



REGULAR MEETING AGENDA

Date: 5/8/2017
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

- E1. Approval of minutes from the April 10, 2017, Planning Commission meeting. ([Attachment](#))

F. Public Hearing

- F1. Use Permit/Sarah Potter/207 Oakhurst Place:
Request for a use permit to partially demolish, remodel, and add a second story addition to an existing single-story, single-family residence on a substandard lot with regard to lot area and lot width in the R-1-U (Single-Family Urban) zoning district. ([Staff Report #17-024-PC](#))
- F2. Use Permit/Bryan Baskin/857 College Avenue:
Request for a use permit to demolish an existing one-story single-family residence and construct a new two-story single-family residence on a substandard lot with respect to lot width in the R-1-U (Residential Urban) zoning district. ([Staff Report #17-025-PC](#))

- F3. Use Permit/Ken Friedman/953 Hobart Street:
Request for a use permit to demolish a single-story, single family residence and construct a new two-story single family residence with a basement on a substandard lot with respect to lot width in the R-1-S (Single-Family Suburban) zoning district. The proposal includes excavation in the required right side and rear yard setbacks associated with light wells for the basement. As part of the proposed development, four heritage trees are proposed to be removed: a 16-inch plum (poor condition), a 28-inch date palm (good condition), a 15-inch yucca (poor condition) and an 18-inch oleander (fair condition). ([Staff Report #17-026-PC](#))
- F4. Use Permit Revision/Justin Young/435 University Drive:
Request for a use permit to make exterior changes to an existing residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban Residential) zoning district. The project received a use permit on February 22, 2016 to partially demolish, remodel, and construct first- and second-story additions to an existing single-story, single-family residence. ([Staff Report #17-027-PC](#))
- F5. Pre-Zoning, Rezoning, General Plan Amendment, Tentative Map, Use Permit, Architectural Control, and Environmental Review/Leland Stanford Junior University/2111-2121 Sand Hill Road
Continued to a future meeting. New notices will be published and mailed when that meeting is scheduled.

G. Study Session

- G1. Architectural Control/Ranjeet Pancholy/115 El Camino Real:
Request for a study session for the demolition of an existing hotel and construction of a three-story, mixed-use development with commercial uses on the ground floor and a total of four residential units on the upper floors in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. ([Staff Report #17-028-PC](#))

H. Regular Business

- H1. Selection of Planning Commission Chair and Vice Chair for May 2017 through April 2018 ([Staff Report #16-029-PC](#))

I. Informational Items

- I1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: May 22, 2017
 - Regular Meeting: June 5, 2017
 - Regular Meeting: June 19, 2017

J. Adjournment

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at www.menlopark.org and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting the Planning Division at (650) 330-6702. (Posted: 05/3/17)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

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REGULAR MEETING MINUTES - DRAFT



Date: 4/10/2017
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Katherine Strehl called the meeting to order at 7:00 p.m.

B. Roll Call

Present: Andrew Barnes, Drew Combs (Vice Chair), Susan Goodhue, Larry Kahle, John Onken, Henry Riggs, Katherine Strehl (Chair)

Absent: Susan Goodhue, Henry Riggs

Staff: Deanna Chow, Principal Planner, Corinna Sandmeier, Associate Planner

C. Reports and Announcements

Principal Planner Deanna Chow said Council Members Ohtaki and Mueller had been appointed to the subcommittee for Stanford's 500 El Camino Real project development agreement and for their General Use Permit through Santa Clara County.

Commissioner John Onken said he had been told that the boutique hotel project at Glenwood Avenue and El Camino Real had some changes, which had been given to planning staff. He asked if the Commission would see the changes through a substantial conformance process. Principal Planner Chow said that the developer was considering some potential changes, so dependent on what they decided, they might come back to the Planning Commission for a substantial conformance review memo. She said if the changes were minor and staff found they could approve at staff level, the changes would not come back to the Commission and the building permit would be issued.

D. Public Comment

There was none.

E. Consent Calendar

E1. Approval of minutes from the March 13, 2017 Planning Commission meeting. ([Attachment](#))

ACTION: Motion and second (Drew Combs/Andrew Barnes) to approve the minutes as presented; passes 5-0 with Commissioners Susan Goodhue and Henry Riggs absent.

F. Public Hearing

F1. Use Permit/Ying-Min Li/338 Barton Way:

Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with respect to lot width and area in the R-1-U (Single-Family Urban) zoning district. As part of the project, one heritage holly tree in the front left yard, one heritage Eugenia tree in the front right yard, and one heritage plum tree in the right side yard are proposed for removal. ([Staff Report #17-017-PC](#))

Staff Comment: Principal Planner Chow said the data table, Attachment C, was not included with the hard copy packet for the Commissioners. She said that information had been placed at the dais for the Commissioners and for the public on the table in the back of the Chambers.

Applicant Presentation: Robin McCarthy, project architect, said the property owner / developer was also present. She said they had surveyed the surrounding neighborhood, which was a nice mix of single- and two-story homes. She said their two-story home proposal was between two other two-story homes. She said the mix also included traditional Craftsman, modern cottage and other styles. She said they thought the farmhouse style would be a nice addition to the neighborhood. She said last August they reached out to the neighbors in the area providing plans and a 3D model. She said the turnout was great and generally positive. She said one neighbor whose home was adjacent to the rear property line of this proposal was very concerned about privacy. She said initially they were proposing new trees along the back property line and the rear neighbor asked if they would keep all the current trees. She said they agreed to that. She said originally they were also proposing a second story balcony for the master bedroom with lighting. She said they replaced that with a good-sized window. She said they also reduced some of the windows in the master bath and closet.

Commissioner Larry Kahle said the architect's letter had mentioned a standing metal seam roof in the front but he did not see it. Ms. McCarthy said they removed it. She said they originally proposed a mix of composition roof at the upper with metal and had received a comment that keeping it the same would be more harmonious.

Replying to Chair Strehl, Ms. McCarthy said this was a spec home for sale.

Chair Strehl opened the public hearing.

Public Comment:

- Robert Mancuso introduced his mother Natalia Mancuso. He said they live at 321 Nova Lane, which was directly behind the subject property, and have privacy concerns. He noted the changes the property owner had made in response to their concerns. He said they preferred to have no landscape or exterior lighting at the back and a reduction of the second story window size.

Chair Strehl closed the public hearing.

Commission Comment: Commissioner Combs asked if the architect could talk about the lighting the speaker mentioned.

Ms. McCarthy said it was their understanding that the neighbors' greatest concern was the second story lighting. She said that and the balcony were removed. She said for safety at least one light was usually provided outside the back door. She said there was an existing exterior light fixture there outside the back door. She said they could remove one of the three light fixtures from the back.

Commissioner Onken said code required a switch light for any door opening to the outside. He asked Principal Planner Chow if the type of fixtures had been considered and if there could be conditions around them. Principal Planner Chow said typically for single-family homes staff had not gone to that level of detail or for landscape lighting fixtures. She said for much larger projects lighting conditions for exterior lighting were made including that light shall not spill over property lines and lighting fixtures should be pointed down toward the ground. Commissioner Onken noted the legitimacy of the neighbors' concerns. He said he did not know how they could condition no landscape lighting or up lights on trees.

Commissioner Kahle said other cities have stricter recommendations for lighting. He said the design needed more fine tuning. He said the ceilings were 10-foot on the first and nine-foot on the second floor so the building looked tall. He said he was also concerned with the overall massing. He said regarding the roof that the front wall was long although broken up by the bay. He said a farmhouse style needed a bit more attention to how those masses were broken up. He said the one-story garage had what appeared to be eight-foot doors and another eight-foot of solid wall above them. He said the house would be very tall as the property was located in a flood zone. He said the roof itself could be fine-tuned, noting the side elevation showed a couple of hip roofs that did not really need to be there. He said the stair tower seemed to be just a few inches shy of the roof above. He said he was concerned with how it tied into the front and the massing of the garage. He said the design needed just a little work to be really great. He said he had not seen shutters on other farmhouse designs. He said regarding cement board siding to be careful to use the smooth and not grooved siding.

Commissioner Barnes said the neighbor who spoke asked about reducing the back second-story window, and asked if they had given that consideration. Ms. McCarthy said it didn't need to be the width it was. She said it was four-foot high which she thought worked well with the taller ceilings. She said she thought the window was six-foot wide and they could reduce it to five-foot.

Commissioner Onken said that perhaps the window could be reduced and suggested that the home could lose a foot of height which would lower the window generally so as not to loom over the rear property. He moved to approve with modifications to see the final specifications on the rear exterior lights to a make sure they were not the kind that would glare and upset neighbors and to reduce the overall height by one foot.

Commissioner Combs asked if Commissioner Onken was making a motion and if so whether it included reducing the size of the rear window. Commissioner Onken said that the applicant had been very careful with non-intrusive windows on the stairwell side, but he thought the house would greatly improve with an overall one-foot reduction in height. He moved to make the findings and through substantial conformance review have the applicant submit an application with the house's entirety reduced in height one foot and the specifications for the exterior rear lights.

Principal Planner Chow confirmed with Commissioner Onken that prior to building permit issuance the item would return to the Planning Commission for substantial conformance review by email.

Chair Strehl noted the project home was 22-feet away from the rear property line, which helped to make a positive difference.

Commissioner Kahle said regarding the rear windows that the head height was at eight feet and reducing the height one foot would definitely help. He said there was good separation between this house and the rear property as well as trees screening the views. He said removal of the balcony really helped. He said he would like to support the project but the garage height really bothered him.

Commissioner Combs seconded the motion. He thanked the Mancuso family for attending and commenting on the project. He said one thing the family mentioned in their letter was they did not like that the home was two-story. He said two-story residential development was allowed within the zoning and noted other two-stories in the area. He said the Commission would have no grounds to deny the project because it was a two-story.

Principal Planner Chow replying to Chair Strehl said the motion was to approve the project and to return for a conformance review email to the Commission with the specifications and details for the external lighting in the rear and to reduce the overall height of the house by one-foot with the same architecture.

Chair Strehl said she also appreciated the neighbors coming forward to the Commission and offering comments. She said the Commission had tried to address their concerns.

ACTION: Motion and second (Onken/Combs) to approve the project with the following modifications; passes 4-1 with Commissioner Kahle opposed and Commissioners Goodhue and Riggs absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Arch Studio consisting of twenty plan sheets, dated received March 29, 2017, and approved by the Planning Commission on April 10, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.

- c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
 - g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the recommendations in the arborist report by Kielty Arborist Services revised on March 3, 2017.
4. Approve the use permit subject to the following **project-specific** conditions:
- a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans showing the furnace relocated from the proposed two-car garage in order to provide the minimum 20 feet by 20 feet unobstructed interior garage dimensions to meet the Zoning Ordinance's parking requirements. The revised plans are subject to the review and approval of the Planning Division.
 - b. Simultaneous with the submittal of a complete building permit application, the applicant shall submit an additional section (or sections) through the garage, in order to verify the interior ceiling and attic heights in this area and demonstrate compliance with the proposed floor area limit (FAL), subject to review and approval of the Planning Division. In particular, section diagrams and dimensions shall be provided to verify interior ceiling height as measured from the finished floor to the ceiling and interior attic height as measured from the top of the ceiling joist to the bottom of the roof sheathing.
 - c. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans showing a one-foot tall lattice on top of the six-foot tall fence along the right, rear and left side property lines, which gives the fence a total of seven feet in height. The revised plans are subject to the review and approval of the Planning Division.
 - d. Simultaneous with the submittal of a complete building permit application, the applicant shall submit the following: 1) revised plans modifying the overall height of the residence by one foot while maintaining the same exterior look as the plans**

reviewed by the Planning Commission on April 10, 2017 and 2) specification sheets for the exterior lighting on the residence, demonstrating that the lights will have minimal glare to the adjacent properties. The revised plans shall be subject to the review and approval of the Planning Division. The Planning Commission shall be notified by email of this action, and any Commissioner may request that the Planning Division's approval of the revised plans and lighting specification sheets may be considered at the next Planning Commission meeting. The revised plans and lighting shall be fully approved prior to the issuance of the overall building permit.

F2. Use Permit/Isabelle Cole/318 Pope Street:

Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with regard to lot width in the R-1-U (Single-Family Urban) zoning district. The property owner has separately applied for a heritage tree removal permit for a heritage redwood in good condition at the right side of the property, approximately halfway between the front and rear property lines. That removal permit has been denied by the City Arborist, and the Environmental Quality Commission (EQC) has upheld the City Arborist's action on appeal. The City Council will separately hear an appeal of the EQC action, tentatively scheduled for April 18, 2017. ([Staff Report #17-018-PC](#))

Chair Strehl said there were many persons present to object to the proposed removal of the heritage redwood tree. She said the Planning Commission had no discretion regarding heritage tree removal and would take no action on it, noting that would be a separate review by the City Council and would occur Tuesday, April 18,

Staff Comment: Associate Planner Corinna Sandmeier said they had received a number of emails about the heritage tree since the staff report was published. She said the arborist report for the use permit application included protection measures for the heritage redwood with the requirement that excavation near the tree be done by hand and that the foundation piers would be placed to avoid large roots found near excavation.

Questions of Staff: Commissioner Onken asked about the status of the actions of the EQC regarding the heritage tree. Associate Planner Sandmeier said the heritage tree removal permit was denied by the City Arborist, and the EQC upheld the denial. She said the consideration of the appeal of the EQC's denial was tentatively scheduled for April 18 before the City Council but the date might change.

Commissioner Barnes asked why the two permits were being run in parallel. Associate Planner Sandmeier said the property owner submitted the heritage tree removal permit application before the use permit application. She said usually those applications were made at the same time but done separately this time as the proposed residence design and construction would not affect the tree.

Replying to Chair Strehl, Associate Planner Sandmeier confirmed that the previous use permit approval for this site was for a two-story residence. Chair Strehl also confirmed that the approved use permit for a two-story did not have a request for a tree removal permit.

Chair Strehl noted the Commission had received a number of email correspondences that was before them for consideration.

Applicant Presentation: Scott Cole, property owner, introduced his wife Isabelle. He said they had lived in Palo Alto for 27 years and were in the process of downsizing. He said their architect was on vacation with her family. He said the structure they were proposing was a contemporary, modern farmhouse. He said they wanted a very light home and to keep it very simple. He said their previous home was a very heavy Mediterranean-style home. He said they liked the neighborhood and had been through a number of design revisions for the project. He said the site has an alley that separated it from neighbors and on the other side of the property were two oaks and a redwood tree that would provide screening. He said the lot was fan shaped and he thought that would give them and their neighbors privacy. He said they bought the property assuming the heritage redwood tree would stay. He said the house was designed to exist with the tree.

Commissioner Onken confirmed the applicant had seen the previously approved design.

Chair Strehl asked why they were trying to get a permit to remove the tree. Ms. Isabelle Cole, property owner, said they bought the property with no intention to remove the tree. She said they were required to get an arborist report and the arborist told them the tree was unstable because it has three dominant co-leaders or three trees growing out of one trunk. She said their arborist and another arborist found the tree was unstable. She said the City Arborist and other arborists agreed on the consequence of the failure of the tree. She said as homeowners that was not a risk they wanted to take.

Chair Strehl opened the public hearing.

Public Comment:

- Katie Hadrovich, Pope Street, said she lived next door to the project property. She said she never received one public notice related to 318 Pope Street for either the previous owner's project or this project proposal. She said her neighbors received a notice the past Saturday about this hearing and she did not receive a notice. She said her concern about the project proposal was this was a very big house for people who were downsizing. She said residents of the existing home were not families and the car parking created logistical problems for her home's parking and access. She said she was concerned with how this home would be parked and if it would be adequate for the number of bedrooms proposed and visitors.

Chair Strehl suggested that staff could follow up on the notification for this project. She said also if they had problems parking because of this property to call the City's Code Enforcement division.

Principal Planner Chow said with every discretionary use permit they notice twice: once when the application is filed with a link to the plans and a request to provide comments if any. She said that was done in the first week after receiving the application. She said for a single-family home application like this the noticing was to all occupants and property owners within a 300-foot radius. She said the second notice was before the public hearing is done and generally sent out 17 days before the actual meeting date. She said they would need to see if there was a glitch if property owners only received those notices the past Saturday. She said the noticing radius was the same. She said they also publish legal notices in the newspaper.

- Gordon Cruikshank, Pope Street, said his home was right across the alley from the project site. He said the tree was one issue. He said one issue he has about the planning of Menlo Park

was more projects maxing out development on lots allowed under code. He said there needed to be a discussion about this. He said he would prefer the project to be one-story. He said he was neutral about the tree and if, and when it failed, he hoped it didn't fall onto his property.

- Joe Ashton, Laurel Street, said his property was behind the proposed project. He said they and his neighbors use the alleyway and several homes have garages or driveways in the back. He said he expected the alley would get blocked by this project, noting that had happened before when people used the area for parking. He said they got a letter from the property owners identifying themselves as empty nesters. He said he had just gotten the letter with what was being proposed a couple of days ago and the project would be 3,200 square feet with five bathrooms. He said such a structure didn't fit within their little community and the parking situation from this project could get out of control. He said they were really concerned with the massiveness of the structure.
- Scott Marshall, O'Connor Street, said he is an Environmental Quality Commissioner and had been one of the Commissioners at the meeting when they denied the tree removal permit. He said the proposed design was within six feet of the redwood tree and that meant the tree would be destroyed. He said that the design should protect the heritage tree. He was concerned that approving this design would set a precedent for others that they could build and remove healthy heritage trees doing a similar process.
- Robert Brooks, Pine Street, said he looked at the tree today and had never seen a healthier tree. He said it was the most dominant tree in the treescape and made for a beautiful treescape. He said it would be a shame to lose it and every accommodation to save it would be in order.

Chair Strehl closed the public hearing.

Commission Comment: Commissioner Onken said he would like the applicants to discuss safeguards for the tree and to clarify they were keeping the existing garage and not building a new garage. He asked how the access and parking affected their planning.

Mr. Cole said the first issue was whether the project design conformed to having a tree next to the home. He said the design assumed the tree's presence. He said the project design prior to theirs for this site also had to honor a very large tree next to the house and it was approved. Ms. Cole said the idea raised by one of the speakers that they bought this property to get around the heritage tree ordinance was untrue and the issue was safety concerns related to the stability of the tree.

Commissioner Kahle noted a notch within the kitchen on the site plan. He asked if the notch was made to get the house farther away from the tree or whether it could be enlarged even more to move the house even farther away from the tree. Mr. Cole said he would have to ask his architect.

Replying to Commissioner Combs, Principal Planner Chow said that ordinarily heritage tree permit applications and use permit applications were made concurrently. She said in this instance the use permit application included the tree and had preservation measures to protect it. She said she recalled one instance some years prior that involved a heritage redwood tree that was located in the center of a property and was reviewed by the City Council as to whether the house should be designed around it or whether the house could be approved as proposed. She said a third party

architect was used and the Planning Commission had to consider alternative designs based on keeping the tree.

Chair Strehl confirmed with staff that the staff report did not include the City Arborist's report. Principal Planner Chow said the applicant's arborist report was included and the City Arborist had reviewed it. Chair Strehl said the City Arborist did not concur with the applicant's arborist report. Principal Planner Chow said in the applicant's arborist report in the packet the tree was to remain and they concurred with the tree protection measures. Chair Strehl said the applicant's arborist report indicated the tree was in poor form and poor condition. Associate Planner Sandmeier said the City Arborist found the tree to be in good condition and when reviewing the project arborist report he reviewed whether the tree protection measures were adequate. She said she did not think he commented on the grading for each of the trees.

Commissioner Barnes said the community concern was that should the tree remain and the house get constructed as proposed that the damage to the roots and tree would be irreparable. He noted Mr. Marshall's assertion that a tree being six feet away from new construction was problematic. He said he wanted assurance from staff that the distance as proposed was not only appropriate but best practices for construction. Associate Planner Sandmeier said that the information was from the City Arborist and he indicated that the tree would not be harmed by the construction. Commissioner Barnes confirmed with staff that her response included the correctness of the construction techniques for this project for tree protection.

Commissioner Barnes asked about liability should the tree fall. Principal Planner Chow said that she could not answer and that would be a question for the City Attorney. She said the two arborists who reviewed indicated the best construction method to preserve the tree was to do hand excavation and to then determine best place for laying the foundation based on root location – she recited the specific findings related to the latter.

Commissioner Combs said he would be most comfortable continuing this item because of the contingency of the heritage tree removal permit application.

Commissioner Onken said he could ignore the tree permit as this was not within the Commission's remit. He said it had been explained that the home was not contingent upon the removal of the tree. He said he was fine with letting the tree removal permit go through the City's channels. He said he appreciated the neighbors' concerns with the project noting there had been issues with the alley. He said the Commission looked at project designs so as not to exacerbate issues with the alley problems. He said the comments on empty nesters and the number of bathrooms were of no concern to the Commission. He said the project was before the Commission because of a substandard lot and the house design had to fit better on the lot. He said he thought the previously approved project fit better. He said this house was taller because of the flood zone but the footprint was rectangular and kind of graceless. He said regardless of the tree he would like the project continued to redesign to fit the lot better.

Commissioner Kahle said it was not the Commission's business who would occupy a home upon construction. He said it was hard to separate the issue of the tree from the use permit application. He said he thought it would make sense to continue the item until the tree issue was decided. He said regarding the proposed house design that he appreciated the nine-foot and eight-foot ceilings on the first and second floor and the massing from the front. He said the house did feel tall and his biggest concern with the curved frontage was the very visible view of the right side as he thought it

would look like a monolithic wall. He said he had some concerns with four different roof pitches and two different roof materials as it felt disorganized and could be refined better. He said the front elevation was very nice. He said if possible he would like the height reduced. He said he would support a motion to continue.

Commissioner Combs moved that the item be continued until City Council has made a decision about the removal of the heritage tree. He said he was open to additional direction. Commissioner Kahle said he would second the motion to continue with the direction that the applicant look at the siting of the house on the property and the overall appearance of the house,

Chair Strehl asked how long the continuance would take to come back to the Commission. Principal Planner Chow said they would need to confer with the applicants to see how soon their team could do revised plans and staff would then review. She said they were projecting out a month or two for Planning Commission meetings with known items. She said it could be at least a couple of months.

ACTION: Motion and second (Combs/Kahle) to continue the item with the following direction; passes 5-0 with Commissioners Goodhue and Riggs absent.

- Return after heritage removal permit appeal has been decided upon by City Council
- Redesign the project to fit on the site better and to look at the overall appearance of the house including:
 - Right side elevation and monolithic feeling wall
 - Roof design (too much variation in pitches and materials)
 - Height (lower if possible)

Chair Strehl suggested in the future that if there was a pending appeal of a heritage tree permit application denial to have a decision on that before the use permit was considered by the Planning Commission.

G. Informational Items

Chair Strehl recognized Mr. Edward Cuy to make general public comment on a matter not on the agenda.

- Edward Cuy said he was a Green Party activist and humanitarian and wanted to speak about homelessness. He said he had moved out of the Menlo Park area to Contra Costa County and now lived in Redwood City downtown. He said that city was building and creating congestion and gridlock. He said the City of Palo Alto made no response to his suggestion for a campground where homeless people could pitch RVs and tents. He said that some level of supervision would be needed.

Chair Strehl suggested to Mr. Cuy to speak to the City Council at one of its regular meetings.

G1. Future Planning Commission Meeting Schedule

- Regular Meeting: April 24, 2017

Principal Planner Chow said the April 24 meeting had a full agenda with a number of single-family

home development projects and a two-unit project.

Principal Planner Chow said there were two potential study sessions in May.

- Regular Meeting: May 8, 2017
- Regular Meeting: May 22, 2017

H. Adjournment

Chair Strehl adjourned the meeting at 8:30 p.m.

Staff Liaison: Deanna Chow, Principal Planner

Recording Secretary: Brenda Bennett



STAFF REPORT

Planning Commission

Meeting Date: 5/8/2017
Staff Report Number: 17-024-PC

Public Hearing: Use Permit/Sarah Potter/207 Oakhurst Place

Recommendation

Staff recommends that the Planning Commission approve a use permit to partially demolish, remodel, and add a second story addition to an existing single-story, single-family residence on a substandard lot with regard to lot area and lot width in the R-1-U (Single-Family Urban) zoning district, at 207 Oakhurst Place. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The project site is located at 208 Oakhurst Place, between Highway 101 and Bay Road, in the Suburban Park neighborhood. The area is close to the City's boundaries with the Town of Atherton. The surrounding homes are also zoned R-1-U and are predominantly single-story, single-family residences; however, two-story, single-family residences can also be found throughout the neighborhood. This is a neighborhood in transition; older existing residences tend to be one story in height, while newly built and remodeled residences are typically two stories in height. Residences on Oakhurst Place feature a variety of architectural styles including traditional ranch, craftsman, and contemporary residential.

For Zoning Ordinance setback purposes, the front property line for corner lots is the shorter of the two street-facing sides. Front doors and addresses may be located on either street frontage. In this case, the front property line is on Greenwood Drive, and Oakhurst Place is designated the corner side lot line. The front door and address are on Oakhurst Place.

Analysis

Project description

The subject site is currently occupied by a single-story residence with an attached one-car garage. The applicant is proposing to maintain the 1,840-square-foot first story, while adding a 703-square-foot second story addition, 219-square-foot first story addition, and renovating portions of the existing structure. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the

applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a four-bedroom home with three bathrooms. The first story living space includes a kitchen, living room, dining room, office, two bathrooms, two bedrooms, and a one car-garage. The second story would feature two bedrooms, one bathroom, and a den. The parking would remain nonconforming, which can be permitted on remodel/expansion projects.

The floor area, building coverage, and height of the proposed residence would all be below the maximum amounts permitted by the Zoning Ordinance. Additionally, the structure would comply with the daylight plane for a two-story home in the R-1-U zoning district.

Design and materials

The existing residence is a traditional ranch home featuring the characteristic long, low profile, simple roof forms, and wood siding typical of this architectural style. As part of the proposed project, the façade would be updated to achieve a more contemporary architectural style. The combination of horizontal wood siding and board and batten siding would be used on the proposed first and second story additions to match the existing siding. The board and batten siding would primarily be used on recessed portions of the first floor façade and in the areas directly below the hip roof forms. The entire roof structure would be covered in new composite roof shingles. The proposed new windows would be a combination of vinyl windows with interior and exterior grids and spacer bars between the glass and windows without grids. The windows without grids would primarily be located on the interior side elevation. The existing garage door would be replaced and upgraded to match the new windows. Additional architectural interest would be created by the covered porches and bay windows.

The new second story would be concentrated toward the front of the property and would be stepped in from the first story footprint. The closest adjacent residence, a single-story single-family home at 1048 Greenwood Drive, is approximately 12 feet away. The second story of the proposed structure is designed in such a way that potential privacy impacts should be limited. The second-story windows are proposed to have sill heights of at least three feet which, along with the increased second-level setback, would promote privacy for the neighboring side and rear properties.

Staff believes that the scale, materials, and style of the proposed residence are consistent with the broader neighborhood, given the variety of architectural styles and sizes of structures in the area.

Trees and landscaping

At present, there are four trees on or in near proximity to the project site. All four of these trees are heritage trees and are located in the right-of-way. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of trees on the property. None of the heritage trees are proposed for removal. During the review process, the arborist report was reviewed by the City's independent consulting arborist to confirm the accuracy of the conclusions of the report. In the time between application submittal and the scheduling of this public hearing, the property owners removed five non-heritage trees listed in the arborist report.

The partial demolition of the existing residence and construction of the proposed addition are not anticipated to adversely affect any of the existing trees located on the subject site or neighboring properties. Standard heritage tree protection measures will be ensured through recommended condition 3g. No new landscaping is currently proposed. The fencing on this property complies with fence height limitations for corner parcels, although part of it is in the public right-of-way and is proposed to remain.

Correspondence

The applicant indicates that the property owners performed outreach by contacting adjacent property owners regarding the proposed project. A neighborhood outreach letter was submitted with the application, which includes signatures of seven neighbors who received and reviewed the project plans. (Attachment G). During the review process, staff received one call from the adjacent neighbor at 1048 Greenwood Drive with concerns about potential impacts to existing solar panels. The applicant indicated that the property owners communicated with the solar company and adjacent neighbor. The solar company prepared a shadow study that indicated that the existing solar panels should not be affected. No additional comments were received from the adjacent neighbor.

Conclusion

Staff believes that the scale, materials, and style of the proposed residence are compatible with those of the greater neighborhood. The applicant has designed the second floor setbacks to be greater than the minimum requirements in the R-1-U zoning district and the upper level would be stepped in from the lower level. The floor area, building coverage, and height of the proposed residence would all be at or below the maximum amounts permitted by the Zoning Ordinance, and the new structure would be within the daylight plane requirements. No heritage tree impacts are anticipated per the arborist report and as confirmed by the City's independent consulting arborist. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Correspondence

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

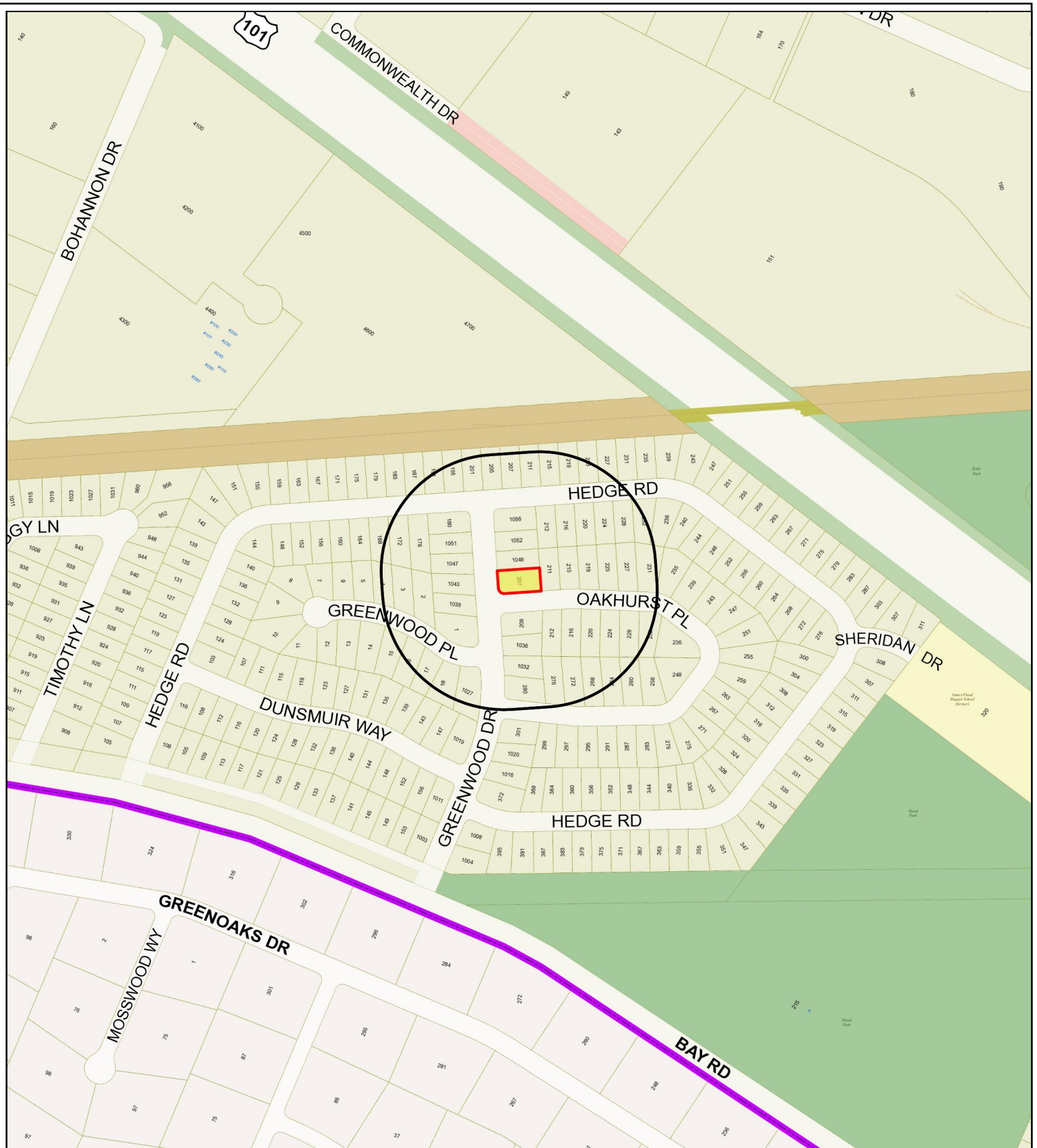
Kaitie Meador, Associate Planner

Report reviewed by:

Thomas Rogers, Principal Planner

207 Oakhurst Place – Attachment A: Recommended Actions

LOCATION: 207 Oakhurst Place	PROJECT NUMBER: PLN2017-00003	APPLICANT: Sarah Potter	OWNER: Tyson and Jessica Clark
REQUEST: Request for a use permit to partially demolish, remodel, and add a second story addition to an existing single-story, single-family residence on a substandard lot with regard to lot area and lot width in the R-1-U (Single-Family Urban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: May 8, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Clearstory Construction, consisting of nine plan sheets, dated received on April 13, 2017, and approved by the Planning Commission on May 8, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 			



City of Menlo Park
 Location Map
 207 Oakhurst Place



Scale: 1:4,000

Drawn By: KMM

Checked By: THR

Date: 5/8/2017

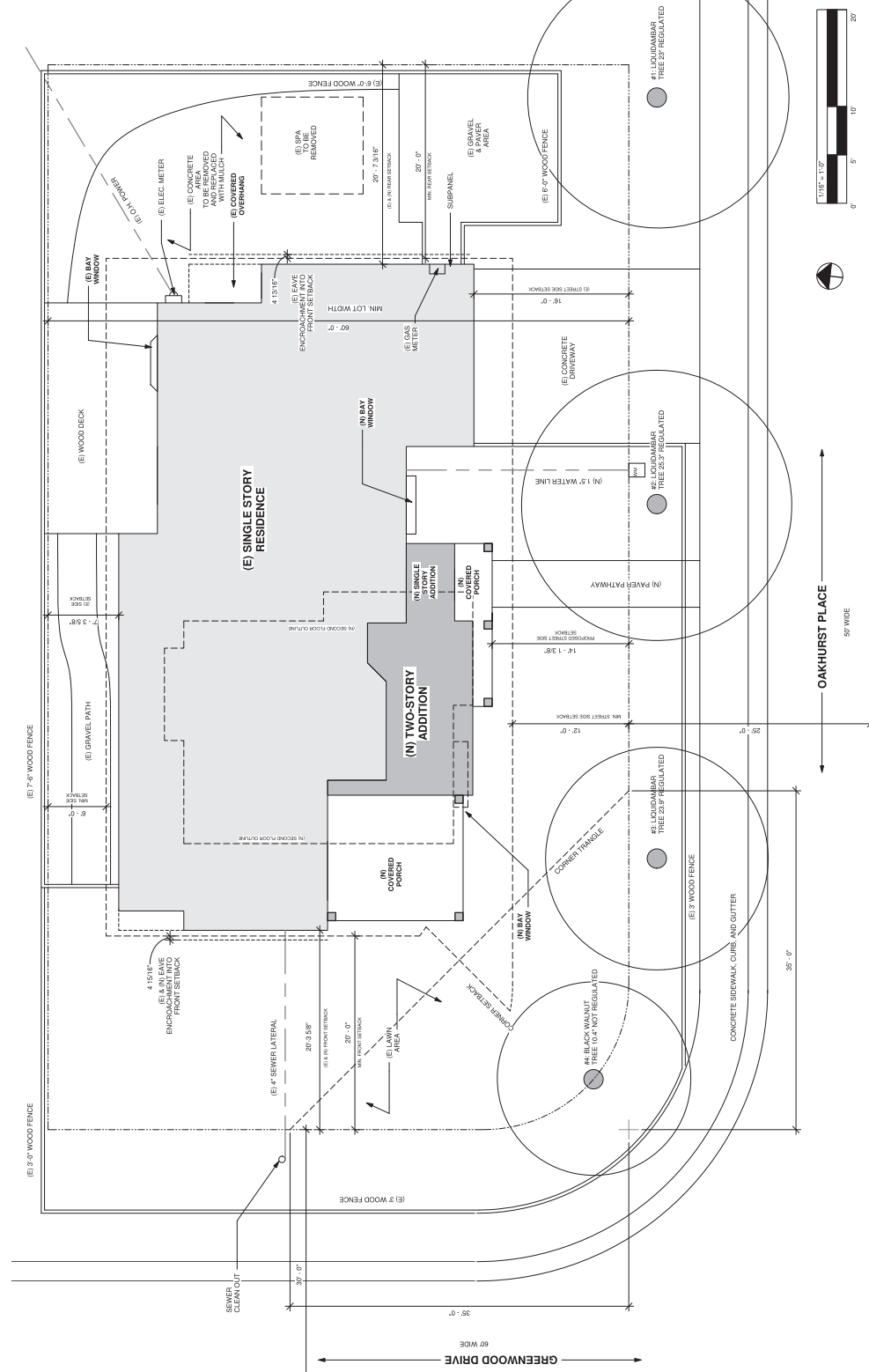
Sheet: 1

207 Oakhurst Place – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE			
Lot area	6,552 sf	6,552 sf	7,000 sf min.			
Lot width	60 ft.	60 ft.	65 ft. min.			
Lot depth	110 ft.	110 ft.	100 ft. min.			
Setbacks						
Front	20.3 ft.	20.3 ft.	20 ft. min.			
Rear	20.6 ft.	20.6 ft.	20 ft. min.			
Side (left)	7.3 ft.	7.3 ft.	6 ft. min.			
Side (street)	14.1 ft.	16 ft.	12 ft. min.			
Building coverage	2,290 sf 35 %	1870 sf 29 %	2,293 sf max. 35 % max.			
FAL (Floor Area Limit)	2,762 sf	1840 sf	2,800 sf max.			
Square footage by floor	1645.5 sf/1st 703 sf/2nd 413.5 sf/garage 231 sf/porch	1840 sf/1st 30 sf/porch				
Square footage of buildings	2,993 sf	1870 sf				
Building height	24.8 ft.	14.4 ft.	28 ft. max.			
Parking	1 covered	1 covered	1 covered/1 uncovered			
Note: Areas shown highlighted indicate a nonconforming or substandard situation.						
Trees	Heritage trees	4*	Non-Heritage trees	0	New Trees	0
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0	Total Number of Trees	4

*Includes four trees in the public right-of-way

SITE PLAN

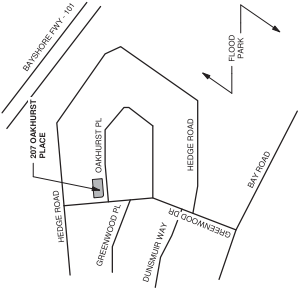


NEW CONSTRUCTION - SITE PLAN
3/16" = 1'-0"

SCOPE OF WORK

ADD 922 SF OF ADDITIONAL LIVING SPACE CONSISTING OF 219 SF ON THE FIRST FLOOR AND 703 SF SECOND FLOOR, INCLUDING TWO BEDROOMS AND ONE BATHROOM. ADD TWO NEW BATHROOMS AND ONE BATHROOM TO EXISTING BATHROOMS ON THE FIRST FLOOR. CREATE NEW KITCHEN WITHIN EXISTING LIVING SPACE. ADD NEW LAUNDRY ROOM TO EXISTING SPACE ON THE FIRST FLOOR.

VICINITY MAP



SHEET INDEX

- A.0 PROJECT INFORMATION & SITE PLAN
- A.1 FLOOR AREA CALCS, AREA PLAN, & DEMO PLAN
- C.1 SURVEY
- A.2 EXISTING DEMO PLANS & ROOF PLAN
- A.3 FLOOR PLANS
- A.4 FRONT ELEVATIONS
- A.5 SIDE ELEVATIONS
- A.6 REAR ELEVATIONS
- A.7 SECTIONS

PROJECT DATA TABLE

PROPERTY ADDRESS:	207 OAKHURST PLACE
ASSessor'S PARCEL NO. (APN):	005-004-086
ZONE DISTRICT:	RIU
NET LOT AREA:	6582 SF
ALLOWABLE FAL:	2803 SF
PROPOSED FAL:	2782 SF
ALLOWABLE LOT COVERAGE:	2293 SF
PROPOSED LOT COVERAGE:	2293 SF
CONTEXTUAL FRONT SETBACK:	NO
FLOOD ZONE:	NO
HISTORIC DISTRICT:	NO
AVERAGE FRONT SETBACK:	20'-0"
OCCUPANCY GROUP:	RB
TYPE OF CONSTRUCTION:	VB
NUMBER OF STORIES:	2
SPRINKLERED BUILDING:	YES

GENERAL REQUIREMENTS

- ALL WORK PERFORMED SHALL COMPLY WITH THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS.
- ALL WORK SHALL CONFORM TO THE CODES BELOW:
- 2018 CODES
- CALIFORNIA BUILDING CODE
- CALIFORNIA PLUMBING CODE
- CALIFORNIA ELECTRICAL CODE
- CALIFORNIA GREEN BUILDING CODE
- CALIFORNIA FIRE CODE
- CALIFORNIA STANDARD CODE
- ALONG WITH ANY OTHER LOCAL AND STATE LAWS AND REGULATIONS
- ON SITE VERIFICATIONS OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- MEASUREMENTS SHALL BE TAKEN AS SHOWN ON DRAWINGS. MEASUREMENTS AND DETAILS COVER GENERAL DRAWINGS.
- FINAL GRADING SHALL NOT BE DONE UNTIL JOB IS NEARLY COMPLETE AND ALL DEBRIS HAS BEEN CLEARED FROM SITE UNIFORM DRAINAGE AWAY FROM THE STRUCTURE, 2" MINIMUM AWAY FROM FOUNDATION.
- CONSTRUCTION WASTE MUST BE DEPOSITED PER CALIFORNIA 4081.
- EDUCATIONAL MATERIALS, OPERATION AND MAINTENANCE MANUAL AND OTHER PROSISTANT INFORMATION TO BE PROVIDED TO THE OWNER. EQUIPMENT ARE PROPERLY MAINTAINED PER CALIFORNIA SECTION 4401.
- PROJECT MUST MEET TITLE 24 REQUIREMENTS PER CALIFORNIA 4401.

These plans are for design and construction purposes only and the contractor is responsible for taking accurate measurements in the field.

781 CHANNING AVE. PALO ALTO, CA 94301
sarah@clearstory.com

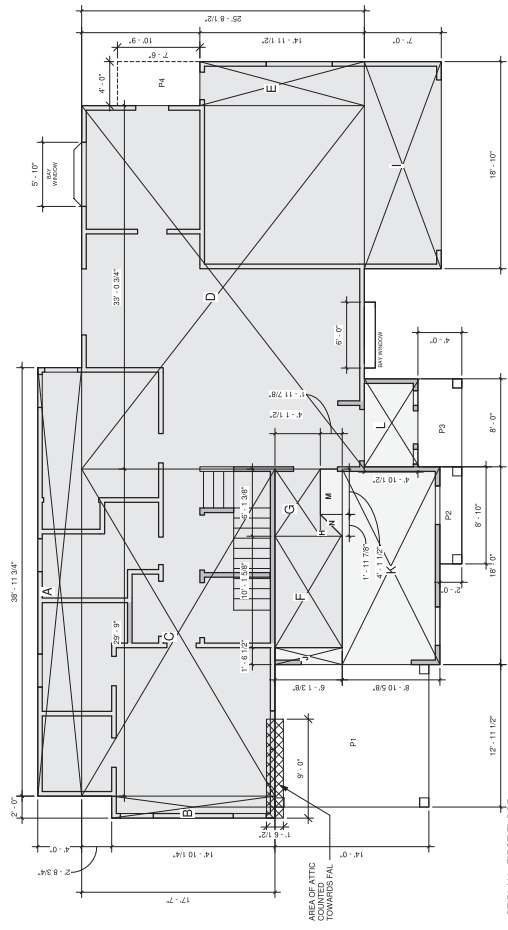
ARCHITECTURAL DESIGN: CLEAR STORY ARCHITECTURE
ENGINEERING CONSULTANT: CLEAR STORY ENGINEERING

REVISION	DATE

SECOND FLOOR
ADDITION & RENOVATION
207 OAKHURST PLACE
MENDO PARK, CALIFORNIA

DATE:	4/11/2017
SCALE:	AS SHOWN
DRAWN:	SBP
SHEET NAME:	PROJECT INFORMATION & SITE PLAN
SHEET NUMBER:	A-0

PROPOSED FAL AND LOT COVERAGE



① SF PLAN - FIRST FLOOR
3/16" = 1'-0"

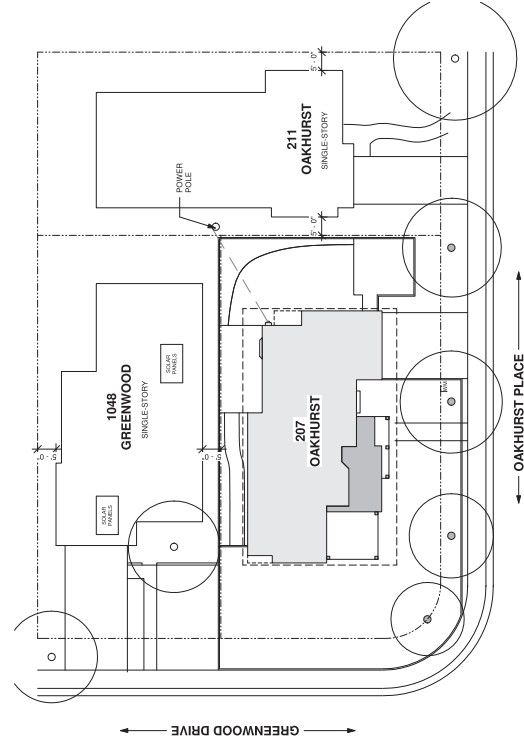
FLOOR AREA LIMIT	
EXISTING:	1840 SF
NEW SECOND FLOOR:	703 SF
O:	641 (38 FOR STAIRS)
P:	19
Q:	23
CQ:	40
F:	646
G:	63
H:	2
I:	132
ALLOWABLE FAL:	2800 SF
EXISTING FAL:	1840 SF
NEW FAL:	2762 SF
NEW FIRST FLOOR:	219 SF
J:	9
K:	60
L:	40
M:	8
N:	2

LOT COVERAGE	
EXISTING SF:	1840
P4:	30
NEW SF:	219
NEW P1:	181
NEW P2:	18
NEW P3:	32
EXISTING LOT COVERAGE:	1870
NEW LOT COVERAGE:	450
LOT COVERAGE REMOVED (P4):	30
ALLOWABLE LOT COVERAGE:	2283 SF (65% 35%)
NEW LOT COVERAGE:	2290 SF

NEW SECOND FLOOR: 703 SF
 O: 641 (38 FOR STAIRS)
 P: 19
 Q: 23
 CQ: 40
 F: 646
 G: 63
 H: 2
 I: 132
 ALLOWABLE FAL: 2800 SF
 EXISTING FAL: 1840 SF
 NEW FAL: **2762 SF**
 NEW FIRST FLOOR: 219 SF
 J: 9
 K: 60
 L: 40
 M: 8
 N: 2

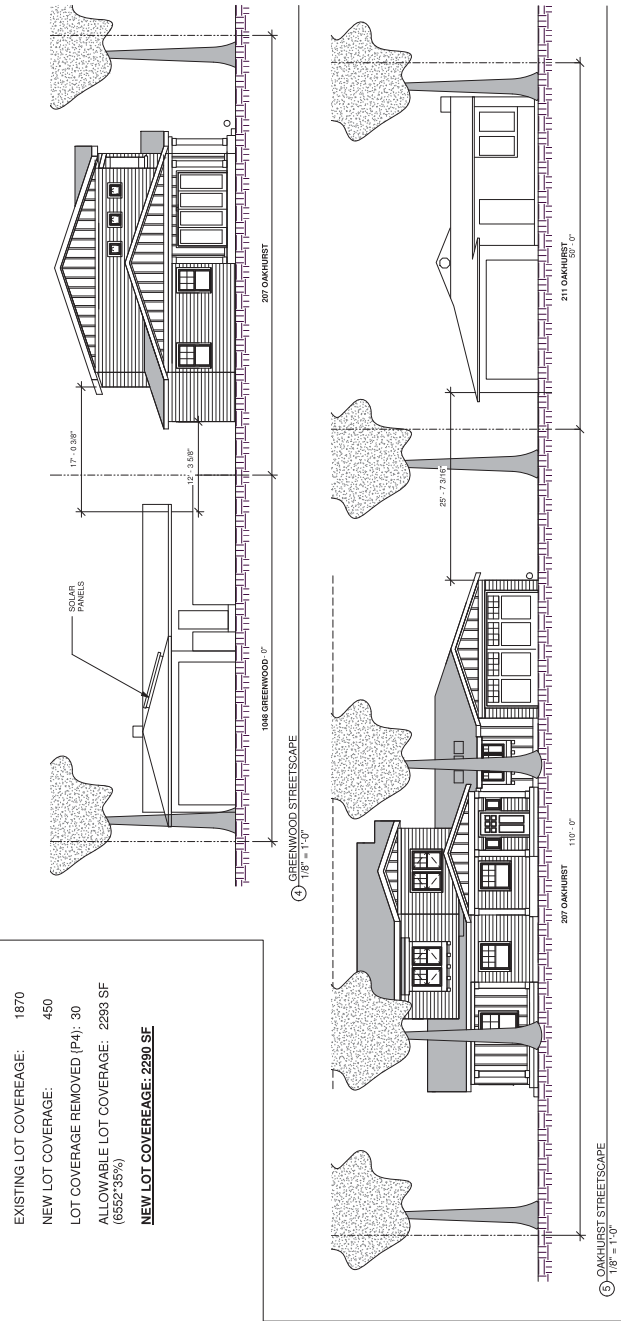
LOT COVERAGE
 EXISTING SF: 1840
 P4: 30
 NEW SF: 219
 NEW P1: 181
 NEW P2: 18
 NEW P3: 32
 EXISTING LOT COVERAGE: 1870
 NEW LOT COVERAGE: 450
 LOT COVERAGE REMOVED (P4): 30
 ALLOWABLE LOT COVERAGE: 2283 SF (65% 35%)
 NEW LOT COVERAGE: **2290 SF**

AREA PLAN

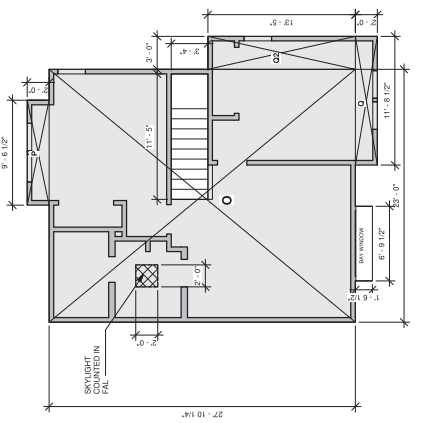


③ NEW CONSTRUCTION - AREA PLAN
1/16" = 1'-0"

STREETSCAPES



⑤ OAKHURST STREETSCAPE
1/8" = 1'-0"



② SF PLAN - SECOND FLOOR
3/16" = 1'-0"

These plans are for design and taking accurate measurements in the field. The general contractor is responsible for building scope. The dimensions shown are approximations. The project meet local municipal and contractor is responsible for making any adjustments to the drawings for building scope. The dimensions shown are approximations. The project meet local municipal and contractor is responsible for making any adjustments to the drawings for building scope.

REVISION

ARCHITECTURAL DESIGN:
CLEARSTORY CONSULTING
3000 CLEARSTORY DRIVE
SAN FRANCISCO, CA 94118
TEL: 415.774.8888
FAX: 415.774.8889
ENERGY CONSULTANT:
TEL: 415.774.8888
FAX: 415.774.8889

SECOND FLOOR
ADDITION & RENOVATION
207 OAKHURST PLACE
MENLO PARK, CALIFORNIA

DATE: 4/11/2017
SCALE: AS SHOWN
DRAWN: SBP

SHEET NAME: FLOOR AREA CALCULATIONS, AREA PLAN, & DEMO PLAN
SHEET NUMBER: A-1

781 CHANNING AVENUE PALO ALTO, CA 94301

REVISION

ARCHITECTURAL DESIGN: CLEARSTORY CONSULTANTS, S.F.

STRUCTURAL ENGINEERING: STRUCRURAL ENGINEERING, S.F.

ENERGY CONSULTANT: TRS, S.F.

SECOND FLOOR

ADDITION & RENOVATION

207 OAKHURST PLACE
MENLO PARK, CALIFORNIA

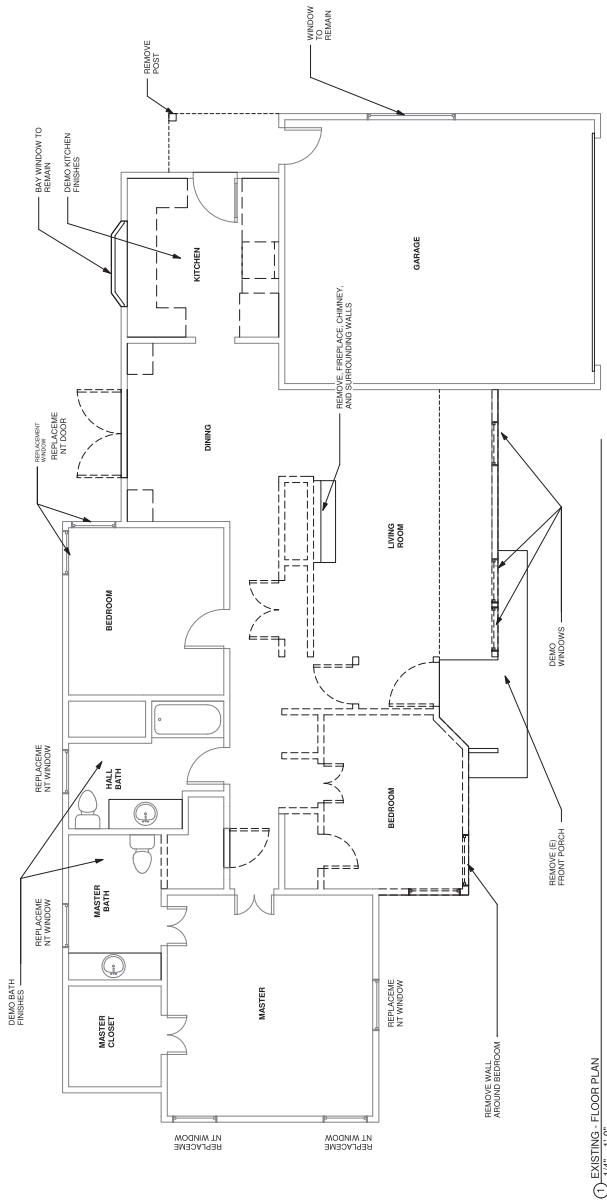
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SCALE: AS SHOWN

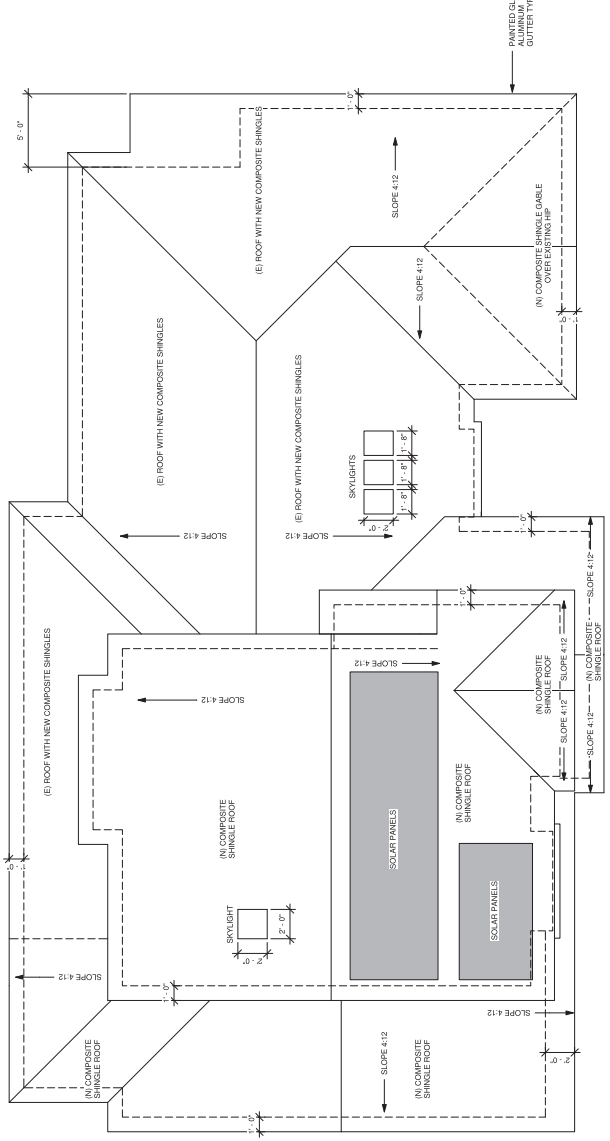
DRAWN: SBP

SHEET NAME: EXISTING/RENO PLAN & ROOF PLAN

SHEET NUMBER A-2



1 EXISTING - FLOOR PLAN
1/4" = 1'-0"



2 NEW CONSTRUCTION - ROOF PLAN
1/4" = 1'-0"

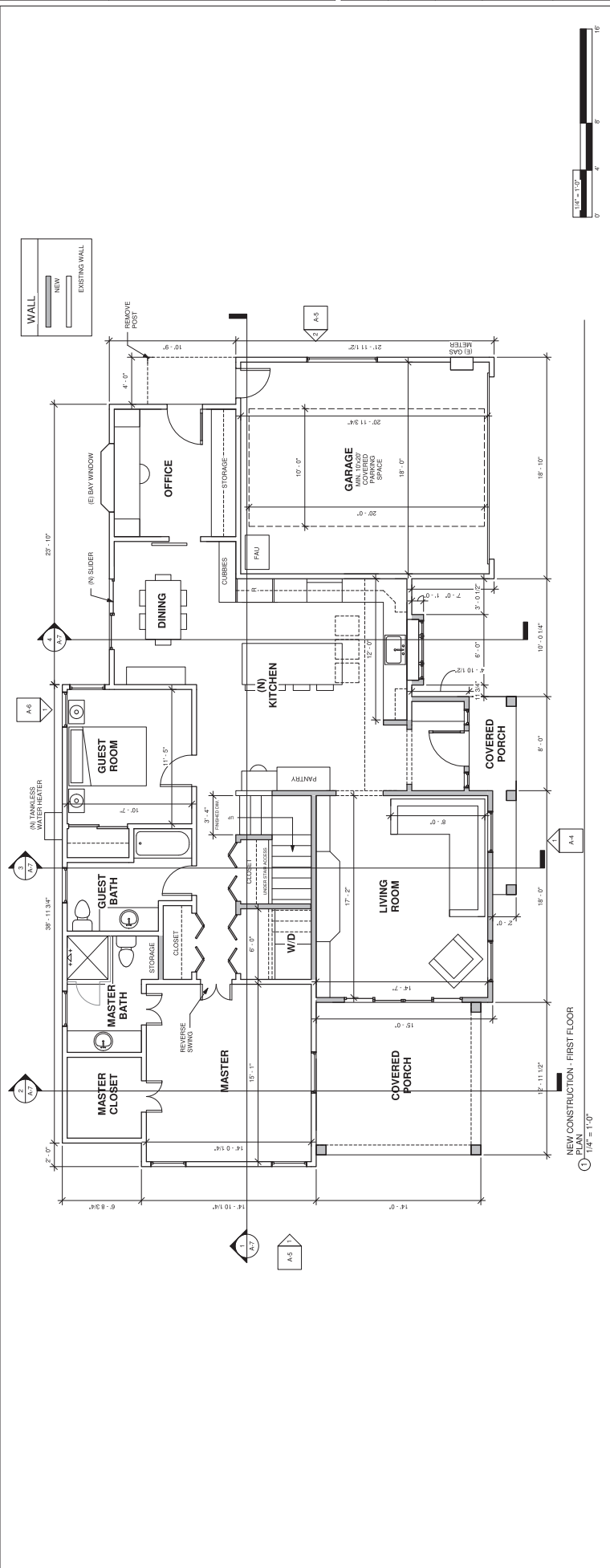
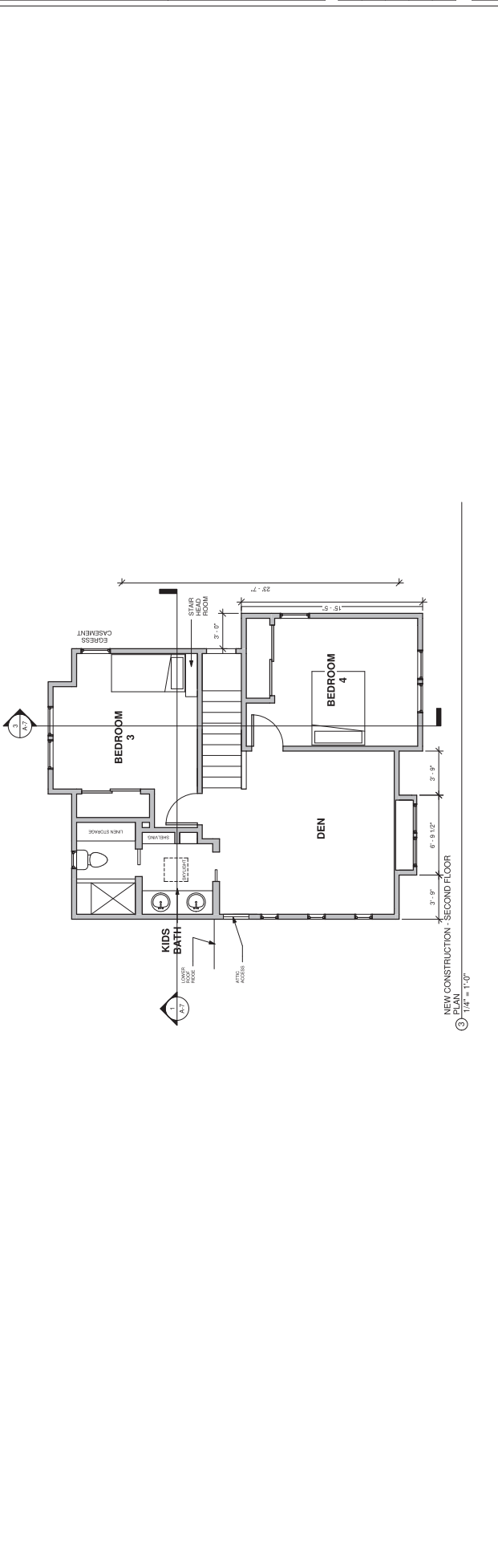
These plans are for design and general contractor's responsibility for taking accurate measurements in the field. The dimensions shown are approximations. The general contractor is responsible for making any adjustments to the drawings for the project's needs. The general contractor is responsible for making any adjustments to the drawings for the project's needs.

REVISION

ARCHITECTURAL DESIGN: CLEARSTORY ARCHITECTURE
 207 OAKHURST PLACE
 MENLO PARK, CALIFORNIA
 94025
 (650) 321-1122
 www.clearstory.com
 PROJECT CONSULTANT: STURMUTUAL ENGINEERING

SECOND FLOOR
ADDITION & RENOVATION

DATE:	4/11/2017
SCALE:	AS SHOWN
DRAWN:	SBP
SHEET NAME:	FLOOR PLANS
SHEET NUMBER:	A-3



These plans are for design and construction purposes only. The general contractor is responsible for taking accurate measurements in the field.

REVISION	

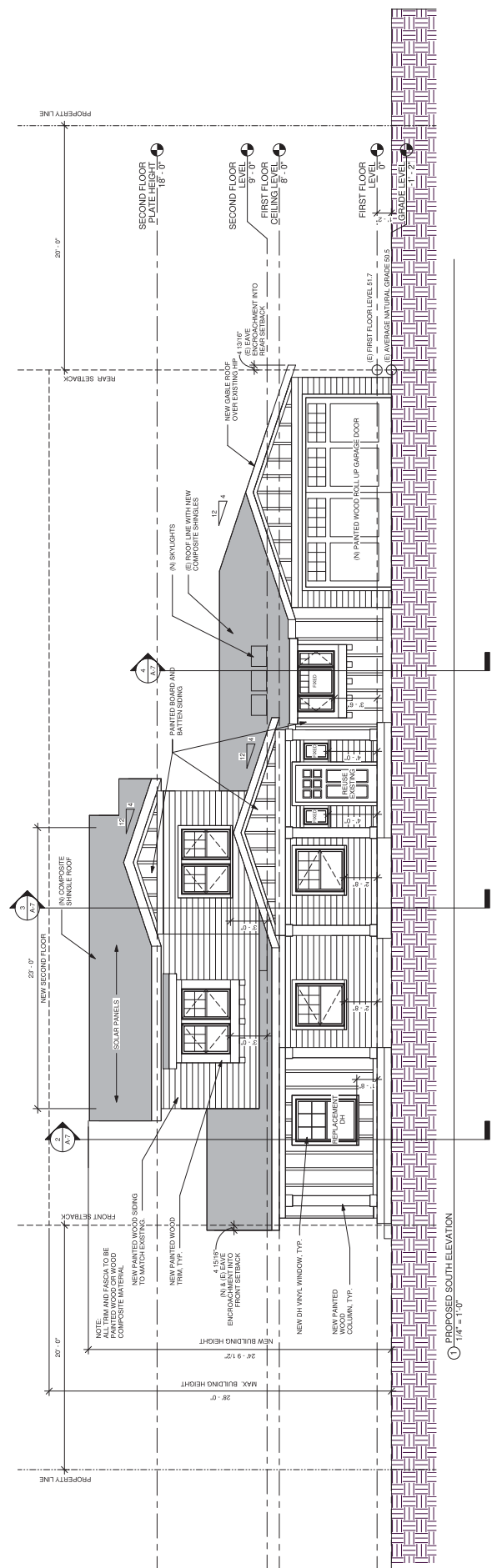
ARCHITECTURAL DESIGN
CLEARSTORY CONSULTING
STRUCTURAL ENGINEERING
SARAH CLEARSTORY, C.E.
EMERY CONSULTANT

207 OAKHURST PLACE
MENLO PARK, CALIFORNIA
**SECOND FLOOR
ADDITION & RENOVATION**

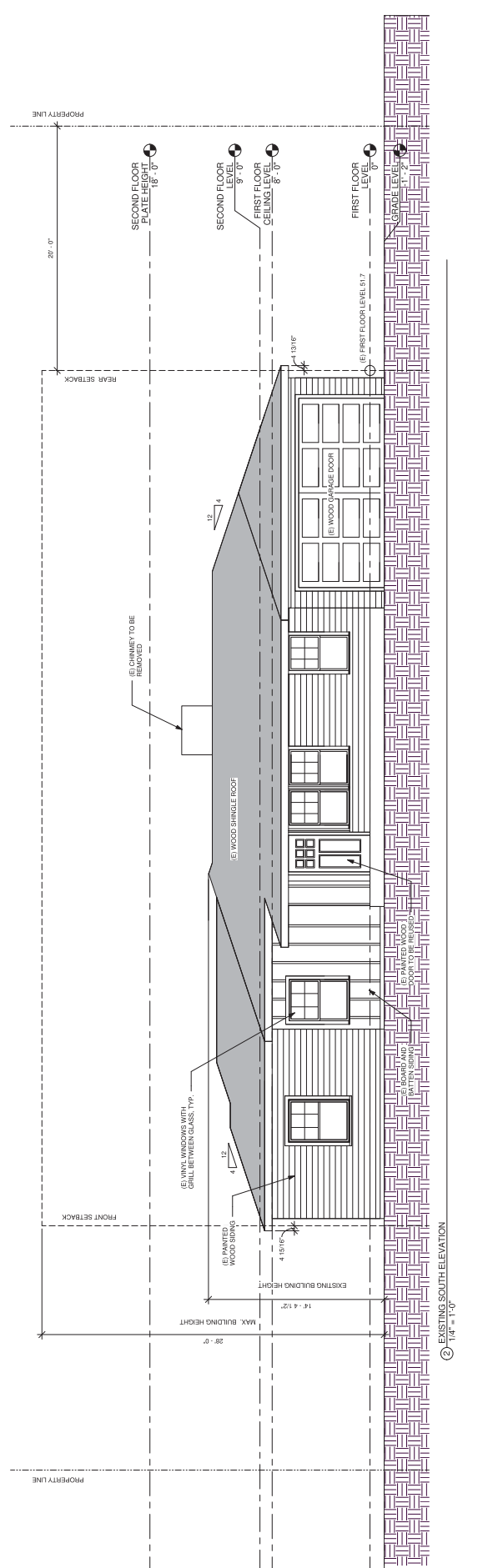
DATE:	4/11/2017
SCALE:	AS SHOWN
DRAWN:	SBP
SHEET NAME:	SOUTH ELEVATIONS
SHEET NUMBER:	A-4

WINDOW NOTES

- ALL NEW WINDOWS VINYL CASIES WITH EXTERIOR SIMULATED DIVIDED LIGHT WITH SPACE BETWEEN GLASS.
- EXISTING WINDOWS TO BE DIVIDED LIGHTS TO REMAIN.
- EXISTING WINDOW WITH GRG GRILL BETWEEN GLASS TO BE REPLACED WITH SPACE BAR BETWEEN GLASS.



① PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



② EXISTING SOUTH ELEVATION
1/4" = 1'-0"

These plans are for design and construction purposes only. The general contractor is responsible for taking accurate measurements for the project. The contractor is responsible for making the project meet local municipal and building codes. The contractor is responsible for making the project meet local municipal and building codes. The contractor is responsible for making the project meet local municipal and building codes.

REVISION

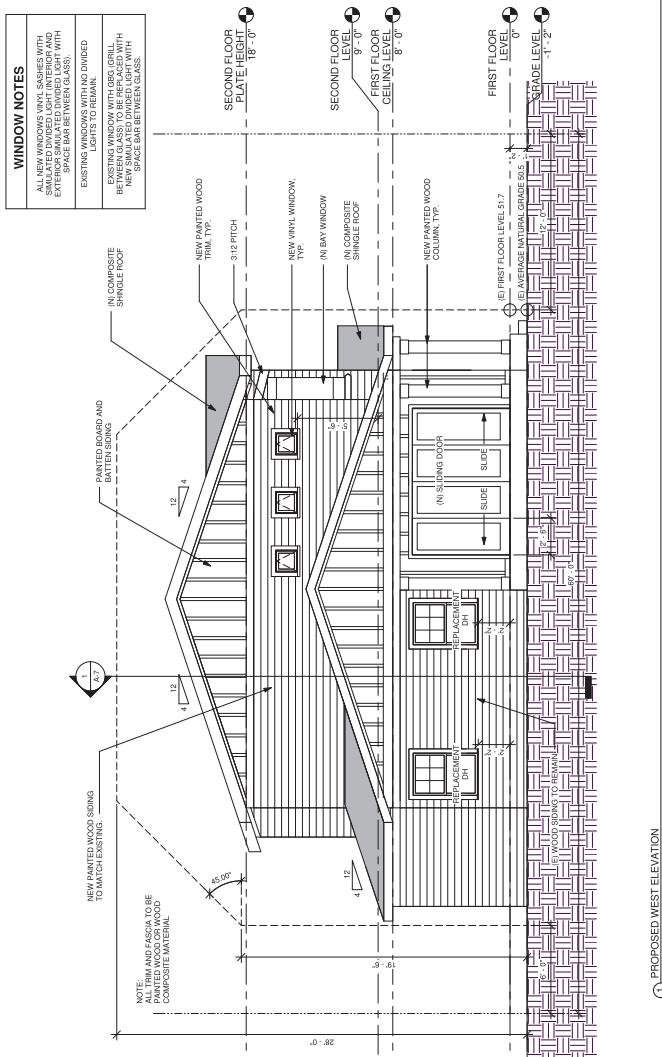
ARCHITECTURAL DESIGN
CLEARSTORY CONSULTING
3000 CLEARSTORY DRIVE
SAN FRANCISCO, CA 94118
TEL: 415.774.8888
WWW.CLEARSTORY.COM

SECOND FLOOR
ADDITION & RENOVATION
207 OAKHURST PLACE
MENLO PARK, CALIFORNIA

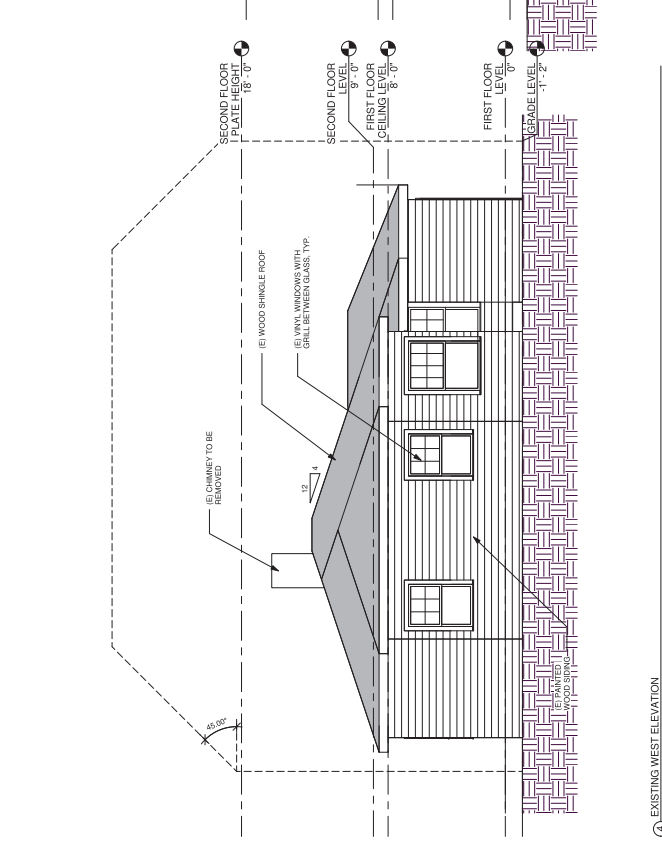
DATE: 4/11/2017
SCALE: AS SHOWN
DRAWN: SBP

SHEET NAME: EAST & WEST ELEVATIONS

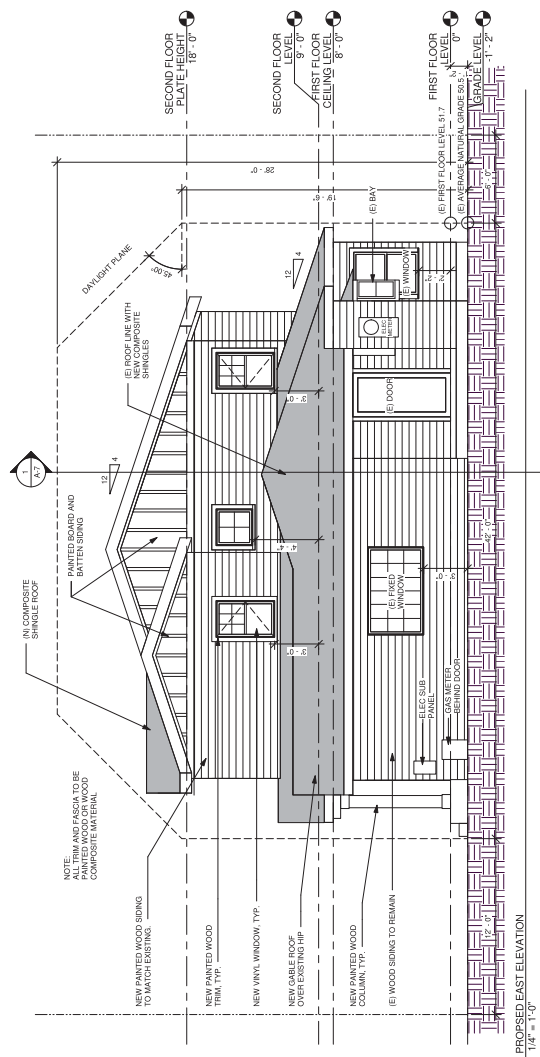
SHEET NUMBER A-5



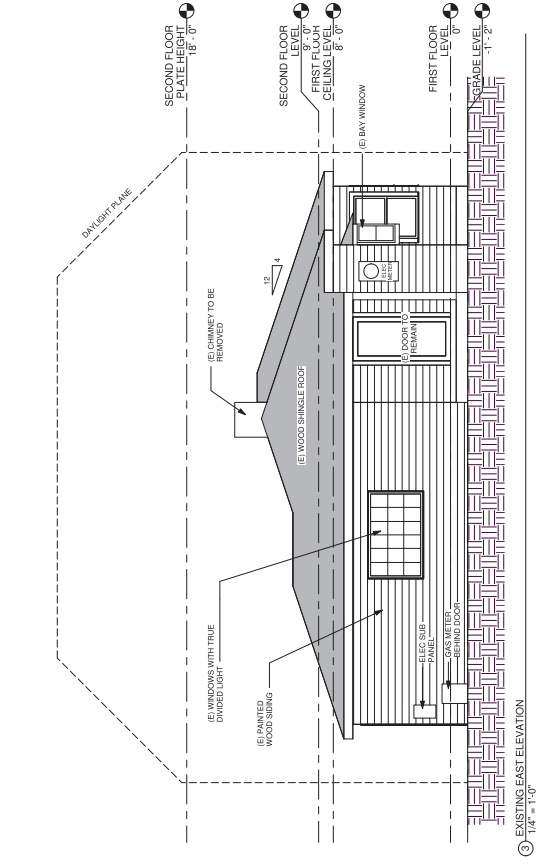
1 PROPOSED WEST ELEVATION
1/4" = 1'-0"



4 EXISTING WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
1/4" = 1'-0"

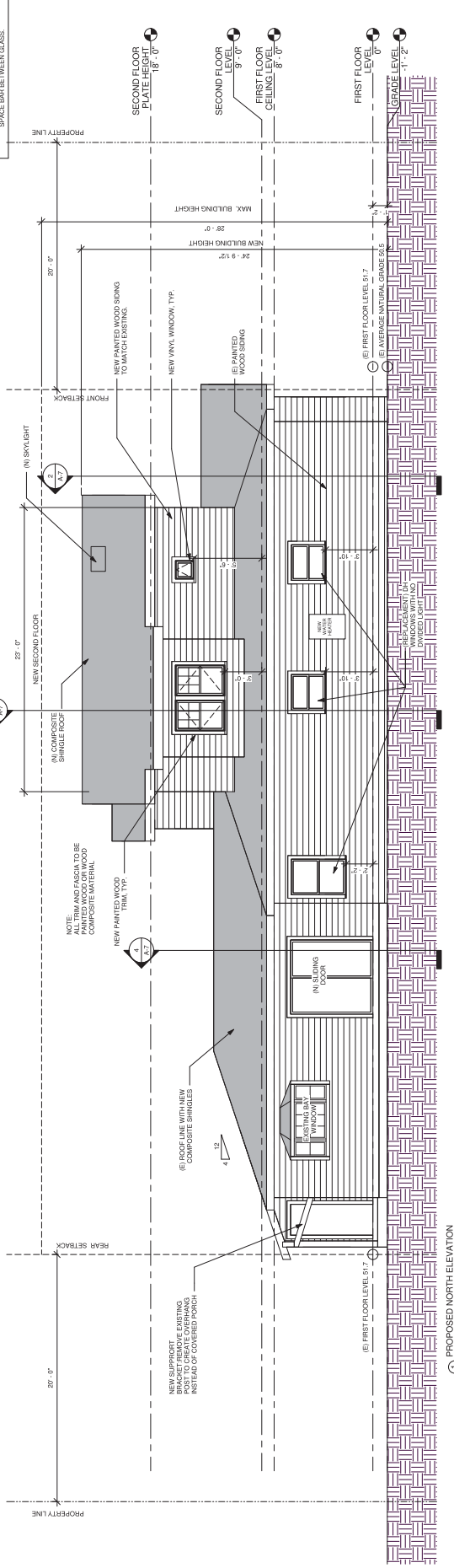


3 EXISTING EAST ELEVATION
1/4" = 1'-0"

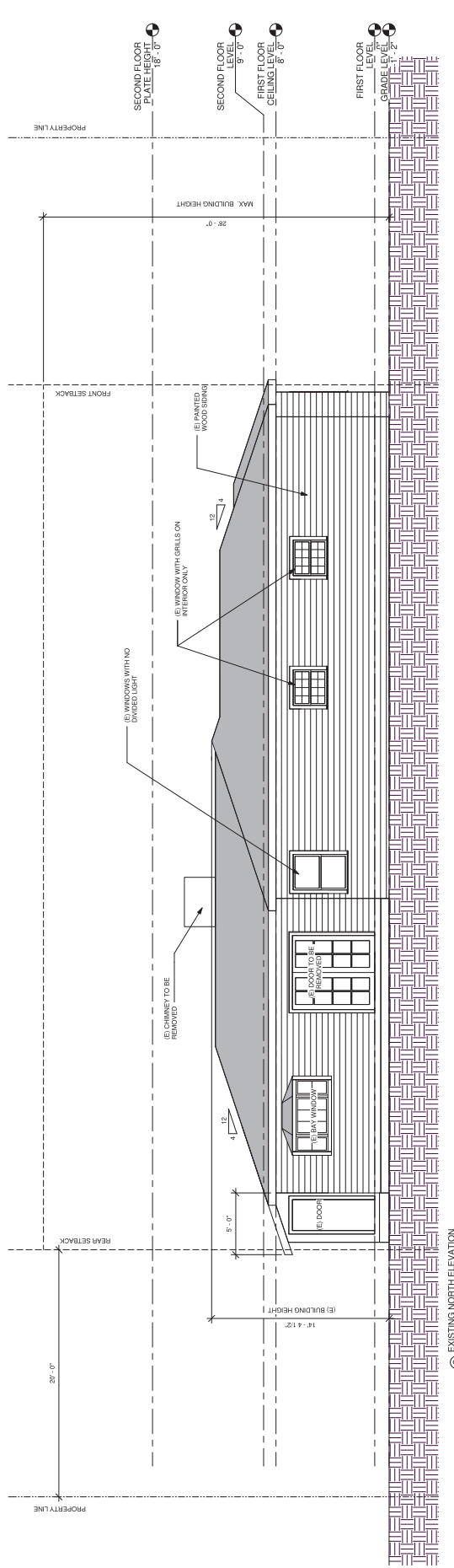
WINDOW NOTES
ALL NEW WINDOWS VINYL SASHES WITH EXTERIOR SIMULATED DIVIDED LIGHT WITH SPACE BAR BETWEEN GLASS.
EXISTING WINDOWS WITH UNDIVIDED EXTERIOR SIMULATED DIVIDED LIGHT WITH SPACE BAR BETWEEN GLASS.
EXISTING WINDOW WITH GRC CERILL BETWEEN GLASS TO BE REPLACED WITH UNDIVIDED EXTERIOR SIMULATED DIVIDED LIGHT WITH SPACE BAR BETWEEN GLASS.

WINDOW NOTES

- ALL NEW WINDOWS VINYL SASSES WITH SIMULATED DIVIDED LIGHT INTERIOR AND SMOOTH FINISH EXTERIOR.
- EXISTING WINDOWS WITH NO DIVIDED LIGHTS TO REMAIN.
- EXISTING WINDOWS WITH DIVIDED LIGHTS BETWEEN GLASS TO BE REPLACED WITH NEW SIMULATED DIVIDED LIGHT WITH SPACE BAR BETWEEN GLASS.



1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
1/4" = 1'-0"

781 CHANNING AVE. PALO ALTO, CA 94301
sarah@clearstory

These plans are for design and taking accurate measurements in the field. The general contractor is responsible for showing dimensions on the drawings. The contractor is responsible for making building choices on the ground.

REVISION

ARCHITECTURAL DESIGN: CLEARSTORY CONSULTING ARCHITECTS
STRUCTURAL ENGINEERING: STRUCTURAL ENGINEERING
ENERGY CONSULTANT: TRS

SECOND FLOOR ADDITION & RENOVATION
207 OAKHURST PLACE
MENLO PARK, CALIFORNIA

DATE: 4/11/2017
SCALE: AS SHOWN
DRAWN: SBP
SHEET NAME: NORTH ELEVATIONS
SHEET NUMBER: A-6

These plans are for design and construction purposes only. The general contractor is responsible for taking accurate measurements in the field.

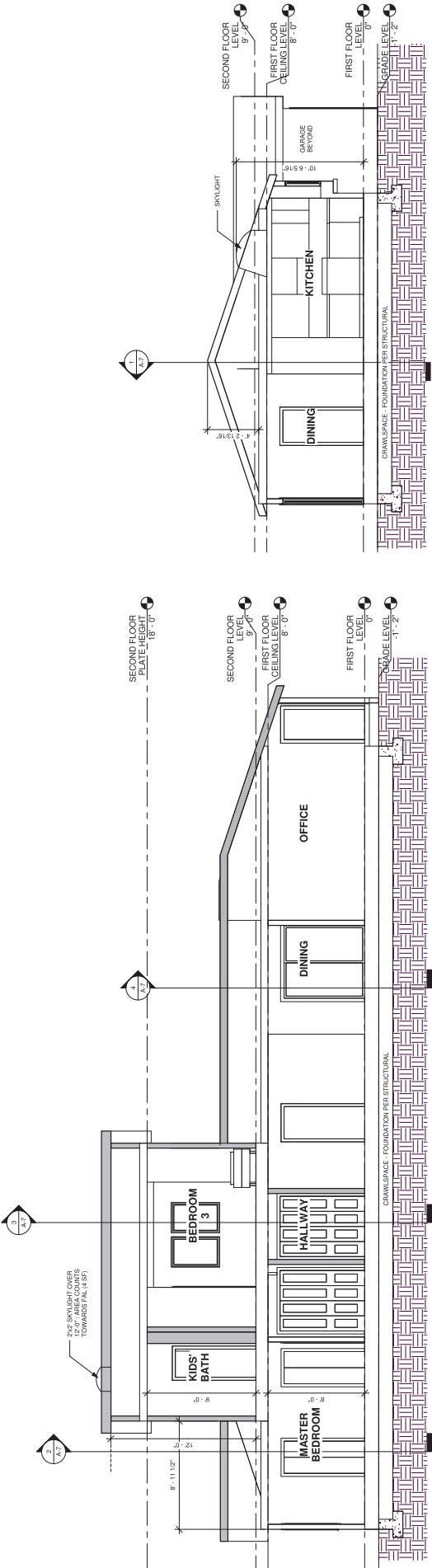
REVISION	

ARCHITECTURAL DESIGN: CLEARSTORY CONSULTANTS
 STRUCTURAL ENGINEERING: SBP
 ENERGY CONSULTANT: TBS

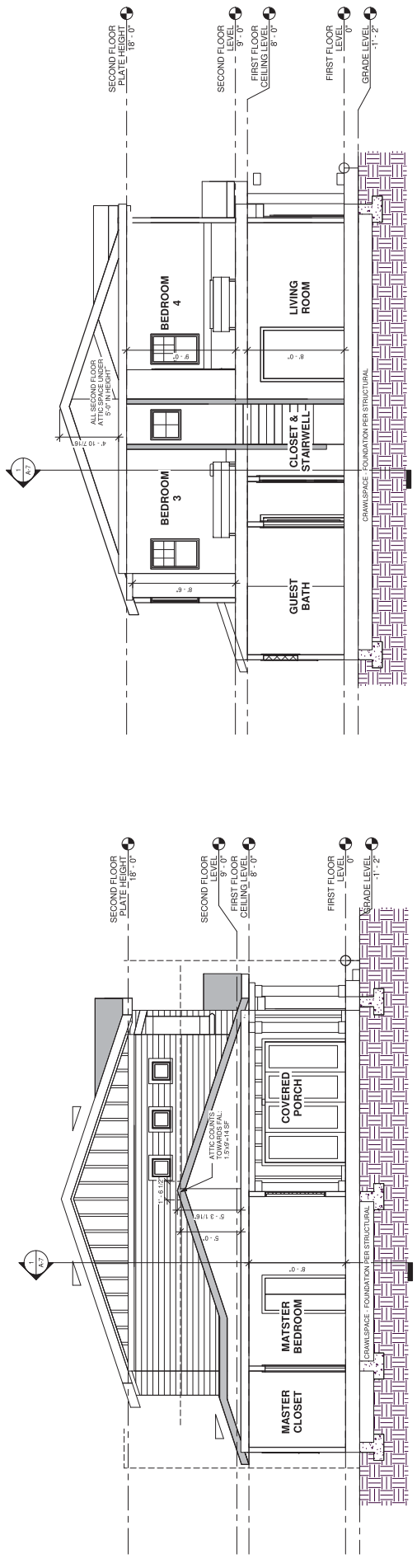
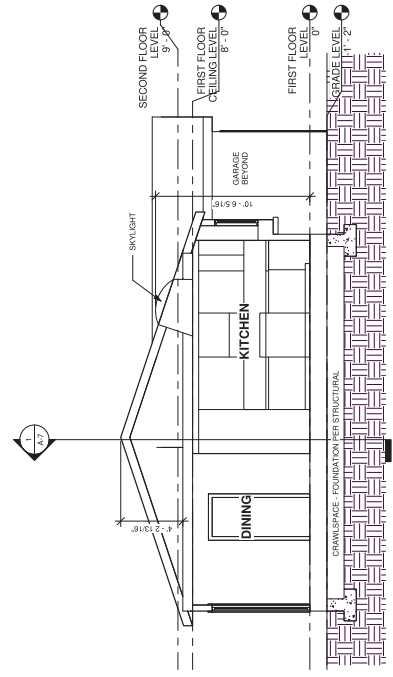
SECOND FLOOR ADDITION & RENOVATION
 207 OAKHURST PLACE
 MENLO PARK, CALIFORNIA

DATE: 4/11/2017
 SCALE: AS SHOWN
 DRAWN: SBP

SHEET NAME: SECTIONS
 SHEET NUMBER: A-7



SECTION THROUGH KITCHEN AND DINING
 1/4" = 1'-0"



SECTION THROUGH SECOND FLOOR BEDROOMS AND LIVING ROOM
 1/4" = 1'-0"



781 Channing Avenue
Palo Alto, CA 94301
650-475-6868
sarah@clear-story.com

April 28, 2017

City of Menlo Park
Community Development Department
Planning Division

Project Description Letter: 207 Oakhurst Place

Dear Menlo Park Planning Division,

207 Oakhurst is an unassuming ranch that has remained mostly architecturally untouched for the majority of its existence. Though its charm has remained intact, the home has outgrown its livability for a modern family. The Clark family has loved their home for many years and hope to continue to do so after they renovate and expand their home to fit a growing family's needs.

The current home is an 1840 square foot ranch with three bedrooms and two baths. The family is proposing to add 219 sf on the first floor to create a living space with better connection with the outside and create a new kitchen that meets the needs of a modern family. This addition will include a welcoming covered front porch as well as a covered porch off the new living room to create that indoor-outdoor space so desired in our climate. They plan to keep as much of the existing siding as possible and even work in the multiple exterior finished (horizontal siding and vertical board and batten) already present in the house. As the first floor's renovations will remove one bedroom to make room for the new living space, the family is proposing to include a second story addition of 703 sf with two bedrooms, one bath and a den in the addition plan. This will bring the home to a four bedroom, three bath home, 2762 sf (including the existing garage).

The Clark family is very concerned about their personal impact on the environment. They have purposefully planned to change the nature of the architecture of the home from hip roofs to gables to provide more south facing roof area for solar panels. The renovation has also been planned to minimally impact the existing home layout and structure. This will help reuse much of the exterior finishes, doors, interior walls and structure. What is not able to be reused in this project will be donated to the local Habitat for Humanity for another local project.

The Clarks are a wonderful family who love their home and neighborhood. They are an asset to their community and hope to make their modern, quaint renovation an asset to the neighborhood, too.

Sincerely,
Sarah Potter, ClearStory Construction, Inc

Advanced Tree Care

P. O. Box 5326 Redwood City, CA 94063

207 Oakhurst Pl., Menlo Park

February 28, 2017

Jessica Clark
207 Oakhurst Pl
Menlo Park, CA 94025

Site: 207 Oakhurst Pl, Menlo Park

Dear Jessica

At your request I visited the above site for the purpose of inspecting and commenting on the trees around the property. A remodel and second story addition is planned, prompting the need for this tree protection report.

Method:

Menlo Park requests that all trees with trunk diameters greater than 6 inches on this property and within 8 feet of the property lines be included. The location of the trees on this site can be found on the plan. Each tree is given an identification number. The trees are measured at 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end of the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don't hesitate to call. Sincerely



Robert Weatherill
Certified Arborist WE 1936A

Tree survey

Tree #	Species	DBH	Ht/Sp	Con Rating	Comments
1	Sweet gum <i>Liquidambar styraciflua</i>	23.0"	60/30	70	Good health and condition, street tree Regulated
2	Sweet gum <i>Liquidambar styraciflua</i>	25.3"	60/30	65	Good health and condition, street tree included bark, Regulated
3	Sweet gum <i>Liquidambar styraciflua</i>	23.9"	60/30	70	Good health and condition, street tree, Regulated
4	Black walnut <i>Juglans nigra</i>	10.4"	15/15	60	Fair health and condition Not Regulated
5	Plum <i>Prunus cerasifera</i>	7.3"/7.2"	10/8	20	Poor health and condition, Cavities Decay in turn. Remove. Not Regulated
6	Evergreen pear <i>Pyrus kawakamii</i>	11.9"	25/12	40	Poor health and condition, leaf spot, poorly pruned, Not Regulated
7	Evergreen pear <i>Pyrus kawakamii</i>	9.1"	15/6	40	Poor health and condition, leaf spot, poorly pruned, Not Regulated
8	Evergreen pear <i>Pyrus kawakamii</i>	10.1"	20/10	40	Poor health and condition, leaf spot, poorly pruned, Not Regulated
9	Evergreen pear <i>Pyrus kawakamii</i>	10.1"	25/10	40	Poor health and condition, leaf spot poorly pruned, Not Regulated

Summary:

The trees on the site are all non-natives.

There are 3 street trees along Oakhurst Place mostly in good health and condition that should be protected during construction.

There are no trees on neighboring properties within 8 feet of the fence line.

The remaining trees are not regulated and can be removed if desired

Tree # 5 is in very poor condition and should probably be removed

Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1 1/2" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the dripline of the tree. I recommend the TPZ's as follows:-

Tree #s 1, 2 and 3: TPZ should be at 12 feet from the trunk closing on the fence line and sidewalk in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2⁽⁶⁾



IMAGE 2.15-1

Tree Protection Fence at the Dripline



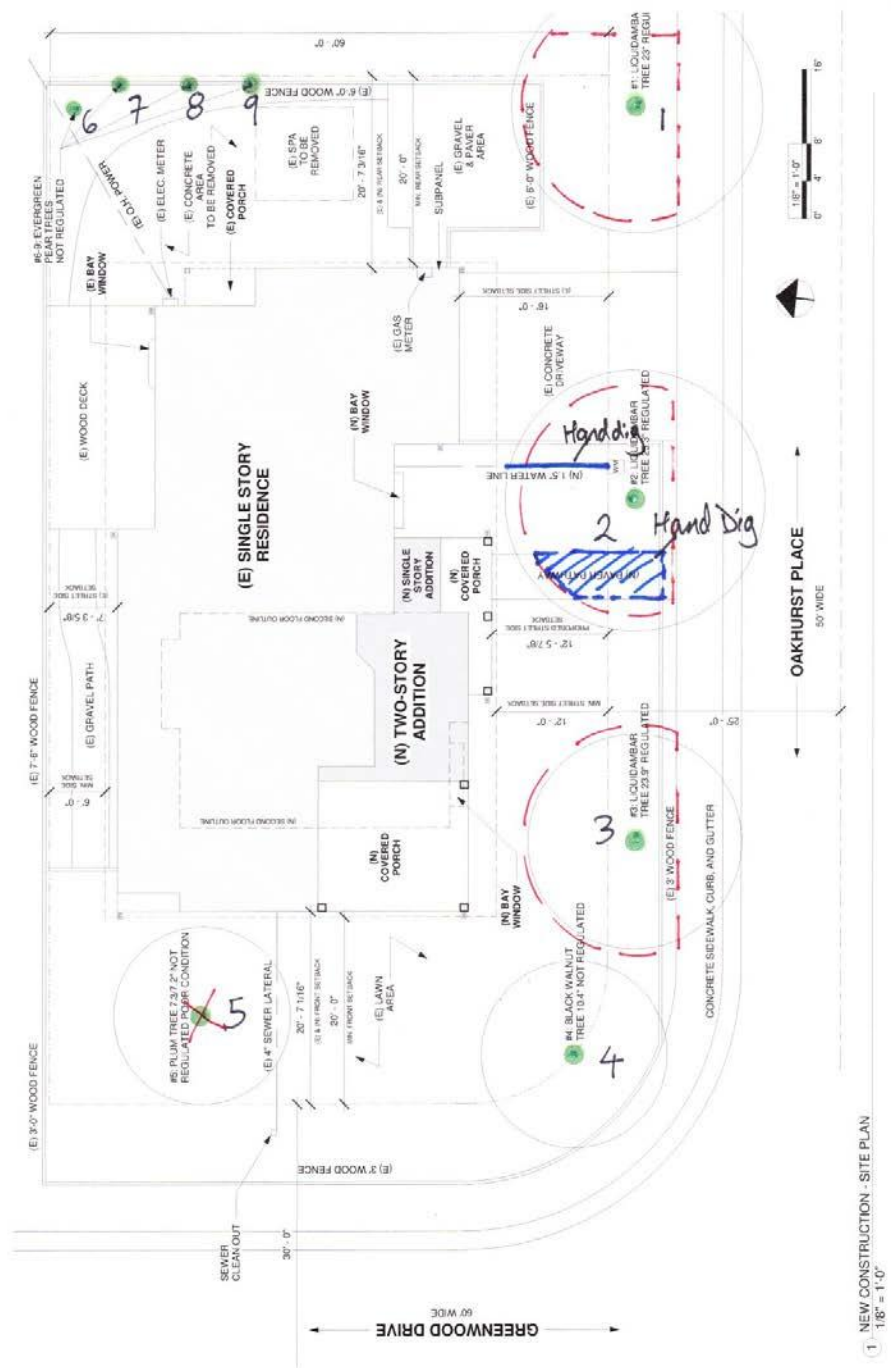
IMAGE 2.15-2

Tree Protection Fence at the Dripline

• **Type I Tree Protection**

The fences shall enclose the entire area under the **canopy dripline or TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (*see Images 2.15-1 and 2.15-2*). Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.

2. Any pruning and maintenance of the trees shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel.** No limbs greater than 4" in diameter shall be removed.
3. Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.⁽²⁾
4. A new 1.5" water line is planned to run through the TPZ of Tree # 2. Fortunately this water line radiates out from the tree and does not cut across the root system. The trench for the new water line should be hand dug (trench marked in blue) No roots over 2 inches in diameter should be cut. There will be no impact on the health and stability of the tree.
5. The new paver pathway passes through the TPZ of Tree #2. The foundation for the pathway should be hand dug within the TPZ to a depth no greater than 8 inches. (Area in blue) No roots over 2 inches in diameter should be cut.
6. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.⁽²⁾
7. **Do Not:**⁽⁴⁾
 - a. Allow run off or spillage of damaging materials into the area below any tree canopy.
 - b. Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
 - c. Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
 - d. Allow fires under any adjacent trees.
 - e. Discharge exhaust into foliage.
 - f. Secure cable, chain or rope to trees or shrubs.
 - g. Apply soil sterilants under pavement near existing trees.
8. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.⁽⁴⁾
9. Route pipes into alternate locations to avoid conflict with roots.⁽⁴⁾
10. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.⁽⁴⁾
11. Compaction of the soil within the dripline shall be kept to a minimum.⁽²⁾
12. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.
11. Ensure upon completion of the project that the original ground level is restored



Location of protected trees and their Tree Protection Zones

Glossary

- Canopy** The part of the crown composed of leaves and small twigs.⁽²⁾
- Cavities** An open wound, characterized by the presence of extensive decay and resulting in a hollow.⁽¹⁾
- Decay** Process of degradation of woody tissues by fungi and bacteria through the decomposition of cellulose and lignin⁽¹⁾
- Dripline** The width of the crown as measured by the lateral extent of the foliage.⁽¹⁾
- Genus** A classification of plants showing similar characteristics.
- Included bark** Genetic weakness in branch attachment resulting potential limb failure
- Species** A Classification that identifies a particular plant.
- Standard height** Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level

References

- (1) Matheny, N.P., and Clark, J.P. Evaluation of Hazard Trees in Urban Areas. International Society of Arboriculture, 1994.
- (2) Harris, R.W., Matheny, N.P. and Clark, J.R.. Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines. Prentice Hall, 1999.
- (3) Carlson, Russell E. Paulownia on The Green: An Assessment of Tree Health and Structural Condition. Tree Tech Consulting, 1998.
- (4) Extracted from a copy of Tree Protection guidelines. Anon
- (5) T. D. Sydnor, Arboricultural Glossary. School of Natural Resources, 2000
- (6) D Dockter, Tree Technical Manual. City of Palo Alto, June, 2001

Certification of Performance⁽³⁾

I, Robert Weatherill certify:

- * That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;
- * That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;
- * That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;
- * That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;
- * That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;
- * That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 15 years.

Signed



Robert Weatherill
Certified Arborist WE 1936A

Date: 2/28/17

Terms and Conditions(3)

The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care :

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
3. All reports and other correspondence are confidential, and are the property of Advanced Tree Care and its named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warrantee or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
7. Advanced Tree Care has no warrantee, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphs material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.



781 Channing Avenue
Palo Alto, CA 94301
650-475-6868
sarah@clear-story.com

March 2, 2017

City of Menlo Park
Community Development Department
Planning Division

Neighborhood Outreach: 207
Oakhurst The homeowners at 207
Oakhurst, Tyson and Jessica Clark,
have reached out to their neighbors
with regards to their upcoming
project. Here is a description of their
outreach:

House plans for 207 Oakhurst Place
Tyson and Jessica Clark
408-892-9499
jessrainclark@gmail.com

I have reviewed the Clark's house plans:

John and Julia Molise
208 Oakhurst Place

RECEIVED

MAR 08 2017

Peter and Jennifer Tanner
211 Oakhurst Place

CITY OF MENLO PARK
BUILDING

Jim Kauffman and Lucy Baw
112 Oakhurst Place

Ilene Gatiem
1048 Greenwood Drive

1/15/17

* provided copy of plans

Dan and Melanie Chandler
1043 Greenwood Drive

2/3/17

Renee Spooner
1052 Greenwood Drive

2/16/17

~~Miller~~ Clark Kelley
1039 Greenwood Drive



STAFF REPORT

Planning Commission

Meeting Date: 5/8/2017
Staff Report Number: 17-025-PC

Public Hearing: Use Permit/Bryan Baskin/857 College Avenue

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence on a substandard lot with respect to lot width in the R-1-U (Single-Family Urban Residential) zoning district, at 857 College Avenue. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at 857 College Avenue, between University Drive and El Camino Real. Using College Avenue in a north to south orientation, the subject parcel is surrounded by single-family homes that are also in the R-1-U zoning district to the north, south, and west. The parcel to the east of the subject property is located in the R-2 (Low Density Apartment) zoning district and is developed as a duplex. The surrounding area is a mixture of one and two-story structures, developed in a variety of architectural styles. A location map is included as Attachment B.

Analysis

Project description

The applicant is proposing to demolish an existing single-story, single-family residence and detached garage, and construct a new two-story, single-family residence with an attached garage. The lot is substandard with regard to the lot width, and a new two-story residence requires approval of a use permit.

The proposed residence would have a floor area of 3,005.9 square feet where 3,006.8 square feet is the floor area limit (FAL), and a building coverage of 25.6 percent where 35 percent is the maximum permitted. The house is proposed to be 28 feet in height, where the maximum permitted height is 28 feet, and the proposed structure would comply with daylight plane requirements. The proposed residence would have five bedrooms and four bathrooms, with four of the bedrooms and three of the bathrooms on the second floor.

Off-street parking would be provided in an attached one-car garage at the right side of the residence, and a perpendicular, uncovered parking space to the left of the proposed garage. A data table summarizing parcel and project attributes is included as Attachment C. The project plans, and the applicant's project description

letter are included as Attachments D and E, respectively.

Design and materials

The applicant states that the proposed residence is designed in a modern style with influence from traditional and vernacular building forms in the region. The building massing would be balanced between a single-story area to the right of the parcel and a two-story area to the left, with the massing arranged to reduce the bulk of the building as visible from the street. A courtyard is proposed along the right side of the property, with several windows facing the courtyard. The siding would be painted lap siding, with modified lap siding across the garage door to de-emphasize the mechanical nature of the garage. The windows would be vinyl-clad, and the roof materials would be standing seam metal and a flat seam metal or a PVC material for a small, flat portion of the roof between the garage and two story portion of the house.

The second floor would be set back 7.1 feet from the left side property line and 22.6 feet from the right side property line, and the upper level windows along the side elevations would have sill heights between three feet and five feet from the finished floor. The upper level windows along the front and rear elevation would have three-foot sill heights. The upper level would be set back 61.7 feet from the rear property line, helping to limit potential privacy issues along this facade.

The parking layout, featuring a one-car attached garage and a perpendicular, uncovered space at the front, would help ensure that the parking features would not dominate the frontage of this relatively narrow parcel. The uncovered space would be located outside of the front setback, and would not obstruct the garage space or the front entry.

Staff believes that the materials, scale, and design of the proposed residence would be compatible with the surrounding neighborhood. Although the project would be a two-story residence, the building massing would be balanced between a single-story and a two-story area, with the massing arranged to reduce the bulk of the building as visible from the street.

Trees and landscaping

There are 10 trees on or near the project site, including two heritage privets located in the left-front portion of the property, two heritage saucer magnolias located on the neighboring parcel, just past the front-right side property line, and heritage English walnut, located in the right-rear corner of the property. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of these trees. As part of the initial project review, the arborist report was enhanced with additional analysis and detail, including specific construction techniques and tree protection fencing to protect the five heritage trees.

A non-heritage privet located near the front left side of the property and a non-heritage camellia located at the left-front corner of the proposed residence are proposed for removal. The applicant is proposing to plant four new trees on the property, including a Japanese maple in front of the proposed residence, another Japanese maple and ginkgo tree in the proposed courtyard, and an olive tree near the right property line, behind the proposed residence.

The proposed site improvements should not adversely affect surrounding trees as standard tree protection measures, as well as specific protection measures described in the arborist report, will be ensured through recommended condition 3g.

Correspondence

The applicant indicates he shared the plans with several neighboring property owners and received strong support. The 13 letters of support submitted by the applicant are included as Attachment G. The adjacent

left side neighbor (849 College Avenue), which would be closest to the new second-story element, is part of this neighbor support.

Conclusion

Staff believes that the materials, scale, and design of the proposed residence would be compatible with the surrounding neighborhood. Although the project would be a two-story residence, the building massing would be balanced between a single-story and a two-story area, with the massing arranged to reduce the bulk of the building as visible from the street. The parking layout, featuring a one-car attached garage and a perpendicular, uncovered space at the front, would help ensure that the parking features would not dominate the frontage of this relatively narrow parcel. The proposed site improvements should not adversely affect surrounding trees as standard tree protection measures, as well as the specific protection measures described in the arborist report, will be ensured through recommended condition 3g. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Correspondence

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City

Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

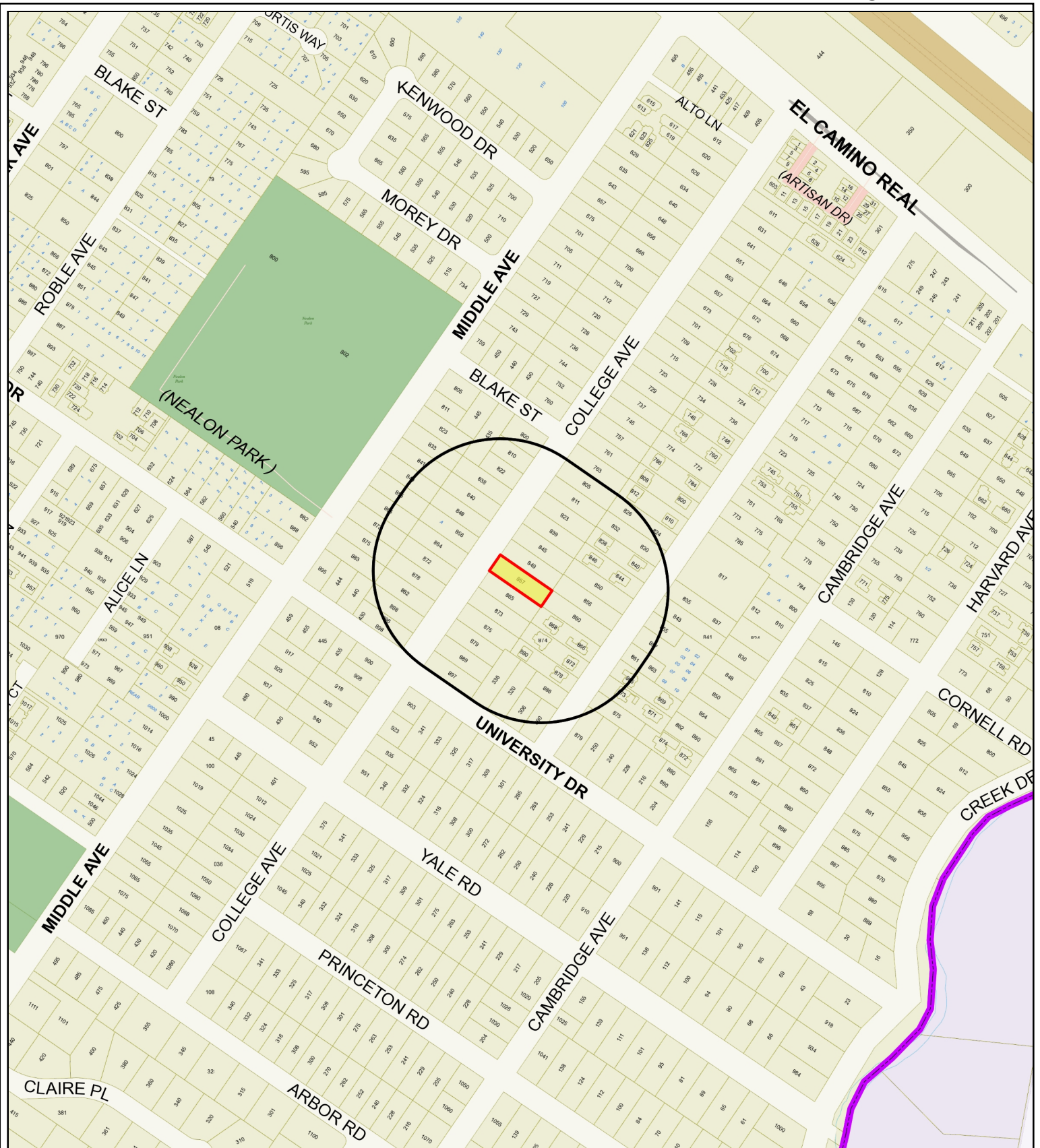
None

Report prepared by:
Corinna Sandmeier, Associate Planner

Report reviewed by:
Thomas Rogers, Principal Planner

857 College Avenue – Attachment A: Recommended Actions

LOCATION: 857 College Avenue	PROJECT NUMBER: PLN2017-00005	APPLICANT: Bryan Baskin	OWNER: Bryan Baskin
REQUEST: Request for a use permit to demolish an existing one-story, single-family residence and construct a new two-story single-family residence on a substandard lot with respect to lot width in the R-1-U (Residential Urban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: May 8, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Spiegel Aihara Workshop, consisting of 17 plan sheets, dated received April 5, 2017, and approved by the Planning Commission on May 8, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Kielty Arborist Services, LLC dated revised April 4, 2017. 			



CITY OF
MENLO PARK

City of Menlo Park Location Map



Scale: 1:4,000

Drawn By: CDS

Checked By: CDS

Date: 5/8/2017

Sheet: 1

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	7,827.0 sf	7,827 sf	7,000.0 sf min.
Lot width	48.0 ft.	48.0 ft.	65.0 ft. min.
Lot depth	163.0 ft.	163.0 ft.	100.0 ft. min.
Setbacks			
Front	20.0 ft.	30.0 ft.	20.0 ft. min.
Rear	61.7 ft.	68.0 ft.	20.0 ft. min.
Side (left)	7.1 ft.	5.0 ft.	5.0 ft. min.
Side (right)	5.5 ft.	12.5 ft.	5.0 ft. min.
Building coverage	2,002.6 sf 25.6 %	2,008.0 sf 25.7 %	2,739.5 sf max. 35.0 % max.
FAL (Floor Area Limit)	3,005.9 sf	1,785.0 sf	3,006.8 sf max.
Square footage by floor	1,539.8 sf/1 st floor 1,220.8 sf/2 nd floor 245.3 sf/garage 217.5 sf/porches	1,424.0 sf/1 st floor 361.0 sf/garage 153.0 sf/porch	
Square footage of buildings	3,223.4 sf	1,938.0 sf	
Building height	28.0 ft.	17.2 ft.	28.0 ft. max.
Parking	1 covered/1 uncovered	1 covered/1 uncovered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 5*	Non-Heritage trees: 5**	New Trees: 4
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 2	Total Number of Trees: 12
*Two of the heritage trees are located on the neighboring property to the south ** One of the non-heritage trees is located in front of the property			

BASKIN RESIDENCE

857 College Ave, Menlo Park, CA 94025
 APN: 071-404-070

DEVELOPMENT PERMIT SET

DRAWING LIST		
Drawing #	Drawing Name	Scale
G100	COVER SHEET	NTS
A000	AREA PLAN	1/16" = 1'
A001	SITE PLAN - PROPOSED	1/8" = 1'
AX100	EXISTING FLOOR PLAN	1/4" = 1'
AX200	EXTERIOR ELEVATIONS - EXISTING	1/4" = 1'
AX201	EXTERIOR ELEVATIONS - EXISTING	1/4" = 1'
AX202	EXTERIOR ELEVATIONS - EXISTING	1/4" = 1'
A100	PROPOSED PLAN- 1ST FLOOR	1/4" = 1'
A101	PROPOSED PLAN-- 2ND FLOOR	1/4" = 1'
A102	PROPOSED PLAN-- ROOF	1/4" = 1'
A103	PROPOSED SQUARE FOOTAGE CALCULATION PLAN	1/4" = 1'
A200	ELEVATIONS - PROPOSED	1/4" = 1'
A201	ELEVATIONS - PROPOSED	1/4" = 1'
A202	ELEVATIONS - PROPOSED + STREETSCAPE	AS NOTED
A300	SECTIONS - PROPOSED	1/4" = 1'
L100	LANDSCAPE PLAN - PROPOSED	1/8" = 1'
C.0	TOPOGRAPHIC SURVEY (WEC & ASSOCIATES)	1" = 10'

SAW
SAW & ASSOCIATES, ARCHITECTS
 2251 ROCK AVENUE, SUITE 100, MENLO PARK, CA 94025
 650.326.8800
 www.sawarchitects.com



REVISIONS

BASKIN RESIDENCE

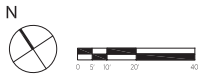
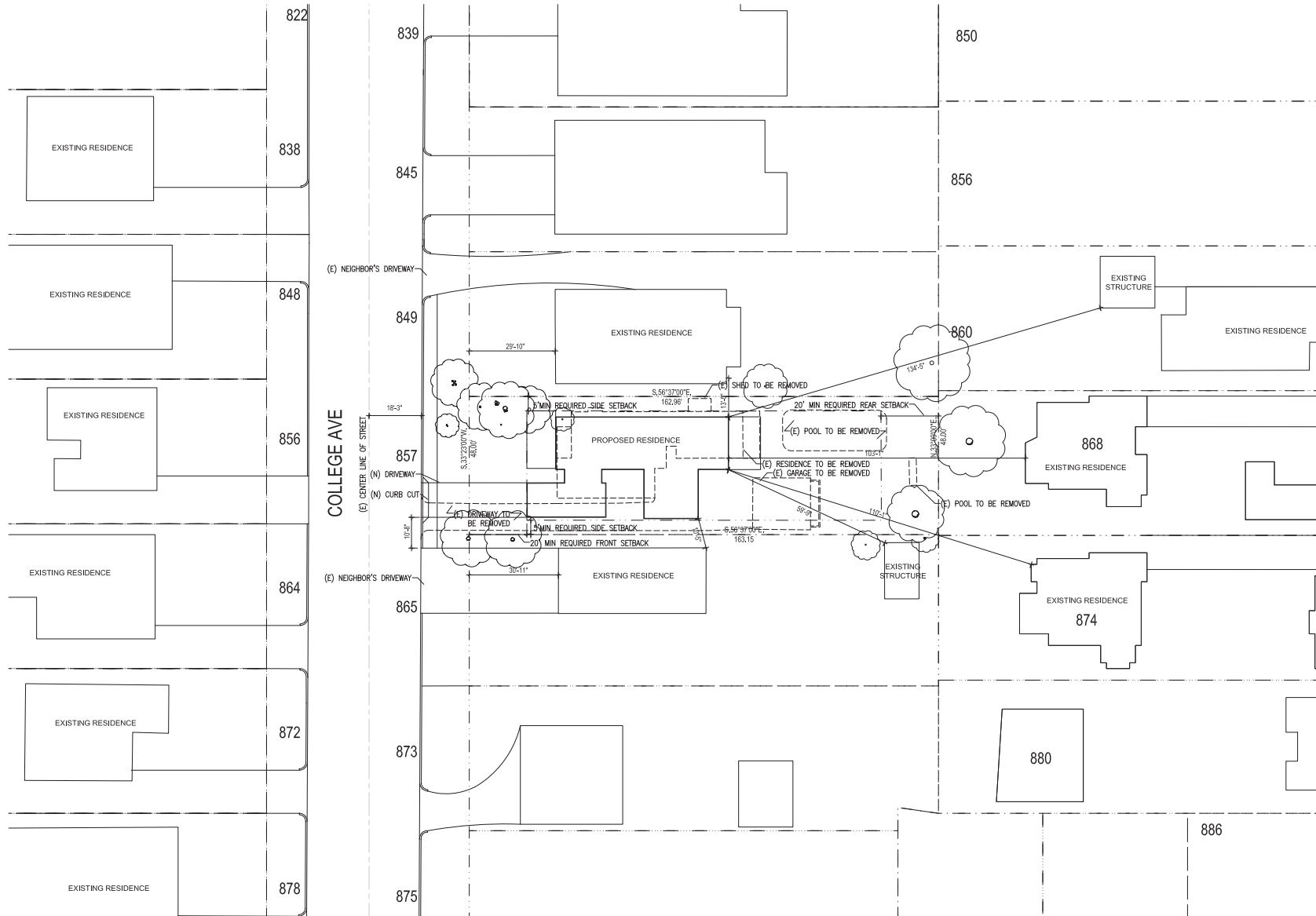
857 COLLEGE AVENUE,
 MENLO PARK, CA 94025

DEVELOPMENT PERMIT SET

COVER SHEET

Date: March 24, 2017
 Drawn By: SL
 Checked By: DS

G100
 Scale: NTS



AREA PLAN
PROPOSED

1
1/16"=1'-0"

SAW
SAW ARCHITECTURE
 225 S. 4TH ST. STE. 1000
 SAN FRANCISCO, CA 94103
 WWW.SAWARCHITECTURE.COM



REVISIONS

BASKIN RESIDENCE

857 COLLEGE AVENUE,
MENLO PARK, CA 94025

DEVELOPMENT PERMIT SET

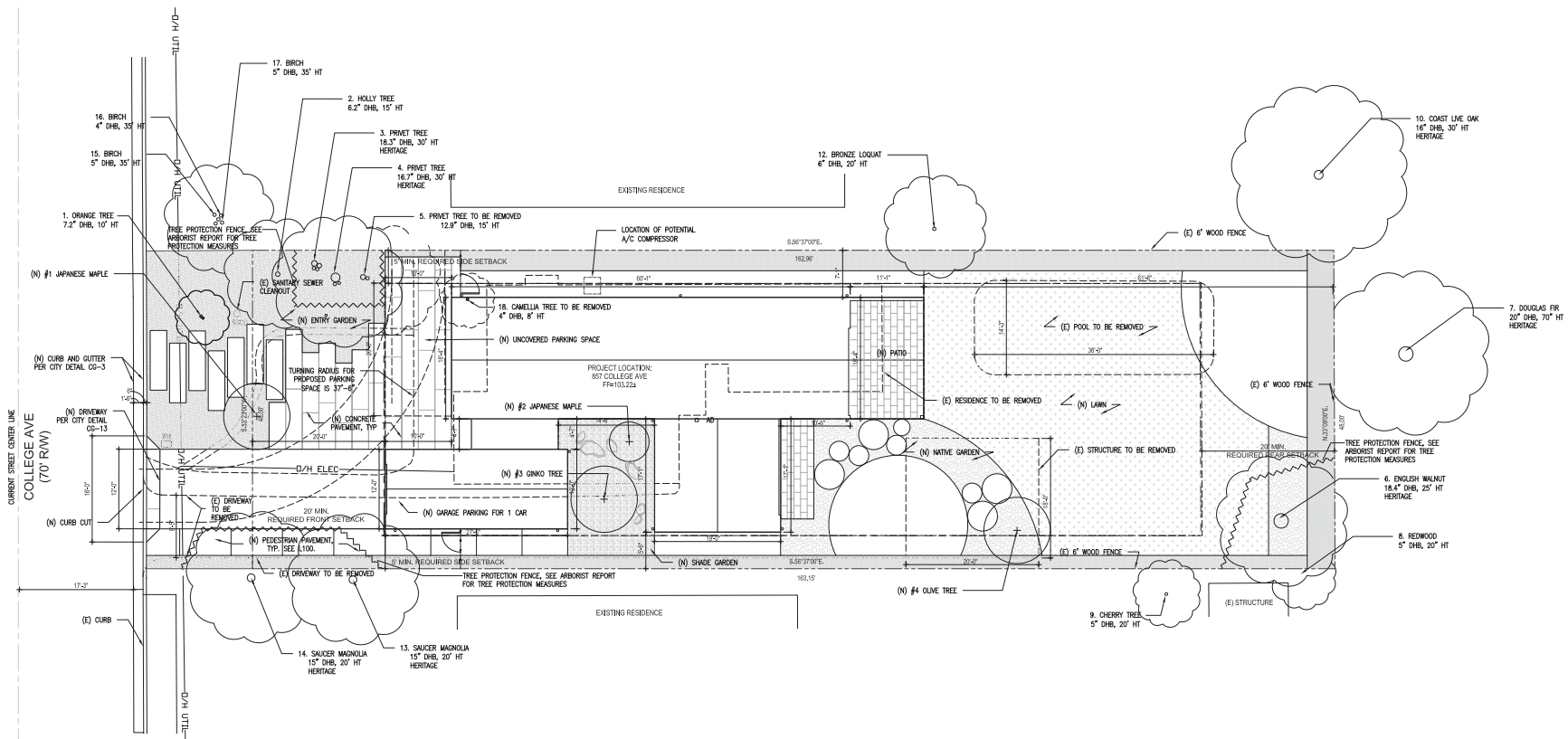
AREA PLAN - PROPOSED

Date: March 7, 2017
 Drawn By: SL
 Checked By: DS

A000
 Scale: 1/16"=1'-0"



1225 S. FAULSTICH STREET, FORTY-FIVE
 94025 MENLO PARK, CALIFORNIA
 WWW.SAWARCHITECTS.COM



SITE PLAN
 PROPOSED PLAN



NOTE:
 1. SEE ARBORIST REPORT FOR EXISTING TREE INVENTORY.
 2. SEE L100 FOR LANDSCAPE MATERIALS AND PLANTING.

SITE ANALYSIS ZONING: R-1-U		
	EXISTING / SQ FT	PROPOSED / SQ FT
LOT AREA	7827	
ALLOWABLE FLOOR AREA	2800+25%(X)(7827-7000) = 3006.75	
ALLOWABLE SECOND FLOOR FAL	1400	
ALLOWABLE BUILDING COVERAGE	7827X35%=2739.45 35%	
FIRST FLOOR AREA	(1424 HOUSE+361 GARAGE) 1785	1785
SECOND FLOOR AREA	0	1221
TOTAL FLOOR AREA	1820	3006
LAND COVERED BY STRUCTURES	(HOUSE+GARAGE +153 COVERED PORCH) 1938 25%	(HOUSE+COVERED PORCH) 2002.6 26%
LANDSCAPING	1935 25 %	4710 60%
PAVED SURFACES	3903 50 %	1301 17%
PARKING SPACES	1 COV/1 UNCOV	1 COV/1 UNCOV

REVISIONS

BASKIN RESIDENCE

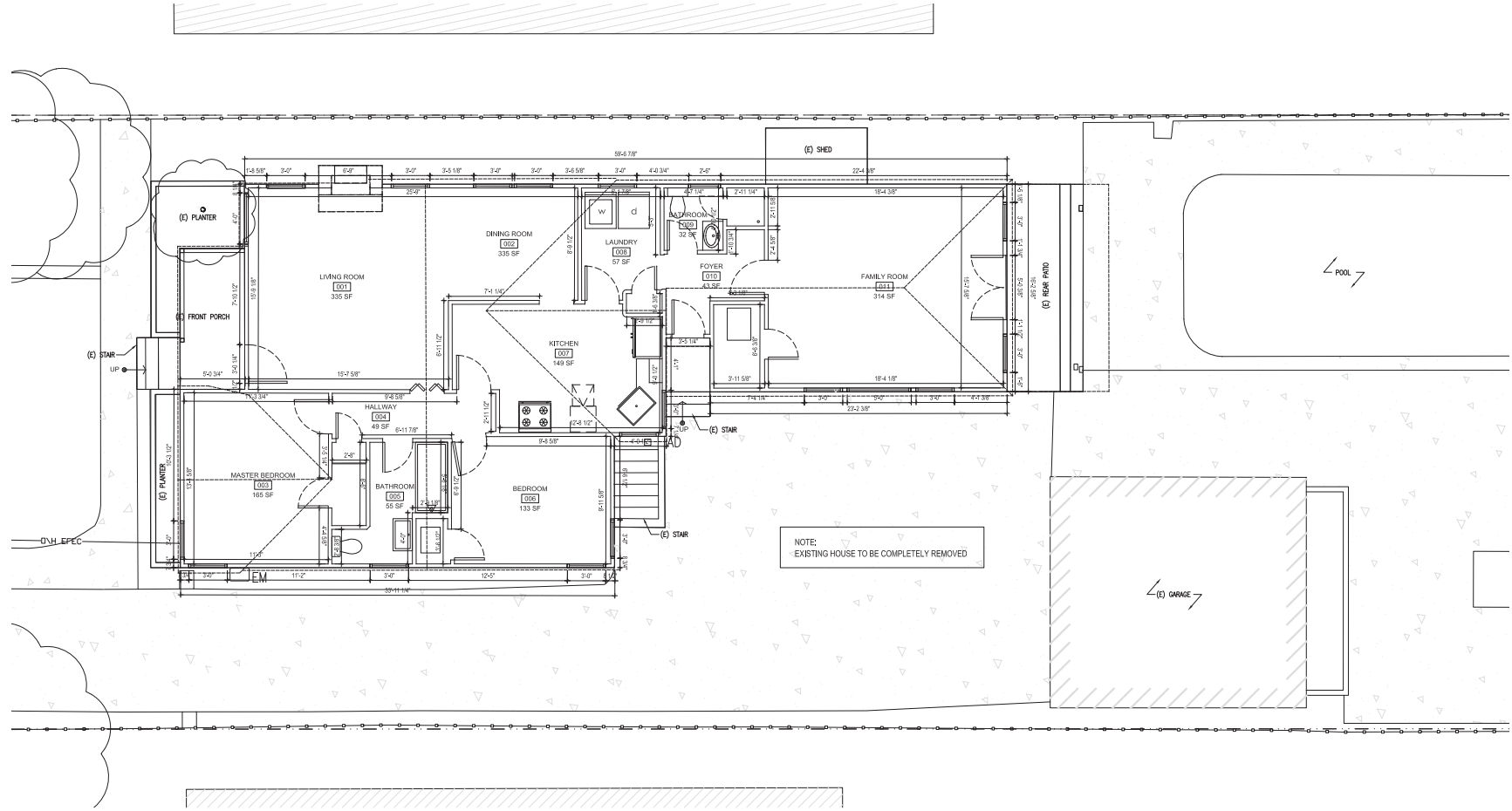
857 COLLEGE AVENUE,
 MENLO PARK, CA 94025

DEVELOPMENT PERMIT SET

SITE PLAN - PROPOSED

Date: April 26, 2017
 Drawn By: SL
 Checked By: DS

A001
 Scale: 1/8" = 1'-0"



NOTE:
 EXISTING HOUSE TO BE COMPLETELY REMOVED



FLOOR PLAN- 1ST FLOOR

EXISTING FLOOR PLAN

1
 1/4"=1'-0"



REVISIONS

BASKIN RESIDENCE

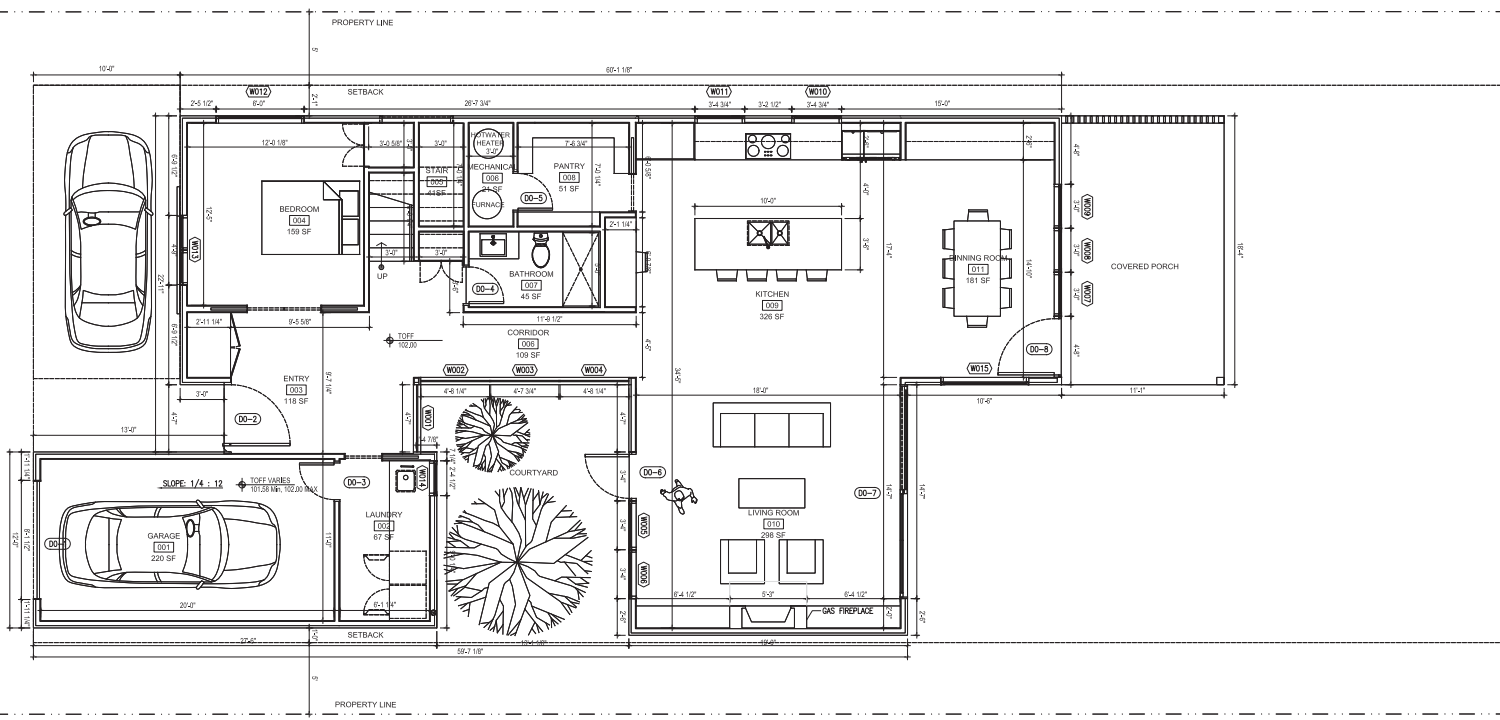
857 COLLEGE AVENUE,
 MENLO PARK, CA 94025

DEVELOPMENT PERMIT SET

EXISTING FLOOR PLAN

Date: March 24, 2017
 Drawn By: CD
 Checked By: DS

AX100
 Scale: 1/4" = 1'-0"



FLOOR PLAN- 1ST FLOOR
 PROPOSED FLOOR PLAN



REVISIONS

BASKIN RESIDENCE

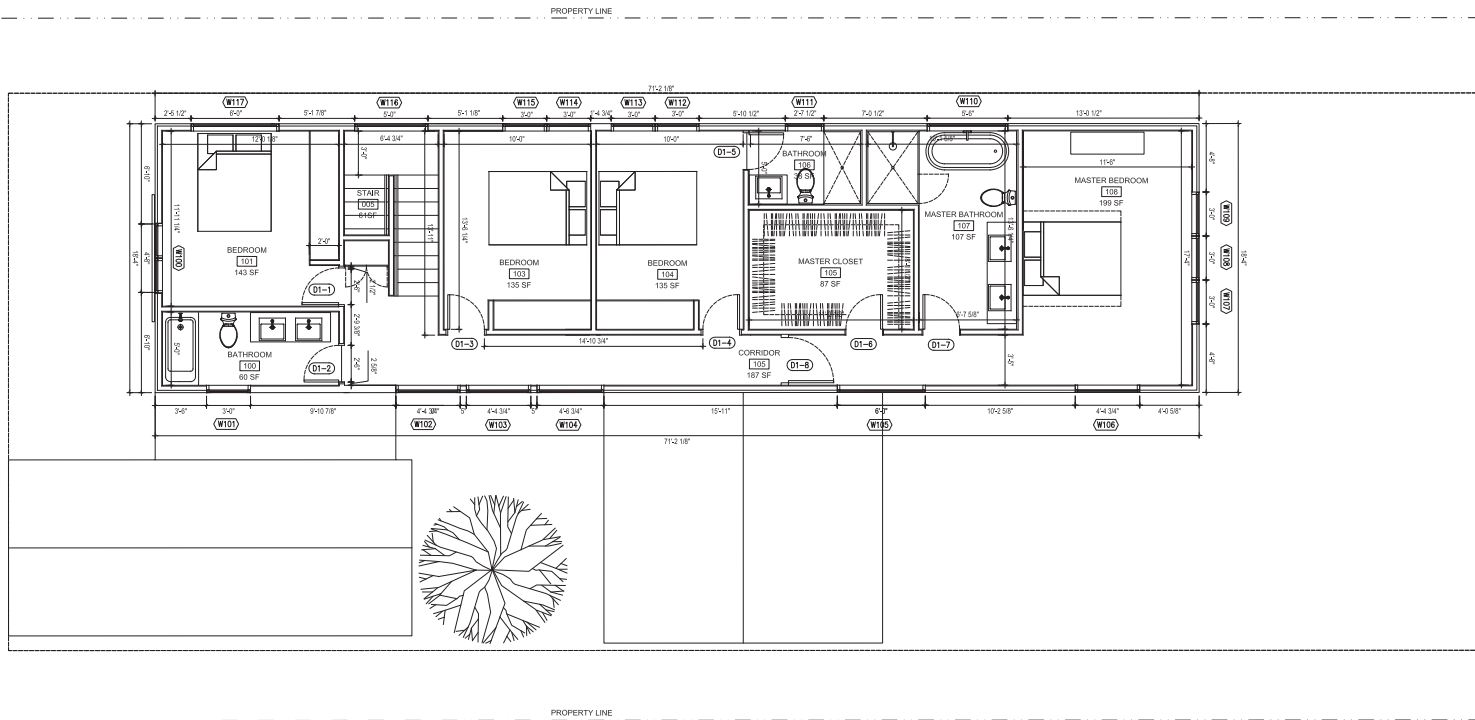
857 COLLEGE AVENUE,
 MENLO PARK, CA 94025

DEVELOPMENT PERMIT SET

PROPOSED PLAN
 +1ST FLOOR

Date: March 7, 2017
 Drawn By: DS
 Checked By: DS

A100
 Scale: 1/4" = 1'-0"



FLOOR PLAN- 2ND FLOOR

PROPOSED FLOOR PLAN

1
 1/4"=1'-0"



REVISIONS

BASKIN RESIDENCE

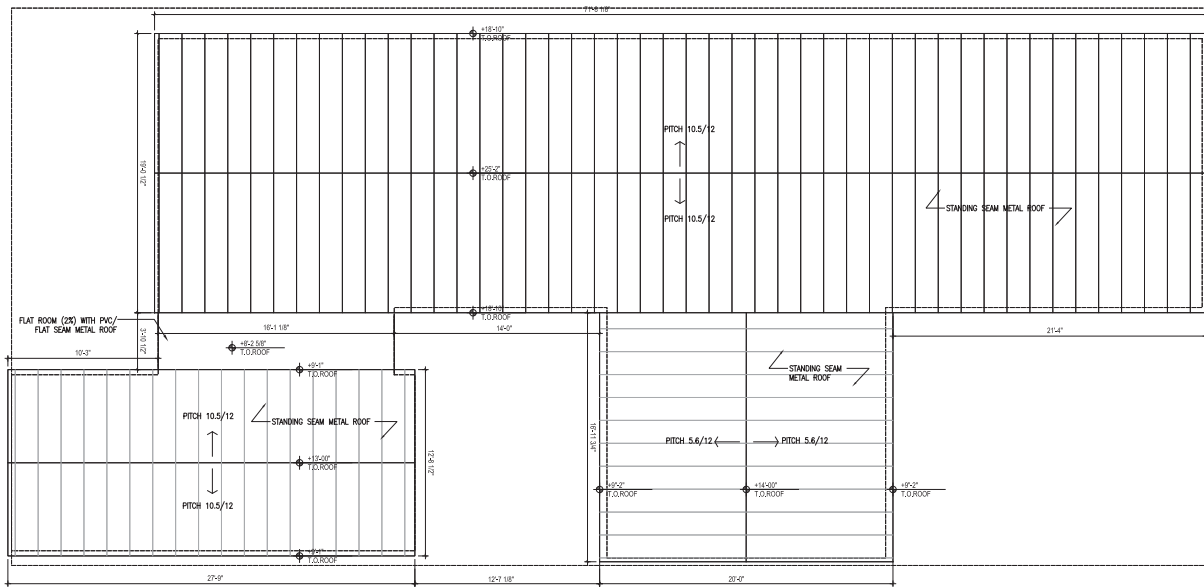
857 COLLEGE AVENUE,
 MENLO PARK, CA 94025

DEVELOPMENT PERMIT SET

PROPOSED PLAN
 *2ND FLOOR

Date: March 24, 2017
 Drawn By: DS
 Checked By: DS

A101
 Scale: 1/4" = 1'-0"



ROOF PLAN
 PROPOSED FLOOR PLAN

1
 1/4" = 1'-0"



REVISIONS

BASKIN RESIDENCE

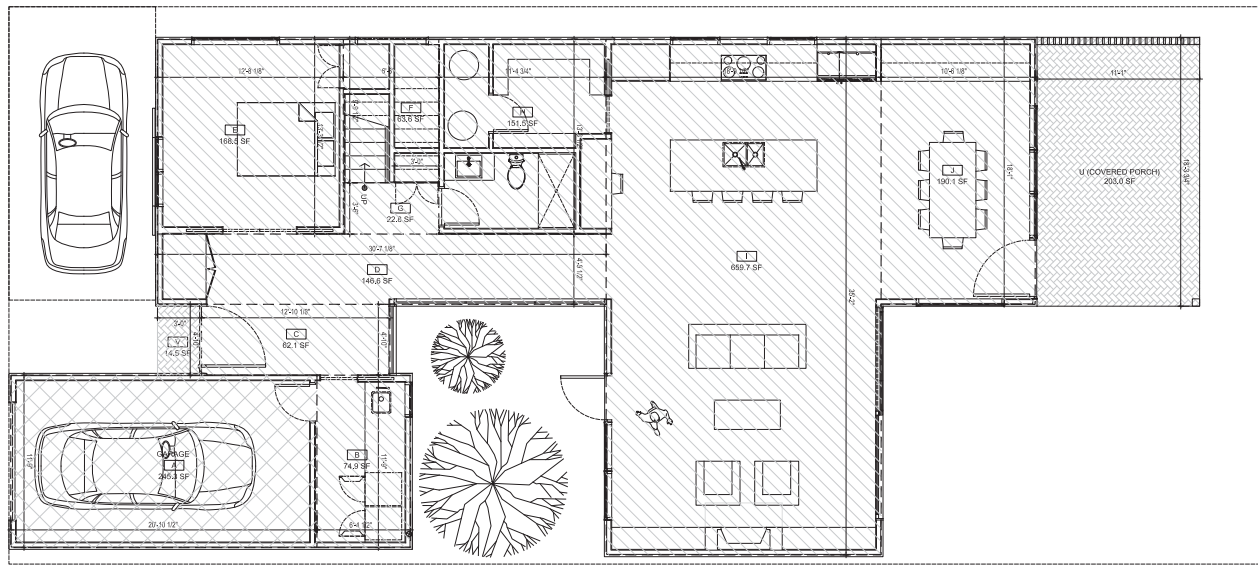
857 COLLEGE AVENUE,
 MENLO PARK, CA 94025

DEVELOPMENT PERMIT SET

PROPOSED PLAN
 - ROOF

Date: March 7, 2017
 Drawn By: SL
 Checked By: DS

A102
 Scale: 1/4" = 1'-0"



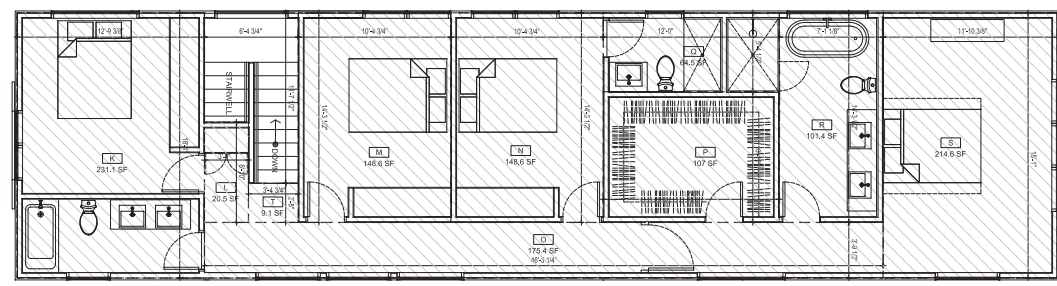
SQUARE FOOTAGE CALCULATION:

AREA	DIMENSIONS	SF
A (GARAGE)	20'-10 1/2" X 11'-9"	245.3
B	6'-4 1/2" X 11'-9"	74.9
C	12'-10 1/2" X 4'-10"	62.1
D	30'-7 1/2" X 4'-9 1/2"	146.6
E	12'-8 1/2" X 13'-3 1/2"	168.5
F	9'-9 1/2" X 6'-6"	63.6
G	3'-6" X 6'-6"	22.8
H	11'-4 1/2" X 13'-3 1/2"	151.5
I	35'-2" X 18'-9 1/2"	659.7
J	10'-6 1/2" X 18'-1"	190.1
K	12'-9 1/2" X 18'-1"	231.1
L	6'-10" X 3'-0"	20.5
M	10'-4 3/4" X 14'-3 1/2"	148.6
N	10'-4 3/4" X 14'-3 1/2"	148.6
O	46'-3 1/2" X 3'-9 1/2"	175.4
P	8'-11" X 12'-0"	107
Q	12'-0" X 5'-4 1/2"	64.5
R	7'-1 1/2" X 14'-3 1/2"	101.4
S	18'-1" X 11'-10 1/2"	214.6
T	2'-8" X 3'-4 1/2"	9.1
TOTAL FAL		3005.9



1ST FLOOR SQUARE- FOOTAGE CALCULATION

PROPOSED FLOOR PLAN



BUILDING COVERAGE CALCULATION:

AREA	DIMENSIONS	SF
U(COVERED PORCH)	11'-1" X 18'-3 1/2"	203.0
V(FRONT PORCH)	3'-0" X 4'-10"	14.5
1ST FLOOR		1785.1
TOTAL BUILDING COVERAGE		2002.6



2nd FLOOR SQUARE- FOOTAGE CALCULATION

PROPOSED FLOOR PLAN



REVISIONS

BASKIN RESIDENCE

857 COLLEGE AVENUE,
 MENLO PARK, CA 94025

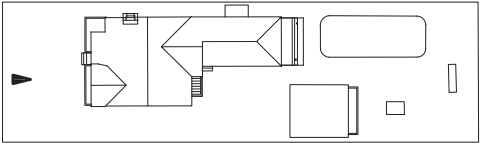
DEVELOPMENT PERMIT SET

PROPOSED SQUARE
 FOOTAGE CALCULATION
 PLAN

Date: April 4, 2017
 Drawn By: SL
 Checked By: DS

A103
 Scale: 1/4" = 1'-0"

SAW
COURTNEY S. WATSON, ARCHITECT
2225 CALIFORNIA STREET, SAN FRANCISCO, CA 94115
WWW.SAWARCHITECTURE.COM



KEY PLAN

N.T.S



REVISIONS

BASKIN
RESIDENCE

857 COLLEGE AVENUE,
MENLO PARK, CA 94025

DEVELOPMENT PERMIT SET

EXTERIOR ELEVATIONS -
EXISTING

Date: March 24, 2017
Drawn By: SL
Checked By: DS

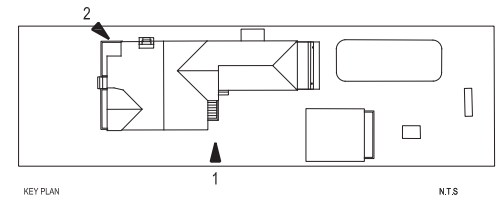
AX200
Scale: N/A

FRONT YARD VIEW OF EXISTING HOUSE - NORTHWEST

SITE PHOTO

1
NOT TO SCALE

SAW
 225 CALIFORNIA STREET, SUITE 200, MENLO PARK, CA 94025
 WWW.SAWARCHITECTS.COM



KEY PLAN 1 N.T.S



SIDE YARD VIEW OF EXISTING HOUSE - NORTH 2
 SITE PHOTO NOT TO SCALE



SIDE YARD VIEW OF EXISTING HOUSE - SOUTHWEST 1
 SITE PHOTO NOT TO SCALE

REVISIONS

BASKIN RESIDENCE

857 COLLEGE AVENUE,
 MENLO PARK, CA 94025

DEVELOPMENT PERMIT SET

EXTERIOR ELEVATIONS -
 EXISTING

Date: March 24, 2017
 Drawn By: SL
 Checked By: DS

AX201
 Scale: N/A

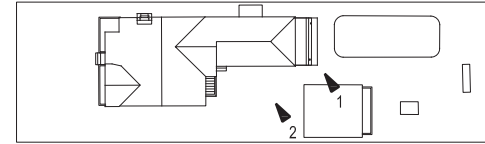


BACK YARD VIEW OF EXISTING HOUSE - SOUTH

SITE PHOTO

2

NOT TO SCALE



KEY PLAN

N.T.S



SIDE YARD VIEW OF EXISTING HOUSE - SOUTH

SITE PHOTO

1

NOT TO SCALE

SAW

CONTRACT NO. 14188-1000000000
 1225 SANTA ANITA STREET, FORTY-FIVE, MENLO PARK, CA 94025
 650-962-2200 FAX 650-962-2202 WWW.DANIELSHAW.COM



REVISIONS

BASKIN RESIDENCE

857 COLLEGE AVENUE,
 MENLO PARK, CA 94025

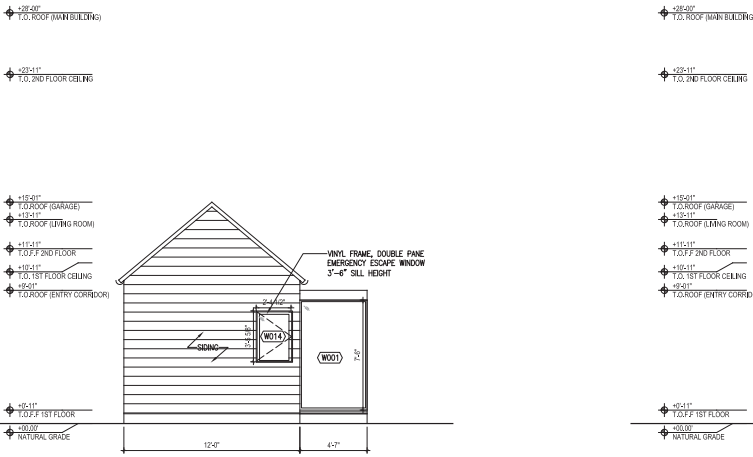
DEVELOPMENT PERMIT SET

EXTERIOR ELEVATIONS -
 EXISTING

Date: March 24, 2017
 Drawn By: SL
 Checked By: DS

AX202

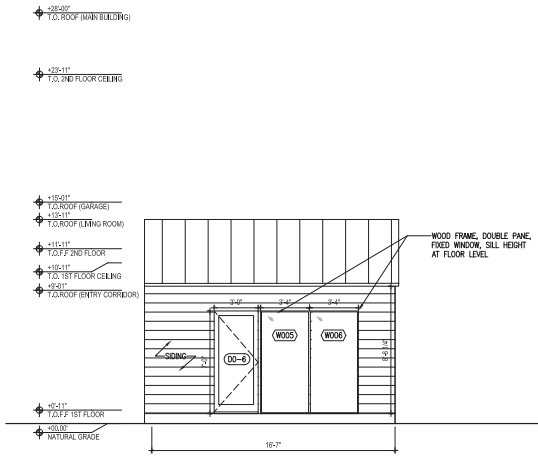
Scale: N/A



COURTYARD WALL- SOUTH-EAST 3

PROPOSED EXTERIOR ELEVATION

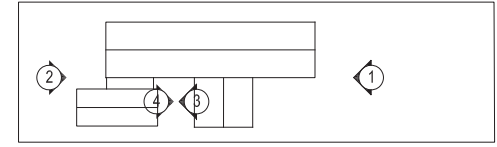
1/4"=1'-0"



COURTYARD WALL-NORTH-WEST 4

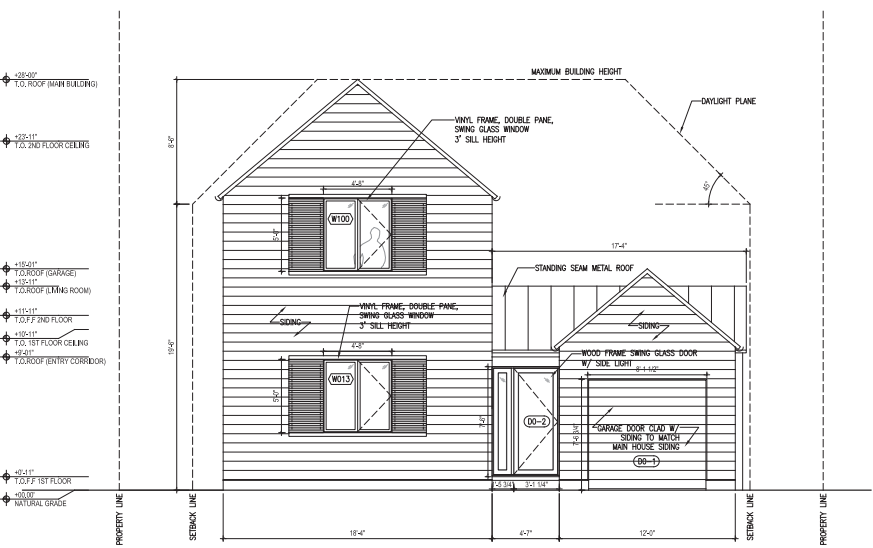
PROPOSED EXTERIOR ELEVATION

1/4"=1'-0"



KEY PLAN

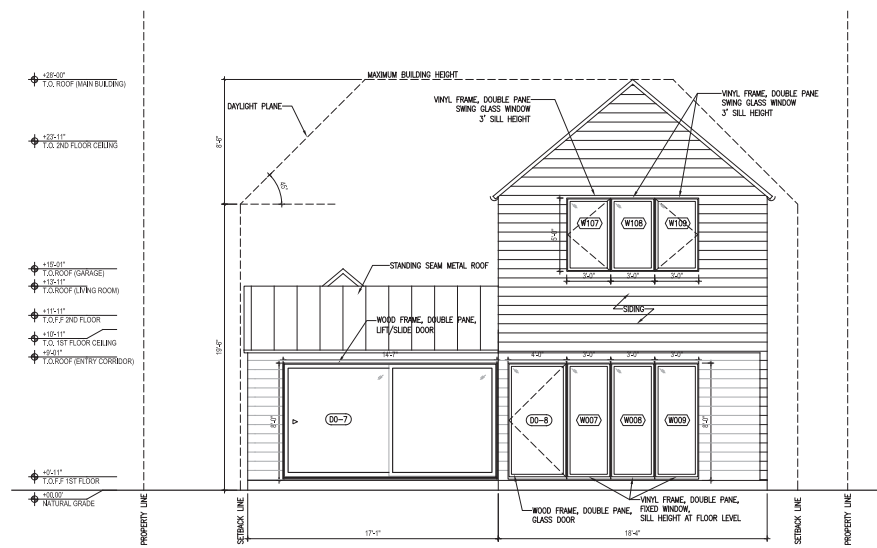
N.T.S.



FRONT- NORTH-WEST 2

PROPOSED EXTERIOR ELEVATION

1/4"=1'-0"



REAR-SOUTH-EAST 1

PROPOSED EXTERIOR ELEVATION

1/4"=1'-0"



REVISIONS

BASKIN RESIDENCE

857 COLLEGE AVENUE, MENLO PARK, CA 94025

DEVELOPMENT PERMIT SET

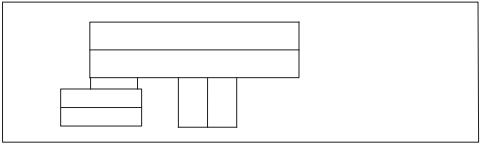
EXTERIOR ELEVATIONS - PROPOSED

Date: March 24, 2017
 Drawn By: DS
 Checked By: DS

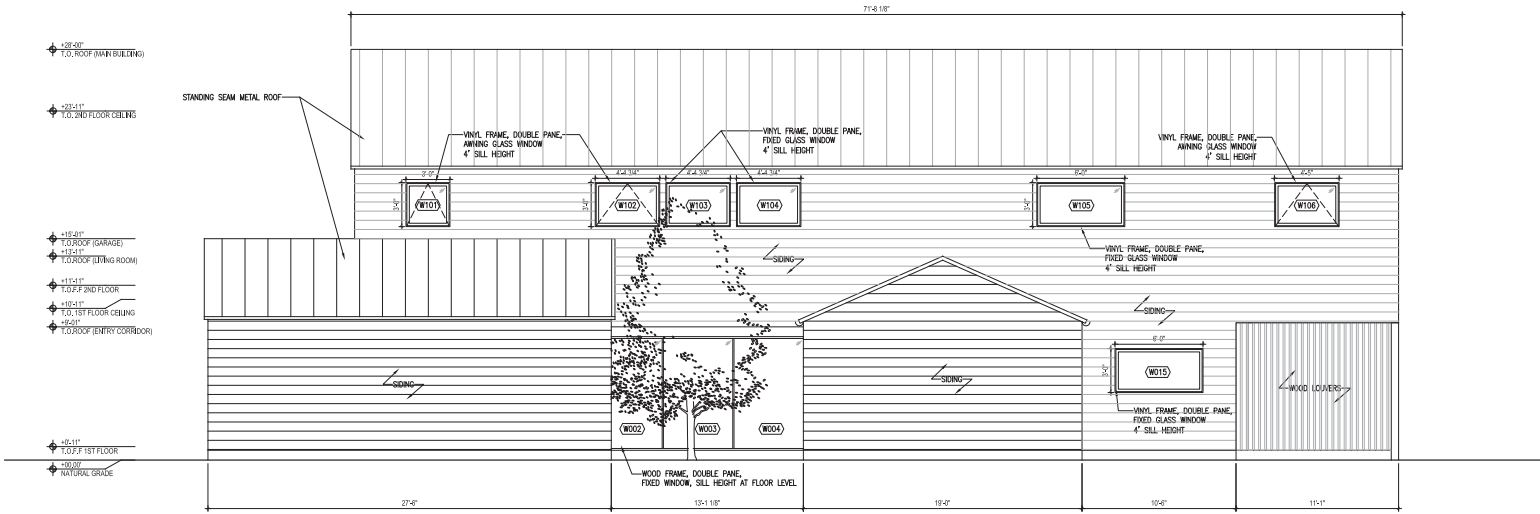
A200

Scale: 1/4" = 1'-0"

SAW
 1225 S. CALIF. ST. | SAN FRANCISCO, CA 94108
 415.774.8228 | www.sawarchitect.com



KEY PLAN
 1
 N.T.S.



RIGHT SIDE-SOUTH-WEST
 PROPOSED EXTERIOR ELEVATION

1
 1/4" = 1'-0"



REVISIONS

BASKIN RESIDENCE

857 COLLEGE AVENUE,
 MENLO PARK, CA 94025

DEVELOPMENT PERMIT SET

EXTERIOR ELEVATIONS -
 PROPOSED

Date: March 7, 2017
 Drawn By: DS
 Checked By: DS

A201
 Scale: 1/4" = 1'-0"



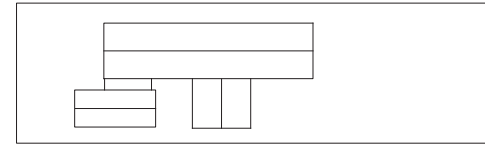
STREETSCAPE

ELEVATION

2
1/16"=1'-0"



2



KEY PLAN

1

N.T.S.

SAW

CONTRACT NO. 14-0000000000
 1225 N. RIVER ST., FOLSOM, CA 95630
 (916) 977-1000



REVISIONS

BASKIN RESIDENCE

857 COLLEGE AVENUE,
 MENLO PARK, CA 94025

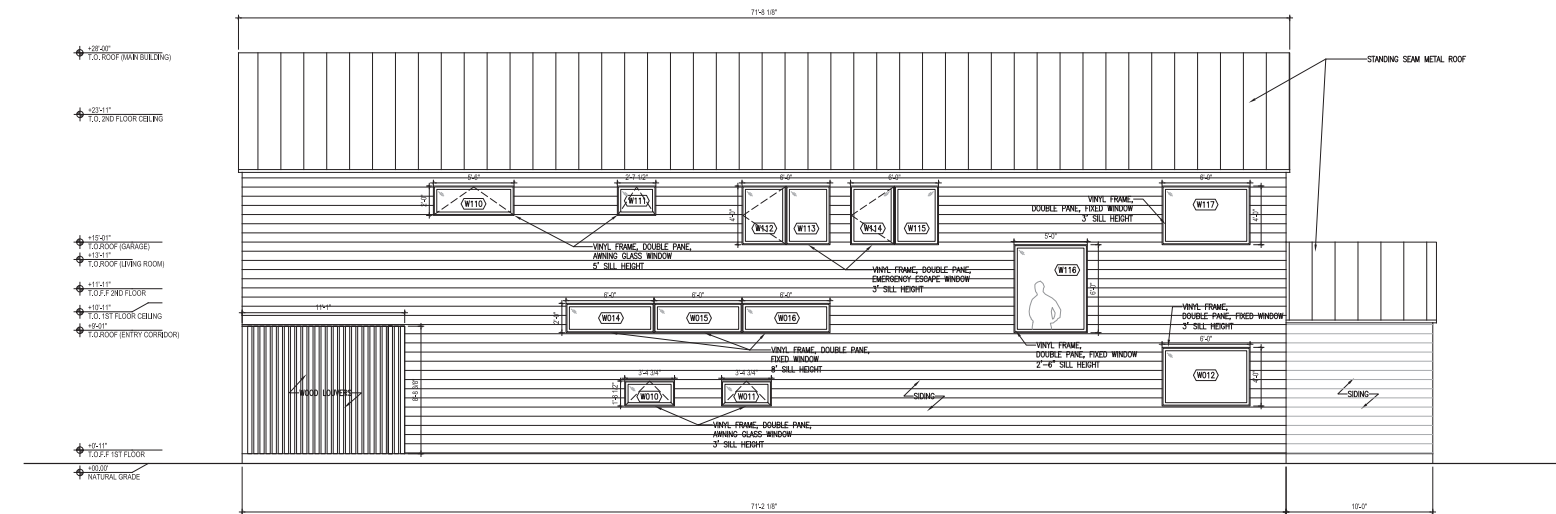
DEVELOPMENT PERMIT SET

EXTERIOR ELEVATIONS
 • PROPOSED + STREETSCAPE

Date: March 24, 2017
 Drawn By: DS
 Checked By: DS

A202

Scale: 1/4" = 1'-0"

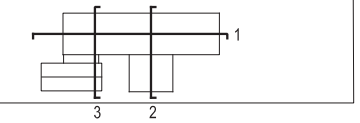


LEFT SIDE-NORTH-EAST

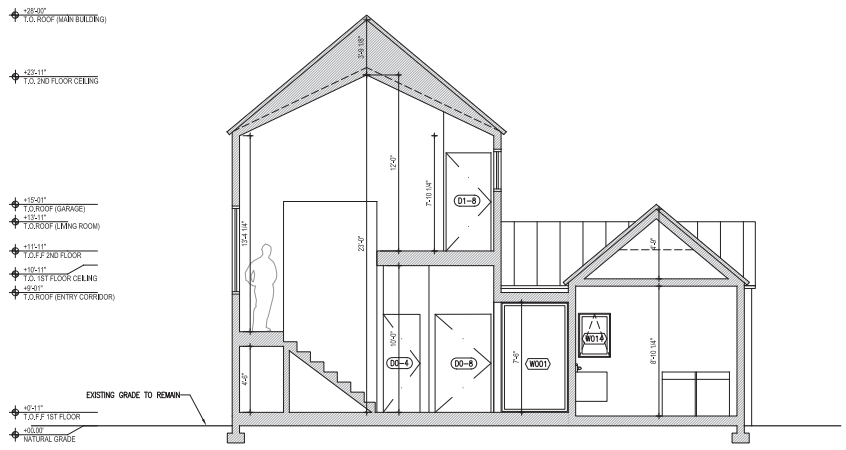
PROPOSED EXTERIOR ELEVATION

1
1/4"=1'-0"





KEY PLAN N.T.S.



STAIRWAY & GARAGE SECTION

3

PROPOSED SECTION

1/4"=1'-0"



FAMILY ROOM SECTION

2

PROPOSED SECTION

1/4"=1'-0"



LONG SECTION

1

PROPOSED SECTION

1/4"=1'-0"



REVISIONS

BASKIN RESIDENCE

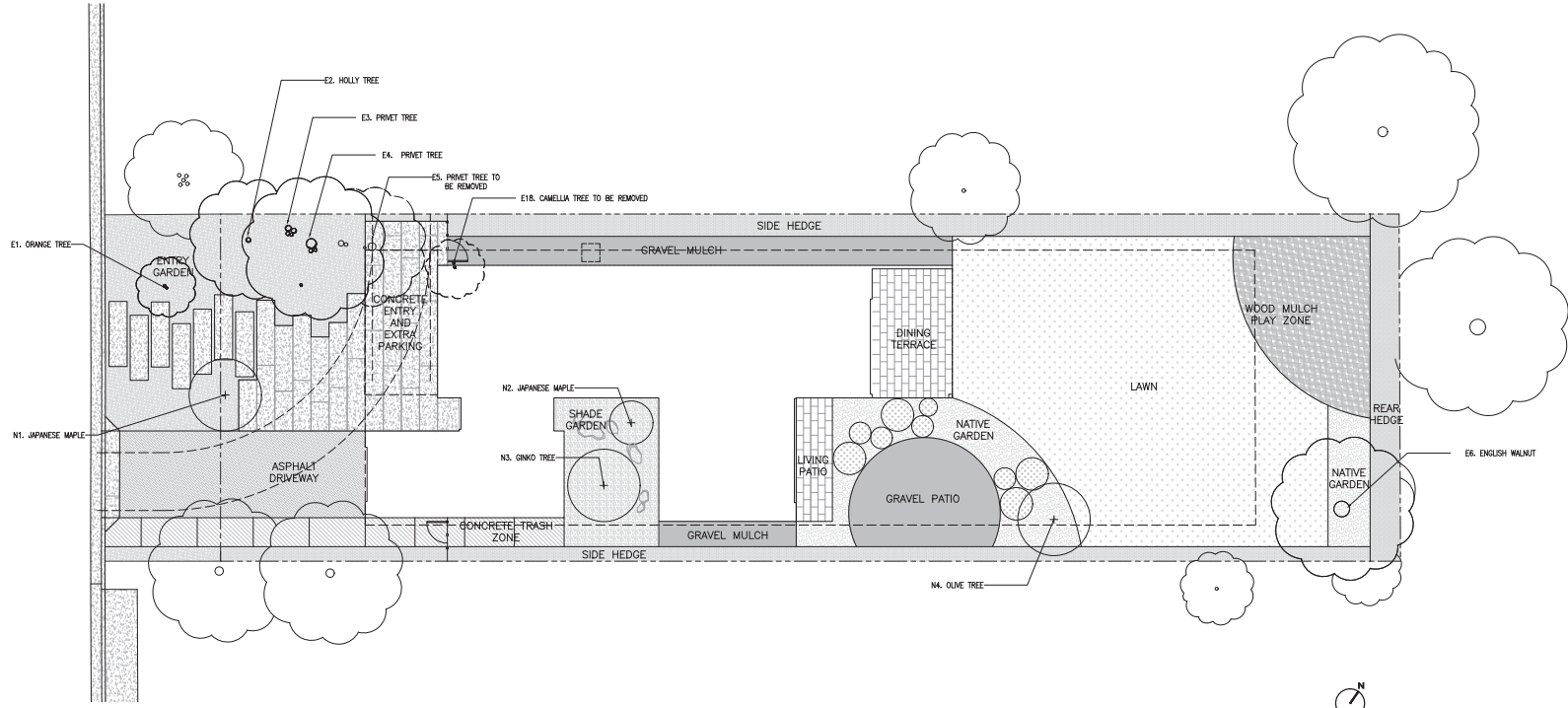
857 COLLEGE AVENUE,
 MENLO PARK, CA 94025

DEVELOPMENT PERMIT SET

SECTIONS - PROPOSED

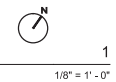
Date: March 24, 2017
 Drawn By: SL
 Checked By: DS

A300
 Scale: 1/4" = 1'-0"



PRELIMINARY LANDSCAPE PLAN

PROPOSED PLAN



IMPERVIOUS SURFACE CALCULATION

ZONE	SYMB.	ITEM	AREA/ SF
1	[Pattern]	CONCRETE ENTRY & EXTRA PARKING (CIP Concrete Pavement - Vehicular)	581
2	[Pattern]	ASPHALT DRIVEWAY	240
3	[Pattern]	CONCRETE TRASH ZONE (CIP Concrete Pavement - Pedestrian)	190
4	[Pattern]	DINING TERRACE+LIVING PATIO	290
			Total:1301

LANDSCAPE ZONE

ZONE	SYMB.	ITEM	AREA/ SF
1	[Pattern]	ENTRY GARDEN	309
2	[Pattern]	SHADE GARDEN	276
3	[Pattern]	NATIVE GARDEN	357
4	[Pattern]	LOW WATER LAWN	1743
5	[Pattern]	SIDE HEDGE	747
6	[Pattern]	REAR HEDGE	197
7	[Pattern]	PLAY ZONE	373
8	[Pattern]	GRAVEL PATIO+GRAVEL MULCH	708
			Total:4710

TREE INVENTORY

PROPOSED TREES				
NO.	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE	MATURE SIZE
N1	Japanese Maple	Acer palmatum	36" box	15-20' tall and wide
N2	Japanese Maple	Acer palmatum	36" box	10' tall and wide
N3	Ginkgo tree	Ginkgo biloba	48" box	15-30' tall and wide
N4	Olive tree	Olea europaea	48" box	15-20' tall and wide

EXISTING TREES						
NO.	COMMON NAME	SCIENTIFIC NAME	SIZE	HERITAGE	NOTE	ARBORIST REPORT TREE #
E1	Orange tree	Citrus spp.	7.2" DHB, 10' HT	N	Existing tree to remain	1
E2	Holly	Ilex aquifolium	6.2" DHB, 15' HT	N	Existing tree to remain	2
E3	Privet	Ligustrum japonicum	18.3" DHB, 30' HT	Y	Existing tree to remain	3
E4	Privet	Ligustrum japonicum	16.7" DHB, 30' HT	Y	Existing tree to remain	4
E5	Privet	Ligustrum japonicum	12.9" DHB, 15' HT	N	Tree to be removed	5
E6	English walnut	Juglans regia	18.4" DHB, 25' HT	Y	Existing tree to remain	6
E18	Camellia tree	Camellia spp.	4" DHB, 8' HT	N	Tree to be removed	18

NOTE:
 SEE SEPARATE WATER BUDGET CALCULATION
 ESTIMATED TOTAL WATER USE (ETWU) < MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

REVISIONS

BASKIN RESIDENCE

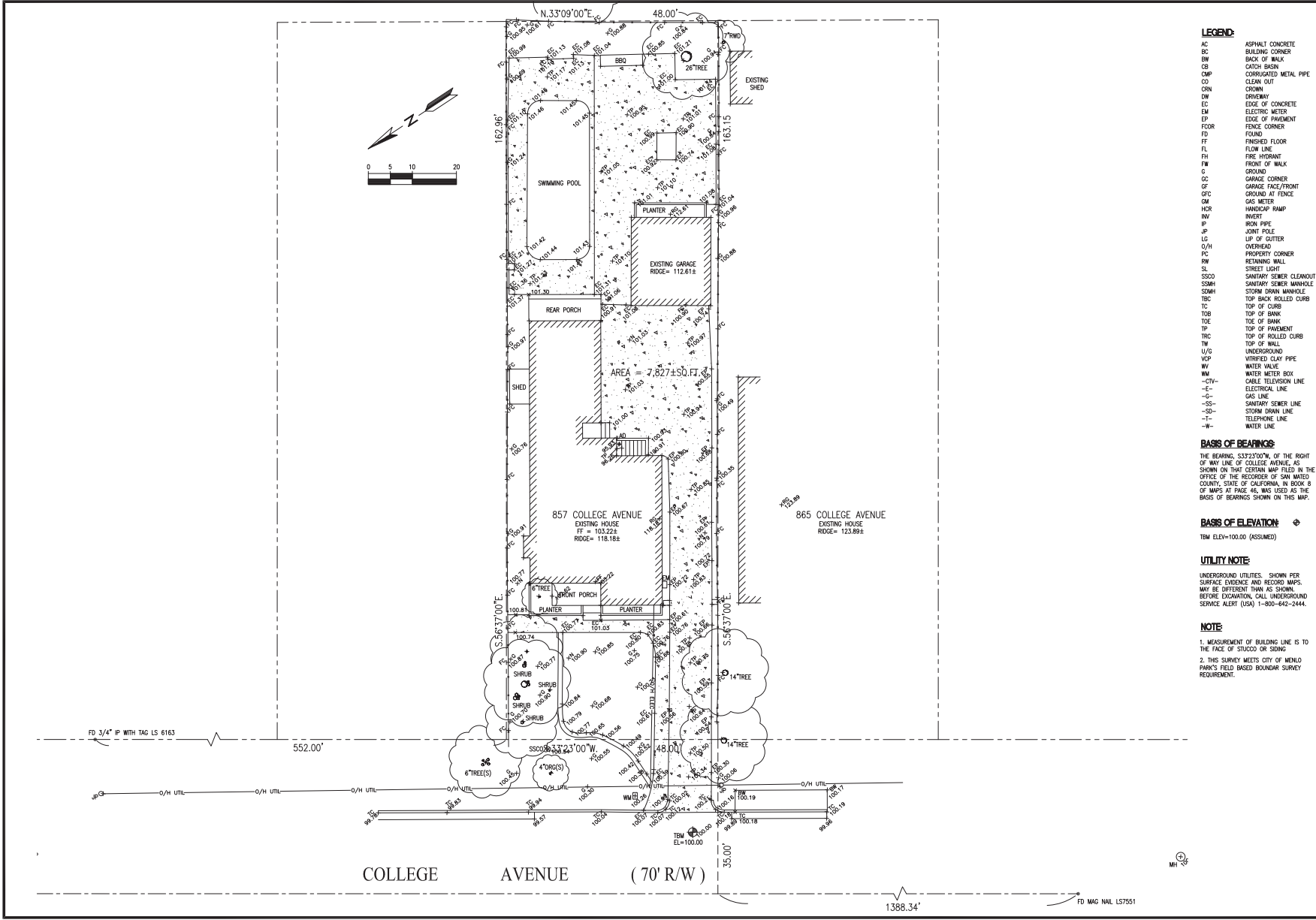
857 COLLEGE AVENUE,
 MENLO PARK, CA 94025

DEVELOPMENT PERMIT SET

LANDSCAPE PLAN
 -PROPOSED

Date: April 17, 2017
 Drawn By: MA
 Checked By: MA

L100
 Scale: 1/8" = 1'-0"



LEGEND:

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- OB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- DRW DROPPED
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FC FENCE CORNER
- FOR FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FI FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND
- GC GARAGE CORNER
- GF GARAGE FACE/FRONT
- GRD GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- HW HURDLE
- IP IRON PIPE
- JR JOINT ROPE
- LG LIP OF GUTTER
- OH OVERHEAD
- PC PROPERTY CORNER
- RW RETAINING WALL
- SL SHELLED LIGHT
- SS00 SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDM STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TBR TOP OF BANK
- TOE TOE OF BANK
- TP TOP OF PAVEMENT
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CIV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

BASIS OF BEARINGS

THE BEARING, S33°21'00"W, OF THE RIGHT OF WAY LINE OF COLLEGE AVENUE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, IN BOOK 8 OF MAPS AT PAGE 46, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION

TM ELEV=100.00 (ASSUMED)

UTILITY NOTE

UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

NOTE

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING.
2. THIS SURVEY MEETS CITY OF MENLO PARK'S FIELD BASED BOUNDARY SURVEY REQUIREMENT.

BASKIN RESIDENCE

857 COLLEGE AVENUE
MENLO PARK, CA
APN: 071-404-070



2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED		
No.	Description	Date

DATE: JUNE 30, 2016
SCALE: 1"=10'
DRAWN: BG
JOB: 10078

SHEET TITLE:

BOUNDARY & SITE SURVEY

SHEET NO.

C.0



January 19, 2017 (Updated May 2, 2017)

**PROJECT DESCRIPTION: 857 COLLEGE AVE
BASKIN RESIDENCE**

This proposal is for a Use Permit for a project consisting of alterations to the property at 857 College Ave, Menlo Park, CA, and includes the following:

The existing single family residence (1,424 sf), garage (361 sf), and pool (502 sf) will be removed. All existing hardscape, and two non-heritage trees will be removed. The existing driveway will be removed and replaced.

The new construction will include a new 2-story single family residence (3,006 sf, including an attached garage) and a 200sf covered patio. The building massing is balanced between a single 1-story area and a 2-story area, with the highest point of the structure at 28ft tall. The building will be clad with light colored horizontal siding, and feature dark bronze wood/vinyl windows, and dark bronze standing seam metal roofs. The proposed landscape features low water native plantings and an overall reduction of hardscape from the existing condition.

The new residence has been designed to take advantage of the natural setting, with particular focus on climate, natural landscape, lighting, ventilation, and energy efficiency. The structures are arranged to be inward facing, orienting views towards a communal central courtyard and away from neighboring properties. The massing is arranged to reduce the bulk of the building from street facing façade, allowing neighbors walking down College Ave to experience the trees towards the back of the property, as well reducing impact on adjacent properties. Painted lap siding, angled slightly to pick up shadows, wraps the exterior, continuously at corners, providing a subtle unifying texture to the building facades. This siding is modified to extend across the garage door, unifying the composition of structures as gathering of living spaces, rather than emphasizing the mechanical nature of the garage.

The house is an extension of the architectural vernacular of traditional Northern California building styles, tracing from farms, ranch style buildings, and the courtyard organization of nearby Eichler homes. The home takes the primary form of the pitched roof farm house and aggregates 3 different scales of this form to provide for modern living arrangements that emerge from the reorganization of traditional forms. At its core, this is a modern home which draws influences from the traditional and vernacular building forms of the region.

The homeowners have conducted extensive outreach to the neighbors - going door to door and presenting drawings - and have received strong support for the proposed project. To date, 13 letters of support have been submitted with the permit application.

Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

December 28, 2016, Revised March 3, 2017, Revised April 4, 2017

SAW//Spiegel Aihara Workshop//

Attn: Megumi Aihara

2325 3rd Street #213

San Francisco, CA 94107

Dear, Megumi Aihara,

As requested on Tuesday, December 13, 2016 I visited the above site to inspect and comment on the trees. A new home is planned for this site and your concern for the future health and safety of the trees has prompted this visit.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

857 College Ave /4/4/17

(2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1	Orange (<i>Citrus spp.</i>)	7.2	60	10/10	Good vigor, good form, good fruit producer.
2	Holly (<i>Ilex aquifolium</i>)	6.2	45	15/8	Poor vigor, poor form, suppressed, in decline.
3P	Privet (<i>Ligustrum japonicum</i>)	18.3	40	30/20	Fair to poor vigor, poor form, codominant at 2 feet with included bark, topped at 10 feet.
4P	Privet (<i>Ligustrum japonicum</i>)	16.7	40	30/20	Poor to fair vigor, poor form, topped at 10 feet.
5	Privet (<i>Ligustrum japonicum</i>)	12.9	40	15/10	Poor vigor, poor form, suppressed, heavy lean. To be removed.
6P	English walnut (<i>Juglans regia</i>)	18.4	45	25/20	Fair vigor, poor form, codominant at 4 feet topped at 15 feet.
7*P	Douglas fir (<i>Pseudotsuga menziesii</i>)	20est	70	60/25	Fair vigor, fair form, 8 feet from property line.
8*	Redwood (<i>Sequoia sempervirens</i>)	5est	80	20/8	Good vigor, good form, 1 foot from property line.
9*	Cherry (<i>Prunus serrulata</i>)	5est	60	20/10	Good vigor, fair form, leans.
10*P	Coast live oak (<i>Quercus agrifolia</i>)	16est	70	30/25	Good vigor, good form, 10 feet from property line.
11*P	Monterey pine (<i>Pinus radiata</i>)	30est	45	35/40	Fair vigor, poor form, loss of apical dominance, multi leader at 10 feet, 20 feet from property line.
12*	Bronze loquat (<i>Eriobotrya deflexa</i>)	6est	45	20/15	Fair to poor vigor, poor form, overgrown by bougainvillea vine.
13*P	Saucer magnolia (<i>Magnolia solangeana</i>)	15est	70	20/15	Good vigor, fair form, well maintained, close to property line, extends into property by 10 feet.

857 College Ave /4/4/17

(3)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
14* P	Saucer magnolia (<i>Magnolia solangeana</i>)	15est	80	20/30	Good vigor, good form, well maintained, close to property line, extends into property by 10 feet.
15*	Birch (<i>Betula pendula</i>)	5-4est	70	35/12	Fair vigor, fair to poor form, codominant at base, 2 feet from property line.
16*	Birch (<i>Betula pendula</i>)	4-4	70	35/12	Fair vigor, fair to poor form, codominant at base, 5 feet from property line.
17*	Birch (<i>Betula pendula</i>)	5-3	70	35/12	Fair vigor, fair to poor form, codominant at base, 3 feet from property line.
18	Camellia (<i>Camellia spp.</i>)	4.0	45	8/6	Poor vigor, poor form, in decline, topped. To be removed

*-Indicates neighbor trees

P-Indicates protected tree by city ordinance

Summary:

The trees on site are a mix of imported and native species. All trees over 15 inches in diameter are considered heritage sized trees in the city of Menlo Park and will require tree protection during all proposed construction activities. Trees #1-6 and #18 are the only trees located on site, the rest of the trees are located on the surrounding neighboring properties. Out of the 7 trees on site only one of them is in fair condition and the rest of them are in poor condition. The only fair tree located on site is orange tree #1. This tree has good vigor and good form, with a good amount of fruit on the tree at the time of inspection. This tree has a diameter of 7.2 inches making it a non protected tree in the city of Menlo Park.

Holly tree #2 is heavily suppressed as it is growing underneath the canopy of privet tree #3. The suppressed conditions have caused the tree to be in a state of decline. As a result the tree received a condition rating of 45 making it a poor tree.

Privet trees #3-5 are in poor condition. These trees have been topped in the past at a height of 10 feet. Topping trees is never recommended as it leads to vigorous watersprout growth. These watersprouts are weakly attached limbs that do not develop the proper branch to trunk unions and as a result are often prone to failure. Also, there is a heavy amount of included bark between the watersprouts. Included bark has formed in the junctions of the watersprout growth where there is a narrow angle union, meaning the junction looks like a "V" rather than a "U." As the tree grows this narrow union will essentially fill with bark and create a growing area of structural weakness in the tree. Even in young trees, when you notice a very narrow angle (creating a "V" at the junction of branches) it is likely that stress put on the either of the codominant stems can cause splitting, or even cause the stem to break off at the junction. As the

watersprouts grow in diameter they have the potential to push against each other often until the point of failure. Trees #3 and #4 are protected trees in the city of Menlo Park and will be retained during construction. Because these trees are protected trees they will need to be protected by tree protection fencing. Fencing will need to be placed at the edge of the proposed concrete entry and extra parking. Privet tree #5 is under the protected size in the city of Menlo Park and will need to be removed to facilitate the construction of the concrete entry and extra parking area. Impacts to the remaining privet trees are expected to be minor to nonexistent. Excavation for the concrete entry and extra parking area must be done by hand when within 15 feet (10 times diameter) of the privet trees. The site arborist shall be called out to the site to document and inspect the work when within 15 feet of the privet trees. Mitigations for minor root loss to the privet trees shall consist of a soaker hose placed underneath the trees driplines. The soaker hose shall be turned on for 5 hours every 2 weeks during the dry season. These trees would also benefit from a onetime fertilization to the root zone.

English walnut tree #6 is located on the property. This tree has a diameter of 18.4 inches making it a protected tree in the city of Menlo Park. This tree like the privet trees has also been topped in the past at a height of 15 feet. As a result of the poor past maintenance creating a poor structure within the tree, the tree was given a poor condition rating of 45. This tree is to be retained. It should be noted that English walnut trees are very sensitive to construction impacts. The root zone of this tree is completely covered by concrete on the west side of the tree. The existing concrete shall stay in place at a distance of 12 feet from the base of the tree where possible throughout the majority of the project, as the concrete offers a considerable amount of protection to the trees root zone. At the end of the project when it is time to remove the concrete, the site arborist shall be called out to the site to document the work. The concrete shall be removed by hand when within 12 feet of this tree. A jackhammer can be used to break the material into small hand manageable sized pieces. The area once covered by concrete is to become a lawn/landscaped area. This will likely benefit the tree as the area will become more favorable for root growth. No tilling or grading shall take place 12 feet from this tree. If the area within 12 feet of this tree needs to be tilled or loosened, it should be done with the use of an air spade in order to leave all roots intact and damage free. If the above recommendations are followed the impacts to the tree are expected to be minor to nonexistent.

Camellia #18 is located on the property in front of the home. This is likely considered a shrub rather than a tree. The camellia is in poor condition and will be removed.

Douglas fir tree #7 is located on the neighbors property to the east at an estimated 8 feet from the property line. This tree is in good condition. The existing hardscapes and pool on the property side likely discouraged root growth of this tree into the property.

Redwood tree #8 is located on the neighbors property to the south. This tree has an estimated diameter of 5 inches and is only 1 foot from the property line. This tree is in good condition and is expected to survive minor impacts as the tree is young. In the future as this tree grows in diameter it will eventually be pushing against the fence and may require the fence to be cut out to allow for growth. Any hardscape to be removed within 10 feet of this tree should be removed by hand.

Coast live oak tree #10 is located 10 feet from the property line to the east. The combination of the set back and the 10 feet from the property line will reduce impacts to the tree as no work can take place in these areas. This tree is a protected tree. The existing property line fence shall serve as tree protection for this tree.

Monterey pine tree #11 is located at 20 feet from the property line to the north. There is an existing pool that has acted as a root barrier for this tree. No roots of significant size are expected to be located on the property.

Tree #12 is a bronze loquat tree on the neighbors property to the north. This tree was given a poor condition rating as a bougainvillea vine has totally taken over the tree.

Saucer magnolia trees #13 and #14 are in good condition. These trees are located on the neighbors property to the south only a few feet from the existing driveway. The canopy of these trees extend into the property by 10 feet. These trees are aesthetically pleasing as they display beautiful flowers in late winter to early spring. Magnolias as a species tend to have heavy surface roots that have the ability to damage paved surfaces. The existing driveway on the property has been damaged by the magnolia roots in the past and is proposed to be replaced as part of the proposed construction. Also, the proposed construction shows the new garage slightly encroaching on the closest magnolia's dripline. The proposed garage should be supported by a shallow slab or by a pier and grade beam foundation. If a shallow slab is used excavation shall stay underneath 8 inches of excavation. If a pier and grade beam is used, grade beam depth shall not exceed 8 inches below grade. In both cases the excavation needed for the proposed foundation of the garage shall be done using hand tools in combination with an air spade. If a pier and grade beam foundation is used all pier locations will need to be hand dug to a depth of 3 feet. All roots encountered shall be exposed by hand and remain damage free for the site arborist to view. The site arborist must be called out to the site 48 hours in advance to witness the excavation for the proposed driveway. If roots are to be cut at a size of 2 inches in diameter or over, the site arborist must be on site to document the work. All roots must be cut cleanly using a hand saw or loppers.

Special driveway construction techniques will need to be taken to ensure the neighbors saucer magnolias will survive with only minor impacts. The existing driveway shall stay in place as long as possible during the construction of the home as the existing driveway is protecting what roots have grown underneath the surface. Even during the construction of the proposed garage the existing driveway shall stay in place. Only the small portion of the existing driveway shall be removed to facilitate the construction of the garage. At the end of the project when it is time to start the construction of the new driveway, all existing driveway material must be removed by hand. A jack hammer can be used to break the material into small hand manageable sized pieces. All existing base rock material also must be removed by hand. Once the driveway material has been removed all needed excavation for the proposed driveway shall be done with the use of an air spade in combination with hand tools. No roots shall be damaged during the excavation for the new driveway. All roots must remain exposed and damage free for the site arborist to view. The base rock material for the driveway shall consist of Structural Soil.

Structural Soil can be packed around all existing roots and compacted to engineering standards while still allowing for future root growth. This will eliminate the need to cut roots in the required base rock area, thus lowering the overall impacts to the trees. All excavation need for the driveway shall stay as minimal as possible. The site arborist will need to be on site to document the excavation and installation of the structural soil. Once structural soil and leveling sand have been installed, concrete or asphalt will be installed on top of the structural soil/leveling sand. The structural soil shall cover all existing roots so that no roots need to be cut to facilitate the new driveway. This will significantly reduce impacts the neighbor's trees. All exposed roots during the driveway construction shall be covered with burlap if exposed for longer than 1 hour. The burlap shall be sprayed with water every few hours to ensure roots do not dry out. The proposed driveway area will be slightly further away from the neighbor's trees when compared to the existing site.

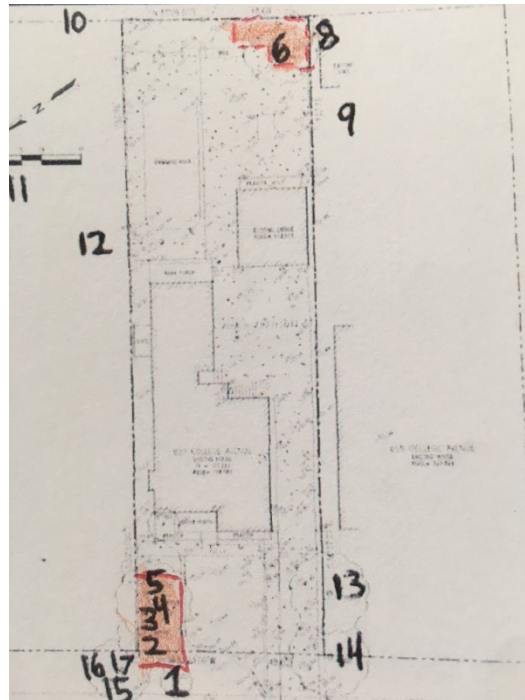
The plan shows a concrete path ("trash zone") between the new driveway and property line. The concrete path is to be constructed using pedestrian pavement that only requires 4-5 inches of base rock material. If possible since the existing driveway is at the property line, the existing base rock material underneath the existing driveway shall be re-used, so that no extra excavation is needed. This will significantly reduce impacts as the only excavation needed will be the removal of the top layer of the existing driveway. If it is not possible to reuse the existing base rock, all excavation needed for the concrete path must take place by hand. No roots will be allowed to be cut when this close to the neighbor's trees. The base rock material must consist of structural soil. Structural soil can be packed around all existing roots and compacted to engineering standards while still allowing for future root growth. All pathway material shall be constructed on top of the structural soil so no roots need to be cut.

If the above recommendations for the driveway, garage, and concrete path are taken into account, the impacts to the neighbor's saucer magnolia trees should be minor. Mitigations for minor root loss will consist of a soaker hose placed at the property line. The soaker hose shall be turned on for 5 hours every 2 weeks. During the construction if roots are impacted the trees may need to be deep watered by a licensed tree care provider. This will be determined by the site arborist during the site visit to document the garage foundation, driveway work, and concrete path work. The following tree protection plan will help to insure the future health of the trees on site.

Tree protection plan:

Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for tree protection should be 6' tall, metal chain link material supported by metal 2" diameter poles, pounded into the ground to a depth of no less than 2'. The location for the protective fencing should be as close to the dripline of desired trees as possible, still allowing room for construction to safely continue. The tree protection fence for the trees must be maintained throughout the entire project. No equipment or materials shall be stored or cleaned inside the protection zones. Areas outside protection fence, but still beneath the tree's driplines, where foot traffic is expected to be heavy, should be mulched with 4-6" of chipper chips covered with plywood. The spreading of chips will help to reduce compaction and improve soil

structure. Protection for the neighbor's saucer magnolias will consist of leaving the existing driveway in place until the end of the construction when it is time to start the driveway work. Below is a diagram showing recommended tree protection zones.



Showing recommended tree protection zones

Demolition and Staging

Prior to the start of the demolition process, all tree protection measures must be in place. An inspection prior to the start of the demolition is often required by the town. All vehicles must remain on paved surfaces if possible. Existing pavement should remain and should be used for staging. If vehicles are to stray from paved surfaces, 4 to 6 inches of chips shall be spread and plywood laid over the mulch layer. This type of landscape buffer will help reduce compaction of desired trees. Parking will not be allowed off the paved surfaces. The removal of foundation materials, when inside the driplines of protected trees, should be carried out with care. Hand excavation may be required in areas of heavy rooting. Exposed or damaged roots should be repaired and covered with native soil.

Root Cutting

Any roots to be cut shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The over dig for the foundation should be reduced as much as possible when roots are encountered. The site arborist will be on site for all excavation when within the dripline of the trees listed above.

Trenching

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time (24 hours), will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

Irrigation

Normal irrigation shall be maintained on this site at all times. During the warm season, April – November, I typically recommend some additional heavy irrigation, 2 times per month. During the winter months, it may be necessary to irrigate 1 additional time per month. Seasonal rainfall may reduce the need for additional irrigation. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor of the tree and the water content of the tree. The on-site arborist may make adjustments to the irrigation recommendations as needed. The native oak tree will not require any irrigation unless its root zone is traumatized. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

Inspections

The site will be inspected after the tree protection measures are installed and before the start of construction. Inspections will be carried out on an as needed basis. It is the contractor's responsibility to notify the site arborist when construction is to start, and whenever there is to be work performed within the dripline of a protected tree on site at least 48 hours in advance. The contractor also must notify the site arborist when the foundation work, driveway work, and concrete path work is to take place so the site arborist can document the work. Also, at this time the site arborist will offer mitigation measures specific to the work completed. Kielty Arborist Services can be reached at 650-515-9783(Kevin), 650-532-4418(David), or by email at kkarbor0476@yahoo.com. It is most important to contact the site arborist when the driveway work is to be started.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A

David P. Beckham
Certified Arborist WE#10724A

- LEGEND**
- AC ASPHALT CONCRETE
 - BC BUILDING CORNER
 - BN BACK OF WALK
 - BR BRICK
 - CB CURB
 - CC CORRUGATED METAL PIPE
 - CD CURB DIRT
 - CH CHIMNEY
 - CI CONCRETE
 - CM CURB
 - CP CORRUGATED METAL PIPE
 - CS CURB
 - CT CURB
 - CU CURB
 - CV CURB
 - CC CONCRETE
 - ED ELECTRIC METER
 - EP EDGE OF PARADEL
 - FC FENCE CORNER
 - FD FENCE
 - FE FINISHED FLOOR
 - FL FLOOR LINE
 - FW FIRE HYDRANT
 - FX FRONT OF WALK
 - GC GARAGE CORNER
 - GD GARAGE FACED DOOR
 - GE GROUND AT FENCE
 - GI GROUND METER
 - GR GRANITE
 - HA HANGING BASKET
 - HP HOLE
 - HR HOLE
 - HS HOLE
 - IB IRON PIPE
 - JP JOINT PIPE
 - LC LIP OF GUTTER
 - MC MASONRY
 - OC OVERHEAD
 - PC PROPERTY CORNER
 - PR RETURNING WALL
 - SE STREET LIGHT
 - SS SAND
 - ST STEEL
 - TD TOP OF DRIVE
 - TE TOP OF EAVE
 - TF TOP OF FINISH
 - TR TOP OF ROOF
 - TT TOP OF TOWER
 - UV UNDERGROUND
 - VP WRENCH CLAY PIPE
 - WV WATER VALVE
 - WY WATER METER
 - XC CABLE TELEVISION LINE
 - EL ELECTRICAL LINE
 - ES GAS LINE
 - SS SANITARY SINKER LINE
 - ST STORM SEWER LINE
 - TE TELEPHONE LINE
 - W WATER LINE

BASIS OF BEARINGS

THE BEARING, DISTANCE OF THE FRONT OF WALK, AND OF COLLEGE AVENUE, AND OTHER OR SURVEY DATA HAS BEEN IN THE OFFICE OF THE REGISTER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, IN BOOK 8 OF MAPS AT PAGE 42, AND AS SHOWN ON THE MAPS OF BEARINGS, THENCE TO THE MAP.

BASIS OF ELEVATION

THE ELEVATION OF THE BENCH MARK IS 1100.00 (GDSM)

UTILITY NOTE

UNDERGROUND UTILITIES SHOWN FOR SURVEY PURPOSES AND RECORD MAPS MAY BE DIFFERENT FROM AS SHOWN BEFORE EXCAVATION. CALL UNDERGROUND UTILITY ALERT (800) 368-8424.

NOTE

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR STONE.
2. THIS SURVEY MEETS CITY OF SAN MATEO COUNTY (S.M.C.) MAPS REGULATION REQUIREMENTS.

BASKIN RESIDENCE

857 COLLEGE AVENUE
MUNTO PARK, CA
ATN: 071-404-970

W E C
A ASSOCIATES

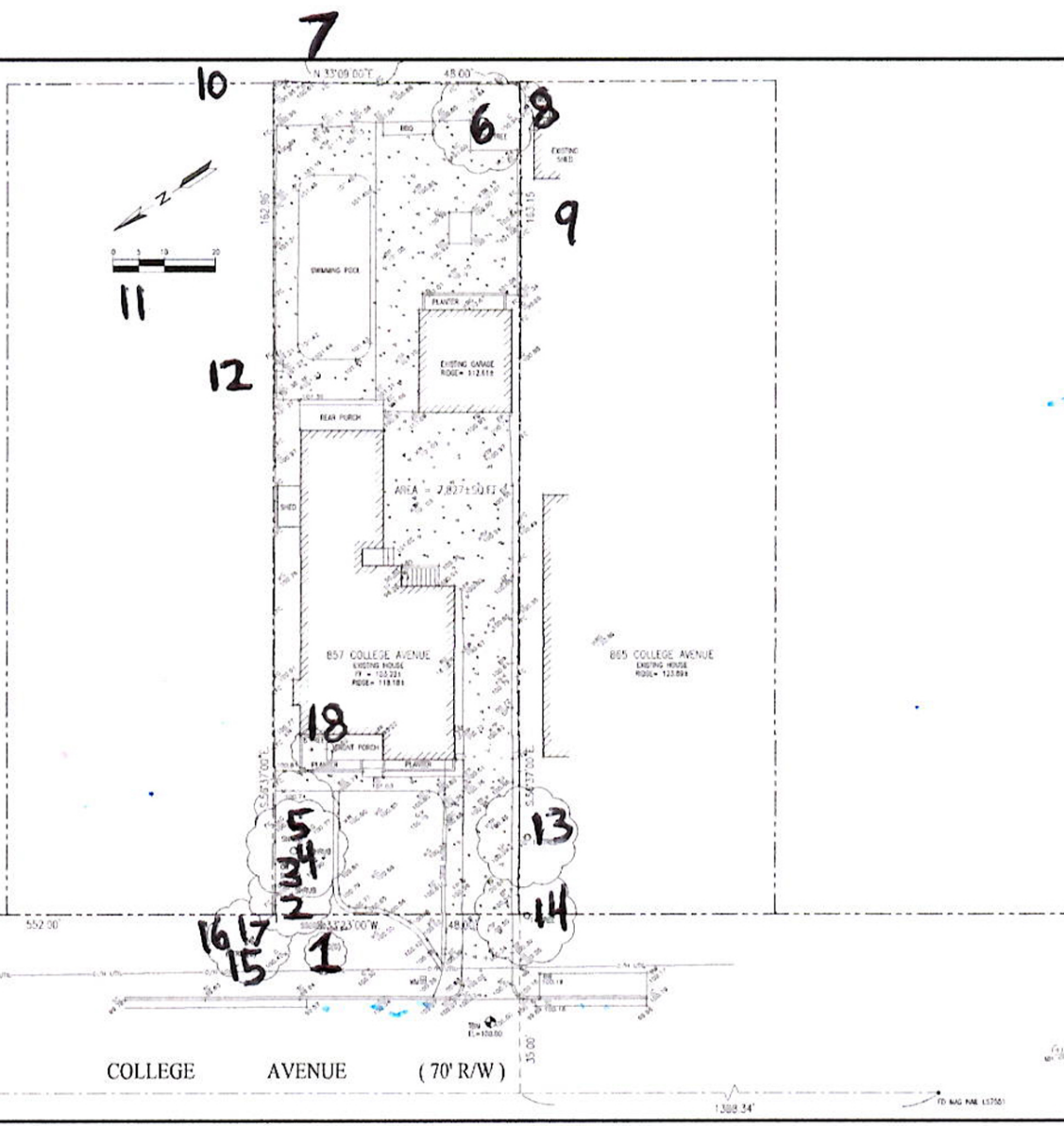
1045 MIDDLEFIELD ROAD
PALO ALTO, CA 94306
TEL: 650-827-6656
FAX: 650-847-1294

DATE: JUNE 30, 2014
SCALE: 1"=10'
DRAWN: BJK
JOB: 18079

BOUNDARY & SITE SURVEY

DATE: JUNE 30, 2014
SCALE: 1"=10'
DRAWN: BJK
JOB: 18079

C.0



Menlo Park Planning Commission
City Council Chambers
701 Laurel St
Menlo Park, CA 94025

Re: Application for Use Permit for 857 College Ave, Menlo Park, CA

Dear Planning Commission,

We live at 603 College Ave near the Baskin Family at 857 College Ave. The Baskins shared with us the plans for their new home and we are fully in support of the project. We look forward to seeing the completed home at 857 College Ave and view it as a welcomed addition to our neighborhood.

Please let us know if you have any questions.

Sincerely,
Nilendu & Sukanya Misra

A handwritten signature in black ink, appearing to read "Nilendu & Sukanya Misra", with a stylized flourish at the end.

Menlo Park Planning Commission
City Council Chambers
701 Laurel St
Menlo Park, CA 94025

Re: Application for Use Permit for 857 College Ave, Menlo Park, CA

January 26, 2017

Dear Planning Commission,

We are neighbors of the Baskins and live at 715 College Ave. The Baskins shared with us plans for their new home. We indeed love the design and are fully in support of their project at 857 College Ave. We look forward to seeing their new home and view it as a welcomed addition to our neighborhood.

Please let us know if you have any questions.

Sincerely,
The Porter Family – Beth & Brook

A handwritten signature in black ink that reads "Beth Porter". The signature is written in a cursive style with a large, looped "P" at the end.

Beth Porter

Menlo Park Planning Commission
City Council Chambers
701 Laurel St
Menlo Park, CA 94025

Re: Application for Use Permit for 857 College Ave, Menlo Park, CA

January 26, 2017

Dear Planning Commission,

We are neighbors of the Baskins and live at 736 College Ave. The Baskins shared plans for their new home and we absolutely love the design. We are fully in support of their project at 857 College Ave and look forward to seeing their beautiful new home. It will be a welcomed addition to our neighborhood.

Please let us know if you have any questions.

Sincerely,
The Lucas Family – Greg & Sarah

Greg and Sarah Lucas

Greg Lucas

Menlo Park Planning Commission
City Council Chambers
701 Laurel St
Menlo Park, CA 94025

Re: Application for Use Permit for 857 College Ave, Menlo Park, CA

January 25, 2017

Dear Planning Commission,

We live at 766 Partridge Ave, which is a block away from the Baskin Family at 857 College Ave. The Baskins shared with us the plans for their new home and we absolutely love it and are fully in support of the project. We look forward to seeing the completed home at 857 College Ave and view it as a welcomed addition to our neighborhood.

Sincerely,

The Gernitis Family – Tim & Maren

A handwritten signature in black ink that reads "Tim Gernitis". The signature is written in a cursive style with a large, stylized initial "T" and "G".

Tim Gernitis

Menlo Park Planning Commission
City Council Chambers
701 Laurel St
Menlo Park, CA 94025

Re: Application for Use Permit for 857 College Ave, Menlo Park, CA

January 26, 2017

Dear Planning Commission,

We live at 810 College Ave near the Baskin Family at 857 College Ave. The Baskins shared with us the plans for their new home and we are fully in support of the project. We love the design and look forward to seeing the completed home. Their new home will be a welcomed addition to our neighborhood.

Sincerely,
The Willey Family – CJ & Christina

A handwritten signature in black ink that reads "CJ Willey". The signature is written in a cursive, flowing style.

CJ Willey

Menlo Park Planning Commission
City Council Chambers
701 Laurel St
Menlo Park, CA 94025

Re: Application for Use Permit for 857 College Ave, Menlo Park, CA

January 31, 2017

Dear Planning Commission,

We live at 811 College Ave a few doors down from the Baskin Family. The Baskins shared with us the plans for their new home and we are fully in support of the project. We look forward to seeing the completed home at 857 College Ave and view it as a welcomed addition to our neighborhood.

Sincerely,
The Yuan Family – Grace & David

A handwritten signature in black ink, appearing to be 'G Yuan', with a long, sweeping flourish extending to the right.

Grace Yuan

Menlo Park Planning Commission
City Council Chambers
701 Laurel St
Menlo Park, CA 94025

Re: Application for Use Permit for 857 College Ave, Menlo Park, CA

January 26, 2017

Dear Planning Commission,

We live at 823 College Ave near the Baskin Family. The Baskins shared the plans for their new home and we are fully in support of the project. We look forward to seeing the completed home at 857 College Ave and view it as a welcomed addition to our neighborhood.

Sincerely,

The VanDeVelde Family – Gina & Scott

A handwritten signature in black ink that reads "Gina VanDeVelde". The signature is written in a cursive style with a large initial "G".

Gina VanDeVelde

Menlo Park Planning Commission
City Council Chambers
701 Laurel St
Menlo Park, CA 94025

Re: Application for Use Permit for 857 College Ave, Menlo Park, CA


February 7, 2017

Dear Planning Commission,

We live at 838 College Ave near the Baskin Family. The Baskins shared plans for their beautiful new home and we are fully in support of the project. We look forward to seeing the completed home at 857 College Ave and view it as a welcomed addition to our neighborhood.

Sincerely,

The Dobberstein Family – Bronwyn & Steve

A handwritten signature in black ink, appearing to read "Bronwyn Dobberstein". The signature is written in a cursive style with a large initial "B".

Bronwyn Dobberstein

Andrew and Laura Low Ah Kee
839 College Avenue
Menlo Park, CA 94025

Menlo Park Planning Commission
City Council Chambers
701 Laurel Street
Menlo Park, CA 94025

RE: Application for Use Permit for 857 College Avenue, Menlo Park, CA

Dear Planning Commission,

We live at 839 College Avenue, near the Baskin Family at 857 College Avenue. The Baskins have shared with us the plans for their new home and we are fully in support of the project.

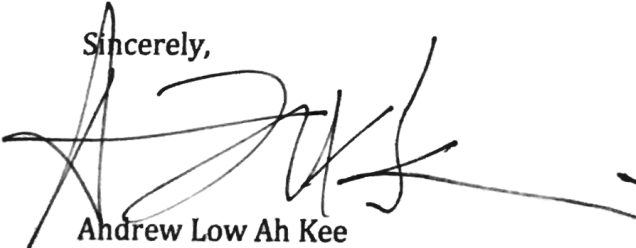
We moved to our home on College Avenue in June 2014 from New York with our first son Peter (age 4), and since then have welcomed Patrick (age 2) and Audrey (2 months) to our family. From the beginning, we have found Menlo Park – and our neighbors on College Avenue in particular – to be incredibly welcoming. We have several young families on the block, as well as many wonderful families who have lived here for decades.

We were fortunate to meet Bryan, Jennifer, and their girls – who had also just moved here that summer from the East Coast – in nearby Nealon Park within weeks of our relocation. They are the type of family that any neighbor would be lucky to have and are making roots in the broader Menlo Park community. We are thrilled that they are seeking to settle in the neighborhood and build a new home to accommodate their growing family.

We look forward to seeing the completed home at 857 College Avenue and view it as a welcomed addition to the neighborhood.

Please let us know if you have any questions.

Sincerely,



Andrew Low Ah Kee



Laura Low Ah Kee

Menlo Park Planning Commission
City Council Chambers
701 Laurel St
Menlo Park, CA 94025

Re: Application for Use Permit for 857 College Ave, Menlo Park, CA

January 26, 2017

Dear Planning Commission,

We live at 840 College Ave near the Baskin Family at 857 College Ave. The Baskins shared with us the plans for their new home and we are fully in support of the project. We look forward to seeing the completed home at 857 College Ave and view it as a welcomed addition to our neighborhood.

Sincerely,

The Mack Family – Katelyn & Adam

A handwritten signature in black ink, appearing to read 'K. Mack', written in a cursive style.

Katelyn Mack

Menlo Park Planning Commission
City Council Chambers
701 Laurel St
Menlo Park, CA 94025

Re: Application for Use Permit for 857 College Ave, Menlo Park, CA

February 6, 2017

Dear Planning Commission,

We live at 845 College Ave near the Baskin Family. The Baskins shared plans for their beautiful new home and we are fully in support of the project. We look forward to seeing the completed home at 857 College Ave and view it as a welcomed addition to our neighborhood.

Sincerely,
Janet Poses & Liam Goudge

A handwritten signature in black ink, appearing to read "Janet Poses". The signature is fluid and cursive, with the first name being more prominent.

Janet Poses

Menlo Park Planning Commission
City Council Chambers
701 Laurel St
Menlo Park, CA 94025

Re: Application for Use Permit for 857 College Ave, Menlo Park, CA

February 5, 2017

Dear Planning Commission,

We live at 849 College Ave right next to the Baskin Family. The Baskins shared with us the plans for their beautiful new home and we are fully in support of the project. We look forward to seeing the completed home at 857 College Ave and view it as a welcomed addition to our neighborhood.

Sincerely,
The Sack Family – Daniel & Alexandra

A handwritten signature in black ink, appearing to read 'Daniel Sack', with a stylized, cursive flourish at the end.

Daniel Sack

Menlo Park Planning Commission
City Council Chambers
701 Laurel St
Menlo Park, CA 94025

Re: Application for Use Permit for 857 College Ave, Menlo Park, CA

January 25, 2017

Dear Planning Commission,

We live at 865 Middle Ave, which is near the Baskin Family at 857 College Ave, as a crow flies. The Baskins shared with us the plans for their new home and we absolutely love it and are fully in support of the project. We look forward to seeing the completed home at 857 College Ave and view it as a welcomed addition to our neighborhood.

Sincerely,
The White Family – Anna & Davis

A handwritten signature in black ink, appearing to read 'Anna & Davis', written in a cursive style.



STAFF REPORT

Planning Commission

Meeting Date: 5/8/2017
Staff Report Number: 17-026-PC

Public Hearing: Use Permit/Ken Friedman/953 Hobart Street

Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish a single-story, single family residence and construct a new two-story single family residence with a basement on a substandard lot with respect to lot width in the R-1-S (Single-Family Suburban) zoning district. The proposal includes excavation in the required right side setback associated with a basement light well. As part of the proposed development, five heritage trees are proposed to be removed: a 16-inch plum (poor condition), a 28-inch date palm (good condition), a 15-inch yucca (poor condition), a 19-inch fig (poor condition), and an 18-inch oleander (fair condition). The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject property is located on the south side of Hobart Street, between Santa Cruz and Middle Avenues in the West Menlo neighborhood. A location map is included as Attachment B. The surrounding area contains a mixture of older and newer residences. The older residences are generally single-story, with detached garages at the rear of the property, while the newer residences are generally two-story in height, with attached front-loading garages or detached garages in the rear. A variety of architectural styles are present in the neighborhood including craftsman, traditional and contemporary. Many of the single-story residences are in the ranch style. All parcels in the general vicinity are also zoned R-1-S.

Analysis

Project description

The applicant is proposing to remove the existing single-story, single-family residence and detached two-car garage and pool to construct a new two-story, single-family residence with a basement and an attached two-car garage and new pool. The lot is substandard with respect to lot width, as it does not meet the minimum lot width of 80 feet for the R-1-S zoning district, with a width of approximately 71 feet. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a four-bedroom home with seven full bathrooms, two half bathrooms, and water closet accessible only from the exterior for users of the pool or other backyard amenities. The first-story living space would feature an open floor kitchen, dining and living room area, a library/study and a mud room. There would be interior access to the attached two-car garage from the first floor. The second-story living space would be comprised of three bedrooms, and three bathrooms. A balcony is proposed off of the master bedroom towards the rear of the second floor. The balcony would meet the applicable balcony restrictions. The basement would have one bedroom, three full bathrooms, and a half bathroom as well as a game room, a media area, and a library/office with exterior access to the front via a stairwell in the light well. In addition to the light well at the front of the residence, a light well is proposed along the right side of the property, and another at the rear to provide natural light to the basement during the day. The retaining wall for the right side light well would require excavation in the required setback, as discussed in a following section. At the center of the residence, on the first floor facing the interior of the lot, a sliding glass wall system would open from the kitchen/dining/living room area onto an outdoor patio, partially covered by a portion of the second floor cantilevered above.

The proposed project would adhere to all Zoning Ordinance regulations for setbacks, lot coverage, floor area limit, height, daylight plane, and parking.

Design and materials

The applicant states that the proposed residence would be constructed in a modern style, characterized by a flat roof, clean lines, simple geometry, and large openings. The exterior materials would include a whitewashed smooth trowel stucco for the walls, aluminum framing for the large windows, and a stained-grade wood gate, garage door, and perimeter fence to provide visual interest. A seven foot high, freestanding wall is proposed at the front setback, with an operable gate matching the style of the garage door and fence. This wall and gate would comply with fence height limits, and would help limit the prominence of the garage itself.

The layout of the site is intended to create a front and rear courtyard. The applicant has stated that the intent is to facilitate travel between, and integrate the indoor and outdoor spaces on the property. The rear courtyard would extend from the large sliding glass door system at the center of the first floor, opening off of the kitchen/living/dining area across landscaping to the pool, where a seven foot wall is proposed at the property line. The proposed second floor is offset from the first, and cantilevered over a portion of the front and rear courtyards. This proposed configuration would provide some coverage over the patio at the rear and the front entry. The front courtyard would be bounded by the front façade of the building, landscaping along the right side of the property leading to a seven-foot wood fence and gate leading to a path around to the rear, seven foot smooth stucco wall at the front property line, and the entrance to the garage at the left side of the property. A pathway around the garage to the pool and patio in the rear is proposed between an exterior stairwell leading to the basement in the front-most light well, and the freestanding wall at the front setback. The front door is proposed to be stain-grain wood and steel, set next to an etched glass panel, which would be visible behind the wall only when the motorized gate is open.

The second-story windows on the west elevation, which face an adjoining single-story residence to the right, would have sill heights of at least two feet, six inches, with the exception of the large fixed window at

the stairwell, which would have its sill height at the second floor level. The configuration of the stairwell, with two landings at differing heights both lower than the sill height of the large fixed window, would limit views. These windows would also be set back approximately seven feet from the required 10-foot setback line, further helping to limit views. On the left side, the second-floor window, towards the front of the lot, would have the same two-feet-six-inch sill height. The window towards the rear, at the corner, would have a sill height of one foot, six inches. Although this window is fairly low, these windows are set back significantly from the required side setback, at a distance of approximately 18 feet. However, if privacy is a concern, the Planning Commission may consider a condition of approval requiring additional landscape screening, or revised sill heights

Staff believes that the architectural style of the proposed residence would be generally attractive and well-proportioned. Although the modern style would not be directly similar to the adjacent neighboring residences, it would be consistent with the diverse styles within the surrounding neighborhood.

Excavation

The proposed light well at the center of the building on the right side of residence would require excavation within the required side yard setback to a depth greater than 12 inches. The proposed encroachment of the excavation into the setback for the retaining wall for the light well is modest, and will not result in any visible change from the public right of way. The excavation would be reviewed in detail for Building Code compliance at the building permit stage.

Trees and landscaping

The applicant has submitted an arborist report (Attachment G) detailing the species, size, and conditions of the heritage and non-heritage trees on site. The report determines the present condition, discusses the impacts of the proposed improvements, and provides recommendations for tree maintenance and the removal of some trees, based on their health. As part of the project review process, the arborist report and heritage tree removal permit applications were reviewed by the City Arborist. All recommendations identified in the arborist report shall be implemented and will be ensured as part of condition 3g.

There are 21 trees located on or near the property, six of which are heritage size trees and of those one is on the neighboring property on the left. The demolition of the existing residence and garage and the construction of the new home are not anticipated to adversely affect the heritage Spanish fir on the neighboring property on the left, as it is far from the work area at the front left corner of the neighboring lot.

Heritage tree removal permit applications were submitted by the applicant to remove five heritage size trees from the site. Four of the removal requests came per the recommendation of the arborist, due to poor condition of the trees. The fifth, a large date palm (tree #10), is proposed to be removed due to conflicts with the proposed design. Per discussion with the City contract arborist, it was determined that, given the species and health of the tree, relocation of the date palm off site was a viable option. The applicant has coordinated with a palm vendor to deliver the tree to Stanford following its removal from the site. This action still requires a heritage tree removal permit, as it is being taken off the site, and since replanting success cannot be guaranteed.

Seven non-heritage trees are proposed to be removed from the site, and seven new trees would be planted. Of the seven, five are heritage tree replacements. The heritage tree replacements consist of two coast live oaks at the front corners of the property. The remaining three heritage tree replacements are ginkgo biloba trees, proposed at the rear and along the left side of the lot. In addition to the heritage tree replacements, the applicant has proposed two new tree at the rear of the lot. The line weight of the proposed dripline of these trees on the printout appears faint, but there is a callout indicating their location for reference.

The applicant is proposing a new rectangular pool on the left side of the residence, set behind a seven-foot wall for the length of the pool.

Correspondence

The applicant indicated in the project description letter that outreach was performed by contacting the property owners of all properties within a 300-foot radius with a letter inviting conversation regarding the proposed project. In the project description letter, the applicant further states that the adjacent property owners at 973 Hobart Street on the right, and across the street at 980 Hobart Street met with the applicant to discuss the project and the expressed support for the project. The applicant also indicated the neighbor at the rear, the owner of 936 Olive Street, expressed support; staff received email correspondence from this resident, which is included as Attachment F.

Conclusion

Staff believes that the design, scale and materials of the proposed residence are compatible with the surrounding neighborhood. The proposed excavation in the right side setback would be modest in size and not visible from nearby properties or the public right-of-way. In addition, the heritage tree removal permit applications have been reviewed by the City Arborist, who has recommended the removal of the trees contingent upon the Planning Commission's decision. The floor area, building coverage and height of the proposed residence would all be at or below the maximum amounts permitted by the Zoning Ordinance, and the new structure would be within the daylight plane requirements. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper

and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Correspondence
- G. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:
Ori Paz, Planning Technician

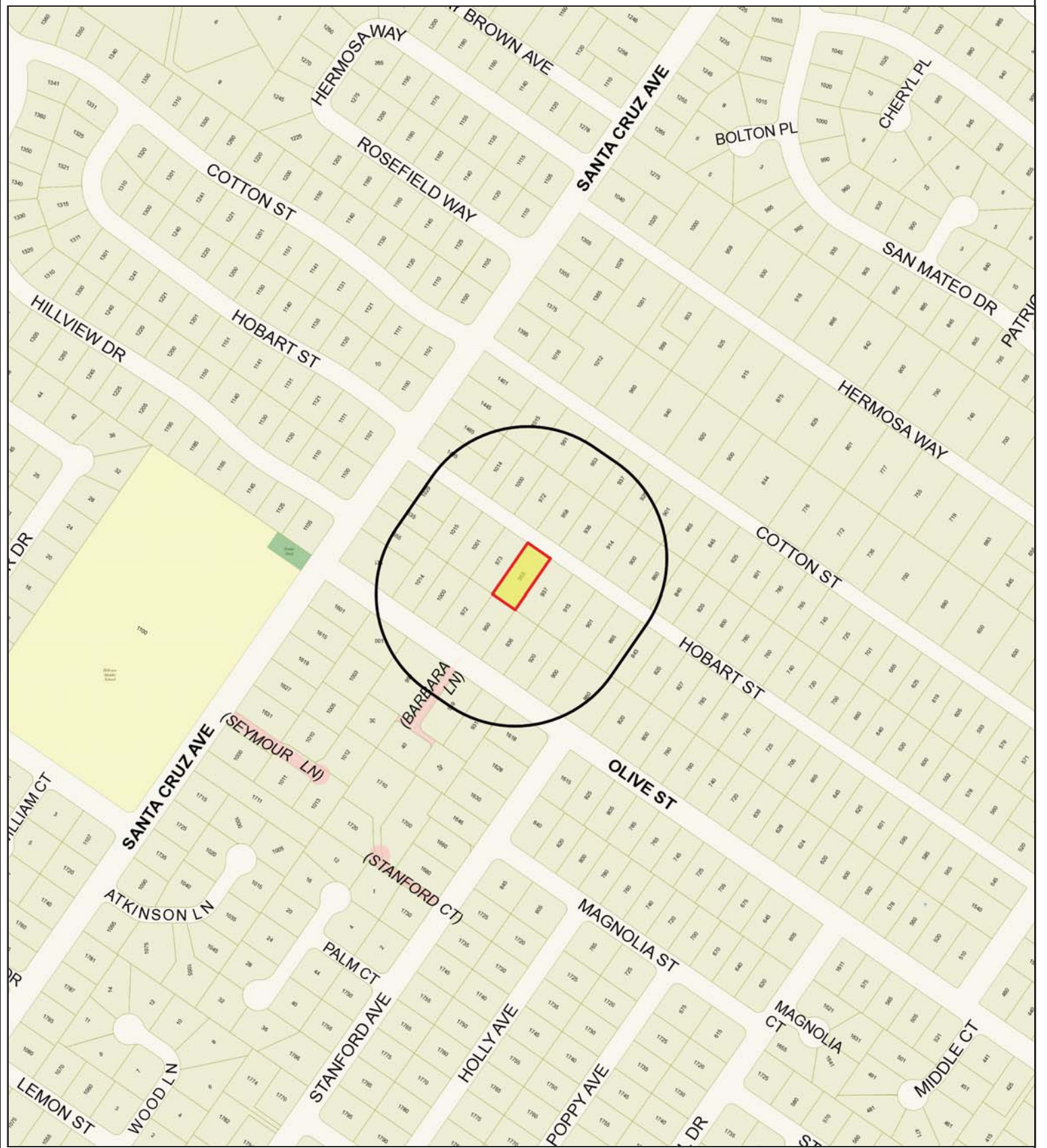
Report reviewed by:
Thomas Rogers, Principal Planner

953 Hobart Street – Attachment A: Recommended Actions

LOCATION: 953 Hobart Street	PROJECT NUMBER: PLN2017-00006	APPLICANT: Ken Friedman	OWNER: Ken Friedman
REQUEST: Request for a use permit to demolish a single-story, single family residence and construct a new two-story single family residence with a basement on a substandard lot with respect to lot width in the R-1-S (Single-Family Suburban) zoning district. The proposal includes excavation in the required right side yard setback associated with a light well for the basement. As part of the proposed development, five heritage trees are proposed to be removed: a 16-inch plum (poor condition), a 28-inch date palm (good condition), a 15-inch yucca (poor condition), a 19-inch fig (poor condition), and an 18-inch oleander (fair condition).			
DECISION ENTITY: Planning Commission	DATE: May 8, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Butler Armsden Architects, consisting of 17 plan sheets, dated received April 26, 2017, and approved by the Planning Commission on May 8, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. 			

953 Hobart Street – Attachment A: Recommended Actions

LOCATION: 953 Hobart Street	PROJECT NUMBER: PLN2017-00006	APPLICANT: Ken Friedman	OWNER: Ken Friedman
<p>REQUEST: Request for a use permit to demolish a single-story, single family residence and construct a new two-story single family residence with a basement on a substandard lot with respect to lot width in the R-1-S (Single-Family Suburban) zoning district. The proposal includes excavation in the required right side yard setback associated with a light well for the basement. As part of the proposed development, five heritage trees are proposed to be removed: a 16-inch plum (poor condition), a 28-inch date palm (good condition), a 15-inch yucca (poor condition), a 19-inch fig (poor condition), and an 18-inch oleander (fair condition).</p>			
DECISION ENTITY: Planning Commission	DATE: May 8, 2017	ACTION: TBD	
<p>VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)</p>			
<p>ACTION:</p> <ul style="list-style-type: none"> g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Mayne Tree Expert Company, Inc. dated August 5, 2016. 			



City of Menlo Park
 Location Map
 953 Hobart Street



Scale: 1:4,000

Drawn By: OP

Checked By: THR

Date: 5/8/2017

Sheet: 1

953 Hobart Street – Attachment C: Data Table

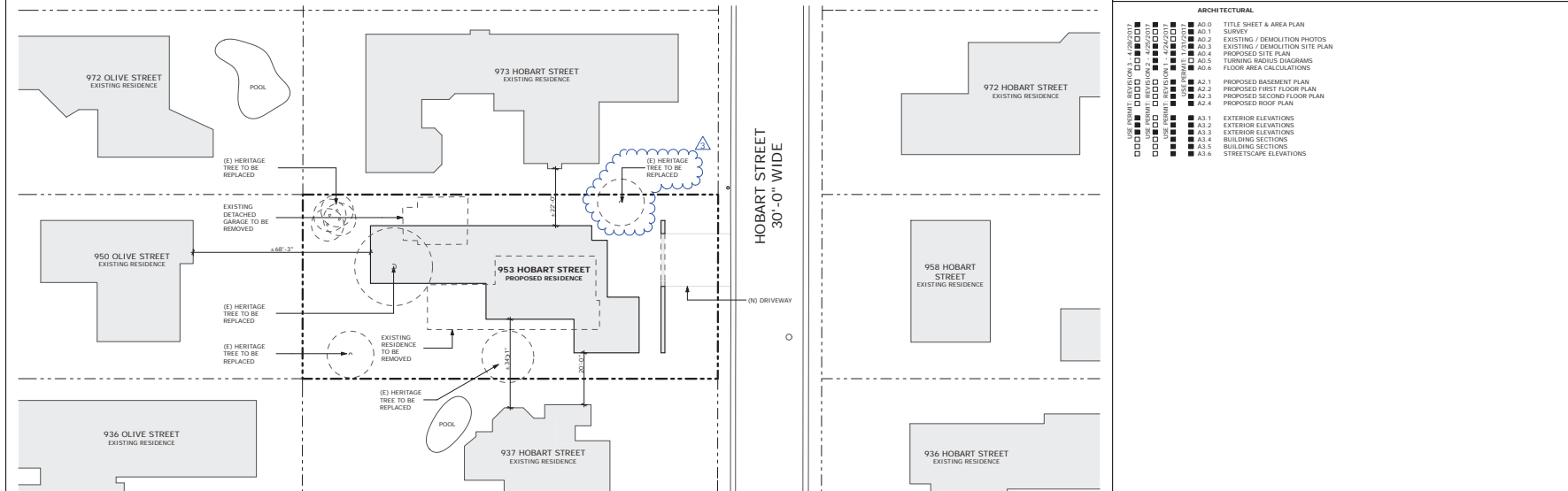
	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	11,355.0 sf	11,355 sf	7,000.0 sf min.
Lot width	71.0 ft.	71.0 ft.	85.0 ft. min.
Lot depth	159.9 ft.	159.9 ft.	100.0 ft. min.
Setbacks			
Front	31.0 ft.	45.4 ft.	20.0 ft. min.
Rear	25.3 ft.	47.6 ft.	20.0 ft. min.
Side (left)	10.0 ft.	18.6 ft.	10.0 ft. min.
Side (right)	12.0 ft.	23.7 ft.	10.0 ft. min.
Building coverage	3,105.0 sf 27.3 %	1,989.0 sf 17.5 %	3,974.3 sf max. 35.0 % max.
FAL (Floor Area Limit)	3,105 sf	1,566.0 Sf	3,888.8 sf max.
Square footage by floor	2,582.0 sf/basement 2,008.0 sf/1 st floor 1,340.0 sf/2 nd floor 534.0 sf/garage 563.5 sf/overhang	1,566.0 sf/1 st floor 423.0 sf/garage	
Square footage of buildings	3,223.4 sf	1,989.0 sf	
Building height	24.5 ft.	20.0 ft.	28.0 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 6*	Non-Heritage trees: 16**	New Trees: 7
	Heritage trees proposed for removal: 5	Non-Heritage trees proposed for removal: 7	Total Number of Trees: 17
*includes one heritage tree located on the neighboring property to the south-east **includes six non-heritage trees located on adjacent properties			



1420 SUTTER STREET 1ST FLOOR
SAN FRANCISCO, CA 94109
BUTLERARMSDEN.COM
T 415-674-5554
F 415-674-5558

FRIEDMAN RESIDENCE
953 HOBART STREET, MENLO PARK, CA 94025

ABBREVIATIONS		SYMBOLS		GENERAL NOTES		PROJECT TEAM		VICINITY MAP	
A	AND	F.D.	FLOOR DRAIN	P.G.	PAINT GRADE	1.	ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.		
∅	ANGLE	F.F. & E.	FURNITURE, FIXTURES & EQUIP.	PL	PLATE	2.	CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL BE SATISFIED HIMSELF AS TO THE CONDITION OF EXISTING WORK AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR BY REASON OF ANY OMISSION ON HIS PART TO INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS, WHETHER THEY ARE OR ARE NOT ESPECIALLY OR PARTICULARLY SHOWN OR NOTED BUT WHICH ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS.		
#	DIAMETER	F.F.	FINISH FLOOR	PLM	PLASTIC LAMINATE	3.	REINFORCING CONTRACTOR SHALL INSPECT THE SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING WORK.	ARCHITECT: BUTLER ARMSDEN ARCHITECTS 1420 SUTTER STREET SAN FRANCISCO, CA 94109 T 415-674-5554 SURVEYOR: CHAPEL SURVEYING SERVICES 800 ESTHER WAY OAKDALE, CA 95361 T 209-845-9694	
(D)	EXISTING	FLR	FLOOR	PLVD	PLYWOOD	4.	CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.	PROJECT DATA BLOCK: 02 ZONED: R15 LOT: S1 LOT SIZE: 11,355 SQ.FT. HEIGHT LIMIT: 28'-0" OCCUPANCY: R3 CONDITIONED SPACE: EXISTING PROPOSED BASEMENT FLOOR (NOT COUNTED) 0 SQFT 2,382 SQFT FIRST FLOOR 1,566 SQFT 2,008 SQFT SECOND FLOOR 0 SQFT 1,340 SQFT UNCONDITIONED SPACE: EXISTING PROPOSED FIRST FLOOR 0 SQFT 534 SQFT SECOND FLOOR 0 SQFT 0 SQFT TOTAL SPACE: 1,991 SQFT 3,882 SQFT CONSTRUCTION CLASSIFICATION: TYPE V FIRE SPRINKLERS REQUIRED AND FILED UNDER SEPARATE PERMIT LIMITATIONS HEIGHT LIMIT: 28'-0" FRONT SETBACK: 20'-0" REAR SETBACK: 20'-0" SIDE SETBACK: 10'-0" DAYLIGHT PLANE: 45° AT 19'-6" ABV. GR. AT SETBACK ALLOWABLE SITE & BUILDING USAGE: ZONING: R15 (SINGLE-FAMILY SUBURBAN) LOT AREA: 11,355 SQ.FT. MAX BLDG. COVERAGE: 3,974.25 SQ.FT. (35%) FLOOR AREA LIMIT: 3,882.75 SQ.FT. SECOND FLOOR "FAL": 1,725.00 SQ.FT. ACCESSORY USE MAX: 700 SQ.FT.	
(E)	NEW	F.F.	FACE OF FINISH	PL	PLASTER	5.	CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.	SCOPE OF WORK REMOVAL OF EXISTING DETACHED SINGLE FAMILY RESIDENCE. NEW TWO STORY SINGLE FAMILY RESIDENCE OVER FULL BASEMENT. NEW IN GROUND LAP POOL AT SIDE YARD.	
(R)	REPLACE IN KIND	F.F.C.	FACE OF FINISH CONCRETE	PLM	PLYWOOD LAMINATE	6.	CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES.	SHEET INDEX ARCHITECTURAL ■ A0.0 TITLE SHEET & AREA PLAN ■ A0.1 SURVEY ■ A0.2 EXISTING / DEMOLITION PHOTOS ■ A0.3 EXISTING / DEMOLITION SITE PLAN ■ A0.4 EXISTING / DEMOLITION PROPOSED SITE PLAN ■ A0.5 TURNING RADIUS DIAGRAMS ■ A0.6 FLOOR AREA CALCULATIONS ■ A2.1 PROPOSED BASEMENT PLAN ■ A2.2 PROPOSED FIRST FLOOR PLAN ■ A2.3 PROPOSED SECOND FLOOR PLAN ■ A2.4 PROPOSED ROOF PLAN ■ A3.1 EXTERIOR ELEVATIONS ■ A3.2 EXTERIOR ELEVATIONS ■ A3.3 EXTERIOR ELEVATIONS ■ A3.4 EXTERIOR ELEVATIONS ■ A3.5 BUILDING SECTIONS ■ A3.6 STREETSCAPE ELEVATIONS	
A.B	ANCHOR BOLT	F.O.	FACE OF CONCRETE	R	RISER	7.	CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND GUIDELINES.	CODES 2013 CA BLDG. CODE 2013 CA ENERGY CODE 2013 CA ELECTRICAL CODE 2013 CA MECHANICAL CODE 2013 CA PLUMBING CODE 2013 CA FIRE CODE	
ABV	ABOVE	F.O.S.	FACE OF STUD	RAD	RADIUS	8.	ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.	REVISIONS: (R) REVISION - 04/24/2017 SR (A) REVISION - 04/25/2017 KA (A) REVISION - 04/28/2017 SR	
ADJ.	ADJACENT	FNDR.	FOUNDATION	R.D.	ROOF DRAIN	9.	IF ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.	JOB#: 1618 DATE: 01/31/2017 DRAWN: SR CHECKED: RJ SCALE: AS NOTED	
A.F.F.	ABOVE FINISHED FLOOR	FT	FOOT OR FEET	REC	RECOMMENDATION	10.	DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHOULD ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.	TITLE SHEET A0.0	
AGGR.	AGGREGATE	FTG.	FOOTING	REF	REFERENCE	11.	WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS CHARACTER AS SIMILAR CONDITIONS.		
ALUM.	ALUMINUM	FRK.	FURRING	REFR.	REFRIGERATOR	12.	ALL DIMENSIONS TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY. DIMENSIONS ARE NOT TO BE SCALED OFF DRAWINGS.		
APPROX.	APPROXIMATE	GALV.	GALVANIZED	REFR.	REFRIGERATOR	13.	THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE SUBSECTIONS OF THESE DRAWINGS.		
ARCH.	ARCHITECTURAL	GA.	GAGE	RESIL.	RESILIENT	14.	ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.		
AV.	AUDIO VISUAL	G.F.I.C.	GROUND FAULT INTERCEPTOR CIRCUIT	RM.	ROOM	15.	WEATHER STRIP ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.		
BD.	BOARD	GL.	GLASS	R.O.	ROUGH OPENING	16.	CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.		
BLK.	BLOCK	GRD.	GRADE	S	SOUTH	17.	WINDOWS TO BE OPERABLE AND CLEANED, U.O.N.		
BLK.G.	BLOCKING	GRND.	GROUND	S.C.	SOLID CORE	18.	ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C. MINIMUM, U.O.N.		
BM.	BOTTOM OF	CSM.	CERAMIC TILE	SCHD.	SCHEDULE	19.	ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.		
B.U.R.	BUILT UP ROOFING	GVF.	GALVANIZED SHEET METAL	SD	SECTION	20.	ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPRESSIONS, AND WITH NO VISIBLE JOINTS, U.O.N.		
B/W	BETWEEN	H.B.	HOSE BIB	SHR.	SHOWER	21.	STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" BUILDING PAPER.		
CAB.	CABINET	H.C.	HOLLOW CORE	SHT	SHEET	22.	STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.		
CER.	CERAMIC	H.W.	HARDWARE	SIM.	SIMILAR				
CLG.	CeILING	H.Z.	HORIZONTAL	SL.	SLOPE				
CLG.G.	CAULKING	HR.	HOUR	S.L.D.	SEE LANDSCAPE DRAWINGS				
CLR.	CLEAR	INS.	INCH OR INCHES	SPC.	SPECIFICATION				
C.M.U.	CONC. MASONRY UNIT	INSUL.	INSULATION	SQ.	SQUARE				
C.O.	CENTER OF	INT.	INTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS				
C.O.L.	COLUMN	INT.	INTERIOR	S.S.	STAINLESS STEEL				
CONC.	CONCRETE	LAM.	LAMINATE	STD.	STANDARD				
CONT.	CONTINUOUS	LAV.	LAVATORY	STOR.	STORAGE				
DBL.	DOUBLE	L.O.	LINE OF	STRUC.	STRUCTURAL				
DTL.	DETAIL	LT.	LIGHT	SYM.	SYMMETRICAL				
DIA.	DIAMETER	MAX.	MAXIMUM	T	TREAD				
DIM.	DIMENSION	MED. CAB.	MEDICINE CABINET	T.B.	TOWEL BAR				
DN.	DOWN	MCH.	MECHANICAL	TEL.	TELEPHONE				
DR.	DOOR	MEMB.	MEMBRANE	T.E.G.	TONGUE AND GROVE				
DS.	DOWNSPOUT	MTL.	METAL	THK.	THICK				
DWG.	DRAWING	MTD.	MOUNTED	TMPR.	TEMPERED				
DWR.	DRAWER	MFR.	MANUFACTURER	T.O.P.	TOP OF PAVEMENT				
E.	EAST	MIN.	MINIMUM	T.O.W.	TOP OF WALL				
EACH	EACH	MIR.	MIRROR	T.S.	TUBULAR STEEL				
ELEC.	ELECTRICAL	MISC.	MISCELLANEOUS	T.V.	TELEVISION				
ELEV.	ELEVATION	N	NORTH	TYP.	TYPICAL				
ENCL.	ENCLOSURE	N.C.	NOT IN CONTRACT	U.O.N.	UNLESS OTHERWISE NOTED				
EQ.	EQUAL	NO.	NUMBER	V.C.T.	VINYL COMPOSITION TILE				
EQUIP.	EQUIPMENT	NOM.	NOMINAL	VERT.	VERTICAL				
EXT.	EXTERIOR	N.T.S.	NOT TO SCALE	V.V.F.	VERIFY IN FIELD				
		O.V.	OVER	W.	WEST				
		O.A.E.	OR APPROVED EQUAL	W.	WITH				
		OBS.	ON CENTER	WO.	WOOD				
		O.C.	ON CENTER	WO.	WITHOUT				
		O.D.	OUTSIDE DIAMETER	WR.	WATERPROOFING				
		OPNG.	OPENING	WT.	WEIGHT				
		OPP.	OPPOSITE						
		O.R.B.	OIL RUBBED BRONZE						



2 AREA PLAN
SCALE: 1" = 20'

USE PERMIT

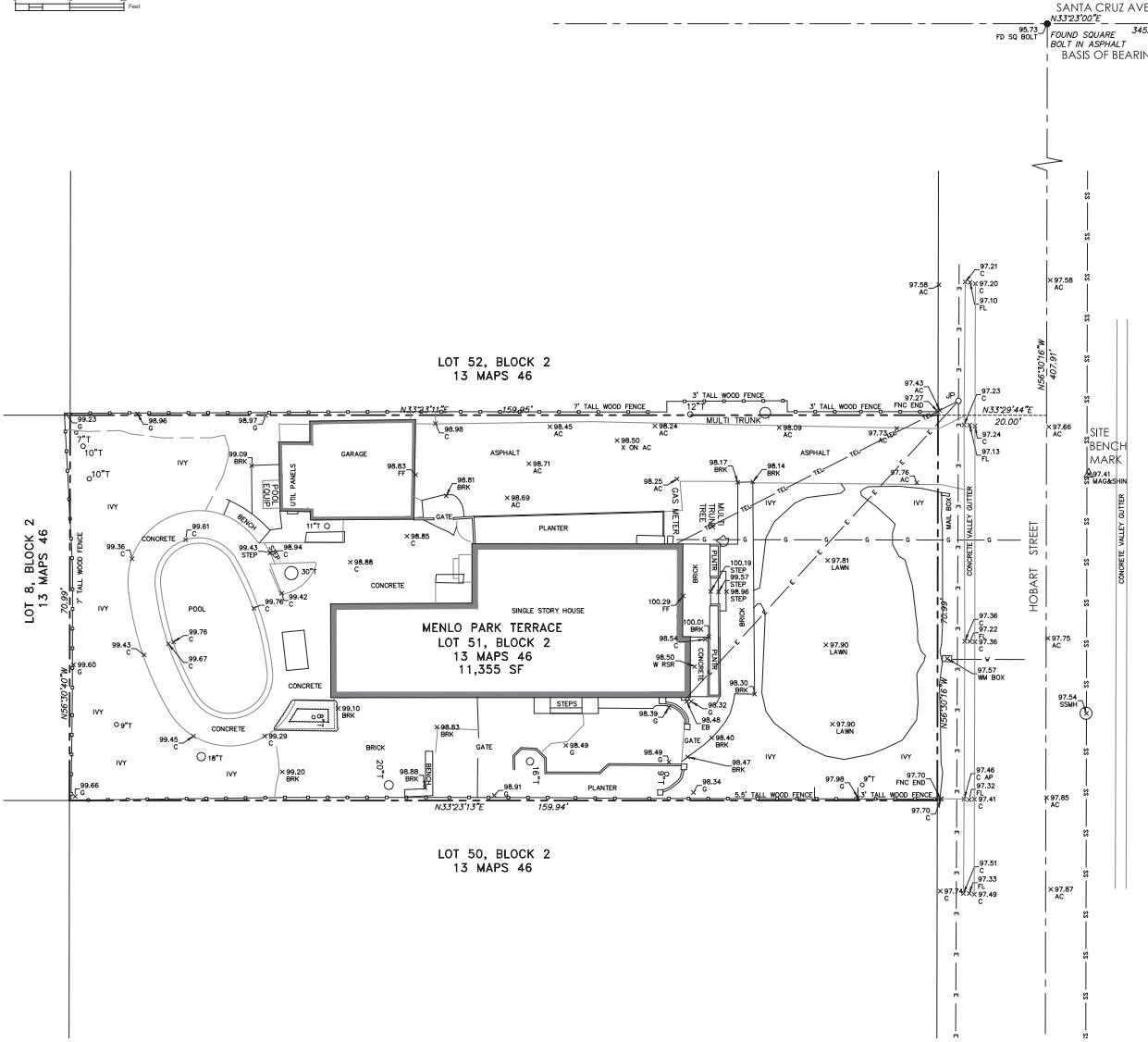
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(A) REVISION - 04/24/2017	SR
(A) REVISION - 04/25/2017	KA
(A) REVISION - 04/28/2017	SR

TITLE SHEET

A0.0



0 10 20 Feet



LOT 52, BLOCK 2
13 MAPS 46

MENLO PARK TERRACE
LOT 51, BLOCK 2
13 MAPS 46
11,355 SF

LOT 50, BLOCK 2
13 MAPS 46

SANTA CRUZ AVENUE
N332°33'00"W 345.37' 776.64'
FOUND SQUARE BOLT IN ASPHALT BASIS OF BEARINGS
COTTON STREET
HERMOSA WAY
FOUND SQUARE BOLT IN ASPHALT
431.27'

LEGEND:

---	BOUNDARY LINE
---	CENTER LINE
---	EASEMENT LINE
---	GRADE BREAK
●	FOUND MONUMENT PER 26 LLS 12
○	AREA LIGHT
⊕	FIRE HYDRANT
⊙	FOUND MONUMENT
⊖	POWER POLE
⊛	TRAFFIC SIGNAL
⊜	SANITARY SEWER MANHOLE
⊝	SIGN
⊞	STORM DRAIN MANHOLE
⊟	SURVEY CONTROL POINT
⊠	WATER VALVE
---	HIGH VOLTAGE
---	GAS
---	WATER
---	TELEPHONE
---	SEWER
---	STORM DRAIN
---	TV CABLE
---	ELECTRICAL
---	STREET LIGHT
---	IRRIGATION
---	UNKNOWN

BENCH MARK:

MADE NAIL AND SHIRREL IN HOBART STREET AS SHOWN ON THIS MAP
ELEVATION: 97.41 FEET (NAVD 85)

BASIS OF BEARINGS:

NORTH 332°30'00" EAST OF SANTA CRUZ AVE., AS PER "HERMOSA TRACT" WHICH WAS FILED FOR RECORD IN BOOK 11 OF MAPS, PAGE 75. SAN MATEO COUNTY RECORDS.

UTILITY NOTE:

1. THE LOCATION OF UNDERGROUND UTILITIES ARE SHOWN TO THE EXTENT POSSIBLE AND ARE BASED ON OBSERVED SURFACE EVIDENCE AND UNDERGROUND SERVICE ALERT PART MAPS.
2. CONTRACTORS AND OTHER PERFORMING WORK SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES WITHIN CONSTRUCTION AREA.
3. SPRINKLER HEADS AND IRRIGATION LATERAL LINES ARE NOT SHOWN HEREON.
4. ADDITIONAL UNDETECTED UTILITIES MAY EXIST WITHIN THE LIMIT OF THIS SURVEY.
5. CALL UNDERGROUND SERVICE ALERT (USA) 48 HOURS PRIOR TO ANY UNDERGROUND WORK.

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TREE NOTE:

TREE TYPES AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

REFERENCE TITLE REPORT:

CHICAGO TITLE COMPANY
PRELIMINARY TITLE REPORT
TITLE NUMBER: PWT0-347180892-A
EFFECTIVE DATE: MARCH 14, 2014 AT 07:30 AM

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

Brett Chappell
Brett J. Chappell

7/11/2016
DATE:

BRETT J. CHAPPELL
PROFESSIONAL LAND SURVEYOR
LICENSE NUMBER 7547
EXPIRATION DATE: DECEMBER 31, 2017



CHAPPELL SURVEYING SERVICES
680 E. LINDER WAY
OKAVALLE, CA 95361
PHONE: (209) 845 9694 FAX: (209) 845 9654
survey@gsaific.com
LAND SURVEYING • GEOGRAPHIC INFORMATION SYSTEMS

BOUNDARY AND TOPOGRAPHIC SURVEY
FOR TEGA BUILDERS
953 HOBART STREET
CITY OF SAN MATEO
STATE OF CALIFORNIA

Revisions	No.	Date	By	Check

2016018TP
1 OF 1



7 EXISTING WEST FACADE



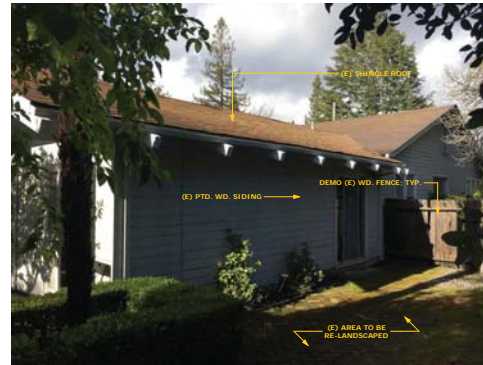
5 EXISTING NORTH EAST FACADE



3 EXISTING SOUTH FACADE



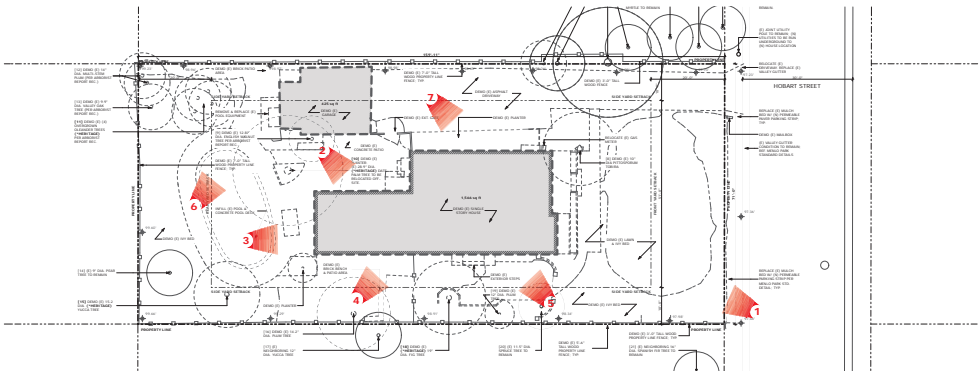
6 EXISTING SOUTH EAST FACE OF GARAGE



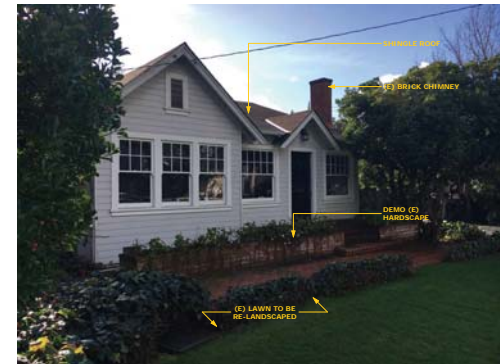
4 EXISTING SOUTH EAST FACADE



2 EXISTING SOUTHWEST FACE



8 KEYPLAN
SCALE: 1/16" = 1'-0"



1 EXISTING NORTH FACADE

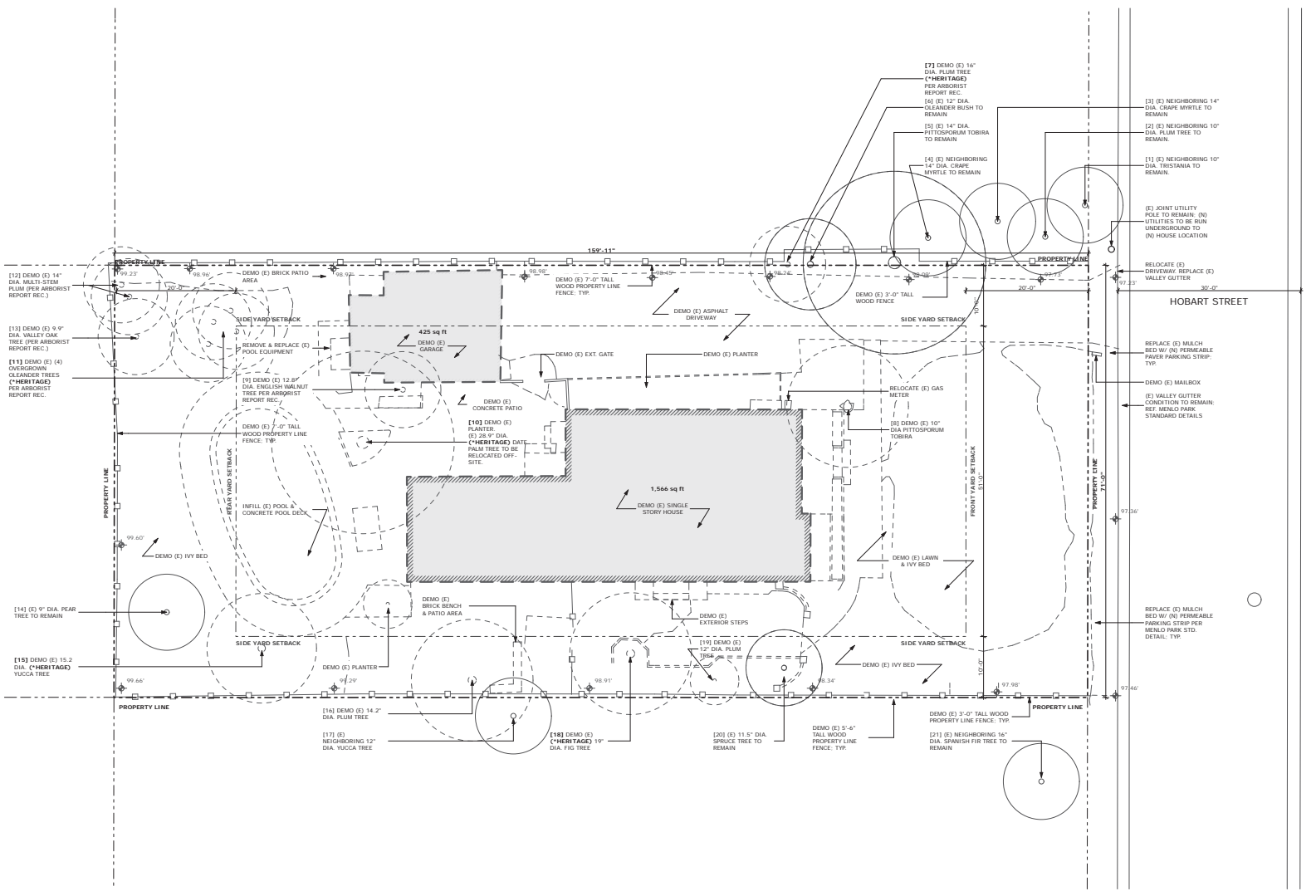
USE PERMIT

REVISIONS:	BY:

JOB#:	1618
DATE:	01/31/2017
DRAWN:	SR
CHECKED:	RJ
SCALE:	AS NOTED

EXISTING PHOTOS

- GENERAL NOTES:**
1. NEIGHBORING TREES SHOWN SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE W/ MENLO PARK REQUIREMENTS
 2. [#] DESIGNATES TREE NUMBERS GENERATED BY 8/5/2016 ARBORIST REPORT



1 DEMO SITE PLAN
SCALE: 1/8" = 1'-0"

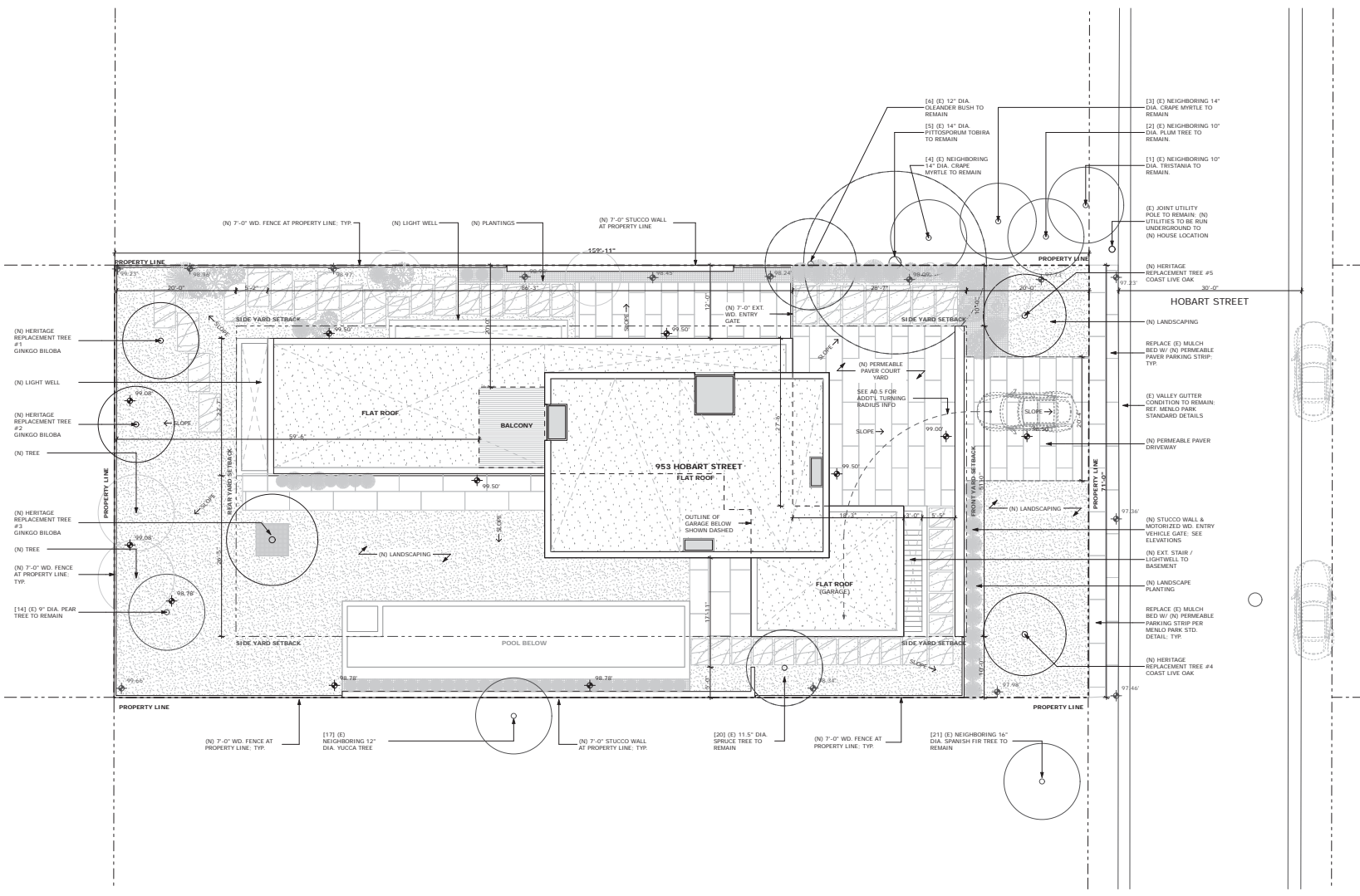
USE PERMIT

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REVISION - 04/25/2017	KA

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CHECKED:	RJ
SCALE:	AS NOTED



DEMO / EXISTING SITE PLAN



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

USE PERMIT

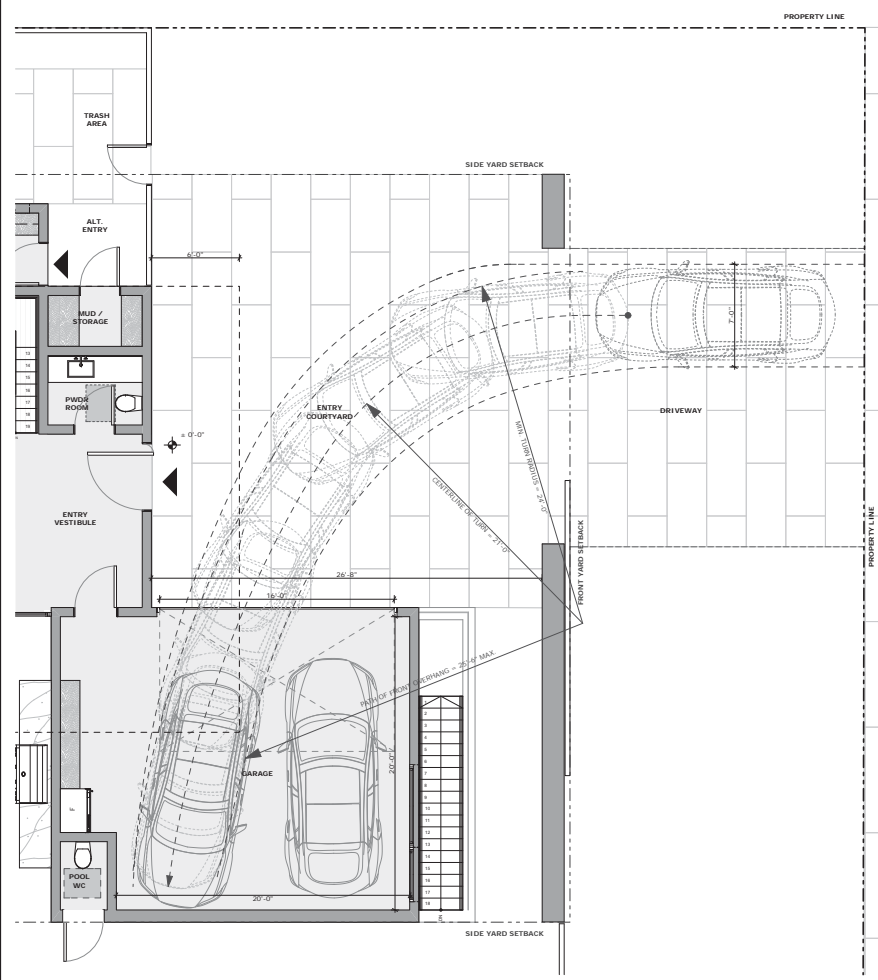
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REVISION - 04/24/2017	SR
REVISION - 04/25/2017	KA

JOB#:	1618
DATE:	01/31/2017
DRAWN:	SR
CHECKED:	RJ
SCALE:	AS NOTED

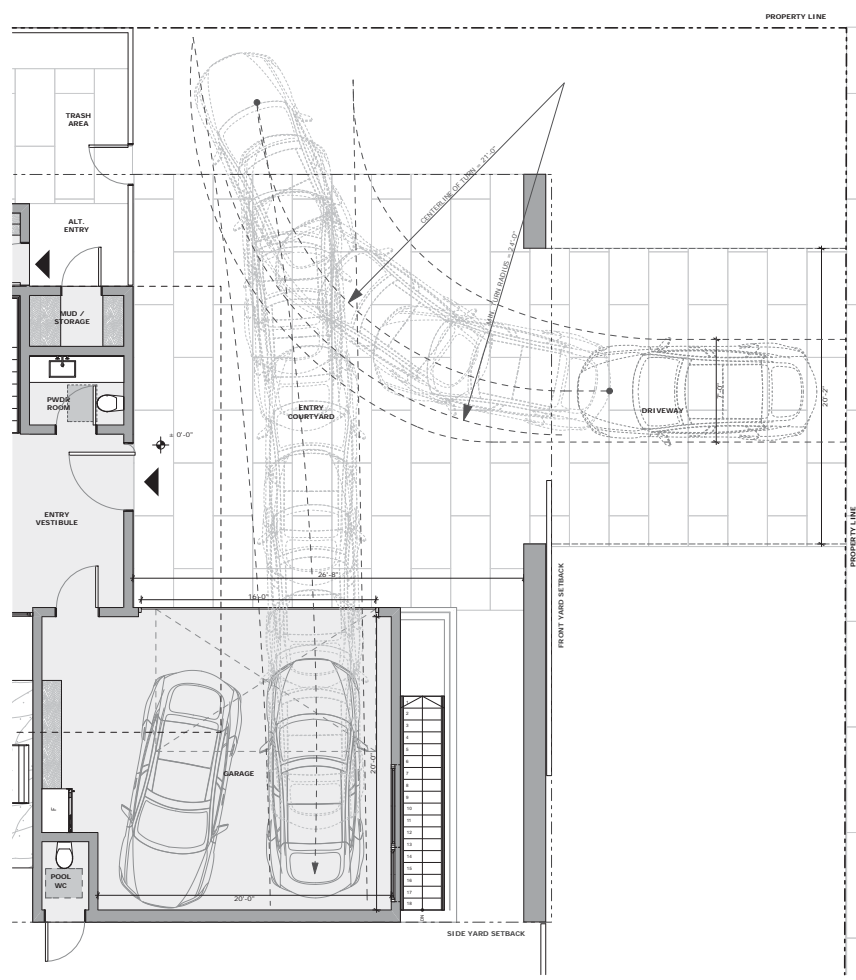


PROPOSED SITE PLAN

A0.4



② TURNING RADIUS DIAGRAM: SCENARIO 2
SCALE: 1/4" = 1'-0"



① TURNING RADIUS DIAGRAM: SCENARIO 1
SCALE: 1/4" = 1'-0"

NOTES:

1. TURNING RADIUS DIAGRAM ADAPTED FROM MENLO PARK TRANSPORTATION DIVISION TURN RADIUS GREEN BOOK
2. TESLA MODEL-S SHOWN FOR REFERENCE

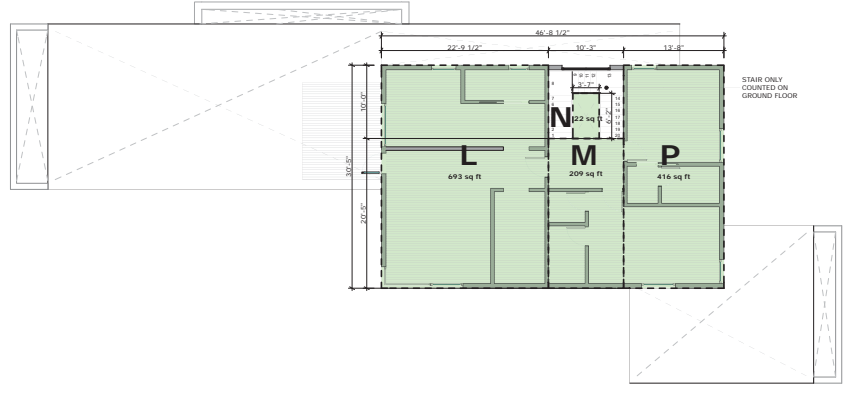
USE PERMIT

REVISIONS:	BY:
△ REVISION - 04/24/2017	SR
△ REVISION - 04/25/2017	KA

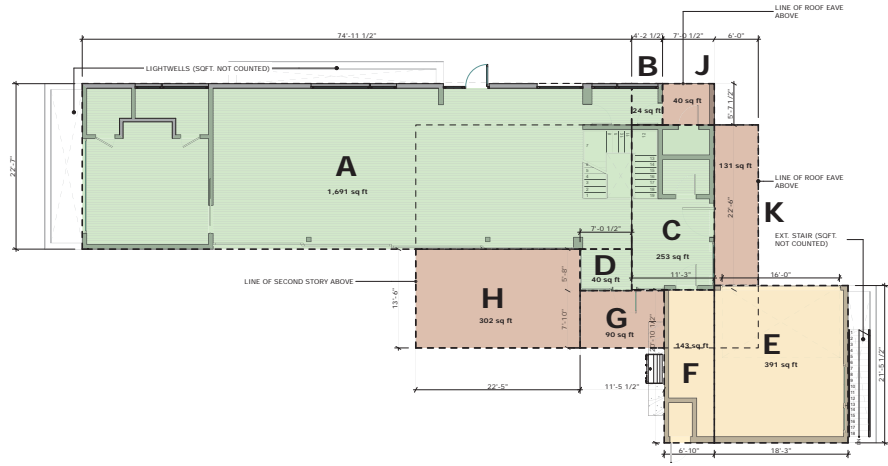
JOB#:	1618
DATE:	01/31/2017
DRAWN:	SR
CHECKED:	RJ
SCALE:	AS NOTED



TURNING RADIUS DIAGRAMS



2 SECOND FLOOR PLAN - AREA CALCULATION
SCALE: 1/8" = 1'-0"



1 GROUND FLOOR PLAN - AREA CALCULATION
SCALE: 1/8" = 1'-0"

AREA CALCULATION LEGEND

- INTERIOR CONDITIONED AREA (COUNTED IN FAL)
- INTERIOR UNCONDITIONED AREA (COUNTED IN FAL)
- EAVE OVERHANGS > 6'-0" (COUNTED TOWARD LOT COVERAGE)

GROUND FLOOR CALCULATIONS

A = (74'-11 1/2" X 22'-7") = 1,691 SQFT
 B = (4'-2 1/2" X 5'-7 1/2") = 24 SQFT
 C = (22'-6" X 11'-3") = 253 SQFT
 D = (7'-0 1/2" X 5'-8") = 40 SQFT
 E = (21'-5 1/2" X 18'-3") = 391 SQFT
 F = (6'-10" X 20'-10 1/2") = 143 SQFT
 (A) + (B) + (C) + (D) + (E) + (F) = GROUND FL TOTAL
 1,691 SQFT + 24 SQFT + 253 SQFT + 40 SQFT + 391 SQFT + 143 SQFT
 = 2,542 SQFT

SECOND FLOOR CALCULATIONS

L = (22'-9 1/2" X 30'-5") = 693 SQFT
 M = (10'-3" X 20'-5") = 209 SQFT
 N = (3'-7" X 6'-2") = 22 SQFT
 P = (13'-8" X 30'-5") = 416 SQFT
 (L) + (M) + (N) + (P) = 2ND FL TOTAL
 693 SQFT + 209 SQFT + 22 SQFT + 416 SQFT
 = 1,340 SQFT

EXT. BLDG. COVERAGE (NOT INCLUDED IN FAL CALCS)

G = (11'-5 1/2" X 7'-10") = 90 SQFT
 H = (22'-5" X 13'-6") = 302 SQFT
 J = (7'-0 1/2" X 5'-7 1/2") = 40 SQFT
 K = (6'-0" X 22'-6") = 131 SQFT
 (G) + (H) + (J) + (K) = LOT COVG. TOTAL
 90 SQFT + 302 SQFT + 40 SQFT + 131 SQFT
 = 563 SQFT

TOTAL FAL CALCULATIONS

(GRD FL TOTAL) + (2ND FL TOTAL) = TOTAL FAL
 2,542 SQFT + 1,340 SQFT
 = 3,882 SQFT

TOTAL BUILDING/LOT COVERAGE CALCULATIONS

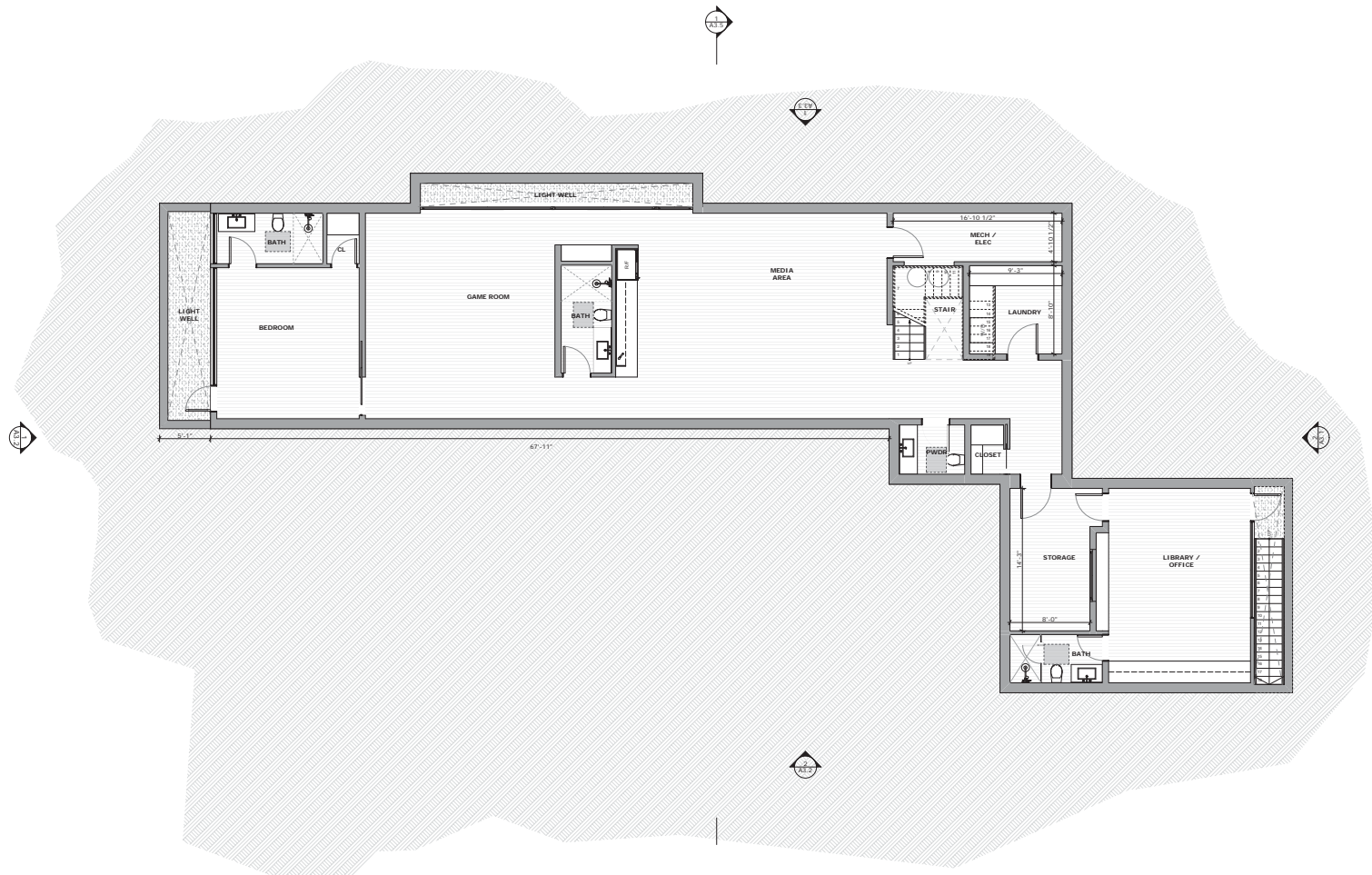
(GRD FL FAL) + (EXT. BLDG. COVERAGE) = TOTAL LOT COVERAGE
 (2,542 SQFT) + (563 SQFT)
 = 3,105 SQFT

USE PERMIT

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DATE:	01/31/2017
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CHECKED:	RJ
SCALE:	AS NOTED

FLOOR AREA CALCULATIONS



1 PROPOSED BASEMENT FLOOR PLAN
SCALE: 3/16" = 1'-0"

USE PERMIT

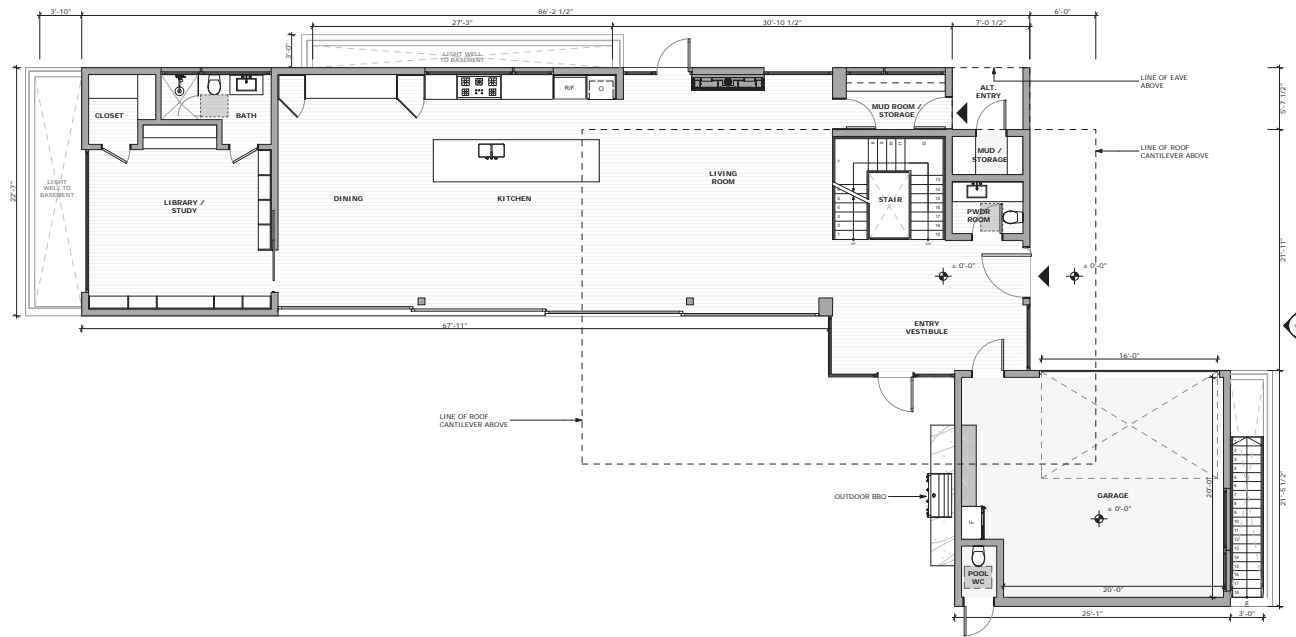
REVISIONS:	BY:
△ REVISION - 04/24/2017	SR

JOB#:	1618
DATE:	01/31/2017
DRAWN:	SR
CHECKED:	RJ
SCALE:	AS NOTED



BASEMENT PROPOSED PLAN

A2.1



1 PROPOSED GROUND FLOOR
SCALE: 3/16" = 1'-0"

USE PERMIT

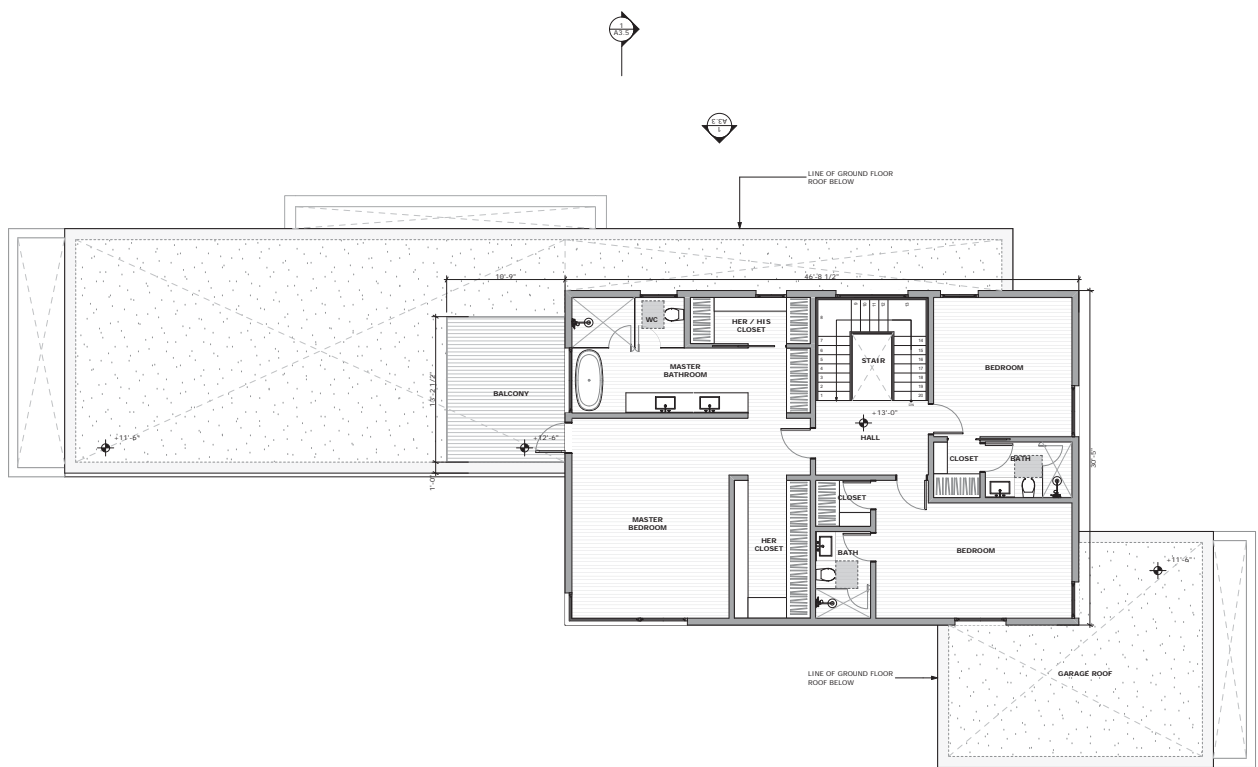
REVISIONS:	BY:
REVISION - 04/24/2017	SR
REVISION - 04/25/2017	KA

JOB#:	1618
DATE:	01/31/2017
DRAWN:	SR
CHECKED:	RJ
SCALE:	AS NOTED



**FIRST FLOOR
PROPOSED PLAN**

A2.2



1 PROPOSED SECOND FLOOR
SCALE: 3/16" = 1'-0"

USE PERMIT

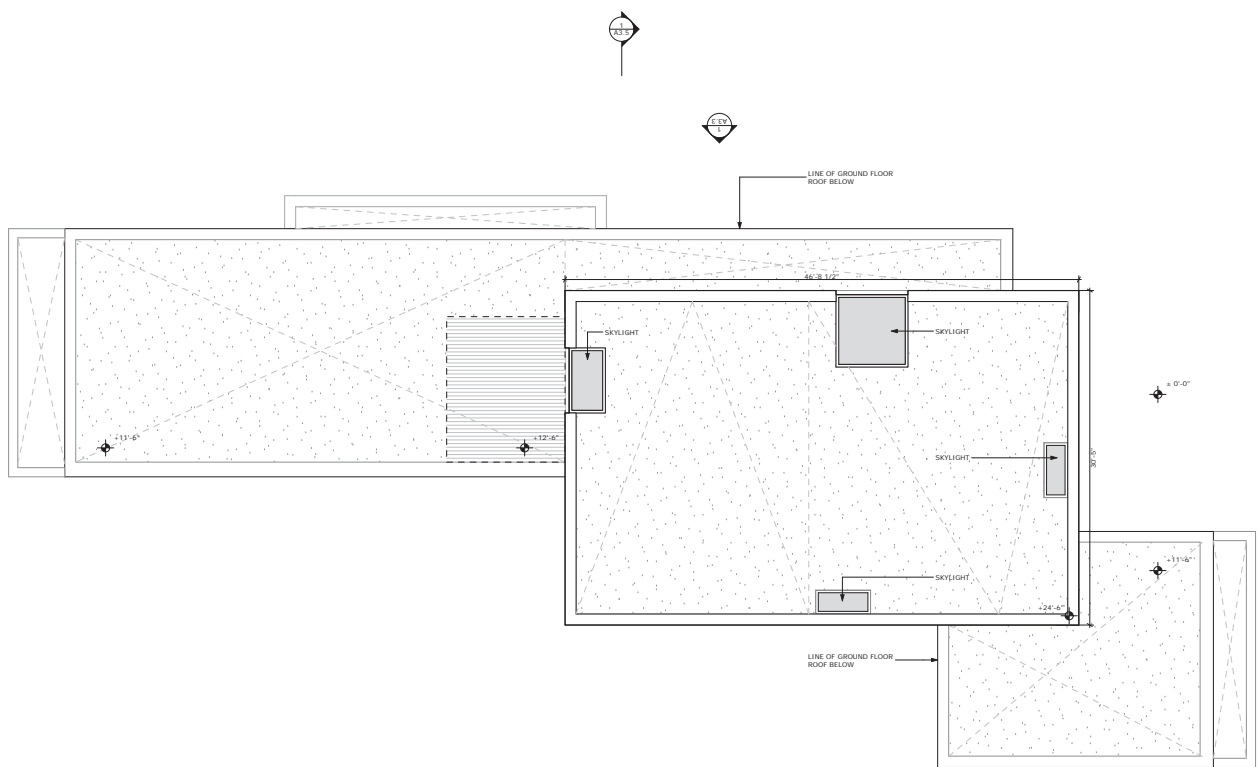
REVISIONS:	BY:
△ REVISION - 04/24/2017	SR

JOB#:	1618
DATE:	01/31/2017
DRAWN:	SR
CHECKED:	RJ
SCALE:	AS NOTED



**SECOND FLOOR
PROPOSED PLAN**

A2.3



1 PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"

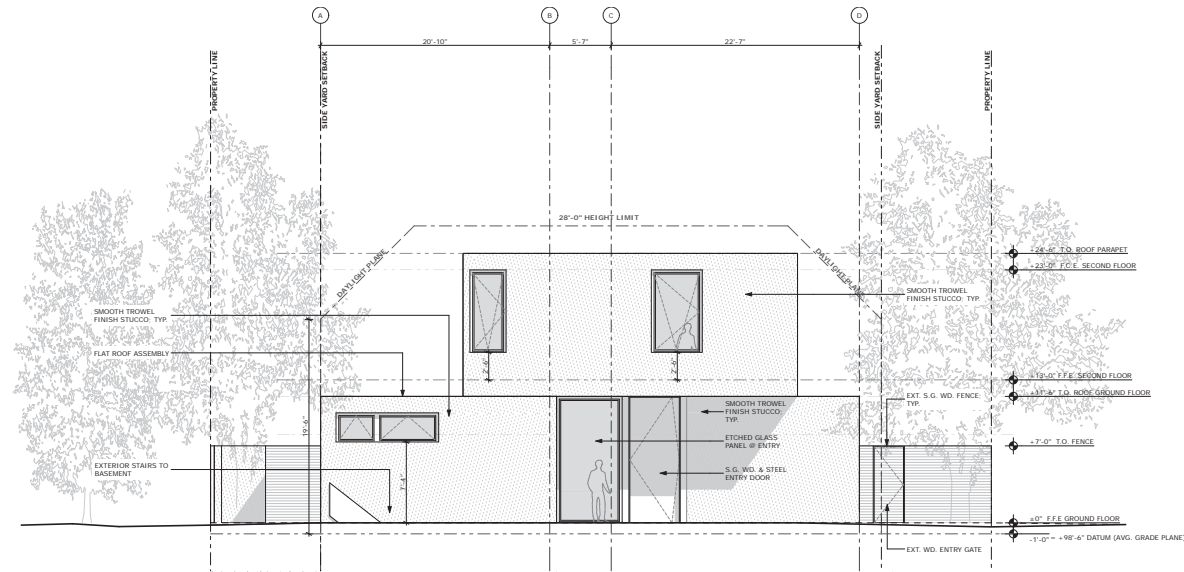
USE PERMIT

REVISIONS:	BY:
△ REVISION - 04/24/2017	SR

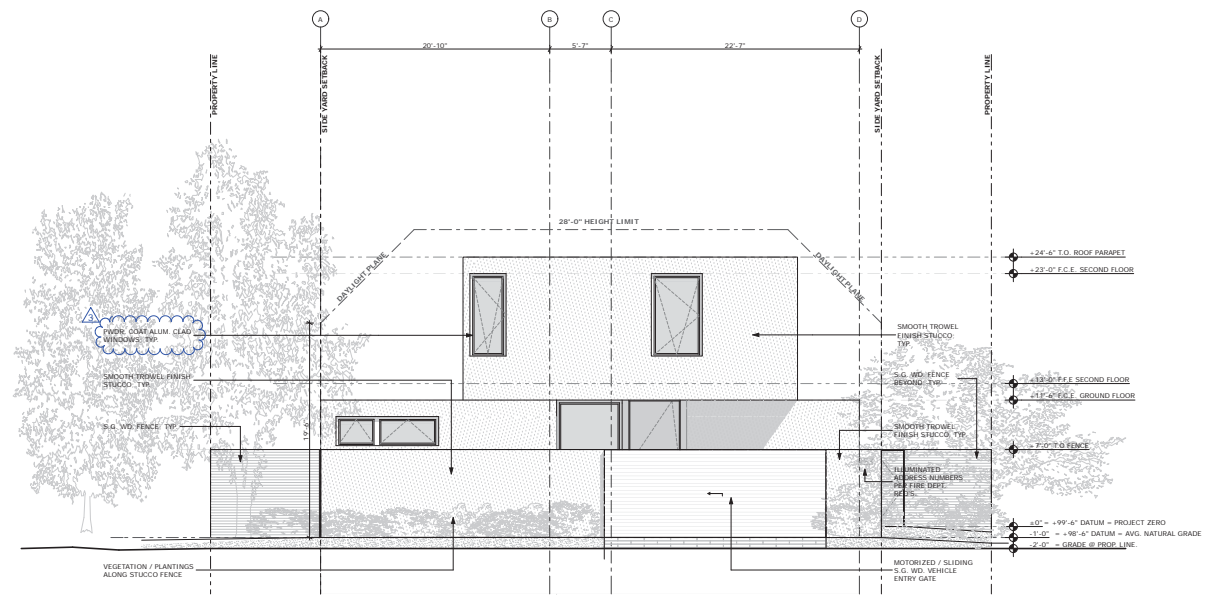
JOB#:	1618
DATE:	01/31/2017
DRAWN:	SR
CHECKED:	RJ
SCALE:	AS NOTED



ROOF PROPOSED PLAN



2 PROPOSED NORTH ELEVATION (BEHIND WALL)
SCALE: 3/16" = 1'-0"



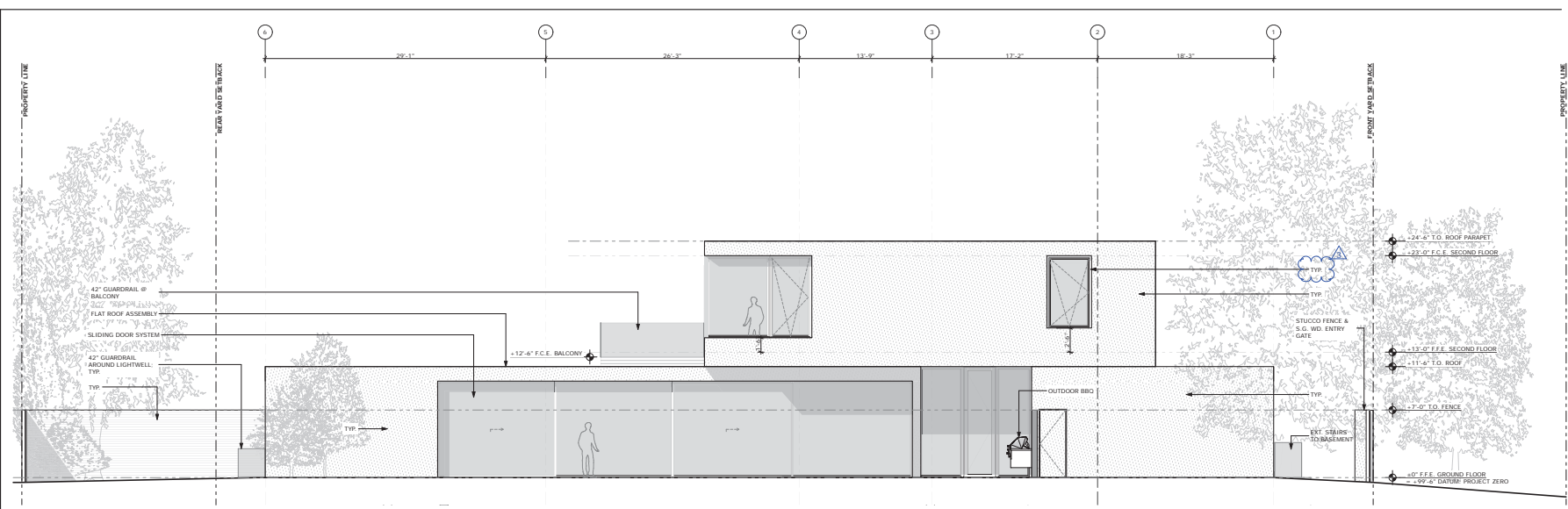
1 PROPOSED NORTH ELEVATION (FROM STREET)
SCALE: 3/16" = 1'-0"

USE PERMIT

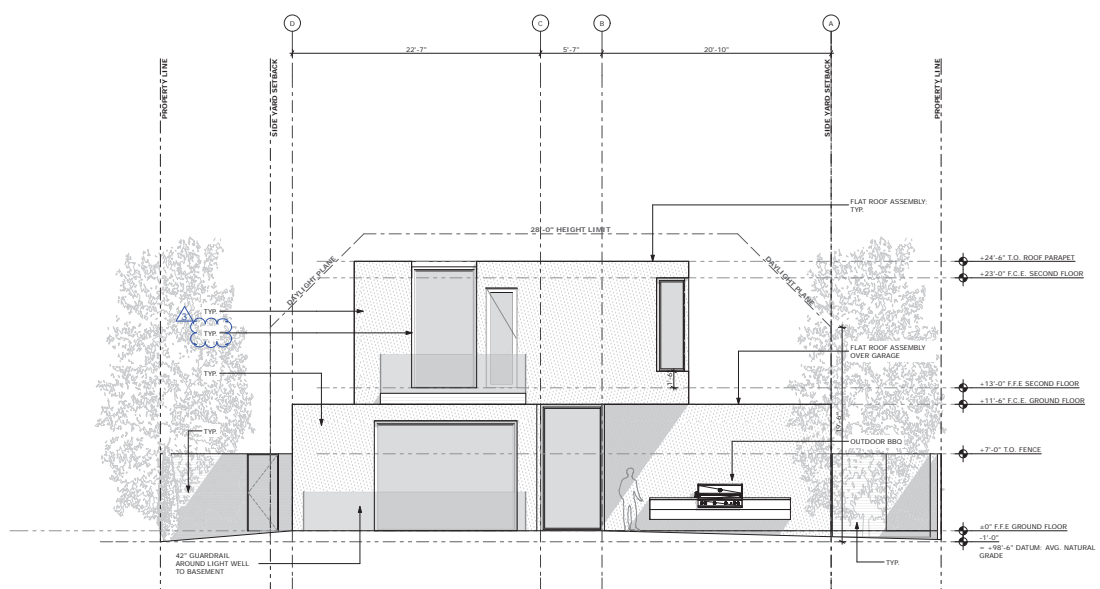
REVISIONS:	BY:
REVISION - 04/24/2017	SR
REVISION - 04/28/2017	SR

JOB#:	1618
DATE:	01/31/2017
DRAWN:	SR
CHECKED:	RJ
SCALE:	AS NOTED

EXTERIOR ELEVATIONS



2 PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"



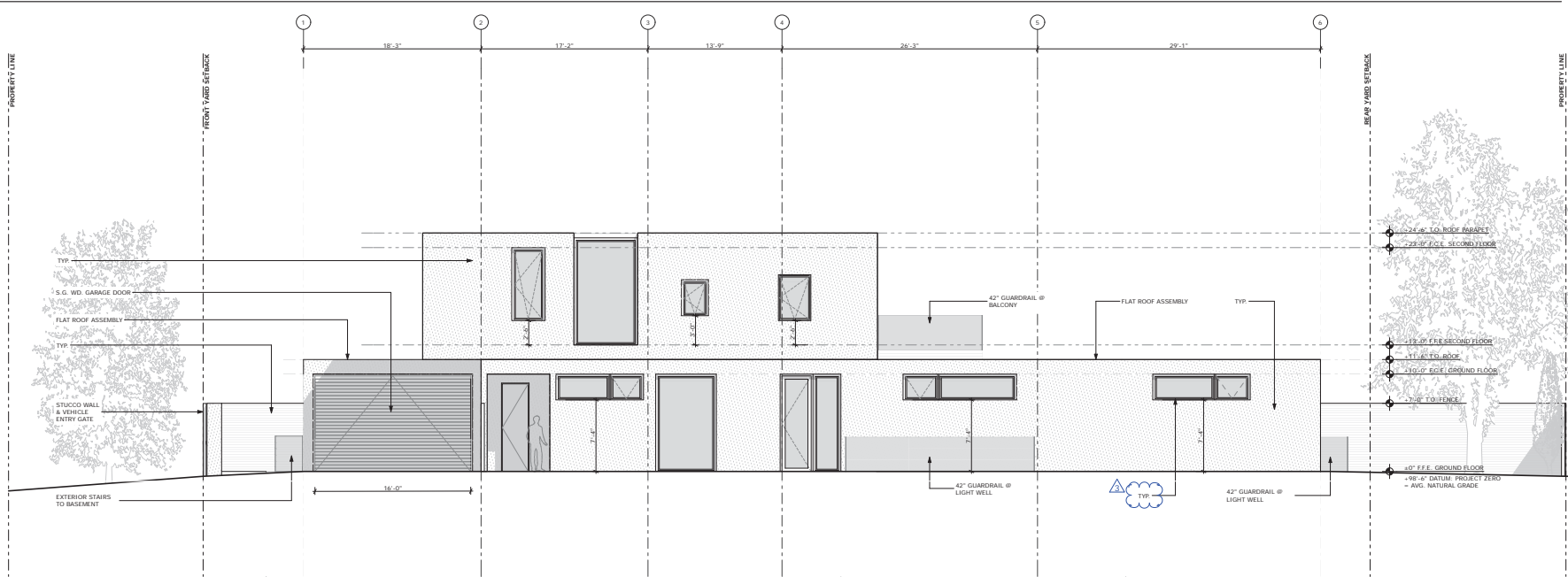
1 PROPOSED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

USE PERMIT

REVISIONS:	BY:
REVISION - 04/24/2017	SR
REVISION - 04/28/2017	SR

JOB#:	1618
DATE:	01/31/2017
DRAWN:	SR
CHECKED:	RJ
SCALE:	AS NOTED

EXTERIOR ELEVATIONS



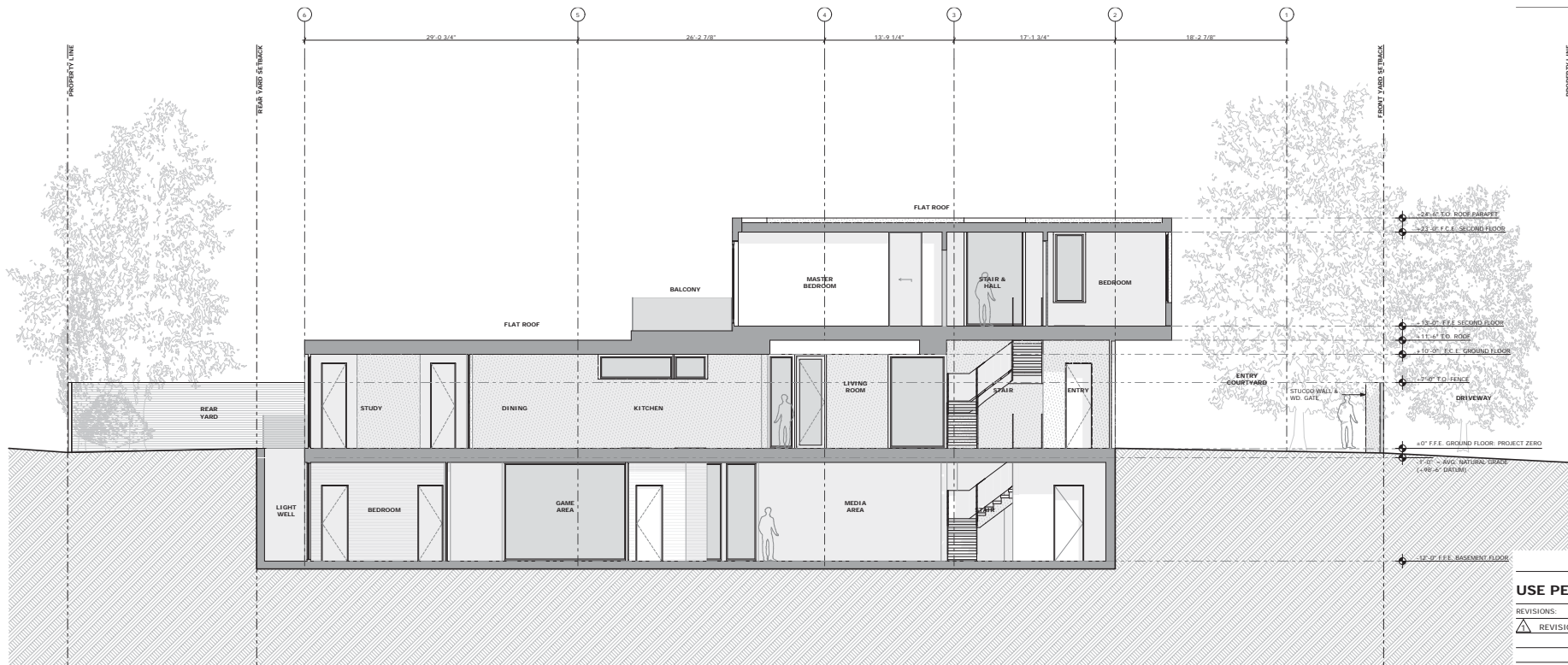
1 PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"

USE PERMIT

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REVISION - 04/25/2017	KA
REVISION - 04/28/2017	SR

JOB#:	1618
DATE:	01/31/2017
DRAWN:	SR
CHECKED:	RJ
SCALE:	AS NOTED

EXTERIOR ELEVATIONS



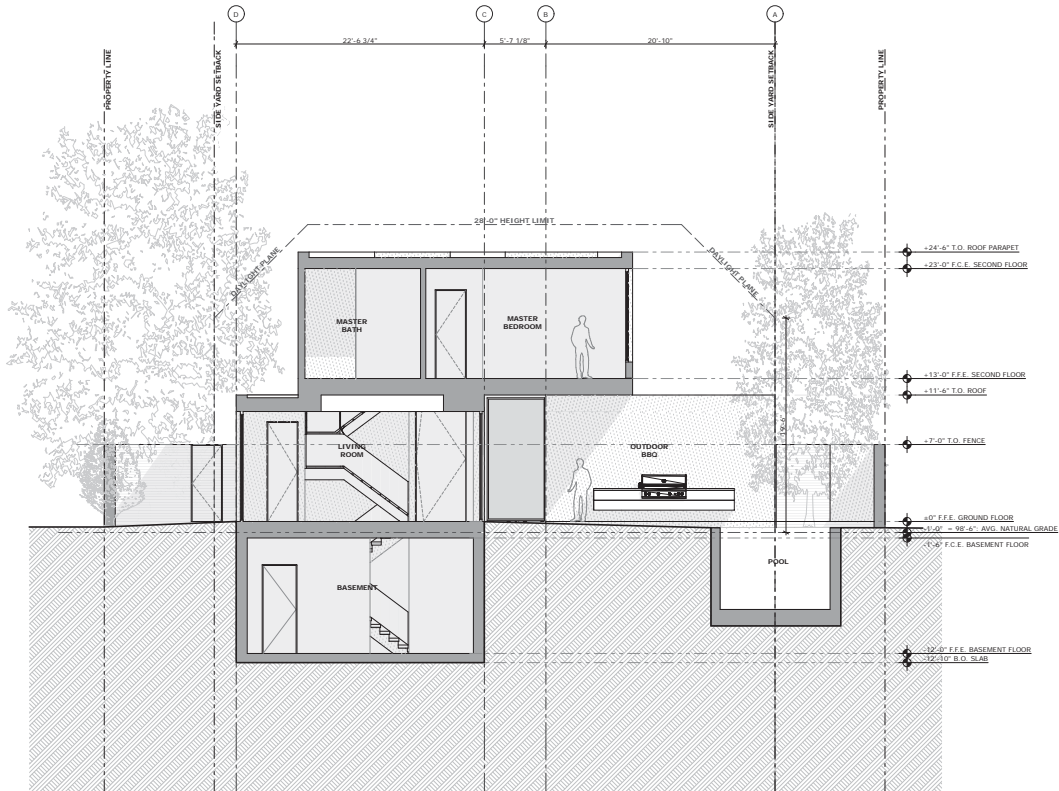
1 NORTH / SOUTH SECTION
SCALE: 3/16" = 1'-0"

USE PERMIT

REVISIONS:	BY:
△ REVISION - 04/24/2017	SR

JOB#:	1618
DATE:	01/31/2017
DRAWN:	SR
CHECKED:	RJ
SCALE:	AS NOTED

NORTH-SOUTH SECTION



1 EAST / WEST SECTION
SCALE: 3/16" = 1'-0"

USE PERMIT

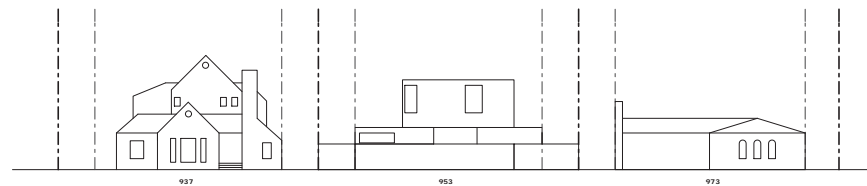
REVISIONS:	BY:
△ REVISION - 03/28/2017	SR

JOB#:	1618
DATE:	01/31/2017
DRAWN:	SR
CHECKED:	RJ
SCALE:	AS NOTED

EAST-WEST SECTION



② CONCEPTUAL RENDERING: PRINCIPAL FACADE



① STREETScape ELEVATION
SCALE: 1/16" = 1'-0"

FRIEDMAN RESIDENCE
953 HOBART STREET, MENLO PARK, CA 94025

USE PERMIT

REVISIONS:	BY:
△ REVISION - 04/24/2017	SR

JOB#:	1618
DATE:	01/31/2017
DRAWN:	SR
CHECKED:	RJ
SCALE:	AS NOTED

STREETScape ELEVATIONS

A3.6



DATE: 04/28/3017

TO: Ori Paz: City of Menlo Park Planning Division

FROM: Steven Ratley

PROJECT NAME: 953 Hobart Street

SUBJECT: Updated Project Description Letter

Purpose:

Seeking a use permit for a new home on a substandard lot, with respect to width, in the R-1-S (single family suburban) zoning district.

Scope of Work:

Demolish a single-story family residence with detached garage (the garage is sited in the right-side setback) and construct a new two-story single family residence over a full basement on a substandard lot with respect to width in the R-1-S (Single-Family Suburban) zoning district. Five heritage-size trees are proposed to be removed and replaced including a 16" Plum Tree, a multi-stem Oleander Tree, a 15" Yucca Tree, a 19" Fig Tree and a 30" Date Palm. The existing Heritage Date Palm will be donated to Stanford University. It will be carefully extracted by a licensed professional and transplanted to its new home at Stanford University.

The total floor area (3,882 sq. ft.), building coverage (3,105 sq. ft), and height (24'-6") of the proposed residence are below the maximum amounts permitted by the Zoning Ordinance and the structure complies with daylight plane restrictions for a two-story home. The new residence adheres to all setback requirements.

Style:

The house is a decidedly modern, flat-roofed structure characterized by clean lines, simple geometry and large openings. The wood framed structure uses a paired down material palette of whitewashed smooth trowel finish stucco with stain-grade wood and metal accents.

Basis for Site Layout:

The layout of the site and the structure is rooted in a courtyard typology in an effort to maximize the connection between interior living and outdoor spaces. Three intersecting volumes converge to frame a private courtyard area. The house is designed to embrace the entirety of the site by way of large openings at the ground level establishing a seamless transition from interior to exterior. Large light wells are provided to illuminate the basement level with natural light, continuing the connection to the landscape while alleviating the need for artificial lighting during the day. The front façade is set back in excess of the minimum required front setback to offer a more subdued and balanced view of the boldly simple structure from the street. New replacement heritage trees and landscaping are used to enrich a sense of place for the homeowners, neighboring residents and passersby.

Existing and Proposed Uses:

Single Family Residence / Single Family Residence

Outreach to Neighboring Properties:

Property owner contacted all properties within 300' radius with a personal letter explaining scope of project and an offer to address any concerns, or interest, affected property owners might have. Two adjacent property owners (973 Hobart on the right side of subject property and 980 Hobart directly across the street from subject property) met with property owner to discuss proposed project. Both owners appreciated contact and expressed support of the project. The property owner of 936 Olive (adjacent property on right rear corner) also contacted homeowner, via e-mail, to express appreciation for "thoughtfulness of contact."

From: Harry Hagey
To: [Paz, Ori](#)
Cc: ken.friedman@gmail.com
Subject: 953 Hobart
Date: Wednesday, April 19, 2017 3:57:00 PM

Dear Mr. Paz, We live at 936 Olive Street. We have reviewed the proposed plans for the new home to built at 953 Hobart and have no objections. It should be and excellent addition to the neighborhood. Harry Hagey

936 Olive Street

Menlo Park, CA 94025

Home: 650-600-8134

Cell: 650-455-1496

RECEIVED

JAN 31 2017

Copy
ATTACHMENT G



CITY OF MENLO PARK
BUILDING

Mayne Tree Expert Company, Inc.

ESTABLISHED 1931

STATE CONTRACTOR'S LICENSE NO. 276793

CERTIFIED FORESTER • CERTIFIED ARBORISTS • PEST CONTROL • ADVISORS AND OPERATORS

RICHARD L. HUNTINGTON
PRESIDENT

535 BRAGATO ROAD, STE. A
SAN CARLOS, CA 94070-6311

JEROMEY INGALLS
CONSULTANT/ESTIMATOR

TELEPHONE: (650) 593-4400
FACSIMILE: (650) 593-4443
EMAIL: info@maynetree.com

August 5, 2016

Mr. Ken Friedman
Zega Builders, Inc.
411 Arlington Wy.
Menlo Park, CA 94025

Dear Mr. Friedman,

RE: 953 HOBART STREET, MENLO PARK

At your request, I visited the above site on July 19, 2016. The purpose of my visit was to inspect and comment on the trees located on the property and within 10 feet of the property line larger than 8 inches in diameter.

Limitations of this report

This report is based on a visual-only inspection that took place from ground level. I accept no responsibility for any unseen or undocumented defects associated with the trees in this report.

Method

Each tree was identified and given an identification number. This number is scribed onto a metal foil tag and placed at eye level on the trunk of the tree. This number has also been placed on to a corresponding site map to show the approximate locations of the trees on the property. The diameter of the trees was found by measuring 54 inches above the natural grade as described in the City of Menlo Park Heritage Tree Ordinance. The height and canopy spread of each tree was estimated to give the tree's approximate dimensions. A condition rating has been given to the trees. This rating is based on form and vitality and can be further defined by the following table:

0	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

Lastly, a comments section has been provided to give more individual detail about the tree and its surroundings.

Tree Survey

Tree #	Species (Common)	Diameter (inches)	Condition (percent)	Height (feet)	Spread (feet)	Comments
1	Tristania	10.0 (est.)	65	15	10	Routinely shaped into rounded form; located on neighboring property; no tag.
2	Plum	10.0 (est.)	45	15	10	Multi-stem at 3 feet; routinely shaped into a rounded form; located on the neighboring property; no tag.
3	Crape Myrtle	14.0 (est.)	50	18	10	Multi-stem at the base; routinely shaped into a rounded form; located on the neighboring property; no tag.
4	Crape Myrtle	14.0 (est.)	50	18	10	Multi-stem at the base; routinely shaped into a rounded form; located on the neighboring property; no tag.
5	Pittosporum tobira	14.0 (est.)	45	15	12	Multi-stem at the base; provides good screening; routinely side-pruned along driveway.
6	Oleander	12.0 (est.)	40	18	12	Multi-stem at the base; provides good screening.
7	Plum	16.0 (est.)	40	20	15	Ganoderma conk at the base; three-stem at 2 feet with included bark; tip dieback present.
8	Pittosporum tobira	10.0 (est.)	55	13	18	Multi-stem at the base; root crown covered; good vigor fair form.
9	English Walnut	12.8	40	25	21	Roots lifting and cracking the concrete; mostly dead canopy.
10	Date Palm	28.9	65	35	28	Large amount of exposed roots at the base; cracking the planter; healthy canopy poor location.
11	Oleander	18.0 (est.)	50	18	24	Four individual large overgrown shrubs; multiple stems at the base; good vigor; poor form; limits usable space along the right rear corner of the property.
12	Plum	14.0 (est.)	50	21	18	Multi-stem at the base; root crown covered; healthy canopy.

Tree #	Species (Common)	Diameter (inches)	Condition (percent)	Height (feet)	Spread (feet)	Comments
13	Valley Oak	9.9	45	30	33	Root crown covered; leans east due to a competition for light with the Oleander; codominant attachment at 10 feet; good vigor; poor form.
14	Pear	9.0 (est.)	50	15	15	Two-stem at the base; root crown covered; fire blight present in the canopy; good vigor.
15	Yucca	15.2	45	20	15	Root crown covered; multiple tops; good vigor; dead spots on the trunk.
16	Plum	14.2	25	12	9	Mostly dead trunk with single lower green branch; significant cavity at the base.
17	Yucca	12.0 (est.)	45	25	9	Slight lean to the east; located on the neighboring property; no tag; good vigor.
18	Fig	19.0	45	2	21	Partially covered root crown; three stems at 5 feet with included bark; thinning upper canopy; most likely drought stressed; several small cavities present.
19	Plum	12.0 (est.)	25	20	18	Codominant at base with included bark; Ganoderma conk at 1 foot; mostly dead top.
20	Colorado Blue Spruce	11.5	85	30	12	Roots lifting the brick planter; good form and vigor; abundance of interior deadwood.
21	Spanish Fir	16.0 (est.)	65	35	15	Located in the neighboring property; top side-pruned by PG&E; no tag.

Observations

During my inspection of this property, I found that the majority of the trees on this site appeared to have received routine maintenance in the past. Trees #1-#4, #17, and #21 are all located on adjacent properties within 10 feet of the property line.

Trees #5 and #8 are both *Pittosporum tobira* trees located on opposite sides of the driveway. Both of these trees have multi-stem trunks and have good vigor. Tree #5 provides good screening of the neighboring property.

Tree #6 is an overgrown Oleander shrub located along the right side of the driveway. This tree has a multi-stem attachment at its base and provides good screening of the neighboring property.

Tree #7 is a Plum tree located on the right side of the driveway near the property line fence. This tree has three stems at 2 feet with included bark between the stems and a Ganoderma conk at its base that indicates an internal fungal infection.

I believe this tree is at the end of its life cycle and should be considered for removal in the near future.

Tree #9 is an English Walnut located on the left side of the garage. The roots of this tree are lifting and cracking the nearby concrete and the upper canopy is mostly dead.

This tree is mostly dead and I believe it should be removed as soon as possible.

Tree #10 is a Date Palm located at the back right corner of the home, in a small raised planter bed. There is an abundance of exposed roots near the base of this tree and the planter has been cracked by the tree's root crown tree. The upper canopy is healthy and vigorous with a small number of dead fronds. This tree is less than 6 feet from the edge of the pool.

I believe this tree is too large for its current location. I recommend considering the removal of this tree in the near future.

Tree #11 is a group of four large overgrown Oleander shrubs. These shrubs limit the usable space in this area and are a host for small rodents and pests.

I recommend removing and replacing these shrubs with small trees that will provide screening of the neighboring property and make this area more usable.

Tree #12 is a Plum tree located at the right rear corner of the property. This tree appears to be a volunteer that has poor form. I also found a small 7-inch diameter Valley Oak located near the base of this tree. This Valley Oak has poor form due to a competition for light and leans over the neighboring property.

Removal of the Plum tree is recommended in the near future. In addition, the small Valley Oak should be considered for removal at the same time.

Tree #13 is a Valley Oak located at the right rear corner of the property. This tree leans significantly to the east due to a competition for light with the larger group of Oleander (tree #11). There is a codominant attachment at 10 feet and a combination of ivy and other organic material cover the root crown of this tree.

I recommend routine tree maintenance that should include end weight reduction on the leaning side of the canopy and exposing this tree's root crown in the near future.

Tree #14 is a fruiting Pear tree located at the left rear corner of the property. This tree has a covered root crown, a two stem attachment at the base, and fire blight in random locations around the canopy. The overall vigor of this tree is good.

I recommend routine maintenance that should include exposing the root crown of the tree and pruning out the fire blight. In addition, I recommend sterilizing the pruning utensils between each cut to minimize the spread of the fire blight.

Tree #15 is a Yucca tree located at the back left corner of the property. This tree has a covered root crown, a moderate number of dead fronds, several dead sections on the trunk where no bark is present and good vigor.

I recommend routine maintenance that should include removal of the dead fronds and exposing the root crown.

Tree #16 is a mostly dead Plum tree located on the left side of the home. This tree has a significant cavity at its base and only one green sprout on the lower trunk.

I believe this tree is a hazard and should be removed.

Tree #18 is a Fig tree located on the left side of the home. This tree has three stems at 5 feet with included bark between the main stems, several small cavities in various locations on the trunk from previously removed limbs, and the upper canopy is thinning from drought stress.

I believe this tree has good potential to thrive if supplemental irrigation is supplied around its root zone. In addition the root zone would benefit from aeration and mulch.

Tree #19 is a Plum tree located on the left side of the home. This tree has a codominant attachment at its base with included bark. I found a Ganoderma conk at its base and the upper canopy is mostly dead.

Due to its poor health, I recommend removal of this tree in the near future.

Tree #20 is a Colorado Blue Spruce located at the front left corner of the home. This tree has good form and vigor with a minor amount of interior deadwood.

I recommend routine maintenance that should include interior deadwood removal and aeration of the root zone with new mulch placed around the root zone.

Summary

Trees #1-#4, #17, and #21 are all located on adjacent properties within 10 feet of the property line; they require no work at this time. Trees #7, #9, #10, #11, #12, and #16 should all be considered for removal due to their location, health, or structural defects. The remaining trees should receive routine tree maintenance such as exposing the root crowns, deadwood removal, and end weight reduction.

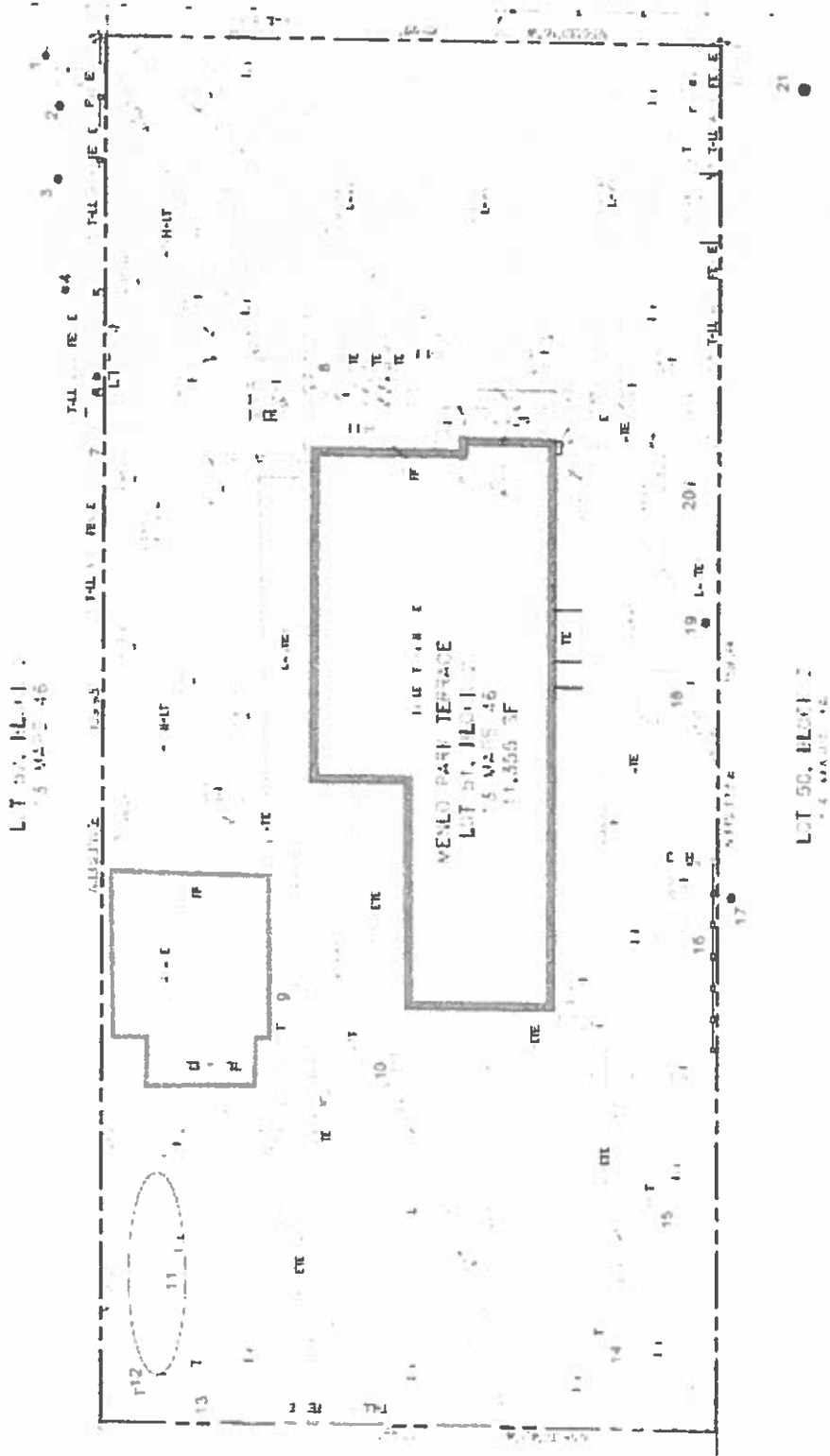
All work performed as a result of this report should be performed by a qualified licensed tree care professional. If I can be of further assistance, please contact me at my office. I believe this report is accurate and based on sound arboriculture principles and practices.

Sincerely,


Jeromey A. Ingalls
Certified Arborist WE #7076A

JAI:pmd







STAFF REPORT

Planning Commission

Meeting Date: 5/8/2017
Staff Report Number: 17-027-PC

Public Hearing: Use Permit Revision/Justin Young/435 University Drive

Recommendation

Staff recommends that the Planning Commission approve a use permit revision to make exterior changes to an existing residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban Residential) zoning district at 435 University Drive. The project received a use permit on February 22, 2016 to partially demolish, remodel, and construct first- and second-story additions to the existing single-story, single-family residence. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The project site is located at 435 University Drive, between Middle Avenue and College Avenue in the Allied Arts neighborhood. A location map is included as Attachment B. Adjacent parcels are also zoned R-1-U, with single-story, single-family residences on the south side of University Drive, and a small number of two-story, single-family residences on the north side of the street and on the east side of College Avenue in the vicinity of the proposed project. Single-story residences on University Drive predominantly feature ranch and bungalow styles, while two-story residences on nearby College Avenue feature a variety of contemporary, craftsman, and traditional styles.

Previous Planning Commission review

In October 2015, the applicant applied for a use permit to partially demolish, remodel, and construct first- and second-story additions to an existing single-story, single-family residence with an attached single-car garage. The applicant proposed to maintain a majority of the existing residence, including the single-car garage, while demolishing a portion of existing single-story living space at the rear right side of the residence. The proposal also included construction of a new second-story addition greater than 50 percent of existing floor area on the lot. On February 22, 2016, the Planning Commission approved a use permit for the project. A building permit for the project was issued on July 15, 2016, and at present, construction of the residence is nearly complete.

Analysis

Project description

At this time, the applicant is proposing changes to the approved exterior, including different cladding materials, window styles, first-story window sizes and locations, and the relocation of a fireplace and chimney. Due to misunderstandings and miscommunication between the project development team, the residence has already been constructed incorporating nearly all of the proposed changes. However, the Planning Commission should evaluate the proposal as if it were being requested in advance of any work, and not use the construction sequencing as a primary basis for a particular decision.

The floor area, building coverage, and height of the residence are proposed to remain consistent with the project approved in 2016. The structure would also remain in compliance with the daylight plane for a two-story home in the R-1-U zoning district. The project plans and the applicant's project description letter are included as Attachments C and D, respectively.

Design and materials

The approved project featured a contemporary farmhouse aesthetic, with shed and gable dormers and a long front porch flush with the garage entrance. Wood board and batten siding was approved as the primary cladding material for the exterior of the residence, with horizontal wood siding accents on portions of the second story. Based on the owners' concerns about the increased use of board and batten siding on other residences in the area and how the style would fare over time, the revised project proposes horizontal wood siding as the primary cladding, with cedar shingle accents centered between the second-story gables on the front elevation.

The approved project featured aluminum clad double-hung wood windows without grids. As part of the revised project, the upper sashes of the double-hung windows would feature interior and exterior grids with a spacer bar between the glass to simulate true divided lights. In addition to changes to the window styles, a number of first-story windows would have slightly different sizes and locations. Most notably, on the rear elevation, two double-hung windows on the right side of the approved first story would be replaced by three double-hung windows with three small rectangular windows above to allow more light into the family room. Three casement windows on the left side of the approved first-floor rear elevation would be replaced with two double-hung windows. Second-story windows along the sides of the proposed residence would have sill heights consistent with, or higher than, the approved project to limit potential privacy impacts.

Additional changes proposed to the residence include replacement of a four-panel wood garage door with a more traditional carriage-style door with windows along the top. A fireplace proposed in the family room at the rear of the residence would be moved to the living room near the front of the residence. As a result, a chimney clad in horizontal wood siding would be located on the left side of the right-side gable at the front of the residence. Three skylights evenly spaced along the roof of the front elevation would allow more natural light into a second-story family space. Furthermore, the furnace would be relocated from the garage to an area below the stair landing on the left side (south) elevation. Exterior access doors would be placed below the bay window pop-out in the stairwell.

While more traditional in appearance than the approved project, staff believes the residence would maintain a consistent and cohesive style that generally echoes the characteristics of the approved home. The proposed mix of horizontal siding and cedar shingles would be applied in a more balanced and regular pattern versus the mix of board and batten and horizontal siding proposed at various heights and on different elevations of the approved project. The proposed changes to window heights are limited mainly to the first story, reducing the potential for privacy impacts versus the approved project. Given the architectural styles and sizes of structures in the vicinity, as well as the materials and architectural accents proposed, staff believes that the scale, materials, and style of the proposed residence fit within the broader neighborhood.

Trees and landscaping

At present, there are three trees on the project site, none of which are heritage trees. The three trees are located along the left-side property line. One additional tree, an eight-inch holly, was proposed for removal as part of the original project and has been cleared from the site. To staff's knowledge, the demolition of portions of the existing residence, construction of the proposed addition, and changes to the elevations of the approved project have not adversely affected trees located on the subject site or neighboring properties.

Parking and circulation

The residence was originally built with only one required off-street parking space in the existing one-car garage. As a result, the building is considered legal non-conforming in terms of parking. This type of nonconformity may be permitted to remain as part of an expansion/remodeling project. For the subject property, the majority of the existing building footprint was retained, effectively limiting the potential to bring the parking into full compliance. The existing driveway provides unofficial parking spaces within the front setback, which would not meet the off-street parking requirement but would provide some flexibility. No changes are currently proposed to parking.

Correspondence

The applicant indicates that the homeowners reached out to adjacent neighbors about the proposed changes, and there were no objections to the project at that time. Staff has not received any correspondence regarding the revised project. As noted by the applicant, the project architect is also one of the directly adjacent neighbors.

Conclusion

While more traditional in style than the approved residence, staff believes the proposed cladding materials and window styles would be applied consistently and cohesively, generally echoing the character of the approved home. Changes to window sizes and sill heights would mainly be limited to first-story windows, reducing the potential for increased privacy impacts to neighbors. The floor area, building coverage, and height of the proposed residence would remain at or below the maximum amounts permitted by the Zoning Ordinance, and the structure would continue to be within the daylight plane requirements. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Project Plans
- D. Project Description Letter

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

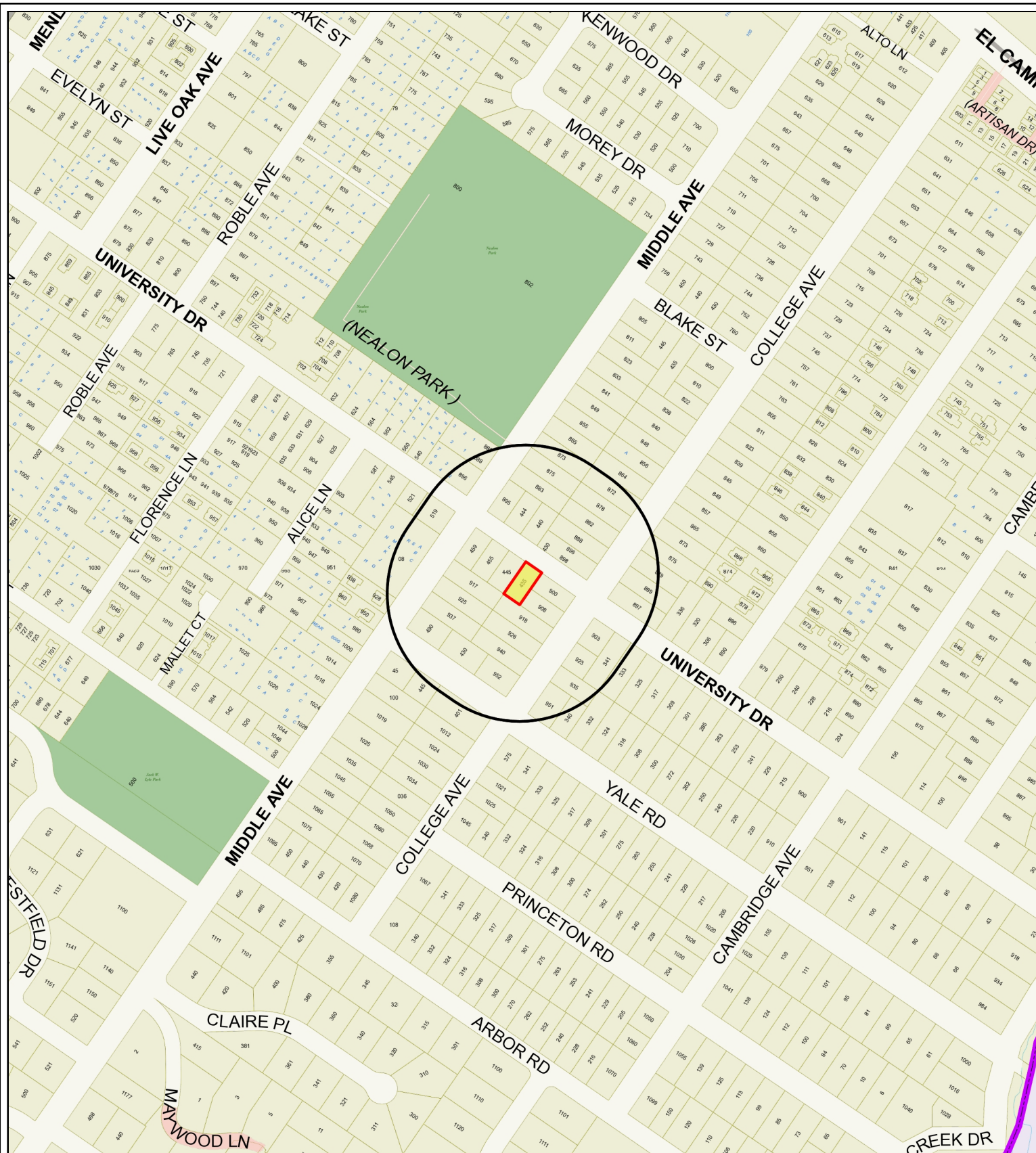
None

Report prepared by:
Tom Smith, Associate Planner

Report reviewed by:
Thomas Rogers, Principal Planner

435 University Drive – Attachment A: Recommended Actions

LOCATION: 435 University Drive	PROJECT NUMBER: PLN2017-00027	APPLICANT: Justin Young	OWNER: Justin Young
REQUEST: Request for a use permit to make exterior changes to an existing residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban Residential) zoning district. The project received a use permit on February 22, 2016 to partially demolish, remodel, and construct first- and second-story additions to an existing single-story, single-family residence.			
DECISION ENTITY: Planning Commission	DATE: May 8, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Zak Johnson Architects, consisting of nine plan sheets, dated received on April 20, 2017, and approved by the Planning Commission on May 8, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 			



CITY OF MENLO PARK

City of Menlo Park
 Location Map
 435 University Drive



Scale: 1:4,000

Drawn By: TAS

Checked By: THR

Date: 5/8/2017

Sheet: 1

CLARK YOUNG RESIDENCE

435 UNIVERSITY DRIVE
MENLO PARK, CA 94025

Project Data:

1. Zoning District:	R-1-U
2. Lot Area:	5,000.0 s.f.
3. Allowable Lot Coverage (35.0%)	1,750.0 s.f.
Existing Lot Coverage (43.7%)	2,183.3 s.f.
Proposed Lot Coverage (34.9%)	1,747.3 s.f.
4. Max. Allowed Floor Area Limit:	2,800.0 s.f.
Proposed Total Square Footage:	2,798.7 s.f.
(E) First Floor	1,642.0 s.f.
(E) 1st Floor Removed	-275.9 s.f.
(N) Second Floor	1,148.0 s.f.
(E) Garage	284.6 s.f.
(N) Porch	96.6 s.f.
Attic Space:	N/A
(E) Shed - Removed:	(58.6 s.f.)
5. Existing Height	16'-0"
Proposed Height:	25'-6"
Max. Height:	28'-0"

Consultants

Structural Engineer:	Roca Engineering 1250 Ames Avenue, Suite 109 Milpitas, CA 95035 408 821-1335	Soils Engineer:	Murray Engineers, Inc. 935 Fremont Avenue Los Altos, CA 94024 650 559-9980
Energy Consultant:	Builder's Energy Services, Inc. 1478 Bird Avenue San Jose, CA 95125 408 718-1908	Surveyor:	Jeff Barnea 789 Fourteenth St. Menlo Park, CA 94025 650 261-1982

Applicable Codes & Regulations

California Residential Code	2013 Edition
California Energy Code	2013 Edition
California Plumbing Code	2013 Edition
California Electrical Code	2013 Edition
California Mechanical Code	2013 Edition
California Fire Code	2013 Edition
Menlo Park Municipal Code	

Along with any other local and state laws and regulations

Project Information

Occupancy Group:	R-3 / U-1
Type of Construction:	V - B
Deferred Submittal Items:	NA
Special Inspection Items:	- see Structural Drawings.
Automatic Fire Sprinklers:	Yes

Sheet Index

A-1	Site Plan, Roof Plan
C-1	Civil Survey
A-2	Existing Plan & Photos
A-3	First & 2nd Floor Plan
A-4A	E & W Elevations
A-4B	N & S Elevations
A-5	Building Sections
A-6	Area Plan & Streetscape
A-7	Block Area Diagrams

Menlo Park Safety Fence Notes

Prior to issuance of a Demolition or Building Permit, the plan for safety fencing will be submitted and approved by the building division. The Building Official may waive this requirement on a case by case basis. The fencing shall be installed as shown prior to commencement of construction unless the requirement is waived by the building official.

• **Size, type and area to be fenced.** Install fencing as shown on site plan with five or six (5 - 6) foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing.

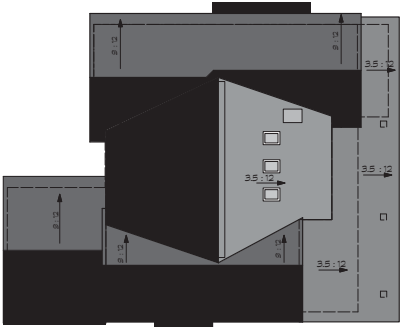
• **Duration.** Fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project.

City of Menlo Park Const. Hours & Noise Requirements:

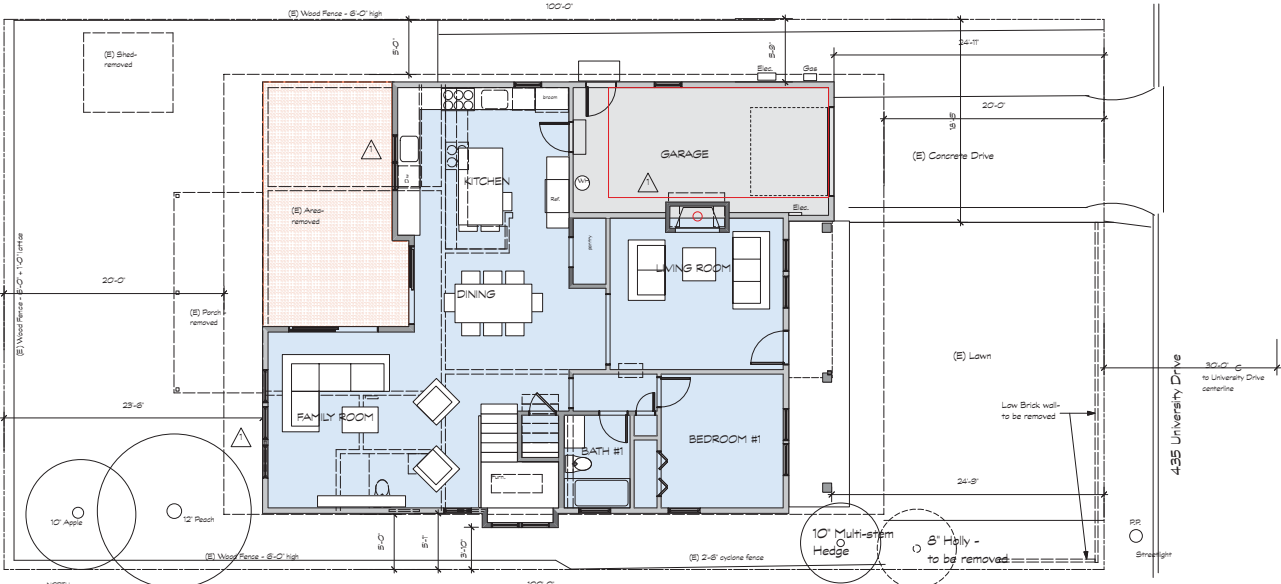
The work hours are regulated by noise levels created during construction. The maximum noise levels allowed are established in the City of Menlo Park Municipal Code Chapter 8.06 Noise.

1. Any and all excessively annoying, loud or unusual noises or vibrations such as offend the peace and quiet of persons of ordinary sensibilities and which interferes with the comfortable enjoyment of life or property and affect at the same time an entire neighborhood or any considerable number of persons shall be considered a noise disturbance.

- Construction Activities:
 - Construction activities are limited to the hours of eight (8) a.m. and six (6) p.m. Monday through Friday.
 - Construction activities by residents and property owners personally undertaking construction activities to maintain or improve their property are allowed on Saturdays, Sundays or holidays between the hours of nine (9) a.m. and five (5) p.m.
 - A sign, containing the permitted hours of construction activities exceeding the noise limits set forth in Section 8.06.030, shall be posted at all entrances to a construction site upon the commencement of construction, for the purpose of informing contractors and subcontractors and all other persons at the construction site of the basic requirements of this chapter. The sign shall be at least five (5) feet above ground level and shall consist of a white background with black letters.
 - Notwithstanding any other provision set forth above, all powered equipment shall comply with the limits set forth in Section 8.06.040(b)



(N) ROOF PLAN
Scale: 1/8" = 1'-0"



SITE PLAN
Scale: 3/16" = 1'-0"

Zak Johnson Architects
900 College Avenue
Menlo Park, CA 94025
650.329.9767

Licensed Architect
Karen Suzanne Zak
C-25245
Ren: 5/31/17
State of California

16 February, 2017

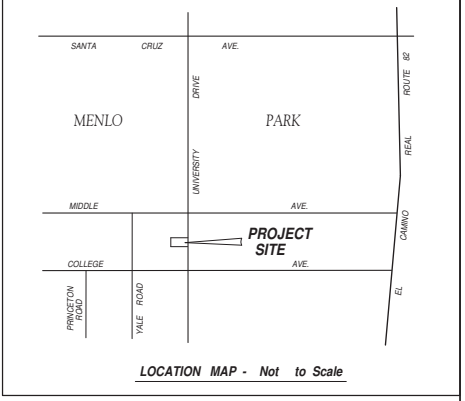
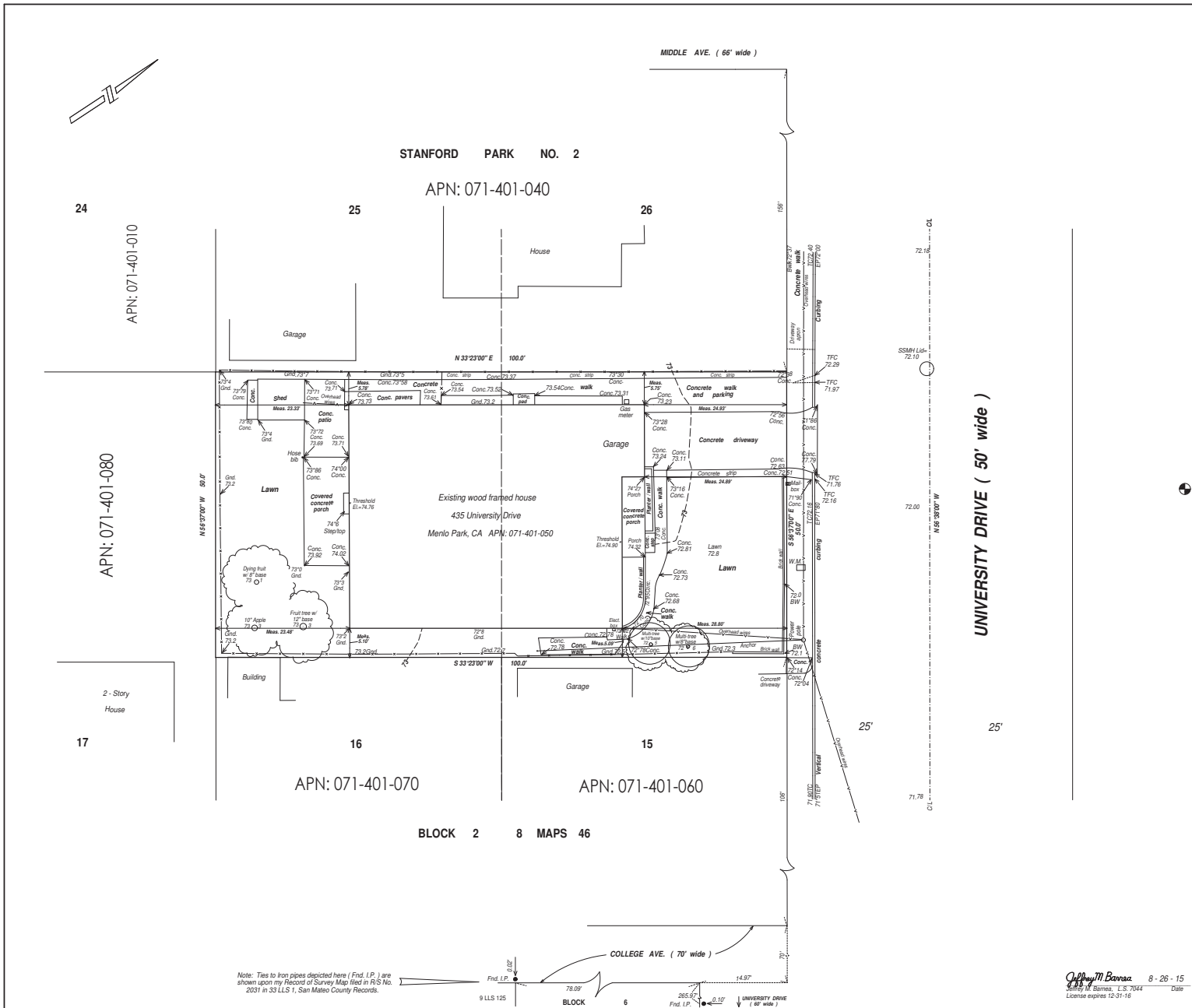
Clark Young Residence
435 University Drive
Menlo Park, CA 94025

Sheet Title
Site Plan, Roof Plan

Date
8 January, 2016

Scale
As Noted

A-1



- NOTES
- 1) This Topographic Survey Map was prepared from a ground survey done by Jeffrey M. Barnea, PLS in August, 2015.
 - 2) Unless noted otherwise, trees shown were located at the ground and trunk diameters were measured at 4.5' above ground. Drip lines were not measured at time of survey and are depicted graphically in their approximate positions only. The existing house and garage were measured at their outside wood trim or stucco facing. Perpendicular tie measurements (Meas.) are shown to the outside trim or stucco facing, not foundations.
 - 3) Boundaries are shown from deed Doc. No. 2007-111658 and is within the "Map No. 2 Stanford Park" subdivision filed in 8 Maps 46, San Mateo County Records. Easements are not shown hereon although there may be easements affecting this property. The area of the deeded property is 5,000 s.f. +/- This is not a record of survey map.
 - 4) Elevations depicted upon this Map were derived using GPS readings and are shown in NAVD83 Datum.
 - 5) The final product delivered to owners Justin Young and Melissa Clark were signed bond prints. An electronic CAD version of this Map may be provided to the owners or their associates upon request. Any changes, revisions or additions made to this Map without the consent and approval of Jeffrey M. Barnea, PLS, is not the responsibility of Jeffrey M. Barnea, as the owners have agreed to in writing.

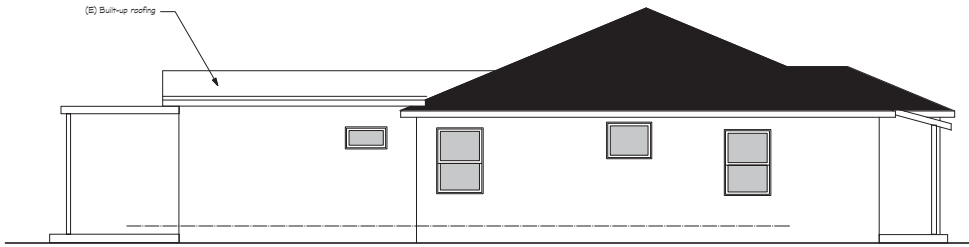
LEGEND

	Tree, as noted.
	EP Edge of pavement.
	73.1,73.1 Spot elevation.
	TC Top of curb.
	TFC Top, face of curb.
	Conc. Concrete.
	Gnd. Ground.
	— x — Fence line, as noted.
	SSMH Sanitary sewer manhole.
	W.M. Water meter.
	Irr. Irrigation control.
	BW Base of wall.
	Bwk Back of walk.
	- - - Contour.
	CL Center line.



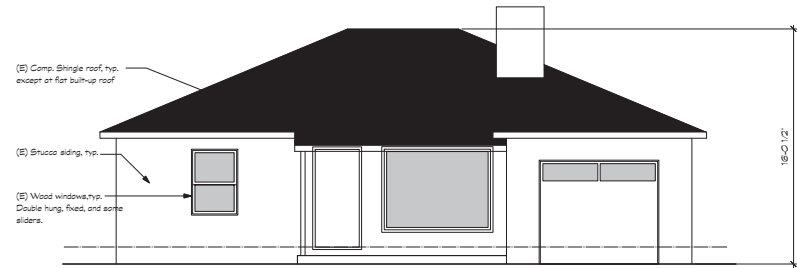
Topographic Survey Map
 Lands of Young and Clark 435 University Drive
 APN: 071-401-050
 Menlo Park San Mateo County California
**JEFFREY M. BARNEA, L.S. 7844 789 14TH AVE.
 MENLO PARK, CA 94025 PH/FAX (650) 281-1982**
 SCALE: 1" = 8' 15'-128 AUGUST, 2015

Jeffrey M. Barnea 8-26-15
 Jeffrey M. Barnea, L.S. 7844 Date
 License expires 12-31-16



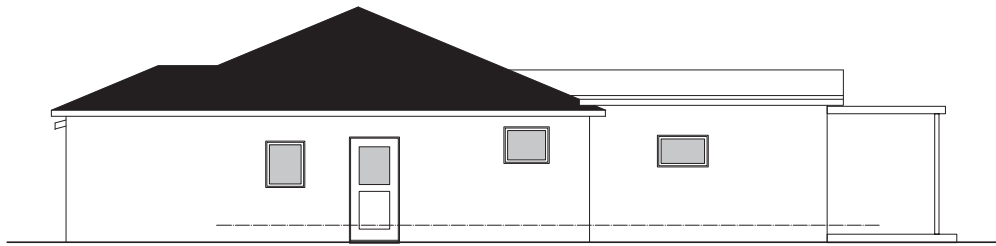
(E) SOUTH ELEVATION

Scale: 1/4" = 1'-0"



(E) EAST ELEVATION

Scale: 1/4" = 1'-0"



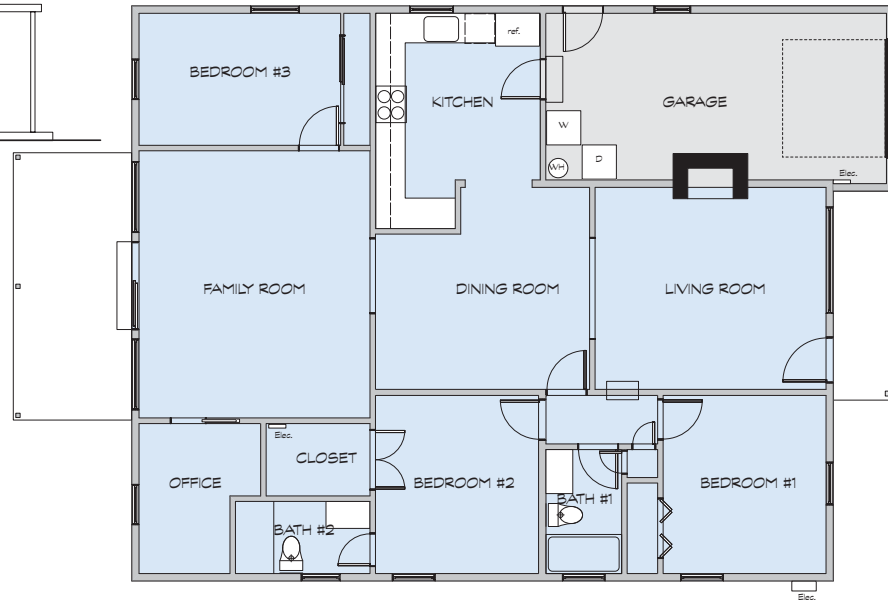
(E) NORTH ELEVATION

Scale: 1/4" = 1'-0"

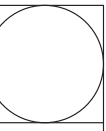
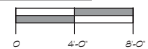


(E) WEST ELEVATION

Scale: 1/4" = 1'-0"



EXISTING FLOOR PLAN
Scale: 1/4" = 1'-0"



Zak Johnson Architects
900 College Avenue
Menlo Park, CA 94025
650.329.9767

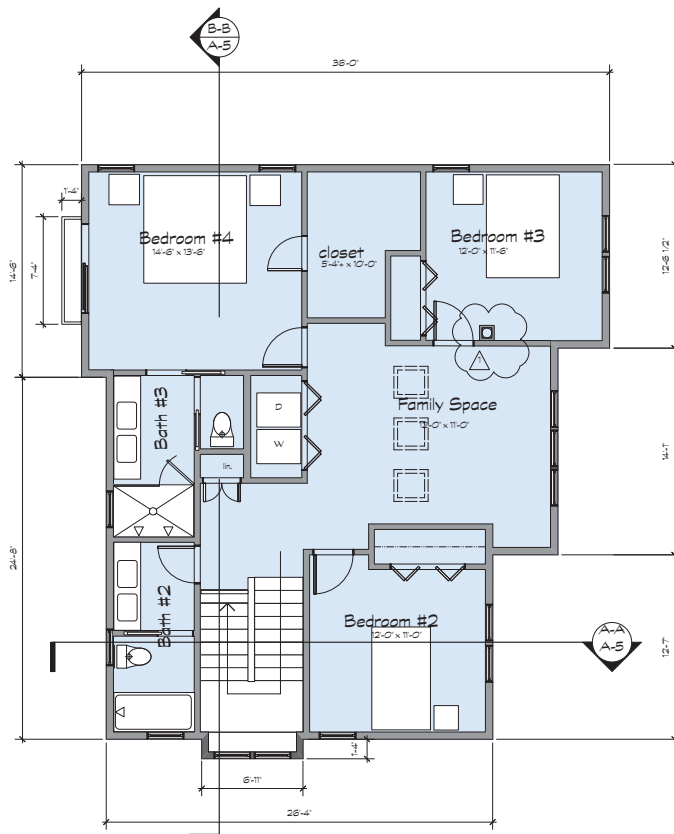


16 February, 2017

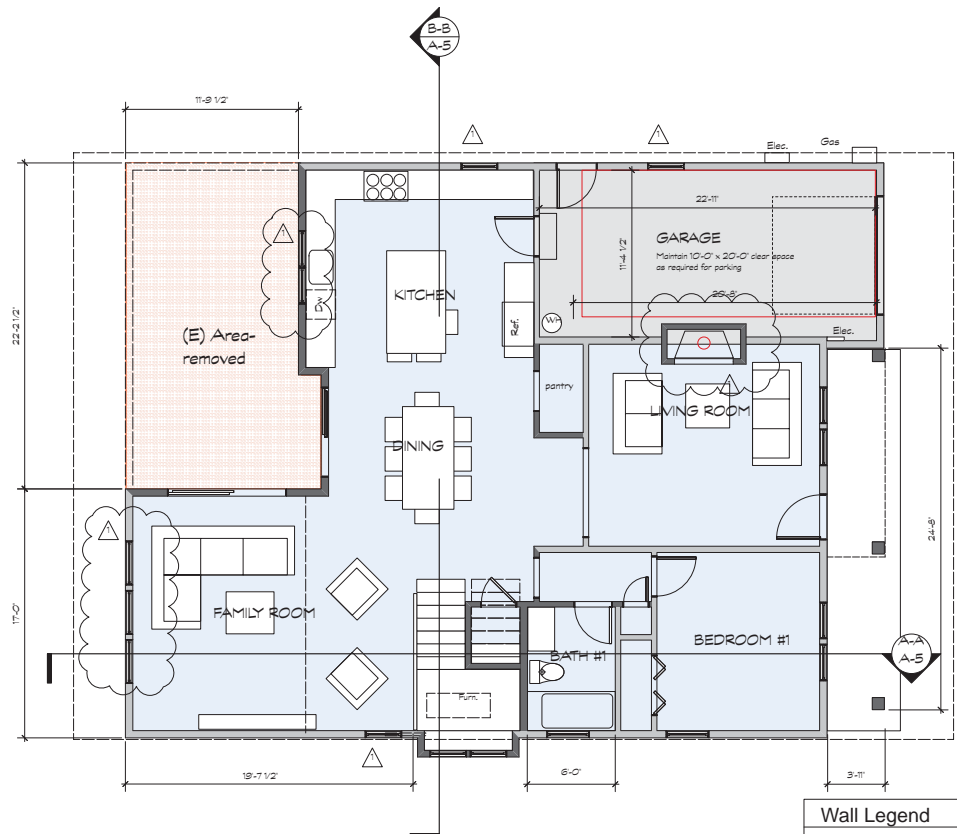
Clark Young Residence
435 University Drive
Menlo Park, CA 94025

Sheet Title
(E) Floor Plan,
(E) Elevations
Date
8 January, 2016
Scale
As Noted





SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

Wall Legend

	Existing Wall to be Removed
	Existing Wall to Remain
	New Wall to be constructed



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650.329.9767

Licensed Architect
Karen Suzanne Zak
C-25245
Ren.: 5/31/17
State of California

16 February, 2017

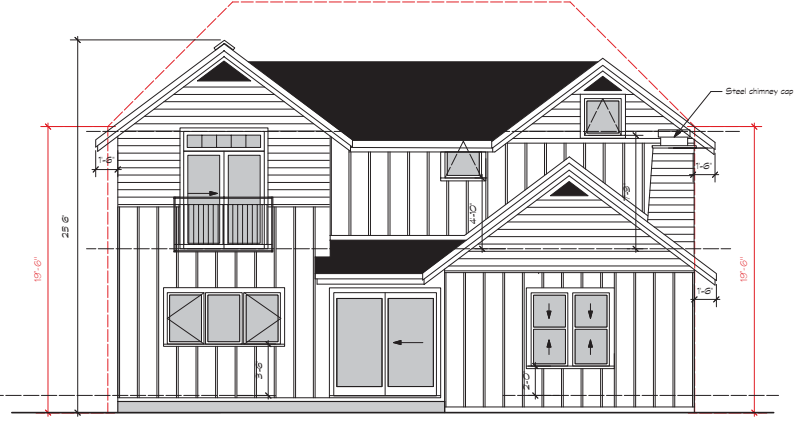
Clark Young Residence
435 University Drive
Menlo Park, CA 94025

Sheet Title
First Floor Plan,
Second Floor Plan

Date
8 January, 2016

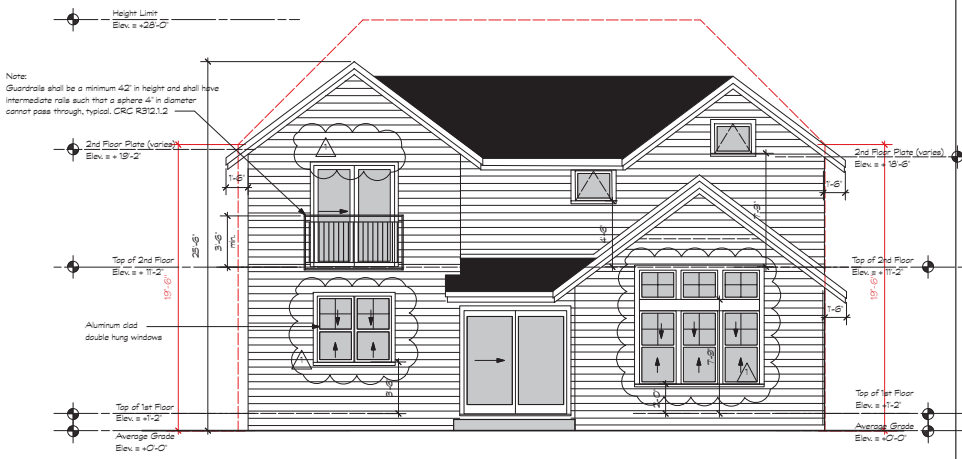
Scale
As Noted

A-3



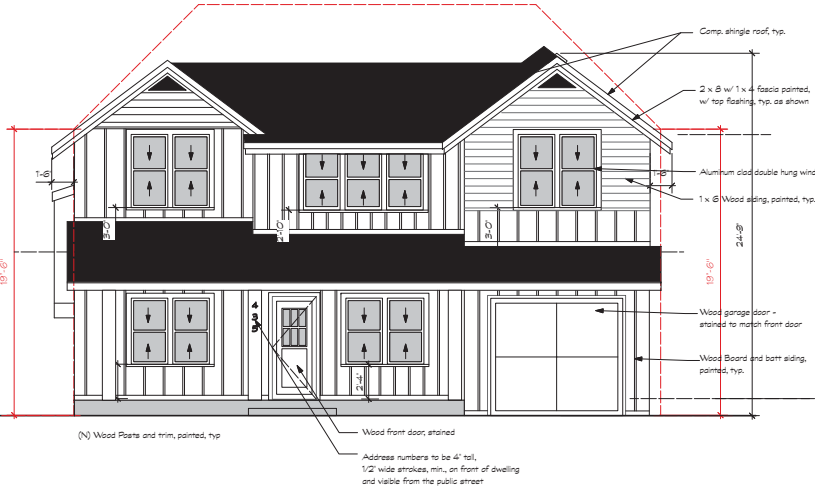
OLD WEST ELEVATION

Scale: 1/4" = 1'-0"



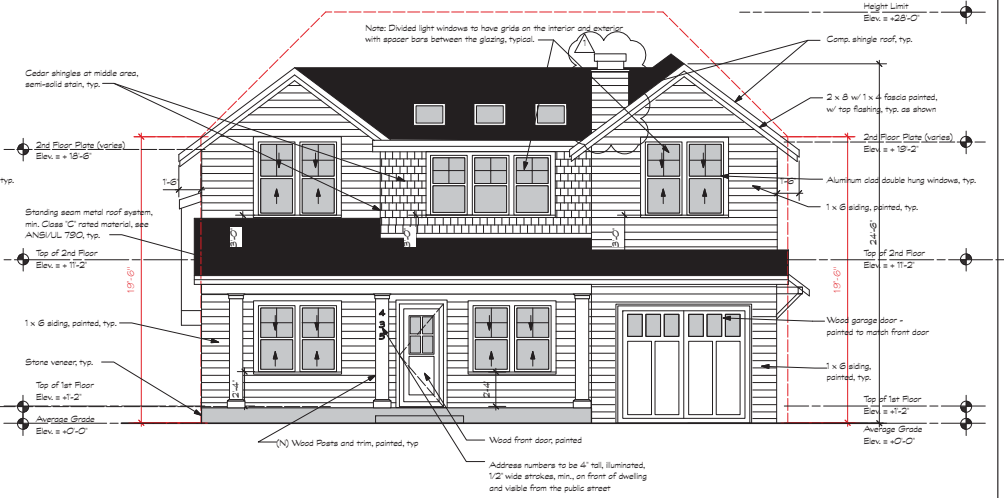
NEW WEST ELEVATION

Scale: 1/4" = 1'-0"



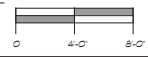
OLD EAST ELEVATION

Scale: 1/4" = 1'-0"



NEW EAST ELEVATION

Scale: 1/4" = 1'-0"



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 Ren: 5/31/17
 State of California

16 February, 2017

Clark Young Residence
 435 University Drive
 Menlo Park, CA 94025

Sheet Title
 Exterior Elevations
 East & West

Date
 8 January, 2016

Scale
 As Noted

A-4A



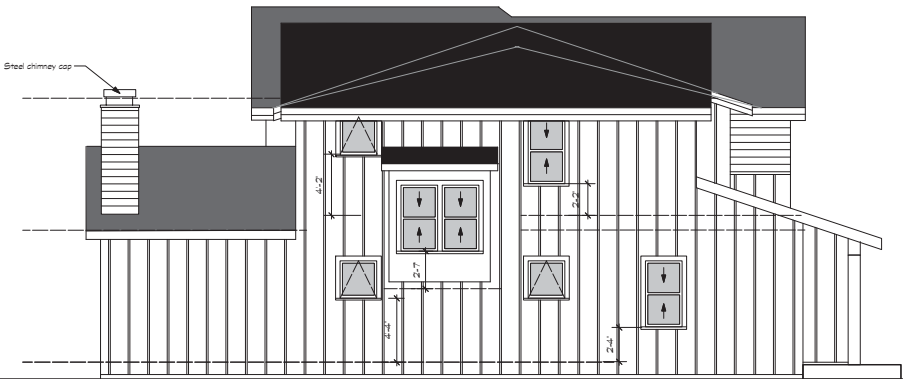
OLD NORTH ELEVATION

Scale: 1/4" = 1'-0"



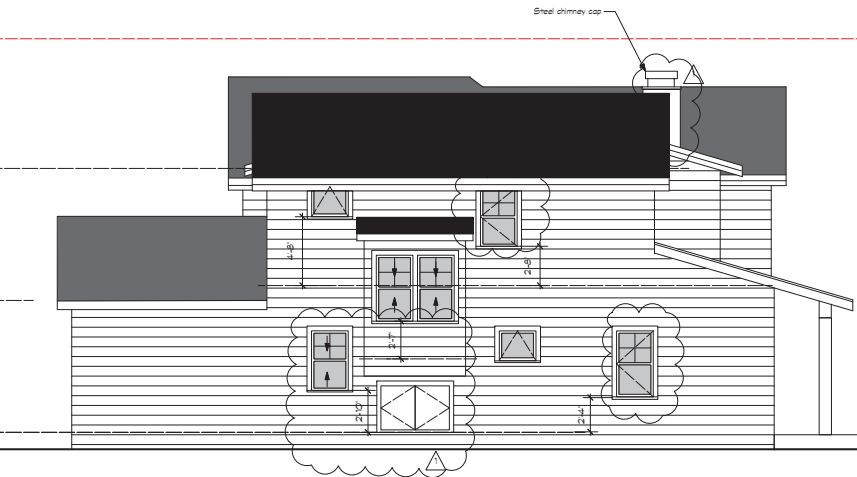
NEW NORTH ELEVATION

Scale: 1/4" = 1'-0"



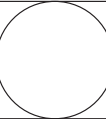
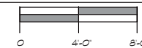
OLD SOUTH ELEVATION

Scale: 1/4" = 1'-0"



NEW SOUTH ELEVATION

Scale: 1/4" = 1'-0"



Zak Johnson Architects
900 College Avenue
Menlo Park, CA 94025
650.329.9767



16 February, 2017

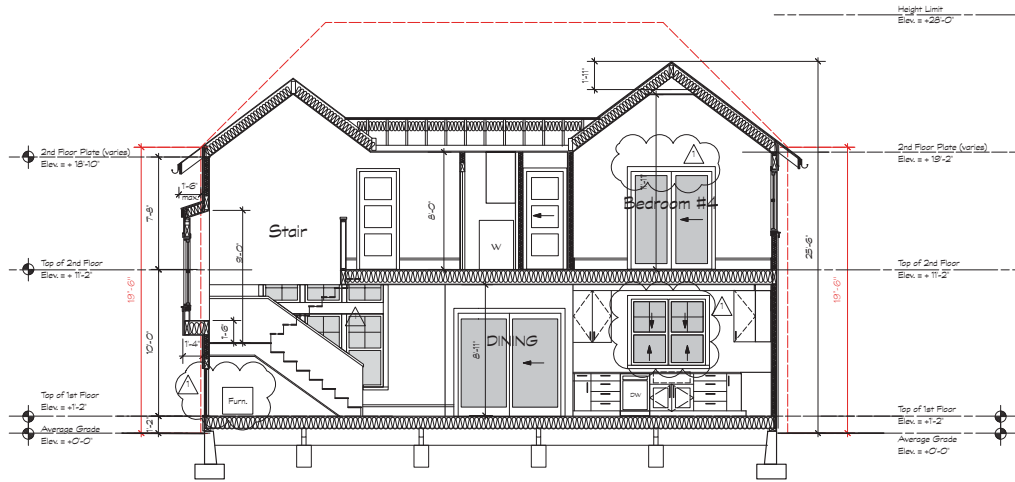
Clark Young Residence
435 University Drive
Menlo Park, CA 94025

Sheet Title
Exterior Elevations
North & South

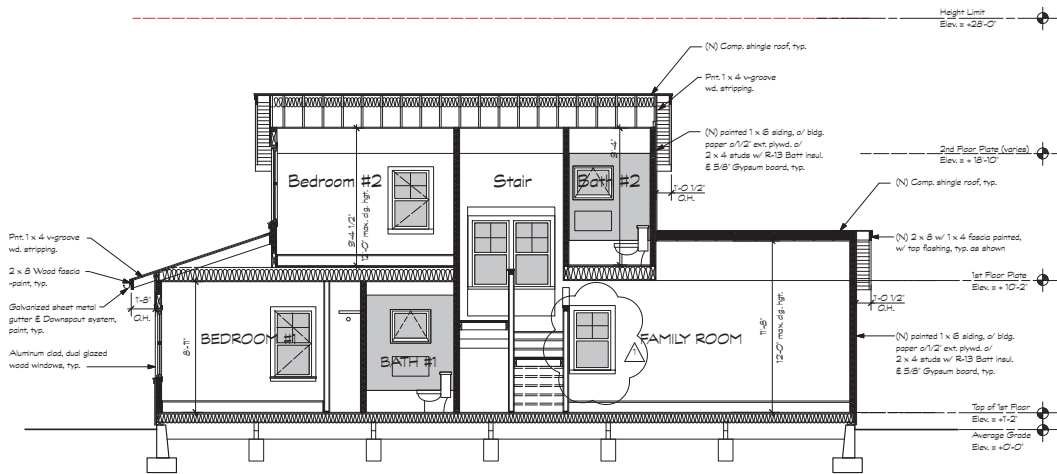
Date
8 January, 2016

Scale
As Noted

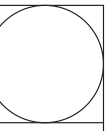
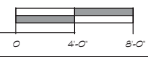




B-B BUILDING SECTION
 A-S Scale: 1/4" = 1'-0"



A-A BUILDING SECTION
 A-S Scale: 1/4" = 1'-0"



Zak Johnson Architects
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 Menlo Park, CA 94025
 650.329.9767

Licensed Architect
 Karen Suzanne Zak
 C-25245
 Ren.: 5/31/17
 State of California

16 February, 2017

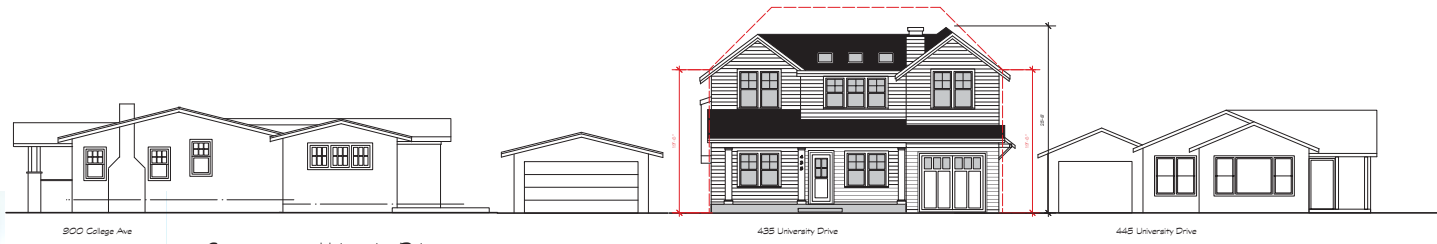
Clark Young Residence
 435 University Drive
 Menlo Park, CA 94025

Sheet Title
 Building Sections

Date
 8 January, 2016

Scale
 As Noted





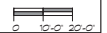
Streetscape - University Drive

1/8" = 1'-0"

MIDDLE AVENUE



NORTH
AREA PLAN
Scale: 1/8" = 20'-0"



900 College Ave - Garage



435 University Drive



445 University Drive

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Menlo Park, CA 94025
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Licensed Architect
Karen Suzanne Zak
C-25245
Ren: 5/31/17
State of California

16 February, 2017

Clark Young Residence
435 University Drive
Menlo Park, CA 94025

Sheet Title
Area Plan,
Streetscope

Date
8 January, 2016

Scale
As Noted

A-6

Project Description
435 University Drive
Menlo Park, CA 94025

We have submitted the required application materials to the City of Menlo Park Planning Department to revise the approved Use Permit.

The new home is a two-story contemporary farmhouse style with shed and gabled dormers. The major areas of change include first story windows along the back and sides of the house and relocating the fireplace and chimney to the front of the home. Please see clouded areas with the delta 1. The owners decided that fireplace would work much better in the living room; so along the rear façade, an opportunity opened for beautiful windows that do not interfere with the any neighbors' privacy. In the kitchen, we eliminated one window in the rear façade to allow for more upper cabinets and moved the window toward the side neighbor to prevent a privacy issue. The windows in the garage and the side of the family room were revised to better match the design. The master bedroom sliding door transom window was removed as it did not fit the design and made it difficult to place privacy blinds. Also, the side roof above the garage door was corrected.

The new furnace proved to be too difficult to place in the garage and the contractor elected to place it under the stair landing. This necessitated adding exterior doors below the stair bump out to access the furnace. The exterior siding system was changed to horizontal 1 x 6 siding with cedar shingle accents mainly because of the proliferation of board and batt siding in the Allied Arts area seemed to be too much of a fad.

Dr. Justin Young & Dr. Melissa Clark reached out and communicated with the adjacent neighbors, the following is a summary of the discussions:

Karlis Felzenberg and Ariana Beil 918 College Ave - They had no objections or concerns and like the look of the new family room rear windows.

The Burts 908 College Ave - We met with the Burts and walked them through the framed house with the revised windows and they had no objections.

Karen Zak & Gary Waymire 900 College Ave – I am the architect and think that the changes have improved the design of the house.

We appreciate the time of the Planning Commission and staff to review these changes to the approved Use Permit and hope that you find that the house is improved by the revisions.

Sincerely,

karen zak

Karen Zak, Architect
Zak Johnson Architects
900 College Avenue
Menlo Park, CA 94025



STAFF REPORT

Planning Commission

Meeting Date: 5/8/2017
Staff Report Number: 17-028-PC

Study Session: Architectural Control/Ranjeet Pancholy/115 El Camino Real

Recommendation

Staff recommends that the Planning Commission review and provide feedback on a proposed residential and commercial development at 115 El Camino Real in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district.

Policy Issues

Study sessions provide an opportunity for Planning Commissioners and the public to provide preliminary feedback on a project, with comments used to inform future consideration of the proposal.

Background

Site location

The project site is located at 115 El Camino Real, at the corner of Harvard Avenue, on the edge of the Allied Arts neighborhood. At the rear, the site adjoins Alto Lane, a narrow public service road. The subject parcel is currently occupied by the Stanford Inn.

The other properties along the west side of El Camino Real and the parcels on the opposite side of Alto Lane are also part of the SP-ECR/D district and the ECR SW (El Camino Real South-West) sub-district. These properties are occupied by a variety of commercial uses, including offices, as well as multi-family residences. The Stanford Park Hotel and the proposed Middle Plaza at 500 El Camino Real mixed-use project site are located on the opposite side of El Camino Real. These parcels are part of the SP-ECR/D district and the ECR SE (El Camino Real South-East) sub-district.

Farther down Harvard Avenue, parcels are located in the R-2 (Low Density Apartment) zoning district and are occupied by one and two-story single-family residences and duplex/multi-unit developments.

Analysis

The applicant is proposing demolition of the existing hotel, and construction of a three-story, mixed-use development with commercial uses on the ground floor and a total of four residential units on the upper floors. Project plans are included as Attachment B. The proposal would require architectural control approval by the Planning Commission.

The commercial spaces (likely office uses, and possibly retail/personal service, subject to parking requirements) would feature direct access from El Camino Real, while the residential units would be accessed by a Harvard Avenue stair/elevator lobby. Decks and balconies would provide private open space

for the upper-level residential units.

Parking would be provided on the first level in a 13-space covered garage with Harvard Avenue access, and three uncovered parking spaces along the Alto Lane frontage. Sidewalks along El Camino Real and Harvard Avenue would be improved to meet Specific Plan standards, with a minimum four-foot furnishings zone (featuring landscaping and features such as bicycle racks and utility poles) and an eight-foot clear walking zone.

The design would feature a modern aesthetic, with color terracotta panels used on the El Camino Real and Harvard Avenue frontages to highlight certain elements. Other building walls would feature horizontal lap siding, stucco, and porcelain stone in a variety of neutral colors to provide interest and relief. The rear and interior side elevations would be less detailed.

As part of the pre-application review, the applicant has worked with staff and the City's architectural consultant to address the Specific Plan regulations and guidelines, and has been responsive to feedback. Staff believes the project is generally consistent with applicable requirements, although some refinements may be needed as review proceeds. With regard to the overall design/style and more subjective design guidelines, staff has had some concerns during the initial review. Although the applicant has provided revisions and alternate approaches to address such comments, the Planning Commission can now provide additional design feedback before the project advances to the full submittal stage.

Planning Commission considerations

The following comments/questions are suggested by staff to guide the Commission's discussion, although Commissioners should feel free to explore other topics of interest.

- Is the overall aesthetic approach consistent with the Planning Commission's expectations?
- Does the design feature good proportion and balance, or do certain elements need more attention?
- Are the proposed materials of a type and quality appropriate for the Specific Plan area? Staff and the architectural consultant have noted that the horizontal cement board painted siding looks somewhat residential for this design, and its rough texture may seem out of character with the architecture. A more contemporary siding material, such as flush metal panels or ribbed metal siding with a vertical orientation, may be preferred. Also, is the painted sand texture stucco acceptable, or would a smooth stucco finish with integral color be preferable?
- For elevator and stair towers, the Specific Plan allows them to exceed the maximum building height and intrude into the Building Profile, provided they are integrated into the design of the building. From staff's perspective, the stair/elevator tower along Harvard Avenue is not well-integrated into the building, and may be considered excessively prominent. In addition, it is uncertain at this preliminary stage whether full stair access to the roof (versus a ladder/hatch) is technically required, in which case the provision for functional necessity may not be met (this requirement uncertainty would be resolved as part of a full application's review by the Building Division and Menlo Park Fire Protection District). The City has discussed this topic in more detail with the applicant, and there are likely options for reducing the height/prominence of this element and integrating the form better into the overall massing to distinguish the building entry while enhancing the use of glazing and materials.
- Staff generally believes the proposed screen openings for the garage are acceptable as they would be located on secondary frontages and would provide natural ventilation.

- Landscape details have not been provided but will be reviewed as part of a full application. However, the Planning Commission may note at this stage if there are any particular expectations for plantings.
- The garage gate is shown in a location that would force cars to block the sidewalk while waiting for the gate to raise. This will need to be revised to provide 20 feet of waiting area (which probably isn't possible with this overall layout), or remove the gate entirely. This is a Transportation Division requirement and is not something the Planning Commission can waive.

Correspondence

Staff has received one letter of support for the project (Attachment C), from a resident on nearby Cambridge Avenue.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

Study sessions do not require analysis under the California Environmental Quality Act (CEQA). If the project moves forward with a full application, staff will review the proposal for consistency with the El Camino Real/Downtown Specific Plan Environmental Impact Report (EIR). If the project is consistent with that program-level analysis, findings and documentation to that effect will be included with the recommended actions.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Attachments

- A. Location Map
- B. Project Plans
- C. Correspondence

Disclaimer

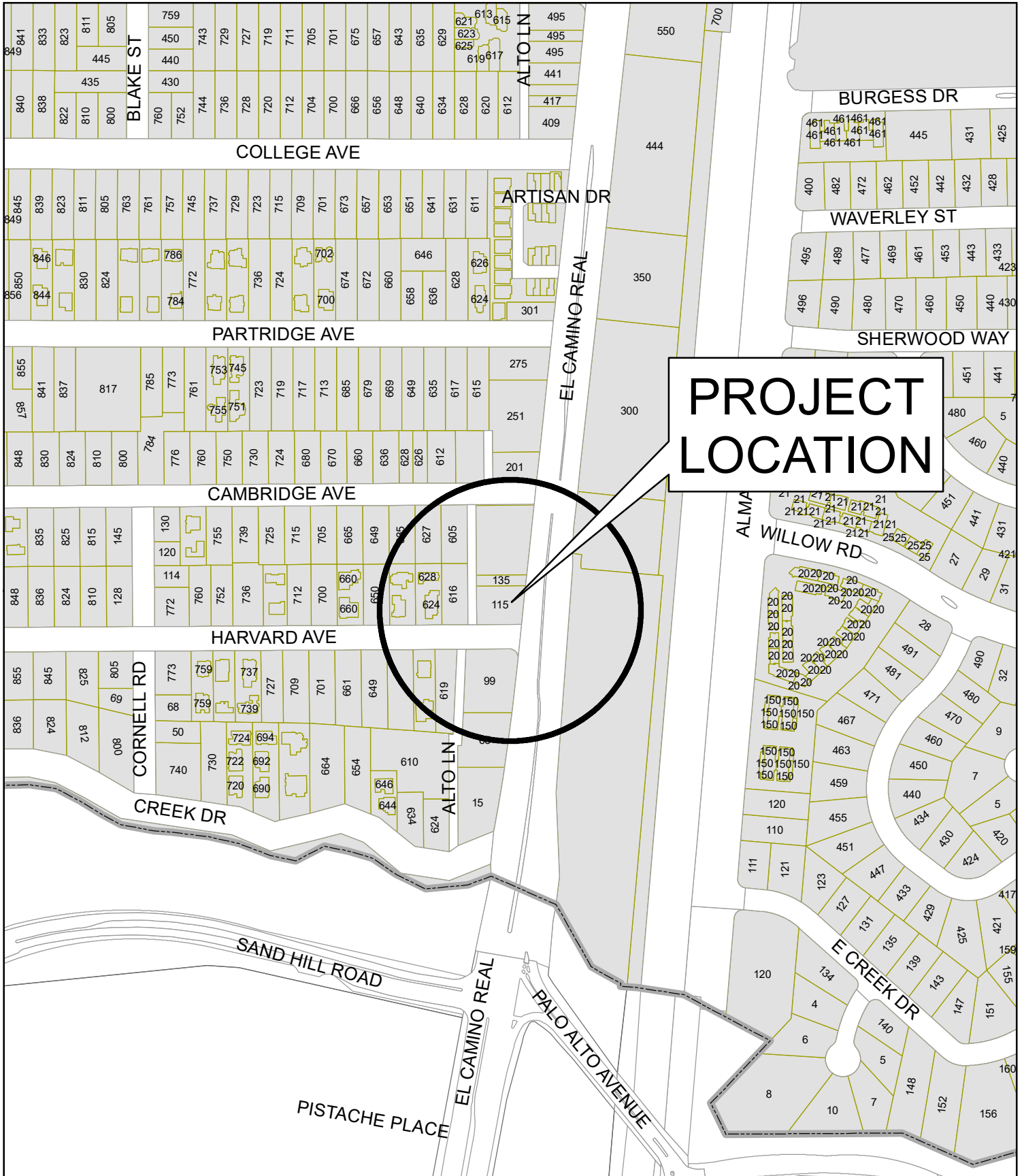
Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

Colors and Materials Board

Report prepared by:
Thomas Rogers, Principal Planner

Report reviewed by:
Mark Muenzer, Assistant Community Development Director

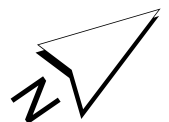


**PROJECT
LOCATION**



CITY OF MENLO PARK
 LOCATION MAP
 115 EL CAMINO REAL

DRAWN: TAS CHECKED: THR DATE: 05/08/17 SCALE: 1" = 300' SHEET: 1



MIXED USE PROJECT

115 EL CAMINO REAL
MENLO PARK, CA

IYER & ASSOCIATES
Architecture • Interiors • Planning
IYER BUILDING
855 SANSOME STREET,
SUITE 200
SAN FRANCISCO, CA 94111
PHONE: 415-362-4937
FAX: 415-362-8158
IYER@IYERARCH.COM
WWW.IYERARCH.COM

IYER

2017 © IYER & ASSOCIATES

DATA SHEET

LOCATION		115 EL CAMINO REAL	
EXISTING USE	HOTEL	APPLICANT	ARVIND S. IYER
PROPOSED USE	MIXED USE RETAIL / COMMERCIAL AND RESIDENTIAL	PROPERTY OWNERS	RANJIT K. PANCHOLY VIJAY JAYA PANCHOLY
ZONING	ECR SW	APPLICATIONS	USE PERMIT
DEVELOPMENT STANDARDS	PROPOSED DEVELOPMENT	EXISTING PROJECT	ZONING ORDINANCE
LOT AREA	9,341 S.F.	9,341 S.F.	
LOT WIDTH	87.675 FT.	88.675 FT.	
LOT DEPTH	111.50 FT.	111.50 FT.	
SETBACKS			
FRONT	7'-0"	0'-0"	7'-0"
REAR	8'-0"	0'-0"	7'-6"
SIDE (LEFT)	7'-0"	0'-0"	7'-0"
SIDE (RIGHT)	5'-0"	0'-0"	5'-0"
BUILDING COVERAGE	6760.6 S.F. 72.4%	6145 S.F. 65.8%	
FAR (FLOOR AREA RATIO)	10,273.8 SF = 110%		1.1 (9,341 SF) = 10,275 SF = 110%
FAL (FLOOR AREA LIMIT)	NA	--	--
SQUARE FOOTAGE BY FLOOR			
BELOW GRADE	--	--	--
FIRST LEVEL	2,466.7 S.F.	5,339 S.F.	
SECOND LEVEL	4,585.5 S.F.	3,388 S.F.	
THIRD LEVEL	2938.6 S.F.	--	
FOURTH LEVEL	283.5 S.F.	--	
COVERED GARAGE	4,121.7 S.F.	--	
ACCESSORY BUILDING(S)	NIL		
OTHER	UTILITY/ GARBAGE ROOM: -- 100 SF.		
SQUARE FOOTAGE OF BUILDINGS	10,274.3 SF.	9,588 S.F.	
BUILDING HEIGHT	43'-0"	24'	38'
LANDSCAPING	--	--	
PAVING	--	--	
PARKING	16 SPACES		
DEFINE BASIS OF PARKING	UN-COVERED (RETAIL) - 3 SPACES 13 COVERED (INCLUDING 1 HANDICAPPED) + 3 UNCOVERED	COVERED (RESIDENTIAL)- 12 SPACES TOTAL AREA = 4,121.7 S.F.	COVERED (HANDICAPPED) - 1 SPACE
HERITAGE TREES EXISTING	0	NON-HERITAGE TREES EXISTING 6	NEW TREES 2
HERITAGE TREES TO BE REMOVED	0	NON-HERITAGE TREES TO BE REMOVED 1	TOTAL TREES 7

SITE INFORMATION

APN #	071 - 043 - 033
OWNER	RANJIT K. PANCHOLY, VIJAY JAYA PANCHOLY
ADDRESS	115 EL CAMINO REAL MENLO PARK, CA 94025
PHONE	(408) 930-2338
BUILDING AREA AT FIRST LEVEL:	COMMERCIAL SPACE: 1,747 SF. RESIDENTIAL STORAGE: 253.1 SF. CIRCULATION: 332.4+134.2 SF. TOTAL GROSS AREA LVL.1: 2466.7 SF.
BUILDING AREA AT SECOND LEVEL:	UNIT#1: 1107 SF. UNIT#2: 994 SF. UNIT#3: 1772 SF. CIRCULATION: 172.5 SF. TOTAL GROSS AREA LVL. 2: 4585.5 SF
BUILDING AREA AT THIRD LEVEL:	UNIT #4: 2410 SF. CIRCULATION: 350.6+178 SF. TOTAL GROSS AREA LVL. 3: 2938.6 SF.
BUILDING AREA AT FOURTH LEVEL:	CIRCULATION: 283.5 SF. TOTAL GROSS AREA LVL. 4: 283.5 SF.
TOTAL GROSS AREA LVL.1 + LVL.2 + LVL.3+LVL.4:	10,274.3 SF.
GROSS FLOOR AREA ALLOWABLE:	LOT SQUARE FOOTAGE: 9,341 SF 9,341 S.F. x 1.1% 10,275 S.F. ALLOWED AREA
CONSTRUCTION TYPE	TYPE II-B & V-B
OCCUPATION TYPE	S1 / R1/B
NUMBER OF STORIES	4
FIRE SPRINKLERS	YES

PROJECT SYMBOLS

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW CONSTRUCTION
	PROPERTY LINE
	CENTER LINE
	COLUMN LINE
	DOOR MARK
	WINDOW MARK
	REVISION
	DATUM POINT
	SECTION
	DETAIL
	INTERIOR ELEVATION
	FINISH CODES
	ACOUSTIC TILE OR BOARD
	BRICK
	CERAMIC TILE
	CONCRETE
	CONCRETE BLOCK
	EARTH
	GLASS
	GLASS BLOCK
	GYPSUM BOARD
	INSULATION, BATT
	INSULATION, RIGID
	METAL
	METAL LATH
	PLASTER
	PLYWOOD
	ROCK FILL
	SAND

INDEX OF DRAWINGS

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A0-2 NEW FLOOR AREA CALCULATIONS
A-1.1 EXISTING SITE PLAN - LEVEL 1
A-1.2 EXISTING PLAN - LEVEL 2
A-1.3 EXISTING ELEVATIONS
A-2.0 AREA PLAN
A-2.1 STREETScape
A-2.2 PROPOSED SITE PLAN-LEVEL 1
A-2.2 A PROPOSED PLAN-LEVEL 1
A-2.3 PROPOSED PLAN - LEVEL 2
A-2.4 PROPOSED PLAN - LEVEL 3
A-2.5 PROPOSED ROOF PLAN - LEVEL 4
A-3.1 PROPOSED ELEVATIONS
A-3.2 PROPOSED ELEVATIONS
A-3.3 TRANSPARENCY DIAGRAMS FOR FIRST FLOOR
A-3.4 BUILDING SECTIONS

CONSULTANTS

ARCHITECTS
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PROJECT ARCHITECT
IYER & ASSOCIATES
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SUITE 200
SAN FRANCISCO, CA 94111
PHONE: 415-362-4937
FAX: 415-362-8158
IYER@IYERARCH.COM
WWW.IYERARCH.COM

VICINITY MAP



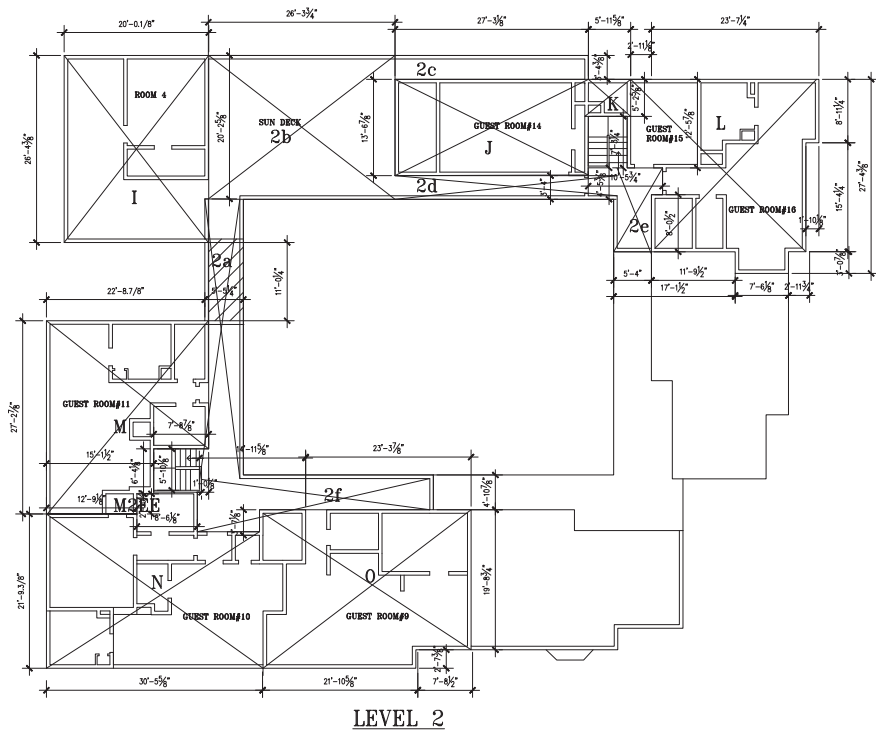
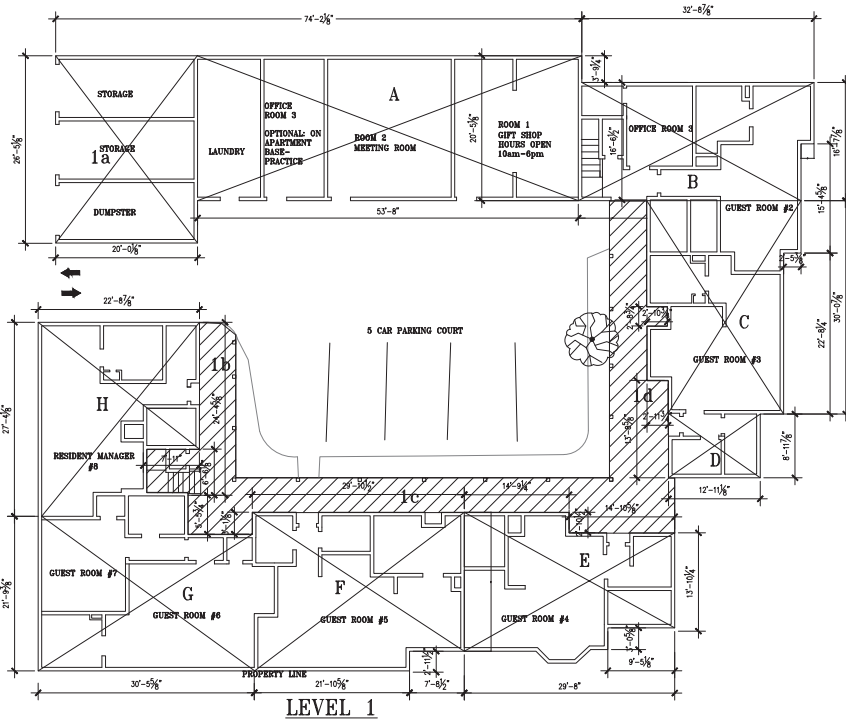
Date	Issued for:
11-28-2016	PLANNING REVIEW
03-02-2017	OWNERS REVIEW
03-06-2017	PLANNING SUBMITTAL
03-13-2017	PLANNING SUBMITTAL
	DRAWINGS INDEX
	REVISED

Drawn by MM

Checked by ASI

Scale:

Project no. 12131021 **Sheet no.** T-1



FIRST LEVEL GROSS FLOOR AREA CALCULATION	SECOND LEVEL GROSS FLOOR AREA CALCULATION
A 53.67 x 20.43 = 1096.46 S.F.	I 20.01 x 26.43 = 528.86 S.F.
B 16.65 x 32.74 = 546.12	J 27'-3.3/8" x 15'-2.7/8" = 393.02 S.F.
(-) 4.0 x 1.89 = 7.56	K 5'-2.5/8" x 5'-11.8/8" = 31.16 S.F.
sub total B = 538.56 S.F.	L 12'-5.7/8" x 2'-11.1/8" = 36.59
C 30.97 x 21.76 = 674.02	+23'-7.1/4" x 27'-4.3/8" = +645.70
(-) 3.02 x 4.74 = 14.38	(-32'-11.3/4" x 2'-0.7/8" = (-) 80.00
sub total C = 659.64 S.F.	(-11'-10.1/8" x 15'4.1/4" = (-) 229.14
D 8.99 x 12.90 = 115.97	(-11'-9.1/2" x 2'-0.7/8" = (-) 25.39
E 19.56 x 29.67 = 580.23	sub total L = 806.76 S.F.
(-) 14.09 x 3.06 = 43.09	
(-) 6.43 x 3.05 = 19.60	M 26.77 x 22.74 = 608.75 S.F.
sub total E = 507.54 S.F.	N 30.16 x 22.36 = 674.82 S.F.
F 39.88 x 22.38 = 892.11	O 39.88 x 22.36 = 892.11
(-) 2.39 x 7.87 = 18.89	(-) 1.89 x 7.87 = 14.89
sub total F = 873.22 S.F.	sub total O = 877.22 S.F.
G 30.47 x 22.36 = 681.3 S.F.	
H 28.77 x 22.74 = 654.03 S.F.	
TOTAL-GFA AT 1ST LVL A+B+C+D+E+F+G+H = 4826.89 S.F.	TOTAL-GFA AT 2ND LVL I+J+K+L+M+N+O = 2770.42 S.F.
TOTAL-GFA A+B+C+D+E+F+G+H+I+J+K+L+M+N+O = 4826.89 + 2770.42 = 7597.31 S.F.	

FLOOR COVERAGE CALCULATIONS	
1a COVERED TRASH AREA 20.01 x 26.43 = 528.86 S.F.	
1b CORRIDOR 1b 24.39 x 4.89 = 119.27 S.F.	2a WALKWAY AT LEVEL 2 11.0 x 5.5 = 60.50 S.F.
1c CORRIDOR 1c 32.09 x 4.83 = 155.00 S.F. + 9.05 x 3.05 = 27.60 S.F. + 14.89 x 2.89 = 43.03 S.F.	
1d CORRIDOR 1d 39.04 x 5.33 = 208.08 S.F.	
TOTAL CORRIDOR AT FIRST LEVEL 631.61 S.F.	
TOTAL FLOOR COVERAGE	TOTAL PLOT AREA = 9,340.00
TOTAL GFA = 8270.42 S.F.	
+ TRASH AREA = 528.86 S.F.	
+ CORRIDOR = 631.61 S.F.	
+ WALKWAY = 60.50 S.F.	
TOTAL FLOOR COVERAGE = 9,491.39 S.F.	9491.39 / 9340.00 x 100 = 101.82 %

EXISTING PLAN AREA CALC.



EXISTING FLOOR AREA
CALCULATIONS

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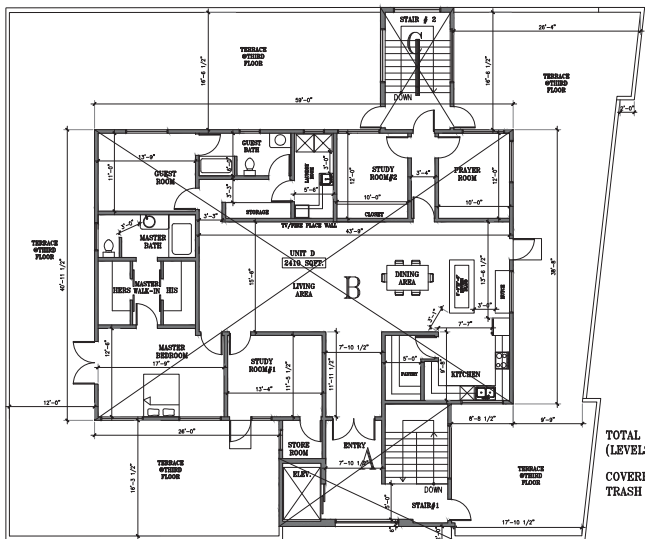
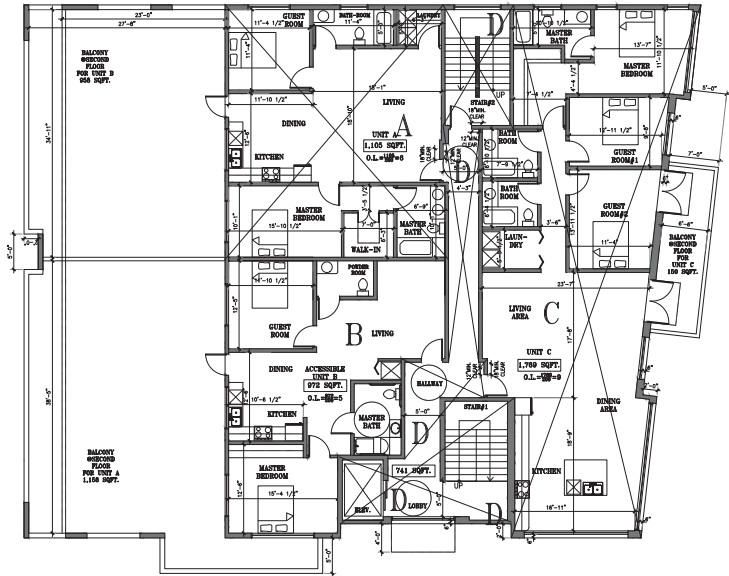
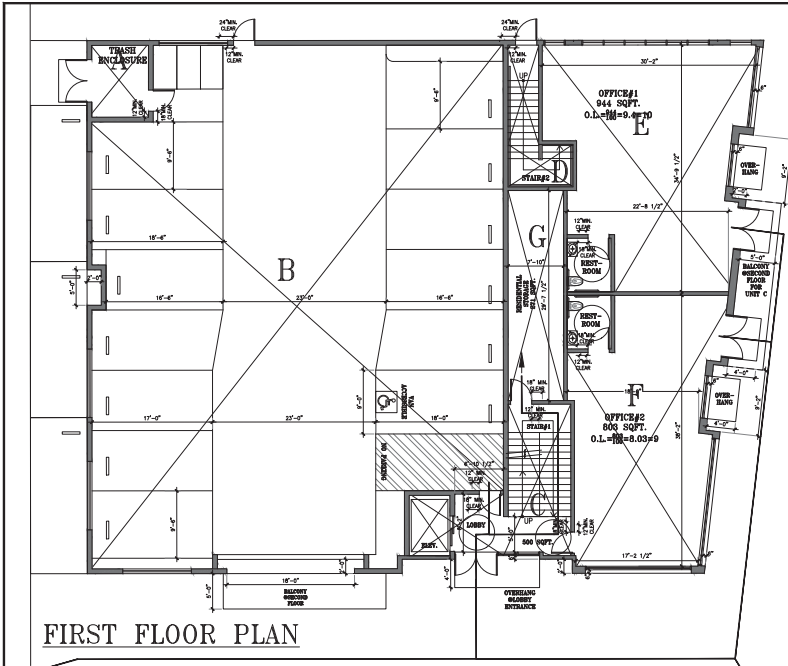
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Scale: 1/8" = 1'

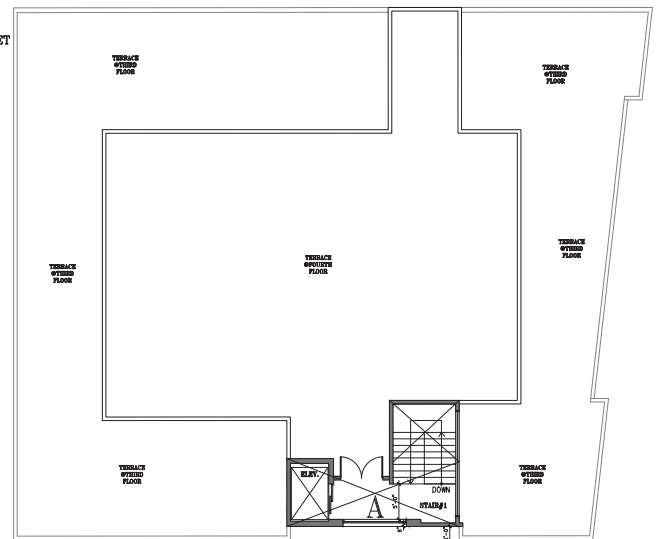
Project no. 12131021

Sheet no. A-0.1



NEW FLOOR AREAS

LEVEL	AREA	SQUARE FEET
LEVEL ONE	1. A - TRASH ENCLOSURE	100
	2. B - ENCLOSED GARAGE	4121.7
	3. C - STAIR#1, ELEVATOR, LOBBY	332.4
	4. D - STAIR#2	134.2
	5. E - OFFICE#1	944
	6. F - OFFICE#2	800
	7. G - RESIDENTIAL STORAGE	253.1
TOTAL OFFICE AREA(1+2)		1747
LEVEL TWO	1. A - RESIDENTIAL UNIT#A	1105
	2. B - RESIDENTIAL UNIT#B	972
	3. C - RESIDENTIAL UNIT#C	1769
	4. D - STAIR#1, ELEVATOR, STAIR#2, LOBBY	739.5
LEVEL THREE	1. A - STAIR#1, ELEVATOR, LOBBY	350.6
	2. B - RESIDENTIAL UNIT#4	2410
	3. C - STAIR#2	178
LEVEL FOUR	1. A - STAIR#1, ELEVATOR, LOBBY	283.5
TOTAL FLOOR AREA (LEVELS ONE+TWO+THREE+FOUR) = 14,495.5 SQFT.		
COVERED FLOOR AREA EXCLUDING TRASH ENCL. & ENCLOSED GARAGE=14,495.9-(100+4121.7)=10,273.8 SQFT.		



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REGISTERED ARCHITECT
ARVIND S. IYER
C11053
ISS. 03/20/09
STATE OF CALIFORNIA

MIXED USE PROJECT

115 EL CAMINO REAL
MENLO PARK, CA

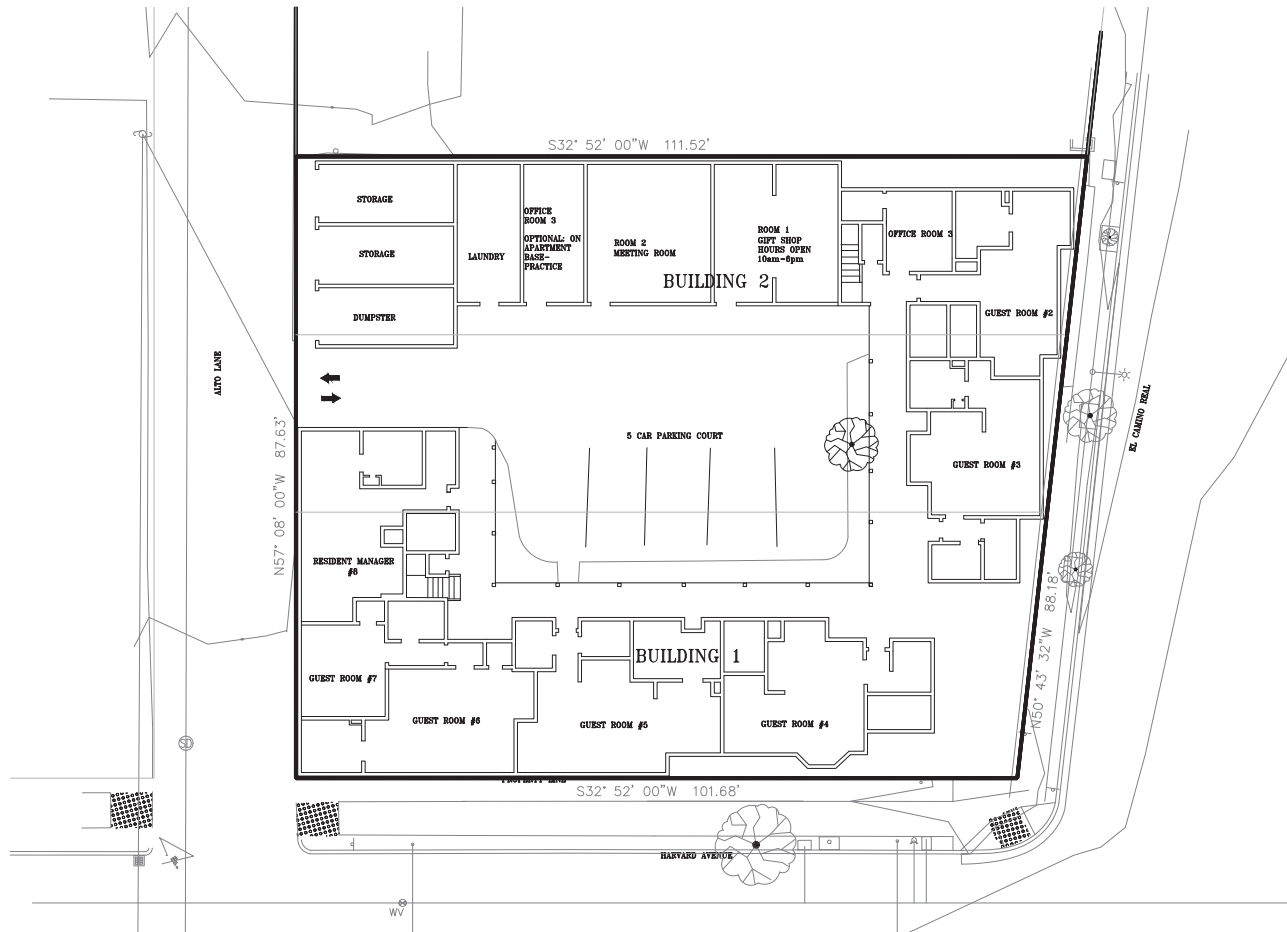
NEW FLOOR AREA CALCULATIONS

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Drawn by: MM
Checked by: ASI
Scale: 1/8" = 1'
Project no. 12131021
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LEVEL 1: EXISTING AREAS

BUILDING 1:	2407 SF.
BUILDING 2:	2768 SF.
PARKING AREA:	2051 SF.
CIRCULATION:	782 SF.
UTILITY/STORAGE:	528 SF.
TOTAL BUILDING AREA:	6009 SF.



EXISTING SITE PLAN - LEVEL 1



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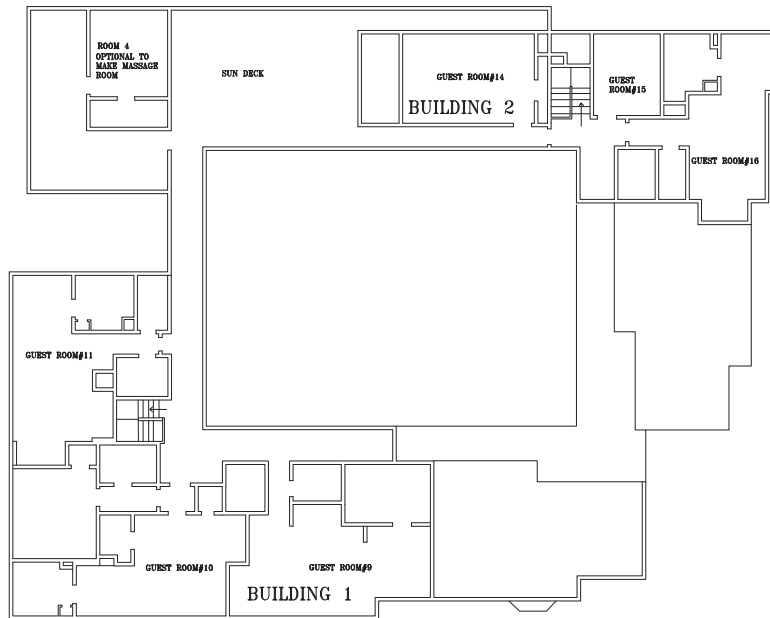
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Project no. 12131021
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LEVEL 2: EXISTING AREAS

BUILDING 1:	1848 SF.
BUILDING 2:	1505 SF.
CIRCULATION:	1190 SF.
TOTAL BUILDING AREA:	4543 SF.



EXISTING PLAN - LEVEL 2



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EXISTING PLAN -
LEVEL 2

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Scale: 1/8" = 1'

Project no. 12131021
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EL CAMINO REAL ELEVATION



ALTO LANE ELEVATION



HARVARD ELEVATION



GARAGE DOOR ALTO LANE ELEV



INTERIOR ELEVATION

INTERIOR ELEVATION



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EXISTING ELEVATIONS

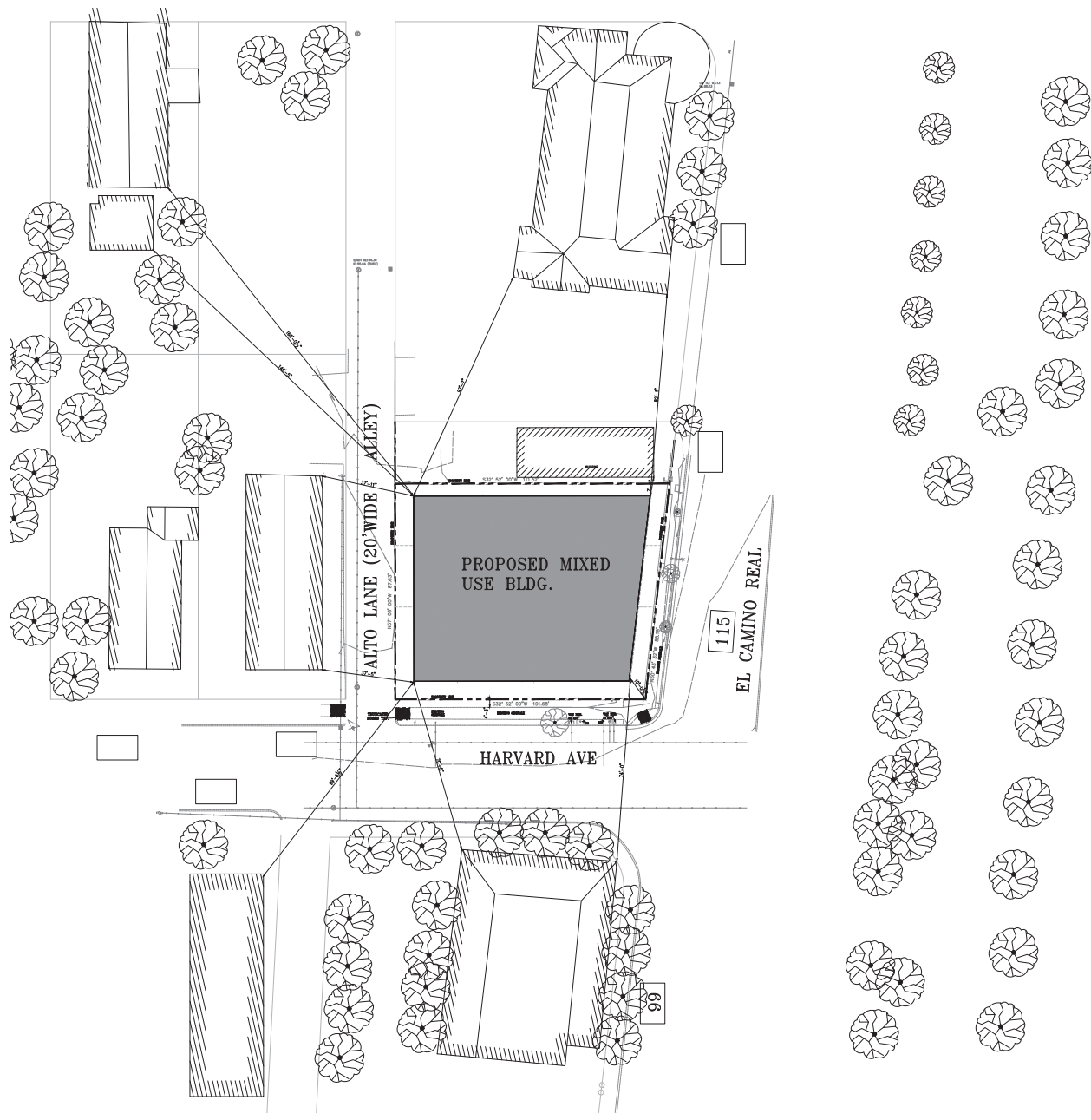
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Scale: N.T.S.

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Sheet no. A-1.3



AREA PLAN
 0 10' 20' 40' 60'

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AREA PLAN

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Scale: 1" = 20'

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HARVARD AVENUE STREETSCAPE



EL CAMINO REAL STREETSCAPE

STREETSCAPE



STREETSCAPE

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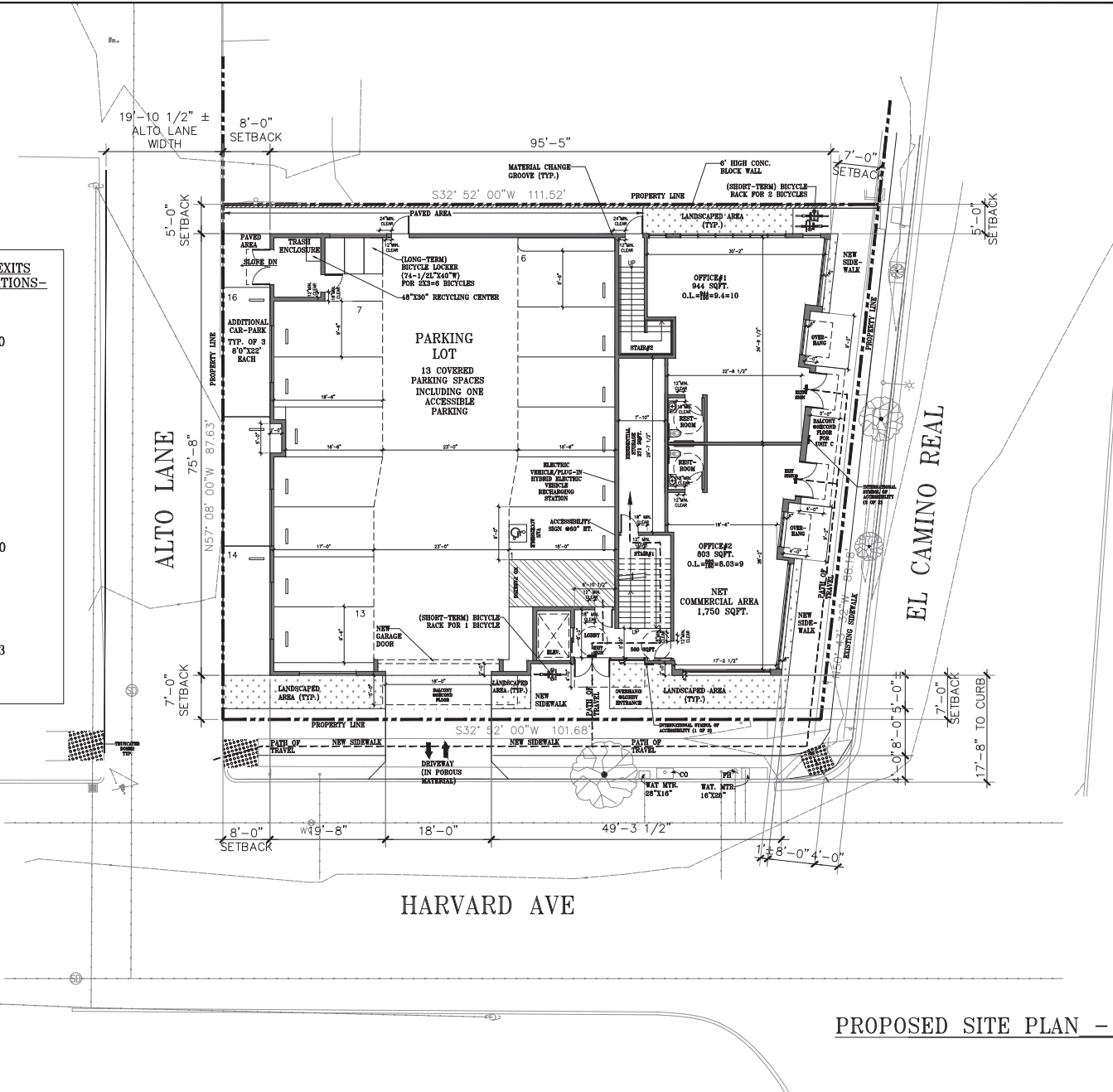
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Scale: 1/16" = 1'

Project no. 12131021
Sheet no. A-2.1

OCCUPANT LOAD AND EXITS REQUIREMENT CALCULATIONS-

LEVEL 1:	
OFFICE#1 O.L.	10
EXITS REQUIRED	1
EXITS PROVIDED	1
OFFICE#2 O.L.	9
EXITS REQUIRED	1
EXITS PROVIDED	2
LEVEL 2:	
UNIT A O.L.	6
UNIT B O.L.	5
UNIT C O.L.	9
TOTAL O.L.	20
EXITS REQUIRED	2
EXITS PROVIDED	2
LEVEL 3:	
UNIT D O.L.	13
EXITS REQUIRED	2
EXITS PROVIDED	2



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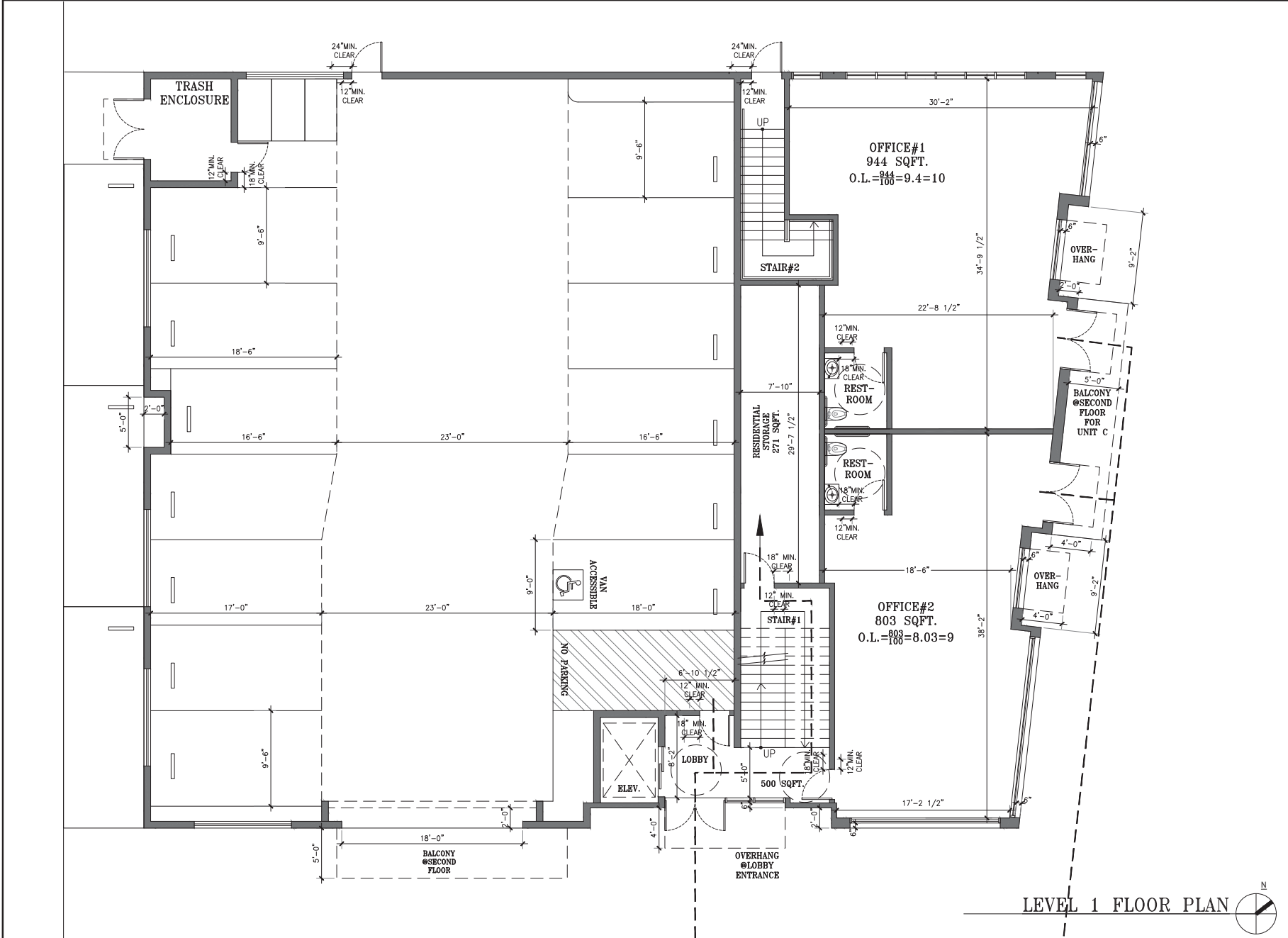
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Scale:	1/8" = 1'
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12131021	A-2.2

PROPOSED SITE PLAN - LEVEL 1





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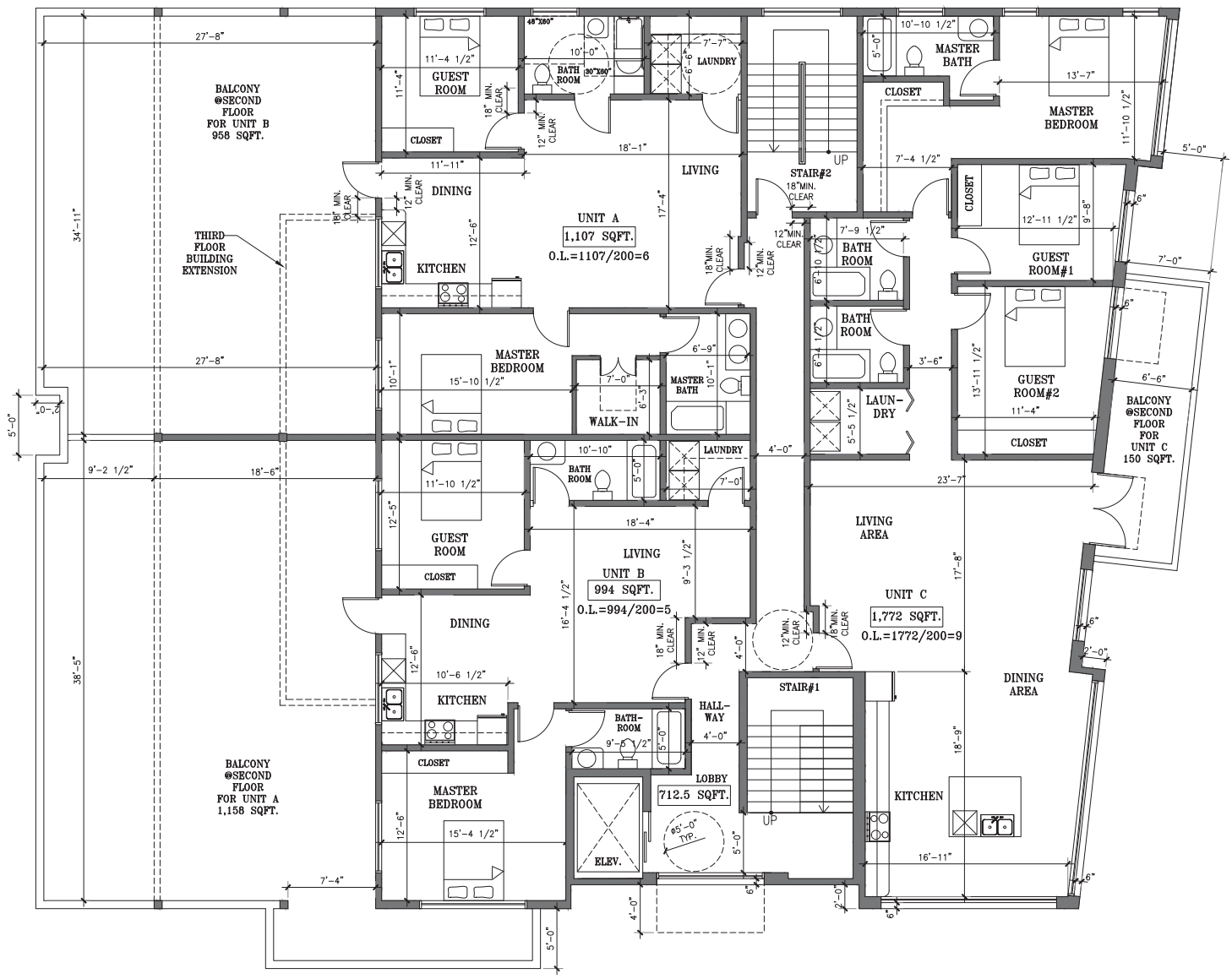
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LEVEL 1 FLOOR PLAN



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**PROPOSED
 PLAN-LEVEL 2**

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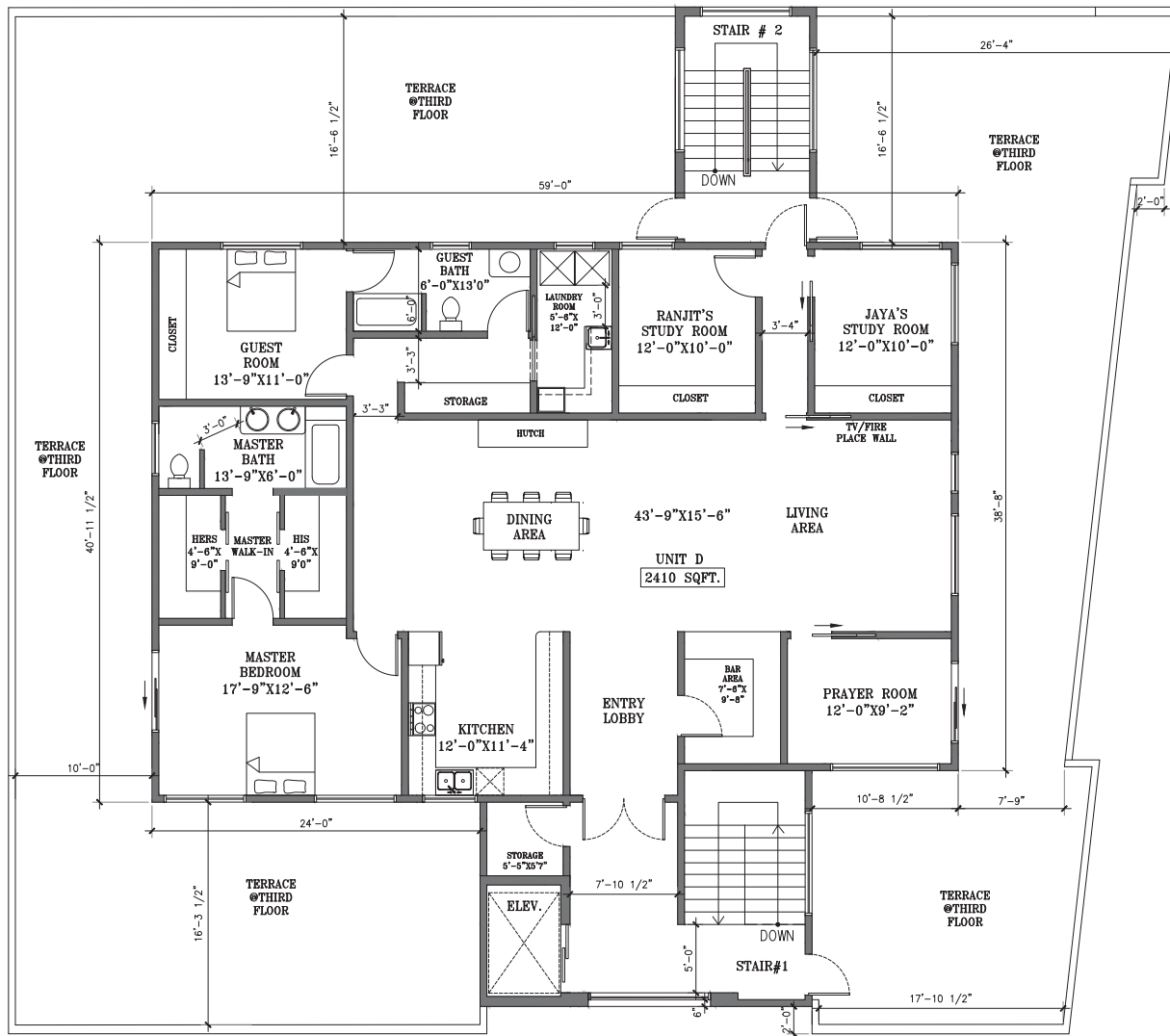
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LEVEL 2 FLOOR PLAN





LEVEL 3 FLOOR PLAN



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PLAN-LEVEL 3

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Scale: 1/4" = 1'

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Sheet no. A-2.4

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1. NO ROOFTOP MECHANICAL EQUIPMENT.
 2. 50% OF THE ROOF MAY BE USED FOR
 PUTTING SOLAR PANELS.

LEVEL 4 ROOF PLAN



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**PROPOSED ROOF
 PLAN-LEVEL 4**

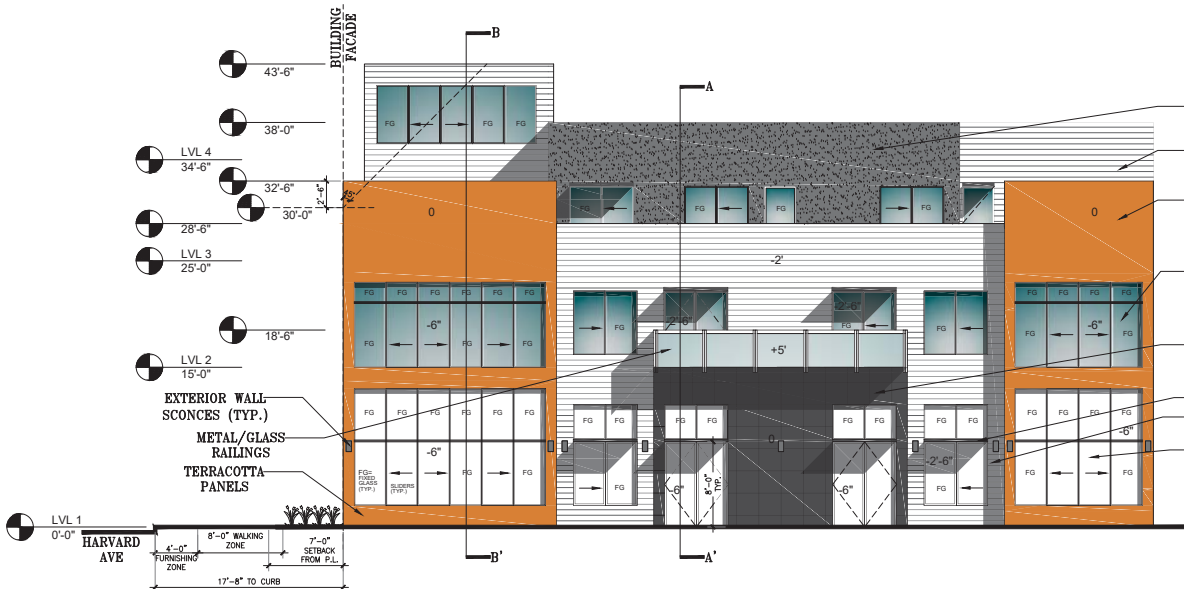
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 Sheet no. A-2.5



- STUCCO PAINTED MEDIUM GRAY SAND TEXTURE
- HARDIE SIDING PAINTED WHITE
- TERRACOTTA PANELS
- TINTED GLASS TYP. FOR 2ND & 3RD FLOOR
- CROSSVILLE INC. PORCELAIN STONE SHADES, INK, 24X24, AV249
- METAL SUNSHADE
- HARDIE SIDING PAINTED WHITE
- CLEAR VISION GLASS

EL CAMINO ELEVATION



- STUCCO PAINTED MEDIUM GRAY SAND TEXTURE
- HARDIE SIDING PAINTED WHITE
- TERRACOTTA PANELS
- TINTED GLASS TYP. FOR 2ND & 3RD FLOOR
- CROSSVILLE INC. PORCELAIN STONE SHADES, INK, 24X24, AV249
- METAL SUNSHADE
- CLEAR VISION GLASS

HARVARD STREET ELEVATION

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Scale: 3/16" = 1'

Project no. 12131021 Sheet no. A-3.1



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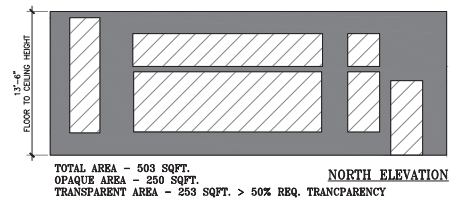
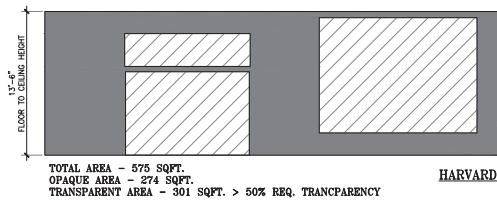
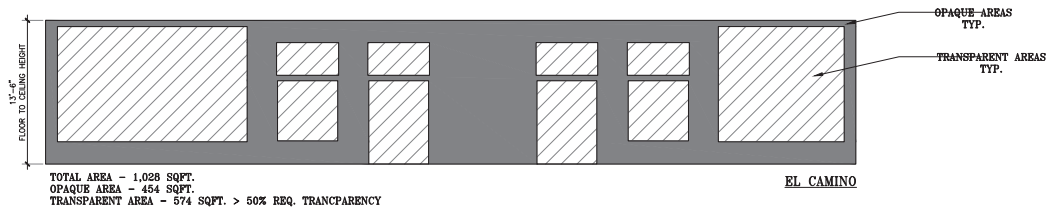
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ALTO LANE ELEVATION



NORTH ELEVATION



TRANSPARENCY DIAGRAMS FOR FIRST FLOOR

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TRANSPARENCY DIAGRAMS FOR FIRST FLOOR

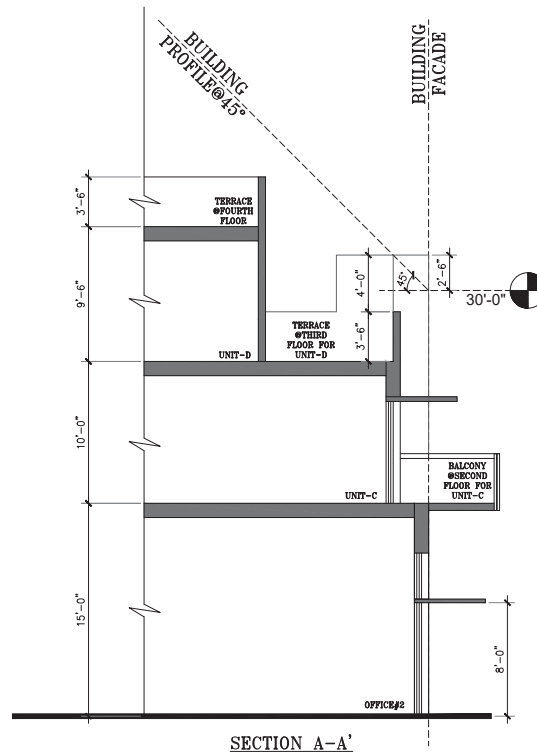
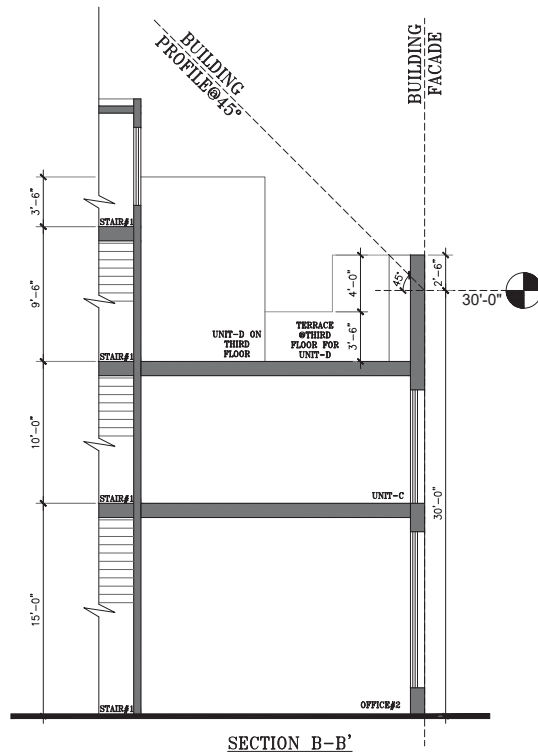
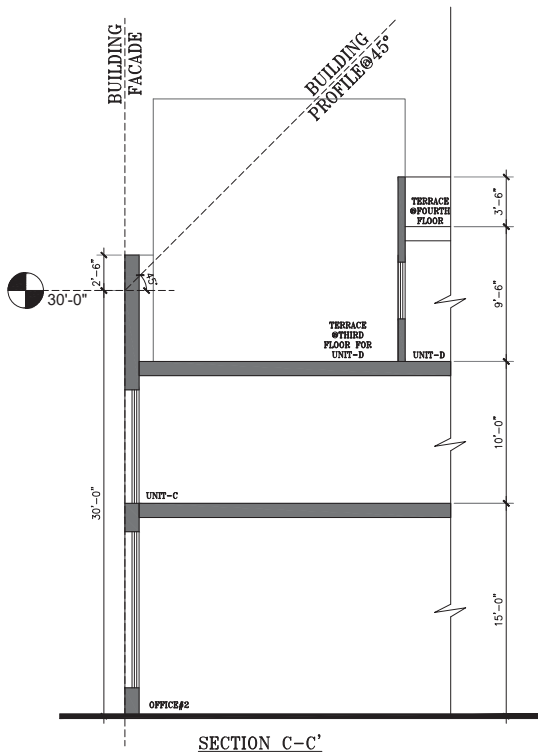
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Sheet no. A-3.3



BUILDING SECTIONS

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Scale: 1/4" = 1'

Project no. 12131021
 Sheet no. A-3.4

Rogers, Thomas H

From: carolyn gulledge <carolyngulledge2@gmail.com>
Sent: Monday, May 1, 2017 12:55 PM
To: PlanningDept
Subject: [Sent to Planning]115 El Camino

The development at 115 El Camino, Menlo Park would be a welcome and attractive addition to the neighborhood.

Carolyn Gulledge
627 Cambridge Ave.
Menlo Park



STAFF REPORT

Planning Commission

Meeting Date:

5/8/2016

Staff Report Number:

17-029-PC

Regular Business:

Planning Commission Chair and Vice Chair

Selection: May 2017-April 2018

Recommendation

Staff recommends that the Planning Commission select a Chair and Vice Chair for the term of May 2017 through April 2018.

Policy Issues

City Council Policy CC-01-0004 "Commissions/Committees Policies and Procedures and Roles and Responsibilities" states that each Commission shall annually rotate its Chair and Vice Chair. The policy does not provide any particular guidance for these selections, although staff would note that the Planning Commission has historically appointed Commissioners that have served the longest without being Chair or Vice Chair, with any tiebreakers going to a Commissioner whose term is expiring first. However, this is not a requirement.

Background

The Planning Commission last selected a Chair and Vice Chair on May 18, 2015, with Commissioners Strehl and Combs being appointed to those roles, respectively.

Analysis

The Commission should seek nominations for the position of Chair and Vice Chair in two separate motions. Each position needs to receive a majority of votes of a quorum present and voting. The Chair and Vice Chair selected would serve through April 2018, or possibly through part of May, depending on when the City Council makes appointments for any expiring Commission seats.

The Chair and Vice Chair should both have a basic familiarity with typical meeting rules of order, although this does not require any specialized training; most Commissioners have likely absorbed these procedures through their membership on the Commission, and staff will always provide support.

For reference, Table 1 on the following page summarizes the service to date of each Commissioner, with a sorting that reflects the Commission's typical past selection practices.

Table 1: Planning Commission Appointment/Chair History				
Commissioner	Date Appointed	Previously Served as Chair	Term Expiration	Eligible for Reappointment when Current Term Expires
Combs	April 2014	No	April 2018	Yes
Kahle	May 2015	No	April 2018	Yes
Goodhue	May 2015	No	April 2019	Yes
Barnes	May 2016	No	April 2020	Yes
Riggs	May 2016 (separately served 2005-2014)	Yes - September 2008-December 2009	April 2020	Yes
Onken	October 2012; Reappointed May 2015	Yes - May 2015-April 2016	April 2019	No
Strehl	April 2013; Reappointed April 2017	Yes - May 2016-April 2017	April 2021	No

Impact on City Resources

Selection of a Chair and Vice Chair does not have any impact on City resources.

Environmental Review

Selection of a Chair and Vice Chair is not considered a project under the California Environmental Quality Act (CEQA), and thus does not require any environmental review.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

None

Report prepared by:
Thomas Rogers, Principal Planner

Report reviewed by:
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