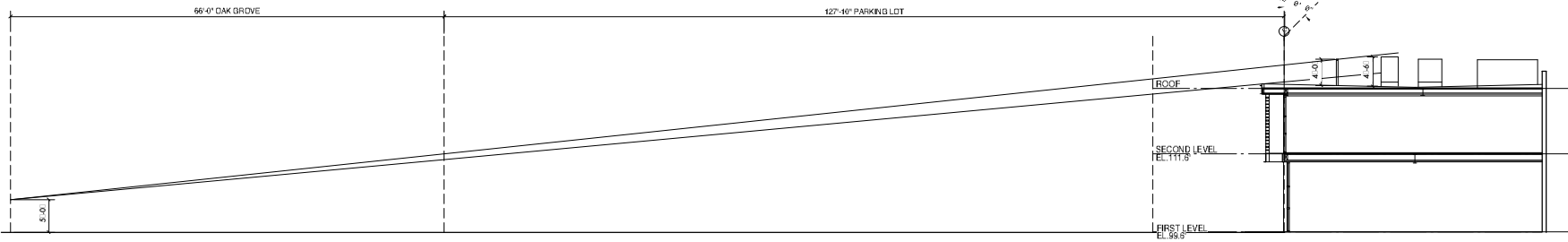
JOB NUMBER: \_\_\_\_\_

SHEET: **A4.3**

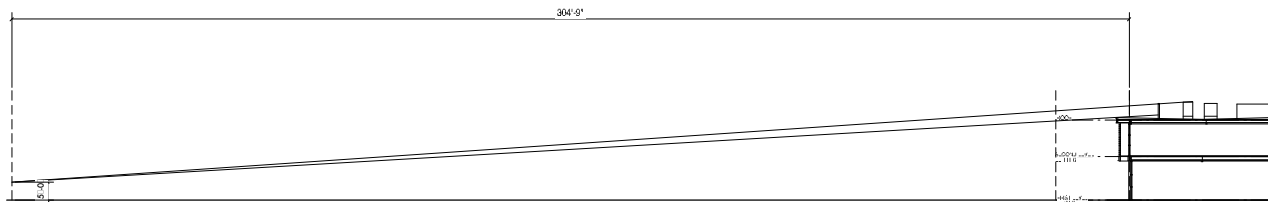
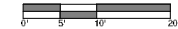


**SECTION AT CHESTNUT**

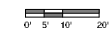
**MAP**  
N.T.S.



**SECTION AT OAK GROVE AND PARKING LOT**



**SECTION AT OAK GROVE AND PARKING LOT AT ANGLE**



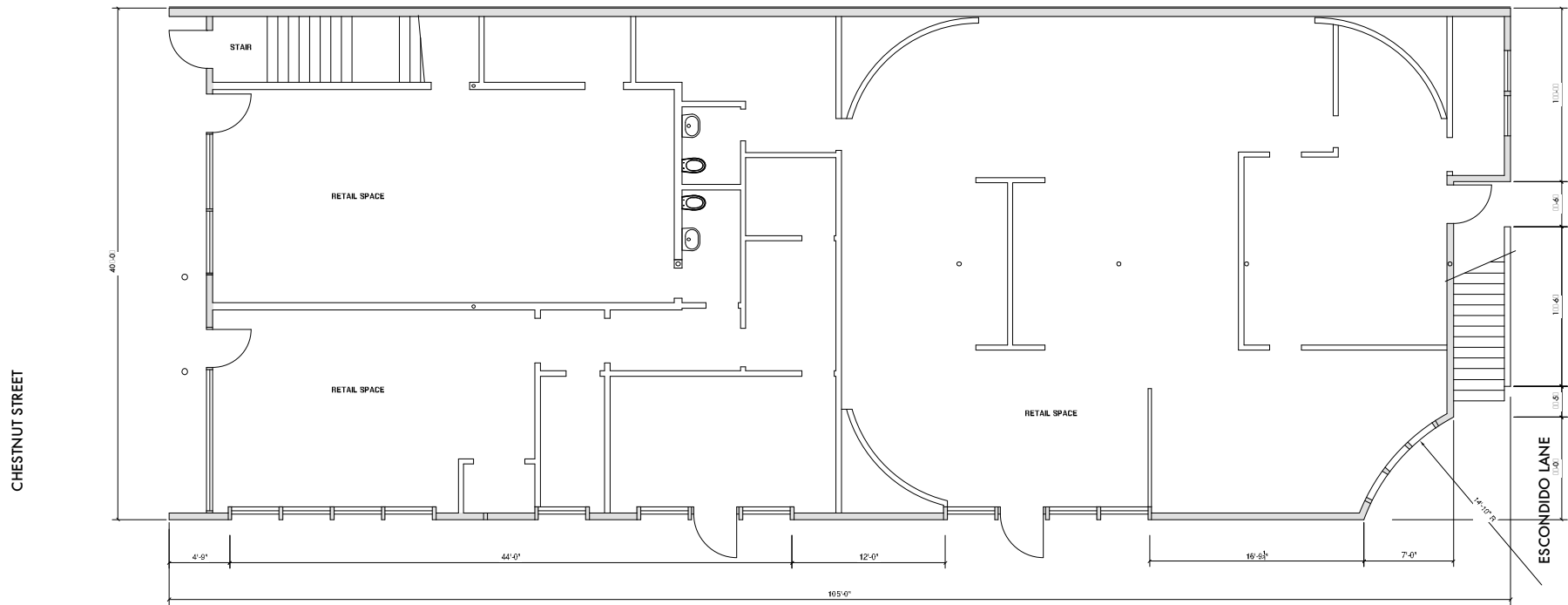


1149 CHESTNUT  
MENLO PARK, CALIFORNIA

**SSEUED:**

5 - 09 - 16

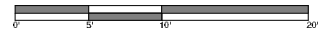
JOB NUMBER : \_\_\_\_\_  
SHEET : **A2.0A**



CHESTNUT STREET

PARKING LOT

**EXISTING FIRST FLOOR PLAN**



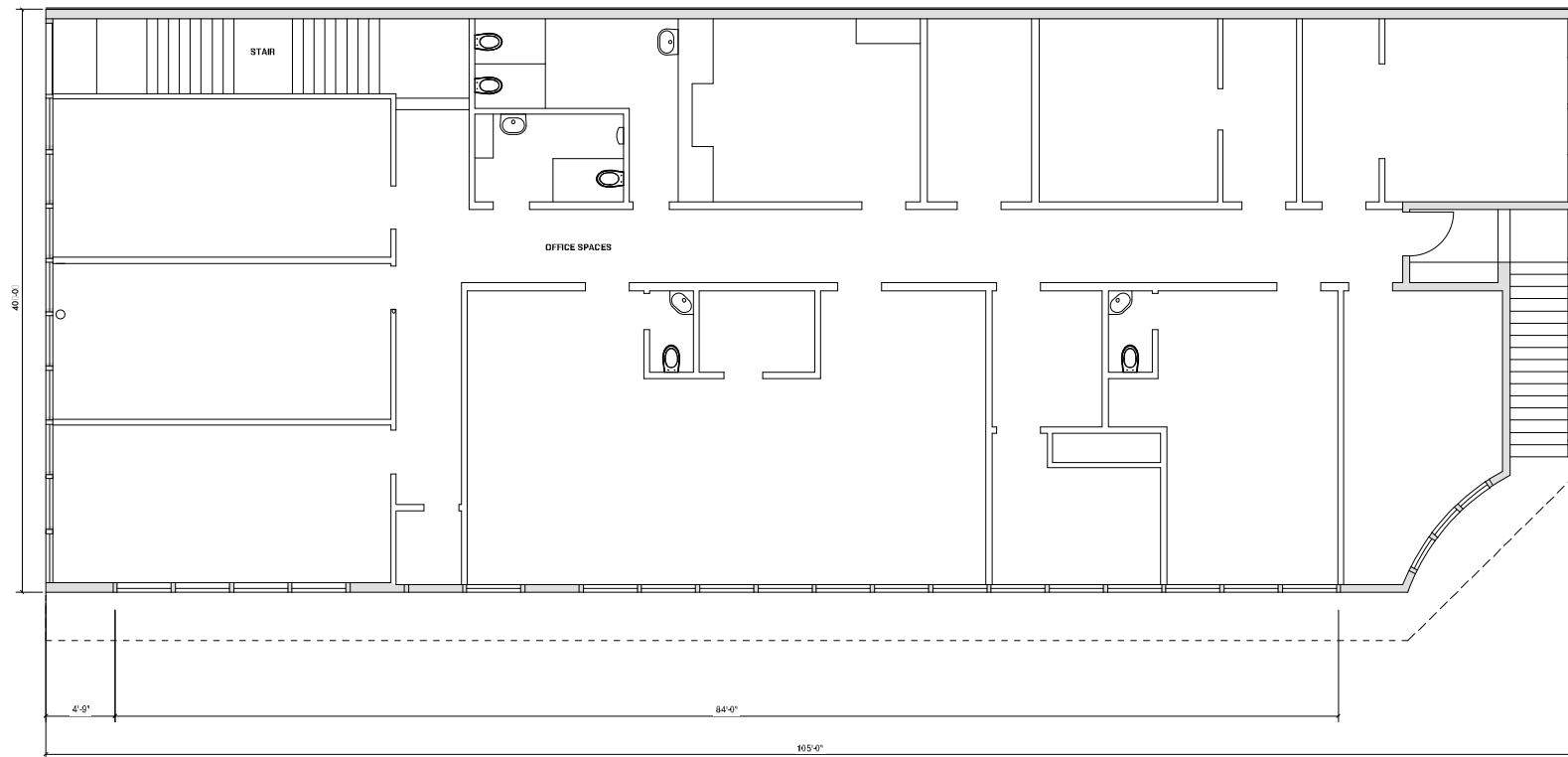


1149 CHESTNUT  
MENLO PARK, CALIFORNIA

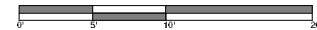
ISSUED: \_\_\_\_\_  
5 - 09 - 16

JOB NUMBER: \_\_\_\_\_

SHEET: **A2.0B**



**1 SECOND INTERIOR DEMOLITION FLOOR PLAN**  
A2.06 1/4" = 1'-0"







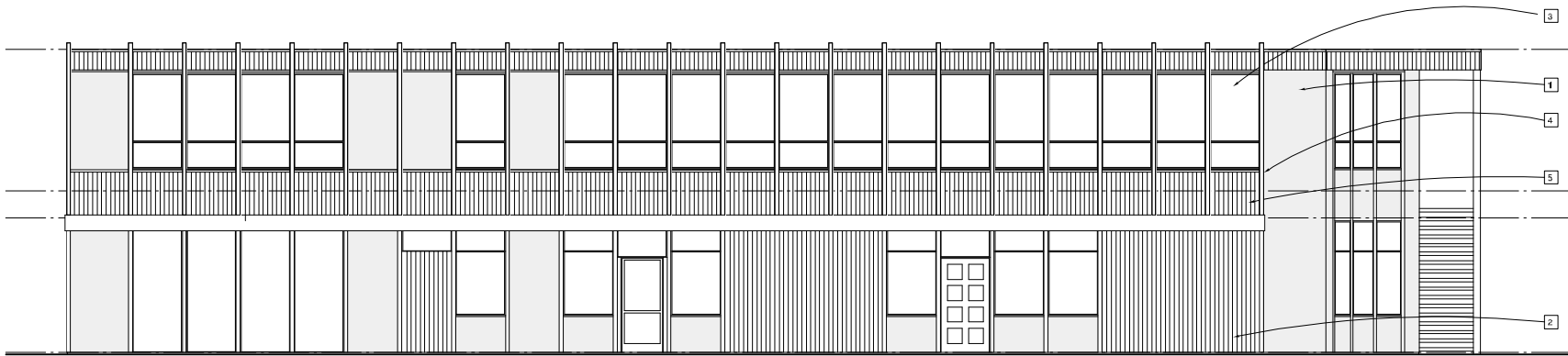
1149 CHESTNUT  
MENLO PARK, CALIFORNIA

ISSUED: \_\_\_\_\_  
5 - 09 - 16

JOB NUMBER : \_\_\_\_\_

SHEET: **A3.0**

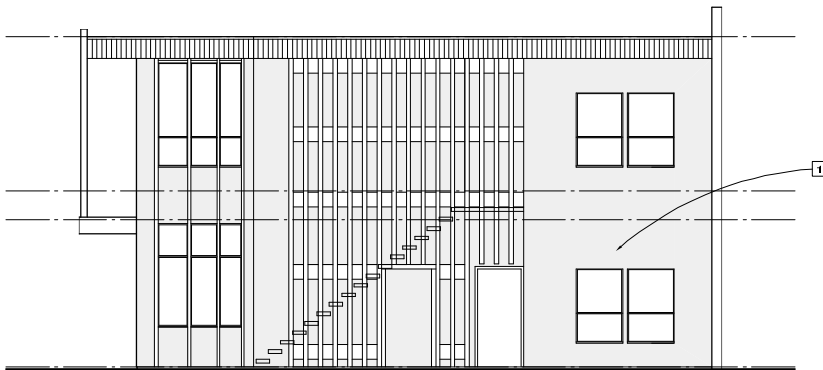
1. EXTERIOR CEMENT PLASTER
2. PAINTED PLYWOOD PANEL
3. METAL WINDOW SYSTEM
4. PAINTED WOOD SOLAR SCREEN SUPPORT
5. PAINTED WOOD PLYWOOD SUNSHADE



1  
A3.0

**EXISTING WEST ELEVATION (SIDE)**

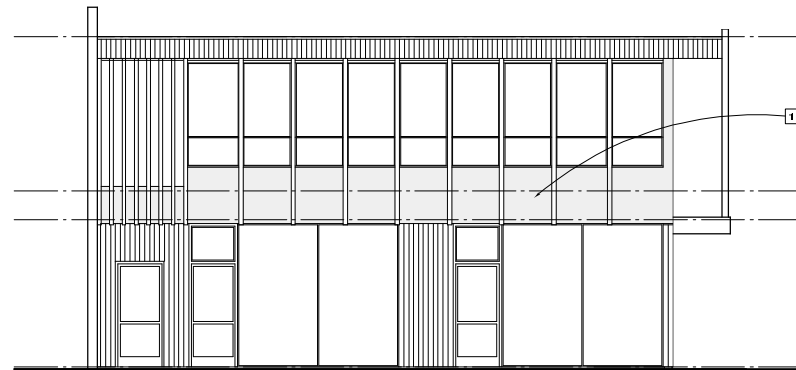
1/4" = 1'-0"



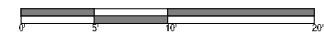
2  
A3.0

**EXISTING SOUTH ELEVATION (REAR)**

1/4" = 1'-0"



3  
A3.0 1/4" = 1'-0"





**EXISTING WEST STREETSCAPE FROM OAK GROVE AVENUE (PHOTOGRAPH)**



**EXISTING WEST ELEVATION (PHOTOGRAPHS)**

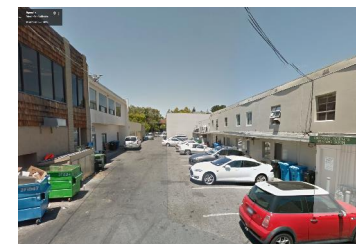
**EXISTING NORTH ELEVATION (PHOTOGRAPH)**



### EXISTING PARKING PLAZA (PHOTOGRAPHS)



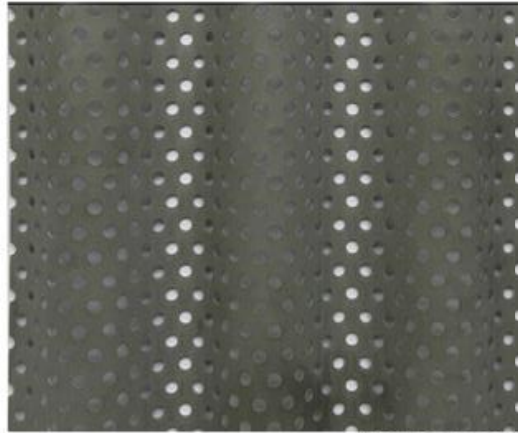
**EXISTING SOUTH ELEVATION (PHOTOGRAPHS)**



EXISTING ESCONDIDO LANE (PHOTOGRAPHS)



GLAZING SAMPLE



METAL ROOF SCREEN



METAL STOREFRONT SYSTEM



VM ZINC

ANTHRA-ZINC

PAINTED METAL FASCIA  
METAL STANDING SEAM, RANDOM



WOOD SIDING 2X, STAINED



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1149 CHESTNUT

MENLO PARK, CALIFORNIA

MATERIAL AND  
COLOR BOARD





1149 CHESTNUT

MENLO PARK, CALIFORNIA

ISSUED: \_\_\_\_\_  
2 - 23 - 16

JOB NUMBER: \_\_\_\_\_

SHEET: **A01**

## A0.1



2/23/16  
Menlo Park Planning Division  
Menlo Park, CA 94025  
APN: 071-094-050

**Project description:**

Project location: 1149 Chestnut Street  
Lot size: 4,167 S.F.  
Existing 2-story 1960 mid-century commercial building.

**Purpose of Proposal:**

- Exterior façade modification and upgrade.
- Seismic upgrade complying with current Building Code.
- Add new major modulation - 6' x 20' – 4 ½" recess in middle of building along west façade and increase 4' in height at modulation complying with Menlo Park El Camino Real/Downtown Specific Plan Standards and Guidelines.

**Scope of Work:**

Exterior façade upgrade: new exterior sidings (wood and metal), fenestrations (doors and windows), bris soleils and metal awnings.

Add new major modulation- 6' x 20' – 4 ½" recess in middle of building along west façade. Increase 4' in height at modulation.

Provide elevator and machine room for accessibility.

Provide ADA bathrooms both floors.

Seismic upgrade entire structure based on new building design.

**Architectural Style:**

Contemporary style with light stained wood siding contrasting with dark metal standing seam siding, painted metal fascia, and dark metal doors and windows.

**Existing Use:**

Ground level – retail and personal use  
Second level – offices

**Propose Use:**

Ground level – restaurant  
Second level – business offices

Enhancing downtown vibrancy through an increased customer base restaurant, optimizing the convenience of the adjacent parking plaza.

In keeping with the size and scale of the historic downtown 1 to 2 story buildings, at the same time injecting vitality and style to the outdated 1960 building.

Menlo Park El Camino Real/Downtown Specific Plan  
Standards and Guidelines: 1149 Chestnut Street Compliance Worksheet: D (Downtown) District

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.1 Development Intensity</b>			
<b>E.3.1.01</b>	Standard	Business and Professional office (inclusive of medical and dental office) shall not exceed one half of the base FAR or public benefit bonus FAR, whichever is applicable.	Complies: Lot size: 4,169 square feet Base FAR: 2.0 Office Uses: 1.0 (Limited to ½ of Base FAR) Proposed Non-medical Office (2nd floor and 1st floor lobby serving 2 <sup>nd</sup> floor offices): 4,101 square feet (0.98 FAR) See sheet A1.3
<b>E.3.1.02</b>	Standard	Medical and Dental office shall not exceed one third of the base FAR or public benefit bonus FAR, whichever is applicable.	Not Applicable: General non-medical office uses proposed on second floor, and medical and/or dental office uses are not proposed.
<b>E.3.2 Height</b>			
<b>E.3.2.01</b>	Standard	Roof-mounted mechanical equipment, solar panels, and similar equipment may exceed the maximum building height, but shall be screened from view from publicly-accessible spaces.	Complies: Equipment height would be at approximately 26'-6" above grade and screened from view by 4-foot tall mechanical screen on the roof and by portions of high roof of the adjacent building to the east. See sheets A4.1 (Building Sections) and A4.3 (Line of Sight Diagrams)
<b>E.3.2.02</b>	Standard	Vertical building projections such as parapets and balcony railings may extend up to 4 feet beyond the maximum façade height or the maximum building height, and shall be integrated into the design of the building.	Complies: The project does not exceed the maximum façade or maximum building heights, including vertical projections. See sheet A4.1 (Building Sections)
<b>E.3.2.03</b>	Standard	Rooftop elements that may need to exceed the maximum building height due to their function, such as stair and elevator towers, shall not exceed 14 feet beyond the maximum building height. Such rooftop elements shall be integrated into the design of the building.	Complies: Elevator overrun does not exceed maximum building height and is shorter than the height of the adjacent building's roof parapet. It is also screened by mechanical screening and would not be visible from the street. See sheets A3.1 (Building Elevations), A4.1 (Building Sections), and A4.3 (Line of Sight Diagrams)
<b>E.3.3 Setbacks and Projections within Setbacks</b>			
<b>E.3.3.01</b>	Standard	Front setback areas shall be developed with sidewalks, plazas, and/or landscaping as appropriate.	Not Applicable: Zero setbacks on all lot lines per D (Downtown) zoning district's development standards.
<b>E.3.3.02</b>	Standard	Parking shall not be permitted in front setback areas.	Not Applicable: Parking is not provided on site as the existing building largely occupies the full extent of the site.
<b>E.3.3.03</b>	Standard	In areas where no or a minimal setback is required, limited setback for store or lobby entry recesses shall not exceed a maximum of 4-foot depth and a maximum of 6-foot width.	Complies: Entries on the north elevation are recessed 2.7 feet from the sidewalk. New entry at the major façade modulation inset on the west elevation is recessed 6 feet to be in compliance with the major façade modulation requirements. See sheet A2.1

Menlo Park El Camino Real/Downtown Specific Plan  
Standards and Guidelines: 1149 Chestnut Street Compliance Worksheet: D (Downtown) District

<b>Section</b>	<b>Standard or Guideline</b>	<b>Requirement</b>	<b>Evaluation</b>
<b>E.3.3.04</b>	Standard	In areas where no or a minimal setback is required, building projections, such as balconies, bay windows and dormer windows, shall not project beyond a maximum of 3 feet from the building face into the sidewalk clear walking zone, public right-of-way or public spaces, provided they have a minimum 8-foot vertical clearance above the sidewalk clear walking zone, public right-of-way or public space.	Complies: Solar screens on second floor would project 3'-0" in depth with vertical clearances of 9'-8" from the sidewalk. See sheets A3.4 (Building Projection Diagram) and A4.1 (Building Sections)
<b>E.3.3.05</b>	Standard	In areas where setbacks are required, building projections, such as balconies, bay windows and dormer windows, at or above the second habitable floor shall not project beyond a maximum of 5 feet from the building face into the setback area.	Not Applicable: No setbacks are required in the D (Downtown) zoning district.
<b>E.3.3.06</b>	Standard	The total area of all building projections shall not exceed 35% of the primary building façade area. Primary building façade is the façade built at the property or setback line.	Complies: Primary building façade = 2,104 sf Projections for solar screens = 432 sf (20.5%) See sheet A3.4 (Building Projection Diagram)
<b>E.3.3.07</b>	Standard	Architectural projections like canopies, awnings and signage shall not project beyond a maximum of 6 feet horizontally from the building face at the property line or at the minimum setback line. There shall be a minimum of 8-foot vertical clearance above the sidewalk, public right-of-way or public space.	Complies: Canopy/Awning over doors at angled wall on the west elevation would project four feet into the public right-of-way, with a vertical clearance of 9'-8". Solar screens at the second floor windows would project 3'-0" into the public right-of-way, and would also have vertical clearances of 9'-8". See sheets A2.2, A3.1 and A4.1
<b>E.3.3.08</b>	Standard	No development activities may take place within the San Francisquito Creek bed, below the creek bank, or in the riparian corridor.	Not Applicable: The site is not near San Francisquito Creek or any riparian corridors.
<b>E.3.4 Massing and Modulation</b>			
<b>E.3.4.1 Building Breaks</b>			
<b>E.3.4.1.01</b>	Standard	The total of all building breaks shall not exceed 25 percent of the primary façade plane in a development.	Not Applicable: Building breaks are prohibited in the D (Downtown) zoning district. The existing building largely occupies the full extent of the lot, and does not have any building breaks.
<b>E.3.4.1.02</b>	Standard	Building breaks shall be located at ground level and extend the entire building height.	Not Applicable: Building breaks are prohibited in the D (Downtown) zoning district. The existing building largely occupies the full extent of the lot, and does not have any building breaks.
<b>E.3.4.1.03</b>	Standard	In all districts except the ECR-SE zoning district, recesses that function as building breaks shall have minimum dimensions of 20 feet in width and depth and a maximum dimension of 50 feet in width. For the ECR-SE zoning district, recesses that function as building breaks shall have a minimum dimension of 60 feet in width and 40 feet in depth.	Not Applicable: Recesses that function as building breaks are prohibited in the D (Downtown) zoning district. The existing building largely occupies the full extent of the lot, and does not have any recesses that function as building breaks.

Menlo Park El Camino Real/Downtown Specific Plan  
Standards and Guidelines: 1149 Chestnut Street Compliance Worksheet: D (Downtown) District

<b>Section</b>	<b>Standard or Guideline</b>	<b>Requirement</b>	<b>Evaluation</b>
<b>E.3.4.1.04</b>	Standard	Building breaks shall be accompanied with a major change in fenestration pattern, material and color to have a distinct treatment for each volume.	Not Applicable: Building breaks are prohibited in the D (Downtown) zoning district. The existing building largely occupies the full extent of the lot, and does not have any building breaks.
<b>E.3.4.1.05</b>	Standard	In all districts except the ECR-SE zoning district, building breaks shall be required as shown in Table E3.	Not Applicable: Building breaks are prohibited in the D (Downtown) zoning district. The existing building largely occupies the full extent of the lot, and does not have any building breaks.
<b>E.3.4.1.06</b>	Standard	<p>In the ECR-SE zoning district, and consistent with Table E4 the building breaks shall:</p> <ul style="list-style-type: none"> <li>• Comply with Figure E9;</li> <li>• Be a minimum of 60 feet in width, except where noted on Figure E9;</li> <li>• Be a minimum of 120 feet in width at Middle Avenue;</li> <li>• Align with intersecting streets, except for the area between Roble Avenue and Middle Avenue;</li> <li>• Be provided at least every 350 feet in the area between Roble Avenue and Middle Avenue; where properties under different ownership coincide with this measurement, the standard side setbacks (10 to 25 feet) shall be applied, resulting in an effective break of between 20 to 50 feet.</li> <li>• Extend through the entire building height and depth at Live Oak Avenue, Roble Avenue, Middle Avenue, Partridge Avenue and Harvard Avenue; and</li> <li>• Include two publicly-accessible building breaks at Middle Avenue and Roble Avenue.</li> </ul>	Not Applicable: Project is not in the ECR-SE zoning district.
<b>E.3.4.1.07</b>	Standard	In the ECR-SE zoning district, the Middle Avenue break shall include vehicular access; publicly-accessible open space with seating, landscaping and shade; retail and restaurant uses activating the open space; and a pedestrian/bicycle connection to Alma Street and Burgess Park. The Roble Avenue break shall include publicly-accessible open space with seating, landscaping and shade.	Not Applicable: Project is not in the ECR-SE zoning district.
<b>E.3.4.1.08</b>	Guideline	In the ECR-SE zoning district, the breaks at Live Oak, Roble, Middle, Partridge and Harvard Avenues may provide vehicular access.	Not Applicable: Project is not in the ECR-SE zoning district.
<b>E.3.4.2 Façade Modulation and Treatment</b>			



Menlo Park El Camino Real/Downtown Specific Plan  
Standards and Guidelines: 1149 Chestnut Street Compliance Worksheet: D (Downtown) District

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.4.2.01</b>	Standard	Building façades facing public rights-of-way or public open spaces shall not exceed 50 feet in length without a minor building façade modulation. At a minimum of every 50' façade length, the <b>minor vertical façade modulation</b> shall be a minimum 2 feet deep by 5 feet wide recess or a minimum 2 foot setback of the building plane from the primary building façade.	Complies: The positioning of major façade modulation negates need for minor façade modulation given that resulting facades are less than 50 feet wide. See sheet A2.1
<b>E.3.4.2.02</b>	Standard	Building façades facing public rights-of-way or public open spaces shall not exceed 100 feet in length without a major building modulation. At a minimum of every 100 feet of façade length, a <b>major vertical façade modulation</b> shall be a minimum of 6 feet deep by 20 feet wide recess or a minimum of 6 feet setback of building plane from primary building façade for the full height of the building. This standard applies to all districts except ECR NE-L and ECR SW since those two districts are required to provide a building break at every 100 feet.	Complies: Major vertical façade modulation provided. 20'-4 1/2" x 6', approximately 41' – 1" from front corner of building. See sheets A2.1, A2.2, and A3.1
<b>E.3.4.2.03</b>	Standard	In addition, the major building façade modulation shall be accompanied with a 4-foot minimum height modulation and a major change in fenestration pattern, material and/or color.	Complies: A 4'-3" height modulation (increase) is provided at the recessed wall plane of the major façade modulation, and a change of materials from vertically-oriented metal siding at primary façade to horizontally-oriented wood siding and modulation for the full height of recessed wall plane. See sheets A3.1, A4.1, and A4.2
<b>E.3.4.2.04</b>	Guideline	Minor façade modulation may be accompanied with a change in fenestration pattern, and/or material, and/or color, and/or height.	Not Applicable: The positioning of major façade modulation negates need for minor façade modulation given that resulting facades are less than 50 feet wide.
<b>E.3.4.2.05</b>	Guideline	Buildings should consider sun shading mechanisms, like overhangs, <i>bris soleils</i> and clerestory lighting, as façade articulation strategies.	Complies: Solar screens and awning/canopy provided to enhance articulation and mitigate west sun exposure and reduce solar light, heat and glare are provided at west elevation. See sheets A3.1 and A2.2
<b>E.3.4.3 Building Profile</b>			
<b>E.3.4.3.01</b>	Standard	The 45-degree building profile shall be set at the minimum setback line to allow for flexibility and variation in building façade height within a district.	Complies: Project does not exceed maximum façade height and does not extend above building profile line. See sheet A4.1 (Building Section)
<b>E.3.4.3.02</b>	Standard	Horizontal building and architectural projections, like balconies, bay windows, dormer windows, canopies, awnings, and signage, beyond the 45-degree building profile shall comply with the standards for Building Setbacks & Projection within Setbacks (E.3.3.04 to E.3.3.07) and shall be integrated into the design of the building.	Complies: Architectural projections are not proposed to extend into the 45-degree building profile. Solar screens and awning/canopy on the west elevation would be at the first and second floors and well below the 45-degree profile. See sheet A4.1 (Building Section)

Menlo Park El Camino Real/Downtown Specific Plan  
Standards and Guidelines: 1149 Chestnut Street Compliance Worksheet: D (Downtown) District

<b>Section</b>	<b>Standard or Guideline</b>	<b>Requirement</b>	<b>Evaluation</b>
<b>E.3.4.3.03</b>	Standard	Vertical building projections like parapets and balcony railings shall not extend 4 feet beyond the 45-degree building profile and shall be integrated into the design of the building.	Complies: There are no parapets or similar projections above height limit or 45-degree building profile. See sheet A4.1
<b>E.3.4.3.04</b>	Standard	Rooftop elements that may need to extend beyond the 45-degree building profile due to their function, such as stair and elevator towers, shall be integrated into the design of the building.	Complies: There are no rooftop elements that extend beyond 45-degree building profile. See sheet A4.1
<b>E.3.4.4 Upper Story Façade Length</b>			
<b>E.3.4.4.01</b>	Standard	Building stories above the 38-foot façade height shall have a maximum allowable façade length of 175 feet along a public right-of-way or public open space.	Not Applicable: No portion of the building's façades exceed 38 feet in height or exceed 175 feet in length.
<b>E.3.5 Ground Floor Treatment, Entry and Commercial Frontage</b>			
<b>Ground Floor Treatment</b>			
<b>E.3.5.01</b>	Standard	The retail or commercial ground floor shall be a minimum 15-foot floor-to-floor height to allow natural light into the space.	Not Applicable: Project alteration of existing structures that maintains floor levels at existing 12 foot floor to floor. See sheets A3.0 and A4.1
<b>E.3.5.02</b>	Standard	Ground floor commercial buildings shall have a minimum of 50% transparency (i.e., clear-glass windows) for retail uses, office uses and lobbies to enhance the visual experience from the sidewalk and street. Heavily tinted or mirrored glass shall not be permitted.	Complies: Clear-glass storefront windows/doors provided at 60 percent of the frontage along Chestnut Street, and 55 percent of the west elevating facing the public parking plaza. Transparency requirements would not apply to the south elevation, which faces a dead-end service alley (Escondido Lane). See sheet A3.4 (Transparency diagram)
<b>E.3.5.03</b>	Guideline	Buildings should orient ground-floor retail uses, entries and direct-access residential units to the street.	Complies: Both office lobby access and retail access on Chestnut Street side. Retail access also facing parking plaza. See sheets A2.1 and A3.4
<b>E.3.5.04</b>	Guideline	Buildings should activate the street by providing visually interesting and active uses, such as retail and personal service uses, in ground floors that face the street. If office and residential uses are provided, they should be enhanced with landscaping and interesting building design and materials.	Complies: Proposing ground floor retail/restaurant facing both Chestnut Street and parking plaza. This space could be used for personal services or personal improvement services in the future, which would also comply with this requirement. See sheet A2.1
<b>E.3.5.05</b>	Guideline	For buildings where ground floor retail, commercial or residential uses are not desired or viable, other project-related uses, such as a community room, fitness center, daycare facility or sales center, should be located at the ground floor to activate the street.	Complies: Proposing ground floor retail/restaurant facing both Chestnut Street and parking plaza. This space could be used for personal services or personal improvement services in the future, which would also comply with this requirement. See sheet A2.1
<b>E.3.5.06</b>	Guideline	Blank walls at ground floor are discouraged and should be minimized. When unavoidable, continuous lengths of blank wall at the street should use other appropriate measures such as landscaping or artistic intervention, such as murals.	Complies: South façade at of building facing (Escondido Lane) service alley has sidewall exposure minimized by corner of building being at diagonal in plan with windows and entry to ground level partially facing alley and with two-story horizontal screen on façade in front of stair to second level. See sheet A3.1 (Renderings)

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<b>E.3.5.07</b>	Guideline	Residential units located at ground level should have their floors elevated a minimum of 2 feet to a maximum of 4 feet above the finished grade sidewalk for better transition and privacy, provided that accessibility codes are met.	Not Applicable: Residential uses are not proposed.
<b>E.3.5.08</b>	Guideline	Architectural projections like canopies and awnings should be integrated with the ground floor and overall building design to break up building mass, to add visual interest to the building and provide shelter and shade.	Complies: Solar screens projecting from second floor windows and entry canopies on ground floor are integrated with the overall building design, and provide textural and material variation that help break up building massing. See sheets A3.1 and A4.1
<b>Building Entries</b>			
<b>E.3.5.09</b>	Standard	Building entries shall be oriented to a public street or other public space. For larger residential buildings with shared entries, the main entry shall be through prominent entry lobbies or central courtyards facing the street. From the street, these entries and courtyards provide additional visual interest, orientation and a sense of invitation.	Complies: Building entry for office along Chestnut Street and retail entries along parking plaza, including principal entry at major modulation recess. See sheets A2.1 and A3.1
<b>E.3.5.10</b>	Guideline	Entries should be prominent and visually distinctive from the rest of the façade with creative use of scale, materials, glazing, projecting or recessed forms, architectural details, color, and/or awnings.	Tentatively Complies: Building entry to office space along Chestnut Street, recessed, structural moment frame enhancing the sense of entry, but otherwise blended with façade and office entry will be dependent on signage. The main retail entry facing the parking plaza is much more defined as an entry to a retail space as is the entry to the retail/restaurant space at the building corner. See sheet A3.1
<b>E.3.5.11</b>	Guideline	Multiple entries at street level are encouraged where appropriate.	Complies: Multiple entries provided for ground floor retail/restaurant, with separate entries for upper floor office uses. See sheet A2.1
<b>E.3.5.12</b>	Guideline	Ground floor residential units are encouraged to have their entrance from the street.	Not Applicable: Residential uses are not proposed.
<b>E.3.5.13</b>	Guideline	Stoops and entry steps from the street are encouraged for individual unit entries when compliant with applicable accessibility codes. Stoops associated with landscaping create inviting, usable and visually attractive transitions from private spaces to the street.	Not Applicable: Residential uses are not proposed.
<b>E.3.5.14</b>	Guideline	Building entries are allowed to be recessed from the primary building façade.	Complies: Existing building entries are recessed as will be entries with the renovated structure. See sheet A2.1
<b>Commercial Frontage</b>			

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<b>E.3.5.15</b>	Standard	Commercial windows/storefronts shall be recessed from the primary building façade a minimum of 6 inches	Complies: Window/storefront along Chestnut recessed approximately 2.7 feet. Window/storefront along west façade recessed 6 to 7.5" inches as dimensioned on sheet A2.1
<b>E.3.5.16</b>	Standard	Retail frontage, whether ground floor or upper floor, shall have a minimum 50% of the façade area transparent with clear vision glass, not heavily tinted or highly mirrored glass.	Complies: Near clear-glass storefront window/door provided (lightly tinted per sample). The ground floors along the north and west elevations would comply with the minimum 50% transparency requirement. The south elevation faces a dead-end service alley (Escondido Lane), and is therefore not subject to the transparency requirement. See sheet A3.4 (Transparency diagram) and materials board
<b>E.3.5.17</b>	Guideline	Storefront design should be consistent with the building's overall design and contribute to establishing a well-defined ground floor for the façade along streets.	Complies: Storefronts have contemporary character consistent with façade and have pocketed Nana-wall designs to retract into wall to allow views into space weather permitting. See sheets A3.1 and A2.1
<b>E.3.5.18</b>	Guideline	The distinction between individual storefronts, entire building façades and adjacent properties should be maintained.	Complies: Storefronts have distinct appearance. Structural metal frames at Chestnut Street side make storefronts on street side stand out from rest of building and scale of Chestnut side storefront modestly varies from adjacent storefronts. See sheet A3.3
<b>E.3.5.19</b>	Guideline	Storefront elements such as windows, entrances and signage should provide clarity and lend interest to the façade.	Complies: The dark grey metal storefronts doors and canopies contrast well with the adjacent light wood siding to articulate facades. See sheet A3.1 (Renderings)
<b>E.3.5.20</b>	Guideline	Individual storefronts should have clearly defined bays. These bays should be no greater than 20 feet in length. Architectural elements, such as piers, recesses and projections help articulate bays.	Complies: Openings/glazed bays are less than 20 feet wide, and the pattern of openings is articulated by sunscreens/canopies above and/or painted steel frames. See sheet A3.1
<b>E.3.5.21</b>	Guideline	All individual retail uses should have direct access from the public sidewalk. For larger retail tenants, entries should occur at lengths at a maximum at every 50 feet, consistent with the typical lot size in downtown.	Complies: Entries are provided at front, middle and rear of space. See sheet A2.1

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<b>E.3.5.22</b>	Guideline	Recessed doorways for retail uses should be a minimum of two feet in depth. Recessed doorways provide cover or shade, help identify the location of store entrances, provide a clear area for out-swinging doors and offer the opportunity for interesting paving patterns, signage and displays.	Complies: Existing recessed entries are approximately 2.7 feet on Chestnut Street and the main entry to the retail space facing the parking plaza is recessed 6 feet. The sidewalk surface at recessed entry does not indicate any paving material and could be assumed to be standard concrete to match the sidewalk. There is opportunity at these entries to utilize specialized paving materials and patterns, particularly at the 6-foot by 20-foot recess. See sheets A2.1 and A3.1
<b>E.3.5.23</b>	Guideline	Storefronts should remain un-shuttered at night and provide clear views of interior spaces lit from within. If storefronts must be shuttered for security reasons, the shutters should be located on the inside of the store windows and allow for maximum visibility of the interior.	Complies: Security shutters are not proposed. See sheet A3.1
<b>E.3.5.24</b>	Guideline	Storefronts should not be completely obscured with display cases that prevent customers and pedestrians from seeing inside.	Complies: Design is shown with sliding doors that prevent display cases. See sheet A3.1
<b>E.3.5.25</b>	Guideline	Signage should not be attached to storefront windows.	Tentatively Complies: Signage is not shown on storefront windows. All signage shall be reviewed separately through a Sign Permit. See sheet A3.1 for future signage location. All signage shall be reviewed under a separate permit.
<b>E.3.6 Open Space</b>			
<b>E.3.6.01</b>	Standard	Residential developments or Mixed Use developments with residential use shall have a minimum of 100 square feet of open space per unit created as common open space or a minimum of 80 square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of 6 feet by 6 feet. In case of a mix of private and common open space, such common open space shall be provided at a ratio equal to 1.25 square feet for each one square foot of private open space that is not provided.	Not Applicable: Residential uses are not proposed.
<b>E.3.6.02</b>	Standard	Residential open space (whether in common or private areas) and accessible open space above parking podiums up to 16 feet high shall count towards the minimum open space requirement for the development.	Not Applicable: Residential uses are not proposed.
<b>E.3.6.03</b>	Guideline	Private and/or common open spaces are encouraged in all developments as part of building modulation and articulation to enhance building façade.	Not Applicable: The existing building largely occupies the full extent of the lot, which severely limits the provision of any open spaces.
<b>E.3.6.04</b>	Guideline	Private development should provide accessible and usable common open space for building occupants and/or the general public.	Not Applicable: The existing building largely occupies the full extent of the lot, which severely limits the provision of any common open space.

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<b>E.3.6.05</b>	Guideline	For residential developments, private open space should be designed as an extension of the indoor living area, providing an area that is usable and has some degree of privacy.	Not Applicable: Residential uses are not proposed.
<b>E.3.6.06</b>	Guideline	Landscaping in setback areas should define and enhance pedestrian and open space areas. It should provide visual interest to streets and sidewalks, particularly where building façades are long.	Not Applicable: The existing building largely occupies the full extent of the lot, which limits opportunities to provide landscaping in the setback areas.
<b>E.3.6.07</b>	Guideline	Landscaping of private open spaces should be attractive, durable and drought-resistant.	Not Applicable: The existing building largely occupies the full extent of the lot, which limits opportunities to provide private open spaces.
<b>E.3.7 Parking, Service and Utilities</b>			
<b>General Parking and Service Access</b>			
<b>E.3.7.01</b>	Guideline	The location, number and width of parking and service entrances should be limited to minimize breaks in building design, sidewalk curb cuts and potential conflicts with streetscape elements.	Complies: There are no parking entrances as there is no vehicular access onto the subject site. Service entrances on the south elevation provide access to an existing dead-end service alley (Escondido Lane). The service entrances are integrated with the building design and would not affect existing sidewalk curb cuts or other streetscape elements.
<b>E.3.7.02</b>	Guideline	In order to minimize curb cuts, shared entrances for both retail and residential use are encouraged. In shared entrance conditions, secure access for residential parking should be provided.	Not Applicable: There is no vehicular access onto the subject site as the existing building largely occupies the full extent of the lot. Furthermore, residential uses are not proposed.
<b>E.3.7.03</b>	Guideline	When feasible, service access and loading docks should be located on secondary streets or alleys and to the rear of the building.	Complies: A service access at rear of building on secondary street/alley, Escondido Lane is provided and trash, recycling is accessed off service alley. See sheet A2.1
<b>E.3.7.04</b>	Guideline	The size and pattern of loading dock entrances and doors should be integrated with the overall building design.	Not Applicable: Loading docks are not proposed.
<b>E.3.7.05</b>	Guideline	Loading docks should be screened from public ways and adjacent properties to the greatest extent possible. In particular, buildings that directly adjoin residential properties should limit the potential for loading-related impacts, such as noise. Where possible, loading docks should be internal to the building envelope and equipped with closable doors. For all locations, loading areas should be kept clean.	Not Applicable: Loading docks are not proposed.
<b>E.3.7.06</b>	Guideline	Surface parking should be visually attractive, address security and safety concerns, retain existing mature trees and incorporate canopy trees for shade. See Section D.5 for more complete guidelines regarding landscaping in parking areas.	Not Applicable: There is no vehicular access, including parking, onto the subject site as the existing building largely occupies the full extent of the lot.
<b>Utilities</b>			

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<b>E.3.7.07</b>	Guideline	All utilities in conjunction with new residential and commercial development should be placed underground.	Not Applicable: The existing commercial building would be retained. A new electrical closet is proposed along Chestnut Street, and the existing gas meter would remain along Escondido Lane. New utility installations would not be visible from the public street.
<b>E.3.7.08</b>	Guideline	Above ground meters, boxes and other utility equipment should be screened from public view through use of landscaping or by integrating into the overall building design.	Complies: Existing utility meters are located at the rear (south) elevation facing a service alley (Escondido Lane). New utility closets are proposed at the interior of the building along Chestnut Street, and would be screened from public view and integrated with the overall building design. See sheets A2.1 and A3.1
<b>Parking Garages</b>			
<b>E.3.7.09</b>	Standard	To promote the use of bicycles, secure bicycle parking shall be provided at the street level of public parking garages. Bicycle parking is also discussed in more detail in Section F.5 "Bicycle Storage Standards and Guidelines."	Not Applicable: A parking garage is not proposed. Secure bicycle parking will be provided on the second floor.
<b>E.3.7.10</b>	Guideline	Parking garages on downtown parking plazas should avoid monolithic massing by employing change in façade rhythm, materials and/or color.	Not Applicable: A parking garage is not proposed.
<b>E.3.7.11</b>	Guideline	To minimize or eliminate their visibility and impact from the street and other significant public spaces, parking garages should be underground, wrapped by other uses (i.e. parking podium within a development) and/or screened from view through architectural and/or landscape treatment.	Not Applicable: A parking garage is not proposed.
<b>E.3.7.12</b>	Guideline	Whether free-standing or incorporated into overall building design, garage façades should be designed with a modulated system of vertical openings and pilasters, with design attention to an overall building façade that fits comfortably and compatibly into the pattern, articulation, scale and massing of surrounding building character.	Not Applicable: A parking garage is not proposed.
<b>E.3.7.13</b>	Guideline	Shared parking is encouraged where feasible to minimize space needs, and it is effectively codified through the plan's off-street parking standards and allowance for shared parking studies.	Not Applicable: There is no vehicular access, including parking, onto the subject site as the existing building largely occupies the full extent of the lot. Parking for the site is accommodated through the public parking plazas in downtown.
<b>E.3.7.14</b>	Guideline	A parking garage roof should be approached as a usable surface and an opportunity for sustainable strategies, such as installment of a green roof, solar panels or other measures that minimize the heat island effect.	Not Applicable: A parking garage is not proposed.
<b>E.3.8 Sustainable Practices</b>			
<b>Overall Standards</b>			

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<b>E.3.8.01</b>	Standard	Unless the Specific Plan area is explicitly exempted, all citywide sustainability codes or requirements shall apply.	Tentatively Complies: According to project architect, the building would be designed to comply with citywide green building requirements.
<b>Overall Guidelines</b>			
<b>E.3.8.02</b>	Guideline	Because green building standards are constantly evolving, the requirements in this section should be reviewed and updated on a regular basis of at least every two years.	Tentatively Complies: According to project architect, the building would be designed to comply with citywide green building requirements.
<b>Leadership in Energy and Environmental Design (LEED) Standards</b>			



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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
<b>E.3.8.03</b>	Standard	<p>Development shall achieve LEED certification, at Silver level or higher, or a LEED Silver equivalent standard for the project types listed below. For LEED certification, the applicable standards include LEED New Construction; LEED Core and Shell; LEED New Homes; LEED Schools; and LEED Commercial Interiors. Attainment shall be achieved through LEED certification or through a City-approved outside auditor for those projects pursuing a LEED equivalent standard. The requirements, process and applicable fees for an outside auditor program shall be established by the City and shall be reviewed and updated on a regular basis. LEED certification or equivalent standard, at a Silver level or higher, shall be required for:</p> <ul style="list-style-type: none"> <li>• Newly constructed residential buildings of Group R (single-family, duplex and multi-family);</li> <li>• Newly constructed commercial buildings of Group B (occupancies including among others office, professional and service type transactions) and Group M (occupancies including among others display or sale of merchandise such as department stores, retail stores, wholesale stores, markets and sales rooms) that are 5,000 gross square feet or more;</li> <li>• New first-time build-outs of commercial interiors that are 20,000 gross square feet or more in buildings of Group B and M occupancies; and</li> <li>• Major alterations that are 20,000 gross square feet or more in existing buildings of Group B, M and R occupancies, where interior finishes are removed and significant upgrades to structural and mechanical, electrical and/or plumbing systems are proposed.</li> </ul> <p>All residential and/or mixed use developments of sufficient size to require LEED certification or equivalent standard under the Specific Plan shall install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces provided. Per the Climate Action Plan the complying applicant could receive incentives, such as streamlined permit processing, fee discounts, or design templates.</p>	<p>Not Applicable: The proposed remodel of the existing building comprises approximately 7,500 square feet, which is well below the 20,000 square feet threshold for major alterations triggering the need to achieve LEED Silver.</p>
<b>Leadership in Energy and Environmental Design (LEED) Guidelines</b>			

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<b>E.3.8.04</b>	Guideline	The development of larger projects allows for more comprehensive sustainability planning and design, such as efficiency in water use, stormwater management, renewable energy sources and carbon reduction features. A larger development project is defined as one with two or more buildings on a lot one acre or larger in size. Such development projects should have sustainability requirements and GHG reduction targets that address neighborhood planning, in addition to the sustainability requirements for individual buildings (See Standard E.3.8.03 above). These should include being certified or equivalently verified at a LEED-ND (neighborhood development), Silver level or higher, and mandating a phased reduction of GHG emissions over a period of time as prescribed in the 2030 Challenge. The sustainable guidelines listed below are also relevant to the project area. They relate to but do not replace LEED certification or equivalent standard rating requirements.	Not Applicable: The lot is significantly less than one acre in size, which is well below the threshold to achieve LEED-ND.
<b>Building Design Guidelines</b>			
<b>E.3.8.05</b>	Guideline	Buildings should incorporate narrow floor plates to allow natural light deeper into the interior.	Complies: Existing building/lot has a width of 40 feet. Windows and skylights would allow natural light to penetrate the interior of the building. See sheets A2.1 and A2.2
<b>E.3.8.06</b>	Guideline	Buildings should reduce use of daytime artificial lighting through design elements, such as bigger wall openings, light shelves, clerestory lighting, skylights, and translucent wall materials.	Complies: Windows and skylights would allow natural light to penetrate the interior of the building. See sheets A2.2 and A2.3
<b>E.3.8.07</b>	Guideline	Buildings should allow for flexibility to regulate the amount of direct sunlight into the interiors. Louvered wall openings or shading devices like <i>brise soleils</i> help control solar gain and check overheating. <i>Brise soleils</i> , which are permanent sun-shading elements, extend from the sun-facing façade of a building, in the form of horizontal or vertical projections depending on sun orientation, to cut out the sun's direct rays, help protect windows from excessive solar light and heat and reduce glare within.	Complies: Wood solar screens are provided at second story windows to help regulate directly sunlight and heat gain. See sheet A3.1
<b>E.3.8.08</b>	Guideline	Where appropriate, buildings should incorporate arcades, trellis and appropriate tree planting to screen and mitigate south and west sun exposure during summer. This guideline would not apply to downtown, the station area and the west side of El Camino Real where buildings have a narrower setback and street trees provide shade.	Not Applicable: The existing building is in downtown, and there are street trees along the site's Chestnut Street and public parking plaza frontage.

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<b>E.3.8.09</b>	Guideline	Operable windows are encouraged in new buildings for natural ventilation.	Complies: Operable windows are proposed throughout the building. See sheet A3.1
<b>E.3.8.10</b>	Guideline	To maximize use of solar energy, buildings should consider integrating photovoltaic panels on roofs.	Not Applicable: Solar panels are not proposed. The placement of mechanical equipment and elevator overrun on the roof and the relatively small size of the building would limit opportunities for solar panel installations.
<b>E.3.8.11</b>	Guideline	Inclusion of recycling centers in kitchen facilities of commercial and residential buildings shall be encouraged. The minimum size of recycling centers in commercial buildings should be 20 cubic feet (48 inches wide x 30 inches deep x 24 inches high) to provide for garbage and recyclable materials.	Complies: Trash/recycling areas are provided on both floors, with sufficient room to accommodate recycling bins. See sheets A2.1 and A2.2
<b>Stormwater and Wastewater Management Guidelines</b>			
<b>E.3.8.12</b>	Guideline	Buildings should incorporate intensive or extensive green roofs in their design. Green roofs harvest rain water that can be recycled for plant irrigation or for some domestic uses. Green roofs are also effective in cutting-back on the cooling load of the air-conditioning system of the building and reducing the heat island effect from the roof surface.	Not Applicable: Solar panels are not proposed. The placement of mechanical equipment and elevator overrun on the roof and the relatively small size of the building would limit opportunities for solar panel installations.
<b>E.3.8.13</b>	Guideline	Projects should use porous material on driveways and parking lots to minimize stormwater run-off from paved surfaces.	Not Applicable: Driveways or parking lots are not proposed.
<b>Landscaping Guidelines</b>			
<b>E.3.8.14</b>	Guideline	Planting plans should support passive heating and cooling of buildings and outdoor spaces.	Not Applicable: The existing building is in downtown, and there are street trees along the site's Chestnut Street and public parking plaza frontages. Furthermore, the existing building largely occupies the full extent of the lot, which limits opportunities to incorporate landscaping.
<b>E.3.8.15</b>	Guideline	Regional native and drought resistant plant species are encouraged as planting material.	Not Applicable: The existing building is in downtown, and there are street trees along the site's Chestnut Street and public parking plaza frontages. Furthermore, the existing building largely occupies the full extent of the lot, which limits opportunities to incorporate landscaping.
<b>E.3.8.16</b>	Guideline	Provision of efficient irrigation system is recommended, consistent with the City's Municipal Code Chapter 12.44 "Water-Efficient Landscaping".	Not Applicable: The existing building is in downtown, and there are street trees along the site's Chestnut Street and public parking plaza frontages. Furthermore, the existing building largely occupies the full extent of the lot, which limits opportunities to incorporate landscaping.
<b>Lighting Standards</b>			

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<b>E.3.8.17</b>	Standard	Exterior lighting fixtures shall use fixtures with low cut-off angles, appropriately positioned, to minimize glare into dwelling units and light pollution into the night sky.	Complies: Exterior lighting fixtures would be oriented downwards to minimize any glare and light pollution. See sheets A3.1 and A4.1 for downlight notes.
<b>E.3.8.18</b>	Standard	Lighting in parking garages shall be screened and controlled so as not to disturb surrounding properties, but shall ensure adequate public security.	Not Applicable: A parking garage is not proposed.
<b>Lighting Guidelines</b>			
<b>E.3.8.19</b>	Guideline	Energy-efficient and color-balanced outdoor lighting, at the lowest lighting levels possible, are encouraged to provide for safe pedestrian and auto circulation.	Tentatively Complies: According to the project architect, the project would incorporate energy-efficient and color-balanced outdoor lighting.
<b>E.3.8.20</b>	Guideline	Improvements should use ENERGY STAR-qualified fixtures to reduce a building's energy consumption.	Tentatively Complies: According to the project architect, the project would use ENERGY STAR-qualified fixtures.
<b>E.3.8.21</b>	Guideline	Installation of high-efficiency lighting systems with advanced lighting control, including motion sensors tied to dimmable lighting controls or lighting controlled by timers set to turn off at the earliest practicable hour, are recommended.	Tentatively Complies: According to the project architect, the project would incorporate high-efficiency lighting systems.
<b>Green Building Material Guidelines</b>			
<b>E.3.8.22</b>	Guideline	The reuse and recycle of construction and demolition materials is recommended. The use of demolition materials as a base course for a parking lot keeps materials out of landfills and reduces costs.	Tentatively Complies: According to the project architect, the project would reuse and recycle construction and demolition materials.
<b>E.3.8.23</b>	Guideline	The use of products with identifiable recycled content, including post-industrial content with a preference for post-consumer content, are encouraged.	Tentatively Complies: According to the project architect, the project would use products with recycled content.
<b>E.3.8.24</b>	Guideline	Building materials, components, and systems found locally or regionally should be used, thereby saving energy and resources in transportation.	Tentatively Complies: According to the project architect, building materials would be sourced locally or regionally.
<b>E.3.8.25</b>	Guideline	A design with adequate space to facilitate recycling collection and to incorporate a solid waste management program, preventing waste generation, is recommended.	Tentatively Complies: According to the project architect, there would be adequate space provided to facilitate recycling. Recycling areas are shown at the first floor under the exterior staircase, and in the trash room at the second floor. See sheets A2.1 and A2.2
<b>E.3.8.26</b>	Guideline	The use of material from renewable sources is encouraged.	Tentatively Complies: According to the project architect, materials from renewable sources would be used.

## 1149 Chestnut Street Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
AIR QUALITY				
<b>IMPACT BEING ADDRESSED: Impact AIR-1: Implementation of the Specific Plan would result in increased long-term emissions of criteria pollutants associated with construction activities that could contribute substantially to an air quality violation. (Significant)</b>				
<p><i>Mitigation Measure AIR-1a:</i> During construction of individual projects under the Specific Plan, project applicants shall require the construction contractor(s) to implement the following measures required as part of Bay Area Air Quality Management District's (BAAQMD) basic dust control procedures required for construction sites. For projects for which construction emissions exceed one or more of the applicable BAAQMD thresholds, additional measures shall be required as indicated in the list following the Basic Controls.</p> <p><u>Basic Controls that Apply to All Construction Sites</u></p> <ol style="list-style-type: none"> <li>1. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.</li> <li>2. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.</li> <li>3. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.</li> <li>4. All vehicle speeds on unpaved roads shall be limited to 15 mph.</li> <li>5. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.</li> <li>6. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.</li> <li>7. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.</li> </ol>	<p>Exposed surfaces shall be watered twice daily.</p> <p>Trucks carrying demolition debris shall be covered.</p> <p>Dirt carried from construction areas shall be cleaned daily.</p> <p>Speed limit on unpaved roads shall be 15 mph.</p> <p>Roadways, driveways, sidewalks and building pads shall be laid as soon as possible after grading.</p> <p>Idling times shall be minimized to 5 minutes or less; Signage posted at all access points.</p> <p>Construction equipment shall be properly tuned and maintained.</p>	Measures shown on plans, construction documents and on-going during demolition, excavation and construction.	Project sponsor(s) and contractor(s)	PW/CDD

### 1149 Chestnut Street Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
8. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.	Signage will be posted with the appropriate contact information regarding dust complaints.			

#### BIOLOGICAL RESOURCES

#### ***Impact BIO-3: Impacts to migratory or breeding special-status birds and other special-status species due to lighting conditions. (Potentially Significant)***

<b>Mitigation Measure BIO-3a:</b> Reduce building lighting from exterior sources. a. Minimize amount and visual impact of perimeter lighting and façade up-lighting and avoid uplighting of rooftop antennae and other tall equipment, as well as of any decorative features; b. Installing motion-sensor lighting, or lighting controlled by timers set to turn off at the earliest practicable hour; c. Utilize minimum wattage fixtures to achieve required lighting levels; d. Comply with federal aviation safety regulations for large buildings by installing minimum intensity white strobe lighting with a three-second flash interval instead of continuous flood lighting, rotating lights, or red lighting e. Use cutoff shields on streetlight and external lights to prevent upwards lighting.	Reduce building lighting from exterior sources.	Prior to building permit issuance and ongoing.	Project sponsor(s) and contractor(s)	CDD
<b>Mitigation Measure BIO-3b:</b> Reduce building lighting from interior sources. a. Dim lights in lobbies, perimeter circulation areas, and atria; b. Turn off all unnecessary lighting by 11pm thorough sunrise, especially during peak migration periods (mid-March to early June and late August through late October); c. Use gradual or staggered switching to progressively turn on building lights at sunrise. d. Utilize automatic controls (motion sensors, photo sensors, etc.) to shut off lights in the evening when no one is present; e. Encourage the use of localized task lighting to reduce the need for more extensive overhead lighting; f. Schedule nightly maintenance to conclude by 11 p.m.; g. Educate building users about the dangers of night lighting to birds.	Reduce building lighting from interior sources.	Prior to building permit issuance and ongoing.	Project sponsor(s) and contractor(s)	CDD

### 1149 Chestnut Street Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<b>CULTURAL RESOURCES</b>				
<b>Impact CUL-1: The proposed Specific Plan could have a significant impact on historic architectural resources. (Potentially Significant)</b>				
<p><b>Mitigation Measure CUL-1:</b> Site Specific Evaluations and Treatment in Accordance with the Secretary of the Interior's Standards:</p> <p><b>Site-Specific Evaluations:</b> In order to adequately address the level of potential impacts for an individual project and thereby design appropriate mitigation measures, the City shall require project sponsors to complete site-specific evaluations at the time that individual projects are proposed at or adjacent to buildings that are at least 50 years old.</p> <p>The project sponsor shall be required to complete a site-specific historic resources study performed by a qualified architectural historian meeting the Secretary of the Interior's Standards for Architecture or Architectural History. At a minimum, the evaluation shall consist of a records search, an intensive-level pedestrian field survey, an evaluation of significance using standard National Register Historic Preservation and California Register Historic Preservation evaluation criteria, and recordation of all identified historic buildings and structures on California Department of Parks and Recreation 523 Site Record forms. The evaluation shall describe the historic context and setting, methods used in the investigation, results of the evaluation, and recommendations for management of identified resources. If federal or state funds are involved, certain agencies, such as the Federal Highway Administration and California Department of Transportation (Caltrans), have specific requirements for inventory areas and documentation format.</p> <p><b>Treatment in Accordance with the Secretary of the Interior's Standards.</b> Any future proposed project in the Plan Area that would affect previously recorded historic resources, or those identified as a result of site-specific surveys and evaluations, shall conform to the Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995). The Standards require the preservation of character defining features which convey a building's historical significance, and offers guidance about appropriate and compatible alterations to such structures.</p>	<p>A qualified architectural historian shall complete a site-specific historic resources study. For structures found to be historic, specify treating conforming to Secretary of the Interior's standards, as applicable.</p>	<p>Simultaneously with a project application submittal.</p>	<p>Qualified architectural historian retained by the Project sponsor(s).</p>	<p>CDD <b>STATUS: COMPLETE:</b> The historic resource evaluation from Past Consultants, LLC, dated May 20, 2015, concludes that the existing commercial building at the subject property is not a historic resource, and the project will not have an adverse effect on a historic resource, as the property is not eligible for the California Register of Historical Resources. Therefore, the project is not required under CEQA to comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings.</p>

### 1149 Chestnut Street Project Mitigation Monitoring and Reporting Program

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
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#### HAZARDOUS MATERIALS

***Impact HAZ-3: Hazardous materials used on any individual site during construction activities (i.e., fuels, lubricants, solvents) could be released to the environment through improper handling or storage. (Potentially Significant)***

Mitigation Measure HAZ-3: All development and redevelopment shall require the use of construction Best Management Practices (BMPs) to control handling of hazardous materials during construction to minimize the potential negative effects from accidental release to groundwater and soils. For projects that disturb less than one acre, a list of BMPs to be implemented shall be part of building specifications and approved of by the City Building Department prior to issuance of a building permit.	Implement best management practices to reduce the release of hazardous materials during construction.	Prior to building permit issuance for sites disturbing less than one acre and on-going during construction for all project sites	Project sponsor(s) and contractor(s)	CDD
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#### NOISE

***Impact NOI-1: Construction activities associated with implementation of the Specific Plan would result in substantial temporary or periodic increases in ambient noise levels in the Specific Plan area above levels existing without the Specific Plan and in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies. (Potentially Significant)***

Mitigation Measure NOI-1a: Construction contractors for subsequent development projects within the Specific Plan area shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures, and acoustically attenuating shields or shrouds, etc.) when within 400 feet of sensitive receptor locations. Prior to demolition, grading or building permit issuance, a construction noise control plan that identifies the best available noise control techniques to be implemented, shall be prepared by the construction contractor and submitted to the City for review and approval. The plan shall include, but not be limited to, the following noise control elements: * Impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for construction shall be hydraulically or electrically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler shall achieve lower noise levels from the exhaust by approximately 10 dBA. External jackets on the tools themselves shall be used where feasible in order to achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever feasible; * Stationary noise sources shall be located as far from adjacent receptors as possible and they shall be muffled and enclosed within temporary sheds, incorporate	A construction noise control plan shall be prepared and submitted to the City for review.	Prior to demolition, grading or building permit issuance	Project sponsor(s) and contractor(s)	CDD
	Implement noise control techniques to reduce ambient noise levels.	Measures shown on plans, construction documents and specification and ongoing through construction	Project sponsor(s) and contractor(s)	CDD



**1149 Chestnut Street Project Mitigation Monitoring and Reporting Program**

Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<p>insulation barriers, or other measures to the extent feasible; and</p> <p>* When construction occurs near residents, affected parties within 400 feet of the construction area shall be notified of the construction schedule prior to demolition, grading or building permit issuance. Notices sent to residents shall include a project hotline where residents would be able to call and issue complaints. A Project Construction Complaint and Enforcement Manager shall be designated to receive complaints and notify the appropriate City staff of such complaints. Signs shall be posted at the construction site that include permitted construction days and hours, a day and evening contact number for the job site, and day and evening contact numbers, both for the construction contractor and City representative(s), in the event of problems.</p>				



## STAFF REPORT

### Planning Commission

**Meeting Date:** 5/9/2016  
**Staff Report Number:** 16-033-PC

**Public Hearing:** Use Permit/Roger Kohler/317 Yale Road

### Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to demolish an existing single-story, single-family residence and accessory buildings, and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district, at 317 Yale Road. The proposal also includes the removal of a heritage holly tree on the middle-right side of the property. The recommended actions are contained within Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject site is located at 317 Yale Road, between College Avenue and Cambridge Avenue, in the Allied Arts neighborhood. A location map is included as Attachment B. The subject parcel is surrounded on all sides by single-family homes that are also in the R-1-U zoning district. Yale Road is developed with a mixture of one and two-story homes with a variety of architectural styles.

### Analysis

#### *Project description*

The applicant is proposing to demolish an existing single-story, single-family residence, detached studio, and detached carport, and construct a new two-story, single-family residence with an attached garage on a substandard lot with regard to lot width and area in the R-1-U (Single-Family Urban) zoning district. The proposed residence would have a floor area of 2,923.5 square feet where 2,924.8 square feet is the floor area limit (FAL) and a building coverage of 29.4 percent where 35 percent is the maximum permitted. The proposed residence would have seven bedrooms and six bathrooms, with two bedrooms and two bathrooms in the basement, one bedroom and one bathroom on the first floor, and four bedrooms and three bathrooms on the second floor. The basement lightwell would adhere to the main building setbacks, so a use permit for excavation within required yards is not required.

The house is proposed to be 24.8 feet in height, below the maximum permissible height of 28 feet, and the proposed structure would comply with the daylight plane requirements. A balcony is proposed along the rear elevation. The balcony would be located 20 feet from the left side property line and over 20 feet from

the right side property line, meeting the minimum balcony setback requirement. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

### ***Design and materials***

The residence would feature a style described by the architect as Spanish Eclectic. The design would include smooth stucco siding, a prominent front porch, wood brackets, and a custom glass and stained wood entry door. The door for the two-car garage would have the appearance similar to two separate doors. The two-piece, clay barrel, tile roof would consist of a mixture of gable and hip roof forms. The windows would be simulated true divided light windows. The window at the stairs would have a sill height of 4.9 feet from the landing, and all other second floor windows along the side elevations would have sill heights of at least three feet.

Staff believes the scale, materials, and style of the proposed residence are compatible with the neighborhood. Although the project would be a two-story residence, the applicant has set the second floor in along all four elevations and modulated the second floor wall along the front elevation. The applicant also proposes a relatively low roof with a mixture of gable and hip roof forms, in addition to a prominent front porch, to further reduce the perception of mass.

### ***Trees and landscaping***

The applicant has submitted an arborist report (Attachment F) detailing the species, size and conditions of the trees on or near the site. As part of the initial project review, the arborist report was enhanced with additional analysis and specificity. A heritage camphor street tree (tree #1) is located in the right-of-way slightly to the left of the subject property. A non-heritage dogwood street tree (tree #12) and a non-heritage sycamore street tree (tree #13) are located in front of the project. The City Arborist has indicated that the dogwood tree is not healthy and should be replaced by 24-inch box platanus 'Columbia' tree.

A heritage holly tree (tree #8), located on the middle-right side of the property, is proposed for removal. The removal of this tree has been reviewed and tentatively approved by the City Arborist due to structural defects and to accommodate the proposed construction. A fern pine heritage tree (tree #7) was also initially proposed for removal as part of this project; however, it was damaged in a storm and the City Arborist approved its emergency removal in March. The only other tree proposed for removal is a non-heritage silk tree. Two 24-inch box platanus 'Columbia' trees are proposed along the right side property line to replace the two heritage trees.

The proposed site improvements should not adversely affect any of the trees as tree protection measures in the arborist report will be ensured through recommended condition 3g.

### ***Parking and circulation***

The applicant is proposing to demolish an existing single-story, single-family residence, detached studio, and detached carport, and construct a new two-story, single-family residence with an attached, two-car garage. In response to input from staff on the initial proposal, the applicant revised the proposed location of the driveway so it would be no closer than four feet from the replacement platanus 'Columbia' street tree. Additionally, the proposed driveway would be no closer than the existing driveway to the heritage camphor street tree. As a result, the driveway would have a slightly unusual configuration, but staff believes it would not materially affect vehicle access.

### ***Correspondence***

Staff has not received any items of correspondence on the proposed project. The applicant has indicated they have spoken with or left information for the neighboring property owners.

## **Conclusion**

Staff believes the scale, materials, and style of the proposed residence are compatible with the neighborhood. Although the project would be a two-story residence, the applicant has set the second floor in along all four elevations and modulated the second floor wall along the front elevation. The applicant also proposes a relatively low roof with a mixture of gable and hip roof forms, in addition to a prominent front porch, to further reduce the perception of mass. Two replacement heritage trees are proposed and the tree protection measures in the arborist report would protect the surrounding trees. Staff recommends that the Planning Commission approve the proposed project.

## **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

## **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

## **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

## **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

## **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

## **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

None

Report prepared by:

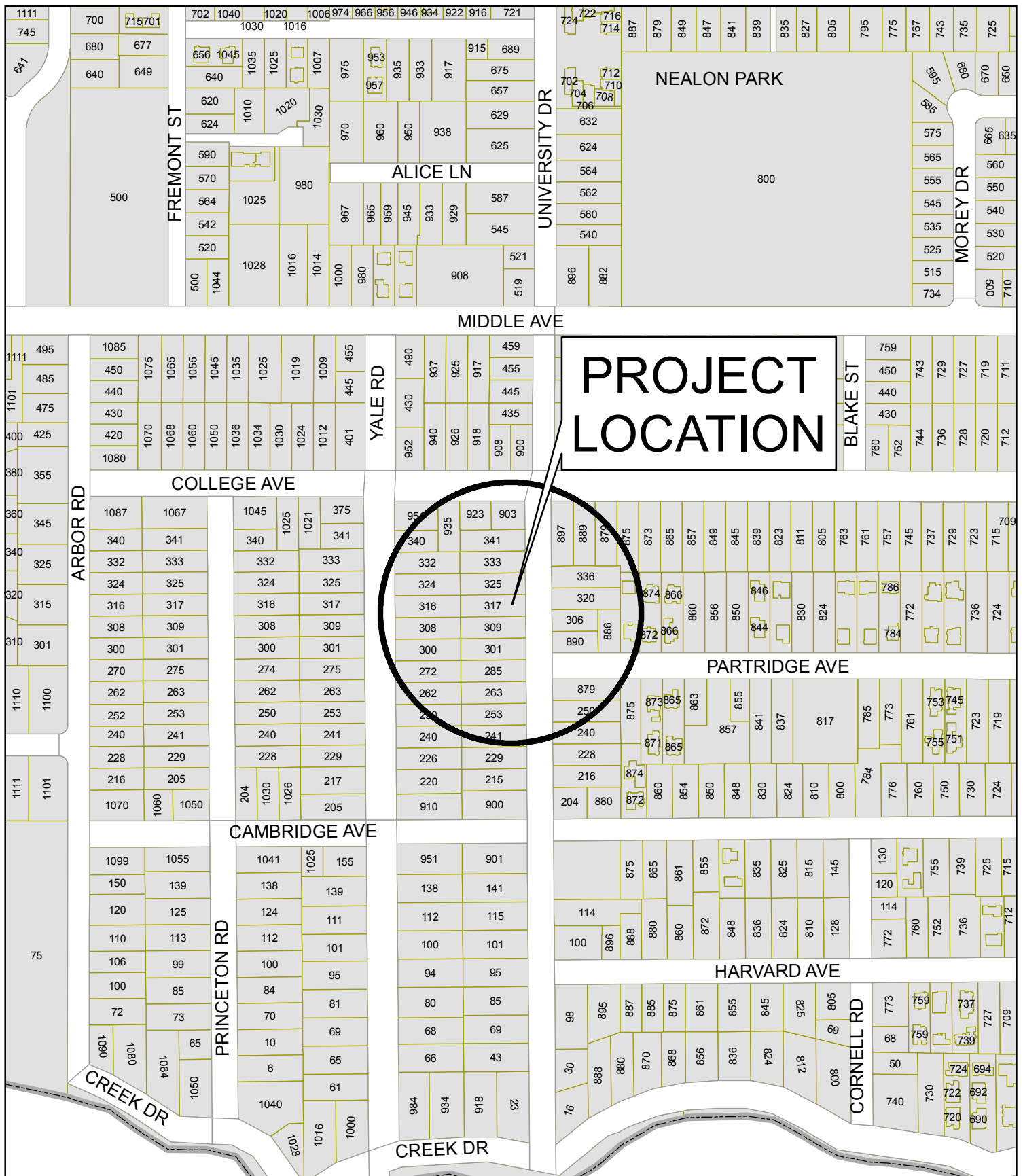
Corinna Sandmeier, Associate Planner

Report reviewed by:

Thomas Rogers, Principal Planner

## 317 Yale Road – Attachment A: Recommended Actions

<b>LOCATION:</b> 317 Yale Road	<b>PROJECT NUMBER:</b> PLN2015-00083	<b>APPLICANT:</b> Roger Kohler	<b>OWNER:</b> Morteza Nassiri
<b>REQUEST:</b> Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district. The proposal also includes the removal of a heritage holly tree on the middle-right side of the property.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> May 9, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"><li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current CEQA Guidelines.</li><li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li><li>3. Approve the use permit subject to the following <b>standard</b> conditions:<ol style="list-style-type: none"><li>a. Development of the project shall be substantially in conformance with the plans prepared by Kohler Associates Architects consisting of 11 plan sheets, dated received April 20, 2016, and approved by the Planning Commission on May 9, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li><li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.</li><li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li><li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li><li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li><li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li><li>g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the arborist report by Kevin Kielty Arborist Services LLC, dated received March 23, 2016.</li></ol></li></ol>			

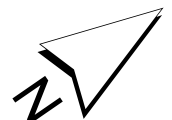


# CITY OF MENLO PARK

## LOCATION MAP

### 317 YALE ROAD

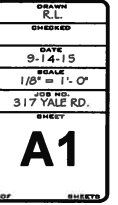
DRAWN: TAS CHECKED: CDS DATE: 05/09/16 SCALE: 1" = 300' SHEET: 1

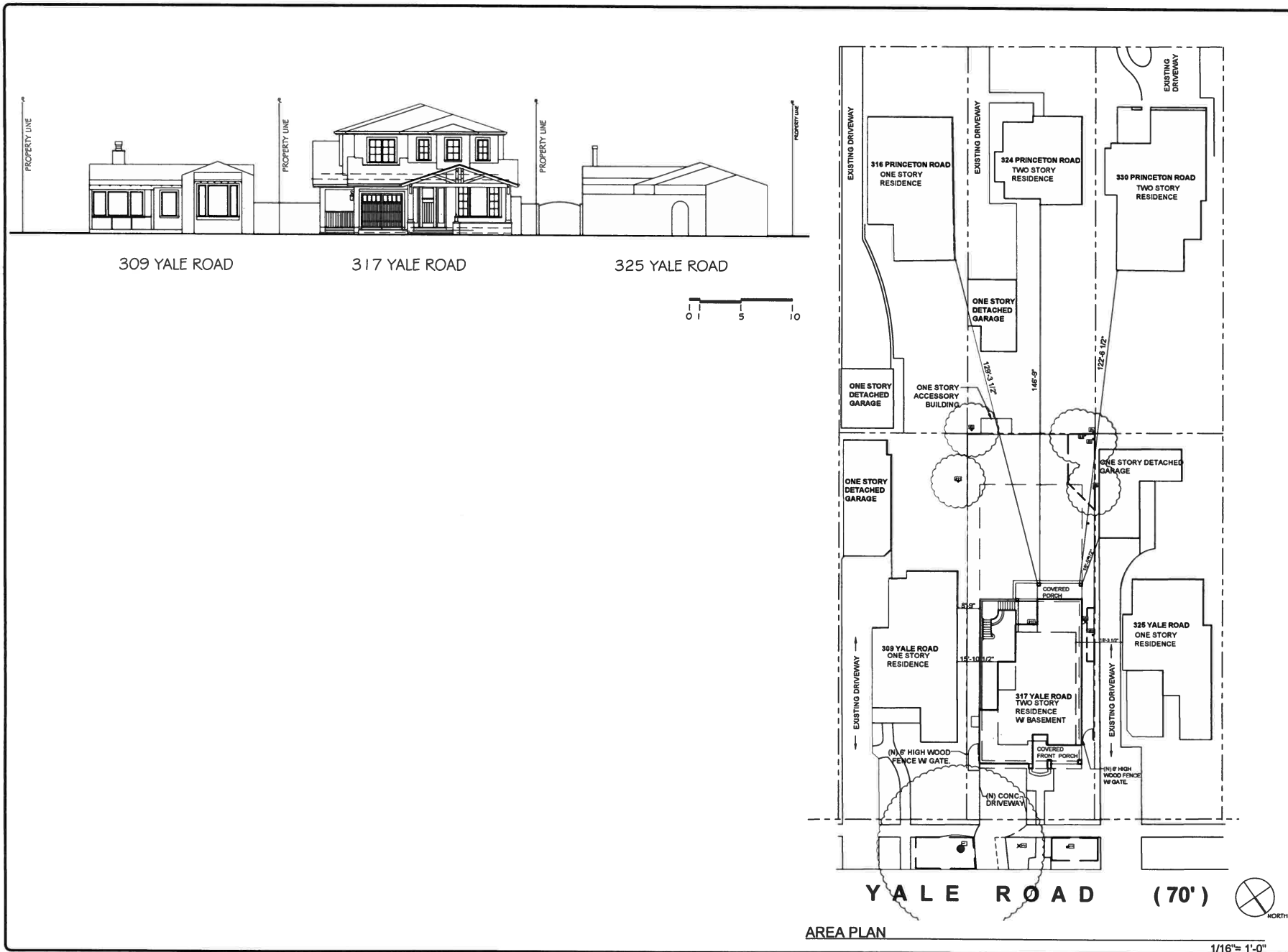


## 317 Yale Road – Attachment C: Data Table

	PROPOSED PROJECT		EXISTING DEVELOPMENT		ZONING ORDINANCE	
Lot area	7,499.0	sf	7,499.0	sf	7,000.0	sf min.
Lot width	50.0	ft.	50.0	ft.	65.0	ft. min.
Lot depth	150.0	ft.	150.0	ft.	100.0	ft. min.
Setbacks						
Front	20.0	ft.	29.3	ft.	20.0	ft. min.
Rear	58.3	ft.	55.5	ft.	20.0	ft. min.
Side (left)	5.0	ft.	12.5	ft.	5.0	ft. min.
Side (right)	5.0	ft.	4.3	ft.	5.0	ft. min.
Building coverage	2,201.1	sf	2,520.5	sf	2,624.7	sf max.
	29.4	%	33.6	%	35.0	% max.
FAL (Floor Area Limit)	2,923.5	sf	2,520.5	sf	2,924.8	sf max.
Square footage by floor	1,902.3	sf/basement	1,492.6	sf/1 <sup>st</sup> floor		
	1,405.6	sf/1 <sup>st</sup> floor	663.9	sf/carport		
	1,094.2	sf/2 <sup>nd</sup> floor	364.0	sf/studio		
	423.7	sf/garage				
	371.8	sf/porches				
Square footage of buildings	5,197.6	sf	2,520.5	sf		
Building height	24.8	ft.	15.0	ft.	28.0	ft. max.
Parking	2 covered		3 covered		1 covered/1 uncovered	
Note: Areas shown highlighted indicate a nonconforming or substandard situation.						
Trees	Heritage trees:	2*	Non-Heritage trees:	10**	New Trees:	3
	Heritage trees proposed for removal:	1	Non-Heritage trees proposed for removal:	2	Total Number of Trees:	12
* One heritage tree is located in the right-of-way in front of the property						
** Two of the non-heritage trees are street trees and two are located on neighboring properties						







REVISIONS	BY
1-19-16	H.A.
3-23-16	H.A.



**KOHLER**  
ASSOCIATES  
ARCHITECTS  
Roger Kohler  
Architect, AIA  
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Menlo Park, California 94025  
(650) 321-1000  
office@kohler-associates.com  
www.kohler-associates.com

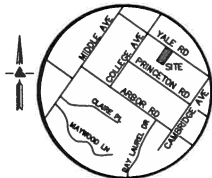
NEW RESIDENCE FOR:  
**MORTEZA NASSIRI**  
317 YALE ROAD  
MENLO PARK, CALIFORNIA

AREA PLAN  
PROPOSED STREETSCAPE  
SHEET INDEX  
PROJECT DIRECTORY

DRAWN RL
CHECKED
DATE 9-14-15
REVISIONS AS NOTED
PROJECT 317 YALE RD.
SHEET

**A2**

OF SHEETS



VICINITY MAP  
NO SCALE

### NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.  
UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.  
BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.  
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)

### BOUNDARY NOTE

THE BOUNDARY SURVEY AS SHOWN WAS CREATED FROM A DETAILED BOUNDARY SURVEY PERFORMED BY LEA AND BRAZE ENGINEERING. THE FINAL RESULTS ARE DUE TO PROVISION OF THE OVERALL BLOCK AS DICTATED BY CALIFORNIA BOUNDARY LAW.

### BENCHMARK

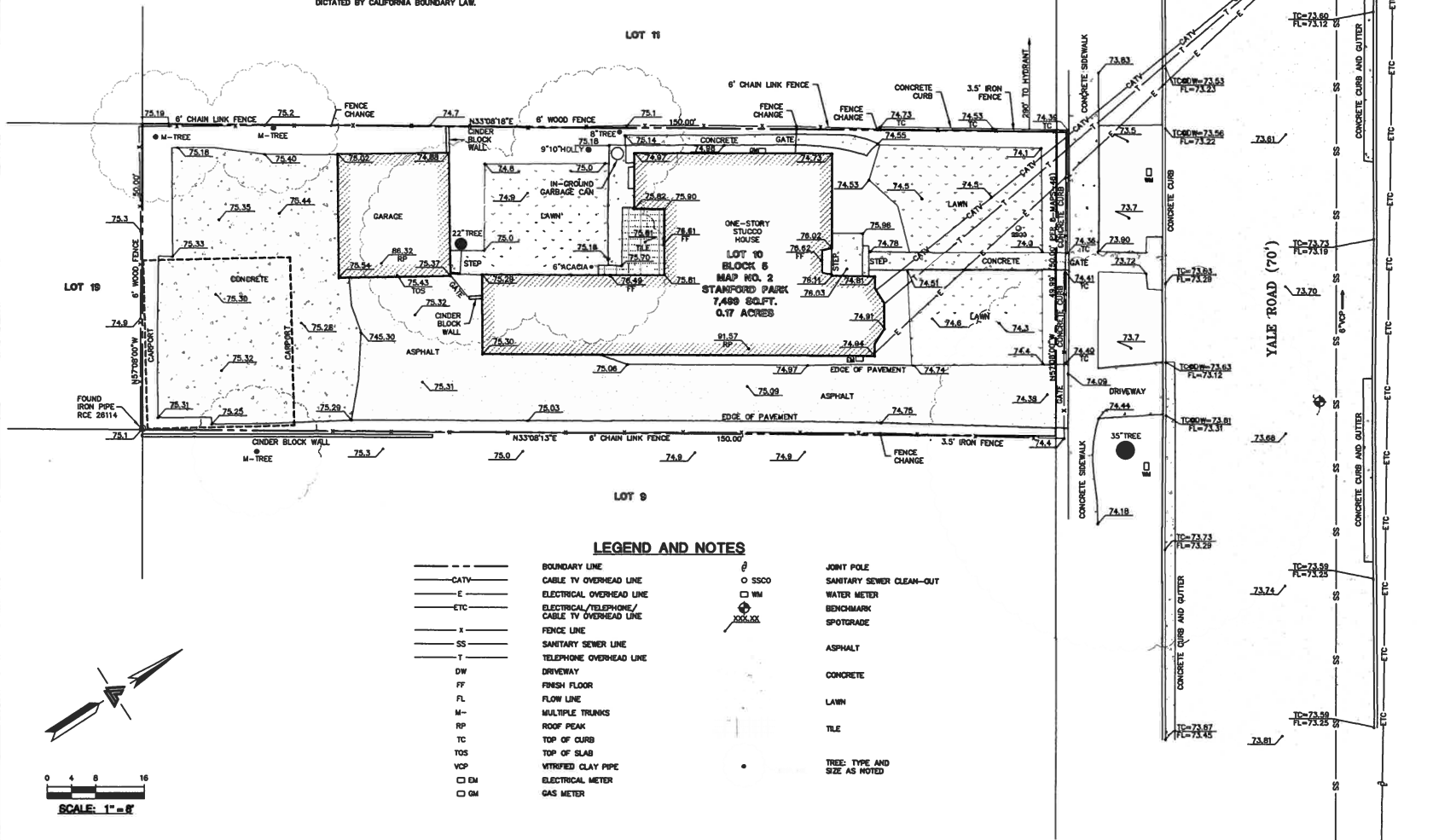
CITY OF MENLO PARK  
BENCHMARK UJ110  
DISK SET IN MASSIVE STRUCTURE LOCATED 0.1 MILE SOUTHWEST OF THE SOUTHERN PACIFIC COMPANY RAILROAD STATION, AT THE INTERSECTION OF SANTA CRUZ AVENUE AND EL CAMINO REAL  
ELEV= 73.6' (NAVD 88)

### EASEMENT NOTE

A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY LEA & BRAZE ENGINEERING, INC. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

### SITE BENCHMARK

SURVEY CONTROL POINT  
MAG AND SHNER SET IN ASPHALT  
ELEVATION = 73.64' (NAVD 88)



**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS  
317 YALE ROAD, SUITE 200  
MENLO PARK, CA 94028  
(650) 321-1000  
WWW.LEABRAZE.COM

**317 YALE ROAD  
MENLO PARK, CALIFORNIA**  
APN: 071-384-180  
SAN MATEO COUNTY

**TOPOGRAPHIC AND  
BOUNDARY SURVEY**

REVISIONS	BY
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DATE: 1-8-16  
SCALE: 1" = 8'  
DRAWN BY: JH  
SHEET NO: 1  
**BU1**  
01 OF 01 SHEETS



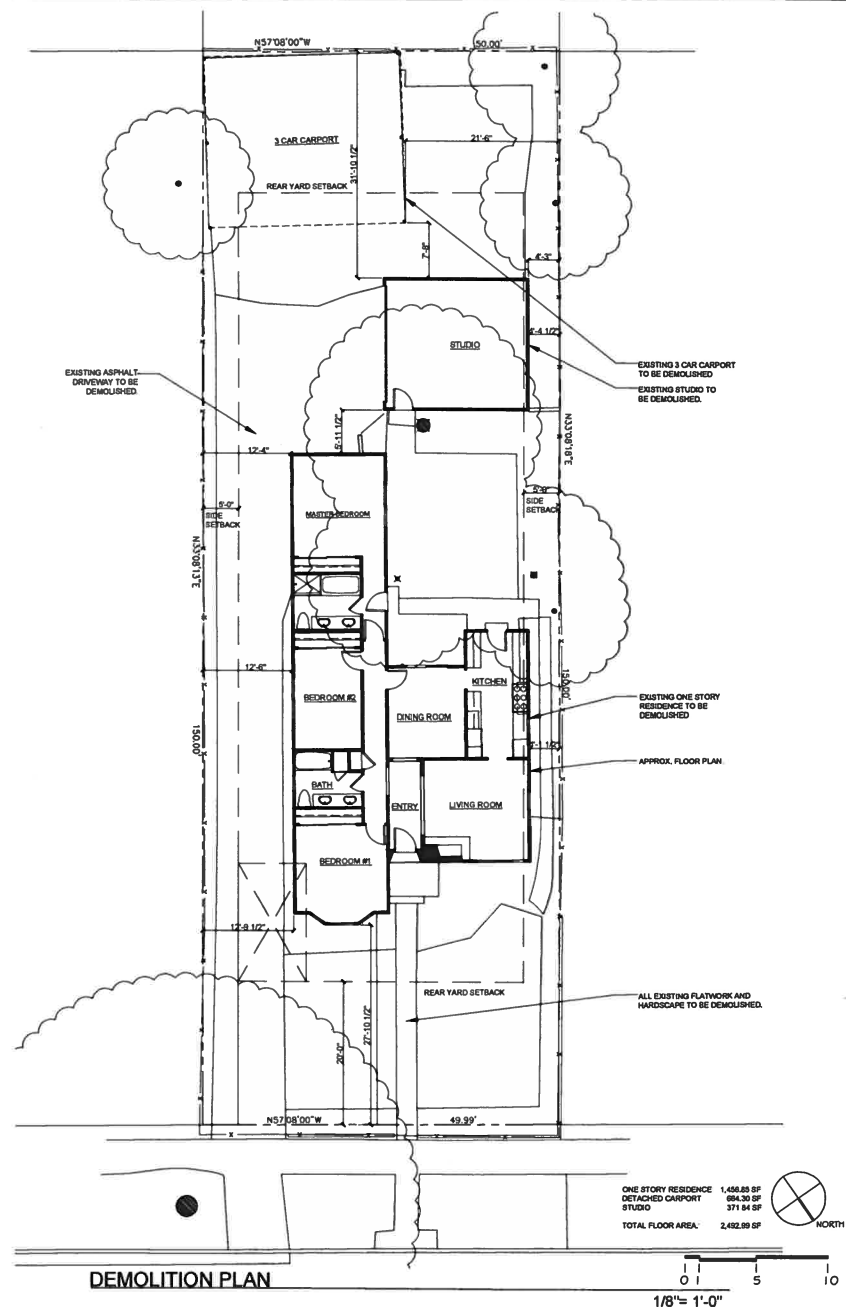
### STREET VIEW

## INNER COURT YARD

## INNER COURT YARD

DRIVEWAY, GARAGE/STUDIO

## REAR CARPORT



REVISIONS	BY
1-19-16	H.A.
4-12-16	H.A.



**KOHLER**  
ASSOCIATES  
ARCHITECTS

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Architect, A.I.A.  
C-7334**  
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NEW RESIDENCE FOR:  
**MORTEZA NASSIRI**  
317 YALE ROAD  
MENLO PARK, CALIFORNIA

DEMOLITION PLAN  
PHOTOGRAPHS

DRAWN  
RAL  
CHECKED

DATE \_\_\_\_\_

DATE \_\_\_\_\_

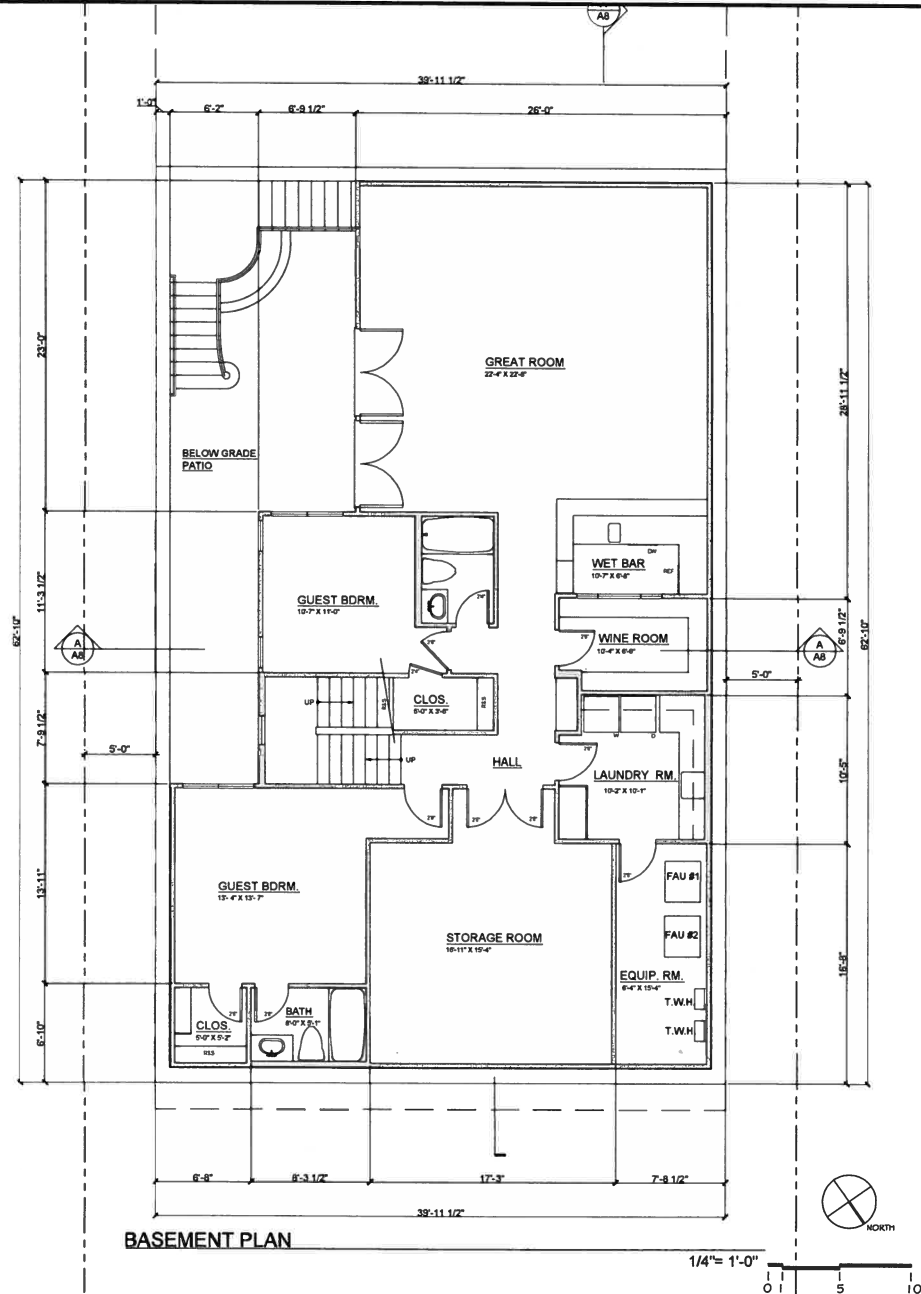
SCALE  
1/8" = 1'

JOB NO.  
R 17 YALE

**SHEET**

# D1

OF SHEETS



REVISIONS	BY
1-19-16	H.A.

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Architect, A.I.A.  
C-7334

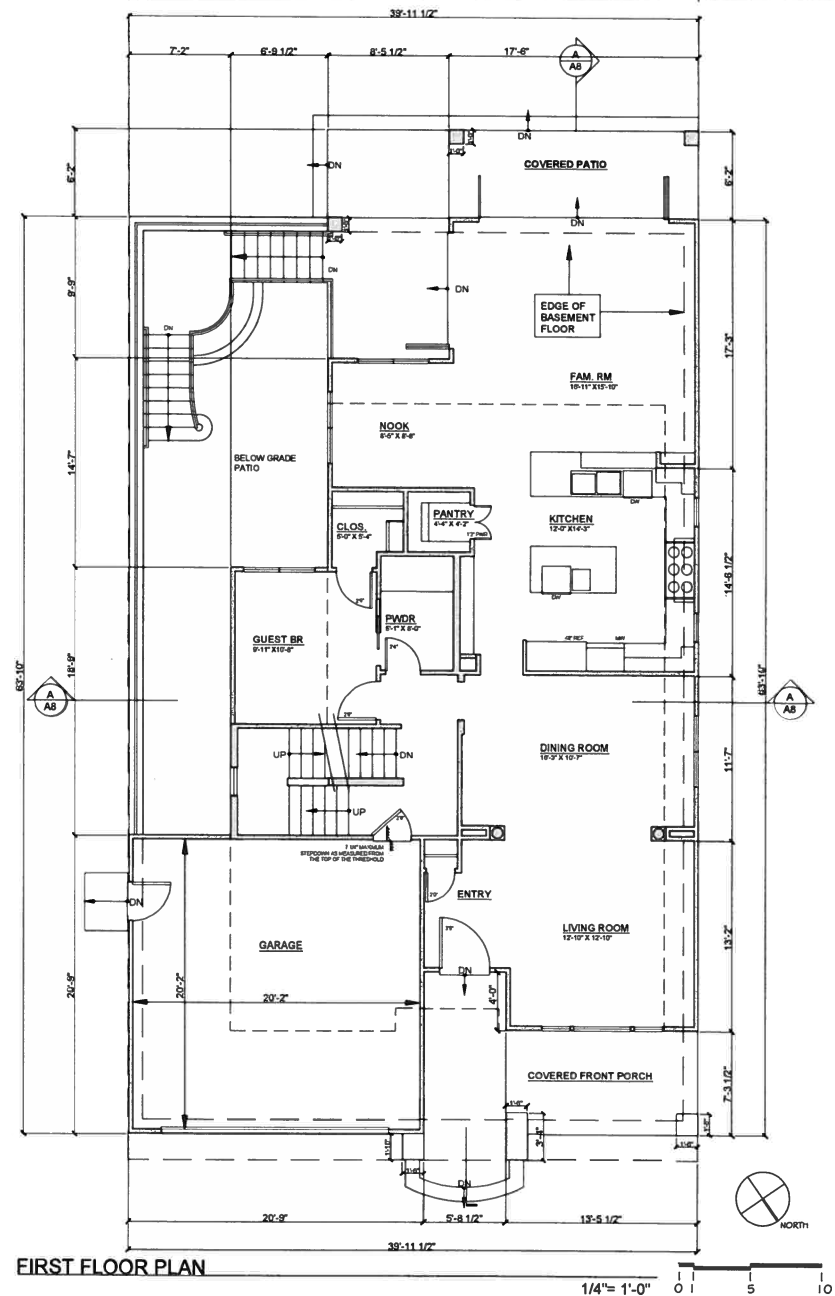
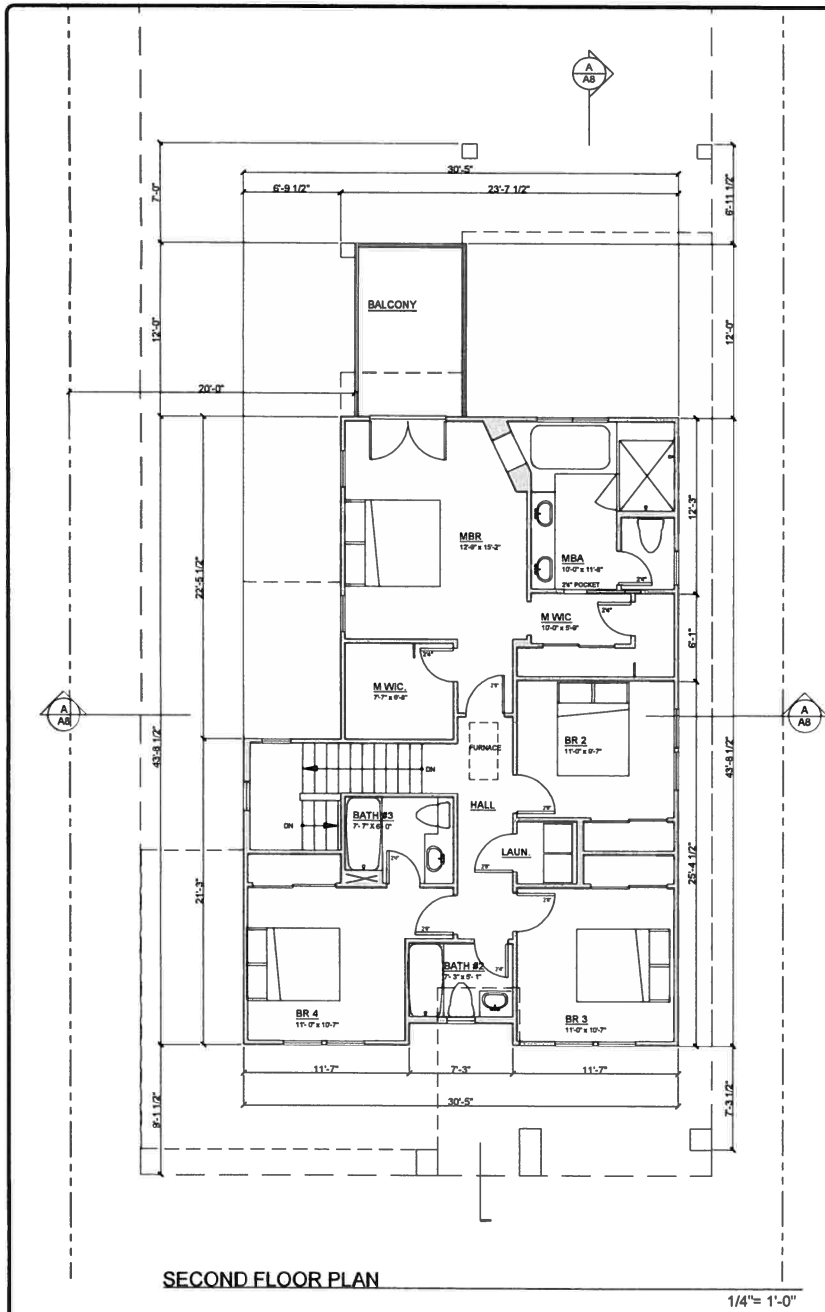
721 Colorado Avenue, Suite 100  
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NEW RESIDENCE FOR:  
**MORTEZA NASSIRI**  
317 YALE ROAD  
MENLO PARK, CALIFORNIA

BASEMENT FLOOR PLAN

DRAWN RAL
CHECKED
DATE 9-14-15
SCALE 1/4" = 1'-0"
JOB NO. 317 YALE RD.
SHEET

**A3**



REVISIONS	BY
1-19-16	H.A.
3-23-16	H.A.
4-12-16	H.A.



**KOHLER ASSOCIATES ARCHITECTS**

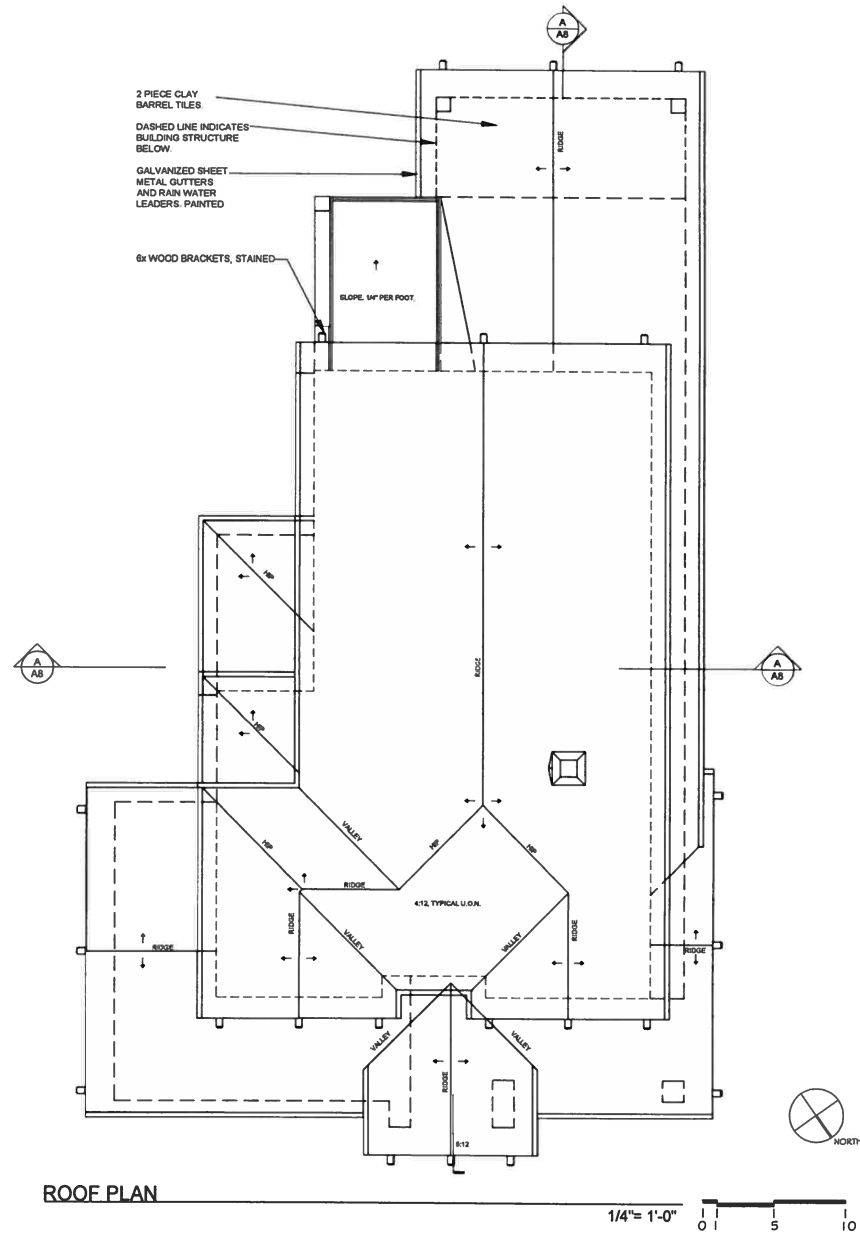
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NEW RESIDENCE FOR:  
**MORTEZA NASSIRI**  
317 YALE ROAD  
MENLO PARK, CALIFORNIA

FIRST & SECOND FLOOR PLANS  
FLOOR AREA CALCULATIONS

DRAWN RAL
CHECKED
DATE 9-14-15
SCALE 1/4" = 1'-0"
JOB NO. 317 YALE RD.
SHEET

**A4**



REVISIONS	BY
1-19-16	H.A.

**KOHLER**  
ASSOCIATES  
ARCHITECTS

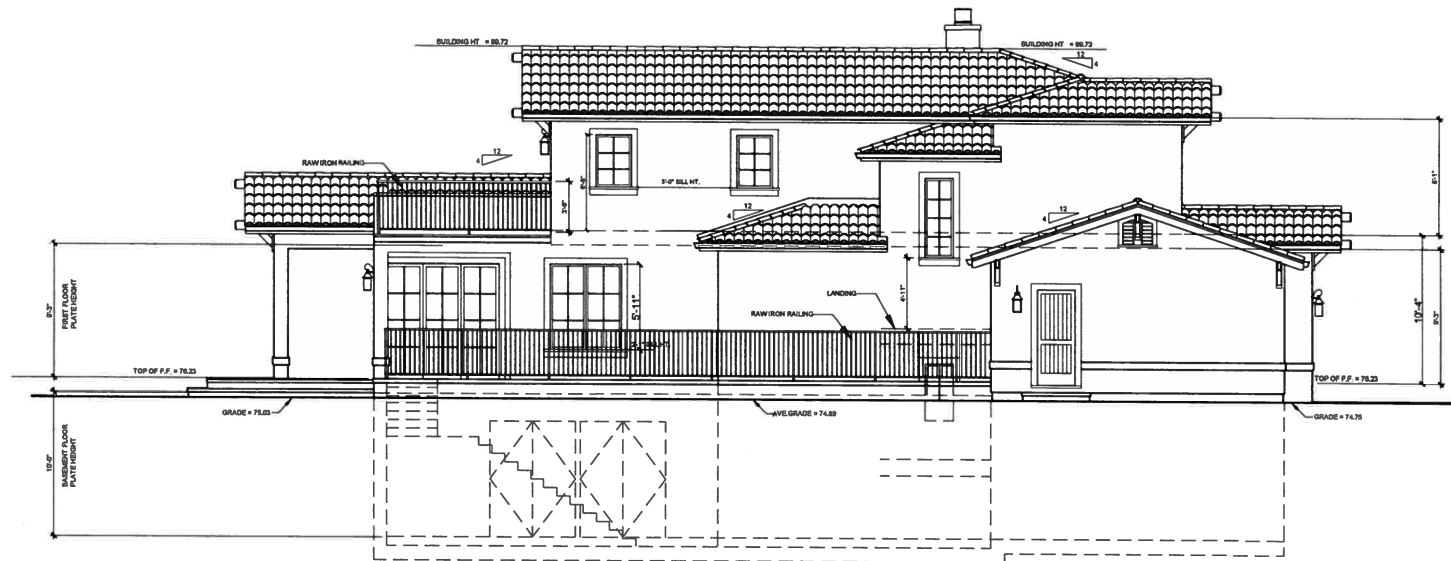
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NEW RESIDENCE FOR:  
**MORTEZA NASSIRI**  
317 YALE ROAD  
MENLO PARK, CALIFORNIA

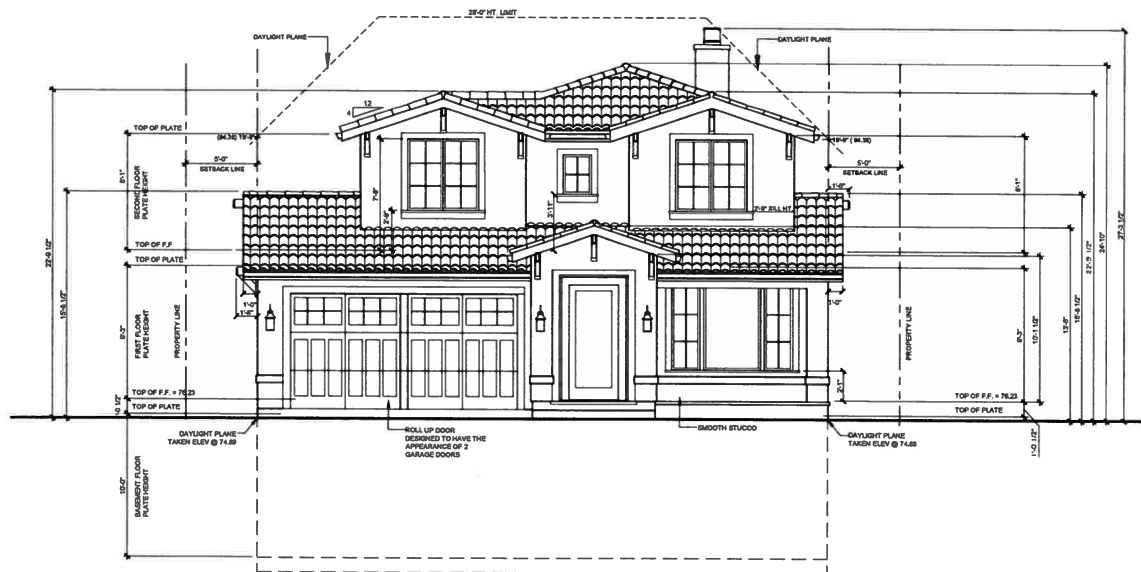
ROOF PLAN

DRAWN RAL
CHECKED
DATE 9-14-2015
SCALE 1/4" = 1'-0"
JOB NO. 317 YALE RD.
SHEET <b>A5</b>



LEFT ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"

EXTERIOR MATERIAL & FINISH SCHEDULE	
ROOF:	TWO PIECE CLAY BARREL TILES
GUTTERS & DOWNSPOUTS:	BLACKSMITHED IRON PAINTED TO MATCH TRIM
EXTERIOR WALLS:	SMOOTH TEXTURE STUCCO
EXTERIOR TRIM:	WOOD - PAINTED
TERACE:	TILE OR SLAB
RAILINGS:	WROUGHT IRON - BRONZE
ENTRY DOOR:	CUSTOM WOOD & GLASS - STAINED
DOORS:	CLAD WOOD - PAINTED
WINDOWS:	GLASS WINDOWS WITH CLEAR INSULATED GLASS W/ EXTERIOR APPLIED ALUMINUM BARS W/ BETWEEN THE GLASS SPACER BAR & INTERIOR APPLIED WOOD MUNTIN BARS.
GARAGE DOOR:	WOOD - STAINED OR PAINTED
PORCH SLAB:	TILE OR STONE
DRIVEWAY:	PAVERS/STAMPED CONCRETE

REVISIONS	BY
1-19-16	H.A.
3-23-16	H.A.

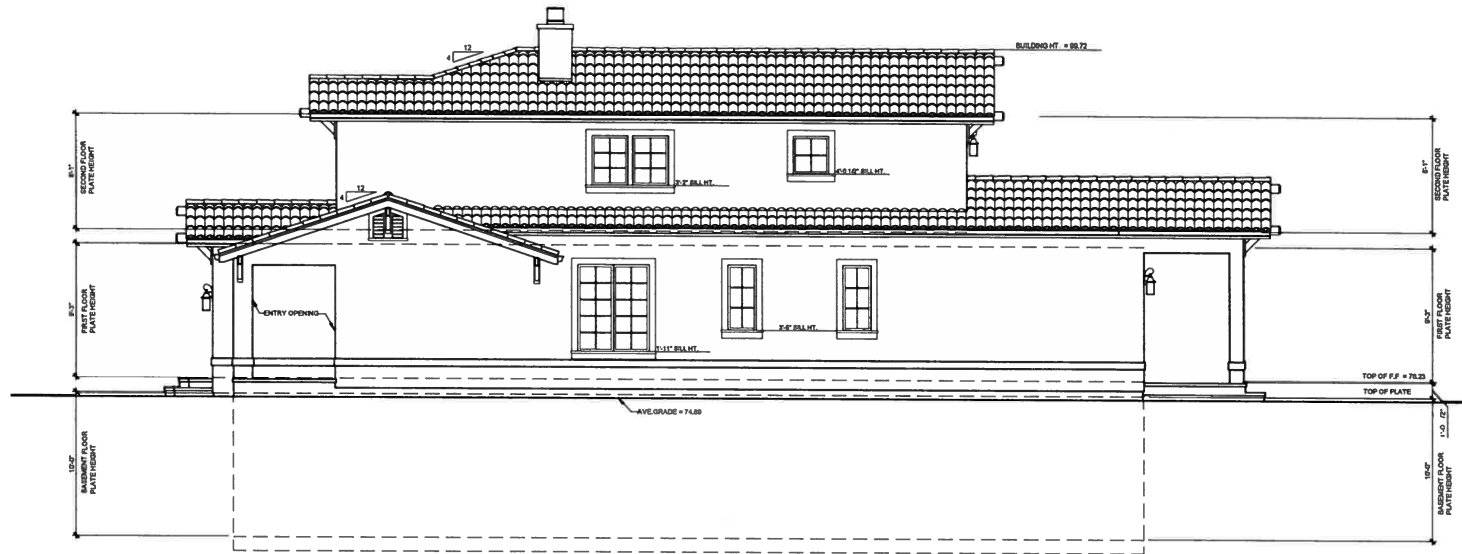
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NEW RESIDENCE FOR:  
**MORTEZA NASSIRI**  
317 YALE ROAD  
MENLO PARK, CALIFORNIA

EXTERIOR ELEVATIONS

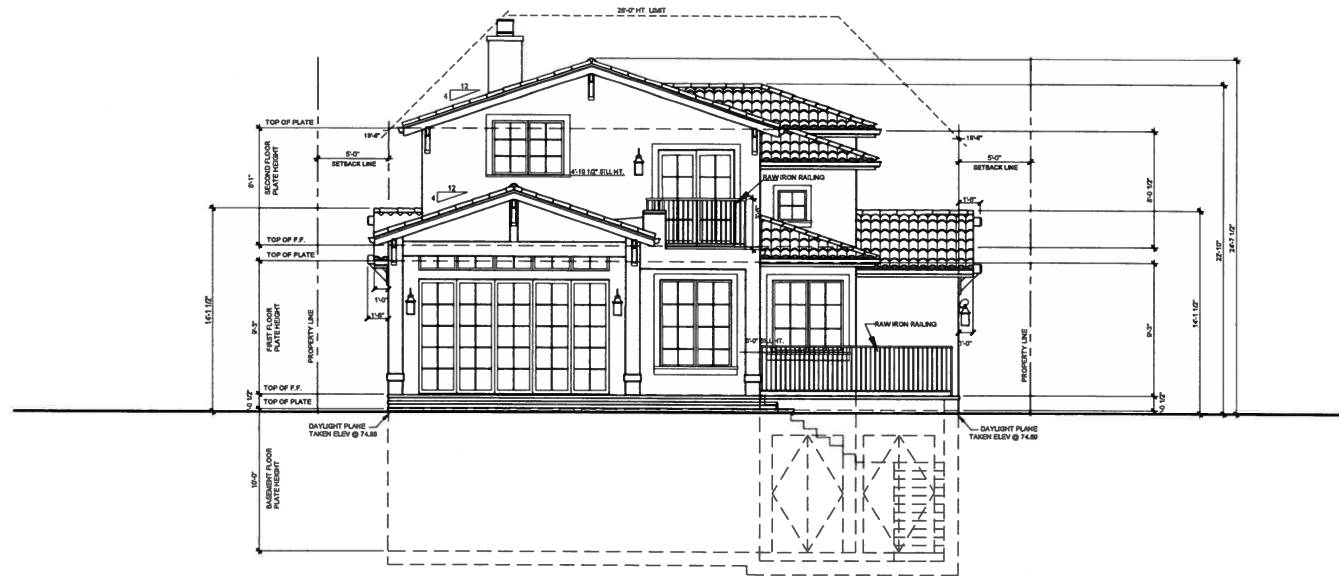
DRAWN RL
CHECKED
DATE 9-14-2015
SCALE 1/4" = 1'-0"
JOB NO. 317 YALE RD.
SHEET <b>A6</b>





RIGHT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

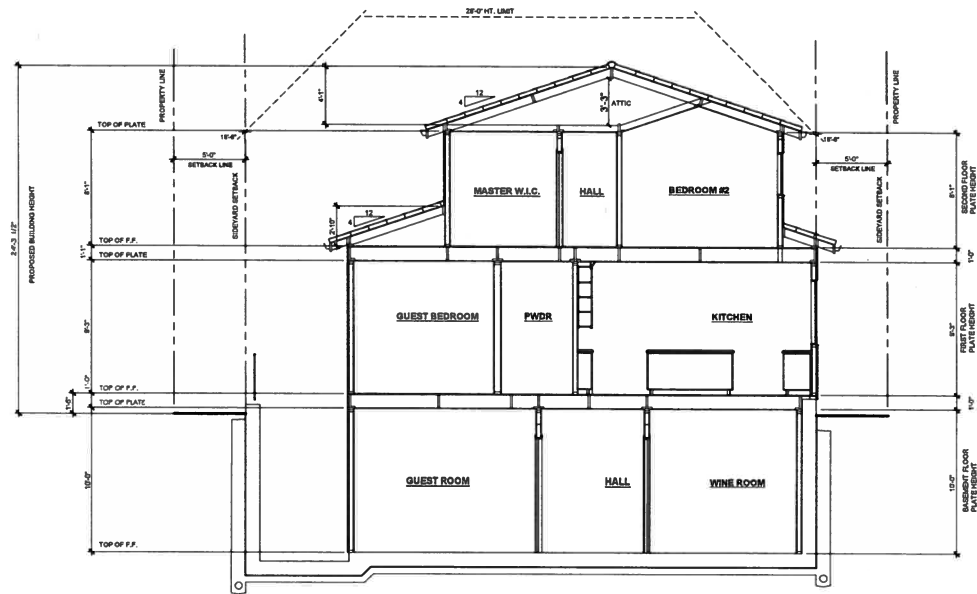
REVISIONS	BY
1-19-16	H.A.
3-23-16	H.A.

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NEW RESIDENCE FOR:  
**MORTEZA NASSIRI**  
 317 YALE ROAD  
 MENLO PARK, CALIFORNIA

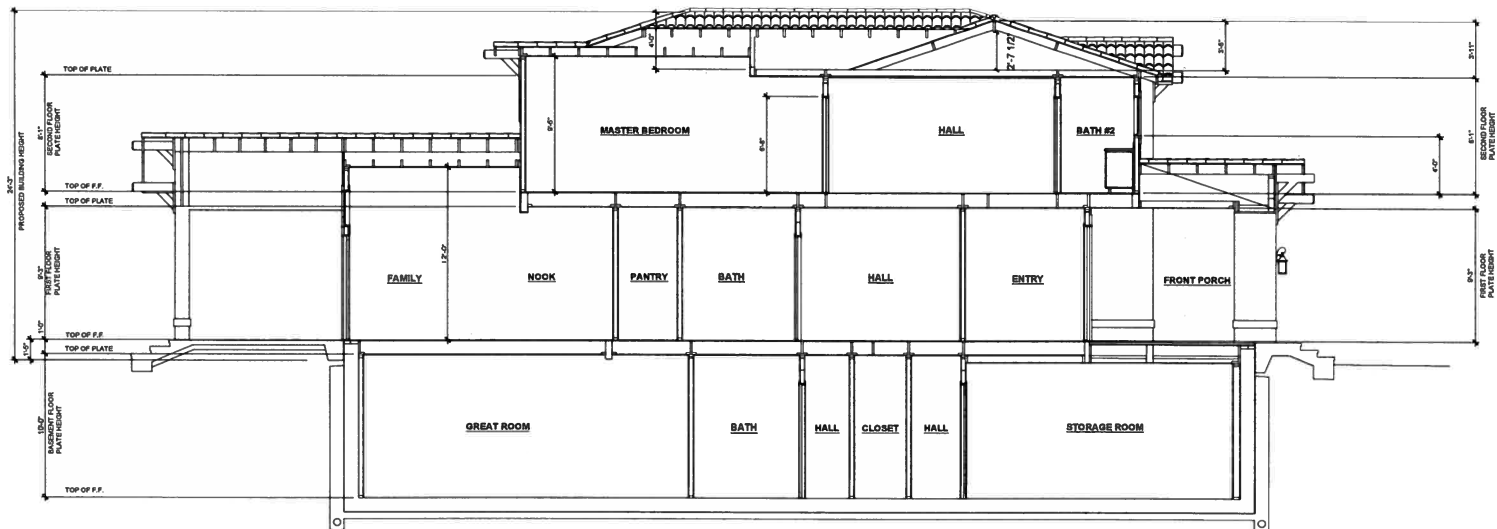
EXTERIOR ELEVATIONS

DRAWN RL
CHECKED
DATE 9-14-15
SHEET 1/4" = 1'-0"
JOB NO. 317 YALE RD.
SHEET <b>A7</b>



BUILDING SECTION A-A

1/4" = 1'-0"



BUILDING SECTION B-B

1/4" = 1'-0"

REVISIONS	BY
1-19-16	M.A.



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NEW RESIDENCE FOR:  
**MORTEZA NASSIRI**  
317 YALE ROAD  
MENLO PARK, CALIFORNIA

BUILDING SECTIONS

DRAWN	RL
CHECKED	
DATE	9-14-2015
SCALE	1/4" = 1'-0"
SHEET NO.	317 YALE RD.

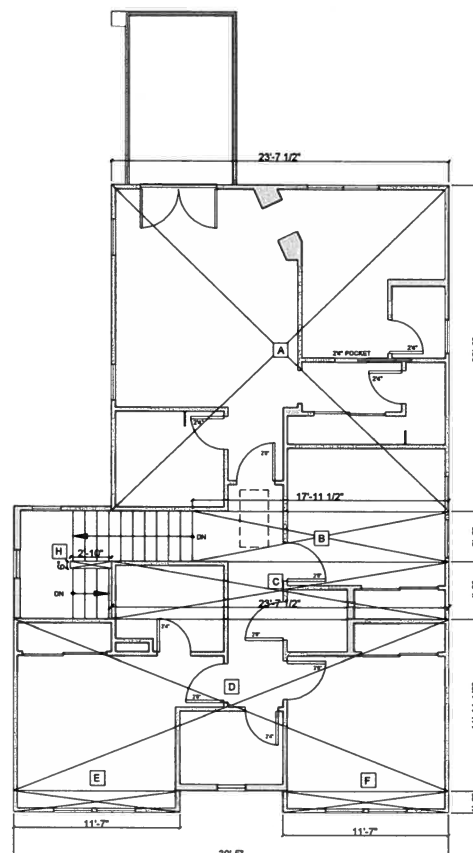
**A8**

### FLOOR AREA CALCULATIONS

FIRST FLOOR			
A	17.50	10.16	177.80
B	26.00	14.25	370.50
C	32.79	19.04	624.32
D	19.50	9.16	178.62
E	13.45	4.04	54.34
TOTAL			1405.58
GARAGE			
G1	13.29	9.16	121.74
G2	7.16	9.45	67.66
G3	20.75	11.29	234.27
TOTAL			423.67
SECOND FLOOR			
A	23.62	22.75	537.36
B	17.95	3.50	62.83
C	23.62	4.00	94.48
D	30.41	11.95	363.40
E	11.58	1.50	17.37
F	11.58	1.50	17.37
H	2.83	0.50	1.42
			1094.21
TOTAL			2923.46

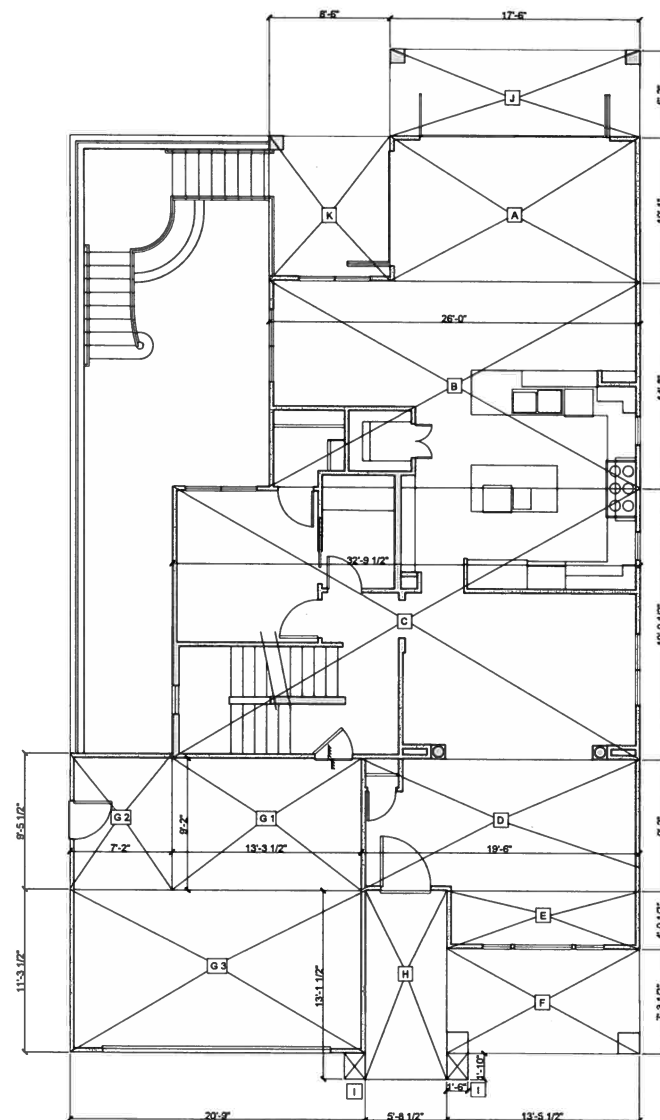
### BUILDING COVERAGE CALCULATIONS

BUILDING COVERAGE CALCULATION			
F	13.45	7.29	98.05
H	5.70	13.12	74.78
1 x 2	1.50	1.83	5.48
J	17.50	6.16	107.80
K	8.50	10.08	85.68
First floor and garage			1829.22
TOTAL BUILDING COVERAGE			2201.01



### SECOND FLOOR AREA CALCULATION

1/4" = 1'-0"



### FIRST FLOOR AREA CALCULATION

$$\frac{1}{4}'' = 1'-0''$$

REVISIONS	BY
1-19-16	H.A.
3-23-16	H.A.



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NEW RESIDENCE FOR:  
**MORTEZA NASSIRI**  
317 YALE ROAD  
MENLO PARK, CALIFORNIA

## FIRST & SECOND FLOOR PLANS AREA CALCULATIONS

DRAWN  
MK  
CHECKED  
DATE  
9-14-2015  
SCALE  
1/4" = 1'-0"  
JOB NO.  
317 YALE RD.

FA1

Project Description – 317 Yale Road

The project proposed is a new, two story single-family residence of 2,924.39 square feet located at 317 Yale Road in Menlo Park. The home will sit on a lot size of 7,499.00 square feet and replaces an existing single-family home with two other accessory buildings for a sum of 2,493 square feet. As part of the new home, updated hardscape and landscaping will be added. The surrounding neighborhood contains residences featuring a variety of traditional architectural styles, with a mix of attached and detached garages, and a mix of one- and two-story homes.

Thoughtful consideration was given to the design of the home, and a variety of factors contributed to the final plans. They included:

- studying the neighborhood to understand scale and aesthetic appropriate for the area
- recognizing the proximity to neighboring homes and minimizing adverse impact
- reflecting on the unique nature of Yale Road – with its stately homes that display a diverse array of architectural designs—from cottage style, to California craftsman, to modern, to Spanish, and more.

As a result of these considerations, the new residence at 317 Yale Road is a Monterey-inspired Spanish Eclectic home with understated modern touches. The home will have a mix of gable and hip forms with two piece clay mission tile roofing. On the street elevation a lower roof element above the front porch roof and continuing over the garage is meant to respond to the single story nature of the neighboring residences. A prominent front porch will add an appealing, soft touch to the front entryway and infuses a relaxed and natural interaction with the street and neighborhood. The windows will be a simulated divided light wood-clad in keeping with the neighborhood fenestration.

The residence will have four bedrooms and three bathrooms on the second floor level with one bedroom on the first floor. The upper floor design has been arranged to minimize the massing on the second story away from neighbors. Moreover, to enhance neighbors' privacy, second story windows along the side elevations are smaller in nature and have raised sill heights so the focal point brings the eye to a point above the neighboring homes. There is a basement with this proposal with a below grade patio.

With respect to the front yard and existing conditions, the existing driveway will be widened away from the existing camphor tree while keeping some part of the existing curb-cut. An unassuming walkway leading to the front porch will serve to add to the sense of home and of place.

RECEIVED

JAN 20 2016

CITY OF MENLO PARK  
BUILDING

## Kielty Arborist Services LLC

P.O. Box 6187  
San Mateo, CA 94403

650-215-9783

**RECEIVED**

MAR 23 2016

**CITY OF MENLO PARK  
BUILDING**

February 29, 2016

Kohler Associates Architects  
Attn: Mr. Roger Kohler  
721 Colorado Avenue Suite 102  
Palo Alto, CA 94303

Site: 317 Yale, Menlo Park, CA

Dear Mr. Kohler,

At your request on Monday, February 29, 2016, I reviewed the latest plan set for the above site. Site plan A-1 dated February 23, 2016 was reviewed for this report.

**Observations:**

The above mentioned plans were well draw with all disturbed areas well displayed. All tree canopies are well displayed.

**Summary:**

Impacts to the trees are expected to be minor with no long term impacts. All excavation or trenching within the dripline of a protected tree will be supervised by the site arborist.

**Inspection Schedule:**

The site will be inspected prior to the start of any demolition and again prior to the start of construction. Other inspections will be on an as needed basis. The tree protection will be inspected by the town arborist prior to the start of construction.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty  
Certified Arborist WE#0476A

# Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

April 13, 2015 Revised January 11, 2015, Revised again on February 19, 2016

Kohler Associates Architects

attn: Roger Kohler

721 Colorado Ave

Palo Alto, CA 94303

Site: 317 Yale Menlo Park CA, 94025

Dear Mr. Kohler,

As requested on Monday, March 23, 2015 and again on January 11, 2016, I visited the above site to inspect and comment on the trees. Your concern as to the future health and safety of the trees has prompted this visit.

## **Method:**

The significant trees on this site were located on a to scale map provided by you. Each tree was given an identification number. This number was inscribed onto a metal foil tag and nailed to the trees at eye level. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). A condition rating of 1 – 100 was assigned to each tree representing form and vitality using the following scale:

1 - 29	Very Poor
30 - 49	Poor
50 - 69	Fair
70 - 89	Good
90 - 100	Excellent

The height of each tree was estimated and the spread was paced off.

317 Yale/3/23/15 Revised /2/19/16

(2)

**Survey:**

Tree#	Species	DBH	CON	HT/SP	Comments
1*	Camphor ( <i>Cinnamomum camphora</i> )	36.1	60	45/40	Good vigor, fair form, multi leader at 5 feet, larger surface roots, street tree.
2*	Fern pine ( <i>Podocarpus gracilior</i> )	10est	50	30/20	Fair vigor, fair form.
3	Orange ( <i>Citrus sinensis</i> )	5.6	45	10/10	Poor vigor, poor form, suppressed
4*	Flowering pear ( <i>Pyrus calleryana</i> )	12est	55	35/30	Good vigor, fair form, heavy lateral limbs, close to property line.
5	Privet ( <i>Ligustrum japonicum</i> )	4x3	45	30/20	Poor-fair vigor, poor form, multi leader, in decline, shared tree, bending fence.
6	Orange ( <i>Citrus sinensis</i> )	8.7	40	20/20	Poor-fair vigor, fair form, in decline.
7R	Fern pine ( <i>Podocarpus gracilior</i> )	23.1	55	45/50	Good vigor, poor form, poor location. <b>Planned for removal</b>
8R	Holly ( <i>Ilex aquifolium</i> )	18.0	45	35/20	Poor-fair vigor, poor form, codominant at 2 feet. <b>Planned for removal</b>
9	Holly ( <i>Ilex aquifolium</i> )	7.6	50	25/20	Fair vigor, poor form, suppressed.
10R	Silk tree ( <i>Albizia julibrissin</i> )	6.2	55	30/25	Fair vigor, poor form, poor location against house, leans at a 45 degree angle. <b>Planned for removal</b>
11*	Strawberry madrone ( <i>Arbutus 'Marina'</i> )	5est	60	15/10	Fair vigor, fair form, 4 feet from property line.
12 R	Dogwood ( <i>Cornus spp.</i> )	1.5	60	10/5	Fair vigor, fair form, young, recently planted, street tree. <b>Planned for removal</b>
13	Sycamore ( <i>Platanus x acerifolia</i> )	2.2	60	10/5	Fair vigor, fair form, young, recently planted, street tree.

\*indicates neighbors tree.

R-indicates planned removal



**Showing cut roots and new sidewalk installation**

**Summary:**

All trees on site are imported trees. The trees have not been maintained for many years. A new home and landscape is being designed to better fit the lot and to improve the outward appearance. Tree #1 is a large camphor street tree. A large amount of the trees roots have been severed in the past in order to try and control further damage done by the large surface roots of this street tree. This is seen on the trees root flair, as it appears large roots have been cut probably to fix the driveway area. Also there appears to be sidewalk work that recently occurred in this area, judging by the newer looking concrete. The sidewalk work was likely done because the trees roots damaged the sidewalk creating a tripping hazard. An unknown amount of root loss occurred during this work done.

At this time a new driveway is being designed in the same area as the existing driveway. The existing driveway should stay in place as long as possible throughout the proposed work. This will protect any roots that are growing underneath the driveway from compaction. Staging of materials can be done on the existing driveway. At the end of the project, during the driveway excavation, the site arborist should be onsite to inspect, document and offer mitigation measures. Hand tools shall be used when excavating the existing driveway. Any roots over 2 inches in diameter to be cut, need to be inspected by the site arborist. Impacts to the camphor street tree as a result of construction is expected to be minor. Roots in this area have already been cut multiple times for different reasons. Despite the past work done the tree is still in good health. As long as the existing driveway stays in place until the end of the project in order to protect the roots the tree will remain in fair health.

Public works is requesting that Camphor street tree #1 is protected by installing trunk wrap protection in addition to the tree protection fencing around tree #1. The trunk wrap is described as followed:

- The trunk is to be wrapped with a 2-inch layer of orange plastic construction fencing as padding from the ground up to the first branch.
- Wooden slats 2-inches thick are to be bound securely, edge to edge, on the outside of the plastic fencing.
- A single layer of orange plastic construction fencing to be wrapped and secured around the outside of the wooden slats.
- Major scaffold limbs that hang over the driveway will require this same type of padding.



-Structural plans relating to the driveway should include specific instructions that limit excavation within the dripline of the tree to no deeper than the depth of the existing aggregate base or slab.

Tree #7 is a large podocarpus tree. The location of this tree is poor as it is located near the center of the property. The form of the tree is also poor as the tree is codominant. Podocarpus trees are fast growing and easily replaceable. At this time the owner would like to remove and replace this tree as sees fit somewhere else on the property. This is a protected tree and will need a permit for removal.

Tree #8 and #9 are both Holly trees. During the time of investigation holly tree #8 was in poor vigor and form. The tree is codominant at 2 feet and is heavily suppressing holly #9. These 2 trees are in close proximity to each other and the proposed construction. Holly #8 is a protected tree and will need to go through the permit process to be removed. Holly #8 should be removed as it is in poor health and will be moderately impacted from construction activity. Because holly tree #8 is already in poor health it is not expected to survive being moderately impacted. Holly tree #9 will remain and benefit from tree #8 being removed as more sunlight will be available.

Tree #10 is a silk tree that is located less than 1 foot from the existing home. The tree leans heavily at a 45 degree angle away from the home. This tree will be removed as the demolition and excavation for the new home will likely cut the existing roots on the tension side making the tree unsafe. Trees #7 and #8 are the only heritage sized trees proposed for removal at this time.

The city arborist indicated that the dogwood street tree #12 is in decline and should be removed and replaced with a 24" box Platanus 'Columbia' in the same location within 30 days of removal. Street tree #13 will require tree protection fencing if the existing junipers are removed or damaged. The contractor is to contact the site arborist for tree protection instructions if the junipers are removed or damaged. The following tree protection plan will help retain any remaining trees.

#### **Tree Protection Plan:**

##### *Tree Protection Zones*

Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for tree protection zones should be 6' tall, metal chain link material supported by metal 2" diameter poles, pounded into the ground to a depth of no less than 2'. The location for the protective fencing should be as close to the dripline of desired trees as possible, still allowing room for construction to safely continue. No equipment or materials shall be stored or cleaned inside the protection zones. Areas outside protection zones, but still beneath the tree's driplines, where foot traffic is expected to be heavy, should be mulched with 4-6" of chipper chips. The spreading of chips will help to reduce compaction and improve soil structure. The tree protection zones for the neighbor's trees must be maintained throughout the entire project.

*Root Cutting and Grading*

Any roots to be cut shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The over dig for the foundation should be reduced as much as possible when roots are encountered.

*Trenching and Excavation*

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

*Irrigation*

Normal irrigation shall be maintained on this site at all times. The imported trees will require normal irrigation. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April – November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

*Demolition*

All tree protection must be in place prior to the start of demolition. Demolition equipment must enter the project from the existing driveway. If vehicles are to stray off the drive the area within the dripline of a protected tree must be covered with 6 inches of chips and steel plates of 11/4 inch plywood.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty  
Certified Arborist WE#0476A



## STAFF REPORT

### Planning Commission

**Meeting Date:**

**5/9/2016**

**Staff Report Number:**

**16-032-PC**

**Public Hearing:**

**Use Permit/Hilary Hubbard/1360 Delfino Way**

### Recommendation

Staff recommends that the Planning Commission approve a use permit to remodel and add a second story addition to an existing single-story, single-family nonconforming residence in the R-1-U (Single-Family Urban Residential) zoning district, at 1360 Delfino Way. The proposed expansion would exceed 50 percent of the replacement value of the existing structure in a 12-month period and requires approval of a use permit by the Planning Commission. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The project site is located at 1360 Delfino Way, between Valparaiso Avenue and Santa Cruz Avenue, on a cul-de-sac street. A location map is included as Attachment B. All parcels on Delfino Way are also zoned R-1-U, while parcels to the north, on North Lemon Avenue, are zoned R-1-S (Single-Family Suburban Residential). The area is close to the City's boundaries with the Town of Atherton and unincorporated San Mateo County.

The surrounding homes are predominantly single-story, single-family residences; however, two-story, single-family residences can also be found on the cul-de-sac and throughout the neighborhood. This is a neighborhood in transition; older existing residences tend to be one story in height, while newly built and remodeled residences are typically two stories in height. Residences on Delfino Way feature a variety of architectural styles including traditional ranch, Mediterranean, and contemporary residential.

### Analysis

#### *Project description*

The subject site is currently occupied by a single-story residence with an attached garage. The structure is nonconforming with regard to the front and right side setbacks. The applicant is proposing to maintain the 2,562-square-foot first story, while adding a 689-square-foot second story addition over the left side of the residence, and renovate portions of the existing structure. A data table summarizing parcel and project

attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a four-bedroom home with three bathrooms. The first story living space includes a kitchen, combined living and dining room, two bathrooms, family room, three bedrooms and a two car garage. The second story would feature a new master suite and office. The existing nonconforming walls at the front and right sides of the residence are proposed to remain with the wall framing retained, but all areas of new construction would comply with current setback requirements and other development standards of the R-1-U zoning district. The roof structure would be rebuilt in the nonconforming area to be retained, but the new eaves would comply with the relevant requirements for architectural feature encroachments into the setbacks.

The floor area, building coverage, and height of the proposed residence would all be below the maximum amounts permitted by the Zoning Ordinance. Additionally, the structure would comply with the daylight plane for a two-story home in the R-1-S zoning district.

### ***Design and materials***

The existing residence is a traditional ranch home featuring the characteristic long, low profile, simple gabled roof and wood siding typical of this architectural style. As part of the proposed project, the façade would be updated to achieve a more contemporary aesthetic. The existing wood siding on the exterior of the residence would be replaced with stained wood shingle siding with corner miter cuts. The front entry would be accentuated with a new covered porch, and dormers would be added above the front kitchen window and rear living room doors. The roof structure of the second story addition would include more complex hipped roof forms and four dormers. The entire roof structure would be covered in high definition "wood like" composition roof shingles. The proposed windows would be aluminum clad, with interior and exterior grids and spacer bars between the glass.

The new second story would be concentrated toward the left side of the property, where the closest adjacent residence, a single-story single-family home at 1370 Delfino Way, is approximately 20 feet away. The second story of the proposed structure is designed in such a way that potential privacy impacts should be relatively low. The second-story windows are proposed to have sill heights of at least three feet, and the dormers would be located on the front and rear sides, both of which would promote privacy for the neighboring side properties. Additionally, the hipped roof structure minimizes the apparent mass of the second story. The second story would be weighted toward the left side of the property, but staff believes the relatively small size and low profile of the addition would keep the expanded structure from appearing overly lopsided. In addition, two other residences at the end of Delfino Way have a similar massing pattern.

Staff believes that the scale, materials, and style of the proposed residence are consistent with the broader neighborhood, given the architectural styles and sizes of structures in the area.

### ***Trees and landscaping***

At present, there are seven trees on or in close proximity to the project site. Two of these trees are heritage trees located on the parcel directly to the north of the project site. All seven trees are proposed to remain. The partial demolition of the existing residence and construction of the proposed addition are not

anticipated to adversely affect any of the existing trees located on the subject site or neighboring properties, given that the proposed addition is within the footprint of the existing structure. Standard heritage tree protection measures will be ensured through recommended condition 3g. No new landscaping is currently proposed.

### ***Valuation***

To calculate the replacement and new construction costs on which the use permit threshold is based, the City uses standards established by the Building Division. The City has determined that the replacement cost of the existing structure would be \$445,620 meaning that the applicants would be allowed to propose new construction and remodeling at this site totaling less than \$222,810 in any 12-month period without applying for a use permit. The City has determined that the value of the proposed work would be approximately \$358,425. Based on this estimate, the proposed project exceeds 50 percent of the replacement cost of the existing structure, therefore requiring use permit approval by the Planning Commission.

### ***Correspondence***

The applicant indicates that she performed outreach by contacting adjacent property owners regarding the proposed project. Five signed letters were submitted with the application, all of which express support for the proposed project (Attachment F). Both adjacent side property owners are represented as part of this transmittal.

### ***Conclusion***

Staff believes that the scale, materials, and style of the proposed residence are compatible with those of the greater neighborhood. No heritage tree impacts are anticipated. The floor area, building coverage, and height of the proposed residence would all be at or below the maximum amounts permitted by the Zoning Ordinance, and the new structure would be within the daylight plane requirements. Staff recommends that the Planning Commission approve the proposed project.

### ***Impact on City Resources***

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### ***Environmental Review***

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

### ***Public Notice***

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Correspondence

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

### **Exhibits to Be Provided at Meeting**

None

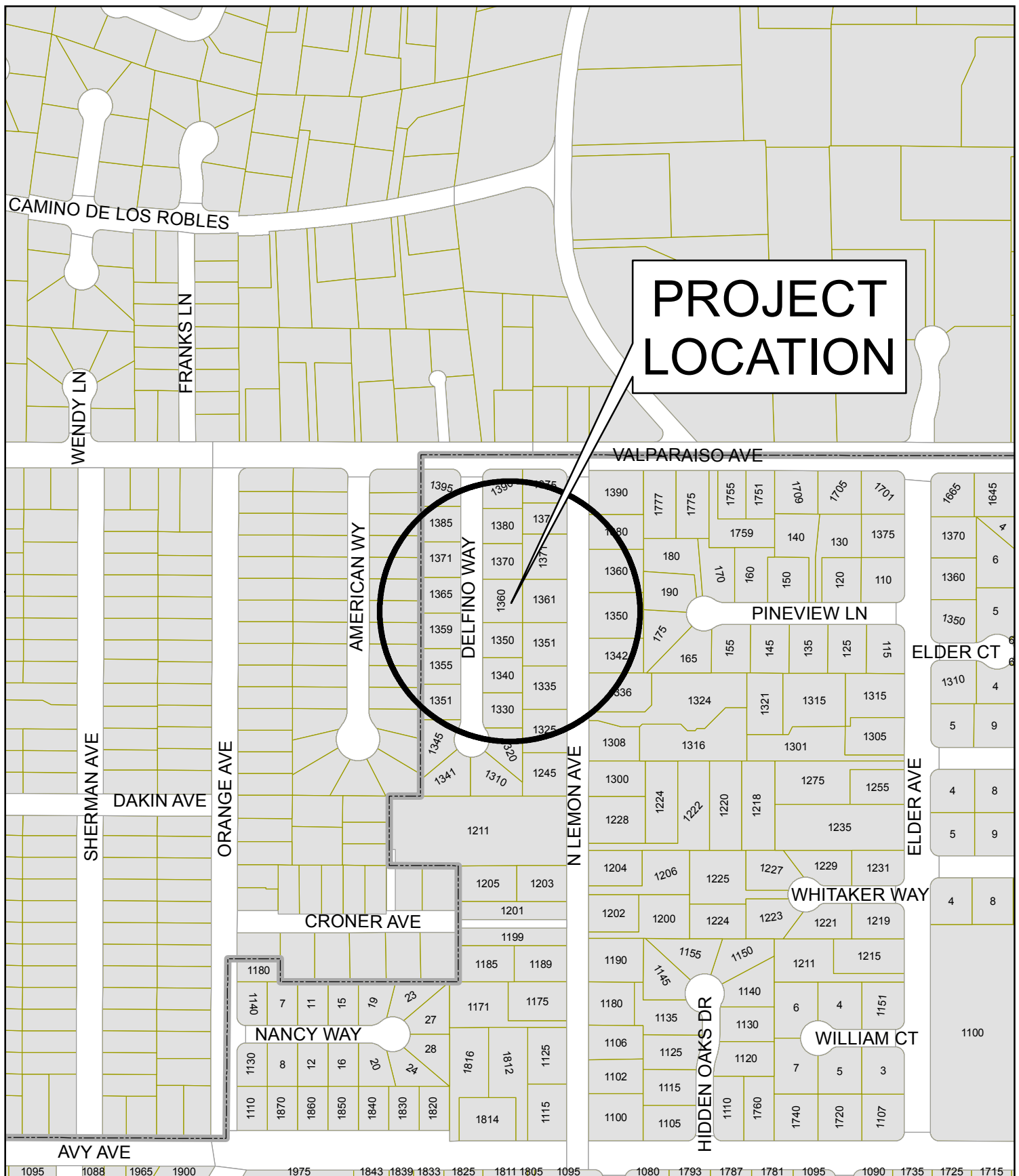
Report prepared by:

Kaitlin Meador, Associate Planner

Report reviewed by:

Thomas Rogers, Principal Planner

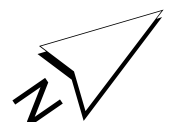
<b>LOCATION:</b> 1360 Delfino Way	<b>PROJECT NUMBER:</b> PLN2016-00041	<b>APPLICANT:</b> Hilary Hubbard	<b>OWNER:</b> Carter Busse & Donna Eaton
<b>REQUEST:</b> Request for a use permit to remodel and add a second story to an existing nonconforming single-story, single-family residence in the R-1-U (Single-Family Urban) zoning district. The proposed work would exceed 50 percent of the existing replacement value in a 12-month period.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> May 9, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Goodhue, Kahle, Onken, Strehl, Riggs, Barnes)			
<p><b>ACTION:</b></p> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions:             <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Hubbard Godfrey Architects Inc., consisting of 17 plan sheets, dated received on April 13, 2016, and approved by the Planning Commission on May 9, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</li> </ol> </li> </ol>			



# CITY OF MENLO PARK

LOCATION MAP  
1360 DELFINO WAY

DRAWN: TAS CHECKED: KMM DATE: 05/09/16 SCALE: 1" = 300' SHEET: 1





## 1360 Delfino Way – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	9,200 sf	9,200 sf	7,000 sf min.
Lot width	100 ft.	100 ft.	65 ft. min.
Lot depth	92 ft.	92 ft.	100 ft. min.
Setbacks			
Front	19.7 ft.	19.7 ft.	20 ft. min.
Rear	25 ft.	25 ft.	20 ft. min.
Side (left)	10.2 ft.	10.2 ft.	10 ft. min.
Side (right)	9.6 ft.	9.6 ft.	10 ft. min.
Building coverage	2,664 sf	2,588 sf	3,220 sf max.
	29 %	28 %	35 % max.
FAL (Floor Area Limit)	3,251 sf	2,576 sf	3,350 sf max.
Square footage by floor	2,056 sf/1st 689 sf/2nd 506 sf/garage 76 sf/porch 26 fireplace	2,070 sf/1st 506 sf/garage 12 sf/fireplace	
Square footage of buildings	3,353 sf	2,588 sf	
Building height	24 ft.	14.7 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees	2*	Non-Heritage trees	5	New Trees	0
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0	Total Number of Trees	7

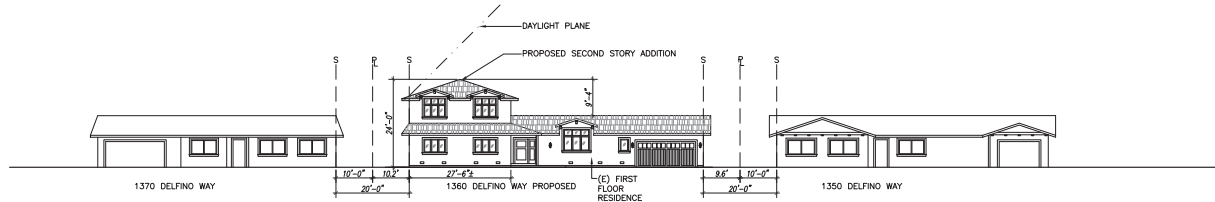
\*Includes two trees on adjacent property





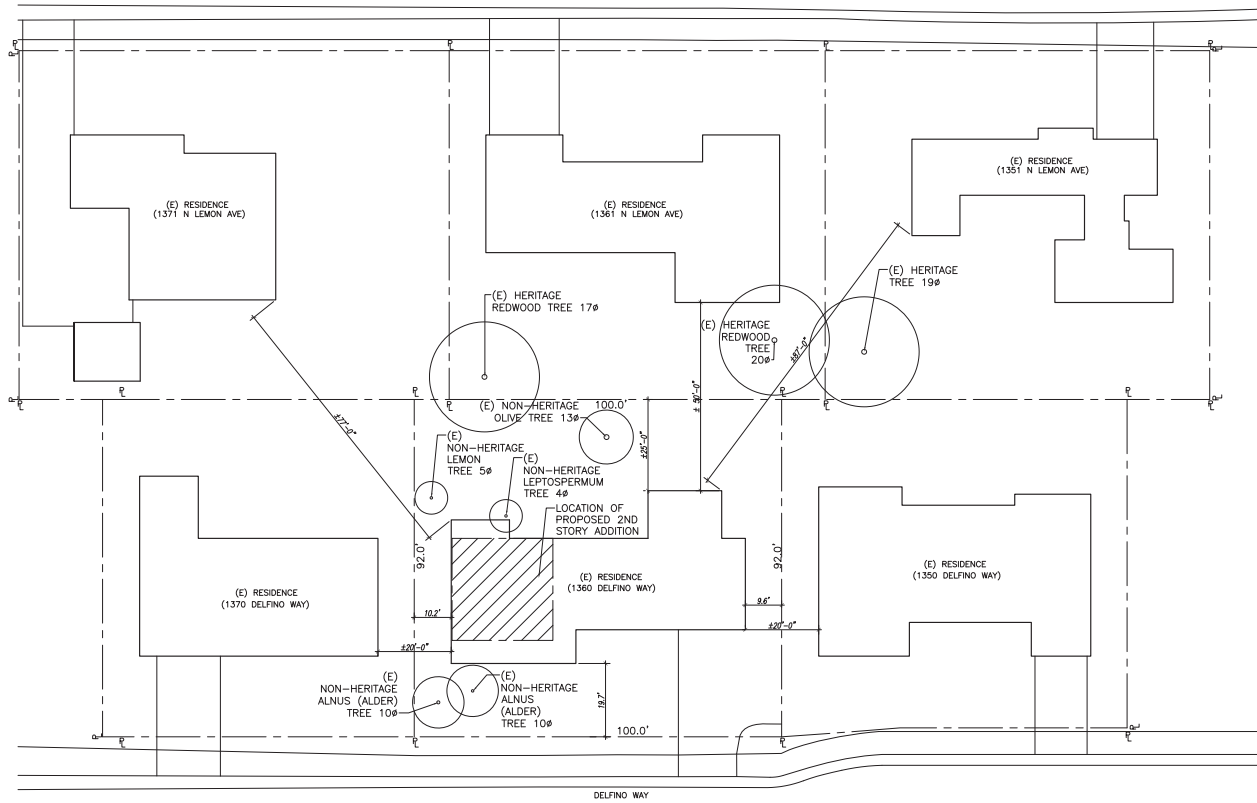
# AREA & STREETSCAPE NOTES

1. (E) FOOTPRINT OF PROPOSED RESIDENCE TO REMAIN



## 2 STREETScape DRAWINGS - DELFINO WAY

A1.0 SCALE: 1/16"=1'-0"



## 1 AREA PLAN - DELFINO WAY

A1.0 SCALE: 1/16"=1'-0"

# Busse-Eaton Residence

Remodel & 2nd Storey Addition

1360 DELFINO WAY  
MENLO PARK, CA 94025



HUBBARD GODFREY ARCHITECTS INC

3137 GEARY BOULEVARD  
SAN FRANCISCO CA 94118  
T: 415.379.1700  
HUBBARDGODFREY.COM

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### STRUCTURAL ENGINEER

SUNG ENGINEERING  
29300 KIMMEL WAY, SUITE 190  
UNION CITY, CA 94587  
TEL: 510.475.7900  
FAX: 510.475.7913

### INTERIORS

KRISTI WILL HOME & DESIGN  
270 CAPSTRANO ROAD, SUITE 26  
HALF MOON BAY, CA 94019  
TEL: 650.726.1660

### LAND SURVEYOR

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2495 INDUSTRIAL PARKWAY WEST  
HAYWARD, CA 94545  
510.887.4086 PHONE  
510.887.3019 FAX

### TITLE 24 CONSULTANT

GABEL ASSOCIATES, LLC  
1818 HARMON STREET  
BERKELEY, CA 94703  
TEL: 510.428.0803

NO	DATE	COMMENTS
1	4.06.16	REVISION TO PLANNING
2	3.03.16	ISSUED FOR USE PERMIT
3	12.08.15	ISSUED FOR PERMIT
4	7.27.15	NO ADDENDUM #1
5	7.10.15	ISSUED FOR BID
6	1.6.15	BUDGET PRICING

## REVISIONS

## PLOT PLAN

BUSSE-EATON RESIDENCE  
1360 DELFINO WAY  
MENLO PARK, CA 94025

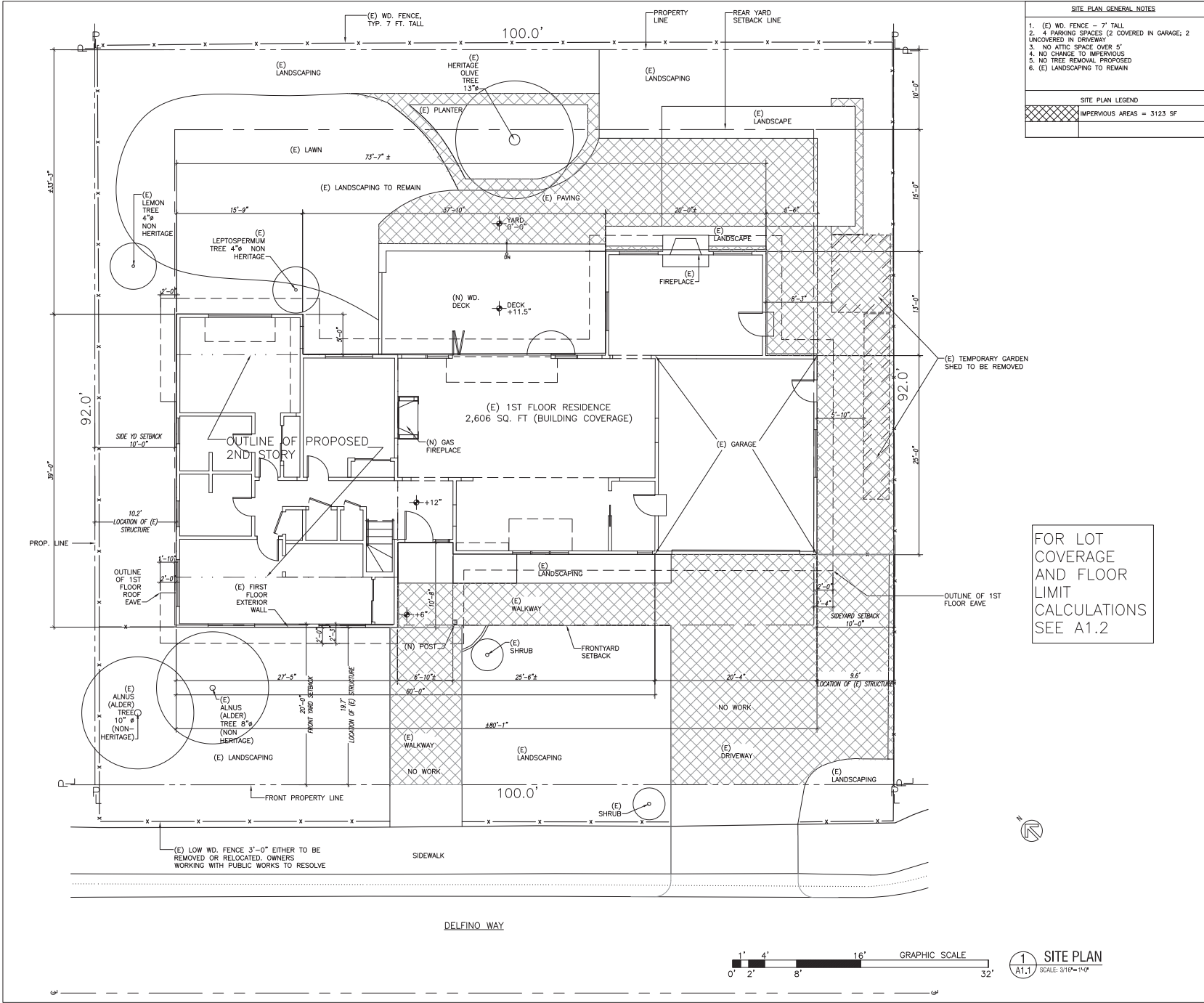
## STREETSCAPE & AREA PLAN

PROJECT NO: 1411 SCALE: 1/16"=1'-0"



A1.0

HELIAL STREETSCAPE INC



## Busse-Eaton Residence

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NO.	DATE	COMMENTS
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3.03.16	ISSUED FOR USE PERMIT	
12.08.15	ISSUED FOR PERMIT	
7.27.15	80 ADDENDUM #1	
7.16.15	ISSUED FOR BID	
1.6.15	BUDGET PRICING	

### REVISIONS

### PLOT PLAN

BUSSE-EATON RESIDENCE  
1360 DELFINO WAY  
MENLO PARK, CA 94025

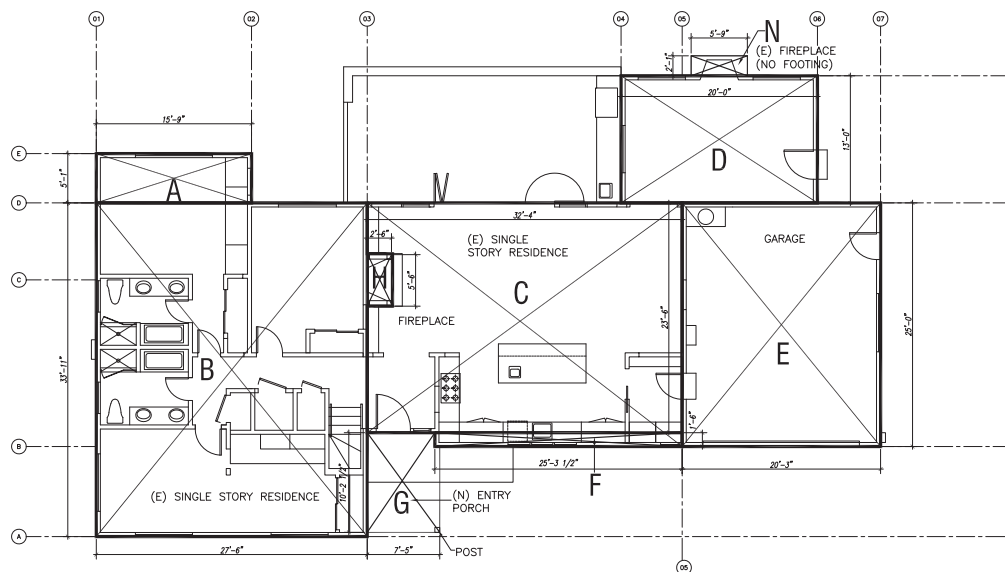
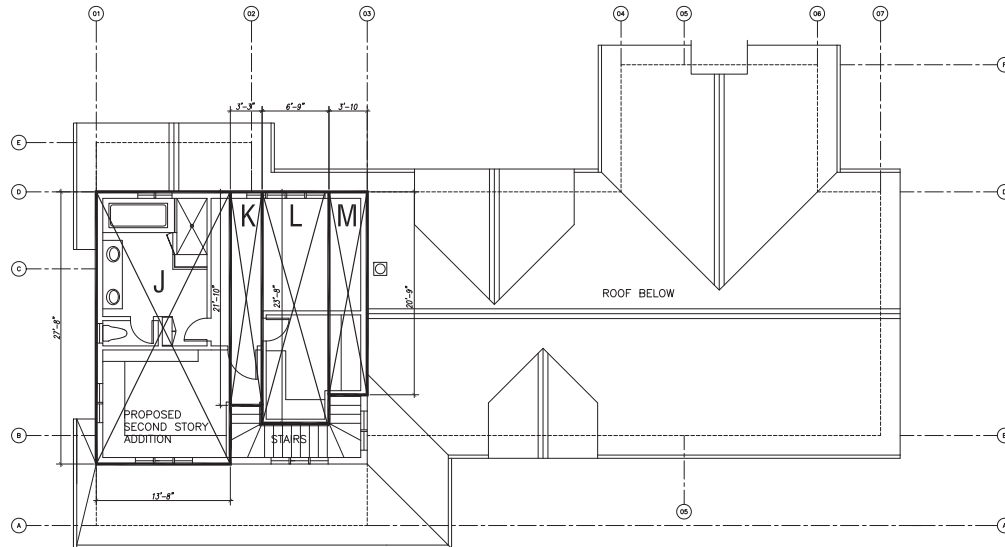
### SITE PLAN

PROJECT NO: 1411 SCALE: 3/16"=1'-0"



# A1.1

HELIX SITE PLANING



GENERAL NOTES		
1. ALL ATTIC SPACE LESS THAN 5' TALL. SEE BUILDING SECTIONS A3.2-A3.4		
FLOOR AREA LIMIT CALCULATION		
FAL FORMULA: 2800 SQ. FT. + 25% (LOT AREA-7000 SF) 2800 + 25% (9200-7000) 2800 + 25% (2200) 2800 + 550		
FAL ALLOWANCE:	3350 SF	
AREA	DIMENSIONS	SF
A	5'-1" X 15'-9"	80
B	33'-11" X 27'-6"	932
C (-13.75 SF FIREPLACE)	32'-4" X 23'-6"	746
D	13'-0" X 20'-0"	260
E GARAGE	20'-3" X 25'-0"	506
F	25'-3 1/2" X 1'-6"	38
J	27'-8" X 13'-8"	378
K	21'-10" X 3'-3"	71
L	23'-8" X 6'-9"	160
M	20'-9" X 3'-10"	80
TOTAL FAL		3,251

BUILDING COVERAGE CALCULATION		
MAXIMUM ALLOWABLE BUILDING COVERAGE IN R-1-U ZONING: 35%		
LOT SIZE:	9200 SF	
MAX ALLOWABLE BUILDING COVERAGE	3220 SF	
AREA	DIMENSIONS	AREA (SF)
A	5'-1" X 15'-9"	80
B	33'-11" X 27'-6"	932
C	32'-4" X 23'-6"	764
D	20'-0" X 13'-0"	260
E	20'-3" X 25'-0"	506
F	25'-3 1/2" X 1'-6"	38
G	7'-5" X 10'-2 1/2"	76
H	2'-6" X 5'-9"	14
N	2'-1" X 5'-9"	12
TOTAL BUILDING COVERAGE		2,682
PERCENTAGE OF LOT COVERAGE		29%

## Busse-Eaton Residence

### Remodel & 2nd Storey Addition

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4.06.16	REVISION TO PLANNING
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12.06.15	ISSUED FOR PERMIT
7.27.15	90 ADDENDUM #1
7.10.15	ISSUED FOR BID
1.6.15	BUDGET PRICING
NO DATE	COMMENTS

#### REVISIONS

#### PLOT PLAN

BUSSE-EATON RESIDENCE  
1360 DELFINO WAY  
MENLO PARK, CA 94025

#### FAL & LOT COVERAGE CALCULATIONS

PROJECT NO: 1411 SCALE: 3/16" = 1'-0"

REGISTERED ARCHITECT  
HUBBARD GODFREY  
C-29805  
EXPIRES 10/31/17  
STATE OF CALIFORNIA

**A1.2**

# NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION

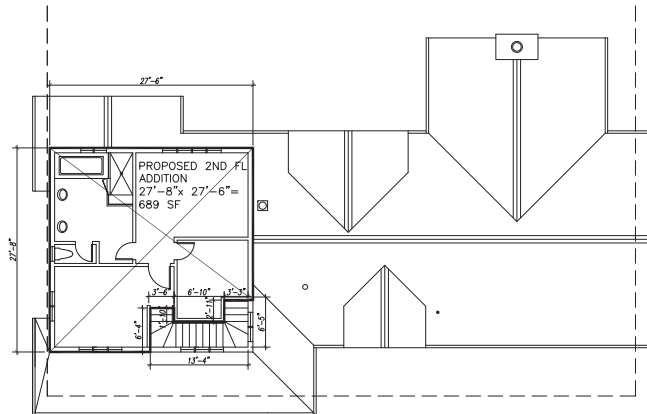
Address: 1300 DELFINO WAY, MENLO PARK, CA 94025  
Case No.: BLD2015-01737  
50% of Existing Value \$222,810.00  
75% of Existing Value \$334,215.00  
Value of Proposed Project \$358,425.00 80%

Existing Development				
Non-Conforming Structure Type	Square Footage	Construction Cost	Existing Value	
Existing 1st floor	2061	X \$200/Sq Ft	\$410,200.00	
Existing 2nd floor	0	X \$200/Sq Ft	\$0.00	
Existing Basement	0	X \$200/Sq Ft	\$0.00	
Existing Garage	506	X \$70/Sq Ft	\$35,420.00	
<b>Total</b>	<b>2567</b>		<b>\$445,620.00</b>	

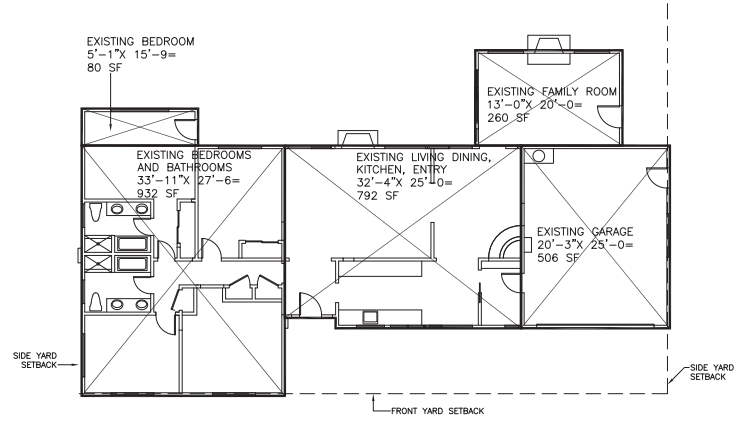
Note: This spreadsheet is only used on one nonconforming structure at a time. If there are detached structures on the same site, they are either subject to their own spreadsheet (if they are also nonconforming and subject to new work) or ignored (if conforming, or nonconforming but not subject to new work).

Proposed Development				
Proposed Development Type	Square Footage	Construction Cost	Development Value	
<b>Category 1: New square footage (areas of new foundation and/or wall framing)</b>				
1st Floor Addition	0	X \$200/Sq Ft	\$0.00	
2nd Floor Addition	689	X \$200/Sq Ft	\$138,000.00	
Basement Floor Addition	0	X \$200/Sq Ft	\$0.00	
Garage Addition	0	X \$70/Sq Ft	\$0.00	
<b>Category 2: Remodel of existing square footage (foundation and wall framing are both retained)</b>				
Remodel of Kitchen	167	X \$130/Sq Ft	\$21,710.00	
Remodel of Bathrooms	0	X \$130/Sq Ft	\$0.00	
Remodel of Other Living Areas	1,203	X \$100/Sq Ft	\$120,300.00	
Remodel of Garage	0	X \$25/Sq Ft	\$0.00	
<b>Category 3: Exterior modifications to existing structures</b>				
New Roof Structure Over Existing Sq. Ft.	254	X \$50/Sq Ft	\$12,700.00	
Replacement of Existing Windows	57	X \$35/Sq Ft	\$1,995.00	
Replacement of Existing Siding	1,782	X \$35/Sq Ft	\$62,370.00	
<b>Total</b>	<b>4168</b>		<b>\$358,425.00</b>	

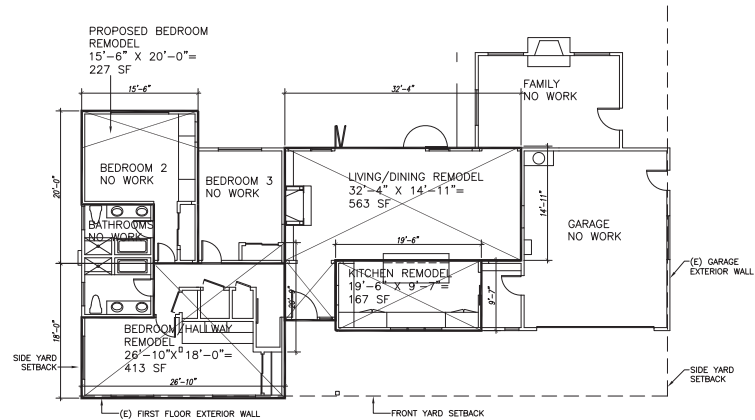
Note: Square footage measurements are taken to the extent of any room with any interior modifications. Window replacements are included in areas remodelled and accounted for in Category 2. New roofs and new siding on existing portions of the structure are not included in Category 2 or Category 1 and should be accounted for using the calculation below.



2 PROPOSED 2ND FLOOR ADDITION  
A1.3 SCALE: 1/8"=1'-0"



3 EXISTING 1ST FLOOR  
A1.3 SCALE: 1/8"=1'-0"



1 PROPOSED FIRST FLOOR REMODEL  
A1.3 SCALE: 1/8"=1'-0"

## Busse-Eaton Residence Remodel & 2nd Storey Addition

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### REVISIONS

### PLOT PLAN

BUSSE-EATON RESIDENCE  
1300 DELFINO WAY  
MENLO PARK, CA 94025

### VALUE CALCULATIONS

PROJECT NO: 1411 SCALE: 3/16"=1'-0"



A1.3

RELATES VALUE CALCULATING





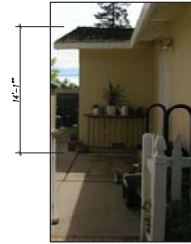
4C EXISTING ELEVATION, WEST  
1.4 SCALE: NTS



4B EXISTING ELEVATION, WEST  
1.4 SCALE: NTS



4A EXISTING ELEVATION, WEST  
1.4 SCALE: NTS



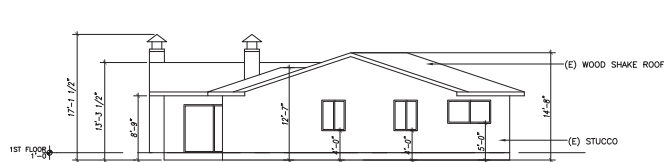
3C EXISTING ELEVATION, EAST  
1.4 SCALE: NTS



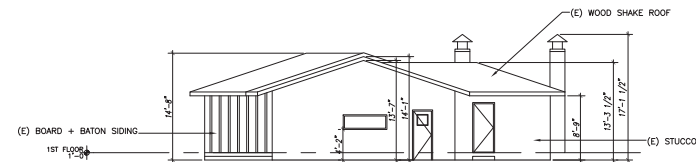
3B EXISTING ELEVATION, EAST  
1.4 SCALE: NTS



3A EXISTING ELEVATION, EAST  
1.4 SCALE: NTS



4 EXISTING ELEVATION, WEST  
1.4 SCALE: 1/8" = 1'-0"



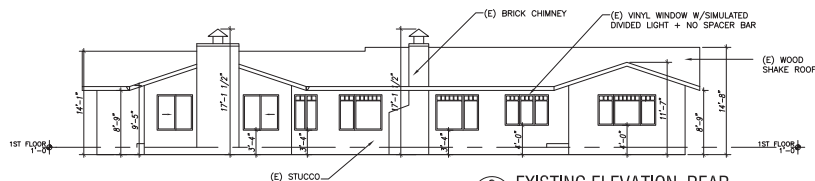
3 EXISTING ELEVATION, EAST  
1.4 SCALE: 1"=1'-0"



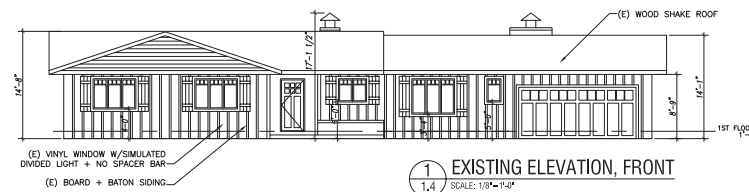
2A EXISTING ELEVATION, REAR  
1.4 SCALE: NTS



1A EXISTING ELEVATION, FRONT  
1.4 SCALE: NTS



2 EXISTING ELEVATION, REAR  
1.4 SCALE: 1/8" = 1'-0"



1 EXISTING ELEVATION, FRONT  
1.4 SCALE: 1/8"=1'-0"

## Busse-Eaton Residence

Remodel &amp; 2nd Storey Addition

1360 DELFINO WAY  
MENLO PARK, CA 94025



HUBBARD GODFREY ARCHITECTS INC

3137 GEARY BOULEVARD  
SAN FRANCISCO CA 94118  
T 415.379.1700  
HUBBARDGODFREY.COM

## CONSULTANTS

STRUCTURAL ENGINEER

SUNG ENGINEERING  
29300 KOHOUTEK WAY, SUITE 190  
UNION CITY, CA 94587  
TEL: 510.475.7900  
FAX: 510.475.7913

## INTERIORS

KRISTI WILL HOME & DESIGN  
270 CAPISTRANO ROAD, SUITE 26  
HALF MOON BAY, CA 94019  
TEL: 650.726.1660

LAND SURVEYOR  
LEA 8.0 DATE 5/1/00

LEA & BRAZE ENGINEERING, INC.  
2495 INDUSTRIAL PARKWAY WEST  
HAYWARD, CA 94545  
510.887.4086 PHONE  
510.887.3019 FAX

TITLE 24 CONSULTANT

GABEL ASSOCIATES, LLC  
1818 HARMON STREET  
BERKELEY, CA 94703  
TEL: 510.428.0803

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## PLOT PLAN

BUSSE-EATON RESIDENCE  
1360 DELFINO WAY  
MENLO PARK, CA 94025

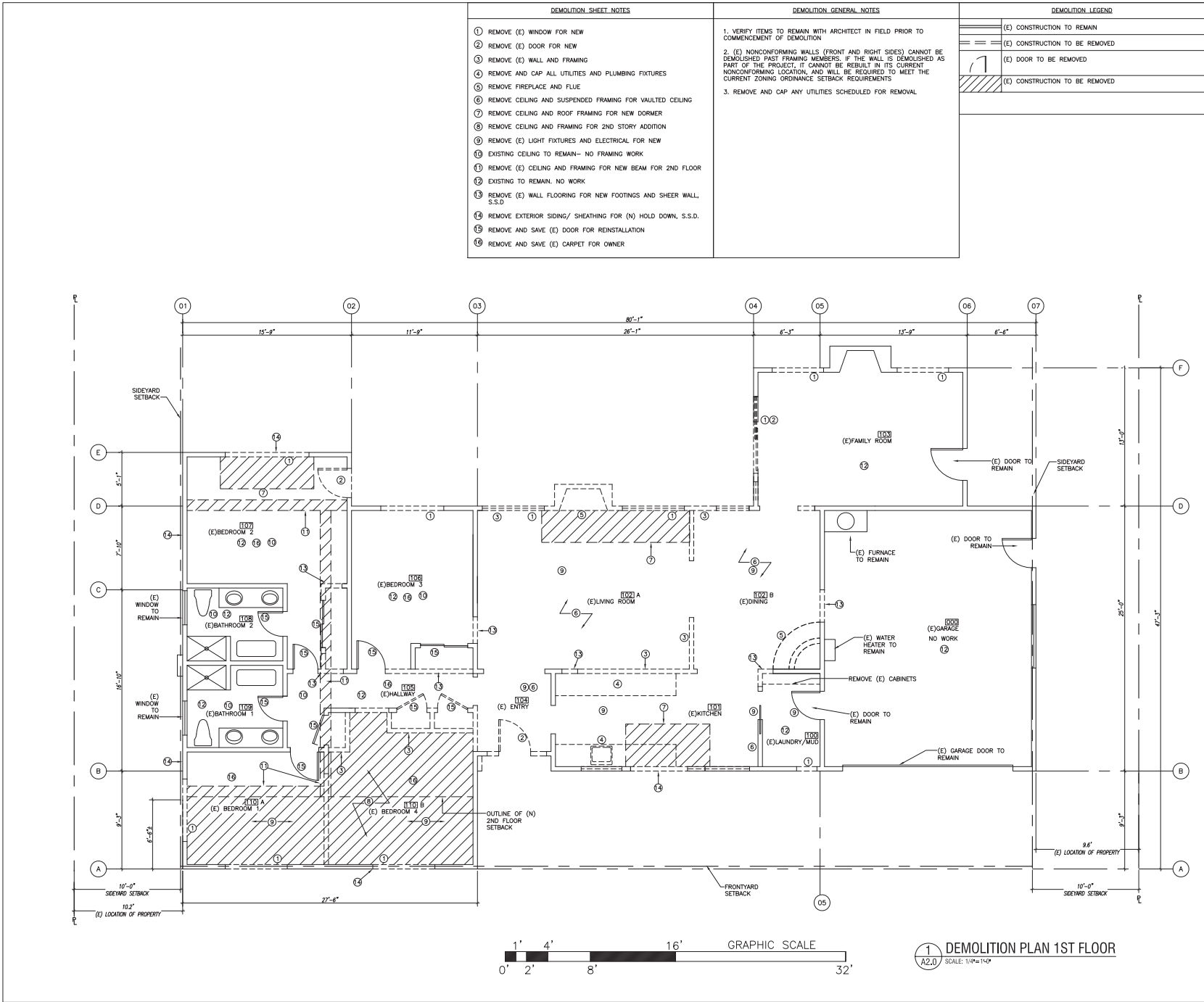
## EXISTING EXTERIOR ELEVATIONS & PHOTOS

PROJECT NO:	1411	SCALE:	AS NOTED
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## A1.4





# Busse-Eaton Residence

Remodel & 2nd Storey Addition

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MENLO PARK, CA 94025



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NO	DATE	COMMENTS
4.06.16	REVISION TO PLANNING	
3.03.16	ISSUED FOR USE PERMIT	
12.06.15	ISSUED FOR PERMIT	
7.27.15	REV ADDENDUM #1	
7.10.15	ISSUED FOR BID	
1.6.15	BUDGET PRICING	

## REVISIONS

## PLOT PLAN

BUSSE-EATON RESIDENCE  
1360 DELFINO WAY  
MENLO PARK, CA 94025

## DEMOLITION PLAN - FIRST FLOOR

PROJECT NO: 1411 SCALE: 1/4"=1'-0"



A2.0

HUBBARD GODFREY ARCHITECTS

**Busse-Eaton Residence**  
Remodel & 2nd Storey Addition  
1360 DELFINO WAY  
MENLO PARK, CA 94025


<u>STRUCTURAL ENGINEER</u>	<u>INTERIORS</u>
SUNG ENGINEERING	KRISTI WILL HOME & DESIGN
29300 KOKOITEK WAY, SUITE 190	270 CASTRANO ROAD, SUITE 26
UNION CITY, CA 94587	HALF MOON BAY, CA 94019
TEL: 510.475.7900	TEL: 650.726.1660
FAX: 510.475.7913	

	4.06.16	REVISION TO PLANNING
	3.03.16	ISSUED FOR USE PERMIT
	12.08.15	ISSUED FOR PERMIT
	7.27.15	BID ADDENDUM #1
	7.10.15	ISSUED FOR BID
	1.6.15	BUDGET PRICING
NO	DATE	COMMENTS

PLOT PLAN

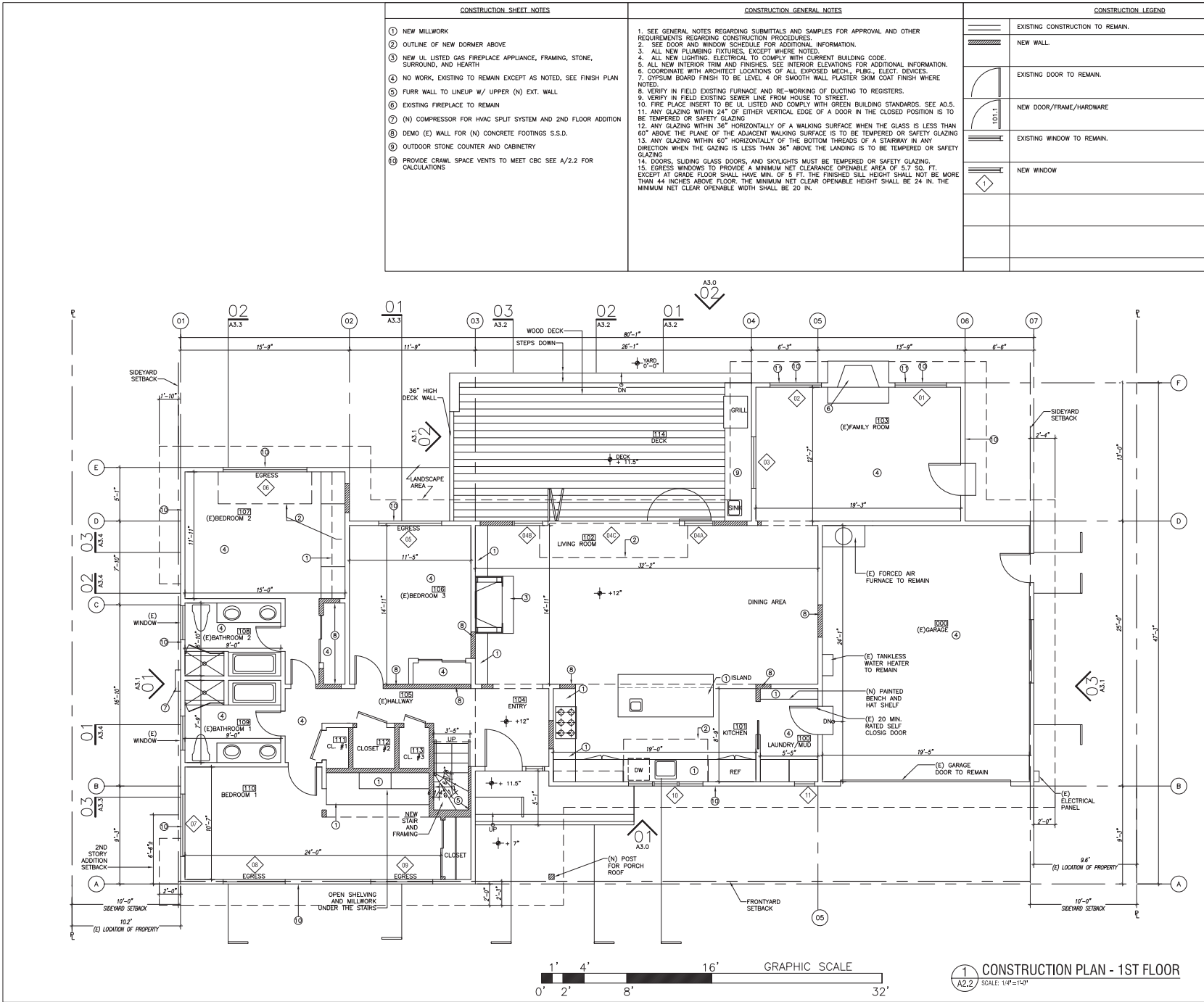
NOT FOR CONSTRUCTION

BUSSE-EATON RESIDENCE  
1360 DELFNO WAY  
MENLO PARK, CA 94025



PROJECT NO:	1411	SCALE:	1/4" = 1'-0"
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## Busse-Eaton Residence

Remodel & 2nd Storey Addition

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MENLO PARK, CA 94025



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NO.	DATE	REVISIONS	COMMENTS
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12.08.15		ISSUED FOR PERMIT	
7.27.15		90 ADDENDUM #1	
7.16.15		ISSUED FOR BID	
1.6.15		BUDGET PRICING	

NO. DATE REVISIONS COMMENTS

### PLOT PLAN

BUSSE-EATON RESIDENCE  
1360 DELFINO WAY  
MENLO PARK, CA 94025

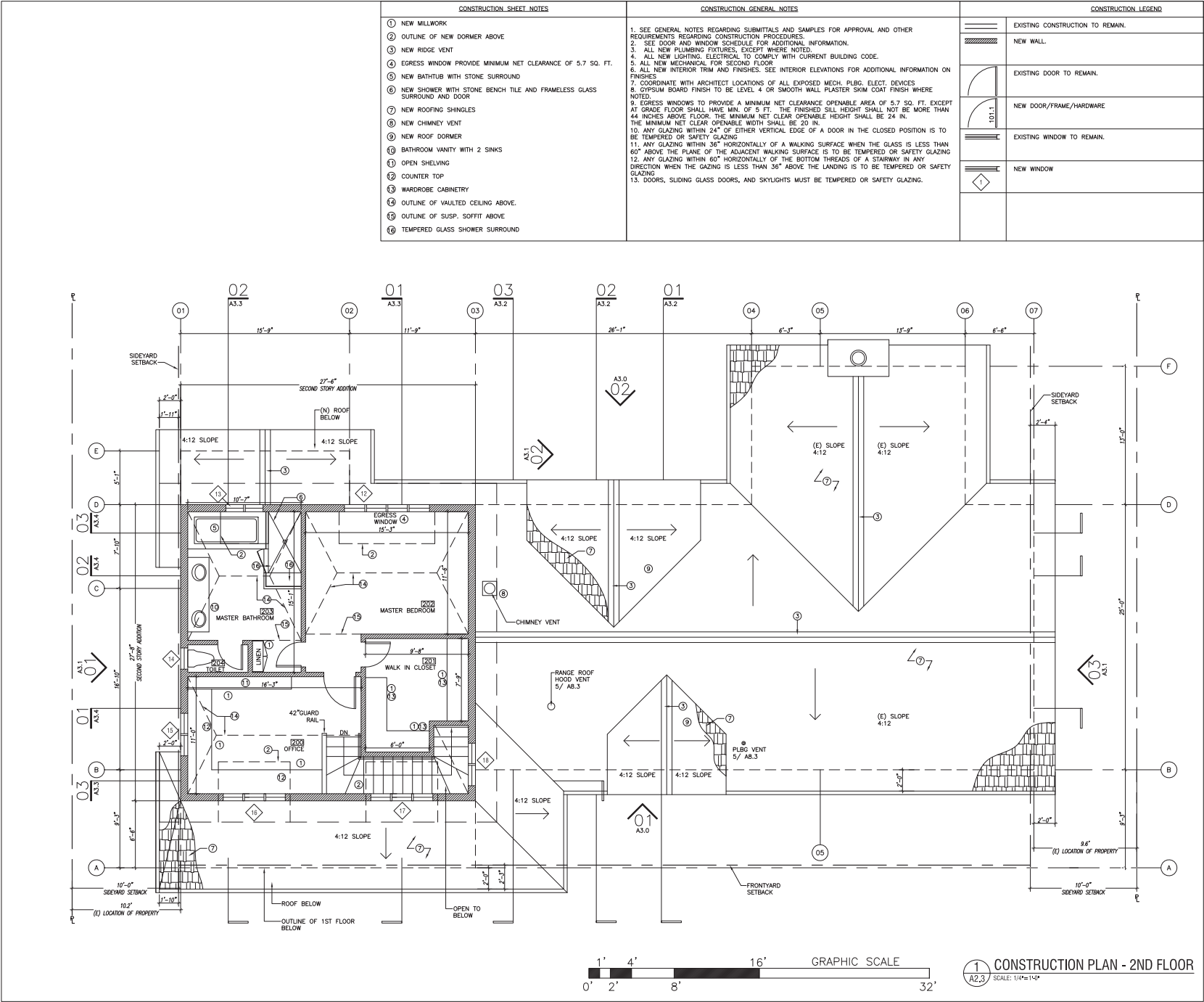
### CONSTRUCTION PLAN - 1ST FLOOR

PROJECT NO: 1411 SCALE: 1/4"=1'-0"



# A2.2

1-EL-A2.2.CONST.-JFL-PLANNING



## Busse-Eaton Residence

Remodel & 2nd Storey Addition

1360 DELFINO WAY  
MENLO PARK, CA 94025



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7.10.15	ISSUED FOR BID
1.6.15	BUDGET PRICING

#### NO DATE COMMENTS

#### REVISIONS

#### PLOT PLAN

#### BUSSE-EATON RESIDENCE

1360 DELFINO WAY  
MENLO PARK, CA 94025

### CONSTRUCTION PLAN - 2ND FLOOR

PROJECT NO: 1411 SCALE: 1/4" = 1'-0"

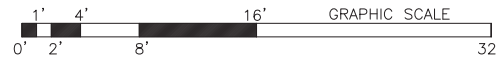
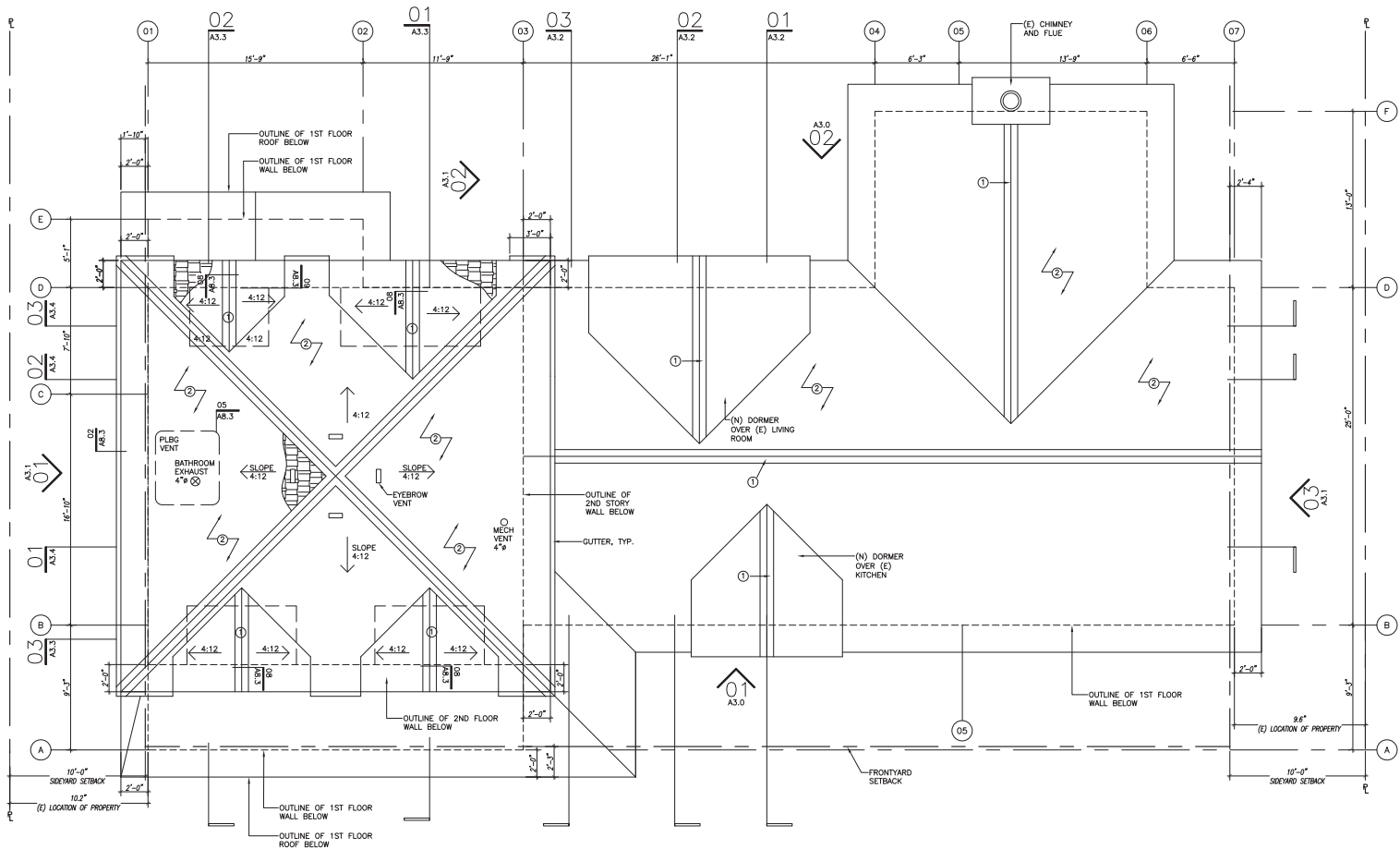


# A2.3

- ROOF NOTES
1. PROVIDE BALANCED ROOF AND ATTIC VENTILATION AT RIDGE AND EAVES.
  2. PLUMBING VENTS SHALL NOT BE LOCATED LESS THAN 10'-0" FROM ANY OPENING.
  3. SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION REGARDING ROOF HEIGHTS & SLOPE.
  4. SEE BUILDING SECTIONS FOR ADDITIONAL INFORMATION REGARDING ROOF DRAINAGE.
  5. PROVIDE FLASHING FOR ALL ROOF PENETRATIONS.
  6. ALL GUTTER & R.W.L.'S SHALL BE OGEE PROFILE PAINTED TO MATCH FASADA.
  7. ENCLOSED ATTICS AND RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATION: OPENINGS PROTECTED AGAINST RAIN, INSECTS, AND VERMIN. AN AIRSPACE OF NOT LESS THAN 1" SHALL BE PROVIDED. THE NET FREE VENTING AREA SHALL NOT BE LESS THAN 1/150TH OF THE AREA VENTILATED. THE NET FREE CROSS VENTILATION SHALL BE PERMITTED TO BE REDUCED TO 1/300 WHERE CLASS I OR II VAPOR BARRIERS INSTALLED ON WARM.
  8. SEE SHEET A6.4 FOR ROOFING SPECIFICATIONS.
  9. SEE A2.4 FOR 1ST FLOOR ROOF NOTES.

- ROOF SHEET NOTES
- ① RIDGE VENT
  - ② PROVIDE EYEBROW VENTS AS NEEDED IF RIDGE VENT AND EAVE VENTING IMPEDE.

ROOF LEGEND	
SYMBOL	DESCRIPTION
	ROOF SLOPE
	GUTTER & DOWNSPOUT
	(N) ROOF PATTERN



1 ROOF PLAN  
A2.4 SCALE: 1/4"=1'-0"

## Busse-Eaton Residence

### Remodel & 2nd Storey Addition

1360 DELFINO WAY  
MENLO PARK, CA 94025



HUBBARD GODFREY ARCHITECTS INC.

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SAN FRANCISCO CA 94118  
T 415.379.1700  
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**LAND SUBDIVISION**  
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NO.	DATE	REVISIONS
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1.6.15		BUDGET PRICING

#### PLOT PLAN

BUSSE-EATON RESIDENCE  
1360 DELFINO WAY  
MENLO PARK, CA 94025

#### ROOF PLAN

PROJECT NO: 1411 SCALE: 1/4"=1'-0"

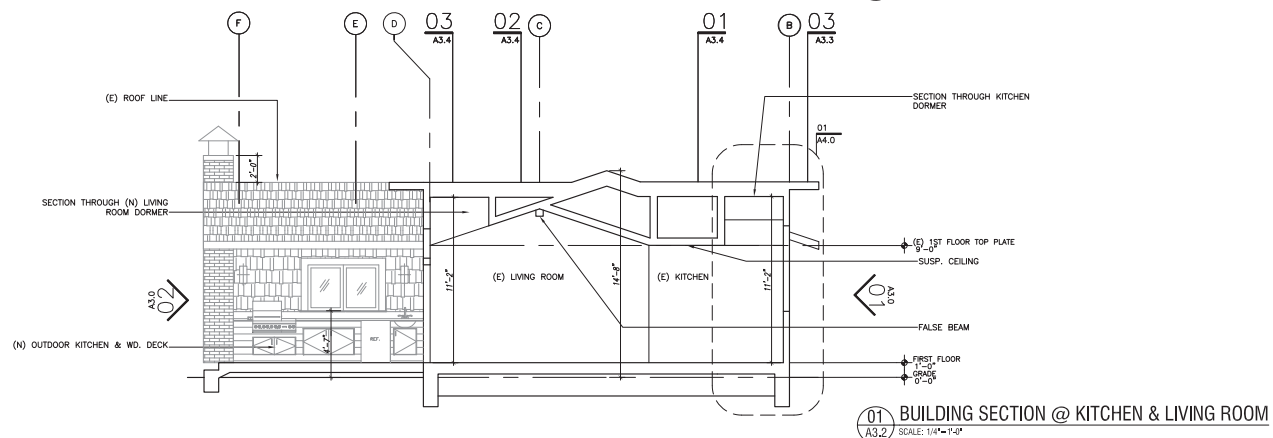
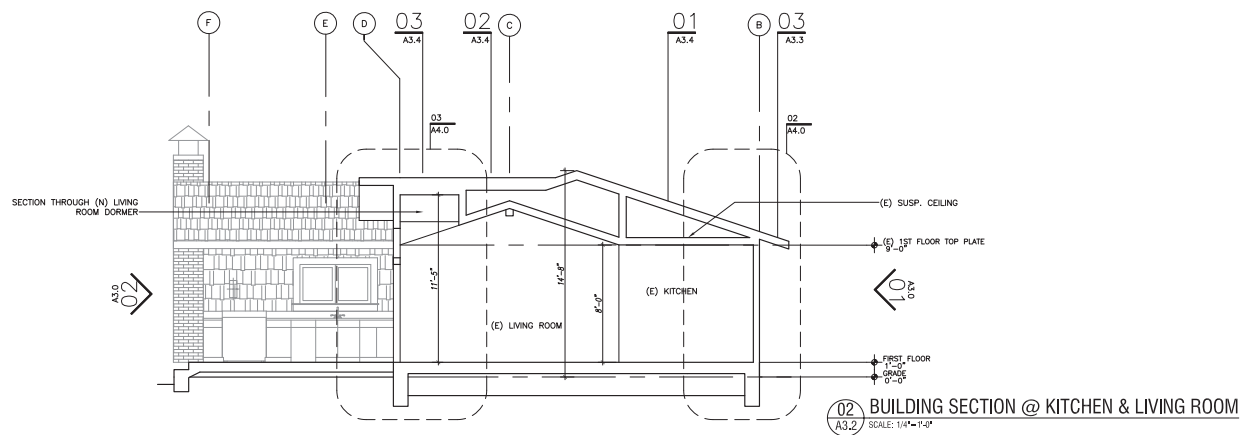
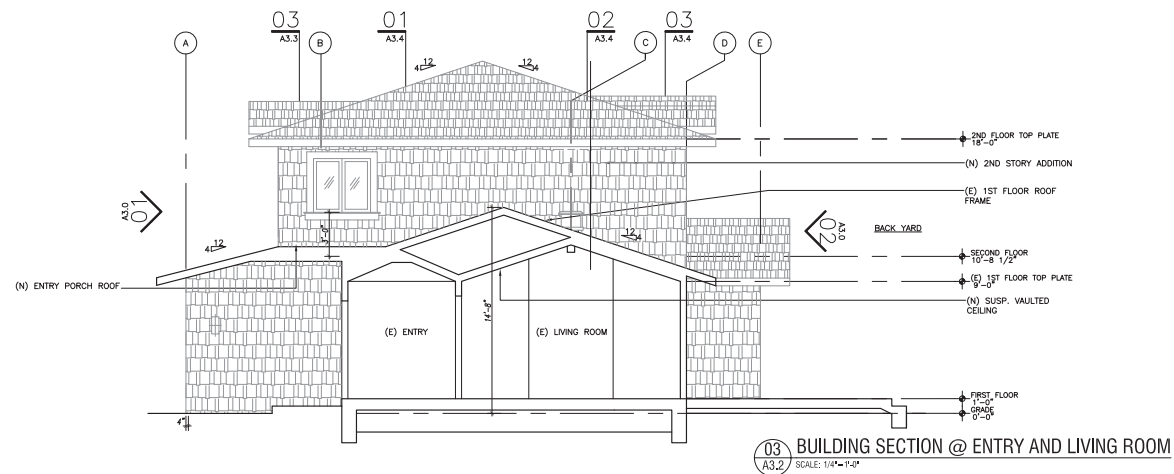


# A2.4





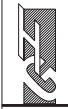




### Busse-Eaton Residence

Remodel &amp; 2nd Storey Addition

1360 DELFINO WAY  
MENLO PARK, CA 94025



HUBBARD GODFREY ARCHITECTS INC

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T 415.379.1700  
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UNION CITY, CA 94587  
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## INTERIORS

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## LAND SURVEYOR

**LAND SURVEYOR**  
**LEA & BRAZE ENGINEERING, INC.**  
2495 INDUSTRIAL PARKWAY WEST  
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510.887.4086 PHONE  
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TITLE 24 CONSULTANT

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BERKELEY, CA 94703  
TEL: 510.428.0803

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### PLOT PLAN

BUSSE-EATON RESIDENCE  
1360 DELFINO WAY  
MENLO PARK, CA 94025

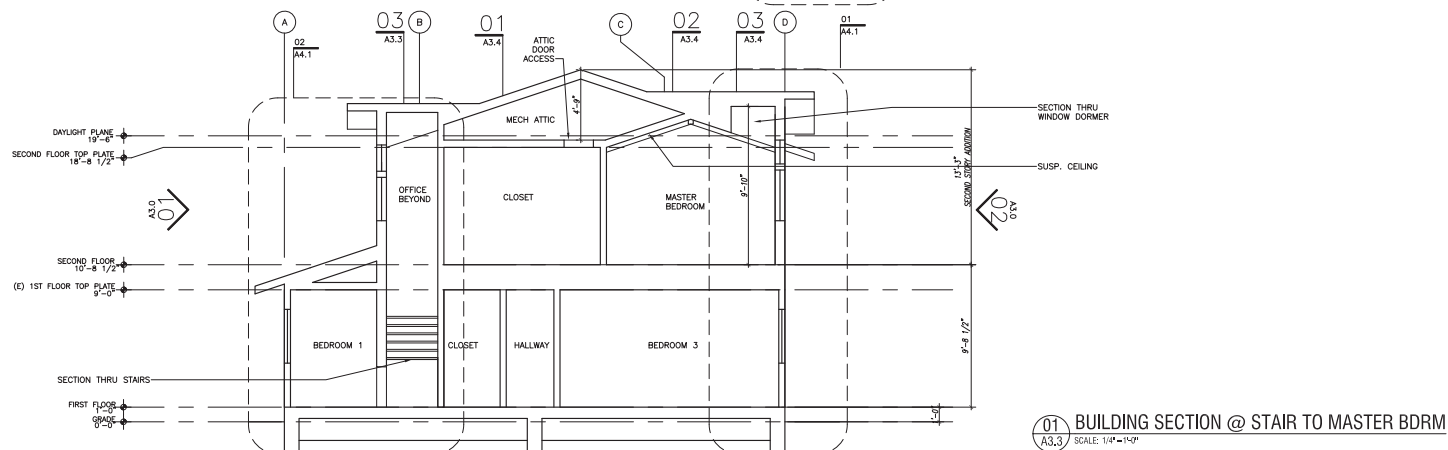
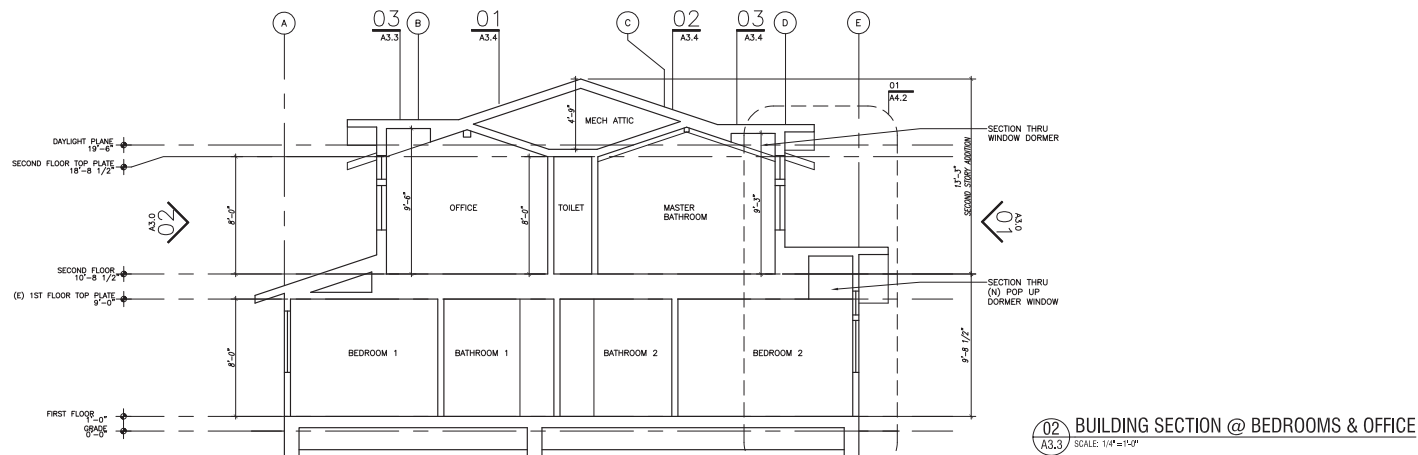
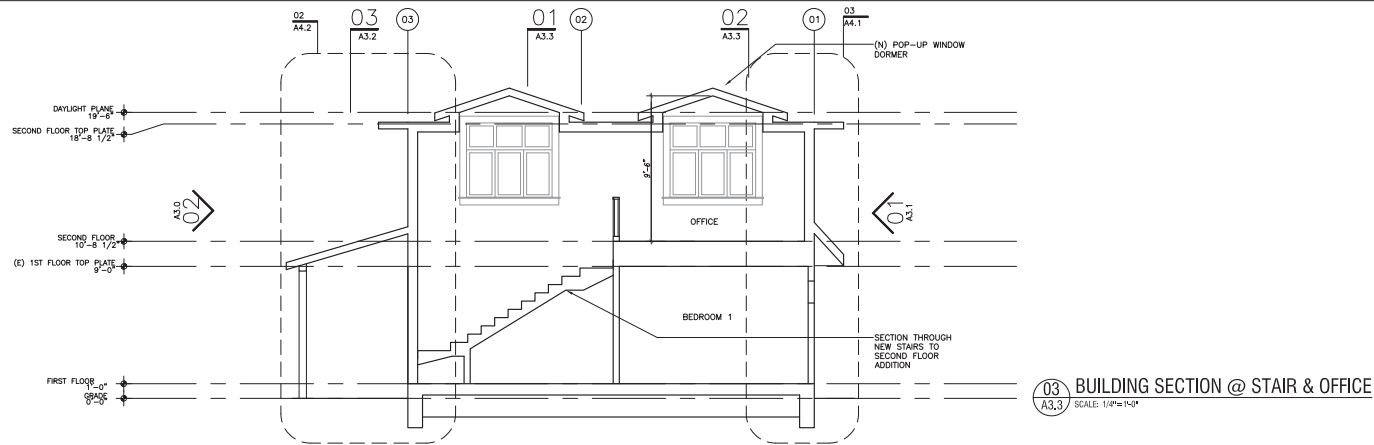
## BUILDING SECTIONS

PROJECT NO:	1411	SCALE:	1/4" = 1'-0"
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## A3.2





## Busse-Eaton Residence

### Remodel & 2nd Storey Addition

1360 DELFINO WAY  
MENLO PARK, CA 94025



HUBBARD GODFREY ARCHITECTS INC

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#### CONSULTANTS

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1818 HARMON STREET  
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TEL: 510.428.0803

NO	DATE	COMMENTS
1	4.06.16	REVISION TO PLANNING
2	3.03.16	ISSUED FOR USE PERMIT
3	12.08.15	ISSUED FOR PERMIT
4	7.27.15	NO ADDENDUM #1
5	7.18.15	ISSUED FOR BID
6	1.6.15	BUDGET PRICING
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#### REVISIONS

PLOT PLAN

BUSSE-EATON RESIDENCE  
1360 DELFINO WAY  
MENLO PARK, CA 94025

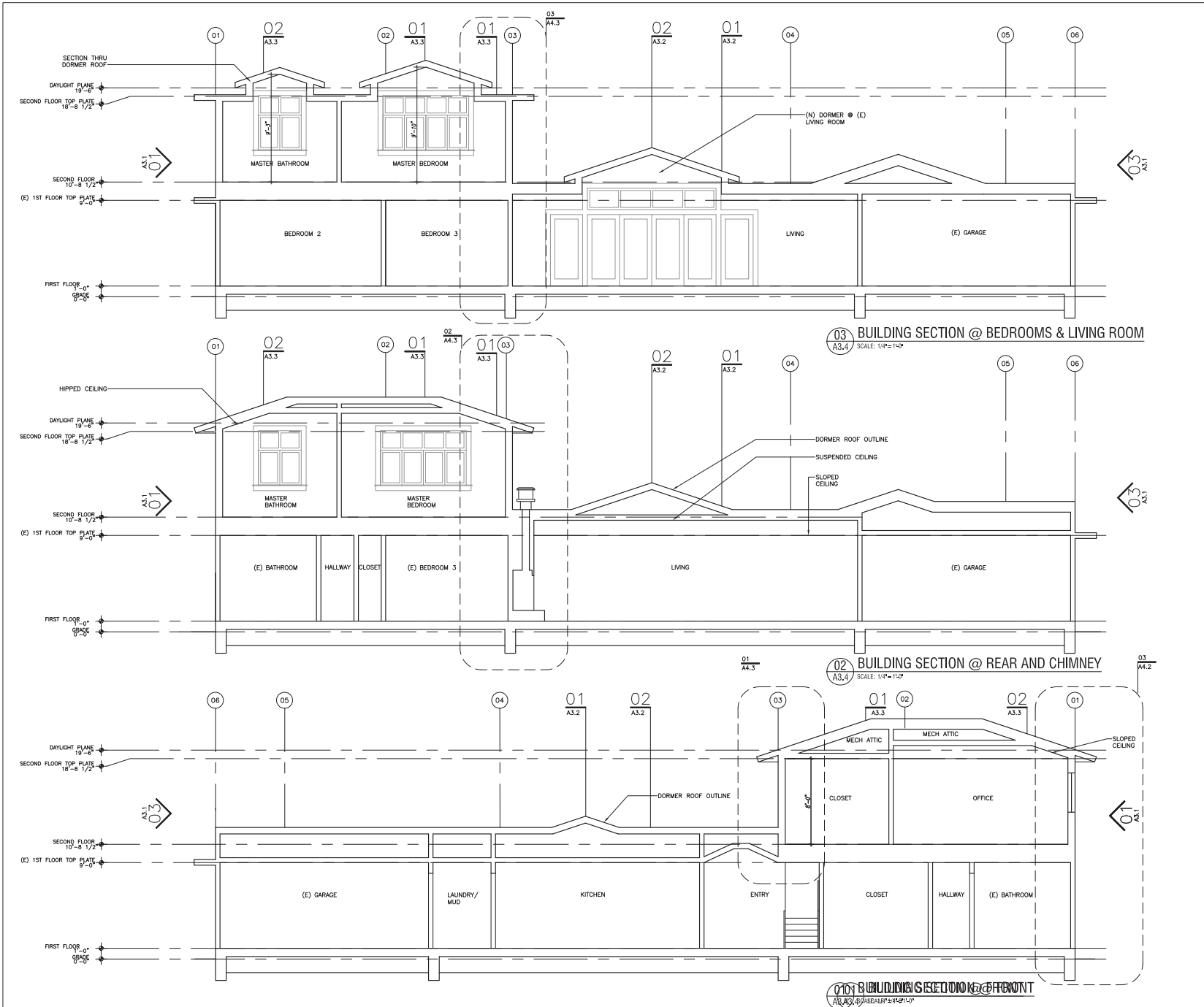
#### BUILDING SECTIONS

PROJECT NO: 1411 SCALE: 1/4"=1'-0"



**A3.3**

REL A3.3 SECTION



## Busse-Eaton Residence

Remodel & 2nd Storey Addition

1360 DELFINO WAY  
MENLO PARK, CA 94025

**HUBBARD GODFREY ARCHITECTS INC.**

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SAN FRANCISCO CA 94118  
T: 415.379.1700  
HUBBARDGODFREY.COM

**CONSULTANTS**

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TEL: 510.428.0803

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6	1.6.15	BUDGET PRICING

**REVISIONS**

**PLOT PLAN**

BUSSE-EATON RESIDENCE  
1360 DELFINO WAY  
MENLO PARK, CA 94025

**BUILDING SECTIONS**

PROJECT NO: 1411 SCALE: 1/4" = 1'-0"

**A3.4**

**REGISTERED ARCHITECT**  
GREGORY H. BUSSE  
C-29805  
EXPIRES 10/31/17  
STATE OF CALIFORNIA

1360 DELFINO WAY  
MENLO PARK, CA 94025

# USE PERMIT APPLICATION: PROJECT DESCRIPTION

RECEIVED

Building permit application no.: BLD2015-01737

MAR 03 2016

To whom it may concern:

CITY OF MENLO PARK  
BUILDING

We are applying for a USE permit to allow for the approval of two non-conforming **existing** exterior walls of a remodel and 2<sup>nd</sup> story master bedroom addition of an existing single story residence. The two non-conforming exterior walls are at the front bedroom and garage of the existing single story residence. The front bedroom wall encroaches into the front yard setback by 3 ½ inches and the garage sidewall into the side yard setback by 4 ½ inches. The proposed 2<sup>nd</sup> story addition is located back from the existing front of the house (non-conforming wall) and well within required setbacks and daylight planes, and meets all Menlo Planning and Zoning codes. The USE permit request is to allow for these two pre-existing non-conforming walls to remain.

It would be major hardship if the Owners were required to move these two existing walls within the setback for a matter of inches. It would require demolition, new foundations, framing, sheathing and electrical. At the garage wall, the PG&E meters are located on this wall and would need to be relocated. The cost of moving these walls and related work would cause the project to be severely over budget. In addition, relocation of the PG&E meter is an unforeseen cost and time delay. In addition, the demolition of these two well-built exterior walls and framing to reconstruct 4 inches +/- away from a setback does not seem environmentally responsible.

The home was originally built in 1962. Prior owners remodeled the interior and replaced the windows. The existing residence has painted board and batten on the front exterior and stucco siding on the other facades. It has some brick trim at entry and chimneys. It also has the original wood shake roof. The existing residence is a cookie cutter "California" ranch style from the 1960s. It has no historical architectural or civic value.

The scope of the work includes remodeling the existing single story Entry, Living, Dining and Kitchen areas and partially remodeling the existing bedroom areas under the 2<sup>nd</sup> story to accommodate the addition. The scope includes a 695 square foot 2<sup>nd</sup> story master bedroom addition to be located over the existing bedroom wing to the west. This new 2<sup>nd</sup> story would be constructed on top of the existing ceiling framing so that the single story bedrooms and bathroom areas are not affected by this addition. Scope of work also includes new replacement windows throughout, new high definition asphalt

shingle roofing to replace the hazardous wood shingles, and new low wood deck off 1<sup>st</sup> floor living to replace impervious paving. No first floor expansion is proposed.

The proposed remodel includes for new alum clad exterior insulated windows with true simulated divided lites, new stained shingle siding, new high definition "wood like" composition roof shingles. New dormers are proposed at the existing Kitchen and Living room areas to bring more light into the existing interior. The 2<sup>nd</sup> story addition consists of a master bedroom, bath, and closet with small office area. This addition would be located over the existing 1<sup>st</sup> floor bedroom and bathroom area, built on top of the existing ceiling framing to limit any work in these 1<sup>st</sup> floor areas.

The proposed use remains the same: single family residence. The property owners, the Busse-Eaton Family have three young children and two full time working parents, one who owns her own business. They seek to remodel and add a 2<sup>nd</sup> story addition to their existing single family structure as they are committed to remaining residents of Menlo but need a larger house to accommodate their young family and growing needs.

Because they are proud to be members of the community and have children attending local schools, they seek to remodel their existing residence rather than move away to be able to find a larger home. They also have extended family in the nearby area and living in Menlo allows them to care for their parents.

All surrounding neighbors on their street, Delfino Way are in support of the project. Support letters are included.

We hope that you can approve the USE permit to allow the existing non-conforming walls to remain and as related, approve of their proposed improvements and addition to their existing residence.

Thank you for your consideration.

A large, elegant handwritten signature in black ink, which appears to read "Hilary Hubbard". The signature is fluid and cursive, with a long horizontal flourish extending to the right.

Hilary Hubbard, AIA

Principal, Hubbard Godfrey Architects, Inc.

(Owner Agent)

Planning Commission  
City of Menlo Park  
701 Laurel Street  
Menlo, CA 94025

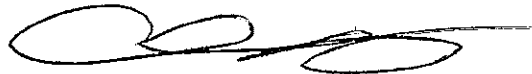
**Subject: Support for USE permit application, remodel & 2<sup>nd</sup> story addition  
Busse Eaton Residence 1360 Delfino Way**

Dear Commissioners:

I am writing to express my support for the proposed remodel and 2<sup>nd</sup> story addition of the Busse-Eaton residence at 1360 Delfino Way. I am familiar with the proposed design and feel that it will fit well within the existing character of the street and neighborhood. I also support the proposed 2<sup>nd</sup> story addition, its north side wall and façade improvements. In addition, I support their request to allow the existing non-conforming front wall and side garage walls to remain, as the original home was built in 1963 and would be a hardship for the Busse-Eaton family to be forced to move these two existing walls into set back by less than 4 inches.

I urge the Planning Department and Planning Commission to support this worthy project as proposed and approve the USE permit.

Thank you,



Alfred W. Griggs  
1365 Delfino Way  
Menlo Park, CA 94025

RECEIVED

MAR 03 2016

CITY OF MENLO PARK  
BUILDING

Planning Commission  
City of Menlo Park  
701 Laurel Street  
Menlo, CA 94025

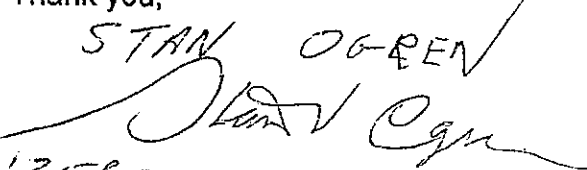
**Subject: Support for USE permit application, remodel & 2<sup>nd</sup> story addition  
Busse Eaton Residence 1360 Delfino Way**

Dear Commissioners:

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I urge the Planning Department and Planning Commission to support this worthy project as proposed and approve the USE permit.

Thank you,

STAN OGREN  
  
1358 Delfino Way  
Menlo Park, CA 94025

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MAR 03 2016

CITY OF MENLO PARK  
BUILDING

Planning Commission  
City of Menlo Park  
701 Laurel Street  
Menlo, CA 94025

**Subject: Support for USE permit application, remodel & 2<sup>nd</sup> story addition  
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I urge the Planning Department and Planning Commission to support this worthy project as proposed and approve the USE permit.

Thank you,

*David Tompkins*  
David Tompkins  
1350 Delfino Way  
Menlo Park, CA 94025

RECEIVED

MAR 03 2016

CITY OF MENLO PARK  
BUILDING

3/31/16

Planning Commission  
City of Menlo Park  
701 Laurel Street  
Menlo, CA 94025

Subject: Support for USE permit application, remodel & 2nd story addition  
Busse Eaton Residence 1360 Delfino Way

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I urge the Planning Department and Planning Commission to support this worthy project as proposed and approve the USE permit.

Thank you,



Menlo Park, CA 94025

13771 Delfino Way  
Menlo Park, CA



3/31/16

Planning Commission  
City of Menlo Park  
701 Laurel Street  
Menlo, CA 94025

Subject: Support for USE permit application, remodel & 2nd story addition  
Busse Eaton Residence 1360 Delfino Way

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I urge the Planning Department and Planning Commission to support this worthy project as proposed and approve the USE permit.

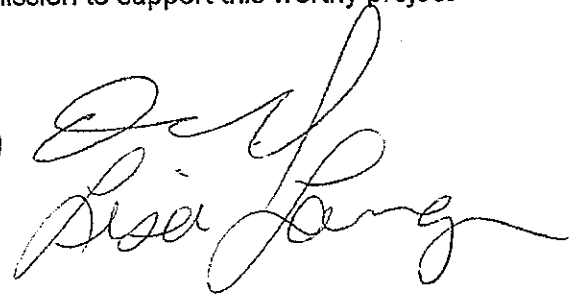
Thank you,

Dan K Siegel

Lisa Langer

1370 Delfino Way

"

The block contains two handwritten signatures. The top signature is for Dan K Siegel, written in a cursive style. The bottom signature is for Lisa Langer, also in a cursive style. Both signatures are written in dark ink.

Menlo Park, CA 94025



## STAFF REPORT

### Planning Commission

**Meeting Date:** 5/9/2016  
**Staff Report Number:** 16-034-PC

**Public Hearing:** Use Permit/Sally and Barry Karlin/624 Olive Street

### Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-S (Single-Family Suburban) zoning district, at 624 Olive Street. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject property is located at 624 Olive Street. Using Olive Street in the east-west orientation, the subject property is on the north side of Olive Street between Stanford Avenue and Oakdell Drive, in the West Menlo neighborhood. A location map is included as Attachment B. The subject property is surrounded by single-family residences that are primarily single-story, although two-story residences can also be found along Olive Street and throughout the neighborhood. Older residences in the neighborhood are generally one story in height, while newer residences are typically two stories in height. Single-story residences in the neighborhood tend to have a craftsman or bungalow architectural style, while two-story residences have a variety of styles including mixed contemporary and craftsman, mixed contemporary and Spanish colonial revival, and mixed contemporary and Tudor architectural styles. Nearby properties are also single-family residences in the R-1-S (Single Family Suburban) district.

### Analysis

#### *Project description*

The subject property is currently occupied by a single-story residence with an attached two-car garage. The existing structure is nonconforming with regard to the right and left side setbacks. The applicant is proposing to demolish the existing building and construct a new two-story, single-family residence with a two-car attached garage. The subject lot is substandard with regard to lot width, with a lot width of 70 feet where 80 feet is required. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would have a floor area of 3,722 square feet where 3,722 square feet is the allowable floor area limit (FAL), and a building coverage of 28 percent where 35 percent is the maximum permitted. The residence would have five bedrooms and four-and-a-half bathrooms, with one bedroom and one-and-a-half bathrooms on the first floor, and four bedrooms and three bathrooms on the second floor. The residence would have porches at the front and left side of the house and a covered loggia on the first floor and a covered balcony at the rear of the house. The porches, covered loggia, and covered balcony do not count toward floor area but contribute to building coverage. The balcony would meet the setback requirements for balconies and upper-level decks on the sides (minimum 20 feet) and rear (minimum 30 feet). The residence would have an overall height of 27 feet, six inches, which is below the maximum allowable height of 28 feet. The proposal would be in compliance with daylight plane requirements.

### ***Design and materials***

The proposed residence is in a traditional residential style, and would feature a covered front porch, varied wood shake hip and valley roof forms, and two brick-veneered chimneys with decorative caps. The walls would feature horizontal wood siding on all sides of the structure with vertically-oriented aluminum clad windows and doors that would have simulated true divided lites with muntins on both the exterior and interior sides of the glass and a spacer bar in between the panes of glass. The front entry door would be wood, and the separate garage doors would be wood composite with a row of four divided lites square windows across the top.

The front façade of the house would feature a covered front porch with painted wood posts and a hip roof to highlight the front entrance, and a painted wood and metal trellis across the top of the garage doors and painted decorative wood paneling along the sides of the front patio doors to add texture and visual interest. The front porch would be set back approximately three feet more than the required twenty foot front setback. The design of the garage doors split into two separate doors and having the garage set back twelve feet more than the required twenty foot front setback would ensure the parking features would not dominate the frontage of this relatively narrow parcel. On the left side and in the rear of the house, there would be additional porches with painted wood posts similar in design with the front porch. The rear porch would have two skylights and a covered balcony adjacent atop the porch on the second floor. The second floor would be set in along the left and right elevations and the walls would be broken up by the proposed pop-outs of three bay windows on the front, left, and right side elevations, the chimney on the right side elevation, and the bathroom on the left side elevation. This variation would help minimize the perception of building massing. Additionally, most of the second-floor windows would have sill heights with a minimum of three feet to promote privacy.

Relative to other residences in the vicinity, staff believes that the materials, scale, and design of the proposed residence would be compatible.

### ***Trees and landscaping***

There are nine trees on the project site and one tree near the project site. In the front yard, there are three heritage Modesto ashes lining the front property line on the right side, three non-heritage white birches in the center in front of the existing residence, and two non-heritage elders in the front left corner of the lot. There is also existing shrubbery lining the front property line that would be removed. In the left side yard, there is one heritage southern magnolia near the proposed residence. In the rear yard, there are two heritage cedars in the left rear corner lining the rear property line, one non-heritage cherry and one non-heritage Japanese maple in the center closer to the proposed residence, one non-heritage Chinese tallow, one non-heritage poplar, and one non-heritage holly lining the right side property line, and one heritage incense cedar on the adjacent right neighboring property. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of these trees. As part of the initial project

review, the arborist report was enhanced with additional analysis and detail. Two of the three non-heritage white birch trees (tree #5 and 6) in front of the existing residence are proposed to be removed. No other trees are proposed for removal.

The applicant has also included a tree protection plan on page 5 of the arborist report (Attachment F) and on Sheet A-1.2 of the plan set (Attachment D) showing the location of tree protection fencing. For trees #1, 2, 3, 4, 7, 8, 9, 12, and 13 closest to the project, any excavation within their drip lines would be dug by hand. Recommended tree protection measures would be ensured through recommended condition 3g.

### **Correspondence**

Correspondence regarding the project is included as Attachment G. The applicant has submitted a summary of their neighbor outreach efforts, including four letters supporting the proposal from the property owners at 628 Olive Street (the adjacent left side parcel), 665 Hobart Street (the contiguous rear left corner parcel), 625 Hobart Street (the contiguous rear right corner parcel), and 765 Hobart Street (a parcel to the rear and five parcels down).

Staff has also received an email from the property owners at 620 Olive Street (the adjacent right side parcel) regarding concerns about the front setback and front alignment of the house in relation to that of neighboring properties, the parking situation, the building height, and the chimney on the right side adjacent to their property. Staff would note that the proposal meets the parking requirement of two off-street parking spaces, not in the front and side setbacks, and that this parking configuration is relatively typical for the neighborhood. The applicant addressed some of their neighbors' concerns by setting the proposed house further back and reducing the height of the chimneys; however, the neighbor still has concerns regarding the front alignment of the house and its building height. Attachment G includes multiple emails from these neighbors, along with a summary comment by the applicant.

Staff also received an email from the property owner at 645 Hobart Street (the adjacent rear parcel) regarding concerns of privacy related to the proposed balcony and master bath window on the second floor and lighting. The architect responded via email stating the applicant plans to address this neighbor's concerns by selecting hedges and/or trees to plant along the rear property line to promote privacy. Staff has included a condition of approval (4a) requiring staff approval of a landscape screening plan with the building permit submittal.

### **Conclusion**

Staff believes the scale, materials, and design of the proposed residence are in keeping with other homes in the vicinity. Although the project would be a two-story residence, the applicant has set the second floor in on the left and right elevations and designed pop-outs and insets on the second floor to minimize the perception of building massing, as well as proposed relatively high sill heights for a majority of the second-floor windows on the house to promote privacy. Additional landscaping would also be planted to address the rear neighbor's privacy-related concerns. Recommended tree preservation measures have been incorporated into the project. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

## **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.

## **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

## **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

## **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report by Mayne Tree Expert Company, Incorporated revised March 9, 2016
- G. Correspondence

## **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

## **Exhibits to Be Provided at Meeting**

None

Report prepared by:

Sunny Chao, Assistant Planner

Report reviewed by:

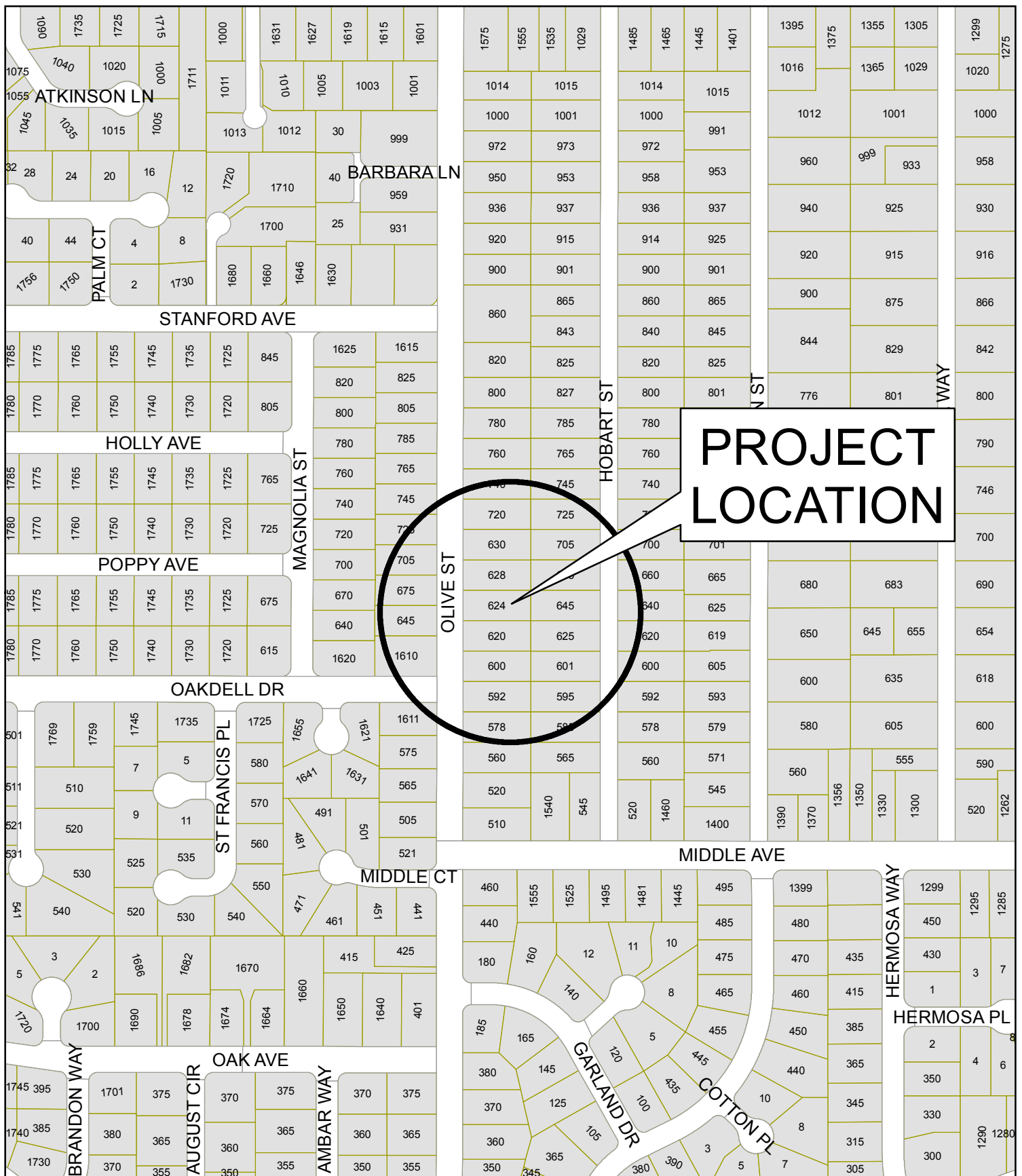
Thomas Rogers, Principal Planner

## 624 Olive Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 624 Olive Street	<b>PROJECT NUMBER:</b> PLN2016-00018	<b>APPLICANT:</b> Sally and Barry Karlin	<b>OWNER:</b> Sally and Barry Karlin
<b>REQUEST:</b> Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-S (Single-Family Suburban) zoning district.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> May 9, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Goodhue, Kahle, Onken, Strehl, Barnes, Riggs)			
<b>ACTION:</b>			
<div>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.</div> <div>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</div> <div>3. Approve the use permit subject to the following <b>standard</b> conditions:<div><div>a. Development of the project shall be substantially in conformance with the plans prepared by J Maliksi and Associates consisting of sixteen plan sheets, dated received April 25, 2016, and approved by the Planning Commission on May 9, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</div><div>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.</div><div>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</div><div>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</div><div>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</div><div>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</div><div>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the recommendations in the arborist report by Mayne Tree Expert Company, Incorporated revised March 9, 2016.</div></div></div> <div>4. Approve the use permit subject to the following <b>project-specific</b> conditions:</div>			

624 Olive Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 624 Olive Street	<b>PROJECT NUMBER:</b> PLN2016-00018	<b>APPLICANT:</b> Sally and Barry Karlin	<b>OWNER:</b> Sally and Barry Karlin
<b>REQUEST:</b> Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-S (Single-Family Suburban) zoning district.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> May 9, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Combs, Goodhue, Kahle, Onken, Strehl, Barnes, Riggs)			
<b>ACTION:</b> <ul style="list-style-type: none"> <li>a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans with landscape screening to include ten new five-gallon <i>Pittosporum tenuifolium</i> trees along the rear property line, subject to the review and approval of the Planning Division.</li> </ul>			

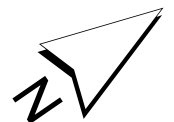


# CITY OF MENLO PARK

## LOCATION MAP

### 624 OLIVE STREET

DRAWN: TAS CHECKED: SYC DATE: 05/09/16 SCALE: 1" = 300' SHEET: 1





## 624 Olive Street – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	10,690 sf	10,690 sf	10,000 sf min.
Lot width	70 ft.	70 ft.	80 ft. min.
Lot depth	152.7 ft.	152.7 ft.	100 ft. min.
Setbacks			
Front	23.2 ft.	39.1 ft.	20 ft. min.
Rear	52.8 ft.	49.1 ft.	20 ft. min.
Side (left)	10 ft.	9.9 ft.	10 ft. min.
Side (right)	11.2 ft.	9.9 ft.	10 ft. min.
Building coverage	3,029.4 sf	2,686.9 sf	3,741.5 sf max.
	28 %	25 %	35 % max.
FAL (Floor Area Limit)	3,722.2 sf	2,621.2 sf	3,722.5 sf max.
Square footage by floor	1,877.4 sf/1st 1,405.7 sf/2nd 439.1 sf/garage 678.8 sf/porches 34.1 sf/fireplaces	2,210.3 sf/1st 410.9 sf/garage 40.5 sf/porch 25.2 sf/fireplaces	
Square footage of buildings	4,435.1 sf	2,686.9 sf	
Building height	27.5 ft.	14 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees	7*	Non-Heritage trees	10	New Trees	10
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	3	Total Number of Trees	24

\*Includes one tree on the adjacent right property.



NEW RESIDENCE  
FOR  
SALLY & BARRY KARLIN

PROJECT DATA	
OWNERS:	SALLY & BARRY KARLIN
ADDRESS:	624 OLIVE STREET MENLO PARK, CA 94025
A.P.N.#:	071-231-230
ZONE:	RIS
LOT AREA :	10,690.0 S.F.
MAXIMUM BUILDING COVERAGE =(35%)Lot Area =	3,741.5 S.F.
FLOOR AREA LIMIT (FAL) (2800 + 25%( Lot Area - 7000 ):	3,722.5 S.F.
EXISTING HOUSE FLOOR AREA CALCULATIONS	
(E) GROUND FLOOR HEATED	2,210.30 S.F.
(E) GARAGE	410.88 S.F.
(E) GROUND FLOOR TOTAL	2,621.18 S.F.
EXISTING HOUSE LOT COVERAGE CALCULATIONS	
MAIN HOUSE FOOTPRINT	2,621.18 S.F.
(E) FRONT PORCH	40.50 S.F.
(E) FIREPLACE	9.50 S.F.
(E) FIREPLACE	15.70 S.F.
(E) TOTAL LOT COVERAGE	2,686.88 S.F. 25.13% < 35.0%
NEW HOUSE FLOOR AREA CALCULATIONS	
GROSS GROUND FLOOR AREA:	2,337.16 S.F.
FIREPLACE BOX-SUBTRACT:	- 20.67 S.F.
NET GROUND FLOOR AREA:	2,316.49 S.F.
GROSS SECOND FLOOR AREA:	1,493.20 S.F.
STAIR - SUBTRACT	- 77.19 S.F.
CHIMNEY BOX-SUBTRACT	- 10.32 S.F.
NET SECOND FLOOR AREA:	1,405.89 S.F.
TOTAL FLOOR AREA:	3,722.38 S.F.
NEW PROPOSED HOUSE LOT COVERAGE CALCULATIONS	
MAIN HOUSE FOOTPRINT	2,316.49 S.F.
FIREPLACE	13.38 S.F.
FIREPLACE	20.67 S.F.
FRONT PORCH	235.37 S.F.
SIDE PORCH	55.88 S.F.
REAR PORCH	387.55 S.F.
TOTAL LOT COVERAGE	3,029.34 S.F. 28.34% < 35.0%

SHEET LIST	
GENERAL INFORMATION	
A-0.1	COVER SHEET & STREETScape
A-0.2	AREA PLAN
CIVIL	
SU-1	TOPOGRAPHIC SURVEY PLAN
ARCHITECTURAL	
A-1.1	NEW SITE PLAN
A-1.2	TREE PROTECTION PLAN
A-1.3	(E) FLOOR PLAN
A-1.4	(E) ELEVATIONS
A-2.1	GROUND FLOOR FLOOR PLAN
A-2.2	GROUND FLOOR AREA DIAGRAM PLAN
A-3.1	SECOND FLOOR FLOOR PLAN
A-3.2	SECOND FLOOR AREA DIAGRAM PLAN
A-4	ROOF PLAN
A-5	FRONT ELEVATION & RIGHT SIDE ELEVATION
A-6	REAR ELEVATION & LEFT SIDE ELEVATION
A-7	SECTION 1-1 AND SECTION 2-2
A-8	SECTION 3-3
VICINITY MAP	

PROJECT TITLE & LOCATION  
NEW RESIDENCE  
FOR  
Sally &  
Barry Karlin  
624 OLIVE STREET  
MENLO PARK, CA 94025  
REVISION

J MALIKSI & ASSOC.  
ARCHITECTURE + INTERIOR DESIGN  
675 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650 323 2902  
FAX NO. 650 323 6433



NO.	DATE	ISSUE
07M	3-31-2016	RESP. TO PLANNING
07M	3-10-2016	RESP. TO PLANNING
07M	1-29-2016	ISSUE FOR PLANNING

ALL DRAWINGS AND MATERIALS APPROVED BY THE ARCHITECT  
THE ARCHITECT AND SUPERVISOR WISE OF THE ARCHITECT'S  
AND NOT BE CONSIDERED AS PART OF THE PROJECT WITHOUT  
THE ARCHITECT'S SIGNATURE

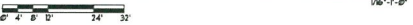
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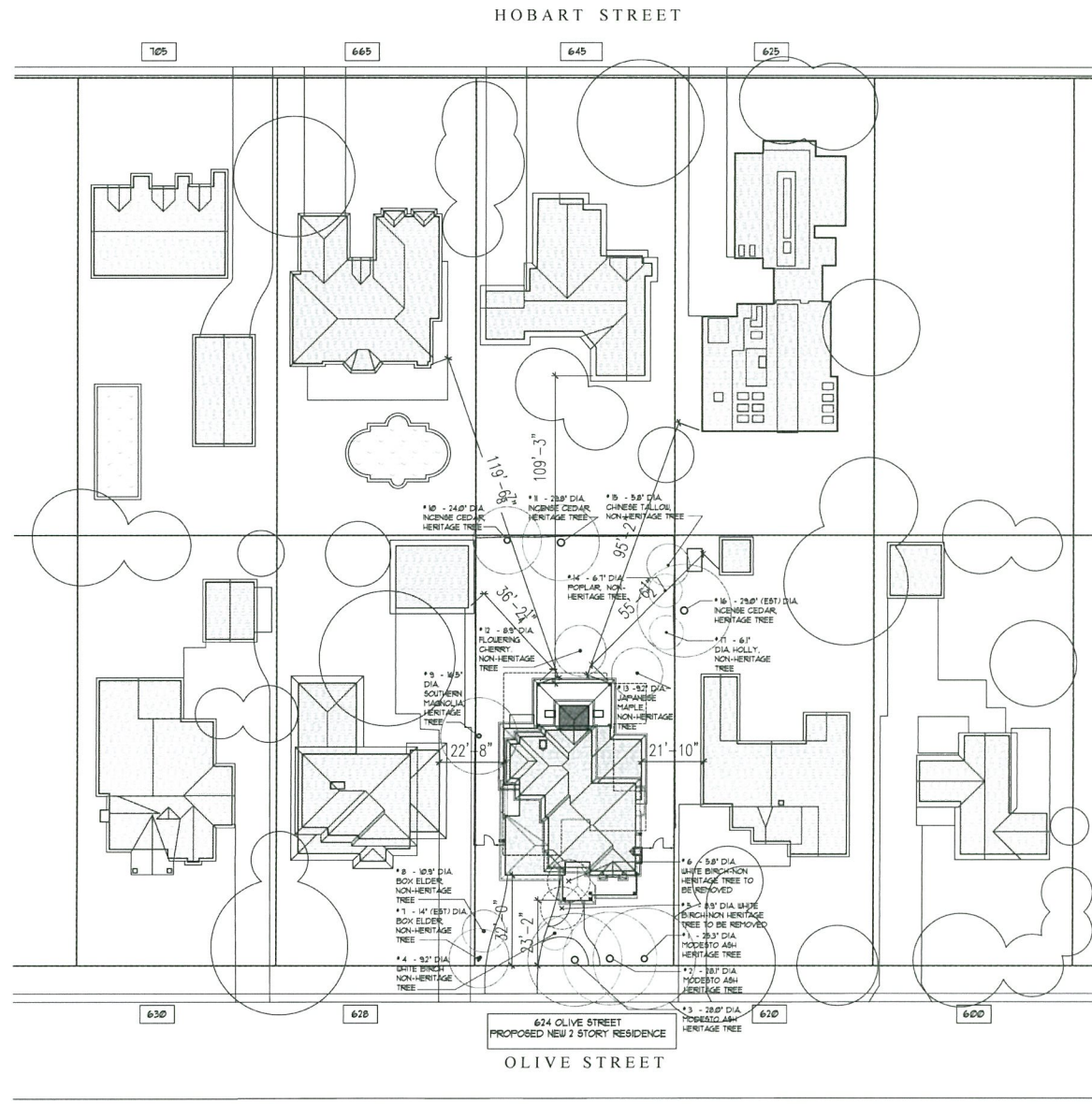
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(N) STREETScape AT OLIVE STREET LOOKING NORTH



RECEIVED  
APR 25 2016  
CITY OF MENLO PARK  
BUILDING



(N) NEIGHBORHOOD CONTEXT AREA PLAN

0' 5' 10' 20' 30' 40'

1"=30'

PROJECT TITLE & LOCATION

NEW RESIDENCE  
FOR

Sally &  
Barry Karlin

624 OLIVE STREET  
MENLO PARK, CA 94025

REVISION



J. MALIKSI & ASSOC.

ARCHITECTURE + INTERIOR DESIGN

675 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650 323 2902  
FAX NO. 650 323 6433



NO.	DATE	ISSUE
001	3-31-2016	RESP. TO PLANNING
001	3-16-2016	RESP. TO PLANNING
001	1-29-2016	ISSUE FOR PLANNING

ALL DRAWINGS AND MATERIALS APPEARING HEREON CONSTITUTE THE UNFINISHED AND UNAPPROVED WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED, COPIED OR OTHERWISE USED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

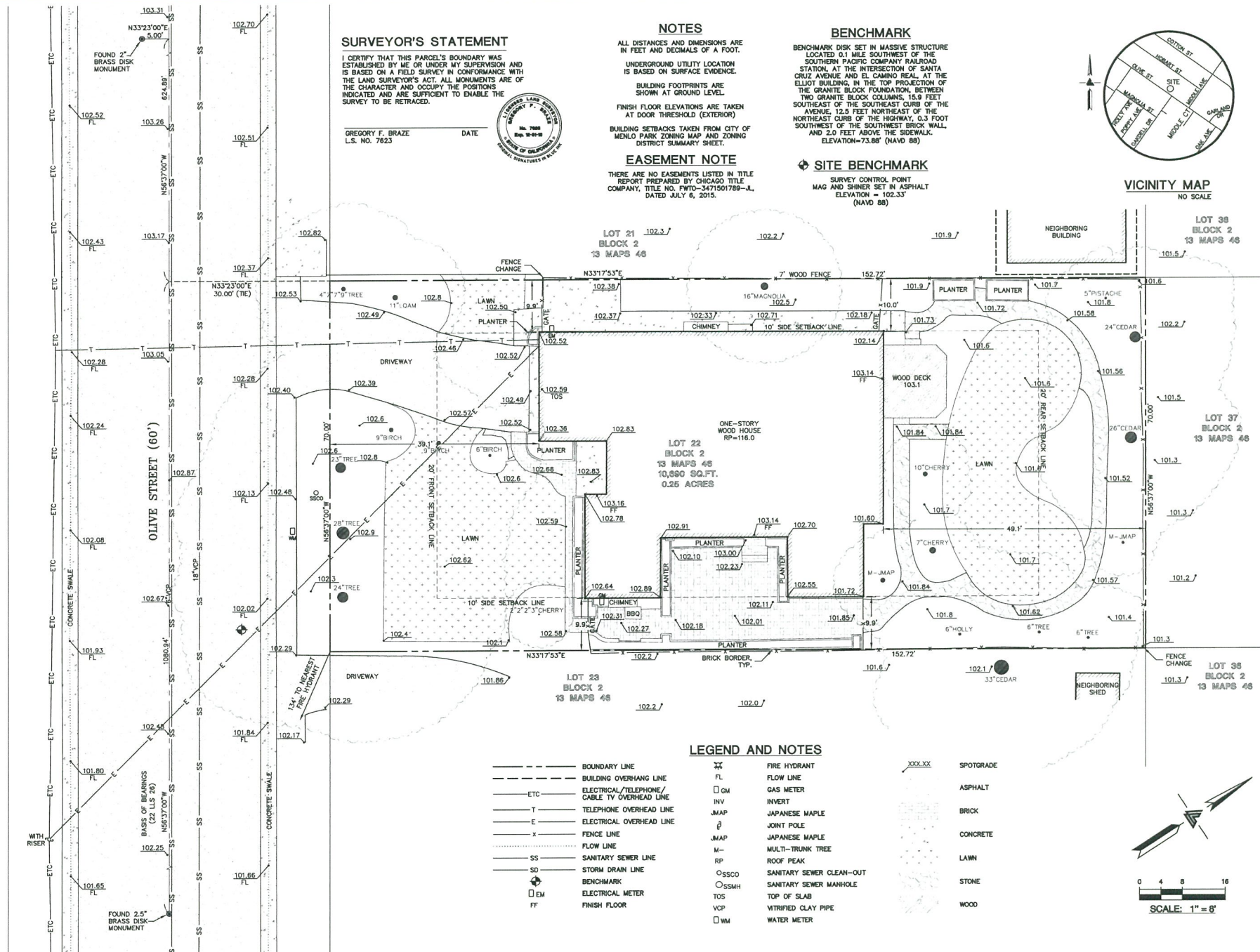
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NEIGHBORHOOD  
CONTEXT AREA  
PLAN

SCALE: AS NOTED  
PROJECT NAME: KARLIN  
CADD FILE NO.  
DRAWING NO.

A-0.2





LEA & BRAZE ENGINEERING, INC.

624 OLIVE STREET  
MENLO PARK  
CALIFORNIA

TOPOGRAPHIC AND  
BOUNDARY SURVEY

APR. 07:23-230  
SAN MATEO COUNTY

REVISIONS	BY
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JOB NO: 2150936

DATE: 9-29-15

SCALE: 1" = 8'

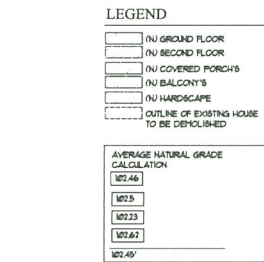
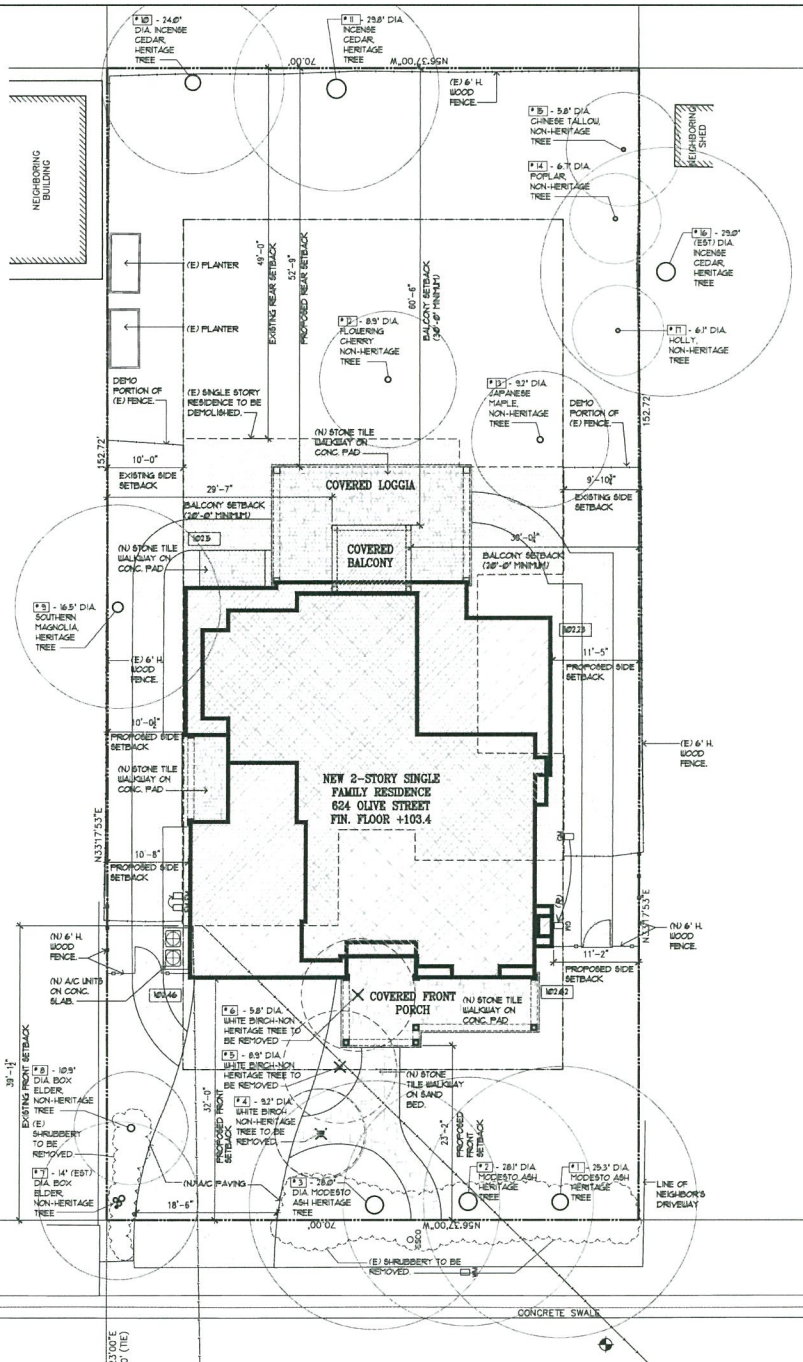
DRAWN BY: DB

SHEET NO:

1 OF 1 SHEETS

SU1

HERITAGE TREE TO REMAIN	NON-HERITAGE TREE TO REMAIN	NON-HERITAGE TREE TO BE REMOVED	Tree Species	Diameter (inches)	Condition (percent)	Height (feet)	Spread (feet)	Comments
			1. Modesto Ash	25.5	40	45	35	Root crown covered by Juniper bush and other organic material. Gaudinella Cork pine stems southeast toward street. Three stems at 3 feet with included bark. cavity at 12 feet abundance of organic material. Root crown attachments throughout the canopy.
			2. Modesto Ash	28.1	40	40	33	Root crown covered by Juniper bush and other organic material. Spans to the southwest toward the street. Three stems at 3 feet with included bark. cavity at 12 feet abundance of organic material. Root crown attachments throughout the canopy.
			3. Modesto Ash	28.9	40	40	33	Root crown covered by Juniper bush and other organic material. Spans to the southwest towards the street. Canopy dense at 8 feet. Three stems at 3 feet with included bark. abundance of organic material. Root crown attachments throughout the canopy.
			4. White Birch	9.7	30	25	12	Root crown covered by Juniper bush and other organic material. Spans to the southwest towards the street. Canopy dense at 8 feet. Three stems at 3 feet with included bark. abundance of organic material. Root crown attachments throughout the canopy.
			5. White Birch	8.9	20	30	15	Root crown covered by Juniper bush and other organic material. Spans to the southwest towards the street. Canopy dense at 8 feet. Three stems at 3 feet with included bark. abundance of organic material. Root crown attachments throughout the canopy.
			6. White Birch	5.8	40	18	15	Root crown covered by Juniper bush and other organic material. Spans to the southwest towards the street. Canopy dense at 8 feet. Three stems at 3 feet with included bark. abundance of organic material. Root crown attachments throughout the canopy.
			7. Blue Elder	14.0 (incl.)	35	15	21	Root crown covered by Juniper bush and other organic material. Spans to the southwest towards the street. Canopy dense at 8 feet. Three stems at 3 feet with included bark. abundance of organic material. Root crown attachments throughout the canopy.
			8. Liquidambar	10.9	30	15	15	Root crown covered by Juniper bush and other organic material. Spans to the southwest towards the street. Canopy dense at 8 feet. Three stems at 3 feet with included bark. abundance of organic material. Root crown attachments throughout the canopy.
HERITAGE TREE TO REMAIN	NON-HERITAGE TREE TO REMAIN	NON-HERITAGE TREE TO BE REMOVED	Tree Species	Diameter (inches)	Condition (percent)	Height (feet)	Spread (feet)	Comments
			9. Southern Magnolia	18.5	40	20	27	Partially covered root crown. Smaller surface roots along driveway. canopy substantially above level of home. healthy canopy. substantial top at 18 feet.
			10. Incense Cedar	24.0 (incl.)	80	65	24	Partially covered root crown. trunk in contact with tree support line fence. no growing up the lower trunk. good form and vigor. minor amount of decay. discolored top on lower branch.
			11. Incense Cedar	29.8	70	60	27	Partially covered root crown. some decay to the southwest. minor amount of decay. discolored top on lower branch.
			12. Flowering Cherry	8.9	55	15	18	Large surface roots. three stems at 5 feet from edge.
			13. Japanese Maple	9.2	55	18	18	Partially covered root crown. several root crown attachments in the canopy. good edge.
			14. Paper Birch	6.7	50	35	12	Root crown covered by Juniper bush and other organic material. Spans to the southwest towards the street. Canopy dense at 8 feet. Three stems at 3 feet with included bark. abundance of organic material. Root crown attachments throughout the canopy.
			15. Chinese Elm Tree	5.8	50	20	15	Leans to the west. minor amount of decay. discolored top on lower branch.
			16. Incense Cedar	29.0 (incl.)	75	70	33	No tag located on the neighboring property. slight lean to the southwest. good edge.
			17. Holly	5.1	50	18	12	Root crown covered by Juniper bush and other organic material. Spans to the southwest towards the street. Canopy dense at 8 feet. Three stems at 3 feet with included bark. abundance of organic material. Root crown attachments throughout the canopy.



PROJECT TITLE & LOCATION

NEW RESIDENCE FOR

Sally & Barry Karlin

624 OLIVE STREET  
MENLO PARK, CA 94025

REVISION

△

△

△

△

△

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J. MALIKSI & ASSOC.  
ARCHITECTURE + INTERIOR DESIGN

675 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650 323 2902  
FAX NO. 650 323 6433

LEGEND

(N) GROUND FLOOR

(N) SECOND FLOOR

(N) COVERED PORCHES

(N) BALCONIES

(N) HARDSCAPE

OUTLINE OF EXISTING HOUSE TO BE DEMOLISHED

AVERAGE NATURAL GRADE CALCULATION

M2.46

M2.5

M2.23

M2.62

M2.46

(N) SITE PLAN

10' = 1'-0"

SCALE: 10' = 1'-0"

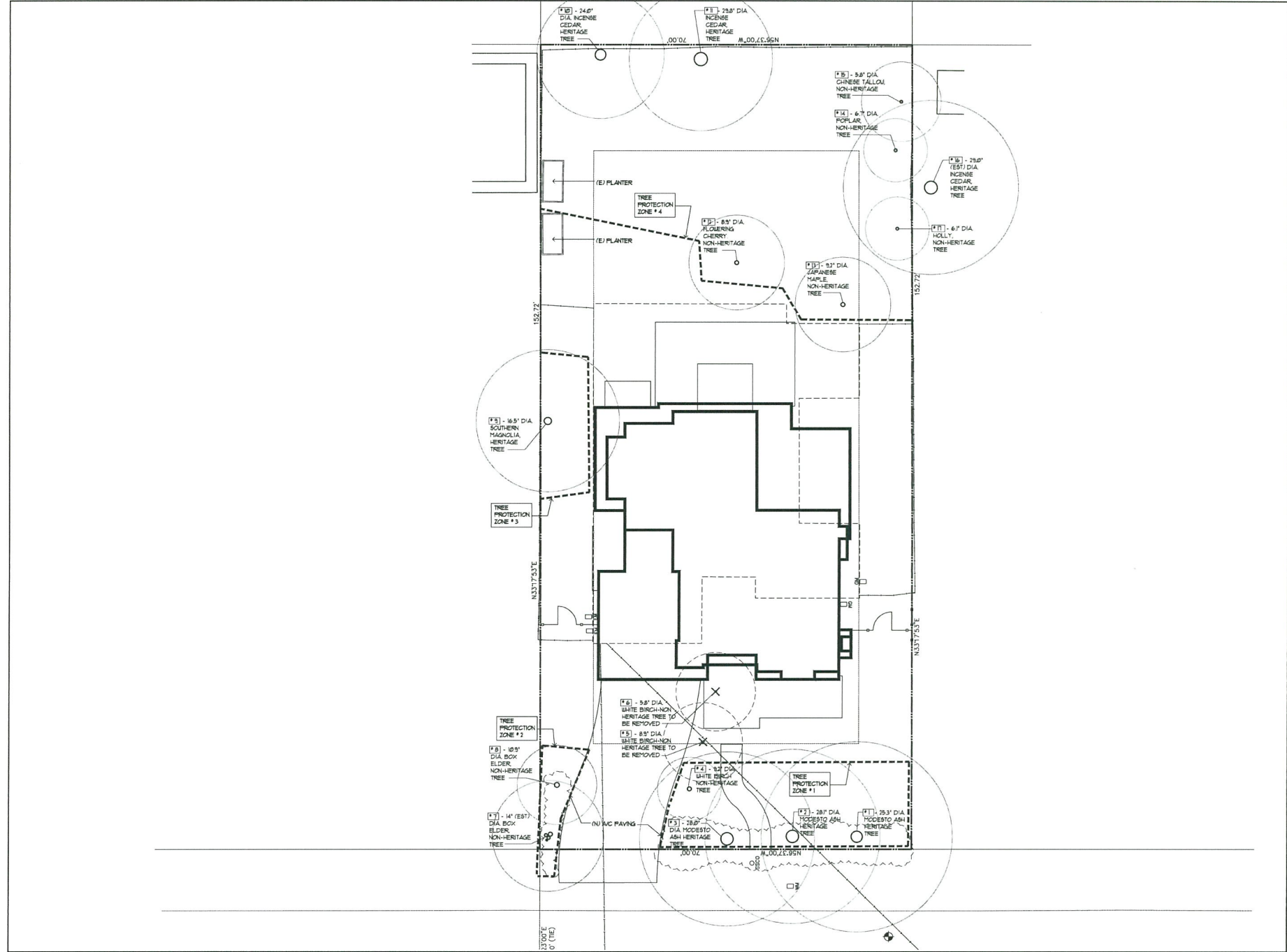
PROJECT NAME: KARLIN

CADD FILE NO.

DRAWING NO.

A-1.1





PROJECT TITLE & LOCATION

NEW RESIDENCE  
FOR

Sally &  
Barry Karlin

624 OLIVE STREET  
MENLO PARK, CA 94025

REVISION

△  
△  
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J. MALKSI & ASSOC.  
ARCHITECTURE + INTERIOR DESIGN

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MENLO PARK, CA 94025  
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FAX NO. 650 323 6433



NO.	DATE	ISSUE
01M	3-31-2016	RESP. TO PLANNING
01M	3-10-2016	RESP. TO PLANNING
01M	1-20-2016	ISSUE FOR PLANNING

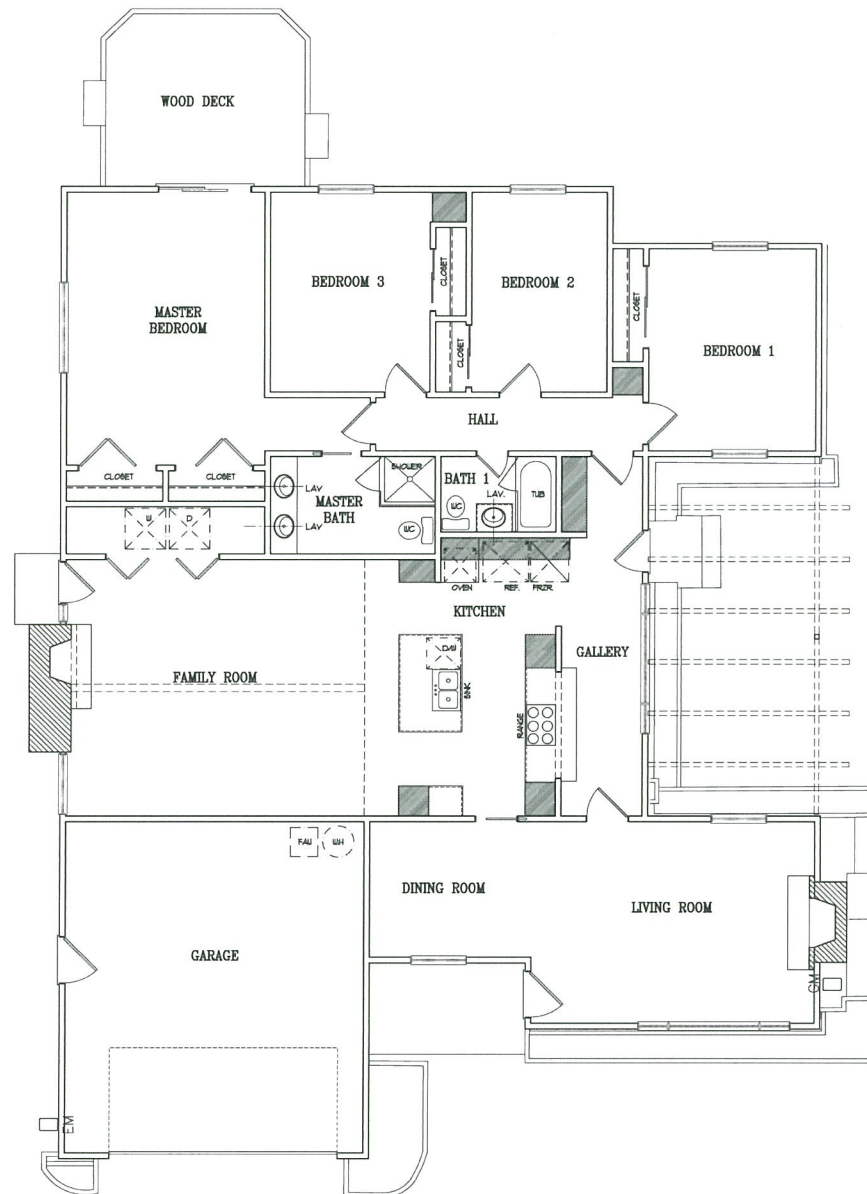
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DRAWING TITLE

(N) TREE  
PROTECTION PLAN

SCALE: 1/8" = 1'-0"  
PROJECT NAME: KARLIN  
CADD FILE NO.  
DRAWING NO.

A-1.2



(E) FLOOR PLAN



EXISTING FLOOR AREA: 2,621.18 SF.

PROJECT TITLE & LOCATION

NEW RESIDENCE  
FOR  
Sally &  
Barry Karlin

624 OLIVE STREET  
MENLO PARK, CA 94025

REVISION



J. MALIKSI & ASSOC.  
ARCHITECTURE • INTERIOR DESIGN

675 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650 323 2902  
FAX NO. 650 323 6433



NO. DATE ISSUE  
0711 1-29-2016 ISSUE FOR PLANNING

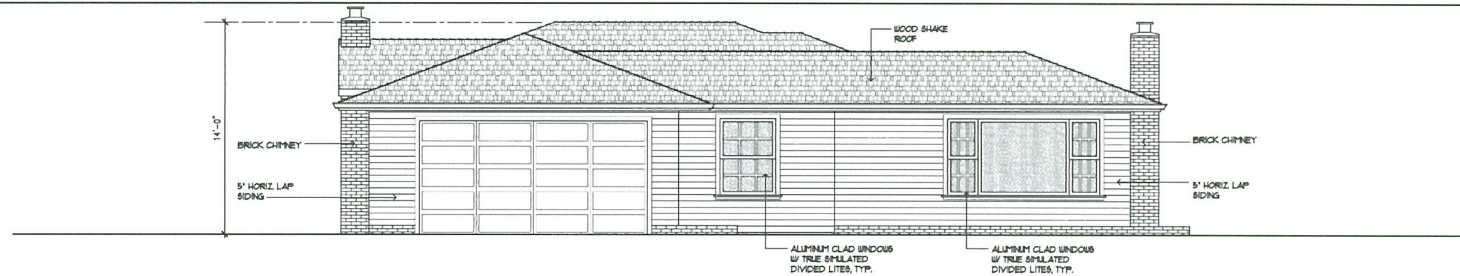
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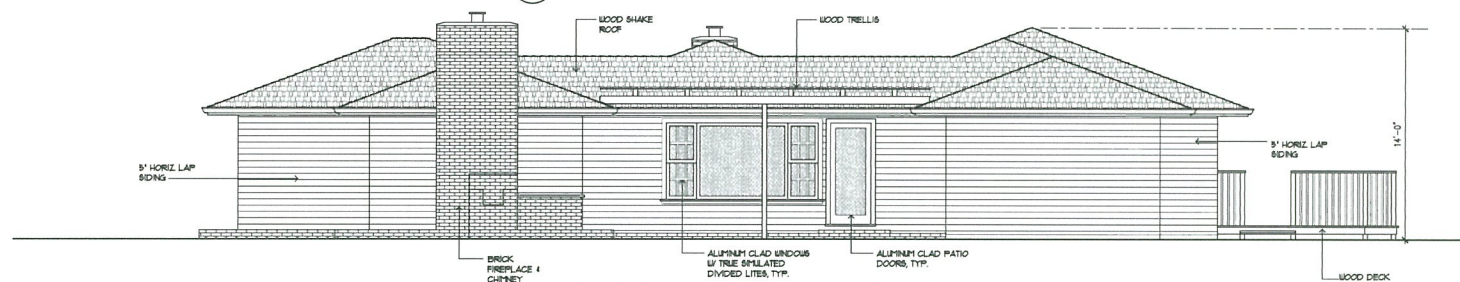
EXISTING  
FLOOR PLAN

SCALE: 1/4" = 1'-0"  
PROJECT NAME: KARLIN  
CADD FILE NO.  
DRAWING NO.

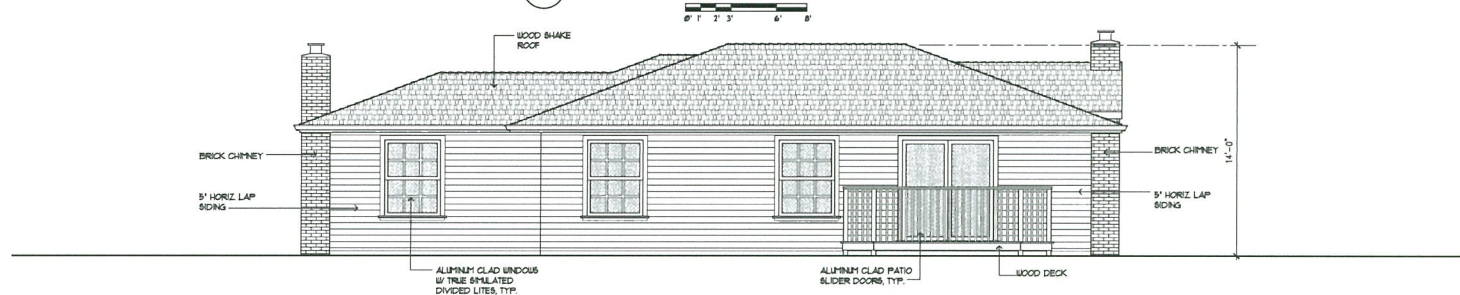
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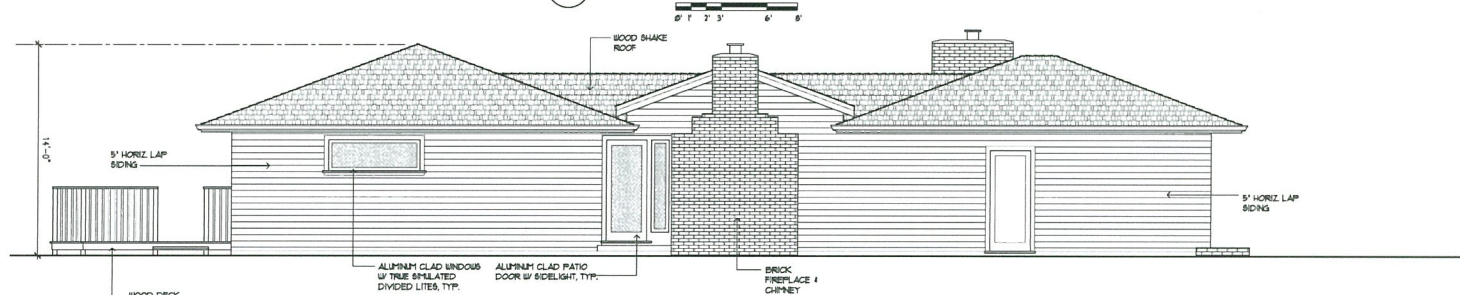
1 (E) FRONT ELEVATION  
SCALE 1/4"=1'-0"



2 (E) RIGHT SIDE ELEVATION  
SCALE 1/4"=1'-0"



3 (E) REAR ELEVATION  
SCALE 1/4"=1'-0"



4 (E) LEFT SIDE ELEVATION  
SCALE 1/4"=1'-0"

PROJECT TITLE & LOCATION

NEW RESIDENCE  
FOR

Sally &  
Barry Karlin

624 OLIVE STREET  
MENLO PARK, CA 94025

REVISION



J. MALIKSI & ASSOC.

ARCHITECTURE + INTERIOR DESIGN

675 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650 323 2902  
FAX NO. 650 323 6433



NO.	DATE	ISSUE
001	3-10-2016	RESP. TO PLANNING
002	1-25-2016	ISSUE FOR PLANNING

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DRAWING TITLE

EXISTING  
FRONT, REAR,  
RIGHT SIDE &  
LEFT SIDE  
ELEVATIONS

SCALE: 1/4" = 1'-0"  
PROJECT NAME: KARLIN  
CADD FILE NO.  
DRAWING NO.

A-1.4



J. MALIKSI & ASSOC.  
ARCHITECTURE + INTERIOR DESIGN675 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650 323 2902  
FAX NO. 650 323 6433

NO.	DATE	ISSUE
GTM 1	3-31-2016	RESP. TO PLANNING
GTM 2	3-18-2016	RESP. TO PLANNING
GTM 3	1-25-2016	ISSUE FOR PLANNING

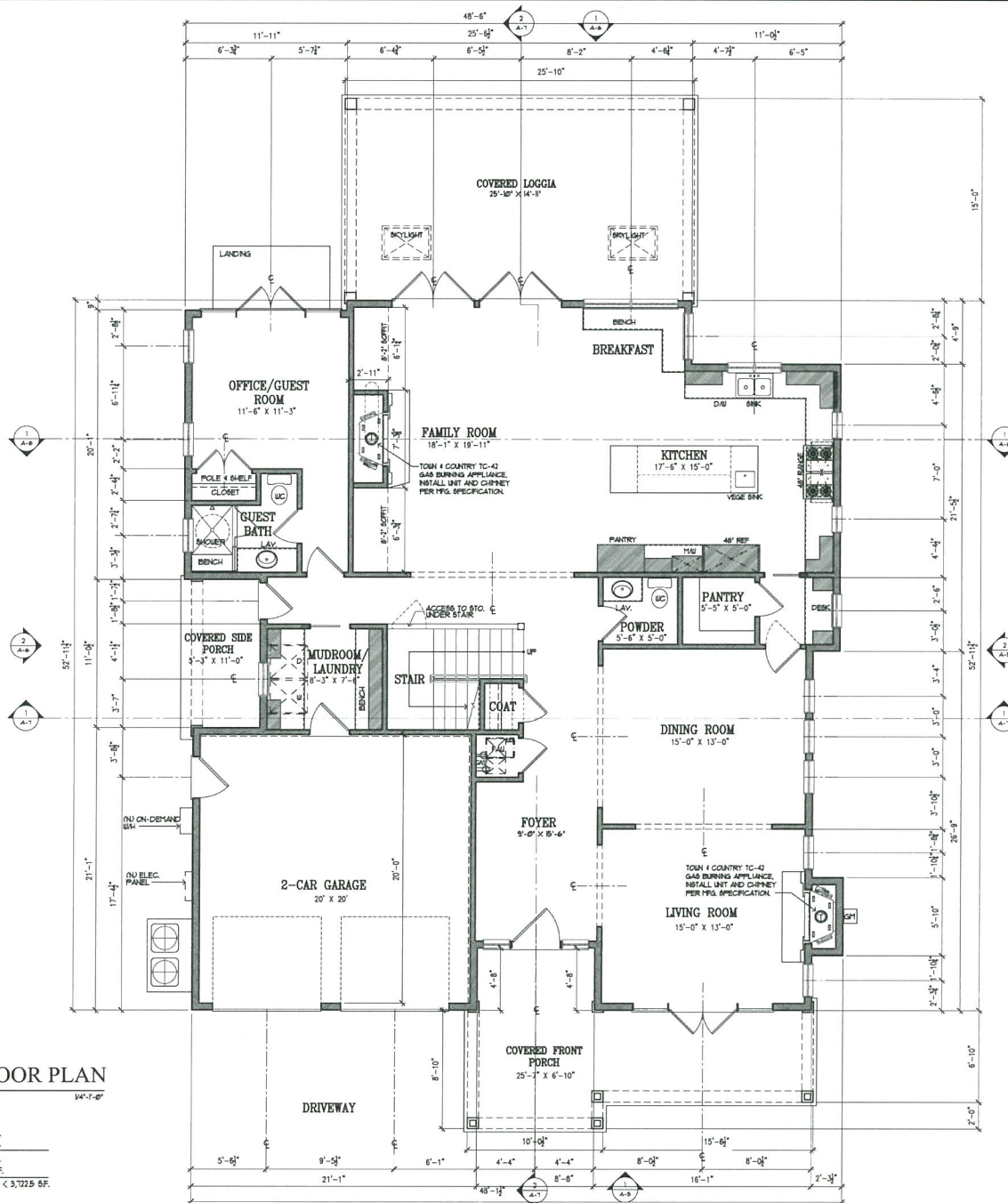
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DRAWING TITLE

(N) GROUND  
FLOOR PLAN

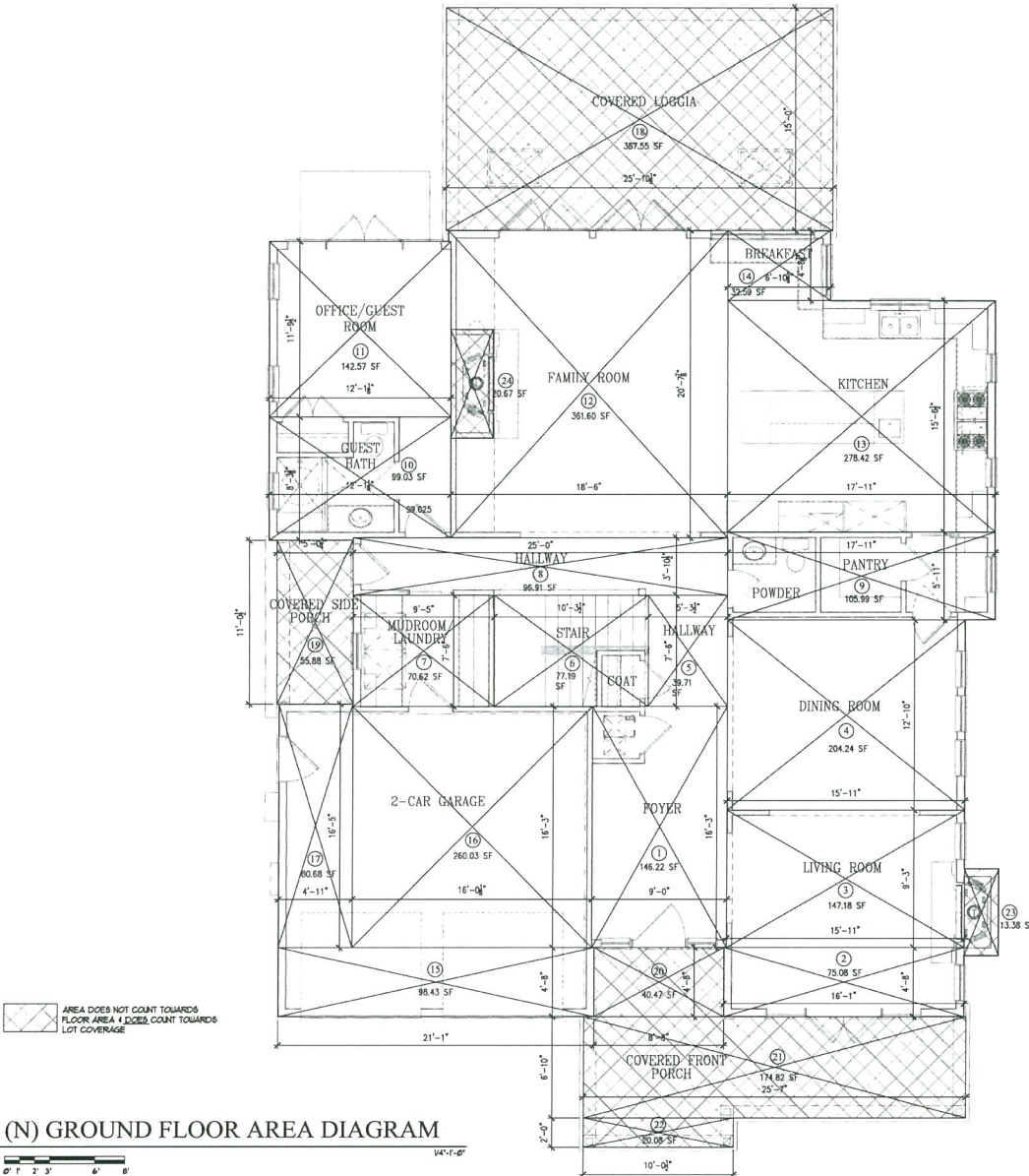
SCALE: 1/4" = 1'-0"  
PROJECT NAME: KARLIN  
CADD FILE NO.  
DRAWING NO.

A-2.1



(N) GROUND FLOOR PLAN

GROSS GROUND FLOOR AREA: 2331.16 SF.  
FIREPLACE BOX-SUBTRACT: - 20.67 SF.  
NET GROUND FLOOR AREA: 2310.49 SF.  
NET SECOND FLOOR AREA: 1409.69 SF.  
TOTAL FLOOR AREA: 3,720.18 SF. (3,722.5 SF.)



(N) GROUND FLOOR AREA DIAGRAM



(FAL) FLOOR AREA LIMIT CALCULATIONS

SECTION	LOCATION	AREA
<b>GROUND FLOOR</b>		
1	FOYER	146.22 S.F.
2	LIVING ROOM	75.08 S.F.
3	LIVING ROOM	147.18 S.F.
4	DINING ROOM	204.24 S.F.
5	HALLWAY	39.71 S.F.
6	STAIRWELL	77.19 S.F.
7	MUDROOM/LAUNDRY	70.62 S.F.
8	HALLWAY	96.91 S.F.
9	POWDER + PANTRY	105.99 S.F.
10	GUEST BATH	99.03 S.F.
11	OFFICE/GUEST ROOM	142.57 S.F.
12	FAMILY ROOM	361.60 S.F.
13	KITCHEN	278.42 S.F.
14	BREAKFAST	32.59 S.F.
15	GARAGE	98.43 S.F.
16	GARAGE	260.03 S.F.
17	GARAGE	80.68 S.F.
18	COVERED LOGGIA	387.55 S.F.
19	COVERED SIDE PORCH	DOES NOT COUNT TOWARDS F.A.L. 55.88 S.F.
20	COVERED FRONT PORCH	DOES NOT COUNT TOWARDS F.A.L. 40.47 S.F.
21	COVERED FRONT PORCH	DOES NOT COUNT TOWARDS F.A.L. 174.82 S.F.
22	COVERED FRONT PORCH	DOES NOT COUNT TOWARDS F.A.L. 20.08 S.F.
23	FIREPLACE	DOES NOT COUNT TOWARDS F.A.L. 13.38 S.F.
24	FIREPLACE	DOES NOT COUNT TOWARDS F.A.L. 20.67 S.F.

TOTAL GROUND FLOOR AREA : 2316.49 S.F.

<b>SECOND FLOOR</b>		
25	BEDROOM 2	199.64 S.F.
26	BEDROOM 3	192.84 S.F.
27	BATH 2	63.72 S.F.
28	HALLWAY	18.83 S.F.
29	HALLWAY	22.19 S.F.
30	BATH 1	67.52 S.F.
31	BEDROOM 2	202.94 S.F.
32	HALLWAY	39.70 S.F.
33	WALK IN CLOSET	66.24 S.F.
34	WALK IN CLOSET	72.20 S.F.
35	SHOWER + WC	41.44 S.F.
36	MASTER BATH	83.37 S.F.
37	MASTER BATH	29.90 S.F.
38	MASTER BEDROOM	300.79 S.F.
39	BALCONY	91.14 S.F.
40	BEDROOM 2 BOX OUT WINDOW	DOES NOT COUNT TOWARDS F.A.L. 9.94 S.F.
41	BEDROOM 2 BOX OUT WINDOW	DOES NOT COUNT TOWARDS F.A.L. 10.19 S.F.
42	BEDROOM 3 BOX OUT WINDOW	2.56 S.F.
43	BEDROOM 3 BOX OUT WINDOW	2.81 S.F.
44	FIREBOX	DOES NOT COUNT TOWARDS F.A.L. 10.32 S.F.
45	FIREBOX	DOES NOT COUNT TOWARDS F.A.L. 9.49 S.F.
46	STAIRWELL	DOES NOT COUNT TOWARDS F.A.L. 77.19 S.F.

TOTAL SECOND FLOOR AREA : 1405.69 S.F.

TOTAL FLOOR AREA 3722.18 S.F.

LOT COVERAGE CALCULATIONS

GROUND FLOOR FOOTPRINT 2316.49 S.F.

18	COVERED LOGGIA	DOES NOT COUNT TOWARDS F.A.L. 387.55 S.F.
19	COVERED SIDE PORCH	DOES NOT COUNT TOWARDS F.A.L. 55.88 S.F.
20	COVERED FRONT PORCH	DOES NOT COUNT TOWARDS F.A.L. 40.47 S.F.
21	COVERED FRONT PORCH	DOES NOT COUNT TOWARDS F.A.L. 174.82 S.F.
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23	FIREPLACE	DOES NOT COUNT TOWARDS F.A.L. 13.38 S.F.
24	FIREPLACE	DOES NOT COUNT TOWARDS F.A.L. 20.67 S.F.

TOTAL COVERED PORCHES, FIRE PLACES AND POOL EQUIPT. ENCLOSURE 712.85 S.F.

TOTAL LOT COVERAGE AREA : 28.34% 3029.34 S.F.

LOT AREA 10690.00 S.F.

AREA CALCULATIONS

PROJECT TITLE & LOCATION

NEW RESIDENCE FOR

Sally & Barry Karlin

624 OLIVE STREET  
MENLO PARK, CA 94025

REVISION



J. MALIKSI & ASSOC.

ARCHITECTURE + INTERIOR DESIGN

675 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650 323 2902  
FAX NO. 650 323 6433



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GTM 3-31-2016 RESP. TO PLANNING

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DRAWING TITLE

(N) GROUND FLOOR AREA PLAN AND AREA CALCULATIONS

SCALE: 1/4" = 1'-0"

PROJECT NAME: KARLIN

CADD FILE NO.

DRAWING NO.

A-2.2



J. MALIKSI &amp; ASSOC.

ARCHITECTURE + INTERIOR DESIGN

675 MENLO AVENUE  
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TEL. NO. 650 323 2902  
FAX NO. 650 323 6433

NO.	DATE	ISSUE
GTM	3-31-2016	RESP. TO PLANNING
GTM	1-25-2016	ISSUE FOR PLANNING

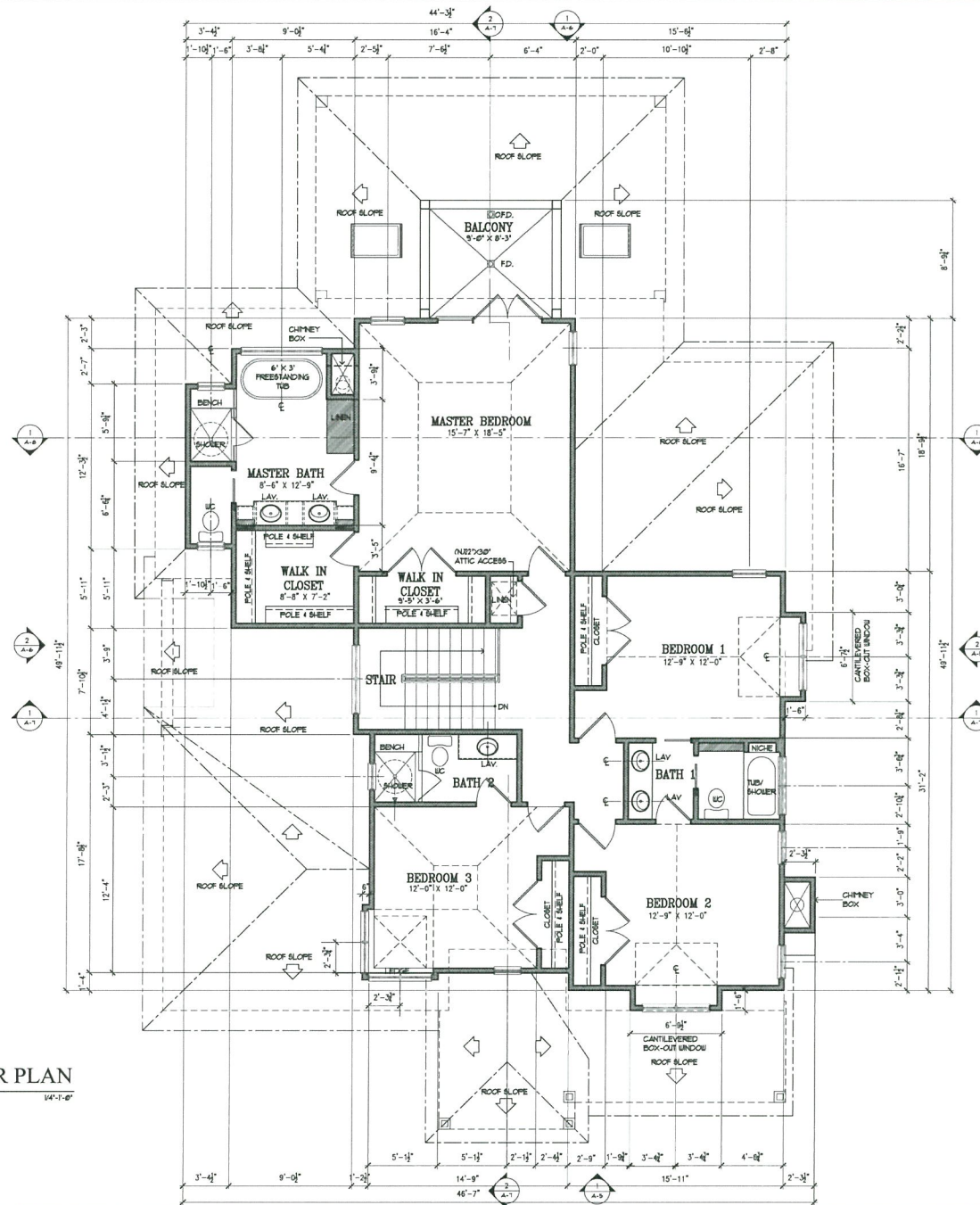
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DRAWING TITLE

(N) SECOND  
FLOOR PLAN

SCALE: 1/4" = 1'-0"  
PROJECT NAME: KARLIN  
CADD FILE NO.  
DRAWING NO.

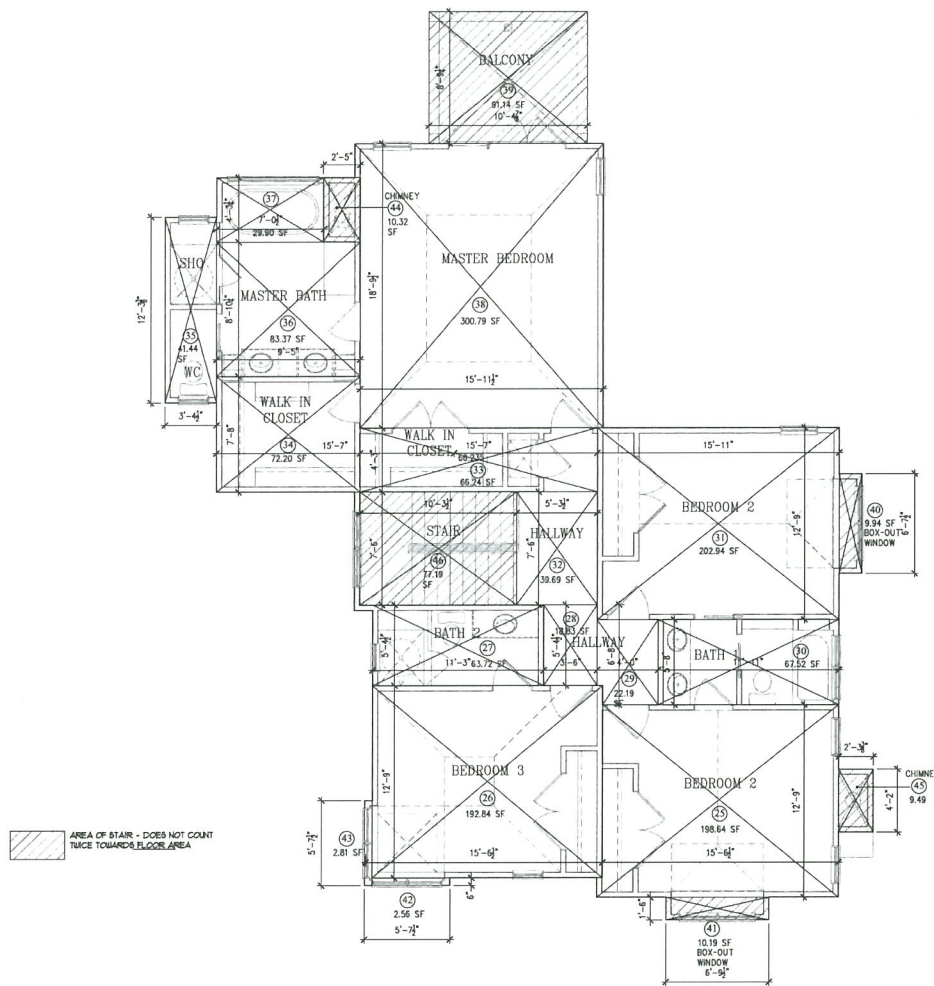
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## (N) SECOND FLOOR PLAN

GROSS SECOND FLOOR AREA: 1433.20 SF.  
STAIR - SUBTRACT: - 11.15 SF.  
CHIMNEY BOX-SUBTRACT: - 10.32 SF.  
NET SECOND FLOOR AREA: 1405.69 SF.





(N) SECOND FLOOR AREA DIAGRAM

# (FAL) FLOOR AREA LIMIT CALCULATIONS

SECTION	LOCATION	AREA
<b>GROUND FLOOR</b>		
1	FOYER	146.22 S.F.
2	LIVING ROOM	75.08 S.F.
3	LIVING ROOM	147.18 S.F.
4	DINING ROOM	204.24 S.F.
5	HALLWAY	39.71 S.F.
6	STAIRWELL	77.19 S.F.
7	MUDROOM/LAUNDRY	70.62 S.F.
8	HALLWAY	96.91 S.F.
9	POWDER + PANTRY	105.99 S.F.
10	GUEST BATH	99.03 S.F.
11	OFFICE/GUEST ROOM	142.57 S.F.
12	FAMILY ROOM	361.60 S.F.
13	KITCHEN	278.42 S.F.
14	BREAKFAST	32.59 S.F.
15	GARAGE	98.43 S.F.
16	GARAGE	260.03 S.F.
17	GARAGE	80.68 S.F.
18	COVERED LOGGIA	DOES NOT COUNT TOWARDS F.A.L.
19	COVERED SIDE PORCH	DOES NOT COUNT TOWARDS F.A.L.
20	COVERED FRONT PORCH	DOES NOT COUNT TOWARDS F.A.L.
21	COVERED FRONT PORCH	DOES NOT COUNT TOWARDS F.A.L.
22	COVERED FRONT PORCH	DOES NOT COUNT TOWARDS F.A.L.
23	FIREPLACE	13.38 S.F.
24	FIREPLACE	DOES NOT COUNT TOWARDS F.A.L.

TOTAL GROUND FLOOR AREA : 2316.49 S.F.

<b>SECOND FLOOR</b>		
25	BEDROOM 2	198.64 S.F.
26	BEDROOM 3	192.84 S.F.
27	BATH 2	63.72 S.F.
28	HALLWAY	18.83 S.F.
29	HALLWAY	22.19 S.F.
30	BATH 1	67.52 S.F.
31	BEDROOM 2	202.94 S.F.
32	HALLWAY	39.70 S.F.
33	WALK IN CLOSET	66.24 S.F.
34	WALK IN CLOSET	72.20 S.F.
35	SHOWER + WC	41.44 S.F.
36	MASTER BATH	83.37 S.F.
37	MASTER BATH	29.90 S.F.
38	MASTER BEDROOM	300.79 S.F.
39	BALCONY	91.14 S.F.
40	BEDROOM 2 BOX OUT WINDOW	DOES NOT COUNT TOWARDS F.A.L.
41	BEDROOM 2 BOX OUT WINDOW	DOES NOT COUNT TOWARDS F.A.L.
42	BEDROOM 3 BOX OUT WINDOW	2.56 S.F.
43	BEDROOM 3 BOX OUT WINDOW	2.81 S.F.
44	FIREBOX	DOES NOT COUNT TOWARDS F.A.L.
45	FIREBOX	DOES NOT COUNT TOWARDS F.A.L.
46	STAIRWELL	DOES NOT COUNT TOWARDS F.A.L.

TOTAL SECOND FLOOR AREA : 1405.69 S.F.

TOTAL FLOOR AREA 3722.18 S.F.

## LOT COVERAGE CALCULATIONS

<b>GROUND FLOOR FOOTPRINT</b>		
18	COVERED LOGGIA	DOES NOT COUNT TOWARDS F.A.L.
19	COVERED SIDE PORCH	DOES NOT COUNT TOWARDS F.A.L.
20	COVERED FRONT PORCH	DOES NOT COUNT TOWARDS F.A.L.
21	COVERED FRONT PORCH	DOES NOT COUNT TOWARDS F.A.L.
22	COVERED FRONT PORCH	DOES NOT COUNT TOWARDS F.A.L.
23	FIREPLACE	13.38 S.F.
24	FIREPLACE	DOES NOT COUNT TOWARDS F.A.L.

TOTAL COVERED PORCHES, FIRE PLACES AND POOL EQUIPT. ECLOSURE 712.85 S.F.

TOTAL LOT COVERAGE AREA : 28.34% 3029.34 S.F.

LOT AREA 10690.00 S.F.

## AREA CALCULATIONS

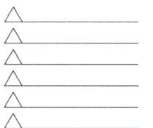
PROJECT TITLE & LOCATION

NEW RESIDENCE FOR

Sally & Barry Karlin

624 OLIVE STREET  
MENLO PARK, CA 94025

REVISION



J. MALIKSI & ASSOC.

ARCHITECTURE + INTERIOR DESIGN

675 MENLO AVENUE

MENLO PARK, CA 94025

TEL. NO. 650 323 2902

FAX NO. 650 323 6433



NO. DATE ISSUE

01M 3-31-2016 RESP. TO PLANNING

01M 3-10-2016 RESP. TO PLANNING

01M 1-29-2016 ISSUE FOR PLANNING

11) I HAVE REVIEWED THE SUBMITTED APPROVALS FROM THE CITY OF MENLO PARK AND AM NOT PROVIDING ANY OF THE ADVICE OR RECOMMENDATIONS OF THE ARCHITECT. I AM NOT PROVIDING ANY OF THE ADVICE OR RECOMMENDATIONS OF THE ARCHITECT. I AM NOT PROVIDING ANY OF THE ADVICE OR RECOMMENDATIONS OF THE ARCHITECT.

DRAWING TITLE

(N) SECOND  
AREA DIAGRAM  
AND AREA  
CALCULATIONS

SCALE: 1/4" = 1'-0"

PROJECT NAME: KARLIN

CADD FILE NO.

DRAWING NO.

A-3.2



J. MALIKSI & ASSOC.

ARCHITECTURE + INTERIOR DESIGN

675 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650 323 2902  
FAX NO. 650 323 6433



NO.	DATE	ISSUE
GTH	3-10-2016	RESP. TO PLANNING
GTH	1-25-2016	ISSUE FOR PLANNING

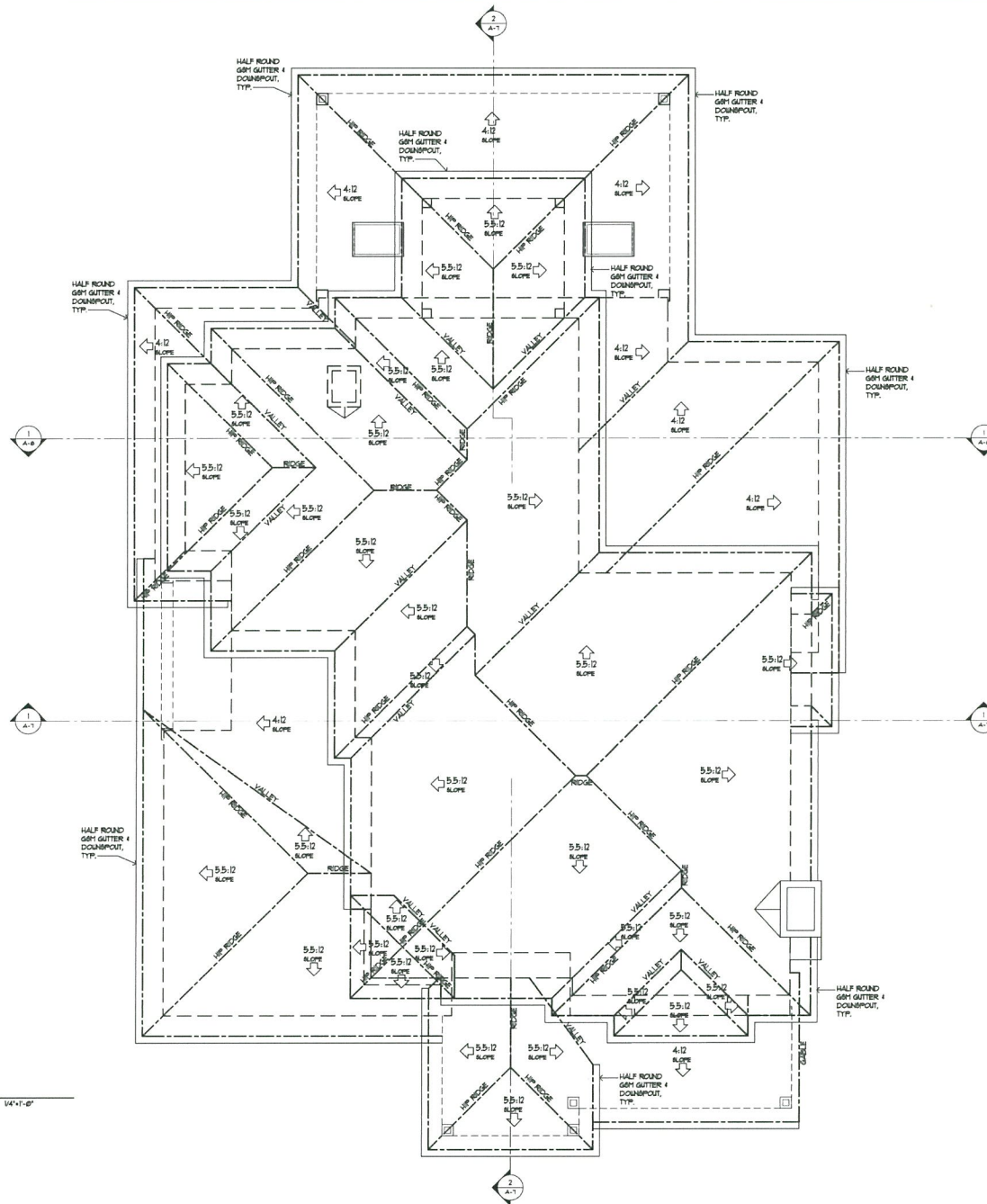
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DRAWING TITLE

(N) ROOF  
PLAN

SCALE: 1/4" = 1'-0"  
PROJECT NAME: KARLIN  
CADD FILE NO.  
DRAWING NO.

A-4



ROOF PLAN  
SCALE 1/4" = 1'-0"  
0' 1' 2' 3' 4' 5' 6' 7' 8'



## NEW RESIDENCE FOR

Sally &  
Barry Karlin624 OLIVE STREET  
MENLO PARK, CA 94025

## REVISION



J. MALIKSI &amp; ASSOC.

ARCHITECTURE + INTERIOR DESIGN

875 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650.323.2902  
FAX NO. 650.323.6433

NO.	DATE	ISSUE
GTH	3-31-2016	RESP. TO PLANNING
GTH	3-10-2016	RESP. TO PLANNING
GTH	1-25-2016	ISSUE FOR PLANNING

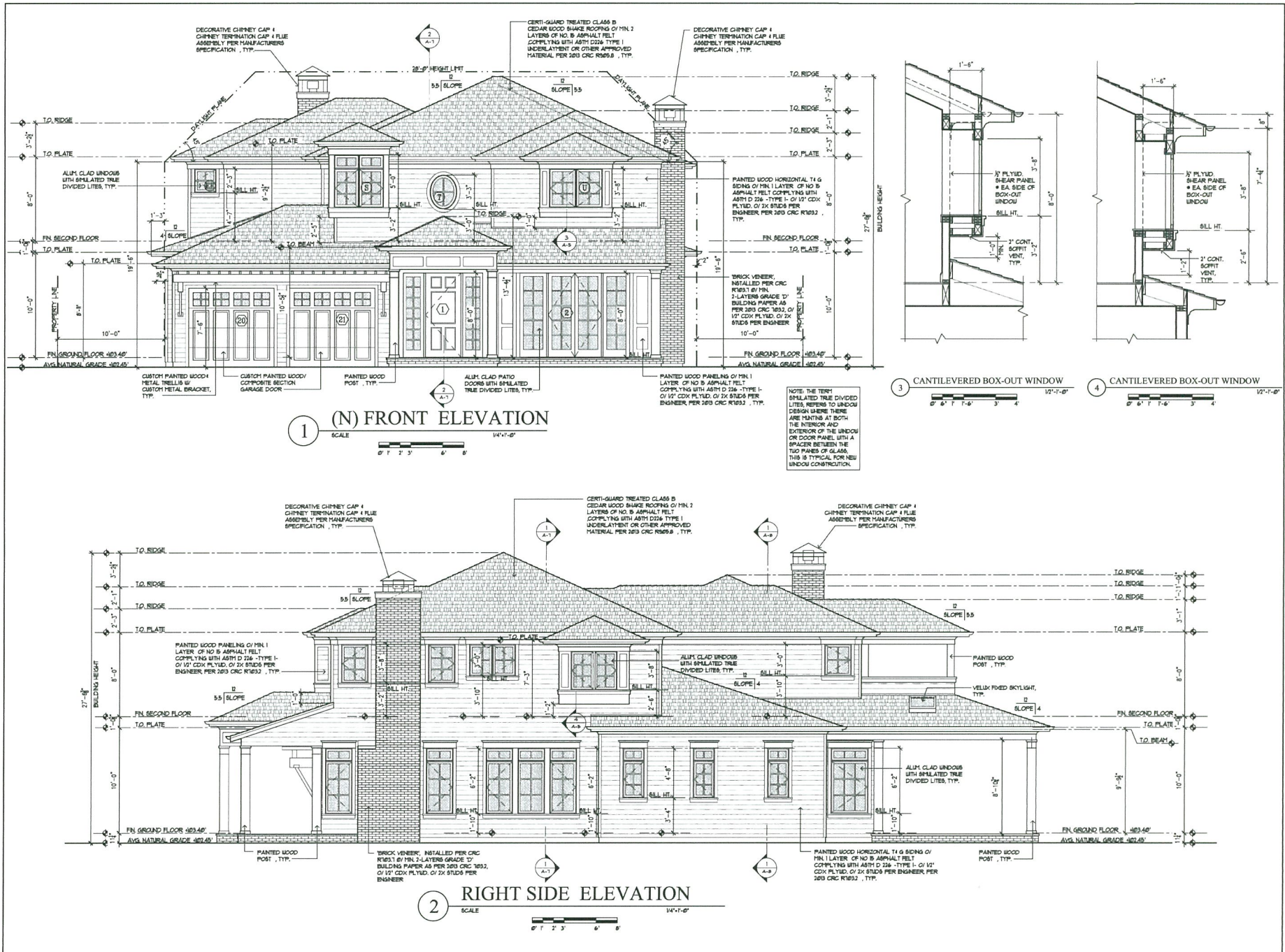
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DRAWING TITLE

(N) FRONT  
ELEVATION &  
(N) RIGHT SIDE  
ELEVATION

SCALE: 1/4" = 1'-0"  
PROJECT NAME: KARLIN  
CADD FILE NO.  
DRAWING NO.

A-5







NO.	DATE	ISSUE
0TH	3-31-2016	RESP. TO PLANNING
0TH	3-10-2016	RESP. TO PLANNING
0TH	1-20-2016	ISSUE FOR PLANNING

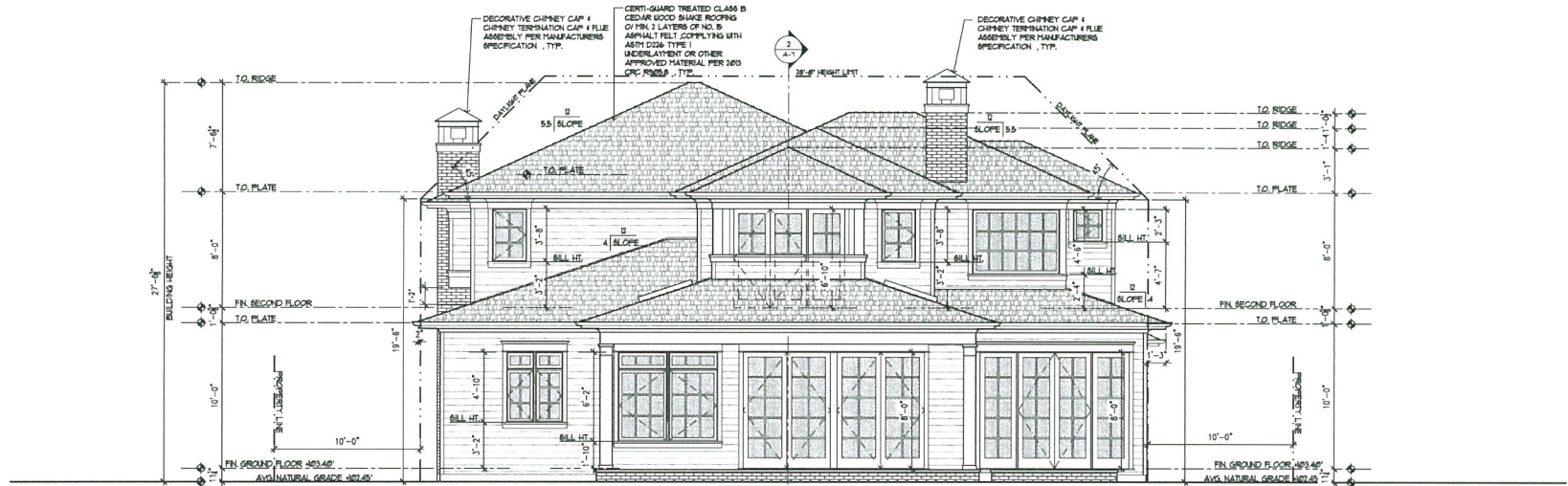
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DRAWING TITLE

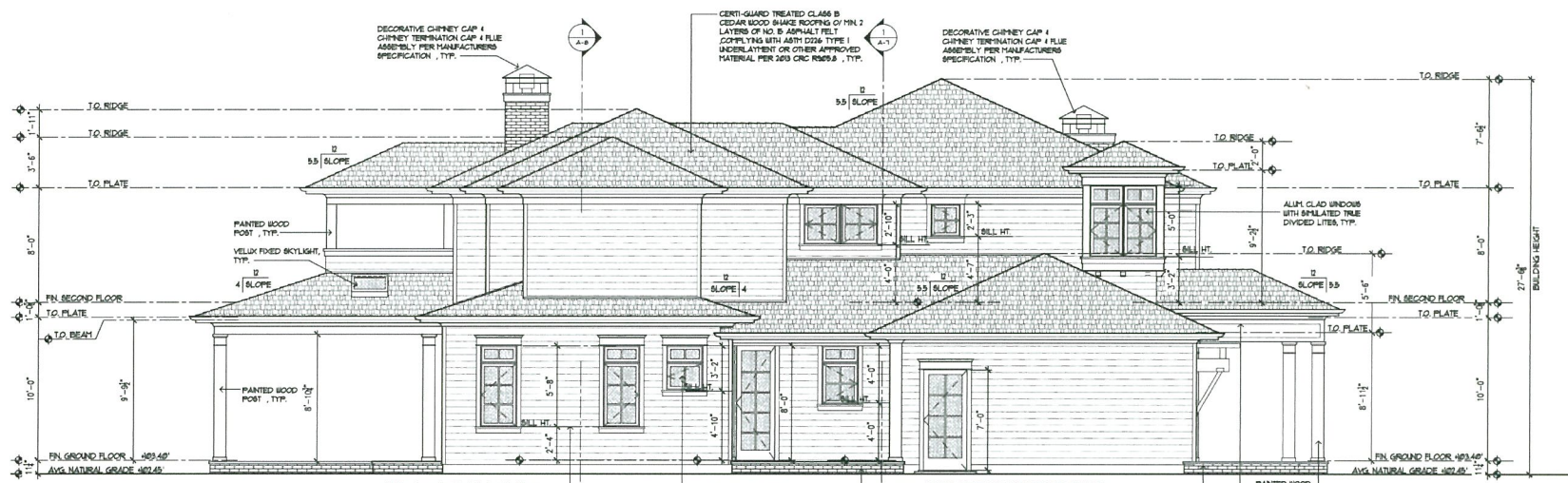
(N) REAR  
ELEVATION &  
(N) LEFT SIDE  
ELEVATION

SCALE: 1/4" = 1'-0"  
PROJECT NAME: KARLIN  
CADD FILE NO.  
DRAWING NO.

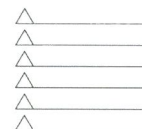
A-6



1 REAR ELEVATION  
SCALE 1/4" = 1'-0"



2 LEFT SIDE ELEVATION  
SCALE 1/4" = 1'-0"



J. MALISKI &amp; ASSOC.

ARCHITECTURE + INTERIOR DESIGN

675 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650.323.2902  
FAX NO. 650.323.6433

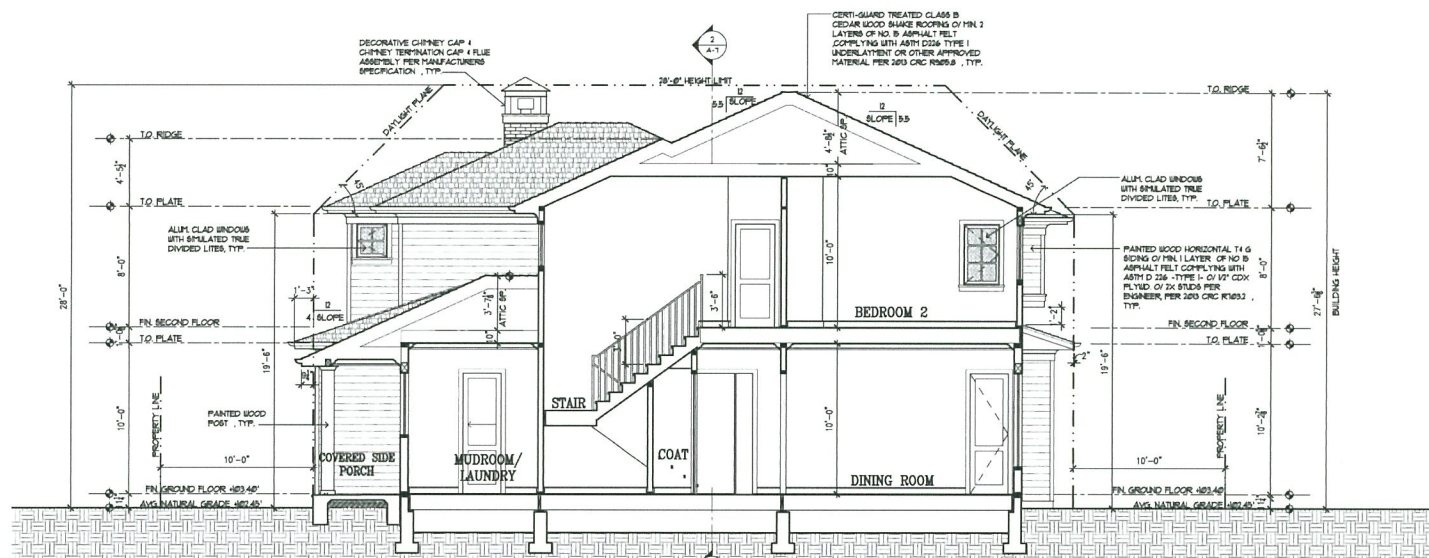
NO.	DATE	ISSUE
GTH	3-31-2016	RESP. TO PLANNING
GTH	3-10-2016	RESP. TO PLANNING
GTH	1-25-2016	ISSUE FOR PLANNING

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DRAWING TITLE

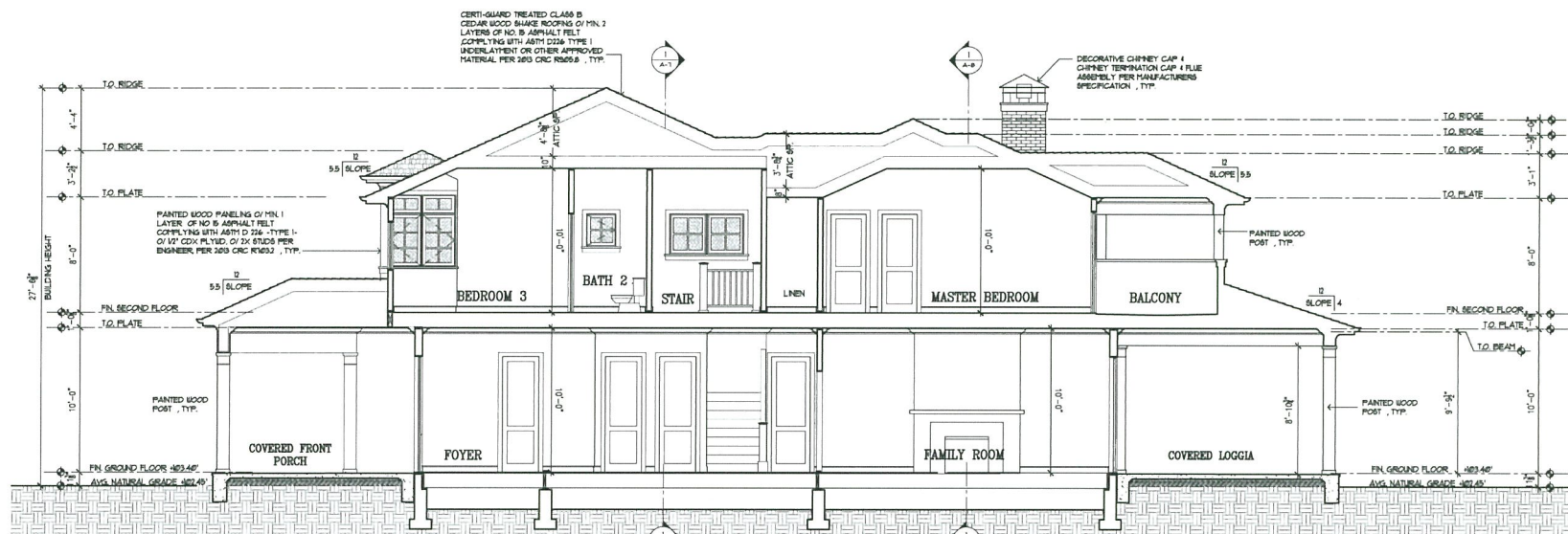
(N) SECTION 1-1  
& (N) SECTION 2-2SCALE: 1/4" = 1'-0"  
PROJECT NAME: KARLIN  
CADD FILE NO.  
DRAWING NO.

A-7



SECTION 1-1

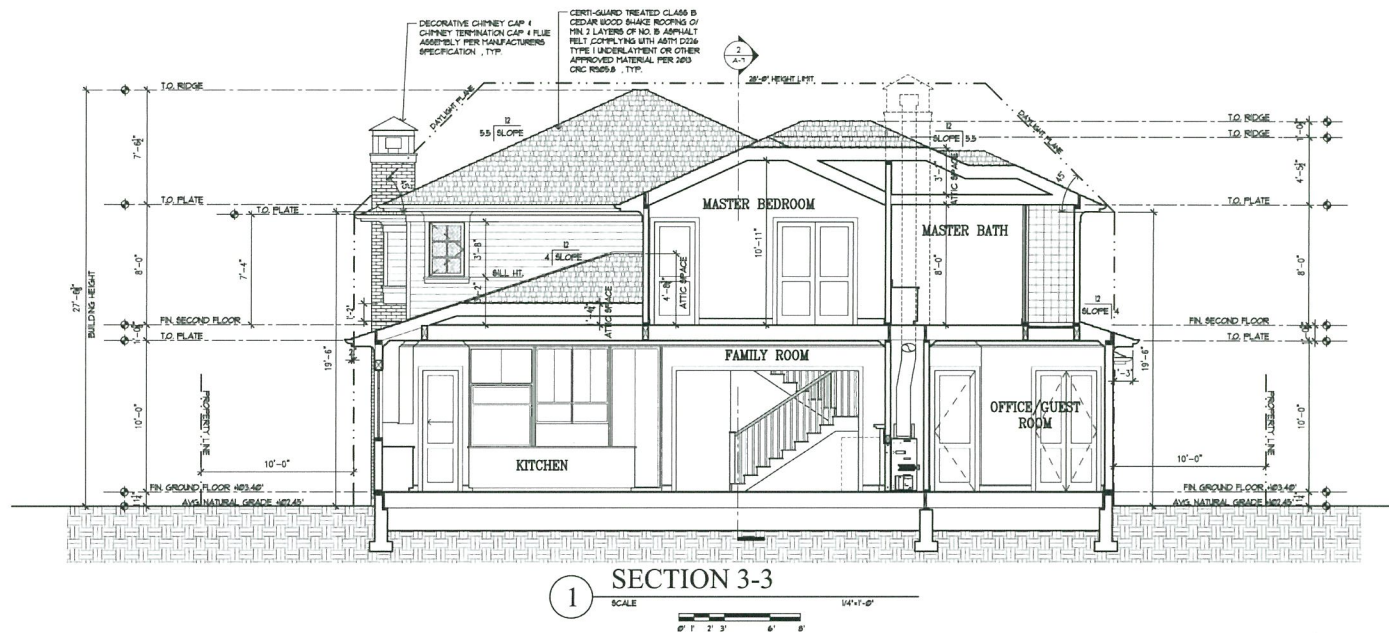
SCALE 1/4" = 1'-0"



SECTION 2-2

SCALE 1/4" = 1'-0"





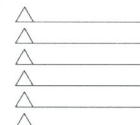
PROJECT TITLE & LOCATION

NEW RESIDENCE  
FOR

Sally &  
Barry Karlin

624 OLIVE STREET  
MENLO PARK, CA 94025

REVISION



J. MALIKSI & ASSOC.  
ARCHITECTURE + INTERIOR DESIGN

675 MENLO AVENUE  
MENLO PARK, CA 94025  
TEL. NO. 650 323 2902  
FAX NO. 650 323 6433



NO.	DATE	ISSUE
GTH	3-31-2016	RESP. TO PLANNING
GTH	3-10-2016	RESP. TO PLANNING

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DRAWING TITLE

(N) SECTION 3-3

SCALE: 1/4" = 1'-0"  
PROJECT NAME: KARLIN  
CADD FILE NO.  
DRAWING NO.

A-8

New Residence for Sally & Barry Karlin  
624 Olive Street  
Menlo Park, CA  
APN # 071-231-230

RECEIVED

FEB 01 2016

CITY OF MENLO PARK  
PLANNING

## PROPOSAL

The applicant is requesting use permit approval to construct a new single-family residence on a substandard lot with respect to required lot size, in regards to width, in the R1S zoning district. The existing lot has an existing single-family residence which is proposed to be demolished.

## ANALYSIS

### Site Location

The project site is located at 624 Olive Street, Menlo Park CA 94025

### Project Description

The applicant is proposing to build a new two story residence.

The new proposed residence will have a total floor area for the ground and second floor of 3,722.18 square feet.

The ground floor also includes front, side, and rear porches that total 678.80 square feet. This brings the Lot coverage to a total of 3,029.34 square feet, including other elements such as fireplace boxes, or 28.34% which is less than the maximum of 3,741.50 square feet or 35%.

The Second floor will also include a covered rear balcony of 91.14 square feet. The setbacks for the balcony are 30 feet 1 1/2 inches for the right side, 29 feet 7 inches for the left side and 63 feet 6 inches for the rear setback. This is greater than the required setbacks for a balcony which are 20 feet for side setbacks and 30 feet for the rear setbacks respectively.

The maximum proposed height of the residence will be 27.54 feet, below the maximum allowable height of 28 feet. The proposed structure is within the daylight plane requirements. The proposed residence will also comply with front, side and rear yard setback requirements.

### Design and Materials

The proposed residence is designed in a traditional/ transitional motif with painted wood lap siding, painted paneled elements at the ground floor and box-out windows on the second floor. The windows will be metal clad exterior with simulated true simulated divided lights, or "muntins with spacers placed between the insulated glass".

Other Architectural elements include painted paneled decorative posts at the front, side and rear porches.

There are other elements to embellish the front elevation such as 'brick veneer' at all chimneys and firebox elements.

The roof will be Class 'B' cedar wood shake roof with a slope of 5.5:12 and 3:12 respectively at the porches. The French doors will include true simulated divided light grids as described above.

The second story of the residence is set back from the front, as well as modulated in portions of the right, left, and rear of the footprint of the ground floor to create non-planer facades for interesting massing. Each chimney will have a 'brick' veneer and be proportional to the house.

### **Site Design**

The house has been located to best utilize the enjoyment of the site with respect to its substandard nature in regards to width.

It will be necessary to remove or relocate at the owner's discretion (1) existing 8.9" white birch tree, noted as a non-heritage tree, as well as (1) existing 5.8" white birch tree, also noted as a non-heritage tree, both trees are located within the proposed building footprint and located in the front yard of the proposed new residence.

There is shrubbery which is infill between the existing Modesto Ash trees which is to be removed to allow new stone walkway from main entrance to street.





## Mayne Tree Expert Company, Inc.

ESTABLISHED 1931

STATE CONTRACTOR'S LICENSE NO. 276793

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RICHARD L. HUNTINGTON  
PRESIDENT

JEROMEY INGALLS  
CONSULTANT/ESTIMATOR

535 BRAGATO ROAD, STE. A  
SAN CARLOS, CA 94070-6311

TELEPHONE: (650) 593-4400

FACSIMILE: (650) 593-4443

EMAIL: info@maynetree.com

March 9, 2016

RECEIVED  
MAR 10 2016  
CITY OF MENLO PARK  
BUILDING

Mr. Barry Karlin  
624 Olive St.  
Menlo Park, CA 94025

Dear Mr. Karlin,

This letter is in response to the City of Menlo Park's review of the Karlin Residence at 624 Olive Street, Menlo Park. The planner's comments are as follows:

*Please update the arborist report to address the following:*

- A) *Please explain the basis of the location of the tree protection enclosures shown on Sheet A-1.2 (N) Tree Protection Plan and why it does not cover the complete tree drip lines.*

In response to item "A" of the planner's comments: The location of the tree protection fencing has been placed in such a manner as to retain as much of the undisturbed root zones of the trees that are to remain as possible, while allowing adequate space for the construction project to continue safely. The fencing around trees #1-#4 follows the edge of the pavement along the street and driveway where it is not possible to install fencing out to the driplines of these trees and along the edge of the property and out to the dripline of the tree over the lawn. I believe the location of this fencing is the most appropriate for this group of trees.

The location of the fencing for the trees #7 and #8 follows the edges of both driveways and the street and out to the dripline of tree #8. The possibility of installing fencing into the driveways and into the street again is not a possibility; therefore, I have located the fencing as near as possible to the edge of the exposed root zone.

The fencing around tree #9, along the left side of the home, is located along the pavement/sidewalk on the left side of the home and extends out to the dripline of the tree and back to the property line fence. I believe the fencing in this location covers as much of the exposed root zone as possible.

The fencing along the rear of the property, which protects trees #10-#17, extends from the left property line to the right property line. The location of this fencing eliminates access to the rear of the property and provides the most amount of protection possible in this area. Trees #12 and #13 are not heritage trees and the fencing can be beyond these trees if needed. I believe all the fencing shown on the site plan is in locations that provide the most amount of protection while still allowing the construction project to continue safely.

- B) Please explain the specific mitigation measures that will be taken to protect each tree that may be affected by the proposed construction, specifically trees, #1, 2, 3, 4, 7, 8, 9, 12, and 13.*

All of these trees have been surrounded by Tree Protection Fencing and any excavation within their driplines shall be dug by hand. When additional situations arise, the Project Arborist shall be contacted immediately to inspect the trees. Item #7, in the following tree protection specifications, describes what should happen when roots are encountered during any excavation around the property during the construction project.

The following specifications shall be followed.

### **CITY OF MENLO PARK TREE PROTECTION SPECIFICATIONS**

1. A 6-inch layer of coarse mulch or woodchips is to be placed beneath the dripline of the protected trees. Mulch is to be kept 12 inches from the trunk.
2. A protective barrier of 6-foot chain link fencing shall be installed around the dripline of protected tree(s). The fencing can be moved within the dripline if authorized by the Project Arborist or the City Arborist, but not closer than 2 feet from the trunk of any tree. Fence posts shall be 1.5 inches in diameter and are to be driven 2 feet into the ground. The distance between posts shall not be more than 10 feet. This enclosed area is the Tree Protection Zone (TPZ).
3. Movable barriers of chain link fencing secured to cement blocks can be substituted for "fixed" fencing if the Project Arborist and City Arborist agree that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Project Arborist or City Arborist.
4. **Avoid the following conditions.**  
**DO NOT:**
  - a. Allow runoff or spillage of damaging materials into the area below any tree canopy.
  - b. Store materials, stockpile soil, or park or drive vehicles within the TPZ.
  - c. Cut, break, skin, or bruise roots, branches, or trunks without first obtaining authorization from the City Arborist.
  - d. Allow fires under and adjacent to trees.
  - e. Discharge exhaust into foliage.
  - f. Secure cable, chain, or rope to trees or shrubs.
  - g. Trench, dig, or otherwise excavate within the dripline or TPZ of the tree(s) without first obtaining authorization from the City Arborist.
  - h. Apply soil sterilants under pavement near existing trees.



5. Where the City Arborist or Project Arborist has determined that tree protection fencing will interfere with the safety of work crews, Tree Wrap may be used as an alternative form of tree protection. Wooden slats at least one inch thick are to be bound securely, edge to edge, around the trunk. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the outside of the wooden slats. Major scaffold limbs may require protection as determined by the City Arborist or Project Arborist. Straw waddle may also be used as a trunk wrap by coiling the waddle around the trunk up to a minimum height of six feet from grade. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the straw waddle.
6. Only excavation by hand or compressed air shall be allowed within the driplines of trees. Machine trenching shall not be allowed.
7. Avoid injury to tree roots. When a ditching machine, which is being used outside of the dripline of trees, encounters roots smaller than 2 inches, the wall of the trench adjacent to the trees shall be hand trimmed, making clear, clean cuts through the roots. All damaged, torn, and cut roots shall be given a clean cut to remove ragged edges, which promote decay. Trenches shall be filled within 24 hours, but, where this is not possible, the side of the trench adjacent to the trees shall be kept shaded with four layers of dampened, untreated burlap, wetted as frequently as necessary to keep the burlap wet. Roots 2 inches or larger, when encountered, shall be reported immediately to the Project Arborist, who will decide whether the Contractor may cut the root as mentioned above or shall excavate by hand or with compressed air under the root. The root is to be protected with dampened burlap.
8. Route pipes outside of the area that is 10 times the diameter of a protected tree to avoid conflict with roots.
9. Where it is not possible to reroute pipes or trenches, the contractor shall bore beneath the dripline of the tree. The boring shall take place not less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.
10. Trees that have been identified in the arborist's report as being in poor health and/or posing a health or safety risk may be removed or pruned by more than one-third, subject to approval of the required permit by the Planning Division. Pruning of existing limbs and roots shall only occur under the direction of a Certified Arborist.
11. Any damage due to construction activities shall be reported to the Project Arborist or City Arborist within six hours so that remedial action can be taken.
12. An ISA Certified Arborist or ASCA Registered Consulting Arborist shall be retained as the Project Arborist to monitor the tree protection specifications. The Project Arborist shall be responsible for the preservation of the designated trees. Should the builder fail to follow the tree protection specifications, it shall be the responsibility of the Project Arborist to report the matter to the City Arborist as an issue of non-compliance.
13. Violation of any of the above provisions may result in sanctions or other disciplinary action.

### MONTHLY INSPECTIONS

It is recommended that the site arborist provide periodic inspections during construction. Four-week intervals would be sufficient to assess and monitor the effectiveness of the Tree Protection Plan and to provide recommendations for any additional care or treatment.

City of Menlo Park – Community Development Department, Planning Division Tree Protection Specifications *Updated February 2011.*

I hope this has cleared up any confusion about the project. Please feel free to contact me at my office. I have attached a proposed construction plan that has the tree protection fencing locations drawn in on the property.

Sincerely,



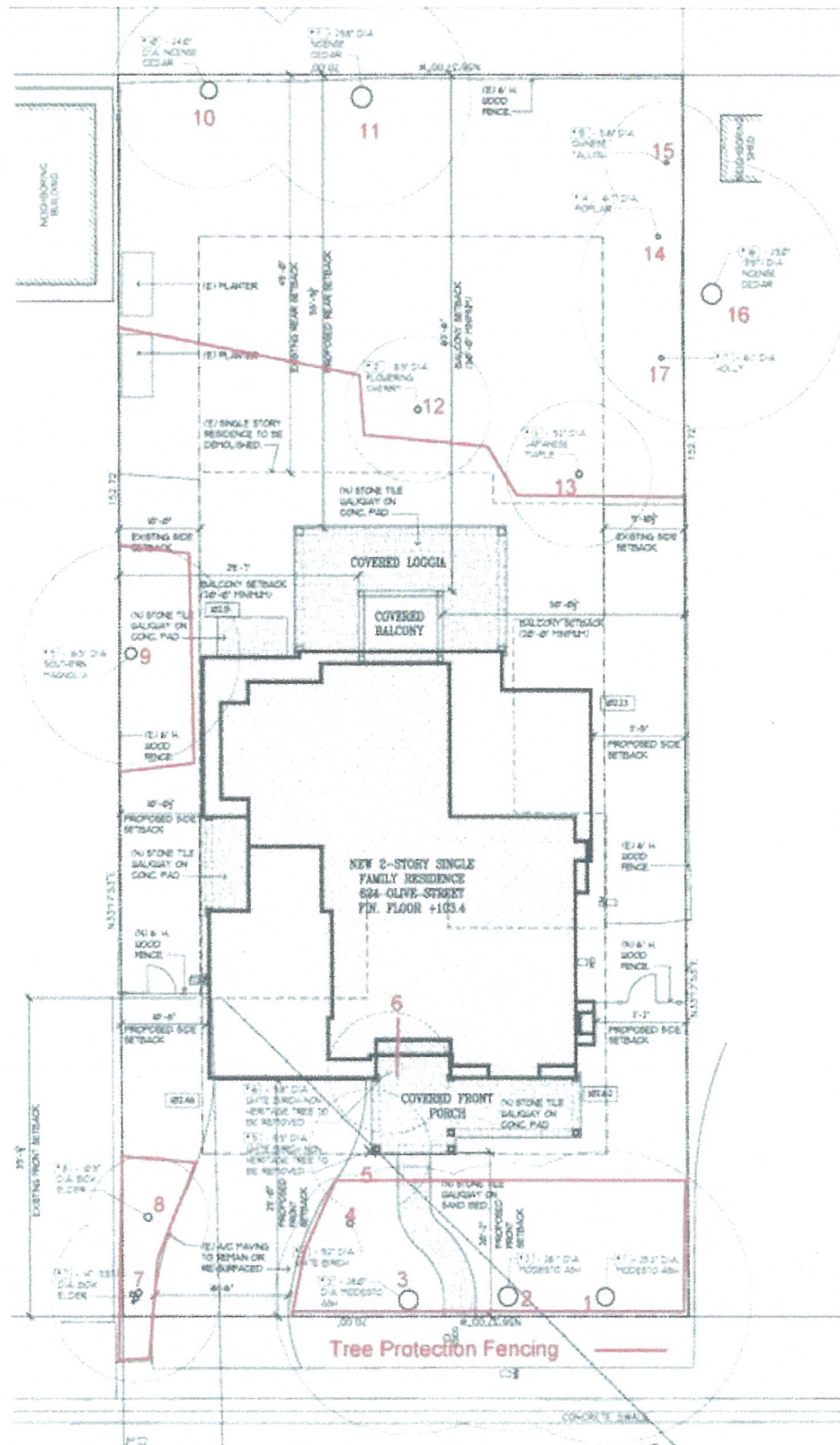
Jeromey A. Ingalls  
Certified Arborist WE #7076A

JAI:pmd





C) Please show the proposed tree protection on the site plan instead of the survey and ensure the tree protection fencing is legible.





March 10, 2016

**Re: Karlin application for residential building permit [PLN2016-00018]**

Dear Ms. Chao:

In the Application Confirmation Notice, Item 1 requests a letter describing our neighbor outreach.

We reached out to the six closest neighbors (including all of the adjacent neighbors), and subsequently met with five of them. In each case we reviewed with them the architectural plans [the same set submitted to you in our application].

Everyone was supportive of our project. Four of the neighbors thereafter sent us emails of support [see below], none of which had any issues. I have also included a pdf of the original emails sent by the neighbors. We did not receive any feedback from the fifth neighbor.

Thank you,

Barry and Sally Karlin



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MAR 10 2016

CITY OF MENLO PARK  
BUILDING

**Neighbor #1 [628 Olive Street]**

Dear Sally and Barry,

Thank you for stopping by to show us the plans for your new home. Your plans are fine with us and we look forward to having you as neighbors on Olive Street.

Sydney and Doug Marks  
628 Olive Street  
Menlo Park

**Neighbor #2 [625 Hobart St.]**

Barry

It was a pleasure meeting you and reviewing you plans for your new home on Olive. I fully support your design and am certain your new neighbors, including me, will so appreciate the home you are building.

Regards,  
Peter

Peter Nosler  
625 Hobart St.  
Menlo Park  
650 867-7248

**Neighbor #3 [765 Hobart Street]**

Greetings Sally and Barry. Thanks you so much for taking time to review the plans for your new home in Menlo Park. I appreciate the thought that has gone into the design and consideration for the neighborhood! So much construction is going on and I am personally worried about homes that are being built that don't have aesthetics in mind. Clearly you've thought about everything! I must applaud your efforts and fully support your plans! Best of luck

Caitlin Darke  
Broker Associate  
Alain Pinel Realtors  
650-543-1182 office  
650-388-8449 cell  
650-332-1565 fax

**Neighbor #4 [665 Hobart Street]**

Barry, thanks for meeting with me and showing me your plans. They look good to me. I have no objections and comments. We wish you the very best.

Jordan S. Stanzler  
665 Hobart Street  
Menlo Park.

## Barry Karlin

---

**From:** Peter Nosler <Peter@dpr.com>  
**Sent:** Monday, February 29, 2016 11:16 AM  
**To:** Barry Karlin  
**Subject:** FW: Karlin home on Olive Street

Barry

It was a pleasure meeting you and reviewing your plans for your new home on Olive. I fully support your design and am certain your new neighbors, including me, will so appreciate the home you are building.

Regards,

Peter

Peter Nosler  
625 Hobart St.  
Menlo Park  
650 867-7248

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MAR 10 2016

CITY OF MENLO PARK  
BUILDING

## Barry Karlin

---

**From:** Caitlin Darke <cdarke@apr.com>  
**Sent:** Saturday, March 05, 2016 5:58 PM  
**To:** Barry Karlin; Sally and Barry Karlin; Gloria Darke  
**Subject:** Olive street house

Greetings Sally and Barry. Thanks you so much for taking time to review the plans for your new home in Menlo Park. I appreciate the thought that has gone into the design and consideration for the neighborhood! So much construction is going on and I am personally worried about homes that are being built that don't have aesthetics in mind. Clearly you've thought about everything! I must applaud your efforts and fully support your plans! Best of luck

Caitlin Darke  
Broker Associate  
Alain Pinel Realtors  
650-543-1182 office  
650-388-8449 cell  
650-332-1565 fax

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MAR 10 2016

CITY OF MENLO PARK  
BUILDING

**Barry Karlin**

---

**From:** Jordan Stanzler <jstanzler@stanzlerlawgroup.com>  
**Sent:** Monday, March 07, 2016 4:56 PM  
**To:** Barry Karlin  
**Subject:** plans for your new home

Barry, thanks for meeting with me and showing me your plans. They look good to me. I have no objections and comments. We wish you the very best.

Jordan S. Stanzler  
665 Hobart Street  
Menlo Park.

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MAR 10 2016

CITY OF MENLO PARK  
BUILDING

RECEIVED

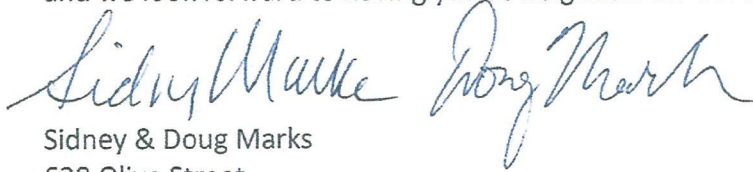
MAR 10 2016

CITY OF MENLO PARK  
BUILDING

March 9, 2016

Dear Barry & Sally,

Thank you for stopping by to show us the plans for your new home. Your plans are fine with us and we look forward to having you as neighbors on Olive Street.

Handwritten signatures of Sidney and Doug Marks in blue ink. The signature for Sidney is on the left and for Doug is on the right, both written in a cursive style.

Sidney & Doug Marks  
628 Olive Street  
Menlo Park



## Chao, Sunny Y

---

**From:** Jaime Maliksi <jim@maliksi.com>  
**Sent:** Friday, April 08, 2016 6:18 PM  
**To:** Chao, Sunny Y; Katherine Nelson  
**Cc:** Barry Karlin; sallykarlin@yahoo.com; Gary McClure  
**Subject:** RE: New Construction: 625 Olive House Plans

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** 624 Olive St

Hi Katherine,

I spoke to the Karlins about your concern and they've decided to have the Landscape Architect specify plantings along the back fence to ensure your privacy. I will let you know what species of evergreen hedges or trees will be appropriate.

Thanks and I hope this helps and please do not hesitate to let us know if you have any questions.

Jim Maliksi  
Architect  
J Maliksi and Associates  
675 Menlo Ave.  
Menlo Park, CA 94025

650-323-2902  
jim@maliksi.com  
www.maliksi.com

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-----Original Message-----

**From:** Chao, Sunny Y [mailto:SYChao@menlopark.org]  
**Sent:** Tuesday, April 05, 2016 3:25 PM  
**To:** Katherine Nelson <kathmnelson@gmail.com>  
**Cc:** Barry Karlin <Barry@bkarlin.com>; sallykarlin@yahoo.com; Jaime Maliksi <jim@maliksi.com>; Gary McClure <gary@maliksi.com>  
**Subject:** RE: New Construction: 625 Olive House Plans

Hi Katherine,

The second story master bedroom balcony is 9'-0" wide by 8'-3" deep and the second story master bath window is 6' wide with a sill height of 2'-4". The distance from the proposed house's covered loggia to the rear of your house is 109'-3". I have forwarded your comments to your neighbors at 624 Olive St. and their architects and cc'ed them here.

Regards,

Sunny Chao  
Assistant Planner  
City of Menlo Park

-----Original Message-----

From: Katherine Nelson [mailto:kathmnelson@gmail.com]  
Sent: Sunday, April 03, 2016 9:24 PM  
To: Chao, Sunny Y  
Subject: New Construction: 625 Olive House Plans

Dear Sunny Chao..

I was able to look at the house plans for 625 Olive St a few days ago. I have the following concerns:

1. I am concerned about my privacy as this new construction is the house directly behind my house. I have a single story.  
I am concerned about the second story master bedroom balcony and the second story master bath window. The window looks pretty large? but I am not sure. The balcony also looks large.
2. I have concerns about privacy and about lighting. These things will be in a patch a blue sky between the two rear trees, overlooking my patio.

Thank you,

Katherine Nelson

645 Hobart St  
650 324-1917

-----  
No virus found in this message.

Checked by AVG - [www.avg.com](http://www.avg.com)

Version: 2015.0.6189 / Virus Database: 4545/11967 - Release Date: 04/05/16



## Chao, Sunny Y

---

**From:** Maurice & Marianne Schlumberger <mlschlum@earthlink.net>  
**Sent:** Monday, April 11, 2016 10:19 AM  
**To:** 'Barry Karlin'  
**Cc:** sallykarlin@yahoo.com; Chao, Sunny Y; sidnmarks@yahoo.com; doug.marks@colliers.com; 'Nancy Cox'; Lee Crowley  
**Subject:** RE: proposed house on 624 Olive

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Mr. and Mrs. Karlin,

Thank you for your answer and proposed changes, of

- Reducing the forward positioning of the house to 17 feet from existing alignment.
- Reducing the height of the decorative chimneys by 1.5' and 3'

These are far from addressing our main concerns about your proposed house:

- It obstructs the existing alignment of the neighboring houses,
- This is compounded by the proposed house being significantly higher than the neighboring houses

We are more than willing to go over these issues, and the other associated ones with you, and identify what would be the better ways to solve them.

Sincerely

Marianne and Maurice Schlumberger

---

**From:** Barry Karlin [mailto:Barry@bkarlin.com]  
**Sent:** Friday, April 01, 2016 1:58 PM  
**To:** Maurice & Marianne Schlumberger  
**Cc:** sallykarlin@yahoo.com  
**Subject:** proposed house on 624 Olive

Dear Mr. and Mrs. Schlumberger:

We have met with our architect in consideration of your suggestions.

Modifications are always tricky given the need to balance the various factors in play here: Maintaining the aesthetic beauty and integrity of the design; meeting the personal needs and design preferences of ourselves; and of course being responsive to our neighbors [we received written feedback from five neighbors including yourselves – the other four all fully supported the existing design (their letters have been passed on to the city planner)]. The house is very similar to dozens of the newer houses all over West Menlo Park [including several houses within a short walk of 624 Olive Street]. Various houses in close proximity were used as a model for this design. To comment on a couple of the specifics:

Regarding the garage, we have two cars and no children at home, so two parking spaces on the driveway is more than enough for our needs (this is also the standard in Menlo Park). A larger backyard is especially important to us since we love sitting outside and enjoying the garden.

We are willing in the spirit of compromise to make several adjustments.

We have moved the house back three feet [resulting in a setback of 23' 2" ]. In addition we have reduced the height of the chimney nearest your house by 3' and the other chimney by 1' 6" to maintain design integrity.

We are appreciative of your suggestions,

Barry and Sally Karlin

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**From:** Maurice & Marianne Schlumberger [<mailto:mlschlum@earthlink.net>]

**Sent:** Thursday, March 24, 2016 9:44 AM

**To:** Chao, Sunny Y

**Cc:** [sidnmarks@yahoo.com](mailto:sidnmarks@yahoo.com); [doug.marks@colliers.com](mailto:doug.marks@colliers.com); Lee Crowley; 'Nancy Cox'

**Subject:** proposed house on 624 Olive

Menlo Park, March 24<sup>th</sup> 2016

Dear Ms. Chao,

Thanks for having given us the opportunity to comment on the proposed building of a new home for Mr. and Mrs Karlin, at 624 Olive Street. We met with the Karlins, and visited the City Hall in order to try to have a good understanding of the project situated just to the North-West of our house.

We think that the current proposal does not fit in the neighborhood, and does not fit the desire for a smaller, long-term home expressed by the Karlins. Our comments here are limited to the main aspects we discovered while talking to the Karlins and visiting the City Hall, as accessing the proposal online turned out to be very challenging.

- The proposed building sticks out in front of the other houses in its neighborhood. It is not even approximatively aligned with them.

It is positioned twenty feet forward (toward the street) from the current building and current alignment, and sticks out by twenty feet. The proposed house should be moved back at least fifteen feet, if not twenty feet, to stay roughly aligned with the others on this side of the street.

- The position of the proposed building does not offer enough on-site parking space

There is a two-car garage, and at very best space for two more cars in the driveway. The house has four main bedrooms, plus an office –with an attached bathroom- which can be converted into an extra bedroom with minimum effort. In our experience there should be at least six off-street parking spots: two for the master bedroom, and one per guest bedroom.

- The proposed building is significantly taller than houses on both sides. It is about 50% taller than our house (on 620 Olive), 20% taller than the next two houses on the other side (628 and 630 Olive), and some 110% taller than the house on 600 Olive.

In order to fit better in the neighborhood, its total height should be reduced by at least 15% to 24 feet or less.

- The chimney to the South-East is purely decorative, and ostentatious, as it sticks out on the side of the house.

It should be either eliminated (a gas insert doesn't need a chimney), or at least placed inside the roof line.

We would be happy to discuss these points further if and when the need arises. There might be more comments and suggestions when we gain proper access to the plans.

Sincerely

Maurice & Marianne Schlumberger (620 Olive street)



## STAFF REPORT

### Planning Commission

**Meeting Date:**

**5/9/2016**

**Staff Report Number:**

**16-036-PC**

**Regular Business:**

**Selection of the Planning Commission Chair and Vice Chair for May 2016 through April 2017**

### Recommendation

Staff recommends that the Planning Commission select a Chair and Vice Chair for the term of May 2016 through April 2017.

### Policy Issues

City Council Policy CC-01-0004 "Commissions/Committees Policies and Procedures and Roles and Responsibilities" states that each Commission shall annually rotate its Chair and Vice Chair. The policy does not provide any particular guidance for these selections, although staff would note that the Planning Commission has tended to appoint Commissioners that have served the longest without being Chair or Vice Chair. However, this is not a strict requirement.

### Background

The Planning Commission last selected a Chair and Vice Chair on May 18, 2015, with Commissioners Onken and Strehl being appointed to those roles, respectively.

### Analysis

The Commission should seek nominations for the position of Chair and Vice Chair in two separate motions. Each position needs to receive a majority of votes of a quorum present and voting. The Chair and Vice Chair selected would serve through April 2017, or possibly through part of May, depending on when the City Council makes appointments for any expiring Commission seats.

The Chair and Vice Chair should both have a basic familiarity with typical meeting rules of order, although staff would note that this does not require any specialized training; most Commissioners have likely absorbed these procedures through their membership on the Commission, and staff will always provide support.

For reference, Table 1 on the following page summarizes the service to date of each Commissioner, listed in order of term expiration, then by last name for terms expiring at the same time:

Table 1: Planning Commission Appointment/Chair History				
Commissioner	Date Appointed	Previously Served as Chair	Term Expiration	Eligible for Reappointment when Current Term Expires
Strehl	April 2013	No	April 2017	Yes
Combs	April 2014	No	April 2018	Yes
Kahle	May 2015	No	April 2018	Yes
Goodhue	May 2015	No	April 2019	Yes
Onken	October 2012; Reappointed May 2015	Yes - May 2015 to April 2016	April 2019	No
Barnes	May 2016	No	April 2020	Yes
Riggs	May 2016 (separately served 2005-2014)	Yes – September to December 2008 and 2009	April 2020	Yes

### Impact on City Resources

Selection of a Chair and Vice Chair does not have any impact on City resources.

### Environmental Review

Selection of a Chair and Vice Chair is not considered a project under the California Environmental Quality Act (CEQA), and thus does not require any environmental review.

### Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

### Attachments

None

Report prepared by:  
Thomas Rogers, Principal Planner

Report reviewed by:  
Arlinda Heineck, Community Development Director