



## REGULAR MEETING AGENDA

**Date:** 7/11/2016  
**Time:** 6:00 p.m. *Please note early start time*  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

**A. Call To Order**

**B. Roll Call**

**C. Reports and Announcements**

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

**D. Public Comment**

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

**E. Consent Calendar**

- E1. Approval of minutes from the June 6, 2016 Planning Commission meeting. ([Attachment](#))

**F. Public Hearing**

- F1. General Plan Amendment, Zoning Ordinance Amendment, Rezoning, Environmental Review/City of Menlo Park: Public hearing to receive public comments on the Draft EIR for the General Plan Land Use and Circulation Elements and M-2 Area Zoning Update. The Draft EIR prepared for the project identifies less than significant effects in the following categories: Aesthetics, Geology, Soils and Seismicity, Hydrology and Water Quality, and Public Services and Recreation. The Draft EIR identifies potentially significant environmental effects that can be mitigated to a less than significant level in the following categories: Biological Resources, Cultural Resources, Hazards and Hazardous Materials, Land Use Planning, Noise, and Utilities and Service Systems. The Draft EIR identifies potentially significant environmental effects that are significant and unavoidable in the following categories: Air Quality, Greenhouse Gas Emissions, Population and Housing, and Transportation and Circulation. The California Environmental Quality Act (CEQA) requires this notice to disclose whether any listed hazardous material sites are present at the location. The project area does contain a hazardous waste site included in a list prepared under Section 65962.5

of the Government Code. Written comments may also be submitted to the Community Development Department (701 Laurel Street, Menlo Park) no later than 5:00 p.m., Friday, July 15, 2016. ([Staff Report #16-050-PC](#)) ***Continued from the meeting of June 20, 2016. Please note that the 6:00 p.m. Planning Commission meeting will be preceded by a 5:00 p.m. "Town Hall" on the ConnectMenlo topic, also to be held in the City Council Chambers.***

- F2. Use Permit/Gregory Pickett/320 Grayson Court:  
Request for a use permit to remodel and add onto an existing nonconforming single-story, single-family residence in the R-1-U (Single-Family Urban) zoning district. The proposed work would exceed 75 percent of the existing replacement value in a 12-month period. The project includes a request to remove a heritage Blackwood Acacia tree in the rear yard. ([Staff Report #16-051-PC](#))
- F3. Use Permit and Variance/Lawrence Kahle/590 Fremont Street:  
Request for a use permit to build a new single-family home on a substandard lot with regard to lot width, depth, and area in the R-3 (Apartment) zoning district. The use permit request includes a proposal to allow excavation within the left side yard setback to install a retaining wall and driveway to provide access to a below-grade garage. The proposal includes a request for a variance for the new residence to encroach into the required 20-foot separation between main buildings located on adjacent lots. ([Staff Report #16-052-PC](#))
- F4. Use Permit/Lorin Hill/805 Magnolia Street:  
Request for a use permit to remodel and add to an existing nonconforming two-story, single-family residence in the R-1-S (Single-Family Suburban) zoning district. The proposed work would exceed 50 percent of the existing replacement value in a 12-month period. There is an active building permit regarding the remodeling of and additions to the first floor and the modification of the roof to conform to daylight plane regulations. At this time, the applicant is requesting that the building be allowed to remain nonconforming, which requires Planning Commission review of the overall proposal. ([Staff Report #16-053-PC](#))
- F5. Use Permit/Charles Holman/361 Marmona Drive:  
Request for a use permit for an addition to an existing, nonconforming one-story, single-family residence on a lot in the R-1-U (Single-Family Urban) zoning district. The value of the work would exceed 75 percent of existing replacement value in a 12-month period. ([Staff Report #16-054-PC](#))
- F6. Minor Subdivision/Peter Carlino for David Ferrari/668-672 Partridge Avenue:  
Request for a tentative parcel map to convert two existing residential dwelling units into two condominium units on one parcel in the R-2 (Low Density Apartment) zoning district. No additional floor area is proposed as part of this project. ([Staff Report #16-055-PC](#))
- F7. Use Permit/Facebook, Inc./200 Jefferson Drive:  
Request for a use permit for a temporary mobile kitchen for only food preparation that would be located within the parking lot adjacent to the existing building at 200 Jefferson Drive, located in the M-2(X) (General Industrial, Conditional Development) zoning district. The proposed temporary kitchen would be on-site for a maximum of one year from installation. The proposed mobile kitchen would temporarily displace eight parking spaces. ([Staff Report #16-056-PC](#))

**F8. Use Permit/Ellen Ackerman/1525 O'Brien Drive:**

Request for a use permit for the storage and use of hazardous materials associated with the research and development of biotechnology for the detection of cancer, located in an existing building in the M-2 (General Industrial) zoning district. Additionally, some hazardous waste would be stored outside the facility in an existing steel chemical storage unit that was also used by the previous tenant. ([Staff Report #16-057-PC](#))

**G. Informational Items**

**G1. Future Planning Commission Meeting Schedule –** The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.

- Regular Meeting: July 25, 2016
- Regular Meeting: August 15, 2016
- Special Meeting: August 22, 2016
- Regular Meeting: August 29, 2016

**H. Adjournment**

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at [www.menlopark.org](http://www.menlopark.org) and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at [menlopark.org/notifyme](http://menlopark.org/notifyme). Agendas and staff reports may also be obtained by contacting the Planning Division at (650) 330-6702. (Posted: 7/6/16)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



## REGULAR MEETING MINUTES - DRAFT

**Date:** 6/6/2016

**Time:** 7:00 p.m.

**City Council Chambers**

**701 Laurel St., Menlo Park, CA 94025**

### **A. Call To Order**

Chair Katherine Strehl called the meeting to order at 7:00 p.m.

### **B. Roll Call**

Present: Andrew Combs (Vice Chair), Susan Goodhue, Larry Kahle, John Onken, Henry Riggs, Katherine Strehl (Chair)

Absent: Andrew Barnes

Staff: Thomas Rogers, Principal Planner; Kaitlin Meador, Associate Planner; Michele Morris, Assistant Planner; Sunny Chao, Assistant Planner; Tom Smith, Associate Planner; Kyle Perata, Senior Planner

### **C. Reports and Announcements**

Principal Planner Rogers reported that the City Council at its May 24 meeting considered a staff-recommended one-year extension of the ordinance allowing individuals to convert accessory buildings to secondary dwelling units. He said the Council was interested in a multi-year extension; the revised recommendation will come back to the Council for consideration. He said at its June 7 meeting the Council would conduct a study session on downtown parking and a public hearing on the City's budget.

Commissioner Riggs asked about neighbor approval of reduced setbacks for secondary dwelling units and how that would be addressed under a multi-year plan. Principal Planner Rogers said as codified, owners of accessory buildings who were able to document those buildings had been constructed legally were permitted to convert to secondary dwelling units even if they did not meet current secondary dwelling unit setbacks. He said this was done through an administrative permit that provided notification to neighbors. He said also that with new secondary dwelling units there is a process for neighbor approval to reduce the setbacks.

### **D. Public Comment**

There was none.

### **E. Consent Calendar**

Commissioner Riggs asked to pull item E2 from the consent calendar.

- E1. Approval of minutes from the May 9, 2016 Planning Commission meeting. ([Attachment](#))

**ACTION:** Motion and second (Onken/Goodhue) to approve the minutes as submitted; passes 6-0 with Commissioner Barnes absent.

- E2. Architectural Control/City of Menlo Park/701 Laurel Street:  
Request for architectural control to remove an existing 60-foot tall lattice tower antenna and replace it with a 120-foot tall monopole antenna for Police and Public Works transmissions located adjacent to the Police Department building in the PF (Public Facilities) zoning district. ([Staff Report #16-041-PC](#))

Commissioner Riggs said the recommended tower was a dark brown. He said a 60-foot pole would be replaced by a 120-foot tall pole that would be taller than many of the trees in its vicinity. He said the Commission had previously requested a gray color for such tall poles as that tended to blend better with the sky. He asked that an option to consider a gray color be part of the approval.

Assistant Public Works Director Ruben Nino confirmed with Commissioner Riggs that he would like consideration of a battleship gray for the monopole antenna.

Commissioner Riggs moved to approve with a condition to allow consideration of painting the pole battleship gray. Commissioner Combs said he would second the motion but asked about the choice of the color brown for the pole. Mr. Nino said staff had done a perspective of the brown pole and thought it blended better with existing trees. He said they could also do a perspective to see what the gray would look like, and evaluate which they thought blended best.

Commissioner Kahle said he too thought the brown might stand out more in contrast as the pole was so tall. He asked why the mono-pine was not chosen. Mr. Nino said the mono-pine would create 10 to 12 foot gaps impacting reception.

**ACTION:** Motion and second (Riggs/Combs) to approve the item with the following modification; passes 6-0 with Commissioner Barnes absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:
  - a. The general appearance of the structure is in keeping with the character of the neighborhood.
  - b. The development will not be detrimental to the harmonious and orderly growth of the City.
  - c. The development will not impair the desirability of investment or occupation in the neighborhood.

- d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking.
  - e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.
3. Approve the use permit and architectural control subject to the following **standard** conditions:
- a. Development of the project shall be substantially in conformance with the plans prepared by City of Menlo Park Engineering Division consisting of eleven plan sheets, dated received May 16, 2016, and approved by the Planning Commission on June 6, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.
4. **Approve the project subject to the following project-specific condition:**
- a. ***Simultaneous with the submittal of a complete building permit application, the applicant may submit revised plans including an alternative color (specifically, a battleship grey or similar hue) for the monopole antenna structure, which shall have the objective of minimizing the visual impact of the antenna. The plans, if revised, shall be subject to the review and approval of the Planning Division.***

## **F. Public Hearing**

- F1. Use Permit/Chris Anderson/269 Santa Margarita Avenue:  
Request for a use permit to remodel and add a second floor to an existing nonconforming single-story, single-family residence on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district. The proposed work would exceed 50 percent of the existing replacement value in a 12-month period and requires approval of a use permit by the Planning Commission. The expansion would also exceed 50 percent of the existing floor area, and is considered equivalent to a new structure. ([Staff Report #16-042-PC](#))

Staff Comment: Assistant Planner Morris said staff had no additions to the staff report.

Applicant Comment: Mr. Christopher Anderson, project designer, Livermore, said the existing 1,100 square foot one-story home would be demolished except for some walls that would be extended upwards. He said they were increasing wall heights from eight to nine feet.

Commissioner Kahle asked if the setback was five-foot or five feet-six-and five-sixteenth. Mr. Anderson said the house currently was at a five-foot setback. He said one wall would be moved back five-feet-six-inches. Commissioner Kahle said it looked like it was a continuation of the garage wall and asked if that meant the garage was getting smaller. Mr. Anderson said the entire wall was moving. Commissioner Kahle asked why the sill height on the right side window was so low. Mr. Anderson said that was for an egress window. Commissioner Kahle said the sill could be two feet higher and still be egress. Mr. Anderson said they were trying to keep window style the same with the rest of the house. He said that a double hung window was not possible on that side elevation with a higher sill. Commissioner Kahle noted the gutter returns into the gable ends and asked if there was a closed soffit. Mr. Anderson confirmed it was. Replying to Commissioner Kahle's query about how strongly he felt about using closed soffits, Mr. Anderson said he thought it added to the architecture.

Commissioner Onken said the stone veneer on the front wrapped around the side and stopped. He asked if there would be plantings in front or whether the stone would continue to grade. Mr. Alexander said there would be plantings in front. Commissioner Onken referred to the second-story bedroom window on the north side that had been mentioned and asked for information on the facing side of the adjacent neighbor's home. Mr. Alexander said they spoke with the neighbors on both sides and they did not have any issues with the proposal.

Chair Strehl opened the public hearing, and closed it as there were no speakers.

Commission Comment: Commissioner Riggs said the masonry would appear to be hanging in air as it would not meet grade and landscaping due to the drought might be sparse. He said he had used a thickened foundation below stone to create a sense of anchoring. He said he was not as concerned about the returns in the eaves being in the front only. He said he thought they should reconsider the low sill on the second-story north side.

Commissioner Kahle said he agreed with the comments on the stone noting he assumed there would be a fence to capture the edge of the wraparound stone. He said anything to eliminate the appearance of the stone hanging in air would be appreciated. He said it was a nice design and that with eight and nine feet ceilings it was not very tall, although it did have a steep roof pitch. He said if the style was Craftsman, he would prefer to not see closed soffits on the fascia returns. He said his only other concern was the height of the garage door and suggested that it would be nicer if not so large.

Commissioner Onken said when a proposal has side facing windows applicants were usually asked to use a more modest sill height. He suggested a casement window similar to some of the smaller windows on the other side might be used rather than a double hung window. He said to approve he would like the sill height higher on the north side second-story as a condition.

Commissioner Combs said he visited the site and noted the area was busy with building activity. He said he thought this design would fit nicely with the neighborhood. He said it was approvable without any conditions although he was not opposed to conditions requested by other

Commissioners regarding raising the sill height and some type of treatment for the stone.

Commissioner Kahle said he would second Commissioner Onken's motion noting that the double hung window would not work with a higher sill and it would have to be a different type window such as casement.

Chair Strehl confirmed with Commissioner Onken that he had not made a motion. She asked if the applicant would like to speak to the Commission's concerns. Mr. Anderson said the stone was El Dorado so it was applied to stucco. He said they could bring it down lower although he did not think it would be visible with landscaping. He said they discussed the window with the neighbors. He said changing the style to casement would require a thickened mullion to match the other divided light windows. He said the property owners thought they would be able to get a letter from the neighbors substantiating that they did not have a concern. He noted that it needed to be an egress window.

Commissioner Onken said the guest bath had a pair of slider windows on the ground floor, which did not match the double hung window style. He said future residents of the neighboring home would use the bedroom facing the second-story window. He said he would like a three-foot-four-inch window sill height and possibly reduced window size. Mr. Anderson asked if the change were to be made whether the project would need to come back to the Commission. Commissioner Onken noted it could be done administratively through staff review and approval. Mr. Anderson said they could do a double casement window.

Commissioner Onken moved to approve the project with the condition that the second-story windows facing north should be redesigned with a minimum three-foot sill height to be reviewed and approved by staff. Commissioner Riggs said he would second the motion if it could include bringing the El Dorado stone down to grade. Commissioner Onken said he would accept the condition.

**ACTION:** Motion and second (Onken/Riggs) to approve the item with the following modification; passes 6-0 with Commissioner Barnes absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Christopher J. Anderson, Design Discoveries Residential Building Design consisting of twelve plan sheets, dated received April 26, 2016, and approved by the Planning Commission on June 6, 2016 except as modified by the conditions contained herein, subject to review and approval by the Planning Division.

- b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
- c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
- d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

**4. Approve the project subject to the following project-specific condition:**

- a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans addressing the following, subject to the review and approval of the Planning Division:**
  - 1) Raise the sill height for the second floor bedroom window on the Right Side (North) Elevation to a minimum of three feet high; and**
  - 2) Add stone veneer to cover the gap between the grade and the bottom edge of stone veneer on the front and side elevations.**

- F2. Use Permit/Muhamed Causevic/1034 Oakland Avenue:  
Request for a use permit to partially demolish, remodel, and add a second story addition to an existing nonconforming single-story, single-family residence on a substandard lot with regard to lot area and lot width in the R-1-U (Single-Family Urban) zoning district. The proposed expansion and remodeling would exceed 50 percent of the existing replacement value in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure. ([Staff Report #16-043-PC](#))

Staff Comment: Assistant Planner Morris had no additions to the staff report.

Applicant Presentation: Ms. Elaine Lee, project architect, said the proposal was to add a second floor to the existing one-story home. She said most of the existing footprint of the first floor would be kept with the intention of expanding it some so the second story would not dominate the first story.

Commissioner Kahle asked about the length of bedroom 2 on the second story and if they had thought about not bringing it forward so much as that would have a lower roof over the dining room. Ms. Lee said the referenced roof was over the great room, which had a vaulted ceiling. She said the goal had been to unify the structure and massing.

Chair Strehl opened the public hearing, and closed it as there were no speakers.

Commission Comment: Commissioner Onken said there some awkward internal spaces but other than that the project was completely acceptable. He said he appreciated the continuing single-garage on the front and although the element was tall on the front, he thought it was scaled properly.

Commissioner Riggs said he found this to be a modern farmhouse style. He said he liked the massing and relative simplicity of the design. He asked if the belly band had been added voluntarily as an integral part of the design or if it had been suggested by staff.

Ms. Lee said it was an integral part of the design and had not been suggested by staff. She said it was a two-story element to break up the massing and also create transition for the board break.

Commissioner Kahle confirmed with Ms. Lee that the clad noted on the front porch was wood. He said he liked the design. He said he thought the second-story bedroom was going to stick out too far and he would prefer if it was pushed back and reduced in size. He moved to approve as recommended in the staff report. Commissioner Onken seconded the motion.

Commissioner Combs said he liked the belly band and also the shape of the bedroom in question.

**ACTION:** Motion and second (Kahle/Onken) to approve the item as recommended in the staff report; passes 6-0 with Commissioner Barnes absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Elaine Lee Design, consisting of six plan sheets, dated received May 26, 2016, and approved by the Planning Commission on June 6, 2016 except as modified by the conditions contained herein, subject to review and approval by the Planning Division.

- b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
- c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
- d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance

F3. Use Permit/Steven MacKay and Anna Muelling/822 College Avenue:  
Request for a use permit revision for a second floor addition to an existing two-story residence on a substandard lot with regard to lot width in the R-1-U (Single Family Urban) zoning district. ([Staff Report #16-044-PC](#))

Staff Comment: Assistant Planner Chao noted an error in the project description on page 1 of the staff report and that it should say "existing 2,596 square foot residence" per the data table in Attachment C.

Applicant Comment: Ms. Tali Hardonaq, project architect, said the project was quite small and would expand into an existing three-foot attic space in a gable and toward the back an additional three feet to create slightly larger bathrooms and more closet space in the master suite. She said she was continuing existing materials.

Commissioner Kahle noted that he and the project architect were friends and colleagues from an architecture group. He asked if the only thing seen from the street was the two-foot-10-inch addition to the side. Ms. Hardonaq said that already existed. She said they were expanding into the gable by raising the peak by about nine inches. Commissioner Kahle confirmed the sun tube at the entry and asked if they could do a skylight. Ms. Hardonaq said a skylight would not work as it would be under the gable. She said she was trying to redirect the sun tube from the porch to the entry.

Chair Strehl opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Onken said he knew the project architect. He said it was a straight forward application and had no planning harm that he could see. He moved to approve as recommended in the staff report. Commissioner Riggs seconded the motion noting that he thought the project would approve the appearance of the rear of the structure.

**ACTION:** Motion and second (Onken/Riggs) to approve the item as recommended in the staff report; passes 6-0 with Commissioner Barnes absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
1. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
2. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Tali Hardonag Architect consisting of six plan sheets, dated received May 20, 2016, and approved by the Planning Commission on June 6, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
  - f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

F4. Use Permit/Jessica Sin/117 O'Keefe Street:

Request for a use permit to construct an addition to and remodel an existing single-story, nonconforming structure in the R-1-U (Single-Family Urban Residential) zoning district. The value of the work would exceed 75 percent of the replacement value of the existing structure. ([Staff Report #16-045-PC](#))

Staff Comment: Assistant Planner Chao said she had no additions to the staff report.

Applicant Presentation: Ms. Jessica Sin, project architect, said the project was to add 830 square feet to an existing one-story home.

Commissioner Kahle asked about the window on the side over the garage. Ms. Sin said that was an extra window and the area was open with no loft.

Chair Strehl opened the public hearing and closed it as there were no speakers.

Commission Comment: Chair Strehl said she thought this was a nice project and she could support it. Commissioner Onken said he agreed and thought the site had more than enough capacity for this addition. He moved to approve as recommended in the staff report. Chair Strehl seconded the motion.

**ACTION:** Motion and second (Onken/Strehl) to approve the item as recommended in the staff report; passes 6-0 with Commissioner Barnes absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by JSD Architecture and Interiors consisting of eight plan sheets, dated received May 19, 2016, and approved by the Planning Commission on June 6, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building

Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.

- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance

- F5. Use Permit and Architectural Control/DES Architects + Engineers/1530 O'Brien Drive: Request for a use permit to expand second-story office space within an existing research and development (R&D) and office building in the M-2 (General Industrial) zoning district. In addition, a request for architectural control for the addition of a door and window glazing on the eastern facade of the building. ([Staff Report #16-046-PC](#))

Staff Comment: Associate Planner Smith said he had no additions to the written staff report.

Questions of Staff: Commissioner Kahle asked about the calculation of the BMR fee. Associate Planner Smith said this was an expansion of office use or Group A space which was the \$15.57 per square foot BMR rate. Commissioner Kahle said space was lost under Group B and asked why there was not a reduction of the fee. Associate Planner Smith referred to F2 that showed the calculation. He said it was an increase of 1,150 square feet of office in the Group A category. He said after the credit was applied for existing square footage versus what was proposed, the total fee was \$17,905.50.

Applicant Presentation: Mr. John Tarlton, Tarlton Properties, said an application like this one took a lot of staff work, and suggested in the future that the Commission might consider having such applications done administratively. He said in this instance 1,100 square feet was being added to existing 1,000,000 square feet and the project had been approved originally to be larger than it was today. He said they were seeking to expand the second floor of Tarlton Properties to support the expansion of the Life Science properties his firm has in the area. He noted Commissioner Kahle's question and that as this was a net increase of square footage or general floor area in the building the BMR rate was applied to each square foot. He said he was fine with that.

Chair Strehl asked staff to place on a future agenda discussion on making such a project as this subject to administrative permitting.

Chair Strehl opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Riggs moved to approve as recommended in the staff report. He said he would support a system for staff to handle such a project administratively with

Commission communication.

Commissioner Kahle said there was a suggestion in the staff report to consider limiting the number of employees on the site as it was under parked. He said he could support that as long as it was not setting a precedent for future projects that added floor area on sites that were under parked.

Commissioner Riggs said he would support Commissioner Kahle's suggestion if the number had capacity to increase if occupied up to the available space.

Mr. Tarlton said he could live with a number and it would be preferable if the number had some room within it to allow for an increase. He said he would need to calculate the number.

Commissioner Kahle said he supported Commissioner Riggs' suggestion regarding the number.

Commissioner Combs asked how the number of employees would be enforced. Associate Planner Smith said staff would rely on written claims or concerns from employees utilizing the site about g traffic.

Commissioner Onken noted the site would need less parking if new zoning was approved in the M2 area. He said this building would be zoned Life Sciences and that would be at a parking rate of 2.5 per 1,000 square feet as opposed to current parking rate of 3 per 1,000 square feet. Commissioner Strehl said that existing parking was not fully utilized, and she thought Commissioner Onken's comments on parking were apropos.

Commissioner Riggs asked if the parking ratio could be adopted with flexibility for change should the parking requirement be reduced later.

Principal Planner Rogers said if the parking ratio was established by new zoning that would be the parking ratio regardless of the use permit. He said if there was an employee limit that would likely remain unless it was worded to say that the employee limit would no longer apply if the parking was conforming.

Commissioner Goodhue said she did not think an employee limit was needed for this application. She said it was in the best interest of the tenant and the tenant's employees to adhere to a Traffic Demand Management (TDM) plan whether official or unofficial.

Commissioner Riggs confirmed with staff that the applicant would not be stuck with the current parking requirement should that decrease in the future. He moved to approve as recommended in the staff report. Commissioner Onken seconded the motion.

**ACTION:** Motion and second (Riggs/Onken) to approve the item as recommended in the staff report; passes 6-0 with Commissioner Barnes absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed

use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.

3. Approve the Below Market Rate Housing In Lieu Fee Agreement.
4. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:
  - a. The general appearance of the structure is in keeping with the character of the neighborhood.
  - b. The development will not be detrimental to the harmonious and orderly growth of the City.
  - c. The development will not impair the desirability of investment or occupation in the neighborhood.
  - d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking.
  - e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.
5. Approve the use permit and architectural control subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by DES Architects + Engineers consisting of eighteen plan sheets, dated received June 1, 2016, as well as the Project Description Letter, dated received February 25, 2016, and the Request for Parking Reduction Letter, dated May 25, 2016, approved by the Planning Commission on June 6, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.

- F6. Use Permit/Facebook, Inc./923-925 Hamilton Avenue: Request for a use permit for the conversion of an existing research and development building into medical and dental offices associated with nearby multi-building office use. The site is nonconforming with regard to parking and the conversion would also include general office and employee amenity spaces within the building. The existing building is located in the M-2 (General Industrial) zoning district. ([Staff Report #16-047-PC](#))

Commissioner Combs recused himself due to his employment with Facebook and left the meeting.

Staff Comment: Senior Planner Perata said staff had no additions to the written report.

Applicant Presentation: Mr. Steve Tsuruoka, project manager with Facebook, said they wanted to relocate their Health Center to this site as they had outgrown their facility on the east campus.

Replying to a question from Commissioner Goodhue, Mr. Tsuruoka said the larger site was based upon the increased amount of employees.

Commissioner Onken confirmed that the health services were strictly for Facebook employees and their dependents.

Chair Strehl opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Onken said Facebook had done much to allay neighborhood fears about increased traffic through traffic studies and TDM plan. He said he appreciated the reuse of an existing building. He moved to approve as recommended in the staff report. Commissioner Goodhue seconded the motion.

Commissioner Riggs asked if in four years Facebook moved their medical facility whether the building would still have a use permit for medical and dental use. Senior Planner Perata said the use permit would run with the land. He said, however, it was very specific to the user and a general medical office such as Stanford Medical would not be able to move into the site.

Commissioner Riggs asked whether reuse of the existing campus space would increase the number of employees and how that limit was set. Senior Planner Perata said the east campus has a trip cap and the former health center site might be repurposed for office and additional employees as long as the trip cap was not exceeded.

Commissioner Kahle asked if the building would be identified as a Facebook building and whether the brown color on the arches could be changed. Mr. Tsuruoka said the building would have minimal signage to identify it as the Facebook Health Center. He said at this time they did not plan anything with the arches.

**ACTION:** Motion and second (Onken/Goodhue) to approve the item as recommended in the staff report; passes 5-0 with Commissioner Combs recused and Commissioner Barnes absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort

and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.

3. Approve the use permit subject to the following **standard** conditions:

- a. Development of the project shall be substantially in conformance with the project plans by DES Architects and Engineers consisting of 12 plan sheets (dated received May 20, 2016), the project description letter (dated March 25, 2016), trip generation and TDM memorandum (dated May 25, 2016) and approved by the Planning Commission on June 6, 2016 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
- b. Prior to building permit issuance, the applicant shall comply with all sanitary district, Menlo Park Fire Protection District, and utility companies regulations that are directly applicable to the project.
- c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
- d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

**G. Regular Business**

Principal Planner Rogers noted that Commissioner Combs would need to remain recused for the next item, and that Commissioner Onken would also have to recuse himself for anything related to ConnectMenlo.

- G1. Selection of an Alternate Vice Chair for Agenda Items Relating to ConnectMenlo and Facebook ([Staff Report #16-048-PC](#))

**ACTION:** Motion and second (Strehl/Goodhue) to designate Commissioner Riggs as the Alternate Vice Chair for items relating to ConnectMenlo and Facebook; passes 4-0 with Commissioners Combs and Onken recused, and Commissioner Barnes absent.

## **H. Informational Items**

- H1. Future Planning Commission Meeting Schedule
- Regular Meeting: June 20, 2016
  - Regular Meeting: July 11, 2016
  - Regular Meeting: July 25, 2016

## **J. Adjournment**

Chair Strehl adjourned the meeting at 8:24 p.m.

Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett



## STAFF REPORT

### Planning Commission

**Meeting Date:**

**7/11/2016**

**Staff Report Number:**

**16-051-PC**

**Public Hearing:**

**Use Permit/Gregory Pickett/320 Grayson Court**

### Recommendation

Staff recommends that the Planning Commission approve a use permit to remodel and add onto an existing nonconforming single-story, single-family residence in the R-1-U (Single-Family Urban) zoning district at 320 Grayson Court. The proposed work would exceed 75 percent of the existing replacement value in a 12-month period. The project includes a request to remove a heritage blackwood acacia tree in the rear yard. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The project site is located at 320 Grayson Court, between Willow Road and Laurel Avenue in the Willows neighborhood. The surrounding properties are also zoned R-1-U and they are predominately ranch style single-story residences. This property is substandard in lot area and width, and the existing residence is a nonconforming structure. The property is 50-feet wide, instead of the 65-foot minimum required per the Zoning Ordinance, and the right side setback of the existing house is less than the minimum required five feet. Parking is legal, non-conforming, due to the house being built in 1950 with parking for only one vehicle.

### Analysis

#### *Project description*

The existing house is a three-bedroom, one-bathroom, single-story ranch-style residence with an attached one-car garage. The applicant proposes an interior remodel and a 545 square foot single-story addition to the home. The bulk of the addition would be at the rear of the home, and it would expand the existing bedrooms, kitchen and dining areas. The proposal also includes a new covered front porch and expanding the living room out to the front, so that the living room front wall would align with an existing bedroom that is located to the left of the home's entrance. In addition, the existing single-car garage would be reduced in depth in order to accommodate a new laundry room and half-bathroom, while still providing the minimum required 20-foot depth. The majority of existing exterior walls would remain, including the nonconforming

wall on the right side. However, all areas of new construction associated with the project would comply with current setback requirements and all other development standards of the R-1-U zoning district. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

### ***Design and materials***

The home remodel would match the existing design and materials. Stucco cladding and composition shingle roof material would be continued for the expansion, and all of the existing roof structure would remain except for some non-hip rafters at the rear wall. The most notable aesthetic change to the home would occur at the front façade, with the new covered porch and the more prominent front wall, as noted above. In addition, the entry door would be relocated slightly to the right, and new, smaller wood-clad casement windows would provide additional architectural interest and more privacy for the existing bedroom and living room along the front. All of the existing windows would be replaced, and four new windows would be added on the left elevation.

Staff believes that overall, the scale, materials, and style of the proposed residence are consistent with the existing homes in the neighborhood.

### ***Flood Zone***

The subject property is located within the "AE" zone established by the Federal Emergency Management Agency (FEMA). Within this zone, flood proofing techniques are required for new construction and substantial improvements of existing structures. The bottom of the floor joist of the existing residence is located above the base flood elevation of 25.7 feet, and the addition is also proposed to be above the base flood elevation in order to comply with FEMA standards. The Public Works Department has reviewed and tentatively approved the proposal for compliance with FEMA regulations.

### ***Trees and landscaping***

After the completion of the site survey, three non-heritage trees were removed from the rear yard. At present, there are a total of seven trees located on or near the property, three of which are heritage trees. An 18 inch diameter heritage blackwood acacia tree would be removed as part of the project. The tree is in fair health, but it has a poor trunk structure and it is located along the left property line at the rear, next to an existing wood perimeter fence that separates the subject property from the neighboring property. According to the applicant, the neighboring property owner at 324 Grayson Court supports the removal of this tree. The City Arborist has tentatively approved the removal of this tree. The expansion of the existing residence is not anticipated to adversely affect the remainder of the trees located on or near the property. A minimum 15-gallon Catalina ironwood tree is proposed as the replacement tree, to be located at the rear yard.

### ***Valuation***

To calculate the replacement and new construction costs on which the use permit threshold is based, the City uses standards established by the Building Division. The City has determined that the replacement cost of the existing structure would be \$235,100, while the value of the proposed work would be approximately \$248,129. The proposed work value exceeds 75 percent of the replacement value in any

12-month period and therefore requires use permit approval by the Planning Commission.

### **Correspondence**

The property owner has indicated that he discussed the proposed remodel and expansion with his neighbors and that the project was well-received. He provided staff with four letters of support from his neighbors, confirming this, when the application was submitted. The letters are included as Attachment F. Staff did not receive any direct correspondence for the project.

### **Conclusion**

Staff believes that the scale and materials of the proposed addition are compatible with both the existing home and the surrounding neighborhood. The floor area and building coverage of the proposed project would be well below the maximum amounts permitted by the Zoning Ordinance, and the new construction would comply with current setback requirements. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Letters of Support from:
  - Judith Lautmann, 323 Grayson Court

- Alice Riley, 327 Grayson Court
- John Cromie, 316 Grayson Court
- Tony Kelly, 324 Grayson Court

**Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

None

Report prepared by:

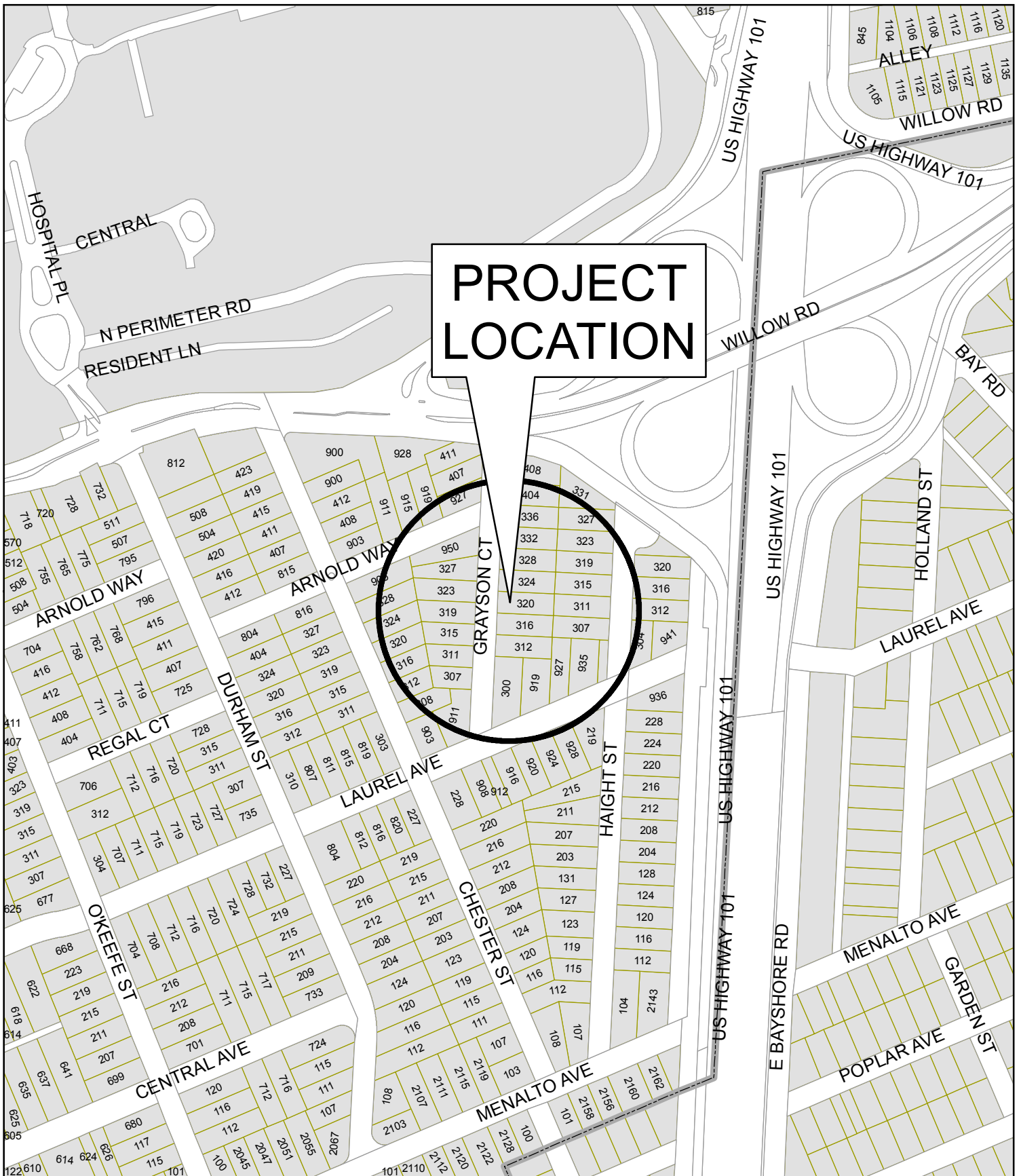
Yesenia Jimenez, Associate Planner

Report reviewed by:

Thomas Rogers, Principal Planner

## 320 Grayson Court – Attachment A: Recommended Actions

<b>LOCATION:</b> 320 Grayson Court	<b>PROJECT NUMBER:</b> PLN2016-00027	<b>APPLICANT:</b> Gregory Pickett	<b>OWNER:</b> Gregory Pickett
<b>REQUEST:</b> Request for a use permit to remodel and add onto an existing nonconforming single-story, single-family residence in the R-1-U (Single-Family Urban) zoning district. The proposed work would exceed 75 percent of the existing replacement value in a 12-month period. The project includes a request to remove a heritage blackwood acacia tree in the rear yard.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> July 11, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions: <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Robert Rice, consisting of 7 plan sheets, dated June 17, 2016 and stamped received on June 21, 2016, and approved by the Planning Commission on July 11, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</li> </ol> </li> </ol>			

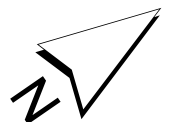


# CITY OF MENLO PARK

## LOCATION MAP

### 320 GRAYSON COURT

DRAWN: TAS CHECKED: YJ DATE: 07/11/16 SCALE: 1" = 300' SHEET: 1



## 320 Grayson Court – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	6,500 sf	6,500 sf	7,000 sf min.
Lot width	50 ft.	50 ft.	65 ft. min.
Lot depth	130 ft.	130 ft.	100 ft. min.
Setbacks			
Front	24.9 ft.	24.9 ft.	20 ft. min.
Rear	49 ft.	56.9 ft.	20 ft. min.
Side (left)	5 ft.	5 ft.	5 ft. min.
Side (right)	4.7 ft.	4.7 ft.	5 ft. min.
Building coverage	1,984.4 sf 30.5 %	1,428.6 sf 22 %	2,600 sf max. 40 % max.
FAL (Floor Area Limit)	1,909.7 sf	1,364 sf	2,800 sf max.
Square footage by floor	1,667 sf/1st 242.7 sf/garage 74.7 sf/porch	1,074 sf/1st 290 sf/garage 64.6 sf/porch	
Square footage of buildings	1,984.4 sf	1,428.6 sf	
Building height	14.25 ft.	14.25 ft.	28 ft. max.
Parking	1 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

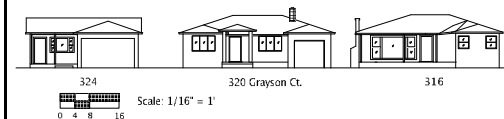
Trees			
	Heritage trees	3*	Non-Heritage trees 4**
	Heritage trees proposed for removal	1	Non-Heritage trees proposed for removal 0
			New Trees 1
			Total Number of Trees 7

\* Includes two heritage trees on adjacent property

\*\*Includes two non-heritage trees on adjacent property

Drawings by:  
Robert Rice  
650-575-0760  
robertrice1@mac.com

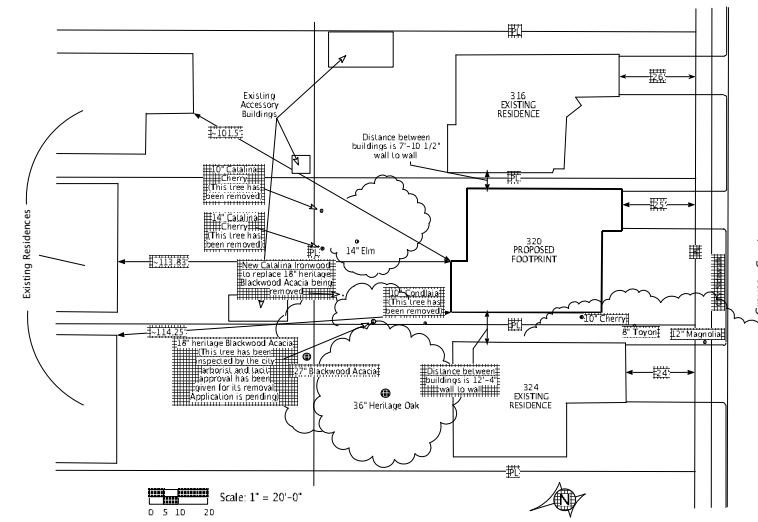
Date:  
6/17/2016



Streetscape: 320 Grayson Court

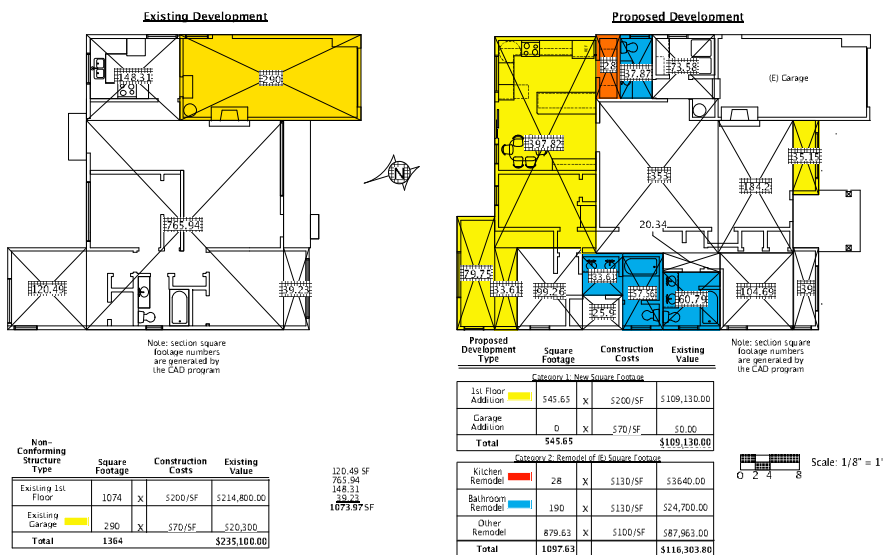
### Application for Planning Commission Review Supporting Materials Index

1. DATA SHEET: Please see this page
2. AREA PLAN: This page
3. SITE PLAN: Please see Plot Plan on Page 1
4. FLOOR PLANS: Page 2, Floor Plan and Demolition Plan
5. ROOF PLAN: Page 4, Roof Plan
6. SQUARE FOOTAGE CALCULATIONS: Page 1, Floor Coverage Plan
7. BUILDING ELEVATIONS: Page 3, Elevations
8. STREETScape: This page
9. CROSS SECTIONS: Page 5
10. PROJECT DESCRIPTION: This page
11. SURVEY: Please see the last page
12. FLOOD ELEVATION CERTIFICATE: Page 4
13. NONCONFORMING STRUCTURE NEW WORK VALUE CALCULATION: This page



Area Plan: 320 Grayson Court

### Nonconforming Structure New Work Valuation Calculation Drawings



### Project Description

The proposed project for 320 Grayson Court is the remodel, upgrade and addition to the existing residence. The proposed addition will add 545.65 SF of floor area coverage, which, combined with the existing structure, will still be below the floor area allowed for the lot. The proposed added floor area will be used for a new Kitchen and to expand the Master Bedroom. The area of the existing kitchen will be used for a Powder Room and Laundry Room. Other improvements include the addition of a new Master Bathroom and Closet. Upgrades also include replacing the existing electrical service entrance panel and moving the subpanel into the Garage as well as upgrading the heating system.

Although some of the existing interior walls will be moved to accommodate the new room arrangements, the all of the exterior walls are to remain except for a short section of the front wall and portions of the rear wall. All of the existing roof structure is to remain except for non-hip rafters bearing on the rear wall. The existing stucco exterior surface is to remain and be matched at the addition.

The right side (east) setback is substandard - 4.7' instead of the required 5'. For that reason, the Kitchen exterior wall on that side is moved inward from the existing building line. The roof overhang will not be follow the wall line because of the impossibly small valley it would create.

### Nonconforming Structure New Work Valuation Calculations

NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION			
Address:			
Case No.:			
90% of Existing Value	\$0.00		
75% of Existing Value	\$0.00		
Value of Proposed Project	\$0.00	0%	

Existing Development			
Non-Conforming Structure Type	Square Footage	Construction Cost	Existing Value
Existing 1st floor	1074	X \$200/Sq Ft	\$214,800.00
Existing 2nd floor	0	X \$200/Sq Ft	\$0.00
Existing Basement	0	X \$200/Sq Ft	\$0.00
Existing Garage	290	X \$70/Sq Ft	\$20,300.00
<b>Total</b>	<b>1364.00</b>		<b>\$235,100.00</b>

Note: This spreadsheet is only used on one nonconforming structure at a time. If there are detached structures on the same site, they are either subject to their own spreadsheet (if they are also nonconforming and subject to new work) or ignored (if conforming, or nonconforming but not subject to new work).

Proposed Development			
Proposed Development Type	Square Footage	Construction Cost	Development Value

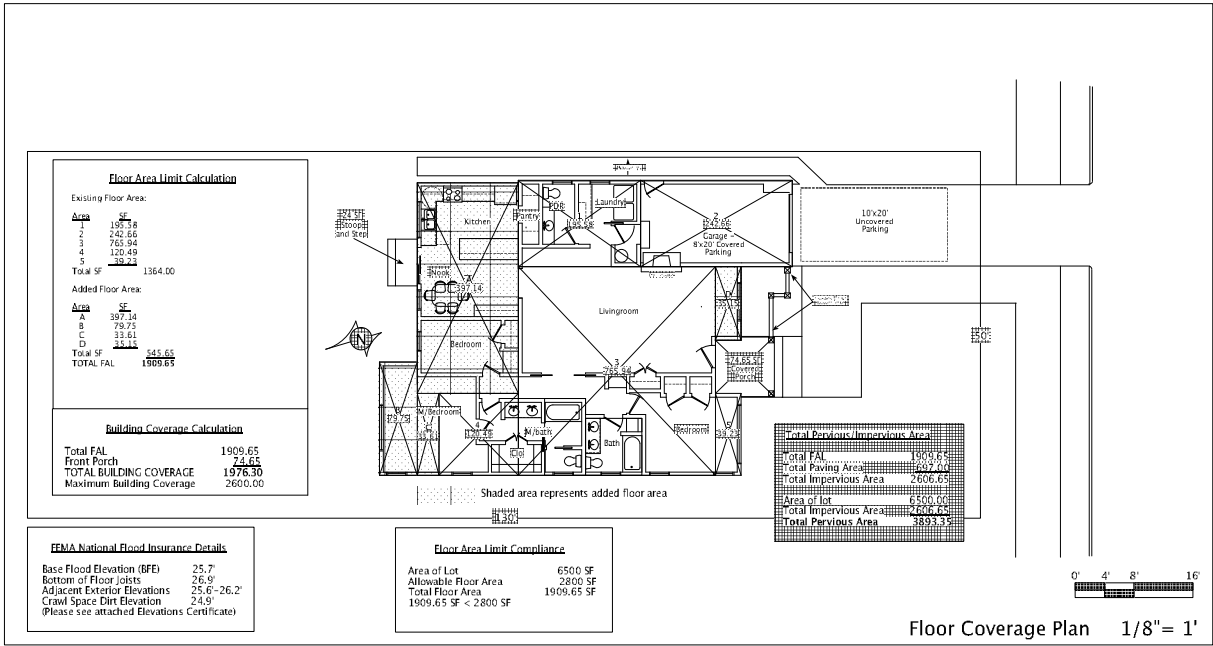
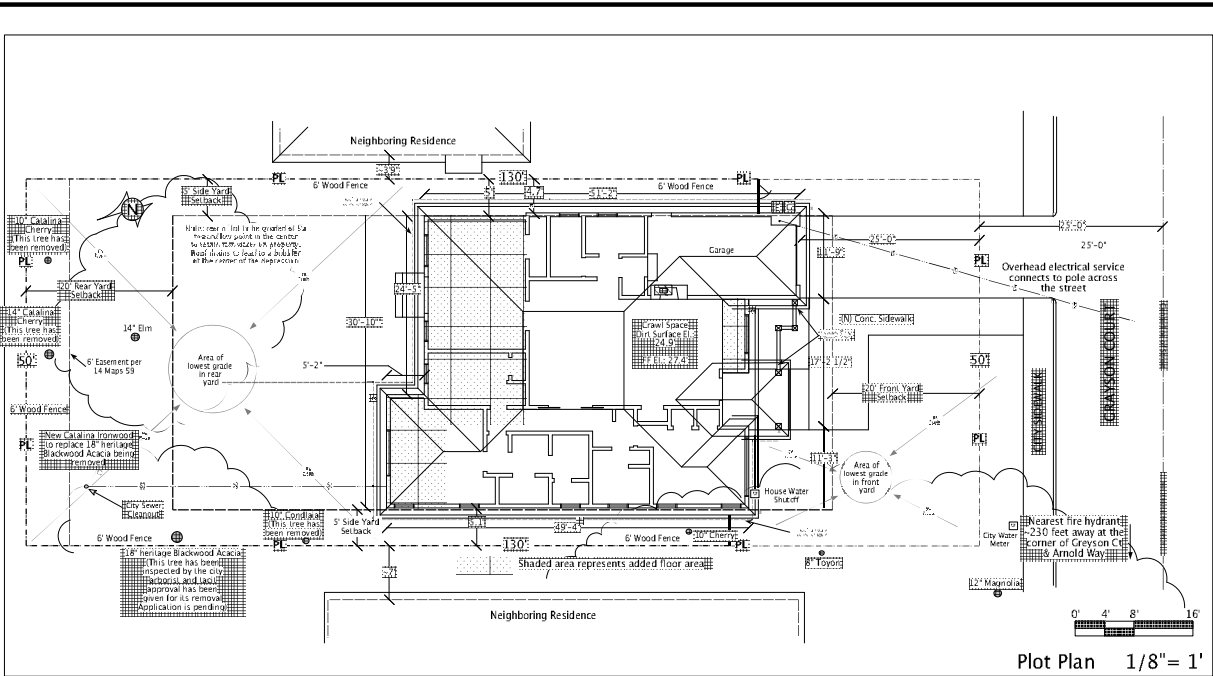
Category 1: New square footage (areas of new foundation and/or wall framing)			
1st Floor Addition	545.65	X \$200/Sq Ft	\$109,130.00
2nd Floor Addition	0	X \$200/Sq Ft	\$0.00
Basement Floor Addition	0	X \$200/Sq Ft	\$0.00
Garage Addition	0	X \$70/Sq Ft	\$0.00

Category 2: Remodel of existing square footage (foundation and wall framing are both retained)			
Note: Square footage measurements are taken to full extent of any room with any interior modifications			
Remodel of Kitchen	28	X \$130/Sq Ft	\$3640.80
Remodel of Bathrooms	190	X \$130/Sq Ft	\$24,700.00
Remodel of Other Living Areas	879.63	X \$100/Sq Ft	\$87,963.00
Remodel of Garage	0	X \$35/Sq Ft	\$0.00

Category 3: Exterior modifications to existing structure			
Window replacements are included in areas remodeled and accounted for in Category 2. New roofs and new siding on existing portions of the structure are not included in Category 2 or Category 1 and should be accounted for using the calculation below.			
New Roof Structure Over Existing Sq. Ft.	384	X \$50/Sq Ft	\$19,200.00
Replacement of Existing Windows	96	X \$35/Sq Ft	\$3360.00
Replacement of Existing Siding	0	X \$35/Sq Ft	\$0.00
<b>Total</b>	<b>1642.32</b>		<b>\$248,129.80</b>

Additions and Upgrades to the Home of  
Greg and Madelin Pickett  
320 Grayson Ct, Menlo Park

Page  
NC



**Address:** 320 Grayson Ct. **Owners:** Greg & Madelin Pickett  
Menlo Park, CA 650-766-7669  
94025 greg.pickett@dtz.com

**Designer:** Marj Pitchon  
415-271-7398  
marjpitchon@sbcglobal.net

**Structural Engineer:** Anthem Engineering  
623-399-0871  
anthemengineering@yahoo.com

**Surveyor:** L. Wade Hammond  
510-579-6112  
wade@whlandsurveyor.com

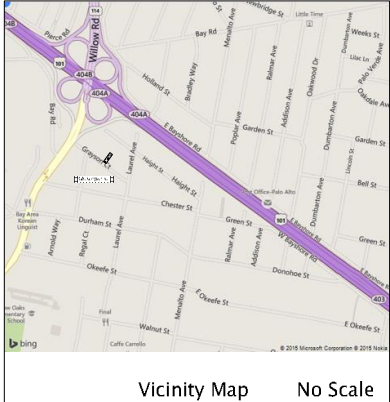
Address: 320 Grayson Ct, Menlo Park, 94025  
Zoning District: R-1-U  
Occupancy Group: Single Family Residential  
Flood Zone: AE  
BFE: 25.7 NAVD'88  
Type of Construction: Wood Frame  
Total Lot Area: 6500 SF  
Maximum Allowable FAL Coverage: 2800 SF  
Maximum Allowable Zoning District Coverage: 6500x.4=2600 SF  
Existing Non-pervious Area: 2046 SF  
Proposed Non-pervious Area: 1671 SF  
Total Existing and Proposed Floor Area: 1909.65 SF  
Total Area of Porches and Patios: 98.65 SF

# **Sheet Index**

- Page NC: Application for Planning Commission Review Supporting Materials
- Page 1: Plot Plan and Floor Coverage Plan
- Page 2: Floor Plans
- Page 3: Exterior Elevations
- Page 4: Roof Plan and FEMA Flood Certificate
- Page 5: Building Sections
- Last Page: Survey

PRIOR TO APPROVAL OF UNDER FLOOR FRAMING INSPECTION, A LICENSED SURVEYOR SHALL VERIFY FOUNDATION ELEVATION BY SUBMITTING A SIGNED, STAMPED STATEMENT.

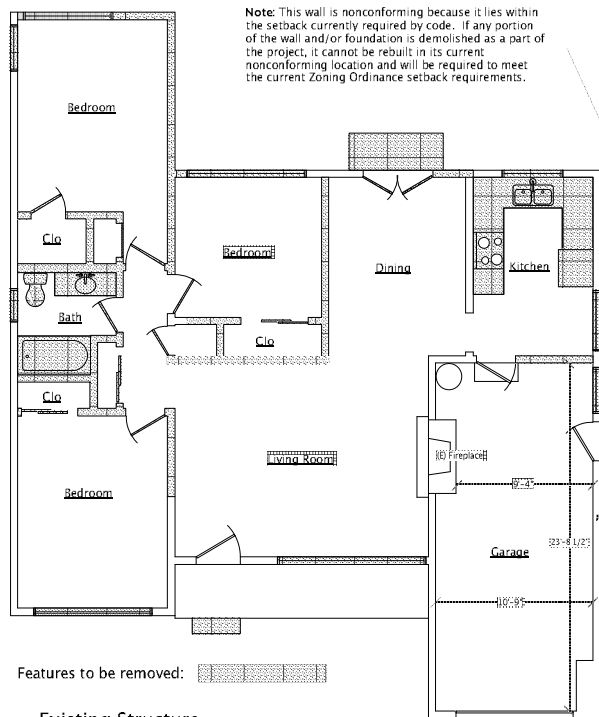
A "FINISHED CONSTRUCTION" ELEVATION CERTIFICATE WILL BE REQUIRED AT PROJECT COMPLETION.



**Drawings by:**  
Robert Rice  
650-575-0760  
robertrice1@mac.com

**Date:**  
6/17/2016

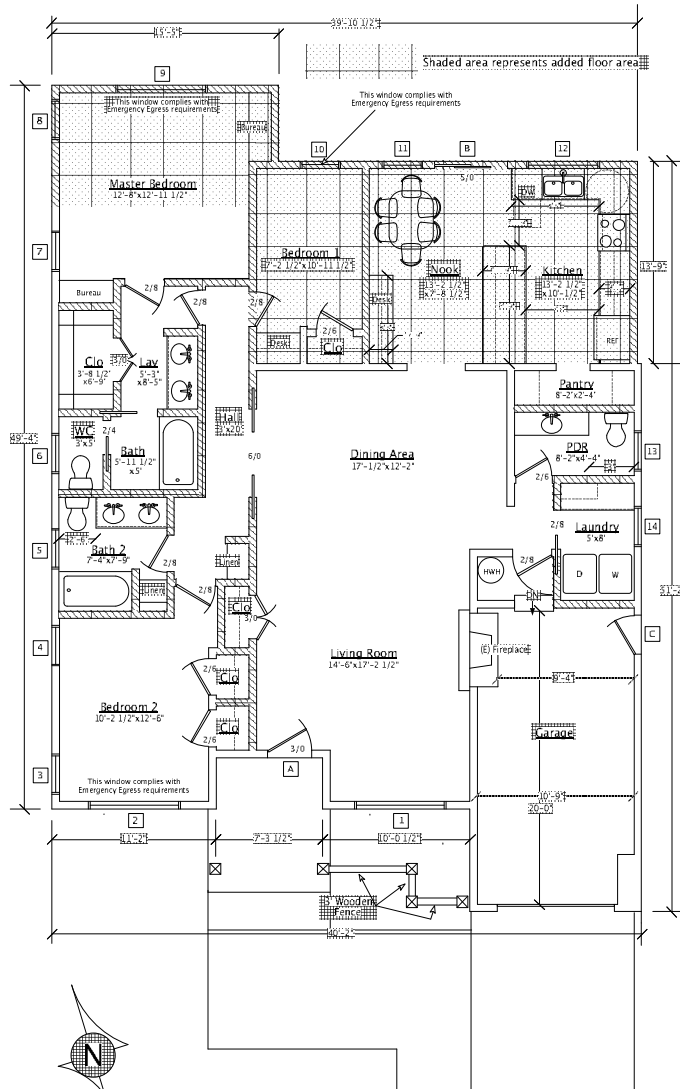
**Additions and Upgrades to the Home of  
Greg and Madelin Pickett  
320 Grayson Ct, Menlo Park**



The entire footprint of the existing structure is to be incorporated in to the new home

Existing Structure and Demolition Plan 1/4" = 1'

Window Schedule					
Nc.	Location	Size	Action	Materials	Notes
1	Living Room	6/4 x 4/0	C-X-0	1	1" Clear wood construction w/ dual glazing
2	Bedroom 2	6/4 x 4/0	C-X-0	1	Meets Egress Requirements
3	Bedroom 2	5/0 x 3/3	Dol Casement	1	
4	Bedroom 2	5/0 x 3/3	Dol Casement	1	
5	Bath 2	5/4 x 3/0	Dol Casement	1	Obscure glass
6	WC	3/4 x 3/0	Dol Casement	1	Obscure glass
7	M/Bedroom	3/0 x 3/3	Dol Casement	1	
8	M/Bedroom	3/0 x 3/3	Dol Casement	1	
9	M/Bedroom	6/4 x 4/0	C-X-0	1	Meets Egress Requirements
10	Bedroom 1	2/5 x 4/0	Casement	1	Meets Egress Requirements
11	Nook	5/0 x 3/3	Dol Casement	1	
12	Kitchen	4/9 x 3/0	C-X-0	1	
13	Bath	2/9 x 3/3	Dol Casement	1	Obscure glass
14	Laundry	2/9 x 3/3	Dol Casement	1	
A	Living Room	5/0 x 6/8	Swing	Wood	
3	Nook	5/0 x 6/8	Slider	1	
C	Garage	2/8 x 6/8	Swing	Wood	



Hashed walls denote new construction  
Denotes Window Number & Door Letter

New Floor Plan 1/4" = 1'

### General Notes

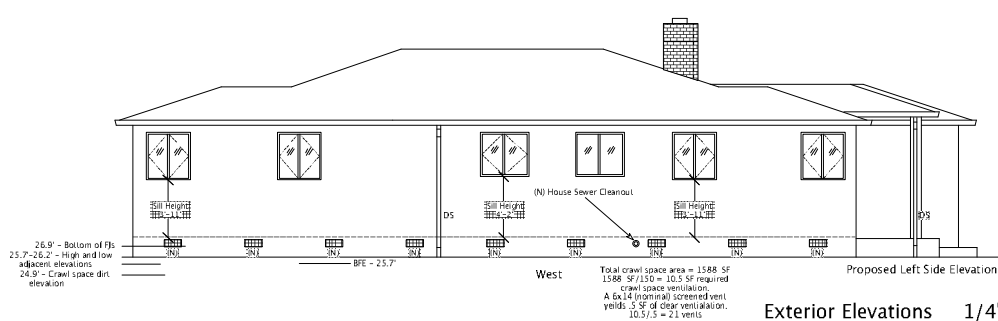
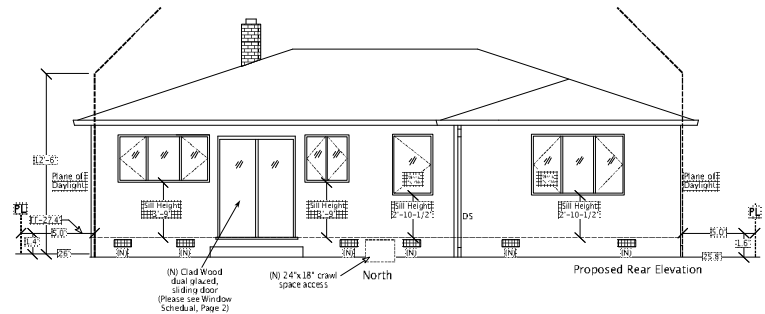
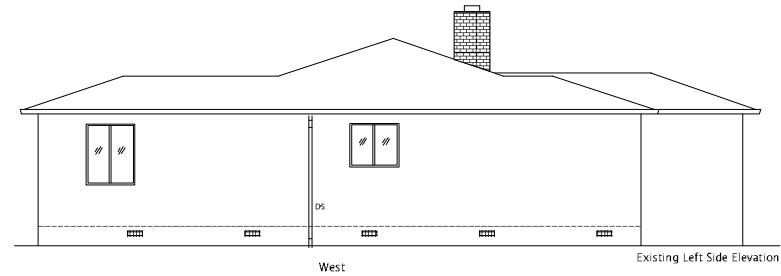
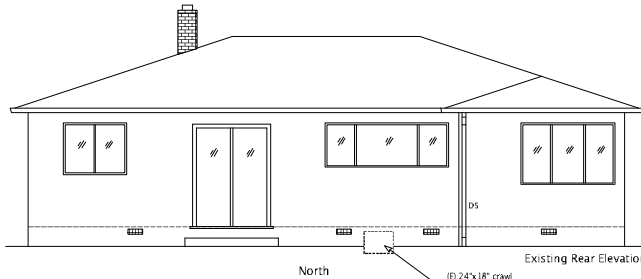
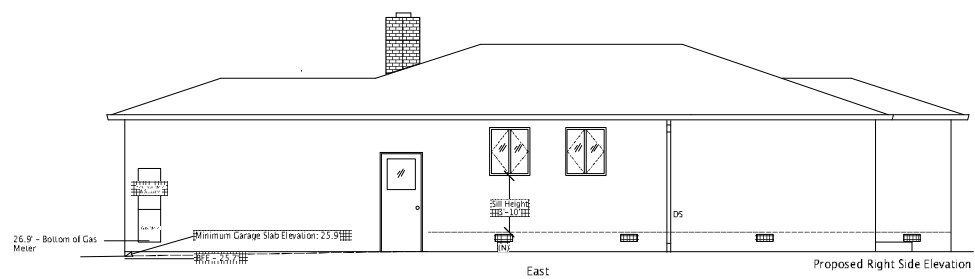
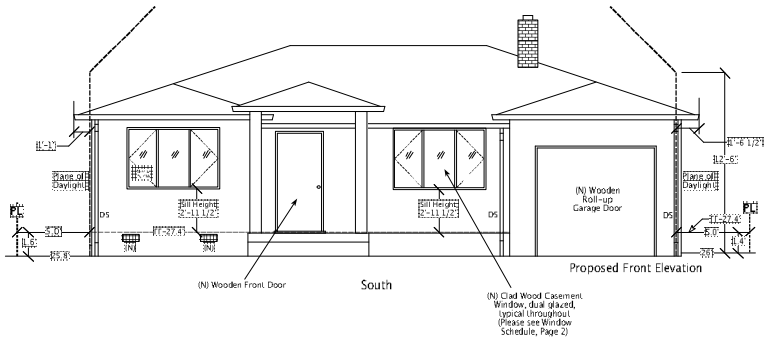
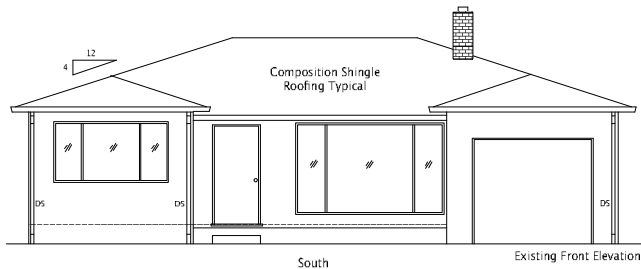
- The work on 310 Grayson Court, Menlo Park is the addition of 545.65 SF of floor space and the upgrade of all building systems.
- The governing authority for this work is the City of Menlo Park and all work is to comply with the ordinances and guidelines thereof and with the following building codes:  
California Building Code, 2013, Vols 1 & 2  
California Residential Code, 2013  
California Plumbing Code, 2013  
California Mechanical Code, 2013  
California Electrical Code, 2013  
California Energy Code, 2013  
California Green Building Code, 2013  
California Fire Code, 2013  
California Reference Standards Code, 2013  
Compliance with the above will be overseen by the City of Menlo Park Planning and Building Departments.
- Smoke alarms shall be installed on the ceilings in each sleeping room and outside each separate sleeping area in the immediate vicinity of the bedrooms. Carbon monoxide detectors shall be installed outside of each sleeping area near the bedrooms. Smoke alarms and CO detectors shall receive their primary power from the building wiring and be equipped with a battery back up and a signal to indicate a weak battery. All alarms are to be interconnected in a way so that if one is activated, all are activated.
- Every sleeping room shall have at least one operable window or door approved for emergency escape or rescue that shall open directly onto a public street, public alley, yard or exit court. The door or window shall be operable from the inside to provide a full, clear opening without the use of separate tools. The following minimum standards apply to emergency egress door and windows:  
a. A clear net opening area of 5.7 square feet.  
b. A clear net opening height of 24 inches.  
c. A clear net opening width of 20 inches.  
d. Finish sill height shall not be more than 44 inches above the floor.
- There are no Redwood or Oak trees on or immediately adjacent to the property. There are no City Trees on or immediately adjacent to the property. There is a heritage Blackwood Acacia tree in the backyard to be removed in accordance with the codes and procedures of the City of Menlo Park.
- For Floor Area Limit Compliance Calculations, Building Coverage Calculations and Previous/Impervious Calculations, please see Page 1.
- For Demolition Notes, please see Demolition Plan, this page.
- For Roof and Electrical/Mechanical Notes, please see page 4.

Plans by:  
Robert Rice  
650-575-0760  
robertrice1@mac.com

Date:  
6/17/2016

Additions and Upgrades to the Home of  
Greg and Madelin Pickett  
320 Grayson Ct, Menlo Park

Page  
2



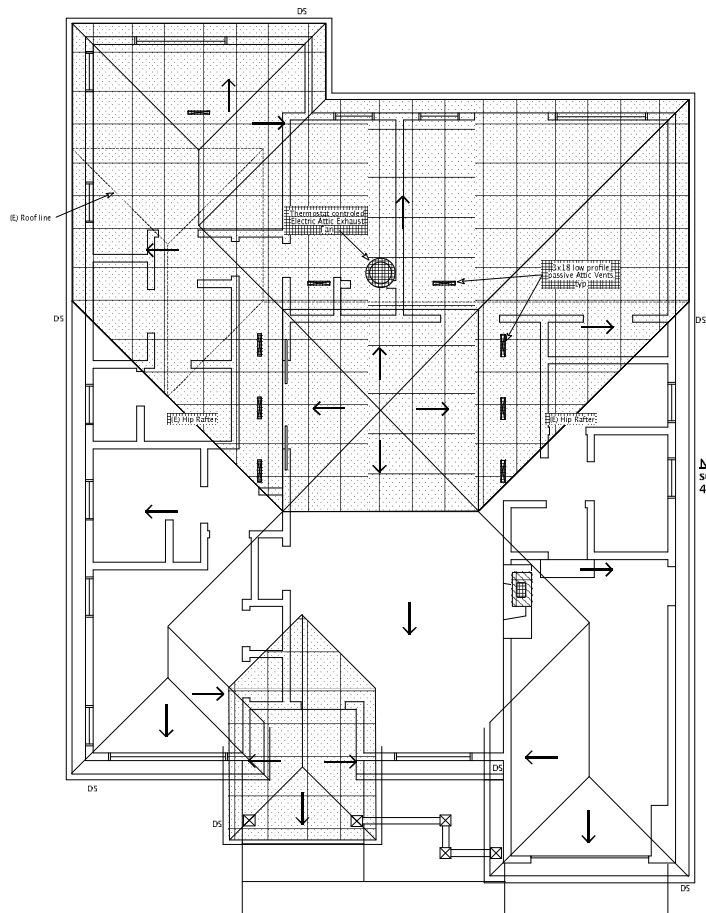
Exterior Elevations 1/4" = 1'

Plans by:  
Robert Rice  
650-575-0760  
robertrice1@mac.com

Date:  
6/17/2016

Additions and Upgrades to the Home of  
Greg and Madelin Pickett  
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Page  
3



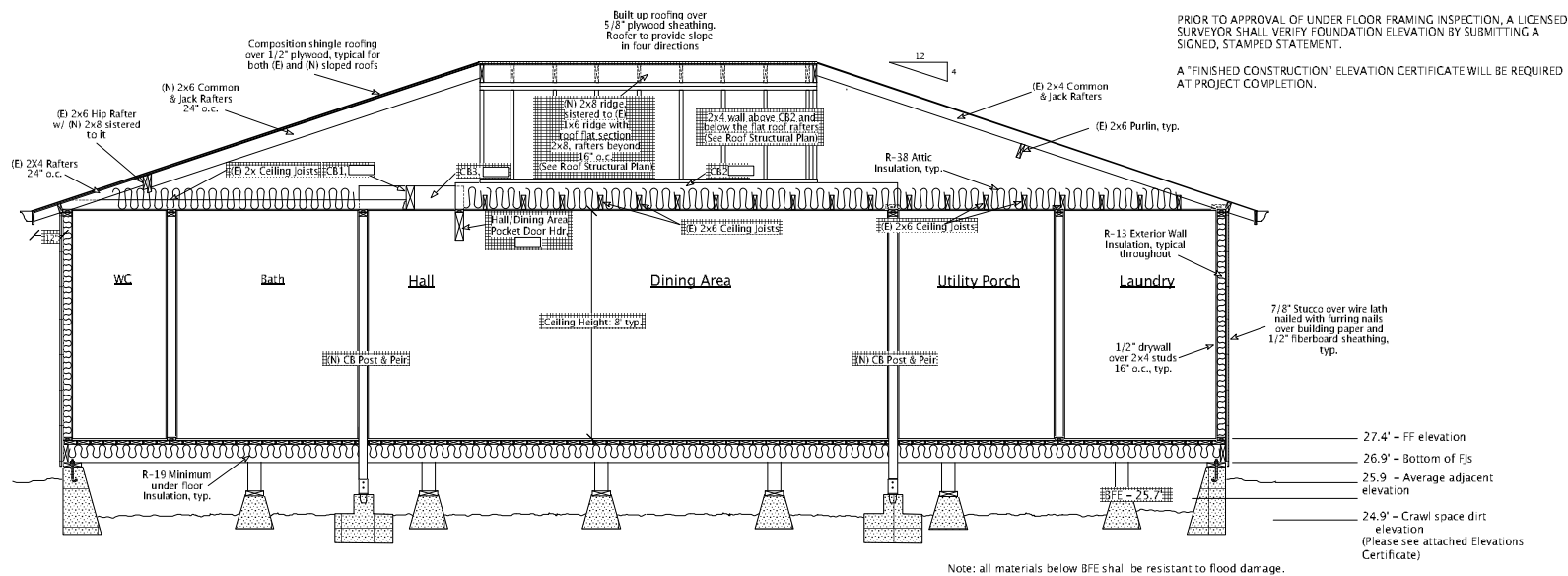
#### Roof/Attic Notes

1. The roofing material on sloped sections shall be composition shingles.
2. The roofing contractor shall provide slope to the flat part of the roof. Built up roofing shall be used in that area.
3. In rafter bays where the frieze block is replaced by an eave vent, a baffle shall be placed to insure that attic insulation does not constrict the full air space of the vent.
4. Attic Ventilation: 3-1/2"x22-1/2" (net 2-1/2"x21-1/2" clear space) eave vents provide .37 SF of venting area each, 3-x18" (net) low profile attic vents provide .375 SF of venting area each. The attic area is 1912 SF. 27 eave vents (10 SF) evenly distributed around the perimeter and 9 passive roof vents (3.375 SF and placed as shown above) provide a total of 13.75 SF of attic venting. 1912 SF/150 = 12.75 SF = 13.75 SF.

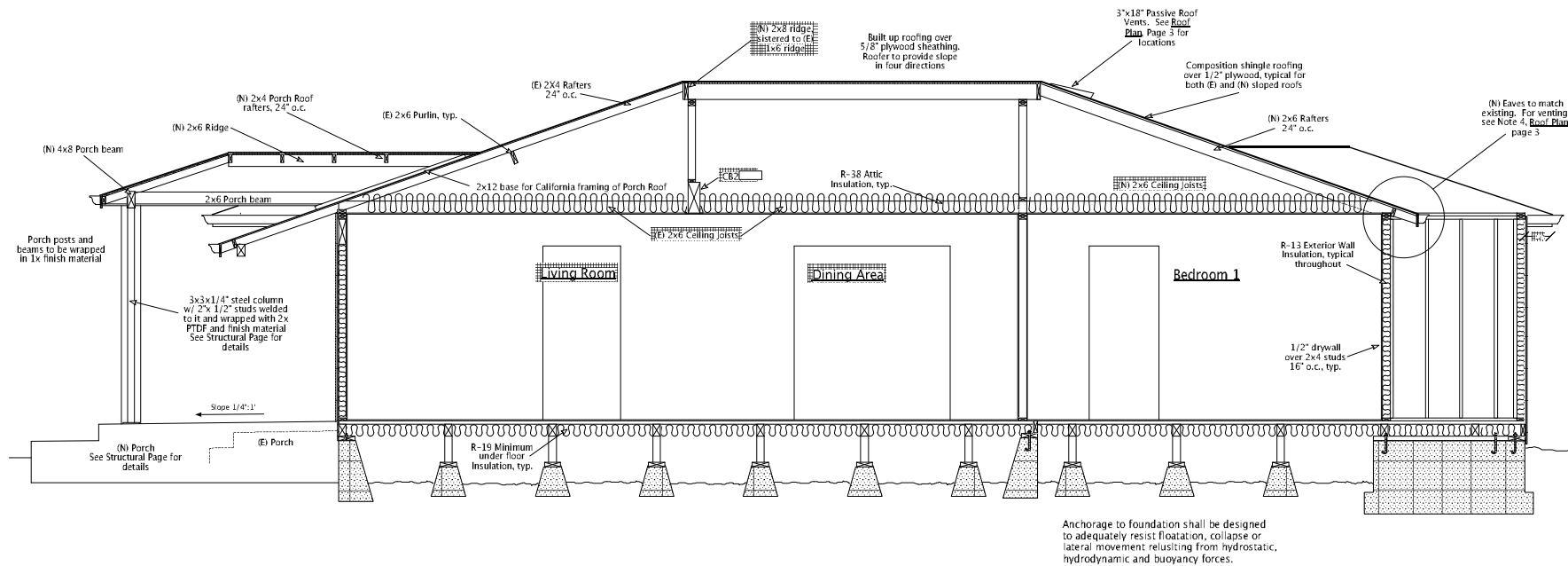
Roof Plan 1/4" = 1'

Note: Except for the flat rectangular section in the middle, all slopes are 4 in 12.

National Flood Insurance Program		IMPORTANT: Follow the instructions on pages 1-5.		Expiration Date: July 31, 2015	
<b>SECTION A - PROPERTY INFORMATION</b>					
A1. Building Owner's Name: <b>PICKETT</b>				FOR INSURANCE COMPANY USE	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or RD, Route and Box No.: <b>320 GRAYSON CT.</b>				Policy Number:	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.): <b>Menlo Park APN: 962-215-160</b>				Company NAZ Number: <b>94025</b>	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): <b>Residential - HOUSE</b>					
A5. Latitude/Longitude: Lat. <b>38.466638 deg.</b> Long. <b>-122.156515 deg.</b>		Horizontal Datum: <input type="checkbox"/> NAD 1907 <input checked="" type="checkbox"/> NAD 1983			
A6. Attach at least 2 measurements of the building (see Certificate for instructions on how to take these measurements).					
A7. Building Diagram Number: <b>2</b>					
A8. For a building with a crawlspace or enclosure(s):			A9. For a building with an attached garage:		
a) Square footage of crawlspace or enclosure(s): <b>1078</b> sq ft			a) Square footage of attached garage: <b>290</b> sq ft		
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 15 feet above adjacent grade: <b>13</b>			b) Number of permanent flood openings in the attached garage within 15 feet above adjacent grade: <b>0</b>		
c) Total net area of flood openings in A8: <b>1152</b> sq ft			c) Total net area of flood openings in A9: <b>0</b> sq ft		
d) Engineered flood opening? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			d) Engineered flood opening? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
<b>SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION</b>					
B1. FIRM Community Name & Community Number: <b>MENLO PARK 060321</b>		B2. County Name: <b>CA</b>		B3. State: <b>CA</b>	
B4. Map/Panel Number: <b>AE, Suffix: 10162012</b>		B5. FIRM Panel Effective/Revised Date: <b>10/16/2012</b>		B6. Flood Zone(s): <b>AE</b>	
B7. FIRM Panel Effective/Revised Date: <b>10/16/2012</b>		B8. Flood Zone(s): <b>AE</b>		B9. Base Flood Elevation(s) (Zone AE, see base flood depth): <b>25.7 AT NEAR OF PROPERTY</b>	
B10. Indicate the source of the base Flood Elevation (BFE) data or base flood depth entered in Item B9:					
<input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRMA <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: <b>1988</b>					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NAVD 1983 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: <b>1988</b>					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
Designation Date: <b>1/1/1988</b> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					
<b>SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)</b>					
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings <input checked="" type="checkbox"/> Finished Construction					
*A new Elevation Certificate will be required when construction of the building is complete.					
C2. Elevation: <b>Zone AE: 25.7 at 10' from BFE; VE, V1, V2, V3, V4, V5, V6, V7, V8, V9, V10, V11, V12, V13, V14, V15, V16, V17, V18, V19, V20, V21, V22, V23, V24, V25, V26, V27, V28, V29, V30, V31, V32, V33, V34, V35, V36, V37, V38, V39, V40, V41, V42, V43, V44, V45, V46, V47, V48, V49, V50, V51, V52, V53, V54, V55, V56, V57, V58, V59, V60, V61, V62, V63, V64, V65, V66, V67, V68, V69, V70, V71, V72, V73, V74, V75, V76, V77, V78, V79, V80, V81, V82, V83, V84, V85, V86, V87, V88, V89, V90, V91, V92, V93, V94, V95, V96, V97, V98, V99, V100, V101, V102, V103, V104, V105, V106, V107, V108, V109, V110, V111, V112, V113, V114, V115, V116, V117, V118, V119, V120, V121, V122, V123, V124, V125, V126, V127, V128, V129, V130, V131, V132, V133, V134, V135, V136, V137, V138, V139, V140, V141, V142, V143, V144, V145, V146, V147, V148, V149, V150, V151, V152, V153, V154, V155, V156, V157, V158, V159, V160, V161, V162, V163, V164, V165, V166, V167, V168, V169, V170, V171, V172, V173, V174, V175, V176, V177, V178, V179, V180, V181, V182, V183, V184, V185, V186, V187, V188, V189, V190, V191, V192, V193, V194, V195, V196, V197, V198, V199, V200, V201, V202, V203, V204, V205, V206, V207, V208, V209, V210, V211, V212, V213, V214, V215, V216, V217, V218, V219, V220, V221, V222, V223, V224, V225, V226, V227, V228, V229, V230, V231, V232, V233, V234, V235, V236, V237, V238, V239, V240, V241, V242, V243, V244, V245, V246, V247, V248, V249, V250, V251, V252, V253, V254, V255, V256, V257, V258, V259, V260, V261, V262, V263, V264, V265, V266, V267, V268, V269, V270, V271, V272, V273, V274, V275, V276, V277, V278, V279, V280, V281, V282, V283, V284, V285, V286, V287, V288, V289, V290, V291, V292, V293, V294, V295, V296, V297, V298, V299, V300, V301, V302, V303, V304, V305, V306, V307, V308, V309, V310, V311, V312, V313, V314, V315, V316, V317, V318, V319, V320, V321, V322, V323, V324, V325, V326, V327, V328, V329, V330, V331, V332, V333, V334, V335, V336, V337, V338, V339, V340, V341, V342, 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Section 2 1/2" = 1'



Section 1 1/2" = 1'

Plans by:  
Robert Rice  
650-575-0760  
robertrice1@mac.com

Date:

Additions and Upgrades to the Home of  
Greg and Madelin Pickett  
320 Grayson Ct, Menlo Park

Page

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## 320 Grayson Court

### Project Description

The proposed project for 320 Grayson Court is the remodel, upgrade and addition to the existing residence. The proposed addition will add 546 SF of floor area coverage, which, combined with the existing structure, will still be below the floor area allowed for the lot. The proposed added floor area will be used for a new Kitchen and to expand the Master Bedroom. The area of the existing Kitchen will be used for a Powder Room and a Laundry Room. Other improvements include the addition of a new Master Bathroom and Closet. Upgrades also include replacing the existing electrical service entrance panel and moving the subpanel into the Garage, as well as upgrading the heating system.

Although some of the existing interior walls will be moved to accommodate the new room arrangements, all of the existing exterior walls are to remain except for a short section of the front wall and portions of the rear wall. All of the existing roof structure is to remain except for the non-hip rafters bearing on the rear wall. The existing stucco exterior surface is to remain and be matched at the addition.

The right side (East) setback is substandard – 4.7' instead of the required 5'. For that reason, the Kitchen exterior wall on that side is moved inward from the existing building line to comply with code. The roof overhang will not follow the wall line because of the impossibly small valley it would create.

I have personally gone door to door to as many neighbors as I can in a 300 foot radius to make them aware of these changes however some of the occupants are renters. All the feedback I've been getting from everyone is they think it will look nice and have no issues. My next-door neighbors like that we aren't building some large 2 story house that will tower over their homes and everyone likes that we are making the current visage look better. Right now it looks very old and unpleasant so they are happy we are improving it and that it will increase the neighborhood value and be nicer to look at when they drive/walk by. Attached are some signed letters of support of our planned improvements from our immediate neighbors on our street.

Thanks,  
Greg Pickett


February 22, 2016

City of Menlo Park

Dear City Official,

RE: Improvements being done on 320 Grayson Court

I live right across the street at 323 Grayson court from the Picketts. They have talked with me about their plans to update and expand their home. I support what they want to do and hopefully they can get the approvals they are looking for. They will make their house and street look better.

  
Thanks,

February 22, 2016

City of Menlo Park

Dear City Official,

RE: Improvements being done on 320 Grayson Court

Our house is across the street at 327 Grayson court. We are aware if the improvements the Picketts want to make at 320 Grayson Court and we are in full support and think it will make the street look nicer. We are looking forward to seeing how it looks when it's done.

Thanks,

A handwritten signature in cursive script, appearing to read "Alice Riley".

Alice Riley

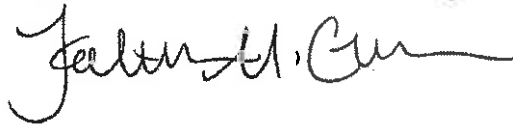
February 21, 2016

City of Menlo Park

Dear City Official,

I wanted to write and support the improvements that are in planning for 320 Grayson Court, Menlo Park. My house is right next door at 316 Grayson court and we share a property line. The new upgrades at 320 Grayson Court will look much nicer and we think will make the street better as a whole. We are also happy that it will make our house more valuable as well. We also know the Picketts definitely need the space for their 3 kids!

Thanks,

A handwritten signature in black ink, appearing to read "John Cromie". The signature is fluid and cursive, with a long horizontal stroke at the end.

John CROMIE

February 21, 2016

City of Menlo Park

Dear City Official,

The Picketts showed us their plans for their remodel/expansion and my house is right next door at 324 Grayson court and we share a property line. We think the new upgrades will look great and add a lot of value to the neighborhood in general. We hope they can get all the approvals they need and we can't wait to see the finished product!

Thanks,

A handwritten signature in black ink, appearing to read 'Tony Kelly', with a stylized, cursive-like flow.

Tony Kelly



## STAFF REPORT

### Planning Commission

**Meeting Date:**

**7/11/2016**

**Staff Report Number:**

**16-052-PC**

**Public Hearing:**

**Use Permit and Variance/Lawrence Kahle/590  
Fremont Street**

### Recommendation

Staff recommends that the Planning Commission approve a use permit to construct a new two-story, single-family residence with basement on a substandard lot with regard to lot width, depth, and area in the R-3 (Apartment) zoning district at 590 Fremont Street, and to allow excavation within the left side yard setback to install a driveway and retaining wall to provide access to a below-grade garage. Staff also recommends approval of a request for a variance for the new residence to encroach into the required 20-foot separation between main buildings located on adjacent lots. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit and variance request is considered individually. The Planning Commission should consider whether the required use permit and variance findings can be made for the proposal.

### Background

#### *Site location*

The subject property is located between downtown and the Allied Arts neighborhood, and it is directly across the street from Jack W. Lyle Park. It is a corner lot, at the intersection of Fremont Street and Mallet Court, a narrow public street. Because Fremont Street is the shorter of the two frontages, it is designated the front lot line for setback purposes, and Mallet Court is the corner side lot line. The surrounding neighborhood is comprised of a mix of single story and two-story single-family residences and two-story multi-family residences with a variety of traditional architectural styles. All parcels in the immediate vicinity are also zoned R-3 (Apartment) district, with the exception of the park, which is zoned P-F (Public Facilities) district. Farther out from the property, properties are zoned R-1-S (Single Family Suburban) to the south and R-1-U (Single Family Urban) to the east. A location map is included as Attachment B.

### Analysis

#### *Project description*

The subject site is currently occupied by a single-story residence with a detached garage at the rear. The property is substandard with regard to lot width, depth and area. The applicant is proposing to demolish the existing residence and garage to construct a new two-story, single-family residence with a basement

and an attached two-car garage. A data table summarizing parcel and project attributes is included as Attachment C. The project plans, the applicant's project description letter, and a variance letter are included as Attachments D, E, and F, respectively.

The proposed residence would be a four-bedroom home with two full bathrooms and one half-bathroom. The first story living space would include a living room, dining room, and an open floor kitchen and family room. Both the living room and family room would feature a fireplace, and the dining room would feature a cantilevered bay window. All four bedrooms would be located on the second floor, and one of these would be a guest bedroom. The attached garage would be partially submerged and would be located at the rear of the home on the left side, and would be accessed through Mallet Court. The basement would also include a small utility room and it, along with the garage, would be accessed through a staircase leading to the first and second floors. Per the definition of gross floor area, the garage and related circulation are excluded, as is an unfinished mechanical room and crawl space.

The floor area, building coverage, and height of the proposed residence would all be below the maximum amounts permitted by the Zoning Ordinance.

### ***Design and materials***

The applicant states that the proposed residence would be constructed in a Craftsman style using conventional wood framing but with a steeper roof and closed soffits. The proposed exterior would be clad in HardieShingle and board and batten painted siding. Brick veneer is proposed for the base and two chimneys on the right elevation. The mass of the structure would be primarily broken up by Dutch gables, two stone covered porches with columns and railings, a stairwell, and the cantilevered bay window, base and chimneys. In addition, the second floor would be set in along the left and rear elevation. Additional architectural interest would be provided by wood louvered gable vents and the use of windows of different shapes and sizes. The garage's location and below-grade placement would aid in deemphasizing it as a design feature. Four small windows on the garage door and four additional windows at the rear of the garage would help provide natural light into the partially submerged level. The proposed windows would consist of wood-clad simulated divided light windows with interior and exterior grids and spacer bars between the glass. To promote privacy, second-story windows along the side elevations would have higher sill heights, and the stairwell window on the right side would partially be frosted glass. To further promote privacy, the applicant also proposes to plant several evergreen trees along the right side elevation.

Staff believes that the scale, materials, and style of the proposed residence are consistent with the neighborhood, given the variety of architectural styles and sizes of structures in the vicinity.

### ***Variance***

As part of this proposal, the applicant is requesting a variance for the new residence to encroach into the required 20-foot separation between main buildings located on adjacent lots. The separation between the proposed residence and the adjacent existing residence at 570 Fremont Street would be approximately 15 feet. As required by the Zoning Ordinance, the variance would not exceed 50 percent of the required 20-foot separation. The applicant has provided a variance request letter that has been included as Attachment F. The required variance findings are evaluated below in succession:

1. *That a hardship peculiar to the property and not created by any act of the owner exists. In this context, personal, family or financial difficulties, loss of prospective profits and neighboring violations are not hardships justifying a variance. Further, a previous variance can never have set a precedent, for each case must be considered only on its individual merits;*

The adjacent building to the right of the subject parcel does not conform to the required interior 10-foot side setback required in the R-3 zone. The combination of an adjacent non-conforming building, the narrow width of the lot, and the fact that the site is further constrained due to it being located on a corner, which requires a 15-foot building setback, creates a uniquely small area for the permitted building footprint. This hardship is unique to the property, and has not been created by an act of the owner.

2. *That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property in the same vicinity and that a variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his/her neighbors;*

If the proposed residence were built to be 20 feet away from the main building on the neighboring lot, it could only be a maximum of 27 feet wide, likely resulting in a long narrow structure with less usable rear yard. The applicant proposes a 23.6-foot rear setback instead of the minimum required 15 feet in order to provide a larger rear yard. If the adjacent structure was in conformance with their required side setbacks, the variance would not be necessary for the proposed 31-foot wide residence. The variance would thus be necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property. Given that in general, other properties in the vicinity do not have similar constraints with regard to being a narrow, corner lot with an adjacent non-conforming structure, the requested variance would not represent a special privilege.

3. *That the granting of the variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property; and*

The setback to the building on the adjacent property would be approximately 15 feet. If the adjacent parcel is redeveloped in the future, it would be required to adhere to 10-foot side setbacks and the proposed variance would no longer be needed. The proposed project would be below the maximum allowed floor area and building coverage; and all other development standards would also be met. As such, granting of the variance would not be materially detrimental to the public health, safety, or welfare, and will not impair an adequate supply of light and air to adjacent property.

4. *That the conditions upon which the requested variance is based would not be applicable, generally, to other property within the same zoning classification.*

Although there are a few other narrow parcels in the area that may be adjacent to properties that are not in conformance with the required 10-foot interior side setbacks, these appear to be the exceptions. As such, the conditions on which the variance is based would not be generally applicable to other property in the same zoning classification.

5. *That the condition upon which the requested variance is based is an unusual factor that was not anticipated or discussed in detail during any applicable Specific Plan process.*

The property is not within any Specific Plan area. Hence, a finding regarding an unusual factor does not apply.

Due to the above factors, staff is recommending approval of the variance request, and has included findings to that effect in the recommended actions.

### ***Excavation***

In conjunction with the application to construct a new two-story home on a substandard lot, the applicant also requests use permit approval to excavate within the left side-yard setback for the new driveway that would provide access to the partially-submerged garage. The driveway would be bounded by a retaining approximately eight inches in height, and the ground would be excavated to approximately four feet below the existing grade. The Zoning Ordinance requires use permit approval for excavation to a depth of one foot or greater below the existing grade within required setbacks. Because the garage would be located on Mallet Court, which is not a busy street, the excavation would not be particularly visible. In addition, the excavation would allow the garage door to be partially submerged and therefore deemphasized as a design element.

### ***Trees and landscaping***

There are five existing trees located on or near the property. The two trees on the property itself are located in the front yard, and they are proposed to be removed. They are non-heritage trees, and do not require a permit for removal. The remaining trees are one non-heritage tree located in the front yard of the adjacent lot at 570 Fremont Street and one heritage Japanese maple tree in the rear yard. One heritage pine tree is also located behind the subject property at 1015 Mallet Court. The demolition of the existing residence and construction of the new home are not anticipated to adversely affect these trees. The applicant proposes to provide slightly more than the minimum required 50 percent of landscaping, to include several evergreen trees on the right-side elevation as noted above.

### ***Correspondence***

The applicant has indicated that the property owner met with and reviewed the plans in detail with several of his neighbors and that he met informally with others. He also indicated to staff that a note was left on the house of neighbors on Fremont Street between Florence Lane and Middle Avenue, and all of the houses on Mallet Court, but that he has not yet received a formal response. The applicant has further expressed that no changes to the plans were requested by the neighbors he met with and that every neighbor he has spoken with has been supportive of the project.

Staff received correspondence from the property owners of 564 Fremont Street, which is located two houses to the right of the project site. The house at 564 Fremont Street is a single-story house and the property owners have expressed concern with the fact that the proposed two-story structure will impact both their privacy and their garden. The owners state that they will be seen while in their garden from the new second-story windows and they find this would intrude on their privacy. In addition, they write that the proposed house would lie in the general direction of the evening sun, and they are requesting that the proposal take this into account so as to ensure that their garden is not blocked from any sunlight. Staff would like to note that there is no daylight plane requirement in the R-3 zoning district and that staff forwarded the neighbors' concerns to the applicant. However, staff is unaware as to whether a discussion

was held with the neighbors and if a solution and/or compromise was achieved. As noted earlier, staff believes the scale of the residence is compatible with other structures in the vicinity. The neighbors' letter is included as Attachment G.

### **Conclusion**

Staff believes that the scale, materials, and style of the proposed residence are compatible with those of the overall neighborhood. The variance would be based on the uniquely small area allowed for the building footprint, resulting from the adjacent non-conforming structure to the right of the property as well as the lot being narrow and on a corner. Aside from the variance reducing the minimum distance required between main buildings on adjacent parcels, the proposal would meet all Zoning Ordinance requirements. The proposed driveway excavation would facilitate a partially-submerged garage that would deemphasize parking as a design feature. Although the project would be a two-story residence, varying materials and articulations would reduce the perception of massing. Staff recommends that the Planning Commission approve the proposed use permit and variance.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Variance Letter
- G. Correspondence

**Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

None

Report prepared by:

Yesenia Jimenez, Associate Planner

Report reviewed by:

Thomas Rogers, Principal Planner

## 590 Fremont Street – Attachment A: Recommended Actions

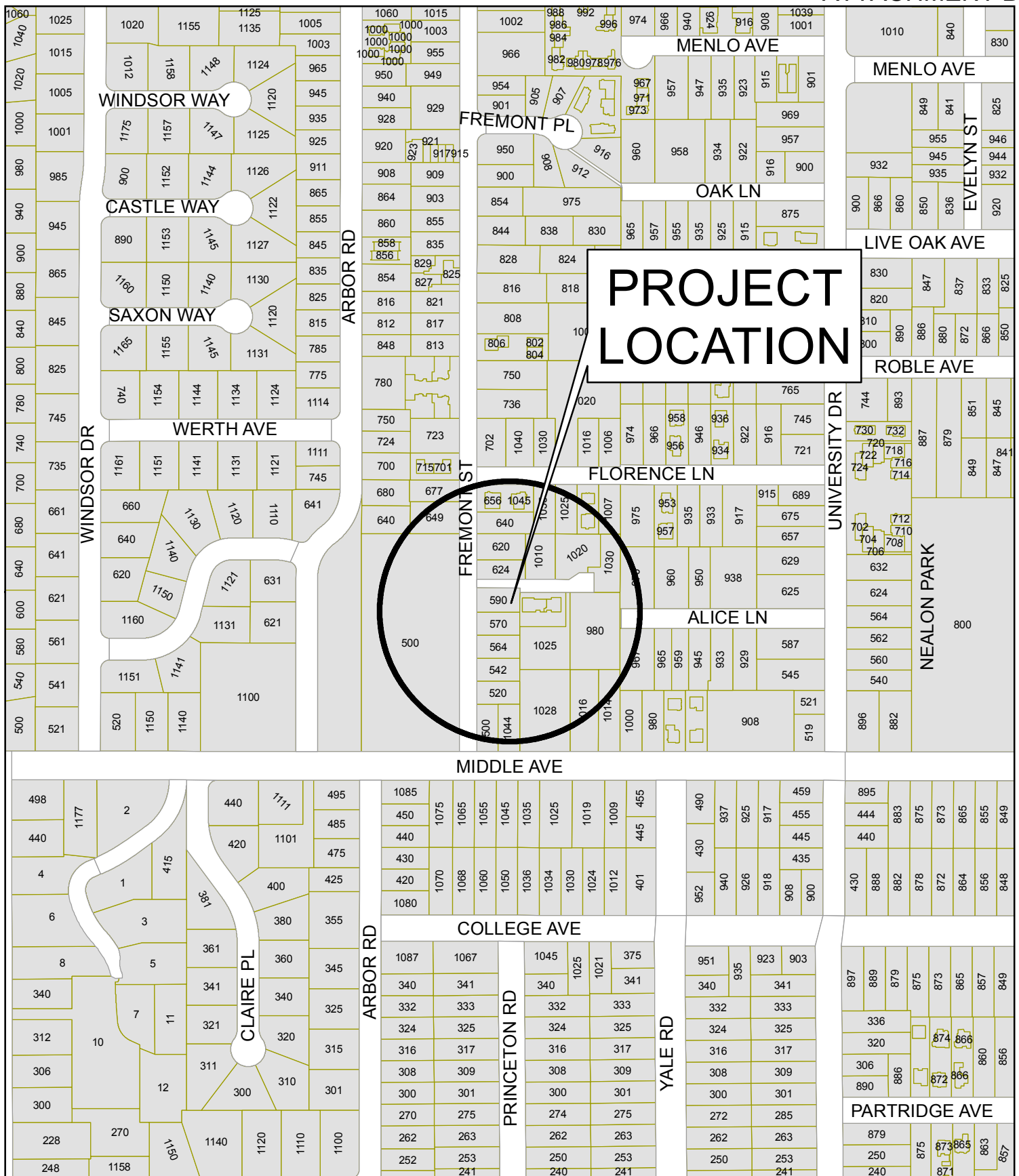
<b>LOCATION:</b> 590 Fremont Street	<b>PROJECT NUMBER:</b> PLN2016-00030	<b>APPLICANT:</b> Lawrence Kahle	<b>OWNER:</b> Nicholas Webb
<b>REQUEST:</b> Request for a use permit to construct a new two-story, single-family residence with basement on a substandard lot with regard to lot width, depth, and area in the R-3 (Apartment) zoning district. The use permit request includes a proposal to allow excavation within the left side yard setback to install a driveway and retaining wall to provide access to a below-grade garage. A request for a variance for the new residence to encroach into the required 20-foot separation between main buildings located on adjacent lots is also proposed as part of the project.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> July 11, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Make the following findings as per Section 16.82.340 of the Zoning Ordinance pertaining to the granting of variance: <ol style="list-style-type: none"> <li>a. The adjacent building to the right of the subject parcel does not conform to the required interior 10-foot side setback required in the R-3 zone. The combination of an adjacent non-conforming building, the narrow width of the lot, and the fact that the site is further constrained due to it being located on a corner, creates a uniquely small area for the permitted building footprint. This hardship is unique to the property, and has not been created by an act of the owner.</li> <li>b. If the proposed residence were built to be 20 feet away from the main building on the neighboring lot, it could only be a maximum of 27 feet wide, likely resulting in a long narrow structure with less usable rear yard. The applicant proposes a 23.6-foot rear setback instead of the minimum required 15 feet in order to provide a larger rear yard. If the adjacent structure was in conformance with their required side setbacks, the variance would not be necessary for the proposed 31-foot wide residence. The variance would thus be necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property. Given that in general, other properties in the vicinity do not have similar constraints with regard to being a narrow, corner lot with an adjacent non-conforming structure, the requested variance would not represent a special privilege.</li> <li>c. The setback to the building on the adjacent property would be approximately 15 feet. If the adjacent parcel is redeveloped in the future, it would be required to adhere to 10-foot side setbacks and the proposed variance would no longer be needed. The proposed project would be below the maximum allowed floor area and building coverage and all other development standards would also be met. As such, granting of the variance would not be materially detrimental to the public health, safety, or welfare, and will not impair an adequate supply of light and air to adjacent property.</li> </ol> </li> </ol>			

590 Fremont Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 590 Fremont Street	<b>PROJECT NUMBER:</b> PLN2016-00030	<b>APPLICANT:</b> Lawrence Kahle	<b>OWNER:</b> Nicholas Webb
<b>REQUEST:</b> Request for a use permit to construct a new two-story, single-family residence with basement on a substandard lot with regard to lot width, depth, and area in the R-3 (Apartment) zoning district. The use permit request includes a proposal to allow excavation within the left side yard setback to install a driveway and retaining wall to provide access to a below-grade garage. A request for a variance for the new residence to encroach into the required 20-foot separation between main buildings located on adjacent lots is also proposed as part of the project.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> July 11, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b> <ul style="list-style-type: none"><li>d. Although there are a few other narrow parcels in the area that may be adjacent to properties that are not in conformance with the required 10-foot interior side setbacks, these appear to be the exceptions. As such, the conditions on which the variance is based would not be generally applicable to other property in the same zoning classification.</li><li>e. The property is not within any Specific Plan area. Hence, a finding regarding an unusual factor does not apply.</li></ul> <p>4. Approve the use permit and variance subject to the following <i>standard</i> conditions:</p> <ul style="list-style-type: none"><li>a. Development of the project shall be substantially in conformance with the plans prepared by Metropolis Architecture, consisting of 11 plan sheets, dated received June 29, 2016, and approved by the Planning Commission on July 11, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li><li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li><li>c. Prior to building permit issuance; the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li><li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li><li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li><li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li></ul>			

590 Fremont Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 590 Fremont Street	<b>PROJECT NUMBER:</b> PLN2016-00030	<b>APPLICANT:</b> Lawrence Kahle	<b>OWNER:</b> Nicholas Webb
<b>REQUEST:</b> Request for a use permit to construct a new two-story, single-family residence with basement on a substandard lot with regard to lot width, depth, and area in the R-3 (Apartment) zoning district. The use permit request includes a proposal to allow excavation within the left side yard setback to install a driveway and retaining wall to provide access to a below-grade garage. A request for a variance for the new residence to encroach into the required 20-foot separation between main buildings located on adjacent lots is also proposed as part of the project.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> July 11, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b> <div><div></div><div>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</div></div>			

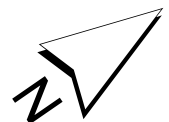


# CITY OF MENLO PARK

## LOCATION MAP

### 590 FREMONT STREET

DRAWN: TAS CHECKED: YJ DATE: 07/11/16 SCALE: 1" = 300' SHEET: 1



## 590 Fremont Street – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	5,651 sf	5,651 sf	7,000 sf min.
Lot width	56.7 ft.	56.7 ft.	70 ft. min.
Lot depth	99.6 ft.	99.6 ft.	100 ft. min.
Setbacks			
Front	20 ft.	29.4 ft.	20 ft. min.
Rear	23.7 ft.	33.4 ft.	15 ft. min.
Side (left)	15 ft.	5.3 ft.	15 ft. min.
Side (right)	10 ft.	16.1 ft.	10 ft. min.
Building coverage	1,605.8 sf 28.4 %	1,653.1 sf 29.3 %	1,695.3 sf max. 30 % max.
FAR (Floor Area Ratio)	2,542.8 sf	1,653.1 sf	2,542.95 sf max.
Landscaping	3,300.2 sf 58.4 %	3,263 sf 57.7 %	2,825.5 sf min 50 % min
Paving	617.4 sf 10.9 %	735 sf 13 %	1,130.2 sf max 20 % max
Square footage by floor	1,412.7 sf/1st 1,130.1 sf/2nd 450.9 sf/garage 75.1 sf/basement 193.1 sf/porches	1,147 sf/1st 507.2 sf/garage 109.3 sf/porches	
Square footage of buildings	3,261.9 sf	1,763.5 sf	
Building height	33.7 ft.	14 ft.	35 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees	2*	Non-Heritage trees	3**	New Trees	TBD
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	2	Total Number of Trees	TBD

\* Includes two heritage trees on adjacent properties

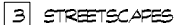
\*\*Includes one non-heritage trees on adjacent property

STECATA

REMOVE AND REPLACE ANY CRACKED, DEPRESSSED, LIFTED, OR OTHERWISE DAMAGED COMPONENTS IN THE VALVE GYLINDER, FERRING STRUT, CUP, BUTTER, BEEWALK, ETC.) ALONG THE ENTIRE PROJECT PROFILES.

ALL CRACKS IN PROVIDORS IN WHICH ARE AT AGED AS RESULT OF CONSTRUCTION SHALL BE REPAIRED.

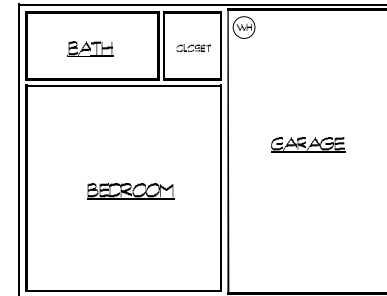
ALL CORROSION FROM FERT FROM THEM IN BERNER SECTION SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION THROUGH THE PUBLIC RIGHT OF WAY.





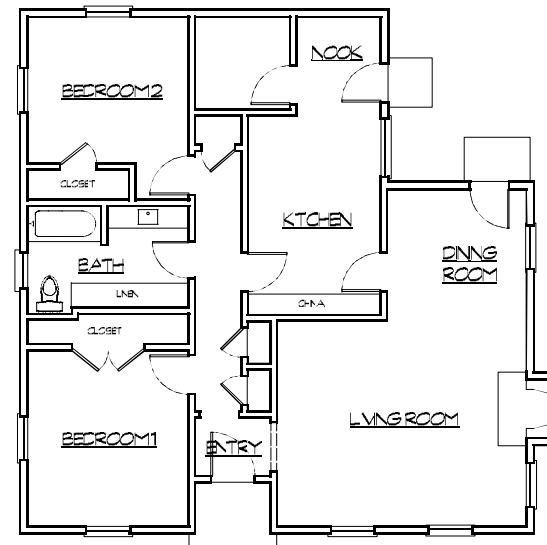
3 EXISTING PHOTOS

1/4"=1'-0"



2 EXISTING GARAGE FLOOR PLAN

1/4"=1'-0"



1 EXISTING FIRST FLOOR PLAN

1/4"=1'-0"



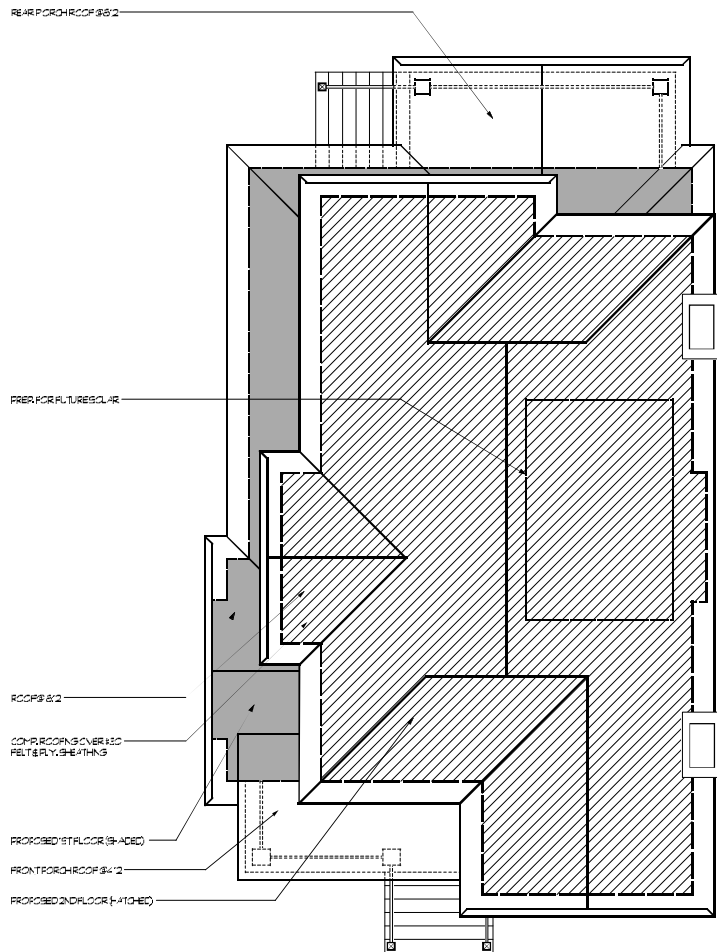
PLANS REV.  
7-2-2016  
FOR B-1  
28 JUN 2016



445 N. Wilcox Road  
Suite 100  
Menlo Park, CA 94025  
650-325-1211

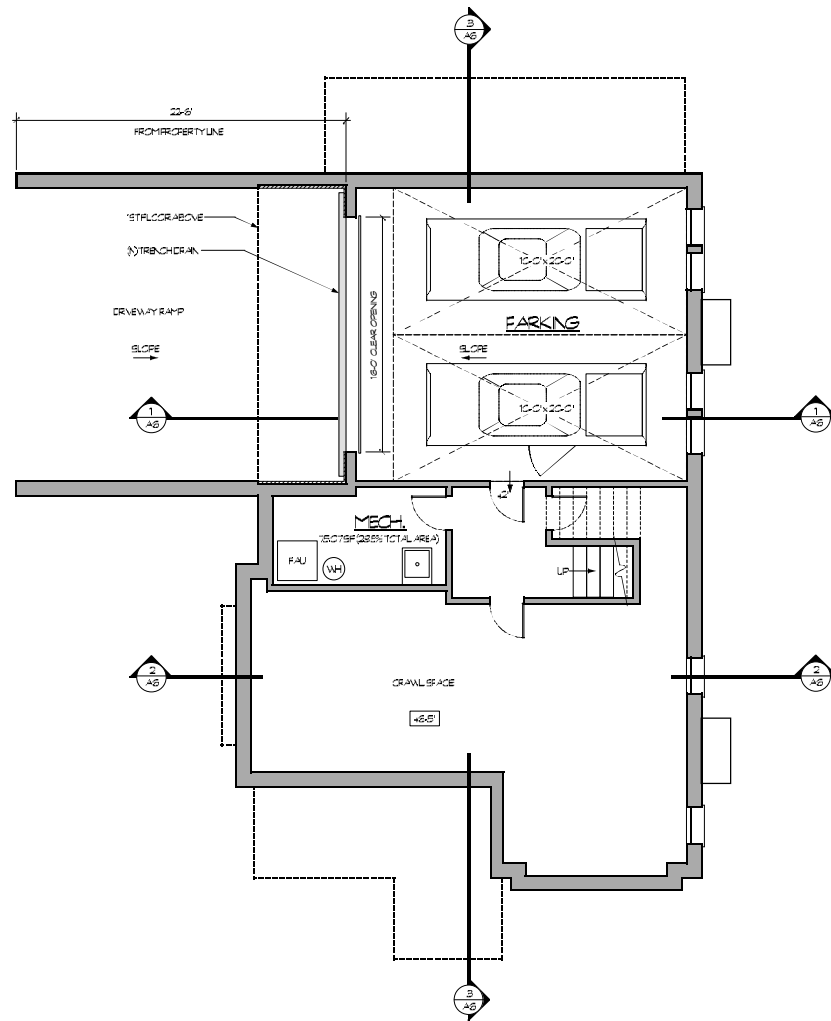
WEBB RESIDENCE  
590 FREMONT STREET  
MENLO PARK, CALIFORNIA

Date: 18 FEB 2016  
Scale: 1/8"=1'-0"  
Drawn: 1/1/16  
Lib: 1/1/16  
Sheet: A2



2 PROPOSED ROOF PLAN

1/4" = 1'-0"



1 PROPOSED GARAGE FLOOR PLAN

1/4" = 1'-0"



PLANS REV.  
12-20-2016  
PROJECT  
28 JUN 2016

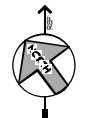
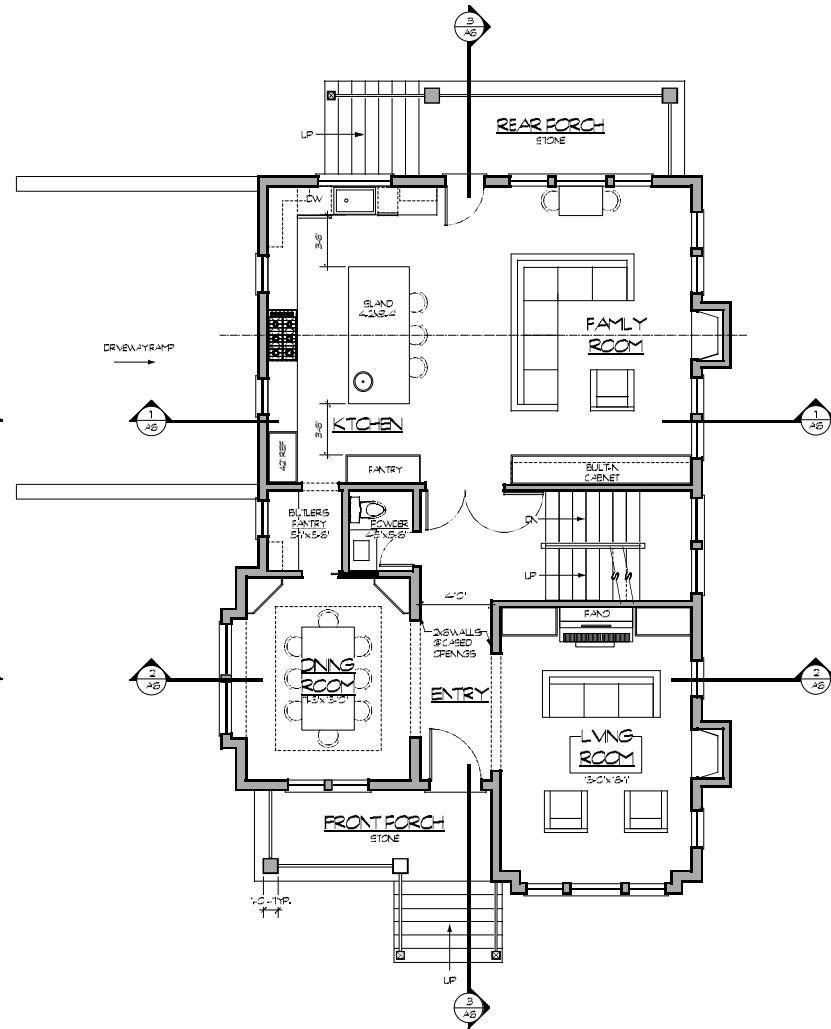
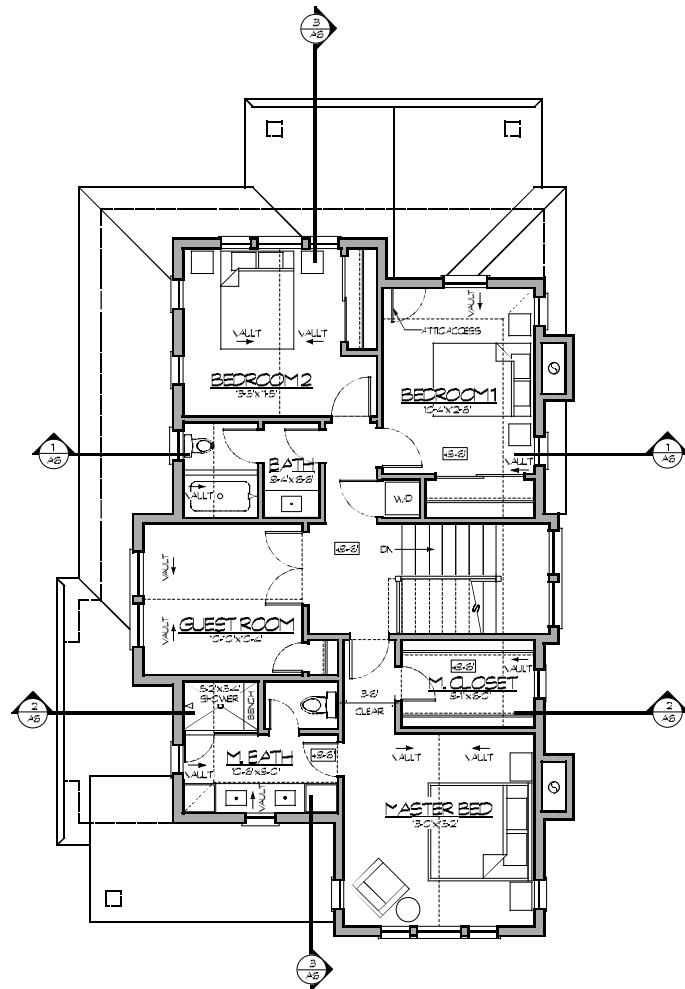


445 N. Wilcox Road  
Suite 100  
Menlo Park, CA 94025  
650-325-2271

WEBB RESIDENCE  
590 FREMONT STREET  
MENLO PARK, CALIFORNIA

Date 18 FEB 2016  
Scale NOTES  
Down 1/8" = 1'-0"  
Up 1/8" = 1'-0"  
Sheet

A3



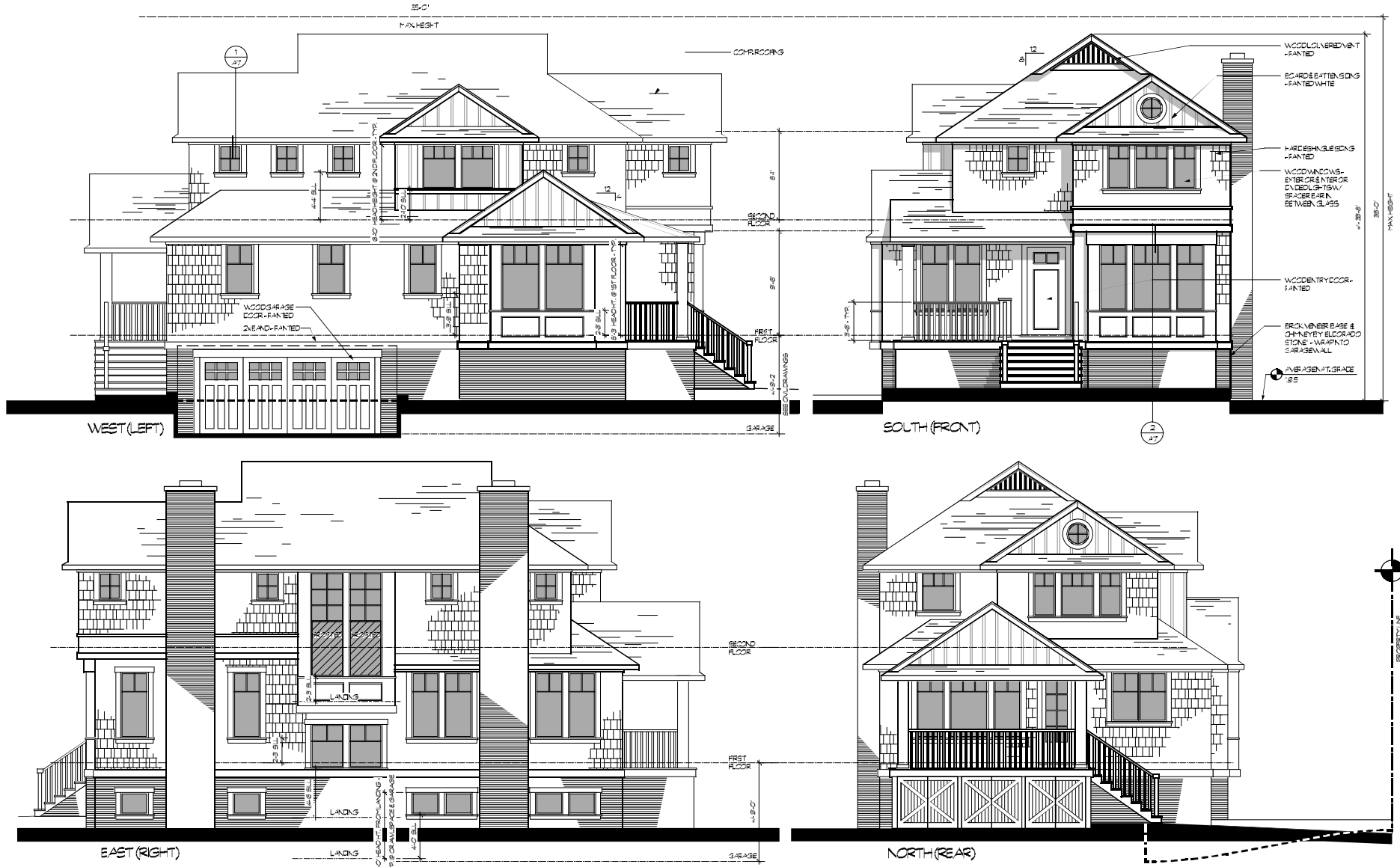
PLANS REV.  
12-20-06  
FOR BENT  
28 JUN 2006



445 N. Wilcox Road  
Suite 100  
Menlo Park, CA 94025  
(650) 325-1211

WEBB RESIDENCE  
590 FREMONT STREET  
MENLO PARK, CALIFORNIA

Date: 12 FEB 2006  
Scale: 1/4" = 1'-0"  
Drawn: MTD  
Lb: WBS  
Sheet: A4



1 PROPOSED ELEVATIONS

PLANNING  
12-20-2020  
12-20-2020  
12-20-2020



445 N. Wilcox Road  
Suite 100  
Menlo Park, CA 94025  
(650) 325-1211

WEBB RESIDENCE  
590 FREMONT STREET  
MENLO PARK, CALIFORNIA

Date: 12/20/2020  
Scale: 1/8" = 1'-0"  
Drawn: 12/20/2020  
Sheet: A5

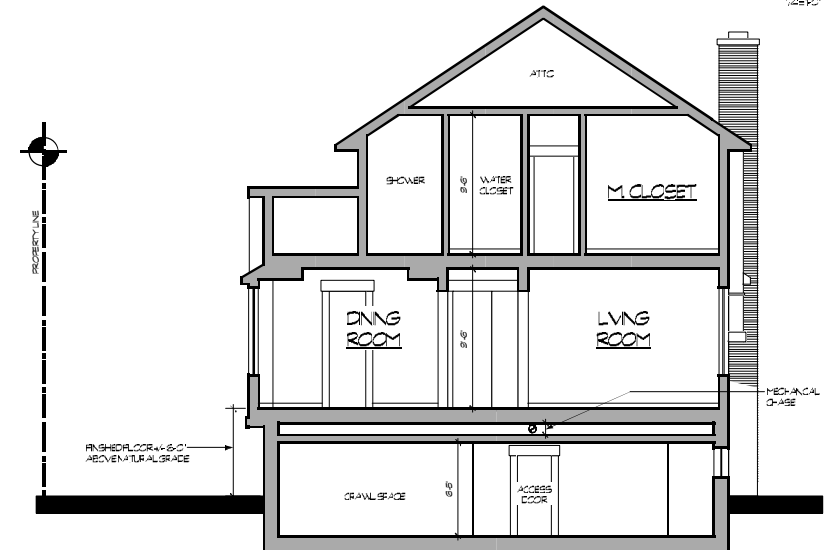
A5



3 PROPOSED SECTION



1 PROPOSED SECTION



2 PROPOSED SECTION



PLANS REV.  
12-20-20  
FOR BENT  
28 JUN 2020

metropolis  
ARCHITECTURE

445 N. Wilcox Road  
Suite 100  
Menlo Park, CA 94025  
(650) 321-1111

WEBB RESIDENCE  
590 FREMONT STREET  
MENLO PARK, CALIFORNIA

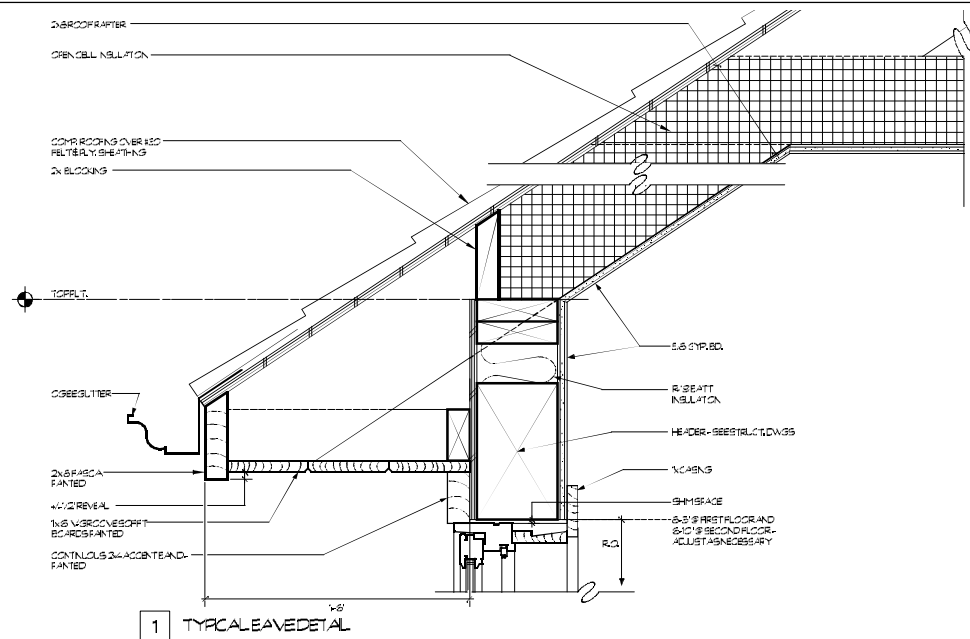
Date 10 FEB 2020

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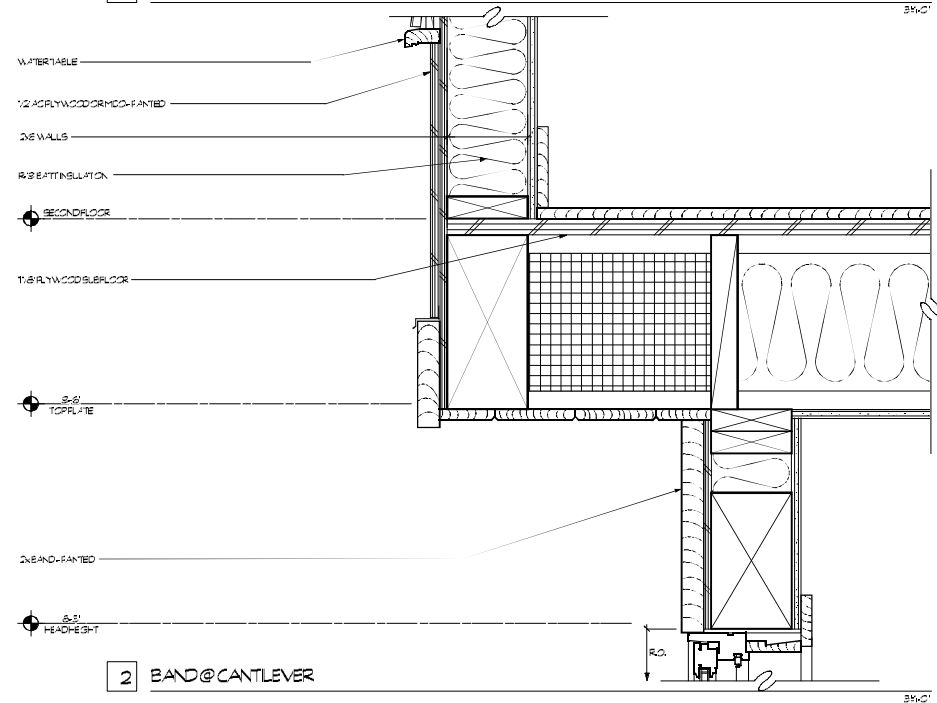
Drawn 10 FEB 2020

Sheet 10 FEB 2020

AG



1 TYPICAL EAVE DETAIL



2 BAND @ CANTILEVER

PLANNING  
DESIGN  
CONSTRUCTION  
28 JUN 2018

metropolis  
ARCHITECTURE

445 N. Wilcox Road  
Suite 100  
Menlo Park, CA 94025  
(650) 325-1211

WEBB RESIDENCE  
590 FREMONT STREET  
MENLO PARK, CALIFORNIA

Date 18 FEB 2018

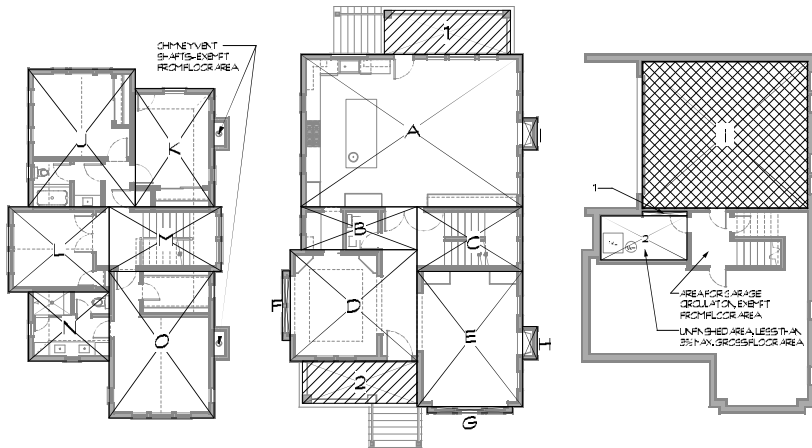
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Drawn 18140

Lib 18122

Sheet

A7



2 PROPOSED FLOOR AREA DIAGRAMS

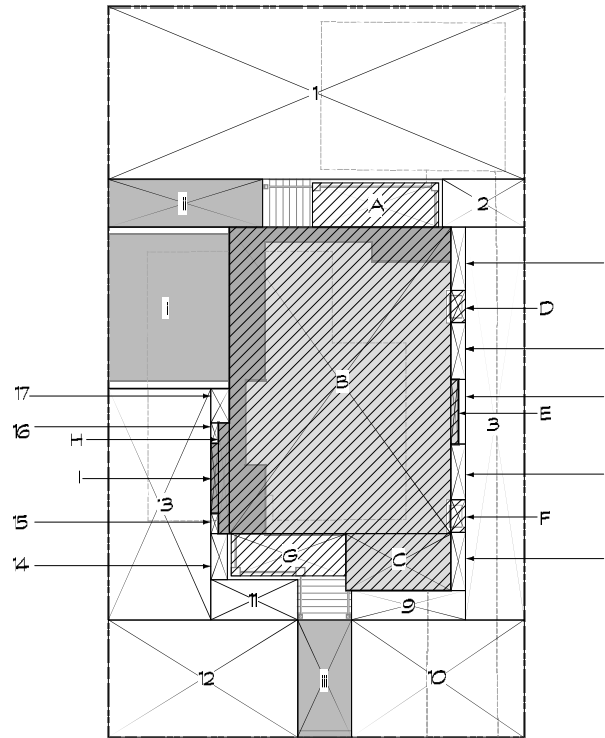
1/8"=1'-0"

2ND FLOOR CALCULATIONS		
	DIMENSION	SQUARE FOOTAGE
TOTAL	14'-7" X 8'-8"	127.77 SF
	15'-8" X 8'-1"	128.00 SF
	15'-8" X 8'-1"	135.44 SF
	15'-4" X 8'-1"	125.44 SF
	14'-0" X 8'-8"	123.24 SF
	14'-4" X 12'-0"	172.80 SF
FLOOR AREA:		1320.79 SF

1ST FLOOR CALCULATIONS		
	DIMENSION	SQUARE FOOTAGE
TOTAL	30'-8" X 20'-8"	634.25 SF
	15'-0" X 5'-1"	76.75 SF
	14'-4" X 8'-0"	115.20 SF
	14'-4" X 5'-2"	75.68 SF
	14'-4" X 8'-8"	125.68 SF
	14'-0" X 8'-8"	123.24 SF
FLOOR AREA:	48'-8" X 20'-0"	976.00 SF
	20'-0" X 4'-0"	80.00 SF
	20'-0" X 4'-0"	80.00 SF
FLOOR AREA:		1136.00 SF
TOTAL	DIMENSION	SQUARE FOOTAGE
	1 14'-8" X 8'-0"	120.89 SF
	2 5'-8" X 5'-8"	33.54 SF

GROSS FLOOR AREA	
	SQUARE FOOTAGE
1st FA	1136.00 SF
2nd FA	1320.79 SF
GROSS FA	2456.79
* FLOOR AREA MEASURED TO EXTERIOR OF WALL SHEATHING FINISH MATERIALS	

BASEMENT CALCULATIONS		
	DIMENSION	SQUARE FOOTAGE
TOTAL	8'-2" X 0'-0"	0.00 SF
	14'-0" X 5'-1"	71.75 SF
FLOOR AREA:		71.75 SF
TOTAL	DIMENSION	SQUARE FOOTAGE
	1 22'-7" X 20'-0"	453.87 SF



FREMONT STREET

1 PROPOSED SITE PLAN AREA DIAGRAM

1/8"=1'-0"



STEP CALCULATIONS		
	DIMENSION	SQUARE FOOTAGE
TOTAL COVERED AREA	14'-8" X 8'-0"	120.89 SF
	15'-8" X 8'-0"	128.00 SF
	15'-8" X 8'-1"	135.44 SF
	15'-4" X 8'-1"	125.44 SF
	14'-0" X 8'-8"	123.24 SF
	14'-4" X 12'-0"	172.80 SF
	14'-0" X 8'-8"	123.24 SF
	14'-4" X 8'-8"	125.68 SF
	14'-4" X 5'-2"	75.68 SF
	14'-4" X 8'-0"	115.20 SF
TOTAL COVERED AREA:		1526.64 SF
TOTAL FLOOR AREA	DIMENSION	SQUARE FOOTAGE
	1 22'-0" X 8'-8"	192.00 SF
	1 14'-8" X 8'-0"	120.89 SF
TOTAL FLOOR AREA:		312.89 SF
TOTAL LANDSCAPED AREA	DIMENSION	SQUARE FOOTAGE
	1 8'-8" X 23'-7"	207.56 SF
	1 14'-8" X 8'-8"	125.68 SF
	1 8'-0" X 15'-7"	125.21 SF
	1 20'-0" X 8'-8"	172.80 SF
	1 14'-0" X 8'-1"	115.20 SF
	1 14'-0" X 8'-1"	115.20 SF
	1 14'-0" X 8'-1"	115.20 SF
	1 14'-0" X 8'-1"	115.20 SF
	1 14'-0" X 8'-1"	115.20 SF
	1 14'-0" X 8'-1"	115.20 SF
	1 14'-0" X 8'-1"	115.20 SF
	1 14'-0" X 8'-1"	115.20 SF
	1 14'-0" X 8'-1"	115.20 SF
TOTAL LANDSCAPED AREA:		3300.29 SF

PLANNING  
7/2/2016  
PROJECT  
28 JAN 2016

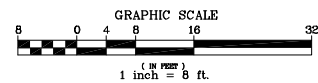


445 N. Wilcox Road  
Suite 100  
Manteca, CA 95231  
(916) 225-1211

WEBB RESIDENCE  
590 FREMONT STREET  
MENLO PARK, CALIFORNIA

Date 10/18/2016  
Scale 1/8"=1'-0"  
Drawn 10/18/2016  
1/8"=1'-0"  
Sheet 1/8"=1'-0"

AB



12-4-2014

MALLET COURT  
(19.19' WIDE)

FREMONT ST.  
(40' WIDE)

N56°39'00"W  
56.71'

N56°39'00"E  
158.74'

Middle Ave.

House

Garage

S33°23'00"W  
99.64'

S56°37'00"E  
56.71'

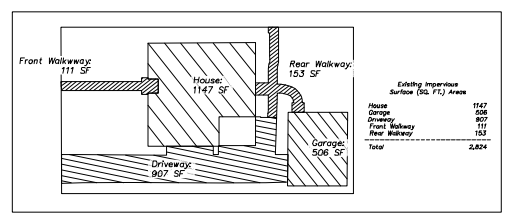
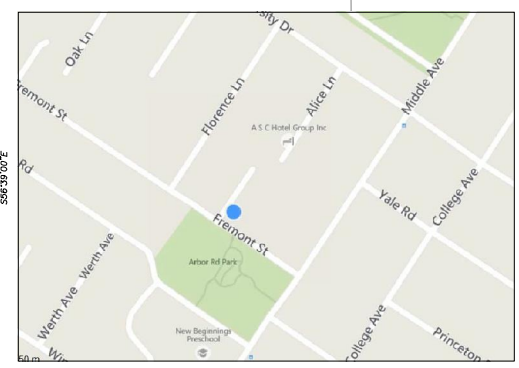
**ABBREVIATIONS**  
AC ASPHALT  
BW BACK OF WALK  
CONC. CONCRETE  
TC TOP OF CURB  
FL FLOW LINE  
SSMH SANITARY SEWER MANHOLE  
P.U.E. PUBLIC UTILITY EASEMENT

**LEGEND**

- FOUND POINT AS NOTED
- WATER METER OR WATER VALVE BOX
- EDGE OF AC PAVING
- ⊕ FIRE HYDRANT
- TREE - TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN, TREE = DECIDUOUS UNLESS NOTED OTHERWISE
- ⊕ TOP OF CURB
- ⊕ WATER VALVE
- FENCE
- OVERHEAD WIRES
- ⊕ POWER POLE
- ⊕ SPOT ELEVATION
- SIGN
- SANITARY SEWER CLEAN OUT
- POLE ANCHOR
- TREE Drip Line POINTS TOWARDS TREE TRUNKS. TREE Drip LINES ABOVE PROPERTY LOCATED AS SHOWN.

**NOTES**

THIS IS A FIELD BASED BOUNDARY SURVEY.  
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.  
UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.  
BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.  
DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. (STUCCO/SIDING)  
FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).  
BENCHMARK: S.C.V.W.D. #458 ELEVATION: 76.75' (88 DATUM, 2010 ADJUSTMENT)  
A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY L. WADE HAMMOND LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.  
SITE LIES IN FLOOD ZONE X PER FIRM MAP



**SURVEY**  
590 FREMONT ST.  
MENLO PARK  
APN: 071-293-170  
DOC 2010-153420  
LOT AREA: 5,651 SQ. FT. NET



**L. Wade Hammond**  
Licensed Land Surveyor  
No. 6163  
36660 Newark Blvd., Suite C  
Newark, California 94560  
Tel: (510) 578-6112 Fax: (510) 991-8054  
wag@wadehammondpls.com

## GENERAL UTILITY SYSTEM REQUIREMENTS:

1. ALL TRENCHES SHALL BE BACK FILLED PER CITY STANDARDS.
2. CLEANOUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LOCATION PRE-SPECIFIED IN THE DRAWINGS WHICH IS APPROXIMATE.
3. CONTRACTOR SHALL STAKE LOCATION OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTER, SATELLITE DRAIN, TRANSFORMER, GAS METER, ETC.) AND MEET WITH CLIENT TO REVIEW LOCATION PRIOR TO INSTALLATION. PLANNING DEPARTMENT MUST SPECIFICALLY AGREE WITH LOCATION PRIOR TO PROCEEDING WITH THE INSTALLATION.
4. CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK, THE UTILITIES SHOWN ON THE CIVIL DRAWINGS, AND THE SITE POWER, CONDENSERS AND LIGHTING SHOWN ON THE ELECTRICAL PLANS. THE FIRE SPRINKLER SYSTEM SHALL BE INCLUDED AS DESIGNED BY THE DISAGREED UNDERGROUND FIRE SPRINKLER CONTRACTOR.
5. CATHODIC PROTECTION MAY BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH THE SOIL, IF RECOMMENDED BY A GEOTECHNICAL REPORT. CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH OWNERS PROJECT MANAGER.
6. COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSES INTENDED.
7. UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND SO THEY BASED UPON RECORD INFORMATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CLIENT, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, AGREES TO ASSUME LIABILITY TO HOLD UNDERGROUND HAZARDOUS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED. NOT INDICATED ON THE PUBLIC RECORDS EXAMINED. LOCATED AT VARIANCE WITH THESE RECORDS OR SHOWN ON RECORDS EXAMINED.
8. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE UPRISER LINE. IF THE CONTRACTOR WISHES TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.
9. EXISTING UTILITY CROSSINGS OF NEW PIPELINES ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. GAS, WATER AND SEWER SERVICE LATERALS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL UTILITY CROSSINGS (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO HIS OPERATION.
10. VERTICAL SEPARATION REQUIREMENTS:
  - A MINIMUM OF 56.00 INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY TYPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE OVER EXISTING SANITARY SEWER PIPELINES.
  - WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EXISTING AND/OR NEW SANITARY SEWER PIPELINES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 15 MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.

11. HORIZONTAL SEPARATION REQUIREMENTS:
  - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 3 FEET. EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 15 MINIMUM, UNLESS OTHERWISE NOTED.
  - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND INDUSTRY VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
13. ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THEIR ENDS CAPPED OUTSIDE OF THE BUILDING ENVELOPE.

## STORM DRAIN REQUIREMENTS:

1. PRIVATE STORM DRAIN LINE 4 INCH THROUGH 2 INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON TRAFFIC AREAS SHALL BE POLYETHYLENE GLYCOL (PE) 35 WHITE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM D2665 FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL STORM DRAIN MANHOLE TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH IN ACCORDANCE WITH CITY STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS. CURTISE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
2. PRIVATE STORM DRAIN LINE 6 INCH THROUGH 2 INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYETHYLENE GLYCOL (PE) 350, PATED FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL STORM DRAIN MANHOLE TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH IN ACCORDANCE WITH CITY STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS. CURTISE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
3. ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
4. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
5. FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
6. DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
7. INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON PLANS.
8. ALL DOWNSPUTS SHALL DISCHARGE DIRECTLY ONTO AN ADJACENT PERVIOUS SURFACES OR SPLASH BASINS UNLESS OTHERWISE NOTED ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWNSPOUTS.

PRELIMINARY EARTHWORK  
QUANTITIES (CUBIC NUMBERS)  
135 C.Y. CUT  
10 C.Y. FILL  
TOTAL TO BE MOVED: 145 C.Y. DISTURBANCE

CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES. EARTHWORK QUANTITIES SHOWN ARE PRELIMINARY AND FOR PLANNING PURPOSES ONLY.

## NOTES:

1. CONTRACTOR SHALL VERTICALLY LOCATE THE EXISTING SEWER LATERAL WITHIN THE SCOPE OF WORK, BRING DISCREPANCIES TO THE CIVIL ENGINEER VIA FORMAL, PRIOR TO COMMENCING ACTIVITIES (PARTICULARLY GRADING OPERATIONS) WITHIN THE AREAS WHERE THE SYSTEM CANNOT BE DETECTED.
2. AREAS LACKING TOPOGRAPHIC INFORMATION (ELEVATIONS) HAVE BEEN INTERPOLATED USING STANDARD ENGINEERING METHODS. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AT CONFORMANCE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND REPORT BACK ANY DISCREPANCIES TO THE CIVIL ENGINEER.
3. ALL TREE REMOVAL SHALL BE PERFORMED AS SHOWN ON ARCHITECTURAL SHEETS AND FOLLOWING THE ARBORIST REPORT FOR THE PROJECT (IF APPLICABLE). THIS INCLUDES BUT IS NOT LIMITED TO GRADING OPERATIONS ADJACENT TO EXISTING TREES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE THE INTEGRITY OF TREES TO REMAIN WHICH SHALL NOT BE AFFECTED BY CONSTRUCTION ACTIVITIES.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
5. VISION TRIANGLE: 10' BEHIND THE PROPERTY LINE AND 10' ALONG THE PROPERTY LINE AT THE EDGE OF THE DRIVEWAY. 60 DEGREE TRIANGLE (AS HATCHED). STRUCTURES ARE LIMITED TO 15 FT HIGH WITHIN THE TRIANGLE ZONE.

SEE SHEETS C0.0 AND  
C0.1 FOR ADDITIONAL  
NOTES AND LEGENDS



## GRADING REQUIREMENTS:

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5% UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORTHOLES, LANDSCAPING TRENCHES 20" x 12" PER FOOT AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
2. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
3. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY. THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED CONSTRUCTION OF THE CHANGING THE BID ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM AT A SEPARATE DEMOLITION CONTRACT HAS BEEN MADE TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
4. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S TESTING AGENCY TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
5. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
6. COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CATHODIC) WIRING AND SITE LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, CONCRETE OR CONCRETE SURFACING. SEE LANDSCAPING AND SITE ELECTRICAL DRAWINGS.
7. DO NOT ADJUST GRADINGS ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
8. SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (LEAVES, TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS. DISPOSE OF ALL OTHER MATERIALS AS APPROVED BY THE LANDSCAPE SERVICES. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
9. ROUGH GRADING TO BE WITHIN 7" AND FINISH GRADING TO BE WITHIN 0.005'. HOWEVER CONTRACTOR SHALL NOT CONSIDER ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
10. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADINGS, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADDED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE INCH IN A FOOT. WHERE GRADDED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTOR SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT HIS OWN COST TO THE CLIENT.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND/OR EXISTING TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING. PROCEED WITH CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
12. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADJACENT CUTBACK TO PREVENT SHIFTING OF STEEL PLATING IF NOT HOT ASPHALT REQUIRED TO PROTECT OVER THE END OF THE WORKING DAY.
13. STRUCTURE WALLS PER CIRC 2004.11.2.2 WOOD SUPPORTED BY FOUNDATION PROVIDE B MINIMUM CLEAR TO EXTERIOR GRADE.

## ABBREVIATIONS:

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
RPPD	BACK FLOW PREVENTION DEVICE
BD	BREKESLOT TRENCH DRAIN
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDV	DOUBLE DETECTOR CHECK VALVE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWNSPOUT
DW	DOMESTIC WATER LINE
DWL	DRYWELL CATCH BASIN
DWY	DRIVEWAY
E	EXISTING
EG	EXISTING GRADE
EL	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FACE	FACE OF CURB ELEVATION
FD	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FW	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GE	GRADE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
IN	INVERT ELEVATION
IT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
NEW	NEW
PV	POST INDICATOR VALVE
PRG	PARALLEL
PC	POINT OF CONNECTION
RET	RETAINING WALL
S	SLOPE
SAD	SEE ARCHITECTURAL PLANS
SD	STORM SUB DRAIN
SDCO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SLP	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SLP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
UD	UNDERLAIN DRAIN
UDSD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER



FOR PLAN REVIEW  
ONLY

NOT FOR  
CONSTRUCTION

DATE:  
03/11/2016  
03/11/2016

DESCRIPTION:  
PLAN REVIEW  
PLAN REVIEW

WEBB RESIDENCE  
590 FREMONT STREET  
MENLO PARK, CA 94301

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PROJECT No: 15-0019  
DATE: 01/18/2016  
SCALE: 1" = 10'  
DESIGN/DRAWN: MK  
CHECKED: MK

SHEET TITLE  
PRELIMINARY  
GRADING &  
DRAINAGE  
PLAN  
C1.0



NOT FOR  
CONSTRUCTION

DESCRIPTION:	DATE:
- PLANNING SUBMITTAL	02/11/2016
- PLANNING SUBMITTAL	05/11/2016

**WEBB RESIDENCE**  
590 FREMONT STREET  
MENLO PARK, CA 94301

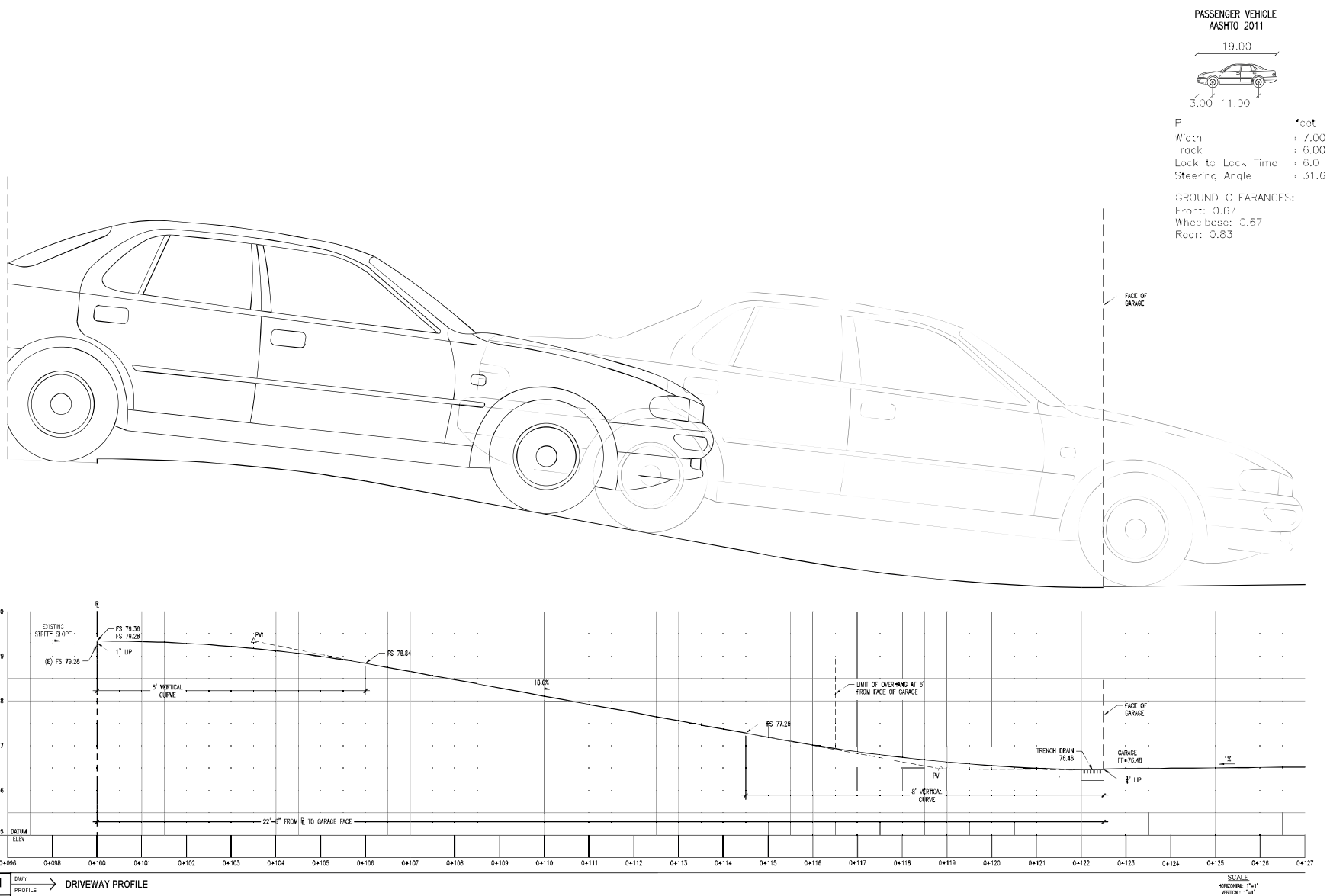
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PROJECT No:	15-9819
DATE:	01/18/2016
SCALE:	AS SHOWN
DESIGN/DRAWN:	MK
CHECKED:	IK

SHEET TITLE

## PRELIMINARY DETAILS

## C2.0



May 4, 2016

### 590 FREMONT STREET PROJECT DESCRIPTION

This application proposes to build a new two-story Craftsman single-family residence at the corner of Fremont Street (across from Jack W. Lyle Park) and a small public street- Mallet Court. The existing single-story house and detached garage will be removed, and the proposed residence will be constructed using conventional wood framing with a partially submerged basement that serves as the garage.

This application is also seeking a variance for relief from a requirement for a 20-foot minimum structure-to-structure separation because the adjacent house at 570 Fremont Street encroaches about 4'-5" into its own side yard setback. Where the proposed structure is closest to the neighbor's house at 570 Fremont Street, the lower windows at the staircase will be frosted to provide natural light while maintaining privacy for the owners and their neighbors. In addition, mutually agreeable landscaping will be installed.

The existing residence currently encroaches about 9'-7" into the 15-foot side setback along Mallet Court. The proposed residence will remove that encroachment with the exception of a 1-foot cantilevered bay in the Dining Room.

### NEIGHBORHOOD OUTREACH

Nick and Laura Webb met with the owners or residents at 570 Fremont Street, 620 Fremont Street and 1015 Mallet Court and reviewed the proposed plans in detail. No changes were requested although landscape privacy screening facing 570 Fremont Street is added to address any privacy concerns.

In addition, a note was left at each house on Fremont Street between Florence Lane and Middle Avenue and all the houses on Mallet Court.

Nick and Laura Webb have spoken informally with many neighbors on Fremont Street and Mallet Court and have not received any response, but very neighbor they have spoken with has been supportive.

### ARCHITECTURAL STYLE

The proposed two-story residence will be built in a Craftsman style, but with a steeper roof pitch and closed soffits. In addition, the mass of the roof structure will be broken up with Dutch gables. A covered porch at both the front and rear will provide a transition between interior and exterior spaces as well as reduce the apparent height of the second floor.

The majority of the siding will be painted wood shingles with a brick base & chimneys, and painted board & batten accents with white decorative trim. The wood windows will use simulated divided lites with interior spacer bars.

June 29, 2016

Community Development Department  
Planning Division  
701 Laurel Street  
Menlo Park, CA 94025

Project: Variance application for 590 Fremont Street

Dear Planning Commission,

We are requesting a variance for a new two-story residence at 590 Fremont Street. The requested variance is based upon the following findings:

1. The hardship at 590 Fremont Street is the combination of three things: a narrow lot, a corner lot, and the existing structure on an adjacent property that is built within its 10'-0" side setback. Menlo Park's Zoning Ordinance 16.20.030 does not allow a residence to be built within 20'-0" of an adjacent structure in the R-3 district. Because the residence at 570 Fremont Street encroaches approximately 4'-5" into its side yard setback, the proposed structure at 590 Fremont Street would need to be 14'-5" from the property line to conform to the separation requirement (or 4'-5" beyond the minimum 10-foot setback). As a result, only about 27'-3" of lot width remains as buildable area, instead of 31'-8.5".

This variance will allow the new structure to encroach into the 20-foot separation for an approximate separation of 15'-0" between structures. (Please note that the two-story wall on the East side of the proposed residence is 10'-6" from the property line, or 6-inches beyond the minimum setback.) The new two-story staircase, which cantilevers 12" beyond the East wall, will be approximately 15-feet from the existing adjacent structure.

2. The variance is necessary to use the full width of the buildable area. If the structure on the adjacent property were in compliance with the setbacks, the proposed project would be able to use all of buildable area. Therefore, granting this variance does not allow a special privilege.

3. Granting this variance will not affect the public health, safety or welfare, and does not impair adequate light and air to the adjacent properties.

4. The variance request is based primarily on the nonconformance of the adjacent structure. Since other properties are generally located next to compliant adjacent structures or have more width for buildable area, this variance would not apply to other properties within the same zoning designation.

5. This property is not in a Specific Plan zone.

**From:** Samuel Lee <sslee@scu.edu>  
**Sent:** Wednesday, April 06, 2016 6:59 PM  
**To:** Jimenez, Yesenia  
**Cc:** Petra Persson  
**Subject:** Regarding: Use Permit and Variance/Lawrence Kahle/590 Fremont Street

Dear Ms Jimenez,

Our names are Petra Persson and Samuel Lee and we are the residents at 564 Fremont St, which is two houses down from 590 Fremont St. Our house is, in fact, the "twin house" that has the same design and layout as of now.

We have received the notice of application submittal and are responding to your invitation to submit any comments or questions on the proposal. While we are not direct neighbors to 564 Fremont St, we have two potential concerns, both of which stem from the fact that the submitted proposal is to build a two-story house that is more than twice as high as both our house and the house in-between us and 590 Fremont St.

1. Because the house in-between our house and 590 Fremont Street is equally low as our house, we will be able to see the second story (windows) of the new structure from our garden, and conversely, the residents at 590 Fremont St will be able to see directly into our garden from their second floor (it seems from our inspection of the plans that at least four windows face our side). This, in our view, would intrude on our privacy, which we care much about.

2. From the perspective of our garden, the two-story house would lie in the general direction of the evening sun. While we're not sure whether it would actually block any sunlight coming into our garden in the late afternoon or evening, we'd like any construction plan to make sure that our garden is not blocked from any sunlight because of the proposed structure.

We express these concerns to you in hopes that the planning commission and the applicant will consider them in their plans and decisions.

Sincerely,

Petra Persson & Samuel Lee  
564 Fremont St, Menlo Park



## STAFF REPORT

### Planning Commission

**Meeting Date:**

**7/11/2016**

**Staff Report Number:**

**16-053-PC**

**Public Hearing:**

**Use Permit/Lorin Hill/805 Magnolia Street**

### Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to remodel and add to an existing nonconforming two-story, single-family residence in the R-1-S (Single-Family Suburban) zoning district, at 805 Magnolia Street. The proposed work would exceed 50 percent of the existing replacement value in a 12-month period. There is an active building permit regarding the remodeling of and additions to the first floor and the modification of the roof to conform to daylight plane regulations. The applicant is now requesting that the building be allowed to remain nonconforming (including the retention of an existing balcony that does not meet setback requirements), which requires Planning Commission review of the overall proposal. The recommended actions are contained within Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject site is located at 805 Magnolia Street at the corner of Holly Avenue. Holly Avenue is the shorter of the two street-facing lot lines and thus would typically be designated the front lot line for setback purposes. However, in 1997, the Director of Community Development approved a request for a lot line election, which designated the lot line along Magnolia Street as the front lot line for this property.

A location map is included as Attachment B. All parcels on Magnolia Street and within the broader vicinity contain single-family residences that are also zoned R-1-S. There is a mix of one and two-story single-family residences surrounding the project site which feature varied architectural styles, including ranch and craftsman style homes.

#### *Building permit*

A building permit application was issued on November 23, 2015, and remodeling and construction are underway on this single-family residence. This permit's scope includes remodeling of the interior, modification of the front entry, modification of the second floor roof to comply with the daylight plane, and an addition to the street side of the residence. Since the subject parcel is a standard lot with regard to R-1-S zoning district standards, and because the building permit includes the removal of the nonconforming daylight plane, this scope of work was determined to not require a use permit.

## **Analysis**

### ***Project description***

The applicant is now requesting approval from the Planning Commission to leave the second floor roof as-is. The right side of the second floor roof intrudes into the daylight plane, and therefore the building is a nonconforming structure. The applicant states in the project description letter that modification of the roof would have a “detrimental effect on the front façade,” create a “non-symmetrical roof form at the tallest portion of the home,” and be much more expensive than originally anticipated. In addition, during review of the use permit application, staff determined that the existing second-floor balcony is also a nonconforming element of the residence, as it does not meet the current 20-foot side setback requirement for balconies and second-floor decks. As a result, the applicant is proposing that this nonconformity be permitted to remain, along with the daylight plane intrusion. Staff is not aware of any current privacy concerns with regard to this balcony, which, like the second-floor roof, has existed since 1981.

The Zoning Ordinance allows nonconforming structures to be altered and expanded, with the nonconformities remaining, but requires that projects exceeding certain value thresholds to be reviewed by the Planning Commission through the use permit process. The remodeling, demolition, and additions of the project would exceed 50 percent of the existing replacement value in a 12-month period, as discussed in more detail in the Valuation section.

A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant’s project description letter are included as Attachments D and E, respectively.

### ***Design and materials***

The applicant proposes to update the exterior of the residence by replacing the windows with aluminum ebony wood clad windows with simulated divided lights. The first and second floor doors at the rear of the home would be replaced with ebony wood clad doors. The front door would be replaced by a natural wood door with side lights. On the east elevation, the new roof would have three new gables featuring asphalt composition shingles. The primary exterior material would remain stucco. Staff believes that the new front entry, combined with the façade, new first floor roof and varying gable heights would add visual interest to the residence and would be consistent with the neighborhood’s mix of architectural styles. Staff also believes that the retention of the existing daylight plane intrusion would be aesthetically compatible with the proposed residence.

### ***Trees and landscaping***

There are a total of twenty trees on the subject property, three of which are heritage trees: a southern magnolia, a Monterey pine, and a Canary Island date palm. There are three heritage-size coast redwoods on the adjacent lot at the rear of the property. The applicant proposes to remove one non-heritage holly tree located in the front yard of the property. No heritage trees are proposed for removal. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of these trees. The proposed project is not anticipated to adversely affect any of the remaining heritage trees, as tree protection measures would be ensured through standard condition 3g.

### **Valuation**

The City uses standards established by the Building Division to calculate the replacement and new construction costs on which the use permit threshold is based. The City has determined that the replacement cost of the existing structure would be \$664,410, meaning that the applicant would be allowed to propose new construction and remodeling at this site totaling less than \$332,205 in any 12-month period without applying for a use permit. The City has determined that the value of the proposed work would be approximately \$473,000. Based on this estimate, the proposed project exceeds 50 percent of the replacement cost of the existing structure, therefore requiring use permit approval by the Planning Commission.

### **Correspondence**

Staff has not received any items of correspondence on the proposed project. The applicant has relayed that the owners conducted outreach and received positive feedback.

### **Conclusion**

Staff believes the scale, materials, style, and decorative elements such as ebony wood clad windows and doors and asphalt composition roof of the proposed project are compatible with the surrounding neighborhood's mix of architectural styles. The existing daylight plane intrusion and nonconforming balcony have existed for many decades and do not appear to present any unique issues. The recommended tree protection measures would help minimize impacts on the heritage trees on the subject property. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

## **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

## **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

## **Exhibits to Be Provided at Meeting**

None

Report prepared by:

Michele T. Morris, Assistant Planner

Report reviewed by:

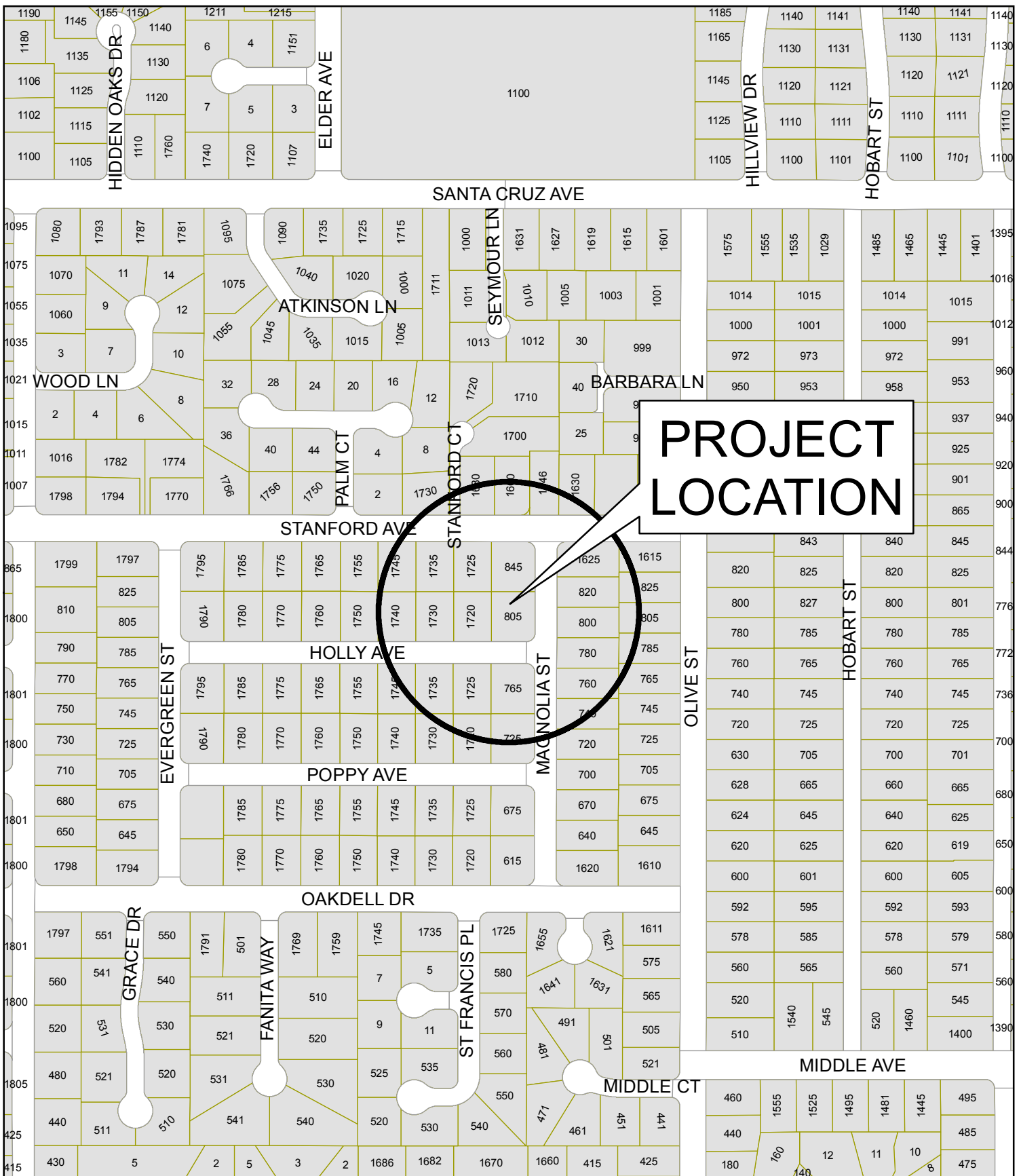
Thomas Rogers, Principal Planner

## 805 Magnolia Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 805 Magnolia Street	<b>PROJECT NUMBER:</b> PLN2016-00039	<b>APPLICANT:</b> Lorin Hill	<b>OWNERS:</b> Maya Herstein and Stephen Smith
<p><b>REQUEST:</b> Request for a use permit to remodel and add to an existing nonconforming two-story, single-family residence in the R-1-S (Single-Family Suburban) zoning district, at 805 Magnolia Street. The proposed work would exceed 50 percent of the existing replacement value in a 12-month period. There is an active building permit regarding the remodeling of and additions to the first floor and the modification of the roof to conform to daylight plane regulations. The applicant is requesting that the building be allowed to remain nonconforming (including the retention of an existing balcony that does not meet setback requirements), which requires Planning Commission review of the overall proposal.</p>			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> July 11, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p><b>ACTION:</b></p> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions:             <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Lorin Hill Architect consisting of fourteen plan sheets, dated received July 1, 2016, and approved by the Planning Commission on July 11, 2016 except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> </ol> </li> </ol>			

805 Magnolia Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 805 Magnolia Street	<b>PROJECT NUMBER:</b> PLN2016-00039	<b>APPLICANT:</b> Lorin Hill	<b>OWNERS:</b> Maya Herstein and Stephen Smith
<b>REQUEST:</b> Request for a use permit to remodel and add to an existing nonconforming two-story, single-family residence in the R-1-S (Single-Family Suburban) zoning district, at 805 Magnolia Street. The proposed work would exceed 50 percent of the existing replacement value in a 12-month period. There is an active building permit regarding the remodeling of and additions to the first floor and the modification of the roof to conform to daylight plane regulations. The applicant is requesting that the building be allowed to remain nonconforming (including the retention of an existing balcony that does not meet setback requirements), which requires Planning Commission review of the overall proposal.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> July 11, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b> <div><div></div><div>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</div></div>			

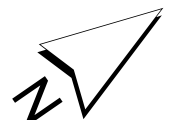


# CITY OF MENLO PARK

## LOCATION MAP

### 805 MAGNOLIA STREET

DRAWN: TAS CHECKED: MTM DATE: 07/11/16 SCALE: 1" = 300' SHEET: 1



## 805 Magnolia Street – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT*	ZONING ORDINANCE
Lot area	11,571.5 sf	11,571.5 sf	10,000 sf min.
Lot width	111.23 ft.	111.23 ft.	80 ft. min.
Lot depth	100.93 ft.	100.93 ft.	100 ft. min.
Setbacks			
Front	21 ft.	21 ft.	20 ft. min.
Rear	30 ft.	30 ft.	20 ft. min.
Side (street)	25 ft.	17.6 ft.	12 ft. min.
Side (interior)	10 ft.	10 ft.	10 ft. min.
Building coverage	3,121 sf	2,892.7 sf	4,050 sf max.
	27 %	25 %	35 % max.
FAL (Floor Area Limit)	3,891.3 sf	3,657.2 sf	3,942.9 sf max.
Square footage by floor	2,519.5 sf/1 <sup>st</sup>	2,285.4 sf/1 <sup>st</sup>	
	515 sf/garage	515 sf/garage	
	856.8 sf/2 <sup>nd</sup>	856.8 sf/2 <sup>nd</sup>	
	86.5 sf/porch	92.3 sf/porch	
Square footage of building	3,977.8 sf	3,749.5 sf	
Building height	23.3 ft.	23.3 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered

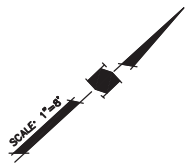
## Trees

Heritage trees	6**	Non-Heritage trees	14	New Trees	0
Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	1	Total Number of Trees	19

\* The existing project data represents the project prior to the issued building permit.

\*\* Three heritage trees are located on adjacent properties.

## D1

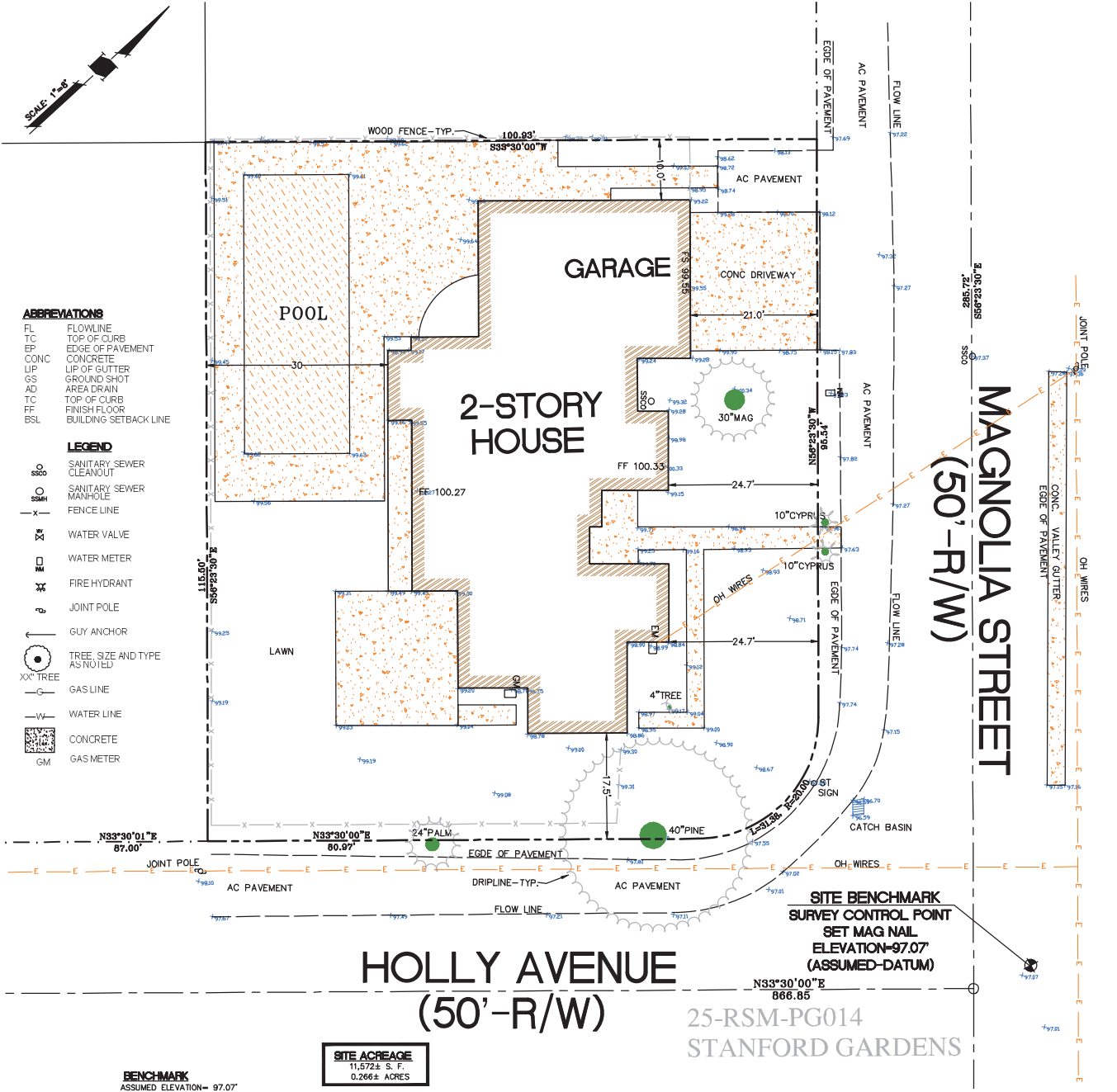


**ABBREVIATIONS**

- FL FLOWLINE
- TC TOP OF CURB
- EP EDGE OF PAVEMENT
- CONC CONCRETE
- LIP LIP OF GUTTER
- GS GROUND SHOT
- AD AREA DRAIN
- TC TOP OF CURB
- FF FINISH FLOOR
- BSL BUILDING SETBACK LINE

**LEGEND**

- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- X- FENCE LINE
- WV WATER VALVE
- WM WATER METER
- FD FIRE HYDRANT
- JP JOINT POLE
- GA GUY ANCHOR
- XX" TREE TREE, SIZE AND TYPE AS NOTED
- GL GAS LINE
- WL WATER LINE
- CONC CONCRETE
- GM GAS METER



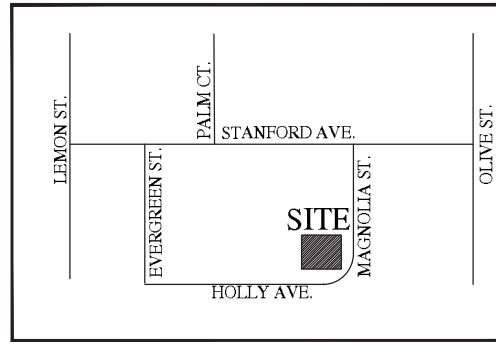
**HOLLY AVENUE**  
(50'-R/W)

25-RSM-PG014  
STANFORD GARDENS

**SITE ACREAGE**  
11,572± S. F.  
0.266± ACRES

**BENCHMARK**  
11,572± S. F.  
ASSUMED ELEVATION= 97.07'

**MAGNOLIA STREET**  
(50'-R/W)



**VICINITY MAP**  
NTS

**SURVEYOR'S NOTES:**

1. DATE OF SURVEY: MARCH 18, 2016.
2. UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT FINDINGS. RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY.
3. TREES SHOWN ARE THOSE OF SIZE SIGNIFICANCE. THE SITE CONTAINS OTHER TREES UNDER 6" AND ARE NOT SHOWN FOR MAP CLARITY. TREE CLASSIFICATIONS ARE TO THE BEST KNOWLEDGE OF THE SURVEYOR. AN ARBORIST MUST SPECIFY ACTUAL TREE TYPE. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
4. MAIN STRUCTURE AND APPURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECTS OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.
5. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
6. DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
7. PROPERTY CORNERS WERE NOT SET IN CONJUNCTION WITH THIS SURVEY.
8. ASSESSOR'S PARCEL NUMBER: 071-172-010
9. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
10. DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE PERPENDICULAR TO THE PROPERTY LINES.

**PROPOSED DEVELOPMENT**  
805 MAGNOLIA STREET  
MENLO PARK, CA.

**TOPOGRAPHIC/  
BOUNDARY SURVEY**

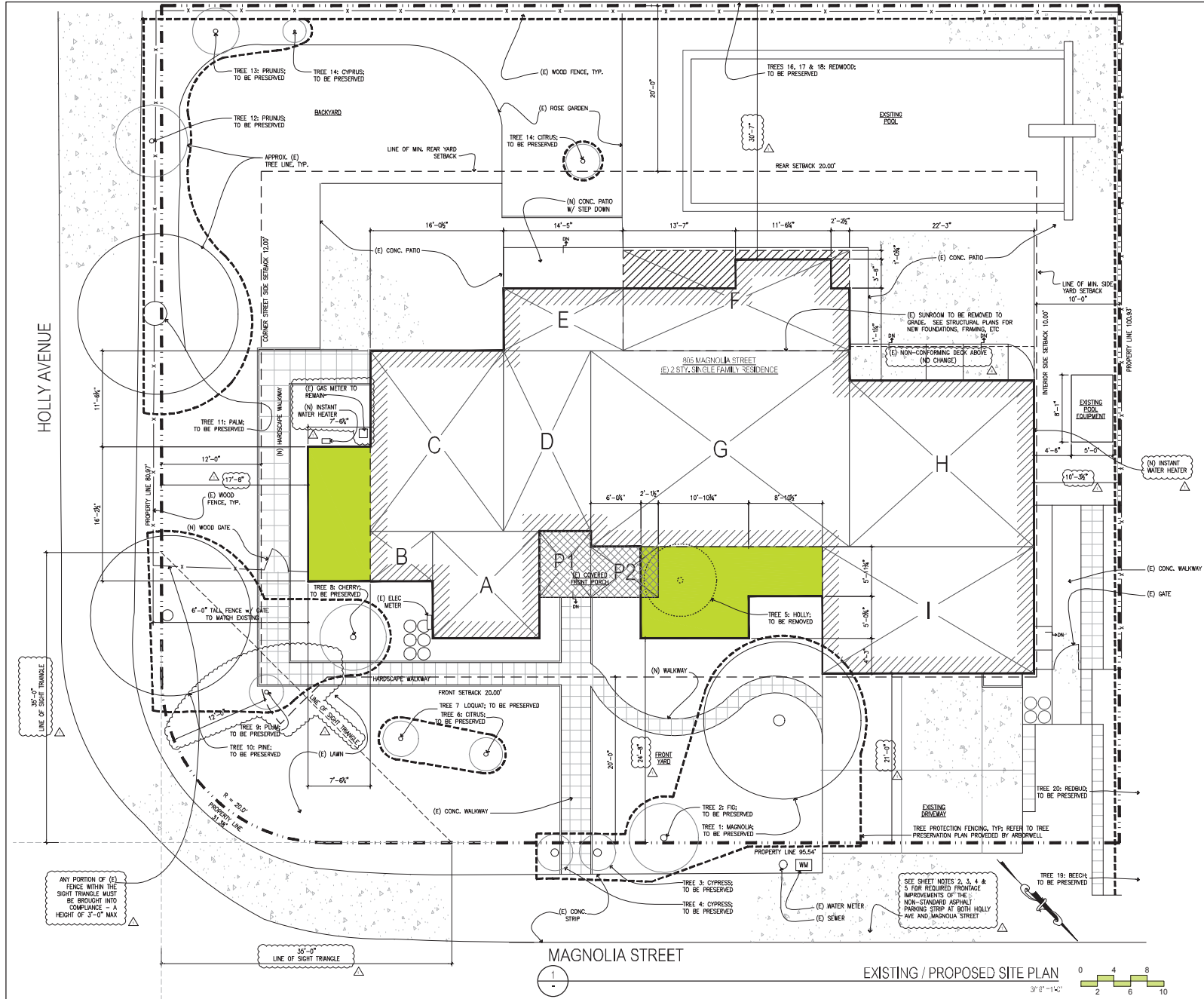
REVISIONS	BY

JOB NO:  
DATE: 3-18-2016  
SCALE: 1" = 8'  
DRAWN BY: NR  
SHEET NO:



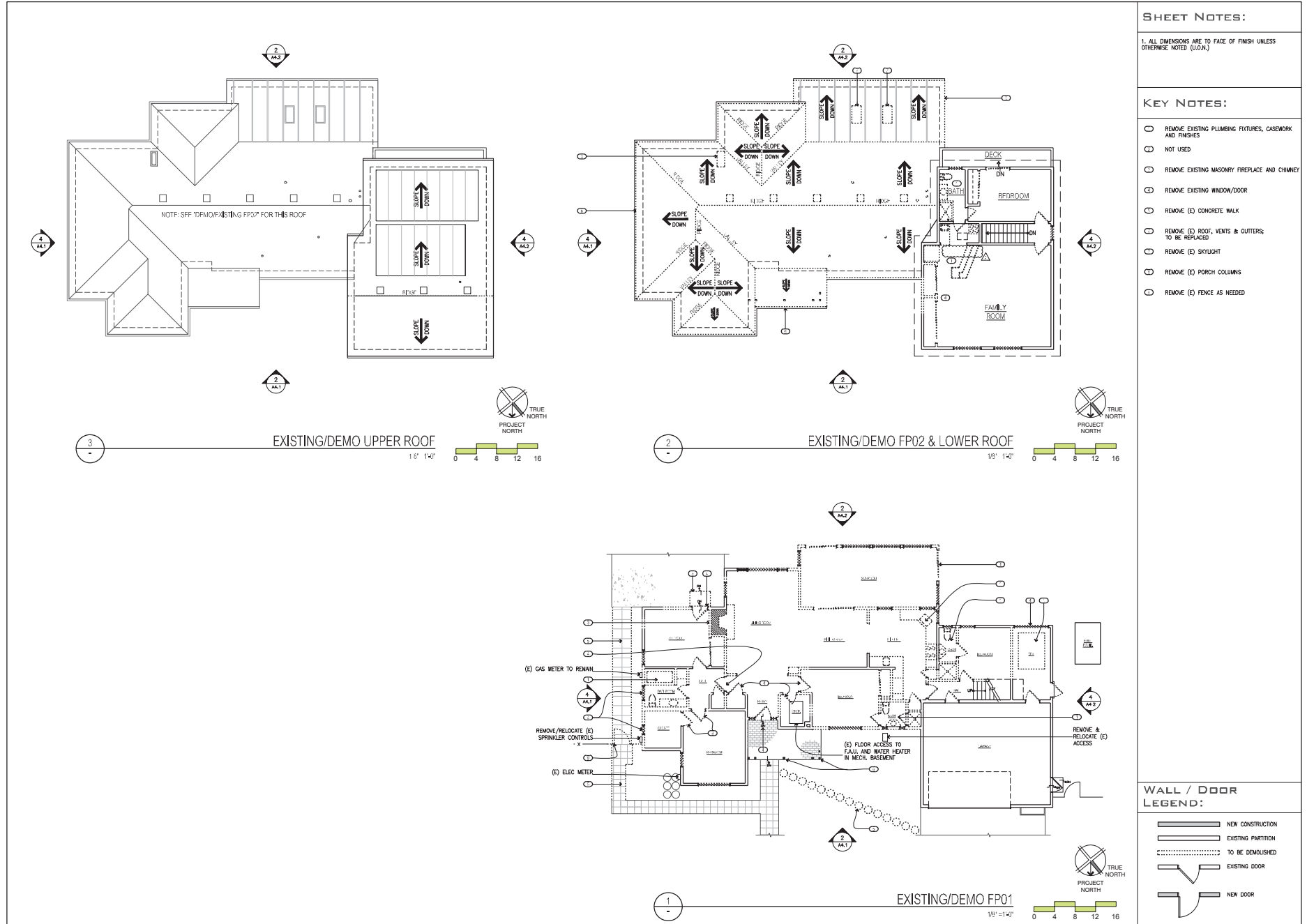
BRIAN L. STOCKINGER  
PLS 6995  
EXPIRES 9-30-17





LEGEND:	
	EXISTING FLOOR AREA TO REMAIN
	EXISTING COVERED PORCH
	EXISTING TO BE DEMOLISHED
	PROPOSED 1 STORY ADDITION
EXISTING FLOOR AREA CALCULATIONS:	
EXISTING FIRST FLOOR AREA:	
A 12'-10 1/4" x 12'-11"	= 160.0 S.F.
B 7'-4 1/4" x 6'-1 1/4"	= 46.3 S.F.
C 16'-1 1/2" x 21'-9"	= 348.7 S.F.
D 10'-6 1/2" x 21'-9"	= 229.0 S.F.
E 14'-5" x 7'-6 1/4"	= 108.5 S.F.
F 27'-3 3/4" x 12'-1 1/4"	= 330.6 S.F.
G 31'-2 1/4" x 23'-7 1/2"	= 736.6 S.F.
H 22'-3" x 20'-1 1/2"	= 445.8 S.F.
I 25'-6 1/4" x 15'-3 1/2"	= 388.9 S.F.
TOTAL	= 2804.4 S.F.
EXISTING SECOND FLOOR AREA:	
(SEE A1.2 FOR FLOOR PLAN DIAGRAM)	
J 25'-6 1/4" x 20'-7 1/4"	= 555.9 S.F.
K 22'-4" x 14'-8 1/2"	= 330.9 S.F.
TOTAL	= 886.8 S.F.
EXISTING 1ST FLOOR AREA	2804.4 S.F.
EXISTING 2ND FLOOR AREA	886.8 S.F.
GRAND TOTAL	3691.2 S.F.
SITE ANALYSIS:	
LOT AREA:	11,571.5 S.F.
ALLOWABLE FLOOR AREA:	3,943 S.F.
(11,571.5 - 7,000) x 25% + 2,800	
4,571.5 x 25% + 1,143 + 2,800	
EXISTING 1ST FLOOR AREA	2,804.4 S.F.
EXISTING 2ND FLOOR AREA	886.8 S.F.
TOTAL EXISTING FLOOR AREA:	3,691.2 S.F.
PROPOSED FIRST FLOOR AREA:	3034.5 S.F.
EXISTING SECOND FLOOR AREA:	886.8 S.F.
ATTIC SPACE > 5'-0" WHEN MEASURED FROM THE TOP OF THE CEILING FRAMING TO THE UNDERSIDE OF ROOF SHEATHING	0 S.F.
TOTAL PROPOSED FLOOR AREA:	3,891.3 S.F.
3,891.3 S.F. < 3,943 S.F. THEREFORE OK	
LAND COVERED BY STRUCTURES	27%
LANDSCAPING	30%
PAVED SURFACES	37%
PARKING SPACES	2 COV
BUILDING COVERAGE CALCULATIONS:	
LOT AREA	11,571.5 S.F.
MAXIMUM BUILDING COVERAGE	4,059 S.F. (35%)
EXISTING BUILDING COVERAGE:	
EXISTING FIRST FLOOR AREA	2,804.4 S.F.
EXISTING COVERED PORCH AREA	
P1 6'-2 1/2" x 8'-0"	= 49.6 S.F.
P2 8'-1 3/4" x 8'-1 1/2"	= 67.7 S.F.
EXISTING PORCH TOTAL	82.3 S.F.
EXISTING BUILDING COVERAGE TOTAL	2,886.7 S.F. (25%)
PROPOSED BUILDING COVERAGE:	
PROPOSED FIRST FLOOR AREA	3034.5 S.F.
PROPOSED COVERED PORCH AREA	
P1 6'-2 1/2" x 8'-0"	= 49.6 S.F.
P2 8'-1 3/4" x 8'-1 1/2"	= 67.7 S.F.
PROPOSED PORCH TOTAL	86.5 S.F.
PROPOSED BUILDING COVERAGE TOTAL	3,121 S.F. (27%)
SHEET NOTES:	
1. TREES SHOWN IN THIS PLAN ARE HERITAGE TREES ADJACENT TO THE BUILDING PROJECT. REFER TO ARBORIST REPORT BY ARBORWELL FOR SPECIES, TREE PROTECTION PLANS.	
2. REMOVE AND REPLACE THE NON-STANDARD ASPHALT PARKING STRIP ALONG THE ENTIRE PROJECT FRONTAGE ON HOLLY AVENUE AND MAGNOLIA STREET. CITY STANDARD PARKING STRIP IS 7'-0" IN WIDTH WITH A MAXIMUM 2% CROSS-SLOPE. CITY OF MENLO PARK STANDARD DETAIL CD-3 TRANSITIONS MAY BE REQUIRED AT EACH END TO MEET CROSS-SLOPE REQUIREMENTS.	
3. CONSTRUCT A NEW 3'-0" CONCRETE CURB ALONG ENTIRE PROJECT FRONTAGE.	
4. ANY FRONTAGE IMPROVEMENTS WHICH ARE CHANGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPORTED BY ARBORWELL.	
5. AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT-OF-WAY. A LIST OF REQUIREMENTS FOR ENCROACHMENT PERMIT SUBMITTAL CAN BE FOUND ON THE CITY'S WEB SITE.	
CONSTRUCTION WASTE MANAGEMENT:	
1. REFER TO GREEN BUILDING SECTION 4.08 ON MEP 1.3 FOR CONSTRUCTION WASTE MANAGEMENT PLAN REQUIREMENTS.	
2. THE CITY OF MENLO PARK REQUIRES THAT OF THE 1% ESTIMATED WASTE FROM DEMOLITION, 60% IS DIVERTED. THE CONTRACTOR IS RESPONSIBLE FOR SHOWING PROOF OF DIVERSION TO CITY.	
DRAINAGE & STORMWATER REQ'S	
1. ALL NET NEW IMPERVIOUS AREA STORMWATER RUN-OFF SHALL BE RETAINED/ DETAINED ON-SITE. NET NEW IMPERVIOUS AREA IS IMPERVIOUS AREA THAT WAS PREVIOUSLY PERVIOUS.	
2. TO ALLEVIATE THE STRESS ON THE STORM SYSTEM, THE OWNER IS ENCOURAGED TO RETAIN/OCCUPY AS MUCH RUN-OFF AS FEASIBLE. ON-SITE. THIS IS IN ADDITION TO THE RETENTION/DETENTION REQUIREMENT OF NET NEW IMPERVIOUS AREA RUN-OFF AS FEASIBLE.	





## UNDERFLOOR VENT. CALCS:

UNDER-FLOOR VENTILATION:  
(PER 2013 CRC 408.1, 408.2).

THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR SPACE AREA. ONE SUCH VENTILATING OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.

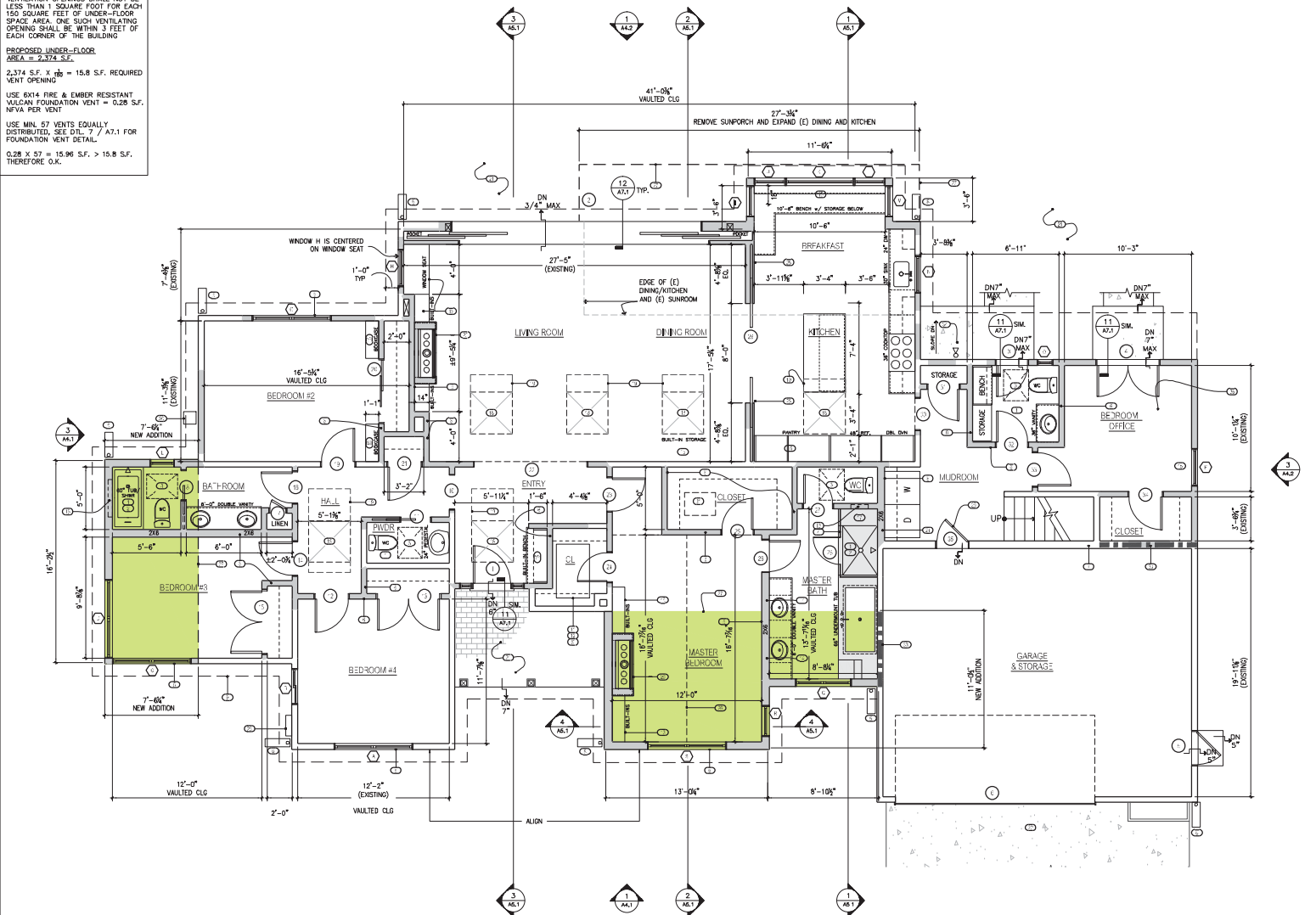
PROPOSED UNDER-FLOOR AREA = 2,374 S.F.

2,374 S.F. X 100 = 15.8 S.F. REQUIRED VENT OPENING

USE 6X14 FIRE & EMBER RESISTANT VULCAN FOUNDATION VENT = 0.28 S.F. NFVA PER VENT

USE MIN. 57 VENTS EQUALLY DISTRIBUTED, SEE DET. 7 / A7.1 FOR FOUNDATION VENT DETAIL.

0.28 X 57 = 15.96 S.F. > 15.8 S.F. THEREFORE O.K.



PROPOSED FP01  
1" = 14'



## SHEET NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED (U.O.N.)
2. SEE STRUCTURAL DRAWINGS FOR PROPOSED SHEAR WALL LOCATIONS (PATCH AND FILL TO MATCH EXISTING AT EXISTING WALLS AS REQUIRED)
3. ALL INTERIOR WALL PARTITIONS ARE 2x4 WOOD STUDS WITH 5/8" GYP. BD. EA. SIDE U.O.N.. PLUMBING WALLS ARE 2x6 STUDS, U.O.N.
4. ALL NEW EXTERIOR WALL PARTITIONS ARE 2x6 WOOD STUDS WITH 5/8" GYP. BD. AT INTERIOR SIDE U.O.N. AND 3 LAYERS INTEGRAL COLOR CEMENT PLASTER w/ METAL LATH w/ 2 LAYERS GRADE 10" BUILDING PAPER w/ PLUMBED SHEATHING (S.S.D.)
5. ALL NEW PLUMBING TO SATISFY THE INDOOR WATER USE CONSERVATION REGULATIONS IN EFFECT AS OF JANUARY 1, 2014.

## KEY NOTES:

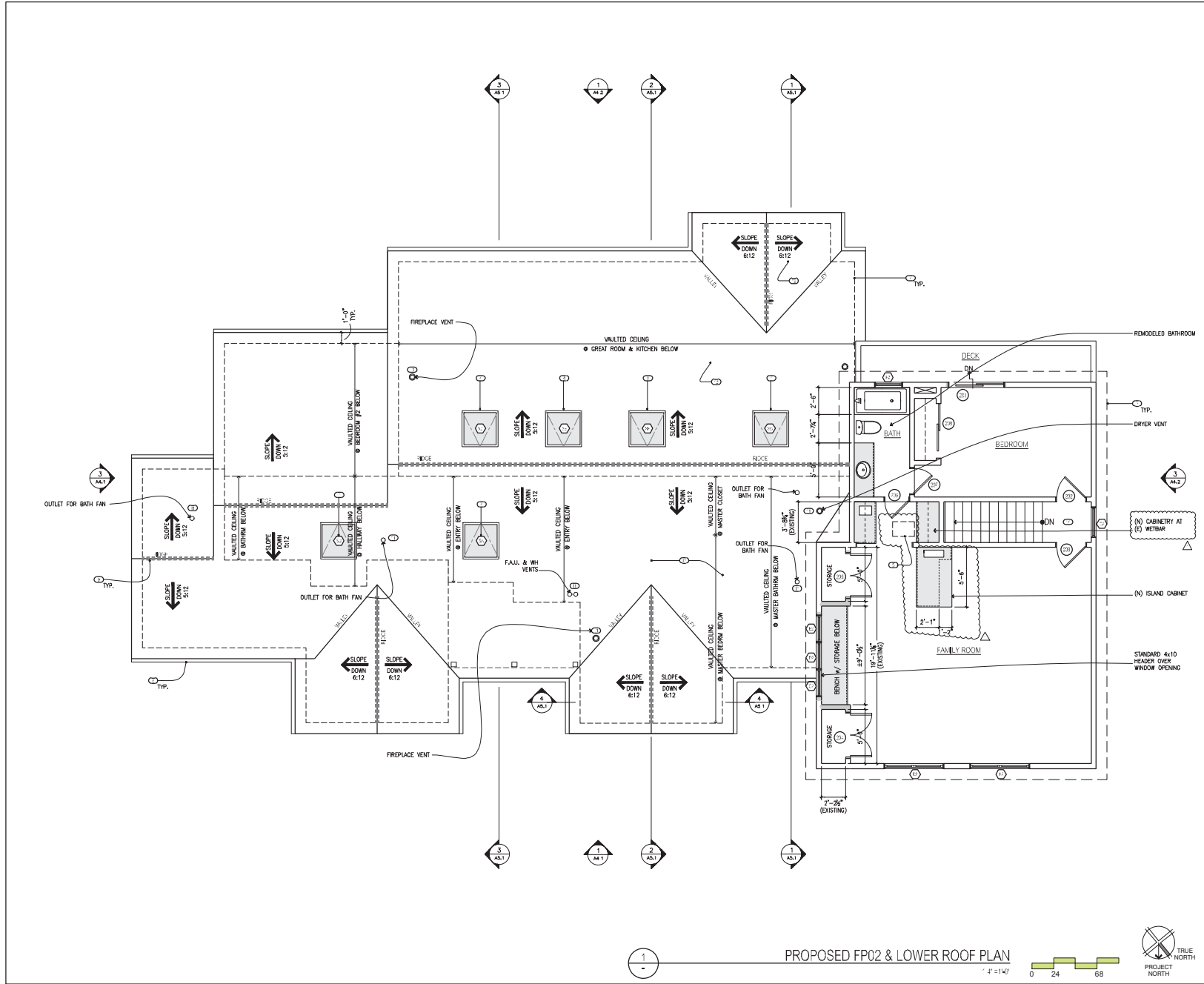
1. PROVIDE 3/8" W.P. GYP. IN WET AREAS
2. PROVIDE CERAMIC TILE 8" A.F.F. MIN. IN SHOWER STALL, SEE DET. 3/A7.1
3. FOR TOILET CLEARANCES, SEE DETAIL 1/A7.1
4. 1/2" THICK TEMPERED GLASS SHOWER ENCLOSURE AND DOOR
5. EXPRESS WINDOW SEE DETAIL 2/A7.1
6. NEW INTERIOR WALL, SEE SHEET NOTES
7. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF 3/4" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AT WALLS, PROVIDE 5/8" TYPE X GYP. AT COLUMNS AND UNDERSTAIRS
8. PAINTED METAL DOWNSPOUT AND CONC. SPLASH BLOCK, 2'-0" LENGTH MINIMUM DIRECT AWAY FROM BUILDING FOR POSITIVE FLOW
9. LINE OF ROOF ABOVE
10. NOT USED
11. F.A.U. AND WATER HEATER LOCATED IN MECHANICAL BASEMENT; ANCHORAGE FOR F.A.U. AND WH PER CMC 304.4, CPC SEC 510.5
12. 18"x28" MIN. DRAIN SPACE ACCESS
13. MIN. 4" DEEP BUILT-IN RECESSED SOAP/SHAMPOO NICHE
14. BUILT-IN RECESSED MEDICINE CABINET, FULL DEPTH OF STUD FRAMING, TYP.
15. BUILT-IN CASEWORK, TYP.
16. (N) SUN TUNNEL FRAMED AS A RECTANGLE IN CLG ABOVE, CONSULT WITH ARCHITECT OVER FINAL DESIGN
17. BUILT-IN SHOWER BENCH
18. (N) SKYLIGHT ABOVE
19. LINE OF SKYLIGHT WELL ABOVE
20. INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE, FACTORY-BUILT
21. PREPLACES SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING. FACTORY-BUILT PREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL 127 (CALGREEN 4-533.1) (10/04-1)
22. HARDSCAPE / CONCRETE PAVING, SEE SITE PLAN
23. (E) CONCRETE DRIVEWAY
24. 200A MAIN ELECTRICAL PANEL
25. DRYER DUCT UP TO ROOF
26. 20 MINUTE DOOR, PROVIDE SELF CLOSING HINGES, WEATHER STRIPPING AND THRESHOLD
27. LINE OF VAULTED CLG ABOVE, REFER TO SECTIONS ON A5.1
28. OUTLINE OF (E) HOUSE FOOTPRINT
29. FUR-OUT (E) WALL TO CREATE ROOM FOR POCKET DOORS
30. PAINTED METAL UTILITY, TYP.
31. GAS METER
32. 22"x30" MIN. ATTIC ACCESS PANEL
33. PROVIDE CARBON DIOXIDE DETECTOR AT THE MECHANICAL BASEMENT
34. SEPARATION WALL OF GARAGE TO HOUSE OCCUPANCY TO BE EXTENDED AS REQ'D
35. (N) TONGUE STATION WITH COLD WATER SHWR HEAD MOUNTED ON METAL POLE - WATER TO DRAIN FROM SLAB TO LANDSCAPE
36. SSD FOR CONSTRUCTION OVER (E) SLAB AT NEW OFFICE / BEDROOM

## INSULATION SCHED:

NEW ROOF	R-38 BATT
EXISTING PERIMETER WALLS OF CONDIMENTED SPACE	R-13 BATT RECOMMENDED
NEW PERIMETER WALLS OF CONDIMENTED SPACE	R-13 BATT @ 2x4 R-21 BATT @ 2x6
RAISED FLOOR, EXISTING	R-11
RAISED FLOOR, NEW	R-19 BATT
EXPOSED HW PIPES AND COLD WATER SUPPLY WITHIN 24" OF WATER HEATER	R-4 MIN.
NEW SKYLIGHT WELL WALLS	R-13 MIN.
NEW HEATING DUCT INSULATION	R-6 MIN.

## WALL / DOOR LEGEND:

- NEW CONSTRUCTION
- EXISTING PARTITION
- TO BE DEMOLISHED
- EXISTING DOOR
- NEW DOOR



### SHEET NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED (U.O.A.)
2. BUILDING MATERIALS, SYSTEMS AND OR ASSEMBLIES USED IN THE EXTERIOR DESIGN AND CONSTRUCTION LOCATED WITHIN A WILDLAND-URBAN INTERFACE FIRE AREA WILL COMPLY WITH CRC SECTION R302, REFER TO SHEET A0.2 FOR DETAILED REQUIREMENTS.
3. ROOFING SYSTEM TO BE CLASS "A" ASPHALT SHINGLE ROOFING w/ 3/4" FELT &/ PLYWOOD PER STRUCTURAL DRAWINGS.
4. SEE SHEET A0.1 FOR SKYLIGHT TYPES
5. PROVIDE ADDITIONAL SMOKE DETECTORS IN THE UPSTAIRS BEDROOM AND TOP OF STAIRS IF NOT EXISTING.
6. SEE MECHANICAL PLUMBING SHEET NOTE #16 ON MEP 1.5 FOR REQUIREMENTS FOR NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED PER CBC SECTION 301.11 AT FOR UPPER FLOOR BATHROOM AND KITCHENETTE.

### KEY NOTES:

- PAINTED METAL DOWNSPOUT AND CONC. SPLASH BLOCK, 2'-0" LENGTH MINIMUM, DIRECT AWAY FROM BUILDING FOR POSITIVE FLOW.
- LINE OF ROOF ABOVE.
- (N) VELUX SUN TUNNEL; REFER TO 14/A7 FOR TYPICAL DETAILS
- (N) OPERABLE DECK MOUNTED VELUX SKYLIGHT; VELUX HALLMARK CERTIFICATION #000000X
- 22"x30" MIN. ATTIC ACCESS PANEL
- PAINTED METAL GUTTER, TYP.
- LINE OF BUILDING BELOW
- CONTINUOUS RIDGE VENT, SEE DET. 9/A7.1, TYP.
- RIDGE VENT, SEE DETAIL 9/A7.1
- SOFFIT VENTS
- KEEP PLUMBING VENTS & OTHER ROOF PENETRATIONS AT LEAST VISIBLE ROOF FACES
- LINE OF VAULTED CLG BELOW
- CONTRACTOR TO PROTECT (E) SOLAR PANELS DURING CONSTRUCTION
- PROVIDE CARBON DIOXIDE DETECTOR AT THE UPPER FLOOR LEVEL HALLWAY

### ATTIC VENT. CALCS.:

ATTIC VENTILATION CALCULATIONS (PER 2015 CRC R902.2)

PROVIDE NET FREE VENTILATION OF  $\frac{1}{300}$  OF AREA OF ATTIC TO BE VENTILATED.

VENTILATED ATTIC AREA = 2,198.3 SF

$2,198.3 \text{ SF} \times \frac{1}{300} = 7.33 \text{ SF}$  REQUIRED VENT OPENING

**RIDGE VENTS**

95.6 LINEAR FEET PROVIDED:

16 S.L. VENT AREA PER LINEAR FOOT

$16 \text{ S.L.} \times 95.6 \text{ LF} = 1,529.6 \text{ S.L.} / 144 = 10.6 \text{ SF FREE AIR}$

SEE DETAIL 9 / A7.1

**EAVE VENTS**

100.4 LINEAR FEET PROVIDED @ 10" S.L. VENT AREA PER L.F.

$10" \text{ S.L.} \times 100.4 \text{ LF} = 1,004 \text{ S.L.} / 144 = 6.97 \text{ SF FREE AIR}$

SEE DETAIL 9/A7.1

**TOTAL VENTILATION**

$10.6 \text{ SF (RIDGE)} + 6.97 \text{ SF (EAVE)} = 17.57 \text{ SF}$

17.57 SF (PROVIDED) > 7.33 SF (REQUIRED) THEREFORE O.K.

### INSULATION SCHED.:

NEW ROOF	R-38 BATT
EXISTING PERIMETER WALLS OF UNCONDITIONED SPACE	R-13 BATT
EXISTING PERIMETER WALLS OF UNCONDITIONED SPACE	R-13 BATT @ 2x4
EXISTING PERIMETER WALLS OF UNCONDITIONED SPACE	R-21 BATT @ 2x6
RAISED FLOOR EXISTING	R-11
RAISED FLOOR NEW	R-19 BATT
EXPOSED HW PIPES AND COLD WATER SUPPLY WITHIN 24" OF WATER HEATER	R-4 MIN
NEW SKYLIGHT WELL WALLS	R-13 MIN
NEW HEATING DUCT INSULATION	R-6 MIN

### WALL / DOOR LEGEND:

NEW CONSTRUCTION	EXISTING PARTITION	TO BE DEMOLISHED	EXISTING DOOR	NEW DOOR
[Solid Line]	[Dashed Line]	[Dotted Line]	[Double Line]	[Single Line]

**LORIN HILL ARCHITECT**

1507

HERSTEIN - SMITH RESIDENCE RENOVATION & ADDITION

805 MAGNOLIA STREET  
MENLO PARK, CALIFORNIA 94025

04.28.2016  
USE PERMIT - REVISION

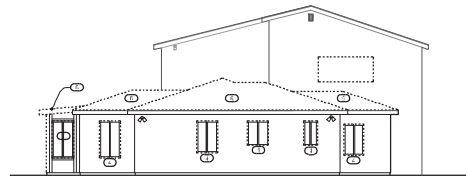
03.02.2016  
USE PERMIT - APPLICATION

Proposed Floor Plans

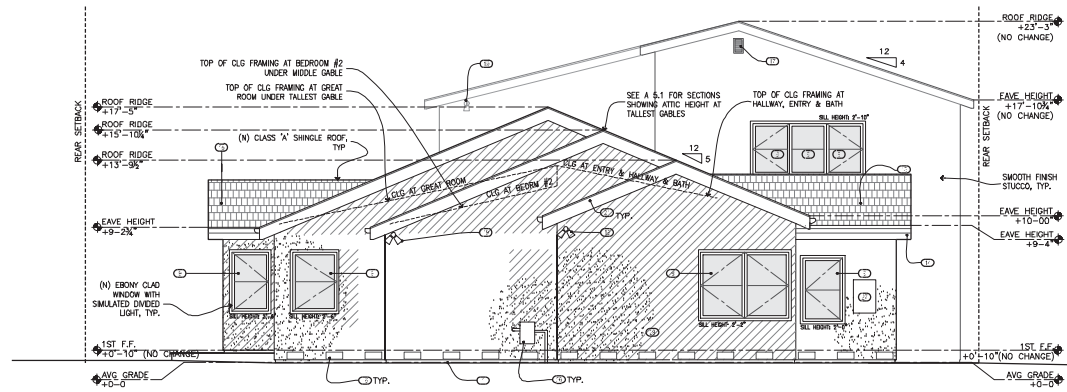
BY: BPH  
DATE: 03.02.2016  
SCALE: AS NOTED  
SHEET NO: A2.3

PROJECT NO: 1507

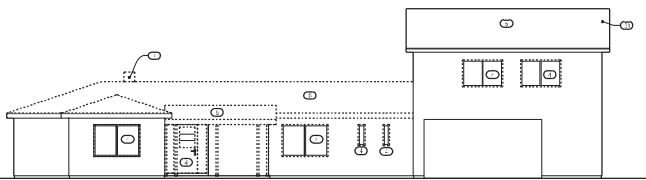




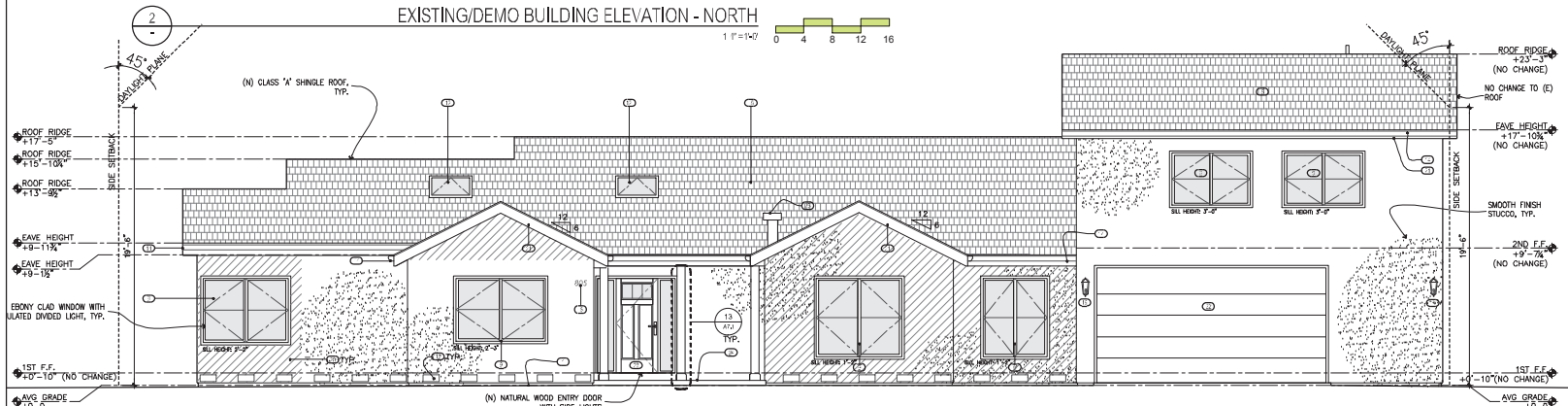
EXISTING/DEMO BUILDING ELEVATION - EAST



PROPOSED BUILDING ELEVATION - EAST



EXISTING/DEMO BUILDING ELEVATION - NORTH



PROPOSED BUILDING ELEVATION - NORTH

SHEET NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED (U.G.N.)

KEY NOTES:

- (E) GRADE, TYP.
- (E) WINDOW, TYP.
- (E) DOOR, TYP.
- (E) DOORS AND WINDOWS TO BE REMOVED, TYP.
- (E) ROOF TO REMAIN
- (E) ROOF TO BE REMOVED, TYP.
- (E) CHIMNEY TO BE REMOVED
- (E) ELECTRICAL PANEL, TYP.
- ALUM. CLAD WOOD WINDOWS, TYP.
- ALUM. CLAD WOOD DOOR, TYP.
- BI-FOLD DOOR SYSTEM BY LA CANTINA
- ALUMINUM SKYLIGHT, TYPICAL
- PAINTED ALUM. DOWNSPOUT, TYP.
- PAINTED METAL GUTTERS, TYP.
- CLASS 'A' ASPHALT COMP SHINGLES o/ 30/ ROOF FELT o/ PLYWOOD PER STRUCT DWGS, TYP.
- EXISTING / PROPOSED GABLE VENT
- STREET ADDRESS, MIN. 4 INCHES HIGH w/ MIN. STROKE WIDTH OF 0.5 INCH
- LIGHT FIXTURE - TO BE REPLACED / UPDATED AS NEEDED - SHALL BE HIGH EFFICIENCY FIXTURE, OR CONNECTED TO MOTION/PHOTOCELL CONTROLS
- CRAWL SPACE ACCESS DOOR, PROVIDE METAL SCREEN SIMILAR TO FOUNDATION VENT.
- PAINTED FASCIA TO MATCH (E) FASCIA AT SECOND FLOOR
- GARAGE DOOR - SEE DOOR SCHEDULE
- NATURAL WOOD FINISH ENTRY DOOR WITH SIDELITES
- PATIO SURFACE
- METAL CHIMNEY STACK
- NEW STUCCO OR PATCH (E) STUCCO, TYP. TO MATCH (E)
- (E) ELEC PANEL
- (E) DECK
- RELOCATED GAS METER
- OUTDOOR SHOWER
- (E) LEGAL NON-CONFORMING ROOF TO REMAIN

LORIN HILL  
ARCHITECT

HERSTEIN - SMITH RESIDENCE  
RENOVATION & ADDITION

305 MAGNOLIA STREET  
MENLO PARK, CALIFORNIA 94025

1507

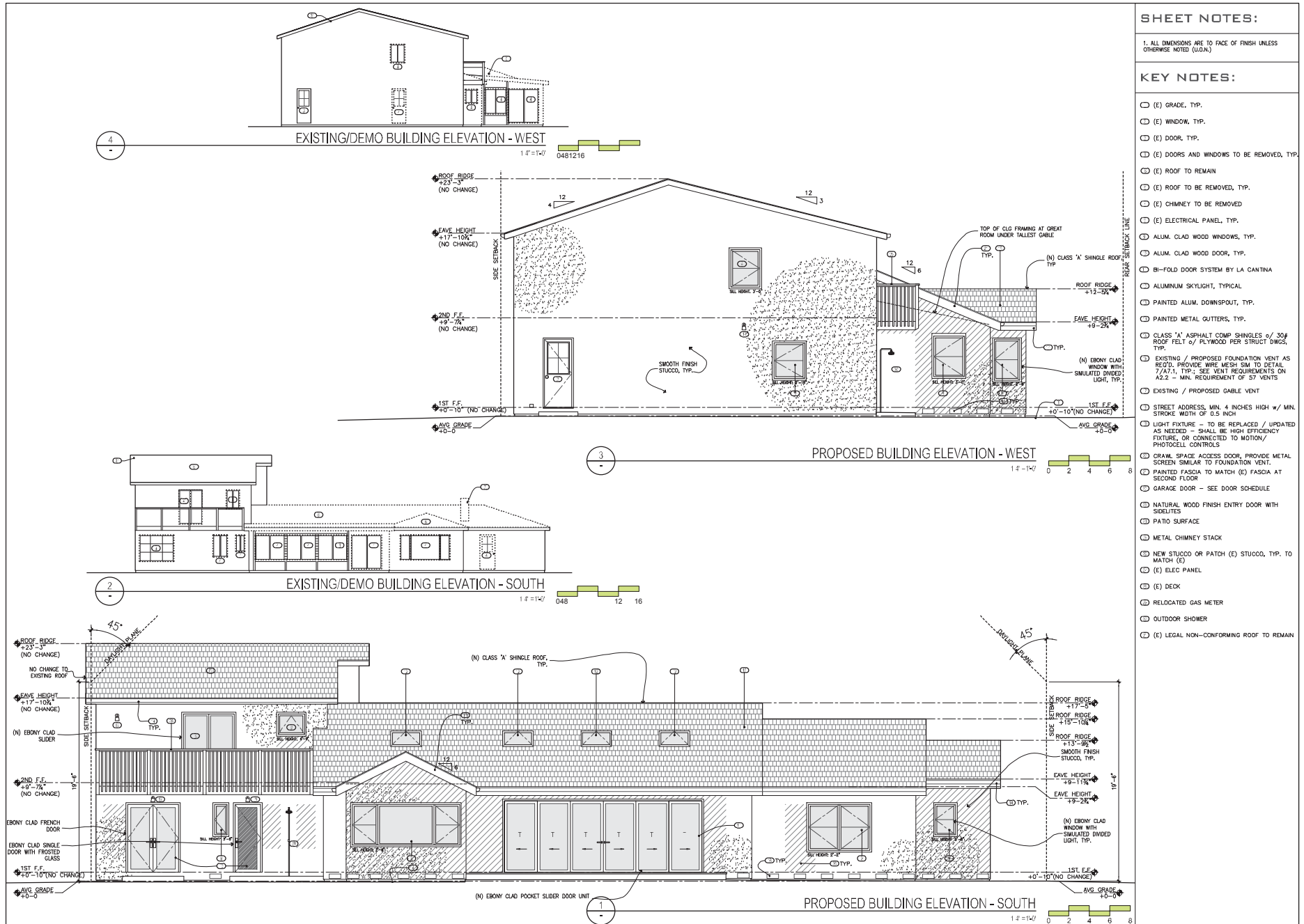
PROJECT NO.

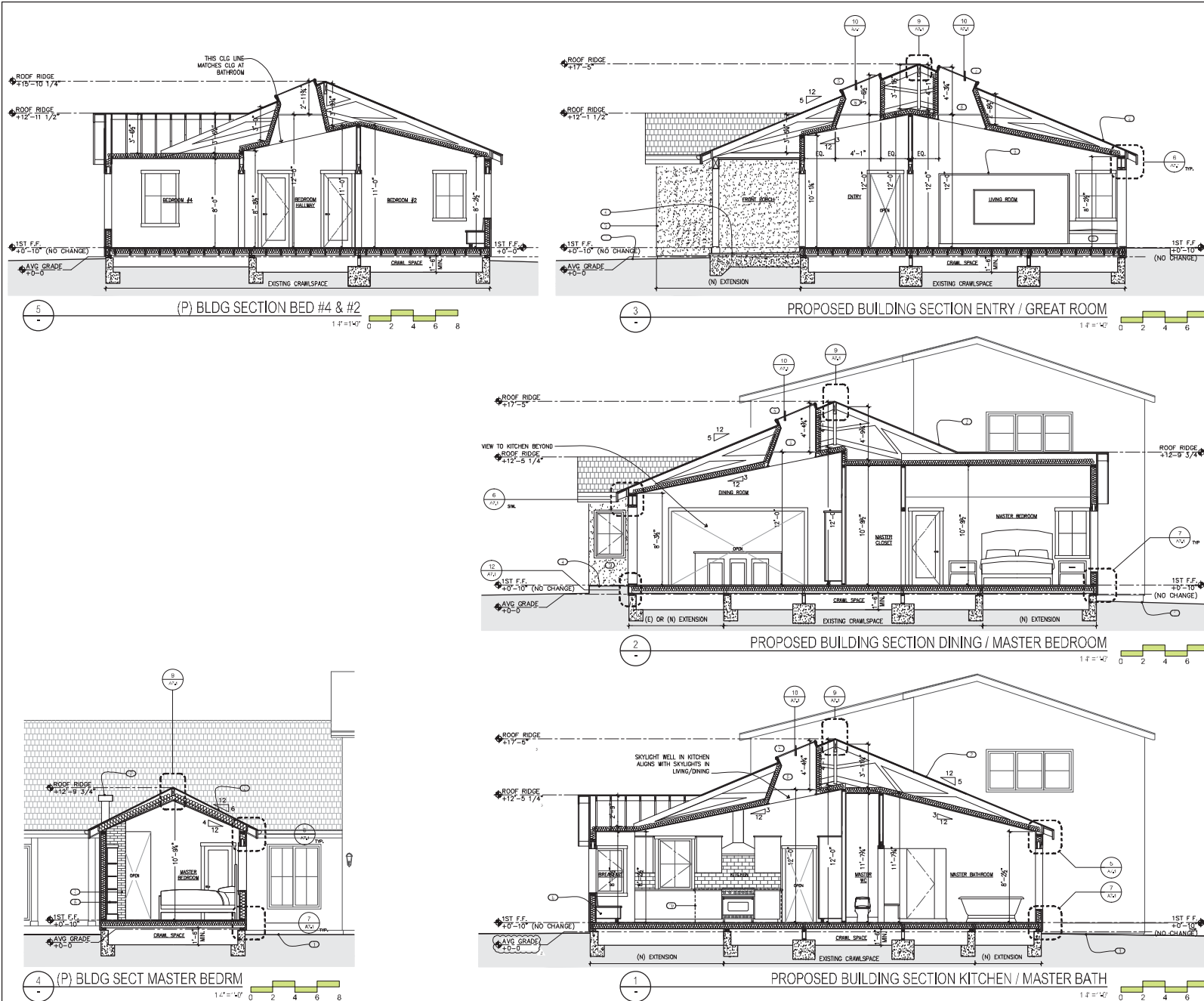
03.02.2016  
USE PERMIT  
APPLICATION

BY: BPH  
DATE: 03.02.2016  
SCALE: AS NOTED  
SHEET NO.

A4.1

PROJECT NO. 1507



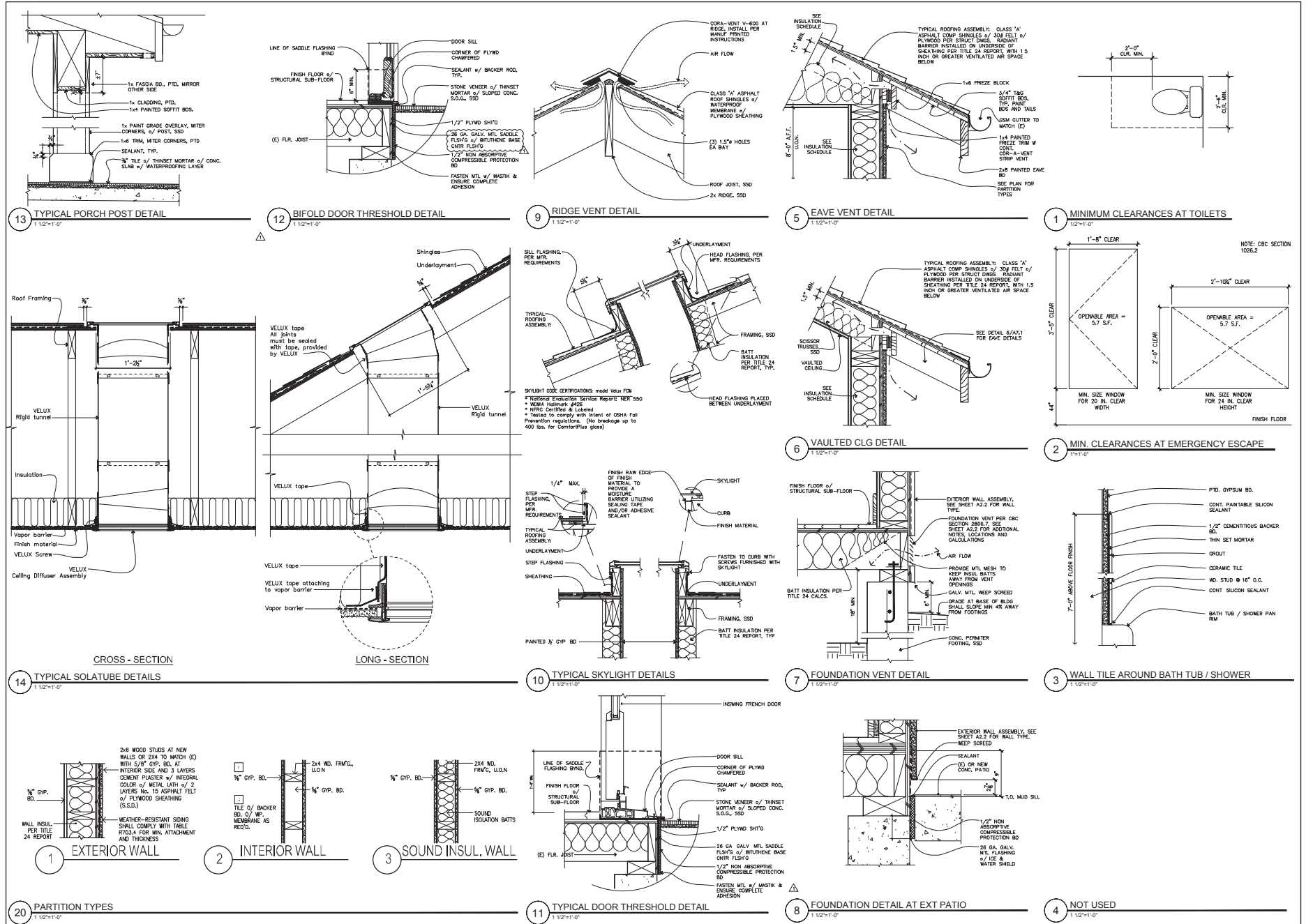


#### SHEET NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED (U/LIN)
2. ALL INSULATION PER TITLE 24 REPORT, TYP.

#### KEY NOTES:

- (E) GRADE, TYP
- CLASS 'A' ASPHALT COMP SHINGLES o/ 30# ROOF FELT o/ PLYWOOD PER STRUCT DWGS, TYP.
- SMOOTH STUCCO FINISH TO MATCH (E)
- CONCRETE OR BRICK PATIO
- ALUMINUM SKYLIGHT, TYPICAL
- SKYLIGHT WELL WITH FROSTED LENS INSTALLED AT 12'-0" A.F.F.
- METAL CHIMNEY STACK
- BUILT-IN CASEWORK
- GAS FIREPLACE WITH STONE SURROUND
- OUTLINE OF KITCHEN ISLAND

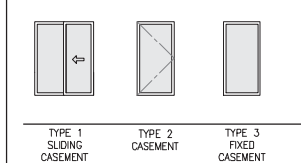


# WINDOW SCHEDULE

FIRST FLOOR													
TAG	CALL-OUT	TYPE	MAT	NOMINAL WINDOW SIZES			HEAD	SLL	JAMB	HOWR GROUP	ENERGY U-FACTOR	SHGC	REMARKS
A	-	CASEMENT	CLAD	6'-4"	4'-6"	6'-8"	-	-	-	-	.32	.25	EGRESS
B	-	CASEMENT	CLAD	2'-10"	4'-6"	6'-8"	-	-	-	-	.32	.25	
C	-	CASEMENT	CLAD	6'-4"	4'-6"	6'-8"	-	-	-	-	.32	.25	
D	-	CASEMENT	CLAD	6'-4"	4'-6"	6'-8"	-	-	-	-	.32	.25	EGRESS
E	-	CASEMENT	CLAD	2'-0"	3'-0"	6'-8"	-	-	-	-	.32	.25	
NOT USED	-	-	-	-	-	-	-	-	-	-	-	-	
G	-	CASEMENT	CLAD	6'-4"	4'-6"	6'-8"	-	-	-	-	.32	.25	EGRESS
H	-	CASEMENT	CLAD	3'-0"	4'-0"	6'-8"	-	-	-	-	.32	.25	
I	-	CASEMENT	CLAD	2'-8"	4'-0"	6'-8"	-	-	-	-	.32	.25	
J	-	CASEMENT	CLAD	2'-8"	4'-0"	6'-8"	-	-	-	-	.32	.25	
K	-	FIXED CASEMENT	CLAD	5'-6"	4'-0"	6'-8"	-	-	-	-	.32	.25	
L	-	CASEMENT	CLAD	2'-6"	4'-0"	6'-8"	-	-	-	-	.32	.25	
M	-	CASEMENT	CLAD	2'-6"	4'-0"	6'-8"	-	-	-	-	.32	.25	
N	-	CASEMENT	CLAD	3'-0"	4'-6"	V.L.F.	-	-	-	-	.32	.25	SILL @ 36" AT TOP OF COUNTERTOP
O	-	CASEMENT	CLAD	1'-3"	3'-0"	6'-8"	-	-	-	-	.32	.25	TEMPERED GLAZING, ONSOURCED GLASS
P	-	CASEMENT	CLAD	3'-0"	3'-6"	6'-8"	-	-	-	-	.32	.25	
Q	-	CASEMENT	CLAD	4'-6"	5'-6"	6'-8"	-	-	-	-	.32	.25	TEMPERED GLAZING
R	-	CASEMENT	CLAD	2'-6"	4'-0"	6'-8"	-	-	-	-	.32	.25	
S	-	CASEMENT	CLAD	6'-4"	5'-6"	6'-8"	-	-	-	-	.32	.25	EGRESS; TEMPERED GLAZING
SECOND FLOOR													
A2	-	DOUBLE CASEMENT	CLAD	5'-6"	3'-8"	-	-	-	-	-	.54	.27	
B2	-	DOUBLE CASEMENT	CLAD	5'-6"	3'-8"	-	-	-	-	-	.54	.27	
C3	-	CASEMENT	CLAD	2'-6"	3'-6"	-	-	-	-	-	.54	.27	
D2	-	CASEMENT	CLAD	2'-6"	3'-6"	-	-	-	-	-	.54	.27	
E2	-	CASEMENT	CLAD	2'-6"	3'-6"	-	-	-	-	-	.54	.27	TEMPERED GLAZING
F2	-	CASEMENT	CLAD	2'-6"	3'-6"	-	-	-	-	-	.54	.27	
G2	-	CASEMENT	CLAD	2'-10"	3'-8"	-	-	-	-	-	.54	.27	
ROOF													
	-	SKYLIGHT	CLAD	3'-4"	3'-4"								VENTING SKYLIGHT MODEL VSS BY VELUX
	-	SKYLIGHT	CLAD	3'-4"	3'-4"								VENTING SKYLIGHT MODEL VSS BY VELUX
	-	-	-	-	-								-
	-	SKYLIGHT	CLAD	3'-4"	3'-4"								VENTING SKYLIGHT MODEL VSS BY VELUX
	-	SKYLIGHT	CLAD	3'-4"	3'-4"								VENTING SKYLIGHT MODEL VSS BY VELUX
	-	SKYLIGHT	CLAD	3'-4"	3'-4"								VENTING SKYLIGHT MODEL VSS BY VELUX
	-	SKYLIGHT	CLAD	3'-4"	3'-4"								VENTING SKYLIGHT MODEL VSS BY VELUX

WINDOW NOTES:  
 1. ALL DIMENSIONS ARE SASH DIMENSIONS  
 2. REFERENCE SCHEDULED REMARKS FOR WINDOWS WITH TEMPERED SAFETY GLAZING; SAFETY GLAZING TO BE IDENTIFIED PER CRC R308.4  
 3. ALL DIMENSIONS ARE CLEAR JAMB & CLEAR HEAD SILL  
 4. ALL GLAZING TO BE LOW E, DUAL PANE, INSULATED, UV, FILM, SEE SPECS, FOR VARIATIONS  
 5. ALL WINDOWS TO BE ALUMINUM CLAD WOOD CASE WINDOWS OR EQUAL  
 6. ALL SKYLIGHTS TO BE VELUX DUAL-PANE SOFT COAT LOW E GLAZING  
 7. TUBULAR SKYLIGHT TO BE DUAL-PANE (AT CEILING LENS)  
 8. CONTRACTOR IS NOT TO WASH WINDOWS OR REMOVE LABELS PRIOR TO INSPECTION AND VERIFICATION OF U AND SHGC PROPERTIES

# WINDOW TYPES



TYPE 1 SLIDING CASEMENT  
 TYPE 2 CASEMENT  
 TYPE 3 FIXED CASEMENT

# DOOR SCHEDULE

FIRST FLOOR									
TAG	TYPE	MAT	THICKNESS	OPENING - DOOR SASH SIZES		HOWR GROUP	ENERGY U-FACTOR	SHGC	REMARKS
1	A	WD/GLASS	1 3/4"	3'-0"	6'-8"	-	-	-	12" DOUBLE PANE SKILLITE AT EACH SIDE; TEMPERED GLAZING
2	D	WD/GLASS	-	22'-0"	7'-0"	-	-	-	TEMPERED GLAZING
3	B	WD/GLASS	1 3/4"	2'-6"	6'-8"	-	-	-	TEMPERED GLAZING; OBSCURED GLASS
4	C	WD/GLASS	1 3/4"	5'-0"	6'-8"	-	-	-	TEMPERED GLAZING
5	-	WD/GLASS	1 3/4"	2'-8"	6'-8"	-	-	-	EXISTING
6	-	WD	-	-	-	-	-	-	EXISTING 2 CAR GARAGE DOOR
10	F	WD	-	2'-8"	6'-8"	-	-	-	CASED OPENING
11	E	WD	1 3/8"	2'-4"	6'-8"	-	-	-	
12	E	WD	1 3/8"	2'-8"	6'-8"	-	-	-	
13	G	WD	1 3/8"	5'-0"	6'-8"	-	-	-	
14	E	WD	1 3/8"	2'-8"	6'-8"	-	-	-	
15	G	WD	1 3/8"	5'-0"	6'-8"	-	-	-	
16	E	WD	1 3/8"	2'-6"	6'-8"	-	-	-	
17	E	WD	1 3/8"	1'-3"	6'-8"	-	-	-	
18	E	WD	1 3/8"	2'-6"	6'-8"	-	-	-	
19	E	WD	1 3/8"	2'-8"	6'-8"	-	-	-	
20	G	WD	1 3/8"	5'-0"	6'-8"	-	-	-	
21	E	WD	1 3/8"	2'-8"	6'-8"	-	-	-	
22	F	WD	-	9'-0"	6'-8"	-	-	-	CASED OPENING
23	E	WD	1 3/8"	2'-8"	6'-8"	-	-	-	
24	E	WD	1 3/8"	2'-6"	6'-8"	-	-	-	

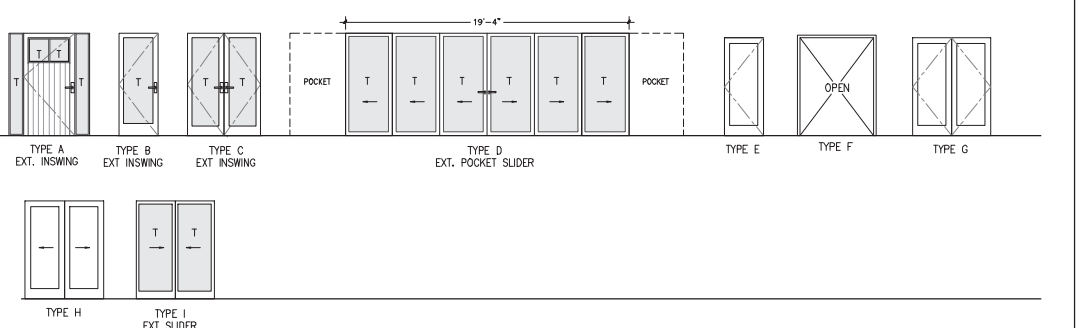
FIRST FLOOR									
TAG	TYPE	MAT	THICKNESS	OPENING - DOOR SASH SIZES		HOWR GROUP	ENERGY U-FACTOR	SHGC	REMARKS
25	E	WD	1 3/8"	2'-6"	6'-8"	-	-	-	
26	E	WD	1 3/8"	2'-6"	6'-8"	-	-	-	
27	E	WD	1 3/8"	2'-4"	6'-8"	-	-	-	
28	SHMR	GLASS	1/2"	2'-6"	6'-8"	-	-	-	TEMPERED GLASS ENCLOSURE
29	H	WD	1 3/8"	8'-0"	6'-8"	-	-	-	
30	F	WD	-	2'-6"	6'-8"	-	-	-	POCKET DOOR & CASE HARDWARE
31	E	WD	1 3/8"	2'-8	6'-8"	-	-	-	
32	E	WD	1 3/8"	2'-6"	6'-8"	-	-	-	
33	E	WD	1 3/8"	2'-8"	6'-8"	-	-	-	
34	E	WD	1 3/8"	2'-8"	6'-8"	-	-	-	
35	E	WD	1 3/8"	2'-8"	6'-8"	-	-	-	EXISTING

SECOND FLOOR									
201	E	WD	1 3/8"	5'-0"	6'-8"	-	-	-	
202	E	WD	1 3/8"	2'-8"	6'-8"	-	-	-	
203	E	WD	1 3/8"	2'-8"	6'-8"	-	-	-	
204	G	WD	1 3/8"	4'-0"	6'-8"	-	-	-	
205	G	WD	1 3/8"	4'-0"	6'-8"	-	-	-	
206	E	WD	1 3/8"	2'-2"	6'-8"	-	-	-	
207	E	WD	1 3/8"	2'-4"	6'-8"	-	-	-	
208	H	WD	1 3/8"	6'-0"	6'-8"	-	-	-	

DOOR NOTES:  
1 ALL DIMENSIONS ARE SASH DIMENSIONS  
2 SAFETY GLAZING DESIGNATED BY "I" IN DOOR TYPES; SAFETY GLAZING TO BE IDENTIFIED PER IRC R308.4  
3 ALL EXTERIOR POCKET SLIDERS TO BE ALUMINUM CLAD BY FLEETWOOD  
4 ALL INTERIOR DOORS TO BE SOLID WOOD DOORS.  
5 CONTRACTOR IS NOT TO WASH WINDOWS OR REMOVE LABELS PRIOR TO INSPECTION AND VERIFICATION OF U AND SHGC PROPERTIES

DOOR NOTES:  
 1. ALL DIMENSIONS ARE SASH DIMENSIONS  
 2. SAFETY GLAZING DESIGNATED BY "T" IN DOOR TYPES; SAFETY GLAZING TO BE IDENTIFIED PER CRC R308.4  
 3. ALL EXTERIOR POCKET SLIDERS TO BE ALUMINUM CLAD BY FLEETWOOD  
 4. ALL INTERIOR DOORS TO BE SOLID WOOD DOORS  
 5. CONTRACTOR IS NOT TO WASH WINDOWS OR REMOVE LABELS PRIOR TO INSPECTION AND VERIFICATION OF U AND SHGC PROPERTIES

# DOOR TYPES



TYPE A EXT. INSWING  
 TYPE B EXT. INSWING  
 TYPE C EXT. INSWING  
 TYPE D EXT. POCKET SLIDER  
 TYPE E  
 TYPE F  
 TYPE G  
 TYPE H  
 TYPE I EXT. SLIDER

USE PERMIT – PROJECT DESCRIPTION  
HERSTEIN-SMITH RESIDENCE  
MARCH 2, 2016

RECEIVED

MAR 02 2016

Project: Additions and renovations to single family residence  
Location: 805 Magnolia St, Menlo Park, CA 94025

CITY OF MENLO PARK  
PLANNING

The subject property at 805 Magnolia comprises a partial two-story wood frame residence on a level lot in central Menlo Park. The original single story 1947 home nominally reflects the early ranch house style; a subsequent partial second floor addition matched the details and materials but changed the presumably low-slung massing.

Small, selective proposed additions at the front and side of the home are designed to fit appropriately within the existing architectural massing and language of the building, while increasing its overall curb appeal. A new gable roof over the entire first story, with skylights to bring in additional light, has a more generous slope than the existing roof in order to help mediate the existing tall second story over the garage. New windows at the side of the second story also help to break up the blank wall as viewed from the front yard of the home. The new windows and window seat at the upstairs are taken out of existing closet space.

The purpose of this proposal is to allow the existing legal non-conforming roof at the north side of the second story to remain. According to the "Nonconforming Structure New Work Value Calculation" form, the renovation and addition work of this project is substantial enough that the non-conforming portion of the roof is not permitted to remain. The current approved permit plans show the roof "clipped" at a 45 degree angle so that it falls below the daylight plane at the north side.

Upon beginning of construction, exploratory openings into the existing ceiling and roof of the second story revealed a truss roof structure that would be significantly more complicated and expensive to alter than originally thought. In addition, we strongly feel that having to modify the existing roof would have a detrimental effect on the front façade composition – creating a non-symmetrical roof form at the tallest portion of the home. Therefore, we propose keeping the existing second story roof without modification.

Sincerely,

LORIN HILL | PRINCIPAL  
LORIN HILL, ARCHITECT



RECEIVED

MAR 02 2016

CITY OF MENLO PARK  
PLANNING

Tree Preservation Plan  
For  
805 Magnolia Street  
Menlo Park, California

Prepared for:  
**Steve Smith and Maya Herstein**  
766 Nash Avenue  
Menlo Park, California 94025

Prepared by:  
**Samuel Oakley**  
ISA Certified Arborist WE-9474A  
Tree Risk Assessor Qualified  
ASCA Registered Consulting Arborist #556

## Introduction

Arborwell was contracted to prepare a tree protection plan (TPP) for the proposed renovations to occur at 805 Magnolia Street in Menlo Park, CA (see Figure 1 of Exhibit 1) – a residential property.

Beth Harrington of Lorin Hill Architects contacted me on July 10, 2015 to prepare an arborist report that includes a TTP for the property for which she was in the process of obtaining a building permit. I agreed to visit the site and prepare the TTP. I visited the site on July 28, 2015 for the field preparation of this report.

The TPP is part of a planning submittal package for the review of the City of Menlo Park's Managing Arborist/Urban Forester. Included in this report is the Tree Protection Matrix with specific tree protection measures for each assigned tree number (Exhibit 2), and site plan with markups (Exhibit 3).

## Assignment & Scope

This report intends to describe the necessary steps for the installation of tree protection to ensure the long-term viability of trees slated for preservation. It makes tree protection recommendations under the guidelines provided by the City of Menlo Park's *Tree Protection Specifications*. The drafting of this plan does not imply the responsibility and role of the project arborist.

This TTP was prepared all trees, including Heritage Trees, three (3) inches or greater in diameter at fifty-four (54) inches above grade located on, or within 10 feet of, the property. The City of Menlo Park defines a Heritage Tree as:

- 1) Any tree having a trunk with a circumference of 47.1 inches (diameter of 15 inches) or more measured at 54 inches above natural grade.
- 2) Any oak tree native to California, with a circumference of 31.4 inches (diameter of 10 inches) or more measured at 54 inches above natural grade.
- 3) Any tree or group of trees specifically designated by the City Council for protection because of its historical significance, special character or community benefit.
- 4) Any tree with more than one trunk measured at the point where the trunks divide, with a circumference of 47.1 inches (diameter of 15 inches) or more, with the exception of trees that are less than twelve (12) feet in height, which are exempt from the ordinance.

Trees were identified for removal or for preservation per the document *1507-A1- Site Plan-A1.1* issued to Arborwell on July 13, 2015. Each tree slated for preservation was identified

and specifications for the individual's protection zone, in addition to general preservation guidelines, were provided in this document.

Note that the recommendations in this report are based on visual inspection on the above-ground parts of the trees at the time of the site visit. No soil was removed for below-grade inspection and no aerial inspection was performed. Health and structure of individuals to be preserved was not collected, nor was any other information regarding specific individuals other than species, tag number, and physical metrics. Information in this letter may warrant further investigation as site conditions change over time.

## Method

The specific tasks performed are as follows:

- identify the location of trees on-site;
- identify the species of individuals on-site;
- record the diameter in inches of each tree at fifty-four (54) inches above grade;
- note any special precautions needed for tree preservation;
- acquire site images;
- recommend action and designate tree protection zones;
- prepare a written report that presents findings and submit the report via email as a PDF document;

## Tree Count and Composition

During the site visit, a total of twenty (20) trees were quantified on or directly adjacent to the property.

Five (5) of the 20 trees are located on neighboring properties: Trees 16, 17, 18, 19, & 20

Six of the 20 are heritage trees: Trees 1, 10, 11, 16, 17, & 18

A total of nineteen (19) trees are recommended to be preserved: Trees 1 through 4 and 6 through 20

One (1) tree is recommended for removal base on conflicts with the design: Tree 5

Of the 20 observed on or adjacent to the property, there are nine (9) different species (see the following Tables 1 and 2).

Specific comments on individual performance are given in the Notes column of the Inventory Matrix (Exhibit 2).

Table 1: List of the count per species.

Common Name	Species	Count	Action
Bronze Loquat	<i>Eriobotrya deflexa</i>	1	Preserve
Canary Island Date Palm	<i>Phoenix canariensis</i>	1	Preserve
Cercis canadensis	<i>Eastern Redbud</i>	1	Preserve
Citrus	<i>Citrus spp.</i>	2	Preserve
Coast Redwood	<i>Sequoia sempervirens</i>	3	Preserve
Edible Fig	<i>Ficus carica</i>	1	Preserve
European Beech	<i>Fagus sylvatica</i>	1	Preserve
Flowering Cherry	<i>Prunus serrulata</i>	1	Preserve
Holly	<i>Ilex aquifolium</i>	1	Remove
Italian Cypress	<i>Cupressus sempervirens</i>	3	Preserve
Monterey Pine	<i>Pinus radiata</i>	1	Preserve
Prunus	<i>Prunus spp.</i>	3	Preserve
Southern Magnolia	<i>Magnolia grandiflora</i>	1	Preserve

## Tree Removals

The following trees are recommended for removal base on conflicts with the design plan:

### #5 - Holly

## Tree Preservation

The following trees are proposed to be preserved throughout the project:

- **#1-4, 6-15 –Tree Protection Fencing around the dripline** required. In addition, mulch under dripline to a depth of six (6) inches minimum; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines below. Tree #2 will require an arborist's supervision during the installation of the adjacent structure; pruning for building clearance will be required. Tree #1 is recommended to have the canopy pruned for deadwood and foliar end weight.

- **#16-20 –Tree Protection at the property line** due to the tree existing on neighboring property and the property. Prune roots will be required if trenching is planned anywhere near dripline.

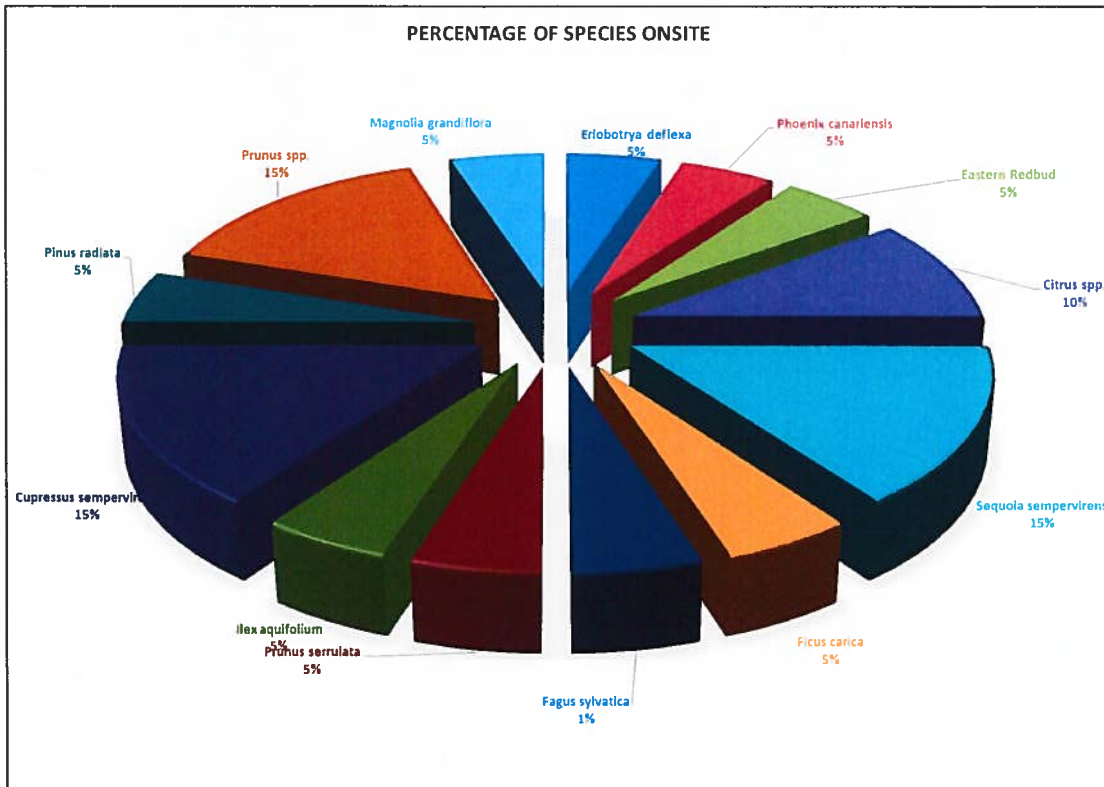


Table 2: a graphical representation of the percentage of species on-site.

## Tree Protection Measures

The objective of this section is to reduce the negative impacts of construction on trees to a less than significant level. Trees vary in their ability to adapt to altered growing conditions, while mature trees have established stable biological systems in the preexisting physical environment. Disruption of this environment by construction activities interrupts the tree's physiological processes, causing depletion of energy reserves and a decline in vigor. This sometime is exhibited as death. Typically, this reaction may develop several years or more after disruption.

The tree protection regulations are intended to guide a construction project to insure that appropriate practices will be implemented in the field to eliminate undesirable consequences that may result from uninformed or careless acts, and preserve both trees and property values.

The following a required to be implemented along with the TPP:

1. The project arborist or contractor shall verify, in writing, that all preconstruction conditions have been met (tree fencing, erosion control, pruning, etc.)
2. The demolition, grading and underground contractors, construction superintendent and other pertinent personnel are required to meet with the project arborist at the site prior to beginning work to review procedures, tree protection measures and to establish haul routes, staging, areas, contacts, watering, etc.
3. Fenced enclosures shall be erected around trees to be protected to achieve three primary goals:
  - a. To keep the foliage crowns and branching structure of the trees to be preserved clear from contact by equipment, materials and activities;
  - b. Preserve roots intact and maintain proper soil conditions in a non-compacted state and;
  - c. To identify the tree protection zone (TPZ) in which no soil disturbance is permitted and activities are restricted.

## Tree Protection Zone (TPZ)

Each tree to be preserved shall have a designated TPZ identifying the area sufficiently large enough to protect the tree and roots from disturbance. The recommended TPZ area can be determined by the canopy footprint. The TPZ shall be shown on all site plans for the project. Improvements or activities such as paving, utility and irrigation trenching and other ancillary activities shall occur outside the TPZ, unless authorized by the project arborist. Unless otherwise specified, the protective fencing shall serve as the TPZ boundaries.

Activities prohibited within the TPZ include:

- Storage or parking vehicles, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots. Poisonous materials include, but are not limited to, paint, petroleum products, concrete or stucco mix, dirty water or any other material which may be deleterious to tree health.
- The use of tree trunks as a winch support, anchorage, as a temporary power pole, sign posts or other similar function.
- Cutting of tree roots by utility trenching, foundation digging, placement of curbs and trenches and other miscellaneous excavation without prior approval of the project arborist.
- Soil disturbance or grade/drainage changes

Activities permitted or required within the TPZ include:

- **Mulching:** During construction, wood chips shall be spread within the TPZ to a six (6) inch depth, leaving the trunk clear of mulch to help inadvertent compaction and moisture loss from occurring. The mulch may be removed if improvements or other landscaping is required. Mulch material shall be two (2) inch unpainted, untreated wood chip mulch or approved equal.
- **Root Buffer:** When areas under the tree canopy cannot be fenced, a temporary buffer is required and shall cover the root zone and remain in place at the specified thickness until final grading stage.
- Irrigation, aeration, fertilizing or other beneficial practices that have been specifically approved for use within the TPZ.

## Size and type of fence

All trees to be preserved shall be protected with five or six (5-6) foot high chain link fences. Fences are to be mounted on two inch diameter galvanized iron posts, driven into the ground to a depth of at least two (2) feet at no more than ten (10) foot spacing. This detail shall appear on grading, demolition and improvement plans.

## Duration of Tree Protection Fencing

Tree fencing shall be erected prior to demolition, grading or construction and remain in place until final inspection.

## “Warning” Signage

A warning sign a minimum of 8.5x11-inches shall be prominently displayed on each fence. The sign shall clearly state:

**WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a penalty.**

Tree protection fencing, if required to be moved, has to be moved under the direction of the project arborist. All tree protection zones need to be clear of debris and construction materials, and cleared of weeds regardless if fencing is present or not. A general rule is that the tree protection zone is to be at the dripline of the tree if fencing is not present. Tree protection fencing needs to be restored to its proper dimensions immediately following activity that resulted in the removal of tree protection fencing.

## Pruning, Surgery and Removal

Prior to construction, trees may require that branches be pruned clear from structures, activities, building encroachment or may need to be strengthened by means of mechanical support (cabling) or surgery. Such pruning, surgery or the removal of trees shall adhere to the following standards:

### 1. Pruning limitations:

- **Minimum Pruning:** If the project arborist recommends that trees be pruned, and the type of pruning is left unspecified, the standard pruning shall consist of ‘crown cleaning’ as defined by ISA Pruning Guidelines. Trees shall be pruned to reduce hazards and develop a strong, safe framework.
- **Maximum Pruning:** Maximum pruning should only occur in the rarest situation approved by the project arborist. No more than one-fourth (1/4) of

the functioning leaf and stem area may be removed within one (1) calendar year of any tree, or removal of foliage so as to cause the unbalancing of the tree. It must be recognized that trees are individual in form and structure, and that pruning needs may not always fit strict rules. The project arborist shall assume all responsibility for special pruning practices that vary from the standards outlined in this TPP.

- **Tree Workers:** Pruning shall not be attempted by construction or contractor personnel, but shall be performed by a qualified tree care specialist or certified tree worker.

### Activities During Construction & Demolition Near Trees

Soil disturbance or other injurious and detrimental activity within the TPZ is prohibited unless approved by the project arborist. If an injurious event inadvertently occurs, or soil disturbance has been specifically conditioned for project approval, then the following mitigation is required:

- **Soil Compaction:** If compaction of the soil occurs, it shall be mitigated as outlined in Soil Compaction Damage, and/or Soil Improvement.
- **Grading Limitations within the Tree Protection Zone:**
  - Grade changes outside of the TPZ shall not significantly alter drainage to the tree.
  - Grade changes within the TPZ are not permitted.
  - Grade changes under specifically approved circumstances shall not allow more than six (6) inches of fill soil added or allow more than four (4) inches of existing soil to be removed from natural grade unless mitigated.

### Trenching, Excavation and Equipment Use

Excavation or boring activity within the TPZ is restricted to the following activities, conditions and requirements if approved by the project arborist:

- **Notification.** Contractor shall notify the project arborist a minimum of twenty-four (24) hours in advance of the activity in the TPZ.
- **Root Severance.** Roots that are encountered shall be cut to sound wood and repaired. Roots two (2) inches and greater must remain injury free.

- Excavation. Any approved excavation, demolition or extraction of material shall be performed with equipment sitting outside the TPZ. Methods permitted are by hand digging, hydraulic or pneumatic air excavation technology. Avoid excavation within the TPZ during hot, dry weather.
  - a. If excavation or trenching for drainage, utilities, irrigation lines, etc., it is the duty of the contractor to tunnel under any roots two (2) inches in diameter and greater.
  - b. Prior to excavation for foundation/footings/walls, grading or trenching within the TPZ, roots shall first be severed cleanly one (1) foot outside the TPZ and to the depth of the future excavation. The trench must then be hand dug and roots pruned with a saw, sawzall, narrow trencher with sharp blades or other approved root pruning equipment.
- Heavy Equipment. Use of backhoes, steel tread tractors or any heavy vehicles within the TPZ is prohibited

### Root Severance

Cutting and removal of roots smaller than two (2) inches in diameter shall be done by chain saw or hand saw to provide a flat and smooth cut and cause the least damage possible to the root and tree's health. Cutting roots by means of tractor-type equipment or other than chain saws and hand saws is prohibited.

Proper pruning technique shall encourage callusing of the roots. Root cutting and removal shall not exceed thirty-five (35) percent of total root surface.

The Contractor shall remove any wood chips or debris that may be left over from root removal that may affect the construction of improvements as directed by the City Engineer.

If any roots over two (2) inches in diameter are severed during any excavation, the following procedure shall be followed:

1. The roots shall be shaded by immediately covering the entire trench with plywood, or by covering the sides of the trench with burlap sheeting that is kept moist by watering twice per day.
2. When ready to backfill, each root shall be severed cleanly with a handsaw. Where practical, they should be cut back to a side root. Immediately, a plastic bag shall be placed over the fresh cut, and secured with a rubber band or

electrical tape. Shading should immediately be placed until backfilling occurs.

3. Plastic bags shall be removed prior to backfilling.
4. Backfill shall be clean, native material free of debris, gravel or wood chips.

If roots three (3) inches in diameter, or larger, are encountered during excavation, Contractor shall contact the Public Works Construction Section and the City Parks Division immediately and request a field inspection by the Engineer and the City Tree Supervisor, or their designated representatives, and obtain instruction as to how the roots should be treated. No roots three (3) inches in diameter, or larger, shall be cut and removed without prior approval from the City Engineer and the City Tree Supervisor, or their designated representatives. Failure to notify the Public Works Department or the Parks Division for root inspection will result in the Contractor paying for damages and/or replacing the damaged tree as determined by the Engineer.

### Irrigation Program

Irrigate to wet the soil within the TPZ to a depth of twenty-four to thirty (24-30) inches at least once a month, preferably twice a month. Ten (10) gallons per inch DBH is a sufficient amount. Begin irrigating immediately prior to any construction activity. Alternatively, sub-surface irrigation may be used at regular specified intervals by injecting on approximate three (3) foot centers, ten (10) gallons of water per inch trunk diameter within the TPZ. Duration shall be until project completion plus monthly until seasonal rainfall totals at least eight (8) inches of rain, unless specified otherwise by the project arborist.

### Damage to Trees - Reporting

Any damage or injury to trees shall be reported within six (6) hours to the project arborist and job superintendent or City Arborist so that mitigation can take place. All mechanical or chemical injury to branches, trunk or to roots over two (2) inches in diameter shall be reported in the monthly inspection report. In the event of injury, the following mitigation and damage control measures shall apply:

- Root injury: If trenches are cut and tree roots two (2) inches or larger are encountered they must be cleanly cut back to a sound wood lateral root. The end of the root shall be covered with either a plastic bag and secured with tape or rubber band, or be coated with latex paint. All exposed root areas within the TPZ shall be backfilled or covered within one (1) hour. Exposed roots may be kept from drying out by temporarily covering the roots and draping layered burlap or carpeting over the upper three (3) feet of trench

walls. The materials must be kept wet until backfilled to reduce evaporation from the trench walls.

- Bark or trunk wounding: Current bark tracing and treatment methods shall be performed by a qualified tree care specialist within two (2) days.
- Scaffold branch or leaf canopy injury: Remove broken or torn branches back to an appropriate branch capable of resuming terminal growth within five (5) days. If leaves are heat scorched from equipment exhaust pipes, consult the project arborist within six (6) hours.

Any damage any tree's canopy will need to be restoratively pruned effective immediately after the damage occurs and no later than 48 hours after the damage occurs.

## Inspection Schedule

The project arborist retained by the applicant shall conduct the following required inspections of the construction site:

- Inspections shall verify that the type of tree protection and/or plantings re consistent with the standards outlined within this TPP. For each required inspection or meeting, a written summary of the changing tree related conditions, actions taken, and condition of trees shall be provided to the contactor.
  - Inspection of Protective Tree Fencing.
  - Pre-Construction Meeting. Prior to commencement of construction, the contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading equipment operators, and the project arborist.
  - Inspection of Rough Grading. The project arborist shall perform an inspection during the course of rough grading adjacent to the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least forty-eight (48) hours advance notice of such activity.
  - Monthly Inspections. The project arborist shall perform monthly inspections to monitor changing conditions and tree health. The City Arborist shall be in receipt of an inspection summary during the first

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Smith-Herstein Residence  
Tree Preservation Plan – 805 Magnolia Street



week of each calendar month or, immediately if there are any changes to the approved plans or protection measures.

- Any special activity within the Tree Protection Zone. Work in this area (TPZ) requires the direct on-site supervision of the project arborist.

## Conclusion

It is the nature of trees exposed to construction that some do not survive, and mortality cannot be predicted. In the event that due care is exercised, all of the trees on the project are expected to remain healthy and alive.

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## Assumptions and Limiting Conditions

While trees vary in their tolerance to changed conditions, disruption in any form of the environment to which the trees have grown accustomed may result in adverse reaction. Human activity among and near trees is inherently contrary to tree welfare and there are inherent risks associated.

The following are limitations to this report:

- All information presented herein covers only the trees examined at the area of inspection, and reflects the conditions observed of said trees at the time of inspection.
- Observations were performed visually without probing, dissecting, coring, or excavation, unless noted above, and in no way shall the observer be held responsible for any defects that could have only been discovered by performing said services in specific area(s) where a defect was located.
- No guarantee or warranty is made, expressed or implied, that defects of the trees inspected may not arise in the future.
- No assurance can be offered that if the recommendations and precautionary measures are accepted and followed, that the desired results may be attained.
- No responsibility is assumed for the methods used by any person or company executing the recommendations provided in this report.
- The information provided herein represents an opinion, and in no way is the reporting of a specified finding, conclusion, or value based on the retainer.
- This report is proprietary to Arborwell, and may not be reproduced in whole or part without written consent. This report has been prepared exclusively for use of the parties to which it has been submitted.
- Should any part of this report be altered, damaged, corrupted, or lost the entire evaluation shall be invalid.

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Tree Preservation Plan – 805 Magnolia Street



## Exhibit 1 – Figures

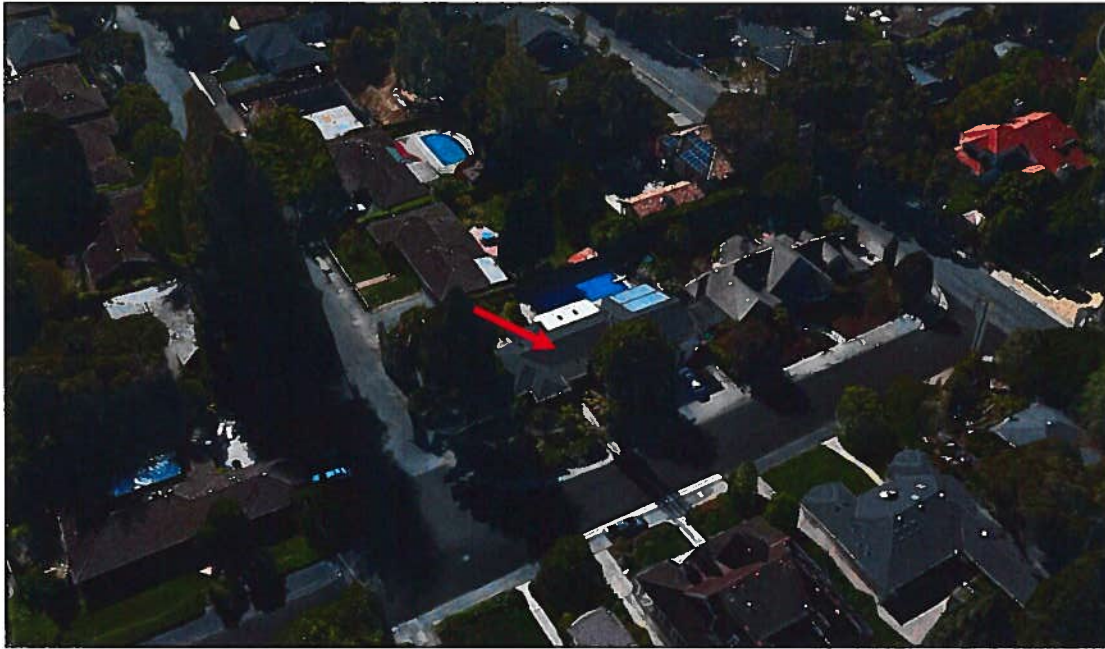


Figure 1: an aerial image of 805 Magnolia Street – a residential property – shown with an arrow.

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Figure 2: an image of Tree #1 – slated to be preserved.

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Figure 3: an image of Tree #2 – slated for preservation.

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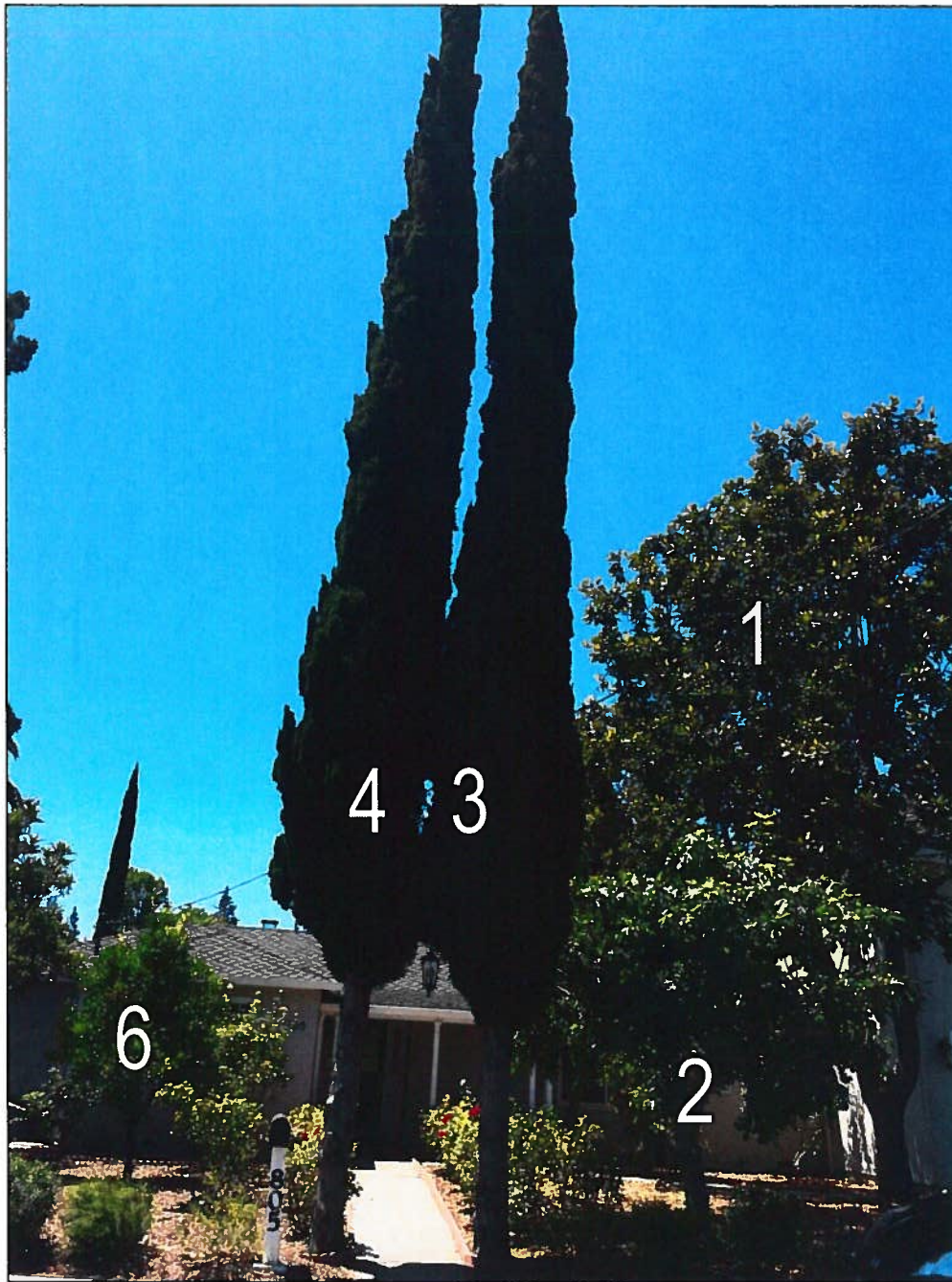


Figure 4: an image of Trees #1, #2, #3, #4, & #6 – slated to be preserved.



Figure 5: an image of Tree #5 – to be removed based on design conflicts.

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Figure 6: an image of Tree #7 – slated to be preserved.

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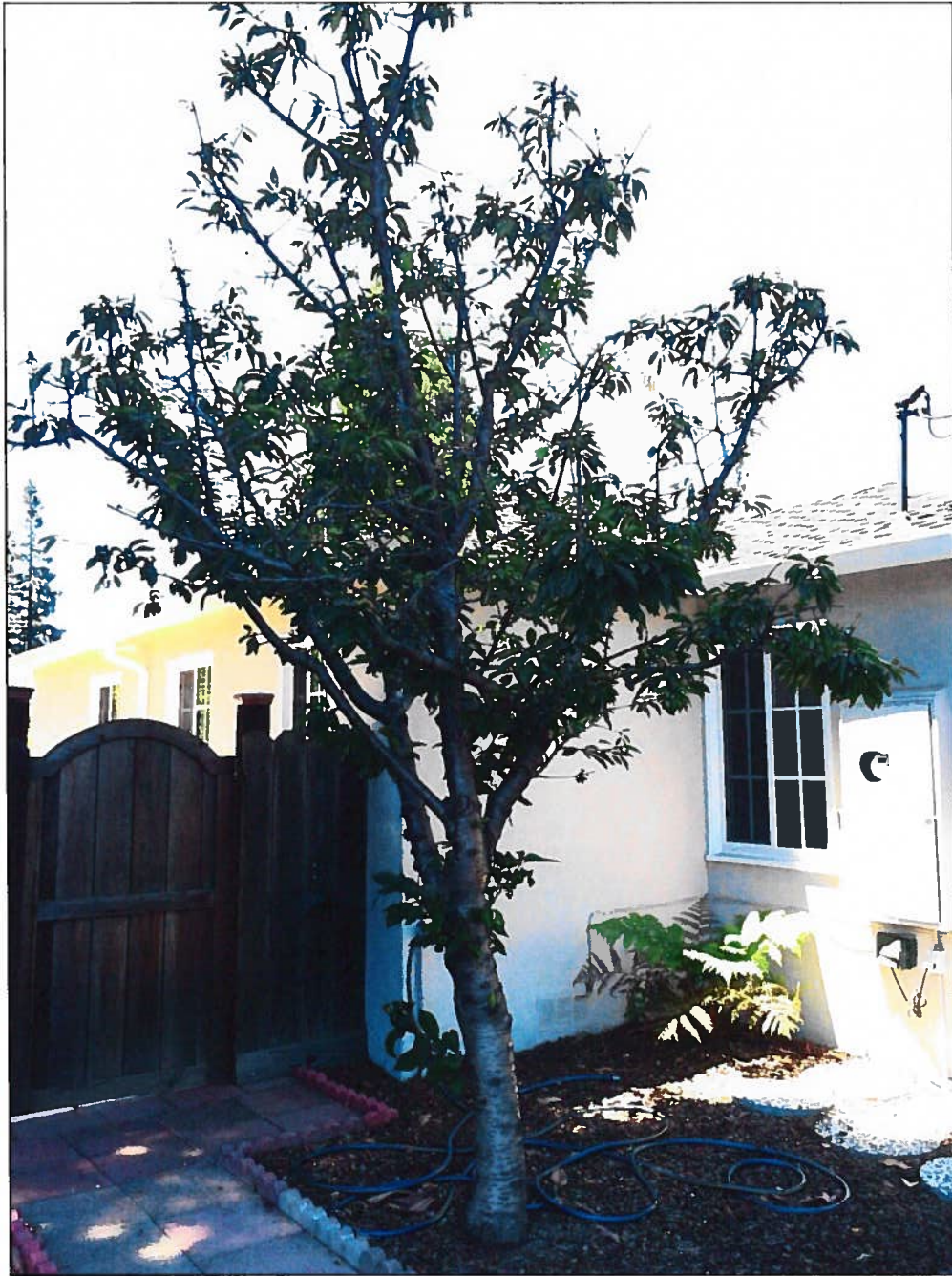


Figure 7: an image of Tree #8 – slated to be preserved.

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Figure 8: an image of Tree #9 – slated to be preserved.

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Figure 9: an image of Tree #10 – slated to be preserved.

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Figure 10: an image of Tree #11 – slated to be preserved.

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Figure 11: an image of Trees #12, #13, & #15 – slated to be preserved.

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Figure 12: an image of Tree #14 – slated to be preserved.

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Figure 13: an image of Trees #16, #17, & #18 located on the neighboring property – slated to be preserved.

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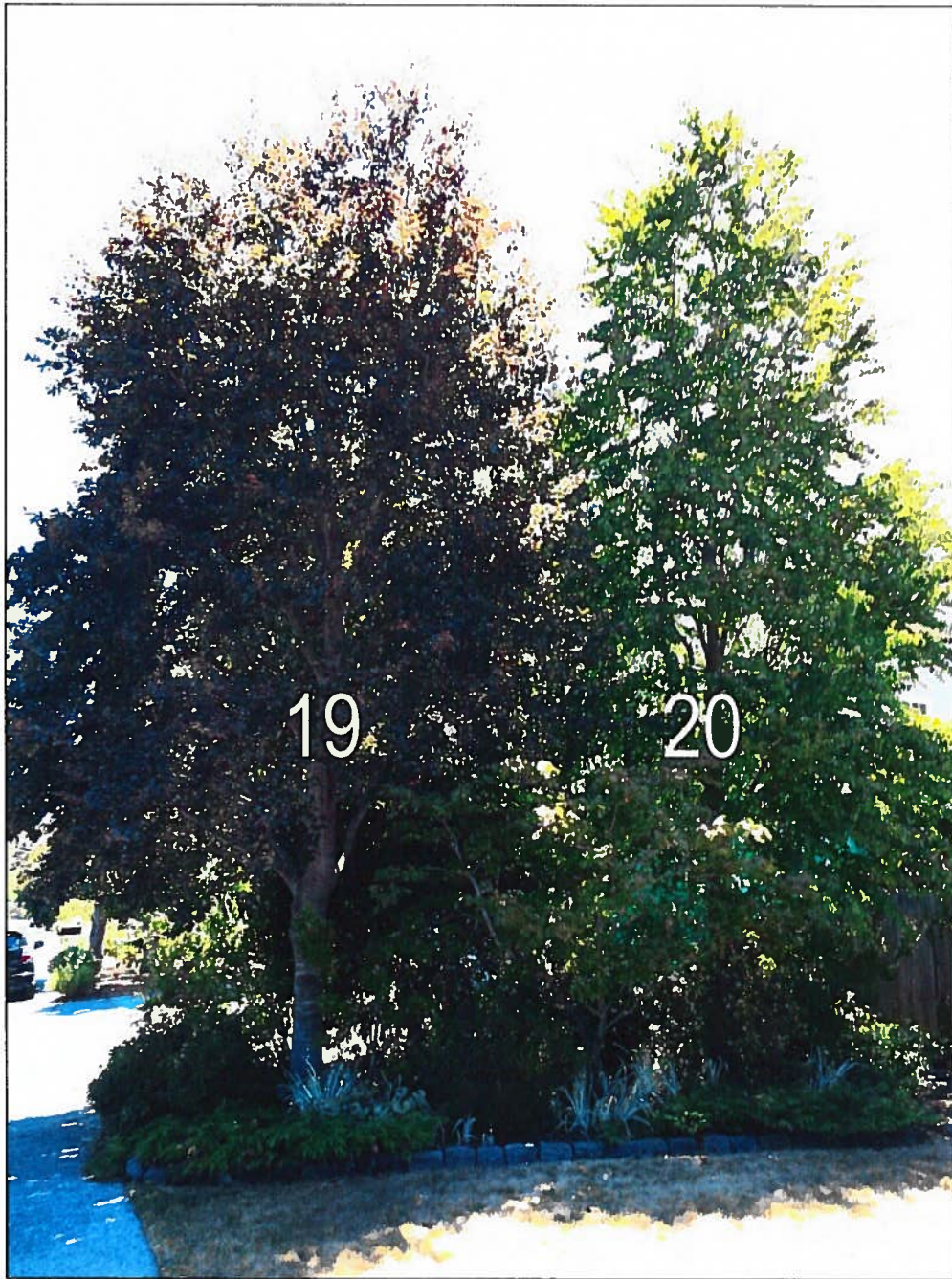


Figure 14: an image of Trees #19 & #20 located on the neighboring property – slated to be preserved.

# Exhibit 2 - Tree Protection Matrix

805 Magnolia Street, Menlo Park

Tag #	Common Name	Species	Diameter (inches)	Heritage?	Action	TPZ Type	Other Actions Required Prior to TPZ Setup	Notes
1	Southern Magnolia	<i>Magnolia grandiflora</i>	18	Yes	Preserve	Tree Protection Fencing around dripline	Prune deadwood and for building clearance; Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines	Surface roots
2	Edible Fig	<i>Ficus carica</i>	7, 8	No	Preserve	Tree Protection Fencing around dripline	Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines; Contact Arborist before installing covered parking structure	Water sprouting
3	Italian Cypress	<i>Cupressus sempervirens</i>	12	No	Preserve	Tree Protection Fencing around dripline	Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines; Contact Arborist before installing covered parking structure	Excessively raised
4	Italian Cypress	<i>Cupressus sempervirens</i>	13	No	Preserve	Tree Protection Fencing around dripline	Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines; Contact Arborist before installing covered parking structure	Excessively raised
5	Holly	<i>Ilex aquifolium</i>	3, 3, 2, 2, 1,	No	Remove	NA	NA	Volunteer; Multistemmed; Poor structure
6	Citrus	<i>Citrus spp.</i>	3	No	Preserve	Tree Protection Fencing around dripline	Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines; Contact Arborist before installing covered parking structure	Topped in past
7	Bronze Loquat	<i>Eriobotrya deflexa</i>	5, 4	No	Preserve	Tree Protection Fencing around dripline	Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines; Contact Arborist before installing covered parking structure	Fruit tree
8	Flowering Cherry	<i>Prunus serrulata</i>	7, 5	No	Preserve	Tree Protection Fencing around dripline	Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines; Contact Arborist before installing covered parking structure	Declining
9	Prunus	<i>Prunus spp.</i>	3, 1	No	Preserve	Tree Protection Fencing around dripline	Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines; Contact Arborist before installing covered parking structure	Fruit tree
10	Monterey Pine	<i>Pinus radiata</i>	30	Yes	Preserve	Tree Protection Fencing around dripline	Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines; Contact Arborist before installing covered parking structure	Large specimen tree
11	Canary Island Date Palm	<i>Phoenix canariensis</i>	36	Yes	Preserve	Tree Protection Fencing around dripline	Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines; Contact Arborist before installing covered parking structure	Large specimen tree
12	Prunus	<i>Prunus spp.</i>	3	No	Preserve	Tree Protection Fencing around dripline	Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines; Contact Arborist before installing covered parking structure	Fruit tree
13	Prunus	<i>Prunus spp.</i>	3	No	Preserve	Tree Protection Fencing around dripline	Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines; Contact Arborist before installing covered parking structure	Fruit tree

Tag #	Common Name	Species	Diameter (Inches)	Heritage?	Action	TPZ Type	Other Actions Required Prior to TPZ Setup	Notes
14	Citrus	<i>Citrus spp.</i>	3	No	Preserve	Tree Protection Fencing around dripline	Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines; Contact Arborist before installing covered parking structure	Fruit tree
15	Italian Cypress	<i>Cupressus sempervirens</i>	7	No	Preserve	Tree Protection Fencing around dripline	Mulch under dripline; Single application of fertilizer prior to construction; Irrigate monthly per construction guidelines; Contact Arborist before installing covered parking structure	
16	Coast Redwood	<i>Sequoia sempervirens</i>	Approx. 15	Yes	Preserve	Tree Protection Fencing at the property line	NA	On neighboring property; Healthy Tree
17	Coast Redwood	<i>Sequoia sempervirens</i>	Approx. 15	Yes	Preserve	Tree Protection Fencing at the property line	NA	On neighboring property; Healthy Tree
18	Coast Redwood	<i>Sequoia sempervirens</i>	Approx. 16	Yes	Preserve	Tree Protection Fencing at the property line	NA	On neighboring property; Healthy Tree
19	European Beech	<i>Fagus sylvatica</i>	10	No	Preserve	Tree Protection Fencing at the property line	NA	On neighboring property; Healthy Tree
20	<i>Cercis canadensis</i>	<i>Eastern Redbud</i>	10	No	Preserve	Tree Protection Fencing at the property line	NA	On neighboring property; Healthy Tree

## Exhibit 3 – Site Plan



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## STAFF REPORT

### Planning Commission

**Meeting Date:**

**7/11/2016**

**Staff Report Number:**

**16-054-PC**

**Public Hearing:**

**Use Permit/Charles Holman/361 Marmona Drive**

### Recommendation

Staff recommends that the Planning Commission approve a use permit to construct an addition to and remodel an existing, nonconforming single-story, single-family residence on a lot in the R-1-U (Single-Family Urban Residential) zoning district at 361 Marmona Drive. The value of the work would exceed 75 percent of the replacement value of the existing structure. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The project site is located at 361 Marmona Drive. Using Marmona Drive in the north-south orientation, the subject property is on the west side of Marmona Drive between McKendry Drive and Robin Way, in the Willows neighborhood and in the Federal Emergency Management Agency (FEMA) flood zone. A location map is included as Attachment B. Adjacent parcels are also zoned R-1-U and in the FEMA flood zone, with predominantly one-story, single-family residences that predominately feature the ranch and bungalow architectural styles.

For Zoning Ordinance setback purposes, the front property line for corner lots is the shorter of the two street-facing sides. Front doors and addresses may be located on either street frontage. In this case, the front property line is on McKendry Drive, and Marmona Drive is designated the corner side lot line. The front door and address are on Marmona Drive.

### Analysis

#### *Project description*

The subject site is currently occupied by a single-story residence that is nonconforming with regard to the rear yard setback. The applicant is proposing to maintain and remodel the existing 956-square-foot residence of two bedrooms and one bathroom, while constructing a new single-story addition of approximately 573 square feet at the north front side of the existing residence and retaining the existing detached 386-square-foot garage in the rear-right corner of the lot. With the new addition, the residence

would become a three-bedroom, two-bathroom home.

The existing nonconforming walls at the rear side of the residence are proposed to remain with the wall framing retained, but all areas of new construction would comply with current setback requirements and other development standards of the R-1-U zoning district. The proposed uncovered landing at the rear side of the house would project five feet into the required rear yard, which the Zoning Ordinance permits up to a maximum of six feet.

The existing detached garage in the rear-right corner of the lot provides one required covered parking space and would remain as is. The existing nonconforming parking situation would remain, as may be permitted on remodel/expansion projects. The existing driveway leading to the garage would remain and provides multiple unofficial, tandem parking spaces.

The floor area, building coverage, daylight plane, and height of the proposed residence would all be in compliance and below the maximum amounts permitted by the Zoning Ordinance. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

### ***Design and materials***

The existing residence features a ranch-style, single-story house with an asphalt shingle hipped roof, asphalt shingle siding, eighteen-inch-wide overhanging eaves, brick fireplace, and sliding doors leading to a patio. The applicant proposes a new single-story addition that would expand the house mostly on the front side and partially on the left side. The front addition would include a new master bedroom and a new living room, whereas the left addition would expand the kitchen area and create a new foyer and covered porch to define the entrance of the home. As part of the exterior remodel of the home, there would be new gabled roofs on the front, left, and right sides that would match the existing asphalt shingle roof material. In addition to the new gabled roof over the covered porch on the left side, there would be two wood columns to further define the entrance of the home. The applicant also proposes to comprehensively update the exterior appearance of the home, including new wood cedar shingles to all facades, new vinyl clad windows and doors with wood frames and true divided lights, and a new wood door on the left entrance. Staff believes that the scale, materials, and style of the proposed residence are consistent with the broader neighborhood, given the similar architectural styles and sizes of structures in the area.

### ***Trees and landscaping***

Currently, there are seven trees on or near the project site, all of which would remain. Standard heritage tree protection measures will be ensured through recommended condition 3g, and no heritage tree impacts are expected given the limited scope of the project and the distance between the trees and the areas of new construction.

### ***Flood zone***

The subject property is located within the "AE" zone established by the Federal Emergency Management Agency (FEMA). Within this zone, flood proofing techniques are required for new construction and substantial improvements of existing structures. The Public Works Department has reviewed and

tentatively approved the proposal for compliance with FEMA regulations.

### ***Valuation***

To calculate the replacement and new construction costs on which the use permit threshold is based, the City uses standards established by the Building Division. The City has determined that the replacement cost of the existing structure would be \$191,280, meaning that the applicants would be allowed to propose new construction and remodeling at this site totaling less than \$143,460 in any 12-month period without applying for a use permit. The City has determined that the value of the proposed work would be approximately \$200,928. Based on this estimate, the proposed project exceeds 75 percent of the replacement cost of the existing structure, therefore requiring use permit approval by the Planning Commission.

### ***Correspondence***

The applicants indicate that they performed outreach by sending the adjacent property owners a letter regarding the proposed project. Two copies of the letter they sent to their adjacent neighbors and signed in support by their neighbors at 347 Marmona Drive and 376 McKendry Drive are included as Attachment F. Staff has not received any other correspondence thus far.

### ***Conclusion***

Staff believes that the scale, materials, and style of the proposed residence are compatible with those of the greater neighborhood. No heritage tree impacts are anticipated. The floor area, building coverage, and height of the proposed residence would all be below the maximum amounts permitted by the Zoning Ordinance, and the new addition would be within the setback and daylight plane requirements. Staff recommends that the Planning Commission approve the proposed project.

### ***Impact on City Resources***

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### ***Environmental Review***

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

### ***Public Notice***

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### ***Appeal Period***

The Planning Commission action will be effective after 15 days unless the action is appealed to the City

Council, in which case the outcome of the application shall be determined by the City Council.

**Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Correspondence

**Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

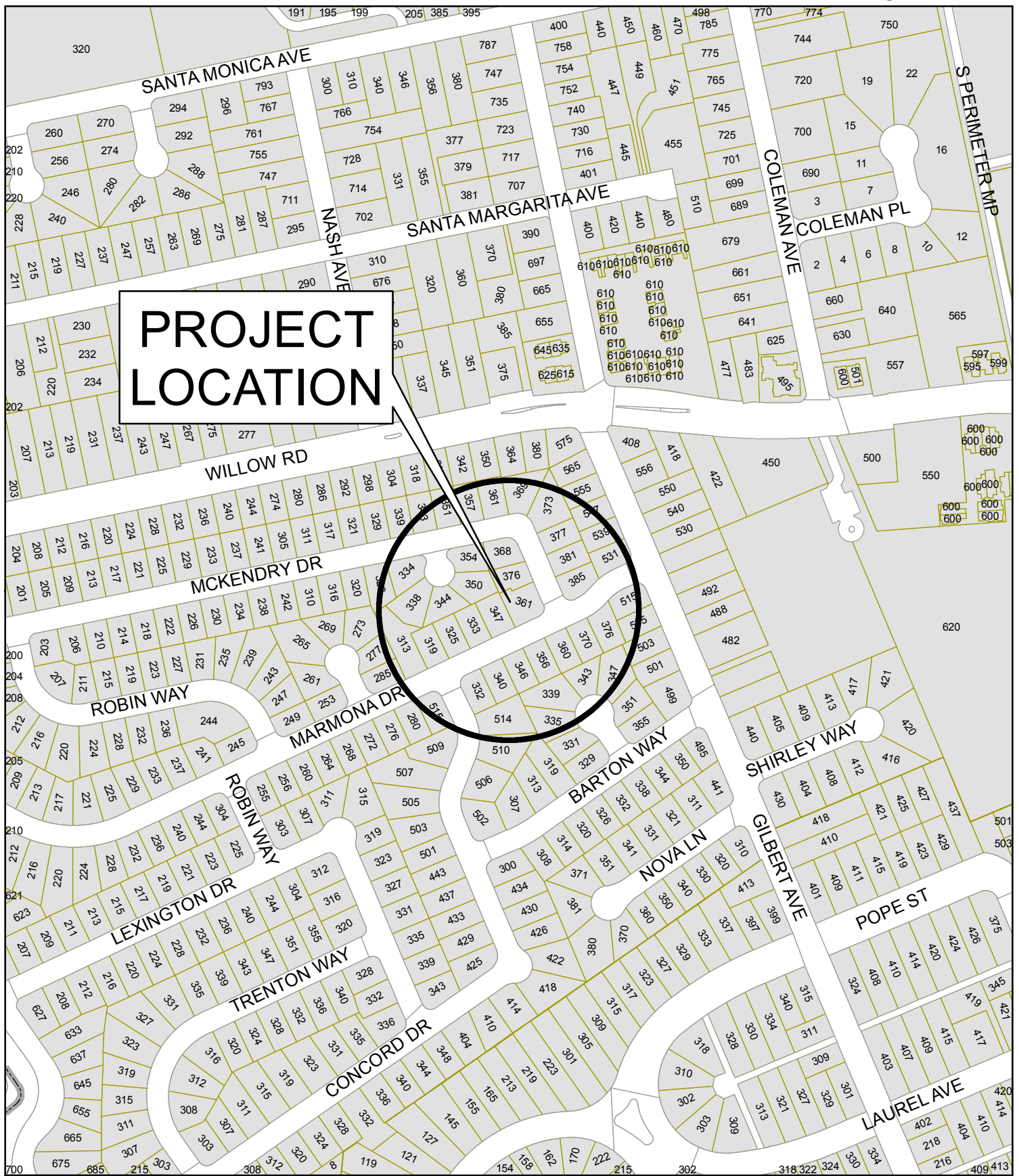
None

Report prepared by:  
Sunny Chao, Assistant Planner

Report reviewed by:  
Thomas Rogers, Principal Planner

## 361 Marmona Drive – Attachment A: Recommended Actions

<b>LOCATION:</b> 361 Marmona Drive	<b>PROJECT NUMBER:</b> PLN2016-00011	<b>APPLICANT:</b> Charles Holman	<b>OWNER:</b> 2880 Stevens Creek, LLC
<b>REQUEST:</b> Request for a use permit to construct an addition to and remodel an existing, nonconforming single-story, single-family residence on a lot in the R-1-U (Single-Family Urban Residential) zoning district. The value of the work would exceed 75 percent of the replacement value of the existing structure.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> July 11, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"><li>1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines.</li><li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li><li>3. Approve the use permit subject to the following <b>standard</b> conditions:<ol style="list-style-type: none"><li>a. Development of the project shall be substantially in conformance with the plans prepared by Charles Holman Design consisting of eleven plan sheets, dated received June 28, 2016 and May 18, 2016, and approved by the Planning Commission on July 11, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li><li>b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.</li><li>c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li><li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li><li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li><li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li><li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</li></ol></li></ol>			

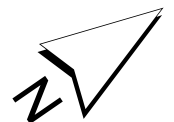


# CITY OF MENLO PARK

## LOCATION MAP

### 361 MARMONA DRIVE

DRAWN: TAS CHECKED: SYC DATE: 07/11/16 SCALE: 1" = 300' SHEET: 1



## 361 Marmona Drive – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	6,546 sf	6,546 sf	7,000 sf min.
Lot width	73.3 ft.	73.3 ft.	65 ft. min.
Lot depth	75.9 ft.	75.9 ft.	100 ft. min.
Setbacks			
Front	36 ft.	34.8 ft.	20 ft. min.
Rear	17.9 ft.	17.9 ft.	20 ft. min.
Side (left)	14.2 ft.	24.9 ft.	7.8 ft. min.
Side (right)	17.8 ft.	18.2 ft.	7.8 ft. min.
Building coverage	1,998.4 sf	1,341.9 sf	2,618.4 sf max.
	31 %	20 %	40 % max.
FAL (Floor Area Limit)	1,930.9 sf	1,341.9 sf	2,800 sf max.
Square footage by floor	1,545.4 sf/1st 385.5 sf/garage 52.5 sf/porch 15 sf/fireplace	956.4 sf/1st 385.5 sf/garage	
Square footage of buildings	1,998.4 sf	1,341.9 sf	
Building height	15.5 ft.	14.6 ft.	28 ft. max.
Parking	1 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees			
	Heritage trees	5*	Non-Heritage trees 2
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal 0
			New Trees 0
			Total Number of Trees 7

\*Two of the trees are on the adjacent rear property and the remaining three trees are in the right-of-way.

NOTE:

CONTRACTOR AND SUB-CONTRACTORS TO NOTIFY ARCHITECT, STRUCTURAL ENGINEER, CIVIL ENGINEER OR ANY OTHER CONSULTANT INVOLVED WITH THE PREPARATION OF THESE DRAWINGS OF ANY ERRORS OR DISCREPANCIES. IF SUCH AN ERROR/ DISCREPANCY IS DISCOVERED, CEASE WORK IMMEDIATELY AND RESOLVE BEFORE PROCEEDING WITH ANY CONSTRUCTION AND/OR INSTALLATION.

ELECTRICAL NOTES:

TWO OR MORE 20 AMPERE SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE RECEPTACLE OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM OR SIMILAR AREAS. NOTE THAT THESE CIRCUITS CANNOT SERVE OUTSIDE PLUGS, RANGE, HOOD, DISPOSALS, DISHWASHERS OR MICROWAVES- ONLY THE REQUIRED COUNTERTOP WALL OUTLETS INCLUDING THE REFRIGERATOR PER CEC ARTICLE 210.11 (C) (1) A DEDICATED 20 AMP CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET. CEC ARTICLE 210.11 (C) (2) A DEDICATED 20 AMP CIRCUIT IS REQUIRED TO SERVE THE REQUIRED BATHROOM OUTLETS. IT SHALL BE INSTALLED ON A WALL PARTITION WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN OR INSTALLED ON THE SIDE/FACE 12" MAX. BELOW THE COUNTERTOP. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTABLES, LIGHTS, FANS, ETC (EXCEPTION: WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED. CEC ARTICLE 210.11 (C) (3) PROVIDE OUTLET RECEPTABLES AT EACH KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM AND SIMILAR COUNTERTOP SPACES WIDER THAN 12". LOCATE SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM ANY RECEPTACLE. PROVIDE A RECEPTACLE OUTLET BEHIND THE SINK IF THE WIDTH IS MORE THAN 12" PER CEC ARTICLE 210.52. FIRST OUTLET SHALL BE 24" FROM EACH SIDE OF SINK. PROVIDE AT LEAST ONE RECEPTACLE FOR THE LAUNDRY PER CEC ARTICLE 210.52 (F) PROVIDE AT LEAST ONE RECEPTACLE IN ANY HALLWAY 10 FEET OR MORE. IN LENGTH CEC ARTICLE 210.52 (H) ALL REQUIRED KITCHEN COUNTERTOP RECEPTABLES SHALL BE LOCATED ABOVE THE COUNTERTOP. 12" ABOVE THE COUNTERTOP AND MAY NOT BE FACE-UP IN COUNTER. IT CAN BE INSTALLED AT NO MORE THAN 12" BELOW THE COUNTERTOP WITH WHERE THE COUNTERTOP EXTENDS MORE THAN 8" BEYOND ITS SUPPORT. CEC 210.52 (C) (3) ALL 15 AND 20 AMPERE RECEPTABLES SHALL BE LISTED TAMPER-RESISTANT RECEPTABLES. CEC 408.12 ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS THAT SUPPLY NEW OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER PER CEC ARTICLE 210.12 (B) PROVIDE A CARBON MONOXIDE ALARM FOR NEW OR EXISTING DWELLINGS OR SLEEPING UNITS WHERE THE REPAIR IS FOR MORE THAN \$1000 AND THAT HAVE ATTACHED GARAGE OR FUEL BURNING APPLIANCES. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT PER CRC, R315 ALL 15 AND 20 AMPERE RECEPTABLES SHALL BE LISTED TAMPER-RESISTANT RECEPTABLES PER CEC 408.12

PLUMBING NOTES:

INSTALL SEISMIC ANCHORAGE OF WATER HEATER WITH ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSION, WITH THE LOWER ANCHOR/STRAP LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4 INCHES ABOVE THE CONTROLS. CPC SECTION 508.2 PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE OF THE BUILDING FOR ALL WATER HEATERS. CPC SECTION 508.5 PRESSURE ABSORBING DEVICES OR APPROVED MECHANICAL DEVICES ARE REQUIRED ON WATER LINES, LOCATED AS CLOSE AS POSSIBLE TO QUICK ACTING VALVES THAT WILL ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF QUICK ACTING VALVES (I.E. CLOTHES WASHER AND DISHWASHER) CPC SECTION 609.10 SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQ. INCHES AND ALSO ENCOMPASS A 30" DIAMETER CLEAR CIRCULAR SPACE MAINTAINED UP TO 70" ABOVE THE SHOWER DRAIN PER CPC 411.7 SHOWER DOORS TO OPEN AT LEAST A MINIMUM OF 22" FOR AN UNOBSTRUCTED EGRESS OPENING. PER CPC 411.8 THE MINIMUM CAPACITY FOR STORAGE WATER HEATERS PER THE FIRST HOUR RATING OF THE WATER HEATER TO COMPLY WITH CPC TABLE 5-1 ACCORDING TO THE NUMBER OF BEDROOMS AND BATHROOMS. CPC SEC. 501 SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQ. INCHES AND ALSO ENCOMPASS A 30" DIAMETER CLEAR CIRCULAR SPACE MAINTAINED UP TO 70" ABOVE THE SHOWER DRAIN PER CPC 411.7 SHOWER DOORS TO OPEN AT LEAST A MINIMUM OF 22" FOR AN UNOBSTRUCTED EGRESS OPENING. PER CPC 411.8 THE MINIMUM CAPACITY FOR STORAGE WATER HEATERS PER THE FIRST HOUR RATING OF THE WATER HEATER TO COMPLY WITH CPC TABLE 5-1 ACCORDING TO THE NUMBER OF BEDROOMS AND BATHROOMS. CPC SEC. 501 PRESSURE ABSORBING DEVICES OR APPROVED MECHANICAL DEVICES ARE REQUIRED ON WATER LINES, LOCATED AS CLOSE AS POSSIBLE TO QUICK ACTING VALVES THAT WILL ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF QUICK ACTING VALVES (I.E. CLOTHES WASHER AND DISHWASHER) CPC SECTION 609.10

MECHANICAL NOTES:

WHEN A COMPARTMENT OR SPACE FOR A DOMESTIC CLOTHES DRYER IS PROVIDED, A MINIMUM FOUR-INCH DIAMETER MOISTURE EXHAUST DUCT OF APPROVED MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH SECTION CMC504.32. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH, AND UTILITY FANS, ETC. AND MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS) CMC SECTION 504.5 PRESSURE ABSORBING DEVICES OR APPROVED MECHANICAL DEVICES ARE REQUIRED ON WATER LINES, LOCATED AS CLOSE AS POSSIBLE TO QUICK ACTING VALVES THAT WILL ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF QUICK ACTING VALVES (I.E. CLOTHES WASHER AND DISHWASHER) CPC SECTION 609.10 ENVIRONMENTAL AIR DUCTS SUCH AS VENTILATION FOR HUMAN USAGE, KITCHEN RANGE EXHAUST, BATHROOM EXHAUST AND CLOTHES DRYER SHALL BE EQUIPPED WITH A BACK DRAFT DAMPER. CMC SECTION 504.1 PROVIDE A CARBON MONOXIDE ALARM FOR NEW OR EXISTING DWELLINGS OR SLEEPING UNITS WHERE THE REPAIR IS FOR MORE THAN \$1000 AND THAT HAVE ATTACHED GARAGE OR FUEL BURNING APPLIANCES. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT PER CRC, R315 WHEN A COMPARTMENT OR SPACE FOR A DOMESTIC CLOTHES DRYER IS PROVIDED, A MINIMUM FOUR-INCH DIAMETER MOISTURE EXHAUST DUCT OF APPROVED MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH CMC SECTION 504.32. WHEN A CLOSET IS DESIGNED FOR INSTALLATION OF A CLOTHES DRYER, A MINIMUM OPENING OF 100 SQUARE INCHES FOR MAKE UP AIR SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS, SUCH AS A FAN, PER CMC SECTION 504.3.2 SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQ. INCHES AND ALSO ENCOMPASS A 30" DIAMETER CLEAR CIRCULAR SPACE MAINTAINED UP TO 70" ABOVE THE SHOWER DRAIN PER CPC 411.7 SHOWER DOORS TO OPEN AT LEAST A MINIMUM OF 22" FOR AN UNOBSTRUCTED EGRESS OPENING. PER CPC 411.8 THE MINIMUM CAPACITY FOR STORAGE WATER HEATERS PER THE FIRST HOUR RATING OF THE WATER HEATER TO COMPLY WITH CPC TABLE 5-1 ACCORDING TO THE NUMBER OF BEDROOMS AND BATHROOMS. CPC SEC. 501 EXHAUST FANS IN BATHROOMS TO BE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR PER CBC SECTION 1203.4.2.1 ALL EXHAUST FANS TO BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. ENERGY SECTION 150 (I) 2

LIGHTING NOTES:

ALL LIGHTS ARE TO BE EQUIPPED WITH COMPACT FLOURESANTS, CLOURE-SEAL BULBS OR LEDS, ALL OF HIGH EFFICIENCY-. ALL RECESSED LUMINAIRES ARE TO BE RATED WITH ELECTRONIC BALLASTS AND AT TIGHT (AT) SPECS FOR SUCH LUMINAIRES. ALL NEW LIGHTS IN BEDROOMS ARE TO BE AFC (ARC FAULT CIRCUIT INTERRUPTED) ALL LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES TO BE CERTIFIED AND LABELED "SUITABLE FOR DAMP/LOCATIONS" PER CEC ARTICLE 410.4(A) ALL SWITCHES TO BE DIMMABLE, ON A TIMER OR CONTROLLED BY A MOTION DETECTOR SMOKE/CO DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM AS WELL AS EACH CORRIDOR GIVING ACCESS TO SUCH ROOMS AS REQUIRED BY SECTION 1210 (A) OF UBC AND IN ACCORDANCE WITH THE MANUFACTURE'S INSTRUCTIONS. EXHAUST FANS IN BATHROOMS TO BE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR PER CBC SECTION 1203.4.2.1 ALL SWITCHES TO BE DIMMABLE, ON A TIMER OR CONTROLLED BY A MOTION DETECTOR

NOTE:

ALL CONSTRUCTION TO COMPLY WITH 2013 CBC, CMC, CEC & CA ENERGY CODE

MENLO PARK: NOISE RESTRICTIONS

1. ANY AND ALL EXCESSIVELY ANNOYING, LOUD OR UNUSUAL NOISES OR VIBRATIONS SUCH AS OFFEND THE PEACE AND QUIET OF PERSONS OF ORDINARY SENSIBILITIES AND WHICH INTERFERE WITH THE COMFORTABLE ENJOYMENT OF LIFE OR PROPERTY AND AFFECT AT THE SAME TIME AN ENTIRE NEIGHBORHOOD OR ANY CONSIDERABLE NUMBER OF PERSONS SHALL BE CONSIDERED A NOISE DISTURBANCE.

2. CONSTRUCTION ACTIVITIES:

a. CONSTRUCTION ACTIVITIES ARE LIMITED TO THE HOURS OF EIGHT (8) AM. AND SIX (6) PM., MONDAY THROUGH FRIDAY.

b. CONSTRUCTION ACTIVITIES BY RESIDENTS AND PROPERTY OWNERS PERSONALLY UNDERTAKING CONSTRUCTION ACTIVITIES TO MAINTAIN OR IMPROVE THEIR PROPERTY ARE ALLOWED ON SATURDAYS, SUNDAYS OR HOLIDAYS BETWEEN THE HOURS OF NINE (9) AM. AND FIVE (5) PM..

c. A SIGN, CONTAINING THE PERMITTED HOURS OF CONSTRUCTION ACTIVITIES EXCEEDING THE PERMITTED LIMITS SET FORTH IN SECTION 9.06.050, SHALL BE POSTED AT THE ENTRANCES TO A CONSTRUCTION SITE UPON THE COMMENCEMENT OF CONSTRUCTION, FOR THE PURPOSE OF INFORMING CONTRACTORS AND SUBCONTRACTORS AND ALL OTHER PERSONS AT THE CONSTRUCTION SITE OF THE BASIC REQUIREMENTS OF THIS CHAPTER. THE SIGN SHALL BE AT LEAST FIVE (5) FEET ABOVE GROUND LEVEL AND SHALL CONSIST OF A WHITE BACKGROUND WITH BLACK LETTERS.

d. NOTWITHSTANDING ANY OTHER PROVISION SET FORTH ABOVE, ALL POWERED EQUIPMENT SHALL COMPLY WITH THE LIMITS SET FORTH IN Section 9.06.040(b).

ALL CONSTRUCTION TO COMPLY WITH CALIFORNIA GREEN CODE:

1. FOUNDATION CONCRETE SLAB FOUNDATION SHALL HAVE A VAPOR RETARDER AND A CAPILLARY BREAK (e.g. 4-inch thick base of 1/2 inch of clean aggregate with a vapor barrier). CGBSC 4.505.2.1

2. INDOOR WATER USE SHOW ON PLAN COMPLIANCE WITH WATER EFFICIENCY AND CONSERVATION THAT REQUIRES 20% SAVING IN POTABLE WATER USING A BASE LINE TABLE D.1.1. UNDER THE PRESCRIPTIVE USE A MAXIMUM FLOW RATE AS FOLLOWS: SHOWERHEADS < 2 gallon per minute (gpm) @ 80 psi LAVATORY FAUCET < 1.5 gpm @ 80 psi KITCHEN AND UTILITY FAUCETS < 1.5 gpm WATER CLOSET < 1.28 gallons per flush AS AN ALTERNATIVE TO PRESCRIPTIVE COMPLIANCE, PROVIDE CALCULATIONS TO DEMONSTRATE 20% SAVING. (CGBSC, Section 4.303.1).

3. FINISHES

a. USE LOW-VOC INTERIOR WALL/COLORING PAINTS (<50 grams per liter (GPL) vocs regardless of sheen) CGBSC 4.504.2.2

b. USE LOW-VOC COATINGS THAT MEET SCQCMD RULE 111 (CGBSC 4.504.2.3)

c. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING: CGBSC 4.504.4 AND 4.504.5

1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.

2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01563).

3. NSF ANSI 140 AT THE GOLD LEVEL.

4. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE TM GOLD.

4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF FLOOR AREA RECEIVING RESIDENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: CGBSC 4.504.3.2

1. CEC EMISSION LIMITS DEFINES IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.

2. PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREEN GUARD CHILDREN & SCHOOLS PROGRAM.

3. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFICI) FLOOR SCORE PROGRAM.

4. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.1, FEBRUARY 2010 ( ALSO KNOWN AS SPECIFICATION 01563).

a. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENT FOR FORMALDEHYDE AS SPECIFIED ON ABB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CFR 38120 et seq.) OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 4.504.5.

1. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1

4. OTHER AT THE TIME OF FINAL INSPECTION AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER (CGBSC Section 4.410).



LOCATION MAP

PROJECT DESCRIPTION:

RECONFIGURE AND ENLARGE EXISTING KITCHEN, ADD ON AN EXTENSION TO DINING AREA AND CREATE A NEW FOYER/PORCH ON MARMONA SIDE OF EXISTING HOME. ADD ON/ EXPAND LIVING AREA AND CREATE AN NEW MASTER BED ROOM SUITE. THE TWO EXISTING BEDROOMS ARE TO REMAIN AS IS FOR THE MOST PART. THE EXISTING DETACHED GARAGE IS TO REMAIN UNCHANGED.

PROJECT DATA

ZONING : R-1-U  
OCCUPANCY GROUP : RS-1-U  
TYPE OF CONST. : 1X-B  
STORIES : ONE  
FIRE SPRINKLERS : NO  
AFM# : 082 -312-240

NOTE:

ALL CONSTRUCTION TO COMPLY WITH 2013 CBC, CMC, CEC & CA ENERGY CODE

SITE ANALYSIS:

LOT AREA	: 6,546	SQ. FT.
ALLOWABLE FLOOR AREA	: 2,800	SQ. FT.
ALLOWABLE COVERAGE	: 2,818	SQ. FT.
EXIST. HOME	: 9564.0	SQ. FT.
PROPOSED ADDITION	: 989.00	SQ. FT.
TOTAL FOR HOUSE	: 1,545.00	SQ. FT.
EXIST. GARAGE	: 385.50	SQ. FT.
TOTAL PROPOSED F.A.L.	: 1933.90	SQ. FT.
COVERED PORCH @ ENTRY	: 62.5	
FIREPLACE	: 15.00	
TOTAL PROPOSED COVERAGE	: 1998.40	(30%)
LANDSCAPING	: 3,198.5	(49%)
PAVED SURFACES	: 1,385.5	(21%)
PARKING SPACES	1 COVERED, 1 UNCOVERED	

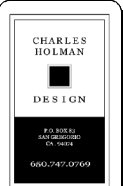
ALL GRADES TO REMAIN NATURAL

TABLE OF CONTENTS:

A-0	: COVER SHEET
A-1	: AREA PLAN AND STREETSCAPES
A-2	: SITE PLAN - EXISTING
A-3	: SITE PLAN - PROPOSED
A-4	: FLOOR PLAN - EXISTING
A-5	: EXTERIOR ELEVATIONS - EXISTING
A-6	: FLOOR PLAN - PROPOSED
A-7	: EXTERIOR ELEVATIONS - PROPOSED
A-8	: SECTIONS - PROPOSED
A-9	: POLYGON AREA DIAGRAM

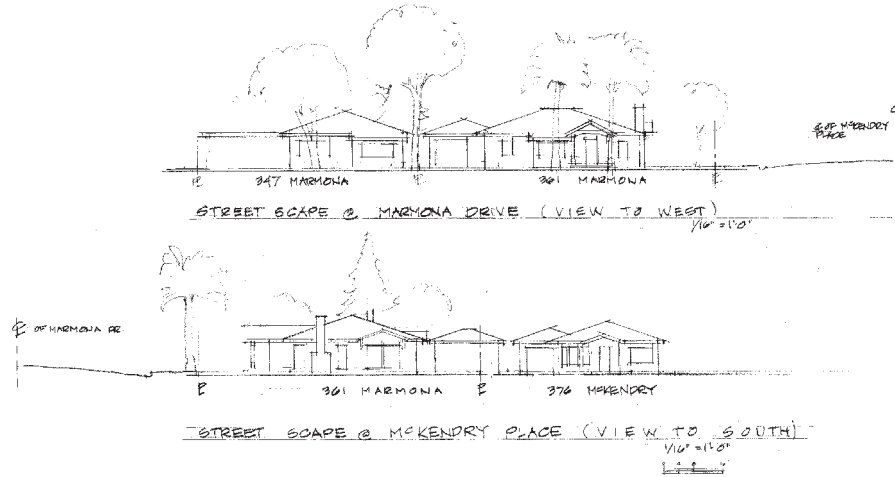
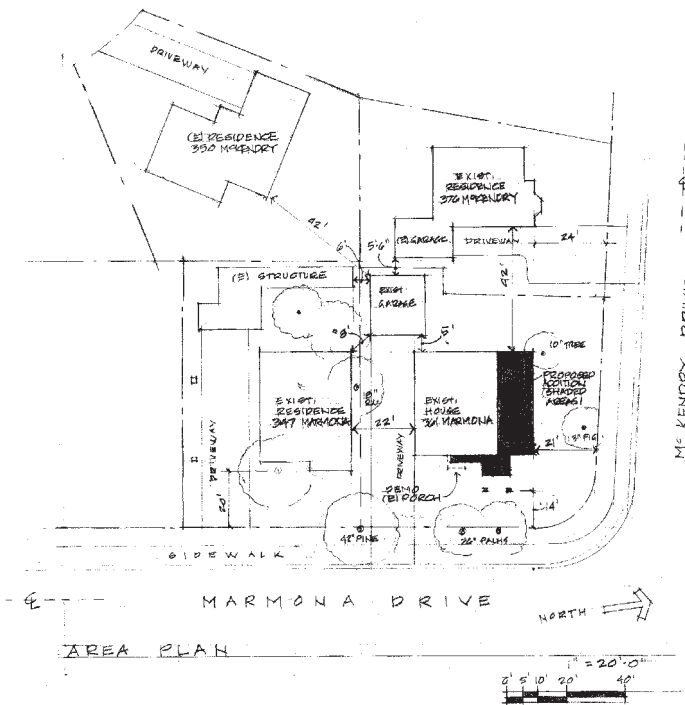
BTM : BOUNDARY / TOPO MAP

REVISIONS	BY
PLANNING 2.29.15	
PLANNING 8.24.15	

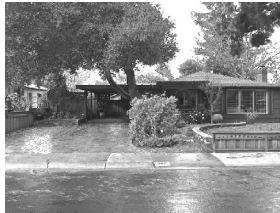


ADDITION / REMODEL FOR:  
**PIPER / SHIMMON RESIDENCE**  
361 MARMONA DRIVE, MENLO PARK

DRAWN TM CHECKED
DATE 12/19/15
SCALE
AS NOTED
JOB NO.
SHEET <b>A-0</b> OF SHEETS



PHOTOS AT MARMONA DRIVE



PHOTOS AT MCKENDRY DRIVE



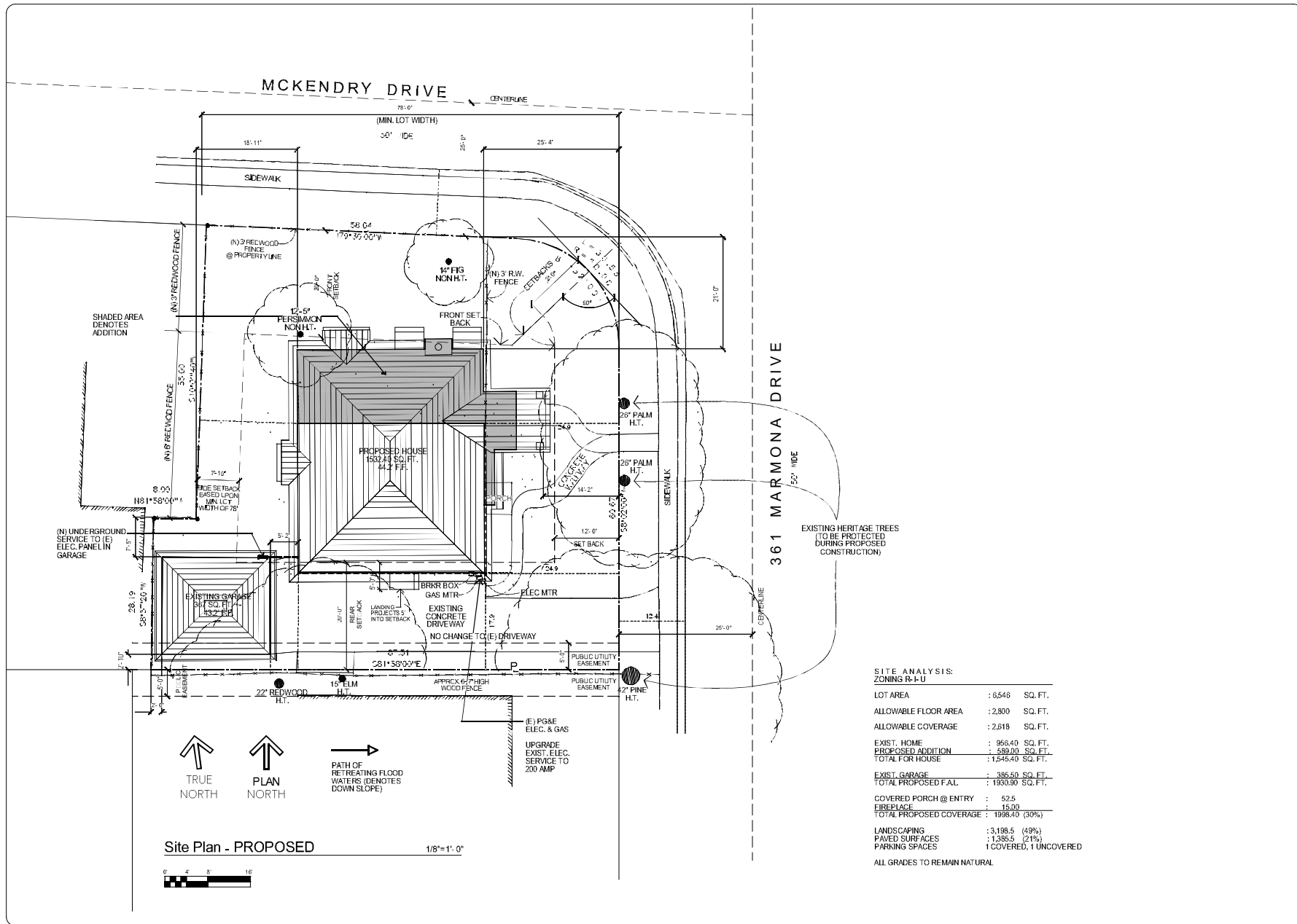
REVISIONS	BY

CHARLES  
HOLMAN  
DESIGN  
PALM BEACH  
SANITARIUM  
CA 947  
650.747.0769

ADDITION/REMODEL FOR:  
**ED SHIMMON**  
361 MARMONA DRIVE, MENLO PARK

DRAWN  
LM  
CHECKED  
DATE  
1.5.16  
SCALE  
AS NOTED  
JOB NO.  
SHEET  
**A - 1**  
OF SHEETS



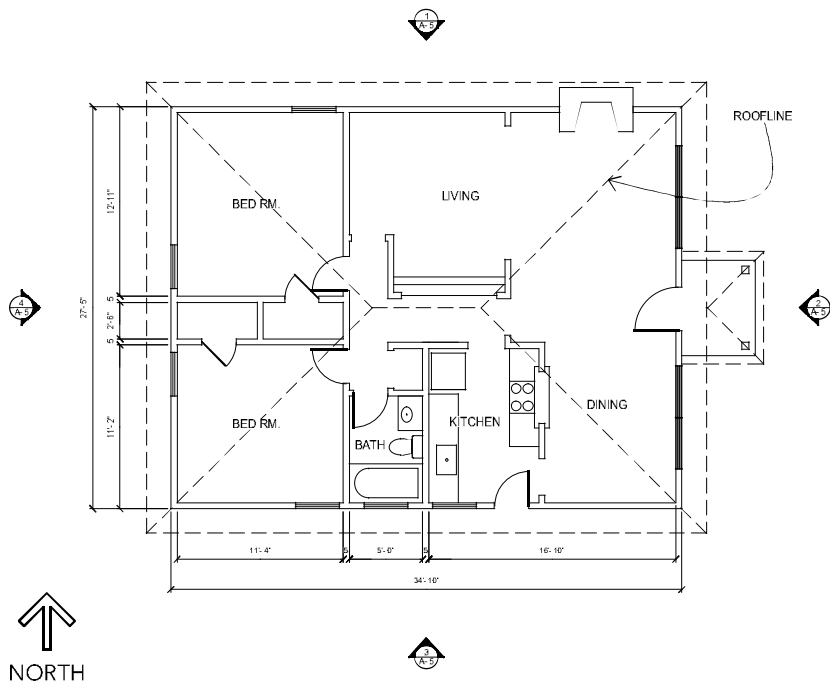


REVISIONS	BY
△ PLANNING 2.29.16	
△ PLANNING 4.18.16	
△ PLANNING 5.16.16	
△ PLANNING 6.24.16	



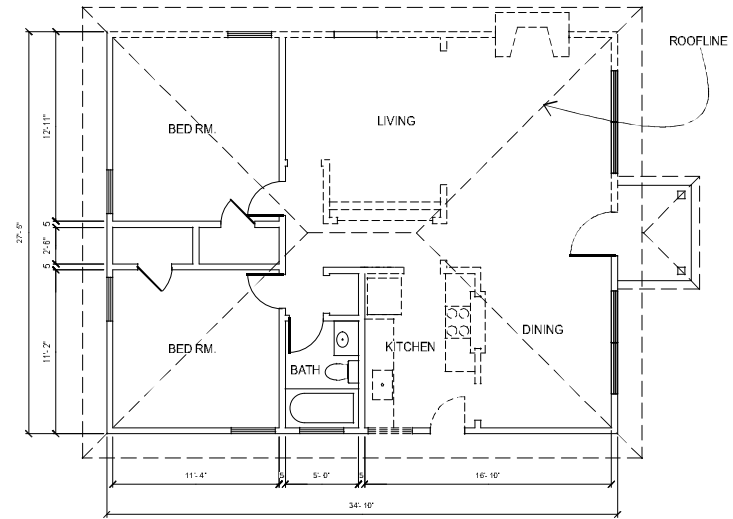
**ADDITION / REMODEL FOR:**  
**PIPER / SHIMMON RESIDENCE**  
 361 MARMONA DRIVE, MENLO PARK

DRAWN TH
CHECKED
DATE 12/19/15
SCALE AS NOTED
JOB NO.
SHEET <b>A-3</b> OF SHEETS



Floor Plan - EXISTING

1/4"=1'-0"



Floor Plan - DEMO

1/4"=1'-0"

REVISIONS	BY
1. PLANNING	2.29.15



ADDITION / REMODEL FOR:  
**PIPER / SHIMON RESIDENCE**  
 361 MARMONA DRIVE, MENLO PARK

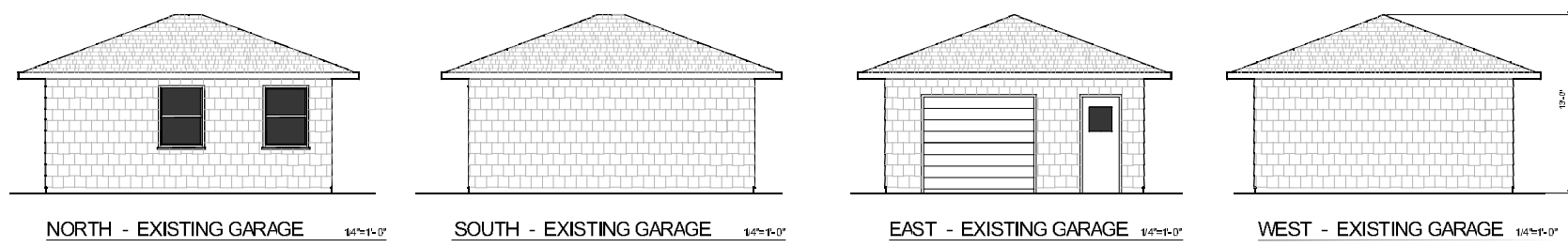
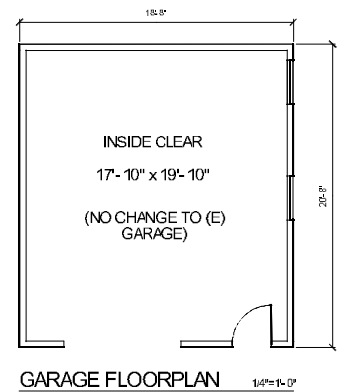
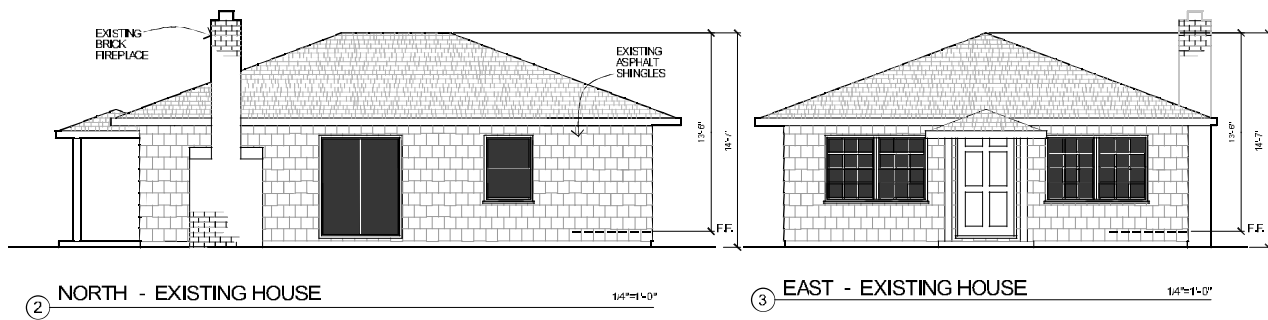
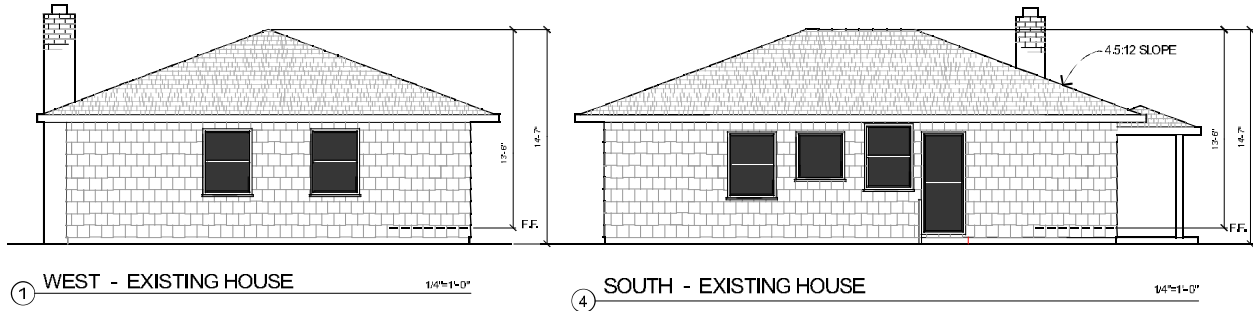
DRAWN TM
CHECKED
DATE 12/19/15
SCALE AS NOTED
JOB NO.
SHEET <b>A-4</b> OF SHEETS

REVISIONS	BY
1. PLANNING 2/23/15	

CHARLES HOLMAN  
DESIGN  
FLOOR PLAN  
DATE: 02/23/15  
650.747.0789

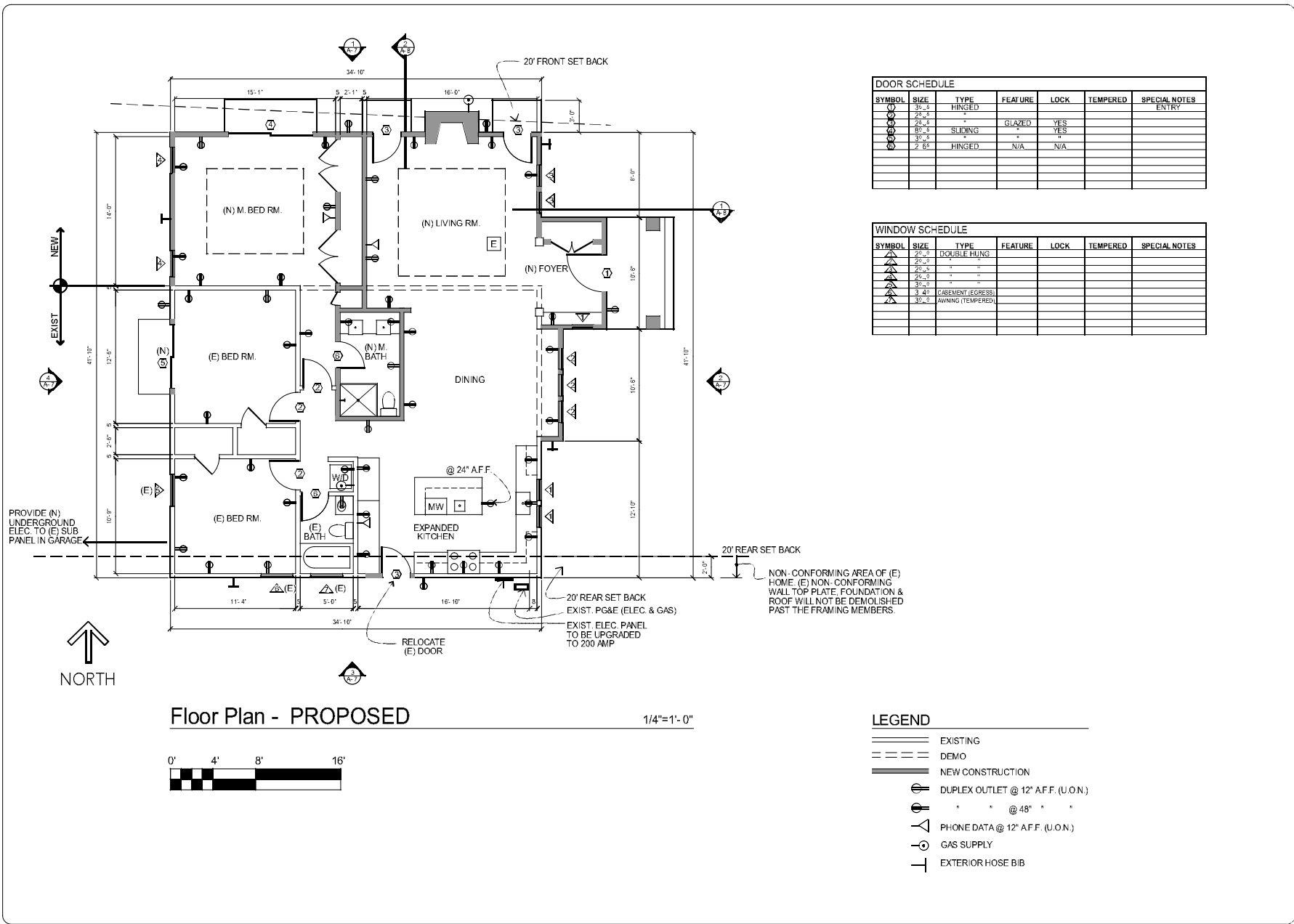
ADDITION / REMODEL FOR:  
**PIPER / SHIMMON RESIDENCE**  
361 MARMONA DRIVE, MENLO PARK

DRAWN TM
CHECKED
DATE 12/16/15
SCALE AS NOTED
JOB NO.
SHEET <b>A-5</b> OF SHEETS



NOTE: NO PROPOSED CHANGES TO EXISTING DETACHED GARAGE





REVISIONS	BY

CHARLES HOLMAN

DESIGN

101 BOLD  
 SACRAMENTO, CA 95811  
 916.747.0769

ADDITION / REMODEL FOR:

PIPER / SHIMMON RESIDENCE

361 MARMONA DRIVE, MENLO PARK

DRAWN

TM

CHECKED

DATE

2/7/16

SCALE

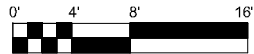
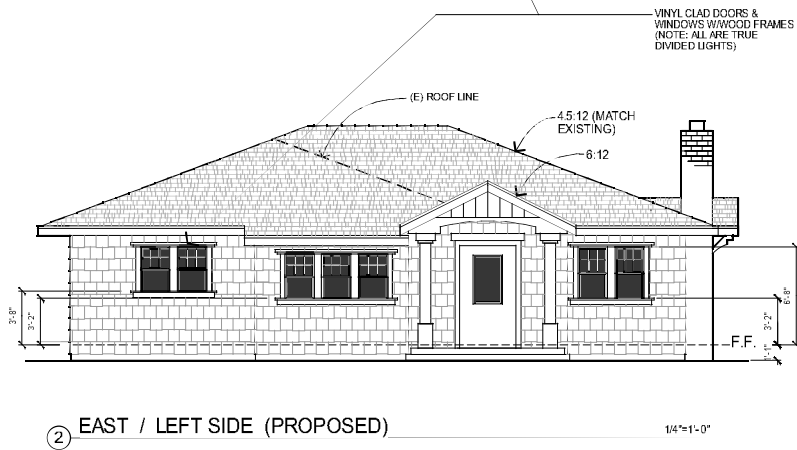
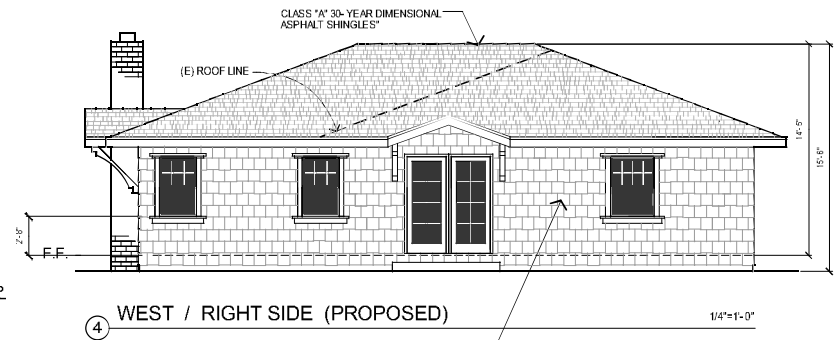
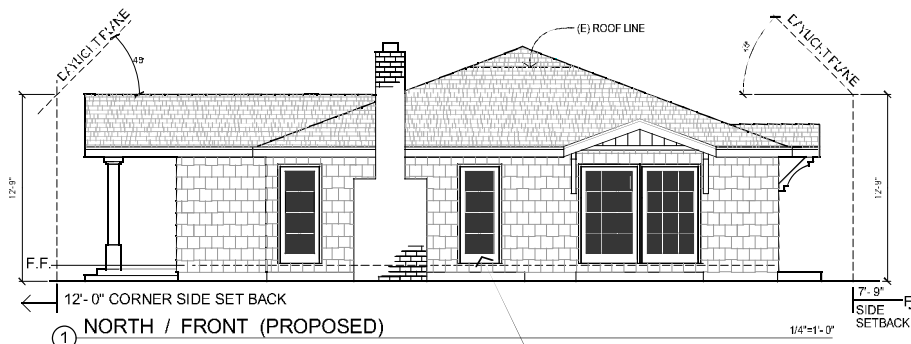
AS NOTED

JOB NO.

SHEET

A-6

OF SHEETS



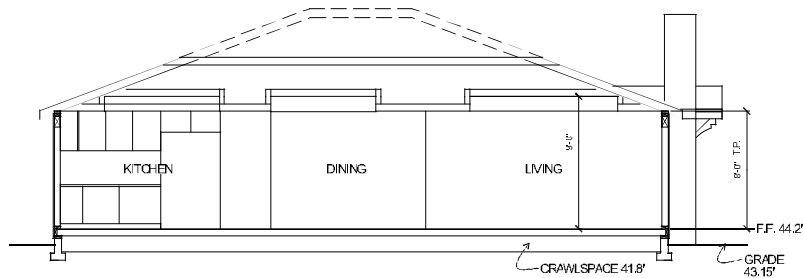
REVISIONS	BY
PLANNING 2.23.15	

CHARLES  
HOLMAN  
DESIGN  
1111 10th St  
San Francisco, CA 94103  
415.777.0799

ADDITION / REMODEL FOR:  
**PIPER / SHIMMON RESIDENCE**  
361 MARMONA DRIVE, MENLO PARK

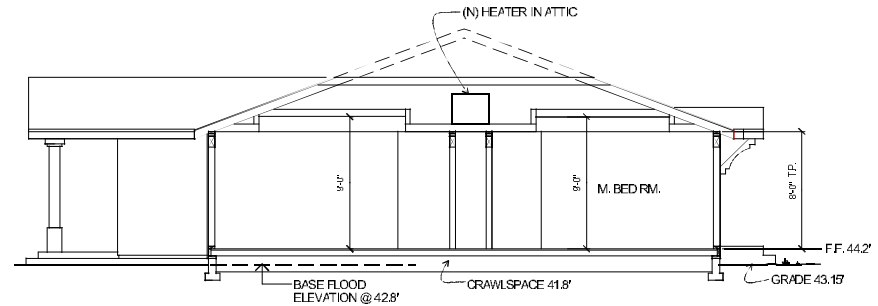
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CHECKED  
DATE  
12/19/15  
SCALE  
AS NOTED  
JOB NO.

SHEET  
**A-7**  
OF SHEETS



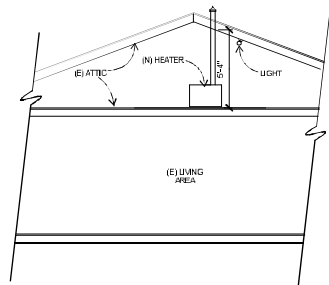
1 SOUTH SECTION - PROPOSED

1/4"=1'-0"

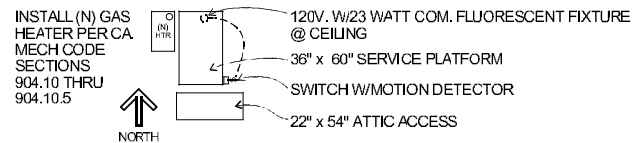


2 NORTH SECTION - PROPOSED

1/4"=1'-0"



SECTION THRU ATTIC @ HEATER



PLAN @ ATTIC FOR HEATER INSTALLATION

1/4"=1'-0"

REVISIONS	BY
PLANNING	2.23.15



ADDITION / REMODEL FOR:  
**PIPER / SHIMMON RESIDENCE**  
 361 MARMONA DRIVE, MENLO PARK

DRAWN TM
CHECKED
DATE 12/18/15
SCALE AS NOTED
JOB NO.
SHEET <b>A-8</b>
OF SHEETS

CHARLES  
HOLMAN  
  
DESIGN  
P.O. BOX 10  
SAN DIEGO, CA 92161  
600.747.076

DRAWN  
TM  
CHECKED

SHEET  
**A - 9**  
OF SHEET

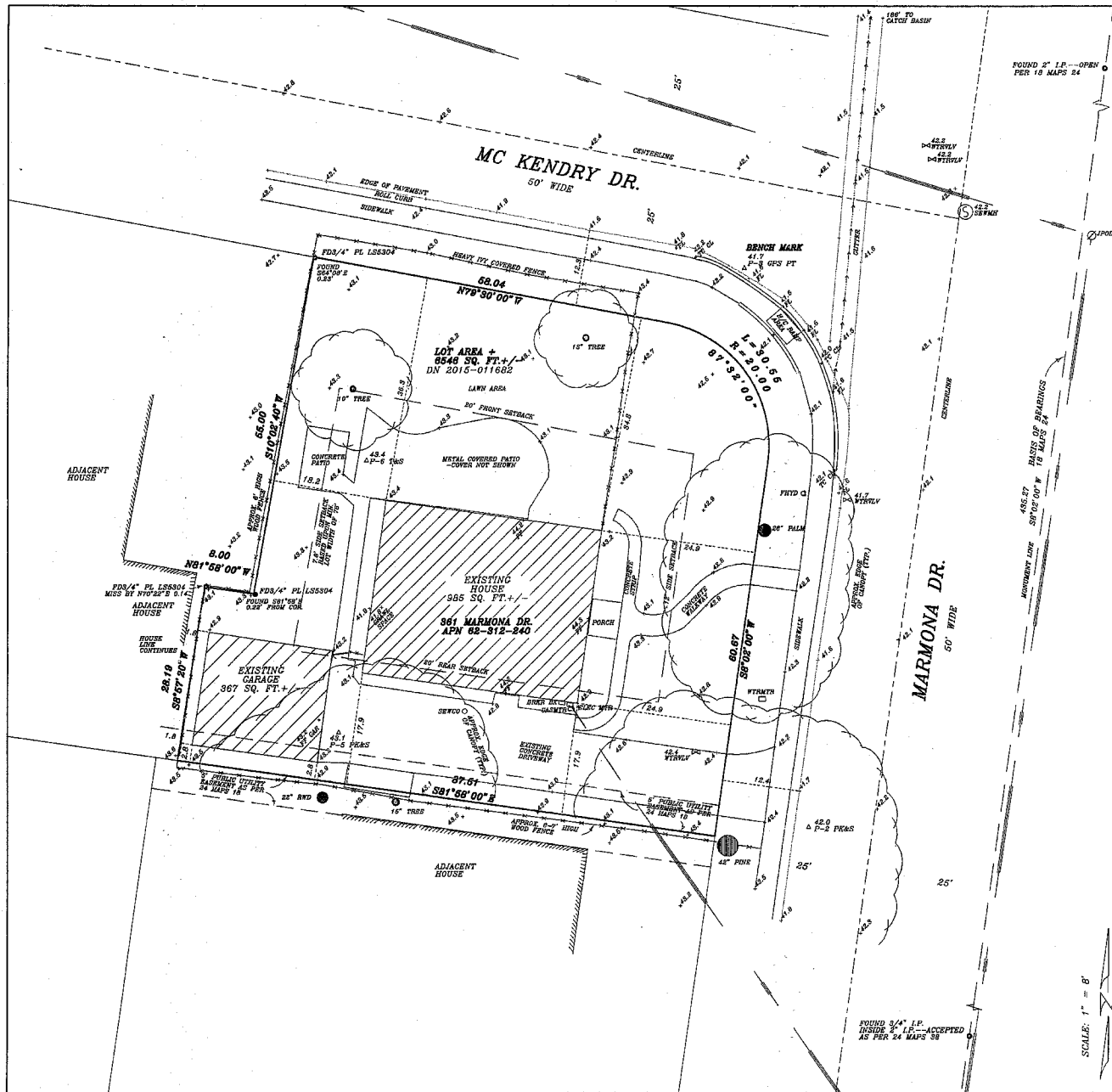


Floor Plan - PROPOSED

<b>Address:</b>	381 Marmon Drive
<b>Case No.:</b>	PLN2018-00011
<b>50% of Existing Value</b>	\$65,840.00
<b>75% of Existing Value</b>	\$143,460.00
<b>Value of Proposed Project</b>	\$209,320.00

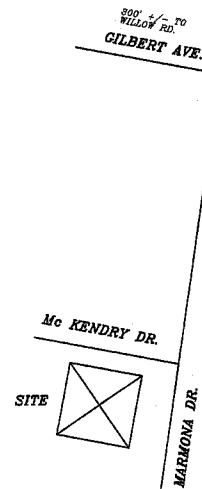
Existing Development			
Non-Conforming Structure Type	Square Footage	Construction Cost	Existing Value
Existing 1st Floor	606.1	X \$200/Sq Ft	\$121,230.00
Existing 2nd floor	0	X \$200/Sq Ft	0.00
Existing Basement	0	X \$200/Sq Ft	0.00
Existing Garage	0	X \$70/Sq Ft	0.00
<b>Total</b>	<b>606.1</b>	<b>X</b>	<b>\$121,230.00</b>

Proposed Development Type	Square Footage	Construction Cost	Development Value
Category 1: New square footage (porch of new foundation and/or wall framing)			
1st Floor Addition	526	X \$200/Sq Ft	\$107,800.00
2nd Floor Addition	0	X \$200/Sq Ft	\$0.00
Basement Floor Addition	0	X \$200/Sq Ft	\$0.00
Garage Addition	0	X \$70/Sq Ft	\$0.00
Category 2: Remodel of existing square footage (foundation and wall framing are both retained)			
Note: Square footage measurements are taken to full extent of any range with any interior modifications.			
Remodel of Kitchen	66.5	X \$130/Sq Ft	\$8,645.00
Remodel of Bathrooms	66.5	X \$130/Sq Ft	\$8,645.00
Remodel of Other Living Areas	452	X \$100/Sq Ft	\$45,200.00
Remodel of Garage	0	X \$30/Sq Ft	\$0.00
Category 3: Exterior modifications to existing structure			
Window replacements are included in areas mentioned and accounted for in Category 2. New roofs and new siding existing portions of the structure are not included in Category 2 or Category 1 and should be accounted for using the calculation below.			
New Roof Structure Over Existing Sq Ft	50.9	X \$60/Sq Ft	\$3,054.00
Replacement of Existing Windows	31.9	X \$36/Sq Ft	\$1,148.40
Replacement of Existing Siding	0	X \$36/Sq Ft	\$0.00
<b>Total</b>	<b>1268.3</b>		<b>\$200,928.00</b>



# NOTES:

- 1) ALL ELEVATIONS WERE BASED UPON A PE NAIL AND SHOWER SHOWN AS "P-3 GPS PT" WITH AN NAVD83 ELEVATION OF 41.7 FEET TAKEN FROM A STATIC GPS OBSERVATION SESSION CONDUCTED ON FEBRUARY 20, 2016. GENERALITY THE ACCURACY OF THIS ELEVATION HAS A TOLERANCE OF +/- 0.1 FEET.
- 2) SCALE: 1" = 8'
- 3) THE BASE FLOOD ELEVATION (BFE) FOR THIS PROPERTY WAS DERIVED FROM THE LATEST FIRM MAP DATED OCTOBER 10, 2015. THE ELEVATION IS INTERPOLATED BETWEEN CONTOURS AND WAS FOUND TO BE 43.8 FEET FOR THE APPROXIMATE CENTER OF THE LOT. THIS PROPERTY IS LOCATED IN FLOOD ZONE AE.
- 4) A FEMA ELEVATION CERTIFICATE IS REQUIRED FOR CURRENT EXISTING CONDITIONS.
- 5) THE MINIMUM SETBACK LINES WERE DERIVED FROM THE CITY OF MENLO PARK ZONING ORDINANCE SECTION 16.18.030 FOR ZONE R-1-U. PLEASE VERIFY WITH CITY PLANNING DEPARTMENT.
- 6) LOT COVERAGE INFORMATION:  
A) HOUSE = 985 SQ. FT. +/-, GARAGE = 967 SQ. FT. +/-  
B) DRIVEWAY, PORCH, WALKWAYS AND PATIOS WITHIN LOT BOUNDARIES = 1501 SQ. FT. +/-  
C) LOT AREA = 6548 SQ. FT. +/-
- 7) STRUCTURE LOCATIONS WERE DETERMINED FROM MOST EXTERIOR HOUSE SIDING (NOT FOUNDATION) AND SETBACK DIMENSIONS ARE SHOWN ACCORDINGLY.
- 8) EASEMENTS AND TITLE INFORMATION WAS TAKEN FROM A PRELIMINARY REPORT PREPARED BY FIDELITY NATIONAL TITLE COMPANY DATED DECEMBER 30, 2014 WITH TITLE NUMBER F200-055100028-04.



VICINITY MAP  
NOT TO SCALE

## SURVEYOR'S STATEMENT

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE PROFESSIONAL LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



Michael T. Thomas

## BOUNDARY & TOPOGRAPHIC MAP

OF THE LANDS DESCRIBED IN DOCUMENT NUMBER 2015-011582 BEING PORTIONS OF LOTS 50 AND 51 AS SHOWN ON TRACT NO. 638 BEING FILED IN BOOK 24 OF MAPS AT PAGE 19 BEING MORE COMMONLY KNOWN AS ASSESSORS' PARCEL NUMBER 65-512-240 SAN MATEO COUNTY RECORDS, CA.

--FOR--  
TERESA PIPER  
2880 STEVENS CREEK LLC  
P.O. BOX 907  
MENLO PARK, CA 94026  
650.327.1106

CITY OF MENLO PARK, SAN MATEO COUNTY, CALIFORNIA  
SCALE: 1" = 8' DATE OF SURVEY: FEBRUARY, 2016

TURNROSE LAND SURVEYING  
125 EAST MAIN ST., SUITE 4  
SUNON, CA 95368  
209.589.5100  
BAY AREA 650.324.3316

REV. 3/19/15; 3/10/16

JOB NO. 15-09

Charles Holman  
P.O Box 63  
San Gregorio, Ca. 94074  
[Charlie@847g2.com](mailto:Charlie@847g2.com)  
650-747-0769

January 12 , 2016

Planning Division  
City of Menlo Park,  
Menlo Park, California.

**Re: Proposed remodel/addition to non-conforming  
single family home @ 361 Marmona Drive.**

Dear Planning Staff and Planning Commission members:

The existing home at 361 Marmona Drive is non-conforming and thus the proposed scope of work requires Use Permit approval from the Planning Commission. It is situated on an odd shaped corner lot that presents some challenges in addition to being under size per RIU zoning. The existing home is situated 2 feet inside the rear set back and is located 5' from the existing detached garage. The plan is to leave existing footprint and basic roofline of the home intact and add on towards the front. The addition would be a single story in keeping with most of the adjacent homes in the neighborhood. The existing detached garage would remain unchanged.

The two existing bedrooms and bath would remain as is, but the kitchen would be remodeled and expanded. A larger dining area would be created and a new bath added to serve a new master bedroom. The addition towards the front property line would include the new master bedroom and a new living room. A new foyer and covered porch would be added on the outside corner of the home. This feature presents an opportunity to dress up the existing home and add some variation to the façade.

The additional details mentioned above and new windows/trim will help enhance what is otherwise a fairly non-descript tract home from the late 1940's. While the basic hip roof design will be retained, the entry gable and additional gables on the North and West faces will add interest and style to an otherwise simply styled home.

At present the home is too small for the average family, but with these proposed improvements it will function well as a 3 bedroom, 2 baths home, while still being substantially under maximum square footage allowed under the Zoning Ordinance.

The neighbors to each side will be contacted, shown the proposed plans and asked for comment. This will be done informally, and we aim to secure letters stating their approval of the proposed plans.

We hope the City Staff and Planning Commission can support this proposed project,

Thank you,

Charles Holman

Charles Holman  
 901 Etheldore Street  
 Moss Beach, Ca. 94038  
[Charlie@847g2.com](mailto:Charlie@847g2.com)  
 650-747-0769

January 18, 2016

**Re: Proposed remodel/addition to  
 361 Marmona Drive.**

Dear neighbor:

The new owner of 361 Marmona wishes to construct a single story addition to convert the existing 2 bedroom, one bath home to a 3 bedroom, 2 bath home. We have submitted the plans (enclosed) to the Menlo Park Planning department and wish to get your feedback before proceeding further.

As you can see from the proposed plan, the single story addition would be built at the north end of the property towards McKendry Drive. The south end of the home would remain as is. The existing detached garage would also remain unchanged.

We would welcome your comments regarding this project. If it meets with your approval, we would appreciate your signing off that you have no objection to the proposed plans.

Please let us know if you have any questions or comments.

Charles Holman  
 Holman Design Associates  
 650-747-0769  
[Charlie@847g2.com](mailto:Charlie@847g2.com)

Teresa Piper (owner)  
 650-327-1106

If you have no comments, and the project meets with your approval, we would very much appreciate that you sign the attached copy of this letter and return it to us in the stamped return envelope.

I, William C. Brown  
 neighbor at address 347 Marmona dr.  
 approve of the project as drawn.

Signed William Brown Date 1/20/16

Charles Holman  
901 Etheldore Street  
Moss Beach, Ca. 94038  
[Charlie@847g2.com](mailto:Charlie@847g2.com)  
650-747-0769

January 18, 2016

**Re: Proposed remodel/addition to  
361 Marmona Drive.**

Dear neighbor:

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We would welcome your comments regarding this project. If it meets with your approval, we would appreciate your signing off that you have no objection to the proposed plans.

Please let us know if you have any questions or comments.

Charles Holman  
Holman Design Associates  
650-747-0769  
[Charlie@847g2.com](mailto:Charlie@847g2.com)

Teresa Piper (owner)  
650-327-1106

*Can't wait for the  
copy to go!  
Thank you!*

If you have no comments, and the project meets with your approval, we would very much appreciate that you sign the attached copy of this letter and return it to us in the stamped return envelope.

I, TERESA BREWER,  
neighbor at address 326 MCKENDRY DR  
approve of the project as drawn.

Signed Jane B... Date 2/24/2016



## STAFF REPORT

### Planning Commission

**Meeting Date:**

**7/11/2016**

**Staff Report Number:**

**16-055-PC**

**Public Hearing:**

**Minor Subdivision/Peter Carlino for David  
Ferrari/668-672 Partridge Avenue**

### Recommendation

Staff recommends that the Planning Commission approve a request for a tentative parcel map to convert two existing residential dwelling units into two condominium units on one parcel in the R-2 (Low Density Apartment) zoning district, at 668-672 Partridge Avenue. The recommended actions are included in Attachment A.

### Policy Issues

Minor subdivision requests are considered on a case-by-case basis with regard to compliance with the Subdivision Ordinance and related requirements.

### Background

#### *Site location*

The project site is located in the Allied Arts neighborhood. The immediately adjacent parcels are also located in the R-2 zoning district. Parcels located further north toward El Camino Real are zoned R-3 (Apartment) and parcels along El Camino Real are within the El Camino Real/Downtown Specific Plan. The neighboring development is a mixture of duplexes, multi-unit apartment buildings, and some single-family residences. A location map is included in Attachment B.

#### *Previous Planning Commission review*

In 2004, the Planning Commission approved a use permit and variance at the subject property for the demolition of an existing garage and the expansion of an existing nonconforming structure, along with the construction of a new garage and carport for a total of four parking spaces. Variances were required for the rear and left-side setbacks of the rear dwelling unit, allowing for the retention of the existing nonconforming walls through reconstruction and expansion of the rear unit. The front unit was retained with no changes as part of that project. At that time, a tentative map for a minor subdivision was not included as part of the application. The project plans associated with that proposal are included for reference as Attachment C. At this time, the applicant is requesting to convert the existing two detached residential units into condominiums, allowing for the individual sale and ownership of each unit, with common ownership of the underlying land.

## **Analysis**

### ***Project description***

The proposed project would convert two existing dwelling units on a single parcel into two condominium units. The proposed project would not increase the floor area at the site, and construction would be limited to work required by the Building Official, as determined by review of the condominium compliance report, which is a requirement discussed in a following section of this staff report.

The front unit is an existing nonconforming structure with regard to the front and left side setbacks. The rear unit received variances and a use permit and therefore is considered conforming with regard to setbacks and daylight plane based on the Planning Commission's 2004 approval. However, the development of the rear unit resulted in the overall development at the site slightly exceeding the Zoning Ordinance Floor Area Limit (FAL), which appears to be a staff oversight at that time in calculating the floor area of the rear unit. This existing nonconforming situation may remain as part of the condominium conversion; however, no additional floor area can be developed at the site. The recommended conditions of approval contain a project-specific condition requiring the CC&Rs for the project to explicitly state this existing excess FAL condition.

Due to the age of the front unit, a number of upgrades are required, but the value of this work would be below the 50 percent use permit threshold for repairs/alterations to existing nonconforming structures.

The applicant has submitted a project description letter that discusses the proposal in more detail (Attachment D). A data sheet identifying the floor area, building coverage, setbacks, and other development regulations of the existing development is included in Attachment E.

### ***Parking and site access***

The 2004 Planning Commission approval included the construction of a new two car garage attached to the rear unit and an uncovered parking space and carport for the front unit. The carport is attached to the garage of the rear unit, adjacent to the uncovered parking space. The Zoning Ordinance requires two parking spaces per dwelling unit, one of which must be covered. Carports meet the requirements for covered parking. The two-car garage received a variance for the left-side setback, and therefore is in compliance. The carport was designed to comply with the setback requirements. Therefore, the existing development is compliant with the Zoning Ordinance parking standards with regard to number of spaces and setbacks. The site is accessed through a driveway along the right side that allows access to the parking spaces. The parcel to the right of the property shares the driveway for access, which is proposed to remain as part of the project. No changes to the site access and circulation are proposed at this time.

### ***Minor subdivision requirements***

State law outlines factors that the Planning Commission may consider in reviewing the request for minor subdivisions. Specifically, there are five factors for the Planning Commission to consider.

The first consideration is whether the proposed subdivision is in conformance with the City's General Plan. The General Plan land use designation for the subject property is Medium Density Residential, which is consistent with the R-2 zoning district. The proposed subdivision would not conflict with General Plan

goals and policies, and would comply with the Subdivision Ordinance.

The second factor to consider is whether the site of the subdivision is physically suitable for the proposed type or density of the development. The proposed condominium subdivision would meet all applicable regulations of the Subdivision Ordinance, and the density is within the limit established by the R-2 zoning district and General Plan. The existing lot contains two single-family residences and the proposed condominium subdivision would convert the existing dwelling units into condominium units.

The third and fourth factors are concerned with whether the design of the subdivision or proposed improvements is likely to cause substantial environmental damage or serious public health problems. The proposed condominium subdivision is located within a fully developed neighborhood and all necessary utilities are readily available. In addition, the property is fully developed; however, adherence to the conditions and all applicable codes would eliminate the potential for substantial or serious environmental or public health impacts.

The final factor to consider is whether the proposed subdivision would conflict with any public access easements. No public access easements exist on the subject parcel. The subject site does contain a private access easement for the benefit of the adjacent property, but no changes are proposed that would affect that access easement.

The Subdivision Ordinance requires the preparation of a tentative parcel map (Attachment F) and submittal of a building code compliance report for condominium conversions (Attachment G). The tentative parcel map has been reviewed by the City's Engineering Division and has been found to comply with the provisions of the State Subdivision Map Act and the City's Subdivision Ordinance subject to conditions of approval (Attachment A). Additionally, the Building Division has reviewed the code compliance report in order to determine the extent of modifications to convert the building into condominium units and the report has been updated to include the requested code upgrade plans. The subdivision ordinance also requires the applicant to submit documentation to the City of its program to accommodate tenants of units sought to be converted. The existing tenants submitted a letter to the City stating that they rent both units, have a short term lease with an "Intent to sell" clause, and have recently purchased a new home in the area. The letter serves to satisfy the requirements of the Subdivision Ordinance.

### ***Correspondence***

Staff has not received any correspondence on the project.

### ***Conclusion***

Approval of the tentative parcel map would allow for the residential units to be sold separately. At this time, the tentative parcel map reflects the existing development and the applicant is not proposing any physical changes to the lot. Staff recommends that the Planning Commission approve the tentative parcel map because the property is in compliance with General Plan land use designation of Medium Density Residential, the number of housing units in the City would not be reduced, and adequate number of parking spaces are provided. The applicant has provided documentation of compliance with the Subdivision Ordinance right of first refusal requirement.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 15 (Section 15315, "Minor Land Divisions") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Attachments**

- A. Recommend Actions
- B. Location Map
- C. 2004 Project Plans
- D. Project Description Letter
- E. Data Sheet
- F. Tentative Map
- G. Code Compliance Report and Building Plans

Report prepared by:  
Kyle Perata, Senior Planner

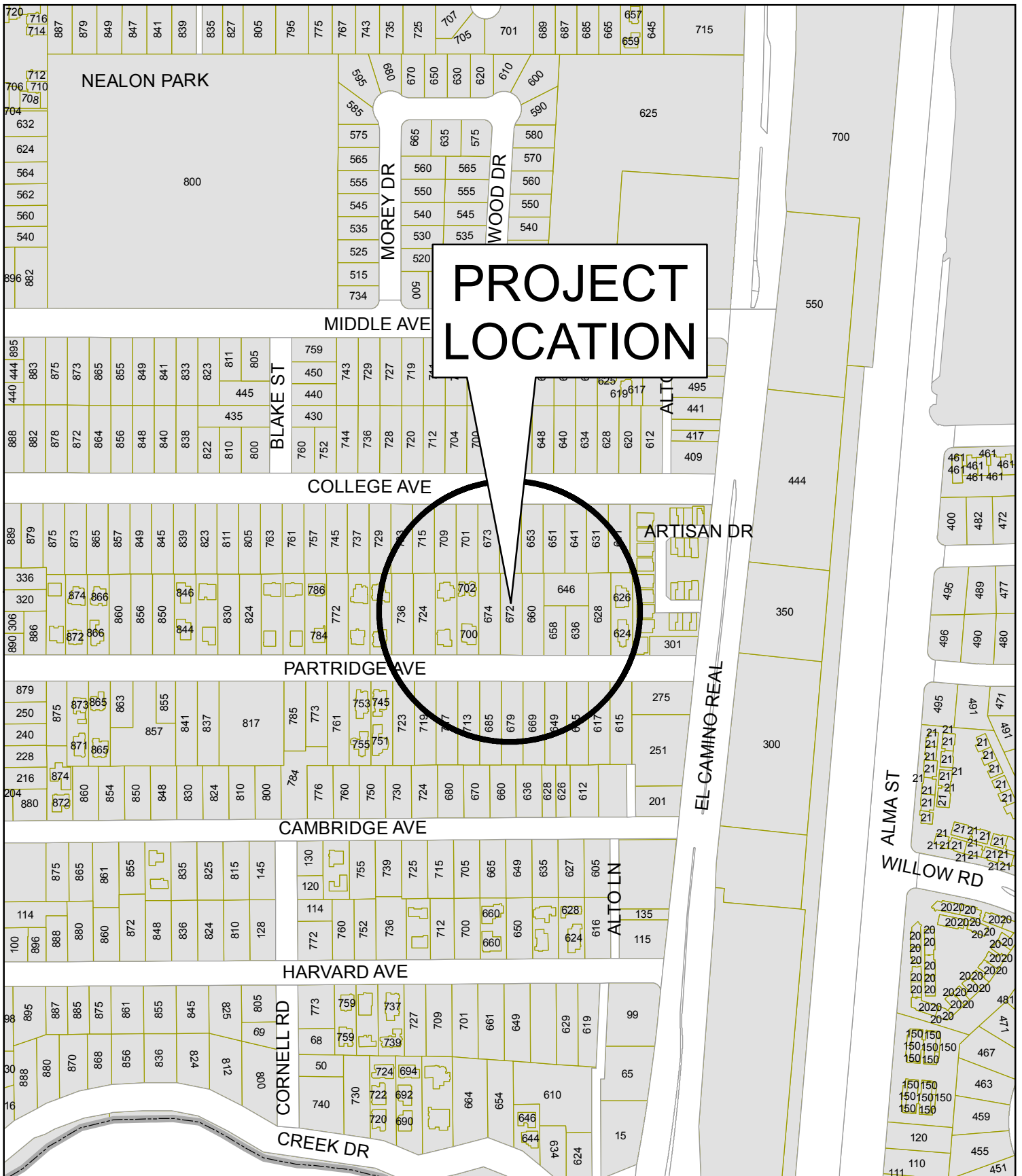
Report reviewed by:  
Thomas Rogers, Principal Planner

## 668-672 Partridge Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 668-672 Partridge Avenue	<b>PROJECT NUMBER:</b> PLN2016-00010	<b>APPLICANT:</b> David Ferrari	<b>OWNER:</b> David & Carol Ferrari
<b>REQUEST:</b> Request for a tentative parcel map to convert two existing residential dwelling units into two condominium units on one parcel in the R-2 (Low Density Apartment) zoning district. No additional floor area is proposed as part of this project.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> July 11, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b>			
<div>1. Make findings that the project is categorically exempt under Class 15 (Section 15315, “Minor Land Divisions”) of the current State California Environmental Quality Act (CEQA) Guidelines.</div> <div>2. Make findings that the proposed minor subdivision is technically correct and in compliance with all applicable State regulations and City General Plan, Zoning and Subdivision Ordinances, and the State Subdivision Map Act.</div> <div>3. Approve the minor subdivision subject to the following <b>standard</b> conditions:</div> <div><div>a. Development of the project shall be substantially in conformance with the tentative map prepared by Lea &amp; Braze Engineering, Inc., dated received June 29, 2016, consisting of one plan sheet and approved by the Planning Commission on July 11, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</div><div>b. Prior to recordation of the parcel map, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.</div><div>c. Prior to recordation of the parcel map, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</div><div>d. Heritage trees in the vicinity of construction shall be protected pursuant to the Heritage Tree Ordinance.</div><div>e. Within two years from the date of approval of the tentative parcel map, the applicant shall submit a parcel map for review and approval of the City Engineer. The parcel map shall use a benchmark selected from the City of Menlo Park benchmark list as the project benchmark and the site benchmark.</div><div>f. Concurrent with parcel map submittal, the applicant shall submit covenants, conditions and restrictions (CC&amp;Rs) for the approval of the City Engineer and the City Attorney. The parcel map and the CC&amp;Rs shall be recorded concurrently.</div><div>g. Concurrent with the parcel map submittal, the applicant shall submit a plan indicating all proposed modifications in the public right-of-way including frontage improvements and utility installations.</div><div>h. Prior to recordation of the parcel map, the applicant shall remove and replace all damaged, significantly worn, cracked, uplifted or depressed frontage improvement (e.g., curb, gutter, sidewalk) and install new improvements per City standards along the entire property frontage. The applicant shall obtain an encroachment permit prior to commencing any work with the City’s right-of-way or public easements.</div></div>			

668-672 Partridge Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 668-672 Partridge Avenue	<b>PROJECT NUMBER:</b> PLN2016-00010	<b>APPLICANT:</b> David Ferrari	<b>OWNER:</b> David & Carol Ferrari
<b>REQUEST:</b> Request for a tentative parcel map to convert two existing residential dwelling units into two condominium units on one parcel in the R-2 (Low Density Apartment) zoning district. No additional floor area is proposed as part of this project.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> July 11, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p><b>ACTION:</b></p> <p>4. Approve the minor subdivision subject to the following <i>project specific</i> conditions:</p> <ul style="list-style-type: none"> <li>a. Prior to recordation of the parcel map, the Conditions, Covenants and Restrictions (CC&amp;Rs) shall incorporate language to specify that the existing development exceeds the Floor Area Limit (FAL) set by the Zoning Ordinance and therefore, no additional floor area can be developed at the site. The language shall be subject to review and approval of the City Attorney.</li> </ul>			

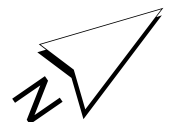


# CITY OF MENLO PARK

## LOCATION MAP

### 668 PARTRIDGE AVENUE

DRAWN: TAS CHECKED: KTP DATE: 07/11/16 SCALE: 1" = 300' SHEET: 1



## JUN 29 2016

[illegible]

OWNER	GARY DETENKOWICZ	
SITE	812 E 860 PATRIOT AVE WELD PARK, CA 94468	
APRN		071-42-830
ZONING		R-3
DEVELOPER		
PERCENT		20-0%
REAR		20-0%
SIDES		5-0%
LOT AREA		6,483 SF
ALLOWABLE FLOOR AREA (PAL)		
TOTAL		3,548 SF
MAXIMUM FLOOR AREA		1,272 SF
FLOOR AREAS		
EXISTING FRONT RESIDENCE		844 SF
EXISTING REAR COTTAGE		0 SF
CEILING OVER 12 FEET		0 SF
ATTIC OVER 8 FEET		0 SF
EXISTING REAR COTTAGE		
MAIN FLOOR		1,411 SF
CEILING OVER 12 FEET		1,004 SF
ATTIC OVER 8 FEET		183 SF
TOTAL FLOOR AREA		3,225 SF
LOT COVERAGE		
BUILDING & COVERED PORCHES		2,892 SF
LANDSCAPING		3,425 SF
PAVED SURFACES		2,848 SF
PARKING SPACES		2 COVERED 2 UNCOVERED

**STRUCTURAL ENGINEER**  
RSC CONSULTING ENGINEERS, INC.  
6000 E. CAGLARIAN P. E.  
5801 COTTLE ROAD  
SAN JOSE CA 95128-3625  
PHONE (408) 224-6555  
FAX (408) 224-6551

**ENGINEERING CONSULTANT**  
DESIGN TECH ENERGY CONSULTING  
DANIEL TANN  
846 RANCHO STREET SUITE 4  
PALO ALTO CA 94301  
PHONE (650) 324-0800  
FAX (650) 324-0485

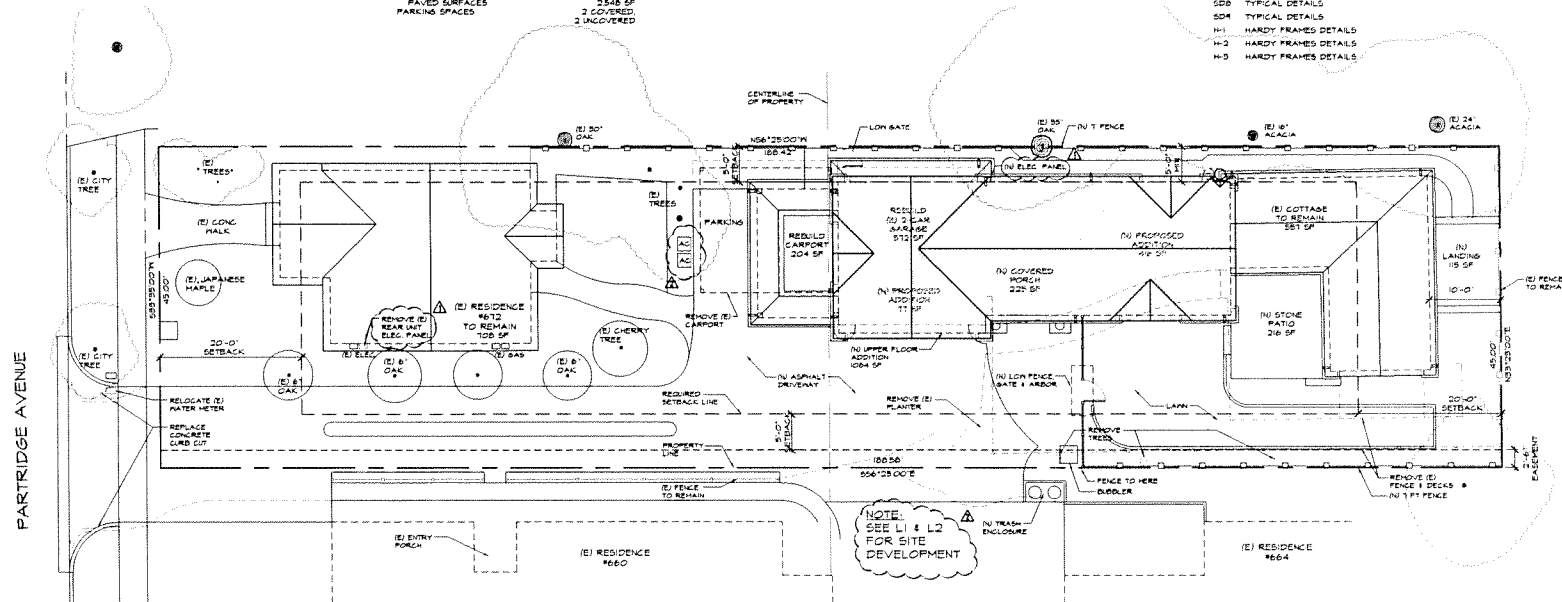
**CONTRACTOR**  
TRAD HUGHES ASSOCIATES  
111 WOODSIDE RD SUITE A  
REDWOOD CITY CA 94061  
PHONE (650) 368-0216  
FAX (650) 368-0020

**STRUCTURAL ENGINEER**  
DAY AREA STRUCTURAL GROUP  
950 INDUSTRIAL AVENUE  
PALO ALTO CA 94305  
PHONE (650) 852-4330  
FAX (650) 852-4330

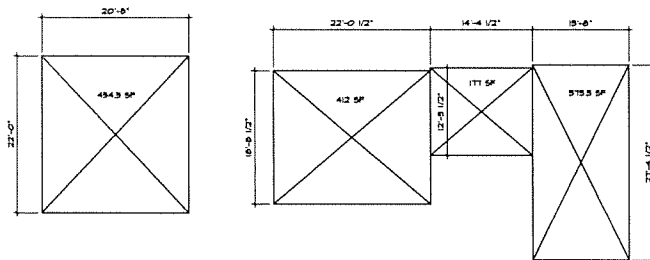
**LANDSCAPE**  
MELT RICHARDSON  
PO BOX 11007  
SAN CARLOS CA 95061  
PHONE (650) 252-5566  
FAX (650) 252-0316

**INTERIOR DESIGNER**  
CAROL JORDENSHOEN  
8600 MARILE AVENUE  
MENLO PARK CA 94028  
PHONE (650) 325-5274  
FAX (650) 324-0470  
CELL (805) 245-4845

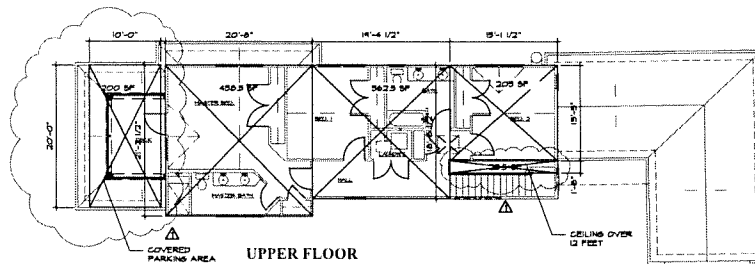
- A01: SITE/ ROOF PLAN, PROJECT DATA
- A02: FLOOR AREA GRAPHICS
- A1: LOWER FLOOR PLAN
- A1.2 UPPER FLOOR PLAN, ROOF PLAN
- A2: LOWER + UPPER REFLECTED CEILING PLAN
- A3: ELEVATIONS
- A3.2 ELEVATIONS + SECTIONS
- A3.3 SECTION DETAILS
- A4: DOOR + WINDOW SCHEDULE
- A5: TITLE 24
- M1: MECHANICAL ELECTRICAL PLUMBING PLAN
- L1: PLANTING, IRRIGATION + SITE LIGHTING PLAN
- S1: SITE GRADING + DRAINAGE PLAN
- S-1: FOUNDATION PLAN
- S-2: SECOND FRAMING PLAN
- S-3: ROOF FRAMING PLAN
- S-4: TYPICAL NOTES
- S03: TYPICAL DETAILS
- S04: TYPICAL DETAILS
- S05: TYPICAL DETAILS
- S06: TYPICAL DETAILS
- S07: TYPICAL DETAILS
- S08: TYPICAL DETAILS
- S09: TYPICAL DETAILS
- H-2: HARDY FRAMES DETAILS
- H-3: HARDY FRAMES DETAILS
- H-5: HARDY FRAMES DETAILS



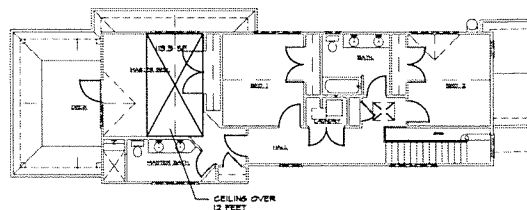
SITE/ ROOF PLAN  
SCALE: 1/8" = 1'-0"



MAIN FLOOR



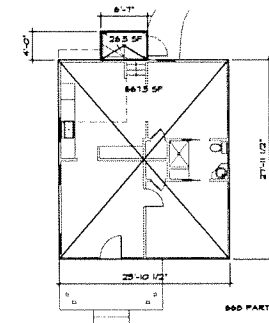
UPPER FLOOR



CEILING OVER 5 FEET

668 PARTRIDGE AVENUE

668 PARTRIDGE AVE  
 MAIN FLOOR AREA 1471 SF  
 UPPER FLOOR AREA 1004 SF  
 CEILING OVER 12 FEET 154 SF  
 ATTIC OVER 8 FEET 0 SF  
 COVERED PARKING AREA 200 SF  
 TOTAL FLOOR AREA 2160 SF



672 PARTRIDGE AVE  
 MAIN FLOOR AREA 644 SF  
 UPPER FLOOR AREA 0 SF  
 CEILING OVER 12 FEET 0 SF  
 ATTIC OVER 8 FEET 0 SF  
 TOTAL FLOOR AREA 644 SF

672 PARTRIDGE AVENUE

Samuel Sinnott & Company, Inc.  
 Architecture & Construction  
 Contractor's License No. 51016  
 6750 Wilshire Blvd., Suite 400, Los Angeles, CA 90048  
 Telephone (603) 325-5400 Facsimile (603) 325-0118

REMODEL & ADDITION FOR:  
**GREG BETTENCOURT**  
 668 PARTRIDGE AVENUE  
 MENLO PARK, CA 94025

FLOOR AREA DIAGRAM

ISSUE #	DATE
1	6/27/16
2	7/20/16
3	
4	
5	
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10	

JOB NO. 0921  
 SCALE: 1/8"=1'-0"  
 SHEET NO.



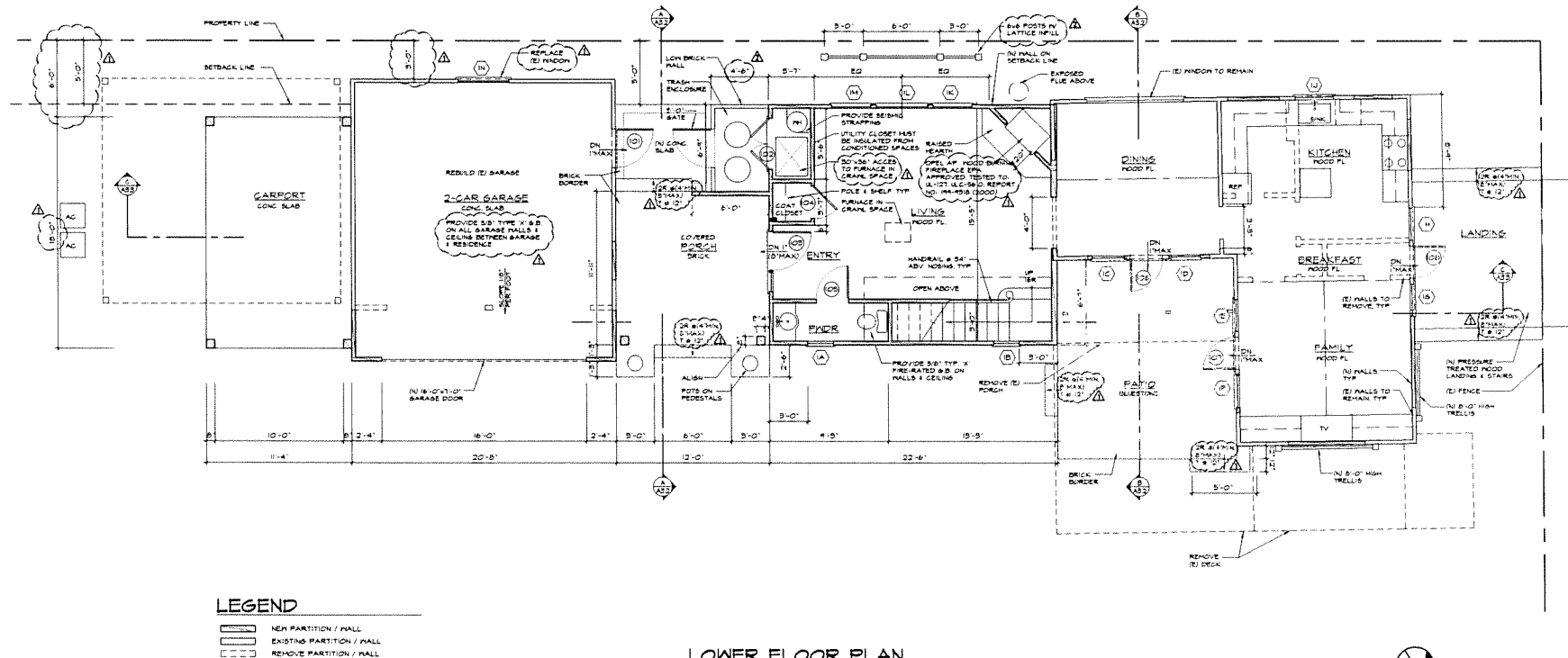
A0.2

## DEMOLITION NOTES

1. SAVE SHAKES FROM ROOF FOR OWNER. OTHER DEMOLISHED MATERIALS BECOME CONTRACTOR'S PROPERTY. VERIFY WITH OWNER.
2. MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN IN SERVICE BEFORE PROCEEDING WITH DEMOLITION. PROVIDING BYPASS CONNECTIONS TO OTHER PARTS OF THE BUILDING.
3. LOCATE, IDENTIFY, SHUT OFF, DISCONNECT AND CAP OFF UTILITY SERVICES TO BE DEMOLISHED.
4. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND SITE IMPROVEMENTS.
5. PROVIDE AND MAINTAIN SHORING, BRACING OR STRUCTURAL SUPPORT TO PRESERVE BUILDING STABILITY AND PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE.
6. PROTECT BUILDING STRUCTURE OR INTERIOR FROM WEATHER AND WATER LEAKAGE AND DAMAGE.
7. PROTECT REMAINING WALLS, CEILING, FLOOR AND EXPOSED FINISHES. ERECT AND MAINTAIN DUSTPROOF PARTITIONS. COVER AND PROTECT REMAINING FURNITURE, FURNISHINGS AND EQUIPMENT.
8. PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES OF BUILDING CAUSED BY DEMOLITION. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO REMAINING ADJOINING CONSTRUCTION.
9. PROMPTLY REMOVE DEMOLISHED MATERIALS FROM OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM. DO NOT BURN DEMOLISHED MATERIALS.

## GENERAL NOTES

1. CARE SHALL BE TAKEN TO AVOID DAMAGES TO EXISTING MATERIALS AND SURFACES DURING DEMOLITION. CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING SURFACES. ANY DAMAGES TO EXISTING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS IN THE FIELD PRIOR TO COMMENCING WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY AND ALL DISCREPANCIES.
3. PARTITION DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
4. CONTRACTOR TO COORDINATE AND PROVIDE BLOCKING IN PARTITIONS NECESSARY TO ATTACH MILLWORK, EQUIPMENT, HANDSHELVES, ETC.
5. ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT.
6. CENTER ALL WINDOWS ON INSIDE WALLS UNLESS OTHERWISE NOTED.
7. VERIFY ALL FIELD DIMENSIONS, CABINET DIMENSIONS AND APPLIANCE DIMENSIONS PRIOR TO FABRICATION AND/OR INSTALLATION. SEE ELEVATIONS ON SHEETS A-3 & A-4 FOR OTHER WINDOW NOTATIONS.
8. THE CORROSION PROTECTION TO BE PROVIDED FOR ALL SHEET METAL HANDWARE AND FASTENERS USED IN CONTACT WITH THE PRESSURE TREATED LUMBER.
9. FIREPLACE AND FLUE SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND THE MANUFACTURER'S INSTRUCTIONS. HEART SHALL CONFORM TO THE CONDITIONS OF THE LISTING AND BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE DOORS AND COMBUSTION AIR TO EXTERIOR.



## LEGEND

- NEW PARTITION / WALL
- EXISTING PARTITION / WALL
- REMOVE PARTITION / WALL

LOWER FLOOR PLAN  
SCALE: 1/4" = 1'-0"

Samuel Sinnott & Company, Inc.  
Architecture & Construction

Contractor's License No. 510156  
558 S. Santa Cruz Ave., Menlo Park, California 94025  
Telephone (650) 325-5961 Facsimile (650) 325-0131

REMODEL & ADDITION FOR:  
**GREG BETTENCOURT**  
668 PARTRIDGE AVENUE  
MENLO PARK, CA 94025

LOWER  
FLOOR PLAN

ISSUE #	DATE
1	8/25/04
2	10/14/04
3	10/12/04
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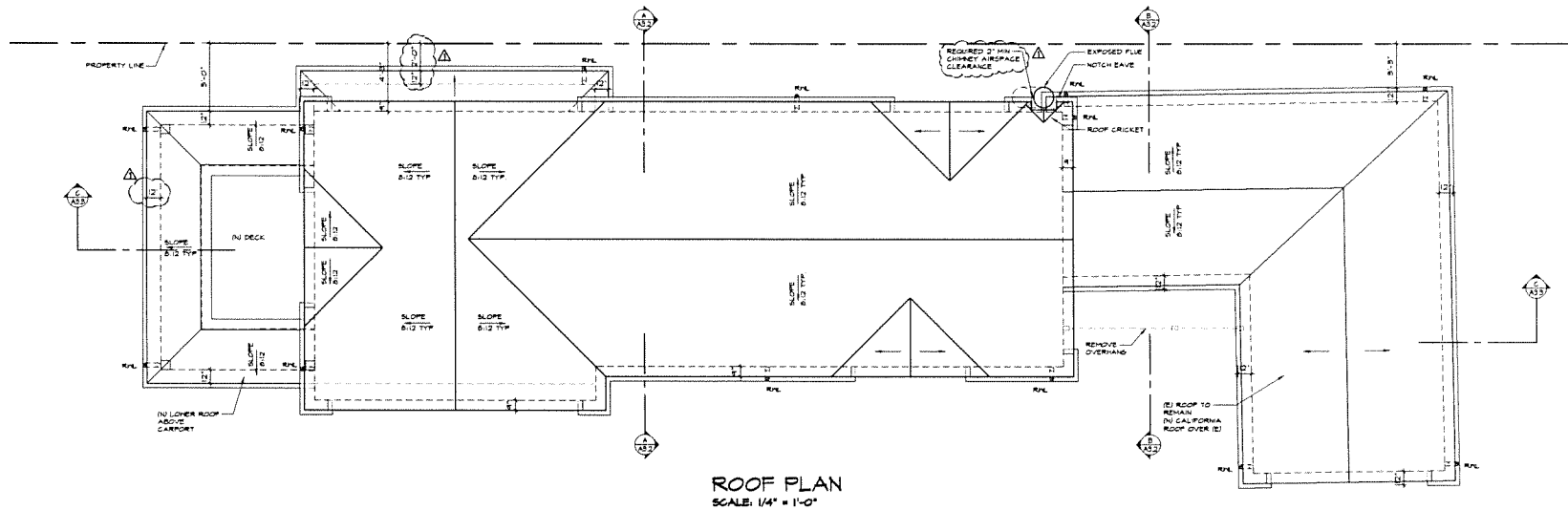
JOB NO. 0921

SCALE: 1/4" = 1'-0"

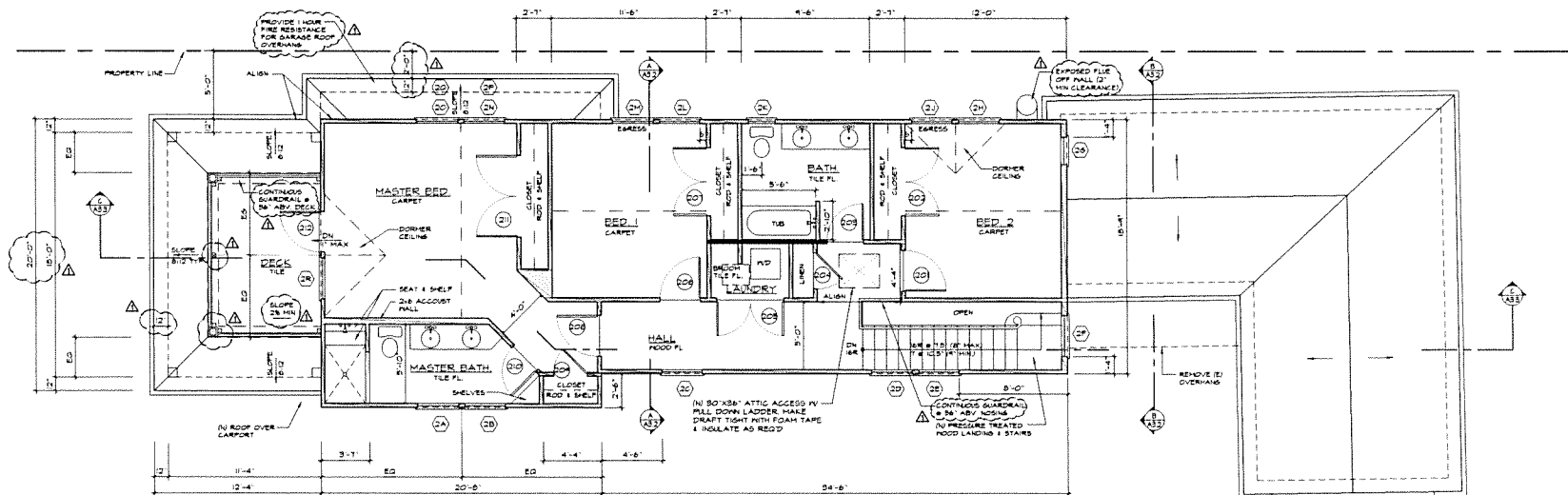
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A.I.I.

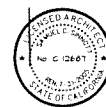




ROOF PLAN  
SCALE: 1/4" = 1'-0"



UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"



Samuel Sinnott & Company, Inc.  
Architecture & Construction

Contractor's License No. 518136  
1550 Santa Monica Boulevard, Suite 100  
Tel: (415) 225-5569 Fax: (415) 225-5118

REMODEL & ADDITION FOR:  
**GREG BETTENCOURT**  
668 PARTRIDGE AVENUE  
MENLO PARK, CA 94025

UPPER  
FLOOR PLAN  
ROOF PLAN

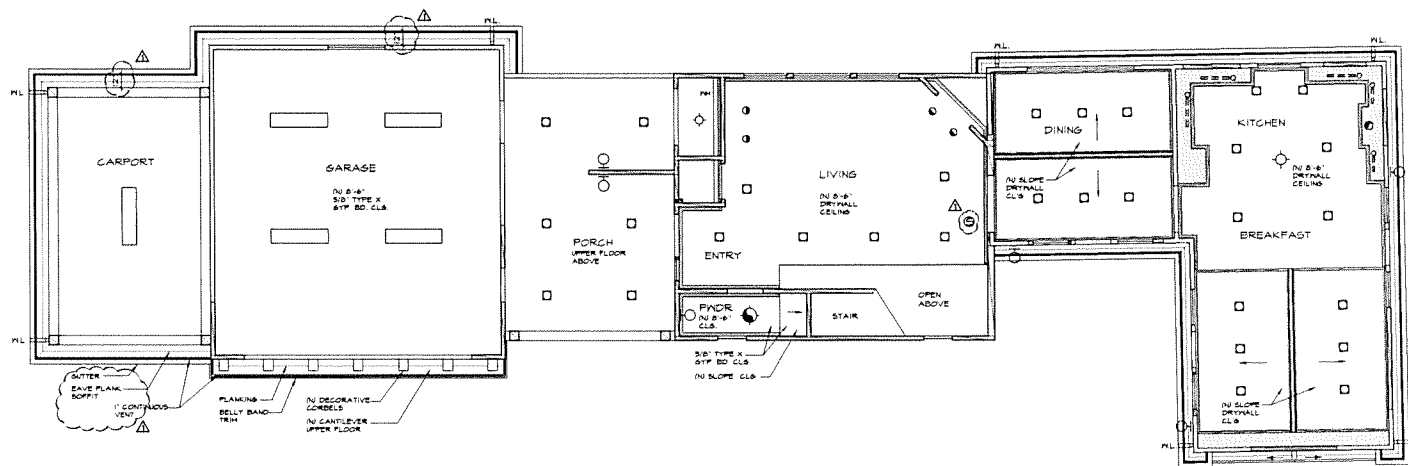
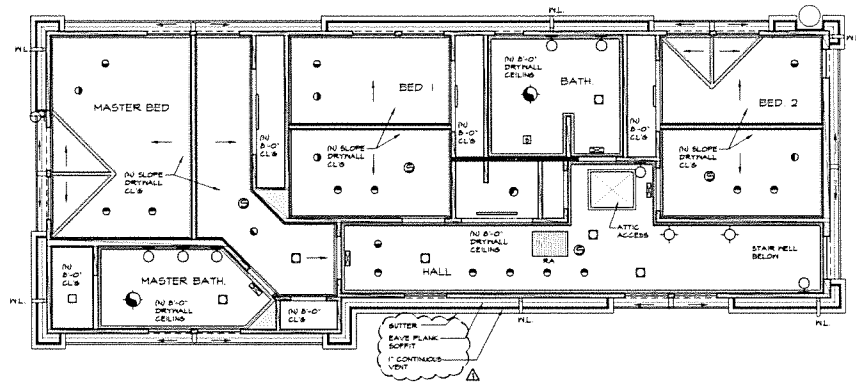
ISSUE #	DATE
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2	10/4/04
3	10/12/04
4	
5	
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10	

JOB NO. 0321

SCALE: 1/4" = 1'-0"

SHEET NO.

A1.2



Samuel Sinnott & Company, Inc.  
Architecture & Construction  
Contractor's License No. 510156  
13433 Santa Monica Blvd., Suite 100, Santa Monica, California 90404  
Telephone: (310) 315-5344 Facsimile: (310) 315-5318

REMODEL & ADDITION FOR:  
**GREG BETTENCOURT**  
668 PARTRIDGE AVENUE  
MENLO PARK, CA 94025

LOWER & UPPER  
REFLECTED  
CEILING PLANS

ISSUE #	DATE
1	8/29/04
2	10/4/04
3	10/12/04
4	
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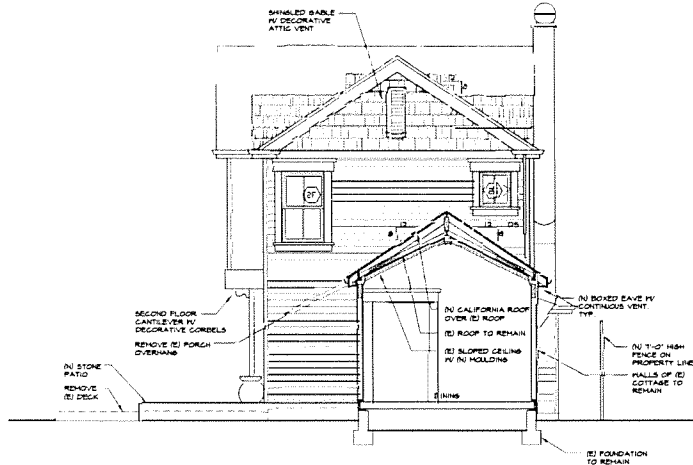
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SHEET NO.

A2.1

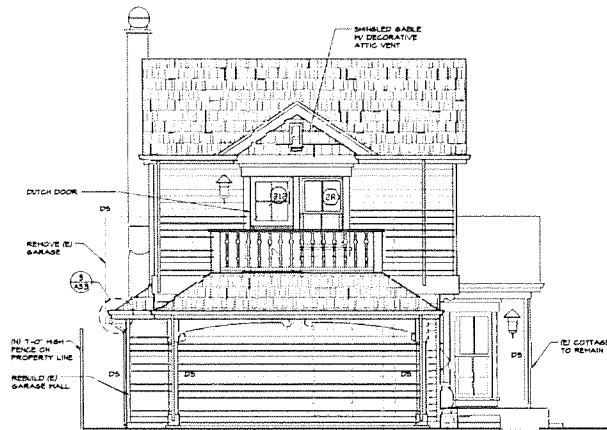




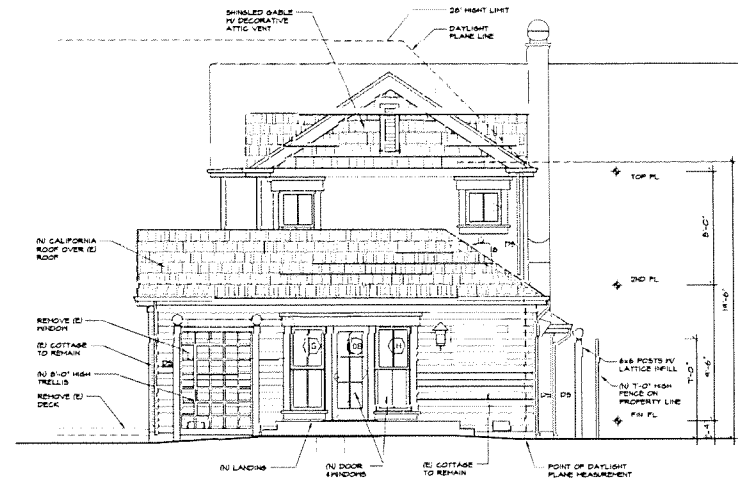
NORTH- WEST ELEVATION/ SECTION  
SCALE: 1/4" = 1'-0"



SECTION A-A/ PORCH ELEVATION  
SCALE: 1/4" = 1'-0"



SOUTH- EAST ELEVATION  
SCALE: 1/4" = 1'-0"



NORTH- WEST ELEVATION  
SCALE: 1/4" = 1'-0"



Samuel Simmott & Company, Inc.  
Architecture & Construction

Contractor's License No. 510156  
255A Santa Cruz Ave., Menlo Park, California 94025  
Telephone (650) 325-5607 Facsimile (650) 325-0118

REMODEL & ADDITION FOR:  
**GREG BETTENCOURT**  
668 PARTIDGE AVENUE  
MENLO PARK, CA 94025

ELEVATIONS  
SECTIONS

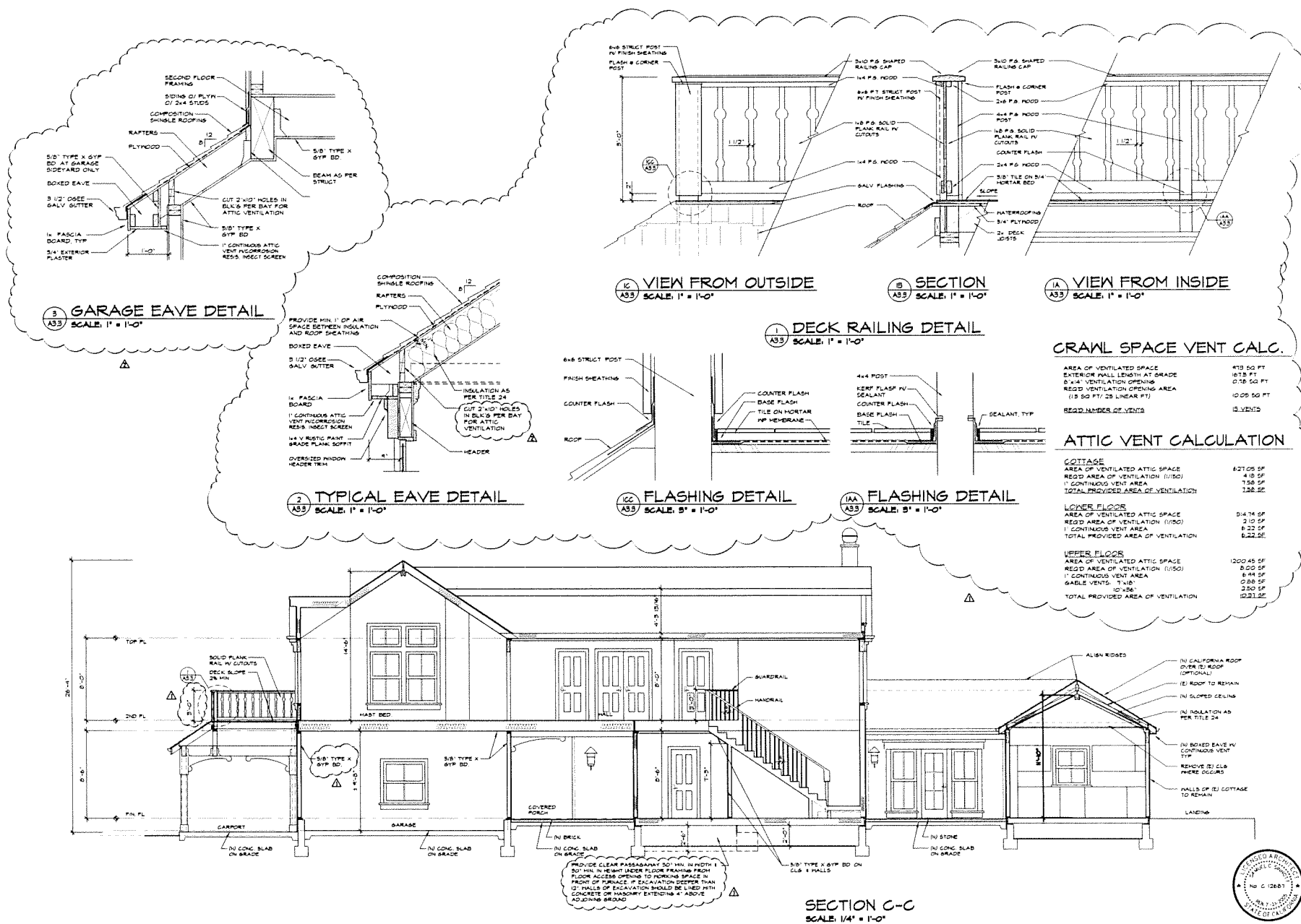
ISSUE #	DATE
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2	10/4/04
3	10/12/04
4	7/28/06
5	
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9	
10	

JOB NO 032

SCALE: 1/4" = 1'-0"

SHEET NO

A3.2



Samuel Sinnott & Company, Inc.  
Architecture & Construction

Contractor's License No. 510156  
10000 Wilshire Blvd., Suite 1000  
Beverly Hills, California 90212  
Telephone: (650) 225-5500 Telex: 154-5118

REMODEL & ADDITION FOR:  
**GREG BETTENCOURT**  
688 PARTRIDGE AVENUE  
MENLO PARK, CA 94025

SECTION  
DETAILS

ISSUE #	DATE
1	8/23/04
2	10/4/04
3	10/12/04

JOB NO. 0521

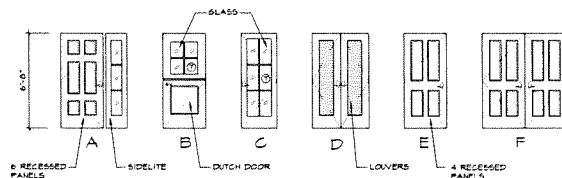
SCALE: 1/4" = 1'-0"

SHEET NO.

**A3.3**

DOOR SCHEDULE										
DOOR NO.	LOCATION	DOOR SIZE (FEET & INCHES)	DOOR TYPE	THICK.	MATERIAL	OPER.	GLASS	LOW E	TYPE	NOTES
101	GARAGE	8'-0" x 6'-8"	EXT SWING-OUT	1-5/4"	WOOD/GLASS	RH	TEMP	-	B	DUTCH DOOR
102	UTILITY RM.	4'-0" x 6'-8"	EXT SWING-OUT	1-5/4"	WOOD	DL	TEMP	-	D	LOUVER DOORS
103	ENTRY	4'-0" x 6'-8"	EXT SWING-IN W/ SIDELITE	1-5/4"	WOOD	RH	TEMP	-	A	8'-0" x 6'-8" DOOR W/ 1'-6" x 6'-8" SIDELITE
104	COAT CLOSET	2'-6" x 6'-8"	SWING	1-5/8"	WOOD	RH	-	-	E	
105	PORCH	2'-6" x 6'-8"	SWING	1-5/8"	WOOD	LH	-	-	E	
106	DINING	2'-6" x 6'-8"	EXT SWING-OUT	1-5/4"	WOOD/GLASS	LH	TEMP	-	C	
107	FAMILY	2'-6" x 6'-8"	EXT SWING-OUT	1-5/4"	WOOD/GLASS	RH	TEMP	LOW E	C	
108	BREAKFAST	2'-6" x 6'-8"	EXT SWING-OUT	1-5/4"	WOOD/GLASS	RH	TEMP	LOW E	C	
201	BEDROOM 2	5'-0" x 6'-8"	SWING	1-5/8"	WOOD	LH	-	-	E	
202	CLOSET/ BED 2	5'-0" x 6'-8"	SWING	1-5/8"	WOOD	DL	-	-	F	
203	BATHROOM	2'-6" x 6'-8"	SWING	1-5/8"	WOOD	LH	-	-	E	
204	LINEN	2'-6" x 6'-8"	SWING	1-5/8"	WOOD	RH	-	-	E	
205	LAUNDRY/ BROOM	5'-0" x 6'-8"	SWING	1-5/8"	WOOD	DL	-	-	F	
206	BEDROOM 1	5'-0" x 6'-8"	SWING	1-5/8"	WOOD	LH	-	-	E	
207	CLOSET/ BED 1	5'-0" x 6'-8"	SWING	1-5/8"	WOOD	DL	-	-	F	
208	MAST BEDROOM	5'-0" x 6'-8"	SWING	1-5/8"	WOOD	LH	-	-	E	
209	CLOSET/ M. BED	2'-6" x 6'-8"	SWING	1-5/8"	WOOD	LH	-	-	E	
210	MASTER BATH	2'-6" x 6'-8"	SWING	1-5/8"	WOOD	RH	-	-	E	
211	CLOSET/ M. BED	6'-0" x 6'-8"	SWING	1-5/8"	WOOD	DL	-	-	F	
212	DECK	5'-0" x 6'-8"	EXT SWING-OUT	1-5/4"	WOOD/GLASS	RH	TEMP	LOW E	B	DUTCH DOOR

### DOOR TYPES



WINDOW SCHEDULE										
NO	LOCATION	OPENING (W x H)	TYPE	MATERIAL	SAFETY GLASS	SCREEN	LOW E	EGRESS	NOTES	
1A	PORCH	2'-0" x 3'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	-	-	OBSCURE GLASS LOWER PANE	
1B	STAIR	2'-0" x 3'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	-	-		
1C	DINING	2'-6" x 6'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	-	-		
1D	DINING	2'-6" x 6'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	-	-		
1E	FAMILY	2'-6" x 6'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-		
1F	FAMILY	2'-6" x 6'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-		
1G	FAMILY	2'-6" x 6'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-		
1H	BREAKFAST	2'-6" x 6'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-		
1J	KITCHEN	2'-0" x 5'-6"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-		
1K	LIVING	3'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-		
1L	LIVING	4'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-		
1M	LIVING	3'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-		
1N	GARAGE	4'-0" x 4'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	-	-	REPLACE (E). VERIFY	
2A	MASTER BATH	3'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	-	-	OBSCURE GLASS LOWER PANE	
2B	MASTER BATH	5'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	-	-	OBSCURE GLASS LOWER PANE	
2C	HALL	5'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	-	-		
2D	STAIR	3'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	-	-		
2E	STAIR	5'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	-	-		
2F	STAIR	5'-0" x 5'-0"	DOUBLE-HUNG	VINYL	TEMP	FIXED	LOW E	-		
2G	BEDROOM 2	2'-0" x 2'-6"	CASEMENT	WOOD	-	ROLL-UP	LOW E	-		
2H	BEDROOM 2	5'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-		
2J	BEDROOM 2	5'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	EGRESS		
2K	BATHROOM	2'-0" x 5'-6"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-	OBSCURE GLASS LOWER PANE	
2L	BEDROOM 1	5'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-		
2M	BEDROOM 1	5'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	EGRESS		
2N	MASTER BEDROOM	5'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-		
2O	MASTER BEDROOM	5'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-		
2P	MASTER BEDROOM	5'-0" x 2'-0"	FIXED	WOOD	TEMP	NO	LOW E	-	TRANSOM	
2Q	MASTER BEDROOM	5'-0" x 2'-0"	FIXED	WOOD	TEMP	NO	LOW E	-	TRANSOM	
2R	MASTER BEDROOM	5'-0" x 5'-0"	DOUBLE-HUNG	WOOD	TEMP	FIXED	LOW E	-		

### GENERAL NOTES:

- ALL DOORS TO BE UNDERCUT A MAXIMUM OF 1/4" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED
- VERIFY DIMENSION SWING, & DOOR HARDWARE WITH PLANS & OWNER.
- ALL GLAZING WITH SOUTHERN & WESTERN EXPOSURES SHALL BE LOW E. TYP
- ALL GLAZING IN DOORS & SIDELITES SHALL BE TEMPERED TYP
- ALL WINDOWS SHALL BE WOOD, DOUBLE GLAZED, WITH DIVIDED LITES, WHITE HARDWARE WITH FOLD AWAY CRANK, WHITE ROLL DOWN SCREENS AS REQUIRED UNLESS OTHERWISE NOTED
- ALL DOORS AND WINDOWS HAVE HEADER & 6'-0" UNDO. INTERIOR JAMB IS 4 9/16" TYP. EXTERIOR JAMB IS 5 9/16" UNDO.
- WINDOWS IN THE BEDROOMS SHALL COMPLY THE EMERGENCY EGRESS REQUIREMENTS. ALL BEDROOMS SHALL HAVE AT LEAST ONE NEW AND/ OR EXISTING OPERABLE WINDOW. THE MAXIMUM SILL HEIGHT SHALL BE 44 INCHES ABOVE THE FLOOR. THE OPERABLE PORTION OF THE WINDOW SHALL BE 57.50 FT. WITH A MINIMUM HEIGHT OF 24 INCHES & MINIMUM WIDTH OF 20 INCHES.
- ALL HABITABLE ROOMS WITHIN A DWELLING UNIT SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA NOT LESS THAN ONE TWENTIETH OF THE FLOOR AREA OF SUCH ROOMS.
- ALSO PROVIDE NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA NOT LESS THAN ONE TENTH OF THE FLOOR AREA OF SUCH ROOMS.

Samuel Sinnott & Company, Inc.  
Architecture & Construction

Contractor License No. 510196  
1583 Santa Cruz Ave., Suite 100, Palo Alto, California 94301  
Telephone (650) 325-5041 Facsimile (650) 325-6118

REMODEL & ADDITION FOR:  
**GREG BETTENCOURT**  
668 PARTIDGE AVENUE  
MENLO PARK, CA 94025

DOOR & WINDOW  
SCHEDULE

ISSUE #	DATE
1	8/29/04
2	10/14/04
3	10/12/04
4	
5	
6	
7	
8	
9	
10	

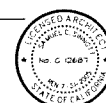
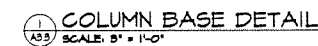
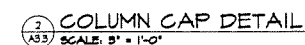
JOB NO. 0821

SCALE: 1/4"=1'-0"

SHEET NO.

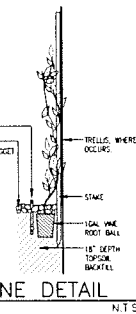
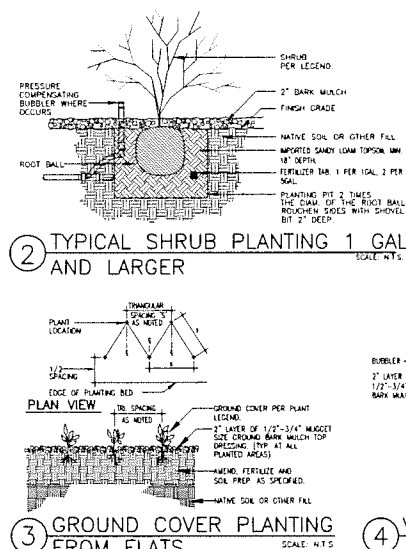
A4.1





A6.1

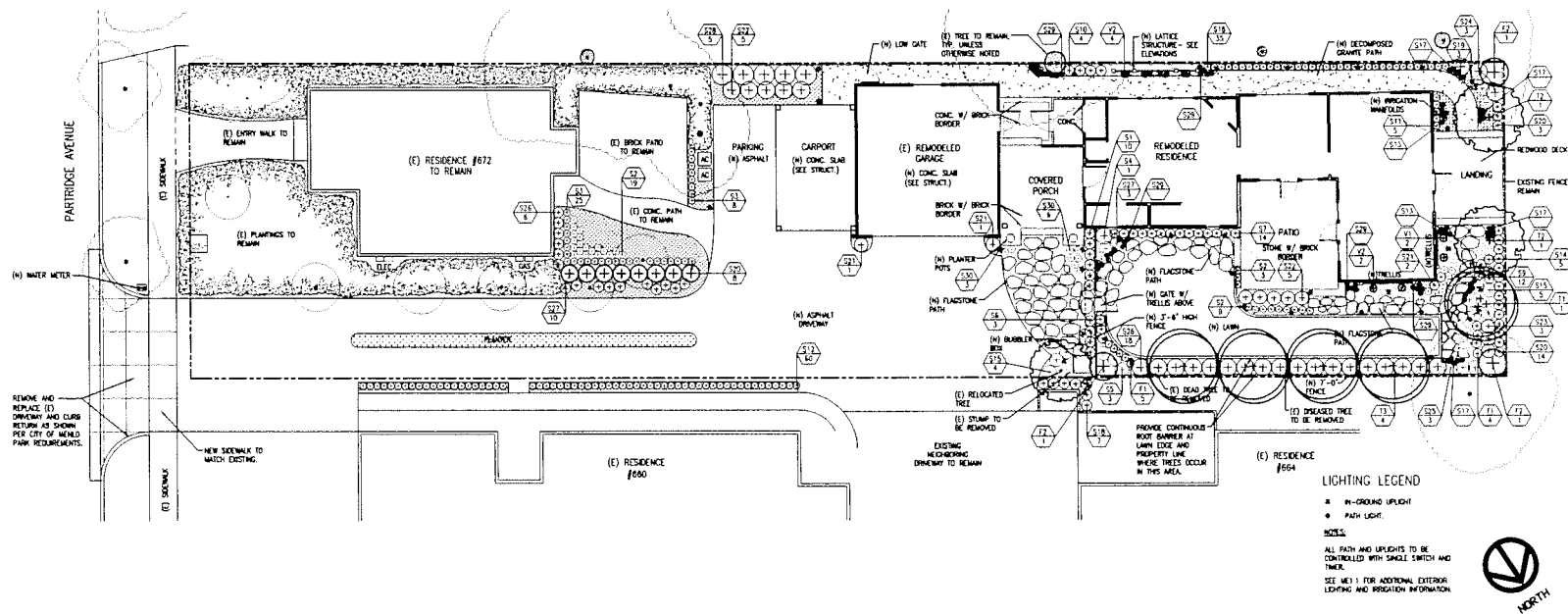




PLANTING NOTES:

- [illegible]

KEY		SIZE	BOTANICAL NAME	COMMON NAME
TREES				
T1	15C	15C	BETULA PENDULA MULTI	EUROPEAN WHITE BIRCH
T2	15C	15C	QUERCUS BACCATA	WHITE OAK
T3	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
SHRUBS				
S1	15C	15C	ABURRUS FRAXINIFOLIA TIBBOLD GINKGO	NO CHINAM WAX (NEW)
S2	15C	15C	PRUNUS PETER DAVY	CHINESE PEAR
S3	15C	15C	SYCAMORE MYRTILLIFOLIA JAPONICA GREEN BEAUTY	JAPANESE REDWOOD
S4	15C	15C	ELLIPALIS BUNYI	RED BAY
S5	15C	15C	CAMELIA SAMARANGENSIS	WAX
S6	15C	15C	CAMELIA SAMARANGENSIS	WAX
S7	15C	15C	COLONYA ALBA (NEW)	BIRCH BROTHER OF HEAVEN
S8	15C	15C	COLONYA ALBA (NEW)	WHITE BROTHER OF HEAVEN
S9	15C	15C	CITRANUS	CITRANUS
S10	15C	15C	FRAXINUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S11	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S12	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S13	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S14	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S15	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S16	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S17	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S18	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S19	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S20	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S21	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S22	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S23	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S24	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S25	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S26	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S27	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S28	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S29	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
S30	15C	15C	ELAEAGNUS TECTA THUNBERGII	WHITE BROTHER OF HEAVEN
HERBS				
H1	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H2	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H3	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H4	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H5	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H6	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H7	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H8	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H9	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H10	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H11	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H12	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H13	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H14	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H15	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H16	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H17	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H18	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H19	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H20	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H21	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H22	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H23	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H24	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H25	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H26	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H27	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H28	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H29	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
H30	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
BUTTERFLY PLANTS				
B1	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B2	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B3	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B4	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B5	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B6	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B7	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B8	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B9	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B10	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B11	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B12	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B13	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B14	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B15	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B16	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B17	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B18	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B19	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B20	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B21	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B22	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B23	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B24	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B25	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B26	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B27	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B28	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B29	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED
B30	15C	15C	PODOCARPUS NERURARIUM	VIETNAMESE RED



**Samuel Sinnott & Company, Inc.**

**REMODEL & ADDITION FOR:  
GREG BETTENCOURT**

Contractor's License No. 510156  
558 A Santa Cruz Ave., Merido Park, California 94025  
Telephone (650) 325-5560 Facsimile (650) 325-0138

**LANDSCAPE SITE PLAN,  
PLANTING & LIGHTING**

ISSUE #	DATE
1	10/6/04
2	10/12/04
3	1/14/05
4	
5	
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8	
9	
10	

JOB NO. 0321

SCALE: 1/8"=1'-0"

SHEET NO.

100

11 of 11

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11/11/2016

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# LEGEND

- 110 VOLT DUPLEX OUTLET
- 110 VOLT 4 PLEX OUTLET
- 220 VOLT OUTLET
- SINGLE POLE SWITCH
- 3/4 WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED DIRECTIONAL LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- UNDERCABINET FLUORESCENT LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE

- THERMOSTAT
- FAN / FLUORESCENT LIGHT FIXTURE SUITABLE FOR DAMP LOCATION
- VENT FAN
- CABLE TV BOX
- TELEPHONE OUTLET
- FLUORESCENT FIXTURE
- RETURN AIR
- SUPPLY AIR, CEILING MOUNTED
- SUPPLY AIR, WALL MOUNTED
- FLUORESCENT
- PENDANT

- GFI GROUND FAULT INTERRUPTER
- LV LOW VOLTAGE
- WP WATER RESISTANT
- DB DOOR BELL
- EP ELECTRICAL PANEL
- 110V HARDWIRED ELECTRIC SMOKE DETECTOR
- TV BATTERY BACKUP INTERCONNECTED
- CHIMES
- HOSE BIB
- GAS SUPPLY
- WATER SUPPLY

## ELECTRICAL NOTES

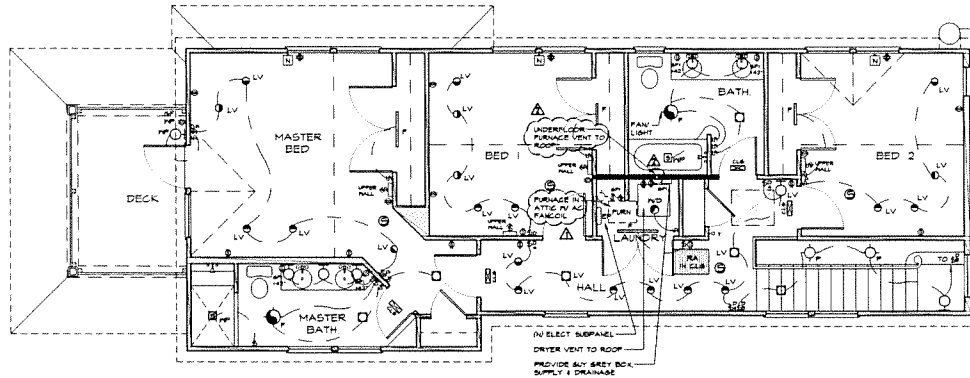
- ALL ELECTRICAL WORK SHALL BE INSTALLED PER UNIFORM ELECTRICAL CODE.
- OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL IS MORE THAN 6'-0" HORIZONTALLY FROM AN OPENING. MAX. DISTANCE BETWEEN OUTLETS IS 12'-0".
- THE VERTICAL LOCATION OF WALL OUTLETS ARE TO BE 12" ABOVE FINISH FLOOR, UNLESS OTHERWISE NOTED.
- WALL LIGHT SWITCHES AS ABOVE FINISH FLOOR TO CENTERLINE. GANGS SWITCHES TO COMMON BACKUPPLATES WHERE POSSIBLE.
- PROVIDE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION ON ALL OUTDOOR, BATHROOM, KITCHEN AND GARAGE OUTLETS (BFI).
- INSTALL HARD WIRED INTERCONNECTED SMOKE DETECTORS IN ALL BEDROOMS AND IN HALLWAYS OUTSIDE BEDROOMS AND OTHER LOCATIONS AS REQUIRED BY UCC. SMOKE DETECTORS IN NEW CONSTRUCTION SHALL HAVE BATTERY BACKUP.
- SEVERAL CONTRACTOR SHALL VERIFY AND PROVIDE ALL NECESSARY ELECTRICAL, MECHANICAL AND PLUMBING CONNECTIONS REQUIRED BY ALL APPLIANCES/ELECTRICAL DEVICES, PLUMBING FIXTURES AND TRIM.
- LIGHT FIXTURES IN TUB AND SHOWER MUST BE WATER RESISTANT.
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE 15- AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DRILLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT INTERRUPTER(S). NEC 210-12.

## MECHANICAL NOTES

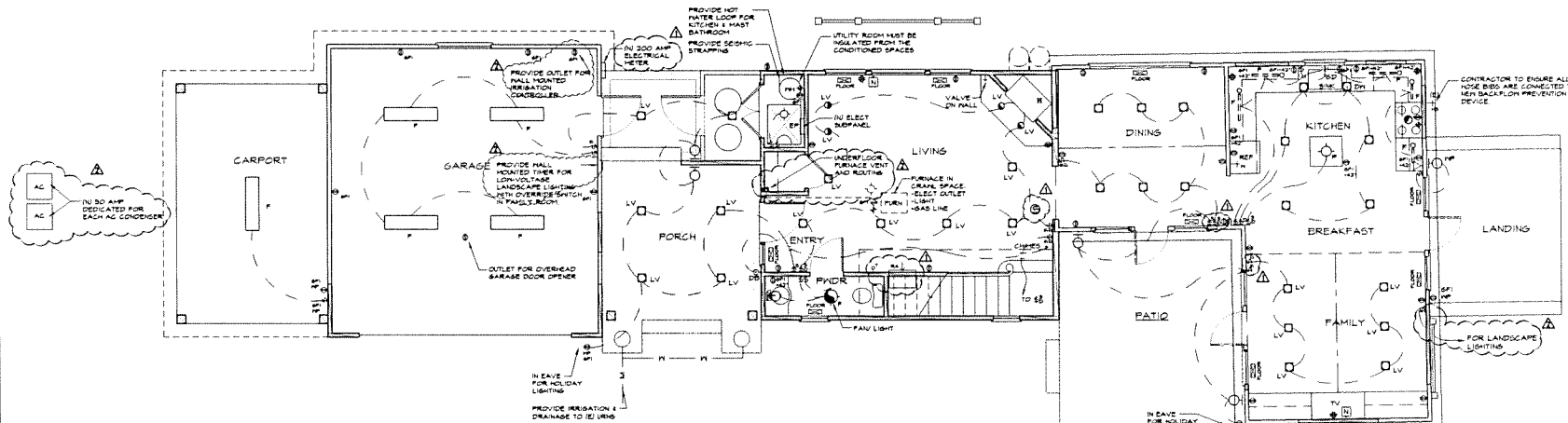
- EXHAUST FANS IN BATH AND POWDER ROOMS MUST BE CONNECTED DIRECTLY TO THE EXTERIOR AND MUST PROVIDE 3 AIR CHANGES PER HOUR. PROVIDE ALL EXHAUST FANS WITH BACKDRAFT DAMPERS.
- LOCATIONS OF SUPPLY AND RETURN REGISTERS SHOWN ON DRAWINGS ARE SUGGESTED LOCATIONS ONLY. DESIGN BUILD HEATING CONTRACTOR SHALL REVIEW IT AND TO MODIFY BY RELOCATING AND/OR CHANGING NUMBER OF REGISTERS AS HE CONSIDERS NECESSARY TO OBTAIN SATISFACTORY SYSTEM OPERATION.
- ALL EXPOSED ROOF METAL FLASHING PLUMBING JACKS, FLUE GAPS, ETC. SHALL BE PAINTED TO MATCH THE ROOF MATERIAL.
- EXHAUST FANS CONNECTED DIRECTLY TO OUTSIDE MUST TERMINATE 3 FEET FROM ANY OPENINGS INTO THE BUILDING AND BE PROVIDED WITH BACKDRAFT DAMPERS.
- PROVIDE FAN COIL WITH FURNACE FOR AC AND PROVIDE CONDENSATE DRAIN.
- NEW FURNACE IN ATTIC TO BE INSTALLED ON 3/4" PLYWOOD PLATFORM MIN. 1" TO COMBUSTIBLE CONSTRUCTION. PROVIDE 24" WIDE ACCESS FLOORING ALONG A 30" WIDE PASSAGEWAY WITHIN THE ATTIC LEADING FROM THE ATTIC ACCESS OPENING TO THE FURNACE PLATFORM.

## PLUMBING NOTES

- PROVIDE SHOWER OR TUB/SHOWER WITH PRESSURE BALANCED OR THERMOSTATIC MIXING VALVE CONTROL (TYPICAL).
- PROVIDE WATER CLOSETS WITH 1/8" GAL PER FLUSH MAXIMUM.
- INSTALL NON REMOVABLE BACKFLOW PREVENTION DEVICES AT ALL HOSE BIBS AND LAUNDRY EQUIPMENT.



UPPER FLOOR MECHANICAL/ ELECTRICAL/ PLUMBING PLAN  
SCALE: 1/4" = 1'-0"



LOWER FLOOR MECHANICAL/ ELECTRICAL/ PLUMBING PLAN  
SCALE: 1/4" = 1'-0"

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Architecture & Construction

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Telephone (650) 325-1568 Facsimile (650) 325-0158

REMODEL & ADDITION FOR:  
**GREG BETTENCOURT**  
668 PARTRIDGE AVENUE  
MENLO PARK, CA 94025

LOWER & UPPER FLOOR  
MECHANICAL, PLUMBING  
& ELECTRICAL PLAN

ISSUE	DATE
1	8/25/04
2	10/14/04
3	10/12/04
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JOB NO. CB21

SCALE: 1/4" = 1'-0"

SHEET NO.

ME1.1



January 7, 2016

Planning Commission c/o  
Kyle Perata, Planner  
Community Development Department  
City of Menlo Park  
Planning Division  
701 Laurel Street  
Menlo Park, CA 94025

RECEIVED

JAN 12 2015

CITY OF MENLO PARK  
BUILDING

Re: Ferrari R2 Residences Conversion to Condominiums  
668 and 672 Partridge Avenue

Application Number: **PLN2016 -**

Dear Mr. Perata and Honorable Commissioners:

Peter Carlino at Lea and Braze and I are submitting this application for David Ferrari of Menlo Park. He wishes to convert the two owner occupied R2 residences, that are currently vacant and recently purchased from Greg Bettencourt of Menlo Park, to separate condominiums through a minor subdivision process.

The larger of the two structures, 668 Partridge in the rear, was constructed in 2004 and 2005 following a use permit and variance approval for encroachment into required yards on a nonconforming parcel. It is a 2579 SF, two story, three bedroom, two and one half bath home with a carport and two car garage. The carport is used by 672 Partridge in front for their covered parking. The structure in front is a 708 SF, one bedroom, one bath home with a small mechanical basement that was constructed in about 1931.

Both structures were reviewed and approved with a use permit and two variances in 2004 that saved an existing rear cottage and garage by incorporating them into a new home in the rear, 668, as a remodel and addition.

One variance was to allow an existing reconstructed garage to encroach into the required side yard setback. The garage was an existing legal, non conforming detached accessory structure, three feet from the property line. It was, and is, nonconforming for clear width and depth inside based on the City's parking standards.

Another variance allowed the existing detached cottage in the rear to maintain accessory structure rear setbacks while being incorporated into the new primary structure.

The use permit was approved for construction of the primary unit in the rear of the property. The commission believed that building the primary unit in the rear was consistent with the development pattern of the neighborhood.

Incorporating the cottage into a larger structure in the rear of the property allowed the preservation of the existing bungalow on the street. This house is significant architecturally and saves a streetscape familiar to the neighbors. This front residence also encroaches into the required side yard and is therefore legal, nonconforming (for at least that condition).

This condominium subdivision application includes a minor subdivision map of the entire property and both structures; two code compliance reports (one for each structure); and conditions, covenants and restrictions for the entire property. Other documents and fees are required too including a valuation report of the building code/life safety upgrades required by the building department for the front residence, 672 Partridge. This report will/should confirm that the building upgrades do not exceed 50% of the replacement value of the structure.

The planning commission ***findings will be based on the subdivision ordinance only*** and will not include comments or conditions outside that ordinance. Approval or denial of the application is therefore not 'discretionary'.

Thank you very much for reviewing this condominium conversion.

Sincerely,

*Sam Sinnott*

Samuel Sinnott  
Licensed Architect  
No. C12687  
Exp. 7-31-2017

Peter Carlino  
Licensed Engineer  
PE 79555  
Exp 10-2016

Samuel Sinnott, Architect and Owner  
Samuel Sinnott and Company  
558A Santa Cruz Avenue  
Menlo Park, CA 94025

Peter Carlino, Engineer and Partner  
Lea and Braze Engineers  
2495 Industrial Parkway West  
Hayward, California 94545

Lic. No. 510156 | 558A Santa Cruz Avenue Menlo Park CA 94025 | [sam@sinnottandco.com](mailto:sam@sinnottandco.com)  
Ph: (650) 325-5560 | Fax: (650) 325-0138 | [www.sinnottandco.com](http://www.sinnottandco.com)

## 668-672 Partridge Avenue – Attachment D: Data Table

	PROPOSED PROJECT (NO CHANGE FROM EXISTING)		ZONING ORDINANCE	
Lot area	8,483	sf	7,000	sf min.
Lot width	45	ft.	65	ft. min.
Lot depth	188.5	ft.	100	ft. min.
Setbacks				
Front	18	ft.	20	ft. min.
Rear	10	ft.	20	ft. min.
Side (left)	3	ft.	5	ft. min.
Side (right)	12.7	ft..	5	ft. min.
Building coverage	31.3	%	35	% max.
FAL (Floor Area Limit)				
Total	3,454	sf	40%/3,393	sf max
Total Second Floor	1,004	sf	15%/1,272	sf max
Square footage by floor				
Front Building	694.0	sf/1 <sup>ST</sup>		
Rear Building	962.5	sf/1 <sup>ST</sup>		
	1,004.0	sf/2 <sup>ND</sup>		
	139.0	sf/over 12 ft		
	454.5	sf/garage		
Garage	200.0	sf/carport		
Square footage of buildings	3,454	sf		
Building height	26 ft.	4 in.	28	ft. max.
Landscaping	44.5	%	40	% min.
Parking	3 covered/1 uncovered		2 covered/2 uncovered	

	BOUNDARY LINE
	EASMENT
	BSSIL
	CENTER LINE
	BUILDING OVERHANG LINE
	ELECTRICAL OVERHEAD LINE
	ELECTRICAL/TELEPHONE/ CABLE TV OVERHEAD LINE
	FENCE LINE
	SANITARY SEWER LINE
	TELEPHONE/CABLE TV OVERHEAD LINE
	TRENCH GRATE

A/C	AIR CONDITIONER
DR	DRIVEWAY
FF	FINISH FLOOR
FL	FLOW LINE
INV	INVERT
M	MULTIPLE TRUNKS
PS-1	PARKING SPACE UNIT NUMBER
RP	ROOF PEAK
TC	TOP OF CURB
TGS	TOP OF SLAB
VCP	VITRIFIED CLAY PIPE
Y-1	YARD UNIT NUMBER

+	AC	AREA DRAIN
⊞	CB	CATCH BASIN
⊞	CO	CLEAN-OUT
⊞	EM	ELECTRICAL METER
⊞	GM	GAS METER
⊞	ICP	IRRIGATION CONTROL BOX
⊞	ICV	IRRIGATION CONTROL VALVE
⊞		JOINT POLE
⊞		PILLAR
⊞	SSCO	SANITARY SEWER CLEAN-OUT
⊞	SSM+H	SANITARY SEWER MANHOLE
⊞	SD	STORM DRAIN VAULT
⊞	Wse	WATER METER
⊞		BENCHMARK
⊞		SPOTGRADE

A vertical strip of six small, square images showing different textures: asphalt, brick, concrete, lawn, pavers, and stone.

TREE: TYPE AND SIZE AS NOTED

LINE TABLE		
LINE	LENGTH	BEARING
L1	24.29'	N56°25'00"W
L2	3.36'	S33°35'00"W
L3	24.22'	S33°43'25"W
L4	28.26'	N56°42'11"W
L5	5.94'	S34°07'15"W
L6	7.79'	S33°04'51"W
L8	4.13'	N57°00'49"W
L9	11.34'	S33°26'07"W
L10	28.27'	N56°33'53"W
L11	23.01'	N56°25'00"W
L12	24.90'	S33°35'00"W
L13	19.53'	N56°25'00"W
L14	19.44'	N56°25'00"W
L15	2.58'	S33°35'00"W
L16	22.31'	S33°38'04"W
L17	2.67'	S33°35'00"W
L18	21.07'	N56°33'18"W
L19	22.35'	S33°37'01"W
L20	8.83'	N56°27'54"W
L21	20.25'	S33°35'00"W
L22	12.02'	N56°27'54"W
L23	19.04'	S33°31'01"W
L24	22.08'	N56°28'49"W
L25	00.41'	S33°17'34"W
L26	29.92'	N57°01'23"W
L27	27.38'	N57°55'45"W
L28	14.42'	S32°19'45"W
L29	14.66'	S32°38'15"W
L30	13.86'	N57°12'02"W
L31	6.67'	S33°17'47"W
L32	22.92'	N56°20'02"W
L33	103.81'	N56°25'00"W
L34	84.76'	N56°25'00"W

**FRONTAGE NOTE:**  
THE APPLICANT IS  
RESPONSIBLE FOR REMOVAL  
AND REPLACEMENT OF ALL  
DETERIORATED OR DAMAGED  
FRONTAGE IMPROVEMENTS  
PER CITY STANDARDS ALONG  
THE ENTIRE PROJECT  
FRONTAGE.

SUBJECT IS LOCATED WITHIN FEMA FLOOD OTHER AREAS ZONE "X". ZONE "X" IS DESIGNATED AS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

NO BASE FLOOD ELEVATION  
FOR SUBJECT SITE WAS SHOWN  
ON FLOOD INSURANCE RATE  
MAP NO. 06081C0308E, DATED  
OCTOBER 16, 2012.

"COMMON AREA" MEANS AND REFERS TO THOSE PORTIONS OF THE PROPERTY, TO WHICH TITLE IS HELD BY ALL OF THE OWNERS IN COMMON, AND INCLUDES ALL LANDS AND IMPROVEMENTS NOT LOCATED WITHIN THE INDIVIDUAL CONDOMINIUM UNITS. THE COMMON AREA INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING: COLUMNS, FIRE ESCAPES, FOUNDATIONS, GIRDERS, PARKING AREA, LAND, STAIRS, SUBFLOORS, UNFINISHED FLOORS, PIPES, DUCTS, FLUES, CHUTES, CONDUITS, WIRES, AND OTHER UTILITY INSTALLATIONS WHEREVER LOCATED WHEN EXCEPTED THE OUTLETS THEREOF WHEN EXCEPTED WITHIN THE UNIT. THE OWNER OF EACH UNIT SHALL OWN AN UNDIVIDED INTEREST IN THE COMMON AREA.

OWNER/SUBDIVIDER: FERRARI INVESTMENT COMPANY  
C/O: DAVID FERRARI  
1054 ARBOR RD #A  
MENLO PARK, CA 94025

ENGINEER/SURVEYOR: LEA & BRAZE ENGINEERING INC.  
2495 INDUSTRIAL PARKWAY WEST  
HAYWARD, CA 94545  
(510) 887-4086  
CONTACT: PETE CARLINO

**ARCHITECT:**

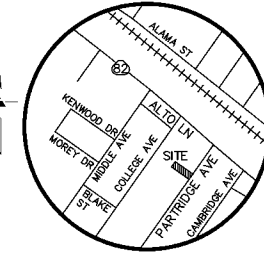
LOT AREA: 8,483 S.F.

ASSESSOR'S PARCEL NO. 071-412-320

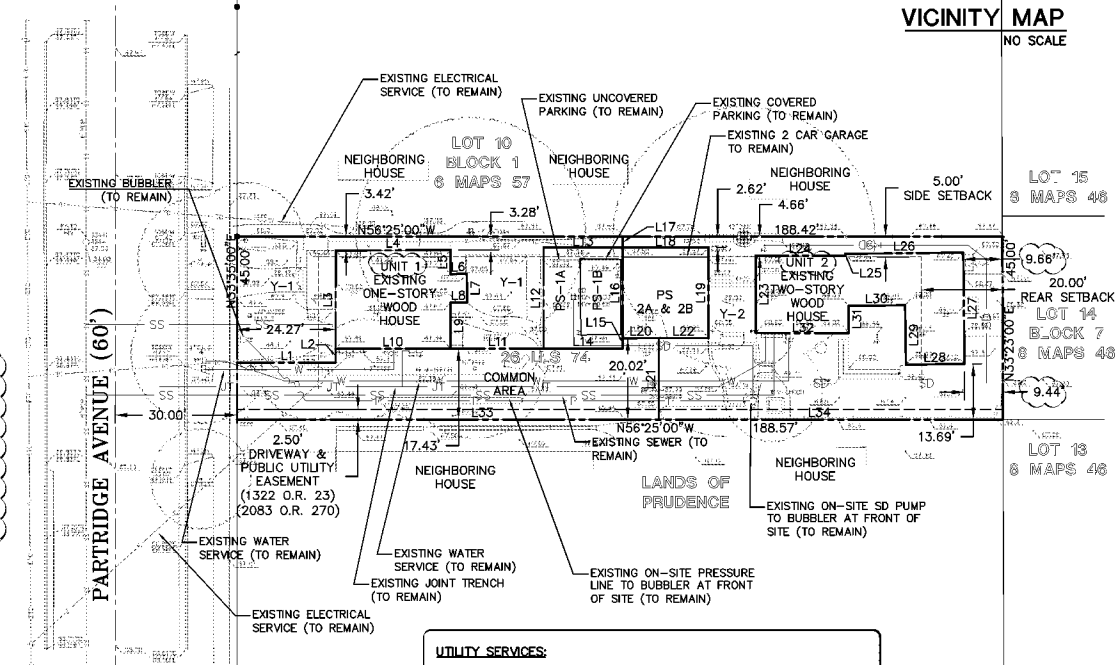
EXISTING AND PROPOSED R-2

EXISTING USE: SINGLE FAMILY HOME

PROPOSED USE: 2-UNIT CONDOS



	NO SCALE
--	----------



GAS & ELECTRIC:	PACIFIC GAS & ELECTRIC COMPANY
TELEPHONE:	AMERICAN TELEPHONE & TELEGRAPH COMPANY
WATER:	CALIFORNIA WATER SERVICE COMPANY
SANITARY SEWER:	WEST BAY SANITARY DISTRICT
STORM DRAINAGE:	CITY OF MENLO PARK
FIRE PROTECTION:	MENLO PARK FIRE PROTECTION DISTRICT

THE BEARING NORTH 33°35'00" EAST  
BETWEEN FOUND MONUMENTS ON THE  
WESTERLY LINE OF PARTRIDGE AVENUE AS  
SHOWN ON RECORD OF SURVEY FILED IN  
BOOK 26 OF ILS MAPS AT PAGE 74, SAN  
MATEO COUNTY RECORDS IS THE BASIS OF  
ALL BEARINGS SHOWN UPON THIS MAP.

CITY OF MENLO PARK BENCHMARK U1110  
0.1 MILE SOUTHWEST OF THE SOUTHERN PACIFIC  
COMPANY RAILROAD STATION, AT THE INTERSECTION  
OF SANTA CRUZ AVENUE AND EL CAMINO REAL (U.S.  
HIGHWAY 101), AT THE ELLIOT BUILDING, IN THE TOP  
PROJECTION OF THE GRANITE BLOCK FOUNDATION.  
BETWEEN TWO GRANITE BLOCK COLUMNS, 15.9 FEET  
SOUTHEAST OF THE SOUTHEAST CURB OF THE AVENUE,  
12.5 FEET NORTHEAST OF THE NORTHEAST CURB OF THE  
HIGHWAY, 0.3 FOOT SOUTHWEST OF THE BRICK WALL, AND  
2.0 FEET ABOVE THE SIDEWALK.  
ELEVATION= 73.9' (NAVD 88)

SURVEY CONTROL POINT  
MAG AND SHINER SET IN ASPHALT  
ELEVATION = 67.54' (NAVD 88)

EASEMENTS ARE SHOWN PER TITLE  
REPORT PREPARED BY LAWYERS  
TITLE INSURANCE CORPORATION,  
TITLE NO. FLNP-0061501420-MA,  
DATED NOVEMBER 25, 2015.

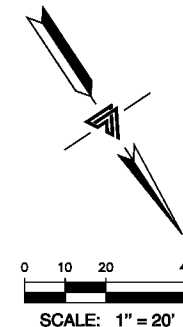
ALL DISTANCES AND DIMENSIONS ARE  
IN FEET AND DECIMALS OF A FOOT.

UNDERGROUND UTILITY LOCATION  
IS BASED ON SURFACE EVIDENCE

BUILDING FOOTPRINTS ARE  
SHOWN AT GROUND LEVEL

FINISH FLOOR ELEVATIONS ARE TAKEN  
AT DOOR THRESHOLD (EXTERIOR)

BUILDING SETBACKS SHOWN ARE TAKEN FROM SITE PLAN ENTITLED "REMODEL & ADDITION FOR: GREG BETTENECOURT, 668 PARTRIDGE AVENUE, MENLO PARK, CA 94025" PREPARED BY SAMUEL SINNOTT & COMPANY, INC. DATED AUGUST 23, 2004.



**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS

BAY AREA REGION  
2495 INDUSTRIAL PKWY WEST  
EMERYVILLE, CALIFORNIA 94545  
(P) (510) 887-4086  
(F) (510) 887-3019

SACRAMENTO REGION  
3017 DOUGLAS BLVD., # 300  
ROSEVILLE, CA 95661  
(P) (916) 936-1338  
(F) (916) 797-7583

668 -672  
PARTRIDGE AVENUE  
MENLO PARK,  
CALIFORNIA  
SAN MATEO COUNTY  
APN: 071-412-320

**TENTATIVE MAP  
FOR CONDOMINIUM  
CONVERSION  
PURPOSES**

PLAN CHECK 5-23-16	PC
PLAN CHECK 4-29-16	PC
REVISIONS	BY

JOB NO: 2151265  
DATE: 12-21-15  
SCALE: 1" = 20'  
DRAWN BY: WA  
SHEET NO:

**C-1**

RECEIVED

JUN 13 2016

CITY OF MENLO PARK  
BUILDING

## Code Conformance Report

For a condominium conversion of two existing residences at:  
**668 and 672 Partridge Avenue, Menlo Park, Ca 94025**

January 8, 2016

Prepared for:  
David Ferrari  
1054 Arbor Rd, Unit A  
Menlo Park, CA 94025

Prepared by:  
Sam Sinnott AIA  
Samuel Sinnott and Company  
Architecture and Construction, Inc.  
558A Santa Cruz Avenue  
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Lic. # 510156

## I. Overview

This report is meant to assist the City of Menlo Park in preparing a minor condominium subdivision for a single parcel that contains two existing single-family residences in front and in the rear. It supplements a Home Inspection Report for the existing residences written by Eagle One Services LLC, July 24, 2015. The City of Menlo Park Sub-Division ordinance requires that a report be completed and submitted comparing the condition/building standards for the existing building both to the building code in effect at the time of construction and as of the date of the application for conversion (i.e. current code). While this report is required, the existing building need not be brought into compliance with the current code, only up to the standards of the code in effect at the time of original construction, plus such additional upgrades as may be required to meet life safety and certain disabled access requirements (if applicable) as determined by the Building Official.

The original residence in front at 672 Partridge Avenue is a 708 SF single story, one bedroom; one bath 'bungalow' style building that was constructed in approximately 1931. Several remodels and improvements have been performed since. They include a bath remodel, kitchen remodel, electrical and plumbing upgrades and foundation/crawl space upgrades. All remodeling, improvements and repairs were permitted by the City of Menlo Park as applied for and verified by the owner, Greg Bettencourt. Copies are available in the City records. The original building for 672 was constructed under the 1930 Uniform Building Code. The code identifies requirements for type V, wood frame dwellings.

The newer residence at 668 in the rear is a 2579 SF, two story, three bedroom, two and one half bath building constructed in 2004 and 2005. It is technically an addition and remodel because it includes an existing 455 SF two car garage, and existing 204 SF car carport, and an existing 557 SF cottage all in the new building envelope. Because the total project represented more than a 50% improvement at the time, the existing structures had to be improved to meet the 2001 California Building Code. The carport and garage were completely removed and rebuilt under the 2001 code. The existing cottage floor platform and foundation were allowed to remain with upgrades to satisfy the city plan checkers. It is assumed that portion of the building was also originally constructed under the 1930 UBC similar to 672 Partridge.

This report is organized as sections for the structure; architectural life safety; energy considerations; mechanical; electrical; and plumbing systems. Each section includes recommendations for improvements as well as identification of the non-conformities. By law the building need only conform with the code in effect at the time of the original construction and, at the discretion of the building official, conform with the current code for life safety issues.

**Recommended improvements for those life safety issues are highlighted with bold lettering and underlined.** Other recommendations, which are not significant life safety issues, *are written in Italics but not highlighted with bold lettering or underlined.*

This report is not meant to be exhaustive; rather it identifies what the writer considers to be the significant areas of non-compliance with the current building codes. Concealed conditions of the houses were not exposed and therefore are not included. However, an effort was made to investigate the crawl space, the attic space, and the wall cavity of both structures.

Respectfully submitted,

Sam Sinnott

## II. 672 Partridge

### Structural Conditions

The house is a lightweight, single story wood frame structure built over a wooden platform and a crawl space. In addition to the crawl space, a mechanical basement is under approximately 20% of the upper floor in the northwest corner. As mentioned the 1930 UBC identifies requirements for type V wood frame dwellings. *Those conclusions are italicized in the appropriate parts of the structural section.*

Generally, because the house is so old, it does not meet the 2013 code in many ways. However, the structure is at least as it was when originally constructed and has not been compromised to less than that. *Therefore the structure generally conforms to code.*

#### Foundation

The foundation is a perimeter concrete spread footing with a battered interior. It is a stem wall configuration with a battered interior concrete wall running up to a sill that supports the subfloor. Concrete pier blocks support girders approximately every 4'. It was not x-rayed to determine the amount of reinforcement and was not excavated to determine its depth. Some very minor cracking exists that is considered normal for a house of this age. No separation of these cracks was observed, suggesting the footings are reinforced. Very little efflorescence and no crumbling was observed. The foundation appears to be in good condition. Settlement was not observed.

*The foundation type meets the requirements of section 2204 of the 1930 UBC. It requires the foundation wall thickness to be at least 8" thick. No reference was found for mudsill specification or bolting but metal angles have been added connecting the floor platform to the foundation wall in a number of locations most notable near the corners of the structure. These are an improvement over sill bolting. All these conditions appear to meet code, but strict conformance was not verified.*

*The basement walls show very little evidence of cracking or efflorescence but have been refinished. No evidence of water infiltration was visible but it is likely that little or no water proofing is on the outside of the basement walls.*

**Field verify the existing conditions meet these requirements.**

#### Floor Framing

The floor structure is 2x6 @ 16" o.c. over 4x6 girders at 6' o.c and pier blocks every 4'. The code allows a 10' 6" span for these floor joists. Therefore the floor platform conforms. The subfloor spanning the girders and extending over the perimeter sill appears to be 2x t & g diagonal. No metal connectors between the girders –blocks, blocks-piers, or girders – footings were observed.

*This type of framing meets the requirements of sections 2206 – 2208 of the 1930 UBC. However section 2208 requires 'solid blocking of not less than 2" and the full depth of the joists...over all girders...' Areas were observed without this blocking therefore the connector requirement below applies.*

**Joist to Girder, girder to block, and block to pier metal connectors should be added to resist lateral movement.**

The crawl space is dry with no evidence of water in the winter. A 'rat' unreinforced concrete topping pour has been added to cover the soil. Clearance exceeds 18" and section 2207 code minimum of 12". Venting requirements of 2 SF per 25 lineal feet appears adequate. Crawl space access is through an approximate 22" x 28" door in the basement and an approximate 24"x 24" at grade access on the south east exterior wall.

**Slabs**

The only structural slab is in the mechanical basement. It is sloped to drain to a sump pump. No evidence of cracking or settlement was observed but reinforcement was not verified.

**Wall Framing**

Walls appear to be framed with 2" x 4" based on jamb thicknesses. Stud spacing and amount of exterior sheathing could not be confirmed. The house is clad in lapped wood siding but structural sheathing and angle bracing, as required by code, could not be confirmed. Even if sheathing and/or bracing is part of the wall framing, it does not meet 2013 code for lateral resistance. However, as mentioned, the platform is attached to the foundation with metal angles and even if the walls do not perform laterally, it may be adequate for this modest sized house.

*This wall framing system generally conforms with the requirements of the 2205 of the 1930 UBC.*

**Ceiling and Roof Framing**

Attic access is through a conforming door in the kitchen. The 1930 code provides allowable spans for roof rafters and ceiling joists in a table in section 2208. The roof rafters are approximately 2"x6" at 24" o.c. and may span slightly more than the 11'-5" maximum span allowed by code at the time. A few 1x10 collar ties are installed, but not at regular intervals. **It is recommended that an existing roof framing plan be drawn and a few select rafters be increased in width and depth to meet the standard of section 2208.** Roof sheathing was originally skip sheathing and has been upgraded to what appears to be 1/2" plywood sheathing.

Ceiling joists appear to be 2"x6" at 24" o.c. parallel to the rafters without any apparent strong backs. They are covered by blown in insulation. At a 13' 8" maximum span allowed they conform. However, it is possible they are connected to the roof rafters as trusses, although no web members are visible. If so the rafters may conform with the 1930 code. Again, spans allowed in 1930 are far greater than the 2013 CBC. Lateral resistance metal connectors are also completely absent and were not required.

*Addition of selective Simpson A35 connectors (or equal) could help prevent the roof, ceiling and walls from separating in an earthquake or severe wind storm.*

**Architectural Life Safety**

The 1930 Code also has a section for group I, dwellings and section 33 for stairs, ramps and doors. The house generally conforms with these sections except the stair to the basement. I could not find an exception for mechanical stairs (for tread depth and nosing). *It is also nonconforming for tread width, assuming a 6" minimum depth.* Considering stairs to mechanical spaces get exceptions now this stair is probably adequate, although it does not meet the standards of the 2013 code either.

The following is a list of recommended changes based on non conformity with the 2013 CBC:

**Exposed rafter tails and eave on the kitchen/living room side must be checked and upgraded for fire rating less than 3' from a property line.**

**Combined smoke/CO2 detectors must be added to the bedroom, living room (as a passage), the basement and the attic space.**

**The front and rear door keyed deadbolts must be changed to thumb turn on the inside.**

**An egress window must be added in the bedroom meeting the standards of CBC section 1026. 5.7 SF area clear opening with a clear width of 20" minimum and a minimum clear height of 24".**

*Tempered/safety glass could be added to the front door and adjacent windows. The rear door and adjacent window and widow above the bathroom sink must also be tempered. Please verify.*

*The rear screen door swings out over a step and blocks the path of travel. Consider removing it.*

*Please provide an exterior exit light at the back door.*

*Possibly raise wood siding (or lower grade) a minimum of 8" above adjacent grade on side yards.*

The shower pan does not meet current code standards for width.

## **Energy Considerations (this section does not address life safety issues)**

The existing house has ceiling insulation in excess of 6" (R24 +), but insulation in wall cavities could not be confirmed and there is no insulation in the floor platform. Field observation suggests this insulation does not meet the requirements of title 24 or Cal Green for a new residence. Menlo Park ordinances require new residences to exceed the standards of title 24 by 15%. Some windows and glass doors are single glazed. Title 24 requires all windows to be double glazed in new residences. Conversion from single to double glazing yields an increased R-value of approximately 2 over the area of the glass for this existing residence. Therefore the conversion is not recommended.

Update lighting in the kitchen and baths with LED or similar bulbs (in lieu of fixtures) for all fixtures to meet high efficacy standards without separate switching.

Provide rheostats for lighting in the living room and family room.

Possibly insulate all exposed hot water lines and add insulation to the hot water heater.

## **Mechanical Systems**

The existing under floor furnace was not inspected but appears new. Please verify that it is 92% efficient. Please insulate exposed sheet metal air return ducts and check taping/seals on all supply flex duct. The AC condenser does not meet current efficiency standards or acoustical standards. Considering the small amount of conditioned space and the degree of non conformity, replacing the AC condenser is not recommended.

Possibly add an exhaust fan in laundry area/basement.

## **Electrical Systems**

The main electrical service for the house is an overhead from a power pole in the front. The weather head is shared by both units into separate meter panels on the outside of 672. The original house had knob and tube wiring, but much of it has been replaced with Romex and conduit. Circuits and panel appear adequate.

**The service must be bonded to the cold-water service within 5' of the main water supply line. Please verify.**

**Bond the coldwater, hot water and gas piping together at the hot water heater. Please verify.**

**Add/verify splice boxes at all locations where knob and tube wiring converts to Romex, if any.**

Add/verify dedicated circuits to all appliances.

**Ground all ungrounded receptacles, specifically in front bedroom. Add additional receptacle on south wall of front bedroom.**

**Verify AFCI receptacles at all outlets.**

**Add/verify GFCI receptacles for all outlets in the kitchen, bathrooms and outdoors. Two may be missing in the kitchen.**

## **Plumbing Systems**

Based on observations made in the crawl space, it appears the house has copper supply lines and ABS waste lines. Water pressure is adequate.

A number of galvanized pipes convert to copper under the house. A proper bond should be installed at those locations to avoid electrolysis and corrosion.

Consider strapping all waste and vent piping in the crawl space to the floor platform every 4'.

Consider covering all exposed PVC and ABS lines for fire prevention.

Consider replacing/ upgrading the main water supply line from the meter to 1" copper.

Consider replacing the gas range shutoff under the house to one behind the range.

Verify backflow prevention device to irrigation lines and all hose bibbs. Verify PVC irrigation lines rather than galvanized. Verify sprinkler heads aim away from the house.

Note the gas meters are below the dining room windows and this room should therefore not be used as a bedroom.

Possibly add a low flow faucet in the bath. (This is not a life safety issue)

### III. 668 Partridge

As mentioned the additional parts of the house were built in 2004 and 2005 by the standards of the 2001 CBC. As the architect for the project I can confirm it substantially conforms with that code and was permitted and inspected by the staff of the City of Menlo Park. Therefore the comments below will mostly focus on significant differences between the 2001 CBC and the 2013 CBC as they apply to the structure of the addition. However, the dining room, kitchen and family room are a remodeling of the existing cottage. In the opinion of the building department at the time the original, existing floor platform, existing foundation and a few existing walls could remain with added details, mostly for lateral resistance, that substantially met the standards of the 2001 CBC. The existing cottage roof was removed and replaced.

### Structural Conditions

#### Foundation

The new portion of the foundation is a perimeter concrete spread footing. It was constructed from a design by a structural engineer and geotechnical engineer. It may not perform to the standards of the current code for hold down pulling or other stresses imposed by lateral loads. *However, considering the form of this structure it is not recommended that the footings be bolstered with any additional concrete.* The foundation under the dining room, kitchen and family room is the original from approximately 1931. It supports only a single story structure. The upper floor is supported by a foundation poured in 2004 and 2005. New details of the 1930 foundation and platform were drawn as a condition of permitting in 2004. Therefore those upgrades satisfied the building officials then that substantially conformed with the 2001 CBC. The foundation appears to be in good condition. Settlement was not observed. *It is unlikely these footing meet the requirements of the 2013 CBC but considering the small size of the structure and that it does not support an upper floor, no additional foundation work is recommended.*

#### Floor Framing

The wood frame platforms built in 2004 and 5 under the 2001 CBC probably almost match the vertical loading standards of the 2013 CBC. Hold downs running through platforms and other connections to shear walls are probably not up to current standards for lateral load resistance, but they are close. Considering the size and configuration of this structure and the short spans, it is not recommended that any change be made to the floor framing built in 2004 and 5. However, the platform under the dining room, kitchen and family room is approximately 2"x6" floor joists at 16" o.c. built about 1930. It spans 13 feet over most of that area and does not conform with the 2013 CBC. Blocking and connectors were added in 2004 and 5 around the perimeter of the platform and floor- wall connections were brought up to code in 2004 and 5. Those connections are therefore very close to meeting the standards of the 2013 CBC. The undersized platform does not present a significant life safety risk but may deflect under dynamic loads like dancing. *If, in the opinion of the building official reviewing this report, this condition is unacceptable then it can be addressed with a 4x6 girder and 3 equally spaced concrete pier blocks down the center of the 13' span.*

#### Slabs

Slabs on grade for the patio, carport and garage were poured in 2004 and 2005 under the direction of a geotechnical engineer. *Therefore these slabs conform with the requirements of the 2001 CBC and are very close to meeting the 2013 CBC standards. Similar to the new foundation concrete, no improvement is recommended.*

### **Wall Framing**

Existing and new walls were framed with 2 x 4's. Existing walls were improved to meet the standards of the structural engineer and the building department. *This framing system conforms with the requirements of the 2001 CBC. However, it does not meet the standards of the 2013 CBC for lateral resistance. Without performing any structural calculations, considering the size of the structure is relatively small, I believe the lateral resistance is substantially conforming and does not pose a significant life safety risk. Therefore no upgrades are recommended.*

### **Ceiling Framing**

All ceiling framing was part of the 2004 and 2005 construction *conforming with the 2001 CBC* and are very close to meeting the 2013 CBC standards. *No improvement is recommended.*

### **Roof framing**

*All the roof framing was built in 2004 and 5 and meets the requirements of the 2001 CBC and almost matches the vertical loading standards of the 2013 CBC. Lateral connectors from the roof framing to the wall framing and other connections to shear walls are probably not up to current standards for lateral load resistance, but they are close. Considering the size and configuration of this structure and the short spans, it is not recommended that any change be made to the roof framing.*

### **Architectural Life Safety**

*The house substantially conforms with the 2001 CBC for all architectural conditions. The following is a list of recommended changes based on non conformity with the 2013 CBC:*

**Combined smoke/CO2 detectors must be added to the bedrooms, living room, family room (as passages), hallway and the attic space.**

*Stacked washer/dryer encroaches into the required parking area in the garage.*

*The laundry sink encroaches into the required parking area in the garage.*

*Possibly raise wood siding (or lower grade) a minimum of 8" above adjacent grade on side yards.*

Note: all windows meet egress requirements.

### **Energy Considerations (this section does not address life safety issues)**

The house meets the requirements of the 2001 CBC and title 24 for energy conservation. Field observation suggests the building does not meet the requirements of 2013 title 24 or Cal Green for a new residence.

*Consider updating lighting in the kitchen and baths with LED or similar bulbs (in lieu of fixtures) for all fixtures to meet high efficacy standards without separate switching.*

*Possibly provide rheostats for lighting in the living room and family room.*

Possibly insulate all exposed hot water lines and add insulation to the hot water heater.

## **Mechanical Systems**

*The lower floor is in the crawl space and the upper floor air handler is in the attic. The HVAC and ducting meet the standards of the 2001 CBC. Considering the size of the structure, replacing the system to meet the 2013 CBC is not recommended.*

*The AC condenser does not meet current efficiency standards or acoustical standards. Considering the small amount of conditioned space and the degree of non conformity, replacing the AC condenser is not recommended*

Possibly replace wall thermostat with digital setback or programmable type.

## **Electrical Systems**

*The entire system was installed in 2004 and 2005 and therefore meets the standards of the 2001 CBC in effect at the time.*

The main electrical service for the house is an overhead from a power pole in the front. The weather head is shared by both units into separate meter panels on the outside of 672.

*The subpanel upstairs does not quite have 36" clear in front. Clear all storage near the panel.*

**Verify AFCI receptacles at all outlets.**

**Verify GFCI receptacles for all outlets in the kitchen, bathrooms and outdoors.**

## **Plumbing Systems**

*The entire system was installed in 2004 and 2005 and therefore meets the standards of the 2001 CBC in effect at the time.*

*Insulate for electrolysis where copper lines are resting on dissimilar metal in the garage and for outside hose bibbs.*

*Provide waste line strapping in the garage.*

*Possibly raise the electric water heater off the floor for a drain access.*

*Verify backflow prevention device to irrigation lines and all hose bibbs. Verify PVC irrigation lines rather than galvanized. Verify sprinkler heads aim away from the house.*

*Consider strapping all waste and vent piping in the crawl space to the floor platform every 4'.*

*Consider covering all exposed PVC and ABS lines for fire prevention.*

*Possibly add a low flow faucets and heads in the baths and showers. (This is not a life safety issue)*

JUN 13 2016

**Building Code Review Requirements for 672 Partridge Ave:**CITY OF MENLO PARK  
BUILDING

- 1) *Smoke detectors are required to be installed per section R314 of the 2013 California Residential Code (CRC)*  
• **Verified existing.**
- 2) *Carbon monoxide detectors shall be installed per section R315.2 of the 2013 CRC.*  
• **Verified existing.**
- 3) *All landings at doors shall meet the requirements of R311 of the 2013 CRC.*  
• **Verified existing.**
- 4) *All existing glazing in hazardous locations as defined in and specified in section R308 of the 2013 CRC that is not safety glazing shall be replaced with safety glazing.*  
• **Verified existing.**
- 5) *The dead bolts at the front and rear doors shall be replaced with dead bolts that have a thumb turn on the inside per section R311.2 of the 2013 CRC.*  
• **Verified existing.**
- 6) *Exposed rafter tails and eave on the kitchen/living room side shall be made to comply with Table R302.1(1) of the 2013 CRC.*  
• **Verified existing.**
- 7) *At least one window in the bedrooms shall meet the requirements of R310.1 of the 2013 CRC.*  
• **Verified existing.**

**Electric Code Review Requirements for 672 Partridge Ave.:**

- 1) *The main panel is to be grounded to a ground rod and the water main within the first five feet of where it enters the building per Article 250-111 of the 2013 California Electrical Code (CEC)*  
• **Verified existing.**
- 2) *The metal water piping system and other metal piping shall be bonded per Article 250.104 of the 2013 CEC.*  
• **Verified existing.**
- 3) *All outlets are to be grounded per Article 250 of the 2013 CEC.*  
• **Verified existing.**
- 4) *All outlets are to be arc-fault protected where required by per Article 210.12 of the 2013 CEC.*  
• **Verified existing.**
- 5) *All exterior outlets are to be GFCI protected and have an approved weather proof cover per Article 210.8 of the 2013 CEC.*  
• **Verified existing.**
- 6) *Recessed lighting at insulated ceilings shall be IC rated and air-tight per Article 410-XI of the 2013 CEC.*  
• **Verified existing.**
- 7) *A dedicated circuit for a dishwasher is required per Article 210 of the 2013 CEC.*  
• **Verified existing.**
- 8) *A dedicated circuit for a disposal is required per Article 210 of the 2013 CEC.*  
• **Verified existing.**
- 9) *A dedicated circuit for a microwave, if built-in, is required per Article 210 of the 2013 CEC.*  
• **Verified existing.**
- 10) *At least two 20 amp dedicated small appliance circuits for the outlets serving the countertop surfaces are required per Article 210 of the 2013 CEC.*  
• **Verified existing.**

- 11) All outlets serving countertop surfaces are to be GFIC protected per Article 210.8 of the 2013 CEC. Required outlets serving wet bar sinks are to be GFIC protected within 6 feet of the outer edge of the sink.
  - **Verified existing.**
- 12) Outlets are required at all countertops 12" or wider and are to be placed such that no point along the wall is more than 24" away from an outlet per Article 210-111 of the 2013 CEC.
  - **Verified existing.**
- 13) All knob and tube wiring that is exposed when walls are opened must be removed back to the attic or under floor accessible spaces and spliced in a junction box with romex, or other approved wiring method, to be run back to the original location. Knob and tube boxes must be replaced to accommodate new wiring type. If removal of wiring would necessitate opening of additional walls not in the scope of the work, and the wiring is in sound condition, then it may remain.
  - **Verified existing.**
- 14) At least one 20-amp branch circuit shall be provided to supply the bathroom receptacle outlet(s) per Article 210 of the 2013 CEC. Outlets for other equipment within the same bathroom shall be permitted to be supplied from the 20-amp branch circuit when the circuit supplies a single bathroom.
  - **Verified existing.**
- 15) At least one wall receptacle outlet shall be installed within 3 feet of the edge and adjacent to each basin location and shall be GFIC protected per Article 213.8 and 210-111 of the 2013 CEC. The outlet shall not be installed in a face up position.
  - **Verified existing.**

#### **Plumbing Code Review Requirements for 672 Partridge Ave.:**

- 1) A separate water meter is required for each unit.
  - **Verified existing.**
- 2) All gas pipes shall be pressure tested and is to meet the requirements of section 1214.3 of the 2013 California Plumbing Code (CPC).
  - **Verified existing.**
- 3) All of the existing gas piping shall be supported per section 314.7 of the 2007 CPC.
  - **Verified existing.**
- 4) All existing gas piping under ground shall be located. If the current location is in violation of section 1211.1 of the 2013 CPC it shall be abandoned and replaced with new gas piping installed to the requirements of Chapter 12 of the 2013 CPC.
  - **Verified existing.**
- 5) Combustion air for the existing water heater shall be provided to meet Section 507 of the 2010 CPC.
  - **Verified existing.**
- 6) The Temperature and pressure relief on the existing water heater shall discharge to the outside per section 608.5 of the 2013 CPC.
  - **Verified existing.**

**Mechanical Code Review Requirements for 672 Partridge Ave.:**

- 1) *All kitchen range hood exhaust ducts shall terminate per section 504.5 of the 2013 California Mechanical Code.(CMC)*
  - **Verified existing.**
- 2) *All gas appliance venting shall meet the requirements of Chapter 8 of the 2013 CMC.*
  - **Verified existing.**
- 3) *The bathroom exhaust fan shall discharge to the exterior of the building and shall terminate per section 504.5 of the 2013 CMC.*
  - **Verified existing.**
- 4) *All dryer vents to terminate outside and are to be equipped with a back draft damper per section 504.3 of the 2013 CMC.*
  - **Verified existing.**



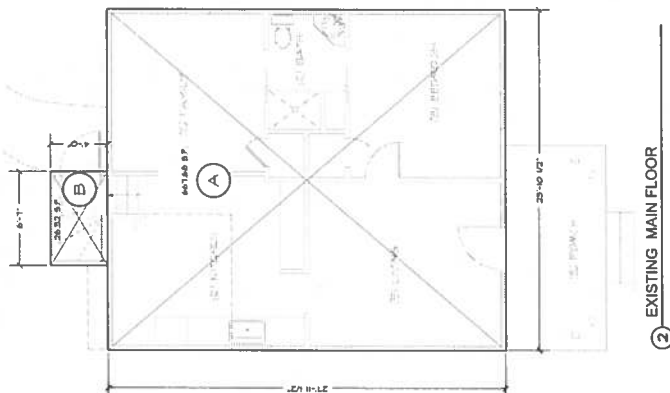
**EXISTING BASEMENT**

CITY OF MENLO PARK  
BUILDING

EXISTING DEVELOPMENT			
EXISTING MAIN FLOOR			
	L	W	AREA [SQ. FT.]
A	27.95	23.88	667.68
B	6.58	4.00	26.32
TOTAL			694.00

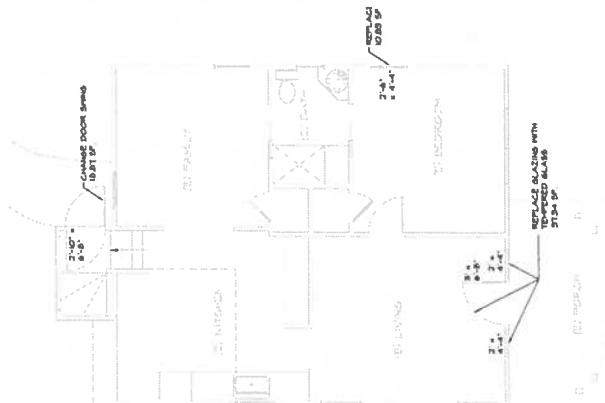
EXISTING BASEMENT			
C	10.10	9.50	95.95
TOTAL			95.95



EXISTING MAIN FLOOR



## EXISTING BASEMENT PLAN



PROPOSED MAIN EICOR

[illegible]



## STAFF REPORT

### Planning Commission

**Meeting Date:** 7/11/2016

**Staff Report Number:** 16-056-PC

**Public Hearing:** Use Permit/Facebook, Inc./200 Jefferson Drive

### Recommendation

Staff recommends that the Planning Commission approve a use permit request for a temporary mobile kitchen for only food preparation that would be located within the parking lot, for a maximum of one year from date of installation, adjacent to the existing office building at 200 Jefferson Drive, located in the M-2(X) (General Industrial, Conditional Development) zoning district. The proposed mobile kitchen would temporarily displace eight parking spaces. The recommended actions are located in Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The project site contains three multi-story office buildings of approximately 210,000 square feet, located at 180-200 Jefferson Drive. The site has frontages along Jefferson Drive and Chilco Street. The site was developed through a conditional development permit (CDP), which was approved in 1996. Facebook recently leased the buildings and is in the process of conducting tenant improvements. The subject buildings will be referred to as Buildings 24-26 under Facebook's Campus number system.

The immediately adjacent parcels are also part of the M-2 or M-2(X) zoning districts, and are occupied by a variety of warehouse, light manufacturing, research and development (R&D), and office uses. The parcels to the north/northwest are occupied by office, R&D, and general industrial uses on smaller parcels. To the southwest of the site is the Commonwealth Corporate Center project at 151 Commonwealth Drive. The site is under construction and would be occupied by general offices. Kelly Park and the Community Center and Senior Center complex are located south of the site, separated by the Dumbarton Rail Corridor. The Belle Haven neighborhood is also located south of the project site. Across Chilco Street to the east is the Facebook Campus Expansion Project at the former TE Connectivity Campus, which is a proposed expansion of Facebook's existing West Campus (Building 20). Facebook's Building 23 (formerly 300 Constitution Drive) is also located on the TE Campus site, directly across Chilco Street. A location map is included in Attachment B.

## **Analysis**

### ***Project description***

The applicant is requesting a use permit to temporarily locate a mobile kitchen facility within the existing parking lot. The mobile kitchen would be a prefabricated building of approximately 1,840 square feet that would be located to the east of the entrance to the building addressed 200 Jefferson Drive. Facebook is expanding to the site and is not scheduled to have access to the main cafeteria in the 180 Jefferson Drive until early 2017. At this time, Facebook has access to the 190 and 200 Jefferson Drive buildings and has begun tenant improvements, with the goal of occupying the buildings in August 2016.

The modular kitchen facility would be used for food preparation only, with dining facilities located within the building and in existing outdoor seating areas. The project site is currently developed at the maximum floor area ratio (FAR). The modular kitchen is comparable to a construction trailer in that it is temporary to provide services that cannot be provided while the site undergoes tenant improvements. The mobile kitchen would be on-site only until the cafeteria is under control of Facebook and any tenant improvements are completed. Facebook would remove the temporary mobile kitchen once the cafeteria is operational. Therefore, the facility would not permanently increase gross floor area at the site. Staff believes that a one year time limit (Condition 4a) would provide the necessary flexibility for the applicant to provide food services to employees during the phased tenant improvements, while ensuring that the modular kitchen is a temporary facility.

The mobile kitchen would be located partially in the parking lot and partially within an existing landscape area near the entrance to the building. The site currently contains 720 parking spaces and the mobile kitchen would temporarily displace eight parking spaces. The design of the mobile kitchen would allow for the immediate replacement of the eight parking spaces upon removal of the temporary kitchen. Staff has added project-specific condition of approval 4b requiring the previous parking to be repaired as necessary with the removal of the kitchen to maintain the 720 parking spaces on-site. Given the proximity of the site to the existing and proposed Facebook Campus, trips between the sites would likely be accommodated by walking, bicycling, or the campus shuttle (which will be expanded to serve this site). The on-site parking is anticipated to be able to accommodate employees at the site, as Facebook's Transportation Demand Management (TDM) program would be available to employees working at the site. Additionally, the proposed kitchen facility would help limit traffic and parking effects, since it would help keep employees at the site at meal times. The project plans are located in Attachment C. The applicant has submitted a project description letter that discusses the proposal in more detail (Attachment D).

### ***Correspondence***

Staff has not received any items of correspondence on the proposed project.

### ***Conclusion***

Staff believes that the proposed temporary mobile kitchen is appropriate for the site given the timeline for Facebook to move into the buildings and renovate the existing cafeteria facilities. The mobile kitchen would allow Facebook to continue to offer its standard amenities to employees while expanding within Menlo Park. The mobile kitchen would be limited to one-year in duration. While eight parking spaces would be temporarily unusable, the remaining parking on-site is anticipated to accommodate employees.

Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Attachments**

- A. Recommend Actions
- B. Location Map
- C. Project Plans
- D. Project Description Letter

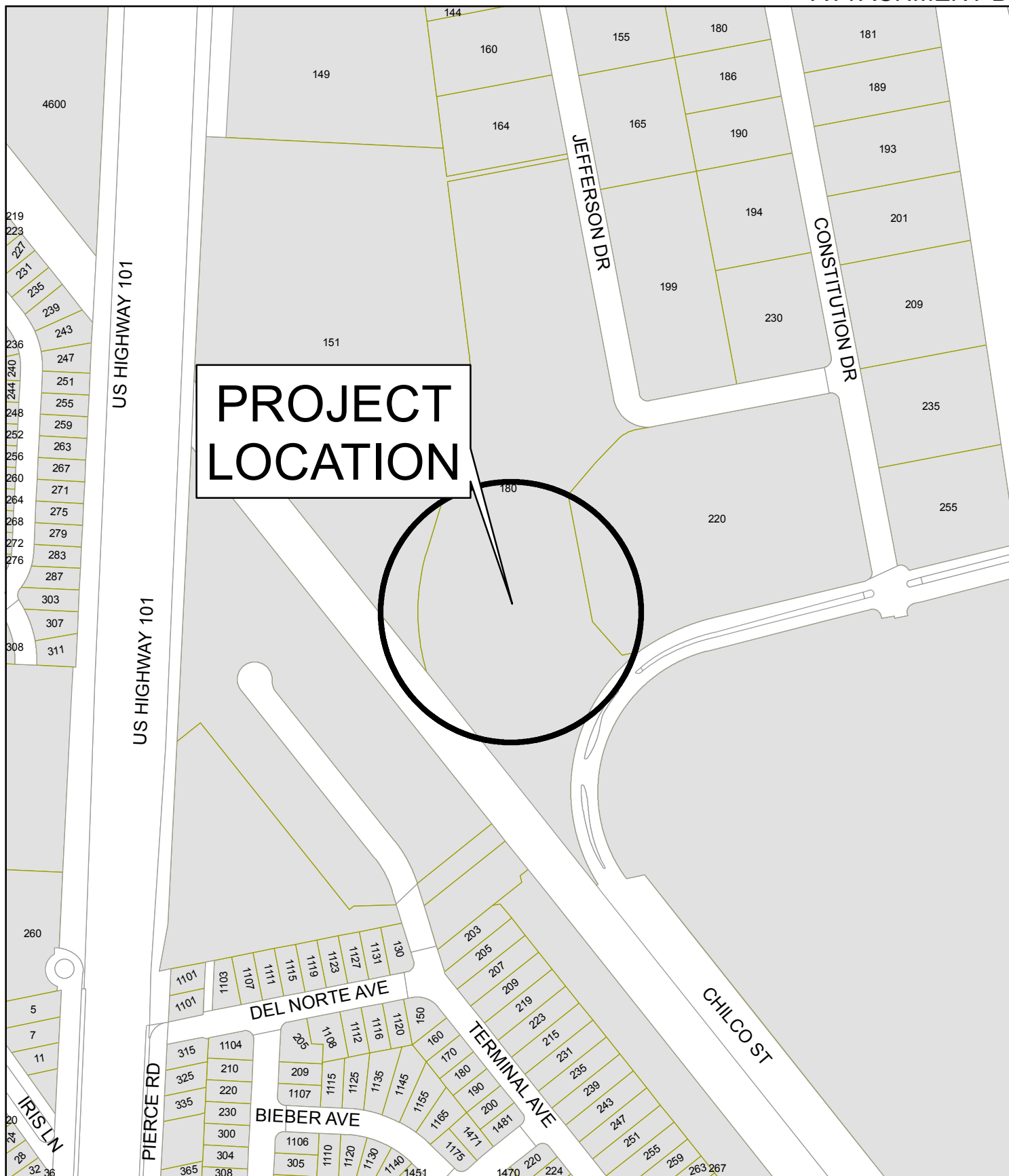
Report prepared by:  
Kyle Perata, Senior Planner

Report reviewed by:  
Thomas Rogers, Principal Planner

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## 200 Jefferson Drive – Attachment A: Recommended Actions

<b>LOCATION:</b> 200 Jefferson Drive	<b>PROJECT NUMBER:</b> PLN2016-00055	<b>APPLICANT:</b> Facebook, Inc.	<b>OWNER:</b> Jefferson Place Associates LP
<b>REQUEST:</b> Request for a use permit for a temporary mobile kitchen for only food preparation that would be located within the parking lot adjacent to the existing building at 200 Jefferson Drive, located in the M-2(X) (General Industrial, Conditional Development) zoning district. The proposed temporary kitchen would be on-site for a maximum of one year from installation. The proposed mobile kitchen would temporarily displace eight parking spaces.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> July 11, 2016	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions: <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Gensler consisting of 13 plan sheets, dated received July 1, 2016, as well as the Project Description Letter, dated received July 11, 2016, approved by the Planning Commission on July 11, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> </ol> </li> <li>4. Approve the use permit subject to the following <b>project-specific</b> conditions: <ol style="list-style-type: none"> <li>a. The applicant shall remove the temporary mobile kitchen from the site within one year from installation, subject to review and approval of the Building and Planning Divisions.</li> <li>b. The applicant shall repair and/or restripe the eight displaced parking spaces within 30 days of removal of the temporary mobile kitchen, subject to review and approval of the Engineering, Transportation, and Planning Divisions.</li> </ol> </li> </ol>			



# CITY OF MENLO PARK

LOCATION MAP

200 JEFFERSON DRIVE

DRAWN: TAS CHECKED: KTP DATE: 07/11/16 SCALE: 1" = 300' SHEET: 1



# MPK 24

**Gensler**  
Architect  
2 Harrison Street  
Suite 400  
San Francisco CA 94105  
Telephone: 415.433.3700

## MPK24 MODULAR KITCHEN CHANGE OF USE

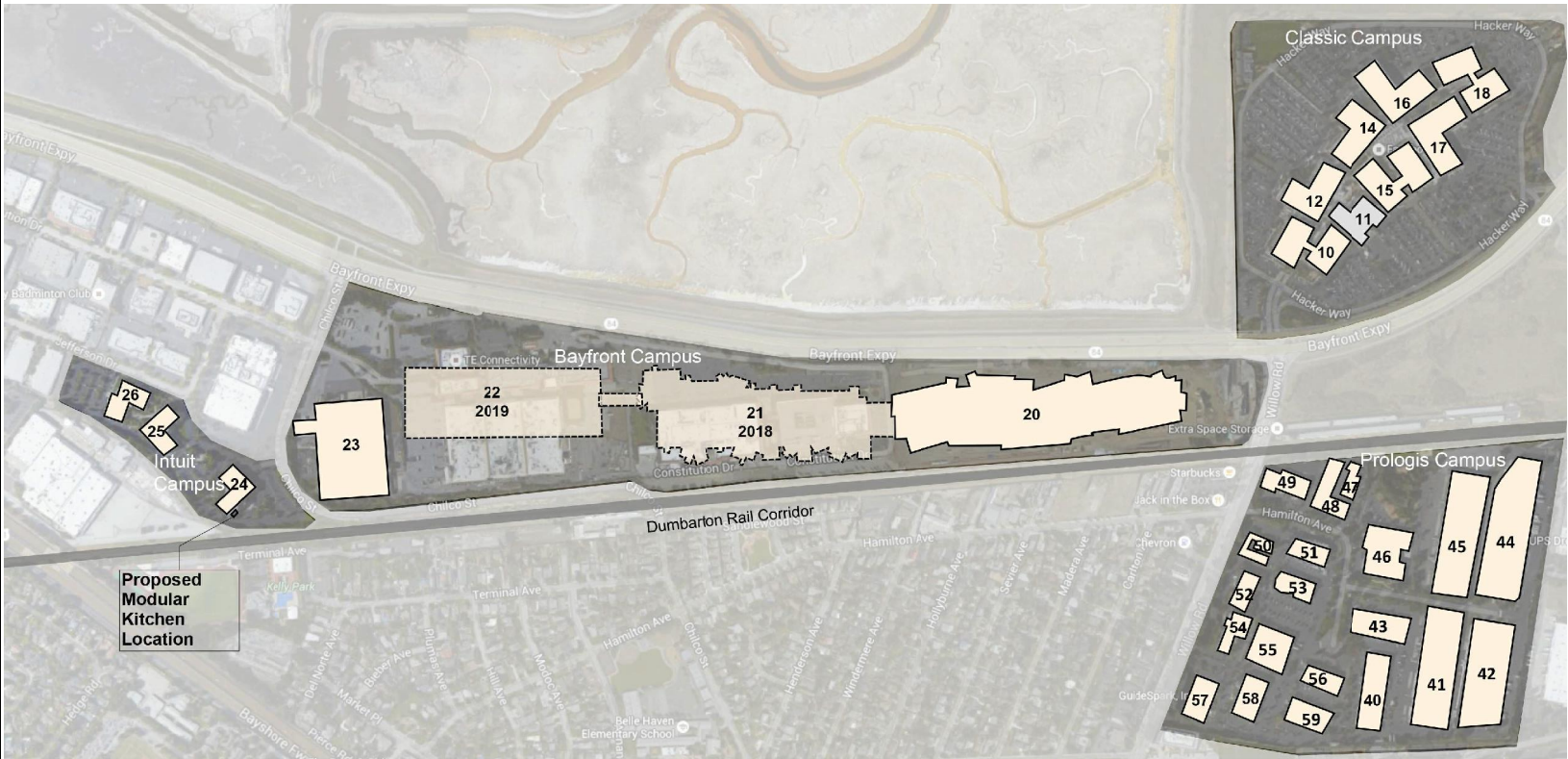
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A0.21	ALTA LAND TITLE SURVEY PAGE 2 (FOR REFERENCE ONLY)
A0.22	ALTA LAND TITLE SURVEY PAGE 3 (FOR REFERENCE ONLY)
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A0.50	SITE PLAN
A0.51	SITE PLAN ENLARGED
A2.00	FLOOR PLAN AND SQUARE FOOTAGE CALCS
A2.0R	ROOF PLAN
A6.00	BUILDING ELEVATIONS
A8.01	STREETSCAPE
A9.00	BUILDING SECTIONS

**PROJECT DESCRIPTION**

INSTALLATION OF A PREFABRICATED TEMPORARY KITCHEN STRUCTURE ADJACENT TO 200 JEFFERSON DRIVE. THE MODULAR KITCHEN WILL BE USED FOR FOOD PREPARATION TO PROVIDE FOOD SERVICE TO FACEBOOK'S EMPLOYEES IN 190 & 200 JEFFERSON.

200 JEFFERSON DRIVE  
MENLO PARK 94025



MPK 24  
200 JEFFERSON DRIVE MENLO PARK 94025

## Gensler

2 Harrison Street  
Suite 400  
San Francisco, CA 94106  
United States  
Tel 415.433.3700

Date	Description
07.16	CHANGE OF USE REVISION

Seal/Signature

Project Name  
INSTAGRAM

Project Number  
01.9981.000

Description  
AREA PLAN - FACEBOOK MENLO PARK

Scale  
NTS

A0.10

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MPK 24  
200 JEFFERSON DRIVE MENLO PARK 94025

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Suite 400  
San Francisco, CA 94106  
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6/1/16	CHANGE OF USE REVISION

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Project Number  
01.9981.000

Description  
ALTA LAND TITLE SURVEY PAGE 4  
(FOR REFERENCE ONLY)

Scale

A0.23

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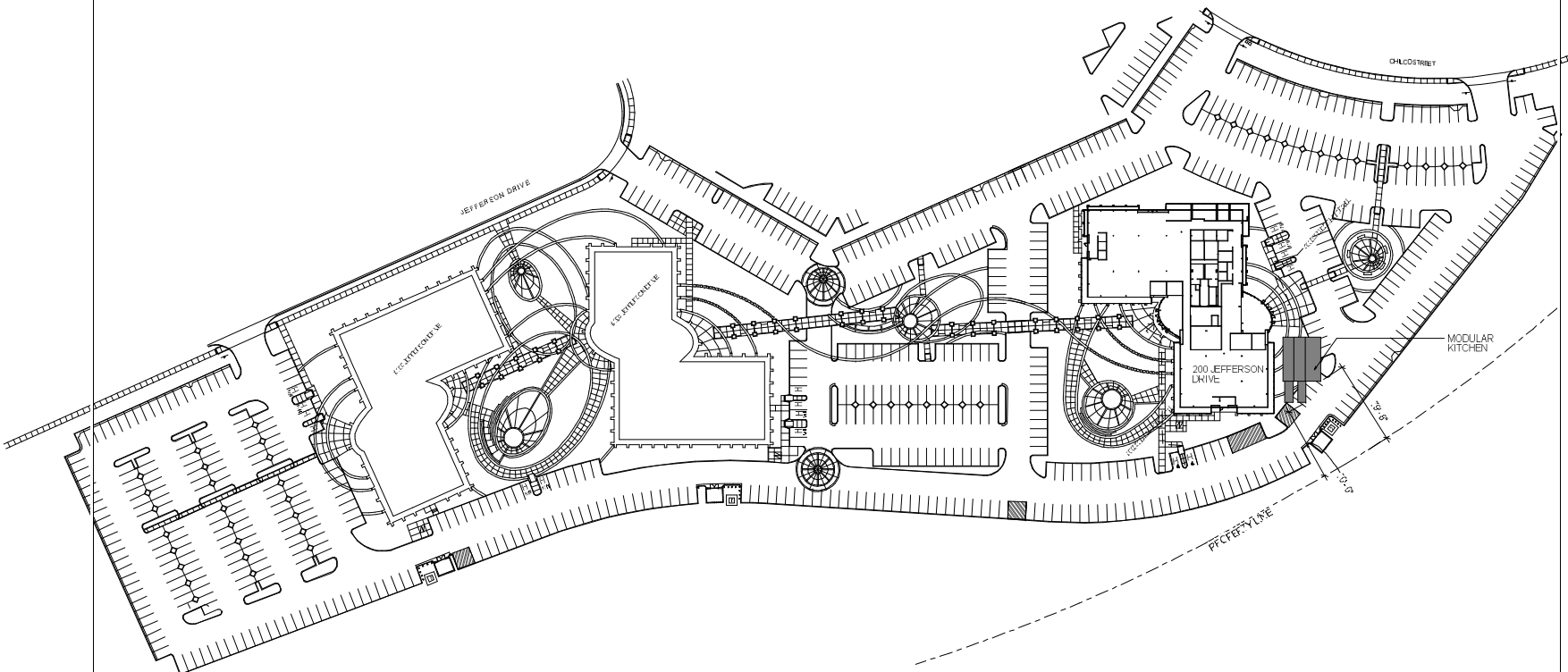
Description  
SITE PLAN

Scale  
1" = 50'-0"

0 50 100 200 400

A0.50

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1 SITE PLAN 1:50

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Tel 415 433 3700

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07.16	CHANGE OF USE REVISION

Seal/Signature

Project Name  
INSTAGRAM

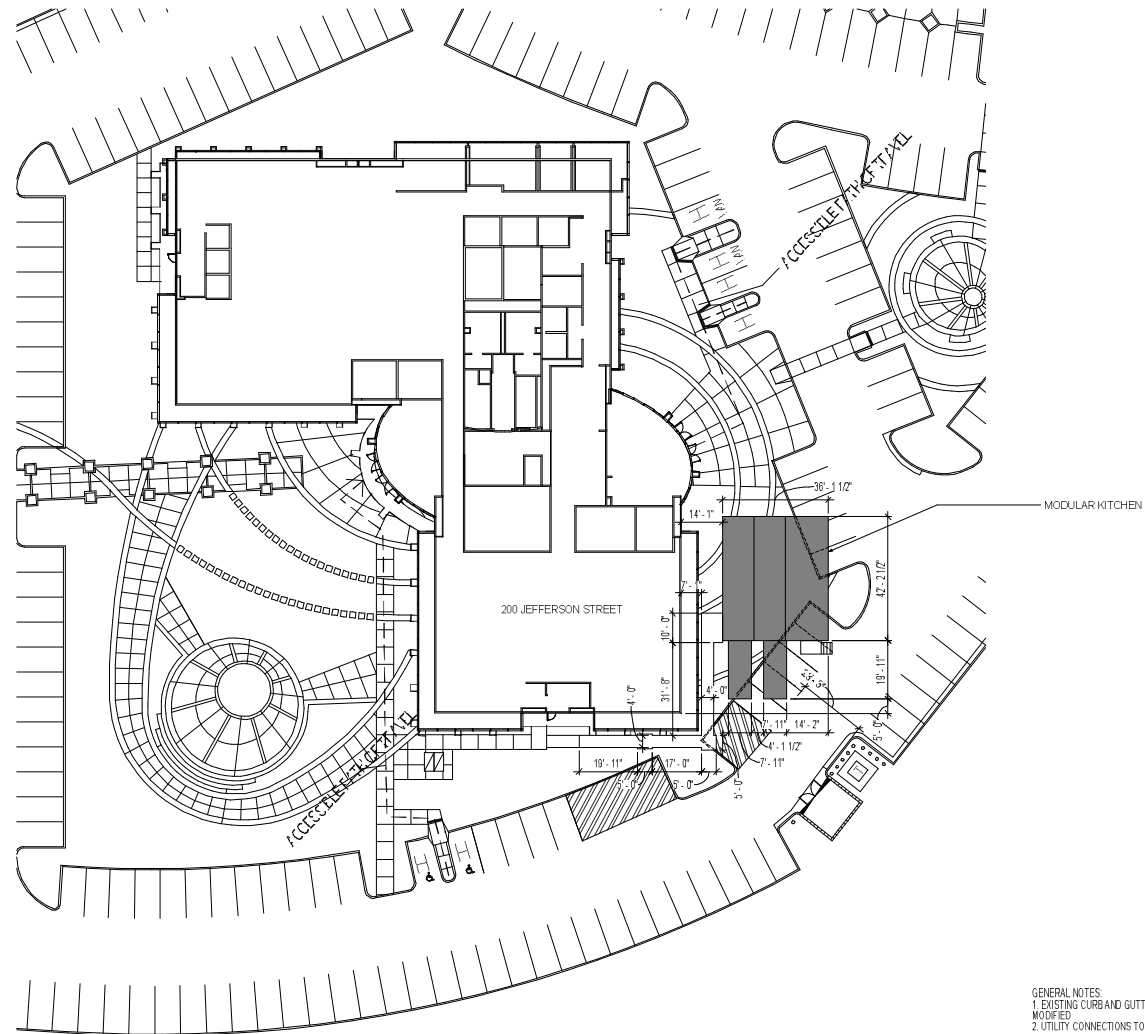
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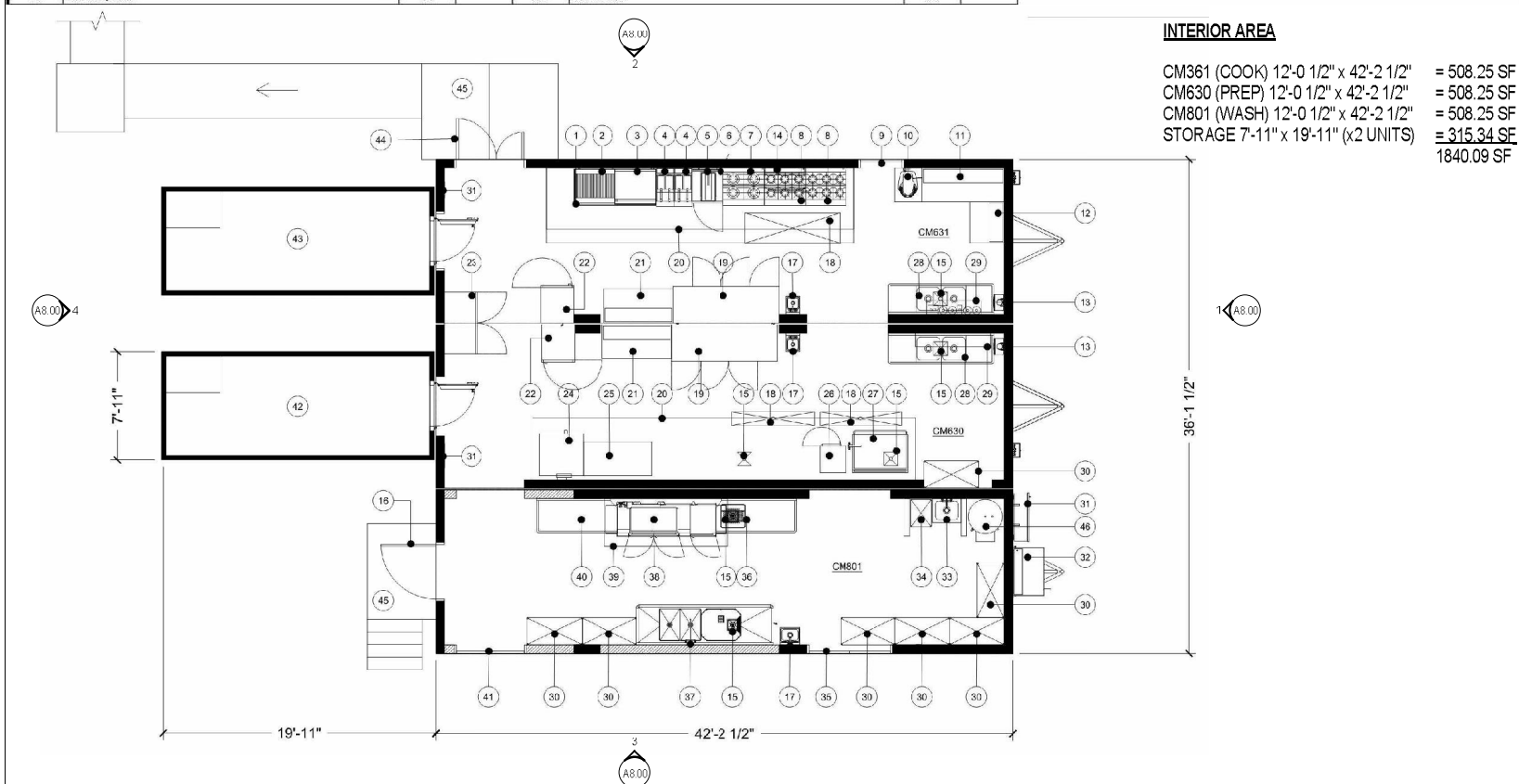
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1 SITE PLAN 1:20

EQUIPMENT SCHEDULE:											
CS = CLIENT SUPPLIED EQUIPMENT											
ITEM NO.	DESCRIPTION	KTG	CS	ITEM NO.	DESCRIPTION	KTG	CS	ITEM NO.	DESCRIPTION	KTG	CS
1	Chef Base	X		17	Hand Sink	X		33	Mop Sink	X	
2	Charbroiler on Chef Base	X		18	Trench Drain	X		34	24" X 18" Wire Shelving	X	
3	36" Griddle on Chef Base	X		19	Work Top Refrigerator	X		35	72" Double Door Closed & Locked	X	
4	Fryer	X		20	Stainless Steel Canopy Hood	X		36	Solid Dish Table With Pre-Rinse Sink - 72"	X	
5	Fry Dump	X		21	60" Stainless Steel Work Table W/ Overshelf	X		37	Three Compartment Power Wash Aquascrubber Sink	X	
6	Work Top Freezer	X		22	Hot Holding Cabinet	X		38	Dishmachine - 86" Rack Conveyor	X	
7	Oven Range - 4 Burners	X		23	Reach-In Refrigerator - 2 Door	X		39	Vapor Hood	X	
8	Oven Range - 6 Burners	X		24	Dual Stack Convection Oven	X		40	Clean Dish Table - 72"	X	
9	36" Door Locked And Closed	X		25	60" Stainless Steel Work Table	X		41	60" Double Door Closed & Locked	X	
10	20 Qt. Mixer on Stand	X		26	Double Stack Steamer	X		42	Dry Storage Unit	X	
11	72" Stainless Steel Work Table W/ Overshelf	X		27	Tilt Skillet - 40 Gal.	X		43	Walk-In Cooler	X	
12	36" Stainless Steel Work Table W/ Overshelf	X		28	Two Compartment Sink	X		44	60" Double Entry Door (24"/36")	X	
13	Tankless Water Heater	X		29	Fire Suppression System	X		45	Ramp/Platform/Stairs	X	
14	Salamander Broiler	X		30	24" X 48" Wire Shelving	X		46	Water Heater	X	
15	Floor Sink	X		31	Electrical Panel	X					
16	48" Entry Door	X		32	HVAC Unit	X					



1 FLOOR PLAN

MPK 24  
200 JEFFERSON DRIVE MENLO PARK 94025

**Gensler**  
2 Harrison Street  
Suite 400  
San Francisco, CA 94106  
United States  
Tel 415.433.3700

Date	Description
07.16	CHANGE OF USE REVISION

Seal/Signature

Project Name  
INSTAGRAM

Project Number  
01.9981.000

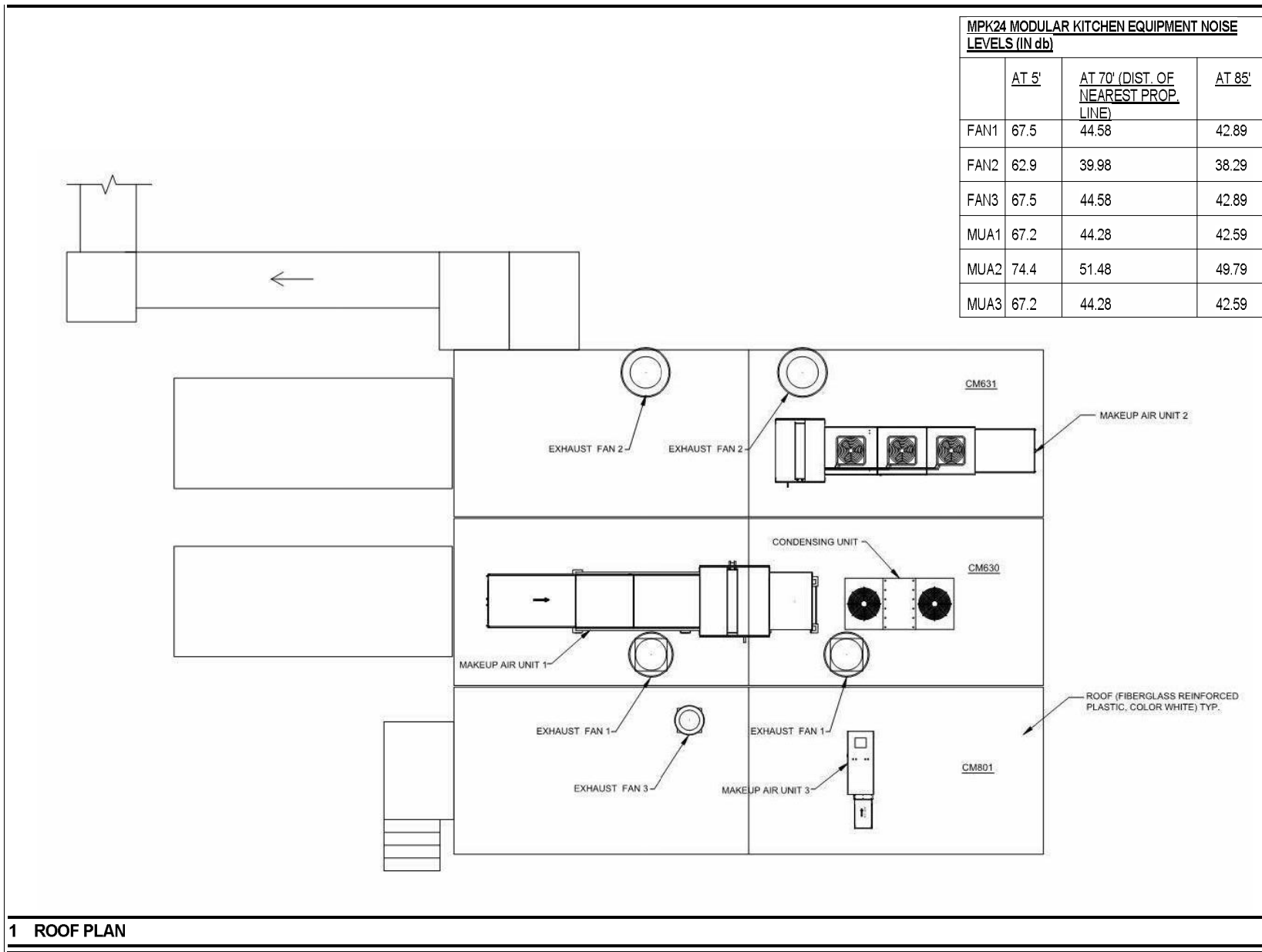
Description  
FLOOR PLAN & SQUARE  
FOOTAGE CALCS

Scale



A2.00

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MPK24 MODULAR KITCHEN EQUIPMENT NOISE LEVELS (IN db)			
	AT 5'	AT 70' (DIST. OF NEAREST PROP. LINE)	AT 85'
FAN1	67.5	44.58	42.89
FAN2	62.9	39.98	38.29
FAN3	67.5	44.58	42.89
MUA1	67.2	44.28	42.59
MUA2	74.4	51.48	49.79
MUA3	67.2	44.28	42.59

MPK 24  
200 JEFFERSON DRIVE MENLO PARK 94025

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2 Harrison Street  
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San Francisco, CA 94106  
United States  
Tel 415 433 3700

Date	Description
01.16	CHANGE OF USE REVISION

Seal/Signature

Project Name  
INSTAGRAM

Project Number  
01.9981.000

Description  
ROOF PLAN

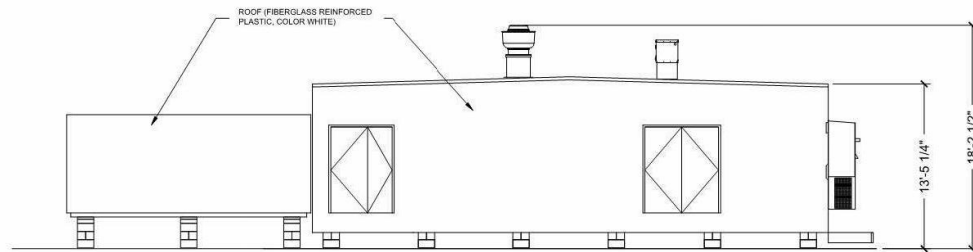
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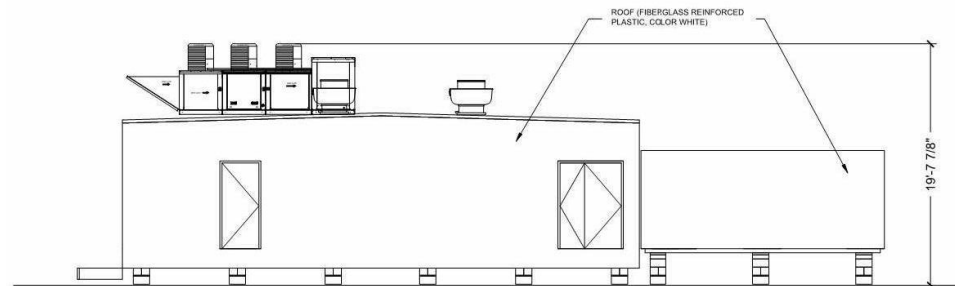
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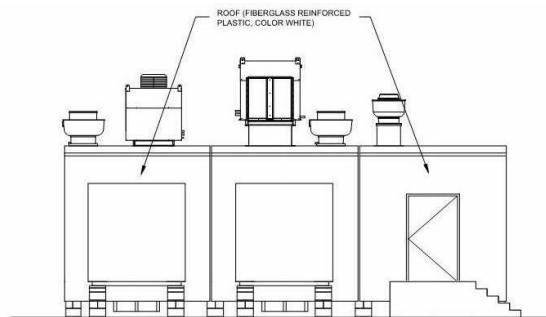
1 ROOF PLAN



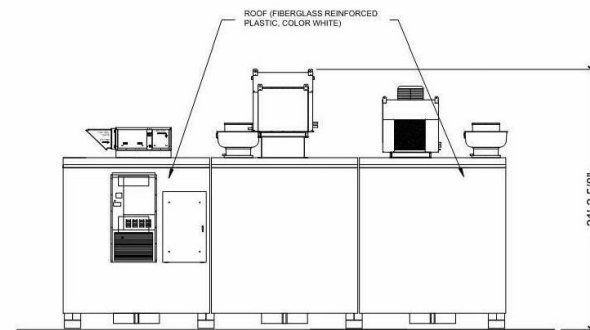
**3 EAST ELEVATION**



**2 WEST ELEVATION**



**4 SOUTH ELEVATION**



**1 NORTH ELEVATION**

MPK 24  
200 JEFFERSON DRIVE MENLO PARK 94025

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Seal/Signature

Project Name  
INSTAGRAM

Project Number  
01.9981.000

Description  
BUILDING ELEVATIONS

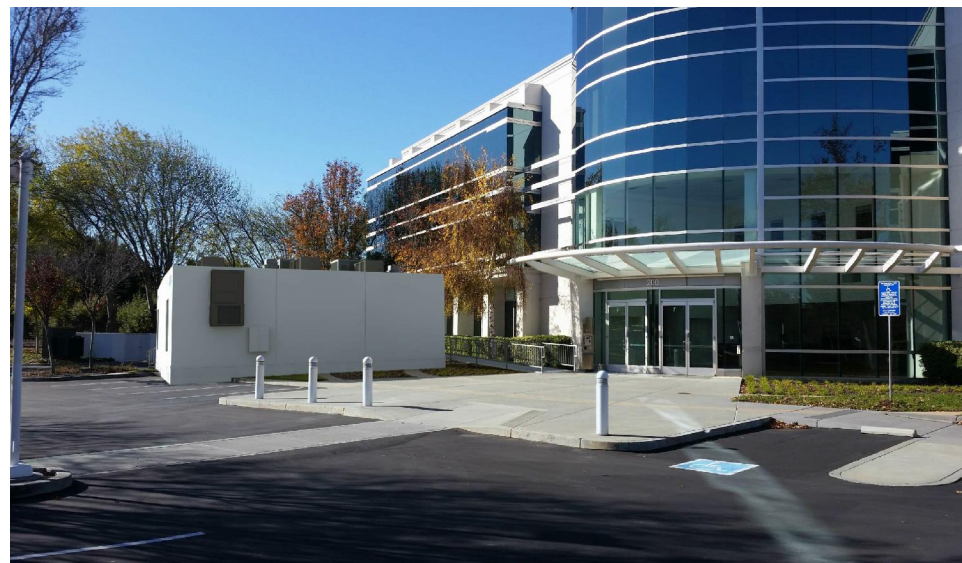
Scale  
0 4 8

**A8.00**

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BUILDING CONTEXT RENDERING 1



BUILDING CONTEXT RENDERING 2

MPK 24  
200 JEFFERSON DRIVE MENLO PARK 94025

## Gensler

2 Harrison Street  
Suite 400  
San Francisco, CA 94106  
United States  
Tel 415 423.3700

△ Date	Description
01/16	CHANGE OF USE REVISION

Seal/Signature

Project Name  
INSTAGRAM

Project Number  
01.9981.000

Description  
STREETSCAPE

Scale

A8.01

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MPK 24  
200 JEFFERSON DRIVE MENLO PARK 94025

Gensler

2 Harrison Street  
Suite 400  
San Francisco, CA 94106  
United States  
Tel 415.423.2700

Date	Description
01/16	CHANGE OF USE REVISION

Seal Signature

Project Name  
INSTAGRAM

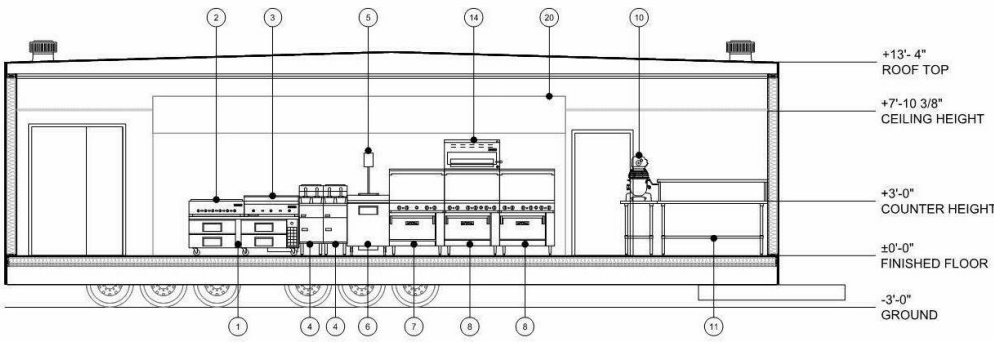
Project Number  
01.9981.000

Description  
BUILDING SECTIONS

Scale  
0 4 8

A9.00

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1 BUILDING SECTION

July 1, 2016

City of Menlo Park

701 Laurel Street

Menlo Park, CA 94025

Attn: Kyle Perata, Senior Planner

RE: Change of Use – modular kitchen at 200 Jefferson Drive

Dear Mr. Perata:

As you know, Facebook is leasing 3 office buildings at 180, 190 & 200 Jefferson Drive. Facebook currently has possession of 200 & 190 Jefferson and will be occupying these buildings in August 2016. Facebook will receive possession of 180 Jefferson in November 2016. As the main café/food service area is in 180 Jefferson, Facebook is proposing to temporarily install a 1840 sf modular kitchen on the site outside of 200 Jefferson to temporarily provide food service for employees in 200 & 190 Jefferson until 180 Jefferson can be renovated and occupied (currently scheduled for February 2017). The modular kitchen will be used for food preparation only, not dining; food will be served in designated dining areas within 200 & 190 Jefferson.

We are requesting permission to place the kitchen on the site as a temporary situation between August 2016 and February 2017. After this, the modular kitchen will be removed from the site. Installation and removal of the kitchen will each take 7-10 days to complete.

The proposed placement of the kitchen will displace 8 parking spaces. The current parking requirement for the site is 700, however currently there are 720 spaces existing, so the site will still be compliant in this regard, even with the temporary displacement caused by the installation of the modular kitchen.

Hours of operation for the kitchen will be Monday-Friday between 5:00 a.m. and 8:00 p.m. to accommodate breakfast, lunch and dinner service. The kitchen will not operate on weekends.

The plan set shows all equipment integral to the modular kitchen, along with noise levels of each (individual equipment cutsheets are attached). All of these items have a noise level under 50 dB at 70 feet (which is the approximate distance from the kitchen to the nearest property line of the site) except for the make up air unit MUA-2 which has a noise level of 51.48 at 70 feet. This unit's noise level falls under 50 dB at 85 feet, which is still well away from any nearby residential property, putting it in compliance with Menlo Park's noise ordinance. It's worth noting that the manufacturer calculates the noise level of an exposed fan motor, however all of the motors to be installed will be housed in a casing which will further dampen their noise level.

Please let me know if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Danielle Douthett', with a stylized flourish at the end.

Danielle Douthett

Senior Project Manager



## STAFF REPORT

### Planning Commission

**Meeting Date:**

**7/11/2016**

**Staff Report Number:**

**16-057-PC**

**Public Hearing:**

**Use Permit/GRAIL, Inc./1525 O'Brien Drive**

### Recommendation

Staff recommends that the Planning Commission approve a use permit for the storage and use of hazardous materials associated with the research and development of biotechnology for the detection of cancer, in an existing building in the M-2 (General Industrial) zoning district at 1525 O'Brien Drive. Additionally, some hazardous waste would be stored outside the facility in an existing steel chemical storage unit that was also used by the previous tenant. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The project site is an existing office and research and development (R&D) building located at 1525 O'Brien Drive, northwest of the intersection of O'Brien Drive and University Avenue. The subject property is also referred to as Building 13 of the Menlo Business Park. A location map is included as Attachment B.

Adjacent parcels to the north, west, and south are also located in the M-2 zoning district, and primarily contain warehouse, light manufacturing, R&D, and office uses. The Costano School and San Francisco 49ers Academy buildings and athletic fields are located across University Avenue to the east. Single-family residences fronting onto Kavanaugh Road in the City of East Palo Alto are located directly south of the business park, approximately 400 feet from the subject building. A number of other surrounding facilities in the Menlo Business Park have previously received hazardous materials use permits, including 1490 O'Brien Drive and 1530 O'Brien Drive, adjacent to the south; 1505 O'Brien Drive, adjacent to the west; and 1555 Adams Drive, adjacent to the north; among others.

### Analysis

#### *Project description*

GRAIL, Inc. develops nucleic acid (DNA/RNA) sequencing technologies for early cancer detection. The company is moving its operations to 1525 O'Brien Drive, which will serve as its headquarters and research facility. The company currently has 55 employees and anticipates growing to as many as 280 employees within the next two years. GRAIL is planning a two-phase implementation of hazardous materials use and

storage within the existing building to give time for accreditation of the labs. Phase I is anticipated to begin in mid-September 2016, while Phase II will be implemented in early 2017. The two phases of implementation will not differ substantially in the nature or volume of hazardous materials to be used. In addition to storage within the building, the applicant is requesting to use an existing chemical storage unit located outside at the rear of the facility. The outdoor chemical storage unit was included in a use permit approval for a previous tenant who also used and stored hazardous materials as part of its operations on the site. The project plans and the applicant's project description letter are included as Attachments C and D, respectively.

### ***Proposed hazardous materials***

Proposed hazardous materials include combustibles, corrosives, flammable liquids, liquefied flammable gases, and toxic chemicals. The project plans provide the locations of chemical use and storage, as well as hazardous waste storage. In addition, the plans identify the location of safety equipment, such as emergency eyewash stations and showers, spill kits, and exit pathways. Most hazardous materials would be used and stored inside of the building, but an existing outdoor chemical storage unit at the rear of the property would also be used to store hazardous waste. The storage unit was permitted as part of a use permit for a previous tenant at the site, and is designed for the express purpose of storing hazardous materials.

The Hazardous Materials Information Form (HMIF) for the project is provided as Attachment E. The HMIF contains a description of how hazardous materials are stored and handled on-site, including the storage of hazardous materials within fire-rated storage cabinets, segregated by hazard class. The applicant indicates that the storage areas would be monitored by lab staff and weekly documented inspections would be performed. The largest waste container would be a 55-gallon container, and all liquid wastes would be secondarily contained. Licensed contractors are intended to be used to haul off and dispose of the hazardous waste. The HMIF includes a discussion of the applicant's intended training plan, which encompasses the handling of hazardous materials and waste, as well as how to respond in case of an emergency. The applicant indicates that the procedures for notifying emergency response personnel and outside agencies are kept in the site's emergency response plan. A complete list of the types of chemicals is included in Attachment F.

Staff has included recommended conditions of approval that would limit changes in the use of hazardous materials, require a new business to submit a chemical inventory to seek compliance if the existing use is discontinued, and address violations of other agencies in order to protect the health and safety of the public.

### ***Agency review***

The Menlo Park Fire Protection District, City of Menlo Park Building Division, West Bay Sanitary District, and San Mateo County Environmental Health Services Division were contacted regarding the proposed use and storage of hazardous materials on the project site. Each entity found the proposal to be in compliance with all applicable standards (Attachment G). The West Bay Sanitary District requested confirmation that it is listed as an emergency contact in the emergency response plan, as well as Silicon Valley Clean Water, in case of an accidental discharge into the sanitary sewer system. This has been included as part of Condition 4a. The County Environmental Health Services Division approval indicates that the Health Department must inspect the facility once it is in operation. Otherwise, there would be no unique requirements for the proposed use, based on the specific types and amounts of chemicals that are

proposed.

### **Correspondence**

Staff has not received any items of correspondence on the proposed project.

### **Conclusion**

Staff believes that the proposed use and quantities of hazardous materials would be compatible and consistent with other uses in this area. The HMIF and chemical inventory include a discussion of the applicant's training plan and protection measures in the event of an emergency. Relevant agencies have indicated their approval of the proposed hazardous materials uses on the property. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 1,320-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Project Plans
- D. Project Description Letter
- E. Hazardous Materials Information Form
- F. Chemical Inventory
- G. Hazardous Materials Agency Referral Forms

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City

Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

None

Report prepared by:

Tom Smith, Associate Planner

Report reviewed by:

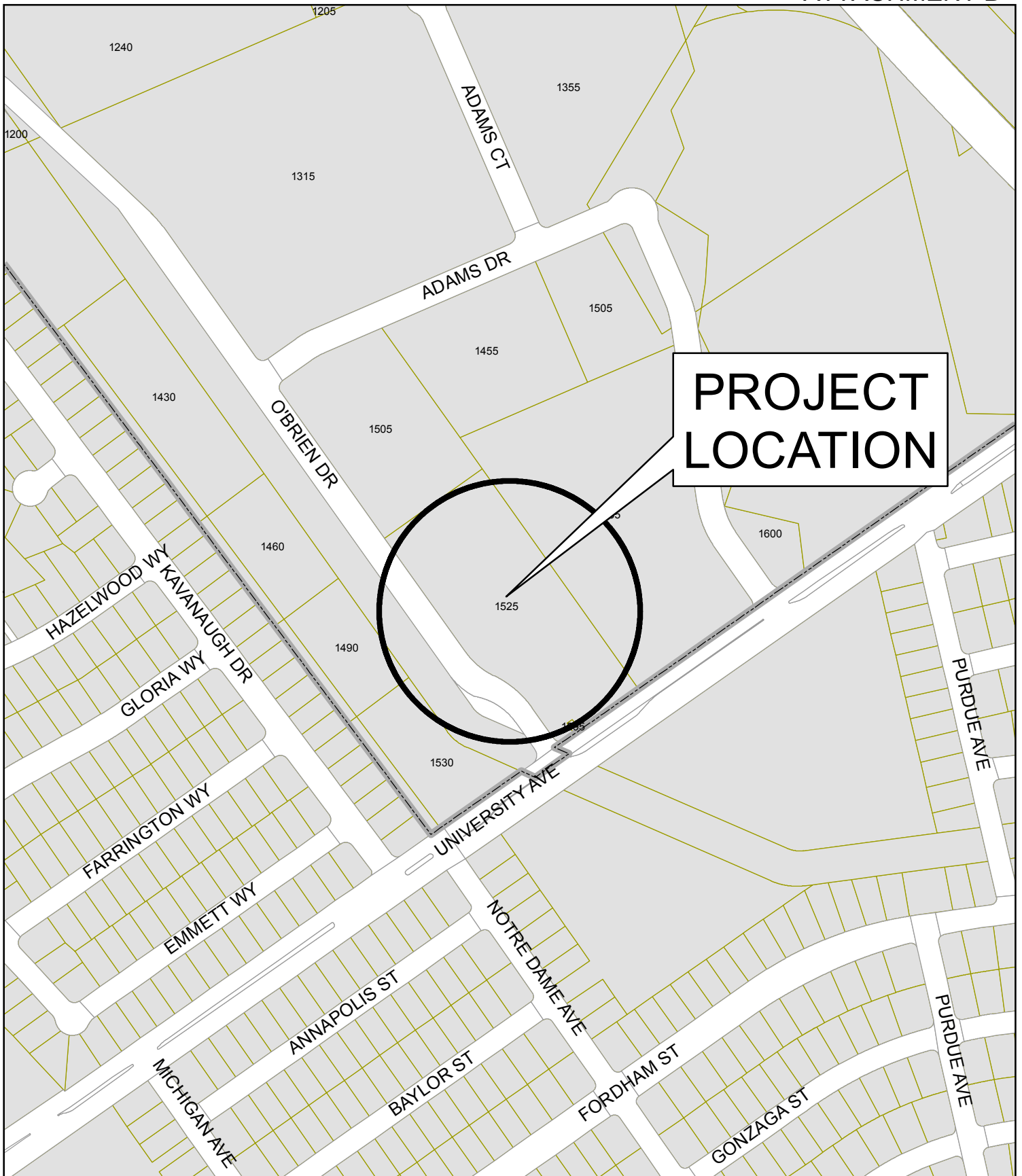
Thomas Rogers, Principal Planner

## 1525 O'Brien Drive – Attachment A: Recommended Actions

<b>LOCATION:</b> 1525 O'Brien Drive	<b>PROJECT NUMBER:</b> PLN2016-00054	<b>APPLICANT:</b> GRAIL, Inc.	<b>OWNER:</b> Menlo Business Park, LLC
<b>REQUEST:</b> Request for a use permit for the storage and use of hazardous materials associated with the research and development of biotechnology for the detection of cancer, located in an existing building in the M-2 (General Industrial) zoning district. Additionally, some hazardous waste would be stored outside the facility in an existing steel chemical storage unit that was also used by the previous tenant.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> July 11, 2015	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b> <ol style="list-style-type: none"><li>1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.</li><li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li><li>3. Approve the use permit subject to the following <b>standard</b> conditions:<ol style="list-style-type: none"><li>a. Development of the project shall be substantially in conformance with the plans provided by DES Architects/Engineers, consisting of eight plan sheets, dated received June 1, 2016, as well as the Hazardous Materials Information Form (HMIF), dated received April 18, 2016, approved by the Planning Commission on July 11, 2016 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li><li>b. Prior to building permit issuance, the applicant shall comply with all sanitary district, Menlo Park Fire Protection District, and utility companies regulations that are directly applicable to the project.</li><li>c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. If there is an increase in the quantity of hazardous materials on the project site, a change in the location of the storage of the hazardous materials, or the use of additional hazardous materials after this use permit is granted, the applicant shall apply for a revision to the use permit.</li><li>d. If there is an increase in the quantity of hazardous materials on the project site, a change in the location of the storage of the hazardous materials, or the use of additional hazardous materials after this use permit is granted, the applicant shall apply for a revision to the use permit.</li><li>e. Any citation or notification of violation by the Menlo Park Fire Protection District, San Mateo County Environmental Health Department, West Bay Sanitary District, Menlo Park Building Division or other agency having responsibility to assure public health and safety for the use of hazardous materials will be grounds for considering revocation of the use permit.</li><li>f. If the business discontinues operations at the premises, the use permit for hazardous materials shall expire unless a new business submits a new hazardous materials information form and chemical inventory to the Planning Division for review by the</li></ol></li></ol>			

1525 O'Brien Drive – Attachment A: Recommended Actions

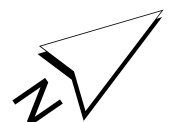
<b>LOCATION:</b> 1525 O'Brien Drive	<b>PROJECT NUMBER:</b> PLN2016-00054	<b>APPLICANT:</b> GRAIL, Inc.	<b>OWNER:</b> Menlo Business Park, LLC
<b>REQUEST:</b> Request for a use permit for the storage and use of hazardous materials associated with the research and development of biotechnology for the detection of cancer, located in an existing building in the M-2 (General Industrial) zoning district. Additionally, some hazardous waste would be stored outside the facility in an existing steel chemical storage unit that was also used by the previous tenant.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> July 11, 2015	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b>  <p>applicable agencies to determine whether the new hazardous materials information form and chemical inventory are in substantial compliance with the use permit.</p> <p>4. Approve the use permit subject to the following <i>project-specific</i> conditions:</p> <p>a. Prior to the use of hazardous materials, the applicant shall provide a copy of the emergency response plan, including the phone numbers of the West Bay Sanitary District, Silicon Valley Clean Water, and all other standard relevant agencies in the event of an accidental spill or discharge, subject to approval of Planning Division staff.</p>			

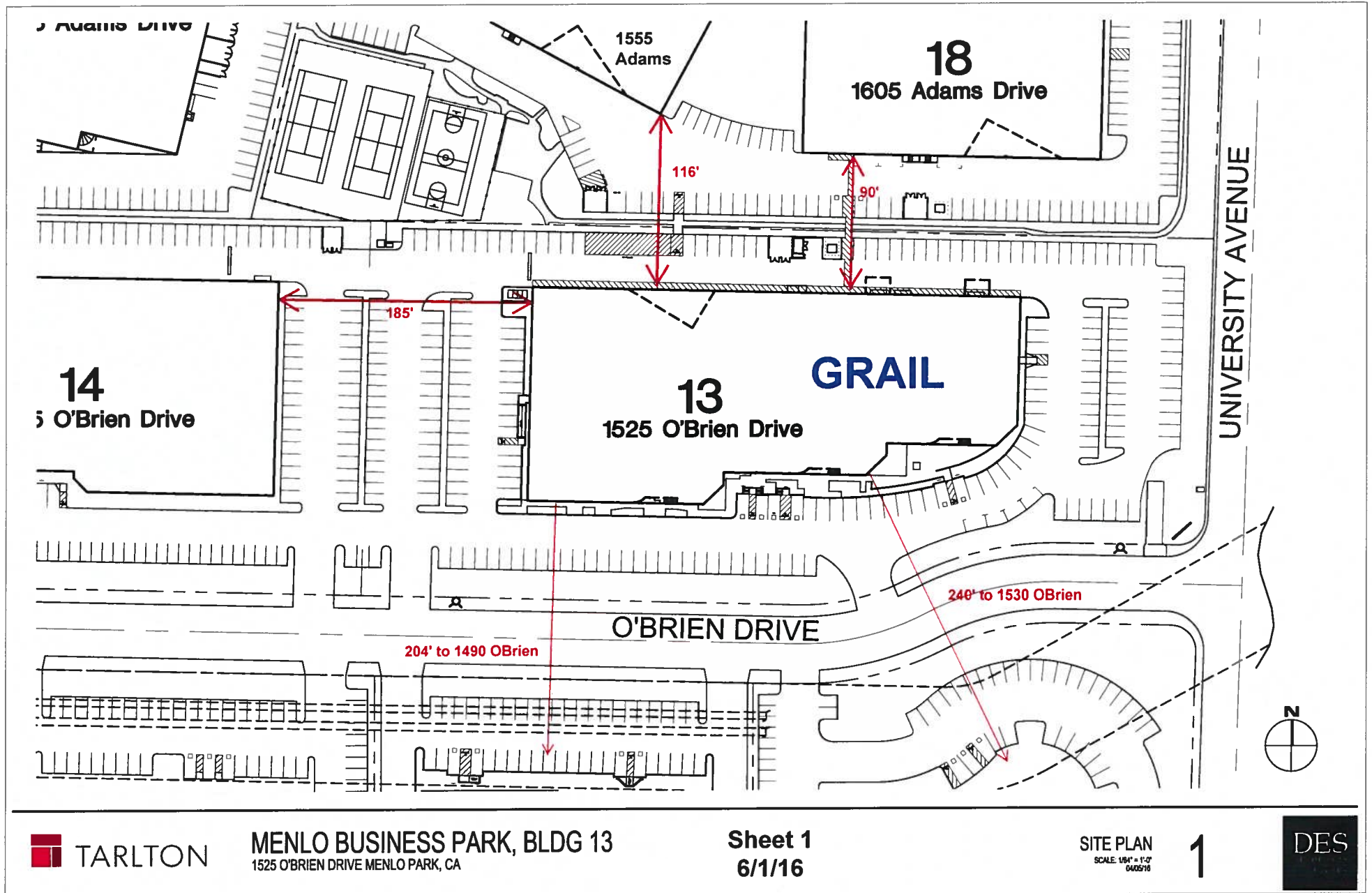


# CITY OF MENLO PARK

LOCATION MAP  
1525 O'BRIEN DRIVE

DRAWN: TAS CHECKED: THR DATE: 07/11/16 SCALE: 1" = 300' SHEET: 1





Future (Ph II) Hazardous materials  
use area

Initial (Ph I) Hazardous materials use  
area



PROGRAMMING COUNTS  
CONFERENCE RMS: 12  
BEHAVIOR DESKS: 74  
PHONE RMS: 2

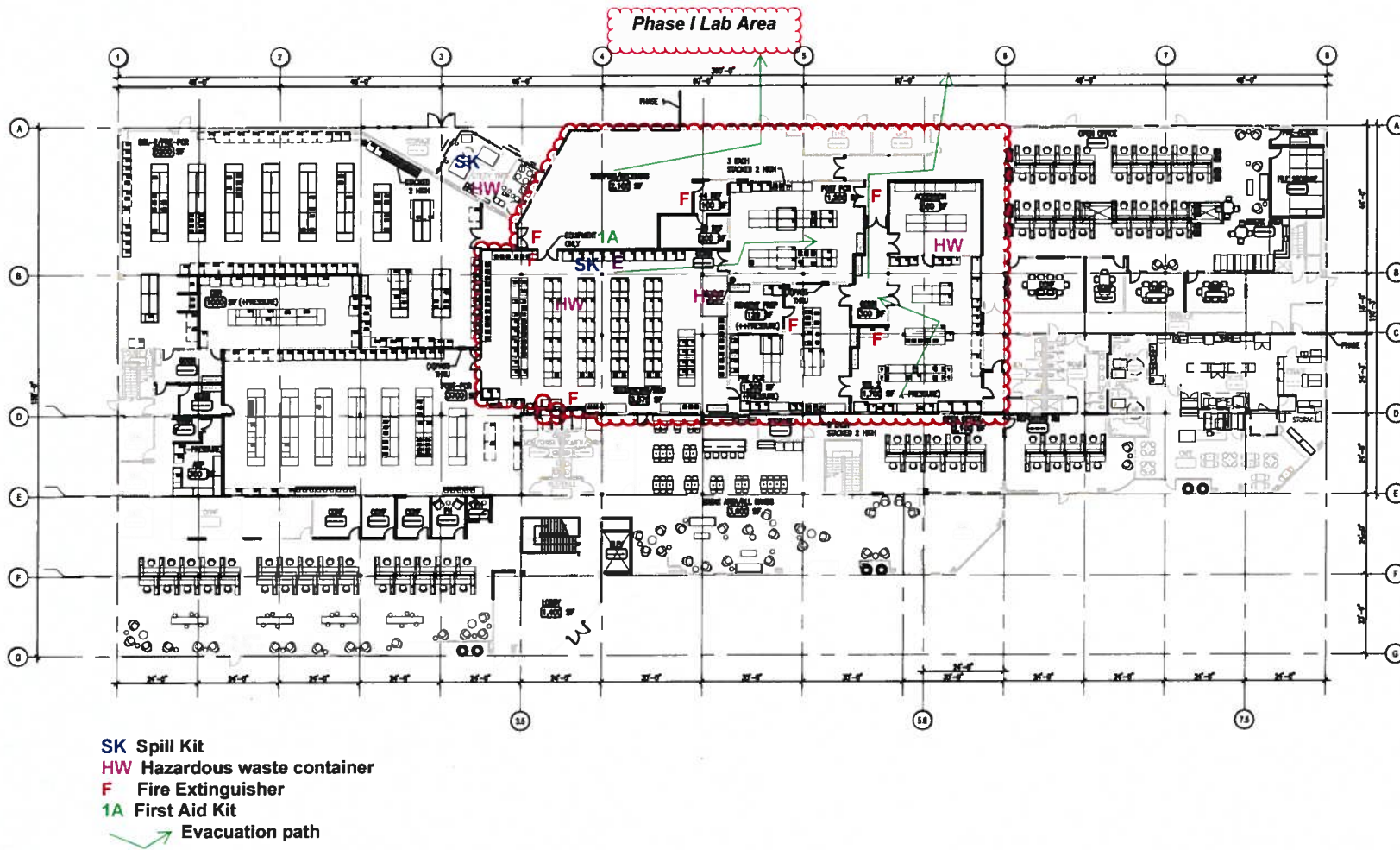
1525 O'BRIEN DR - MBP, B13  
GRAIL - FIRST LEVEL PLAN

Sheet 2  
6/1/16

SCALE: 1/32"=1'-0"  
DATE: 04/04/16

DES





PROGRAMMING COUNTS:  
 CONFERENCE RMS: 12  
 BENCHING DESKS: 74  
 PHONE RMS: 2



**Proposed HMBP Plan Ph I**

Notes by GEI

**1525 O'BRIEN DR - MBP, B13  
 GRAIL - FIRST LEVEL PLAN**

**Sheet 3  
 6/3/16**

SCALE: 1/32"=1'-0"  
 DATE: 04/04/16

**DES**

Phase II Lab Area



- SK Spill Kit
- HW Hazardous waste container
- F Fire Extinguisher
- 1A First Aid Kit
- Evacuation path



Proposed HMBP Ph II

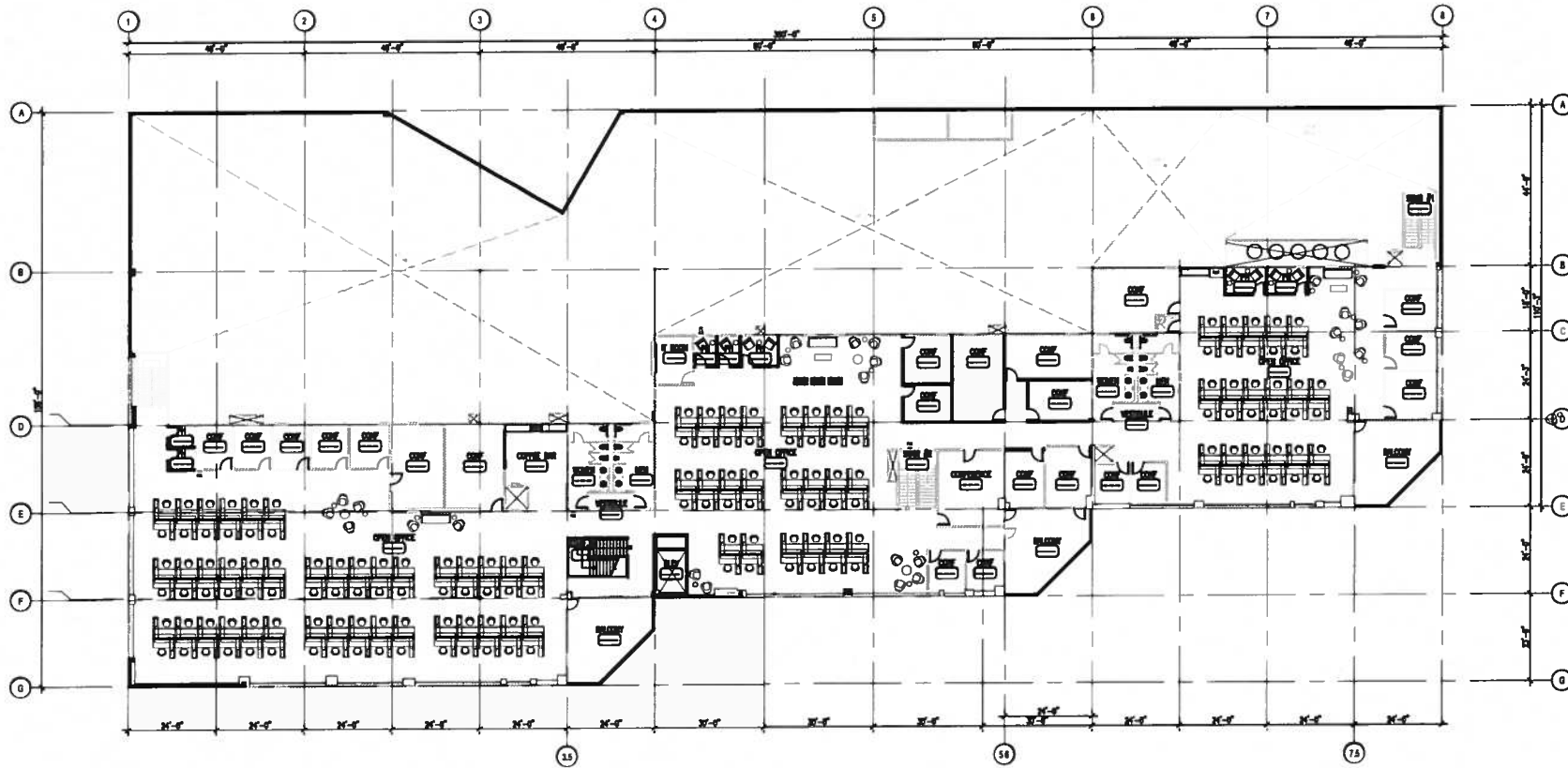
Notes by GEi

1525 O'BRIEN DR - MBP, B13  
GRAIL - FIRST LEVEL PLAN

Sheet 4  
6/3/16

SCALE: 1/32"=1'-0"  
DATE: 04/04/16

DES



PROGRAMMING COUNTS:  
 CONFERENCE RMS: 22  
 BENCHING DESKS: 154  
 PHONE RMS: 7

*For Reference Only*

**TARLTON**

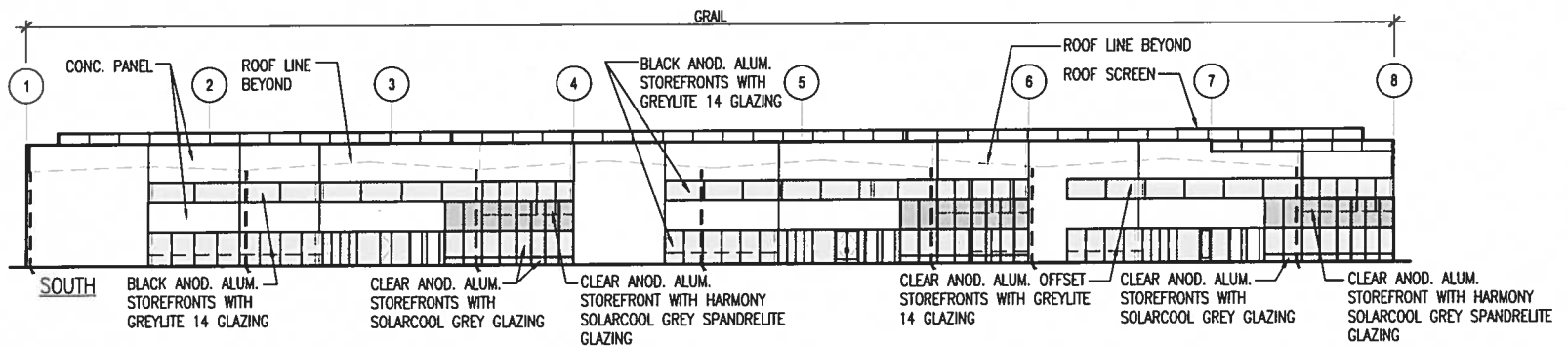
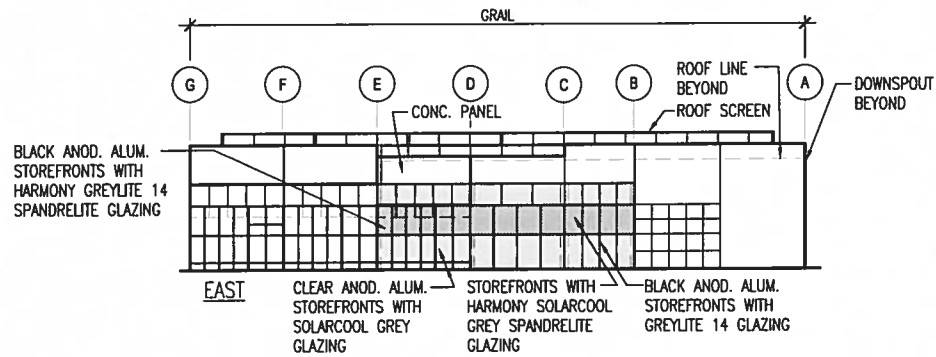
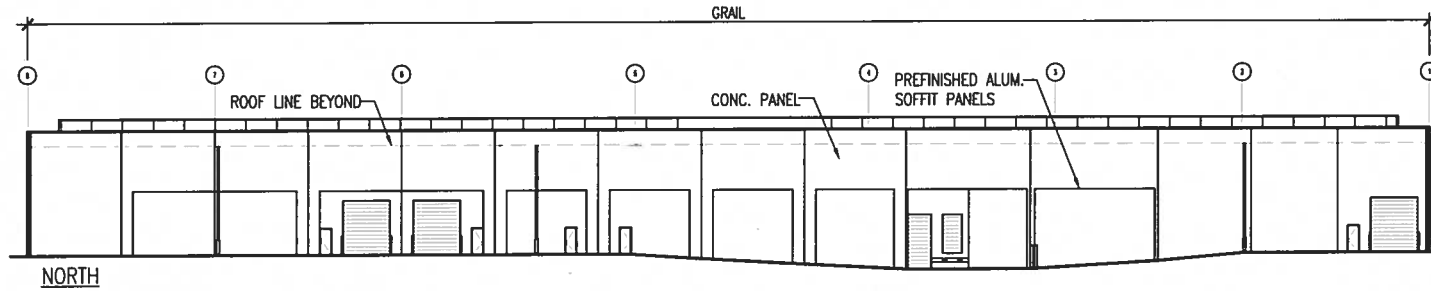
Notes by GEI

1525 O'BRIEN DR - MBP, B13  
 GRAIL - SECOND LEVEL PLAN

Sheet 5  
 6/1/16

SCALE: 1/32"=1'-0"  
 DATE: 04/04/16

DES



For Reference Only



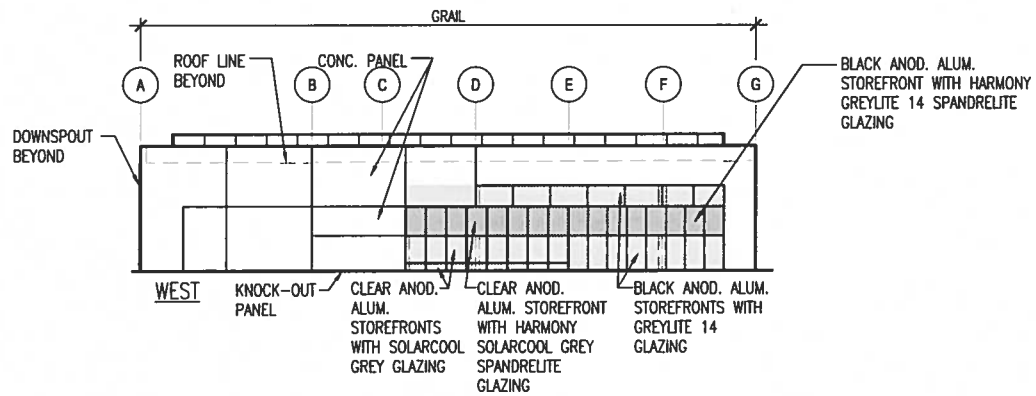
**MENLO BUSINESS PARK, BLDG 13**  
1525 O'BRIEN DRIVE MENLO PARK, CA

**Sheet 6**  
**6/3/16**

**EXISTING BUILDING ELEVATIONS**

SCALE: 1/8" = 1'-0"  
06/03/16





*For Reference Only*

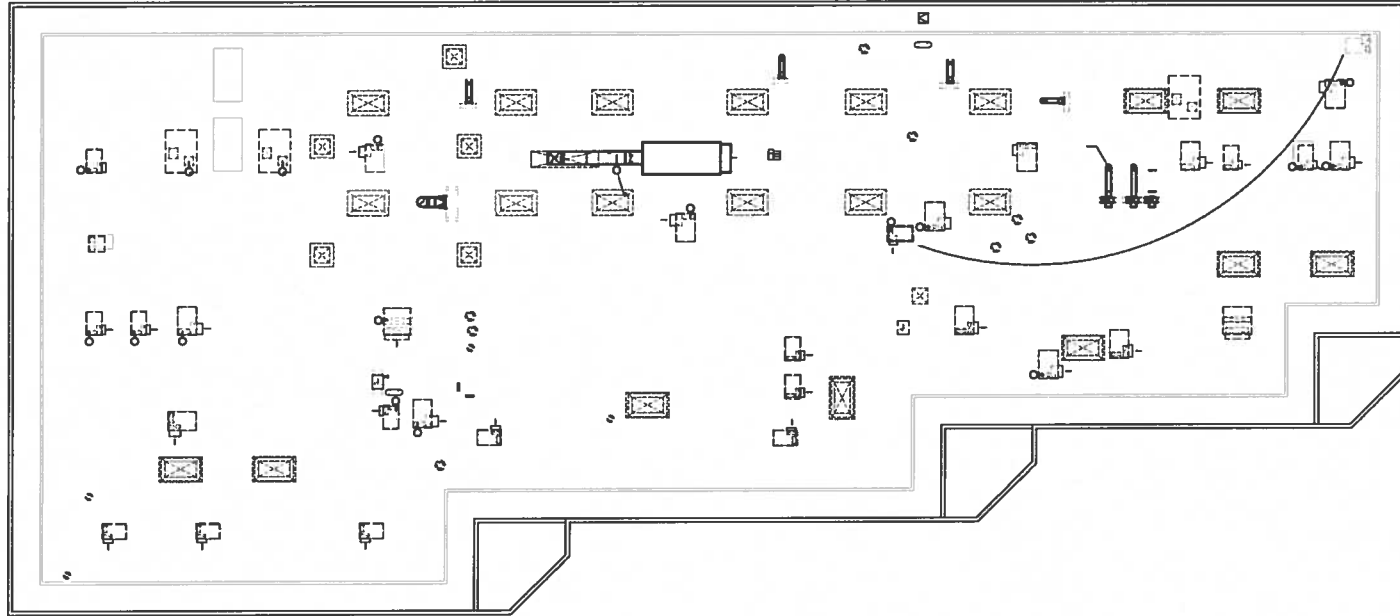


**MENLO BUSINESS PARK, BLDG 13**  
1525 O'BRIEN DRIVE MENLO PARK, CA

**Sheet 7**  
**6/3/16**

**EXISTING BUILDING ELEVATION**  
SCALE: 1/16" = 1'-0"  
06/03/16





**TARLTON**

**MENLO BUSINESS PARK, BLDG 13**  
1525 O'BRIEN DRIVE MENLO PARK, CA

*For Reference Only*  
**Sheet 8**

**EXISTING ROOF PLAN**  
SCALE: 1/32" = 1'-0"  
06/03/16



**GRAIL Project Description**

June 20, 2016

The mission of GRAIL is to detect cancer early, when it can be cured, by using next generation nucleic acid (DNA/RNA) sequencing technologies. GRAIL is moving its operations to 1525 O'Brien Drive in Menlo Park. The new facility will be the company's headquarters and will contain new research labs. GRAIL currently has approximately 55 employees and expects to grow to as many as 280 employees over the next two years.

GRAIL currently has administrative and R&D personnel. In the new facility, GRAIL will use existing personnel to continue research operations using very limited amounts of chemicals as they complete experiments and diagnostic testing utilizing blood.

Phase I expects to occupy Mid-September, 2016, while Phase II is expected to be occupied in January 2017. Phase II use of hazardous materials will not differ substantially from Phase I in the nature or volume from the totals shown on the chemical inventory. The project was phased to allow time to obtain CLIA<sup>1</sup> accreditation for the labs.

As part of the research and testing effort, GRAIL will use small quantities of some hazardous materials, in properly equipped labs on the 1<sup>st</sup> floor. These materials will be used in fume hoods or other appropriately exhausted space. Other various solvents, including isopropyl alcohol, are used to clean and process the components. The container size for most hazardous substances are one gallon or less. GRAIL will generate hazardous waste, which will be stored both inside the facility, and in the existing chemical storage unit outside the rear of the facility. The previous tenant, Acclarent, also used the unit for storage of hazardous materials and wastes.

A waste-water discharge permit is not anticipated to be required for the facility.

Chemicals and other reagents will be delivered by common carrier. Delivery frequency will vary with the pace of manufacturing, but is not expected to exceed bi-monthly. Hazardous waste is removed from site by a licensed hauler; removal is generally on a bi-monthly basis.

---

<sup>1</sup> Clinical Laboratory Improvement Amendment, overseen by California Department of Public Health.



## COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

701 Laurel Street  
Menlo Park, CA 94025  
phone: (650) 330-6702  
fax: (650) 327-1653  
[planning@menlopark.org](mailto:planning@menlopark.org)  
<http://www.menlopark.org>

### HAZARDOUS MATERIALS INFORMATION FORM

---

In order to help inform City Staff and the external reviewing agencies, the Planning Division requires the submittal of this form. If the use permit application is approved, applicants are required to submit the necessary forms and obtain the necessary permits from the Menlo Park Fire Protection District, San Mateo County Environmental Health Services Division, West Bay Sanitary District, and other applicable agencies. Please complete this form and attach additional sheets as necessary.

1. List the types of hazardous materials by California Fire Code (CFC) classifications. This list must be consistent with the proposed Hazardous Materials Inventory Statement (HMIS), sometimes referred to as a Chemical Inventory. (The HMIS is a separate submittal.)

Please see attached spreadsheet.

2. Describe how hazardous materials are handled, stored and monitored to prevent or minimize a spill or release from occurring (e.g., secondary containment, segregation of incompatibles, daily visual monitoring, and flammable storage cabinets).

Flammable materials will be stored within rated storage cabinets and segregated by hazard class. Storage areas for chemicals will be monitored by lab staff during normal business hours (visual). Weekly documented inspections of hazardous waste storage areas are performed.

3. Identify the largest container of chemical waste proposed to be stored at the site. Please identify whether the waste is liquid or solid form, and general safeguards that are used to reduce leaks and spills.

The largest waste container will be 55-gallon capacity. All liquid wastes are secondarily contained, and a Spill Kit is stored on site.

4. Please explain how hazardous waste will be removed from the site (i.e. licensed haulers, or specially trained personnel).

Licensed waste haulers will be used. If GRAIL qualifies as a Very Small Quantity Generator, they may use the San Mateo County VSQG disposal program.

5. Describe employee training as it pertains to the following:

- a. Safe handling and management of hazardous materials or wastes;
- b. Notification and evacuation of facility personnel and visitors;
- c. Notification of local emergency responders and other agencies;
- d. Use and maintenance of emergency response equipment;
- e. Implementation of emergency response procedures; and
- f. Underground Storage Tank (UST) monitoring and release response procedures.

Lab employees receive training on management of chemicals and waste. All employees receive training on what to do in case of emergencies, including chemical spills. The site's emergency response plan includes procedures to notify first responders and make reports to outside agencies. There are no USTs at the site.

6. Describe documentation and record keeping procedures for training activities.

All training is documented, and training records are kept by the Facilities department.

7. Describe procedures for notifying onsite emergency response personnel and outside agencies (e.g. Fire, Health, Sanitary Agency-Treatment Plant, Police, State Office of Emergency Services "OES") needed during hazardous materials emergencies.

The procedures for notifying emergency response personnel and outside agencies are contained in the site's written emergency response plan. This plan describes various emergency scenarios and specifically who to call and how to respond, internally and in conjunction with responding agencies, including SFPUC.

8. Describe procedures for immediate inspection, isolation, and shutdown of equipment or systems that may be involved in a hazardous materials release or threatened release.

Facilities personnel are authorized to shut down utilities if a spill requires such action. Spills are contained using materials from Spill Kit, and if larger than internal capabilities, the outside emergency response contractor is called. If danger exists, MP FPD is also called.

9. Identify the nearest hospital or urgent care center expected to be used during an emergency.

Stanford Hospital, Palo Alto

v:\handouts\approved\hazardous materials information form.doc

**GRAIL, Inc.**  
**Hazardous Materials Inventory**

Chemical	Primary Fire Code Class	Secondary Fire Code Class	S, L or G?	Current Storage Quantity	Projected Storage Quantity	Largest Container Size	Amount in Use	Amount in Flammable Cabinet
QuantiFluor dsDNA Dye, 200X	Comb II		L	1	10	1 mL	1 mL	
Dimethyl sulfoxide	Comb IIIB		L	2 bottles	10 bottles	100ml	30 mL	
Mineral oil	Comb IIIB		L	1 bottle	1 bottle	200 mL	0	
aqueous waste buffers	Comb IIIB		L	460 gal	920 gal	55 gal		
<b>Total Combustibles</b>					<b>921 gal</b>			
Buffer ACL	Corrosive		L	5	100	220 mL	220	
Clorox Regular-Bleach	Corrosive		L	2 Gal	20 Gal	1 Gal	1 Gal	
Hydrochloric Acid	Corrosive		L	1 bottle	2 bottles	100ml	0	
Invitrogen ChargeSwitch PCR Clean-up Kit	Corrosive		L	1	0	1 kit	0	
Non-RCRA Hazardous Waste, Aqueous Sequencing	Corrosive		L	1	5 bottles	55g	1	
ProClin 300	Corrosive		L	2 bottles	2 bottles	50ml	0	
Sodium Hydroxide (NaOH)-100ml	Corrosive		L	1 bottle	5 bottles	1L	50 mL	
waste acids/bases	Corrosive		L	5 gal	10 gal	5 gal	5 gal	
<b>Total Corrosives</b>					<b>35 gal</b>			
2-Propanol-BioUltra 1 Liter BTL	Flam IB		L	4	10	1L	500 mL	
Ethanol 200 proof	Flam IB		L	19 bottles	50 bottles	500ml	250 mL	100%
STER-AHOL WFI Non-Aerosol	Flam IB		L	10 bottles	20 bottles	16 oz.	32 oz	20 bottles
STER-AHOL WFI Non-Aerosol	Flam IB		L	10 bottles	20 bottles	16 oz.	32 oz	20 bottles
Hazardous Waste, solvents	Flammable		L	2 gal	2 gal	1 gal	2	
<b>Total Flammable IB</b>					<b>25 gal</b>			
Alcohol Prep Pads	Flammable		S	10 boxes	10 boxes	1 packet	2 boxes	
Non-RCRA Hazardous Waste, Lab Debris	Flammable		S	2	5 bottles	50g	2	
Compressed Nitrogen Gas	NFG		G	454 cf	454 cf	227 cf	0	
Hexadecyltrimethylammonium bromide	Toxic	Corrosive	S	1 bottle	2 bottles	50g	0	
Patterned Denaturation Mix HS2058730-PDR 9.6 ml	Toxic		L	150	50	9.6 mL	0	
<b>Total Toxics</b>					<b>&lt; 1 gal</b>			
<b>Materials not regulated by Fire Code not listed</b>								

RECEIVED

APR 18 2016

CITY OF MENLO PARK  
BUILDING


**DEVELOPMENT SERVICES  
PLANNING DIVISION**

**Contact: Tom Smith 650-330- 6730 or**  
**tasmith@menlopark.org**  
 701 Laurel Street  
 Menlo Park, CA 94025  
 PHONE (650) 330-6702  
 FAX (650) 327-1653

**AGENCY REFERRAL FORM**  
**RETURN DUE DATE: Thursday, May 24, 2016**

DATE: May 10, 2016

**TO: CITY OF MENLO PARK BUILDING DIVISION**  
 701 Laurel Street  
 Menlo Park, CA 94025  
 (650) 330-6704

<b>Applicant</b>	GRAIL, Inc.
<b>Applicant's Address</b>	200 Cardinal Way, Suite B, Redwood City, CA 94063
<b>Telephone/FAX</b>	Tel: 650-508-8018 (Consultant)
<b>Contact Person</b>	Ellen Ackerman
<b>Business Name</b>	GRAIL
<b>Type of Business</b>	Request for a use permit for the storage and use of hazardous materials related to the research and development of biotechnology for the early detection of cancer. As part of the research and testing effort, GRAIL will use small quantities of some hazardous materials in properly equipped labs. Other various solvents are used to clean and process the components.
<b>Project Address</b>	1525 O'Brien Drive, Menlo Park, CA 94025
<b>FOR OFFICE USE ONLY</b>	
<input type="checkbox"/> The hazardous materials listed are not of sufficient quantity to require approval by this Division. <input checked="" type="checkbox"/> The Building Division has reviewed the applicant's plans and listed hazardous materials/chemicals and has found that the proposal meets all applicable California Building Code requirements. <input type="checkbox"/> The Building Division has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures to be made a part of the City's Use Permit approval (please list the suggested conditions and mitigation measures).	
The applicant's proposal has been reviewed by the City of Menlo Park's Building Division by:	
Signature/Date <i>Ron LaFrance 5/26/16</i>	Name/Title (printed) Ron LaFrance, Building Official
Comments:	



## DEVELOPMENT SERVICES PLANNING DIVISION

701 Laurel Street  
Menlo Park, CA 94025  
PHONE (650) 858-3400  
FAX (650) 327-5497

### AGENCY REFERRAL FORM

**DATE:** May 12<sup>th</sup>, 2016

**TO: WEST BAY SANITARY DISTRICT**  
500 Laurel Street  
Menlo Park, CA 94025  
(650) 321-0384

<b>Applicant</b>	Grail, Inc
<b>Applicant's Address</b>	200 Cardinal Way, Suite B, Redwood City, CA 94063
<b>Telephone/FAX</b>	Tel: 650-508-8018 (Consultant)
<b>Contact Person</b>	Ellen Ackerman (1140 O'Brien Drive)
<b>Business Name</b>	Grail
<b>Type of Business</b>	Request for a use permit for the storage and use of hazardous materials related to the research and development of biotechnology for the early detection of cancer. As part of the research and testing effort, GRAIL will use small quantities of some hazardous materials in properly equipped labs. Other various solvents are used to clean and process the components.
<b>Project Address</b>	1525 O'Brien Dr, Menlo Park, CA 94025

#### FOR OFFICE USE ONLY

- ☐ The hazardous materials listed are not of sufficient quantity to require approval by this agency.
- ☒ The Sanitary District has reviewed the applicant's proposed plans and use of listed hazardous materials/chemicals and has found that the proposal meets all applicable Code requirements.
- ☐ The Sanitary District has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures to be made a part of the City's Use Permit approval (please list the suggested conditions and mitigation measures).

The applicant's proposal has been reviewed by the West Bay Sanitary District by: Jed Beyer  
Inspector

Signature/Date

*Phil Scott* 5-12-16

Name/Title (printed)

Phil Scott / District Manager

Comments: This facility will require a walkthrough inspection within the first month of occupancy. Please see that WBSD and SVCW are listed as Emergency Contacts in the event of an accidental spill/discharge to the sanitary sewer system.



**DEVELOPMENT SERVICES  
PLANNING DIVISION**

**Contact: Tom Smith 650-330- 6730 or**  
**tasmith@menlopark.org**  
701 Laurel Street  
Menlo Park, CA 94025  
PHONE (650) 330-6702  
FAX (650) 327-1653

**AGENCY REFERRAL FORM**  
**RETURN DUE DATE: Thursday, May 24, 2016**

DATE: May 10, 2016

**TO: SAN MATEO COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION**  
Darrell Cullen, Hazardous Materials Specialist  
San Mateo County Environmental Health  
2000 Alameda de las Pulgas, Ste 100  
San Mateo, CA 94403  
(650) 372-6235

<b>Applicant</b>	GRAIL, Inc.
<b>Applicant's Address</b>	200 Cardinal Way, Suite B, Redwood City, CA 94063
<b>Telephone/FAX</b>	Tel: 650-508-8018 (Consultant)
<b>Contact Person</b>	Ellen Ackerman
<b>Business Name</b>	GRAIL
<b>Type of Business</b>	Request for a use permit for the storage and use of hazardous materials related to the research and development of biotechnology for the early detection of cancer. As part of the research and testing effort, GRAIL will use small quantities of some hazardous materials in properly equipped labs. Other various solvents are used to clean and process the components.
<b>Project Address</b>	1525 O'Brien Drive, Menlo Park, CA 94025
<b>FOR OFFICE USE ONLY</b>	
<input type="checkbox"/> The hazardous materials listed are not of sufficient quantity to require approval by this agency.	
<input type="checkbox"/> The Health Department has reviewed the applicant's plans and use of listed hazardous materials/chemicals and has found the proposal to be in compliance with all applicable Codes.	
<input checked="" type="checkbox"/> The Health Department has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures to be made a part of the City's Use Permit approval (please list the suggested conditions and mitigation measures). The Health Department will inspect the facility once it is in operation to assure compliance with applicable laws and regulations.	
The applicant's proposal has been reviewed by the San Mateo County Environmental Health Services Division by:	
Signature/Date Amy E DeMasi 5-20-16	Name/Title (printed) 650-339-5849
Comments: Facility will be regulated by San Mateo Co Env Health for storage of hazardous materials and generation of hazardous waste. Please submit HMBP electronically and contact inspector.	



**DEVELOPMENT SERVICES  
PLANNING DIVISION**

**Contact: Tom Smith 650-330- 6730 or  
tasmith@menlopark.org**


701 Laurel Street  
Menlo Park, CA 94025  
PHONE (650) 330-6702  
FAX (650) 327-1653

**AGENCY REFERRAL FORM  
RETURN DUE DATE: Thursday, May 24, 2016**

DATE: May 10, 2016

**TO: MENLO PARK FIRE PROTECTION DISTRICT**

Jon Johnston  
170 Middlefield Road  
Menlo Park, CA 94025  
(650) 323-2407

<b>Applicant</b>	GRAIL, Inc.
<b>Applicant's Address</b>	200 Cardinal Way, Suite B, Redwood City, CA 94063
<b>Telephone/FAX</b>	Tel: 650-508-8018 (Consultant)
<b>Contact Person</b>	Ellen Ackerman
<b>Business Name</b>	GRAIL
<b>Type of Business</b>	Request for a use permit for the storage and use of hazardous materials related to the research and development of biotechnology for the early detection of cancer. As part of the research and testing effort, GRAIL will use small quantities of some hazardous materials in properly equipped labs. Other various solvents are used to clean and process the components.
<b>Project Address</b>	1525 O'Brien Drive, Menlo Park, CA 94025
<b>FOR OFFICE USE ONLY</b>	
<input type="checkbox"/> The hazardous materials listed are not of sufficient quantity to require approval by this agency.	
<input checked="" type="checkbox"/> The Fire District has reviewed the applicant's plans and use of listed hazardous materials/chemicals and has found the proposal to be in compliance with all applicable Fire Codes.	
<input type="checkbox"/> The Fire District has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures to be made a part of the City's Use Permit approval (please list the suggested conditions and mitigation measures).	
The applicant's proposal has been reviewed by the Menlo Park Fire Protection District by:	
Signature/Date 	Name/Title (printed) GORDON SIMKINSON CONTRACT FIRE INSPECTOR
Comments: PROPOSED USE DOES NOT PRESENT ANY	

EXTRAORDINARY HAZARDS APPLICANT WILL BE SUBJECT  
TO INITIAL AND ONGOING HAZARDOUS MATERIALS PERMIT  
AND INSPECTION REQUIREMENTS FROM MENLO PARK  
FIRE DISTRICT.