



REGULAR MEETING AGENDA

Date: 6/5/2017
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

- E1. Approval of minutes from the May 8, 2017, Planning Commission meeting. ([Attachment](#))

F. Public Hearing

- F1. Use Permit/Justin & Amy Kurpius/1151 Westfield Drive:
Request for a use permit to demolish an existing single-story single-family residence and construct a new two-story single-family residence on a substandard lot with respect to lot width in the R-1-S (Single-Family Suburban Residential) zoning district. ([Staff Report #17-035-PC](#))
- F2. Use Permit Revision/Andrew Barnes/210 McKendry Drive:
Request for a use permit revision to add approximately 281 square feet of first and second floor space and make other exterior revisions to a previously-approved project to expand and modify a single-family residence. The subject parcel is a substandard lot with regard to lot width, depth and area in the R-1-U (Single-Family Urban) zoning district, and the proposal would exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The project would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period.

The previous use permit was approved by the Planning Commission on February 8, 2016. ([Staff Report #17-036-PC](#))

- F3. Use Permit/Clear Labs/3565 Haven Avenue, Suite 2:
Request for a use permit for the use and storage of hazardous materials for the research and development (R&D) of a food safety testing platform located in an existing building in the M-2 (General Industrial) zoning district. All hazardous materials would be used and stored within the building. ([Staff Report #17-037-PC](#))

G. Informational Items

- G1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: June 19, 2017
 - Regular Meeting: July 17, 2017
 - Regular Meeting: July 31, 2017
 - Regular Meeting: August 14, 2017

H. Adjournment

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at www.menlopark.org and can receive e-mail notification of agenda and staff report postings by subscribing to the “Notify Me” service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting the Planning Division at (650) 330-6702. (Posted: 05/31/17)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



REGULAR MEETING MINUTES - DRAFT

Date: 5/8/2017
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Katherine Strehl called the meeting to order at 7:00 p.m.

B. Roll Call

Present: Andrew Barnes, Drew Combs (Vice Chair), Larry Kahle, John Onken, Henry Riggs, Katherine Strehl (Chair)

Absent: Susan Goodhue

Staff: Arnold Mammarella, Architectural Consultant; Corinna Sandmeier, Associate Planner; Ori Paz, Planning Technician; Thomas Rogers, Principal Planner; Tom Smith, Associate Planner

C. Reports and Announcements

Principal Planner Thomas Rogers said the City Council at its May 2, 2017 meeting heard a proposal to improve electrical vehicle charger requirements citywide and gave general support to proceed with a more detailed proposal. He said regarding that Menlo Gateway project that there was an agreement to share in the costs of the Chrysler Drive pump station.

D. Public Comment

There was none.

E. Consent Calendar

- E1. Approval of minutes from the April 10, 2017, Planning Commission meeting. ([Attachment](#))

ACTION: Motion and second (John Onken/Drew Combs) to approve the minutes with the following modification; passes 5-0 with Commissioner Henry Riggs abstaining and Commissioner Susan Goodhue absent.

- Page 8, 1st full bullet, 1st line: Replace “Laurel Street” with “Laurel Avenue”

F. Public Hearing

- F1. Use Permit/Sarah Potter/207 Oakhurst Place:

Request for a use permit to partially demolish, remodel, and add a second story addition to an existing single-story, single-family residence on a substandard lot with regard to lot area and lot width in the R-1-U (Single-Family Urban) zoning district. (Staff Report #17-024-PC)

Chair Strehl noted that Commissioner Larry Kahle would recuse himself from consideration of this item due to the project site's proximity to his property.

Staff Comment: Principal Planner Rogers noted he was covering this item for Associate Planner Kaitie Meador. He said there were no additions to the staff report.

Applicant Presentation: Ms. Sarah Potter, project designer, said the proposal was to add a small second story to the existing one-story home. She said they had talked to neighbors and one neighbor's concern was about her solar panels and whether a second story next door would have an impact on them. She said they talked to the supplier of the solar panels and were assured that that the proposed second story addition was far enough away to preclude impact on the neighbor's solar panels.

Chair Strehl opened the public hearing.

Public Comment: Mattie Gatien, Greenwood Drive, said she would like a copy of the solar study referred to in the packet.

Chair Strehl closed the public hearing.

Commission Comment: Chair Strehl asked if there was a study that could be provided to the neighbor who spoke. Ms. Potter said it was an email between her and Peterson Dean, the solar provider, and she provided a copy to Ms. Meador with the intent of it being shared with the neighbor. She said she would provide the neighbor with a copy.

Replying to Chair Strehl, Principal Planner Rogers said he had not seen the email. He said the second story addition was extremely modest in size and completely within the daylight plane, which requirements comprehensively protected neighbors' solar access.

Commissioner Onken said this was a good example of a transitional two-story project in a one-story neighborhood in that it maintained the ranch home feeling of the neighborhood while adding a modest extension. He said the roofline was a bit awkward but he appreciated that half the home had hip and the other gable. He said the zoning regulations did not address solar panel access on roofs and suggested that might be a future discussion.

Commissioner Andrew Barnes said the project was very acceptable. He said the second floor was somewhat abrupt due to the existing structure but approvable. Commissioner Riggs said he agreed with Commissioner Barnes' comments and added that once built the project would look fine. He moved to approve the project as recommended in the staff report. Commissioner Combs seconded the motion noting the addition was very modest. He said the area was experiencing a transition from one-story to two-story homes, and this project fit well within that transition.

ACTION: Motion and second (Riggs/Combs) to approve the item as recommended in the staff report; passes 5-0 with Commissioner Kahle recused and Commissioner Goodhue absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Clearstory Construction, consisting of nine plan sheets, dated received on April 13, 2017, and approved by the Planning Commission on May 8, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
 - g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

Commissioner Kahle returned to the dais.

- F2. Use Permit/Bryan Baskin/857 College Avenue:
Request for a use permit to demolish an existing one-story single-family residence and construct a new two-story single-family residence on a substandard lot with respect to lot width in the R-1-U (Residential Urban) zoning district. ([Staff Report #17-025-PC](#))

Staff Comment: Associate Planner Corinna Sandmeier said the neighbor at 866 College Avenue had emailed about the project and that had been forwarded to the Commission and was available for the public at the back table.

Questions of Staff: Commissioner Kahle said on the survey he did not see neighbors' adjacent structures on the left side. Associate Planner Sandmeier said adjacent structures were not required in the survey. She said they were shown in the area plan on Sheet A0.00. Commissioner Kahle said that the City has a handout for surveyors and he believed one of the required items was to show adjacent structures. Associate Planner Sandmeier indicated she did not have that handout currently and noted that they required it on the area plan and not necessarily on the survey.

Commissioner Barnes asked what triggered two covered parking spaces. Associate Planner Sandmeier said the parking requirement for single-family residences was two off street spaces, one of which had to be covered, and that was irrespective of square footage.

Applicant Presentation: Mr. Dan Spiegel said he was the project architect and was a longtime acquaintance of the property owner Bryan Baskin. He read an excerpt from the project description. *The project was designed to take advantage of the natural setting with particular focus on climate, landscape, lighting, ventilation and energy efficiency. He said structures were arranged to be inward facing with views toward a communal courtyard and away from neighbors' properties. He said the massing was arranged to reduce the bulk of the building from the street facing side and for neighbors walking on College Avenue to experience the trees.* He said the design drew from traditional California architecture including farmhouse, ranch and courtyard, notably Eichlers. He said the primary form was the pitched roof farmhouse. He said at its core this was a modern home that drew influence from traditional and vernacular forms of the region.

Commissioner Kahle asked about the horizontal siding. Mr. Spiegel said it was a specialized Hardy siding called Artisan that allowed for mitered corner details and painting. Commissioner Kahle asked about the modern elements of the design noting Salt Box and Cape Cod homes. Mr. Spiegel said the modern element was how the spaces were arranged. He said the difference from a modern, contemporary house was that this design drew from a vernacular of a pitched roof house typical of the area before ranch homes. He said the design was not unrelated to the east coast designs but was more open in the interior and drawing from the courtyard style of Eichlers.

Commissioner Kahle said he met with a neighbor who had concerns with two windows facing her second floor bedroom. Mr. Spiegel said they had reviewed the neighbor's email. He said they had provided that neighbor a scheme earlier before applying with this scheme, which removed based on feedback 40% of the windows on the second story facing the neighbor's direction. He said they also pushed the mass as far to the opposite side as they could to privilege the existing windows on the neighbor's house. He said one of the windows of concern was in the master bedroom which was set 10-foot beyond the perimeter of the neighbor's house and the other window was in the corridor and was not a living space. Commissioner Kahle said the neighbor's suggestion was to raise the sill of those two windows and/or add some landscaping. Mr. Baskin said raising the sill was not feasible due to where the pitch roof would sit. He said there was fairly dense vegetation between the two properties and they were not against adding more greenery. Commissioner Kahle said the neighbor noted the landscaping was primarily on her side and her hope was the applicant would be willing to add more on the project side. Mr. Spiegel said the neighbor's plants

grow over onto the project site and that created a less than ideal planting area. He said the condition was different from what was described in the neighbor's letter. Commissioner Kahle said he did not understand why the window sills could not be raised. Mr. Spiegel said they could raise the bottoms of the windows but not the tops. He said they did not want expansive views from that corridor but wanted sufficient natural light.

Commissioner Onken said on the front elevation two shutters seemed to be shown on either side of the front windows and asked if those were sliding. Mr. Spiegel said they were. Commissioner Onken asked about window trim. Mr. Spiegel said the narrowest trim was being used and that the specialized Hardy siding was being used to provide such details. Commissioner Onken confirmed Mr. Spiegel was the architect for a home on Cotton Street.

Commissioner Barnes asked if they had thought about other locations for the uncovered parking space. Mr. Spiegel said they studied a number of versions. He said the basis for its location was when not in use it wasn't a large patch of asphalt visible from the street but a space that blended in with the landscaping and the comprehensive design of the house and to pull the house forward to provide privacy for neighbor's backyards.

Commissioner Riggs asked about the ginkgo tree in the courtyard and how big it was. Mr. Spiegel said he was not an expert on trees but he would like a 12 to 15 foot tall tree to provide foliage. Commissioner Riggs said that would be a big tree to plant and commented that the neighbor would appreciate such screening. Commissioner Riggs said he was looking at photos of the space between the house and fence and didn't see the evidence of planting growth from the neighbor's site that Mr. Spiegel had mentioned. Mr. Spiegel said they had received the neighbor's comment a few days ago. He said they had new photos of the area in question, and provided those to the Commission to look at. Commissioner Riggs noted that the growth did not show in the black and white photos. Commissioner Riggs asked about the vinyl windows being proposed. Mr. Spiegel said windows would be Anderson 400s. He said he believed it was vinyl clad exterior and wood frame interior. Commissioner Riggs said Anderson 200 or 400 was fine with him.

Chair Strehl opened the public hearing.

Public Comment:

- Ms. Bronwyn Dobberstein said she lived across the street from the subject property. She said this house was the last in the neighborhood to be replaced. She said she and her husband had reviewed the plans in depth and thought the home as proposed was beautiful and would add curb appeal. She said they had no complaints about the proposal and were pleased with young families living on their block.
- Carlton Willey, College Avenue, said he enthusiastically supported the applicant's project and thought the project would be a great asset to the neighborhood. He provided a short written comment to staff.
- Laura Low Kee, College Avenue, said she and her family supported the proposed project, which they thought was beautiful.
- Greg Lucas, College Avenue, said he also supported the proposed project noting that the applicants had responded to feedback as the plans developed.

- Kathy Baskin said she was the applicant's mother. She said he met with neighbors and done all he could to be a good neighbor with this project proposal.

Chair Strehl closed the public hearing.

Commission Comment: Commissioner Onken said he thought the windows (105 and 106) that the neighbor at 865 College Avenue was concerned about were fairly insignificant given comments received on other projects' with side facing windows. He said they were twenty-seven feet away from the neighbor and fairly small with one in a hallway and the other in the master bedroom, which was not directly across from the neighbor's building. He said he was surprised the neighbor to the north had not commented noting that 13 feet eight inches away were two bedrooms and their only aspect was directly to the neighbor. He said there was evergreen screening there and wanted to remind the project applicant they would need to think carefully about window coverings there.

Commissioner Kahle said he loved the simplicity of the design and thought the Artisan siding would add to the design. He said he had a concern that the project was at the maximum height of 28-feet with the roof pitch and the floor height. He said as mentioned the windows on the northeast side were very close to the adjacent neighbor. He said keeping in mind the simplicity of the design that the windows on that side could use more order in terms of placement and height. He suggested that those be considered as the plans were refined. He said he visited the neighbor's house which was why he asked about the survey as he did not believe the drawing adequately depicted what was happening next door. He said he appreciated the new photos which supported the need for additional screening and raising the sill heights of the master bedroom window.

Commissioner Riggs said that they had seen other projects by this architect and they were well thought out projects. He said he thought the windows were fine, noting that was landscaping on the sides. He said the 12 by 12 roof pitch was the reason for the maximum 28-foot height and was the least disruptive in terms of wall height and a handsome proportion that was not seen very often. He moved to approve as recommended in the staff report.

Commissioner Barnes said he supported expanding homes. He questioned a 3,000 square foot five bedroom home however on a very narrow lot. He said should the home have a new owner in the future that he feared the use of the uncovered parking, which would then dominate two views. He said with so much square footage available he was having a hard time understanding why some interior parking could not have been accommodated.

Chair Strehl said she did not like the parking configuration but the project was within code.

Commissioner Onken seconded the motion. He reminded the applicant that if he planted a 48-inch ginkgo tree to make sure of its sex as fruiting ginkgoes were becoming a problem in the area.

Commissioner Combs said he supported the project noting it was well designed and had the community's support.

ACTION: Motion and second (Riggs/Onken) to approve the item as recommended in the staff report; passes 5-1, with Commissioner Barnes opposing and Commissioner Goodhue absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Spiegel Aihara Workshop, consisting of 17 plan sheets, dated received April 5, 2017, and approved by the Planning Commission on May 8, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
 - g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Kielty Arborist Services, LLC dated revised April 4, 2017.
- F3. Use Permit/Ken Friedman/953 Hobart Street:
Request for a use permit to demolish a single-story, single family residence and construct a new two-story single family residence with a basement on a substandard lot with respect to lot width in

the R-1-S (Single-Family Suburban) zoning district. The proposal includes excavation in the required right side and rear yard setbacks associated with light wells for the basement. As part of the proposed development, four heritage trees are proposed to be removed: a 16-inch plum (poor condition), a 28-inch date palm (good condition), a 15-inch yucca (poor condition) and an 18-inch oleander (fair condition). ([Staff Report #17-026-PC](#))

Staff Comment: Planning Technician Ori Paz said that additional sheets were provided to the Commission and public noting that there had been changes to the floor plan since the release of the staff report. He referred to the basement and noted that what was once an office and a library were now bedrooms, and that one of the full baths in the basement was now a closet. He said the library in the rear of the first story was now also a bedroom and the bathrooms and bedrooms on the second floor were relabeled. He said an inconsistency between the agenda and the staff report was that five heritage trees were being applied for removal and not four. He said the staff report was accurate in listing five trees.

Questions of Staff: Commissioner Kahle asked about a survey noting that the property on the left of the subject property was not adequately drawn. He said that requirement should be made of all second-story applications. He said there was a stairway in front of the garage with a glass rail and asked if staff had concerns about the front of the proposed house. Planning Technician Paz said at the time of the building permit the stairwell would be reviewed in more detail. He said at the front of the property was a seven foot wall so visibility of the glass rail would be limited to anytime the gate was open and would be at an indirect angle to a passerby. Commissioner Kahle said the right light well was encroaching 12-inches into the setback. He said that might need to be an exit light well in which case it needed to be larger than the 12-inch encroachment. He suggested that was something that needed to be double checked by the building department. He also noted removal of one bathroom. He said in the original application there were 10 bedrooms with 10 bathrooms. He asked if the City had any concern regarding the number of bathrooms and/or water usage. Principal Planner Rogers said that neither the number of bathrooms nor water usage was part of the zoning code. He said water rates would increase if more water was used. He said parking was regulated partly through overnight on street parking limits. Replying to Commissioner Kahle, Principal Planner Rogers said he did not remember the Planning Commission ever imposing limits on the number of bathrooms or bedrooms.

Chair Strehl said she met with the applicant to review the plans prior to the meeting.

Applicant Presentation: Mr. Ken Friedman said he was the owner of the property. He said he sent letters about the project to everyone within 350-feet to provide an opportunity to meet with him to discuss the project. He said he met with two neighbors and left the meeting thinking one person supported the project but found out later she did not. He said it was a six-bedroom home and the numbers could be changed. He said the cost of the land was substantial and he could not guarantee he would live in Menlo Park until he died, and that he needed to look at resale value.

Commissioner Onken said there was a single line at the top of the stucco. Mr. Lewis Butler, project architect, said it was important to them to not have metal flashings on top of the walls. He said the key to this project was great stucco execution and great window to stucco details. He said they had to flash below the stucco and slope to drain below the stucco, and that was why there was no second line shown.

Chair Strehl opened the public hearing.

Public Comment:

- Hanna Poplawski, Hobart Street, said she was the neighbor to the left of the project site. She was very concerned with the impacts of the project on her outdoor living space and the replacement of the garage that would block her living room window. She said the new lap pool would be five feet from the fence and directly across from her patio, her outdoor living space, and questioned legality of the pool being so close to the fence. She said the pool barbecue would be close to her living room. She said the wall on the first floor would be glass and the second floor master bedroom large window would look into her master bathroom and part of her bedroom. She said she felt that all of her privacy would be taken by this future neighbor and her calm would be disrupted by the pool noise and barbecue smell. She said when she remodeled she took her neighbor's privacy into consideration.
- Aline Young, Hobart Street, said her property was on the right side of the subject property. She said her home was U-shaped and the bottom of the U faced the subject property. She said in front of that was a courtyard that took up most of the interior of the U. She said the bottom part of the U was mostly glass with two sets of sliding glass doors and a hallway with a large paned window. She said her concerns were with the proposed project's second floor due to the toilet window in the master bathroom that would look into her courtyard, noting it was a very low window. She requested it be raised as it faced her breakfast nook and sliding glass door. She suggested it might be a clerestory window to ensure her privacy. She said the meeting with the property owner and another property owner across the street was very informative. She said the left side of the new home would extend further into her courtyard than she was told with the second story going to the middle of her courtyard and a very large balcony, 11 by 13 feet, outside the master bedroom extended almost all the way to the end of her courtyard. She said her major concern was privacy. She said if the balcony was not eliminated her desire was that it be smaller. She said she appreciated the applicant's rights noting her home was one-story and that there were trees on her property but the second story would extend beyond the screening provided by those trees. She said she would like mandated landscaping that was monitored for compliance.

Chair Strehl closed the public hearing.

Commission Comment: Commissioner Onken said the applicant had done a study session with the Commission to develop a design. He said the neighbors had identified a number of things that could be addressed without jeopardizing the application itself. He suggested that the larger part of the L-shaped master bedroom window on the second floor could be transposed to the rear where it would create much less nuisance or at least perception of nuisance. He said regarding the neighbor to the north he saw no harm in moving the master toilet window or varying its size slightly to create less of a perceived nuisance. He said he thought the new second story was far enough away from the neighbor's courtyard given the proximity of other homes.

Commissioner Kahle said he thought the design was dynamic and unique. He said he agreed with Commissioner Onken that the second story detail was critical. He said one solution was to run the stucco up over a parapet cabin to protect it. He said he had concerns with window placement noting the bedroom window to the left seemed unbalanced. He encouraged the applicant to give more thought to the window placement. He said even with the elimination of one toilet there were

nine in the home. He said the neighbors' privacy had not been given adequate consideration. He said that went back to the survey as he did not think the site plan was accurate. He said visiting the site from the street you see an open courtyard to the left property where there was a pool. He said the second story was very invasive and that it was 13 feet off the ground and fairly high. He said the balcony was large and potentially invasive. He said he had concerns with the project's impact to the neighbor on the right as well. He said he could support the project if more attention was given to the balcony and the windows facing the adjacent right property.

Chair Strehl noted the second story bedroom windows were 23 feet away from the property line. She said the neighboring property had a pool next to the proposed pool at the subject property. She said she thought the master bedroom was quite some distance from the right side neighbor.

Commissioner Riggs said the project design was very strong and would be most optimal on a larger parcel. He said that privacy was the key issue. He said he hoped this could be addressed with evergreen landscaping particularly for the master bedroom. He said he would like to know what type of glass would be used in the stairwell window that would face west. He said the privacy issues from the master bedroom window, the stair window, the water closet window, and the position of the balcony would require that landscape screening be placed on one side or the other. He said the plan seems to be for a bed and breakfast. He asked if the architect would address the glazing.

Mr. Butler said regarding the stairwell, master bedroom and master bathrooms windows that the house on the second story was pulled in from all sides. He said the second story was a bit harder on the street as that was the north side. He said the massing was pulled back from all the other three sides. He said they expected to treat privacy with landscaping as the windows were very far back from the property line. He said all the windows would have window coverings. He said the stairwell window was meant as a "Wow" window and it would need to be laminated with uvb and uva treatment. Commissioner Riggs said the infrared load would be great which Mr. Butler acknowledged as fairly large and they would engineer for that, noting that was an energy issue more than a privacy issue. Commissioner Riggs said he would like to see what the landscaping proposal was to address in particular the three windows under discussion. Commissioner Riggs said the window to skylight was an integral part of the design and it would be good for the Commission to know whether that would revert to a conventional window head noting they had had at least two projects come back indicating skyhooks were expensive and wanting to do the project less expensively. He said he understood how a window head could be created to be a skylight frame but questioned how the skylight would be drained. Mr. Butler said for the skylight detail you used thick glass at least ½-inch and run the top piece of glass past the bottom slightly to create a drip edge and bevel the end piece of glass to create that drip edge. He said it was an eave on the glass.

Chair Strehl asked when a study session was held on the project. Planning Technician Paz said to his knowledge there had not been a study session.

Commissioner Combs said he met with the applicant, Mr. Friedman, a couple of weeks past, to see the house plans. He said he was not a fan of the design. He said a contemporary design house was across the street from this one and he was not a fan of that design either. He said it was a big house on a street with many other big houses so he was not concerned with the size or the number of bathrooms. He said he was not concerned this might become a bed and breakfast. He said he heard the neighbors' concerns but did not know if that should be burdened onto this

property noting Chair Strehl's observations on the significant distance between structures. He said in general he was supportive but would support some modifications as suggested by other Commissioner.

Commissioner Kahle moved to approve the project with additional conditions. He said he would like a more accurate plan of the neighbors' structure whether that was a survey or more architectural detail as to what was affected on either side. He said a landscape plan was needed to see what would be provided for screening on either side. He said lastly for the applicant and architect to consider comments about windows both on the side and front and possibly even for the balcony itself. He said this was not to continue the project but to approve with the conditions for the review and approval of Planning. Commissioner Riggs said this was a good motion. He said regarding the neighbor's concern about loss of light because of the garage placement that the garage was one-story and really should not affect the light, noting it was within the daylight plane. He said the massing was sensitive. He seconded the motion.

Commissioner Onken said the fenestration had been carefully placed and wondered if the architect would consider changes to them. Mr. Butler said that they could change the master bedroom window and he liked the suggestion of the clockwise rotation of the L of it. He said that would have solar gain negatives but privacy positives. Mr. Friedman said he was amenable to making changes but noted his wife was struggling with illness and solar access to the bedroom was important as she needed to spend a great deal of her time there.

Commissioner Riggs said he had listed the balcony as well as the windows in terms of landscape screening. He asked if that was included in Commissioner Kahle's motion. Commissioner Kahle said it was. Commissioner Kahle said the applicant had submitted some late revisions and were not completely satisfied with those so he wanted to make that a reason this could be considered by the staff.

Responding to Chair Strehl, Principal Planner Rogers asked if the review and approval was staff's to make or if they wanted the email memo process where the Planning Commission gets to see what staff's decisions were. Chair Strehl noted from the nods of Commissioners that the preference was for email memo conformance.

ACTION: Motion and second (Kahle/Riggs to approve the project with the following conditions; passes 5-0, with Commissioner Kahle recused and Commissioner Goodhue absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Butler Armsden Architects, consisting of 17 plan sheets, dated received April 26, 2017, and

approved by the Planning Commission on May 8, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.

- b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
- c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
- d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Mayne Tree Expert Company, Inc. dated August 5, 2016.

4. Approve the project subject to the following to the project-specific conditions:

- a. ***Simultaneous with the submittal of a complete building permit application, the applicant shall submit the following: 1) a revised survey noting the locations of the adjacent neighboring residences and update the site plan and area plan; 2) provide a landscape plan showing proposed screening; and 3) propose modifications to the windows and balcony to reflect consideration of Commissioner discussion. The revised plans shall be subject to the review and approval of the Planning Division. The Planning Commission shall be notified by email of this action, and any Commissioner may request that the Planning Division's approval of the revised plans be considered at the next Planning Commission meeting. The revised plans shall be fully approved prior to the issuance of the overall building permit.***

- F4. Use Permit Revision/Justin Young/435 University Drive:
Request for a use permit to make exterior changes to an existing residence on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban Residential) zoning district. The project received a use permit on February 22, 2016 to partially demolish, remodel, and

construct first- and second-story additions to an existing single-story, single-family residence.
([Staff Report #17-027-PC](#))

Staff Comment: Associate Planner Tom Smith said a letter of support was received after the publication of the staff report and was sent to Commissioners last Friday by email.

Applicant Presentation: Ms. Karen Zak, project architect, said the property owners were doctors with small children and had asked her to come represent them this evening. She said the main change was on the first story windows. She said in the rear on the kitchen there had been three windows and in the family room two windows. She said the change was two windows in the kitchen and three windows in the family room. She said they wanted to relocate the fireplace from the family room to the living room which was where it had been located previously. She said in doing that they realized they had a wonderful wall and they wanted more glass on it. She said they talked to her as the neighbor and other neighbors, and they all thought this was a prettier design. She said the garage door changed, they added divided lights and they changed the siding in response to the proliferation of the white board and bat houses in the area. She said they did a nice detail of an Artisan siding with the mitered corners. She said they also had to relocate a furnace from the garage to under the stairway. She said there were two small doors added under the stairway bumpout. She said it was behind her garage and was not visible from any vantage point.

Commissioner Combs said the staff report indicated the work was done without seeking a revision to the permit because of miscommunication and misstatement, but that Ms. Zak seemed to indicate the changes evolved during the construction. Ms. Zak agreed. She said she told the property owners in December that they would need to get a use permit for the changes. Commissioner Combs said the applicants did not stop the process and deviated from what had been approved by the Planning Commission.

Associate Planner Smith said the applicant had been very forthcoming about the changes that were made. He said once they realized there were things that had not been communicated, they had come in and met with staff to discuss. He said they started working on a use permit revision at that time.

Commissioner Combs said that being forthcoming was one thing but that within government constructs there was typically penalty for not following the rules. He raised the issue of the BBC and the shed doors that were explicitly not to be installed but which were installed anyway. He questioned the purpose of a Planning Commission if people could do whatever they wanted after project approval. He said he would not support this change.

Principal Planner Rogers said there were statutory penalties in the building permit process and fees could be doubled for work done without a permit. He said they could follow up on that. He said if the Commission had interest in some kind of penalties for unpermitted work that best would be on a comprehensive basis. He said many things did not through the use permit process so if it was really an issue it should be dealt with more comprehensively. He said the Commission did not have to approve the changes if there were issues they found with the changes. He encouraged them to focus on the plans.

Chair Strehl opened the public hearing, and closed it as there were no speakers.

Commission Comment: Commissioner Kahle said he shared Commissioner Combs' frustration to consider changes that were already in place and alternatively to tell the applicants to tear them out and do again. He said he thought there should be a fine for such projects that came for approval after doing the work. He said he had a project for which there were changes and he had gotten approval before making them. He said in this case the revision was better than the original design.

Commissioner Riggs said he understood Commissioners' concerns with applicants who make changes noting his frustrations with those changes that cheapen the building or get rid of trees the applicants just think are in the way. He said in every way the proposal was a better building. He said he would support the use permit but not any penalties. He moved to approve the use permit as recommended in the staff report.

Commissioner Barnes said it was a burden to have a substandard lot and go through a use permit process and then have to do again whereas other properties in Menlo Park did not have such a burden.

Commissioner Onken seconded the motion. He said he did not see much change from what was originally approved.

ACTION: Motion and second (Riggs/Onken) to approve the item as recommended in the staff report; passes 5-0-1 with Commissioner Combs abstaining and Commissioner Goodhue absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Zak Johnson Architects, consisting of nine plan sheets, dated received on April 20, 2017, and approved by the Planning Commission on May 8, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

- F5. Pre-Zoning, Rezoning, General Plan Amendment, Tentative Map, Use Permit, Architectural Control, and Environmental Review/Leland Stanford Junior University/2111-2121 Sand Hill Road *Continued to a future meeting. New notices will be published and mailed when that meeting is scheduled.*

G. Study Session

- G1. Architectural Control/Ranjeet Pancholy/115 El Camino Real:
Request for a study session for the demolition of an existing hotel and construction of a three-story, mixed-use development with commercial uses on the ground floor and a total of four residential units on the upper floors in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. (Staff Report #17-028-PC)

Staff Comment: Principal Planner Rogers said they had received an email from former Planning Commissioner Kadvany noting he was supportive and questioning whether the windows of the residences would be open. He introduced Arnold Mammarella, Architectural Consultant.

Applicant Presentation: Mr. Ranjeet Pancholy introduced his wife noting they were the owners of 115 El Camino Real, which existing building was a 1940s building and past repair. He said they and their family would occupy the top floor residential units.

Mr. Arvind Iyer, project architect, said this was a mixed use project with commercial on the first story, three residential units on the second floor with one additional residential unit on top. He said the building had mainly glass as it was on El Camino Real. He said the third floor would be stepped back and the second floor would be modulated as required by the Specific Plan.

Mr. Pancholy noted the site was bordered by three streets and it was a challenge to provide parking but they had accomplished that. Replying to Chair Strehl, Mr. Pancholy said they had received Mr. Kadvany's comment just that day.

Commissioner Kahle noted that the right side ground floor office space was glass and asked why as it faced the wall of the neighboring building. Mr. Pancholy said his wife has a natural health practice, the practice would be in that office and they wanted as much sunlight coming in as possible.

Chair Strehl opened public comment, and closed it as there were no speakers.

Commission Questions: Commissioner Onken asked if the parking calculations could be clarified. Principal Planner Rogers said the parking calculation on the cover sheet was not correct. He said that there had been discussions and that would be resolved through the application process.

Commissioner Onken said he thought it might be possible for only one stair to the residences if they did not go through the lobby. He asked if there was a known use for the remaining office on the first floor.

Mr. Pancholy said the parking was based on four spaces per 1,000 square feet and they would have seven spaces for the commercial use.

Replying to Commissioner Kahle, Architectural Consultant Mammarella said Ms. Lin and Mr.

Rogers had requested his assistance with this project in terms of compliance with the rules and guidelines of the Specific Plan and to help the architect and owner work on their plan.

Commissioner Kahle said the entry doors were not recessed on the first floor plan along El Camino Real. Mr. Mammarella said that was open to comment.

Replying to Commissioner Combs, Principal Planner Rogers said staff did not necessarily direct applicants toward any particular style but provided guidance for whatever style was selected so that it would have some relationship to the surrounding environment and be executed with attention to proportion and balance. He noted that they had gone through a series of iterations with the applicant and thought it was a good idea to have the Commission look at the proposal with a fresh perspective.

Mrs. Pancholy said they were not big developers and this was their retirement property. She said with the Specific Plan they had gone through a lot of changes to their plan and had spent much more money than they needed to. She said it was not their choice and the building was very different looking from what she had wanted.

Commissioner Kahle said overall the project was great. He said the terraces for the second floor were too big and the terrace on the top floor was massive. He said the third floor terraces were overkill. He said the balcony over the entry and the sidewalk seemed inappropriate. He said the materials board was a good start but was concerned with the heavy texture of the siding and the terra cotta panels. He said the materials and massing needed to be thought through more carefully as to how they would go together. He said as alluded to in the staff report that the tall stair tower on the Harvard Street side was overpowering and probably unnecessary given his earlier concerns about the roof terrace. He said each of the volumes have a really tall forehead due to a large expanse of material over the windows. He said on the floor plan itself that the middle floor residential units seemed chopped up with only a four foot hallway separating them. He said he would encourage them to consider the approved large Stanford project across the street and its relationship to this project.

Commissioner Riggs said square slate boxes did not add anything to El Camino Real. He said he had concerns with the materials proposed noting that the Hardee siding would not work. He said the layout of the residential units was challenging for furnishing. He said the project would benefit from a restart.

Commissioner Onken said the project's use of the site was appropriate for the future of El Camino Real with parking in the back and not having a sea of parking and with its mass to the front with a variety of masses across the front. He said he shared concerns about the materials as they could be better quality and better proportioned for the windows and overall mass. He cautioned to be careful with tinted glass on upstairs windows as its use could be subtle and sophisticated or funny looking.

Commissioner Kahle asked if other Commissioners had concerns about the terraces and balcony noting particularly those facing adjacent residences, and noted considerable head nodding. Commissioner Barnes said the terraces and balconies were proportionally wrong. Commissioner Onken said that large upstairs terraces and balconies could be a problem if over other buildings but in this case they were across the street from other buildings. He suggested being careful with the terraces and balconies however. He confirmed that the stair tower was so tall because of the

elevator run. He suggested there were other elevators not needing additional run and they could take the stair and have it going outside to the roof and uncovered.

Commissioner Barnes asked about the materials in particular the siding. Mr. Iyer said that they wanted to keep the materials simple: stucco in terra cotta and wood siding in white that would blend rather than stand out. He said the balcony on the second floor was big because the footprint of the building was large. He said the square footage of the building was the maximum allowed for the floor area ratio (FAR) and the balconies had been placed so they would not reflect on the El Camino Real and Harvard Street sides. He said regarding the balconies on the third floor the owners wanted space and once the unit was placed this was the space around it.

Mr. Pancholy said they were limited to the size of the constructed area and the needed parking created limitations. He said he had one floor, the fourth floor, where he had his choice of what he wanted for his residence and he wanted an outdoor balcony. He said he thought having that open space helped the design. He said each balcony had a different purpose – the terrace on the second floor, El Camino Real side, was for the one unit on that side and on the Alto Lane side there were two units, each of which would have a balcony.

Commissioner Barnes asked what the architectural thought was behind the style. Mr. Pancholy said he previously lived in Saratoga and had Mediterranean Spanish style housing. He said his first choice would have been to duplicate that style but received feedback that was not the right style for this area. He said the glass design came out of the new design guidelines for the Specific Plan area. He said that this design was commercial looking, which they did not like and they did not like the colors but those were the colors recommended. He said he had made 10 attempts to design and that had taken five years.

Commissioner Onken said the material indicated was a very cheap version of Hardee siding and was not appropriate for El Camino Real. He asked about the terra cotta panels noting it appeared like a stage set. He asked where the mechanical equipment was. Mr. Iyer said it would be on the third floor and terraces facing Alta Lane. Commissioner Onken suggested showing that and that it was screened off. Mr. Iyer said that for the next materials board they would exchange Hardee siding for lapped siding.

Commissioner Kahle said there were four materials noted and suggested rather than three accent materials to have only two accents for a total of three materials. He said the site was challenging as it was very prominent and whatever was there would be very visible. He encouraged the applicants to take the Commission's suggestions and use all their creativity to address complex conditions noting that flat roofs were needed for the amount of balconies proposed. He said perhaps that might not be the right solution.

Commissioner Riggs said 1300 El Camino Real and 500 El Camino Real were Specific Plan projects but those were not modern architecture noting Spanish influence for one and more traditional for the other project. He said there was another approach and they could do much better than what was proposed.

Commissioner Kahle confirmed with staff that the project was a base level project.

Commissioner Combs said he agreed with the comments made. He said they were excited about the project in general and something new on that site. He said they wanted to be encouraging and

helpful with the process. He said the Commission has legitimate concerns about the design and the quality of materials.

Mr. Pancholy thanked the Commission for its input. He said they wanted their project to look nice and to add to El Camino Real. He was not sure what the design should be and expressed his interest in finalizing the design.

Commissioner Barnes asked if they had considered going into bonus. Mr. Pancholy said their original design was bonus plan but they could not accommodate a below market rate unit.

Commissioner Kahle said he was an architect but did not do commercial work. He wondered if the design staff was up to the project scale.

Mr. Ayers (Name?) said he has been in business almost 30 years and 90% of his projects throughout the Bay area had been commercial noting he mainly does hospitality work. He said he was struggling with what the Specific Plan required and the layout the owners wanted.

As a study session, no group action was made, but Commissioners made individual comments for the consideration of staff and the applicant, including the following:

- General support for the proposed uses and basic site layout (parking in back, mass at front)
- Significant concern with quality and interaction of materials; Hardie siding is a particular issue
- Concern with the height and prominence of Harvard Avenue stair/elevator tower; recommend lowering this element, or replacing it with an exterior stair/ladder at the upper level, if that would be unobtrusive
- Encouragement to look at whether the second stair is necessary from a code perspective, and to remove it if it is not required
- Consider setting the El Camino Real commercial space entrances within the recessed areas
- Concern with the size of the residential terraces as these could create privacy issues for residences across Alto Lane, and the covered terraces on the second floor would also limit natural light into those units
- Consider the proposed Middle Plaza (500 El Camino Real) project across the street and this project's relationship to it
- Potentially rethink the interior floor plans for the residential levels
- Nearby buildings with slate materials may not be good examples
- Project could potentially benefit from a "restart"
- Tinted glass on upper levels could be an issue
- On the orange terracotta elements, the area above the windows looks odd/out-of-proportion;
- Where materials turn a corner and then end abruptly, it creates a thin, "stage set" feel;
- Encouragement to look at other designs in the area (Station 1300, Middle Plaza, 389 El Camino Real), for how they use more traditional styles in modern massings

H. Regular Business

- H1. Selection of Planning Commission Chair and Vice Chair for May 2017 through April 2018 ([Staff Report #16-029-PC](#))

ACTION: Motion and second (Strehl/Barnes) to select Andrew Combs as Chair; passes 6-0, with Commissioner Goodhue absent.

ACTION: Motion and second (Onken/Combs) to select Larry Kahle as Vice Chair; passes 6-0 with Commissioner Goodhue absent.

I. Informational Items

I1. Future Planning Commission Meeting Schedule

- Regular Meeting: May 22, 2017

Principal Planner Rogers said at the May 22, 2017 meeting the 405 Oak Court project will return to the Planning Commission and a study session on a proposed expansion to the Facebook campus.

- Regular Meeting: June 5, 2017
- Regular Meeting: June 19, 2017

J. Adjournment

Chair Strehl adjourned the meeting at 10:10 p.m.

Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett



STAFF REPORT

Planning Commission

Meeting Date: 6/5/2017
Staff Report Number: 17-035-PC

Public Hearing: Use Permit/Justin & Amy Kurpius/1151 Westfield Drive

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to demolish an existing single-story, single-family house and build a new two-story, single-family residence with a basement on a substandard lot with regard to lot width in the R-1-S (Single-Family Suburban Residential) zoning district, at 1151 Westfield Drive. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at 1151 Westfield Drive, located at the corner of Westfield Drive and Windsor Drive, near Middle Avenue. A location map is included as Attachment B. The parcel is immediately surrounded by other R-1-S zoned properties including the First Baptist Church at 1100 Middle Avenue, and is close to Jack W. Lyle Park (P-F, Public Facilities zoning district). Some properties farther north of the subject site are in the R-3 (Apartment) zoning district. There is a mix of one and two-story single-family residences, which feature varied architectural styles, including ranch and craftsman style homes.

Analysis

Project description

The applicant is proposing to demolish an existing single-story, single-family residence, two sheds, and a deck to construct a new two-story, six-bedroom residence with an attached two-car garage and a new basement. All of the basement lightwells would adhere to the main building setbacks, so use permit approval of excavation in yards would not be required.

The house is proposed to be 27 feet, 9 inches in height, below the maximum permissible height of 28 feet, and the proposed structure would comply with daylight plane requirements. Although the new house would be located at the front setback, the second floor would be inset approximately 24 feet, 6 inches from the front property line, the second floor setback from the rear property line would be approximately 57 feet,

and the interior side setback for the second floor would be 13 feet. Porches would add to the building coverage total, at 26.1 percent where 35 percent is permitted. An existing shed on the rear neighbor's property, which extends slightly across the property line, would be left as is, and the fence would be adjusted to accommodate the shed.

A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

Design and materials

The new home would be constructed in a modern farmhouse style, with two front gables. One of the gables would include a standing seam metal roof, and the other would have a shingle roof with rafter tails. The first floor facade would feature painted horizontal wood siding, a standing seam metal roof, and clad windows with true simulated divided lites. The second floor exterior would include painted vertical board siding, a cedar shingle roof and true simulated divided lite windows. The proposed porches, and the rear covered patio would feature square wood posts. Lightwells with metal guardrails would be located adjacent to the front porch, the family room at the Westfield Drive side of the residence, and at the interior side yard. Staff believes the proposed exterior materials would create visual interest to the residence.

The entire second floor would be inset from the perimeter of the main floor, which would minimize the massing of the home. A wood garage door is proposed for the two-car garage, and would be compatible with the style of the wood front and side doors. Staff believes that the scale, materials, and design of the proposed residence would be consistent with the neighborhood's mix of architectural styles.

Trees and landscaping

There are a total of 10 trees on and near the subject property, eight of which are heritage trees. There are six trees in the City's right-of-way; only three trees are actually located on the subject property. One non-heritage size Japanese maple (tree #3) is proposed for removal. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of these trees. The arborist report suggests the removal of the heritage camphor (tree #4), although this is not being pursued at this time. The City Arborist has reviewed the report and has required that the proposed driveway be at least seven feet away from the trunks of trees #1 and #2 (heritage size liquidambar) to avoid damaging significant roots. This revision has been incorporated into the project plans and arborist report. The proposed project is not anticipated to adversely affect any of the heritage trees, as tree protection measures will be ensured through standard condition 3g. New wood fencing would comply with relevant height limits. In particular, the fencing at the corner would not exceed three feet in height, in order to preserve visibility.

Correspondence

Staff has not received any items of correspondence on the proposed project. The applicant states in the project description letter that they have done personal outreach and have received positive feedback, although this has not been independently verified by staff.

Conclusion

Staff believes the scale, materials, and style of the proposed residence are compatible with the neighborhood. The design would set the second floor back from the first floor of the proposed residence, helping reduce the perception of mass and bulk. Design elements such as the front entry and the varied exterior materials would add visual interest to the project. Heritage trees would be protected, as specified in the arborist report. The recommended tree protection measures would help minimize impacts on nearby heritage trees. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

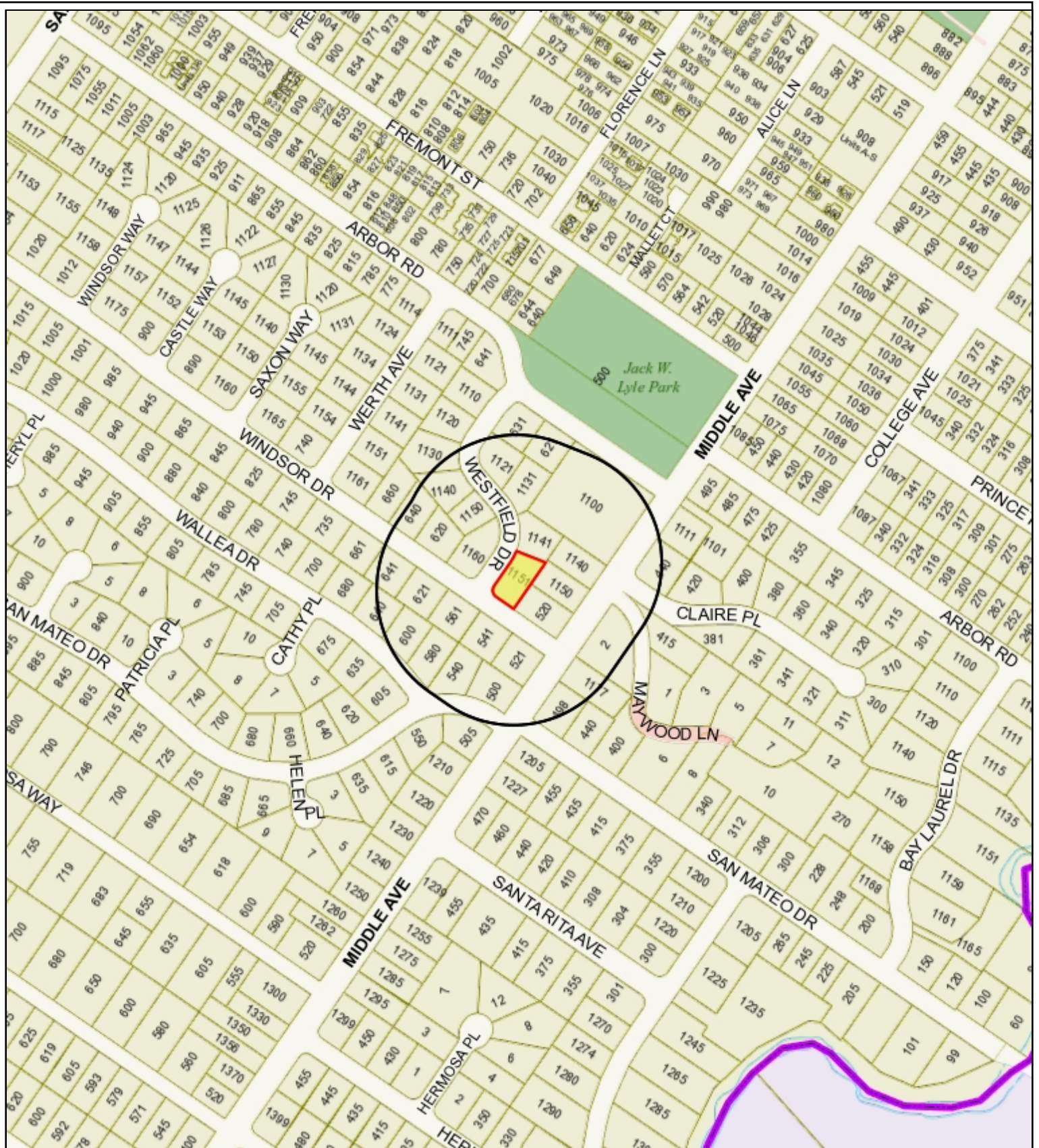
None

Report prepared by:
Michele T. Morris, Assistant Planner

Report reviewed by:
Thomas Rogers, Principal Planner

1151 Westfield Drive – Attachment A: Recommended Actions

LOCATION: 1151 Westfield Drive	PROJECT NUMBER: PLN2017-00019	APPLICANT: Justin & Amy Kurpius	OWNER: Justin & Amy Kurpius
REQUEST: Request for a use permit to demolish an existing single-story single-family residence and construct a new two-story single-family residence on a substandard lot with respect to lot width in the R-1-S (Single Family Residential Suburban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: June 5, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following <i>standard</i> conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Schwanke Architecture consisting of 18 plan sheets, dated received May 24, 2017, and approved by the Planning Commission on June 5, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 			

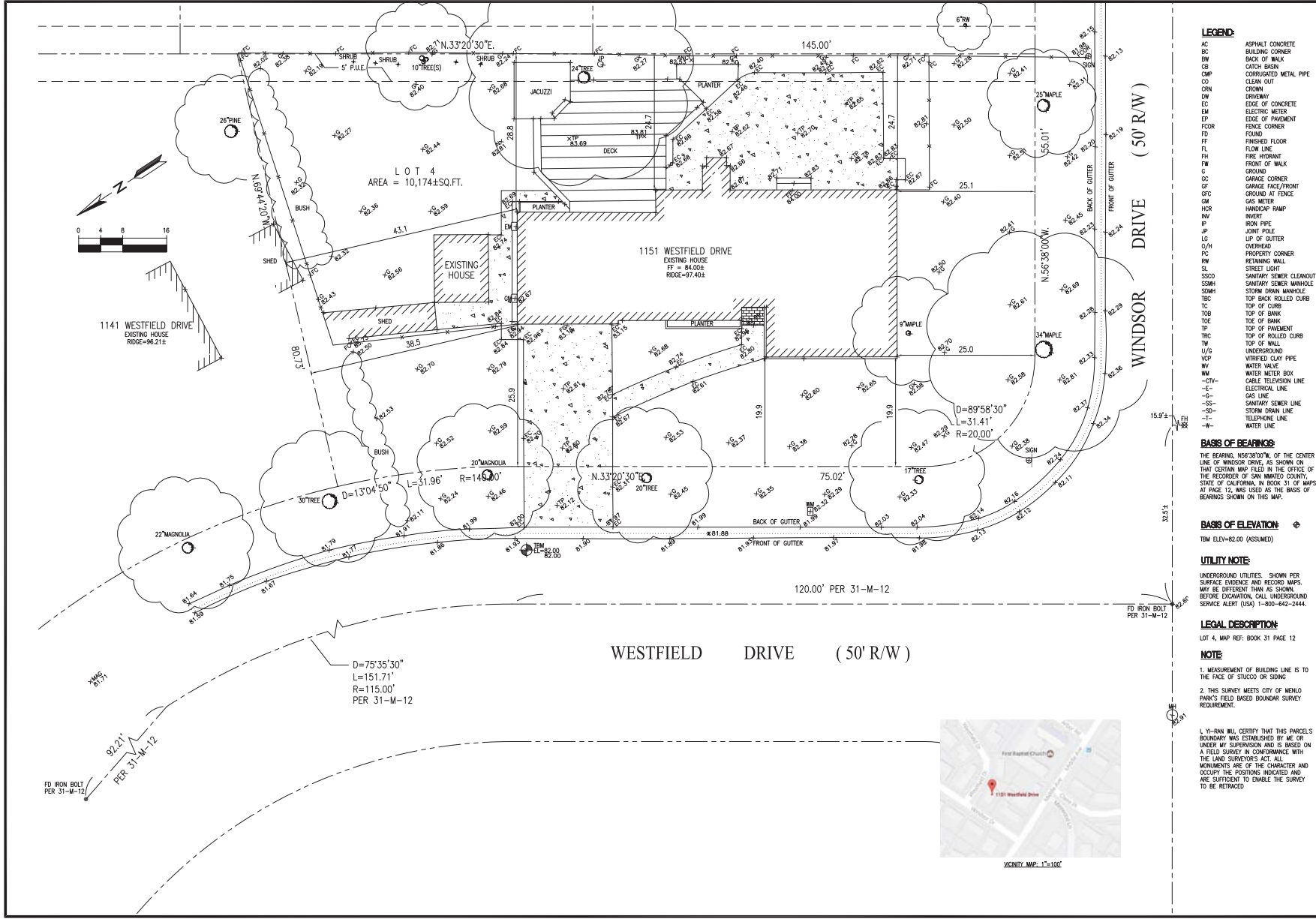


City of Menlo Park
 Location Map
 1151 WESTFIELD DRIVE



	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	10,169 sf	10,169 sf	10,000 sf min.
Lot width	75 ft.	75 ft.	80 ft. min.
Lot depth	133.8 ft.	133.8 ft.	100 ft. min.
Setbacks			
Front	20 ft.	25 ft.	20 ft. min.
Rear	31 ft.	38.5 ft.	20 ft. min.
Street Side (left)	12 ft.	19.9 ft.	12 ft. min.
Side (right)	10 ft.	18.9 ft.	10 ft. min.
Building coverage	2,655.2 sf 26.1 %	1,920 sf 18.9 %	3,559.2 sf max. 35 % max.
FAL (Floor Area Limit)	3,578.1 sf	1,920 sf	3,592.3 sf max.
Square footage by floor	1,830.8 basement 1,817.3 sf/1 st 1,319.8 sf/2 nd 441 sf/garage 396.9 sf/porches	1,347 sf/1 st 372 sf/garage 201 sf/sheds	
Square footage of building	5805.3 sf	1,920 sf	
Building height	27.7 ft.	15 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Trees	Heritage trees 8	Non-Heritage trees 2	New Trees 0
	Heritage trees proposed for removal 0	Non-Heritage trees proposed for removal 1	Total Number of Trees 9*

* Two trees are on an adjacent property.



- LEGEND:**
- AC ASPHALT CONCRETE
 - BC BUILDING CORNER
 - BW BACK OF WALK
 - OB CATCH BASIN
 - CMP CORRUGATED METAL PIPE
 - CO CLEAN OUT
 - DN DRAIN
 - DM DRIVEWAY
 - EC EDGE OF CONCRETE
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - FC FENCE CORNER
 - FOOR FOUND
 - FT FINISHED FLOOR
 - FL FLOW LINE
 - FM FIRE MANSARD
 - FW FRONT OF WALK
 - G GRADING
 - GC GARAGE CORNER
 - GF GARAGE FACE/FRONT
 - GM GROUND AT FENCE
 - GM GAS METER
 - HCR HANDICAP RAMP
 - HW HOLE
 - IP IRON PIPE
 - JP JOINT POLE
 - LG UP OF GUTTER
 - O/H OVERHEAD
 - PC PROPERTY CORNER
 - RW RETAINING WALL
 - SL SHELTER LIGHT
 - SSOO SANITARY SEWER CLEANOOUT
 - SSMH SANITARY SEWER MANHOLE
 - SSMH STORM DRAIN MANHOLE
 - TBC TOP BACK ROLLED CURB
 - TC TOP OF CURB
 - TOB TOP OF BANK
 - TOE TOE OF BANK
 - TP TOP OF FINISMENT
 - TRC TOP OF ROLLED CURB
 - TW TOP OF WALL
 - U/G UNDERGROUND
 - VCP VITRIFIED CLAY PIPE
 - WV WATER VALVE
 - WM WATER METER BOX
 - CIV- CABLE TELEVISION LINE
 - E- ELECTRICAL LINE
 - G- GAS LINE
 - SS- SANITARY SEWER LINE
 - SD- STORM DRAIN LINE
 - T- TELEPHONE LINE
 - W- WATER LINE

BASES OF BEARINGS
 THE BEARING, NS6°38'00"W, OF THE CENTER LINE OF WINDSOR DRIVE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, IN BOOK 31 OF MAPS AT PAGE 12, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASES OF ELEVATION
 TBM ELEV=82.00 (ASSUMED)

UTILITY NOTE:
 UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

LEGAL DESCRIPTION
 LOT 4, MAP REF: BOOK 31 PAGE 12

NOTE:
 1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING
 2. THIS SURVEY MEETS CITY OF MENLO PARK'S FIELD BASED BOUNDARY SURVEY REQUIREMENT.

I, YI-RAN WU, CERTIFY THAT THIS PARCELS BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYORS ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO EMBLE THE SURVEY TO BE RETRACED



NEW RESIDENCE

1151 WESTFIELD DRIVE
 MENLO PARK, CA
 APN: 071-263-070

WEC & ASSOCIATES

2625 MIDDLEFIELD RD #658
 PALO ALTO, CA 94306
 TEL: (650) 823-6466
 FAX: (650) 887-1294



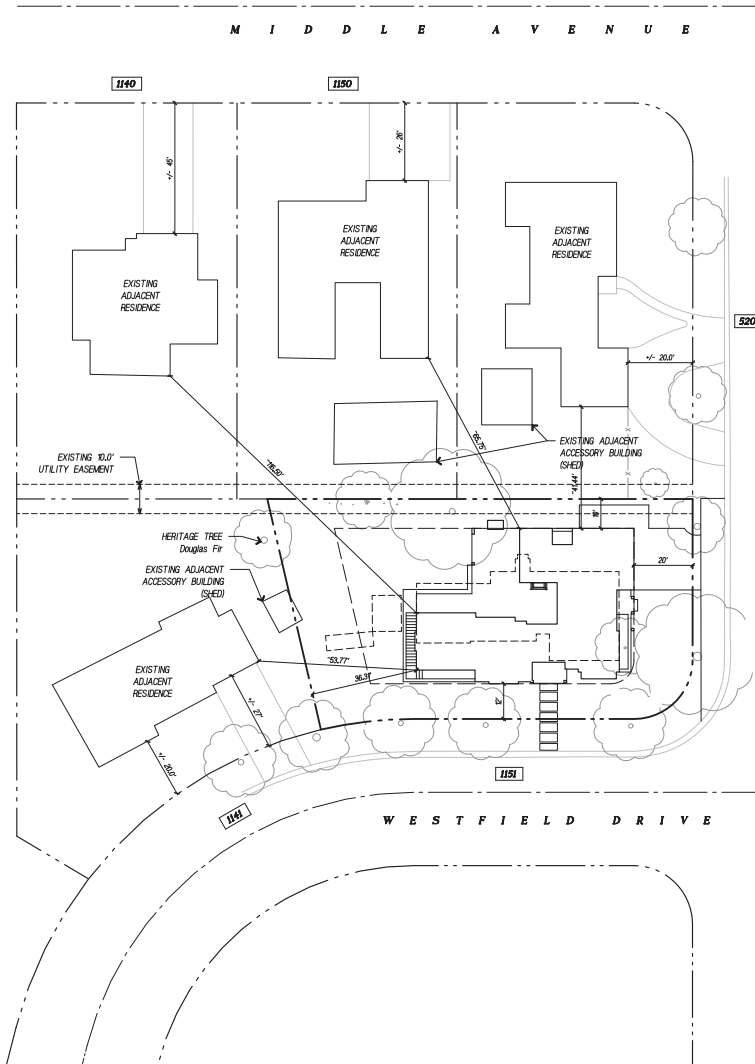
ISSUED

No.	Description	Date

DATE: DEC 23, 2016
 SCALE: 1/8"=1'-0"
 DRAWN: BG
 JOB: 10078

SHEET TITLE:
BOUNDARY & TOPOGRAPHIC SURVEY

SHEET NO.
C.0



W I N D S O R D R I V E

AREA SITE PLAN



75 ARBOR ROAD
MENLO PARK
CALIFORNIA
94025-5350
(650) 321-4348
stere@schwanke.com



1151 WESTFIELD DR.
MENLO PARK
CALIFORNIA 94025
A.P.N.: 071-265-070

Kurpius Residence
NEW RESIDENCE

RE:	DATE:
PRELIM:	02/21/2017
PLNG:	04/07/2017

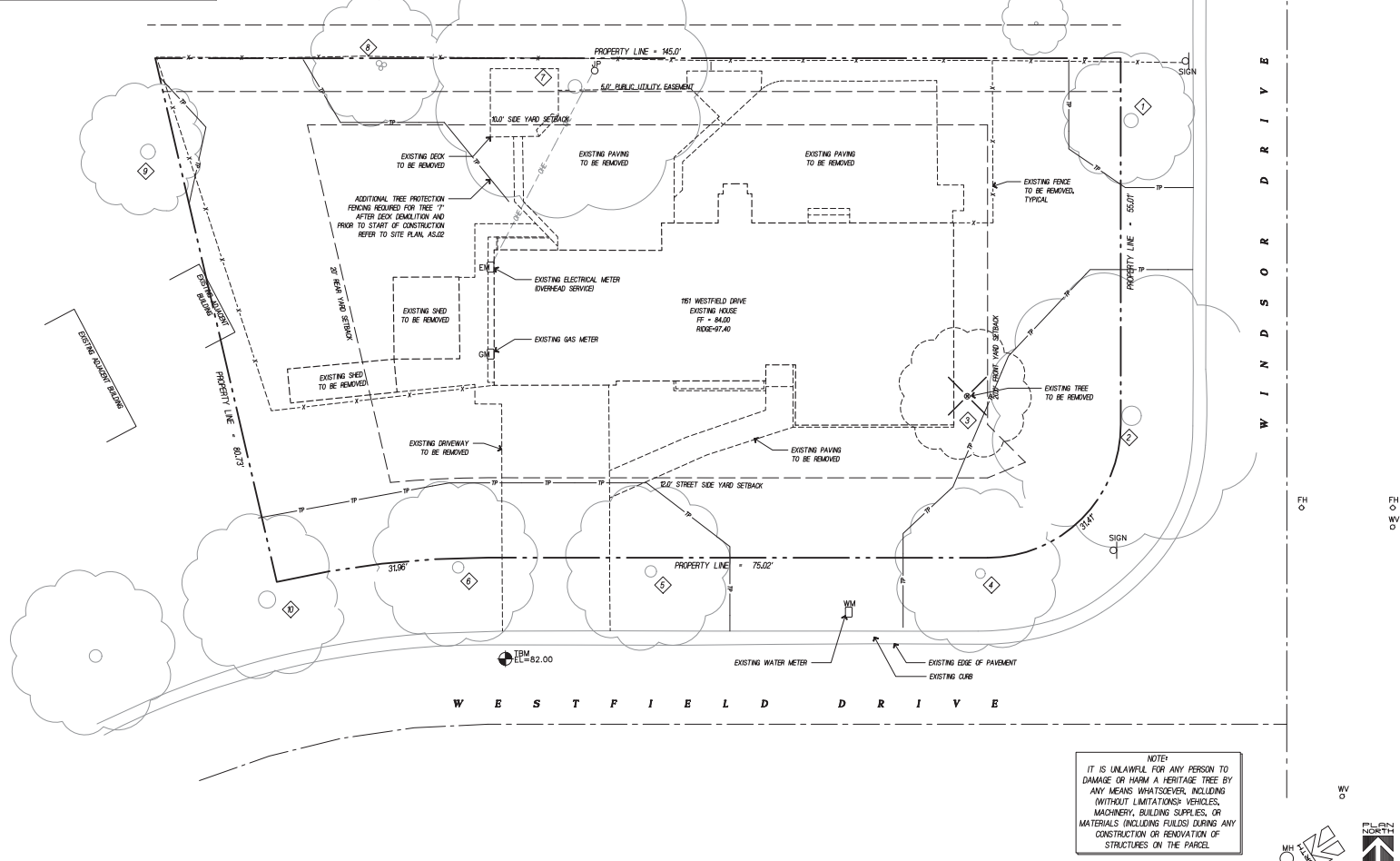
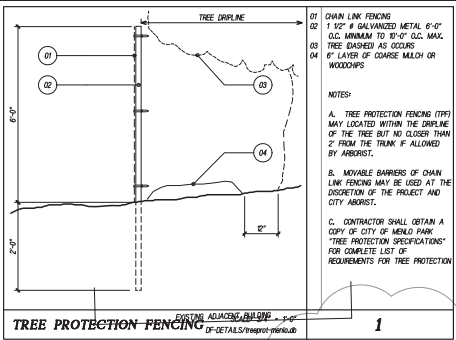
SCALE: 1" = 20.0'
FILE: kurpius-trv.dwg
PLAN:

Area Site Plan
AS.00

TREE SCHEDULE

TREE NUMBER	SPECIES	SIZE	REMOVE	RETAIN	PROTECT	NOTES
1	Liquidambar	25.7"		X	X	
2	Liquidambar	32.5"		X	X	
3	Japanese maple	8.4"	X			
4	Campylo	16.8"		X	X	
5	Campylo	20.1"		X	X	
6	Campylo	20.8"		X	X	
7	Chamaecyparis	23.8"		X	X	
8	Pinus	16.3"		X	X	
9	Douglas fir	36"		X	X	Neighbor Tree
10	English walnut	12"		X	X	Neighbor Tree

NOTES:
 A. TREE SCHEDULE BASED ON Utility Arborist Services, January 9, 2017.
 B. REFER TO ARBORIST REPORT FOR INFORMATION REGARDING PROTECTION, PRUNING, AND MAINTENANCE OF TREES DURING CONSTRUCTION.
 C. MONUMENTAL TREES MARKED AS "RETAIN" AND "PROTECT" MAY NOT BE REMOVED WITHOUT A TREE REMOVAL PERMIT FROM THE COMMUNITY DEVELOPMENT DIRECTOR.



NOTE:
 IT IS UNLAWFUL FOR ANY PERSON TO DAMAGE OR HARM A HERITAGE TREE BY ANY MEANS WHATSOEVER, INCLUDING (WITHOUT LIMITATIONS) VEHICLES, MACHINERY, BUILDING SUPPLIES, OR MATERIALS (INCLUDING FUELS) DURING ANY CONSTRUCTION OR RENOVATION OF STRUCTURES ON THE PARCEL.

SITE LEGEND

- X- 6'-0" WOOD PENETRATION FENCE
- TP- TREE PROTECTION FENCING PER MENLO PARK CITY STANDARDS - TO REMAIN FOR DURATION OF CONSTRUCTION - REFER TO DETAILS VAS02
- WM WATER METER - VERIFY EXISTING SIZE WITH CITY OF MENLO PARK
- SS02 SANITARY SEWER CLEANOUT
- OE- EXISTING OVERHEAD ELECTRICAL TO BE REMOVED
- ◇ TREE NUMBER - REFER TO TREE SCHEDULE

NOISE LEVEL RESTRICTIONS

THE WORK HOURS ARE REGULATED BY NOISE LEVELS CREATED DURING CONSTRUCTION.
 THE MAXIMUM NOISE LEVELS ALLOWED ARE ESTABLISHED IN THE CITY OF MENLO PARK MUNICIPAL CODE, CHAPTER "608 NOISE".

A. ANY AND ALL EXCESSIVELY ANNOYING, LOUD, OR UNUSUAL NOISE OR VIBRATION AS SUCH TO OBTAIN THE PEACE AND QUIET OF PERSONS OF ORDINARY SENSIBILITIES AND WHICH INTERFERE WITH THE COMFORTABLE ENJOYMENT OF LIFE OR PROPERTY AND AFFECT AT THE SAME TIME AN ENTIRE NEIGHBORHOOD OR ANY CONSIDERABLE NUMBER OF PERSONS SHALL BE CONSIDERED A NOISE DISTURBANCE.

B. CONSTRUCTION ACTIVITIES:
 a) CONSTRUCTION ACTIVITIES ARE LIMITED TO THE HOURS OF 8:00 A.M. AND SIX (6) P.M. MONDAY THROUGH FRIDAY.
 b) CONSTRUCTION ACTIVITIES BY RESIDENTS AND PROPERTY OWNERS PERSONALLY UNDERTAKING CONSTRUCTION ACTIVITIES TO MAINTAIN OR IMPROVE THEIR PROPERTY ARE ALLOWED ON SATURDAYS, SUNDAYS, AND HOLIDAYS BETWEEN THE HOURS OF 10:00 A.M. AND FIVE (5) P.M.
 c) A SIGN CONTAINING THE PERMITTED HOURS OF CONSTRUCTION ACTIVITIES EXCEEDING THE NOISE LIMITS SET FORTH IN SECTION 608.030, SHALL BE POSTED AT ALL ENTRANCES TO A CONSTRUCTION SITE UPON THE COMMENCEMENT OF CONSTRUCTION, FOR THE PURPOSE OF INFORMING CONTRACTORS, SUB-CONTRACTORS, AND ALL OTHER PERSONS AT THE CONSTRUCTION SITE OF THE BASIC REQUIREMENTS OF THIS CHAPTER. THE SIGN SHALL BE AT LEAST FIVE (5) FEET ABOVE GROUND LEVEL AND SHALL CONSIST OF A WHITE BACKGROUND WITH BLACK LETTERS.
 d) NOTWITHSTANDING ANY OTHER PROVISION SET FORTH ABOVE, ALL POWERED EQUIPMENT SHALL COMPLY WITH THE LIMITS SET FORTH IN SECTION 608.030.

75 ARBOR ROAD
 MENLO PARK,
 CALIFORNIA
 94025-5350
 (650) 321-4348
 steve@schwanke.com

SCHWANKE
 ARCHITECTURE



1151 WESTFIELD DR.
 MENLO PARK
 CALIFORNIA 94025
 A.P.N.: 071-265-070

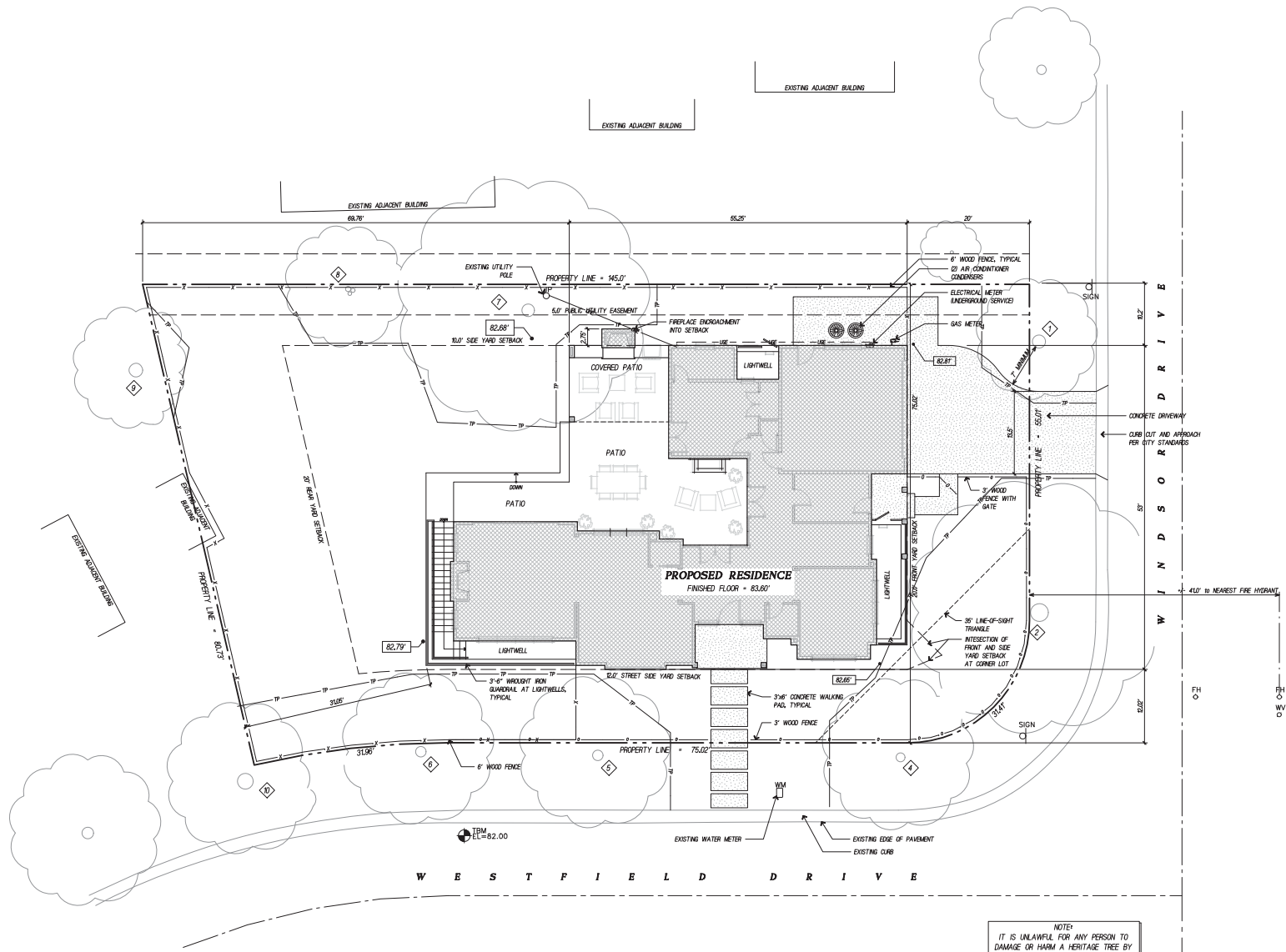
Kurpius Residence
 NEW RESIDENCE

REV:	DATE:
PRELIM	02/21/2017
PLNG	04/07/2017

SCALE: 1/8" = 1'-0"
 FILE: kurpius-McJb
 PLAN:

Demolition Site Plan
 AS.01

DEMOLITION SITE PLAN - 1151 WESTFIELD DR.



AVERAGE NATURAL GRADE = 82.73'

SITE NOTES

- A. AIR CONDITIONING CONDENSER SHALL COMPLY WITH MENDO PARK NOISE ORDINANCES 50 DB MAXIMUM "DWTIME" HOURS 60 DB MAXIMUM "DWTIME" HOURS

SITE LEGEND

- X - 6'-0" WOOD PERIMETER FENCE
- TP - TREE PROTECTION FENCING PER MENDO PARK CITY STANDARDS - TO REMAIN FOR DURATION OF CONSTRUCTION - REFER TO DETAIL VAS01
- WM - WATER METER - VERIFY EXISTING SIZE WITH CITY OF MENDO PARK
- SS02 - SANITARY SEWER CLEANOUT
- OE - EXISTING OVERHEAD ELECTRICAL TO BE REMOVED
- D - TREE NUMBER - REFER TO TREE SCHEDULE

SITE ANALYSIS

REFER TO AS03 FOR DEVELOPMENT DATA SHEET
 ADDRESS: 1151 WESTFIELD DRIVE
 ACCESSOR'S PARCEL NUMBER: 071-263-070
 ZONE: R-1-S
 SITE AREA: 10,169 S.F.
 ALLOWABLE COVERAGE (CSD): 3,559 S.F.
 F.A.L.1: 3,592 S.F.
 SECOND FLOOR F.A.L.1: 1,796 S.F.
 MAXIMUM BUILDING HEIGHT: 28'-0"
 DAYLIGHT PLANE: 45° at 19'-6"

PROPOSED	RE:	DATE:
COVERAGE: 2,855 S.F. (26.1%)	PRELIM	02/21/2017
AREAS:	PLNG	04/07/2017
LOWER FLOOR: 2,258 S.F.		
UPPER FLOOR: 1,320 S.F.		
TOTAL: 3,578 S.F.		
BASEMENT: 1820 S.F.		
STRUCTURE COVERAGE: 26%		
PAVING COVERAGE: 9%		
LANDSCAPE COVERAGE: 65%		
PARKING SPACES: 2 COVERED		
ALL GRADES TO REMAIN NATURAL		

NOTE:
 IT IS UNLAWFUL FOR ANY PERSON TO DAMAGE OR HARM A HERITAGE TREE BY ANY MEANS WHATSOEVER, INCLUDING (WITHOUT LIMITATIONS) VEHICLES, MACHINERY, BUILDING SUPPLIES, OR MATERIALS (INCLUDING FUELS) DURING ANY CONSTRUCTION OR RENOVATION OF STRUCTURES ON THE PARCEL.

SITE PLAN - 1151 WESTFIELD DR.

75 ARBOR ROAD
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 steve@schwanke.com

SCHWANKE
 ARCHITECTURE

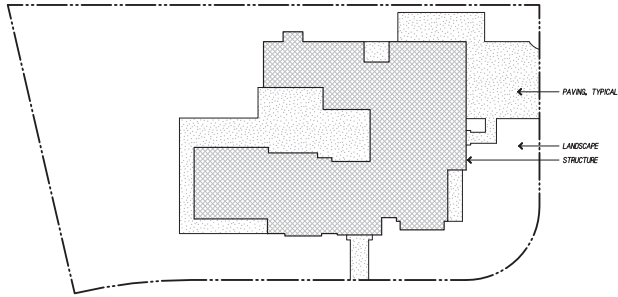
STATE OF CALIFORNIA
 Steven A. Schwanke
 License No. 1217
 LAND SURVEYOR

1151 WESTFIELD DR.
 MENLO PARK, CALIFORNIA 94025
 A.P.N.: 071-263-070

Kurpius Residence
 NEW RESIDENCE

Site Plan

AS.02



SITE PLAN AREA:
 STRUCTURE COVERAGE: 2652.83 S.F. (26.08%)
 PAVING COVERAGE: 809.45 S.F. (8.56%)
 LANDSCAPE COVERAGE: 6647.52 S.F. (65.37%)

UPPER FLOOR AREA:

HABITABLE AREA:
 U1 10.58' x 1.50' = 15.75 S.F.
 U2 29.42' x 14.33' = 421.59 S.F.
 U3 4.25' x 8.50' = 36.13 S.F.
 U4 14.00' x 12.83' = 179.62 S.F.
 U5 5.83' x 7.04' = 41.04 S.F.
 U6 1.33' x 14.00' = 18.62 S.F.
 U7 17.42' x 25.63' = 446.48 S.F.
 U8 11.25' x 13.50' = 151.88 S.F.
 U9 14.33' x 8.50' = 121.77 S.F.
 U10 8.83' x 1.17' = 8.97 S.F.

TOTAL UPPER FLOOR AREA: 1319.79 S.F.

NO ATTICS OVER 5' OR CEILINGS OVER 2'

LOWER FLOOR AREA:

HABITABLE AREA:
 L1 16.21' x 6.50' = 105.37 S.F.
 L1a 20.25' x 6.50' = 131.63 S.F.
 L1b 20.25' x 6.50' = 131.63 S.F.
 L2 18.00' x 6.67' = 119.99 S.F.
 L3 19.50' x 4.00' = 78.00 S.F.
 L4 13.42' x 16.67' = 223.71 S.F.
 L5 13.42' x 1.33' = 17.85 S.F.
 L6 2.89' x 16.67' = 48.14 S.F.
 L7 1.00' x 15.6' = 15.60 S.F.
 L8 12.00' x 2.33' = 27.96 S.F.
 L9 14.00' x 1.00' = 14.00 S.F.
 L10 16.50' x 2.33' = 38.45 S.F.
 L11 28.83' x 13.00' = 374.79 S.F.
 L12 8.83' x 16.67' = 147.14 S.F.
 L13 28.33' x 11.67' = 330.25 S.F.
 L14 5.17' x 2.50' = 12.93 S.F.
 L15 16.00' x 12.00' = 192.00 S.F.
 L16 11.17' x 5.54' = 61.88 S.F.

NON-HABITABLE AREA:
 G1 (GARAGE) 21.00' x 21.00' = 441.00 S.F.

TOTAL LOWER FLOOR AREA: 2258.34 S.F.

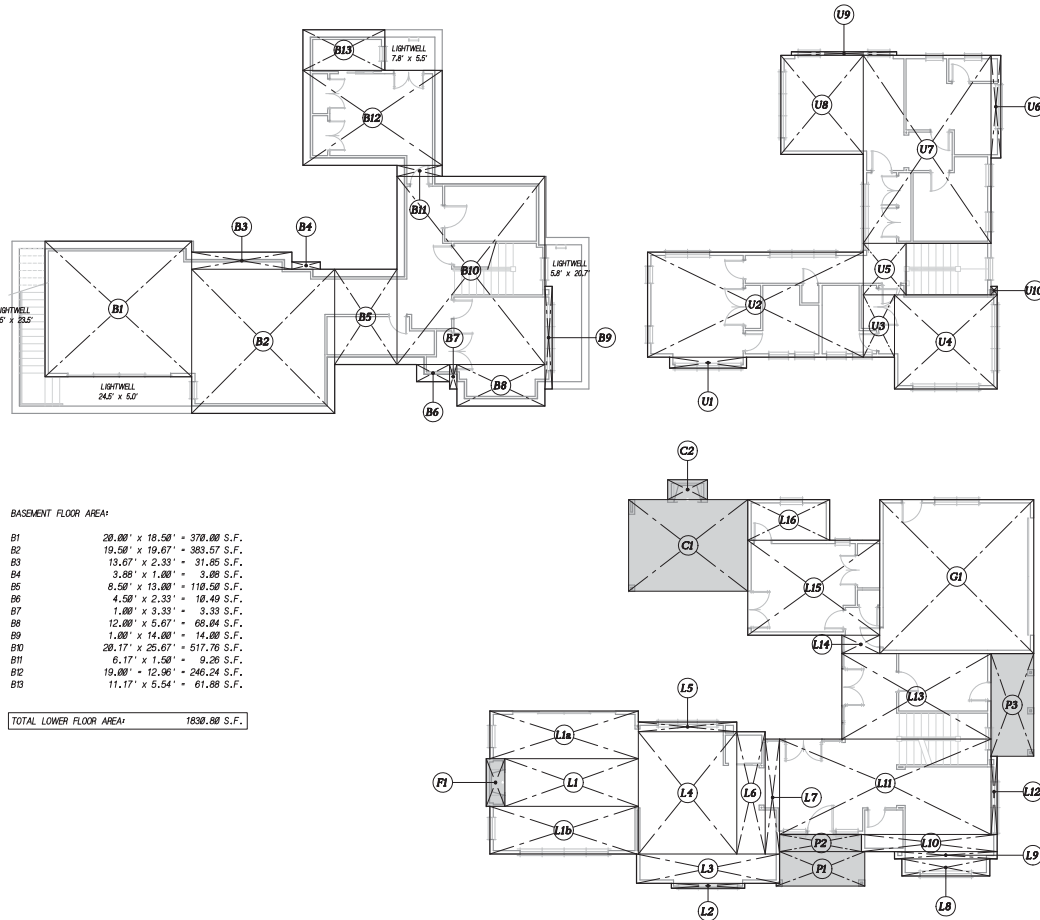
NO ATTICS OVER 5' OR CEILINGS OVER 2'

COVERED AREAS (SHADED):

P1 11.63' x 4.71' = 54.96 S.F.
 P2 11.17' x 2.33' = 26.03 S.F.
 P3 5.83' x 14.00' = 81.62 S.F.
 C1 16.50' x 12.50' = 206.25 S.F.
 C2 5.42' x 2.71' = 14.69 S.F.
 F1 2.54' x 6.50' = 16.51 S.F.

TOTAL ADDITIONAL COVERAGE AREA: 396.94 S.F.

TOTAL COVERAGE: 2655.28 S.F.



BASEMENT FLOOR AREA:

B1 28.00' x 18.58' = 518.24 S.F.
 B2 19.58' x 19.67' = 385.57 S.F.
 B3 13.67' x 2.33' = 31.85 S.F.
 B4 3.88' x 1.00' = 3.88 S.F.
 B5 8.50' x 13.00' = 110.50 S.F.
 B6 4.50' x 2.33' = 10.49 S.F.
 B7 1.00' x 3.33' = 3.33 S.F.
 B8 12.00' x 5.67' = 68.04 S.F.
 B9 1.00' x 14.00' = 14.00 S.F.
 B10 28.17' x 25.67' = 571.76 S.F.
 B11 6.17' x 1.50' = 9.26 S.F.
 B12 19.00' x 12.96' = 246.24 S.F.
 B13 11.17' x 5.54' = 61.88 S.F.

TOTAL LOWER FLOOR AREA: 1838.88 S.F.



COMMUNITY DEVELOPMENT DEPT.
 PLANNING DIVISION
 701 Laurel Street
 Menlo Park, CA 94025
 650.330.6702
 planning@menlopark.org
 www.menlopark.org

PLANNING DATA SHEET

Please provide the appropriate information pertaining to your application. It is important to complete the existing and proposed development items even if the existing structure is being demolished or if there is no specific zoning ordinance requirement.

LOCATION:	1151 WESTFIELD DRIVE	PROJECT NAME:	KURPIUS RESIDENCE
EXISTING USE:	SINGLE FAMILY RESIDENTIAL (R-3)	APPLICANT:	SCHWANKE ARCHITECTURE
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL (R-3)	PROPERTY OWNER(S):	KURPIUS, JUSTIN
ZONING:	R-1-6	APPLICATION(S):	USE PERMIT (see form CD-208-0000-001)
DEVELOPMENT STANDARDS			
PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE	
Lot area	10,163 sq ft	10,163 sq ft	10,163 sq ft
Lot width (existing non-conforming)	15.0 ft	15.0 ft	8.0 ft
Lot depth	136.0 ft	136.0 ft	100.0 ft
Setbacks			
Front (Windor Drive)	30.0 ft	25.0 ft	20.0 ft
Rear	31.05 ft	38.47 ft	20.0 ft
Side (street side of corner)	12.02 ft	15.91 ft	12.0 ft
Side (right)	10.0 ft	18.86 ft	10.0 ft
Building coverage	26.1 % 2,655 sq ft	18.6 % 1,856 sq ft	35.0 % 3,555 sq ft
FAR (Floor Area Ratio)**	% N/A	% N/A	% N/A
FAR (Floor Area Limit)**	3.5%	1.92%	3.5%
Square footage by floor			
below grade	1,831 sq ft	0 sq ft	
1st	1,811 sq ft	1,341 sq ft	
2nd	1,320 sq ft	0 sq ft	
garage	441 sq ft	349 sq ft	
accessory buildings	0 sq ft	209 sq ft	
other	0 sq ft	0 sq ft	
Square footage of buildings	5,403 sq ft	1,856 sq ft	
Building height	21.74 ft	14.97 ft	28.0 ft
Landscaping***	% N/A	% N/A	% N/A
Paving****	% N/A	% N/A	% N/A
Parking	2 COVERED spaces	2 COVERED spaces	N/A spaces
Define Basis for Parking (Example: 1 covered/1 uncovered per residential unit) 1 COVERED/1 UNCOVERED			
Trees	Number of existing Heritage trees	Number of existing non-Heritage trees	Number of new trees
	1	3	0
	Number of existing Heritage trees to be removed	Number of existing non-Heritage trees to be removed	Total number of trees
	0	1	3

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SCHWANKE
 ARCHITECTURE



1151 WESTFIELD DR.
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 CALIFORNIA 94025
 A.P.N.: 071-265-070

Kurpius Residence
 NEW RESIDENCE

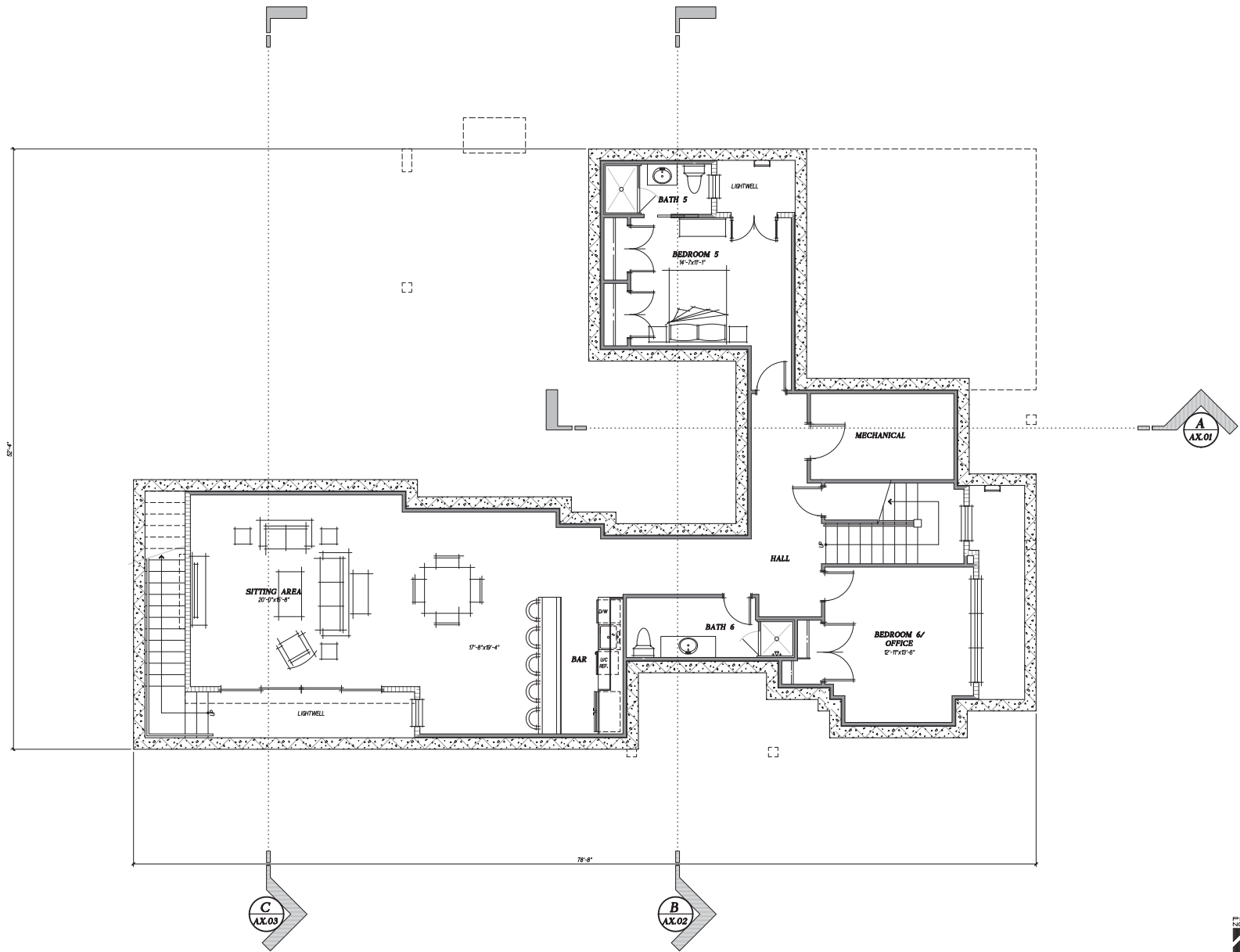
REV:	DATE:
PRELIM:	02/21/2017
PLNG:	04/07/2017
SCALE:	1/8" = 1'-0"
FILE:	kurpius-16.dwg
PLAN:	

Area Block Diagrams

AP.00

AREA BLOCK DIAGRAMS / PLANNING DEPARTMENT DATA SHEET





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SCHWANKE
 ARCHITECTURE



1151 WESTFIELD DR.
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 A.P.N.: 071-265-070

Kurpius Residence
 NEW RESIDENCE

RE:	DATE:
PRELIM	02/21/2017
PLNG	04/07/2017

SCALE: 1/4" = 1'-0"
 FILE: kurpius-b.dwg
 PLAN:

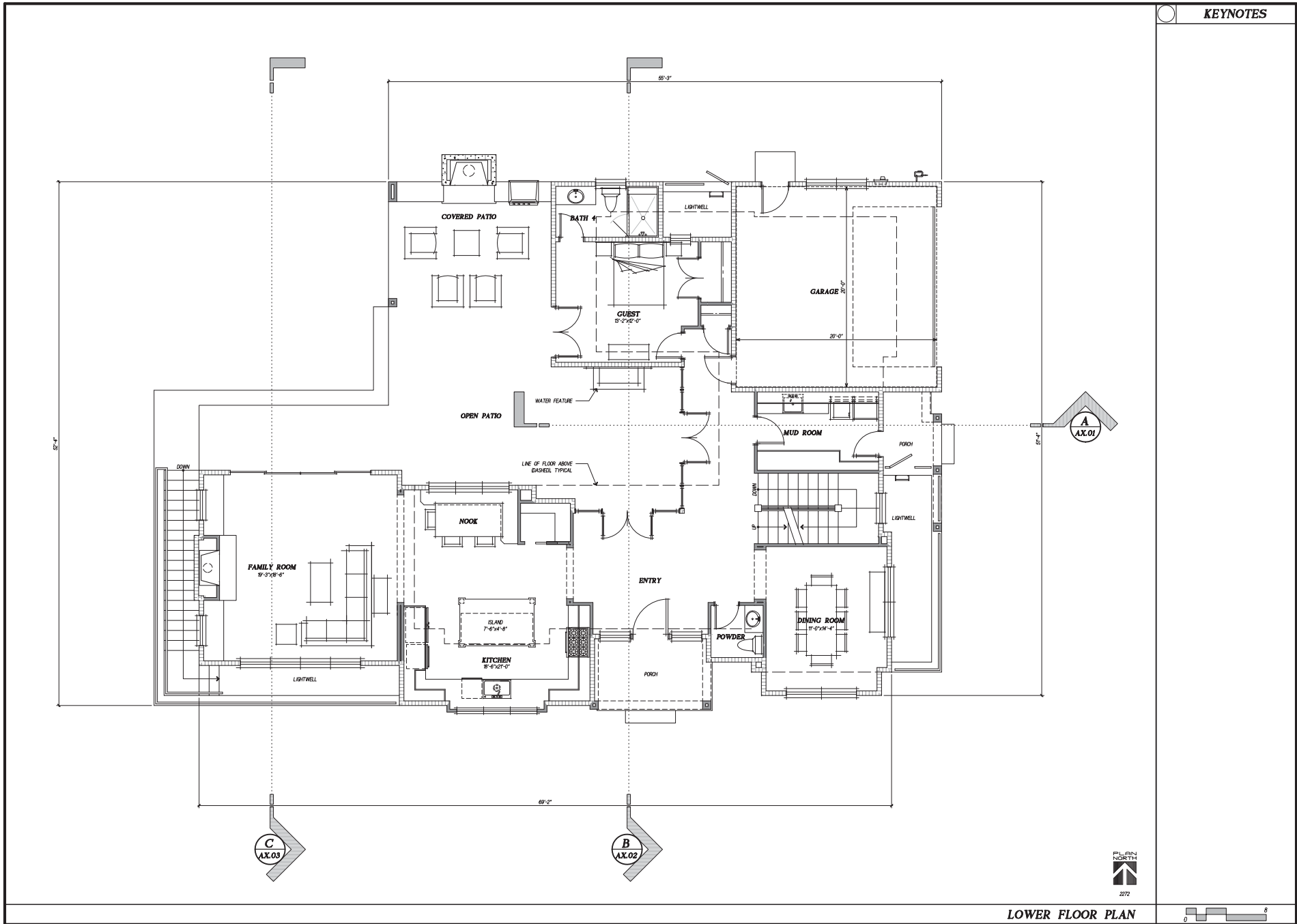
Basement Floor Plan

AP.02



BASEMENT FLOOR PLAN





KEYNOTES

75 ARBOR ROAD
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SCHWANKE
 ARCHITECTURE



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 A.P.N.: 071-265-070

Kurpius Residence
 NEW RESIDENCE

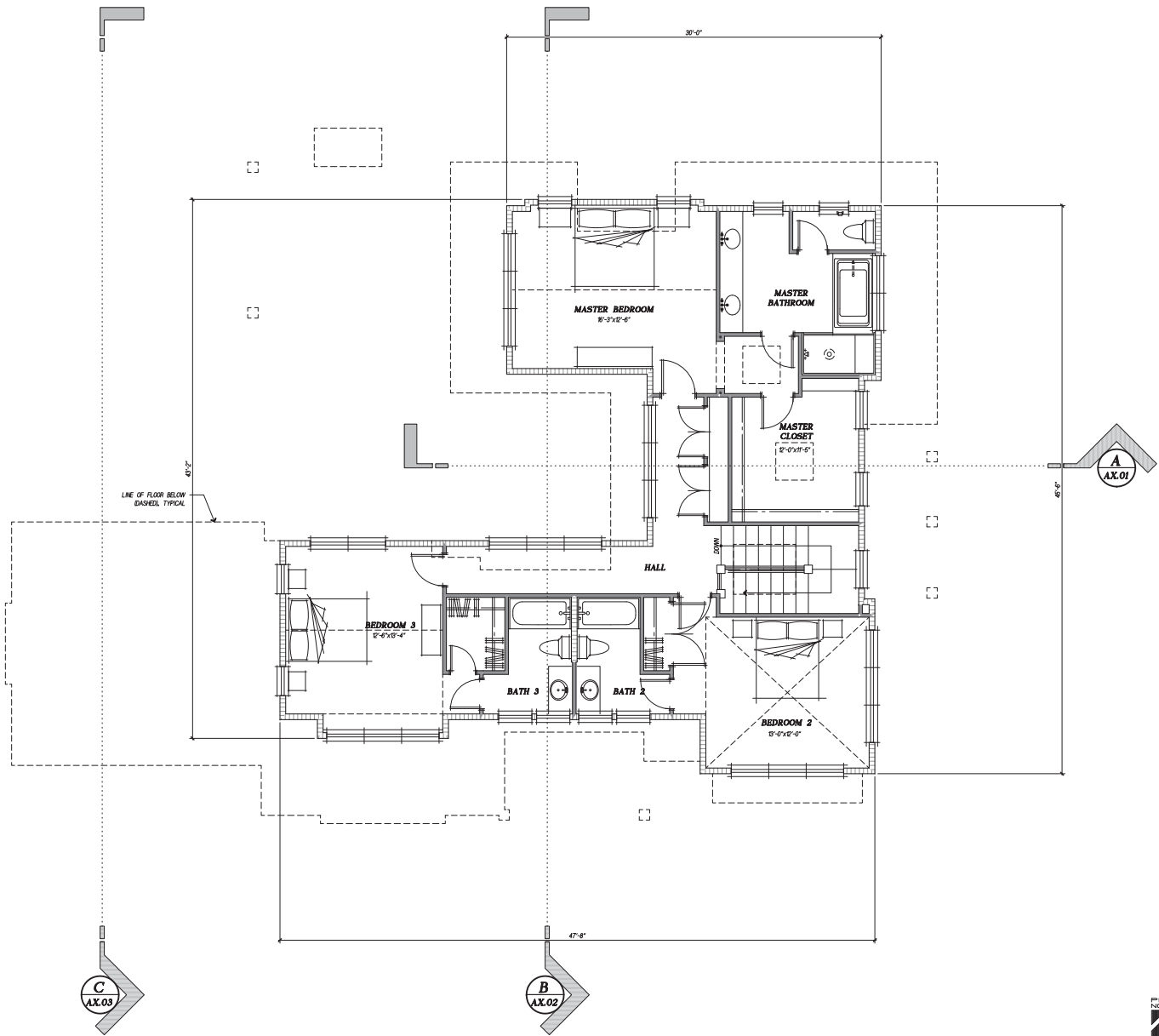
RE:	DATE:
PRELIM	02/21/2017
PLNG	04/07/2017

SCALE: 1/4" = 1'-0"
 FILE: kurpius-b.dwg
 PLAN:

Lower Floor Plan
 AP.03

LOWER FLOOR PLAN





C
AX.03

B
AX.02

A
AX.01



UPPER FLOOR PLAN



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SCHWANKE
ARCHITECTURE



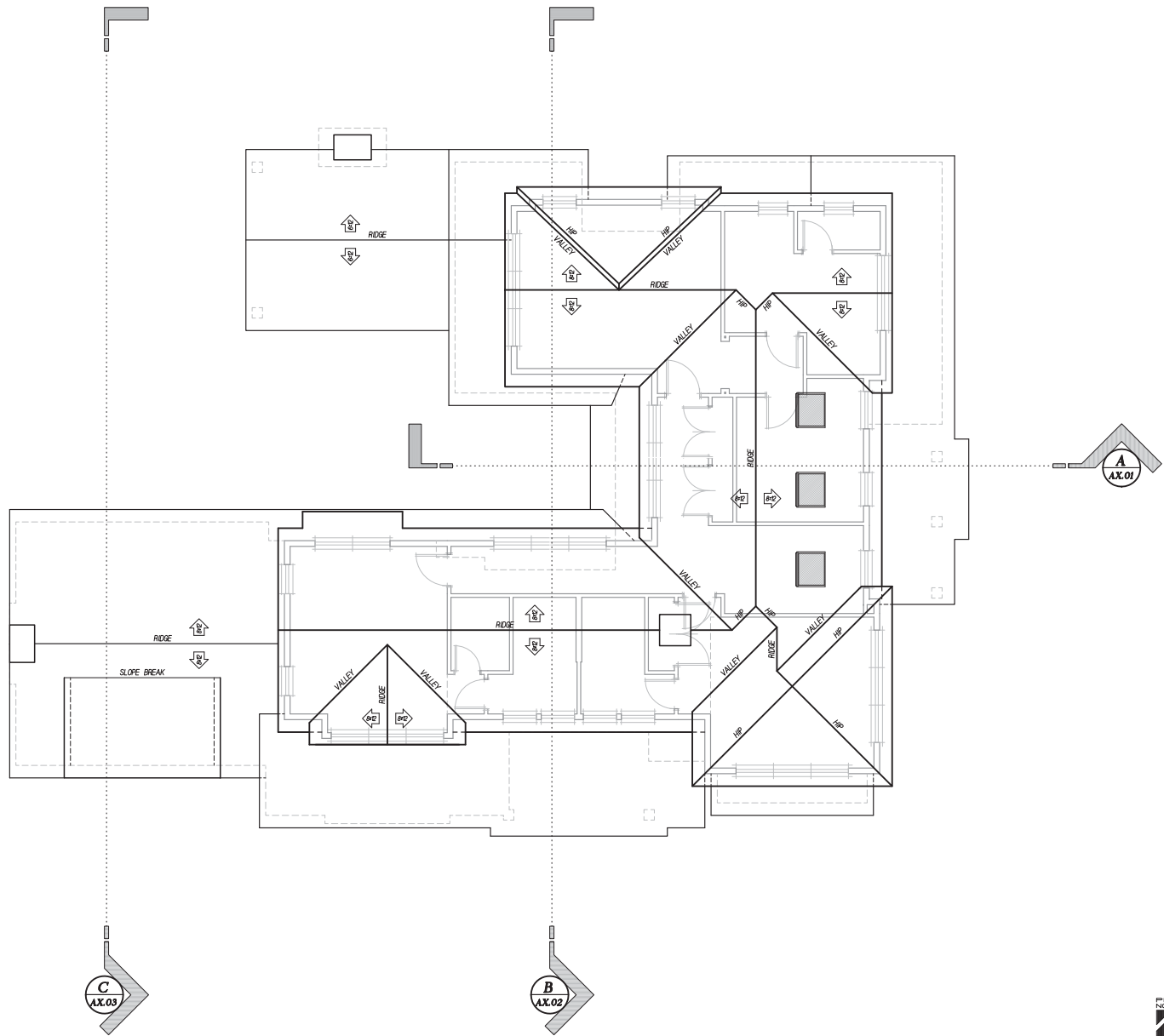
1151 WESTFIELD DR.
MENLO PARK CALIFORNIA 94025
A.P.N.: 071-265-070

Kurpius Residence
NEW RESIDENCE

REV:	DATE:
PRELIM	02/21/2017
PLNG	04/07/2017

SCALE: 1/4" = 1'-0"
FILE: kurpius-b.dwg
PLAN:

Upper Floor Plan
AP.04



KEYNOTES

ROOF PLAN



75 ARBOR ROAD
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 steve@schwank.com

SCHWANK
 ARCHITECTURE



151 WESTFIELD DR.
 MENLO PARK 94025
 CALIFORNIA
 A.P.N.: 071-263-070

Kurpius Residence
 NEW RESIDENCE

RE:	DATE:
PRELIM	02/21/2017
PLNG	04/07/2017

SCALE: 1/4" = 1'-0"
 FILE: kurpius-10.dwg
 PLAN:

Roof Plan

AR.01



WESTFIELD DRIVE ELEVATION



WINDSOR DRIVE ELEVATION

EXISTING EXTERIOR ELEVATIONS

5



75 ARBOR ROAD
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SCHWANKE
 ARCHITECTURE



1151 WESTFIELD DR.
 MENLO PARK
 CALIFORNIA 94025
 A.P.N.: 071-265-070

Kurpius Residence
 R E S I D E N C E

RE:	DATE:
PRELIM	02/21/2017
PLNG	04/07/2017

SCALE: 1/4" = 1'-0"

FILE: kurpius-10-0

PLAN:

**Existing
 Exterior
 Elevations**

AE.00



LEFT EXTERIOR ELEVATION (WESTFIELD DR.)



FRONT EXTERIOR ELEVATION (WINDSOR DR.)

75 ARBOR ROAD
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SCHWANKE
ARCHITECTURE



1151 WESTFIELD DR.
MENDOTA PARK
CALIFORNIA 94025
A.P.N.: 071-263-070

Kurpius Residence
NEW RESIDENCE

RE:	DATE:
PRELIM	02/21/2017
PLNG	04/07/2017

SCALE: 1/4" = 1'-0"
FILE: kurpius-1e.dwg
PLAN:

AE.01



MAXIMUM ALLOWABLE BUILDING HEIGHT - 10.73'

UPPER FLOOR TOP PLATE - 14.45'

UPPER FLOOR FINISHED FLOOR - 14.72'

LOWER FLOOR TOP PLATE - 13.64'

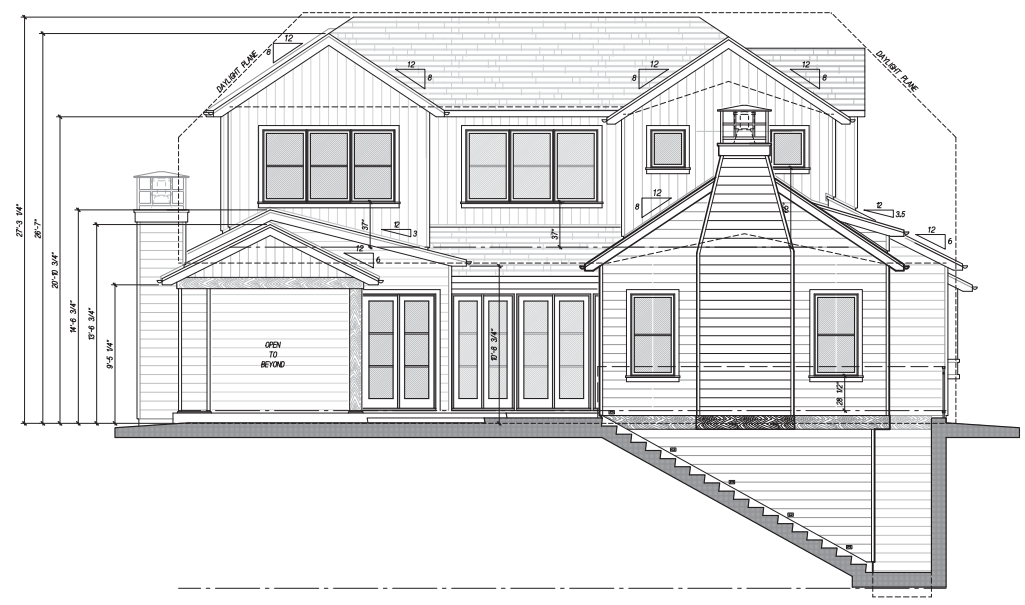
FINISHED FLOOR - 13.80'

AVERAGE NATURAL GRADE - 12.73'

BASMENT TOP PLATE - 11.53'

BASMENT FINISHED FLOOR - 7.47'

RIGHT SIDE EXTERIOR ELEVATION



MAXIMUM ALLOWABLE BUILDING HEIGHT - 10.73'

UPPER FLOOR TOP PLATE - 14.45'

DAYLIGHT PLANE - 12.23'

UPPER FLOOR FINISHED FLOOR - 14.72'

LOWER FLOOR TOP PLATE - 13.64'

FINISHED FLOOR - 13.80'

AVERAGE NATURAL GRADE - 12.73'

BASMENT TOP PLATE - 11.53'

BASMENT FINISHED FLOOR - 7.47'

REAR EXTERIOR ELEVATION

75 ARBOR ROAD
MENLO PARK
CALIFORNIA
94025-5350
(650) 321-4348
stev@schwanke.com

SCHWANKE
ARCHITECTURE



1151 WESTFIELD DR.
MENLO PARK
CALIFORNIA 94025
A.P.N.: 071-265-070

Kurpius Residence
NEW RESIDENCE

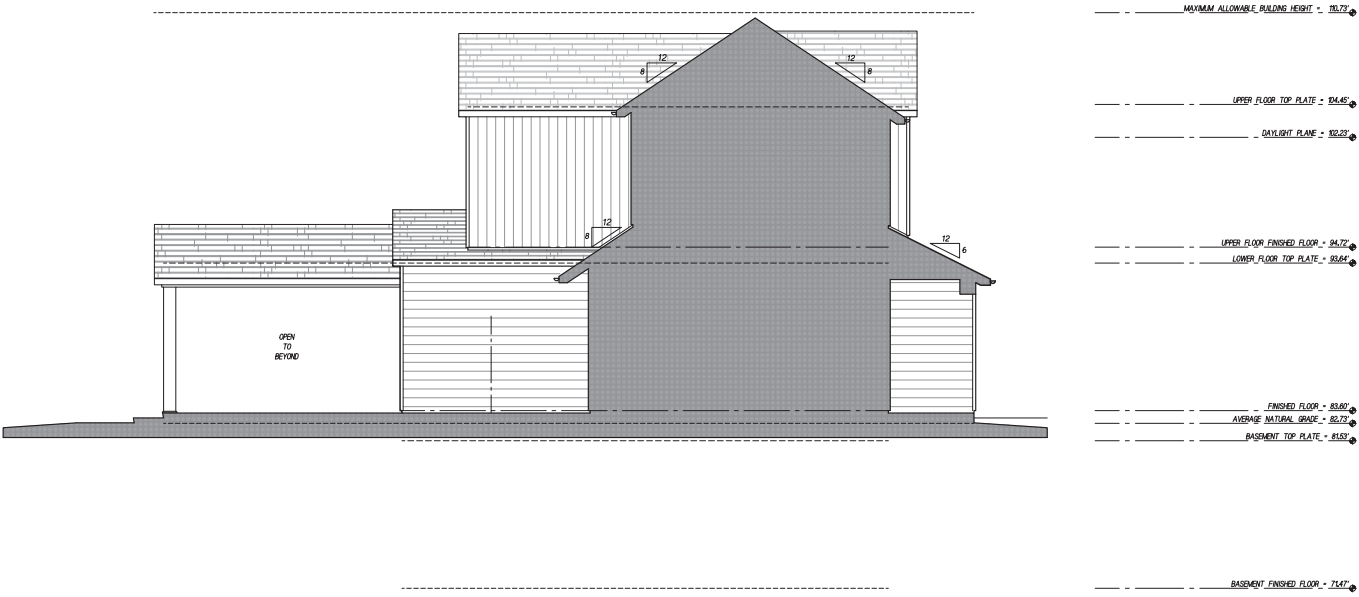
RE:	DATE:
PRELIM	02/21/2017
PLNG	04/07/2017

SCALE: 1/4" = 1'-0"
FILE: kurpius-1e.dwg
PLAN:

Exterior Elevations
AE.02



LEFT SIDE COURTYARD EXTERIOR ELEVATION



RIGHT SIDE COURTYARD EXTERIOR ELEVATION

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ARCHITECTURE



1151 WESTFIELD DR.
MENLO PARK
CALIFORNIA 94025
A.P.N.: 071-265-070

Kurpius Residence
NEW RESIDENCE

RE:	DATE:
PRELIM	02/21/2017
PLNG	04/07/2017

SCALE: 1/4" = 1'-0"
FILE: kurpius-1e.dwg
PLAN:

AE.03



WESTFIELD DRIVE STREETScape ELEVATION



WINDSOR DRIVE STREETScape ELEVATION

75 ARBOR ROAD
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ARCHITECTURE



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MENLO PARK CALIFORNIA 94025
A.P.N.: 071-265-070

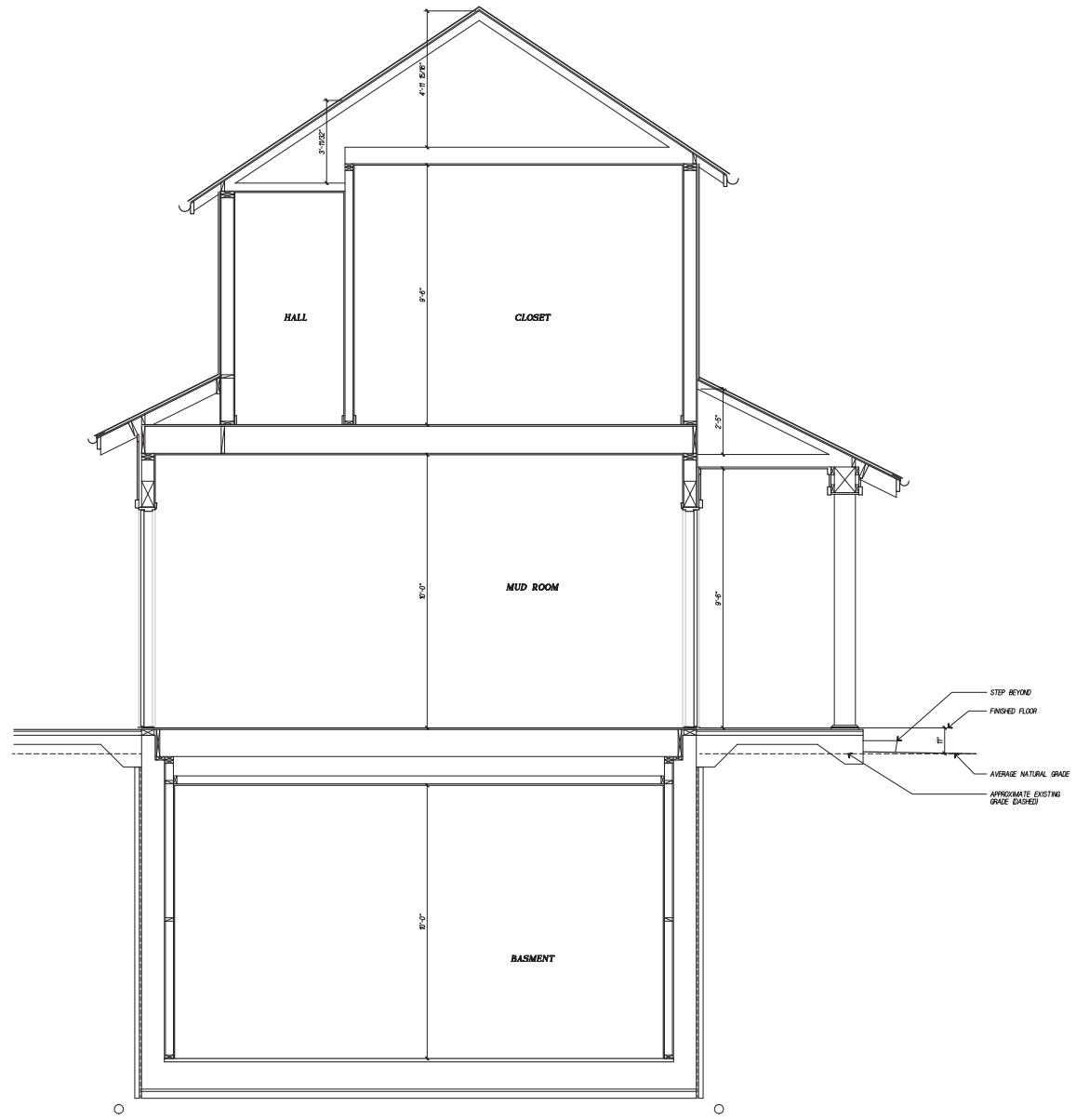
Kurpius Residence
NEW RESIDENCE

RE:	DATE:
PRELIM	02/21/2017

SCALE: 1/8" = 1'-0"
FILE: kurpius-ss.dwg
PLAN:

Street-scapes

SS.01



BUILDING SECTION 'A'



75 ARBOR ROAD
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 aschwanke@schwanke.com

SCHWANKE
 ARCHITECTURE



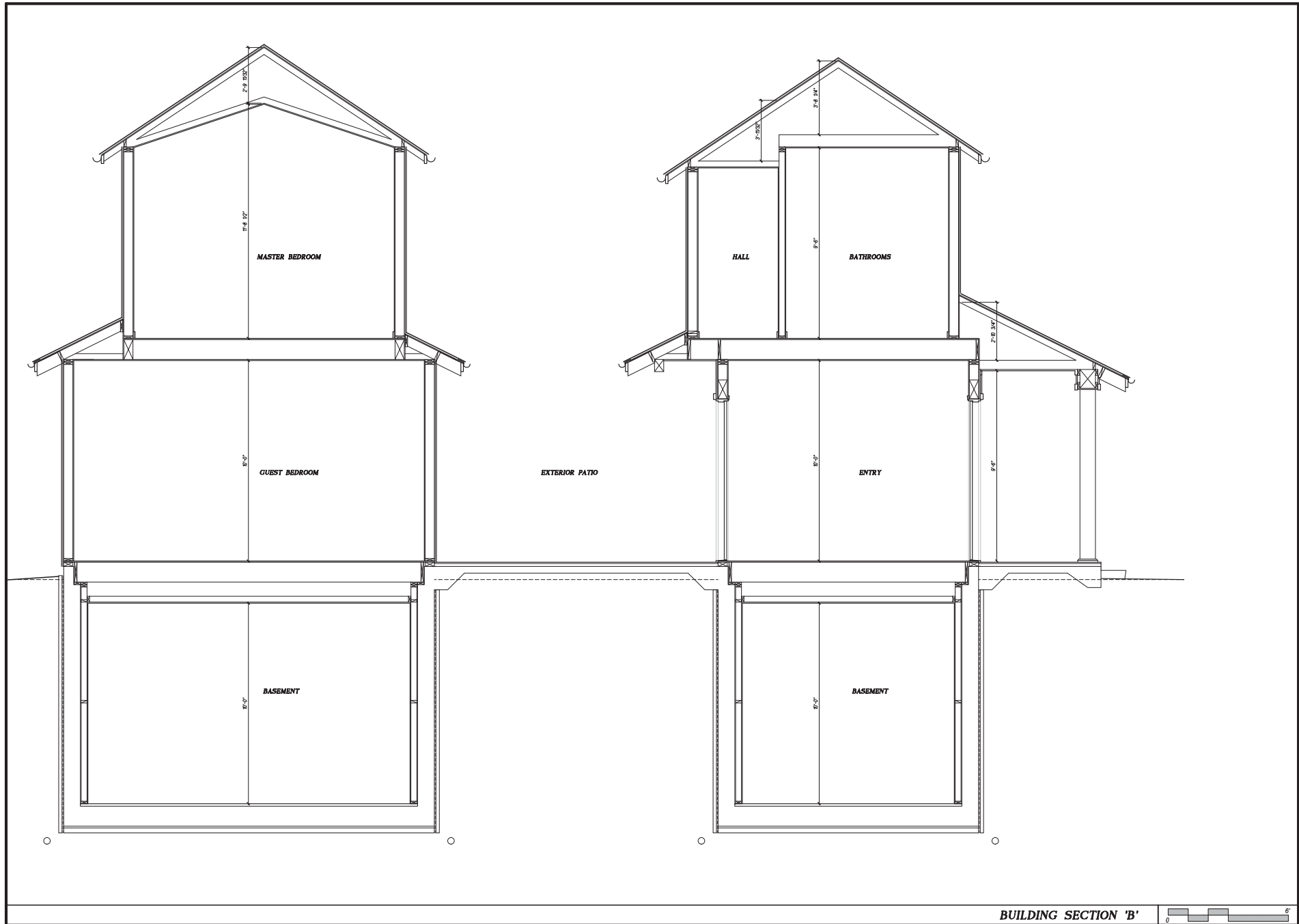
151 WESTFIELD DR.
 MENLO PARK, CALIFORNIA 94025
 A.P.N.: 071-263-070

Kurpius Residence
 N E W R E S I D E N C E

REV:	DATE:
PRELIM	02/21/2017
PLNG	04/07/2017

SCALE: 1/2" = 1'-0"
 FILE: Kurpius-Kurb
 PLAN:

Building Section 'A'
 AX.01



BUILDING SECTION 'B'



75 ARBOR ROAD
MENLO PARK,
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astere@schwanke.com

SCHWANKE
ARCHITECTURE



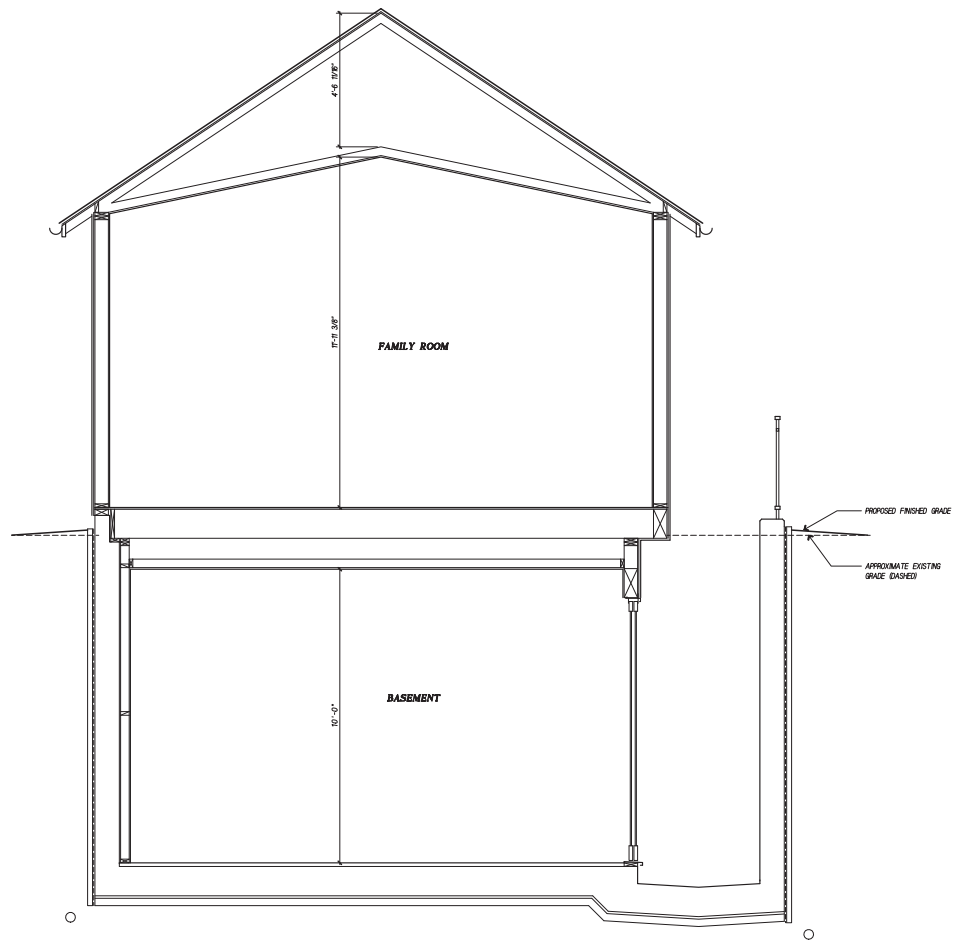
1151 WESTFIELD DR.
MENLO PARK
CALIFORNIA 94025
A.P.N.: 071-263-070

Kurpius Residence
NEW RESIDENCE

REV	DATE
PRELIM	02/21/2017
PLNG	04/07/2017

SCALE: 1/2" = 1'-0"
FILE: Kurpius-12.dwg
PLAN:

Building Section 'B'
AX.02



KEYNOTES

75 ARBOR ROAD
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SCHWANKE
 ARCHITECTURE



151 WESTFIELD DR.
 MENLO PARK
 CALIFORNIA 94025
 A.P.N.: 071-263-070

Kurpius Residence
 N E W R E S I D E N C E

RE:	DATE:
PRELIM	02/21/2017
PLNG	04/07/2017

SCALE: 1/2" = 1'-0"
 FILE: Kurpius-Kurb
 PLAN:

Building Section 'C'

AX.03

BUILDING SECTION 'C'



Project Description – 1151 Westfield Drive

The project proposed is a new, two story (with basement) single-family residence of 5,397 square feet located at 1151 Westfield Drive in Menlo Park. The home will sit on a lot size of 10,169 square feet and replaces an existing single-family residence of 1,300 square feet, built in 1950.

As part of the new home, updated hardscaping and landscaping will be added. The surrounding neighborhood contains residences featuring a variety of traditional and contemporary architectural styles, a predominance of attached garages, and a mix of one- and two-story homes.

Thoughtful consideration was given to the home design, and a variety of factors contributed to the final plans. They included:

- studying the West Menlo Park neighborhood to understand scale and aesthetics appropriate for the area—it was noticed that there were homes displaying a diverse array of architectural designs, including but not limited to: ranch, farmhouse, craftsman, cottage, and modern;
- situating the home so that its impact on neighboring properties was minimal: more specifically, the home nests along the street-scape (Westfield and Windsor) as opposed to along neighboring properties.
- recognizing 1151 Westfield Drive's lot dimensions and form, particularly its corner location;
- taking advantage of the lovely trees that surround the property.

As a result of these considerations, the new residence at 1151 Westfield is a farmhouse-ranch inspired home with subtle modern touches. More specifically, the home will have a mix of gable and hip forms. The lower roof will be clad with a standing seam metal roof that will run across the entire front elevation of the home, lending continuity to the lines of the residence. A stately front porch will add an appealing, soft touch to the front entryway. The garage will be located on the Windsor side of the property to enhance the neighborhood feel so prominent on Westfield Drive. The home will be clad in a subtle mix of horizontal and vertical painted ship lath. The windows will be a simulated divided light wood-clad consistent to the farmhouse-ranch design.

The residence will have six bedrooms and six-and-a-half bathrooms; only three of the six bedrooms will be on the upper-most level to minimize massing on the second story. Moreover, to enhance neighbors' privacy, only one portion of the second story will immediately face any side elevations. In addition, there will only be four windows on that side, they will all face the neighbor's garage, and all are smaller in nature with raised sill heights.

The owners have reached out to the neighbors, reviewing the plans with all of the neighbors who are in immediate proximity to the home. All have provided positive

feedback and are generally excited to have the Kurpius family joining the neighborhood. They appreciated that the home would be nested towards the front of the lot and that the second story was minimalized. The owners also notified other neighbors in the area that would not be directly impacted by the home, but who live in close proximity. They provided an overview of the planned new home and their contact information should any neighbor have questions and/or concerns. To date, they have not heard any concerns or issues.

Kiely Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

January 9, 2017 revised April 13, 2017

Benchmark Builders

Attn: Mr. Justin Kurpius

75 Arbor Road Suite G

Menlo Park CA 94301

Site: 1151 Westfield, Menlo Park, CA

Dear Mr. Kurpius,

As requested on Tuesday, December 13, 2017, I visited the above site to inspect and comment on the trees. A new home is planned for this site and your concern for the future health and safety of the trees has prompted this visit.

Method:

All inspections were made from the ground; the tree was not climbed for this inspection. The tree in question was located on a "Not-to-Scale" map provided by me. The tree was then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The tree was given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1 - 29	Very Poor
30 - 49	Poor
50 - 69	Fair
70 - 89	Good
90 - 100	Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

1151 Westfield/1/9/17

(2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1	Liquidambar (<i>Liquidambar styraciflua</i>)	25.7	55	55/40	Good vigor, poor-fair form, codominant at 25 feet, heavily trimmed.
2	Liquidambar (<i>Liquidambar styraciflua</i>)	32.5	60	55/45	Good vigor, fair form, heavily trimmed.
3	Japanese maple (<i>Acer palmatum</i>)	9.4	55	20/20	Good vigor, poor form, codominant at 1 foot.
4	Camphor (<i>Cinnunum camphora</i>)	16.6	40	35/35	Poor vigor, poor form, leans east.
5	Camphor (<i>Cinnunum camphora</i>)	20.1	65	40/40	Fair vigor, fair form, dead limbs in canopy.
6	Camphor (<i>Cinnunum camphora</i>)	20.6	65	40/35	Good vigor, fair form, codominant at 20 feet.
7	Chinese elm (<i>Ulmus parvifolia</i>)	23.8	70	40/50	Good vigor, fair form, two heavy low lateral limbs.
8	Privet (<i>Ligustrum japonicum</i>)	16.3	45	35/25	Fair vigor, poor form, multi leader at base, in wires.
9*	Douglas fir (<i>Pseudotsuga menziesii</i>)	36	55	75/40	Fair vigor, fair form, 3 feet from property line.
10*	English walnut (<i>Juglans regia</i>)	12	60	35/30	Fair vigor, fair form, 8 feet from property line.

*indicates neighboring trees.

Summary:

The trees on site are a mix of imported trees. The trees are in poor-fair condition with no excellent trees. Being a corner lot the property has 5 street trees, 2 liquidambars and 3 camphors. Both species are known for large root zones with large surface roots. Camphor #4 is in poor condition and should be considered for removal.

The planned driveway has been moved to 7 feet from the liquidambar #1. Irrigation will be provided for all of the street trees during construction. Excavation for the driveway will be carried out by hand. No roots over 2 inches in diameter will be cut without the approval of the site arborist. Geogrid fabric will be laid below compatible base rock to help reduce compaction to the roots. Mitigating measures will be increased irrigation. The site arborist may provide additional mitigating measures (fertilization or deep watering) at the time of excavation.

The large Chinese elm #7 has a low branching form. The constant lowering of the height for line clearing may have contributed. The tree will be trimmed to allow for the building of the home. Foliage loss will be less than 25 percent and no permit should be required.

The neighboring trees will not be affected by the planned construction but will be protected as required in the city of Menlo Park.

Tree Protection Plan:

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips. The wooden fencing will suffice for the neighbor's trees.

The Chinese elm #7 will have its trunk wrapped with straw wattle and orange plastic fencing prior to the hand removal of the existing deck. This type of tree protection will suffice for the demolition process.

Metal chain link fencing will be installed as recommended near the dripline and will remain until completion of the project. The site arborist will be on hand to inspect tree protection prior to demolition and again prior to construction.

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist.

Excavation for the driveway will be carried out by hand no roots over 2 inches in diameter will be cut without the approval of the site arborist. Geogrid fabric will be laid below compatible base rock to help reduce compaction to the roots. Mitigating measures will be increased irrigation. The site arborist will may provide additional mitigating measures (fertilization or deep watering) at the time of excavation.

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

The tree protection will be inspected prior to the start of demolition and again prior to the start of construction.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A



STAFF REPORT

Planning Commission

Meeting Date: 6/5/2017
Staff Report Number: 17-036-PC

Public Hearing: Use Permit/Andrew Barnes/210 McKendry Drive

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit revision to add approximately 281 square feet of first and second floor space and make other exterior revisions to a previously-approved project to expand and modify a single-family residence. The subject parcel is a substandard lot with regard to lot width, depth, and area in the R-1-U (Single-Family Urban) zoning district, and the proposal would exceed 50 percent of the existing floor area and is considered equivalent to a new structure, at 210 McKendry Drive. The project would also exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The previous use permit was approved by the Planning Commission on February 8, 2016. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at 210 McKendry Drive, near the intersection of McKendry Drive and Robin Way. A location map is included as Attachment B. The subject parcel is surrounded on all sides by single-family homes that are also in the R-1-U zoning district. Although the majority of homes along McKendry Drive are one-story, there are several two-story homes on the street.

Previous Planning Commission review

On February 8, 2016, the Planning Commission approved a use permit request at this site, to add a second floor and conduct interior modifications to a single-family residence that exceeded 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal added approximately 809 square feet, which exceeded 50 percent of the existing floor area and is considered equivalent to a new structure. The approved excerpt minutes are included as Attachment G.

Building Permit

The applicant applied for a building permit on March 7, 2016 and the building permit was issued on June 22, 2016. Since issuance of the building permit the applicant has submitted an application for a use permit revision to modify the approved design. The applicant indicates he is requesting a use permit revision to

refine the exterior of the residence to better reflect the targeted California Cape Cod style. The building is currently under construction, and it appears a number of the revisions the applicant is currently requesting, including revisions to the roof lines and the second floor dormer, have been constructed. These changes require approval by the Planning Commission and a revised building permit.

Analysis

Project description

The proposed changes to the project include increasing the size of the first floor living and dining rooms by moving a portion of the front wall forward by four feet, thereby reducing the depth of the front deck to three feet, as well as roof line and pitch modifications to improve the proportion of the dormer. Cedar shake and standing seam metal roofing would be used instead of asphalt shingles, and horizontal siding would be used instead of stucco. All windows are now proposed to be new, wood-clad windows.

The total floor area would increase from 2,250.7 square feet to 2,531.1 square feet, where 2,800 square feet is the floor area limit (FAL). The FAL total includes a number of double-height and attic areas, as noted in the sections. The building coverage would increase from 31.1 percent to 31.5 percent, where 35 percent is the maximum permitted. The height of the house would increase from 24.1 feet to 24.9 feet, where 28 feet is the maximum permissible height. Additionally, the right side gable would intrude 5.4 feet into the daylight plane instead of 3.5 feet, where 8.3 feet is the maximum permitted intrusion when the required side yard setback is 5.5 feet. The length of the gable intrusion into the daylight plane would be 20 feet instead of 12 feet, where 30 feet is the maximum permitted.

A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively. The project plans include diagrams from the original approval, for comparison purposes.

Additional proposed changes to the previously approved front elevation would include the following:

- The extension of the roof over the front porch to the garage.
- The placement of the front dormer wall 7.5 feet closer to the front setback.
- The addition of a trellis over the garage door.
- Modified window shapes and sizes, the addition of a window above the garage door, and the addition of a second skylight at the garage.

Additional proposed changes to the previously approved right side elevation would include the following:

- The extension of the end of the gable over the garage as a small shed roof.
- Modified window shapes and sizes.

Additional proposed changes to the previously approved left elevation would include the following:

- The removal of one exterior door.
- The addition of a standing seam metal roof over the remaining door.

- Modified window shapes and sizes.

Additional proposed changes to the previously approved rear side elevation include the following:

- The addition of standing seam metal roofs over the two exterior doors.
- Modified window shapes and sizes.

In addition to the changes described above, the applicant is considering a new deck that would extend from the front of the property along the left side and continue to the back of the property at the height of the doors, eliminating the need for landings.

Design and materials

The previously-approved addition was described by the previous architect as maintaining the country style of the residence. The applicant describes the proposed revisions as featuring a California Cape Cod style. The proposed materials, including cedar shake roofing and horizontal siding, would enhance the proposed style. Staff believes the proposed changes continue to be compatible with the surrounding neighborhood. No significant privacy concerns are anticipated as no second-story windows would have sill heights below the heights previously approved, with the exception of the dormer windows facing the street.

Trees and landscaping

The applicant submitted an arborist report detailing the species, size and conditions of the trees on or near the site as part of the original project review. A heritage London plane street tree (tree #1) is located near the front, right corner of the property, and a heritage liquidambar street tree (tree #2) is located near the front, left corner of the property. A heritage Douglas fir tree (tree #3) is located on the left side of the property, near the existing porch. The original arborist report indicated a small number of limbs may need to be removed from this tree to facilitate construction of the second floor. The report also indicated excavation required for the underpinning of the existing foundation to support the second floor would be dug by hand under the drip line of tree #3. The proposed revision to pull part of the front wall forward would be in the proximity of tree #3; however, the applicant submitted an addendum to the arborist report indicating that no roots with diameters at or over two inches have been encountered during the excavation, and that the proposed revisions are not expected to have any additional impact on the tree. The arborist report and the addendum are included as Attachment F.

No trees are proposed for removal. The proposed site improvements should not adversely affect any of the trees as tree protection measures will be ensured through recommended condition 3g. In addition, as noted earlier, a deck is contemplated at the front-left corner of the residence, extending toward the back. Such a deck would require additional review by the City arborist, as well as review by Planning Division staff, due to its proximity to tree #3, the heritage Douglas fir. Additionally, if the proposed deck is located more than 12 inches above grade, issuance of a building permit would be required. A recommended condition of approval (Condition 4a) has been included requiring approval by the Planning Division and the City Arborist, should such a deck be proposed.

Correspondence

The applicant indicates he shared the revised plans with several neighboring property owners and received supportive responses. A description of the applicant's outreach is included with the applicant's project description letter (Attachment E). Staff has not received any correspondence.

Conclusion

Staff believes the proposed changes continue to be compatible with the surrounding neighborhood. No significant privacy concerns are anticipated as no second-story windows would have sill heights below the heights previously approved, with the exception of the dormer windows facing the street. Potential heritage tree impacts from the revisions and the potential deck would be minimized by protection measures. Staff recommends that the Planning Commission approve the proposed revisions to the project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report and Addendum
- G. Planning Commission Approved Excerpt Minutes – February 8, 2016

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:
Corinna Sandmeier, Associate Planner

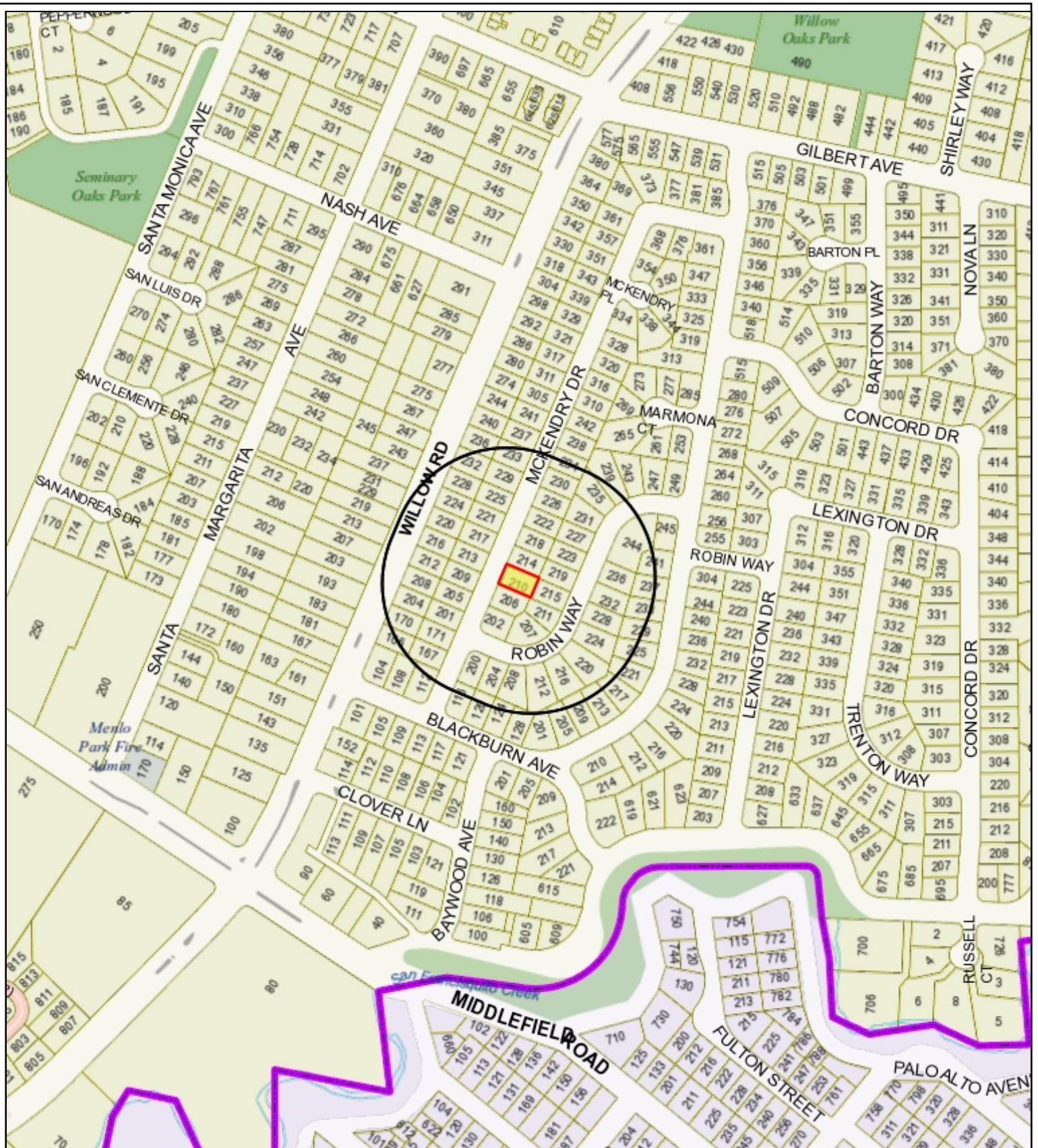
Report reviewed by:
Thomas Rogers, Principal Planner

210 McKendry Drive – Attachment A: Recommended Actions

LOCATION: 210 McKendry Drive	PROJECT NUMBER: PLN2017-00017	APPLICANT: Andrew Barnes	OWNER: Andrew Barnes
REQUEST: Request for a use permit revision to add approximately 281 square feet of first and second floor space and make other exterior revisions to a previously-approved project to expand and modify a single-family residence. The subject parcel is a substandard lot with regard to lot width, depth and area in the R-1-U (Single-Family Urban) zoning district, and the proposal would exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The project would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The previous use permit was approved by the Planning Commission on February 8, 2016.			
DECISION ENTITY: Planning Commission	DATE: June 5, 2017	ACTION: TBD	
VOTE: TBD (Combs, Goodhue, Kahle, Onken, Riggs, Strehl; Barnes recused)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by John MacNaughton, consisting of 17 plan sheets, dated received May 30, 2017, and approved by the Planning Commission on June 5, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Kielty Arborist Services, 			

210 McKendry Drive – Attachment A: Recommended Actions

LOCATION: 210 McKendry Drive	PROJECT NUMBER: PLN2017-00017	APPLICANT: Andrew Barnes	OWNER: Andrew Barnes
REQUEST: Request for a use permit revision to add approximately 281 square feet of first and second floor space and make other exterior revisions to a previously-approved project to expand and modify a single-family residence. The subject parcel is a substandard lot with regard to lot width, depth and area in the R-1-U (Single-Family Urban) zoning district, and the proposal would exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The project would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The previous use permit was approved by the Planning Commission on February 8, 2016.			
DECISION ENTITY: Planning Commission	DATE: June 5, 2017	ACTION: TBD	
VOTE: TBD (Combs, Goodhue, Kahle, Onken, Riggs, Strehl; Barnes recused)			
<p>ACTION:</p> <p>LLC dated January 27, 2016 and the addendum prepared by Kielty Arborist Services, LLC dated April 20, 2017.</p> <p>4. Approve the use permit subject to the following project-specific condition:</p> <p style="padding-left: 40px;">a. Any additional deck area near heritage trees shall be reviewed and approved by the Planning Division and the City Arborist.</p>			



CITY OF
MENLO PARK

City of Menlo Park
Location Map
210 McKendry Drive



Scale: 1:4,000

Drawn By: TAS

Checked By: CDS

Date: 6/5/2017

Sheet: 1

210 McKendry Drive – Attachment C: Data Table

	PROPOSED PROJECT	APPROVED DEVELOPMENT	ZONING ORDINANCE
Lot area	5,005.0 sf	5,005.0 sf	7,000.0 sf min.
Lot width	55.0 ft.	55.0 ft.	65.0 ft. min.
Lot depth	91.0 ft.	91.0 ft.	100.0 ft. min.
Setbacks			
Front	24.8 ft.	24.8 ft.	20.0 ft. min.
Rear	21.0 ft.	21.0 ft.	20.0 ft. min.
Side (left)	14.0 ft.	14.0 ft.	5.5 ft. min.
Side (right)	4.7 ft.	4.7 ft.	5.5 ft. min.
Building coverage	1,578.5 sf 31.5 %	1,557.8 sf 31.1 %	1,751.8 sf max. 35.0 % max.
FAL (Floor Area Limit)	2,531.1 sf	2,250.7 sf	2,800.0 sf max.
Square footage by floor	1,227.3 sf/1 st floor 658.7 sf/2 nd floor 256.7 area > 12' 106.7 attic > 5' 281.7 sf/garage 69.5 sf/porch	1,159.9 sf/1 st floor 582.1 sf/2 nd floor 143.3 area > 12' 83.3 attic > 5' 281.9 sf/garage 116.0 sf/porch	
Square footage of buildings	2,600.6 sf	2,366.5 sf	
Building height	24.9 ft.	24.1 ft.	28.0 ft. max.
Parking	1 covered	1 covered	1 covered/1 uncovered
	Note: Areas shown highlighted indicate a nonconforming or substandard situation.		
Trees	Heritage trees: 3*	Non-Heritage trees: 3**	New Trees: 0
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 0	Total Number of Trees: 6
	* Two of the heritage trees are street trees located in front of the subject property ** Two of the non-heritage trees are located on the property to the rear of the subject property		

SHEET INDEX

Table with columns SHEET and DESCRIPTION. Lists sheets T1 through T24, including Project Summary, Survey, Plot Plans, AS-Built Elevations, Area Calculations, Proposed Area Calculations, Approved Elevations, Approved and Proposed Second Floor Plan, Approved and Proposed Roof Plan, Sections, Details, First and Second Floor Electrical Plans, Structural, LMC and CBC, Electrical Code Notes, Standards and Codes, Plumbing Fixtures, BLDG Dept Notes, Plumbing Fixtures, Exterior Cedar Siding, Noise, and Proposed Changes.

PROJECT CONSULTANTS

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APPROVED PLANS
HENRY RIGGS
650-527-6108
REVISIONS AFTER 2-8-2016
JOHN MAC NAUGHTON
650-485-1879

PROJECT SUMMARY

FROM APPROVED PLANS

Project scope: remodel and addition
Zoning: R1U
Flood zone: AE
Construction: type SB wood frame
Occupancy: R3/U
Building code: 2013 CBC, CPC, CMC, CEC, Energy, CGBC
Lot area: 5095 s.f.
Existing floor area: 1442 s.f. + high ceiling area
Added floor area: 582 s.f.
Covered porch: 116 s.f. (not in FAL)
Area remodeled: 529 s.f.
New floor area: 2251 s.f.
Allowable FAL: 2800 s.f.
Driveway and walks: 2800 s.f.
Landscaping area: 2988 s.f.
Existing lot coverage: 1558 s.f.
New lot coverage: 1558 s.f.
Coverage ratio: 31.1%
Fire sprinklers: No
Garage: 10' x 18' in existing garage + tandem uncovered

PROPOSED CHANGES

Project scope: remodel and addition
Zoning: R1U
Flood zone: AE
Construction: type SB wood frame
Occupancy: R3/U
Building code: 2013 CBC, CPC, CMC, CEC, Energy, CGBC
Lot area: 5095 s.f.
Existing floor area: 1442 s.f. + high ceiling area
Added floor area: 751 s.f.
Covered porch: 69 s.f. (not in FAL)
Area remodeled: 964 s.f.
New floor area: 2600 s.f.
Allowable FAL: 2600 s.f.
Driveway and walks: 2973 s.f.
Landscaping area: 2988 s.f.
Existing and approved lot coverage: 1558 s.f.
New lot coverage: 1579 s.f.
Coverage ratio: 31.3%
Fire sprinklers: No
Garage: 10' x 20' in existing garage + tandem uncovered

GENERAL NOTES

- 1. General Contractor shall furnish all labor, materials, materials, utilities, temporary facilities, etc. for the full performance of work specified.
2. All time materials facilities for the inspection of all parts of the work.
3. Whenever a trade name is noted for structural components, it is considered an existing standard and suitable equivalent substitutions may be offered for approval.
4. Written dimensions on plans shall take precedence over scale.
5. Review and coordinate final materials for availability of materials.
6. Coordinate work among the trades to allow for sequencing and adjustments.
7. Dimensions are to face of wood if present, otherwise face of steel, unless noted.
8. See reflected ceiling plan for floor, lighting and ceiling.
9. Label delivered fixtures for room location upon delivery.
10. Openings (minimum standard packaging unit of each material) for use location.
11. See specifications sheet for additional information.
12. All materials below Base Flood Elevation shall be resistant to flood damage, i.e. concrete, Redwood or pressure treated Douglas Fir.

ENERGY NOTES

- 1. Second floor bathroom lighting shall be LED.
2. Existing gas water heater shall be replaced with a high efficiency tankless water heater.
3. Where any stud bay is substantially unenclosed for construction, install R13 fiberglass batt. Neatly record location on as-built plan.
4. All exterior doors (vertical hinges) shall be weather stripped and self-closing.
5. All interior doors (vertical hinges) shall be weather stripped and self-closing.

STANDARDS AND CODES

- 1. All work to conform to applicable codes of the City of Menlo Park, including 2013 editions of the CBC, UPC, LMC, and CBC.
2. All work to conform to standards of ANSI and SMACNA.

ELECTRICAL CODE NOTES

- 1. All bathroom, kitchen and exterior outlets to be GFI.
2. All outlets at 120' CL and switches at 48" CL, unless noted otherwise.
3. Provide hard-wired smoke CO detector in all three Bedrooms, Hall and Living Room.
4. Re-wired luminaires to be IC rated, housing shall be certified air tight construction.
5. Any room lighting (excl. closets) which is not high efficiency to be dimmable switches.
6. Garage, utility (except stairs) and laundry rooms shall have high efficiency fixtures and also be controlled by occupancy sensors.

Window notes

- 1. All windows double glazed casement, s.w.n.
2. At least one window in each bedroom not having an exit door shall be an egress window per CRC R310.
3. Minimum 5.0 s.f. net clear opening, min. net clear 20" with 24" height, and maximum sill ht. of 44".
4. Painted windows shall match.
5. At ground floor, replace windows with dual glazed mill-finished windows per window schedule.

BLDG DEPT NOTES

- Smoke detectors are required in the hallways leading to the bedrooms, at the top of the staircase, and provide one carbon monoxide detector on each floor level, see A4.2. The smoke and CO detectors shall be interconnected and hardwired.
Shower doors shall open a minimum of 22" for an unobstructed egress opening.

PLUMBING FIXTURES

- For the prescriptive code, fixtures shall have a maximum flow rate as follows:
Showerheads <= 2.0 gpm per minute (gpm) @ 80psi
Lavatory faucet <= 1.5 gpm @ 60psi
Kitchen and utility faucets <= 1.8 gpm
Water closet <= 1.28 gallons per flush
Bathroom fans shall be energy star rated w/60min. timer switch.

Non-compliant plumbing fixtures shall be replaced with water conserving plumbing fixtures per CBC section 301.1.1. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the building department. Non-compliant plumbing fixture means any of the following:

- a. Any water closets manufactured to use more than 1.6 gallons of water per flush.
b. Any shower head manufactured to have a flow capacity of more than 2.5 gallons of water/min.
c. Any interior faucet that emits more than 2.2 gallons of water/min.

EXTERIOR CEDAR SIDING

1x8 Cedar bevel siding, 6' to the weather, over building wrap.

NOISE

The work hours are regulated by noise levels created during construction. The maximum noise levels allowed are established in the City of Menlo Park Municipal Code Chapter 8.06 Noise.

- 1. Any and all excessively annoying, loud or unusual noises or vibrations such as effected the peace and quiet of persons of ordinary sensibilities and which interferes with the comfortable enjoyment of life or property and affect at the same time an entire neighborhood or any considerable number of persons shall be considered a noise disturbance.
2. Construction Activities
a. Construction activities are limited to the hours of eight (8) a.m. and six (6) p.m. Monday through Friday.
b. Construction activities by residents and property owners personally undertaking construction activities to maintain or improve their property are allowed on Saturdays, Sundays or holidays between the hours of nine (9) a.m. and five (5) p.m.
c. A sign, containing the permitted hours of construction activities exceeding the noise limits set forth in Section 8.06.01(a), shall be posted at all entrances to a construction site upon the commencement of construction, for the purpose of informing contractors and subcontractors and all other persons at the construction site of the basic requirements of this chapter. The sign shall be at least five (5) feet above ground level and shall consist of a white background with black letters.

Notwithstanding any other provision to the contrary, all powered equipment shall comply with the limits set forth in Section 8.06.04(b).

RESIDENTIAL MANDATORY MEASURES

TABLE A-6.1A

Table with columns: LESS WATER AND LEAKS EXEMPT COMPONENTS in Gpm per Liter, APPLICABLE APPLICATIONS, CURRENT VOLUME, and SPECIALTY APPLICATIONS. Lists items like Inlet pipe, Drain, Toilet, Shower, etc.

TABLE A-6.1B

Table with columns: LESS WATER AND LEAKS EXEMPT COMPONENTS in Gpm per Liter, SEALANTS, CURRENT VOLUME, and SPECIALTY APPLICATIONS. Lists items like Architectural, Metal roof, Showerheads, etc.

20

SPECIFICATIONS

- FLOORING: Match existing oak hardwood floors incl. wood base milled to match existing; at new bath, porcelain or limestone tile and matching base material.
CABINETRY: Bath countertop: As selected by owner.
ROOFING: Metal eave and cedar shake roofing over 20 paper, with matching Vent Sane VTS572 roof.
INSULATION: Fiberglass batt at new exterior walls R13; all attic areas upgrade to R30; new R19 at crawlspace floors; existing walls blow in fiberglass R13.
WINDOWS/SLIDERS: Marvin insulated windows per plan. All windows and exterior doors min. U-value 0.50, air sealed, gasketed. New agency tested operable shut. insulated skylight.
INTERIOR DOORS: Match existing stain grade solid panel style and full wood doors where new door required.
GARAGE DOORS: Solid wood and glass barn door pair, per owner.
HARDWARE: Schlage satin fin. at new doors to match existing. Cabinet pulls allowance \$12 each for material.
EXTERIOR WALLS: 6" Cedar bevel siding, over building wrap.
INTERIOR FINISH: Tile as selected by owner at new Bath Room.
PLUMBING: Schedule 40 copper piping throughout except water per code; all hot water lines to be insulated R4 min. All new plumbing fixtures, incl. Toilet/Walllet at new bath.
HEAT & VENT: New air ducting and new attic heating unit to cast aluminum climate registers; cast iron floor registers; allow for fresh air intake from exterior wall (motorized damper) wired on open for make-up air for whole house fan.
ELECTRICAL: New 200 amp service in current location. LED can lighting; Panasonic fan light combination ceiling units, high efficiency lamp.

TABLE A-6.1B

Table with columns: VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS*, CONTENT CATEGORY, EFFECTIVE VOC, and EFFECTIVE VOC. Lists categories like Floor coating, Metal coating, etc.

2013 CALIFORNIA GREEN BUILDING STANDARDS CODE

LIGHTING

Areas of the home (i.e., bedrooms, hallways, stairs, dining rooms, etc.) must have high efficiency lighting, which is provided with a manual-on motion sensor, or dimmer switch. The manual-on motion sensor must turn-off automatically when no one is present within the room and is capable of being turned on manually with a switch. Closets less than 70-sq. ft. are exempt from lighting requirements; this requirement does not apply to kitchens or bathrooms.

Outdoor lighting attached to the building must be high efficiency, or controlled by both motion sensor and photo-control devices. This includes the light outside the front door. Note that lighting not attached to the building (i.e., landscape lighting) is exempt.

ELECTRICAL OUTLETS

A dedicated 20-amp circuit is required to serve the required bathroom outlets. It shall be installed on a wall partition within 3 feet of the outside edge of each basin or installed on the side/face 12 in max below the countertop. This circuit cannot supply any other receptacles, lights, fans, etc. (Exception: where the circuit supplies a single bathroom, outlets for other equipment within the same bathroom shall be permitted to be supplied.)

All 120v single phase, 12 and 20 amp branch circuits that supply outlets installed in dwelling unit family rooms, dining rooms, living rooms, porches, libraries, dens, bedrooms, nurseries, recreation rooms, closets, hallways or similar rooms shall be protected by a listed arc-fault circuit interrupter.

All 15 and 20 amp receptacles shall be listed tamper-resistant receptacles.

ENERGY

All lighting shall be high efficiency (fluorescent, LED). LED lighting system and GU-24 lamp holder shall be listed by Energy Commission and shall meet the requirement of Table A-6.1C.

Table with columns: Watts, Lumens/Watt, and categories like 75 or less, 75 to 15, 15 to 40, over 40.

ENGINEERING DEPT. NOTES

All existing frontage improvements that are damaged, cracked, uplifted or depressed during the course of construction, or that were damaged prior to construction, shall be removed, replaced and/or repaired. Replaced and repaired sections shall meet City standards along the entire property frontage. City will not bear the costs of reconstruction.
All frontage improvement work shall be in accordance with the latest version of the City Standard Details.

All materials below Base Flood Elevation shall be resistant to flood damage, i.e. concrete, Redwood or pressure treated Douglas Fir.

Base Flood Elevation (BFE) is 50.1'. (NAVD '88)

A separate encroachment permit is required for any work within the public right of way. The applicant/contractor shall obtain the permit from the City's Engineering Division prior to start of any work within the City's right-of-way or public easement areas. The applicant shall obtain permits from utility companies prior to applying for City encroachment permit. To view encroachment permit requirements please visit the City's website at http://www.menlopark.org/202/Encroachment-Permits

All materials below Base Flood Elevation shall be resistant to flood damage, i.e. concrete, Redwood or pressure treated Douglas Fir.

Base Flood Elevation (BFE) is 50.1'. (NAVD '88)



VICINITY MAP

Table with columns: REVISION NUMBER, REVISION DATE, and DESCRIPTION. Shows revision 1 for 'Use Permit Revision'.

Use Permit Revision
210 McKendry Drive
Menlo Park CA

Original approved plans by
Henry Riggs
Revisions by
John MacNaughton

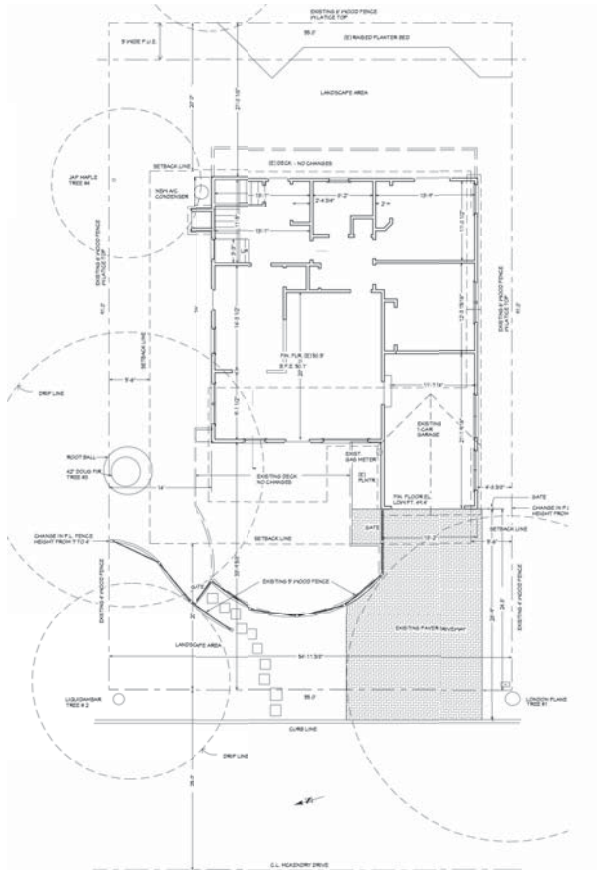
Project Summary

DATE: 5/26/17

SCALE:

SHEET:

T-1

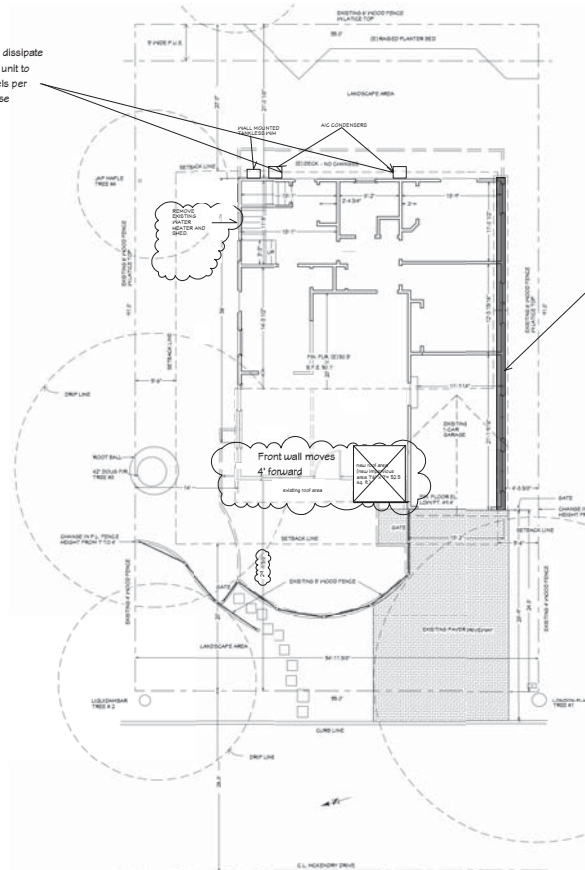


NOTE: (3) TREES ADJACENT TO THE PROJECT (ONE AT THE LEFT PROPERTY LINE, TWO AT THE FRONT PROPERTY LINE) ARE HERITAGE TREES. THESE MUST BE PROTECTED FROM CONSTRUCTION IMPACTS, AND NO MORE THAN 25% OF THE CANOPIES MAY BE PRUNED.

The City Arborist requests the use of four to six inch wood chips covered with plywood, as specified in Arborist Report, be expanded to the area within tree protection fencing and to the edge of dripline to the extent possible.

EXISTING AND APPROVED FENCE PLOT PLAN
SCALE: 1/8" = 1'

Landscaping to dissipate sound from AC unit to acceptable levels per Menlo Park noise ordinance.



NOTE: (3) TREES ADJACENT TO THE PROJECT (ONE AT THE LEFT PROPERTY LINE, TWO AT THE FRONT PROPERTY LINE) ARE HERITAGE TREES. THESE MUST BE PROTECTED FROM CONSTRUCTION IMPACTS, AND NO MORE THAN 25% OF THE CANOPIES MAY BE PRUNED.

The City Arborist requests the use of four to six inch wood chips covered with plywood, as specified in Arborist Report, be expanded to the area within tree protection fencing and to the edge of dripline to the extent possible.

PLOT PLAN AND PROPOSED CHANGES
SCALE: 1/8" = 1'

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

Use Permit Revision
210 McKendry Drive
Menlo Park CA

Original approved plans by
Henry Riggs
Revisions by
John MacNaughton

Plot Plans

DATE:

5/26/17

SCALE:

N.T.S.

SHEET:

A-1



LEFT SIDE (NORTH)



RIGHT SIDE (SOUTH)



FRONT (WEST)



REAR (EAST)

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

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Menlo Park CA

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Revisions by
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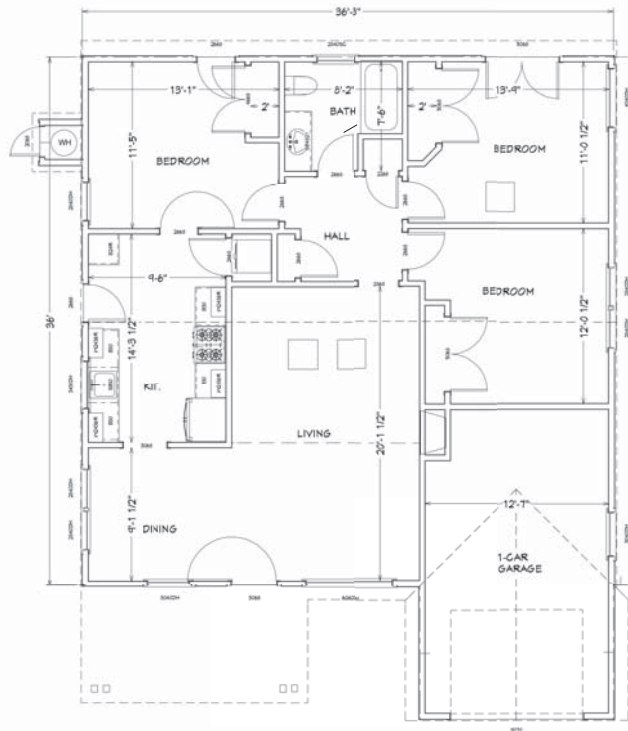
As - Built Elevations

DATE:
5/26/17

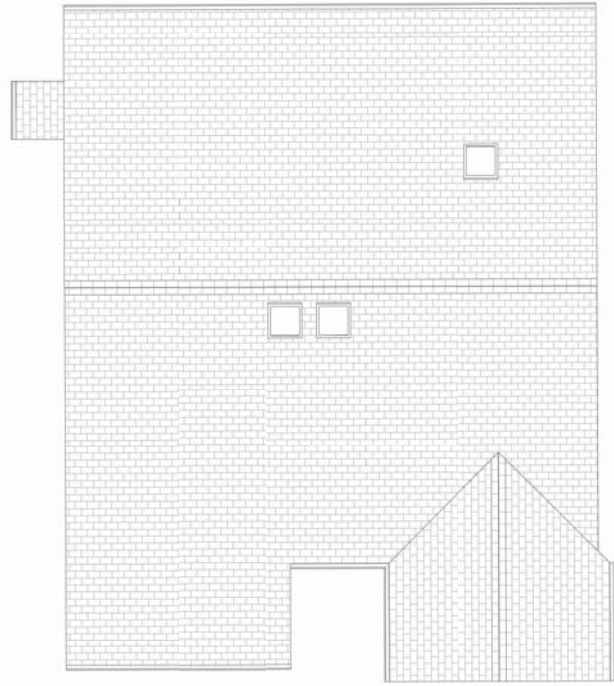
SCALE:

SHEET:

A-2



EXISTING PLAN



EXISTING ROOF PLAN
1/4" = 1'-0"

REVISION TABLE	
NUMBER	DATE

Use Permit Revision
210 Mckendry Drive
Menlo Park CA

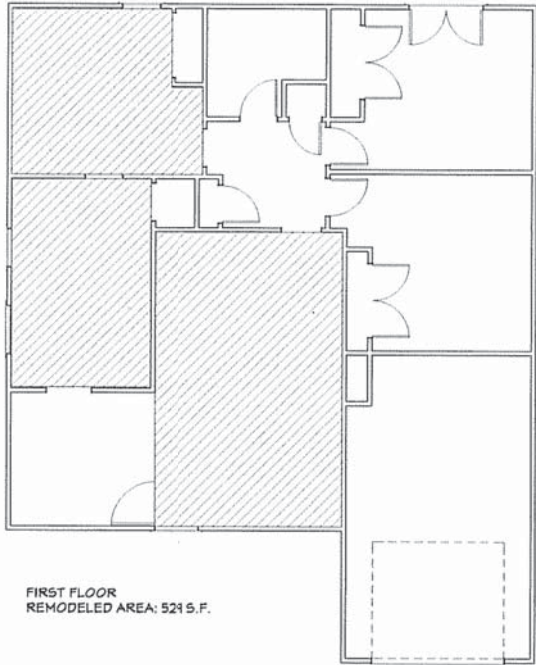
Original approved plans by
Henry Riggs
Revisions by
John MacNaughton

As - Built Plans

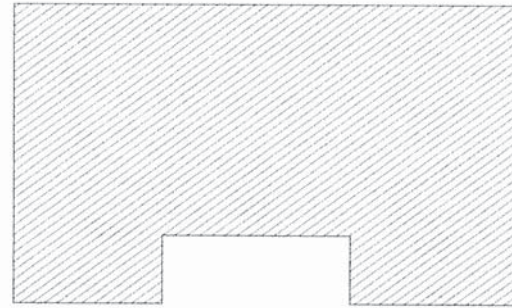
DATE:
5/26/17

SCALE:

SHEET:
A-3



FIRST FLOOR
REMODELED AREA: 529 S.F.



SECOND FLOOR
ADDED AREA: 809 S.F.

AREA CALCULATION

FLOOR	SPACE	S.F.	NOTE	TOTAL
1ST	A	871.8		1442.0
	B	279.1		
	C	281.9	GARAGE	
	D	9.0	WATERHEATER	
	E	116.0	PORCH (not in FAL)	
	F	479.6		
2ND	G	47.3		808.7
	H	55.2		
	J	133.0	(E)HIGH CLG AREA	
	K	56.4	STAIR (not counted)	
	L	10.3	(N)HIGH CLG AREA	
	M	43.3	ATTIC OVER 5'	
	N	40.0	ATTIC OVER 5'	
TOTAL S.F.				2250.7

USE PERMIT TRIGGER:
AREA REMODELED AND ADDED

ROOM	S.F.
BEDROOM	135
KITCHEN	133
LR	261
REMODEL	529
(E)HOUSE	incl. porch 1558
S.F.ADDED	809

Approved area calculations

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

Use Permit Revision
210 McKendry Drive
Menlo Park CA

Original approved plans by
Henry Riggs
Revisions by
John MacNaughton

Approved
Area Calculations

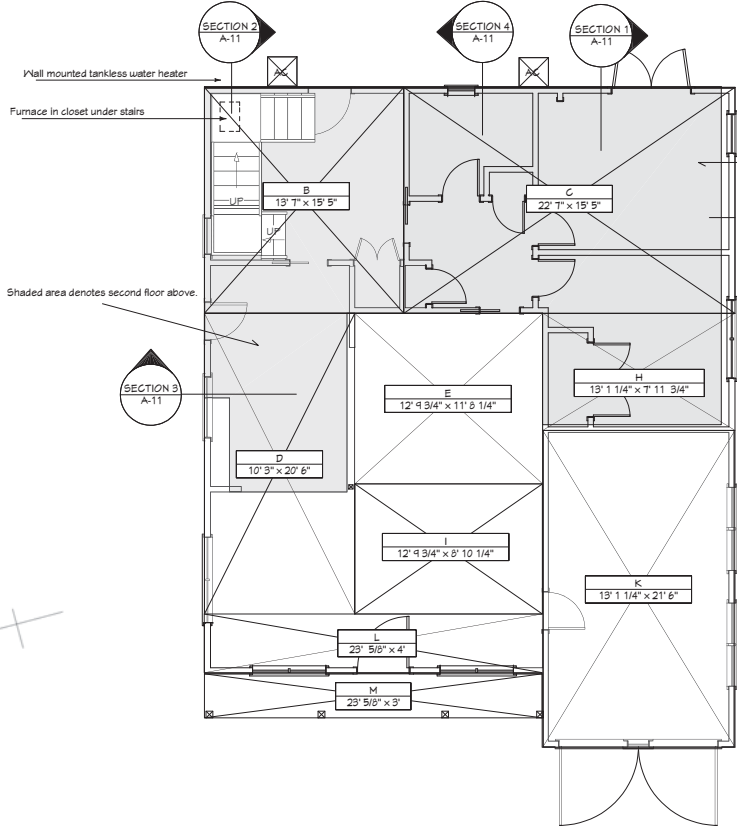
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5/26/17

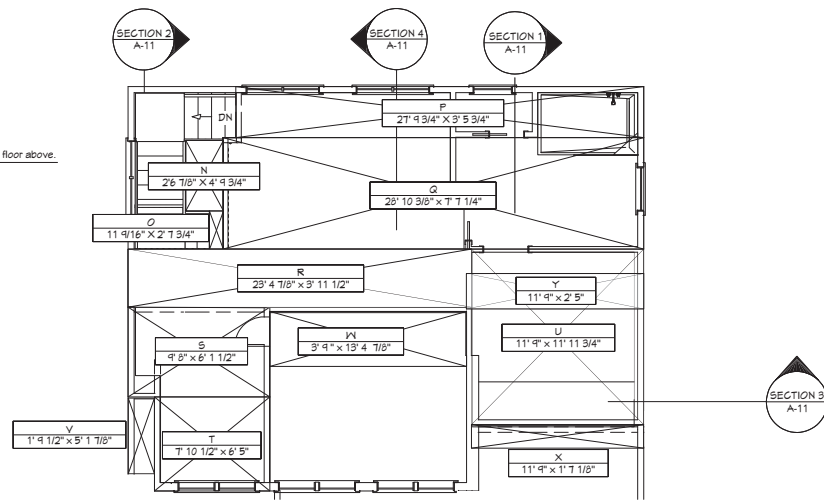
SCALE:

SHEET:

A-4



First Floor Area Calculations



Second Floor Area Calculations

FLOOR AREA CALCULATIONS

LABEL	DIMENSIONS	SQ. FT.	TOTAL	DESCRIPTION
FIRST FLOOR				
			SQ. FT.	
B	13.58 x 15.42	209.41	209.41	EXISTING TO BE REMODELED
C	22.58 x 15.42	348.16	348.16	EXISTING
D	10.25 x 20.50	210.13	210.13	EXISTING TO BE REMODELED
E	12.81 x 11.69	149.75	299.50	x2 LIVING OVER 12' CEILING
H	13.10 x 7.98	104.53	104.53	EXISTING
I	12.81 x 8.85	113.37	113.37	EXISTING TO BE REMODELED
K	13.10 x 21.50	281.65	281.65	GARAGE
L	23.05 x 4.00	92.20	92.20	NEW
N	4.81 x 2.57	000	12.36	OPEN STAIRWELL
O	2.64 x 0.96	000	2.53	OPEN STAIRWELL
TOTAL FIRST FLOOR		1509.19	1673.83	
SECOND FLOOR				
P	27.81 x 3.48	94.78	96.78	NEW SECOND FLOOR
Q	28.84 x 7.40	219.34	219.34	NEW SECOND FLOOR
R	23.41 x 3.93	91.00	184.00	x2 MASTER OVER 12' CEILING
S	9.67 x 6.13	59.26	59.26	NEW SECOND FLOOR
T	7.88 x 6.42	50.53	50.53	NEW SECOND FLOOR
U	11.75 x 11.98	140.77	140.77	NEW SECOND FLOOR
V	1.79 x 5.16	9.25	9.25	ATTIC OVER 5'
W	13.41 x 3.75	50.27	50.27	ATTIC OVER 5'
X	11.75 x 1.59	18.68	18.68	ATTIC OVER 5'
Y	11.75 x 2.42	28.40	28.40	ATTIC OVER 5'
TOTAL SECOND FLOOR		658.67	857.27	
TOTAL			2531.10	

BUILDING COVERAGE CALCULATIONS

LABEL	DIMENSIONS	SQ. FT.	TOTAL	DESCRIPTION
M	23.05 x 3.00	69.15	69.15	EXISTING PORCH REDUCED IN SIZE
FIRST FLOOR AND GARAGE		1509.19	1509.19	
TOTAL BUILDING COVERAGE			1578.34	

**USE PERMIT TRIGGER:
AREA REMODELED AND ADDED**

DESCRIPTION	SQ. FT.
EXISTING NOT REMODELED	452.69
EXISTING TO BE REMODELED	964.30
NEW	750.87
TOTAL	2167.86

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

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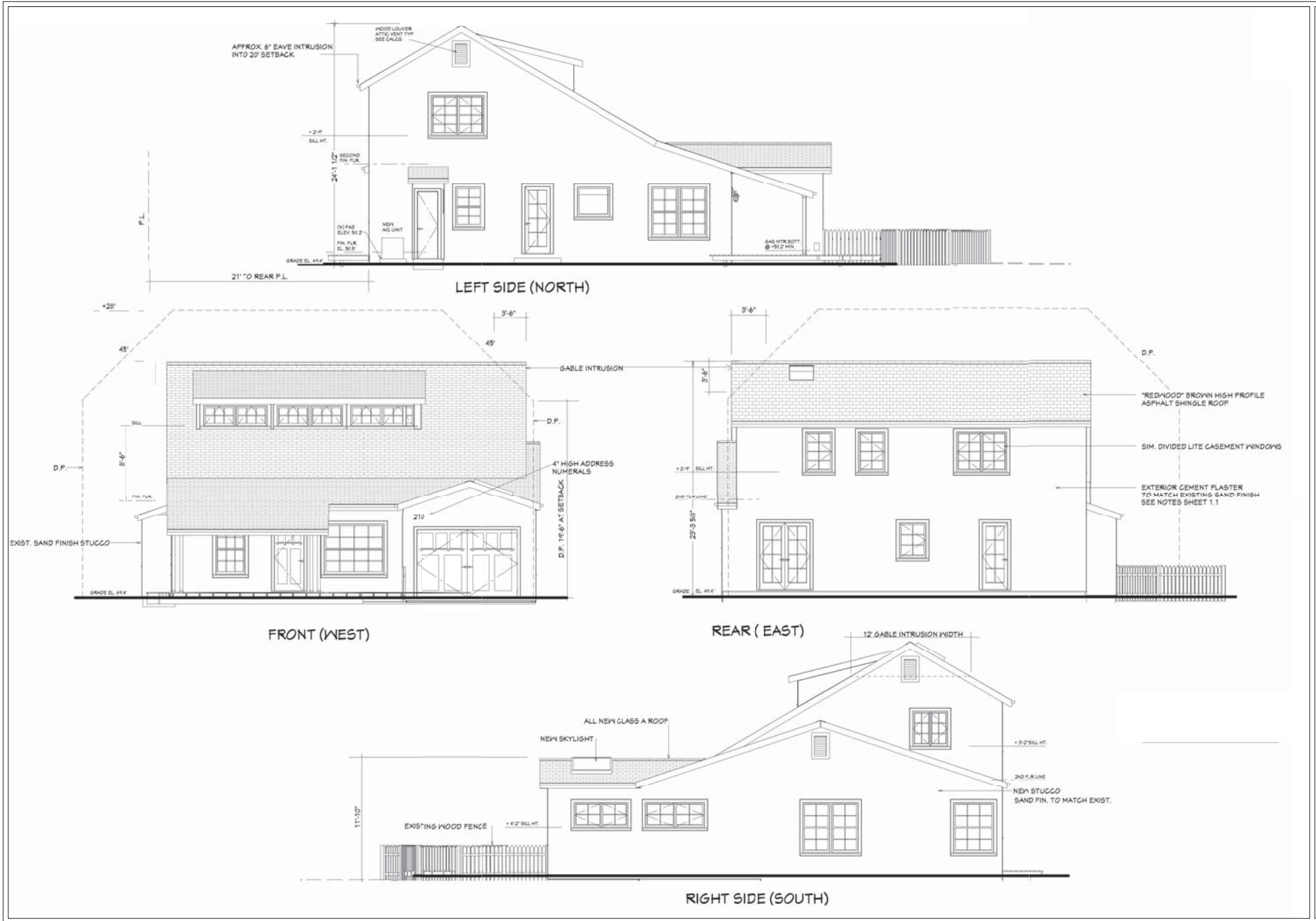
Proposed
Area Calculations

DATE:
5/26/17

SCALE:
1/4" = 1'

SHEET:

A-5



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

Use Permit Revision
 210 McKendry Drive
 Menlo Park CA

Original approved plans by
 Henry Riggs
 Revisions by
 John MacNaughton

Approved Elevations

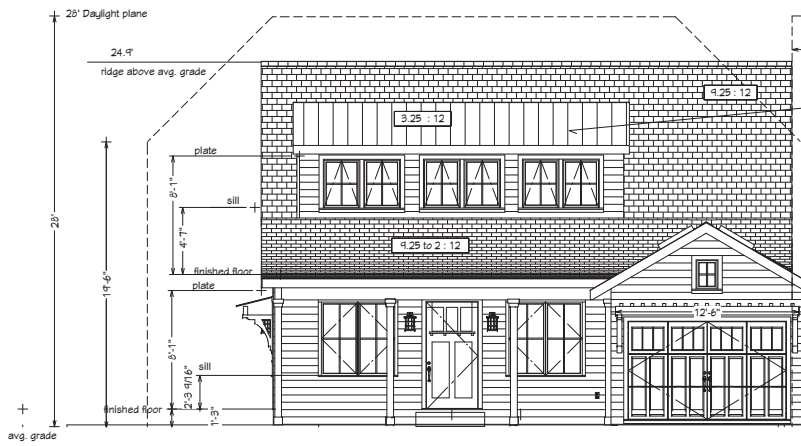
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5/26/17

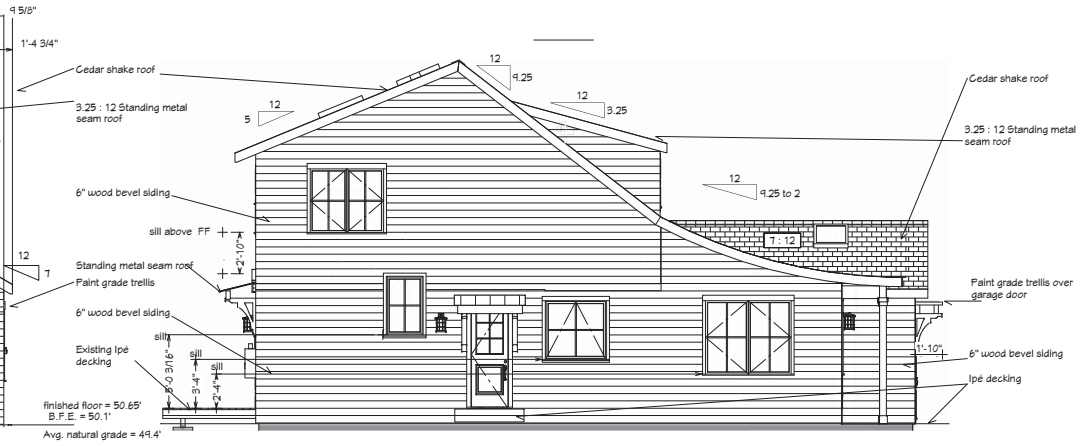
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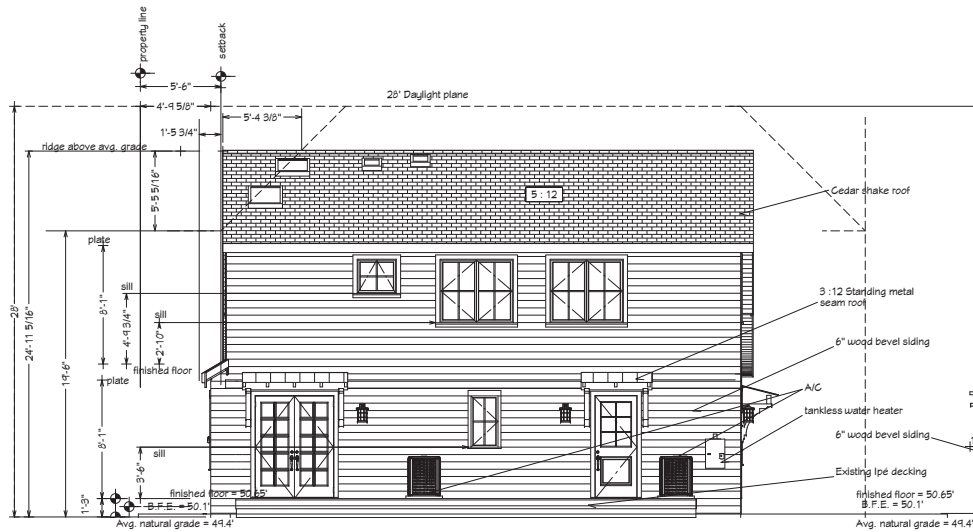
A-6



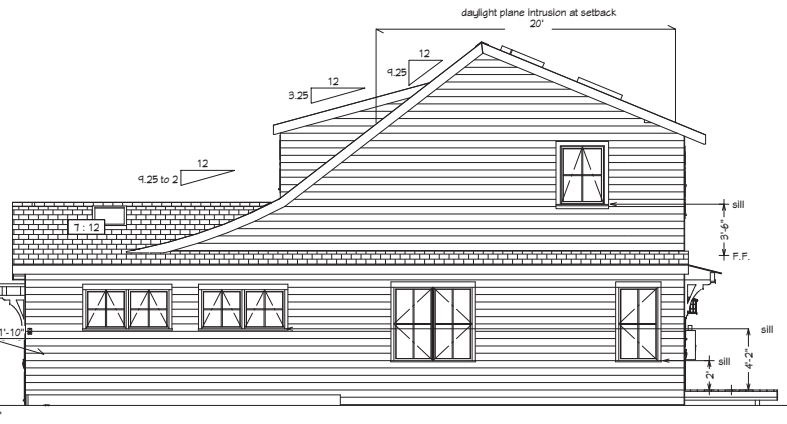
Proposed front elevation



Proposed left elevation



Proposed rear elevation and daylight plane intrusion



Proposed right elevation

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

Use Permit Revision
210 McKendry Drive
Menlo Park CA

Original approved plans by
Henry Riggs
Revisions by
John MacNaughton

Daylight plane and
proposed elevations

DATE:

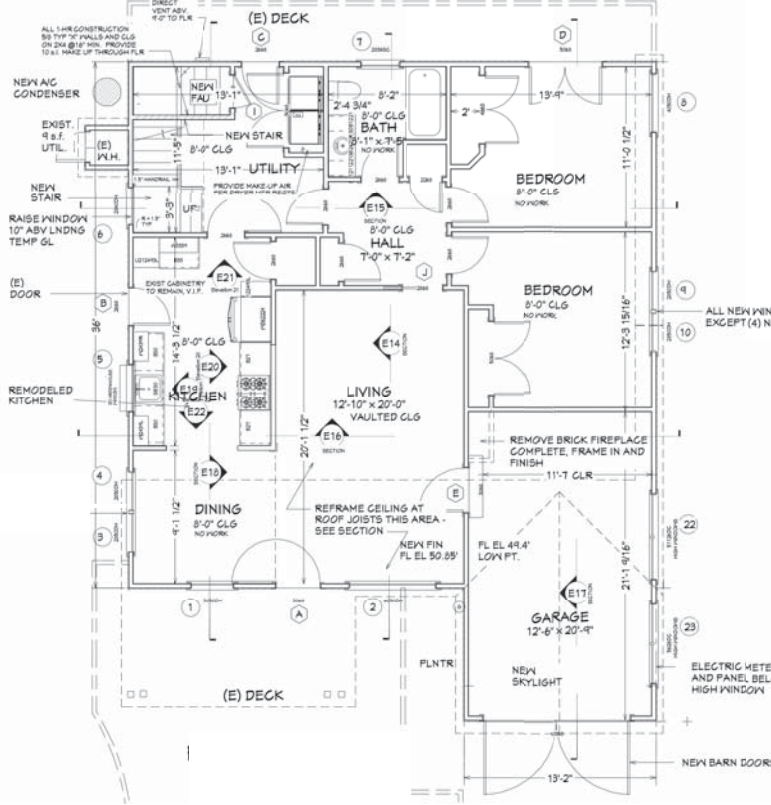
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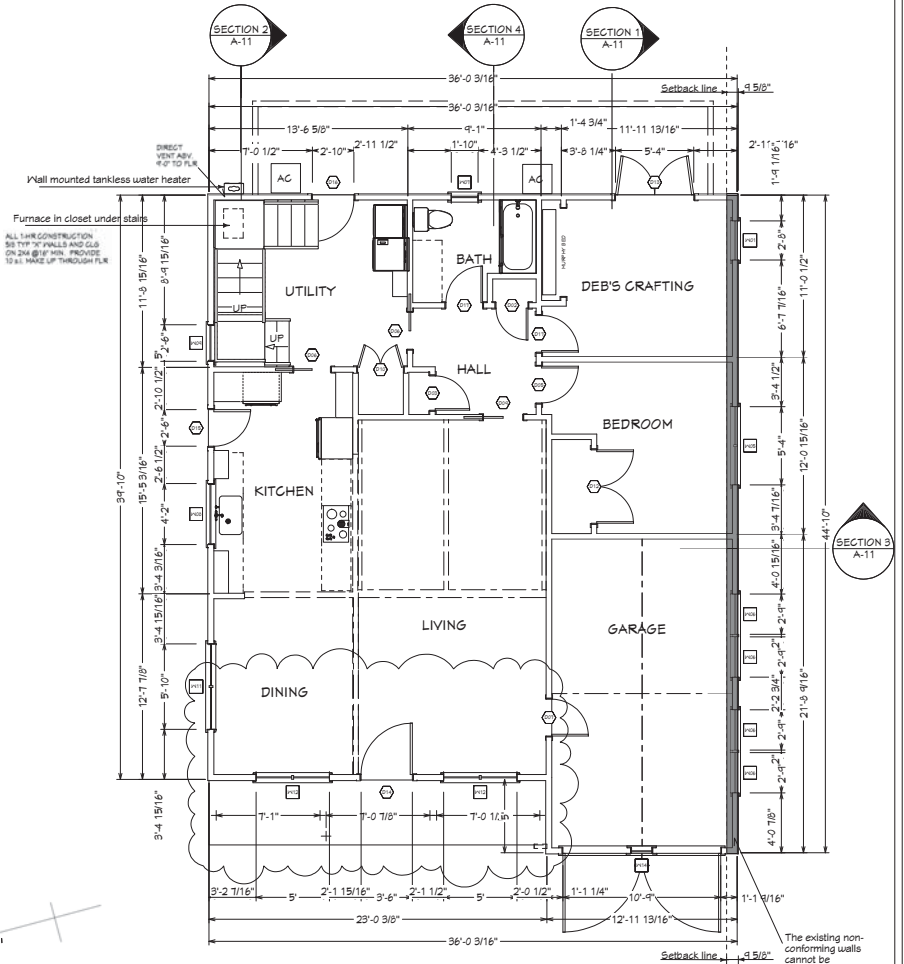
1/4" = 1'

SHEET:

A-7



Approved 1st Floor Plan



Proposed 1st Floor Plan

The existing non-conforming walls cannot be demolished past the framing members. If these walls are demolished as part of the project, they cannot be rebuilt in their current nonconforming locations, and will be required to meet the current Zoning Ordinance setback requirements.

Proposed Window Schedule

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	TOP	DESCRIPTION	DIVIDED LITES	MANUFACTURER	COMMENTS
PN01	DEB'S CRAFTING	1	1	9255DC	52"	80"	82"x60"	84"	SINGL. CASEMENT-HL	2X2		
PN02	MASTER BATH	1	2	3040APN	36"	48"	37"x44"	40"	AWNING	2X2		
PN03	MASTER STAIRS	1	2	5044DC	60"	52"	60"x52"	36"	DBL. CASEMENT-LH/LRHR	2X2 / 2X2		
PN04	DORMER	4	2	2634APN	30"	40"	31"x41"	103 13/16"	AWNING	2X2		
PN05	FRONT BEDROOM	1	1	5450DC	64"	60"	64"x60"	84"	DBL. CASEMENT-LH/LRHR	2X2 / 2X2		
PN06	GARAGE SIDE	4	1	2428APN	33"	32"	33"x32"	82"	AWNING	2X2		
PN07	1ST BATH	1	1	110265C	22"	42"	22"x42"	84"	SINGL. CASEMENT-HR	2X2		
PN08	KITCHEN SINK	1	1	4242APN	50"	48"	51"x48"	83"	AWNING	2X2		
PN09	UTILITY ROOM	1	1	2640FX	30"	48"	31"x44"	108"	FIXED GLASS	2X2		
PN10	MASTER PNC	1	2	2624APN	32"	28"	33"x24"	86"	AWNING	2X2		
PN11	DINING BENCH	1	1	5105DC	70"	60"	70"x60"	83"	DBL. CASEMENT-LH/LRHR	2X2 / 2X2		
PN12	LIVING / DINING	2	1	5050DC	60"	60"	60"x60"	83"	DBL. CASEMENT-LH/LRHR	2X2 / 2X2		
PN13	MASTER BEDROOM	2	2	5044DC	60"	52"	61"x53"	86"	DBL. CASEMENT-LH/LRHR	2X2 / 2X2		
PN14	GARAGE GABLE	1	2	1620FX	16"	24"	17"x25"	122 1/2"	FIXED GLASS	2X2		
PN15	DORMER	2	2	2634APN	30"	40"	31"x41"	85"	AWNING	2X2		

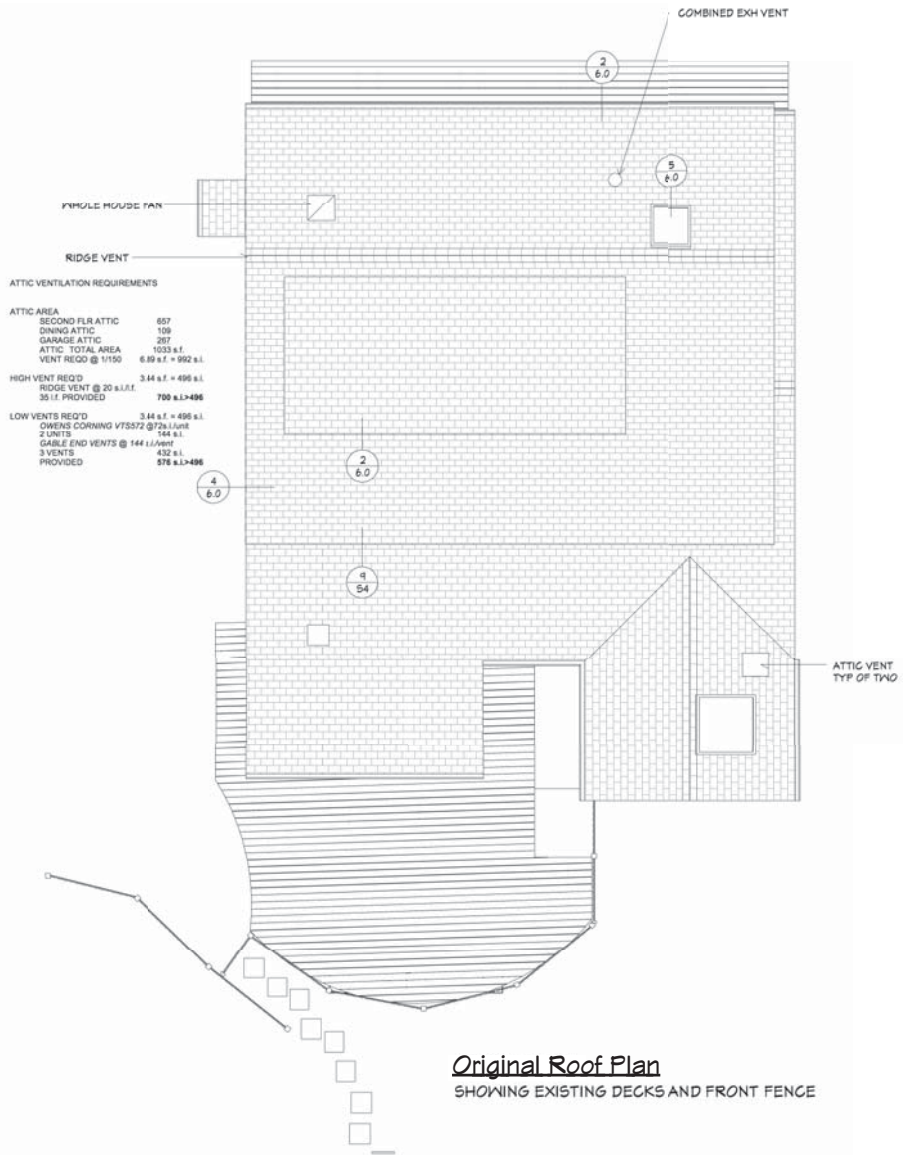
REVISION TABLE	REVISION BY	DESCRIPTION

Use Permit Revision
210 McKendry Drive
Menlo Park CA

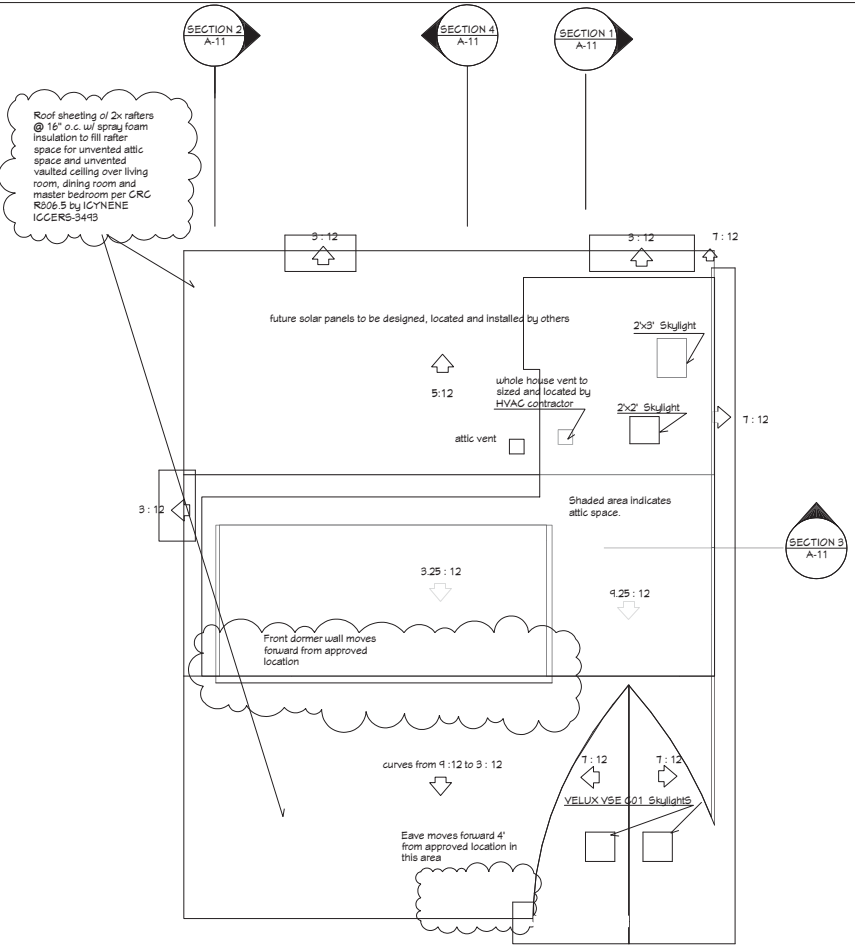
Original approved plans by
Henry Riggs
Revisions by
John MacNaughton

Side by Side
Approved and Proposed
floor plans

DATE:
5/26/17
SCALE:
1/4" = 1'
SHEET:
A-8



Original Roof Plan
SHOWING EXISTING DECKS AND FRONT FENCE



Proposed Roof Plan

ATTIC VENT CALCULATION - (MINIMUM)

TOTAL ROOF AREA (INCLUDING OVERHANG)	612 S.F.
TOTAL FREE AREA OF VENTING REQUIRED + (ROOF AREA / 300)	2.04 S.F.
MINIMUM LINEAL FT. OF RIDGE VENTS REQUIRED + (TOTAL FREE AREA S.F. / 2140 L.F.)	1.24 LN FT.
MINIMUM # OF VENTILATED BAYS REQUIRED + (TOTAL FREE AREA S.F. / TOTAL ROOF VENT AREA / 67 S.F. RAFTER BAYS)	3 BAYS

- ROOF NOTES:**
1. ROOF PITCH 7:12, UNLESS NOTED OTHERWISE
 2. OVERHANG TO BE 1'-4" FROM OUTSIDE FACE OF FRAME W/O.C.
 3. ARROWS INDICATE DRAINAGE
 4. VERIFY FREE AIR AREA OF VENTS USED AND ADJUST ACCORDINGLY
 5. ATTIC VENT CALCUS ARE BASED ON IRC 303
 6. SOFFITS TO BE VENTED WITH (3) 2" DIA HOLES PER RAFTER BAY, TOP VENTED BY RIDGE VENTS
 7. WHEN INSULATION IS INSTALLED AT THE UNDERSIDE OF ROOF DECK BETWEEN RAFTERS, NO ATTIC VENTILATION IS REQUIRED

REVISION TABLE

NUMBER	DATE	REVISION BY	DESCRIPTION

Use Permit Revision
210 McKendry Drive
Menlo Park CA

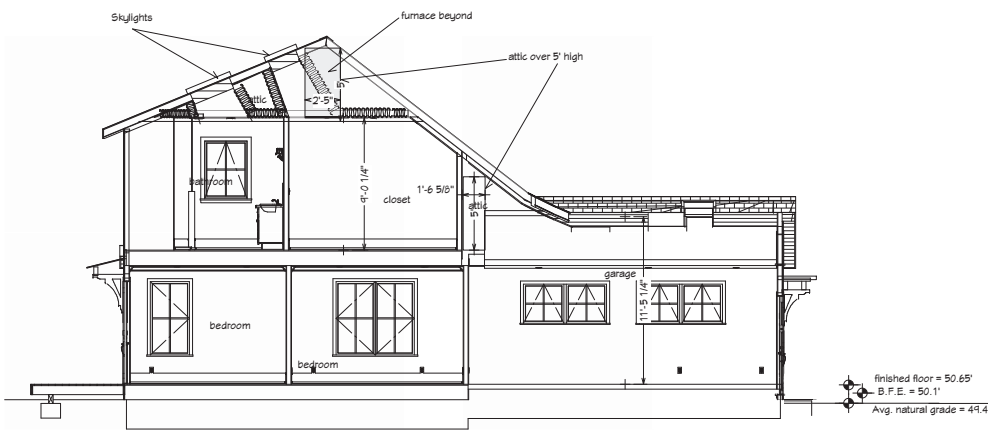
Original approved plans by
Henry Riggs
Revisions by
John MacNaughton

Approved and proposed roof plan

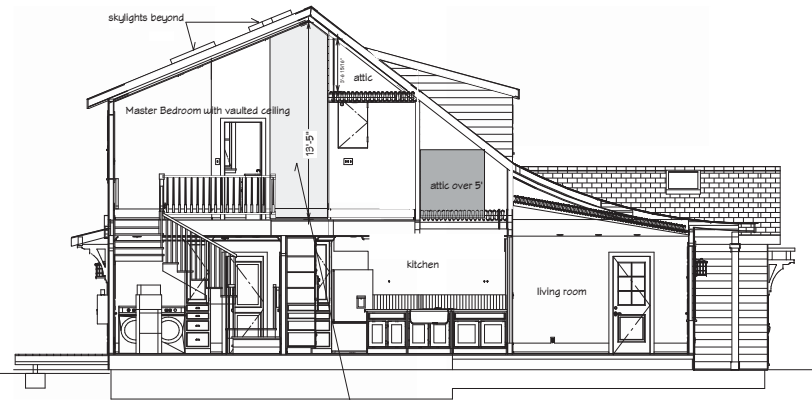
DATE:
5/26/17

SCALE:
1/4" = 1'

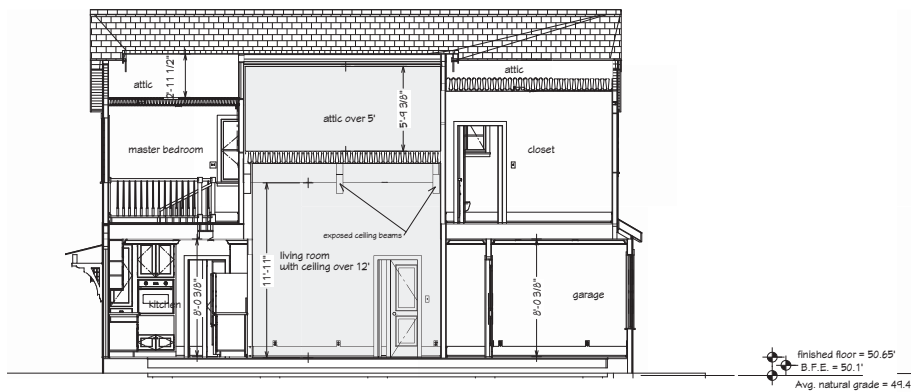
SHEET:
A-10



CROSS SECTION 1



CROSS SECTION 2



CROSS SECTION 3



CROSS SECTION 4

REVISION TABLE	REVISION BY	DESCRIPTION

Use Permit Revision
210 McKendry Drive
Menlo Park CA

Original approved plans by
Henry Riggs
Revisions by
John MacNaughton

Cross Sections

DATE:

5/26/17

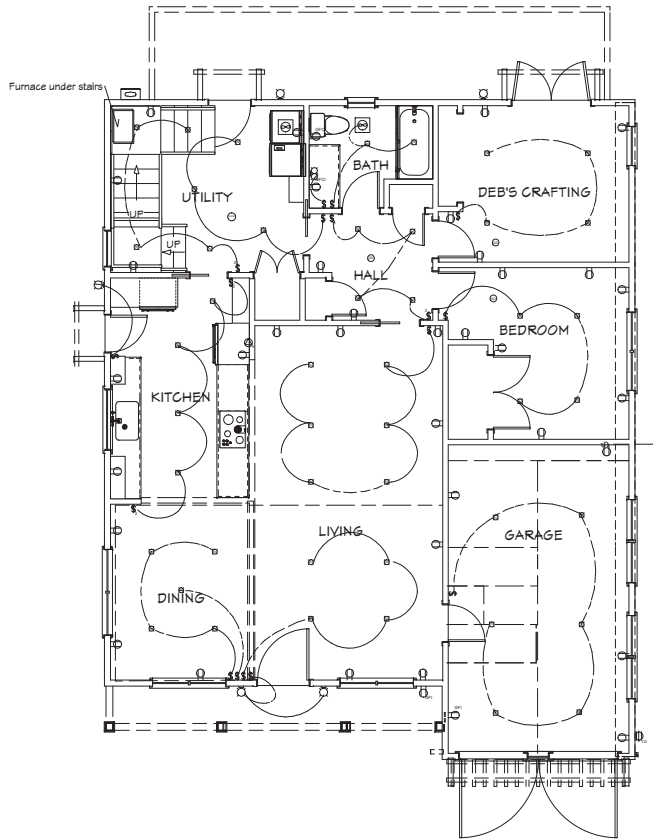
SCALE:

1/4" = 1'

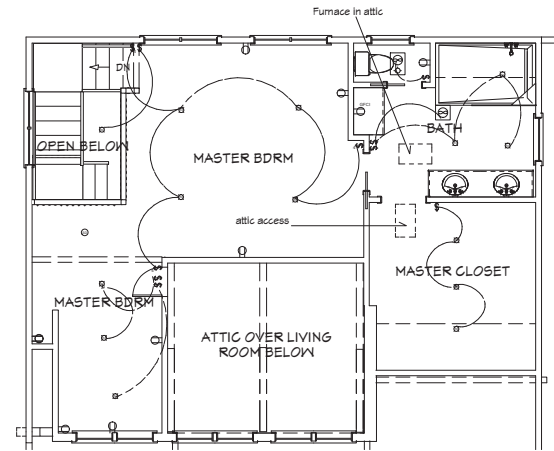
SHEET:

A-11

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



First Floor Electrical Plan



Second Floor Electrical Plan

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

Use Permit Revision
210 McKindy Drive
Menlo Park CA

Original approved plans by
Henry Riggs
Revisions by
John MacNaughton

Electrical Plans

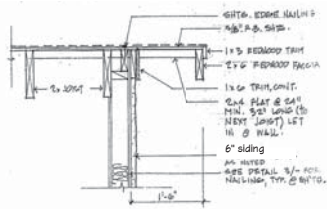
DATE:

5/26/17

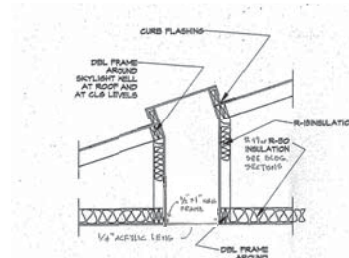
SCALE:

SHEET:

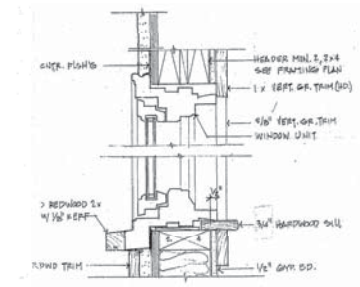
EL-1



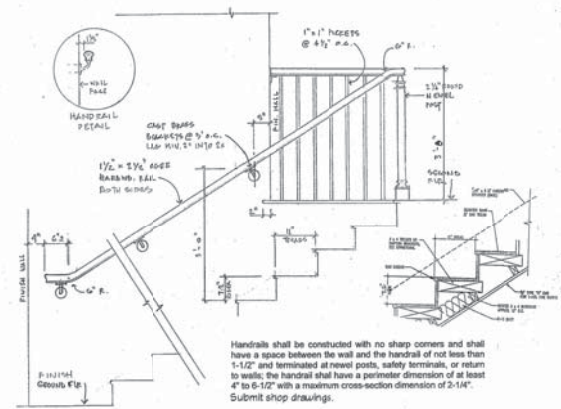
4 RAKE DETAIL
1/2" x 1'-0"



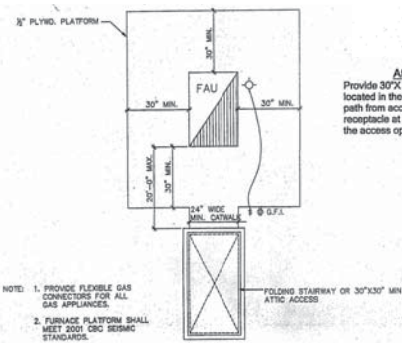
5 SKYLIGHT
1/2" x 1'-0"



3 WINDOW SILL & HEAD @ STUCCO
3/4\"/>



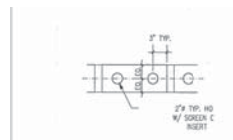
6 SECTION DETAIL @ STAIRS
3/4\"/>



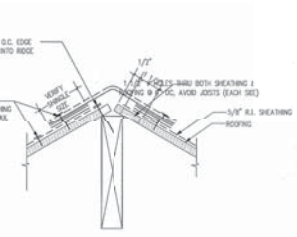
7

Attic FAU Requirements
Provide 30"X 30" minimum access to furnace located in the attic. Provide solid 24" wide platform path from access opening to the furnace, with a receptacle at the FAU and a light, switched from the access opening. CMC 908.

NOTE: 1. PROVIDE FLEXIBLE GAS CONNECTORS FOR ALL GAS APPLIANCES.
2. FURNACE PLATFORM SHALL MEET 2001 CBC SEISMIC STANDARDS.



8 BULK VENT ELEVATION
7/16"



9 RIDGE VENT & NAILING
3/4"

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

Use Permit Revision
210 McKendry Drive
Menlo Park CA

Original approved plans by
Henry Riggs
Revisions by
John MacNaughton

Details

DATE:

5/26/17

SCALE:

SHEET:

D-1

IMPERVIOUS AREA WORKSHEET

Page 1

Submit this form with the improvement plan set to the City of Menlo Park Engineering Division.

Date: _____ APN: _____

Property Address: _____

Project Description: _____

Contact Name: _____

Contact Telephone Number: _____

Contact Email: _____

Title And Sheet# of Submitted Drawing used For Calculations: _____

Land Use (Circle One): Residential Commercial Industrial Professional Roadway

Drainage Basin (Circle One):
(See the Hydrology Report Requirements for a Drainage Basin map.)
Atherton Creek San Francisco Creek San Francisco Bay

I certify that the calculations below accurately reflect the proposed changes and final impervious surfaces for the above project.

Calculations Performed By (Print): _____
Title: _____

Calculations Performed By (Signature): _____
Date: _____

IMPERVIOUS AREA WORKSHEET

Page 2

IMPERVIOUS AREA TABLE			
Total Area of Parcel		A	ft ²
Existing Pervious Area		B	ft ²
Existing Impervious Area		C	ft ²
Existing % Impervious	$\frac{C}{A} \times 100$	D	%
Existing Impervious Area To Be Replaced W/ New Impervious Area		E	ft ²
Existing Pervious Area To Be Replaced W/ New Impervious Area		F	ft ²
New Impervious Area (Creating and/or Replacing)* *If greater than 10,000sqft, a hydrology report must be submitted	E + F	G	ft ²
Existing Impervious Area To Be Replaced W/ New Pervious Area		H	ft ²
Net Change In Impervious Area ¹	F - H	I	ft ²
Proposed Pervious Area	B - I	J	ft ²
Proposed Impervious Area* *Verify that J + K = A.	C + I	K	ft ²
Proposed % Impervious	$\frac{K}{A} \times 100$	L	%

¹Net change in impervious area is the area required by

IMPERVIOUS AREA WORKSHEET

Page 2

IMPERVIOUS AREA TABLE			
Total Area of Parcel		A	ft ²
Existing Pervious Area		B	ft ²
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New Impervious Area (Creating and/or Replacing)* *If greater than 10,000sqft, a hydrology report must be submitted	E + F	G	ft ²
Existing Impervious Area To Be Replaced W/ New Pervious Area		H	ft ²
Net Change In Impervious Area ¹	F - H	I	ft ²
Proposed Pervious Area	B - I	J	ft ²
Proposed Impervious Area* *Verify that J + K = A.	C + I	K	ft ²
Proposed % Impervious	$\frac{K}{A} \times 100$	L	%

¹Net change in impervious area is the area required by

IMPERVIOUS AREA WORKSHEET

Page 2

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Existing Impervious Area To Be Replaced W/ New Impervious Area		E	ft ²
Existing Pervious Area To Be Replaced W/ New Impervious Area		F	ft ²
New Impervious Area (Creating and/or Replacing)* *If greater than 10,000sqft, a hydrology report must be submitted	E + F	G	ft ²
Existing Impervious Area To Be Replaced W/ New Pervious Area		H	ft ²
Net Change In Impervious Area ¹	F - H	I	ft ²
Proposed Pervious Area	B - I	J	ft ²
Proposed Impervious Area* *Verify that J + K = A.	C + I	K	ft ²
Proposed % Impervious	$\frac{K}{A} \times 100$	L	%

¹Net change in impervious area is the area required by

REVISION TABLE
NUMBER DATE REVISION BY DESCRIPTION

Use Permit Revision
210 McKendry Drive
Menlo Park CA

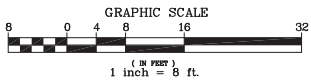
Original approved plans by
Henry Riggs
Revisions by
John MacNaughton

DATE:

5/26/17

SCALE:

SHEET:



7-30-2015

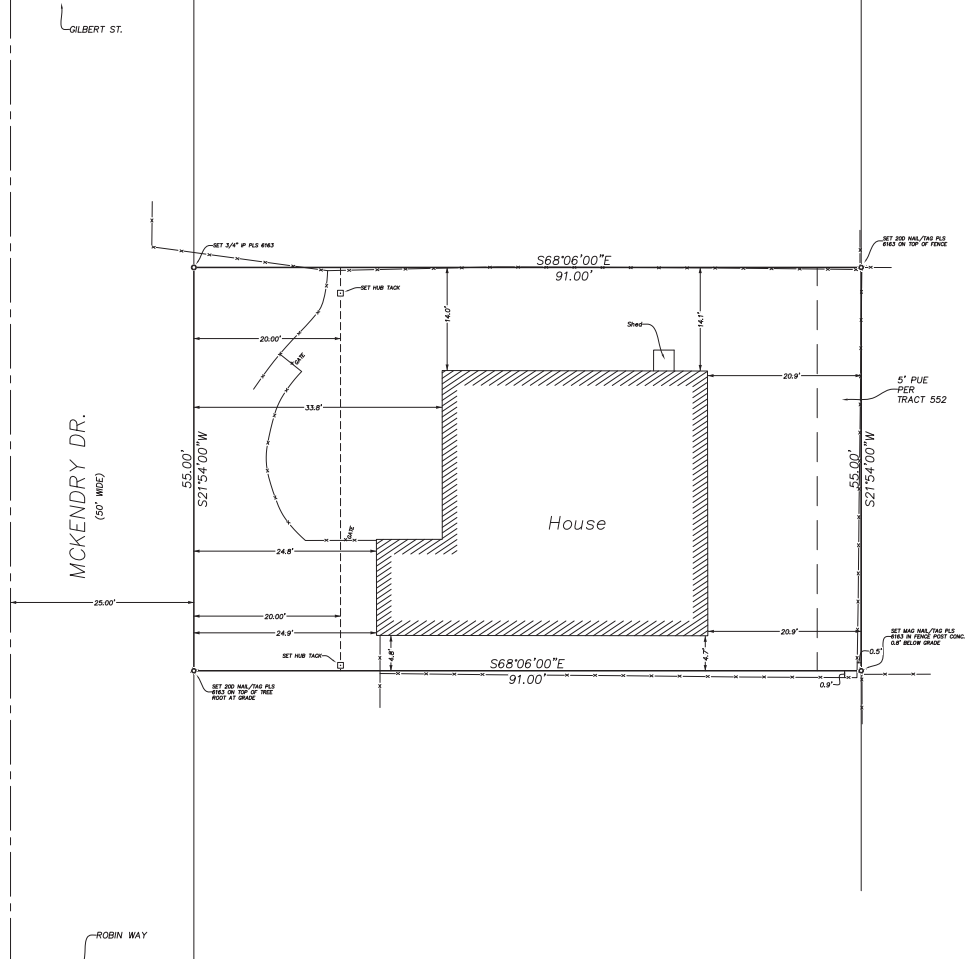


ABBREVIATIONS
 P.U.E PUBLIC UTILITY EASEMENT

LEGEND

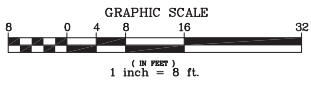
- SET 2x2 WOOD STAKE W/TACK
- SET 3/4" IP "PLS 6163" (OR SET POINT AS NOTED)
- FENCE

NOTES
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 BOUNDARY CONTROL: SEE CONCURRENT CORNER RECORD
 BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.
 DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. (STUCCO/SIDING)
 EXISTING HARDSCAPE IS NOT SHOWN ON THIS SURVEY. THIS IS A PARTIAL TOPOGRAPHIC SURVEY
 THE PARCELS BOUNDARY HAS BEEN ESTABLISHED UTILIZING A FIELD-BASED BOUNDARY SURVEY



SURVEY
 210 MCKENDRY DR.
 MENLO PARK
 APN: 062-312-030
 LOT 207, 25 MAPS 37
 LOT AREA: 5,005 SQ. FT

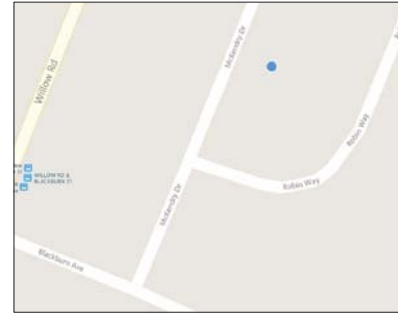
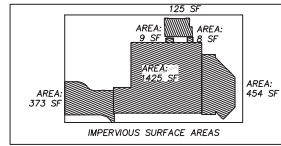
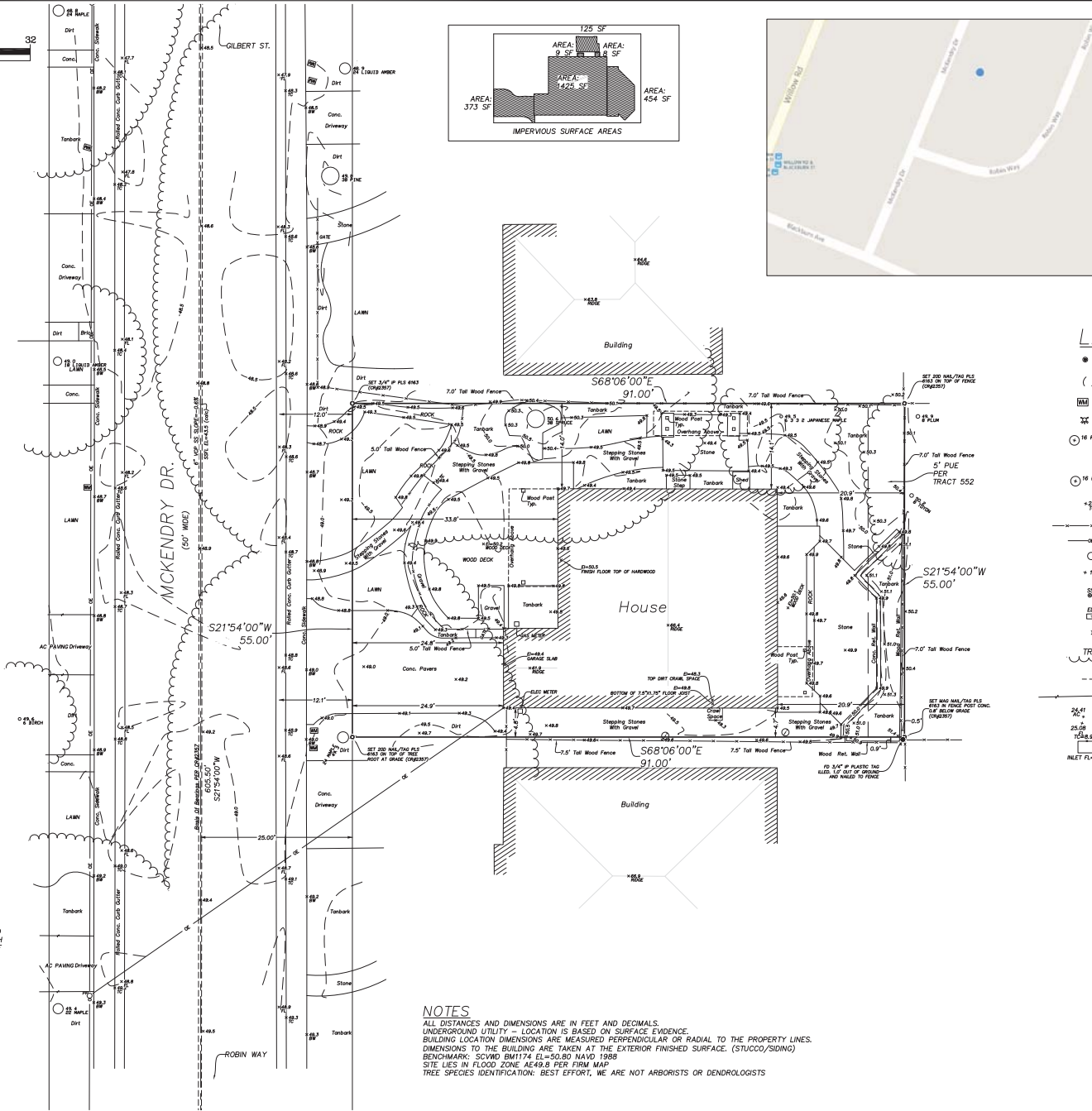
L. Wade Hammond
 Licensed Land Surveyor
 No. 6163
 36660 Newark Blvd. Suite C
 Newark, California 94560
 Tel: (510) 579-6112 Fax: (510) 991-8054
 wade@wadehammondpls.com



9-15-2015

ABBREVIATIONS

- AC ASPHALT
- BW BACK OF WALK
- CONC. CONCRETE
- TC TOP OF CURB
- FL FLOW LINE
- SOMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- P.U.E. PUBLIC UTILITY EASEMENT



LEGEND

- FOUND POINT IN MONUMENT CASTING (AS NOTED)
- () RECORD DATA / REFERENCE
- ⊠ WATER METER OR WATER VALVE BOX
- ⊠ FIRE HYDRANT
- 16 PINE TREE - TRUNK DIAMETER IN INCHES
- 16 PINE TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS
- 16 PINE TREE WITH MULTIPLE TRUNKS
- ⊠ 12.34 TOP OF CURB
- ⊠ FENCE
- ⊠ OVERHEAD WIRES
- 12.34 POWER POLE
- ⊠ 12.34 SPOT ELEVATION
- ⊠ 12.34 SANITARY SEWER CLEAN OUT
- ⊠ 12.34 UTILITY BOX-TYPE AS NOTED SIZE AS DRAWN
- ⊠ ELECTROLER
- ⊠ TRUNK TREE DRIP LINE POINTS TOWARDS TREE TRUNKS.
- ⊠ TRUNK TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
- ⊠ POLE ANCHOR
- ⊠ EDGE OF AC PAVING
- ⊠ AC PAVING
- ⊠ FLOW LINE
- ⊠ STORM DRAIN CURB INLET

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



L. Wade Hammond

NOTES

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
- UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
- BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL TO THE PROPERTY LINES.
- DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. (STUCCO/SIDING)
- BENCHMARK: SOUNDBM174 EL=50.80 WARD 1988
- SITE LIES IN FLOOD ZONE AE49.8 PER FIRM MAP
- TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS

SURVEY
 210 MCKENDRY DR.
 MENLO PARK
 APN: 062-312-030
 LOT 207, 25 MAPS 37
 LOT AREA: 5,005 SQ. FT GROSS & NET

L. Wade Hammond
 Licensed Land Surveyor
 No. 6163
 36660 Newark Blvd. Suite C
 Newark, California 94560
 Tel: (510) 579-6112 Fax: (510) 991-8054
 wade@wadehammondpls.com

PROJECT DESCRIPTION
210 McKendry Drive
revised 4/16/17

Owners Deborah Wachs and Andrew Barnes applied for and was granted a use permit on 2/8/2016 to add a second floor and conduct modifications to their existing nonconforming house on a substandard lot zoned R-1-U.

They are requesting to make the following changes in order to improve the exterior appeal and to better refine their targeted California Cape Cod style;

1. Change stucco to 6" horizontal siding that will be painted white.
2. Change roofing material from asphalt shingles to cedar shakes and standing seam metal roofing over the dormer and side and rear porches.
3. Pull the front of the first floor forward 4'. This will enlarge the undersized dining and living rooms. The front porch will be reduced by 4'.
4. Change the roof lines and pitches to improve dormer proportions and the scale of the front elevation. See sheets A-6 and A-7.
5. A trellis was added over the garage door to break up the massing.
6. House height of 24.9 feet instead of 24.1 feet, where 28 feet is the maximum permitted. The first floor was raised 6". The new proposed drawings now reflect this.
7. The right side gable will intrude into the daylight plane 5.44 feet instead of 3.5 feet, where 8.3 feet is the maximum permitted intrusion. The length of the gable intrusion into the daylight plane will change to 20 feet instead of 12 feet, where 30 feet is the maximum permitted. Most of this change results from raising the floor up 6".
8. Originally most windows were being reused, now all windows are new wood clad bronze colored double-glazed windows. See window schedule for exact sizes.
9. The owners visited the same seven families as they visited for the original use permit all were supportive of the proposed modifications. Please see attached outreach summary.

2.16.17

210 McKendry Drive, Barnes Family renovation and second story addition

Use Permit Revision

Results of Neighborhood Outreach – Same neighbors visited for original use permit

RECEIVED

FEB 27 2017

CITY OF MENLO PARK
BUILDING

Robin Way			215		
McKendry	218	214	subject 210	206	202
McKendry			213	209	

Address		Feedback
Robin Way (street directly behind)		
215 Robin Way	Tkuehnl	These are the neighbors immediately behind our property. We have met and reviewed our plans with them. They understand our revisions and they are supportive of our project modifications.
McKendry (Same Side)		
218	Grundy	We have met and reviewed our plans with them. They understand our revisions and they are supportive of our project modifications.
214	Hsu	We have met and reviewed our plans with them. They understand our revisions and they are supportive of our project modifications.
206	Fox	We have met and reviewed our plans with them. They understand our revisions and they are supportive of our project modifications.
202	McGrew	We have met and reviewed our plans with them. They understand our revisions and they are supportive of our project modifications.
McKendry (Opposite Side)		
213	Mulcahy	We have met and reviewed our plans with them. They understand our revisions and they are supportive of our project modifications.
209	Knitter	We have met and reviewed our plans with them. They understand our revisions and they are supportive of our project modifications.

Kiely Arborist Services LLC

Certified Arborist WE#0476A
P.O. Box 6187
San Mateo, CA 94403
650-515-9783

November 20, 2015, Revised January 27, 2016

Mr. Andrew Barnes
210 McKendry
Menlo Park, CA

Site: 210 McKendry, Menlo Park, CA

Dear Mr. Barnes,

As requested on Wednesday, November 18, 2015, I visited the above site to inspect and comment on the trees. A home addition consisting of a second story is planned for this site, and your concern as to the health and safety of the trees has prompted this visit. As required a tree protection plan is included for the trees to be retained.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

- 1 - 29 Very Poor
- 30 - 49 Poor
- 50 - 69 Fair
- 70 - 89 Good
- 90 - 100 Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1	London plane (<i>Platanus x acerifolia</i>)	27.6	65	50/45	Good vigor, fair form, multi leader at 8 feet with good crotch formations, street tree, 4.5 feet from sidewalk, 2 feet from driveway, damaging sidewalk.
2	Liquidambar (<i>Liquidambar styraciflua</i>)	25.3	50	75/45	Good vigor, fair-poor form, history of limb loss, heavy to the north, multi leader at 35 feet, suppressed by surrounding trees.
3	Douglas fir (<i>Pseudotsuga menziesii</i>)	42.1	70	110/50	Good vigor, good form, slight lean east, heavy amount of buttress roots, 1 foot from property line, 4 feet from deck, 10 feet from foundation.
4	Japanese maple (<i>Acer palmatum</i>)	11.3@base	55	20/20	Good vigor, poor form, multi leader at base with poor crotch formations, 1 feet from property line, aesthetically pleasing.
5*	Plum (<i>Prunus spp.</i>)	8@base est.	40	30/25	Poor vigor, poor form, in decline, multi leader, 3 feet from property line.
6*	Pittosporum (<i>Pittosporum tobira</i>)	10est	50	40/30	Good vigor, poor-fair form, multi leader at 3 feet with poor crotch formations, 2 feet from property line.
7*	Redwood (<i>Sequoia sempervirens</i>)	40est	40	85/60	Good vigor, poor form, codominant at base, 30 feet from property line, leader leaning towards home, upright leader severely topped.
8*	Monterey pine (<i>Pinus radiata</i>)	40est	40	100/45	Poor vigor, poor form, leans towards home, bark beetles at base, codominant at last 15 feet.

Summary:

There are many large protected trees located on this site. No trees are planned to be removed, all are to be retained. At this time a second story is proposed. The home will need to be lifted off of the foundation to be in compliance with FEMA, as the home renovation is 50% of the replacement value. On January 3rd the structural engineer informed me that lifting the house by inserting 3x plates should not impact any roots. The underpinning of the existing foundation to support the new loads may have minor impacts to the large Douglas fir near the home. The extra excavation for the underpinning process will be hand dug when beneath the drip line of the large Douglas fir. The site arborist will need to inspect this work in order to offer mitigation measures

as a result of the extra excavation for underpinning. Large roots in this area will be need to be saved and worked around. A landscape buffer zone should be installed near the Douglas fir on site to fight against compaction. Roots in this area are expected to be minimal as the existing foundation likely acted as a root barrier.

Trees #1-3 and #7-8 are of protected size and will need to be protected in the city of Menlo Park. Street tree #1 is a large London plane sycamore tree. This tree is a city maintained tree. No pruning can take place to this tree without city consent and permit. This tree is located between 2 neighboring driveways in a landscaped strip. The landscaped strip shall be fenced off during the duration of the project. The driveway is to be retained and be used for the staging of materials. This will help fight against compaction for the other surrounding trees, that do not have the protection of a concrete surface. The existing driveway allows for annual rainfall to reach the trees roots as it is of a pervious material. This greatly increased the trees ability to retain water.

Tree #2 is a large liquidambar street tree. This is also a city maintained street tree. This tree has good vigor with fair-poor form. The trees foliage is heavy to the north as a result of being suppressed by the surrounding trees. This tree is multi leader at 35 feet and has a history of limb loss. No construction activities will take place in close proximity to this tree, as it is in a good location in the front corner of the lot. Tree protection for this tree will be located outside the drip line of the tree.

Tree #3 is a large Douglas fir tree. This tree is in close proximity to the existing home. The homes foundation is 10 feet from the tree. There is a wooden deck that extends out form the foundation and comes within 4 feet of the tree. Access to the property should take place on the opposite side of the property as there are no trees other than the London plane sycamore tree that has its roots protected by driveways and the protected landscape strip. This will help with the threat of compaction to the roots of the large Douglas fir tree. The tree protection fencing for this tree should be located as close as possible to the home and extend out to the drip line or as far as possible. A small number of limbs may need to be removed from this tree to facilitate the building of a second story. These limbs shall be removed by a licensed tree care provider to ensure proper techniques are used. Impacts to this tree are expected to be minor to nonexistent.

Trees #7 and #8 are both 30 plus feet away from the property line. The existing fence between the properties shall serve as sufficient tree protection. Both of these trees have serious form and health flaws. Redwood tree #7 is codominant at base with a poor crotch formation. The large upright leader has been topped and the leaning leader leans towards the property. This tree would need to be examined close up to quantify its risk of failing. Tree #8 is a large Monterey pine street tree. Bark beetle pitch tubes were located at the base of this tree. Once bark beetles have damaged the trees cambium, the trees life expectancy is extremely shortened. This tree should be looked at by the cities arborist or urban forester as it is a candidate for removal in my opinion. These trees will not be affected by construction as they are far enough away from construction activities.

The rest of the trees on site are not of protected size although they are recommended to be protected in the same way as the protected trees on site. Impacts to the trees on site are expected to be minor- nonexistent as no digging, excavation or grading will be occurring. The following tree protection plan will help reduce the impacts to the retained trees on site.

Tree Protection Plan:

Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for tree protection should be 6' tall, metal chain link material supported by metal 2" diameter poles, pounded into the ground to a depth of no less than 2'. The location for the protective fencing should be as close to the dripline of desired trees as possible, still allowing room for construction to safely continue. In areas where construction activities will not be occurring the tree protection zone should be expanded as far as possible. The tree protection fence for the trees must be maintained throughout the entire project.

No equipment or materials shall be stored or cleaned inside the protection zones. Areas outside protection fence, but still beneath the tree's driplines, where foot traffic is expected to be heavy, should be mulched with 4-6" of chipper chips covered with plywood. The spreading of chips will help to reduce compaction and improve soil structure.

Staging

Prior to the start of the project, all tree protection measures must be in place. An inspection prior to the start of the construction is required. All vehicles must remain on paved surfaces if possible. Existing pavement should remain and should be used for staging. If vehicles are to stray from paved surfaces, 4 to 6 inches of chips shall be spread and plywood laid over the mulch layer. This type of landscape buffer will help reduce compaction of desired trees. Parking will not be allowed off the paved surfaces. The lifting of the foundation, when inside the driplines of protected trees, should be carried out with care. No digging will be taking place at this site. Tree protection fencing may need to be moved to facilitate lifting of the foundation near tree #3. The site arborist should be notified and the relocated fence should be inspected.

Root Cutting

If any roots are to be cut (not expected as there will be no digging at this site) they shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Trenching

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time (24 hours), will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

Irrigation

Normal irrigation shall be maintained on this site at all times. During the warm season, April – November, I typically recommend some additional heavy irrigation, 2 times per month. During the winter months, it will not be necessary to irrigate unless there will be trauma to the root zone of the protected trees. Seasonal rainfall may reduce the need for additional irrigation. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A

David P. Beckham
Certified Arborist WE#10724A

Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650- 515-9783

April 20, 2017

Cambridge Builders / Mr. Andrew Barnes
210 McKendry Drive
Menlo Park, CA

RE: Arborist report dated November 20, 2015 and Revised January 27, 2016
Site: 210 McKendry Drive, Menlo Park, CA

Dear Sirs,

As requested on Thursday, December 1, 2017, I visited the above site for the purpose of inspecting and commenting on the excavation near the large Douglass fir tree. The plans for the home have had revisions including the first floor of the home being pulled forward by an extra 4 feet. Your concerns as to the future health and safety of the large Douglass fir tree has prompted this visit.



Showing the extra 4 feet of excavation

attack the tree. The soaker hose shall be at least 18 inches away from the trunk of the tree. The soaker hose shall be placed underneath the dripline of the tree and out to 18 inches past the dripline of the tree where possible. Soil staples can easily hold the soaker hose in place. The water shall be turned on until water has penetrated to a depth of 18 inches (estimated time is 4 hours). This type of irrigation shall be applied April to the end of October when seasonal rainfall has begun. Irrigation frequency during the 2017 year shall be applied twice a month. In year 2018 irrigation frequency shall be applied once a month. Irrigation after 2 years shall be applied once every other month as needed. The tree is expected to survive the minor impacts as the tree is in good health.

Summary:

All excavation was carefully done by hand when excavating near the large Douglass fir tree. No roots measuring 2 inches in diameter or over were found. Small fibrous roots were observed. The impact from the minor changes to the plan are not expected to change the impact level to the tree as no significant roots were encountered. It is recommended to irrigate the Douglass fir tree using a soaker hose to mitigate the small amount of root loss (fibrous roots only). Do not allow the trunk of the tree to get wet as this could allow pathogens to enter the bark and


210 McKendry 4/20/17

(2)

None of the other proposed revisions to the original plans are expected to have an impact on the tree, or cause changes to the original arborist report dated November 20, 2015 and Revised January 27, 2016.

This information should be kept on site at all times. The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,


Kevin R. Kielty

Certified Arborist WE#0476A


David P. Beckham

Certified Arborist WE#10724A





Regular Meeting Minutes - EXCERPT

Date: 2/8/2016
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair John Onken called the meeting to order at 7:01 p.m.

B. Roll Call

Present: Combs, Ferrick, Goodhue, Kadvany, Kahle, Onken (Chair), Strehl (Vice Chair)

Absent: None

Staff: Thomas Rogers, Principal Planner; Corinna Sandmeier, Associate Planner; Kyle Perata, Senior Planner; Tom Smith, Associate Planner

F. Public Hearing

F4. Use Permit/Henry Riggs/210 McKendry Drive:

Request for a use permit to add a second floor, as well as conduct interior modifications, to a single-family residence that would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The subject parcel is located on a substandard lot in the R-1-U (Single-Family Urban) zoning district. ([Staff Report #16-007-PC](#))

Staff Comment: Associate Planner Corinna Sandmeier said staff had no additions to the written report.

Applicant Presentation: Ms. Deborah Wachs, property owner, said she and her husband had worked with Henry Riggs, the project architect, for about three-quarters of a year to develop the project design.

Chair Onken opened the public hearing. There being no speakers, he closed the hearing.

Commission Comment: Chair Onken said he liked the long wall with the smaller windows and it appeared an idiosyncratic salt box house.

Commissioner Kahle questioned why the addition was mainly in the rear noting there was a lot of roof in the front. He said the existing home was very charming and keeping that charm and tying it into the addition would have been his preference.

Ms. Wachs said many of the homes in the Willows have a front room that pops up into the attic.

She said their front room extends up to the height of the current roof and they wanted to keep that open spatial feeling rather than have the second story there.

Commissioner Ferrick said she liked the project noting it was a modest addition. She said on the left side there was a 14-foot side setback which was generous. She said there appeared to be landscape screening for the window on the right side, which side had a smaller setback. Ms. Wachs indicated that was correct. Commissioner Ferrick said she liked the farmhouse look and dormer.

Chair Onken moved to approve the item as recommended in the staff report. Commissioner Combs seconded the motion.

ACTION: Motion and second (Onken/Combs) to approve the item as recommended in the staff report, passes 6-1 with Commissioner Kahle opposed.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Henry L. Riggs, consisting of 9 plan sheets, dated received January 28, 2016, and approved by the Planning Commission on February 8, 2016, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.

- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

H. Adjournment

Chair Onken adjourned the meeting at 8:00 p.m.

Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett

Approved by the Planning Commission on March 21, 2016

STAFF REPORT



Planning Commission

Meeting Date: 6/5/2017
Staff Report Number: 17-037-PC

Public Hearing: Use Permit/Clear Labs/3565 Haven Avenue

Recommendation

Staff recommends that the Planning Commission approve a use permit for the use and storage of hazardous materials for the research and development (R&D) of a food safety testing platform located in an existing building in the M-2 (General Industrial) zoning district, at 3565 Haven Avenue. All hazardous materials would be used and stored within the building. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The project site is an existing office and light industrial building located at 3565 Haven Avenue, at the center of the street. Haven Avenue is a street between the Cargill Salt Ponds to the north, and the Bayshore Freeway (US-101) to the south. Other adjacent and nearby parcels on Haven Avenue are occupied by a variety of warehouse, light manufacturing, R&D, and office uses, as well as multifamily residential uses currently under development. Properties on the south side of Haven Avenue are located in Redwood City, while properties on the north side of Haven Avenue are located within the City of Menlo Park. A location map is included as Attachment B.

Other facilities in the area received hazardous materials use permits in the past, including 3760 Haven Avenue and 3700 Haven Court, the latter of which was approved in 2016. The closest residential uses are Anton Menlo and Elan Menlo Park, located at 3639 Haven Avenue and 3645 Haven Avenue respectively, which are both currently under construction approximately 300 feet, and 900 feet east of the subject property. Additional residential uses are located approximately 600 feet away, across US Highway 101 on Rolison Road in Redwood City, and approximately 650 feet away, on East Bayshore Road in unincorporated San Mateo County.

ConnectMenlo and hazardous materials

As part of the recent General Plan Update (also known as ConnectMenlo), the use of hazardous materials associated with R&D or light industrial uses was designated as administratively permitted in the new LS (Life Sciences) and O (Office) zoning districts, where such uses had previously been designated as

conditional uses in the M-2 district. The administrative review process allows such uses to follow a streamlined and clear process, while still requiring public notice and review by agencies responsible for safety. While a majority of the M-2 Area was rezoned to LS or O, a small portion of Haven Avenue, such as the subject site, retains the M-2 zoning designation where the use of hazardous materials remains a conditional use and is subject to a use permit. The original intent was to streamline the hazardous materials process throughout the City, and staff intends to bring forward a clean-up amendment to the M-2 zoning district for consistency with the LD and O districts.

Analysis

Project description

Clear Labs intends to use a suite within the building at 3565 Haven Avenue to serve as its sole research and testing facility. An approximately 5,300-square-foot area will be utilized as office and research space for the 20 present employees and expected growth over the next five years. Approximately one quarter of the area of the suite is proposed to house hazardous materials. Clear Labs would be relocating within Menlo Park, from a suite at 1455 Adams Drive where it operated under a blanket use permit for the use and storage of hazardous materials in an incubator space at Menlo Labs. The applicant submitted a project description letter that discusses the proposal in more detail (Attachment C).

Proposed hazardous materials

Proposed hazardous materials include flammables, corrosives, toxics and carcinogens, all in liquid form. The project plans (Attachment D) provide the locations of chemical use and storage, as well as hazardous waste storage. In addition, the plans identify the location of safety equipment, such as spill kits, and exit pathways. All hazardous materials would be used and stored inside of the building.

The Hazardous Materials Information Form (HMIF) for the project is provided as Attachment E. The HMIF contains a description of how hazardous materials are stored and handled on-site, including the storage of hazardous materials within fire-rated storage cabinets, segregated by hazard class. The applicant indicates that the storage areas would be monitored by lab staff and weekly documented inspections would be performed. The largest waste container would be a five-gallon container, and all liquid wastes would be secondarily contained. Licensed contractors are intended to be used to haul off and dispose of the hazardous waste. The HMIF includes a discussion of the applicant's intended training plan, which encompasses the handling of hazardous materials and waste, as well as how to respond in case of an emergency. A complete list of the types of chemicals is included in Attachment F.

Staff has included recommended conditions of approval that would limit changes in the use of hazardous materials, require a new business to submit a chemical inventory to seek compliance if the existing use is discontinued, and address violations of other agencies in order to protect the health and safety of the public.

Agency review

The Menlo Park Fire Protection District, City of Menlo Park Building Division, West Bay Sanitary District, and San Mateo County Environmental Health Services Division were contacted regarding the proposed

use and storage of hazardous materials on the project site. Each entity found the proposal to be in compliance with all applicable standards (Attachment G). The Fire District approval indicates that the applicant will be subject to Fire Department permits and inspections at move in and annually thereafter. Otherwise, there would be no unique requirements for the proposed use, based on the specific types and amounts of chemicals that are proposed.

Correspondence

Staff has not received any items of correspondence on the proposed project.

Conclusion

Staff believes that the proposed use and quantities of hazardous materials would be compatible and consistent with other uses in this area. The HMIF and chemical inventory include a discussion of the applicant's training plan and protection measures in the event of an emergency. Relevant agencies have indicated their approval of the proposed hazardous materials uses on the property. In addition, other properties in the vicinity have received use permits for the storage and use of hazardous materials. The use permit would allow an existing Menlo Park business to relocate and expand. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 1,320-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Project Description Letter

- D. Project Plans
- E. Hazardous Materials Information Form
- F. Chemical Inventory
- G. Hazardous Materials Agency Referral Forms

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

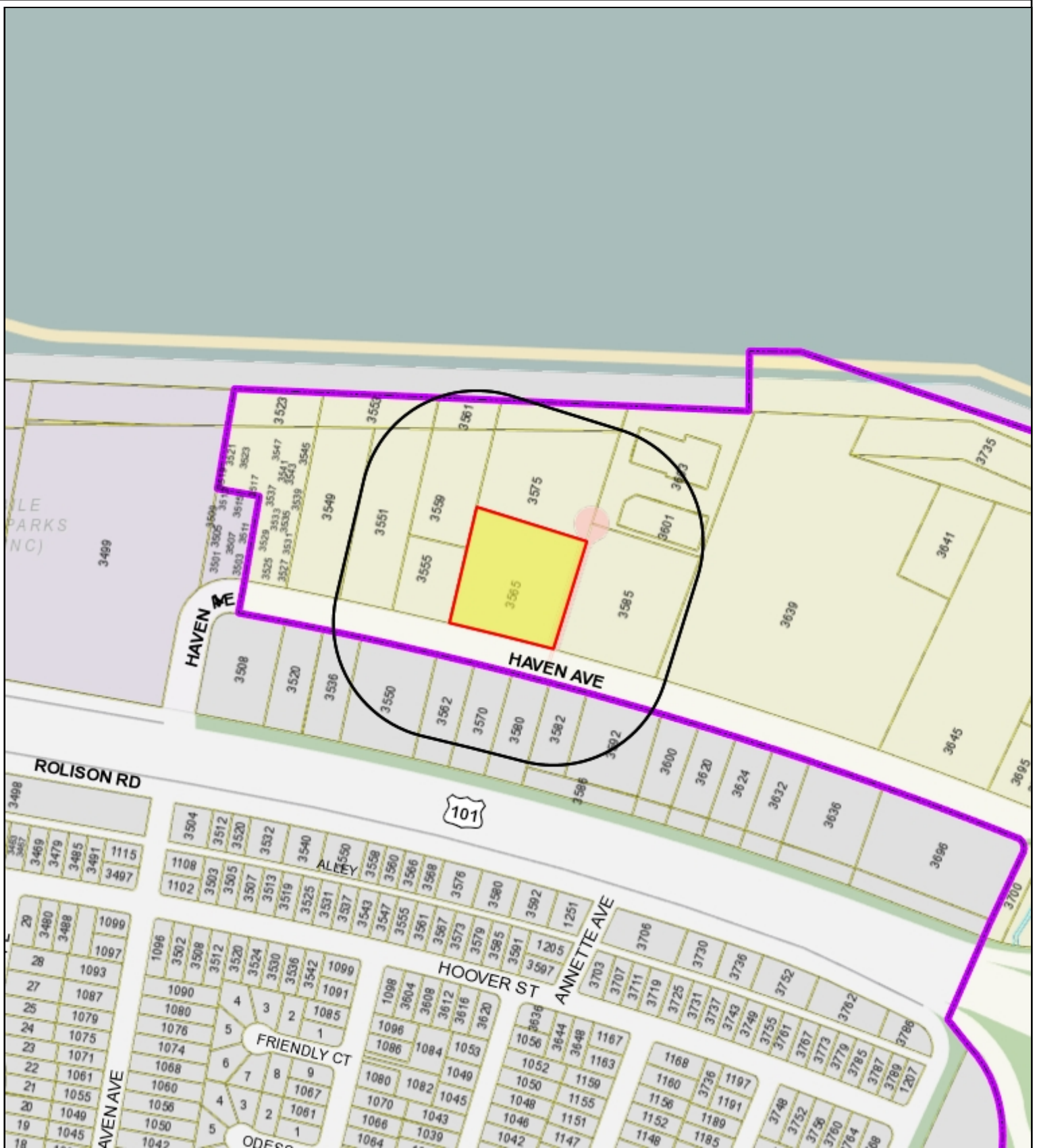
None

Report prepared by:
Ori Paz, Planning Technician

Report reviewed by:
Thomas Rogers, Principal Planner

3565 Haven Avenue – Attachment A: Recommended Actions

LOCATION: 3565 Haven Avenue	PROJECT NUMBER: PLN2017-00044	APPLICANT: Clear Labs	OWNER: SFF 3565 Haven, LLC
REQUEST: Request for a use permit for the use and storage of hazardous materials for the research and development (R&D) of a food safety testing platform located in an existing building in the M-2 (General Industrial) zoning district. All hazardous materials would be used and stored within the building.			
DECISION ENTITY: Planning Commission	DATE: June 5, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p>ACTION:</p> <ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans provided by Green Environment inc, consisting of six plan sheets, dated received May 11, 2017; the project description letter, dated April 5, 2017; and the Hazardous Materials Information Form (HMIF), dated received April 5, 2017; all approved by the Planning Commission on June 5, 2017 except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicant shall comply with all sanitary district, Menlo Park Fire Protection District, and utility companies regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. If there is an increase in the quantity of hazardous materials on the project site, a change in the location of the storage of the hazardous materials, or the use of additional hazardous materials after this use permit is granted, the applicant shall apply for a revision to the use permit. e. Any citation or notification of violation by the Menlo Park Fire Protection District, San Mateo County Environmental Health Department, West Bay Sanitary District, Menlo Park Building Division or other agency having responsibility to assure public health and safety for the use of hazardous materials will be grounds for considering revocation of the use permit. f. If the business discontinues operations at the premises, the use permit for hazardous materials shall expire unless a new business submits a new hazardous materials business plan to the Planning Division for review by the applicable agencies to determine whether the new hazardous materials business plan is in substantial compliance with the use permit. 			



City of Menlo Park
 Location Map
 3565 Haven Avenue



Clear Labs Business Summary

March 2017

Clear Labs Inc. is a company dedicated to providing a platform for food safety testing. Our platform provides an opportunity to identify organisms through the use of Next Generation Sequencing. Our platform can identify organisms, genetically modified or otherwise, and pathogens present in a wide-ranging variety of products. Manufacturing will not take place at this facility.

Clear Labs, Inc. is moving from 1455 Adams Drive, Suite 1296, Menlo Park to 3565 Haven Avenue. The new location will be the sole location for testing and research and development. Clear Labs, Inc. has 20 employees on-site and expects to have 35 employees within the next 5 years.

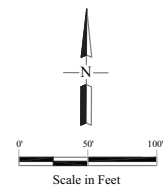
Clear Labs, Inc. will use small quantities of hazardous materials in properly equipped labs. The materials will be used appropriately per manufacturer's instructions and will be disposed of as required by regulations. At this time, we anticipate a container size for liquid hazardous waste of 8 liters or, roughly, two gallons.

Clear Labs, Inc. will not manufacture any products on-site, but will produce about 4-5 gallons of hazardous waste on-site monthly. We do not anticipate needing any other types of permits (e.g. wastewater, air emissions).

Commonly used reagents will be delivered to Clear Labs, Inc. by common carrier. Hazardous waste will be disposed at the county-authorized hazardous waste drop-off site approximately bi-monthly.



Distances are approximate per Google Earth 2017.



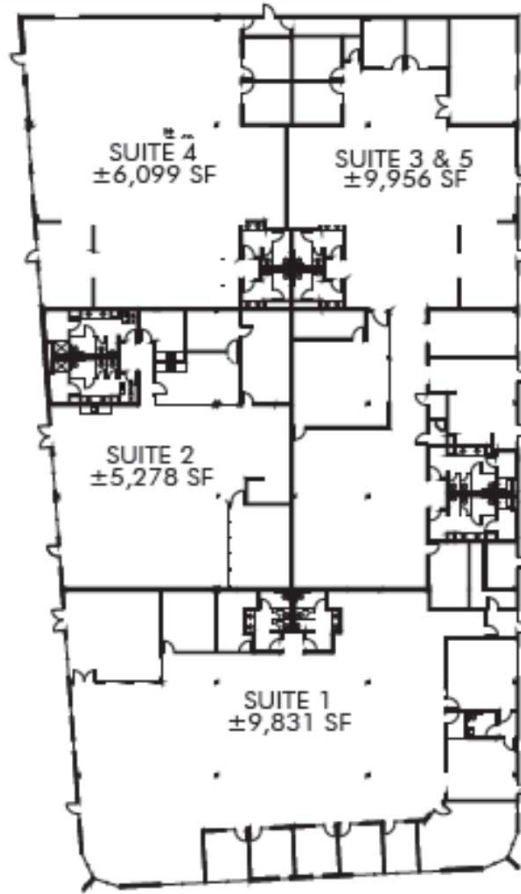
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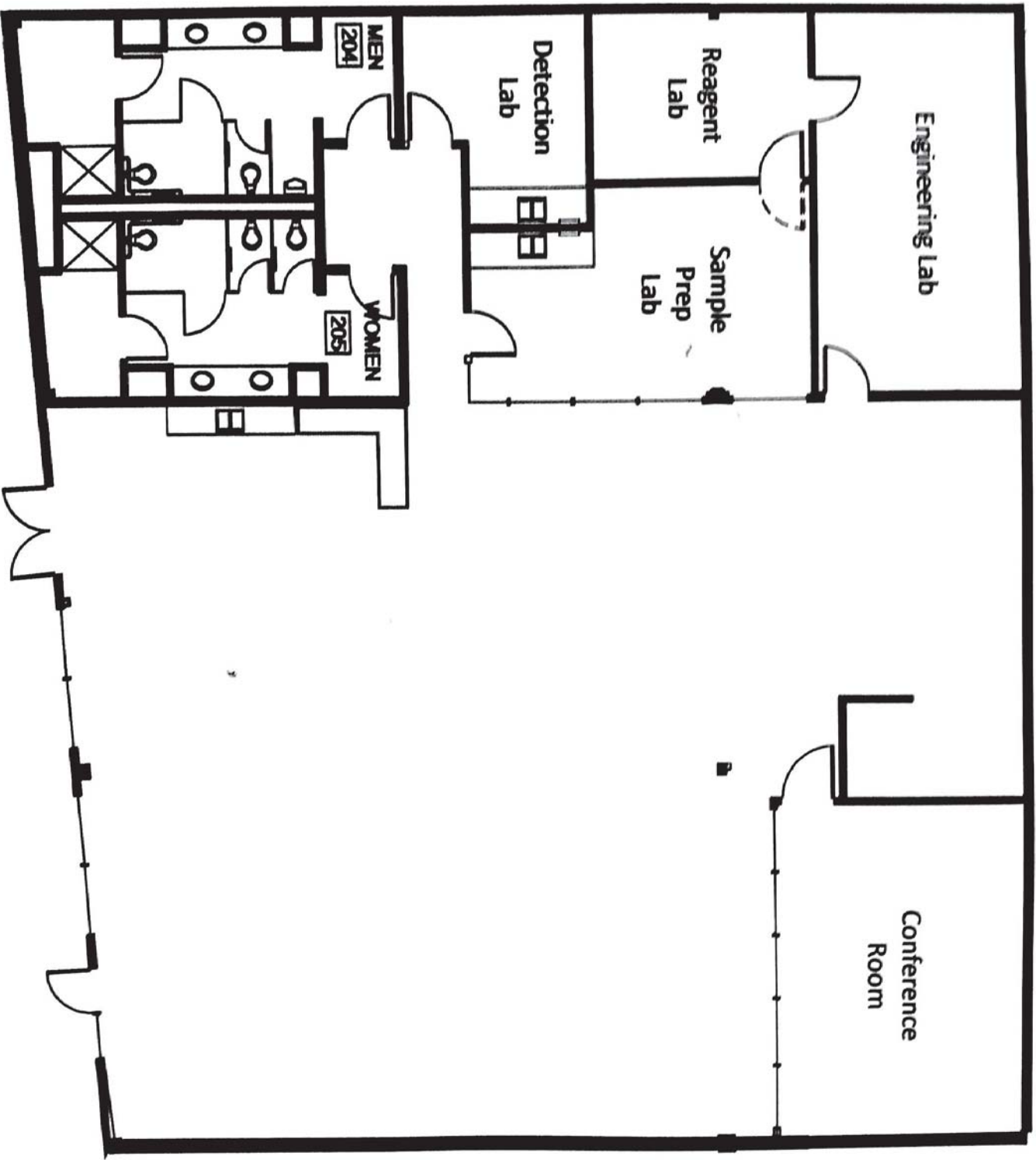


Drawing Name: AREA PLAN
 Address: Clear Labs
 3565 Haven Avenue
 Menlo Park, California

Drawn by: KA
 Date: 03-16-2017
 Scale: 1" = 100'
 Job #: R171215
 Figure #: 1 of 6

FLOOR PLAN







WEST SIDE OF BUILDING



NORTH SIDE OF BUILDING



SOUTH SIDE OF BUILDING



EAST SIDE OF BUILDING

Legend:

FOR REFERENCE ONLY



Drawing Name:

ELEVATIONS

Address:

Clear Labs
3565 Haven Avenue
Menlo Park, California

Drawn by: KA

Date: 03-16-2017

Scale: Not To Scale

Job # R171215

Figure # 5 of 6



Legend:

FOR REFERENCE ONLY



Drawing Name: **ROOF PLAN**

Address: Clear Labs
3565 Haven Avenue
Menlo Park, California

Drawn by:	KA
Date:	03-16-2017
Scale:	Not To Scale
Job #	R171215
Figure #	6 of 6



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

701 Laurel Street
Menlo Park, CA 94025
phone: (650) 330-6702
fax: (650) 327-1653
planning@menlopark.org
<http://www.menlopark.org>

HAZARDOUS MATERIALS INFORMATION FORM

In order to help inform City Staff and the external reviewing agencies, the Planning Division requires the submittal of this form. If the use permit application is approved, applicants are required to submit the necessary forms and obtain the necessary permits from the Menlo Park Fire Protection District, San Mateo County Environmental Health Services Division, West Bay Sanitary District, and other applicable agencies. Please complete this form and attach additional sheets as necessary.

1. List the types of hazardous materials by California Fire Code (CFC) classifications. This list must be consistent with the proposed Hazardous Materials Inventory Statement (HMIS), sometimes referred to as a Chemical Inventory. (The HMIS is a separate submittal.)

Please see attached spreadsheet.

2. Describe how hazardous materials are handled, stored and monitored to prevent or minimize a spill or release from occurring (e.g., secondary containment, segregation of incompatibles, daily visual monitoring, and flammable storage cabinets).

Flammable materials will be stored within rated storage cabinets and segregated by hazard class. Storage areas for chemicals will be monitored by lab staff during normal business hours (visual). Weekly documented inspections of hazardous waste storage areas are performed.

3. Identify the largest container of chemical waste proposed to be stored at the site. Please identify whether the waste is liquid or solid form, and general safeguards that are used to reduce leaks and spills.

The largest waste container will be 5-gallon capacity. All liquid wastes are secondarily contained, and a Spill Kit is stored on site.

4. Please explain how hazardous waste will be removed from the site (i.e. licensed haulers, or specially trained personnel).

Licensed waste haulers will be used. If ClearLabs qualifies as a Very Small Quantity Generator, it may use the San Mateo County VSQG disposal program.

5. Describe employee training as it pertains to the following:

- a. Safe handling and management of hazardous materials or wastes;
- b. Notification and evacuation of facility personnel and visitors;
- c. Notification of local emergency responders and other agencies;
- d. Use and maintenance of emergency response equipment;
- e. Implementation of emergency response procedures; and
- f. Underground Storage Tank (UST) monitoring and release response procedures.

Lab employees receive training on management of chemicals and waste. All employees receive training on what do do in case of emergencies, including chemical spills. The site's emergency response plan includes procedures to notify first responders and make reports to outside agencies. There are no USTs at the site.

6. Describe documentation and record keeping procedures for training activities.

All training is documented, and training records are kept by the Quality Team, which is responsible for safety issues.

7. Describe procedures for notifying onsite emergency response personnel and outside agencies (e.g. Fire, Health, Sanitary Agency-Treatment Plant, Police, State Office of Emergency Services "OES") needed during hazardous materials emergencies.

The procedures for notifying emergency response personnel and outside agencies are contained in the site's written emergency response plan. This plan describes various emergency scenarios and specifically who to call and how to respond, internally and in conjunction with responding agencies.

8. Describe procedures for immediate inspection, isolation, and shutdown of equipment or systems that may be involved in a hazardous materials release or threatened release.

Quality Team personnel are authorized to shut down utilities if a spill requires such action. Spills are contained using materials from Spill Kit, and if larger than internal capabilities, the outside emergency response contractor is called. If danger exists, MP FPD is also called.

9. Identify the nearest hospital or urgent care center expected to be used during an emergency.

Stanford Hospital, Palo Alto

v:\handouts\approved\hazardous materials information form.doc

Clear Labs Chemical Inventory						
Chemical	Primary Hazard	Secondary Hazard	S, L or G?	Initial Storage Quantity	Projected Storage Quantity	Largest Container Size
Ethanol	Flam IB		L	10L	10L	4L
Isopropanol	Flam IB		L	0.25L	4 L	0.5L
Qubit dsDNA HS Reagent (contains dimethylsulfoxide)	Flam IB		L	0.001L	1 L	0.00125 L
C4 (contains guanidine hydrochloride)	Flam IB		L	0.600 L	2 L	0.00125 L
CQW (contains guanidine hydrochloride)	Flam IB		L	2L	4 L	0.00125 L
PW1	Flam IB		L	0.750 L	4 L	0.00125 L
PC	Flam IB		L	0.750 L	4 L	0.00125 L
Waste solvents	Flammable		L	1 gal	5 gal	5 gal
Total Flammable IB					12.7 gal	
Sodium Hydroxide solution	Corrosive	WR1	L	0.9L	4 L	1L
Hydrochloric Acid	Corrosive		L	0.9L	4 L	1L
Sodium Hydroxide(10N)	Corrosive		L	0.9L	4 L	1L
Waste corrosives	Corrosive		L	1 gal	5 gal	5 gal
Total Corrosives					8 gal	
Proteinase K	Toxic	-	L	0.00135L	1 L	0.00135L
Total Toxics					< 1 gal	
chloroform	Carcinogen		L	0.5L	0.5L	0.5L
Irritants and other materials not regulated by Fire Code not shown						

3565 Haven Aggregate

Tenant		Clear Labs	Transcriptic	Finsix	Facebook	Total Onsite	Table 5003.1.1(1)		
Suite		2	3 & 5	1	4 ²		Stor w sprink	Max Storage ³	Max Open Use
Hazard Category	Class								
Combustible Liquid (gal)	II		1			1	240	480	60
	IIIA		1	1		2	660	1,320	160
	IIIB		12		1	13	26,400	52,800	6,600
Flammable Liquid (gal)	IA					0	60	120	20
	IB & IC	13	75	4	1	93	240	480	60
	IA + IB+ IC					93	240	480	60
Flammable Solid (lb)						0	250	500	50
Oxidizer ¹	1					0	no limit	no limit	no limit
	2					0	500	1,000	100
	3					0	20	40	4
	4					0	1	2	0.5
Oxidizing gas (cf)						0	3,000	6,000	NA
Inert gas (cf)			1,970			1,970	no limit	no limit	no limit
Flammable gas (cf)						0	2,000	4,000	NA
Cryogenic inert (gal)			48			48	no limit	no limit	no limit
Pyrophoric ¹						0	4	8	1
Pyrophoric gases (cf)						0	50	100	20
Water reactive ¹ (lb)	1					0	no limit	no limit	no limit
	2					0	100	200	20
	3					0	5	10	2
Unstable reactive	I					0	no limit	no limit	no limit
	II						100	200	20
	III						10	20	2
Corrosive solids (lb)						0	10,000	20,000	2,000
Corrosive liquids (gal)		8	9	0.5		17	1,000	2,000	200
Toxic ¹ (lb)		3	4			7	1,000	2,000	125
Highly Toxic ¹ (lb)						0	20	40	6

assumes building is sprinklered. For max storage, assumes rated cabinets in use.

Notes:

¹ These classes are listed in pounds for both solids and liquids

² These totals estimated from list of hazardous materials on site provided to GEI

³ Assumes rated cabinets in use

assume 10 lb/gal for liquids



**DEVELOPMENT SERVICES
PLANNING DIVISION**
Contact: Ori Paz 650-330-6711 or
oripaz@menlopark.org
 701 Laurel Street
 Menlo Park, CA 94025
 PHONE (650) 330-6702
 FAX (650) 327-1653

AGENCY REFERRAL FORM
RETURN DUE DATE: Thursday, May 4, 2017

DATE: April 20, 2017

TO: CITY OF MENLO PARK BUILDING DIVISION
 701 Laurel Street
 Menlo Park, CA 94025
 (650) 330-6704

Applicant	Clear Labs
Applicant's Address	3565 Haven Avenue Menlo Park, CA 94025
Telephone/FAX	Tel: 650-508-8018 (Ellen Ackerman/Justin Vertongen, EHS Consultant)
Contact Person	Ellen Ackerman/ Justin Vertongen
Business Name	Clear Labs
Type of Business	Research and development of a platform for food safety testing to identify organisms through the use of "Next Generation Sequencing". This location will serve as the sole research, and testing facility for the company. The company currently has 20 employees on-site, and expects to grow to as many as 35 in this new location within Menlo Park over the next five years.
Project Address	3565 Haven Avenue Menlo Park, CA 94025
FOR OFFICE USE ONLY	
<input type="checkbox"/> The hazardous materials listed are not of sufficient quantity to require approval by this Division. <input checked="" type="checkbox"/> The Building Division has reviewed the applicant's plans and listed hazardous materials/chemicals and has found that the proposal meets all applicable California Building Code requirements. <input type="checkbox"/> The Building Division has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures to be made a part of the City's Use Permit approval (please list the suggested conditions and mitigation measures).	
The applicant's proposal has been reviewed by the City of Menlo Park's Building Division by:	
Signature/Date	Name/Title (printed)
<i>Ron LaFrance 5/3/17</i>	Ron LaFrance, Building Official
Comments:	



**DEVELOPMENT SERVICES
PLANNING DIVISION**
 Contact: Ori Paz 650-330-6711 or
 oripaz@menlopark.org
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 Menlo Park, CA 94025
 PHONE (650) 330-6702
 FAX (650) 327-1653

AGENCY REFERRAL FORM
RETURN DUE DATE: Thursday, May 4, 2017

DATE: April 20, 2017

TO: MENLO PARK FIRE PROTECTION DISTRICT
 Jon Johnston
 170 Middlefield Road
 Menlo Park, CA 94025
 (650) 323-2407

Applicant	Clear Labs
Applicant's Address	3565 Haven Avenue Menlo Park, CA 94025
Telephone/FAX	Tel: 650-508-8018 (Ellen Ackerman/Justin Vertongen, EHS Consultant)
Contact Person	Ellen Ackerman
Business Name	Clear Labs
Type of Business	Research and development of a platform for food safety testing to identify organisms through the use of "Next Generation Sequencing". This location will serve as the sole research, and testing facility for the company. The company currently has 20 employees on-site, and expects to grow to as many as 35 in this new location within Menlo Park over the next five years.
Project Address	3565 Haven Avenue Menlo Park, CA 94025

FOR OFFICE USE ONLY

- The hazardous materials listed are not of sufficient quantity to require approval by this agency.
- The Fire District has reviewed the applicant's plans and use of listed hazardous materials/chemicals and has found the proposal to be in compliance with all applicable Fire Codes.
- The Fire District has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures to be made a part of the City's Use Permit approval (please list the suggested conditions and mitigation measures).

The applicant's proposal has been reviewed by the Menlo Park Fire Protection District by:

Signature/Date <i>[Signature]</i> 4-24-17	Name/Title (printed) Gordon Simpkins CONTRACT FIRE INSPECTOR
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Comments: PROJECT PRESENTS NO EXTRAORDINARY HAZARDS
 APPLICANT WILL BE SUBJECT TO INITIAL AND ONGOING
 ANNUAL FIRE DISTRICT PERMIT AND INSPECTION
 REQUIREMENTS.



**DEVELOPMENT SERVICES
PLANNING DIVISION**
 Contact Ori Paz 650-330-6711 or
 oripaz@menlopark.org
 701 Laurel Street
 Menlo Park, CA 94025
 PHONE (650) 330-6702
 FAX (650) 327-1653

AGENCY REFERRAL FORM
RETURN DUE DATE: Thursday, May 4, 2017

DATE: April 20, 2017

TO: SAN MATEO COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION
 Amy DeMasi, Hazardous Materials Specialist
 San Mateo County Environmental Health
 2000 Alameda de las Pulgas, Ste 100
 San Mateo, CA 94403
 (650) 372-6235

Applicant	Clear Labs	
Applicant's Address	3565 Haven Avenue Menlo Park, CA 94025	
Telephone/FAX	Tel: 650-508-8018 (Ellen Ackerman/Justin Vertongen, EHS Consultant)	
Contact Person	Ellen Ackerman/ Justin Vertongen	
Business Name	Clear Labs	
Type of Business	Research and development of a platform for food safety testing to identify organisms through the use of "Next Generation Sequencing". This location will serve as the sole research, and testing facility for the company. The company currently has 20 employees on-site, and expects to grow to as many as 35 in this new location within Menlo Park over the next five years.	
Project Address	3565 Haven Avenue Menlo Park, CA 94025	
FOR OFFICE USE ONLY		
<input type="checkbox"/> The hazardous materials listed are not of sufficient quantity to require approval by this agency. <input type="checkbox"/> The Health Department has reviewed the applicant's plans and use of listed hazardous materials/chemicals and has found the proposal to be in compliance with all applicable Codes. <input checked="" type="checkbox"/> The Health Department has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures to be made a part of the City's Use Permit approval (please list the suggested conditions and mitigation measures). The Health Department will inspect the facility once it is in operation to assure compliance with applicable laws and regulations. The applicant's proposal has been reviewed by the San Mateo County Environmental Health Services Division by:		
Signature/Date	Amy E DeMasi <small>Digitally signed by Amy E DeMasi DN: cn=Amy E DeMasi, o=Environmental Health, ou=San Mateo County Health System, email=ademasi@mcgov.org, c=US Date: 2017.05.08 14:57:23 -0700</small>	Name/Title (printed)
Comments: Facility will be regulated by San Mateo County Env Health for generation of hazardous waste. Please contact inspector upon initiation of activities that will generate hazardous waste.		

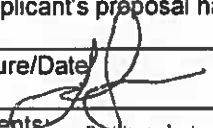


**DEVELOPMENT SERVICES
PLANNING DIVISION**
 Contact: Ori Paz 650-330-6711 or
 oripaz@menlopark.org
 701 Laurel Street
 Menlo Park, CA 94025
 PHONE (650) 330-6702
 FAX (650) 327-1653

AGENCY REFERRAL FORM
RETURN DUE DATE: Thursday, May 4, 2017

DATE: April 20, 2017

TO: **WEST BAY SANITARY DISTRICT**
 John Simonetti
 500 Laurel Street
 Menlo Park, CA 94025
 (650) 321-0384

Applicant	Clear Labs
Applicant's Address	3565 Haven Avenue Menlo Park, CA 94025
Telephone/FAX	Tel: 650-508-8018 (Ellen Ackerman/Justin Vertongen, EHS Consultant)
Contact Person	Ellen Ackerman/ Justin Vertongen
Business Name	Clear Labs
Type of Business	Research and development of a platform for food safety testing to identify organisms through the use of "Next Generation Sequencing". This location will serve as the sole research, and testing facility for the company. The company currently has 20 employees on-site, and expects to grow to as many as 35 in this new location within Menlo Park over the next five years.
Project Address	3565 Haven Avenue Menlo Park, CA 94025
FOR OFFICE USE ONLY	
<input type="checkbox"/> The hazardous materials listed are not of sufficient quantity to require approval by this agency. <input type="checkbox"/> The Sanitary District has reviewed the applicant's proposed plans and use of listed hazardous materials/chemicals and has found that the proposal meets all applicable Code requirements. <input checked="" type="checkbox"/> The Sanitary District has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures to be made a part of the City's Use Permit approval (please list the suggested conditions and mitigation measures).	
The applicant's proposal has been reviewed by the West Bay Sanitary District by: <u>John Simonetti</u> <div style="text-align: right;">Regulatory Compliance Coordinator</div>	
Signature/Date 	Name/Title (printed) John Simonetti, Regulatory Compliance Coordinator
Comments: Facility to be inspected annually by West Bay Sanitary District Personnel	