



REGULAR MEETING AGENDA

Date: 11/7/2016
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

- E1. Approval of minutes from the September 26, 2016 Planning Commission meeting. ([Attachment](#))
- E2. Approval of minutes from the October 19, 2016 Planning Commission meeting. ([Attachment](#))
- E3. Architectural Control/Whitney Gaynor/1771 Stone Pine Lane:
A request for architectural control for exterior modifications to the front façade of an existing single-family townhouse located in the R-3 (Apartment) zoning district. ([Staff Report #16-084-PC](#))
- E4. Sign Review/Alice Booker/149 Commonwealth Drive:
Request for sign review to modify an existing freestanding monument sign to include six tenants in the M-2 (General Industrial) zoning district. ([Staff Report #16-085-PC](#))
- E5. Architectural Control/Kirk Loevner/889 Santa Cruz Ave:
Request for architectural control for exterior modifications to the front and rear facades and the addition of floor area to extend the front entryway to the roofline, in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. ([Staff Report #16-086-PC](#))

F. Public Hearing

- F1. Use Permit/Clara Ting/1045 Trinity Drive:
Request for a use permit to demolish an existing two-story, single-family fire-damaged residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-E-S (Residential Estate Suburban) zoning district. ([Staff Report #16-087-PC](#))
- F2. Use Permit/Jeff Chase/936 Hobart Street:
Request for a use permit to demolish an existing, one-story single-family home and construct a new, two-story single-family home with a basement on a substandard lot with regard to lot width in the R-1-S (Single Family Suburban) zoning district. ([Staff Report #16-088-PC](#))
- F3. Use Permit Revision/Morteza Nassiri/317 Yale Road:
Request for a use permit revision to make changes to the floor plan, windows and roof plan of a previously approved single-family, two-story residence with a basement on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district. The previous use permit was approved by the Planning Commission on May 9, 2016. ([Staff Report #16-089-PC](#))
- F4. Use Permit Revision and Architectural Control Revision/Ron Krietemeyer/1315 O'Brien Drive:
Request for use permit and architectural control revisions to a previously approved project, which would allow the removal of approximately 32,000 square feet of gross floor area of warehouse from the rear of the structure and construction of a new exterior rear wall consistent with the architectural style of the previously approved building, in the M-2 (General Industrial) zoning district. ([Staff Report #16-090-PC](#))

G. Regular Business

- G1. Architectural Control Revision/Rob Fischer/1090 El Camino Real:
Request for an architectural control revision to allow metal roll-down doors to be installed at three building entrances along Santa Cruz Avenue in conjunction with a restaurant use at an existing commercial building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. ([Staff Report #16-091-PC](#))

H. Informational Items

- H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: November 14, 2016
 - Regular Meeting: December 5, 2016
 - Regular Meeting: December 12, 2016

I. Adjournment

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At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

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REGULAR MEETING MINUTES - DRAFT

Date: 9/26/2016

Time: 7:00 p.m.

City Council Chambers

701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Strehl called the meeting to order at 7:01 p.m.

B. Roll Call

Present: Andrew Barnes, Drew Combs (Vice Chair)(left meeting before Item G.1), Susan Goodhue (left before Item G.1), Larry Kahle, John Onken, Henry Riggs, Katherine Strehl (Chair)

Staff: Deanna Chow, Principal Planner; Jean Lin, Senior Planner; Kyle Perata, Senior Planner; Nikki Nagaya, Transportation Manager; Leigh Prince, Assistant City Attorney

C. Reports and Announcements

None.

D. Public Comment

- Samuel Vasquez said that Facebook's support the Peninsula College Fund provided him with one to one mentoring, three days of training every year to help him find a job after college, and assistance in finding summer internships. He was appreciative of the opportunity to publicly thank Facebook and the Peninsula College Fund for their support.
- Louis Jones, student at JobTrain, said training supported by Facebook at JobTrain, gives them tools to be successful at work.
- Juan Nava-Sandival, JobTrain student, said with a Facebook scholarship he was able to take the Project Build program to learn the math needed for construction as well as to receive training on handling hazardous materials safely.
- Cali Nguyen, JobTrain graduate, said she was a recent graduate of the Web Developer Boot Camp program funded by Facebook. In addition to taking computer science classes at Canada College and College of San Mateo, she works for a company that develops applicant tracking software. She credited the Web Developer Boot Camp training funded by Facebook that she was able to get her job.
- Nassinet Kahsai said her life was such that higher education seemed impossible but with a financial award that was funded by Facebook she was able to pursue college and receive a B.A.
- Melvin Faulks said he is a senior at CalState-East Bay and like the previous speaker he

received the Crime Prevention Narcotics and Drugs Prevention scholarship that was funded by Facebook. He said the scholarship helped him pay for his school supplies and tuition expenses including study abroad with his sociology class.

- Epeli Pahulu, sixth grade student, said Facebook has worked hard to help his school be safe and provide equipment and tools for innovative education.

Chair Strehl closed the public comment period.

E. Consent Calendar

- E1. Approval of minutes from the August 29, 2016 Planning Commission meeting. ([Attachment](#))

ACTION: Motion and second (Riggs/Goodhue) to approve the minutes as submitted with the following modification: passes 7-0.

- Page 10, Under “Adjournment”: Replace the adjourned time from “7:23 p.m.” to:”8:23 p.m.”

F. Regular Business

- F1. Review of Determination of Substantial Conformance/Janice Yuen/1010-1026 Alma Street: Review of the Determination of Substantial Conformance for exterior modifications to an approved architectural control application for a new three-story, non-medical office building with two underground parking levels at the Public Benefit Bonus level in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. ([Attachment](#))

Staff Comment: Jean Lin, Senior Planner, explained the process for determining substantial conformance. She said if the majority of the Commission found the proposed changes did not substantially conform to the architectural control for the approved project, the applicant could then revise the proposal to bring into conformance with the architectural control approval. She said another option would be for the applicant to apply for a formal revision to the approved architectural control.

Applicant Presentation: Mr. Ben Schaefer, BAR Architects, said the Alma Station project was presented to the Commission nine months earlier and was owned and driven by a developer as an office “spec” building. He said post-entitlements they have worked with a philanthropic nonprofit organization to make the project site their home. He said the fence along the public/private boundary had been approved as a perforated metal fence, eight feet tall with plantings in front of it. He said they were now proposing a similar fence that would have a 12-foot section that a stone wall. He said water was an important theme with the philanthropic organization. He said the stone wall on the private side would house a water feature; he said the sound of the fountain would be audible on the public side. He said the company staff numbered about 90 people and the outdoor space on the private side would be used by them for lunches as well as other events. He said the wall would create privacy for both private and public users and would be a really nice design element.

Replying to Commissioner Onken, Mr. Schaefer said the roofline had not changed. He said they slightly adjusted the fence location in two areas about 14-inches, changed a 12-foot section of fence to stone; changed the shape and added better quality materials for the commercial pavilion; created more open indoor/outdoor connection on the west elevation or private side; replaced the

plug and play plants with more natural looking vines to provide a two-story green wall effect; and used substantial wood doors for front and rear, noting the front entrance would have a solid clad residential look.

Replying to Commissioner Goodhue, Mr. Schaefer said they studied a number of locations for the fountain; he said the selected site created a direct outdoor relationship to the indoor space. Commissioner Goodhue asked they had considered placing it so it was visible from the exterior side or public space as well. Mr. Schaefer said they thought it was better housed on the private side due to maintenance and security concerns. He said it would be visible through the gate. Commissioner Goodhue said the gate between the private/public spaces had also changed form a sliding door to something more like a pivot door. Mr. Schaefer said this type door/gate was more cost-effective. He said the door/gate was not intended as a “passage” but was there for the incidental after-hours events that might occur on both the private and public spaces.

Commissioner Kahle confirmed the solar shading had been removed on the north side where it was not needed, but said the elevation was less attractive without it. He asked if they had considered any aesthetic offset to address. Mr. Schaefer said as the solar shading on the north side was not effective, they decided to take the funds intended for that to use for the coffee kiosk space. He said that would be more expensive to design and build and would use higher quality materials.

Commissioner Combs asked if the tenant had indicated the frequency of events in the external space, and if so, what time those might be held. Mr. Schaefer said in the expansion of the lounge and kitchen, the outdoor space would be used when the weather was good for daily lunch and then the occasional event.

In reply to a question from Commissioner Combs about how the company currently holds its events, Brid Arthur, Hillspire, said the firm currently has three different offices spread between Menlo Park and Palo Alto. She said they go offsite for the use of outdoor space for what was typically less than quarterly events. She said the events were mainly for employees’ team building and celebrations for their accomplishments.

Replying to Commissioner Riggs concern that the limestone color would be homogenous, Mr. Schaefer said the entire project was clad in limestone with standard limestone being the body tile and travertine as an accent tile. He said they were working with the quarry to get a variation of patterning color in the limestone. He then corrected and clarified that the body stone, the smooth stone, was the travertine, and the accent stone was the limestone. He said the proposed wall would be split rock.

Replying to Commissioner Goodhue’s concern that the public space was smaller, Mr. Schaefer said they had to resituate the wall so they would still provide the same square footage entitlement for the public courtyard plaza. He said the calculation for the courtyard included the footprint of the kiosk. He said the kiosk was basically re-shaped. He said previously it was roughly a square and divided the public space into a front end and back end that was continuous. He said it was now rectilinear and elongated. He said the size of it related to the space and protecting the heritage oak tree. Commissioner Goodhue noted that the wall change would require hand digging into the tree’s roots.

Chair Strehl opened the public comment period and closed it as there were no speakers.

Commission Comment: Commissioner Onken said he was satisfied with all of the building changes except for the kiosk. He said as the kiosk was the public benefit of the project it deserved additional scrutiny. He said previously they had a lively open structure although there was a dark space behind it. He said he could find the other changes were within substantial conformance with the previously approved project, but he wanted the kiosk to come back with a redesign.

Commissioner Kahle said the majority of the proposed changes were good but the kiosk needed additional scrutiny. He said he was not enthusiastic about the 10-foot wall where an 8-foot fence had been previously as the benefit of that and the fountain was for the applicant not the public.

Commissioner Goodhue said she agreed with Commissioners Onken and Kahle about the kiosk. She said even with the upgrade in materials and appreciating the intent that the kiosk needed attention. She said her primary concern was the fence change. She said previously the applicant had arrived at a great concept with the metal screen between the private and public spaces so there was not such a demarcation between the two, noting that had been one of the things that had sold her on the project as it provided more of a public benefit. She said the original plan had the oak tree however only in the private space and the plan evolved to bring the fence forward and create a really nice space with the metal screen. She said tonight's renderings showed a 10-foot heavy wall coming into the public space that created an unneeded emphasis on the demarcation between private and public space. She said in the prior plan there had been a nice balance of the public and private. She said the water feature caused the private space to become cramped and the heavy wall increased the sense of demarcation between public and private space.

Commissioner Combs said the height of the proposed wall was concerning and created a more emphatic demarcation between the private and public space that did not favor the public space. He said he did not share the concern about the changes in the kiosk or its sizing as his understanding was the public benefit was the operation of the kiosk as a coffee shop. He said the wall materials were okay.

Chair Strehl asked if the bathroom in the kiosk was for public use. Mr. Schaefer said it was for employees only. Chair Strehl confirmed with Mr. Schaefer that it needed to be handicap accessible.

Commissioner Onken moved to make a determination of substantial conformance for the proposed changes with the exception of the plaza and kiosk, and for the applicant to bring that back with redesign for review. Commissioner Kahle asked if the plaza referred to the wall. Commissioner Onken said everything on the public side of the design. Commissioner Kahle seconded the motion.

Commissioner Goodhue asked for clarification. Chair Strehl confirmed with the makers of the motion and second that all of the building changes on the private side were found to be in substantial conformance but the public space, the plaza, kiosk and wall needed to be redesigned and brought back to the Commission for approval.

At the request of Chair Strehl, Senior Planner Lin said to clarify that all changes with the building were considered to be in substantial conformance and all the changes in the public plaza including the kiosk and the stone wall needed to come back to the Planning Commission for review and approval.

Commissioner Combs asked where the project was in the application and building permit process. Senior Planner Lin said the existing structure and parcel have been cleared in preparation for the

proposed project. She said the applicant had submitted plans that were being reviewed by the building permit plan check process. She said the project would have two phases: 1) excavation and construction of the underground garage, and 2) the remainder of the building. She said it was currently in the first phase and the exterior and plaza changes would not impact that work from moving forward in the process. She said the requested changes would impact more the building permit plan check process for the second phase of construction. She said the building permit was currently under review and had not yet been granted.

ACTION: Motion and second (Onken/Kahle) to determine that the proposed exterior modifications to the project building were found to be in substantial conformance but the public space changes including the wall and kiosk were to be redesigned for review and approval by the Planning Commission; passes 7-0.

Chair Strehl noted that Commissioners Combs and Goodhue were recused due to potential conflict of interest for the Facebook agenda item G1.

G. Public Hearing

G1. Zoning Ordinance Text Amendment, Rezoning, Conditional Development Permit, Development Agreement, Lot Reconfiguration, Heritage Tree Removal Permits, Below Market Rate Housing Agreement, and Environmental Review/Hibiscus Properties, LLC on behalf of Facebook, Inc./300-309 Constitution Drive and 1 Facebook Way:

- **Zoning Ordinance Text Amendment** to include hotels as conditional uses within the M-2 zoning district. The text amendment would be consistent with the Limited Industry Land Use Designation of the existing General Plan;
- **Rezone** entire site from M-2 (General Industrial) and M-2(X) (General Industrial, Conditional Development) to M-2(X) (General Industrial, Conditional Development) to allow for a Conditional Development Permit to establish the development regulations;
- **Amended and Restated Conditional Development Permit (CDP)** to redevelop an approximate 58-acre site (300-309 Constitution Drive) with approximately 962,400 square feet of office use, including ancillary employee amenities, and a 200-room hotel of approximately 174,800 square feet. With Building 23 (formerly 300 Constitution Drive), the maximum gross floor area would be approximately 1.318 million square feet. The CDP would permit maximum building heights of up to 75 feet, allow building coverage to potentially exceed 50 percent of the site, identify the expanded construction hours, establish the permitted uses at the site, establish the maximum allowed signage area, permit the use and storage of hazardous materials associated with general office uses, set the parking ratio for the site, as well as to define all other development standards and regulations;
- **Development Agreement** for the provision of overall benefits to the City and adequate regulations in exchange for vested rights for the Facebook Campus Expansion Project;
- **Heritage Tree Removal Permits** to permit the removal of approximately 274 heritage trees and establish a heritage tree replacement ratio associated with the proposed project;
- **Below Market Rate (BMR) Housing Agreement**, per the requirements of the City's Municipal Code, which would help increase the affordable housing supply by requiring the applicant to provide monies for the BMR fund or by procuring off-site BMR units;
- **Lot Reconfiguration** to modify the location of two legal lots or merge the legal lots that comprise the project site and the adjacent lot for Building 20; and

- **Environmental Impact Report, Statement of Overriding Considerations, and Mitigation Monitoring and Reporting Program** that analyze the potential environmental impacts of the proposed project and include specific findings that the project includes substantial benefits that outweigh its significant, and adverse environmental impacts, and establishes responsibility and timing for implementation of all required mitigation measures.
([Staff Report #16-082-PC](#))

Senior Planner Perata said correspondence received after publication of the staff report included five pieces that relayed comments regarding the EIR with reiterating comments previously provided as well as comments on the trip cap and agreement. He said there were also two items of support for the project and one item provided by Facebook, the applicant, regarding housing issued in response to additional housing comments.

Senior Planner Perata said the staff report on page 13, in the table outlining parameters of the conditional development permit (CDP), had a typo where it stated standard parking of 4,797 spaces for Building 20. He said that number was the total parking for the entire site. He said for Building 20 it should read 1,466 spaces going to 1,499 spaces.

Senior Planner Perata reviewed the topics on which the Commission was being asked to make recommendations to the City Council.

EIR Consultant Presentation: Kirsten Chapman, project manager, ICF, environmental consulting firm, introduced Erin Efner, the project director, and the transportation sub-consultant Colin Burgett, TJKM, and David Doezeema, KMA. Ms. Chapman said the project would result in a net increase of floor area in the amount of 121,000 gross square feet. She said Building 21 would include 513,000 square feet of office space and event uses, and would be constructed during the first phase of development. She said Building 22 would be constructed in the second phase of development and would include approximately 450,000 square feet of office uses. She said the third building that would be constructed during the second phase would include a 200-room limited service hotel. She said approximately 3500 parking spaces were provided in the surface parking lot and under the building podiums for the proposed buildings. She said maximum building heights would be approximately 75 feet, and the project would be organized around a publicly accessible open space and a multi-use pedestrian and bicycle corridor that would run north to south through the middle of the project site. She said the project would also include a multi-use bicycle/pedestrian bridge over Bayfront Expressway to allow public access to the Bay Trail.

Ms. Chapman reviewed the steps in the EIR preparation leading to issuance of a Notice of Determination. She said the significant and unavoidable impacts of the project were:

- Peak hour motor vehicle traffic at studied intersections during both the project and cumulative conditions
- Peak hour motor vehicle traffic on routes of regional significance during the project and cumulative conditions
- Daily motor vehicle traffic on roadway segments of the project and cumulative conditions
- Increased delay in transit vehicles under project conditions and conflicts with applicable plans and policies adopted for the purpose of reducing emissions of greenhouse gases

Ms. Chapman said during the public review period comments were received. She said in preparing the Response to Written and Oral Comments on the DEIR, released September 15,

they made some revisions to correct or amplify the DEIR but in responding to the comments they found no additional significant impacts, new mitigation measures and no substantial increase resulted in the severity of an earlier identified impact. She said the DEIR and the Response to Comments document constituted the Final EIR. She reviewed key comments that multiple persons had made and the master responses to those comments.

Commissioner Onken asked if the comment period on the EIR for the Facebook expansion project was extended. Senior Planner Perata said the comment period for the Facebook expansion project was not extended and ended on July 11. He said the comment period for the ConnectMenlo DEIR had been extended.

Commissioner Riggs asked about the response to a comment that the square footage per worker being used was too large for estimating the worker population, noting he believed the EIR indicated 350 square foot per person.

Erin Efner, ICF, said some additional substantiation on the worker per household number was provided in Master Response #4 under population and housing.

David Dozema, KMA, said there was a response regarding the nonresidential square footage per worker and they were searching for the page number. He said the basic response was that the other development contemplated under ConnectMenlo was not exclusively of a high tech nature and was to include other general office uses. He said it would not be appropriate to apply tech density ratio to all of the office uses so they used lower employee density and provision of higher number of square footage per employee.

Applicant Presentation: Mr. Fergus O'Shea, Director of Campus Facilities, Facebook, introduced the development team.

Mr. Craig Webb, Gehry Partners, showed drawings of the existing campus and the proposed build outs of the master plan. He said this project would replace an industrial site that had considerable contamination. He said the buildings would have parking underneath to create more landscaping opportunities. He showed images of the connectivity features of the project. He said public initiatives Facebook was contributing to included Chilco Street improvements, Bay Trail improvements along the edge of the Facebook campus and Bay restoration efforts. He said there were a number of initiatives on the Dumbarton Rail Corridor. He said he expected the Rail Trail would be implemented first. He said they were also participating in a mass transit study on the south side of the right of way.

Mr. Webb said Building 20 was designed to create engineering space for Facebook and was intended as anonymous architecture immersed into the landscape. He said this was a large campus and their goal was a diversity of architecture. He said in Building 21 they were trying to create a highly articulated façade facing toward the Belle Haven community. He said they also paid attention to what direction the front of the building was. He said Building 20 faced the expressway but with the development of the Rail Corridor the buildings would now face south. He said on the north side they would have much larger scale architecture relating to the broad expanse of the Bay and facing the expressway. He said Building 21 would be clad in industrial cladding system into which they would introduce accent colors. He noted caterpillar truck yellow for the multi-use bridge across the Expressway, and John Deere tractor green on building façade. He said Building 20 has a completely landscaped roof with mature trees and pathways. He said they learned with that the area was windy. He said they would create architectural features on top

of Building 21 to create windbreaks and conference rooms and a café would be located there. He said they would bring some of the landscaping to the first floor using mature trees.

Mr. Webb said Facebook was committed to working toward net zero sustainability on their buildings and each building was a step toward that goal. He said for Building 21 they would have a large array of photovoltaic panels and would bring natural daylight into the building. He said they would create a water recycling system that would treat sewage from Buildings 1 and 2 for reuse in irrigation. He said the shuttle program was a major reduction of their carbon footprint on the campus while reducing traffic on the street.

Mr. O'Shea said since the study session with the Planning Commission in June they had received positive feedback on the building designs. He said concerns raised were impacts to housing and congestion. He said comments received at different public meetings helped them to identify the terms for a development agreement. He said on July 19 they presented a draft term sheet that was reviewed and approved by the City Council. He said what they were requesting was within the current General Plan and was a floor area ratio (FAR) of 0.45, and they were not requesting any up zoning. He said the project included site remediation, a hotel, a public bridge providing access to the Bay, a publicly accessible plaza, LEED Gold buildings minimum, bird safe glass, Chilco Street improvements, and the creation of thousands of temporary and regular construction jobs.

Mr. O'Shea said the development agreement focused on five key areas: 1) revenue for the City with public benefit payments of \$6 million over 20 years; a sales tax capture provision; guarantee of a transient occupancy tax (TOT) of \$1.25 million over 39 years; TOT would be 1 point higher than the current base rate; property tax guarantee on all of the property; 2) Housing – the project includes \$6.5 million of BMR; they will be conducting an inventory supply study and explore from there setting up a housing innovation fund of \$1.5 million; proposal to create a housing preservation fund; creation of 22 units of workforce housing over the next five years; and agreed to plan for at least 1500 units on the Prologis campus to include a 15% affordable component; 3) Transportation – he said the transportation corridor study was ongoing which Facebook funded \$1 million towards and would commit another \$1 million toward recommendations from that report expected to be complete in April 2017; setting up a transportation management association in M-2; committing to further investments in the Rail Trail project; setting up a regional transportation forum; and commitment to complete the Chilco Street road improvements – these are in addition to mitigations identified for traffic as part of the EIR; 4) environmental commitment – build to LEED Gold; creation of a recycled water system which they hoped would save 20 million gallons of water per year; funding a feasibility study for a Bay Area wide recycling plant; and 5) establish local community fund to dedicate \$500,000 over five years; scholarships of \$1 million over 10 years; \$300,000 toward maintenance of Belle Haven school; and \$1 million for maintenance of Belle Haven Bayfront Park.

Commissioner Onken said the staff report noted the EIR found the project was in conflict with the standard for greenhouse gas emissions. Senior Planner Perata said the significant and unavoidable impact was with state adopted plans and executive orders that deal with greenhouse gas emissions reductions below 1990s levels. He said those executive orders require action beyond a singular project and no one project could not be expected to comply with or meet.

Commissioner Barnes asked if anything had changed with the project design since the June study session noting the text amendment for rezoning. Planner Perata said the items themselves had not changed; he said language for the CDP had been refined; he said recommended actions were the same that the Commission considered at its June study session.

Commissioner Riggs noted page 15 of the staff report under heading “Revenues” indicated the draft development agreement included a number of guarantees such as \$300,000 yearly to the City; and an additional guaranteed \$336,000 payment upon the occupancy of Building 21. He asked if the payment would be \$636,000 after occupancy. Planner Perata said there were two different payments. He said the \$300,000 payment was indexed ever five years for 20 years. He said regarding the \$336,000 payment up to 41 years, that was the amount the first two years and after that it would convert to a \$1.25 million TOT guarantee. He said if Facebook builds a hotel they would get credit toward that \$1.25 million payment. He said after two years when TE leaves the site the fee would increase annually. Commissioner Riggs asked if the numbers were separated because one was in-lieu of sales taxes and the other was a flat fee. Planner Perata said the \$336,000 was essentially a sales tax in-lieu fee and was folded into the TOT guarantee. He said the other fee was a flat fee over five years.

Chair Strehl opened the public hearing.

Public Comment:

- Edward Mason, San Francisco resident, said he was too late to comment on the DEIR, especially for the transportation and demand management that includes privately operated commuter buses from employee residential centers. He said the benign statement it makes that the shuttles remove local work site congestion didn't capture the impact these private buses made at employee residential centers, like San Francisco, and other cities. He said in San Francisco, private buses occupy transit red zones in violation of state law and four hour white zones restricted for residential parking permit holders. He said large buses delay traffic on narrow streets and their left and right turns create intersection stalemates. He said buses double park and idle on residential streets while waiting at points of departure such as Castrol and 25th Street, 26th Street and Noe Valley. He said that only constant reporting and monitoring gets 3-ton buses off weight-restricted city streets. He said some operators do not have California licenses on the vehicles. He said engine and air conditioning noise from the buses traveling steep hills after 10 p.m. was particularly bothersome. He said a private bus might remove 120 autos from the road but actually removed 120 working class families through displacement. He said the project's transportation demand management was hidden out of sight from regional consideration and implication while Menlo Park would reap tax benefits.
- Annel Aquayo, Development Director for Rebuilding Together-Peninsula, said they have worked with low income families to preserve communities for over 27 years. She said currently there were over 5,000 owner occupied homes in substandard condition in San Mateo County. She said Facebook has partnered with them since the beginning of the year to help in the preservation of the Belle Haven community. She said most recently on September 11 Facebook hosted a block build partnership with them in honor of the 9-11 national day of service and remembrance in Menlo Park through which three residences were improved.
- Rose Bickerstaff said displacement, affordable housing, and cut through traffic were not new problems in the Belle Haven community. She commented that Facebook had been a thoughtful developer and noted that the issues of concern were due to development and not just Facebook's. She said it was somewhat ridiculous that the City tried to please all of the surrounding cities. She said she did not think the cause of displacement had been truly identified but she did not think all of the ongoing problems should be burdened on one developer.

- Cindy Clark, Sustainable Silicon Valley, said their goal was to create a net positive Bay Area by 2050 for carbon, energy and water, and they enthusiastically supported the Facebook expansion because of its sustainability and water reuse. She said cumulatively Facebook was taking a leadership role in water and they thought that would encourage other organizations and individuals to create water resiliency for the Bay Area.
- Lily Gray, MidPen Housing, said they were a nonprofit developer, owner, and manager of affordable housing, and were supportive of the proposed housing benefits program which would make a meaningful impact by accelerating development, advancing innovative solutions, and providing housing for a range and mix of incomes in the community. She said they were impressed by Facebook's efforts to engage in housing issues and work proactively on finding real solutions. She said in addition to the innovation fund, preservation fund, and workforce housing program that Facebook proposes direct investment of their BMR fees into affordable housing. She said this direct investment would expedite delivery of actual units and allow funds to be leveraged more.
- Allan Bedwell, Menlo Park, said he was representing Friends of Bedwell Bayfront Park, an organization focused on preservation of the park. He said the Friends and he as an individual support the expansion project both on environmental and community benefit grounds. He said neighbors also benefit from the security company Facebook employs.
- William Nack, Menlo Park, said he supported the Facebook expansion project. He said in the proposed development agreement, Facebook once again recognized Menlo Park as its home and wanted to contribute to the community with a financial commitment of millions for the general fund, to build houses for their teachers and public employees, maintain the pool in Belle Haven, study and improve transportation along the Bayfront Expressway, develop 1500 housing units to help alleviate the housing / jobs imbalance in San Mateo County, develop a water recycling system on the project, build to LEED Gold equivalency, establish a privately maintained publicly accessible open space, and built a publicly accessible multi-use bridge over Bayfront Expressway.
- Shani Kleinhaus, Santa Clara Valley Audubon Society, said they have worked to conserve, protect, promote and educate people about birds in Santa Clara County. She said it takes great attention to develop along the Bay and Facebook from the start looked at the whole ecological system where they were. She said her organization has been working with Facebook since 2012 on the bird safety issues - how to bring birds into the area and protect them. She said they have been monitoring the birds on the roof and found it attracted different species that seem to be doing well.
- Paul Veal, Menlo Park, said he was a journeyman sheet metal worker, and supported the Facebook expansion project. He said the construction hours generated from this project benefited community members like him. He said additionally Facebook was a community partner who had addressed, and was continuing to work with the City, to solve traffic and housing issues.
- Diane Bailey, Director of Menlo Sparks, a local independent nonprofit, said they work with businesses, residents and leaders toward a healthy, sustainable and carbon-neutral future for Menlo Park. She said last month with the help of Facebook they completed the 10th free solar

installation for low income homeowners in Belle Haven. She said this reduced energy bills 75%, countered gentrification, and created clean energy. She said that so far 32 KW of clean solar power have been installed. She shared comments from one resident who noted that when you have a limited budget on a low income, having this reduction in energy bills would make a big difference. She said Facebook was a leader in sustainability and they appreciated their efforts with Menlo Park to address housing issues.

- Laurie Gross, teacher, Ravenswood School District, said Facebook funded a technology afterschool program as well as now a maker's faire. She said Facebook was demonstrably a community supporter in how they have treated the local schools.
- Kitty Craven said the removal of 274 heritage trees seemed excessive and she hoped each tree would be looked at separately to insure that removal was really necessary. She said she was not in favor of expanding the hours of construction. She said she did not understand the need for a 200-room hotel when a 100-room hotel was already being built nearby. She said she also was concerned as to where the water for the project would come from. She said whatever mitigations were done for traffic it would not be enough for this huge expansion. She said Marsh Road, Bay Road, and Bayfront Expressway was where she lived and it was bumper to bumper traffic most of the day.
- Eileen McLaughlin, Citizens to Complete the Refuge, said their experience with Facebook has been good with ongoing communications and consulting on various projects. She said Facebook has had an exceptional response to ecological issues. She said there was a biological impact related to the multi-use bridge over Bayfront Expressway that was not included in the EIR. She said Facebook has applied to the US Fish and Wildlife for a Section 7 application under the endangered species act and that was related to the bridge. She said the bridge intrudes into a refuge noting the endangered snowy plovers. She said the response was not accurate to comments brought to the consultants doing the EIR as they said there was no impact on the refuge when in fact there was. She said as it was not included there was no opportunity to mitigate and monitor.
- Clem Moloney, Menlo Park, said he had reviewed the project and documents, and been participant with ConnectMenlo meetings. He said as a neighbor of Facebook he has noticed that the project was designed very thoughtfully and was responsive to various concerns. He said the new traffic impacts were huge but being mitigated well. He said the land use changes, the BMR agreement, the public benefit proposal, and fiscal analysis all seemed to be appropriate. He said the addition of transit to the campus was part of ConnectMenlo and would prove to strongly reduce auto trips. He said the trip caps and the very robust and multiple TDM programs would do a lot to mitigate the traffic impact. He said he supported the project.
- James Ruigomez said he was representing the San Mateo County Building and Construction Trade Council, which was comprised of 22 local unions representing about 16,000 highly skilled men and women. He asked representative members to stand noting that some dozen more had to leave as work started at 6 a.m. the next day. He said this diverse workforce of San Mateo County, many of whom live in Menlo Park, understands the critical need to move forward with the Facebook project.
- Ellison Folk, Shute, Mihaly & Weinberger, said she was appearing on behalf of the City of East Palo Alto. She said the issue of displacement was important to the City as it was not addressed at all in the EIR. She said the consultant indicated the belief that displacement was

not an environmental issue but a socio-economic issue. She said when people were displaced there was a direct effect on those people and creates the need to build new housing further exacerbating the jobs housing imbalance so people need to work further from their work. She said this needed to be shown in the EIR and addressed. She said the EIR found that only a few Facebook employees live in East Palo Alto so the impact of the expansion would be minimal on East Palo Alto. She said however that CEQA also required agencies to look at the indirect effects of projects. She said the real impact was the pressure that projects like these create on the housing market by increasing housing costs and forcing people out who cannot pay those increased costs. She said they were seeing this happen in the Bay Area and there was evidence in the records that landlords in the region were evicting tenants or holding properties off the market to raise rents and to convert properties to something more appealing to employees from Facebook. She said that if Facebook was not the only contributor to the problem, the cumulative effect had to be addressed. She said there was an unavoidable impact to an intersection in East Palo Alto and they asked the City of Menlo Park to address that and mitigate it.

Chair Strehl closed the public hearing. She recessed the meeting for a short break.

Chair Strehl reopened the meeting.

Commission Comment: Replying to a question from Commissioner Barnes, Senior Planner Perata said that the development agreement (DA) applied to 301-309 Constitution Drive, and when acted upon favorably by the Council was an ordinance that would be effective 30 days later. He said regarding Building 22 that the applicant would need to come back to the Commission for a formal architectural control review for the style of the building. Commissioner Barnes asked if the entitlements to the City in the DA would commence upon approval whether or not Building 22 was built. Ms. Prince said that once approved the entitlements in the DA would become effective whether or not any of the project was built. Replying to Commissioner Combs, Senior Planner Perata said the plans for the hotel and Building 22 would need to be approved by the Commission at a later date.

Commissioner Barnes asked about the various housing elements proposed including the housing inventory local supply study, housing innovation fund, and housing perseverance fund.

Mr. Knight, said regarding the preservation fund that they have an MOU with MidPen to look at preserving units and affordability in perpetuity. He said one way would be to help support through rental assistance or purchasing properties and placing some type of covenants for affordable housing in perpetuity. He said they saw the housing supply study and the innovation fund as linked. He said in speaking broadly with the community there were a number of housing issues and there was not enough information to establish a baseline of understanding as it was changing so rapidly now as to how that baseline would work. He said they received really important advice from several community leaders to have a baseline study and that was the \$350,000 commitment to the housing inventory local supply study. He said they recognized there might be other low cost ways of innovating around housing and keeping people in their homes.

Replying to Commissioner Barnes, Mr. O'Shea said when they considered housing for the DA they thought about different areas in which they could help. He said the first was projects and they thought about that with the BMR fund and working with MidPen on affordable housing. He said the second was around policy and how they might help influence policy around affordable housing; and setting up a fund to work with nonprofits on opportunities for housing preservation.

Commissioner Barnes said regarding BMR that they could direct or provide the units and something between the two. Mr. O'Shea said there were 20 units and \$6.5 million for BMR and they had a certain time period to find a project or to pay fees directly into the City's fund. He said on Building 20 they worked with St. Anton and some of those units would come online this year. He said for Building 23 they were working on some units. He said they would prefer to provide units over paying an in-lieu fee.

Commissioner Barnes noted under transportation in the DA that \$1 million was for the Regional Transportation Forum and asked what that was. Mr. Knight, Facebook, said in 2000 there was a lot of traction around Dumbarton Rail and that was lost. He said internationally there was a fairly simple way of doing an industry forum to get rail operators, construction and financing entities, and broader planning agencies to get together and plan an "industry forum." He said they thought as an outcome of the Dumbarton Rail Corridor Study that they could not afford for the Study to be shelved again. He said they need to excite action around transformation of the transportation system. He said the forum was a way of speeding up of the Dumbarton Rail.

Commissioner Barnes asked about the \$1 million for Bedwell Bayfront Park. Mr. O'Shea said the fund would go toward the maintenance of the park; they saw it as improving an already great community amenity. Commissioner Barnes said there was \$1.25 million associated with the guarantee for the TOT and other hotel fees, from \$600,000 to \$13 million. He asked if that was over and above the guaranteed amount. Mr. O'Shea said that was structured by looking at what the existing sales tax revenue coming from the project was. He said Facebook would pay four times that for several years after TE left until the hotel was built. He said in time those payments would end and it would transition to a TOT guarantee.

Chair Strehl asked Mr. Knight if the Regional Transportation Forum was to look for expressions of interest from the industry, and public / private partnerships. Mr. Knight said yes and was an action item forum. He said there was a private operator offering to put on the line. He said they understood that high speed rail would go through a similar exercise around Gilroy to San Francisco next year. He said they were hoping to dovetail off some of those other activities and act fast.

Commissioner Onken asked if the City staff or at the City Council were discussing rent control. Principal Planner Chow said the Council had identified that as an issue and Jim Cogan, Housing and Business Development Manager, would develop a study session to look at the larger issues of rent control and other policies and programs that might help stabilize housing in the City. She said there was no date set at this time.

Commissioner Onken asked regarding traffic cut through in Belle Haven whether the interest was in keeping daytime cars off the streets. Nikki Nagaya, the City's Transportation Manager, said the biggest concern about cut through traffic was not so much parking overflow but commuters traveling through the streets to access, in particular, Hwy. 101 during evening commute hours. She said there were conditions in the trip count policy requiring that any sort of overflow parking be addressed and forced back onto campus.

Commissioner Riggs noted on page 5 the CDP signage regulations and asked about electronic signage. Senior Planner Perata said electronic signs were not permissible in Menlo Park. Commissioner Riggs said in the DA there was a commitment to 1500 housing units on the Prologis site. He said this was dependent on the General Plan moving forward so there was no actual commitment to provide any housing. Ms. Prince, said it would not be appropriate for the City to

pre-approve a project, and it was only appropriate in the DA to ask them to design. Commissioner Riggs said they could not require the bridge over Bayfront Express or the new signalization as those require Caltrans approval but a good faith effort was required. He asked if that would be an appropriate way to phrase the 1500 units. Ms. Prince, said she saw the commitment to design the 1500 units as a good faith effort to achieve those. She said it was a CEQA case law issue that you cannot pre-approve a project without environmental review and the examples Commissioner Riggs used were part of the environmental review as opposed to pre-approving a project that has not yet undergone environmental review.

Commissioner Riggs said Facebook had not yet decided if it would build Building 22 or the hotel. He said the economics the City was looking forward to regarding this project almost entirely hinged on the hotel project. He said the Belle Haven side of Building 21 was much closer to residences than Building 20. He asked what landscaping was planned.

Mr. O'Shea said as part of the DA that Facebook was required to pay the minimum payments for the hotel so it was in their best interest to get that built as quickly as possible.

Chris Guillard, CMG Landscape Architecture, said the planting along the back end of the building (21) was in two rows of trees similar to the natural California landscapes found along the front of Building 20. He said they were creating buffer strips between the Dumbarton Corridor and the building. He said they could not plant in the Corridor due to various rail restrictions and transportation considerations of that Corridor. Replying to Commissioner Riggs, Mr. Guillard said it would be a mixture of California oaks, some arbutus species, Toyon, and areas of storm water management that would include alders and some poplars. He said understory planting was a kind of California coastal scrub.

Commissioner Riggs asked about the pathway down the Dumbarton Corridor and asked how continuous it would be. Mr. O'Shea said it was dependent on the outcome of the Dumbarton Corridor Study. He said part of the design was to look at cross sections and intersections. He said it would be continuous from East Palo Alto to approximately Marsh Road and the feasibility study was looking at how to move people there, whether with crosswalks or bridge. He said they would have to figure out what to do at Willow Road as well. Commissioner Riggs said in less comfortable economic times the railroad right of way was used as an access point to jump over the fences of residences to burglarize homes and escape quickly.

Commissioner Riggs said the construction hours were 7 a.m. to 10 p.m. during work days which was helpful for large projects in the industrial area. He asked if the extended hours were part of the negotiations. Senior Planner Perata said the City's Noise Ordinance did not limit construction hours but identified the hours when construction activities were exempt from it, which was 8 a.m. to 6 p.m., Monday through Friday. He said the applicant, as part of their request, presented the hours they would typically work so that was built into the environmental review. He said the CDP sets hours of work and states that work outside the hours of 8 a.m. to 6 p.m. would not be exempt from the Noise Ordinance and would have to comply with the daytime limits of the Noise Ordinance.

Commissioner Riggs said a public speaker mentioned that the bridge landing would intrude into the refuge and that was not in the EIR. He asked if the bridge was a separate project from the project and the EIR. Ms. Nagaya said the bridge was part of the project. Ms. Chapman said the EIR evaluated a cantilever area over the refuge but did not include analysis of a touchdown. She said their understanding was that the bridge design did not include a touchdown into the refuge. She

said it would intrude into the Caltrans right of way but it would not touch down into the Refuge property and the EIR disclosed that.

Commissioner Kahle said communication from the Atherton Traffic Commission said to would be easy to address two intersections at Bayfront Expressway both at Willow Road and University Avenue. He asked if the applicant had any input on that and whether they had discussion with East Palo Alto regarding the University Avenue intersection. Mr. O'Shea said he would defer to staff.

Ms. Nagaya said comments recommended roundabouts for sections of University and Bayfront and Willow and Bayfront. She said both intersections were within the City of Menlo Park and under Caltrans jurisdiction. She said the recommendations that came out of the EIR analysis were to look at grade separations at both intersections as opposed to roundabouts because of the volume of traffic. She said a roundabout to handle that volume of traffic would have to be a multiple lane roundabout which would have a large circle to configure, which they did not think would fit well.

Commissioner Kahle asked if the auditorium building had John Deere green on all sides. Mr. Webb said only on the south side. He said the majority of the building was gray standing sheet metal panels. Commissioner Kahle asked if they had looked at treating the rather monolithic wall that would face Bayfront Expressway. Mr. Webb said they had and at one point were considering a large scale work of art. He said Facebook however wanted anonymity of the buildings and to not make a big statement on the Expressway. He said they decided to keep that side monochromatic and have landscaping

Commissioner Kahle asked what the landscaping would look like after the next stage was completed. Mr. Guillard said the depth between Bayfront and Building 21 was deeper than that between Bayfront and Building 20. He said the amount of landscaping between Bayfront and Building 21 would be denser and richer, but similar in character. He said the landscaping was intended to unify the campus and create an environment that weaved together the natural ecosystem of the Bay. He said the main corridor between the two buildings would be thickly planted with trees. He said along the Dumbarton Corridor there would be thicker planting along the building and a larger park area creating a green space between the Chilco Street improvements and the future Building 22. He said on the Building 22 corridor there was about a 50-foot landscape buffer between the Bayfront and the building. Commissioner Kahle asked if the rooftop garden would be apparent once the landscaping was grown in. Mr. Guillard said several locations along the roof landscape of Building 21 would open down to the Bay creating views. He said there were locations where the roof garden would be visible but it would be more enclosed than Building 20's in response to wind issues they found with the latter's roof garden.

Commissioner Onken asked about FAR with the up zoning of the M-2. Senior Planner Perata said the maximum office FAR in M-2 was 45%. He said other uses could go up to 55%. Commissioner Onken asked if office would still be at 45% FAR under ConnectMenlo. Principal Planner Chow said the proposal for the new planning districts for O and LS would potentially replace the M-2. She said the amount of office FAR would remain at base level 45% and the allowance for additional office or life science R&D would be 55% FAR. She said FAR for bonus level development would exceed those base level numbers.

Commissioner Onken said correspondences from East Palo Alto contained intimations of a lawsuit. Ms. Prince said the City has prepared the legally required documents for the project.

Commissioner Barnes said the intent was to integrate the look of landscaping along the Bayfront but the canopy for Building 21 looked about 50% of that for Building 20. Mr. Guillard said the model showed one to five year trees. He said the density and the size of the trees proposed for the project expansion were as dense as those for Building 20, and in many cases were plantings larger than what was planted along the frontage of Building 20. He said along the Bayfront edge and the south edge 420 trees would be planted at the site level alone. He said at Building 20 they had 370 trees at the site level. He said the number of trees and sizes were commensurate throughout the project.

Commissioner Barnes noted the proposal for 750-foot height for Building 21 and asked what the total height would be with the mechanical screening, and the experience of that for the Belle Haven side. Mr. Webb said they understood that the mechanical had to fit within the 75 foot height. Senior Planner Perata said the zoning allowed for additional height for mechanical screening and the CDP throughout indicated a 75-foot maximum permitted height and to use additional screening for mechanical as well as for elevators and stairwells.

Commissioner Barnes asked if the water recycling that was expected to save 20 million gallons of water annually was for both Buildings 20 and 21. Mr. Webb said the system would take black water from Buildings 21 and 22 as the input, treat it, and then generate the water for the landscaping for all four buildings. He said the purple pipe for recycled water was installed in Building 23. He said the hotel would be standalone.

Commissioner Barnes noted the speaker from San Francisco who indicated Facebook's buses were causing challenges and an inverse increase to trip caps.

Mr. O'Shea said they were nearly at 50% TDM participation. He said their shuttles have routes to Santa Cruz, East Bay, Oakland, and Walnut Creek. He said they looked at where people lived and getting them out of their cars. He said they started direct routes such as to the Mission or Van Ness. He said they have a direct shuttle cycle from Building 20 to Van Ness and that was cutting down the number of stops needed as well.

Chair Strehl asked if they were working with the San Francisco Mayor's Office, Muni and their Board of Supervisors. Mr. O'Shea said the City's Board extended the pilot program and likely would extend it next year again. Chair Strehl said with 6500 new employees in Buildings 20, 21, and the hotel and net new parking of 2570 spaces, the TDM was crucial. She said hopefully the trip cap would never be met. Mr. O'Shea said they were managing within the trips allotted. Chair Strehl noted the speaker who indicated they had gotten a permit from US Fish and Wildlife and confirmed there was not affect to endangered species with the EIR consultant. Chair Strehl asked what the special events were. Mr. O'Shea said such things as friends, family's days and inviting others to the campus.

Commissioner Riggs referred to the speaker's concerns with bus impacts in San Francisco. He said although it was not an issue for the Commission, he would hate for Menlo Park to be the curse of six neighborhoods because of Facebook shuttles. Mr. O'Shea said there were a set number of pickup zones in San Francisco that were regulated by SFMTA. He said Facebook pays for every stop a shuttle makes at one of those regulated zones and there were very strict criteria of how zones were used. He said the fee they pay goes toward enforcement. He said one of the requirements was that smaller buses had to be used on smaller streets.

Commissioner Riggs referred to Ms. Folks' comment about the intersection in East Palo Alto and the significant and unavoidable impact and asked if this was outside Menlo Park's jurisdiction. Ms. Nagaya said the Bayfront and University intersection was within the City of Menlo Park and a project study report was looking at potential grade separation. She said that she believed the speaker was referring to the intersection of University Avenue and Bay Road next to East Palo Alto's City Hall and the University Avenue and Donahoe intersection at the Hwy. 101 ramps. She said they looked at potential mitigations including widening and adding turn lanes. She said widening required additional right of way which made the impact significant and unavoidable. She said staff would continue to coordinate with the City of East Palo Alto on mitigations where feasible.

Commissioner Onken said regarding item 2 of the recommendations that the zoning ordinance text amendment was fine as the days of manufacturing in Menlo Park were long gone and not coming back; regarding rezoning and the CDP that what was zoned for was done in what he thought the best way to develop this site; regarding the concern about heritage trees that many of those were the scraggly kind built around industrial sites and additionally he planting plan and care given to landscape was assuring; he liked the choices under BMR housing agreement; and in the EIR he found the comments on displacement interesting. He said that of all the uses or clients to be on this site, this proposal was the best possible development strategy. He noted the healthy TDM and a population committed to not adding to the traffic. He said he generally supported the use permit and accepted the EIR as an accurate enough assessment of what's happening in Menlo Park and to this property.

Commissioner Kahle said the EIR and mitigations were appropriate for the project.

Commissioner Barnes said the EIR was comprehensive and illustrative of the facts. He said the DA was comprehensive and tried to look at different topics; the economics were good for the City; the BMR was fine; and the interest in the best and highest use in the area. He said that it took a very attractive owner / user entity to develop this project noting the extensive remediation needed.

Commissioner Riggs said it was important to evaluate if the project had earned the Statement of Overriding Considerations compared with its impacts. He said a comment letter to Commissioners today stated that a statement of overriding considerations could not rely on just one item. He said however there were a good half dozen reasons why this was a good project for MP. He said most of Building 21 had the same bulk as Building 20 except for mechanical space which was an extra five feet tall and segments of the building were higher. He said however the massing was attractive and the building was no in an impactful location. He gave Facebook a lot of credit for their internal circulation and management of its TDM commitment to a trip cap. He said in the DA, the subsidized rent units were indicated for employees, public safety profession and nonprofits. He said he would caution how nonprofit organizations were enabled referring to high administrative overheads. He said the mitigations on the project were outstanding, and he had no problem approving a major project in an area where transportation was a serious problem. He said however that the infrastructure needed to be improved to handle increased development.

Chair Strehl said she agreed with Commissioner Riggs about lacking infrastructure and the need for City and County, Regional Transportation entities to commit to improving.

Commissioner Onken made a noted of the potential for neighborhood cats to get to the refuge using the bridge.

ACTION: Motion and second (Barnes/Riggs) to make all the recommendations to the City Council

as presented in Attachment A to the staff report; passes 5-0 with both Commissioners Combs and Goodhue recused.

**Attachment A
RECOMMENDED ACTIONS FOR PLANNING COMMISISON
Facebook Campus Expansion Project
(301-309 Constitution Drive)**

Environmental Review

1. Recommend that the City Council Adopt a Resolution Certifying the Environmental Impact Report and adopting the findings required by the California Environmental Quality Act, Certifying the Environmental Impact Report, Adopting the Statement of Overriding Considerations, and Adopting the Mitigation Monitoring and Reporting Program for the Facebook Campus Expansion Project, located at 300-309 Constitution Drive (Attachments T and U).

Zoning Ordinance Text Amendment

2. Recommend that the City Council Introduce an Ordinance amending the text of the M-2 (General Industrial) zoning district to add hotels, including ancillary facilities, to conditional uses. (Attachment N)

Rezoning

3. Recommend that the City Council Introduce an Ordinance Rezoning the property at 300-309 Constitution Drive from M-2 (General Industrial) and M-2(X) (General Industrial, Conditional Development) to M-2(X) (General Industrial, Conditional Development) (Attachment M).

Conditional Development Permit

4. Recommend that the City Council Adopt a Resolution Approving an Amended and Restated Conditional Development Permit for the property located at 300-309 Constitution Drive and 1 Facebook Way (Building 20) (Attachment E and F).

Development Agreement

5. Recommend that the City Council Introduce an Ordinance Approving the Development Agreement for 301-309 Constitution Drive (Facebook Campus Expansion Project). (Attachments Q and R)

Lot Line Adjustment

6. Recommend that the City Council Adopt a Resolution Approving the Lot Line Adjustment between parcels 055-260-250 (300-309 Constitution Drive) and 055-260-290 (1 Facebook Way, Building 20) (Attachments O and P).

Heritage Tree Removal Permits

7. Recommend that the City Council Adopt a Resolution Approving the Heritage Tree Removal Permits for the Facebook Campus Expansion Project (Attachments H, I, and J).

Below Market Rate Housing Agreement

8. Recommend that the City Council Adopt a Resolution Approving a Below Market Rate Housing Agreement with Hibiscus Properties, LLC for the Facebook Campus Expansion Project (Attachments K and L).

H. Informational Items

- H1. Future Planning Commission Meeting Schedule
- Special Meeting: October 19, 2016 (Wednesday)
 - Regular Meeting: October 24, 2016
 - Regular Meeting: November 7, 2016
 - Regular Meeting: November 14, 2016

I. Adjournment

The meeting adjourned at 10:56 p.m.

Staff Liaison: Deanna Chow, Principal Planner

Recording Secretary: Brenda Bennett



REGULAR MEETING MINUTES - DRAFT

Date: 10/19/2016

Time: 7:00 p.m.

City Council Chambers

701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Katherine Strehl called the meeting to order at 7:01 p.m.

B. Roll Call

Present: Andrew Barnes, Drew Combs (Vice Chair) (recused before item F1), Susan Goodhue, (recused before item F1), Larry Kahle, John Onken (recused before item F1), Henry Riggs, Katherine Strehl (Chair)

Staff: Deanna Chow, Principal Planner, Nikki Nagaya, Transportation Division Manager, Azalea Mitch, Senior Civil Engineer, Heather Abrams, Sustainability Manager, Leigh Prince, City Attorney

C. Reports and Announcements

The Commission beautifully sang Happy Birthday to Commissioner Henry Riggs.

D. Public Comment

None.

E. Consent Calendar

- E1. Approval of minutes from the September 12, 2016 Planning Commission meeting. ([Attachment](#))

Commissioner Goodhue noted on page 9, in the sentence beginning "Vince Bressler said..." to change "foundation" to "fountain" and on page 12, last line, sentence "He said the modifications to the" to change "user" to "use" (permit).

Commissioner Riggs said on page 36, in the last paragraph, 3rd line, that the word "conservation" should be changed to "conservative" and in the same line, the word "element" should be "development".

ACTION: Motion and second (Goodhue/Combs) to approve the minutes as submitted with the following modifications: passes 6-0 with Commissioner Onken abstaining.

- Page 9, sentence beginning "Vince Bressler said..." change "foundation" to "fountain";

- Page 12, last line, sentence: “He said the modifications to the...,” change “user” to “use” before “permit”; and
- Page 36, last paragraph, 3rd line, word “conservation” should be changed to “conservative” and same line, the word “element” should be “development”.

Commissioners Combs, Goodhue and Onken were recused due to potential conflicts of interest for item F1.

F Public Hearing

- F1. City of Menlo Park/General Plan and M-2 Area Zoning Update, including a General Plan Amendment, Zoning Ordinance Amendment, Rezoning, Environmental Review:

The City is proposing to update the Land Use and Circulation Elements of the General Plan, including revised goals, policies and programs, the establishment of new land use designations, and the creation of a new street classification system. The General Plan Update seeks to create a live/work/play environment that fosters economic growth, increased sustainability, improved transportation options and mobility, while preserving the existing residential neighborhood character and quality of life enjoyed today. The land use changes are generally focused in the M-2 Area (which is primarily the existing industrial and business parks located between Bayfront Expressway and Highway 101) and could result in an increase in development potential above what would be allowed under the current General Plan, as follows:

- Up to 2.3 million square feet of non-residential space;
- Up to 4,500 residential units; and
- Up to 400 hotel rooms

This additional development potential in the M-2 Area, combined with the remaining development potential under the current General Plan, would result in a total of up to 4.1 million square feet of non-residential development and up to 5,500 residential units in the City.

The Planning Commission will consider and make recommendations to the City Council on the following:

1. General Plan Amendments: Incorporate the updated Land Use and Circulation Elements into the General Plan. Change the General Plan land use designations of properties in the M-2 Area to one of the following designations - Light Industrial, Office, Life Sciences, Mixed Use Residential, Baylands and Public Facilities. No land use designation changes are anticipated outside of the M-2 Area and Baylands Area.
2. Zoning Ordinance Amendments: Create three new zoning districts in the M-2 Area for consistency with the proposed General Plan Land Use Element. The proposed zoning districts include Office (O), Life Science (LS) and Residential-Mixed Use (R-MU) designations. The O district includes overlays to allow hotels (O-H) and corporate housing (O-CH). Overlays for bonus level development are also proposed in the Office, Life Science and Mixed-Use zoning districts (O-B, LS-B, and R-MU-B). In addition, proposed changes to the C-2-B (Neighborhood Commercial District, Restrictive) zoning district would allow for residential uses with up to 30

dwelling units per acre and heights of up to 40 feet for mixed use development. The zoning ordinance amendments also include proposed modifications to streamline the hazardous materials review process as an administrative permit, subject to the review and approval of the Community Development Director (or designee) when certain criteria are met, and other minor modifications, such as allowing administrative review for architectural changes in the O and LS districts similar to current regulations for the M-2 district, changes to the nonconforming uses and structures chapter, and other minor text amendments for consistency in implementing the proposed changes to the M-2 Area.

3. Rezoning: Rezone property in the M-2 Area to one of the following zoning designations for consistency with the proposed General Plan land use designation amendments – O (Office), Office, Hotel (O-H), Office, Corporate Housing (O-CH), Office, Bonus (O-B), Life Science (LS), Life Science, Bonus (LS-B), Residential Mixed Use, Bonus (R-MU-B), Public Facilities (P-F), and PF (Flood Plain).
4. Environmental Review: Review of the Final Environmental Impact Report (EIR) prepared for the General Plan and M-2 Area Zoning Update, which analyzes the potential environmental impacts of the General Plan and M-2 Area Zoning Update.

(Staff Report #16-083-PC)

Staff Comment: Principal Planner Deanna Chow reviewed the various actions the Commission would consider in making recommendations to the City Council on the General Plan and M-2 Area Zoning Update. She introduced Charlie Knox and Rosie Dudley with Placeworks; David Shiver and Stephanie Hagar with BAE Urban Economics, and Jessica Alba with Nelson/Nygaard. She noted the Commission had received an additional 15 pieces of correspondence since the distribution of the staff report. She said in the correspondence several persons commented that comments related to Vehicle Miles Traveled (VMT) in the Final Environmental Impact Report (FEIR) were not addressed. She said however the comments related to VMT were addressed in the Transportation Master Response in the FEIR but not in Chapter 3 of the revisions. She said an errata sheet of the edits consistent with the Transportation Master Response had been distributed for the Commission's review as well as a corrected table in the Fiscal Impact Analysis (FIA), Table 39B.

Charlie Knox, Placeworks, introduced the items before the Commission noting the general process for the meeting, and the history of the public process for the item. He said that public process had led to the definition of 2.3 million square feet of new non-residential development; up to 400 hotel rooms, and up to 4500 residential dwelling units in the M-2 zoning area. He said one of the key programs to do an annual review of the General Plan was directly tied to the Capital Improvement Program, and the Commission in its annual review would look directly at whether programs in the General Plan were actually covered by projects the City was undertaking. He said also a statement had been added that the Community Amenities list, which had evolved through both the Belle Haven visioning process and the General Plan Update process, could be modified to meet future community needs.

Mr. Knox said the Circulation Element categories were Safe Transportation, Health and Wellness, and Traffic Demand Management (TDM). He said since the Commission's laws review of the General Plan Update, clarification had been made on how to reestablish the City's Level of Service (LOS) Standards as complementary to the new state VMT standards.

Mr. Knox said three new zoning districts of Office (O), Life Sciences (LS), and Residential Mixed

Use (R-MU) were proposed. He said development in these new districts included TDM program, green building regulations, design standards that were measurable, and provision of community amenities, noting for the last there was a formula and process for achieving those amenities. He said additional changes over the last several months included increased residential height in the C-2-B (Neighborhood Commercial District, Restrictive) zoning district and included a parcel outside the M-2 near the Oil Changers at Bay and Willow Roads. He said they also worked on a streamlined process for hazardous materials use permit approvals.

Mr. Knox said since the Commission's study session in May of the project the height limits were increased to allow for flood protection in flood zone areas or areas subject to sea level rise in response to comments from interested parties that additional height was needed if they had to raise the base level for flood protection. He said there was a Floor Area Ratio (FAR) sliding scale for bonus development to allow flexibility, and added flexibility related to the design standards. He said façade only improvements would not get the same attention as a large amount of floor area being added or changed. He said the maximum setback in the LS District was eliminated in accordance with property owner and Commission direction. He said also the corner built to envelope had been modified and there was more flexibility related to rooflines. He said it was clarified that Community Amenities for bonus level in the R-MU zoning district included a requirement to provide 15% affordable housing and within 50% of the value of the additional gross floor area. He said the housing was credited toward that 50% value. He said once a developer reached the 15% affordable housing there was the ability to do different things such as physical improvements on the Community Amenities list. He showed the most updated map of the M-2 zoning area and noted the changes made.

Mr. Knox said regarding the EIR for the project that CEQA required the identification of impacts on the environment to be mitigated or if not possible to mitigate, the City would have to adopt a Statement of Overriding Considerations. He said that document had been drafted for review. He said program level EIRs described large, broad issues and were not related to any one project or any one set of development activities. He said mitigation wherever feasible occurred through the policies and programs in the General Plan and the zoning standards. He said this would allow for future projects that were site specific development to be streamlined in terms of review, and could tier off this EIR as long as it was complying with the zoning. He said the FEIR was the October 2016 Response to Comments document together with the Draft EIR, and that Chapter 3 contained revisions to the EIR. He said for the most part that air quality greenhouse gas emissions impacts were unavoidable due to regional context; transportation although significantly worse in Menlo Park than in many places was a regional issue, but mitigation efforts where feasible would be used to address the impacts, noting some of which were not within the City's control. He said impacts to population and housing were basically significant and unavoidable in relation to regional context. He said that CEQA requires the consideration of alternatives to a project. He said one was the "no project alternative." He said the proposed project was the highest impact alternative as it would allow for about 2 million more square feet of development citywide as currently in place. He said another alternative would have overall reduced development and with the same ratio of jobs and housing and residential and nonresidential development in the M-2 area but at 75% level. He said another alternative looked at reducing the non-residential development by 50% which under CEQA was the preferred alternative as there was more new housing than jobs and housing could mitigate some of the impacts. He said an important change per public comment on the EIR was the language in the mitigation measures for air quality, biological resources, water supply and flooding to make the mitigation measures more stringent to try to protect biological resources. He said there were no new impacts discovered or required mitigation under CEQA.

Mr. Knox said the accompanying Fiscal Impact Analysis (FIA) looked at the fiscal benefits for the ConnectMenlo potential development to a theoretical maximum build out for the plan duration. He said General Plan build out, if no project were adopted, would produce about \$2.6 million per year over the duration. He said the additional development built into Connect/Menlo would more than double that in addition to it and was projected at \$8.3 million per year in net fiscal benefit to City over the duration of the 24-year plan. He said adjustments had been made to the FIA based on its last review before the Commission. He said the General Plan build out was shown separately and the distribution of housing per school district was updated. He said the 1500 units intended to be built as corporate housing would not generate multiple occupants and students. He said there were no impacts from the project to the Ravenswood City and Redwood City school districts. He said ConnectMenlo was revenue neutral for the Las Lomitas school district but potential build out under the current General Plan would have a \$675,000 impact annually, and was about 3% of their annual budget. He said the Menlo Park City school district build out under the current General Plan had a net negative fiscal impact of \$3.4 million per year or 8% of the school district's annual budget. He said the Sequoia Union High School District impact annually was about \$1.6 million per year and based on the 1500 units on the Facebook campus being corporate and not family housing. He said that amount was 1.2% of their current annual budget.

Commissioner Barnes asked about the 400 hotel unit count and potential number of hotels, noting the map in Attachment G, Exhibit B. Mr. Knox said General Plan Advisory Committee (GPAC) discussion thought synergy would be created having a hotel on one side of the corner and a potential hotel site on the other side. Commissioner Barnes asked about the owner of the other parcel. Principal Planner Chow said she could not recall the property owner's name but noted letters were sent to the property owners whose property would be rezoned in addition to the general noticing or property owners and occupants in the M-2 area. Commissioner Barnes asked about a third site in Haven area. Mr. Knox said the parcel inquired about was owned by Bohannon but was not the site of the Menlo Gateway project. He said property between Marsh Road and the City limit on Haven Avenue was also shown on the zoning map within the O-H zoning district. Commissioner Barnes asked if the 400 hotel rooms were first come, first served. Mr. Knox said the 400 number was the result of long discussion, and looked at viability of the hotel room program as about 150 rooms per hotel with some flexibility. He said if a proposal came in for a 400-room hotel that would be a discussion as to whether it was appropriate for the site.

Commissioner Barnes noted Exhibit D, R-MU, the area of Constitution and Jefferson down to Marsh Road, slated for 1,000 residential units. He said Sobrato was intending to build 600 units and asked about the ownership of the parcels to the left and right of the Sobrato parcel. Mr. Knox said they had a comment from the owner of the most westerly parcel in reaction to the placement of the paseo. He said he did not know if there were discussions between Sobrato and adjacent neighbors as to how many units would go on one site. Commissioner Barnes asked if the affordable housing requirement was intended to apply to the housing units in O-CH. Principal Planner Chow said it was not and the units would be deed-restricted to Facebook employees only.

Commissioner Riggs asked about the 50% of the presumed increased value and land that was repeated as a basis of providing community amenities as there had been no conclusion as to how that figure had entered the report. He asked if that was a Council directive. Mr. Knox said after the establishment of the guiding principles and the General Plan Working Group workshops to develop the alternative that they had talked to Council about amenities. He said discussed logic behind the 50% was it characterized the increased value of development allowed by the new zoning designations to be shared among the community and the developer. He said he recalled they received Council direction not whether it should be 50% but to proceed on the basis that 50%

represented an equal sharing of increase valued of the property between the property owner and the community.

Commissioner Riggs asked if Commission discussion assisted in defining the design elements. Mr. Knox responded affirmatively noting that had been very helpful, and resulted in some flexibility that would allow staff to administer and easier for architects and designers to work with. He noted some outstanding issues that were described about setbacks and LS districts, and rooflines. Chair Strehl asked if 50% of the increased density value included all the costs. Mr. Knox said cost of doing business was included.

Commissioner Barnes said he was concerned that the listed Community Amenities were not prioritized. Principal Planner Chow said Exhibit A of Attachment H list showed the order of priority based on the input received. She said there was the ability under the project to revisit the amenities list in the future.

Chair Strehl said that the Sequoia Union High School District wanted space in what had been the industrial area, and asked if designating them public facilities (PF) would affect neighboring properties. Mr. Knox said he did not see problems regarding compatibility and having safeguards for uses that were compatible.

Chair Strehl opened the public hearing.

- Eileen McLaughlin, Citizens Committee to Save the Refuge, said Caltrans owned the land north of the railroad spur; it was permanently protected as Salt Marsh Harvest Mouse mitigation and could not be developed and the other property was owned by someone else. She said both were within the National Wildlife Refuges acquisition boundary established by Congress specific to wetland habitats suitable for inclusion in a refuge. She asked delay of the approval of the FEIR due to many concerns particularly about the biological resources section. She said the biological resource assessment language repeatedly used 10 foot as the distance from the project site to wildlife to assess. She said species were not judged by one number as far as distance on impacts. She said the FEIR was not ready for any kind of approval due to these concerns about its addressing of biological resources.
- James Eggers, Executive Director, Loma Prieta Chapter, Sierra Club, said they appreciated the changes related to bird friendly design and green buildings. He said they would also submit a letter later. He said Facebook East was an island surrounded by habitat on all sides including open space habitat to the south. He said the 1500 units proposed upon 57 acre site could house anywhere from 3,000 to 6,000 residents based on unit size and occupancy. He said Belle Haven was 23,000 acres with a population of 5,500. He said the corporate housing seemed too unrealistically dense or perhaps it needed fewer units. He said there had been no discussion about what the O-CH zoning designation meant and they would like that to happen. He asked if the General Plan should have planned infrastructure for a wide tunnel under Willow Road to connect Facebook West Campus to mixed use villages on the south side and whether there would be pedestrian connection to amenities. He said they wouldn't want people marooned on the Facebook campus or to have nighttime lights near the wildlife refuge. He said bonus level for R-MU zoning would allow taller building doubling the size of what R-MU allowed and would also allow office space to increase by 15% of the volume. He said if office space took up 25% of the larger buildings that would encourage office development and very few spaces for residential sites. He said R-MU should not encourage office use as that would create an even greater imbalance between work and housing.

- Patti Fry said her comments would be in addition to the specific comments she had sent earlier; particularly concerns about consistencies among the land use elements and the zoning ordinance, and poorly worded things that were confusing. She said the zoning ordinance amendments needed good attention. She said the planning process had been too limited and the EIR showed there were many impacts that would occur citywide yet the mitigation measures were for the most part restricted to the M-2 area. She said the TDM measures, parking limits, green building measures and those kinds of measures only applied to the Bayfront area. She said a lot of impacts could be lessened further if there was some attention to the rest of the City. She said the current General Plan allows a job/housing ratio of 4.6 in the pipeline projects; ABAG assumes a 2.2 ratio. She said just the zoning allowed in the rest of the City could perpetuate their existing housing shortage. She said there were superior alternatives to the project such as the environmentally superior one that was a reduced residential alternative. She said if that were to include the full complement of hotel space then the budget impact on the City would be 80% of what the project itself would provide and far fewer impacts. She said that was a better way to grow with less intense non-residential development. She said the California State Transportation Agency said the City should consider restricting the magnitude of future development to reduce the VMT demand on the state traffic. She said funding mechanisms for the community amenities and traffic improvements, which were also considered mitigations in another part, were not in place and she was concerned that if any of the project was approved there were development projects that would move forward without anything in place to provide amenities and traffic improvements. She said the nexus studies were required to change the impact fees and those would need to apply before project approvals were granted, otherwise the taxpayers would be left responsible for the things that needed to be done.

Chair Strehl asked if Ms. Fry had additional speaking time from another person. Ms. Fry said she did.

- Ms. Fry said the idea of live/work/play made sense but the proposal indicated there were not enough places to live and things to play. She said that playing fields were not even mentioned for instance. She said if they had 50% more population then more sports facilities would be needed. She said it was good to focus on the Belle Haven community but that was a specific plan and not a citywide plan. She said the EIR did not have standards and thresholds of significance for measuring impacts, and the new land use and circulation elements did not either. She said they needed measurable goals and standards. She said mitigation measures needed to be looked at citywide and funding mechanisms for amenities needed to be put into place now otherwise taxpayers would be left holding the bag for these improvements. She said it as the first comprehensive update since 1994 and they could do better.
- Adina Levin, Transportation Commission and GPAC member, said she was speaking as an individual. She said the project represented years of community input to express a live/work/play vision in the Bayfront / Belle Haven area of Menlo Park. She said what made the Plan work from a transportation point and social perspective, addressing jobs/housing balance, housing affordability, and below market rate housing, was the overall amount of housing. She encouraged the Commission to forward the Plan favorably including housing. She said EIR mentioned as a recommendation to phase jobs and housing; she encouraged the Commission to recommend that as a policy recommendation. She said if they had all the jobs before any housing that would exacerbate the traffic and social impacts. She said

she wrote to the City about how LOS would be used under the policies and the new General Plan. She said the state was starting to require VMT rather than LOS as an environmental impact. She said LOS used as a primary goal discouraged infill development. She said the Transportation Impact Analysis (TIA) had to have updated guidelines and urged that be done as quickly as possible so the City was not operating under the old rules. She suggested updating the thresholds for LOS so they could adhere to the Plan goals of encouraging and streamlining in-fill mixed use development and multi-modal transportation with less green house gas emissions and improved community health.

- Janelle London, Vice Chair, Menlo Park Environmental Quality Commission, said she was speaking as individual. She said she supported the green and sustainable building codes in the draft zoning regulations. She said the use of clean, renewable and onsite energy where feasible was needed to reduce green house gas emissions. She said the state mandate was to reduce emissions to 1990s levels by 2020 and 40% below 1990 levels by 2030. She said the City's Climate Action Plan targeted a 27% emission reduction from 2005 levels by 2020. She said regulations were needed for the City to lead the way in zero net energy building standard. She said the state Title 24 set goals to achieve zero net energy (ZNE) by 2020 for all new residential buildings and by 2030 for all new commercial, and 50% of existing commercial structures. She said ZNE building was feasible, economical and easier to achieve in more temperate coastal areas. She said ZNE buildings less vulnerable to climate change and helped home and commercial property owners pay less for energy. She said investment in ZNE building created jobs.
- Pastor Arturo Arias, Eternal Life Church, 965 O'Brien Drive, said they have been in the community 28 years and their congregation was Christian with over 100 members. He said they served Menlo Park and East Palo Alto communities. He said they had attended several community meetings on the General Plan and had mentioned previously that they would welcome the improvement especially in those areas where they were ministering. He said that the new map however showed that their property was part of a zoning change. He said they wanted to be sure that their community would continue to be served where they were located. They would like more information in detail as to what the future would be for them.
- Richard Truempier said the Sobrato Organization supported the General Plan Update and in particular the effort to provide housing at all income levels to address the lack of affordability in the area. He said Sobrato was interested in building high-density rental housing for people of all income levels and that high-density rental was one of the most affordable and sustainable types of housing compared to for-sale low density housing that makes up the majority of housing stock in Menlo Park. He said they could build this contemplated rental housing they requested the insertion: "Regarding affordable housing policies, we support the requirement for rental property projects utilizing bonus density to produce affordable housing that is equal to 15% of the project size. We ask that the regulations allow the flexibility for rental projects to meet that requirement either on site or immediately adjacent to the market rate component of the project. The affordable projects would be produced by them deeding land to a nonprofit adjacent to and as part of their larger rental project." He said they could only achieve the deep level of desired affordability by aggregating the affordable housing on a separate legal parcel as that was essential to securing the specialized efficient financing required to maximize the number of affordable units at the desired affordability level. He said allowing them to meet the requirement on an adjacent site as part of the larger planned community would help create a vibrant, mixed

income neighborhood allowing the use of alternative financing sources to make the affordable units feasible. He said regarding the proposed water and energy policy that new housing development that met the state's stringent Title 24 and CalGreen requirements was inherently more sustainable than existing housing. He said high density, multi-family housing was most water and energy efficient form of housing. He said while they supported the energy policy as currently drafted they requested the Commission ask that residential projects be exempt from the non-potable requirement. He said they supported a requirement for new residential projects to be dual plumbed now and to mandate that they tie into non-potable water sources in the future once it was available at a municipal scale. He said the policy as written would be detrimental to the City's goals to provide affordable housing as it would result in lower density and fewer affordable units as developers tried to stay under the 250,000 square foot threshold now set. He said to provide high density affordable housing at all income levels they would need flexibility on how to achieve the affordability requirements.

- Maya Perkins said she was a Belle Haven resident. She said she hoped that housing and retail would be developed first before office space as she wanted to live in a live/work/play community and the retail part of that was very important. She said she did not want to live in a bedroom community and for Belle Haven and Bayfront to provide all the needed housing without amenities such as restaurants and cafes. She said she also did not want to live in a space that was basically a dormitory referring to the O-CH housing. She said her understanding through the process was that zoning would be for the Facebook east campus and now it appeared it was contemplated for the Prologis site. She said that was a large piece of housing that would be just for corporate. Chair Strehl said she did not think that was the case. Ms. Perkins said regarding mixed-income affordable housing that 15% was a great start but she thought they had to have more affordable housing in the same building. She said she did not support a model where there was side by side housing with one building regular and one building affordable as that was not a healthy way for people to live. She said to have a healthy culturally diverse experience, people needed to live together. She said trenching was on the table for Willow Road and that did not fit into the vision of the cute, walkable, live/work/play downtown neighborhood that many residents would like. She requested that Willow Road be a walkable accessible road and complete street without any trenching. She said the proposed name change to Bayfront excluded a lot of the residents that worked hard and came to many of the meetings. She said the 50% density bonus should be looked at again and not decided upon tonight.
- Pamela Jones said it was exciting process to decide the last places to build on the peninsula, and the City could demand whatever it wanted from the builders. She said regarding affordable housing that they have excluded the people who only make \$120,000 annually. She said a person would have to make that to live in one of the \$6,000 a month rentals. She said they should redefine how they looked at affordable housing and low income and moderate income housing needed to be integrated throughout the space and particularly in apartments. She said there was already rail that could go from Redwood City to Menlo Park to Willow Road and that would take a lot of the transportation issues off the table. She asked about the occupancy rates of all the new large apartment buildings in Redwood City and suggested they might find that they were not using resources together regionally as best they could. She said displacement in the area was horrific, noting that no one was looking at foreclosures but only at those who got rent increases and had to move.
- Vicky Robledo, Belle Haven resident, said they wanted to track the amenities by top

priorities. She said she supported what the speakers Perkins and Jones had said. She said the individuals talking about environmental impacts to marsh lands caused her concern as well as impacts to her community and people. She said traffic impacts on wildlife would be a severe impact. She said the overpass was wonderful but was not for the community but for Facebook employees. She said a division was being created between her community and others in the area. She asked how a new community could be integrated into an existing community so the latter feel a part of the new community and not separated. She said that Facebook has been active in offering community meetings and asking for their input, which was given, but that did not take into account buying acreage to build housing for their employees. She said those who were born and lived in Menlo Park and Belle Haven wanted to stay and raise their children there too but they could not afford to be there. She said a pharmacy was needed for their senior residents to walk to. She said the number of increased cars on the road was not being addressed. She said she worked four miles from her home and it took her 40 minutes in the evening to get home. She said her shortcut would be lost with the new construction on Haven Avenue and another 1200 apartments. She said she was glad the Chilco improvements were made by Facebook but was concerned the City had not taken care of it previously. She questioned why Belle Haven would be renamed.

- Gary Lauder, Atherton Transportation Committee, said he was representing himself. He said the M-2 Plan's and Facebook's EIR both found significant and unavoidable impacts. He said that until all alternatives had been exhausted for decongesting traffic that those impacts were not unavoidable. He said the M-2 proposed over \$2 billion of real estate development and from that development applied traffic impact fees would help pay for the impact of the incremental traffic each project represented. He recommended looking at traffic in the intersections of Bayfront and Willow Road, and Bayfront and University Avenue. He said in the p.m. the p.m. rush hour congestion was so bad that the Willow/Hwy. 101 intersection spilled back onto the highway a full mile. He said if the Hwy. 101 / Willow Road interchange was to be rebuilt as planned all the traffic exiting north at the p.m. rush hour would have to exit at the same exit adding 15 minutes to the nightly commute for those going to Menlo Park. He said the EIR did not look at that impact on the residents of Menlo Park. He said we depend on government to build the public good such as roads and urged looking at traffic impact fees (TIF) sufficiently high to address the problem.
- John Tarlton said he was representing a good portion of the LS zoning district. He said he provided a letter earlier today that had been distributed to the Commission. He said that some of the new requirements whose intent was for the bonus level based on all the meetings he had tended had now crept into the base level requirements, and he believed it was inappropriate to change the existing zoning. He noted the minimum step back requirement for the base level development and requested it be changed. He said as discussed in prior meetings floors in Life Science buildings needed to be stacked for purposes of laboratories and a 10 foot step back was inconsistent with that. He said regarding public amenities that it was not clear how 50% would work and requested the City specifically establish a rate. He regarding the appraisal process that there be a rate in the event that a small project wanted to move forward without going forward with that process. He said regarding the average building height that this was probably unintentional but they believed the zoning as proposed would require an average height of four and half stories on a particular parcel. He said they understood the intent was to have an average of four and half stories across the zoning district. He said regarding green sustainable building there seemed to be an inconsistency between page 24 and table 16 and suggested they be the

same. He said for the purpose of alterations and tenant improvements that those be matched to CalGreen as opposed to some other kind of standard. He said the energy regulations had not quite addressed Life Science buildings although they were in favor of being progressive in that manner. He said regarding the minimum open space requirement that there were some intricacies of Life Science to have service yards for nitrogen tanks and such. He said the way open space was defined and the minimum requirement of it was not compatible with their uses.

- Harold Schapelhouman, Chief, Menlo Park Fire District, said the Fire District was opposed to the high school in the M-2 area. He said they wanted prudent development and growth in the community. He said the Plan did not include any impact fees to the District and allowed only tax. He said he was very dissatisfied with how the District was being treated under this Plan and questioned that the EIR found there were no impacts to the District under the Plan. He said a letter regarding their opposition to the Plan had been sent and would be posted on the District's website the next day.
- Steve Schmidt said he donated his time to Patti Fry and had 10 seconds left. He encouraged the Commission to read all the comment letters carefully.
- Leora Tanjuatco, Housing Leadership Council of San Mateo County, said they wholeheartedly supported the purpose of the General Plan update and the City's efforts to alleviate the job/housing imbalance that was widespread throughout San Mateo County. She said they fully supported housing at all income levels. She said her organization mostly focused on incentivizing housing and alleviating the job/housing imbalance. She said they encouraged the City to support maximum residential development to support the commercial and retail development opportunities being created. She encouraged the City to consider density, inclusion, and walkable places for people to live near where they work, which would be key in reducing a lot of the congestion that plagued the Bay area. She said there were sites they might identify suitable for housing outside the M-2 and asked if that was something they should bring up now or later.

Principal Planner Chow said land outside of what was studied in the EIR could not be contemplated as part of the ConnectMenlo process.

- Fergus O'Shea, Director of Campus Facilities for Facebook, said they have actively participated in the ConnectMenlo process since 2014. He said in 2015 they purchased the Prologis Scientific Technology Park with the goal of redeveloping an aging industrial warehouse park into something more than a typical Silicon Valley office campus. He said the property was envisioned to provide retail amenities, a grocery store, housing and green space to create a true live/work/play area. He said their goal was to make further investments in infrastructure to support the Plan. He said they supported all policies that served to create new homes for all income levels. He said for their campus expansion agreement they would do a minimum of 1500 living units. He said the sooner the Plan was adopted the sooner they could build housing and reduce traffic. He said as they understood it the draft zoning would allow property owners to aggregate FAR and uses across sites under the same ownership but only if they have the same zoning designation. He said in May they commented that they needed flexibility with the Prologis site to aggregate uses and FAR since the line dividing the R-MU area from the O-area was basically arbitrary. He said they had understood that the Commission was in agreement. He said as written the zoning would not allow them flexibility but would lock them into a map

that was not a fully developed Master Plan. He requested the wording be revised.

- Tim Tosta said from perspective of what was going on with land use in California particularly in the Bay Area that they were beginning to look at old former industrial areas that had tended to separate residential communities, such as Belle Haven, from the Bay. He said this undertaking was extraordinary as it was in the midst of radical change and putting uses together so people did not have to travel so much. He said since the Plan was beginning and an experiment that they would have to revisit it to make it even better.

Chair Strehl closed the public hearing, and recessed the meeting for a short break.

Chair Strehl reconvened the meeting.

Commission Comment: Chair Strehl said based on the time the meeting would conclude at 11 p.m. and the item would be continued to the meeting of October 24, 2016.

Commissioner Kahle suggested consultant and staff might address some of the matters raised by the public. Chair Strehl noted the reference to the name “Bayfront” replacing “Belle Haven” and asked about the source of that.

Mr. Knox said originally they were looking for a new name for the M-2 but not for Belle Haven, Suburban Park, Lorelei Manor, Flood Triangle or the Willows. He said the intent was to give people a sense of where this area was in Menlo Park. He said when Ms. Perkins had commented that Belle Haven residents’ perception was that the Life Science area, Menlo Business Park, and Prologis were part of Belle Haven, they took that to heart but kept Bayfront in the EIR as it was descriptive and didn’t seem offensive or to impinge on Belle Haven as a neighborhood. He said the Commission could discuss what the right way to identify.

Chair Strehl noted the rezoning of the land of the Eternal Life Church and asked how that affected the church and its community. Principal Planner Chow said existing uses could remain and there was no requirement to redevelop the property to conform with the LS standards. She said there was a section on nonconforming uses and there was no amortization by which the building would have to begin to conform.

Chair Strehl said Eileen McLaughlin questioned the use of 10 feet distance in doing biological resource assessment. Mr. Knox said they were trying to understand that as well and said it might have been a typo and should be 100 feet or no distance or a reference to adjacent sites. Chair Strehl suggested they try to find out the distance by Monday’s meeting.

Commissioner Riggs said at the Facebook EIR hearing it was noted that the intersection of Bay Road and Ringwood had been excluded from the analysis. He asked if they had responded to that intersection and added it to the review. Ms. Nikki Nagaya, City Transportation Manager, said they received several public comments at the Commission hearing as well as in writing. She said each were responded to in the FEIR. She said specifically for the Bay and Ringwood intersection they looked at the potential for the project traffic to add additional volume on Bay and Ringwood. She said based on the models they had very little traffic in addition to what was already anticipated on those two corridors. She said vehicles were less than 100 a day on Bay Road and there was no increase on Ringwood Avenue. She said based on that, further analysis would show a less than significant impact.

Commissioner Riggs said the FIA evaluated benefits to the City, school districts, Fire District and other agencies based on expected tax base and improvement through the build out to 2040. He asked how much of that was based on hotel transient occupancy tax (TOT). Ms. Stephanie Hagar, BAE Urban Economics, said the project's anticipated TOT was \$2.4 million of the total \$8.3 million and was based on the 400 hotel rooms.

Commissioner Barnes referred to the Community Amenities discussion and asked about the 50% of the additional gross floor area limit (FAL). Mr. Knox said the original idea was to find the value that accrued to the property because of the change in zoning but with the costs removed, and that the true increase in value would be shared between the property owner and the rest of community. He said the idea of 50% came from discussion with the City Council about how added new value would be shared with the community and was a philosophical approach to sharing the value. Commissioner Barnes asked if there was a sense that stakeholders shared that sentiment. Mr. Knox said they had discussed at less and more. Commissioner Barnes asked if they had ever refined the number at maximum build out of what the value of the 50% in terms of dollar amounts was. Mr. Knox said they made some assumptions at one point where they used \$150 to \$160 per square foot. He said it created something like \$230 million of total value but this would need the appraisal process to happen.

Commissioner Barnes asked about the process for the developer interested in bonus development. Mr. Knox said if the land was in R-MU, there was a strong expectation for housing as the amenity. He said of the 50% value, 15% of the affordable housing would probably be a lot of the 50%. He said there might be some value beyond that. He said for the LS zoning district it had to do with the size of the project. He said for a very large corporate entity and a big development with a lot of value the developer might offer a large piece of infrastructure such as a bridge or new crossing. He said it would be more complicated for smaller projects if value when appraised was not enough to do anything on the Community Amenities list. He said then they could do in-lieu fee or do something with another property owner. He said the applicant could do a nexus study too to know what they could provide.

Principal Planner Chow said the Community Amenities would be considered as part of the review process. She said asking for a bonus level development would either require a use permit subject to Planning Commission review and approval or a conditional development permit subject to Planning Commission review and recommendation and City Council review and approval. She said the Commission would have the opportunity to look at what the applicant was proposing as community amenities, whether it was onsite or offsite, whether the City adopted an impact fee and whether that was more appropriate than an actual contribution.

Commissioner Barnes asked if the amenity had to be inclusionary on site within the same structure to be contributive. Principal Planner Chow said for the R-MU they were proposing to include THAT the 15% affordable housing requirement might be met on site or off site. She said they heard comments tonight that it should be separated and also that it should be on same site. She said the Community Amenities list did require that it be located within the M-2 Belle Haven area north of Hwy. 101 except for affordable housing. She said inclusionary was not so prescriptive it had to be in the same building. Mr. Knox said there was a cap in M-2 of 4500 housing units. He said if a project proponent for R-MU, LS, or O zoning districts wanted to provide affordable housing as an amenity for the City and the cap of 4500 units had been reached already other sites could be looked at.

Commissioner Barnes asked about the cost and space needed for water reuse systems for

projects about 250,000 square feet. Azalea Mitch, Public Works, Senior Civil Engineer, said the size and cost of the onsite recycling unit depended upon whether it was a gray water system or a system that included black water; it depended upon the process itself and the size and capacity. She said they have been evaluating a lot of options regarding recycled water. She said they cost to purchased recycle water was very expensive. She said RWC would sell recycled water at \$16 per unit and noted the cost of potable water was \$5 or \$6 per unit. She said having the systems placed on site by the developer would be more cost effective than purchasing and would help offset potential water shortfalls caused by drought. She said the purple pipe plumbing system was required whether the reused water was coming from an onsite or offsite location. She said Redwood City and Palo Alto have required dual plumbing since 2008.

Commissioner Riggs asked whether the requirement was to require purple pipe only or some level of storage and treatment. Ms. Mitch said the requirement was for every new building to be dual plumbed and once purple pipe distribution was available, buildings would have to connect. She said new building of 250,000 square feet or larger were required to do onsite water treatment now. She said that focused on one building that size. She said a question for the Commission was whether building aggregate square footage of 250,000 or more on a parcel would also require an onsite system. Commissioner Riggs asked how much a system would cost. Ms. Mitch said the cost for a black water system could be \$1 million. Commissioner Riggs said that building codes and fire codes were more restrictive and all of this created costs. Chair Strehl said at GPAC meetings they had agreed upon dual plumbing so that when nonpotable water distribution became available they facilities could connect. She said she was not sure when the direction to require onsite water recycling for projects over 250,000 square feet came. Commissioner Riggs asked about rainfall reuse. Ms. Mitch said the amount of storage needed to collect the amount of water needed when it rained would have to be significantly large. Commissioner Barnes asked if the City was looking at having its own water reuse system. Ms. Mitch said they were studying that as part of the water system master plan and looking at partnering with West Bay Sanitary District to look at options for recycling plants in the M-2 area. Replying to Commissioner Barnes, Ms. Mitch said the plant and the distribution system would need to be built and that cost of that would be anywhere from \$20 to \$30 million in a 10-year horizon.

Commissioner Riggs said the project energy target was net zero. He said mainly photovoltaic (PV) was used and the quantity of that was determined by the size of roof relative to the occupants' needs. Heather Abrams, City Sustainability Manager, said in the regulations they did not specifically require net zero but they were working towards that. She said regarding the energy requirements that the original draft had 80% of the demand as PV. She said they received comments from developers about using green roofs. She said the next draft looked at feasibility for onsite generation on the roof and parking areas and found that 30% of that was feasible on the site. Commissioner Riggs asked if this was feasible after deducting the open space requirement. Planner Chow said that use would be in areas not used for other uses; she said open space should be free of extra space taken up by obstructions such as PV.

Replying to Commissioner Kahle, Ms. Abrams said for natural gas use renewable energy credits (REC) could be purchased to offset toward meeting the greenhouse gas emission reduction target set by Council and the sustainability goals incorporated into this project. Chair Strehl asked about the cost of the Peninsula Clean Energy (PCE) and if they were competitive with PGE. Ms. Abrams said PCE set their rates so the base rate was 50% renewable. She said that was much better than PGE. She said they also have an opt-up rate that was 100% renewable energy and was what the City was buying for the City Hall building. She said the PCE rate for 100% renewable was about ½ cent per KWH more than the current PG&E rate, which was at 27% renewable. Commissioner

Riggs asked about commercial rates being different. Ms. Abrams said the 50% rate was about 5% lower than PG&E. She said PG&E charges an exit cost and that was not an extra charge, and pro-rated in the PCE bill.

Commissioner Riggs noted the request by Fergus O'Shea to aggregate the requirement across the R-MU and LS zones and recalled a discussion about that. Principal Planner Chow said that was discussed at the Planning Commission's study session in May. She said she recalled sharing among properties owned by the same entity would be allowed among the same zoning district. She said within the R-MU-B there were multiple parcels on the Prologis campus; so there could be an aggregate of perhaps housing on one side and parking on another side. She said the request made tonight she thought was to consider expansion of sharing or calculation between the R-MU and the O-B which raised some potential concerns as there were different regulation standards between the two districts such as different height requirements. She suggested the Commission might want to discuss the idea. Commissioner Riggs said in past they might have had a project overlapping R-3 and C-4. He said in that instance they took the most restrictive of the elements and applied those to anything in a common structure. He asked if such a method could resolve the conflict or whether it was more complicated than that. Principal Planner Chow said that more restrictive standards might not be what the applicant was seeking or provide the flexibility desired. Commissioner Riggs asked if they would be making a proposal about this to bring back to the Commission. Principal Planner Chow said they could do that and bring it back to the Commission at its October 24 meeting.

Commissioner Riggs said James Eggers wrote that in the O and particularly in the R-MU zone that with bonus level it appeared the bonus square footage could be used specifically for additional office space rather than additional housing. Principal Planner Chow said in R-MU there were FARs for both the residential and non-residential component so in bonus level could get up to 200% density for the residential component and 25% for the non-residential component. She said there must be residential before there could be any non-residential use.

Commissioner Riggs said he had not reviewed the project from the perspective of dedicated parks and fields. He said for one of the 50-acre projects for Facebook although it was not in the General Plan they had open space but not sports space. He asked if soccer and other playing fields were needed to meet the demand of having 50% more people in Menlo Park. Principal Planner Chow said there were open space requirements for open space and public open space and provisions for community paseos, but parks were not included on the map. She said each development would be required to provide open space amenities for their tenants and there would be publicly accessible requirements in three zoning districts opportunities for connectivity and interactions between residents. She said they had nothing for aggregated park space required in the Plan.

Commissioner Riggs said a speaker talked about the metrics for measuring traffic impacts. He said the threshold for LOS at intersections and segments triggers a traffic study for what often was quite a small increase in intersecting traffic. He suggested as part of the project to include a paragraph on the LOS threshold. Principal Planner Chow said they have clarification in the General Plan related to using LOS and reestablishing City's standards in addition to VMTs. Commissioner Riggs said the LOS was still there so the threshold was still there. He said at Bay and Ringwood he thought the addition of three cars an hour would hit the threshold. Ms. Nagaya said the impact criteria they have was time based. She said at an intersection, either signalized or not, at peak hour, if a project added more than .8 seconds to critical approach that could be considered a potentially significant impact. She said policies and programs outlined in the General Plan gave the ability to look at future traffic impact analysis guidelines updates. She said policy

direction in the circulation element gave general direction to include VMT as a future metric but also incorporated LOS. Commissioner Riggs asked what neighboring communities used as the threshold. Ms. Nagaya said the current entirety of Santa Clara County and the Town of Atherton use a 4-second interval for the average intersection as opposed to the critical approach. She said they were also tracking what cities were doing statewide related to VMT and LOS as potential state guidelines are finalized in coming months. Commissioner Riggs asked if Transportation would want to make a recommendation on whether they wanted to continue using the critical approach as it seemed to be an impediment to streamlining and a relic. Ms. Nagaya said they would be happy to look at the guidelines and what the actual thresholds were. She said whether that was on the timeline to bring back to the Commission was another question as staff would need to reassess as to what information they have and could compile. She said through the General Plan Update process they have heard that the TIA guidelines update would be a future project and was shown in the future CIP for FY 2018-2019. She said she understood LOS could be an impediment to encouraging development in areas where they might want to encourage development but they needed to balance that with what the general direction they have received from the GPAC and City Council. Commissioner Riggs said he thought it was a housekeeping item. Ms. Nagaya said the recommendation and technicalities of it might be straight forward but thought it was still very much a controversial issue on how traffic impacts would be analyzed. She said they would need to assess whether it could be done as a housekeeping item.

Commissioner Kahle said he thought park space as had been noted was an opportunity that had been overlooked in the General Plan update. He said he coached a soccer team in Menlo Park and there was a shortage of playing fields. He said they should not let the opportunity go by if they can include it.. He said regarding phasing work that he hoped with opportunities that not all office would be built first with housing at a later date. He asked if that had been implemented or thought through. Principal Planner Chow said the proposed project did not include a phasing program and was not evaluated. She said through public comment and the EIR process, and comments tonight, there was suggestion to require a portion of housing be developed first before any new non-residential use came on line. She said the Commission could provide guidance on that. She said now there was no limitation on what was built first.

Commissioner Kahle asked about the specific issues raised by Mr. Tarlton. Principal Planner Chow said baseline development maintained existing FAR ratios. She said additional requirements such as sustainable and green building requirements and design standards were other objectives the Council wanted to achieve. She said while different from what was currently required under the M-2 zoning ordinance, the existing development parameters were still the same and other requirements were supported by other objectives of the General Plan. She said in the revised resolution received this evening they had eliminated the minimum step back requirements, eliminated the requirement for where the building should be placed, and also an elimination for corner lot on where building should be placed. She said they believed the step back was fairly important in providing some modulation articulation to the building. She said the requirement was for a 10-foot step back above the base level height. She said areas in flood zone or sea level rise the building was allowed an additional 10-feet of height so it could potentially be 55-feet tall with a 10-foot step back at 55-feet up to the maximum height level. She said only one step back requirement being proposed. She said regarding community amenities there had been discussion around that. She said if it was to establish a specific fee that needed a nexus study; she said it required the study be done and in place, and the fee adopted before development could take place. She said it had the potential to delay community amenities. She said regarding the average building height they had discussed that a canyon effect was unwanted. She said some variation in height was wanted and the green area showed three to six stories. She said that was reflective of

what was seen in zoning code. Commissioner Kahle asked if the average building height was meant to be per site. Principal Planner Chow said it was meant to be per site. She said regarding green and sustainable building regulations that 30 percent references what was feasible. She said the site would have a feasibility analysis and 30 percent of that feasibility would be required on site; the remainder would be through other options of 100% such as PCE . She said regarding the open space requirement that it lent itself to creating opportunities for connections between properties and even with Life Sciences there were ways to secure their properties and allow for openness and inclusiveness with their properties.

Commissioner Kahle said regarding naming that the triangular area in the middle was Belle Haven on one of the other maps and that should be called Belle Haven and all the rest could be considered Bayfront area.

Chair Strehl said Mr. Eggers raised question that 1500 units on Facebook East on 57 acres with 3000 residents potentially raised the issue of connecting to amenities. She asked if staff could clarify this by the Monday meeting. Principal Planner Chow said the intent of the corporate housing would be to deed restrict occupants to employees only so there would not be families or others who did not work at the site.

Chair Strehl said it was supposed to be live/work/play and there were no places to play except for the community center. She said to the extent possible they should try to identify some areas where they could put in some park facilities. She asked if other cities in proximity to Menlo Park besides Palo Alto require 100% renewable energy. Ms. Abrams said the PCE was relatively new and was launched on October 3. She said Palo Alto delivers 100% GHG free energy because they have their own utility. She said they did not have a model of other cities doing exactly what was proposed – models like requiring solar on all new rooftops buildings or residences. She said what was being proposed was unique and designed to fit the needs of Menlo Park. Chair Strehl asked if Redwood City required 100% renewable energy for development. Ms. Abrams said the City of San Mateo just adopted code to push companies and buildings to do more than basic code would require. Chair Strehl said she was concerned about this requirement as it might put businesses here at a disadvantage to businesses in other areas. She asked if they could bring back comparable goals of other cities regarding renewable energy.

Commissioner Barnes asked how the 10-foot in the flood zone and for sea level rise was utilized. Principal Planner Chow said a proposed requirement had been that the increase would be 24-inches above base flood elevation to accommodate sea level rise. She said conversation at the last Planning Commission study session was that additional height was needed to accommodate plate heights and construction type. She said they added up to 10 foot additional height to accommodate construction methods. She said it could be added to base level height or to the overall height if area was susceptible to flood zone and sea level rise.

Commissioner Barnes said he did not understand why Menlo Park was still doing LOS. He said the state was going to VMT, the City Council in Redwood City last night directed staff to use VMT, San Francisco and Oakland uses VMT. He said in the context of environmental concerns VMT reduces GHE and brings in urban infill. Ms. Nagaya said Redwood City's action was an indication of where some cities were headed. She said because the state has not yet adopted VMT requirements the actual VMT metrics were not known and the threshold of significance was still questionable. She said that was where the future update to the TIA guidelines would come in as a future implementation. She said the circulation element referenced supplementing LOS with VMT and defined how LOS would be used in the future. She said LOS could be a useful planning tool

looking at delays at corridors as part of City processes outside development review. Commissioner Barnes asked when the update of TIA guidelines would be. Ms. Nagaya said it was programmed in the CIP for 2018-2019. She said after the General Plan update, the next priority was the Transportation Master Plan for the City and that would be used to update their fee plan. She said after that they would tackle the TIA guidelines.

Commissioner Riggs said page 5 of the staff report listed Land Use (LU) goals. He said in his opinion LU-4 largely covered same ground as LU-3. He said rather than elaborate on LU-3 that Business Development and Retention should reflect at least one of the guiding principles (page A20): competitive and innovative business destination. He suggested using that rather than limiting to goods and services for the community and the priority goal of avoiding environmental impacts. He said that the circulation element supported goals of alternative transportation with prioritization of the transportation modes of bicycle, pedestrian, transit buses and autos, the first three of which had equal top priority and autos had least priority. He said the numbers of users of the first three were not close to the numbers of autos used. He said that they needed to think again about who the users were. He said regarding the LS zoning district that they needed ground floor space and that their back of house was far unlike residential and office with huge gas tanks, multiple loading docks trash compactors that rivaled those of hotels, and generators that would run a portion of the City. He said the idea of open space was much more challenging and they had a different relationship to the rest of the world. He said LS people come and go all day and their buildings might have 10 times the electrical requirements of an office building on a square footage basis. He said that wouldn't be effectively solved with PVs. He said it was heavily dependent upon tenant improvements and should the firm go to manufacturing the tenants would leave. He said to get a new tenant you had to be able to do tenant improvements in 90 days. He requested they review the requirements for the LS zoning district.

Chair Strehl asked for the next meeting that staff review and provide some overview answers to some of the issues raised by the Fire District, East Palo Alto, Sequoia Union High and Ravenswood school districts.

Chair Strehl continued the item to the meeting of October 24, 2016.

H. Informational Items

H1. Future Planning Commission Meeting Schedule

- Regular Meeting: October 24, 2016
- Regular Meeting: November 7, 2016
- Regular Meeting: November 14, 2016
- Regular Meeting: December 5, 2016

I. Adjournment

Chair Strehl adjourned the meeting at 11:06 p.m.

Staff Liaison: Principal Planner Deanna Chow

Recording Secretary: Brenda Bennett



STAFF REPORT

Planning Commission

Meeting Date:

11/7/2016

Staff Report Number:

16-084-PC

Consent Calendar:

Architectural Control/Whitney Gaynor/1771 Stone Pine Lane

Recommendation

Staff recommends that the Planning Commission approve architectural control to make exterior modifications to the front and rear façades of an existing single-family townhouse located in the R-3 (Apartment) zoning district, at 1771 Stone Pine Lane. The recommended actions are contained within Attachment A.

Policy Issues

Each architectural control request is considered individually. The Planning Commission should consider whether the required architectural control findings can be made for the proposal.

Background

Site location

The subject property is located at 1771 Stone Pine Lane, near the intersection of Stone Pine Lane and Buckthorn Way, in the Park Forest neighborhood near the City's northern border. The other adjacent parcels along Stone Pine Lane are also located within the R-3 (Apartment) zoning district, and contain townhouses and associated common space. On the opposite side of Buckthorn Way, some single-family residential parcels are part of the R-1-U (Single Family Urban Residential) zoning district. The nearby properties along El Camino Real are primarily commercial, with the exception of the Atherton Park Forest Apartments located at 1670 El Camino Real, and are located within the El Camino Real/Downtown Specific Plan area. The parcel and the townhouses surrounding the parcel were originally developed under the jurisdiction of San Mateo County as a Planned Unit Development and are known collectively as the Park Forest development. The area represents a variety of architectural styles, and many residents have modified their units since being annexed into the City of Menlo Park. A location map is included as Attachment B.

Analysis

Project description

The existing single-family townhouse contains approximately 2,503 square feet of gross floor area. The existing townhouse also includes a two-car garage, which is not included in the calculation of gross floor area. The townhouse consists of three levels with three bedrooms, two and a half bathrooms, and a two-car garage. The applicant is proposing to conduct some interior alterations in the kitchen and pantry of the

second floor and in the master bedroom and bathroom on the third floor. Additionally, the applicant is proposing to build out the third floor to the end of its existing balcony, adding approximately 37 square feet to the existing master bedroom. There would also be exterior modifications in colors and materials, which are described in detail in the following section of this staff report.

The project plans are included as Attachment C and the project description letter is included as Attachment D.

Design and Materials

All exterior changes are proposed for the front and rear elevations of the townhouse. On the front elevation, the windows on the second and third floors would be replaced with new white vinyl in-kind windows, and the third window from the left on the third floor would be removed to accommodate a taller shower. The existing trim around all windows and the vertically-oriented wood battens under the row of windows on the second floor are proposed to be removed. In addition, there would be a small overhang at the top of the second and third floors to protect the windows from the elements. At the ground level, the vertical slatted fence separating the walkway and the driveway would be replaced with a horizontal slatted, dark oak stained redwood fence that would be consistent in design and material as the existing fence in the rear of the townhouse. In regards to the color palette, the applicant is proposing to paint the stucco, eaves, and gutter mid-tone grey on the front and rear elevations. The colors and materials palette may be seen on Sheet A2.2a of the plan set.

Staff believes the project would be consistent with the existing mid-century architectural style of the individual unit. The project would also be compatible with the existing architectural style of the overall Park Forest development, which features a number of townhouses with a variety of materials and architectural styles. In addition, the project would have a relatively small impact to the neighbors given the limited scope of work.

Correspondence

A letter from the Park Forest II Homeowners Association relaying approval of the project is included as Attachment E. Staff has not received any other correspondence thus far.

Conclusion

Staff believes the project would result in a consistent architectural style for the individual unit and have minimal impacts to neighbors given the limited scope of work. Additionally, the project would be compatible with the existing architectural style of the development, which features a number of townhouses with a variety of materials and architectural styles, and has been approved by the applicable homeowners association. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Project Plans
- D. Project Description Letter
- E. Park Forest II Homeowners Association Approval

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:
Sunny Chao, Assistant Planner

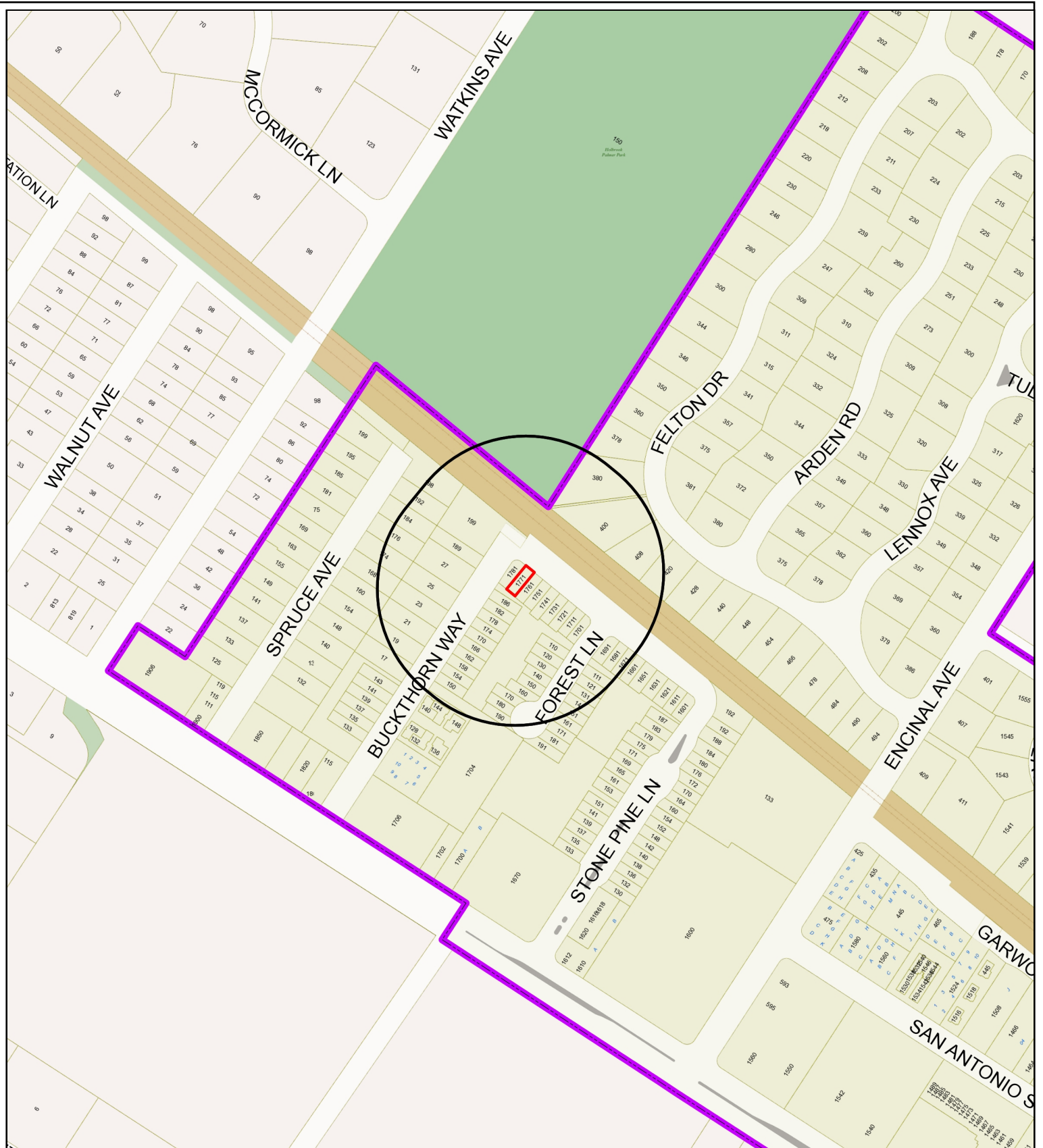
Report reviewed by:
Thomas Rogers, Principal Planner

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1771 Stone Pine Lane – Attachment A: Recommended Actions

LOCATION: 1771 Stone Pine Lane	PROJECT NUMBER: PLN2016-00073	APPLICANT: Whitney Gaynor	OWNER: Whitney Gaynor
REQUEST: Request for architectural control to make exterior modifications to the front and rear façades of an existing single-family townhouse located in the R-3 (Apartment) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: <ol style="list-style-type: none">1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines.2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:<ol style="list-style-type: none">a. The general appearance of the structure is in keeping with the character of the neighborhood.b. The development will not be detrimental to the harmonious and orderly growth of the city.c. The development will not impair the desirability of investment or occupation in the neighborhood.d. The development provides adequate parking as required in all applicable city ordinances and has made adequate provisions for access to such parking.e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.3. Approve the architectural control subject to the following standard conditions:<ol style="list-style-type: none">a. Development of the project shall be substantially in conformance with the plans provided by Studio Maven, consisting of fourteen plan sheets, dated received October 24, 2016, and approved by the Planning Commission on November 7, 2016 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, Recology, and utility companies’ regulations that are directly applicable to the project.c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.			

LOCATION: 1771 Stone Pine Lane	PROJECT NUMBER: PLN2016-00073	APPLICANT: Whitney Gaynor	OWNER: Whitney Gaynor
REQUEST: Request for architectural control to make exterior modifications to the front and rear façades of an existing single-family townhouse located in the R-3 (Apartment) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: <ul style="list-style-type: none">e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.			



City of Menlo Park
Location Map
1771 Stone Pine Lane



Scale: 1:3,600

Drawn By: SYC

Checked By: THR

Date: 10/20/2016

Sheet: 1

Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
(CALIFORNIA ENERGY CODE) (CCEC-2019-01-01) (Page 1 of 5)

Project Name: Choc/Gaynor Residence
Project Location: 1771 Stone Pine Lane
City: Menlo Park
Zip: 94025
Address: 3
Building Type: Single Family
Project Area: 300 sqft or less

A. GENERAL INFORMATION

1. Project Name	Choc/Gaynor Residence	2. Date Prepared	11/09/2015
3. Project Location	1771 Stone Pine Lane	4. Building Type (Check all that apply)	0
5. City	Menlo Park	6. Number of Dwelling Units in Addition	1
7. Zip Code	94025	8. Fuel Type	Natural Gas
9. Address	3	10. Total Conditioned Floor Area (ft ²) (Addition)	35
11. Building Type	Single Family	12. Site Area (ft ²)	0
13. Project Area	300 sqft or less		

Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
(CALIFORNIA ENERGY CODE) (CCEC-2019-01-01) (Page 1 of 5)

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F. SLAB INSULATION (Table 130.1.1-A)

Slab Type	Insulation Type	Thickness (inches)	U-Value (Btu/hr-ft ² -°F)
n/a	n/a	n/a	n/a

G. RADIANT BARRIER (Section 130.1.1.2)

Radient Barrier Installed Below the roof deck on all gable end walls: **yes**

H. RAISED FLOORS (Section 130.1.1.3)

Minimum R-value for raised floors: **10.5**

Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
(CALIFORNIA ENERGY CODE) (CCEC-2019-01-01) (Page 1 of 5)

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Zip: 94025
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Building Type: Single Family
Project Area: 300 sqft or less

I. SPACE CONDITIONING SYSTEMS - HEATING/COOLING (Prescriptive section 130.2.0.1)

Heating and cooling systems are installed and maintained in accordance with the following requirements:

1. Heating and cooling systems are installed and maintained in accordance with the following requirements:

2. Heating and cooling systems are installed and maintained in accordance with the following requirements:

3. Heating and cooling systems are installed and maintained in accordance with the following requirements:

Prescriptive Residential Additions 300 Ft² or Less, or Additions That Do Not Require HERS Field Verification
(CALIFORNIA ENERGY CODE) (CCEC-2019-01-01) (Page 1 of 5)

Project Name: Choc/Gaynor Residence
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B. OPAQUE SURFACE DETAILS - Frames (Section 130.2.0.2)

Frame Type	Material	Thickness (inches)	U-Value (Btu/hr-ft ² -°F)
wood	2x4	16	R13
wood	2x10	16	R30
wood	2x12	16	R30
wood	2x14	16	R30
wood	2x16	16	R30
wood	2x18	16	R30
wood	2x20	16	R30
wood	2x22	16	R30
wood	2x24	16	R30
wood	2x26	16	R30
wood	2x28	16	R30
wood	2x30	16	R30
wood	2x32	16	R30
wood	2x34	16	R30
wood	2x36	16	R30
wood	2x38	16	R30
wood	2x40	16	R30
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wood	2x512	16	R30
wood	2x514	16	R30
wood	2x516	16	R30
wood	2x518	16	R30
wood	2x520	16	R30
wood	2x522	16	R30
wood	2x524	16	R30
wood	2x526	16	R30
wood	2x528	16	R30
wood	2x530	16	R30
wood	2x532	16	R30
wood	2x534	16	R30
wood	2		

[illegible]

2016-01-01/1/2016
Prescriptive Residential Alterations That Do Not Require HERS Field Verification
 PRESCRIPTIVE RESIDENTIAL ALTERATIONS
 CERTIFICATE OF COMPLIANCE
 Prescriptive Residential Alterations That Do Not Require HERS Field Verification
 Project Name: _____
 City/County: _____
 Date: 01/23/2016

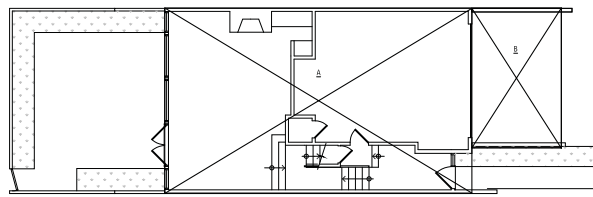
B. BUILDING INSULATION DETAILS (Section 150.2)(2)(D)

150.2.1		150.2.2		150.2.3		150.2.4		150.2.5		150.2.6		150.2.7		150.2.8		150.2.9		150.2.10		150.2.11		150.2.12		150.2.13		150.2.14		150.2.15		150.2.16		150.2.17		150.2.18		150.2.19		150.2.20		150.2.21		150.2.22		150.2.23		150.2.24		150.2.25		150.2.26		150.2.27		150.2.28		150.2.29		150.2.30		150.2.31		150.2.32		150.2.33		150.2.34		150.2.35		150.2.36		150.2.37		150.2.38		150.2.39		150.2.40		150.2.41		150.2.42		150.2.43		150.2.44		150.2.45		150.2.46		150.2.47		150.2.48		150.2.49		150.2.50		150.2.51		150.2.52		150.2.53		150.2.54		150.2.55		150.2.56		150.2.57		150.2.58		150.2.59		150.2.60		150.2.61		150.2.62		150.2.63		150.2.64		150.2.65		150.2.66		150.2.67		150.2.68		150.2.69		150.2.70		150.2.71		150.2.72		150.2.73		150.2.74		150.2.75		150.2.76		150.2.77		150.2.78		150.2.79		150.2.80		150.2.81		150.2.82		150.2.83		150.2.84		150.2.85		150.2.86		150.2.87		150.2.88		150.2.89		150.2.90		150.2.91		150.2.92		150.2.93		150.2.94		150.2.95		150.2.96		150.2.97		150.2.98		150.2.99		150.2.100	
150.2.1		150.2.2		150.2.3		150.2.4		150.2.5		150.2.6		150.2.7		150.2.8		150.2.9		150.2.10		150.2.11		150.2.12		150.2.13		150.2.14		150.2.15		150.2.16		150.2.17		150.2.18		150.2.19		150.2.20		150.2.21		150.2.22		150.2.23		150.2.24		150.2.25		150.2.26		150.2.27		150.2.28		150.2.29		150.2.30		150.2.31		150.2.32		150.2.33		150.2.34		150.2.35		150.2.36		150.2.37		150.2.38		150.2.39		150.2.40		150.2.41		150.2.42		150.2.43		150.2.44		150.2.45		150.2.46		150.2.47		150.2.48		150.2.49		150.2.50		150.2.51		150.2.52		150.2.53		150.2.54		150.2.55		150.2.56		150.2.57		150.2.58		150.2.59		150.2.60		150.2.61		150.2.62		150.2.63		150.2.64		150.2.65		150.2.66		150.2.67		150.2.68		150.2.69		150.2.70		150.2.71		150.2.72		150.2.73		150.2.74		150.2.75		150.2.76		150.2.77		150.2.78		150.2.79		150.2.80		150.2.81		150.2.82		150.2.83		150.2.84		150.2.85		150.2.86		150.2.87		150.2.88		150.2.89		150.2.90		150.2.91		150.2.92		150.2.93		150.2.94		150.2.95		150.2.96		150.2.97		150.2.98		150.2.99		150.2.100	
150.2.1	150.2.2	150.2.3	150.2.4	150.2.5	150.2.6	150.2.7	150.2.8	150.2.9	150.2.10	150.2.11	150.2.12	150.2.13	150.2.14	150.2.15	150.2.16	150.2.17	150.2.18	150.2.19	150.2.20	150.2.21	150.2.22	150.2.23	150.2.24	150.2.25	150.2.26	150.2.27	150.2.28	150.2.29	150.2.30	150.2.31	150.2.32	150.2.33	150.2.34	150.2.35	150.2.36																																																																																																																																																																				

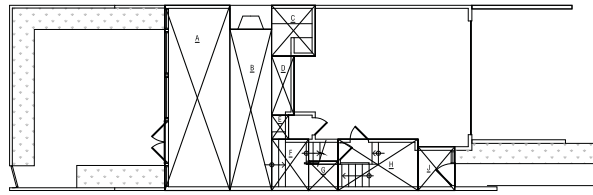
[illegible]

Prescriptive Remedial Alternations That Do Not Require HERS Field Verification <small>(EPA/600/R-11/001B)</small> Prescriptive Remedial Alternations That Do Not Require HERS Field Verification <small>— Check/Layer/Alternative</small>										<small>CALIFORNIA AND HAWAII</small> <small>11/16/10, 12/10/10</small>																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
E. INVESTIGATION PROPOSED AREAS AND EPISODES — (See Section 150.20(a))										<small>Page 9 of 10</small>																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
Table 2	Investigation Type	Assess Type	Assess Outcome	Consider A, B, C, D, E	Consider F	Consider G	Consider H	Consider I	Consider J	Consider K	Consider L	Consider M	Consider N	Consider O	Consider P	Consider Q	Consider R	Consider S	Consider T	Consider U	Consider V	Consider W	Consider X	Consider Y	Consider Z	Consider AA	Consider AB	Consider AC	Consider AD	Consider AE	Consider AF	Consider AG	Consider AH	Consider AI	Consider AJ	Consider AK	Consider AL	Consider AM	Consider AN	Consider AO	Consider AP	Consider AQ	Consider AR	Consider AS	Consider AT	Consider AU	Consider AV	Consider AW	Consider AX	Consider AY	Consider AZ	Consider BA	Consider BB	Consider BC	Consider BD	Consider BE	Consider BF	Consider BG	Consider BH	Consider BI	Consider BJ	Consider BK	Consider BL	Consider BM	Consider BN	Consider BO	Consider BP	Consider BQ	Consider BR	Consider BS	Consider BT	Consider BU	Consider BV	Consider BV	Consider BW	Consider BX	Consider BY	Consider BZ	Consider CA	Consider CB	Consider CC	Consider CD	Consider CE	Consider CF	Consider CG	Consider CH	Consider CI	Consider CJ	Consider CK	Consider CL	Consider CM	Consider CN	Consider CO	Consider CP	Consider CQ	Consider CR	Consider CS	Consider CT	Consider CU	Consider CV	Consider CW	Consider CX	Consider CY	Consider CZ	Consider DA	Consider DB	Consider DC	Consider DD	Consider DE	Consider DF	Consider DG	Consider DH	Consider DI	Consider DJ	Consider DK	Consider DL	Consider DM	Consider DN	Consider DO	Consider DP	Consider DQ	Consider DR	Consider DS	Consider DT	Consider DU	Consider DV	Consider DW	Consider DX	Consider DY	Consider DZ	Consider EA	Consider EB	Consider EC	Consider ED	Consider EE	Consider EF	Consider EG	Consider EH	Consider EI	Consider EJ	Consider EK	Consider EL	Consider EM	Consider EN	Consider EO	Consider EP	Consider EQ	Consider ER	Consider ES	Consider ET	Consider EU	Consider EV	Consider EW	Consider EX	Consider EY	Consider EZ	Consider FA	Consider FB	Consider FC	Consider FD	Consider FE	Consider FF	Consider FG	Consider FH	Consider FI	Consider FJ	Consider FK	Consider FL	Consider FM	Consider FN	Consider FO	Consider FP	Consider FQ	Consider FR	Consider FS	Consider FT	Consider FU	Consider FV	Consider FW	Consider FX	Consider FY	Consider FZ	Consider GA	Consider GB	Consider GC	Consider GD	Consider GE	Consider GF	Consider GH	Consider GI	Consider GJ	Consider GK	Consider GL	Consider GM	Consider GN	Consider GO	Consider GP	Consider GQ	Consider GR	Consider GS	Consider GT	Consider GU	Consider GV	Consider GW	Consider GX	Consider GY	Consider GZ	Consider HA	Consider HB	Consider HC	Consider HD	Consider HE	Consider HF	Consider HG	Consider HH	Consider HI	Consider HJ	Consider HK	Consider HL	Consider HM	Consider HN	Consider HO	Consider HP	Consider HQ	Consider HR	Consider HS	Consider HT	Consider HU	Consider HV	Consider HW	Consider HX	Consider HY	Consider HZ	Consider IA	Consider IB	Consider IC	Consider ID	Consider IE	Consider IF	Consider IG	Consider IH	Consider II	Consider IJ	Consider IK	Consider IL	Consider IM	Consider IN	Consider IO	Consider IP	Consider IQ	Consider IR	Consider IS	Consider IT	Consider IU	Consider IV	Consider IW	Consider IX	Consider IY	Consider IZ	Consider JA	Consider JB	Consider JC	Consider JD	Consider JE	Consider JF	Consider JG	Consider JH	Consider JI	Consider JJ	Consider JK	Consider JL	Consider JM	Consider JN	Consider JO	Consider JP	Consider JQ	Consider JR	Consider JS	Consider JT	Consider JU	Consider JV	Consider JW	Consider JX	Consider JY	Consider JZ	Consider KA	Consider KB	Consider KC	Consider KD	Consider KE	Consider KF	Consider KG	Consider KH	Consider KI	Consider KJ	Consider KK	Consider KL	Consider KM	Consider KN	Consider KO	Consider KP	Consider KQ	Consider KR	Consider KS	Consider KT	Consider KU	Consider KV	Consider KW	Consider KX	Consider KY	Consider KZ	Consider LA	Consider LB	Consider LC	Consider LD	Consider LE	Consider LF	Consider LG	Consider LH	Consider LI	Consider LJ	Consider LK	Consider LL	Consider LM	Consider LN	Consider LO	Consider LP	Consider LQ	Consider LR	Consider LS	Consider LT	Consider LU	Consider LV	Consider LW	Consider LX	Consider LY	Consider LZ	Consider MA	Consider MB	Consider MC	Consider MD	Consider ME	Consider MF	Consider MG	Consider MH	Consider MI	Consider MJ	Consider MK	Consider ML	Consider MM	Consider MN	Consider MO	Consider MP	Consider MQ	Consider MR	Consider MS	Consider MT	Consider MU	Consider MV	Consider MW	Consider MX	Consider MY	Consider MZ	Consider NA	Consider NB	Consider NC	Consider ND	Consider NE	Consider NF	Consider NG	Consider NH	Consider NI	Consider NJ	Consider NK	Consider NL	Consider NM	Consider NN	Consider NO	Consider NP	Consider NQ	Consider NR	Consider NS	Consider NT	Consider NU	Consider NV	Consider NW	Consider NX	Consider NY	Consider NZ	Consider OA	Consider OB	Consider OC	Consider OD	Consider OE	Consider OF	Consider OG	Consider OH	Consider OI	Consider OJ	Consider OK	Consider OL	Consider OM	Consider ON	Consider OO	Consider OP	Consider OQ	Consider OR	Consider OS	Consider OT	Consider OU	Consider OV	Consider OW	Consider OX	Consider OY	Consider OZ	Consider PA	Consider PB	Consider PC	Consider PD	Consider PE	Consider PF	Consider PG	Consider PH	Consider PI	Consider PJ	Consider PK	Consider PL	Consider PM	Consider PN	Consider PO	Consider PP	Consider PQ	Consider PR	Consider PS	Consider PT	Consider PU	Consider PV	Consider PW	Consider PX	Consider PY	Consider PZ	Consider QA	Consider QB	Consider QC	Consider QD	Consider QE	Consider QF	Consider QG	Consider QH	Consider QI	Consider QJ	Consider QK	Consider QL	Consider QM	Consider QN	Consider QO	Consider QP	Consider QQ	Consider QR	Consider QS	Consider QT	Consider QU	Consider QV	Consider QW	Consider QX	Consider QY	Consider QZ	Consider RA	Consider RB	Consider RC</

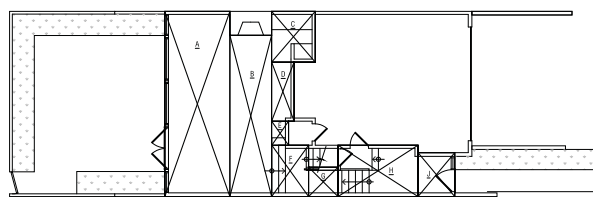
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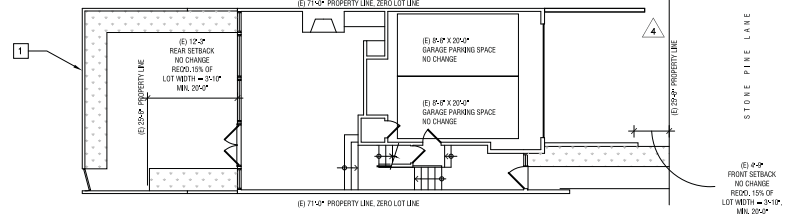
7 BUILDING COVERAGE DIAGRAM
NO CHANGE
1/8"=1'-0"



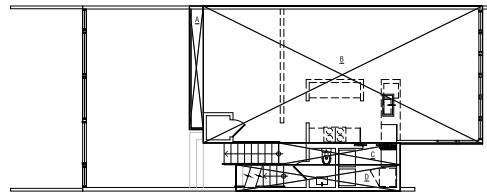
4 EXISTING FLOOR AREA CALCULATION PLAN - FIRST FLOOR
1/8"=1'-0"



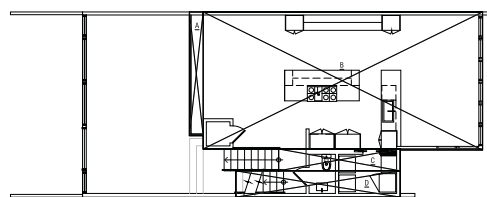
1 PROPOSED FLOOR AREA CALCULATION PLAN - FIRST FLOOR
1/8"=1'-0"



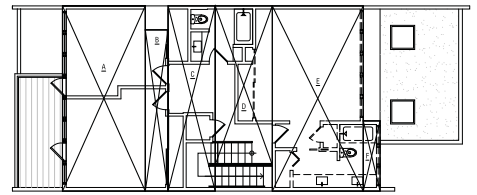
8 EXISTING SITE PLAN
NO CHANGE
1/8"=1'-0"



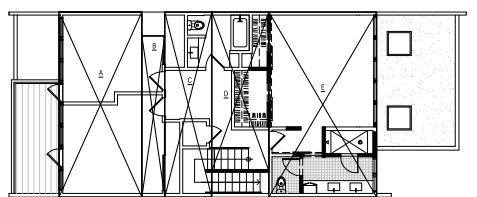
5 EXISTING FLOOR AREA CALCULATION PLAN - SECOND FLOOR
1/8"=1'-0"



2 PROPOSED FLOOR AREA CALCULATION PLAN - SECOND FLOOR
1/8"=1'-0"



6 EXISTING FLOOR AREA CALCULATION PLAN - THIRD FLOOR
1/8"=1'-0"



3 PROPOSED FLOOR AREA CALCULATION PLAN - THIRD FLOOR
1/8"=1'-0"

GROSS FLOOR AREA CALCULATIONS - EXISTING			
LEVEL ONE: 577.8 SF	A	25'-0" X 8'-10"	223.0 SF
	B	34'-0" X 22'-0"	748.0 SF
	C	35'-0" X 8'-0"	280.0 SF
	D	34'-0" X 8'-0"	272.0 SF
	E	20'-0" X 20'-0"	400.0 SF
	F	34'-0" X 7'-0"	238.0 SF
LEVEL TWO: 872.4 SF	G	40'-0" X 4'-0"	160.0 SF
	H	10'-0" X 14'-0"	140.0 SF
	I	34'-0" X 8'-0"	272.0 SF
	J	34'-0" X 8'-0"	272.0 SF
	K	34'-0" X 8'-0"	272.0 SF
	L	34'-0" X 8'-0"	272.0 SF
LEVEL THREE: 1015.8 SF	M	11'-0" X 10'-0"	110.0 SF
	N	34'-0" X 8'-0"	272.0 SF
	O	34'-0" X 8'-0"	272.0 SF
	P	34'-0" X 8'-0"	272.0 SF
	Q	34'-0" X 8'-0"	272.0 SF
	R	34'-0" X 8'-0"	272.0 SF

GROSS FLOOR AREA CALCULATIONS - PROPOSED			
LEVEL ONE: 577.8 SF	A	25'-0" X 8'-10"	223.0 SF
	B	34'-0" X 22'-0"	748.0 SF
	C	35'-0" X 8'-0"	280.0 SF
	D	34'-0" X 8'-0"	272.0 SF
	E	20'-0" X 20'-0"	400.0 SF
	F	34'-0" X 7'-0"	238.0 SF
LEVEL TWO: 872.4 SF	G	40'-0" X 4'-0"	160.0 SF
	H	10'-0" X 14'-0"	140.0 SF
	I	34'-0" X 8'-0"	272.0 SF
	J	34'-0" X 8'-0"	272.0 SF
	K	34'-0" X 8'-0"	272.0 SF
	L	34'-0" X 8'-0"	272.0 SF
LEVEL THREE: 1015.8 SF	M	11'-0" X 10'-0"	110.0 SF
	N	34'-0" X 8'-0"	272.0 SF
	O	34'-0" X 8'-0"	272.0 SF
	P	34'-0" X 8'-0"	272.0 SF
	Q	34'-0" X 8'-0"	272.0 SF
	R	34'-0" X 8'-0"	272.0 SF

GROSS FLOOR AREA CALCULATIONS - PROPOSED			
LEVEL ONE: 577.8 SF	A	25'-0" X 8'-10"	223.0 SF
	B	34'-0" X 22'-0"	748.0 SF
	C	35'-0" X 8'-0"	280.0 SF
	D	34'-0" X 8'-0"	272.0 SF
	E	20'-0" X 20'-0"	400.0 SF
	F	34'-0" X 7'-0"	238.0 SF
LEVEL TWO: 872.4 SF	G	40'-0" X 4'-0"	160.0 SF
	H	10'-0" X 14'-0"	140.0 SF
	I	34'-0" X 8'-0"	272.0 SF
	J	34'-0" X 8'-0"	272.0 SF
	K	34'-0" X 8'-0"	272.0 SF
	L	34'-0" X 8'-0"	272.0 SF
LEVEL THREE: 1015.8 SF	M	11'-0" X 10'-0"	110.0 SF
	N	34'-0" X 8'-0"	272.0 SF
	O	34'-0" X 8'-0"	272.0 SF
	P	34'-0" X 8'-0"	272.0 SF
	Q	34'-0" X 8'-0"	272.0 SF
	R	34'-0" X 8'-0"	272.0 SF

GROSS FLOOR AREA CALCULATIONS - PROPOSED			
LEVEL ONE: 577.8 SF	A	25'-0" X 8'-10"	223.0 SF
	B	34'-0" X 22'-0"	748.0 SF
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LEVEL TWO: 872.4 SF	G	40'-0" X 4'-0"	160.0 SF
	H	10'-0" X 14'-0"	140.0 SF
	I	34'-0" X 8'-0"	272.0 SF
	J	34'-0" X 8'-0"	272.0 SF
	K	34'-0" X 8'-0"	272.0 SF
	L	34'-0" X 8'-0"	272.0 SF
LEVEL THREE: 1015.8 SF	M	11'-0" X 10'-0"	110.0 SF
	N	34'-0" X 8'-0"	272.0 SF
	O	34'-0" X 8'-0"	272.0 SF
	P	34'-0" X 8'-0"	272.0 SF
	Q	34'-0" X 8'-0"	272.0 SF
	R	34'-0" X 8'-0"	272.0 SF

GROSS FLOOR AREA CALCULATIONS - PROPOSED			
LEVEL ONE: 577.8 SF	A	25'-0" X 8'-10"	223.0 SF
	B	34'-0" X 22'-0"	748.0 SF
	C	35'-0" X 8'-0"	280.0 SF
	D	34'-0" X 8'-0"	272.0 SF
	E	20'-0" X 20'-0"	400.0 SF
	F	34'-0" X 7'-0"	238.0 SF
LEVEL TWO: 872.4 SF	G	40'-0" X 4'-0"	160.0 SF
	H	10'-0" X 14'-0"	140.0 SF
	I	34'-0" X 8'-0"	272.0 SF
	J	34'-0" X 8'-0"	272.0 SF
	K	34'-0" X 8'-0"	272.0 SF
	L	34'-0" X 8'-0"	272.0 SF
LEVEL THREE: 1015.8 SF	M	11'-0" X 10'-0"	110.0 SF
	N	34'-0" X 8'-0"	272.0 SF
	O	34'-0" X 8'-0"	272.0 SF
	P	34'-0" X 8'-0"	272.0 SF
	Q	34'-0" X 8'-0"	272.0 SF
	R	34'-0" X 8'-0"	272.0 SF

STUDIO MAVEN

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SAN FRANCISCO, CA 94114
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REGISTERED ARCHITECT

MAVEN D. SANDRETTI

STATE OF CALIFORNIA

C-29638

PROJECT

CHOC/GAYNOR RENOVATION

1771 STONE PINE LANE
MENLO PARK, CA 94025

REVISION

DATE

REVISION 3 06.04.16

REVISION 4 06.16.16

REVISION 5 10.12.16

DATE: 10.12.16

JOB NUMBER: SAK0214.03

PHASE: CONSTRUCTION DOCUMENTS

ISSUED FOR: REVISION

SHEET TITLE

SITE PLAN & AREA CALCULATIONS

SHEET NUMBER

A1.0a

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PROJECT

CHOC/GAYNOR RENOVATION

**1771 STONE PINE LANE
MENLO PARK, CA 94025**

REVISION DATE

PERMIT 11.08.15
REVISION 4 08.16.16

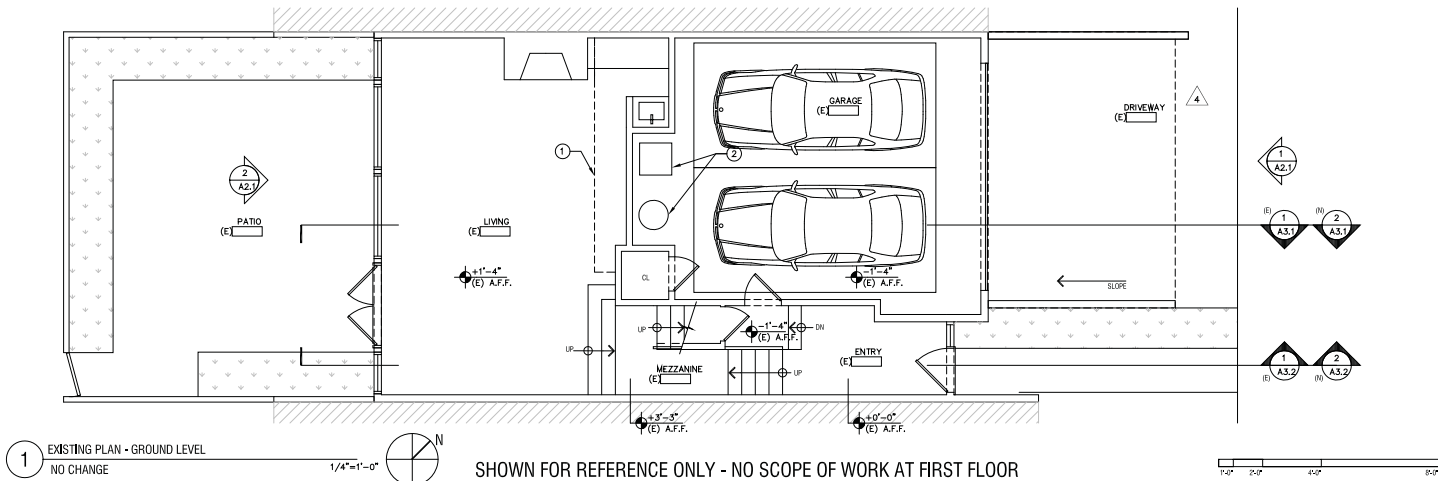
DATE: 10.15.16
JOB NUMBER: BAK014.03
PHASE: CONSTRUCTION DOCUMENTS
ISSUED FOR: REVISION

SHEET TITLE

**FIRST FLOOR PLAN -
EXISTING &
PROPOSED**

SHEET NUMBER

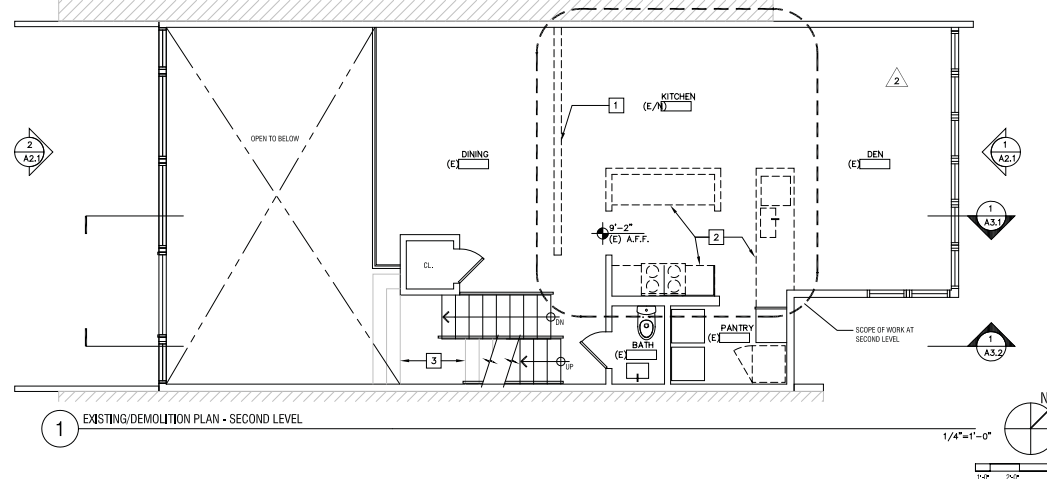
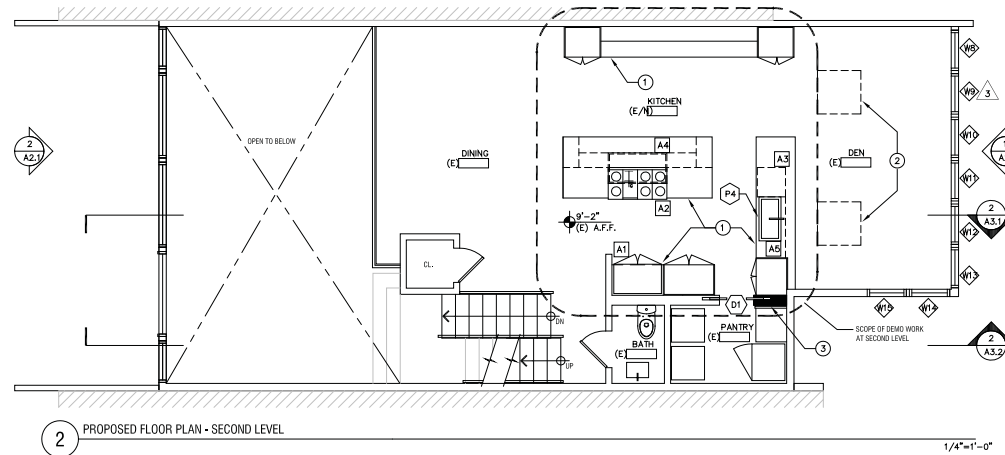
A1.1



LEGEND	
	NEW WALL
	EXISTING WALL TO REMAIN
	ITEM TO BE REMOVED V.O.L.
	NEW DOOR
	EXISTING DOOR
	ADJACENT RESIDENCES

KEY NOTES	
1	(E) DINING AREA BALCONY ABOVE
2	(E) MECH. EQUIT. TO REMAIN UNCHANGED

GENERAL NOTES	
1.	NO SCOPE AT FIRST FLOOR. (E) TO REMAIN THROUGHOUT.



DEMOLITION KEY NOTES

- 1 (E) NON-LOAD BEARING WALL TO BE REMOVED, S.S.D.
- 2 (E) MILLWORK TO BE REMOVED AND REPLACED.
- 3 (E) STAIRS @ FIRST FLOOR LEVEL TO REMAIN.

LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- ITEM TO BE REMOVED N.O.D.
- NEW DOOR
- EXISTING DOOR
- ADJACENT RESIDENCES

KEY NOTES

- 1 (N) MILLWORK THROUGHOUT KITCHEN.
- 2 (E) SKYLIGHT, TO REMAIN.
- 3 EXTENT OF (N) PARTITION SCOPE OF WORK.
- 4 (N) WINDOWS, TO REPLACE (E) WINDOWS, IN-AND-OUT.

GENERAL NOTES

1. SEE SCHEDULES FOR ALL EQUIP., FINISH, FURNITURE, DOORS & WINDOW SPECIFICATIONS.

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PROJECT

CHOC/GAYNOR RENOVATION
1771 STONE PINE LANE
MENLO PARK, CA 94025

REVISION DATE

PERMIT	11.08.15
REVISION 2	05.11.16
REVISION 3	06.13.16

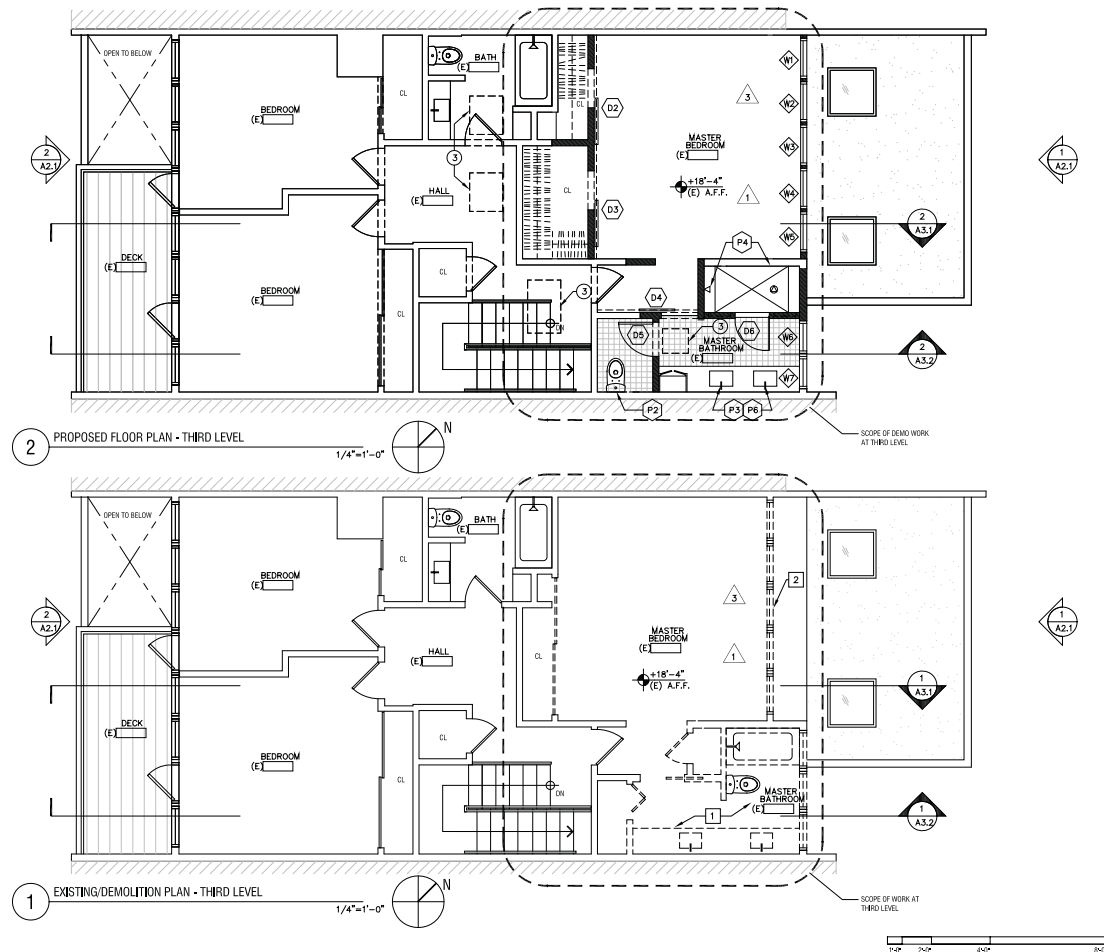
DATE:	10.13.16
JOB NUMBER:	BA0214.03
PHASE:	CONSTRUCTION DOCUMENTS
ISSUED FOR:	REVISION

SHEET TITLE

**SECOND FLOOR PLAN
- EXISTING &
PROPOSED**

SHEET NUMBER

A1.2



GENERAL DEMOLITION NOTES	DEMOLITION KEY NOTES	LEGEND	KEY NOTES	GENERAL NOTES
1. NOT USED	1 (E) RUTURES AND FINISHES TO BE REMOVED IN BATHROOM. 2 (E) WINDOWS AND WINDOW BOXES BELOW, TO BE REMOVED.	NEW WALL EXISTING WALL TO REMAIN ITEM TO BE REMOVED X.O.U. NEW DOOR EXISTING DOOR ADJACENT REFINISHES (E) ROOF BELOW	1 (N) WINDOWS TO REPLACE (E) WINDOWS. 2 (N) WALL TO BE CONSTRUCTED IN-LINE WITH EXISTING ADJACENT WALL. 3 (E) SKYLIGHT ABOVE, TO REMAIN.	1. NOT USED

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PROJECT
CHOC/GAYNOR RENOVATION
 1771 STONE PINE LANE
 MENLO PARK, CA 94025

REVISION	DATE
PERMIT	11.08.15
REVISION 1	03.07.16
REVISION 3	06.13.16

DATE: 10.13.16
 JOB NUMBER: SMO2014.03
 PHASE: CONSTRUCTION DOCUMENTS
 ISSUED FOR: REVISION

SHEET TITLE
**THIRD FLOOR PLANS-
EXISTING &
PROPOSED**

SHEET NUMBER
A1.3

730 CASTRO STREET
SAN FRANCISCO, CA 94114
415-494-8255

CHOC/GAYNOR RENOVATION

DATE:	10.12.16
JOB NUMBER:	SM2014/03
PHASE:	CONSTRUCTION DOCUMENTS
ISSUED FOR:	REVISION

SHEET TITLE

EXISTING EXTERIOR
ELEVATIONS
- EAST (FRONT) &
WEST (REAR)

SHEET NUMBER

A2.1

Architectural elevation drawing of a building facade. The drawing shows a two-story structure with a series of windows and doors. Callouts with leader lines point to various materials and finishes:

- SUBJECT PROPERTY - 1771 STONE PINE LIN.** (Pointing to the upper section of the facade)
- EXISTING SAWY & BUTTER, TO BE PAINTED. PLEASE REFER TO EXISTING MATERIALS PALETTE** (Pointing to the upper section of the facade)
- EXISTING WOOD PARKING, AND CHANNEL, PLEASE REFER TO EXISTING MATERIALS PALETTE** (Pointing to the upper section of the facade)
- EXISTING IRONWORK, (NO CHANGE), PLEASE REFER TO EXISTING MATERIALS PALETTE** (Pointing to the upper section of the facade)
- EXISTING STUCCO, TO BE PAINTED, PLEASE REFER TO EXISTING MATERIALS PALETTE** (Pointing to the upper section of the facade)
- EXISTING WOOD TRIM, TO BE PAINTED, PLEASE REFER TO EXISTING MATERIALS PALETTE** (Pointing to the upper section of the facade)
- 1701 STONE PINE LIN.** (Pointing to the lower section of the facade)
- EXISTING DOORS, (NO CHANGE), PLEASE REFER TO EXISTING MATERIALS PALETTE** (Pointing to the lower section of the facade)
- 1701 STONE PINE LIN.** (Pointing to the lower section of the facade)

SHOWN FOR REFERENCE ONLY - NO SCOPE OF WORK AT REAR ELEVATION

2 EXISTING - EXTERIOR ELEVATION - REAR

$$1/4'' = 1' - 0''$$

1761 STONE PINE LN.

SUBJECT PROPERTY -
1771 STONE PINE LN.

EXISTING GARVE & GUTTER, TO BE
PAINTED. PLEASE REFER TO EXISTING
MATERIALS PALETTE.

1761 STONE PINE LN.

(E) WINDOWS TO BE REPLACED

(E) DOWNPOUT
TO BE RELOCATED

EXISTING WINDOWS, TO BE REPLACED. PLEASE
REFER TO EXISTING MATERIALS PALETTE

EXISTING STUCCO, TO BE PAINTED.
PLEASE REFER TO EXISTING MATERIALS
PALETTE

EXISTING GARAGE DOOR, (NO CHANGE)
PLEASE REFER TO EXISTING MATERIALS
PALETTE

EXISTING FRONT DOOR, (NO CHANGE)
PLEASE REFER TO EXISTING
MATERIALS PALETTE

WINDOWS TO BE REPLACED

4 1 EXISTING - EXTERIOR ELEVATION - FRONT

$$1/4'' = 1' - 0'$$

Floor plan of the second floor showing room layouts and dimensions. The plan includes a central hallway, a living room with a fireplace, a dining room, a kitchen, a breakfast room, a terrace, a garage level, and three bedrooms. Dimensions are provided for various areas and overall sections.

- Overall width: 26'-0"
- Overall depth: 9'-0"
- Overall depth (excluding terrace): 9'-2"
- Overall depth (excluding terrace and garage level): 10'-0"
- Room dimensions and offsets:
 - Top left: 27'-6" (E) ROOF
 - Top middle: 18'-4" (E) FIN. FLR. - THIRD LEVEL - BEDROOMS
 - Middle left: 9'-2"
 - Middle right: 9'-0"
 - Bottom left: 9'-2"
 - Bottom middle: 18'-2" (E) FIN. FLR. - SECOND LEVEL - KITCHEN/DINING
 - Bottom right: 10'-0"
 - Bottom left (Garage Level): 1'-4" (E) FLR. - GARAGE LEVEL

PROPOSED MATERIALS PALETTE
SEE SHEET A2.2 FOR IMAGES

WINDOWS : WHITE VINYL
FRONT DOOR : BLACK PAINTED WOOD
• NO CHANGE

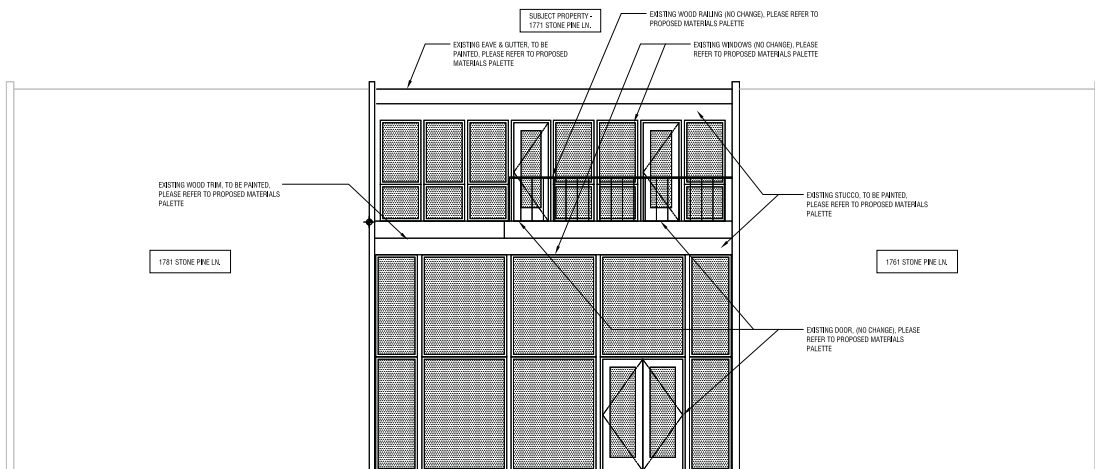
GARAGE DOOR : BRIGHT WHITE PAINTED WOOD
• NO CHANGE

DOORS : BRIGHT WHITE PAINTED WOOD
• NO CHANGE

STUCCO : MID-TONE GREY
EAVES : MID-TONE GREY
WOOD TRIM : BRIGHT WHITE - NO CHANGE
GUTTERS : MID-TONE GREY

WOOD RAILING @ REAR OF HOUSE :
NO CHANGE - CLEAR AVE REDWOOD & DARK OAK STAIN

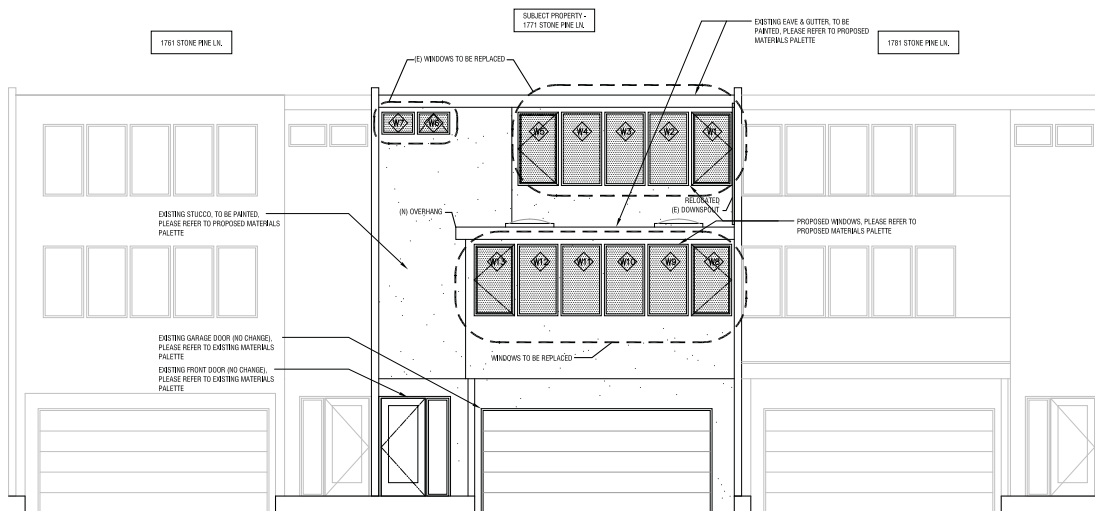
WOOD FENCE @ PARKING OVERHANG : CLEAR AVE REDWOOD & DARK OAK STAIN



SHOWN FOR REFERENCE ONLY - NO SCOPE OF WORK AT REAR ELEVATION

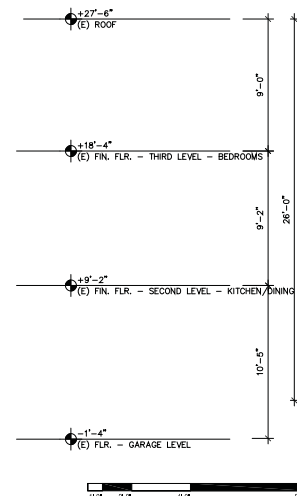
2 PROPOSED - EXTERIOR ELEVATION - REAR

1/4"=1'-0"

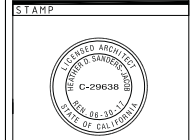


1 PROPOSED - EXTERIOR ELEVATION - FRONT

1/4"=1'-0"



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PROJECT

CHOC/GAYNOR RENOVATION

1771 STONE PINE LANE
MENLO PARK, CA 94025

REVISION	DATE
PERMIT	11.08.15
REVISION 4	08.26.16
REVISION 5	10.12.16

DATE:	10.15.16
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PHASE:	CONSTRUCTION DOCUMENTS
ISSUED FOR:	REVISION

SHEET TITLE
PROPOSED EXTERIOR ELEVATIONS - EAST (FRONT) & WEST (REAR)
SHEET NUMBER

A2.2

EXISTING MATERIALS PALETTE

FRONT & REAR ELEVATION SAME

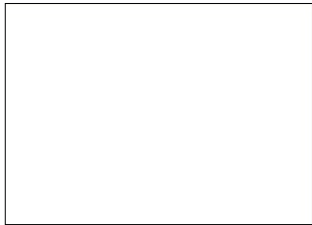
WINDOWS : BRIGHT WHITE VINYL

STUCCO : OFF WHITE

EAVES : BRIGHT WHITE

GUTTERS : BRIGHT WHITE

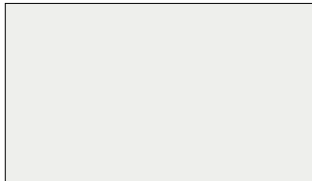
WOOD FENCE @ PARKING OVERHANG : BRIGHT WHITE PAINTED WOOD



EXISTING WINDOWS :
BRIGHT WHITE VINYL



(E) WOOD FENCE @
PARKING OVERHANG
: BRIGHT WHITE
PAINTED WOOD



EXISTING STUCCO / PAINT :
OFF-WHITE



IMAGE OF EXISTING FRONT FACADE -
MATERIALS & COLOR COMBO



EXISTING EAVE / GUTTERS :
BRIGHT WHITE

PROPOSED MATERIALS PALETTE

FRONT ELEVATION & REAR ELEVATION SAME, NO WINDOW REPLACEMENT AT REAR

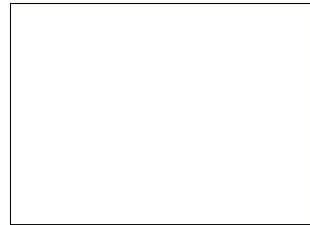
WINDOWS : WHITE VINYL

STUCCO : MID-TONE GREY

EAVES : MID-TONE GREY

GUTTERS : MID-TONE GREY

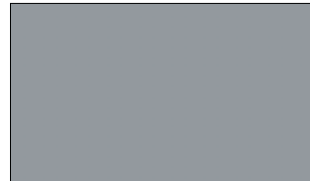
WOOD FENCE @ PARKING OVERHANG : CLEAR AYE REDWOOD & DARK OAK STAIN



PROPOSED WINDOWS :
WHITE VINYL



WOOD FENCE @ PARKING OVERHANG :
CLEAR AYE REDWOOD & DARK OAK STAIN



PROPOSED STUCCO /
PAINT : MID-TONE GREY



PROPOSED EAVES &
GUTTERS : MID-TONE GREY

IMAGE OF PROPOSED MATERIALS
& COLOR COMBO

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PROJECT

CHOC/GAYNOR RENOVATION

1771 STONE PINE LANE
MENLO PARK, CA 94025

REVISION DATE

PERMIT 11.08.15
REVISION 4 08.26.16

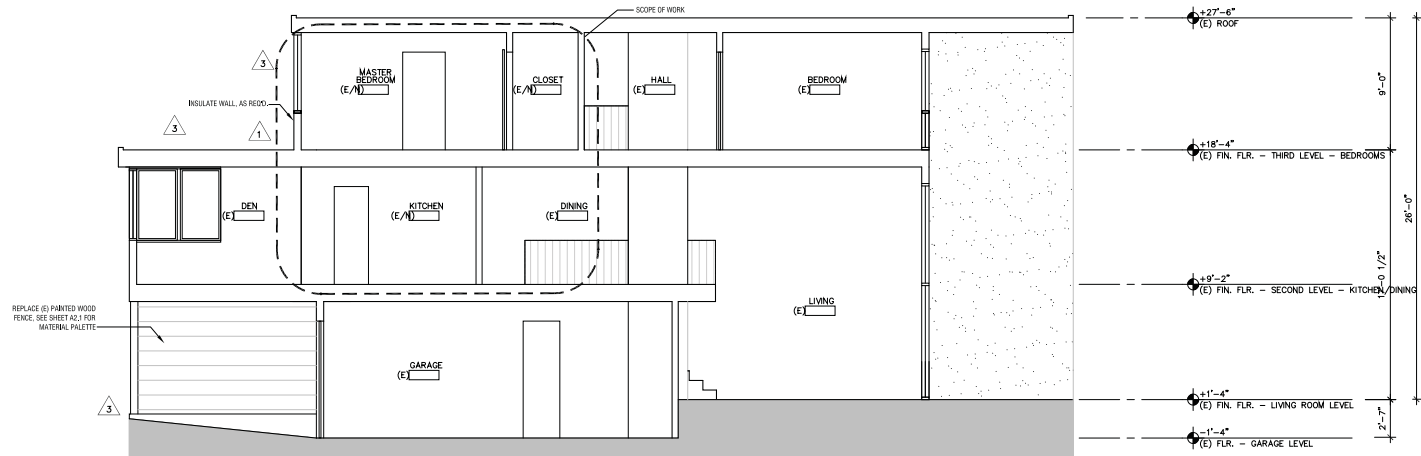
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JOB NUMBER: SAK014.03
PHASE: CONSTRUCTION DOCUMENTS
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SHEET TITLE

MATERIALS BOARD
1771 STONE PINE LN.

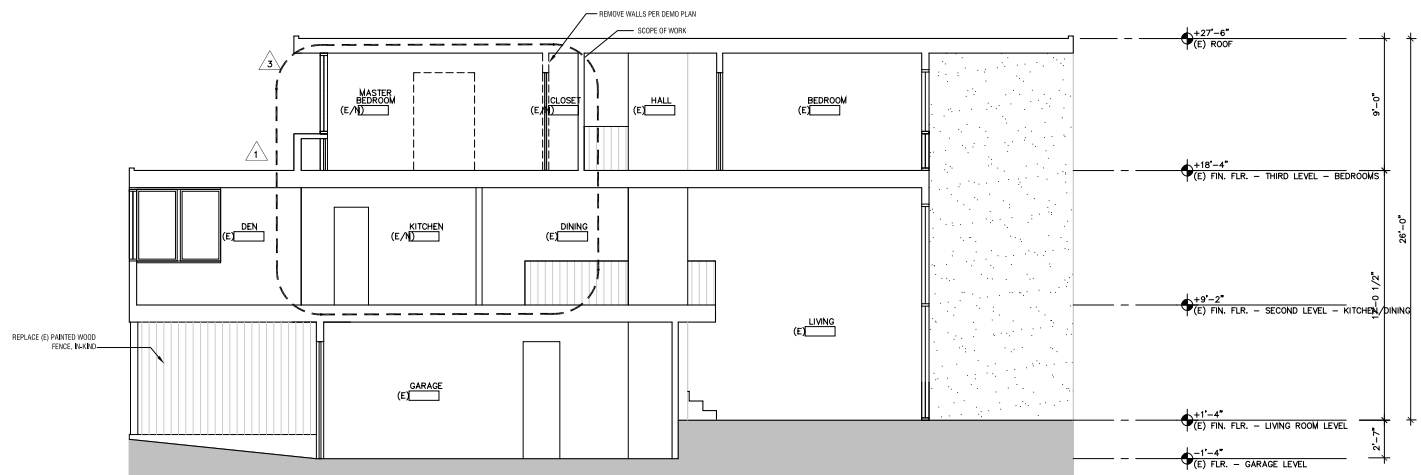
SHEET NUMBER

A2.2a



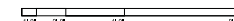
2 LONGITUDINAL SECTION - PROPOSED

1/4"=1'-0"



1 LONGITUDINAL SECTION - EXISTING/DEMO

1/4"=1'-0"



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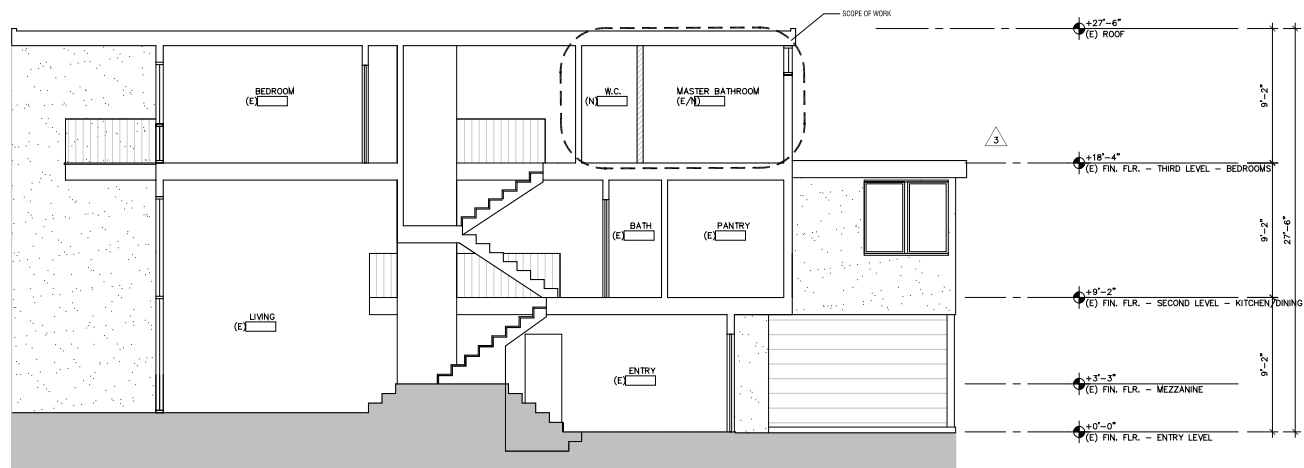
REVISION	DATE
PERMIT	11.08.15
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REVISION 3	06.13.16

DATE:	10.15.16
JOB NUMBER:	BA02014.03
PHASE:	CONSTRUCTION DOCUMENTS
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SHEET TITLE
BUILDING SECTIONS -
EXISTING &
PROPOSED

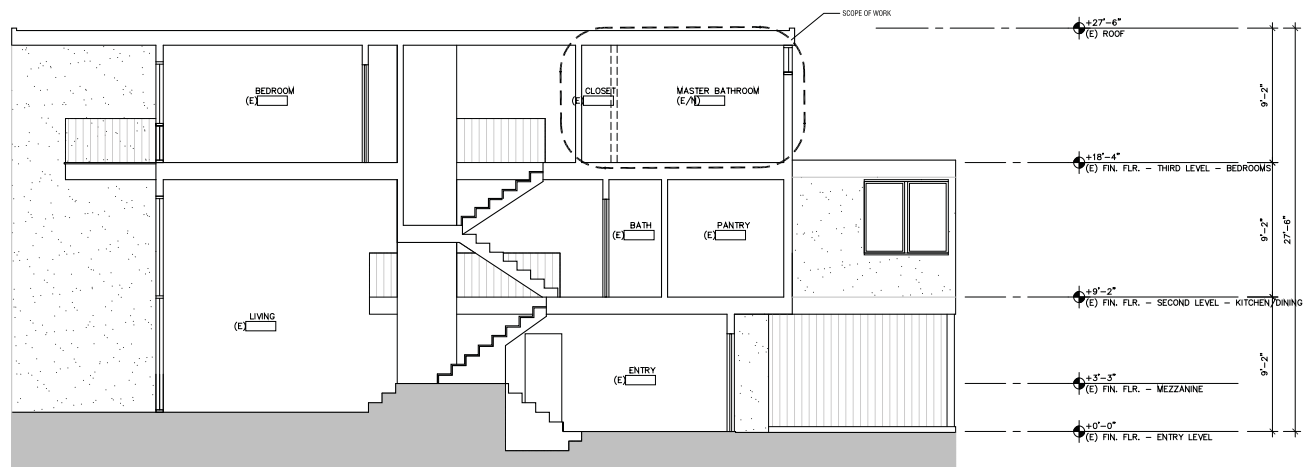
SHEET NUMBER

A3.1



1 LONGITUDINAL SECTION - PROPOSED

1/4"=1'-0"



1 LONGITUDINAL SECTION - EXISTING

1/4"=1'-0"

1'-0" 2'-0" 4'-0" 6'-0"

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1771 STONE PINE LANE
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REVISION DATE

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SHEET TITLE

**BUILDING SECTIONS -
EXISTING &
PROPOSED**

SHEET NUMBER

A3.2

DOOR SCHEDULE									
OPENING		DOOR						NOTES	
MARK	NOM W	NOM H	TYPE	THK	CONST	GLAZING	FACING	HDWR GROUP	
D1	2'-4"	6'-8"	DT-1	1-3/4"	WD-P	N/A	WD-P	B	
D2	2'-8"	6'-8"	DT-2	1-3/4"	SWC	N/A	WD	D	
D3	2'-8"	6'-8"	DT-2	1-3/4"	SWC	N/A	WD	D	
D4	2'-6"	6'-8"	DT-2	1-3/4"	WD-P	N/A	WD	D	
D5	2'-4"	6'-8"	DT-3	1-3/4"	WD-P	N/A	WD-P	A	
D6	2'-4"	6'-8"	DT-4	5/8"	CTG	Y	N/A	E	①

DOOR TYPES

1/4"=1'-0"

HARDWARE GROUPS

A PRIVACY - BEDROOM/BATHROOM
B POCKET DOOR - PASSAGE
C POCKET DOOR - PRIVACY
D SLIDING DOOR - BARN
E SHOWER DOOR HARDWARE

HARDWARE SPECIFICATIONS

POCKET DOOR HARDWARE: MFR: JOHNSON HARDWARE
BARN DOOR HARDWARE: MFR: RUSTICA HARDWARE

DOOR SPECIFICATIONS

DT-1 FLAT PANEL POCKET DOOR
MFR.: TRUSTILE; ITEM NUMBER: TS 1000-C-SS;
FINISH: TBD
DT-2 SLIDING BARN DOOR
MFR.: RUSTICA HARDWARE; STYLE: MIRROR DOOR;
FINISH: TBD
DT-3 FLAT PANEL DOOR
MFR.: TRUSTILE; ITEM NUMBER: TS 1000-C-SS;
FINISH: TBD
DT-4 GLASS PANEL DOOR
MFR.: TBD

GENERAL DOOR SCHEDULE NOTES

1. SEE INT. ELEVATIONS & FINISH SCHEDULE FOR PAINT COLORS

DOOR SCHEDULE KEY NOTES

① SHOWER DOOR TO BE TEMP. GLAZING

DOOR SCHEDULE KEY

WD WOOD DOOR
P- PAINTED, COLOR AS SELECTED BY ARCHITECT
S&R SOLID WOOD CORE
SWC STILE AND RAIL
CGT CLEAR GLASS, TEMPERED
WD-P HARDWOOD, PAINT-GRADE

WINDOW SCHEDULE									
MARK	EXISTING								
	NOM W	NOM H	SILL	MATL	TYPE	NOTES			
WT-1	2'-9"	4'-4 1/2"	3'-0"	VINYL	CASEMENT	①			
WT-2	2'-9"	4'-4 1/2"	3'-0"	VINYL	FIXED				
WT-3	2'-9"	4'-4 1/2"	3'-0"	VINYL	FIXED				
WT-4	2'-9"	4'-4 1/2"	3'-0"	VINYL	FIXED				
WT-5	2'-9"	4'-4 1/2"	3'-0"	VINYL	CASEMENT	①			
WT-6	2'-0"	1'-6"	6'-0"	VINYL	CASEMENT				
WT-7	2'-0"	1'-6"	6'-0"	VINYL	FIXED				
WT-8	2'-9"	4'-4 1/2"	3'-3"	VINYL	CASEMENT				
WT-9	2'-9"	4'-4 1/2"	3'-3"	VINYL	FIXED				
WT-10	2'-9"	4'-4 1/2"	3'-3"	VINYL	FIXED				
WT-11	2'-9"	4'-4 1/2"	3'-3"	VINYL	FIXED				
WT-12	2'-9"	4'-4 1/2"	3'-3"	VINYL	FIXED				
WT-13	2'-9"	4'-4 1/2"	3'-3"	VINYL	CASEMENT				
WT-14	2'-9"	4'-4 1/2"	3'-3"	VINYL	CASEMENT				
WT-15	2'-9"	4'-4 1/2"	3'-3"	VINYL	CASEMENT				

WINDOW TYPES

1/4"=1'-0"

GENERAL WINDOW SCHEDULE NOTES

1. ALL (E) WINDOW MEASUREMENTS TO BE V.I.F.
2. ALL WINDOWS TO E TYPE WT-1, U.O.N. VERIFY WINDOW SPECIFICATIONS WITH OWNERS.

WINDOW SCHEDULE KEY NOTES

① EGRESS WINDOW, MIN. 5.7 SQFT, MIN. 24"H X 20"W.

WINDOW SPECIFICATIONS

WT-1 MILGUARD QUIETLINE SERIES, OR SIM., VERIFY W/OWNER

LIGHTING SCHEDULE									
SYMBOL	TYPE	DESCRIPTION	MANUFACTURER	CATALOG #	LAMP	FINISH	NOTES		
⊕	A1	INCANDESCENT PENDANT LIGHT	T.B.D.	T.B.D.	T.B.D.	T.B.D.	②		
⊕	A2	WALL-MOUNTED INCANDESCENT LIGHT	T.B.D.	T.B.D.	T.B.D.	T.B.D.	② ③		
—	L1	L.E.D. RIBBON LIGHT	T.B.D.	T.B.D.	12V STRIP LIGHT	N/A	①		
□	L2	4" LED RECESSED DOWNLIGHT	MATCH (E)	T.B.D.	T.B.D.	T.B.D.	④		
□	L3	4" LED RECESSED DOWNLIGHT	T.B.D.	T.B.D.	T.B.D.	T.B.D.	③ ④		

LIGHTING SCHEDULE GENERAL NOTES

1. CONTRACTOR SHALL VERIFY THE EXACT ELECTRICAL REQUIREMENTS WITH THE FEATURES INDICATED AND PROVIDE ALL ROUGH-INS, CONNECTIONS, AND LAMPS AS REQUIRED FOR AN OPERATIONAL DEVICE.
2. IN ROOMS OTHER THAN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, CLOSETS OR UTILITY ROOMS, ALL INSTALLED LUMINAIRES SHALL EITHER BE HIGH EFFICACY OR CONTROLLED BY A VACANCY SENSOR OR DIMMER.
3. VERIFY HEIGHT OF ALL SUSPENDED AND PENDANT-MOUNTED FIXTURES PRIOR TO INSTALLATION, VERIFY WITH OWNER.
4. ALL PERMANENTLY INSTALLED HIGH EFFICACY LUMINAIRES SHALL BE SWITCHED SEPARATELY FROM LOW EFFICACY LUMINAIRES.
5. SMOKE DETECTORS ARE REQUIRED IN ALL BEDROOMS, CONTRACTOR TO INSTALL WHERE NOT EXISTING.
6. CARBON MONOXIDE ALARMS ARE REQUIRED IN ALL AREAS LEADING TO BEDROOMS AND AT EACH FLOOR LEVEL.

LIGHTING SCHEDULE KEY NOTES

① BOTTOM-OF-CABINET MOUNTED
② OWNER-FURNISHED, CONTRACTOR-INSTALLED
③ UL LISTED
④ IC RATED.

730 CASTRO STREET
SAN FRANCISCO, CA 94114
415-494-8255

STAMP

PROJECT

CHOC/GAYNOR RENOVATION

1771 STONE PINE LANE
MENLO PARK, CA 94025

REVISION	DATE
PERMIT ①	11.08.15
REVISION ③	06.13.16

DATE: 10.15.16
JOB NUMBER: SBA014.03
PHASE: CONSTRUCTION DOCUMENTS
ISSUED FOR: REVISION

SHEET TITLE

SCHEDULES - DOOR, WINDOW & LIGHTING

SHEET NUMBER

A6.1

C14

Project Description: 1771 Stone Pine Lane

We are doing a remodel of our kitchen (second floor), and master bedroom and bathroom (third floor).

The second floor remodel consists of removing non-load-bearing walls in the kitchen to create a more open floor plan. New appliances will be installed. Cabinets, countertops, and other finishes will be replaced.

The master bathroom will absorb two small closets so that the layout becomes squarer as opposed to its current long rectangle. The toilet will be moved to a WC room. The vanity will become shorter, the shower wider. The window at the front of the house that currently sits over the shower will be eliminated to make the shower taller. Cabinets, countertops, tile, and other finishes will be replaced.

In the master bedroom, the windows at the front of the house, which are currently recessed over a storage area, will be moved to be flush with the outer wall and the existing roof line, approximately 2.5 feet. The windows will be replaced with a more soundproof model and insulation will be installed in that front wall. The existing closets opposite the windows will be expanded by 2.5 feet.

On the exterior, the trim around all windows will be eliminated. The stucco will extend all the way to the white window framing on both the second and third floors. There will be an overhanging lip at the top of the second and third floors to protect the windows from the elements. The drainage spout will be moved to the side. The wooden pergola over the door will be eliminated. The vertical slatted fence separating the walkway and the driveway will be replaced with a clear aye, dark stained, horizontal slatted redwood fence that matches the fence in the rear of the house. And the house will be painted a medium tone cool gray.

PARK FOREST II HOMEOWNERS ASSOCIATION
ARCHITECTURAL COMMITTEE

Date: August 16, 2016

To: Ted Choc and Whitney Gaynor
1771 Stone Pine Lane
Menlo Park, Ca. 94025

From: Park Forest II Architectural Committee

Subject: Renovation

Dear Ted and Whitney,

The Park Forest Architectural Committee thanks you the submittal of the complete set of plans relative to your kitchen, master bedroom and bath renovation at 1771 Stone Pine Lane which now include exterior changes to the front of your townhome.

These plans have been reviewed by the Committee and are approved as submitted as long as the conditions of all changes conform with the requirements of the City of Menlo Park. The exterior window relocation and modifications have been included in the review process and have been approved.

Your proposed renovation will be a wonderful improvement to your home which we are sure you will thoroughly enjoy. The Stone Pine community will also benefit from these improvements; we thank you for the design enhancements.

The Architectural Committee wishes you success with the upcoming project you're about to embark.

Best regards,

A handwritten signature in dark ink, appearing to read "Anne Lear", with a stylized flourish at the end.

Anne Lear
Joan Reveno
Architectural Committee
Park Forest II Homeowners Association



STAFF REPORT

Planning Commission

Meeting Date: 11/7/2016
Staff Report Number: 16-085-PC

Consent Calendar: Sign Review/Alice Booker/149 Commonwealth Drive

Recommendation

Staff recommends that the Planning Commission approve a request for sign review to modify an existing freestanding monument sign to include six tenants in the M-2 (General Industrial) zoning district, at 149 Commonwealth Drive. The recommended actions are contained within Attachment A.

Policy Issues

Each sign review request is considered individually. The Planning Commission should consider whether the signage is consistent with businesses and signage in the general area, and with the Design Guidelines for Signs.

Background

Site location

The subject property is located at 149 Commonwealth Drive, accessible from Chrysler Drive next to US Highway 101, the Bayshore Freeway. The subject parcel is surrounded by general industrial and commercial buildings in the M-2 (General Industrial) and M-2 (X) (General Industrial, Conditional Development) zoning districts. The lot consists of one R&D (research and development) building which currently contains six tenants. The property is located behind buildings at 150, 160 and 162 Jefferson Drive and is not readily observable from Chrysler Drive. A location map is included as Attachment B.

Analysis

Project description

The applicant is proposing to replace one freestanding monument sign, which is located at the property entrance and which is perpendicular to Commonwealth Drive. There are existing directional and informational signs on the property, but none are proposed to be refaced or for replacement. The location of the building is only visible from Commonwealth Drive, which serves as egress and ingress for the property from Chrysler Drive. The Bayshore Freeway (US-101) is the only other roadway where the front elevation of the building is visible.

Staff reviews a sign application for conformance with both the Zoning Ordinance regulations and the Design Guidelines for Signs. If the request meets the requirements in both documents, staff can approve

the sign request administratively. If, however, the sign request would potentially be incompatible with the Design Guidelines for Signs, the review of the application is forwarded to the Planning Commission, as a general review of the sign for consistency with the Design Guidelines. In this case, the proposal would not be strictly consistent with one element of the Design Guidelines.

The Design Guidelines for Signs state that monument signs may include only tenants that occupy a minimum of 25 percent of the total gross leasable area of the property to qualify for space on a freestanding sign. This limits the number of tenants on a monument sign to four. However, the building is currently occupied by six tenants, including the property owner, Exponent. The existing monument sign identifies only the main tenant, Exponent.

The applicant proposes spaces to accommodate six tenants on the new sign to better take advantage of drive-by traffic. The proposed sign would be primarily blue (specifically Pantone Matching System (PMS) color 320), cool gray (PMS color 4U), and metallic silver. According to the applicant, the monument sign would match the current blue color used on portions of the building's exterior. The channel letters provided for Exponent would feature internal LED (Light Emitting Diode) illumination, and below that space would be six non-illuminated aluminum panels for the remaining businesses. The sign would be seven feet high and approximately 54.25 square feet in size. Aside from the number of tenants, the sign would meet all of the Zoning Ordinance and Design Guidelines for Signs requirements.

The applicant has submitted a project description letter (Attachment D) that explains their request in more detail. Staff believes that the sign colors would complement the existing signage on the subject property, and would be consistent with the existing exterior decoration of the building.

Correspondence

Staff has not received any correspondence on this project.

Conclusion

Staff believes that the proposed signage would complement the existing signage around the building and is consistent with signage on neighboring commercial properties. Staff recommends approval of the sign request.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 1530301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Project Plans
- D. Project Description Letter

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

Michele T. Morris, Assistant Planner

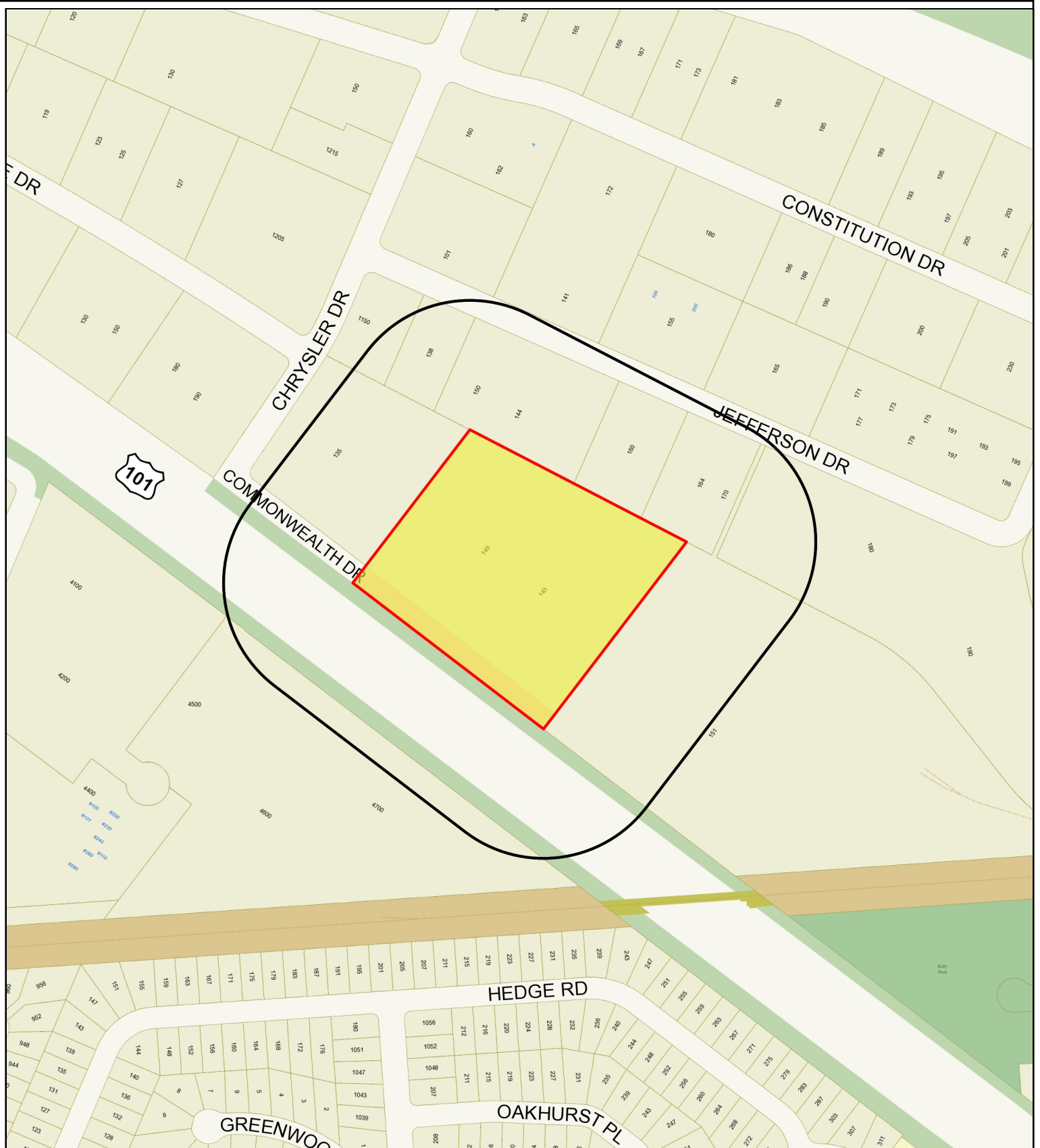
Report reviewed by:

Thomas Rogers, Principal Planner

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149 Commonwealth Drive – Attachment A: Recommended Actions

LOCATION: 149 Commonwealth Drive	PROJECT NUMBER: PLN2016-00072	APPLICANT: Alice Booker	OWNER: Exponent Realty LLC
REQUEST: Request for sign review to modify an existing freestanding monument sign to include six tenants in the M-2 (General Industrial) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: <ol style="list-style-type: none">1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines.2. Make a finding that the sign is appropriate and compatible with the businesses and signage in the general area, and is consistent with the Design Guidelines for Signs.3. Approve the sign review request subject to the following standard conditions of approval:<ol style="list-style-type: none">a. Development of the project shall be substantially in conformance with the plans provided by the applicant, consisting of 21 plan sheets dated received September 27, 2016, and approved by the Planning Commission on November 7, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.b. The applicant shall comply with all West Bay Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.			



City of Menlo Park
Location Map
149 Commonwealth Drive



Scale: 1:3,600

Drawn By: MTM

Checked By: THR

Date: 11/7/2016

Sheet: 1

Exponent Building Pictures

RECEIVED

SEP 27 2016

CITY OF MENLO PARK
PLANNING







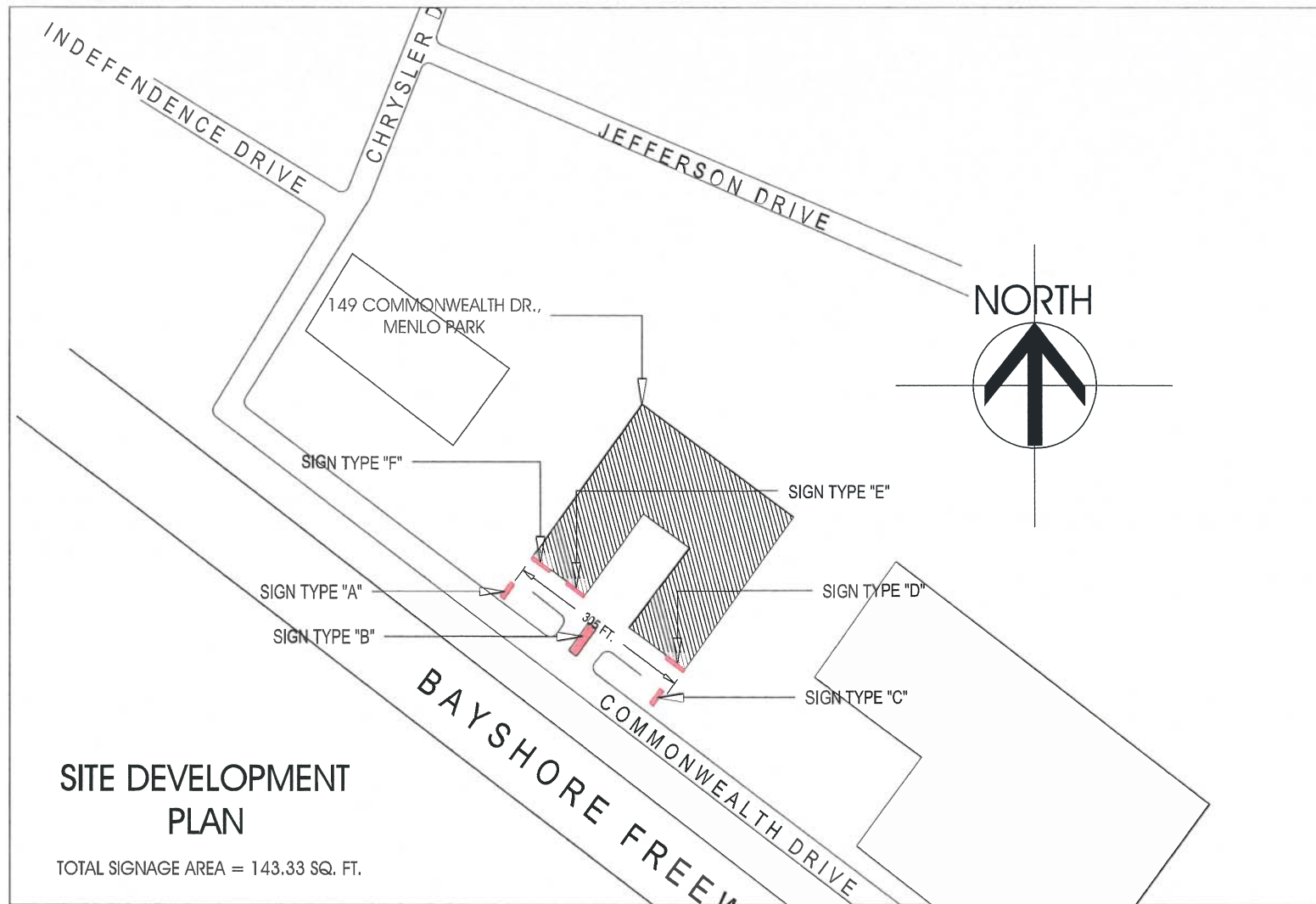
Exponent Floor Plans







Exponent Sign Plans



PROJECT NAME:
EXPONENT SIGNAGE

ADDRESS:
 149 COMMONWEALTH DR., MENLO PARK

Designed by:
JDSS

Date: 8-11-2016
 Filename: EXPONENT SIGNAGE 8-11-16.dwg

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Sheet No.:
10




SIGN TYPE "A"

D/F ALUM PYLON SIGN W/ VINYL COPY &
PICTOGRAM - NON-ILLUMINATED
OVERALL SIZE 5.81 SQ. FT.

NO
CHANGES

EXISTING COLOR:


ARROW = BLACK
LETTERS = BLACK
H/C PICTOGRAM = BLUE

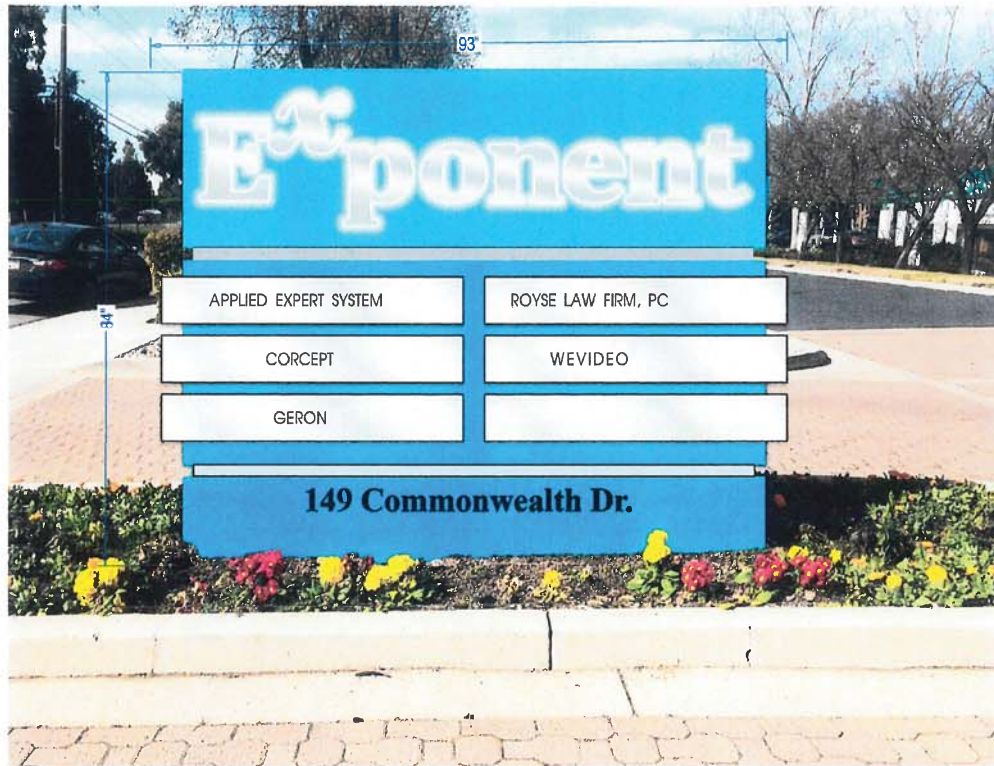
 <p>2010 re-design Phone: 800-341-1111 Fax: 952-938-9812 19100 re-design.com</p> <p>4500 W. 104th Street, Suite 212 Minnetonka, MN 55342</p>	<ul style="list-style-type: none"> 1. General Contract 2. Design/Construct 3. Design/Build 4. Design/Procure/Construct 5. Design/Procure/Construct/Operate 6. Design/Procure/Construct/Operate/Maintain 7. Design/Procure/Construct/Operate/Maintain/Transfer 8. Design/Procure/Construct/Operate/Maintain/Transfer/Finance 9. Design/Procure/Construct/Operate/Maintain/Transfer/Finance/Insurance 10. Design/Procure/Construct/Operate/Maintain/Transfer/Finance/Insurance/Support 	<p>PROJECT NAME:</p> <p>EXPONENT SIGNAGE</p> <p>ADDRESS:</p> <p>149 COMMONWEALTH DR., MENLO PARK</p>	<p>Designed by:</p> <p>JDSS</p> <p>Date:</p> <p>8-11-2016</p> <p>Filename:</p> <p>EXPONENT SIGNAGE 8-11-16.dwg</p>	<p>This is an original unpublished drawing submitted in connection with a project we are planning for you. It is not to be copied, reproduced, exhibited or shown to anyone outside of your organization without written permission of A-ACE Sign Company.</p>	<p>Sheet No.:</p> <p>11</p>
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SIGN TYPE "B"

EXISTING
MONUMENT SIGN TO
BE MODIFIED

 <p>25000 - 26000 Phone: (800) 361-4442 FAX: (510) 492-4132 WEB: a-acesign.com</p> <p>40000 - 41000 149 Commonwealth Dr. 372 Menlo Park, CA 94025</p>	<p>1. Project Name: Exponent Signage 2. Location: 149 Commonwealth Dr., Menlo Park, CA 3. Client: Exponent 4. Designer: A-ACE Sign Company 5. Date: 8-11-2016 6. Project No.: 149-16-001</p>	<p>PROJECT NAME: EXPONENT SIGNAGE</p> <p>ADDRESS: 149 COMMONWEALTH DR., MENLO PARK</p>	<p>Designed by: JDSS</p> <p>Date: 8-11-2016 Filename: EXPONENT SIGNAGE 8-11-16.dwg</p>	<p>This is an original unpublished drawing submitted in connection with a project we are planning for you. It is not to be copied, reproduced, exhibited or shown to anyone outside of your organization without written permission of A-ACE Sign Company.</p>	<p>Sheet No.: 12</p>
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SIGN TYPE "B"

D/F CABINET ALUM MONUMENT WITH REMOVABLE ALUM
TENANT PANELS
OVERALL SIZE = 54.25 SQ FT

PROPOSED



1. Lighted Cabinet Monument
 2. Removable Aluminum Panels
 3. Aluminum Frame
 4. 1/2" Thick Aluminum
 5. 1/4" Thick Aluminum
 6. 1/4" Thick Aluminum
 7. 1/4" Thick Aluminum
 8. 1/4" Thick Aluminum
 9. 1/4" Thick Aluminum
 10. 1/4" Thick Aluminum
 11. 1/4" Thick Aluminum
 12. 1/4" Thick Aluminum

PROJECT NAME:

EXPONENT SIGNAGE

ADDRESS:

149 COMMONWEALTH DR., MENLO PARK

Designed by:

JDSS

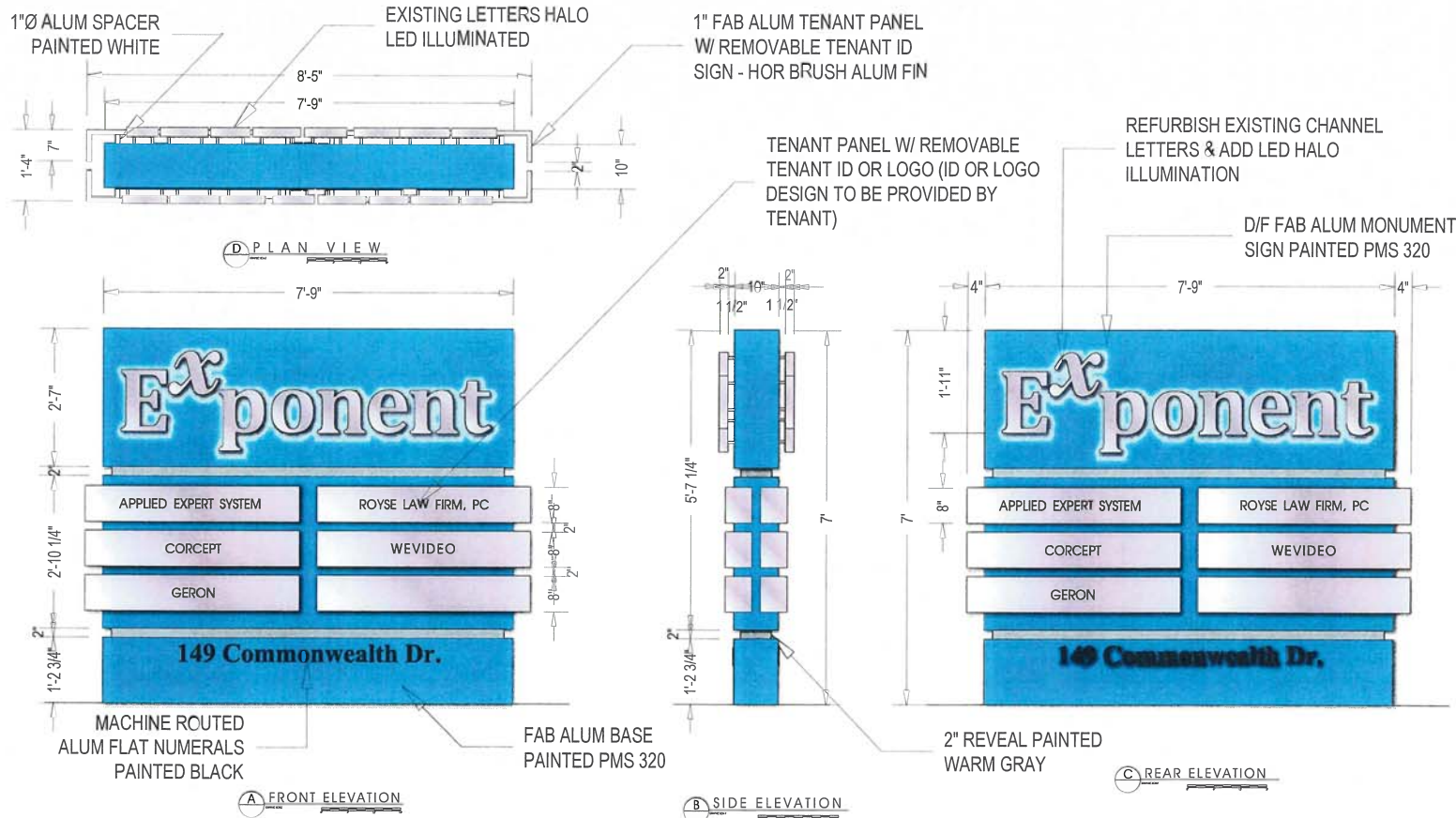
Date: 8-11-2016

Filename: EXPONENT SIGNAGE 8-11-16.dwg

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Sheet No.:

13



NOTES:
 CHANNEL LETTERS "EXPONENT" WILL HAVE BRUSHED SILVER ALUM
 FACES W/ WHITE LED ILLUMINATION INSIDE THE LETTERS
 MONUMENT COLORS:
 MONUMENT BODY - PMS 320
 "EXPONENT" LETTERS - BRUSHED SILVER ALUM COLOR.
 ALL TENANT PANELS - BLACK LETTERS ON BRUSHED SILVER ALUM.
 B/G-NON-ILLUMINATED
 MONUMENT BASE - PMS 320
 2" REVEAL - WARM GRAY

SIGN TYPE "B"

NEW SIGN CABINET & SIGN
 PANELS WILL USE EXISTING
 FOOTINGS & PIPE

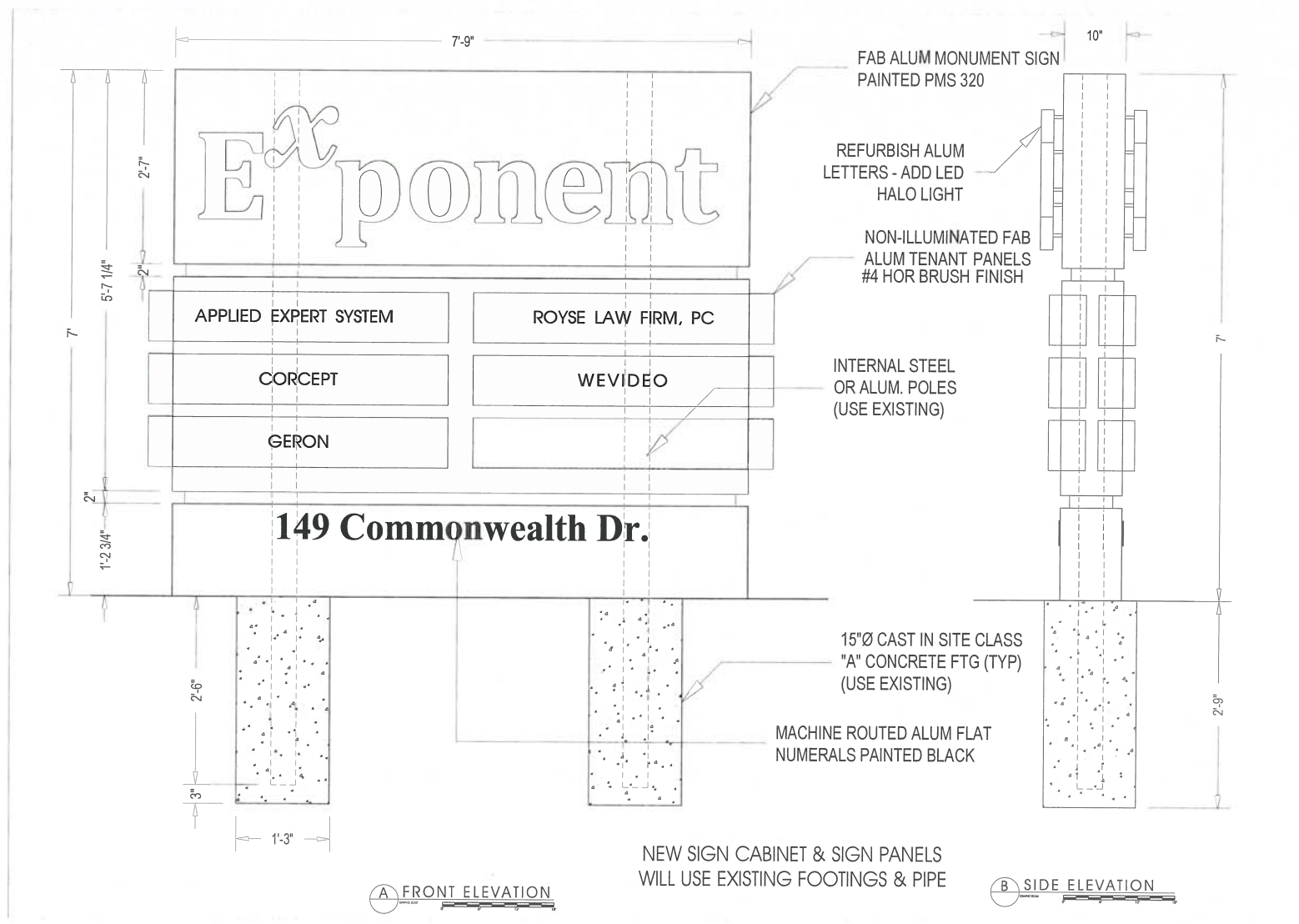


PROJECT NAME:
 EXPONENT SIGNAGE
 ADDRESS:
 149 COMMONWEALTH DR., MENLO PARK

Designed by:
 JDSS
 Date:
 8-11-2016
 Filename:
 EXPONENT SIGNAGE 8-11-16.dwg

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Sheet No.:
 14



A-ACE SIGN CO.
A Division of R. J. Johnson & Son, Inc.
3401 S. 10th St., Suite 100
Menlo Park, CA 94025
Phone: 650-338-1212
Fax: 650-338-1213
Website: www.a-ace.com

Lighting: Change lamps, Fixtures, Lighting, Illumination, Mounting, Hardware, Fabrication, Installation, Maintenance, Repairs, Removal, Demolition, Disposal, Recycling, etc.

<p>PROJECT NAME:</p> <p>EXPONENT SIGNAGE</p> <p>ADDRESS:</p> <p>149 COMMONWEALTH DR., MENLO PARK</p>	<p>Designed by:</p> <p>JDSS</p> <p>Date:</p> <p>8-11-2016</p> <p>Filename:</p> <p>EXPONENT SIGNAGE 8-11-16.dwg</p>	<p>This is an original unpublished drawing submitted in connection with a project we are planning for you. It is not to be copied, reproduced, exhibited or shown to anyone outside of your organization without written permission of A-ACE Sign Company.</p>	<p>Sheet No.:</p> <p>15</p>
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NO
CHANGES

EXISTING COLOR:

BLACK ARROW & LETTERS
BLUE PICTOGRAM

SIGN TYPE "C"

D/F WHITE ALUM PYLON SIGN W/ VINYL
COPY & PICTOGRAM - NON ILLUMINATED
OVERALL SIZE = 5.81 SQ FT

A-ACE SIGN CO.
Manufactured in the United States
A-ACE Sign Co. Inc.
2500 W. 10th Street
Phoenix, AZ 85001-1000
Phone: (602) 944-1111
Fax: (602) 944-1112
Web: a-ace.com

1. Sign Type "C"
2. Sign Size: 5.81 SQ FT
3. Sign Color: White
4. Sign Material: Aluminum
5. Sign Finish: Powder Coat
6. Sign Mounting: Pylon
7. Sign Location: Menlo Park
8. Sign Date: 8-11-2016
9. Sign File: EXPONENT SIGNAGE 8-11-16.dwg

PROJECT NAME:
EXPONENT SIGNAGE

ADDRESS:
149 COMMONWEALTH DR., MENLO PARK

Designed by:
JDSS

Date:
8-11-2016

Filename:
EXPONENT SIGNAGE 8-11-16.dwg

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Sheet No.:
16



EXISTING
GRAY LETTERS

FAB ALUM CHANNEL LETTERS NEON HALO LIT
OVERALL SIZE = 31.21 SQ FT

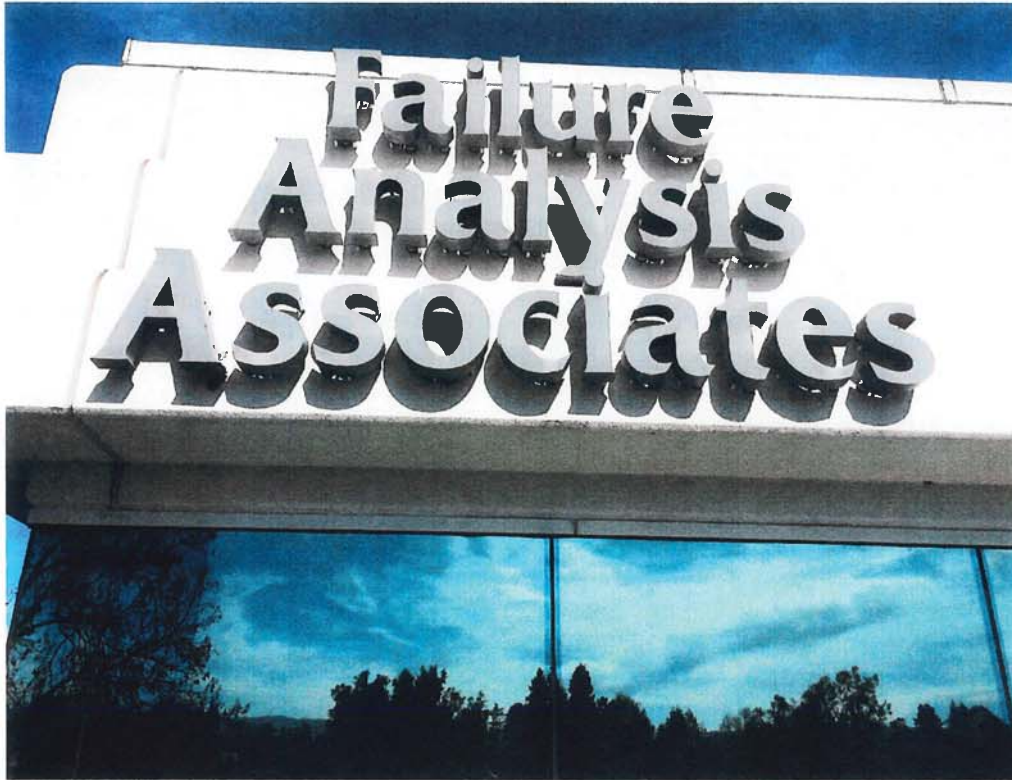


EXISTING

COLOR = TEAL

OVERALL SIZE = 22.5 SQ FT

C18




NO
CHANGES

SIGN TYPE "F"

FAB ALUM CHANNEL LETTERS NEON HALO LIT
OVERALL SIZE = 23.75 SQ FT

EXISTING
COLOR = GRAY

 <p>23001 - 14011000000 Phone: (950) 919-1110 FAX: (950) 909-9152 Web: www.a-ace.com</p> <p>25168 - 13011 (Lined) 14011000000 1000 14011000000</p>	<ul style="list-style-type: none"> 1. 14011000000 2. 14011000000 3. 14011000000 4. 14011000000 5. 14011000000 6. 14011000000 7. 14011000000 8. 14011000000 9. 14011000000 10. 14011000000 	<p>PROJECT NAME:</p> <p>EXPONENT SIGNAGE</p> <p>ADDRESS:</p> <p>149 COMMONWEALTH DR., MENLO PARK</p>	<p>Designed by:</p> <p>JDSS</p> <p>Date:</p> <p>8-11-2016</p> <p>Filename:</p> <p>EXPONENT SIGNAGE 8-11-16.dwg</p>	<p>This is an original unpublished drawing submitted in connection with a project we are planning for you. It is not to be copied, reproduced, exhibited or shown to anyone outside of your organization without written permission of A-ACE Sign Company.</p>	<p>Sheet No.:</p> <p>19</p>
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Monument Sign Colors



PANTONE 320 U 8 pts PANTONE Pro. Blue 50.0
8 pts PANTONE Green 50.0



PANTONE Cool Gray 4 U PANTONE Black 2.10
PANTONE Blue 072 90
PANTONE Trans. Wt. 97.00



METALLIC SILVER

A-Ace Sign Co LLC
4546 B-10 El Camino Real Ste 272
Los Altos, Ca 94022
(800) 391-4443
(650)969-9258
Fax (650)969-9302
Lic #813155

June 21,2016

Dear Planning Dept.,

We have been contracted by Exponent to modify the existing monument sign at the property entrance. We want to remove the current sign cabinet, then we will fabricate and install a new sign cabinet with new tenant panels on the existing foundation and pipes. The current monument was built years ago and has one tenant name "Exponent". Exponent was the only tenant in the building when the monument was built. Today the building is occupied by six tenants including Exponent. There is no other exterior signage on the property identifying the other tenants besides Exponent. My client desperately needs all the tenant name panels on the monument for identification purposes of each tenant in the building for walk up and drive by traffic. Please grant our request to have the new monument with six tenant name panels on the monument.

Thank You, R. Jonathan Booker

CITY OF MENLO PARK
BUILDING

SEP 27 2016

RECEIVED



STAFF REPORT

Planning Commission

Meeting Date:

11/7/2016

Staff Report Number:

16-086-PC

Choose an item.

Architectural Control/Kirk Loevner/889 Santa Cruz Avenue

Recommendation

Staff recommends that the Planning Commission approve the architectural control request for exterior modifications to the front and rear facades and the addition of floor area to extend the front entryway to the roofline, in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district, at 889 Santa Cruz Avenue. The recommended actions are contained within Attachment A.

Policy Issues

Each architectural control request is considered individually. The Planning Commission should consider whether the required architectural control findings can be made for the proposal.

Background

Site location

The subject property is located at 889 Santa Cruz Avenue. Using Santa Cruz Avenue in an east to west orientation, the subject property is located on the south side of Santa Cruz Avenue, between University Drive and Evelyn Street, in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district and the D (Downtown) sub-district. The property consists of a vacant retail building, originally built in 1958. Both adjacent parcels are developed with retail on the ground floor with office above, and are also in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. A location map is included as Attachment B.

Analysis

Project description

The applicant is requesting to make exterior modifications to the front and rear facades, in addition to interior renovations, and the addition of floor area to extend the front entryway to the roofline, at an existing one-story commercial building.

Extending the front entryway to the roofline would add 37 square feet to the gross floor area. The maximum permitted base FAR (floor area ratio) for the ECR D sub-district is 2.0. The proposed project falls below these limits, with a total of 2,479 square feet (0.95 FAR) of gross floor area.

The existing single-story building was constructed prior to adoption of the Specific Plan. The ECR D sub-district requires a 15-foot floor to floor height, which the subject building's 11.8-foot floor to ceiling height does not meet. The ECR D sub-district does not allow a front setback; however, the current roofline

of the building is set back approximately 1.1 feet from the front property line along Santa Cruz. Because the proposal is a relatively minor project, extending the front of the building only to the existing roofline and not altering the existing floor to ceiling height is permissible.

The site is in the Downtown Shared/Unbundled Parking Area where the parking demand generated by the site up to 1.0 FAR is accommodated by shared public parking lots in downtown. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

Design and materials

The proposed changes to the front façade, along Santa Cruz Avenue, would include the following:

- Remove angled alcove store front glass and single front door;
- Add similar glass parallel to the sidewalk and double doors in wood instead of aluminum;
- Add smooth wood panels and paint panels and stucco "wrought iron";
- Remove wood framed overhang and repair wall behind with new painted wood panels and signage (under separate sign permit);
- Add two exterior light-emitting diode (LED) sconces;

The proposed changes to rear façade, adjacent to Parking Plaza 4, would include the following:

- Remove store front glass and single front door;
- Add similar glass and double doors in wood instead of aluminum;
- Add smooth wood panels and paint panels and stucco "wrought iron";
- Replace fabric of awning with new logo (under separate sign permit);
- Add two exterior LED sconces;
- Infill existing non-compliant ramp to match existing 7-inch step on either side and paint entire step to match building.

The proposed changes to the roof would include the following:

- Add two skylights;
- Add second heating, ventilation and air conditioning (HVAC) unit with screening wall facing Parking Plaza 4 (the unit would not be visible from Santa Cruz Avenue as shown on Sheet A160);
- Paint screening wall white to match wall of neighboring two-story building.

Staff believes that the proposed changes are appropriate for this existing retail development and would be compatible with the surrounding buildings. The proposed design elements, including double wood doors on the front and rear and smooth wood panels would update the building's design. Staff believes these changes would comply with relevant El Camino Real/Downtown Specific Plan design standards and guidelines (many of which are not applicable because this is an existing building that is not being heavily modified), as documented in Attachment F, and would represent a comprehensive, cohesive aesthetic update.

Trees and landscaping

The existing site is built out, with the existing roof line extending to the rear property line and to within 1.1 foot of the front property line. No landscaping is provided on the site. A street tree is located on the Santa Cruz Avenue sidewalk in front of the property, but it is far enough away from the building to allow construction of the proposed project without pruning. The proposed site improvements should not adversely

affect any trees as standard tree protection measures will be ensured through recommended condition 3e.

Correspondence

Staff has not received any items of correspondence on the proposed project. The applicant indicates he spoke with neighbors and received favorable responses.

Conclusion

Staff believes that the scale, materials, and proposed design would be compatible with the existing retail development and surrounding buildings. The proposed design elements, including double wood doors on the front and rear and smooth wood panels would update the building's design. The proposed project is a cohesive aesthetic update, and would comply with relevant El Camino Real/Downtown Specific Plan design standards and guidelines. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project. In addition, the proposed development would be subject to payment of the Transportation Impact Fee (TIF) and the El Camino Real/Downtown Specific Plan Preparation Fee (conditions 4a and 4b). These required fees were established to account for projects' proportionate obligations.

Environmental Review

The Specific Plan process included detailed review of projected environmental impacts through a program Environmental Impact Report (EIR), as required by the California Environmental Quality Act (CEQA). In compliance with CEQA requirements, the Draft EIR was released in April 2011, with a public comment period that closed in June 2011. The Final EIR, incorporating responses to Draft EIR comments, as well as text changes to parts of the Draft EIR itself, was released in April 2012, and certified along with the final Plan approvals in June 2012.

The proposed project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines, and as such, no additional environmental analysis is required above and beyond the Specific Plan EIR. However, relevant mitigation measures from this EIR have been applied and would be adopted as part of the Mitigation Monitoring and Reporting Program (MMRP), which is included as Attachment G. Mitigation measures include construction-related best practices regarding air quality, biological resources, noise, and the handling of any hazardous materials. The MMRP also includes a completed mitigation measure relating to cultural resources: due to the age of the structure being greater than 50 years, a historic resource evaluation was prepared as part of the initial project review. This review, which was conducted by a qualified architectural historian, concluded that the building is not eligible for listing in the State or National historic registers. Therefore, the proposed project would not result in any significant impacts to historic resources.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper

and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Specific Plan Standards and Guidelines Compliance Worksheet
- G. Mitigation Monitoring and Reporting Program

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

Paint chip

Report prepared by:
Corinna Sandmeier, Associate Planner

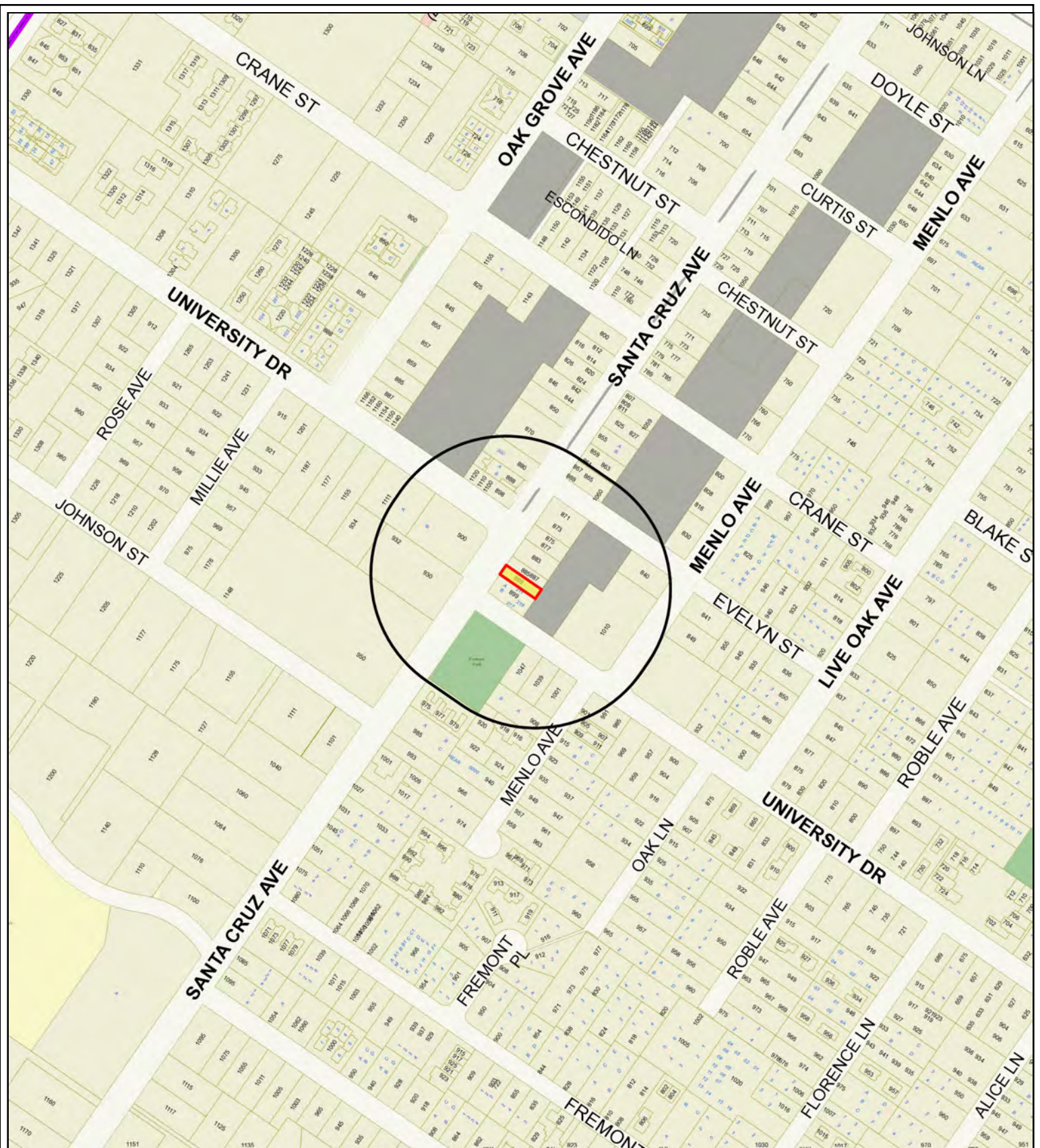
Report reviewed by:
Thomas Rogers, Principal Planner

889 Santa Cruz Avenue – Attachment A: Recommended Actions

LOCATION: 825 Menlo Avenue	PROJECT NUMBER: PLN2016-00076	APPLICANT: R Kirk Loevner	OWNER: R Kirk Loevner
REQUEST: Request for architectural control for exterior modifications to the front and rear facades and the addition of floor area to extend the front entryway to the roofline, in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p>ACTION:</p> <ol style="list-style-type: none"> 1. Make findings with regard to the California Environmental Quality Act (CEQA) that the proposal is within the scope of the project covered by the El Camino Real/Downtown Specific Plan Program EIR, which was certified on June 5, 2012. Specifically, make findings that: <ol style="list-style-type: none"> a. The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines. b. Relevant mitigation measures have been incorporated into the project through the Mitigation Monitoring and Reporting Program (Attachment G), which is approved as part of this finding. c. Upon completion of project improvements, the Specific Plan Maximum Allowable Development will be adjusted by 37 square feet of non-residential uses, accounting for the project's net share of the Plan's overall projected development and associated impacts. 2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval: <ol style="list-style-type: none"> a. The general appearance of the structure is in keeping with the character of the neighborhood. b. The development will not be detrimental to the harmonious and orderly growth of the City. c. The development will not impair the desirability of investment or occupation in the neighborhood. d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking. e. The development is consistent with the El Camino Real/Downtown Specific Plan, as verified in detail in the Standards and Guidelines Compliance Worksheet (Attachment F). 3. Approve the architectural control subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans provided by Greg Smith, consisting of 13 plan sheets, dated received October 19, 2016, and approved by the Planning Commission on November 7, 2016 except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, Recology, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly 			

889 Santa Cruz Avenue – Attachment A: Recommended Actions

LOCATION: 825 Menlo Avenue	PROJECT NUMBER: PLN2016-00076	APPLICANT: R Kirk Loevner	OWNER: R Kirk Loevner
REQUEST: Request for architectural control for exterior modifications to the front and rear facades and the addition of floor area to extend the front entryway to the roofline, in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: applicable to the project. d. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. e. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 4. Approve the architectural control subject to the following <i>project-specific</i> conditions: a. Prior to building permit issuance, the applicant shall pay the Transportation Impact Fee per the direction of the Transportation Division in compliance with Chapter 13.26 of the Municipal Code. The current estimated transportation impact fee is \$171.31 (\$4.63/sf x 37 sf retail) although the final fee shall be the fee in effect at the time of payment. The Transportation Impact Fee escalates annually on July 1. b. Prior to issuance of building permit, the applicant shall submit the El Camino Real/Downtown Specific Plan Preparation Fee, which is established at \$1.13/square foot for all net new development. For the subject proposal, the fee is estimated at \$41.81 (\$1.13/sf x 37 sf net new square feet).			



City of Menlo Park
Location Map
889 Santa Cruz Avenue



Scale: 1:3,600

Drawn By: CDS

Checked By: CDS

Date: 11/7/2016

Sheet: 1

889 Santa Cruz Avenue – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	2,600 sf	2,600 sf	n/a sf min.
Setbacks			
Front	1.1 ft.	1.1 ft.	0 ft. min.-max.
Rear	0 ft.	n/a ft.	0 ft. min.
Side (left)	0 ft.	0 ft.	0 ft. min.-max.
Side (right)	0 ft.	0 ft.	0 ft. min.-max.
FAR (Floor Area Ratio)	2,479.0 sf 95.3 %	2,442.0 sf 93.9 %	5,200.0 sf max. 200.0 % max.
Open Space	n/a sf n/a %	n/a sf n/a %	n/a sf min. n/a % min.
Building height	11.8 ft.	11.8 ft.	15.0 ft. min. (floor to floor)
	15.4 ft. max	15.4 ft.	38.0 ft. max
Parking	0 spaces	0 spaces	0 spaces
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

ABBREVIATIONS

&	AND	LAV	LAVATORY
@	AT	LB	POUND
C.L.	CENTERLINE	MAX	MAXIMUM
(E)	EXISTING	M.C.	MEDICINE CABINET
(N)	NEW	MECH	MECHANICAL
PRO	PROVIDED BY OWNER	MEMB	MEMBRANE
ADJ.	ADJACENT OR ADJUSTABLE	MET	METAL
ALUM.	ALUMINUM	MFR	MANUFACTURER
APPROX.	APPROXIMATELY	MIN	MINIMUM
ARCH.	ARCHITECTURAL	MISC	MISCELLANEOUS
BITUM.	BITUMINOUS	MTD	MOUNTED
BLDG.	BUILDING	N	NORTH
BLKG	BLOCKING	NIC	NOT IN CONTRACT
BM	BEAM	NTS	NOT TO SCALE
BOT	BOTTOM	O.C.	ON CENTER
CAB	CABINET	OFF	OFFICE
CER	CERAMIC	OPNG	OPENING
C.J.	CONTROL JOINT	OPP	OPPOSITE
CLG	CEILING	PERF	PERFORATED
CLKG	CAULKING	PL	PLATE
CLO	CLOSET	PLAMPLASTIC	LAMINATE
CLR	CLEAR	PLYVD	PLYWOOD
COL.	COLUMN	PR	PAIR
CONC	CONCRETE	PT	POINT
CONT	CONTINUOUS	PTD	PAINTED
CTSK	COUNTERSUNK	R.D.	ROOF DRAIN
CTR	CENTER	RAD	RADIUS
DBL	DOUBLE	REF	REFERENCE
DEPT	DEPARTMENT	REFR	REFRIGERATOR
DET	DETAIL	REINF	REINFORCED
DIM	DIMENSION	REQ	REQUIRED
DIA	DIAMETER	RESIL	RESILIENT
DN	DOWN	RM	ROOM
DW	DISHWASHER	R.O.	ROUGH OPENING
DWR	DRAWER	RWD	REDWOOD
DWVG	DRAWING	R.W.L.	RAIN WATER LEADER
DS.	DOWNSPOUT	S.C.	SOLID CORE
E	EAST	SCHED	SCHEDULE
EA	EACH	S.D.	SOAP DISPENSER
E.S.	EXPANSION JOINT	SECT	SECTION
EL	ELEVATION	SHR	SHOWER
ELEC	ELECTRICAL	SHT	SHEET
EQ	EQUAL	SHTG	SHEATHING
EXP	EXPOSED	SIM	SIMILAR
F.S.	FLOOR DRAIN	S.M.	SHEET METAL
FDN	FOUNDATION	SSD	SEE STRUCTURAL DRAWINGS
FIN	FINISH	SPEC	SPECIFICATION
FL	FLOOR	SQ	SQUARE
FLASH	FLASHING	S.ST	STAINLESS STEEL
FLUOR	FLUORESCENT	STL	STEEL
F.O.	FACE OF	STOR	STORAGE
PPRF	FIRE PROOF	STR	STRUCTURAL
FT	FOOT OR FEET	SYM	SYMMETRICAL
FTG	FOOTING	T	TREAD
FURR	FURRING	T.B.	TOWEL BAR
GA	GAUGE	T.O.	TOP OF
GALV	GALVANIZED	T.O.W.	TOP OF WALL
G.D.	GARBAGE DISPOSAL	T&G	TONGUE AND GROOVE
GFCI	GROUND FAULT INTERRUPTER	THK	THICK
GYP	GYPSON	TV	TELEVISION
H.B.	HOSE BIBB	TYP	TYPICAL
H.C.	HOLLOW CORE	UNF	UNFINISHED
HDWE	HARDWARE	U.C.N.	UNLESS OTHERWISE NOTED
HDWD	HARDWOOD	VERT	VERTICAL
H.M.	HOLLOW METAL	VEST	VESTIBULE
HT	HEIGHT	V.I.F.	VERIFY IN FIELD
HORIZ	HORIZONTAL	W	WEST
INSUL	INSULATION	W/	WITH
INT	INTERIOR	W.C.	WATER CLOSET
JST	JOIST	WD	WOOD
JT	JOINT	W.H.	WATER HEATER
LAM	LAMINATE	W.O.	WHERE OCCURS
		VP	WATER PROOFED

6 ABBREVIATIONS

	DOOR		BUILDING SECTION
	DEMOLITION DOOR		INTERIOR ELEVATION
	WINDOW		DETAIL
	DEMOLITION WINDOW		DOOR#
	EXISTING CMU WALL		ROOM NAME/NUMBER
	EXISTING WALL TO REMAIN		
	DEMOLITION WALL		
	NEW WALL		

7 DRAWING LEGEND

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF MENLO PARK AND THE CALIFORNIA BUILDING CODE, 2013 EDITION.
2. ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH:
2013 CALIFORNIA BUILDING CODE INCORPORATING THE 2009 IBC
2013 CALIFORNIA ELECTRICAL CODE INCORPORATING THE 2008 NEC
2013 CALIFORNIA MECHANICAL CODE INCORPORATING THE 2009 UMC
2013 CALIFORNIA PLUMBING CODE INCORPORATING THE 2009 UPC
2013 CALIFORNIA ENERGY CODE
2013 CALIFORNIA EXISTING BUILDING CODE
2013 CALIFORNIA REFERENCED STANDARDS CODE
3. THE BUILDING SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY AND THE PROVISIONS OF THE INTERNATIONAL BUILDING CODE FOR SECURITY WITH NOMINAL RESISTANCE TO UNLAWFUL ENTRY. CONTRACTOR SHALL SECURE THE SITE AT END OF EACH WORK DAY AND SHALL CONTROL PEDESTRIAN ACCESS DURING WORKING HOURS.
4. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND MEASUREMENTS AT THE PROJECT SITE AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
5. WHERE REFERENCES IN DOCUMENTS ARE MADE TO VERIFICATIONS, THE CONTRACTOR SHALL REPORT IN WRITING TO THE ARCHITECT.
6. VERIFY ROUGH OPENING REQUIREMENTS WITH MANUFACTURER'S UNIT DIMENSIONS. PROVIDE BLOCKING OR SHIMS AS REQUIRED FOR INSTALLATION. WHERE CONDITIONS PREVENT PROVISION OF REQUIRED ROUGH OPENING REPORT SPECIFICS OF THE SITUATION TO THE ARCHITECT.
7. ALL MOUNTING OF EQUIPMENT, FIXTURES, OR ACCESSORIES SHALL BE AS REQUIRED TO MEET PROVISIONS OF THE INTERNATIONAL BUILDING CODE, AND CALIFORNIA BUILDING CODE. ALL CASEWORK SHALL BE SECURED TO SUPPORT BLOCKING AT WALLS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION IN CONFORMANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND ALL CODE REQUIREMENTS UNDER WHICH THE PLANS AND SPECIFICATIONS WERE APPROVED.
9. EXTERIOR BUILDING MATERIALS INCLUDING ALL FLASHING, METAL WORK AND TRIM SHALL BE TREATED OR PAINTED AN APPROPRIATELY SUBODUED, NON-REFLECTIVE COLOR.
10. CONTRACTOR SHALL KNOW AND UNDERSTAND THE JURISDICTION'S SUSTAINABLE CODES AND REQUIREMENTS AS THEY APPLY TO THE SCOPE OF WORK. ALL WORK SHALL COMPLY WITH THESE CODES AND STANDARDS, INCLUDING BUT NOT LIMITED TO PROPER DISPOSAL OF DEBRIS.
11. REUSE OR RECYCLE ALL CONSTRUCTION DEBRIS TO THE FULLEST EXTENT POSSIBLE.
12. PROVIDE PRODUCTS WITH RECYCLED CONTENT WHERE POSSIBLE, INCLUDING BUT NOT LIMITED TO GYPSUM WALL BOARD.
13. CONTRACTOR SHALL SOURCE ALL PRODUCTS LOCALLY TO THE FULLEST EXTENT POSSIBLE TO REDUCE TRANSPORTATION ENGERY AND POLLUTION.
14. RECYCLING COLLECTION FOR EMPLOYEES AND STORE USE SHALL BE PROVIDED, SEPARATE BINS FOR TRASH, RECYCLING, COMPOST.
15. ALL NEW WOOD PROVIDED SHALL BE FSB CERTIFIED.
11. ALL PROPOSED LIGHTING SHALL BE HIGH EFFICACY. PROVIDE LED OR EQUAL.

4 GENERAL NOTES

PROJECT INFORMATION

PROJECT ADDRESS:
889 SANTA CRUZ AVENUE
MENLO PARK
APN: 071-273-20

LOT FRONTAGE: 28'-0"
LOT DEPTH: 100'-0"
LOT AREA: 2800 SQ. FT.
LOT SHAPE: RECTANGLE
FAR: 2
ALLOWABLE BUILDING AREA: 5200 SF
BUILDING SQUARE FOOTAGE: 2551 SQ. FT. (OK)
STORIES: ONE STORY
NO BASEMENT
NO CHANGE PROPOSED TO BUILDING AREA OR HEIGHT.

CURRENT USE: RETAIL (NO CHANGE PROPOSED)
HEIGHT LIMIT: ALLOWABLE = 38'-0"
EXISTING = 15'-0" (OK)

ZONING: SP-ECR-D

TYPE OF CONSTRUCTION: 5B
(FULLY AUTOMATIC SPRINKLERS INCLUDED IN SCOPE OF WORK)

OCCUPANCY CLASS: M

PROPERTY OWNER:

BELMONT MENLO PARTNERS, L.P. &
STOCKTON/HAMMER LANE GROCERY PARTNERS, LL
582 MISSION ST., STE. 201
SAN FRANCISCO, CA 94105

BUSINESS OWNER:

KIRK LOEVNER
JANELLE LOEVNER
ANTHEM
3274 SACRAMENTO STREET
SAN FRANCISCO, CA 94115

CONTACT: SARAH WELCH
415-440-6400 X24

ARCHITECT

GREG SMITH, ARCHITECT
2142 LINCOLN AVE. #A
ALAMEDA, CA 94501
PHONE: 415-595-3732

CONTRACTOR

SCOTT HULETT, HULETT CONSTRUCTION
17140 WILSON WAY
ROYAL OAKS, CA 94506
PHONE: (408)515-5905

3 PROJECT INFORMATION

SHEET INDEX

SHEET	SHEET DESCRIPTION
T100	GENERAL NOTES, PROJECT INFO, MAPS, INDEX
A200	ACCESSIBILITY REQUIREMENTS
A100	AREA PLAN WITH ACCESSIBLE PATH OF TRAVEL
A101	SITE PLAN
A160	SITE SECTION
A200	EXISTING AND PROPOSED FLOOR PLANS
A201	FLOOR PLAN AREA CALCULATION
A300	ROOF PLAN
A500	EXISTING AND PROPOSED ELEVATIONS- MEASURED DRAWINGS
A510	EXISTING AND PROPOSED ELEVATIONS- (PHOTO AND RENDERING RESPECTIVELY)
A511	PROPOSED STREETSCAPE ELEVATIONS
A600	EXISTING BUILDING SECTIONS
A601	PROPOSED BUILDING SECTIONS

PROJECT SCOPE:
PROVIDE TENANT IMPROVEMENTS FOR RETAIL SPACE DEMOLITION
COMPLETED PER PERMIT # 2015-1474

TENANT IMPROVEMENT WORK SHALL INCLUDE:

- NEW RESTROOM AND STORAGE ROOMS
- NEW TILE FLOOR THROUGHOUT ALL EXISTING AND NEW ROOMS.
- NEW ROOF TOP MECHANICAL EQUIPMENT AND NEW DUCTWORK.
EXISTING ROOF TOP MECHANICAL UNIT TO REMAIN.
- NEW ELECTRICAL INCLUDING LIGHTING AND RECEPTACLES.
- NEW PAINT AND CASEWORK.
- NEW STOREFRONTS AT SANTA CRUZ AVE & PARKING LOT ENTRY

TOILET FACILITY CALCULATION:
MERCANTILE OCCUPANCY-GROUP M LOAD FACTOR: 200SF/PERSON
TOTAL OCCUPANT LOAD <50 (2013 CPC 422.2 EX. 3)
NET BUILDING AREA: 2030 S.F.

2030 / 200 = 10.15 ROUND UP TO 11 < 50
ONE UNISEX RESTROOM OK.

2 SHEET INDEX & PROJECT SCOPE



1 LOCATION MAP
NOT TO SCALE

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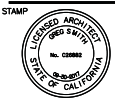
ANTHEM

3274 SACRAMENTO ST.
SAN FRANCISCO, CA

ANTHEM

889 SANTA CRUZ AVE.
MENLO PARK, CA

PLAN CHECK STAMP



MARK	DATE	DESCRIPTION
1	5/9/16	ZONING PRE-APP
2	6/16/16	ZAP CHECK SET
3	6/21/16	ZAP SUBMITTAL
4	6/21/16	ZAP SUBMITTAL R1
5	6/21/16	ZAP SUBMITTAL
6	6/21/16	ZAP CHECK SET
7	10/10/16	ZAP COMMENTS 2

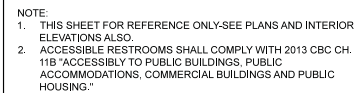
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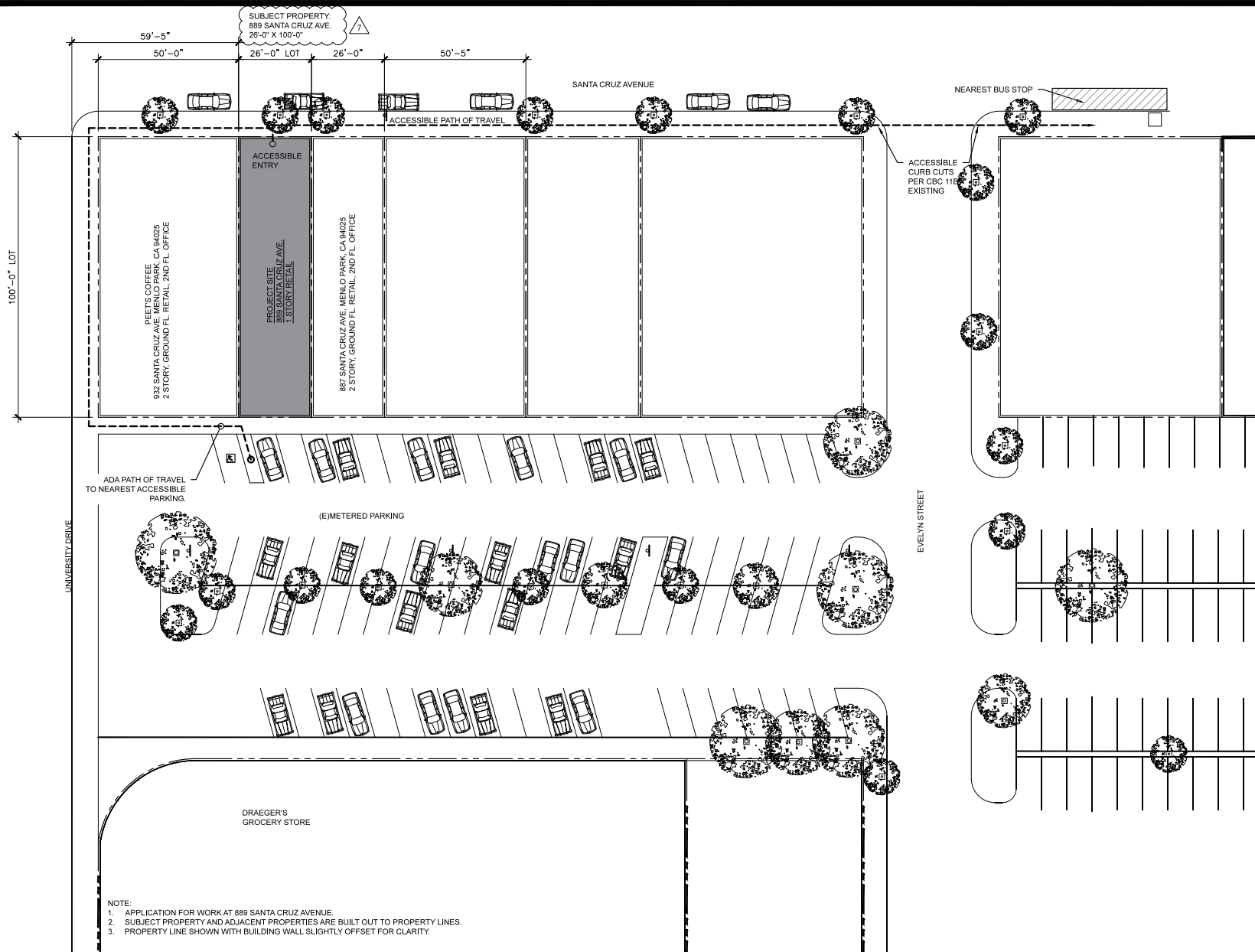
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T100

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T200





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5	7/19/16	BAP CHECK SET
6	8/9/16	ZAP COMMENTS 1
7	10/10/16	ZAP COMMENTS 2

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AREA PLAN

A100



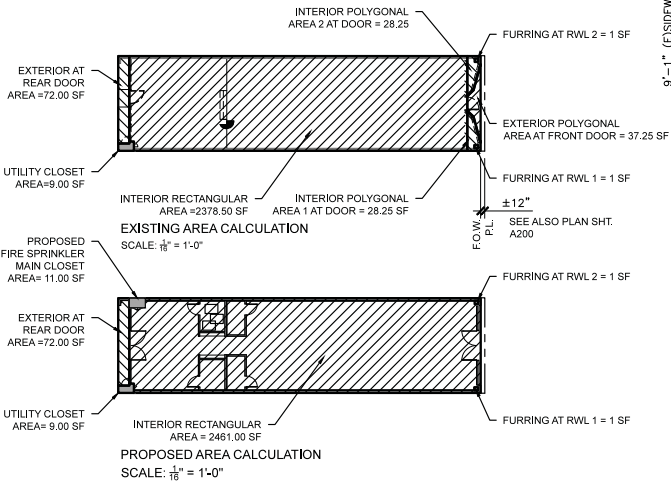
AREA PLAN

SCALE: 1/8" = 1'-0"

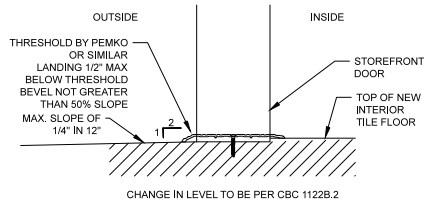


SITE ANALYSIS
GROSS PARCEL AREA: 2600 SQ. FT.
EASEMENT AREA: NONE
NET PARCEL AREA: 2600 SQ. FT.
ALLOWABLE BUILT AREA: (FAR = 2) 2600 X 2 = 5200 SF

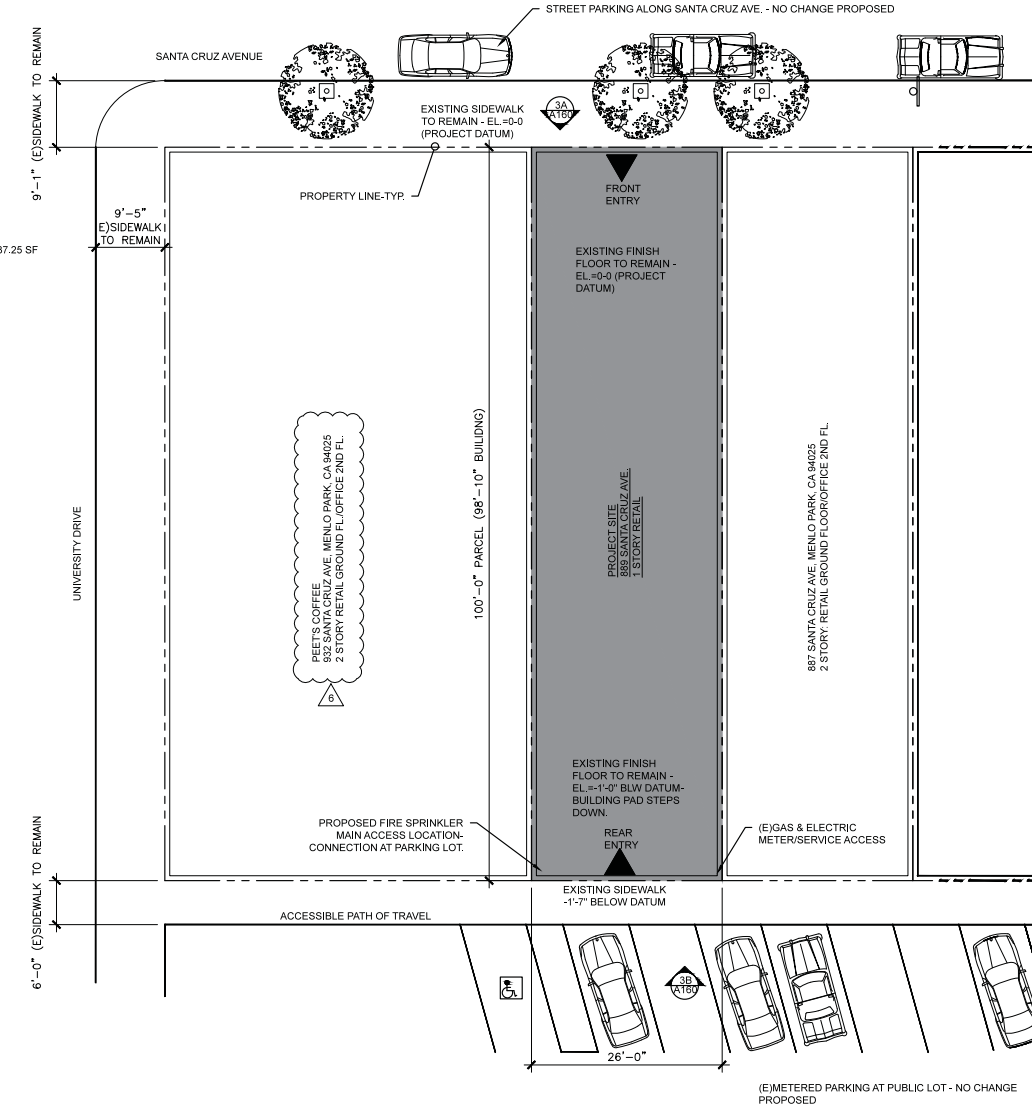
EXISTING GROSS FLOOR AREA: 2551 SQ. FT. (SEE DIAGRAM & CALCULATION BELOW) 2551 < 5200 (OK)
LOT COVERAGE: BUILDING/PARCEL AREA: $\frac{2551}{2600} = 98\%$
NO ON SITE PAVED OR LANDSCAPED AREAS.
NO PARKING PROVIDED ON SITE



CONDITIONED AREA	EXISTING	PROPOSED
RECTANGULAR AREA	2378.50 SF	2461.00 SF
INTERIOR POLYGON 1	28.25 SF	N/A
INTERIOR POLYGON 2	28.25 SF	N/A
LESS FURRED RWL	-2.00 SF	-2.00 SF
TOTAL CONDITIONED	2433.00 SF	2459.00 SF
UNCONDITIONED AREA		
EXTERIOR AREA AT REAR	72.00 SF	72.00 SF
EXTERIOR AREA AT FRONT	37.00 SF	N/A
TOTAL	109.00 SF	72.00 SF
UTILITY AREA	9.00 SF	20.00 SF
TOTAL	9.00 SF	
TOTAL GROSS AREA:	2551.00 SF	2551.00 SF



DETAIL AT NEW ACCESSIBLE THRESHOLD



- NOTE:
1. APPLICATION FOR WORK AT 889 SANTA CRUZ AVENUE.
 2. SUBJECT PROPERTY AND ADJACENT PROPERTIES ARE BUILT OUT TO PROPERTY LINES.
 3. PROPERTY LINE SHOWN WITH BUILDING WALL SLIGHTLY OFFSET FOR CLARITY.
 4. NO SETBACK REQUIREMENTS.
 5. NO NEW LANDSCAPING IS PROPOSED. ALL STREET TREES ARE EXISTING TO REMAIN. EXTERIOR WORK IS LIMITED TO REPLACING STOREFRONTS. NO EXPANSION OF BUILDING FOOTPRINT IS PROPOSED. NO TREE PROTECTION IS REQUIRED.
 6. NO SETBACK REQUIRED.
 7. ALL EXISTING STREETScape INCLUDING TREES TO REMAIN.
 8. EXISTING UTILITY SITE SERVICE ACCESS LOCATIONS TO REMAIN.

SITE PLAN
SCALE: $\frac{1}{16}'' = 1'-0''$



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7	10/10/16	ZAP COMMENTS 2

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SHEET TITLE

SITE PLAN

A101

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ARCHITECT**

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PLAN CHECK STAMP

STAMP



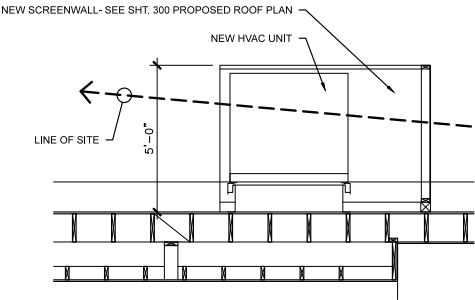
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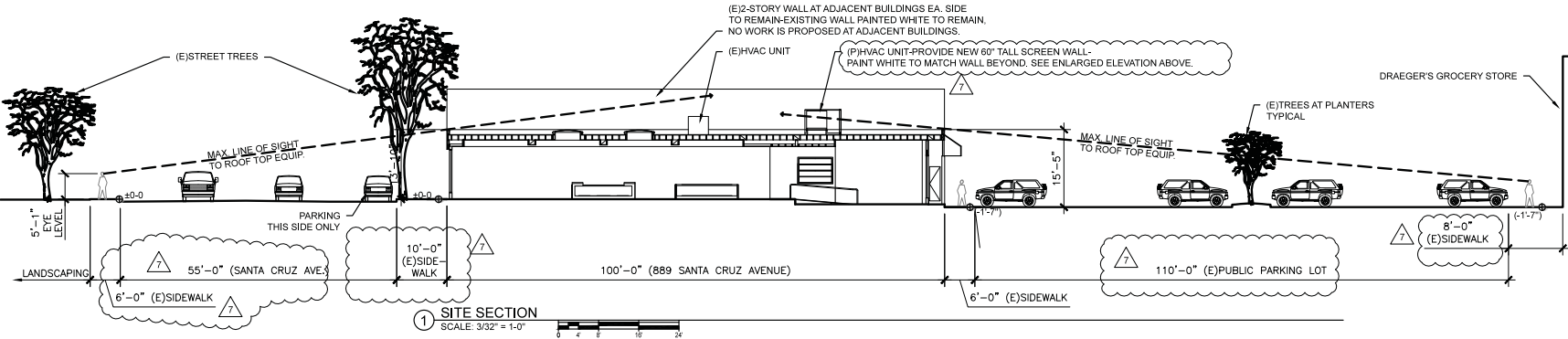
**SITE
SECTION**

A160



SEE ALSO SHEET A300 ROOF PLAN

② **NEW EQUIPMENT SCREENWALL**
SCALE: 1/2" = 1'-0"



① **SITE SECTION**
SCALE: 3/32" = 1'-0"

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ANTHEM

3274 SACRAMENTO ST.
SAN FRANCISCO, CA

ANTHEM
889 SANTA CRUZ AVE.
MENLO PARK, CA

PLAN CHECK STAMP

STAMP

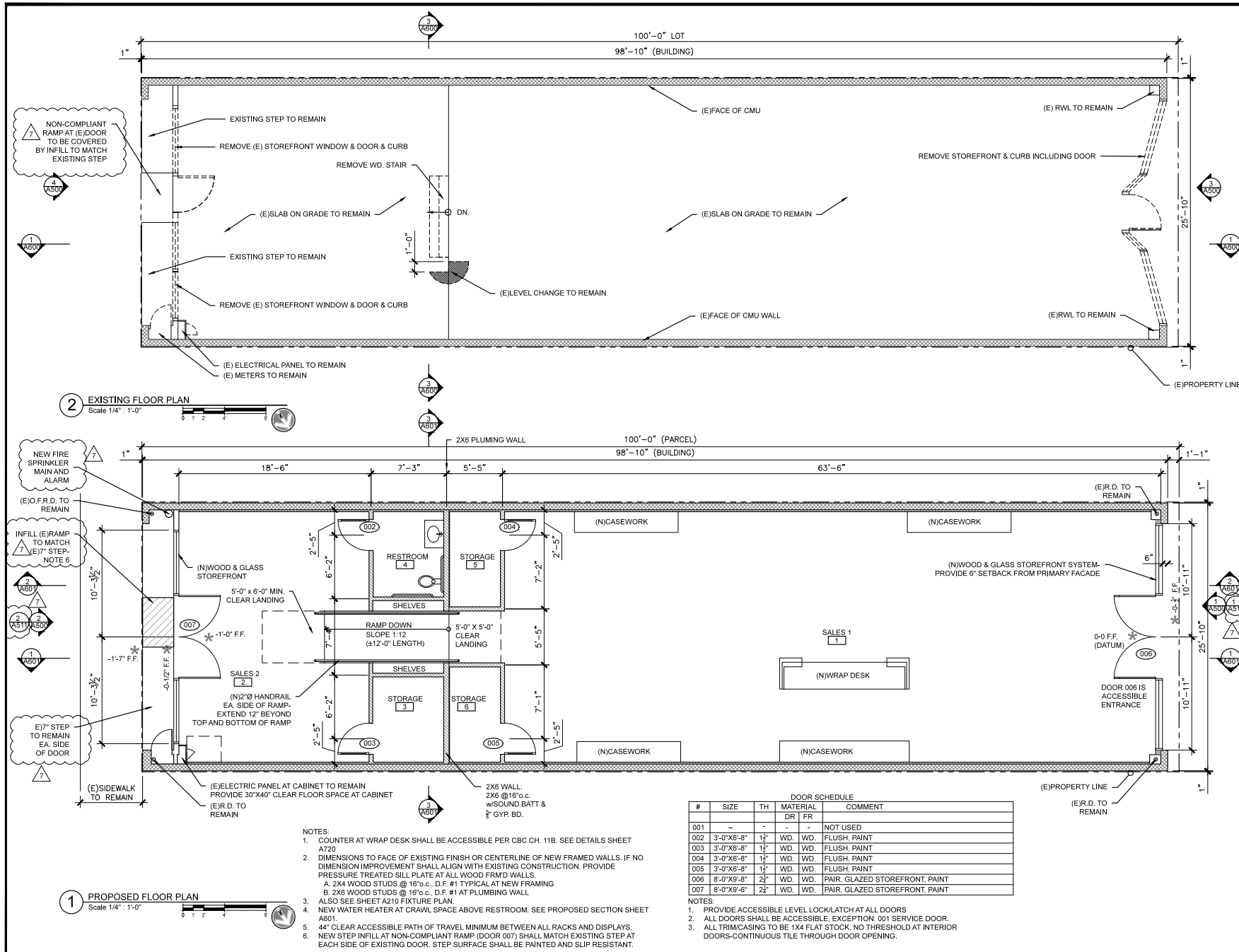


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1	6/9/16	ZONING PRE-APP
2	6/16/16	ZAP CHECK SET
3	6/21/16	ZAP SUBMITTAL
4	6/27/16	ZAP SUBMITTAL RT
5	7/19/16	ZAP CHECK SET
6	8/9/16	ZAP COMMENTS 1
7	10/10/16	ZAP COMMENTS 2

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SHEET TITLE

FLOOR PLAN

A200



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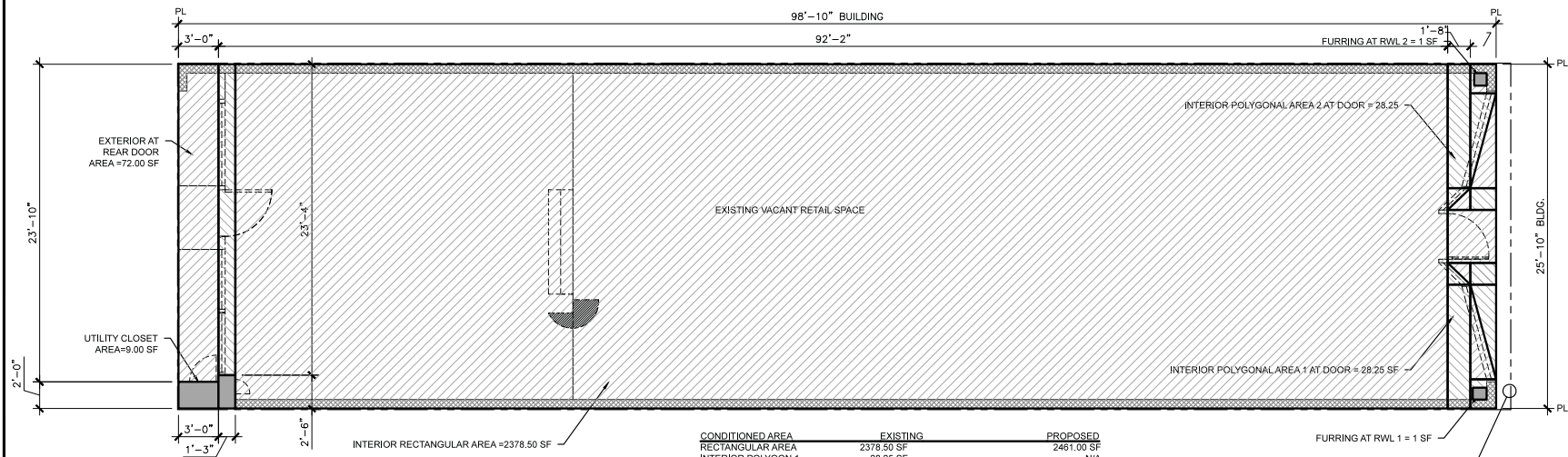


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4	6/27/16	ZAP SUBMITTAL RT
5	7/19/16	ZAP CHECK SET
6	8/9/16	ZAP COMMENTS 1
7	10/10/16	ZAP COMMENTS 2

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**FLOOR PLAN
AREA CALC**

A201



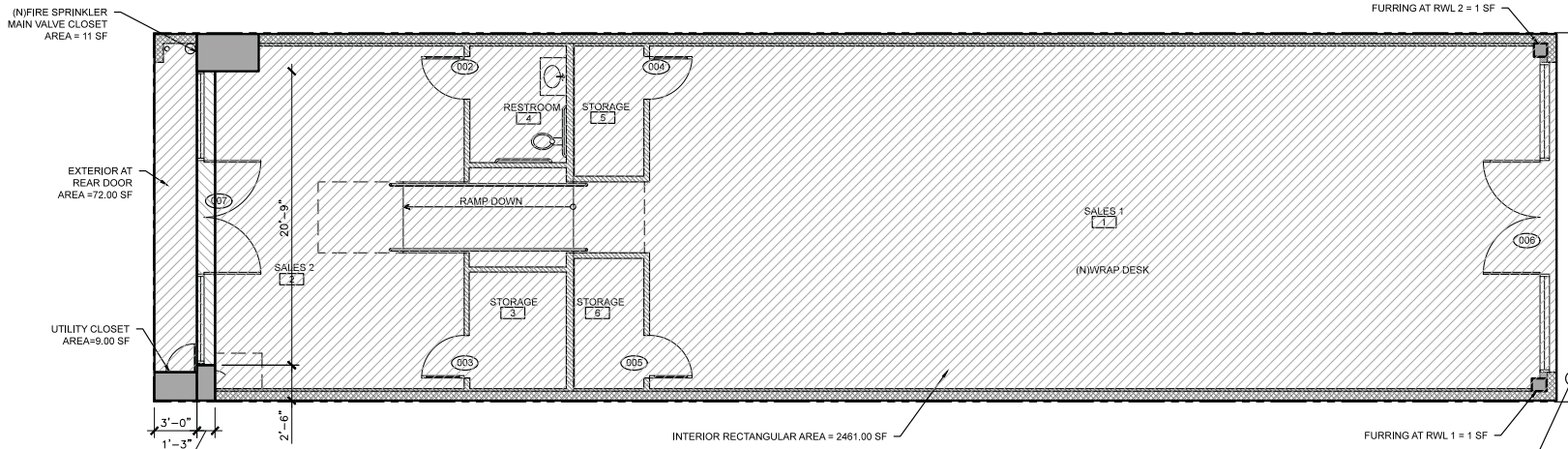
EXISTING GROSS FLOOR AREA = 2551 SF
SEE ALSO AREA CALCULATION TABLE, SITE PLAN SHT. A101

2
EXISTING FLOOR PLAN
Scale 1/4" = 1'-0"



CONDITIONED AREA	EXISTING	PROPOSED
RECTANGULAR AREA	2378.50 SF	2461.00 SF
INTERIOR POLYGON 1	28.25 SF	N/A
INTERIOR POLYGON 2	28.25 SF	N/A
LESS FURRED RWL	-2.00 SF	-2.00 SF
TOTAL CONDITIONED (INTERIOR)	2433.00 SF	2459.00 SF
UNCONDITIONED AREA		
EXTERIOR AREA AT REAR	72.00 SF	72.00 SF
EXTERIOR AREA AT FRONT	37.00 SF	0.00 SF
TOTAL UNCONDITIONED (EXTERIOR)	109.00 SF	72.00 SF
UTILITY AREA	9.00 SF	20.00 SF
TOTAL	9.00 SF	20.00 SF
TOTAL GROSS AREA:	2551.00 SF	2551.00 SF

NOTE:
EXISTING SEISMIC GAP AT EACH SIDE OF
BUILDING TO REMAIN. NEW WORK SHALL NOT
AFFECT FREE MOVEMENT AT GAP.



PROPOSED GROSS FLOOR AREA = 2551 SF (NO CHANGE)
SEE ALSO AREA CALCULATION TABLE, SITE PLAN SHT. A101

1
PROPOSED FLOOR PLAN
Scale 1/4" = 1'-0"



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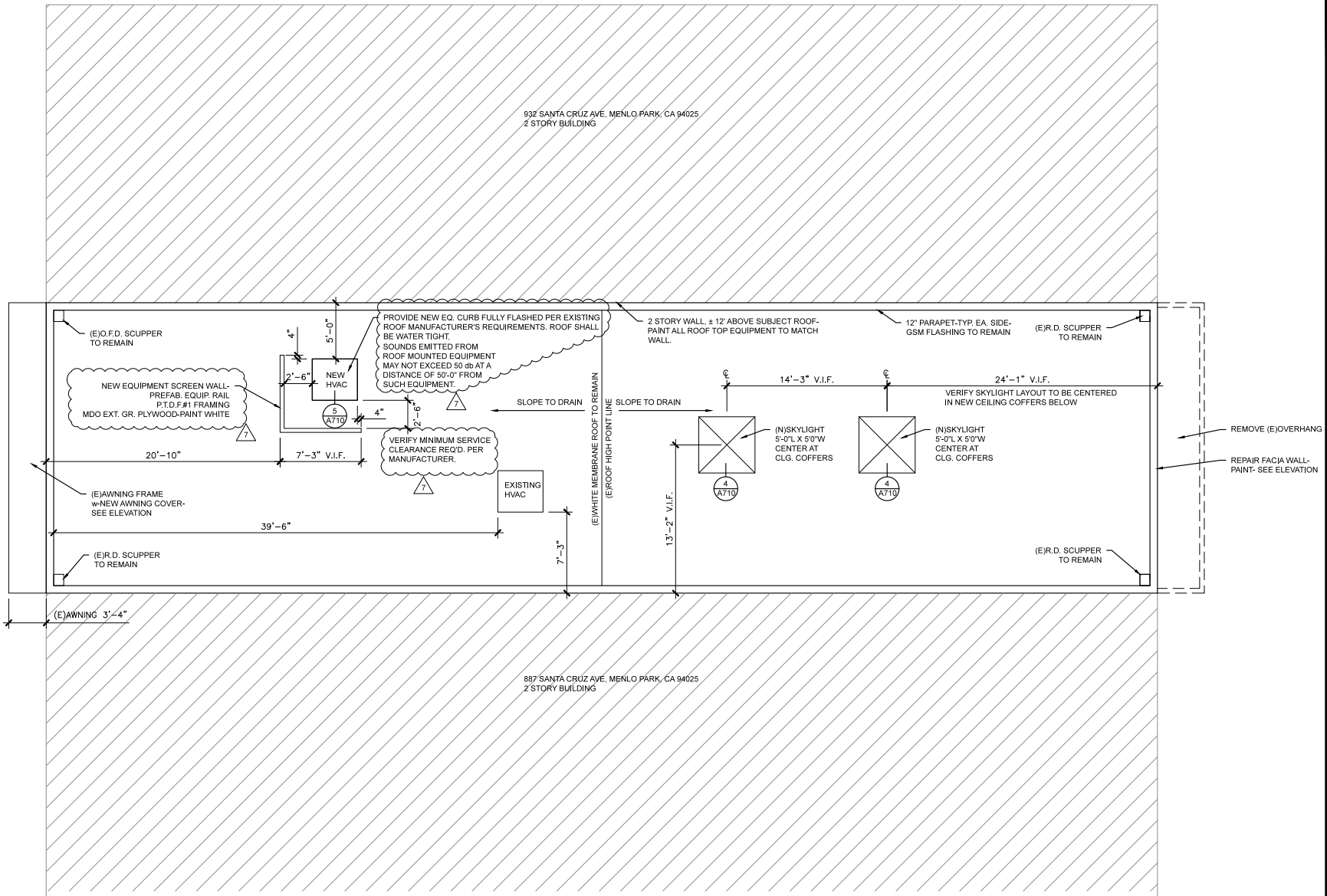


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4	6/27/16	ZAP SUBMITTAL R1
5	6/19/16	BAP CHECK SET
6	6/9/16	ZAP COMMENTS 1
7	10/10/16	ZAP COMMENTS 2

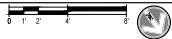
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ROOF PLAN

A300



1 PROPOSED ROOF PLAN
Scale 1/4" = 1'-0"



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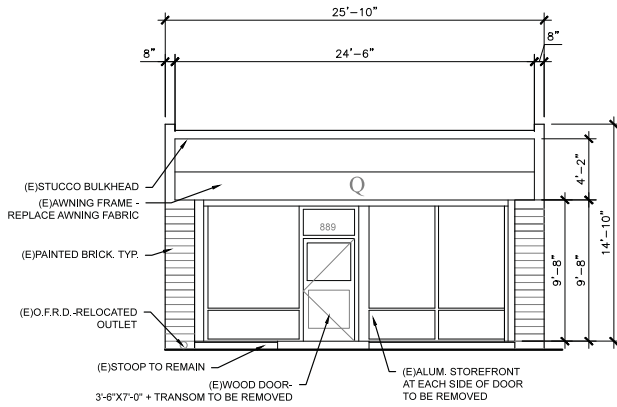


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6	8/9/16	ZAP COMMENTS 1
7	10/10/16	ZAP COMMENTS 2

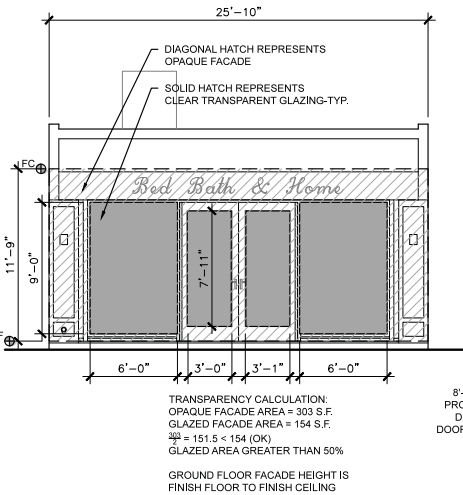
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SHEET TITLE:

**EXTERIOR
ELEVATIONS**

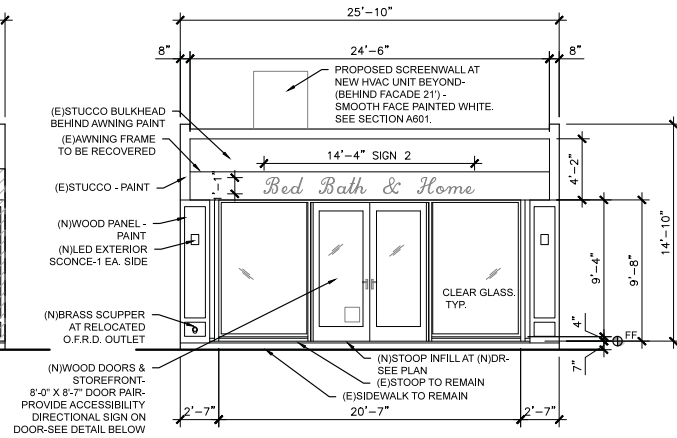
A500



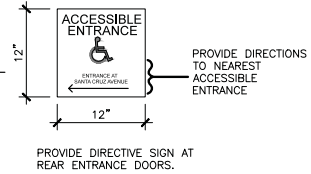
4 EXISTING (REAR/CITY PARKING LOT) EAST ELEVATION
Scale 1/4" = 1'-0"



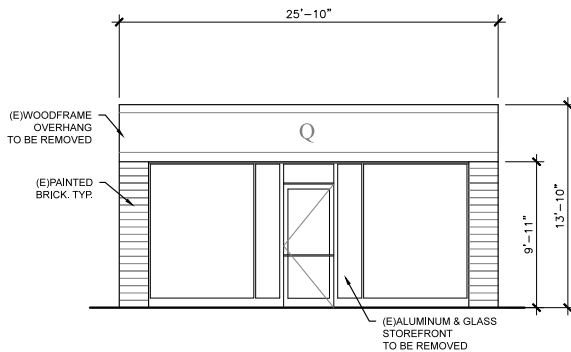
2A TRANSPARENCY CALCULATION PROPOSED EAST ELEVATION
Scale 1/4" = 1'-0"



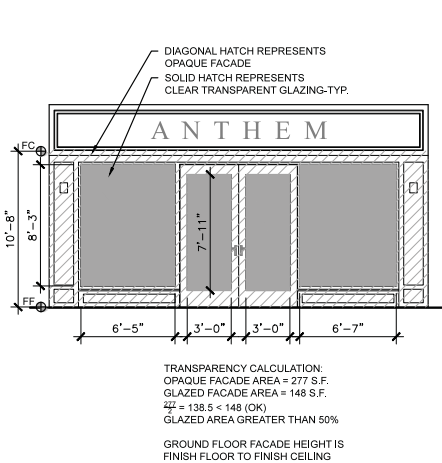
2 PROPOSED (REAR/CITY PARKING LOT) EAST ELEVATION
Scale 1/4" = 1'-0"



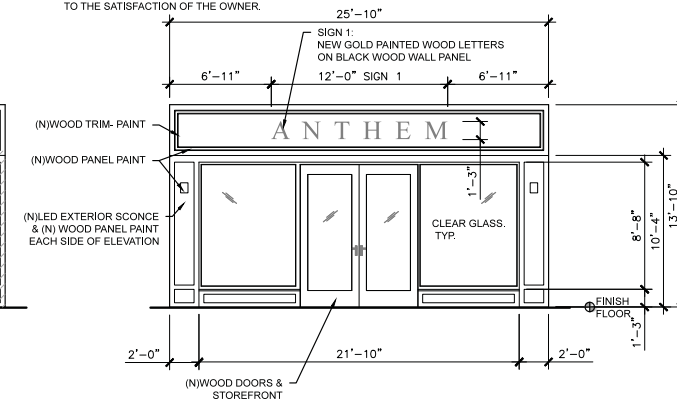
- NOTE:
1. EXTERIOR LIGHTING SHALL NOT ALLOW ANY UPLIGHTING OR DIRECT LIGHT TO SHINE ON NEIGHBORS' PROPERTY.
 2. EXTERIOR LIGHTS SHALL BE ON PHOTOCELL & TIMERS AND SHALL BE SET TO SHUT OFF 1 HOUR AFTER STORE CLOSING EACH DAY.
 3. ALL PROPOSED GLAZING TO BE CLEAR TRANSPARENT GLASS.
 4. NO WINDOW TREATMENTS ARE PROPOSED. WINDOWS SHALL REMAIN UNSHUTTERED AT NIGHT.
 5. CONTRACTOR SHALL PROTECT ADJACENT BUILDING FACADES DURING THE WORK. REPAIR OR REPLACE ALL DAMAGES PARTS TO THE SATISFACTION OF THE OWNER.



3 EXISTING (FRONT/SANTA CRUZ AVE.) WEST ELEVATION
Scale 1/4" = 1'-0"



1A TRANSPARENCY CALCULATION PROPOSED WEST ELEVATION
Scale 1/4" = 1'-0"

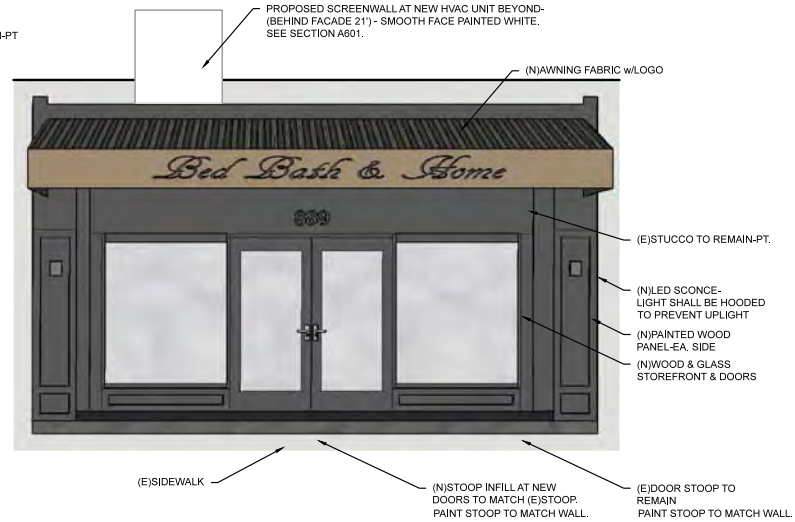


1 PROPOSED (FRONT/SANTA CRUZ AVE.) WEST ELEVATION
Scale 1/4" = 1'-0"



WALL ABOVE AWNING TO REMAIN-PT
AWNING TO REMAIN-
REPLACE FABRIC
COVER (E)PAINTED BRICK
w/PAINTED WOOD PANEL-
EACH SIDE
REMOVE ALUMINUM AND GLASS
STOREFRONT & DOOR

INFILL STOOP AT NON-COMPLIANT SLOPED THRESHOLD
MATCH (E)STOOP AT INFILL. PAINT TO MATCH WALL.



PROPOSED SCREENWALL AT NEW HVAC UNIT BEYOND-
(BEHIND FACADE 21) - SMOOTH FACE PAINTED WHITE.
SEE SECTION A501.
(N)AWNING FABRIC w/LOGO
(E)STUCCO TO REMAIN-PT.
(N)LED SCONCE-
LIGHT SHALL BE HOODED
TO PREVENT UPLIGHT
(N)PAINTED WOOD
PANEL-EA. SIDE
(N)WOOD & GLASS
STOREFRONT & DOORS
(E)SIDEWALK
(N)STOOP INFILL AT NEW
DOORS TO MATCH (E)STOOP.
PAINT STOOP TO MATCH WALL.
(E)DOOR STOOP TO
REMAIN
PAINT STOOP TO MATCH WALL.

4 EXISTING PARKING LOT ELEVATION-PHOTO
NO SCALE

2 PROPOSED PARKING LOT ELEVATION-RENDERING
NO SCALE
SEE DIMENSIONS AND NOTES SHEET A500
NOTE: ALL SIGNS ARE UNDER SEPARATE PERMIT.

- NOTES:
1. EXTERIOR LIGHTING SHALL NOT ALLOW ANY UPLIGHTING OR DIRECT LIGHT TO SHINE ON NEIGHBORS' PROPERTY.
 2. EXTERIOR LIGHTS SHALL BE ON PHOTOCELL & TIMERS AND SHALL BE SET TO SHUT OFF 1 HOUR AFTER STORE CLOSING EACH DAY.
 3. WALLS SHALL BE PAINTED CHARCOAL
 4. SIGNAGE SHALL BE GOLD PAINT OR GOLD VINYL APPLIQUE AT GLASS.
 5. ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED IN KIND.
 6. PROTECT ADJACENT PROPERTIES FROM DAMAGE DURING WORK. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED FRONTAGES TO THE SATISFACTION OF THE OWNER.



REMOVE WOOD FRAMED
OVERHANG-REPAIR WALL
BEHIND WITH NEW PAINTED
WOOD PANELS AND SIGNAGE
REMOVE ALUMINUM AND GLASS
STOREFRONT & DOOR
COVER (E)PAINTED BRICK
w/PAINTED WOOD PANEL-
EACH SIDE



(N)ACCESSIBLE THRESHOLD AT NEW DOORS.
SEE DETAIL SHT. A101.

3 EXISTING SANTA CRUZ AVENUE ELEVATION-PHOTO
NO SCALE

1 PROPOSED SANTA CRUZ AVENUE ELEVATION-RENDERING
NO SCALE
SEE DIMENSIONS AND NOTES SHEET A500
NOTE: ALL SIGNS ARE UNDER SEPARATE PERMIT.

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PLAN CHECK STAMP



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5	7/19/16	BAP CHECK SET
6	8/9/16	ZAP COMMENTS 1
7	10/10/16	ZAP COMMENTS 2

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EXTERIOR
RENDERING

A510



932 SANTA CRUZ AVE, MENLO PARK, CA 94025
2 STORY, GROUND FL. RETAIL, 2ND FL. OFFICE

PROJECT SITE
889 SANTA CRUZ AVE.
1 STORY RETAIL

887 SANTA CRUZ AVE, MENLO PARK, CA 94025
2 STORY, GROUND FL. RETAIL, 2ND FL. OFFICE

2 PROPOSED PARKING LOT STREET SCAPE ELEVATION RENDERING
NO SCALE



887 SANTA CRUZ AVE, MENLO PARK, CA 94025
2 STORY, GROUND FL. RETAIL, 2ND FL. OFFICE

PROJECT SITE
889 SANTA CRUZ AVE.
1 STORY RETAIL

(E) STREET TREE TO REMAIN -
TRUNK NOT SHOWN FOR
CLARITY

(E) SIDEWALK TO REMAIN

932 SANTA CRUZ AVE, MENLO PARK, CA 94025
2 STORY, GROUND FL. RETAIL, 2ND FL. OFFICE

1 PROPOSED SANTA CRUZ AVENUE STREETSCAPE ELEVATION RENDERING
NO SCALE

- NOTES:
1. PROJECT INVOLVES REMODEL FACADE AT EXISTING BUILDING. WORK IS LIMITED TO WITHIN THE LOT BOUNDARY.
 2. NOTE AS "PROJECT SITE": ALL EXISTING STREET SCAPE AT SANTA CRUZ AVENUE AND CITY PARKING LOT SHALL REMAIN.
 3. CONTRACTOR TO PROVIDE PROTECTION AT STREET SCAPE AS REQUIRED TO PREVENT DAMAGE.
 4. CONTRACTOR SHALL REPAIR DAMAGE TO STREETSCAPE AS REQUIRED AND TO THE SATISFACTION OF THE OWNER.
 5. SEE ALSO SHEETS A500 AND A510 FOR ADDITIONAL FACADE IMPROVEMENT INFORMATION.

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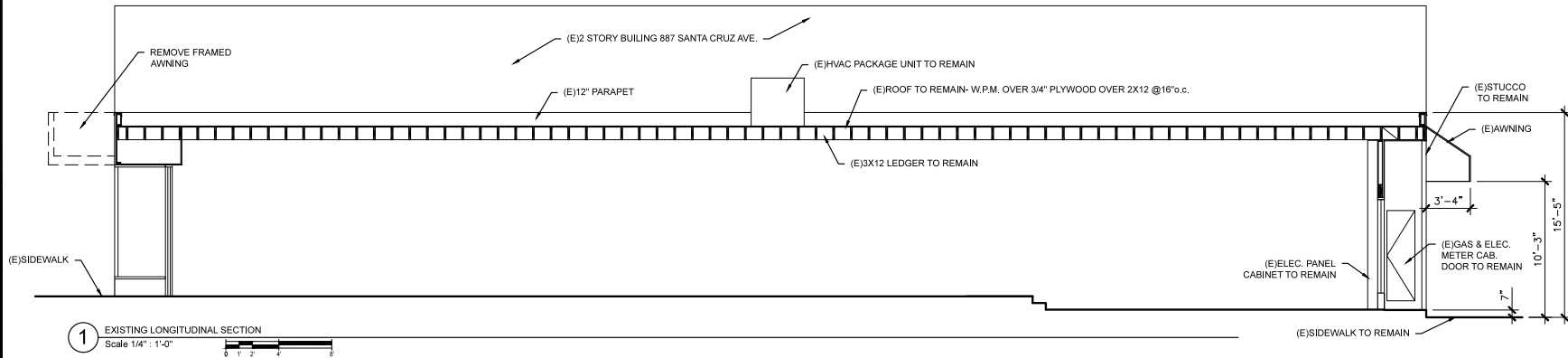
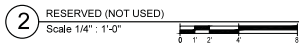
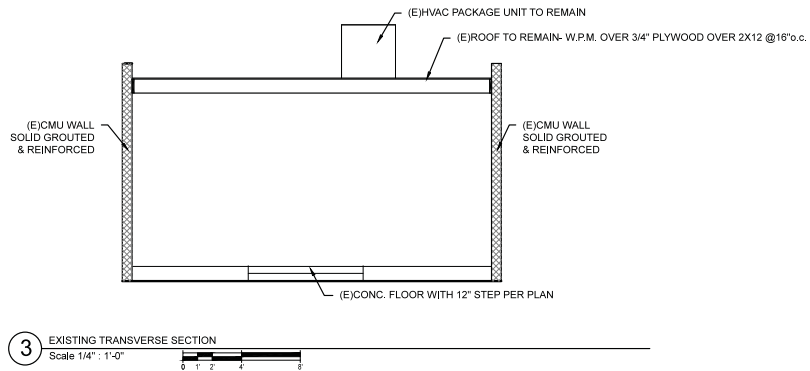


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5	7/19/16	BAP CHECK SET
6	8/9/16	ZAP COMMENTS 1
7	10/10/16	ZAP COMMENTS 2

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PROPOSED
STREETSCAPE
RENDERINGS

A511



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6	8/9/16	ZAP COMMENTS 1
7	10/10/16	ZAP COMMENTS 2

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EXISTING
SECTIONS

A600

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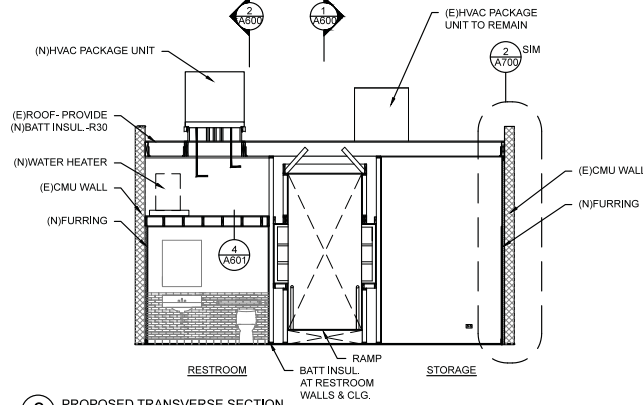
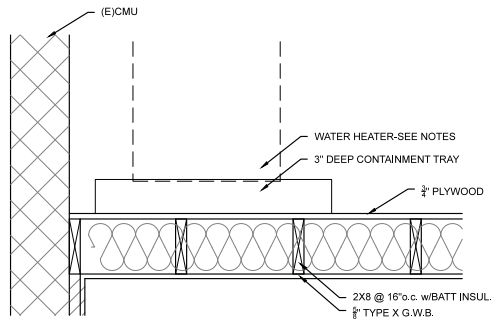


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5	9/19/16	BAP CHECK SET
6	8/9/16	ZAP COMMENTS 1
7	10/10/16	ZAP COMMENTS 2

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**PROPOSED
SECTIONS**

A601



NOTES:

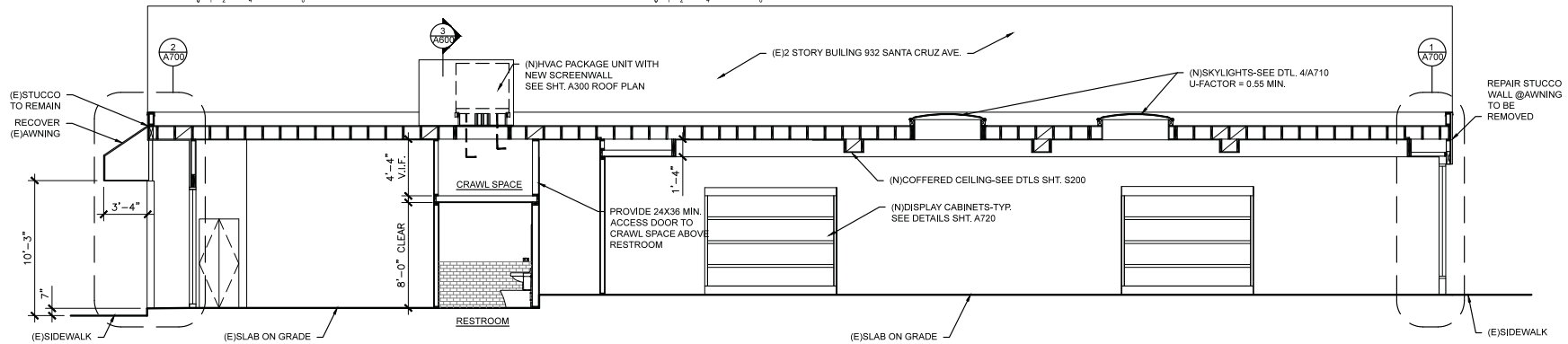
1. PROVIDE NEW WATER HEATER AT CRAWL SPACE ABOVE RESTROOM.
MODEL??
PROVIDE CONTAINMENT TRAY UNDER WATER HEATER.
2. INSTALL WATER HEATER PER THE 2013 CMC & CPC AND THE MANUFACTURER'S REQUIREMENTS. WHERE THE REQUIREMENTS CONFLICT THE MOST RESTRICTIVE REQUIREMENT SHALL BE FOLLOWED.
3. EXISTING BATT INSULATION AT ROOF JOIST TO REMAIN. REPAIR OR REPLACE AS REQUIRED TO PROVIDE CONTINUOUS FULL DEPTH FILL AT EACH JOIST SPACE.

4 RESTROOM CRAWL SPACE DETAIL

Scale 1/4" = 1'-0"

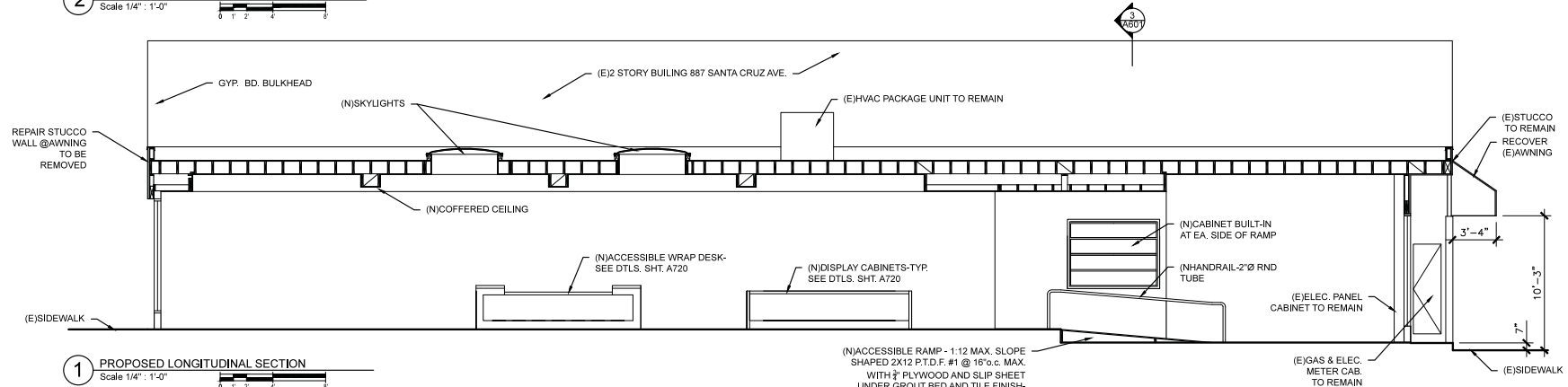
3 PROPOSED TRANSVERSE SECTION

Scale 1/4" = 1'-0"



2 PROPOSED LONGITUDINAL SECTION

Scale 1/4" = 1'-0"



1 PROPOSED LONGITUDINAL SECTION

Scale 1/4" = 1'-0"

(N)ACCESSIBLE RAMP - 1:12 MAX. SLOPE
SHAPED 2X12 P.T.D.F. #1 @ 16" o.c. MAX.
WITH 3/4" PLYWOOD AND SLIP SHEET
UNDER GROUT BED AND TILE FINISH.
PROVIDE 1/2" MOVEMENT JOINT AT TRANSITION
FROM PLYWOOD TO CONCRETE SUBFLOOR
SEAL JOINT WITH SILICONE SEALANT COLORED TO MATCH GROUT

RECEIVED

6/6/2016

OCT 19 2016

Scott Hulett

CITY OF MENLO PARK
BUILDING**889 Santa Cruz Ave. Anthem, TI, project description**

Retail store selling upscale home decor. The front and rear of the building, 25 feet wide, have not been altered or upgrade since the building was built. The sign awning has been changed over the years, but the store front has not. It is the original, aluminum frame, glass store front and rear. It is in bad repair and needs to be replaced with new glass and framing. The plan is to create a classy traditional store front and rear keeping with in the greater plan for the downtown area. We plan to keep the same general look on Santa Cruz Ave. Removing the angled alcove store front glass and single front door replacing it with similar glass that is parallel and offset from the side walk, wood framed and double front doors all in wood instead of aluminum. The same treatment in the rear, except the rear would stay within the current framed opening, changing the single door to double doors. the existing sign in the front and rear would remain, just renamed.

The proposed scope of the project starts with a gutted building and breaks down as follows;

-Fire sprinklers. The building is without fire sprinklers. A water main will be brought from the main line in the rear of the building to the interior of the building where the riser will be located with a water connection exterior for the fire department and interior sprinkles to meet code.

-Store front and rear. The store front and rear will be removed from the current header to the slab and a new store front will be fabricated and installed. The store front's will have French doors and a wood frame work for the glass on either side of the doors. Existing awning and signage will be re labeled to ANTHEM. Exterior lighting will be added to light the sign and the store front. The existing block wall will be covered with smooth wood panels and painted to the color of the supplied paint chip.

-Roof top. Two sky lights will be added and a 3 ton HVAC roof pack. The existing 5 ton roof pack will remain. The new, 3 ton HVAC, is positioned towards the rear of the roof and can be seen from across the parking lot at Draeger's. A privacy screen will be built around the unit to obscure it. The screen will be built with panels and painted.

-Interior. handicap bathroom & (3) storage rooms, located toward the rear, with an ADA ramp between the rooms,(a bathroom and storage room on one side and two storage rooms on the other), dropping . from the upper level, down 12 inches, to the lower level in the rear. There will be a service desk in the front of the building along a side wall and built in display case filling in along both walls. The existing CMU block walls will be fired-out to accommodate electrical, sheet rocked and textured.

-Floor coverings. The floor covering will be tile in the store area, bathrooms and storage areas.

-Ceiling. The ceiling will be a coffer ceiling with track lightings to light displays and area. There will be some lights hung for display and sale to the public.

- Neighborhood outreach. We have briefly discussed the project and type of retail store that we are hoping to open on Santa Cruz Ave. with people passing by on the street and with the neighboring retail stores within the block that this building is located. It has been a favorable response. The building has been sitting vacant for some time and there is excitement to see it fixed up and open for business again.

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: 889 Santa Cruz Avenue Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.1 Development Intensity			
E.3.1.01	Standard	Business and Professional office (inclusive of medical and dental office) shall not exceed one half of the base FAR or public benefit bonus FAR, whichever is applicable.	<i>Complies: No office uses occur on the site.</i>
E.3.1.02	Standard	Medical and Dental office shall not exceed one third of the base FAR or public benefit bonus FAR, whichever is applicable.	<i>Complies: No office uses occur on the site.</i>
E.3.2 Height			
E.3.2.01	Standard	Roof-mounted mechanical equipment, solar panels, and similar equipment may exceed the maximum building height, but shall be screened from view from publicly-accessible spaces.	<i>Complies: New HVAC unit is screened by 60" tall screen wall. See Sheet A160</i>
E.3.2.02	Standard	Vertical building projections such as parapets and balcony railings may extend up to 4 feet beyond the maximum façade height or the maximum building height, and shall be integrated into the design of the building.	<i>Complies: Existing structure is well below the maximum façade and building heights.</i>
E.3.2.03	Standard	Rooftop elements that may need to exceed the maximum building height due to their function, such as stair and elevator towers, shall not exceed 14 feet beyond the maximum building height. Such rooftop elements shall be integrated into the design of the building.	<i>Complies: No stair or elevator towers are proposed.</i>
E.3.3 Setbacks and Projections within Setbacks			
E.3.3.01	Standard	Front setback areas shall be developed with sidewalks, plazas, and/or landscaping as appropriate.	<i>Not applicable: The existing roof is built almost to the front property line and the proposed additional square footage would also be built to the existing roofline.</i>
E.3.3.02	Standard	Parking shall not be permitted in front setback areas.	<i>Complies: The site is in the Downtown Shared/Unbundled Parking Area where the parking demand generated by the site is being accommodated by shared public parking lots in downtown.</i>
E.3.3.03	Standard	In areas where no or a minimal setback is required, limited setback for store or lobby entry recesses shall not exceed a maximum of 4-foot depth and a maximum of 6-foot width.	<i>Complies: Limited setback for store entry not proposed as part of project.</i>
E.3.3.04	Standard	In areas where no or a minimal setback is required, building projections, such as balconies, bay windows and dormer windows, shall not project beyond a maximum of 3 feet from the building face into the sidewalk clear walking zone, public right-of-way or public spaces, provided they have a minimum 8-foot vertical clearance above the sidewalk clear walking zone, public right-of-way or public space.	<i>Complies: No building projections are proposed.</i>

Menlo Park El Camino Real/Downtown Specific Plan
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E.3.3.05	Standard	In areas where setbacks are required, building projections, such as balconies, bay windows and dormer windows, at or above the second habitable floor shall not project beyond a maximum of 5 feet from the building face into the setback area.	<i>Not applicable: Setbacks are not required and no building projections are proposed.</i>
E.3.3.06	Standard	The total area of all building projections shall not exceed 35% of the primary building façade area. Primary building façade is the façade built at the property or setback line.	<i>Complies: No building projections are proposed.</i>
E.3.3.07	Standard	Architectural projections like canopies, awnings and signage shall not project beyond a maximum of 6 feet horizontally from the building face at the property line or at the minimum setback line. There shall be a minimum of 8-foot vertical clearance above the sidewalk, public right-of-way or public space.	<i>Complies: The recovered awning would project three feet, four inches from the building face at the property line. The vertical clearance above the sidewalk would be 10 feet, three inches.</i>
E.3.3.08	Standard	No development activities may take place within the San Francisquito Creek bed, below the creek bank, or in the riparian corridor.	<i>Complies: The site is not near San Francisquito Creek.</i>
E.3.4 Massing and Modulation			
E.3.4.1 Building Breaks			
E.3.4.1.01	Standard	The total of all building breaks shall not exceed 25 percent of the primary façade plane in a development.	<i>Not applicable: No building breaks are proposed.</i>
E.3.4.1.02	Standard	Building breaks shall be located at ground level and extend the entire building height.	<i>Not applicable: Building breaks are prohibited in the Downtown zoning district.</i>
E.3.4.1.03	Standard	In all districts except the ECR-SE zoning district, recesses that function as building breaks shall have minimum dimensions of 20 feet in width and depth and a maximum dimension of 50 feet in width. For the ECR-SE zoning district, recesses that function as building breaks shall have a minimum dimension of 60 feet in width and 40 feet in depth.	<i>Not applicable: Building breaks are prohibited in the Downtown zoning district.</i>
E.3.4.1.04	Standard	Building breaks shall be accompanied with a major change in fenestration pattern, material and color to have a distinct treatment for each volume.	<i>Not applicable: Building breaks are prohibited in the Downtown zoning district.</i>
E.3.4.1.05	Standard	In all districts except the ECR-SE zoning district, building breaks shall be required as shown in Table E3.	<i>Not applicable: Building breaks are prohibited in the Downtown zoning district.</i>

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E.3.4.1.06	Standard	<p>In the ECR-SE zoning district, and consistent with Table E4 the building breaks shall:</p> <ul style="list-style-type: none"> • Comply with Figure E9; • Be a minimum of 60 feet in width, except where noted on Figure E9; • Be a minimum of 120 feet in width at Middle Avenue; • Align with intersecting streets, except for the area between Roble Avenue and Middle Avenue; • Be provided at least every 350 feet in the area between Roble Avenue and Middle Avenue; where properties under different ownership coincide with this measurement, the standard side setbacks (10 to 25 feet) shall be applied, resulting in an effective break of between 20 to 50 feet. • Extend through the entire building height and depth at Live Oak Avenue, Roble Avenue, Middle Avenue, Partridge Avenue and Harvard Avenue; and • Include two publicly-accessible building breaks at Middle Avenue and Roble Avenue. 	<i>Not applicable: Site is not in the ECR-SE zoning district.</i>
E.3.4.1.07	Standard	In the ECR-SE zoning district, the Middle Avenue break shall include vehicular access; publicly-accessible open space with seating, landscaping and shade; retail and restaurant uses activating the open space; and a pedestrian/bicycle connection to Alma Street and Burgess Park. The Roble Avenue break shall include publicly-accessible open space with seating, landscaping and shade.	<i>Not applicable: Site is not in the ECR-SE zoning district.</i>
E.3.4.1.08	Guideline	In the ECR-SE zoning district, the breaks at Live Oak, Roble, Middle, Partridge and Harvard Avenues may provide vehicular access.	<i>Not applicable: Site is not in the ECR-SE zoning district.</i>
E.3.4.2 Façade Modulation and Treatment			
E.3.4.2.01	Standard	Building façades facing public rights-of-way or public open spaces shall not exceed 50 feet in length without a minor building façade modulation. At a minimum of every 50' façade length, the minor vertical façade modulation shall be a minimum 2 feet deep by 5 feet wide recess or a minimum 2 foot setback of the building plane from the primary building façade.	<i>Complies: Building façade 26 feet in length, which does not exceed the 50-foot modulation minimum.</i>

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.4.2.02	Standard	Building façades facing public rights-of-way or public open spaces shall not exceed 100 feet in length without a major building modulation. At a minimum of every 100 feet of façade length, a major vertical façade modulation shall be a minimum of 6 feet deep by 20 feet wide recess or a minimum of 6 feet setback of building plane from primary building façade for the full height of the building. This standard applies to all districts except ECR NE-L and ECR SW since those two districts are required to provide a building break at every 100 feet.	<i>Complies: Building façade is 26 feet in length,, which does not exceed the 100-foot modulation minimum.</i>
E.3.4.2.03	Standard	In addition, the major building façade modulation shall be accompanied with a 4-foot minimum height modulation and a major change in fenestration pattern, material and/or color.	<i>Not applicable: Building façade is less than 15 feet in length and does not require a major building modulation.</i>
E.3.4.2.04	Guideline	Minor façade modulation may be accompanied with a change in fenestration pattern, and/or material, and/or color, and/or height.	<i>Not applicable: Building façade 25 feet, 10 inches in width and does not require a minor façade modulation.</i>
E.3.4.2.05	Guideline	Buildings should consider sun shading mechanisms, like overhangs, <i>bris soleils</i> and clerestory lighting, as façade articulation strategies.	<i>Complies: Canopy along Santa Cruz Avenue would provide sun shading and would help articulate the façade.</i>
E.3.4.3 Building Profile			
E.3.4.3.01	Standard	The 45-degree building profile shall be set at the minimum setback line to allow for flexibility and variation in building façade height within a district.	<i>Not Applicable: No changes are proposed to the existing building height. Existing building façade is 14'-10" inches, and already complies with the 30-foot building façade height.</i>
E.3.4.3.02	Standard	Horizontal building and architectural projections, like balconies, bay windows, dormer windows, canopies, awnings, and signage, beyond the 45-degree building profile shall comply with the standards for Building Setbacks & Projection within Setbacks (E.3.3.04 to E.3.3.07) and shall be integrated into the design of the building.	<i>Not applicable: No changes are proposed to the existing building height. Existing building façade is 14'-10" inches, and already complies with the 30-foot building façade height.</i>
E.3.4.3.03	Standard	Vertical building projections like parapets and balcony railings shall not extend 4 feet beyond the 45-degree building profile and shall be integrated into the design of the building.	<i>Not applicable: Existing building façade is 14'-10" inches, and already complies with the 30-foot building façade height.</i>
E.3.4.3.04	Standard	Rooftop elements that may need to extend beyond the 45-degree building profile due to their function, such as stair and elevator towers, shall be integrated into the design of the building.	<i>Not applicable: No roof top elements such as stair or elevator towers are proposed.</i>
E.3.4.4 Upper Story Façade Length			
E.3.4.4.01	Standard	Building stories above the 38-foot façade height shall have a maximum allowable façade length of 175 feet along a public right-of-way or public open space.	<i>Not applicable: The building is less than 38 feet in height.</i>
E.3.5 Ground Floor Treatment, Entry and Commercial Frontage			
Ground Floor Treatment			

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E.3.5.01	Standard	The retail or commercial ground floor shall be a minimum 15-foot floor-to-floor height to allow natural light into the space.	<i>Not applicable: The existing finished floor to finished ceiling height varies from 10'8" to 11'9", no changes to the height are proposed.</i>
E.3.5.02	Standard	Ground floor commercial buildings shall have a minimum of 50% transparency (i.e., clear-glass windows) for retail uses, office uses and lobbies to enhance the visual experience from the sidewalk and street. Heavily tinted or mirrored glass shall not be permitted.	<i>Complies: 52 percent transparent glazing. See A500</i>
E.3.5.03	Guideline	Buildings should orient ground-floor retail uses, entries and direct-access residential units to the street.	<i>Complies: Ground floor retail would continue to be oriented to the street.</i>
E.3.5.04	Guideline	Buildings should activate the street by providing visually interesting and active uses, such as retail and personal service uses, in ground floors that face the street. If office and residential uses are provided, they should be enhanced with landscaping and interesting building design and materials.	<i>Complies: Proposed use of one-story subject building is retail.</i>
E.3.5.05	Guideline	For buildings where ground floor retail, commercial or residential uses are not desired or viable, other project-related uses, such as a community room, fitness center, daycare facility or sales center, should be located at the ground floor to activate the street.	<i>Not applicable: Proposed use of one-story subject building is retail.</i>
E.3.5.06	Guideline	Blank walls at ground floor are discouraged and should be minimized. When unavoidable, continuous lengths of blank wall at the street should use other appropriate measures such as landscaping or artistic intervention, such as murals.	<i>Complies: Blank walls are not proposed.</i>
E.3.5.07	Guideline	Residential units located at ground level should have their floors elevated a minimum of 2 feet to a maximum of 4 feet above the finished grade sidewalk for better transition and privacy, provided that accessibility codes are met.	<i>Not applicable: No residential uses are proposed.</i>
E.3.5.08	Guideline	Architectural projections like canopies and awnings should be integrated with the ground floor and overall building design to break up building mass, to add visual interest to the building and provide shelter and shade.	<i>Complies: The existing awning is proposed to remain and be repainted and would break up building mass and add visual interest to the building and provide shelter and shade.</i>
Building Entries			
E.3.5.09	Standard	Building entries shall be oriented to a public street or other public space. For larger residential buildings with shared entries, the main entry shall be through prominent entry lobbies or central courtyards facing the street. From the street, these entries and courtyards provide additional visual interest, orientation and a sense of invitation.	<i>Complies: Main entry is oriented towards Santa Cruz Avenue.</i>

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Section	Standard or Guideline	Requirement	Evaluation
E.3.5.10	Guideline	Entries should be prominent and visually distinctive from the rest of the façade with creative use of scale, materials, glazing, projecting or recessed forms, architectural details, color, and/or awnings.	<i>Partially Complies: Doors are centered and visually distinct from windows at new storefront.</i>
E.3.5.11	Guideline	Multiple entries at street level are encouraged where appropriate.	<i>Not applicable: Single retail space is proposed with less than 26 feet of street frontage.</i>
E.3.5.12	Guideline	Ground floor residential units are encouraged to have their entrance from the street.	<i>Not applicable: Residential uses are not proposed.</i>
E.3.5.13	Guideline	Stoops and entry steps from the street are encouraged for individual unit entries when compliant with applicable accessibility codes. Stoops associated with landscaping create inviting, usable and visually attractive transitions from private spaces to the street.	<i>Not applicable: Residential uses are not proposed.</i>
E.3.5.14	Guideline	Building entries are allowed to be recessed from the primary building façade.	<i>Complies: Front and rear entrances are recessed from the primary building façade.</i>
Commercial Frontage			
E.3.5.15	Standard	Commercial windows/storefronts shall be recessed from the primary building façade a minimum of 6 inches	<i>Complies: Front storefront is recessed 6 inches and rear storefront is recessed over 6 inches.</i>
E.3.5.16	Standard	Retail frontage, whether ground floor or upper floor, shall have a minimum 50% of the façade area transparent with clear vision glass, not heavily tinted or highly mirrored glass.	<i>Complies: 52 percent transparent glazing. See A500</i>
E.3.5.17	Guideline	Storefront design should be consistent with the building's overall design and contribute to establishing a well-defined ground floor for the façade along streets.	<i>Complies: Proposed storefront design includes large windows and decorative lighting.</i>
E.3.5.18	Guideline	The distinction between individual storefronts, entire building façades and adjacent properties should be maintained.	<i>Complies: Proposed storefront design is differentiated from storefronts of adjacent buildings.</i>
E.3.5.19	Guideline	Storefront elements such as windows, entrances and signage should provide clarity and lend interest to the façade.	<i>Complies: Proposed storefront design is cohesive and incorporates visually interesting architectural elements.</i>
E.3.5.20	Guideline	Individual storefronts should have clearly defined bays. These bays should be no greater than 20 feet in length. Architectural elements, such as piers, recesses and projections help articulate bays.	<i>Partially Complies: Front and rear storefront are recessed.</i>
E.3.5.21	Guideline	All individual retail uses should have direct access from the public sidewalk. For larger retail tenants, entries should occur at lengths at a maximum at every 50 feet, consistent with the typical lot size in downtown.	<i>Complies: Direct access from sidewalk provided by two entrances.</i>
E.3.5.22	Guideline	Recessed doorways for retail uses should be a minimum of two feet in depth. Recessed doorways provide cover or shade, help identify the location of store entrances, provide a clear area for out-swinging doors and offer the opportunity for interesting paving patterns, signage and displays.	<i>Partially Complies: Front storefront is recessed less than 2 feet but applicant indicates doors swing inward.</i>

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Section	Standard or Guideline	Requirement	Evaluation
E.3.5.23	Guideline	Storefronts should remain un-shuttered at night and provide clear views of interior spaces lit from within. If storefronts must be shuttered for security reasons, the shutters should be located on the inside of the store windows and allow for maximum visibility of the interior.	<i>Complies: Shutters are not proposed at storefront windows.</i>
E.3.5.24	Guideline	Storefronts should not be completely obscured with display cases that prevent customers and pedestrians from seeing inside.	<i>Complies: Display cases are not proposed in windows.</i>
E.3.5.25	Guideline	Signage should not be attached to storefront windows.	<i>Complies: No signage is proposed on storefront windows.</i>
E.3.6 Open Space			
E.3.6.01	Standard	Residential developments or Mixed Use developments with residential use shall have a minimum of 100 square feet of open space per unit created as common open space or a minimum of 80 square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of 6 feet by 6 feet. In case of a mix of private and common open space, such common open space shall be provided at a ratio equal to 1.25 square feet for each one square foot of private open space that is not provided.	<i>Not Applicable: Residential units are not proposed.</i>
E.3.6.02	Standard	Residential open space (whether in common or private areas) and accessible open space above parking podiums up to 16 feet high shall count towards the minimum open space requirement for the development.	<i>Not Applicable: Residential uses and parking podiums are proposed.</i>
E.3.6.03	Guideline	Private and/or common open spaces are encouraged in all developments as part of building modulation and articulation to enhance building façade.	<i>Not Applicable: The existing site is built out with the roofline built almost to the property lines. No open space is currently provided on the site.</i>
E.3.6.04	Guideline	Private development should provide accessible and usable common open space for building occupants and/or the general public.	<i>Not Applicable: The existing site is built out with the roofline built almost to the property lines. No open space is currently provided on the site.</i>
E.3.6.05	Guideline	For residential developments, private open space should be designed as an extension of the indoor living area, providing an area that is usable and has some degree of privacy.	<i>Not Applicable: Residential uses are not proposed.</i>
E.3.6.06	Guideline	Landscaping in setback areas should define and enhance pedestrian and open space areas. It should provide visual interest to streets and sidewalks, particularly where building façades are long.	<i>Not Applicable: The existing site is built out with the roofline built almost to the property lines. No open space is currently provided on the site.</i>
E.3.6.07	Guideline	Landscaping of private open spaces should be attractive, durable and drought-resistant.	<i>Not Applicable: Private open spaces are not part of the project.</i>
E.3.7 Parking, Service and Utilities			
General Parking and Service Access			

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Section	Standard or Guideline	Requirement	Evaluation
E.3.7.01	Guideline	The location, number and width of parking and service entrances should be limited to minimize breaks in building design, sidewalk curb cuts and potential conflicts with streetscape elements.	<i>Not applicable: The site is in the Downtown Shared/Unbundled Parking Area where the parking demand generated by the site is being accommodated by shared public parking lots in downtown.</i>
E.3.7.02	Guideline	In order to minimize curb cuts, shared entrances for both retail and residential use are encouraged. In shared entrance conditions, secure access for residential parking should be provided.	<i>Not applicable: The site is in the Downtown Shared/Unbundled Parking Area where the parking demand generated by the site is being accommodated by shared public parking lots in downtown.</i>
E.3.7.03	Guideline	When feasible, service access and loading docks should be located on secondary streets or alleys and to the rear of the building.	<i>Not applicable: The site is in the Downtown Shared/Unbundled Parking Area where the parking demand generated by the site is being accommodated by shared public parking lots in downtown. There is no vehicular access on the site.</i>
E.3.7.04	Guideline	The size and pattern of loading dock entrances and doors should be integrated with the overall building design.	<i>Not applicable: Loading docks are not proposed.</i>
E.3.7.05	Guideline	Loading docks should be screened from public ways and adjacent properties to the greatest extent possible. In particular, buildings that directly adjoin residential properties should limit the potential for loading-related impacts, such as noise. Where possible, loading docks should be internal to the building envelope and equipped with closable doors. For all locations, loading areas should be kept clean.	<i>Not applicable: Loading docks are not proposed.</i>
E.3.7.06	Guideline	Surface parking should be visually attractive, address security and safety concerns, retain existing mature trees and incorporate canopy trees for shade. See Section D.5 for more complete guidelines regarding landscaping in parking areas.	<i>Not applicable: The site is in the Downtown Shared/Unbundled Parking Area where the parking demand generated by the site is being accommodated by shared public parking lots in downtown.</i>
Utilities			
E.3.7.07	Guideline	All utilities in conjunction with new residential and commercial development should be placed underground.	<i>Not applicable: Proposed project would not result in redevelopment of the site.</i>
E.3.7.08	Guideline	Above ground meters, boxes and other utility equipment should be screened from public view through use of landscaping or by integrating into the overall building design.	<i>Complies: Utility equipment would remain in a cabinet.</i>
Parking Garages			
E.3.7.09	Standard	To promote the use of bicycles, secure bicycle parking shall be provided at the street level of public parking garages. Bicycle parking is also discussed in more detail in Section F.5 "Bicycle Storage Standards and Guidelines."	<i>Not applicable: A parking garage is not proposed as part of this project.</i>
E.3.7.10	Guideline	Parking garages on downtown parking plazas should avoid monolithic massing by employing change in façade rhythm, materials and/or color.	<i>Not applicable: A parking garage is not proposed as part of this project.</i>

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E.3.7.11	Guideline	To minimize or eliminate their visibility and impact from the street and other significant public spaces, parking garages should be underground, wrapped by other uses (i.e. parking podium within a development) and/or screened from view through architectural and/or landscape treatment.	<i>Not applicable: A parking garage is not proposed as part of this project.</i>
E.3.7.12	Guideline	Whether free-standing or incorporated into overall building design, garage façades should be designed with a modulated system of vertical openings and pilasters, with design attention to an overall building façade that fits comfortably and compatibly into the pattern, articulation, scale and massing of surrounding building character.	<i>Not applicable: A parking garage is not proposed as part of this project.</i>
E.3.7.13	Guideline	Shared parking is encouraged where feasible to minimize space needs, and it is effectively codified through the plan's off-street parking standards and allowance for shared parking studies.	<i>Not applicable: The site is in the Downtown Shared/Unbundled Parking Area where the parking demand generated by the site is being accommodated by shared public parking lots in downtown.</i>
E.3.7.14	Guideline	A parking garage roof should be approached as a usable surface and an opportunity for sustainable strategies, such as installment of a green roof, solar panels or other measures that minimize the heat island effect.	<i>Not applicable: A parking garage is not proposed as part of this project.</i>
E.3.8 Sustainable Practices			
Overall Standards			
E.3.8.01	Standard	Unless the Specific Plan area is explicitly exempted, all citywide sustainability codes or requirements shall apply.	<i>Acknowledged.</i>
Overall Guidelines			
E.3.8.02	Guideline	Because green building standards are constantly evolving, the requirements in this section should be reviewed and updated on a regular basis of at least every two years.	<i>Acknowledged.</i>
Leadership in Energy and Environmental Design (LEED) Standards			

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.8.03	Standard	<p>Development shall achieve LEED certification, at Silver level or higher, or a LEED Silver equivalent standard for the project types listed below. For LEED certification, the applicable standards include LEED New Construction; LEED Core and Shell; LEED New Homes; LEED Schools; and LEED Commercial Interiors. Attainment shall be achieved through LEED certification or through a City-approved outside auditor for those projects pursuing a LEED equivalent standard. The requirements, process and applicable fees for an outside auditor program shall be established by the City and shall be reviewed and updated on a regular basis. LEED certification or equivalent standard, at a Silver level or higher, shall be required for:</p> <ul style="list-style-type: none"> • Newly constructed residential buildings of Group R (single-family, duplex and multi-family); • Newly constructed commercial buildings of Group B (occupancies including among others office, professional and service type transactions) and Group M (occupancies including among others display or sale of merchandise such as department stores, retail stores, wholesale stores, markets and sales rooms) that are 5,000 gross square feet or more; • New first-time build-outs of commercial interiors that are 20,000 gross square feet or more in buildings of Group B and M occupancies; and • Major alterations that are 20,000 gross square feet or more in existing buildings of Group B, M and R occupancies, where interior finishes are removed and significant upgrades to structural and mechanical, electrical and/or plumbing systems are proposed. <p>All residential and/or mixed use developments of sufficient size to require LEED certification or equivalent standard under the Specific Plan shall install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces provided. Per the Climate Action Plan the complying applicant could receive incentives, such as streamlined permit processing, fee discounts, or design templates.</p>	<p><i>Not applicable: The proposed project includes exterior modifications to the front and rear facades and the addition of 37 square feet of floor area to a 2,442 square foot building to extend the front entryway to the roofline, and would not trigger the need for LEED certification.</i></p>
Leadership in Energy and Environmental Design (LEED) Guidelines			

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.8.04	Guideline	The development of larger projects allows for more comprehensive sustainability planning and design, such as efficiency in water use, stormwater management, renewable energy sources and carbon reduction features. A larger development project is defined as one with two or more buildings on a lot one acre or larger in size. Such development projects should have sustainability requirements and GHG reduction targets that address neighborhood planning, in addition to the sustainability requirements for individual buildings (See Standard E.3.8.03 above). These should include being certified or equivalently verified at a LEED-ND (neighborhood development), Silver level or higher, and mandating a phased reduction of GHG emissions over a period of time as prescribed in the 2030 Challenge. The sustainable guidelines listed below are also relevant to the project area. They relate to but do not replace LEED certification or equivalent standard rating requirements.	<i>Not applicable: The proposed project includes exterior modifications to the front and rear facades and the addition of 37 square feet of floor area to a 2,442 square foot building to extend the front entryway to the roofline, and would not trigger the need for LEED-ND certification.</i>
Building Design Guidelines			
E.3.8.05	Guideline	Buildings should incorporate narrow floor plates to allow natural light deeper into the interior.	<i>Not applicable: Project consists of exterior modifications to the front and rear facades and the addition of floor area to extend the front entryway to the roofline.</i>
E.3.8.06	Guideline	Buildings should reduce use of daytime artificial lighting through design elements, such as bigger wall openings, light shelves, clerestory lighting, skylights, and translucent wall materials.	<i>Complies: Two new skylights are proposed that would provide natural light and help reduce use of daytime artificial lighting.</i>
E.3.8.07	Guideline	Buildings should allow for flexibility to regulate the amount of direct sunlight into the interiors. Louvered wall openings or shading devices like <i>bris soleils</i> help control solar gain and check overheating. <i>Bris soleils</i> , which are permanent sun-shading elements, extend from the sun-facing façade of a building, in the form of horizontal or vertical projections depending on sun orientation, to cut out the sun's direct rays, help protect windows from excessive solar light and heat and reduce glare within.	<i>Partially Complies: The existing awning would remain on the rear elevation.</i>
E.3.8.08	Guideline	Where appropriate, buildings should incorporate arcades, trellis and appropriate tree planting to screen and mitigate south and west sun exposure during summer. This guideline would not apply to downtown, the station area and the west side of El Camino Real where buildings have a narrower setback and street trees provide shade.	<i>Not applicable: This site is located in the downtown area.</i>

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E.3.8.09	Guideline	Operable windows are encouraged in new buildings for natural ventilation.	<i>Not applicable: Applicant indicates front doors on both sides of the property would be open during business hours and plate glass would be too large to be operable.</i>
E.3.8.10	Guideline	To maximize use of solar energy, buildings should consider integrating photovoltaic panels on roofs.	<i>Not applicable: No photovoltaic panels are proposed. The proposed skylights and existing/proposed rooftop equipment limit the ability to install photovoltaic panels.</i>
E.3.8.11	Guideline	Inclusion of recycling centers in kitchen facilities of commercial and residential buildings shall be encouraged. The minimum size of recycling centers in commercial buildings should be 20 cubic feet (48 inches wide x 30 inches deep x 24 inches high) to provide for garbage and recyclable materials.	<i>Not applicable: Existing and proposed use is retail.</i>
Stormwater and Wastewater Management Guidelines			
E.3.8.12	Guideline	Buildings should incorporate intensive or extensive green roofs in their design. Green roofs harvest rain water that can be recycled for plant irrigation or for some domestic uses. Green roofs are also effective in cutting-back on the cooling load of the air-conditioning system of the building and reducing the heat island effect from the roof surface.	<i>Not applicable: The existing building was constructed in 1958, and would require significant modifications in order to accommodate green roofs.</i>
E.3.8.13	Guideline	Projects should use porous material on driveways and parking lots to minimize stormwater run-off from paved surfaces.	<i>Not applicable: The site does not include driveways or parking lots.</i>
Landscaping Guidelines			
E.3.8.14	Guideline	Planting plans should support passive heating and cooling of buildings and outdoor spaces.	<i>Not applicable: The existing site is built out, with the existing roof line extending almost to the property lines. No landscaping is provided on the site.</i>
E.3.8.15	Guideline	Regional native and drought resistant plant species are encouraged as planting material.	<i>Not applicable: The existing site is built out, with the existing roof line extending almost to the property lines. No landscaping is provided on the site.</i>
E.3.8.16	Guideline	Provision of efficient irrigation system is recommended, consistent with the City's Municipal Code Chapter 12.44 "Water-Efficient Landscaping".	<i>Not applicable: The existing site is built out, with the existing roof line extending almost to the property lines. No landscaping is provided on the site.</i>
Lighting Standards			
E.3.8.17	Standard	Exterior lighting fixtures shall use fixtures with low cut-off angles, appropriately positioned, to minimize glare into dwelling units and light pollution into the night sky.	<i>Complies: The proposed exterior sconces would minimize glare and would prevent light pollution.</i>
E.3.8.18	Standard	Lighting in parking garages shall be screened and controlled so as not to disturb surrounding properties, but shall ensure adequate public security.	<i>Not applicable: A parking garage is not proposed.</i>
Lighting Guidelines			
E.3.8.19	Guideline	Energy-efficient and color-balanced outdoor lighting, at the lowest lighting levels possible, are encouraged to provide for safe pedestrian and auto circulation.	<i>Tentatively Complies: According to the applicant all proposed exterior sconces would be LED with dimmers.</i>

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: 889 Santa Cruz Avenue Compliance Worksheet

Section	Standard or Guideline	Requirement	Evaluation
E.3.8.20	Guideline	Improvements should use ENERGY STAR-qualified fixtures to reduce a building's energy consumption.	<i>Not applicable: A parking garage is not proposed.</i>
E.3.8.21	Guideline	Installation of high-efficiency lighting systems with advanced lighting control, including motion sensors tied to dimmable lighting controls or lighting controlled by timers set to turn off at the earliest practicable hour, are recommended.	<i>Tentatively Complies: According to the applicant all proposed exterior sconces would be LED with dimmers.</i>
Green Building Material Guidelines			
E.3.8.22	Guideline	The reuse and recycle of construction and demolition materials is recommended. The use of demolition materials as a base course for a parking lot keeps materials out of landfills and reduces costs.	<i>Tentatively Complies: According to the applicant, the construction and demolition materials will be recycled.</i>
E.3.8.23	Guideline	The use of products with identifiable recycled content, including post-industrial content with a preference for post-consumer content, are encouraged.	<i>Tentatively Complies: According to the applicant, products with recycled content will be used.</i>
E.3.8.24	Guideline	Building materials, components, and systems found locally or regionally should be used, thereby saving energy and resources in transportation.	<i>Tentatively Complies: According to the applicant, products shall be sourced locally to the extent possible.</i>
E.3.8.25	Guideline	A design with adequate space to facilitate recycling collection and to incorporate a solid waste management program, preventing waste generation, is recommended.	<i>Tentatively Complies: According to the applicant, separate recycle and waste bins would be provided.</i>
E.3.8.26	Guideline	The use of material from renewable sources is encouraged.	<i>Tentatively Complies: According to the applicant, wood from sustainable sources would be used.</i>

El Camino Real/Downtown Mitigation Monitoring and Reporting Program				
Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
AIR QUALITY				
IMPACT BEING ADDRESSED: Impact AIR-1: Implementation of the Specific Plan would result in increased long-term emissions of criteria pollutants associated with construction activities that could contribute substantially to an air quality violation. (Significant)				
<p><i>Mitigation Measure AIR-1a</i> : During construction of individual projects under the Specific Plan, project applicants shall require the construction contractor(s) to implement the following measures required as part of Bay Area Air Quality Management District's (BAAQMD) basic dust control procedures required for construction sites. For projects for which construction emissions exceed one or more of the applicable BAAQMD thresholds, additional measures shall be required as indicated in the list following the Basic Controls.</p> <p><u>Basic Controls that Apply to All Construction Sites</u></p> <p>1. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.</p> <p>2. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.</p> <p>3. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.</p> <p>4. All vehicle speeds on unpaved roads shall be limited to 15 mph.</p> <p>5. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.</p> <p>6. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.</p>	<p>Exposed surfaces shall be watered twice daily.</p> <p>Trucks carrying demolition debris shall be covered.</p> <p>Dirt carried from construction areas shall be cleaned daily.</p> <p>Speed limit on unpaved roads shall be 15 mph.</p> <p>Roadways, driveways, sidewalks and building pads shall be laid as soon as possible after grading.</p> <p>Idling times shall be minimized to 5 minutes or less; Signage posted at all access points.</p>	Measures shown on plans, construction documents and on-going during demolition, excavation and construction.	Project sponsor(s) and contractor(s)	PW/CDD

El Camino Real/Downtown Mitigation Monitoring and Reporting Program				
Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<p>7. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.</p> <p>8. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.</p>	<p>Construction equipment shall be properly tuned and maintained.</p> <p>Signage will be posted with the appropriate contact information regarding dust complaints.</p>			
BIOLOGICAL RESOURCES				
<i>Impact BIO-3: Impacts to migratory or breeding special-status birds and other special-status species due to lighting conditions. (Potentially Significant)</i>				
<p>Mitigation Measure BIO-3a: Reduce building lighting from exterior sources.</p> <p>a. Minimize amount and visual impact of perimeter lighting and façade up-lighting and avoid uplighting of rooftop antennae and other tall equipment, as well as of any decorative features;</p> <p>b. Installing motion-sensor lighting, or lighting controlled by timers set to turn off at the earliest practicable hour;</p> <p>c. Utilize minimum wattage fixtures to achieve required lighting levels;</p> <p>d. Comply with federal aviation safety regulations for large buildings by installing minimum intensity white strobe lighting with a three-second flash interval instead of continuous flood lighting, rotating lights, or red lighting</p> <p>e. Use cutoff shields on streetlight and external lights to prevent upwards lighting.</p>	Reduce building lighting from exterior sources.	Prior to building permit issuance and ongoing.	Project sponsor(s) and contractor(s)	CDD
<p>Mitigation Measure BIO-3b: Reduce building lighting from interior sources.</p> <p>a. Dim lights in lobbies, perimeter circulation areas, and atria;</p> <p>b. Turn off all unnecessary lighting by 11pm thorough sunrise, especially during peak migration periods (mid-March to early June and late August through late October);</p> <p>c. Use gradual or staggered switching to progressively turn on building lights at sunrise.</p> <p>d. Utilize automatic controls (motion sensors, photosensors, etc.) to shut off lights in the evening when no one is present;</p>	Reduce building lighting from interior sources.	Prior to building permit issuance and ongoing.	Project sponsor(s) and contractor(s)	CDD

El Camino Real/Downtown Mitigation Monitoring and Reporting Program				
Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
e. Encourage the use of localized task lighting to reduce the need for more extensive overhead lighting; f. Schedule nightly maintenance to conclude by 11 p.m.; g. Educate building users about the dangers of night lighting to birds.				
CULTURAL RESOURCES				
Impact CUL-1: The proposed Specific Plan could have a significant impact on historic architectural resources. (Potentially Significant)				
<p>Mitigation Measure CUL-1: Site Specific Evaluations and Treatment in Accordance with the Secretary of the Interior's Standards:</p> <p>Site-Specific Evaluations: In order to adequately address the level of potential impacts for an individual project and thereby design appropriate mitigation measures, the City shall require project sponsors to complete site-specific evaluations at the time that individual projects are proposed at or adjacent to buildings that are at least 50 years old.</p> <p>The project sponsor shall be required to complete a site-specific historic resources study performed by a qualified architectural historian meeting the Secretary of the Interior's Standards for Architecture or Architectural History. At a minimum, the evaluation shall consist of a records search, an intensive-level pedestrian field survey, an evaluation of significance using standard National Register Historic Preservation and California Register Historic Preservation evaluation criteria, and recordation of all identified historic buildings and structures on California Department of Parks and Recreation 523 Site Record forms. The evaluation shall describe the historic context and setting, methods used in the investigation, results of the evaluation, and recommendations for management of identified resources. If federal or state funds are involved, certain agencies, such as the Federal Highway Administration and California Department of Transportation (Caltrans), have specific requirements for inventory areas and documentation format.</p>	A qualified architectural historian shall complete a site-specific historic resources study. For structures found to be historic, specify treating conforming to Secretary of the Interior's standards, as applicable.	Simultaneously with a project application submittal.	Qualified architectural historian retained by the Project sponsor(s).	<p>CDD</p> <p>STATUS: COMPLETE:</p> <p>The historic resource evaluation from Archives and Architecture, dated June 2016, concludes that the existing building at the subject property is not a historic resource, and the project will not have an adverse effect on a historic resource, as the property is not eligible for the California Register of Historical Resources. Therefore, the project is not required under CEQA to comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings.</p>

El Camino Real/Downtown Mitigation Monitoring and Reporting Program				
Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<p><i>Treatment in Accordance with the Secretary of the Interior's Standards.</i> Any future proposed project in the Plan Area that would affect previously recorded historic resources, or those identified as a result of site-specific surveys and evaluations, shall conform to the Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995). The Standards require the preservation of character defining features which convey a building's historical significance, and offers guidance about appropriate and compatible alterations to such structures.</p>				
HAZARDOUS MATERIALS				
<p><i>Impact HAZ-3: Hazardous materials used on any individual site during construction activities (i.e., fuels, lubricants, solvents) could be released to the environment through improper handling or storage. (Potentially Significant)</i></p>				
<p><i>Mitigation Measure HAZ-3:</i> All development and redevelopment shall require the use of construction Best Management Practices (BMPs) to control handling of hazardous materials during construction to minimize the potential negative effects from accidental release to groundwater and soils. For projects that disturb less than one acre, a list of BMPs to be implemented shall be part of building specifications and approved of by the City Building Department prior to issuance of a building permit.</p>	<p>Implement best management practices to reduce the release of hazardous materials during construction.</p>	<p>Prior to building permit issuance for sites disturbing less than one acre and on-going during construction for all project sites</p>	<p>Project sponsor(s) and contractor(s)</p>	<p>CDD</p>

El Camino Real/Downtown Mitigation Monitoring and Reporting Program				
Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
NOISE				
<i>Impact NOI-1: Construction activities associated with implementation of the Specific Plan would result in substantial temporary or periodic increases in ambient noise levels in the Specific Plan area above levels existing without the Specific Plan and in excess of standards established in the local general plan</i>				
<p><i>Mitigation Measure NOI-1a:</i> Construction contractors for subsequent development projects within the Specific Plan area shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures, and acoustically attenuating shields or shrouds, etc.) when within 400 feet of sensitive receptor locations. Prior to demolition, grading or building permit issuance, a construction noise control plan that identifies the best available noise control techniques to be implemented, shall be prepared by the construction contractor and submitted to the City for review and approval. The plan shall include, but not be limited to, the following noise control elements:</p> <p>* Impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for construction shall be hydraulically or electrically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler shall achieve lower noise levels from the exhaust by approximately 10 dBA. External jackets on the tools themselves shall be used where feasible in order to achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever feasible;</p> <p>* Stationary noise sources shall be located as far from adjacent receptors as possible and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or other measures to the extent feasible; and</p>	<p>A construction noise control plan shall be prepared and submitted to the City for review.</p> <p>Implement noise control techniques to reduce ambient noise levels.</p>	<p>Prior to demolition, grading or building permit issuance</p> <p>Measures shown on plans, construction documents and specification and ongoing through construction</p>	<p>Project sponsor(s) and contractor(s)</p>	CDD

El Camino Real/Downtown Mitigation Monitoring and Reporting Program				
Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
* When construction occurs near residents, affected parties within 400 feet of the construction area shall be notified of the construction schedule prior to demolition, grading or building permit issuance. Notices sent to residents shall include a project hotline where residents would be able to call and issue complaints. A Project Construction Complaint and Enforcement Manager shall be designated to receive complaints and notify the appropriate City staff of such complaints. Signs shall be posted at the construction site that include permitted construction days and hours, a day and evening contact number for the job site, and day and evening contact numbers, both for the construction contractor and City representative(s), in the event of problems.				
TRANSPORTATION, CIRCULATION AND PARKING				
Impact TR-1: Traffic from future development in the Plan area would adversely affect operation of area intersections. (Significant)				
Mitigation Measures TR-1a through TR-1d: (see EIR for details)	Payment of fair share funding.	Prior to building permit issuance.	Project sponsor(s)	PW/CDD



STAFF REPORT

Planning Commission

Meeting Date: 11/7/2016

Staff Report Number: 16-087-PC

Public Hearing: Use Permit/Clara Ting/1045 Trinity Drive

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to demolish an existing two-story, single-family fire-damaged residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-E-S (Residential Estate Suburban) zoning district, at 1045 Trinity Drive. There is an active building permit regarding the remodeling of and additions to the first floor and lower floor. The applicant is now requesting that the building be demolished and rebuilt, which requires Planning Commission review of the overall proposal. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at 1045 Trinity Drive between Klamath Drive and Whitney Drive in the Sharon Heights neighborhood. The rear yard of the property contains a public utility easement that measures between approximately 24 and 39 feet wide from the rear property line. The rear property line faces Sharon Park Drive which leads to a residential development at 1100-1290 Sharon Park Drive, which is located in the middle of the golf course of the Sharon Heights Golf and Country Club.

The subject property has varied topography which slopes downward at the side and rear yards. All parcels on Trinity Drive contain single-family residences that are also zoned R-E-S. The country club is in the OSC (Open Space and Conservation) zoning district. Nearby are other properties, mainly townhomes in the R-1-S(X), (Single Family Suburban, Conditional Development) zoning district. A location map is included as Attachment B. There is a mix of one and two-story single-family residences surrounding the project site which feature varied architectural styles, including ranch and modern style homes.

Building permit

A building permit application was issued on July 1, 2015, and remodeling and construction are underway on this single-family residence. The original permit did not require Planning Commission review of a use permit, due to its relatively limited scope. On July 25, 2015, there was a fire which damaged the roof and a

large portion of the existing residence including the master bedroom and bath, two bedrooms, a bathroom, a laundry, family room and living room. The owners have demolished the fire damaged portion and were in the process of rebuilding the home to match the plans of the issued building permit, when they decided to revise their issued building permit to include additional floor area. The expanded scope requires use permit review for new construction on a substandard lot.

Analysis

Project description

The applicant is now requesting approval from the Planning Commission to rebuild the residence. The garage would be the only portion of the home that would not be rebuilt. The applicant proposes to add 1,968 square feet to the residence on the near identical footprint of the fire-damaged home. The existing residence resembles a one-story home from the street. However, the grade of the property slopes downward so that the lower level of the home opens out onto a lower grade. Since the lower level does not qualify as a basement under the Zoning Ordinance's definition of Floor Area Limit (FAL), the residence is considered a two-story house on a substandard lot with respect to lot width, and the proposal requires use permit approval.

The master bath and bedroom, family and living rooms, dining room and kitchen would all be rebuilt. A new addition to the left of the front entrance inside the courtyard would include one expanded master bath; another large bathroom and additional bedroom would be added next to the garage. A new deck would be added around most of the perimeter of the courtyard. At the left side and rear of the main level of the residence a new redwood deck is proposed above the lower level. This deck would meet setback requirements for balconies and decks above the first level.

The new living room would feature stairs leading to the lower level. At the lower level, another bedroom, game room laundry and theatre are proposed. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

Design and materials

The applicant proposes to retain the existing ranch style of the home, with contemporary materials such as a new composition shingle roof, mahogany and glass panel front doors, and new wood garage doors. The windows would be fixed casement and single-hung windows with white vinyl window frames with tinted gray glass. The area between the two front windows of the front facade would have a wood accent panel to complement the wood and glass-paneled front entry door. There would also be a wood band above the garage door as shown on the street perspective drawings. The remainder of the façade of the residence would be gray-painted stucco. Minor changes to the front elevation would be made to correspond with the three-dimensional renderings. Staff has included project-specific condition 4a which states that the proposed plans be revised for consistency with the renderings. Staff believes that the new front entry, new deck in the courtyard combined with the decorative trim would add visual interest to the residence and would be consistent with the neighborhood's mix of architectural styles. Massing impacts would be limited by the topography of the lot and the location of the majority of the floor area at the front and middle of the lot, where it is perceived as a one-story residence.

Trees and landscaping

There were a total of 31 trees on the subject property, five of which are heritage trees. The applicant has removed five non-heritage sized trees. Three of these trees (numbered 10, 11 and 12) were located in the right side yard of the property and removed for construction of the proposed addition near the garage. One heritage Monterey pine (tree #1) has been removed under an approved Heritage Tree Removal permit. No other heritage trees are proposed for removal at this time. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of trees on the property. The proposed site improvements should not adversely affect any of the trees as tree protection measures will be ensured through standard condition 3g. Also, staff has included project-specific condition 4b, which states that the plans be revised to reflect the final heritage tree replacement planting requirement and additional tree protection measures such as six-inch chain link fencing and wood chip mulching with trench plates recommended by the City Arborist.

Correspondence

Staff has received three items of correspondence in support of the proposed project. They are included as Attachment G.

Conclusion

Staff believes the scale, materials, style, and decorative elements such as wood accents at the front façade and wood deck at the rear of the home are compatible with the surrounding neighborhood's mix of architectural styles. The perceived massing would be limited by the topography of the lot and the location of most of the floor area at the front and middle of the parcel, where it appears to be a one-story residence. The recommended tree protection measures would help minimize impacts on the heritage trees on the subject property. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Correspondence

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

Michele T. Morris, Assistant Planner

Report reviewed by:

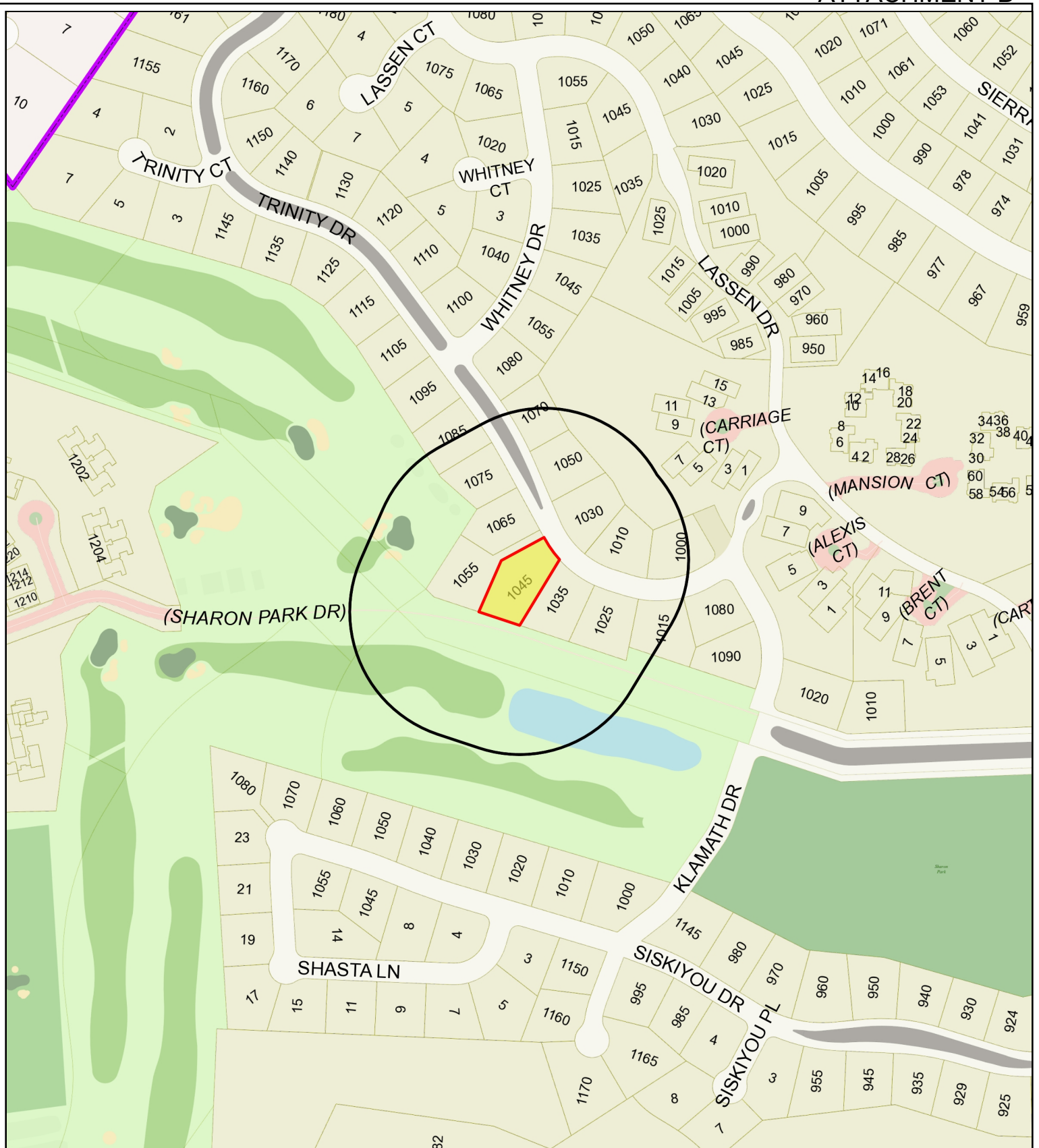
Thomas Rogers, Principal Planner

1045 Trinity Drive – Attachment A: Recommended Actions

LOCATION: 1045 Trinity Drive	PROJECT NUMBER: PLN2016-00066	APPLICANT: Clara Ting	OWNER: Keda Wang
REQUEST: Request for a use permit to demolish an existing two-story, single-family fire-damaged residence and construct a new two-story, single-family residence with a basement on a substandard lot with regard to lot width in the R-E-S (Residential Estate Suburban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<div>1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines.</div> <div>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</div> <div>3. Approve the use permit subject to the following <i>standard</i> conditions:<div><div>a. Development of the project shall be substantially in conformance with the plans prepared by Aclara Engineering Consulting consisting of 14 plan sheets, dated received October 26, 2016, and approved by the Planning Commission on November 7, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</div><div>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.</div><div>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</div><div>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</div><div>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</div><div>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</div><div>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</div></div></div> <div>4. Approve the use permit subject to the following <i>project-specific</i> conditions:<div><div>a. Simultaneous with the submittal of a complete building permit application, the applicant shall</div></div></div>			

1045 Trinity Drive – Attachment A: Recommended Actions

LOCATION: 1045 Trinity Drive	PROJECT NUMBER: PLN2016-00066	APPLICANT: Clara Ting	OWNER: Keda Wang
REQUEST: Request for a use permit to demolish an existing two-story, single-family fire-damaged residence and construct a new two-story, single-family residence with a basement on a substandard lot with regard to lot width in the R-E-S (Residential Estate Suburban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: submit revised elevations that are consistent with the three-dimensional renderings of the plan set, subject to review and approval of the Planning Division. b. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a revised arborist report and a revised site plan addressing the following, subject to the review and approval of the Planning Division: 1) Provide specific tree protection measures for heritage trees numbered 13, 14, 16, 24 and 25; 2) Describe specific impacts to heritage trees based on site, grading, utility, and landscaping; 3) Provide specific tree protection zones (TPZ) for each heritage tree to be preserved in the revised report and include the following elements: a) Tree protection fencing shall be six-inch chain link; b) If fencing inhibits construction access or activities, wood chip mulch with trench plates or plywood may be used to protect the TPZ, and a precise description of where this method will be used shall be provided in the revised arborist report 4) Clearly identify the required heritage tree replacements on the revised site plan, or submit documentation that the City Arborist has waived such requirements.			



City of Menlo Park
Location Map
1045 Trinity Drive



Scale: 1:3,600

Drawn By: MTM

Checked By: THR

Date: 9/12/2016

Sheet: 1

	PROPOSED PROJECT		EXISTING PROJECT		ZONING ORDINANCE	
Lot area	20,151	sf	20,151	sf	15,000	sf min.
Lot width	75	ft.	75	ft.	100	ft. min.
Lot depth	242.99	ft.	242.99	ft.	100	ft. min.
Setbacks						
Front	20	ft.	35.2	ft.	20	ft. min.
Rear	20	ft.	71.4	ft.	20	ft. min.
Side (left)	14.8	ft.	14.8	ft.	25 ft. total, with minimum 10 ft. on any one (1) side	
Side (right)	10.3	ft.	11.7	ft.		
Building coverage	4,495.3	sf	3,066	sf	6,045.3	sf max.
	22.4	%	15.2	%	30	% max.
FAL (Floor Area Limit)	5,357	sf	3,066	sf	6,087.8	sf max.
Square footage by floor	3,429	sf/main fl.	2,460	sf/main fl.		
	987	sf/lower fl.		sf/lower fl.		
	606	sf/garage	606	sf/garage		
	335	attic > 5ft				
	450.3	sf/porch				
	10	fireplace				
Square footage of building	5,817.3	sf	3,066	sf		
Building height	20.4	ft.	20.4	ft.	30	ft. max.
Parking	2 covered		2 covered		1 covered/1 uncovered	
Trees	Heritage trees	6*	Non-Heritage trees	20	New Trees	1
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0	Total Number of Trees	25

*One heritage tree has been removed by Heritage Tree Removal permit.

PROPOSED RENOVATION
WANG RESIDENCE
FOR
1045 TRINITY DR.,
MENLO PARK, CA 94025

Plan Check Submittal ARCHTIECT & STRUCTURAL ENGINEER:
06/08/2016 USE PERMIT ACLARA ENGINEERING CONSULTANT/CLARA TING
09/27/2016 RESPONSE TO PLANNER P.O. BOX 53892, SAN JOSE, CA 95153
10/19/2016 RESPONSE TO PLANNER 4 TEL: (408) 228-7526
EMAIL: aclaraeng@gmail.com

SCOPE OF WORK

1. THIS PROJECT IS TO ADD A TOTAL OF 1956 SQ.FT. TWO STORY LIVING AREA TO AN EXISTING 2460 SQ.FT. (NOT INCLUDING GARAGE OF 606 SQ.FT.)
THE NEW ADDITION INCLUDE ADDING TWO MASTER BEDROOMS AND ADD A POWDER ROOM IN THE EXISTING LIVING ROOM.
2. THE REVISED SUBMITTAL IS INCLUDING REPAIR ALL THE FIRE DAMAGE OF THE EXISTING HOUSE AND THE REPLACE NEW ROOF OF THE ENTIRE HOUSE.



VICINITY MAP



PROJECT LOCATION

PROJECT DATA

OWNER : KEDA WANG
PROJECT ADDRESS : 1045 TRINITY DRIVE, MENLO PARK, CALIFORNIA 94025-6644
ASSESSOR'S PARCEL NUMBER(A.P.N.): 074-232-060
OCCUPANCY GROUP : R-3/U1
CONSTRUCTION TYPE : V-B
BUILDING ZONE : RES
GENERAL PLAN: RESIDENTIAL VERY LOW DENSITY
EXISTING USE: SINGLE FAMILY RESIDENTIAL
PROPOSED USE: SINGLE FAMILY RESIDENTIAL
AVERAGE SLOPE OF LOT: EXISTING
AGE OF RESIDENCE: ORIGINAL BUILDING WAS BUILT IN 1963
SITE AREA: 20151 SF (GROSS/NET)
EXISTING FLOOR AREA: 2460 SQ. FT. +606 SQ.FT.(GARAGE) = 3066 SQ.FT.
PROPOSED ADDITIONAL FLOOR AREA: 1956 SF (NEW ADDITION)
TOTAL FLOOR AREA: 3066(EXISTING)+1,956(ADDITION)+335(DBL COUNT)= 5,357 SQ.FT.
FLOOR AREA LIMIT (F.A.L): =2800+.25(20151-7000)=6088 SQ.FT.
BUILDING COVERAGE : 30 %
EXISTING GARAGE: 606 SQ. FT
LOT COVERAGE: 20.0 % (4031.25/20151)< 30 %
EXISTING IMPERVIOUS: 34.3%
PROPOSED IMPERVIOUS: 36.6%
TOTAL IMPERVIOUS AREA: EXISTING
MAXIMUM HEIGHT: 30 FT
BUILDING HEIGHT: 20'-5" FT (FROM AVERAGE GRADE)
NUMBER OF STORIES: TWO
EXISTING MINIMUM YARDS: FRONT 48'-4" > 20'
LEFT SIDE 10'-3" > 10' } (SUM OF TWO=25'-0" >25'-0")
RIGHT SIDE 14'-9" > 10'
REAR 64'-8" > 20'

APPLICABLE BUILDING CODE: 2013 CBC, CMC, CPC, CFC, CEC,
2013 CALIFORNIA ENERGY STANDARD,& CITY OF MENLO PARK
ORDINANCES, ANY OTHER APPLICABLE LOCAL & STATE LAWS
& REGULATIONS

DRAWING INDEX

- A-0 TITLE SHEET
- A-0.1 AREA CALCULATION
- A-1.0 LOT /SITE PLAN
- A-1.1 AREA PLAN
- A-1.2 EXISTING FLOOR PLAN
- A-2.1 PROPOSED UPPER LEVEL FLOOR PLAN
- A-2.2 PROPOSED LOWER LEVEL FLOOR PLAN
- A-3.1 PROPOSED ELEVATIONS
- A-3.2 PROPOSED ELEVATIONS
- A-3.3 SECTIONS
- A-3.4 SECTIONS
- A-4.0 ROOF PLAN
- A-5.0 STREETScape & PERSPECTIVE DRAWINGS
- TOPOGRAPHIC SURVEY PLAN

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PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:

10/20/16
USE PERMIT

SHEET TITLE:

TITLE

DRAWN: Q.L. CHECKED: C.TING

DATE: 07/16/2016

SCALE: NTS

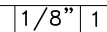
JOB NO.: M15118

SHEET:

A-0

OF SHEETS

OF SHEETS





PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:

10/20/16
USE PERMIT

SHEET TITLE:

LOT /
SITE PLAN

DRAWN: Q.L. CHECKED: C.TING

DATE: 07/16/2016

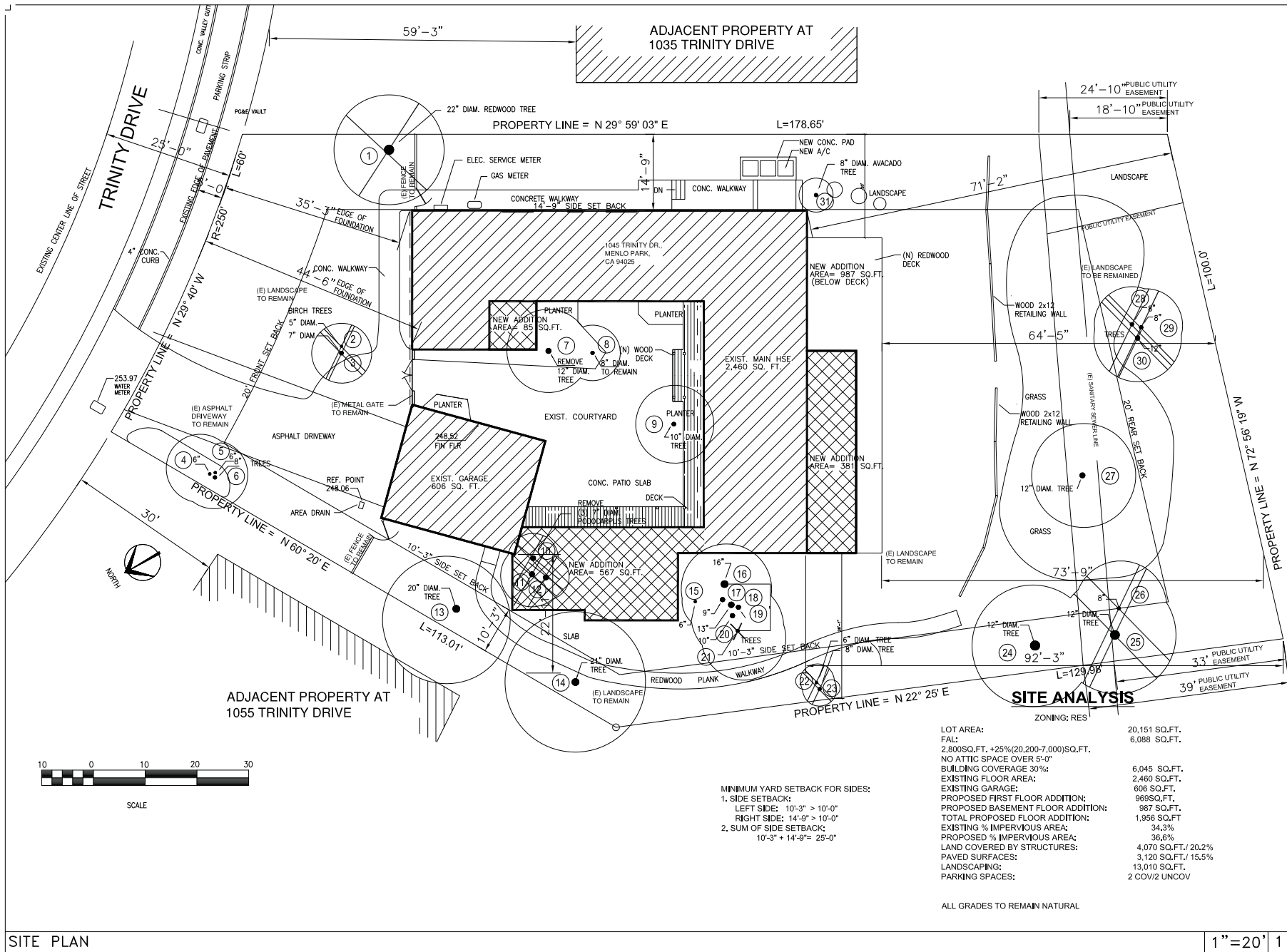
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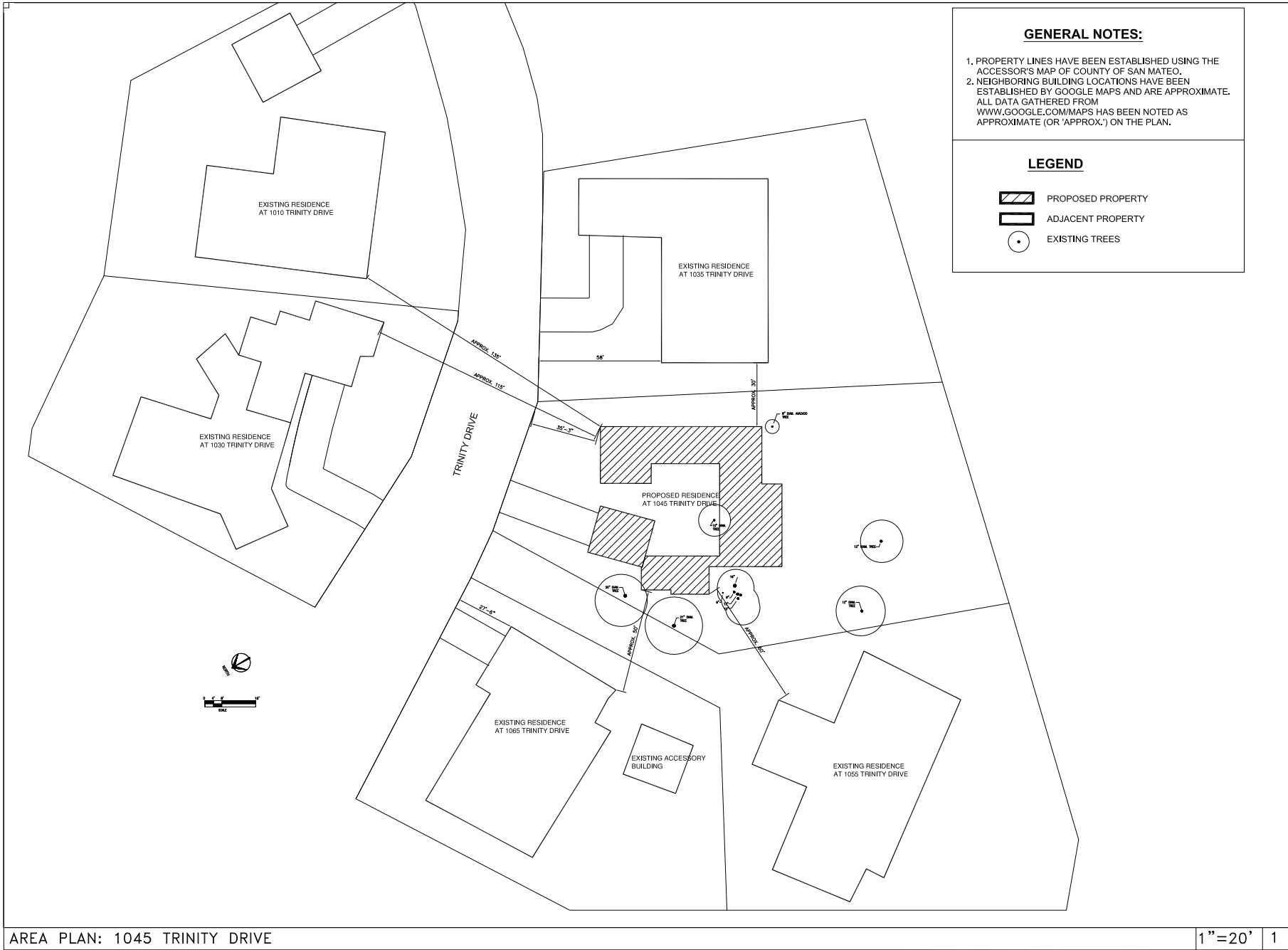
A-1

OF SHEETS



SITE PLAN




1"=20' 1



GENERAL NOTES:

1. PROPERTY LINES HAVE BEEN ESTABLISHED USING THE ACCESSOR'S MAP OF COUNTY OF SAN MATEO.
 2. NEIGHBORING BUILDING LOCATIONS HAVE BEEN ESTABLISHED BY GOOGLE MAPS AND ARE APPROXIMATE.
- ALL DATA GATHERED FROM
WWW.GOOGLE.COM/MAPS HAS BEEN NOTED AS
APPROXIMATE (OR 'APPROX.') ON THE PLAN.

LEGEND

-  PROPOSED PROPERTY
-  ADJACENT PROPERTY
-  EXISTING TREES

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PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:

10/20/16
USE PERMIT

SHEET TITLE:

AREA PLAN

DRAWN: Q.L. CHECKED:

DATE: 07/16/2016

SCALE: NTS

JOB NO.: M15118

SHEET:

A-1.1

OF SHEETS

AREA PLAN: 1045 TRINITY DRIVE

1"=20'

1



PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:

10/20/16
USE PERMIT

SHEET TITLE:

EXISTING
DEMO PLAN

DRAWN: Q.L. CHECKED: C.TING

DATE: 07/16/2016

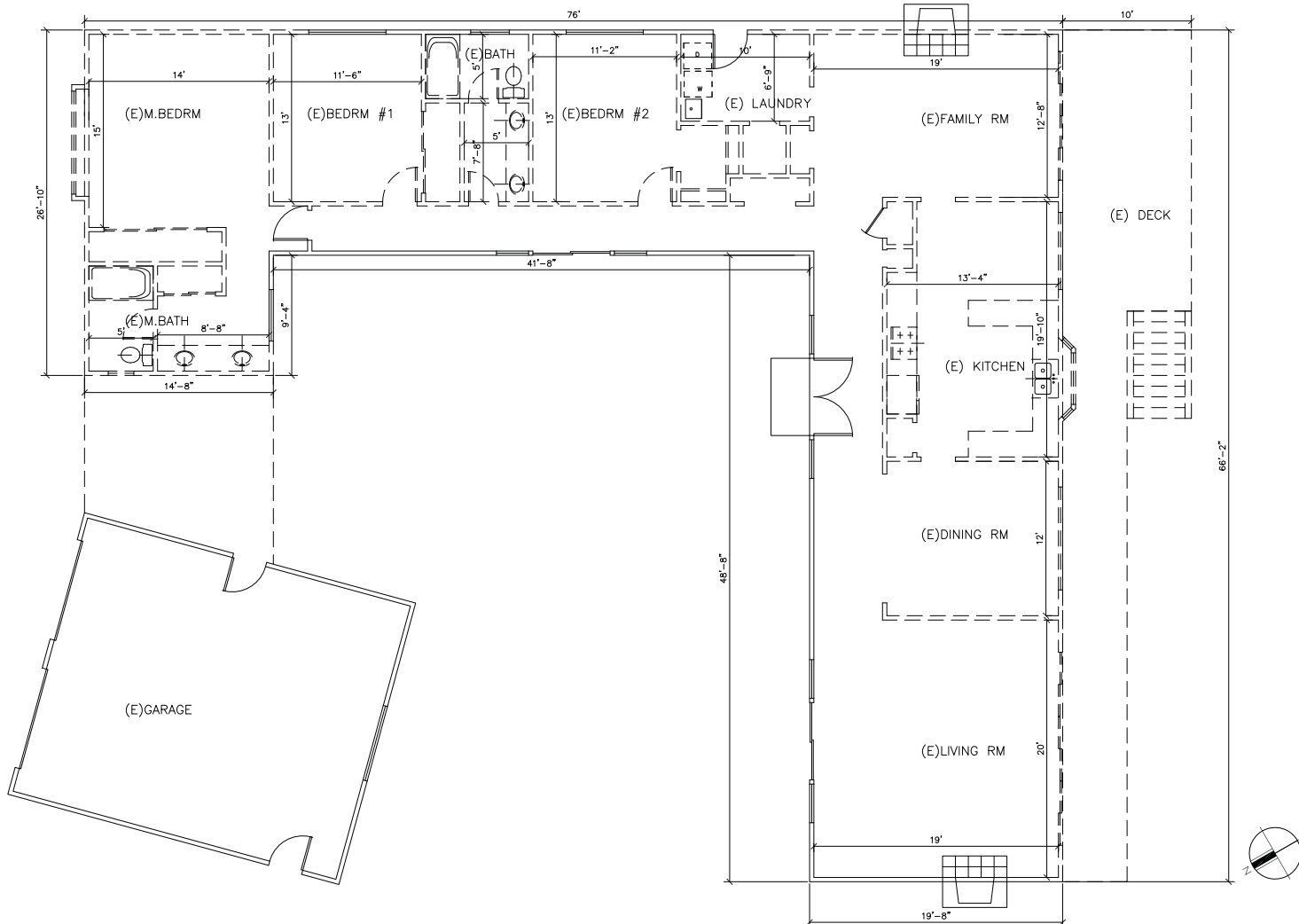
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SHEET:

A-1.2

OF SHEETS





PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:

10/20/16
USE PERMIT

SHEET TITLE:

PROPOSED
UPPER LEVEL
FLOOR PLAN

DRAWN: Q.L. CHECKED: C.TING

DATE: 07/16/2016

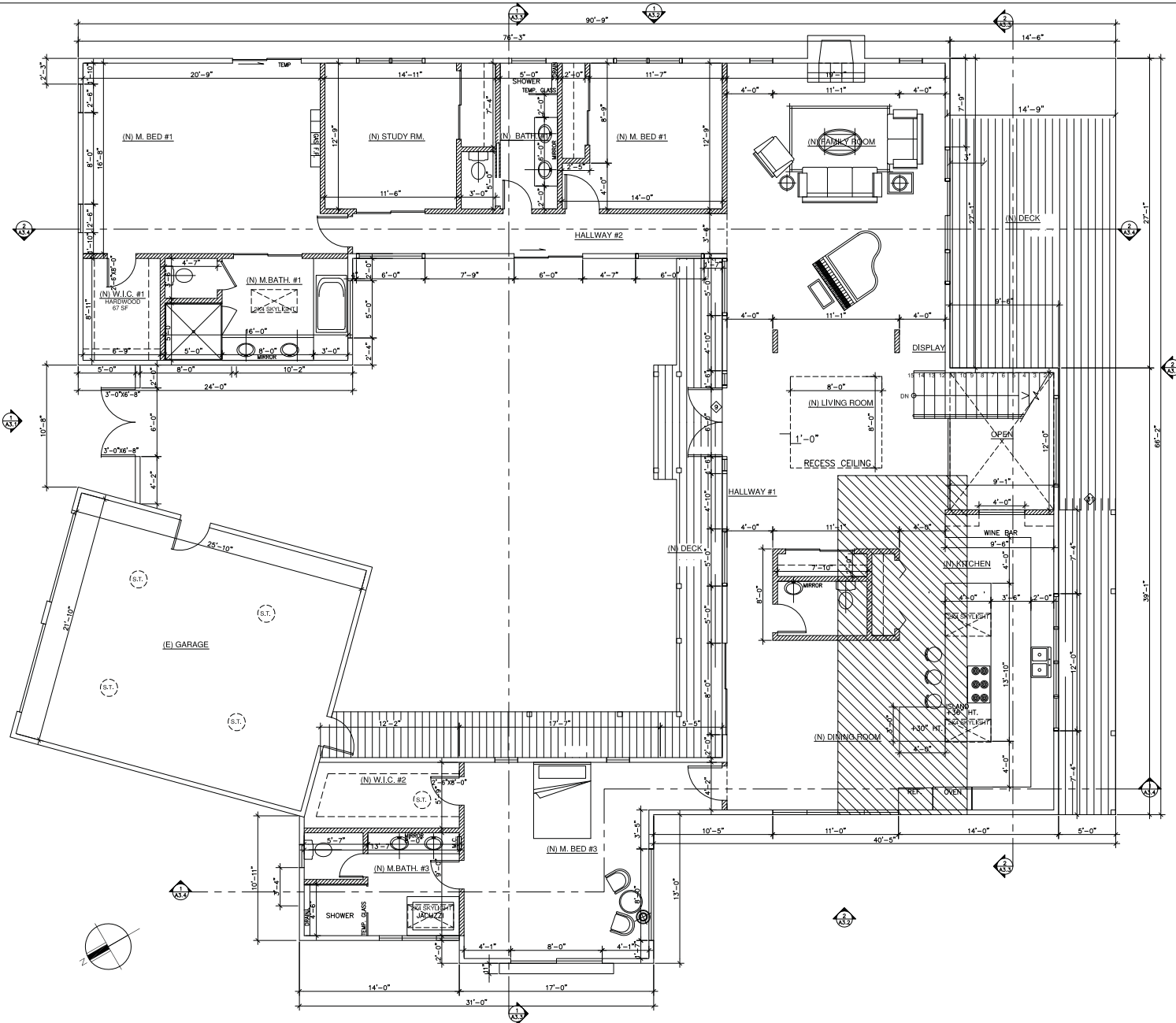
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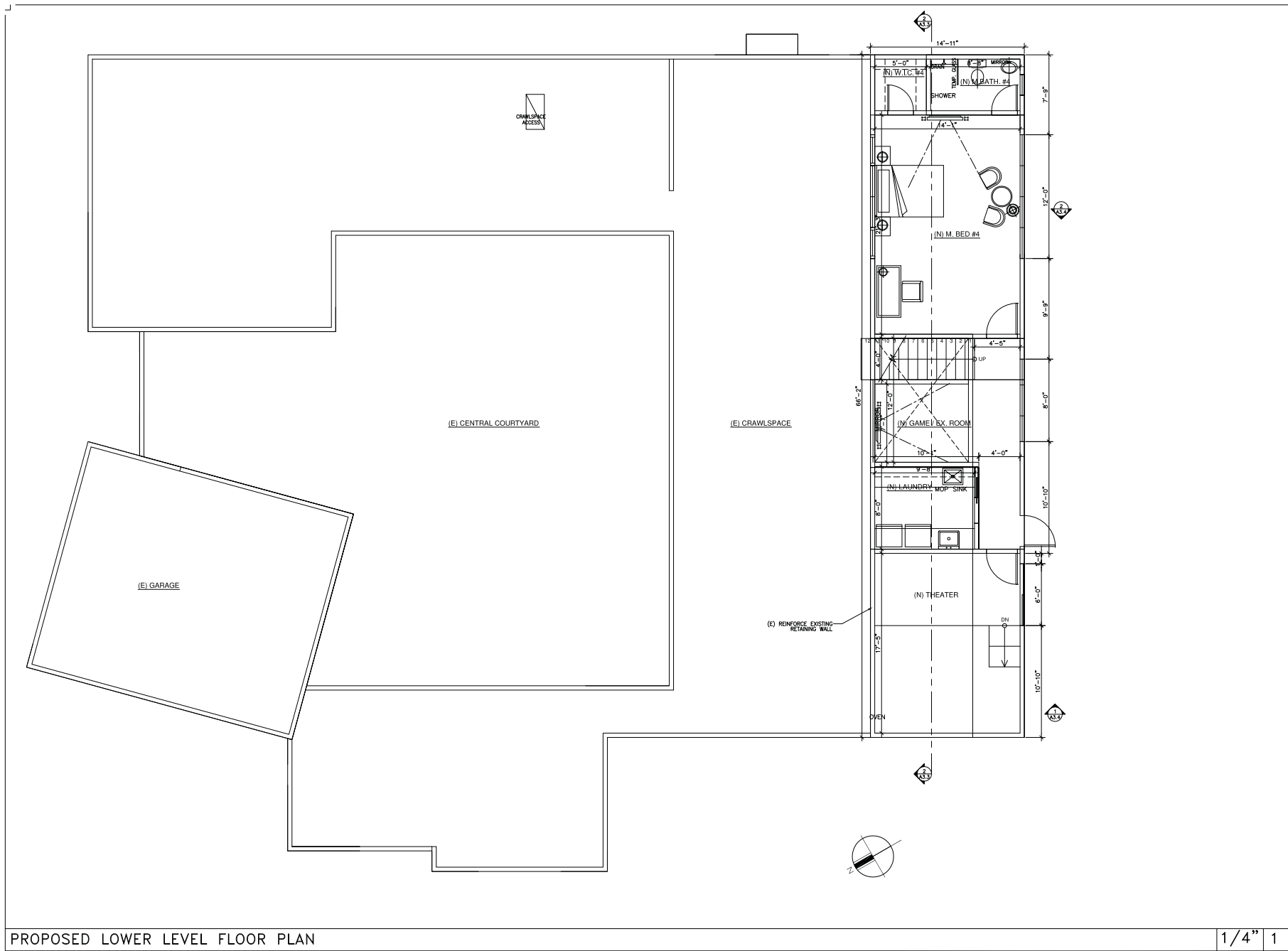
A-2.1

OF SHEETS



PROPOSED UPPER LEVEL FLOOR PLAN

1/4" 1



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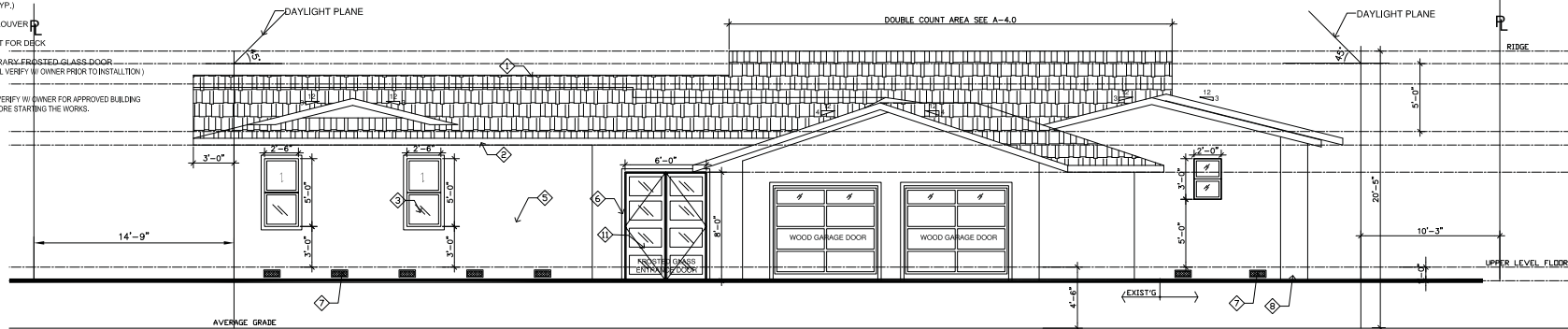
PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:	
10/20/16	USE PERMIT
SHEET TITLE:	
PROPOSED LOWER LEVEL FLOOR PLAN	
DRAWN: Q.L.	CHECKED: C.TING
DATE: 07/16/2016	
SCALE: NTS	
JOB NO.: M15118	
SHEET:	

A-2.2
OF SHEETS

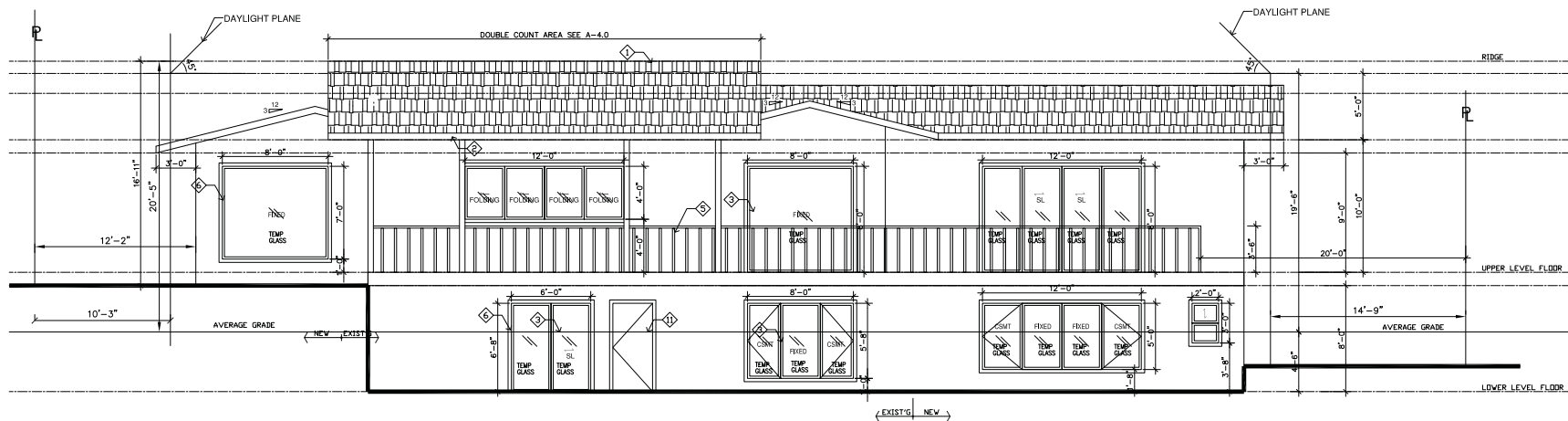
- ELEVATION NOTES:**
- 1 ROOF: NEW COMPOSITION ROOF, CLASS "A" 40 YEARS.
ON 30 LB BLDG FELT OVER PLYWOOD SHEATHING.
ROOF SLOPE SHALL BE 12:3
 - 2 5" 26 GA. G.I. PROFILE GUTTER ON 2X8 S4S SURFACE FASCIA BOARD
WITH DOWNSPOUT AT PROPER LOCATIONS (ALL ROOF DRAINS SHALL
BE DRAINED TO STREET DIRECTLY)
 - 3 DOUBLE GLAZED WINDOWS (TYP.)
 - 4 CUSTOM SOLID CORE DOORS.
 - 5 MATCH EXISTING STUCCO. EXT. WALL SHALL BE PROVIDED WITH A MIN.
OF ONE LAYER OF TYPE I NO. 15 ASPHALT SATURATED FELT COMPLYING
WITH ASTM D226 OR OTHER APPROVED MATERIAL SHALL BE PROVIDED.
CRG. R703.2.
 - 6 WOOD SILL OR TRIM.
 - 7 SCREEN VENT WITH 1/4" WIRED MESH (TYP.)
 - 8 WEEP SCREED (TYP.)
 - 9 14X22 WD. VENT LOUVER
 - 10 NEW FLOOR JOIST FOR DECK
 - 11 NEW CONTEMPORARY FROSTED GLASS DOOR
(CONTRACTOR SHALL VERIFY W/ OWNER PRIOR TO INSTALLATION)

NOTES:
THE CONTRACTOR SHALL VERIFY W/ OWNER FOR APPROVED BUILDING
COLOR AND MATERIAL BEFORE STARTING THE WORKS.



FRONT /SOUTH ELEVATION

1/4" 1



REAR /NORTH ELEVATION

1/4" 2

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PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:

10/20/16
USE PERMIT

SHEET TITLE:

PROPOSED
ELEVATIONS

DRAWN: Q.L. CHECKED: C.TING

DATE: 07/16/2016

SCALE: NTS

JOB NO.: M15118

SHEET:

A-3.1

OF SHEETS



PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:

10/20/16
USE PERMIT

SHEET TITLE:

PROPOSED
ELEVATIONS

DRAWN: Q.L. CHECKED: C.TING

DATE: 07/16/2016

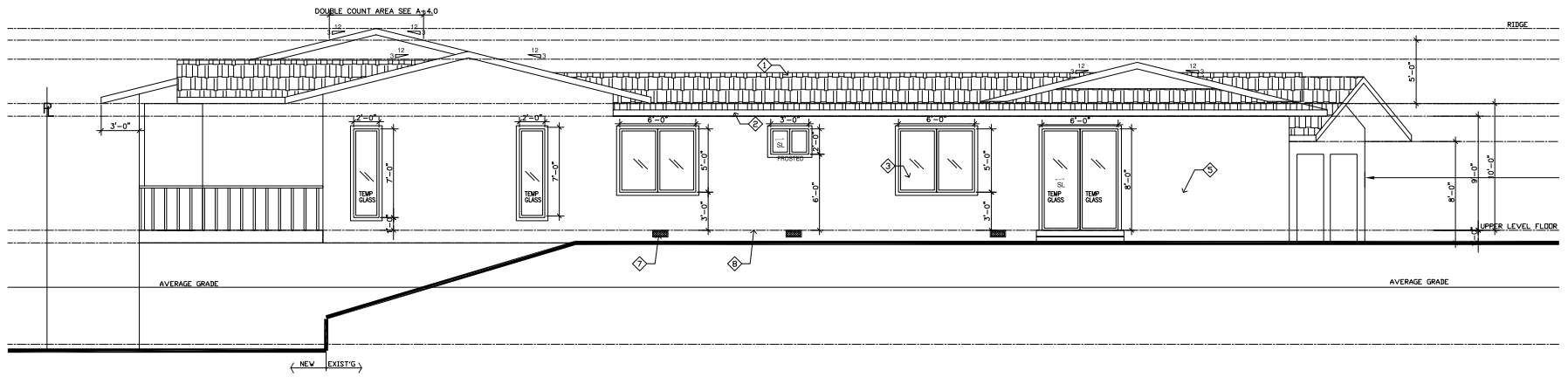
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JOB NO.: M15118

SHEET:

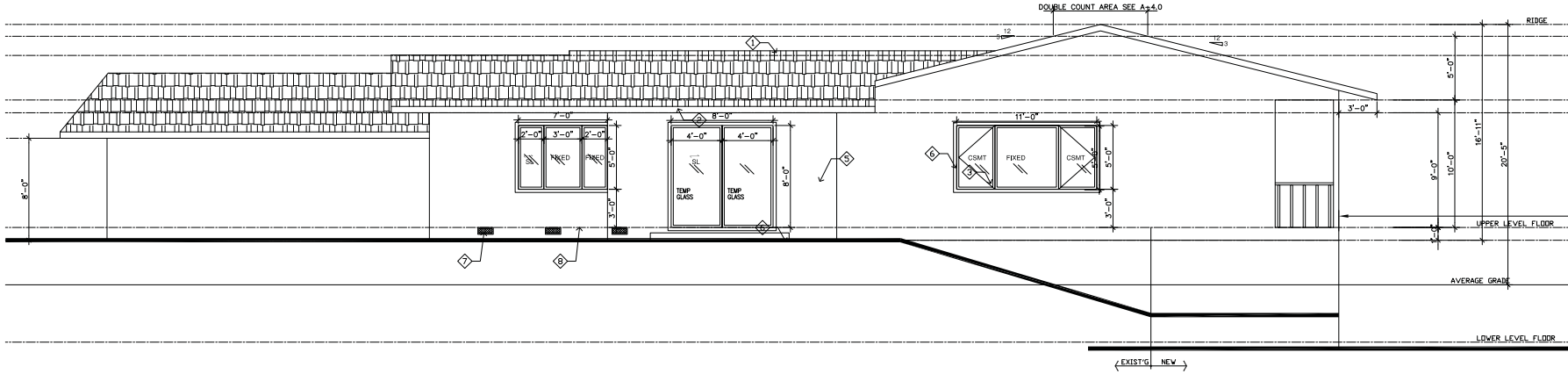
A-3.2

OF SHEETS



LEFT /WEST ELEVATION

1/4" 1



RIGHT /EAST ELEVATION

1/4" 1

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PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:

10/20/16
USE PERMIT

SHEET TITLE:

SECTIONS

DRAWN: Q.L. CHECKED: C.TING

DATE: 07/16/2016

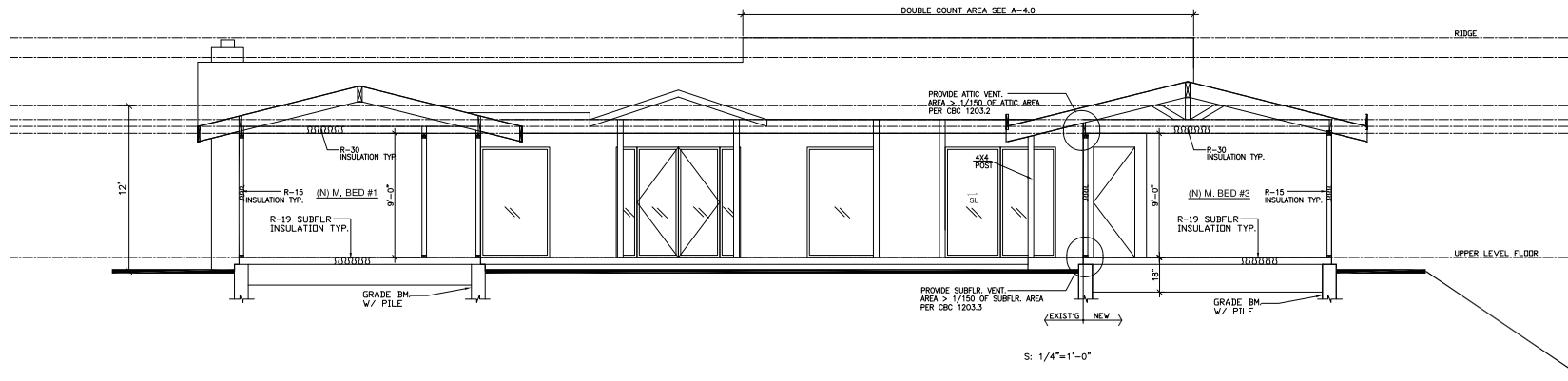
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JOB NO.: M15118

SHEET:

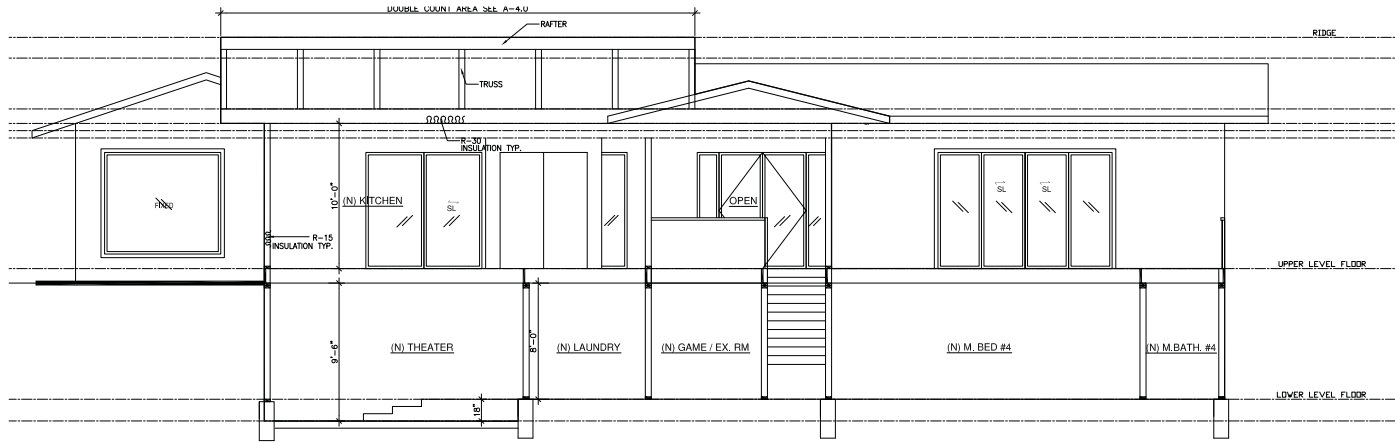
A-3.3

OF SHEETS



SECTION

1/4" 1



SECTION

1/4" 2



PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:

10/20/16
USE PERMIT

SHEET TITLE:

SECTIONS

DRAWN: Q.L. CHECKED: C.TING

DATE: 07/16/2016

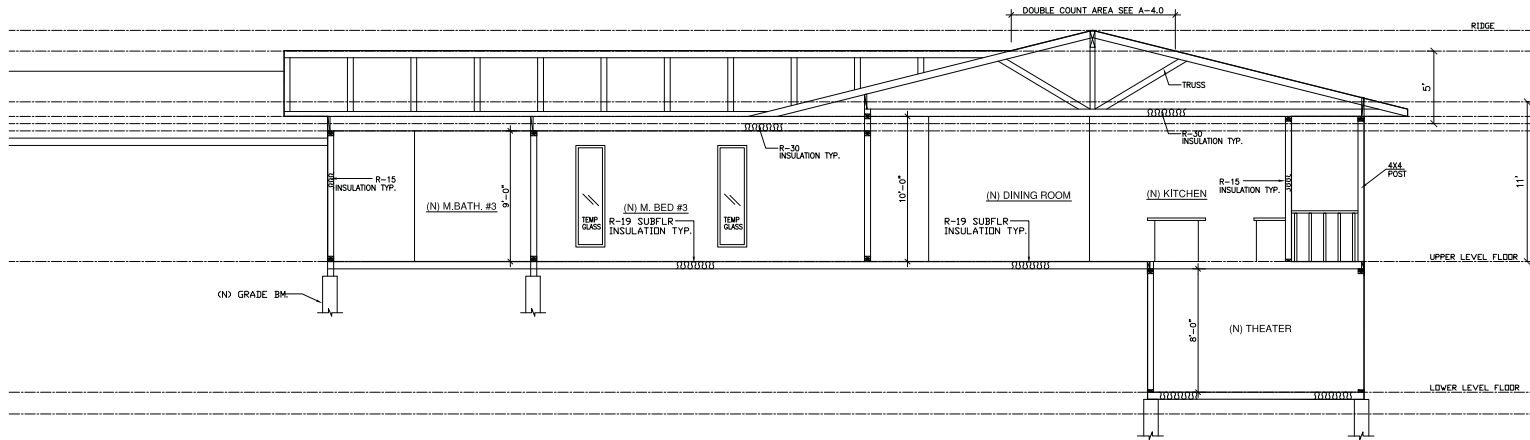
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JOB NO.: M15118

SHEET:

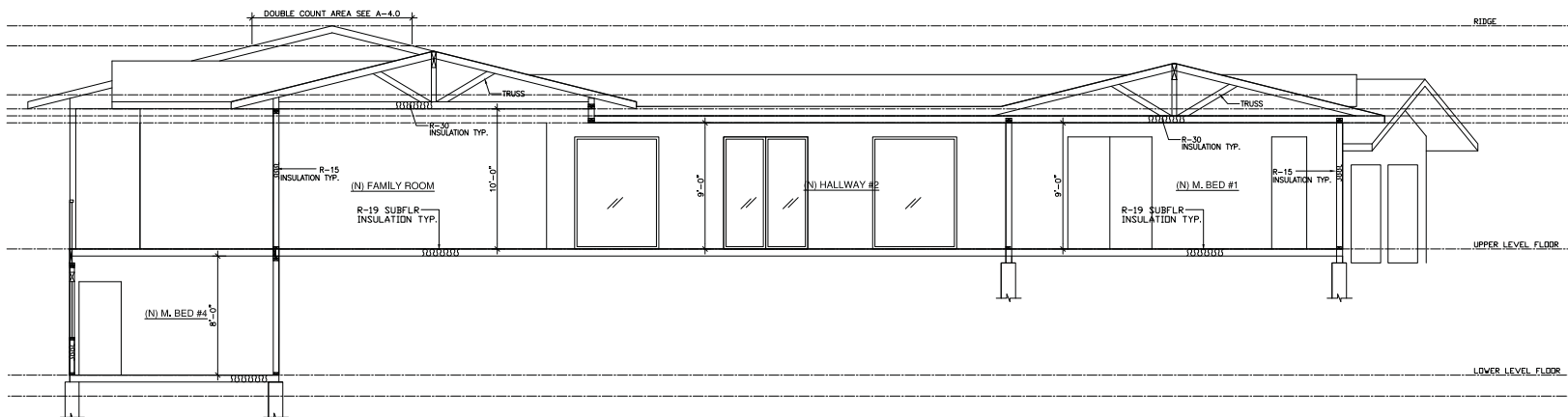
A-3.4

OF SHEETS



SECTION

1/4" 1



SECTION

1/4" 2

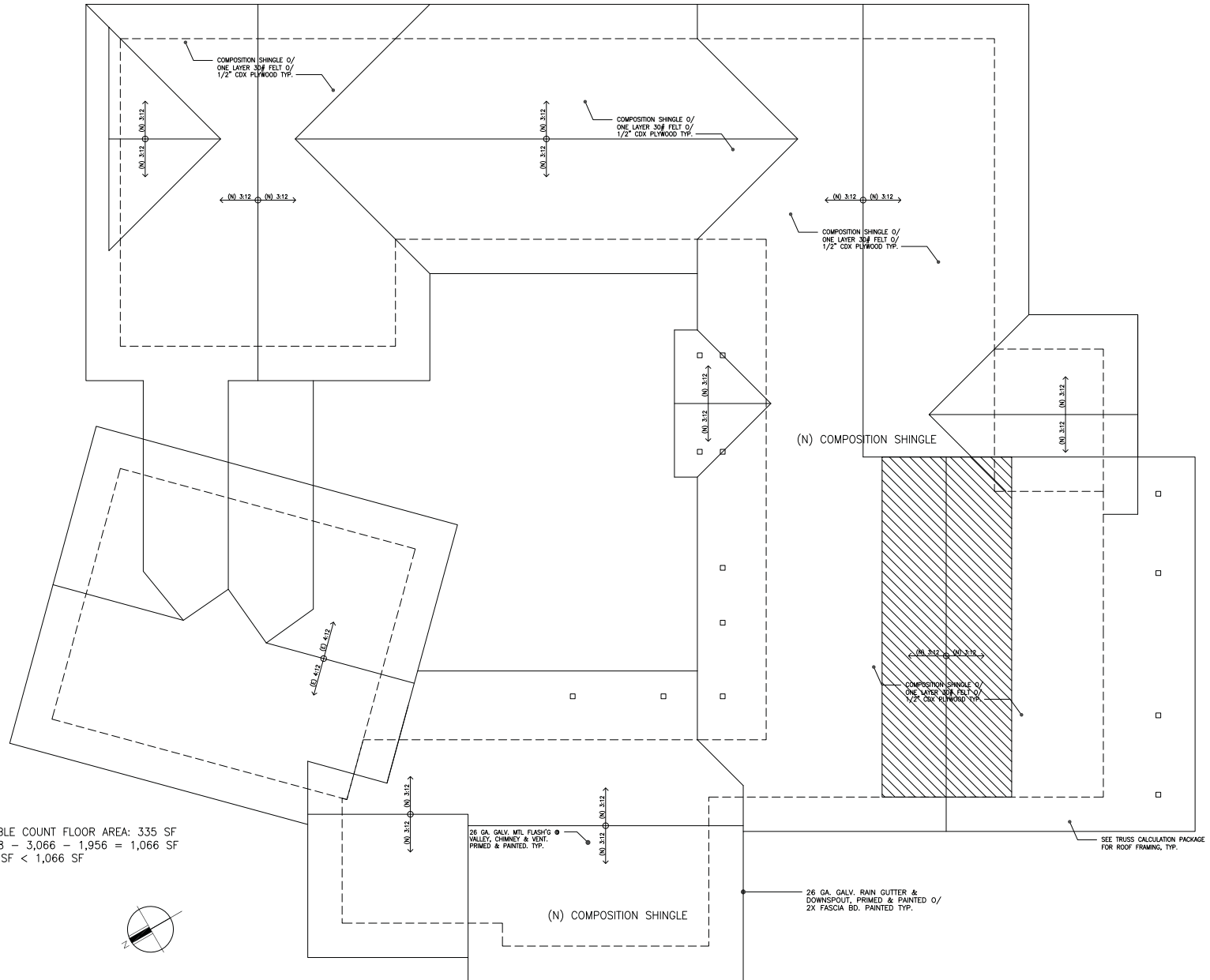


PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:
10/20/16 USE PERMIT
SHEET TITLE:
ROOF PLAN
DRAWN: Q.L. CHECKED: C.TING
DATE: 07/16/2016
SCALE: NTS
JOB NO.: M15118
SHEET:

A-4

OF SHEETS





STREETSCAPE

1/4" 1



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

PERSPECTIVES DRAWINGS

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PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:

06/08/16
USE PERMIT
06/17/16
RESPONSE TO PLANNER

SHEET TITLE:

STREET VIEW
& PERSPECTIVE

DRAWN: Q.L. CHECKED:

DATE: 07/16/2016

SCALE: NTS

JOB NO.: M15118

SHEET:

A-5

OF SHEETS

NOTES:

1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THIS MAP SHALL NOT BE USED TO STAKE OUT CONSTRUCTION IMPROVEMENTS IN THE FIELD.
3. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
4. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
5. BOUNDARY LINES DELINEATED ON THIS MAP ARE INFORMATIONAL BASED ON THE SURVEYOR'S OPINION UTILIZING FOUND PHYSICAL EVIDENCE AND RECORD DATA. THIS MAP IS NOT INTENDED AND SHALL NOT BE USED TO ESTABLISH BOUNDARY LINES.
6. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
7. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
8. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
9. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
10. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC.. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

SITE BENCHMARK:

BENCH MARK
TOP OF FIRE HYDRANT ("O" IN "COREY")
ELEVATION=253.49' (CITY OF MENLO PARK DATUM)

BASIS OF BEARINGS:

PER SHARON HEIGHTS UNIT 13 FILED IN BOOK 63 OF
MAPS AT PAGE 16, SAN MATEO COUNTY RECORDS.

REFERENCES:

R1 SHARON HEIGHTS UNIT 13 (63 MAPS 16)

LEGEND

---	PROPERTY LINE
---	CENTERLINE
SS	UTILITY LINE-TYPE AS NOTED
☼	STREET LIGHT
☐ P&E	UTILITY BOX-TYPE AS NOTED
WM/GM	WATER/GAS METER
D-WV	WATER VALVE
☐	CURB CATCH BASIN
☐	FIRE HYDRANT
○ MH	MANHOLE-TYPE AS NOTED
○ CO	SANITARY SEWER CLEANOUT
PP ○ OH	POWER POLE W/ OVERHEAD WIRE
●	BENCHMARK
200	CONTOUR LINE
⊙ MON	MONUMENT
○ 12"	TREE-TRUNK DIAMETER IN INCHES
→	GUY WIRE

ABBREVIATION

AD	AREA DRAIN
A.E.	ANCHOR EASEMENT
AC	ASPHALT CONCRETE
BRI	BRICK
C/G	CURB & GUTTER
C	CONCRETE
DI	DRAIN INLET
FF	FINISH FLOOR GRADE
FL	FLOWLINE
GM	GAS METER
LG	LIP OF GUTTER
MB	MAIL BOX
P.U.E.	PUBLIC UTILITY EASEMENT
P.S.E.	PUBLIC SERVICE EASEMENT
SDMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
S/W	SIDEWALK
TC	TOP OF CURB
TRC	TOP OF ROLLED CURB
W.C.E.	WIRE CLEARANCE EASEMENT
WM	WATER METER

RW RW ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
505 ALTAMONT DRIVE
MILPITAS, CA 95035
(P) (408) 262-1899
(FAX) (408) 824-5056
rweengineering@gmail.com

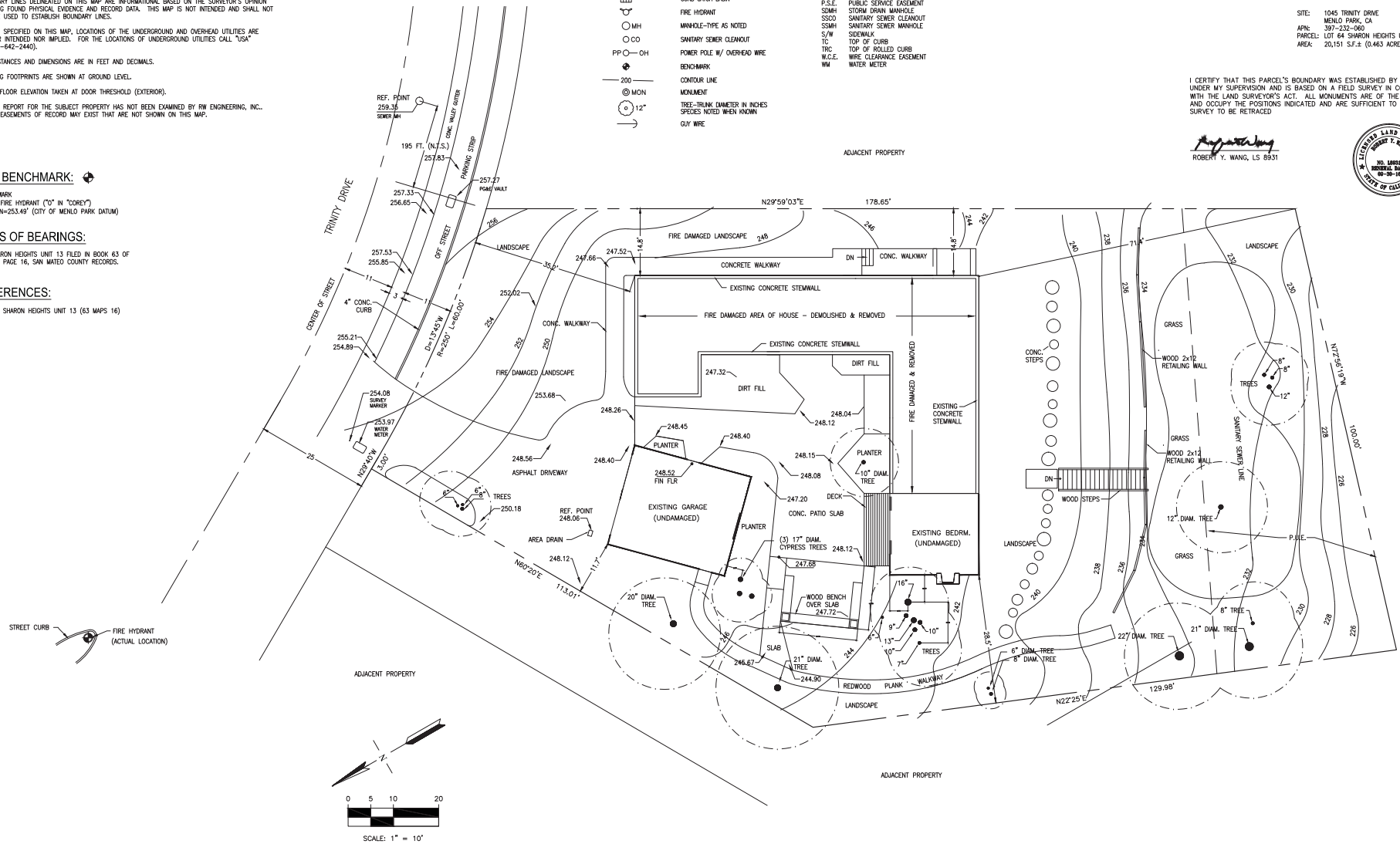
TOPOGRAPHIC MAP

AUGUST 19, 2016
CONSISTING OF ONE SHEET

SITE: 1045 TRINITY DRIVE
MENLO PARK, CA
397-232-980
APR: PARCEL: LOT 64 SHARON HEIGHTS UNIT 13
AREA: 25,151 S.F.± (0.463 ACRE)

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED

ROBERT Y. WANG, LS 8931



RECEIVED

ATTACHMENT E
1045 Trinity Dr., Menlo Park, CA 94025

JUN 08 2016

CITY OF MENLO PARK
PLANNING

PROJECT DESCRIPTION

Introduction

The house was originally built in 1952. It was a single story 3,066 SF house located at 1045 Trinity Drive, Menlo Park, CA 94025. The current owner bought the house on February 2014. They were attracted by the similarity of traditional Chinese four-sided courtyard plan and the serenity of the center court. During September 2015, most portion of the house was burned down by an accidental fire. The proposed plan is not only to add additional 2,020 SF to improve the living condition, but to maintain the existing layout and moderate characteristic.

Design Intent

The proposed design is based on the environmental impact, the sitting with the surrounding and owner's desire to maintain the existing courtyard layout and characters.

The design maintained the narrow building widths in order to take advantage of natural ventilation and day-lighting. The building simply follows the nature terrain and adds the basement floor to access the lower landscape level.

The building faces the northeast side on Trinity Drive and butted with neighbor's houses on both sides. It opens to the golf course at the back of the house. The views on the deck at both levels are spectacular. The center courtyard designed as a focal point for all the living spaces on the first floor. It's also function as a viewing garden and main approach to the building.

A central axis was created to organize and access all spaces from the upper to lower levels. It transitions the vehicle arrival point to central courtyard through the main public space and connected by the monumental stair to the lower living and entrainment spaces and activities back yard.

Building Materials

The building materials were selected to reinforce and to optimize the design concept. At the vehicle arrival point, the building dresses up a wood textured front façade with aluminum / glass front door to act as a translucent barrier to attract the visitor and provide the privacy of the owner.

The aluminum / glass garage doors will match the center front door and accent wood panel at master bedroom suit at left to balance the entrance. A decorated accent stone wall reinforces the central axis along the main entryway; it repeats the same materials at the monumental stair inside the living room to link the basement.

Both East and West elevations were using traditional warm gray stucco finishes to express their moderate characters. The windows will be white vinyl window frame with tinted gray glasses.

Around the central court yard, the strolling path, was created to celebrate the inward viewing garden, which was using a layer of wood wrapped columns, roof overhang and weather treated wood deck. The internal front door will repeat and reflect the characters of external front door.

At the back of the house, a 8' overhang protects the southwest side sun exposure and provides space to look. Trellis may be added to reinforce the same concept based on the budget.

The warm gray composition shingle roof has three layers. It cascades down from central living room to both bedroom wings and garage. It reflects the hieratical space of importance. The white metal gutter will highlight the edge of the roof.

Arbor Gus Professional Treecare

3414 Mount Everest Dr., San Jose, CA 95127

Tel:(408) 398-5296

September 4, 2016

Aclara Engineering Consultant
Attn: Ms. Clara Ting,
Project Engineer,
830 Stewart Dr.,
Sunnyvale, CA 94087

RECEIVED

SEP 06 2016

CITY OF MENLO PARK
BUILDING

Revised Arborist Report

Dear Ms. Ting,

Subject: Proposed Remodeling Residence at
1045 Trinity Dr., Menlo Park, CA 94025

1.0 INTRODUCTION

Per your request, I visited the above stated site to inspect and comment on the trees. I reviewed total of 31 trees. There was a fire damaged single family house at the time of visit. A remodeled home is planned for the site and are required by the City of Menlo Park, a complete site survey of the trees and a tree protection plan will be provided.

During the inspection, I also mapped out the trees location with reference to the Site Plan, which was prepared and provided by the Project Engineer, Clara Ting, dated 9/1/2016. Each tree was given an identification number as shown on the Tree Map.

2.0 METHOD

All inspections were made from the ground; the trees were not climbed for this inspection. The trees were located on a attached map provided by Clara Ting, the project engineer of the job. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1 - 29	Very Poor
30 - 49	Poor
50 - 69	Fair
70 - 89	Good
90 - 100	Excellent

The height of the trees was visual inspected by the Arborist Francisco Javier Garcia (WE8108A) on September 3, 2016, and comments section is provided.

3.0 Tree Survey

Tree #	Species	DBH (in inches)	Condition (in %)	Height	Comments
1	Monterey Pine	22	10	65'	Removed under permit # HTR2016-00123, see attachment
2	Birch Tree	5	10	40'	Tree #2 & 3 are twin trunk, dead due to fire, removed.
3	Birch Tree	7	10	40'	Tree #2 & 3 are twin trunk, dead due to fire, removed.
4	Olive Tree	6	80	20'	Tree #4, 5 & 6 are multi trunk from one tree, Healthy, Good to keep
5	Olive Tree	6	80	25'	Tree #4, 5 & 6 are multi trunk from one tree, Healthy, Good to keep
6	Olive Tree	8	80	25'	Tree #4, 5 & 6 are multi trunk from one tree, Healthy, Good to keep
7	Pear Tree	12	20	12'	Damaged by fire, removed
8	Pear Tree	8	40	10'	Damaged by fire, removed
9	Pear Tree	10	90	23'	Healthy, Vigor, Good to keep
10	Podocarpus	7	70	10'	Removed
11	Podocarpus	7	70	10'	Removed
12	Podocarpus	8	70	12'	Removed
13	Cedar	20	60	70'	Healthy, with one trunk got damage, Vigor, need protection during construction
14	Cedar	21	80	70'	Healthy, Vigor, need protection during construction
15	Japanese Maple	6	90	15'	Healthy, Good to keep
16	Modesto Ash	16	90	50'	Healthy, Good to keep
17	Modesto Ash	9	90	50'	Healthy, Good to keep
18	Modesto Ash	13	90	50'	Healthy, Good to keep
19	Modesto Ash	10	90	40'	Healthy, Good to keep
20	Modesto Ash	10	90	40'	Healthy, Good to keep
21	Modesto Ash	7	90	30'	Tilted over 5' at top, poor structure, need to be removed
22	Plum Tree	6	35	20'	Tree #22 and 23, One trunk split into 2, declining, need to be removed
23	Plum Tree	8	35	20'	Tree #22 and 23, One trunk split into 2, declining, need to be removed
24	Cedar	22	90	70'	Healthy to keep
25	Monterey Pine	21	40	60'	Clouded by Tree #24, need to be removed
26	Birch	8	10	40'	Dead, removed
27	Chinese Elm	12	80	27'	Healthy, Retain
28	Birch	8	0	45'	Tree #28,29 & 30, are multiple trunks from one tree, Dead, need to be removed
29	Birch	8	0	45'	Tree #28,29 & 30, are multiple trunks from one tree, Dead, need to be removed
30	Birch	12	0	45'	Tree #28,29 & 30, are multiple trunks from one tree, Dead, need to be removed
31	Loquat	8"	95	15'	Healthy, retain

4.0 Summary

There were total of five trees were damaged by the fire. These trees are include: Tree #1, Tree #2, Tree #3, Tree #7 and Tree #8. The Monterey Pine (Tree #1), which had been removed under Permit # HTR2016-00123, was dead due to the cause of fire. The other two Olive Trees (Tree #2, Tree #3), which located in the front yard, and the Pear Trees (Tree #7, Tree #8), which were located in the central courtyard by the outside of the living room, were damaged due to fire and been removed. Since they are small enough to be dug up and were removed after the fire during the demolition of the burnt down portion of the main house.

Tree #4, Tree #5 and Tree #6 are located in the left side of the front yard. They are healthy and good to keep. All trees are Olive.

Tree #9 is healthy and vigor pear tree, which located in the central court by the living room. The owner had decided to keep.

Tree #10, Tree #11 and Tree #12 are Podocarpus. They are 7" diameter trunk. They are within the perimeter of the addition and been removed in 2015.

As mentioned from the introduction, during construction, both Cedar trees (Tree #13 & Tree #14) need protection. In order to reduce the construction impacts to all retained trees, keep all construction equipment and materials outside of this fencing. Also, keep all excavation outside the fenced tree areas unless the arborist gives his approval. Please refer to section 5 for the *Mitigating Measures for Construction Impacts on Existing Trees*. Both Cedar are along the north fence, about 2' away. All new proposed construction will be outside the driplines. Install protective fencing at the trees' driplines.

The Japanese Maple (Tree #15) is 6" in diameter, which are located in the far left corner of the existing living room. The condition of the Japanese Maple is very healthy and good to keep.

Tree #16-Tree #21 is all Modesto Ash. They are all located right next to the Japanese Maple. They are all healthy and good to keep. However for Tree #21 is currently tiled over 5' at the top. It has potential of collapse. Owner should remove it in the near future.

Plum Tree #22, and #23 are located right next to the fence between 1055 Trinity and our property. One trunk spilt into two and is declining. During my inspection on 9/3/16, one of the 6" tree trunks collapsed and fell into the neighbor's driveway. Owner needs to remove the trees soon.

Cedar Tree #24 is 70' high and healthy to keep. However, the owner may need to prune the tree.

Monterey Pine Tree #25 is located by the north-west fence. This tree is poorly located underneath the canopy of the neighbor cedar Tree #24. As the tree continues to grow in height, it is likely to develop a lean as it will soon in competition with the Cedar tree. Removal of this tree might be needed as this tree will have future growing issues as it is suppressed by the cedar. The tree is in the risk of failure.

Tree #26 is a birch and already dead. It had been removed in 2016.

Tree #27 is a 27' high Chinese Elm. It is healthy and recommend to keep.

Tree #28-#30 is a Birch with multiple trunks from one tree. It's dead and need to remove.

Tree #31 is a Loquat is healthy and good to keep.

5.0 Mitigating measures for construction impacts on existing trees

a. Introduction

It is an established fact that construction around existing trees will impact the trees to some degree. The degree of impact is largely predicated on the condition of the tree(s) before the construction activity begins. It is therefore important to inspect all trees prior to any construction activity to develop a "Tree Protection Program" based on the species, size, condition, and expected impact. A Certified Arborist (International Society of Arboriculture) is suggested for this work. The local University of California Extension or County Farm Advisors Office has the names of local certified arborists.

b. Site Preparation

All existing trees shall be fenced within, at, or outside the dripline (foliar spread) of the tree using the following formula: Five inches in distance from the trunk, for every inch in trunk diameter, measured 4.5 feet above the average ground level. Example: a 24-inch diameter tree would have a fence erected 10 feet from the base of the tree ($24 \times 5 = 120/12 = 10$). The fencing should not interfere with actual construction, but is intended to redirect unnecessary traffic, and to protect limbs and roots. No storage of materials, unnecessary trenching, grading, or soil compaction shall be allowed within the dripline of the trees. Local ordinances may have different tree protection formulae.

The fence should be a minimum of four feet high, made of pig wire, snow fence, or cyclone, with steel stakes or pipes as posts.

If the fence is within the dripline of the trees, the foliar fringe outside the fence shall be raised to offset the chance of limb breakage from construction equipment encroaching within the dripline.

All contractors, subcontractors, and other personnel shall be warned that encroachment within the fenced area is forbidden without the consent of the certified arborist on the job. This includes, but is not limited to, storage of lumber and other materials, disposed-of paints, solvents, or other noxious materials, parked cars, grading equipment, and other heavy equipment. The temporary fence shall be maintained until the landscape contractor enters the job and commences landscape construction.

c. Grading/Excavating

All grading plans that specify grading within the dripline of any tree, or within the distance from the trunk as outlined in SECTION II when said distance is outside the dripline, shall first be reviewed by the certified arborist. The arborist shall outline provisions for aeration, drainage, pruning, tunneling beneath roots, root pruning, or other necessary actions to protect the trees. The arborist shall be notified prior to any excavation within the dripline of any heritage tree.

If trenching is necessary within the area, as described above, said trenching shall be undertaken by hand labor. All roots 2 inches or larger shall be tunneled and smaller roots shall be cut smoothly to the side of the trench. The side of the trench should be draped immediately with two layers of untreated burlap to a depth of 3 feet from the surface. The burlap shall be soaked nightly and left in place until the trench is backfilled to the original level. The arborist shall examine the trench prior to backfilling to ascertain the number and size of roots cut, and to suggest further remedial repairs.

d. Remedial Repairs Penalties

The arborist on the job shall have the responsibility of observing all ongoing activities that may affect the trees, and prescribing necessary remedial work to insure the health and stability of said trees. This includes, but is not limited to, all arborist activities specified in SECTIONS I, II, and III. In addition, pruning, as outlined in the "Pruning Standards" of the Western Chapter of the International Society of Arboriculture, shall be prescribed as necessary. Fertilizing, mulching, aeration, irrigation, drainage, pest control, and other activities shall be prescribed according to the tree needs, local site requirements, and State Agricultural Pest Control Laws. All specifications shall be in writing. For a list of licensed pest control operators or advisors, consult the local County Agricultural Commissioner's Office.

Penalties, based on the cost of remedial repairs and the appraised values provided in the Evaluation Guide published by the International Society of Arboriculture, shall be assessed for damages to the trees.

e. Final Inspection

Upon completion of the project, the arborist shall review all work undertaken that impacted the existing trees. Special attention shall be given to cuts and fills, compaction, drainage, pruning, and future remedial work. The arborist should submit a final report in writing outlining the ongoing remedial care following the final inspection.

6.0 Tree Protection Plan:

a. Tree Protected Zones

It is an established fact that construction around existing trees will impact the trees to some degree. The degree of impact is largely predicated on the condition of the tree(s) before the construction activity begins. It is therefore important to inspect all trees prior to any construction activity to develop a "Tree Protection Program" based on the species, size, condition, and expected impact. A Certified Arborist (International Society of Arboriculture) is suggested for this work. The

local University of California Extension or County Farm Advisors Office has the names of local certified arborists.

b. Roof Cutting and Grading

Any roots to be cut shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The over dig for the foundation should be reduced as much as possible when roots are encountered.

c. Trenching and Excavation

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

d. Irrigation

Normal irrigation shall be maintained on this site at all times. The imported trees will require normal irrigation. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April-November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be stated prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

e. Demolition

All tree protection must be in place prior to the start of demolition. Demolition equipment must enter the project from the existing driveway. If vehicles are to stray off the drive the area within the dripline of a protected tree must be covered with 6 inches of chips and steel plates or 1¼" plywood. The City of Menlo Park will require a letter from the site arborist stating the tree protection fencing is up before the start of demolition.

7.0 Conclusion

Item	No. of trees
Trees to be remained	15
Trees to be removed	16

Total number of Trees on site	31
-------------------------------	----

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

If you have any question regarding this report, please feel free to contact me at arborguys@yahoo.com

Sincerely,

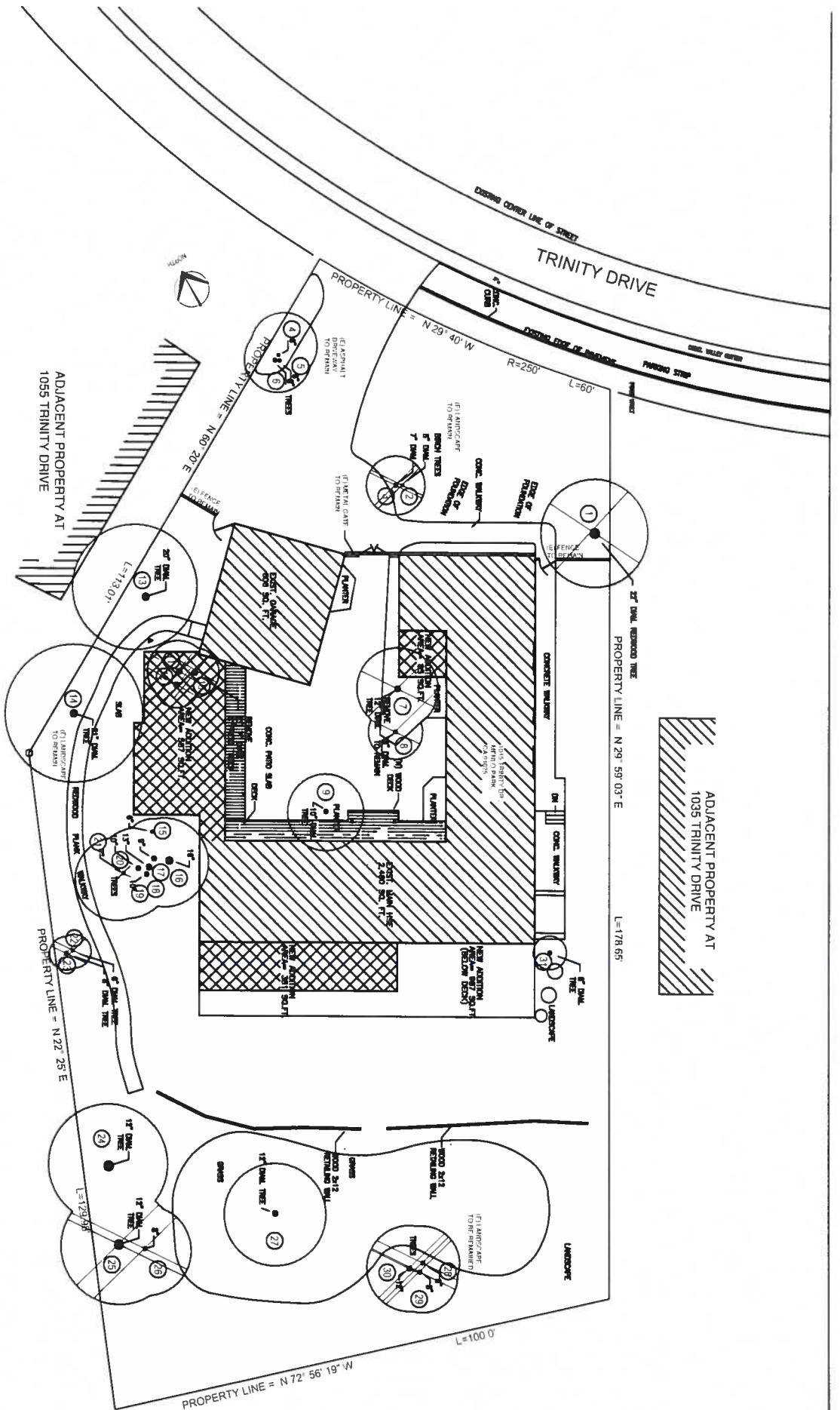
Francisco Javier Garcia

Certified Arborist WE#8108A

SYMBOL	DESCRIPTION
	TREE TO BE REMAINED w/ ARBORIST #
	TREE TO BE REMOVED w/ ARBORIST #

LEGEND

FOR ARBORIST USE ONLY. PLEASE REFER TO SITE PLANS/SURVEY PLAN FOR DIMENSION



Morris, Michele T

From: Chris Shaw <chrisg.shaw@sbcglobal.net>
Sent: Monday, September 12, 2016 8:06 AM
To: Morris, Michele T
Subject: 1045 Trinity Drive

Chris & Alan Shaw
1030 Trinity Drive
Menlo Park
CA 94025

09/12/2016

Dear Michele Morris

Ref 1045 Trinity Drive

We are Mr Keda Wang's neighbors, we live opposite his property. We have reviewed the drawings for the planned basement addition to his house. We have no concerns regarding the exterior changes being proposed.

Please accept our signatures here as our acceptance of these changes. If you wish to contact me either e-mail or phone on my cell 650 483 8299.

Regards
Chris Shaw
Alan Shaw

Morris, Michele T

From: Mike Goedde <mikegoedde@comcast.net>
Sent: Monday, September 19, 2016 9:29 AM
To: Morris, Michele T
Subject: Regarding 1045 Trinity Drive

Hello Michele,

My wife, Alexa, and I are Mr. Keda Wang's neighbors and have reviewed the drawings for the planned basement addition to his house. The plans look good and we have no concerns regarding the exterior changes being proposed.

Please accept our digital signatures here as our acceptance of these changes.

Feel free to reach out if you have any questions.

All the best,

Mike Goedde & Alexa Leon-Prado
mikegoedde@comcast.net
alexa.leonprado@gmail.com
650-450-2653

Chris Pandolfo and Amy Vallely
1065 Trinity Drive
Menlo Park, CA 94025

RECEIVED
SEP 19 2016
CITY OF MENLO PARK
BUILDING

September 14, 2016

Michele T. Morris
Assistant Planner, City of Menlo Park
701 Laurel Street
Menlo Park, CA 94025

Re: 1045 Trinity Drive

Dear Michele Morris,

Amy and I are the owners of 1065 Trinity Drive which is the nearest house to the right of the Wang residence at 1045 Trinity Drive when facing their front door. We have reviewed the architectural drawings and renderings for the planned changes to rebuild the damaged portions of the Wang residence and add additional useful space primarily on the lower level / basement.

We find the proposed changes to be thoughtfully and tastefully done. The changes are also consistent with the other homes on the street. In particular, nearly all of the homes of the southern, golf-course side of Trinity have had one or more basement additions similar to the one proposed by the Wangs. We applaud the Wangs choice to do this the right way by requesting a permit for the changes.

In summary, Amy and I do not have any concerns with the planned changes. Consequently, we recommend the approval of the plans so that the Wangs may repair and renovate their home and move back in as quickly as possible.

If you have any questions, please don't hesitate to contact us at 650-926-9629.

Sincerely,

 
Chris Pandolfo and Amy Vallely



STAFF REPORT

Planning Commission

Meeting Date:

11/7/2016

Staff Report Number:

16-088-PC

Public Hearing:

Use Permit/Jeff Chase/936 Hobart Street

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to demolish an existing, one-story single-family home and construct a new, two-story single-family home with a basement on a substandard lot with regard to lot width in the R-1-S (Single Family Suburban) zoning district, at 936 Hobart Street. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at 936 Hobart Street, located between Santa Cruz Avenue and Middle Avenue. A location map is included as Attachment B. It is mainly surrounded by R-1-S zoned properties; however, some properties nearby to the northeast are zoned in the R-E (Residential Estate) district. There is a mix of one and two-story single-family residences surrounding the project site which feature varied architectural styles, including ranch and craftsman style homes.

Analysis

Project description

The applicant is proposing to demolish an existing single-story, single-family residence and attached two-car garage, and construct a new two-story, four bedroom residence with an attached two-car garage, a new basement, and a built-in barbecue on a new patio in the rear yard. All of the basement lightwells would adhere to the main building setbacks, so use permit approval of excavation in yards would not be required. The master bedroom balcony would comply with relevant side and rear setback requirements.

The house is proposed to be 26 feet, six inches in height, below the maximum permissible height of 28 feet, and the proposed structure would comply with daylight plane requirements. Although the new house would be located near the front setback, the second floor would be inset 27 feet, 10 inches from the front property line, and the setback from the rear property line would increase from approximately 34 feet, five inches to 78 feet, 11 inches. A data table summarizing parcel and project attributes is included as

Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

Design and materials

The new home would be constructed in a California/Spanish style and with a painted stucco exterior, a composition shingle roof with exposed rafter tails, and aluminum clad, wood casement windows with simulated divided lights. The front entry would include a wood front door with side lights. A wood garage door is proposed for the two-car garage, which would be compatible with the style of the front door. The proposed sill height of the side windows on the second floor would be a minimum of three feet, six inches, which would protect neighbors' privacy. The second floor would be inset on all sides which would reduce the perception of mass. Staff believes that the scale, materials, and design of the proposed residence would be consistent with the neighborhood's mix of architectural styles.

Trees and landscaping

There are a total of ten trees on and near the subject property, five of which are heritage trees: three coast live oaks and a Douglas fir on the subject property, as well as one heritage-size coast redwood on the adjacent lot at the rear of the property. The applicant proposes to remove one non-heritage fig tree located in the left side yard of the property. No heritage trees are proposed for removal. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of these trees. The proposed project is not anticipated to adversely affect any of the heritage trees, as tree protection measures will be ensured through standard condition 3g and recommended condition 4a, which includes additional tree protection measures recommended by the City Arborist.

Correspondence

Staff has not received any items of correspondence on the proposed project; however, the project architect stated the plans for the project were shared with immediately adjacent neighbors.

Conclusion

Staff believes the scale, materials, and style of the proposed residence are compatible with the neighborhood. The applicants have set the second floor back from the first floor of the proposed residence, helping reduce the perception of mass and bulk. Design elements such as the exposed rafter tails along the roof line and the wood front and garage doors would add visual interest to the project. The recommended tree protection measures would help minimize impacts on nearby heritage trees. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of

Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

Michele T. Morris, Assistant Planner

Report reviewed by:

Thomas Rogers, Principal Planner

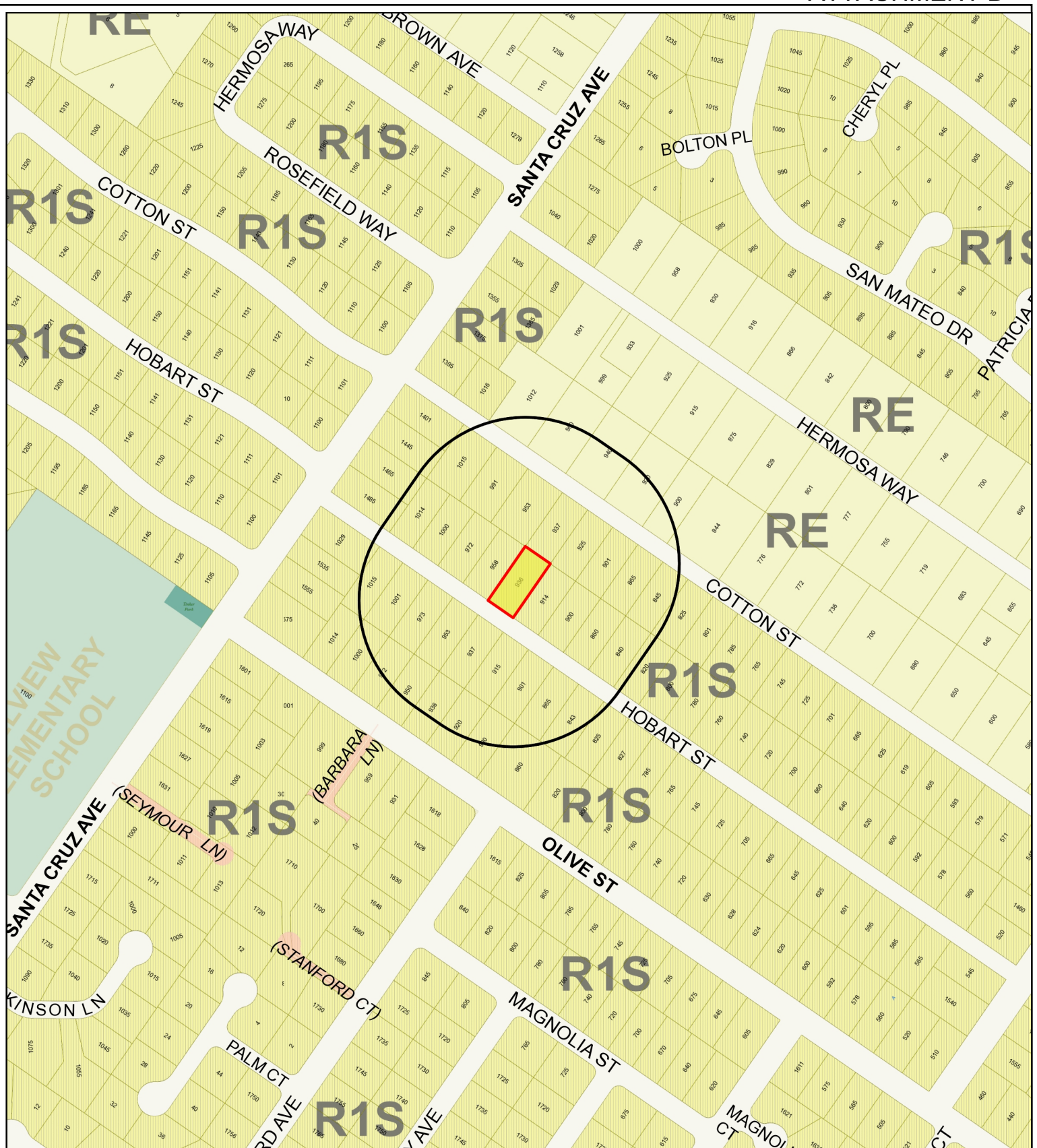
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936 Hobart Street – Attachment A: Recommended Actions

LOCATION: 936 Hobart Street	PROJECT NUMBER: PLN2016-00083	APPLICANT: Jeff Chase	OWNER: Pacific Excel 3 LLC
REQUEST: Request for a use permit to demolish an existing, one-story single-family home and construct a new, two-story single-family home on a substandard lot with regard to lot width in the R-1-S (Single Family Suburban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: <ol style="list-style-type: none">1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.3. Approve the use permit subject to the following <i>standard</i> conditions:<ol style="list-style-type: none">a. Development of the project shall be substantially in conformance with the plans prepared by Zak Johnson Architects consisting of 10 plan sheets, dated received October 26, 2016, and approved by the Planning Commission on November 7, 2016, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.			

936 Hobart Street – Attachment A: Recommended Actions

LOCATION: 936 Hobart Street	PROJECT NUMBER: PLN2016-00083	APPLICANT: Jeff Chase	OWNER: Pacific Excel 3 LLC
REQUEST: Request for a use permit to demolish an existing, one-story single-family home and construct a new, two-story single-family home on a substandard lot with regard to lot width in the R-1-S (Single Family Suburban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: 4. Approve the use permit subject to the following <i>project-specific</i> condition: a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a revised arborist report and a revised site plan addressing the following, subject to the review and approval of the Planning Division: 1) Specify that a 4- to 6-inch wood chip layer of mulch will be added at grade in the area outside the tree protection fencing under the tree driplines and covered with ¾-inch plywood (or an equivalent) prior to demolition; 2) Specify in the Tree Protection Plan the irrigation for the protected heritage trees including the method, location, timing, flow rate, duration and depth; and 3) Recommendations shall be made in the arborist report for tree protections based on the evaluation of the grading and utility plans.			



City of Menlo Park
Location Map
936 Hobart Street



Scale: 1:3,600

Drawn By: MTM

Checked By: THR

Date: 11/7/2016

Sheet: 1

936 Hobart Street – Attachment C: Data Table

	PROPOSED PROJECT		EXISTING PROJECT		ZONING ORDINANCE	
Lot area	10,841	sf	10,841	sf	10,000	sf min.
Lot width	71	ft.	71	ft.	80	ft. min.
Lot depth	152.7	ft.	152.7	ft.	100	ft. min.
Setbacks						
Front	20.3	ft.	37.8	ft.	20	ft. min.
Rear	78.9	ft.	34.4	ft.	20	ft. min.
Side (left)	10.3	ft.	13.7	ft.	10	ft. min.
Side (right)	10.3	ft.	26	ft.	10	ft. min.
Building coverage	2,392.5	sf	1,811.7	sf	3,794.4	sf max.
	22.1	%	16.7	%	35	% max.
FAL (Floor Area Limit)	3,734.9	sf	1,811.7	sf	3,760.3	sf max.
Square footage by floor	1,692.0	basement	1,289.7	sf/1 st		
	1,840.3	sf/1 st	522.0	sf/garage		
	1,432.4	sf/2 nd				
	15.0	sf/fireplace				
	462.2	sf/garage				
	75.0	sf/porch				
Square footage of building	5,516.9	sf	1,811.7	sf		
Building height	26.5	ft.	16.5	ft.	28	ft. max.
Parking	2 covered		2 covered		1 covered/1 uncovered	
Trees	Heritage trees	5	Non-Heritage trees	5	New Trees	0
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	1	Total Number of Trees	10*

* Four trees are on an adjacent property.

Project Data:

- | | |
|-----------------------------------|---------------|
| 1. Zoning District: | R-1-S |
| 2. Lot Area: | 10,841.0 s.f. |
| 3. Allowable Lot Coverage (35.0%) | 3,794.4 s.f. |
| Existing Lot Coverage (16.7%) | 1,811.7 s.f. |
| Proposed Lot Coverage (22.1%) | 2,392.5 s.f. |
| 4. Max. Allowed Floor Area Limit: | 3,760.25 s.f. |
| Existing Floor Area: | 1,811.7 s.f. |
| Proposed Total Square Footage: | 3,734.9 s.f. |
| (N) First Floor | 1,840.3 s.f. |
| (N) Second Floor | 1,432.4 s.f. |
| (N) Garage | 462.2 s.f. |
| (N) Basement | 1,692.0 s.f. |
| (N) Front Porch: | 75.0 s.f. |
| (N) Fireplace: | 15.0 s.f. |
| 5. Existing Height | 16'-6" |
| Proposed Height: | 26'-6" |
| Max. Height: | 28'-0" |

Consultants

Structural Engineer: Rocca Engineering
1250 Ames Avenue, Suite 109
Milpitas, CA 95035
408 921-1335

Energy Consultant: Builder's Energy Services, Inc.
1478 Bird Avenue
San Jose, CA 95125
408 718-1908

Surveyor: L. Wade Hammond
36860 Newark Blvd., Suite C
Newark, CA 94560
408 718-1908

Soils Engineer: PG Soils, Inc.
901 Rose Court
Burlingame, CA 94024
650 347-3934

Arborist: Advanced Tree Care
Menlo Park, CA 94025
650 839-9539

Arborist: Advanced Tree Care
Menlo Park, CA 94025
650 839-9539

Site Notes

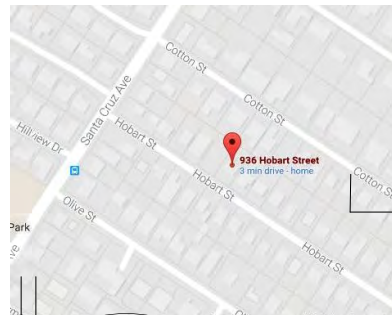
1. All foundation work shall be done in conformance with drawings and soil report prepared by PG Soils. Contractor shall notify architect of any unexpected soil conditions which may affect drainage or foundation design.
2. Finishing grade shall be performed to provide positive surface drainage away from buildings, 2% or greater as shown on drawings.
3. Floor elevations are to top of plywood subfloor.
4. Follow City of Marion Park Standards for installation of all utilities.
5. Landscaping work shall be accomplished under a separate permit and is N.I.C.
6. Site boundary lines, boundary dimensions, boundary dedications and existing grades are based upon survey information provided by Hammond Engineering. The contractor shall inspect the site and satisfy himself as to actual grades, levels, dimensions, and dedications and the true conditions under which the work is to be performed.
7. Any tree limbs affected by the proposed construction shall be trimmed as per ISA Standards by a certified arborist.
8. No debris, supplies, materials, or equipment shall be stored within the drip line of any trees.
9. Install common utility junction box and trench for electrical, telephone, data, and CATV underground to house from the point of connection of the utility. Install 200 amp electrical service to house and 100 amp service to the Garage.
10. Install 1" diameter water line from the water meter, underground to house.
11. Install 4" PVC sanitary sewer from the cleanout to the house.
12. Install gas line to meter at house.

Roof Notes.

1. Install _____ roofing at 3 & 12 slopes over underlayment and provide all accessories for a watertight roofing system with a min. Class B fire rating.
2. Install painted galvanized sheet metal crickets and roof to wall flashings as required.
3. Install painted galvanized sheet metal gutter and downspout system. All downspouts to drain into a lightening system that is connected to the site drainage as shown on site plan.
4. Install continuous ridge vents at ridge at first and second floor with cathedral ceiling. Install roof vents as shown on elevations and roof plan.
5. Install 3 ply self adhered modified membrane built up roofing system at roof crickets per manufacturer's specifications. Polyglass sap brown.

Project Information

Occupancy Group:	R-3 / U-1
Type of Construction:	V - B
Deferred Submittal Items:	Yes - sprinkler
Special Inspection Items:	<p>Installation of Epoxy installed anchor bolts per UBC 1701.5.15</p> <p>- See Structural Drawings</p>
Automatic Fire Sprinklers:	Yes



Menlo Park Safety Fence Notes

Prior to issuance of a Demolition or Building Permit, the plan for safety fencing will be submitted and approved by the building division. The Building Official may waive this requirement on a case by case basis. The fencing shall be installed as shown prior to commencement of construction unless the requirement is waived by the building official.

■ **Size, type and area to be fenced.** Install fencing as shown on site plan with five or six (5' - 6') foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing.

• **Duration:** Fencing shall be erected before demolition, grading, or construction begins and remain in place until final inspection of the project.

City of Menlo Park
Const. Hours & Noise Requirements:

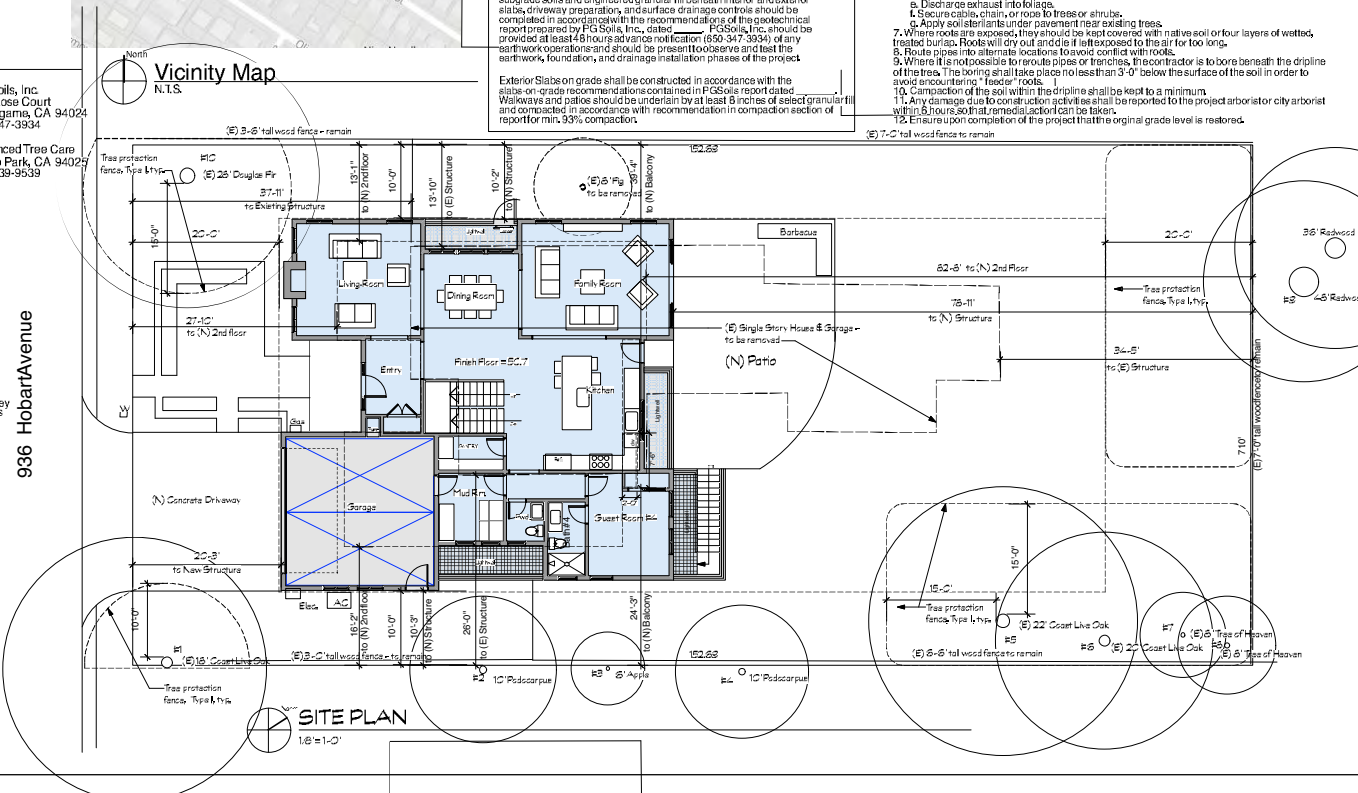
The work hours are regulated by noise levels created during construction. The maximum noise levels allowed are established in the City of Menlo Park Municipal Code Chapter 8.06 Noise.

- Any and all excessively annoying, loud or unusual noises or vibrations such as exceed the peace and quiet of persons of ordinary sensibility and which interfere with the normal enjoyment of life and property and affect at the same time an entire neighborhood or any considerable number of persons shall be considered a noise disturbance.
- 2. Construction Activities:**
 - A. Construction activities are limited to hours of eight (8) a.m. and six (6) p.m. Monday through Friday.
 - B. Construction activities by residents and property owners personally undertaking construction activities to maintain or improve their property are limited to hours of eight (8) a.m. and six (6) p.m. Monday through Friday and five (5) p.m. on Saturdays.
 - C. Activities in the permitted hours of construction activities exceeding the noise limits set forth in Section 8.06.030, shall be posted at all times on the construction site upon the commencement of construction, for the purpose of notifying the community and subcontractors and all other persons that the construction site is in compliance with the noise limits set forth in this chapter. The sign shall be at least four feet square and contain the following information with white background with black letters:
 - 1. Notation that any noise limits set forth in Section 8.06.030 apply and that the construction site is in compliance with the noise limits set forth in Section 8.06.030.

Geotechnical Note:

All earthwork and site drainage, including rough site grading and existing wine cellar backfill, new basement excavations, preparation of subgrade soils and engineered granular fill beneath interior and exterior slabs, driveway preparation, and surface drainage controls should be completed in accordance with the recommendations of the geotechnical report prepared by PG Soils, Inc., dated _____, PG Soils, Inc. should be provided at least 48 hours advance notification (550-347-3934) of any earthwork operations and should be present to observe and test the earthwork, foundation, and drainage installation phases of the project.

Exterior Slabs on grade shall be constructed in accordance with the slabs-on-grade recommendations contained in PGSOils report dated _____. Walkways and patios should be underlain by at least 8 inches of select granular fill and compacted in accordance with recommendation in compaction section of _____ report for min. 93% compaction.



Sheet Index

- A-1.0 Site Plan, Roof Plan
- C-1 Civil Survey
- A-1.1 Area Plan & Streetscape
- A-1.2 Existing Plan & Photos
- A-2.0 Basement Floor Plan
- A-2.1 First Floor Plan
- A-2.2 Second Floor & Roof Plans
- A-3 Exterior Elevations
- A-4 Building Sections
- A-5 Block Area Diagrams

Applicable Codes & Regulations

- | | |
|-----------------------------------------------------------|--------------|
| California Residential Code | 2013 Edition |
| California Energy Code | 2013 Edition |
| California Plumbing Code | 2013 Edition |
| California Electrical Code | 2013 Edition |
| California Mechanical Code | 2013 Edition |
| California Fire Code | 2013 Edition |
| Menlo Park Municipal Code | |
| Along with any other local and state laws and regulations | |

TREE PROTECTION INSTRUCTIONS

- [illegible]

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Karen Suzanne Zak
C-25245
Ren: 5/31/17
State of California

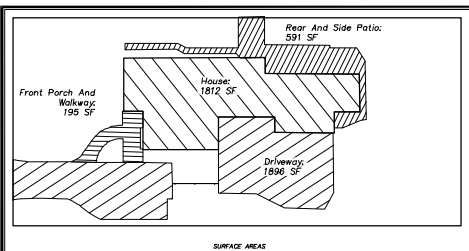
New Residence
936 Hobart Avenue
Menlo Park, CA 94025

Sheet Title
Site Plan

Date
5 September 2016

Scale

A-1.0

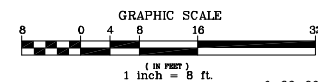
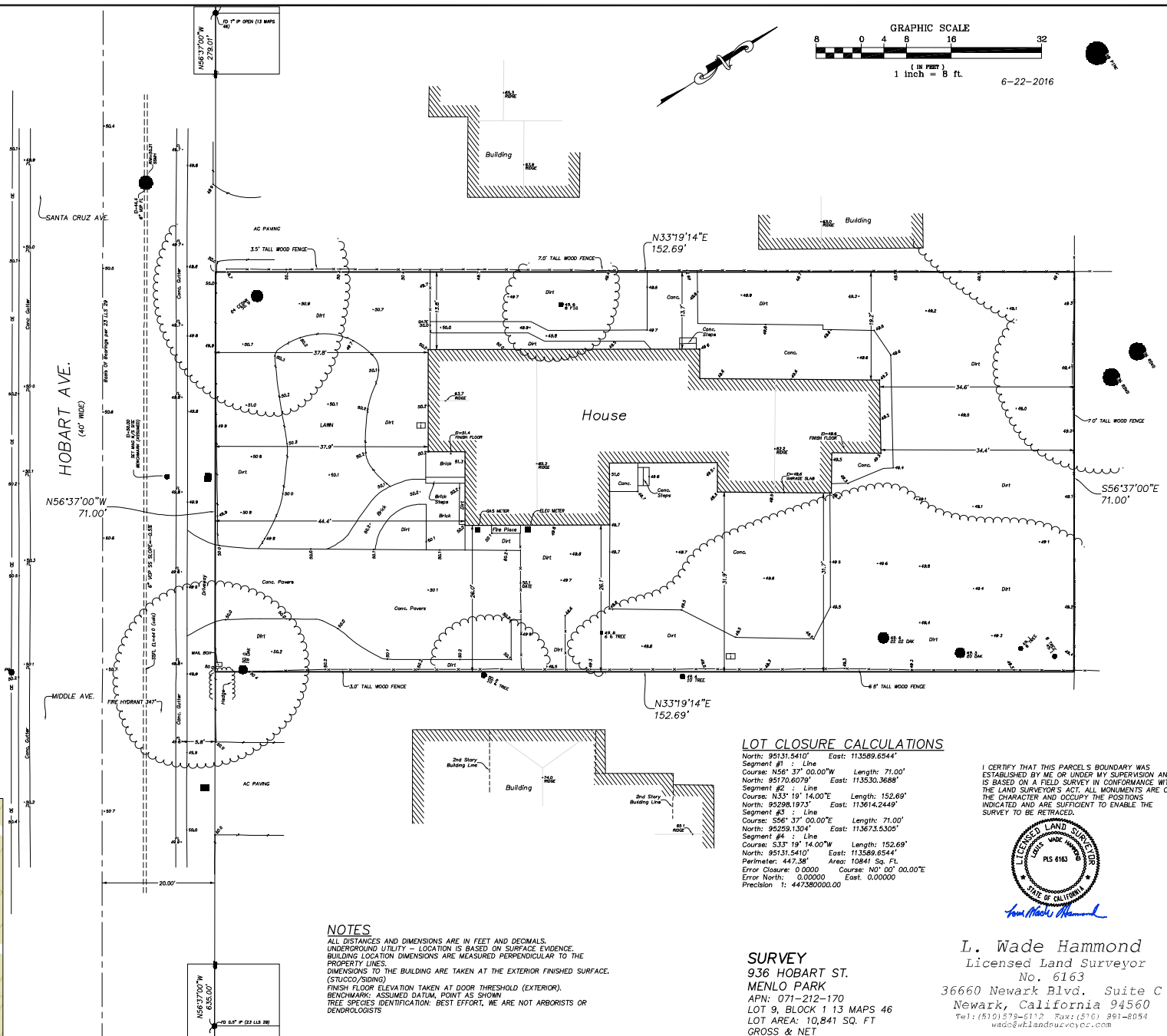
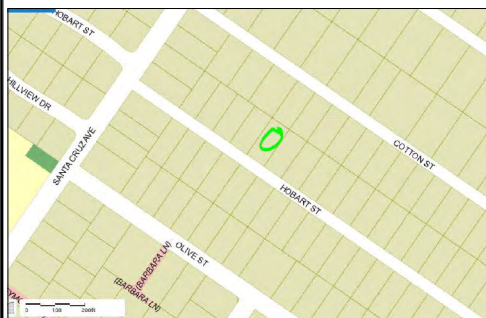


LEGEND

- FOUND POINT AS NOTED
- () RECORD DATA / REFERENCE
- WATER METER OR WATER VALVE BOX
- ⊗ FIRE HYDRANT
- ⊙ 16 12 8 OAK
- ⊙ 16 12 8 OAK
- TRUNK ↑
- TRUNK ↓
- FENCE
- OVERHEAD WIRES
- POWER POLE
- + 12.34 SPOT ELEVATION
- ⊙ SANITARY SEWER CLEAN OUT
- ⊙ IRRIGATION VALVE BOX
- EDGE OF AC PAVING

ABBREVIATIONS

- AC ASPHALT
- CONC. CONCRETE
- FL FLOW LINE
- SSMH SANITARY SEWER MANHOLE



LOT CLOSURE CALCULATIONS

North: 95131.5410' East: 113589.6544'
 Segment #1 : Line
 Course: N56° 37' 00.00"W Length: 71.00'
 North: 95170.6079' East: 113530.3688'
 Segment #2 : Line
 Course: N33° 19' 14.00"E Length: 152.69'
 North: 95298.1973' East: 113614.2449'
 Segment #3 : Line
 Course: S56° 37' 00.00"E Length: 71.00'
 North: 95299.1304' East: 113673.5305'
 Segment #4 : Line
 Course: S33° 19' 14.00"W Length: 152.69'
 North: 95131.5410' East: 113589.6544'
 Perimeter: 447.38' Area: 10841 Sq. Ft.
 Error Closure: 0.0000 Course: N0° 00' 00.00"E
 Error North: 0.000000 East: 0.000000
 Precision 1: 447380000.00

I CERTIFY THAT THIS PARCELS BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYORS ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



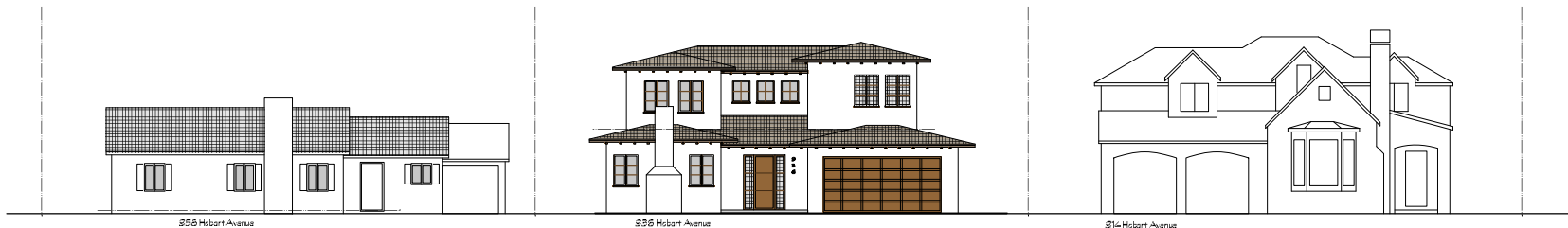
L. Wade Hammond
 Licensed Land Surveyor
 No. 6163

SURVEY
 936 HOBART ST.
 MENLO PARK
 APN: 071-212-170
 LOT 9, BLOCK 1 13 MAPS 46
 LOT AREA: 10,841 SQ. FT
 GROSS & NET

36660 Newark Blvd. Suite C
 Newark, California 94560
 Tel: (510) 579-6112 Fax: (510) 991-8054
 wago@landsurveyor.ca.com

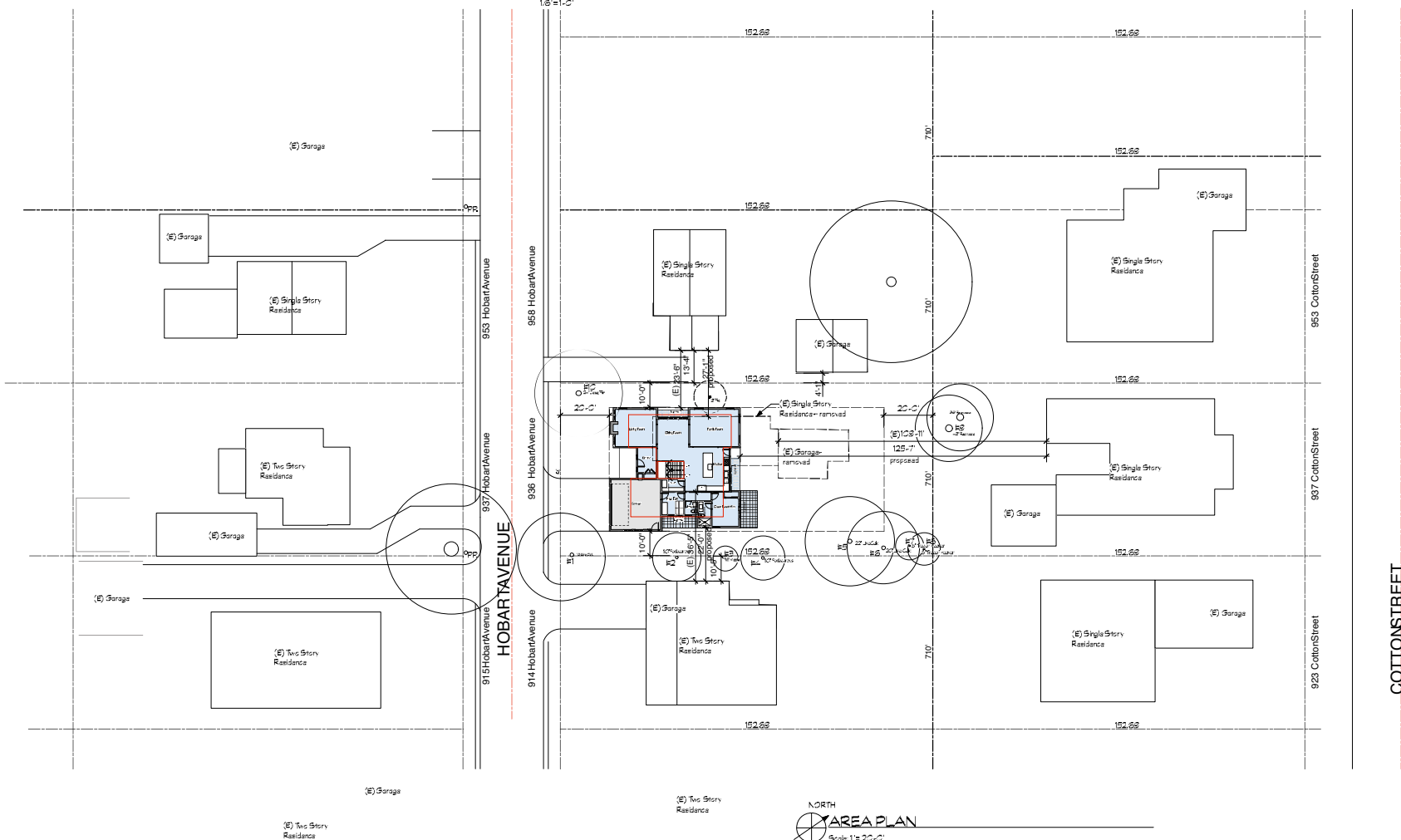
NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
 BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.
 DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE.
 (STUCCO/SIDING)
 FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 BENCHMARK: ASSUMED DATUM, POINT AS SHOWN
 TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS



Streetscape - Hobart Avenue

1/8" = 1'-0"



COTTON STREET

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Licensed Architect
Karen Suzanne Zak
C-25245
Exp. 01/17
State of California

New Residence
936 Hobart Avenue
Menlo Park, CA 94025

Sheet Title
Area Plan
Streetscape

Date
8 September, 2016

Scale
As Noted

A-1.1



Existing Side Elevation Photo



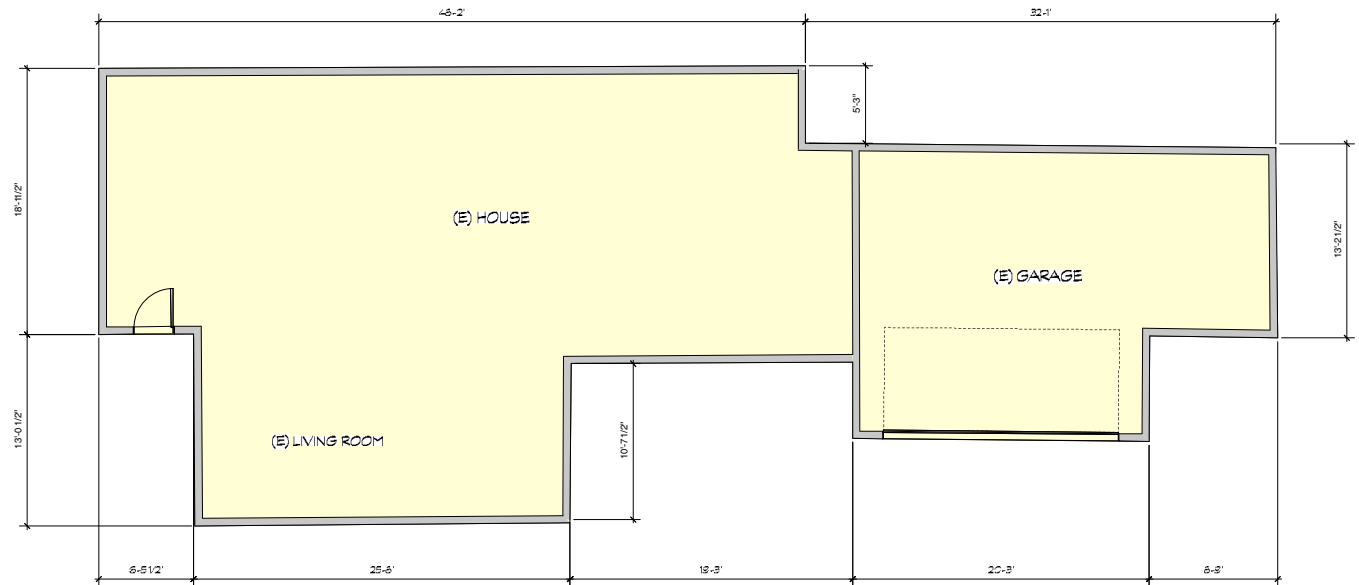
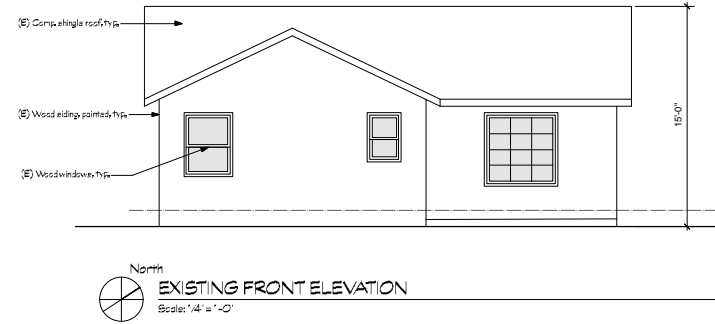
Existing Front Elevation Photo



Existing Back Elevation Photo



Existing Side Elevation Photo



North
EXISTING FLOOR PLAN
Scale: 1/4" = 1'-0"



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State of California

New Residence
936 Hobart Avenue
Menlo Park, CA 94025

Sheet Title
(E) Plan & Elevations

Date
8 September, 2016

Scale
As Noted

A-1.2

Door Schedule

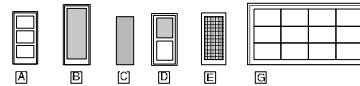
No.	Location	Size	Type	Dr. Mat'L	Dr. Fin.	Frame Mat'L	Frame Fin.	Remarks
D1	Bedroom #5	2'-6"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	
D2	Closet	2'-6"x8'-0" x 13'-8"	AAA	S.G. Wood	Paint	Wood	Paint	Sliding
D3	Closet	2'-6"x8'-0" x 13'-8"	AAA	S.G. Wood	Paint	Wood	Paint	Sliding
D4	Bath #5	2'-6"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	Privacy Lock
D5	Bath #5	2'-4"x8'-0"	II	Temp. Glass	NA	NA	NA	Tempered Shower Door
D6	Bath #6	2'-4"x8'-0"	II	Temp. Glass	NA	NA	NA	Tempered Shower Door
D7	Bath #6	2'-6"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	Privacy Lock
D8	Living Room	2'-6"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	Privacy Lock
D9	Wine	2'-6"x8'-0" x 13'-8"	A	S.G. Wood/Glass	Stain	Stain	Stain	Tempered, weatherstrip, keyed lock
D10	Basement	11'-0"x21'-0" x 13'-4"	BBB	S.G. Wood/Glass	Stain	Stain	Stain	Tempered, weatherstrip, keyed lock
D11	Entry	2'-0"x21'-0" x 13'-4"	E	S.G. Wood/Glass	Stain	Stain	Stain	Weather strip, keyed lock, tempered glazing
D12	Closet	2'-4"x8'-0" x 13'-8"	AA	S.G. Wood	Paint	Wood	Paint	
D13	Family Room	12'-0"x2'-0" x 13'-4"	BBB	S.G. Wood	Paint	Wood	Paint	Tempered, weatherstrip, keyed lock
D14	Kitchen	2'-6"x8'-0" x 13'-4"	B	S.G. Wood/Glass	Stain	Stain	Stain	Weatherstrip, keyed lock, tempered glazing
D15	Pantry	2'-4"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	
D16	Bedroom #4	2'-6"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	
D17	Closet	2'-6"x8'-0" x 13'-8"	AA	S.G. Wood	Paint	Wood	Paint	Sliding
D18	Bath #4	2'-6"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	Privacy Lock
D19	Bath #4	2'-4"x8'-0"	II	Temp. Glass	NA	NA	NA	Tempered Shower Door
D20	Powder	2'-4"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	Privacy Lock
D21	Multi Room	2'-6"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	
D22	Garage	2'-6"x8'-0" x 13'-4"	D	S.G. Wood	Paint	Wood	Paint	3 sided weatherstrip, keyed lock
D23	Garage	2'-6"x8'-0" x 13'-4"	D	S.G. Wood	Paint	Wood	Paint	Weatherstrip, keyed lock
D24	Garage	16'-0" x 8'-0"	G	Wood	Stain	Metal	Paint	Chi Opener, Key Pad
D25	Bedroom #3	2'-6"x7'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	
D26	Closet	13'-0"x7'-0" x 13'-8"	AAA	S.G. Wood	Paint	Wood	Paint	Sliding
D27	Bath #3	2'-6"x7'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	Privacy Lock
D28	Bath #3	2'-4"x8'-0"	II	Temp. Glass	NA	NA	NA	Tempered Shower Door
D29	Bath #2	2'-6"x7'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	Privacy Lock
D30	Closet	13'-0"x7'-0" x 13'-8"	AAA	S.G. Wood	Paint	Wood	Paint	Sliding
D31	Bedroom #2	2'-6"x7'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	
D32	Linen	12'-1'-6"x7'-0" x 13'-8"	AA	S.G. Wood	Paint	Wood	Paint	
D33	Entry	2'-6"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	
D34	Bedroom #1	2'-6"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	Privacy Lock
D35	Bedroom #1	12'-0"x8'-0" x 13'-4"	B	Wood/Glazing	Paint	Wood	Paint	Tempered, weatherstrip, keyed lock
D36	Closet	2'-6"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	Pocketing
D37	Closet	2'-6"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	Pocketing
D38	Bath #1	2'-6"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	Privacy Lock
D39	Bath #1	2'-4"x8'-0"	II	Temp. Glass	NA	NA	NA	Tempered Shower Door
D40	Bath #1	2'-6"x8'-0" x 13'-8"	A	S.G. Wood	Paint	Wood	Paint	Pocketing

Window Notes

- Window and door head heights shall be installed to align where applicable.
- Head heights and window sizes are nominal.
- Labelled safety glazing shall be installed as indicated, at all locations within a 2'-0" arc of the vertical edge of doors, in doors, in bathtub and shower locations, windows greater than 9 sq. closer than 18" to the floor and top edge greater than 36", and bottom of stairway and any glazing within 36" horiz. & 60" vert of walking surfaces of a stairway.
- All windows are to be clad, by Kolbe Windows, dual glazed, uncoated low-e glass, U.N.O.
- Emergency Egress windows shall maintain a minimum operable area of 5.7 sq. ft. and a minimum net clear opening height of 24" and width of 20". Egress windows shall have a sill height not more than 44" above the floor and operability to street, public alley, yard, or exit county.

Door Notes

- Jambs shall be 4 5/8" min, unless noted otherwise (U.N.O).
- Labelled safety glazing shall be installed in doors shown with glass, sidelights, and transoms.
- Wood interior doors shall be solid core, three panel, typ. U.N.O.
- Cabinet doors shall be Woodwork Institute of California, (W.I.C.): Custom Grade.

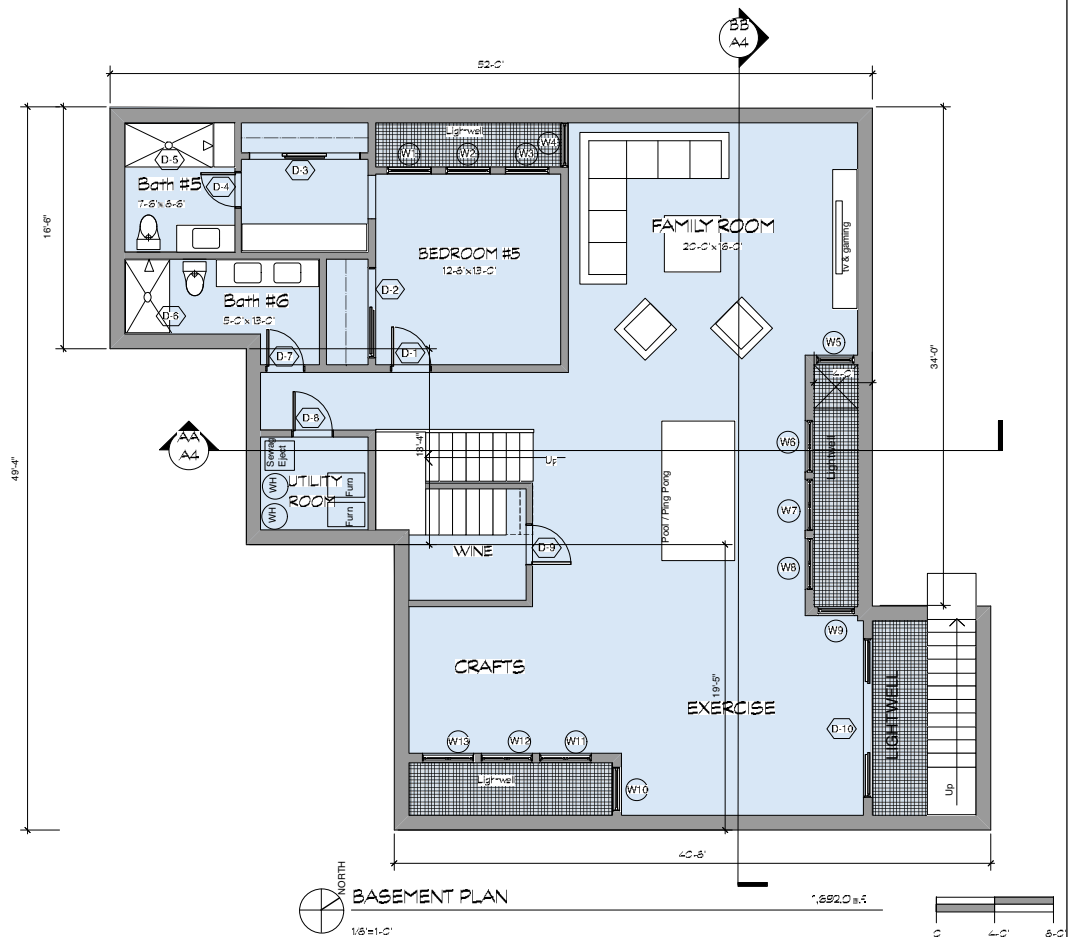


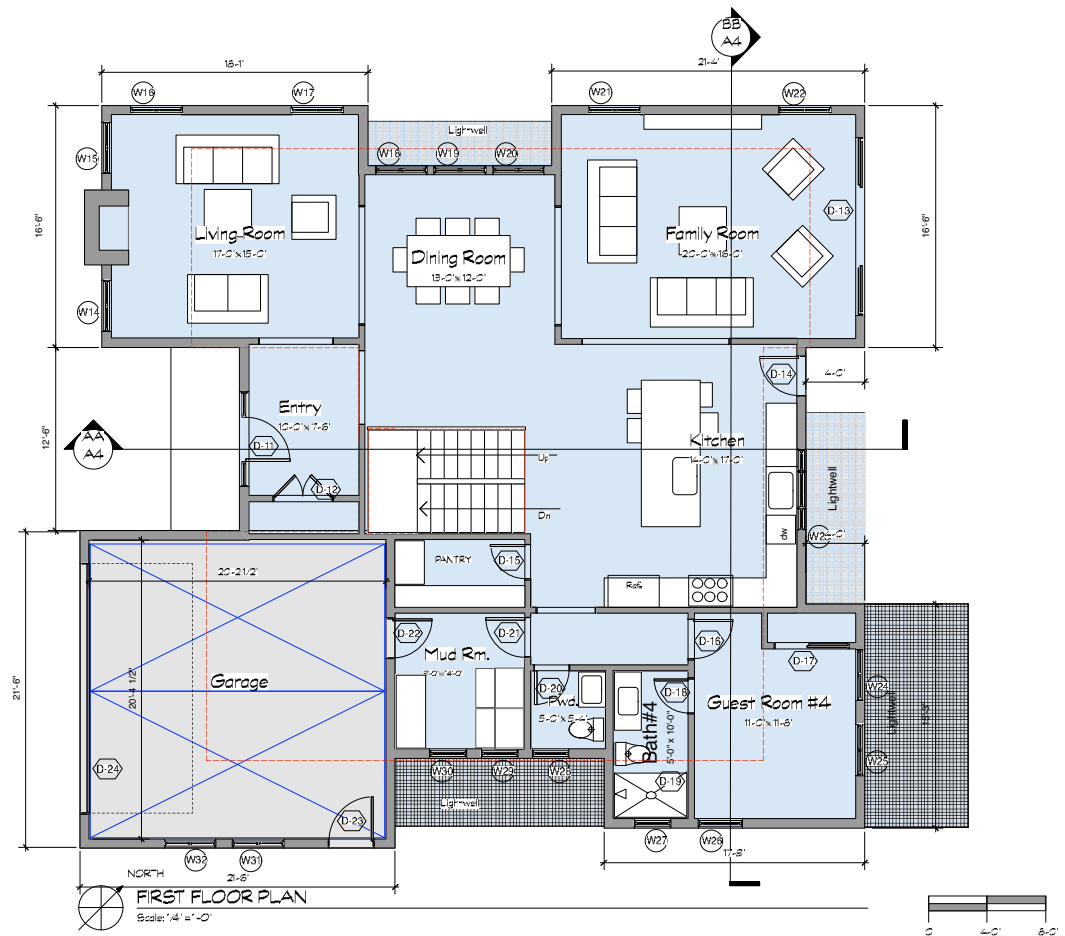
Floor Plan Notes

- Contractor shall provide all necessary blocking, backing, hardware, seismic straps or other support for all fixtures, equipment, cabinetry, furnishings, bath accessories, and other items.
- Acoustical batt insulation at bathrooms, bedrooms, all duct chases, and all areas of potential noise.
- Showers and tub/shower combinations shall be provided with individual control valves of the thermostatic mixing or pressure balance type. UPC Section 420.0.
- All wood within 6" of concrete shall be foundation grade redwood or pressure treated for this use, except as provided for in the Building Code.
- Factory built fireplaces to be installed per manufacturer's instructions and listing. Submit manufacturer's instructions to the City Building Inspector for review prior to installation of the equipment and gas piping.

Window Schedule

No.	Size	Location	Type	Area	Orient.	Jamb	Head Hgt	Remarks
W1	2'-0" x 4'-6"	Bedroom #5	Casement	13.5sf	West	2'x6"	8'0"	Egress
W2	2'-0" x 4'-6"	Bedroom #5	Casement	13.5sf	West	2'x6"	8'0"	Egress
W3	2'-0" x 4'-6"	Bedroom #5	Casement	13.5sf	West	2'x6"	8'0"	Egress
W4	2'-6" x 4'-6"	Bedroom #5	Casement	11.25sf	South	2'x6"	8'0"	
W5	2'-6" x 4'-6"	Bedroom #5	Casement	11.25sf	East	2'x6"	8'0"	
W6	2'-6" x 4'-6"	Bedroom #5	Casement	11.25sf	North	2'x6"	8'0"	
W7	2'-6" x 4'-6"	Bedroom #5	Casement	11.25sf	North	2'x6"	8'0"	
W8	2'-6" x 4'-6"	Bedroom #5	Casement	11.25sf	North	2'x6"	8'0"	
W9	2'-6" x 4'-6"	Bedroom #5	Casement	11.25sf	West	2'x6"	8'0"	
W10	2'-6" x 4'-6"	Bedroom #5	Casement	11.25sf	North	2'x6"	8'0"	
W11	2'-6" x 4'-6"	Bedroom #5	Casement	11.25sf	West	2'x6"	8'0"	
W12	2'-6" x 4'-6"	Bedroom #5	Casement	11.25sf	West	2'x6"	8'0"	
W13	2'-6" x 4'-6"	Bedroom #5	Casement	11.25sf	West	2'x6"	8'0"	
W14	2'-6" x 4'-6"	Living Room	Casement	15.75sf	South	2'x6"	8'0"	
W15	2'-6" x 4'-6"	Living Room	Casement	15.75sf	South	2'x6"	8'0"	
W16	2'-6" x 4'-6"	Living Room	Casement	15.75sf	East	2'x6"	8'0"	
W17	2'-6" x 4'-6"	Living Room	Casement	15.75sf	East	2'x6"	8'0"	
W18	2'-6" x 4'-6"	Dining Room	Casement	15.75sf	West	2'x6"	8'0"	
W19	2'-6" x 4'-6"	Dining Room	Casement	15.75sf	West	2'x6"	8'0"	
W20	2'-6" x 4'-6"	Dining Room	Casement	15.75sf	West	2'x6"	8'0"	
W21	2'-6" x 4'-6"	Family Room	Casement	15.75sf	East	2'x6"	8'0"	
W22	2'-6" x 4'-6"	Family Room	Casement	15.75sf	East	2'x6"	8'0"	
W23	16'-0" x 11'-6" x 4'-6"	Kitchen	Casement	24.75sf	North	2'x6"	8'0"	Tempered
W24	2'-6" x 4'-6"	Bedroom #4	Casement	15.75sf	East	2'x6"	8'0"	
W25	2'-6" x 4'-6"	Bedroom #4	Casement	15.75sf	East	2'x6"	8'0"	
W26	2'-0" x 4'-6"	Bedroom #4	Casement	13.5sf	West	2'x6"	8'0"	Egress
W27	2'-6" x 3'-0"	Bath #4	Casement	7.5sf	East	2'x6"	8'0"	Tempered
W28	2'-6" x 3'-0"	PWD	Casement	7.5sf	East	2'x6"	8'0"	
W29	2'-6" x 3'-0"	Multi Room	Casement	7.5sf	East	2'x6"	8'0"	
W30	2'-6" x 3'-0"	Multi Room	Casement	7.5sf	East	2'x6"	8'0"	
W31	2'-6" x 4'-6"	Garage	Casement	15.75sf	East	2'x6"	8'0"	
W32	2'-6" x 4'-6"	Garage	Casement	15.75sf	East	2'x6"	8'0"	
W33	2'-6" x 3'-0"	Stair	Casement	7.5sf	South	2'x6"	7'0"	
W34	2'-6" x 3'-0"	PWD	Casement	7.5sf	South	2'x6"	7'0"	
W35	2'-6" x 3'-0"	Stair	Casement	7.5sf	South	2'x6"	7'0"	
W36	2'-6" x 4'-6"	Bedroom #3	Casement	15.75sf	South	2'x6"	7'0"	
W37	2'-6" x 4'-6"	Bedroom #3	Casement	15.75sf	South	2'x6"	7'0"	
W38	2'-0" x 4'-6"	Bedroom #3	Casement	13.5sf	West	2'x6"	7'0"	Egress
W39	2'-6" x 3'-0"	PWD	Casement	7.5sf	East	2'x6"	8'0"	Tempered-obscured glazing
W40	2'-6" x 3'-0"	Multi Room	Casement	7.5sf	East	2'x6"	8'0"	Tempered-obscured glazing
W41	2'-0" x 4'-6"	Bedroom #2	Casement	13.5sf	West	2'x6"	7'0"	Egress
W42	2'-6" x 4'-6"	Bedroom #2	Casement	15.75sf	North	2'x6"	7'0"	
W43	2'-6" x 4'-6"	Bedroom #2	Casement	15.75sf	North	2'x6"	7'0"	
W44	2'-6" x 4'-6"	Living Room	Casement	7.5sf	North	2'x6"	7'0"	
W45	2'-6" x 3'-0"	Living Room	Casement	7.5sf	North	2'x6"	7'0"	
W46	2'-6" x 4'-6"	Bedroom #1	Casement	15.75sf	North	2'x6"	8'0"	
W47	2'-6" x 4'-6"	Bedroom #1	Casement	15.75sf	East	2'x6"	8'0"	
W48	2'-6" x 4'-6"	Bedroom #1	Casement	15.75sf	East	2'x6"	8'0"	
W49	2'-6" x 4'-6"	Bedroom #1	Casement	15.75sf	East	2'x6"	8'0"	Tempered-obscured glazing
W50	2'-6" x 4'-6"	Bedroom #1	Casement	15.75sf	East	2'x6"	8'0"	Tempered-obscured glazing
W51	2'-6" x 4'-6"	Bedroom #1	Casement	15.75sf	South	2'x6"	8'0"	Tempered-obscured glazing
W52	2'-6" x 4'-6"	Bedroom #1	Casement	15.75sf	South	2'x6"	8'0"	Tempered-obscured glazing





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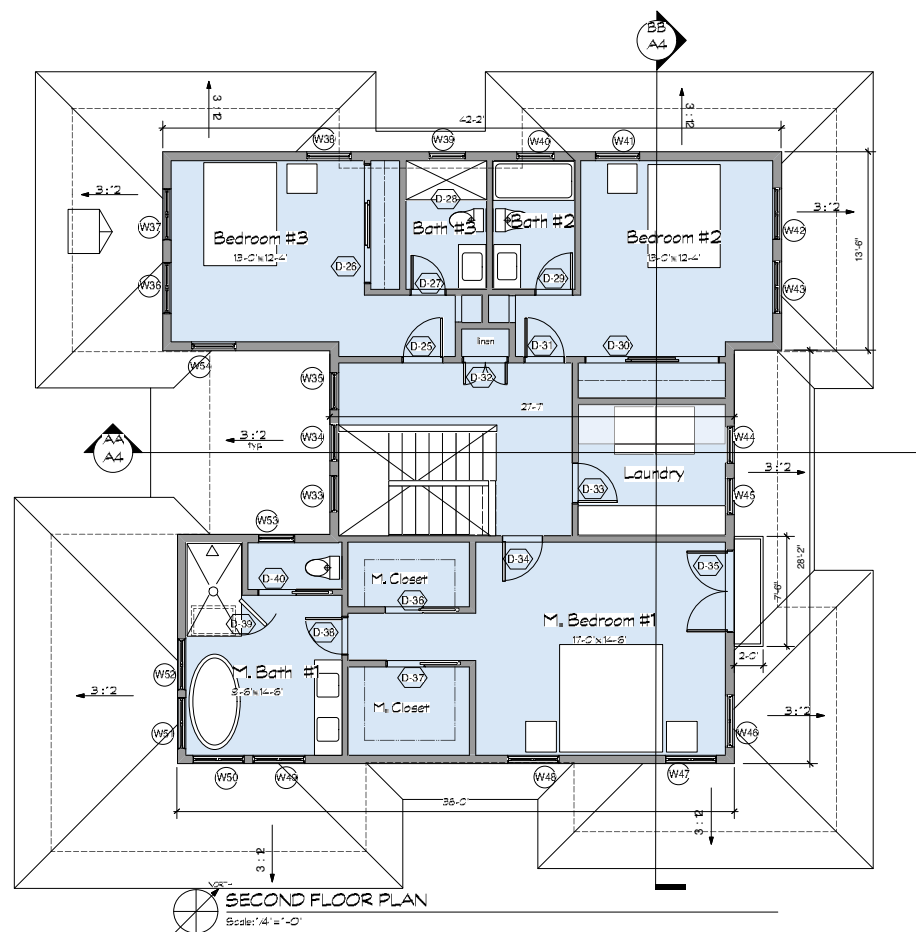
New Residence
 936 Hobart Avenue
 Menlo Park, CA 94025

Sheet Title
 1st Floor Plan

Date
 8 September, 2016

Scale
 As Noted

A-2.1



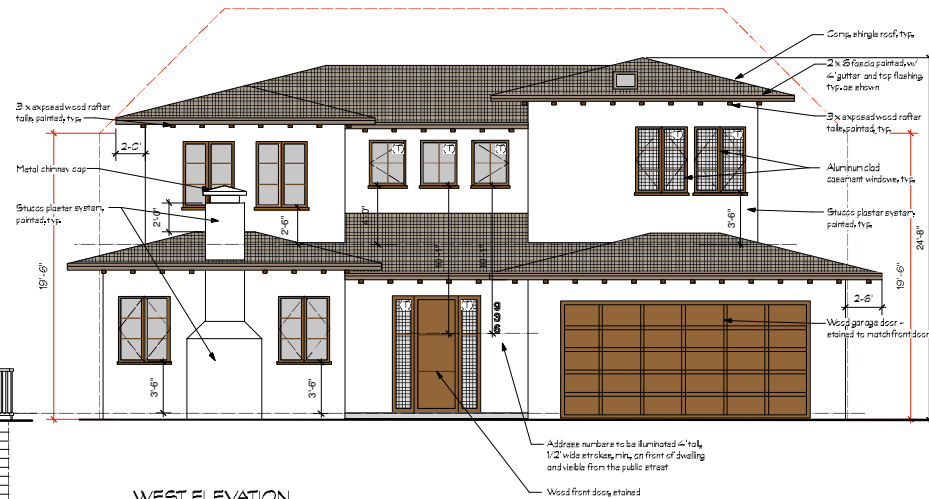
A-2.2



SOUTH ELEVATION
Scale: 1/4" = 1'-0"



NORTH ELEVATION
Scale: 1/4" = 1'-0"



WEST ELEVATION
Scale: 1/4" = 1'-0"



EAST ELEVATION
Scale: 1/4" = 1'-0"



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State of California

New Residence
936 Hobart Avenue
Menlo Park, CA 94025

Sheet Title
Ex-0100

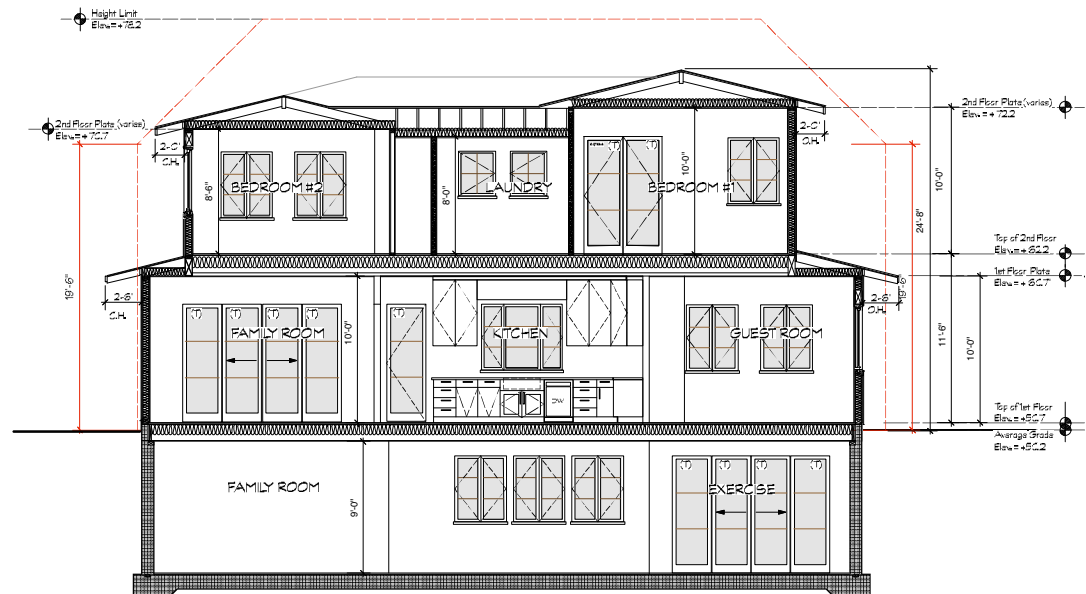
Date
8 September, 2016

Scale
As Noted

A-3



A-A Section through Stair
Scale: 1/4" = 1'-0"



B-B Building Section
Scale: 1/4" = 1'-0"

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Exp. 5/31/17
State of California

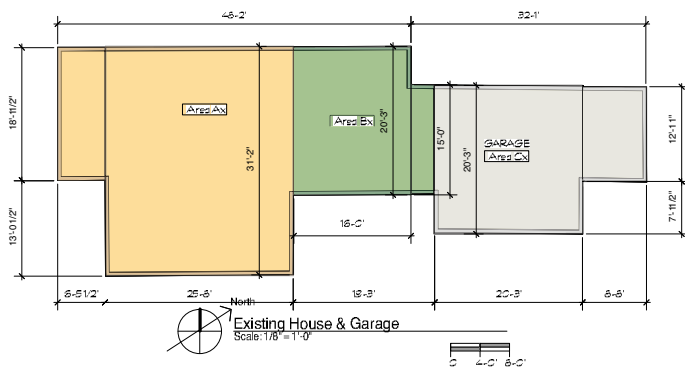
New Residence
936 Hobart Avenue
Menlo Park, CA 94025

Sheet Title
Building Section

Date
8 September, 2016

Scale
As Noted

A-4



AREA CALCULATIONS

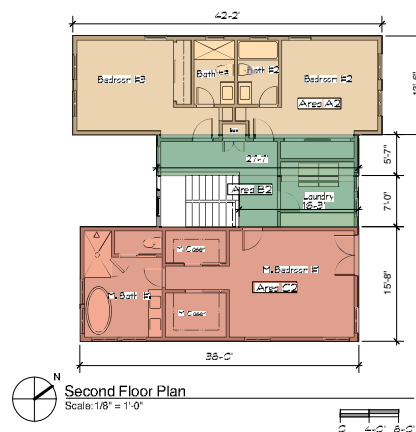
Existing House Area:
 Area A = $25'-6" \times 3'-2" + 6'-5\frac{1}{2}" \times 8'-1\frac{1}{2}" = 97.0 \text{ s.f.}$
 Area B = $16'-0" \times 20'-3" + 3'-3" \times 9'-0" = 372.7 \text{ s.f.}$

Existing House = **1289.7 s.f.**

Existing Garage Area:
 Area Cx = $20'-3" \times 20'-3" + 8'-6" \times 12'-1" = 522.0 \text{ s.f.}$

Total Existing: **1811.7 s.f.**

(B) Lp Coverage

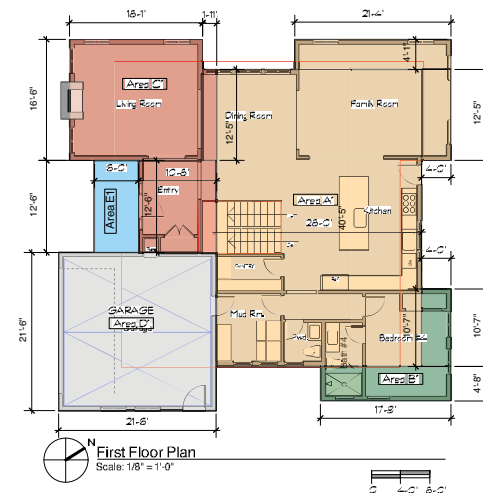


AREA CALCULATIONS

New Second Floor Area:
 Area A2 = $42'-2" \times 9'-6" = 569.3 \text{ s.f.}$
 Area B2 = $(27'-7" \times 5'-7") + (8'-3" \times 7'-0") = 267.8 \text{ s.f.}$
 Area C2 = $38'-0" \times 5'-6" = 585.3 \text{ s.f.}$

Proposed 2nd Floor = **1,432.4 s.f.**

Proposed Floor Area Total: **3,734.9 s.f.**
 Proposed Building Coverage Total: **2,392.5 s.f.**



AREA CALCULATIONS

New First Floor Area:
 Area A1 = $(28'-0" \times 40'-5") + (2'-4" \times 4'-1") + (4'-0" \times 12'-5") = 1,268.4 \text{ s.f.}$
 Area B1 = $(7'-9" \times 4'-8") + (4'-0" \times 0'-7") = 25.1 \text{ s.f.}$
 Area C1 = $(8'-1" \times 6'-6") + (1'-1" \times 12'-5") + (0'-8" \times 12'-6") = 455.5 \text{ s.f.}$
 Fireplace = $1'-8" \times 5'-0" = 8.7 \text{ s.f.}$

New 1st Floor = **1,842.3 s.f.**

New Garage Area:
 Area D = $2'-6" \times 2'-6" = 462.2 \text{ s.f.}$

Additional Lp Coverage:
 Area E (covered porch) = $12'-6" \times 6'-0" = 75.0 \text{ s.f.}$
 Fireplace = $3'-0" \times 5'-0" = 15.0 \text{ s.f.}$

Zak Johnson Architects
 900 College Avenue
 Menlo Park, CA 94025
 650.329.9767

Licensed Architect
 Karen Suzanne Zak
 C-25245
 Exp. 5/31/17
 State of California

New Residence
 936 Hobart Avenue
 Menlo Park, CA 94025

Sheet Title
 Block Area Diagram

Date
 8 September, 2016

Scale
 As Noted

A-5

Project Description

936 Hobart Avenue
Menlo Park, CA 94025

We have submitted the required application materials to the City of Menlo Park Planning Department to construct a new two-story home with a full basement at 936 Hobart Avenue to be reviewed for a Use Permit.

We are proposing to demolish the existing single story bungalow residence and garage to construct a new two-story house with basement and attached two-car garage. The new home is a two-story Spanish / California style reminiscent of the Birge Clark homes from the early to mid 1900s. West Menlo Park is an eclectic neighborhood with original craftsman bungalows mixed with mid-century ranches and new larger two story homes. The two-story California Spanish colonial revival style works well in the neighborhood and complements the adjacent houses because it breaks the massing and volume of the house into smaller more proportional features and fits well under the daylight plane. The new structure will place the second floor above the middle of the house, providing plenty of relief to the neighboring properties and minimizing the appearance of too much bulk and volume. It is our intention to use a painted stucco exterior system with a composition shingle roof and aluminum clad wood windows. By creating a two-story home, we minimize the footprint on the site and open up space for landscaping and greenery. We carefully placed the home to minimize overlap with the existing trees and to protect the privacy of the neighbors.

Jeff Chase of Pacific Excel Partners reached out and communicated with the adjacent neighbors; he was able to speak directly with the three contiguous neighbors and provided them with drawings and his contact information for feedback. Currently, no one has registered any objections. Beth Bishop, the back fence neighbor at 937 Cotton Street, expressed that she was happy that the house is located toward the front of the lot so that they are less impacted by the 2nd story.

By carefully studying the surrounding neighborhood, the existing trees, and adjacent homes; and giving thoughtful attention to the character of the house, we feel we have designed a successful project for your consideration.

Sincerely,

karen zak

Karen Zak, Architect
Zak Johnson Architects
900 College Avenue
Menlo Park, CA 94025

RECEIVED

JUL 29 2016

CITY OF MENLO PARK
BUILDING

Advanced Tree Care

P. O. Box 5326 Redwood City, CA 94063

936 Hobart St, Menlo Park

July 28, 2016

Pacific Excel 3, LLC. Jeff Chase
700 Pleasant Valley Lane
Aptos, CA 95003

Site: 936 Hobart St, Menlo Park

Dear Jeff Chase

At your request I visited the above site for the purpose of inspecting and commenting on the heritage trees around the property. A new residence is planned, prompting the need for this tree protection report.

Method:

The location of the heritage trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end of the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don't hesitate to call. Sincerely



Robert Weatherill
Certified Arborist WE 1936A

RECEIVED

AUG 25 REC'D

By PLANNING

Advanced Tree Care

P. O. Box 5326 Redwood City, CA 94063

936 Hobart St, Menlo Park

July 28, 2016

Tree survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Coast live oak <i>Quercus agrifolia</i>	21.6"	40/30	65	Good health and condition, cabled Regulated
2	Fern pine <i>Podocarpus gracilior</i>	8"est	20/15	65	Good health and condition, neighbor's tree, Not Regulated
3	Apple <i>Malus spp</i>	6"est	15/8	65	Good health and condition, neighbor's tree, Not Regulated
4	Fern pine <i>Podocarpus gracilior</i>	10"est	35/15	50	Fair health and condition, one sided, neighbor's tree, Not Regulated
5	Coast live oak <i>Quercus agrifolia</i>	26.1"/26.0"	50/40	50	Fair health and condition, one sided, codon@2' included, Regulated
6	Coast live oak <i>Quercus agrifolia</i>	25.0"	45/20	50	Fair health and condition, ivy on trunk Regulated
7	Tree of heaven <i>Ailanthus altissima</i>	7.2"	25/10	80	Good health and condition, poor species, Not Regulated
8	Tree of heaven <i>Ailanthus altissima</i>	8.3"	25/10	80	Good health and condition, poor species, Not Regulated
9	Coastal redwood <i>Sequoia sempervirens</i>	48"/48"est	60/30	80	Good health and condition, neighbor's tree 5' from fence, Regulated
10	Douglas fir <i>Pseudotsuga menziesii</i>	28.2"	50/30	45	Drought stress, thinning Regulated

Summary:

The trees on the site are a variety of natives and non-natives.

There are 3 trees, #s 2, 3 and 4, on the south east neighbor's property that are not of a size to be regulated. These trees should be protected during construction and I believe the construction setbacks will adequately do this without the need for protective fencing.

There is a large redwood, # 9, on the rear neighbor's property that should be protected during construction.

Tree #s 1, 5, 6 and 10 are regulated trees on this property that should be protected during construction.

Tree #s 7 and 8 are not regulated trees and are an invasive species that should be removed.

Tree # 10 is a regulated tree that is shown to be protected. The tree is in poor health and condition and could be removed rather than designed around.

The remaining trees are not regulated and can be removed if desired

Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1 1/2" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the dripline of the tree. I recommend the TPZ's as follows:-

Tree #s 1 and 6: TPZ should be at 10 feet from the trunk closing on the sidewalk, driveway and fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾

Tree #s 5 and 10: TPZ should be at 15 feet from the trunk closing on the sidewalk and fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾

Tree # 9: TPZ should be at 25 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾

The tree protection can be placed along the edge of the driveway whilst the driveway is still intact. After driveway has been removed the fencing should be moved out to its full extent.



IMAGE 2.15-1
Tree Protection Fence at the Dripline

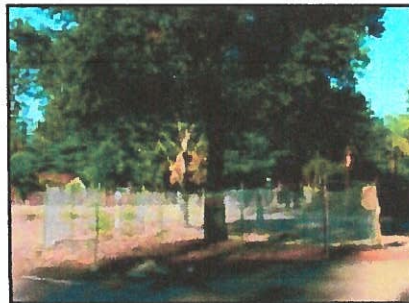
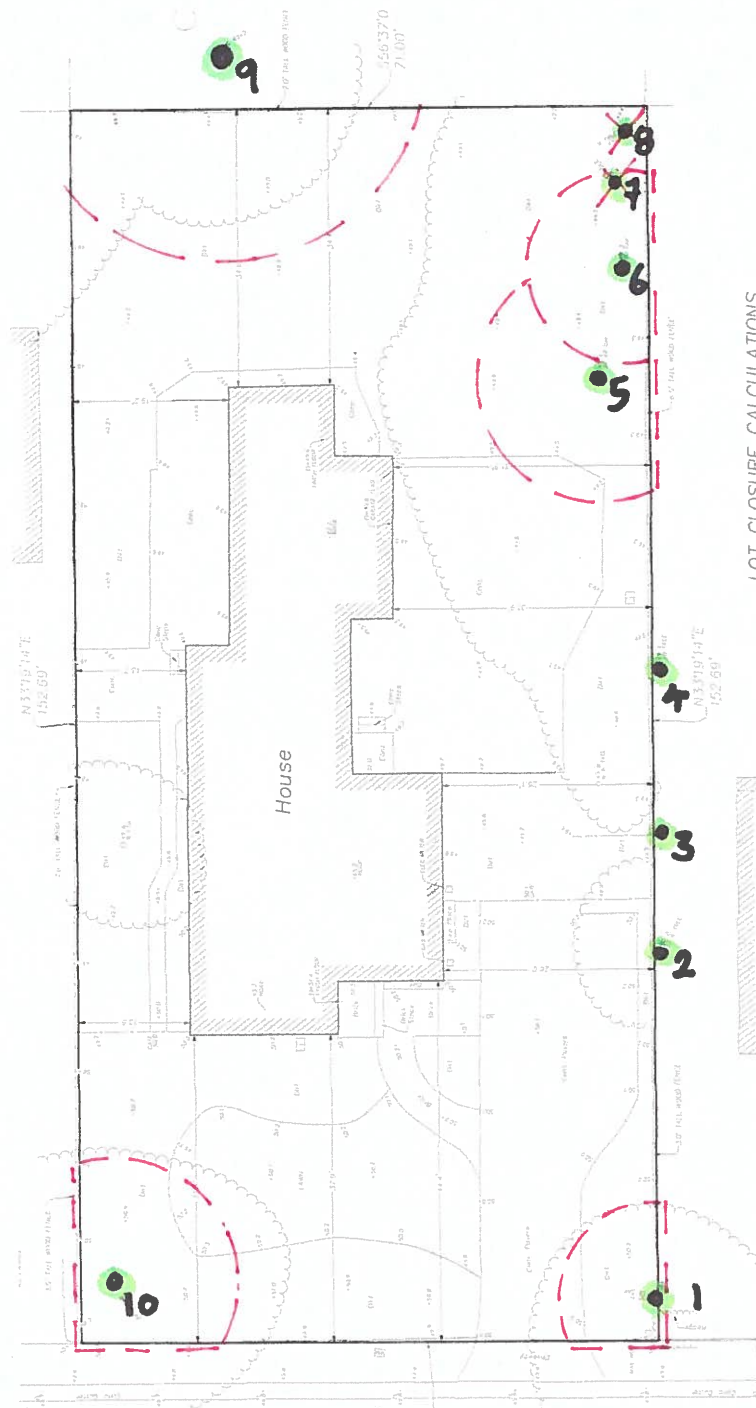


IMAGE 2.15-2
Tree Protection Fence at the Dripline

• **Type I Tree Protection**

The fences shall enclose the entire area under the **canopy dripline or TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (see *Images 2.15-1 and 2.15-2*). Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.

3. Any pruning and maintenance of the tree shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel.** No limbs greater than 4" in diameter shall be removed.
4. Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.⁽²⁾
5. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.⁽²⁾
6. **Do Not:**⁽⁴⁾
 - a. Allow run off or spillage of damaging materials into the area below any tree canopy.
 - b. Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
 - c. Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
 - d. Allow fires under any adjacent trees.
 - e. Discharge exhaust into foliage.
 - f. Secure cable, chain or rope to trees or shrubs.
 - g. Apply soil sterilants under pavement near existing trees.
7. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.⁽⁴⁾
8. Route pipes into alternate locations to avoid conflict with roots.⁽⁴⁾
9. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.⁽⁴⁾
10. Compaction of the soil within the dripline shall be kept to a minimum.⁽²⁾
11. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.
12. Ensure upon completion of the project that the original ground level is restored



Location of protected trees and their Tree Protection Zones

Glossary

Canopy	The part of the crown composed of leaves and small twigs. ⁽²⁾
Cavities	An open wound, characterized by the presence of extensive decay and resulting in a hollow. ⁽¹⁾
Decay	Process of degradation of woody tissues by fungi and bacteria through the decomposition of cellulose and lignin ⁽¹⁾
Dripline	The width of the crown as measured by the lateral extent of the foliage. ⁽¹⁾
Genus	A classification of plants showing similar characteristics.
Live Crown Ratio	The relative proportion of green crown to overall tree height ⁽¹⁾
Root crown	The point at which the trunk flares out at the base of the tree to become the root system.
Species	A Classification that identifies a particular plant.
Standard height	Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level

References

- (1) Matheny, N.P., and Clark, J.P. Evaluation of Hazard Trees in Urban Areas. International Society of Arboriculture, 1994.
- (2) Harris, R.W., Matheny, N.P. and Clark, J.R.. Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines. Prentice Hall, 1999.
- (3) Carlson, Russell E. Paulownia on The Green: An Assessment of Tree Health and Structural Condition. Tree Tech Consulting, 1998.
- (4) Extracted from a copy of Tree Protection guidelines. Anon
- (5) T. D. Sydnor, Arboricultural Glossary. School of Natural Resources, 2000
- (6) D Dockter, Tree Technical Manual. City of Palo Alto, June, 2001

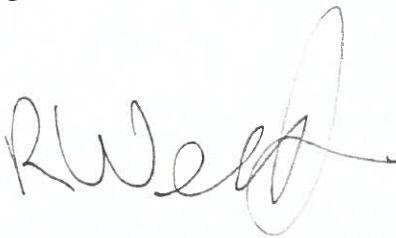
Certification of Performance⁽³⁾

I, Robert Weatherill certify:

- * That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;
- * That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;
- * That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;
- * That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;
- * That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;
- * That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 15 years.

Signed



Date: 7/28/16

Terms and Conditions(3)

The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care :

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
3. All reports and other correspondence are confidential, and are the property of Advanced Tree Care and it's named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warrantee or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
7. Advanced Tree Care has no warrantee, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphs material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.



STAFF REPORT

Planning Commission

Meeting Date: 11/7/2016

Staff Report Number: 16-089-PC

Public Hearing: Use Permit/Morteza Nassiri/317 Yale Road

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit revision to make changes to the floor plan, windows and roof plan of a previously approved single-family, two-story residence with a basement on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district, at 317 Yale Road. The previous use permit was approved by the Planning Commission on May 9, 2016. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at 317 Yale Road, between College Avenue and Cambridge Avenue, in the Allied Arts neighborhood. A location map is included as Attachment B. The subject parcel is surrounded on all sides by single-family homes that are also in the R-1-U zoning district. Yale Road is developed with a mixture of one and two-story homes with a variety of architectural styles.

Previous Planning Commission review

On May 9, 2016, the Planning Commission approved a use permit request at this site, to demolish an existing single-story, single-family residence, detached studio, and detached carport, and construct a new two-story, single-family residence with an attached garage on a substandard lot with regard to lot width and area in the R-1-U (Single-Family Urban) zoning district.

The Planning Commission included two project-specific conditions of approval to the use permit. The first required the applicant to increase the extent of the roof eave over the garage and reduce the height of the garage door with the objective of reducing the prominence of the garage. The second project-specific condition required the applicant to revise the site layout so the proposed residence is pushed back to align with the front of 309 Yale Road. The applicant has preliminarily complied with these conditions by aligning the proposed residence with the front of the residence at 309 Yale Road, extending the length of the eave above the garage from one foot to one foot, six inches, and reducing the height of the garage door from eight feet to seven feet, six inches.

Analysis

Project description

The proposed changes to the project include revisions to the floor plan, the windows and the roof plan. The proposed changes include the removal of the first floor bedroom and the addition of a fourth bathroom on the second floor. The proposed changes to the windows are mainly a result of revisions to the floor plans; no changes are proposed to the front elevation, the building footprint or the square footage. A data table summarizing parcel and project attributes is included as Attachment C. The only changes to the data table are the proposed front and rear setbacks, as discussed above.

The proposed changes to the previously approved left side elevation would include the following:

- Two smaller windows at the first floor nook instead of one larger window.
- An additional first floor window for the bathroom.
- The addition of a second floor bedroom window above the garage with a sill height of three feet, two inches.

The proposed changes to the previously approved right side elevation would include the following:

- The addition of two second floor, bedroom windows and the enlargement of a window at the master bathroom. All of these windows would have sill heights of three feet, two inches.
- Two smaller windows at the first floor dining room instead of one larger window.
- The addition of two windows at the living room.

The proposed changes to the previously approved rear elevation would include the following:

- A smaller window at the first floor pantry, instead of the larger window that was proposed when this area was a guest bedroom.

The proposed changes to the previously approved roof plan include the following:

- A gable roof over bedroom #2 instead of a hip roof.
- A small flat roof over the stairs.

The project plans and the applicant's project description letter are included as Attachments D and E, respectively. The previously approved site plan and elevations are included as Attachment F.

Design and materials

The previously-approved residence features a style described by the architect as Spanish Eclectic. Staff does not believe the proposed changes materially change the style or neighborhood compatibility of the approved residence. No significant privacy concerns are anticipated as all newly proposed second floor windows along the side elevations would have minimum sill heights of three feet, two inches.

Trees and landscaping

The applicant submitted an arborist report (Attachment G) detailing the species, size and conditions of the trees on or near the site, as part of the application for the use permit request previously approved by the Planning Commission. The approved site plan included some tree removals, including the removal of a heritage holly tree located on the middle-right side of the property, as well as replacement trees. One replacement tree was moved from the right to the left side of the property, as a result of the Planning Commission's condition that the residence be aligned with the residence at 309 Yale Road. No other changes to the landscaping are proposed. The proposed site improvements should not adversely affect any of the trees as tree protection measures in the arborist report will be ensured through recommended condition 3g.

Correspondence

Staff has not received any items of correspondence on the proposed project. The applicant has indicated they have spoken with or left information for the neighboring property owners on either side.

Conclusion

Staff does not believe the proposed changes materially change the style or neighborhood compatibility of the approved residence. No significant privacy concerns are anticipated as all newly proposed second floor windows along the side elevations would have minimum sill heights of three feet, two inches. Staff recommends that the Planning Commission approve the proposed revisions to the project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Approved Site Plan and Elevations
- G. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

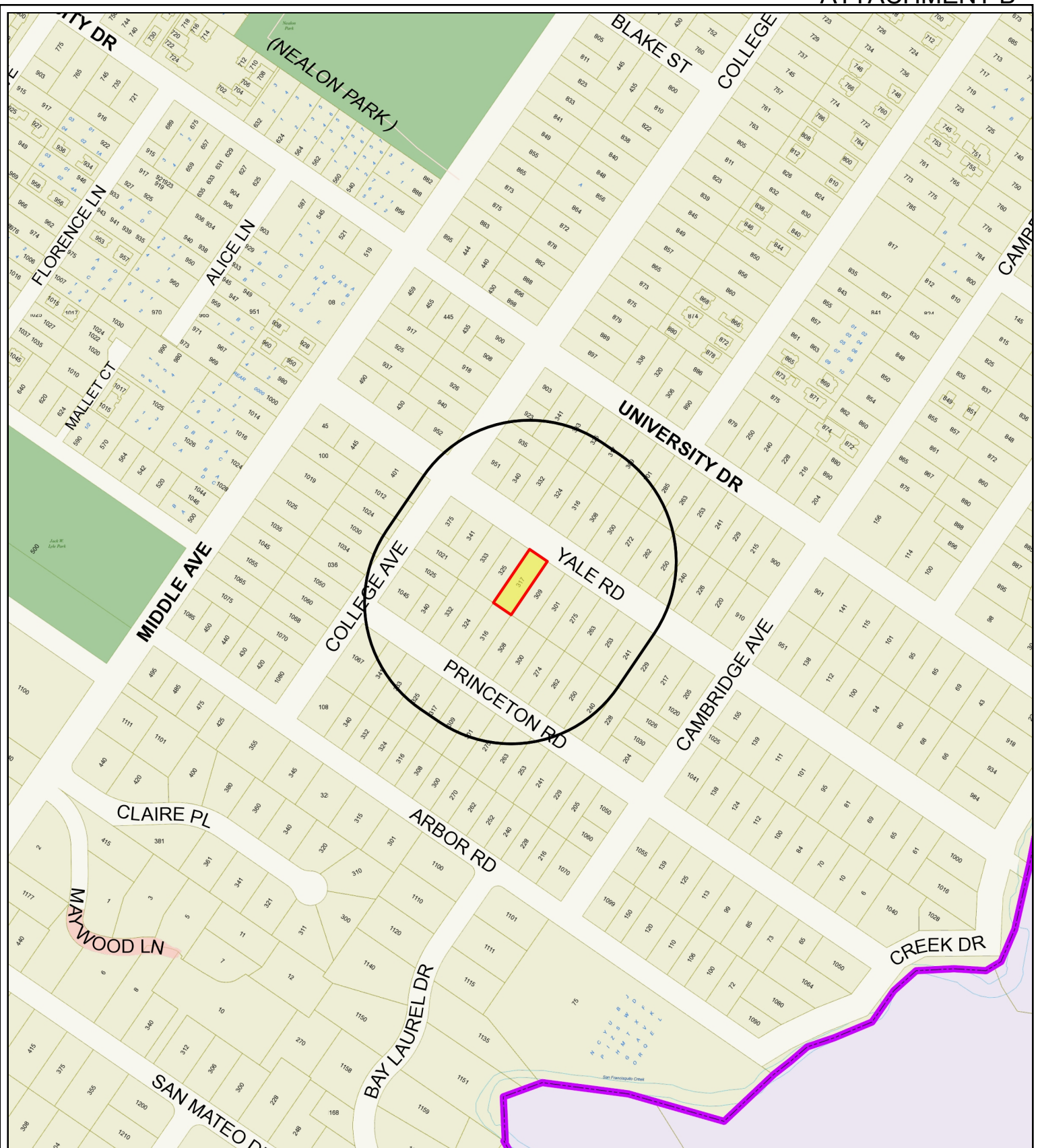
None

Report prepared by:
Corinna Sandmeier, Associate Planner

Report reviewed by:
Thomas Rogers, Principal Planner

317 Yale Road – Attachment A: Recommended Actions

LOCATION: 317 Yale Road	PROJECT NUMBER: PLN2016-00093	APPLICANT: Morteza Nassiri	OWNER: Morteza Nassiri
REQUEST: Request for a use permit revision to make changes to the floor plan, windows and roof plan of a previously approved single-family, two-story residence with a basement on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district. The previous use permit was approved by the Planning Commission on May 9, 2016.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: <ol style="list-style-type: none">1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current CEQA Guidelines.2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.3. Approve the use permit subject to the following standard conditions:<ol style="list-style-type: none">a. Development of the project shall be substantially in conformance with the plans prepared by Kohler Associates Architects consisting of 11 plan sheets, dated received October 25, 2016, and approved by the Planning Commission on November 7, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the arborist report by Kevin Kielty Arborist Services LLC, dated received March 23, 2016.			

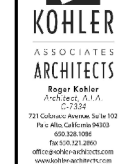
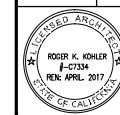


City of Menlo Park
Location Map
317 Yale Road



317 Yale Road – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	7,499.0 sf	7,499.0 sf	7,000.0 sf min.
Lot width	50.0 ft.	50.0 ft.	65.0 ft. min.
Lot depth	150.0 ft.	150.0 ft.	100.0 ft. min.
Setbacks			
Front	28.0 ft.	29.3 ft.	20.0 ft. min.
Rear	50.1 ft.	55.5 ft.	20.0 ft. min.
Side (left)	5.0 ft.	12.5 ft.	5.0 ft. min.
Side (right)	5.0 ft.	4.3 ft.	5.0 ft. min.
Building coverage	2,201.1 sf 29.4 %	2,520.5 sf 33.6 %	2,624.7 sf max. 35.0 % max.
FAL (Floor Area Limit)	2,923.5 sf	2,520.5 sf	2,924.8 sf max.
Square footage by floor	1,902.3 sf/basement 1,405.6 sf/1 st floor 1,094.2 sf/2 nd floor 423.7 sf/garage 371.8 sf/porches	1,492.6 sf/1 st floor 663.9 sf/carport 364.0 sf/studio	
Square footage of buildings	5,197.6 sf	2,520.5 sf	
Building height	24.8 ft.	15.0 ft.	28.0 ft. max.
Parking	2 covered	3 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 2*	Non-Heritage trees: 10**	New Trees: 3
	Heritage trees proposed for removal: 1	Non-Heritage trees proposed for removal: 2	Total Number of Trees: 12
* One heritage tree is located in the right-of-way in front of the property			
** Two of the non-heritage trees are street trees and two are located on neighboring properties			



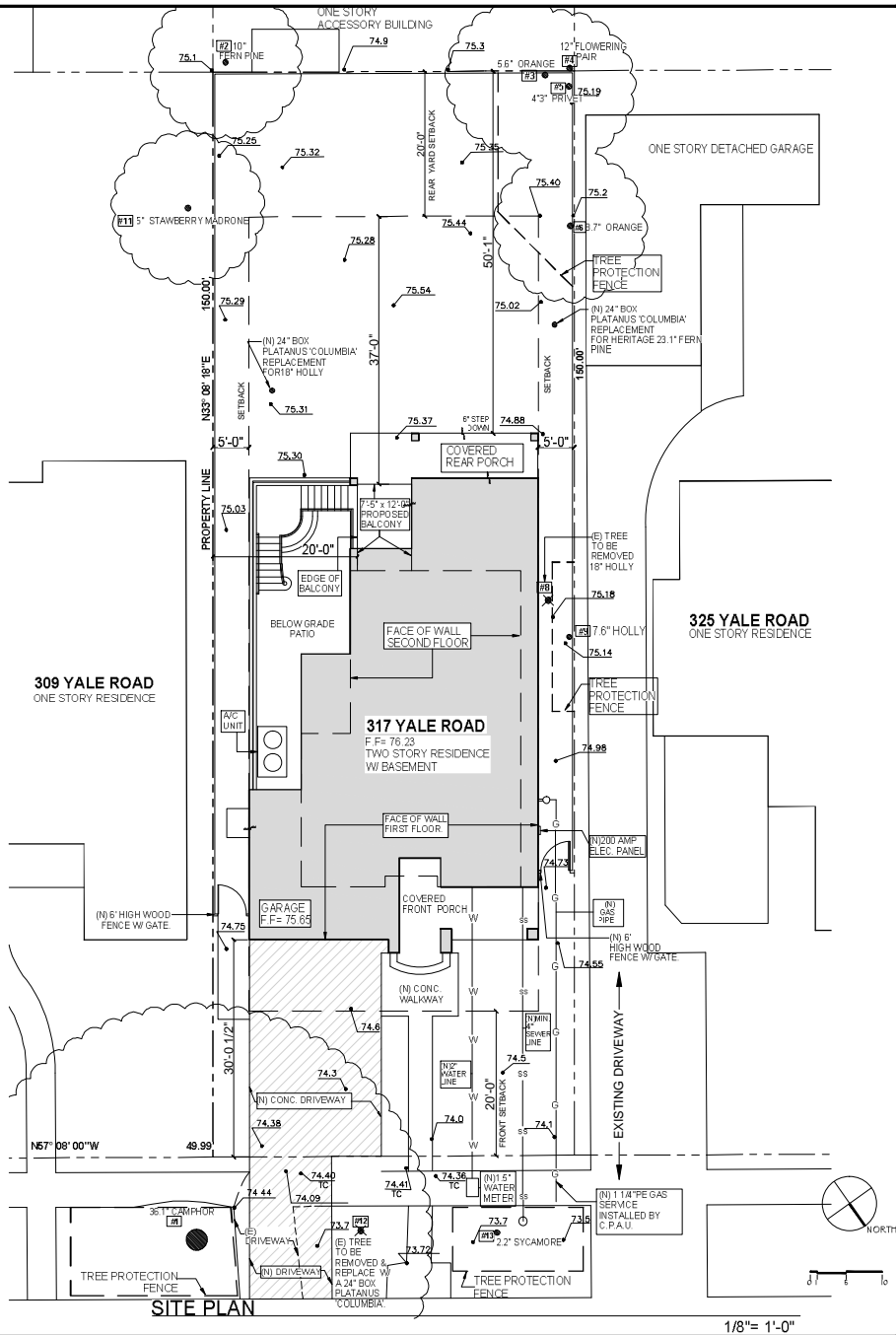
NEW RESIDENCE FOR:
MORTEZA NASSIRI
317 YALE ROAD
MENLO PARK, CALIFORNIA

SITE PLAN
PROJECT INFORMATION

DRAWN
R.L.
CHECKED
DATE
9-14-15
SCALE
1/8" = 1' - 0"
JOB NO.
317 YALE RD.
SHEET

A1

AND THE DESIGNS THEY'RE RECENT SHALL NOT BE USED BY OTHERS.

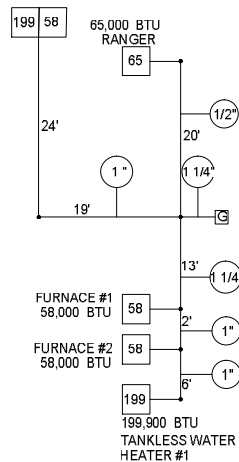


- INDICATES GENERAL NOTE
- INDICATES GENERAL NOTE
- GN 17
- ARROW POINTS TO ITEM GENERAL NOTE APPLIES TO
- ① WINDOW NUMBERS SEE WINDOW SCHEDULE
- ② DOOR NUMBERS SEE DOOR SCHEDULE

SHEET NOTES

BASEMENT NOTES

FURNACE #3
58,000 BTU
199,900 BTU
TANKLESS WATER
HEATER #3

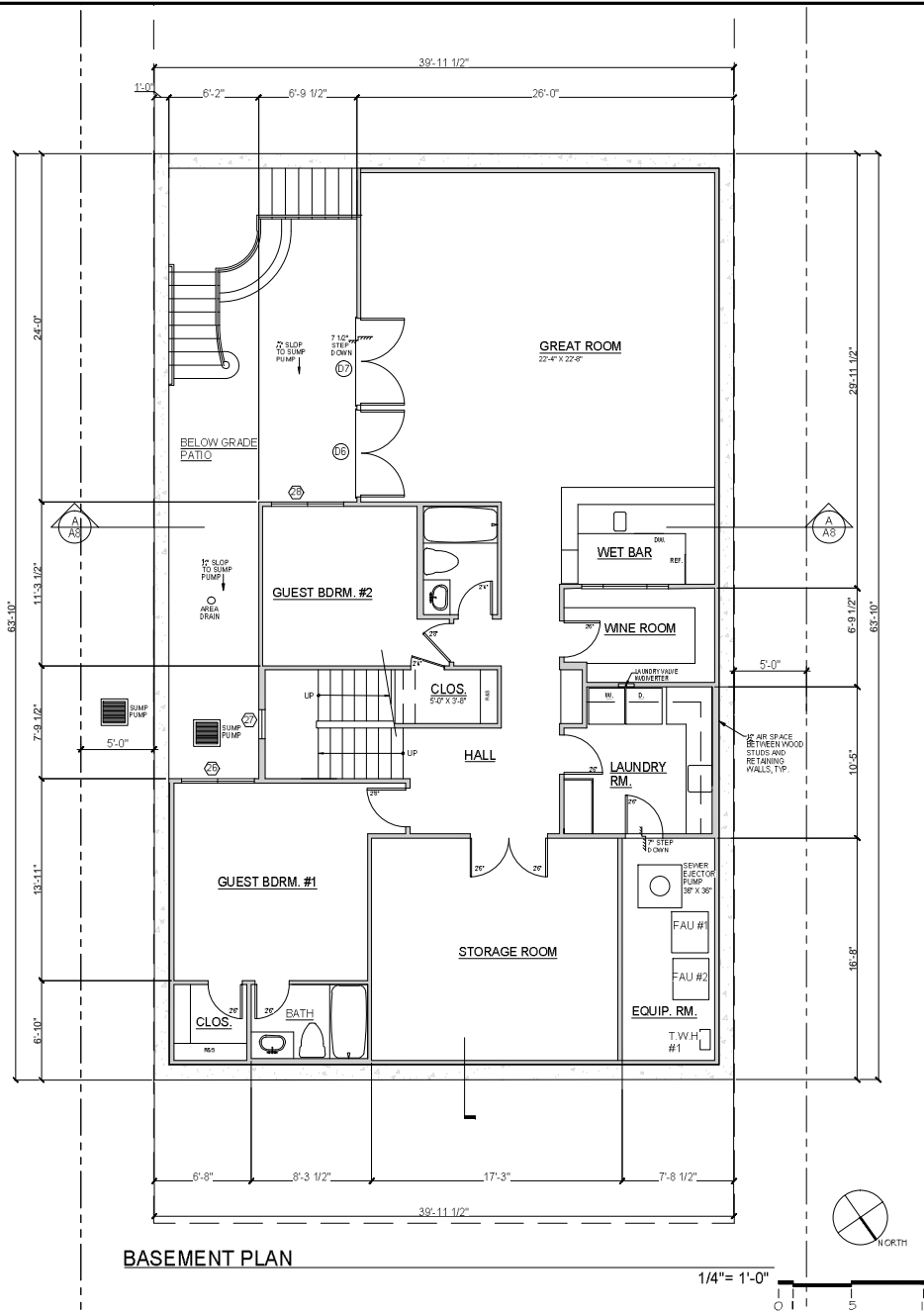


GAS PIPING DIAGRAM

THIS IS A LONGEST RUN.
24' + 19' = 43'

NOTE: STEEL PIPE OR EQUAL PER
2013 CPC.

- BASEMENT FLOOR PLAN NOTES:**
1. **GENERAL NOTES:**
FURNACE #3 IS A TANKLESS WATER HEATER. IT SHALL BE LOCATED IN THE GREAT ROOM. IT SHALL HAVE A BACKFLOW PREVENTER AND A GATE VALVE. IT SHALL BE LOCATED IN THE GREAT ROOM. IT SHALL HAVE A BACKFLOW PREVENTER AND A GATE VALVE. IT SHALL BE LOCATED IN THE GREAT ROOM. IT SHALL HAVE A BACKFLOW PREVENTER AND A GATE VALVE.
 2. **IF PENETRATION IN WALL OR CEILING:**
PENETRATION IN WALL OR CEILING SHALL BE MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL CODES. PENETRATION IN WALL OR CEILING SHALL BE MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL CODES. PENETRATION IN WALL OR CEILING SHALL BE MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL CODES.
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 4. **KITCHEN AND BATH NOTES:**
KITCHEN AND BATH SHALL BE LOCATED IN THE GREAT ROOM. KITCHEN AND BATH SHALL BE LOCATED IN THE GREAT ROOM. KITCHEN AND BATH SHALL BE LOCATED IN THE GREAT ROOM. KITCHEN AND BATH SHALL BE LOCATED IN THE GREAT ROOM.
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BASEMENT PLAN

1/4" = 1'-0"



REVISIONS	BY
1-19-16	H.A.
9-6-16	H.A.

KOHLER ASSOCIATES ARCHITECTS

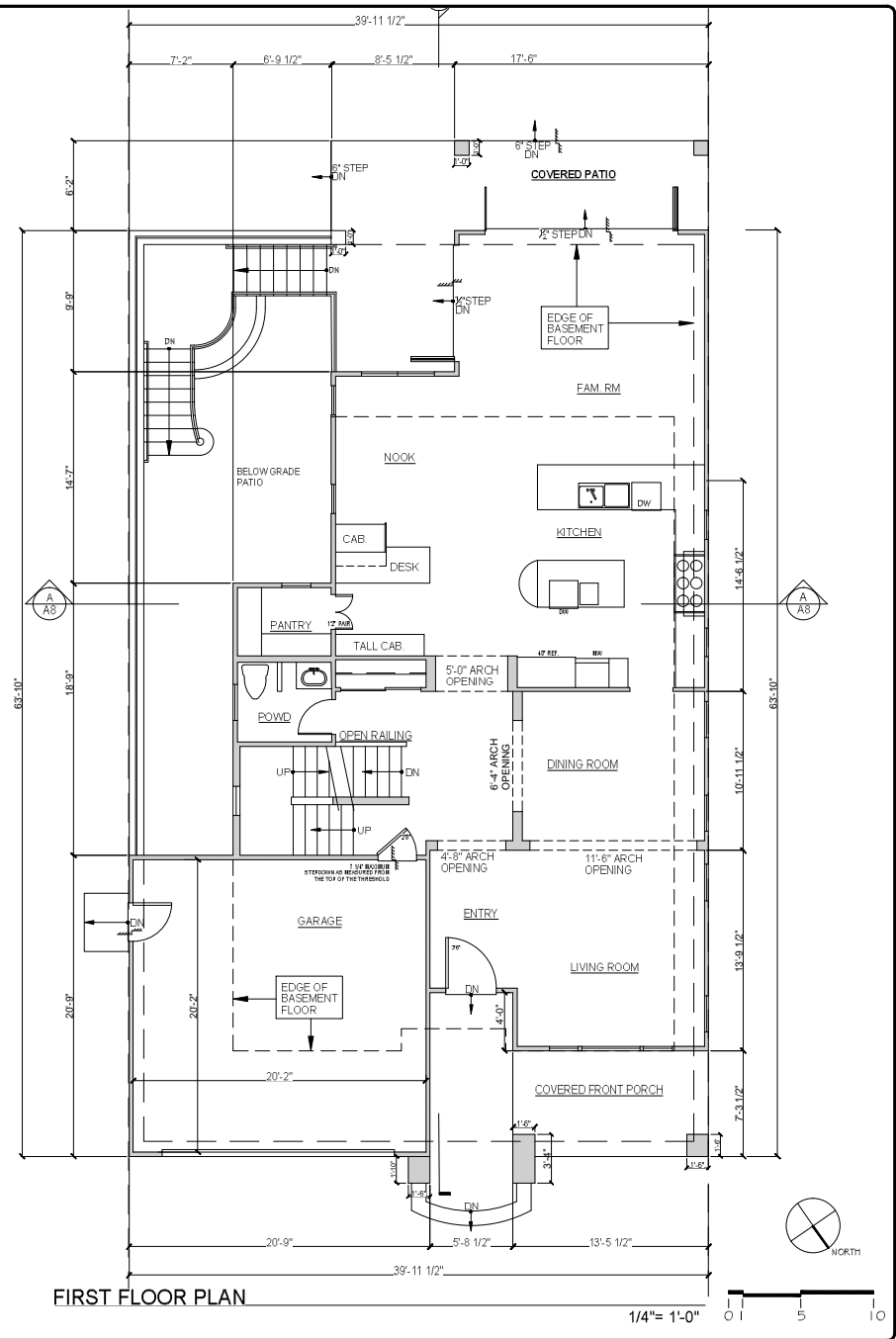
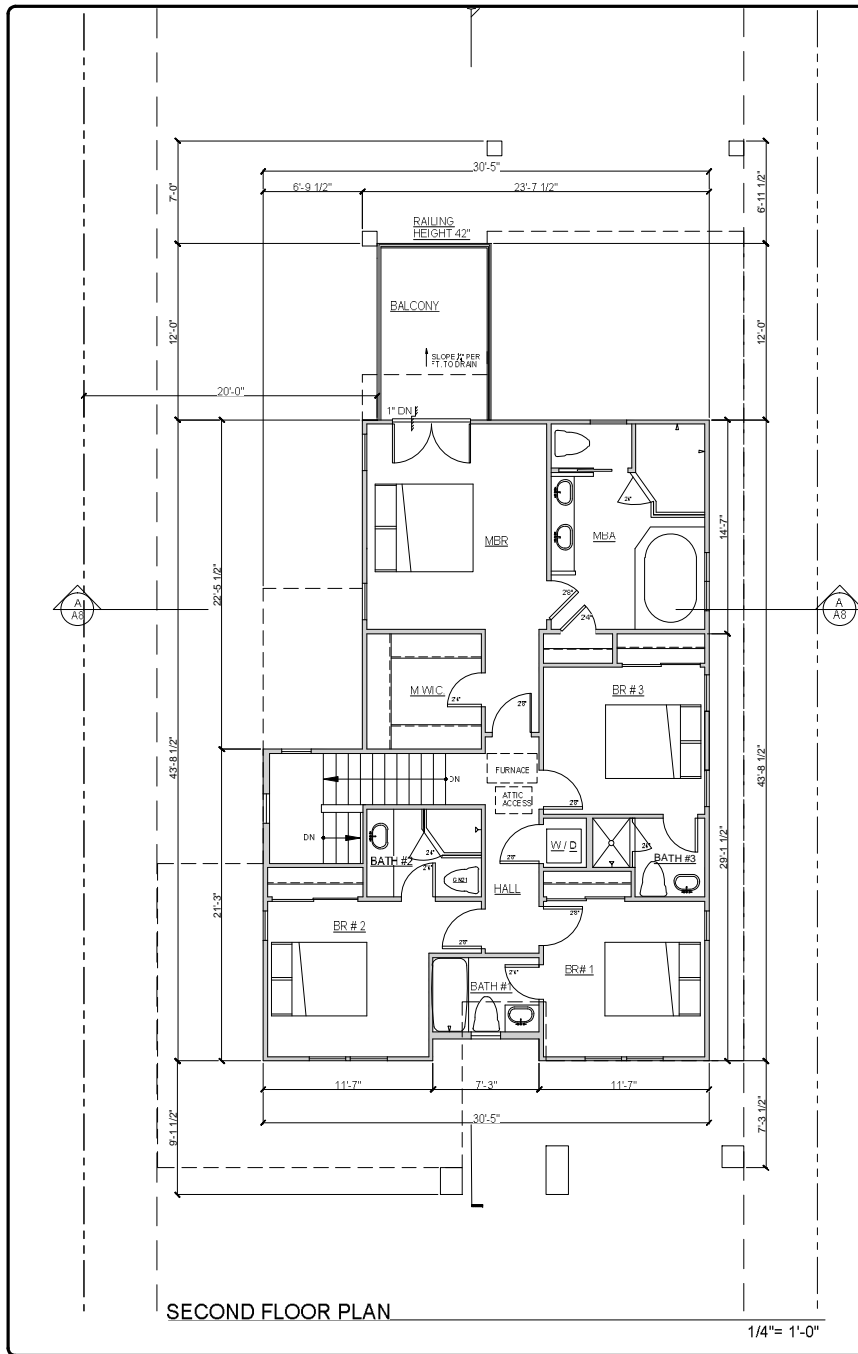
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NEW RESIDENCE FOR:
MORTEZA NASSIRI
317 YALE ROAD
MENLO PARK, CALIFORNIA

BASEMENT FLOOR PLAN

DRAWN	RAI
CHECKED	
DATE	9-14-15
SCALE	1/4" = 1'-0"
JOB NO.	317 YALE RD.
SHEET	

A3



REVISIONS	BY
1-19-16	H.A.
3-23-16	H.A.
4-12-16	H.A.
9-6-16	H.A.



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NEW RESIDENCE FOR:
MORTEZA NASSIRI
 317 YALE ROAD
 MENLO PARK, CALIFORNIA

FIRST & SECOND FLOOR PLANS
 FLOOR AREA CALCULATIONS

DRAWN	RAL
CHECKED	
DATE	9-14-15
SCALE	1/4" = 1'-0"
JOB NO.	317 YALE RD.
SHEET	

A4

317 YALE ROAD ROOF NOTES:

1. ALL ROOF TO BE COMPOSITION SHINGLES ROOF, TO SLOPE 4 IN 12 U.O.N.
CLASS 'B' FIRE RATING. GAF ROOFING. ICC ESR-1475.
2. PROVIDE VALLEY FLASHING PER 2013 CRC.
3. PROVIDE FLASHING AT JUNCTION BETWEEN ROOFS & WALLS PER 2013 CRC.
4. ALL SKYLIGHT CURBS TO BE MIN. 4" HIGH.
5. ALL PLUMBING VENTS SHALL BE MINIMUM OF 10 FEET AWAY FROM OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS.
6. ALL ROOF VENTILATION SHALL CONFORM TO 2013 CRC SECTION R806.
7. **SECOND FLOOR ROOF VENTILATION:**

AREA = 1,094.21 SQ.FT.
REQUIRED VENTING = 1,050.44 SQ.IN. (1,094.21 / 150 x 144)
(3) 2" DIA. HOLES PER RAFTER BAY x 45 BAYS = 423.9 SQ.IN.
(7) ROOF VENTS (97.50 SQ. IN. FREE FLOW AREA) = 682.5 SQ.IN.
ACTUAL VENTING PROVIDED = 423.9 + 682.5 = 1106.4 SQ.IN.

FIRST FLOOR ROOF VENTILATION AT LIVING & DINING ROOM & KITCHEN:

AREA = 103.57 SQ.FT.
REQUIRED VENTING = 99.42 SQ.IN. (103.57 / 150 x 144)
(3) 2" DIA. HOLES PER RAFTER BAY x 18 BAYS = 169.56 SQ.IN. (O.K.)

FIRST FLOOR ROOF VENTILATION AT NOOK & FAMILY ROOM:

AREA = 225.02 SQ.FT.
REQUIRED VENTING = 216.02 SQ.IN. (225.02 / 150 x 144)
(3) 2" DIA. HOLES PER RAFTER BAY x 10 BAYS = 94.2 SQ.IN.
(2) ROOF VENTS (97.5 SQ. IN. FREE FLOW AREA) = 195 SQ.IN.
ACTUAL VENTING PROVIDED = 94.2 + 195 = 289.2 SQ. IN. (O.K.)

FIRST FLOOR ROOF VENTILATION AT POWD ROOM & PANTRY:

AREA = 74.25 SQ.FT.
REQUIRED VENTING = 77.34 SQ.IN. (74.25 / 150 x 144)
(3) 2" DIA. HOLES PER RAFTER BAY x 8 BAYS = 75.36 SQ.IN.
(1) ROOF VENTS (97.5 SQ. IN. FREE FLOW AREA) = 97.5 SQ.IN.
ACTUAL VENTING PROVIDED = 97.5 + 75.36 = 172.86 SQ. IN. (O.K.)

FIRST FLOOR ROOF VENTILATION AT STAIRS:

AREA = 52.5 SQ.FT.
REQUIRED VENTING = 50.4 SQ.IN. (52.5 / 150 x 144)
(3) 2" DIA. HOLES PER RAFTER BAY x 6 BAYS = 56.52 SQ.IN. (O.K.)

ROOF VENTILATION AT FRONT PORCH:

PROVIDE 2" CONTINUOUS SOFFIT VENTS FOR VENTILATION AT CEILING SOFFIT.
(1) ROOF VENT. SEE ROOF PLAN FOR LOCATION.

ROOF VENTILATION AT REAR PORCH:

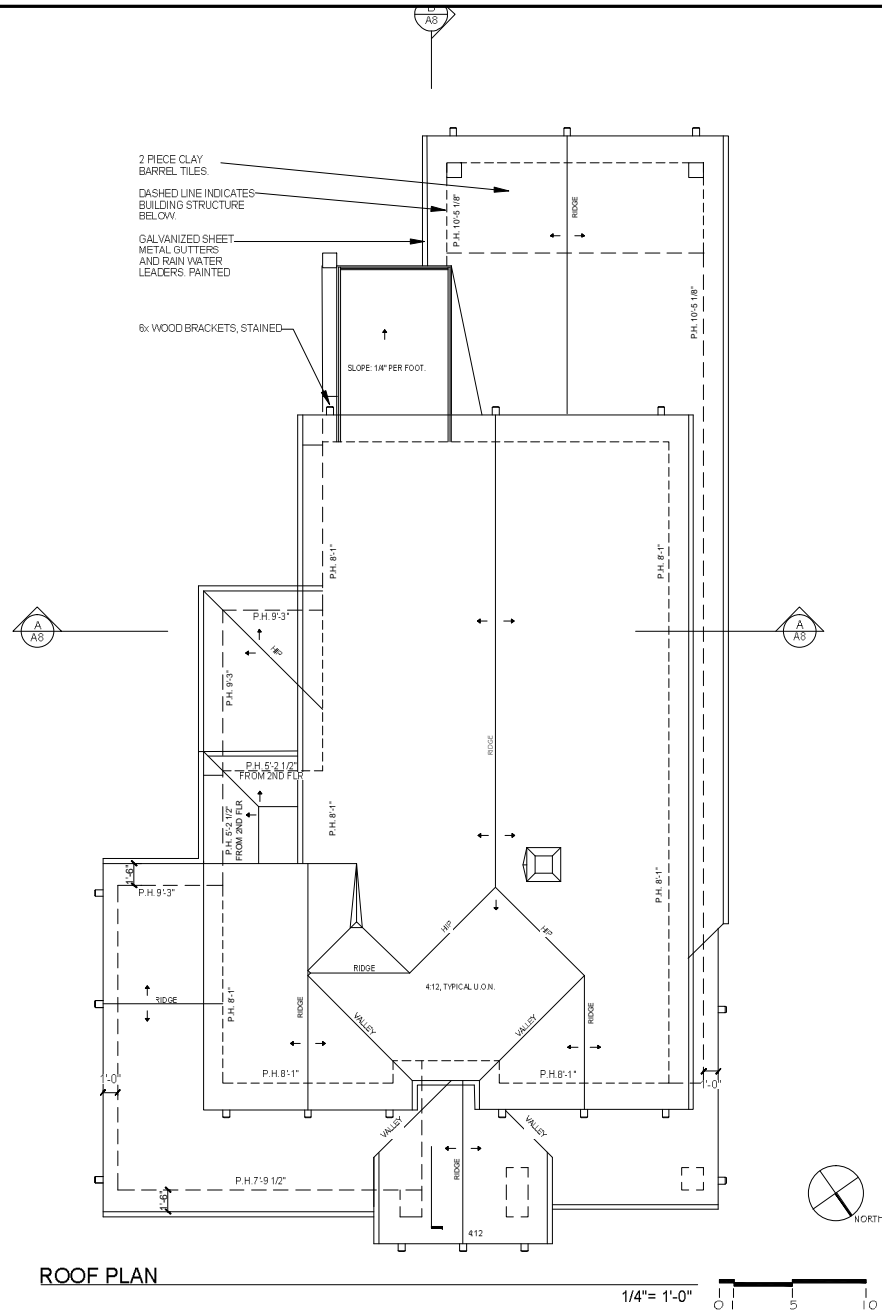
PROVIDE 2" CONTINUOUS SOFFIT VENTS FOR VENTILATION AT CEILING SOFFIT.

8. VENT HOLES TO BE -

2" DIAMETER HOLE = 3.14 SQ.IN.
(3) 2" DIA. HOLES PER RAFTER BAY = 9.42 SQ.IN./ BAY
MIN. 3" CLEAR FROM END OF BLOCK.
MIN. 1 1/2" CLR. FROM TOP OF BLOCK.
MIN. 3" CLR. FROM OTHER VENT HOLES.

9. INSTALL ROOF VENTS LOCATIONS PER 2013 CRC R806.2, AND R806.2 EX.2.

10. ROOF VENTS AT SLOPED ROOF TO BE O'HAGIN 'S' STYLE TILES FOR SPANISH TILE ROOF WITH 97.50 SQ. IN. OF NET FREE VENTILATION AREA.
ROOF VENT AT FLAT ROOF TO BE AWARD METALS TRUE 38 WITH 38 SQ. IN. OF NET FREE VENTILATION AREA.



ROOF PLAN

REVISIONS	BY
1-19-16	H.A.
9-6-16	H.A.



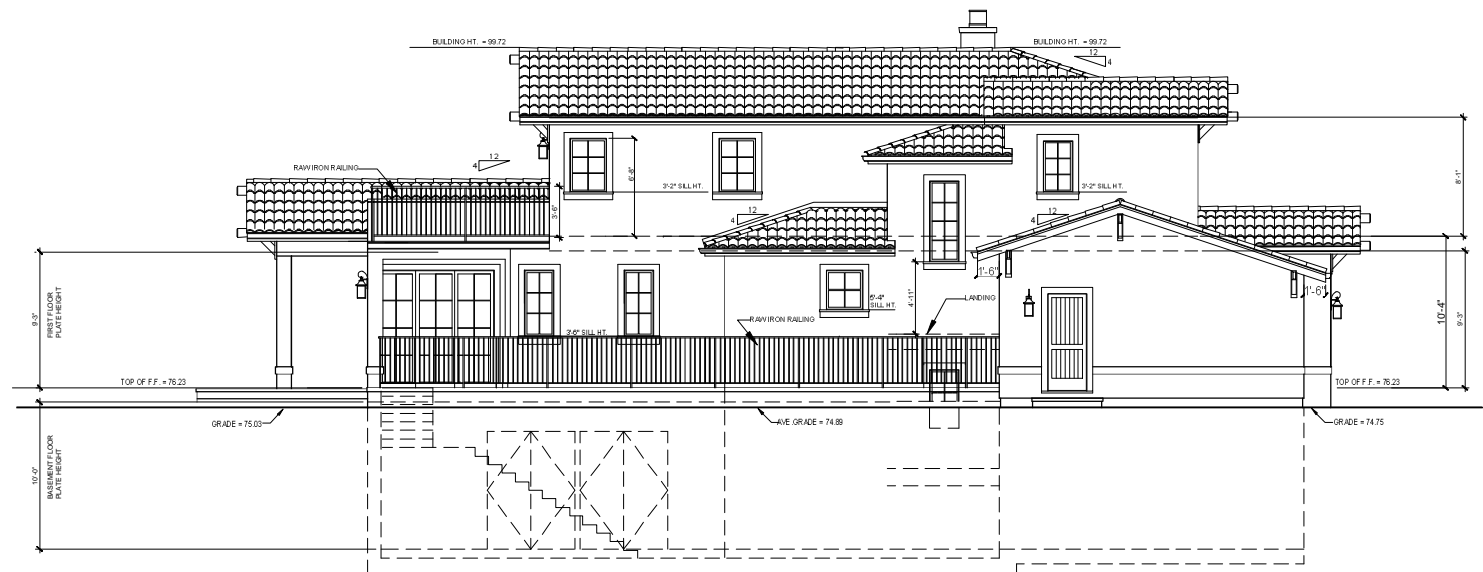
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NEW RESIDENCE FOR:
MORTEZA NASSIRI
317 YALE ROAD
MENLO PARK, CALIFORNIA

ROOF PLAN

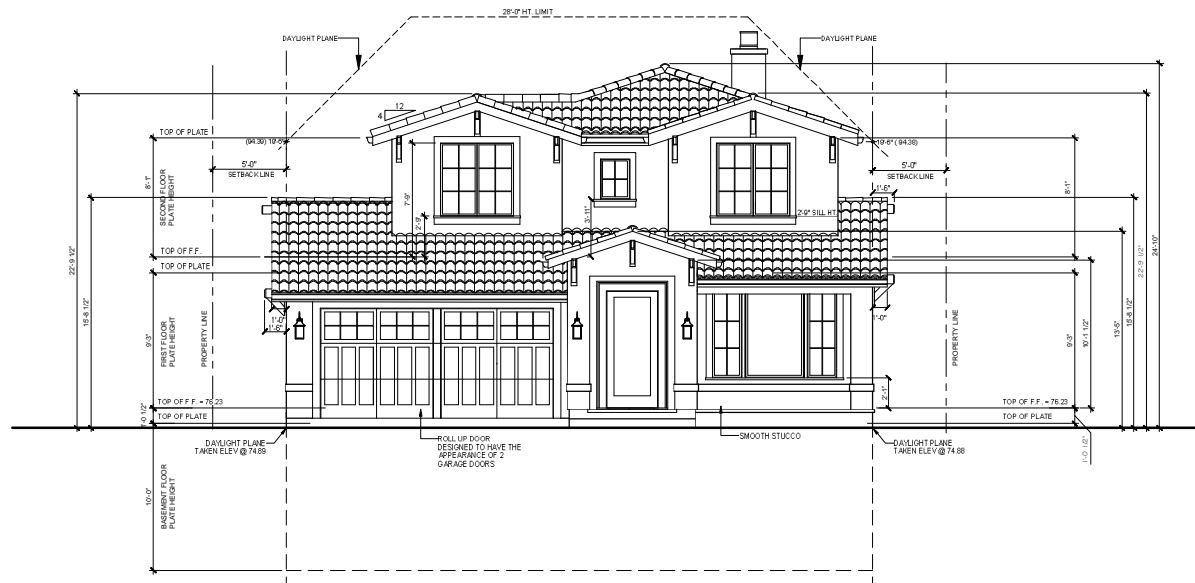
DRAWN RAL
CHECKED
DATE 9-14-2015
SCALE 1/4" = 1'-0"
JOB NO. 317 YALE RD.
SHEET

A5
SHEETS



LEFT ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"

EXTERIOR MATERIAL & FINISH SCHEDULE	
ROOF :	TWO-PIECE CLAY BARREL TILES
GUTTERS & DOWNSPOUTS:	GALVANIZED IRON PAINTED TO MATCH TRIM
EXTERIOR WALLS:	SMOOTH TEXTURE STUCCO
EXTERIOR TRIM:	WOOD - PAINTED
TERRACE:	TILE OR SLAB
RAILING:	WROUGHT IRON - BRONZE
ENTRY DOOR:	CUSTOM GLASS & RAIL IRON
DOORS:	CLAD WOOD - PAINTED
WINDOWS:	CLAD WINDOWS W/ CLEAR INSULATED GLASS W/ EXTERIOR APPLIED MUNTIN BARS W/ BETWEEN THE GLASS SPACER BAR & INTERIOR APPLIED WOOD MUNTIN BARS.
GARAGE DOOR:	WOOD - STAINED OR PAINTED
PORCH SLAB:	TILE OR STONE
DRIVEWAY:	PAVERS/STAMPED CONCRETE

REVISION NO.	BY
1-19-16	H.A.
3-23-16	H.A.
9-6-16	H.A.



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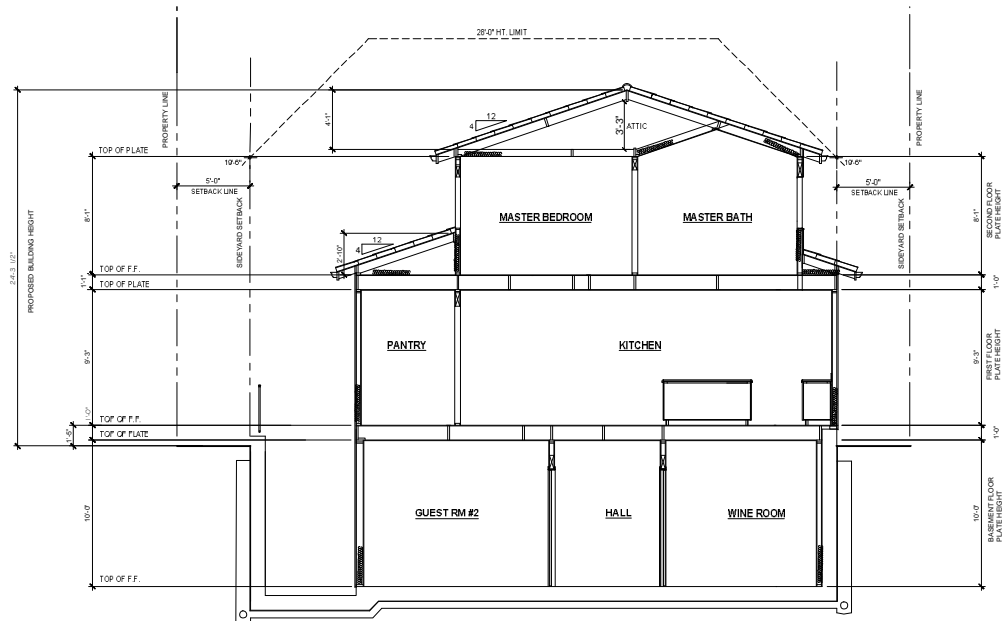
NEW RESIDENCE FOR:
MORTEZA NASSIRI
 317 YALE ROAD
 MENLO PARK, CALIFORNIA

EXTERIOR ELEVATIONS

DRAWN	RL
CHECKED	
DATE	9-14-2015
SCALE	1/4" = 1'-0"
JOB NO.	317 YALE RD.
SHEET	

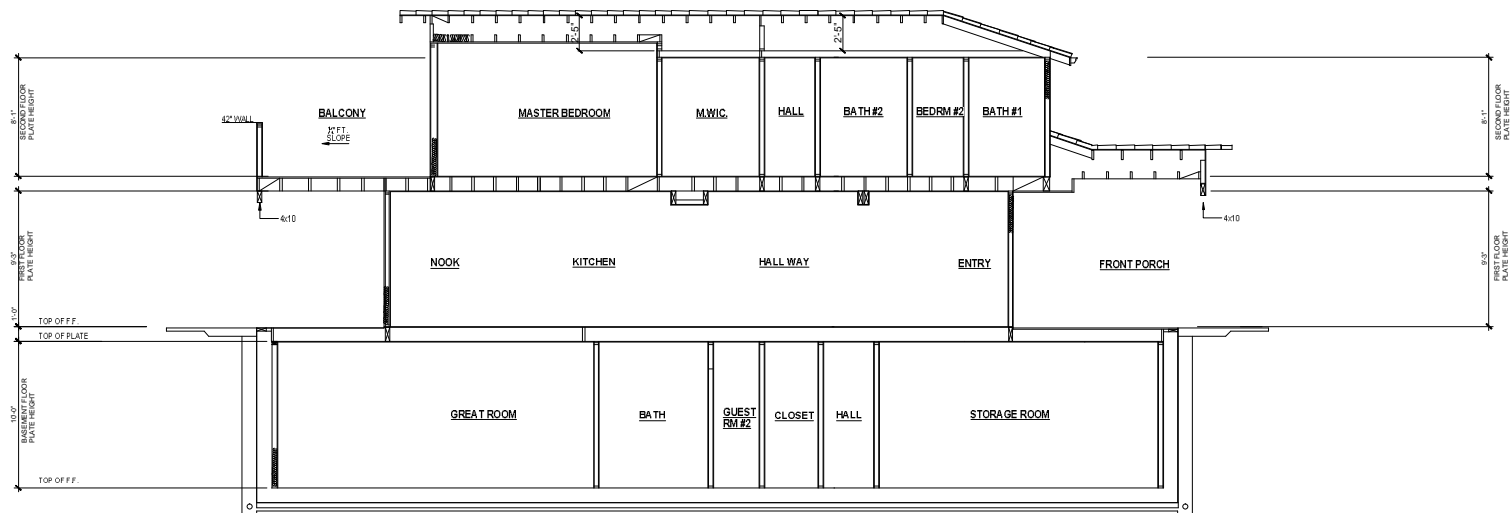
A6

OF SHEETS



BUILDING SECTION A-A

1/4" = 1'-0"



BUILDING SECTION B-B

1/4" = 1'-0"

REVISIONS	BY
1-19-16	H.A.
9-6-16	H.A.

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317 YALE ROAD
MENLO PARK, CALIFORNIA

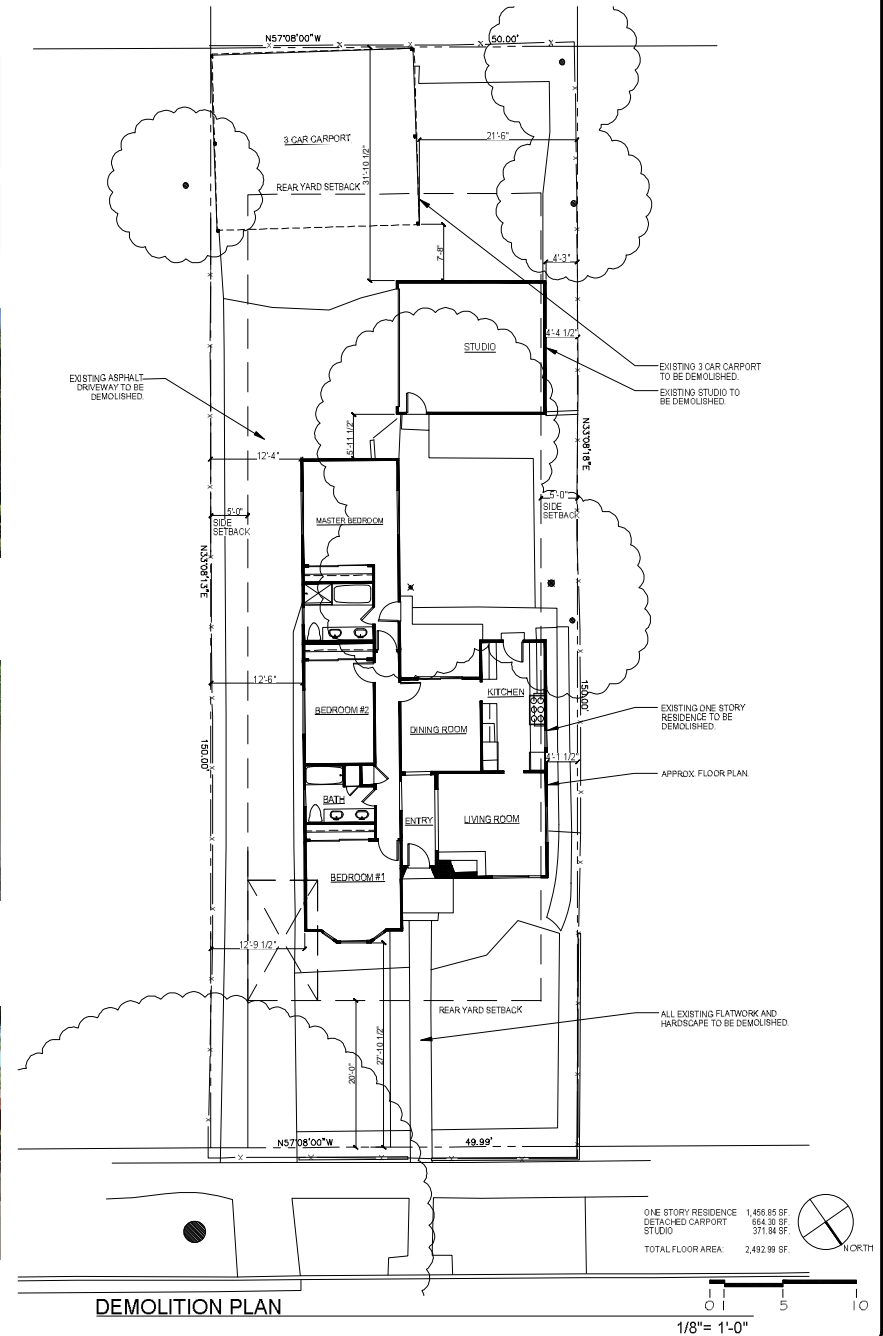
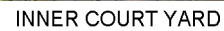
BUILDING SECTIONS

DRAWN	RL
CHECKED	
DATE	9-14-2015
SCALE	1/4" = 1'-0"
JOB NO.	317 YALE RD.
SHEET	

A8
OF SHEETS

TOTAL FLOOR AREA = 2,492.99 SF.

CONTRACTOR TO PROVIDE WATER TRUCK OR HOUSE BIB
FOR REQUIRED DUST CONTROL DURING DEMOLITION.



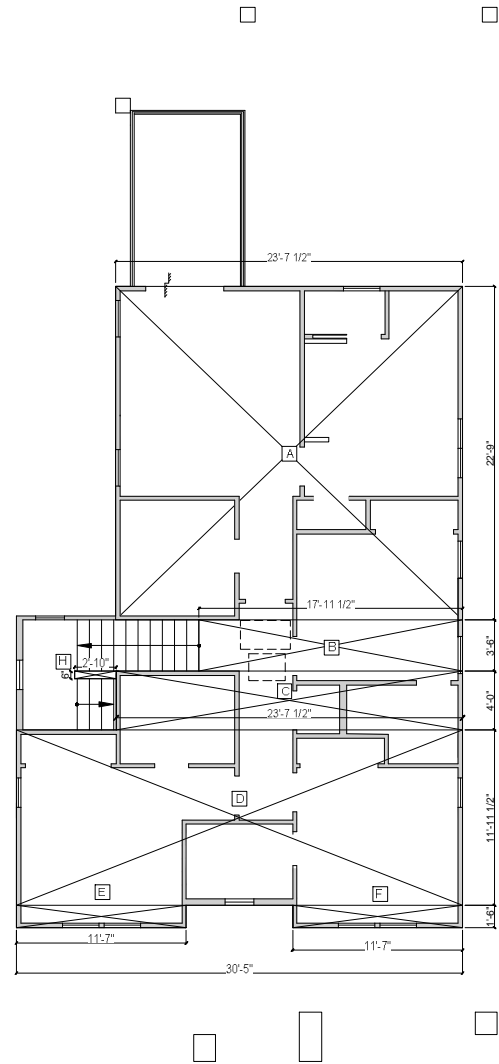
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CHECKED
DATE 9-14-15
SCALE 1/8" = 1'-0"
JOB NO. 317 YALE RD.
SHEET D1

FLOOR AREA CALCULATIONS

FIRST FLOOR			
A	17.50	10.16	177.80
B	26.00	14.25	370.50
C	32.79	19.04	624.32
D	19.50	9.16	178.62
E	13.45	4.04	54.34
TOTAL			1405.58
GARAGE			
G1	13.29	9.16	121.74
G2	7.16	9.45	67.66
G3	20.75	11.29	234.27
TOTAL			423.67
SECOND FLOOR			
A	23.62	22.75	537.36
B	17.95	3.50	62.83
C	23.62	4.00	94.48
D	30.41	11.95	363.40
E	11.58	1.50	17.37
F	11.58	1.50	17.37
H	2.83	0.50	1.42
			1094.21
TOTAL			2923.46

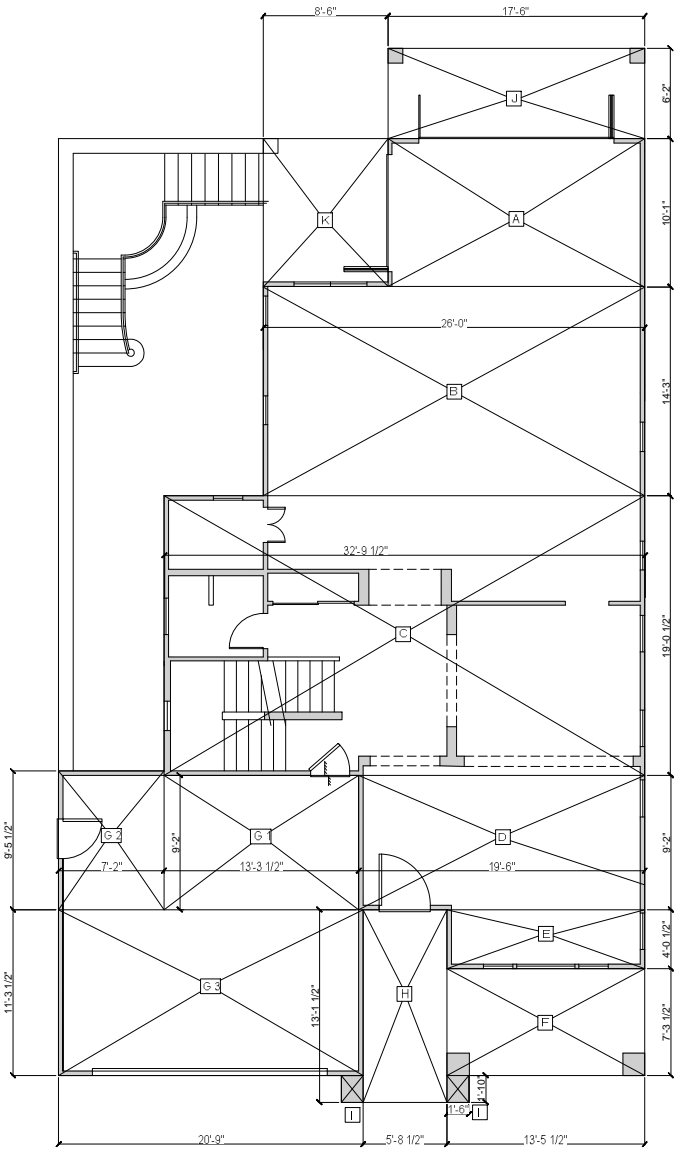
BUILDING COVERAGE CALCULATIONS

BUILDING COVERAGE CALCULATION			
F	13.45	7.29	98.05
H	5.70	13.12	74.78
I x 2	1.50	1.83	5.48
J	17.50	6.16	107.80
K	8.50	10.08	85.68
First floor and garage			1829.22
TOTAL BUILDING COVERAGE			2201.01



SECOND FLOOR AREA CALCULATION

1/4"= 1'-0"



FIRST FLOOR AREA CALCULATION

1/4"= 1'-0"

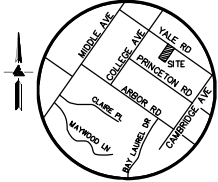
REVISIONS	BY
1-19-16	H.A.
3-23-16	H.A.
9-6-16	H.A.

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NEW RESIDENCE FOR:
MORTEZA NASSIRI
317 YALE ROAD
MENLO PARK, CALIFORNIA

FIRST & SECOND FLOOR PLANS
AREA CALCULATIONS

DRAWN MK
CHECKED
DATE 9-14-2015
SCALE 1/4" = 1'-0"
JOB NO. 317 YALE RD.
SHEET FA



VICINITY MAP
NO SCALE

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)

BENCHMARK

CITY OF MENLO PARK
BENCHMARK U0110
DISK SET IN MASSIVE STRUCTURE LOCATED 0.1 MILE SOUTHWEST OF THE SOUTHERN PACIFIC COMPANY RAILROAD STATION, AT THE INTERSECTION OF SANTA CRUZ AVENUE AND EL CAMINO REAL
ELEV= 73.0' (NAVD 88)

EASEMENT NOTE

A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY LEA & BRAZE ENGINEERING, INC. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 73.64' (NAVD 88)

BOUNDARY NOTE

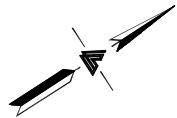
THE BOUNDARY SURVEY AS SHOWN WAS CREATED FROM A DETAILED BOUNDARY SURVEY PERFORMED BY LEA AND BRAZE ENGINEERING, INC. THE FINAL RESULTS ARE DUE TO PROVISION OF THE OVERALL BLOCK AS DICTATED BY CALIFORNIA BOUNDARY LAW

LOT 11

LOT 9

LEGEND AND NOTES

---	BOUNDARY LINE	⊙	JOINT POLE
- - -	CATV	○ SSCO	SANITARY SEWER CLEAN-OUT
- - -	ELECTRICAL OVERHEAD LINE	□ WM	WATER METER
- - -	ELECTRICAL/TELEPHONE/	⊕	BENCHMARK
- - -	CABLE TV OVERHEAD LINE	XXXXXX	SPOTGRADE
- - -	FENCE LINE		
- - -	SANITARY SEWER LINE		ASPHALT
- - -	TELEPHONE OVERHEAD LINE		CONCRETE
DW	DRIVEWAY		LAWN
FF	FINISH FLOOR		TILE
FL	FLOW LINE		
M-	MULTIPLE TRUNKS		TREE: TYPE AND
RP	ROOF PEAK		SIZE AS NOTED
TC	TOP OF CURB		
TOS	TOP OF SLAB		
VCP	VITRIFIED CLAY PIPE		
□ EM	ELECTRICAL METER		
□ GM	GAS METER		



0 4 8 16
SCALE: 1" = 8'



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS
SACRAMENTO REGION
SACRAMENTO, CALIFORNIA 95805
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OCT 11 2016

CITY OF MENLO PARK
BUILDING



KOHLER ASSOCIATES
ARCHITECTS

DATE October 10, 2016

PAGE 1 OF 1

Project: New Home at 317 Yale Road, Menlo Park, California, 94025
Description of Proposed Change Floor Plan

To: City of Menlo Park Planning Department
Attention: Corinna Sandmier

Dear Ms. Sandmier

As the owner request, we rearranged the interior layout of the house and revised and relocated windows according to the new floor plan. The concept and footprint of the house didn't change. Below is an itemized list of all proposed changes:

1. Removed the Guest room on first floor to have a bigger Nook.
2. Added two windows in Dinning room to have more light in the room.
3. Rearranged the Master Bath, kept the same footprint just rearranged the layout to creat a smooth traffic flow.
4. Added a Bathroom in second floor.
5. Rear roof over Bedroom #2 changed from Hip to Gable to creat Cathedral ceiling.
6. Created small fat roof over stairs for drainage purposes.

If you you have any other questions, please feel free to give me a call or via email.

Roger K. Kohler , Architect, C-7334
650-328-1086 phone 650-321-2860,

721 COLORADO AVENUE, SUITE 102

PALO ALTO, CALIFORNIA 94303

650-328-1086

email: haleh@kohler-architects.com

FAX 650-321-2860



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**
701 Laurel Street
Menlo Park, CA 94025
phone: (650) 330-6702
fax: (650) 327-1653
planning@menlopark.org
http://www.menlopark.org

DATA SHEET

Please provide the appropriate information pertaining to your application. It is important to complete the existing and proposed development forms even if the existing structure is being demolished or if there is no specific zoning ordinance requirement.

LOCATION: 317 YALE ROAD, MENLO PARK, CALIFORNIA			
EXISTING USE: SINGLE FAMILY	APPLICANT: ROGER KOHLER, ARCHITECT		
PROPOSED USE: SINGLE FAMILY	PROPERTY OWNER(S): MORTEZA NASSIRI		
ZONING: R-1-U	APPLICATION(S):		
DEVELOPMENT STANDARDS	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	1,405.58 sq ft	1,405.58 sq ft	7,499.00 sq ft min.
Lot width	50.00' ft	50.00' ft	50.00' ft min.
Lot depth	150.00' ft	150.00' ft	150.00' ft min.
Setbacks			
Front	30.50' ft	31.83' ft	20.00' ft min.
Rear	50.00' ft	51.87' ft	20.00' ft min.
Sides (both)	5.00' ft	12.50' ft	5.00' ft min.
Sides (each)	5.00' ft	4.33' ft	5.00' ft min.
Building coverage	2,209.57 sq ft	2,492.50 sq ft	2,824.65 sq ft max.
FAR (Floor Area Ratio)*	29.28 %	35.00 %	38.80 % max.
FAR (Floor Area Ratio)**	2,509.09 sq ft	2,325.00 sq ft	2,325.00 sq ft max.
FAR (Floor Area Ratio)**	39.95 %	33.00 %	33.00 % max.
Square footage by floor			
Below grade	1,902.31 sq ft	1,492.60 sq ft	
1st	1,405.58 sq ft	1,492.60 sq ft	
2nd	1,094.21 sq ft		
Accessory building(s)	423.67 sq ft		
other		563.90 sq ft	
other		371.84 sq ft	
Square footage of building	2,923.46 sq ft	2,456.50 sq ft	28.00' ft max.
Building height	24.57' ft	15.00' ft	28.00' ft min.
Landscaping**			10.00' ft min.
Paving**			10.00' ft min.
Parking	2 CARS spaces	3 CARS spaces	2 CARS spaces
Defined Basis for Parking	(Example: 1 covered/1 uncovered per residential unit or # of spaces/square feet)		
Traces	# of existing Heritage trees	# of existing non-heritage trees	# of new trees
	0	0	0
	# of existing Heritage trees to be removed	# of non-heritage trees to be removed	Total # of trees
	0	0	0

* Commercial and Multiple-residential properties | ** Single family residential and R-2 zoned properties | *** Commercial, Multiple-residential, and R-2 zoned properties
Updated March 2008

PROJECT DIRECTORY

OWNER: MORTEZA NASSIRI
ARCHITECT: KOHLER ASSOCIATES ARCHITECTS
721 COLORADO AVE., SUITE 102
PALO ALTO, CA 94303
P: 650 328 1066
F: 650 321 2860
ROGER@KOHLER-ARCHITECTS.COM
CIVIL ENGINEER: LEA & BRAZE ENGINEERING, INC.
2485 INDUSTRIAL PARKWAY WEST
HAYWARD, CALIFORNIA 94545
P: 510 887 4086
F: 510 887 3019
WWW.LEABRAZE.COM
ARBORIST: KIELTY ARBORIST SERVICES LLC
PO BOX 6187
SAN MATEO, CA 94033
P: 650 515 9783
KKARBOR0478@YAHOO.COM

SCOPE OF WORK

THIS PROJECT CONSIST OF THE REMOVAL OF THE EXISTING SINGLE FAMILY RESIDENCE. A NEW TWO STORY RESIDENCE WITH A BASEMENT WILL BE BUILT. SITE IMPROVEMENTS WILL BE LIMITED TO STEPS, TERRACES, WALKWAYS AND A DRIVEWAY. A LIGHT WELL WITH STEPS WILL SERVE THE BASEMENT LEVEL.

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DESIGNS PRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF KOHLER ASSOCIATES ARCHITECTS AND WERE DEVELOPED FOR USE ON THIS SPECIFIC PROJECT ONLY. THESE DRAWINGS AND THE DESIGNS THEY REPRESENT SHALL NOT BE USED BY OTHERS.

DRAWING SHEET INDEX

- A1 SITE PLAN, SITE DATA, VICINITY MAP
A2 AREA SITE PLAN
SU1 SURVEY PLAN
D1 DEMOLITION PLAN
A3 BASEMENT PLAN
A4 FIRST & SECOND FLOOR PLANS
A5 ROOF PLAN
A6 EXTERIOR ELEVATIONS
A7 EXTERIOR ELEVATIONS
A8 BUILDING SECTIONS
FA1 FIRST & SECOND FLOOR PLAN AREA CALCULATIONS

SITE PLAN LEGEND

- PROPERTY LINE = ---
SETBACK LINE = ---
NEW FIRST FLOOR = []
NEW SECOND FLOOR = []
(E) TREE TO REMAIN = ○
(E) TREE TO BE REMOVED = ✕
INDICATES TREES FROM ARBORIST REPORT = □
TREE PROTECTION FENCE = []
PROJECT INFORMATION

APN: 010 005 002
ADDRESS: 317 YALE ROAD
MENLO PARK, CALIFORNIA
ZONE: R1U
BUILDING OCCUPANCY: GROUPS
TYPE OF CONSTRUCTION: V-6
STORIES: 2 STORIES W/ BASEMENT
AUTOMATIC SPRINKLERS: YES
FLOOD ZONE: NO

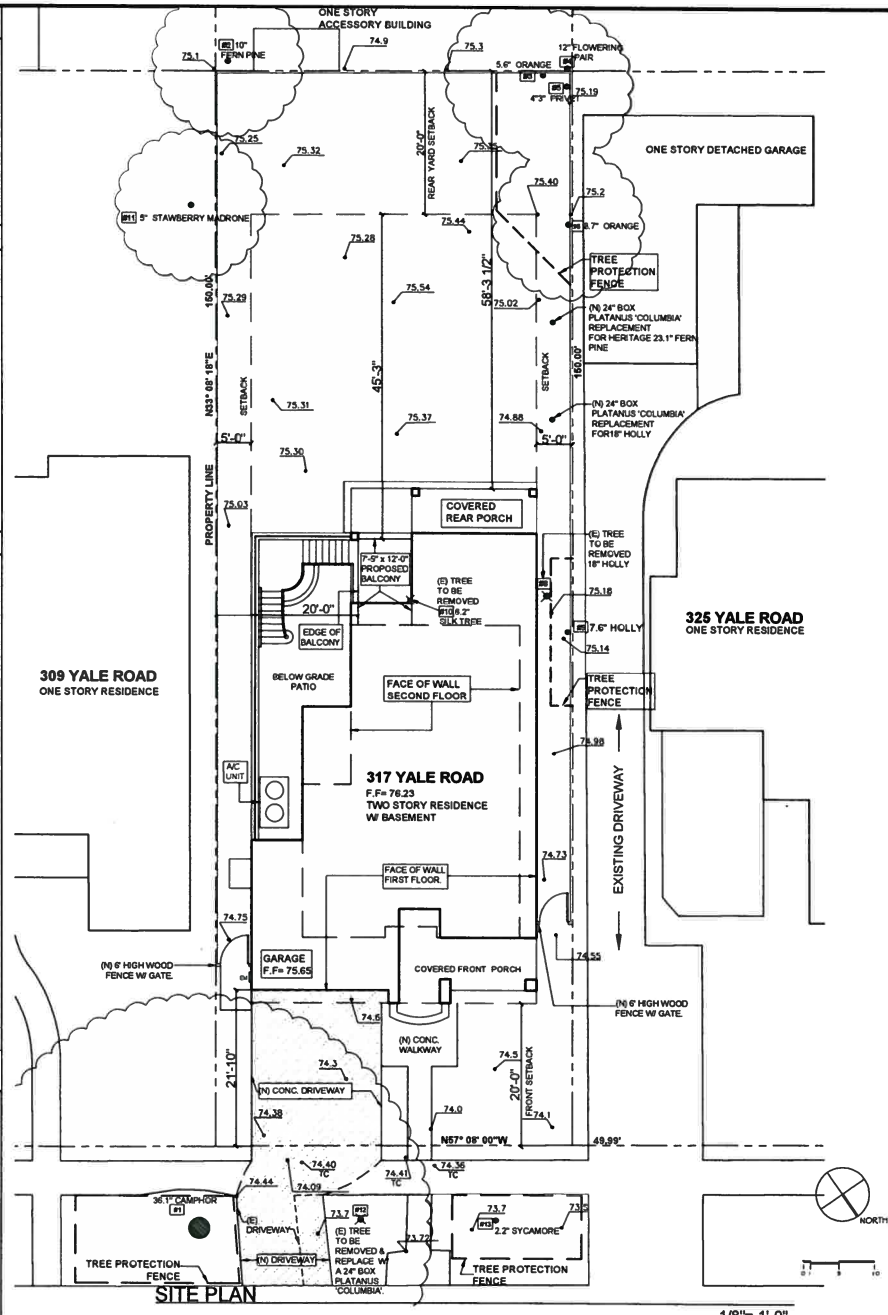
FLOOR AREA SUMMARY

LOT AREA: 7,499.00 or 0.17 acres
FIRST FLOOR: 1,405.58
SECOND FLOOR: 1,094.21
TWO CAR GARAGE: 423.67
TOTAL FLOOR AREA: 2,923.46
ALLOWABLE FLOOR AREA: 7,499.00 - 7,000.00 = 499 x .25 = 112.25 + 2,800.00 = 2,924.75
BASEMENT FLOOR: 1,902.31

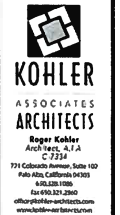
BUILDING COVERAGE SUMMARY

LOT AREA: 7,499.00 or 0.17 acres
FIRST FLOOR: 1,405.58
TWO CAR GARAGE: 423.67
COVERED PORCHES: 371.79
TOTAL BUILDING COVERAGE: 2,201.01
ALLOWABLE BUILDING COVERAGE: 2,924.65

VICINITY MAP



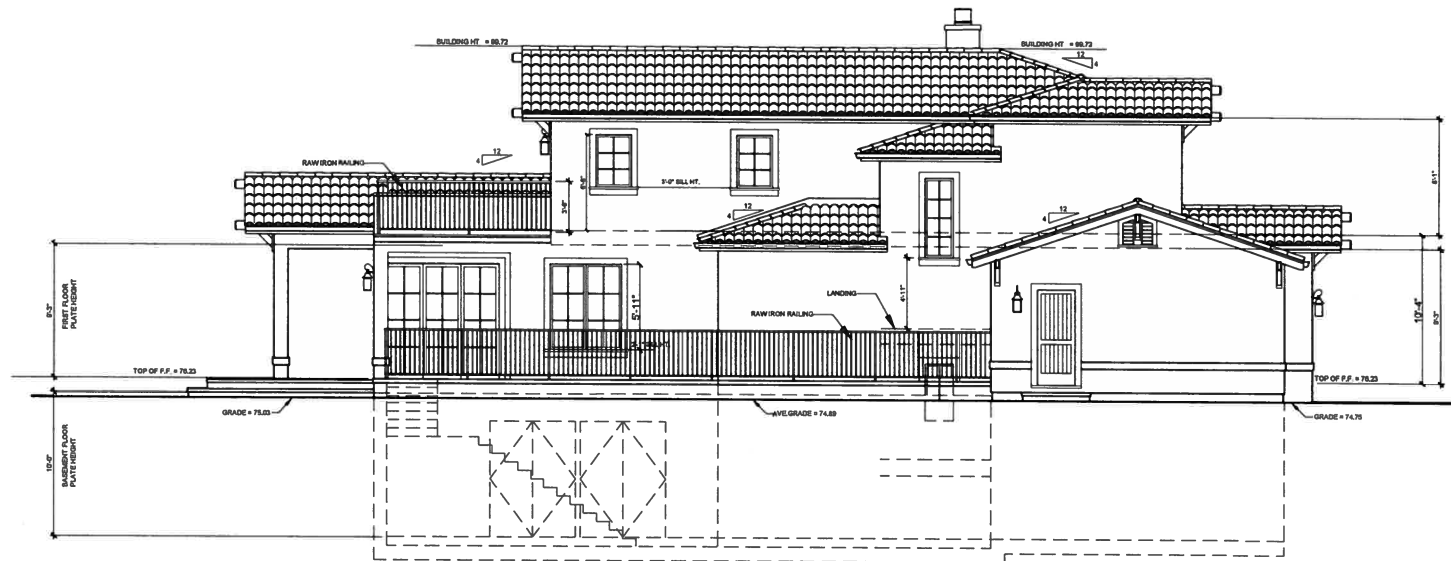
REVISIONS	BY
1-19-16	H.A.
3-23-16	H.A.
4-12-16	H.A.



NEW RESIDENCE FOR:
MORTEZA NASSIRI
317 YALE ROAD
MENLO PARK, CALIFORNIA

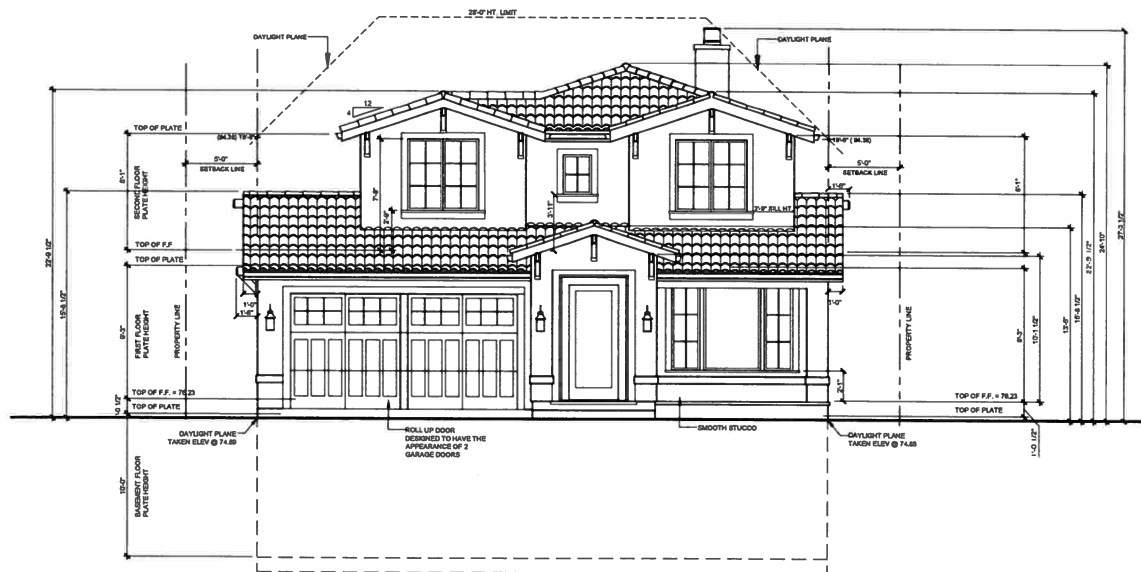
SITE PLAN
PROJECT INFORMATION

DRAWN R.L.
CHECKED
DATE 9-14-15
SCALE 1/8" = 1'-0"
SHEET A1



LEFT ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"

EXTERIOR MATERIAL & FINISH SCHEDULE	
ROOF:	TWO PIECE CLAY BARREL TILES
GUTTERS & DOWNSPOUTS:	GALVALUME IRON PAINTED TO MATCH TRIM
EXTERIOR WALLS:	SMOOTH TEXTURE STUCCO
EXTERIOR TRIM:	WOOD - PAINTED
TERACE:	TILE OR SLAB
RAILINGS:	WROUGHT IRON - BRONZE
ENTRY DOOR:	CUSTOM WOOD & GLASS - STAINED
DOORS:	CLAD WOOD - PAINTED
WINDOWS:	GLASS WINDOWS WITH CLEAR INSULATED GLASS W/ EXTERIOR APPLIED ALUMINUM BARS W/ BETWEEN THE GLASS SPACER BAR & INTERIOR APPLIED WOOD MUNTIN BARS.
GARAGE DOOR:	WOOD - STAINED OR PAINTED
PORCH SLAB:	TILE OR STONE
DRIVEWAY:	PAVERS/STAMPED CONCRETE

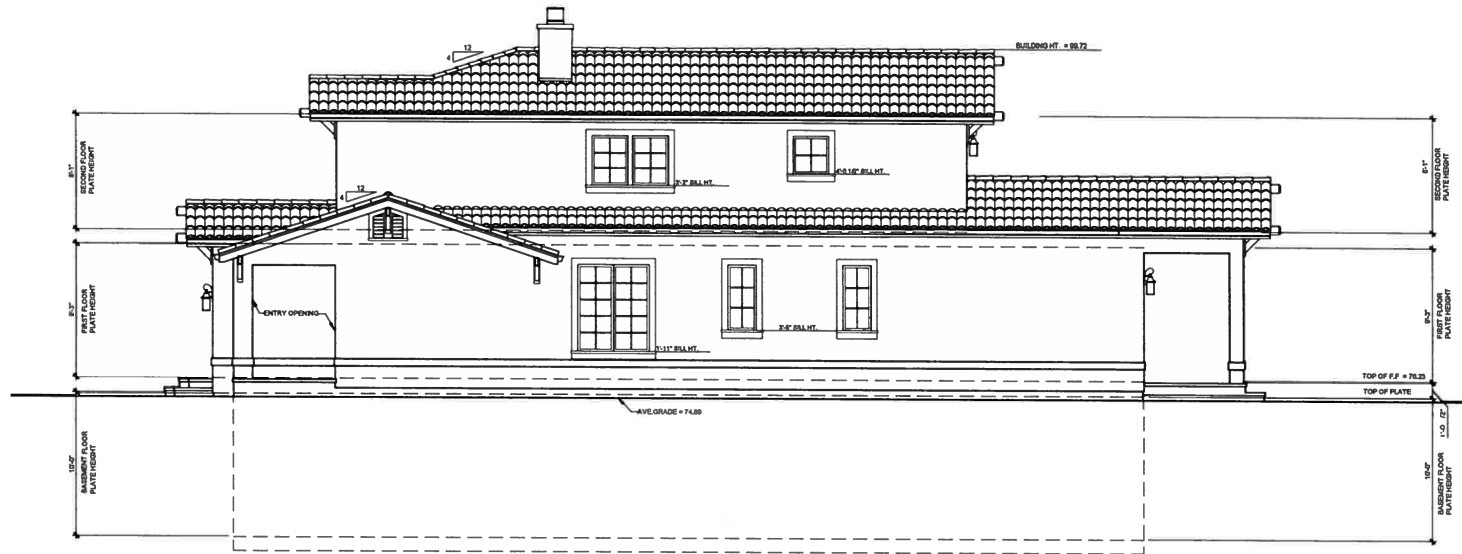
REVISIONS	BY
1-19-16	H.A.
3-23-16	H.A.

KOHLER
ASSOCIATES
ARCHITECTS
Roger Kohler
Architect, AIA
C-7334
771 Colorado Avenue, Suite 102
Menlo Park, California 94025
650.328.1088
rko@kohlerarchitects.com
www.kohlerarchitects.com

NEW RESIDENCE FOR:
MORTEZA NASSIRI
317 YALE ROAD
MENLO PARK, CALIFORNIA

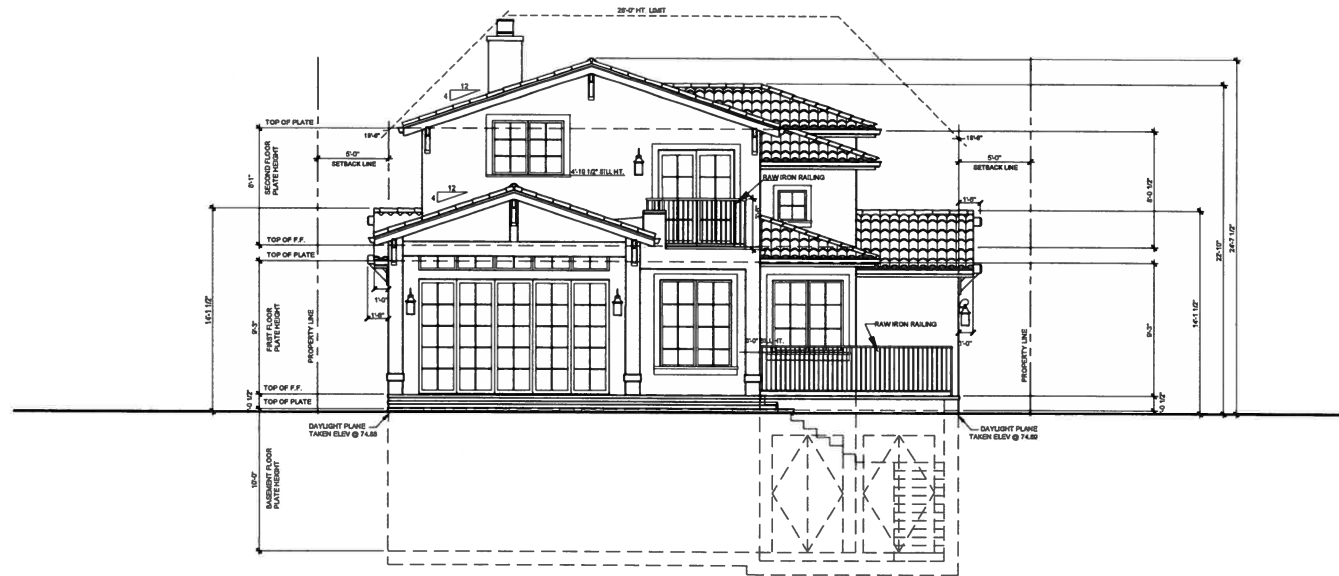
EXTERIOR ELEVATIONS

DRAWN RL
CHECKED
DATE 9-14-2015
SCALE 1/4" = 1'-0"
JOB NO. 317 YALE RD.
SHEET A6



RIGHT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

REVISIONS	BY
1-19-16	H.A.
3-23-16	H.A.

KOHLER
ASSOCIATES
ARCHITECTS

Roger Kohler
Architect, AIA
C-7334

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800.693.3333
office@kohler-architects.com
www.kohler-architects.com

NEW RESIDENCE FOR:
MORTEZA NASSIRI
317 YALE ROAD
MENLO PARK, CALIFORNIA

EXTERIOR ELEVATIONS

DRAWN RL
CHECKED
DATE 9-14-15
SHEET 1/4" = 1'-0"
JOB NO. 317 YALE RD.
SHEET A7

Kielty Arborist Services LLC

P.O. Box 6187
San Mateo, CA 94403

650-215-9783

RECEIVED

MAR 23 2016

**CITY OF MENLO PARK
BUILDING**

February 29, 2016

Kohler Associates Architects
Attn: Mr. Roger Kohler
721 Colorado Avenue Suite 102
Palo Alto, CA 94303

Site: 317 Yale, Menlo Park, CA

Dear Mr. Kohler,

At your request on Monday, February 29, 2016, I reviewed the latest plan set for the above site. Site plan A-1 dated February 23, 2016 was reviewed for this report.

Observations:

The above mentioned plans were well draw with all disturbed areas well displayed. All tree canopies are well displayed.

Summary:

Impacts to the trees are expected to be minor with no long term impacts. All excavation or trenching within the dripline of a protected tree will be supervised by the site arborist.

Inspection Schedule:

The site will be inspected prior to the start of any demolition and again prior to the start of construction. Other inspections will be on an as needed basis. The tree protection will be inspected by the town arborist prior to the start of construction.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A

Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

April 13, 2015 Revised January 11, 2015, Revised again on February 19, 2016

Kohler Associates Architects

attn: Roger Kohler

721 Colorado Ave

Palo Alto, CA 94303

Site: 317 Yale Menlo Park CA, 94025

Dear Mr. Kohler,

As requested on Monday, March 23, 2015 and again on January 11, 2016, I visited the above site to inspect and comment on the trees. Your concern as to the future health and safety of the trees has prompted this visit.

Method:

The significant trees on this site were located on a to scale map provided by you. Each tree was given an identification number. This number was inscribed onto a metal foil tag and nailed to the trees at eye level. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). A condition rating of 1 – 100 was assigned to each tree representing form and vitality using the following scale:

1 - 29	Very Poor
30 - 49	Poor
50 - 69	Fair
70 - 89	Good
90 - 100	Excellent

The height of each tree was estimated and the spread was paced off.

317 Yale/3/23/15 Revised /2/19/16

(2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1*	Camphor (<i>Cinnamomum camphora</i>)	36.1	60	45/40	Good vigor, fair form, multi leader at 5 feet, larger surface roots, street tree.
2*	Fern pine (<i>Podocarpus gracilior</i>)	10est	50	30/20	Fair vigor, fair form.
3	Orange (<i>Citrus sinensis</i>)	5.6	45	10/10	Poor vigor, poor form, suppressed
4*	Flowering pear (<i>Pyrus calleryana</i>)	12est	55	35/30	Good vigor, fair form, heavy lateral limbs, close to property line.
5	Privet (<i>Ligustrum japonicum</i>)	4x3	45	30/20	Poor-fair vigor, poor form, multi leader, in decline, shared tree, bending fence.
6	Orange (<i>Citrus sinensis</i>)	8.7	40	20/20	Poor-fair vigor, fair form, in decline.
7R	Fern pine (<i>Podocarpus gracilior</i>)	23.1	55	45/50	Good vigor, poor form, poor location. Planned for removal
8R	Holly (<i>Ilex aquifolium</i>)	18.0	45	35/20	Poor-fair vigor, poor form, codominant at 2 feet. Planned for removal
9	Holly (<i>Ilex aquifolium</i>)	7.6	50	25/20	Fair vigor, poor form, suppressed.
10R	Silk tree (<i>Albizia julibrissin</i>)	6.2	55	30/25	Fair vigor, poor form, poor location against house, leans at a 45 degree angle. Planned for removal
11*	Strawberry madrone (<i>Arbutus 'Marina'</i>)	5est	60	15/10	Fair vigor, fair form, 4 feet from property line.
12 R	Dogwood (<i>Cornus spp.</i>)	1.5	60	10/5	Fair vigor, fair form, young, recently planted, street tree. Planned for removal
13	Sycamore (<i>Platanus x acerifolia</i>)	2.2	60	10/5	Fair vigor, fair form, young, recently planted, street tree.

*indicates neighbors tree.

R-indicates planned removal



Showing cut roots and new sidewalk installation

Summary:

All trees on site are imported trees. The trees have not been maintained for many years. A new home and landscape is being designed to better fit the lot and to improve the outward appearance. Tree #1 is a large camphor street tree. A large amount of the trees roots have been severed in the past in order to try and control further damage done by the large surface roots of this street tree. This is seen on the trees root flair, as it appears large roots have been cut probably to fix the driveway area. Also there appears to be sidewalk work that recently occurred in this area, judging by the newer looking concrete. The sidewalk work was likely done because the trees roots damaged the sidewalk creating a tripping hazard. An unknown amount of root loss occurred during this work done.

At this time a new driveway is being designed in the same area as the existing driveway. The existing driveway should stay in place as long as possible throughout the proposed work. This will protect any roots that are growing underneath the driveway from compaction. Staging of materials can be done on the existing driveway. At the end of the project, during the driveway excavation, the site arborist should be onsite to inspect, document and offer mitigation measures. Hand tools shall be used when excavating the existing driveway. Any roots over 2 inches in diameter to be cut, need to be inspected by the site arborist. Impacts to the camphor street tree as a result of construction is expected to be minor. Roots in this area have already been cut multiple times for different reasons. Despite the past work done the tree is still in good health. As long as the existing driveway stays in place until the end of the project in order to protect the roots the tree will remain in fair health.

Public works is requesting that Camphor street tree #1 is protected by installing trunk wrap protection in addition to the tree protection fencing around tree #1. The trunk wrap is described as followed:

- The trunk is to be wrapped with a 2-inch layer of orange plastic construction fencing as padding from the ground up to the first branch.
- Wooden slats 2-inches thick are to be bound securely, edge to edge, on the outside of the plastic fencing.
- A single layer of orange plastic construction fencing to be wrapped and secured around the outside of the wooden slats.
- Major scaffold limbs that hang over the driveway will require this same type of padding.

-Structural plans relating to the driveway should include specific instructions that limit excavation within the dripline of the tree to no deeper than the depth of the existing aggregate base or slab.

Tree #7 is a large podocarpus tree. The location of this tree is poor as it is located near the center of the property. The form of the tree is also poor as the tree is codominant. Podocarpus trees are fast growing and easily replaceable. At this time the owner would like to remove and replace this tree as sees fit somewhere else on the property. This is a protected tree and will need a permit for removal.

Tree #8 and #9 are both Holly trees. During the time of investigation holly tree #8 was in poor vigor and form. The tree is codominant at 2 feet and is heavily suppressing holly #9. These 2 trees are in close proximity to each other and the proposed construction. Holly #8 is a protected tree and will need to go through the permit process to be removed. Holly #8 should be removed as it is in poor health and will be moderately impacted from construction activity. Because holly tree #8 is already in poor health it is not expected to survive being moderately impacted. Holly tree #9 will remain and benefit from tree #8 being removed as more sunlight will be available.

Tree #10 is a silk tree that is located less than 1 foot from the existing home. The tree leans heavily at a 45 degree angle away from the home. This tree will be removed as the demolition and excavation for the new home will likely cut the existing roots on the tension side making the tree unsafe. Trees #7 and #8 are the only heritage sized trees proposed for removal at this time.

The city arborist indicated that the dogwood street tree #12 is in decline and should be removed and replaced with a 24" box Platanus 'Columbia' in the same location within 30 days of removal. Street tree #13 will require tree protection fencing if the existing junipers are removed or damaged. The contractor is to contact the site arborist for tree protection instructions if the junipers are removed or damaged. The following tree protection plan will help retain any remaining trees.

Tree Protection Plan:

Tree Protection Zones

Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for tree protection zones should be 6' tall, metal chain link material supported by metal 2" diameter poles, pounded into the ground to a depth of no less than 2'. The location for the protective fencing should be as close to the dripline of desired trees as possible, still allowing room for construction to safely continue. No equipment or materials shall be stored or cleaned inside the protection zones. Areas outside protection zones, but still beneath the tree's driplines, where foot traffic is expected to be heavy, should be mulched with 4-6" of chipper chips. The spreading of chips will help to reduce compaction and improve soil structure. The tree protection zones for the neighbor's trees must be maintained throughout the entire project.

Root Cutting and Grading

Any roots to be cut shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The over dig for the foundation should be reduced as much as possible when roots are encountered.

Trenching and Excavation

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

Irrigation

Normal irrigation shall be maintained on this site at all times. The imported trees will require normal irrigation. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April – November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

Demolition

All tree protection must be in place prior to the start of demolition. Demolition equipment must enter the project from the existing driveway. If vehicles are to stray off the drive the area within the dripline of a protected tree must be covered with 6 inches of chips and steel plates of 11/4 inch plywood.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A



STAFF REPORT

Planning Commission

Meeting Date: 11/7/2016

Staff Report Number: 16-090-PC

Public Hearing: Use Permit Revision and Architectural Control
Revision/Ron Krietemeyer/1315 O'Brien Drive

Recommendation

Staff recommends that the Planning Commission approve a request for use permit and architectural control revisions to a previously approved project at 1315 O'Brien Drive, which would allow the removal of 32,197 square feet of gross floor area of warehouse from the rear of the structure and construction of a new exterior rear wall consistent with the architectural style of the previously approved building, in the M-2 (General Industrial) zoning district. The recommended actions are included as Attachment A.

Policy Issues

Each use permit and architectural control request is considered individually. The Planning Commission should consider whether the required use permit and architectural control findings can be made for the proposal.

Background

Site location

The project site is located at 1315 O'Brien Drive, at the corner of O'Brien Drive and Adams Drive in the Menlo Business Park. The parcel is a through lot extending from O'Brien Drive to Adams Court. The O'Brien Drive frontage is considered the front lot line, while the Adams Drive frontage is considered the corner side property line. Adams Court is directly opposite of O'Brien Drive to the north and is considered the rear. Immediately adjacent parcels are also zoned M-2 and contain a mix of office, warehouse, manufacturing, and R&D uses. A location map is included as Attachment B.

Previous Planning Commission review

In March 2015, Tarlton Properties applied for a use permit and architectural control to convert, expand, and architecturally update an existing warehouse and general office building into a research and development (R&D) and warehouse building for Pacific Biosciences, a biotechnology company engaged in the study of the synthesis and regulation of DNA, RNA, and proteins.

The project proposed to divide the building into two tenant spaces, with the front portion of the building to be occupied by Pacific Biosciences, and the rear portion of the building to serve as warehouse space for a potential second tenant, though one had not been identified at that time. The project resulted in a floor area ratio (FAR) of 45.2 percent, below the maximum of 50 percent, and it conformed to all FAR, setback,

and height requirements established for the M-2 zoning district. The project included a use-based parking reduction, use of hazardous materials and outside storage of materials and equipment associated with the main R&D use, heritage tree removals, and a Below Market Rate (BMR) Agreement. On August 17, 2015, the Planning Commission approved a use permit and architectural control for the project. A building permit for the project was issued on December 17, 2015, and construction has been ongoing in recent months.

Analysis

Project description

At this time, the applicant is proposing to remove a majority of warehouse space from the rear tenant suite, which has remained vacant, and construct a new north (rear) wall along the entire back of the building. The gross floor area (GFA) of other uses in the building, as well as the south, east, and west elevations of the building, are proposed to remain consistent with the project approved in 2015. The proposed modifications would result in the removal of 32,197 square feet of GFA for a total of 188,104 square feet of GFA and a reduced FAR of 38.6 percent for the entire building, which would be well below the maximum FAR permitted for an M-2 zoned property. The proposed modifications would also conform to all setback and height requirements for the M-2 zoning district.

In addition, although the existing rear walls and roof would be removed, the concrete slab at the rear of the building, which currently serves as the floor of the warehouse space, would remain. Because the slab is approximately four feet above grade, metal railings would be installed along the sides of the slab in the area of the truck loading wells for safety purposes, per building code requirements. The slab would not be used for outdoor storage, outdoor seating, or any other use that would require a subsequent use permit revision. The proposed revisions would not affect the earlier approvals for hazardous materials use and outside storage, nor would the revisions result in a refund of BMR or other fees previously paid. The project plans and the applicant's project description letter are included as Attachments C and D, respectively.

Design and materials

As part of the removal of warehouse space from the back of the building, all of the existing rear wall and the rear 84 feet of the east and west side walls would be removed, which requires an architectural control revision to the previously approved project. The applicant is proposing to construct a new rear wall across the entire length of the remaining building. The proposed wall would be comparable in color, materials, and finishes to the existing rear wall, with the exception of different score lines in the concrete versus the existing wall. The proposed score lines would be fewer in number and more evenly spaced across the rear of the building.

The plans also request flexibility to incorporate future openings for windows or doors at evenly-spaced intervals across the rear wall, should future interior modifications warrant more light and access to the back of the building. If the Planning Commission agrees, staff would evaluate future requests for window or door openings along the rear wall through an administrative approval process. The request has been detailed in condition 5f. However, any future modifications requested beyond new doors or windows in the proposed locations along the rear wall would likely be brought before the Planning Commission for a subsequent architectural control review. Staff believes that the requested modifications would have limited

impacts to the previously approved building façade by keeping the changes limited to the rear of the building, and by matching the materials and finishes of the previously approved rear wall.

Trees and landscaping

A total of 27 heritage trees were proposed to be removed as part of the original project and the City Arborist gave tentative approval based on the health and construction impacts to the trees, which was ultimately granted by the Planning Commission in August 2015.

Landscaping and site improvements proposed as part of the original project included a new entry plaza at the main entrance and an improved outdoor seating area at the front left of the building. The project was required to replace the 27 heritage tree removals at a two-to-one ratio, for a total of 54 new heritage tree replacements. The applicant proposed to plant 79 new trees, 72 of which would be 32-inch box in size and seven of which would be 60-inch box in size. The proposed plantings included the following trees: paperback maple, strawberry tree, maidenhair tree, Saratoga sweet bay, New Zealand Christmas tree, swan hill olive, London plane tree, and flowering pear tree. The revised project does not include any proposed changes to the landscaping plan originally approved by the Planning Commission in August 2015. Staff believes the approved landscaping and existing trees preserved on the property would help soften views of the proposed open slab area.

Parking and circulation

As part of the previously-approved project, the applicant proposed to implement a transportation demand management (TDM) program to reduce additional new trips to the site below the equivalent of a new 10,000 square-foot office building, which is the City's threshold for requiring a traffic impact analysis (TIA). The TDM program was approved as part of the August 2015 Planning Commission actions and is provided as Attachment E. It includes measures such as bike lockers, showers/changing rooms, subsidized transit tickets, preferential carpool and vanpool parking, a commuter assistance center, financial incentives for alternative transportation, and a guaranteed ride home program among others. The proposed TDM program for the previously approved project showed an overall reduction in daily trips from the site and a net increase of 15 AM Peak trips and five PM Peak trips. The increases in AM and PM trips were determined to be below the equivalent 10,000 square foot office building and therefore, a TIA was not required for the approved project. At present, the proposed removal of over 32,000 square feet of warehouse area, in combination with the previously-approved TDM plan, would further reduce trips to the site and would not warrant a new trip generation analysis or TIA.

For the previously-approved project, 736 spaces were required based on the M-2 zoning district ratio of three off-street parking spaces per 1,000 square feet of GFA not in the front one-quarter of any required front yard. However, as part of that project, the applicant requested a parking reduction to permit 374 parking stalls and a parking ratio of one space per every 588 square feet of gross floor area. The applicant stated that the reduced parking rate was justified based on Pacific Biosciences' employee density, which is approximately 450 square feet per employee, and the typical operations of warehousing tenants. Furthermore, the TDM program was proposed to reduce trips to and from the site and subsequently alleviate the need for additional parking spaces. Given the applicant's robust TDM program, the anticipated employee density, and the land uses within the building, the Planning Commission granted a parking reduction for the previously approved project.

The use permit revision being requested at present would reduce the approved parking ratio from one space per every 588 square feet of gross floor area to one space per every 503 square feet of gross floor area, and would bring the project slightly closer to conformance with the required parking ratio for the M-2 zoning district.

Correspondence

Staff has not received any items of correspondence on the proposed project.

Conclusion

The proposed removal of 32,197 square feet of GFA from the existing building would result in an FAR of 38.6 percent for the project site, which would be well below the maximum FAR permitted in the M-2 zoning district. Staff believes that the requested exterior modifications would have limited impacts to the previously approved building façade by keeping the changes limited to the rear of the building, and by matching the materials and finishes of the previously approved rear wall. The proposed reduction in square footage of the building would reduce overall trips and improve the parking ratio on the site. Staff recommends that the Planning Commission approve the requested use permit and architectural control revisions.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The original project involved a negligible expansion of an existing use and was categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines. The revised project is likewise categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Project Plans
- D. Project Description Letter
- E. TDM Program

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

Color and materials board

Report prepared by:

Tom Smith, Associate Planner

Report reviewed by:

Thomas Rogers, Principal Planner

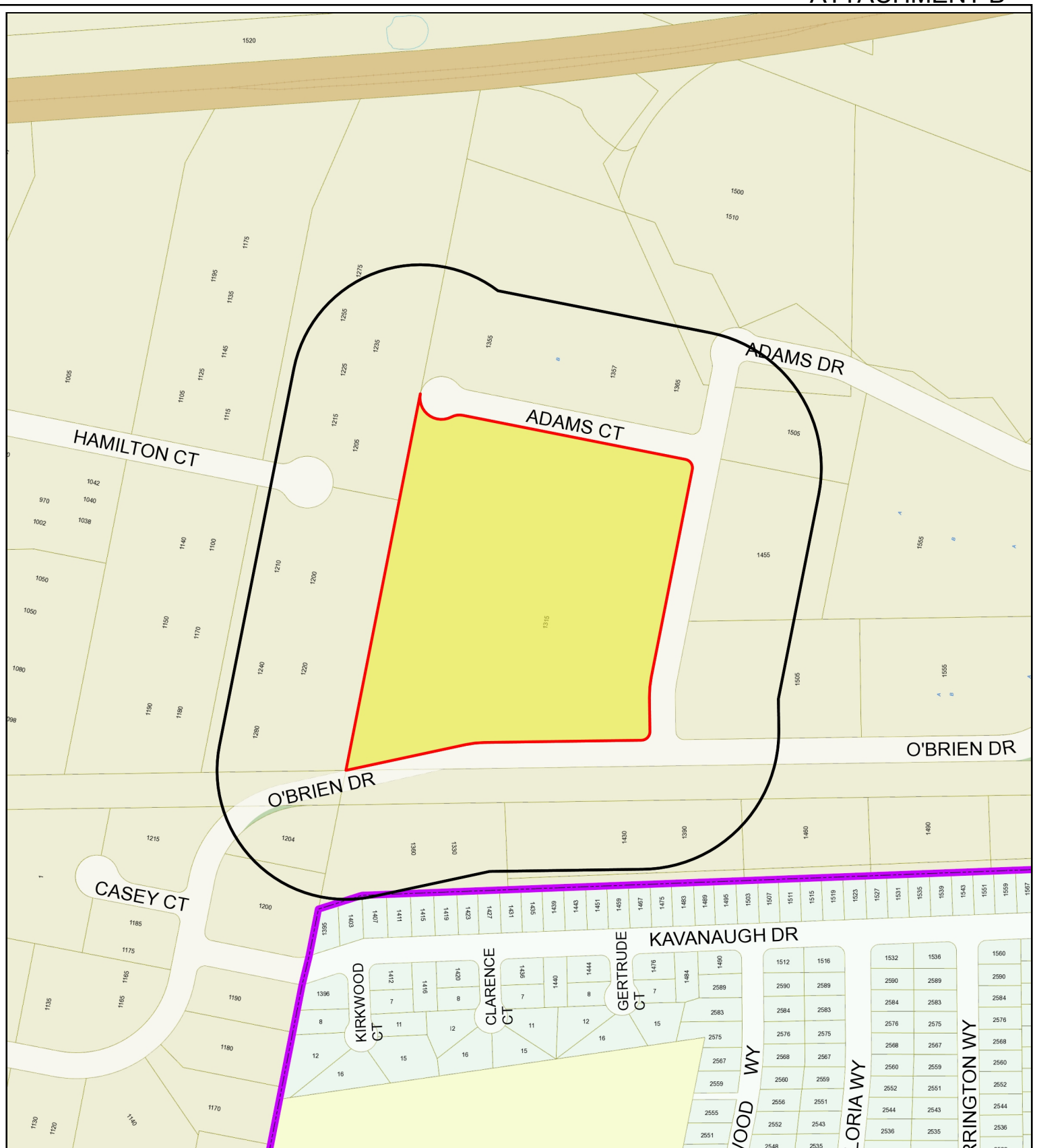
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1315 O'Brien Drive – Attachment A: Recommended Actions

LOCATION: 1315 O'Brien Drive	PROJECT NUMBER: PLN2016-00082	APPLICANT: Ron Krietemeyer	OWNER: Menlo Park Portfolio II, LLC
REQUEST: Request for use permit and architectural control revisions to a previously approved project, which would allow the removal of approximately 32,197 square feet of gross floor area of warehouse from the rear of the structure and construction of a new exterior rear wall consistent with the architectural style of the previously approved building, in the M-2 (General Industrial) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
ACTION: <ol style="list-style-type: none">1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.3. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:<ol style="list-style-type: none">a. The general appearance of the structure is in keeping with the character of the neighborhood.b. The development will not be detrimental to the harmonious and orderly growth of the city.c. The development will not impair the desirability of investment or occupation in the neighborhood.d. The development provides adequate parking as required in all applicable city ordinances and has made adequate provisions for access to such parking.e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.4. Approve the use permit and architectural control subject to the following standard conditions:<ol style="list-style-type: none">a. Development of the project shall be substantially in conformance with the plans prepared by DES Architects and Engineers consisting of 23 plan sheets, dated received October 13, 2016, and approved by the Planning Commission on November 7, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building			

LOCATION: 1315 O'Brien Drive	PROJECT NUMBER: PLN2016-00082	APPLICANT: Ron Krietemeyer	OWNER: Menlo Park Portfolio II, LLC
REQUEST: Request for use permit and architectural control revisions to a previously approved project, which would allow the removal of approximately 32,197 square feet of gross floor area of warehouse from the rear of the structure and construction of a new exterior rear wall consistent with the architectural style of the previously approved building, in the M-2 (General Industrial) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
ACTION: <p>Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The existing curb inlet shall be converted to a junction box and install a new curb inlet per City's standards. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</p> <p>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating the removal of the existing curb, gutter, and sidewalk and installation of new curb, gutter, sidewalk, and planting strip per City standards along the entire property frontage. The plans shall be submitted for review and approval of the Engineering Division.</p> <p>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</p> <p>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the Project Arborist's recommendations.</p> <p>h. Simultaneous with the submittal of a complete building permit application, if applicable, the applicant shall document compliance with the City's Water Efficient Landscape Ordinance (WELO) in effect at the time of building permit submittal.</p> <p>5. Approve the use permit and architectural subject to the following project-specific conditions:</p> <p>a. The property owner shall retain a qualified transportation consulting firm to monitor the trips to and from the project site and evaluate the effectiveness of the TDM program one year from commencement of operations within the subject building and shall submit a memorandum/report to the City reporting on the results of such monitoring for review by the City to determine the effectiveness of the TDM program (Attachment E). This report shall be submitted annually to the City subject to review by the Planning and Transportation Divisions. If the subject site is not in compliance with the anticipated trip reductions from the TDM program the applicant shall submit a detailed mitigation and monitoring plan identifying steps to be taken to bring the project site into compliance with the maximum Daily, AM and PM trips identified in the trip generation analysis and TDM program.</p> <p>b. Prior to or concurrent with the submittal of a complete building permit application, the applicant shall execute the Below Market Rate (BMR) Housing Agreement. Within two years of building permit issuance, the applicant shall comply with the terms of the BMR Agreement, which include the payment of the in lieu fee of approximately \$422,699.35 (as of July 1, 2014), provision of two units, or a combination thereof. The BMR fee rate is subject to change annually on July 1 and the final fee will be calculated at the time of fee payment.</p> <p>c. When chemical quantities exceed the reportable limits as defined by the California Health and Safety Code, the tenant shall provide a Hazardous Materials Business Plan (HMBP), or</p>			

LOCATION: 1315 O'Brien Drive	PROJECT NUMBER: PLN2016-00082	APPLICANT: Ron Krietemeyer	OWNER: Menlo Park Portfolio II, LLC
REQUEST: Request for use permit and architectural control revisions to a previously approved project, which would allow the removal of approximately 32,197 square feet of gross floor area of warehouse from the rear of the structure and construction of a new exterior rear wall consistent with the architectural style of the previously approved building, in the M-2 (General Industrial) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
ACTION: <p>equivalent document to the San Mateo County Environmental Health Division and Fire District.</p> <ul style="list-style-type: none"> d. If the tenant modifies the types and/or quantities of chemicals used and stored at the site, the tenant shall obtain a revised Fire Permit from the Menlo Park Fire District. e. The use permit for hazardous materials used and stored at the site shall only be permitted for Pacific Biosciences or subsequent tenants within the front suite of the building. f. If the tenant requests window or door openings along the rear wall to be constructed as part of a future building permit, Planning staff shall evaluate the proposed windows and doors and issue an administrative approval granting such changes if they are in conformance with the areas indicated on the rear elevation of the approved plan set and compatible with the design and materials of the overall structure. 			



City of Menlo Park
Location Map
1315 O'Brien Drive



Scale: 1:3,600

Drawn By: TAS

Checked By: THR

Date: 11/7/2016

Sheet: 1

OCT 13 2016

CITY OF MENLO PARK
BUILDING

MENLO BUSINESS PARK LOT 3

Menlo Park, CA 94025
PLANNING SUBMITTAL
SEPTEMBER 14, 2016 (REVISED OCTOBER 10, 2016)



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 TARLTON

DES

CURRENT PROJECT DATA

A SITE (CURRENT) AND ZONING REQUIREMENTS

a	CURRENT PROJECT SITE AREA	487,916 SQ. FT.
b	ZONING DESIGNATION	M-2
c	BUILDING HEIGHT LIMIT	35 FT.
d	BUILDING SETBACKS - FRONT YARD - REAR YARD - SIDE YARD	20 FT. 0 FT. 10 FT. EACH SIDE
e	FLOOR AREA RATIO	0.55
f	SITE COVERAGE	50% MAX
g	M-2 REQUIRED PARKING PER ZONING ORDINANCE	1/300

B CURRENT (APPROVED) PROJECT

a	BUILDING AREA: FIRST FLOOR CHEMICAL STORAGE BULKERS (NOT SHOWN) SECOND FLOOR SECOND FLOOR TIERED SEATING TOTAL	101,070 SQ. FT. 378 SQ. FT. 57,729 SQ. FT. 1,124 SQ. FT. 159,181 SQ. FT.
b	PROPOSED FLOOR AREA RATIO	0.452
c	SITE COVERAGE	33.01%
d	LANDSCAPING RATIO	31%
e	BUILDING SETBACKS - FRONT YARD - REAR YARD - WEST SIDE YARD - EAST SIDE YARD	05-151 FT. 213 FT. 123 FT. 130-145 FT.
f	BUILDING USE - R&D - WAREHOUSE - MANUFACTURING TOTAL	113,382 SF 61,123 SF 49,799 SF 224,304 SF
g	PARKING REQUIRED PER ZONING ORDINANCE (1/300)	735 CARS
	PARKING REQUIRED PER BUILDING USE - R&D (1/300) - WAREHOUSE (1/1000) - MANUFACTURING (1/1000) TOTAL	378 CARS 67 CARS 49 CARS 494 CARS
	PARKING PROVIDED	374 CARS
	*SEE PROJECT DESCRIPTION FOR REQUEST FOR PARKING REDUCTION	
h	PROPOSED BUILDING HEIGHT TOP OF ROOF DECK TOP OF ROOF PLATFORM (105) TOP OF PARAPET TOP OF ENTRY TOWER TOP OF ROOF SCREEN (105)	32' 3" FT. 39' 7" FT. 35' FT. 50' 0" FT. 47' 7" FT.

PROPOSED PROJECT DATA

A SITE (PROPOSED) AND ZONING REQUIREMENTS

a	PROPOSED PROJECT SITE AREA	487,916 SQ. FT.
b	ZONING DESIGNATION	M-2
c	BUILDING HEIGHT LIMIT	35 FT.
d	BUILDING SETBACKS - FRONT YARD - REAR YARD - SIDE YARD	20 FT. 0 FT. 10 FT. EACH SIDE
e	FLOOR AREA RATIO	0.55
f	SITE COVERAGE	50% MAX
g	M-2 REQUIRED PARKING PER ZONING ORDINANCE	1/300

B PROPOSED PROJECT

a	BUILDING AREA: FIRST FLOOR CHEMICAL STORAGE BULKERS (NOT SHOWN) SECOND FLOOR SECOND FLOOR TIERED SEATING TOTAL	129,873 SQ. FT. 378 SQ. FT. 57,729 SQ. FT. 1,124 SQ. FT. 189,104 SQ. FT.
b	PROPOSED FLOOR AREA RATIO	0.386
c	SITE COVERAGE	26.41%
d	LANDSCAPING RATIO	31%
e	BUILDING SETBACKS - FRONT YARD - REAR YARD - WEST SIDE YARD - EAST SIDE YARD	05-151 FT. 256 FT. 123 FT. 130-145 FT.
f	BUILDING USE - R&D - WAREHOUSE - MANUFACTURING TOTAL	113,382 SF 78,926 SF 45,796 SF 238,104 SF
g	PARKING REQUIRED PER ZONING ORDINANCE (1/300)	629 CARS
	PARKING REQUIRED PER BUILDING USE - R&D (1/300) - WAREHOUSE (1/1000) - MANUFACTURING (1/1000) TOTAL	378 CARS 79 CARS 46 CARS 494 CARS
	PARKING PROVIDED	374 CARS
	*SEE PROJECT DESCRIPTION FOR REQUEST FOR PARKING REDUCTION	
h	PROPOSED BUILDING HEIGHT TOP OF ROOF DECK TOP OF ROOF PLATFORM TOP OF PARAPET TOP OF ENTRY TOWER TOP OF ROOF SCREEN	32' 3" FT. 39' 7" FT. 35' FT. 50' 0" FT. 47' 7" FT.

SHEET INDEX

1	COVER SHEET
2	PROJECT DATA SHEET INDEX AND CONTACT
3	VEGETATION MAP
3A	TOPOGRAPHIC SURVEY FOR EXISTING SITE
3B	TOPOGRAPHIC SURVEY FOR EXISTING SITE
3C	ALTA SURVEY FOR EXISTING SITE
4	CURRENT FIRST FLOOR PLAN
5	CURRENT SECOND FLOOR PLAN
6	CURRENT ROOF PLAN (PLATFORM LEVEL)
7A	CURRENT CFA DIAGRAMS
7B	CURRENT BUILDING USE
8A	CURRENT SITE PLAN
8B	PROPOSED SITE PLAN
8C	PROPOSED SITE PLAN - BUILDING SETBACKS
9	TRANSPORTATION DEMAND MANAGEMENT (TDM) SITE PLAN
10	PROPOSED FIRST FLOOR PLAN
11	PROPOSED SECOND FLOOR PLAN
12	PROPOSED ROOF PLAN (PLATFORM LEVEL)
14	SITE AREA AND BUILDING COVERAGE CALCULATION PLAN
15	PROPOSED BUILDING CFA DIAGRAMS
16	PROPOSED BUILDING USE PLATS
17	CURRENT BUILDING ELEVATIONS
18	CURRENT BUILDING ELEVATIONS
19	PROPOSED BUILDING ELEVATIONS
20	PROPOSED BUILDING ELEVATIONS
21	BUILDING SECTIONS
22	PROPOSED UTILITY PLAN

CONTACT

CLIENT/OWNER
O'BRIEN DRIVE PORTFOLIO, LLC
1500 O'BRIEN DRIVE, SUITE C
MENLO PARK, CALIFORNIA 94025

PHONE (650) 330-3020
FAX (650) 330-3036
WEBSITE WWW.TARLTON.COM
CONTACT JOHN TARLTON
JOHN@TARLTON.COM

ARCHITECTS
DES ARCHITECTS - ENGINEERS
320 BRADY STREET
REDWOOD CITY, CALIFORNIA 94063

PHONE (650) 364-6153
FAX (650) 364-2618
WEBSITE WWW.DES-AE.COM
CONTACT SUSAN ESCHMEYER
DAVE LEONG

NOTES
1. ALL EXISTING FRONTAGE IMPROVEMENTS THAT ARE DAMAGED, CRACKED, UPLIFTED OR DEPRECATED DURING THE COURSE OF CONSTRUCTION OR THAT WERE DAMAGED PRIOR TO CONSTRUCTION SHALL BE REMOVED, REPLACED AND/OR REPAIRED. REPLACED AND REPAIRED SECTIONS SHALL MEET CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. CITY WILL NOT BEAR THE COSTS OF RECONSTRUCTION.
2. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
3. A SEPARATE ENFORCEMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY.



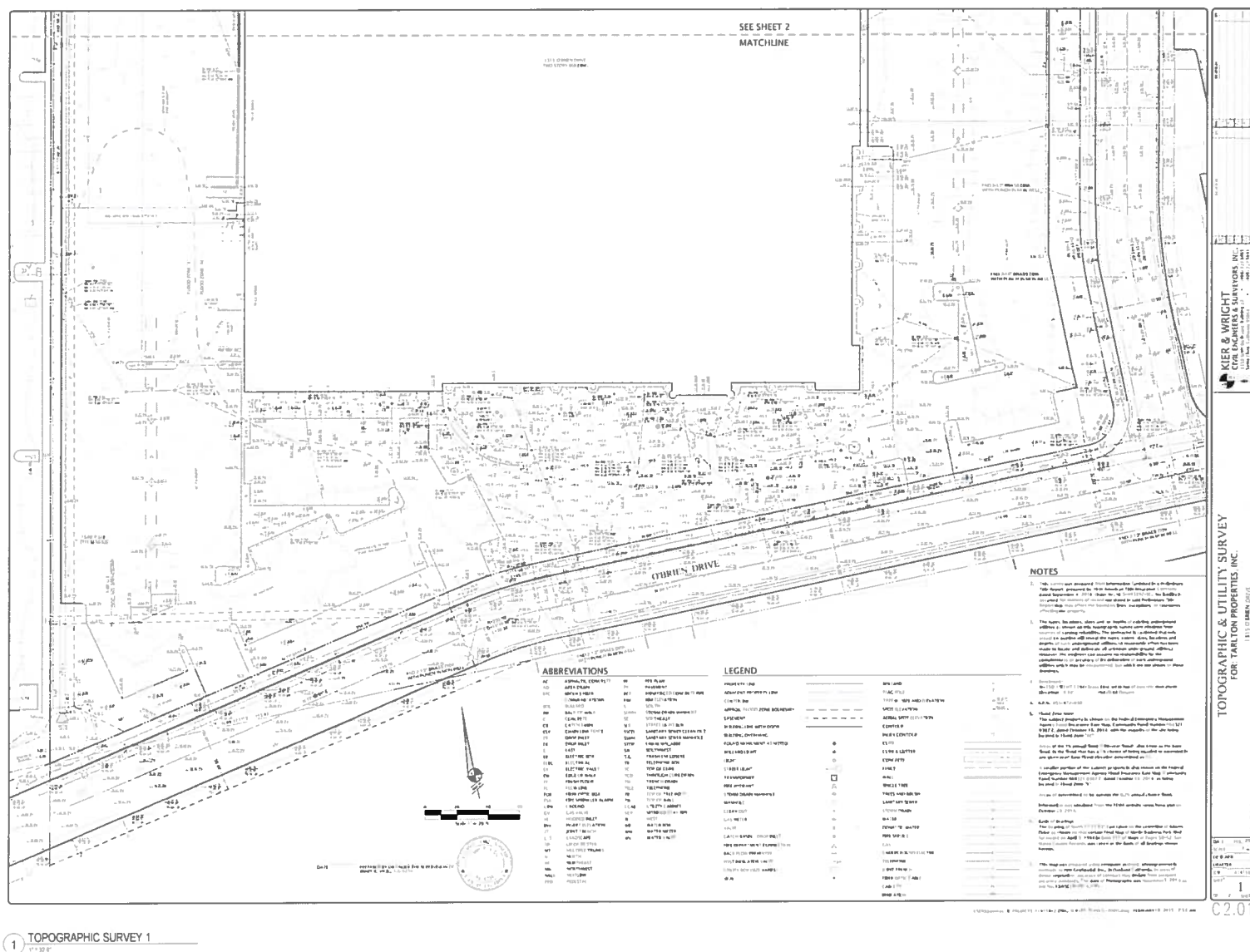
TARLTON MENLO BUSINESS PARK LOT 3

VICINITY MAP

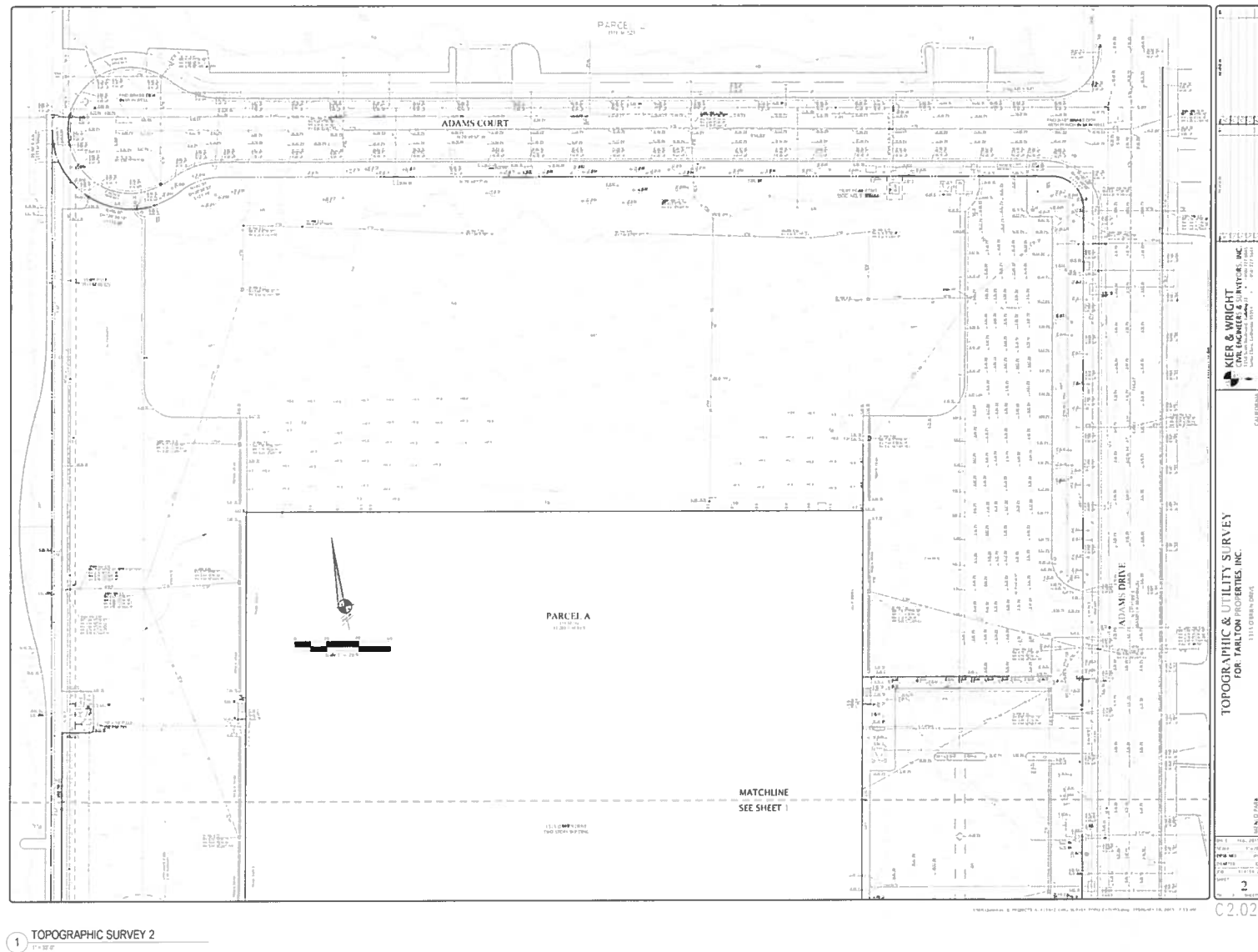
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TARLTON MENLO BUSINESS PARK LOT 3

TOPOGRAPHIC SURVEY FOR EXISTING SITE

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3B

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TARLTON MENLO BUSINESS PARK LOT 3

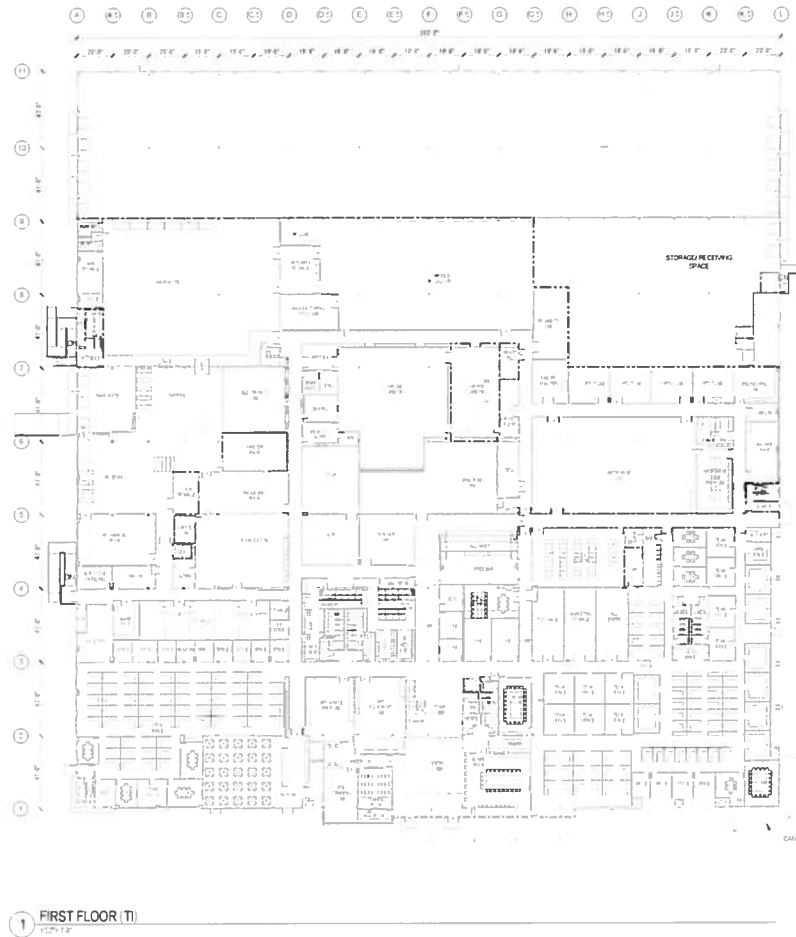
ALTA SURVEY FOR EXISTING SITE

09/14/16 10019.004

3C

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ARCHITECTS
ENGINEERS

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TARLTON MENLO BUSINESS PARK LOT 3

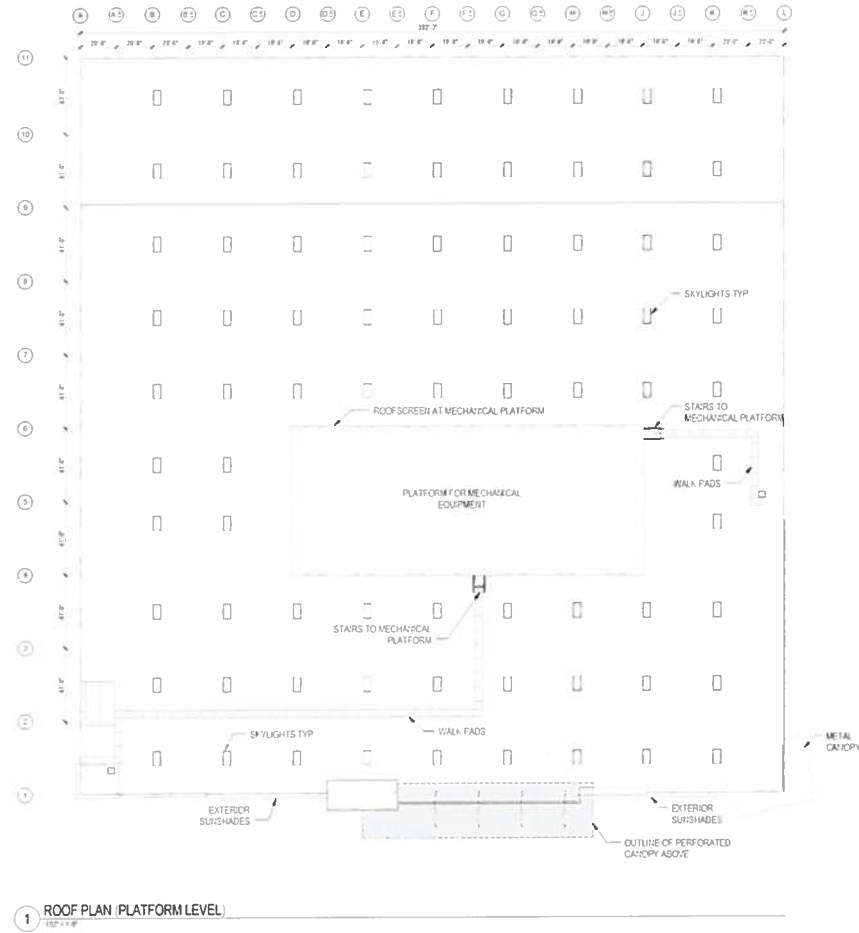
CURRENT FIRST FLOOR PLAN

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4

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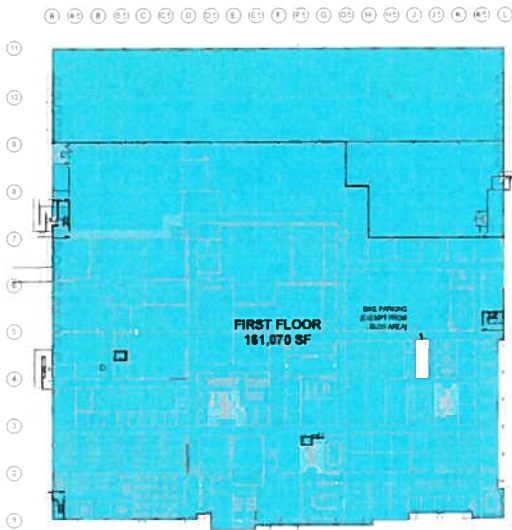
TARLTON MENLO BUSINESS PARK LOT 3

CURRENT ROOF PLAN (PLATFORM LEVEL)

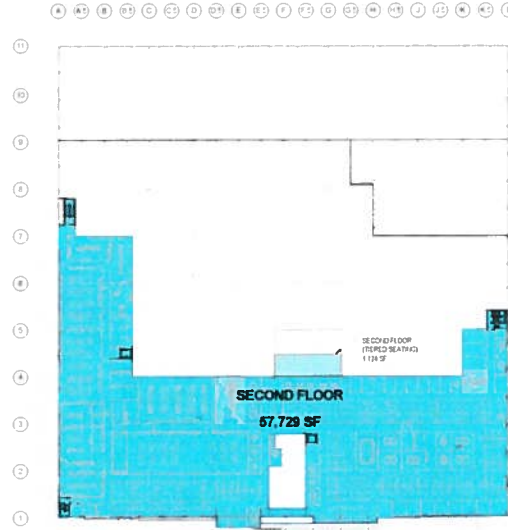
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6

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ARCHITECTS
ENGINEERS



1 FIRST FLOOR



2 SECOND FLOOR

BUILDING AREA

FIRST FLOOR (161,415 FTPRINT-345 BIKE PKING):	161,070 SF
CHEMICAL STORAGE BUNKERS (NOT SHOWN):	378 SF
SECOND FLOOR:	57,729 SF
SECOND FLOOR TIERED SEATING:	1,124 SF
TOTAL	220,301 SF

**EXISTING AND PROPOSED EXTERIOR MODIFIED COLUMNS AND PANELS ARE NOT USABLE OR OCCUPIABLE SPACE AND ARE NOT APPLICABLE TO THE CALCULATION OF GFA. SEE EXEMPTION AT 16.04.325 OF ZONING ORDINANCE.



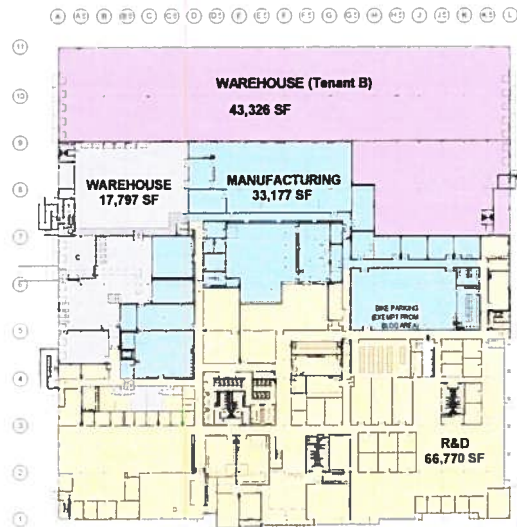
TARLTON MENLO BUSINESS PARK LOT 3

CURRENT GFA DIAGRAMS

09/14/16 10019.004

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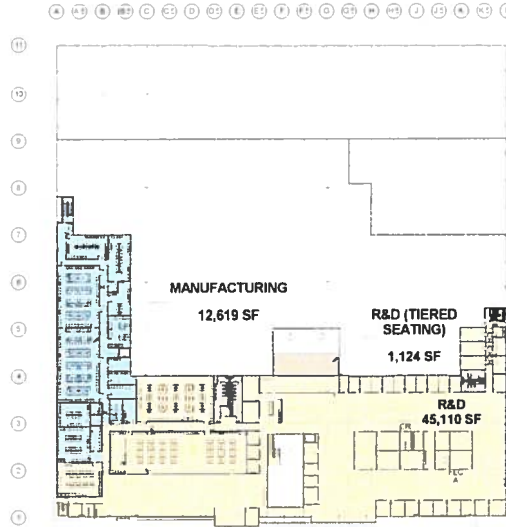


1 FIRST FLOOR
1" = 30' 0"

FIRST FLOOR:

R&D:	66,770 S.F.
WAREHOUSE (FOR TENANT B)	43,326 S.F.
WAREHOUSE	17,797 S.F.
MANUFACTURING	33,177 S.F.
TOTAL FLOOR SF	161,070 S.F.

*UNLESS NOTED OTHERWISE, ALL AREAS ARE ASSIGNED UNDER TENANT A.



2 SECOND FLOOR
1" = 30' 0"

SECOND FLOOR:

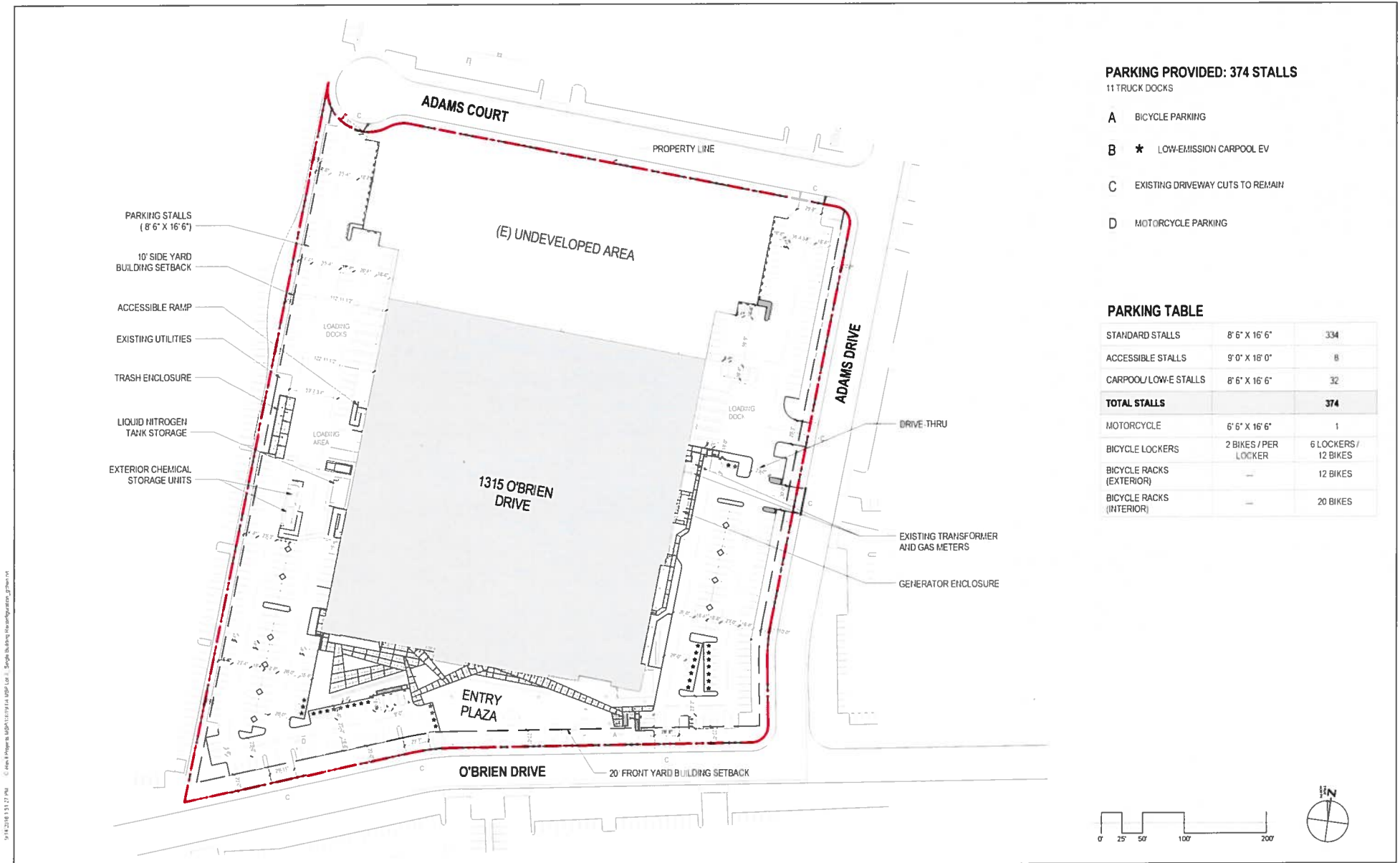
R&D	45,110 S.F.
MANUFACTURING	12,619 S.F.
R&D TIERED SEATING	1,124 S.F.
TOTAL	58,853 S.F.

ROOF:

0 SF

TOTAL BUILDING USE:

R&D:	113,004 S.F.
R&D NOT SHOWN (2 CHEMICAL STORAGE BUNKERS @ 9' X 21' EACH):	378 S.F.
WAREHOUSE:	61,123 S.F.
MANUFACTURING:	45,796 S.F.
TOTAL:	220,301 S.F.



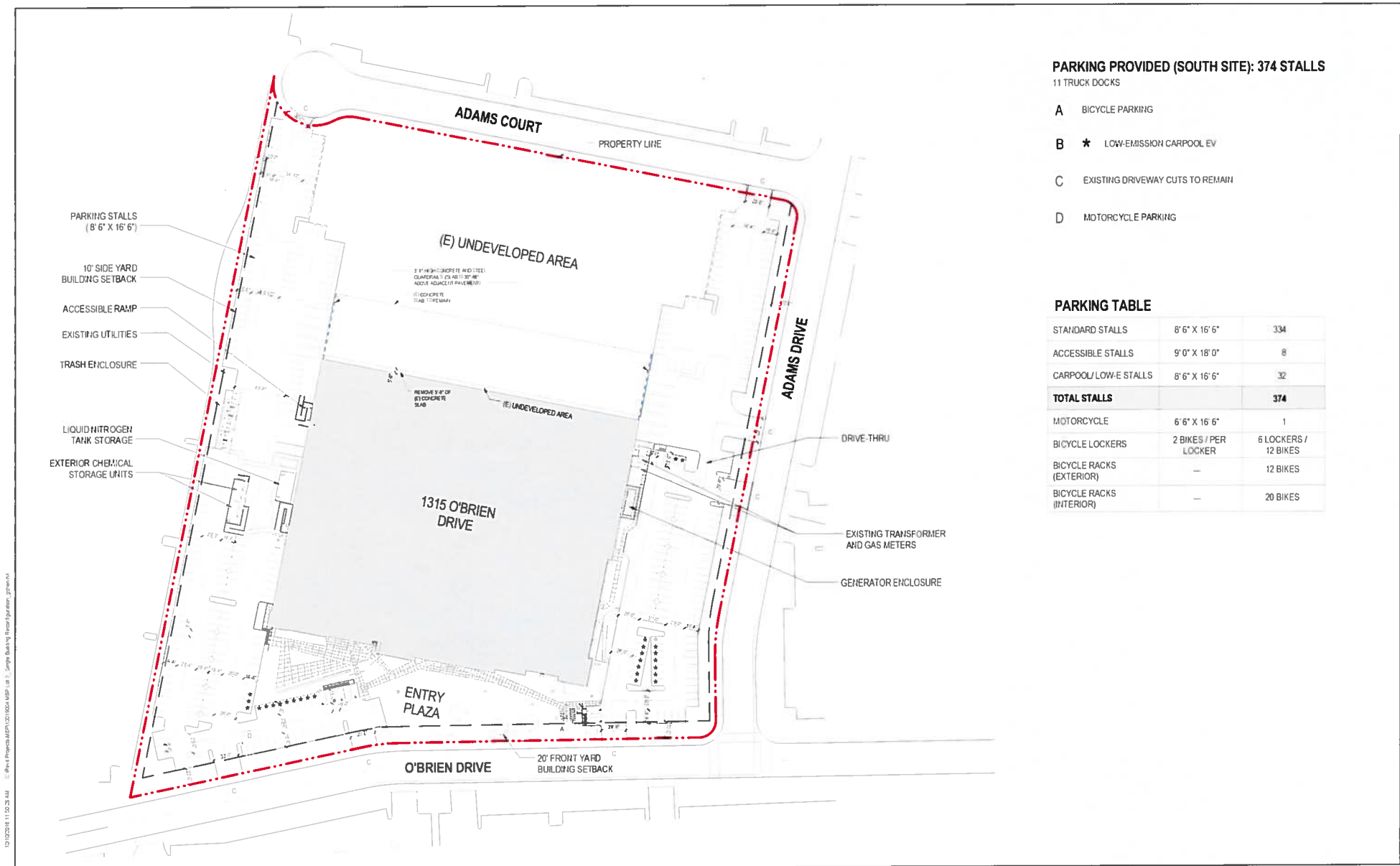
TARLTON MENLO BUSINESS PARK LOT 3

CURRENT SITE PLAN

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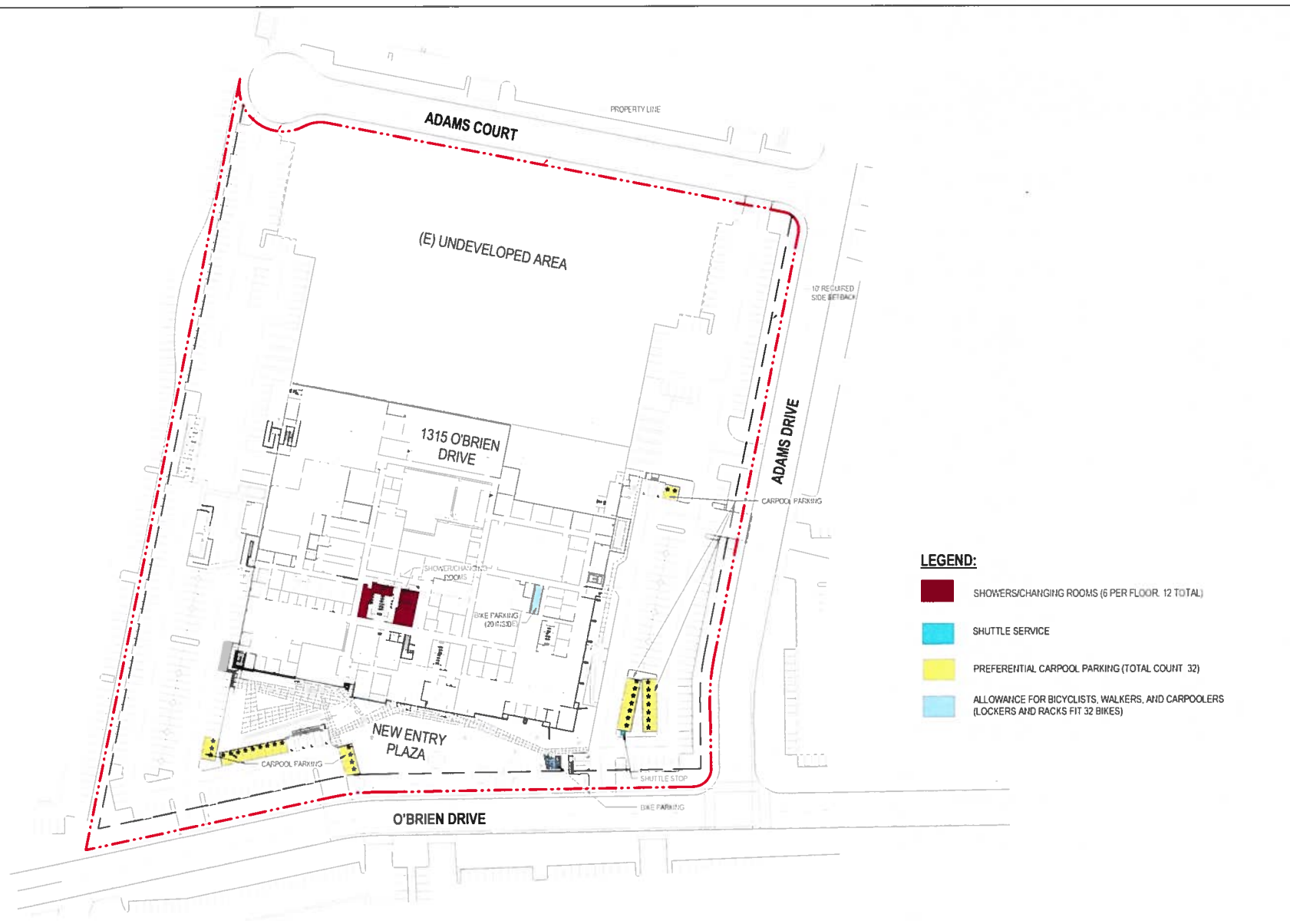
TARLTON MENLO BUSINESS PARK LOT 3

PROPOSED SITE PLAN
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(REVISED OCTOBER 10, 2016)

8B

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ENGINEERS

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TARLTON MENLO BUSINESS PARK LOT 3

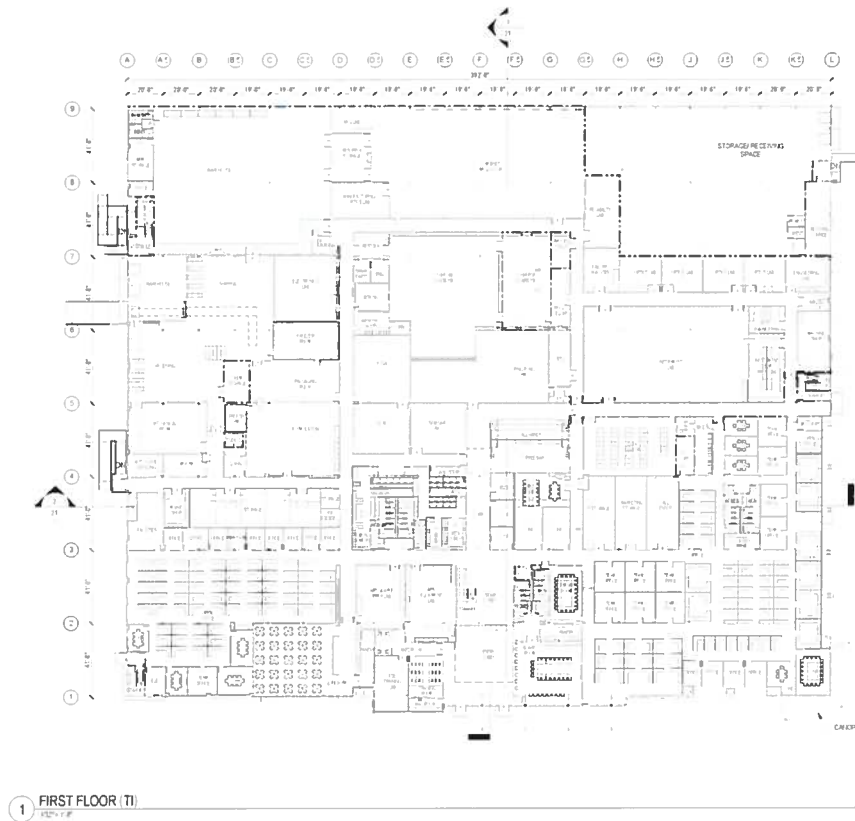
TRANSPORTATION DEMAND MANAGEMENT (TDM) SITE PLAN

FOR REFERENCE ONLY 09/14/16 10019.004

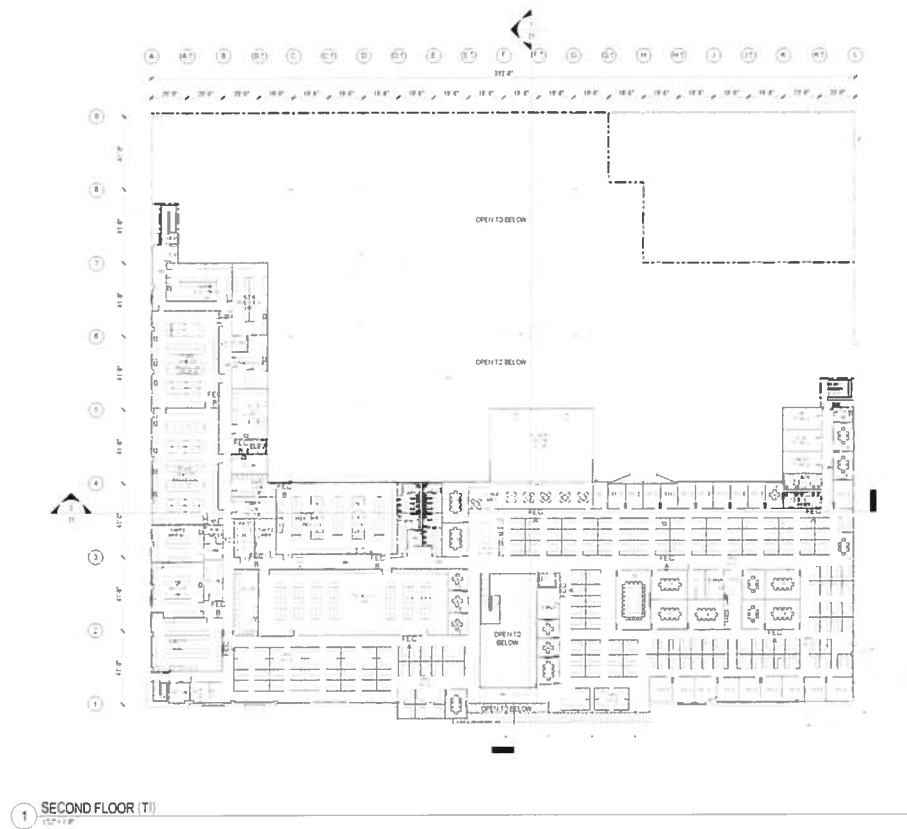
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TARLTON MENLO BUSINESS PARK LOT 3

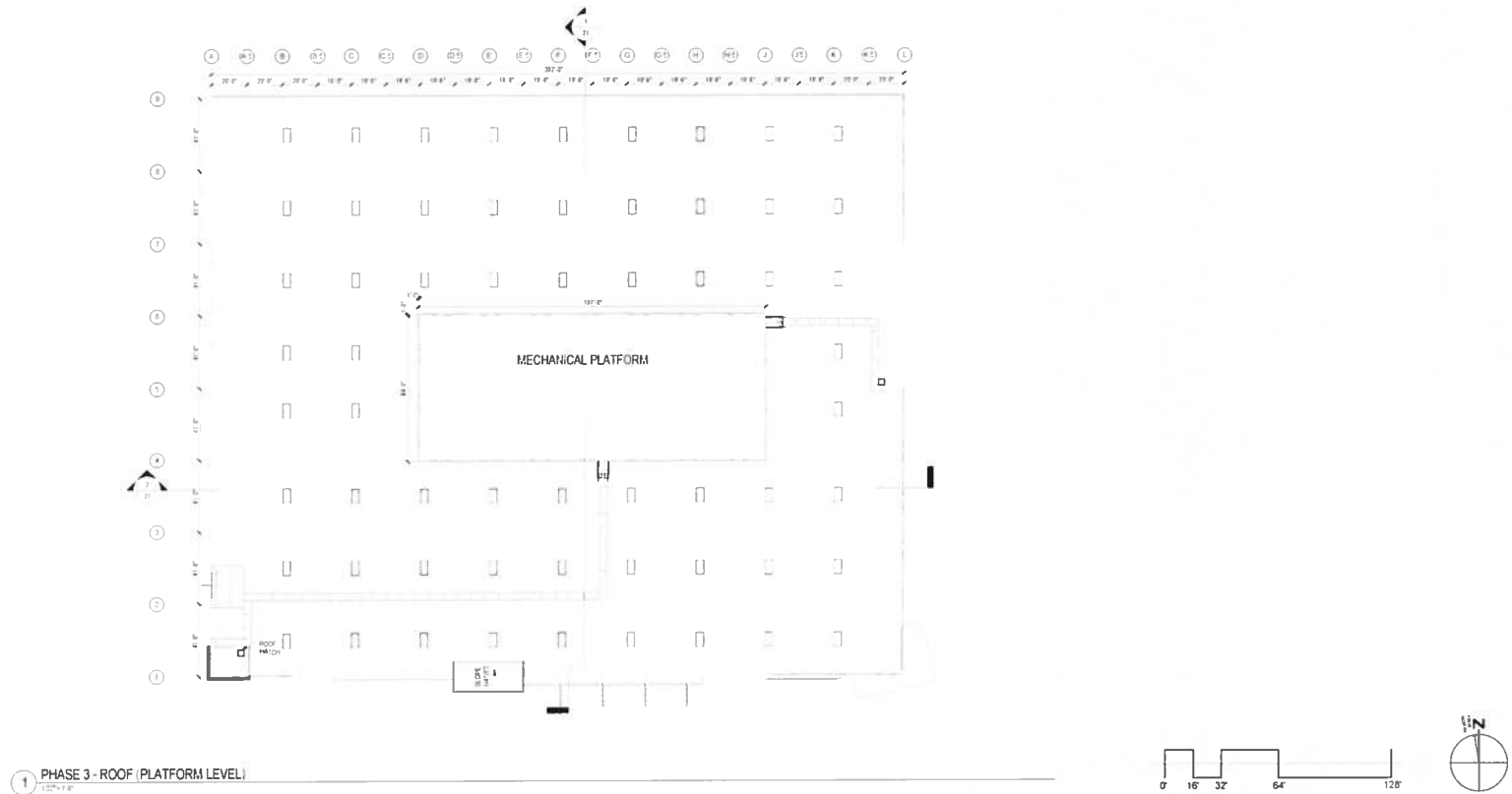
PROPOSED TENANT IMPROVEMENT SECOND FLOOR PLAN

09/14/16 10019.004

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ENGINEERS

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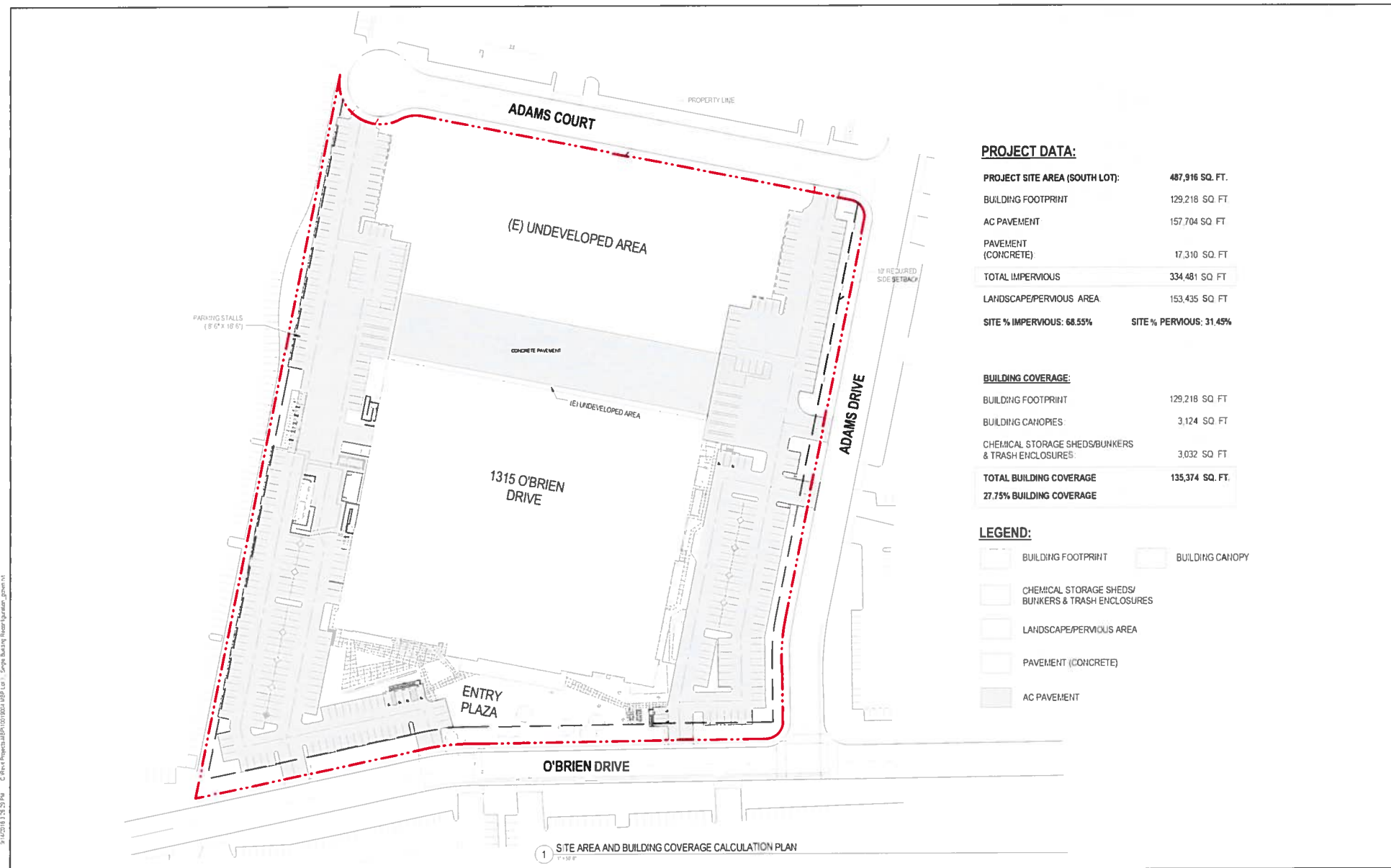
TARLTON MENLO BUSINESS PARK LOT 3

PROPOSED ROOF PLAN (PLATFORM LEVEL)

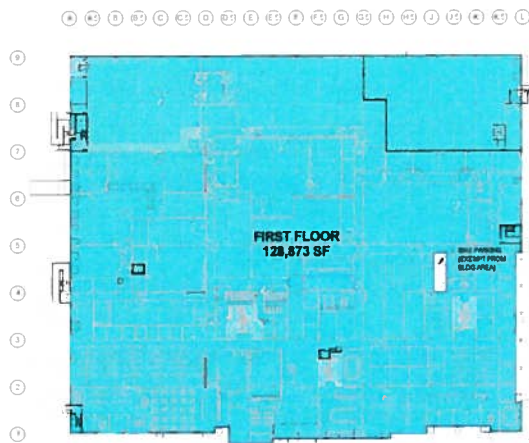
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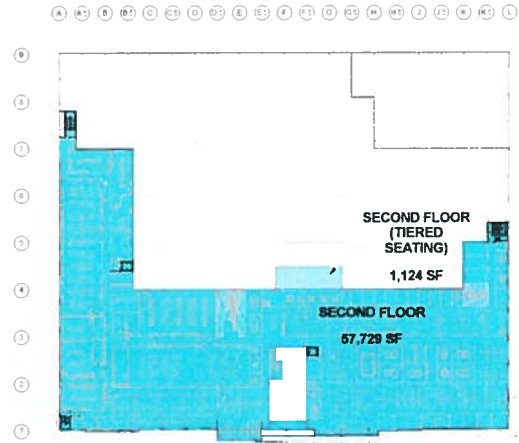




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1 FIRST FLOOR AREA PLAN
7'-0" = 1" = 12'-0"



2 SECOND FLOOR AREA PLAN
7'-0" = 1" = 12'-0"

BUILDING AREA

FIRST FLOOR (129,218 FTPRINT-345 BIKE PKING):	128,873 SF
CHEMICAL STORAGE BUNKERS (NOT SHOWN):	378 SF
SECOND FLOOR:	57,729 SF
SECOND FLOOR TIERED SEATING:	1,124 SF
TOTAL	188,104 SF

*EXISTING AND PROPOSED EXTERIOR MODIFIED COLUMNS AND PANELS ARE NOT USABLE OR OCCUPIABLE SPACE AND ARE NOT APPLICABLE TO THE CALCULATION OF GFA. SEE EXEMPTION AT 16.04.325 OF ZONING ORDINANCE.



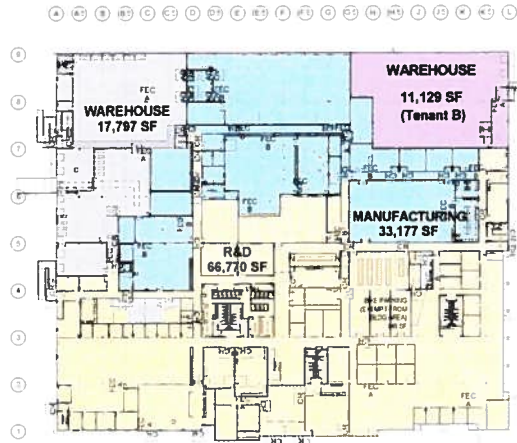
TARLTON MENLO BUSINESS PARK LOT 3

PROPOSED BUILDING GFA DIAGRAMS

09/14/16 10019 004

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ARCHITECTS
ENGINEERS

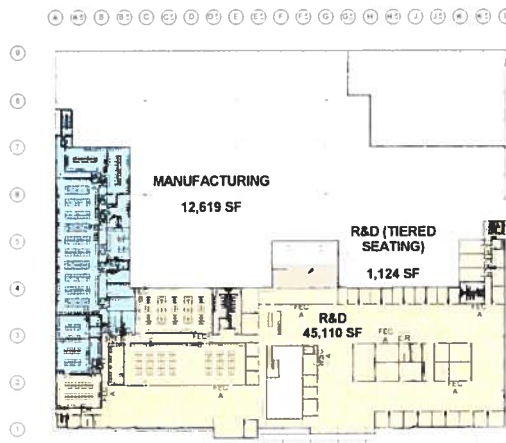


1 FIRST FLOOR
1" = 30'

FIRST FLOOR:

R&D:	66,770 S.F.
WAREHOUSE (FOR TENANT B)	11,129 S.F.
WAREHOUSE	17,797 S.F.
MANUFACTURING	33,177 S.F.
TOTAL FLOOR SF	128,873 S.F.

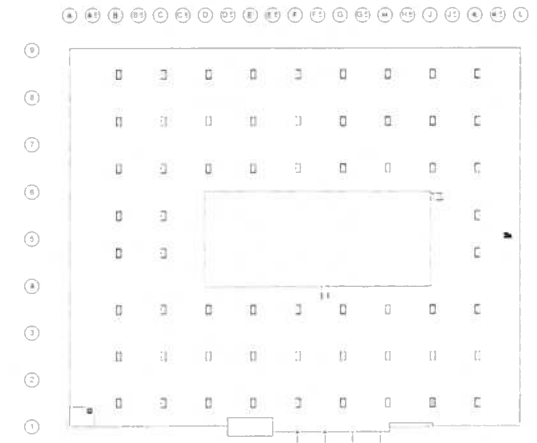
*UNLESS NOTED OTHERWISE, ALL AREAS ARE ASSIGNED UNDER TENANT A.



2 SECOND FLOOR
1" = 30'

SECOND FLOOR:

R&D	45,110 S.F.
MANUFACTURING	12,619 S.F.
R&D TIERED SEATING	1,124 S.F.
TOTAL	58,853 S.F.



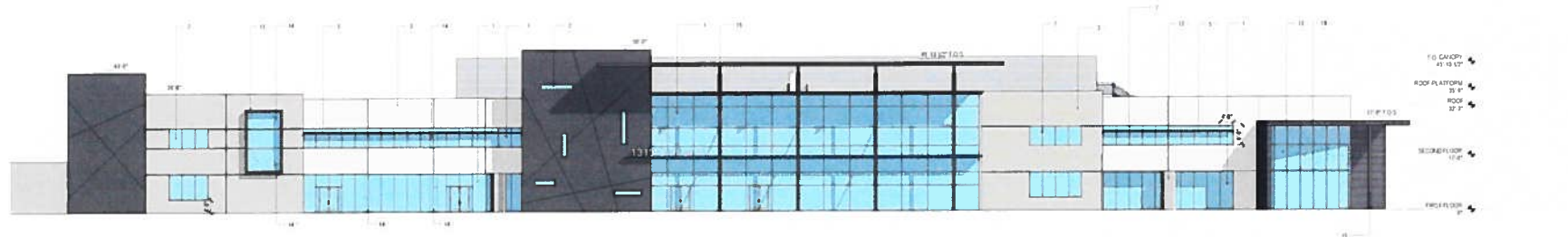
3 ROOF
1" = 30'

ROOF:

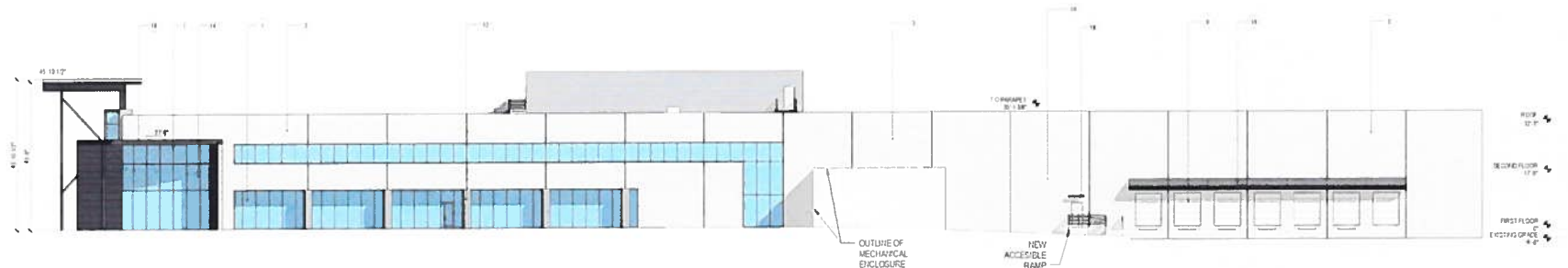
0 SF

TOTAL BUILDING USE:

R&D:	113,004 S.F.
R&D NOT SHOWN (2 CHEMICAL STORAGE BUNKERS @ 9' X 21' EACH):	378 S.F.
WAREHOUSE:	28,926 S.F.
MANUFACTURING:	45,796 S.F.
TOTAL:	188,104 S.F.



1 CURRENT - SOUTH ELEVATION
1/8" = 1' 0"







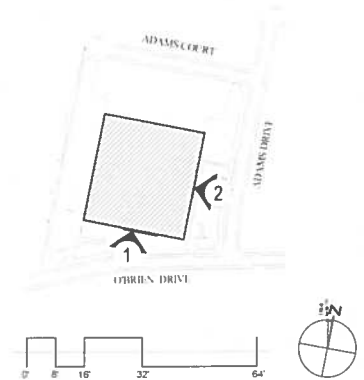
2 CURRENT - EAST ELEVATION
1/8" = 1' 0"

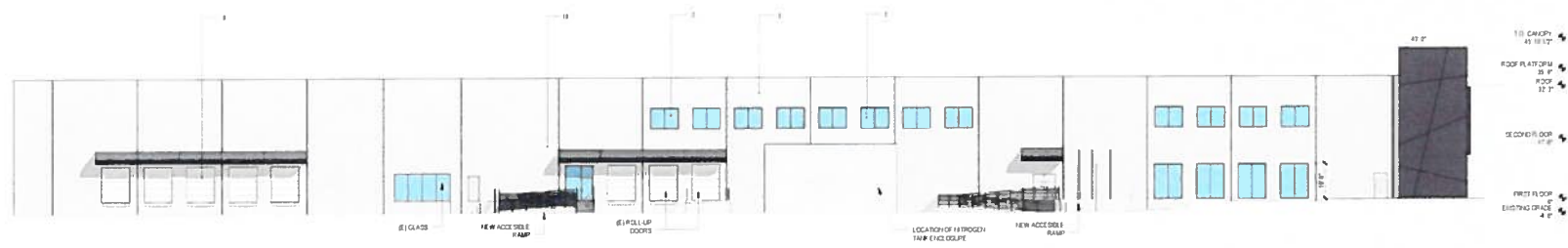
MATERIALS/FINISHES

- 1 (N) LOW-E, SLIGHTLY TINTED, DOUBLE GLAZED GLASS WALLS
- 2 WINDOW OPENINGS WITH LOW-E GLAZING
- 3 PAINTED CONCRETE WALL
- 5 (N) PAINTED METAL SUNSHADES
- 7 (N) KYNAR FINISH ALUMINUM MULLIONS
- 9 PAINTED (E) METAL ROLL-UP DOOR
- 12 (E) COLUMNS IN (N) METAL COLUMN COVERS
- 13 (N) PAINTED METAL PANELS
- 14 SANDBLASTED CONCRETE SURFACE BEHIND GLAZING
- 15 (N) PAINTED METAL K-BRACES AND COLUMNS
- 16 SKIM COAT (E) REVEALS FOR SMOOTH PANEL
- 18 (N) CANOPY
- 19 REPAINT (E) CANOPY

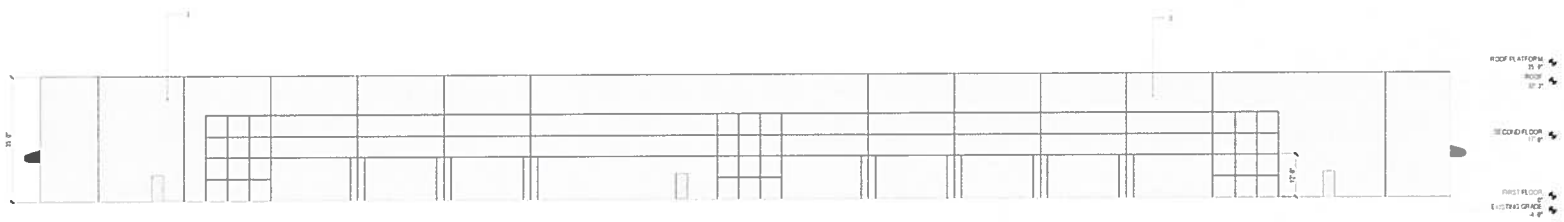
MATERIALS/FINISHES

- | | |
|---------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------|
|  BENJAMIN MOORE
OC-25 Cloud Cover |  PPG INDUSTRIES, INC.
UC51713XL Pewter |
|  BENJAMIN MOORE
AF-685 Thunder |  PPG INDUSTRIES, INC.
UC70092F Sunstorm Silversmith |
|  BENJAMIN MOORE
2121-10 Gray |  SOLARBAN 70XL
SOLARBLUE |





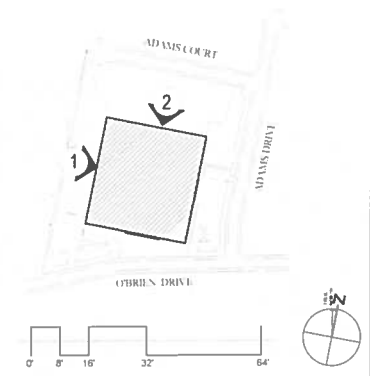
1 CURRENT - WEST ELEVATION
1/2" = 1'-0"



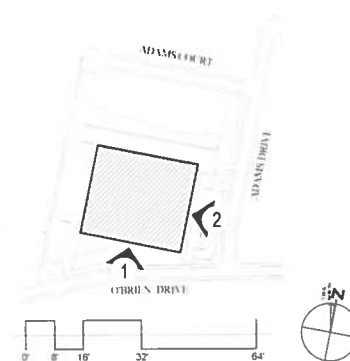
2 CURRENT - NORTH ELEVATION
1/2" = 1'-0"

	BENJAMIN MOORE OC-25 <i>Cloud Cover</i>		PPG INDUSTRIES, INC. UC51713XL <i>Pewter</i>
	BENJAMIN MOORE AF-685 <i>Thunder</i>		PPG INDUSTRIES, INC. UC70092F <i>Sunstorm Silversmith</i>
	BENJAMIN MOORE 2121-10 <i>Gray</i>		SOLARBAN 70XL SOLARBLUE

- MATERIALS/FINISHES**
- 2 WINDOW OPENINGS WITH LOW-E GLAZING
 - 3 PAINTED CONCRETE WALL
 - 9 PAINTED (E) METAL ROLL-UP DOOR
 - 16 SKIM COAT (E) REVEALS FOR SMOOTH PANEL

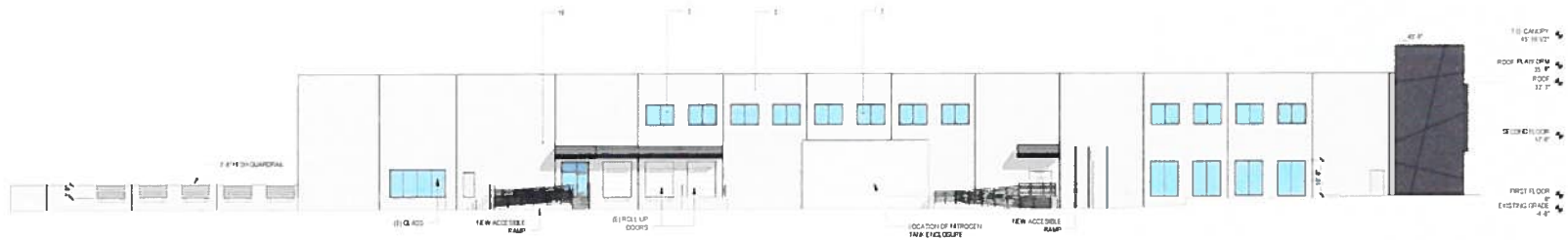


16/03/2018 1:22:18 PM
 C:\Users\j\Documents\Tarlton Menlo Business Park Lot 3\Tarlton Menlo Business Park Lot 3.dwg
 16/03/2018 1:22:18 PM

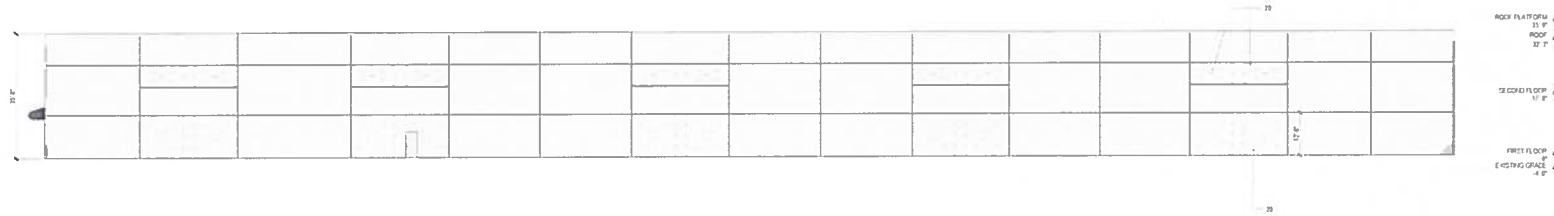


TARLTON MENLO BUSINESS PARK LOT 3

C:\Users\jphillips\OneDrive\Documents\Tarlton Menlo Business Park Lot 3\Single Building Elevations\jphillips.dwg



1 WEST ELEVATION
1/8" = 1'-0"

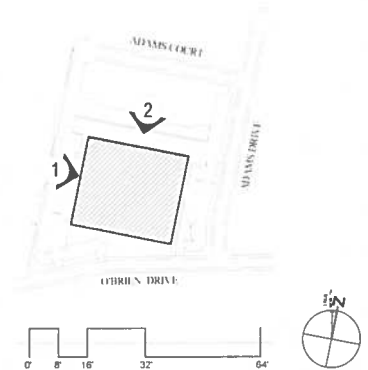


2 NORTH ELEVATION
1/8" = 1'-0"

	BENJAMIN MOORE OC-25 <i>Cloud Cover</i>		PPG INDUSTRIES, INC. UC51713XL <i>Pewter</i>
	BENJAMIN MOORE AF-685 <i>Thunder</i>		PPG INDUSTRIES, INC. UC70092F <i>Sunstorm Silversmith</i>
	BENJAMIN MOORE 2121-10 <i>Gray</i>		SOLARBAN 70XL SOLARBLUE

MATERIALS/FINISHES

- 2 WINDOW OPENINGS WITH LOW-E GLAZING
- 3 PAINTED CONCRETE WALL
- 16 SKIM COAT (E) REVEALS FOR SMOOTH PANEL
- 20 POTENTIAL FUTURE WALL OPENINGS



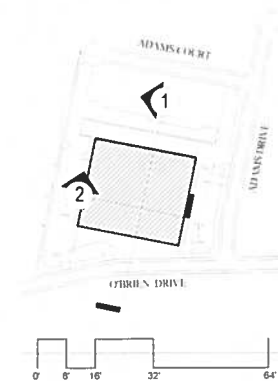
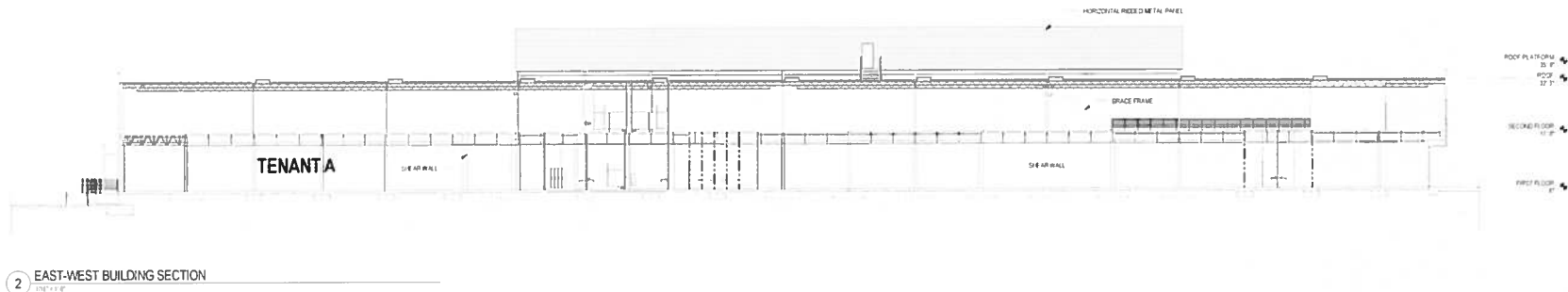
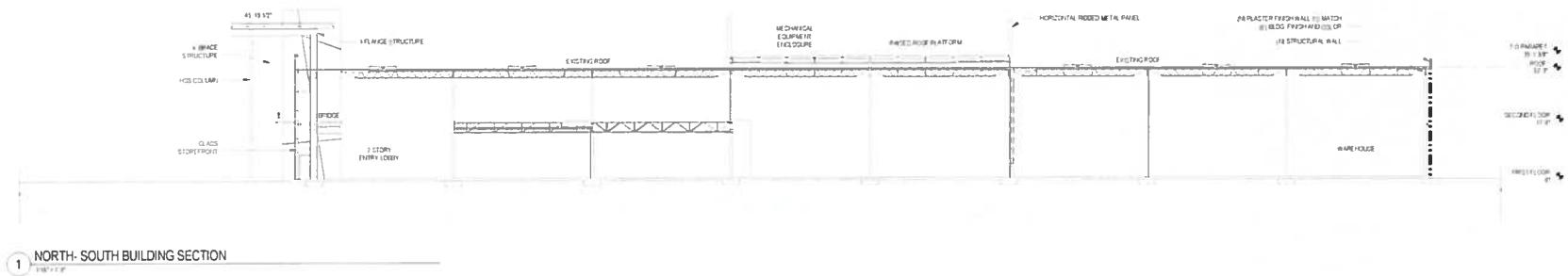
TARLTON MENLO BUSINESS PARK LOT 3

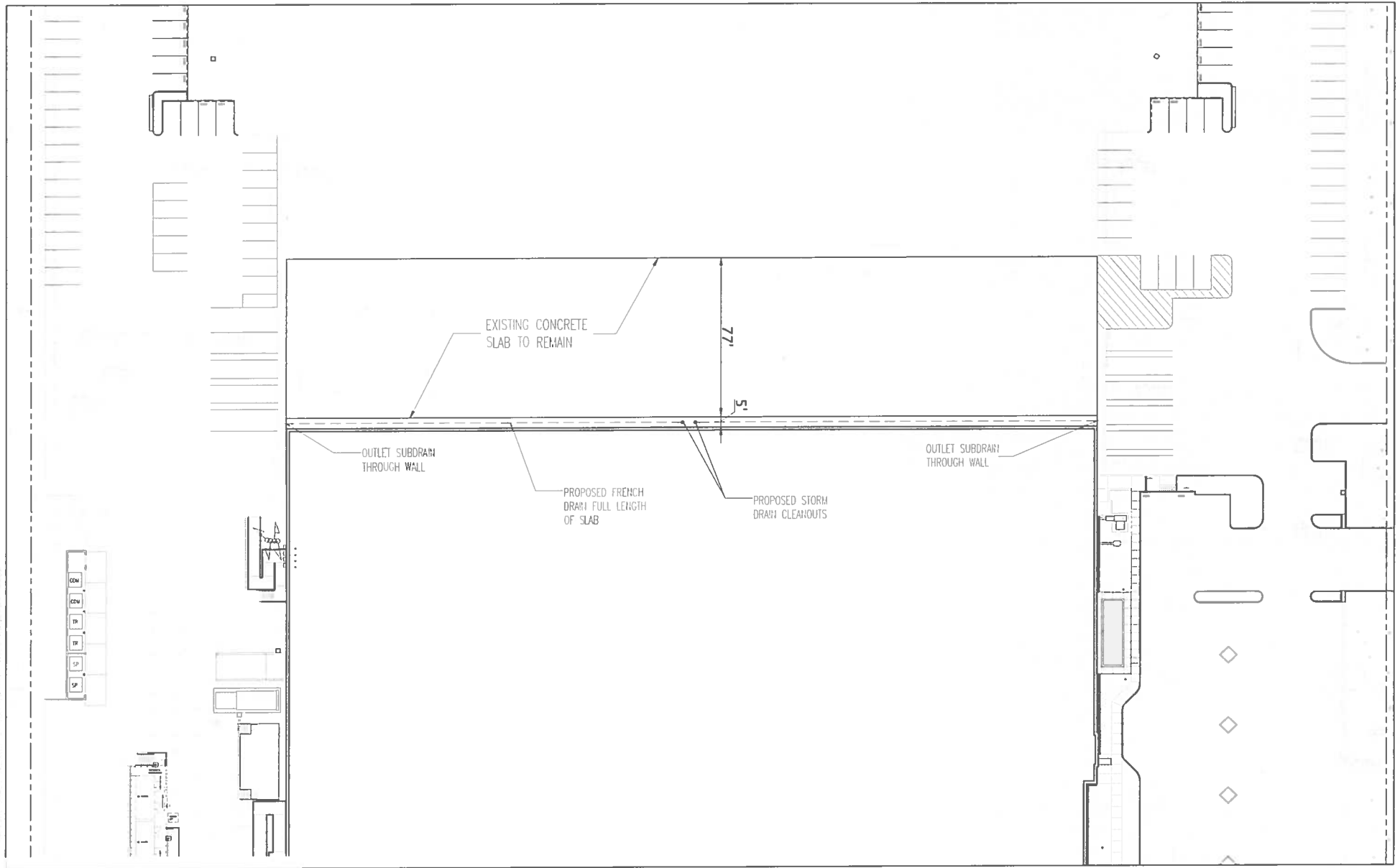
PROPOSED BUILDING ELEVATIONS

09/14/16 10019.004
(REVISED OCTOBER 10, 2016)

20

DES
ARCHITECTS
ENGINEERS





TARLTON MENLO BUSINESS PARK LOT 3

PROPOSED UTILITY PLAN

09/15/16 10019.005

22



RECEIVED

ATTACHMENT D

JUL 27 2016

CITY OF MENLO PARK

1315 O'BRIEN DRIVE ■

July 25, 2016

PROJECT DESCRIPTION FOR PLANNING APPLICATION

Current Project



Tarlton Properties owns this property that is currently in construction to make it an inspiring component of the modernized Menlo Business Park.

The total floor area of this 2 story building is 220, 301 SF. Currently, Pacific Biosciences has a lease for most of the building, about 176,975 SF with the remaining 43,326 SF designated as warehouse space for future tenant B. (This space is not currently leased).

Proposed Project

Tarlton Properties doesn't have any plans for leasing the warehouse space at this time and they wish to shorten this building by about 32,107 SF. This project will demolish the north end of the building, about 82 feet, and replacing it with a new exterior wall in its place. This wall will be a metal frame and plaster construction and will complement the new building design currently under construction. All of the existing concrete slab (where the building walls will be demolished) except 5 feet away from the newly constructed wall is intended to remain as exterior concrete paving.

Discretionary Approvals

The project application will require a Conditional Use Permit per the Menlo Park Zoning Ordinance 16.46.020. The currently approved uses within the building (warehousing, manufacturing, and assembling and offices) fall within the description of Ordinance 16.46.010 (1) and (2) and will not change other than the amount of warehouse space designated for tenant B. The area for this warehouse space is now proposed to be 11,129 SF. In addition, per 16.46.010 (3) (a), seismic compliant upgrades will be performed along with (C) structural alterations that affect more than 10,000 square feet of gross floor area of the building. Parking and landscaping will remain unchanged.



MEMORANDUM

To: Ron Krietemeyer
Tarlton Properties, Inc.

From: Michael Mowery, P.E.
Ben Huie, P.E.

Date: July 10, 2015

Subject: **Transportation Demand Management (TDM) Memorandum for 1315 O'Brien Drive**

Kimley-Horn and Associates, Inc. (KHA) was retained by Tarlton Properties, Inc. to evaluate the expected number of project trips based on the existing and proposed land uses at 1315 O'Brien Drive in the City of Menlo Park and mitigate the number of trips by implementing a Transportation Demand Management (TDM) Plan. The proposed project will realign the previous building uses. Below are the proposed sizes and land uses for the proposed site:

- 113,382 square feet of research & development (Pac Bio)
- 45,796 square feet of manufacturing (Pac Bio)
- 17,797 square feet of warehousing (Pac Bio)
- 43,541 square feet of warehousing (other tenants)

The previous use for the project site consisted of:

- 162,839 square feet of warehousing
- 56,002 square feet of general office building

These changes in land use for 1315 O'Brien Drive will result in an increase in peak hour trips generated from the project site.

PROJECT PEAK HOUR TRIPS

The number of project trips for the project site was estimated using the industry standard Institute of Transportation Engineer's (ITE) *Trip Generation* Manual. This reference estimates project trips based on land use from survey data. Since the proposed project is not a new project, but updating an existing land use, trip rates were calculated for both the proposed use and the previous use.

The previous land use was a distribution center with regional administrative offices including a showroom and sales offices. A distribution center does not have a specific land use in the ITE *Trip Generation* manual. There are similar land uses in the *Trip Generation* manual such as: the warehousing land use (ITE LU code 150), the general light industrial (ITE LU code 110), and the high-

cube warehouse/distribution center (ITE LU code 152). The *Dumbarton Distribution Center EIR*¹, which was the name of the Menlo Business Park before 1984, was reviewed as well. It documented the distribution center as a warehousing and light industrial land use. Therefore, for trip generation purposes, the existing use for the 1315 O'Brien Drive site was a warehousing land use, along with office, as described previously. **Table 1** summarizes the trip generation for the previous use. Specific land use and trip generation breakdowns are provided in **Attachment A**.

Table 1 – Trip Generation Summary – Previous Use

Previous Use	Vehicle Trips		
	Daily	AM Peak	PM Peak
56.002 KSF Office and 162.839 KSF Warehousing	1,178	134	133

The previous land uses resulted in 134 AM peak hour trips and 133 PM peak hour trips. No adjustments for trip reductions (e.g. pass-by trips or internal capture) were used in this calculation. The previous use trips will be used as a trip credit for determining the overall net change in proposed project trips.

Table 2 summarizes the trip generation for the proposed use. Specific land use and trip generation breakdowns are provided in **Attachment A**.

Table 2 – Trip Generation Summary – Proposed Use

Proposed Use	Vehicle Trips		
	Daily	AM Peak	PM Peak
113.382 KSF R&D 45.796 KSF Manufacturing 61.338 KSF Warehousing	1,316	189	174

The proposed land uses result in 189 AM peak hour trips and 174 PM peak hour trips. No adjustments for trip reductions (e.g. pass-by trips or internal capture) were used in this calculation. A Transportation Demand Management (TDM) program is being proposed to reduce the proposed project vehicle trips.

TRANSPORTATION DEMAND MANAGEMENT PROGRAM

The following summarizes an initial approach to the proposed TDM program for the proposed project at 1315 O'Brien Drive. It is assumed that the TDM program will be refined over time to adapt to changing transportation trends and to maximize the efficiency of the program. The TDM program is

¹ Dumbarton Distribution Center Final EIR, The Environmental Center, March 12, 1982.

specifically designed to focus on incentives and rewards for employees to participate in the program rather than penalties for not participating.

POTENTIAL PROGRAM ELEMENTS

Tarlton Properties, Inc. should offer a combination of program elements to encourage employees to utilize alternative modes of transportation to driving alone. Potential program elements are listed below:

- Bike lockers/racks
- Showers/changing rooms
- Shuttle service
- Subsidized transit tickets for employees
- Preferential carpool parking spaces
- Preferential vanpool parking spaces
- Vanpool program
- Commute assistance center
- Allowance program for bicyclists, walkers, and carpoolers
- Parking cash out program
- Telecommuting
- Compressed workweek program
- Alternate hours workweek program
- Join the Alliance's guaranteed ride home program

These program elements are listed in the City of Menlo Park's *Transportation Demand Management Program Guidelines*. Additionally, the City/County Association of Governments of San Mateo County (C/CAG) has its own guidelines for a TDM program mentioned in the *Revised C/CAG Guideline for the Implementation of the Land Use Component of the Congestion Management Program*. Each of these documents summarizes the potential program measures, a description of each measure, and the trip credits associated with each measure.

PROPOSED PROGRAM ELEMENTS

Tarlton Properties, Inc. is interested in working with the City to develop a practical TDM plan that can be both effective and provide the most value for all parties. An initial set of TDM measures are proposed for the 1315 O'Brien Drive site and is summarized in **Table 3**. The number of trip credits was determined from the City of Menlo Park's TDM Guidelines. The following provides a brief description of each proposed TDM element:

- **Bike Storage:** Bike lockers are proposed to be located on the property. The specific location will be shown on the proposed site plan. Secure bike storage lockers for 20 bicycles are proposed. The bike lockers are furnished by the American Bicycle Security Company and provide a safe storage for bikes at work. Additionally, bike racks for 12 bicycles are proposed and will be shown on the proposed site plan.

Table 3 – Proposed TDM Measure Summary

TDM Measure	Number of Trips Credited	Peak Hour Trip Credits	Program Elements	Trip Credits ¹
Bike Storage	One credit per 3 bike lockers/racks	1/3	32	10
Showers/Changing Rooms	Two credits per 1 shower/changing room	2	12	24
Shuttle service	One trip credit for each round trip seat on the shuttle	1	120	120
<i>Additional credit for combination with Guaranteed Ride Home Program</i>	<i>Additional one trip credit for each seat</i>	<i>1</i>	<i>120</i>	<i>120</i>
Subsidized transit tickets (Go Pass for Caltrain)	One trip credit for each transit pass provided	1	100	100
Preferential carpool parking	Two credits per 1 space reserved	2	32	64
Commute assistance center				
<i>Transit brochure rack</i>	<i>One peak hour trip credited for each feature</i>	<i>1</i>	<i>1</i>	<i>1</i>
<i>Computer kiosk connected to Internet</i>	<i>One peak hour trip credited for each feature</i>	<i>1</i>	<i>1</i>	<i>1</i>
<i>Telephone</i>	<i>One peak hour trip credited for each feature</i>	<i>1</i>	<i>1</i>	<i>1</i>
<i>Desk and chairs</i>	<i>One peak hour trip credited for each feature</i>	<i>1</i>	<i>1</i>	<i>1</i>
Allowance for bicyclists, walkers, and carpoolers	One trip credit for each monthly allowance offered to an employee	1	30	30
Join Alliance's guaranteed ride home program	One credit for every two slots purchased in the program with Alliance ²	-	-	-
Implement flexible work hours	One peak hour credit for each employee offered the opportunity to work flexible hours	1	35	35
Combine any two of these elements and receive additional five credits	Five trip credits for combination of two elements	5	1	5
Total Trip Credits:				512

¹The number of peak hour trips credited is outlined in the City of Menlo Park's *Transportation Demand Management (TDM) Guidelines*.

²The Alliance's guaranteed ride home program operates differently than when the TDM guidelines were created. The Alliance no longer offers slots to be purchased. Trip credits for this TDM measure are combined with the shuttle service.

- **Showers/Changing Rooms:** Twelve shower/changing rooms are proposed for the building on the first floor. The shower/changing rooms provide a dedicated facility for the cyclists and persons walking to work. This measure, combined with the bike lockers/racks, should provide employees with a great alternative for commuting to work.
- **Guaranteed Ride Home Program:** Tarlton Properties, Inc. will also enroll its tenants in a Guaranteed Ride Home Program administered by the Peninsula Traffic Congestion Relief Alliance. The program provides employees a free taxi ride home in the case of an emergency. Employers will pay 25 percent of the taxi costs and the Peninsula Traffic Congestion Relief Alliance will pay the remaining 75 percent. There is no additional cost to

- join the program. This program provides a safety net when an emergency arises for those carpooling, vanpooling, taking transit, walking to work, or bicycling to work.
- **Shuttle Service:** A shuttle service will be provided for employees to use for commuting to work. The shuttle service is provided by Bauers and is currently being implemented in the existing business park surrounding the proposed project. A new shuttle service, specifically serving the buildings along O'Brien Drive, recently started on February 1, 2015. The shuttle service has a stop in front of 1505 O'Brien Drive. This shuttle service will include a separate BART shuttle and Caltrain shuttle. The BART shuttle will carry up to 20 passengers between the Union City BART Station and the project site during the AM and PM peak hours. The shuttle departs every 60-65 minutes. The Caltrain shuttle will carry up to 20 passengers between the Palo Alto Caltrain Station and the project site during the AM and PM peak hours. The shuttle departs every 40 minutes. The project should have a minimum of five roundtrips in the AM and PM peak periods, each carrying 20 passengers, for a total of 100 additional seats to the Caltrain station per peak hour. The shuttles should accommodate the total demand for the potential 100 Caltrain users. There is also a pick-up/drop-off location at Decoto Road/Ozark Park Way in Fremont, CA.
 - **Subsidized Transit Tickets:** Caltrain Go Passes will be provided to employees at no cost to the employees. The Caltrain Go Pass allows for unlimited rides, seven days a week. The cost of the Go Pass is \$180 per person, but a minimum of \$15,120 per employer. This equates to 84 Go Passes at a minimum to distribute to all employees. For TDM calculations, it was assumed that 100 Go Passes will be provided for this specific site.
 - **Preferential Carpool Parking:** 32 preferential carpool parking spaces are provided. The carpool parking spaces will be located close to the building's entrances to provide an incentive for employees to carpool. Marked carpool parking spaces will be shown on the proposed site plan.
 - **Commute Assistance Center:** A Commute Assistance Center will be provided with the following features: transit brochure rack, computer kiosk connected to internet, telephone, and a desk and chairs. The center should encourage employees to use transit to commute to work and provide ease of access to determine the optimal mode of transportation home.
 - **Monthly Allowance for Bicyclists, Walkers, and Carpoolers:** A monthly allowance of \$20 will be offered to those employees who walk, bicycle, or carpool to work. This measure provides further incentive to not drive alone to work. The \$20 monthly allowance equates to approximately \$1 per day.
 - **Flexible work hours:** Employees will be offered the opportunity to work a flexible work schedule. Employees can work outside the traditional 8 AM to 5 PM work day. This measure will result in employees avoiding the AM peak (7 AM to 9 AM) and PM peak (4 PM and 6 PM) for their daily commute. It is anticipated that 35 employees would participate in this flexible work schedule.
 - **Combination of Two Elements:** Combining at least two elements in the TDM program results in five additional peak hour trips. By offering complimentary TDM elements, experience has shown that the effectiveness of the program increases.

As shown in **Table 3**, the proposed TDM measures total to 512 trip credits. Although the TDM program results in 512 trip credits, the effectiveness of the TDM program was calculated separately.

EFFECTIVENESS OF TDM PROGRAM ELEMENTS

The effectiveness of the TDM plan was predicted using the COMMUTER model developed by the United States Environmental Protection Agency (EPA). The COMMUTER model is a spreadsheet based model that predicts the travel and emission effects resulting from an employer implemented transportation management program. The model allows for inputs to local work-trip mode shares, work trip lengths, vehicle occupancy, financial incentives for alternative modes of transportation, employer participation rates, and the level of each program to determine the predicted trip reduction rates. After inputting the specific TDM measures mentioned in **Table 3** for the proposed project, the anticipated trip reduction percentage is 21.1 percent. The 21.1 percent effectiveness is similar to other TDM plans in the local area. The COMMUTER model output for this project is shown in **Attachment B**.

The anticipated trip reduction of 21.1 percent was applied to the proposed project trips only, not the trip credits. **Table 4** shows the trip generation summary including the previous use trip credits and the TDM trip reduction.

Table 4 – Trip Generation Summary with Trip Credits

Uses	Vehicle Trips		
	Daily	AM Peak	PM Peak
Proposed Use Trips	1,316	189	174
TDM Trip Reduction (21.1%)	-278	-40	-36
Previous Use Trip Credits	-1,178	-134	-133
Net New Trips	-140	15	5

The net new trips for the proposed project after taking trip credits for the previous use and the TDM program are -140 daily trips, 15 AM peak hour trips, and five PM peak hour trips. The 15 AM peak hour trips and five PM peak hour trips are below the City's threshold of 16 peak hour trips (the equivalent number of peak hour trips for a 10 KSF office building).

Attachment A

1315 O'Brien Trip Generation Table

TIME PERIOD		LAND USE	Trip Rate			Trips		
			In	Out	Total	In	Out	Total
Daily	Previous	Warehousing (162.839 KSF)	1.78	1.78	3.56	280	280	560
		General Office Building (56.002 KSF)	5.515	5.515	11.03	309	309	618
		Total Previous Use Daily Trips				(589)	(589)	(1,178)
	Proposed	Research and Development Center (113.382 KSF)	4.06	4.06	8.11	460	460	920
		Manufacturing (45.796 KSF)	1.91	1.91	3.82	88	88	176
		Warehousing (61.338 KSF)	1.78	1.78	3.56	110	110	220
		Total Proposed Use Daily Trips				658	658	1,316
		TDM Reduction (21.1%)				(139)	(139)	(278)
		Net New Daily Trips				(70)	(70)	(140)
AM Peak	Previous	Warehousing (162.839 KSF)	0.24	0.06	0.30	37	10	47
		General Office Building (56.002 KSF)	1.37	0.19	1.56	77	10	87
		Total Previous Use AM Trips				(114)	(20)	(134)
	Proposed	Research and Development Center (113.382 KSF)	1.01	0.21	1.22	115	23	138
		Manufacturing (45.796 KSF)	0.57	0.16	0.73	26	7	33
		Warehousing (61.338 KSF)	0.24	0.06	0.30	14	4	18
		Total Proposed Use AM Trips				155	34	189
		TDM Reduction (21.1%)				(33)	(7)	(40)
		Net New AM Peak Trips				8	7	15
PM Peak	Previous	Warehousing (162.839 KSF)	0.08	0.24	0.32	13	37	50
		General Office Building (56.002 KSF)	0.25	1.24	1.49	14	69	83
		Total Previous Use PM Trips				(27)	(106)	(133)
	Proposed	Research and Development Center (113.382 KSF)	0.16	0.91	1.07	18	103	121
		Manufacturing (45.796 KSF)	0.26	0.47	0.73	12	21	33
		Warehousing (61.338 KSF)	0.08	0.24	0.32	5	15	20
		Total Proposed Use PM Trips				35	139	174
		TDM Reduction (21.1%)				(7)	(29)	(36)
		Net New PM Peak Trips				1	4	5

Attachment B

COMMUTER MODEL RESULTS

SCENARIO INFORMATION

Description	C/CAG Base TDM Program
Scenario Filename	Tarltton1315-incAltWorkWeek.vme
Emission Factor File	
Performing Agency	Kimley-Horn and Associates, Inc
Analyst	Ben Huie
Metropolitan Area	Menlo Park, CA
Area Size	1 - Large (over 2 million)
Analysis Scope	2 - Site or Employer-Based
Analysis Area/Site	1315 O'Brien Drive
Total Employment	360

PROGRAMS EVALUATED

<input checked="" type="checkbox"/>	Site Walk Access Improvements
<input type="checkbox"/>	Transit Service Improvements
<input checked="" type="checkbox"/>	Financial Incentives
<input checked="" type="checkbox"/>	Employer Support Programs
<input checked="" type="checkbox"/>	Alternative Work Schedules
<input type="checkbox"/>	User-Supplied Final Mode Shares

MODE SHARE IMPACTS

Mode	Baseline	Final	%Change
Drive Alone	70.5%	55.2%	-15.3%
Carpool	6.5%	9.0%	+2.5%
Vanpool	0.0%	0.0%	+0.0%
Transit	4.3%	17.4%	+13.1%
Bicycle	7.3%	8.6%	+1.3%
Pedestrian	2.7%	2.8%	+0.1%
Other	8.7%	7.0%	-1.7%
No Trip	-	0.0%	+0.0%
Total	100.0%	100.0%	-

Shifted from Peak to Off-Peak	1.1%
-------------------------------	------

TRAVEL IMPACTS (relative to affected employment)

Quantity	Peak	Off-Peak	Total
Baseline VMT	4,483	2,818	7,301
Final VMT	3,688	2,425	6,113
VMT Reduction	794	394	1,188
% VMT Reduction	17.7%	14.0%	16.3%
Baseline Trips	324	204	528
Final Trips	256	170	426
Trip Reduction	68	34	102
% Trip Reduction	21.1%	16.6%	19.4%



STAFF REPORT

Planning Commission

Meeting Date:

11/7/2016

Staff Report Number:

16-091-PC

Regular Business:

Architectural Control Revision/Rob Fischer/1090 El Camino Real (555 Santa Cruz Avenue)

Recommendation

Staff recommends that the Planning Commission approve a request for architectural control revision to allow roll-down security gates to be installed at three building entry locations along Santa Cruz Avenue, at 1090 El Camino Real in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The recommended actions are included as Attachment A.

Policy Issues

Each architectural control request is considered individually. The Planning Commission should consider whether the required architectural control findings can be made for the proposal.

Background

Site location

The subject site is located at the southeast corner of El Camino Real and Santa Cruz Avenue, with El Camino Real oriented in a north-south direction. The applicant recently received approval to change the address of the subject site from 1090 El Camino Real to 555 Santa Cruz Avenue. The Menlo Center development, which occupies the remainder of the city block, consists of a mix of commercial uses (retail, restaurant, and offices). The Caltrain parking lot and train station is directly to the east, and a mix of commercial uses (restaurants, retail, offices) are located to the north, south, and west of the subject city block. The property across the street to the north at 556-558 Santa Cruz Avenue is a mixed use building containing commercial space on the ground floor and residential units above. All properties on adjacent blocks are also in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district.

Previous development review

On February 10, 2014, the Planning Commission approved an architectural control application at 1090 El Camino Real in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The project includes exterior modifications to an existing two-story commercial building in conjunction with a restaurant use. The approved exterior modifications include removing an existing arbor in the plaza shared with Menlo Center (1010 El Camino Real), relocating the main entry from the El Camino Real frontage to the Santa Cruz Avenue frontage, installing a new canopy at the main entry, adding a new exterior staircase on the Santa Cruz Avenue frontage, and constructing a new rooftop deck at the rear of the existing building. The rooftop deck includes an elevator penthouse, stair enclosure, and a canopy shade structure. The proposed restaurant includes outdoor seating on the ground floor in the plaza, as well as on the rooftop deck. The gross floor area for the building will not increase as part of the project.

On October 24, 2014, a substantial conformance memorandum was sent to the Planning Commission to review exterior changes to the approved elevations. The primary changes included exterior modifications and redistribution of existing gross floor area to allow an enclosed kitchen on the roof deck. The Planning Commission declined to pull the item for discussion, so these revisions were approved by staff.

On August 4, 2016, a subsequent substantial conformance memorandum was sent to the Planning Commission to review additional exterior changes to the approved elevations. The primary changes included changes to the building's color scheme, installation of screening for plumbing equipment, relocation of an electrical equipment cabinet, and installation of additional glass panel guardrails and light fixtures at the rooftop deck. The Planning Commission declined to pull the item for discussion, so these revisions were also approved by staff.

Analysis

Project description

The applicant is proposing to install motorized roll-down metal security gates at three building entrances along Santa Cruz Avenue, including the at main entrance, and at the vestibule areas for stairs #2 and #3. According to the applicant, the roll-down gates are necessary to secure these alcoves from trespassers, transients, and other unwelcome activity due to the site's proximity to the Caltrain station. The gates would be fully retracted in their open position during business hours, at which time they would not be visible from the street. The restaurant's business hours would be seven days a week, from 8:00 a.m. to 2:00 a.m., with 10:00 p.m. being the earliest closing time. The gates would be opened and closed electronically through controls inside the vestibule areas, with the ability to raise them manually in the event of an emergency.

As part of the previous architectural control application, the applicant had initially proposed metal roll-down gates to secure the vestibule areas for stairs #2 and #3. The initial design consisted of a metal chain curtain that would provide a security barrier to the stair vestibule areas while remaining visible and open to the street, with a similar aesthetic to roll-down gates employed by stores inside a shopping mall. At the time, staff believed that the aesthetics of the roll-down gate was not ideal, and recommended revisiting this component in the future, and only if there is a demonstrated security need. Condition 4a of the approval allowed staff to review roll-down gates or other security features at the vestibule areas for stairs #2 and #3, to be considered based on a demonstrated need for additional security and in conjunction with the proposed business hours.

The aesthetics of the metal security gates as currently proposed would be more opaque than the design previously contemplated, and would be a more visible feature along the Santa Cruz Avenue frontage, since they would also be installed at the main entrance vestibule. The proposal would not constitute or otherwise affect the gross floor area of the building since the gates would be rolled up the majority of the time. Furthermore, the applicant has already installed the gates. Staff believes that the current proposal would exceed staff's purview under Condition 4a, and requires a revision to the architectural control approval.

The applicant's project description letter describes the proposal in more detail, and is included as Attachment C.

Design and materials

The proposed security gates would be constructed of aluminum perforated with a square hole pattern, and would have a natural aluminum matted finish. The coil housing that the gates roll up into would consist of painted metal matching the dark grey of adjacent storefront and windows, where the coil and coil housing would be integrated into the wall assembly and would not project beyond the adjacent walls. The motors

powering the roll-down gates would be installed inside the building and would not be visible from the street. According to Specific Plan standard E.3.5.23, storefronts should only be shuttered for security reasons, and the shutters should be located on the inside of store windows and allow for maximum visibility of the interior. The proposed security gates at the main entrance would be unique in that they would need to be installed outside the storefront windows in order to effectively secure this vestibule area. The remaining two security gate locations at the vestibule areas for stairs #2 and #3 do not have storefront windows, as they are intended to function as service entries and/or comply with building exiting requirements. The applicant has already installed the security gates without staff review or benefit of permits, and the overall appearance of the gates can be seen in the photographs on Attachment E.

Conclusion

Staff believes that the installation of metal security gates is not supported by a demonstrated need for security at the present time as the restaurant is still under construction and is not yet in operation; however, given that the gates would only be down and visible from the hours of 10:00 p.m. to 8:00 a.m., they would have a minimal visual impact to the streetscape during daytime hours.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The Specific Plan process included detailed review of projected environmental impacts through a program Environmental Impact Report (EIR), as required by the California Environmental Quality Act (CEQA). In compliance with CEQA requirements, the Draft EIR was released in April 2011, with a public comment period that closed in June 2011. The Final EIR, incorporating responses to Draft EIR comments, as well as text changes to part of the Draft EIR itself, was released in April 2012, and certified along with the final Plan approvals in June 2012.

The proposed project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines. As such, no additional environmental analysis is required above and beyond the Specific Plan EIR. Relevant mitigation measures from this EIR have been included as part of the approved Mitigation Monitoring and Reporting Program (MMRP) that was approved as part of the previous architectural control application, and have since been implemented. The proposed changes would not affect the preservation of the character-defining historic elements of the building in accordance with the Secretary of the Interior's Standards; therefore, the proposed project would not result in any significant impacts to historic resources.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Project Description Letter
- D. Project Plans
- E. Photographs of Existing Security Gates As Installed

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

Material sample

Report prepared by:
Jean Lin, Senior Planner

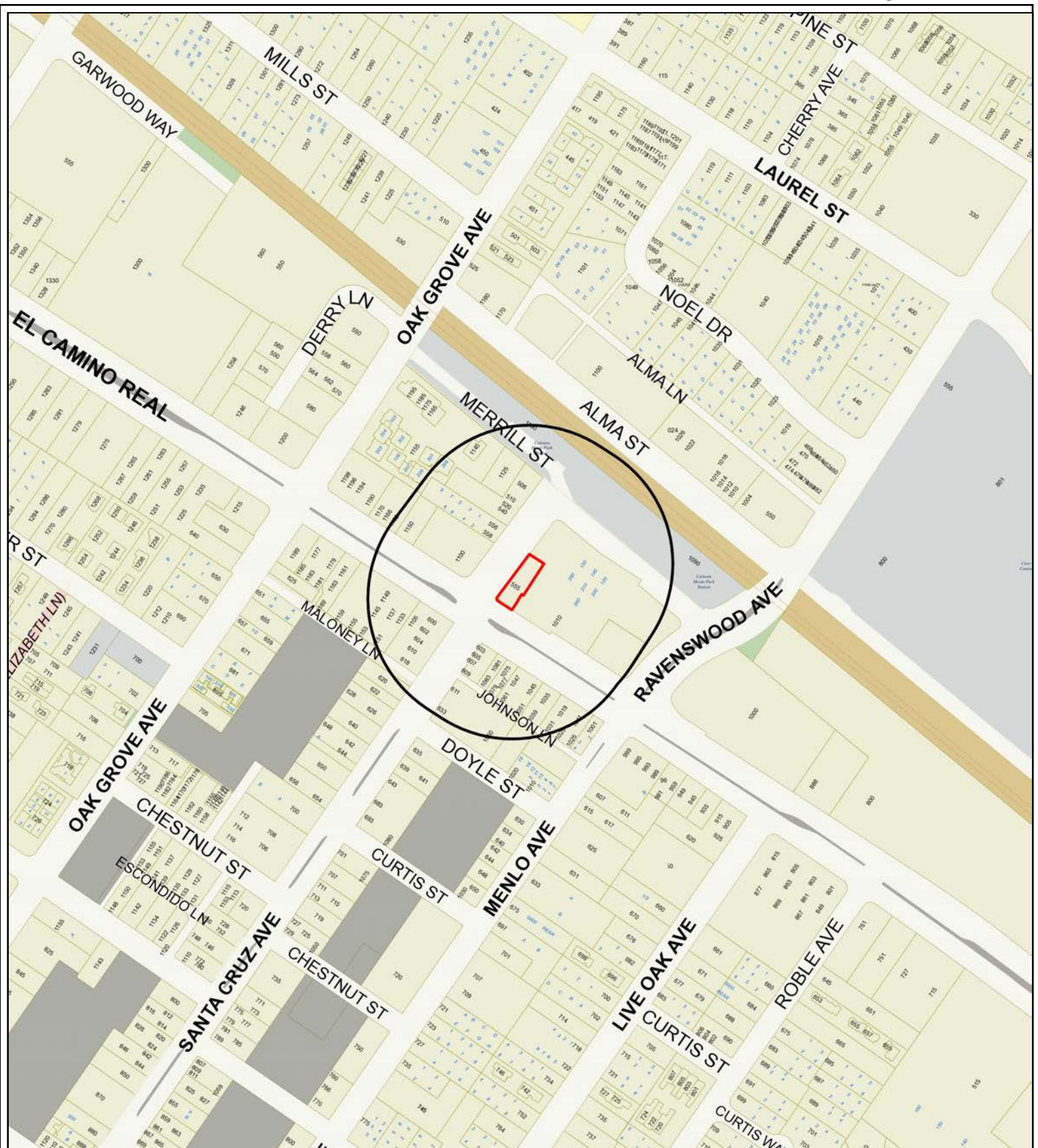
Report reviewed by:
Thomas Rogers, Principal Planner

1090 El Camino Real – Attachment A: Recommended Actions

LOCATION: 1090 El Camino Real (555 Santa Cruz Avenue)	PROJECT NUMBER: PLN2016-00094	APPLICANT: Robert Fischer	OWNER: Dennis Grimsman
REQUEST: Request for an architectural control revision to allow metal roll-down doors to be installed at three building entrances along Santa Cruz Avenue in conjunction with a restaurant use at an existing commercial building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
ACTION: <ol style="list-style-type: none">1. Make findings with regard to the California Environmental Quality Act (CEQA) that the proposal is within the scope of the project covered by the El Camino Real/Downtown Specific Plan Program EIR, which was certified on June 5, 2012. Specifically, make findings that:<ol style="list-style-type: none">a. The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current CEQA Guidelines.b. Relevant mitigation measures have been incorporated into the project through the Mitigation Monitoring and Reporting Program approved on February 10, 2014.2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:<ol style="list-style-type: none">a. The general appearance of the structure is in keeping with the character of the neighborhood.b. The development will not be detrimental to the harmonious and orderly growth of the City.c. The development will not impair the desirability of investment or occupation in the neighborhood.d. The development provides adequate parking as required in all applicable city ordinances and has made adequate provisions for access to such parking.e. The development is consistent with the El Camino Real/Downtown Specific Plan.3. Approve the use permit and architectural control subject to the following standard conditions:<ol style="list-style-type: none">a. Development of the project shall be substantially in conformance with the plans prepared by CCS Architecture consisting of three plan sheets, dated received November 2, 2016, and approved by the Planning Commission on November 7, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The existing curb inlet shall be			

1090 El Camino Real – Attachment A: Recommended Actions

LOCATION: 1090 El Camino Real (555 Santa Cruz Avenue)	PROJECT NUMBER: PLN2016-00094	APPLICANT: Robert Fischer	OWNER: Dennis Grimsman
REQUEST: Request for an architectural control revision to allow metal roll-down doors to be installed at three building entrances along Santa Cruz Avenue in conjunction with a restaurant use at an existing commercial building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district.			
DECISION ENTITY: Planning Commission	DATE: November 7, 2016	ACTION: TBD	
VOTE: TBD (Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken, Strehl)			
ACTION: converted to a junction box and install a new curb inlet per City's standards. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating the removal of the existing curb, gutter, and sidewalk and installation of new curb, gutter, sidewalk, and planting strip per City standards along the entire property frontage. The plans shall be submitted for review and approval of the Engineering Division. f. Prior to commencing any construction activities in the public right-of-way or public easements, including, but not limited to, installation of the proposed canopy over the public sidewalk, the applicant shall obtain an encroachment permit for review and approval of the Engineering Division. 4. Approve the architectural control revision subject to the following <i>ongoing project-specific</i> conditions: a. All outdoor noise amplification must meet required noise levels at any residential property line in accordance with the Noise Ordinance. b. Any citation or notification of violation by the California Department of Alcoholic Beverage Control or other agency having responsibility to assure public health and safety for the sale of alcoholic beverages will be grounds for considering revocation of the use permit. 5. Approve the architectural control revision subject to the following <i>project-specific</i> conditions: a. The roll-down metal security gates shall remain rolled up in their open position seven days a week during the hours of 8:00 a.m. to 10:00 p.m.			



City of Menlo Park
Location Map
1090 El Camino Real



Scale: 1:3,600

Drawn By: JPL

Checked By: JPL

Date: 11/7/2016

Sheet: 1

11.01.16

Jean Lin
Associate Planner
City of Menlo Park Planning Division
701 Laurel Street
Menlo Park, CA 94025
phone (650) 330-6735
email jplin@menlopark.org

RECEIVED

NOV 02 2016

CITY OF MENLO PARK
BUILDING

RE: 1090 El Camino Real (BLD2014-00769), Roll-down security gates

The applicant is proposing the use of motorized roll-down metal security gates in the building alcoves facing onto Santa Cruz Ave. The purpose of the gates is to serve as a deterrent to trespassing, homeless camping, vandalism, or any other illegal use or other unwelcome activity within the street alcoves. The applicant deems this as necessary due to the immediate area's higher crime rate, as well as the building's proximity to the Menlo Park rail station, where homeless camping is a common occurrence.

The gates as proposed would be fully retracted in their open position during business hours, approximately 7AM-closing, and would not be visible to passers-by during these hours. The gates proposed are aluminum with a square hole pattern, with natural aluminum finish that is easier to maintain, in the event of tagging, than paint. The coil housing that the gates roll up into are painted metal, the same color as the adjacent building windows and storefront. The coil and coil housing would be built to be integrated into the wall assembly so as not to project beyond the adjacent wall finish.

The gates are opened and closed with a push button inside of vestibule and a keyed electronic switch mounted on wall outside the vestibule. In the event of an emergency power outage when gates are down, the gates may be raised fully into the open position by means of a manual pull switch located inside the vestibule. The pull switch will comply with CBC section 1008.1.4.2 where power operated doors are part of the means of egress (see attached building code excerpt for reference).

Signage would be posted in vestibule stating that "DOOR TO REMAIN OPEN WHILE BUILDING IS OCCUPIED." Additional signage will be provided noting operation in case of emergency. The signage will comply with CBC section 1008.1.9.3 where lockable doors are part of the means of egress (see attached building code excerpt for reference).

Sincerely,
Timothy Quayle,
Senior Associate
CCS Architecture
(415) 864-2800 x 320
tquayle@ccs-architecture.com

areas within the building which are within 75 feet (22 860 mm) of the revolving doors.

4. There is an actuation of a manual control switch, in an approved location and clearly defined, which reduces the holding force to below the 130-pound (578 N) force level.

1008.1.4.2 Power-operated doors. Where means of egress doors are operated by power, such as doors with a photoelectric-actuated mechanism to open the door upon the approach of a person, or doors with power-assisted manual operation, the design shall be such that in the event of power failure, the door is capable of being opened manually to permit means of egress travel or closed where necessary to safeguard means of egress. The forces required to open these doors manually shall not exceed those specified in Section 1008.1.3, except that the force to set the door in motion shall not exceed 50 pounds (220 N). The door shall be capable of swinging from any position to the full width of the opening in which such door is installed when a force is applied to the door on the side from which egress is made. Full-power-operated doors shall comply with BHMA A156.10. Power-assisted and low-energy doors shall comply with BHMA A156.19.

Exceptions:

1. Occupancies in Group I-3.
2. Horizontal sliding doors complying with Section 1008.1.4.3.
3. For a biparting door in the emergency break-out mode, a door leaf located within a multiple-leaf opening shall be exempt from the minimum 32-inch (813 mm) single-leaf requirement of Section 1008.1.1, provided a minimum 32-inch (813 mm) clear opening is provided when the two biparting leaves meeting in the center are broken out.

1008.1.4.3 Horizontal sliding doors. In other than Group H occupancies, horizontal sliding doors permitted to be a component of a means of egress in accordance with Exception 6 to Section 1008.1.2 shall comply with all of the following criteria:

1. The doors shall be power operated and shall be capable of being operated manually in the event of power failure.
2. The doors shall be openable by a simple method from both sides without special knowledge or effort.
3. The force required to operate the door shall not exceed 30 pounds (133 N) to set the door in motion and 15 pounds (67 N) to close the door or open it to the minimum required width.
4. The door shall be openable with a force not to exceed 15 pounds (67 N) when a force of 250 pounds (1100 N) is applied perpendicular to the door adjacent to the operating device.

5. The door assembly shall comply with the applicable fire protection rating and, where rated, shall be self-closing or automatic closing by smoke detection in accordance with Section 716.5.9.3, shall be installed in accordance with NFPA 80 and shall comply with Section 716.
6. The door assembly shall have an integrated standby power supply.
7. The door assembly power supply shall be electrically supervised.
8. The door shall open to the minimum required width within 10 seconds after activation of the operating device.

1008.1.4.4 Security grilles. In Groups B, F, M and S, horizontal sliding or vertical security grilles are permitted at the main exit and shall be openable from the inside without the use of a key or special knowledge or effort during periods that the space is occupied. The grilles shall remain secured in the full-open position during the period of occupancy by the general public. Where two or more means of egress are required, not more than one-half of the exits or exit access doorways shall be equipped with horizontal sliding or vertical security grilles.

1008.1.5 Floor elevation. There shall be a floor or landing on each side of a door. Such floor or landing shall be at the same elevation on each side of the door. Landings shall be level except for exterior landings, which are permitted to have a slope not to exceed 0.25 unit vertical in 12 units horizontal (2-percent slope).

Exceptions:

1. Doors serving individual dwelling units in Groups R-2 and R-3 where the following apply:
 - 1.1. A door is permitted to open at the top step of an interior flight of stairs, provided the door does not swing over the top step.
 - 1.2. Screen doors and storm doors are permitted to swing over stairs or landings.
2. Exterior doors as provided for in Section 1003.5, Exception 1, and Section 1020.2, which are not on an accessible route.
3. In Group R-3 occupancies not required to be *adaptable or accessible*, the landing at an exterior doorway shall not be more than 7³/₄ inches (197 mm) below the top of the threshold, provided the door, other than an exterior storm or screen door, does not swing over the landing.
4. Variations in elevation due to differences in finish materials, but not more than 1¹/₂ inch (12.7 mm).

1008.1.6 Landings at doors. Landings shall have a width not less than the width of the stairway or the door, whichever is greater. Doors in the fully open position shall not reduce a required dimension by more than 7 inches (178 mm). When a landing serves an occupant load of 50 or more, doors in any position shall not reduce the landing to

less than one-half its required width. Landings shall have a length measured in the direction of travel of not less than 44 inches (1118 mm).

Exception: Landing length in the direction of travel in Groups R-3 and U and within individual units of Group R-2 need not exceed 36 inches (914 mm).

1008.1.7 Thresholds. Thresholds at doorways shall not exceed $\frac{3}{4}$ inch (19.1 mm) in height above the finished floor or landing for sliding doors serving dwelling units or $\frac{1}{2}$ inch (12.7 mm) above the finished floor or landing for other doors. Raised thresholds and floor level changes greater than $\frac{1}{4}$ inch (6.4 mm) at doorways shall be beveled with a slope not greater than one unit vertical in two units horizontal (50-percent slope).

Exception: In occupancy Group R-2 or R-3, threshold heights for sliding and side-hinged exterior doors shall be permitted to be up to $7\frac{3}{4}$ inches (197 mm) in height if all of the following apply:

1. The door is not part of the required means of egress.
2. The door is not part of an accessible route as required by Chapter 11A or 11B.
3. The door is not part of an *adaptable or accessible dwelling unit*.

1008.1.8 Door arrangement. Space between two doors in a series shall be 48 inches (1219 mm) minimum plus the width of a door swinging into the space. Doors in a series shall swing either in the same direction or away from the space between the doors.

Exceptions:

1. The minimum distance between horizontal sliding power-operated doors in a series shall be 48 inches (1219 mm).
2. Storm and screen doors serving individual dwelling units in Groups R-2 and R-3 need not be spaced 48 inches (1219 mm) from the other door.
3. Doors within individual dwelling units in Groups R-2 and R-3 other than *adaptable or accessible dwelling units*.

1008.1.9 Door operations. Except as specifically permitted by this section egress doors shall be readily openable from the egress side without the use of a key or special knowledge or effort.

1008.1.9.1 Hardware. Door handles, pulls, latches, locks and other operating devices on doors required to be accessible by Chapter 11A or 11B shall not require tight grasping, tight pinching or twisting of the wrist to operate.

These design requirements for door handles, pulls, latches, locks and other operating devices, intended for use on required means of egress doors in other than Group R and M occupancies with an occupant load of 10 or less, shall comply with SFM Standard 12-10-2, Section 12-10-202 contained in the CCR, Title 24, Part 12, California Referenced Standards Code.

1008.1.9.2 Hardware height. Door handles, pulls, latches, locks and other operating devices shall be installed 34 inches (864 mm) minimum and 48 inches (1219 mm) maximum above the finished floor. Locks used only for security purposes and not used for normal operation are permitted at any height.

Exception: Access doors or gates in barrier walls and fences protecting pools, spas and hot tubs shall be permitted to have operable parts of the release of latch on self-latching devices at 54 inches (1370 mm) maximum above the finished floor or ground, provided the self-latching devices are not also self-locking devices operated by means of a key, electronic opener or integral combination lock.

1008.1.9.3 Locks and latches. Locks and latches shall be permitted to prevent operation of doors where any of the following exists:

1. Places of detention or restraint.
2. In buildings in occupancy Group A having an occupant load of 300 or less, Groups B, F, M and S, and in places of religious worship, the main exterior door or doors are permitted to be equipped with key-operated locking devices from the egress side provided:

2.1. The locking device is readily distinguishable as locked;

2.2. A readily visible durable sign is posted on the egress side on or adjacent to the door stating: THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. The sign shall be in letters 1 inch (25 mm) high on a contrasting background; and

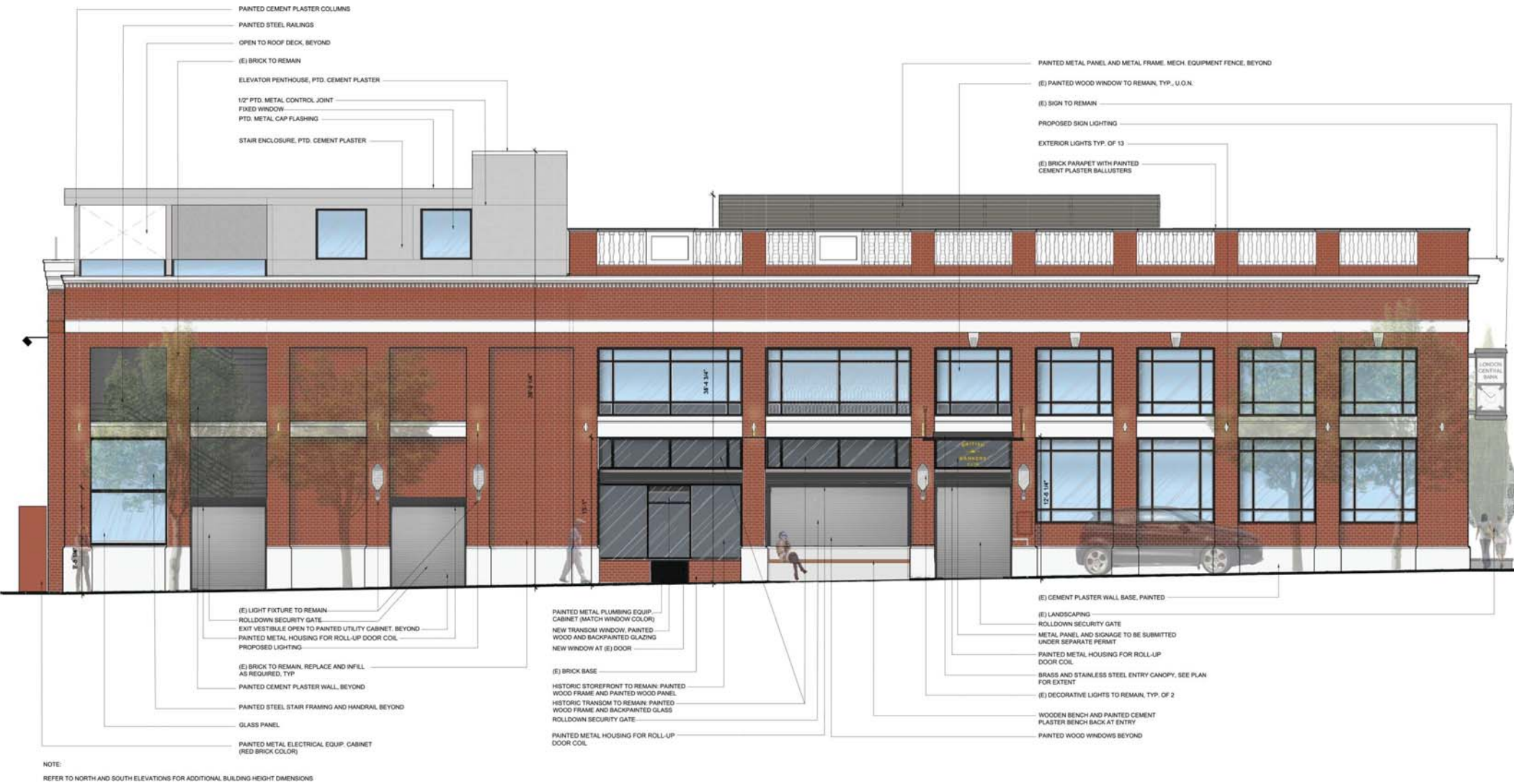
2.3. The use of the key-operated locking device is revokable by the building official for due cause.

3. Where egress doors are used in pairs, approved automatic flush bolts shall be permitted to be used, provided that the door leaf having the automatic flush bolts has no doorknob or surface-mounted hardware.
4. Doors from individual dwelling or sleeping units of Group R occupancies having an occupant load of 10 or less are permitted to be equipped with a night latch, dead bolt or security chain, provided such devices are openable from the inside without the use of a key or tool.
5. Fire doors after the minimum elevated temperature has disabled the unlatching mechanism in accordance with listed fire door test procedures.

1008.1.9.4 Bolt locks. Manually operated flush bolts or surface bolts are not permitted.

Exceptions:

1. On doors not required for egress in individual dwelling units or sleeping units.





KEYNOTES:









- | | | | |
|----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. | SEE SCHEDULE A01 FOR BYL DEFINITIONS | 5. | DOORS: ALL DOORS ARE NUMBERED ACCORDING TO THE CORRESPONDING ROOM NUMBERS, WHERE DOORS HAVE MORE THAN ONE NUMBER, THE FIRST NUMBER SHOWS THE ROOM NUMBER, SEE SCHEDULE A11.01 FOR THE DOOR SCHEDULE. |
| 2. | SEE EXISTING CODE AND CODE PLANS FOR FRIER RATED WALLS, PARTITION WALLS, PARTITION DOORS, GLASS PARTITION WALL DIMENSIONS ARE SHOWN TO CENTER LINE OF CONCRETE FLOOR OF CONCRETE INTERIOR OXYGEN SHEATHING FACE OF INTERIOR OXYGEN SHEATHING | 6. | INTERIOR WALLS: REFER TO SCHEDULE A03.0 FOR INTERIOR PARTITION ASSEMBLY DETAILS. |
| 3. | ALL ROOMS, THE ROOM NUMBER IS ASSIGNED ON THE FOLLOWING BASIS, THE FIRST DIGIT DESIGNATES THE BUILDING, THE SECOND DIGIT DESIGNATES THE ROOM NUMBER ON THE FLOOR. | 7. | FINISHES: REFER TO SCHEDULE A02.02 FOR INTERIOR FINISH SCHEDULE. |
| 4. | | 8. | REFER TO SCHEDULE A04.0 FOR ADDITIONAL INFORMATION NOT NOTED ON THE F.P.LANS. |
| | | 9. | SEE ENLARGED PLANS FOR INTERIOR ELEVATION TAGS IN ROOMS. |

- | | | | | | | | | | |
|----|------------------------------------|----|-----------------------------------------|----|----------------------------------|----|--------------------------------------------------------------------|----|-----------------------------------------|
| 01 | BULTAN WOOD BENCH. | 02 | MOVABLE CANTERED PLANTERS. | 03 | MEZZANINE GUARDRAIL, 42" AFF | 04 | AREA DRINK SPD | 05 | WALL PARAPET CAP BELOW. |
| 06 | CANOPY ABOVE SHOWN DASH. | 07 | REMOVABLE UMBRELLA. | 08 | IF PARAPET CAP. | 09 | METAL ACCESS LADDER BETWEEN ROOF LEVELS. | 10 | BULKHEAD SLOPE TO DRAIN 1/8" TO 1" TYP. |
| 11 | ELECTRICAL, MAIN IN CABINET. SED | 12 | IF PLATE FEATURE. | 13 | SOFFIT ABOVE. | 14 | FLOOR DRAIN | 15 | CURB-ADJUSTED SLOPE. |
| 16 | SEAT STEAR, GUARDRAILS, HANDRAILS. | 17 | FIBER BANGLED SEATING. SEE 17.01 | 18 | ROOF DECK SURFACE TO MATCH 17.01 | 19 | PARTIAL GRASS COUNTER FLASHING AT ROOFLINE JANT. | 20 | RETRACTABLE ANCHORS IN OPEN |
| 21 | MILKVOIR. | 22 | METAL ENTRY CANOPY BELOW. | 23 | GRASS METER SPD. | 24 | FLORIN DRAIN | 25 | DOMESTIC WATER BACKFLOW PREVENTER SPD. |
| 26 | FOOD SERVICE EQUIPMENT (SEE 26.01) | 27 | CONCRETE PLANTER WALL MATCH (SEE 27.01) | 28 | ROOF EDGE ABOVE SHOWN DASHED. | 29 | PARTIAL CORRUGATED STEEL PANEL + EXPOSED ROOF MECHANICAL FLASHING. | 30 | MEMBRANE ROOFING OVER (SEE 30.01) |
| 31 | LANDSCAPING. | 32 | ANNING BELOW. | 33 | BANQUETTE BENCH SEAT + BACK. | 34 | PAINTED GRASS ROOF FLASHING. | 35 | MATERIALS. EQUIPMENT. 36.01 |

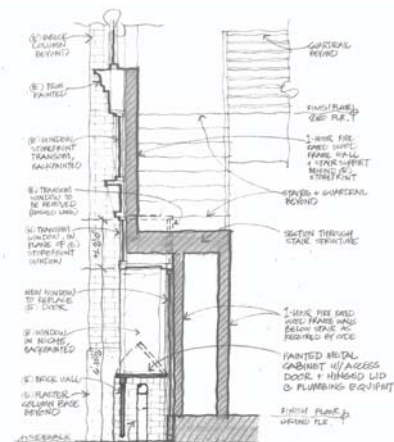
- | | | | |
|----|-----------------------------------------------------------------------------------------------------------------------|----|------------------------------------------------|
| 36 | LOW HEIGHT PARTITION | 42 | GAS FIRE PIT INSERT. SEE FOR SPEC., U/L NUMBER |
| 37 | RAISED CRAWL SPACE IN FLOOR OVER GARAGE. FILL TO ADJ. BELOW FLOOR OR MATCH (E) ADJ. CRAWL SPACE. GRADE ELEVATION: SSD | 43 | INSECT SCREEN |
| 38 | (E) SIDEWALK | 44 | ROLL-DOWN SECURITY GARAGE DOOR |
| 39 | AREA DRAIN | 45 | STEEL FRAME AND GLASS PARTITION |
| 40 | BACK PANT GLAZING (E) STOREFRONT | 46 | RWL IN WALL |
| 41 | S.S. LOCKING SECURITY DOOR AT WALK STATION. SFSD | 47 | ROOF FRAMING VENT |
| | | 48 | ROOF CURB OF FLASHING @ MECHANICAL RISER |

- | A11.01 | | EXISTING WALLS TO REMAIN | |
|--------|---------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|-----------|
| 48 | IN GROUND GREASE INTERCEPTOR, SPD | | |
| 90 | ROOF SCUPPER TO RIM, SPLASHBOED BELOW | | NEW WALLS |
| 51 | ELECTRICAL SUBPANELS, EXISTING CONTROL PANELS, FIRE ALARM PANELS, SEE ACCESSIBLE BAR ACCESS | 1 HOUR FIRE RATED WALL | |
| 52 | STEEL SECURITY FENCE AND GATE | 2 HOUR FIRE RATED WALL | |
| 54 | REFRIGERATION EQUIPMENT, SPD | 1 1/2" X 1 1/2" SS CORNER GUARD UP TO 9'-4" AFF. SEE DETAIL A10.10 / 62A | |
| 56 | PAINTED MTL ELECTRICAL | SS CAP UP TO 9'-4" AFF. SEE DETAIL A10.10 / 62B | |
| | | FIRE EXTINGUISHER | |

LEGEND:

-  EXISTING WALLS TO REMAIN
 NEW WALLS
 1 HOUR FIRE RATED WALL
 2 HOUR FIRE RATED WALL
 1 1/2" x 1 1/2" SS CORNER
 GUARD UP TO 9'-0" A.F.F., SEE
 DETAIL A10.10 / #23A
 SS CAP UP TO 9'-0" A.F.F., SEE
 DETAIL A10.10 / #23B
 FIRE EXTINGUISHER

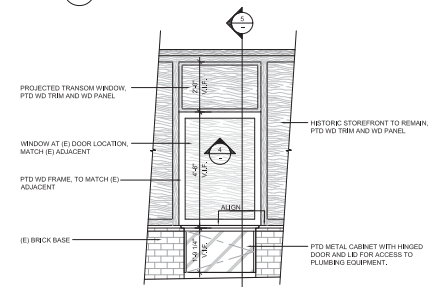




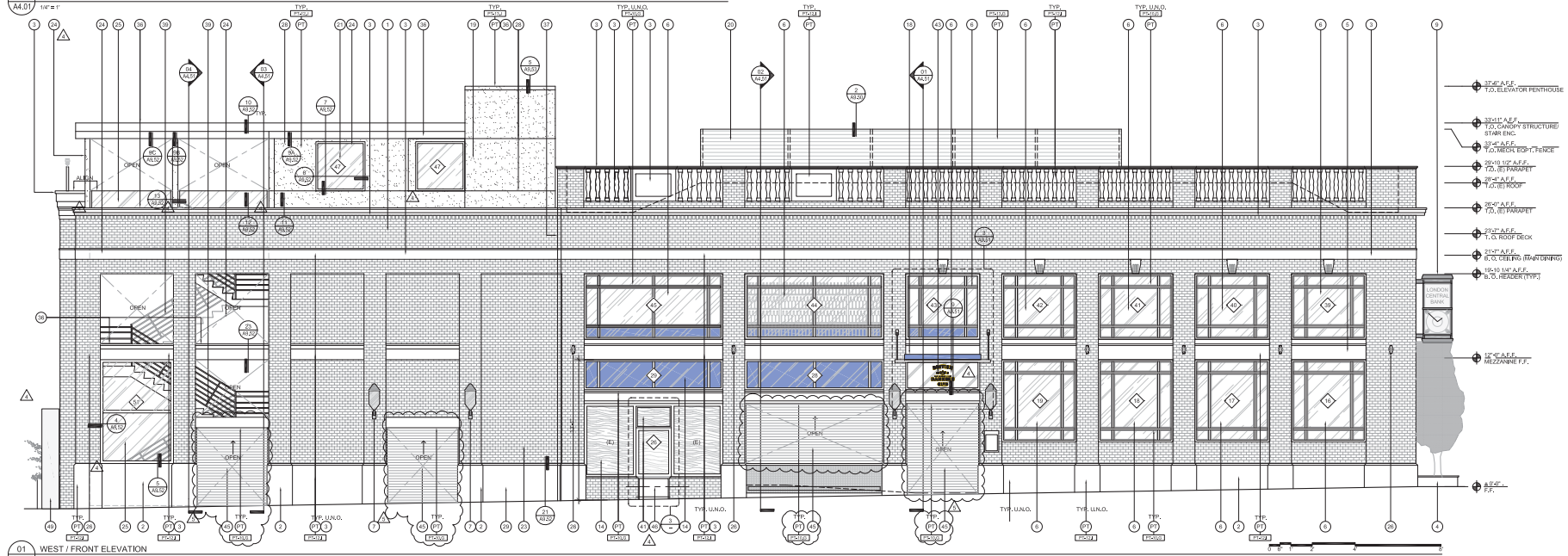
1/8" SQ REVEAL ALL SIDES, TYP. ————— PTD WD FRAME AND PANEL

PTD WD FRAME, TO MATCH (E) ADJACENT

4 RCP - PROJECTED TRANSOM AT (E) STOREFRONT





3 ELEVATION - TRANSOM AND INSET AT (E) STOREFRONT



KEYNOTES:

- [illegible]

- | | | |
|----------------------------------------|----------------------------------------------------------------|---------------------------------------------|
| CONTROL JOINT, PTD | WATT STATION CABINET AND SS COUNTERTOP
WITH SS BASE, BY ESC | PAINTED FURNISHINGS INC. |
| GRID WALL SCUPPER, PAINTED | OSM FLASHING, PAINTED | REPAIRS, SUBMITTED UNDER SEPARATE
ORDER |
| FIXED AWNING - FABRIC OVER STEEL FRAME | OSM DESIGN, JOINT FLASHING, REPAIRED
PAINTED | ROLL DOWN SECURITY GATE |
| META, SECURITY GATE, PAINTED | ELECTRICAL EQUIPMENT, SEED | PAINTED METAL PLUMBING SCUPPER |
| RAMP | STEEL STAIR FRAME AND RAILING,
PAINTED | PAINTED WINDOW CASING |
| BENCH - WOOD BOARD, CLEAR STAIN | NEW ACCESS LADDER. | WINDOW FRAMES PAINTED BLUE, SEE
SCHEDULE |
| MOVABLE PLANTER UNIT, ABC BARRIER INC. | ROOF STOREFRONT TO MATCH
EXISTING | IF APPLICABLE TO REMAIN, PAINTED GREY |

- 
 48 METAL ELECTRICAL EQUIPMENT CABINET,
 PAINTED TO MATCH AGL BRICK
 GLASS PANELS, GUARDRAILS, AND LIGHT
 FIXTURES
- 
 49 WINDOW WITH BACK PAINTED
 OR WINDOW FILM OVER GLASS

LEGEND



CGS 株式会社

〒100-0001 東京都千代田区千代田 1-1-1
 丸の内ビルディング 10F
 TEL 03-5561-0101 FAX 03-5561-0102
 E-MAIL info@cgscorp.co.jp



PROJECT NAME
BBC
1090 EL CAMINO REAL
MENLO PARK, CA
94025
061 - 442 - 330

ISSUED	DESCRIPTION
06.25.14	PERMIT SET
9.5.14	PLAN CHECK REV / BID
11.19.14	PLAN CHECK REV
5.1.15	3 CONSTRUCTION SET
8.19.15	4 PERMIT REVISION
11.01.15	5 SECURITY GATES
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SHEET TITLE
EXTERIOR ELEVATIONS

FILE	1.13246-A4.00.dwg
BY	MPF
SCALE	1/4" = 1'
SHEET	

A4.01



Security gate rolled down at the main entrance



Interior view of security gate