



## REGULAR MEETING AGENDA

**Date:** 4/10/2017  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

**A. Call To Order**

**B. Roll Call**

**C. Reports and Announcements**

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

**D. Public Comment**

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

**E. Consent Calendar**

- E1. Approval of minutes from the March 13, 2017 Planning Commission meeting. ([Attachment](#))

**F. Public Hearing**

- F1. Use Permit/Ying-Min Li/338 Barton Way:

Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with respect to lot width and area in the R-1-U (Single-Family Urban) zoning district. As part of the project, one heritage holly tree in the front left yard, one heritage Eugenia tree in the front right yard, and one heritage plum tree in the right side yard are proposed for removal. ([Staff Report #17-017-PC](#))

- F2. Use Permit/Isabelle Cole/318 Pope Street:

Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district. The property owner has separately applied for a heritage tree removal permit for a heritage redwood in good condition at the right side of the property,

approximately halfway between the front and rear property lines. That removal permit has been denied by the City Arborist, and the Environmental Quality Commission (EQC) has upheld the City Arborist's action on appeal. The City Council will separately hear an appeal of the EQC action, tentatively scheduled for April 18, 2017. ([Staff Report #17-018-PC](#))

## **G. Informational Items**

G1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.

- Regular Meeting: April 24, 2017
- Regular Meeting: May 8, 2017
- Regular Meeting: May 22, 2017

## **H. Adjournment**

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at [www.menlopark.org](http://www.menlopark.org) and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at [menlopark.org/notifyme](http://menlopark.org/notifyme). Agendas and staff reports may also be obtained by contacting the Planning Division at (650) 330-6702. (Posted: 04/5/17)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



## REGULAR MEETING MINUTES - DRAFT

**Date:** 3/13/2017  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

### A. Call To Order

Chair Katherine Strehl called the meeting to order at 7:01 p.m.

### B. Roll Call

Present: Andrew Barnes, Drew Combs (Vice Chair), Susan Goodhue, Larry Kahle, John Onken, Katherine Strehl (Chair)

Absent: Henry Riggs

Staff: Michele Morris, Assistant Planner; Thomas Rogers, Principal Planner; Tom Smith, Associate Planner; Kaitie Meador, Associate Planner

### C. Reports and Announcements

Principal Planner Thomas Rogers said the City Council at its February 28 meeting approved some minor revisions to the City's building code related to green building regulations, in particular vehicle chargers, and at the same meeting Stanford University made a presentation on its General Use Permit update. He said the General Use Permit was an entitlement granted by Santa Clara County to Stanford, and that Stanford was proposing changes to it. He said Stanford was presenting to other local communities having an interest in the topic. He said the City Council at its March 14 meeting would review for approval the annual Housing Element Report. He said there were no substantive changes to the report since the Commission's review of it on February 6.

### D. Public Comment

There was none.

### E. Consent Calendar

- E1. Approval of minutes from the February 6, 2017 Planning Commission meeting. ([Attachment](#))

Commissioner John Onken said he had a minor edit on the February 6 minutes. He referred to the first page, item C, under Reports and Announcements, and the statement: *Commissioner John Onken noted an oak tree, which had been the showpiece for the 1022 Alma Street project design, had fallen during recent storms, and what happened regarding that.* He asked that the statement clarify he was asking what the procedures for replacement or penalties might be.

**ACTION:** Motion and second (Andrew Barnes/Onken) to approve the minutes with the following modification; passes 5-2 with Commissioner Strehl abstaining and Commissioner Riggs absent.

- Page 1, Under Reports and Announcements, 2<sup>nd</sup> paragraph, statement to read as modified here: “Commissioner John Onken noted an oak tree, which had been the showpiece for the 1022 Alma Street project design, had fallen during recent storms, and asked what ~~happen~~ ~~regarding the~~ **the procedures for replacement or penalties might be.**”

E2. Architectural Control/Michael Babiak/6 Carter Way:

Request for architectural control for exterior modifications to an existing single-family residence in the R-1-S(X) (Single Family Suburban Residential, Conditional Development) zoning district. The modifications would include new windows and doors, but no change in floor area. (Staff Report #17-014-PC)

**ACTION:** Motion and second (Susan Goodhue/Andrew Barnes) to approve the item as recommended in the staff report; passes 6-0 with Commissioner Riggs absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines.
2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:
  - a. The general appearance of the structure is in keeping with the character of the neighborhood.
  - b. The development will not be detrimental to the harmonious and orderly growth of the City.
  - c. The development will not impair the desirability of investment or occupation in the neighborhood.
  - d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking.
  - e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.
3. Approve the use permit and architectural control subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Tristan Warren Architect, consisting of 11 plan sheets, dated received March 7, 2017, approved by the Planning Commission on March 13, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.



- c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
- d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the Project Arborist's recommendations.

## **F. Public Hearing**

### **F1. Use Permit/Brian Nguyen/445 Oak Ct:**

Request for a use permit to demolish a single-story residence and detached garage and construct a new two-story residence including a basement, detached garage, and secondary dwelling unit on a substandard lot with regard to lot width located in the R-1-U (Single-Family Urban Residential) zoning district, at 445 Oak Court. The proposal includes two heritage tree removals. The project was previously reviewed at the January 9, 2017 Planning Commission meeting and continued with direction for changes including a height reduction. *Item continued to a future meeting.*

### **F2. Use Permit Revision and Architectural Control Revision/DES Architects & Engineers/ 1430 O'Brien Drive:**

Request for a use permit and architectural control to partially convert, expand, and architecturally update an existing research and development (R&D) building located in the LS (Life Sciences) zoning district. This project is a revision to approvals for a use permit and architectural control previously granted by the Planning Commission on July 25, 2016. The applicant is also requesting a use permit for indoor use and indoor and outdoor storage of hazardous materials in association with life sciences and biotechnology R&D. All hazardous materials would be stored within the building, with the exception of diesel fuel for a proposed emergency generator. In addition, the applicant is requesting a use permit for an outdoor seating area associated with cafe operations to be hosted within the building. In addition, two heritage flowering pear trees (19 inches and 17 inches in diameter), in fair condition, at the center of the property would be removed. The project includes a Below Market Rate (BMR) Agreement for the payment of an in lieu fee or the delivery of equivalent off-site units. ([Staff Report #17-015-PC](#))

Chair Strehl noted a letter from the SFPUC on this proposed project.

Staff Comment: Associate Planner Tom Smith said SFPUC had emailed recommending four conditions for approval of the use permit revision and architectural control revision. He said two of the conditions appeared to be addressed through the design of the proposal and the recommended conditions for approval but two had not been clearly addressed. He said regarding staff's recommended conditions that condition 6.f indicated monthly reporting of the hazardous materials inventory but in the staff report he had indicated quarterly reporting. He said staff believed that quarterly reporting was suitable for this project as done for similar project. He said he would like to make the modification accordingly to condition 6.f.

Commissioner Barnes said that there was one reference to minutes for the SFPUC project review committee for June 26, 2016 and another reference of minutes for June 10, 2016 and asked if there were two different meetings and additional actions. Assistant Planner Smith said there was one set of SFPUC minutes and actions.

Applicant Presentation: Mr. John Tarlton, Tarlton Properties, said they were requesting modifications to their previously approved project. He said that their projects underwent peer review and through that review none of the engineers were comfortable putting a pool on top of the roof. He said they revised the project to put the pool underground and split the building into two. He noted they improved the architectural design with the addition of architectural metal screening. He said their goal in the business park was to update all the buildings but not to make them the same. He said for this site they wanted to make the building fun-looking and a place where one would want to hang out.

Commissioner Larry Kahle said he recalled a red elevator tower and elevated walk in the previously approved project. Mr. Tarlton said the previous design had an elevated walk to provide access to second story suites. He said in the revised design there were three lobbies with three separate elevators and no elevated walk or exterior stair and elevator tower.

Commissioner Barnes asked why they chose to revise rather than apply for a new permit under the new zoning. Mr. Tarlton said the most immediate factor was time as the building had been empty for some time. He said also whereas the Life Science zoning district allowed for 1.2 floor area ratio (FAR) that was for sites north of O'Brien Drive. He said this site was south of O'Brien Drive and limited to .55 FAR as it was located directly adjacent to single-family residences.

Chair Strehl opened the public hearing, and closed it as there were no speakers.

Commission Comment: Commissioner Onken said he did not see a significant change to what the Commission had approved last summer and thought the project revision was an improvement.

Commissioner Barnes said he thought the project looked better with the proposed revisions. He said that the provision for under-parking was still the right thing to do.

Commissioner Onken moved to approve and asked Planner Smith about the conditions requested by SFPUC.

Chair Strehl recognized Mr. Tarlton to speak.

Mr. Tarlton said they had been taken aback by SFPUC's comments a year ago. He said they have a legal document with the SFPUC, an easement agreement from 1983, which their legal counsel advises would not obligate them to provide what SFPUC was requesting. He asked that the

Commissioner not take action in that regard noting it was an agreement between his company and SFPUC and did not involve the City.

Associate Planner Smith said two conditions in the email from the SFPUC were part of the standard conditions recommended by staff including second containment for storage of diesel as mentioned in the staff report and condition 6.a that states the use will have secondary containment for hazardous materials and wastes. He said that the location of the generator at the rear of the property was where it was shown presently and did not necessarily require a condition. He said the last condition requested listing the contact for Millbrae dispatch. He said that was something the City has regularly added for previous hazardous materials use permits. He said SFPUC's first condition was an executed consent letter from the SFPUC. He said that was something the City had not seen previously from SFPUC.

Mr. Tarlton said the vast majority of users of SFPUC property are on a lease. He said that in their case it was not a lease but an easement granted in perpetuity.

Commissioner Onken said the contractual agreement between the property owner and the SFPUC as the easement provider was between those two, and he questioned any kind of language in the City's use permit that would formalize anything between those two entities.

Principal Planner Rogers said when the City was not party to a private agreement that the City did not necessarily have to consider the terms of such agreement. He said with the SFPUC the City has tried to be good neighbors and to comply with that agency where feasible, such as adding Millbrae dispatch information. He noted that most of the conditions requested by the SFPUC were included in the approval and process.

Commissioner Onken moved to approve as recommended in the staff report and for the applicant to take note of the SFPUC document that was provided as part of the staff report as a matter of record.

Commissioner Barnes asked if there was a need to check in with City Attorney on the matter. Principal Planner Rogers said with other applications involving private agreements, the City found no reason to continue the item as the matter was between the parties to the agreement.

Commissioner Combs seconded the motion made by Commissioner Onken. He said for the SFPUC to request conditions under its contractual agreement that they should have had someone at the meeting to explain the basis for the request. He said he did not think it was high in importance as they had sent an email with no follow up.

**ACTION:** Motion and second (Onken/Combs) to approve the item with the following modification; passes 6-1 with Commissioner Riggs absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.

3. Approve the Below Market Rate (BMR) Housing Agreement.
4. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:
  - a. The general appearance of the structure is in keeping with the character of the neighborhood.
  - b. The development will not be detrimental to the harmonious and orderly growth of the City.
  - c. The development will not impair the desirability of investment or occupation in the neighborhood.
  - d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking.
  - e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.
5. Approve the use permit and architectural control subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by DES Architects + Engineers consisting of thirty-five plan sheets, dated received February 14, 2017, as well as the Project Description Letter, dated received January 19, 2017, the Transportation Memorandum for 1430 O'Brien Drive, dated January 19, 2017, and the Hazardous Materials Information For (HMIF), dated January 19, 2017, approved by the Planning Commission on March 13, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.

- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
  - g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the Project Arborist's recommendations.
6. Approve the use permit and architectural subject to the following **project-specific** conditions:
- a. Concurrent with the submittal of a complete building permit application, the applicant shall submit a plan showing the location of the shuttle stop and signage, and apply for an encroachment permit if applicable. The submitted plan shall also show a connection from the proposed central pedestrian entry path to the crosswalk at the western side of the O'Brien Drive and Adams Drive intersection. The shuttle stop location and signage, as well as the connection between the pedestrian path and the crosswalk, would be subject to review and approval of the Engineering, Transportation, and Planning Divisions.
  - b. The property owner shall retain a qualified transportation consulting firm to monitor the trips to and from the project site and evaluate the effectiveness of the TDM program one year from commencement of operations within the subject building and shall submit a memorandum/report to the City reporting on the results of such monitoring for review by the City to determine the effectiveness of the TDM program (Attachment F). This report shall be submitted annually to the City subject to review by the Planning and Transportation Divisions. If the subject site is not in compliance with the anticipated trip reductions from the TDM program the applicant shall submit a detailed mitigation and monitoring plan identifying steps to be taken to bring the project site into compliance with the maximum Daily, AM and PM trips identified in the trip generation analysis and TDM program.
  - c. Prior to issuance of a building permit, the applicant shall provide written status identifying the completion of, or where applicable, on-going compliance with the ten follow-up items listed in June 29, 2016 minutes of the SFPUC Project Review Committee.
  - d. Prior to building permit issuance, the applicant shall pay a Transportation Impact Fee (TIF) at a restaurant rate of \$4.63 per square foot of gross floor area (GFA), at a health/fitness club rate of \$3,107.87 each of the 38 PM peak hour trips, and at an R&D rate of \$3.33 per square foot of GFA for a total estimated TIF of \$153,385.75, subject to the Municipal Code Section 13.26. The fee rate is subject to change annually on July 1 and the final calculation will be based upon the rate at the time of fee payment. The TIF rate is adjusted each year based on the ENR Construction Cost Index percentage change for San Francisco.
  - e. The aggregate total quantity of hazardous materials used and stored, per control area, within the building shall not exceed the quantities listed in Table 5003.1.1(1) of the 2016 California Fire Code and subsequent updated codes, including the amounts allowed per footnotes d (sprinklers) and e (cabinets) of the table.

- f. The property owner shall provide a ~~quarterly~~ ~~monthly~~ update of the current Hazardous Materials Inventory Statement (HMIS) for the entire building and any changes to specific tenants consistent with the requirements of the California Fire Code (CFC) to the Menlo Park Planning Division, the Fire District, the West Bay Sanitary District, and the San Mateo County Environmental Health Division. The submittal shall include a narrative of the changes in quantities and types of materials, and operations for each business at the facility.
- g. When chemical quantities exceed the reportable limits as defined by the California Fire Code, each tenant shall provide a Hazardous Materials Management Plan (HMMP), standard form or short form, or equivalent document to the Menlo Park Fire Protection District and the West Bay Sanitary District.
- h. When chemical quantities exceed the reportable limits as defined by the California Health and Safety Code, each tenant shall provide a Hazardous Materials Business Plan (HMBP), or equivalent document, to the San Mateo County Environmental Health Division and the West Bay Sanitary District.
- i. The Fire District shall provide a copy of the annual inspection report for the facility to the Menlo Park Building and Planning Divisions, the West Bay Sanitary District, and the San Mateo County Environmental Health Division. The property owner shall provide a copy of their response to any deficiencies identified in the inspection report to all applicable agencies.
- j. Testing of the generator shall be limited to the hours between 8:00 a.m. and 6:00 p.m., Monday through Friday.
- k. Prior to or concurrent with submittal of a complete building permit application, the applicant shall provide a noise study specific to 1430 O'Brien Drive indicating that the generator noise level at the nearest residential property line would not exceed 60 dB(A) during permitted testing hours.

## **G. Regular Business**

- G1. Review of the Determination of Substantial Conformance/David Ruth/350 Sharon Park Drive: Review of the staff determination of substantial conformance for exterior modifications to 18 apartment buildings and a clubhouse located at 350 Sharon Park Drive in the R-3-A-X zoning district. Review requested by Commissioner Riggs. (Attachment)

Chair Strehl noted that this item was on the agenda at the request of Commissioner Riggs.

Commissioner Kahle said he looked through the package sent by email and had no concerns with it. He suggested since the applicant was present that they could hear about the changes.

Principal Planner Rogers said procedurally the item was on the agenda as Commissioner Riggs had indicated that he did not think the proposed external modifications were in conformance with the previous use permit approval. He said similar to a consent item there was no need for a



presentation or discussion if no other Commissioner had the same opinion as Commissioner Riggs.

Replying to Commissioner Kahle, Principal Planner Rogers said Commissioner Riggs asked that the item be pulled for further consideration and had mentioned that the changes seemed cheaper choices but had offered no specifics or suggested alternatives.

None of the Commissioners present made a motion to find that the changes were not in substantial conformance. As such, the staff determination that the changes are in substantial conformance remained effective, and no further Planning Commission review will take place.

## **H. Informational Items**

### **H1. Future Planning Commission Meeting Schedule**

- Regular Meeting: March 27, 2017

Chair Strehl said the Stanford project, 500 El Camino Real, Middle Plaza, was scheduled for the March 27 meeting. Principal Planner Rogers said also there might be an informational item about the Capital Improvement Program and a substantial conformance memo for that meeting.

Commissioner Onken said he would need to be recused from the Stanford project consideration. The Chair confirmed there would be a quorum for the meeting.

- Regular Meeting: April 10, 2017

Principal Planner Rogers said there would be a study session for potential revision of the Facebook project as well as some small residential projects on the April 10 agenda.

- Regular Meeting: April 24, 2017

Principal Planner Rogers said so far some standard residential projects were slated for the April 24 meeting as well as the 2131 Sand Hill Road project that would involve annexation to the City.

Commissioner Barnes said that Commissioner Kahle and he went to Los Angeles for two-and-a-half-day City Planning Commission Academy. He said the emphasis was on how to run meetings, details about communications, complete neighborhoods, complete streets, and revitalization.

Commissioner Kahle said there was a presentation about the cost of parking. He said the speaker made the case for paid parking as that helped pay for street improvements. He said for some planning commissions, commissioners were required to make site visits prior to considering a project at the meeting or would need to recuse from the project's consideration.

Chair Strehl asked about the California Supreme Court's finding that individuals' private emails and texts regarding city business could be subject to the public records act. Principal Planner Rogers said the City Attorney and City Clerk were studying this, and the City Attorney would provide a written analysis.

## **Adjournment**

Chair Strehl adjourned the meeting at 7:49 p.m.

Staff Liaison: Principal Planner Thomas Rogers

Recording Secretary: Brenda Bennett





## STAFF REPORT

### Planning Commission

**Meeting Date:** 4/10/2017  
**Staff Report Number:** 17-017-PC

**Public Hearing:** Use Permit/Goldsilverisland Properties LLC/338 Barton Way

### Recommendation

Staff recommends that the Planning Commission approve the request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with respect to lot width and area in the R-1-U (Single-Family Urban Residential) zoning district, at 338 Barton Way. As part of the project, one heritage holly tree in the front left yard, one heritage Eugenia tree in the front right yard, and one heritage plum tree in the right side yard are proposed for removal. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject property is located at 338 Barton Way. Using Barton Way in the north-south orientation, the subject property is on the east side of Barton Way between Concord Drive and Gilbert Avenue, in the Willows neighborhood and in the Federal Emergency Management Agency (FEMA) flood zone. A location map is included as Attachment B.

The subject property is surrounded by single-family residences that are a mix of one- and two-stories. Older residences in the neighborhood are generally one story in height, while newer residences are typically two stories in height. One-story residences in the neighborhood tend to have a ranch architectural style, while two-story residences have a variety of styles including Spanish Colonial and contemporary craftsman architectural styles. These adjacent residential parcels are also zoned R-1-U and in the FEMA flood zone. In close proximity and north of the subject property lies the Willow Oaks Park in the OSC (Open Space and Conservation) district and Willow Oaks Elementary School in the P-F (Public Facilities) district.

## Analysis

### *Project description*

The subject property is currently occupied by a single-story residence with an attached one-car garage. The applicant is proposing to demolish the existing building and construct a new two-story, single-family residence with a two-car attached garage. The subject lot is substandard with regard to lot area, with a lot area of 5,005 square feet where 7,000 square feet is required. The subject lot is also substandard with regard to lot width, with a lot width of 55 feet where 65 feet is required. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would have a floor area of 2,720 square feet where 2,800 square feet is the allowable floor area limit (FAL), and a building coverage of 35 percent where 35 is the maximum permitted. The residence would have four bedrooms and three-and-a-half bathrooms, with one bedroom and one-and-a-half bathrooms on the first floor, and three bedrooms and two bathrooms on the second floor. There would be a front covered porch, which does not count toward floor area but contributes to building coverage, and a rear uncovered deck, which does not count toward floor area or building coverage. The residence would have an overall height of 27 feet, two inches, which is below the maximum allowable height of 28 feet. The proposal would be in compliance with daylight plane requirements. Off-street parking would be provided in the attached two-car garage. Recommended condition 4a would require the furnace to be relocated out of the garage, so that the dimensions would meet the requirement for 20 foot by 20 foot clear dimensions for a two-car garage.

### *Design and materials*

The proposed residence is in a contemporary farmhouse style, and would feature simple forms with varied composition shingle gable roofs and building articulation. The exterior walls would be cement board and batten siding, with aluminum clad windows, wood shutters, and gooseneck light fixtures. The front entry and garage doors are proposed to be wood. The design of the garage doors split into two separate doors would help minimize the parking features on the frontage of this relatively narrow parcel. However, the garage element itself would be relatively tall, which the Planning Commission may wish to consider. Staff has included condition 4b, which requires that the applicant submit a cross section drawing through the garage with dimensioned interior ceiling and attic heights to verify that the interior ceiling height does not exceed 12 feet and/or attic space is not five feet or greater in height, which could lead to additional floor area beyond the proposed FAL. Slight changes to the interior ceiling heights and/or roof could be required, but staff does not believe such modifications would affect the substance of the proposal. The attached covered patio in the front would feature a decorative wood railing and simple-formed wood posts. The decorative wood railing would be mirrored at the rear deck. The second floor would be set in along portions of all sides to minimize the perception of building massing. However, the interior ceiling heights would be relatively generous. Sill heights of the windows on the side elevations are a minimum of four feet in height, with a majority at five feet, six inches, which help minimize the potential of privacy concerns. Skylights are proposed to promote privacy while providing access to natural light.

Staff believes that the materials, scale, and design of the proposed residence would be compatible with the surrounding neighborhood.

### ***Trees and landscaping***

There are 17 trees on or near the project site, including seven heritage and 10 non-heritage trees. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of these trees. Three heritage trees are proposed to be removed due to their poor form, maintenance, and location. These trees include a heritage holly tree (tree #8) in the front left yard, a heritage Eugenia tree (tree #4) in the front right yard, and a heritage plum tree (tree #6) in the right side yard. Three replacement trees are proposed, which consist of a red maple tree in the front left yard and two hornbeam trees in the front right yard. In addition to the one-for-one heritage tree replacements, the City Arborist requested that a 24-inch box size madrone tree to be planted in the right-of-way. The applicant has submitted a heritage tree removal permit application for the three trees and received tentative approval from the City Arborist pending Planning Commission approval of the overall project. Eight non-heritage trees are also proposed for removal.

During the demolition phase of the project, the three remaining heritage trees in the rear yard (trees #10, 11, and 14) would be protected by tree protection fencing and would have the debris from the adjacent buildings pulled away from its drip line. The Tree Protection Plan includes measures for hand digging, irrigation, and inspections as needed. Recommended tree protection measures, including specific measures to ensure the protection of heritage trees #10, 11, and 14, would be ensured through recommended condition 3g.

### ***Flood zone***

The subject property is located within the “AE” zone established by the Federal Emergency Management Agency (FEMA). Within this zone, flood proofing techniques are required for new construction and substantial improvements of existing structures. The Public Works Department has reviewed and tentatively approved the proposal for compliance with FEMA regulations.

### ***Correspondence***

As part of the project description letter (Attachment E), the applicant has provided a summary of their neighbor outreach efforts. Staff received an email from the property owner at 321 Nova Lane (the adjacent rear parcel) regarding concerns about privacy (Attachment G). The applicant notified staff that they discussed landscape screening along the rear fence and a possible seven-foot high fence with these neighbors. The landscape plan shows five Carolina Laurel Cherries, which are evergreen shrubs or trees, proposed along the rear fence. In addition, the applicant proposes to retain four existing trees along the rear property line to address possible privacy screening. The site plan proposes a six-foot high fence along the rear property line. Staff received an additional email from the property owners at 332 Barton Way (the adjacent right parcel) regarding concerns about landscaping and fencing in relation to privacy (Attachment G). The applicant has discussed their landscape plans with the concerned neighbors and proposes adding a one foot lattice on top of the proposed six-foot tall fence outside the front 20’ setback. The one-foot lattice will also be added to the rear and left side six-foot fence as outlined in the recommended condition 4c.

### **Conclusion**

Staff believes the scale, materials, and design of the proposed residence are compatible with the neighborhood. Although the project would be a two-story residence, the applicant has set the second floor in on all sides. The project would fit in between the two existing two-story neighboring residences through its balanced massing and would add to the varied architectural styles of the neighborhood. Recommended tree preservation measures, including specific measures to protect trees #10, 11, and 14, have been incorporated into the project. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report by Kielty Arborist Services, dated received March 9, 2017
- G. Correspondence

**Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

**Exhibits to Be Provided at Meeting**

None

Report prepared by:  
Sunny Chao, Assistant Planner

Report reviewed by:  
Deanna Chow, Principal Planner

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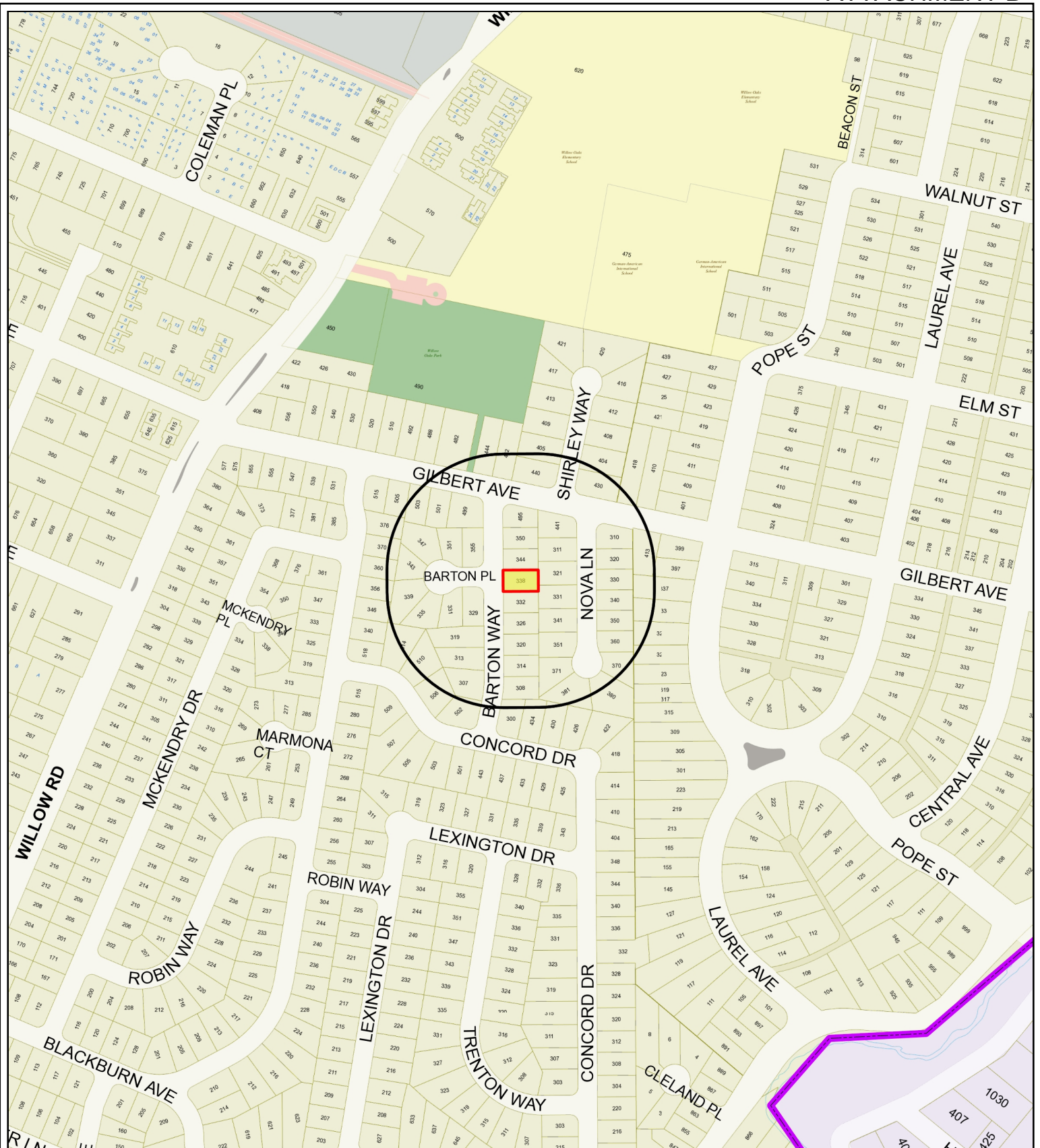
## 338 Barton Way – Attachment A: Recommended Actions

<b>LOCATION:</b> 338 Barton Way	<b>PROJECT NUMBER:</b> PLN2016-00106	<b>APPLICANT:</b> Goldsilverisland Properties LLC	<b>OWNER:</b> Goldsilverisland Properties LLC
<b>REQUEST:</b> Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with respect to lot width and area in the R-1-U (Single-Family Urban Residential) zoning district. As part of the project, one heritage holly tree in the front left yard, one heritage Eugenia tree in the front right yard, and one heritage plum tree in the right side yard are proposed for removal.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> April 10, 2017	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b>			
<ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions: <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Arch Studio consisting of twenty plan sheets, dated received March 29, 2017, and approved by the Planning Commission on April 10, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the recommendations in the arborist report by Kielty Arborist</li> </ol> </li> </ol>			

338 Barton Way – Attachment A: Recommended Actions

<b>LOCATION:</b> 338 Barton Way	<b>PROJECT NUMBER:</b> PLN2016-00106	<b>APPLICANT:</b> Goldsilverisland Properties LLC	<b>OWNER:</b> Goldsilverisland Properties LLC
<b>REQUEST:</b> Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with respect to lot width and area in the R-1-U (Single-Family Urban Residential) zoning district. As part of the project, one heritage holly tree in the front left yard, one heritage Eugenia tree in the front right yard, and one heritage plum tree in the right side yard are proposed for removal.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> April 10, 2017	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p><b>ACTION:</b></p> <p>Services revised on March 3, 2017.</p> <p>4. Approve the use permit subject to the following <i>project-specific</i> conditions:</p> <ol style="list-style-type: none"> <li>a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans showing the furnace relocated from the proposed two-car garage in order to provide the minimum 20 feet by 20 feet unobstructed interior garage dimensions to meet the Zoning Ordinance’s parking requirements. The revised plans are subject to the review and approval of the Planning Division.</li> <li>b. Simultaneous with the submittal of a complete building permit application, the applicant shall submit an additional section (or sections) through the garage, in order to verify the interior ceiling and attic heights in this area and demonstrate compliance with the proposed floor area limit (FAL), subject to review and approval of the Planning Division. In particular, section diagrams and dimensions shall be provided to verify interior ceiling height as measured from the finished floor to the ceiling and interior attic height as measured from the top of the ceiling joist to the bottom of the roof sheathing.</li> <li>c. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans showing a one-foot tall lattice on top of the six-foot tall fence along the right, rear and left side property lines, which gives the fence a total of seven feet in height. The revised plans are subject to the review and approval of the Planning Division.</li> </ol>			





City of Menlo Park  
 Location Map  
 338 Barton Way



Scale: 1:4,000

Drawn By: SYC

Checked By: THR

Date: 4/10/2017

Sheet: 1

338 Barton Way – Attachment C: Data Table

	<b>PROPOSED PROJECT</b>	<b>EXISTING PROJECT</b>	<b>ZONING ORDINANCE</b>
Lot area	5,005 sf	5,005 sf	7,000 sf min.
Lot width	55 ft.	55 ft.	65 ft. min.
Lot depth	91 ft.	91 ft.	100 ft. min.
Setbacks			
Front	20.3 ft.	32 ft.	20 ft. min.
Rear	22.4 ft.	19.6 ft.	20 ft. min.
Side (left)	5.8 ft.	4.6 ft.	5.5 ft. min.
Side (right)	6.5 ft.	4.6 ft.	5.5 ft. min.
Building coverage	1,751.5 sf 35 %	1,346 sf 27 %	1,751.8 sf max. 35 % max.
FAL (Floor Area Limit)	2,719.7 sf	995 sf	2,800 sf max.
Square footage by floor	1,234.9 sf/1st 1,057.6 sf/2nd 427.2 sf/garage 89.4 sf/porches	644 sf/1st 351 sf/garage	
Square footage of buildings	2,809.1 sf	995 sf	
Building height	27.2 ft.	14.8 ft.	28 ft. max.
Parking	2 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees*	7	Non-Heritage trees**	10	New Trees	4
	Heritage trees proposed for removal	3	Non-Heritage trees proposed for removal	8	Total Number of Trees	10

\*Includes one tree on the adjacent right property.

\*\*Includes one tree in the right-of-way.



# PROJECT INFORMATION

**PROJECT ADDRESS & ZONING:**  
 ADDRESS: 338 BARTON WAY, MENLO PARK, CA 94025  
 PARCEL NO.: 042-343-140  
 ZONING: R-1-U SINGLE FAMILY URBAN DISTRICT

**PROJECT DESCRIPTION:**  
 CONSTRUCTION OF A NEW TWO-STORY 2,292.5 SF RESIDENCE WITH ATTACHED 2-CAR 427.2 SF GARAGE.

--SEE SITE PLAN FOR ADDITIONAL INFORMATION

**FIRE DEPARTMENT:**  
 FIRE SPRINKLERS REQUIRED: YES  
 FLOOD ZONE: YES  
 DESIGNATION: [AE]  
 BASE FLOOD ELEVATION (B.F.E.) OF [41.4] NAVD: 88

**CODE INFO:**  
 OCCUPANCY TYPE: R-3/U  
 CONST. TYPE: V-B  
 STORIES: TWO-STORY  
 TOTAL FLOOR AREA: 2,719.7 SF W/ GARAGE

**ZONING REQUIREMENTS:**

**MINIMUM LOT SIZE:** 7,000 SQ FT  
**MINIMUM LOT DIMENSIONS:**  
 WIDTH: 51 FT.  
 DEPTH: 91 FT.

**LOT SETBACKS:**  
**FRONT:** 20 FT.  
**SIDES:** TEN PERCENT (10%) OF MINIMUM LOT WIDTH FOR SIDES BUT NOT LESS THAN FIVE (5'-0") OR MORE THAN TEN FEET (10'-0"), EXCEPT STREET SIDES OF CORNER LOTS WHICH SHALL BE A MINIMUM OF TWELVE FEET (12'-0")  
**REAR:** 20 FT.

**MAXIMUM BUILDING COVERAGE:** 35%

**MAXIMUM FLOOR AREA LIMIT (FAL):**  
 FAL FOR LOTS WITH AN AREA OF BETWEEN FIVE THOUSAND (5,000) AND SEVEN THOUSAND (7,000) SQUARE FEET SHALL BE TWO THOUSAND EIGHT HUNDRED (2,800) SQUARE FEET.

THE MAXIMUM SECOND FLOOR FAL SHALL BE FIFTY PERCENT (50%) OF THE MAXIMUM FAL ALLOWED THE PROPERTY, EXCEPT THAT ON LOTS WHERE THE LENGTH IS MORE THAN TWICE THE WIDTH, THE ALLOWABLE SECOND STORY MAY BE THE GREATER OF ONE THOUSAND FOUR HUNDRED (1,400) SQUARE FEET OR:

**HHEIGHT:** 28 FT. MAXIMUM

**FLOOR/LOT AREA CALCULATIONS:**

**LOT SIZE:** 5,005 SF

**PROPOSED FLOOR AREA:**

MAIN FLOOR RESIDENCE: 1,234.9 SF  
 UPPER FLOOR: 1,057.6 SF  
 TOTAL FLOOR AREA: 2,292.5 SF

ATTACHED TWO-CAR GARAGE: 427.2 SF  
 TOTAL FLOOR AREA: 2,719.7 SF

**BUILDING COVERAGE:**

MAIN FLOOR: 1,234.9 SF  
 ATTACHED TWO-CAR GARAGE: 427.2 SF  
 COVERED PORCH: 89.4 SF  
 TOTAL BUILDING COVERAGE: 1,751.5 SF

**BUILDING COVERAGE:** 1,751.5 / 5,005.0 = 34.9%

# PROJECT DIRECTORY

**OWNER:** GOLDSILVERSLAND HOMES, LLC  
 1525 MCCARTHY BLVD, #1000  
 MILPITAS, CA 95035  
 (408) 425-2514

**ARCHITECT:** ROBIN MCCARTHY, AIA  
 CA. LICENSE C299747  
 1155 MERIDIAN AVE, #208  
 SAN JOSE, CA 95125  
 (408) 859-8723  
 robin@archstudioinc.com

**CIVIL / SURVEYOR:** RW ENGINEERING, INC.  
 505 ALTAMONTE DRIVE  
 MILPITAS, CA 95035  
 (408) 262-1899  
 rwengineering@gmail.com

**STRUCTURAL ENGINEER:** EDWARD YU, P.E. 70340  
 1155 MERIDIAN AVE, #208  
 SAN JOSE, CA 95125  
 (650) 804-5742

**ENERGY CONSULTANT:** Jam Hezari, J.D., LEED-AP, CalGreen Inspector, CG8P, CEPE, CEA  
 ALLIANCE 24 TITLE  
 Offices: Davis, CA: (530) 902-4387  
 San Francisco, CA: (415) 422-9925  
 www.alliance24title.com  
 E-mail: a24@a11.net

**LANDSCAPE ARCHITECT:** MARA YOUNG  
 (650) 327-2444  
 marayoung@gmail.com



DRAWINGS PROVIDED BY:  
 Architect: Robin McCarthy, AIA  
 No. C299747  
 State of California  
 1155 Meridian Ave, #208  
 San Jose, CA 95125



## COVER NOTES

ELECTRICAL, MECHANICAL, PLUMBING, STRUCTURAL STEEL FRAMING AND SUB-CONTRACTORS SHALL ACT IN DESIGN / BUILD CAPACITY. THEY SHALL PROVIDE, SEPARATELY, ANY DRAWINGS, SPECIFICATIONS OR INFORMATION REQUIRED BY BUILDING DEPARTMENTS.

ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LOCAL ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS:

- 1. California Building Code, 2016 edition (CBC)
- 2. California Plumbing Code, 2016 edition
- 3. California Mechanical Code, 2016 edition
- 4. California Electrical Code, 2016 edition
- 5. California Existing Building Code 2016
- 6. International Existing Building Code 2016 edition
- 7. California Residential Code, 2016 edition
- 8. California Green Building Standards (CALGreen) 2016 edition
- 9. 2016 California Energy Code, Part 6, Title 24
- 10. ALL TELEPHONE, ELECTRIC WIRES, AND OTHER SUCH SERVICE FACILITIES TO NEW CONSTRUCTION SHALL MEET CITY REQUIREMENTS.
- 11. ANY OMISSION, CONFLICT, OR AMBIGUITY FOUND IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- 12. ALL EQUIPMENT SHALL BE LISTED BY THE APPROVED LISTING AGENCY AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- 13. "HERS" VERIFICATION REQUIRED FOR THE HVAC COOLING, HVAC DISTRIBUTION, AND HVAC-FAM SYSTEMS. PROVIDE EVIDENCE OF THIRD-PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

## VICINITY MAP



## SHEET INDEX

- ARCHITECTURAL**
- CS COVER SHEET
  - A1-1 SITE PLAN
  - A1-2 AREA PLAN
  - A2-1 DEMOLITION SITE PLAN
  - A2-2 DEMOLITION FLOOR PLANS & ELEVATIONS
  - A3-1 PROPOSED MAIN FLOOR PLAN
  - A3-2 PROPOSED UPPER FLOOR PLAN
  - A3-3 FLOOR PLAN CALCULATIONS
  - A4-1 ROOF PLAN
  - A5-1 EXTERIOR ELEVATIONS
  - A5-2 EXTERIOR ELEVATIONS
  - A5-3 EXTERIOR PERSPECTIVES & STREETSCAPE
  - A5-4 INTERIOR PERSPECTIVES
  - A6-1 BUILDING SECTIONS
- SURVEY**
- T-1 TOPOGRAPHICAL SURVEY
- CIVIL**
- C-1 GRADING & DRAINAGE PLAN  
CONSTRUCTION BEST MANAGEMENT PRACTICES
- LANDSCAPE**
- L-1 LANDSCAPE PLAN
  - L-2 IRRIGATION PLAN
  - L-3 HYDROZONE DIAGRAM

Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

NO.	REVISION

COVER SHEET

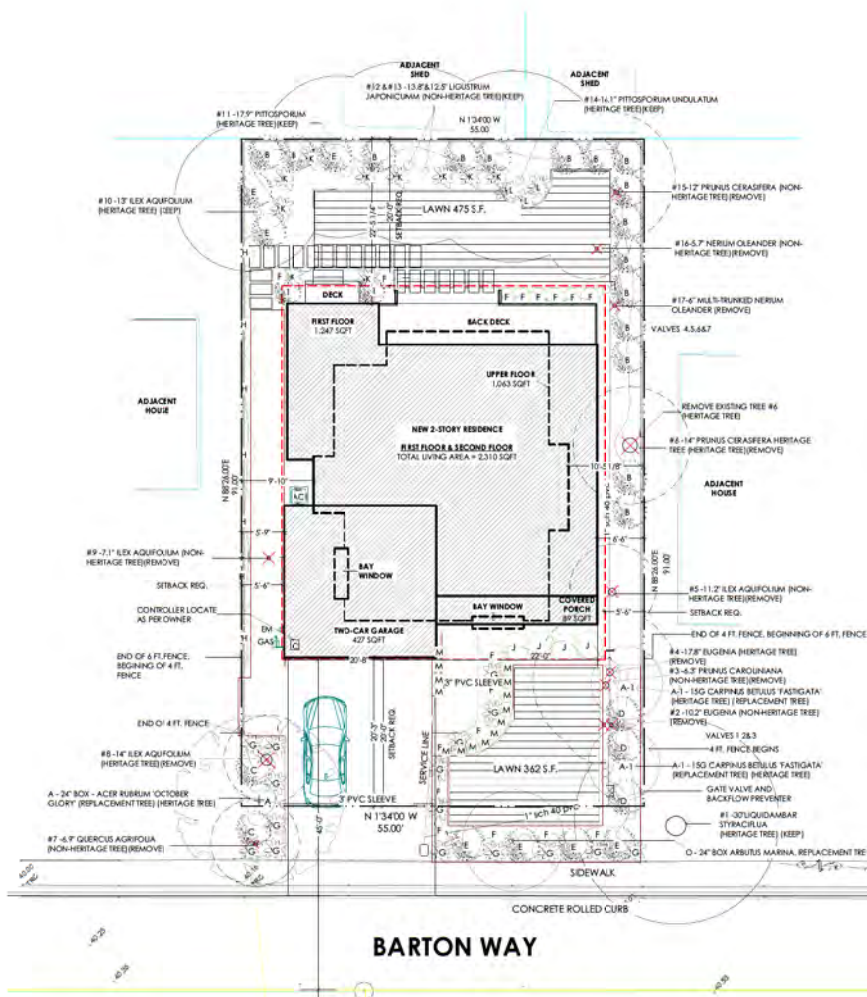
DATE: 4/3/2017 SCALE: NO SCALE

ALL DRAWINGS AND NOTICES USE BLENDED WITH THE PROJECT'S DESIGN AND CONSTRUCTION. ANY CHANGES TO THE PROJECT'S DESIGN AND CONSTRUCTION SHALL BE MADE IN ACCORDANCE WITH THE PROJECT'S DESIGN AND CONSTRUCTION. ANY CHANGES TO THE PROJECT'S DESIGN AND CONSTRUCTION SHALL BE MADE IN ACCORDANCE WITH THE PROJECT'S DESIGN AND CONSTRUCTION.

CS

# 338 BARTON WAY RESIDENCE FRONT PERSPECTIVE

A "FINISHED CONSTRUCTION" ELEVATION CERTIFICATE WILL BE REQUIRED AT PROJECT COMPLETION



# PROPOSED SITE PLAN

USE PERMIT

## SITE PLAN GENERAL NOTES:

1. CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
2. BEFORE ANY EXCAVATION, COORDINATE LOCATION OF ALL EXISTING SITE UTILITIES.
3. EXCAVATION, FILLS, AND UTILITIES FOR ALL BUILDINGS OR STRUCTURES SHALL BE SO CONSTRUCTED OR PROTECTED THAT THEY DONOT ENDANGER LIFE OR PROPERTY.
4. CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING EXCAVATION AND CONSTRUCTION, U.O.N.
5. FINISH GRADE SHALL SLOPE AWAY FROM THE FOUNDATION OF ALL BUILDINGS AND STRUCTURES A MINIMUM OF 5% FOR A MINIMUM DISTANCES OF TEN FEET. (CBC 1804.3). ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A MINIMUM OF 12 INCHES PLUS 2%.
6. ALL EXTERIOR HARD SURFACES (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE AND SHALL DRAIN AWAY FROM THE BUILDING. DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5%, MAXIMUM ALLOWABLE GRADED SLOPE IS 3 HORIZONTAL TO 1 VERTICAL (33%).
7. LOT GRADING SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY.
8. NEW RAINWATER DOWNSPOUTS SHALL BE CONNECTED TO A POP-UP DRAINAGE EXHIBIT IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
9. IMPLEMENTATION OF "BEST MANAGEMENT PRACTICES" SHALL BE USED TO PROTECT STORM QUALITY AND PREVENT POLLUTANTS ENTERING THE PUBLIC STORM DRAIN. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION "BEST MANAGEMENT PRACTICES" WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP ORDERS.
10. PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING OF JOINTS SHALL BE PER INDUSTRY STANDARDS.
11. TRENCHES SHALL BE LOCATED OUTSIDE OF THE DRIP LINES OF EXISTING TREES IN ORDER TO MINIMIZE NEGATIVE IMPACTS.
12. SEE LANDSCAPE AND CIVIL PLANS FOR ADDITIONAL PROJECT INFORMATION.
13. NATURAL GRADE AND VEGETATION SHALL BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE.



Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

DATE	REVISION

PROPOSED SITE PLAN

DATE: 3/28/2017 SCALE: 1/8" = 1'-0"

ALL DRAWINGS AND NOTICES ARE SUBJECT TO THE STANDARD CONDITIONS OF CONTRACT AND SPECIFICATIONS FOR PROFESSIONAL ARCHITECTURAL SERVICES, WHICH MAY BE FOUND AT: [www.aia.org](http://www.aia.org) OR BY CONTACTING THE ARCHITECT.

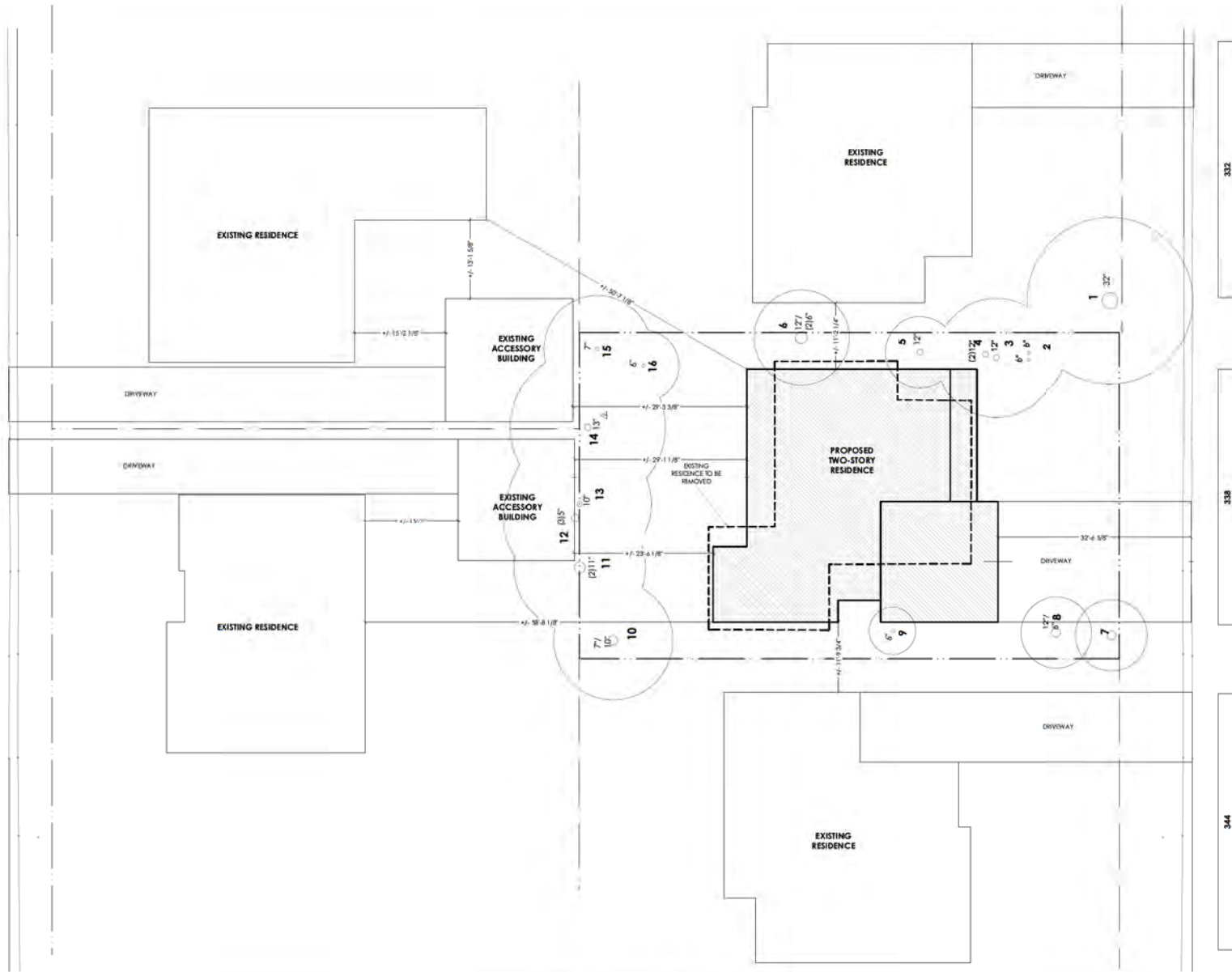
A1-1



NOVA LANE

321

331



# AREA PLAN

BARTON WAY

344

338

332

# USE PERMIT



DRAWINGS PROVIDED BY:  
 Architect - Consultant  
 ARCH STUDIO  
 1000 S. GARDEN AVENUE  
 SUITE 100  
 GARDEN GROVE, CA 92640

Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

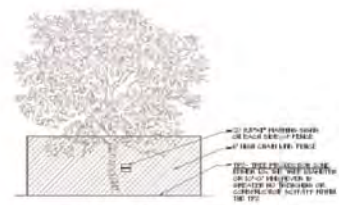
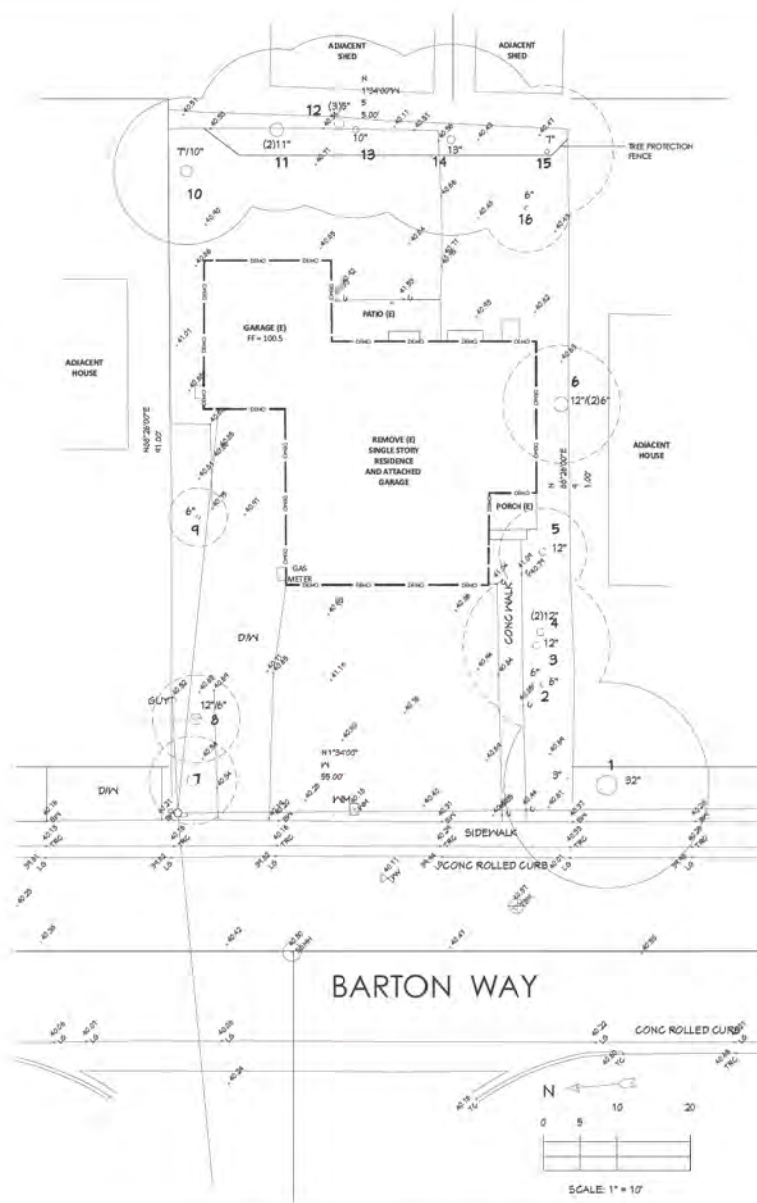
NO.	REVISION
1	ISSUE FOR PERMIT
2	ISSUE FOR PERMIT
3	ISSUE FOR PERMIT
4	ISSUE FOR PERMIT

**AREA PLAN**

DATE: 3/28/2017 SCALE: 1/8" = 1' - 0"

ALL DRAWINGS AND NOTICES ARE THE PROPERTY OF ARCHITECTURAL CONSULTANTS AND SHALL REMAIN THE PROPERTY OF ARCHITECTURAL CONSULTANTS. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL CONSULTANTS.

A1-2



TREE PROTECTION FENCING DETAIL 1

**GENERAL DEMOLITION NOTES:**

1. DURING DEMOLITION AND CONSTRUCTION, THE APPLICANT AND CONTRACTOR MUST ENSURE THAT TRASH IS REMOVED FROM THE SITE BY THE CITY'S ONLY APPROVED GARBAGE HAULER, ALLIED WASTE SERVICES.
2. THE CONSTRUCTION OR DEMOLITION CONTRACTOR MAY REMOVE GARBAGE AND RECYCLING FROM THE PREMISES, USING THEIR OWN EQUIPMENT AND VEHICLES, AS PART OF A TOTAL CONSTRUCTION, REMODELING OR DEMOLITION SERVICE OFFERED BY THAT CONTRACTOR.
3. SEE CALGREEN RESIDENTIAL CHECKLIST AND NOTES, SHEET AD, FOR ADDITIONAL INFORMATION IN THE HANDLING OF CONSTRUCTION WASTE FOR THIS PROJECT.
5. PROVIDE PROPER SHORING & STRUCTURAL SUPPORT AS REQUIRED THROUGHOUT CONSTRUCTION.
6. PROTECT EXISTING TREES ON PROJECT SITE DURING DEMOLITION AND CONSTRUCTION. FOLLOW CITY GUIDELINES.
7. MAINTAIN STRICT CONTROL OF DUST, DEBRIS AND NOISE EMANATING FROM THE PROJECT AREA. KEEP PROJECT AREA AND ALL PUBLIC ACCESS ROUTES BROOM CLEAN AND CLEAR OF DUST, DEBRIS, OR ANY HAZARDS ON A DAILY BASIS.
8. ANY ITEMS FOUND OR CONDITIONS DISCOVERED DURING DEMOLITION THAT WILL IMPACT THE DESIGN OF THIS PROJECT ARE TO BE BROUGHT TO THE ATTENTION OF ARCHITECT IMMEDIATELY.

USE PERMIT

**DEMOLITION SITE PLAN**



Drawings Provided By:  
 Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

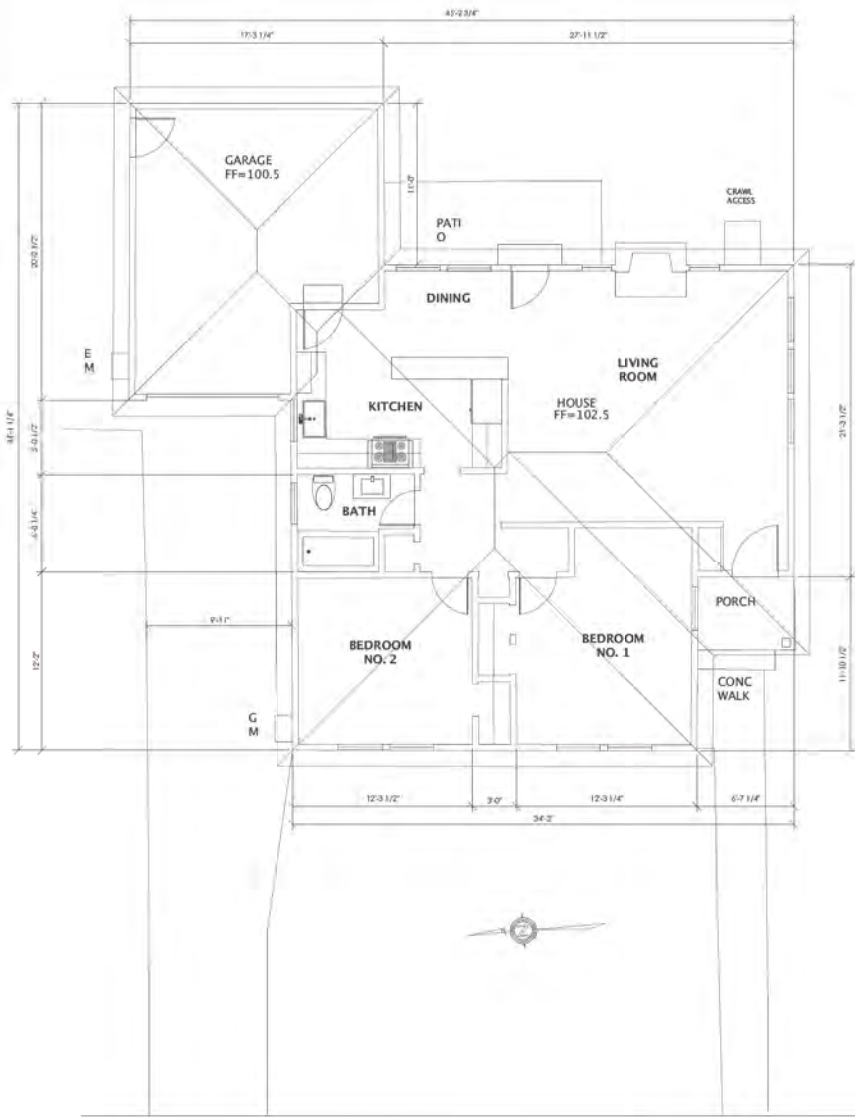
NO.	REVISION

**DEMO SITE PLAN**

DATE: 2/28/2017  
 SCALE: 1/8" = 1'-0"

ALL DIMENSIONS AND LOCATIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED. THIS DRAWING IS THE PROPERTY OF ARCHITECT AND SHALL BE KEPT IN CONFIDENCE. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

A2-1



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

**DEMOLITION FLOOR PLANS & ELEVATIONS (TO BE REMOVED)**



DRAWINGS PROVIDED BY:  
**AR CH STUDIO**

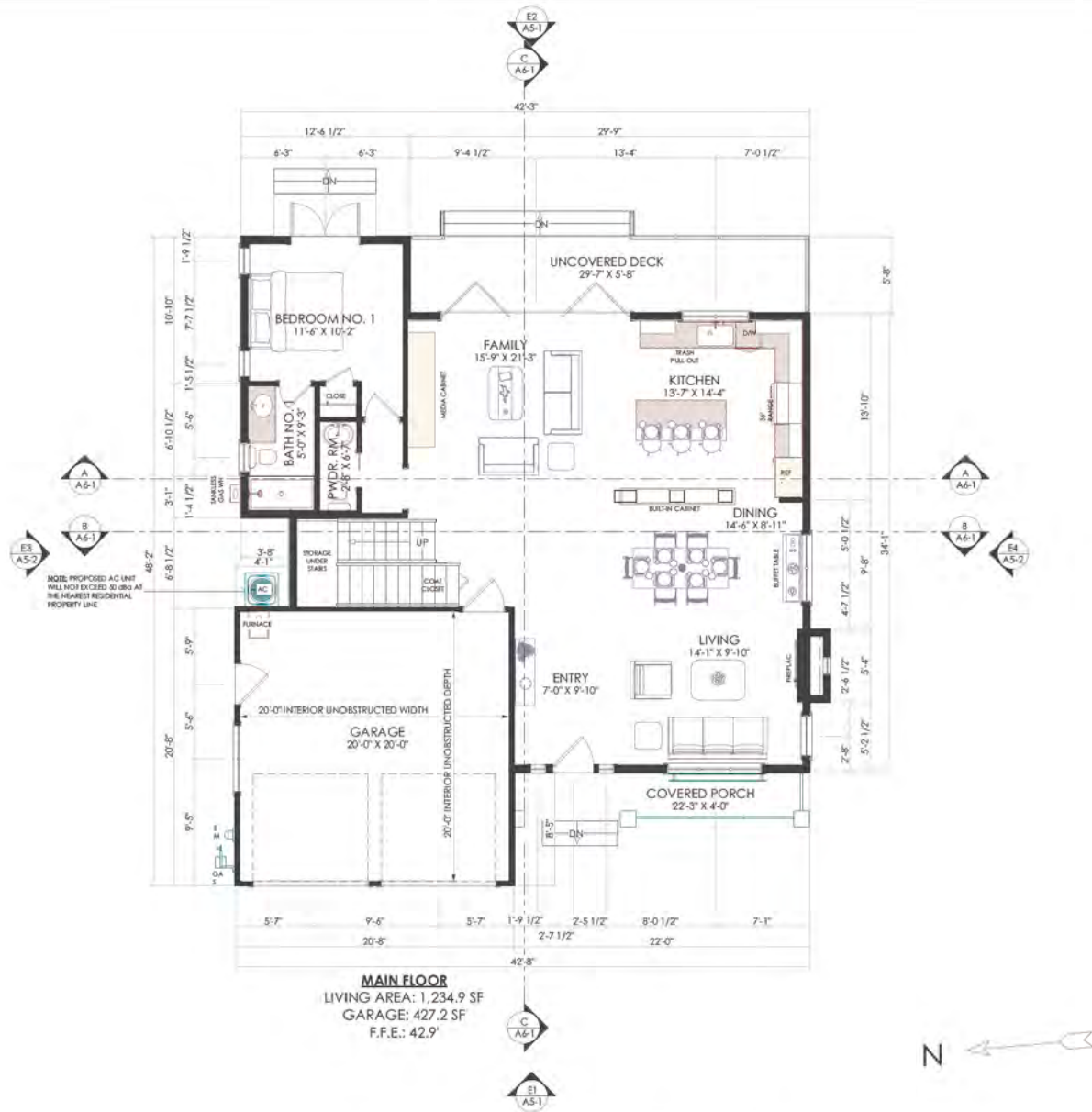
Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

DATE:	1/11/17
BY:	AR CH STUDIO
SCALE:	1/8" = 1'-0"

**DEMOLITION FLOOR PLANS & ELEVATIONS (TO BE REMOVED)**

DATE:	1/11/17
SCALE:	1/8" = 1'-0"

ALL DIMENSIONS AND LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED BY FIELD SURVEY AND PHOTOGRAPHY. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS.



**PROPOSED FIRST FLOOR PLAN**

**GENERAL NOTES:**

1. ALL MATERIALS BELOW B.F.E. SHALL BE RESISTANT TO FLOOD DAMAGE (I.E. CONCRETE, REDWOOD OR PRESSURE TREATED DOUGLAS FIR).
2. THE BOTTOM OF ELEVATION OF ALL APPLIANCES AND UTILITIES SHALL BE AT OR ABOVE B.F.E.
3. ALL NEW CONSTRUCTION AND SUBSTANTIAL IMPROVEMENTS WITH FULLY ENCLOSED AREAS SUBJECT TO FLOODING, AND USED SOLELY FOR PARKING OR STORAGE, MUST INCLUDE A MINIMUM OF TWO FLOOD VENTS. THE FLOOD VENTS SHALL HAVE A TOTAL NET AREA OF NOT LESS THAN ONE SQUARE INCH FOR EVERY SQUARE CRAWLSPACE TO AUTOMATICALLY ALLOW ENTRY AND EXIT OF FLOODWATER. THE OUTSIDE FOUNDATION DIMENSIONS FOR THE ENCLOSED AREA IN ADDITION TO THE SIZE, NUMBER AND LOCATION OF FLOOD VENTS = 20'-8" x 20'-8" = 20.67 x 20.67 = 427.23 SF

FLOOD VENTS REQUIRED AT GARAGE:  
 427.25 SQ. IN. / 74 SQ. IN. PER VENT = 5.77  
**TOTAL (4) VENTS REQUIRED**

USE PERMIT



DRAWINGS PROVIDED BY:



Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

DATE	DESCRIPTION

**PROPOSED FIRST FLOOR PLAN**

DATE: 2/28/2017      SCALE: 1/4" = 1'-0"

ALL DIMENSIONS AND LOCATIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS ON THE JOB SITE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS ON THE JOB SITE.

A3-1





# PROPOSED SECOND FLOOR PLAN



DRAWINGS PROVIDED BY:  
ARCH STUDIO  
1111 BAYVIEW BLVD  
MENLO PARK, CA 94025

Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

NO.	REVISION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT

**PROPOSED SECOND FLOOR PLAN**

DATE: 3/28/21  
SCALE: 1/4" = 1'-0"

ALL DIMENSIONS AND LOCATIONS ARE BASED ON THE PERMITTING AGENCY'S RECORD DRAWINGS AND FIELD SURVEY DATA. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DISCREPANCIES BETWEEN THE RECORD DRAWINGS AND FIELD SURVEY DATA. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DISCREPANCIES BETWEEN THE RECORD DRAWINGS AND FIELD SURVEY DATA.

A3-2



MAIN FLOOR PLAN  
3/16 IN. = 1 FT.



UPPER FLOOR PLAN  
3/16 IN. = 1 FT.

**FLOOR AREA LIMIT (FAL)**

**FLOOR PLAN CALCULATIONS THAT CONTRIBUTE \*\*\* TO THE FAL:**

**MAIN FLOOR:**

AREA 3	749.2 SQFT
AREA 4	110.5 SQFT
AREA 5	116.4 SQFT
AREA 6	258.8 SQFT
SUB TOTAL	1,234.9 SQFT

AREA 1	427.2 SQFT
TOTAL:	1,662.1 SQFT

**UPPER FLOOR:**

AREA 9	343.5 SQFT
AREA 11	20.6 SQFT
AREA 12	13.1 SQFT
AREA 13	254.9 SQFT
AREA 14	92.3 SQFT
AREA 15	333.2 SQFT
TOTAL	1,057.6 SQFT

**GRAND TOTAL** 2,719.7 SQFT

**FLOOR AREA LIMIT (FAL) FOR R-1-U ZONING**  
 LOT AREA 5,000 SQFT - 7,000 SQFT, FAL = 2,800 SQFT  
 LOT AREA = 5,005 SQFT, FAL = 2,800 SQFT

**MAIN FLOOR:** 1,662.1 SQFT  
**UPPER FLOOR:** 1,057.6 SQFT  
**GARAGE:** 427.2 SQFT  
**TOTAL:** 2,719.7 SQFT < 2,800 SQFT (YES, UNDER ALLOWABLE)

**SECOND FLOOR RESTRICTION = 50% OF MAXIMUM ALLOWABLE FAL ON PROPERTY**  
 1,057.6 SQFT < 50% (2,800 SQFT) = 1,057.6 SQFT < 1,400 SQFT (YES, UNDER ALLOWABLE LIMIT)

\*\*\*BAY WINDOW, FIREPLACE CHIMNEY, COVERED PORCH NOT INCLUDED.

**FLOOR AREA CALCULATION**

**DOES NOT CONTRIBUTE TO THE FAL:**

AREA 2	89.4 SQFT
AREA 7	166.9 SQFT
AREA 8	9.9 SQFT
AREA 10	9.9 SQFT
TOTAL	276.1 SQFT

**BUILDING COVERAGE:**

LOT SIZE: 5,005 X 35% ALLOWED = 1,752

MAIN FLOOR:	1,234.9 SQFT
GARAGE:	427.2 SQFT
COVERED PORCH:	89.4 SQFT
TOTAL:	1,751.5 SQFT < 1,752 (YES, UNDER ALLOWABLE)



DRAWINGS PROVIDED BY:  
 Andrew A. McCarty  
 Andrew McCarty, AIA  
 1411 W. 14th St., Suite 100  
 San Mateo, CA 94402  
**ARCHSTUDIO**

Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

USE PERMIT

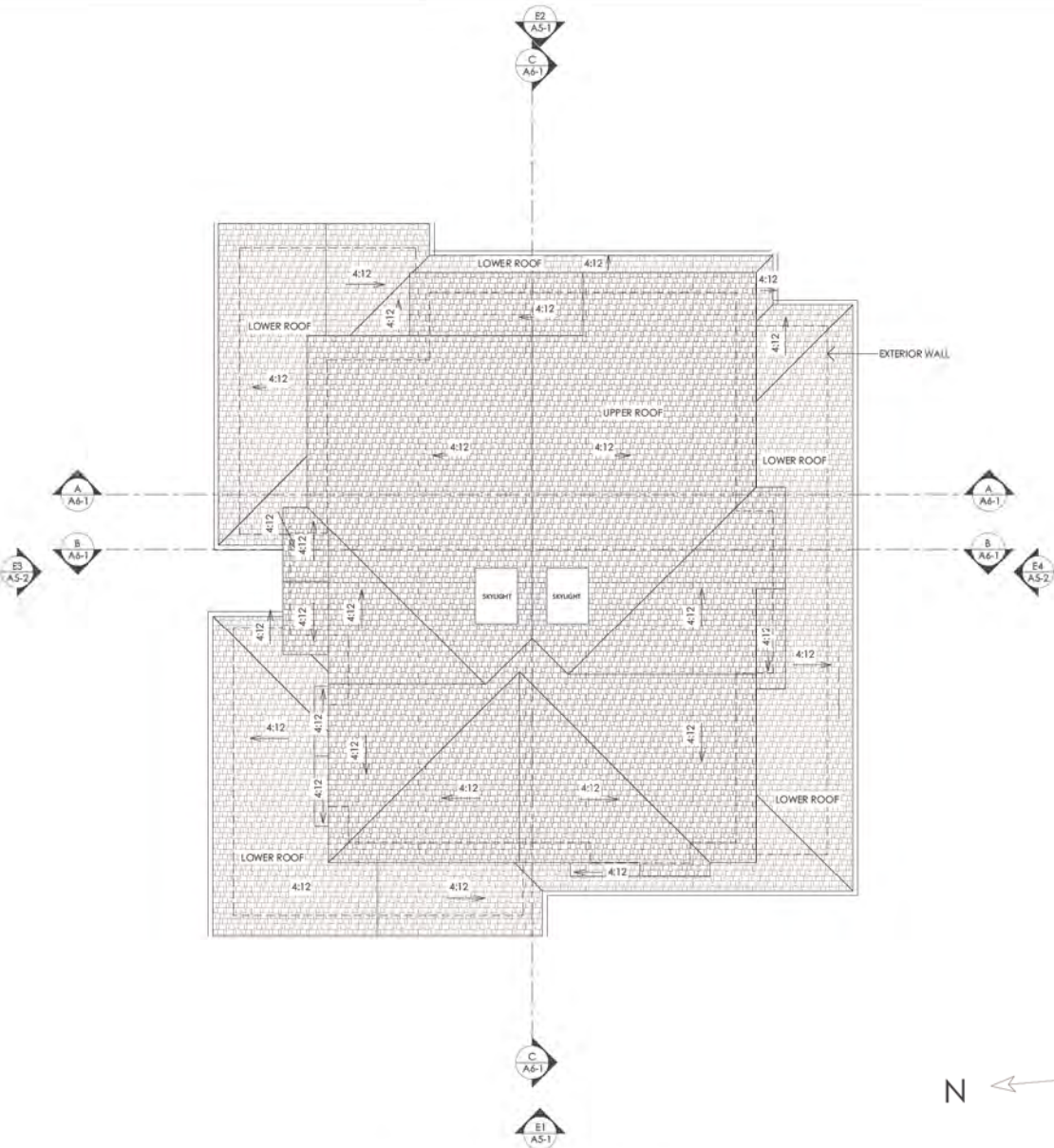
NO.	100-2527
DATE	10/18/2017
SCALE	1/8" = 1'-0"
DATE	10/18/2017
SCALE	1/8" = 1'-0"
DATE	10/18/2017
SCALE	1/8" = 1'-0"

FLOOR PLAN CALCULATIONS

DATE:	3/28/2017
SCALE:	1/8" = 1'-0"

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ARCHSTUDIO AND SHALL REMAIN THE PROPERTY OF ARCHSTUDIO. NO PART OF THIS DRAWING OR SPECIFICATION IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ARCHSTUDIO.

**FLOOR PLAN CALCULATIONS**



**PROPOSED ROOF PLAN**

**ROOF PLAN GENERAL NOTES:**

- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
- PROVIDE ROOF SLOPE AS INDICATED ON PLANS. THE GENERAL CONTRACTOR SHALL VERIFY IN THE FIELD.
- FOR ROOF COVERING, PROVIDE CONCRETE OR CLAY TILE ROOF, "CLASS A" ROOF COVERING. STYLE AND COLOR TO BE DETERMINED BY OWNER.
- CONTRACTOR SHALL PROVIDE A COPY OF THE ICC REPORT FOR THE ROOF COVERING AT THE TIME OF INSPECTION.
- PROVIDE ALUMINUM METAL GUTTERS AND DOWNSPOUTS THAT SHALL BE PAINTED. GUTTERS SHALL BE PAINTED TO MATCH TRIM COLOR AND DOWNSPOUTS (RAIN WATER LEADERS: RWL) SHALL MATCH BODY COLOR.
- PROVIDE ATTIC VENTILATION AT ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS SHALL HAVE A CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. A MINIMUM OF (1) INCH OF AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING SHALL BE A MINIMUM OF NOT LESS THAN (1) SQ. FT. FOR EACH (150) SQ. FT. OF ATTIC AREA WITH (50) PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED LOCATED NEAR THE UPPER PORTION.
- VENTILATION REQUIREMENTS FOR ROOF:
  - A. SEE ROOF VENTILATION CALCULATIONS ON ROOF PLAN.
  - 7. PROVIDE 22X 30" MINIMUM OPENING FOR ATTIC ACCESS OR AS LARGE AS THE LARGEST COMPONENT OF APPLIANCE LOCATED IN ATTIC.
  - 8. PROVIDE DIMENSIONS FOR ALL ROOF OVERHANGS AS INDICATED ON THE PLANS AND DETAILS.
  - 9. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL LAYOUT INFORMATION. COORDINATE STRUCTURAL SYSTEM WITH ARCHITECTURAL DRAWINGS. IF THERE ANY DISCREPANCIES, PLEASE REPORT TO THE ARCHITECT AS NECESSARY.

**USE PERMIT**



DRAWINGS PROVIDED BY:  
 Andrew A. Chou  
 Mechanical Engineer  
 License No. E23987  
 State of California  
 10000 Wilshire Blvd, Suite 1000  
 Los Angeles, CA 90024  
**ARCH STUDIO**

Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

NO.	REVISION

**PROPOSED ROOF PLAN**

DATE: 2/28/2017      SCALE: 1/4" = 1'-0"

ALL DIMENSIONS AND LOCATIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

**A4-1**





**E1 WEST ELEVATION**  
FRONT STREET VIEW



**E2 EAST ELEVATION**  
REAR YARD VIEW

**PROPOSED EXTERIOR ELEVATIONS**

**EXTERIOR ELEVATION NOTES:**

- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
- SEE ROOF PLAN SHEET FOR ADDITIONAL INFORMATION ON ROOF COVERING, GUTTERS & DOWNSPOUTS.
- EXTERIOR WALL COVERING: (SEE EXTERIOR ELEVATIONS FOR LOCATION OF MATERIALS, AND DETAILS FOR ADDITIONAL INFORMATION).
- GENERAL CONTRACTOR TO PROVIDE COLOR SAMPLES FOR APPROVAL BY OWNER AND ARCHITECT.
- 4. TRIMS, EXTERIOR DOORS, SHUTTERS, CORBELS AND OTHER MISC. ACCENTS: PAINTED COLOR FINISH! SHALL BE SELECTED BY OWNER AND ARCHITECT.
- 5. EXTERIOR ENTRY DOOR, OVERHEAD GARAGE DOOR: PROVIDE A PAINT-GRADE FRONT ENTRY DOOR BY "SIMPSON" OR "ELD-WENT" OR SIMILAR BRAND; COLOR TO BE DETERMINED BY OWNER AND ARCHITECT.
- 6. PATIO DOORS & WINDOWS: BY ANDERSON WINDOW CO. OR SIMILAR- ALUMINUM CLAD EXTERIOR FINISH; PRIME WOOD INTERIOR FINISH. COLOR AND HARDWARE TO BE DETERMINED. SEE WINDOW AND DOOR SCHEDULE, DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION.
- 7. CHIMNEY / FLUE: SHALL EXTEND AT LEAST 2 FT. ABOVE THE HIGHEST ELEVATION OF ANY PORTION OF THE BUILDING WITHIN 10 FT. OF THE CHIMNEY.
- 8. PROVIDE VAPOR BARRIER (TYVEK OR EQUAL) OVER THE WALL SHEATHING. SEE DETAILS FOR ADDITIONAL INFORMATION.

USE PERMIT



Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

NO.	REVISION

**PROPOSED EXTERIOR ELEVATIONS**

DATE: 2/28/2017      SCALE: 1/4" = 1'-0"

ALL DIMENSIONS AND LOCATIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. SEE NOTES ON SHEET FOR ADDITIONAL INFORMATION. THIS DRAWING IS THE PROPERTY OF ARCH STUDIO AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARCH STUDIO.

A5-1



**E3** NORTH ELEVATION  
SIDE YARD VIEW



**E4** SOUTH ELEVATION  
SIDE YARD VIEW

**PROPOSED EXTERIOR ELEVATIONS**

**EXTERIOR ELEVATION NOTES:**

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.

SEE ROOF PLAN SHEET FOR ADDITIONAL INFORMATION ON ROOF COVERING, GUTTERS & DOWNSPOUTS.

EXTERIOR WALL COVERING: (SEE EXTERIOR ELEVATIONS FOR LOCATION OF MATERIALS, AND DETAILS FOR ADDITIONAL INFORMATION).

GENERAL CONTRACTOR TO PROVIDE COLOR SAMPLES FOR APPROVAL BY OWNER AND ARCHITECT.

4. TRIMS, EXTERIOR DOORS, SHUTTERS, CORBELS AND OTHER MISC. ACCENTS: PAINTED COLOR FINISH: SHALL BE SELECTED BY OWNER AND ARCHITECT.

5. EXTERIOR ENTRY DOOR, OVERHEAD GARAGE DOOR: PROVIDE A PAINT-GRADE FRONT ENTRY DOOR BY "SIMPSON" OR "JELD-WEN" OR SIMILAR BRAND; COLOR TO BE DETERMINED BY OWNER AND ARCHITECT.

6. PATIO DOORS & WINDOWS: BY ANDERSON WINDOW CO. OR SIMILAR; ALUMINUM CLAD EXTERIOR FINISH; PRIMED WOOD INTERIOR FINISH. COLOR AND HARDWARE TO BE DETERMINED. SEE WINDOW AND DOOR SCHEDULE, DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION.

7. CHIMNEY / FLUE: SHALL EXTEND AT LEAST 2 FT. ABOVE THE HIGHEST ELEVATION OF ANY PORTION OF THE BUILDING WITHIN 10 FT. OF THE CHIMNEY.

8. PROVIDE VAPOR BARRIER (TYVEK OR EQUAL) OVER THE WALL SHEATHING. SEE DETAILS FOR ADDITIONAL INFORMATION.

USE PERMIT



Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

NO.	REVISION

EXTERIOR ELEVATIONS

DATE: 2/28/2017      SCALE: 1/4" = 1'-0"

ALL DIMENSIONS AND LOCATIONS ARE BASED ON THE 2017 CALIFORNIA CIVIL ENGINEERING BOARD'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF CONCRETE AND STEEL REINFORCED CONCRETE STRUCTURES. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING.

A5-2





EXTERIOR FRONT PERSPECTIVE P1



EXTERIOR SIDE PERSPECTIVE P2



EXTERIOR REAR PERSPECTIVE P3



BARTON WAY STREETSCAPE STUDY  
1/16 IN. = 1 FT.



DRAWINGS PROVIDED BY:  
ARCHITECT  
ARCHITECTURE  
1338 MCCLURE AVE. #208  
SAN JOSE, CA 95128  
**ARCH**  
STUDIO

Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

USE PERMIT

NO. 1	DATE	DESCRIPTION
NO. 2	DATE	DESCRIPTION
NO. 3	DATE	DESCRIPTION
NO. 4	DATE	DESCRIPTION
NO. 5	DATE	DESCRIPTION

**EXTERIOR PERSPECTIVES  
& STREETSCAPE**

DATE: 5/21/17 SCALE: 1/8" = 1'-0"

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A5-3

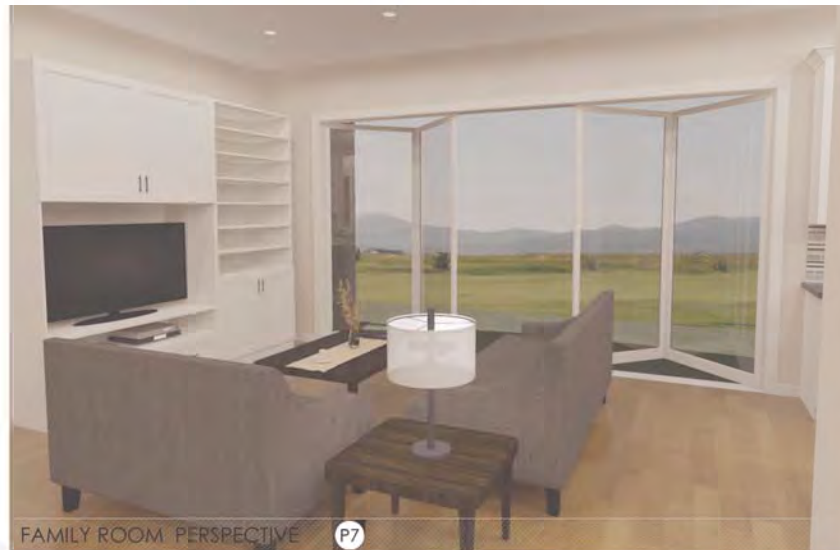
**EXTERIOR PERSPECTIVES & STREETSCAPE**



LIVING / DINING PERSPECTIVE P5



KITCHEN PERSPECTIVE P6



FAMILY ROOM PERSPECTIVE P7

## INTERIOR RENDERINGS



DRAWINGS PROVIDED BY:  
 ARCH STUDIO  
 11111 N. CENTRAL AVENUE  
 SUITE 100  
 DALLAS, TEXAS 75243

USE PERMIT

Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

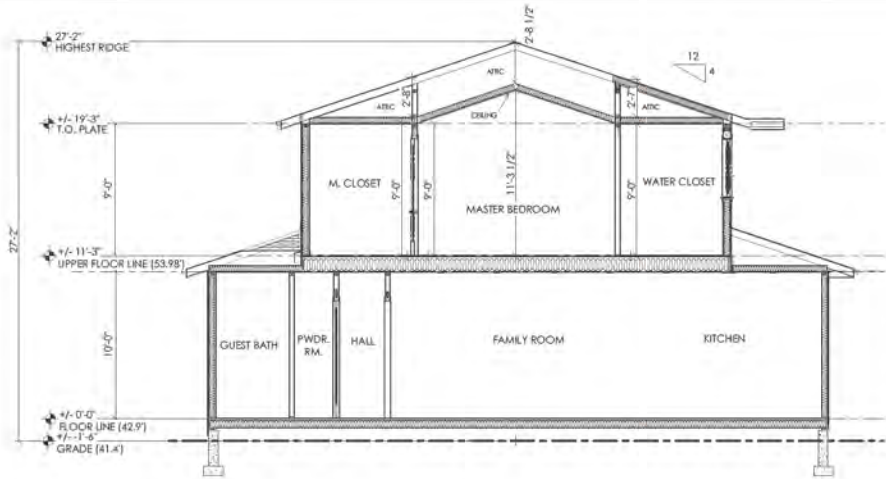
NO.	DESCRIPTION	DATE
01	ISSUED FOR PERMIT	3/28/2017
02	FOR ARCHITECT'S REVIEW	
03	FOR ARCHITECT'S REVIEW	
04	FOR ARCHITECT'S REVIEW	

INTERIOR RENDERINGS

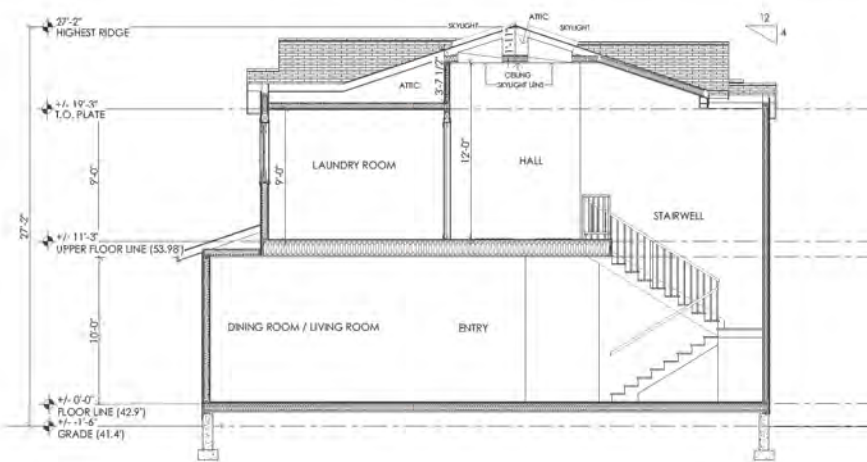
DATE: 3/28/2017 SCALE: NO SCALE

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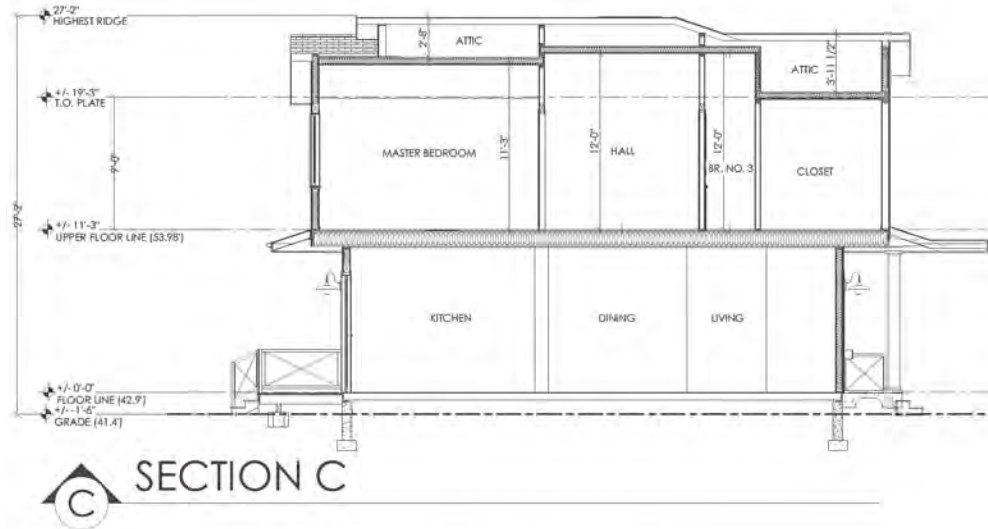
A5-4



**A** SECTION A



**B** SECTION B



**C** SECTION C

**BUILDING SECTIONS**



DRAWINGS PROVIDED BY:  
 ARCHITECT  
 AR  
 CH  
 STUDIO

Construction of New Residence:  
**338 BARTON WAY, MENLO PARK, CA 94025**

NO.	REVISION

**BUILDING SECTIONS**

DATE: 3/28/2017 SCALE: 1/4" = 1'-0"

ALL DIMENSIONS AND NOTES GOVERN OVER ANY CONFLICTING DIMENSIONS OR NOTES ON ANY OTHER DRAWINGS IN THIS PROJECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THESE DRAWINGS.

A6-1



**NOTES:**

1. THIS MAP REPRESENTS TOPOGRAPHY (OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED).
2. BOUNDARY LINES DELINEATED ON THIS MAP ARE ESTABLISHED BASED ON A FIELD SURVEY FROM FOUND MONUMENTS AS SHOWN ON TRACT MAP NO. 544, FILED FOR RECORD IN BOOK 24 OF MAPS AT PAGE 54, SAN MATEO COUNTY RECORDS.
3. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-842-2440).
4. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
5. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
6. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

*Robert T. Wang*  
ROBERT T. WANG, LS 8931



**RW** RW ENGINEERING, INC.  
CIVIL ENGINEERS • LAND SURVEYORS  
525 ALHAMBRA DRIVE  
MILPITAS, CA 95035  
(415) 262-1899  
(415) 438-1006  
rw@rwengr.com

**BOUNDARY & TOPOGRAPHIC SURVEY**

DECEMBER 16, 2016  
CONSISTING OF ONE SHEET

338 BARTON WAY  
MILPITAS, CA  
PARCEL: LOT 88 TRACT 544  
AREA: 3,005.13 ±

**BENCHMARK:**

3" DIA BRASS  
BRASS DISK IN TOP OF SOUTHWESTERN HEADWALL, BEHIND A 3" TALL CONCRETE FLOODWALL AND AT CENTER OF CREEK.  
SAN FRANCISCO CREEK AND POPE STREET/CHAUCER.  
ELEVATION=44.14' (NAVD 88)

**SITE BENCHMARK:**

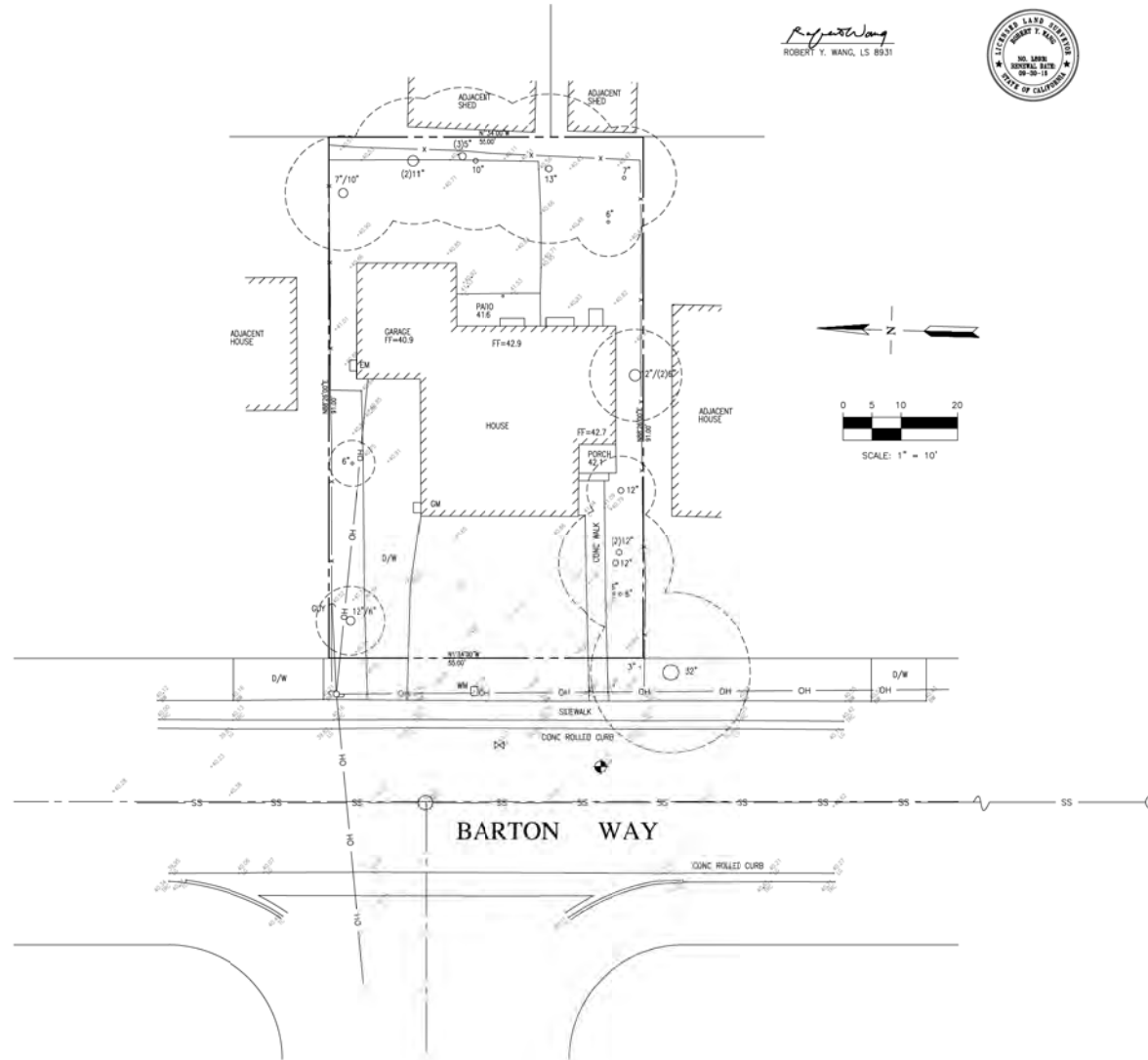
1/4" SET  
ELEVATION=40.37' (NAVD 88)

**BASIS OF BEARINGS:**

SEE TRACT NO. 544 FILED IN BOOK 24 IF MAPS AT PAGE 54,  
SAN MATEO COUNTY RECORDS.

**REFERENCES:**

(1) TRACT 544 (24 MAPS 54)



**ABBREVIATION**

AD	AREA DRAIN
AE	ANCHOR EASEMENT
AC	ASPHALT CONCRETE
BR	BRICK
CC	CLAYS & GUTTER
C	CONCRETE
SI	SEWER INLET
FF	FINISH FLOOR GRADE
FL	FLOORLINE
GM	GAS METER
GS	GAS GUTTER
MB	MAIL BOX
UE	UTILITY EASEMENT
PSE	PUBLIC SERVICE EASEMENT
SSE	SEWER SERVICE EASEMENT
SSM	SEWER MANHOLE
SSO	SEWER CLEANOUT
SSM	SEWER MANHOLE
AW	AREAWAY
TC	TOP OF CURB
TRC	TOP OF ROLLED CURB
W.C.E.	WIRE CLEARANCE EASEMENT
WM	WATER METER

**LEGEND**

---	PROPERTY LINE
- - -	SEWERLINE
SS	UTILITY LINE-TYPE AS NOTED
○	STREET LIGHT
□	PG&E
□	UTILITY BOX-TYPE AS NOTED
□	WATER/GAS METER
□	WATER VALVE
□	CURB CATCH BASIN
□	FIRE HYDRANT
○	MANHOLE-TYPE AS NOTED
○	SANITARY SEWER CLEANOUT
PP	POWER POLE w/ (NOTED) WIRE
◆	REMARK
---	CONTOUR LINE
○	MONUMENT
○	FINISH FLOOR GRADE IN INCHES
○	SPECKS NOTED WHEN KNOWN
→	CLIP WIRE

**LEGEND**

- PROPERTY LINE
- COVERLINE
- UTILITY LINE—TYPE AS NOTED
- STREET LIGHT
- UTILITY BOX—TYPE AS NOTED
- WATER METER
- WATER VALVE
- CURB CATCH BASIN
- FIRE HYDRANT
- MANHOLE—TYPE AS NOTED
- CLEANOUT
- POWER POLE W/ OVERHEAD WIRE
- SIGNPOST
- MONUMENT
- CONTROL LINE
- SWALE @ 1% MIN. (1:10)
- SURFACE FLOW DIRECTION
- DOWNSPOUT WITH SPLASH-BLOCK
- 3/4" POLYURETHANE IN HOLES SPECIES-TYPE NOT KNOWN

**ABBREVIATION**

- AC ASPHALT CONCRETE
- AD AREA DRAIN
- C & G CURB & GUTTER
- CONC CONCRETE
- DI DRAIN PANEL
- EX EXISTING
- FG FRESH FLOOR GRADE
- FL FLOOR LINE
- FS FINISH SURFACE
- GF GRADE FINISH GRADE
- GL GROUND UTILITY LAGUMENT
- HP POLYURETHANE HOLES
- SEWING SEWER
- S/B SLOPE
- TOP OF CURB

**EARTHWORK TABLE**

CUT (CY)	FILL (CY)	IMPORT/EXPORT (CY)
10	10	0

NOTE: EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO FURNISH THEIR OWN QUANTITIES TAKE-OFF.

**ON-SITE IMPERVIOUS AREAS:**

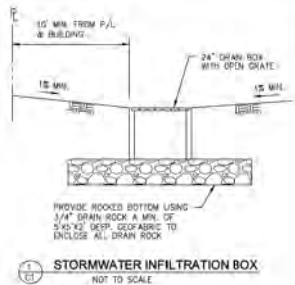
PRE-DEVELOPMENT	POST-DEVELOPMENT
BUILDING 1,344 SQ. FT.	BUILDING 1,304 SQ. FT.
DRIVEWAY 446 SQ. FT.	DRIVEWAY 412 SQ. FT.
PATIO 931 SQ. FT.	
WALKWAY 151 SQ. FT.	
<b>TOTAL 2,872 SQ. FT.</b>	<b>TOTAL 2,316 SQ. FT.</b>
	<b>TOTAL CHANGE -556 SQ. FT.</b>

**SITE BENCHMARK:**

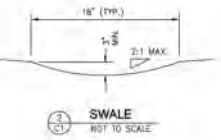
NAL SET ELEVATION 40.37' (BAND 88)

**BASIS OF BEARINGS:**

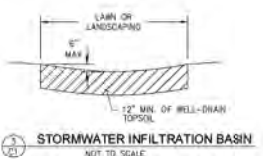
PON TRACT NO. 544 FILED IN BOOK 24 OF MAPS AT PAGE 54. SAN MATEO COUNTY RECORDS



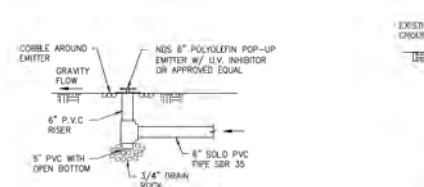
**STORMWATER INFILTRATION BOX**  
NOT TO SCALE



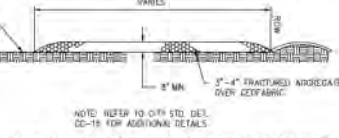
**SWALE**  
NOT TO SCALE



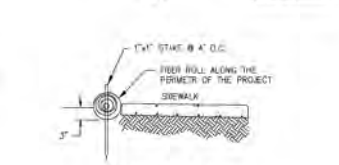
**STORMWATER INFILTRATION BASIN**  
NOT TO SCALE



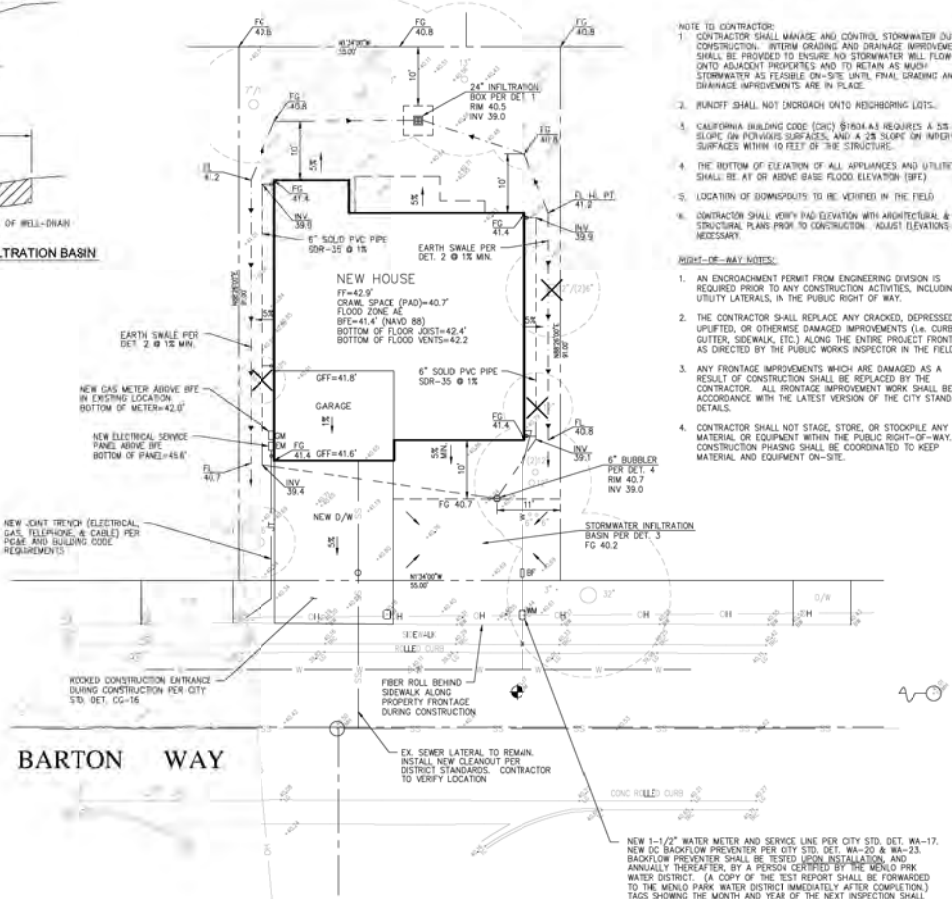
**BUBBLER**  
NOT TO SCALE



**STABILIZED CONSTRUCTION ENTRANCE**  
(TO BE MAINTAINED)



**FIBER ROLL**  
NOT TO SCALE



- NOTE TO CONTRACTOR:**
- CONTRACTOR SHALL MAINTAIN AND CONTROL STORMWATER DURING CONSTRUCTION. EROSION AND DRAINAGE IMPROVEMENTS SHALL BE PROVIDED TO ENSURE NO STORMWATER WILL FLOW ONTO ADJACENT PROPERTIES AND TO REMAIN AS MUCH STORMWATER AS FEASIBLE ON-SITE UNTIL FINAL DRAINAGE AND DRAINAGE IMPROVEMENTS ARE IN PLACE.
  - BURIED SHALL NOT ENCROACH ONTO NEIGHBORING LOTS.
  - CALIFORNIA BUILDING CODE (CBC) SECTION 18.01.03 REQUIRES A 5% SLOPE ON FORWARD SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES WITHIN 10 FEET OF THE STRUCTURE.
  - THE BOTTOM OF ELEVATION OF ALL APPLIANCES AND UTILITIES SHALL BE AT OR ABOVE BASE FLOOD ELEVATION (BFE).
  - LOCATION OF DOWNSPOUTS TO BE VERIFIED IN THE FIELD.
  - CONTRACTOR SHALL VERIFY PAD ELEVATION WITH ARCHITECTURAL & STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ADJUST ELEVATIONS AS NECESSARY.

**RIGHT-OF-WAY NOTES:**

- AN ENCROACHMENT PERMIT FROM ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS, IN THE PUBLIC RIGHT OF WAY.
- THE CONTRACTOR SHALL REPLACE ANY CRACKED, DEPRESSED, LIFTED, OR OTHERWISE DAMAGED IMPROVEMENTS (i.e. CURB, GUTTER, SIDEWALK, ETC.) ALONG THE ENTIRE PROJECT FRONTAGE AS DIRECTED BY THE PUBLIC WORKS INSPECTOR IN THE FIELD.
- ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATED TO KEEP MATERIAL AND EQUIPMENT ON-SITE.

**GRADING NOTES**

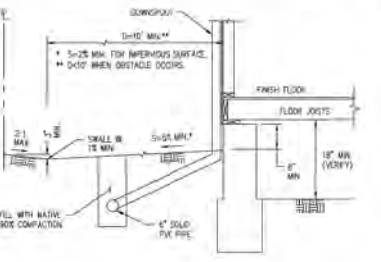
- ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF CITY OF MENLO PARK STANDARDS AND SPECIFICATIONS.
- THE OWNER AND THE ENGINEER OF WORK WILL NOT BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL JOINT/CROSSING LOCATIONS, ELEVATIONS, CURB, GUTTER, SIDEWALK, FLOW LIMITS, PAVEMENT, STREETS, AND ALL GRADE JOINTS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
- THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREON WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
- THE SOIL REPORTS PREPARED BY WAYNE LTD. & ASSOCIATES, DATED 12/11/15 FOR THIS PROJECT IS A PART OF THIS PLAN. THE MOST STRINGENT REQUIREMENTS BY SOIL ENGINEER OR COVERING ADDENDUM SHALL PREVAIL.
- GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS SITE, TOGETHER WITH ANY SUPPLEMENTAL SHEETS. ALL GRADING WORK SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER. THE SOIL ENGINEER SHALL BE NOTICED 48 HOURS BEFORE THE START OF ANY GRADING.
- PRIOR TO START OF ANY WORK, CONTRACTOR MUST REVIEW THE PLANS FOR DESIGN INCONVENIENCES AND TYPUS SUCH AS ELEVATIONS, CURB HEIGHT, DIMENSIONS, SLOPES, ETC. IF INCONVENIENCES OR OMISSION TYPUS ARE FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF WORK FOR VERIFICATION BEFORE PROCEEDING WITH ANY WORK.
- ALL SPLASH BLOCKS SHALL BE 24 INCHES MAXIMUM X LENGTH.
- THE STORM RUNOFF GENERATED BY THE NEW PROJECT SHALL NOT DRAIN INTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.

**CITY OF MENLO PARK NOTES:**

- THE APPLICANT SHALL REMOVE AND REPLACE ALL EXISTING (DAMAGED, LIFTED OR DEPRESSED) FRONTAGE IMPROVEMENTS (CURB, GUTTER, SIDEWALK, DRIVEWAY, ETC.) EXISTING OR DAMAGED BY THE CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. IF FRONTAGE IMPROVEMENTS DO NOT EXIST, THE APPLICANT IS REQUIRED TO INSTALL FRONTAGE IMPROVEMENTS PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. ALL IMPROVEMENTS ARE TO BE COMPLETED AND APPROVED BY THE CITY OF MENLO PARK'S PUBLIC WORKS INSPECTOR PRIOR TO THE FINAL INSPECTION BY THE BUILDING INSPECTOR.
- THE APPLICANT/CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION PRIOR TO START OF ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY OR PUBLIC ELEMENT AREAS. THE APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING FOR CITY ENCROACHMENT PERMIT.
- CITY ENGINEER SHALL COORDINATE WITH PROJECT ARCHITECT TO DETERMINE THE LOCATION OF EDGE OF PAVEMENT, STORM DRAIN LINES AND OTHER UTILITY LINES NEAR TREES. THE LOCATION OF IMPROVEMENTS NEAR CITY TREES SHALL BE APPROVED BY CITY ARCHITECT.
- ALL TRENCHES IN THE CITY'S RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARDS DETAILS SI-34, SI-36 AND SI-18.
- ALL CONCRETE WORK IN THE CITY'S RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARDS DETAIL Q-1.
- PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION FOR ALL EXISTING PRIVATE STRUCTURES, IMPROVEMENTS AND LANDSCAPING (IF ANY) LOCATED IN THE CITY'S RIGHT-OF-WAY ALONG THE PROPERTY FRONTAGE.

**GENERAL EROSION AND SEDIMENT CONTROL NOTES:**

- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- MEASURABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, DIRT, STONE, CERAMIC, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR DRIP OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE STORMWATER RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD, ADEQUATE TO THE CITY REPRESENTATIVE IF ANY FIELD CHANGES.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE THROUGHOUT THE RAINY SEASON.



**TYPICAL GRADING AROUND FOUNDATION**  
NOT TO SCALE

**RW ENGINEERING, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS  
500 ALVARADO DRIVE  
MENLO PARK, CA 94025  
(650) 321-5500  
www.rw-engineering.com

**NEW RESIDENCE**  
338 BARTON WAY  
MENLO PARK, CA

**GRADING AND DRAINAGE PLAN**

DATE: 12/20/16  
SCALE: AS NOTED  
DESIGNED BY: RW  
DRAWN BY: RW  
SHEET NO. **C-1**

REV/SKNS	BY
△ 12/16/16	MY
△ 3/1/17	MY
△ 3/28/17	MY



**LANDSCAPE PLAN**

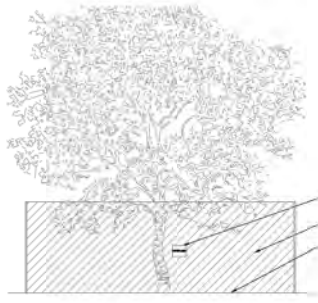
**NEW RESIDENCE  
338 BARTON WAY  
MENLO PARK, CA**

A.P.N. 02-243-140

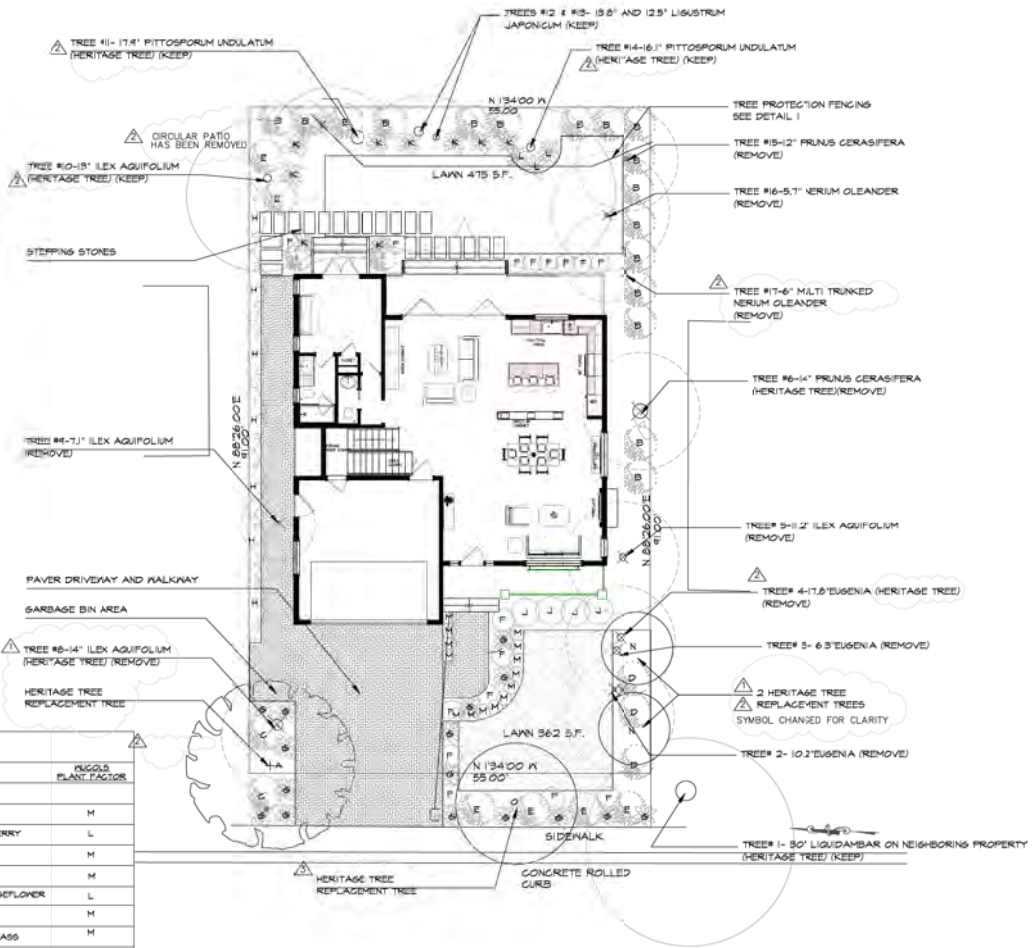
DRAWN BY	MY
CHECKED BY	MY
DATE	03/16
SCALE	1/8" = 1'-0"
JOB NO.	XXX
SHEET	

**L-1**

OF SHEETS



**TREE PROTECTION FENCING DETAIL 1**



**PLANT LIST** CONFIRM QUANTITIES PRIOR TO ORDER

#	QU.	SIZE	BOTANICAL NAME	COMMON NAME	RUGGOLS PLANT FACTOR
A	1	24' BOX	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	M
B	16	156"	PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	L
C	2	156"	PITTIOSPORUM TENUIFOLIUM	PITTIOSPORUM	M
D	3	156"	PRUNUS LAUROCERASUS	ENGLISH LAUREL	M
E	7	56"	LOROPETALUM 'EMERALD SNOW' (GREEN)	WHITE FLOVERED FRINGEFLOWER	L
F	14	26"	ROSA MAGIC CARPET WHITE	WHITE CARPET ROSE	M
G	16	16"	STIPPA TENUISSIMA	MEXICAN FEATHER GRASS	M
H	7	56"	FIGUS FUMILA	CREEPING FIG	M
I	7	56"	HYDRANGEA QUERCIFOLIA 'PEE GEE'	OAK-LEAF HYDRANGEA	M
J	5	56"	CAMELLIA SAS 'WHITE DOVES'	SASANGUA CAMELLIA	M
K	3	16"	LICHONDRIA 'WYNN'S WONDER'	DWARF MATT RUSH	L
L	3	56"	MAHONIA 'SOFT CARESS'	SOFT CARESS MAHONIA	L
M	14	16"	BUXUS 'GREEN BEAUTY'	BOXWOOD	M
N	2	180"	CAMPANULA BETULIB 'FAUSTGATA'	EUROPEAN HORNBEAM	M
Q	1	24' BOX	ARBITUS MAHINA	ARBITUS MAHINA	L

BARTON WAY  
50' R.O.W.

Amend all planting areas by incorporating a 2" layer of the redwood compost. Till a minimum of 8" deep and mulch all non-soil areas with minimum 2" thick layer fir bark or redwood mulch.

I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the Landscape and Irrigation Design Plan.

Landscape Arch. Report must be submitted to the Engineering Division prior to final inspection.



**LANDSCAPE PLAN**

1/8" = 1'-0"

**Robin A. McCarthy, AIA, CGBP**

robin@archstudioinc.com

1155 Meridian Avenue, Suite 208, San Jose, CA 95125

cell 408.859.8723

Date: October 13, 2016

To: City of Menlo Park Community Development Department, Planning Division  
701 Laurel Street  
Menlo Park, CA 94025  
Phone: (650) 330-6702  
Fax: (650) 327-1653

Re: Project Description for Proposed Residence Located At 338 Barton Way, Menlo Park, CA 94025

Attn: Planning Staff and Commission:

**Purpose of the proposal:**

Our client, Goldsilverisland Properties, LLC, intends to build a new custom residence in Menlo Park. Goldsilverisland Properties, LLC is a custom home development company who is known for building high quality and architecturally pleasing custom homes in the Menlo Park and surrounding areas with great attention to high quality materials and designs. The proposed new two-story residence reflects this reputation.

The proposed new two-story residence is located at 338 Barton Way, Menlo Park, CA 94025 (parcel number: 062-343-140). The lot information is as follows: lot width is 55 feet, lot depth is 91 feet, lot area is 5,005 square feet, and zoning is R-1-U district. This lot meets the substandard lot criteria because the proposed new two-story development is on a lot which do not meet the minimum required lot width, depth, and area of the zoning district. Therefore, a Use Permit is required for the proposed project.

**Scope of work:**

The scope of work involves demolishing the existing single story home and constructing a new two-story home with new property line fence and complete landscaping. The proposed design is a new two-story home (2,308 square feet) and attached two-car garage (423 square feet). The total floor area is 2,731 square feet. The total building coverage is 1,751 square feet. The main floor of the home contains the main living spaces: kitchen, dining room, living room, family room, powder room, bedroom no. 1 suite, and 2-car parking garage. The upper level contains bedroom no. 2, bedroom no. 3, bathroom no. 2, laundry room, and master bedroom suite with balcony.

**Architectural style, materials, colors, and construction methods:**

The architectural style of the proposed two-story wood framed residence is contemporary farmhouse. The primary exterior siding material is a white colored board and batten. The roofing material is a combination of dark colored composition shingle and dark colored standing seam metal roof. The upper level roof is completely composition shingles. The lower level roof has standing seam metal roof at the front elevation and the rest of the lower level roof is composition shingles. The window and door frames shall be a dark color finish with matching accents for guard railing and lighting. The driveway shall have warm earth tone pavers, and natural limestone tiles at all other patios. The colors proposed are meant to blend and recede into the earth tone surrounding landscape.

The height of the home meets the zoning guidelines at 27'-4" feet maximum. There are some single-story elements at the front porch and garage along with a varied front wall line used to vary the façade and minimize the bulk and mass of the structure.

**See my work at [archstudioinc.com](http://archstudioinc.com)**



The landscape design is water efficient and provides some screening replacement trees and vegetation. There are five existing trees along the rear of the property which will be kept while the rest of the trees will be removed. Lawn is proposed at the front and rear of the residence. Existing runoff patterns are preserved and away from native trees and shrubs.

**Basis for site layout:**

The existing site is 55 feet wide by 91 feet in depth and rectangular in shape and relatively flat. The proposed new two-story residence is designed to follow the natural contour of the existing property and building pad. The building footprint is generally rectangular with the front elevation facing Barton Way. The building coverage of 1,751 square feet is just slightly under and meets the maximum floor area limit of 35% of the lot area and the building footprint is within the required front, rear, and side setback limits.

**Existing and proposed uses:**

The existing residence is currently a single family single story home in a state of disrepair with a dilapidated property line fence and unkempt landscaping. This development project proposes a new single family two-story residence with new property line fence and complete landscaping with an architectural focus to enhance the neighborhood appeal.

**Outreach to neighboring properties:**

Neighborhood outreach was conducted with a neighborhood meeting held on September 25, 2016 at 4PM to present an overview of the proposed project scope of work, project site, architectural style, floor plans, elevations, window placement, trees and landscaping, etc. There were six neighbors in attendance and they are: Peter Aylaian from 332 Barton Way, Linda Salser from 326 Barton Way, Robert and Natalia Mancuso from 321 Nova Lane, and Jay and Janet Cross from 347 Barton Place. The general comments by the neighbor attendees regarding the proposed project are favorable.

**Conclusions:**

It is the Client's directive that this new residence be of a very high quality design and construction, and enhance the neighborhood and community that the project is located in. We are confident that this home will increase the values of nearby properties, and will be a benchmark for outstanding design and construction for other homes in The Willows Neighborhood and other Menlo Park neighborhoods.

For any additional comments or questions, please do not hesitate to contact me directly at 408-859-8723.

Sincerely,

Robin A. McCarthy, Architect  
Lic. No. C29767  
Arch Studio, Inc.

## Kiely Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

September 9, 2016 revised March 3, 2017

Goldsilverisland Homes, LLC

Attn: Mr. Ying-Min Li

43575 Mission Blvd, suite 359

Fremont, CA, 94539

Site: 338 Barton, Menlo Park, CA

Dear Mr. Li,

As requested on Wednesday, September 7, 2016, I visited the above site for the purpose of inspecting and commenting on the trees. A home is planned for this site and your concern as to the future health and safety of the trees has prompted this visit.

### Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height) if the tree is codominant or multi leader the tree will be measured below the fork. Each tree was given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

### Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1*H	Liquidambar ( <i>Liquidambar styraciflua</i> )	30est	45	40/40	Good vigor, poor form, topped for line clearance. Street tree.
2	Eugenia ( <i>Eugenia paniculata</i> )	10.2@ 6"	50	65/10	Good vigor, poor form, multi leader at base.
3	Carolina cherry ( <i>Prunus caroliniana</i> )	6.3	45	30/20	Good vigor, poor form, suppressed.

338 Barton/9/9/16

(2)

Tree#	Species	DBH	CON	HT/SP	Comments
4H	Eugenia ( <i>Eugenia paniculata</i> )	17.8@base	45	35/30	Good vigor, poor form, multi leader, suppressed.
5	Holly ( <i>Ilex aquifolium</i> )	11.2	50	30/15	Good vigor, poor form, suppressed.
6H	Plum ( <i>Prunus cerasifera</i> )	14.8@6"	40	25/30	Poor-fair vigor, poor form, poor location, against existing house.
7	Coast live oak ( <i>Quercus agrifolia</i> )	6.9	40	20/15	Fair vigor, poor form, poor location, against sidewalk and power pole.
8H	Holly ( <i>Ilex aquifolium</i> )	14.5@6"	45	25/20	Poor vigor, poor form, multi leader at 1 foot.
9	Holly ( <i>Ilex aquifolium</i> )	7.1	50	25/15	Fair vigor, fair form, vine in canopy.
10H	Holly ( <i>Ilex aquifolium</i> )	13.0	45	25/15	Fair vigor, poor form, codominant at 2 feet.
11H	Pittosporum ( <i>Pittosporum tenuifolium</i> )	19.9@6"	40	35/20	Poor vigor, poor form, decay at base.
12	Privet ( <i>Ligustrum japonicum</i> )	13.8	40	35/25	Poor vigor, poor form, multi leader at 1 foot.
13	Privet ( <i>Ligustrum japonicum</i> )	12.5	45	35/20	Poor vigor, poor form, codominant at 1 foot.
14H	Pittosporum ( <i>Pittosporum undulatum</i> )	16.1	55	35/30	Fair vigor, fair form, against rear fence.
15	Plum ( <i>Prunus cerasifera</i> )	12@6"	45	15/20	Fair vigor, poor form, multi leader at 1 foot, broken limbs in canopy.
16	Oleander ( <i>Nerium oleander</i> )	5.7	35	15/10	Poor vigor, poor form, suppressed.
17	Oleander ( <i>Nerium oleander</i> )	Multi	55	15/15	Good vigor, poor form, multi leader at base. Consists of several 1-2" diameter trunks base, 6" and root mass.

\*indicates neighbor's tree



**Site Observations:**

The site has not been well maintained in the past and the building and landscape has fallen into dis-repair. Overgrown trees and hedges have covered windows and ivy has grown on the side of the building. The property is an eye-sore to the well maintained neighboring properties. Two disabled vehicles were recently removed from the front lawn area.

**Property as seen from the front. The overgrown landscape is an eyesore to the neighbors. Two disabled vehicles were recently removed from the site.**

The trees on site are beyond repair and no longer contribute to the property or the neighboring properties.



**Summary:**

The trees on site are a mix of imported trees (exotics) with one volunteer oak by the power pole and sidewalk. The trees are in poor condition with poor form the results of an over-planting landscape plan. The original landscape used hedge material that has become over grown and developed into trees. The poor species and suppressed form is evidence of the poor landscape design.

**The property as seen from the rear, overgrown landscape and a home in severe dis-repair. Oleander #17 in the center is multi leader with several 1-2 inch diameter trunks.**

Trimming the trees (overgrown shrubs) will not improve the form of the trees or the look of the property. The only tree on site that contributes to the landscape id the pittosporum #14.

The remaining trees should be removed at the time of the house demolition and replaced at the time of landscaping. If any trees are to be retained the following tree protection plan will help to reduce impacts to any retained trees.





### **Tree Protection Plan:**

#### Tree Protection Fencing

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type fencing supported by metal poles pounded into the ground. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones.

**Tree #17 is multi leader from trunk base and roots making an accurate measurement impossible. The oleander is an overgrown shrub and should not be considered a heritage tree.**

All tree protection must be in place prior to the start of any demolition. Demolition equipment will access the property from the existing driveway. If demolition equipment is to stray off the existing driveway 6 inches of chips covered with steel plates or plywood will be installed beneath protected trees driplines.

#### Trenching

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

#### Irrigation

Normal irrigation should be maintained throughout the entire length of the project. The imported trees will require regular irrigation. The native oaks should not require warm season irrigation unless their root zones are traumatized. If root damage were to occur some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption. The native oaks should not require irrigation unless their driplines have been traumatized.

338 Barton/9/9/16

(5)

#### Tree Trimming

The trimming of protected trees on this site to facilitate construction will be minor. All trimming will be carried out by a licensed contractor and inspected by the site arborist.

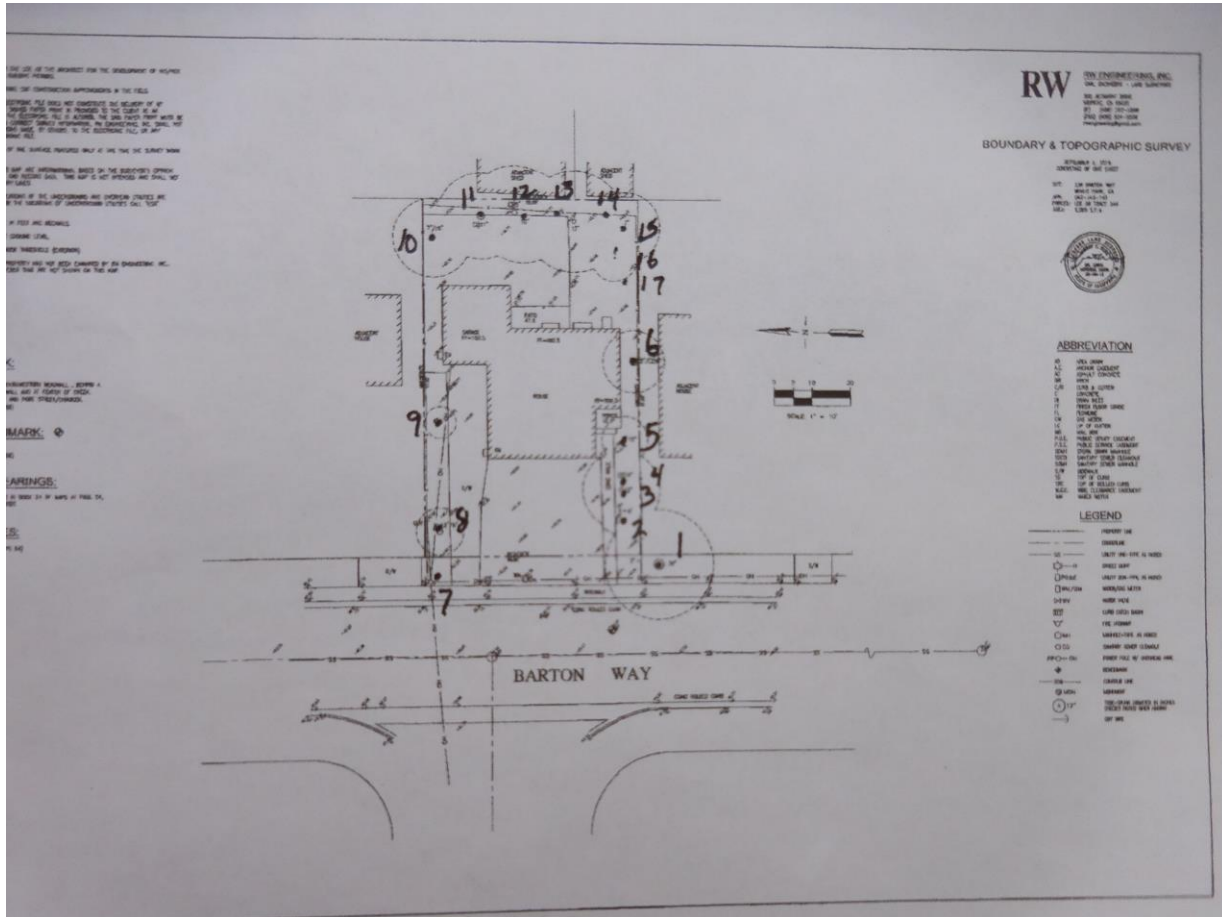
#### Inspections

The city of Menlo Park requires a site inspection prior to the start of demolition and again prior to the start of construction. Inspections will include the tree protection fencing installation. Other inspections will be on an as needed basis.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty  
Certified Arborist WE#0476A



Map with tree locations

**Chao, Sunny Y**

---

**From:** robert mancuso <robertmancuso2000@yahoo.com>  
**Sent:** Wednesday, October 26, 2016 2:15 PM  
**To:** Chao, Sunny Y  
**Subject:** Use Permit/Ying-Min Li/338 Barton Way

Hi Sunny Chao:

My name is Robert Mancuso. My mom (Natalia Mancuso) and I, live directly behind 338 Barton Way at 321 Nova Lane. We have lived there for 53 1/2 years. We want our privacy. We do NOT want another two-story house directly behind us destroying are privacy. Keeping the residence a single-story house would be find and it would protect our privacy. Right now, the house at 338 Barton Way is right behind our garage and we can not see the house. With a two-story added on, would overlook our garage and into our living room, dining room, bedroom, and backyard. This would be a total lost of privacy, since we been their for 53 1/2 years. This would ruin our quality of live, that we are used to. My mom has had a stoke and is in a wheelchair. Her bedroom is in the back of the house. The construction of a two-story would alone ruin her sleep and privacy. Plus, the person who is doing the second-story house is flipping the house and not even going to live there. He just going to turn around and sell the house. Then we would have problem with different people. So, please keep house a single-story house like it has always been. Plus, if you notice, the lot size is very small and a two-story house would bee to big.

Thank-you,  
Robert & Natalia Mancuso  
321 Nova Lane  
Menlo Park, California 94025-2929  
Phone # (650) 322-8688  
E-mail: robertmancuso2000@yahoo.com

## Chao, Sunny Y

---

**From:** Aylaian, Peter <Peter.Aylaian@netapp.com>  
**Sent:** Saturday, April 1, 2017 10:58 AM  
**To:** Chao, Sunny Y  
**Cc:** 'Jo-Ann Adefuin'  
**Subject:** Questions, review of final plans for 338 Barton

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Hi Sunny,

We received the Notice from the Planning Commission that the public hearing for 338 Barton is on the docket. My family and I live in the adjacent home at 332 Barton. Though we are not excited at the prospect of a big house next door, we understand that the new owners have the right to construct on the site and have been in touch with them about our concerns. We will be on vacation in Utah on April 10th so cannot attend the public hearing but we wanted to check in on a few things:

- The notice says that 2 trees on the right side of the property (we believe this refers to the side adjacent to our house) will be removed- 1 eugenia and 1 plum
- There is also a fairly large holly tree on the right side- is this one staying? It looks healthy, provides great screening, and we would love for it to stay
- What is the planned height of the fence separating our properties? Can the City do an approval for an 8 foot height (7 foot height, 1 foot lattice)?
- For the fence, we believe the plan is to have a higher portion toward the back of the house and a shorter version as you get closer to Barton; we would like to have the taller version of the fence extend as far as possible- I just took a quick measurement and having the taller portion extend to within 25 feet of Barton would be ideal- what's the plan for this?
- In terms of privacy screening in the back right fenceline, we have asked for privacy screening trees to replace the oleander they plan to cut down, and they have indicated that they will plant some. We have also asked them to retain the camellia in the back right corner of the property. As part of the planning/licensing process, is there any way we secure these commitments?

My wife and I are free on Monday AM and would like to come in to review the final plans, particularly those related to the landscaping. Will you be at the Menlo offices?

Regards,

Peter Aylaian and family



## STAFF REPORT

### Planning Commission

Meeting Date: 4/10/2017

Staff Report Number: 17-018-PC

Public Hearing: Use Permit/Isabelle Cole/318 Pope Street

### Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district, at 318 Pope Street. The property owner has separately applied for a heritage tree removal permit for a heritage redwood in good condition at the right side of the property, approximately halfway between the front and rear property lines. That removal permit has been denied by the City Arborist, and the Environmental Quality Commission (EQC) has upheld the City Arborist's action on appeal. The City Council will separately hear an appeal of the EQC action, tentatively scheduled for April 18, 2017. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The subject site is located at 318 Pope Street, near the intersection of Gilbert Avenue, in the Willows. The subject parcel is surrounded on all sides by single-family homes that are also in the R-1-U zoning district. The surrounding area is a mixture of one and two-story homes, developed in a variety of architectural styles. At the left and rear, the parcel adjoins an alley that has access to Pope Street, Laurel Avenue, and Gilbert Avenue. A location map is included as Attachment B.

#### *Previous Planning Commission review*

On July 20, 2015, the Planning Commission approved a use permit to demolish the existing single-story, single-family residence and construct a new two-story, single-family residence on the subject property as requested by the previous property owners. However, the existing house was never demolished and the current proposal consists of a new design, submitted by a new property owner.

### Analysis

#### *Project description*

The applicant is proposing to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence in the R-1-U (Single-Family Urban Residential) zoning district. The

lot is substandard with regard to the lot width, and a two-story residence requires approval of a use permit. The existing, detached two-car garage located in the rear of the property, which is accessed from the alley, would remain and provide the required two off-street parking spaces.

The proposed residence would have a floor area of 3,203 square feet where 3,203.5 square feet is the floor area limit (FAL) and a building coverage of 26.7 percent where 35 percent is the maximum permitted. The house is proposed to be 27.5 feet in height, below the maximum permissible height of 28 feet, and the proposed structure would comply with daylight plane requirements. The proposed residence would have four bedrooms and five bathrooms, with three of the bedrooms and three of the bathrooms on the second floor.

The property owner has separately applied for a heritage tree removal permit for a heritage redwood in good condition at the right side of the property, approximately halfway between the front and rear property lines. As discussed in more detail in the Trees and Landscaping section, this permit has been denied by the City Arborist and EQC, and is subject to pending City Council review. The Planning Commission is not being asked to provide comments on the removal permit, since it does not affect the viability of the new residence.

A data table summarizing parcel and project attributes is included as Attachment C. The project plans, and the applicant's project description letter are included as Attachments D and E, respectively.

### ***Design and materials***

The applicant states that the proposed residence is designed in a modern farmhouse style. The proposed design includes painted horizontal wood siding, with standing seam metal on the first floor roof and asphalt shingles on the second floor roof. The proposed casement windows would be simulated true divided light windows with painted wood trim. The upper level windows along the right side of the property would have minimum sill heights of four feet from the finished floor, with the exception of a window at the staircase, which would have a sill height of one foot above the stair landing. The upper level windows along the left side, adjacent to the alley, would have sill heights of five feet. These window sill heights would help minimize the potential for privacy concerns.

The existing detached garage is accessed from the alley in the rear of the property, which would help the residence present an attractive face to Pope Street and maintain a large private outdoor space in the middle of the lot. No work is proposed on the existing garage.

Although the project would be a two-story residence, the applicant proposes varying projections, articulations and material variation, to reduce the massing. The location of the garage in the rear of the lot further reduces the massing and helps ensure that parking features do not dominate the frontage of this parcel.

### ***Flood zone***

The subject property is located within the "AE" zone established by the Federal Emergency Management Agency (FEMA). Within this zone, flood proofing techniques are required for new construction and substantial improvements of existing structures. Stated in general terms, the finished floor must be at least one foot above the base flood elevation. The elevations (Attachments D10 and D11) show the base

flood elevation (40.0 feet) in relation to the existing average natural grade (approximately 37.3 feet) and the finished floor (41.0 feet). The Public Works Department has reviewed and tentatively approved the proposal for compliance with FEMA regulations.

### ***Trees and landscaping***

The applicant has submitted an arborist report (Attachment F) detailing the species, size and conditions of the trees on or near this site, including six heritage size trees. Two heritage palms (trees #1 and #2) are street trees located in front of the property. Two heritage coast live oak trees (trees #3 and #4) are located in the front-right side of the property. The arborist report indicates that the heritage loquat (tree #7), located to the right of the existing garage, is in poor health. No heritage trees would be removed as a result of this proposal. However, tree #5, a redwood tree located to the right of the proposed residence is separately proposed for removal and further discussed below. Three existing non-heritage trees, located near the front, left side of the property, are proposed for removal to accommodate the proposed residence. No privacy impacts are expected from the removal of these trees as there are other trees in this portion of the lot, which is adjacent to an alley.

As noted earlier, the property owner has separately applied for a heritage tree removal permit for the redwood tree. The City Arborist determined that this tree is in good condition and denied the removal permit. The EQC has upheld the City Arborist's action on appeal. The City Council will separately hear an appeal of the EQC action, tentatively scheduled for April 18, 2017. The City Council's decision on the appeal of the EQC action does not affect the feasibility of the current proposal as the proposed residence would be further away from the tree than the current residence. In addition, as part of the project review, the arborist report was enhanced with additional analysis and specificity, and an addendum report was provided detailing the limbs that would need to be pruned or removed from the heritage redwood tree (tree #5), located to the right of the proposed residence. The addendum report also includes protection measures for this tree including specific construction methods to protect the tree, should the tree remain.

The proposed site improvements should not adversely affect any of the trees as tree protection measures in the arborist report and addendum report will be ensured through recommended condition 3g.

### ***Parking***

Two existing parking spaces on the left side of the property, within the front setback, would be resurfaced and reduced to one parking space in order to conform to Municipal Code requirements regarding vehicle storage in yards. This uncovered parking space would continue to be accessed from the alley. The existing, detached two-car garage located in the rear of the property, which is also accessed from the alley, would remain and provide the required two off-street parking spaces. Staff has not required conditions relating to recordation of an Access Alley Maintenance Agreement or alley repair, as those typically have been applied when parcels propose new parking on an alley, while here the parcel already has such access.

The existing garage is considered a legal nonconforming structure with a rear setback of approximately one foot, where five feet is required by the Zoning Ordinance. The garage is not parallel to the property line and a small portion of the left side wall intrudes approximately 0.3 feet into the adjacent alley, where a three foot setback is required. No work is proposed on the garage.



If the garage is replaced in the future, there is more than enough space in the rear of the lot to locate a new detached garage that complies with all relevant regulations. Condition 4a ensures that if the garage is removed, it would be replaced with two off-street parking spaces, one of which must be covered, that meet all applicable regulations.

### **Correspondence**

The property owners indicated that they spoke with their neighbors about the project and received positive feedback. Staff has not received any correspondence.

### **Conclusion**

Staff believes that the scale, materials, and style of the proposed residence are in keeping with those of the neighborhood. Although the project would be a two-story residence, the applicant proposes varying projections, articulations, and material variation, to reduce the massing. The location of the garage in the rear of the lot further reduces the massing and helps ensure that parking features do not dominate the frontage. No heritage trees would be removed as part of this proposal, although the property owner has separately applied for a heritage tree removal permit for a redwood in good condition at the right side of the property. The City Council's decision on the appeal of the EQC action does not affect the feasibility of the current proposal as the proposed residence would be further away from the tree than the current residence. The proposed site improvements should not adversely affect any of the trees as tree protection measures in the arborist report and addendum report will be ensured through recommended condition 3g. Staff believes that the scale, materials, and style of the proposal are compatible with the neighborhood. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay planning, building and public works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-ft radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

## **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report and Addendum Report

## **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

## **Exhibits to Be Provided at Meeting**

None

Report prepared by:  
Corinna Sandmeier, Associate Planner

Report reviewed by:  
Thomas Rogers, Principal Planner

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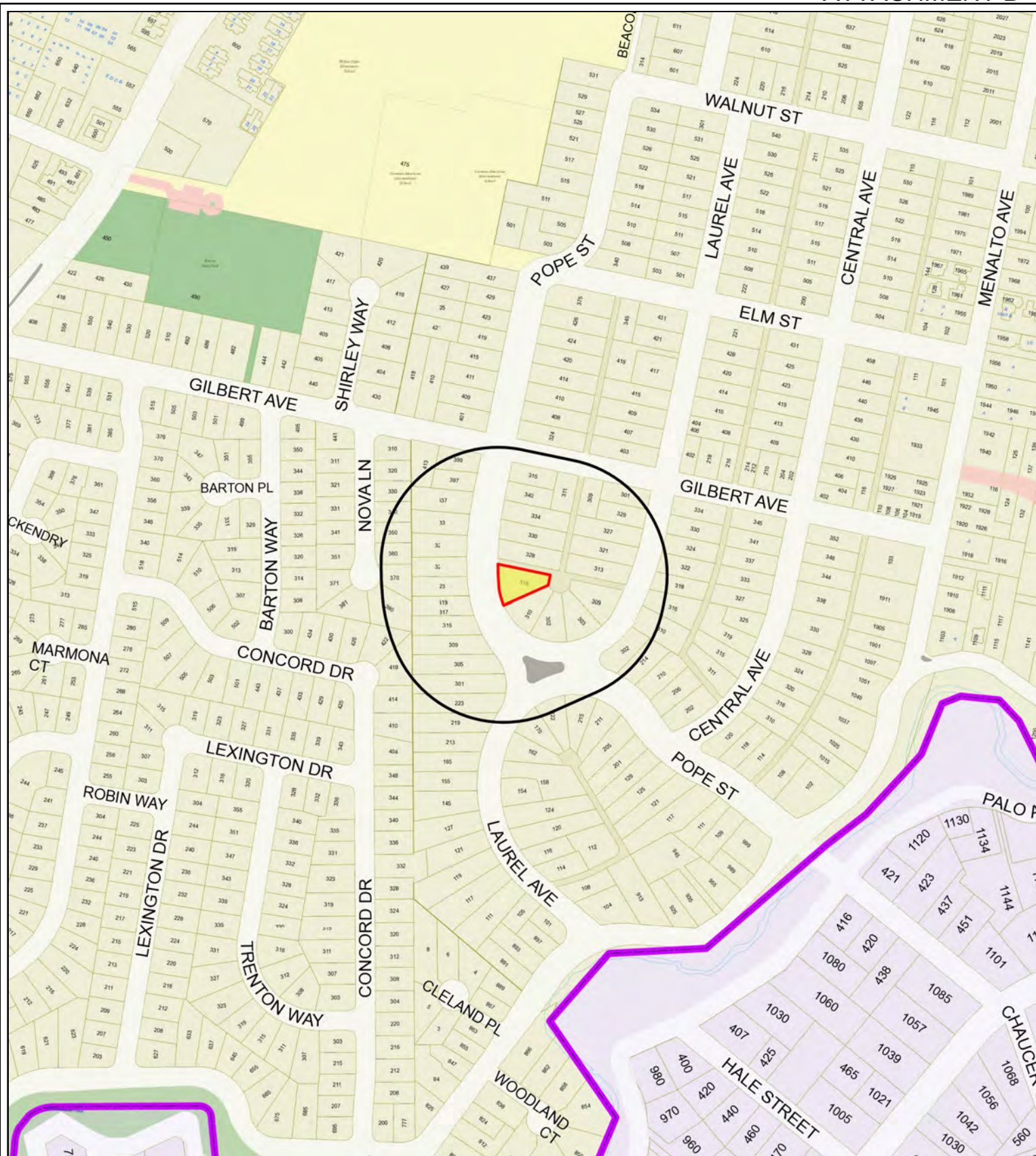
## 318 Pope Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 318 Pope Street	<b>PROJECT NUMBER:</b> PLN2016-00110	<b>APPLICANT:</b> Isabelle Cole	<b>OWNER:</b> Isabelle Cole
<b>REQUEST:</b> Use Permit/Isabelle Cole/318 Pope Street: Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> April 10, 2017	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b>			
<ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions: <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Tektive Design, consisting of 12 plan sheets, dated received March 27, 2017, and approved by the Planning Commission on April 10, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Kevin Kielty Arborist Services LLC, dated revised February 22, 2017, and the addendum report by Kevin Kielty Arborist Services LLC, dated February 22, 2017. If the City Council grants a heritage tree removal permit for</li> </ol> </li> </ol>			

318 Pope Street – Attachment A: Recommended Actions

<b>LOCATION:</b> 318 Pope Street	<b>PROJECT NUMBER:</b> PLN2016-00110	<b>APPLICANT:</b> Isabelle Cole	<b>OWNER:</b> Isabelle Cole
<b>REQUEST:</b> Use Permit/Isabelle Cole/318 Pope Street: Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> April 10, 2017	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p><b>ACTION:</b></p> <p>tree #5, the report shall be updated to account for this change.</p> <p>4. Approve the use permit subject to the following <i>project-specific</i> condition:</p> <p>a. If the existing detached garage is removed, it shall be replaced with two off-street parking spaces, one of which must be covered, that meet all applicable regulations.</p>			





City of Menlo Park  
 Location Map  
 318 Pope Street



Scale: 1:4,000

Drawn By: CDS

Checked By: CDS

Date: 4/10/2017

Sheet: 1



	<b>PROPOSED PROJECT</b>	<b>EXISTING DEVELOPMENT</b>	<b>ZONING ORDINANCE</b>
Lot area	8,614.0 sf	8,614.00 sf	7,000.0 sf min.
Lot width	41.5 ft.	41.5 ft.	65.0 ft. min.
Lot depth	132.0 ft.	132.0 ft.	100.0 ft. min.
Setbacks			
Front	20.2 ft.	27.0 ft.	20.0 ft. min.
Rear	62.7 ft.	57.8 ft.	20.0 ft. min.
Side (left)	5.1 ft.	12.4 ft.	5.0 ft. min.
Side (right)	15.5 ft.	13.8 ft.	5.0 ft. min.
Building coverage	2,301.0 sf 26.7 %	1,974.0 sf 22.9 %	3,014.9 sf max. 35.0 % max.
FAL (Floor Area Limit)	3,203.0 sf	1,924.0 sf	3,203.5 sf max.
Square footage by floor	1,756.0 sf/1 <sup>st</sup> floor 996.0 sf/2 <sup>nd</sup> floor 451.0 sf/garage 94.0 sf/porches	1,473.0 sf/1 <sup>st</sup> floor 451.0 sf/garage 50.0 sf/ porches	
Square footage of buildings	3,297.0 sf	1974.0 sf	
Building height	27.5 ft.	12.8 ft.	28.0 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 6*	Non-Heritage trees: 9	New Trees: 0
	Heritage trees proposed for removal: 1**	Non-Heritage trees proposed for removal: 3	Total Number of Trees: 12
* Two heritage trees are street trees in the front of the property			
** Tree removal permit tentatively scheduled to be reviewed by City Council on 4/18/17			

project title

# COLE RESIDENCE

## 318 POPE STREET, MENLO PARK

project contacts

**architect**  
 Tektive Design  
 625 Guinda Street  
 Palo Alto, CA 94301  
 415.250.6052  
 Pearl Tenaker  
 pearl@tektivedesign.com

**owners**  
 Isabelle & Scott Cole  
 318 Pope Street  
 Menlo Park, CA 94025

**land surveyor**  
 R&F Engineers  
 4670 Willow Road, Suite 250  
 Pleasanton, CA 94588  
 925.390.7700  
 contact: Steve Marelo

**arborist**  
 Kieley Arborist Services  
 P.O. Box 4187  
 San Mateo, CA 94403  
 650.525.1464  
 contact: Kevin Kietly



**tektive design**

625 Guinda Street  
 Palo Alto, CA 94301  
 p 415.250.6052  
 f 415.520.0179

a new residence for the:  
**COLE FAMILY**  
 318 POPE STREET  
 MENLO PARK, CA 94025

revisions

title

COVER

version

DRZ

scale

n.t.s.

job

1605

date

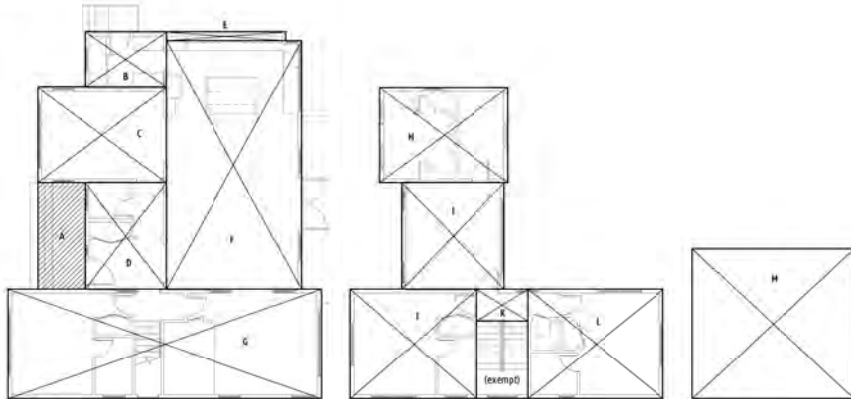
2017.03.24

sheet

A0.I

floor area breakout diagrams

scale: 1/8" = 1'-0"



region	dimensions	area
A (porch)	7'-0" X 14'-6"	101 SF
B	11'-0" X 7'-6"	83 SF
C	17'-5" X 15'-0"	263 SF
D	11'-0" X 14'-6"	160 SF
E	10'-4" X 11'-7"	120 SF
F	10'-5" X 15'-10"	160 SF
G	41'-8" X 15'-0"	626 SF
H	17'-5" X 15'-0"	263 SF
I	14'-0" X 14'-6"	205 SF
J	10'-5" X 15'-0"	158 SF
K	7'-0" X 14'-6"	101 SF
L	18'-5" X 15'-0"	278 SF
M (garage)	22'-0" X 20'-6"	451 SF
first floor (A-G)		976 SF
second floor (H-L)		996 SF
<b>total floor area</b>		<b>1,972 SF</b>
lot coverage (A-G + H)		7,509 SF

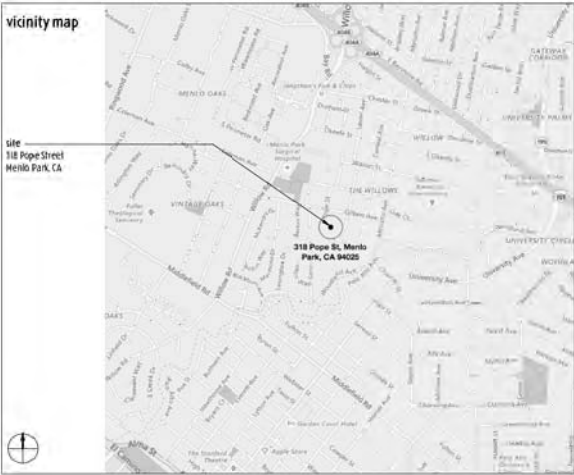
first floor plan                      second floor plan                      garage plan

construction notes

- Work hours are regulated by noise levels created during construction. The maximum noise levels allowed are established in the City of Menlo Park Municipal Code, Chapter 8.06 Noise.
- Any and all excessively annoying, loud or unusual noises or vibrations such as offend the peace and quiet of persons of ordinary sensibilities and which interfere with the comfortable enjoyment of life or property and affect at the same time an entire neighborhood or any considerable number of persons shall be considered a noise disturbance.
  - Construction Activities:
    - Construction activities are limited to the hours of eight (8) a.m. and six (6) p.m. Monday through Friday.
    - Construction activities by residents and property owners personally undertaking construction activities to maintain or improve their property are allowed on Saturdays, Sundays or holidays between the hours of nine (9) a.m. and five (5) p.m.
    - A sign, containing the permitted hours of construction activities exceeding the noise limits set forth in Section 8.06.030, shall be posted at all entrances to a construction site upon the commencement of construction, for the purpose of informing contractors and subcontractors and all other persons at the construction site of the basic requirements of this chapter. The sign shall be at least five (5) feet above ground level and shall consist of a white background with black letters.
    - Notwithstanding any other provision set forth above, all powered equipment shall comply with the limits set forth in Section 8.06.040 (b).

general notes

- These drawings are copyright Tektive Design, Inc., and shall not be used on any other project without written consent.
- Contractor shall note scale dimensions of drawings. Follow written dimensions only. The general contractor shall verify all dimensions, site and grade conditions prior to commencement of work. Contractor shall notify the design professional immediately of any discrepancy on these plans and specifications.
- Should an error appear in the drawings or specifications, or in work done by others affecting this work, notify the design professional at once. If the contractor proceeds with work affected without instructions from the design professional, the contractor shall make good any resulting damage or defect.
- The general contractor, in accordance with generally accepted construction practices, shall assume responsibility for job-site conditions during the course of construction of the project, including safety of all persons and property. The contractor and subcontractors shall maintain the job site in a clean, orderly condition, free of debris and litter. Operations shall be confined to the site areas permitted by permit & law.
- No portion of the work requiring a shop-drawing or sample submission (per the request of the owner or design professional) may be commenced until the submission has been reviewed and approved. All such portions of the work shall be in accordance with the approved shop-drawings & samples.



project description

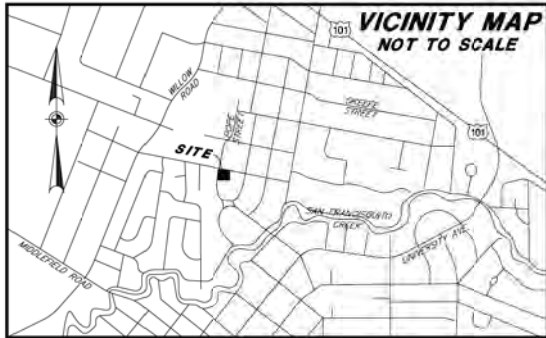
Demolish (e) single-story single-family residence.  
 Build new two-story single-family residence. (E) 2-car garage to remain.  
 Install NFPA 13-0 fire sprinkler system throughout residence, under a separate building permit.

code compliance

- 2016 California Building Code
- 2016 California Residential Code
- 2016 California Plumbing Code
- 2016 California Mechanical Code
- 2016 California Electrical Code
- 2016 California Energy Code
- 2016 California Green Building Standards
- 2016 California Fire Code

project information

A.P.N.:	062 542 170
occupancy:	R-5 / U (garage)
construction type:	F-B
zone:	R-4-U
flood zone:	AE 400
setbacks:	
front:	10'
rear:	10'
side:	5'
max height:	28'
site analysis:	
A. lot area:	6,614 sf
B. max floor area:	3,203 sf
C. (e) house:	1,473 sf
D. (e) garage:	451 sf
E. (e) front porch:	50 sf
(e) floor area (C + D):	1,924 sf
(e) lot coverage (C + D + E):	(2,974) 1,974 sf
F. (n) 1st floor:	1,756 sf
G. (n) second floor:	996 sf
H. (n) covered front porch:	94 sf
proposed floor area (D + F + G):	3,203 sf
proposed lot coverage (D + F + H):	(2,794) 2,308 sf
J. hardscape areas:	(006) 850 sf
K. landscape (A - D - F - H - I):	(639) 5,463 sf
parking: 2 covered spaces	



**NOTES**

APN - 062-362-170  
 ADDRESS - 318 POPE STREET - MENLO PARK, CA 94025  
 DATE OF TOPOGRAPHIC SURVEY WAS JUNE 5, 2016.  
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.  
 PER TITLE REPORT PREPARED BY FIRST AMERICAN TITLE COMPANY, DATED APRIL 29, 2014, AS ORDER NUMBER #102-4650669, THERE ARE NO PLOTTABLE EASEMENTS AFFECTED THE SURVEYED PARCEL.

**BASIS OF BEARINGS**

NORTH 74°15'00" WEST, BEING THE NORTHERLY LINE OF LOT 14 OF BLOCK 5 AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF COOPERATIVE LAND & TRUST CO. TRACT SUBDIVISION NO. ONE OF NORTH PALO ALTO", FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA, ON JULY 1ST 1907 IN BOOK 5 OF MAPS, AT PAGE 13.

**BENCHMARK**

CITY OF MENLO PARK "CITY 2" BENCHMARK  
 BRONZE DISK EPOXIED INTO THE TOP OF A CONCRETE CURB AT THE EASTERLY CURB RETURN OF THE SOUTHERLY CURB LINE OF CONSTITUTION DRIVE AND THE EASTERLY LINE OF JEFFERSON DRIVE.  
 ELEVATION 7.55' (CONVERTED TO NAVD 88 FROM NGVD 29 BY A TYPICAL CONVERSION OF +2.75' BASED ON THE CITY OF MENLO PARK)

**FLOOD INSURANCE RATE MAP**

FLOOD ZONE "AE"  
 SAN MATEO COUNTY, CA  
 PANEL 0308E 308 OF 510  
 MAP NUMBER 08081C0308E  
 EFFECTIVE DATE - OCTOBER 16, 2012

**CLIENT**

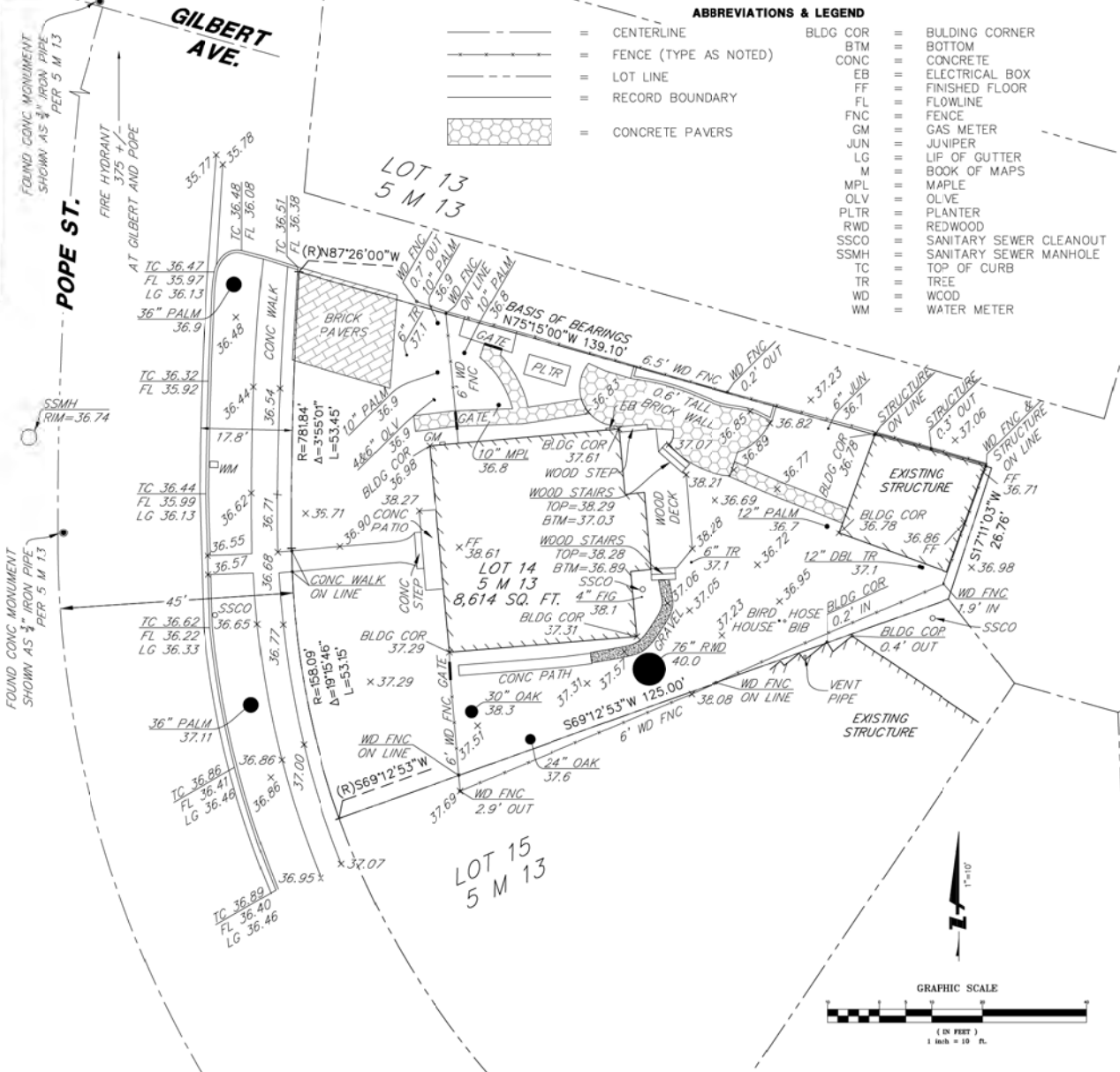
ISABELLE COLE  
 1525 WEBSTER STREET  
 PALO ALTO, CA 94301

**SURVEYOR'S STATEMENT**

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

*[Signature]*

DAVIS THRESH, P.L.S. NO. 6568



**ABBREVIATIONS & LEGEND**

- = CENTERLINE
- = FENCE (TYPE AS NOTED)
- = LOT LINE
- = RECORD BOUNDARY
- [Pattern] = CONCRETE PAVERS
- BLDG COR = BUILDING CORNER
- BTM = BOTTOM
- CONC = CONCRETE
- EB = ELECTRICAL BOX
- FF = FINISHED FLOOR
- FL = FLOWLINE
- FNC = FENCE
- GM = GAS METER
- JUN = JUNIPER
- LG = LIP OF GUTTER
- M = BOOK OF MAPS
- MPL = MAPLE
- OLV = OLIVE
- PLTR = PLANTER
- RWD = REDWOOD
- SSCO = SANITARY SEWER CLEANOUT
- SSMH = SANITARY SEWER MANHOLE
- TC = TOP OF CURB
- TR = TREE
- WD = WOOD
- WM = WATER METER

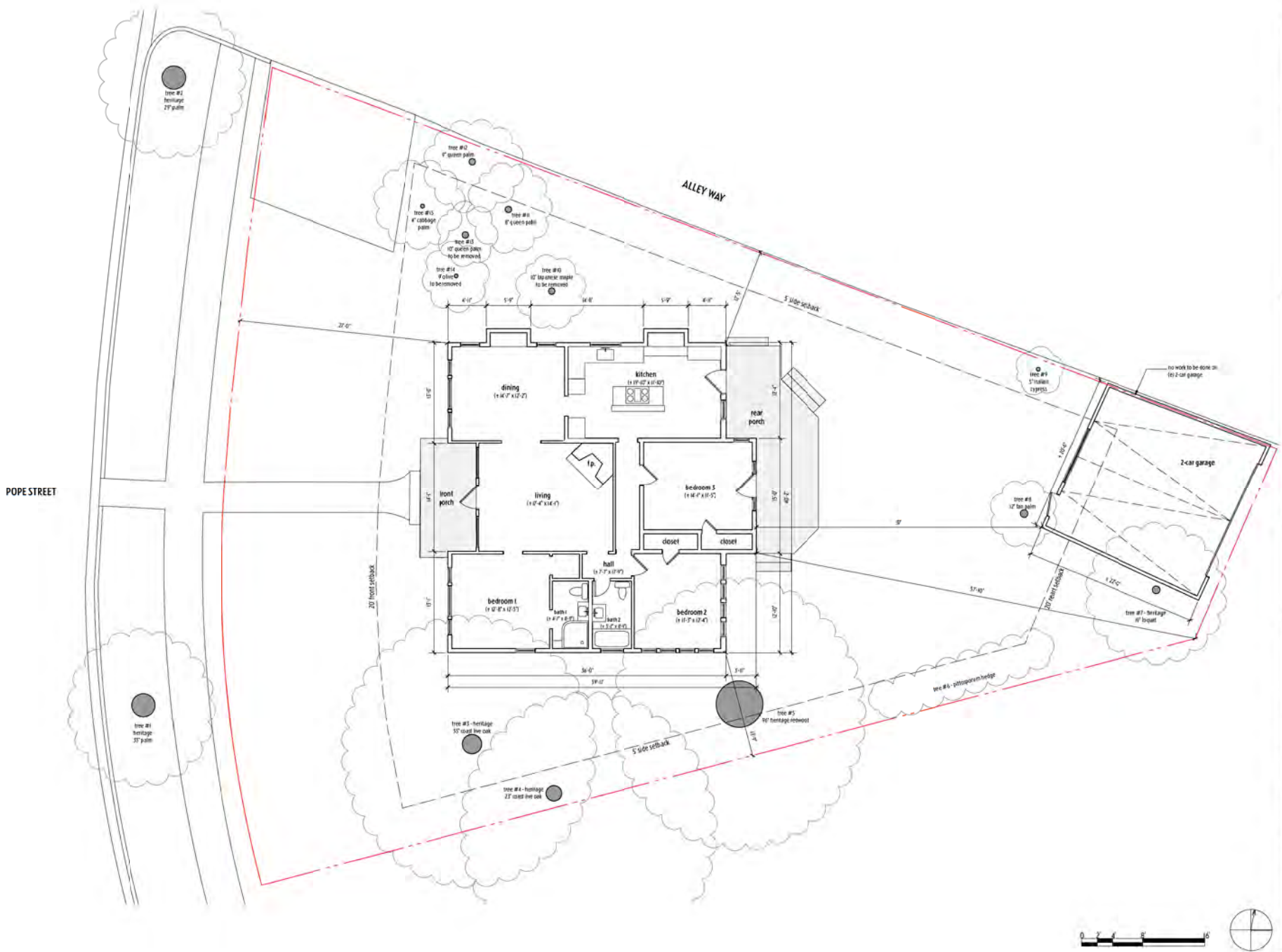


**318 POPE STREET**  
**TOPOGRAPHIC SURVEY**  
**AND RECORD BOUNDARY**  
 SAN MATEO COUNTY  
 CITY OF MENLO PARK  
 CALIFORNIA

Revisions	No.	Date	By	Check

Date: 6/16/16  
 Scale: 1"=10'  
 Design: [Blank]  
 Drawn: [Blank]  
 Title: 318 POPE STREET  
 Job No: 20141228-06

Drawing Number:  
**147128**  
**1 of 1**



625 Guinda Street  
Palo Alto, CA 94301  
p 415.250.6052  
f 415.520.0199

a new residence for the  
**COLE FAMILY**  
318 POPE STREET  
MENLO PARK, CA 94025

revisions

title  
existing site/  
floor plan

version  
DRZ

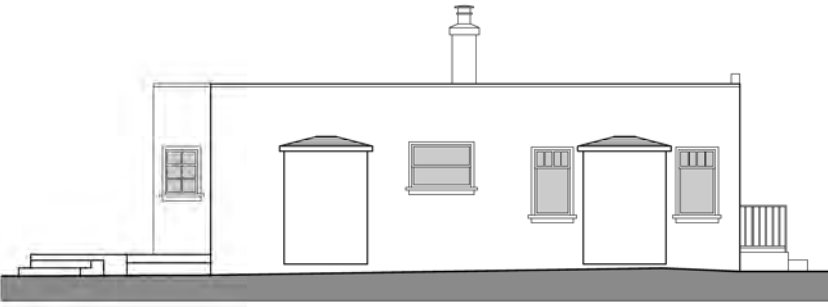
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job  
1605

date  
2017.03.24

sheet  
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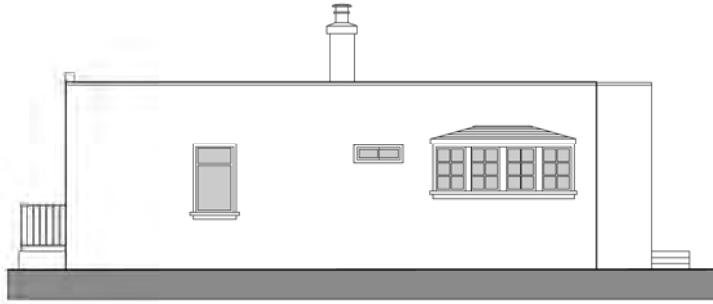




2 north (alley side) elevation  
scale 1/4" = 1'-0"



1 west (Pope Street/front) elevation  
scale 1/4" = 1'-0"



4 south (side) elevation  
scale 1/4" = 1'-0"



3 east (rear) elevation  
scale 1/4" = 1'-0"



5 detached garage elevations  
scale 1/4" = 1'-0"



**tektive  
design**

825 Guinda Street  
Palo Alto, CA 94301  
p. 415.250.6052  
f. 415.220.0219

a new residence for the:  
**COLE FAMILY**  
316 POPE STREET  
MENLO PARK, CA 94025

revisions

title  
existing  
elevations

version  
DR2

scale  
1/4" = 1'-0"

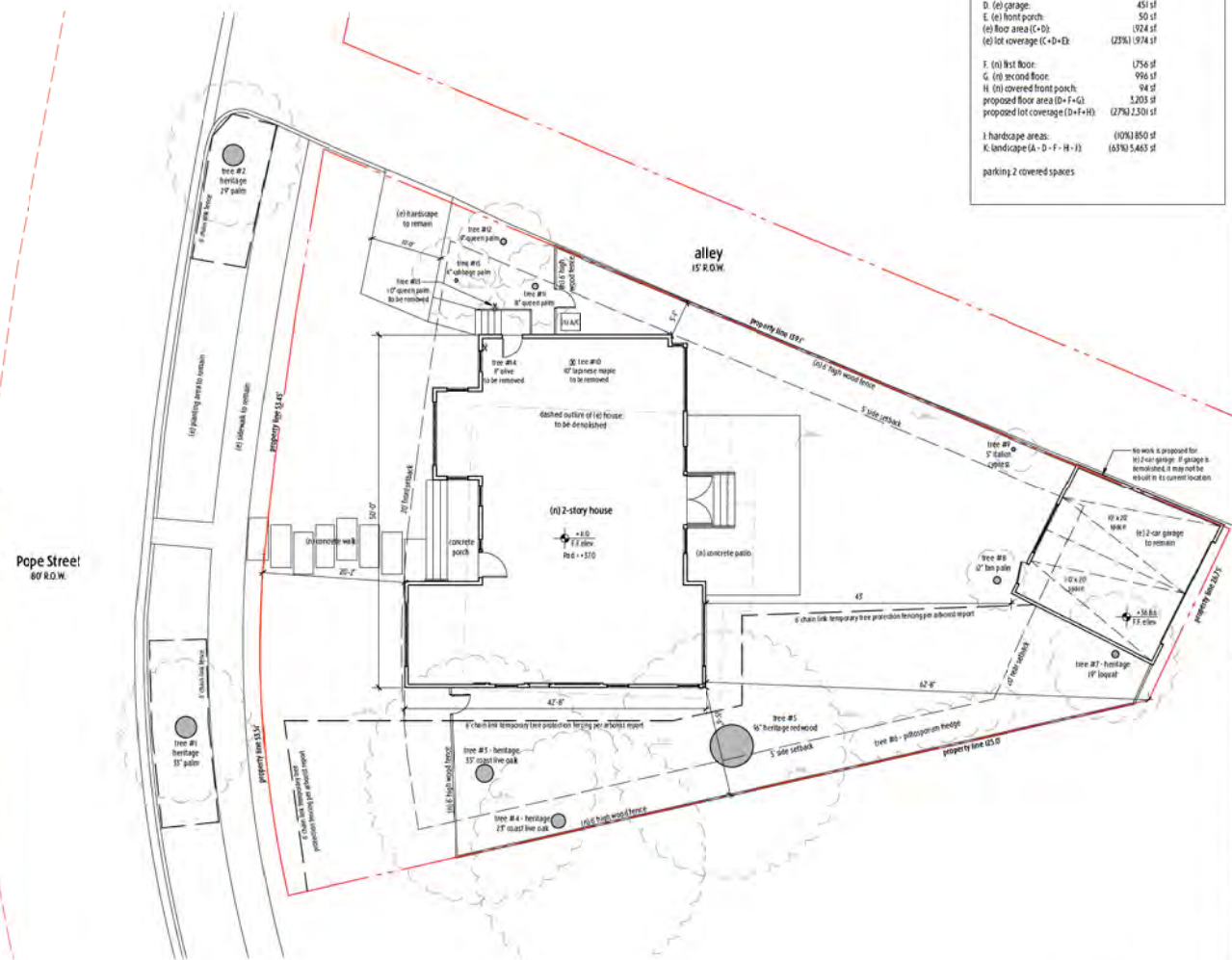
job  
1605

date  
2017.03.24

sheet  
A0.3

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**project information**

APN:	062362-070
occupancy:	R-3 / U (garage)
construction type:	V-B
zone:	R-1.5
floor zone:	AE 40.0
<b>site analysis</b>	
A. lot area:	8,614 sf
B. max floor area:	3,203 sf
<b>C. (c) house:</b> 1,475 sf	
<b>D. (d) garage:</b> 451 sf	
<b>E. (e) front porch:</b> 50 sf	
<b>(e) floor area (C+D):</b> 1,924 sf	
<b>(e) lot coverage (C+D+D):</b> (23%) 1,974 sf	
<b>F. (f) 1st floor:</b> 1,756 sf	
<b>G. (g) second floor:</b> 916 sf	
<b>H. (h) covered front porch:</b> 94 sf	
<b>proposed floor area (D+ F+G):</b> 3,203 sf	
<b>proposed lot coverage (D+F+H):</b> (27%) 2,301 sf	
<b>J. landscape area:</b> (10%) 850 sf	
<b>K. landscape (A - D - F - H - J):</b> (67%) 5,665 sf	
parking: 2 covered spaces	



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p 415.250.6052  
f 415.250.6179

a new residence for the:  
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**318 POPE STREET**  
**MENLO PARK, CA 94025**

revisions:

title:  
**site plan**

version:  
**DRZ**

scale:  
**1/8" = 1'-0"**

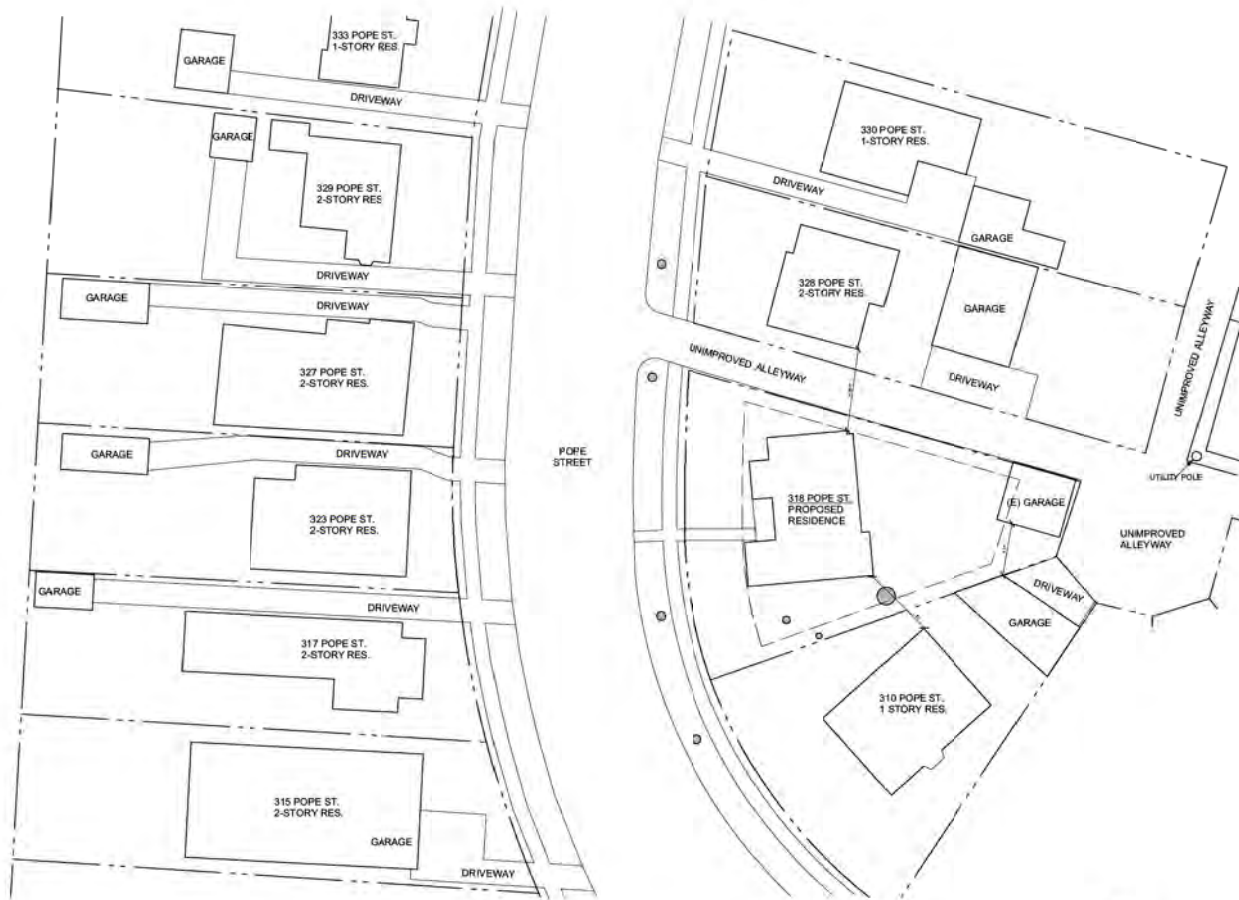
job:  
**1605**

date:  
**2017.03.24**

sheet:  
**AI.I**



1 streetscape  
SCALE 1/8" = 1'-0"



2 area plan  
SCALE 1" = 20'-0"



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p. 415.250.6052  
f. 415.220.0219

a new residence for the  
**COLE FAMILY**  
318 POPE STREET  
MENLO PARK, CA 94025

revisions

title

area plan &  
streetscape

revision

DR2

scale

varies

job

1605

date

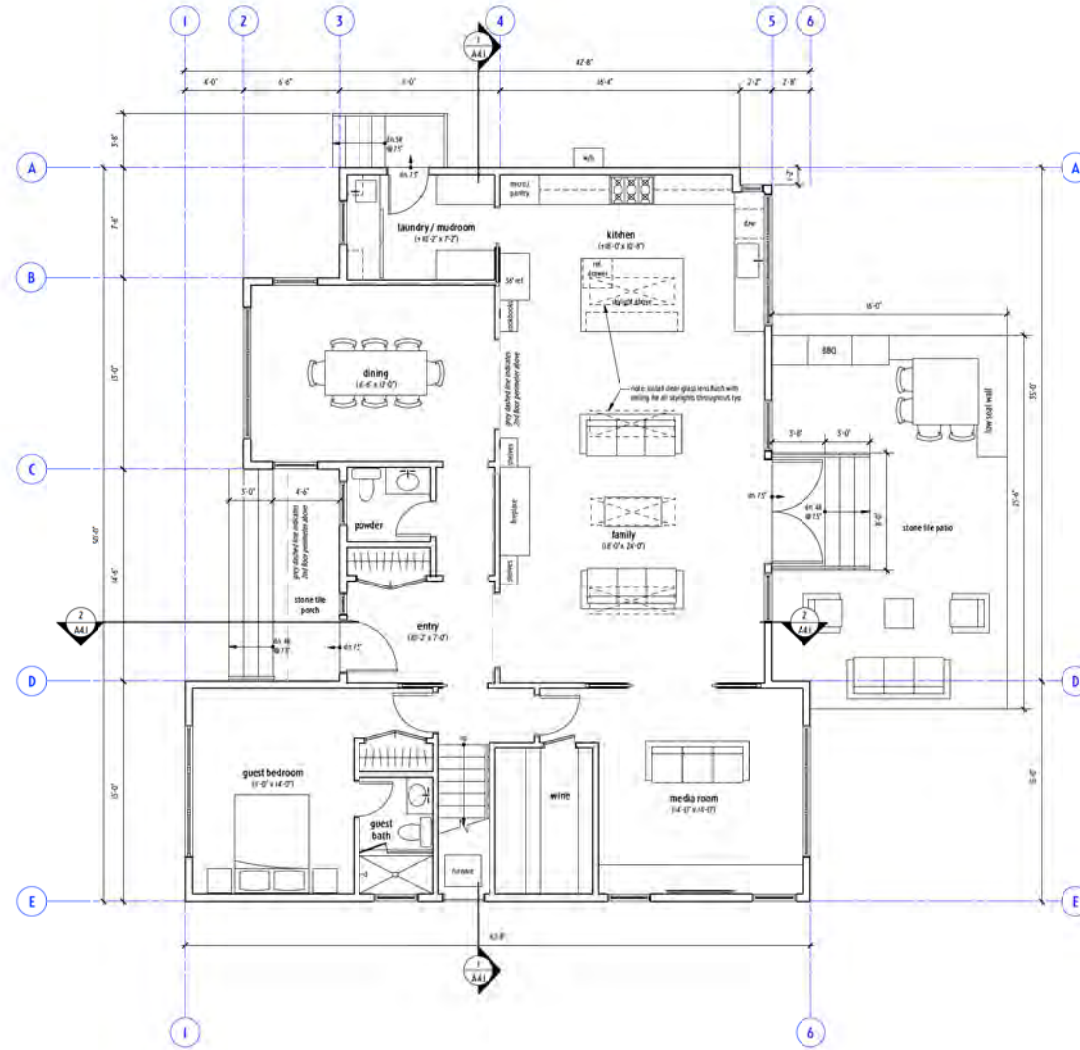
2017.03.24

sheet

A1.2



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a new residence for the:  
**COLE FAMILY**  
**318 POPE STREET**  
**MENLO PARK, CA 94025**

revisions

title  
 first floor plan

version  
 DR2

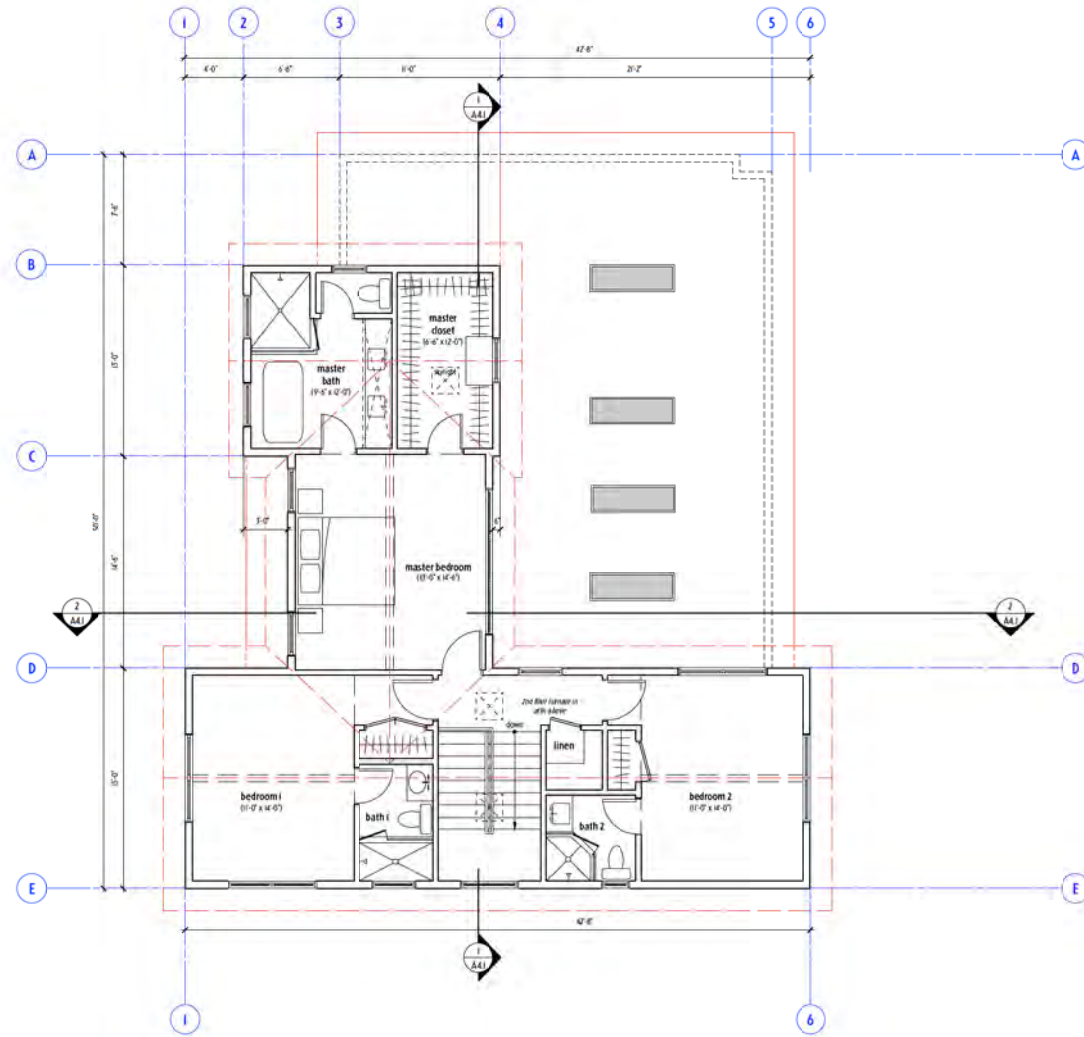
scale  
 1/4" = 1'-0"

job  
 1605

date  
 2017.03.24

sheet  
**A2.1**

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Palo Alto, CA 94301  
p 415.250.6052  
f 415.250.6199

a new residence for the:  
**COLE FAMILY**  
318 POPE STREET  
MENLO PARK, CA 94025

revison:

title:  
second floor plan

version:  
DRZ

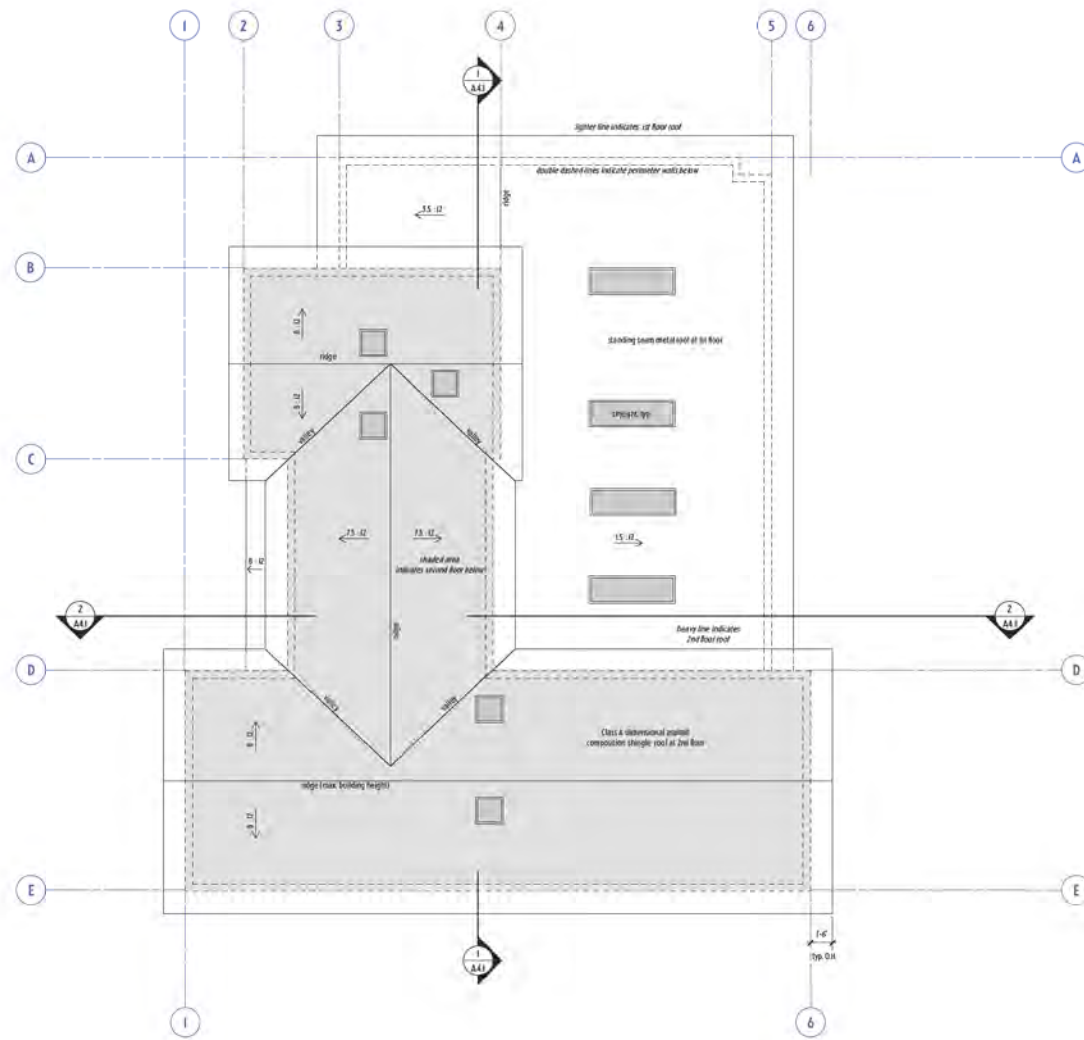
scale:  
1/4" = 1'-0"

job:  
1605

date:  
2017.03.24

sheet:

A22





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623 Guinda Street  
Palo Alto, CA 94301  
p. 415.250.6052  
f. 415.20.0209

a new residence for the  
**COLE FAMILY**  
318 POPE STREET  
MENLO PARK, CA 94025

revisions

title

roof plan

version

DR2

scale

1/4" = 1'-0"

job

1605

date

2017.03.24

sheet

**A2.3**

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**1** west (front) elevation  
scale 1/4" = 1'-0"



**2** east (rear) elevation  
scale 1/4" = 1'-0"

key notes

1. class A dimensional asphalt composition shingles at high roof
2. painted wood trim surrounding windows and doors
3. metal clad wood windows with simulated divided lines with mullions on both exterior & interior and spacer bars between glass typ
4. painted wood T&G siding
5. standing seam metal roof at low roof
6. stain grade wood entry door and stoic
7. concrete porch and steps with stone tile finish



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design**

825 Guinda Street  
Palo Alto, CA 94301  
p. 415.250.6052  
f. 415.220.0219

a new residence for the  
**COLE FAMILY**  
318 POPE STREET  
MENLO PARK, CA 94025

revisions

title  
**front & rear  
elevations**

revision  
**DR2**

scale  
**1/4" = 1'-0"**

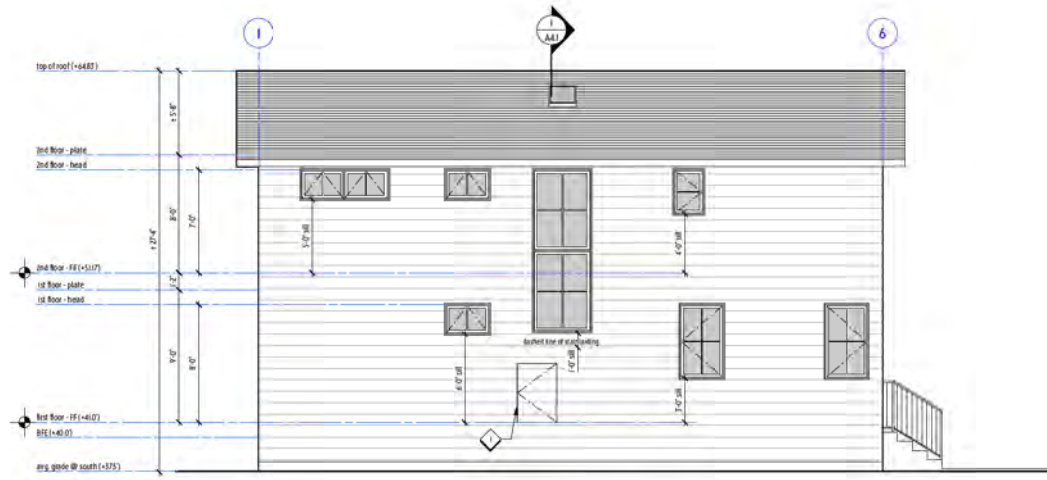
job  
**1605**

date  
**2017.03.24**

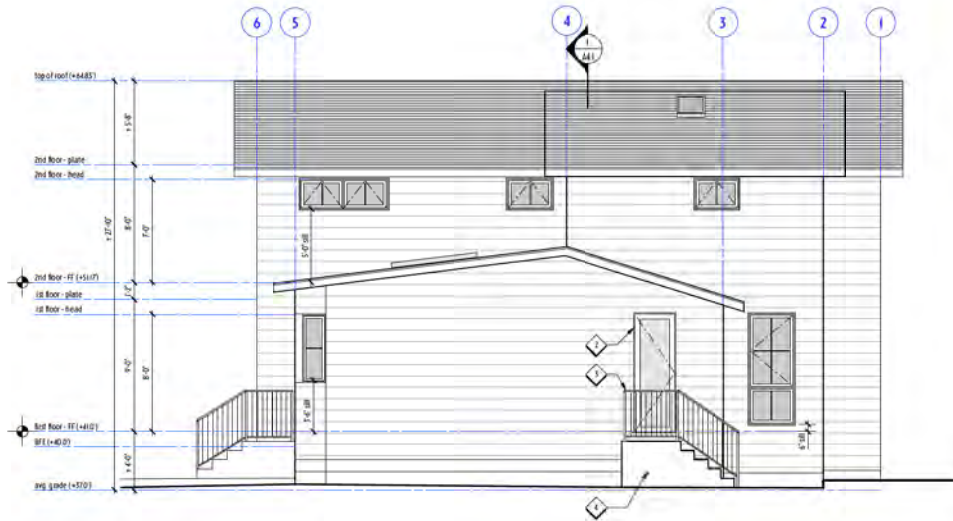
sheet  
**A3.1**



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1 south (side) elevation  
scale 1/4" = 1'-0"



2 north (alley side) elevation  
scale 1/4" = 1'-0"

- key notes
1. painted wood access door for ramps
  2. small dual wood door, matching windows, with transoms and privacy glass (light shades)
  3. painted steel railing
  4. concrete landing and steps with stone tile finish



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design

825 Guinda Street  
Palo Alto, CA 94301  
p. 415.250.6052  
f. 415.520.0219

a new residence for the  
COLE FAMILY  
318 POPE STREET  
MENLO PARK, CA 94025

revisions

title  
side  
elevations

version  
DR2

scale  
1/4" = 1'-0"

job  
1605

date  
2017.03.24

sheet  
A3.2



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vertical glass area to be installed flush with the main ceiling plane unless noted to the right sheets  
 (2) minimum clearance for door swing areas = 12 feet in height and allowed



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 f. 415.520.0219

a new residence for the  
**COLE FAMILY**  
 318 POPE STREET  
 MENLO PARK, CA 94025

revisions

title  
**building sections**

version  
 DR2

scale  
 1/4" = 1'-0"

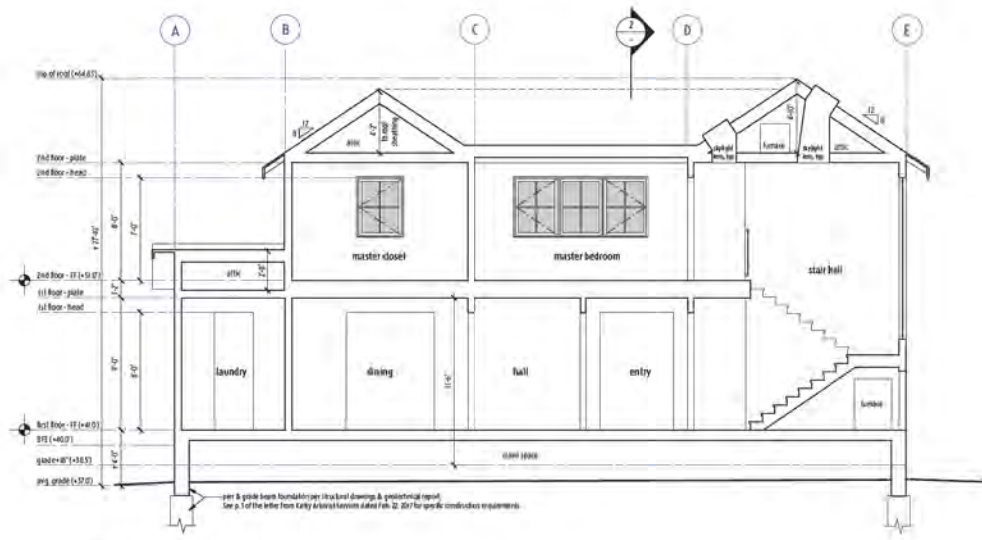
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date  
 2017.03.24

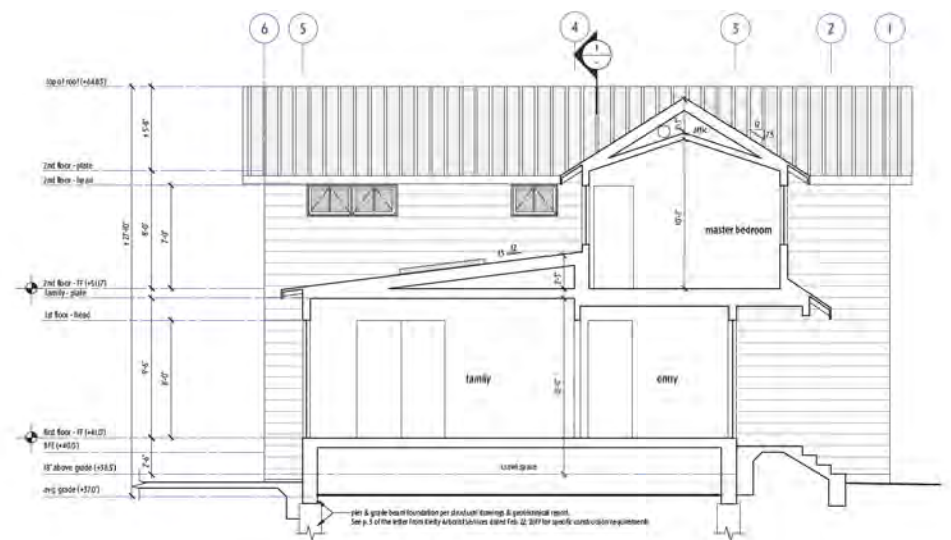
sheet

**A4.1**

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**1** north-south building section  
 scale: 1/4" = 1'-0"



**2** east-west building section  
 scale: 1/4" = 1'-0"



**Project Description**  
**318 Pope Street, Menlo Park, CA 94025**

The applicant is requesting use permit approval to construct a new two-story single-family residence of 2,752 sf in the R-1-U zoning district. The existing single-story Mediterranean style residence of 1,473 sf would be demolished, while the existing 451 sf two-car detached garage off of the alley would be retained. The lot is an unusual triangular shape, so while its maximum dimensions are about 139' in depth and 105' in width, the width at the rear setback line is 41'-6", rendering the lot substandard with respect to width. The lot size is 8,614 sf, substantially over the required minimum lot size of 7,000 sf.

The new home would be sited largely over the footprint of the existing home, but closer to both Pope Street and the adjacent alley, in order to provide some separation distance from the heritage trees on the south side of the property. The proposed residence complies with all setback and daylight plane requirements. The two-story massing of the south side of the home is shielded from the neighboring property by two very large heritage oak trees and a large heritage redwood tree. On the alley side to the north, the home steps down into a 1-story volume. The lot is in the flood zone (AE 40.0), so building code requires that the first floor be set approximately 4 feet above the adjacent grade (1 foot above base flood elevation), which increases the overall height of the building. The first floor plate height is 9' and the second floor plate is only 8'.

The proposed residence is designed in a modern farmhouse style that is compatible with other homes in the neighborhood, which are a mix of 1- and 2-story homes in a variety of styles and ages. The exterior material will be painted horizontal wood siding. The casement windows will be wood with exterior metal cladding for ease of maintenance, with painted wood trim. The windows will include simulated divided lite grids where the mullions are expressed both on the interior & exterior of the glass. The roof will have a combination of hip and gabled forms, with a standing seam metal cladding at the first floor roof and architectural dimensional asphalt shingles in a coordinated color at the second story roof.

There is an existing redwood heritage tree close to the southeast corner of the house. The project arborist evaluated the tree and concluded that the poor formation of the tree causes it to be a hazard for splitting and falling, quite possibly on the neighbor's house. There is currently an appeal being lodged with the City Council to remove the redwood tree. However, the decision to remove or retain the redwood tree has no bearing on the proposal for the new residence. The project arborist has recommended a pier and grade beam foundation for the new residence, and the piers can be located so as to avoid the major roots of the tree. There is only minimal trimming of the tree needed to create clearance for the new construction, and extensive tree protection measures have been recommended by both the project and city arborists, and incorporated into the plans.

The owners have spoken with nearby neighbors about the project and the feedback has been favorable.

## Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

June 3, 2016, Revised December 14, 2016, Revised February 1, 2017, Revised February 22, 2017

Isabelle Cole  
1525 Webster Street  
Palo Alto CA 94301

Site: 318 Pope, Menlo Park

Dear Ms. Cole,

As requested on Tuesday, May 17, 2016, I visited the above site to inspect and comment on the trees. A new home is planned for this site and your concerns as to the future health and safety of the trees has prompted this visit

### **Method:**

The significant trees on this site were located on a map provided by you. Each tree was given an identification number. This number was inscribed on a metal foil tag and nailed to the trees at eye level. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). A condition rating of 1 – 100 was assigned to each tree representing form and vitality using the following scale:

1 - 29	Very Poor
30 - 49	Poor
50 - 69	Fair
70 - 89	Good
90 - 100	Excellent

The height of each tree was estimated and the spread was paced off. Lastly, a comments section is provided.



318 Pope /2/22/17

(2)

**Survey:**

<b>Tree#</b>	<b>Species</b>	<b>DBH</b>	<b>CON</b>	<b>HT/SP</b>	<b>Comments</b>
1P	Canary island palm ( <i>Phoenix canariensis</i> )	33.1	80	65/20	Good vigor, good form, street tree, in planting pit, well maintained.
2P	Canary island palm ( <i>Phoenix canariensis</i> )	28.9	80	65/20	Good vigor, good form, street tree, in planting pit, well maintained.
3P	Coast live oak ( <i>Quercus agrifolia</i> )	34.9	70	65/40	Good vigor, fair form, 9 feet from the corner of existing home, suppressed by large redwood, heavy to south west, good crotches throughout tree, hangs over home.
4P	Coast live oak ( <i>Quercus agrifolia</i> )	23.5	45	30/45	Fair vigor, poor form, heavily suppressed by surrounding trees, heavy lateral limbs, no room for vertical growth.
5P	Redwood ( <i>Sequoia sempervirens</i> )	95.7	45	120/45	Fair vigor, poor form, multi leader at 15 feet, 3.5 feet from corner of existing home, cables installed, included bark on all sides of crotch, bulging can be seen in included bark area, leaders heavy in opposite directions, leader closest to neighbors home has a significant lean.
6	Pittosporum hedge ( <i>Pittosporum eugenioides</i> )	4.0	60	20/10	Good vigor, fair form, good screen, 40 foot long hedge consisting of trees under 4 inches in diameter.
7P	Loquat ( <i>Eriobotrya japonica</i> )	19.3	30	25/20	Poor vigor, poor form, in decline, codominant at 1 foot with a poor crotch formation.
8	Fan palm ( <i>Washingtonia robusta</i> )	12.3	80	8/8	Good vigor, good form, easily moved.
9	Italian cypress ( <i>Cupressus sempervirens</i> )	5.0	80	30/5	Good vigor, good form, easily moved.
10R	Japanese maple ( <i>Acer palmatum</i> )	10.4	45	20/10	Fair vigor, poor form, multi leader at base, dieback in canopy.
11	Queen palm ( <i>Syagrus romanzoffiana</i> )	8.4	50	15/8	Good vigor, good form, easily moved.

318 Pope /2/22/17

(3)

**Survey:**

Tree#	Species	DBH	CON	HT/SP	Comments
12	Queen palm ( <i>Syagrus romanzoffiana</i> )	9.6	10	15/8	Poor vigor, poor form, decay at base, failed tree.
13R	Queen palm ( <i>Syagrus romanzoffiana</i> )	10.3	50	15/8	Good vigor, good form, easily moved.
14R	Olive ( <i>Olea europaea</i> )	9.6	50	15/10	Good vigor, poor form, multi leader at base, staked for support.
15	Cabbage palm ( <i>Cordyline australis</i> )	4.0	50	15/10	Good vigor, good form, easily moved.

*\*Indicates neighbors trees P-Indicates protected tree R-Indicates tree proposed for removal.*



**Summary:**

The trees on site are a mix of imported and native trees. The majority of the trees are in fair condition with a few poor trees. Trees #1 and #2 are both Canary island palm trees located in a sidewalk planting strip. They have been well maintained and will need to be protected as they are city managed street trees. Tree protection fencing shall totally enclose the planting strip so that compaction does not occur to the soil near these trees. No impacts are expected.

**Showing palm tree #1**

Coast live oak tree #3 is a protected tree in the city of Menlo Park. This tree is 9 feet from the corner of the existing home. The tree is suppressed by the large redwood tree #5 and as a result is heavy away from tree #5 to the south west. Some of this trees canopy is over the existing home. A new 2 story home is being designed in the same general location as the existing home but moved slightly farther away from the trees on this side of the property. Some minor trimming may be needed to facilitate the construction of a second story. Any trimming to be done shall be done by a licensed tree care provider and stay underneath 25% of the trees total foliage to be removed. This trimming will benefit the trees health and form as the tree is heavy in the direction of the home and trimming is recommended regardless of the proposed construction. Tree protection fencing for this tree is to be placed as close to the existing foundation of the home as possible and to a distance of 10X the trees diameter where possible. All tree protection measures must be in place before the start of any proposed work, including demolition. If access to the back of the property is needed and tree protection fencing would be restricting access, a landscape barrier should be installed in order to protect roots growing beneath the soil from compaction. Landscape barriers consist of wood chips spread to a depth of 6 inches with plywood placed on top. This will reduce the risk of compaction to the soil and provide access when needed.

Coast live oak tree #4 is in poor condition as the tree is heavily suppressed by surrounding trees. This tree has no room to grown in vertical height and as a result has developed large lateral leaders. This tree will need maintenance pruning every 3 years in order to lighten heavy end weight of the trees leaders, and to keep the leaders at a manageable size through reduction cuts.



**Showing included bark area**

Mature redwood #5 has poor form and is the reason for its poor condition rating. This tree has a large trunk with a diameter of 95.7. The tree is codominant with 3 leaders starting at 15 feet. These 3 leaders all share apical dominance and have created poor crotches with included bark at 15 feet. Included bark forms in the junctions of codominant stems where there is a narrow angle union, meaning the junction looks like a “V” rather than a “U.” As the tree grows the narrow union will essentially fill with bark and create a growing area of structural weakness in the tree. This tree was denied for removal by the environmental commission meeting. Because of this trees poor growth form and the trees target at a failure being the home or neighbors home, I am recommending this tree to be heavily pruned every 3-5 years depending on annual shoot growth. Topping the trees by 25 feet is also a viable option to reduce failure risk. Also, multiple cables shall be installed to offer extra support.

The proposed home will be further away than the existing home. During demolition tree protection fencing for this tree shall be placed as close as possible to the existing foundation. All demolition equipment must work away from this tree. The site arborist must be on site when the foundation near this tree is to be removed. The existing home likely acted as a root barrier for this tree. After demolition tree protection fencing shall be extended out to the proposed foundation area. The proposed foundation near this tree shall consist of a pier and grade beam type foundation. Piers must be hand dug to a depth of 3 feet, and the grade beam must also be dug by hand. Grade beam depth shall stay as minimal as possible and not exceed 1 foot below existing grade. Impacts to this tree are expected to be minor to nonexistent as the proposed home is set back further than the existing home. A soaker hose is recommended to be placed beneath the dripline of this tree and be turned on once a month during the dry season for 4-6 hours at a time.

Loquat tree #7 is of protected size in the city of Menlo Park. This tree is in obvious decline as more than 50% of its foliage is dead. Also this tree has a poor crotch formation. No mitigation measures would improve the health of this tree.

The remaining trees on the property are not of protected size in the city of Menlo Park. If they are to be retained they should be protected in the same manner as the protected trees on site. The only trees on site proposed for removal are trees #10,13 and 14(non protected trees). The following tree protection plan will help to insure that the trees will survive the construction.

**Tree Protection Plan:**

*Tree Protection Zones*

Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for tree protection zones should be 6' tall, metal chain link material supported by metal 2" diameter poles, pounded into the ground to a depth of no less than 2'. The location for the protective fencing should be as close to the dripline of desired trees as possible, still allowing room for construction to safely continue. No equipment or materials shall be stored or cleaned inside the protection zones. Areas outside protection zones, but still beneath the tree's driplines, where foot traffic is expected to be heavy, should be mulched with 6" of coarse wood chips with 1/2 inch plywood on top. The plywood boards should be attached together in order to minimize movement. The spreading of chips will help to reduce compaction and improve soil structure. All tree protection measures must be installed prior to any demolition or construction activity at the site.

Because the majority of the protected trees on site are on the south side of the property, the entire south side of the property should be fenced off. Below is a diagram showing the recommended tree protection fencing locations for the protected trees on site.



**Green areas represent areas fenced off by tree protection fencing**

The trunk of redwood tree #5 will need to be protected. Wrap the trunk with orange plastic snow fencing, creating a 2-inch thick layer of padding from the base of the tree to 8 feet up the trunk. Attach 8-foot long 2x4 boards upright, side by side, to the outside of the orange plastic fencing, with no more than 3 inches between boards. The roots of redwood tree will also require special protection measures to reduce risk of soil compaction. A 6-inch layer of coarse wood chip mulch should be spread below the dripline of the tree, excluding chips from the footprint of the new home. Lay ½ inch plywood on top of mulch and attach boards together to minimize movement.

#### *Root Cutting and Grading*

Any roots to be cut shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The over dig for the foundation should be reduced as much as possible when roots are encountered.

#### *Trenching and Excavation*

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

#### *Irrigation*

Normal irrigation shall be maintained on this site at all times. The imported trees will require normal irrigation. This includes large redwood #5. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April – November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation. The native oak trees on site will not require irrigation unless their root zones are traumatized.

#### *Demolition*

All tree protection must be in place prior to the start of demolition. Demolition equipment must enter the project from the existing driveway. If vehicles are to stray off the drive the area within the dripline of a protected tree must be covered with 6 inches of chips and steel plates or 1 1/4 inch plywood. The city of Menlo Park requires inspections before demolition and before construction to make sure the trees are being well protected.



318 Pope /2/22/17

(7)

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty  
Certified Arborist WE#0476A

David P. Beckham  
Certified Arborist WE#10724A

# Kielty Arborist Services

P.O. Box 6187  
San Mateo, CA 94403  
650-515-9783

## ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

*Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.*

Arborist: \_\_\_\_\_  
Kevin R. Kielty

Date: February 22, 2017

# Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650- 515-9783

February 22, 2017

Isabelle Cole  
1525 Webster Street  
Palo Alto CA 94301

Site:318 Pope, Menlo Park

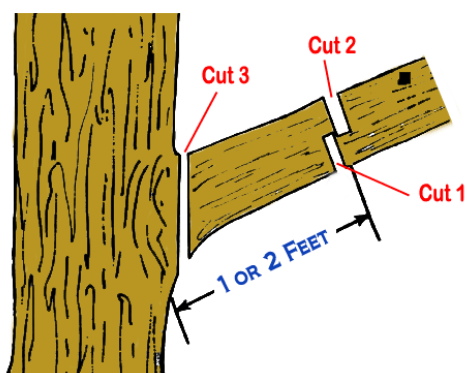
Dear Ms. Cole,

As requested on Monday, February 6, 2017, I was asked to provide an addendum report addressing city comments provided. Limbs that will need to be pruned/removed in order to provide construction clearance for the new 2-story home will be identified in this report. This addendum will also describe the method of pier installation for the pier and on-grade beam foundation.

## **Limbs that need to be removed for construction clearance:**

Two 1-2 inches diameter limbs on redwood tree #5 will need to be removed in order to raise the canopy to facilitate construction of a second story. It is recommended to remove the entire limb rather than making a heading cut. Both of the limbs to be removed are on the north side of the tree and grow towards the existing home. Because only 2 limbs are being removed the percentage of foliage to be removed is very low (less than 1%). As a general rule of thumb pruning shall not exceed 25% of the trees foliage. The redwood tree is healthy and expected to tolerate this kind of pruning.

### **Three Cut Pruning Method**



Pruning must be done by a licensed tree care provider and certified arborist. These limbs should be removed using a sharp hand saw. The two branches to be removed will be removed at their point of origin, close to the trunk without cutting into the branch bark ridge or collar, or leaving a stub. Sometimes redwood limbs do not have a well-defined branch bark ridge or collar, and is likely underneath the thick bark. In this case the cut shall be made back to the trunk of the tree. The cut made shall not damage the bark of the redwood tree. The final cut shall result in a flat surface with adjacent bark firmly attached. The tree branches to be removed shall be removed in such a manner so as not to cause damage to other parts of the tree or to other plants or property. Branches too large to support with one hand shall be precut using the 3-cut method to avoid splitting

of the wood or tearing of the bark. Where necessary, ropes or other equipment shall be used to lower large branches or portions of branches to the ground. Wound treatments should not be used to cover wounds or pruning cuts.



**Red arrows indicate what branches are to be removed. The red line indicates where the cut shall be made (back to the trunk)**

The site arborist must be on site when the pruning work is to take place in order to witness the work and to document the work. The site arborist is required to submit a monitor report within 48 hours of the proposed pruning work. It is the contractor's responsibility to contact the site arborist. At this time this is the only pruning to take place during construction.

Large redwood tree #5 will need to have its trunk protected as well as the addition of tree protection fencing. The trunk of the redwood tree shall be wrapped with orange plastic snow fencing, creating a 2-inch thick layer of padding from the base of the tree to 8 feet up the trunk. Attach 8-foot long 2x4 boards upright, side by side, to the outside of the orange plastic fencing, with no more than 3 inches between boards. Root protection/soil compaction mitigations must also be applied to redwood tree #5. Spread a 4-6 inch layer of coarse wood chip mulch beneath the dripline of the tree, excluding chips from the footprint of the new home. Lay ½ inch plywood on top of mulch and attach boards together to minimize movement.

The proposed home will be further away than the existing home. During demolition tree protection fencing for the protected trees on the south side of the property shall be placed as close as possible to the existing foundation. Tree protection for all of the protected trees shall be installed prior to any demolition or construction activity at the site. All demolition equipment must work away from these trees. The site arborist must be on site when the foundation near this

tree is to be removed. The existing home likely acted as a root barrier for these trees. After demolition tree protection fencing, shall be extended out to the proposed foundation area. The proposed foundation near the protected trees on the south side of the property shall consist of a pier and on-grade beam type foundation. Piers must be hand dug to a depth of 3 feet, and the grade beam depth must also be dug by hand. Grade beam depth shall stay as minimal as possible and shall not rest no lower than six inches below the existing grade. Piers should be limited in diameter and quantity on the south side of the property. The design should include the ability to adjust its position a few inches one way or the other to minimize root damage if large roots are encountered during the hand digging of piers to a depth of 3 feet. Impacts to this tree are expected to be minor to nonexistent as the proposed home is set back further than the existing home. The site arborist must be on site to document all excavation and grading that occurs within the dripline of a protected tree on site. The site arborist will be required to submit a monitor report within 48 hours of the site visit to document all excavation/grading needed when within the dripline of a protected tree on site. The site arborist must be on site to document all foundation work on the south side of the property. A soaker hose is recommended to be place beneath the dripline of redwood tree #5 and be turned on once a month during the dry season for 4-6 hours at a time. The native oak trees shall not be irrigated unless their root zones are traumatized.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty  
Certified Arborist WE#0476A

David P. Beckham  
Certified Arborist WE#10724A