



REGULAR MEETING AGENDA

Date: 7/17/2017
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

E1. Approval of minutes from the May 22, 2017, Planning Commission meeting. ([Attachment](#))

E2. Approval of minutes from the June 5, 2017, Planning Commission meeting. ([Attachment](#))

F. Public Hearing

F1. Use Permit/Surinder Kang/202 Gilbert Avenue:

Request for a use permit to demolish an existing two-story multi-family residence with four units, and construct a new two-story, single-family residence. The subject property is on a substandard lot with respect to lot width and lot area in the R-1-U (Single-Family Urban) zoning district. ([Staff Report #17-042-PC](#))

F2. Use Permit/Eric Zhao/882 College Avenue:

Request for a use permit to demolish a one-story single-family residence and detached garage and construct a two-story single-family residence on a substandard lot with respect to lot width in the R-1-U (Single Family Urban Residential) zoning district. As part of the project, one heritage magnolia

tree in the front yard is proposed for removal. ([Staff Report #17-043-PC](#))

F3. Use Permit/Dan Siegel/1370 Delfino Way:

Request for a use permit to construct first-floor additions and perform interior and exterior modifications to an existing nonconforming, single-story, single-family residence in the R-1-U (Single Family Urban) zoning district. The project previously received a building permit for a more limited scope of work; however, the proposed revisions would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period and therefore, require a use permit. ([Staff Report #17-044-PC](#))

F4. Use Permit/Thomas Jackson/501 Laurel Avenue:

Request for a use permit to demolish an existing two-story duplex and construct a new two-story, single-family residence with a detached garage on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban) zoning district. ([Staff Report #17-045-PC](#))

F5. Use Permit Revision/Rob and Lisa Chaplinsky/2355 Tioga Drive:

Request for a use permit to make exterior changes to an existing residence on a lot that is substandard with regard to lot width in the R-E-S (Residential Estate Suburban) zoning district. In addition, a request for excavation within required setbacks for the installation of new and modified retaining walls. The project previously received a use permit on December 14, 2015 to demolish an existing single-story residence and construct a new two-story residence. ([Staff Report #17-046-PC](#))

F6. Use Permit/Araceli Ciprez/989 El Camino Real:

Request for a use permit for a full/limited service restaurant on a lot that is substandard with regard to parking in the El Camino Real/Downtown Specific Plan (SP/ECR-D) zoning district. The tenant space is vacant but was previously used for a take-out only restaurant. ([Staff Report #17-047-PC](#))

G. Study Session

G1. Study Session/Jason Chang/1075 O'Brien Drive:

Request for a study session for the demolition of an existing single-story warehouse and manufacturing building and construction of a new eight-story mixed-use building with three levels of structured parking above grade, four floors of offices, a restaurant, café with outdoor seating, and rooftop garden in the LS-B (Life Sciences, Bonus) zoning district. The proposal also includes a request for a new chemical storage bunker on the east side of the existing building at 20 Kelly Court. The parcels at 20 Kelly Court and 1075 O'Brien Drive would also be merged. ([Staff Report #17-048-PC](#))

H. Informational Items

H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.

- Regular Meeting: July 31, 2017
- Regular Meeting: August 14, 2017
- Regular Meeting: August 28, 2017
- Regular Meeting: September 11, 2017

H. Adjournment

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at www.menlopark.org and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting the Planning Division at (650) 330-6702. (Posted: 07/12/17)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

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REGULAR MEETING MINUTES - DRAFT

Date: 5/22/2017
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Drew Combs called the meeting to order at 7:02 p.m.

B. Roll Call

Present: Andrew Barnes, Drew Combs (Chair), Susan Goodhue, Larry Kahle (Vice Chair), John Onken (arrived at 7:05 p.m.), Henry Riggs, Katherine Strehl

Staff: Deanna Chow, Principal Planner, Sunny Chao, Assistant Planner, Kaitie Meador, Associate Planner, Yesenia Jimenez, Associate Planner, Kyle Perata, Senior Planner

Chair Combs said he would act as Chair for the agenda items through G1 and that Vice Chair Larry Kahle would act as Chair starting with H1 and through the remaining items. He noted that Commissioner Susan Goodhue and he would recuse themselves from consideration of item H1 due to potential conflicts of interest.

C. Reports and Announcements

Principal Planner Deanna Chow said the City Council at its May 23, 2017 meeting would establish a subcommittee for potential revisions to the electrical vehicle (EV) charging station code. She said the Council recently adopted EV charger requirements as part of the General Plan and M-2 zoning update, which for some districts in the M-2 were more rigorous than in other parts of the city. She said the Council was interested in expanding those requirements citywide and potentially for new building projects.

D. Public Comment

There was none.

E. Consent Calendar

E1. Approval of minutes from the April 24, 2017, Planning Commission meeting ([Attachment](#))

Commissioner Goodhue noted several typographical errors on pages 6 and 12. She said that page 13 of the minutes indicated a condition for permeable pavers. She said she recalled Commissioner John Onken had added that condition, but then removed it after Principal Planner Rogers' comment that permeable pavers required more digging and might impact trees. Principal Planner

Chow said the condition indicated use of permeable pavers if approved by the arborist and had been part of staff's recommended conditions.

Chair Combs noted Commissioner Onken's arrival at the dais. Planner Chow said for the referenced project in question that permeable pavers would not be installed as it would impact the tree roots. Commissioner Goodhue said no change to the minutes for that was needed. She said on page 14, under item F6, the phrase "... added to the outdoor, those functions" made better sense if stated: "... added those outdoor functions."

ACTION: Motion and second (Goodhue/Larry Kahle) to approve the minutes with the following modifications; passes 7-0.

- Page 6, 1st paragraph, 2nd line: Replace "Mr. Kamangars5" with "Mr. Kamangar"
- Page 6, 2nd paragraph, 6th line: Replace "neighbors" home" with "neighbors' home"
- Page 12, 1st full paragraph under Public Comment, 2nd line: Add "and" between the words "Avenue" and "the"
- Page 14, 4th paragraph, 2nd line: Replace "... added to the outdoor, those functions" with "... added those outdoor functions"

F. Public Hearing

- F1. Use Permit/Brian Nguyen/445 Oak Ct:
Request for a use permit to demolish a single-story residence and detached garage and construct a new two-story residence including a basement, detached garage, and secondary dwelling unit on a substandard lot with regard to lot width located in the R-1-U (Single-Family Urban Residential) zoning district, at 445 Oak Court. The proposal includes two heritage tree removals. ([Staff Report #17-030-PC](#))

Staff Comment: Associate Planner Kaitie Meador said there were no additions to the staff report. She said since the publication of the staff report three letters had been received. She said one letter from the adjacent property owner, who had originally opposed the project because of survey discrepancies, now withdrew opposition as the matter was resolved.

Applicant Presentation: Mr. Brian Nguyen, property owner, introduced his fiancée Virginia, his parents, and project architect Tom Sloan. Mr. Nguyen said at the previous hearing the Commission had continued the project for a redesign with four areas of attention. He said those were to reduce the height by three feet, reconsider species other than cypress for screening, provide screening on the master balcony to enhance privacy, and reduce the amount of paved surfaces on the lot. He said that they reduced the first floor ceiling by six inches and the second floor by one foot. He said this allowed them to retain their desired design and also address the Commission's concern. He said with the neighbors they decided on a different type of screening tree that was drought resistant and had low maintenance needs. He said they added wing walls on both ends of the master balcony for privacy with some design details to match the architectural style. He said paving in the rear yard was reduced by 800 square feet. He said the areas would be replaced with drought tolerant grasses and ground coverings, and for the rest of the paving they would use permeable pavers. He said additionally the property line issue with the rear neighbor was resolved. He said as a result the secondary dwelling had to be moved forward to meet rear setback requirements. He said their arborist reviewed the change and found no resultant impacts to the trees. He said their neighbor to the west expressed interest in collaborating on a fence in the future.

Replying to Commissioner Katherine Strehl, Mr. Nguyen said the secondary dwelling unit was 10-feet from the adjusted rear property line. Replying to Commissioner Kahle, Mr. Nguyen said that his surveyor had used monuments on the Oak Court tract and the neighbors' surveyor used monuments on Emma Lane. He said his surveyor had made an error but the matter had since been resolved. Replying to Commissioner Strehl's question about neighborhood outreach, Mr. Nguyen said that they discussed the balcony and screening trees with adjacent neighbors but did not meet with other neighbors.

Replying to Commissioner Barnes' question regarding the challenge of lowering the height three feet and what led to the decision to lower only one and a half feet, Mr. Tom Sloan, project architect, said the applicant and he met with the project planner after the hearing to discuss direction. He said the Commission had mentioned a three foot reduction in height as well as a one-and-a-half foot reduction. He said they reduced the second floor ceiling height one foot. He said they found that the openness of the design on the first story with bi-folding doors opening to the rear yard would be negatively impacted by a height reduction greater than six inches. Commissioner Strehl said it was clear in the minutes for the previous hearing that the Commission had wanted a three-foot reduction in height.

Chair Combs opened the public hearing. He said the first speaker was David Jones and that two people, Bita Arabian and Katherine Bryant, had donated time to Mr. Jones.

- David Jones said he and his wife lived at 465 Oak Court, which was located to the left of the subject property. He said he had sent photos and videos that morning to the Commissioners, which he hoped they had time to review. He presented slides that summarized the photos and videos. He cited 10 negative impacts from the proposed project, and noted five in particular: loss of privacy, loss of light, loss of significant side view, health concerns and property value. He said the significant loss of sunlight from the proposed project could lead to mold on his property and that would be a serious health issue. He said his realtor said the proposed project would make his home dark with no sunlight inside the home and a shaded backyard, and that being next door to a 26-foot high two-story house would negatively impact the property value of his home. He said that the zoning ordinance required the Commission to make a finding that a project was not detrimental to the health, safety, morals and general welfare of people living or working in the area. He said there was substantial evidence of detriments to the health and general welfare of neighbors from the project. He said there were five things that could be done to resolve the impacts: move the back of the roof line and second floor forward by at least eight feet by removing the balcony and moving the back wall three feet forward. He said if the applicants wanted to keep the balcony they could move the whole structure forward eight feet. He said the construction excavation for the front wall of the basement would have to come forward four feet. He said they were worried about the impact to the roots of four heritage trees. He said they could move the secondary dwelling unit from the left back corner to the right back corner away from the large coastal oak.
- Edurne Jorda said she was Mr. Jones' wife. She said they were Menlo Park residents and did not feel they were being listened to or having their rights protected. She said there were 40 neighbors saying there were impacts from this project. She said their home would not get any sun because of the project and they would be looking at a stucco wall. She said it was not responsible development. She urged the Commission to at least require the applicant to do the compromise plan that she and her husband had provided.

- Candace Hathaway, Oak Court, said her home was directly across from the proposed development. She questioned the staff finding that the scale of the project was compatible with the neighborhood as over 35 neighbors with concerns about the project were being ignored. She said that the Commission's direction to reduce the height by three feet had been ignored. She asked that neighbors' compromise suggestions be supported for implementation.
- Chuck Bernstein, Oak Court, said that he had time donated by another person, Ana Pedros. He said the Commission asked the applicant to reduce the height by three feet, and the applicant did not, yet the staff report indicated the applicant had followed the direction of the Commission regarding height reduction. He said to approve the project the Commission would need to make a finding that the proposed project was not detrimental to the health, safety, morals, comfort and general welfare of the persons living and working in the vicinity, and that finding was unsupportable. He said that the applicant had already had two chances to submit an approvable design. He said the Commission needed to deny the application.

Chair Combs closed the public hearing.

Commission Comment: Commissioner Riggs asked what was assessed in making the finding that a project was not detrimental to the health, safety, morals, comfort and general welfare of persons living and working in the vicinity of a subject project, and particularly what was the tipping point. Principal Planner Chow said that the assessment was not black and white and referred to quality of life. She said regarding health and safety that staff looked for things that would expose persons to hazardous conditions. Commissioner Riggs asked if it was considered a detriment for a two-story home to shade a one-story home at 1:30 p.m. Principal Planner Chow said that the Commission has not found such a situation detrimental previously rather it has suggested options to lessen any such impacts.

Commissioner Strehl asked about the arborist's direction to move the barbecue pit away from trees. Associate Planner Kaitie Meador said that the barbecue pit had been shifted away from the trees. Commissioner Strehl asked if the application were to be approved whether there was a way for the Commission to condition a monitor for the foundation work. Principal Planner Chow said typically the City received ongoing reports and updates from the applicant's arborist during construction regarding compliance with tree protection and preservation conditions.

Commissioner Riggs said when an arborist's report was made a condition of approval the arborist report almost always required to have an arborist present to monitor excavation past roots whenever tree roots were exposed. He suggested seeing if that was in the arborist's report currently, and if not, to require.

Commissioner Kahle said he had a question for the applicant or architect about the height. He asked if the foot and a half height lowering included removing one foot of height from the second floor and a half foot from the first floor. Mr. Sloan said that was correct and they had looked at removing another foot and a half from the roof. He said that while it would have met what was being asked of them it would have created a less desirable building. Commissioner Kahle confirmed with the architect that the roof pitch remained at four by twelve. He asked about the entry gable as he recalled the last time they saw the project they were concerned with its height. He said he thought it had been reduced in height by two feet. Mr. Sloan said that was correct. Commissioner Kahle asked if it was the window or arched entry that lost the two feet. Mr. Sloan said the overall roof element came down in height. Commissioner Kahle said the project height

was the major concern for neighbors and asked where they might reduce the vertical height. Mr. Sloan said they had looked at removing another six inches from the upper floor plate and another foot from the roof pitch. He said they could take out another six inches from the lower floor but that was painful for the property owner. He said the last time they presented to the Commission it was noted that the lot was large but substandard due to the diminishment of the rear property line but they had shown how a standard lot would fit within this lot's dimensions.

Commissioner Strehl asked if they had given consideration to the neighbor's request to move the back wall forward eight feet and make some changes in the house. Mr. Sloan said the building was moved back on the lot to protect the street trees. He said moving the house forward seemed counter intuitive to preserving the trees. Commissioner Strehl said perhaps the neighbor's suggestion included reducing the overall size of the proposed house. She asked if they had considered reducing the size of the house. Mr. Sloan said they had but the owner had needs regarding the space.

Commissioner Onken said generally with other such projects the Commission's review included determining there were no large inhabitable spaces looking over the neighbors' spaces, that setback requirements were met, and that trees were preserved and protected. He said the Commission had been clear about reducing the height by three feet and it could be done. He said the changes to the back terrace were welcome and arguments about detriment to the health, safety, morals, comfort and general welfare were out of proportion to the reality.

Commissioner Goodhue said she agreed with most of what Commissioner Onken said, but she did not think the Commission had been as explicit about a three-foot height reduction as the meeting minutes indicated that Commissioner Riggs suggested reducing the height by two feet and Commissioner Onken suggested reducing by two to three feet. She said she understood that the height of interior spaces was important and it was consistent with the style of the architecture. She said she hoped something could be suggested to get closer to the three foot height reduction the Commission had arrived at in its final direction.

Mr. Sloan said the property owner was willing to meet the three-foot height reduction and they could offer some solution now or work with staff to accomplish the condition. He said he did not think they would take it from the roof pitch. He said at this time they were considering reducing the wall height by nine-inches per floor but he would like time to proportion that. He said they would prefer to do that for staff's review and approval rather than come back to the Planning Commission.

Commissioner Riggs commented on the four requests of the neighbors noting that the neighborhood had not pursued a zoning overlay. He said the first was to relocate the secondary dwelling unit. He said it was a one-story and was not a shade issue. He said regarding the request to protect trees that the City and staff did that. He said there was an arborist report, and the arborist would need to monitor the house construction. He said regarding the neighbors' request to move the back wall that the Planning Commission had not required further reduction on the second story for light angles on other projects, which like this one have a second story notably smaller than the first floor. He said he was pleased with the wing walls on the balcony noting the view holes were above the average height of a person's sight line. He said plate height was most likely to affect sun angle and create a perspective of large building size. He moved to approve the project with 1) confirmation that the arborist's report required arborist monitoring of any exposed roots during construction; and 2) reduction of the plate height by three feet with one foot from the second floor and the remaining six inches from the first floor as the building was particularly top heavy. He

said that would give all the living spaces a nine-foot height and 10 feet in featured spaces. Principal Planner Chow confirmed with Commissioner Riggs that the one-foot reduction from the second floor and six-inches from the first floor were in addition to the reductions shown in the current plans. She said they reviewed the arborist's report and there was mention on page F11, item 9, of the condition for monitoring any exposed roots during construction. Commissioner Riggs said he would remove that condition from his motion.

Commissioner Strehl said she had trouble supporting the project. She said it was a nice design but she thought the house was too big, noting it was built to within one foot of the maximum allowable build out. She said that the applicant had not done serious neighbor outreach and had met with one neighbor one time only.

Commissioner Kahle said he agreed with most of Commissioner Riggs' comments. He said his desire was to reduce the structure's height by three feet without affecting the roof pitch as that was important to the design. He said he also wished the neighbor's home was not four feet from the property line but there was nothing to do about that. He seconded the motion made by Commissioner Riggs to approve the project with the condition to reduce the plate height by three feet with an additional one foot reduction from the second floor and additional six inches from the first floor to equal a three foot reduction in height in total.

ACTION: Motion and second (Riggs/Kahle) to approve the project as recommended in the staff report with the following modifications; passes 6-1 with Commissioner Strehl opposing.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Metro Design Group consisting of nineteen plan sheets, dated received May 2, 2017, and approved by the Planning Commission on May 22, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.

- d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering, and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

4. Approve the use permit subject to the following project-specific conditions:

Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans showing the height reduction of one foot from the second floor plate height and 6 inches from the first floor plate height for an overall height reduction of one foot 6 inches. The revised plans are subject to the review and approval of the Planning Division.

- F2. Use Permit/Leila Osseiran/1074 Del Norte Avenue:
Request for a use permit to partially demolish, remodel, and add a second story addition to an existing nonconforming single-story, single-family residence on a substandard lot with respect to width in the R-1-U (Single-Family Urban) zoning district. The proposed work would exceed 50 percent of the existing replacement value in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure. ([Staff Report #17-031-PC](#))

Staff Comment: Ms. Sunny Chao, Assistant Planner, said there were no additions to the staff report.

Applicant Presentation: Mr. Andreus Hoffman said he and his family lived at the project site. He said the garage was being used as a family room but that was not permitted. He said they were proposing to convert the garage space back to a garage, add two bedrooms to the second floor and move the kitchen to what was now the patio.

Chair Combs opened and closed the public hearing as there were no speakers.

Commission Comment: Chair Combs asked if staff had clarification on the alley and whether the applicant had ownership of part of what had been the public right-of-way. Recognized by the Chair, Mr. Hoffman said the alley was to the left of the house and would remain as is. He said they did a survey of the property which discovered the alley. He said they were told they could get half of

what had been the alleyway credited to their property as could the neighbor. Chair Combs said he was wondering if the fence was on part of the alleyway. Mr. Wallid Nazzal, project architect, said the applicant was required to keep the wall of the home on the side of the alley as it was currently. He said in the future the applicant might apply for ownership of a portion of the alley.

Commissioner Kahle asked about the proposed redwood siding and whether it would be painted. Mr. Hoffman said it was a natural stain redwood siding. Commissioner Kahle asked about the side elevation on A.8, the side drawing with garage on left, and about the line indicating the offset. Mr. Nazzal said it was a continuous elevation and they just wanted to show that the one floor was a garage as they have a different roof design on this area but the wall was continuous. Commissioner Kahle asked if the garage roof continued and then stopped. Mr. Nazzal said that was correct. Commissioner Kahle said that vinyl windows were indicated and the Commission preferred wood windows for cladding. Mr. Nazzal said they were trying to keep existing windows that were vinyl clad.

Commissioner Onken said the redwood siding was on the front of the addition and as it turned the corner it became stucco. Mr. Nazzal said they wanted to blend the two sidings. He said redwood would also be on the back with stucco on the sides.

Commissioner Riggs asked if staff had contacted them that morning to bring a rendering of the corner that Commissioners Kahle and Onken were inquiring about. Mr. Nazzal said both he and the applicant had received the request but it was short notice and could not be done. He said he could explain the elevation. Commissioner Riggs said the garage had a shed roof and around the corner was the end of a hip roof down the length of wall except for six feet. He asked how the hip roof was terminated where the shed roof was applied. Mr. Nazzal said it was not a shed roof and that the roof was continuous over the garage. He said to keep the balance on the front elevation he did not want to bring the roof on the right with a hip. He said at the end of the roof in the front of the garage a short wall would be added on the attic side above the garage. Commissioner Riggs commented that the two roofs were continuous then. Mr. Nazzal said this was shown on sheet A8.

Commissioner Kahle said he was pleased the applicant had contacted the neighbor and would address dust control and other issues of concern. He said the front elevation was misleading about the second floor over the garage as it looked like there was a continuous roof from the entry over the garage but that was not the case actually. He said looking at the side elevation it was a two-story wall down the garage past the entry. He said when it was in 3-D it would feel off balance as the second floor was offset two feet from the right side of the garage and no feet from the left side of the garage. He said the lower roof over the garage was an odd situation in that it just ended and did not resolve itself with the lower roof coming alongside of the house. He said the design needed a little more thought to make it work. He said he appreciated the redwood material and hoped it would not be dropped for some other material. He said the second floor over the garage might need to be smaller so the ridge of that was the same height as the ridge on the back part of the second floor. He said it needed a more thoughtful architectural review before he could approve the project.

Commissioner Riggs said he agreed with Commissioner Kahle's comments. He said all of his comments had to do with the massing, exterior finishes, balance and details. He said he was supportive of the concept, the siting, the setbacks, height and square footage but the design was unresolved in terms of how to combine and use the materials, how to balance the forms and the roof, and how to take a roof around a corner. He moved to continue the project for redesign.

Commissioner Onken said in continuing he would like to be very clear in the Commission's direction to the applicant. He said if the project was not continued but brought into compliance through staff review he would want the redwood siding to remain and to continue around the right elevation for at least 12 feet. He said he was not sure how to provide design direction for a continuance.

Commissioner Riggs said typically for a continuance the Commission provided direction but with this design he did not know where to start. He said he had mentioned consideration of how the materials related to one another. He said Commissioner Kahle brought up a change in materials at the outside corner. He suggested that they rethink the stucco on the upper floor and the redwood on the lower floor and how to resolve the roof. He said these were all challenges that typically were resolved by the architect.

Commissioner Kahle said he agreed and suggested that the redesign be done by the architect and not from the dais. He seconded the motion as made.

Chair Combs confirmed that staff was clear on the motion being made.

Commissioner Barnes asked if the motion had direction or not. Chair Combs said that the motion indicated what needed attention but not how to resolve those items. Commissioner Barnes asked about the process for the applicant with a continuation. Principal Planner Chow said the applicant would redesign to address the concerns raised by the Commission. She said planning staff would review the changes and when addressed would notice for a meeting date, which possibly could be a few months in the future.

Commissioner Barnes asked Assistant Planner Chao why she recommended the project for approval. Assistant Planner Chao said she looked at the design in terms of it being well below the maximum height and other zoning requirements and less at the design aspect as she was looking for input from neighbors and the Commission. She said no neighbors commented on the design. She said in her first comment letter to the applicant she had mentioned some issues regarding massing in terms of the large tall redwood siding of the two floors and had left it to the architect to create a more holistic and comprehensive design. She said that otherwise the proposed project was well below maximums in terms of regulations so she brought it to the Commission for its input. Commissioner Barnes asked if she had enough input from the Commission to review for redesign. Ms. Chao said the Commission had brought up good points and suggestions.

Commissioner Goodhue asked if the applicant and architect had a sense of what design elements needed to be addressed. Mr. Hoffman said he did not want to wait two months to build. He said they would not do any redwood siding and only stucco siding. He said he understood the concern with how the roof angles on the right side of the home. He said he was happy to make whatever changes were needed to make the design more proportional. He said they could add a roof hangover and make it optically look different.

Commissioner Onken said he clearly preferred the redwood siding over stucco but to make it more coherent in its application.

Chair Combs said although he had some issues and concerns about the project he was not sure that those were definite enough to support continuance.

ACTION: Motion and second (Riggs/Kahle) to continue the project for redesign with the following to be addressed; passes 4-3 with Commissioners Barnes, Kahle, Onken and Riggs in favor and Commissioners Combs, Goodhue and Strehl opposed.

- Continue the redwood siding from the front elevation for a minimum of 12' on the right side elevation and integrate this revision into a cohesive design of the house;
- Balance the forms in the roof;
- Address the disconnection between the application of the shed roof over the garage on the front elevation and the termination of the hip roof on the right side elevation;
- Modify the design of the second floor addition over the garage on the first floor to address the disproportion of the design of the two-story redwood wall on the left side of the garage leading to the front entry in relation to the rest of the house; and
- Overall, revisit and submit a new design that holistically and comprehensively considers and addresses the following Commissioner comments: 1) massing, 2) exterior finishes, 3) balance, and 4) details.

F3. Use Permit/Ami Nixon/1834 Doris Drive:

Request for a use permit to demolish a single-story, single family residence and build a new two-story residence with a basement on a substandard lot with regard to lot width in the R-1-S (Single Family Suburban) zoning district. ([Staff Report #17-032-PC](#))

Staff Comment: Associate Planner Yesenia Jimenez said there were no additions to the staff report.

Applicant Presentation: Mr. Steve Simpson, project architect, said the site has a two-story home on the right and a one-story home on the left. He said their goal was to have a design that was complementary to both. He noted the street was becoming more two-story but was still a mix of one and two-story. He said they oriented the massing on the second floor more to the two-story home on the right. He said the design was more refined and detailed than a modern farmhouse. He said since the staff report a neighbor to the rear had concerns with the location of the air conditioning unit. He said they had met with the neighbor and were willing to move the units and work with staff to accomplish that.

Commissioner Onken asked about the note on the NW elevation that the upstairs windows would have interior window treatments. Mr. Simpson said those would be shades or blinds. Commissioner Onken confirmed those were retractable and non-architectural.

Commissioner Kahle asked if the siding at the corners was fully mitered. Mr. Simpson said it was. Commissioner Kahle asked about having condensers located so far from the house. Mr. Simpson said they could be remote with an insulated line but they would move them closer to the house in response to the rear neighbor's concern. Commissioner Kahle noted the basement mechanical units and the vaulted ceilings on the second story and asked about the duct work. Mr. Simpson said they were looking at two mini-split ducts, suitcase-sized units, for heating and cooling. He said the vaulted ceilings were to keep the attic space under five foot height.

Chair Combs opened the public hearing.

- Michael Bardclay, Doris Drive, said that 11 of the 20 houses on Doris Drive now were two-story. He said they supported the proposal and noted it had nice setbacks on the second story.

- Sue Kayton said she was a neighbor and was pleased the existing home would be demolished. She asked the Commission to approve the project.

Commission Comment: Commissioner Onken said that the design seemed well proportioned as the front façade and corners were visible. He said the side windows from the bathtub did not seem any problem. He said the windows from the bedroom were well screened. He said he would support.

Commissioner Goodhue said she also supported the project.

Commissioner Kahle asked about the edge of pavement as it seemed to be on the Doris Drive properties. Ms. Jimenez said she did not think the whole neighborhood was paved that way. Recognized by the Chair, Mr. Simpson said the street cuts through the front portion of the property. Replying to Commissioner Kahle, Mr. Simpson said there was no easement and no impact to the setback.

Commissioner Kahle said it was a nice design but it was designed almost completely to the maximum height allowed. He said he would like to see the height reduced if possible. He noted there was a light well to the front of the house, which was not preferable. He said however that it seemed discreet and had a railing so he thought it would be fine. He said the roof looked fine in the front but went through contortions around the side to allow for egress windows but that was not visible from the street. He said it was an approvable project.

Commissioner Strehl noted the home had seven-and-a-half bathrooms. She said the City needed to be more conscious of water conservation. She said the amount of bathrooms seemed excessive to her.

Commissioner Riggs said the design and presentation was very nice. He said gable end roofs were much nicer to see than hip roofs. He moved to approve the project. Commissioner Strehl seconded the motion.

ACTION: Motion and second (Riggs/Strehl) to approve the project as recommended in the staff report; passes 7-0.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by SDG Architecture, consisting of 16 plan sheets, stamped received on May 10, 2017, and

approved by the Planning Commission on May 22, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.

- b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
- c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
- d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

G. Regular Business

- G1. 2017-18 Capital Improvement Plan/General Plan Consistency:
Consideration of consistency of the 2017-18 projects of the Five-Year Capital Improvement Plan with the General Plan. ([Staff Report #16-033-PC](#))

Principal Planner Chow introduced Azalea Mitch, City Engineer.

Ms. Mitch said they were proposing 23 capital improvement projects for fiscal year 2017-18. She said part of the process involved presenting the planned project program to the Planning Commission for review to ensure consistency with the City's General Plan. She said many of the projects involved improvements to parks and underground infrastructure, including water and storm water.

Commissioner Strehl said as part of the General Plan update that the City committed to doing an update to its transportation plan and asked if that was included. Ms. Mitch said that plan had already been approved and the project would be presented to the City Council the next evening for the award. Commissioner Strehl asked about the Willows Neighborhood Complete Street and how it became a Complete Street as opposed to a Willows Neighborhood Street Traffic Study. Ms.

Mitch said it was the Willows Neighborhood project that combined cut through traffic and safe routes to school.

Commissioner Kahle asked about the library space planning project. Ms. Mitch said this project was presented to the City Council in March; the architect provided options including renovating the space, completely replacing the facility as a one-story building, or completely replacing it as a two-story building. She said if the budget was approved for the project, a preferred alternative would be developed.

Commissioner Barnes said he saw this CIP as an actualization of the commitment the City made to take the Transportation Master Plan and Circulation Element, and identify parts of the City that would benefit specifically from programs run through the Circulation Element.

Commissioner Riggs asked about the Downtown Streetscape Improvement Project that would conclude with a fourth component to develop a master plan for the downtown area. He asked if that was a master plan for adjusting the curbs as that was already approved for restaurant outdoor seating or was it to open a door to discuss a parking structure as part of a different plan than what was approved under the Specific Plan. Ms. Mitch said this project was being led by Economic Development and they were in the process of identifying elements that were approved under the Specific Plan. She said she would have to get back to Commissioner Riggs regarding the specific information that involved developing the scope for the specific project. Commissioner Riggs said there was a big difference between outdoor seating for restaurants and a streetscape. He said there was a reference to a master plan for the downtown area and the project was named differently, so what was being considered seemed unclear. He asked how they could access its consistency with the General Plan.

Principal Planner Chow said the Commission's review was to look at the consistency of the CIP in conformance with the goals of the General Plan. She said the broader goals established in the General Plan about the El Camino Real Downtown Specific Plan areas were to create a greater vitalization area, community gathering space, and encourage preservation and enhancement of the downtown. She said the four part program listed in the CIP was intended to encourage and foster what came out of the Specific Plan. Commissioner Riggs questioned the need for a master plan for an area that already had a Specific Plan. Ms. Mitch indicated that she thought it was to get more specific in terms of the elements specified and look at preliminaries and conceptual designs in more details. Commissioner Riggs said he had not looked at the General Plan prior to the meeting but thought that there should be some element of fiduciary responsibility within it to make sure the City got the most value for dollars spent. He said if the Downtown Streetscape Improvement Project included a master plan and a downtown design competition for parking garages he would have to conclude the project was not in conformance with the General Plan or any reasonable development guideline. Principal Planner Chow said the General Plan did not outline a financing plan in the most recent General Plan. She said adoption of the Capital Improvement Plan would come forward with the budget to the City Council. She said it would then be appropriate for Council to review these projects and align with the upcoming budget.

Commissioner Barnes asked when the CIP was put together if a map was prepared showing where infrastructure investments would take place. Ms. Mitch said they had a map for repaving the streets. She said they did not have a comprehensive map view of their CIP plan but could create it.

Chair Combs opened the item for public comment, and closed it as there were no speakers.

Commission Comment: Commissioner Onken moved to make a finding that the 2017-18 projects of the Five-Year Capital Improvement Plan are consistent with the General Plan. Commissioner Goodhue seconded the motion.

ACTION: Motion and second (Onken/Goodhue) to make the finding and adopt Resolution No. 2017-01 determining that the 5-Year Capital Improvement Plan's projects for Fiscal Year (FY) 2017-18 are consistent with the General Plan; passes 7-0.

Chair Combs noted that he and Commissioner Goodhue needed to recuse themselves from item H. Study Session and Vice Chair Kahle would Chair the remainder of the meeting.

H. Study Session

H1. Conditional Development Permit Amendment and Environmental Review/Hibiscus Properties, LLC/301-309 Constitution Drive:

Request for an amendment to a Conditional Development Permit (CDP) approved in November 2016 to modify the location and footprint of Building 22 (Phase 2) of the Facebook Campus Expansion Project located at 301-309 Constitution Drive, construct a multi-story parking structure, allow for the retention of Building 305 during construction of Building 22, and the utilization of the footprint of Building 305 (post demolition) for additional landscaping, landscape reserve parking, and a transit center for charging and staging of electric vehicles, such as intra-campus trams and shuttles. Building 22 would continue to meet the minimum setback requirements of the CDP; however, the building mass and footprint would be shifted toward the north of the site along the Bayfront Expressway frontage and the location and design of the potential connection between Buildings 21 and 22 would be changed. No changes to the hotel are proposed at this time, and the hotel would be reviewed through a separate future architectural design review, as set forth in the CDP. The proposed modifications would continue to comply with the minimum setbacks, minimum parking ratio, and the floor area ratio and building coverage requirements of the previously approved CDP; however, the proposed multi-story parking structure and skylight elements of Building 22 would exceed the 75-foot height limit, extending to approximately 83 feet in height for the parking garage structure and 87 feet in height for Building 22. Therefore, the increase in building height and the extent of the proposed changes to the site plan and conditions within the CDP require an amendment to the previously approved CDP. The project site is located in the O (Office) zoning district. ([Staff Report #17-034-PC](#))

Staff Comment: Senior Planner Kyle Perata said that there was a colors and materials board at the dais. He said an additional piece of correspondence was received after the printing of the staff report and was emailed to the Commissioners. He said copies were available for the public at the back table. He noted this email from Patti Fry asked about development review and the timing of the occupancy of Building 305. He said as the staff report noted the City was going through the environmental review process now to determine consistency between the proposed modified CDP and the approved, certified EIR.

Senior Planner Perata provided an overview of the project noting that the City Council had approved it in November 2016 and the first phase of Building 21 was under construction. He said the proposed Phase 2 included a CDP amendment including modifications to the site plan, a new multi-story parking structure, an increase in height for specific elements of the parking structure

and Building 22, and retention of Building 305 for an interim phase with the future demolition of Building 305 resulting in an EV charging transit center and additional landscaping onsite. He said the staff report contained questions the Commission might want to consider in its review.

Applicant Presentation: Craig Webb, Gehry Partners, described the 3-D model for the Commission as the AV presentation was set up. He provided a visual presentation and described the architectural evolution they had gone through regarding the diversity of Facebook and its culture, the integration of buildings within the Bay landscape and in complement to the industrial area, and building relationship to the Belle Haven neighborhood. He said Building 22 was proposed as a four-story office building next to an eight-story parking garage, which would accommodate about 1,750 vehicles. He said they had learned that Facebook needed a diversity of spaces and Building 22 would have a four-story atrium up the center of the building that would have an interior social space. He provided an overview of the proposed build out of the site and described the park and public and open space amenities. He said the original proposal had nine acres of green space and this proposal had almost 15 acres of green space. He said the original proposal had a surface parking lot and that was now revised to have a parking structure. He said the project as modified would have much more open space and a greater buffer between the project buildings and the Belle Haven neighborhood.

Mr. Webb said the top of the roof of the parking garage was below the 75-foot height limit but with a skylight that would cover the central atrium and mechanical system feeds, the height went above the 75-foot limit. He said at the very top of the parking garage was a complete array of photovoltaic panels. He said the glass for this building would have a ceramic frit which would make it visible to birds. He said they were trying to break down the massing using landscaping. He said their intent was to drape the garage façades in metal mesh to grow plant material for screening but there was a question about air circulation. He said Facebook's goal was to get to net zero energy increase and they were in process to get approval for an onsite black water recycling system, intended for irrigation and toilet flushing. He said that having an onsite bus recharging site would reduce traffic.

Commissioner Onken said a summary would be helpful of what had been the parking space number and what it was now, and any EIR issues. Senior Planner Perata said ultimately for the final phase the project would have 3,533 permitted spaces from the CDP for Buildings 21, 22 and 23, the latter a separate project rolled into the CDP, and the hotel. He said in the interim the parking structure would accommodate Buildings 22 and 23. He said there was a net reduction of 20 spaces in the interim but ultimately no net change for the total. He said they were in the early stages of the environmental review. He said ICF, the consultant that did the original EIR, was comparing this amendment project with CEQA topics to determine if there were changes; if there were, an addendum to the EIR would be prepared for Planning Commission and City Council review and approval.

Commissioner Onken asked about the Dumbarton Rail Corridor Study. Mr. Fergus O'Shea, Facebook, said the group leading the effort for Facebook was assembling the data and an initial draft report would be released the following month.

Commissioner Strehl asked how many employees were on Buildings 21, 22, and 23. Mr. O'Shea said for Buildings 21 and 22 they envisioned 6500 employees and for Building 23, 1500. He said there was no additional traffic than what was approved previously. Replying to Commissioner Strehl, Mr. O'Shea said the parking garage would have 1750 spaces for Buildings 22 and 23. He said parking for Building 21 would be underneath it and parking for the hotel would be on the same parcel for it.

Commissioner Kahle asked about the number of stories for the building in the previous design. Mr. Webb said the previous design was very similar to Buildings 20 and 21, which were one-story buildings with mezzanines, and some roof space.

Commissioner Riggs asked about the roof levels and the mechanical screens, and if the mechanical screens were taller than the equipment. Mr. Webb said there were photovoltaic panels flush to the screen and the screening was as low as possible to screen the equipment.

Acting Chair Kahle opened public comment period and closed it as there were no speakers.

Commission Comment: Commissioner Strehl asked about community outreach for the modified proposal. Mr. Webb said previously they had a number of community meetings on the proposed design and that the greatest concern was about traffic impacts.

Mr. Patterson, Facebook, said that they had done an extensive amount of community outreach throughout the process that led to the hearings held in the fall of 2016. He said a lot of that outreach led them to the design they were presenting now. He noted they were working within the same envelope of the approvals from the last year with the exceptions mentioned this evening. He said they had incorporated much of the feedback into the park area and multi-purpose bridge in pulling the park out to the western edge and creating a more usable area. He said they had also done outreach with the latest design.

Vice Chair Kahle reopened public comment.

- Emma Jones, 1371 Hollyburne Avenue, said she liked the concept of moving the buildings closer to the Bayfront as development being proposed elsewhere in the area was making she and her neighbors in the Belle Haven feel claustrophobic. She said this proposal would work nicely.

Vice Chair Kahle closed the public comment period.

Commission Comment: Commissioner Riggs suggested they consider the effects of sunlight and reflection for areas adjacent to the building and the glass areas; he said it could be a heat challenge for landscaping and people. He asked if they had done any studies about where bounced light would land. Mr. Webb said they had done much interior light analysis but had not on exterior reflective light. Commissioner Riggs said he thought the continuous light well was fantastic but asked if they had done studies regarding the light for the two lower levels. Mr. Webb said that was why they had been using their lighting consultant and doing day lighting analysis. He said all the facades have motorized shading on the inside controlled by a timer clock and solar sensors. Commissioner Riggs said that the garage would be a large part of the landscape. Mr. Webb said they designed the parking garage first without the green wall and created a design that was simple with no ramping on the outside. He said they had taken care with the design of the structure and that would be apparent whatever the scrim was on the outside.

Commissioner Barnes said he had met with Mr. O'Shea two months prior for lunch and briefly discussed the project. He said regarding community outreach that he felt the height might be the greatest concern, and he thought the community's voice on the height would be important to hear. He said he struggled with the parking garage and found it monolithic. He said the model was helpful as he could see some of the exterior aspects of it. He said looking at the renderings that it

appeared like a sheer wall of green and he felt it needed something. He asked if they would have larger trees to soften the parking structure. Mr. Webb said the site planning around the building was pretty well settled but the species were still very much a point of discussion. He said on Building 21 they had introduced some redwood trees particularly in the interior and away from the Bayfront noting larger trees attracted raptors that potentially might endanger protected bay animal species. Commissioner Barnes asked about examples of garages of a similar scale that had successfully vegetated the exterior. Mr. Webb noted one in Miami's South Beach that had a planting, which came 10-feet off the façade. Commissioner Barnes asked about the potential of planting failure. Mr. Webb said he would ask the landscape architect to respond to that question.

Chris Guillard, CMG Landscape Design, said they were working with horticulturalists and ecologists on plant selection and looking at soil volumes within the planters. He said that planters would ring each level of the parking structure. He said they were confident they could get good growth. He said their main concern was too much growth as that would need too much maintenance. He said regarding species selection they were still doing research. He said they were looking at different solutions for each of the elevations. He said the height was about eight feet from floor to floor and they were confident they could provide fairly even coverage that would survive throughout the year and also with some maintenance be retained in the future. Replying to Commissioner Barnes, Mr. Guillard said the south elevation would have a thicker planting that would grow faster while the north would be looser and take longer to grow. He said their thought was to create subtly varying grouping of plants with a couple of unifying species that would wrap all four elevations subject to the air circulation determination. He said evergreen would be the dominant species with some deciduous and flowering varieties for some seasonal color. He said there were examples of these particularly in San Francisco and they could provide examples.

Commissioner Barnes asked whether they had thought about articulation for the parking structure should its massing and height prove to be an issue. Mr. Webb said he could imagine somehow manipulating the screen wall to give more form and shape. Commissioner Barnes asked how the open space was bounded and security provided. Mr. Webb said Building 20 had an eight-foot chain link fence buried into the landscape and he expected similar treatment for Building 21. He said the public space would have more ground plane visibility. Commissioner Barnes asked why they would keep Building 23 and not raze it. Mr. Webb referred back to his comment on Facebook culture and space diversity; he said the people who work in Building 23 love it.

Commissioner Onken asked how the M2 design guidelines applied to these buildings. Senior Planner Perata said because the site was granted a conditional development permit and accompanying entitlements that those governed the site despite the ConnectMenlo Land Use and Zoning Update. Commissioner Onken said the building itself was fantastic. He said the parking garage seemed to be an issue and he questioned why they would accept it being taller than it needed to be. He said he thought it could be helped by reducing the height and perhaps splitting the volumes with a central entry ramp and still not lose parking spaces. He said also with the hotel function he was surprised that at least half of the parking garage would not use stackers, which helped to reduce volume significantly. He said he was also curious about the public park definition that Commissioner Barnes had asked about.

Vice Chair Kahle said he thought this would be a successful design in how it continued the forms of Buildings 20 and 21. He said he was concerned about the height of the garage and thought it should be subservient to the other buildings. He said it was taller than even the mechanical spaces of Building 22 and the hotel. He said the eighth floor level was at 75-feet and he thought they were stretching the exceptions and he was concerned with how that looked. He said he appreciated

bringing the buildings closer to the Bayfront and giving more space to Belle Haven but it had a very lineal feeling to it. He said regarding Building 22 that he again thought they were stretching the exceptions a bit as its mechanical space really appeared like a fifth story. He said one option might be to step those back. He said he was not as concerned with the skylights although those were 12-foot tall as those were in the center, situated farther back and did not appear to add that much height to the massing. He said the interior for Building 22 was great, stepping back from Belle Haven was wonderful and it did well with the industrial nature of the area. He said the south elevation was very successful in breaking down the massing with the landscape but he was unsure whether the north elevation was as successful. He said looking at the floor plan it was a straight line and the model had more variations with the forms and landscaping but he still had concerns that it was not as successful. He said when coming down Bayfront, Building 22, the hotel and garage would be the focal points. He said perhaps something could be done to play off the electrical tower as this was much closer to it than the other buildings. He said he appreciated having more open space but was concerned it was just a loop and might not be used or underutilized as there was no destination. He said he hoped that the open space would be well lit at night for safety.

Commissioner Riggs said the modifications added height to a group of tall structures taller than anything else that Menlo Park had ever approved. He said he agreed with the observation about the height of the garage. He said the applicants were deferring building the park and he wanted to confirm that ultimately Building 305 would come down and the park would be built. He said as he understood it, the delay in the demolition of Building 305 would delay the hotel as it would be built from the floor area ratio resulting from that demolition. He said that demolition was expected in 2022 which would mean the hotel would not open until 2024 potentially. He suggested that the parking garage might have one or more excavated levels if that was permitted in the flood zone as that would lower the overall height of the building.

Vice Chair Kahle asked if underground parking was possible in the flood zone. Senior Planner Perata said in theory it was possible. Mr. Webb said it was possible to go below grade but there were restrictions on mechanical equipment in the flood zone.

Mr. O'Shea said there was extreme expense associated with going belowground and dealing with the water table, which was why they wanted to keep it at a ground floor level. He said the building itself was 75 feet in height and the mechanical screens and enclosures he understood were exempt from the 75-foot height limit. He said he appreciated Commissioner Kahle's comments about stepping them back and noted they looked quite big in the renderings. He said they were looking at skylights to go over the 75-foot height and would definitely take comments made tonight and look at that. He said as a point of reference that although the project was not under the new zoning design guidelines, those guidelines allowed for four to six story buildings with four stories the average at a maximum height of 110 feet in the same zoning district.

Commissioner Strehl asked if occupancy would occur before the removal of Building 305. Mr. O'Shea said under the current schedule that there would be an overlap of about nine months. He said the tenants in Building 305 were incentivized to leave in the third quarter of 2020.

Commissioner Barnes said in the staff report there were some questions for the Commission to consider. He said as to moving Building 22 toward the Bayfront he thought that was a good idea. He said they had discussed the parking garage. He said the design of Building 22 was well done. He asked regarding the future 2.25-acres for EV charging for buses and shuttles where that

currently took place. Mr. O'Shea said some of it related to future capacity. He said currently they had electric trams and they expected over time their buses would convert to electric.

Commissioner Barnes said he did not have a problem with the timing of the delivery of the open space.

Vice Chair Kahle said he had visited the campus and he thought that solar panels might be added over that 2.25 acres charging space too.

Commissioner Onken said he supported Commissioner Barnes' comments on the points of review.

Commissioner Strehl said she had also visited the Facebook campus and met with them prior to that to discuss the overall project approach.

I. Informational Items

I1. Future Planning Commission Meeting Schedule.

- Regular Meeting: June 5, 2017

Principal Planner Chow said that there were three items for the June 5 agenda, two single-family residential development projects and on hazardous materials use project.

- Regular Meeting: June 19, 2017
- Regular Meeting: July 17, 2017
- Regular Meeting: July 31, 2017

J. Adjournment

Vice Chair Kahle adjourned the meeting at 10:49 p.m.

Staff Liaison: Deanna Chow, Principal Planner

Recording Secretary: Brenda Bennett



REGULAR MEETING MINUTES - DRAFT

Date: 6/5/2017
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

Present: Andrew Barnes, Drew Combs (Chair), Susan Goodhue, Larry Kahle (Vice Chair; arrived 7:02 p.m.), John Onken, Henry Riggs (arrived 7:02 p.m.), Katherine Strehl

Staff: Michele Morris, Assistant Planner; Ori Paz, Planning Technician; Thomas Rogers, Principal Planner; Corinna Sandmeier, Associate Planner

C. Reports and Announcements

Principal Planner Thomas Rogers said the City Council at its May 23, 2017 meeting gave direction to enhance the City's electrical vehicle charger requirements and appointed two members to a subcommittee to study. He noted that Commissioner Larry Kahle had arrived at the dais. He said the proposal would come back to the City Council later in the year. He said the City's budget was on the agenda for the upcoming June 6, 2017 Council meeting. He noted that Commissioner Henry Riggs had arrived at 7:02 p.m., also. He said the 318 Pope Street heritage tree removal appeal was going to the Council for action and was linked to a use permit requirement for a single-family residential development on a substandard lot that the Commission had continued. He said the Commission was tentatively scheduled to review the use permit application at the June 19 meeting.

Commissioner Susan Goodhue asked if Menlo Park had a requirement for electric vehicle charger installation for new development. Principal Planner Rogers said in the El Camino Real / Downtown Specific Plan area there were a few requirements implemented but those did not apply citywide.

D. Public Comment

There was none.

E. Consent Calendar

E1. Approval of minutes from the May 8, 2017 Planning Commission meeting ([Attachment](#))

Commissioner Riggs said on page 10, sixth line from the bottom, in the phrase "...they had had at least two projects come back indicating skyhooks were expensive..." that "skyhooks" should be replaced with "skylights." He said under "Action" for the same item, Commissioner Kahle was listed as recused. Commissioner Kahle said he made the motion and was not recused. Commissioner Riggs said on page 16, three fifths of the way down to add "past projects of" before "square slate

boxes....”in the sentence “Commissioner Riggs said square slate boxes did not add anything to El Camino Real.” Commissioner Kahle said on page 9, near the bottom, to delete “cabin” from the sentence: “He said one solution was to run the stucco up over a parapet cabin to protect it.”

ACTION: Motion and second (Katherine Strehl/Andrew Barnes) to approve the minutes with the following modifications; passes 6-0 with Commissioner Goodhue abstaining.

- Page 9, near the bottom, delete “cabin” from the sentence: “He said one solution was to run the stucco up over a parapet ~~cabin~~ to protect it.”
- Page 10, sixth line from the bottom, change “skyhooks” to “skylights” in the phrase “...they had at least two projects come back indicating sky~~hook~~lights were expensive.”
- Page 10, under Action, delete “with Commissioner Kahle recused...”
- Page 16, insert “past projects of” before “...**past projects of** square slate boxes did not add anything to El Camino Real.”

F. Public Hearing

- F1. Use Permit/Justin & Amy Kurpius/1151 Westfield Drive:
Request for a use permit to demolish an existing single-story single-family residence and construct a new two-story single-family residence on a substandard lot with respect to lot width in the R-1-S (Single-Family Suburban Residential) zoning district. ([Staff Report #17-035-PC](#))

Staff Comment: Assistant Planner Michele Morris said a neighbor at 621 Windsor had sent in a handwritten letter last week that was available at the dais for the Commission and the rear table for the public. Ms. Morris indicated she had spoken with the neighbor.

Applicant Presentation: Justin Kurpius introduced his wife Amy and their architect Steve Schwanke. He said they had met with all of the neighbors about the project and had been well received.

Chair Combs opened and closed the public hearing as there were no speakers.

Commission Comment: Commissioner Kahle said the two street elevations worked well together. He said there were five different roof pitches in two different materials. He said two materials could work together but he had concerns that they were not tied together with this proposal. He said the standing seam metal roof on the left elevation looked like it continued beyond the wall above and did not resolve itself. He said it could have the potential to gather water there. He said he would like more consistent roof forms noting there were gables and hips and a lot going on with different sheds and such. He said the project was pushing the maximum height by a couple of inches, which was sort of a trend, as well as it seemed a bit of at trend to put the guard rails for the light well in the front of the house. He said his biggest concerns were the roof pitches, the light well, and also what appeared to be two doors to the house. He said the main door was on the Westfield side but on the Windsor side there was another entry door right next to the garage. He said that could be confusing and suggested it was easier to address architecturally than with landscaping. He said as a comment the basement plan had a lot of jogs and it would be cheaper and easier to build if it did not have so many offsets.

Chair Combs referred to Eleanor Rackowitz’ letter saying it was not clear whether she supported or opposed the project. Assistant Planner Morris said the neighbor had concerns with the size of the

house and that it was two-story but did not oppose the project. She said the neighbor also spoke very generally about how the house might or might not fit within the neighborhood context. She said the neighbor was generally concerned about the design.

Commissioner Riggs acknowledged Commissioner Kahle's comments about the roof pitches. He said he thought the project was nicely detailed and noted in particular the two lantern style chimney caps, which he hoped would not be dropped from the design.

Commissioner Onken said the house would read as a large home to the neighbors as it was on a corner lot. He said however the house followed the lines of neighbors' homes and although proposed to the maximum had pitched roofs and was not just a big box. He indicated the project was supportable.

Commissioner Goodhue said she had some general concerns initially about the roof pitches but she thought it was a very handsome house. She said she tended to agree with Commissioner Onken that it would create a nice space for the occupants. She said it was a large house on a corner lot next to a one-story and probably would look large until the neighbor built a two-story home, which she thought was inevitable. She said she agreed with Commissioner Riggs about keeping the nice details as proposed.

Commissioner Combs said he had visited the site and as he recalled there was a fairly large, two-story house directly across the street. He said he thought the project would be a good addition to the neighborhood. He asked if the applicants would address some of the concerns raised by Commissioner Kahle.

Mr. Schwanke said they did not want the garage at the front of the house where the main door was situated. He said with planting and fencing that the side door next to the garage would nicely allow for great circulation. He said the home would connect with neighbors on both sides of the streets in a more welcoming way. He said regarding the roof slopes that they specifically lowered the hip to 7 by 12 pitch from the 8 by 12 pitch to bring the scale down as the home was on a corner. He said they started with 8 by 12 as that was the proportion that worked better with gables typically. He said the steeper pitch also fit the vernacular character the clients wanted. He said he thought it was too steep and that was why it was slightly less. He said it was a subtle adjustment but because of its dominance on the corner they thought it sent a softer message about the overall massing. He said for the ground floor roof they wanted to have the sills come down lower. He said the other pitches were shed roofs and they would not be the same. He said although there were subtle differences the pitch went from 6 by 12 to corner hips of 7 by 12 and other gables of 8 by 12. He said they thought this presented a more reduced scale solution for what they were trying to accomplish. He said regarding materials the client wanted to have two different roofing materials. He said they kept the standing seam metal roof on the ground floor and the entire second floor would have wood shingles.

Commissioner Goodhue said that Commissioner Kahle had asked how the standing seam metal roof would resolve itself on the left exterior, noting sheet AE.01 on the left exterior elevation. Mr. Schwanke said the standing seam metal roof would terminate there.

Commissioner Kahle said the rear elevation on sheet AE.02 indicated the roof just stopped and there was a vertical wall on the side of the standing seam metal roof. Mr. Schwanke said they could return it to meet the shingled roof. He said that the varying roof slopes were the result of

thinking through the design.

Commissioner Riggs asked staff at what point attic space was counted as additional square footage. Assistant Planner Morris said if attic space exceeded five feet and higher it counted double toward the floor area limit. Commissioner Riggs asked the architect to look at Section A of the drawings, as it had attic space height at 4-foot and 11 and 15/16 inches and a 7 by 12 pitch. Mr. Schwanke said if they needed to change that to 8 by 12 they could just raise the ceiling below and keep the attic space conforming.

Commissioner Onken moved to approve the findings as recommended in the staff report. Commissioner Goodhue seconded the motion.

ACTION: Motion and second (Onken/Goodhue) to approve the item as recommended in the staff report; passes 6-1 with Commissioner Kahle opposed.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Schwanke Architecture consisting of 18 plan sheets, dated received May 24, 2017, and approved by the Planning Commission on June 5, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and

significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.

- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

F2. Use Permit Revision/Andrew Barnes/210 McKendry Drive:
Request for a use permit revision to add approximately 281 square feet of first and second floor space and make other exterior revisions to a previously-approved project to expand and modify a single-family residence. The subject parcel is a substandard lot with regard to lot width, depth and area in the R-1-U (Single-Family Urban) zoning district, and the proposal would exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The project would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The previous use permit was approved by the Planning Commission on February 8, 2016. ([Staff Report #17-036-PC](#))

Chair Combs said that Commissioners Barnes and Riggs recused themselves from consideration of the item.

Staff Comment: Associate Planner Corinna Sandmeier said there were no additions to the written report.

Questions of Staff: Commissioner Strehl asked when the City received the use permit revision application. Associate Planner Sandmeier said it was received February 27, 2017.

Applicant Presentation: Andrew Barnes introduced his wife Deb and said they were the owners of 210 McKendry Drive. He said they had architectural and design assistance on the project from Michael Pittinger. He said the project was originally approved in February 2016 before he was on the Planning Commission and their building permit was issued June 22, 2016. He said from July 2016 through the beginning of 2017, he and his wife had considered a number of upgrades and modifications to the originally approved project. He said the proposed changes included moving the first floor and the living and dining rooms out approximately four feet, changing the roofline and the pitch to improve the proportion to the dormers, changing materials from asphalt shingles to cedar shake, from stucco to horizontal siding and changing all the windows out for wood clad windows. He said they also changed some of the window shapes, put overhangs on the left and rear elevations, and put a shed roof on the right side of the building.

Commissioner Strehl asked about the timing of the revision application noting that in the past the Commission has dinged applications that were made after the work was done. Mr. Barnes said that they moved the ridge line forward three feet and brought the dormer out seven and a half feet, which added 80 square feet to the FAL on the second floor and brought the first floor up 4 feet which added approximately 70 square feet to the FAL on the first floor. He said the situation was it was December and heavy rains were expected. He said they felt they had to get a roof on and weather tight and finish that roof. He said subsequently they had not done exterior elements of

their desired revised design. Commissioner Strehl confirmed that they had submitted the use permit revision plans to the city in February.

Commissioner Kahle said the staff report indicated a deck might be added. Mr. Barnes said they currently have front and rear decks. He said they would put a deck along the left side. Commissioner Kahle asked if that would wrap the porch area too. Mr. Barnes said there was a deck there now. Commissioner Kahle said the drawings on A7 seemed to show a landing and step at the entry door. Mr. Barnes said there was as they had had to raise their foundation about 18-inches above grade which created the need for a landing there. Commissioner Kahle asked about the curved forms to the lower roof. Mr. Barnes said they fell in love with the swale idea to make the roof lines work. Commissioner Kahle asked if the pair of windows on the right of the front dorm on the second floor went to attic space. Mr. Barnes said they have six windows across the front and four of those went to the cathedral ceiling in the living room. Commissioner Kahle said in the section it looked like it opened to attic space, noting A11, cross section 4, indicating beams. Mr. Barnes said those beams were architectural details and had open space above them.

Commissioner Strehl said there garage was in the same location and asked about their one uncovered space. Mr. Barnes said they had covered and uncovered spaces in tandem. He said several years ago they widened their driveway and could now park two cars next to each other.

Chair Combs opened the public hearing.

- John Grundy said he lived two doors down from the Barnes. He said he had recently completed a two-story remodel of his house. He said the original plans and the current proposed plans showed the Barnes' further thinking in how they would use the space inside to push out more on the first floor for family space and give an uplift to the exterior. He said he liked the changes being made and it was a benefit for the neighborhood.

Chair Combs closed the public hearing.

Commission Comment: Chair Combs said in reference to Commissioner Strehl's observation about project revisions done before being approved and the Commission dinging those, that often he has been the one doing the dinging. He said Mr. Barnes provided a reasonable explanation regarding the rain, the need for a roof, and how that led to the situation of a use permit revision. He said he wanted to go on record that in the past he had been a Commissioner very critical of projects where revisions were made before seeking approval to the point of him abstaining from approval.

Commissioner Onken said one minor problem of conformance with the original approval was it intruded into the daylight plane in a minor way at the top of the gable. He said in moving the gable forward that it would intrude a greater amount into the daylight plane but it must still be within the exception limit. He said this design maintained the idiosyncratic charm the original design had. He said the original design had been a mix of Cape Cod and Salt Box with long Craftsman lights along the top, which was very welcome at the time. He said this design sorted out a few of the internal issues and was approvable.

Commissioner Goodhue said she agreed with the comments made noting she was a stickler for people following the rules, but there were always exceptions to the rules. She said she understood the need to get a roof on the project. She said she generally liked the changes made including the roof slope and the change in materials from asphalt to cedar shingles. She said asphalt shingles

would not be in her design guidelines.

Commissioner Kahle said he not been a great fan of the previous design but liked how the changes had turned out. He said the design was improved due in large to the upgrade in materials with the cedar shake and siding rather than stucco. He said he thought the curved roof was very charming and fit the house very well. He said regarding doing the work before the approval that the positive was you could see the work and find it looked great but the downside was you could see the work and want the applicant to take it out. He said there were multiple roof pitches but the odd ones were on the back and the front ones looked really good. He noted the roof materials were combined so that one material was an accent and the other was the base material. He said the master bedroom did not have a door open at the top of the stair well with a laundry room below, and suggested they might want to close that. He said regarding the deck it might be nice to have a porch at the level of the front door so the deck could wrap around and eliminate some of the steps of the landing.

Commissioner Goodhue moved to approve as recommended in the staff report. Commissioner Strehl seconded the motion.

ACTION: Motion and second (Goodhue/Strehl) to approve the item as recommended in the staff report; passes 5-0 with Commissioners Barnes and Riggs recused.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by John MacNaughton, consisting of 17 plan sheets, dated received May 30, 2017, and approved by the Planning Commission on June 5, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact

locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.

- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Kielty Arborist Services, LLC dated January 27, 2016 and the addendum prepared by Kielty Arborist Services, LLC dated April 20, 2017.

4. Approve the use permit subject to the following *project-specific* condition:

- a. Any additional deck area near heritage trees shall be reviewed and approved by the Planning Division and the City Arborist.

F3. Use Permit/Clear Labs/3565 Haven Avenue, Suite 2:

Request for a use permit for the use and storage of hazardous materials for the research and development (R&D) of a food safety testing platform located in an existing building in the M-2 (General Industrial) zoning district. All hazardous materials would be used and stored within the building.

Commissioner Barnes rejoined the Commission on the dais.

Staff Comment: Planning Technician Ori Paz said there were no additions to the staff report.

Applicant Presentation: Kenny Herrera, Research Associate, Clear Labs, said they had been developing a food safety testing platform using next generation sequencing which involved extracting DNA from any food sample and amplifying and sequencing it to describe exactly what it was and what food borne pathogens it might contain.

Chair Combs opened and closed the public hearing as there were no speakers.

ACTION: Motion and second (Strehl/Kahle) to approve the item as recommended in the staff report; passes 7-0.

- 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
- 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed

use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.

3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans provided by Green Environment inc, consisting of six plan sheets, dated received May 11, 2017; the project description letter, dated April 5, 2017; and the Hazardous Materials Information Form (HMIF), dated received April 5, 2017; all approved by the Planning Commission on June 5, 2017 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicant shall comply with all sanitary district, Menlo Park Fire Protection District, and utility companies regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. If there is an increase in the quantity of hazardous materials on the project site, a change in the location of the storage of the hazardous materials, or the use of additional hazardous materials after this use permit is granted, the applicant shall apply for a revision to the use permit.
 - e. Any citation or notification of violation by the Menlo Park Fire Protection District, San Mateo County Environmental Health Department, West Bay Sanitary District, Menlo Park Building Division or other agency having responsibility to assure public health and safety for the use of hazardous materials will be grounds for considering revocation of the use permit.
 - f. If the business discontinues operations at the premises, the use permit for hazardous materials shall expire unless a new business submits a new hazardous materials business plan to the Planning Division for review by the applicable agencies to determine whether the new hazardous materials business plan is in substantial compliance with the use permit.

G. Informational Items

G1. Future Planning Commission Meeting Schedule

- Regular Meeting: June 19, 2017

Principal Planner Rogers said the 318 Pope Street project use permit was tentatively scheduled for the June 19 agenda and by that time hopefully there would be a resolution of an appeal of the heritage tree removal permit. He said in addition to a couple of other residential development projects the agenda would have the 2131 Sand Hill Road project that would include annexation to the City, zoning for an office building, approval of a use permit and architectural control, and rezoning of the Provost's house to residential. He said the Planning Commission would be the recommending body to the City Council for that project.

Commissioners Strehl and Onken said they would not be at the July 17 meeting.

- Regular Meeting: July 17, 2017
- Regular Meeting: July 31, 2017
- Regular Meeting: August 14, 2017

H. Adjournment

Chair Combs adjourned the meeting at 7:50 p.m.

Staff Liaison: Principal Planner Thomas Rogers

Recording Secretary: Brenda Bennett



STAFF REPORT

Planning Commission

Meeting Date: 7/17/2017
Staff Report Number: 17-042-PC

Public Hearing: Use Permit/Joe Gardella/202 Gilbert Avenue

Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish an existing two-story, multi-family residence with four units and a detached carport, and construct a new two-story, single-family residence, at 202 Gilbert Avenue. The subject property is on a substandard lot with respect to lot width and lot area in the R-1-U (Single-Family Urban) zoning district. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at the northwest corner of Gilbert Avenue and Central Avenue in the Willows neighborhood. As defined by the Zoning Ordinance, the Gilbert Avenue side of the property is considered the legal front of the property, as it is the shorter of the two sides facing a public street. Addresses and front doors may be located on either street, and off-street parking may take access from either frontage. The immediate neighborhood contains a mixture of single-story and two-story single and multi-family residences, as well as commercial uses, as surrounding parcels have R-1-U (Single-Family Urban Residential), R-2 (Low Density Apartment), and C-2 (Neighborhood Shopping) zoning designations.

Analysis

Project description

The applicant is requesting approval of a use permit to demolish an existing two-story multi-family residence and a detached carport and construct a new two-story, single-family residence. The existing residence contains four studio units within a two-story structure built in 1925, according to San Mateo County Assessor records. Because multi-family dwellings are not permitted in the R-1-U zoning district, the fourplex is considered a nonconforming use. Staff informed the applicant that a secondary dwelling unit at the site could be permitted in conjunction with the new single-family residence, but the property owner is only interested in having one dwelling unit at the site.

The site is substandard in regard to lot width and lot area, with a width of 50 feet where a minimum of 65 feet is required and a lot area of 5,000 feet where a minimum of 7,000 square feet is required. The garage would be located on Gilbert Avenue, and the front door would be oriented toward Central Avenue. The applicant may apply to the Building Division for an address change, if desired. A data table summarizing parcel and project attributes is included as Attachment C. The project plans, the applicant's project description letter, and a neighborhood outreach letter are included as Attachments D, E, and F, respectively.

The proposed residence would be a three-bedroom home with three bathrooms. The first-story living space would feature an open floor kitchen, dining and living room area, and an office. The second-story living space would contain all three bedrooms, a reading area, and a laundry area. At the rear of the residence, on the first floor, two separate sliding glass wall systems would open from the dining and living room area onto an outdoor patio.

The proposed project adheres to all Zoning Ordinance regulations including setbacks, lot coverage, floor area limit, height, daylight plane, and parking.

Design and materials

The applicant states in the project description letter that the proposed residence would be constructed in a contemporary style using a variety of materials found in the larger vicinity. The exterior materials would primarily consist of a smooth finish integrated colored stucco and painted wood siding, with metal windows. The two-car garage would have a painted wood garage door and a painted wood fascia over it to help to deemphasize its presence. The proposed roof would be a flat roof clad in thermoplastic polyolefin. A similar, contemporary-designed home can be found on the next block to the west, at 431 Laurel Avenue, also on a corner lot, at Elm Street.

To minimize the overall massing of the new two-story building, the upper floor would be offset from the first-floor walls on all sides. To maximize privacy between the adjacent two-story residence at 210 Gilbert Avenue, the applicant has indicated to staff that only one window is proposed on the first-floor left elevation, at the kitchen. On the second floor, clerestory windows are proposed to be included, with sill heights of over six feet, on both the left and rear elevations, which face the two adjacent residences. A few windows with lower, two-and-a-half foot sill heights are also proposed on the second floor. Along the rear property line, new landscaping is proposed to provide privacy screening.

Staff believes that the architectural style and scale of the proposed residence would be consistent with the surrounding neighborhood. The design is generally attractive and well-proportioned, and the variety and quality of the materials, along with the second-story offsets, would provide visual interest and help limit the perceived mass of the structure.

Flood zone

The subject property is located within the "AE" zone established by the Federal Emergency Management Agency (FEMA). Within this zone, flood proofing techniques are required for new construction and substantial improvements of existing structures. Stated in general terms, the finished floor must be at least one foot above the base flood elevation. The sections (Attachments D14) show the base flood elevation

(36.3 feet) in relation to the existing average natural grade (approximately 34.9 feet) and the finished floor (37.37 feet). The Public Works Department has reviewed and tentatively approved the proposal for compliance with FEMA regulations.

Trees and landscaping

There are 12 trees located on or near the property. Six trees are heritage-sized, with the sole heritage tree on the subject property being a 17-inch redwood tree, located in the front yard. Two non-heritage trees are proposed to be removed, and three new trees would be planted at the site. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of the magnolia tree and the non-heritage trees on site. The report, which was revised and enhanced in response to staff comments, determines the present condition, discusses the impacts of the proposed improvements, and provides recommendations for tree preservation. All recommendations identified in the arborist report shall be implemented and will be ensured condition 3g. The demolition of the existing dwelling units and the construction of the new home are not anticipated to adversely affect the heritage redwood tree on-site or the other nearby heritage trees. New fencing would comply with relevant height limits, in particular at the corner, where it would be limited to three feet in height in order to protect visibility.

Correspondence

The property owner informed staff that she hand-delivered a letter (Attachment G) to her neighbors, letting them know about the proposed construction and providing her contact information. She also informed staff that she met with the next-door neighbor at 210 Gilbert Avenue, who was supportive of the project and particularly pleased with the window locations allowing for maximum privacy. Staff has not received correspondence on the proposed project.

Conclusion

Staff believes that the scale and materials of the proposed residence are compatible with the surrounding neighborhood. The architectural style of the proposed residence would also be consistent with the surrounding neighborhood and is generally attractive and well-proportioned. The floor area, building coverage, and height of the proposed residence would all be at or below the maximum amounts permitted by the Zoning Ordinance, and the new structure would be within the daylight plane requirements. Nearby heritage trees would be protected in accordance with the arborist report, and new landscaping would be planted to provide privacy screening. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Neighbor Outreach Letter

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

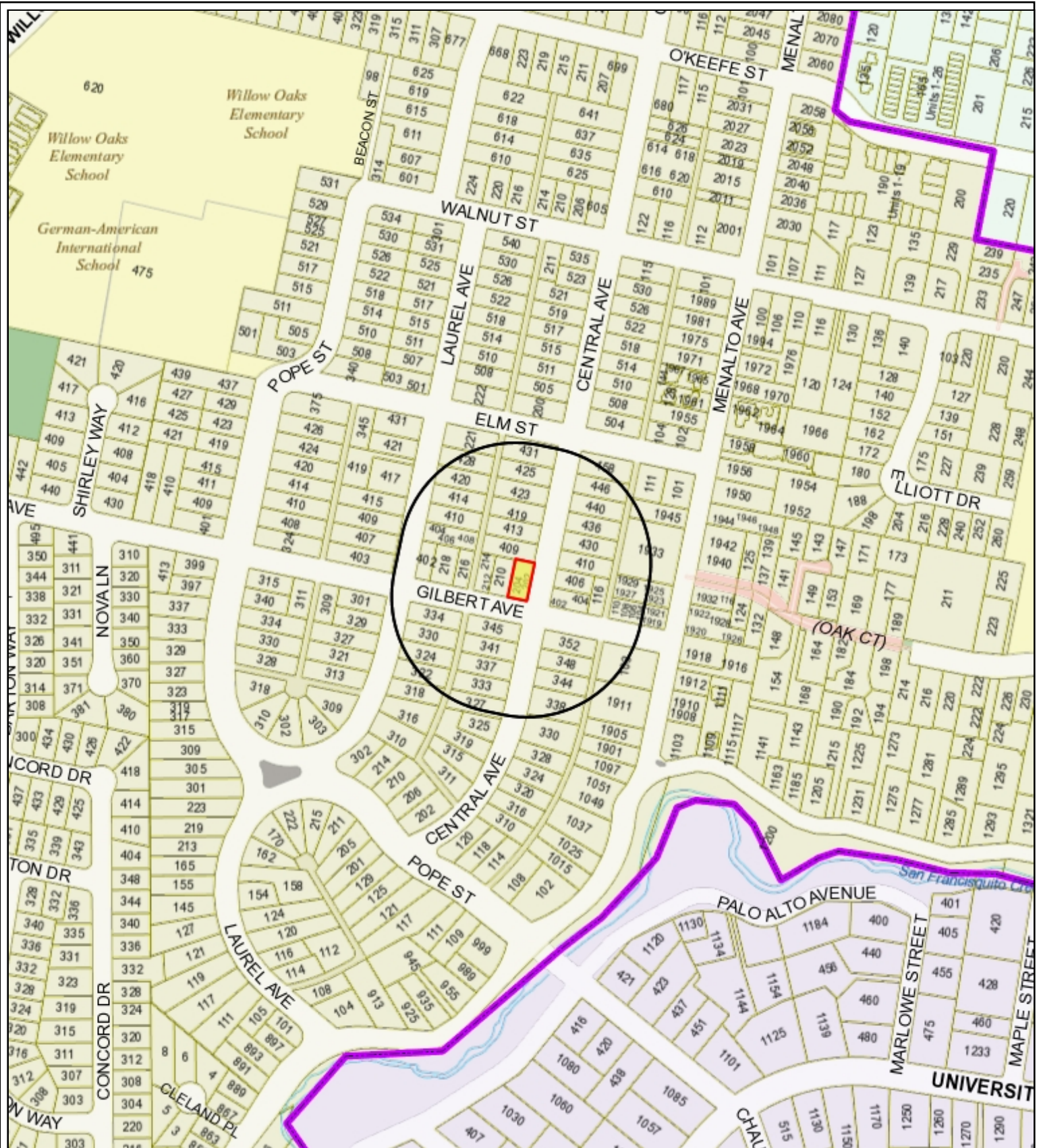
Yesenia Jimenez, Associate Planner

Report reviewed by:

Thomas Rogers, Principal Planner

202 Gilbert Avenue – Attachment A: Recommended Actions

LOCATION: 202 Gilbert Avenue	PROJECT NUMBER: PLN2017-00010	APPLICANT: Joe Gardella	OWNER: Surinder Kang
REQUEST: Request for a use permit to demolish an existing two-story multi-family residence with four units and a detached carport, and construct a new two-story, single-family residence. The subject property is on a substandard lot with respect to lot width and lot area in the R-1-U (Single-Family Urban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: July 17, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Ana Williamson Architect, consisting of 18 plan sheets, dated received June 30, 2017, and approved by the Planning Commission on July 17, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the recommendations in the arborist report by Kielty Arborist Services, LLC dated October 21, 2017 and revised June 6, 2017. 			



City of Menlo Park
 Location Map
 202 Gilbert Avenue



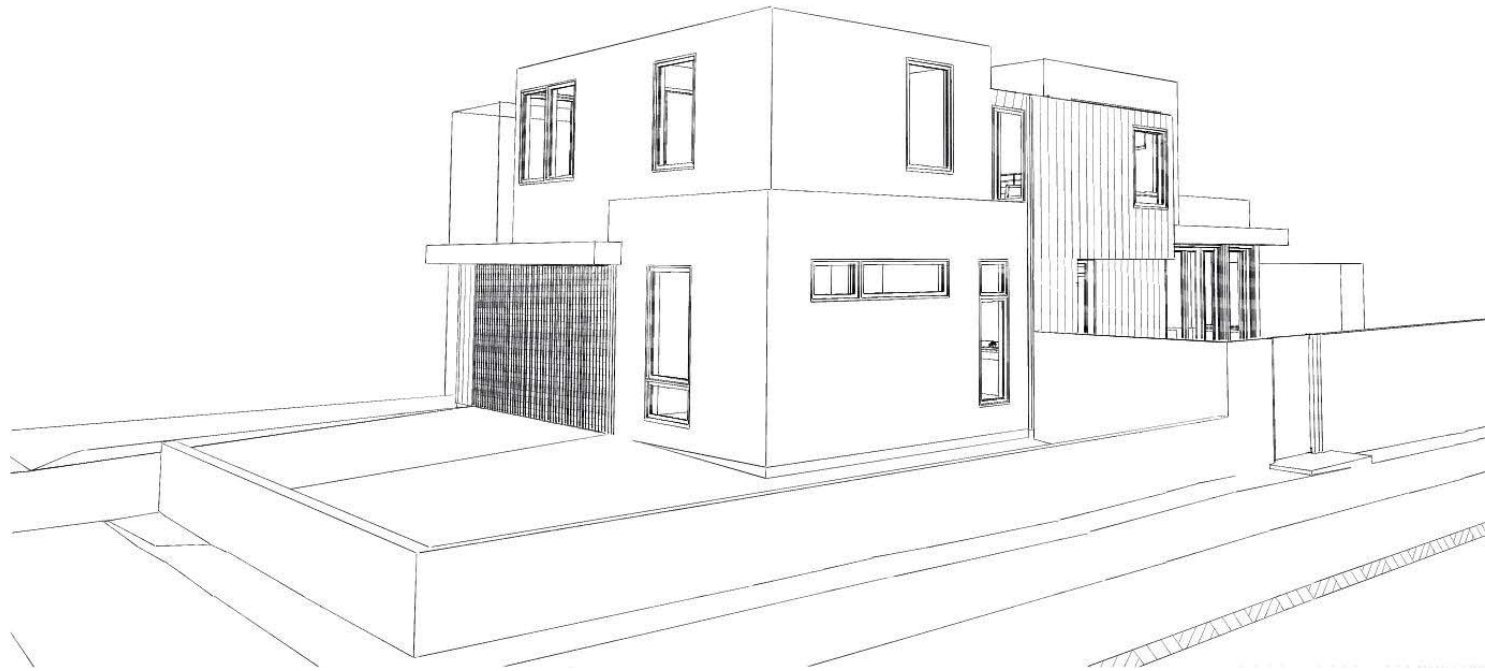
202 Gilbert Avenue – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	5,000 sf	5,000 sf	7,000 sf min.
Lot width	50 ft.	50 ft.	65 ft. min.
Lot depth	100 ft.	100 ft.	100 ft. min.
Setbacks*			
Front	20 ft.	20.5 ft.	20 ft. min.
Rear	20 ft.	47.5 ft.	20 ft. min.
Side (left)	5 ft.	2 ft.	5 ft. min.
Side (right)	12 ft.	17.8 ft.	12 ft. min.
Building coverage	1,747.3 sf 35 %	1,405 sf 28 %	1,750 sf max. 35 % max.
FAL (Floor Area Limit)	2,799.8 sf	2,294 sf	2,800 sf max.
Square footage by floor	1,280.8 sf/1st 1,074.5 sf/2nd 444.5 sf/garage 22.0 sf/fireplace	889 sf/1st 889 sf/2nd 516 sf/garage	
Square footage of buildings	2,821.8 sf	2,294 sf	
Building height*	24.2 ft.	21.7 ft.	28 ft. max.
Parking	2 covered	3 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees					
Heritage trees*	6	Non-Heritage trees**	6	New Trees	3
Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	2	Total Number of Trees	13

*Includes two trees in the right-of-way and three on adjacent properties.

** Includes two trees in the right-of-way.



KANG RESIDENCE MENLO PARK, CA

CONTENTS

AD.0	COVER SHEET
AG.1	PROJECT NOTES & F&R DIAGRAMS
SU-1	SURVEY
ARCHITECTURAL	
A1.0	PROPOSED SITE PLAN
A1.1	DEM'O SITE PLAN & AREA PLAN
A2.0	EXISTING FLOOR PLANS
A2.1	PROPOSED FOUNDATION PLAN
A2.2	PROPOSED FIRST FLOOR PLAN
A2.3	PROPOSED SECOND FLOOR PLAN
A2.4	ROOF PLAN
A3.0	EXISTING ELEVATIONS
A3.1	PROPOSED ELEVATIONS
A3.2	PROPOSED ELEVATIONS
A4.0	PROPOSED SECTIONS
CIVIL	
CT.0	PRELIMINARY GRADING & DRAINAGE
LANDSCAPE	
L1.0	LANDSCAPE LAYOUT/LIGHTING PLAN
L1.1	PLANTING PLAN
L1.2	IRRIGATION PLAN

PROJECT SUMMARY

SITE INFORMATION			
JOB ADDRESS:	202 GILBERT AVE MENLO PARK, CA 94025	MAXIMUM HEIGHT:	28'
ASSESSOR'S PARCEL NUMBER:	040-3465-150	DAYLIGHT PLANE:	19'-6"
ZONING DISTRICT:	R1-U	FRONT SETBACK:	20'
PARCEL SITE:	S.000 SF	REAR SETBACK:	20'
OCCUPANCY GROUPS:	R3/U	SIDE/INTERIOR SETBACK:	5'
TYPE OF CONSTRUCTION:	V-B	SIDE(STREET) SETBACK:	12'
NUMBER OF STORIES:	2	PARKING:	2 PER UNIT (10' X 20')
FIRE SPRINKLERS:	YES (DEFERRED SUBMITAL)		

FLOOR AREA CALCULATIONS

	ALLOWABLE	EXISTING	PROPOSED
MAX. BLDG LOT COVERAGE	1,750 SF**	1,405 SF	1,747 SF
MAX. BLDG FLOOR AREA*	2,800 SF		
FIRST FLOOR		889 SF	1,725 SF
SECOND FLOOR		899 SF	1,075 SF
MAX. BLDG FLOOR AREA*	2,800 SF	2,294 SF (E)	2,800 SF (NEW CONSTRUCTION)
MAX. BLDG HEIGHT	28'	21'-8"	24'-0 1/2"

** REFER TO ATTACHED LOT ASSESSMENT FOR BUILDING SITE AREA TO BE USED IN FLOOR AND LOT AREA CALCULATIONS

PROJECT DESCRIPTION

DEMOLITION OF (E) HOUSE & GARAGE AND CONSTRUCTION OF (N) TWO-STORY HOME W/ ATTACHED GARAGE AND ALL ASSOCIATED LANDSCAPING AND SITE WORK.

VICINITY MAP



CONTACTS

CLIENT:	HARRINGER & SURINDER KANG 740 MENLO CAVES MENLO PARK, CA, 94025
ARCHITECT:	ANA WILLIAMSON ARCHITECT 885 SANTA CRUZ AVE MENLO PARK, CA 94025 T: (650) 325-0577 F: (650) 325-4781 E: anw@williamsonarchitect.com
LANDSCAPE ARCHITECT:	ELEMENTS LANDSCAPE INC. JIM REDDMAN PO BOX 12445 MENLO PARK, CA 94026 T: (650) 847-1252 E: jim@elements-landscape.com
STRUCTURAL ENGINEER:	XXXX XXXX XXXX T: XXXX W: XXXX
CIVIL ENGINEER:	KPROX ISHAAC KONTOROVSKY 555 BRYANT STREET, SUITE 368 PAULO ALTO, CA 94501 T: (650) 549-4249 E: ik@kprox.com
TITLE 24/ GREENPOINT RATER:	XXXX XXXX T: XXXX
SURVEYOR:	LEA AND BRAZE ENGINEERING, INC. 2495 INDUSTRIAL PARKWAY WEST HAYWARD, CA, 94545 T: (510) 887-4086
CONTRACTOR:	XXX XXX XXX T: XXX W: XXX
GEOTECHNICAL ENGINEER:	ROMIG ENGINEERS, INC. 1300 EL CAMINO REAL, 2ND FL SAN CARLOS, CA 94070 T: (650) 591-5224 E: lucas@romigengineers.com



KANG RESIDENCE
202 GILBERT AVE
MENLO PARK, CA 94025
APP. 08.23.15.15

DATE	DATE
USE PERMIT	02/14/2017
USE PERMIT REVI	04/18/2017
USE PERMIT REV2	06/12/2017

DRAWN:	JG
DATE:	7/5/2017
JOB NO.:	1601
DRAWING TITLE:	COVER SHEET

SHEET: **A0.0**

ABBREVIATIONS

ARCH.	ARCHITECTURAL	INT.	INTERIOR
BTWN.	BETWEEN	MAX.	MAXIMUM
BLDG.	BUILDING	MIN.	MINIMUM
BLK.	BLOCK	MECH.	MECHANICAL
BM.	BEAM	MFG.	MANUFACTURER
CSMT.	CASEMENT	MICRO.	MICROWAVE
CLR.	CLEAR	MTL.	METAL
CL'G.	CEILING	NAT.	NATURAL
C.J.	CEILING JOIST	[N]	NEW
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
DRY.	DRYER	RIS.	RISERS
DIA.	DIAMETER	R.O.	ROUGH OPENING
DIM.	DIMENSION(S)	R.R.	ROOF RARTERS
D.W.	DISHWASHER	REV.	REVISION
DWGS.	DRAWINGS	REFR.	REFRIGERATOR
ELEV.	ELEVATION	REQD.	REQUIRED
EQ.	EQUAL	SHT.	SHEET
EJ	EXISTING	SL.	SLIDER
EXT.	EXTERIOR	SIML.	SIMILAR
F.A.U.	FORCED AIR UNIT	STL.	STEEL
FIN.	FINISH, FINISHED	STRUCT.	STRUCTURAL
FLR.	FLOOR	TEMP.	TEMPERATURE
F.J.	FLOOR JOIST	TR.	TREADS
FTG.	FOOTING	T&G.	TONGUE & GROOVE
FRZ.	FREEZER	T.O.	TOP OF
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	UNO.	UNLESS NOTED OTHERWISE
G.D.	GARBAGE DISPOSAL	V.I.F.	VERIFY IN FIELD
GRD.	GRADE	WASH.	WASHER
GYP. BD.	GYPSUM BOARD	W.H.	WATER HEATER
HDR.	HEADER	WD.	WOOD
HGT.	HEIGHT		

LEGEND

	DOOR
	WINDOW
	Detail # Sheet #
	INTERIOR ELEVATIONS
	Sect. # Sheet #
	Sect. # Sheet #
	DIMENSION TO FACE OF FRAMING/MASONRY (UNLESS NOTED OTHERWISE)
	SLOPE
	ELEVATION HEIGHTS

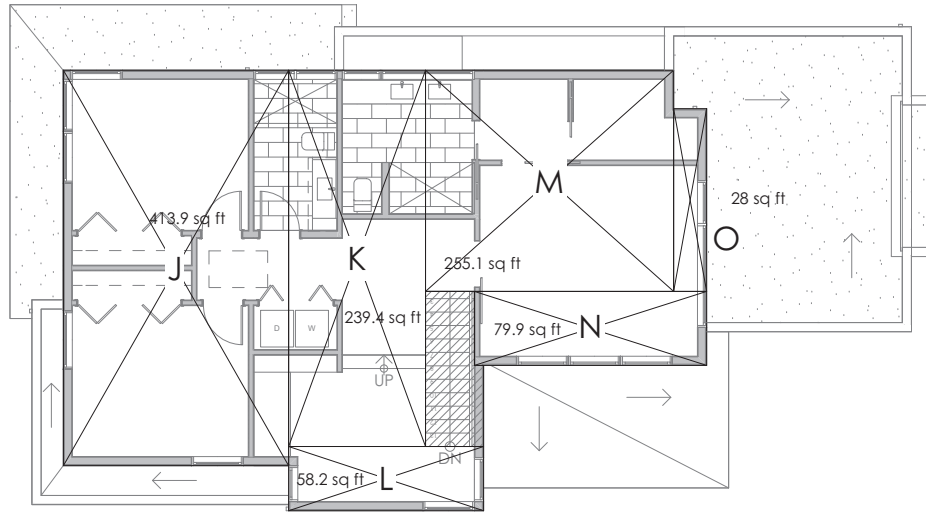
APPLICABLE CODES

- 2016 CALIFORNIA BUILDING CODE VOLUMES 1 & 2
- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA ELECTRIC CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA GREEN BUILDING CODE
- 2016 CALIFORNIA FIRE CODE AND OTHER APPLICABLE STATE AND LOCAL REGULATIONS

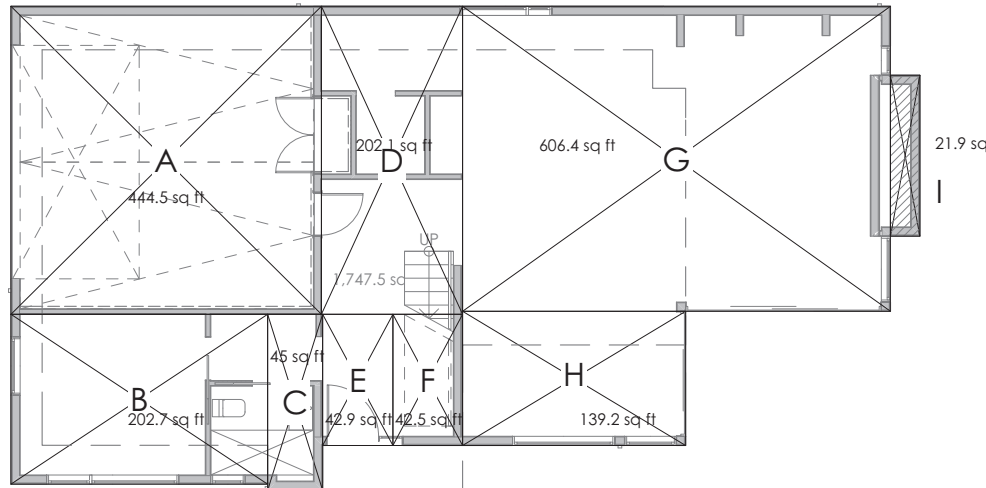
DEFERRED SUBMITTALS

- FIRE SPRINKLERS

FLOOR AREA CALCULATIONS



② SECOND FLOOR FAR DIAGRAMS
1/4" = 1'-0"



① FIRST FLOOR FAR DIAGRAMS
1/4" = 1'-0"

FLOOR AREA CALCULATIONS

ALLOWABLE FLOOR AREA
MAX FLOOR AREA = 2,800 SF

	KEY
	AREA NOT COUNTED IN FAR CALCULATIONS

BUILDING COVERAGE CALCULATION	
A	21'-2" x 21'-0" = 444.5 SF
B	17'-6" x 11'-7" = 202.7 SF
C	12'-0" x 3'-9" = 45 SF
D	21'-0" x 9'-6 1/2" = 202.1 SF
E	4'-9 1/2" x 9'-0" = 42.9 SF
F	4'-9" x 9'-0" = 42.5 SF
G	20'-9 1/2" x 29'-2" = 606.4 SF
H	15'-2" x 9'-2" = 139.2 SF
I	10'-11 1/2" x 2'-0" = 21.9 SF
TOTAL BUILDING COVERAGE: 1,747.2 SF	
MAX ALLOWED: 1,750 SF	

FLOOR AREA CALCULATIONS	
A	21'-2" x 21'-0" = 444.5 SF
B	17'-6" x 11'-7" = 202.7 SF
C	12'-0" x 3'-9" = 45 SF
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H	15'-2" x 9'-2" = 139.2 SF
I	10'-11 1/2" x 2'-0" = 21.9 SF
FIRST FLOOR: 1,725.3 SF	
J	15'-4 1/4" x 26'-11 1/2" = 413.9 SF
K	9'-8" x 25'-8" = 239.4 SF
L	4'-4 1/2" x 13'-3 1/2" = 58.2 SF
M	15'-1" x 16'-11" = 255.1 SF
N	15'-10" x 5'-0" = 79.9 SF
O	12'-5 1/2" x 2'-0" = 28 SF
SECOND FLOOR: 1,074.5 SF	
TOTAL FAR: 2,799.8 SF	
MAX ALLOWED: 2,800 SF	



KANG RESIDENCE
202 GILBERT AVE
MENLO PARK, CA 94025
APR. 06/23/15 120

ISSUE	DATE
USE PERMIT	02/14/2017
USE PERMIT REV1	04/18/2017
USE PERMIT REV2	06/12/2017

DRAWN	JG
DATE	7/5/2017
JOB NO.	1601
DRAWING TITLE	PROJECT NOTES & FAR DIAGRAMS

SHEET: **A0.1**

85
 84
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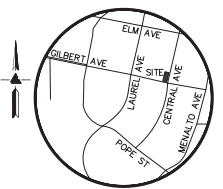
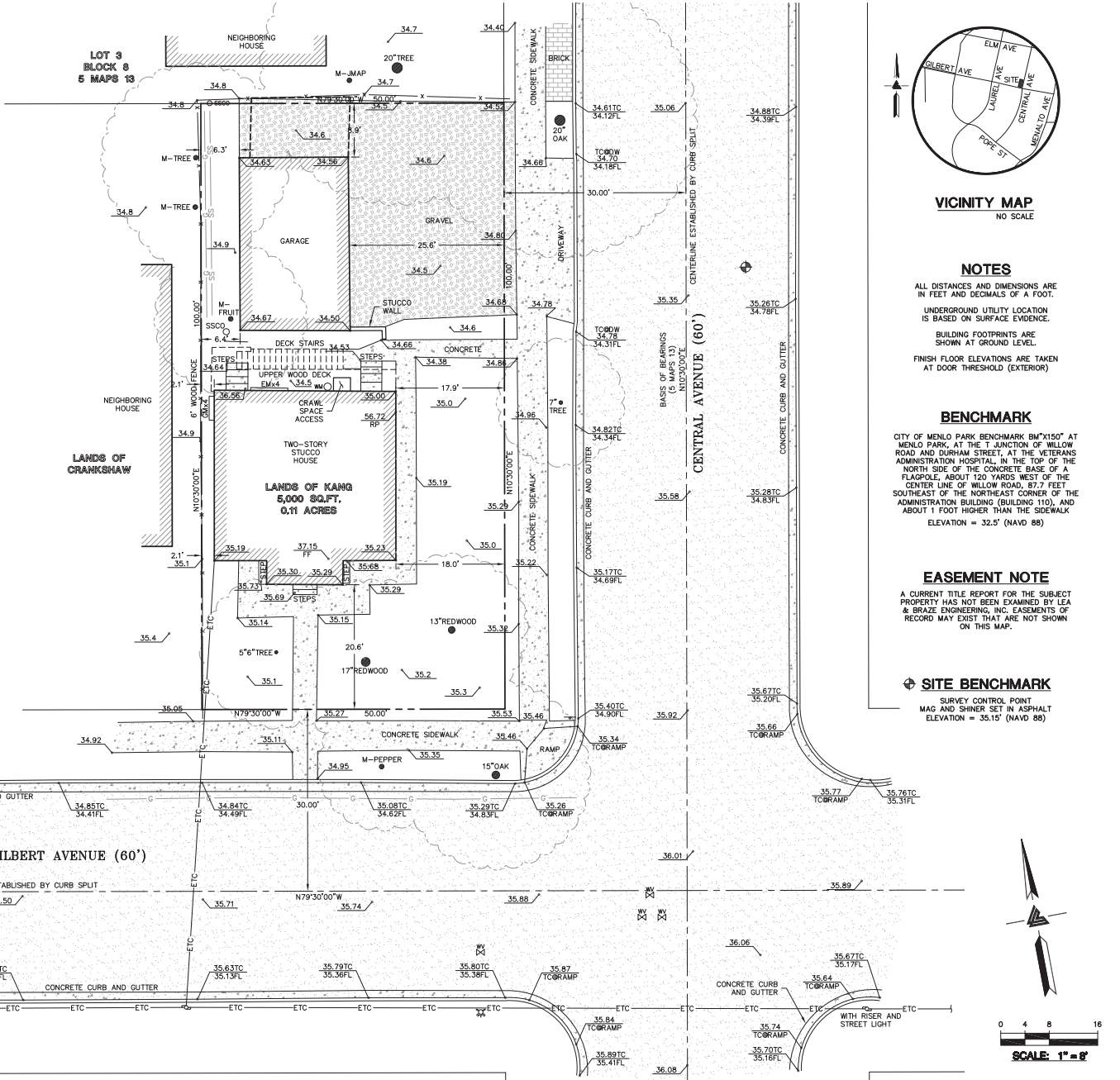
LEGEND AND NOTES

- BOUNDARY LINE
- ETC ELECTRICAL/TELEPHONE / CABLE TV OVERHEAD LINE
- x- FENCE LINE
- G- GAS LINE (PER PAINT MARKINGS)
- SS- SANITARY SEWER LINE
- DRIVEWAY
- FF FINISH FLOOR
- FL FLOW LINE
- INV INVERT
- JMAP JAPANESE MAPLE
- M- MULTIPLE TRUNKS
- PVC POLYVINYL CHLORIDE PIPE
- RP ROOF PEAK
- TC TOP OF CURB
- TOS TOP OF SLAB
- EM ELECTRICAL METER
- FR FIRE HYDRANT
- GM GAS METER
- JP JOINT POLE
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MANHOLE
- WM WATER METER
- WV WATER VALVE
- BM BENCHMARK
- XXX.XX SPOTGRADE
- ASPHALT
- BRICK
- CONCRETE
- GRAVEL
- DRIFLINE
- TREE: TYPE AND SIZE AS NOTED

SURVEYOR'S STATEMENT

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

GREGORY F. BRAZE DATE
 L.S. NO. 7623



VICINITY MAP
NO SCALE

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
 UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
 BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)

BENCHMARK

CITY OF MENLO PARK BENCHMARK BM'1150" AT MENLO PARK AT THE JUNCTION OF WILLOW ROAD AND DURHAM STREET, AT THE VETERANS ADMINISTRATION HOSPITAL, IN THE TOP OF THE NORTH SIDE OF THE CONCRETE BASE OF A FLAGPOLE, ABOUT 120 YARDS WEST OF THE CENTER LINE OF WILLOW ROAD, 87.7 FEET SOUTHEAST OF THE NORTHEAST CORNER OF THE ADMINISTRATION BUILDING (BUILDING 110), AND ABOUT 1 FOOT HIGHER THAN THE SIDEWALK.
 ELEVATION = 32.5' (NAVD 88)

EASEMENT NOTE

A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY LEA & BRAZE ENGINEERING, INC. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

⊕ SITE BENCHMARK

SURVEY CONTROL POINT
 MAG AND SHINER SET IN ASPHALT
 ELEVATION = 35.15' (NAVD 88)



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 SACRAMENTO REGION
 1000 W. MARKET STREET
 ROSELLE, CA 95664
 HAYWARD, CALIFORNIA 94540
 (P) (916) 896-1133
 (F) (916) 896-1336
 (F) (916) 896-7763
 WWW.LEA-BRAZE.COM

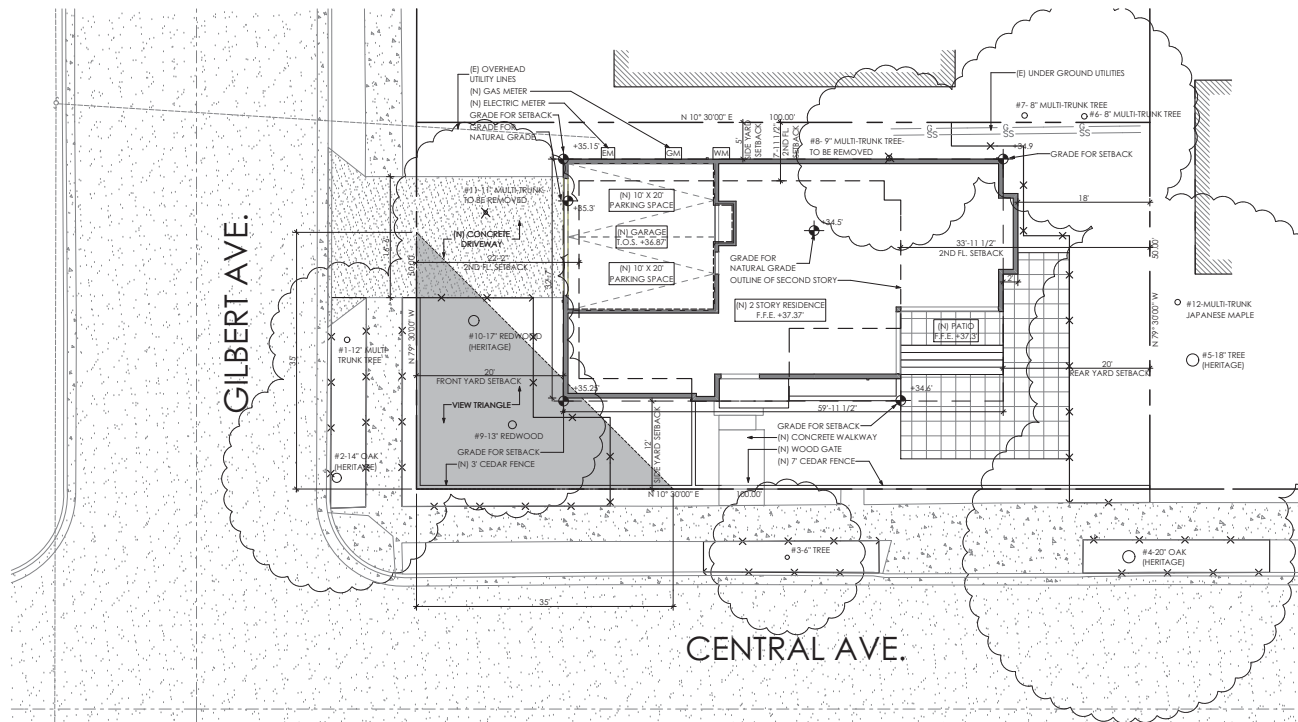
202 GILBERT AVENUE
MENLO PARK, CALIFORNIA
SAN MATEO COUNTY APR. 062-365-150

TOPOGRAPHIC AND BOUNDARY SURVEY

REVISIONS	BY

JOB NO: 2160453
 DATE: 05-23-16
 SCALE: 1" = 8'
 FIELD BY: ES
 DRAWN BY: JN
 SHEET NO:

01 OF 01 SHEETS



1 PROPOSED SITE PLAN
1/8" = 1'-0"

SITE NOTES

- GENERAL GRADING REQUIREMENTS PER LOCAL GOVERNING JURISDICTIONS SHALL BE COMPLIED WITH STRICTLY.
- NO TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OTHERWISE, OBTAIN NECESSARY PERMIT FROM LOCAL OR STATE AUTHORITIES.
- CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS.
- ALL GRADES SHALL SLOPE 2% MINIMUM AWAY FROM THE BUILDING FOR A HORIZONTAL DISTANCE OF 10 PER 2010 CEC 401.3 AND BE A MINIMUM OF 8" BELOW WOOD SILL PLATE AT THE PERIMETER OF THE BUILDING.
- SEE CIVIL DRAWINGS FOR UTILITY ROUTING.
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING SHALL COMPLY WITH THE FOLLOWING:
 - WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN WEATHER OR SOIL CONDITIONS, OR WEATHER-BASED CONTROLLERS.
 - WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS, OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR RAINFALL SHALL HAVE A SEPARATE RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH CONTROLLERS.

TREE PROTECTION NOTES

- PROTECTIVE FENCING TO BE INSTALLED PRIOR TO ARRIVAL OF MATERIALS, EQUIPMENT, OR VEHICLES.
- MATERIALS MUST NOT BE STORED, STOCKPILED, DUMPED, OR BURIED INSIDE THE DRIP LINES OF PROTECTED TREES.
- NO MECHANICAL GRADING, TRENCHING, OR SURFACE SCRAPING INSIDE THE DRIP LINES OF PROTECTED TREES.
- DURING AND UPON COMPLETION OF ANY TRENCHING & GRADING OPERATION WITHIN A TREE'S DRIP LINE, SHOULD ANY ROOTS GREATER THAN 1" IN DIAMETER BE DAMAGED, BROKEN, OR SEVERED, ROOT PRUNING TO INCLUDE FLUSH CUTTING AND SEALING OF EXPOSED ROOTS SHOULD BE ACCOMPLISHED UNDER THE SUPERVISION OF A QUALIFIED ARBORIST.

TREE SCHEDULE

NUMBER	TYPE	DBH	STATUS
#01	AFRICAN SUMAC	11.6"	REMAIN
#02	COAST LIVE OAK	14.2"	REMAIN
#03	CAMPHOR	5.6"	REMAIN
#04	COAST LIVE OAK	20.1"	REMAIN
#05	EUROPEAN BEACH	18"	REMAIN
#06	FLOWERING PEAR	8"	REMAIN
#07	FLOWERING PEAR	8"	REMAIN
#08	FRUITING PLUM	8.9"	TO BE REMOVED
#09	REDWOOD	12.8"	REMAIN
#10	REDWOOD	16.7"	REMAIN
#11	BLACK WALNUT	10.6"	TO BE REMOVED
#12	JAPANESE MAPLE	8"	REMAIN

CONSTRUCTION LEGEND	
	TREE PROTECTION FENCING - PER ARBORIST REPORT
	(N) EXTERIOR WALLS
	SECOND STORY OUTLINE



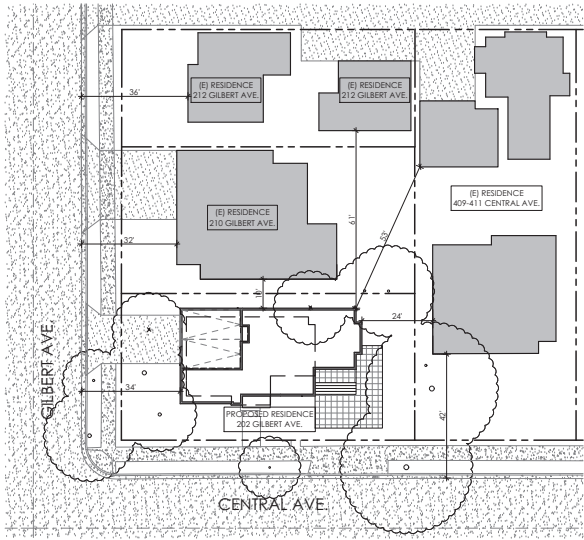
KANG RESIDENCE
202 GILBERT AVE
MENLO PARK, CA 94025
DATE: 02/14/17

DATE	DATE
USE PERMIT	02/14/2017
USE PERMIT REV1	04/18/2017
USE PERMIT REV2	06/12/2017

DRAWN: JG
DATE: 7/5/2017
JOB NO.: 1601
DRAWING TITLE: PROPOSED SITE PLAN



SHEET: A1.0



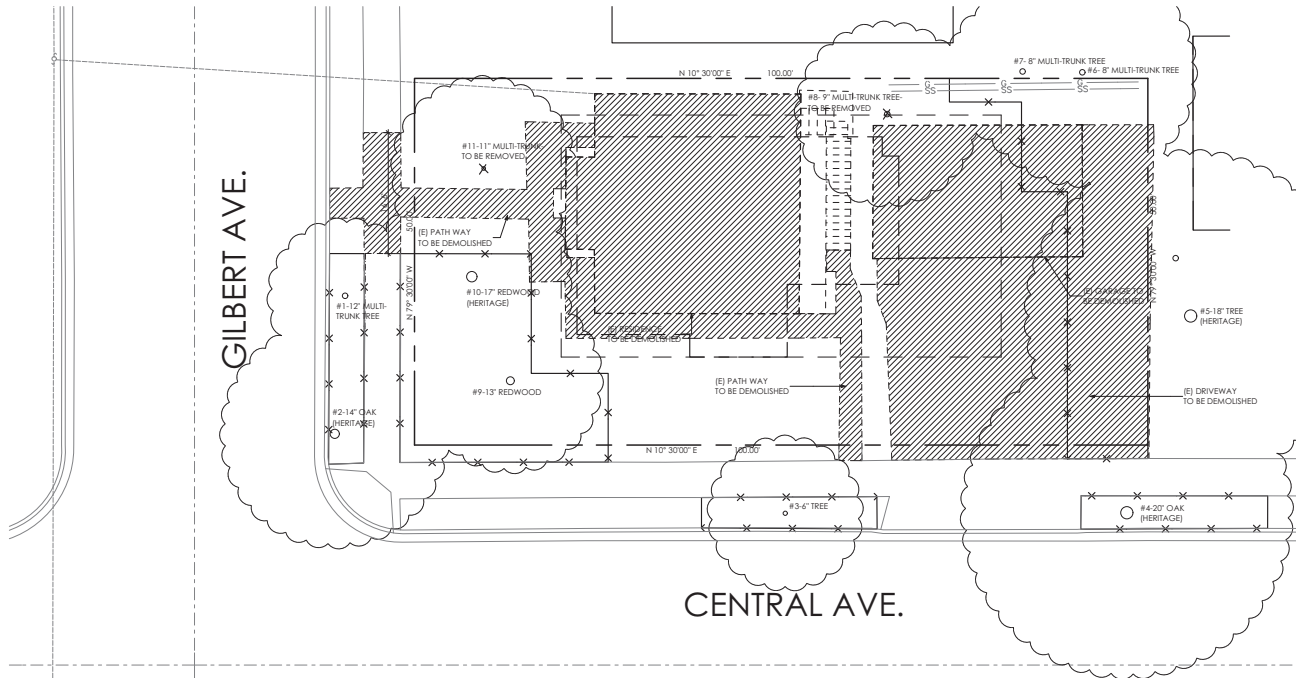
4 PROPOSED AREA PLAN
1" = 20'



3 GILBERT AVE. STREETSCAPE
1/16" = 1'-0"



2 CENTRAL AVE. STREETSCAPE
1/16" = 1'-0"



1 DEMOLITION SITE PLAN
1/8" = 1'-0"

SITE NOTES

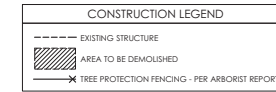
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3. CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS.
4. ALL GRADES SHALL SLOPE 2% MINIMUM AWAY FROM THE BUILDING FOR A HORIZONTAL DISTANCE OF 10' PER 2010 CEC 401.3 AND BE A MINIMUM OF 8" BELOW WOOD SILL PLATE AT THE PERIMETER OF THE BUILDING.
5. SEE CIVIL DRAWINGS FOR UTILITY ROUTING.
- 6.* AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING SHALL COMPLY WITH THE FOLLOWING:
 - A) WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN WEATHER OR SOIL CONDITIONS, OR WEATHER-BASED CONTROLLERS.
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TREE SCHEDULE

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#05	EUROPEAN BEACH	18"	REMAIN
#06	FLOWERING PEAR	8"	REMAIN
#07	FLOWERING PEAR	8"	REMAIN
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#10	REDWOOD	16.7"	REMAIN
#11	BLACK WALNUT	10.6"	TO BE REMOVED
#12	JAPANESE MAPLE	8"	REMAIN

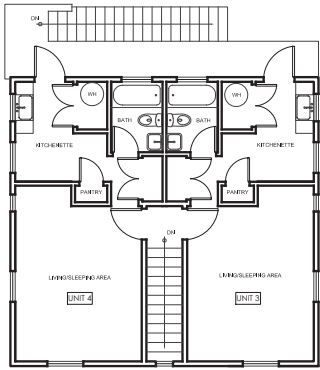


KANG RESIDENCE
202 GILBERT AVE
MENLO PARK, CA 94025
APP. 02/14/17

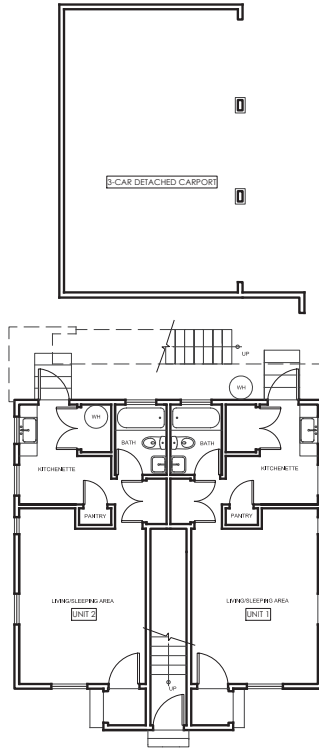
DATE	DATE
USE PERMIT	02/14/2017
USE PERMIT REV1	04/18/2017
USE PERMIT REV2	06/12/2017

DRAWN: JG
DATE: 7/5/2017
JOB NO.: 1601
DRAWING TITLE: DEMO SITE PLAN & AREA PLAN

SHEET:



1 EXISTING SECOND FLOOR PLAN
1:10.50



1 EXISTING GROUND FLOOR PLAN
1:10.50



ANA WILLIAMSON ARCHITECT
885 SANTA OLIVIA AVE. A, MENLO PARK, CA 94025 | (650) 329-0577 | (650) 329-4781

SEAL



KANG RESIDENCE
202 GILBERT AVE
MENLO PARK, CA 94025
DATE: 06/12/2017

ISSUE	DATE
USE PERMIT	02/14/2017
USE PERMIT REV1	04/18/2017
USE PERMIT REV2	06/12/2017

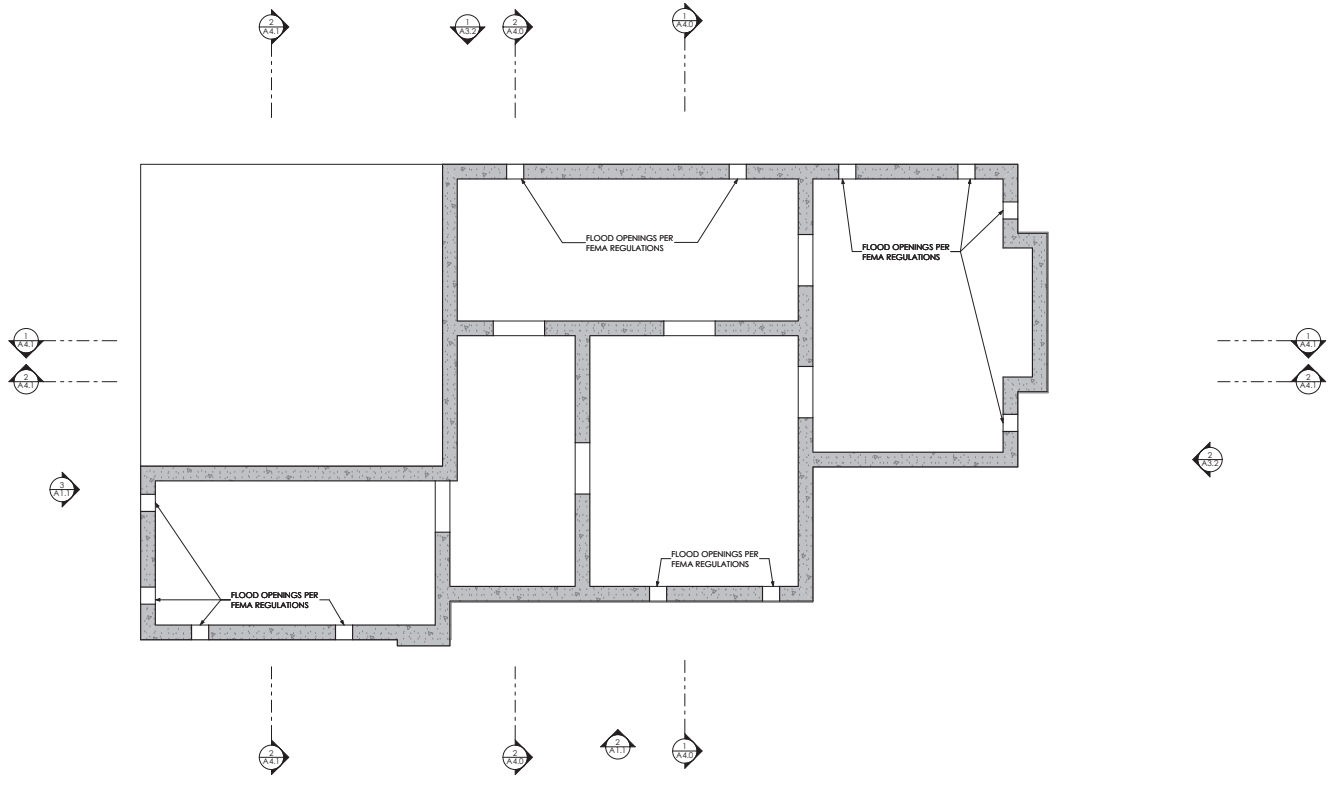
DRAWN: JG
DATE: 7/5/2017
JOB NO.: 1601
DRAWING TITLE: EXISTING FLOOR PLANS

SHEET

A2.0

NOTES

1. DOMESTIC HOT WATER TO BE (2) TANKLESS UNITS 95% EFFICIENT.
2. FURNACE TO BE 96% AFUE PER TITLE 24 REPORT.
3. VENTILATION OPENINGS FOR ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS, OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS:
 - A) THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8".
 - B) MATERIALS USED SHALL BE NON-COMBUSTIBLE.
 - C) MATERIALS USED SHALL BE CORROSION RESISTANT.



1 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"



KANG RESIDENCE
202 GILBERT AVE
MENLO PARK, CA 94025
APR. 02.01.05.120

ISSUE	DATE
USE PERMIT	02/14/2017
USE PERMIT REV1	04/18/2017
USE PERMIT REV2	06/12/2017

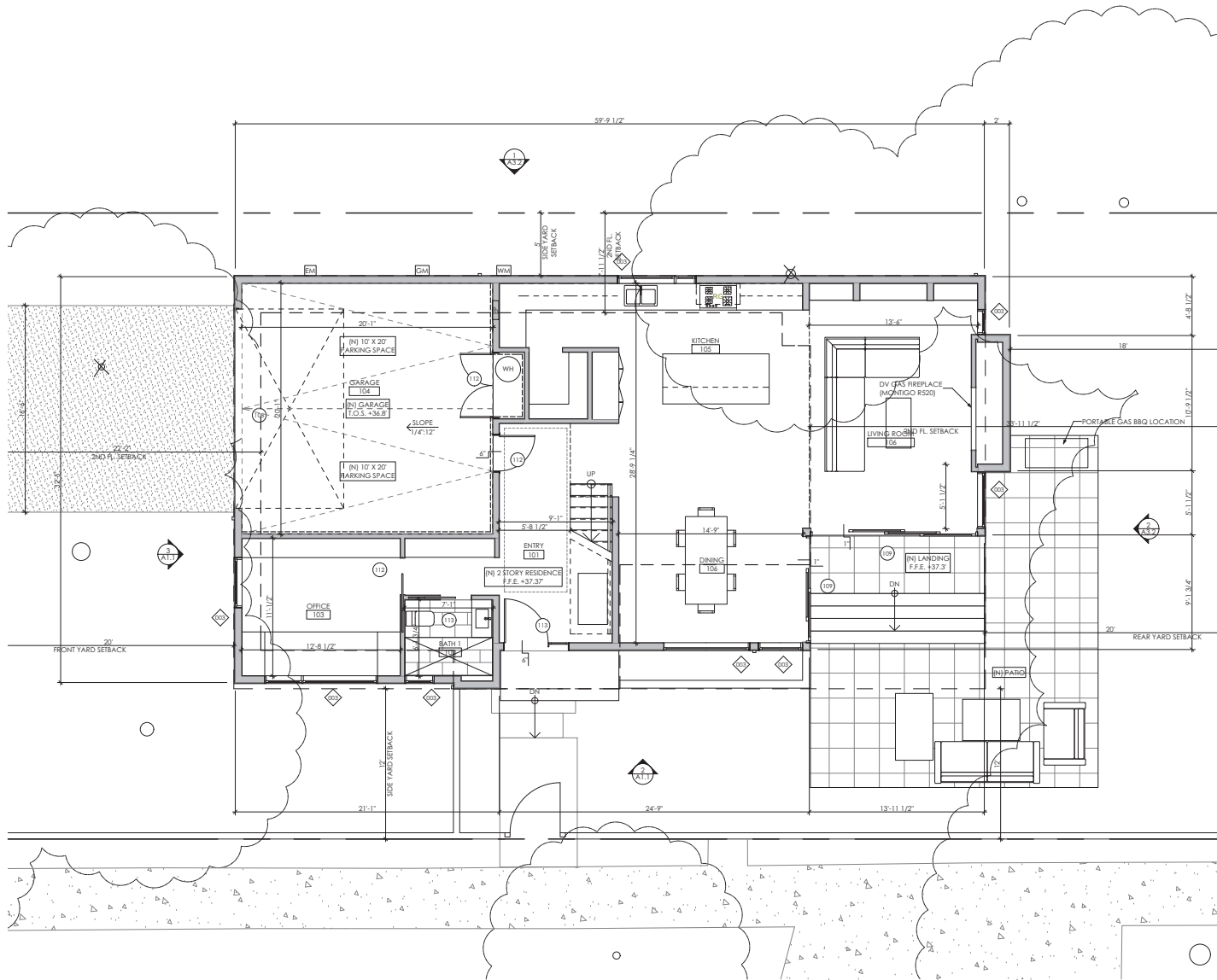
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DATE: 7/5/2017
JOB NO.: 1601
DRAWING TITLE: PROPOSED FOUNDATION PLAN



SHEET: **A2.1**

NOTES

1. DIRECT-VENT GAS FIREPLACE - MONTIGO H42DF NATURAL GAS, 34,000 BTU (CSA FILE #112915_3_000)



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



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SEAL



KANG RESIDENCE
202 GILBERT AVE
MENLO PARK, CA 94025
APP. 02/14/17

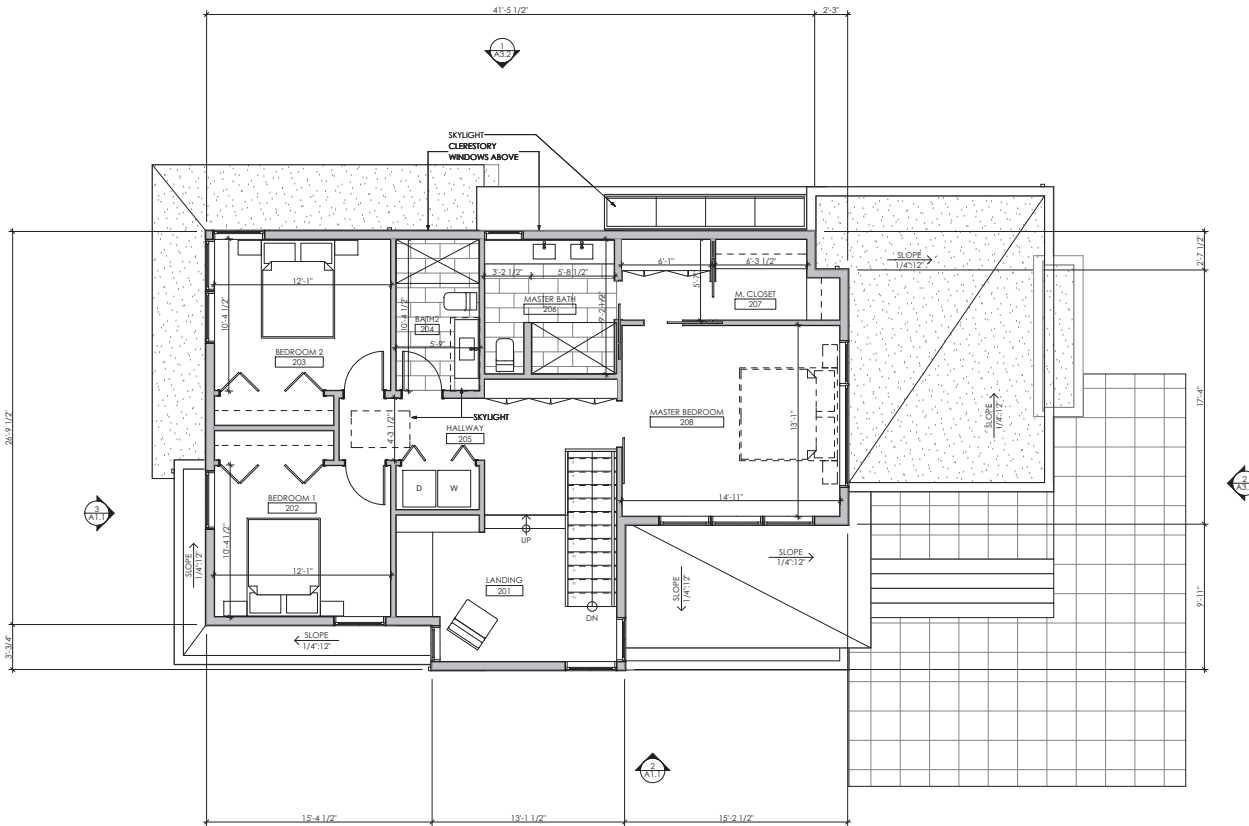
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USE PERMIT	02/14/2017
USE PERMIT REV1	04/18/2017
USE PERMIT REV2	06/12/2017

DRAWN	JG
DATE	7/5/2017
JOB NO.	1601
DRAWING TITLE	PROPOSED FIRST FLOOR PLAN

SHEET

A2.2

NOTES



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

D9



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APP. 02/03/15 LG

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USE PERMIT REV2	06/12/2017

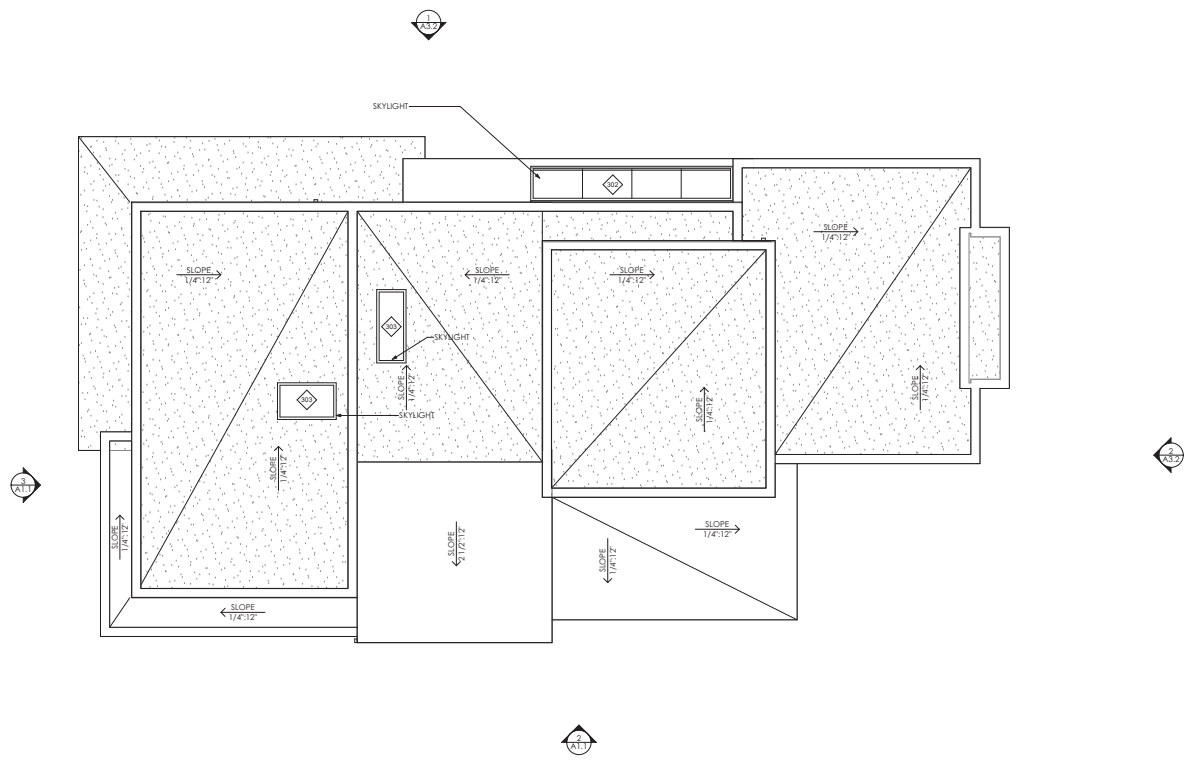
DRAWN: JG
DATE: 7/5/2017
JOB NO.: 1601
DRAWING TITLE: PROPOSED SECOND FLOOR PLAN



SHEET: A2.3

NOTES

1. ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF CRC R327 AND R902. ROOFS SHALL HAVE A ROOFING ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. ROOF COVERING MATERIAL SHALL BE SINGLE-PLY MEMBRANE WITH CLASS "A" FIRE RESISTANCE RATING.
3. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS. BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF 72 POUND MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D3309 RUNNING THE FULL LENGTH OF THE VALLEY.
4. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
5. WHERE PROVIDED, VENTILATION OPENING FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION SHALL BE IN ACCORDANCE WITH SECTION 1203 OF THE CBC AND SECTIONS R327.6.1-3 OF THE CBC TO RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS.
6. VENTILATION OPENINGS FOR ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS, OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS:
 - A) THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8".
 - B) MATERIALS USED SHALL BE NON-COMBUSTIBLE.
 - C) MATERIALS USED SHALL BE CORROSION RESISTANT.
7. VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES AND CORNICES EXCEPT WHEN VENTS COMPLY WITH THE REQUIREMENTS OF SECTION R327.6.2 AND THE EXTERIOR WALL COVERING AND EXPOSED UNDERSIDE OF THE EAVE ARE OF NON-COMBUSTIBLE MATERIAL OR IGNITION RESISTANT MATERIALS AND THE VENT IS LOCATED MORE THEN 12 FEET FROM THE GROUND OR WALKING SURFACE OF A DECK, PORCH PATIO, OR SIMILAR SURFACE.



1 PROPOSED ROOF PLAN
1/4" = 1'-0"



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KANG RESIDENCE
2032 GILBERT AVE
MENLO PARK, CA 94025
APR. 08.2015.150

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DATE: 7/5/2017
JOB NO.: 1601
DRAWING TITLE: ROOF PLAN



SHEET: **A2.4**



④ EXISTING GILBERT ELEVATION
1/8" = 1'-0"



② EXISTING GARAGE AND REAR ELEVATION
3/32" = 1'-0"



③ EXISTING CENTRAL AVE ELEVATION
1/8" = 1'-0"



① EXISTING INTERIOR ELEVATION / CENTRAL AVE.
1/32" = 1'-0"



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SEAL

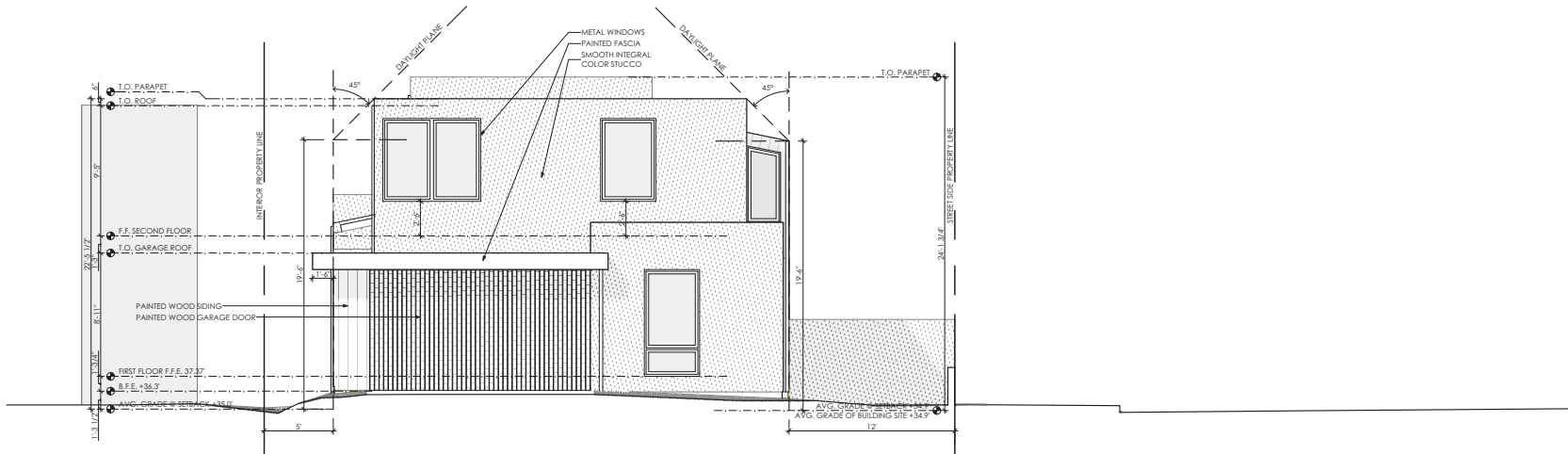


KANG RESIDENCE
202 GILBERT AVE
MENLO PARK, CA 94025
AWA 0023105120

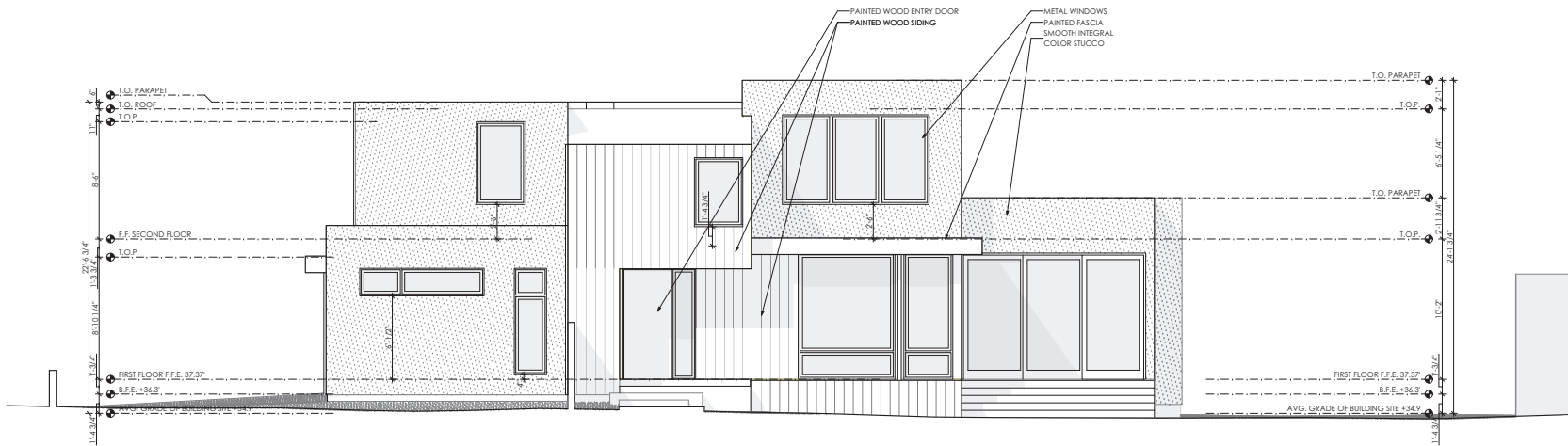
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USE PERMIT	02/14/2017
USE PERMIT REV1	04/18/2017
USE PERMIT REV2	06/12/2017

DRAWN: JG
DATE: 7/5/2017
JOB NO: 1601
DRAWING TITLE: EXISTING ELEVATIONS

SHEET: A3.0



2 SOUTH ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"



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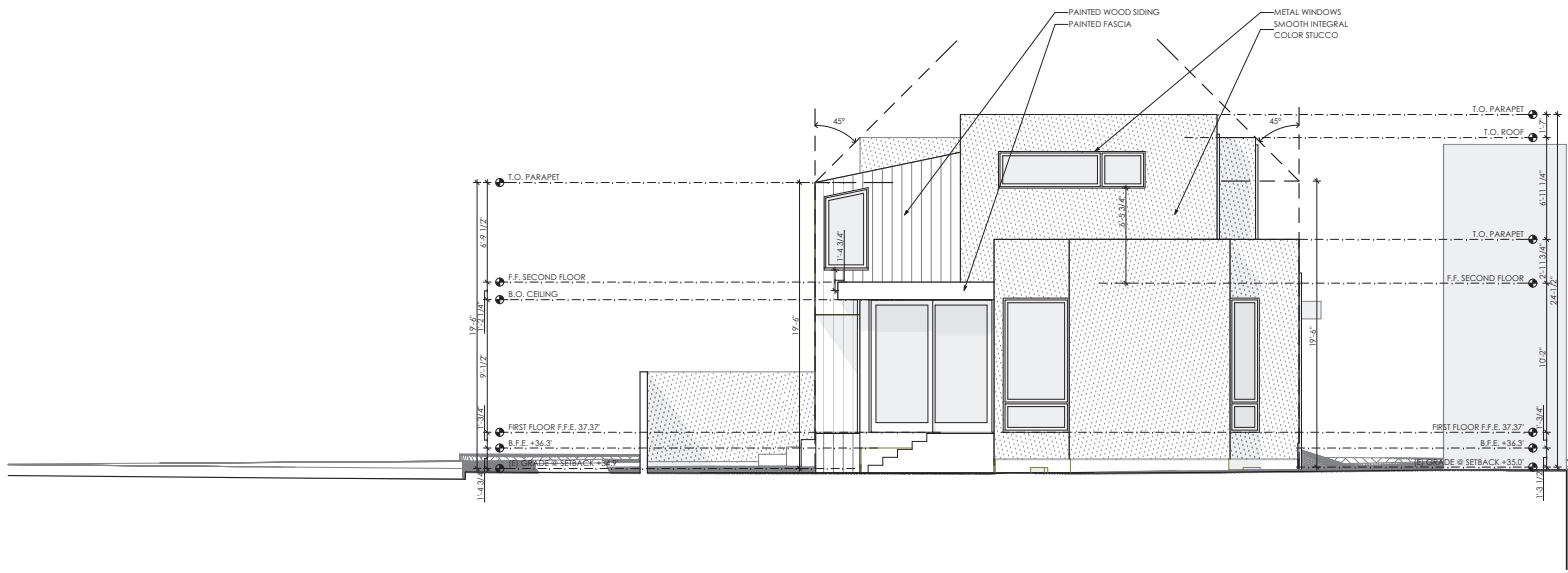


KANG RESIDENCE
2032 GILBERT AVE
MENLO PARK, CA 94025
APP. 06/23/15 LD

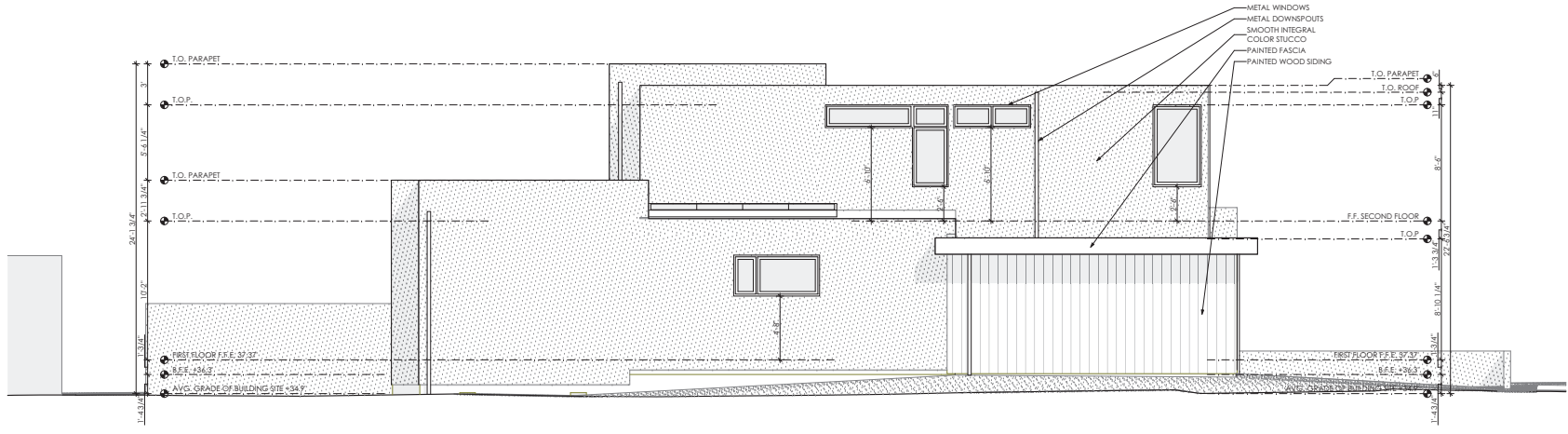
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02/14/2017	USE PERMIT
04/18/2017	USE PERMIT REV1
06/12/2017	USE PERMIT REV2

DRAWN: JG
DATE: 7/5/2017
JOB NO.: 1601
DRAWING TITLE: PROPOSED ELEVATIONS

SHEET: A3.1



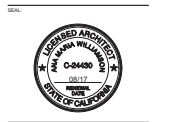
② NORTH ELEVATION
1/4" = 1'-0"



① WEST ELEVATION
1/4" = 1'-0"



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885 SANTA OLIVIA AVE. A, MENLO PARK, CA 94025 | (650) 329-0577 | (650) 329-4281



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MENLO PARK, CA 94025
APP. 02/14/17

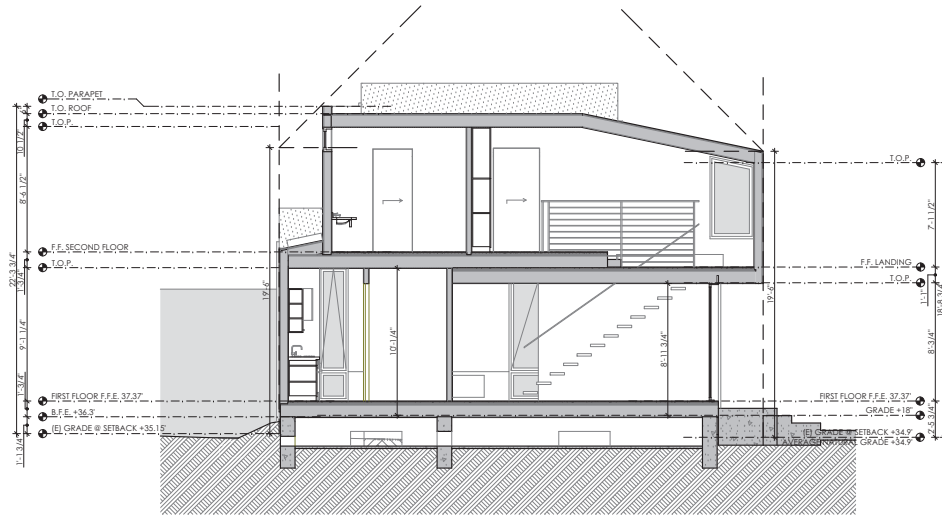
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USE PERMIT REV1	04/18/2017
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DRAWN: JG
DATE: 7/5/2017
JOB NO.: 1601
DRAWING TITLE: PROPOSED ELEVATIONS

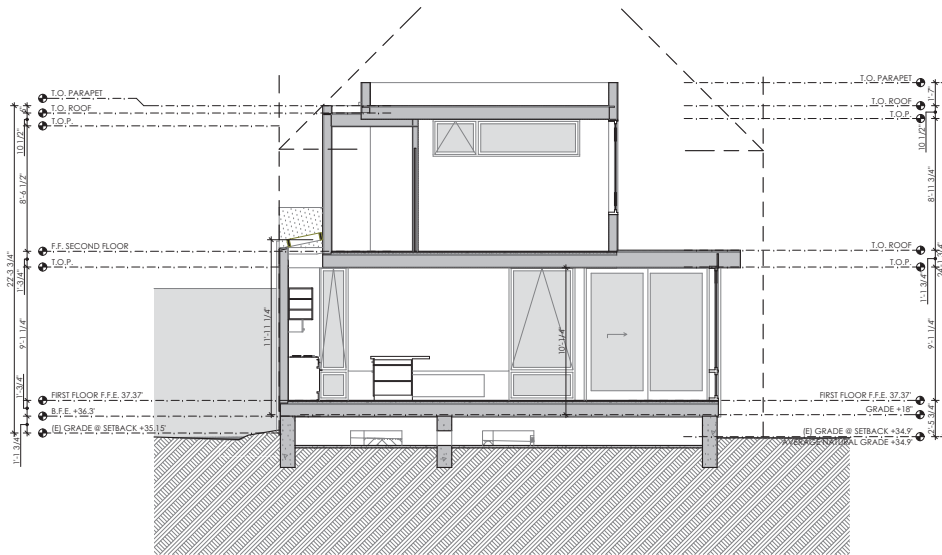
SHEET: A3.2

NOTES

- 1. AVERAGE NATURAL GRADE +34.9' (34.5'+35.3')/2=34.9'



② ENTRY SECTION
1/4" = 1'-0"



① MASTER BEDROOM SECTION
1/4" = 1'-0"



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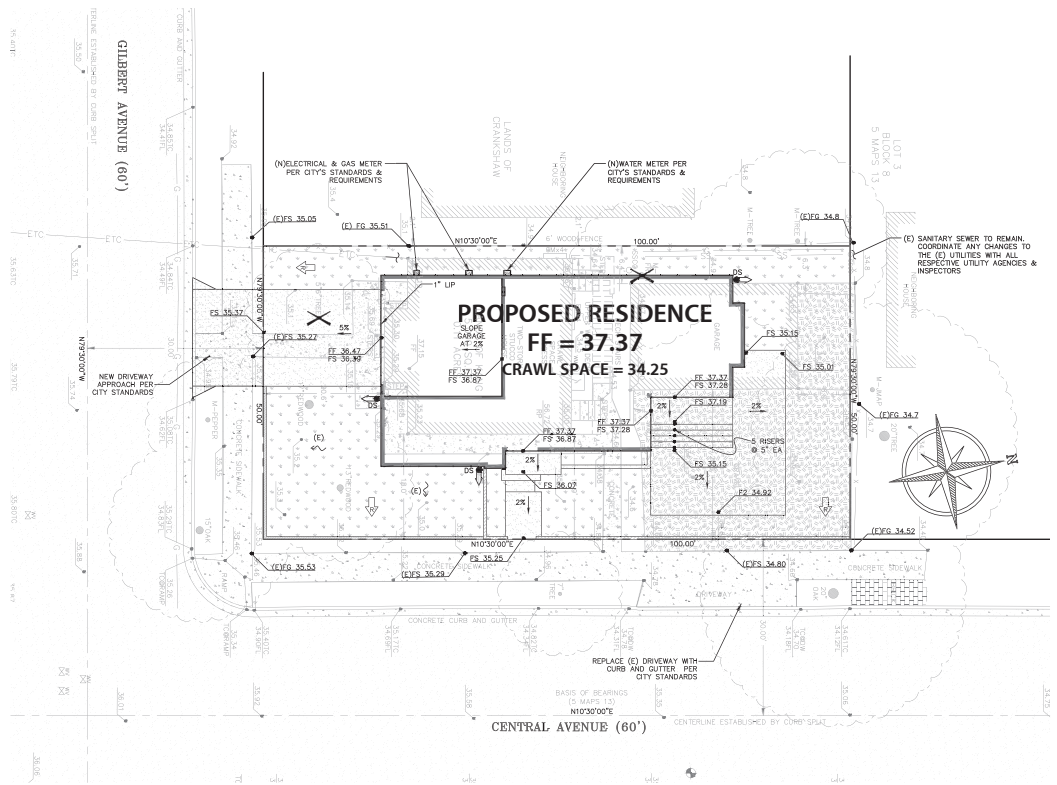


KANG RESIDENCE
202 GILBERT AVE
MENLO PARK, CA 94025
ANA WILLIAMSON ARCHITECT

ISSUE	DATE
USE PERMIT	02/14/2017
USE PERMIT REV1	04/18/2017
USE PERMIT REV2	06/12/2017

DRAWN: JG
DATE: 7/5/2017
JOB NO.: 1601
DRAWING TITLE: PROPOSED SECTIONS

SHEET: A4.0



GRADING REQUIREMENTS:

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5%, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
2. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
3. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
4. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S TESTING AGENCY TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
5. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
6. COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WIRING) AND SITE LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASECOURSE OR CONCRETE SURFACING. SEE LANDSCAPING AND SITE ELECTRICAL DRAWINGS.
7. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
8. SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
9. ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
10. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT, WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING FROM THE START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
12. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATING AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
13. STRUCTURE WALLS, PER CBC 2304.11.2.2 (WOOD SUPPORTED BY FOUNDATION) PROVIDE 8" MINIMUM CLEAR TO EXTERIOR GRADE.

ABBREVIATIONS:

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFPD	BACK FLOW PREVENTION DEVICE
BSTD	BRICKSLOT TRENCH DRAIN
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CONCRETE
CONC	CONCRETE
DD	DECK DRAIN
DDV	DOUBLE DETECTOR CHECK VALVE
DIP	DUCTILE IRON PIPE
DS	DRY DOWN SPOUT
DW	DOMESTIC WATER LINE
DWL	DRYWELL CATCH BASIN
EW	EXISTING
EG	EXISTING GRADE
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
INV	INVERT ELEVATION
JT	JOINT TRENCH
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LN	LOW POINT
NI	NEW
PV	POST INDICATOR VALVE
PKG	PARKING
POC	POINT OF CONNECTION
RET	RETAINING WALL
RM	ROOM ELEVATION
S	SLOPE
SA	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBCDO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SCB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SP	SEE PLUMBING PLANS
SPW	SANITARY SEWER
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
USD	UNDERSLAB DRAIN
VD	PIPE VERTICAL DROP
V	DOMESTIC WATER LINE
WM	WATER METER

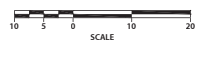
HATCH LEGEND:

PRELIMINARY EARTHWORK QUANTITIES (GROSS NUMBERS)	
15 C.Y. CUT	
15 C.Y. FILL	
BALANCE: 0 C.Y. EXPORT	
TOTAL TO BE MOVED: 30 C.Y. DISTURBANCE	
CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES. EARTHWORK QUANTITIES SHOWN ARE PRELIMINARY AND FOR PLANNING PURPOSES ONLY.	

	ASPHALTIC CONCRETE PAVEMENT	PER GEOTECHNICAL REPORT RECOMMENDATIONS.
	SITE CONCRETE	PER GEOTECHNICAL REPORT RECOMMENDATIONS.
	GRAVEL PATH	PER LANDSCAPE PLANS
	NEW LANDSCAPE	PER LANDSCAPE PLANS

NOTES:

1. CONTRACTOR SHALL VERTICALLY LOCATE THE EXISTING SEWER LATERAL WITHIN THE SCOPE OF WORK. BRING DISCREPANCIES TO THE CIVIL ENGINEER VIA FORMAL RFI PRIOR TO COMMENCING ACTIVITIES (PARTICULARLY GRADING OPERATIONS) WITHIN THE AREAS WHERE THE SYSTEM COULD BE IMPACTED.
2. AREAS LACKING TOPOGRAPHIC INFORMATION (ELEVATIONS) HAVE BEEN INTERPOLATED USING STANDARD ENGINEERING METHODS. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AT CONFORMS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND REPORT BACK ANY DISCREPANCIES TO THE CIVIL ENGINEER.
3. ALL TREE REMOVAL SHALL BE PERFORMED AS SHOWN ON ARCHITECTURAL SHEETS AND FOLLOWING THE ARBORIST REPORT FOR THE PROJECT. THIS INCLUDES BUT IT IS NOT LIMITED TO GRADING OPERATIONS ADJACENT TO EXISTING TREES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE THE INTEGRITY OF TREES TO REMAIN WHICH SHALL NOT BE AFFECTED BY CONSTRUCTION ACTIVITIES.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL IMPROVEMENTS DAMAGED DURING CONSTRUCTION.



FOR PLAN REVIEW ONLY
NOT FOR CONSTRUCTION

Project Contact:
Mikhail Kostovskiy | mk@kprox.com
DATE: 01/25/2017
DESIGNER: JOSE FERMIN GISMILLI

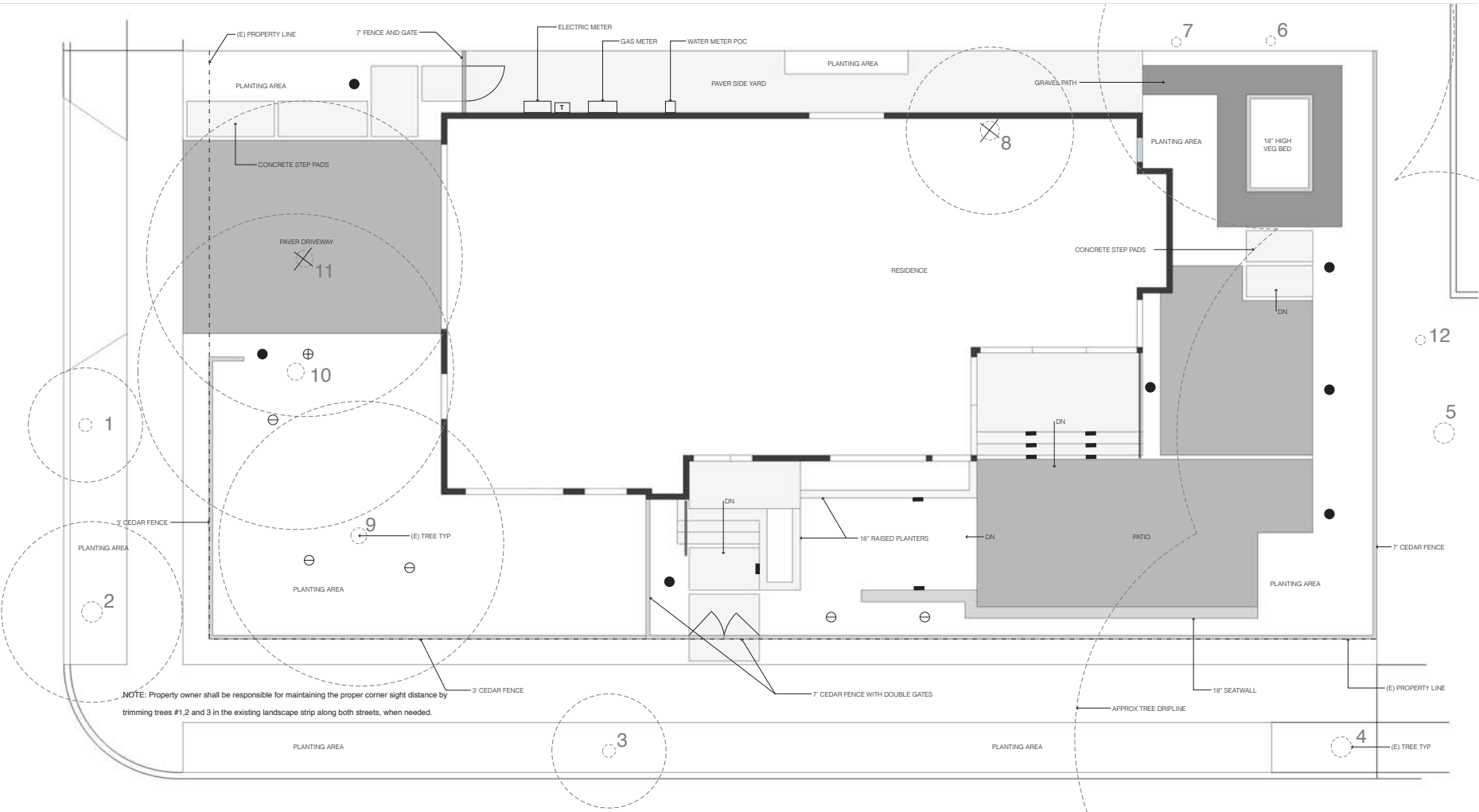
KANG RESIDENCE
202 GILBERT AVE
MENLO PARK, CA 94025

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PROJECT No:	16-7203
DATE:	01/25/2017
SCALE:	1" = 10'
DESIGN/DRAWN:	MK
CHECKED:	IK

SHEET TITLE
PRELIMINARY GRADING & UTILITY PLAN

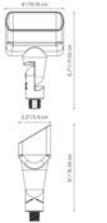
C1.0



NOTE: Property owner shall be responsible for maintaining the proper corner sight distance by trimming trees #1,2 and 3 in the existing landscape strip along both streets, when needed.

PB: Up Light

NUMBER OF LEDS	1	3	20C
RECESSED LUMEN EQUIVALENT	10 Watt	30 Watt	10 Watt
POWER LED LIFE TIME	50,000 hrs Avg	50,000 hrs Avg	50,000 hrs Avg
WARRANTY	5 Yr	5 Yr	5 Yr
WARRANTY	1.4	4.1	1.3
WARRANTY	1.0	4.2	4.0
WARRANTY PER WATT EFFICIENCY	34	38	37
WARRANTY	67	140	103
EFFICIENCY	65	80	80
GROUP	3000K	3000K	3000K
SEMI-CONDUCTOR BEAM ANGLE POWER	37	58	103
LED			
3. DIMMED FILTER	2700K	2700K	N/A
PROTECTED FILTER	3000K	3000K	N/A
SHIELDING FILTER	4000K	4000K	N/A
BLUE FILTER	5000K	5000K	N/A



Tree#	Species	DBH	CY	HT/SP	Comments
1P	African sumac (<i>Rhus lancea</i>)	11.6	45	12/12	Fair vigor, poor form, codominant at base, heavily pruned in past, abundance of waterlogged growth, street tree.
2P	Coast live oak (<i>Quercus agrifolia</i>)	14.2	65	25/15	Good vigor, fair form, multi leader at 6 feet with fair crotches, street tree.
3P	Campfire (<i>Cinnamomum camphora</i>)	5.6	60	20/12	Fair vigor, fair form, young tree, poor species for street tree.
4P	Coast live oak	20.1	70	30/25	Good vigor, fair form, multi leader at 6 feet with fair crotches, street tree.
5P	European beech (<i>Fagus sylvatica</i>)	18.8	75	40/30	Good vigor, fair form, codominant at 10 feet, 2 feet from property line, foliage into property by 12 feet.
6P	Flowering pear (<i>Pyrus calleryana</i>)	8.8	65	25/15	Good vigor, fair form, multi leader at 6 feet, 1 foot from property line.
7P	Flowering pear (<i>Pyrus calleryana</i>)	8.8	65	25/15	Good vigor, fair form, multi leader at 6 feet, 1 foot from property line.
8R	Fruiting plum (<i>Prunus spp.</i>)	8.9	45	20/15	Poor vigor, fair form, poor location, in decline.
9	Redwood (<i>Sequoia sempervirens</i>)	12.8	85	40/15	Good vigor, good form.
10P	Redwood (<i>Sequoia sempervirens</i>)	16.7	85	40/15	Good vigor, good form.
11R	Black walnut (<i>Juglans nigra</i>)	10.6@base	45	20/15	Fair vigor, poor form, suppressed, codominant at base.
12P	Japanese maple 8@base	8	45	15/10	Poor vigor, poor form, multi leader at base, large dead sections in canopy - suppressed by beech tree #5, leans heavily into property.

LANDSCAPE CONCEPT PLAN 1/8" = 1'

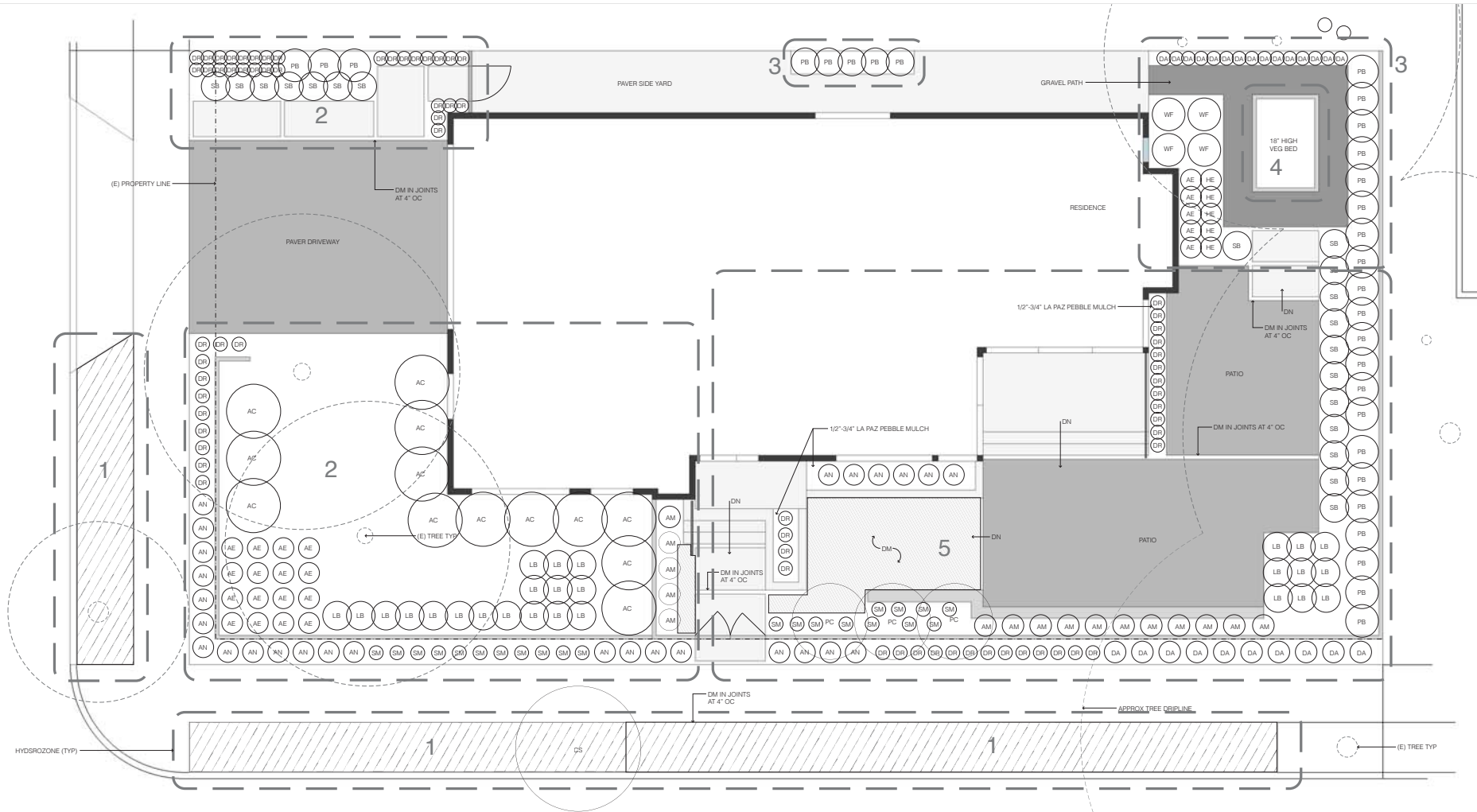
<p>DRIVEWAY AND SIDE YARD PAVERS: PACIFIC INTERLOCK 6x24 PLANK PAVERS IN COLOR OF OWNERS CHOICE</p> <p>REAR FIRE PIT PATIO: STEPSTONE 18X18 CAL ARC SANDBLASTED PAVER IN COLOR OF OWNERS CHOICE</p> <p>FRONT ENTRY WALKWAY, REAR LANDING AND STEP PADS: POURED IN PLACE COLORED CONCRETE WITH SANDBLAST FINISH. COLOR TBD WITH OWNER</p> <p>VEGETABLE GARDEN PATHWAY: 3/8" GREY BASALT GRAVEL WITH STEEL HEADERBOARD</p> <p>PREFAB FIRE PIT: PROPANE FIRE PIT BY OWNER</p> <p>18" SEATWALL AND PLANTERS: POURED IN PLACE COLORED CONCRETE WITH SANDBLAST FINISH. COLOR TBD WITH OWNER</p>	<p>FRONT ACCENT FENCE: 36" HIGH HORIZONTAL CEDAR ACCENT FENCE WITH 4X4 POSTS. STAINING/ PAINTING BY OTHERS</p> <p>SIDE YARD AND PROPERTY LINE FENCE: 84" HIGH HORIZONTAL CEDAR ACCENT FENCE WITH 4X4 POSTS. STAINING/ PAINTING BY OTHERS</p>	<p>● PATHLIGHTS (7): HINKLEY ATLANTIS 1518 BZ-LED</p> <p>⊖ TREE UPLIGHTS (9): FX LUMINAIRE PS SLED IN BZ (SEE SPECIFICATIONS THIS SHEET)</p> <p>⊕ TREE DOWN LIGHTS (9): FX LUMINAIRE PS SLED IN BZ</p> <p>■ WALL AND STEP LIGHTS (9): FX LUMINAIRE UN 1LED IN BZ</p> <p>T 300W TRANSFORMER WITH PHOTOCELL ANDS TIMER</p>
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TREE UPLIGHT DETAIL

EXISTING TREE LIST PER ARBORISTS REPORT

SUGGESTED MATERIALS LIST

LV LIGHTING LEGEND



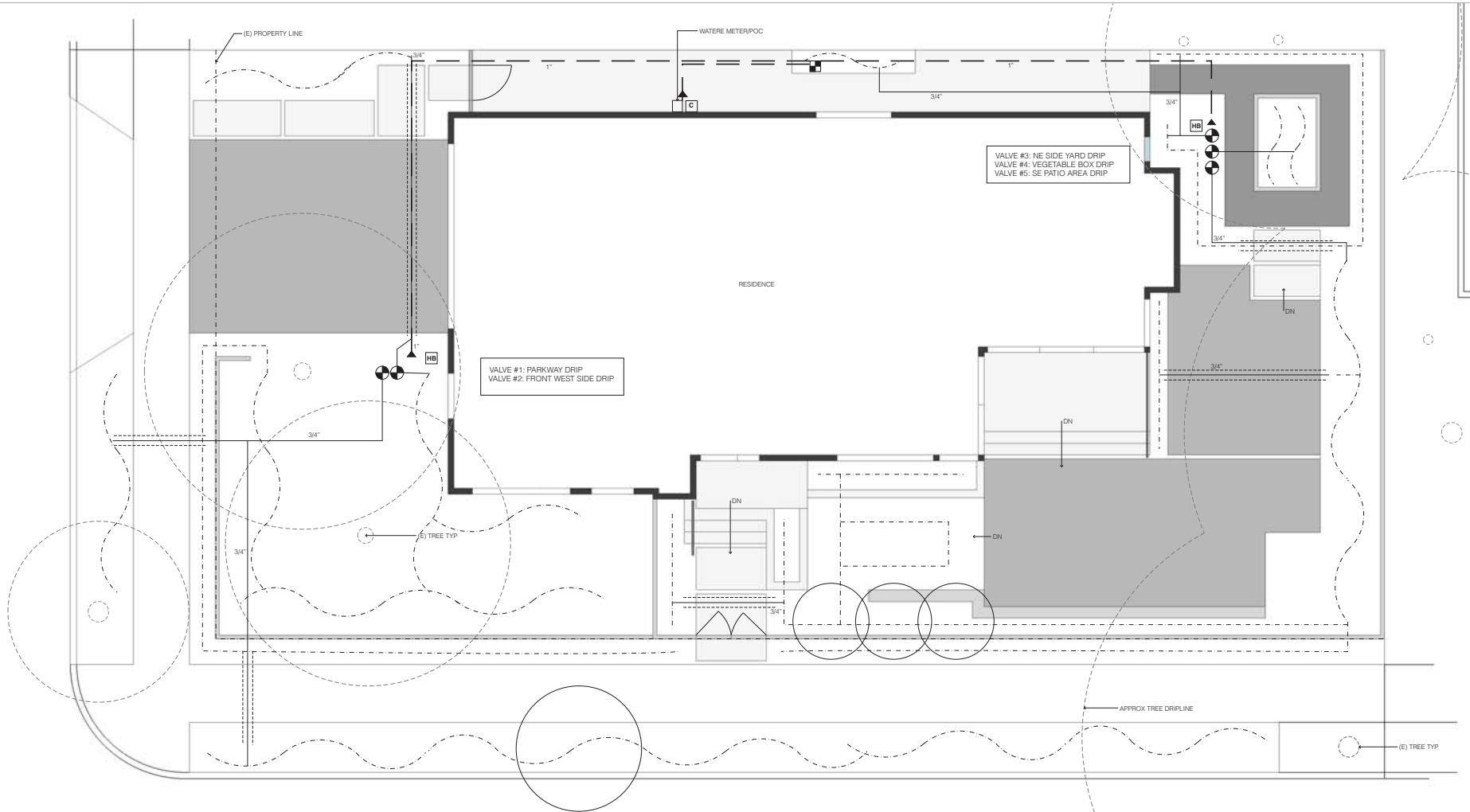
Kang Residence
202 Gilbert
Menlo Park, CA

Planting Plan

Drawn 11/30/16
Rev 4/2/17
By: JGR
Scale: NOTED

L1.1

PLANTING PLAN										1/8" = 1'	1		
SYM	QTY	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE CATEGORY	HYDROZONE	TYPE OF IRRIGATION	LOCATION	WATER USE CATEGORY	SQUARE FOOTAGE	NOTE: "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan", signed by the licensed landscape professional: JGR 4/2/17		
PC	3	24" BOX	FRUNUS CAROLINIANA STD	LAUREL CHERRY	LOW	1	DRIP	PARKWAY NO MOW (OFF SITE)	MED	430	NOTE: "I agree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete Landscape Documentation Package", signed by the applicant and/or owner: JGR 4/2/17		
CS	1	24" BOX	CELTIS SINENSIS STD	CHINESE HACKBERRY	LOW	2	DRIP	FRONT WEST SIDE	MED	460			
PB	X	15G	PODOCARPUS 'ICEE BLUE'	PODOCARPUS	MED	3	DRIP	NORTH EASTSIDE YARD	MED	233			
AN	X	5G	ACANTHUS MOLLIS	BEARS BREECH	MED	4	DRIP	VEGETABLE BED	MED	38			
AE	36	1G	ANIGOZANTHOS ORANGE DWARF	KANGAROO PAW	LOW	5	DRIP	SOUTHEAST PATIO AREA	MED	618			
AM	X	5G	ASPIDISTRA ELIATOR	CAST IRON PLANT	LOW								
DA	X	1G	ASPARAGUS MEYERII	ASPARAGUS FERN	MED								
DR	X	1G	DIANELLA TASMANICA VARIG	FLAX LILY	MED								
GS	7	1G	DIANELLA REVOLUTA	FLAX LILY 'LITTLE REV'	LOW								
HE	39	1G	GELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE STK	LOW								
LB	7	1G	HELLEBORES SPP	HELLEBORE	MED								
SM	X	1G	LOMANDRA 'BREEZE'	LOMANDRA	LOW								
SS	X	1G	SENECIO MANDRALISCAE	KLEINIA	LOW								
WF	X	1G	STACHYS 'SILVER CARPET'	LAMBS EAR	LOW								
DM	X	FLAT	WYODWARDIA FIMBRATA	CHIAN FERN	MED								
			DYMONDIA MARGARETAE	DYMONDIA 4" OC	LOW								
			NO MOW MEADOW GRASS										
PLANTING LEGEND/WATER USE CATEGORY LIST						4	HYDROZONE LAYOUT LIST				3	PLANTING NOTES	2
TOTAL LANDSCAPE AREA: 1,780 SF													



Kang Residence
202 Gilbert
Menlo Park, CA

Irrigation Plan

Drawn 11/30/16
Rev 4/2/17
By: JGR
Scale: NOTED

L1.2

IRRIGATION LAYOUT PLAN		1/8" = 1'	1
	<p>IRRITROL RAINFALL RD-900 9 STATION WEATHER BASED CONTROLLER WITH RAIN SENSOR (VERIFY PLACEMENT)</p> <p>FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER (VERIFY PLACEMENT)</p> <p>1" GATE VALVE BEFORE EACH VALVE SET</p> <p>PVC SCH 40 MAINLINE (SIZE NOTED, MINIMUM 18" DEPTH)</p> <p>PVC SCH 40 LATERAL LINE (SIZE NOTED, MINIMUM 12" DEPTH)</p> <p>RAINBIRD PEB SERIES CONTROL VALVES (OR EQUAL) SIZED PER MAINLINE. DRIP LINES TO INCLUDE IN LINE PRESSURE REGULATOR AND Y FILTER</p> <p>AGRIFIM IN-LINE DRIP LINES WITH 9 GPH CHECK VALVE EMITTERS AT 12" SPACING WITH FLUSH VALVES AT END OF RUNS (STAKED TO GRADE WITH 6" LANDSCAPE STAPLES). MEETS ANSI STANDARD.</p> <p>3/4" BRASS HOSE BIB (VERIFY LOCATIONS WITH OWNER)</p> <p>3" STYRENE SLEEVE UNDER HARDSCAPE WHERE NECESSARY</p>		
SUGGESTED MATERIALS LIST		3	IRRIGATION NOTES
		2	

- 1) VERIFY POINT OF CONNECTION (POC) AND PLACEMENT OF BACKFLOW PREVENTER
- 2) INCLUDE MASTER SHUT OFF VALVE AT POINT OF CONNECTION
- 3) VERIFY SITE WATER PRESSURE AT 55 PSI MIN
- 4) VERIFY ELECTRICAL SOURCE AND PLACEMENT OF CONTROLLER WITH OWNER
- 5) VERIFY OPERATION OF SYSTEMS AND PRESSURE BEFORE BACKFILLING TRENCHES. DRIP LINES TO BE SECURED TO GRADE WITH 6" LANDSCAPE STAPLES AND COVERED WITH MULCH
- 6) SYSTEM LAYOUT IS DIAGRAMMATIC. ACTUAL FIELD CONDITIONS WILL DICTATE FINAL LAYOUT. ADDITION OF DRIP LINES, ETC
- 7) VERIFY CONTROL WIRE PLACEMENT AND VALVE OPERATION
- 8) VERIFY RAIN SENSOR IN FIELD
- 9) CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING AND MONITORING IRRIGATION SYSTEM TO APPLY ADEQUATE WATER FOR ESTABLISHMENT BUT TO ELIMINATE RUNOFF AND SOIL SATURATION
- 10) CONTRACTOR TO SUBMIT IRRIGATION SCHEDULE TO OWNER AT COMPLETION OF INSTALLATION AND WARRANTY PERIOD
- 11) CONTRACTOR SHALL VERIFY LOCATION OF ALL NEW UNDERGROUND UTILITIES PRIOR TO ANY TRENCHING OR IRRIGATION
- 12) HAND TRENCHING TO BE DONE NEAR EXISTING TREES. NO ROOTS 1" DIAMETER AND LARGER SHALL BE CUT WITHOUT APPROVAL OF OWNER
- 13) VERIFY AND COORDINATE INSTALLATION OF MAINLINE AND LATERAL LINES UNDER ALL PAVEMENT
- 14) CONTROL WIRES SHALL BE SET ADJACENT OF MAINLINE



Kang Residence
202 Gilbert Ave, Menlo Park

APN: 062-365-150
Plan Check #: PLN2017-00002

Project Description

To Whom it May Concern,

The project at 202 Gilbert as proposed involves the demolition of an existing multi-unit residential property with a detached 3 car carport, and the construction of a new two-story single family residence of approximately 2,800 square feet and all associated landscaping and site work.

The existing multi-unit residential structure holds 4 small one bedroom units, two on the ground floor and two on the second floor. Each has a small kitchenette, bathroom and sleeping / living area. There is an existing detached 3 car garage also on the property.

The proposed two-story single family residence will have 3 bedrooms, 3 bathrooms, an office, kitchen, living, and dining room, as well as a 2 car garage. The house is contemporary in nature using similar materials to the surrounding context, stucco and siding, as the current neighborhood is a mix of many different architectural styles. Spanning from post war ranchers, cottages, Spanish/Mediterranean, craftsman and contemporary homes which can often all be found on the same block. The surrounding blocks seem to be almost entirely single family homes with a healthy mix of them being one and two-story constructions. The existing multi-unit house seems to be the outlier in the neighborhood in regards to number of units on the lot. Ultimately, the proposed project is being designed as a retirement / empty nester home for a couple who feel their current home is too large as their children begin to leave which seems to fit the neighborhood context much closer than the current multi-unit complex.

Sincerely,

Ana Williamson, AIA.

Ana Williamson Architect
885 Santa Cruz Ave, Suite A
Menlo Park, CA, 94025
(650) 329-0577

Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

October 21, 2016, Revised June 6, 2017

Ms. Surinder Kang
740 Menlo Oaks Drive
Menlo Park, CA 94025

Site: 202 Gilbert, Menlo Park, CA

Dear Ms. Kang,

As requested on Monday, October 10, 2016, I visited the above site to inspect and comment on the trees. A new home is planned for this site and your concern for the future health and safety of the trees has prompted this visit.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

202 Gilbert /6/6/17

(2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1P	African sumac (<i>Rhus lancea</i>)	11.6	45	12/12	Fair vigor, poor form, codominant at base, heavily pruned in past, abundance of watersprout growth, street tree.
2P	Coast live oak (<i>Quercus agrifolia</i>)	14.2	65	25/15	Good vigor, fair form, multi leader at 6 feet with fair crotches, street tree.
3P	Camphor (<i>Cinnamomum camphora</i>)	5.6	60	20/12	Fair vigor, fair form, young tree, poor species for street tree.
4P	Coast live oak (<i>Quercus agrifolia</i>)	20.1	70	30/25	Good vigor, fair form, multi leader at 6 feet with fair crotches, street tree.
5*P	European beech (<i>Fagus sylvatica</i>)	18est	75	40/30	Good vigor, fair form, codominant at 10 feet, 2 feet from property line, foliage into property by 12 feet.
6*P	Flowering pear (<i>Pyrus calleryana</i>)	8est	65	25/15	Good vigor, fair form, multi leader at 6 feet, 1 foot from property line.
7*P	Flowering pear (<i>Pyrus calleryana</i>)	8est	65	25/15	Good vigor, fair form, multi leader at 6 feet, 1 foot from property line.
8R	Fruiting plum (<i>Prunus spp.</i>)	8.9	45	20/15	Poor vigor, fair form, poor location, in decline.
9	Redwood (<i>Sequoia sempervirens</i>)	12.8	85	40/15	Good vigor, good form.
10P	Redwood (<i>Sequoia sempervirens</i>)	16.7	85	40/15	Good vigor, good form.
11R	Black walnut (<i>Juglans nigra</i>)	10.6@base	45	20/15	Fair vigor, poor form, suppressed, codominant at base.
12*P	Japanese maple	8@base,est	45	15/10	Poor vigor, poor form, multi leader at base, large dead sections in canopy, suppressed by beech tree #5, leans heavily into property.

*-Indicates neighbor trees P-Indicates protected tree by city ordinance
R-Indicates proposed removal.

Summary:

The trees on site are a mix of imported and native species. The majority of the trees on site are located on the perimeter of the property making this an ideal construction site. African sumac tree #1 is a protected tree as it is a street tree. This tree has been heavily pruned in the past and as a result an abundance of watersprout growth was visible in the tree's canopy. This tree may be visually and aesthetically improved with a thorough pruning. Tree protection fencing for this tree should totally fence off the street planting strip. No impacts are expected from the proposed construction to this tree.



Coast live oak tree #2 is also a protected street tree. This tree is in fair condition. Tree protection fencing for this tree must totally enclose the tree's planting strip. No impacts are expected from the proposed construction to this tree.

Showing oak tree #2

Camphor tree #3 is also a protected street tree. This tree is in fair condition. Camphor trees as a species tend to develop large invasive surface roots that can easily destroy sidewalks. This is a poor species selection for a street tree because of its potential do damage hardscapes. The protection fencing for this tree must totally enclose the tree's planting strip. No impacts are expected from the proposed construction to this tree.



Coast live oak tree #4 is also a protected street tree. This tree is in good condition. Tree protection fencing for this tree will need to completely fence off the tree's planting pit. Neighbors beech tree #5 is also a protected tree. This tree is in good condition. This tree is located 2 feet from the property line and extends into the property by 12 feet. Tree protection for neighbors beech tree #5 should extend off the property line to a distance of 15 feet and totally enclose the canopy spread of the tree(30ft). An existing driveway is located in close proximity to trees #4 and #5. This existing driveway is to be abandoned as the new driveway is proposed on the other side of the property. The existing driveway material will need to be removed by hand in order to reduce impacts to the roots of trees #4 and #5 that may have grown into this area. The existing driveway

material has been extremely broken down in the past and the soil beneath the existing driveway is likely highly compacted, and likely discouraged some root growth in this area. Areas where the existing driveway will be turned into landscaped areas should have the soil amended with a high quality compost and loosened in order to de-compact the soil so plants can thrive. No roots will be allowed to be cut in the landscape area. Roots are expected to be minimal in this area as the compacted driveway likely discouraged root growth in this area.

The existing garage is proposed to be demolished. The garage slightly encroaches on the dripline of the neighbors beech tree. During demolition of the garage, tree protection fencing must be placed as close to the garage as possible. This will reduce the risk of compaction from heavy machinery over the root zone of this tree. The existing driveway in this area shall remain intact during demolition of the garage as the driveway offers protection to what roots have grown in this area.

The proposed home is outside the driplines of oak tree #4 and beech tree #5. A patio is proposed that extends off the home and slightly encroaches on the dripline of beech tree #5. The patio is recommended to require a minimal amount of excavation. Impacts from the proposed patio are expected to be minor as the distance from the tree to the patio is sufficient. All work underneath the dripline of Beech tree #5 and oak tree #4 will need to be documented and inspected by the site arborist. It is the contractors responsibility to contact the site arborist 48 hours in advance when work is to take place underneath the dripline of a protected tree on site. During the site inspection the site arborist will also offer mitigation measures as seen fit.

Neighbors pear trees #6 and #7 are in fair condition. These trees are located 1 foot from the property line adjacent to the existing garage that is proposed to be removed. The existing garage likely acted as a root barrier to these trees. The proposed home is in the same location as the existing garage. Impacts for these trees are expected to be nonexistent as the proposed home's foundation is located in the same location as the existing garage foundation. The site arborist must be on site when excavating for the new foundation near these trees to document any possible root trauma (although not likely). If any roots are traumatized an irrigation plan will be put in place. Tree protection fencing for these trees will extend off the property line fence and be placed as close to the proposed foundation as possible.

Plum tree #8 is proposed for removal as it is in decline and is in close proximity to the proposed foundation. This tree is not a protected size tree in the city of Menlo Park and no permit is required for removal.



Redwood trees #9 and #10 are in good condition. Redwood tree #10 is a protected sized tree, while redwood tree #9 is not protected as it is underneath 15 inches in diameter. The proposed home foundation will be slightly closer to these trees when compared to the existing home foundation. It is recommend that the foundation near these trees be a pier and grade beam type of foundation with a grade beam not exceeding 6 inches below grade. All pier locations shall be hand dug to a depth of 2 feet. If large roots are present, piers shall have the ability to be moved to a better suited area. Grade beam areas will also need to be excavated by hand. The site arborist must be on site when excavation is to take place near these trees in order to document, inspect and to offer mitigation measures as seen fit. Tree protection fencing for these trees is to be placed as close as

possible to the proposed foundation and be placed just outside the dripline of these trees where possible. Mitigations for the possibility of root trauma for these trees shall consist of an irrigation plan. A soaker hose should be placed underneath the dripline of these trees and be turned on for 4 hours every 2 weeks or until winter rainfall is sufficient. Impacts are expected to be minor if the above recommendations are taken into account.

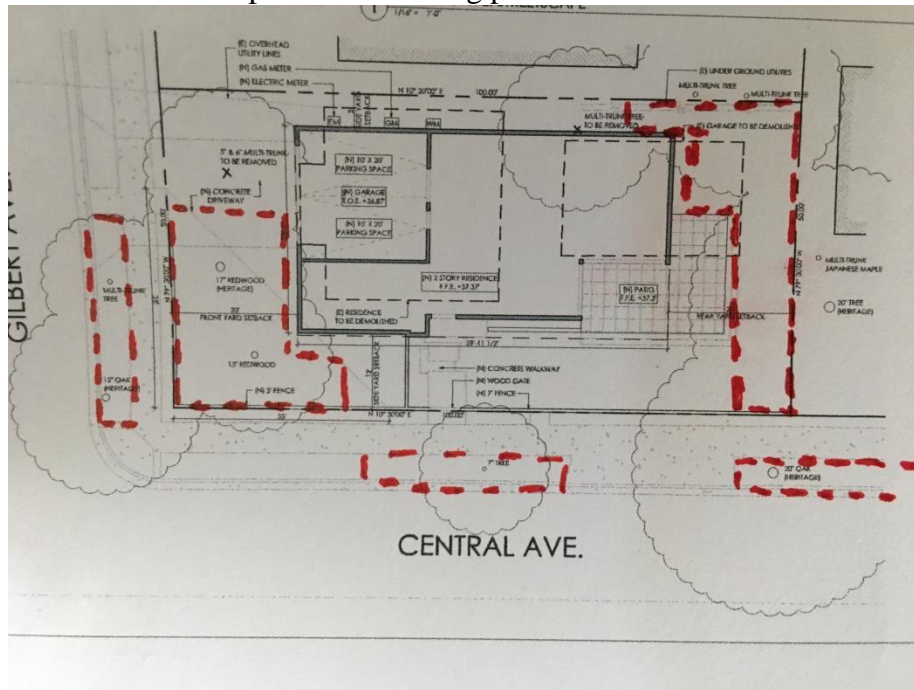
Walnut tree #11 is proposed for removal as it is in decline. This tree is not a protected tree and no permit is required to remove the tree.

Neighbor's Japanese maple tree #12 is in poor condition. This tree is located underneath the dripline of the neighbor's beech tree. As a result the tree is heavily suppressed and leans into the property. An abundance of dead wood was also observed in the tree likely from the poor light quality. The same tree protection fencing installed for the neighbor's beech tree will protect this tree. Impacts to the Japanese maple tree are expected to be nonexistent. The following tree protection plan will help to insure the future health of the retained trees on site.

Tree Protection Plan:

Tree protection fencing

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for protection zones should be 6-foot-tall metal chain link supported by 2-inch diameter poles pounded into the ground. The location for protective fencing should be as close to the dripline as possible still allowing room for construction to safely continue. No equipment or materials should be stored or cleaned inside protection zones. Below is a diagram showing recommended tree protection fencing placement.

**Landscape Buffer**

Where tree protection does not cover the entire root zone of the trees a landscape buffer consisting of wood chips spread to a depth of six inches will be placed where foot traffic is expected to be heavy. The landscape buffer will help to reduce compaction to the unprotected root zone.

Root Cutting

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend irrigation or fertilizing at that time. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Trenching and Excavation

Trenching for irrigation, electrical, drainage or any other reason, should be hand dug when beneath the dripline of desired trees. Hand digging and careful placement of pipes below or beside protected roots will dramatically reduce root loss, thus reducing trauma to desired trees. Trenches should be back filled as soon as possible using native materials and compacted to near original levels. Trenches to be left open with exposed roots shall be covered with burlap and kept moist. Plywood laid over the trench will help to protect roots below.

Irrigation

Normal irrigation should be maintained throughout the entire length of the project. All of the imported trees will require normal irrigation. Irrigation should consist of surface flooding, with enough water to wet the entire root zone. If the root zone is traumatized this type of irrigation should be carried out two times per month during the warm dry season. Native oak trees shall not be irrigated unless their root zones are traumatized.

Demolition

All tree protection must be in place prior to the start of demolition. Demolition equipment must enter the project from the existing driveway. If vehicles are to stray off the drive the area within the dripline of a protected tree, the area must be covered with 6 inches of chips and steel plates or 1 1/4 inch plywood. The town of Menlo Park will require a letter from the site arborist stating the tree protection fencing is up before the start of demolition.

This information should be kept on site at all times. The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A

David P. Beckham
Certified Arborist WE#10724A

Dear Neighbor

I am writing to you regarding my property at 202 Gilbert Ave, Menlo Park. You may already be aware of the proposed new construction that has been submitted to the City of Menlo Park for design review and permitting.

I think the new design that has been planned will tremendously enhance the neighborhood. The current four plex is not so pretty to look at. I have worked with the architectural team at AWA (Ana Williamson, Architect) and also with a landscape designer to come up with a wonderful plan. Landscape design includes planting trees to replace the ones that were taken down.

I have lived in the Willows previously (O'Conner Street and Pope Street) My 210 Pope Street home was on the architectural cottages tour. The project at 202 Gilbert is for us to move into. I will take care that it is built to the highest standards.

Please do not hesitate to contact me at [650 380 4966](tel:6503804966) or surinderkang@gmail.com if you would like to discuss anything or have any questions. Please take a look at my work at www.sdkdesign.com

Sincerely,

Surinder Dosanjh Kang



STAFF REPORT

Planning Commission

Meeting Date: 7/17/2017

Staff Report Number: 17-043-PC

Public Hearing: Use Permit/Eric Zhao/882 College Avenue

Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish a one-story single-family residence and detached garage and construct a two-story single-family residence on a substandard lot with respect to lot width in the R-1-U (Single Family Urban Residential) zoning district at 882 College Avenue. As part of the project, one heritage magnolia tree in the front yard is proposed for removal. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The project site is located at 882 College Avenue in the Allied Arts neighborhood. Using College Avenue in the east-west orientation, the subject property is on the north side of College Avenue between Blake Street and University Drive. A location map is included as Attachment B. Adjacent parcels are also zoned R-1-U, with a mix of one- and two-story, single-family residences. Older residences in the neighborhood are generally one story in height, while newer residences are typically two stories in height. Single-story residences in the neighborhood tend to have a craftsman or bungalow architectural style, while two-story residences have a variety of styles including Cape Cod, Tudor, and contemporary architectural styles.

Analysis

Project description

The subject site is currently occupied by an existing one-story, single-family residence and a detached two-car garage. The applicant is proposing to demolish both buildings and construct a new two-story, single-family residence with an attached two-car garage. The subject lot is substandard with regard to lot width, with a lot width of 50 feet where 65 feet is required. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would have a floor area of 3,000 square feet where 3,007 square feet is the allowable floor area limit (FAL), and a building coverage of 32 percent where 35 percent is the maximum permitted. The residence would have four bedrooms and three-and-a-half bathrooms, with one bedroom and one-and-a-half bathrooms on the first floor, and three bedrooms and two bathrooms on the second

floor. The residence would have porches at the front and rear side of the house. The porches do not count toward floor area but contribute to building coverage. The residence would have an overall height of 25 feet, 11 inches, which is below the maximum allowable height of 28 feet. The proposal would be in compliance with daylight plane requirements.

Design and materials

The proposed residence is in a traditional residential style, and would feature a covered front porch and two covered rear porches, varied wood shake hip and valley roof forms, and wood carriage-style garage doors. The roof would be made of two-piece clay mission tiles. The walls would feature smooth stucco siding on all sides of the structure with vertically-oriented aluminum wood clad windows and doors that would have true divided lites. Some of the proposed fenestration would be decorated with wood shutters, specifically all the windows on the front elevation and some windows on the rear and north side elevations. The decorative shutters would provide some visual interest, although most would not match the size of their associated windows, which is not necessarily ideal. The front entry door would be wood, and the separate garage doors would be wood with arched rows of divided lites across the top.

The front façade of the house would feature a covered front porch with stone-clad columns and metal railings, a wood front entry door with side lites, aluminum wood clad windows decorated with wood shutters, and stylized wood carriage-style garage doors to highlight the front entrance. The use of different materials of stone, metal, stucco, and wood would add texture and visual interest. The front porch would be set back approximately two-and-a-half feet more than the required twenty foot front setback. The design of the garage doors split into two separate doors would make the parking features slightly less prominent along the street frontage. At the rear of the house, there would be two additional porches with stone-clad columns with the same design as those at the front porch.

The massing of the house would be balanced, with the second floor set in along both side elevations and the walls broken up by the proposed pop-outs of the various bedrooms, bay window, stairwell, and bathrooms. This variation would help minimize the perception of building massing. Additionally, most of the second-floor windows would have sill heights with a minimum of three feet to promote privacy, and there would be one skylight above the stairwell to provide more natural light into the house.

Staff believes that the materials, scale, and design of the proposed residence would be compatible with those in the surrounding neighborhood.

Trees and landscaping

There are 21 trees on or near the project site, including nine heritage and 12 non-heritage trees. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of these trees. One heritage magnolia tree (tree #9) in the front yard is proposed to be removed due to its poor vigor, form, and abundance of deadwood. One non-heritage spruce tree (tree #2) in the right-of-way is proposed to be removed due to its poor vigor and form. Two replacement trees are proposed, which consist of a Chinese pistache tree in the front left yard and one 24-inch box size marina arbutus tree in the same location as tree #2 in the right-of-way, which was requested by the City Arborist. The applicant has submitted a heritage tree removal permit application for tree #9 and received tentative approval from the City Arborist pending Planning Commission approval of the overall project. In addition to the one non-heritage tree in the right-of-way being removed, nine non-heritage trees on the project site are also proposed for removal.

During the demolition phase of the project, the remaining heritage tree in the rear yard (tree #12) and the trees on the neighboring right side property would be protected by tree protection fencing. The Tree Protection Plan includes measures for hand digging, irrigation, and inspections as needed. Recommended tree protection measures, including specific measures to ensure the protection of heritage tree #12, would be ensured through recommended condition 3g.

Correspondence

In the project description letter (Attachment E), the applicant states that they delivered flyers and packets containing the proposed plans to the surrounding neighborhood. The applicant states that the neighbor at 883 Middle Avenue, the adjacent rear property, contacted the applicant to ensure the new fence abutting their two properties would be built on the rear property line and asked the applicant questions about the fire pit in the backyard, who would be living in the house, construction, and zoning compliance. Staff has not received correspondence on the proposed project.

Conclusion

Staff believes the scale, materials, and design of the proposed residence are in keeping with other homes in the vicinity. The hipped and valley tiled roofs, smooth stucco siding, and aluminum wood clad windows with true divided lites would create a design for the proposed single-family residence that would be compatible with similar structures in the greater neighborhood. Although the project would be a two-story residence, the applicant has set the second floor in on both side elevations and designed pop-outs and insets on the second floor to minimize the perception of building massing. In addition, relatively high sill heights are proposed for all of the second-floor windows to promote privacy. Remaining heritage trees on the subject property and the adjacent right parcel would be protected by tree protection fencing and specific measures outlined in the arborist report. Additional landscaping would also be planted to replace the non-heritage street tree and heritage tree on site to be removed. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

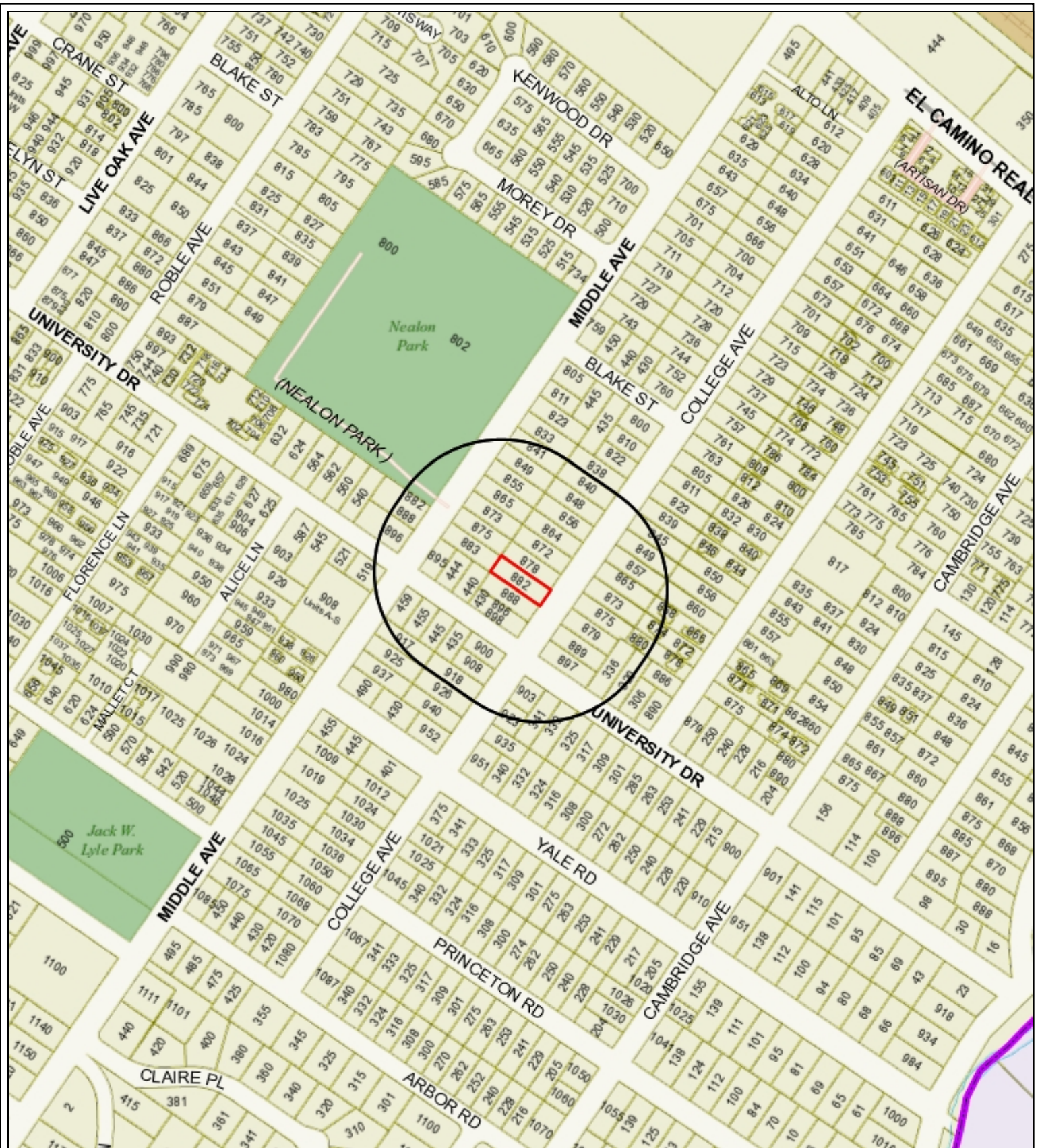
None

Report prepared by:
Sunny Chao, Assistant Planner

Report reviewed by:
Thomas Rogers, Principal Planner

882 College Avenue – Attachment A: Recommended Actions

LOCATION: 882 College Avenue	PROJECT NUMBER: PLN2017-00035	APPLICANT: Eric Zhao	OWNER: Eric Zhao
REQUEST: Request for a use permit to demolish a one-story single-family residence and detached garage and construct a two-story single-family residence on a substandard lot with respect to lot width in the R-1-U (Single Family Urban Residential) zoning district. As part of the project, one heritage magnolia tree in the front yard is proposed for removal.			
DECISION ENTITY: Planning Commission	DATE: July 17, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by ARCH Studio Inc. consisting of 20 plan sheets, dated received July 5, 2017, and approved by the Planning Commission on July 17, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the recommendations in the arborist report by Kielty Arborist Services dated March 27, 2017. 			



CITY OF MENLO PARK

City of Menlo Park
 Location Map
 882 College Avenue



Scale: 1:4,000

Drawn By: SYC

Checked By: THR

Date: 7/17/2017

Sheet: 1

882 College Avenue – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	7,827 sf	7,827 sf	7,000 sf min.
Lot width	50.1 ft.	50.1 ft.	65 ft. min.
Lot depth	156.2 ft.	156.2 ft.	100 ft. min.
Setbacks			
Front	20 ft.	27 ft.	20 ft. min.
Rear	63.5 ft.	47 ft.	20 ft. min.
Side (left)	5 ft.	5 ft.	5 ft. min.
Side (right)	5 ft.	5 ft.	5 ft. min.
Building coverage	2,476.3 sf 31.6 %	2,173.3 sf 27.8 %	2,739.5 sf max. 35 % max.
FAL (Floor Area Limit)	2,999.9 sf	2,173.3 sf	3,006.8 sf max.
Square footage by floor	1,527.3 sf/1st 1,041.7 sf/2nd 430.9 sf/garage 27.7 sf/fireplaces 490.4 sf/porches	1,842.2 sf/1st 331.1 sf/garage	
Square footage of buildings	3,518 sf	2,173.3 sf	
Building height	25.9 ft.	15 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees*	9	Non-Heritage trees**	12	New Trees	2
	Heritage trees proposed for removal	1	Non-Heritage trees proposed for removal	10	Total Number of Trees	12

*Includes two trees in the right-of-way and five trees on the adjacent right parcel.

**Includes two trees in the right-of-way.

PROJECT INFORMATION

PROJECT DIRECTORY

PROJECT ADDRESS & ZONING
ADDRESS: 882 COLLEGE AVENUE, MENLO PARK, CA 94025
APN: 071-403-250
ZONING: R1-1U SINGLE FAMILY URBAN DISTRICT

PROJECT DESCRIPTION:
 CONSTRUCTION OF A NEW TWO-STORY 2,568.3 SF RESIDENCE WITH AN ATTACHED TWO-CAR 430.9 SF GARAGE.

—SEE SITE PLAN FOR ADDITIONAL INFORMATION.

FIRE DEPARTMENT:
 FIRE SPRINKLERS REQUIRED: YES

FLOOD ZONE:
 DESIGNATION: X
 BASE FLOOD ELEVATION: N/A

CODE INFO:
 OCCUPANCY TYPE: R-3/U
 CONST. TYPE: V-8
 STORES: TWO-STORY
 TOTAL FLOOR AREA: 3,000.0 SF W/ GARAGE

ZONING REQUIREMENTS:
MINIMUM LOT SIZE: 7,000 SQFT
MINIMUM LOT DIMENSIONS: WIDTH: 65 FT., DEPTH: 100 FT.

BUILDING SETBACKS:
FRONT: 20 FT.
SIDES: TEN PERCENT (10%) OF MINIMUM LOT WIDTH FOR SIDES BUT NOT LESS THAN FIVE FEET (5') OR MORE THAN TEN FEET (10'), EXCEPT STREET SIDE OF CORNER LOTS WHICH SHALL BE A MINIMUM OF TWELVE FEET (12')
REAR: 20 FT.

MAXIMUM BUILDING COVERAGE:
 DEVELOPMENT OF TWO (2) OR MORE STORIES: THIRTY-FIVE PERCENT (35%)

MAXIMUM FLOOR AREA LIMIT (FAL):
 A THE MAXIMUM ALLOWED FAL SHALL BE BASED ON THE SIZE OF THE SIZE OF THE PROPERTY IN ACCORDANCE WITH THE FOLLOWING REGULATIONS:

ZONING REQUIREMENTS CONTINUED:

i. FAL FOR LOTS WITH LESS THAN FIVE THOUSAND (5,000) SQUARE FEET OF AREA SHALL BE DETERMINED BY A CONDITIONAL USE PERMIT.

ii. FAL FOR LOTS WITH AN AREA BETWEEN FIVE THOUSAND (5,000) AND SEVEN THOUSAND (7,000) SQUARE FEET SHALL BE TWO THOUSAND EIGHT HUNDRED (2,800) SQUARE FEET

iii. FAL FOR LOTS WITH GREATER THAN SEVEN THOUSAND (7,000) SQUARE FEET OF AREA SHALL BE TWO THOUSAND EIGHT HUNDRED (2,800) SQUARE FEET PLUS TWENTY-FIVE PERCENT (25%) OF THE DIFFERENCE BETWEEN THE LOT AREA AND SEVEN THOUSAND (7,000) SQUARE FEET.

B. THE MAXIMUM SECOND FLOOR FAL SHALL BE FIFTY PERCENT (50%) OF THE MAXIMUM FAL ALLOWED ON THE PROPERTY, EXCEPT THAT ON LOTS WHERE THE LENGTH IS MORE THAN TWICE THE WIDTH, THE ALLOWABLE SECOND-STORY MAY BE THE GREATER OF HTE ONE THOUSAND FOUR HUNDRED (1,400) SQUARE FEET OR: WIDTH (MEASURED AT THE FRONT OF THE SETBACK LINE) X THE FLOOR AREA LIMIT, LENGTH (AVERAGE OF BOTH SIDES)

BUILDING HEIGHT: 28 FT. MAX.

FLOOR/LOT AREA CALCULATIONS:
LOT SIZE: 7,827 SF
FAL ALLOWED: 2,800 + 25%(7827-7000) = 3,006.8 SF

PROPOSED AREA:
 (N) MAIN FLOOR: 1,527.3 SF
 (N) UPPER FLOOR: 1,041.0 SF
TOTAL: 2,568.3 SF

TWO-CAR GARAGE (N): 430.9 SF
TOTAL: 3,000.0 SF
3000.0 < 3006.8 (YES, UNDER ALLOWABLE FAL)

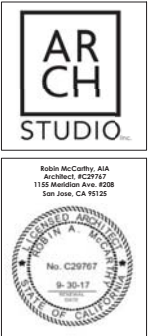
BUILDING COVERAGE:
 7,827 x 0.35 = 2,739.5 SF ALLOWED
 (N) MAIN FLOOR: 1,527.3 SF
 (N) GARAGE: 430.9 SF
 (N) FIREPLACE #1: 7.7 SF
 (N) FIREPLACE #2: 20.0 SF
 (N) COVERED FRONT PORCH: 102.7 SF
 (N) COVERED BACK PORCH: 326.3 SF
 (N) COVERED GUEST BACK PORCH: 61.4 SF
TOTAL BUILDING COVERAGE: 2,476.3 SF
2,476.3 SF < 2,739.5 SF (YES, UNDER ALLOWABLE)

OWNER: ERIC ZHAO
 408-887-2737
 ERIC.ZHAO@GMAIL.COM

CIVIL/SURVEYOR: LC ENGINEERING
 598 E. SANTA CLARA STREET, #270
 SAN JOSE, CA 95112
 408-806-7197

ARCHITECT: ROBIN MCCARTHY, AIA
 C.A. LICENSE C29767
 1155 MERIDIAN AVE, #208
 SAN JOSE, CA 95125
 (408) 859-8723
 robin@archstudioinc.com

LANDSCAPE ARCHITECT: MARA YOUNG
 (650) 327-2644
 marayoung@gmail.com



DESIGN REVIEW AND USE PERMIT APPLICATION

COVER NOTES

- ELECTRICAL, MECHANICAL, PLUMBING, STRUCTURAL STEEL FRAMING AND SUB-CONTRACTORS SHALL ACT IN DESIGN / BUILD CAPACITY. THEY SHALL PROVIDE, SEPARATELY, ANY DRAWINGS, SPECIFICATIONS OR INFORMATION REQUIRED BY BUILDING DEPARTMENTS.
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LOCAL ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS:
 - California Building Code, 2016 edition (CBC)
 - California Plumbing Code, 2016 edition
 - California Mechanical Code, 2016 edition
 - California Electrical Code, 2016 edition
 - California Existing Building Code 2016
 - International Existing Building Code 2016 edition
 - California Residential Code, 2016 edition
 - California Green Building Standards (CALGreen) 2016 edition
 - 2016 California Energy Code, Part 4, Title 24
- ALL TELEPHONE, ELECTRIC WIRES, AND OTHER SUCH SERVICE FACILITIES TO NEW CONSTRUCTION SHALL MEET CITY REQUIREMENTS.
- ANY OMISSION, CONFLICT, OR AMBIGUITY FOUND IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL EQUIPMENT SHALL BE LISTED BY THE APPROVED LISTING AGENCY AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- HERS VERIFICATION REQUIRED FOR THE HVAC COOLING, HVAC DISTRIBUTION, AND HVAC-FAM SYSTEMS. PROVIDE EVIDENCE OF THIRD-PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.



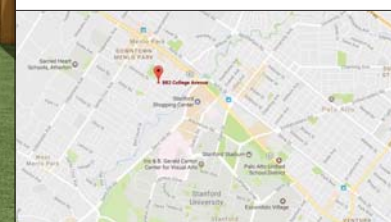
A "FINISHED CONSTRUCTION" ELEVATION CERTIFICATE WILL BE REQUIRED AT PROJECT COMPLETION

882 COLLEGE AVENUE
 FRONT PERSPECTIVE

SHEET INDEX

- ARCHITECTURAL**
- CS COVER SHEET
 - A1-1 AREA PLAN
 - A1-2 PROPOSED SITE PLAN
 - A2-1 DEMOLITION SITE PLAN
 - A2-2 EXISTING FLOOR PLAN
 - A2-3 EXISTING ELEVATIONS
 - A3-1 PROPOSED MAIN FLOOR PLAN
 - A3-2 PROPOSED UPPER FLOOR PLAN
 - A3-3 FLOOR AREA CALCULATIONS
 - A4-1 PROPOSED ROOF PLAN
 - AS-1 EXTERIOR ELEVATIONS
 - AS-2 EXTERIOR ELEVATIONS & STREETSCAPE
 - AS-3 EXTERIOR PERSPECTIVES
 - A6-1 BUILDING SECTIONS
- SURVEY**
- T-1 TOPOGRAPHIC & BOUNDARY SURVEY
- CIVIL**
- C-1 TITLE PAGE
 - C-2 GRADING & DRAINAGE PLAN
- LANDSCAPE**
- L-1 LANDSCAPE PLAN
 - L-2 IRRIGATION PLAN
 - L-3 HYDROZONE DIAGRAM

VICINITY MAP



Construction of New Residence:
882 COLLEGE AVENUE, MENLO PARK, CA 94025

DATE	DESCRIPTION

COVER SHEET

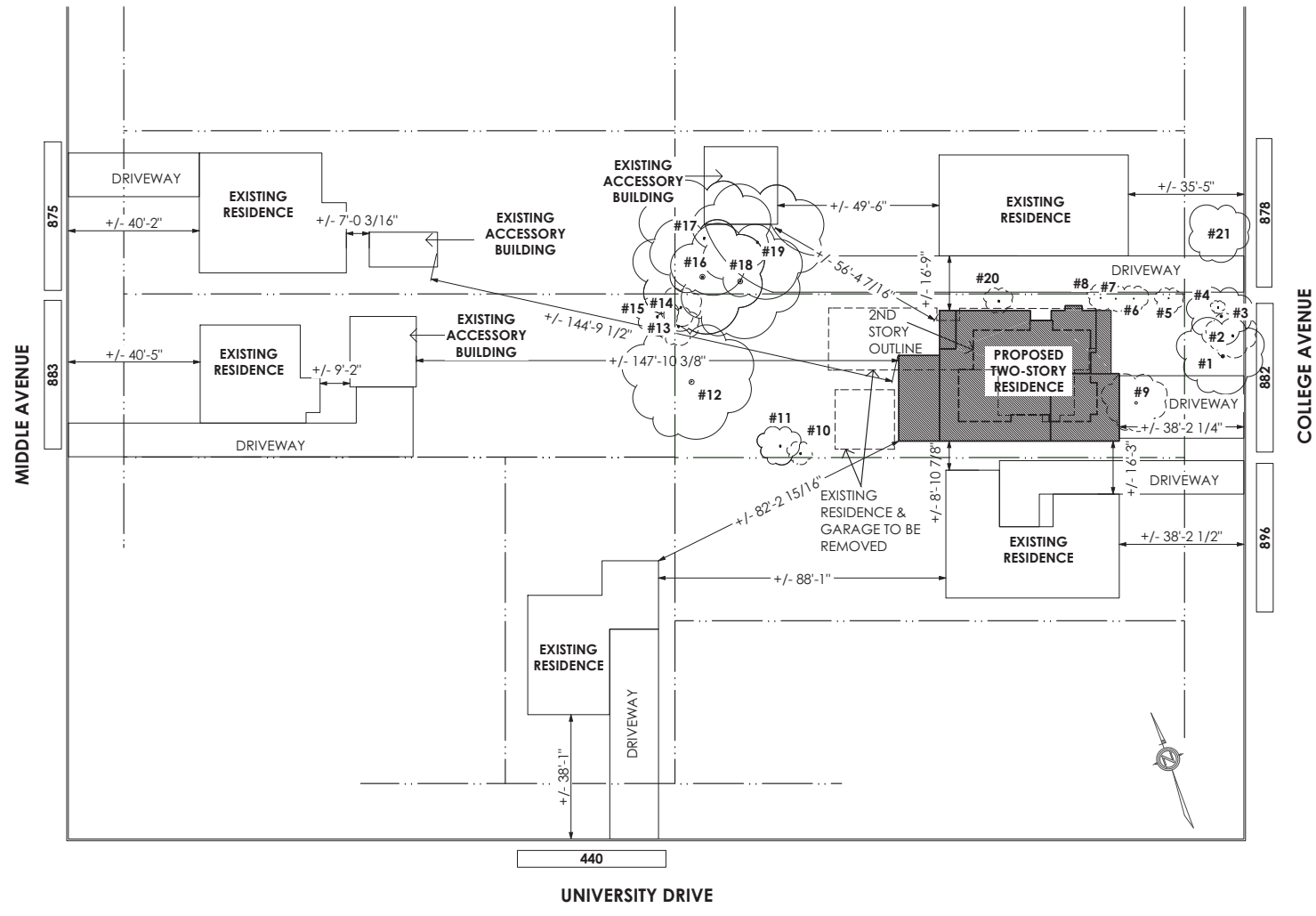
DATE: 6/28/2017 SCALE: NO SCALE

ALL DRAWINGS AND NOTICES MUST BE APPROVED BY THE ARCHITECT. ANY CHANGES TO THE DRAWINGS MUST BE MADE IN WRITING AND MUST BE APPROVED BY THE ARCHITECT. ANY CHANGES MADE WITHOUT THE ARCHITECT'S CONSENT WILL BE AT THE USER'S RISK.

CS



Construction of New Residence:
882 COLLEGE AVENUE, MENLO PARK, CA 94025



DATE	DESCRIPTION

AREA PLAN

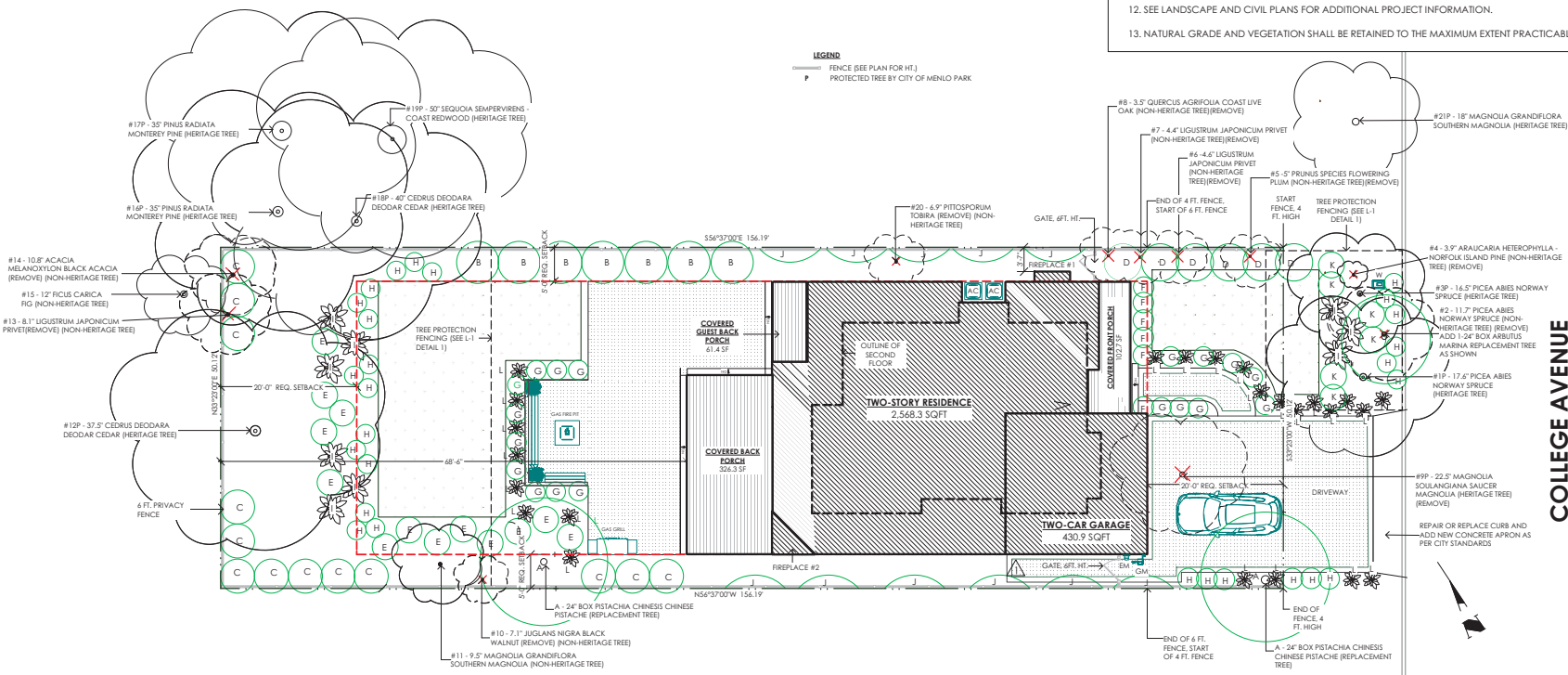
DATE: 6/28/2017 SCALE: 1 in. = 16 ft.

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A1-1

AREA PLAN

PLANT LIST					
#	QU.	SIZE	BOTANICAL NAME	COMMON NAME	MOGUL PLANT FACTOR
A	2	24" BOX	PISTACHIA CHINENSIS	CHINESE PISTACHE	L
B	7	86	LAURUS 'SARATOGA'	SARATOGA LAUREL	L
C	10	86	FRAXINUS GARGANIANA	CARDINAL LAUREL CHERRY	L
D	6	86	HYDRICIA CALIFORNICA	CALIFORNIA PINK MYRTLE	L
E	14	56	LOXOPETALUM EMERALD SHINY	FRINGE FLOWER	L
F	8	56	ERINUS 'GREEN BEAUTY'	ROSEWOOD	M
G	10	26	ROSA WHITE FLOWER CARPET	GROUND COVER ROSE	M
H	27	56	ROSTINDEA VILLE GEM	COASTAL ROSEMARY	L
I	4	56	CHONDROPETALUM ELEPHANTUM	CAPE RUSH	L
J	11	56	ROSA BANKSIAN 'ALBA FLENA'	LADY BANKS ROSE	L
K	6	56	CHOISYA TERNATA	MOCK ORANGE	L
L	24	16	LONDRONIA BREEZE	DIHART' MATT RUSH	L
M	1	24" BOX	ARELITUS 'MARINA'	MARINA ARELITUS	L



PROPOSED SITE PLAN

SITE PLAN GENERAL NOTES:

- CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
- BEFORE ANY EXCAVATION, COORDINATE LOCATION OF ALL EXISTING SITE UTILITIES.
- EXCAVATION, FILLS, AND UTILITIES FOR ALL BUILDINGS OR STRUCTURES SHALL BE SO CONSTRUCTED OR PROTECTED THAT THEY DONOT ENDANGER LIFE OR PROPERTY.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING EXCAVATION AND CONSTRUCTION, U.O.N.
- FINISH GRADE SHALL SLOPE AWAY FROM THE FOUNDATION OF ALL BUILDINGS AND STRUCTURES A MINIMUM OF 5% FOR A MINIMUM DISTANCES OF TEN FEET. (CBC 1804.3). ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A MINIMUM OF 12 INCHES PLUS 2%.
- ALL EXTERIOR HARD SURFACES (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE AND SHALL DRAIN AWAY FROM THE BUILDING. DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5%. MAXIMUM ALLOWABLE GRADED SLOPE IS 3 HORIZONTAL TO 1 VERTICAL (3%).
- LOT GRADING SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY.
- NEW RAINWATER DOWNSPOUTS SHALL BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.
- IMPLEMENTATION OF 'BEST MANAGEMENT PRACTICES' SHALL BE USED TO PROTECT STORM QUALITY AND PREVENT POLLUTANTS ENTERING THE PUBLIC STORM DRAIN. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION 'BEST MANAGEMENT PRACTICES' WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP ORDERS.
- PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING OF JOINTS SHALL BE PER INDUSTRY STANDARDS.
- TRENCHES SHALL BE LOCATED OUTSIDE OF THE DRIP LINES OF EXISTING TREES IN ORDER TO MINIMIZE NEGATIVE IMPACTS.
- SEE LANDSCAPE AND CIVIL PLANS FOR ADDITIONAL PROJECT INFORMATION.
- NATURAL GRADE AND VEGETATION SHALL BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE.



Robin McCarthy, AIA
Architect #C29747
1155 Madison Ave. #208
San Jose, CA 95128



Construction of New Residence:
882 COLLEGE AVENUE, MENLO PARK, CA 94025

DATE	DESCRIPTION

PROPOSED SITE PLAN

DATE: 6/28/2017 SCALE: 1/8" = 1' R.

ALL DIMENSIONS AND NOTED MATERIALS APPEARING HEREIN CONSTITUTE AN OFFICIAL RECORD. ANY CHANGES TO THIS PLAN MUST BE MADE BY A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT AND MUST BE FILED WITH THE COUNTY OF SAN JOSE RECORDS DEPARTMENT.

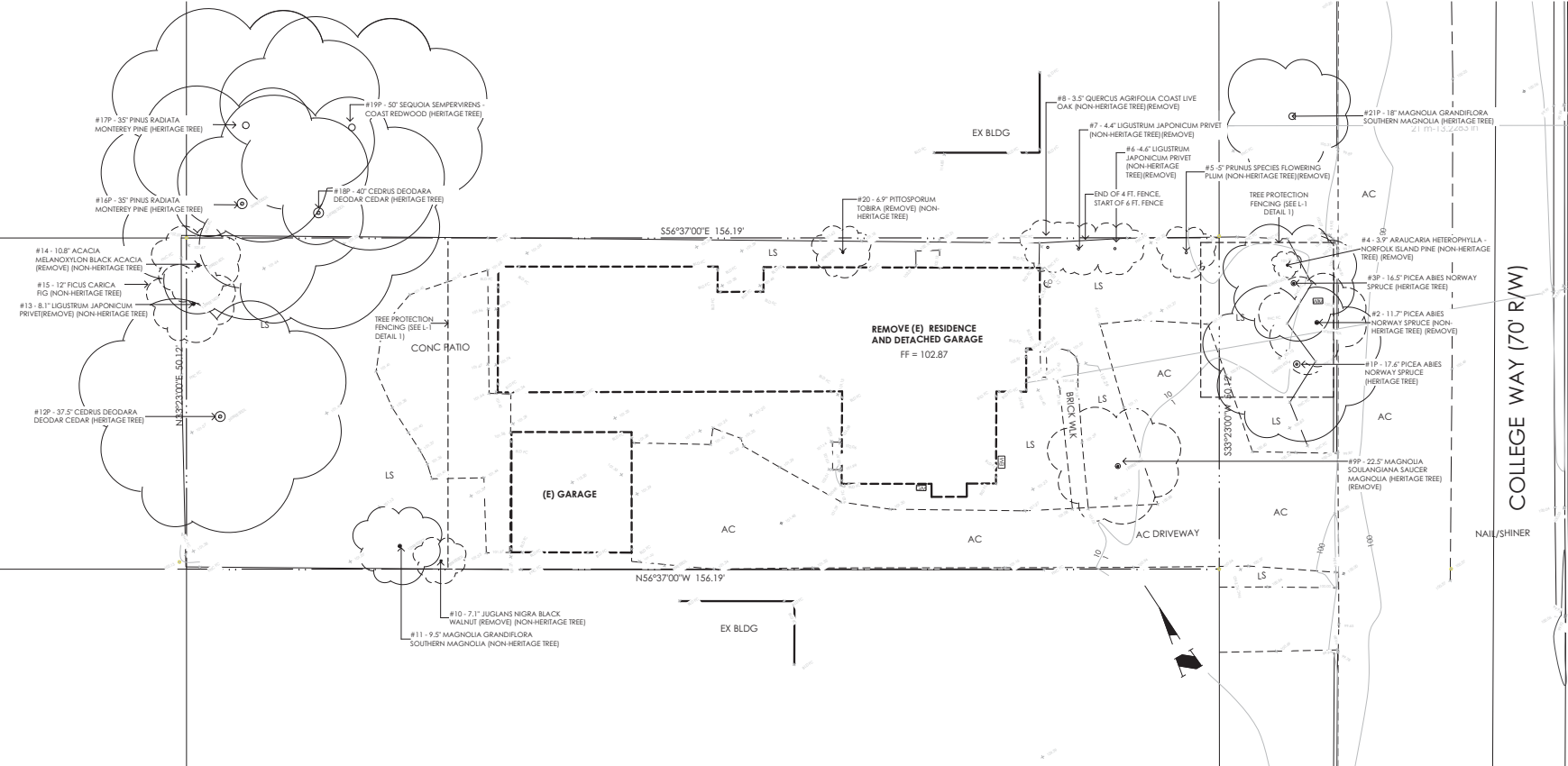
A1-2

GENERAL DEMOLITION NOTES:

1. DURING DEMOLITION AND CONSTRUCTION, THE APPLICANT AND CONTRACTOR MUST ENSURE THAT TRASH IS REMOVED FROM THE SITE BY THE CITY'S ONLY APPROVED GARBAGE HAULER, ALLIED WASTE SERVICES.
2. THE CONSTRUCTION OR DEMOLITION CONTRACTOR MAY REMOVE GARBAGE AND RECYCLING FROM THE PREMISES, USING THEIR OWN EQUIPMENT AND VEHICLES, AS PART OF A TOTAL CONSTRUCTION, REMODELING OR DEMOLITION SERVICE OFFERED BY THAT CONTRACTOR.
3. SEE CALGREEN RESIDENTIAL CHECKLIST AND NOTES, SHEET A0, FOR ADDITIONAL INFORMATION IN THE HANDLING OF CONSTRUCTION WASTE FOR THIS PROJECT.
5. PROVIDE PROPER SHORING & STRUCTURAL SUPPORT AS REQUIRED THROUGHOUT CONSTRUCTION.
6. PROTECT EXISTING TREES ON PROJECT SITE DURING DEMOLITION AND CONSTRUCTION. FOLLOW CITY GUIDELINES.
7. MAINTAIN STRICT CONTROL OF DUST, DEBRIS AND NOISE EMANATING FROM THE PROJECT AREA. KEEP PROJECT AREA AND ALL PUBLIC ACCESS ROUTES BROOM CLEAN AND CLEAR OF DUST, DEBRIS, OR ANY HAZARDS ON A DAILY BASIS.
8. ANY ITEMS FOUND OR CONDITIONS DISCOVERED DURING DEMOLITION THAT WILL IMPACT THE DESIGN OF THIS PROJECT ARE TO BE BROUGHT TO THE ATTENTION OF ARCHITECT IMMEDIATELY.



Kahn McCarthy, AIA
Architect #C29747
1155 Madison Ave. #208
San Jose, CA 95128



Construction of New Residence:
882 COLLEGE AVENUE, MENLO PARK, CA 94025

DATE	DESCRIPTION

DEMOLITION SITE PLAN

DATE: 6/28/2017 SCALE: 1/8 in. = 1 ft.

ALL DIMENSIONS AND NOTED MATERIAL APPEARING HEREIN CONSIDERED CORRECT AND APPROVED UNLESS OTHERWISE NOTED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND MATERIALS. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF ARCHITECT.

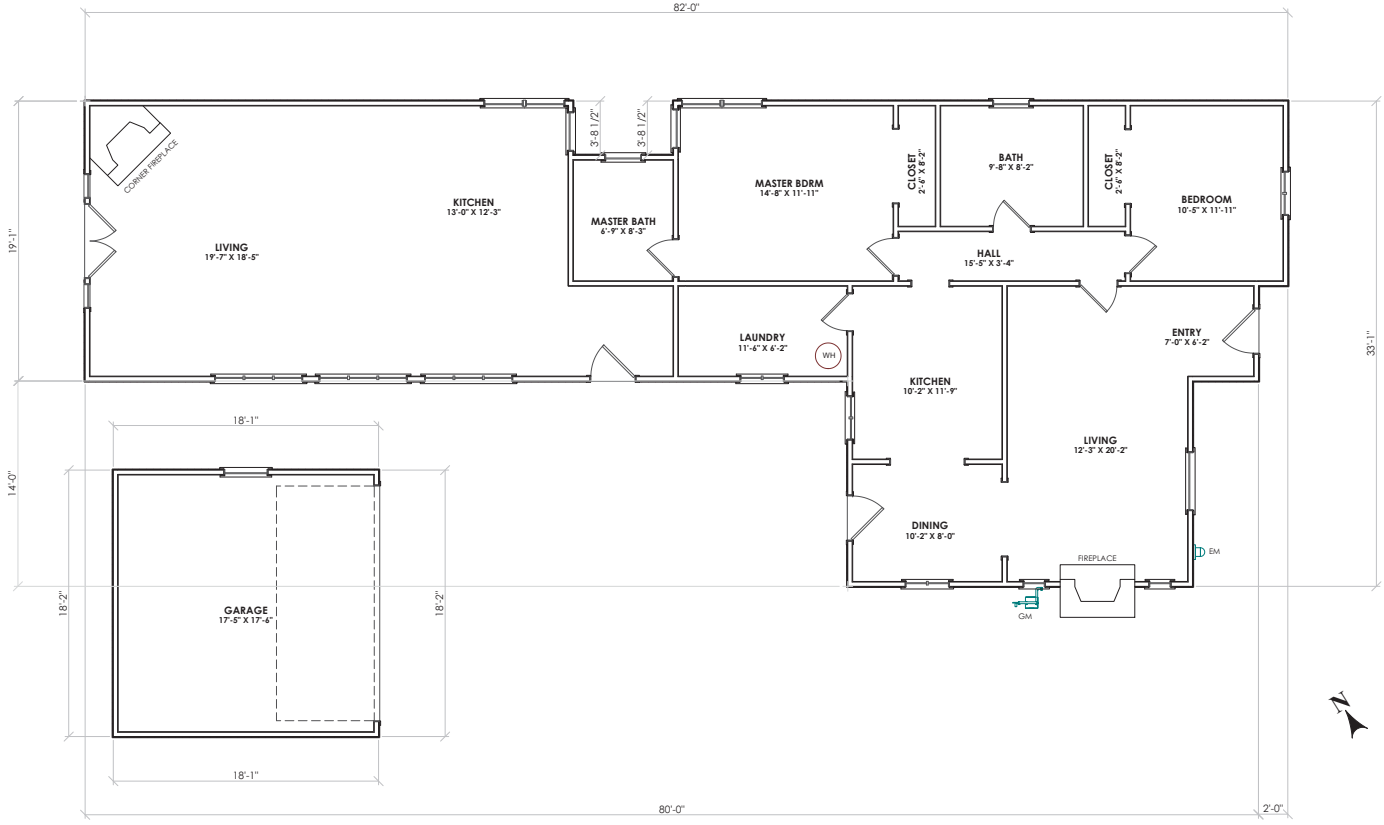
DEMOLITION SITE PLAN



Robb McCarty, AIA
Architect #C29767
1155 Madison Ave. #208
San Jose, CA 95128



Construction of New Residence:
882 COLLEGE AVENUE, MENLO PARK, CA 94025



EXISTING FLOOR PLAN (TO BE DEMOLISHED)

DATE	DISCRIPTION
05/14/17	USE PERMIT SUBMITTAL
05/17/17	USE PERMIT SUBMITTAL
05/17/17	USE PERMIT SUBMITTAL
05/17/17	USE PERMIT SUBMITTAL

EXISTING FLOOR PLAN (TO BE DEMOLISHED)

DATE: 6/28/2017 SCALE: 1/4 in. = 1 ft.

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A2-2



P1 FRONT EXTERIOR PERSPECTIVE



SIDE EXTERIOR PERSPECTIVE P2



REAR EXTERIOR PERSPECTIVE P3



SIDE EXTERIOR PERSPECTIVE P4

EXISTING CONDITIONS

8'-0" PLATE HEIGHT
 4:12 ROOF PITCH
 SINGLE PANE WINDOWS
 OVERALL HEIGHT: +/- 15'-0"

MATERIALS: STUCCO, SIDING,
 WOOD SHINGLE



Robbie McCarthy, AIA
 Architect #C29797
 1155 Madison Ave. #208
 San Jose, CA 95128



Construction of New Residence:
882 COLLEGE AVENUE, MENLO PARK, CA 94025

DATE	DESCRIPTION
6/28/2017	ISSUE FOR PERMITS
6/28/2017	ISSUE FOR PERMITS
6/28/2017	ISSUE FOR PERMITS

EXISTING ELEVATIONS (TO BE DEMOLISHED)

DATE: 6/28/2017 SCALE: NO SCALE

ALL DIMENSIONS AND NOTATIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE FACE UNLESS OTHERWISE NOTED. DIMENSIONS OF MATERIALS AND FINISHES ARE TO BE DETERMINED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

A2-3

EXISTING ELEVATIONS (TO BE DEMOLISHED)



MAIN FLOOR PLAN

GENERAL NOTES:

- FLOOD ZONE REQUIREMENTS:**
1. ALL MATERIALS BELOW BFE SHALL BE RESISTANT TO FLOOD DAMAGE (i.e. CONCRETE, REDWOOD OR PRESSURE-TREATED DOUGLAS FIR).
 2. THE BOTTOM OF THE ELEVATION OF ALL APPLIANCES AND UTILITIES SHALL BE AT OR ABOVE BFE
 3. ALL NEW CONSTRUCTION AND SUBSTANTIAL IMPROVEMENTS WITH FULLY ENCLOSED AREAS SUBJECT TO FLOODING, AND USED SOLELY FOR PARKING OR STORAGE, MUST INCLUDE A MINIMUM OF TWO FLOOD VENTS. THE FLOOD VENTS SHALL HAVE A TOTAL NET AREA OF NOT LESS THAN ONE SQUARE INCH FOR EVERY SQUARE FOOT OF ENCLOSED SPACE. AT LEAST ONE FLOOD VENT SHALL BE LOCATED ON EACH EXTERIOR SIDE THE CRAWLSPACE TO AUTOMATICALLY ALLOW ENTRY AND EXIT OF FLOODWATER. THE OUTSIDE FOUNDATION DIMENSIONS FOR THE ENCLOSED AREA IN ADDITION TO THE SIZE, NUMBER AND LOCATION OF THE VENTS:

FLOOD VENTS REQUIRED AT MAIN HOUSE:
 1527.3 / 150 = 10,182 SF x 144 = 1466,208 SQ. IN. NET FREE VENTILATION AREA REQUIRED
PROVIDE (30) 6x14 FOUNDATION VENTS AT 50 SQ. IN. EA.

FLOOD VENTS REQUIRED AT GARAGE:
 430.9 SQ. IN. / 74 SQ. IN. PER VENT = 5.82
TOTAL (6) VENTS REQUIRED



Rabin McCarthy, AIA
 Architect #C29797
 1155 Madison Ave. #208
 San Jose, CA 95128



Construction of New Residence:
882 COLLEGE AVENUE, MENLO PARK, CA 94025

DATE	DESCRIPTION

MAIN FLOOR PLAN

DATE: 6/28/2017
 SCALE: 1/4" = 1' 0"

ALL DIMENSIONS AND NOTATION APPEARING HEREIN CONSTITUTE AN OFFICIAL RECORD AND SHALL BE USED AS SUCH AND WITHOUT THE NECESSITY OF FURTHER CORRECTION.

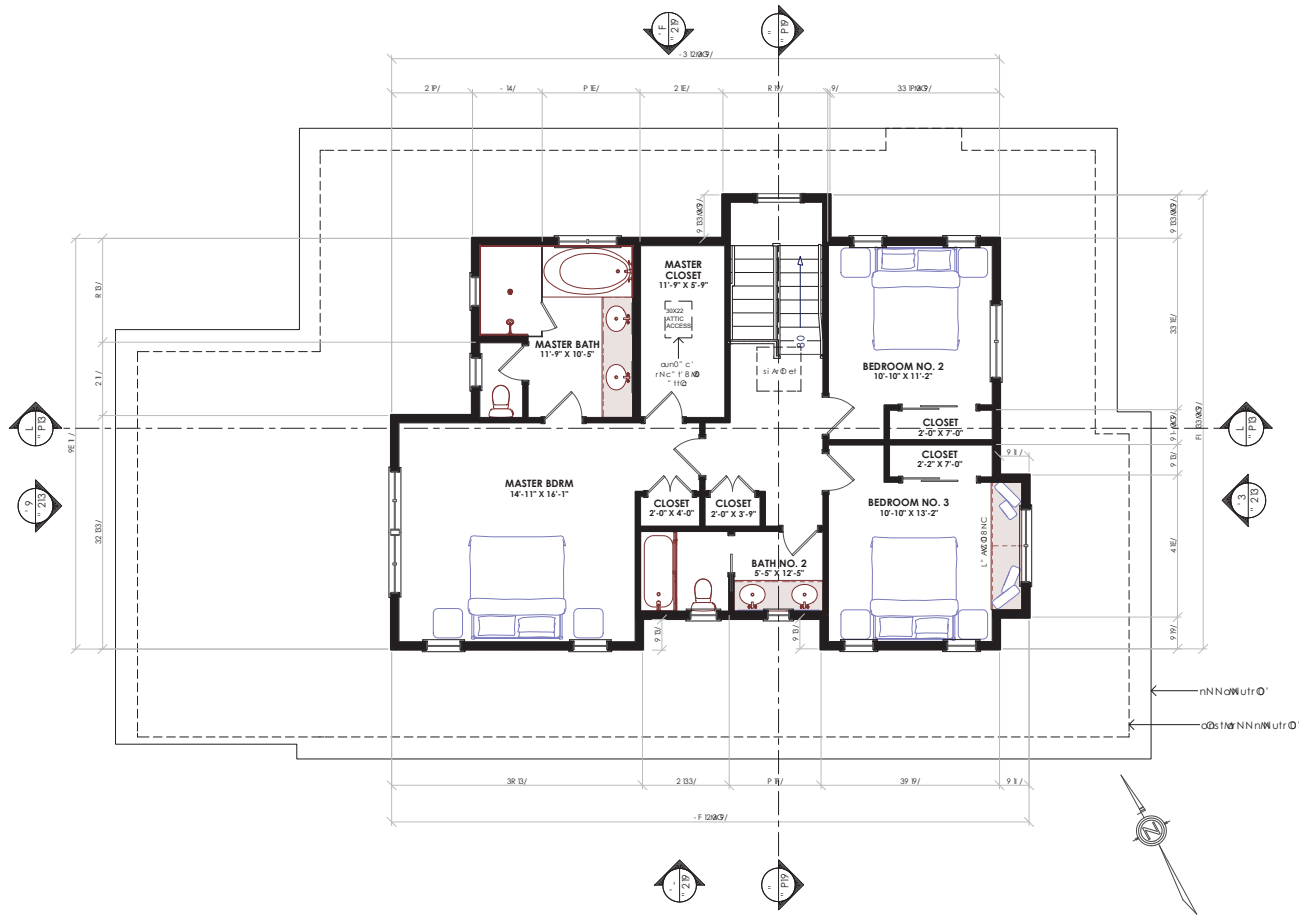


Ryan McCarthy, AIA
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San Jose, CA 95128



882 COLLEGE AVENUE, MENLO PARK, CA 94025

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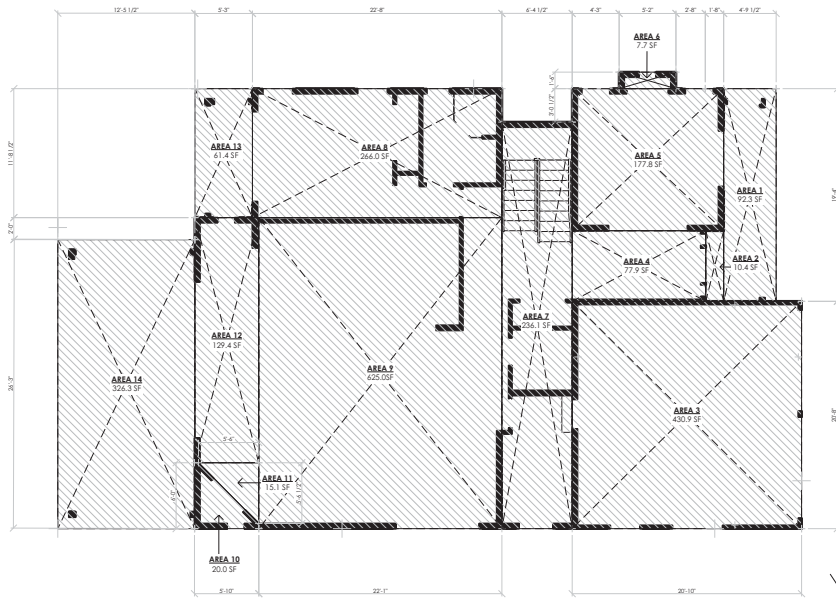
UPPER FLOOR PLAN

UPPER FLOOR PLAN

8" = 1'-0" POOR 3R
1/4" = 1'-0" 3G MEMBRANE

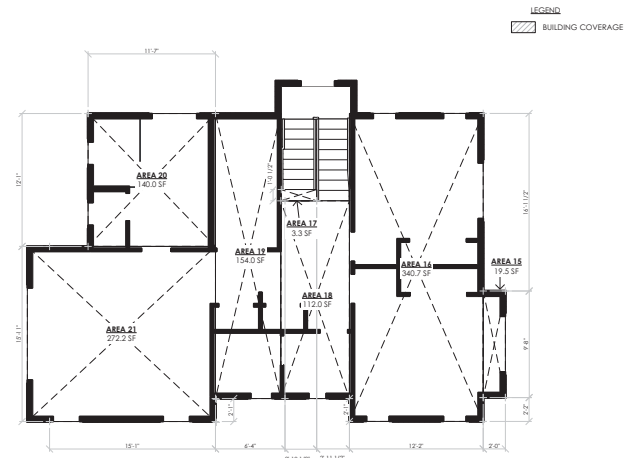
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL, ELECTRICAL AND PLUMBING CODES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FIRE AND SAFETY CODES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENERGY CODES.

" F19



○ MAIN FLOOR PLAN

3/16 IN. = 1 FT.



○ UPPER FLOOR PLAN

3/16 IN. = 1 FT.

FLOOR AREA LIMIT (FAL)

FLOOR PLAN CALCULATIONS THAT CONTRIBUTE TO THE FAL:

MAIN FLOOR:

AREA 4	77.9 SQFT
AREA 5	177.8 SQFT
AREA 7	236.1 SQFT
AREA 8	266.0 SQFT
AREA 9	625.0 SQFT
AREA 11	15.1 SQFT
AREA 12	129.4 SQFT
SUB TOTAL	1,527.3 SQFT

AREA 3	430.9 SQFT
TOTAL:	1,958.2 SQFT

UPPER FLOOR:

AREA 15	19.5 SQFT
AREA 16	340.7 SQFT
AREA 17	3.3 SQFT
AREA 18	112.0 SQFT
AREA 19	154.0 SQFT
AREA 20	140.0 SQFT
AREA 21	272.2 SQFT
TOTAL	1,041.7 SQFT

GRAND TOTAL	3,000.0 SQFT
--------------------	---------------------

***FIREPLACE CHIMNEY, COVERED PORCH NOT INCLUDED.

FLOOR AREA LIMIT (FAL) FOR R-1-U ZONING

LOT SIZE: 7,827 SF
 FAL ALLOWED: 2,800 + 25%(7827-7000) = 3,006.8 SF

MAIN FLOOR:	1,527.3 SQFT
UPPER FLOOR:	1,041.7 SQFT
GARAGE:	430.9 SQFT
TOTAL:	3,000.0 SQFT < 3,006.8 SQFT (YES, UNDER ALLOWABLE)

SECOND FLOOR RESTRICTION = 50% OF MAXIMUM ALLOWABLE FAL ON PROPERTY
 1,041.0 SQFT < 50% (3,006.8 SQFT) = 1,503.4 SQFT < 1,503.4 SQFT (YES, UNDER ALLOWABLE LIMIT)

FLOOR AREA CALCULATION

DOES NOT CONTRIBUTE TO THE FAL:

AREA 1	92.3 SQFT
AREA 2	10.4 SQFT
AREA 6	7.7 SQFT
AREA 10	20.0 SQFT
AREA 13	61.4 SQFT
AREA 14	326.3 SQFT
TOTAL	518.1 SQFT

BUILDING COVERAGE:

7,827 (LOT SIZE) x 0.35 = 2,739.5 SF ALLOWED

(N) MAIN FLOOR:	1,527.3 SF
(N) GARAGE:	430.9 SF
(N) FIREPLACE #1:	7.7 SF
(N) FIREPLACE #2:	20.0 SF
(N) COVERED FRONT PORCH:	102.7 SF
(N) COVERED BACK PORCH:	326.3 SF
(N) COVERED GUEST BACK PORCH:	61.4 SF
TOTAL BUILDING COVERAGE:	2,476.3 SF

2,476.3 SF < 2,739.5 SF ALLOWED (YES, UNDER ALLOWABLE)

FLOOR AREA CALCULATIONS



Robin McCarthy, AIA
 Architect #C29797
 1155 Madison Ave. #208
 San Jose, CA 95128



Construction of New Residence:
882 COLLEGE AVENUE, MENLO PARK, CA 94025

DATE	6/28/2017
SCALE	SEE PLAN

FLOOR AREA CALCULATIONS

DATE:	6/28/2017
SCALE:	SEE PLAN

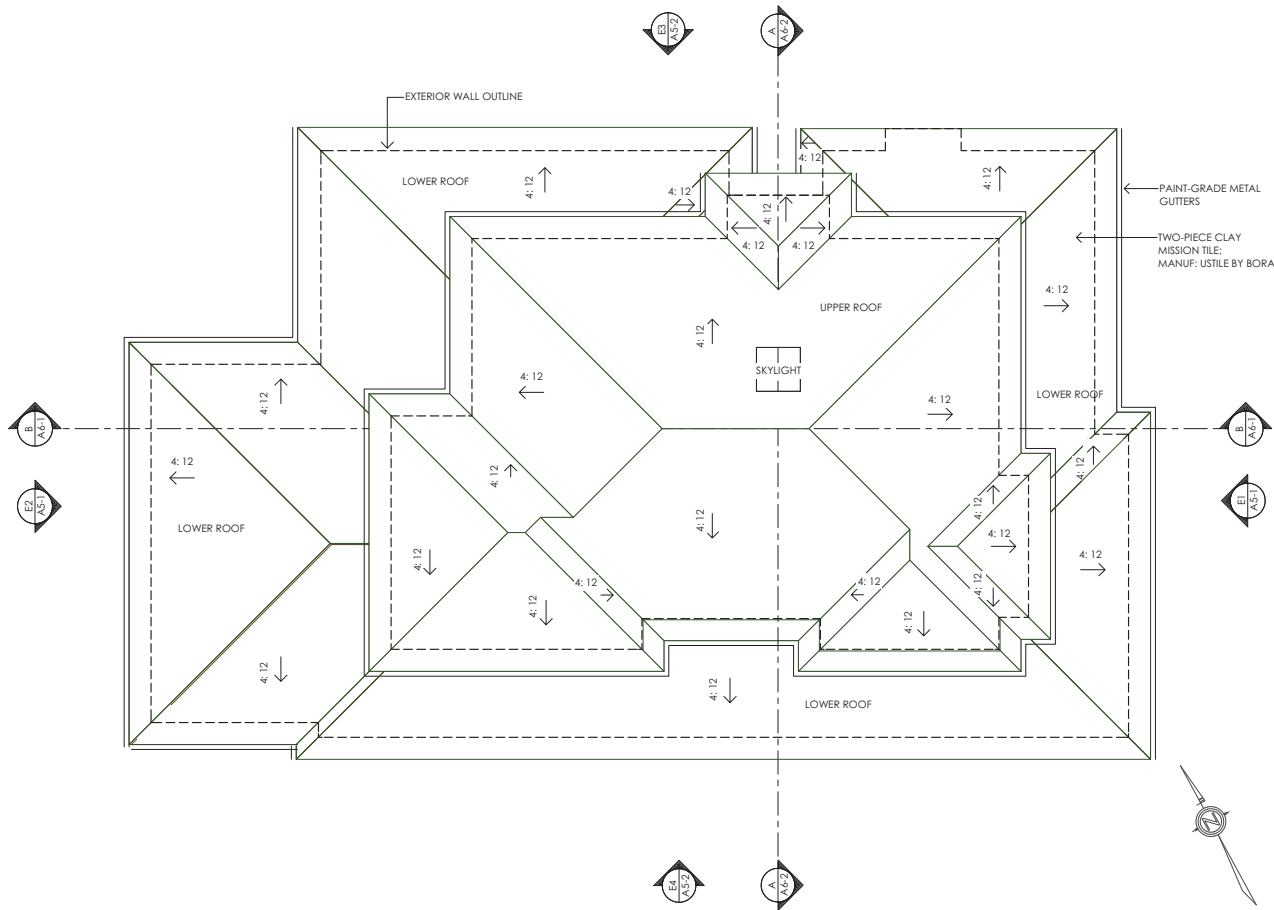
ALL DIMENSIONS AND NOTED MATERIALS APPEARING HEREIN CONSTITUTE AN ORIGINAL AND UNREPRODUCIBLE WORK OF ARCHITECTURE. ANY AND ALL REPRODUCTIONS OR ALTERATIONS WITHOUT THE WRITTEN CONSENT OF ARCHITECTURE SHALL BE PROHIBITED.

ROOF PLAN GENERAL NOTES:

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
2. PROVIDE ROOF SLOPE AS INDICATED ON PLANS. THE GENERAL CONTRACTOR SHALL VERIFY IN THE FIELD.
3. FOR ROOF COVERING, PROVIDE CONCRETE OR CLAY TILE ROOF, "CLASS A" ROOF COVERING. STYLE AND COLOR TO BE DETERMINED BY OWNER.
4. CONTRACTOR SHALL PROVIDE A COPY OF THE ICC REPORT FOR THE ROOF COVERING AT THE TIME OF INSPECTION.
5. PROVIDE ALUMINUM METAL GUTTERS AND DOWNSPOUTS THAT SHALL BE PAINTED. GUTTERS SHALL BE PAINTED TO MATCH TRIM COLOR AND DOWNSPOUTS (RAIN WATER LEADERS: RWL) SHALL MATCH BODY COLOR.
6. PROVIDE ATTIC VENTILATION AT ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS SHALL HAVE A CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. A MINIMUM OF (1) INCH OF AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING SHALL BE A MINIMUM OF NOT LESS THAN (1) SQ. FT. FOR EACH (150) SQ. FT. OF ATTIC AREA WITH (50) PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED LOCATED NEAR THE UPPER PORTION.

VENTILATION REQUIREMENTS FOR ROOF:

- A. SEE ROOF VENTILATION CALCULATIONS ON ROOF PLAN.
7. PROVIDE 22"X 30" MINIMUM OPENING FOR ATTIC ACCESS OR AS LARGE AS THE LARGEST COMPONENT OF APPLIANCE LOCATED IN ATTIC.
8. PROVIDE DIMENSIONS FOR ALL ROOF OVERHANGS AS INDICATED ON THE PLANS AND DETAILS.
9. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL LAYOUT INFORMATION. COORDINATE STRUCTURAL SYSTEM WITH ARCHITECTURAL DRAWINGS. IF THERE ANY DISCREPANCIES, PLEASE REPORT TO THE ARCHITECT AS NECESSARY.



PROPOSED ROOF PLAN



Kahn McCarthy, AIA
Architect #C29747
1155 Madison Ave. #208
San Jose, CA 95128



Construction of New Residence:
882 COLLEGE AVENUE, MENLO PARK, CA 94025

DATE	DESCRIPTION

PROPOSED ROOF PLAN

DATE: 6/28/2017 SCALE: 1/4 in. = 1 ft.

ALL DRAWINGS AND NOTED MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF ROBERT A. MCCARTHY AND ARCHITECT. ANY USE OR REPRODUCTION WITHOUT THE WRITTEN CONSENT OF ROBERT A. MCCARTHY IS PROHIBITED.

A4-1



EAST ELEVATION

1/4 in. = 1 ft.

FRONT STREET VIEW



WEST ELEVATION

1/4 in. = 1 ft.

REAR YARD VIEW

EXTERIOR ELEVATION NOTES:

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
2. SEE ROOF PLAN SHEET FOR ADDITIONAL INFORMATION ON ROOF COVERING, GUTTERS & DOWNSPOUTS.
3. EXTERIOR WALL COVERING: (SEE EXTERIOR ELEVATIONS FOR LOCATION OF MATERIALS, AND DETAILS FOR ADDITIONAL INFORMATION).
GENERAL CONTRACTOR TO PROVIDE COLOR SAMPLES FOR APPROVAL BY OWNER AND ARCHITECT.
4. TRIMS, EXTERIOR DOORS, SHUTTERS AND OTHER MISC. ACCENTS: PAINTED COLOR FINISH: SHALL BE SELECTED BY OWNER AND ARCHITECT.
5. EXTERIOR ENTRY DOOR, OVERHEAD GARAGE DOOR: PROVIDE A PAINT-GRADE FRONT ENTRY DOOR BY "SIMPSON" OR "JELD-WEN" OR SIMILAR BRAND; COLOR TO BE DETERMINED BY OWNER AND ARCHITECT.
6. PATIO DOORS & WINDOWS: BY ANDERSON WINDOW CO. OR SIMILAR; ALUMINUM CLAD EXTERIOR FINISH; PRIMED WOOD INTERIOR FINISH. COLOR AND HARDWARE TO BE DETERMINED. SEE WINDOW AND DOOR SCHEDULE, DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION.
7. CHIMNEY / FLUE: SHALL EXTEND AT LEAST 2 FT. ABOVE THE HIGHEST ELEVATION OF ANY PORTION OF THE BUILDING WITHIN 10 FT. OF THE CHIMNEY.
8. PROVIDE VAPOR BARRIER (TYVEK OR EQUAL) OVER THE WALL SHEATHING. SEE DETAILS FOR ADDITIONAL INFORMATION.



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Architect #C29747
1155 Madison Ave. #208
San Jose, CA 95128



Construction of New Residence:
882 COLLEGE AVENUE, MENLO PARK, CA 94025

DATE	DESCRIPTION

EXTERIOR ELEVATIONS

DATE: 6/28/2017 SCALE: 1/4 in. = 1 ft.

ALL DIMENSIONS AND NOTED MATERIAL APPEARANCES SHOWN ON THESE DRAWINGS ARE APPROXIMATE. WORK TO BE DONE IN ACCORDANCE WITH THE MOST RECENT EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION NOT SHOWN ON THESE DRAWINGS.

A5-1

EXTERIOR ELEVATIONS



E3

NORTH ELEVATION

SIDE YARD VIEW

1/4 in. = 1 ft.

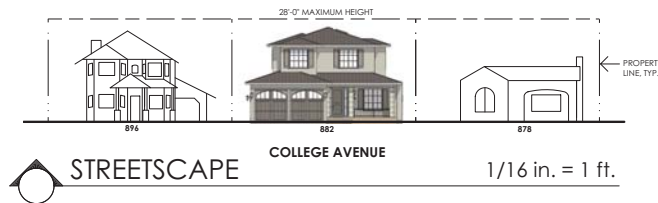


E4

SOUTH ELEVATION

SIDE YARD VIEW

1/4 in. = 1 ft.



STREETSCAPE

COLLEGE AVENUE

1/16 in. = 1 ft.

EXTERIOR ELEVATION NOTES:

SEE SHEET A5-1.



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Construction of New Residence:
882 COLLEGE AVENUE, MENLO PARK, CA 94025

DATE	DESCRIPTION

EXTERIOR ELEVATIONS & STREETSCAPE

DATE: 6/28/2017	SCALE: SEE PLAN
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ALL DIMENSIONS AND NOTATIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND INCHES. DIMENSIONS OF MATERIALS SHALL BE AS SHOWN AND UNLESS OTHERWISE NOTED SHALL BE TO FACE. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

A5-2



EXTERIOR PERSPECTIVES



Rubin McCarthy, AIA
 Architect #C29767
 1155 Madison Ave. #208
 San Jose, CA 95128



Construction of New Residence:
882 COLLEGE AVENUE, MENLO PARK, CA 94025

NO.	REVISIONS
1	DATE: 6/28/2017
2	DESCRIPTION: EXTERIOR PERSPECTIVES
3	DATE: 6/28/2017
4	DESCRIPTION: EXTERIOR PERSPECTIVES
5	DATE: 6/28/2017
6	DESCRIPTION: EXTERIOR PERSPECTIVES

EXTERIOR PERSPECTIVES

DATE: 6/28/2017 SCALE: NO SCALE

ALL DIMENSIONS AND NOTATIONS MUST BE APPROVED BY ARCHITECT. THESE CONSTRUCTION DRAWINGS AND DIMENSIONS ARE THE PROPERTY OF RUBIN MCCARTHY AND ARCHITECTS, INC. AND MAY NOT BE COPIED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF RUBIN MCCARTHY.

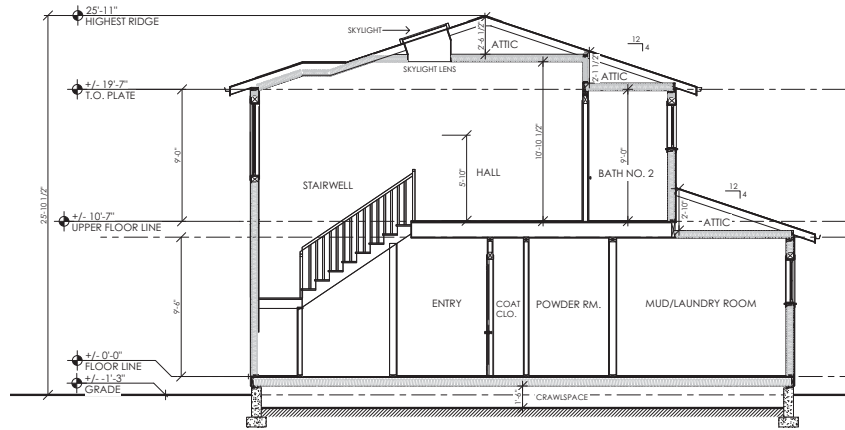
A5-3



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San Jose, CA 95128

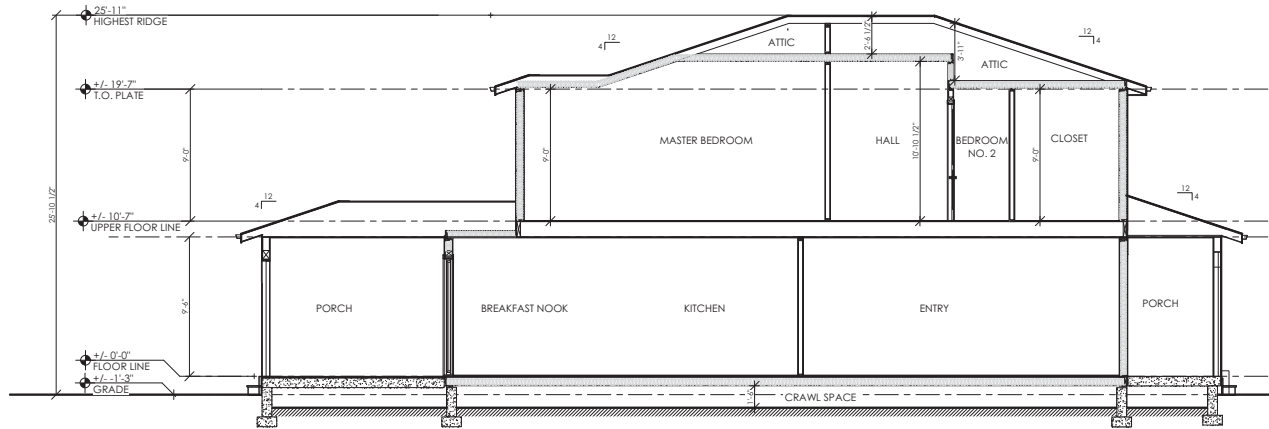


Construction of New Residence:
882 COLLEGE AVENUE, MENLO PARK, CA 94025



SECTION A

1/4 in. = 1 ft.



SECTION B

1/4 in. = 1 ft.

BUILDING SECTIONS

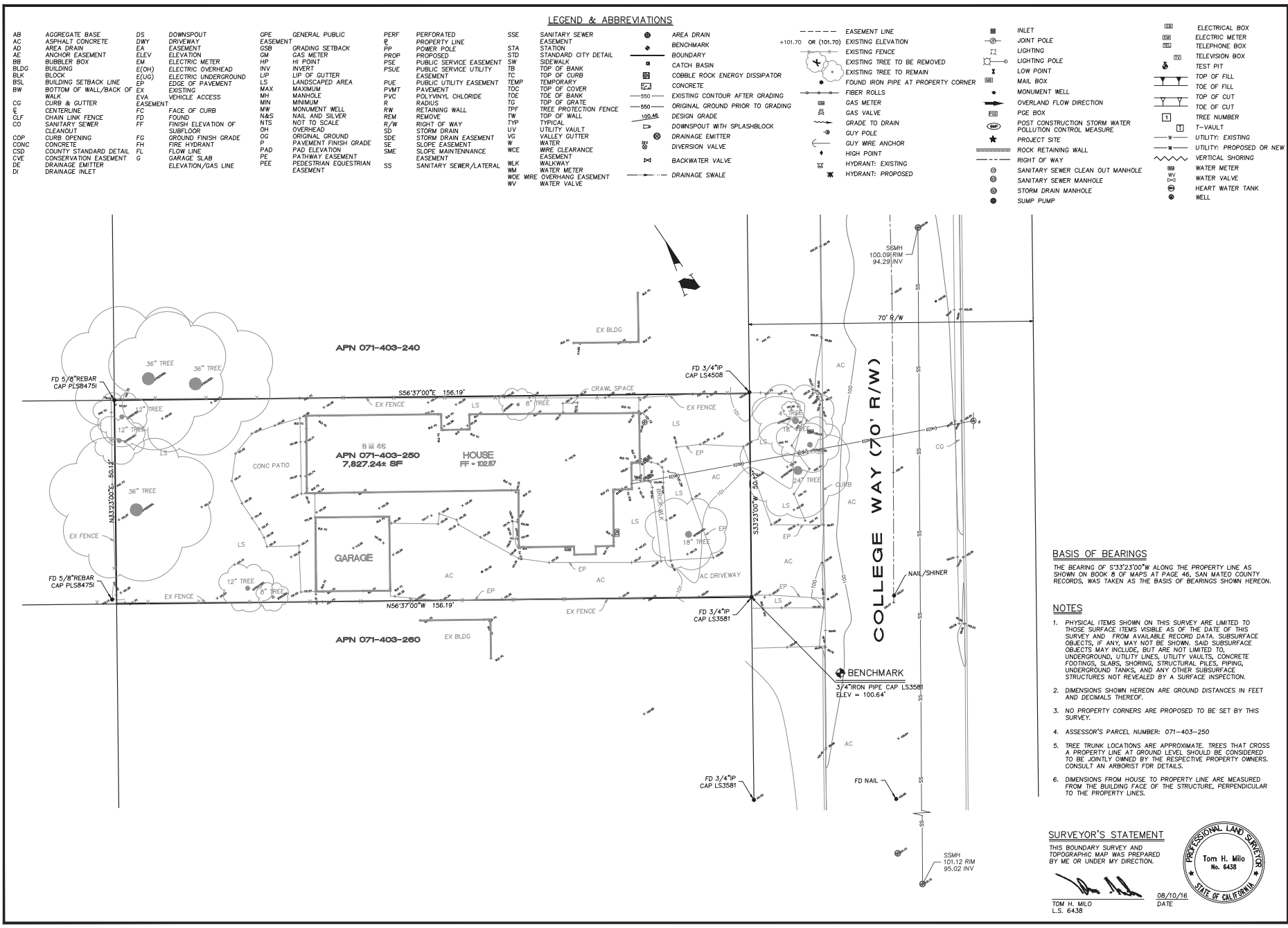
DATE	DESCRIPTION
6/28/2017	ISSUE FOR PERMITS
6/28/2017	ISSUE FOR PERMITS
6/28/2017	ISSUE FOR PERMITS

BUILDING SECTIONS

DATE: 6/28/2017	SCALE: 1/4 in. = 1 ft.
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ALL DIMENSIONS AND NOTED MATERIAL APPEARANCES ARE TO BE CONSIDERED ORIGINAL UNLESS OTHERWISE NOTED OR INDICATED OTHERWISE BY THE ARCHITECT. ALL DIMENSIONS SHALL BE DOUBLE CHECKED AND VERIFIED BY THE ARCHITECT. ALL DIMENSIONS SHALL BE DOUBLE CHECKED AND VERIFIED BY THE ARCHITECT.

A6-1



LEGEND & ABBREVIATIONS

AB	AGGREGATE BASE	DS	DOWNSPOUT	GPE	GENERAL PUBLIC EASEMENT	PERF	PERFORATED PROPERTY LINE	SSE	SANITARY SEWER EASEMENT	⊙	AREA DRAIN	⊞	ELECTRICAL BOX
AC	ASPHALT CONCRETE	DMV	DRIVEWAY EASEMENT	OSB	GRADING SETBACK	PP	POWER POLE	STA	STANDARD CITY DETAIL	⊙	BENCHMARK	⊞	ELECTRIC METER
AD	AREA DRAIN	EA	EASEMENT	GM	GAS METER	PROP	PROPOSED	SW	SIDEWALK	⊞	BOUNDARY	⊞	TELEPHONE BOX
AE	ANCHOR EASEMENT	ELEV	ELEVATION	HP	HI POINT	PSE	PUBLIC SERVICE EASEMENT	TS	TOP OF BANK	⊞	EXISTING ELEVATION	⊞	TELEVISION BOX
BB	BUBBLER BOX	EM	ELECTRIC METER	IPV	INVERT	PSUE	PUBLIC SERVICE UTILITY EASEMENT	TC	TOP OF CURB	⊞	EXISTING TREE TO BE REMOVED	⊞	TEST PIT
BLDG	BUILDING	E(OH)	ELECTRIC OVERHEAD	LS	LANDSCAPED AREA	TEMP	TEMPORARY PAVEMENT	TOC	TOP OF COVER	⊞	EXISTING TREE TO REMAIN	⊞	TOE OF FILL
BLK	BLOCK	E(UG)	ELECTRIC UNDERGROUND	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	FOUND IRON PIPE AT PROPERTY CORNER	⊞	TOE OF CUT
BLS	BUILDING SETBACK LINE	EP	EDGE OF PAVEMENT	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	FIBER ROLLS	⊞	TOE OF CUT
BW	BOTTOM OF WALL/BACK OF CURB & GUTTER	EX	EXISTING	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	GAS METER	⊞	TOE OF CUT
CC	CURB & GUTTER	EVA	VEHICLE ACCESS	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	DESIGN GRADE	⊞	TREE NUMBER
CE	CENTERLINE	FC	FACE OF CURB	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	GRADE TO DRAIN	⊞	T-VAULT
CLF	CHAIN LINK FENCE	FD	FOUND	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	GUY POLE	⊞	UTILITY: EXISTING
CO	SANITARY SEWER CLEANOUT	FT	FINISH ELEVATION OF SUBFLOOR	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	GUY WIRE ANCHOR	⊞	UTILITY: PROPOSED OR NEW
COP	CURB OPENING	FG	GROUND FINISH GRADE	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	HIGH POINT	⊞	VERTICAL SHORING
CONC	CONCRETE	OG	ORIGINAL GROUND	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	HYDRANT: EXISTING	⊞	WATER METER
CSD	COUNTY STANDARD DETAIL CONSERVATION EASEMENT	OH	OVERHEAD	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	HYDRANT: PROPOSED	⊞	WATER VALVE
CVE	DRAINAGE Emitter	OG	ORIGINAL GROUND	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	MAIL BOX	⊞	HEAT WATER TANK
DI	DRAINAGE INLET	FL	FLOW LINE	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	MONUMENT WELL	⊞	WELL
		FL	FLOW LINE	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	OVERLAND FLOW DIRECTION		
		FL	FLOW LINE	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	PGE BOX		
		FL	FLOW LINE	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE		
		FL	FLOW LINE	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	PROJECT SITE		
		FL	FLOW LINE	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	ROCK RETAINING WALL		
		FL	FLOW LINE	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	RIGHT OF WAY		
		FL	FLOW LINE	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	SANITARY SEWER CLEAN OUT MANHOLE		
		FL	FLOW LINE	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	SANITARY SEWER MANHOLE		
		FL	FLOW LINE	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	STORM DRAIN MANHOLE		
		FL	FLOW LINE	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞	SUMP PUMP		
		FL	FLOW LINE	LS	LANDSCAPED AREA	TOE	TOP OF EASEMENT	TOE	TOP OF EASEMENT	⊞			

BASIS OF BEARINGS
 THE BEARING OF S33°23'00"W ALONG THE PROPERTY LINE AS SHOWN ON BOOK 8 OF MAPS AT PAGE 46, SAN MATEO COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN HEREON.

- NOTES**
- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
 - DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
 - NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
 - ASSESSOR'S PARCEL NUMBER: 071-403-250
 - TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
 - DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES.

SURVEYOR'S STATEMENT
 THIS BOUNDARY SURVEY AND TOPOGRAPHIC MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.



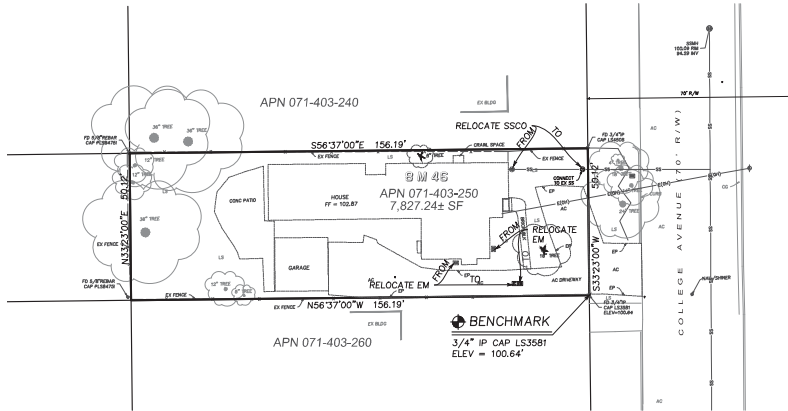
TOM H. MILO
 L.S. 6438
 06/10/16
 DATE

DESIGNED	DATE	DRAWN	DATE	CHECKED	DATE	BY	DATE	APPROVED	DATE	
<p>BOUNDARY SURVEY AND TOPOGRAPHIC MAP LANDS OF ZHAO 882 COLLEGE AVENUE APN 071-403-250</p> <p>California Mento Park</p>										
<p>E ENGINEERING 588 E Santa Clara St. #270 San Jose, CA 95122 Phone (408) 906-7187 Fax (408) 568-4006</p>										
PROJECT NO.									REVISIONS	
FILE NO.										
SHEET NO.	1 of 1									
DATE	06/10/16									

GRADING AND DRAINAGE IMPROVEMENTS

GRADING AND DRAINAGE PLAN
882 COLLEGE AVENUE
MENLO PARK, CALIFORNIA

- 1. ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITY CROSSINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES. CONTACT USA AT (800) 642-2444 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.
2. ALL APPLICABLE WORK AND MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE COUNTY OF SAN MATEO STANDARD TECHNICAL SPECIFICATIONS AND DETAILS.
3. THE CONTRACTOR SHALL RESTORE ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED WALLS, FENCES, SERVICES, UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, DUE TO CONTRACTOR'S WORK.
4. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE INSTALLATION OF FACILITIES BY POLE, PACIFIC BELL, AND CABLE TV INSTALLATION. VALVE BOXES AND MANHOLES, AND STRUCTURES TO BE SET TO GRADE IN CONCRETE AFTER PAVING.
5. ALL STREETS MONUMENTS AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BEFORE ACCEPTANCE OF THE IMPROVEMENTS BY THE COUNTY ENGINEER.
6. THE CONTRACTOR SHALL GIVE THE COUNTY ENGINEER TWO WORKING DAYS ADVANCE NOTICE FOR INSPECTION. (800) 361-1852
7. NO TREES 12" DIAMETER OR LARGER MEASURED BETWEEN 6" AND 36" ABOVE GRADE, SHALL BE REMOVED WITHOUT PERMIT FROM SAN MATEO COUNTY.
8. FOR LANE CLOSURES, THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND OBTAIN APPROVAL OF THE COUNTY ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE FLAGMEN, CONES OR BARRICADES, AS NECESSARY TO CONTROL TRAFFIC AND PREVENT HAZARDOUS CONDITIONS PER THE CALIFORNIA STANDARD PLANS, SPECIFICATIONS, AND MANUAL ON TRAFFIC CONTROL DEVICES, LATEST EDITION.
9. PEDESTRIAN, PUBLIC ACCESSSES, WHEELCHAIR ACCESSSES SHALL BE MAINTAINED DURING THE CONSTRUCTION TO THE SATISFACTION OF THE COUNTY ENGINEER.
10. NO TRENCHES OR HOLES SHALL BE LEFT OPEN OVERNIGHT. USE STEEL PLATING OR HOT MIX ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES.
11. THE CONTRACTOR SHALL CONTROL DUST AT ALL TIMES AND SWEEP STREETS AS OFTEN AS NECESSARY DURING THE CONSTRUCTION AS REQUIRED BY THE COUNTY ENGINEER.
12. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED AND APPROVED BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN REVISED PLANS STAMPED AND SIGNED BY THE COUNTY ENGINEER PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
13. ALL CONSTRUCTIONS STAKING FOR CURB, GUTTER, SIDEWALK, SANITARY SEWERS, STORM DRAINS, WATER LINES, FIRE HYDRANTS, ELECTROLIERS, ETC., SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
14. SEWER CLEAN-OUT
LOCATE AND EXPOSE EXISTING SEWER CLEAN-OUT. IF THERE IS NO EXISTING SEWER LEAN-OUT, CONTRACTOR TO INSTALL A NEW SEWER CLEAN-OUT AT 3 FEET MAXIMUM FROM THE PRIVATE SIDE OF THE PROPERTY LINE PER COUNTY SEWER DISTRICT STANDARDS.
15. CURB & GUTTER, SIDEWALK, DRIVEWAY
CONTRACTOR TO REPLACE ALL EXISTING CURB, GUTTER AND SIDEWALK ADJACENT TO THE PROPERTY THAT ARE DAMAGED CONSTRUCTION TO COUNTY STANDARDS. A SEPARATE PERMIT IS REQUIRED FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
16. WATER SERVICE AND METER
CONTACT CALIFORNIA WATER SERVICE COMPANY AT (650) 558-7800 FOR ALL WATER SERVICES MATTERS, ESPECIALLY FOR METER AND PIPING DUE TO NEW SPRINKLER SYSTEM INSTALLATION. METER SIZE TO BE DETERMINED BY FIRE-FLOW CALCULATIONS.
17. STORM WATER POLLUTION PREVENTION
THE CONTRACTOR IS ADVISED THAT THE COUNTY OF SAN MATEO AND ALL OTHER MUNICIPAL STORM WATER DISCHARGERS IN SAN MATEO COUNTY ARE CO-PERMITTEES UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION ACT (NPDES) PERMIT NUMBER CA 0009921. THIS PERMIT PROHIBITS THE DISCHARGE OF ILLICIT DISCHARGES (NON RAINWATER) INTO THE STORM DRAIN SYSTEM, UNLESS SPECIFICALLY EXEMPT AS A CONDITION OF THIS PERMIT. THE COUNTY OF SAN MATEO AND SAN MATEO COUNTY HAVE IMPLEMENTED A LOCAL STORM WATER MANAGEMENT PLAN, ADOPTED RESPECTIVE ENABLING ORDINANCES PROHIBITING ILLICIT DISCHARGES, AND ADOPTED BEST MANAGEMENT PRACTICES (BMPs) TO ASSIST CONTRACTORS AND CITIZENS WITH ALTERNATIVES. THE CENTRAL GOAL OF THE STORM WATER MANAGEMENT PLAN AND BMPs IS TO REDUCE THE AMOUNT OF POLLUTION IN RUN-OFF AND ESTABLISH PROCEDURES TO ADDRESS AND CONTROL STORM WATER POLLUTION RESULTING FROM BOTH PUBLIC AND PRIVATE SECTOR CONSTRUCTION ACTIVITY WITHIN THE COUNTY. THE TYPES OF CONSTRUCTION CONTRACTS CONTROLLED BY THIS SECTION INCLUDE: SITE IMPROVEMENT WORK, STREET AND UTILITY REPLACEMENT OR IMPROVEMENT, DRAINAGE WORK, AND GENERAL CONSTRUCTION. ALL WORK PERFORMED UNDER THIS CONTRACT AND ALL CONTRACTORS' AND THEIR ASSOCIATES AND/OR EMPLOYEES ARE REQUIRED TO COMPLY WITH ALL APPLICABLE STORM WATER REGULATIONS AND TO IMPLEMENT BMPs AT ALL TIMES. GUIDELINES AND BMPs ARE AVAILABLE FROM THE COUNTY OF SAN MATEO PUBLIC WORKS SERVICES DEPARTMENT.
18. UNDERGROUND UTILITY SERVICES
CONTRACTOR SHALL UNDERGROUND UTILITY SERVICES (E, I.E. ELECTRIC, TELEPHONE, CATV, ETC.) FROM THE NEAREST UTILITY POLE(S) IN THE STREET TO THE HOUSE.
19. WORK IN THE PUBLIC RIGHT-OF-WAY AND EASEMENT
CONTRACTOR SHALL APPLY AND OBTAIN AN ENCROACHMENT FROM SAN MATEO COUNTY PERMIT FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY AND EASEMENT.
20. NO PARKING IN THE PUBLIC RIGHT-OF-WAY
PARKING FOR CONSTRUCTION AND PERSONNEL VEHICLES, AND EQUIPMENT OF ANY KIND WILL NOT BE PERMITTED ON THE PUBLIC RIGHT-OF-WAY AND EASEMENT.
21. SOIL ENGINEER TO PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING IN ACCORDANCE WITH APPENDIX SECTION 3318, 1994 EDITION OF THE UNIFORM BUILDING CODE.
22. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS 30.
23. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
24. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
25. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY TO ASSURE THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
26. APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONVEY ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
27. ALL CONSTRUCTION SHALL COMPLY WITH SECTION 24 OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE AND CHAPTERS 10 AND 11 OF THE 1994 UNIFORM BUILDING CODE.
28. EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE AMOUNT OF THE GRADING PERMIT.
29. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.



NOTE:
* ALL EXISTING STRUCTURES TO BE DEMOLISHED*

BASIS OF BEARINGS

THE BEARING OF S53°32'00\"/>

EARTHWORK QUANTITIES

CUT = 5 CY; MAXIMUM CUT DEPTH = 0.5' ±
FILL = 5 CY; MAXIMUM FILL DEPTH = 0.5' ±

PROJECT DATA:

- 1. APN NUMBER: 071-403-250
2. LOT SIZE: 0.18 ACRES MORE OR LESS
3. OWNER: ERIC ZHAO
1599 BONNIE JOY AVENUE
SAN JOSE, CA 95129
TEL: (408)-887-2737
EMAIL: ERIC.ZHAO@GMAIL.COM

ARCHITECTURAL:

ROBIN MCCARTHY, ARCHITECT
ARCH STUDIO, INC.
RESIDENTIAL & COMMERCIAL ARCHITECTURE
1155 MERIDIAN AVENUE, SUITE 208
SAN JOSE, CA 95125
TEL: (408) 859-8723

SURVEYOR/CIVIL ENGINEER:

LC ENGINEERING
598 E. SANTA CLARA ST. #270
SAN JOSE, CA 95112
TEL: (408) 806-7187
FAX: (408) 583-4006

SHEET INDEX

SHEET C1
SHEET C2
TILE SHEET
GRADING AND DRAINAGE PLAN

LEGEND & ABBREVIATIONS

- AB AGGREGATE BASE
AC ASPHALT CONCRETE
AD AREA DRAIN
AE ANCHOR EASEMENT
BB BUBBLER
BLDG BUILDING
BSL BUILDING SETBACK LINE
BW BOTTOM OF WALL/BACK OF WALK
CED COBBLE ROCK ENERGY DISSIPATOR
CC CURB & GUTTER
CL CENTERLINE
CLF CHAIN LINK FENCE
CO SANITARY SEWER CLEANOUT
COF CURB OPENING
CONC CONCRETE
CSD COUNTY STANDARD DETAIL
DE DRAINAGE EMITTER
DI DRAINAGE INLET
DS DOWNSPOUT
DRIVEWAY DRIVEWAY
EA EASEMENT
ELEV ELEVATION
EM ELECTRIC METER
E(OH) ELECTRIC OVERHEAD
E(UOG) ELECTRIC UNDERGROUND
EP EDGE OF PAVEMENT
EX EXISTING
FC FACE OF CURB
FD FOUND
FF FINISH ELEVATION OF SUBFLOOR
FG GROUND FINISH GRADE
FH FIRE HYDRANT
FL FLOW LINE
G GARAGE SLAB ELEVATION/GAS LINE
GPE GENERAL PUBLIC EASEMENT
GSE GRADING SETBACK
GM GAS METER
HP HI POINT
INVERT INVERT
IP IRON PIPE
LIP LIP OF GUTTER
LS LANDSCAPED AREA MAX MAXIMUM
MH MANHOLE
AREA DRAIN
BENCHMARK
BOUNDARY
CATCH BASIN
COBBLE ROCK ENERGY DISSIPATOR
CONCRETE
CONTOUR: EXISTING
CONTOUR: PROPOSED OR NEW
DESIGN GRADE
DOWNSPOUT WITH SPLASHBLOCK
DRAINAGE EMITTER
DIVERSION VALVE
BACKWATER VALVE
DRAINAGE SWALE
EASEMENT LINE
EXISTING ELEVATION
EXISTING FENCE
EXISTING TREE TO BE REMOVED
EXISTING TREE TO REMAIN
FOUND IRON PIPE AT PROPERTY CORNER
FILTER FABRIC ROLLS
GAS METER
GAS VALVE
GRADE TO DRAIN
GUY POLE
GUY WIRE ANCHOR
HIGH POINT
HYDRANT: EXISTING
HYDRANT: PROPOSED OR NEW

LOCATION MAP



RECORD DRAWINGS (To be signed at project's completion)

These Record Drawings are based on limited field review and field surveys, as necessary by us and the County of San Mateo assume no liability for the accuracy of the information.

(Signature) NINH LE R.C.E 47518 (Date)

(Signature) NINH LE R.C.E 47518 (Date)



APPLICANT : ZHAO

ROAD NAME : COLLEGE AVENUE

FILE NO : .

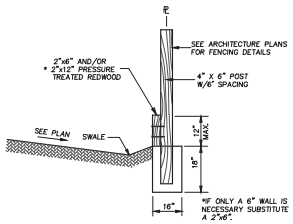
Table with columns: DATE, BY, DATE, APPROVED, REVISIONS. Includes a signature line for Eric Zhao.

Table with columns: DATE, BY, DATE, APPROVED, REVISIONS. Includes a signature line for Eric Zhao.

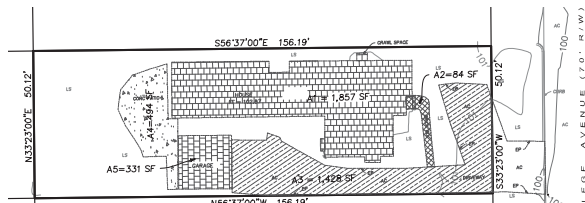
ENGINEERING logo and contact information for Eric Zhao, 598 E Santa Clara St. #270, San Jose, CA 95112, Phone (408) 806-7187, Fax (408) 583-4006.

BOUNDARY SURVEY AND TOPOGRAPHIC MAP LANDS OF ZHAO POLLUTION CONTROL MEASURE 882 COLLEGE AVENUE APN 071-403-250 California PROJECT NO. 1915010101 CONTACT NO.

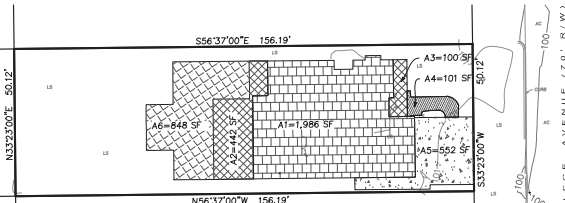
C1 of 2 SHEET NO. 1 of 2 FILE NO.



DETAIL C
18" MAX. WALL/FENCE DETAIL @ PERIMETER
NTS



PRE-DEVELOPMENT
SCALE 1" = 20'

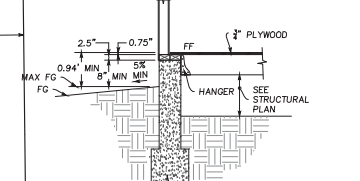


POST-DEVELOPMENT
SCALE 1" = 20'

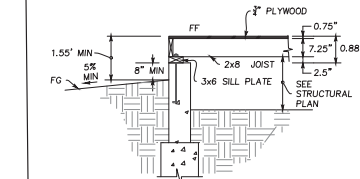
PRE-DEVELOPMENT				
No.	SURFACE AREA	IMPERVIOUS	PERVIOUS	
A1	BUILDING	1,857 SF		
A2	WALKWAY	84 SF		
A3	DRIVEWAY	1,428 SF		
A4	PATIO	494 SF		
A5	GARAGE	331 SF		
	LANDSCAPE		3,634 SF	
		4,194 SF		3,634 SF

PROPOSED DEVELOPMENT				
No.	SURFACE AREA	IMPERVIOUS	PERVIOUS	
A1	BUILDING	1,986 SF		
A2	PORCH	442 SF		
A3	PORCH	100 SF		
A4	WALK	101 SF		
A5	DRIVEWAY	552 SF		
A5	COURTYARD	848 SF		
	LANDSCAPE		3,799 SF	
		4,029 SF		3,799 SF

SUMMARY				
No.	DESCRIPTION	IMPERVIOUS	PERVIOUS	
1	PRE-DEVELOPMENT	4,194 SF	3,634 SF	
2	POST-DEVELOPMENT	4,029 SF	3,799 SF	
	DIFFERENT	-165 SF	165 SF	

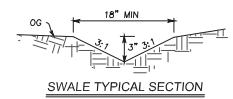
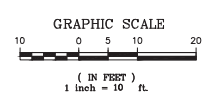
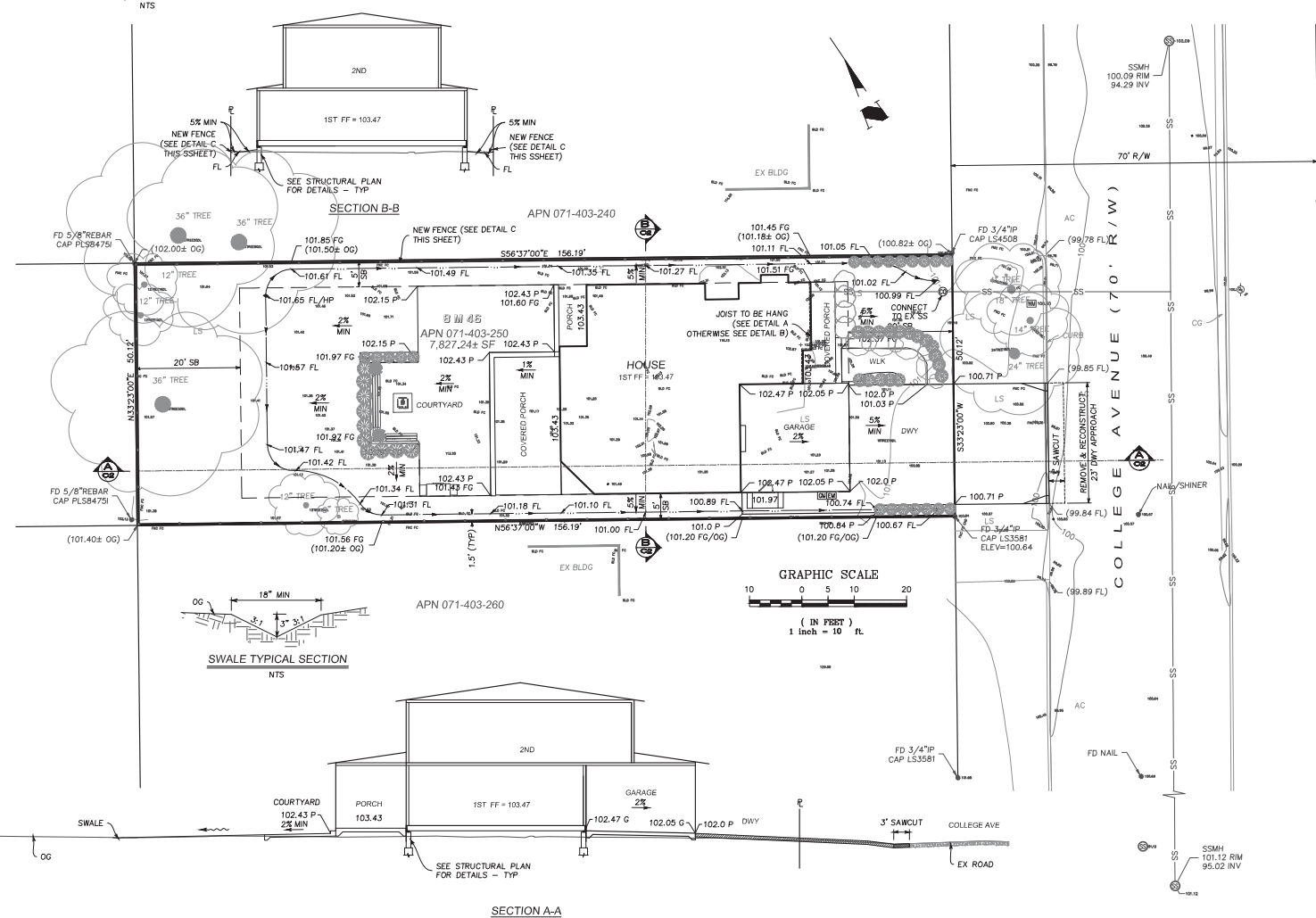


DETAIL A
FINISH GRADE DETAIL AT BUILDING FOUNDATION
NTS



DETAIL B
FINISH GRADE DETAIL AT BUILDING FOUNDATION
NTS

- NOTES:**
- TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
 - THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS MAP WERE BASED ON MARKINGS MADE IN THE FIELD BY OTHERS. THERE MAY BE OTHER UNDERGROUND UTILITIES THAT EXIST ON THIS SITE THAT ARE NOT SHOWN ON THIS PLAN. CLEARLY DEFINED MARKINGS THAT EXISTED AT THE TIME OF THE SURVEY WERE LOCATED AND ARE SHOWN ON THIS PLAN.
 - PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT OF WAY A PERMIT TO OPEN STREET AND/OR ENCROACHMENT PERMIT WILL BE REQUIRED.
 - CONTRACTOR TO VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES, STORM DRAIN, SANITARY SEWER BEFORE BEGIN WORK. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND IN FIELD.
 - THE EXCAVATION FOR THE DRAINAGE SWALES WITHIN THE TREE DRIP LINES SHALL BE DONE BY HAND USING AN AIRSPADE AND SUPERVISED BY PROJECT ARBORIST.



SWALE TYPICAL SECTION
NTS

APPLICANT : ZHAO

ROAD NAME : COLLEGE AVENUE

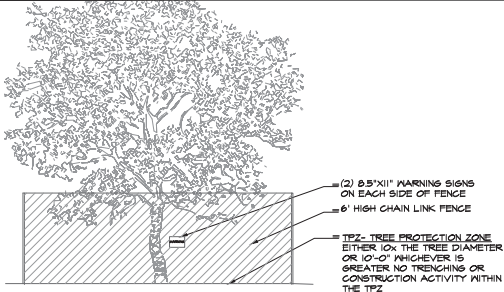
FILE NO : .

DESIGNED	DATE	03/29/21	DATE	03/29/21	DATE	03/29/21	DATE	03/29/21
DRAWN	DATE	03/29/21	DATE	03/29/21	DATE	03/29/21	DATE	03/29/21
CHECKED	DATE		SCALE	1" = 10' (OTHERWISE NOTED)	BY	DATE	APPD	REVISIONS
PROJECT NO.	882 COLLEGE AVENUE			CONTRACT NO.	Mento Park			
FILE NO.	2 of 2			PROJECT NO.	Mento Park			

ENGINEERING
500 E Santa Clara St. #270
San Jose, CA 95128
Phone (408) 906-7187
Fax (408) 563-4006

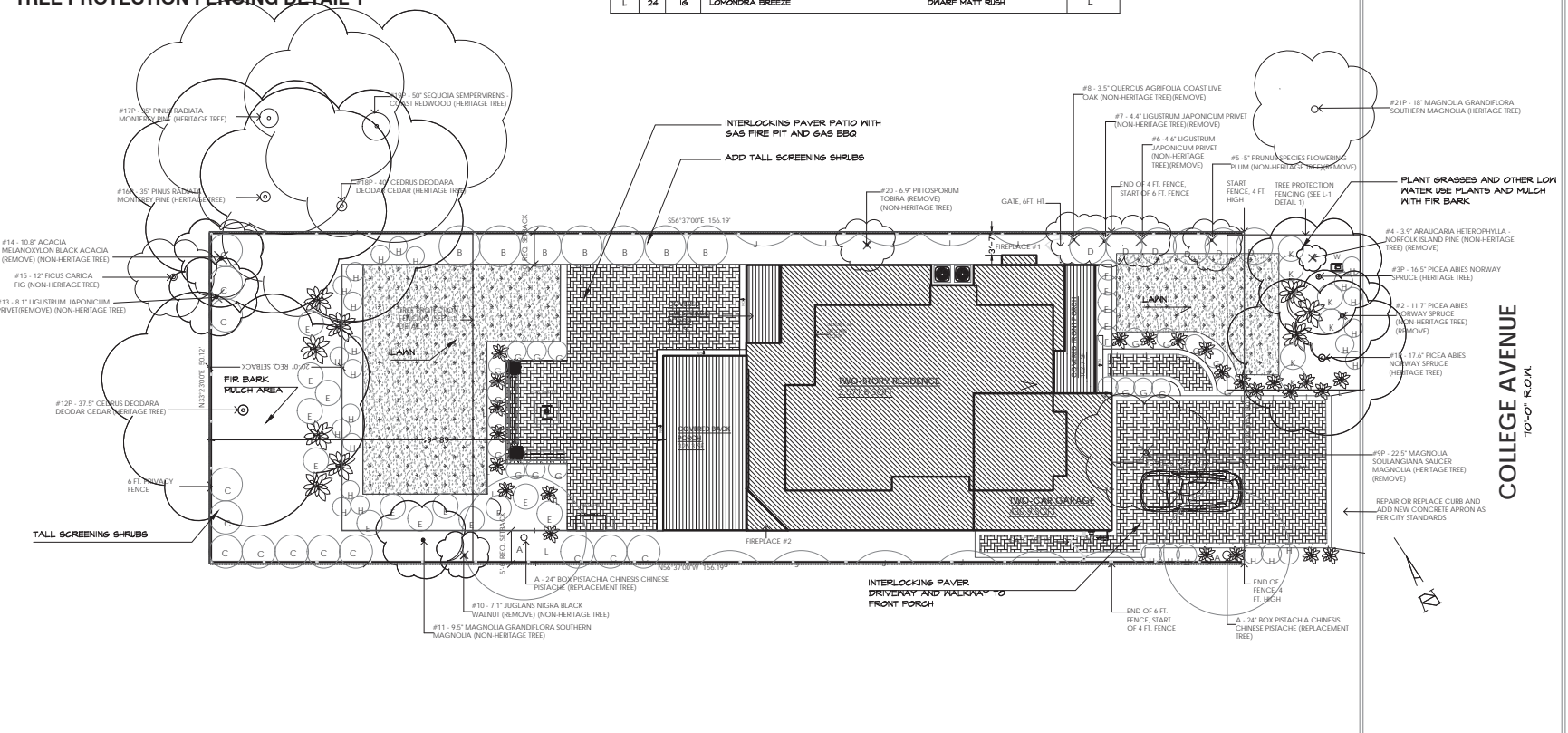
California

REGISTERED PROFESSIONAL ENGINEER
No. 47518
EXP. 12-31-17
CIVIL
STATE OF CALIFORNIA



TREE PROTECTION FENCING DETAIL 1

PLANT LIST					MOCC'S PLANT FACTOR
#	QU.	SIZE	BOTANICAL NAME	COMMON NAME	
A	2	24"	PISTACHIA CHINENSIS	CHINESE PISTACHE	L
B	7	156"	LAURUS SARATOGA	SARATOGA LAUREL	L
C	13	156"	PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	L
D	6	156"	MYRTICA CALIFORNICA	CALIFORNIA MAX MYRTLE	L
E	14	56"	LOROPETALUM 'EMERALD SNOW'	FRINGE FLOWER	L
F	6	56"	BUXUS 'GREEN BEAUTY'	BOXWOOD	M
G	16	26"	ROSA WHITE FLOWER CARPET	GROUND COVER ROSE	M
H	27	56"	KESTRINGEA BLUE GEM	COASTAL ROSEMARY	L
I	4	56"	CHONDROPETALUM ELEPHANTUM	CAPE RUSH	L
J	11	56"	ROSA BANKSIAE 'ALBA PLENA'	LADY BANKS ROSE	L
K	6	56"	CHOISYA TERNATA	MOCK ORANGE	L
L	24	16"	LOMONDRA BREEZE	DWARF MATT RUSH	L



Amend all planting areas by incorporating a 2" layer of fine redwood compost. Till a minimum of 6" deep and mulch all non-sod areas with minimum 3" thick layer fir bark or redwood mulch

I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the Landscape and Irrigation Design Plan.

Landscape Audit Report must be submitted to the Engineering Division prior to final inspection.



LANDSCAPE PLAN

SCALE 1/8" = 1'-0"

REVISIONS	BY



NEW RESIDENCE
882 COLLEGE AVENUE
MENLO PARK, CA
LANDSCAPE PLAN

A.P.N. 071-403-250
DRAWN BY
CHECKED BY
DATE 6/24/17
SCALE 1/8"=1'-0"
JOB NO. xxx
SHEET
L-1
OF SHEETS

IRRIGATION EQUIPMENT LEGEND		
SYMBOL	DESCRIPTION	NOTES
	CONTROLLER IRRITROL SMART DIAL SERIES CONTROLLER @ STATION WITH WEATHER TRAK SYSTEM FOR ULTIMATE WATER EFFICIENCY	INSTALL IN LOCATION VERIFIED BY OWNER
	EEBQ ATMOSPHERIC BACKFLOW DEVICES	
	NEEQ BRONZE 1" GATE VALVES	
	CONTROL VALVE WEATHERMATIC 1" USE PRESSURE REDUCER FOR DRIP IRRIGATION	INSTALL IN 10" CARSON VALVE BOX
	MAIN LINE 1" SCHEDULE 40 PVC	18" MINIMUM DEPTH USE PRIMER AND GLUE
	LATERAL LINE SCH. 40 PVC	1" OR AS SHOWN 12" MINIMUM DEPTH
	NETAFIM TECHLINE 12" SPACING DRIP IRRIGATION SYSTEM	INSTALL AS PER MANUFACTURERS RECOMMENDATIONS
	SOLID DRIP LINE IN PVC SLEEVE UNDER PAVING	INSTALL AS PER MANUFACTURERS RECOMMENDATIONS

VALVE LEGEND				
VALVE #	SYSTEM TYPE	FLOW RATE GPM OR GPH	APPLICATION RATE INCHES PER HOUR	OPERATING PRESSURE
1	DRIP TO FRONT LAWN HIGH WATER USE (200 L.F.)	1.02 per 100 L.F. 3.2 GPH	.64	30-40
2	DRIP TO MODERATE WATER USE @ FRONT (200 L.F.)	1.02 per 100 L.F. 1.02 GPH	.64	30-40
3	DRIP TO FRONT LAWN LOW WATER USE (200 L.F.)	1.02 per 100 L.F. 2.04 GPH	.64	30-40
4	DRIP TO REAR LAWN HIGH WATER USE (200 L.F.)	1.02 per 100 L.F. 3.06 GPH	.64	30-40
5	DRIP TO REAR LAWN HIGH WATER USE (200 L.F.)	1.02 per 100 L.F. 3.2 GPH	.64	30-40
6	DRIP TO REAR LAWN HIGH WATER USE (200 L.F.)	1.02 per 100 L.F. 3.2 GPH	.64	30-40
7	DRIP TO REAR LAWN HIGH WATER USE (200 L.F.)	1.02 per 100 L.F. 3.2 GPH	.64	30-40
8	DRIP TO LOW WATER USE (200 L.F.)	1.02 per 100 L.F. 2.04 GPH	.64	30-40
9	DRIP TO MODERATE WATER USE (100 L.F.)	1.02 per 100 L.F. 1.02 GPH	.64	30-40
10	DRIP TO SIDE/LAWN WATER USE (200 L.F.)	1.02 per 100 L.F. 2.04 GPH	.64	30-40

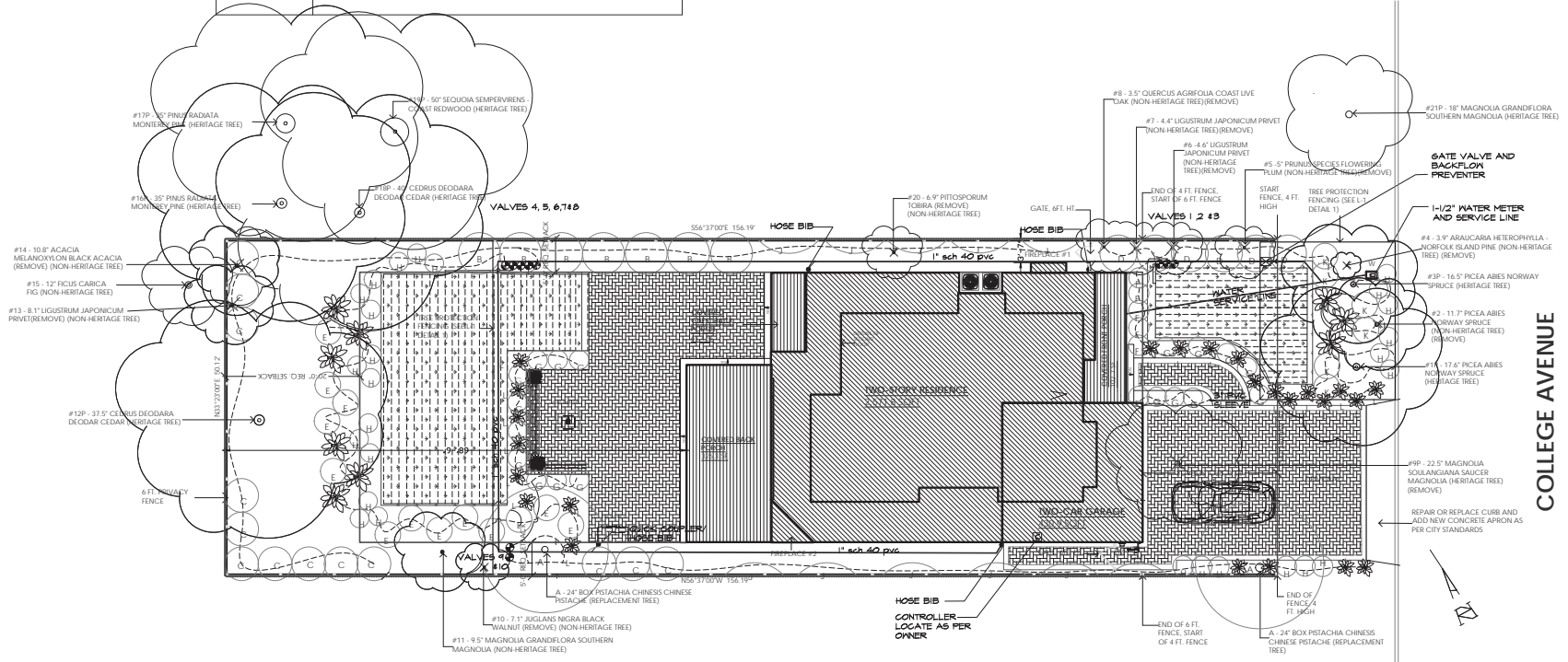
I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the Landscape and Irrigation Design Plan.

Landscape Audit Report must be submitted to the Engineering Division prior to final inspection.

Irrigation system programmed to water between the hours of 8:00 pm and 10:00 am.

Irrigation system and components designed in such as way as to conserve water and prevent overspray and runoff.

REVISIONS	BY



IRRIGATION PLAN
 NEW RESIDENCE
 882 COLLEGE AVENUE
 MENLO PARK, CA
 A.P.N. 071-403-250

DRAWN	BY
CHECKED	MY
DATE	8/24/17
SCALE	1/8" = 1'-0"
JOB NO.	xxx
SHEET	



IRRIGATION PLAN

SCALE 1/8" = 1'-0"

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ET₀) **48.0**

Reference #	Plant Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (%)	ETAF (PF/E)	ETAF x Area	Estimated Total Water Use (ETWC)
Regular Landscape Areas							
ZONE 1	2025	1.2	.7	0.40	.18	1077	926
ZONE 2	2025	1.2	.8	0.40	.18	2941	1088
ZONE 3	2025	1.5	.8	0.40	.18	141	3776
Totals					0	0	0
Special Landscape Areas							
					1		
					1		
Totals					0	0	0
						ETWU Total	57,465
						Maximum Allowed Water Allowance (MAWA)	62,317

Hydrozone #/Planting Description
 1) Best use
 2) Low water use plants
 3) Medium water use plants

Irrigation Method
 1) overhead spray
 2) drip

Irrigation Efficiency
 1) 80%
 2) 85%
 3) 90%

ETAF (Annual Culture Requirement) =
 (PF) x (0.65 + ETAF₀) x Area
 where 0.65 is a correction factor that accounts for the fact that plants are not always in full bloom and ETAF₀ is the total landscape area in square feet. EA is the total special landscape area in square feet, and ETAF is used for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	(B) 2155
Total Area	(A) 4250
Average ETAF	B ÷ A = 50

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas	
Total ETAF x Area	(B+C) 2155
Total Area	(A+C) 4250
Average ETAF	(B+C) ÷ (A+C) = 50

A copy of this form may be obtained from Department of Water Resources website: <http://www.water.ca.gov/wateruseefficiency/landscapeperformance/>

REVISIONS	BY



HYDROZONE DIAGRAM

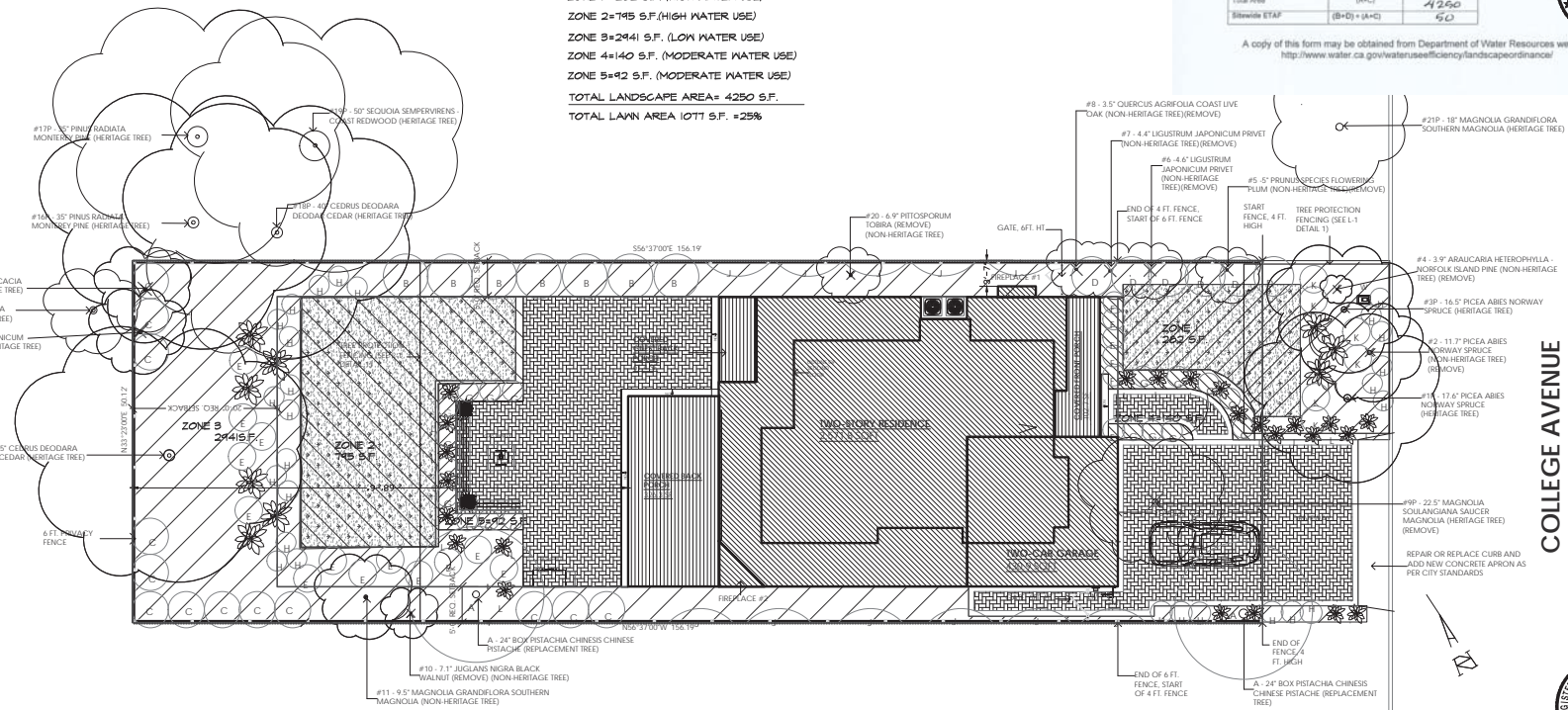
NEW RESIDENCE
882 COLLEGE AVENUE
MENLO PARK, CA

A.P.N. 071-403-250

DRAWN BY	
CHECKED BY	
DATE	6/24/17
SCALE	1/8" = 1'-0"
JOB NO.	xxx
SHEET	

L-3
OF SHEETS

ZONE 1 = 282 S.F. (HIGH WATER USE)
ZONE 2 = 745 S.F. (HIGH WATER USE)
ZONE 3 = 244 S.F. (LOW WATER USE)
ZONE 4 = 140 S.F. (MODERATE WATER USE)
ZONE 5 = 92 S.F. (MODERATE WATER USE)
TOTAL LANDSCAPE AREA = 4250 S.F.
TOTAL LAWN AREA 1077 S.F. = 25%



HYDROZONE DIAGRAM

SCALE 1/8" = 1'-0"

Robin A. McCarthy, AIA Architect

1155 Meridian Avenue, Suite 208, San Jose, CA 95125

robin@archstudioinc.com

cell 408.859.8723

Date: April 2, 2017

To: City of Menlo Park Community Development Department, Planning Division
701 Laurel Street, Menlo Park, CA 94025
Phone: (650) 330-6702

Re: Project Description for Proposed New 2-Story Residence Located At 882 College Avenue,
Menlo Park, CA 94025

Attn: Planning Staff and Commission:

Purpose of the proposal:

Our client, Eric Zhao, intends to build a new custom residence in Menlo Park. The proposed new two-story residence is located at 882 College Avenue, Menlo Park, CA 94025 (parcel number: 071403250). The lot information is as follows: lot width is 50.12 feet, lot depth is 156.19 feet, lot area is 7,827 square feet, and zoning is R-1-U district. This lot does not meet the substandard lot criteria because the proposed new two-story development is on a lot which does not meet the minimum required lot width of the zoning district. Therefore, a Use Permit is required for the proposed project.

Scope of work:

The scope of work involves demolishing the existing single story home and constructing a new two-story home with new property line fence and complete landscaping. The proposed design is a new two-story home (2,568.3 square feet) and attached two-car garage (430.9 square feet). The total floor area is 3,000.0 square feet. The total building coverage is 2,476.3 square feet. The main floor of the home contains the main living spaces: kitchen, dining room, living room, family room, powder room, bedroom no. 1 suite, laundry room, and 2-car parking garage. The upper level contains bedroom no. 2, bedroom no. 3, bathroom no. 2, and master bedroom suite.

Architectural style, materials, colors, and construction methods:

The architectural style of the proposed two-story wood framed residence is contemporary Mediterranean style. The primary exterior siding material is a beige integral-color, smooth textured stucco finish. The roofing material is a combination of dark reddish-brown barrel tiled roof. The window and door frames shall be a white color finish with bronze-colored for accent finishes and lighting. The driveway shall have warm earth tone pavers, and natural limestone tiles at all other patios. The colors proposed are meant to blend and recede into the earth tone surrounding landscape.

The height of the home meets the zoning guidelines at 25'-10.5" feet maximum. There are some single-story elements at the front porch and garage along with a varied front wall line used to vary the façade and minimize the bulk and mass of the structure.

The landscape design is water efficient and provides some screening replacement trees and vegetation. There are five existing trees along the rear of the property which will be kept while the rest of the trees will be removed. Lawn is proposed at the front and rear of the residence. Existing runoff patterns are preserved and away from native trees and shrubs.

Basis for site layout:

The existing site is 50.12 feet wide by 156.19 feet in depth and rectangular in shape and relatively flat. The proposed new two-story residence is designed to follow the natural contour of the existing property

and building pad. The building footprint is generally rectangular with the front elevation facing College Avenue. The building coverage of 2,054.4 square feet is under and meets the maximum floor area limit of 35% of the lot area and the building footprint is within the required front, rear, and side setback limits.

Existing and proposed uses:

The existing residence is currently a single family single-story home in a state of disrepair with a dilapidated property line fence and unkempt landscaping. This development project proposes a new single family two-story residence with new property line fence and complete landscaping with an architectural focus to enhance the neighborhood appeal.

Outreach to neighboring properties:

Neighborhood outreach was conducted with flyers and packets containing the proposed plans for the new residence to the surrounding neighborhood. The packet presented an overview of the proposed project scope of work, project site, architectural style, floor plans, elevations, window placement, trees and landscaping, etc. One neighbor responded to the outreach, Elizabeth Houck, located at 883 Middle Avenue directly behind the owner's property. The neighbor asked about the project including several questions about the fencing, property line, about the "fire pit" feature located in the backyard, etc. We have included the letter in the submittal for reference.

Conclusions:

It is the Client's directive that this new residence be of a very high quality design and construction, and enhance the neighborhood and community that the project is located in. We are confident that this home will increase the values of nearby properties, and will be a benchmark for outstanding design and construction for other homes in Menlo Park neighborhood.

For any additional comments or questions, please do not hesitate to contact me directly at 408-859-8723.

Sincerely,

Robin A. McCarthy, Architect
Lic. No. C29767
Arch Studio, Inc.

Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

March 27, 2017

Arch Studio Inc.

Attn: Robin McCarthy, Architect

1155 Meridian Avenue, Suite 208

San Jose, CA 95125

Site: 882 College, Menlo Park, CA

Dear Robin McCarthy,

As requested on Tuesday, March 14, 2017 I visited the above site to inspect and comment on the trees. A new two story home is planned for this site and your concern for the future health and safety of the trees has prompted this visit. Site plan A1-1 dated 2/15/2017 was used for this report.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1 - 29 Very Poor

30 - 49 Poor

50 - 69 Fair

70 - 89 Good

90 - 100 Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

822 College Ave /3/27/17

(2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1P	Norway spruce (<i>Picea abies</i>)	17.6	55	50/15	Fair to poor vigor, fair form, abundance of dead wood, slight lean, street tree, 10 times diameter=14.6 feet.
2	Norway spruce (<i>Picea abies</i>)	11.7	45	50/15	Poor vigor, poor form, suppressed, leans into street, tall for diameter.
3P	Norway spruce (<i>Picea abies</i>)	16.5	70	50/15	Good vigor, good form, street tree , good location, 10 times diameter= 13.7 feet.
4	Norfolk island pine (<i>Araucaria heterophylla</i>)	3.9	50	20/8	Fair vigor, poor form, heavily suppressed, no room to grow.
5	Fruiting plum (<i>Prunus spp.</i>)	5.0	55	10/10	Fair vigor, fair form, near property line.
6	Privet (<i>Ligustrum japonicum</i>)	4.6	50	12/10	Fair vigor, fair form, suppressed by #7.
7	Privet (<i>Ligustrum japonicum</i>)	4.4	40	12/10	Fair vigor, fair form, suppressed by #6.
8	Coast live oak (<i>Quercus agrifolia</i>)	3.5	80	15/6	Fair vigor, fair form, volunteer, transplantable.
9P	Saucer magnolia 22.5@base (<i>Magnolia x soulangeana</i>)	45	15/20	15/20	Poor vigor, poor form, topped in past, multi leader at base, abundance of deadwood. 10 times diameter= 18.7 feet.
10	Black walnut (<i>Juglans nigra</i>)	7.1	40	25/12	Poor vigor, poor form, codominant at 7 feet with included bark, suppressed, leans into property.
11	Magnolia (<i>Magnolia grandiflora</i>)	9.5	45	25/15	Poor vigor, fair form, in decline, abundance of dead wood.
12P	Deodar cedar (<i>Cedrus deodara</i>)	37.5	70	75/35	Good vigor, fair form ,suppressed, one sided, good location, 10 times diameter= 31.2 feet.
13	Privet (<i>Ligustrum japonicum</i>)	8.1	40	20/6	Fair vigor, poor form, heavily suppressed.

822 College Ave /3/27/17

(3)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
14	Black acacia (<i>Acacia melanoxylon</i>)	10.8	45	35/12	Fair vigor, poor form, invasive, suppressed.
15*	Fig (<i>Ficus carica</i>)	12est	50	15/20	Good vigor, poor form ,topped, 10 feet from property line.
16* P	Monterey pine (<i>Pinus radiata</i>)	35est	45	75/35	Fair to poor vigor, poor form, heavy lean to the west at an almost 45 degree angle, abundance of deadwood, 3 feet from property line, limited visual inspection, 10 times diameter= 29.1 feet.
17* P	Monterey pine (<i>Pinus radiata</i>)	35est	55	70/30	Fair vigor, fair form, history of limb loss, minor deadwood, 20 feet from property line, limited visual inspection, 10 times diameter= 29.1 feet.
18* P	Deodar cedar (<i>Cedrus deodara</i>)	40est	60	80/35	Fair vigor, fair to poor form, heavy into property, suppressed on north side of tree, codominant at 30 feet with poor crotch, limited visual inspection. 10 times diameter= 33.3 feet.
19* P	Redwood (<i>Sequoia sempervirens</i>)	50est	70	110/40	Good vigor, fair form, codominant at last 10 feet of trees height, 15 feet from property line. 10 times diameter=41.6 feet.
20	Pittosporum (<i>Pittosporum tobira</i>)	6.9	50	10/8	Fair vigor, fair form, poor location 6 inches from home.
21* P	Magnolia (<i>Magnolia grandiflora</i>)	18est	75	35/25	Good vigor, fair form, 15 feet from property line, street tree, 10 times diameter= 15 feet.

*-Indicates neighbor trees

P-Indicates protected tree by city ordinance

Summary:

The trees on site are a mix of imported and native species. All trees over 15 inches in diameter are protected trees in the city of Menlo Park and will require tree protection during all proposed construction activities. All street trees must also be protected by tree protection fencing regardless of size. Any excavation within 10 times the diameter of a protected tree on site will need to be hand dug and documented by the site arborist. If roots over 2 inches in diameter are encountered they must be exposed and remain damage free for the site arborist to view.

Norway spruce tree #1-3 are in the public right of way and considered street trees. These trees will be required to be protected by tree protection fencing. Fencing will need to be placed at 10 times the tree diameters where possible. The proposed driveway location encroaches into tree the tree #1 tree protection zone. Tree protection fencing for this tree will need to be placed at the proposed driveway edge. Excavation should be done by hand when working within 14.6 feet of tree #1(10 times diameter). Encountered roots should remain exposed and damage free for the site arborist to view. Roots shall be wrapped in burlap and kept moist by spraying the burlap down with water multiple times a day. Base rock material for the proposed driveway when within 14.6 feet of tree #1 shall consist of structural soil (Cornell mix). Structural soil can be packed around the existing roots in this area eliminating the need to cut roots in the proposed base rock area for the new driveway. The only roots to be cut will exist above the base rock area. Impacts to tree #1 are expected to be minor with no long term effect if the above recommendations are put into place. Mitigations for the minor root loss will consist of a soaker being placed as close to the driveway as possible. The soaker hose shall be turned on every 2 weeks for 4 hours a time for the following year. Irrigation can stop once winter rains have started. The site arborist must be called out to the site to witness any excavation within 10 times the tree diameter for tree #1.



The three Norway spruce street trees are crowding each other. These trees should never have been planted this close together. Tree #2 is leaning into the street as a result of growing in suppressed conditions. This tree is also appears to be in decline as its vigor is poor. Removal of Norway spruce tree #2 is recommended at this time as no mitigation measures would be expected to improve its health. The Norway spruce trees should be offered a minimal amount of irrigation during the summer as they receive more water in their native habitat.

Showing leaning spruce tree #2



Saucer magnolia #9 is proposed for removal to facilitate the construction of the new driveway. This tree was given a condition rating of 45 making it a poor tree. The tree is a multi leader tree at its base and has been topped in the past. Topping trees is never recommended as it creates new watersprout growth that is weakly attached and prone to failure. The trees vigor is poor and an abundance of dead wood is visible throughout the tree's canopy. No mitigation measures are expected to improve the tree's current state of health, therefore removal is recommended.

Showing magnolia #9

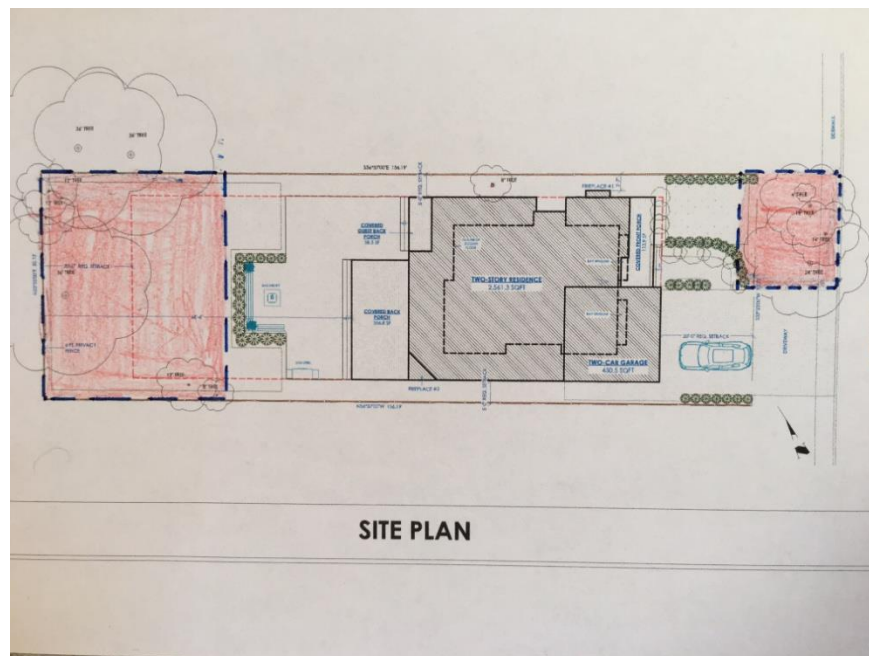
Deodar cedar tree #12 is a large protected tree on site with a diameter of 37.5 inches. This tree has been planted in a good location in the center of the backyard outside of the property's set back. The tree is slightly suppressed by the neighbor's trees. Tree protection fencing is recommended to be placed 5 feet away from the proposed backyard fire pit area in a way that fences off the entire backyard. No impacts are expected to occur to this tree.

The neighbor to the north has 4 large protected size trees in the backyard near the property line. All of these trees are in fair to good condition expect for Monterey pine tree #16. This tree leans west at an almost 45 degree angle and is in decline. The owner of this tree should be notified as if the tree were to fail it could cause a significant amount of damage. No work is proposed near these trees, therefore no impacts are expected. Tree protection fencing for these trees should be protected by the same fence that protects deodar cedar tree #12. Fencing should be placed 5 feet away from the proposed backyard gas fire pit area in a way that fences off the entire backyard. No impacts are expected to occur to these trees.

Magnolia tree #21 is the last protected tree on site. This tree is 15 feet from the property line and in good condition. Construction site fencing located at the property line will serve as tree protection fencing for this tree. No impacts are expected. The following tree protection plan will help to insure the future health of the trees on site.

Tree Protection Plan:*Tree Protection Zones*

Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for tree protection zones should be 6' tall, metal chain link material supported by metal 2" diameter poles, pounded into the ground to a depth of no less than 2'. The location for the protective fencing for the protected trees on site should be placed at 10 times the tree diameter where possible. Where not possible because of proposed work or existing hardscapes, the tree protection fencing shall be placed at the edge of the proposed work or hardscapes. No equipment or materials shall be stored or cleaned inside the protection zones. Areas where tree protection fencing needs to be reduced for access, should be mulched with 6" of coarse wood chips with ½ inch plywood on top. The plywood boards should be attached together in order to minimize movement. The spreading of chips will help to reduce compaction and improve soil structure. All tree protection measures must be installed prior to any demolition or construction activity at the site. Below is a diagram showing the recommended tree protection fencing locations for the protected trees on site.



Red areas represent areas to be fenced off by tree protection fencing. If reduced tree protection zones are needed for access, a landscape barrier shall be installed.

Landscape Buffer

Where tree protection does not cover the entire root zone of the trees (10X diameter), or when a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where foot traffic is expected to be heavy. The landscape buffer will help to reduce compaction to the unprotected root zone.

Root Cutting and Grading

Any roots to be cut shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Trenching and Excavation

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

Irrigation

Normal irrigation shall be maintained on this site at all times. The imported trees will require normal irrigation. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April – November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

Demolition

All tree protection must be in place prior to the start of demolition. Demolition equipment must enter the project from the existing driveway. If vehicles are to stray off the drive the area within the dripline of a protected tree must be covered with 6 inches of wood chips and steel plates or 1 1/4 inch plywood. The city of Menlo Park requires inspections before demolition and before construction to make sure the trees are being well protected.

Inspections

It is the contractor's responsibility to contact the site arborist when work is to take place within 10 times the diameter of a protected tree on site. Kielty Arborist Services can be reached by email at kkarbor0476@yahoo.com or by phone at (650) 515-9783 (Kevin) or (650) 532-4418 (David).

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A

David P. Beckham
Certified Arborist WE#10724A



STAFF REPORT

Planning Commission

Meeting Date: 7/17/2017
Staff Report Number: 17-044-PC

Public Hearing: Use Permit/Dan Siegel/1370 Delfino Way

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to construct first-floor additions and perform interior and exterior modifications to an existing nonconforming, single-story, single-family residence in the R-1-U (Single Family Urban) zoning district that would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The project site is located at 1370 Delfino Way, which is a cul-de-sac street with access from Valparaiso Avenue. A location map is included as Attachment B. All parcels on Delfino Way are also zoned R-1-U, while parcels to the north, on North Lemon Avenue, are zoned R-1-S (Single-Family Suburban Residential). The area is close to the City's boundaries with the Town of Atherton and unincorporated San Mateo County. The subject parcel has substandard lot depth, although it is not considered to be a substandard lot since the development is single-story and the lot area is greater than 5,000 square feet.

The surrounding homes are predominantly single-story, single-family residences; however, a two-story home was approved by the Planning Commission in May 2016 on the adjacent right side property at 1360 Delfino Way, and other two-story single-family residences can also be found on the cul-de-sac and throughout the neighborhood. This is a neighborhood in transition; older existing residences tend to be one story in height, while newly built and remodeled residences are typically two stories in height. Residences on Delfino Way feature a variety of architectural styles including traditional ranch, Mediterranean, and contemporary residential.

Building Permit

The applicant applied for a building permit on December 13, 2016, and the building permit was issued on May 24, 2017. The original scope of work did not include changes to the existing siding, and fell below the 75-percent value threshold for projects involving nonconforming structures. Since issuance of the building

permit, the applicant submitted revisions to the approved permit on June 1, 2017 to modify the bathroom configuration and pantry layout, which did not have an impact on the value calculation. However, at a building inspection on June 16, the inspector noted the siding had been removed from the existing residence. A stop work order was issued on June 20, 2017, and the applicant was instructed to submit updated new work value calculations. The revised new work value calculation, with the added value from the replacement of the siding, indicated the project would exceed the 75-percent value threshold, and requires Planning Commission approval. The building is currently under construction, with a stop work order in place. A use permit for the overall project would need to be approved by the Planning Commission for the project team to continue work.

Analysis

Project description

The subject site is currently occupied by a single-story residence with an attached garage. The structure is nonconforming with regard to the front, left, and right side setbacks, as well as the daylight plane on the right and the left. The applicant is proposing to add approximately 50 square feet to the front and 290 square feet to the rear of the residence, perform interior modifications, and replace all the siding on the exterior to renovate the existing structure. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a four-bedroom home with three full bathrooms and a powder room near the entry. The existing two-car garage at the left side of the house is proposed to remain, with a small expansion into it by the mud room that would connect the garage to the rest of the residence. The required 20-foot-by-20-foot interior clear space for a two car garage would be maintained. An addition to the rear at the center and the removal of interior walls are proposed to create a large open kitchen/dining/family area that would connect to an outdoor patio at the rear, as well as a formal dining room adjacent to the entry at the front, and a den/teen room at the center of the left side that would share a full bath with a guest room at the rear of the left side. Two bedrooms would be situated at the front of the house on the right side, connected by a hallway to the master suite which would open out to a small separate patio in the rear yard on the right side.

The existing nonconforming walls at the front, left and right sides of the residence are proposed to remain with the wall framing retained, but all areas of new construction, including the proposed addition to master bedroom, would comply with current setback requirements and other development standards of the R-1-U zoning district. The area of the roof structure that is nonconforming with respect to the daylight plane on the left and right side would be retained, but the roof at the center would be raised. The raised portion of the center roof would comply with the relevant requirements for maximum heights and daylight plane.

The floor area, building coverage, and height of the proposed residence would all be below the maximum amounts permitted by the Zoning Ordinance.

Design and materials

The existing residence is a traditional ranch home featuring the characteristic long, low profile, gabled roof

and vertical wood siding typical of this architectural style. As part of the proposed project, the trellis roof above the front entry would be filled in, and a portion of the main ridge would be raised approximately 18 inches to allow for greater interior ceiling heights at the center of the house. The entire roof structure would be covered in asphalt roof shingles. The applicant has indicated their intent to install solar panels as part of a future project, and they are shown on the elevation drawings within the plan set for reference. All of the existing windows are proposed to be replaced with a mix of horizontal slider and double hung windows. Three new double-hung windows are proposed to be installed on the right side. The existing wood siding on the exterior of the residence has been removed, and would be replaced with a smooth stucco finish.

Staff believes that the scale, materials, and style of the proposed residence are consistent with the broader neighborhood, given the architectural styles and sizes of structures in the area.

Trees and landscaping

At present, there are four trees on or in close proximity to the project site. None of these trees are heritage trees. All four trees are proposed to remain. The partial demolition of the existing residence and construction of the proposed addition are not anticipated to adversely affect any of the existing trees located on the subject site or neighboring properties, given that the majority of the proposed additions are within the footprint of the existing structure. Standard heritage tree protection measures will be ensured through recommended condition 3g. No new landscaping is currently proposed.

Valuation

To calculate the replacement and new construction costs on which the use permit threshold is based, the City uses standards established by the Building Division. The City has determined that the replacement cost of the existing structure would be \$441,824 meaning that the applicants would be allowed to propose new construction and remodeling at this site totaling less than \$331,368 in any 12-month period without applying for a use permit. The City has determined that the value of the proposed work would be approximately \$391,279.30. Based on this estimate, the proposed project exceeds 75 percent of the replacement cost of the existing structure, therefore requiring use permit approval by the Planning Commission.

Correspondence

The property owners indicated that they spoke with their neighbors about the design and received positive feedback. Staff received four emails prior to the Planning Commission hearing, which are included as Attachment F. These emails state the neighbors' support for the project, and the positive contributions to the neighborhood by the family at 1370 Delfino Way.

Conclusion

Staff believes that the scale, materials, and style of the proposed residence are compatible with those of the greater neighborhood. No heritage tree impacts are anticipated, and the floor area, building coverage, and height of the proposed residence would all be at or below the maximum amounts permitted by the Zoning Ordinance. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Correspondence

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

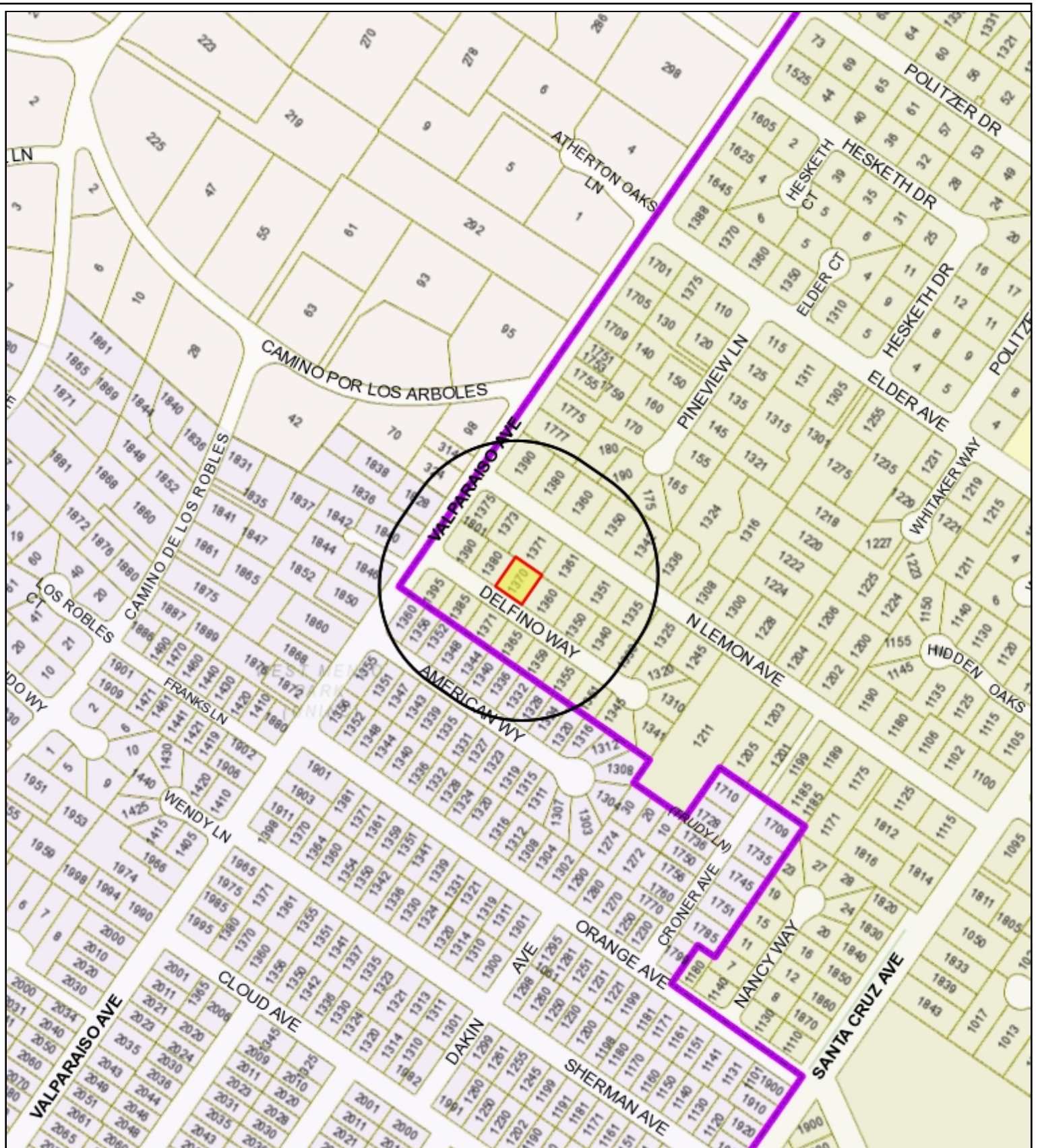
Report prepared by:
Ori Paz, Planning Technician

Report reviewed by:
Thomas Rogers, Principal Planner

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1370 Delfino Way – Attachment A: Recommended Actions

LOCATION: 1370 Delfino Way	PROJECT NUMBER: PLN2017-00055	APPLICANT: Dan Siegel	OWNER: Dan Siegel
REQUEST: Request for a use permit to construct first-floor additions and perform interior and exterior modifications to an existing nonconforming, single-story, single-family residence in the R-1-U (Single Family Urban) zoning district. The project previously received a building permit for a more limited scope of work; however, the proposed revisions would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period and therefore, require a use permit.			
DECISION ENTITY: Planning Commission	DATE: July 17, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Young & Borlik Architects, Inc. consisting of 12 plan sheets, dated received July 13, 2017, and approved by the Planning Commission on July 17, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 			



City of Menlo Park
 Location Map
 1370 Delfino Way

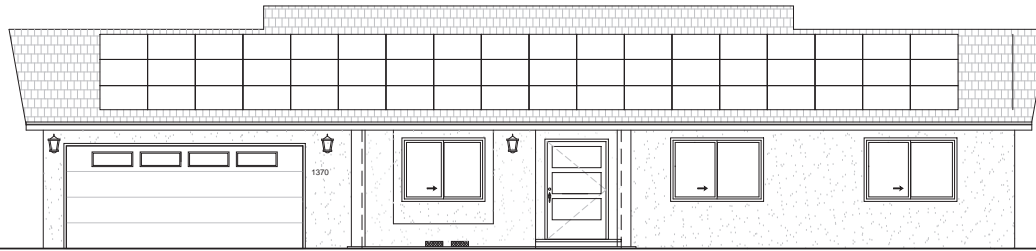


1370 Delfino Way – Attachment C: Data Table

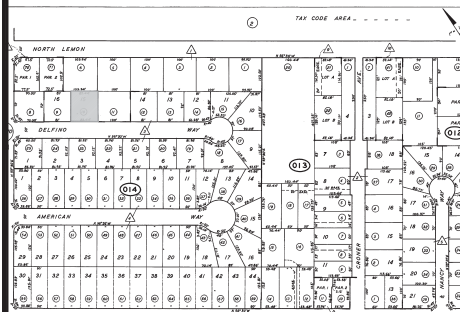
	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	7,584.0 sf	7,584.0 sf	7,000.0 sf min.
Lot width	82.4 ft.	82.4 ft.	65.0 ft. min.
Lot depth	92.0 ft.	92.0 ft.	100.0 ft. min.
Setbacks			
Front	19.8 ft.	19.8 ft.	20.0 ft. min.
Rear	20.0 ft.	20.0 ft.	20.0 ft. min.
Side (left)	8.1 ft.	8.1 ft.	8.3 ft. min.
Side (right)	8.1 ft.	8.1 ft.	8.3 ft. min.
Building coverage	2,945.1 sf 38.8 %	2,821.0 sf 37.2 %	2,972.9 sf max. 39.2 % max.
FAL (Floor Area Limit)	2,848.0 sf	2,497.2 sf	2,946.0 sf max.
Square footage by floor	2,404.6 sf/1 st floor 443.4 sf/garage 97.1 sf/porches	2,054.0 sf/1 st floor 443.2 sf/garage 324.1 sf/porches	
Square footage of buildings	2,945.1 sf	2,821.0 sf	
Building height	16.8 ft.	15.3 ft.	28.0 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 0	Non-Heritage trees: 4	New Trees: 0
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 0	Total Number of Trees: 4

SIEGEL-LANGER RESIDENCE

MENLO PARK, CALIFORNIA



PROPOSED FRONT ELEVATION



PARCEL MAP



VICINITY MAP

ARCHITECT
 YOUNG AND BORLIK ARCHITECTS, INC.
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 LOS ALTOS, CA 94022
 TEL: (650) 668-1800
 FAX: (650) 323-1112
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 andrew@ybarchitects.com

SURVEYOR
 LEA & BRUCE ENGINEERING, INC.
 2495 INDUSTRIAL PKWY WEST
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STRUCTURAL ENGINEER
 SAABCO CONSULTING INC.
 1263 EL CAMINO REAL, SUITE I
 MENLO PARK, CA 94025
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 FAX: (650) 329-1943
 saabco@saabco.com

TITLE 24
 TITLE 24 EXPRESS
 3395 PLACER STREET #350
 REDDING, CA 96001
 TEL: (888) 528-8488
 ATTN: MICHAEL KUNZ, CEPE
 service@title24express.com

DEFERRED SUBMITTAL NOTE:
 FIRE SPRINKLERS REQUIRED, TO BE SUBMITTED

PROJECT DESIGN DATA:
 2013 CALIFORNIA BUILDING CODE - VOL. 1&2 2013 CALIFORNIA FIRE CODE
 2013 CALIFORNIA RESIDENTIAL CODE 2013 CALIFORNIA GREEN BUILDING CODE (CalGreen)
 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA ENERGY CODE
 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
 2013 CALIFORNIA ELECTRIC CODE
 CURRENT MENLO PARK MUNICIPAL CODE AS ADOPTED BY THE CITY COUNCIL, ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS.

THE DOCUMENTS PREPARED BY THESE CONSULTANTS ARE AN INTEGRAL PART OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SHALL BE INCORPORATED INTO THIS SET BY REFERENCE. I.E. SOILS REPORT, TITLE 24 STRUCTURAL CALCULATIONS, ETC. THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED. THE CONTRACTOR SHALL OBTAIN CURRENT COPIES OF ALL DOCUMENTS, READ, UNDERSTAND AND CONFIRM ANY CONFLICTS OR DISCREPANCIES OR QUESTIONS WITH APPROPRIATE CONSULTANTS.

CONSULTANTS

ARCHITECTURAL

- A0.1 COVER SHEET, VICINITY MAP, CONSULTANTS' SHEET INDEX, PROJECT SUMMARY
- A0.3 AREA CALCULATIONS
- A0.3.1 NON-CONFORMING WORK VALUATION CALCULATION
- A0.3.2 NEW WORK VALUATION CALCULATION
- A0.4 PROPOSED SITE PLAN
- A0.5.1 NEIGHBORHOOD CONTEXT
- A0.5.2 AREA PLAN
- A1.1 EXISTING FIRST FLOOR PLAN W/ DEMO NOTES
- A1.2 EXISTING ROOF PLAN
- A2.1 PROPOSED FIRST FLOOR PLAN
- A2.3 PROPOSED ROOF PLAN
- A3.1 EXISTING AND PROPOSED FRONT ELEVATION
- A3.2 EXISTING AND PROPOSED REAR ELEVATION
- A3.3 EXISTING AND PROPOSED LEFT SIDE ELEVATION
- A3.4 EXISTING AND PROPOSED RIGHT SIDE ELEVATION
- A4.1 EXISTING AND PROPOSED SECTIONS
- A4.2 EXISTING AND PROPOSED SECTIONS
- A8.0 MATERIAL SPECIFICATIONS

- CIVIL**
- SU1 BOUNDARY & TOPOGRAPHIC SURVEY
 - C1.0 TITLE SHEET
 - C2.0 GRADING AND DRAINAGE PLAN
 - C3.0 GRADING SPECIFICATIONS
 - ER 1 EROSION CONTROL PLAN
 - ER 2 EROSION CONTROL DETAILS

SHEET INDEX

APN#:	071-014-100
OWNER:	LANGER-SIEGEL FAMILY TRUST
PROJECT ADDRESS:	1370 DELFINO WAY MENLO PARK, CA 94025
LOT SIZE:	7,984 sf
BUILDING OCCUPANCY:	R-3 / U
TYPE OF CONSTRUCTION:	V-3
ZONING:	R-1-U
FLOOD ZONE:	NO
STORIES:	1
FIRE SPRINKLERS:	YES
ALLOWABLE F.A.L.:	2,946 sf
(2800 + 25% LOT AREA - 7000sf)	
MAX ALLOWABLE COVERAGE:	2,972.5 sf
(89.2% OF LOT SIZE)	
SETBACKS	
FRONT & REAR SETBACK:	20'
SIDE SETBACK:	5'
HEIGHT LIMIT:	28' MAX
EXISTING FIRST FLOOR (CONDITIONED AREA):	2,064 sf
EXISTING ATTACHED GARAGE (UNCONDITIONED):	443.2 sf
TOTAL F.A.L.	2,497.2 sf
PROPOSED FIRST FLOOR (CONDITIONED AREA):	2,404.6 sf
PROPOSED ATTACHED GARAGE (UNCONDITIONED):	443.4 sf
TOTAL F.A.L.	2,848.0 sf < 2,946 sf
TOTAL FLOOR COVERAGE	2,877.1 sf < 2,972.5 sf
SEE SHEET A0.5 FOR AREA CALCULATION AND PROJECT SUMMARY TABLE	

THE WORK HOURS ARE REGULATED BY NOISE LEVELS CREATED DURING CONSTRUCTION. THE MAXIMUM NOISE LEVELS ALLOWED ARE ESTABLISHED IN THE CITY OF MENLO PARK MUNICIPAL CODE CHAPTER 8.06 NOISE. 1. ANY AND ALL EXCESSIVELY ANNOYING, LOUD OR UNUSUAL NOISES OR VIBRATIONS SUCH AS OPENING THE PEACE AND QUIET OF PERSONS OF ORDINARY SENSIBILITIES AND WHICH INTERFERE WITH THE COMFORTABLE ENJOYMENT OF LIFE OR PROPERTY AND AFFECT AT THE SAME TIME AN ENTIRE NEIGHBORHOOD OR ANY CONSIDERABLE NUMBER OF PERSONS SHALL BE CONSIDERED A NOISE DISTURBANCE.

2. CONSTRUCTION ACTIVITIES:

- CONSTRUCTION ACTIVITIES ARE LIMITED TO THE HOURS OF EIGHT (8) A.M. AND SIX (6) P.M. MONDAY THROUGH FRIDAY.
- CONSTRUCTION ACTIVITIES BY RESIDENTS AND PROPERTY OWNERS PERSONALLY UNDERTAKING CONSTRUCTION ACTIVITIES TO MAINTAIN OR IMPROVE THEIR PROPERTY ARE ALLOWED ON SATURDAYS, SUNDAYS OR HOLIDAYS BETWEEN THE HOURS OF NINE (9) A.M. AND FIVE (5) P.M.
- A SIGN, CONTAINING THE PERMITTED HOURS OF CONSTRUCTION ACTIVITIES EXCEEDING THE NOISE LIMITS SET FORTH IN SECTION 8.06.030, SHALL BE POSTED AT ALL ENTRANCES TO A CONSTRUCTION SITE UPON THE COMMENCEMENT OF CONSTRUCTION, FOR THE PURPOSE OF INFORMING CONTRACTORS AND SUBCONTRACTORS AND ALL OTHER PERSONS AT THE CONSTRUCTION SITE OF THE BASIC REQUIREMENTS OF THIS CHAPTER. THE SIGN SHALL BE AT LEAST FIVE (5) FEET ABOVE GROUND LEVEL AND SHALL CONSIST OF A WHITE BACKGROUND WITH BLACK LETTERS.
- NOTWITHSTANDING ANY OTHER PROVISION SET FORTH ABOVE, ALL POWERED EQUIPMENT SHALL COMPLY WITH THE LIMITS SET FORTH IN SECTION 8.06.030(D).

PROJECT SUMMARY

ISSUE LOG	
▲	BUILDING SUBMITTAL REC'D # 2017
▲	PLANNING COMMENTS MAY 26, 2017
▲	BUILDING COMMENTS MAY 26, 2017
▲	OWNER REVISIONS
▲	PLANNING COMMISSION JUNE 30, 2017

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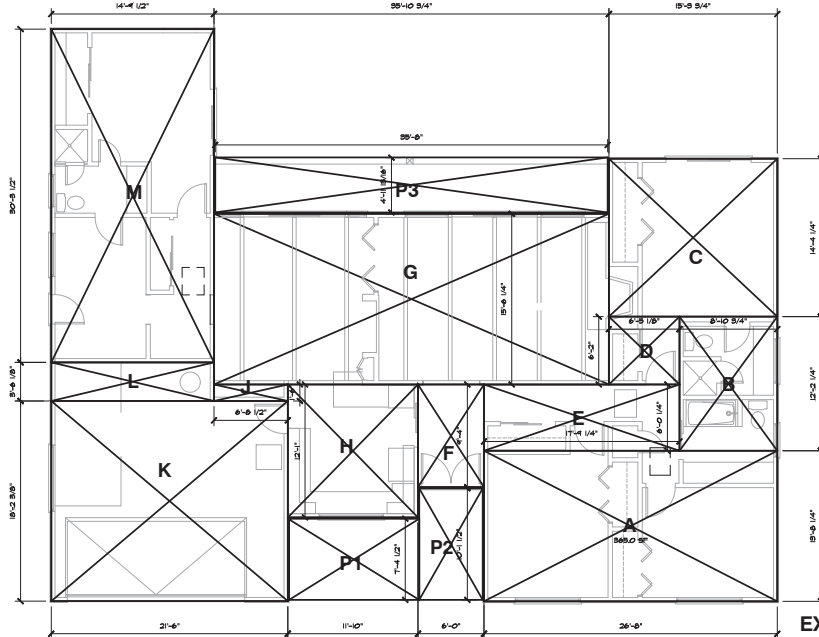


LANGER-SIEGEL FAMILY TRUST
 1370 DELFINO WAY
 MENLO PARK, CA 94025

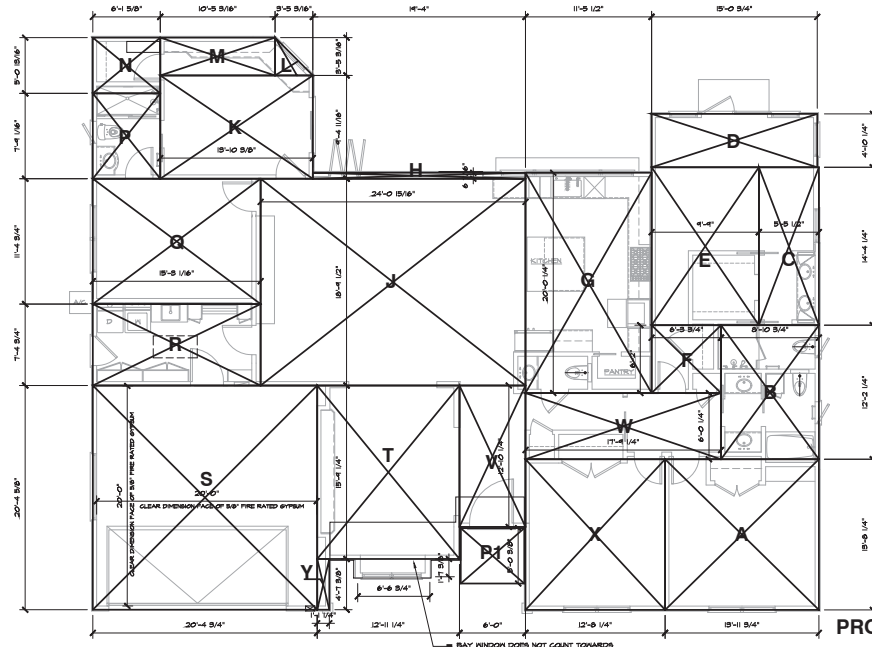
A.P.N. 071-014-100
 CHECKED BY: AY
 DATE: 12.05.2016
 DRAWN BY: MM
 DATE: 12.05.2016

A0.1

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EXISTING FLOOR PLAN



PROPOSED FLOOR PLAN

AREA CALCULATIONS

Siegel-Langer Residence

1370 Delfino Way, Menlo Park, CA 94025

LOT INFORMATION

Zoning: R-1-U	
Lot Size	7,584.00

Max. Allowable Coverage (40% Net Lot Area)	2,980.50
Max. FAL (Floor Area Limit) - (lot >7000sf, 2800sf+25% of exceeded)	2,946.00

Existing Floor Area

A	365.0
B	108.4
C	219.8
D	39.6
E	107.0
F	56.0
G	557.1
H	143.0
J	10.1
K (garage)	391.3
L (garage)	51.9
M	448.1
TOTAL EXISTING FIRST FLOOR:	2497.2
TOTAL EXISTING FLOOR AREA	2497.2
Existing Lot Coverage	
P1	87.3
P2	58.45
P3	178.33
TOTAL EXISTING COVERAGE	2821.2

Proposed Floor Area

A	191.3
B	108.4
C	78.3
D	73.1
E	140.0
F	39.6
G	229.4
H	10.4
J	452.5
K	190.2
L	5.9
M	35.8
N	31.1
P	47.6
Q	173.8
R	112.8
S (Garage)	438.3
T	186.6
V	77.1
W	107.0
X	173.7
Y (Garage)	5.1
TOTAL PROPOSED FIRST FLOOR:	2848.0 < 2,946
TOTAL PROPOSED FLOOR AREA	2848.0 < 2,946
Proposed Lot Coverage	
P1	29.0
TOTAL PROPOSED COVERAGE	2877.1 < 2,980.5



3/16" = 1'-0" 1

ISSUE LOG

BUILDING SUBMITTAL	REP: A-2018
PLANNING COMMISSION	JAN 28, 2018
BUILDING COMMENTS	MAR 8, 2018
OWNER REVISIONS	
PLANNING COMMISSION	JUNE 30, 2017

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ADDITION AND REMODEL FOR
LANGER- SIEGEL FAMILY TRUST
1370 DELFINO WAY
MENLO PARK, CA 94025

A.P.N. 071-014-100

CHECKED	AV	DATE	12.05.2016
DRAWN	MM, OH		

SIEGEL-LANGER

A0.3

NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION			
Address: 1370 DelFino Way			
Case No.:			
50% of Existing Value	\$220,912.00		
75% of Existing Value	\$331,368.00		
Value of Proposed Project	\$381,279.30	88.56%	

Existing Development			
Non-Conforming Structure Type	Square Footage	Construction Cost	Existing Value
Existing 1st floor	2054	X \$200/Sq Ft	\$410,800.00
Existing 2nd floor	0	X \$200/Sq Ft	\$0.00
Existing Basement	0	X \$200/Sq Ft	\$0.00
Existing Garage	443.2	X \$70/Sq Ft	\$31,024.00
Total	2497.2		\$441,824.00

Note: This spreadsheet is only used on one nonconforming structure at a time. If there are detached structures on the same site, they are either subject to their own spreadsheet (if they are also nonconforming and subject to new work) or ignored (if not).

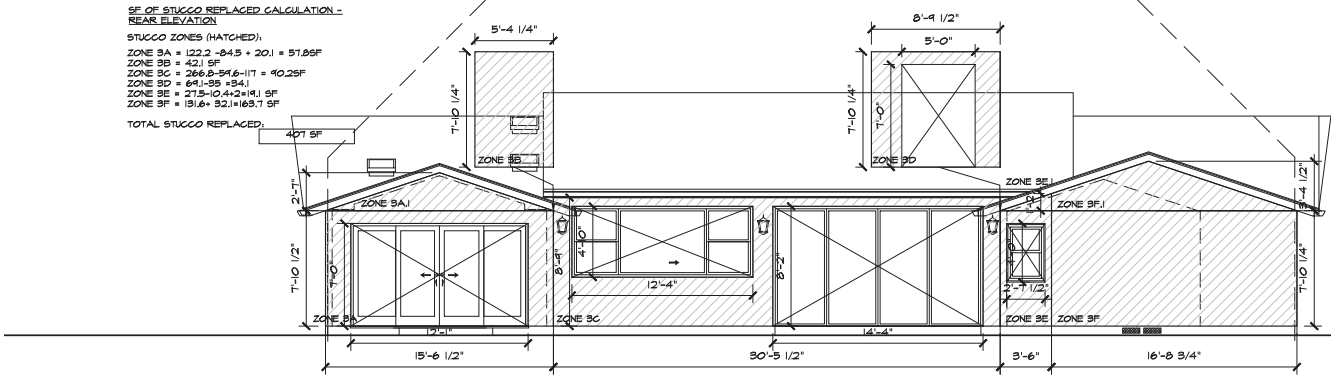
Proposed Development			
Proposed Development Type	Square Footage	Construction Cost	Development Value

Category 1. New square footage (areas of new foundation and/or wall framing)			
1st Floor Addition	340.23	X \$200/Sq Ft	\$68,046.00
2nd Floor Addition	0	X \$200/Sq Ft	\$0.00
Basement Floor Addition	0	X \$200/Sq Ft	\$0.00
Garage Addition	0	X \$70/Sq Ft	\$0.00

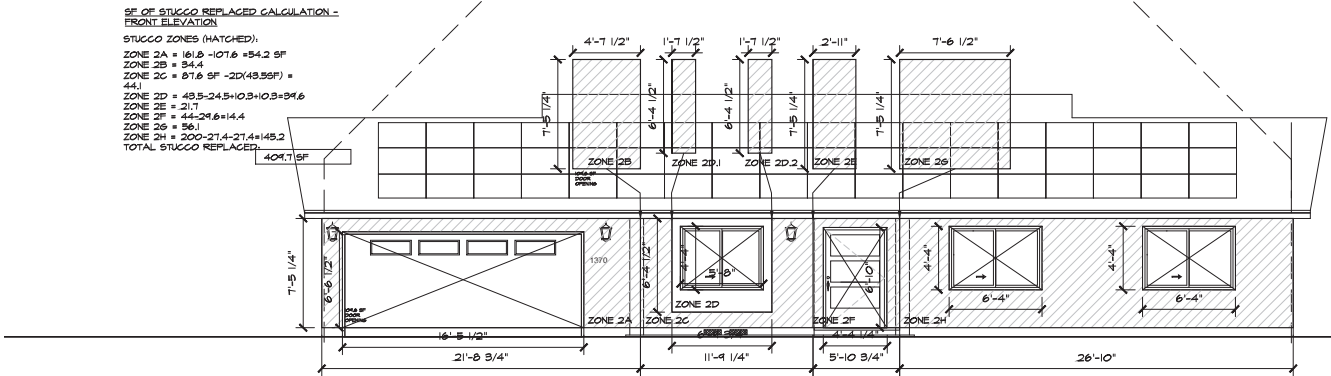
Category 2. Remodel of existing square footage, foundation and wall framing are both retained			
Remodel of Kitchen	134.13	X \$130/Sq Ft	\$17,436.90
Remodel of Bathrooms	209.08	X \$130/Sq Ft	\$27,180.40
Remodel of Other Living Areas	1710.32	X \$100/Sq Ft	\$171,032.00
Remodel of Garage	443.4	X \$35/Sq Ft	\$15,519.00

Category 3. Exterior modifications to existing structure			
New Roof Structure Over Existing Sq Ft	622.05	X \$50/Sq Ft	\$31,102.50
Replacement of Existing Windows/Exterior Doors	0	X \$35/Sq Ft	\$0.00
Replacement of Existing Siding	1717.5	X \$35/Sq Ft	\$60,112.50
Total	5180.51		\$381,279.30

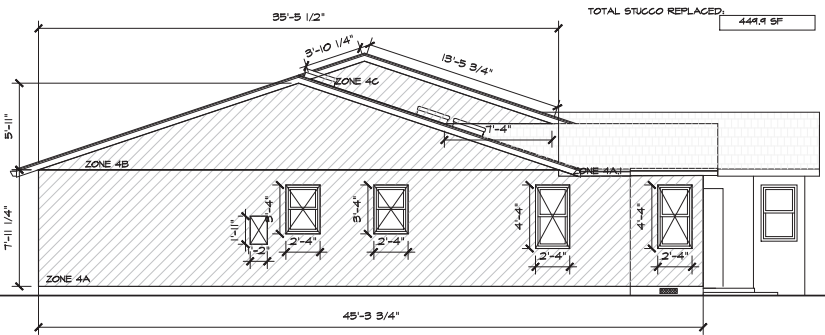
SF OF STUCCO REPLACED CALCULATION - REAR ELEVATION
 STUCCO ZONES (HATCHED):
 ZONE 9A = 122.2-94.5 + 20.1 = 57.85 SF
 ZONE 9B = 42.1 SF
 ZONE 9C = 266.8-94.6-11.7 = 160.5 SF
 ZONE 9D = 64.1-35 = 29.1 SF
 ZONE 9E = 27.5-10.4+2+14.1 = 33.2 SF
 ZONE 9F = 19.6+ 32.1+163.7 SF
 TOTAL STUCCO REPLACED: 407 SF



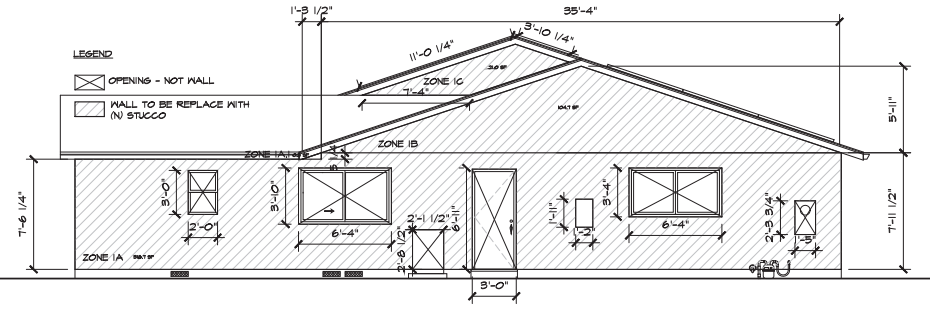
SF OF STUCCO REPLACED CALCULATION - FRONT ELEVATION
 STUCCO ZONES (HATCHED):
 ZONE 2A = 161.8 -101.6 = 60.2 SF
 ZONE 2B = 34.4
 ZONE 2C = 97.6 SF -2D(48.95SF) = 48.65 SF
 ZONE 2D = 48.5-24.5+10.3+10.3=94.6 SF
 ZONE 2E = 21.7
 ZONE 2F = 44-24.6=19.4 SF
 ZONE 2G = 56.1
 ZONE 2H = 200-27.4-27.4+145.2 = 200 SF
 TOTAL STUCCO REPLACED: 407.7 SF



SF OF STUCCO REPLACED CALCULATION - RIGHT ELEVATION
 STUCCO ZONES (HATCHED):
 ZONE 4A = 356.02-28 -2.2-7.7-7.7 -10.1+10.1= 318.49 SF
 ZONE 4B = 104.7 SF
 ZONE 4C = 28.8 SF
 TOTAL STUCCO REPLACED: 449.9 SF



SF OF STUCCO REPLACED CALCULATION - LEFT SIDE ELEVATION
 STUCCO ZONES (HATCHED):
 ZONE 1A = 407.9 +0.3 -6.0 -24.27 -5.7 -20.5 +2.2 -21.1 -8.2 = 323.29 SF
 ZONE 1B = 104.7 SF
 ZONE 1C = 21 SF
 TOTAL STUCCO REPLACED: 450 SF



SF OF STUCCO REPLACED CALCULATION - TOTALS
 FRONT ELEVATION: 407.7 SF
 LEFT ELEVATION: 450 SF
 REAR ELEVATION: 449.9 SF
 RIGHT ELEVATION: 448.9 SF
 TOTAL: 1,717.5 SF

LEGEND
 [Hatched Box] OPENINGS - NOT WALL
 [Solid Box] WALL TO BE REPLACE WITH (N) STUCCO

NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION - STUCCO REPLACEMENT

ISSUE LOG	
▲	BUILDING SUBMITTAL REV: # 2016
▲	PLANNING COMMISSION (JULY 29, 2017)
▲	BUILDING COMMENTS (AUG. 8, 2017)
▲	OWNER REVISIONS
▲	PLANNING COMMISSION (JUNE 30, 2017)

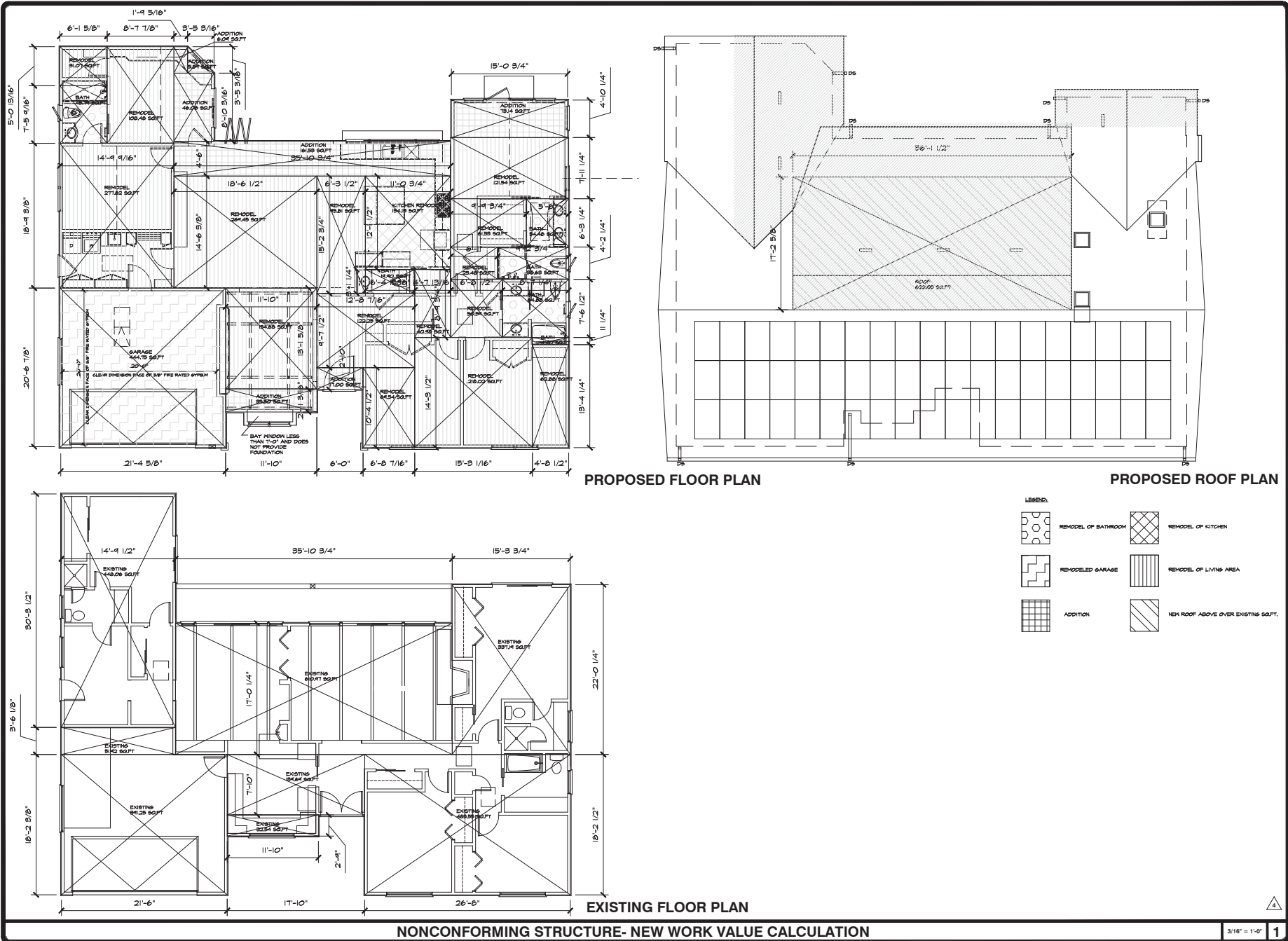
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ADDITION AND REMODEL FOR:
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 1370 DELFINO WAY
 MENLO PARK, CA 94025

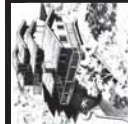
A.P.N. 071-014-100
 CHECKED BY: AV DRAWN BY: MM, OH
 DATE: 12.05.2016
 JOB: LANGER-SIEGEL

A0.3.1



ISSUE LOG	
▲	BUILDING SUBMITTAL PLANNING COMMISSION JAN 28, 2017
▲	BUILDING COMMENTS MAY 8, 2017
▲	OWNER REVISIONS
▲	PLANNING COMMISSION JUNE 30, 2017

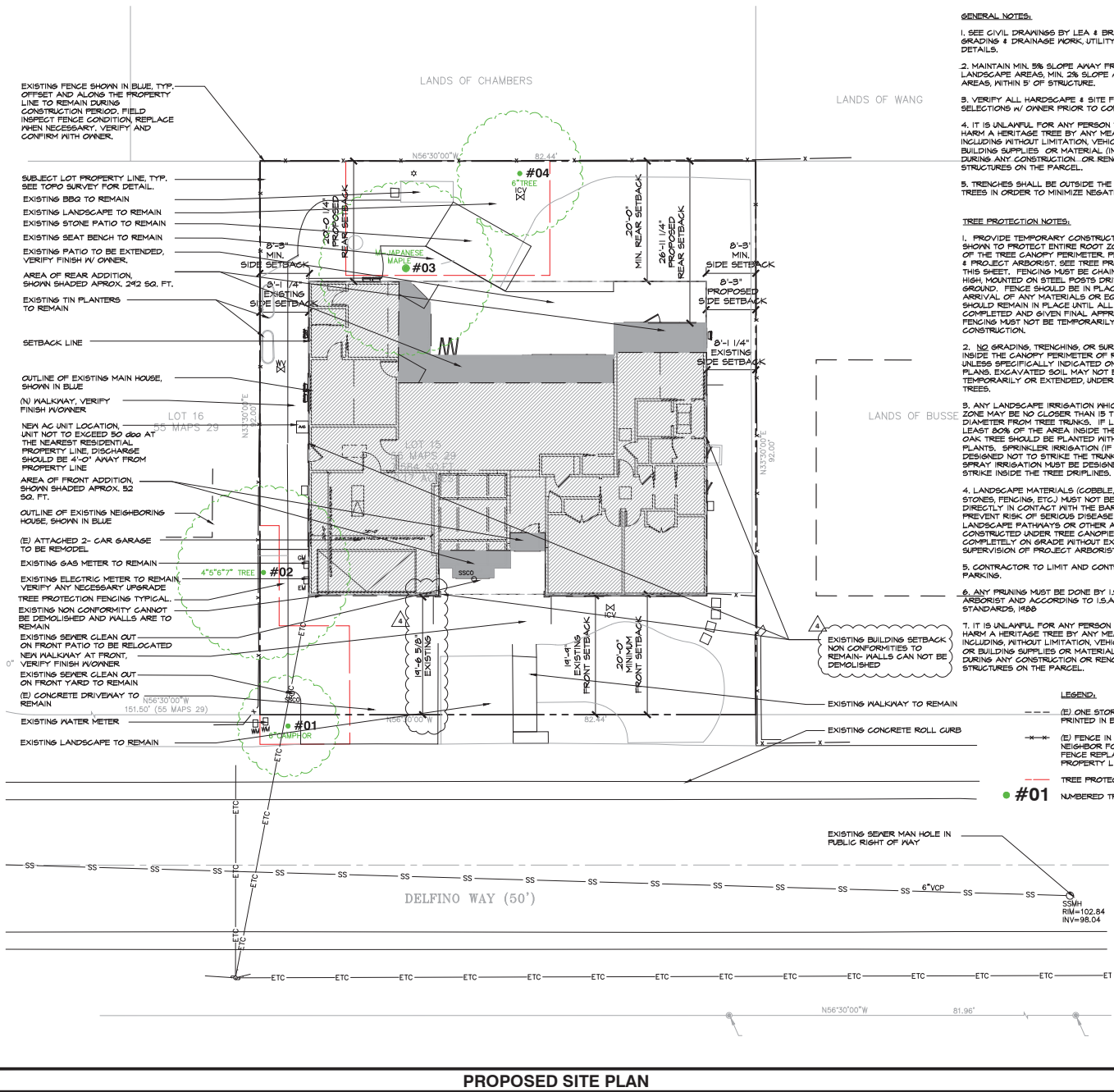
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CHECKED AY	DRAWN MM, LH
DATE 12.05.2016	
JOB # SIEGEL-LANGER	

A0.3.2



- GENERAL NOTES:**
1. SEE CIVIL DRAWINGS BY LEA & BRAZE FOR ALL GRADING & DRAINAGE WORK, UTILITY CONNECTIONS & DETAILS.
 2. MAINTAIN MIN. 5% SLOPE AWAY FROM FOUNDATION AT LANDSCAPE AREAS, MIN. 2% SLOPE AWAY AT PAVED AREAS, WITHIN 5' OF STRUCTURE.
 3. VERIFY ALL HARDSCAPE & SITE FINISH MATERIALS & SELECTIONS w/ OWNER PRIOR TO CONSTRUCTION.
 4. IT IS UNLAWFUL FOR ANY PERSON TO DAMAGE OR HARM A HERITAGE TREE BY ANY MEANS WHATSOEVER, INCLUDING WITHOUT LIMITATION, VEHICLES, MACHINERY OR BUILDING SUPPLIES OR MATERIAL (INCLUDING FLUIDS) DURING ANY CONSTRUCTION OR RENOVATION OF STRUCTURES ON THE PARCEL.
 5. TRENCHES SHALL BE OUTSIDE THE DRIP LINES OF THE TREES IN ORDER TO MINIMIZE NEGATIVE IMPACTS.

- TREE PROTECTION NOTES:**
1. PROVIDE TEMPORARY CONSTRUCTION FENCING AS SHOWN TO PROTECT ENTIRE ROOT ZONE TO OUTSIDE OF THE TREE CANOPY PERIMETER, PER TOWN ARBORIST & PROJECT ARBORIST. SEE TREE PROTECTION NOTES ON THIS SHEET. FENCING MUST BE CHAIN LINK, MINIMUM 5' HIGH, MOUNTED ON STEEL POSTS DRIVEN BY MIN. INTO GROUND. FENCE SHOULD BE IN PLACE PRIOR TO ARRIVAL OF ANY MATERIALS OR EQUIPMENT AND SHOULD REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED AND GIVEN FINAL APPROVAL. PROTECTIVE FENCING MUST NOT BE TEMPORARILY MOVED DURING CONSTRUCTION.
 2. NO GRADING, TRENCHING, OR SURFACE SCRAPING INSIDE THE CANOPY PERIMETER OF RETAINED TREES, UNLESS SPECIFICALLY INDICATED ON THE ENCLOSED PLANS. EXCAVATED SOIL MAY NOT BE STORED TEMPORARILY OR EXTENDED UNDER THE CANOPIES OF TREES.
 3. ANY LANDSCAPE IRRIGATION WHICH CROSSES A ROOT ZONE MAY BE NO CLOSER THAN 5 TIMES THE TRUNK DIAMETER FROM TREE TRUNKS. IF LANDSCAPED AT LEAST 50% OF THE AREA INSIDE THE ROOT ZONE OF AN OAK TREE SHOULD BE PLANTED WITH COMPATIBLE PLANTS. SPRINKLER IRRIGATION (IF ANY) MUST BE DESIGNED NOT TO STRIKE THE TRUNKS OF TREES. SPRAY IRRIGATION MUST BE DESIGNED TO AS NOT TO STRIKE INSIDE THE TREE DRIFTLINES.
 4. LANDSCAPE MATERIALS (COBBLE, DECORATIVE BARK, STONES, FENCING, ETC) MUST NOT BE INSTALLED DIRECTLY IN CONTACT WITH THE BARK OF TREES TO PREVENT RISK OF SERIOUS DISEASE OR INFECTION. LANDSCAPE PATHWAYS OR OTHER AMENITIES (IF ANY) CONSTRUCTED UNDER TREE CANOPIES MUST BE COMPLETELY ON GRADE WITHOUT EXCAVATION & WITH SUPERVISION OF PROJECT ARBORIST.
 5. CONTRACTOR TO LIMIT AND CONTROL STREET PARKING.
 6. ANY PRUNING MUST BE DONE BY I.S.A. CERTIFIED ARBORIST AND ACCORDING TO I.S.A. WESTERN CHAPTER STANDARDS, 1989.
 7. IT IS UNLAWFUL FOR ANY PERSON TO DAMAGE OR HARM A HERITAGE TREE BY ANY MEANS WHATSOEVER, INCLUDING, WITHOUT LIMITATION, VEHICLES, MACHINERY, OR BUILDING SUPPLIES OR MATERIAL (INCLUDING FLUIDS) DURING ANY CONSTRUCTION OR RENOVATION OF STRUCTURES ON THE PARCEL.

- LEGEND:**
- (E) ONE STORY HOUSE FOOTPRINT PRINTED IN BLUE
 - (E) FENCE IN BLUE, VERIFY WITH NEIGHBOR FOR NEW 6' WOOD FENCE REPLACEMENT ALONG THE PROPERTY LINE WHEN APPLY
 - TREE PROTECTION FENCE
 - #01 NUMBERED TREE TO REMAIN

EXISTING FENCE SHOWN IN BLUE, TYP. OFFSET AND ALONGS THE PROPERTY LINE TO REMAIN DURING CONSTRUCTION PERIOD. FIELD INSPECT FENCE CONDITION, REPLACE WHEN NECESSARY, VERIFY AND CONFIRM WITH OWNER.

SUBJECT LOT PROPERTY LINE, TYP. SEE TOPO SURVEY FOR DETAIL.

EXISTING BBQ TO REMAIN

EXISTING LANDSCAPE TO REMAIN

EXISTING STONE PATIO TO REMAIN

EXISTING SEAT BENCH TO REMAIN

EXISTING PATIO TO BE EXTENDED, VERIFY FINISH w/ OWNER.

AREA OF REAR ADDITION, SHOWN SHADED APPROX. 242 SQ. FT.

EXISTING TIN PLANTERS TO REMAIN

SETBACK LINE

OUTLINE OF EXISTING MAIN HOUSE, SHOWN IN BLUE

(N) WALKWAY, VERIFY FINISH w/OWNER

NEW AC UNIT LOCATION UNIT NOT TO EXCEED 50' dia AT THE NEAREST RESIDENTIAL PROPERTY LINE. DISCHARGE SHOULD BE 4'-0" AWAY FROM PROPERTY LINE

AREA OF FRONT ADDITION, SHOWN SHADED APPROX. 52 SQ. FT.

OUTLINE OF EXISTING NEIGHBORING HOUSE, SHOWN IN BLUE

(E) ATTACHED 2-CAR GARAGE TO BE REMODEL

EXISTING GAS METER TO REMAIN

EXISTING ELECTRIC METER TO REMAIN, VERIFY ANY NECESSARY UPGRADE

TREE PROTECTION FENCING TYPICAL

EXISTING NON CONFORMITY CANNOT BE DEMOLISHED AND WALLS ARE TO REMAIN

EXISTING SEWER CLEAN OUT ON FRONT PATIO TO BE RELOCATED

NEW WALKWAY AT FRONT, VERIFY FINISH w/OWNER

EXISTING SEWER CLEAN OUT ON FRONT YARD TO REMAIN

(E) CONCRETE DRIVEWAY TO REMAIN

EXISTING WATER METER

EXISTING LANDSCAPE TO REMAIN

EXISTING BUILDING SETBACK NON CONFORMITIES TO REMAIN, WALLS CAN NOT BE DEMOLISHED

ISSUE LOG	
▲	BUILDING SUBMITTAL REV. # 2016
▲	PLANNING COMMISSION (JAN. 28, 2017)
▲	BUILDING COMMENTS (MAY. 18, 2017)
▲	OWNER REVISIONS (MAY. 18, 2017)
▲	PLANNING COMMISSION (JUNE. 30, 2017)

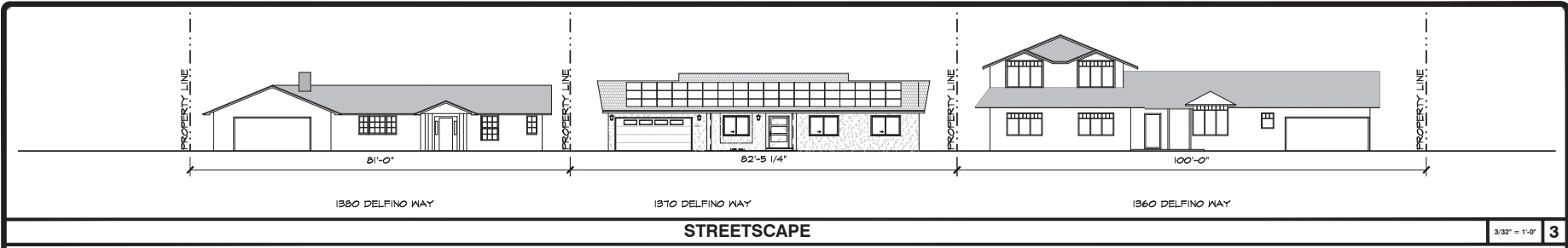
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ADDENDUM AND REMODEL FOR
LANGER- SIEGEL FAMILY TRUST
 1370 DELFINO WAY
 MENLO PARK, CA 94025

A.P.N. 071-014-100	
CHECKED BY	DATE
AY	12.05.2016
DATE	12.05.2016
BY	SIEGEL-LANGER

A0.4



STREETSCAPE

3/32" = 1'-0" **3**



NEIGHBORHOOD CONTEXT - SITE PLAN

1/32" = 1'-0" **2**



NEIGHBORHOOD PHOTOS

N.T.S. **1**

ISSUE LOG

- ▲ BUILDING SUBMITTAL - REV. # 2016
- ▲ PLANNING COMMENTS - JAN. 28, 2017
- ▲ BUILDING COMMENTS - MAR. 8, 2017
- ▲ OWNER REVISIONS -
- ▲ PLANNING COMMISSION - JUNE 30, 2017

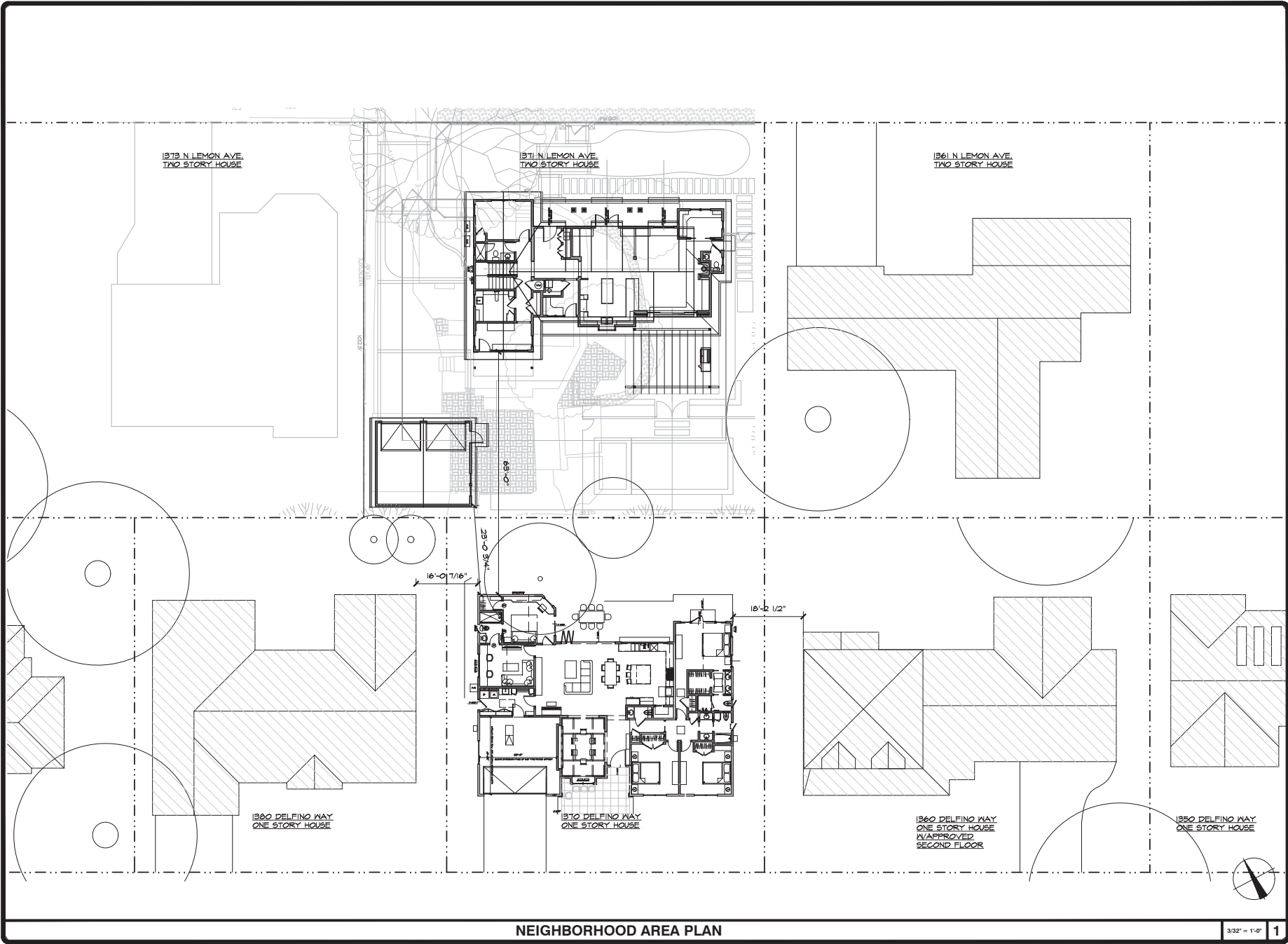
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ARCHITECT
 REGISTERED ARCHITECT
 C-21679
 STATE OF CALIFORNIA

**ADDITION AND REMODEL FOR:
 LANGER- SIEGEL FAMILY TRUST
 1370 DELFINO WAY
 MENLO PARK, CA 94025**

A.P.N. 071-014-100
 CHECKED BY: AV DRAWN: MM, OH
 DATE: 12.05.2016
 JOB: 1370 D
 SIEGEL-LANGER

A0.5.1



NEIGHBORHOOD AREA PLAN

3/32" = 1'-0" 1

ISSUE LOG	
▲	BUILDING SUBMITTAL REF: # 2011
▲	PLANNING COMMISSION JAN 28, 2011
▲	BUILDING COMMENTS MAY 26, 2011
▲	OWNER REVISIONS MAY 26, 2011
▲	PLANNING COMMISSION JUNE 30, 2011

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 CHECKED BY: AV DATE: 12.05.2016
 DRAWN BY: MM, OH
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A0.5.2

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DEMOLITION NOTES:

EXISTING ELEMENTS TO BE REMOVED OR MODIFIED SHOWN DASHED, TYPICAL. SEE ALSO PROPOSED FLOOR PLAN A2.1.

PRIOR TO DEMOLITION, WALK THROUGH WITH OWNER AND VERIFY ANY REMOVED PLUMBING, LIGHTING, FINISHES, WINDOWS, DOORS, ETC. TO BE SAVED FOR REUSE OR RELOCATION.

VERIFY CITY REQ'D WASTE DIVERSION PROGRAMS FOR DEMOLITION & CONSTRUCTION DEBRIS PRIOR TO DEMOLITION.

PROVIDE DUST SCREENING AS NECESSARY TO PROTECT UNTOUCHED AREAS DURING CONSTRUCTION.

SEAL OFF DUCT OPENINGS & VENTS PRIOR TO DEMOLITION & THROUGHOUT CONSTRUCTION TO PREVENT DUST INFILTRATION.

SEE ADDITIONAL DEMOLITION & FLOOR PLAN NOTES ON GENERAL NOTES SHEET A0.2

PRIOR TO DEMOLITION, VERIFY COMPLIANCE WITH E.P.A. REQ'D PRACTICES & CERTIFICATION FOR LEAD CONTAMINATION.

THE ENVIRONMENTAL PROTECTION AGENCY (E.P.A.) REQUIRES THAT FIRMS PERFORMING RENOVATION, REPAIR, AND PAINTING PROJECTS THAT DISTURB LEAD-BASED PAINT IN PRE-1978 HOMES, CHILD CARE FACILITIES, AND SCHOOLS BE CERTIFIED BY E.P.A. AND THAT THEY USE CERTIFIED RENOVATORS WHO ARE TRAINED BY E.P.A.-APPROVED TRAINING PROVIDERS TO FOLLOW LEAD-SAFE WORK PRACTICES.

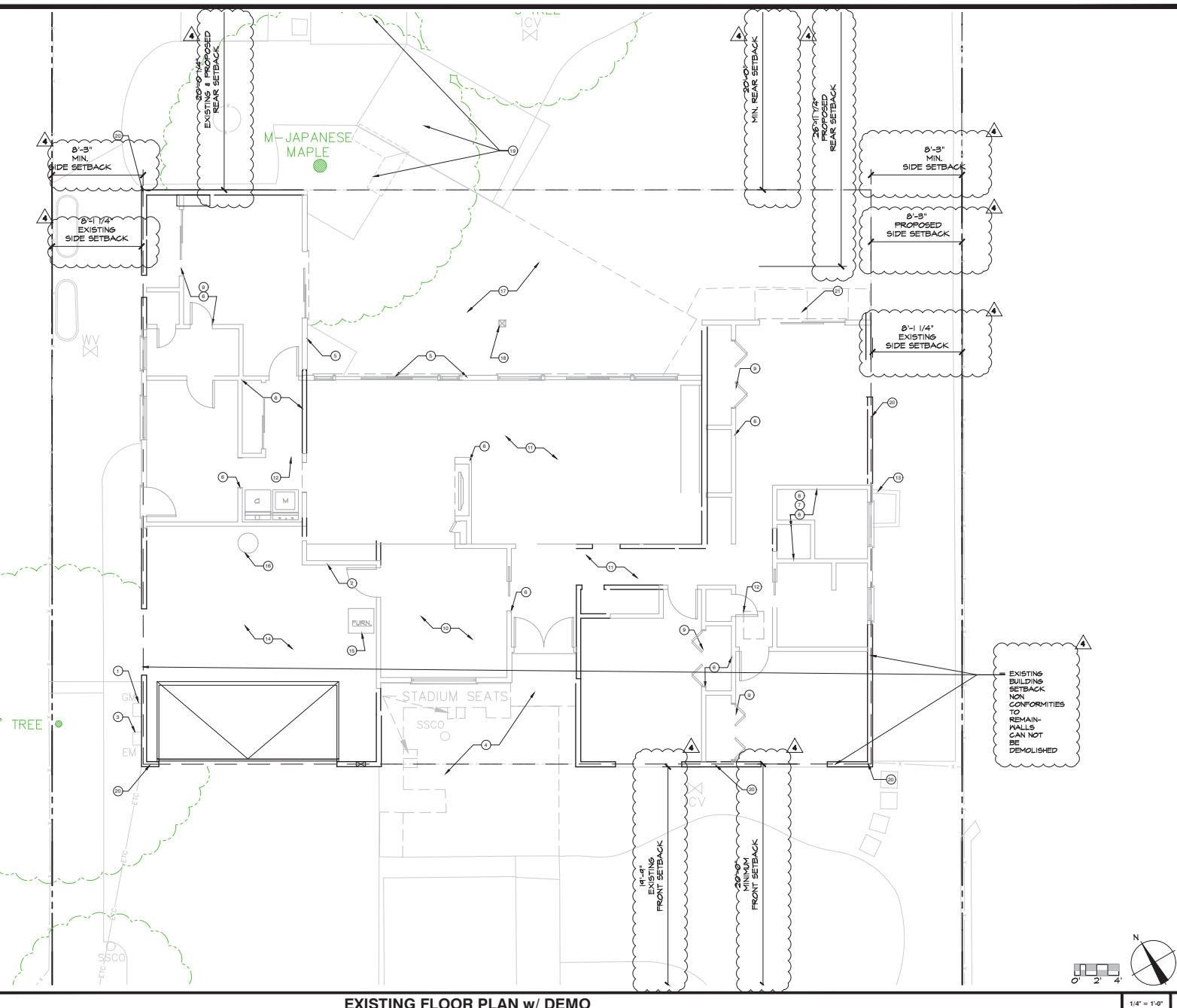
<http://www.epa.gov/lead/paint/renovation.htm>

CONTRACTORS TO PROVIDE ALL WORK IN COMPLIANCE WITH REQUIRED LEAD-SAFE WORK PRACTICES, PROJECT DOCUMENTATION, AND PROFESSIONAL CERTIFICATIONS.

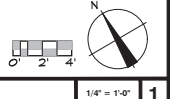
KEYNOTES:

1. (E) GAS METER TO REMAIN
2. (E) GARAGE WALL TO BE CAREFULLY DEMOLISHED- CONTRACTOR TO VERIFY/ PROVIDE SHORING OF ROOF.
3. (E) ELECTRICAL METER TO REMAIN
4. (E) STONE LANDINGS AND CONCRETE PATIO TO BE REMOVED.
5. (E) REAR WALL, DOORS & WINDOWS TO BE DEMOLISHED FOR THE (N) PLAN- SEE A2.1.1
6. (E) INTERIOR WALLS & DOORS TO BE DEMOLISHED
7. ENTIRE (E) BATHROOM & CLOSET TO BE COMPLETELY DEMOLISHED TO FRAMING, CAP (E) PLUMBING.
8. (E) PLUMBING FIXTURES AND FINISHES TO BE REPLACED, SEE A2.1.1. VERIFY W/ OWNER.
9. (E) CLOSET DOOR & WALL TO BE REMOVED
10. (E) KITCHEN TO BE COMPLETELY DEMOLISHED. SEE A2.1.1
11. (E) HARDWOOD FLOORS TO BE REPLACE THROUGH ENTIRE HOUSE TO MATCH (E), SAND & STAIN REFINISH HARDWOOD THROUGHOUT ENTIRE HOME TO ALL MATCH (N) & (E)
12. (E) ATTIC ACCESS TO BE RELOCATED
13. (E) CRAWLSPACE ACCESS TO REMAIN
14. (E) GARAGE TO BE REMODEL...
15. (E) FURNACE TO BE RELOCATED
16. (E) WATER HEATER TO BE REMOVED
17. (E) REAR PATIO TO BE EXTENDED, VERIFY FINISH W/OWNER.
18. (E) PATIO COLUMN TO BE REMOVED
19. (E) BBQ SEAT BENCH AND STONE PATIO TO REMAIN.
20. EXISTING NON CONFORMITY CANNOT BE DEMOLISHED AND THE WALLS ARE TO REMAIN.
21. EXISTING WOOD STEP TO BE REMOVED.

- LEGEND**
- KEY NOTES
 - ▭ (E) WALL TO REMAIN
 - ▭ (E) WALL TO BE DEMOLISHED



EXISTING FLOOR PLAN w/ DEMO



ISSUE LOG	
BUILDING SUBMITTAL	DEC 8, 2018
PLANNING COMMENTS	12/11/18
BUILDING COMMENTS	12/11/18
OWNER REVISIONS	12/11/18
PLANNING COMMISSION	JUNE 30, 2017

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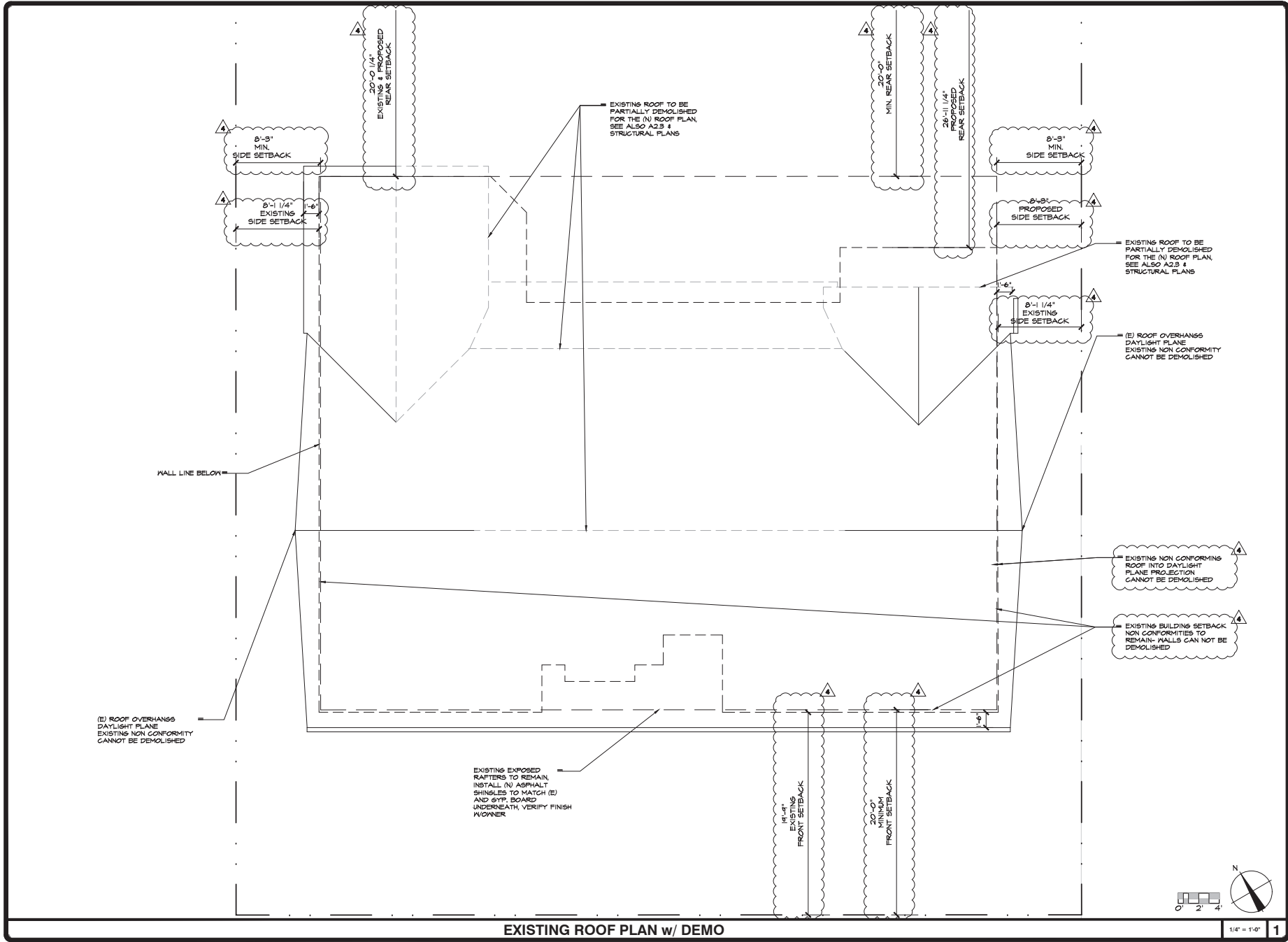
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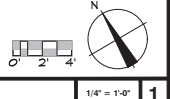
ADDITION AND REMODEL FOR:
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1370 DELFINO WAY
MENLO PARK, CA 94025

A.P.N. 071-014-100	DATE
CHECKED BY: AV	12.06.2018
DRAWN BY: MM, OH	
DESIGNER: SIEGEL-LANGER	

A1.1



EXISTING ROOF PLAN w/ DEMO



ISSUE LOG	
▲	BUILDING SUBMITTAL DEC. 8, 2016
▲	PLANNING COMMISSION JAN. 28, 2017
▲	BUILDING COMMENTS MAR. 23, 2017
▲	OWNER REVISIONS MAR. 23, 2017
▲	PLANNING COMMISSION JUNE 30, 2017

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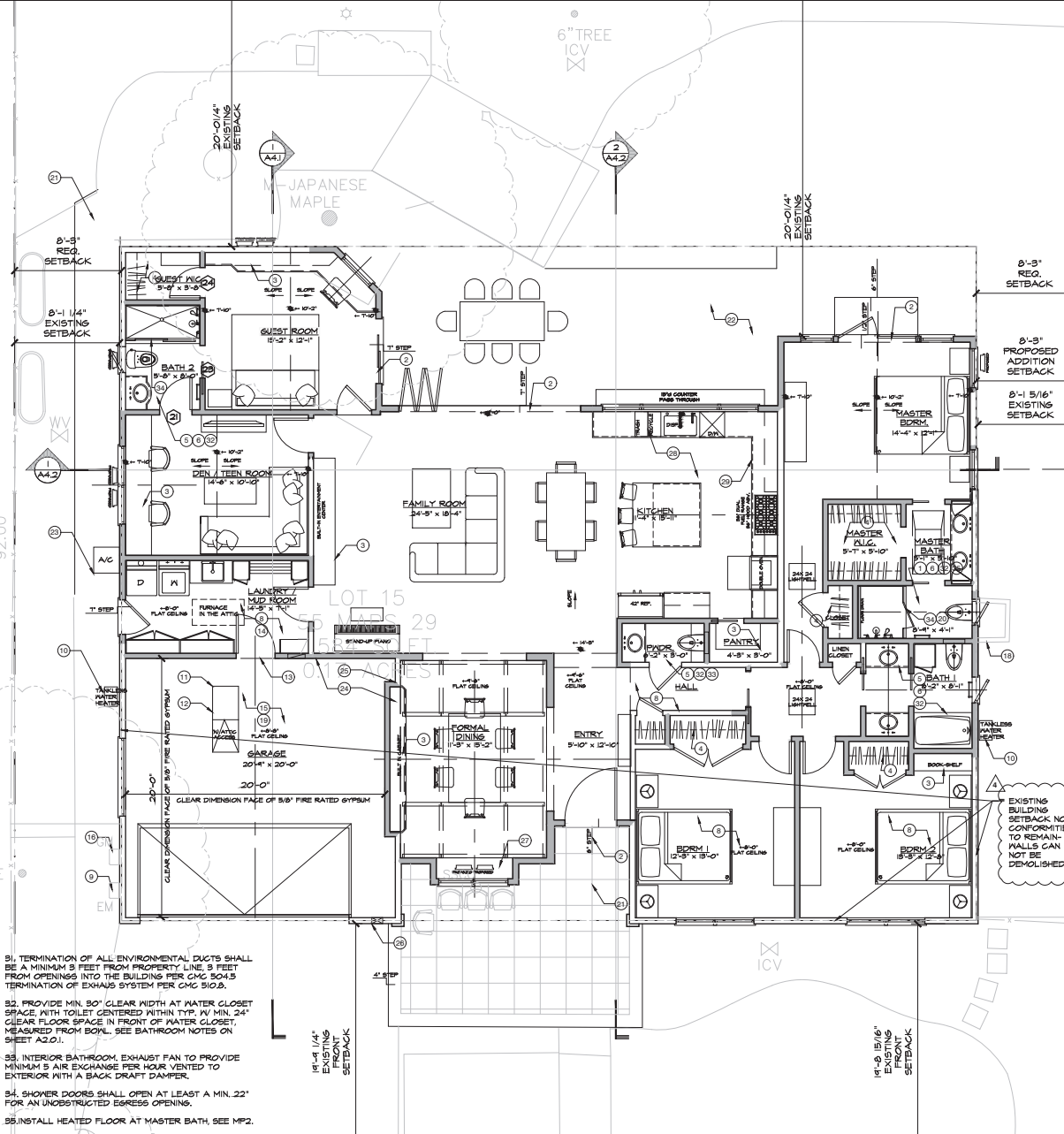
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LANGER-SIEGEL FAMILY TRUST
 1370 DELFINO WAY
 MENLO PARK, CA 94025

A.P.N. 071-014-100
 CHECKED BY: AV DATE: 12.06.2016
 DRAWN BY: MM/OH
 ARCHITECT: SIEGEL-LANGER

A1.2

KEY NOTES:

1. (N) MASTER BATH CABINETS W/ STONE COUNTERTOPS & TUB PLATFORM, KOHLER OR EQUAL PLUMBING FIXTURES, STONE OR CERAMIC TILE FLOORING & SHOWER ENCLOSURE. VERIFY ALL SELECTIONS, FINISHES, ACCESSORIES, ETC. WITH OWNER & INTERIOR DESIGNER.
2. PROVIDE LEVEL LANDING AT ALL EXTERIOR DOORS - 56" DEEP FOR FULL WIDTH OF DOOR OPENING, MAX. 1/2" DROP @ INSIDE & SLIDING DOORS, MAX. 1" DROP @ OUTSILING DOORS FROM THRESHOLD TO EXTERIOR SURFACE.
3. (N) PRE-FABRICATED (IKEA OR SIMILAR) SHELVING & CABINETRY, VERIFY W/ INTERIOR DESIGNER.
4. (N) BUILT-IN CLOSET, VERIFY SHOP DRAWINGS W/ OWNER.
5. (N) BATH CABINETS W/ COUNTERTOPS, KOHLER OR EQUAL PLUMBING FIXTURES, STONE OR CERAMIC TILE FLOORING & BATH TUB OR SHOWER ENCLOSURE. VERIFY ALL SELECTIONS, FINISHES, ACCESSORIES, ETC. WITH OWNER.
6. AT ALL SHOWERS AND TUBS WITH SHOWERS, WALL COVERINGS SHALL BE PORTLAND CEMENT CONCRETE, CERAMIC OR STONE TILE, OR APPROVED EQUAL TO 20" ABOVE DRAIN, MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT. VERIFY FINISH MATERIALS W/ OWNER. INSTALL HOT-NOP SHOWER PAN @ ALL SHOWERS (TYPICAL).
7. BASE MATERIAL BENEATH SHOWER PAN TO SLOPE TO DRAIN PER 2018 IRC 413. VERIFY DRAIN LOCATION W/ OWNER. TEMPERED GLASS @ WINDOW AND SHOWER ENCLOSURE. SHOWER DOORS @ ENCLOSURES SHALL BE FRAMELESS TEMPERED 3/8" GLASS, VERIFY W/ OWNER. SHOWERS AND TUB/SOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE THERMOSTATIC MIXING OR PRESURE-BALANCE TYPE ADJUSTED TO 120 DEGREES MAXIMUM.
8. (N) RECEDING GARAGE WALL, NO FOUNDATION REQUIRED, SEE STRUCTURAL PLANS.
9. (E) FLAT CEILING TO REMAIN- VERIFY REFINISH PAINT PER OWNER.
10. (E) ELECTRICAL METER TO REMAIN.
11. (N) TANKLESS WATER HEATER.
12. (N) FURNACE IN THE ATTIC- VERIFY UPGRADE/ VERIFY W/ MECHANICAL CONTRACTOR & OWNER.
13. (N) ACCESS TO ATTIC SPACE ABOVE GARAGE, PROVIDE 20 MIN. FIRE RATED & SELF-CLOSING DOOR.
14. (N) DOOR @ GARAGE, SOLID CORE 20-MIN FIRE RATED W/ SELF CLOSER & SMOKE SEAL.
15. (N) LAUNDRY AREA, PROVIDE PLUMBING & ELECTRICAL INSTALLATIONS FOR WASHER AND DRYER, VERIFY REQUIREMENTS W/ OWNER.
16. MAINTAIN MIN. 10'-0" WIDTH & 20'-0" DEPTH CLEARANCE FOR REG'D CAR PARKING SPACE. PROVIDE 3/4" TYPE 'X' GYPSUM BD, FINISH CONTINUOUS THROUGHOUT GARAGE COMMON WALLS AT LIVING SPACES.
17. (E) GAS METER TO REMAIN.
18. VERIFY LOCATION OF (E) AC UNIT.
19. (E) CRAWLSPACE ACCESS TO REMAIN, MIN 18"X24"
20. (E) GARAGE SLAB TO REMAIN.
21. (N) CURBLESS SHOWER.
22. (N) FRONT PATIO, VERIFY FINISH W/ OWNER.
23. (N) REAR PATIO EXTENSION, VERIFY FINISH W/ OWNER.
24. (N) AC UNIT NOT TO EXCEED 50 DB @ THE NEAREST RESIDENTIAL PROPERTY LINE. DISCHARGE SHOULD BE 4'-0" AWAY FROM PROPERTY LINE.
25. INSTALL TYPE 'X' FIRE RATED 3/4" GYPSUM DRYWALL ALONG GARAGE WALLS AND CEILING.
26. (N) FIRE RATED ACCESS DOOR AT ATTIC.
27. (N) BENCH OR SEATING AREA, VERIFY W/ OWNER & INTERIOR DESIGNER.
28. (N) KITCHEN CABINETS, COUNTERS, APPLIANCES, ACCESSORIES & FINISHES PER OWNER, TYPICAL. PROVIDE SHOP DRAWINGS FOR APPROVAL. PROVIDE APPLIANCE DIMENSIONS, SPECIFICATIONS, CIRCUTS, ELECTRICAL & GAS REQUIREMENTS, ETC. TO FRAMERS & CABINET MAKERS PRIOR TO CONSTRUCTION, PROVIDE BUILT-IN RECYCLING CENTER NEXT TO TRASH COMPACTOR.
29. 56" DUAL FUEL RANGE AND WALL HOOD, KITCHEN EXHAUST FAN SHALL BE MIN. 100CFM WITH A MIN. 5" SMOOTH DUCT, NO LONGER THAN 80' OF DUCT RUN, SUBTRACT 15' OF ALLOWABLE LENGTH FOR EACH ELBOW. PROPOSE EXHAUST DUCT TERMINATED AT WALL. PROVIDE BACKDRAFT DAMPER, KITCHEN RANGE HOOD, CONFIRM RANGE AND HOOD CLEARANCES AND MINIMUM CFM FOR EXHAUST OF FUEL GAS FUMES IN KITCHEN.
30. NOT USED.
31. TERMINATION OF ALL ENVIRONMENTAL DUCTS SHALL BE A MINIMUM 3 FEET FROM PROPERTY LINE, 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 504.5 TERMINATION OF EXHAUST SYSTEM PER CMC 510.3.
32. PROVIDE MIN. 80" CLEAR WIDTH AT WATER CLOSET SPACE, WITH TOILET CENTERED WITHIN TYP. W/ MIN. 24" CLEAR FLOOR SPACE IN FRONT OF WATER CLOSET, MEASURED FROM BOYLE. SEE BATHROOM NOTES ON SHEET A2.0.
33. INTERIOR BATHROOM, EXHAUST FAN TO PROVIDE MINIMUM 3 AIR EXCHANGES PER HOUR VENTED TO EXTERIOR WITH A BACK DRAFT DAMPER.
34. SHOWER DOORS SHALL OPEN AT LEAST A MIN. 22" FOR AN UNOBSTRUCTED EGRESS OPENING.
35. INSTALL HEATED FLOOR AT MASTER BATH, SEE MP2.



GENERAL NOTES:

VERIFY ALL HARDSCAPE & LANDSCAPE LAYOUTS & FINISHES WITH OWNER.

ALL NEW WALLS SHOWN SHADED, TYPICAL. SEE DEMOLITION PLAN A1 FOR WALLS TO BE REMOVED OR REPAIR.

EXTERIOR WALLS - 7/8" STUCCO FINISH OF 3-COAT APPLICATION & CONTINUOUS 61" VEEP SCHEDULE AT MUDSILL, OVER METAL LATH, OVER 2 LAYERS GRADE 17' BLDG. PAPER, OVER EXTERIOR SHEAR PLYTD, OVER 2x FRAMING @ 16" O.C. U.N.O. SEE STRUCTURAL PLANS FOR SHEAR WALL & HOLDDOWN LOCATIONS & NAILING.

INTERIOR WALLS - 5/8" 6"FP. BD. ON 2x4 STUDS @ 16" O.C. U.N.O. SEE STRUCTURAL PLANS FOR SHEAR WALL & HOLDDOWN LOCATIONS & NAILING. (2x6 MIN. @ PLUMBING WALLS). 5/8" TYPE 'X' GYPSUM BOARD @ ALL SEPARATION WALLS & CEILING IN GARAGE AND AT ENCLOSED SPACE UNDER STAIRS.

ALL NEW WINDOWS & FRENCH DOORS TO BE VINYL FRAME DUAL-PANE TO MATCH EXISTING W/ DIVIDED LIGHTS AS SHOWN ON ELEVATIONS. PROVIDE TEMPERED GLASS AT ALL GLAZED DOORS AND GLAZING WITHIN 24" OF A DOOR OR WITHIN 18" OF FINISHED FLOOR. PROVIDE TEMPERED GLAZING AT WINDOWS AT SHOWERS AND ABOVE BATHTUBS. SEE C.R.C. NOTES ON SHEET A2.2.

FRAMING CONTRACTOR SHALL CAREFULLY REVIEW ALL ELECTRICAL, MECHANICAL, & STRUCTURAL PLANS AND CONSIDER ALL ISSUES IN LOCATION OF SIGNIFICANT BEAMS AND LAYOUT OF FLOOR & CEILING JOISTS TO ACCOMMODATE LIGHT GAINS, PLUMBING, MINIMIZE HEADING OFF, CENTER FLOOR RESISTERS W/ DOORS, ALIGN CHUTES & CHASES, ETC.

ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF WINDOW/DOOR, TYP. U.N.O. VERIFY ALL CRITICAL DIMENSIONS AT EXISTING ELEMENTS IN FIELD PRIOR TO FRAMING.

ALIGN FRAMING PATCH DRYWALL, TIE IN W/ EXISTING FINISHES. CONTRACTOR TO PROVIDE SCREENING FOR DUST & NOISE DURING CONSTRUCTION- VERIFY W/ OWNER.

VERIFY FINISH SELECTIONS, BASEBOARD, CEILING TRIM, AND DOOR & WINDOW CASINGS W/ OWNER IN FIELD. PROVIDE BLOCKING AS NECESSARY. VERIFY PAINT AND COLOR SECTIONS W/ OWNER IN FIELD.

MECHANICAL CONTRACTOR TO VERIFY ALL AIR DUCTS, CHASES, LOCATIONS, CONFIGURATIONS, ETC. W/ FRAMING CONTRACTOR DURING FOUNDATION WORK. PRIOR TO FRAMING, PLACE DUCTS OUT OF THE WAY IN ATTICS, CRAWLSPACES, ETC.

NATURAL CRAWL SPACE VENTILATION

CRAWL SPACE REAR ADDITION AREA: 316.10 SF
 REQ'D NET FREE VENT AREA: 316.10 SF / 150 S.F. = 2.10 S.F. @ 50 S.Q. IN.

PROVIDE 4"x14" WIRE SCREEN AT BLOCKING, BLOCKING NET FREE VENT AREA = 4 x 14 = 56 S.Q. IN.

309 S.Q. IN. REQ'D / 56 S.Q. IN./VENT = 6 VENTS.

PROPOSE 6 BLOCKS OF 4"x14" WIRE SCREEN FOUNDATION VENTS COVERED W/ CORROSION-RESISTANT WIRE MESH, W/ MESH OPENINGS OF 1/4" IN DIMENSION.

CRAWL SPACE FRONT ADDITION AREA: 60.82 SF
 REQ'D NET FREE VENT AREA: 60.82 SF / 150 S.F. = 0.40 S.F. @ 56 S.Q. IN.

PROVIDE 4"x14" WIRE SCREEN AT BLOCKING, BLOCKING NET FREE VENT AREA = 4 x 14 = 56 S.Q. IN.

58.38 S.Q. IN. REQ'D / 56 S.Q. IN./VENT = 2 VENTS.

PROPOSE 2 BLOCKS OF 4"x14" WIRE SCREEN FOUNDATION VENTS COVERED W/ CORROSION-RESISTANT WIRE MESH, W/ MESH OPENINGS OF 1/4" IN DIMENSION.

KEY TO SYMBOLS:

- PROPOSED WALL
- ① FLOOR PLAN KEY NOTES
- ⊕ EXTERIOR DOOR AND WINDOW UNIT SYMBOL, SEE SHEET A1.1
- ⊕ FOR EGRESS
- ⊕ FOR TEMPERED
- ⊕ INTERIOR DOOR UNIT SYMBOL, SEE SHEET A1.1
- ⊕ 4"x14" CRAWL SPACE VENT, BLOCK-OUT VENTS @ CURTAIN WALL, REFER TO STRUCTURAL FOUNDATION PLAN FOR LOCATION OF THE CURTAIN WALL. ALSO REFER TO KEEP PLANS FOR DESIGNATED OPENINGS FOR FRESH AIR INTAKE, COUVENTION-AIR OPENINGS, ETC.

ISSUE LOG

1	BUILDING SUBMITTAL	REP. # 2016
2	PLANNING COMMISSION	MAY 19, 2017
3	BUILDING COMMENTS	MAY 19, 2017
4	OWNER REVISIONS	MAY 19, 2017
5	PLANNING COMMISSION	JUNE 30, 2017

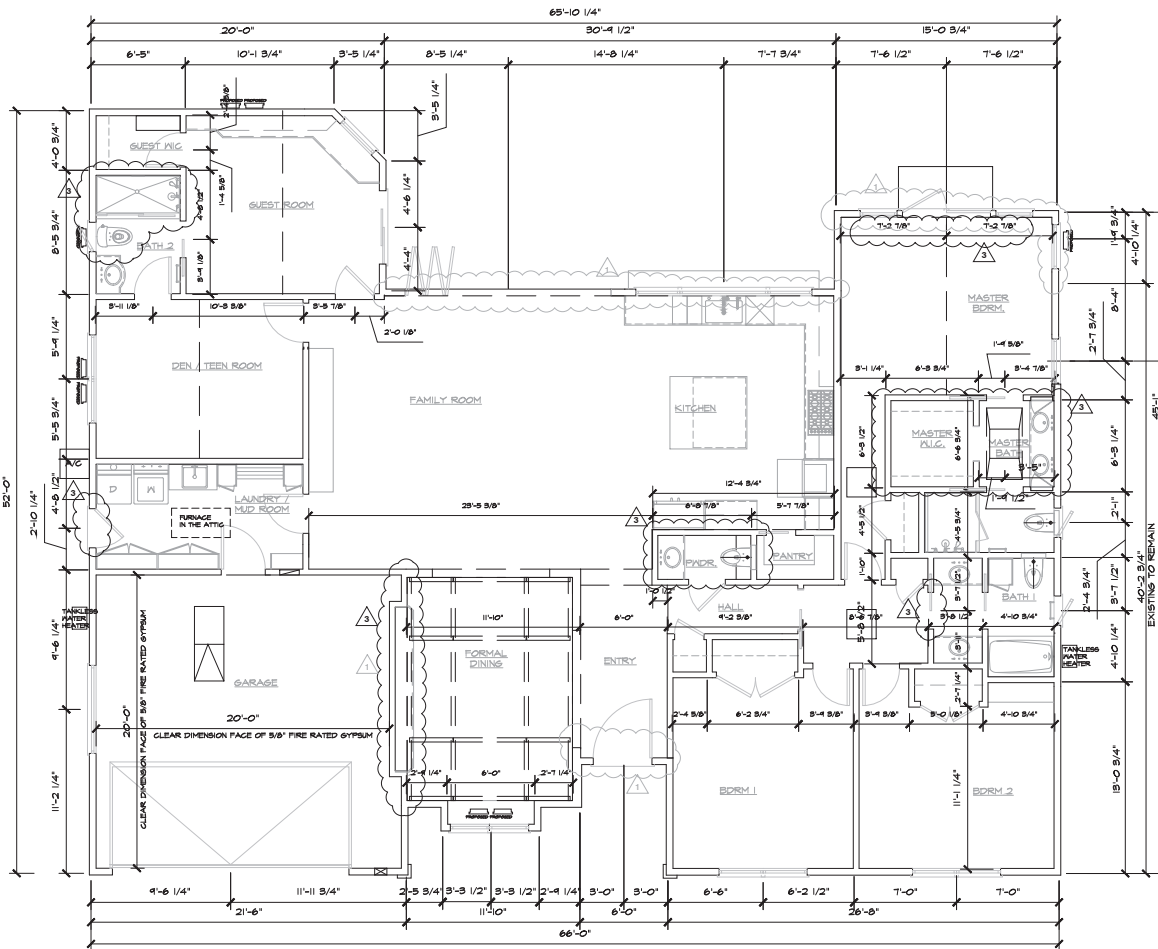
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A.P.N. 071-014-110
 CHECKED BY: DATE: 12.05.2016
 DRAWN BY: MM, OH
 JOB # 1608
A2.1.1

PROPOSED FLOOR PLAN



FRAMING NOTES:
 ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR CENTERLINE OF WINDOWS, DOORS, COLUMNS UNLESS OTHERWISE NOTED.

FRAMING CONTRACTOR SHALL CAREFULLY REVIEW ALL ELECTRICAL, MECHANICAL, & STRUCTURAL PLANS AND CONSIDER ALL ISSUES IN LOCATION OF SIGNIFICANT BEAMS AND LAYOUT OF FLOOR & CEILING JOISTS TO ACCOMMODATE LIGHT CANS, PLUMBING, MINIMIZE HEADING OFF, CENTER FLOOR REGISTERS IV WINDOWS, ALIGN GATES & GATES, ETC.

SEE DOOR & WINDOW SCHEDULE M1-1-4. VERIFY ROUGH OPENINGS OF ALL NEW UNITS PRIOR TO CONSTRUCTION.

VERIFY ALL PLUMBING FIXTURES, APPLIANCES, LIGHTING SELECTIONS, DIMENSIONS, & REQUIREMENTS ETC. IV OWNER PRIOR TO ROUGH FRAMING. COORDINATE WITH FRAMING CONTRACTOR.

SEE ELECTRICAL PLANS L62.1, L62.3 & L62.5 FOR LIGHTS, SWITCHES, OUTLETS, TV PHONE LOCATIONS, ETC. VERIFY IV ELECTRICIAN, OWNER DURING FRAMING. COORDINATE ALIGNMENT IV TILE FINISHES, HEIGHTS, WALL DEPTHS & FINISH BLOCKING, ETC.

MECHANICAL CONTRACTOR TO VERIFY ALL AIR DUCTS, CHASES, LOCATIONS, CONFIGURATIONS, ETC. IV FRAMING CONTRACTOR DURING FOUNDATION WORK. PRIOR TO FRAMING. PLACE DUCTS OUT OF THE WAY IN ATTICS, CRAWLSPACE, ETC.

SEE PROPOSED FLOOR PLANS FOR ADDITIONAL ARCHITECTURAL AND FINISH NOTES.

NOTE TO FRAMER AND GENERAL CONTRACTOR:

FN-1. GENERAL CONTRACTOR TO COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL SUBCONTRACTORS FOR SIZES, LOCATIONS AND CLEARANCE AT ALL STRUCTURAL ITEMS INCLUDING FOUNDATION BLOCK-OUTS FOR VENTING AND HVAC, ELECTRICAL PANEL AND JUNCTION BOX SIZE AND LOCATIONS, BLOCKING REQUIRED FOR FIXTURES AND EQUIPMENT MOUNTING, ETC.

FN-2. FRAMING CONTRACTOR IS RESPONSIBLE FOR ALL PICK-UP FRAMING, BLOCKING FOR ACCESSORIES AS SHOWN ON THE ARCHITECTURAL PLANS, AND FOR ALL RIPS AND SHIMMING TO ALIGN FINISHES AT STRUCTURAL CONNECTORS, STRING LINE EACH SURFACE AND DETERMINE NECESSARY PADDING OF WALLS PRIOR TO SHEETROCK. ALLOWANCE FOR PROVIDING SHIM STRIPS, BLOCKS, ETC. AS REQUIRED TO PROVIDE STRAIGHT / LEVEL WALL SURFACES IS TO BE INCLUDED IN THE FRAMERS BID FOR THE SCOPE OF WORK SHOWN ON THESE DRAWINGS.

FN-3. ALL EXTERIOR WALLS TO BE 2X STUDS @ 16" O.C. INTERIOR WALLS TO BE 2X STUDS @ 16" O.C. EXCEPT 2X6 MIN. @ PLUMBING WALLS. INTERIOR LOAD BEARING WALLS. SEE S-SHEETS FOR SHEAR WALL SCHEDULE AND LOCATION. VERIFY HVAC & PLUMBING FOR MEP CHASE LOCATION AND SIZE. GENERAL CONTRACTOR TO VERIFY IV SUBSTRATES.

FN-4. VERIFY ROUGH & CUT-IN AT ALL CABINETS.
 FN-5. VERIFY CENTERLINE ALIGNMENTS IN FIELD.

FIRE BLOCKING NOTES:

FIRE BLOCKING SHALL BE PROVIDED AS:
 FB-1. IN CONCEALED SPACES OF STUD WALL AND PARTITIONS, INCLUDING FURRED SPACES, THE CEILING AND FLOOR LEVELS AND AT 10' INTERVALS BOTH VERTICAL AND HORIZONTAL.

FB-2. AT ALL INTER CONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS, DROP CEILING AND COVE CEILINGS.

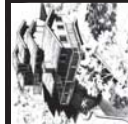
FB-3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN THE STUDS ALONG AND INLINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.

FB-4. IN OPENINGS AROUND VENTS, PIPES, AND SIMILAR OPENINGS THAT AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIALS.

FB-5. AT OPENINGS BETWEEN ATTIC SPACES AND CHASES FOR FACTORY BUILT APPLIANCES.

ISSUE LOG	
▲ BUILDING SUBMITTAL	BUILDING PERMIT
▲ PLANNING COMMENTS	REP. # 2016
▲ BUILDING COMMENTS	MAR. 28. 2017
▲ OWNER REVISIONS	MAR. 28. 2017
▲ PLANNING COMMISSION	JUNE 30. 2017

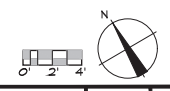
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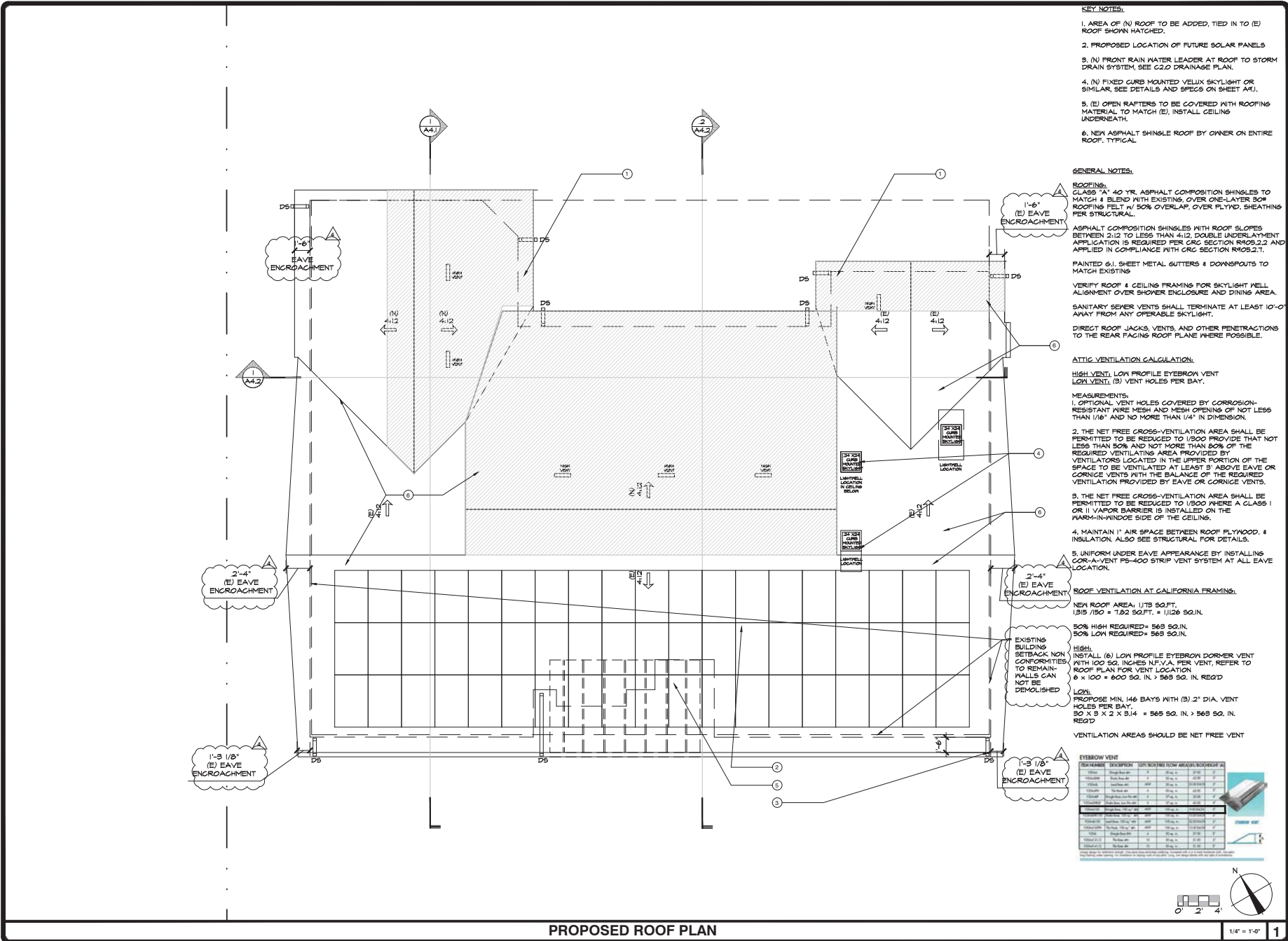
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DATE	JOB #
	SIEGEL-LANGER

A2.1.2



PROPOSED DIMENSION PLAN

1/4" = 1'-0" 1



- KEY NOTES:**
1. AREA OF (N) ROOF TO BE ADDED, TIED IN TO (E) ROOF SHOWN HATCHED.
 2. PROPOSED LOCATION OF FUTURE SOLAR PANELS
 3. (N) FRONT RAIN WATER LEADER AT ROOF TO STORM DRAIN SYSTEM. SEE G.O.D. DRAINAGE PLAN.
 4. (N) FIXED CURB MOUNTED VELUX SKYLIGHT OR SIMILAR. SEE DETAILS AND SPEC'S ON SHEET A4.1.
 5. (E) OPEN RAFTERS TO BE COVERED WITH ROOFING MATERIAL TO MATCH (E). INSTALL CEILING UNDERNEATH.
 6. NEW ASPHALT SHINGLE ROOF BY OWNER ON ENTIRE ROOF. TYPICAL.

GENERAL NOTES:

ROOFING:
CLASS 1A 40 YR. ASPHALT COMPOSITION SHINGLES TO MATCH 4 BLEND WITH EXISTING, OVER ONE-LAYER 30# ROOFING FELT W/ 50% OVERLAP, OVER PLYMD. SHEATHING PER STRUCTURAL.

ASPHALT COMPOSITION SHINGLES WITH ROOF SLOPES BETWEEN 2:12 TO LESS THAN 4:12 DOUBLE UNDERLAYMENT AND APPLIED IN COMPLIANCE WITH CRC SECTION R905.2.2.

PAINTED 6:1 SHEET METAL GUTTERS & DOWNSPOUTS TO MATCH EXISTING

VERIFY ROOF & CEILING FRAMING FOR SKYLIGHT WELL ALIGNMENT OVER SHOWER ENCLOSURE AND DINING AREA.

SANITARY SEWER VENTS SHALL TERMINATE AT LEAST 10'-0" AWAY FROM ANY OPERABLE SKYLIGHT.

DIRECT ROOF JACKS, VENTS, AND OTHER PENETRATIONS TO THE REAR FACING ROOF PLANE WHERE POSSIBLE.

ATTIC VENTILATION CALCULATION:

HIGH VENT, LOW PROFILE EYEBROW VENT
LOW VENT, (3) VENT HOLES PER BAY.

MEASUREMENTS:

1. OPTIONAL VENT HOLES COVERED BY CORROSION-RESISTANT WIRE MESH AND MESH OPENING OF NOT LESS THAN 1/8" AND NO MORE THAN 1/4" IN DIMENSION.
2. THE NET FREE CROSS-VENTILATION AREA SHALL BE PERMITTED TO BE REDUCED TO 1/500 PROVIDED THAT NOT LESS THAN 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3' ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
3. THE NET FREE CROSS-VENTILATION AREA SHALL BE PERMITTED TO BE REDUCED TO 1/500 WHERE A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE RAFTER-IN-VOID SIDE OF THE CEILING.
4. MAINTAIN 1" AIR SPACE BETWEEN ROOF PLYWOOD, & INSULATION. ALSO SEE STRUCTURAL FOR DETAILS.
5. UNIFORM UNDER EAVE APPEARANCE BY INSTALLING COR-A-VENT PS-400 STRIP VENT SYSTEM AT ALL EAVE LOCATION.

ROOF VENTILATION AT CALIFORNIA FRAMING:

NEW ROOF AREA: 1175 SQ.FT.
1315 / 150 = 7.82 SQ.FT. = 1126 SQ.IN.

50% HIGH REQUIRED = 569 SQ.IN.
50% LOW REQUIRED = 569 SQ.IN.

HIGH: INSTALL (6) LOW PROFILE EYEBROW DORMER VENT WITH 100 SQ. INCHES NFV/A. PER VENT, REFER TO ROOF PLAN FOR VENT LOCATION
6 x 100 = 600 SQ. IN. > 569 SQ. IN. REQ'D

LOW: PROPOSE MIN. 146 BAYS WITH (3) 2" DIA. VENT HOLES PER BAY.
30 x 3 x 2 x 3.14 = 569 SQ. IN. > 569 SQ. IN. REQ'D

VENTILATION AREAS SHOULD BE NET FREE VENT

EYEBROW VENT

VENT TYPE	DESCRIPTION	QTY	ROOF AREA	ROOF AREA	ROOF AREA
High	Low Profile Eyebrow	6	100	600	600
Low	Strip Vent	146	3	569	569
Total				1169	1169

ISSUE LOG

NO.	DESCRIPTION	DATE
1	BUILDING SUBMITTAL	REP. # 2016
2	PLANNING COMMISSION	JAN. 28, 2017
3	BUILDING COMMENTS	MAR. 8, 2017
4	OWNER REVISIONS	
5	PLANNING COMMISSION	JUNE 30, 2017

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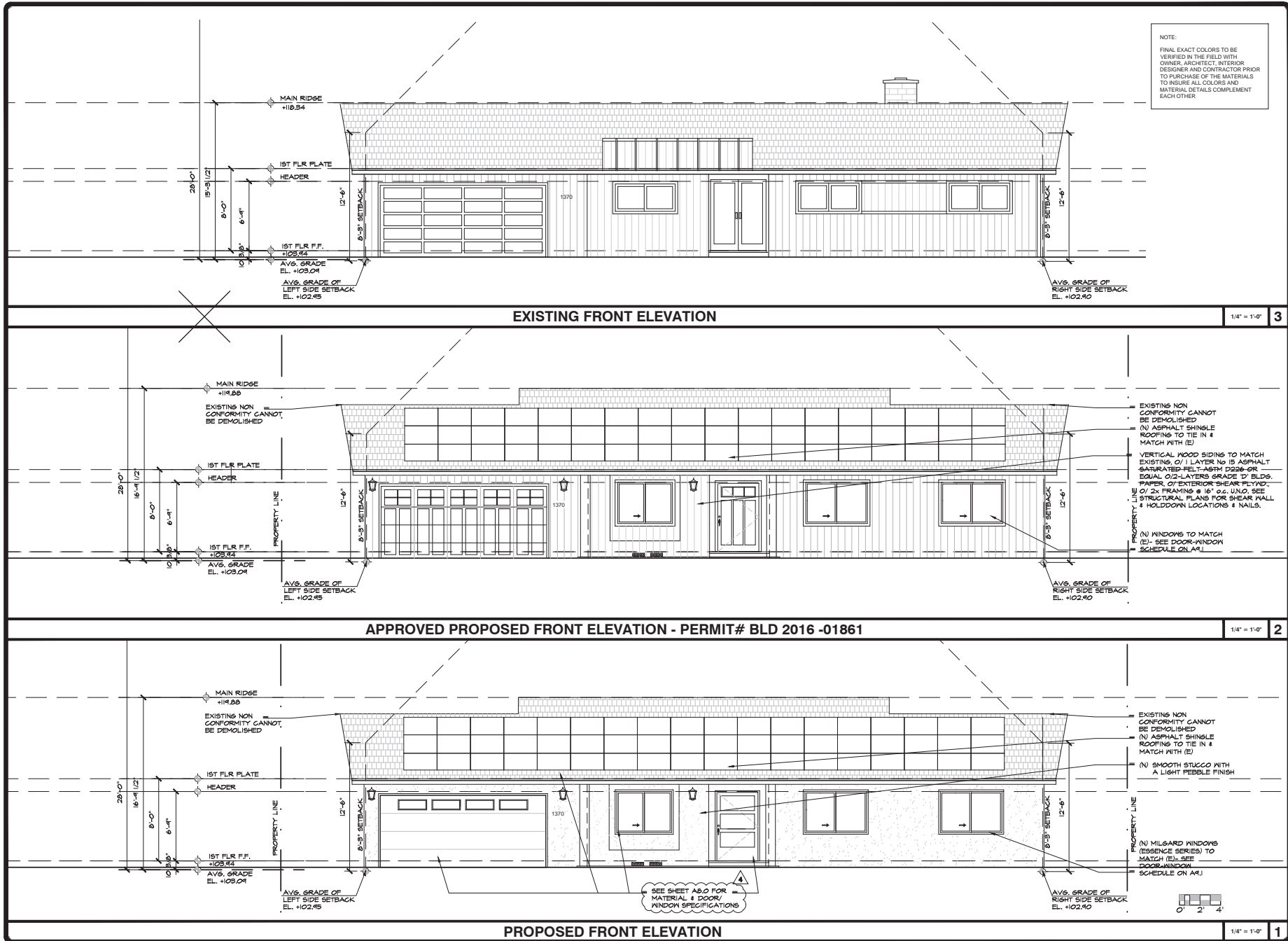
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A.P.N. 071-014-100
CHECKED BY: AV DATE: 12.05.2016
JOB # 108
DRAWN BY: SIEGEL-LANGER

A2.3

PROPOSED ROOF PLAN

1/4" = 1'-0" 1



ISSUE LOG	
▲	BUILDING SUBMITTAL DEC. 8, 2016
▲	PLANNING COMMISSION JAN. 23, 2017
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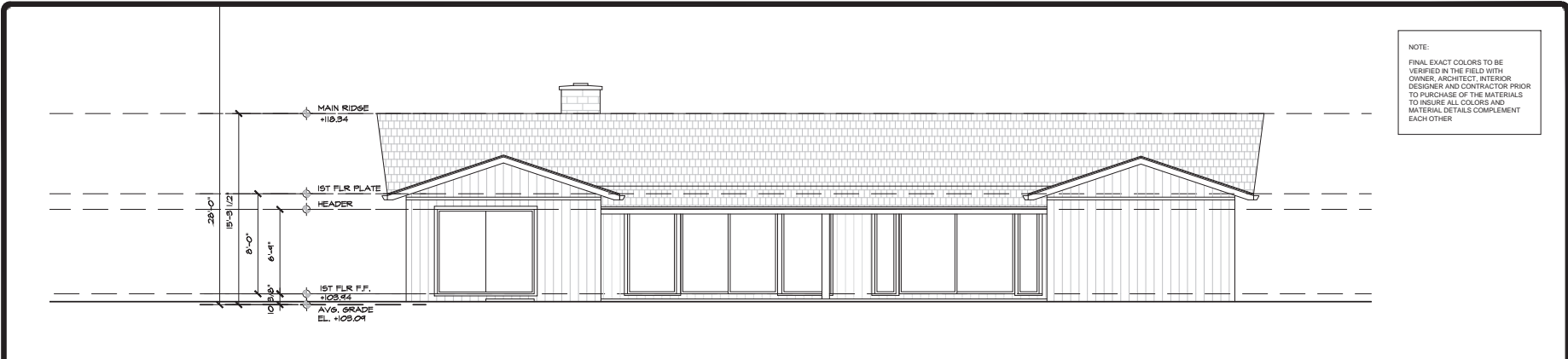
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ARCHITECTS, INCORPORATED
4982 EL CAMINO REAL, SUITE 218 LOS ALITOS, CA 94801
TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com



ADDITION AND REMODEL FOR:
LANGER-SIEGEL FAMILY TRUST
1370 DELFINO WAY
MENLO PARK, CA 94025

A.P.N. 071-014-100
CHECKED BY: AY DATE: 12.05.2016
DRAWN BY: MM, OH
PROJECT NO.: 1509
DESIGNED BY: SIEGEL-LANGER

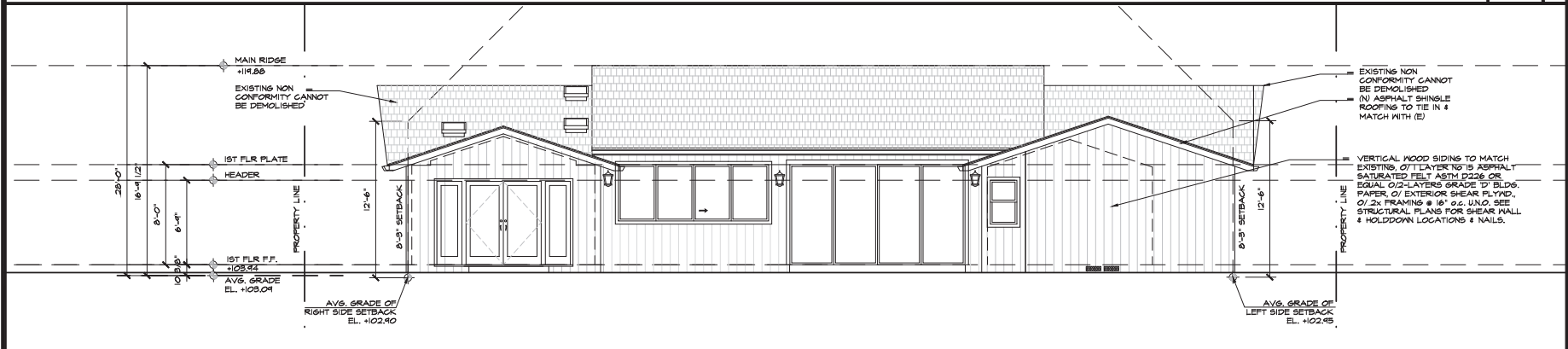
A3.1



NOTE:
FINAL EXACT COLORS TO BE VERIFIED IN THE FIELD WITH OWNER, ARCHITECT, INTERIOR DESIGNER AND CONTRACTOR PRIOR TO PURCHASE OF THE MATERIALS TO INSURE ALL COLORS AND MATERIAL DETAILS COMPLEMENT EACH OTHER

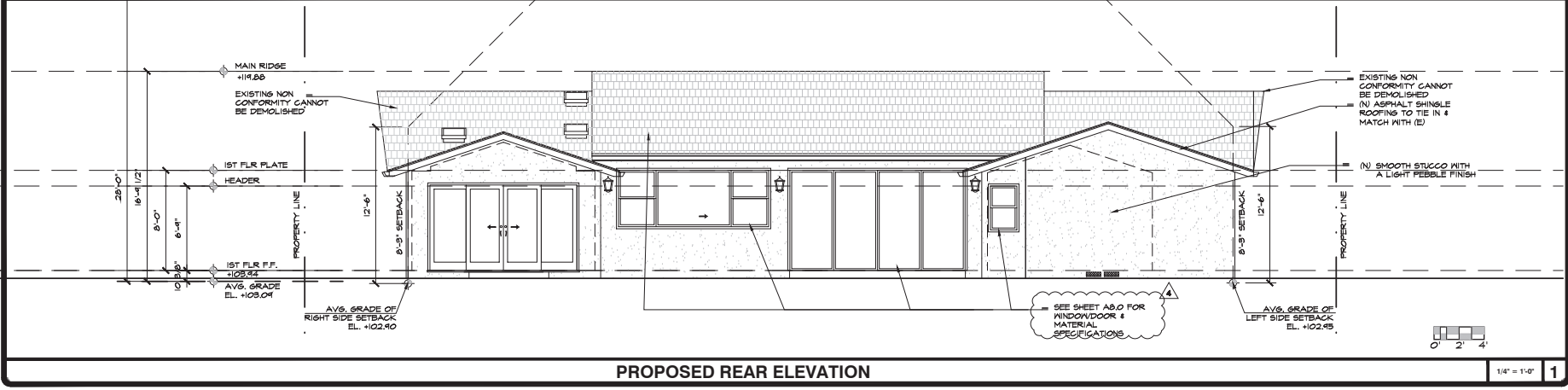
EXISTING REAR ELEVATION

1/4" = 1'-0" 3



PROPOSED REAR ELEVATION -PERMIT # BLD 2016-01861

1/4" = 1'-0" 2

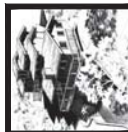


PROPOSED REAR ELEVATION

1/4" = 1'-0" 1

ISSUE LOG	
▲ BUILDING SUBMITTAL	DEC. 8, 2015
▲ PLANNING COMMENTS	APR. 23, 2017
▲ BUILDING COMMENTS	MAY. 18, 2017
▲ OWNER REVISIONS	MAY. 18, 2017
▲ PLANNING COMMISSION	JUNE. 30, 2017

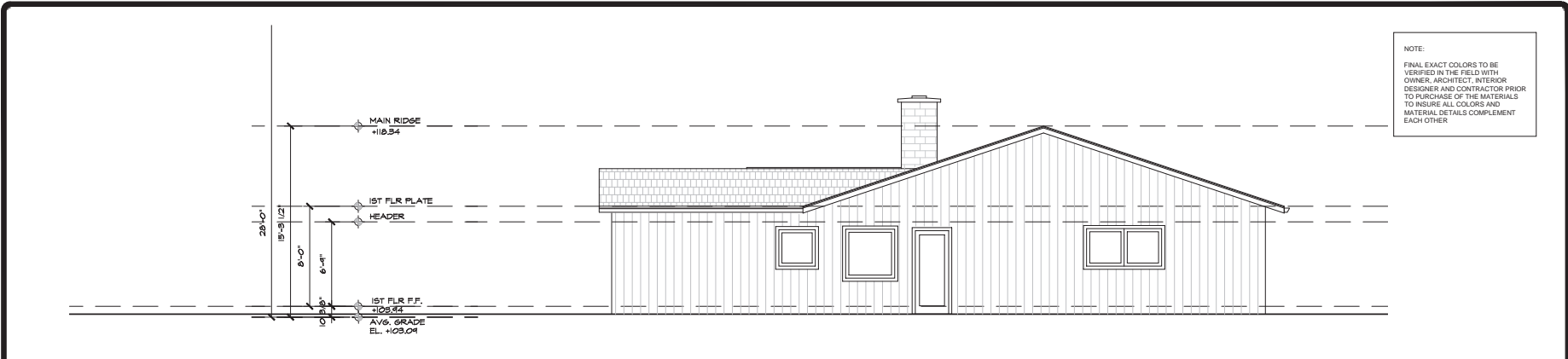
YOUNG AND BORLIK
ARCHITECTS, INCORPORATED
4962 EL CAMINO REAL, SUITE 218 LOS ALITOS, CA 94001
TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com



ADDITIONAL AND REMODEL FOR:
LANGER- SIEGEL FAMILY TRUST
1370 DELFINO WAY
MENLO PARK, CA 94025

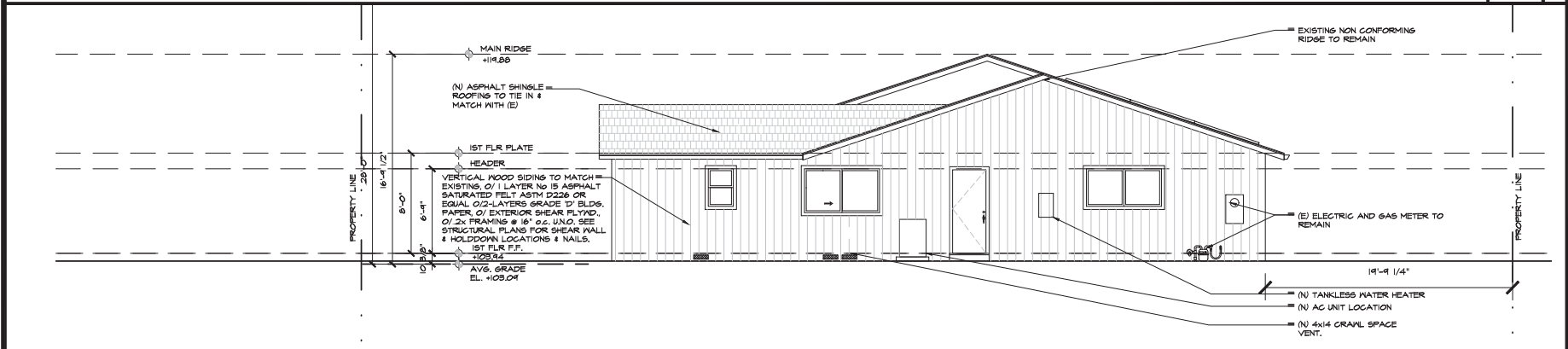
A.P.N. 071-014-100	
CHECKED BY: AY	DRAWN BY: MM, OH
DATE: 12.05.2016	
BY: SIEGEL-LANGER	

A3.2



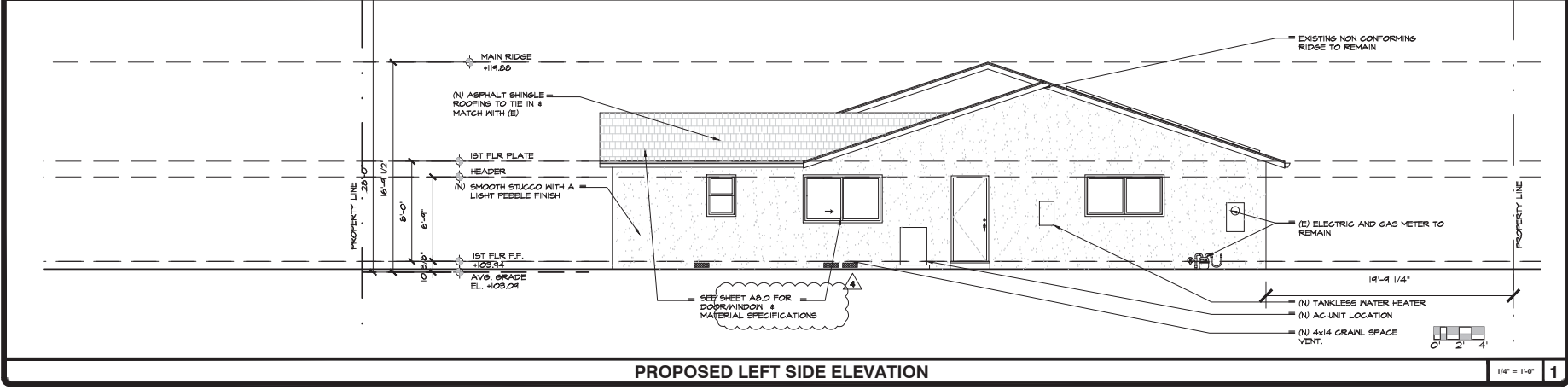
EXISTING LEFT SIDE ELEVATION

1/4" = 1'-0" 3



PROPOSED LEFT SIDE ELEVATION - PERMIT # BLD 2016-01861

1/4" = 1'-0" 2



PROPOSED LEFT SIDE ELEVATION

1/4" = 1'-0" 1

ISSUE LOG

▲	BUILDING SUBMITTAL	DEC 8, 2015
▲	PLANNING COMMISSION	APR 23, 2017
▲	BUILDING COMMENTS	MAY 23, 2017
▲	OWNER REVISIONS	MAY 23, 2017
▲	PLANNING COMMISSION	JUNE 30, 2017

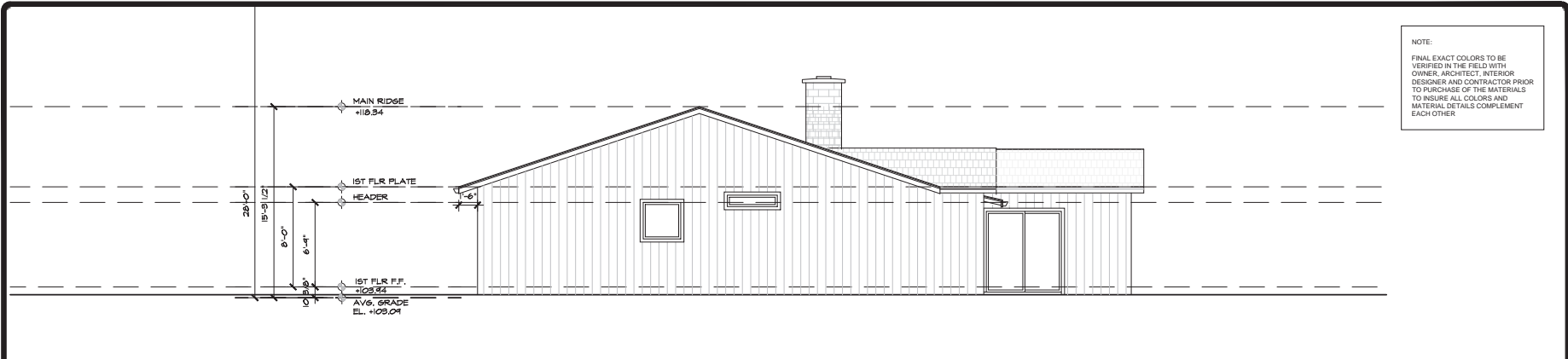
YOUNG AND BORLIK ARCHITECTS, INCORPORATED
 4962 EL CAMINO REAL, SUITE 218 LOS ALITOS, CA 94001
 TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com

ARCHITECT
 STATE OF CALIFORNIA
 C-16179

ADDITION AND REMODEL FOR:
LANGER-SIEGEL FAMILY TRUST
 1370 DELFINO WAY
 MENLO PARK, CA 94025

A.P.N. 071-014-100
 CHECKED BY: MM OH
 DATE: 12.05.2016
 DRAWN BY: SIEGEL-LANGER

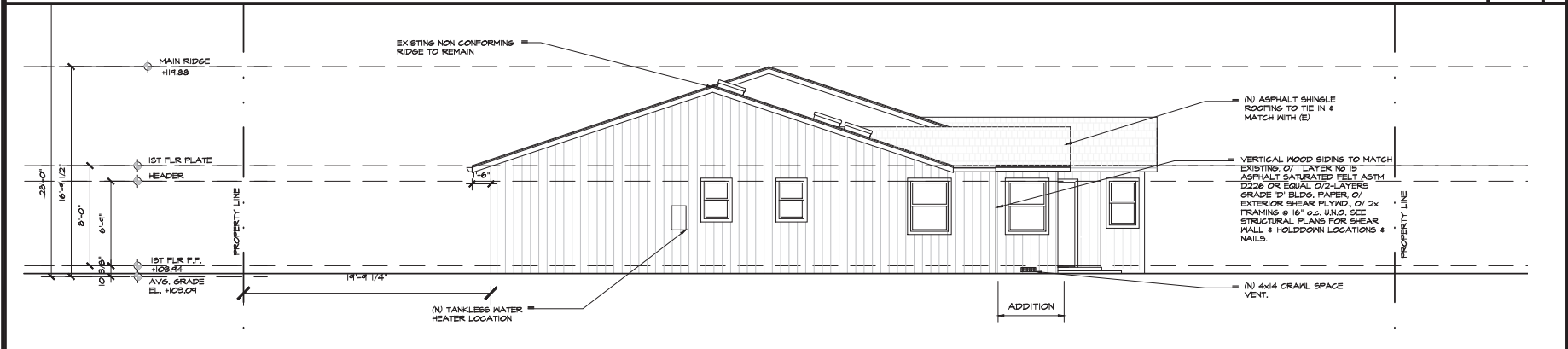
A3.3



EXISTING FRONT ELEVATION

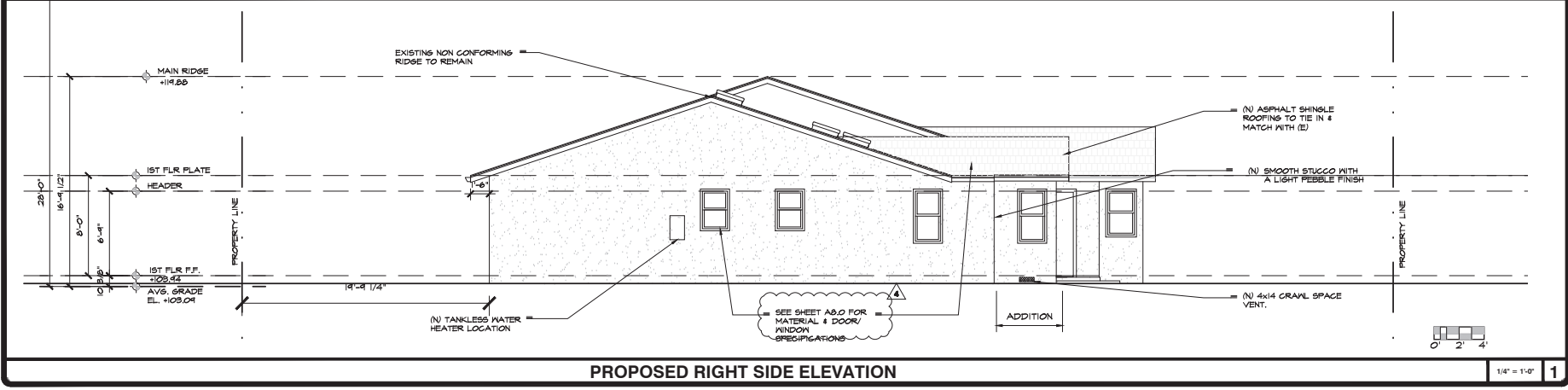
1/4" = 1'-0" 3

NOTE:
FINAL EXACT COLORS TO BE VERIFIED IN THE FIELD WITH OWNER ARCHITECT, INTERIOR DESIGNER AND CONTRACTOR PRIOR TO PURCHASE OF THE MATERIALS TO INSURE ALL COLORS AND MATERIAL DETAILS COMPLEMENT EACH OTHER



PROPOSED RIGHT SIDE ELEVATION -PERMIT # BLD2016-01861

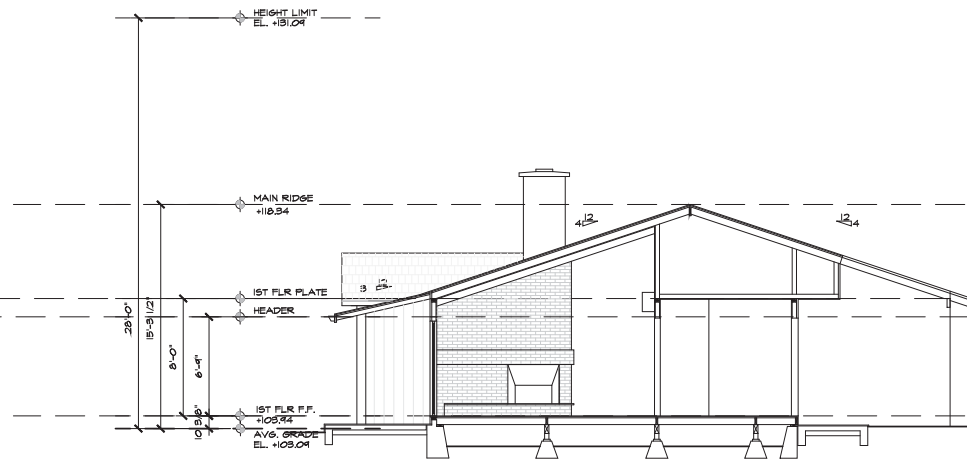
1/4" = 1'-0" 2



PROPOSED RIGHT SIDE ELEVATION

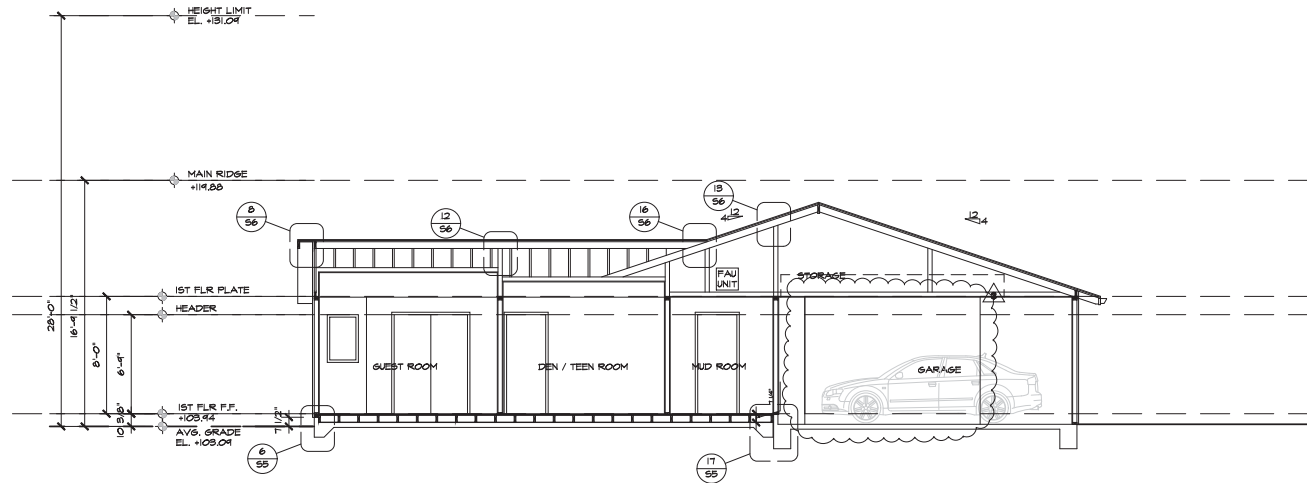
1/4" = 1'-0" 1

ISSUE LOG	
BUILDING SUBMITTAL	DEC. 8, 2015
PLANNING COMMISSION	MAY 28, 2016
BUILDING COMMENTS	1511 28 2016
OWNER REVISIONS	MAY 28, 2016
PLANNING COMMISSION	JUNE 30, 2017
<p>NOTE: ALL DESIGN, DRAWING, AND CONSTRUCTION REQUIREMENTS, PERMITS, AND REGULATIONS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.</p>	
<p>YOUNG AND BORLIK ARCHITECTS, INCORPORATED 4962 EL CAMINO REAL, SUITE 218 LOS ALITOS, CA 94001 TEL: (650) 688-1950 FAX: (650) 323-1112 www.yabarchitects.com</p>	
<p>ADDITION AND REMODEL FOR: LANGER-SIEGEL FAMILY TRUST 1370 DELFINO WAY MENLO PARK, CA 94025</p>	
A.P.N. 071-014-100	DRAWN: MM/OH
CHECKED: AY	DATE: 12.05.2016
<p>DESIGNED BY: SIEGEL-LANGER</p>	
<p>A3.4</p>	



EXISTING SECTION

1/4" = 1'-0" 2



PROPOSED SECTION

0 2 4

1/4" = 1'-0" 1

ISSUE LOG	
▲	BUILDING SUBMITTAL DEC. 8, 2015
▲	PLANNING COMMISSION JAN. 23, 2016
▲	BUILDING COMMENTS MAY. 13, 2016
▲	OWNER REVISIONS MAY. 23, 2016
▲	PLANNING COMMISSION JUNE 30, 2017

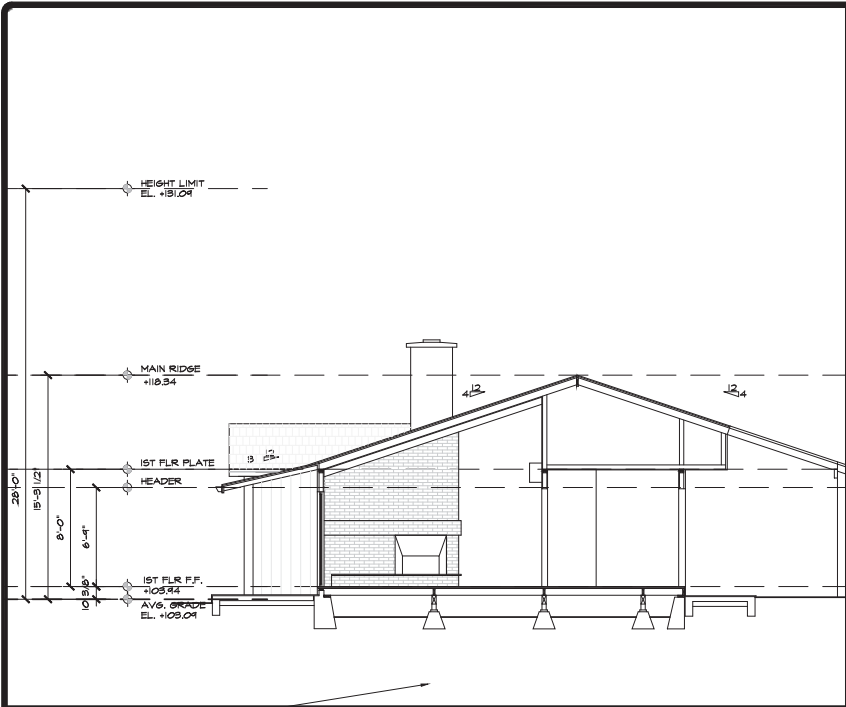
YOUNG AND BORLIK
ARCHITECTS, INCORPORATED
4962 EL CAMINO REAL, SUITE 218 LOS ALTOS, CA 94001
TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com



ADDITION AND REMODEL FOR:
LANGER- SIEGEL FAMILY TRUST
1370 DELFINO WAY
MENLO PARK, CA 94025

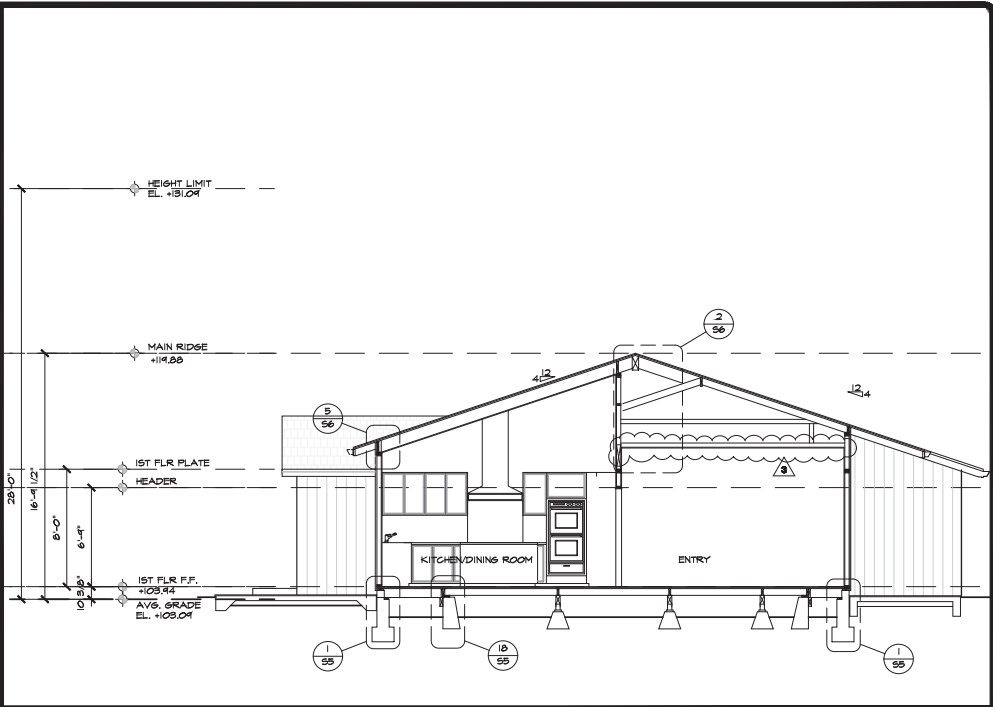
A.P.N. 071-014-100
CHECKED BY: AV DATE: 12.06.2016
DRAWN BY: MM, OH
DESIGNED BY: SIEGEL-LANGER

A4.1



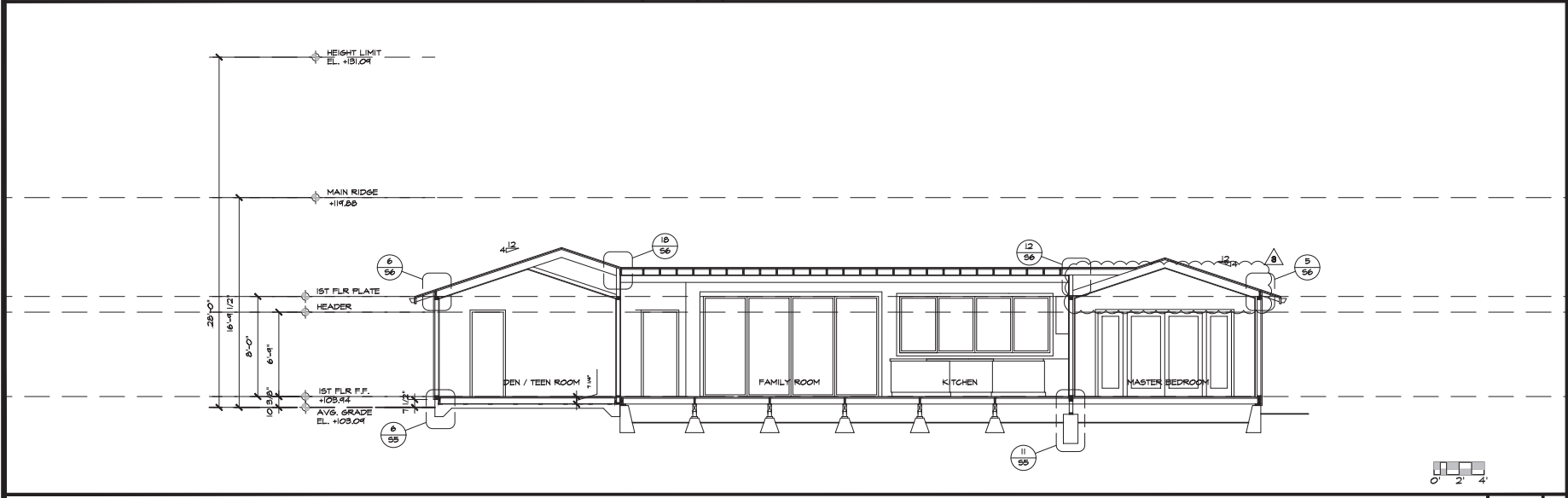
EXISTING SECTION

1/4" = 1'-0" 3



PROPOSED SECTION

1/4" = 1'-0" 2

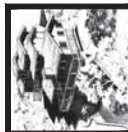


PROPOSED SECTION

1/4" = 1'-0" 1

ISSUE LOG	
BUILDING SUBMITTAL	DEC. 8, 2015
PLANNING COMMISSION	MAY 28, 2016
BUILDING COMMENTS	MAY 28, 2016
OWNER REVISIONS	MAY 28, 2016
PLANNING COMMISSION	JUNE 30, 2017

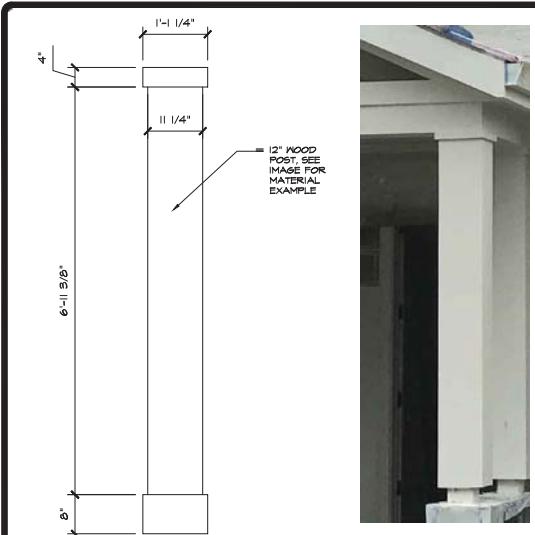
YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 4962 EL CAMINO REAL, SUITE 218 LOS ALAMOS, CA 94001
 TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com



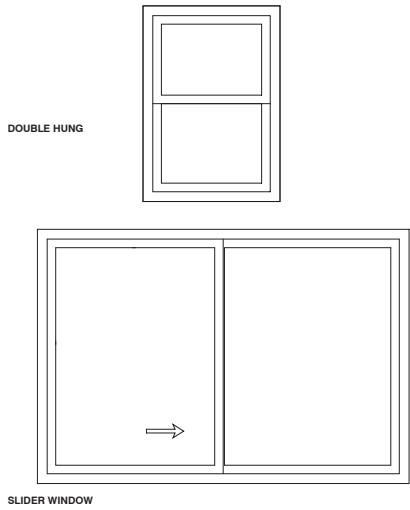
ADDITION AND REMODEL FOR:
LANGER-SIEGEL FAMILY TRUST
 1370 DELFINO WAY
 MENLO PARK, CA 94025

A.P.N. 071-014-100
 CHECKED BY: MM, OH
 DATE: 12.06.2016
 DRAWN BY: SIEGEL-LANGER

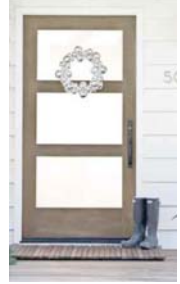
A4.2



Autumn Blend
AUTUMN BLEND COMPOSITE ASPHALT SHINGLE



NOTE:
FINAL EXACT COLORS TO BE VERIFIED IN THE FIELD WITH OWNER, ARCHITECT, INTERIOR DESIGNER AND CONTRACTOR PRIOR TO PURCHASE OF THE MATERIALS TO INSURE ALL COLORS AND MATERIAL DETAILS COMPLEMENT EACH OTHER.



FRONT DOOR EXAMPLE IMAGE



GARAGE DOOR EXAMPLE IMAGE

COLUMN DETAIL AND EXAMPLE PHOTO

1" = 1'-0" 6

ROOF EXAMPLE IMAGES

5

WINDOW ELEVATION TYPICAL

1" = 1'-0" 4

DOOR EXAMPLE IMAGES

3

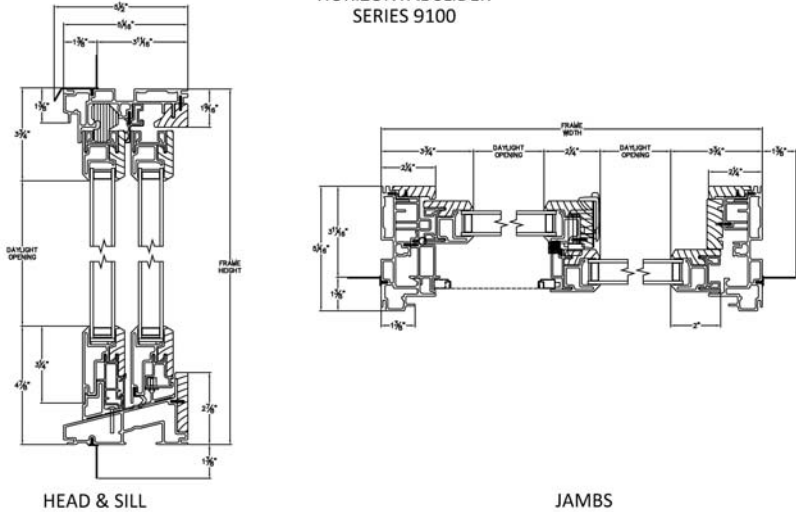
Cross Section Drawing
Essence Horizontal Slider Window, Half Vent
1 3/8" Fin Setback, 3 11/16" Wall Condition



CAD File Scale	View	File Name	Units
NTS	Horizontal & Vertical	9100-01E-01 HV	Inch

More Technical Documents can be found at milgard.com/professionals
Due to continual research and development, details may be changed at any time. ©2013 Milgard Mfg.

HORIZONTAL SLIDER
SERIES 9100



MILGARD ESSENCE SLIDER WINDOW DETAILS

N.T.S. 2

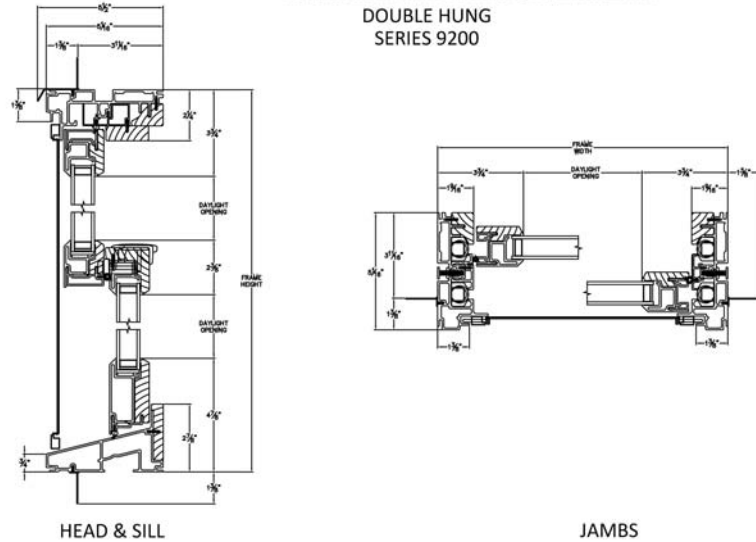
Cross Section Drawing
Essence Double Hung Window
1 3/8" Fin Setback, 3 11/16" Wall Condition



CAD File Scale	View	File Name	Units
NTS	Horizontal & Vertical	9200-01E-01 DH	Inch

More Technical Documents can be found at milgard.com/professionals
Due to continual research and development, details may be changed at any time. ©2013 Milgard Mfg.

DOUBLE HUNG
SERIES 9200



MILGARD ESSENCE DOUBLE HUNG WINDOW DETAILS

N.T.S. 1

ISSUE LOG	
▲ BUILDING SUBMITTAL	REP: A 2012
▲ PLANNING COMMENTS	MAR 28, 2012
▲ BUILDING COMMENTS	MAR 28, 2012
▲ OWNER REVISIONS	MAR 28, 2012
▲ PLANNING COMMISSION	JUNE 20, 2012

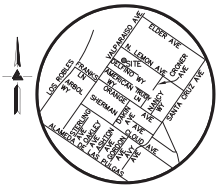
YOUNG AND BORLIK
ARCHITECTS, INCORPORATED
4982 EL CAMINO REAL, SUITE 218 LOS ALTOS, CA 94031
TEL: (650) 688-1990 FAX: (650) 323-1112 www.ybarchitects.com



ADDITION AND REMODEL FOR
LANGER- SIEGEL FAMILY TRUST
1370 DELFINO WAY
MENLO PARK, CA 94025

A.P.N. 071-014-100
CHECKED BY: AV
DATE: 12.05.2016
DRAWN BY: MM, OH
JOB #
SIEGEL-LANGER

A8.0



VICINITY MAP
NO SCALE

LEGEND AND NOTES

- BOUNDARY LINE
- ETC
- ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- EASEMENT
- - - FENCE LINE
- FLOW LINE
- SS SANITARY SEWER LINE
- ⊕ BENCHMARK
- ⊕ EM ELECTRICAL METER
- FF FINISH FLOOR
- ⊕ FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- INV INVERT
- ⊕ ICV IRRIGATION CONTROL VALVE
- ⊕ JOINT POLE
- ⊕ RP ROOF PEAK
- ⊕ SSCO SANITARY SEWER CLEAN-OUT
- ⊕ SSMH SANITARY SEWER MANHOLE
- ⊕ YARD LIGHT
- ⊕ TOS TOP OF SLAB
- ⊕ WM WATER METER
- ⊕ WV WATER VALVE
- XXX.XX SPOTGRADE
- ARTIFICIAL GRASS
- ASPHALT
- CONCRETE
- GRAVEL
- LAWN
- STONE
- WOOD

EASEMENT NOTE

THERE ARE NO EASEMENTS LISTED IN TITLE REPORT PREPARED BY LAWYERS TITLE COMPANY, TITLE NO. FLMP-001600719-MA, DATED MARCH 31, 2016.

BASIS OF BEARINGS

THE BEARING N33°30'00"E BETWEEN TWO FOUND MONUMENTS ON THE SOUTHEASTERLY LINE OF VALPARAISO AVENUE AS SHOWN ON RECORD OF SURVEY NO. 1859 FILED IN BOOK 50 OF LLS MAPS AT PAGE 94, SAN MATEO COUNTY RECORDS WAS USED AS THE BASIS OF ALL BEARINGS SHOWN UPON THIS MAP.

BENCHMARK

CITY OF MENLO PARK BENCHMARK NO. 3 BRONZE DISK IN CURB OF THE NORTHERLY LINE OF HAVEN AVENUE AT 3585 HAVEN AVENUE AT THE WESTERLY SIDE OF A STORM WATER CATCH BASIN ELEVATION = 8.18' (ADJUSTED TO NAVD88)

SITE BENCHMARK

SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT ELEVATION = 102.04' (NAVD88)

LANDS OF CHAMBERS

LANDS OF WANG

SURVEYOR'S STATEMENT

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

GREGORY F. BRAZE DATE _____
L.S. NO. 7623



NOTES

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
- UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
- BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
- FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)
- BUILDING SETBACKS TAKEN FROM CITY OF MENLO PARK ZONING MAP AND ZONING DISTRICT SUMMARY SHEET AND SHOULD BE VERIFIED BY A TOWN PLANNER.

LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS LAND SURVEYORS
SACRAMENTO REGION
SAN FRANCISCO REGION
ROSEVILLE, CA 95664
HAYWARD, CALIFORNIA 94540
(916) 887-5088
(916) 887-5089
(916) 887-5090
WWW.LEA-BRAZE.COM

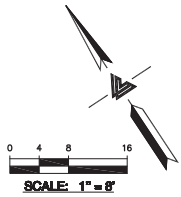
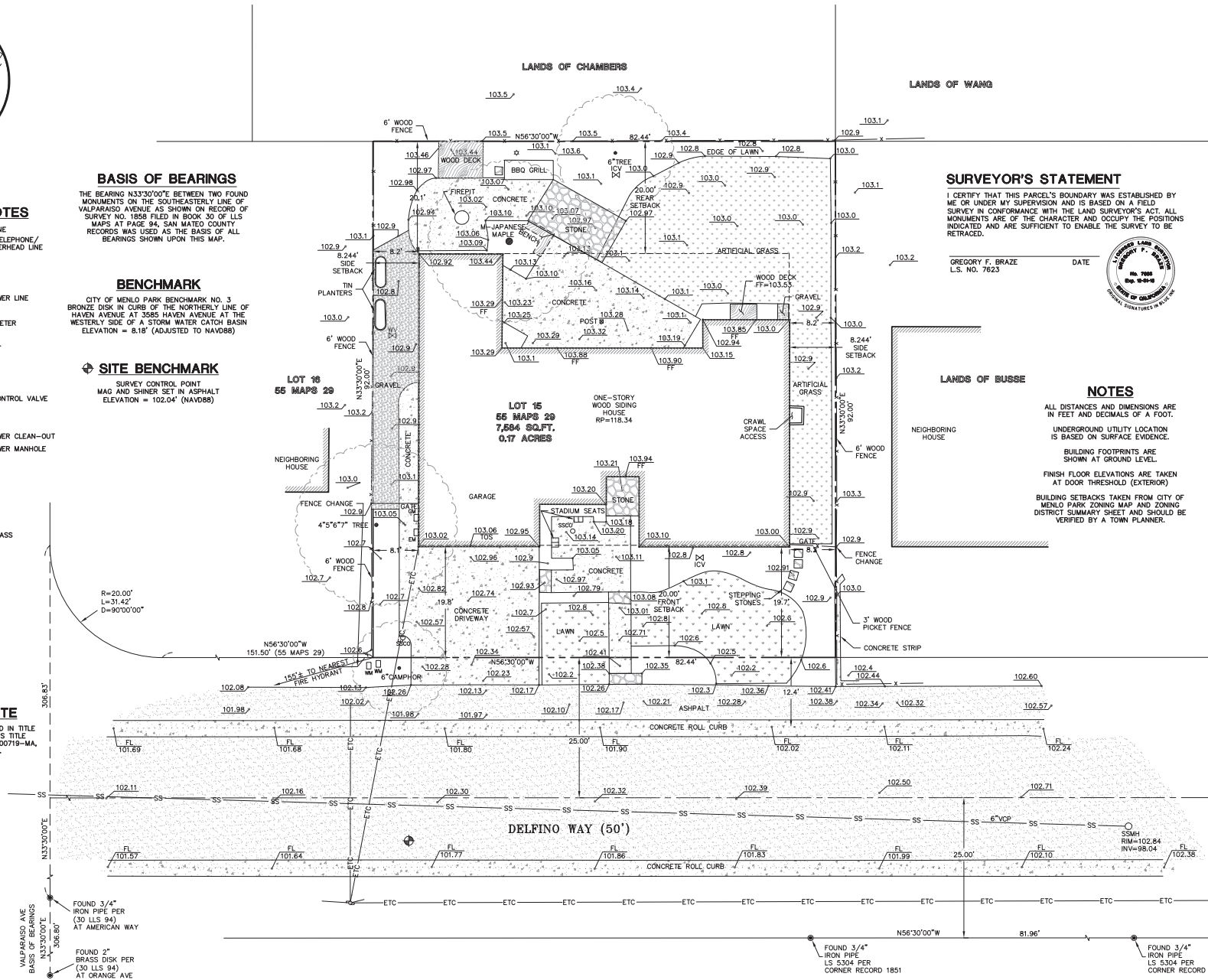
1370 DELFINO WAY
MENLO PARK,
CALIFORNIA

TOPOGRAPHIC AND
BOUNDARY SURVEY

REVISIONS	BY

JOB NO: 2160391
DATE: 5-12-16
SCALE: 1" = 8'
DRAWN BY: RW
SHEET NO:

SU1
1 OF 1 SHEETS



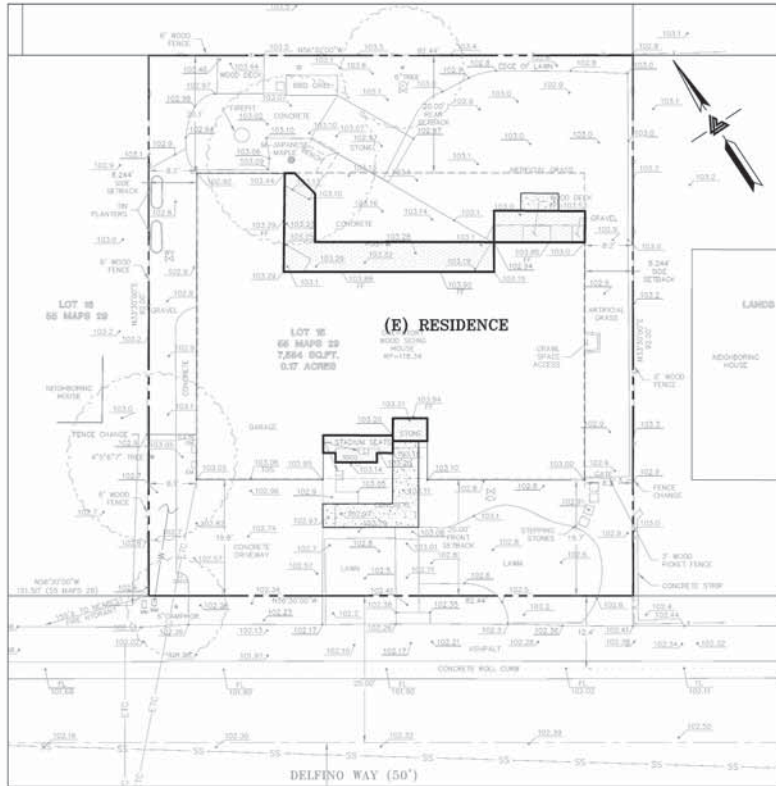
LANGER-SIEGEL RESIDENCE 1370 DELFINO WAY MENLO PARK, CALIFORNIA

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY CUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	LF	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	(N)	NEW
BM	BENCHMARK	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	N/S	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
C	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PED	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	P	PROPERTY LINE
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
EA	EACH	RM	RM ELEVATION
EC	END OF CURVE	RW	RAINWATER
EG	EXISTING GRADE	R/W	RIGHT OF WAY
EL	ELEVATIONS	S	SLOPE
EP	EDGE OF PAVEMENT	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EQ	EQUIPMENT	SAN	SANITARY
EW	EACH WAY	SD	STORM DRAIN
(E)	EXISTING	SDMH	STORM DRAIN MANHOLE
FC	FACE OF CURB	SHT	SHEET
FF	FINISHED FLOOR	S.L.D.	SEE LANDSCAPE DRAWINGS
FG	FINISHED GRADE	SPEC	SPECIFICATION
FI	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOW LINE	SSCO	SANITARY SEWER CLEANOUT
FS	FINISHED SURFACE	SSMH	SANITARY SEWER MANHOLE
GA	GAGE OR GAUGE	ST	STREET
GB	GRADE BREAK	STA	STATION
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STD	STANDARD
HORIZ	HORIZONTAL	STRUC	STRUCTURAL
HI PT	HIGH POINT	T	TOP
H&T	HUB & TACK	TC	TEMPORARY
ID	INSIDE DIAMETER	TP	TOP OF PAVEMENT
INV	INVERT ELEVATION	TP/FG	TOP OF WALL/FINISH GRADE
JB	JUNCTION BOX	TYP	TYPICAL
JT	JOINT TRENCH	VC	VERTICAL CURVE
L	LENGTH	VCP	VERTIFIED CLAY PIPE
LANDG	LANDING	VERT	VERTICAL
		W	WITH
		W, ML	WATER LINE
		WM	WATER METER
		WVF	WELOD WIRE FABRIC



KEY MAP
1" = 10'



VICINITY MAP
NO SCALE

OWNERS' INFORMATION

OWNER:
DAN SIEGEL & LISA LANGER, TRUSTEES OF
THE LANGER-SIEGEL FAMILY TRUST
1370 DELFINO WAY
MENLO PARK, CA 94025

APR: 071-014-100

REFERENCES

THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
1. TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, INC. ENTITLED: "TOPOGRAPHIC SURVEY" 1370 DELFINO WAY MENLO PARK, CA DATED: 10-21-16 JOB#: 2160391

2. SITE PLAN BY YOUNG & BORK ARCHITECTS, INC. ENTITLED: "REMODEL FOR: DAN SIEGEL & LISA LANGER" 1370 DELFINO WAY MENLO PARK, CA DATED: 11-17-16 JOB#: SIEGEL-LANGER

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

SHEET INDEX

C-1.0 TITLE SHEET
C-2.0 GRADING & DRAINAGE PLAN
C-3.0 GRADING SPECIFICATIONS
ER-1 EROSION CONTROL
ER-2 EROSION CONTROL DETAILS
BMP BEST MANAGEMENT PRACTICES

NOTE:
FOR CONSTRUCTION STAKING
SCHEDULING OR QUOTATIONS
PLEASE CONTACT GREG BRAZE
AT LEA & BRAZE ENGINEERING
(510)857-4086 EXT 116.
aabaza@leabraze.com

* BUILDING PAD NOTE:
ADJUST PAD LEVEL AS
REQUIRED. REFER TO
STRUCTURAL PLANS
FOR SLAB SECTION OR
CRAWL SPACE DEPTH TO
ESTABLISH PAD
LEVEL.



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
3000 CALIFORNIA AVENUE, SUITE 300
SACRAMENTO, CALIFORNIA 95833
916-441-1111
1400 WASHINGTON STREET, SUITE 100
ROSELAND, CALIFORNIA 94608
(916) 779-7323
(916) 887-2009
WWW.LEABRAZE.COM

LANGER-SIEGEL RESIDENCE
1370 DELFINO WAY
MENLO PARK, CALIFORNIA
APR: 071-014-100

TITLE SHEET

NO.	REVISIONS	BY
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

JOB NO: 2161159
DATE: 11-30-16
SCALE: 1" = 10'
DESIGN BY: BS
DRAWN BY: BS
SHEET NO:

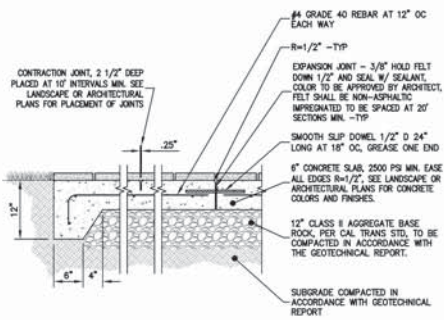
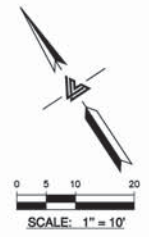
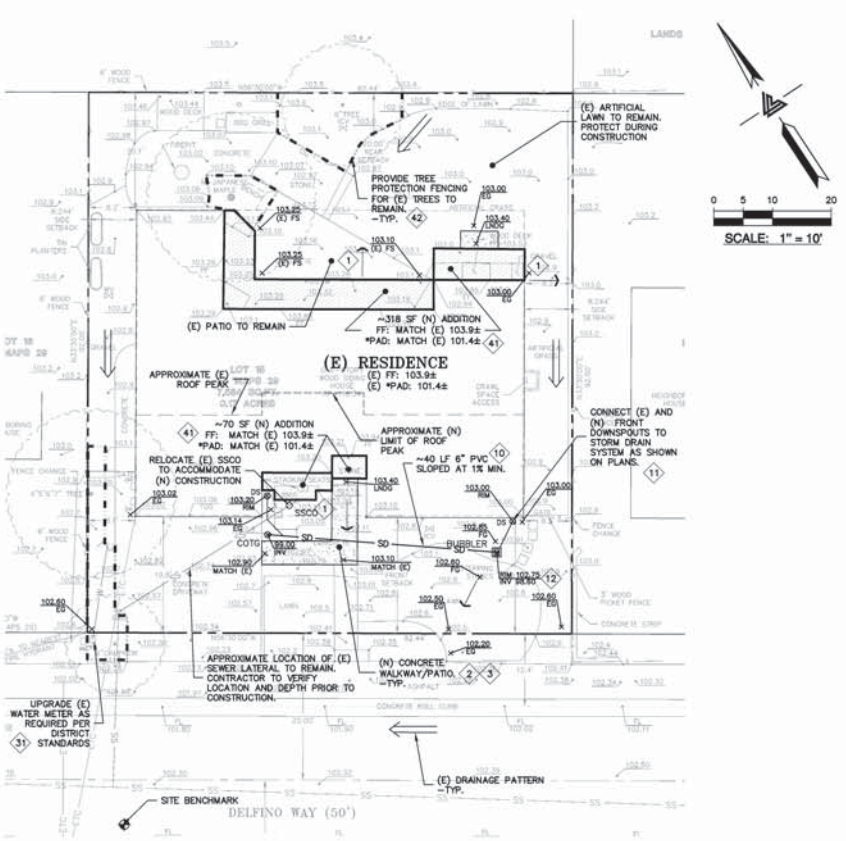
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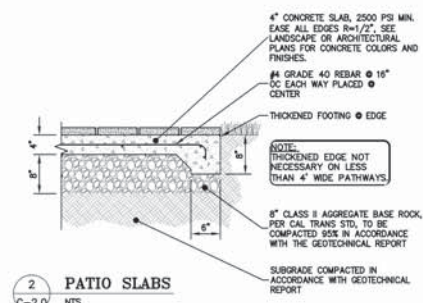
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 1300 SAGAMONTE BLVD., SUITE 300
 SACRAMENTO, CALIFORNIA 95833
 916.487.7828
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LANGER-SIEGEL RESIDENCE
 1370 DELFINO WAY
 MENLO PARK, CALIFORNIA
 SAN MATEO COUNTY
 APR. 07-01-100

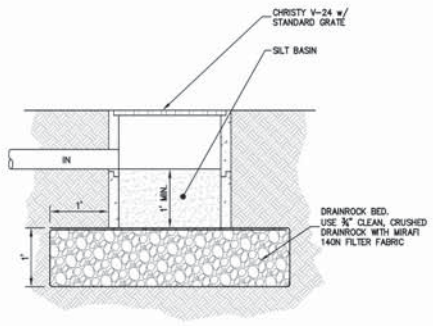
GRADING & DRAINAGE PLAN



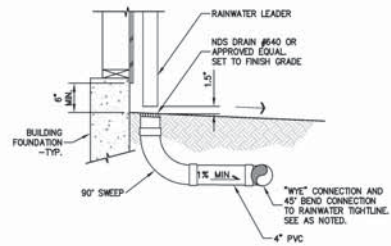
1 DRIVEWAY SLAB OR CONC. PAVING
 C-2.0 NTS



2 PATIO SLABS
 C-2.0 NTS

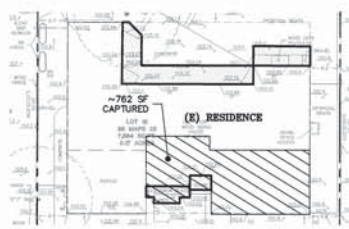


3 BUBBLER BOX
 C-2.0 NTS



4 RAIN WATER LEADER TO TIGHTLINE CONNECTION
 C-2.0 NTS

- FLATWORK** KEYNOTES 1 TO 3
 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 2% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.3 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.11.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
- 1 PROVIDE 2% (1% MIN.) SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 2304.11.2. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
- 2 (N) CONCRETE PATIOS/WALKWAYS. SEE DETAIL 2 SHEET C-2.0.
- STORM DRAIN** KEYNOTES 10 TO 12
 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.
- 10 CONNECT RAIN WATER DOWNSPOUTS TO 4" PVC (SDR-35) TIGHTLINE, SLOPED AT 1% MINIMUM DIRECT TO NEAREST STORM DRAIN LINE. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS. TIGHTLINE MAY BE PLACED IN COMMON TRENCH WITH SUBIRRIAN LINES, HOWEVER, NOT CONNECT TO SUBIRRIAN LINES. CONNECT TO NEAREST STORM DRAIN LINE AS SHOWN ON PLAN. SEE DETAIL 4 SHEET C-2.0.
- 11 INSTALL (N) BUBBLER SEE DETAIL 3 SHEET C-2.0.
- UTILITIES** KEYNOTES 31 TO 31
 CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.
- DEMOLITION** KEYNOTES 41 TO 42
 DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.
- 41 PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. SEE DETAIL 6 ON SHEET ER-2.



PROPOSED CAPTURED ROOF AREA
 1" = 16'

RUNOFF ANALYSIS
 RESIDENCE ADDITIONS: 388 SF
 NET SITE IMPROVEMENTS: 348 SF
 REQUIRED CAPTURED AREA: 340 SF
 PROPOSED CAPTURED AREA: 762 SF > 340 SF

• BUILDING PAD NOTE: ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE: FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com



REVISIONS	BY

JOB NO: 2161159
 DATE: 11-20-16
 SCALE: 1" = 10'
 DESIGN BY: BS
 DRAWN BY: BS
 SHEET NO: C-2.0
 OF 06 SHEETS

GENERAL NOTES

ALL GENERAL NOTES, SHEET NOTES, AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT. IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ENGINEER IMMEDIATELY IN WRITING REQUIRING CLARIFICATION.

THESE DRAWINGS AND THEIR CONTENT ARE AND SHALL REMAIN THE PROPERTY OF LEA AND BRAZE ENGINEERING, INC. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF LEA AND BRAZE ENGINEERING, INC. IN THE EVENT ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION AND CONSENT OF LEA AND BRAZE ENGINEERING, INC. IN THE EVENT ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION AND CONSENT OF LEA AND BRAZE ENGINEERING, INC. IN THE EVENT ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION AND CONSENT OF LEA AND BRAZE ENGINEERING, INC.

WORK SEQUENCE

IN THE EVENT ANY SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY THE OWNER OR THE CONTRACTOR, THE CONTRACTOR SHALL ARRANGE A CONFERENCE BEFORE ANY SUCH WORK IS BEGAN. SITE EXAMINATION: THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND FAMILIARIZE HIM/HERSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.

LEA AND BRAZE ENGINEERING, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF LEA AND BRAZE ENGINEERING, INC. IN THE EVENT ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION AND CONSENT OF LEA AND BRAZE ENGINEERING, INC. IN THE EVENT ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION AND CONSENT OF LEA AND BRAZE ENGINEERING, INC.

CONSTRUCTION IS ALWAYS LESS THAN PERFECT SINCE PROJECTS REQUIRE THE COORDINATION AND INSTALLATION OF MANY INDIVIDUAL COMPONENTS BY VARIOUS CONSTRUCTION INDUSTRY TRADERS. THESE DOCUMENTS CANNOT PORTRAIT ALL COMPONENTS OR ASSEMBLIES EXACTLY. IT IS THE INTENTION OF THESE ENGINEERING DOCUMENTS THAT THEY REPRESENT A REASONABLE STANDARD OF CARE IN THEIR CONTENT. IT IS ALSO PRESUMED BY THESE DOCUMENTS THAT CONSTRUCTION REVIEW SERVICES WILL BE PROVIDED BY THE ENGINEER. SHOULD THE OWNER NOT RETAIN THE ENGINEER TO PROVIDE SUCH SERVICES, OR SHOULD HE/SH/HE RETAIN THE ENGINEER TO PROVIDE ONLY PARTIAL OR LIMITED SERVICES, THEN IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO FULLY RECOGNIZE AND PROVIDE THAT STANDARD OF CARE.

IF THE OWNER OR CONTRACTOR OBSERVES OR OTHERWISE BECOMES AWARE OF ANY FAULT OR DEFECT IN THE PROJECT OR NONCOMFORMANCE WITH THE CONTRACT DOCUMENTS PROMPT WRITTEN NOTICE THEREOF SHALL BE GIVEN BY THE OWNER AND/OR CONTRACTOR TO THE ENGINEER.

THE ENGINEER SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

STORMWATER POLLUTION PREVENTION NOTES

- 1) STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
2) CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING SOLID WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENT, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATER COURSES.
3) USE SEDIMENT CONTROL OR FILTRATION TO REMOVE SEDIMENT FROM DRAINAGING EFFLUENT.
4) AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON SITE, EXCEPT IN A DESIGNATED AREA IN WHICH RUNOFF IS CONTAINED AND TREATED.
5) DELICATE CLEANING LIMITS, EASMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DISCHARGE COURSE WITH FIELD HANDS.
6) PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OF FILTERS, Dikes, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
7) PERFORM CLEANING AND EARTH MOVING ACTIVITIES DURING DRY WEATHER TO THE MAXIMUM EXTENT PRACTICAL.
8) LIMIT AND THE APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
9) LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
10) AVOID TRACKING DIRT OR MATERIALS OFF-SITE. CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS TO THE MAXIMUM EXTENT PRACTICAL.

SUPPLEMENTAL MEASURES

- A. PHRASE "NO DUMPING - DRAINS TO BAY" OR EQUALLY EFFECTIVE PHRASE MUST BE LABELED ON STORM DRAIN INLETS (BY STENCILING, BRANDING, OR PLACED) TO ALERT THE PUBLIC TO THE DESTINATION OF STORM WATER AND TO PREVENT DIRECT DISCHARGE OF POLLUTANTS INTO THE STORM DRAIN.
B. USING FILTRATION MATERIALS ON STORM DRAIN COVERS TO REMOVE SEDIMENT FROM DRAINAGING EFFLUENT.
C. STABILIZING ALL EXPOSED AREAS AND MAINTAINING EROSION CONTROL MEASURES CONTINUOUSLY FROM OCTOBER 15 AND APRIL 15.
D. REMOVING SPILLS PROMPTLY, AND AVOID STOCKPILING OF FILL MATERIALS, WHEN RAIN IS FORECAST. IF RAIN THREATENS, STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH A TARP OR OTHER WATERPROOF MATERIAL.
E. STORING, HANDLING, AND DISPOSING OF CONSTRUCTION MATERIALS AND WASTES SO AS TO AVOID THEIR ENTRY TO THE STORM DRAIN SYSTEMS OR WATER BODY.
F. AVOIDING CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN AN AREA DESIGNATED TO CONTAIN AND TREAT RUNOFF.

GRADING & DRAINAGE NOTES:

- 1. SCOPE OF WORK: THESE SPECIFICATIONS AND APPLICABLE PLANS PERTAIN TO AND INCLUDE ALL SITE GRADING AND DRAINAGE ASSOCIATED WITH THE PROJECT INCLUDING, BUT NOT LIMITED TO THE FURNISHING OF ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR SITE CLEANING AND GRADING, SITE PREPARATION, EXCAVATION, OR EXCESS OF UNSTABLE MATERIAL, STRIPPING, KEYING, EXCAVATION, OVER EXCAVATION, RECONSTRUCTION PREPARATION FOR SOIL, REMOVAL OF FILL, FOUNDATION OF SLABS, EXCAVATION, IMPORTATION OF ANY REQUIRED FILL MATERIAL, PROCESSING, PLACEMENT AND COMPACTION OF FILL AND SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADING AND SLOPE SHOWN ON THE PROJECT GRADING PLANS.
2. GENERAL: ALL SITE GRADING AND EXCAVATION WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THESE SPECIFICATIONS, THE SOILS REPORT AND THE CITY OF MENLO PARK'S GRADING ORDINANCE.

- 3. ALL FILL MATERIALS SHALL BE DENSIFIED SO AS TO PROVIDE A DENSITY NOT LESS THAN SOIL RELATIVE COMPACTION BASED UPON ASTM TEST DESIGNATION D1557. FIELD DENSITY TEST WILL BE PERFORMED IN ACCORDANCE WITH ASTM TEST DESIGNATION D2922 AND 2017. THE LOCATION AND FREQUENCY OF THE FIELD DENSITY TEST WILL BE AS DETERMINED BY THE SOIL ENGINEER. THE RESULTS OF THESE TESTS AND COMPLIANCE WITH THE SPECIFICATIONS WILL BE THE BASIS UPON WHICH SATISFACTORY COMPLETION OF THE WORK WILL BE JUDGED BY THE SOIL ENGINEER. ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED AS SHOWN ON PLANS, BUT NO STEEPER THAN (2) HORIZONTAL TO ONE (1) VERTICAL.
C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL THE EXCAVATION IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. NO DEVIATION FROM THESE SPECIFICATIONS SHALL BE MADE EXCEPT UPON WRITTEN APPROVAL BY THE SOILS ENGINEER. BOTH CUT AND FILL AREAS SHALL BE SURFACE COMPLETED TO THE SATISFACTION OF THE SOILS ENGINEER. AT THE CONCLUSION OF ALL GRADING OPERATIONS AND PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL VERIFY THAT THE SOILS ENGINEER AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF ALL SITE GRADING AND EXCAVATION INCLUDING CLEANING.

- 4. SITE PREPARATION AND STRIPPING: A. ALL SURFACE ORGANICS SHALL BE STRIPPED AND REMOVED FROM BUILDING PAD, AREAS TO RECEIVE COMPACTED FILL AND PAVEMENT AREAS.
B. UPON THE COMPLETION OF THE ORGANIC STRIPPING OPERATION, THE GROUND SURFACE (NATIVE SOIL SUBGRADE) OVER THE ENTIRE AREA OF ALL BUILDING PADS, STREET AND PAVEMENT AREAS AND ALL AREAS TO RECEIVE COMPACTED FILL SHALL BE FLOORED OR SCARPED UNTIL THE SURFACE IS FREE OF ROOTS, BRANCHED OR OTHER UNDESIRABLE FEATURES WHICH MAY IMPAIR UNIFORM SOIL COMPACTION. THE GROUND SURFACE SHALL THEN BE DRESSED OR BLENDED TO A DEPTH OF AT LEAST 6 INCHES. UPON ENGINEER'S SATISFACTION, THE NEW SURFACE SHALL BE WATER CONDITIONED AND RECOMPACTED PER REQUIREMENTS FOR COMPACTING FILL MATERIAL.
5. EXCAVATION: A. UPON COMPLETION OF THE CLEARING AND GRUBBING, SITE PREPARATION AND STRIPPING, THE CONTRACTOR SHALL MARK EXCAVATIONS TO LINES AND GRADES NOTED ON THE PLAN, WHERE REQUIRED BY THE SOILS ENGINEER. UNACCEPTABLE NATIVE SOILS OR UNDESIRABLE FILL SHALL BE OVER EXCAVATED BELOW THE DESIGN GRADE. SEE PROJECT SOILS REPORT FOR DISCUSSION OF OTHER EXCAVATION OF THE UNACCEPTABLE MATERIAL. RESULTING GROUND LINE SHALL BE SCARPED, MOISTURE-CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4. OF THESE SPECIFICATIONS. EXCAVATED FILL MATERIAL SHALL BE PLACED TO BRING GROUND LEVEL BACK TO DESIGN GRADE.
B. EXCAVATED MATERIALS SUITABLE FOR COMPACTED FILL MATERIAL SHALL BE UTILIZED IN MAKING THE REQUIRED COMPACTED FILL. THOSE NATIVE MATERIALS CONSIDERED UNSUITABLE BY THE SOILS ENGINEER SHALL BE DISPOSED OF OFF THE SITE BY THE CONTRACTOR.

- 6. PLACING, SPREADING AND COMPACTING FILL MATERIAL: A. FILL MATERIALS: THE MATERIALS PROPOSED FOR USE AS COMPACTED FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. THE NATIVE MATERIAL IS CONSIDERED SUITABLE FOR FILL, HOWEVER, ANY NATIVE MATERIAL DESIGNATED UNSUITABLE BY THE SOILS ENGINEER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. ANY IMPORTED MATERIAL SHALL BE APPROVED FOR USE BY THE SOILS ENGINEER IN WRITING. BEFORE BEING IMPORTED TO THE SITE AND SHALL POSSESS PROPERLY FINES TO PROVIDE A COMPACTIBLE SOIL. MATERIALS SHALL BE FREE OF VEGETATIVE AND ORGANIC MATTER AND OTHER OBSTACLES MATERIALS. ALL FILL VOLUMES SHALL BE FILLED AND PROPERLY COMPACTED. NO ROCKS LARGER THAN THREE INCHES IN DIAMETER SHALL BE PERMITTED.
B. FILL CONSTRUCTION: THE SOILS ENGINEER SHALL APPROVE THE NATIVE SOIL SUBGRADE BEFORE PLACEMENT OF ANY COMPACTED FILL MATERIAL. UNACCEPTABLE NATIVE SOIL SHALL BE REMOVED AS DIRECTED BY THE SOILS ENGINEER. THE RESULTING GROUND LINE SHALL BE SCARPED, MOISTURE CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4. OF THESE SPECIFICATIONS. COMPACTED FILL MATERIAL SHALL BE PLACED TO BRING GROUND LEVEL BACK TO DESIGN GRADE. PREPARATION SHALL BE FOLLOWED CLOSELY BY FILL PLACEMENT TO PREVENT SHIRING OUT OF THE SUBGRADE BEFORE PLACEMENT OF THE FILL.
THE APPROVED FILL MATERIALS SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS NO THICKER THAN 8" IN LOOSE THICKNESS. LAYERS SHALL BE SPREAD EVENLY AND SHALL BE THOROUGHLY BLEND MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL IN EACH LAYER. THE SCARPED SUBGRADE AND FILL MATERIAL SHALL BE MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE. WHEN THE MOISTURE CONTENT OF THE FILL IS BELOW THAT SPECIFIED, WATER SHALL BE ADDED UNTIL THE MOISTURE DURING THE COMPACTION PROCESS. WHEN THE MOISTURE CONTENT OF THE FILL IS ABOVE THAT SPECIFIED, THE FILL MATERIAL SHALL BE ADJUSTED BY BLENDING OR OTHER SATISFACTORY METHODS UNTIL THE MOISTURE CONTENT IS AS SPECIFIED.
AFTER EACH LAYER HAS BEEN SPREAD, MIXED, SPREAD EVENLY AND MOISTURE CONDITIONED, IT SHALL BE COMPACTED TO AT LEAST THE SPECIFIED DENSITY.
THE FILL OPERATION SHALL BE CONTINUED IN COMPACTED LAYERS AS SPECIFIED ABOVE UNTIL THE FILL HAS BEEN BROUGHT TO THE FINISHED SURFACE GRADE AS SHOWN ON THE PLANS. NO LAYER SHALL BE ALLOWED TO DRY OUT BEFORE SUBSEQUENT LAYERS ARE PLACED.
COMPACTION EQUIPMENT SHALL BE OF SUCH DESIGN THAT IT WILL BE ABLE TO COMPACT THE FILL TO THE SPECIFIED MINIMUM COMPACTION WITHIN THE SPECIFIED MOISTURE CONTENT RANGE. COMPACTION OF EACH LAYER SHALL BE CONTINUOUS OVER ITS ENTIRE AREA UNTIL THE REQUIRED MINIMUM DENSITY IS OBTAINED.

- 7. CUT OR FILL SLOPES: ALL CONTROLLED SLOPES, BOTH CUT AND FILL, SHALL BE NO STEEPER THAN 2 TO 1 (HORIZONTAL TO VERTICAL) DURING THE GRADING OPERATION. COMPACTED FILL SLOPES SHALL BE OVERLAPPED BY AT LEAST ONE FOOT HORIZONTALLY AT THE COMPLETION OF THE GRADING OPERATIONS. THE EXCESS FILL EXISTING ON THE SLOPES SHALL BE BLENDED OFF TO CREATE THE FINISHED SLOPE EMBANKMENT. ALL CUT AND FILL SLOPES SHALL BE TRACK MAINTAINED AFTER BEING BROUGHT TO FINISH GRADE AND THEN BE PLANTED WITH EROSION CONTROL SOILS PLANTINGS. THE SOILS ENGINEER SHALL REVIEW ALL CUT SLOPES TO DETERMINE IF ANY ADVISORY GEOTECHNICAL CONDITIONS ARE EXISTING. IF SUCH CONDITIONS DO OCCUR, THE SOILS ENGINEER SHALL RECOMMEND THE APPROPRIATE MITIGATION MEASURES AT THE TIME OF THEIR DETECTION.
8. SEASONAL LIMITS AND DRAINAGE CONTROL: FILL MATERIALS SHALL NOT BE PLACED, SPREAD OR COMPACTED WHILE IT IS AT AN UNDESIRABLY HIGH MOISTURE CONTENT OR DURING UNFAVORABLE CONDITIONS. WHEN THE WORK IS INTERRUPTED FOR ANY REASON, THE FILL OPERATIONS SHALL NOT BE RESUMED UNTIL FIELD TEST PERFORMED BY THE SOILS ENGINEER INDICATES THAT THE MOISTURE CONDITIONS IN AREAS TO BE FILLED ARE AS PREVIOUSLY SPECIFIED. ALL EARTH MOVING AND WORKING OPERATIONS SHALL BE PROMPTLY REMOVED AND THE SITE KEPT DRY.
9. DUST CONTROL: THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY FOR THE ALLEVIATION OR PREVENTION OF ANY DUST NUISANCE ON OR ABOUT THE SITE CAUSED BY THE CONTRACTOR'S OPERATION EITHER DURING THE PERFORMANCE OF THE GRADING OR RESULTING FROM THE CONFINEMENT IN WHICH THE CONTRACTOR LEAVES THE SITE. THE CONTRACTOR SHALL ASSUME ALL LIABILITY INCLUDING COURT COST OF CO-DEFENDANTS FOR ALL CLAIMS RELATED TO DUST OR WIND-BLOWN MATERIALS ATTRIBUTABLE TO HIS WORK. COST FOR THIS ITEM OF WORK IS TO BE INCLUDED IN THE EXCAVATION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

- 10. INDEMNITY: THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ENGINEER, THE OWNER AND HIS CONSULTANTS AND EACH OF THEIR OFFICES AND EMPLOYEES AND AGENTS, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGES ARISING OR ALLEGED TO ARISING, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS AND EACH OF THEIR OFFICES AND EMPLOYEES AND AGENTS.
11. SAFETY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
THE DUTY OF THE ENGINEERS TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN OR ON NEAR THE CONSTRUCTION SITE.

- 12. QUARANTINE: NEITHER THE FINAL PAYMENT, NOR THE PROVISIONS IN THE CONTRACT, NOR PARTIAL, NOR ENTIRE USE OR OCCUPANCY OF THE PREMISES BY THE OWNER SHALL CONSTITUTE AN ACCEPTANCE OF THE WORK. THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR THE CONTRACTOR'S LIABILITY IN RESPECT TO ANY EXPRESS WARRANTIES OR RESPONSIBILITY FOR FAULTY MATERIALS, OR WORKMANSHIP. THE CONTRACTOR SHALL REMEDY ANY DEFECTS IN WORK AND PAY FOR ANY TIME CALENDAR TO OTHER WORK HOLDING THESE FROM WHICH SUCH WORK MAY BE PAID OF ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.
13. TRENCH BACKFILL: EITHER THE ON-SITE INDIANASOIL SOIL OR APPROVED IMPORTED SOIL MAY BE USED AS TRENCH BACKFILL. THE BACKFILL MATERIAL SHALL BE MOISTURE CONDITIONED PER THESE SPECIFICATIONS AND NOT BE COMPACTED BY MECHANICAL MEANS TO A MINIMUM OF 90% RELATIVE COMPACTION. IMPORTED SAND MAY BE USED FOR TRENCH BACKFILL MATERIAL PROVIDED IT IS COMPACTED TO AT LEAST 90% RELATIVE COMPACTION. WATER JETTING ASSOCIATED WITH COMPACTOR USING VIBRATORY EQUIPMENT WILL BE PERMITTED ONLY WITH IMPORTED SAND BACKFILL WITH THE APPROVAL OF THE SOILS ENGINEER. ALL PIPES SHALL BE BEDDED WITH SAND EXTENDING FROM THE TRENCH BOTTOM TO TWELVE INCHES ABOVE THE PIPE. SAND BEDDING IS TO BE COMPACTED AS SPECIFIED ABOVE FOR SAND BACKFILL.
14. EROSION CONTROL: A. ALL GRADING, EROSION AND SEDIMENT CONTROL AND RELATED WORK UNDETAILED ON THIS SITE IS SUBJECT TO ALL TERMS AND CONDITIONS OF THE COUNTY GRADING ORDINANCE AND MAKE A PART HEREOF BY REFERENCE.
B. THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO ANY PUBLICLY OWNED AND MAINTAINED ROAD CAUSED BY THE AFORESAID CONTRACTOR'S GRADING ACTIVITIES, AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL, SPILLED ON ANY PUBLIC ROAD ON THE TUAL ROUTE.
C. THE EROSION CONTROL MEASURES ARE TO BE OPERABLE DURING THE RAINY SEASON, GENERALLY FROM OCTOBER FIRST TO APRIL FIFTEENTH. EROSION CONTROL PLANTINGS IS TO BE COMPLETED BY OCTOBER FIRST, NO GRASSING OR PLANTING TRENCHING SHALL OCCUR BETWEEN OCTOBER FIRST AND APRIL FIFTEENTH UNLESS AUTHORIZED BY THE LOCAL JURISDICTION.
D. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGED TO THEIR DESIGN AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DISCRETION OF THE SOILS ENGINEER.
E. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LOADS RUNOFF TO ANY STORM DRAINAGE SYSTEM.
F. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
G. WHEN NO LONGER NECESSARY AND PRIOR TO FINAL ACCEPTANCE OF DEVELOPMENT, SEDIMENT BASINS SHALL BE REMOVED OR OTHERWISE DEACTIVATED AS REQUIRED BY THE LOCAL JURISDICTION.
H. A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE TO ROADWAY. A CONSTRUCTION ENTRANCE SHALL BE COMPOSED OF CONCRETE GRADE ROAD (2" TO 3" MINIMUM DIAMETER) AT LEAST SIX INCHES THICK BY FIFTY (50) FEET LONG BY TWENTY (20) FEET WIDE UNLESS SHOWN OTHERWISE ON PLAN AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.
I. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIALS CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS:
FIBER, 2000 LBS/ACRE
SEED, 200 LBS/ACRE (SEE NOTE 1 BELOW)
FERTILIZER (10-10-10), 500 LBS/ACRE
WATER, AS REQUIRED FOR APPLICATION
J. SEED MIX SHALL BE PER CALIFORNIA STANDARDS.
K. WATER UTILIZED IN THE STABILIZATION MATERIAL SHALL BE OF SUCH QUALITY THAT IT WILL PROMOTE GERMINATION AND STIMULATE GROWTH OF PLANTS. IT SHALL BE FREE OF POLLUTANT MATERIALS AND WEED SEEDS.
L. HYDROSEEDING SHALL CONFORM TO THE PROVISIONS OF SECTION 20, EROSION CONTROL, AND HIGHWAY PLANTING, OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LATEST REVISED.
M. A DISPENSING AGENT MAY BE ADDED TO THE HYDROSEEDING MATERIAL, PROVIDED THAT THE CONTRACTOR FURNISHES SATISFACTORIAL EVIDENCE THAT THE ADDITIVE WILL NOT ADVERSELY AFFECT THE PERFORMANCE OF THE SEEDING MIXTURE.
N. STABILIZATION MATERIALS SHALL BE APPLIED AS SOON AS PRACTICABLE AFTER COMPLETION OF GRADING OPERATIONS AND PRIOR TO THE ONSET OF WINTER RAINS OR AT SUCH OTHER TIME AS DIRECTED BY THE COUNTY ENGINEER. THE MATERIAL SHALL BE APPLIED BEFORE INSTALLATION OF OTHER LANDSCAPING MATERIALS SUCH AS TREES, SHRUBS AND GROUND COVERS.
O. THE STABILIZATION MATERIAL SHALL BE APPLIED WITHIN 4-HOURS AFTER MOIST MIXED MATERIAL NOT USED WITHIN 4-HOURS SHALL BE REMOVED FROM THE SITE.
P. THE CONTRACTOR SHALL MAINTAIN THE SOIL STABILIZATION MATERIAL AFTER PLACEMENT. THE CONTRACTOR SHALL MAINTAIN THE SOIL STABILIZATION MATERIAL AFTER PLACEMENT. THE CONTRACTOR SHALL MAINTAIN THE SOIL STABILIZATION MATERIAL AFTER PLACEMENT. THE CONTRACTOR SHALL MAINTAIN THE SOIL STABILIZATION MATERIAL AFTER PLACEMENT. THE CONTRACTOR SHALL MAINTAIN THE SOIL STABILIZATION MATERIAL AFTER PLACEMENT.

- 15. CLEANUP: THE CONTRACTOR MUST MAINTAIN THE SITE CLEAN, SAFE AND IN USABLE CONDITION. ANY SPILLS OF SOIL, ROCK OR CONSTRUCTION MATERIALS MUST BE REMOVED FROM THE SITE BY THE CONTRACTOR DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. COST FOR THIS ITEM OF WORK SHALL BE INCLUDED IN THE EXCAVATION AND CONSTRUCTION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
NOTE: THESE NOTES ARE INTENDED TO BE USED AS A GENERAL GUIDELINE. THE REFERENCED SOILS REPORT FOR THE PROJECT AND GOVERNING AGENCY GRADING ORDINANCE SHALL SUPERSEDE THESE NOTES. THE SOILS ENGINEER MAY MAKE ON-SITE RECOMMENDATIONS DURING GRADING OPERATIONS.



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MENLO PARK, CALIFORNIA
SAL VATED COUNTY
APN: 071-01-11-00

GRADING SPECIFICATIONS

Table with 2 columns: REVISIONS, BY. Includes Job No. 2161159, Date: 11-20-16, Scale: NO SCALE, Design By: BS, Drawn By: BS, Sheet No.



PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LOAEN RUNOFF TO ANY WATER SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM EVENT.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEM. REMOVAL OF ACCUMULATED DEBRIS SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 1 THRU APRIL 15, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPL STORMWATER REGIONAL PERMIT ("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ON-SITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INCEPTION OF ANY WORK ON-SITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH FERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPAILLON UNITS. THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNITS. THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL, BY WIND

EROSION CONTROL NOTES CONTINUED:

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS/TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

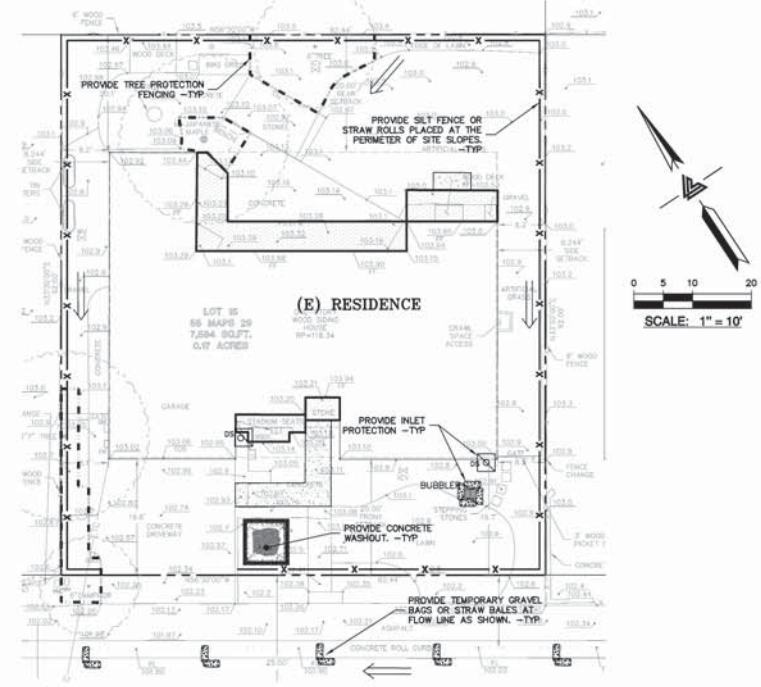
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDEED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW ROLLS, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHOULD BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 207 "EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURER'S SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

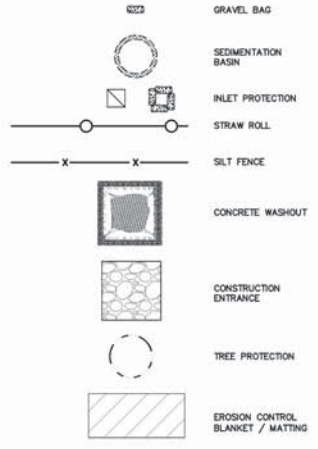
- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL.
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1' FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELLED AS NECESSARY FOLLOWING RAIN.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION.



EROSION CONTROL LEGEND



NOTE:
SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP



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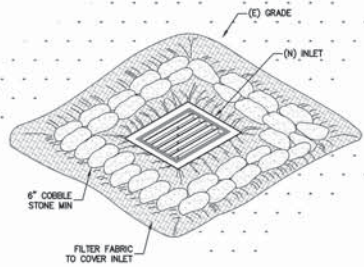
LANGER-SIEGEL RESIDENCE
 1370 DELFINO WAY
 MENLO PARK, CALIFORNIA
 SAN MATEO COUNTY

EROSION CONTROL PLAN

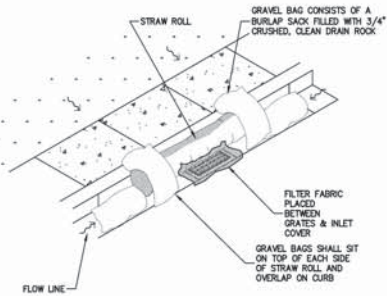
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JOB NO: 2161159
 DATE: 11-20-16
 SCALE: 1" = 10'
 DESIGN BY: BS
 DRAWN BY: BS
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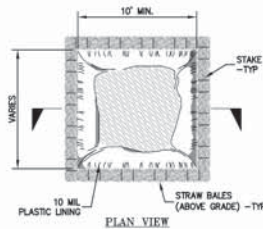




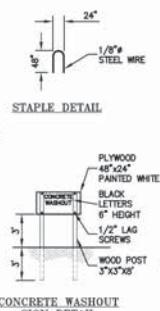
1 **INLET PROTECTION**
ER-2 NTS



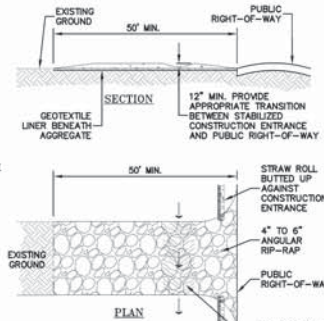
2 **STREET INLET PROTECTION**
ER-2 NTS



3 **CONCRETE WASHOUT**
ER-2 NTS

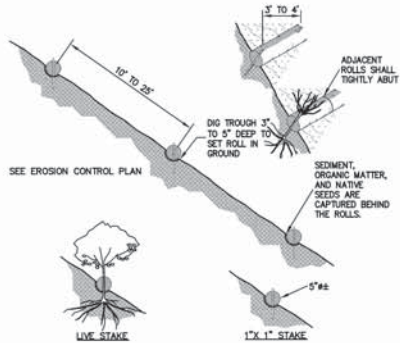


4 **CONSTRUCTION ENTRANCE**
ER-2 NTS



5 **STRAW ROLLS**
ER-2 NTS

NOTES:
 STABILIZED CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED OF 3" TO 4" WASHED, FRACTURED STONE AGGREGATE.
 MATERIAL SHALL BE PLACED TO A MINIMUM THICKNESS OF 12". LENGTH OF ENTRANCE SHALL BE A MINIMUM OF 50'.
 WIDTH SHALL BE A MIN. OF 15' OR GREATER IF NECESSARY TO COVER ALL VEHICULAR INGRESS AND EGRESS. PROVIDE AMPLE TURNING RADI.
 THE ENTRANCE SHALL BE KEPT IN GOOD CONDITION BY OCCASIONAL TOP DRESSING WITH MATERIAL AS SPECIFIED IN ABOVE NOTE.
 ACCESSES SHALL BE INSPECTED WEEKLY DURING PERIODS OF HEAVY USAGE, MONTHLY DURING NORMAL USAGE, AND AFTER EACH RAINFALL, WITH MAINTENANCE PROVIDED AS NECESSARY.
 PERIODIC TOP DRESSING SHALL BE DONE AS NEEDED.
 12" MIN. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY
 50' MIN.
 EXISTING GROUND
 GEOTEXTILE LINER BENEATH AGGREGATE
 24"
 1/2" # STEEL WIRE
 50' MIN.
 EXISTING GROUND
 4" TO 6" ANGULAR RIP-RAP
 PUBLIC RIGHT-OF-WAY
 PROVIDE DEPRESSION TO DIRECT RUN OFF AWAY FROM PUBLIC RIGHT-OF-WAY.



6 **EXISTING TREE PROTECTION DETAIL**
ER-2 NTS

NOTE:
 1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 5" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
 2. CONTRACTOR IS RESPONSIBLE FOR REGULAR MAINTENANCE AND INSPECTION. THE SILT SHALL BE CLEANED OUT WHEN IT REACHES HALF THE HEIGHT OF THE ROLL.

5 **STRAW ROLLS**
ER-2 NTS



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LANGER-SIEGEL RESIDENCE
 1370 DELFINO WAY
 MENLO PARK, CALIFORNIA
 SAN MATEO COUNTY
 APR: 07-01-100

**EROSION CONTROL
 DETAILS**

NO.	REVISIONS	BY
1		
2		
3		
4		
5		

JOB NO: 2161159
 DATE: 11-30-16
 SCALE: NTS
 DESIGN BY: BS
 DRAWN BY: BS
 SHEET NO:

YOUNG AND BORLIK**ARCHITECTS INCORPORATED**

4962 EL CAMINO REAL, SUITE 218
LOS ALTOS, CA 94022

TELEPHONE: (650) 688-1950 FAX: (650) 323-1112

June 19th, 2017

City of Menlo Park
Community Development, Planning Division
701 Laurel Street, Menlo Park, CA 94025

Re: 1370 Delfino Way, Menlo Park
Project description letter for: Langer-Siegel Family Trust

The purpose of this letter is to describe the proposed addition and remodel project to the single story house at 1370 Delfino Way, to accompany our submittal of plans and application for the Use Permit approval. The overall project includes adding 345.7 sf to the existing house and combined with interior remodeling of the existing residence. The residence addition and remodel was approved for a building permit (BLD2016-01861) and is presently under construction (concrete foundation phase). The approved plans had shown the old T1-11 plywood siding, to remain and to be matched (for financial reasons – cost containment). However, upon demolition the contractor, un-aware of the many conversations the architect had with Planning, and seeing the poor condition of the T1-11 siding removed the siding to install the required earthquake shear plywood.

The parcel is 7,584 sf, zoned as R-1-U. Based on lot dimensions, the existing home structure has existing 8'-1-1/2" side setbacks (both sides) where 8'-3" is it really 8'3" or is it actually 8'2' which is required, and existing front setbacks of 19'-9-5/8" (@ garage) and 19'-9" (@ bedrooms) where 20'-0" is required. Furthermore the existing roof (though 12'-8-1/2" below the height limit) encroaches into the side daylight planes on both sides. So these 3 setbacks and eave conditions represent an existing non-conformity. The revised scope of work includes the replacement of the **T1-11 Plywood Siding**, as it was removed in error and for new **Stucco, as the old siding cannot be reattached**, as well as the replacement of the roofing with a new composition asphalt shingle (partial replacement was approved) which necessitate a Use Permit approval for development. The owner would like to remodel their house for their family while maintaining the main character of the house and be able to reside in the same house they have lived for the last decade. The owner is the second owner of the house, which has never been remodeled, and the mechanical systems, windows, electrical, plumbing all required upgrading for safety and efficiency reasons. We understand that the house next door at 1360 Delfino Way recently received a use permit to maintain similar non-conformities and to add a second story.

The design will make minimal changes to the exterior massing, character from the street, other than a much cleaner exterior, new roof, new windows, and future solar panels. The windows will be aluminum clad with wood trim, predominantly sliding and double hung style. The existing attached two car garage will remain and there will be no change to the existing driveway. The existing encroaching side setbacks of 8'-1-1/2" and front setback of 19'-9" will remain unchanged. The existing front yard will remain unchanged to maintain the front landscape. The house will remain a one-story house.

Thank you for your time in review of this project. We are proud to present this design for your consideration, and look forward to the opportunity to create this high quality residence remodel and addition to compliment the neighborhood.

Sincerely,

Andrew Young, Architect C21679

Young and Borlik Architects Inc.

Carter and Donna Busse
1360 Delfino Way
Menlo Park, CA 94025

June 21, 2017

Menlo Park Planning Commission
701 Laurel St
Menlo Park,
CA 94025

Dear Planning Commission

We have lived at 1360 Delfino Way in Menlo Park next to the Langer-Siegel Family at 1370 Delfino Way for the last 7 years. Lisa and Dan have kept us informed on their project and have shown us the plans for their remodel. We strongly support their remodel and the positive impact that it will have on our cul-de-sac. They recently learned and told us that a Use Permit from the Menlo Park Planning Commission is required to allow them to continue to keep the non-conformities on their property (the house being an inch or two too close to the street and maybe an inch too close to the side property line, and their location of their eaves). We have no objection to these non-conformities continuing and strongly support their remodel as proposed.

Their house and others on the block were built slightly out of line. The original building locations have had no negative impact on us or on the neighborhood and will not have any negative impact moving forward on the neighborhood. In fact, we recently received Planning Commission approval to maintain similar non-conformities in our remodeling project which we are about to start constructing (Permit - BLD2015-01737). The neighborhood voiced their unanimous support to the Planning Commission to do so.

We strongly urge you to approve the Use Permit so that the construction may resume and so that Lisa, Dan and their children may move back into their house and be part of our neighborhood again.

Sincerely,

A handwritten signature in blue ink, appearing to read "Carter and Donna Busse". The signature is fluid and cursive, with the first name "Carter" being more prominent and the last name "Busse" ending in a long, sweeping tail.

Carter and Donna Busse

From: Kelly Griggs
To: [Paz Ori](#)
Cc: [Bill and Kelly Griggs](#)
Subject: 1370 Delfino Way, Menlo Park - Please Approve Use Permit
Date: Wednesday, June 21, 2017 5:38:56 PM

Dear Menlo Park Planning Commission,

We live at 1365 Delfino Way in Menlo Park. We have lived on the street (next to/across) from the Langer-Siegel Family at 1370 Delfino for 6 years. Lisa and Dan have kept us informed on their project and have shown us the plans for their remodel. We strongly support their remodel and the positive impact that it will have on our cul-de-sac. They recently learned and told us that a Use Permit from the Menlo Park Planning Commission is required to allow them to continue to keep the non-conformities on their property (the house being an inch or two too close to the street and maybe an inch too close to the side property line, and their location of their eaves). We have no objection to these non-conformities continuing and strongly support their remodel as proposed.

Their house and others on the block (including ours) were built slightly out of line. The original building locations have had no negative impact on us or on the neighborhood and will not have any negative impact moving forward on the neighborhood.

We strongly urge you to approve the Use Permit so that the construction may resume and so that Lisa, Dan and their children may move back into their house and be part of our neighborhood again.

Sincerely,
Kelly & Bill Griggs
1365 Delfino Way
Menlo Park, CA 94025
650-464-1965

June 26, 2017

Dear Planning Commission,

I live at 1371 Delfino Way in Menlo Park. We were among the first residents to move into our lovely new homes in 1962, when all of the houses on the street were brand new. The Langer-Siegel family at 1370 Delfino has been our wonderful neighbor for 10 years. The only other owners of the house were the Searles who moved in at the same time we did.

Apparently their house and others on the block were built slightly out of line. The house at 1370 is in the same location as it was when it was built and we all moved to the street in 1962. The location of 1370 and the other houses on the street have not had any negative impact on us or on our neighbors for the 55 years that we have lived on Delfino.

Lisa and Dan have kept us informed on their project and have shown us the plans for their remodel. We strongly support their remodel and the positive impact that it will have on our cul-de-sac. They recently learned and told us that a Use Permit from the Menlo Park Planning Commission is required to allow them to continue to keep the non-conformities on their property (the house being an inch or two too close to the street and maybe an inch too close to the side property line, and their location of their eaves). We have no objection to these non-conformities continuing and strongly support their remodel as proposed.

As the oldest and longest time resident of Delfino Way I strongly urge you to approve the Use Permit so that the construction may resume and so that Lisa, Dan and their children may move back into their house and be part of our neighborhood again.

Many thanks for your consideration of this letter.

Sincerely yours,

Lawrence Peckler and family

1371 Delfino Way
Menlo Park, CA 94025

From: John S Ahn
To: [Paz Ori](#)
Subject: Project at 1370 Delfino Way
Date: Sunday, June 25, 2017 5:55:22 PM

Dear Planning Commission,

We live at 1380 Delfino Way in Menlo Park. We have lived on the street adjacent to the Langer-Siegel Family at 1370 Delfino for over 10 years. Lisa and Dan have kept us informed on their project and have shown us the plans for their remodel. We strongly support their remodel and the positive impact that it will have on our cul-de-sac. They recently learned and told us that a Use Permit from the Menlo Park Planning Commission is required to allow them to continue to keep the non-conformities on their property (the house being an inch or two too close to the street and maybe an inch too close to the side property line, and their location of their eaves). We have no objection to these non-conformities continuing and strongly support their remodel as proposed.

Their house and others on the block were built slightly out of line. The original building locations have had no negative impact on us or on the neighborhood and will not have any negative impact moving forward on the neighborhood.

We strongly urge you to approve the Use Permit so that the construction may resume and so that Lisa, Dan and their children may move back into their house and be part of our neighborhood again.

Please feel free to contact me if you have any questions.

Sincerely,

John and Linette Ahn
1380 Delfino Way
650-330-0987



STAFF REPORT

Planning Commission

Meeting Date: 7/17/2017

Staff Report Number: 17-045-PC

Public Hearing: Use Permit/Thomas Jackson/501 Laurel Avenue

Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish an existing two-story duplex and construct a new two-story, single-family residence with a detached garage on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban) zoning district. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The project site is located at 501 Laurel Avenue, at the intersection of Elm Street in the Willows neighborhood. A location map is included as Attachment B. The subject parcel is substandard with regard to the lot width. The subject parcel is surrounded by single-family homes which are also in the R-1-U zoning district. This neighborhood has a mix of housing stock, which includes one- and two-story single-family residences of various architectural styles including ranch, farmhouse, and craftsman style homes.

For Zoning Ordinance setback purposes, the front property line for corner lots is the shorter of the two street-facing sides. Front doors and addresses may be located on either street frontage, and off-street parking may take access from either frontage. In this case, the front property line is on Laurel Avenue, and Elm Street is designated the corner side lot line. The existing front doors and address are on Laurel Avenue, and the off-street parking is accessed from Elm Street.

Analysis

Project description

The applicant is proposing to demolish an existing two-story duplex and construct a new two-story, single-family residence. The existing duplex is a nonconforming use in the R-1-U district. During the project review, staff asked the applicant if a secondary dwelling unit was considered, in order to keep the same number of units on site. The applicant stated that he was not interested in providing a secondary dwelling unit as part of the proposed project. A data table summarizing parcel and project attributes is included as

Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a four-bedroom home with three bathrooms. The first story living space includes a kitchen, living room, dining room, family room, one bathroom, and one bedroom. The second story would feature three bedrooms and two bathrooms.

The address and front door would remain on Laurel Street. The applicant is also proposing a detached one-car garage with an attached storage room in the rear yard. The proposed garage and an uncovered parking space would be accessed from Elm Street.

The floor area, building coverage, and height of the proposed residence would all be below the maximum amounts permitted by the Zoning Ordinance. Additionally, the structure would comply with the daylight plane for a two-story home in the R-1-U zoning district.

Design and materials

The proposed residence would be a Napa farmhouse style home. The home would feature a recessed front entry with a wood painted door, painted wood siding, and composition roofing. Additional architectural interest would be created by the sheet metal roofing on the front elevation. The proposed windows would be consistent throughout the residence and feature casement clad wood with simulated divided lites. The design of the detached garage would be consistent with the main residence featuring the same wood siding, architectural details, wood doors and windows. The structures would feature corner boards, which staff believes are a fairly typical design element for this architectural style, although they have sometimes been a discussion point for the Planning Commission.

The closest adjacent residence, a single-story, single-family home at 507 Laurel Avenue, is approximately 19 feet away. The second-story windows are designed in such a way that potential privacy impacts should be limited. The second-story windows on the interior side and rear elevations are proposed to have sill heights of at least three-and-a-half feet which, would promote privacy for the neighboring side and rear properties. The windows on the street side elevation would have lower sill heights where the closest adjacent residence is across Elm Street. Staff believes that the scale, materials, and style of the proposed residence are consistent with the broader neighborhood, given the variety of architectural styles and sizes of structures in the area.

Flood zone

The subject property is located within the "AE" zone established by the Federal Emergency Management Agency (FEMA). Within this zone, flood proofing techniques are required for new construction and substantial improvements of existing structures. Stated in general terms, the finished floor must be at least one foot above the base flood elevation. The sections (Attachments D6) show the base flood elevation (34.5 feet) in relation to the existing average natural grade (approximately 33.5 feet) and the finished floor (35.5 feet). The Public Works Department has reviewed and tentatively approved the proposal for compliance with FEMA regulations.

Trees and landscaping

At present, there are 13 trees on or in near proximity to the project site. Four of these trees are heritage trees and are located in the right-of-way. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of trees on and near the property. During the review process, the arborist report was reviewed by the City's independent consulting arborist to confirm the accuracy of the conclusions of the report. In the time between application submittal and the scheduling of this public hearing, the property owner removed two non-heritage trees (#8 and #10) and one heritage tree (#13) listed in the arborist report. The applicant notified the City Arborist regarding the inadvertent heritage tree removal, and a removal permit was retroactively issued. One tree replacement is proposed for the heritage tree that was removed. The City's consulting arborist has requested that prior to building permit issuance the proposed replacement tree size be updated to a 24-inch box tree, as specified in condition 4a. No additional trees are proposed for removal.

The demolition of the existing duplex and construction of the new residence and accessory building are not anticipated to adversely affect any of the existing trees located on the subject site or neighboring properties. Standard heritage tree protection measures will be ensured through recommended condition 3g. The fencing on this property would comply with fence height limitations for corner parcels, as specified in condition 4b.

Correspondence

The applicant indicates that outreach was performed by contacting adjacent property owners regarding the proposed project. Staff has not received any comments on the proposed development.

Conclusion

Staff believes that the scale, materials, and style of the proposed residence are compatible with those of the greater neighborhood. The applicant has designed the second floor windows with greater sill heights to promote privacy for the interior side and rear neighbors. The floor area, building coverage, and height of the proposed residence would all be at or below the maximum amounts permitted by the Zoning Ordinance, and the new structure would be within the daylight plane requirements. No heritage tree impacts are anticipated per the arborist report and as confirmed by the City's independent consulting arborist. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

Kaitie Meador, Associate Planner

Report reviewed by:

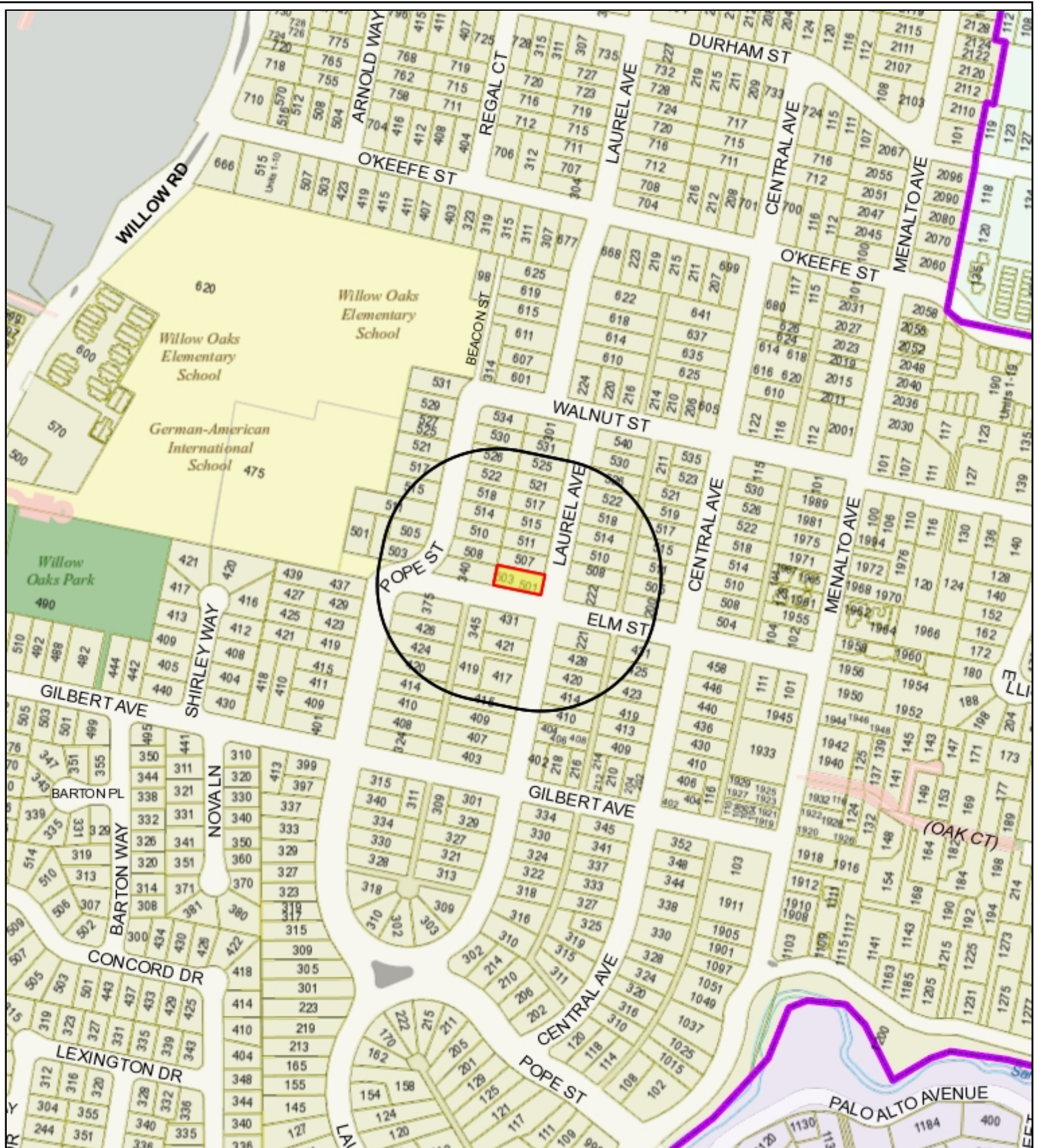
Thomas Rogers, Principal Planner

501 Laurel – Attachment A: Recommended Actions

LOCATION: 501 Laurel Avenue	PROJECT NUMBER: PLN2017-00024	APPLICANT: Thomas Jackson	OWNER: Thomas Jackson
REQUEST: Request for a use permit to demolish an existing two-story duplex and construct a new two-story, single-family residence with a detached garage on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: July 17, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Volkmann Architecture, consisting of nine plan sheets, dated received on July 10, 2017, and approved by the Planning Commission on July 17, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 			

501 Laurel – Attachment A: Recommended Actions

LOCATION: 501 Laurel Avenue	PROJECT NUMBER: PLN2017-00024	APPLICANT: Thomas Jackson	OWNER: Thomas Jackson
REQUEST: Request for a use permit to demolish an existing two-story duplex and construct a new two-story, single-family residence with a detached garage on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban) zoning district.			
DECISION ENTITY: Planning Commission	DATE: July 17, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p>ACTION:</p> <p>4. Approve the use permit subject to the following <i>project-specific</i> conditions:</p> <ul style="list-style-type: none"> a. Prior to building permit issuance, the heritage replacement tree's size shall be updated to a 24-inch box tree subject to the review and approval by the City Arborist. b. Simultaneous with the submittal of a complete building permit application, the applicant shall note on the site plan that any future fencing within the front setback and/or corner triangle shall comply with the fence height limitations in the Zoning Ordinance. 			



City of Menlo Park

Location Map
501 Laurel Ave



Scale: 1:4,000

Drawn By: KMM

Checked By: THR

Date: 7/17/2017

Sheet: 1

501 Laurel Avenue – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	6,593 sf	6,593 sf	7,000 sf min.
Lot width	52.8 ft.	52.8 ft.	65 ft. min.
Lot depth	125 ft.	125 ft.	100 ft. min.
Setbacks			
Front	25 ft.	30.8 ft.	20 ft. min.
Rear	55.8 ft.	53.7 ft.	20 ft. min.
Side (right)	6.8 ft.	4.6 ft.	6 ft. min.
Side (street)	14 ft.	3.9 ft.	12 ft. min.
Building coverage	1,769 sf 26.8 %	2,050 sf 31 %	2,307.6 sf max. 35 % max.
FAL (Floor Area Limit)	2,788 sf	2,250 sf	2,800 sf max.
Square footage by floor	1,277 sf/1st 1,103 sf/2nd 408 sf/garage 84 sf/porch	1,649 sf/1 st 200 sf/2 nd 401 sf/garage	
Square footage of buildings	2,872 sf	2,250 sf	
Building height	27 ft.	20.1 ft.	28 ft. max.
Parking	1 covered/1 uncovered	2 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees	3*	Non-Heritage trees 7
	Heritage trees proposed for removal	0	New Trees 1
		Non-Heritage trees proposed for removal	0
			Total Number of Trees 11

*Includes trees in the public right-of-way and on neighboring properties

VICINITY MAP



VOLKMANN ARCHITECTURE
 1601 North Main, Suite 202
 Walnut Creek, CA 94596
 925. 478. 2958 (office)
 ContactUs@volkmanarchitecture.com
 www.volkmanarchitecture.com

Project Title:
NEW RESIDENCE FOR Tom Jackson

501 Laurel Avenue
 Menlo Park, CA

SITE PLAN

VICINITY MAP

PROJECT DATA

DRAWING INDEX

DRAWING INDEX

- D1.1 COVER SHEET WITH SITE PLAN, SHEET INDEX, VICINITY MAP, PROJECT DATA
- D1.2 LANDSCAPE PLAN
- D2 AREA PLAN
- D3 SQUARE FOOTAGE CALCULATION PLANS
- D4 MAIN FLOOR PLAN, UPPER FLOOR PLAN & GARAGE PLAN
- D5 EXTERIOR ELEVATIONS
- D6 BUILDING SECTIONS, STREETSCAPES
- D7 ROOF PLAN, EXISTING LOWER AND UPPER FLOOR PLANS, EXISTING AREA CALCULATIONS
- C1 CIVIL DRAWING

PROJECT DATA

PROJECT ADDRESS	501 Laurel Avenue, MP 94025		
APN	061 381 380		
OCCUPANCY	R-3U		
CONSTRUCTION TYPE	TYPE V8		
FIRE SPRINKLERS	REQUIRED		
ZONING CLASSIFICATION	R-3U		
ALL GRADES TO REMAIN NATURAL			
Lot Size	Actual	Code Min or Max	
	W = 51.75'	65'	
	L = 124.98'	100'	
	A = 6592.7 sf	7000 sf	
Floor Area	Proposed	Code	Existing
	1st floor = 1277 sf		1649 sf
	2nd floor = 1153 sf		200 sf
	Garage = 408 sf		401 sf
	Total FA = 2788 sf	2800 sf	2250 sf
Lot Coverage	(buildings) 1719 sf (26.8%)	2307 sf (35%)	
	(walks and drives) 308 sf		1118 sf
Set Backs	Front = 25'	20'	31.1'
	Rear = 56'	20'	52.7'
	Left = 14'	12'	4'
	Right = 6.75'	5.28'	4.6'
	Garage = 5' and 5'	3' and 3'	4' and 4'
Height	House 28'7"	28'	20.1'
	Garage 14'	14'	11'
Parking	2, min 1 covered	2, min 1 covered	2 covered
Average Grade	33.5'		
BFE	34.5'		
Top of Stem Wall	34.5'		
House FF Elev	35.5'		35.9'
Garage FF Elev	34.5'		33.0'



Revisions

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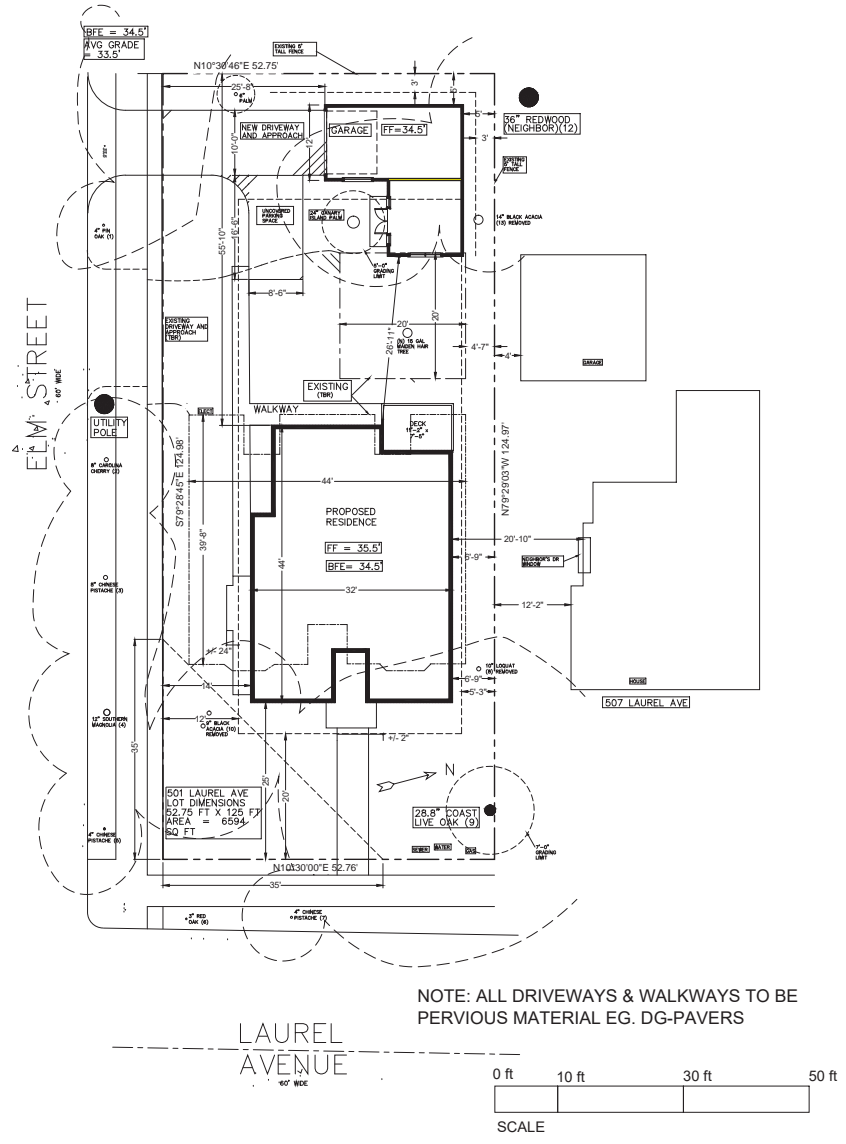
Approved: PCV

Job No.: 21402.02

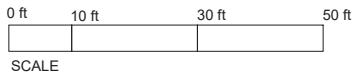
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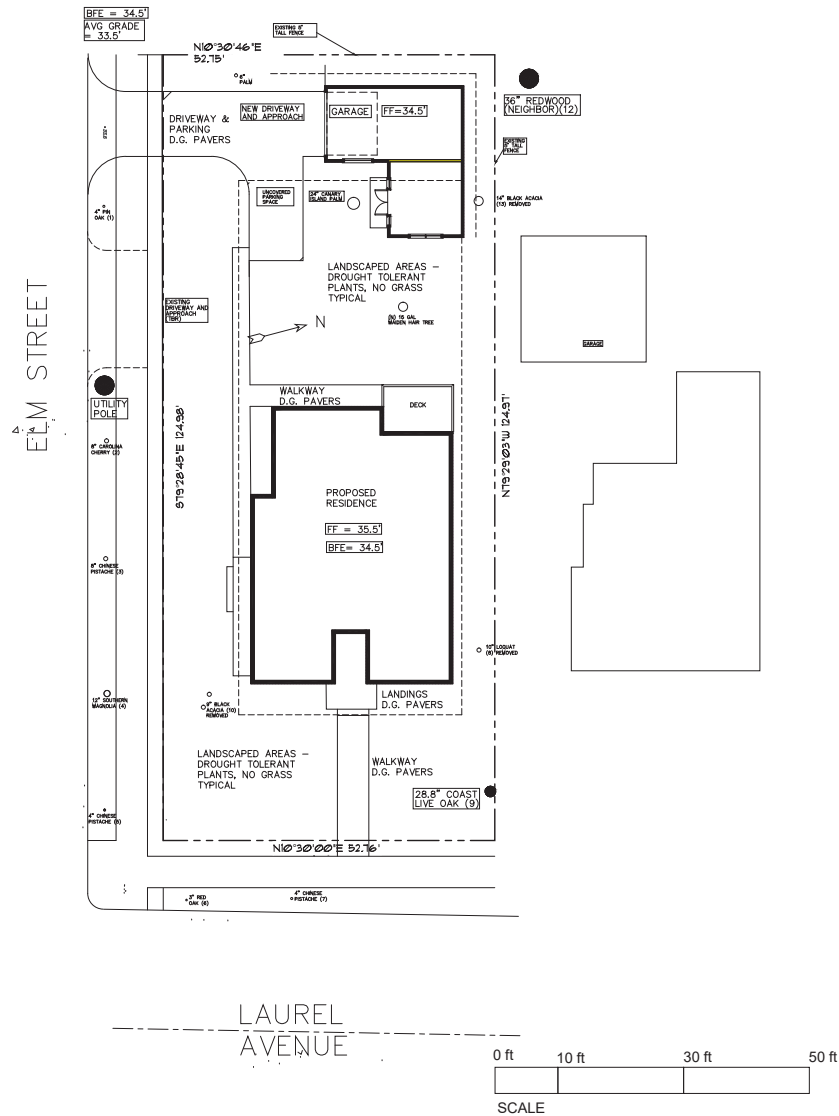
NOTE: ALL DRIVEWAYS & WALKWAYS TO BE PERVIOUS MATERIAL EG. DG-PAVERS



TREE PROTECTION: TREE PROTECTION ZONES SHOULD BE ESTABLISHED AND MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT. FENCING FOR THE PROTECTION ZONES SHOULD BE 6 FOOT TALL METAL CHAIN LINK TYPE SUPPORTED BY 2 INCH METAL POLES POUNDED INTO GROUND BY NO LESS THAN 2 FEET. THE SUPPORT POLES SHOULD BE SPACED NO MORE THAN 10 FEET APART ON CENTER. THE LOCATION FOR THE PROTECTION FENCING SHOULD BE AS CLOSE TO THE DRIPLINE AS POSSIBLE STILL ALLOWING ROOM FOR CONSTRUCTION TO SAFETY CONTINUE. SIGNS SHOULD BE PLACED ON FENCING SIGNIFYING "TREE PROTECTION ZONE - KEEP OUT". NO MATERIALS OR EQUIPMENT SHOULD BE STORED OR CLEANED INSIDE THE TREE PROTECTION ZONE. AREAS OUTSIDE THE FENCING BUT STILL BENEATH THE DRIPLINE OF PROTECTED TREES, WHERE FOOT TRAFFIC IS EXPECTED TO BE HEAVY, SHOULD BE MULCHED WITH 4 TO 6 INCHES OF CHIPPER CHIPS. THE SPREADING OF CHIPS WILL HELP TO RELIEVE COMPACTION AND IMPROVE THE SOIL STRUCTURE. THE DRIPLINES CAN BE CALCULATED BY MULTIPLYING THE TRUNK DIAMETER BY 10.

ANY ROOTS TO BE CUT SHOULD BE MONITORED AND DOCUMENTED. LARGE ROOTS OR LARGE MASSES OF ROOTS TO BE CUT SHOULD BE INSPECTED BY THE SITE ARBORIST. THE SITE ARBORIST MAY RECOMMEND FERTILIZING OR IRRIGATION IF ROOT CUTTING IS SIGNIFICANT. CUT ALL ROOTS CLEAN WITH A SAW OR LOPPERS. ROOTS TO BE LEFT EXPOSED FOR A PERIOD OF TIME SHOULD BE COVERED WITH LAYERS OF BURLAP AND KEPT MOIST. TRENCHING FOR IRRIGATION, ELECTRICAL, DRAINAGE OR ANY OTHER REASON SHOULD BE HAND DUG WHEN BENEATH THE DRIPLINE OF PROTECTED TREES. HAND DIGGING AND CAREFULLY LAYING PIPES BELOW OR BESIDE PROTECTED ROOTS WILL DRAMATICALLY REDUCE ROOT LOSS OF DESIRED TREES THUS REDUCING TRAUMA TO THE ENTIRE TREE. TRENCHES SHOULD BE BACKFILLED AS SOON AS POSSIBLE WITH NATIVE MATERIAL AND COMPACTED TO ORIGINAL LEVEL. TRENCHES THAT MUST BE LEFT EXPOSED FOR A PERIOD OF TIME SHOULD ALSO BE COVERED WITH LAYERS OF BURLAP AND KEPT MOIST. PLYWOOD OVER THE TOP OF THE TRENCH WILL ALSO HELP PROTECT ROOTS BELOW.

NORMAL IRRIGATION SHOULD BE MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT. THE NATIVE OAK SHOULD NOT REQUIRE ADDITIONAL IRRIGATION UNLESS ITS ROOTS ZONES ARE TRAUMATIZED. THE IMPORTED TREES ON THIS SITE WILL REQUIRE IRRIGATION DURING THE WARM SEASON MONTHS. SOME IRRIGATION MAY BE REQUIRED DURING THE WINTER MONTHS DEPENDING ON THE SEASONAL RAINFALL. DURING THE SUMMER MONTHS THE TREES ON THIS SITE SHOULD RECEIVE HEAVY FLOOD TYPE IRRIGATION 2 TIMES A MONTH. DURING THE FALL AND WINTER 1 TIME A MONTH SHOULD SUFFICE. MULCHING THE ROOT ZONE OF PROTECTED TREES WILL HELP RETAIN MOISTURE, THUS REDUCING WATER CONSUMPTION.



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Revisions

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Date: 7/7/17

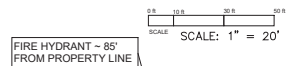
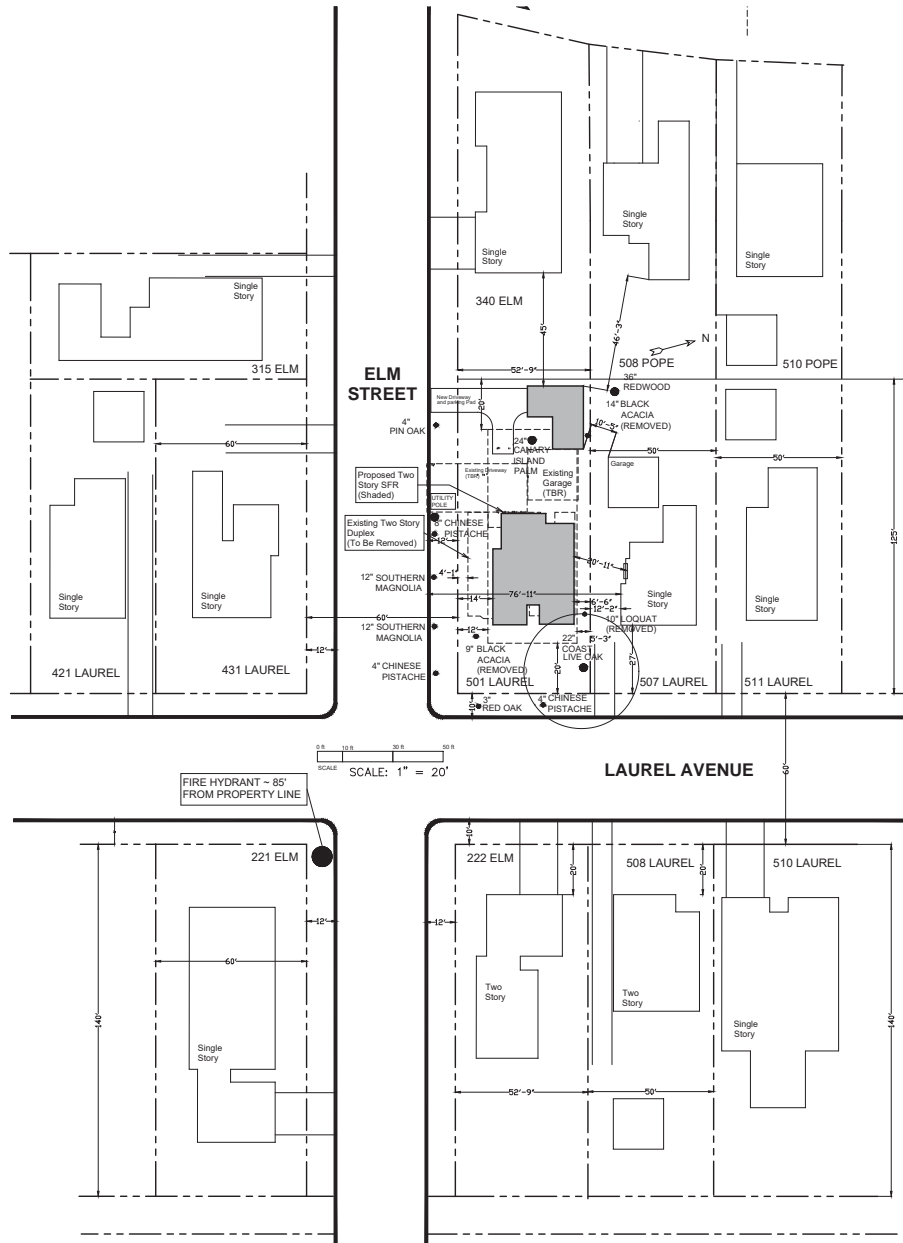
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Project Title:
**NEW RESIDENCE FOR
Tom Jackson**

501 Laurel Avenue
Menlo Park, CA

AREA PLAN



FIRE HYDRANT - 85'
FROM PROPERTY LINE



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Job No.: 21402.02
Date: 7/7/17

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Revisions:

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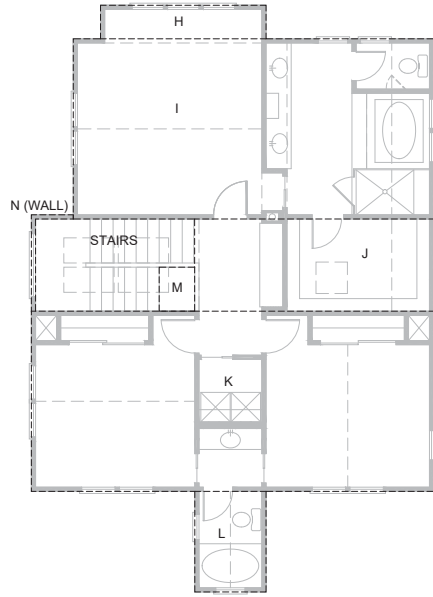
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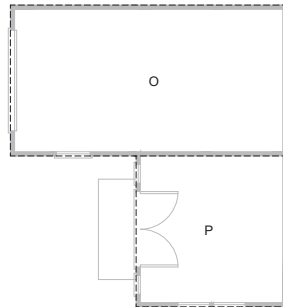
UPPER LEVEL AREA CALCULATIONS: 1,103 S.F.

SECTION	DIMENSIONS	AREA
UPPER LEVEL:		
H	13'-0"x2'-8"	35 S.F.
I	28'-8"x14'-4"	411 S.F.
J	19'-0"x7'-4"	139 S.F.
K	32'-0"x14'-4"	459 S.F.
L	5'-8"x8'-0"	45 S.F.
M	2'-9"x3'-6"	10 S.F.
N	4" x 11'-0"	4 S.F.
TOTAL:		1,103 S.F.



GARAGE/GARDEN AREA CALCULATIONS: 408 S.F.

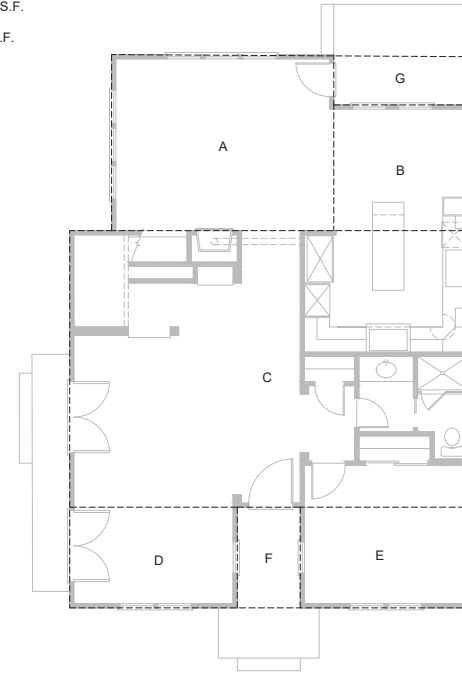
SECTION	DIMENSIONS	AREA
UPPER LEVEL:		
O	12'-0"x22'-0"	264 S.F.
P	12'-0"x12'-0"	144 S.F.
TOTAL:		408 S.F.



MAIN LEVEL AREA CALCULATIONS: 1,277 S.F.

MAIN LEVEL PORCH CALCULATIONS: 84 S.F.

SECTION	DIMENSIONS	AREA
MAIN LEVEL:		
A	17'-8"x14'-0"	247 S.F.
B	11'-0"x10'-0"	110 S.F.
C	32'-0"x22'-0"	704 S.F.
D	13'-4"x8'-0"	107 S.F.
E	13'-8"x8'-0"	109 S.F.
		1,277 S.F.
PORCHES		
F	5'-0"x8'-0"	40 S.F.
G	11'-0"x4'-0"	44 S.F.
		84 S.F.
TOTAL:		1361 S.F.



FLOOR AREA CALCULATIONS: 2,788 S.F.

LOT COVERAGE: 1,769 S.F.





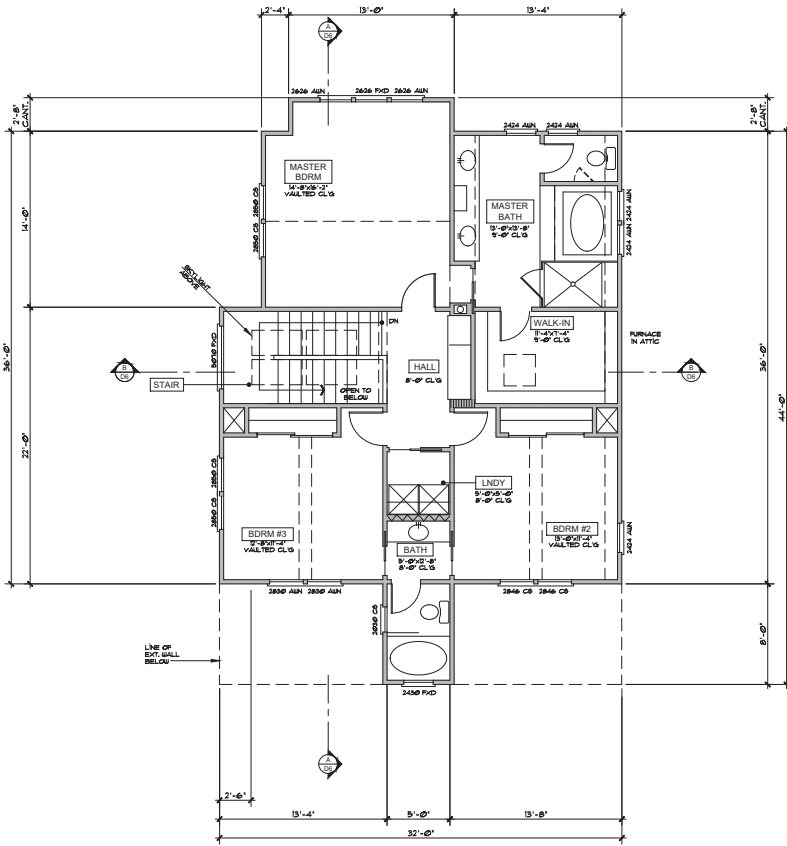
Revisions:

No.	By	Date

Scale: AS SHOWN
Drawn By: TKM
Approved: PCV
Job No.: 21402.02
Date: 7/7/17

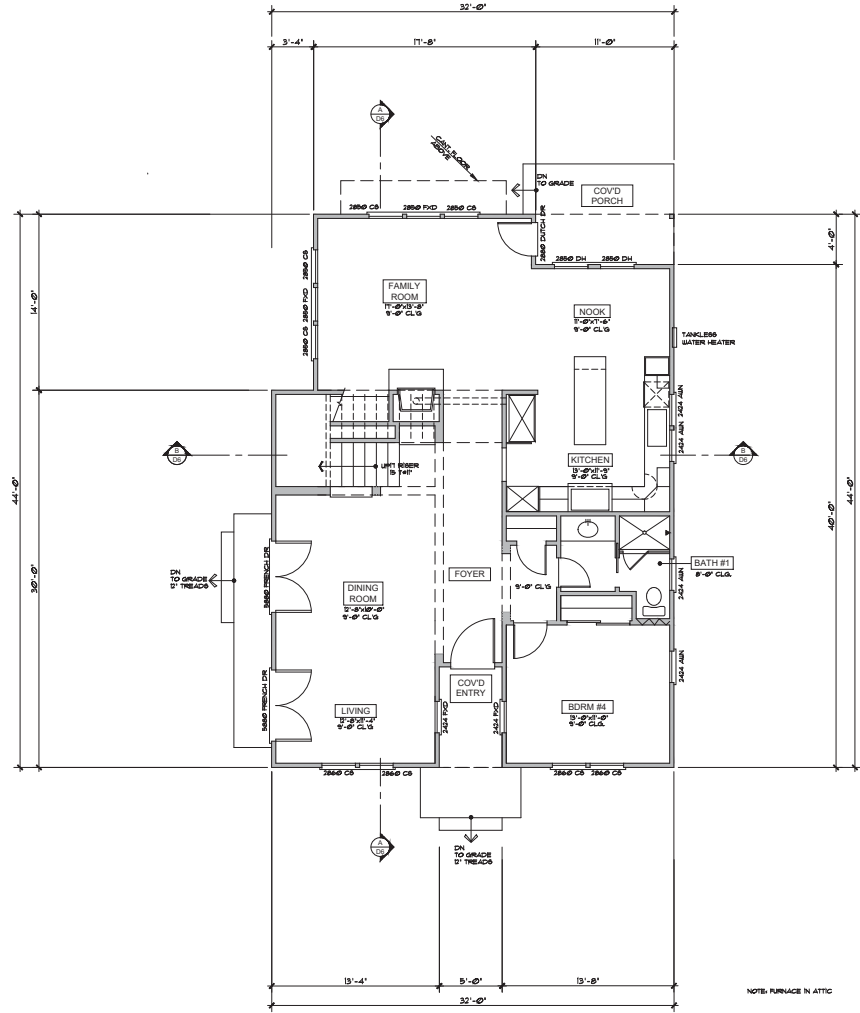
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D4



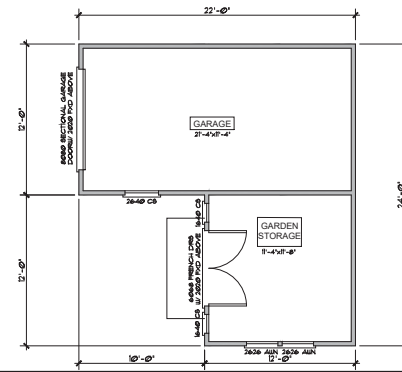
UPPER LEVEL FLOOR PLAN

1/4" = 1'-0"



MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"



GARAGE PLAN

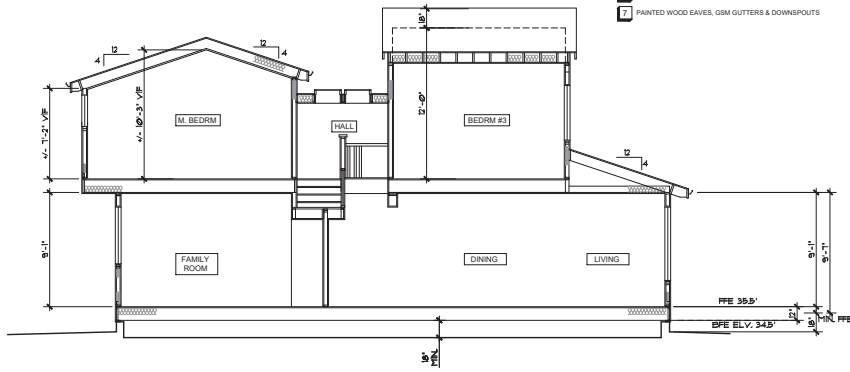
1/4" = 1'-0"



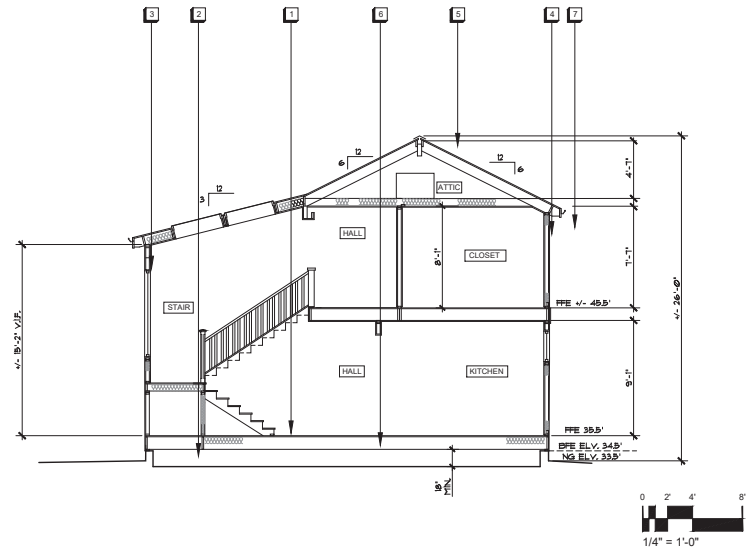
STREETSCAPES 1/16"=1'-0"

KEY NOTES

- 1 TOP OF SUBFLOOR ELEVATION 35.0'
- 2 UNDERFLOOR CRAWLSPACE
- 3 WOOD CLAD WINDOWS OR DOORS
- 4 2X FRAME WALL, SHEATHING, INSULATION & SOING
- 5 2 X RAFTERS, SHEATHING
- 6 FLOOR JOISTS W/ BATT INSULATION, FLOOR SHEATHING
- 7 PAINTED WOOD EAVES, GSM GUTTERS & DOWNSPOUTS



SECTION A-A 1/4"=1'-0"
D7



SECTION B-B 1/4"=1'-0"



Revisions

No.	By	Date

Scale: AS SHOWN
 Drawn By: TKM
 Approved: PCV
 Job No.: 21402.02
 Date: 7/7/17

Sheet No.:

D6

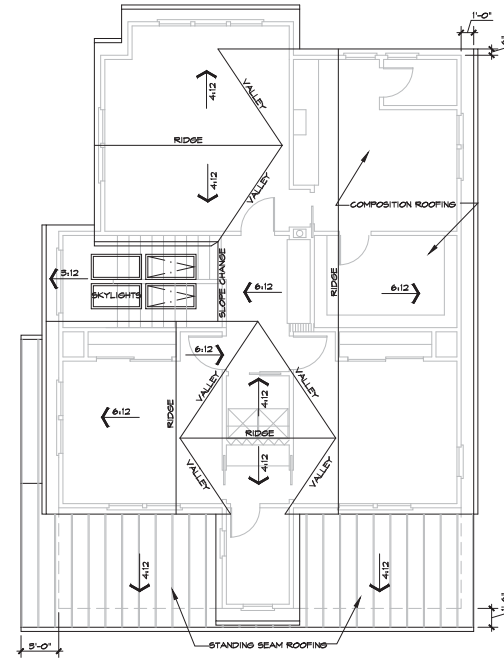
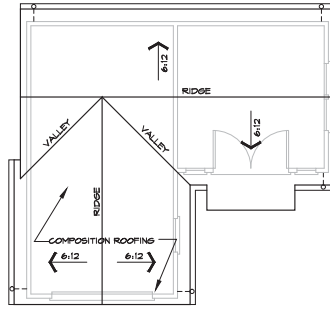
Project Title:
NEW RESIDENCE FOR
Tom Jackson

501 Laurel Avenue
Menlo Park, CA

ROOF DRAINAGE
PLANS (A)

EXISTING
LOWER
AND
UPPER
FLOOR
PLANS

EXISTING AREA
CALCULATIONS



ROOF DRAINAGE PLAN - GARAGE

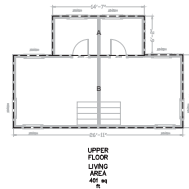
1/4"=1'-0"

ROOF DRAINAGE PLAN - HOUSE

1/4"=1'-0"

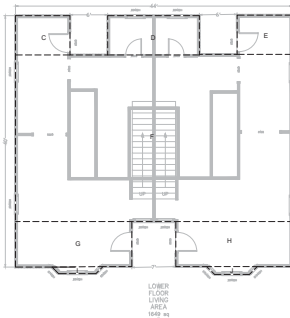
UPPER LEVEL AREA CALCULATIONS: 401 S.F.

SECTION	DIMENSIONS	AREA
UPPER LEVEL:		
A	14'-7 1/2" x 2"	90 S.F.
B	26'-11 1/2" x 11'-7"	311 S.F.
TOTAL:		401 S.F.



LOWER LEVEL AREA CALCULATIONS: 1649 S.F.

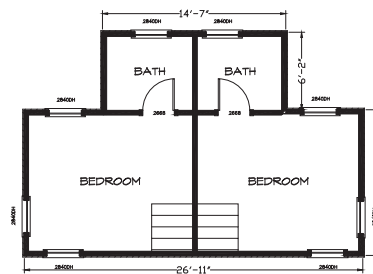
SECTION	DIMENSIONS	AREA
LOWER LEVEL:		
C	18'-0" x 3'-0"	53.5 S.F.
D	14'-0" x 3'-0"	90 S.F.
E	18'-0" x 3'-0"	53.5 S.F.
F	44'-0" x 28'-8"	1,173 S.F.
G	18'-0" x 7'-0"	126 S.F.
H	18'-0" x 7'-0"	126 S.F.
I	18'-0" x 7'-0"	126 S.F.
J	7'-5" x 3'-0"	22.5 S.F.
TOTAL:		1,649 S.F.



EXISTING AREA CALCULATIONS

1/8"=1'-0"

EXISTING UPPER FLOOR PLAN

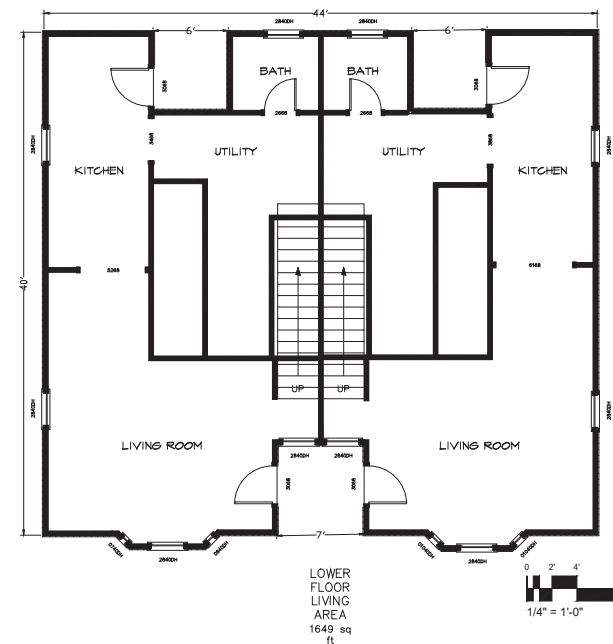


1/4"=1'-0"

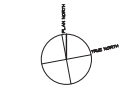
EXISTING UPPER FLOOR PLAN

1/4"=1'-0"

EXISTING LOWER FLOOR PLAN



1/4"=1'-0"



Revisions:

No.	By	Date

Scale: AS SHOWN
Drawn By: TKM
Approved: PCV
Job No.: 21402.02
Date: 7/7/17

Sheet No.:



D7

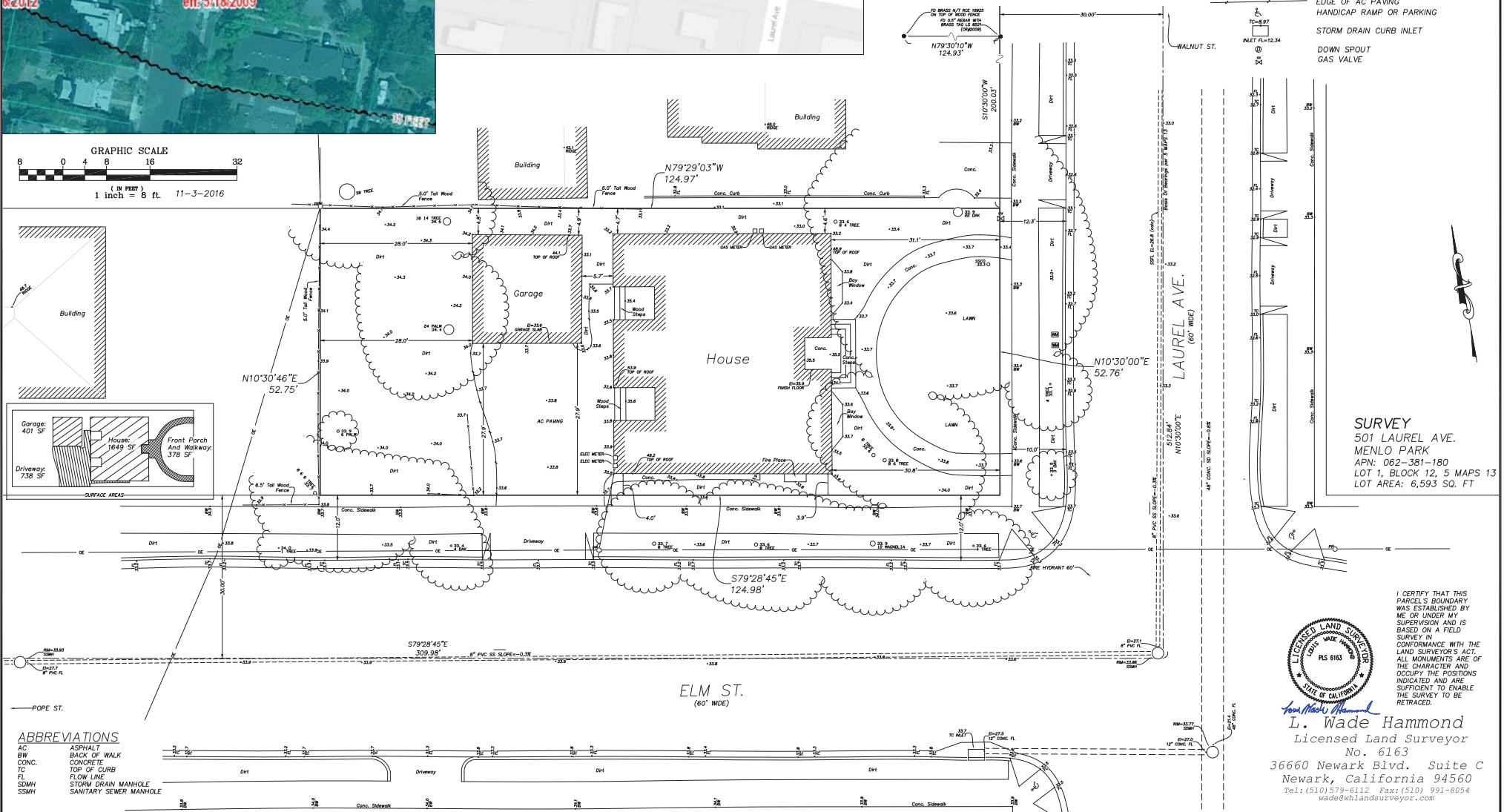
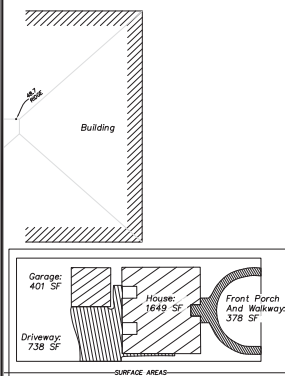
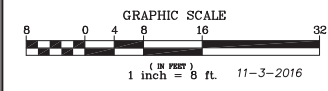


NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
 BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.
 DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. (STUCCO/SIDING)
 FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 BENCHMARK: S.C.V.W.D. #456 ELEVATION: 44.15' (1988 DATUM 2010 ADJUSTMENT)
 SITE LIES IN FLOOD ZONE AE 34.5 PER FIRM MAP 06081C0309E 10-16-2012
 TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS.
 TREES SHOWN ARE 6" TRUNK DIAMETER, MEASURED 5' ABOVE GRADE

LEGEND

- FOUND POINT AS NOTED
- ⊗ WATER METER OR WATER VALVE BOX
- ⊗ FIRE HYDRANT
- TREE - TRUNK DIAMETER IN INCHES
- TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS
- TREE WITH MULTIPLE TRUNKS
- TRUNK
- TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN. TOP OF CURB
- FENCE
- OVERHEAD WIRES
- POWER POLE
- SPOT ELEVATION
- SANITARY SEWER CLEAN OUT
- EDGE OF AC PAVING
- HANDICAP RAMP OR PARKING
- STORM DRAIN CURB INLET
- DOWN SPOUT
- GAS VALVE



SURVEY
 501 LAUREL AVE.
 MENLO PARK
 APN: 062-381-180
 LOT 1, BLOCK 12, 5 MAPS 13
 LOT AREA: 6,593 SQ. FT



L. Wade Hammond
L. Wade Hammond
 Licensed Land Surveyor
 No. 6163
 36660 Newark Blvd. Suite C
 Newark, California 94560
 Tel: (510) 579-6112 Fax: (510) 991-8054
 wade@whlandsurveyor.com

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYORS' ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

RECEIVED

MAR 13 2017 ATTACHMENT E

PROJECT DESCRIPTION

CITY OF MENLO PARK
PLANNING

The property is an existing duplex at 501 Laurel Avenue on the corner of Elm Street, Menlo Park. approximately The lot is 52 feet wide and 125 feet deep, 6500 sq. ft. The duplex has been red tagged as uninhabitable and will be demolished. The property has two significant trees, an oak in the front yard and a palm in the back. Both will be cleaned up and will be a feature of the property. The property is in the Menlo Park school district and is serviced by PG & E, West Bay Sanitary District, and Menlo Park Water. The nearest fire station is on Middlefield Road 1.1 miles away. The property is in a Flood Zone. This is the fifth project to be undertaken on this block of Laurel Avenue and the 13th project in the Willows since 2000, by Tom Jackson. Mr. Jackson resides at 622 Laurel Avenue since 2008, and has lived in the Willows since 1998.

The house will be the same floor plan as the house built in the Willows in 2007 and sold to Stanford University. The floor plan and footprint will remain the same. The exterior elevations will be changed to emulate a Napa Farm House style.

In keeping with the traditional neighborhood architecture, the new residence will have painted, lap siding with an 8" exposure. The roof will be of composite shingles. Windows will be wood, with integral grids. The windows on the right side elevation have been placed high from the finished floor line. The neighbor to the north, Mr. Karl Matia at 509 Laurel Avenue, has been consulted with to insure privacy for both houses.

In addition to the new residence, a new detached single car garage with garden room will be constructed to replace the existing two-car garage which will be removed. The new garage will complement the architecture of the main residence with similar trim and window details and roof materials. The garage will be accessed from Elm Street. The driveway will also access a single car uncovered parking space.

The property will be landscaped with drought resistant plants, and pervious walkways and driveways. No grass will be used.

Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650 - 515 - 9783

REVISED: 26 APR 17

December 12, 2016

Mr. Tom Jackson
DBA West View Marketing
101 First Street Suite 220
Los Altos, CA 94022

Site: 501 Laurel, Menlo Park, CA

Dear Mr. Jackson,

As requested on Monday, October 24, 2016, I visited the above sit to inspect and comment on the trees. A new home is planned for this site and a survey of the significant trees is required. A tree protection plan will be included with this report.

Method:

The significant trees at this location were located on a map provided by you. Each tree was given an identification number. This number was inscribed on a metal foil tag and nailed to the trees at eye level. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were each given a condition rating of 1 – 100 for form and vitality using the following system.

- 1 - 29 Very Poor
- 30 - 49 Poor
- 50 - 69 Fair
- 70 - 89 Good
- 90 - 100 Excellent

The height of each tree was estimated and the spread was paced off. Lastly, a comments section is provided.

501 Laurel/12/12/16

(2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1	Pin oak (<i>Quercus palustris</i>)	4.6	85	25/15	Good vigor, good form, street tree.
2	Carolina cherry (<i>Prunus Carolina</i>)	8.2	50	20/20	Good vigor, poor-fair form, scars on trunk.
3	Chinese pistache (<i>Pistachia chinensis</i>)	8.1	75	25/20	Good vigor, fair form, multi leader at 8 feet.
4	Southern magnolia (<i>Magnolia grandiflora</i>)	12.7	60	25/20	Fair vigor, fair form, in 3 foot wide planting strip.
5	Chinese pistache (<i>Pistache chinensis</i>)	5.1	65	20/15	Good vigor, fair form, street tree.
6	Red oak (<i>Quercus rubra</i>)	3.1	65	20/15	Good vigor, fair form, codominant at 6 feet.
7	Chinese pistache (<i>Pistachia chinensis</i>)	5.1	65	20/15	Good vigor, fair form, codominant at 8 feet.
8	Loquat (<i>Eriobotrya japonica</i>)	10.2 @1'	45	25/20	Poor vigor, poor form, poor location, 1 foot from house.
9	Coast live oak (<i>Quercus agrifolia</i>)	28.8	60	40/45	Good vigor, fair form, codominant at 4 feet and 8 feet.
10	Black acacia (<i>Acacia melanoxylon</i>)	9.9-9.7-7.5	45		Good vigor, poor form, 3 trunks originating from the ground.
11	Canary Island palm (<i>Phoenix canariensis</i>)	24	65	40/35	Good vigor, fair form, needs maintenance.
12*	Redwood (<i>Sequoia sempervirens</i>)	36	75	80/40	Good vigor, fair form, 15 feet from property line.
13	Black acacia (<i>Acacia melanoxylon</i>)	24-18	40	20/20	Good vigor, poor form, codominant at base, topped in past.

*Indicates neighbor's tree

Summary:

The trees on site are a mix of a native oak and several species of imported trees. The oak is in fair condition and can be retained with proper tree protection. Impacts to the oak should be minor with no long term impacts. Grading and excavation shall be at least 7 feet from the trunk of this tree, including utility trenching and paving or other hardscape.

The street trees on site are in fair to good condition. Being a corner site there are more street trees than normal. Street tree #2 is a Carolina cherry which does not compliment the other street trees and removal of the cherry is a viable option.

REV: ZGARR17

The loquat should be removed as it is poorly located and has a poor condition rating. Removal of the acacias should be considered as the species is poor and very invasive. The palm can be retained as building near palms is often successful and their roots are rarely invasive. Grading and excavation shall be at least 5 feet from the trunk of this tree, including utility trenching and paving or other hardscape. The use of decomposed granite for patios and walkways is recommended around the palm. Excavation for the granite surfaces should be done by hand under the supervision of the site arborist when inside five feet from the trunk..

No impacts are expected to the neighbor's redwood tree #12. The following tree protection plan will help to reduce impacts to the retained trees.

Tree Protection Plan:

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips. The spreading of chips will help to relieve compaction and improve the soil structure. The driplines can be calculated by multiplying the trunk diameter by 10.

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend fertilizing or irrigation if root cutting is significant. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

501 Laurel/12/12/16

(4)

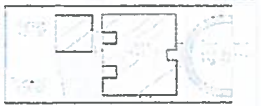
Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

Normal irrigation should be maintained throughout the entire length of the project. The native oak should not require additional irrigation unless its root zones are traumatized. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

This information should be kept on site at all times. The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A



NOTES

1. THIS SURVEY WAS MADE BY THE METHOD OF TRIANGULATION AND THE ANGLES WERE MEASURED BY THE METHOD OF REPEATED SIGHTS. THE DISTANCES WERE MEASURED BY THE METHOD OF TAPES. THE CORRECTIONS WERE MADE BY THE METHOD OF THE MOST PROBABLE ERROR. THE RESULTS ARE AS FOLLOWS:

2. THE AREA OF THE HOUSE IS 1,200 SQUARE FEET. THE AREA OF THE GARAGE IS 400 SQUARE FEET. THE TOTAL AREA OF THE BUILDINGS IS 1,600 SQUARE FEET.

3. THE PERIMETER OF THE BUILDINGS IS 1,200 FEET.

4. THE DISTANCE FROM THE CORNER OF THE HOUSE TO THE CORNER OF THE GARAGE IS 10 FEET.

5. THE DISTANCE FROM THE CORNER OF THE HOUSE TO THE CORNER OF THE DRIVEWAY IS 8 FEET.

6. THE DISTANCE FROM THE CORNER OF THE HOUSE TO THE CORNER OF THE DRIVEWAY IS 9 FEET.

7. THE DISTANCE FROM THE CORNER OF THE HOUSE TO THE CORNER OF THE DRIVEWAY IS 7 FEET.

8. THE DISTANCE FROM THE CORNER OF THE HOUSE TO THE CORNER OF THE DRIVEWAY IS 6 FEET.

9. THE DISTANCE FROM THE CORNER OF THE HOUSE TO THE CORNER OF THE DRIVEWAY IS 5 FEET.

10. THE DISTANCE FROM THE CORNER OF THE HOUSE TO THE CORNER OF THE DRIVEWAY IS 4 FEET.

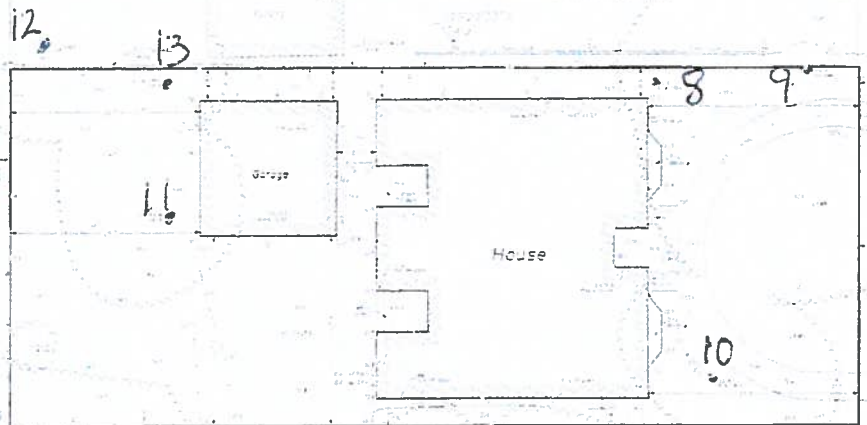
11. THE DISTANCE FROM THE CORNER OF THE HOUSE TO THE CORNER OF THE DRIVEWAY IS 3 FEET.

12. THE DISTANCE FROM THE CORNER OF THE HOUSE TO THE CORNER OF THE DRIVEWAY IS 2 FEET.

13. THE DISTANCE FROM THE CORNER OF THE HOUSE TO THE CORNER OF THE DRIVEWAY IS 1 FEET.

LEGEND

- 1. HOUSE
- 2. GARAGE
- 3. DRIVEWAY
- 4. WALKWAY
- 5. FENCE
- 6. CURB
- 7. STREET
- 8. ALLEY
- 9. RAILROAD
- 10. CANAL
- 11. DITCH
- 12. POWER LINE
- 13. TELEPHONE LINE
- 14. WATER MAIN
- 15. SEWER MAIN
- 16. GAS MAIN
- 17. CEMENT
- 18. ASPHALT
- 19. GRAVEL
- 20. SAND
- 21. CLAY
- 22. ROCK
- 23. BRICK
- 24. CONCRETE
- 25. METAL
- 26. WOOD
- 27. PLASTER
- 28. GYPSUM
- 29. LIME
- 30. CEMENT
- 31. SAND
- 32. GRAVEL
- 33. ASPHALT
- 34. CONCRETE
- 35. METAL
- 36. WOOD
- 37. PLASTER
- 38. GYPSUM
- 39. LIME
- 40. CEMENT
- 41. SAND
- 42. GRAVEL
- 43. ASPHALT
- 44. CONCRETE
- 45. METAL
- 46. WOOD
- 47. PLASTER
- 48. GYPSUM
- 49. LIME
- 50. CEMENT



LAUREL AVE.

ELM ST.

SURVEY
501 LAUREL AVE
MENLO PARK

ABBREVIATIONS

- 1. HOUSE
- 2. GARAGE
- 3. DRIVEWAY
- 4. WALKWAY
- 5. FENCE
- 6. CURB
- 7. STREET
- 8. ALLEY
- 9. RAILROAD
- 10. CANAL
- 11. DITCH
- 12. POWER LINE
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- 14. WATER MAIN
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- 27. PLASTER
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- 30. CEMENT
- 31. SAND
- 32. GRAVEL
- 33. ASPHALT
- 34. CONCRETE
- 35. METAL
- 36. WOOD
- 37. PLASTER
- 38. GYPSUM
- 39. LIME
- 40. CEMENT
- 41. SAND
- 42. GRAVEL
- 43. ASPHALT
- 44. CONCRETE
- 45. METAL
- 46. WOOD
- 47. PLASTER
- 48. GYPSUM
- 49. LIME
- 50. CEMENT



L. Wade Hammond
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No. 6168
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Newark, California 94560
Tel: (415) 251-1111
Fax: (415) 251-1112



STAFF REPORT

Planning Commission

Meeting Date: 7/17/2017

Staff Report Number: 17-046-PC

Public Hearing: Use Permit Revision/Rob and Lisa
Chaplinsky/2355 Tioga Drive

Recommendation

Staff recommends that the Planning Commission approve a use permit revision to make exterior changes to an existing two-story, single-family residence on a substandard lot with regard to lot width in the R-E-S (Residential Estate Suburban) zoning district at 2355 Tioga Drive. The project also includes a request for excavation (removal of more than 12 inches of dirt) within required setbacks associated with the construction of new and modified retaining walls. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The project site is located at 2355 Tioga Drive, directly south of the intersection of Tioga Drive and Trinity Drive in the Sharon Heights neighborhood. A location map is included as Attachment B. The subject parcel is a corner lot with frontages on both Tioga Drive and Trinity Drive. Since the Trinity Drive frontage is the shorter of the two, it is considered the front lot line as defined by the Zoning Ordinance. Required setbacks for the property are established based on this determination. Addresses and front doors may be located on either frontage of a corner lot, and the subject parcel has both on the Tioga Drive side. The lot is generally flatter along the Tioga Drive frontage on the western half of the lot and begins to slope down steeply as it approaches Trinity Drive to the east.

Immediately adjacent parcels to the east, south, and west are also zoned R-E-S and occupied by single-family residential units. Properties to the north are zoned R-E-S(X) and regulated by a conditional development permit allowing clustered single-family residential development. The surrounding residential units are a mix of single-story and two-story homes on sloping hillside lots, and feature a variety of architectural styles from Mediterranean to modern.

Previous Planning Commission review

In August 2015, the applicant applied for a use permit to demolish an existing single-story, single-family residence and construct a two-story, single-family residence. The proposal also included a request for

excavation within the required rear setback associated with the construction of a retaining wall and driveway. On December 14, 2015, the Planning Commission approved a use permit for the project. A building permit for the project was issued on August 17, 2016, and at present, construction of the residence is underway.

Analysis

Project description

At this time, the applicant is proposing changes to the approved exterior of the residence, including different cladding materials, first-story window sizes and locations, and window and door awnings; a small extension of the rear deck with stairs leading to the back yard; a trellis over a portion of the rear deck; and changes to the location of the proposed retaining wall, as well as a new retaining wall proposed within the required front setback. Some of the requested revisions, such as a proposed change in siding styles and window sizes and locations, have been made in the field. However, the Planning Commission should evaluate the proposal as if it were being requested in advance of any work, and not use the construction sequencing as a primary basis for a particular decision.

The floor area, building coverage, and height of the proposed residence would remain below the maximum amounts permitted by the Zoning Ordinance, and the new structure would meet all setback requirements. Aside from an increase in building coverage from the new rear trellis, none of the development standards would change from the approved project. The structure would also remain in compliance with the daylight plane for a two-story home in the R-E-S zoning district, with no changes to the approved building mass. The project plans and the applicant's project description letter are included as Attachments C and D, respectively.

Design and materials

The approved residence was designed in a modern farmhouse style, integrating traditional farmhouse forms with simplified modern lines, and mixing traditional materials with modern materials. Board and batten siding and stone veneer were approved as the primary cladding materials for the exterior of the residence, with certain accent areas to be clad in four-coat stucco, particularly around the garage. Two-story elements of the proposed residence were generally proposed to have metal standing seam pitched roofs and board and batten siding. One-story elements were generally proposed to have flat roofs and stone veneer exteriors with contemporary flat awnings over certain windows and doors. A selection of the approved plan set is included as Attachment F.

The revised project would replace board and batten siding with vertical cedar siding in the same locations as the original project. On the right side (north) and rear (west) elevations, certain areas approved to be clad in stone veneer would instead be clad in stucco. In particular, the west side of the garage would feature stucco to match the approved front façade of the garage, and the first-story rear façade in the area dining room and living room would be clad in stucco instead of the approved mix of stucco and stone veneer elements.

The approved residence features dark bronze aluminum-clad windows with simulated true divided lights, including interior and exterior grids and spacer bars between the glass. On the first story, minor changes

are proposed to the approved window and door styles, sizes, and locations. Windows in the laundry room and guest bedroom at the left side (south) of the residence would have modified grille patterns with four lights rather than the approved six-light windows. At the rear of the residence, a new window with a three-foot sill height would be added in the living room. A door leading from the living room to the side yard would have one large glass pane, instead of the approved door, which had muntins dividing it into four lights. A window would be removed from the master bathroom shower at the far left side of the rear elevation, and windows in the living room would be larger, with approximately two-foot sill heights compared to the four-foot sill heights of the approved windows. Muntins would be removed from all sliding glass doors at the left side of the residence. At the front (east) of the residence, one approved window with a six-foot sill height in the master bathroom would be removed. No changes are proposed to the approved sizes and locations of windows on the second story of the residence.

Solid painted wood awnings were proposed above certain windows and doors around the front, left, and right sides of the approved residence. While the applicant proposes to maintain the approved locations, the awnings would be made of metal frames with a semi-open interior of metal slats.

At the right side of the residence, the deck would be extended by slightly over four feet toward the rear and interior right-side property lines, with steps down to grade for easier access to the backyard. A metal trellis, approximately 260 square feet in area, would also be added to the deck in the vicinity of the living room and dining room doors to mitigate strong sun exposure at the north and east sides of the home.

Staff believes the residence would maintain a consistent and cohesive style that generally echoes the characteristics of the approved home. The proposed mix of vertical cedar siding, stone veneer, and stucco would be applied in a balanced and regular pattern around the different elevations of the approved project. The proposed changes to windows are limited to the first story, reducing the potential for privacy impacts relative to the approved project. The metal window awnings would fit with the contemporary elements of the project design. Given the architectural styles and sizes of structures in the vicinity, as well as the materials and architectural accents proposed, staff believes that the scale, materials, and style of the proposed residence would fit within the broader neighborhood.

Excavation

Per Zoning Ordinance requirements, excavation within a required setback requires use permit approval. As part of the approved project, an existing four-foot tall wood retaining wall within the required rear setback was to be replaced with a four-foot tall concrete retaining wall that extended farther along the rear of the property toward the right-side required setback line. The revised project would angle the retaining wall farther into the required rear setback, coming within approximately four feet, six inches of the rear property line at the required right side setback. The retaining wall would then continue parallel to the right side setback line until it connected with the rear deck. The applicant is proposing the changes to create a flatter and more useable backyard space. Excavation within a required setback would remain limited to the rear yard. Visibility of the new portion of the retaining wall would be limited due to the sloping topography along the rear property line, and screening by existing vegetation and trees.

An additional new concrete retaining wall is proposed along the Trinity Drive frontage of the project. The purpose of the new retaining wall would be to provide easier access to the mechanical room located under

the master bedroom and accessed by a small door at the east side of the residence. The retaining wall would also create a flat landing at the base of the deck stairs. As with the rear retaining wall, visibility of the additional retaining wall would be limited due to the sloping topography along the front property line, and screening by existing vegetation and trees. The retaining walls are not anticipated to create additional heritage tree impacts, as described in the section below.

Trees and landscaping

At present, there are 18 trees on or in close proximity to the project site, eight of which are heritage trees. Three heritage trees, a 22-inch Canary Island pine, a 24-inch redwood, and a 17-inch coast live oak, were approved for removal as part of the original project, and have since been cleared from the site. Three new coast live oak heritage tree replacements will be planted along the Tioga Drive frontage of the residence (condition 4a).

The project arborist reviewed potential impacts to heritage trees to remain on the project site in the vicinity of the proposed new and modified retaining walls and submitted an arborist letter (Attachment G). Replacement and extension of a retaining wall within the required rear setback of the property is anticipated to have minimal impacts on heritage trees numbered six and seven on the site plan, a 15.6-inch olive and 10.8-inch coast live oak. Within the area of the drip line of the trees, the new retaining wall would follow the location of the existing retaining wall. Additionally, the arborist report specifies removal of the existing retaining wall by hand, with the arborist on-site to inspect, document, and offer mitigation measures as needed.

In the vicinity of heritage tree number 10, an 18.9-inch coast live oak, the proposed new retaining wall would be located approximately five and a half feet away. The retaining wall has been designed to turn away from the tree to help accommodate its existing root system. However, the project arborist has specified that all excavation within 10 times the diameter of the tree must be performed by hand in combination with an air spade under the supervision of the project arborist. Impacts to tree 10 are anticipated to be moderate, but because the tree is young and in good health, it is anticipated to survive. Otherwise, the construction of the proposed retaining walls is not anticipated to adversely affect the remaining heritage trees located on the subject site or neighboring properties. Standard heritage tree protection measures will be ensured through recommended condition 3d.

Correspondence

As of the writing of this report, staff has not received any correspondence regarding the proposed project.

Conclusion

Staff believes that the changes to the materials and style of the proposed residence are compatible with the original proposal, and the proposed residence would continue to fit within the greater neighborhood. While there would be small changes to windows on the first story, no changes are proposed to the approved sizes and locations of windows on the second story of the residence, reducing the potential for any new privacy impacts. The proposed excavation related to retaining walls within the required setbacks would not be highly visible from the public right of way or adjacent properties, and steps would be taken to minimize heritage tree impacts. The floor area, building coverage, and height of the proposed residence

would remain at or below the maximum amounts permitted by the Zoning Ordinance, and the structure would remain within the daylight plane requirements. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Selected Approved Plan Sheets
- F. Project Description Letter
- G. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

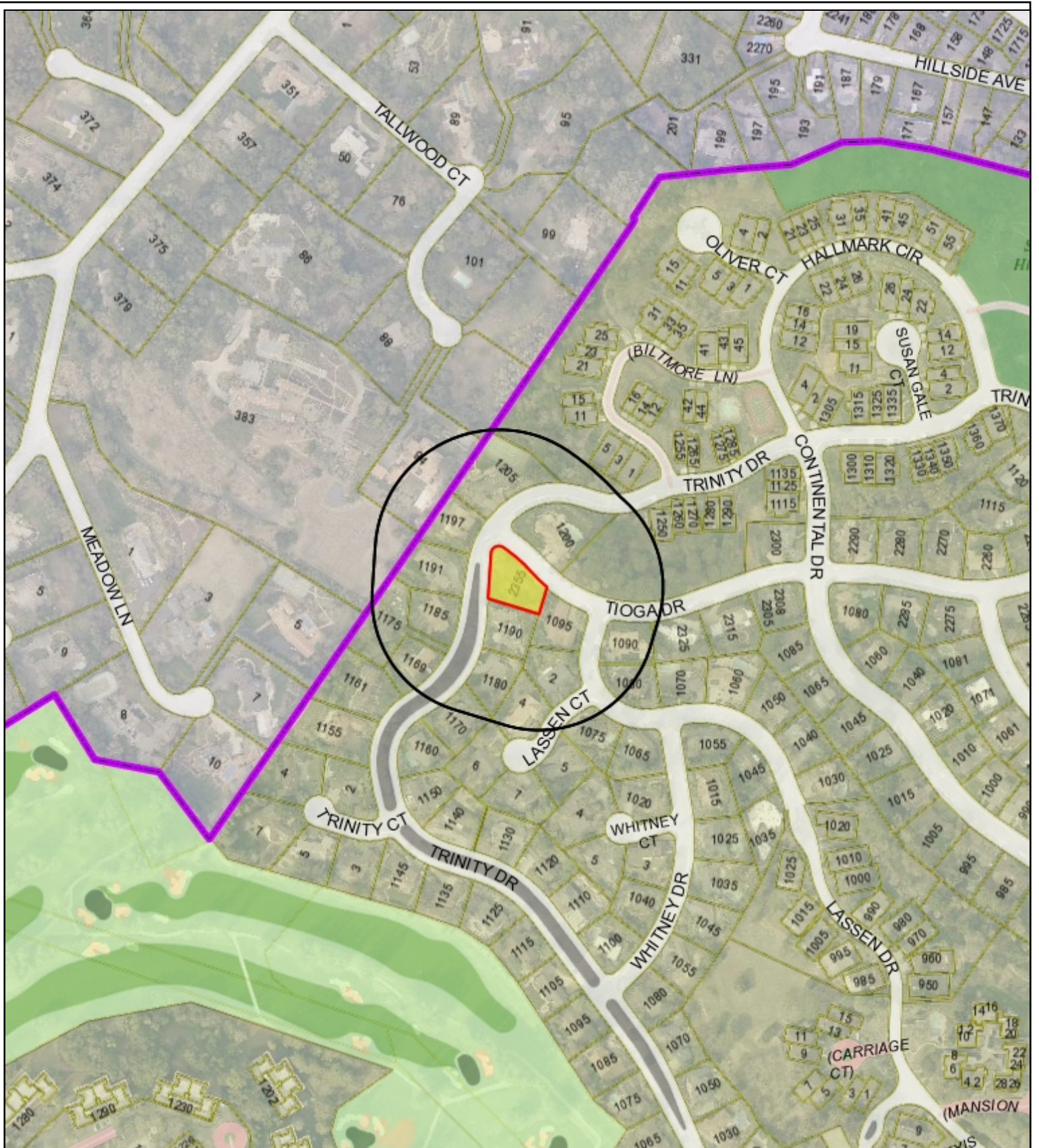
Exhibits to Be Provided at Meeting

- Stone Veneer Sample

Report prepared by:
Tom Smith, Associate Planner

Report reviewed by:
Thomas Rogers, Principal Planner

LOCATION: 2355 Tioga Drive	PROJECT NUMBER: PLN2017-00049	APPLICANT: Rob and Lisa Chaplinsky	OWNER: Rob and Lisa Chaplinsky
REQUEST: Request for a use permit to make exterior changes to an existing residence on a lot that is substandard with regard to lot width in the R-E-S (Residential Estate Suburban) zoning district. In addition, a request for excavation within a required setback for the installation of new and modified retaining walls. The project previously received a use permit on December 14, 2015 to demolish an existing single-story residence and construct a new two-story residence.			
DECISION ENTITY: Planning Commission	DATE: July 17, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Moderna Homes, consisting of 11 plan sheets, dated received on June 21, 2017, and approved by the Planning Commission on July 17, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 4. Approve the use permit subject to the following project-specific conditions: <ol style="list-style-type: none"> a. The applicant shall plant heritage tree replacements for the 22-inch Canary Island pine, 24-inch redwood, and 17-inch coast live oak to be removed, prior to final inspection of the building permit, subject to review and approval of the Planning Division. 			



CITY OF
MENLO PARK

City of Menlo Park
Location Map
2355 Tioga Drive



Scale: 1:4,000

Drawn By: TAS

Checked By: THR

Date: 7/17/2017

Sheet: 1

2355 Tioga Drive – Attachment C: Data Table

	PROPOSED PROJECT	APPROVED DEVELOPMENT	ZONING ORDINANCE
Lot area	16,701.0 sf	16,701.0 sf	15,000.0 sf min.
Lot width	80.5 ft.	80.5 ft.	100.0 ft. min.
Lot depth	147.6 ft.	147.6 ft.	100.0 ft. min.
Setbacks			
Front	25.0 ft.	25.0 ft.	20.0 ft. min.
Rear	20.0 ft.	20.0 ft.	20.0 ft. min.
Side (left)	15.0 ft.	15.0 ft.	15.0 ft. min.
Side (right)	19.5 ft.	19.5 ft.	10.0 ft. min.
Building coverage	4,116.2 sf 24.6 %	3,855.7 sf 23.1 %	5,010.0 sf max. 30.0 % max.
FAL (Floor Area Limit)	5,223.9 sf	5,223.9 sf	5,225.0 sf max.
Square footage by floor	3,261.5 sf/1 st floor 1,423.8 sf/2 nd floor 538.6 sf/garage 55.6 sf/fireplaces 260.6 sf/trellis	3,261.5 sf/1 st floor 1,423.8 sf/2 nd floor 538.6 sf/garage 55.6 sf/fireplaces	
Square footage of buildings	5,279.5 sf	5,279.5 sf	
Building height	27.3 ft.	27.3 ft.	28.0 ft. max.
Parking	2 covered	2 covered	2 covered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 5*	Non-Heritage trees: 8	New Trees: 3
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 0	Total Number of Trees: 16
* Two heritage trees are located on the neighboring property to the rear			



2355 Tioga Drive
Menlo Park, CA 94025
APN: 074-161-240

2355 Tioga Residence



GENERAL CONTRACTOR	MODERNA HOMES 883 Santa Cruz Avenue, Suite 205, Menlo Park, CA 94025 650-391-6805 info@moderna-homes.net
STRUCTURAL	PRECISION STRUCTURAL 250 Main Street, Suite A Klamath Falls, OR 97601 541-882-6300 nlp@structure1.com
MECHANICAL/ELECTRICAL/PLUMBING	GEOREFERENCE INC. 581-D Pajaro Drive Foster City CA 94404 650-349-2389 dan.georeference@yahoo.com
CIVIL	PRECISION ENGINEERING AND CONSTRUCTION 581-D Pajaro Drive Foster City CA 94404 650-326-8649 dan.georeference@yahoo.com
TYPE CONSULTANT	XDC ENERGY CONSULTANTS 4280 Dorsett Avenue Riverside, CA 92508 951-830-2018 xaver@xdcconsultants.net
ARCHITECT	KIELLY ARCHITECT SERVICES PO Box 6187 San Mateo, CA 94403 650-525-1464 MeredithK@kiasyahomes.com

PROJECT DESCRIPTION

- DEMOLITION OF EXISTING SINGLE STORY RESIDENCE AND CONSTRUCTION OF A NEW 2-STORY SINGLE STORY RESIDENCE
- REPLACEMENT OF A WOOD RETAINING WALL IN REAR SETBACK WITH CONCRETE RETAINING WALL
- NEW RETAINING WALL AT MECHANICAL ROOM TO ALLOW FOR ACCESS TO MECHANICAL ROOM AND ELECTRICAL PANEL
- ADDITION OF TRELIS AT REAR
- CHANGE OF FRONT CANOPY MATERIAL AND VERTICAL CEDAR SIDING

PROJECT INFORMATION

DESCRIPTION	NEW SINGLE FAMILY 2-STORY RESIDENCE
ADDRESS	2355 TIOGA DRIVE
APN	074-161-240
ZONING	R-E-S
CONSTRUCTION TYPE	TYPE V-B
OCCUPANCY GROUP	R-3/U
BUILDING USE	SINGLE FAMILY RESIDENTIAL
SEPTIC/SEWER	SEWER
FIRE SPRINKLER	INSTALL NFPA 13-D FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT

APPLICABLE CODES

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA RESIDENTIAL CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA ENERGY CODE
- 2013 CALIFORNIA GREEN BUILDING CODE
- 2013 CALIFORNIA FIRE CODE
- 2013 CALIFORNIA REFERENCE STANDARDS CODE

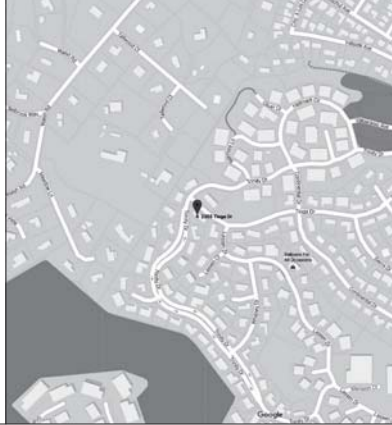
SHEET INDEX

PROJECT DATA

LOT SIZE	16,701 sf
MAX. BUILDING COVERAGE (30% OF LOT SIZE)	5,010 sf
PROPOSED COVERAGE	4,117 sf
MAX. FLOOR AREA LIMIT (FAL) = (2,800 + (.25 * (LOT SIZE - 7,000))) = (2,800 + (.25 * (16,701 - 7,000)))	5,225 sf
PROPOSED FLOOR AREA	5,224 sf
MAX. HEIGHT	28'-0"
AVG. CALC. GRADE (SEE A1.0) LOWEST GRADE = 322'-9 1/2" HIGHEST GRADE = 332'-5 1/2"	327'-9"
MAX. HEIGHT ELEVATION BASED ON AVG. GRADE (28' + 327'-9") = 355'-9"	355'-9"
MAX. HEIGHT OF HOUSE	355'-1"

SEE SHEET A1.2 FOR AREA CALCULATIONS
**MAXIMUM BUILDING HEIGHT AT ANY ONE POINT ON THE PROPERTY SHALL BE MEASURED FROM AVERAGE NATURAL GRADE. CHIMNEYS ARE EXCLUDED FROM THIS HEIGHT LIMIT PER ZONING CODE SECTION 16.14.030(7).

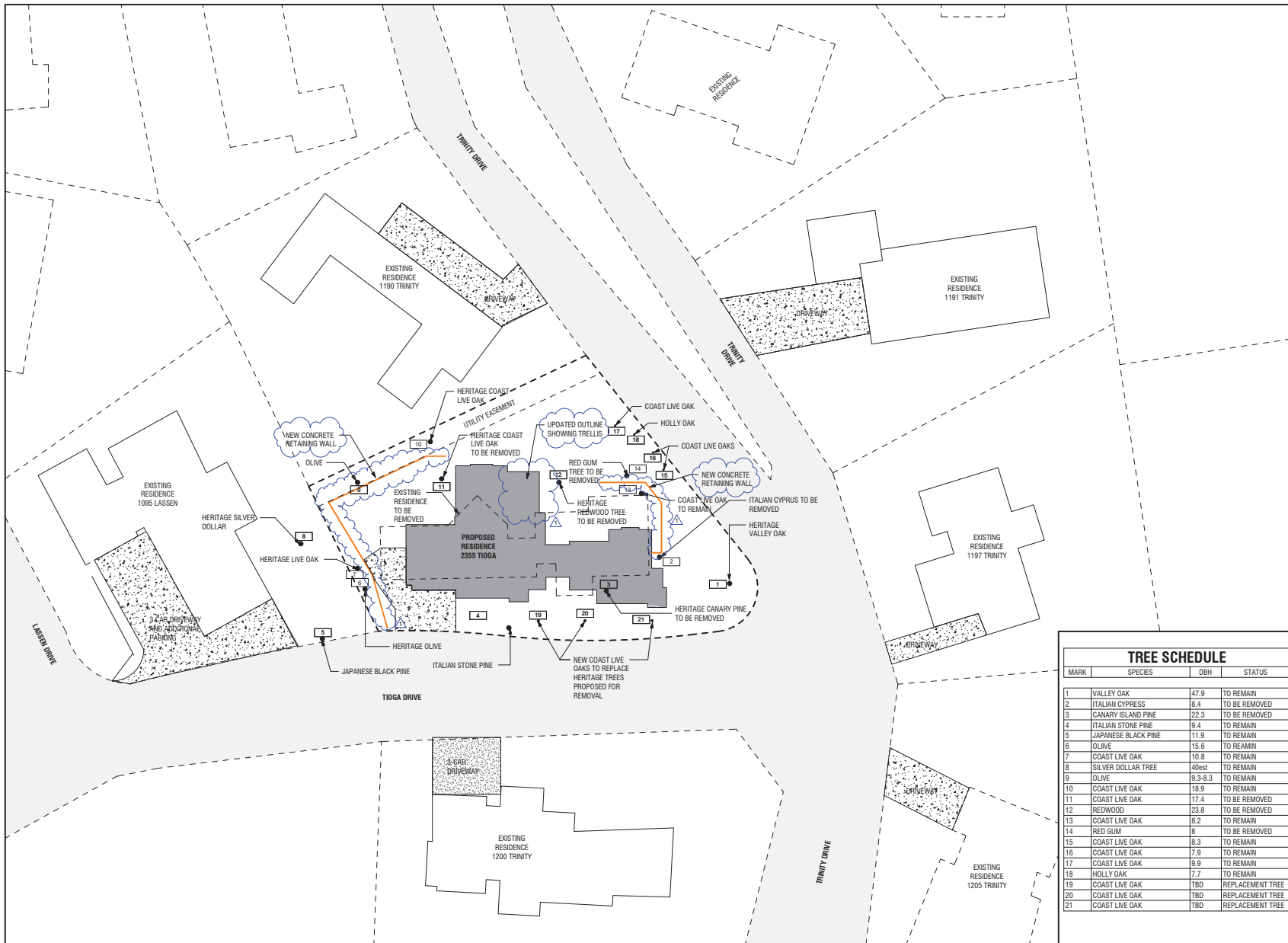
VICINITY MAP



TIOGA RESIDENCE
2355 TIOGA DRIVE, MENLO PARK, CA 94025

REVISIONS		
NO.	DESCRIPTION	DATE
1	USE PERMIT RE-SUBMITTAL	05.10.2017

PROJECT NUMBER: **Project Number**
ISSUE DATE: **4.20.2016**
SCALE: **1" = 1'-0"**
ISSUE STATUS: **USE PERMIT**
COVER
A0.0



TREE SCHEDULE

MARK	SPECIES	DBH	STATUS
1	VALLEY OAK	47.9	TO REMAIN
2	ITALIAN CYPRESS	8.4	TO BE REMOVED
3	CANARY ISLAND PINE	22.3	TO BE REMOVED
4	ITALIAN STONE PINE	9.4	TO REMAIN
5	JAPANESE BLACK PINE	11.9	TO REMAIN
6	OLIVE	15.6	TO REMAIN
7	COAST LIVE OAK	10.8	TO REMAIN
8	SILVER DOLLAR TREE	40est	TO REMAIN
9	OLIVE	9.3-8.3	TO REMAIN
10	COAST LIVE OAK	18.9	TO REMAIN
11	COAST LIVE OAK	17.4	TO BE REMOVED
12	REDWOOD	23.6	TO BE REMOVED
13	COAST LIVE OAK	8.2	TO REMAIN
14	RED GUM	8	TO BE REMOVED
15	COAST LIVE OAK	8.3	TO REMAIN
16	COAST LIVE OAK	7.9	TO REMAIN
17	COAST LIVE OAK	9.9	TO REMAIN
18	HOLLY OAK	7.7	TO REMAIN
19	COAST LIVE OAK	TBD	REPLACEMENT TREE
20	COAST LIVE OAK	TBD	REPLACEMENT TREE
21	COAST LIVE OAK	TBD	REPLACEMENT TREE

1 SITE PLAN - AREA PLAN
SCALE: 1" = 20'-0"



- MODERNA HOMES**
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mlh@modernahomes.net
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650-525-1464
Mark@kars@yahoo.com

**TIOGA
RESIDENCE**
2355 TIOGA DRIVE, MENLO
PARK, CA 94025

REVISIONS

NO.	DESCRIPTION	DATE
1	USE PERMIT RE-SUBMITTAL	05.10.2017

PROJECT NUMBER: **Project Number**
ISSUE DATE: **4.20.2016**
SCALE: **1" = 20'-0"**

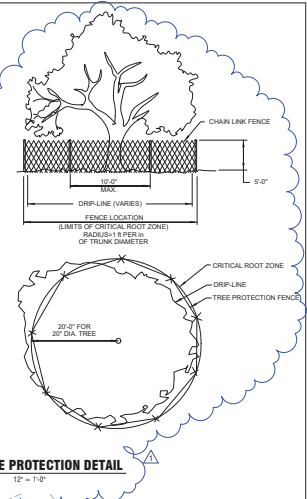
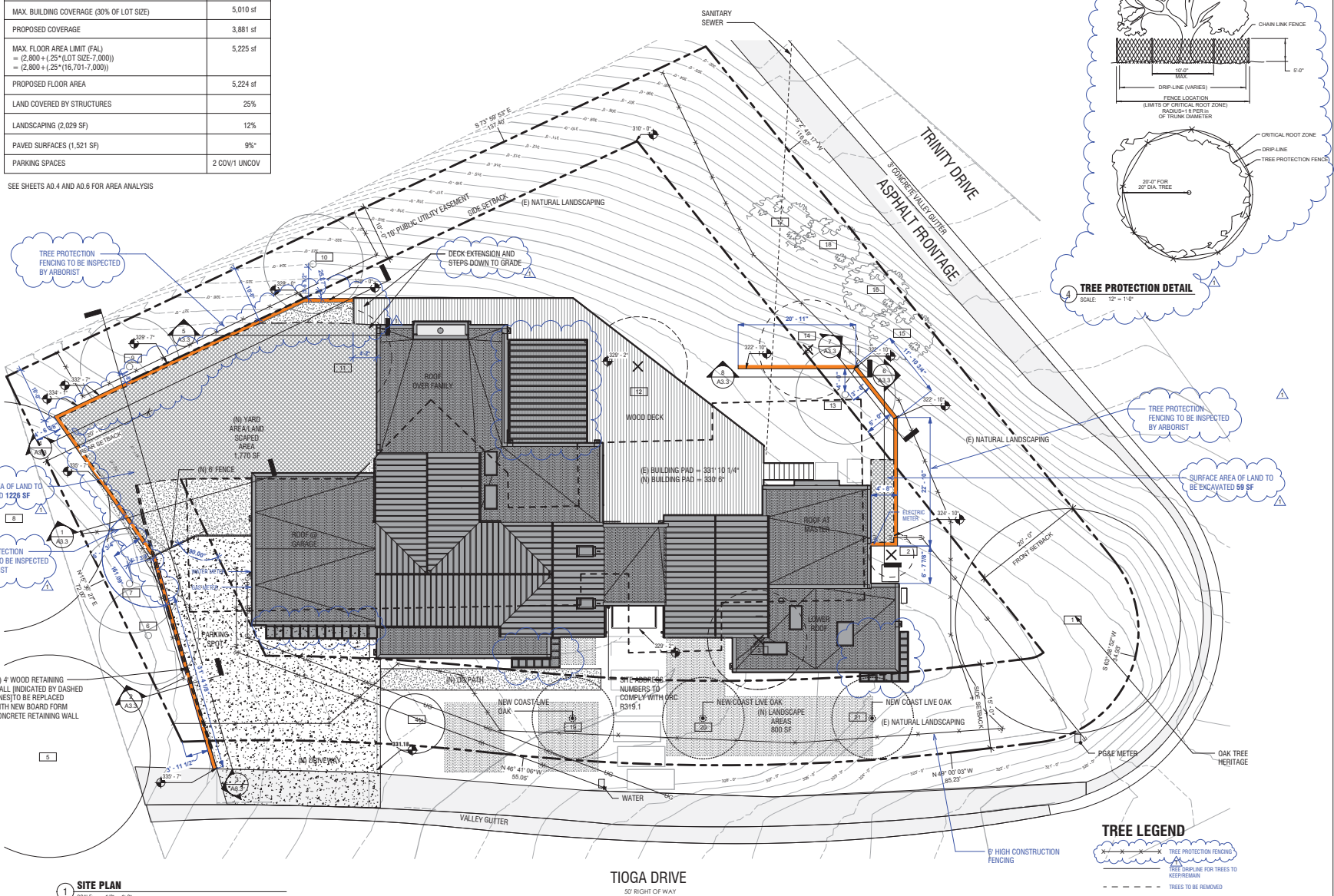
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USE PERMIT
CONTEXT PLAN
A0.1



SITE ANALYSIS

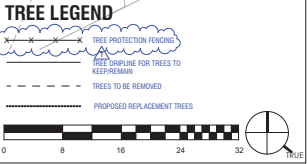
LOT SIZE	16,701 sf
MAX. BUILDING COVERAGE (30% OF LOT SIZE)	5,010 sf
PROPOSED COVERAGE	3,881 sf
MAX. FLOOR AREA LIMIT (FAL) = (2,800 + (.25 * (LOT SIZE - 7,000))) = (2,800 + (.25 * (16,701 - 7,000)))	5,225 sf
PROPOSED FLOOR AREA	5,224 sf
LAND COVERED BY STRUCTURES	25%
LANDSCAPING (2,029 SF)	12%
PAVED SURFACES (1,521 SF)	9%
PARKING SPACES	2 COV/1 UNCOV

SEE SHEETS A0.4 AND A0.6 FOR AREA ANALYSIS



1 SITE PLAN
SCALE: 1/8" = 1'-0"

TIOGA DRIVE
50' RIGHT OF WAY



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Mark@karservices.com

TIOGA RESIDENCE
2355 TIOGA DRIVE, MENLO PARK, CA 94025

REVISIONS

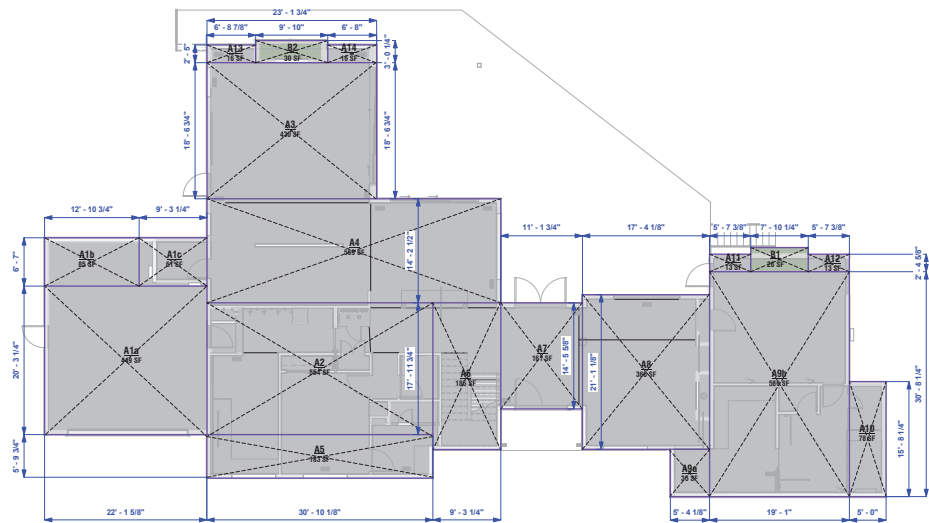
NO.	DESCRIPTION	DATE
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PROJECT NUMBER: Project Number
ISSUE DATE: 4.20.2016
SCALE: As indicated
ISSUE STATUS: USE PERMIT

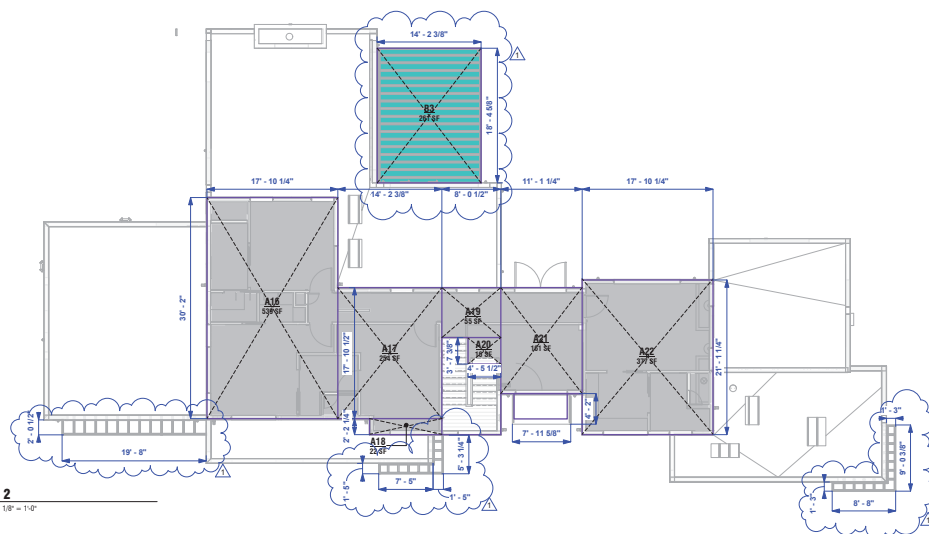
SITE PLAN

A0.2

07/20/2017 2:24:45 PM



1 LEVEL 1
SCALE: 1/8" = 1'-0"



2 LEVEL 2
SCALE: 1/8" = 1'-0"

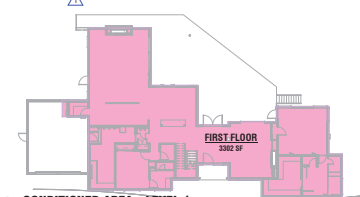
FAL			
TYPE MARK	AREA	TYPE	LEVEL

FAL			
A1a	449.30 SF	FAL	LEVEL 1
A1b	84.95 SF	FAL	LEVEL 1
A1c	61.06 SF	FAL	LEVEL 1
A2	353.97 SF	FAL	LEVEL 1
A3	429.61 SF	FAL	LEVEL 1
A4	569.50 SF	FAL	LEVEL 1
A5	183.08 SF	FAL	LEVEL 1
A6	185.42 SF	FAL	LEVEL 1
A7	161.26 SF	FAL	LEVEL 1
A8	365.87 SF	FAL	LEVEL 1
A8a	34.51 SF	FAL	LEVEL 1
A8b	335.62 SF	FAL	LEVEL 1
A10	78.44 SF	FAL	LEVEL 1
A11	13.39 SF	FAL	LEVEL 1
A12	13.39 SF	FAL	LEVEL 1
A13	16.06 SF	FAL	LEVEL 1
A14	16.11 SF	FAL	LEVEL 1
FAL ONLY	3801.53 SF		

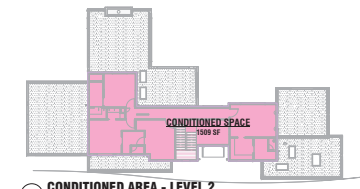
FAL ONLY	3801.53 SF		
A16	538.60 SF	FAL ONLY	LEVEL 2
A17	253.78 SF	FAL ONLY	LEVEL 2
A18	21.61 SF	FAL ONLY	LEVEL 2
A19	54.87 SF	FAL ONLY	LEVEL 2
A20	16.11 SF	FAL ONLY	LEVEL 2
A21	160.65 SF	FAL ONLY	LEVEL 2
A22	376.80 SF	FAL ONLY	LEVEL 2
FAL ONLY	1422.40 SF		
FAL TOTAL	5223.93 SF		

BUILDING COVERAGE		
Area	AREA TYPE	Name

BC		
25.853 SF	BC	B1
29,705 SF	BC	B2
260,623 SF	BC	B3
FAL		
448,882 SF	FAL	A1a
84,945 SF	FAL	A1b
60,923 SF	FAL	A1c
554,340 SF	FAL	A2
428,839 SF	FAL	A3
569,791 SF	FAL	A4
181,156 SF	FAL	A5
185,421 SF	FAL	A6
160,654 SF	FAL	A7
369,078 SF	FAL	A8
34,332 SF	FAL	A8a
584,825 SF	FAL	A8b
78,020 SF	FAL	A10
13,393 SF	FAL	A11
13,393 SF	FAL	A12
16,107 SF	FAL	A13
16,111 SF	FAL	A14
4116,241 SF	FAL	



4 CONDITIONED AREA - LEVEL 1
SCALE: 3/8" = 1'-0"



3 CONDITIONED AREA - LEVEL 2
SCALE: 3/8" = 1'-0"



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2355 TIOGA DRIVE, MENLO PARK, CA 94025

REVISIONS

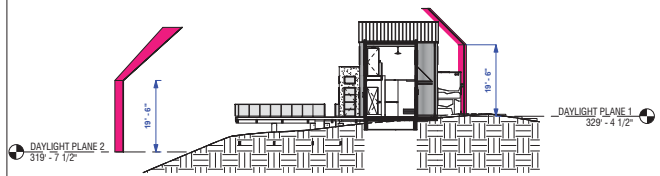
NO.	DESCRIPTION	DATE
1	USE PERMIT RESUBMITTAL	05.10.2017

PROJECT NUMBER: **Project Number**
ISSUE DATE: **4.20.2016**
SCALE: **As indicated**
ISSUE STATUS: **USE PERMIT**

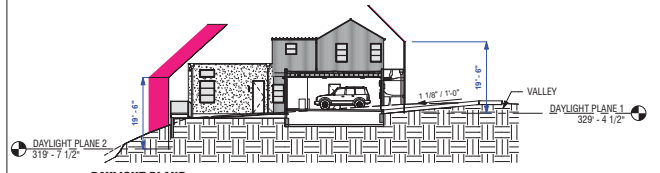
FLOOR AREA DIAGRAMS

A0.4

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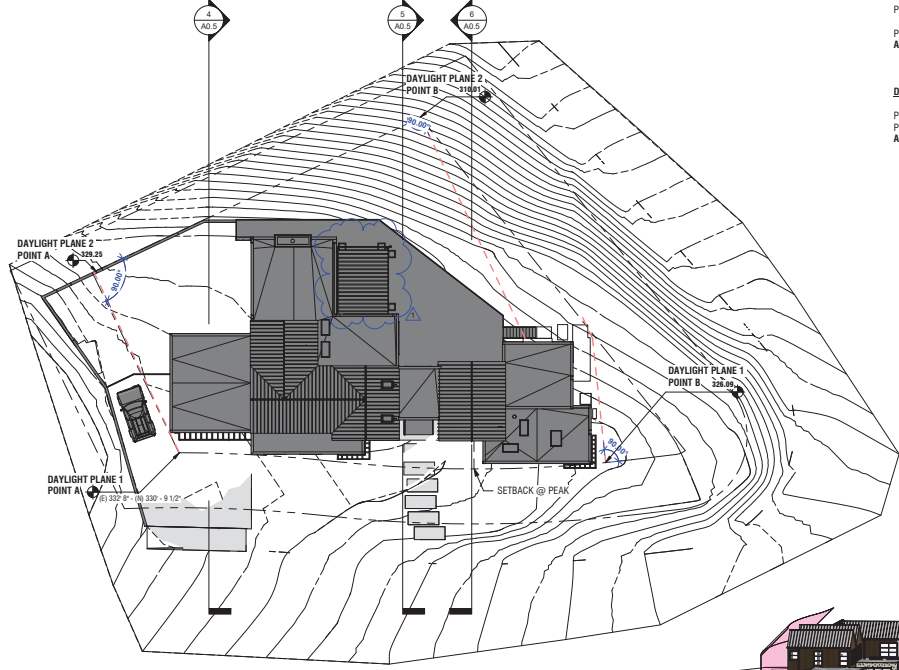
5 DAYLIGHT PLANE 1
SCALE: 1/16" = 1'-0"



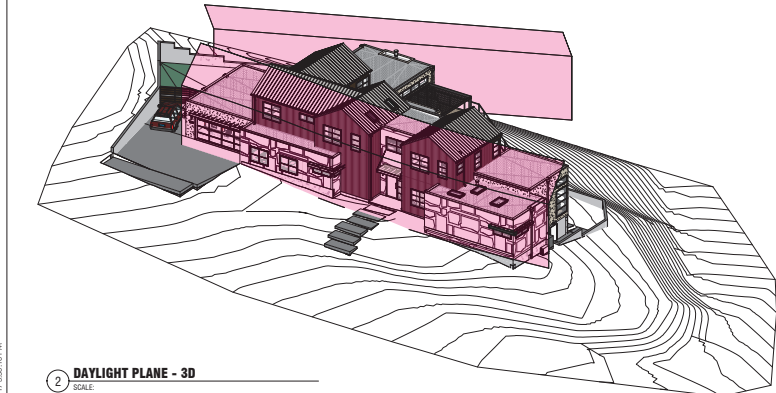
4 DAYLIGHT PLANE 2
SCALE: 1/16" = 1'-0"



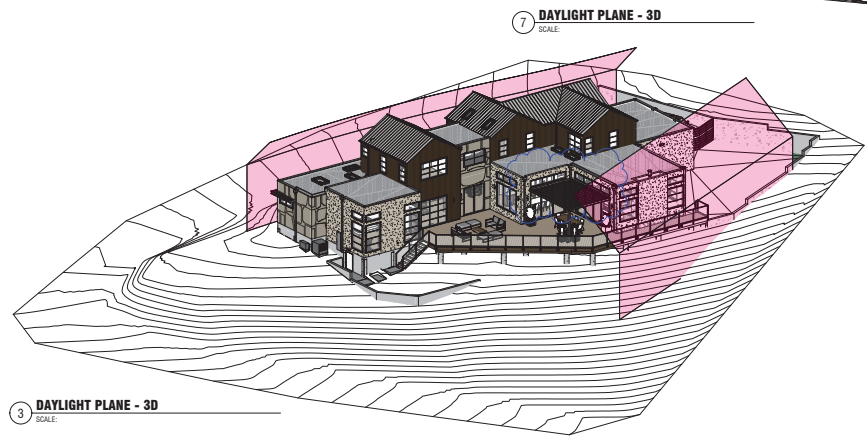
6 DAYLIGHT PLANE 2
SCALE: 1/16" = 1'-0"



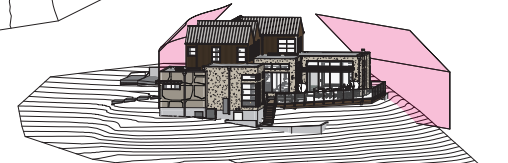
1 SITE PLAN - DAYLIGHT PLANE CALCULATION
SCALE: 1/16" = 1'-0"



2 DAYLIGHT PLANE - 3D
SCALE:



3 DAYLIGHT PLANE - 3D
SCALE:



7 DAYLIGHT PLANE - 3D
SCALE:

DAYLIGHT PLANE CALC

DAYLIGHT PLANE 1	
POINT A:	332' - 8"
POINT B:	326' - 1"
AVERAGE GRADE AT SETBACK:	329' - 4 1/2"
DAYLIGHT PLANE 2	
POINT A:	329' - 3"
POINT B:	310' - 0"
AVERAGE GRADE AT SETBACK:	319' - 7 1/2"



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TIOGA RESIDENCE
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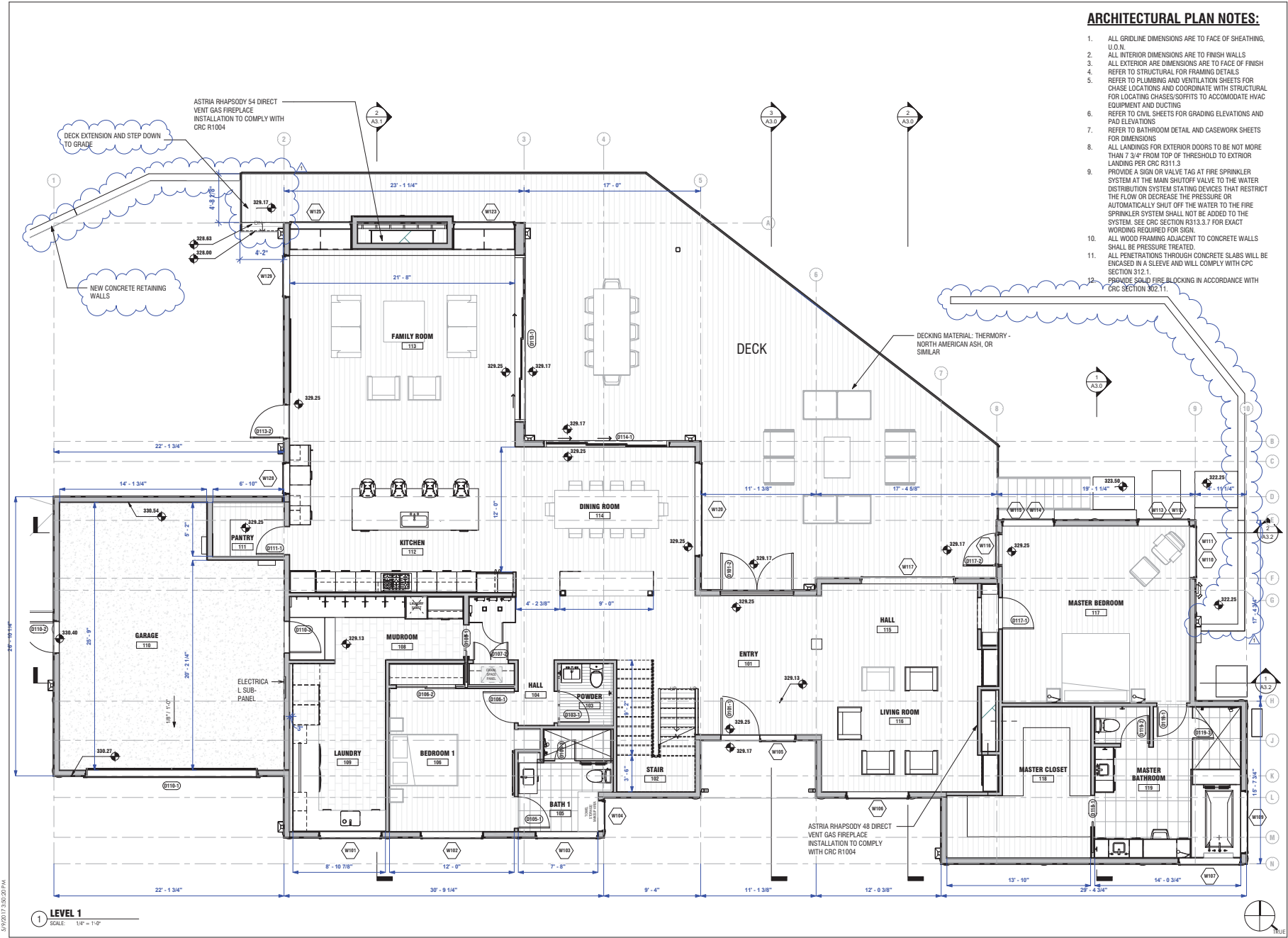
REVISIONS		
NO.	DESCRIPTION	DATE
1	USE PERMIT RE-SUBMITTAL	05.10.2017

PROJECT NUMBER: **Project Number**
ISSUE DATE: **4.20.2016**
SCALE: **1/16" = 1'-0"**
ISSUE STATUS: **USE PERMIT**

DAYLIGHT PLANE

A0.5

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ARCHITECTURAL PLAN NOTES:

1. ALL GRIDLINE DIMENSIONS ARE TO FACE OF SHEATHING, U.O.N.
2. ALL INTERIOR DIMENSIONS ARE TO FINISH WALLS
3. ALL EXTERIOR ARE DIMENSIONS ARE TO FACE OF FINISH REFER TO STRUCTURAL FOR FRAMING DETAILS
4. REFER TO PLUMBING AND VENTILATION SHEETS FOR CHASE LOCATIONS AND COORDINATE WITH STRUCTURAL EQUIPMENT AND DUCTING REFER TO CIVIL SHEETS FOR GRADING ELEVATIONS AND PAD ELEVATIONS
5. REFER TO BATHROOM DETAIL AND CASEWORK SHEETS FOR DIMENSIONS
6. ALL LANDINGS FOR EXTERIOR DOORS TO BE NOT MORE THAN 7 3/4" FROM TOP OF THRESHOLD TO EXTERIOR LANDING PER CRC R313.1.3
7. PROVIDE A SIGN OR VALVE TAG AT FIRE SPRINKLER SYSTEM AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM SHALL NOT BE ADDED TO THE SYSTEM. SEE CRC SECTION R313.3.7 FOR EXACT WORKING REQUIRED FOR SIGN
8. ALL WOOD FRAMING ADJACENT TO CONCRETE WALLS SHALL BE PRESSURE TREATED.
9. ALL PENETRATIONS THROUGH CONCRETE SLABS WILL BE ENCASED IN A SLEEVE AND WILL COMPLY WITH CPC SECTION 312.1.
10. PROVIDE SOLID FIRE BLOCKING IN ACCORDANCE WITH CRC SECTION 302.1.1.

1 LEVEL 1
SCALE: 1/4" = 1'-0"



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PRECISION ENGINEERING AND CONSTRUCTION	<p>581-D Pajaro Drive Foster City, CA 94404 656-228-8649 dan.professional@yahoo.com</p>
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TIOGA RESIDENCE
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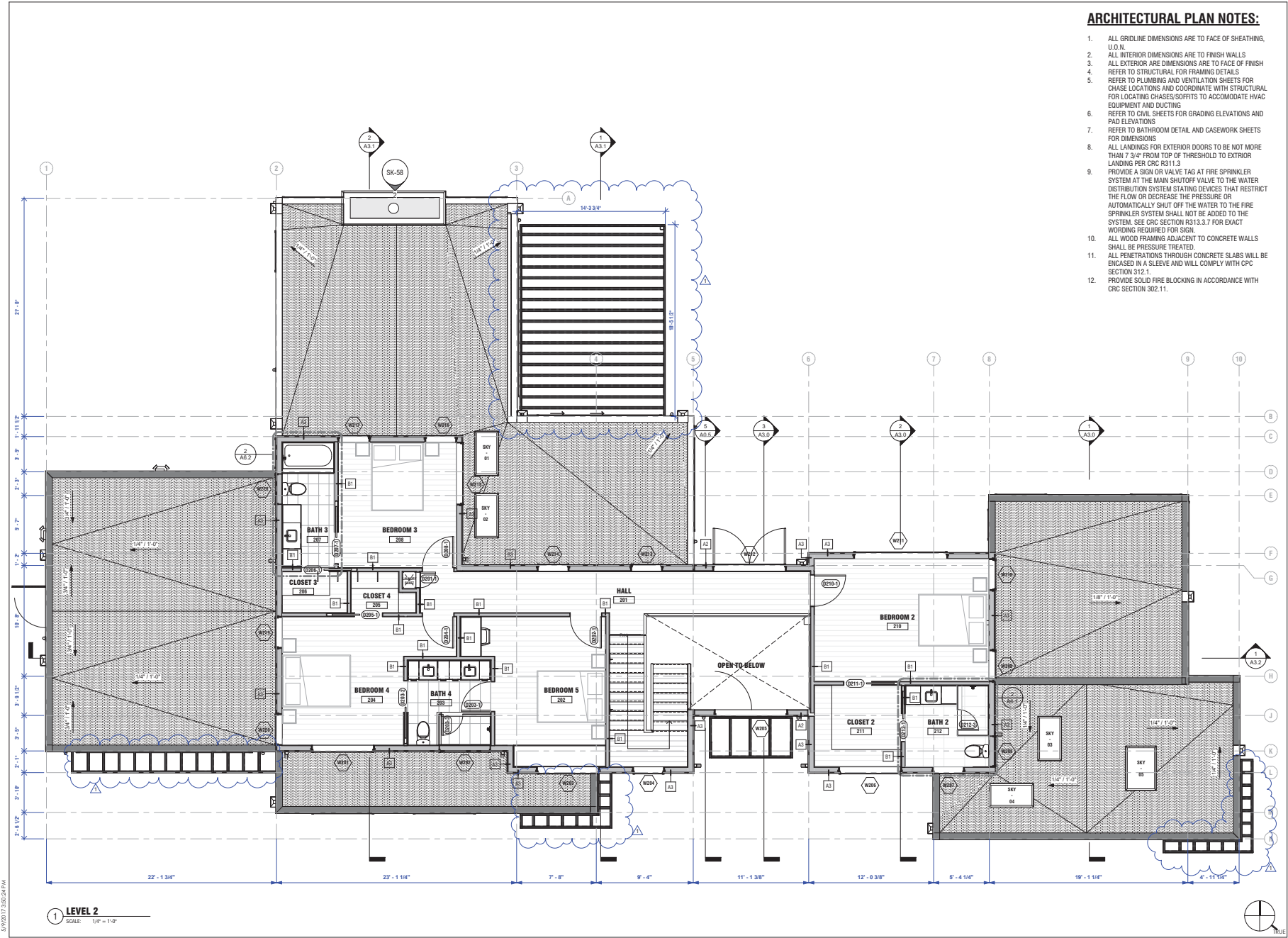
REVISIONS

NO.	DESCRIPTION	DATE
1	USE PERMIT RESUBMITTAL	05.10.2017

PROJECT NUMBER: **Project Number**
 ISSUE DATE: **4.20.2016**
 SCALE: **1/4" = 1'-0"**
 ISSUE STATUS: **USE PERMIT**

FIRST FLOOR

A1.1



ARCHITECTURAL PLAN NOTES:

1. ALL GRIDLINE DIMENSIONS ARE TO FACE OF SHEATHING, U.O.N.
2. ALL INTERIOR DIMENSIONS ARE TO FINISH WALLS
3. ALL EXTERIOR ARE DIMENSIONS ARE TO FACE OF FINISH REFER TO STRUCTURAL FOR FRAMING DETAILS
4. REFER TO PLUMBING AND VENTILATION SHEETS FOR CHASE LOCATIONS AND COORDINATE WITH STRUCTURAL FOR LOCATING CHASES/SOFFITS TO ACCOMMODATE HVAC EQUIPMENT AND DUCTING
5. REFER TO CIVIL SHEETS FOR GRADING ELEVATIONS AND PAD ELEVATIONS
6. REFER TO BATHROOM DETAIL AND CASEWORK SHEETS FOR DIMENSIONS
7. ALL LANDINGS FOR EXTERIOR DOORS TO BE NOT MORE THAN 7 3/4" FROM TOP OF THRESHOLD TO EXTERIOR LANDING PER CRC R313.1.3
8. PROVIDE A SIGN OR VALVE TAG AT FIRE SPRINKLER SYSTEM AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM SHALL NOT BE ADDED TO THE SYSTEM. SEE CRC SECTION R313.3.7 FOR EXACT WORDING REQUIRED FOR SIGN
9. ALL WOOD FRAMING ADJACENT TO CONCRETE WALLS SHALL BE PRESSURE TREATED.
10. ALL PENETRATIONS THROUGH CONCRETE SLABS WILL BE ENCASED IN A SLEEVE AND WILL COMPLY WITH CPC SECTION 312.1.
11. PROVIDE SOLID FIRE BLOCKING IN ACCORDANCE WITH CRC SECTION 302.1.1.



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TIOGA RESIDENCE
2355 TIOGA DRIVE, MENLO PARK, CA 94025

REVISIONS		
NO.	DESCRIPTION	DATE
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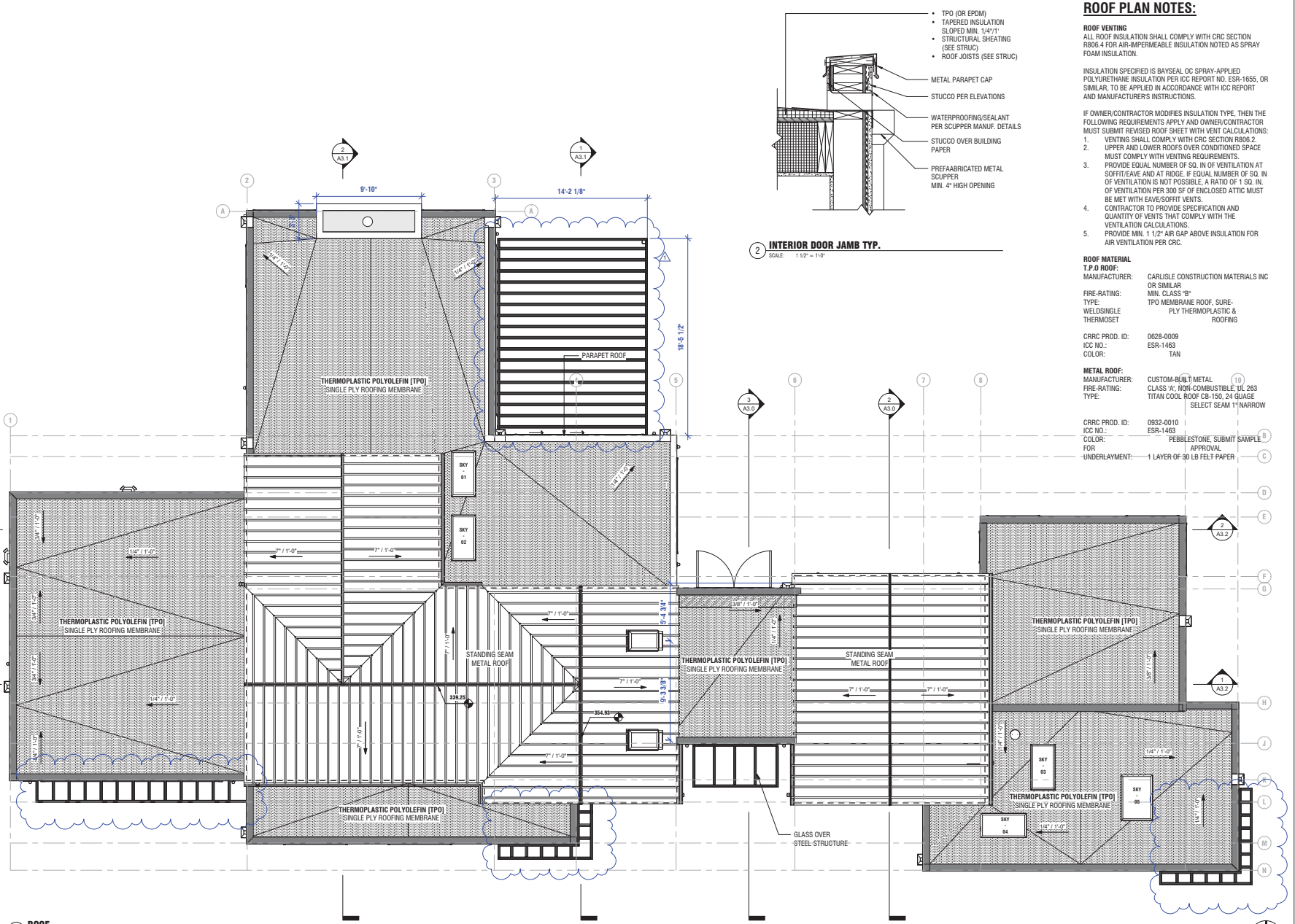
SECOND FLOOR

A1.2

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1 **LEVEL 2**
SCALE: 1/4" = 1'-0"

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- TPO (OR EPDM)
 - TAPERED INSULATION SLOPED MIN. 1/4"1"
 - STRUCTURAL SHEATHING (SEE STRUC)
 - ROOF JOISTS (SEE STRUC)
- METAL PARAPET CAP
 - STUCCO PER ELEVATIONS
 - WATERPROOFING/SEALANT PER SCUPPER MANUF. DETAILS
 - STUCCO OVER BUILDING PAPER
 - PREFABRICATED METAL SCUPPER MIN. 4" HIGH OPENING

ROOF PLAN NOTES:

ROOF VENTING
 ALL ROOF INSULATION SHALL COMPLY WITH CRC SECTION R08.4 FOR AIR-IMPERMEABLE INSULATION NOTED AS SPRAY FOAM INSULATION.

INSULATION SPECIFIED IS BAYSEAL OC SPRAY-APPLIED POLYURETHANE INSULATION PER ICC REPORT NO. ESR-1655, OR SIMILAR, TO BE APPLIED IN ACCORDANCE WITH ICC REPORT AND MANUFACTURER'S INSTRUCTIONS.

IF OWNER/CONTRACTOR MODIFIES INSULATION TYPE, THEN THE FOLLOWING REQUIREMENTS APPLY AND OWNER/CONTRACTOR MUST SUBMIT REVISED ROOF SHEET WITH VENT CALCULATIONS:

1. VENTING SHALL COMPLY WITH CRC SECTION R08.2.
2. UPPER AND LOWER ROOFS OVER CONDITIONED SPACE MUST COMPLY WITH VENTING REQUIREMENTS.
3. PROVIDE EQUAL NUMBER OF SQ. IN. OF VENTILATION AT SOFFIT/EAVE AND AT RIDGE IF EQUAL NUMBER OF SQ. IN. OF VENTILATION IS NOT POSSIBLE. A RATIO OF 1 SQ. IN. OF VENTILATION PER 300 SF OF ENCLOSED ATTIC MUST BE MET WITH EAVE/SOFFIT VENTS.
4. CONTRACTOR TO PROVIDE SPECIFICATION AND QUANTITY OF VENTS THAT COMPLY WITH THE VENTILATION CALCULATIONS.
5. PROVIDE MIN. 1 1/2" AIR GAP ABOVE INSULATION FOR AIR VENTILATION PER CRC.

ROOF MATERIAL
T.P.O. ROOF:
 MANUFACTURER: CARLISLE CONSTRUCTION MATERIALS INC OR SIMILAR
 FIRE-RATING: MIN. CLASS "B"
 TYPE: TPO MEMBRANE ROOF, SURE-PLY THERMOPLASTIC & THERMOSET
 WELDSINGLE PLY THERMOPLASTIC & THERMOSET ROOFING
 CRC PROD. ID: 0828-0009
 ICC NO.: ESR-1463
 COLOR: TAN

METAL ROOF:
 MANUFACTURER: CUSTOM-BUILT METAL
 FIRE-RATING: CLASS "A, NON-COMBUSTIBLE, UL 263
 TYPE: TITAN COOL ROOF CB-150, 24 GAUGE, SELECT SEAM 1" NARROW

CRC PROD. ID: 0932-0010
 ICC NO.: ESR-1463
 COLOR: PEBBLESTONE, SUBMIT SAMPLE FOR APPROVAL
 UNDERLAYMENT: 1 LAYER OF 30 LB FELT PAPER

2 INTERIOR DOOR JAMB TYP.
 SCALE: 1/12" = 1'-0"

1 ROOF
 SCALE: 1/4" = 1'-0"



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REVISIONS		
NO.	DESCRIPTION	DATE
1	USE PERMIT RESUBMITTAL	05.10.2017

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ROOF
A1.3

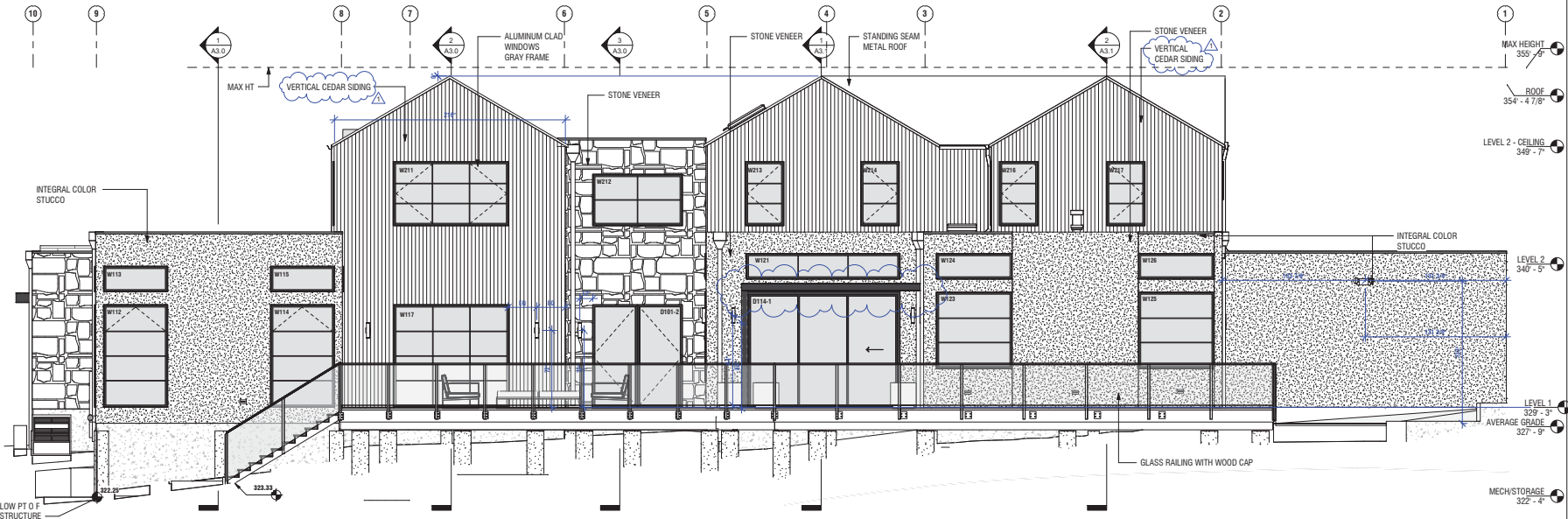
MATERIALS

ROOF	AEP SPAN DESIGN SPAN 16" WIDE SEAMS, 2" HIGH SEAMS COOL GRAY
BOARD AND BATTEN	1 1/2" X 1/2" BATTENS @ 12" OC PTD WHITE
STONE VENEER	WHITE/LIGHT CREAM WITH CHIPPED FACE, ASHLAR, MIXED SIZE, AUSTIN WHITE LIMESTONE

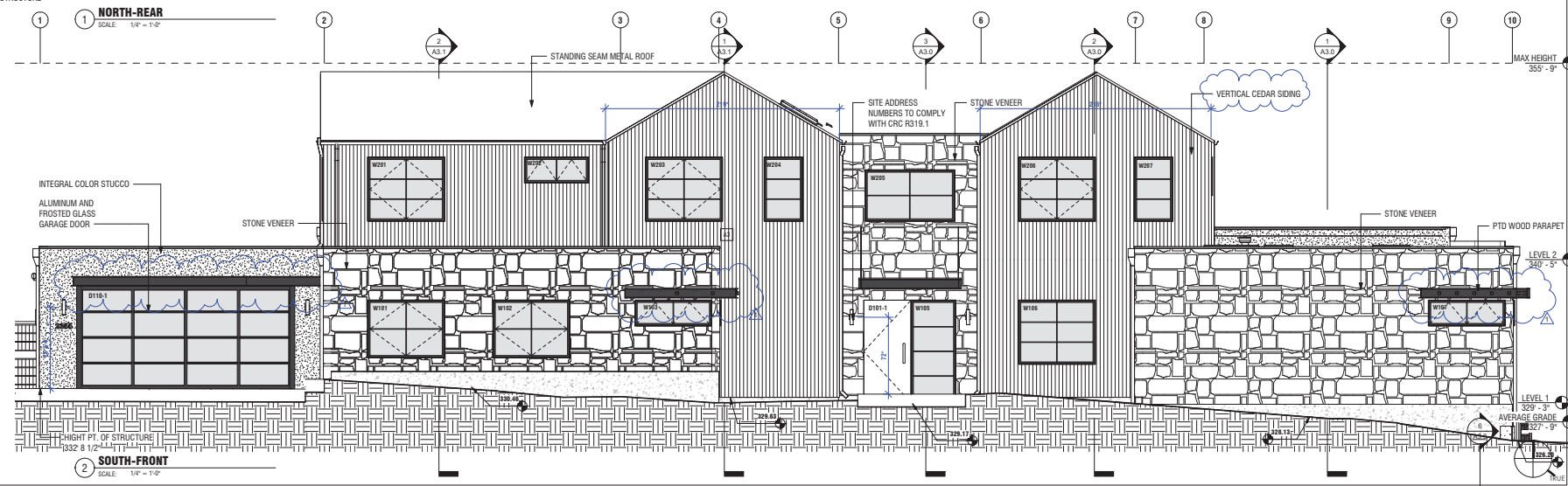
STUCCO	4-COAT (ACRYLIC) STUCCO WITH INTEGRAL COLOR
PARAPET FASCIA	PTD TO MATCH WINDOW FRAME
WINDOWS/DOORS	ALUMINUM CLAD WINDOWS WITH DIVIDED LIGHTS (KOLBE OR SIM), DARK BRONZE. INCLUDE INTERIOR AND EXTERIOR GRIDS AND SPACER BAR.

ELEVATION NOTES

- SEE SECTIONS FOR HEIGHTS FROM NATURAL GRADE
- SEE DAYLIGHT PLANE SHEETS FOR DAYLIGHT PLANE CALCULATIONS AND ANALYSIS



NORTH-REAR
SCALE: 1/4" = 1'-0"



SOUTH-FRONT
SCALE: 1/4" = 1'-0"



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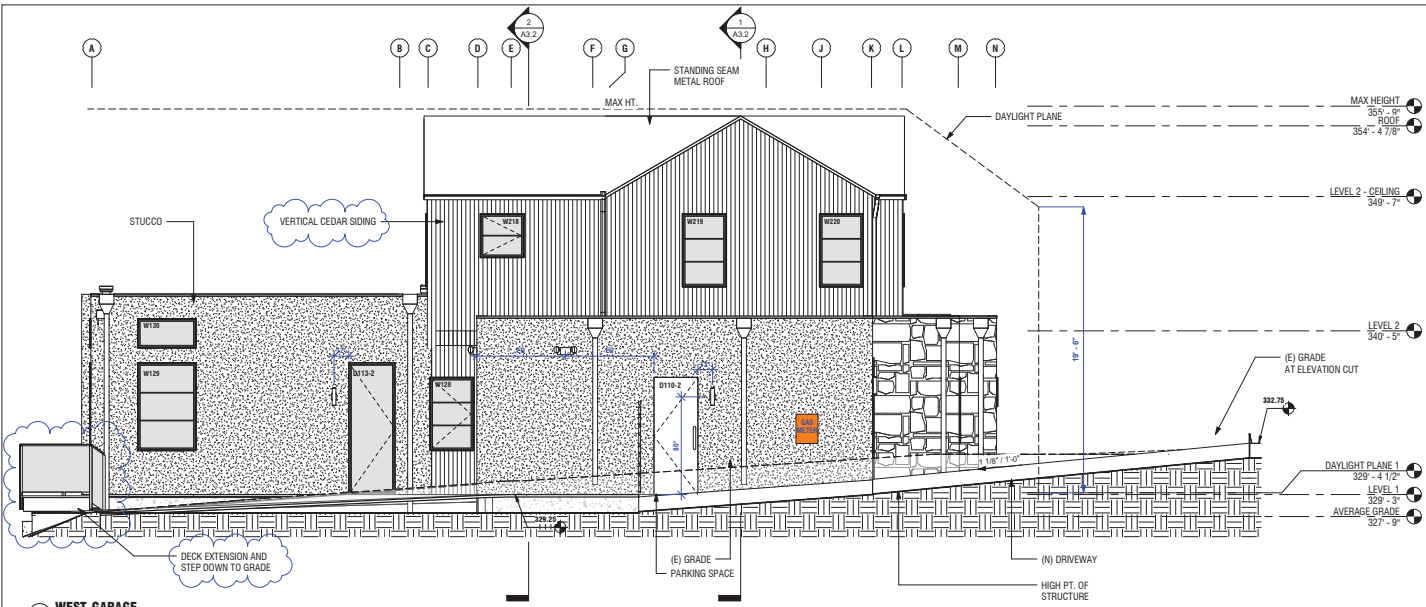
TIOGA RESIDENCE
2355 TIOGA DRIVE, MENLO PARK, CA 94025

REVISIONS

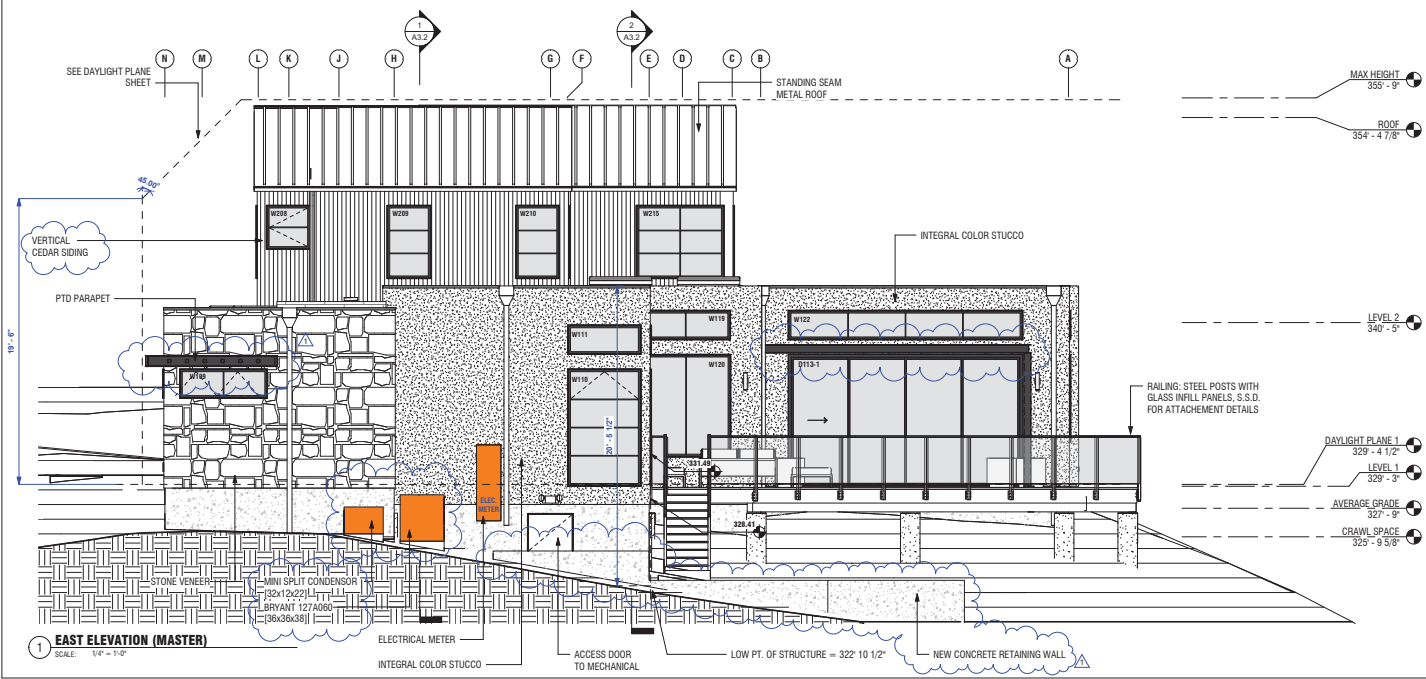
NO.	DESCRIPTION	DATE
1	USE PERMIT RESUBMITTAL	05.10.2017

PROJECT NUMBER: **Project Number**
ISSUE DATE: **4.20.2016**
SCALE: **As indicated**
ISSUE STATUS: **USE PERMIT**

BUILDING ELEVATIONS
A2.1



2 WEST-GARAGE
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION (MASTER)
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

- 1. SEE SECTIONS FOR HEIGHTS FROM NATURAL GRADE
- 2. SEE DAYLIGHT PLANE SHEETS FOR DAYLIGHT PLANE CALCULATIONS AND ANALYSIS

MATERIALS

ROOF	AEP SPAN DESIGN SPAN 16" WIDE SEAMS, 2" HIGH SEAMS COLOR GRAY
BOARD AND BATTEN	1 1/2" X 1/2" BATTENS @ 12" OC PTD WHITE
STONE VENEER	WHITE/LIGHT CREAM WITH CHIPPED FACE, ASHLAR, MIXED SIZE, AUSTIN WHITE LIMESTONE
STUCCO	4-COAT (ACRYLIC) STUCCO WITH INTEGRAL COLOR
PARAPET FASCIA	PTD TO MATCH WINDOW FRAME
WINDOWS/DOORS	ALUMINUM CLAD WINDOWS WITH DIVIDED LIGHTS (KOLBE OR SIMILAR) DARK BRONZE. INCLUDE INTERIOR AND EXTERIOR GRIDS AND SPACER BAR.



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XDC ENERGY CONSULTANTS 4288 Dorsett Avenue Riverside, CA 92509 951-830-2018 axavier@xdcconsultants.net	KELLY ARBORIST SERVICES PO Box 6187 San Mateo, CA 94403 650-525-1464 MatthewK14@yahoo.com

TIOGA RESIDENCE
2355 TIOGA DRIVE, MENLO PARK, CA 94025

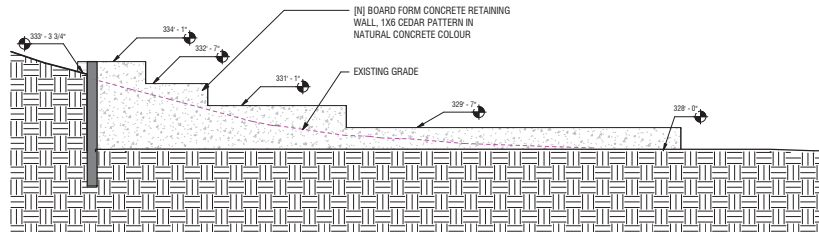
REVISIONS

NO.	DESCRIPTION	DATE
1	USE PERMIT RESUBMITTAL	05.10.2017

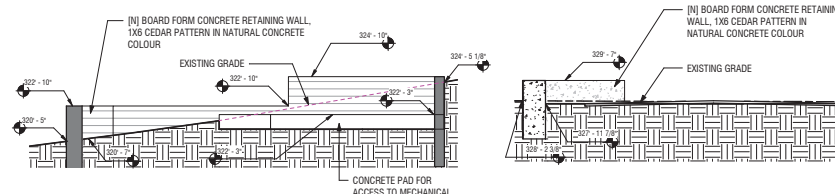
PROJECT NUMBER: **Project Number**
 ISSUE DATE: **4.20.2016**
 SCALE: **As indicated**
 ISSUE STATUS:

USE PERMIT
BUILDING ELEVATIONS
A2.2

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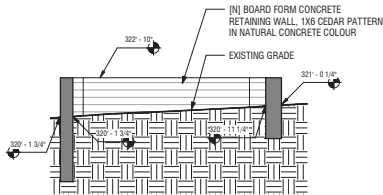


4 **CONCRETE RETAINING WALL B**
SCALE: 1/4" = 1'-0"

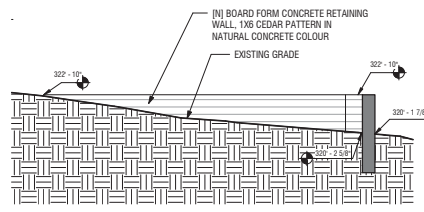


6 **CONCRETE RETAINING WALL D**
SCALE: 1/4" = 1'-0"

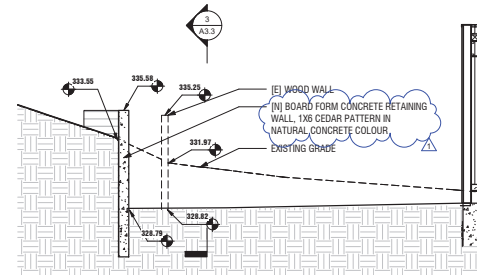
5 **CONCRETE RETAINING WALL C**
SCALE: 1/4" = 1'-0"



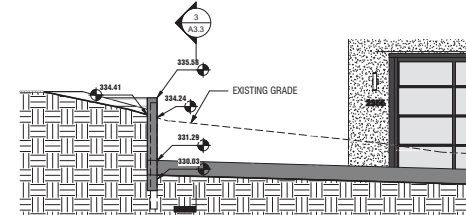
7 **CONCRETE RETAINING WALL E**
SCALE: 1/4" = 1'-0"



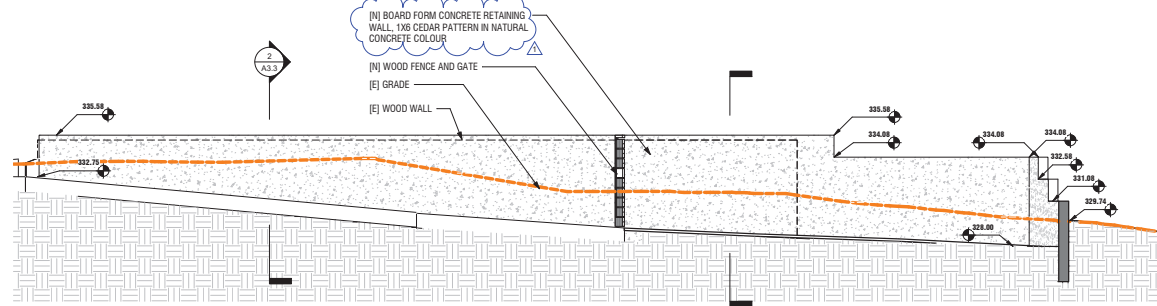
8 **CONCRETE RETAINING WALL F**
SCALE: 1/4" = 1'-0"



1 **CONCRETE RETAINING WALL - A**
SCALE: 1/4" = 1'-0"



2 **CONCRETE RETAINING WALL - A1**
SCALE: 1/4" = 1'-0"



3 **CONCRETE RETAINING WALL - B**
SCALE: 1/4" = 1'-0"



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REVISIONS

NO.	DESCRIPTION	DATE
1	USE PERMIT RE-SUBMITTAL	09.20.2017

PROJECT NUMBER: **Project Number**
ISSUE DATE: **4.20.2016**
SCALE: **1/4" = 1'-0"**
ISSUE STATUS:

USE PERMIT

RETAINING WALL SECTIONS

A3.3

4/20/2017 2:04:07 PM



TIOGA RESIDENCE

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DESIGNED BY	MODERNA HOMES
ARCHITECTURAL	
MECHANICAL	
CIVIL	
LANDSCAPE	
TIoga CONSTRUCTION	
GENERAL CONTRACTOR	

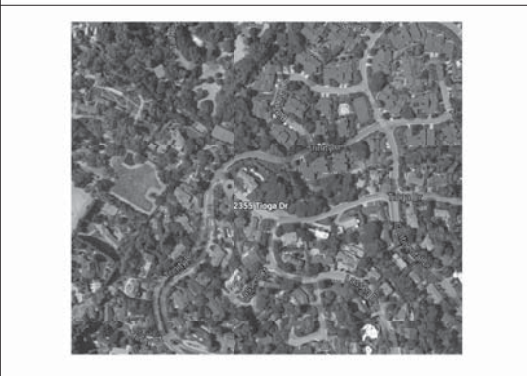
PROJECT DESCRIPTION	PROJECT DATA	SPECIAL INSPECTIONS	SHEET INDEX
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- DEMOLITION OF EXISTING SINGLE STORY RESIDENCE AND CONSTRUCTION OF A NEW 2-STORY SINGLE STORY RESIDENCE
- REPLACEMENT OF A WOOD RETAINING WALL IN REAR SETBACK WITH CONCRETE RETAINING WALL

DESCRIPTION	NEW SINGLE FAMILY 2-STORY RESIDENCE
ADDRESS	2355 TIOGA DRIVE
APN	074-161-240
ZONING	R-E-S
CONSTRUCTION TYPE	TYPE V-8
OCCUPANCY GROUP	R-3/U
BUILDING USE	SINGLE FAMILY RESIDENTIAL
SEPTIC/SEWER	SEWER
FIRE SPRINKLER	INSTALL NFPA 13-D FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT

A0.0	COVER
A0.1	CONTEXT PLAN
A0.2	SITE PLAN
A0.3	STREETSCAPE
A0.4	FLOOR AREA DIAGRAMS
A0.5	DAYLIGHT PLANE
A0.6	IMPERVIOUS CALCULATIONS
A0.7	AVG GRADE CALC SITE PLAN
A1.0	(E) FLOOR PLANS
A1.1	FIRST FLOOR
A1.2	SECOND FLOOR
A1.3	ROOF
A2.1	BUILDING ELEVATIONS
A2.2	BUILDING ELEVATIONS
A2.3	(E) ELEVATIONS
A2.4	(E) ELEVATIONS
A3.0	SECTIONS
A3.1	SECTIONS
A3.2	SECTIONS

VICINITY MAP	PROJECT INFORMATION	APPLICABLE CODES
--------------	---------------------	------------------



LOT SIZE	16,701 sf
MAX. BUILDING COVERAGE (80% OF LOT SIZE)	5,010 sf
PROPOSED COVERAGE	3,856 sf
MAX. FLOOR AREA LIMIT (FAL) = (2,800 + (.25*(LOT SIZE-7,000))) = (2,800 + (.25*(16,701-7,000)))	5,225 sf
PROPOSED FLOOR AREA	5,224 sf
MAX. HEIGHT	28'-0"***
AVG. CALC. GRADE (SEE A1.0) LOWEST GRADE = 322'-9 1/2" HIGHEST GRADE = 322'-9 1/2"	327'-9"
MAX. HEIGHT ELEVATION BASED ON AVG. GRADE (28' + 327'-9") = 355'-9"	355'-9"
MAX. HEIGHT OF HOUSE	355'-1"

SEE SHEET A1.2 FOR AREA CALCULATIONS

***MAXIMUM BUILDING HEIGHT AT ANY ONE POINT ON THE PROPERTY SHALL BE MEASURED FROM AVERAGE NATURAL GRADE. CHIMNEYS ARE EXCLUDED FROM THIS HEIGHT LIMIT PER ZONING CODE SECTION 16.14.030(f).

2013 CALIFORNIA BUILDING CODE (2009 IBC)
 2013 CALIFORNIA RESIDENTIAL CODE (2009 IRC)
 2013 CALIFORNIA MECHANICAL CODE (2009 IMC)
 2013 CALIFORNIA ELECTRICAL CODE (2008 NEC)
 2013 CALIFORNIA PLUMBING CODE (2009 UPC)
 2013 CALIFORNIA FIRE CODE

TIOGA RESIDENCE
 2355 TIOGA DRIVE, MENLO PARK, CA 94025

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER: **Project Number**
 ISSUE DATE: **10.23.2015**
 SCALE: **As Indicated**
 ISSUE STATUS: **DESIGN REVIEW**

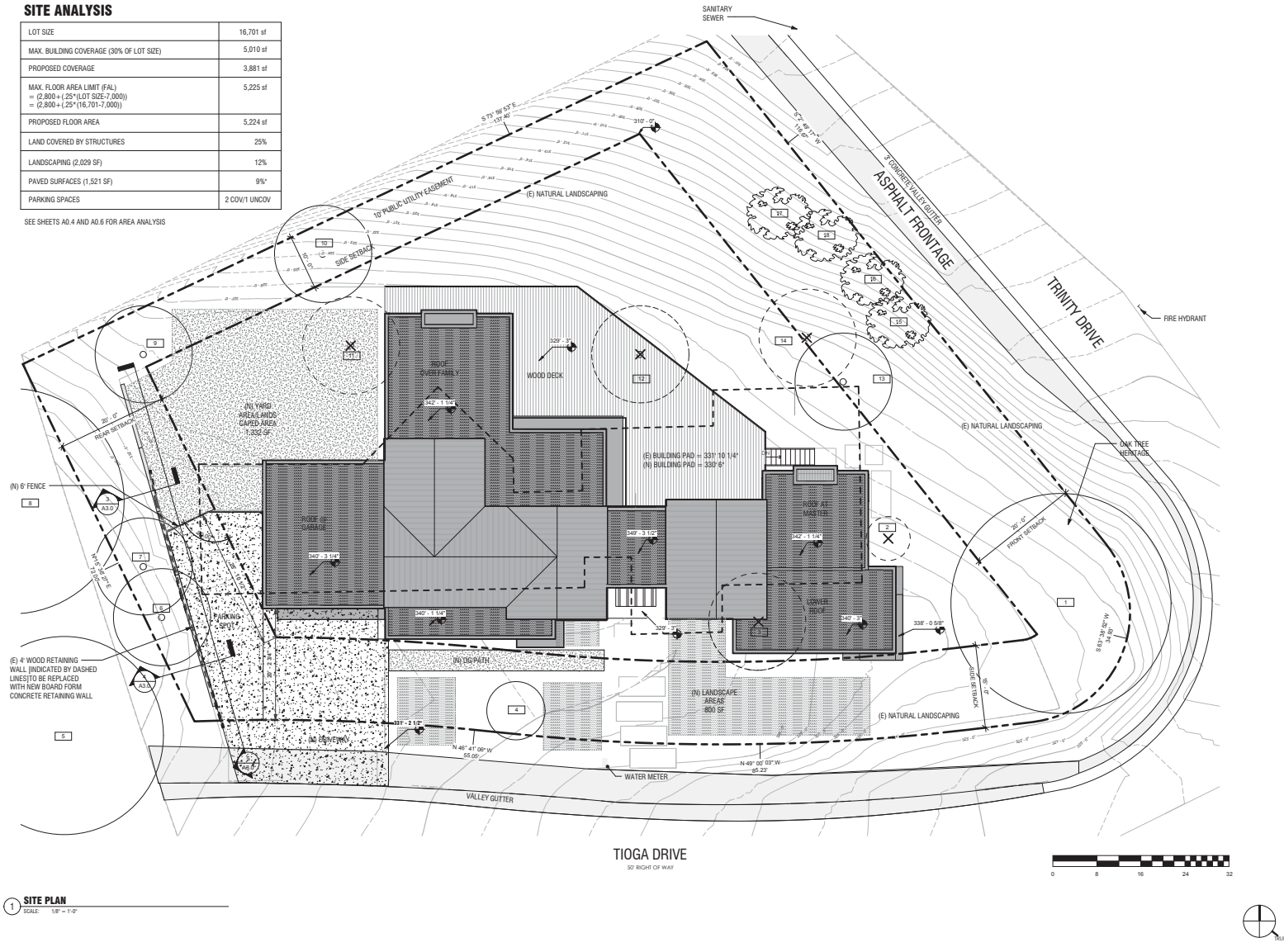
COVER

A0.0

SITE ANALYSIS

LOT SIZE	16,701 sf
MAX. BUILDING COVERAGE (30% OF LOT SIZE)	5,010 sf
PROPOSED COVERAGE	3,881 sf
MAX. FLOOR AREA LIMIT (FAL) = $(2,800 + 1.25' \times (\text{LOT SIZE} - 7,000))$ = $(2,800 + 1.25' \times (16,701 - 7,000))$	5,225 sf
PROPOSED FLOOR AREA	5,224 sf
LAND COVERED BY STRUCTURES	25%
LANDSCAPING (2,029 SF)	12%
PAVED SURFACES (1,521 SF)	9%
PARKING SPACES	2 COV/1 UNCOV

SEE SHEETS AD.4 AND AD.6 FOR AREA ANALYSIS



MODERNA HOMES
893 Santa Cruz Avenue, Suite 200,
Menlo Park, CA, 94025
650.321.9000
www.modernahomes.net

DESIGNED BY	ARCHITECT
ENGINEERED BY	ENGINEER
LANDSCAPED BY	LANDSCAPE ARCHITECT
CONSTRUCTION ADMINISTRATION	CONSTRUCTION MANAGER

TIOGA RESIDENCE
2355 TIOGA DRIVE, MENLO PARK, CA 94025

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER	Project Number
ISSUE DATE:	10.23.2015
SCALE:	As Indicated
ISSUE STATUS:	DESIGN REVIEW
SITE PLAN	
A0.2	

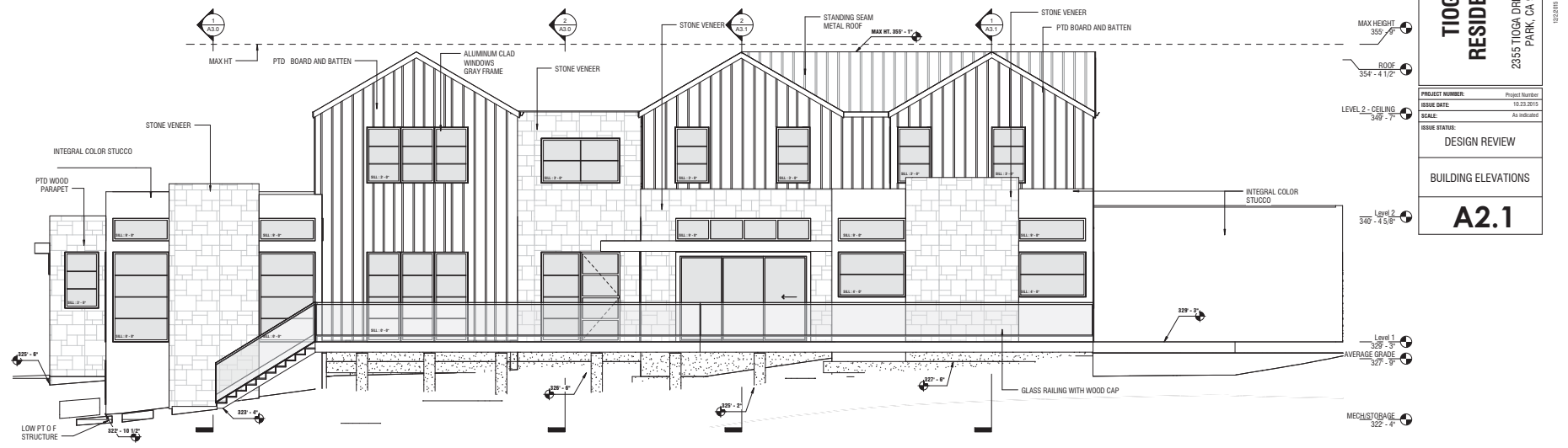
MATERIALS

ROOF	4:5 PITCH DESIGN SPAN 1 1/2" WIDE SEAMS, 2" HIGH SEAMS COOL GRAY
BOARD AND BATTEN	1 1/2" X 1 1/2" BATTENS @ 12" OC PTD WHITE
STONE VENEER	WHITE LIGHT CREAM WITH CHIPPED FACE, ASHLAR, MIXED SIZE, AUSTIN WHITE LIMESTONE

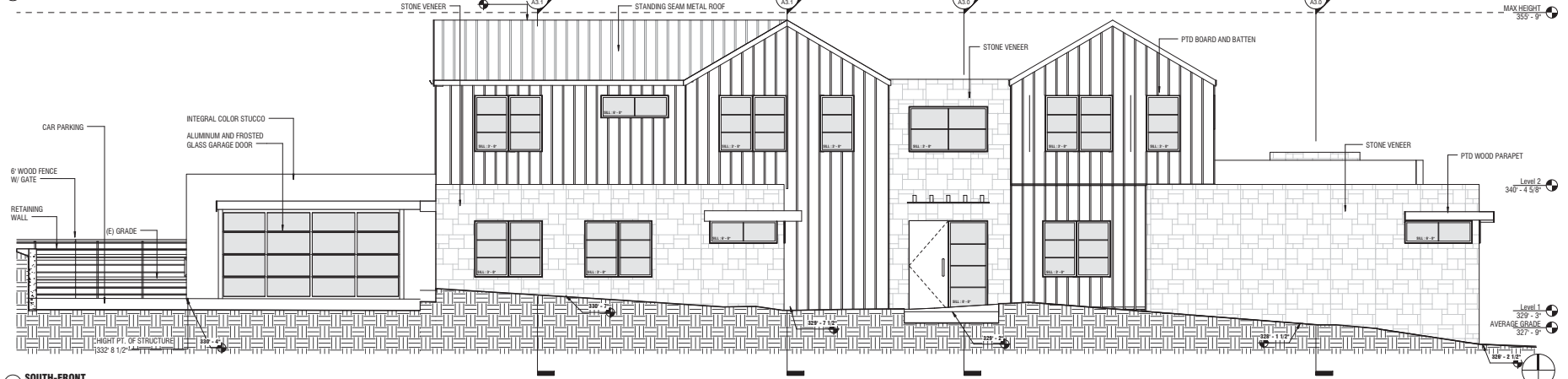
STUCCO	4-COAT (ACRYLIC) STUCCO WITH INTEGRAL COLOR
PARAPET FASCIA	PTD TO MATCH WINDOW FRAME
WINDOWS/DOORS	ALUMINUM CLAD WINDOWS WITH DIVIDED LIGHTS (KOLBE OR SIM), DARK BRONZE. INCLUDE INTERIOR AND EXTERIOR GRIDS AND SPACER BAR.

ELEVATION NOTES

- SEE SECTIONS FOR HEIGHTS FROM NATURAL GRADE
- SEE DAYLIGHT PLANE SHEETS FOR DAYLIGHT PLANE CALCULATIONS AND ANALYSIS

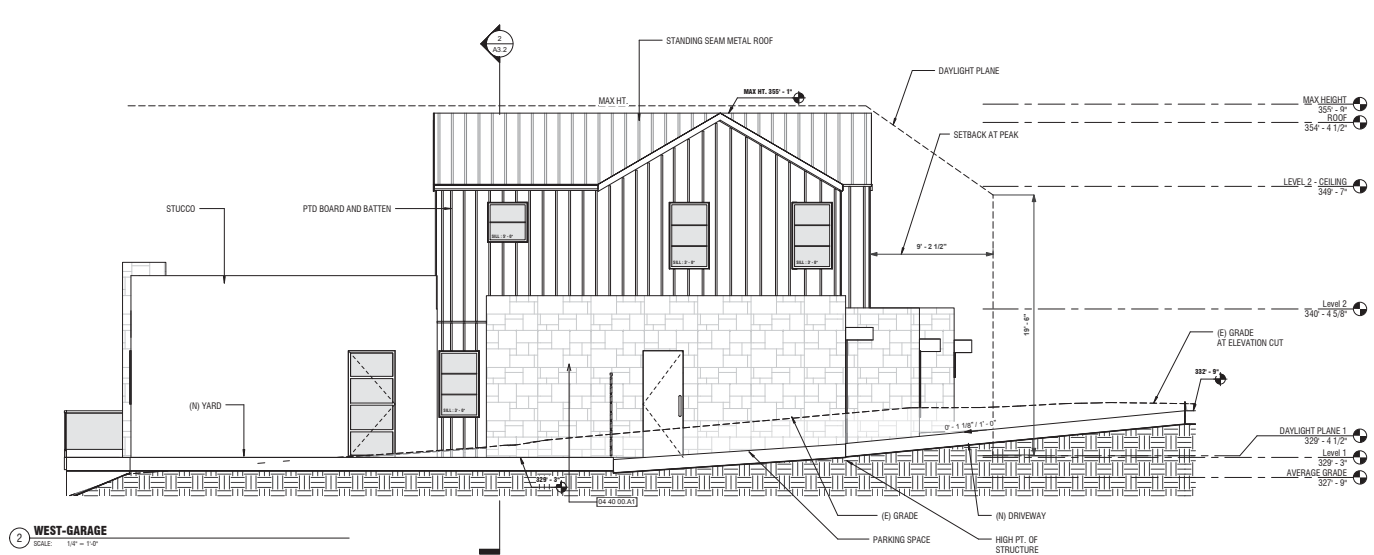


1 NORTH-REAR
SCALE: 1/4" = 1'-0"

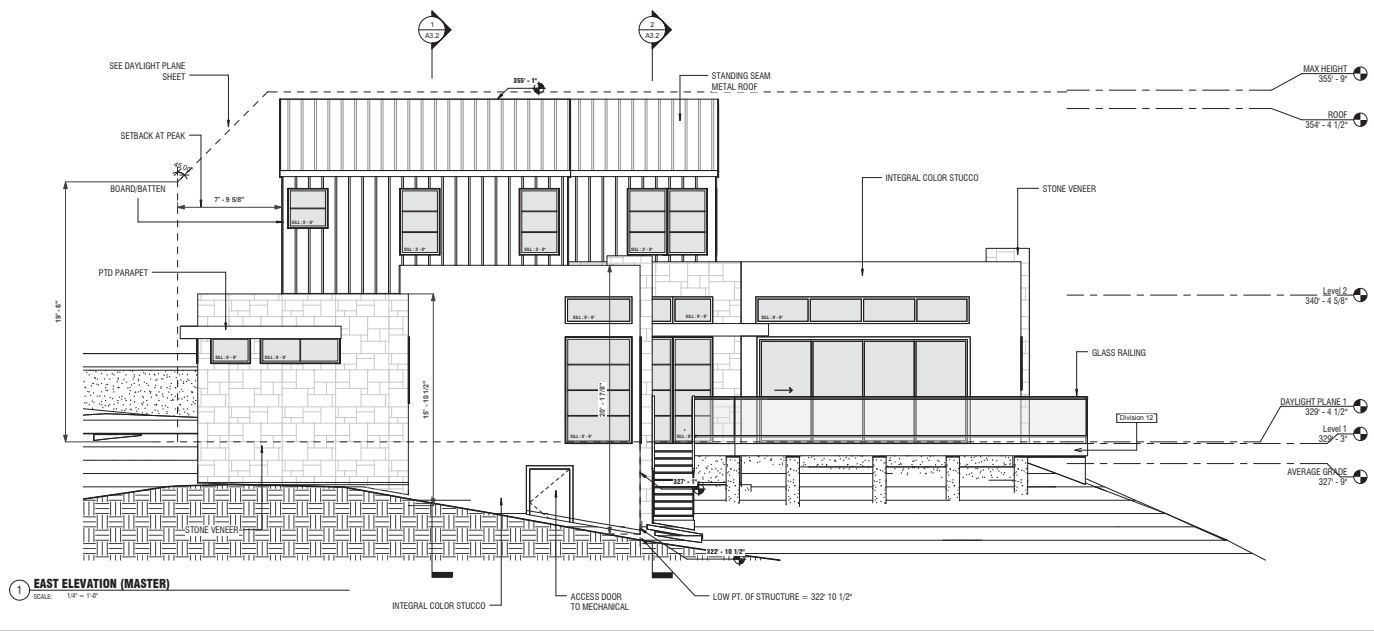


2 SOUTH-FRONT
SCALE: 1/4" = 1'-0"

PROJECT NUMBER:	Project Number
ISSUE DATE:	10.23.2019
SCALE:	As indicated
ISSUE STATUS:	DESIGN REVIEW
BUILDING ELEVATIONS	
A2.2	



2 WEST-GARAGE
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION (MASTER)
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

- SEE SECTIONS FOR HEIGHTS FROM NATURAL GRADE
- SEE DAYLIGHT PLANE SHEETS FOR DAYLIGHT PLANE CALCULATIONS AND ANALYSIS

MATERIALS

ROOF	AEP SPAN DESIGN SPAN 16" WIDE SEAMS, 2" HIGH SEAMS COOL GRAY
BOARD AND BATTEN	1 1/2" X 1/2" BATTENS @ 12" OC PTD WHITE
STONE VENEER	WHITE/LIGHT GREY WITH CHIPPED FACE, ASHLAR, MIXED SIZE, AUSTIN WHITE LIMESTONE
STUCCO	4-COAT (ACRYLIC) STUCCO WITH INTEGRAL COLOR
PARAPET FASCIA	PTD TO MATCH WINDOW FRAME
WINDOWS/DOORS	ALUMINUM CLAD WINDOWS WITH DIVIDED LIGHTS (KOLBE OR SIM), DARK BRONZE. INCLUDE INTERIOR AND EXTERIOR GRIDS AND SPACER BAR.





883 SANTA CRUZ AVE. SUITE 205 ■ MENLO PARK, CA ■ 94025
www.modernahomes.net
(650)-391-9805

Menlo Park Planning Department
701 Laurel St.
Menlo Park CA 94025
May 10, 2017

USE PERMIT RESUBMITTAL SCOPE OF WORK

To Whom It May Concern:

The proposed revisions to the use permit are as follows:

- a. Move and extend retaining walls along west side to create a more usable yard accessible from the family room
- b. Add retaining walls along the east side for safe access to the mechanical room and electrical panel and create a flat area at bottom of the deck stairs
- c. Change the solid front canopies to an open metal frame so that they visually tie into the look of the front canopy better.
- d. Add a metal trellis at rear deck between the family and dining room to mitigate the strong sun exposure at the rear of the home
- e. Change the white board and batten siding to vertical cedar siding to accentuate the tones of the stone siding and stucco colour.

Thank you,

A handwritten signature in black ink that reads "Kathleen Liston".

Kathleen Liston

Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

May 9, 2017, Revised July 5, 2017

Moderna Homes
Attn: Yoanna Cortez
Designer/ Construction coordinator
558A Santa Cruz Ave
Menlo Park CA

Site: 2355 Tioga, Menlo Park, CA

Dear Yoanna Cortez,

As requested on Wednesday, July 5, 2017, I was asked to provide a review letter to evaluate any potential impacts to trees #7,#10, and #13 from the updated site plan showing new retaining wall locations.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

2355 Tioga/7/5/17

(2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
7	Coast live oak (<i>Quercus agrifolia</i>)	10.8	55	35/20	Good vigor, fair form, on bank above house. 10 times diameter=9 feet.
10	Coast live oak (<i>Quercus agrifolia</i>)	18.9	65	35/30	Good vigor, fair form, codominant at 8 feet. 10 times diameter= 15.7 feet.
13	Coast live oak (<i>Quercus agrifolia</i>)	8.2	40	15/10	Fair vigor, poor form, topped for a view. 10 times diameter= 6.8 feet.

Summary of potential impacts for oak tree #7:

Coast live oak tree #7 has a diameter of 10.8 inches making it a protected tree in the city of Menlo Park. An existing 4 foot tall retaining wall is proposed to be demolished and replaced. The existing retaining wall likely acted as a root barrier. Root growth on the other side of the retaining wall is expected to be non-existent. The new retaining wall is proposed in the same location as the existing retaining wall at a distance of 4' 7 3/4" from the tree. Once the proposed retaining wall passes the tree, the proposed retaining wall slightly encroaches into the tree's dripline by only a few feet, as the retaining wall makes a slight curve to the west.

All excavation when within 9 feet (10 times diameter) of this tree must be done by hand in combination with an air spade. The site arborist must be present during all excavation within 9 feet of this tree. All roots must remain exposed and damage free. Roots shall be cut cleanly using a hand saw or loppers. Tree protection fencing for oak tree #7 will need to be slightly reduced in order to perform the proposed work. Tree protection shall be placed at a distance of 9 feet from the tree where possible. Where not possible because of the proposed work, fencing must be placed as close as possible to the proposed work while still allowing for construction of the retaining wall to safely continue. Impacts to oak tree #7 are expected to be minor as the majority of the cut for the proposed retaining wall is in the same location as the existing retaining wall. Only a small percentage of the trees root zone will be affected. Because the tree is a young healthy tree it is expected to survive the minor impacts with mitigation measures in place.

Summary of potential impacts for oak tree#10:

Coast live oak tree #10 has a diameter of 18.9 inches making it a protected tree in the city of Menlo Park. A new retaining wall is proposed near this tree. The retaining wall is proposed at a distance of 5 feet 6.5 inches from the oak tree at the closest point. The structural engineers have designed the retaining wall to turn away from the tree to accommodate the roots of the tree. All excavation when within 15.7 feet (10 times diameter) of this tree must be done by hand in combination with an air spade. The site arborist must be present during all excavation within 15.7 feet of this tree. All roots must remain exposed and damage free. Roots shall be cut cleanly using a hand saw or loppers. Tree protection fencing for oak tree #10 will need to be reduced in order to perform the proposed work. Tree protection shall be placed at a distance of 15.7 feet from the tree where possible. Where not possible because of the proposed work, tree protection fencing must be placed as close as possible to the work. Impacts to oak tree #10 are expected to

be moderate as the cut is close to the tree. Because the tree is a young healthy tree it is expected to survive the moderate impacts with mitigation measures in place.

Summary of potential impacts for oak tree #13:

Coast live oak tree #13 has a diameter of 8.2 inches making it a non-protected tree in the city of Menlo Park. A new retaining wall is proposed near this tree. The retaining wall wraps around the north and east side of the tree and is located 3 feet from the tree on the east side, and 4 feet on the north side of the tree. All excavation when within 6.8 feet (10 times diameter) of this tree must be done by hand in combination with an air spade. The site arborist must be present during all excavation within 6.8 feet of this tree. All roots must remain exposed and damage free. Roots shall be cut cleanly using a hand saw or loppers. Tree protection fencing for oak tree #13 will need to be reduced in order to perform the proposed work. Tree protection shall be placed at a distance of 6.8 feet from the tree where possible. Impacts to oak tree #13 are expected to be moderate as the cut is close to the tree. Because the tree is a young healthy tree it is expected to survive the moderate impacts with mitigation measures in place.

Mitigation measures for oak tree #7 #10 and #13:

All roots must be cut cleanly with the site arborist on site. Any roots to be exposed, including stubs where roots have been cut must be wrapped in burlap and kept moist by spraying down the burlap multiple times a day. Once the retaining walls have been constructed it is recommended to place a soaker hose underneath the dripline of the oak trees as close to where the cut took place as possible. The soaker hose shall stay at least 18 inches away from the trunk of the oak trees. The soaker hoses shall be turned on for 4 hours at a time once every 2 weeks or until the top 18 inches of soil is saturated during the first year after the retaining wall construction has been completed. The second year the irrigation shall be reduced to once a month and the third year the irrigation shall be suspended. It is also recommended to inspect the trees once a year during spring to check for shoot elongation. These inspections are recommended to take place for 5 years after the construction has been completed. During the inspections fertilizer may be recommended depending on the findings.

Proposed grading near trees:

All grading shall strive to stay outside of the protected trees driplines. Sometimes this is not possible on construction sites. Grading is proposed underneath oak tree #10, consisting of a fill of 1 foot 8 inches. The following are step to take to reduce the impact to the tree as much as possible during the proposed grading:

- All vegetation should be removed, including underbrush beneath the branch spread of the trees. Organic matter, as it decomposes beneath a soil fill, can create noxious gases detrimental to the tree roots.
- The top 3 to 6 inches of the soil surface should be cultivated or broken up carefully so as to disturb the least possible amount of roots. This treatment allows better contact with the fill soil and prevents a sharp line of demarcation between the existing soil surface and the fill.
- As a retainer around the trunk, an open-joint wall of shell, rock, masonry or brick in a circle around the tree trunk should be constructed with at least 3 feet between the trunk

- and the wall. The wall should be as high as the top of the new grade. The completed opening is commonly referred to as a "tree well".
- An aeration system shall be constructed inside of the fill using 4-inch perforated plastic pipe arranged in 5 to 6 horizontal lines radiating from the tree well like spokes in a wheel to a point that is equal to the branch spread. The radial lines should be installed so they slope away from the tree trunks, thus allowing excess moisture to drain away.
- The fill should be as porous as possible to allow for more oxygen. Clay fill shall be avoided.

Impacts from the proposed fill are expected to be minor if the above steps are taken. The site arborist must be onsite during this work to document and to make sure the work is done correctly.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A

David P. Beckham
Certified Arborist WE#10724A



STAFF REPORT

Planning Commission

Meeting Date: 7/17/2017

Staff Report Number: 17-047-PC

Public Hearing: Use Permit/Alan Coon/989 El Camino Real

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit for a full/limited service restaurant on a lot that is substandard with regard to parking located at 989 El Camino Real in the El Camino Real/Downtown Specific Plan (SP/ECR-D) zoning district. The tenant space is vacant but was previously used for a take-out only restaurant. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject property is located on El Camino Real between Menlo Avenue and Live Oak Avenue, on the edge of the Downtown area. The parcel is located within the El Camino Real/Downtown Specific Plan's El Camino Real South-West (ECR SW) sub-district. The parcel consists of a one-story commercial building and a private parking lot at the corner of El Camino Real and Menlo Avenue. The commercial building is occupied by four tenants including the subject vacant tenant space, a dry cleaners, cobbler, and fitness studio.

The surrounding properties are also located in the SP/ECR-D zoning district. Using Menlo Avenue in the north to south orientation, the parcels to the north and across El Camino Real and to the south are developed with offices. The property to the west and across Menlo Avenue is a restaurant use, currently Applewood Pizza, with residential units above. The property to the east is a retail use, currently Menlo Clock Works. Access to the property is provided from El Camino Real, as well as from Menlo Avenue. A location map is included as Attachment B.

Analysis

Project description

The applicant is requesting to occupy the vacant tenant space, formerly a take-out restaurant (Applewood 2-Go), with a full/limited service restaurant. The restaurant would occupy 1,000 square feet of the 6,614-

square-foot commercial building. The applicant states that the restaurant would be open daily, with the typical hours of operation between 11:00 a.m. to 9:00 p.m. The restaurant would have a total of two to three employees at any given time depending on the demand. The applicant is proposing seating for no more than 18 people. No outdoor seating is proposed. Alcohol sales are not currently proposed, although the applicant could apply for this through an Administrative Permit in the future if desired. The applicant has submitted proposed plans (Attachment C) and a project description letter (Attachment D), which describes the proposed operations of the restaurant in more detail.

No exterior changes to the building are proposed, with the exception of new signage (to be reviewed under separate permit by staff) at the front entrance. The applicant proposes to construct new tenant improvements within the space, including the construction of a new bathroom, food prep area, kitchen, and seating area. The proposed plans include the removal of unused existing rooftop equipment and the installation of new equipment, which will not be visible from the public right of way as verified by a line-of-sight diagram in the plan set.

Staff believes that the proposed restaurant use would be consistent with the services of similar businesses elsewhere within the city, especially within the El Camino Real and downtown areas.

Parking and circulation

The parking requirement is six spaces per 1,000 square feet for restaurant uses and four spaces per 1,000 square feet for retail and personal services uses in the SP/ECR-D zoning district. The building is nonconforming with regard to parking, with 25 parking spaces where 29 spaces would be required. As noted in condition 4a, the existing accessible parking is currently not compliant and will have to be made compliant as part of the building permit for the project. This will likely reduce the total number of parking spaces slightly, although Zoning Ordinance Section 16.80.020 specifies that such reductions for accessibility requirements do not intensify nonconformities.

Although a full/limited service restaurant is a permitted use in the SP/ECR-D zoning district, use permit approval is required for the change in use in a building that is nonconforming with regard to parking. The proposed and previous restaurant uses are similar the only difference being that the proposed restaurant would have seating where the previous restaurant did not. The SP/ECR-D zoning district requires the same parking ratio for full/limited service restaurants and take-out restaurants; therefore, the proposed and previous uses are anticipated to generate similar parking demands.

Customer parking demands are not expected to be excessive based on the hours of operation of the businesses sharing the private parking lot. According to the applicant's project description letter, the busiest hours for the restaurant will be in the afternoon between 12:00a.m. to 2:00p.m. and the evening between 6:00 p.m. to 8:00 p.m. The cobbler and dry-cleaner close after 6:00p.m., and the fitness studio has its busiest hours in the morning between 6:00 a.m. to 10:45 a.m. Additionally, due to the central location in the downtown area customers may use alternative transportation to the restaurant such as walking and biking. Some trip sharing is also anticipated based on the four different uses and the various services that they provide (i.e., a customer patronizing the laundromat may opt to also eat at the proposed restaurant, which would not generate an additional car trip).

Staff believes that with the on-site parking spaces and the parking demand of this proposed use, parking impacts would be minimized. Additionally, the Transportation Division has reviewed the proposed restaurant and does not anticipate any significant parking impacts since the four businesses have staggered hours of demand.

Correspondence

In addition to the City's public notices, the business owner preformed outreach to other nearby commercial building tenants. Two letters of support were received and are included as Attachment F.

Conclusion

Staff believes that the proposed restaurant is consistent with the services of similar uses elsewhere in the city. The proposed restaurant is similar to the previous use and should generate a similar parking demand. The proposed restaurant is not anticipated to have parking impacts due to the staggered hours of demand of the existing uses sharing the on-site parking, as well as due to the potential for shared trips. The central location near the downtown area would allow customers to use alternative forms of transportation to the restaurant. The Transportation Division has reviewed the applicant's proposal and has expressed no concerns with the proposed restaurant. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 500-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Project Plans

- D. Project Description Letter
- E. Correspondence

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicant. The accuracy of the information in these drawings is the responsibility of the applicant, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

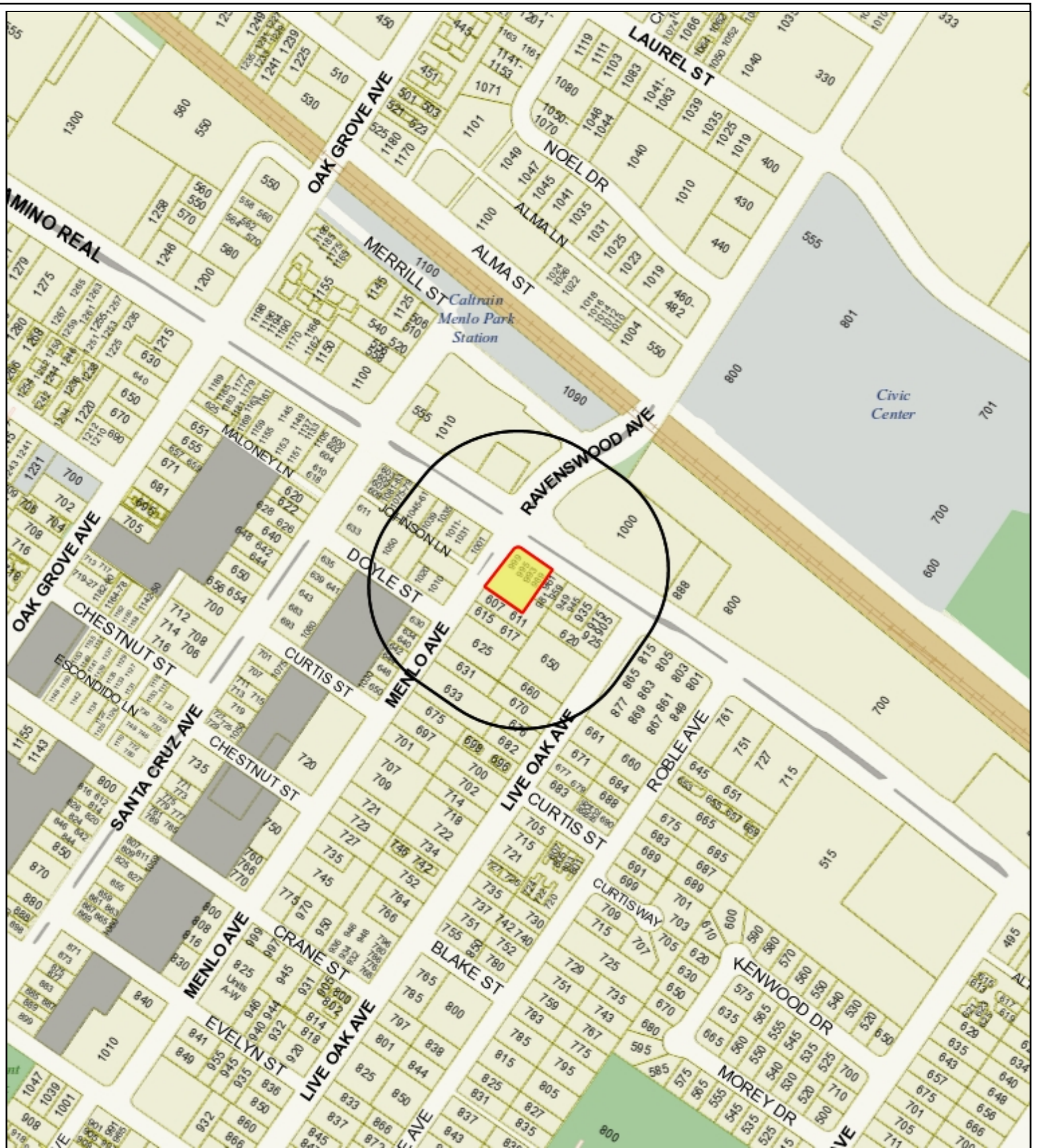
None

Report prepared by:
Kaitie Meador, Associate Planner

Report reviewed by:
Thomas Rogers, Principal Planner

989 El Camino Real – Attachment A: Recommended Actions

LOCATION: 989 El Camino Real	PROJECT NUMBER: PLN2017-00047	APPLICANT: Alan Coon	OWNER: Douglas and Nancy J Wright Trust
REQUEST: Request for a use permit for a full/limited service restaurant on a lot that is substandard with regard to parking located at 989 El Camino Real in the El Camino Real/Downtown Specific Plan (SP/ECR-D) zoning district. The tenant space is vacant but was previously used for a take-out only restaurant.			
DECISION ENTITY: Planning Commission	DATE: July 17, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. The project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Alan William Coon Architect, consisting of five sheets, dated received June 21, 2017, and the project description letter, dated received June 15, 2017, and approved by the Planning Commission on July 17, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. 4. Approve the use permit subject to the following project-specific conditions: <ol style="list-style-type: none"> a. Prior to building permit issuance, the applicant shall provide compliant accessible parking subject to review and approval by the Building Division. 			



City of Menlo Park
 Location Map
 989 El Camino Real



Alan William Coon
Architect

535 Sylvan Avenue
San Bruno, California 94066
Phone: 650-219-7717

Project:
TAQUERIA

989 El Camino Real
Menlo Park, California

Revisions: 6/12/17

SITE PLAN

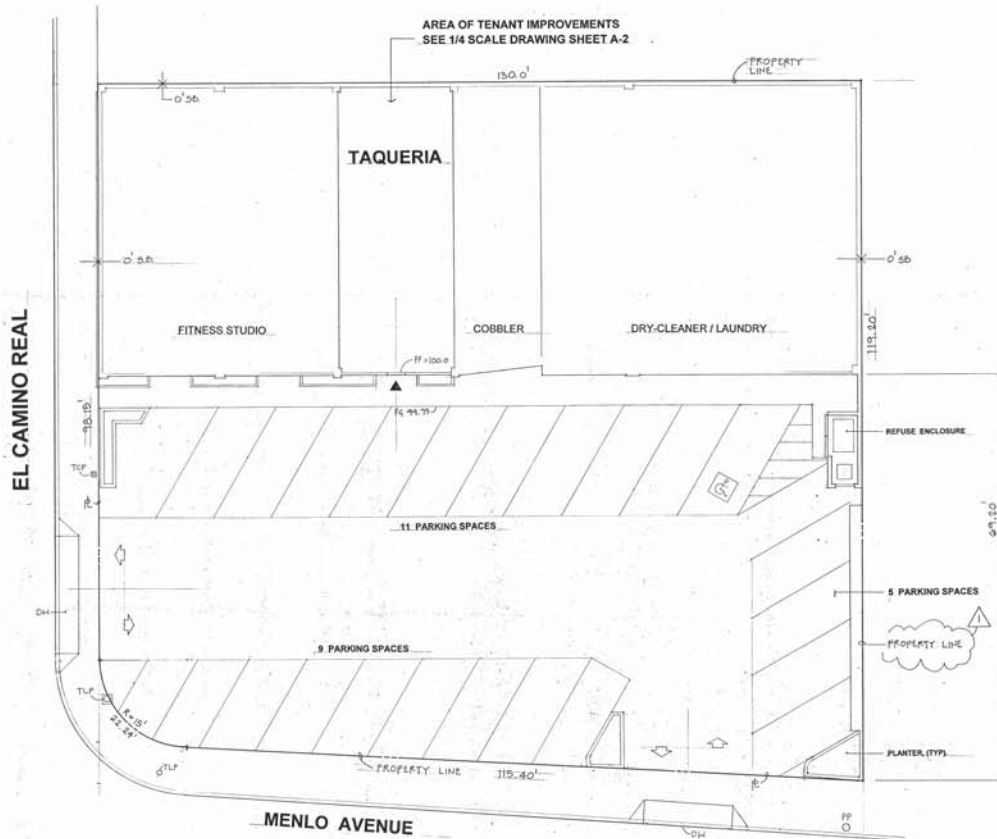
COVER SHEET

Date: 4-22-17

Scale: 1/10" = 1'-0"

Sheet Number:

A-1



SITE PLAN

0 10 20

PROJECT DATA

PROPERTY OWNER: DOUG WRIGHT
C/O CAPITAL REALTY GROUP
1200 HOWARD AVENUE
BURLINGAME, CA 94010
PHONE: (650) 342-0373

TENANT: ARACELI CIPREZ
4000 FARM HILL BOULEVARD #102
REDWOOD CITY, CA 94061
PHONE: (650) 340-1289

PROJECT ADDRESS: 989 EL CAMINO REAL STE #2,
MENLO PARK, CA 94025

APN: 071-288-590

ZONING: SPECIFIC PLAN
(ERIC MIXED-USE RESIDENTIAL)

LOT SIZE: 15,000± SF

FLOOR AREA: 6,456 SF (TOTAL AREA) 43% COV.

PARKING: 25 SPACES

APPLICABLE CODES

ALL WORK SHALL CONFORM TO THE 2016 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), THE CA ELECTRIC CODE (CEC), THE CA MECHANICAL CODE (CMC), THE CA PLUMBING CODE (CPC), CA TITLE-24 BUILDING ENERGY CODE, AND ALL OTHER CODES, ORDINANCES AND REGULATIONS AS ADOPTED BY GOVERNMENT AGENCIES HAVING JURISDICTION OVER THE WORK.

THE PROJECT SHALL COMPLY WITH 2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS.

ACCESSIBILITY REGULATIONS

ALL WORK PERTAINING TO ACCESSIBILITY SHALL CONFORM TO REGULATIONS PRESENTED IN THE CALIFORNIA BUILDING CODE (CBC), CHAPTERS 11A AND 11B WHERE THEY APPLY.

PROJECT DESCRIPTION

THIS PROJECT COMPRISES LEASE-HOLD IMPROVEMENTS AND INTERIOR MODIFICATIONS TO CONSTRUCT A TAQUERIA (FOOD-SERVICE) BUSINESS WITHIN THE OWNER'S COMMERCIAL BUILDING LOCATED AT 989 EL CAMINO REAL, MENLO PARK, CA.

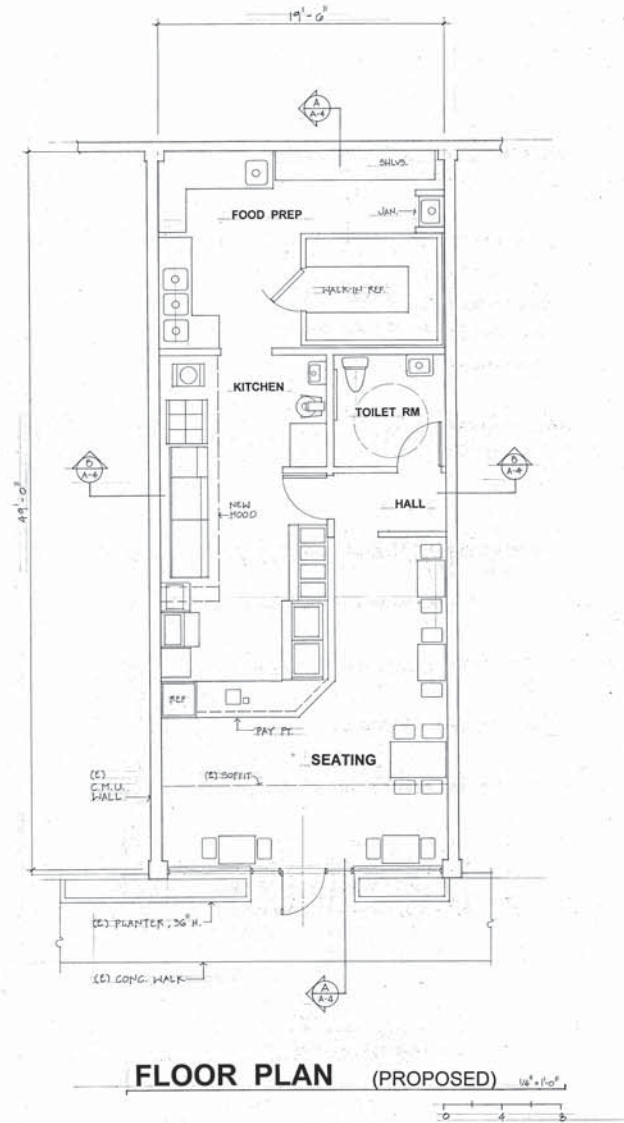
■ Alan William Coon ■
Architect

535 Sylvan Avenue
San Bruno, California 94066
Phone: 650-219-7717

Project:

TAQUERIA

989 El Camino Real
Menlo Park, California



Revisions:

FLOOR PLAN

Date: 4-22-17

Scale: 1/4" = 1'-0"

Sheet Number:

A-2

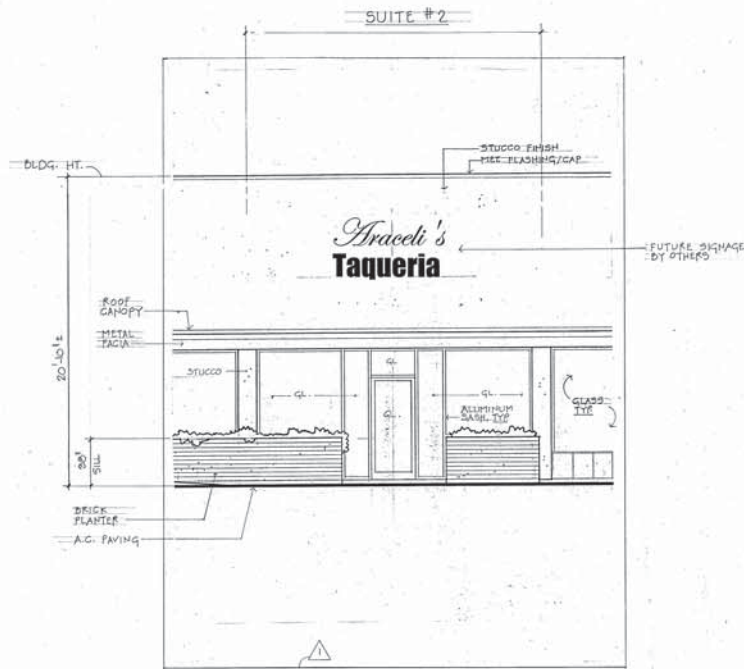
Alan William Coon
Architect

535 Sylvan Avenue
San Bruno, California 94066
Phone: 650-219-7717

Project:

TAQUERIA

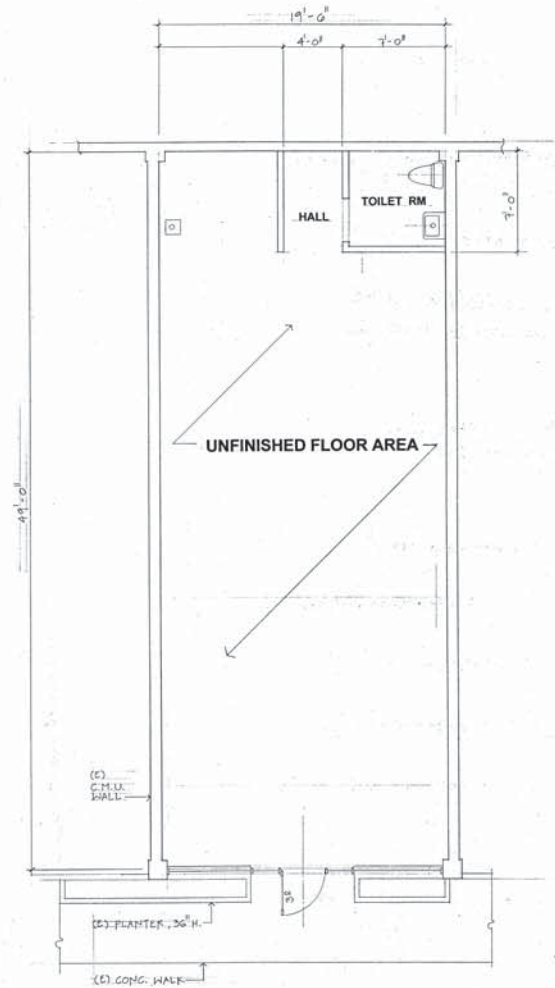
989 El Camino Real
Menlo Park, California



SOUTH ELEVATION (EXISTING STOREFRONT TO REMAIN)

1/4" = 1'-0"

NOTE!
NO EXTERIOR CHANGES ARE PROPOSED
THIS DRAWING IS FOR REFERENCE ONLY.



FLOOR PLAN (EXISTING)

1/4" = 1'-0"

0 4 6 10

Revisions: Δ 6/11/17

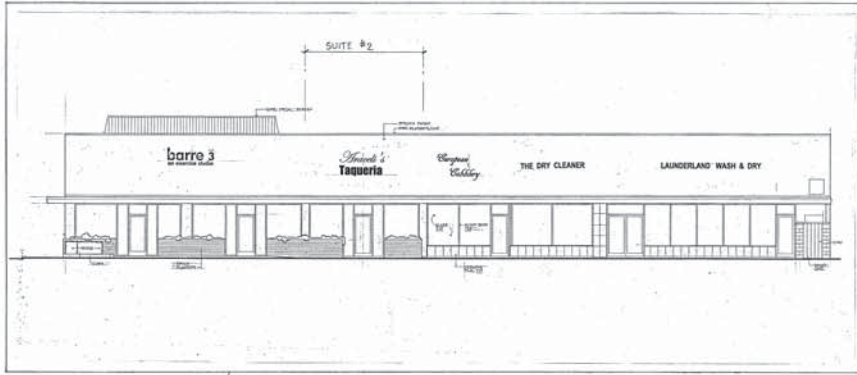
FLOOR PLAN
(EXISTING)

Date: 4-22-17

Scale: 1/4" = 1'-0"

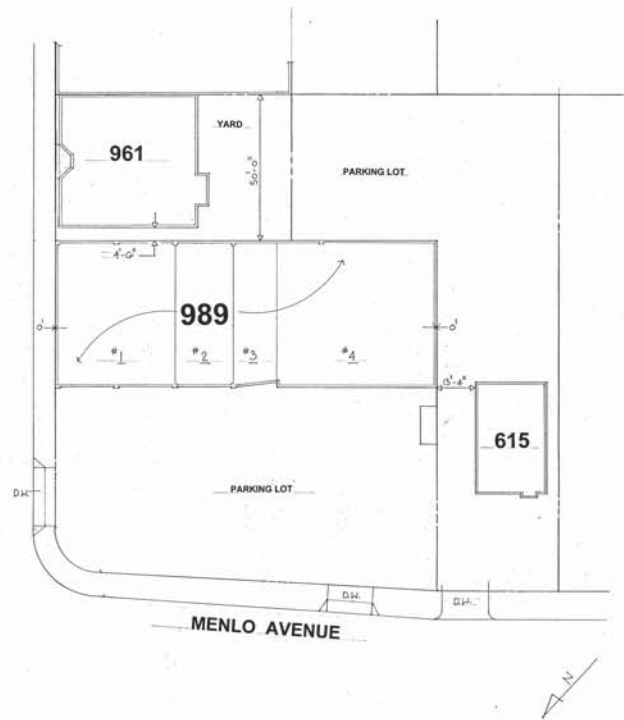
Sheet Number:

A-3

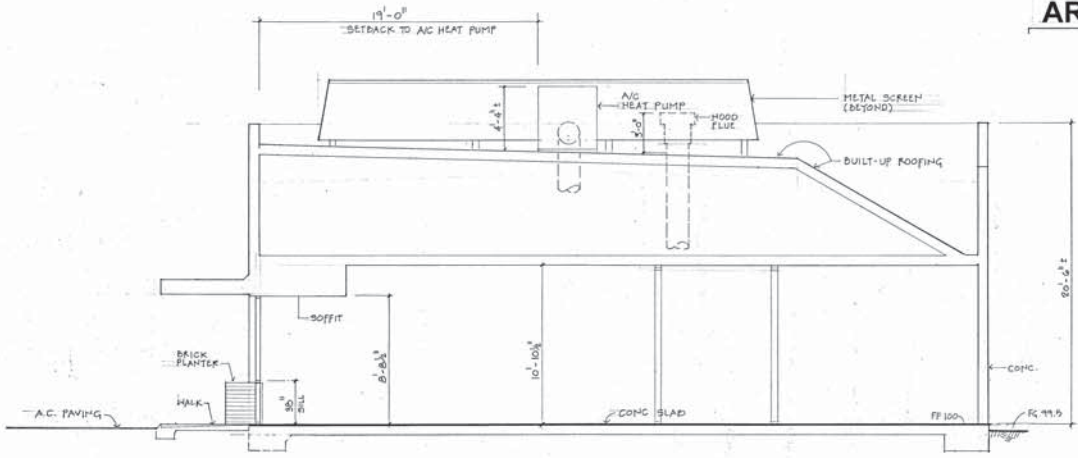


▲ STREET VIEW (LOOKING SOUTH FROM MENLO AVENUE)

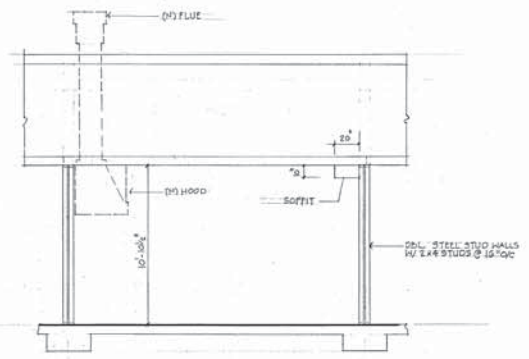
EL CAMINO REAL



AREA PLAN 989 EL CAMINO REAL 1" = 20'



SECTION A-A 1/4" = 1'-0"



SECTION B-B 1/4" = 1'-0"

Alan William Coon
 Architect
 535 Sylvan Avenue
 San Bruno, California 94066
 Phone: 650-219-7717

Project:
TAQUERIA
 989 El Camino Real
 Menlo Park, California

Revisions: 1/01/17

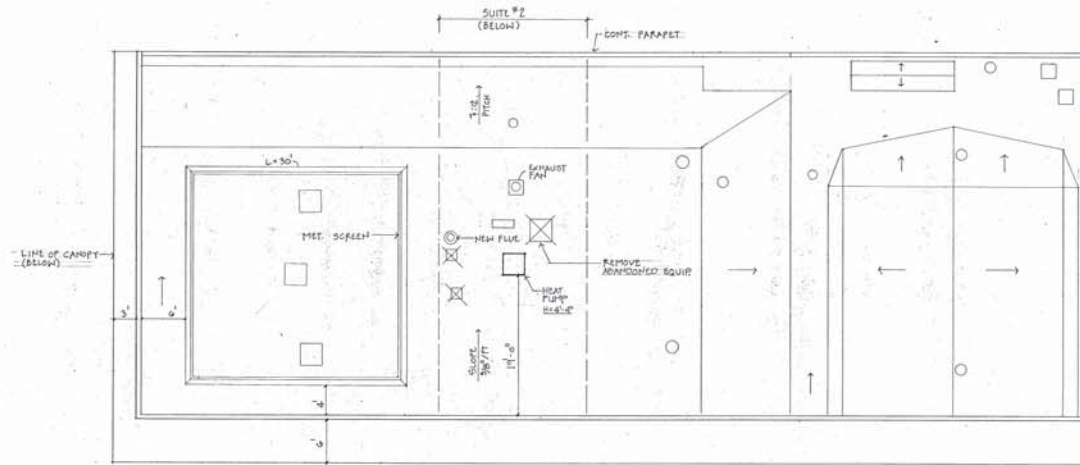
AREA PLAN
 STREET VIEW

Date: 4-22-7
 Scale: 1" = 20'
 Sheet Number:

A-4

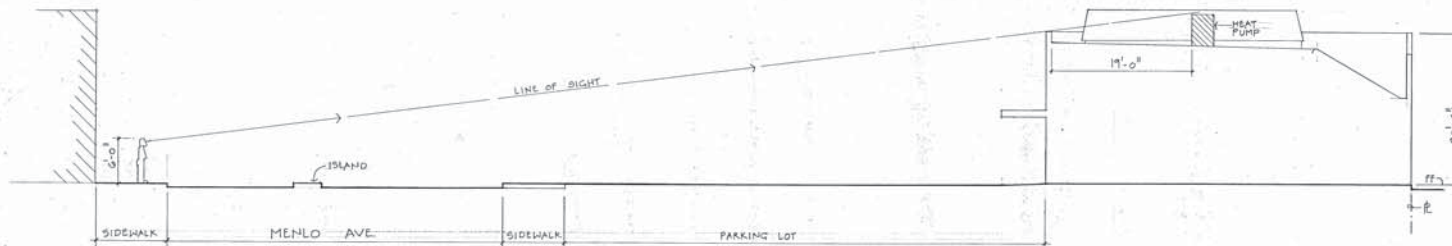
■ Alan William Coon ■
 Architect
 535 Sylvan Avenue
 San Bruno, California 94066
 Phone: 650-219-7717

Project:
TAQUERIA
 989 El Camino Real
 Menlo Park, California



ROOF PLAN

1/8" = 1'-0"



LINE OF SIGHT DIAGRAM

1/8" = 1'-0"

Revisions:

ROOF PLAN
LINE OF SIGHT DIAGRAM

Date: 6-12-17

Scale: 1/8" = 1'-0"

Sheet Number:

A-5

RECEIVED

JUN 15 2017

CITY OF MENLO PARK
BUILDING

■ Alan William Coon ■
ARCHITECT

June 12, 2017

Planning Division
City of Menlo Park
701 Laurel Street
Menlo Park, CA 94025

Re: Use Permit Application for 989 El Camino Real

Applicant: Araceli Ciprez

Address: 989 El Camino Real, Suite #2, Menlo Park

APN: 071-288-590

To whom it may concern,

The applicant, Araceli Ciprez, submits the attached Conditional Use Permit Application materials for her request to allow a change of use at the property located at 989 El Camino Real.

Background

The subject property is located within the Specific Plan—ECR Mixed Use Residential zone. This zone allows restaurant uses. As such, the applicant wants to open a small fast-food restaurant that serves Salvadorian and Mexican food. Set within Suite #2 of an existing single-story commercial building, the restaurant will occupy about 1000 square-feet of lease-hold space previously occupied by a *take-out* pizza parlor.

Project Description

The applicant proposes to locate her small restaurant at the subject property and aims to serve the surrounding mixed-use area. The project consists of interior improvements and modifications within the lease-hold space to create a new kitchen/food-prep area and seating for *no fewer* than 12 persons, but *no more* than 18 persons. ***The applicant proposes no outdoor seating.*** (See preliminary drawings, Sheet A-2).

There are no proposed changes to the *exterior* of either the lease-hold space or the main structure. The applicant will, however, apply for a permit to allow exterior signage after the city completes its use-permit review.

Araceli Ciprez intends to staff the restaurant with no more than five (5) employees including her. The employees will work in split-shifts of three (3) or two (2) persons depending on demand. And, the proposed hours of operation will be from 11:00 am to 9:00 pm.

Parking

The main building provides space for four (4) businesses including the proposed restaurant; there is no additional space for any other use. That is, the building is 100% occupied.

The parking lot has 25 parking spaces including several compact-car spaces and one (1) handicap space. The businesses comprise a fitness studio, a cobbler, a dry-clean/coin-operated laundry, and the *proposed* taqueria.

Due to the nature and off-hours operations of these businesses, the shared parking works well. Two businesses—the cobbler and the dry-cleaner—cater to customers who drop-off and pick-up items; hence, sporadic parking that results in quick turnovers. And too, the laundry causes an irregular, short-term need for parking having fast turnover rates.

The busiest hours for the taqueria are during lunch between 12:00 noon and 2:00 pm, and dinner from 6:00 pm to 8:00 pm. (The cobbler and the dry-cleaner close at 6:00 pm). The taqueria's hours have minimal impact during the busiest hours of the adjoining businesses. In particular, the fitness studio has its busiest hours in the mornings from 6:00 am to 10:45 am. The fitness studio also offers afternoon classes, but only on days Monday through Thursday. The taqueria's busiest days are Friday and Saturday. This results in *staggered* demands for available parking.

Because the restaurant intends to serve the surrounding neighborhood, it's possible some customers would walk or bicycle to the location, and too, customers who frequent the adjacent businesses may also become customers of the taqueria. What's more, it's possible some employees would commute to the site using alternative modes of transit thereby reducing parking demand.

Considering the above, the proposed restaurant fits-in with the adjacent businesses and their common need for parking.

Adjacent businesses

Araceli Ciprez has met all the adjoining business owners in person about the proposed taqueria; she has answered their questions and has received their support for the project.

With this application, we provide the following:

1. Signed Menlo Park Planning Application Form and fee deposit
2. Planning Division Data Sheet
3. Plans showing the existing conditions and proposed improvements
4. Exterior elevation of the store-front space, (See photo sheet A-2)

If you have any questions or require more information please contact me.

Sincerely,



Alan William Coon, Architect



STAFF REPORT

Planning Commission

Meeting Date: 7/17/2017

Staff Report Number: 17-048-PC

Study Session: Study Session/Jason Chang/1075 O'Brien Drive and 20 Kelly Court

Recommendation

Staff recommends that the Planning Commission review and provide feedback on the proposed demolition of an existing single-story warehouse and manufacturing building and construction of a new eight-story mixed-use building with three levels of structured parking above grade, four floors of offices, a restaurant, café with outdoor seating, and rooftop garden in the LS-B (Life Sciences-Bonus) zoning district. The parcels at 20 Kelly Court and 1075 O'Brien Drive would also be merged. The proposal also includes a request for an increase in quantities of hazardous materials to be stored on the site and a new chemical storage bunker on the east side of the existing building at 20 Kelly Court.

Policy Issues

Study sessions provide an opportunity for Planning Commissioners and the public to provide preliminary feedback on a project, with comments used to inform future consideration of the proposal.

Background

Site location

The project site is located at 1075 O'Brien Drive and 20 Kelly Court. The two sites are adjacent properties located at the northeast corner of O'Brien Drive and Kelly Court, and at the end of Kelly Court, which is a cul-de-sac accessed from O'Brien Drive. As a part of the proposed project, the two existing parcels would be merged.

For the purposes of this staff report, O'Brien Drive is considered to have an east/west orientation. Immediately west, north, and east of the project site are LS-B-zoned properties that are currently developed with office and industrial uses, such as warehousing and manufacturing facilities. The Hetch Hetchy right-of-way, which is owned by the San Francisco Public Utilities Commission (SFPUC), is located directly north of the project site. The Menlo Technology and Science Park is located to the north of the Hetch Hetchy right-of-way and is a multi-building office park owned partially occupied by Facebook. The business park also contains other general office, R&D, manufacturing, and warehousing uses. However, an application was recently submitted for the comprehensive redevelopment of the site into a mixed-use residential, commercial, and office campus. The Mid-Peninsula High School play field is approximately 60 feet from the existing building on the 20 Kelly Court parcel; however, the high school building is located approximately 600 feet away. The project site is approximately 550 feet from JobTrain, located at 1200 O'Brien Drive, which is east of the project site. The subject site is located approximately 300 feet from the nearest residences. The closest residential properties are located to the south along Alborni Street, which is located within the City of East Palo Alto (see Attachment A).

Previous approvals

In November 2012, the City Council approved a request from CS Bio, Inc. for a conditional development permit (CDP) to exceed the permitted 35-foot height within the former M-2 (General Industrial) zoning district, and to establish signage, building setbacks, required parking, to permit the outside storage of nonhazardous materials, and to allow for the use and storage of hazardous materials at the site, including a diesel generator. In conjunction with the CDP, the project site was rezoned from M-2 to M-2(X) (General Industrial, Conditional Development), the former parcels at 1 and 20 Kelly Court were merged, and one heritage tree was removed. The entitlements were associated with the modernization and expansion of the company's headquarters at 1 and 20 Kelly Court, which included the demolition of the building at 1 Kelly Court and partial demolition of the building at 20 Kelly Court, as well as construction of a 25,701-square foot addition to the existing building to remain, and use of tandem parking in the Hetch Hetchy right-of-way.

In May 2015, the applicant requested modifications to the previously-approved project plans to defer façade modifications to a single-story concrete tilt-up portion of the building on the site, defer installation of a new roof screen on the same portion of the building, and defer installation of a new trash enclosure. The applicant stated that the requested deferments were intended to allow the applicant to consider greater redevelopment of the site within the framework of the ConnectMenlo General Plan Update. The Planning Commission granted the modifications with the condition that the project return with a CDP amendment and related requests, or submit a building permit application to install the deferred façade improvements, screening, and new trash enclosure. As part of a formal application for the project being presently considered, the applicant will need to address the deferred items.

In December 2016, the City Council adopted the ConnectMenlo General Plan Update and three new zoning districts for consistency with the new Bayfront (M-2 Area) land use designations in the Land Use Element. Each district includes development regulations, design standards, transportation demand management, and green and sustainable building requirements. As a result of the Council's action, LS-B became the new zoning designation for the project site. The "B" in LS-B indicates that an LS-zoned parcel is eligible for bonus level development, as described in the following sections.

Analysis

The applicant is proposing to merge the existing lots at 20 Kelly Court and 1075 O'Brien Drive and demolish the existing single-story warehouse and manufacturing building along the O'Brien Drive frontage of the project site. A new eight-story, mixed-use building with three levels of structured parking above grade, four floors of offices above the garage, a restaurant on the eighth floor, and a deck and garden on the building roof would be constructed, with approximately 91,000 square feet of gross floor area (GFA). A coffee bar with outdoor seating would be located at the first floor level of the new building along the O'Brien Drive frontage of the project site. A chemical storage bunker would also be added on the east side of the existing building at 20 Kelly Court.

The project would be developed near the maximum permitted FAR and height for a bonus level development, with potential community amenities described below. The LS-B zoning district allows a development to seek an increase in floor area ratio (FAR) and/or height subject to obtaining a use permit or conditional development permit and providing one or more community amenities. The bonus level development regulations allow a FAR up to 125 percent plus 10 percent commercial, versus the base level FAR of 55 percent plus 10 percent commercial. (The LS zoning regulations define commercial uses to include retail sales establishments, certain personal services, privately-operated recreational facilities, and other uses, but exclude office, light industrial, and research and development uses.) A bonus level development may also seek an average height up to 67.5 feet (with a maximum height of 110 feet for any

single building on a multi-building development site), versus the base level height of 35 feet. Additionally, because the property is located with the flood zone, the LS zoning regulations permit a 10-foot increase in height and maximum height. The proposal would require a use permit and architectural control approval by the Planning Commission. Project plans are included as Attachment B.

Community amenities

As mentioned in the previous section, the LS-B zoning district permits bonus level development, subject to providing one or more community amenities. As part of the ConnectMenlo process, a list of community amenities was generated based on public input and adopted through a resolution of the City Council (Attachment C). Community amenities are intended to address identified community needs that result from the effect of the increased development intensity on the surrounding community.

An applicant requesting bonus level development must provide the City with a proposal indicating the specific amount of bonus development sought and the value of the amenity. The value of the amenity to be provided must equal 50 percent of the fair market value of the additional GFA of the bonus level development. The applicant must provide an appraisal performed by a licensed appraisal firm that sets a fair market value of the GFA of the bonus level of development. The City is in the process of developing more specific appraisal instructions, and staff and the applicant will continue to work together through the process as the project plans are refined.

In exchange for a FAR of approximately 124 percent and an average height near or at the maximum 67.5 feet permitted, the applicant is considering offering one or more of the following amenities on or in close proximity to the project site:

- An eighth-floor restaurant, nearly 17,000 square feet of gross floor area (GFA) in size, which may also offer food service in an outdoor seating area on the rooftop deck;
- A coffee bar along the O'Brien Drive frontage of the property, approximately 1,000 square feet of GFA in size, which would also have outdoor seating and may be operated in conjunction with the eighth-floor restaurant;
- A basketball court on the SFPUC-owned parcel adjacent to the rear property line of the project, which would only be feasible with a long-term lease agreement between the applicant and SFPUC; and/or
- A vocational program, the details of which have not been defined at this time.

The applicant's proposal for community amenities will be subject to review by the Planning Commission in conjunction with a formal use permit application or an additional study session, if warranted.

Design standards

In the LS zoning district, all new construction and building additions of 10,000 square feet of GFA or more must meet design standards subject to architectural control review. The design standards regulate the siting and placement of buildings, landscaping, parking, and other features in relation to the street; building mass, bulk, size, and vertical building planes; ground floor exterior facades of buildings; open space, including publicly accessible open space; development of paseos to enhance pedestrian and bicycle connections between parcels and public streets in the vicinity; building design, materials, screening, and rooflines; and site access and parking.

The design of the proposed building would feature a modern aesthetic, with concrete and stucco building materials and large expanses of glass. The stair and elevator tower at the front of the building would serve as a focal point of the design. Along the O'Brien Drive frontage, the stair and elevator tower and the coffee bar and seating area would screen portions of the three-level parking structure at the base of the building. In

areas with openings where the parking would be visible, especially along the sides of the building, the applicant proposes metal screen trellises attached to the walls with climbing green plants to reduce visibility of the parking areas. The rectangular massing of the building above the third floor would be broken up by balconies on various sides of the building at the fourth through eighth floors.

The applicant proposes to meet the minimum public open space requirement of 10 percent of the lot area by providing pedestrian plazas in front of the existing 20 Kelly Court building and proposed 1075 O'Brien Drive building. In addition, the plans show the required 10-foot setbacks on either side of the proposed building would be furnished with benches and resting areas and counted toward the public open space requirement for the project site.

Vehicles would access the new building from an entrance near the end of Kelly Court, while pedestrians would have a separate entrance via a stair and elevator tower off of Kelly Court near the O'Brien Drive intersection. A second stair and elevator tower would be located at the rear northeast corner of the building, adjacent to the proposed open space and path to the rear of the site.

With regard to the overall design/style and the application of certain requirements and design standards, staff has had some concerns during the preliminary review. Although the applicant has provided revisions to address such comments, additional refinements may be needed as the review proceeds. The Planning Commission may wish to provide additional feedback before the project advances to the full submittal stage.

Green and sustainable building

In the LS zoning district, projects are required to meet green and sustainable building regulations. The proposed building will be required to meet 100 percent of its energy demand through any combination of on-site energy generation, purchase of 100 percent renewable electricity, and/or purchase of certified renewable energy credits. Additionally, as currently proposed, the new building will need to be designed to meet LEED Silver BD+C, pre-wire five percent of the total required parking stalls for EV chargers, and incorporate bird-friendly design in the placement of the building and the use of exterior glazing. Other green building requirements, including water use efficiency, placement of new buildings 24 inches above the Federal Emergency Management Agency base flood elevation (BFE) to account for sea level rise, and waste management planning, would also apply to the project. Details regarding how the proposed building would meet the green and sustainable building requirements would be provided with a formal application submittal.

Planning Commission considerations

The following comments/questions are suggested by staff to guide the Commission's discussion, although Commissioners should feel free to explore other topics of interest.

- **Modulation.** A minimum recess of 15 feet wide by 10 feet deep for every 200 feet of façade length is required for bonus level development in the LS zoning district. Under the current proposal, the applicant has placed the proposed modulation at the far northwest corner of the Kelly Court building façade. The resulting effect is more of a notch in the building corner than a true recess. The City has discussed this topic with the applicant, and there may be options to better integrate the modulation into the western building façade for more balance and visual interest.
- **Height.** The applicant has calculated the mean height of all buildings on the site (the sum of the heights of the three buildings divided by three) to arrive at an average height of 58.7 feet, less than the 67.5 feet maximum permitted. However, the average height must be calculated using a weighted average, taking

into account each building's GFA as a portion of the total GFA on the site. Under a weighted average, the average height of buildings on the site would be approximately 88 feet, roughly 20.5 feet taller than the maximum permitted height. As a result, the maximum height of the proposed building will need to be reduced as part of a formal submittal.

- **Ground Floor Transparency.** The LS zoning district requires 40 percent ground floor transparency along the O'Brien Drive frontage of the building, and 25 percent ground floor transparency along the Kelly Court frontage. The coffee bar, as a commercial space, requires 50 percent ground floor transparency. For portions of the parking structure visible at the ground floor, the applicant has proposed metal trellises covered with greenery to screen parked vehicles from view, as required by the design standards included in the LS zoning district. Given that there are competing requirements for ground floor transparency and screening of parking areas, is the applicant's proposal for this particular project an acceptable compromise? Should other methods be explored to screen the parking? Should the applicant explore locating the parking further within the interior of the site (behind a building), above the offices, or underground?
- **Public Open Space.** Are the 10-foot required side setbacks along the length of the proposed building suitable to serve as public open space? According to the LS zoning regulations, publicly accessible open space must contain site furnishings, art, or landscaping; be on the ground floor; be at least partially visible from a public right-of-way; and have a direct, accessible pedestrian connection to a public right-of-way. The plans note that site furnishings with benches and resting areas would be provided to help activate the setback areas. However, from a practical sense, it is uncertain whether the public would recognize the long, narrow setback areas as public open spaces or use them accordingly, especially near the rear east side of the building, adjacent to an existing drainage channel.
- **Tandem Parking.** As part of the CDP for the previous project at 20 Kelly Court, 42 tandem parking stalls on the Hetch Hetchy right-of-way were permitted. However, as part of the proposed project, the applicant wishes to expand the area of tandem parking by an additional 42 stalls. Required parking for the project is 199 spaces, which would be met without increasing the intensity of tandem parking on the Hetch Hetchy right-of-way. As such, is the request for additional tandem parking on an adjacent parcel under different ownership appropriate for this project?
- Is the overall aesthetic approach consistent with the Planning Commission's expectations for the new LS zoning district?
- Does the design feature good proportion, balance, and materials, or do certain elements need more attention?

Correspondence

Staff has received three items of correspondence regarding the project (Attachment C). An email from SFPUC staff indicates that the applicant must submit the project for review by the SFPUC Project Review Committee for any proposed activities on the SFPUC parcel. The SFPUC also requests that any project requirements, such as parking, open space, and/or community amenities, be satisfied outside of the SFPUC right-of-way. As part of a future application for project entitlements, the applicant would work with SFPUC to determine if there is any flexibility to secure a long-term lease for the basketball court as a potential community amenity.

An email from Romain Taniere, a resident of East Palo Alto, requests that the project provide ADA

compliant sidewalks and crossings along the site frontages on O'Brien Drive and Kelly Court. In the current conceptual site plan, pedestrian paths and open spaces would be provided around the east, north, and west sides of the proposed building, and along the front of the existing building at 20 Kelly Court. These paths and open spaces would be designed to meet ADA requirements.

A second email from Romain Taniere requests that as part of Facebook's proposed redevelopment of the Menlo Technology and Science Park, tentatively referred to as the Willow Campus, pedestrian and/or vehicular connections be established between the subject project site and the Willow Campus.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

Study sessions do not require analysis under the California Environmental Quality Act (CEQA). If the project moves forward with a full application, environmental review will be required.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 1,320-foot radius of the subject property.

Attachments

- A. Location Map
- B. Project Plans
- C. Community Amenities List
- D. Correspondence

Disclaimer

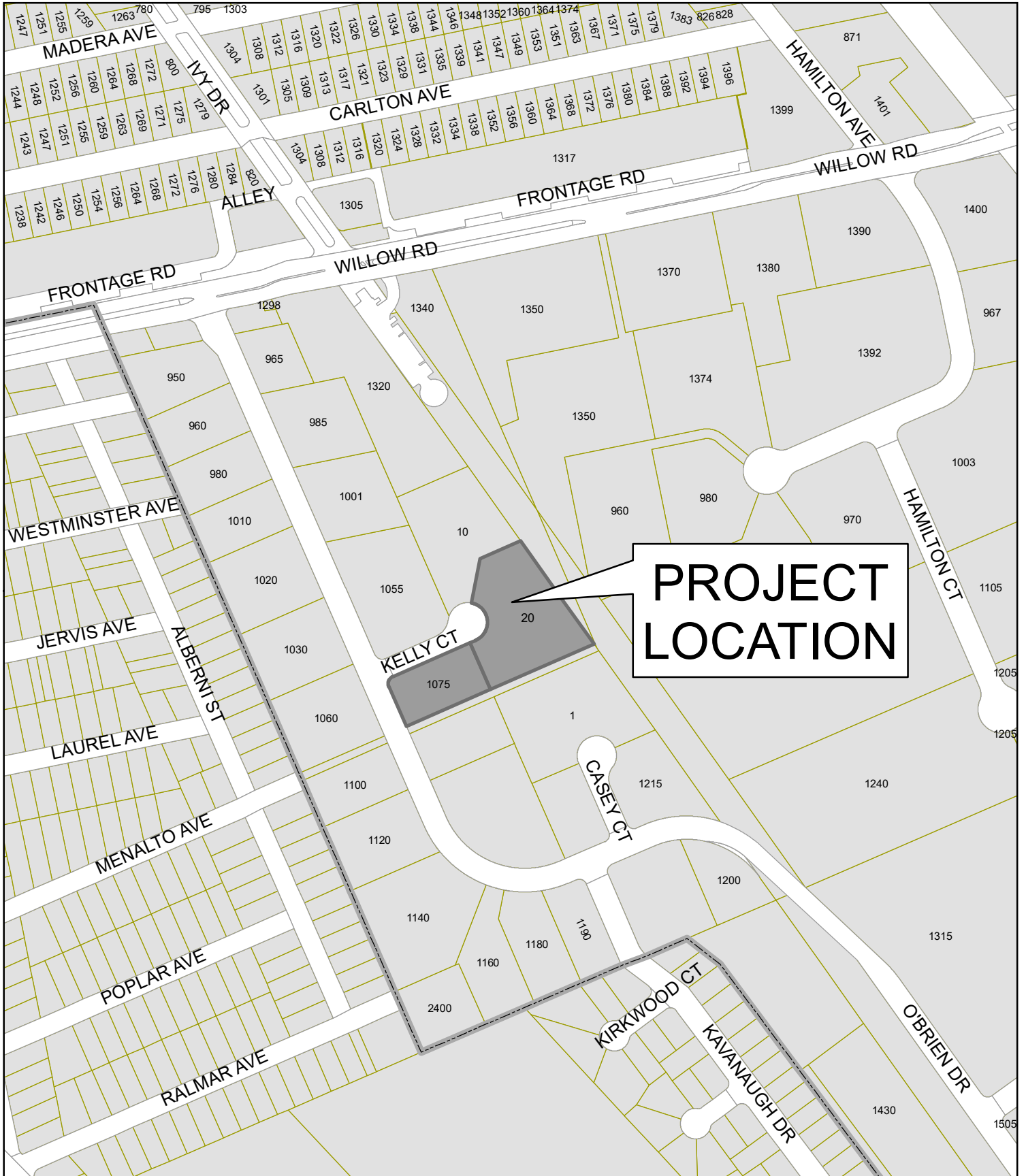
Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:
Tom Smith, Associate Planner

Report reviewed by:
Deanna Chow, Principal Planner



**PROJECT
LOCATION**

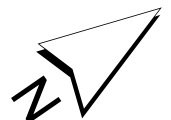


CITY OF MENLO PARK

LOCATION MAP

1075 O'BRIEN DRIVE & 20 KELLY COURT

DRAWN: TAS CHECKED: THR DATE: 07/17/17 SCALE: 1" = 300' SHEET: 1



CS BIO EXPANSION

SHEET INDEX

- G1 COVER
- AR1 3D Building Massing Studies
- AR2 3D Building Massing Studies
- AR3 3D Building Massing Studies
- A1 (E) VICINITY MAP
- A2 AREA PERSPECTIVE
- A3 TOPOGRAPHIC SURVEY 1
- A4 TOPOGRAPHIC SURVEY 2
- A5 SITE PLAN NOTES, DIMENSIONS AND SETBACKS
- A6 SITE PLAN OPEN SPACE AND ACCESS ANALYSIS
- A7 PROPOSED ENLARGED SITE PLAN
- A8 SITE AND BUILDING COVERAGE CALCULATION PLAN
- A9 FLOOR PLANS AND SECTION
- A10 INSPIRATION IMAGERY



KELLY COURT

EXISTING BUILDING

O'BRIEN DRIVE

CS BIO EXPANSION
1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET

COVER



02 / 2017 - DEVELOPMENT REVIEW TEAM - PRELIMINARY
04 / 13 / 2017 - PRT SUBMITTAL
04 / 21 / 2017 - STUDY SESSION SUBMITTAL
06 / 19 / 2017 - STUDY SESSION SUBMITTAL # 1

G1



20 KELLY CT.
EXISTING
BUILDING

1035 O'BRIEN
EXISTING
BUILDING



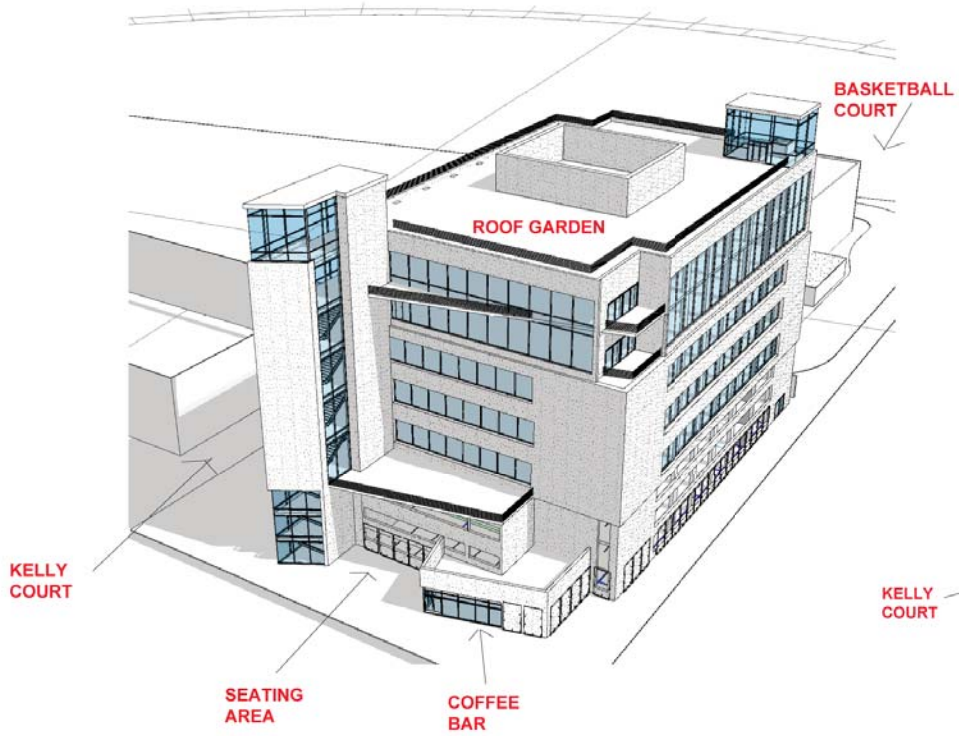
PARKING
ACCESS

PEDESTRIAN
ACCESS

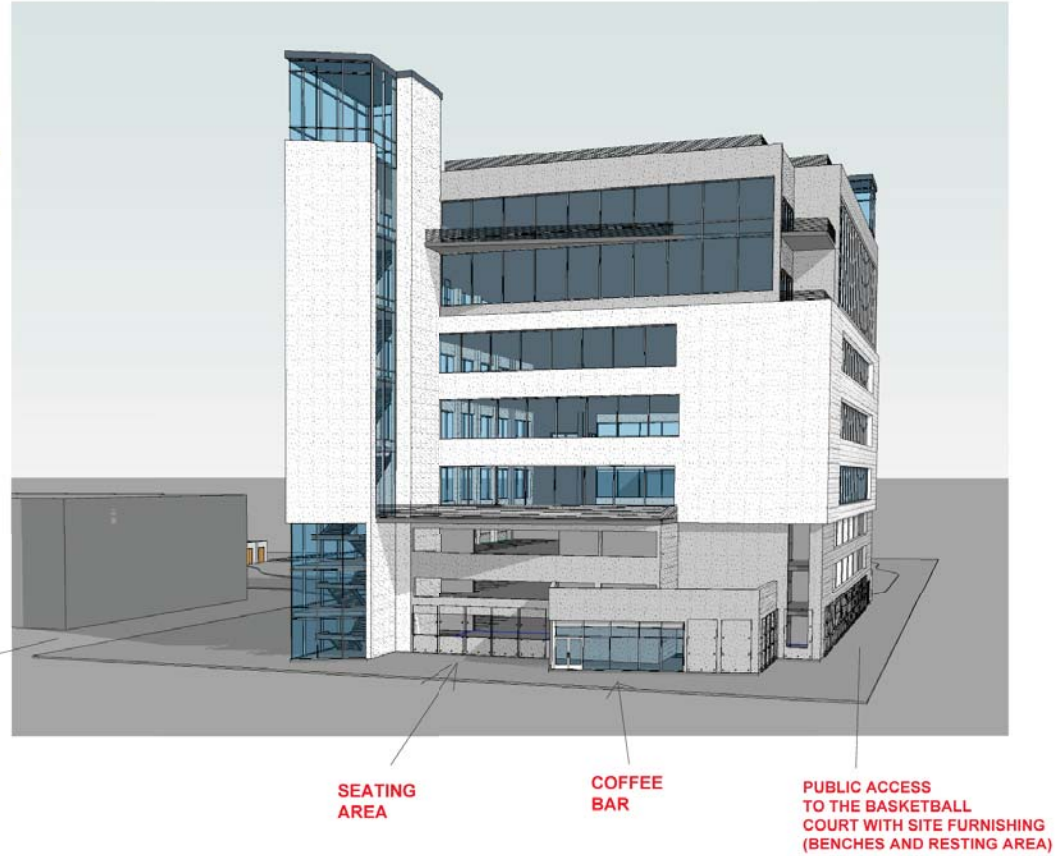
KELLY COURT

O'BRIEN DRIVE

1 3D Perspective - Across O'Brien Street Looking East



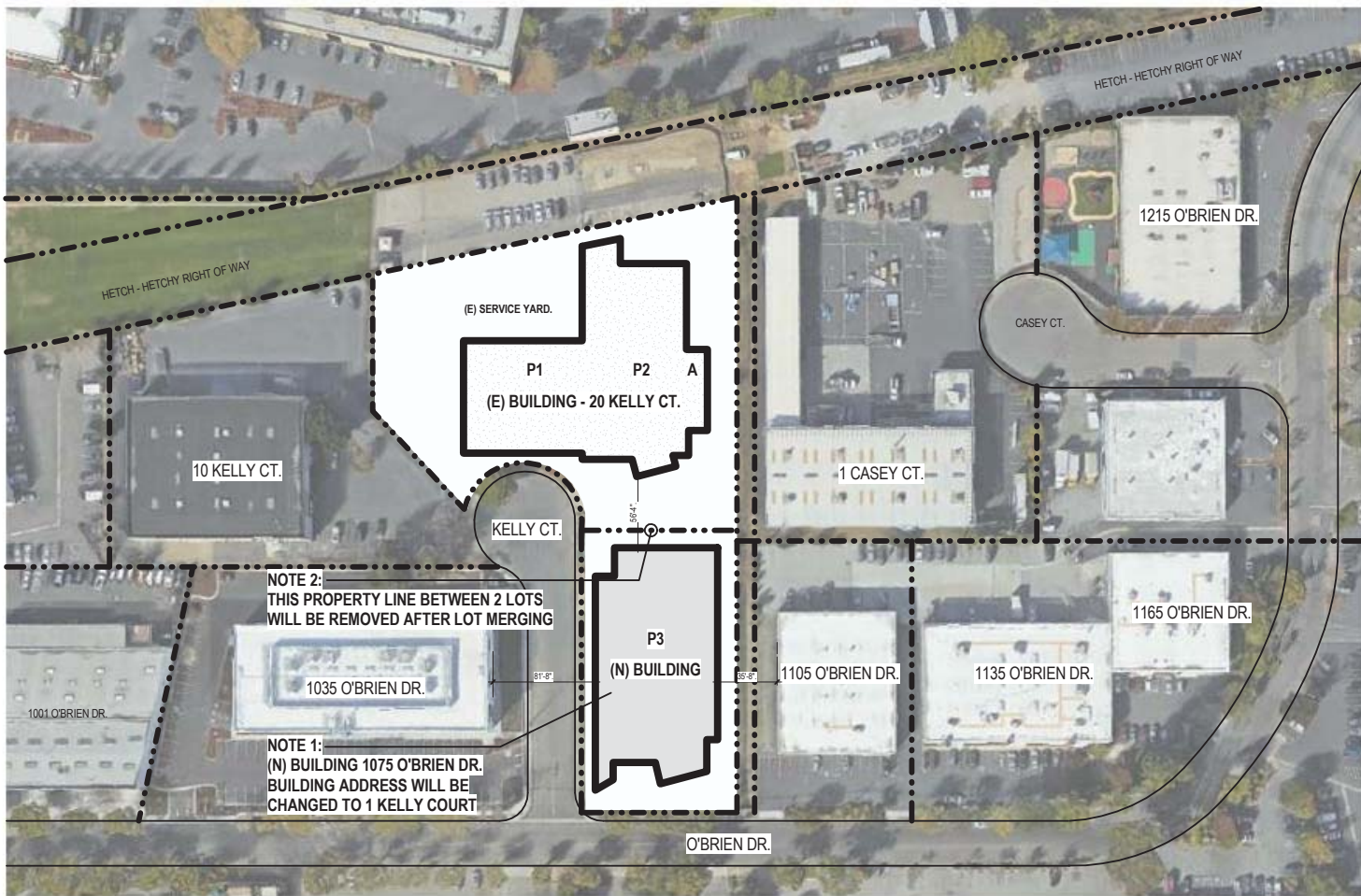
1 3D Perspective - Bird view



2 3D Perspective - Across O'Brien Street Looking North



2 3D Perspective - Seating Plaza Close up



LEGEND

	PROPERTY LINE
	BUILDING FOOTPRINT

1 VICINITY MAP
06-11-17



CS BIO EXPANSION
 1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
 DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET

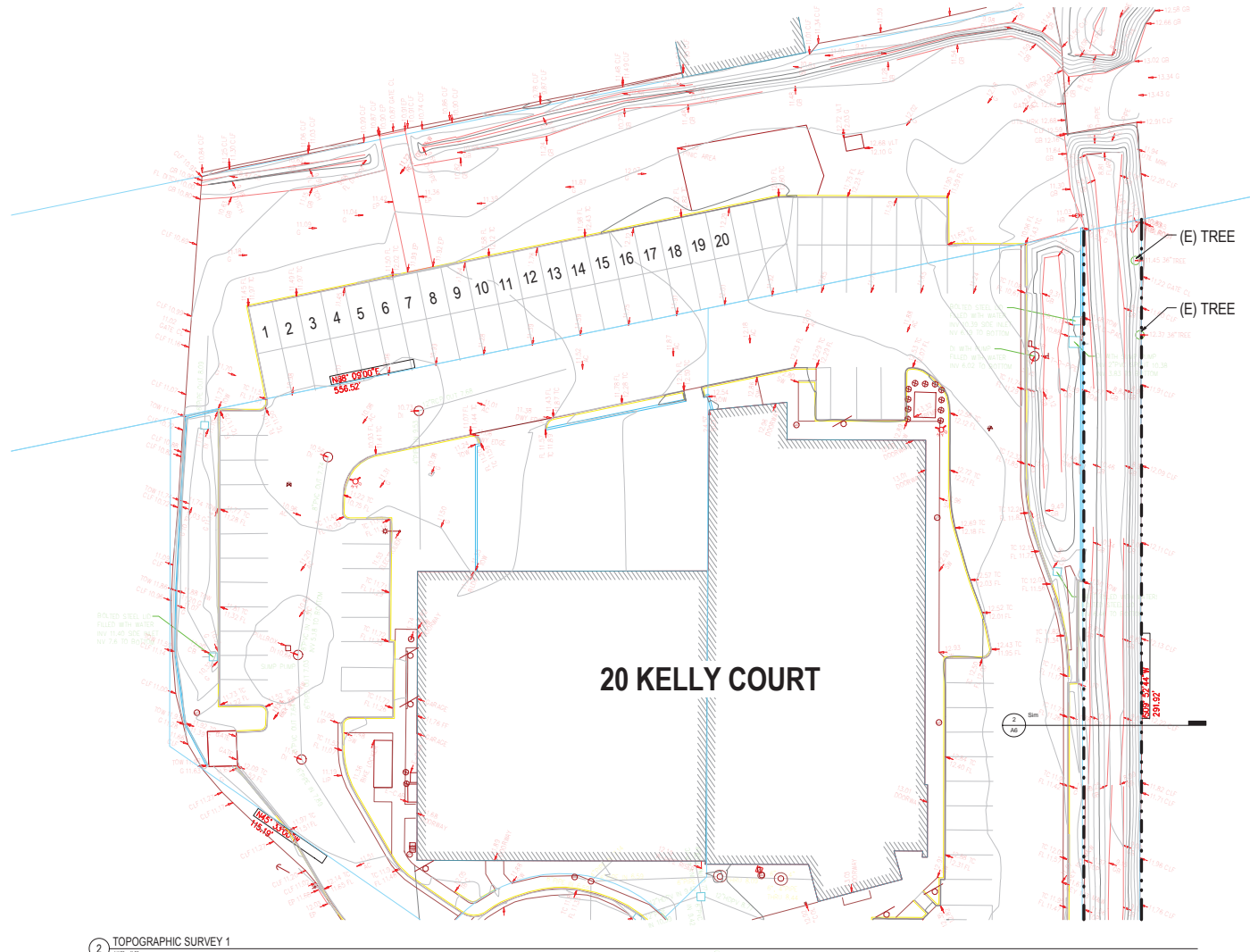
AREA PERSPECTIVE



02 / 2017 DEVELOPMENT REVIEW TEAM - PRELIMINARY
 04 / 13 / 2017 - DRT SUBMITTAL
 04 / 12 / 2017 - STUDY SESSION SUBMITTAL
 06 / 19 / 2017 - STUDY SESSION SUBMITTAL # 1

A2





04/20/2016 10:07 AM C:\Users\jacob\Documents\CS Bio\AutoCAD\dwg\dwg\topo\topo1.dwg

CS BIO EXPANSION
 1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
 DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET

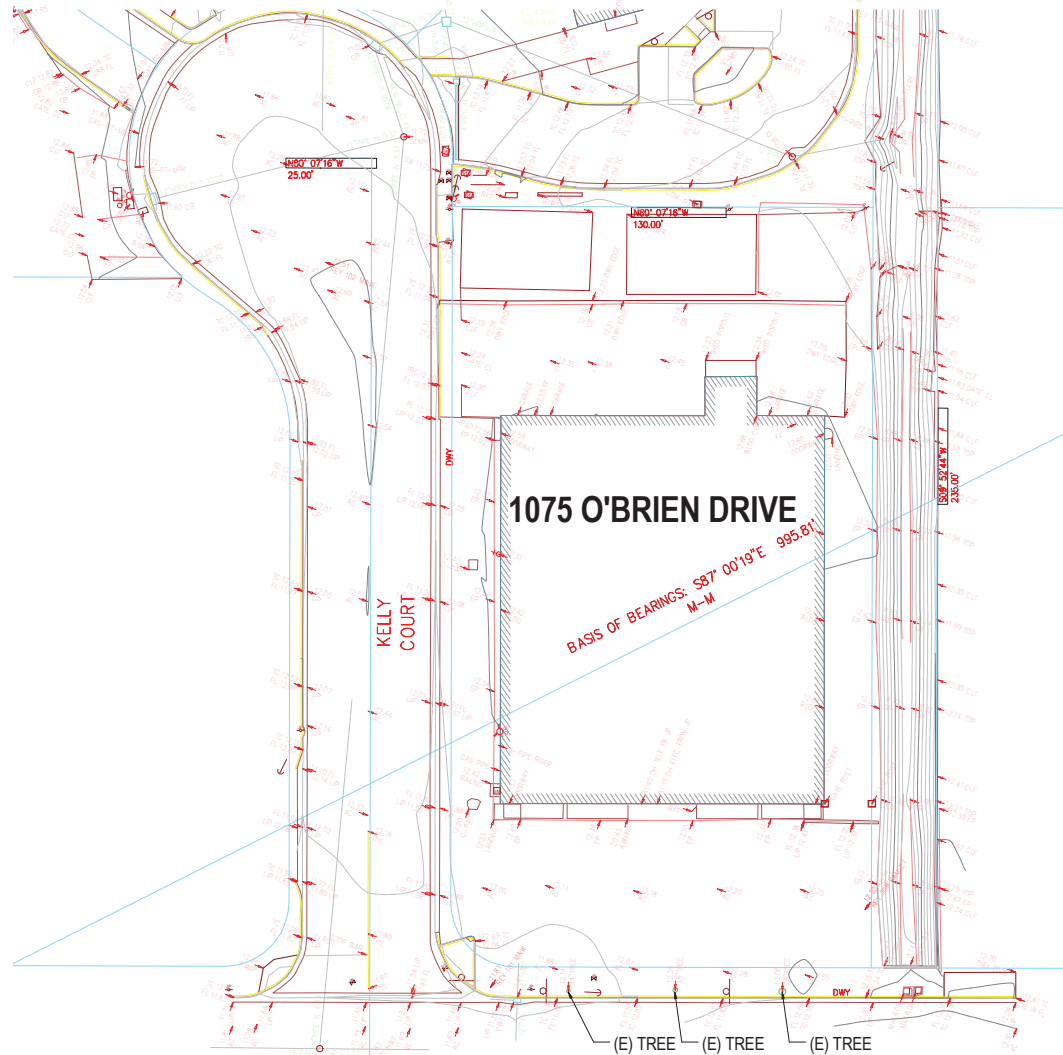
TOPOGRAPHIC SURVEY 1



01/17 DEVELOPMENT REVIEW TEAM - PRELIMINARY
 04/13/17 - DRT SUBMITTAL
 04/21/17 - STUDY SESSION SUBMITTAL
 06/16/17 - STUDY SESSION RESUBMITTAL

A3





1 TOPOGRAPHIC SURVEY 2
1/16" = 1' = 0"

01/20/2016 09:20:24 AM C:\Users\jacob\Documents\CS Bio\1075_O'Brien\1075_O'Brien.dwg

CS BIO EXPANSION
 1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
 DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET

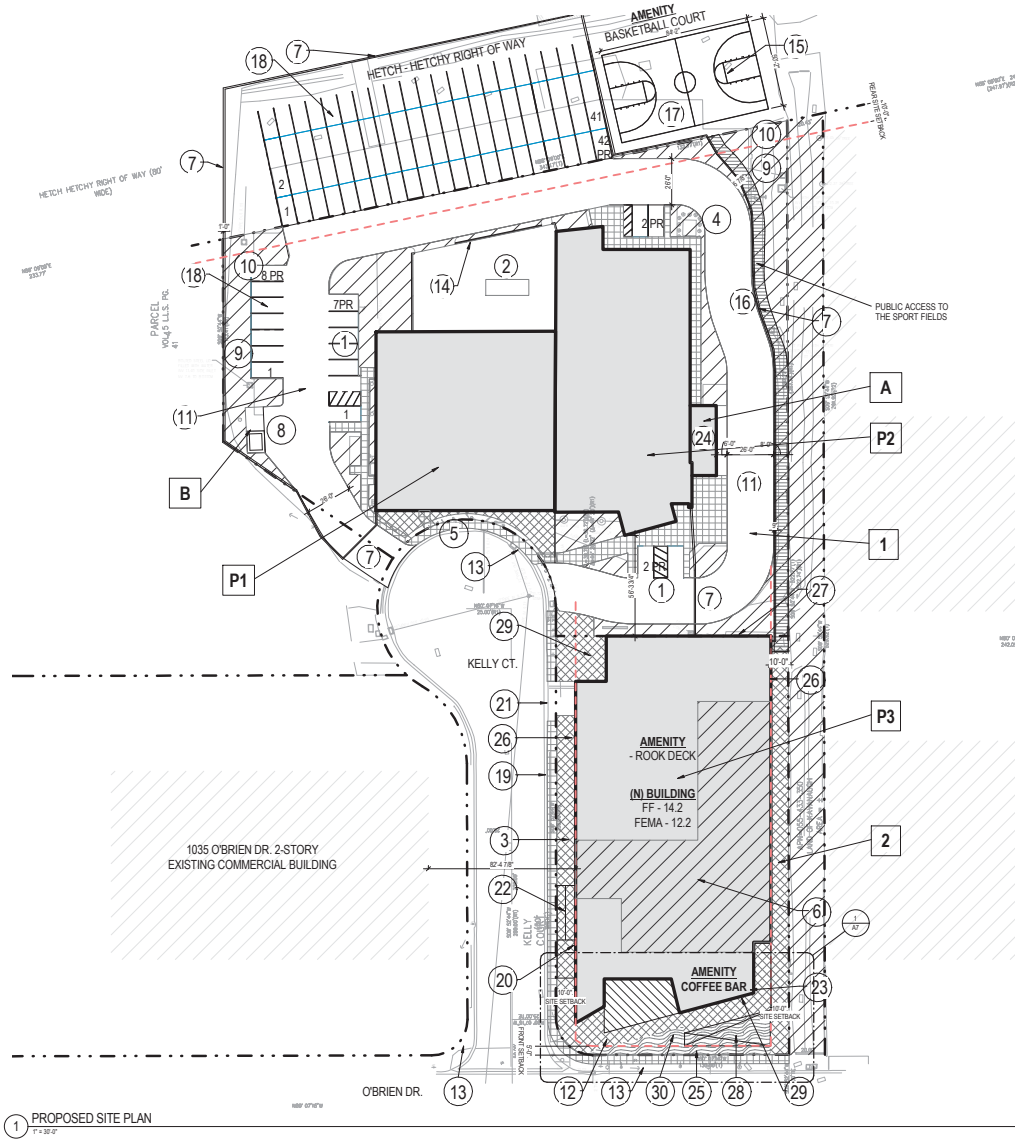
TOPOGRAPHIC SURVEY 2



01/17 DEVELOPMENT REVIEW TEAM - PRELIMINARY
 04/13/17 - DRT SUBMITTAL
 04/21/17 - STUDY SESSION SUBMITTAL
 06/16/17 - STUDY SESSION RESUBMITTAL

A4





1 PROPOSED SITE PLAN
1" = 1/32"'

LEGEND

---	PROPERTY LINE	[Grid Pattern]	PAVED WALKWAY / CURBS (PART OF 20% OPEN SPACE)
---	PATH OF TRAVEL	[Wavy Pattern]	LANDSCAPING AT FRONTAGE
---	BUILDING SETBACKS	[Diagonal Lines]	PATH TO SPORTS FIELD (PART OF 10% PUBLIC OPEN SPACE)
[Solid Grey]	BUILDING	[Dotted Pattern]	SPORTS FIELD
[Diagonal Lines]	OPEN SPACE (20%)	[Blue Arrow]	ENTRY
[Cross-hatch]	PUBLIC OPEN SPACE (10%)	[X PR]	SUBTOTAL OF PARKING SPACES

STRUCTURES

P1	(E) 20 KELLY COURT
P2	(E) 20 KELLY COURT
P3	(N) 1075 O'BRIEN - ADDRESS CHANGED TO 1 KELLY COURT - GARAGE, OFFICE AND RESTAURANT
A	(N) BUNKER AT (E) 20 KELLY COURT
B	(E) AND (N) TRASH ENCLOSURE

SITE

1	20 KELLY COURT
2	1075 O'BRIEN - ADDRESS CHANGED TO 1 KELLY COURT.

NOTE: 20 KELLY COURT AND 1075 O'BRIEN SITES WILL BE MERGED. EXISTING 1075 O'BRIEN BUILDING ADDRESS WILL BE CHANGED TO 1 KELLY COURT.

SITE PLAN NOTES (X)

- 1 (E) AND (N) HANDICAP PARKING AT BUILDING ENTRANCES
- 2 (E) OUTDOOR FIRE-RATED CHEMICAL STORAGE UNIT
- 3 (N) GREEN SCREEN
- 4 (E) TRANSFORMER AND FH
- 5 (E) ENTRY PLAZA AND LANDSCAPING
- 6 (N) ROOF GARDEN
- 7 (N) STEEL ENTRY GATE AND FENCE (BOTH VEHICLES AND PEDESTRIANS), BLACK POWDER COAT FINISH, 6'-0" HT.
- 8 (E) AND (N) TRASH ENCLOSURE
- 9 (E) STORMWATER TREATMENT AREA
- 10 LANDSCAPED AREAS
- 11 28' DRIVEWAY
- 12 LANDSCAPED FRONTAGE
- 13 (E) PUBLIC SIDEWALK
- 14 (E) SCREENED SERVICE YARD AND OUTDOOR STORAGE OF MATERIAL AND EQUIPMENT
- 15 NEW BASKETBALL COURT (PROPOSED AMENITY)
- 16 (E) SITE TO BE REVISED TO ACCOMMODATE ACCESS TO THE SPORTS FIELDS
- 17 (E) PARKING REMOVED (FOR SPORTS COURT OPTION)
- 18 (E) AND (N) PARKING (TANDEM WITH VALET SERVICE)
- 19 (N) PUBLIC SIDEWALK
- 20 MAIN PEDESTRIAN ACCESS TO THE BUILDING P3
- 21 GARAGE ENTRY FROM KELLY COURT
- 22 NEW ADA RAMP TO THE FIRST FLOOR
- 23 NEW COFFEE BAR ACCESSIBLE FROM O'BRIEN (AMENITY OPTION)
- 24 (N) OUTDOOR FIRE RATED CHEMICAL STORAGE UNIT.
- 25 LS ZONING - 5' FRONT SETBACK
- 26 LS ZONING - 10' SIDE SETBACK
- 27 PROPERTY LINE TO BE REMOVED WITH LOT MERGER
- 28 LS ZONING - 25% MIN FRONTAGE (50% FOR SITE INFILTRATION)
- 29 LS ZONING - BUILDING MODULATION, 10'X15' MIN RECESS AT PUBLIC FRONTAGE
- 30 (N) FLOW - THROUGH PLANTER WITH LANDSCAPING

GENERAL SHEET NOTES:
 1) SEE SHEET A 8 FOR SITE AND BUILDING COVERAGE CALCULATIONS
 2) SEE SHEET A 6 FOR SITE AND ACCESS ANALYSIS



CS BIO EXPANSION
 1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
 DES PROJECT NUMBER: 9859.007

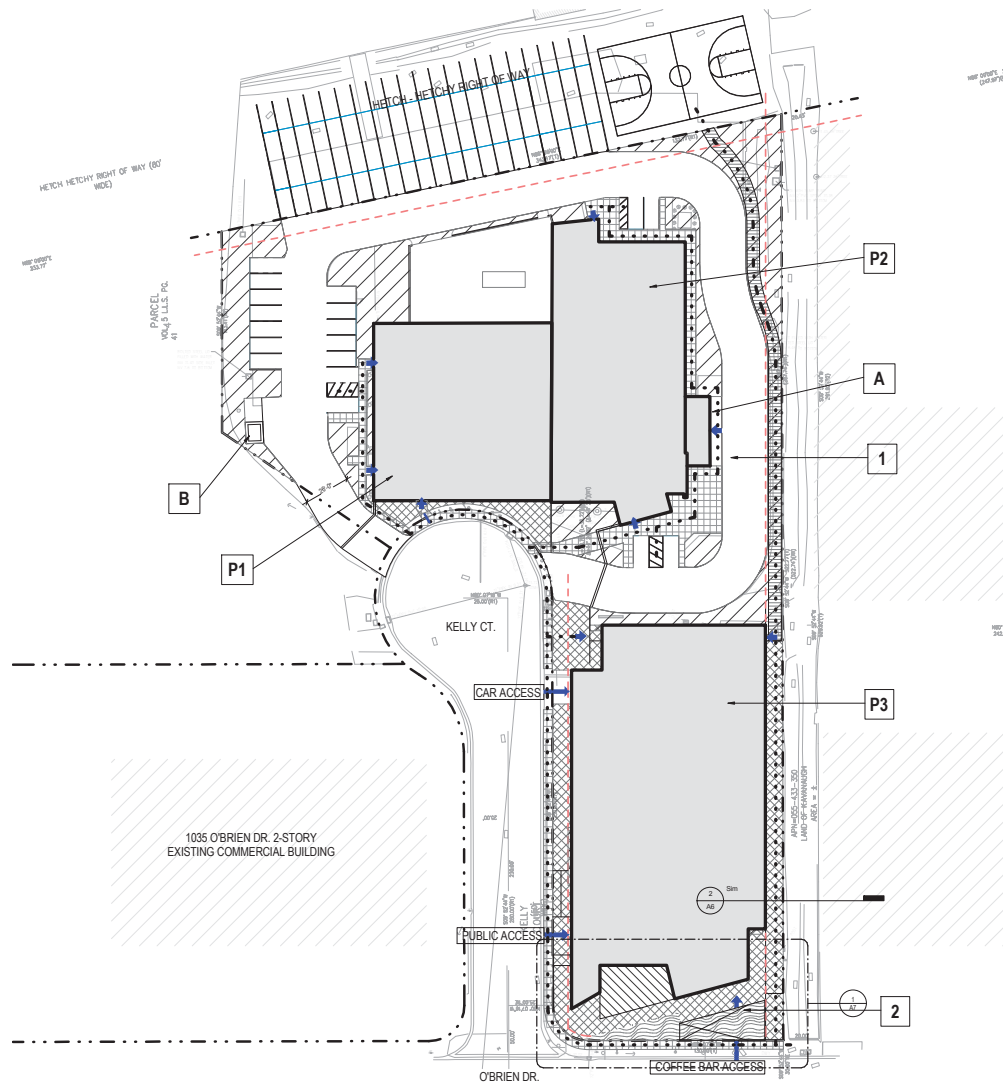
SITE PLAN NOTES, DIMENSIONS AND SETBACKS



02/17 DEVELOPMENT REVIEW TEAM - PRELIMINARY
 04/31/17 - DRI SUBMITTAL
 04/21/17 - STUDY SESSION SUBMITTAL
 06/19/17 - STUDY SESSION RESUBMITTAL

A5





1 PROPOSED SITE PLAN
1"=30'

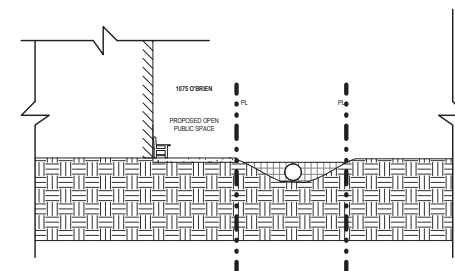
LEGEND			
---	PROPERTY LINE	[Hatched]	PAVED WALKWAY/ CURBS (PART OF 20% OPEN SPACE)
---	PATH OF TRAVEL	[Hatched]	LANDSCAPING AT FRONTAGE
---	BUILDING SETBACKS	[Hatched]	PATH TO SPORTS FIELD (PART OF 10% PUBLIC OPEN SPACE)
[Solid Grey]	BUILDING	[Dotted]	SPORTS FIELD
[Diagonal Lines]	OPEN SPACE (20% TOTAL WITH PUBLIC OPEN SPACE)	[Blue Arrow]	ENTRY
[Cross-hatched]	PUBLIC OPEN SPACE (10%)	X PR	SUBTOTAL OF PARKING SPACES

STRUCTURES	SITE
P1 (E) 20 KELLY COURT	1 20 KELLY COURT
P2 (E) 20 KELLY COURT	2 1075 O'BRIEN ADDRESS CHANGED TO 1 KELLY COURT.
A (N) BUNKER AT (E) 20 KELLY COURT	
P3 (N) 1075 ADDRESS - CHANGED TO 1 KELLY COURT - GARAGE, OFFICE AND RESTAURANT	
B (E) AND (N) TRASH ENCLOSURE	

NOTE: 20 KELLY COURT AND 1075 O'BRIEN SITES WILL BE MERGED. EXISTING 1075 O'BRIEN BUILDING ADDRESS WILL BE CHANGED TO 1 KELLY COURT.

NOTES

- GENERAL SHEET NOTES:
- 1) SEE SHEET A 8 FOR SITE AND BUILDING COVERAGE CALCULATIONS
 - 2) SEE SHEET A 5 FOR SITE PLAN NOTES, DIMENSIONS AND SETBACKS
 - 3) PUBLIC OPEN SPACE WITH SEATING AREAS W/ BENCHES AND OTHER SITE FURNISHING, SEE SHEET A7.



2 SECTION OF
1/8"=1'-0"



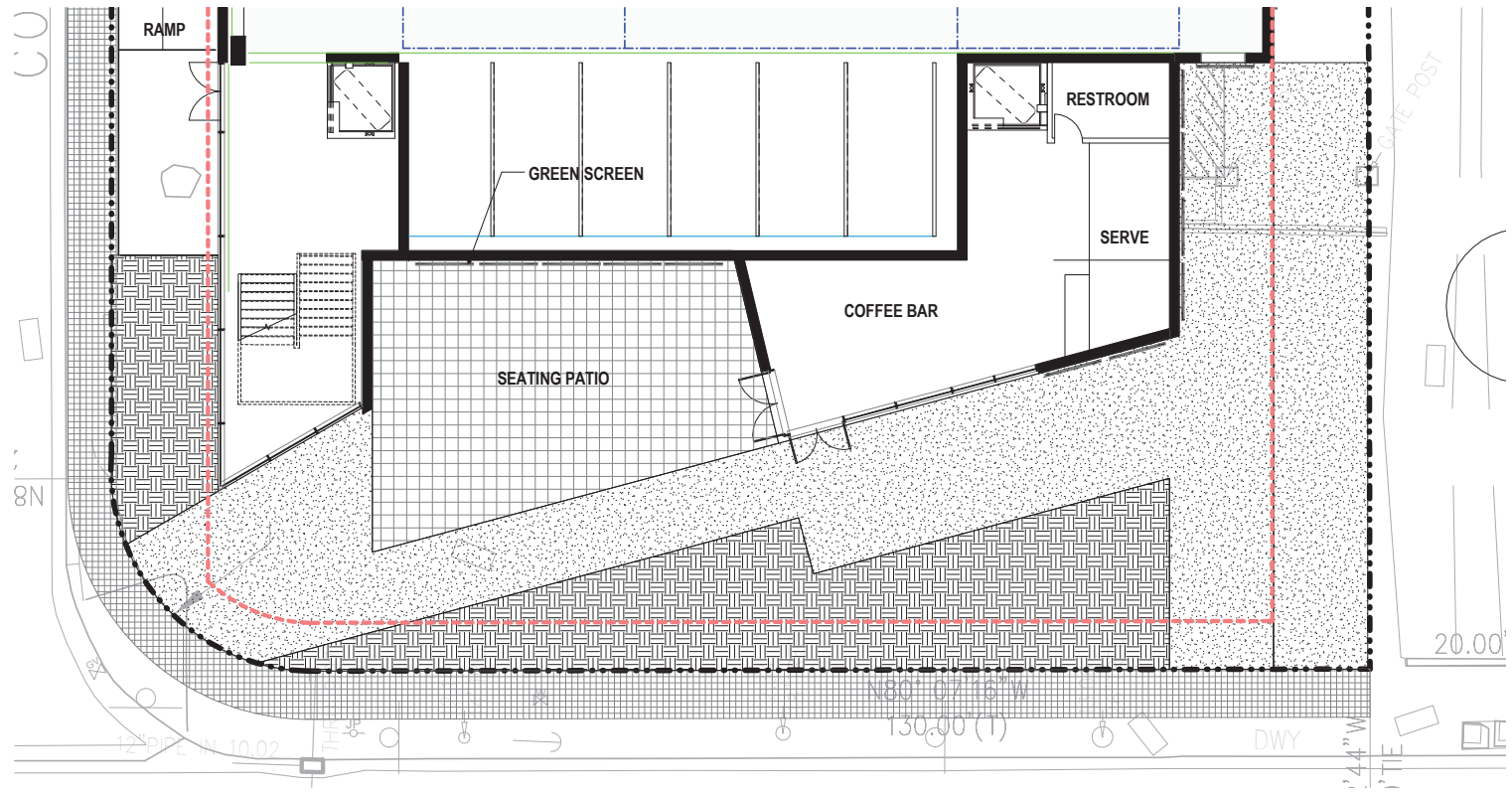
CS BIO EXPANSION
1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET SITE PLAN OPEN SPACE AND ACCESS ANALYSIS

CS Bio Co.
02/17 DEVELOPMENT REVIEW TEAM - PRELIMINARY
04/18/17 - 20% SUBMITTAL
04/21/17 - STUDY SESSION SUBMITTAL
06/19/17 - STUDY SESSION RESUBMITTAL

A6





1 PROPOSED ENLARGED SITE PLAN
SHEET 1 OF 1

© 2017 DES ARCHITECTS ENGINEERS
 C:\Users\jacob\Documents\CS Bio\1075_O'Brien_Drive\1075_O'Brien_Drive_SitePlan.dwg

CS BIO EXPANSION
 1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
 DES PROJECT NUMBER: 9859.007

PROPOSED ENLARGED SITE PLAN



02/17/17 DEVELOPMENT REVIEW TEAM - PRELIMINARY
04/17/14 - DRI SUBMITTAL

A7



LEGEND

- - - - - PROPERTY LINE
- - - - - PATH OF TRAVEL
- - - - - BUILDING SETBACKS
- ▭ BUILDING
- ▨ OPEN SPACE (20%)
- ▩ PUBLIC OPEN SPACE (10%)
- ▧ PAVED WALKWAY/ CURBS (PART OF 20% OPEN SPACE)
- ▨ LANDSCAPING AT FRONTAGE
- ▨ PATH TO SPORTS FIELD (PART OF 10% OPEN SPACE)
- ▩ SPORTS FIELD
- ➔ ENTRY
- X PR SUBTOTAL OF PARKING SPACES

SITE INFORMATION

- 1 20 KELLY COURT
 - 2 1 KELLY COURT (CURRENT 1075 O'BRIEN - ADDRESS CHANGED AFTER MERGING)
- LS ZONING DATA**
- LS REQUIRED SETBACKS - 5' @ FRONT, 10' @ SIDE& REAR (PROVIDED)
 LS REQUIRED OPEN SPACE - 20% OPEN SPACE, 10% PUBLIC OPEN SPACE (PROVIDED)
 LS REQUIRED HEIGHT < 67.5 (PROVIDED)
 LS REQUIRED ELEVATION AND ROOF MODULATIONS (10'X15' RECESS IN ELEVATION, 4" VARIATIONS IN ROOF) (PROVIDED)
- SEE PROJECT DESCRIPTION LETTER FOR DETAILED DESCRIPTION

PROJECT ZONING ANALYSIS - FAR, HEIGHT, PARKING, BIKES (PRELIMINARY)

SITE FAR CALCULATIONS (1.25% Total Lot Area)

SITE	LOT AREA / SF	ALLOWED FAR (1.25%)	PROPOS. FAR (SF)	PROPOS. FAR (%)
SITE # 1 - 20 Kelly Court	68,232	85290		
SITE # 2 - 1 Kelly Court (address changed from 1075 O'Brien)	30,464	38080		
TOTAL	98,696	123370	122,344	1,24%
TOTAL WITH 10% BONUS for Restaurant		133239.6		

BUILDING NAME

BUILDING NAME	FA SUMMARY
Building P1 (existing)	26,291
Building P2 (existing)	11727
Building A (new bunker)	1,000
Building B (trash)	300
Building P3 (no garage included)	5 Floors
Building P3 (garage only)	3 Floors
Building P3 (total)	149,505
All Buildings - Grand Total FA (no garage)	130,278
All Buildings Grand Total FA (with garage)	188,823

AVERAGE HEIGHT (Allowed < 67.5) BUILD. HEIGHT. in FT

P1 (existing)	44
P2 (existing)	22
P3 (new)	110
TOTAL	176
AVERAGE HEIGHT PROPOSED (TOTAL BH3) < 67.5	58.6666667

PARKING

BUILDINGS AND SITES	BUILDING SF	PARKING REQUIRED	PARKING PROVIDED	REQUIRED CARS / SF
P1 + P2 (existing)	38,018	57		1.5 / 1000
A (new bunker)	1,000	1.5		1.5 / 1000
P3 (new 1 Kelly Court - 3 garage floors)	56,745	0	146	
P3 (new 1 Kelly Court - stair, elev @ 3 garage floors)	1,800	0		
P3 (new 1 Kelly Court - stair elev @ 5 offrest floors)	3,000	0		
P3 (new 1 Kelly Court - 4 office floors)	69,008	103.5		1.5 / 1000
P3 (new 1 Kelly Court - 1 restaurant floor)	16,952	34		2 / 1000
P3 (new 1 Kelly Court - bar)	1,000	1.5		1.5 / 1000
P3 (new 1 Kelly Court access passage)	1,000	1.5		1.5 / 1000
B (Trash enclosure N+E)	300	0		
20 Kelly Existing site parking includes Hetch Hetchy			61	
20 Kelly New site parking at Hetch Hetchy			42	
Roof Garden		0	0	
TOTAL		199	249	

EV parkings 5% = 10 parkings (249 - 10 = 239) and ADA will reduce parking number in the Garage layout

BIKES:

BUILDINGS / SITES	BUILDINGS SF	PARKINGS PROVIDED	BIKES REQUIRED
P1 (existing)	26,291		5.1
P2 (existing)	11,727		2.1
A (new bunker)	1000		0.2
P3 (new 1 Kelly Court - garage floors)		146	7.3
P3 (new 1 Kelly Court - @ garage levels)	N/A		N/A
P3 (new 1 Kelly Court - 4 office floors)	69,008		13.8
P3 (new 1 Kelly Court - 1 floor restaurant)	16,952		3.3
P3 (new 1 Kelly Court - coffee bar)	1,000		0.25
P3 (new 1 Kelly Court - pedestrian acce...)	1,000		0.2
B (Trash enclosure E+N)	300		
20 Kelly Existing Site parking		61 + 42	5.2
TOTAL			37.45

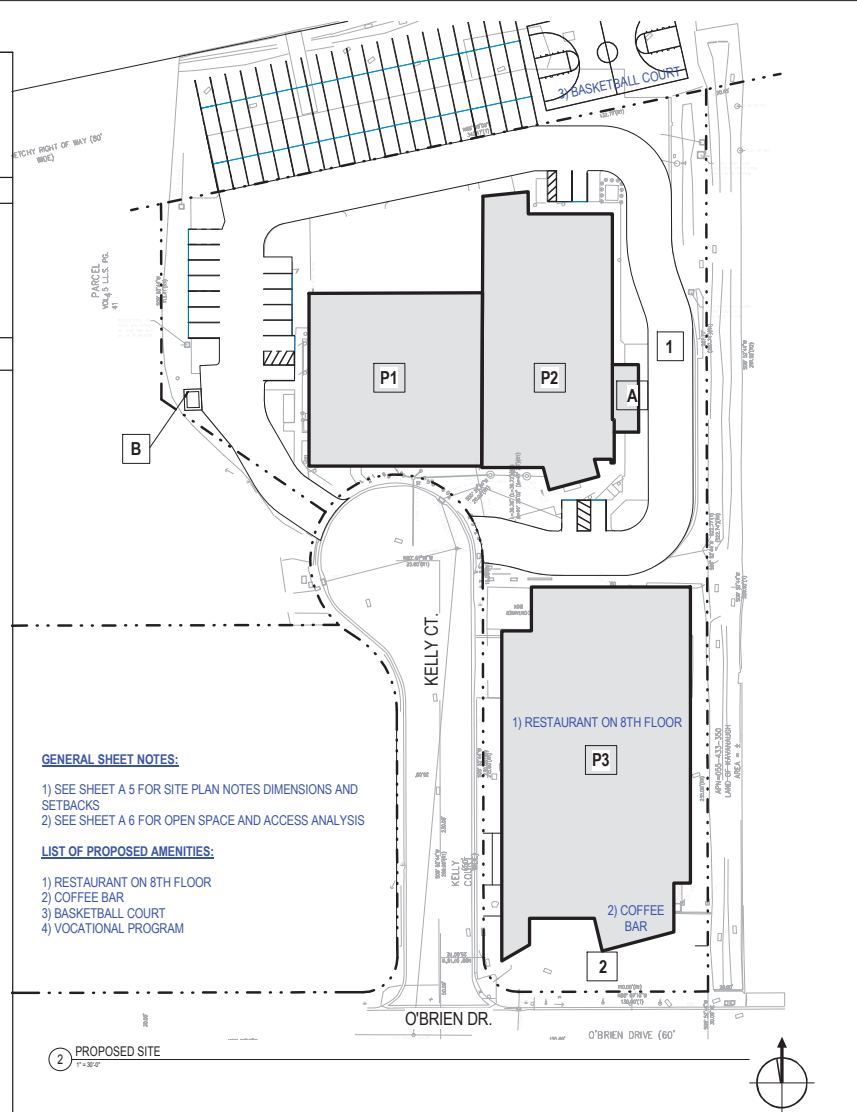
Note: Bikes required 1/5000SF; Parkings 1 bike space per 20 cars.

Note 1: Cars LS required at the new building (office area - 1.5 / 1000SF; restaurant - 2 / 1000sf). Cars required at the existing building (1.5 / 1000SF). Vertical communication SF (stair, elevator) located on the garage levels are not included in parking calculations.

Note 2: Calculations for the new garage parking stalls are based on: First Floor +/- 46 stalls, other floors +/- 50 stalls (total cars on the parking structure = 146). No bikes, EV, ADA are specified yet (GARAGE PARKING STALLS NUMBER WILL BE REDUCED AFTER INCLUDING TO THE LAYOUT EV PARKING STATIONS, ADA PARKING STALLS AND BIKES).

Note 3: Calculations for the existing buildings are per new LS parking requirement.

Note 4: Tandem parking on Hetch Hetchy was previously approved with 20 Kelly Court project, additional 42 paking space...



- GENERAL SHEET NOTES:**
- SEE SHEET A 5 FOR SITE PLAN NOTES DIMENSIONS AND SETBACKS
 - SEE SHEET A 6 FOR OPEN SPACE AND ACCESS ANALYSIS
- LIST OF PROPOSED AMENITIES:**
- RESTAURANT ON 8TH FLOOR
 - COFFEE BAR
 - BASKETBALL COURT
 - VOCATIONAL PROGRAM

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CS BIO EXPANSION
 1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
 DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET

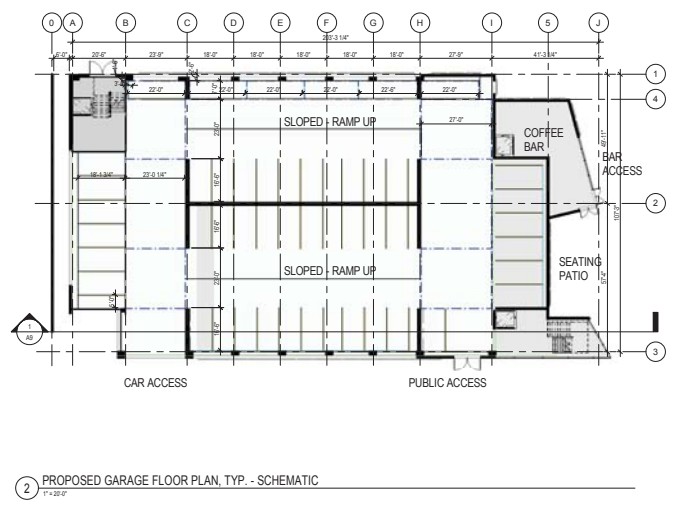
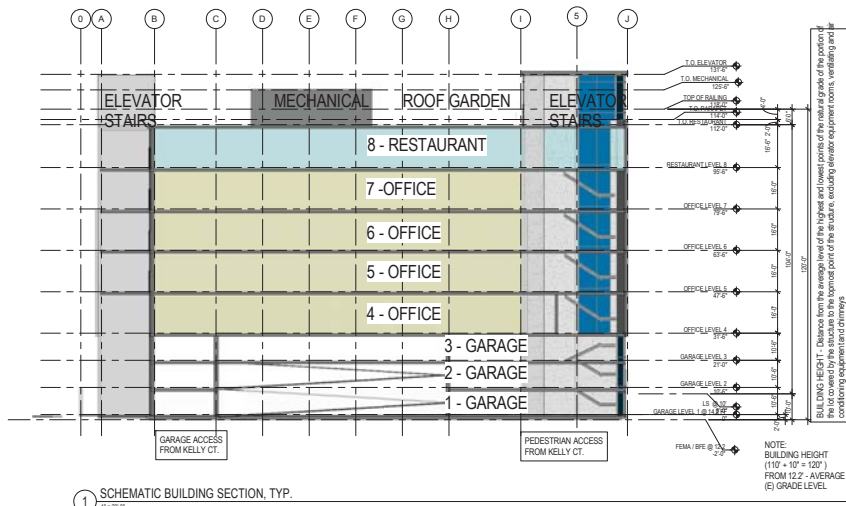
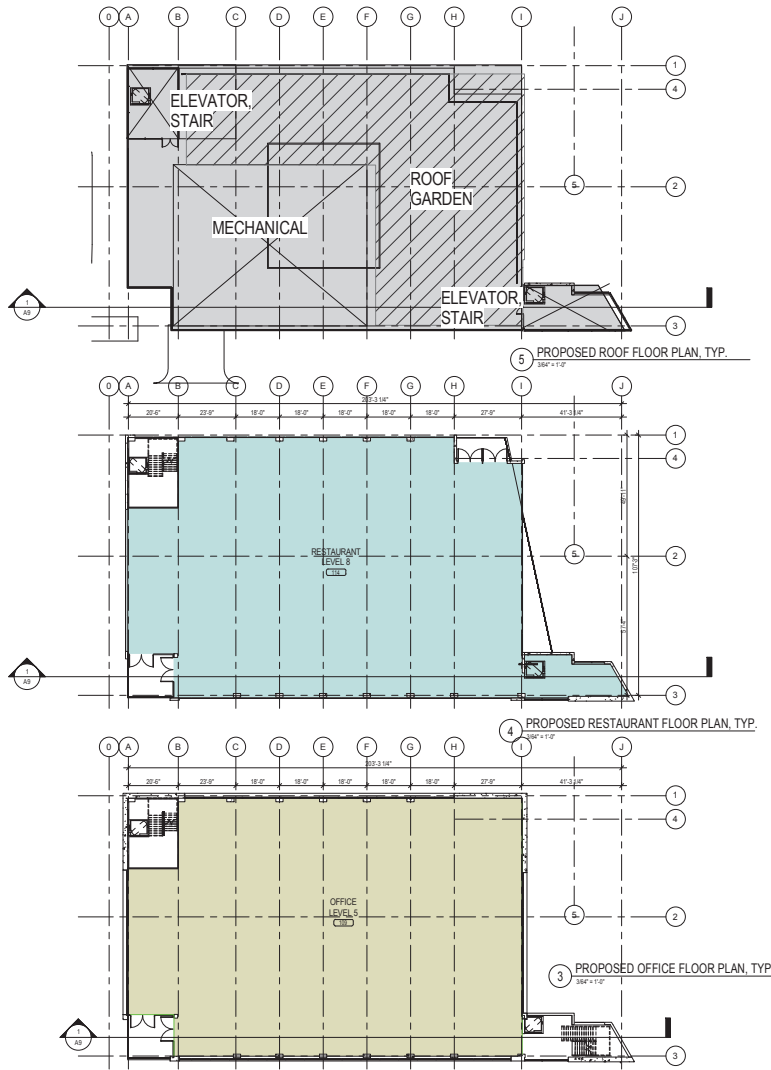
SITE AND BUILDING COVERAGE CALCULATION PLAN



01/17 DEVELOPMENT REVIEW TEAM - PRELIMINARY
 04/13/17 - DRT SUBMITTAL
 04/21/17 - STUDY SESSION SUBMITTAL
 06/16/17 - STUDY SESSION RESUBMITTAL

A8





NOTE: SEE 1.1.1.1. Elevator from the average level of the highest and lowest points of the natural grade of the portion of the site to be developed to the top of the finished floor of the building. Elevator equipment shafts, including conditioning equipment shafts.

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CS BIO EXPANSION
1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET FLOOR PLANS AND SECTION



03 / 2017 DEVELOPMENT REVIEW TEAM - PRELIMINARY
04 / 13 / 2017 - ICFE SUBMITTAL
04 / 21 / 2017 - STUDY SESSION SUBMITTAL
06 / 19 / 2017 - STUDY SESSION SUBMITTAL # 1

A9





ROOF GARDEN



GREEN WALL



ROOF GARDEN



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CS BIO EXPANSION
 1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
 DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET

INSPIRATION IMAGERY



02 / 2017 DEVELOPMENT REVIEW TEAM - PRELIMINARY
 04 / 13 / 2017 - ICFE SUBMITTAL
 04 / 21 / 2017 - STUDY SESSION SUBMITTAL
 06 / 19 / 2017 - STUDY SESSION SUBMITTAL # 1

A10



RESOLUTION NO. 6360

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MENLO PARK APPROVING THE COMMUNITY AMENITIES LIST DEVELOPED THROUGH THE CONNECTMENLO PROCESS

WHEREAS, the City of Menlo Park recently updated the Housing, Open Space and Conservation, and Safety Elements of the General Plan; and

WHEREAS, the Land Use and Circulation Elements of the General Plan have not been updated since 1994 and the City desires to complete the next phase in its update of the General Plan; and

WHEREAS, in December 2014, the City Council adopted the guiding principles for the ConnectMenlo General Plan Update, which were crafted through a rigorous community outreach and engagement process; and

WHEREAS, subsequent to the adoption of the guiding principles, the City embarked on a multi-year process to update the Land Use and Circulation Elements of the General Plan known as ConnectMenlo; and

WHEREAS, the ConnectMenlo General Plan and M-2 Zoning Update included over 60 organized events including workshops and open houses, mobile tours of the City of Menlo Park and nearby communities, informational symposia, stakeholder interviews, focus groups, recommendations by a General Plan Advisory Committee composed of City commissioners, elected officials, and community members, and consideration by the Planning Commission and City Council at public meetings; and

WHEREAS, the Land Use Element includes a policy and program for bonus level development in exchange for the provision of community amenities; and

WHEREAS, the O (Office), L-S (Life Sciences), and R-MU (Residential, Mixed Use) districts also allow the potential for bonus level development within specific areas defined by the zoning map where denoted by B (Bonus), in exchange for sufficient community amenities provided by the developer; and

WHEREAS, bonus level development allows a project to develop at a greater level of intensity with an increased floor area ratio, density, and/or increased height. There is a reasonable relationship between the increased density and/or intensity of development and the increased effects on the surrounding community. The required community amenities are intended to address identified community needs that result from the effect of the increased development intensity on the surrounding community. The value of the community amenities is a generally applicable legislatively imposed formula; and

WHEREAS, the City developed the Community Amenities List, attached hereto as Exhibit A, through an extensive public outreach and input process that included community members, including residents, property owners, and key stakeholders through outreach meetings, public meetings, GPAC meetings, and public hearings; and

WHEREAS, the Community Amenities List reflects the community's priority of benefits within the M-2 Area as identified through the community outreach and engagement process; and

WHEREAS, the City Council may amend the Community Amenities List from time to time by resolution to reflect potential changes in the community's priorities and desired amenities; and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, an Environmental Impact Report was prepared for the project, which includes the bonus development potential and certified by the City Council on November 1, 2016, in accordance with the provisions of the California Environmental Quality Act and CEQA Guidelines. Findings and a statement of overriding considerations were adopted by the City Council on November 1, 2016 by Resolution No.; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the Planning Commission of the City of Menlo Park on October 19, 2016 and October 24, 2016 whereat all persons interested therein might appear and be heard; and

WHEREAS, the Planning Commission of the City of Menlo Park having fully reviewed, considered and evaluated all the testimony and evidence submitted in this matter voted affirmatively to recommend to the City Council of the City of Menlo Park to approve the Community Amenities List; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the City Council of the City of Menlo Park on November 15, 2016 and November 29, 2016 whereat all persons interested therein might appear and be heard; and

WHEREAS, the City Council of the City of Menlo Park having fully reviewed, considered and evaluated all the testimony and evidence submitted in this matter voted affirmatively to approve the Community Amenities List; and

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Menlo Park hereby approves the Community amenities List, attached hereto as Exhibit A, incorporated herein by this reference.

I, Pamela Aguilar, City Clerk of Menlo Park, do hereby certify that the above and foregoing Council Resolution was duly and regularly passed and adopted at a meeting by said Council on the 29th day of November, 2016, by the following votes:

AYES: Carlton, Cline, Keith, Mueller, Ohtaki

NOES: None

ABSENT: None

ABSTAIN: None

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this 29th day of November, 2016.



Pamela Aguilar, CMC
City Clerk

COMMUNITY AMENITY SURVEY RANKINGS

The following is a table of the community amenities that have been requested during the planning process; the categories and the amenities within each category are listed in order of how they were ranked by respondents at a community workshop on March 12, 2015 and in a survey that followed.

MARCH 12 WORKSHOP RANKING	ONLINE - REGISTERED RESPONDENTS	ONLINE - UNREGISTERED RESPONDENTS	PAPER - COLLECTED IN BELLE HAVEN	PAPER - MAILED IN	TOTAL SURVEYS COMBINED
22 RESPONSES	53 RESPONSES	26 RESPONSES	55 RESPONSES	60 RESPONSES	194 SURVEY RESPONSES
Transit and Transportation Improvements	Transit and Transportation Improvements	Transit and Transportation Improvements	Transit and Transportation Improvements	Transit and Transportation Improvements	Transit and Transportation Improvements
Sidewalks, lighting, and landscaping	Sidewalks, lighting, and landscaping	Sidewalks, lighting, and landscaping	Traffic-calming on neighborhood streets	Sidewalks, lighting, and landscaping	Sidewalks, lighting, and landscaping
Bike trails, paths or lanes	Bike trails, paths or lanes	Traffic-calming on neighborhood streets	Sidewalks, lighting, and landscaping	Traffic-calming on neighborhood streets	Traffic-calming on neighborhood streets
Dumbarton Rail	Traffic-calming on neighborhood streets	Bike trails, paths or lanes	Dumbarton Rail	Dumbarton Rail	Bike trails, paths or lanes
Traffic-calming on neighborhood streets	Dumbarton Rail	Dumbarton Rail	Innovative transportation solutions (i.e. personal rapid transit)	Bike trails, paths or lanes	Dumbarton Rail
Bus service and amenities	Bus service and amenities	Bus service and amenities	Bike trails, paths or lanes	Bus service and amenities	Innovative transportation solutions (i.e. personal rapid transit)
Innovative transportation solutions (i.e. personal rapid transit)	Innovative transportation solutions (i.e. personal rapid transit)	Innovative transportation solutions (i.e. personal rapid transit)	Bus service and amenities	Innovative transportation solutions (i.e. personal rapid transit)	Bus service and amenities
Community-serving Retail	Community-serving Retail	Community-serving Retail	Community-serving Retail	Community-serving Retail	Community-serving Retail
Grocery store	Grocery store	Grocery store	Grocery store	Grocery store	Grocery store
Restaurants	Restaurants	Pharmacy	Pharmacy	Pharmacy	Restaurants
Pharmacy	Pharmacy	Restaurants	Restaurants	Restaurants	Pharmacy
Bank/ATM	Bank/ATM	Bank/ATM	Bank/ATM	Bank/ATM	Bank/ATM
Jobs and Training at M-2 Area Companies	Jobs and Training at M-2 Area Companies	Jobs and Training at M-2 Area Companies	Jobs and Training at M-2 Area Companies	Jobs and Training at M-2 Area Companies	Jobs and Training at M-2 Area Companies
Job opportunities for residents	Education and enrichment programs for young adults	Job opportunities for residents	Job opportunities for residents	Job opportunities for residents	Job opportunities for residents
Education and enrichment programs for young adults	Job opportunities for residents	Education and enrichment programs for young adults	Education and enrichment programs for young adults	Education and enrichment programs for young adults	Education and enrichment programs for young adults
Job training programs and education center	Paid internships and scholarships for young adults	Job training programs and education center	Job training programs and education center	Job training programs and education center	Job training programs and education center
Paid internships and scholarships for young adults	Job training programs and education center	Paid internships and scholarships for young adults	Paid internships and scholarships for young adults	Paid internships and scholarships for young adults	Paid internships and scholarships for young adults
Social Service Improvements	Energy, Technology, and Utilities Infrastructure	Social Service Improvements	Social Service Improvements	Social Service Improvements	Social Service Improvements
Education improvements in Belle Haven	Underground power lines	Education improvements in Belle Haven	Education improvements in Belle Haven	Education improvements in Belle Haven	Education improvements in Belle Haven
Library improvements at Belle Haven	Telecommunications investment	Library improvements at Belle Haven	Medical center	Medical center	Medical center
Medical center	Incentives for private home energy upgrades, renewable energy, and water conservation	Medical center	High-Quality Affordable Housing	Senior service improvements	Library improvements at Belle Haven
Senior service improvements	Soundwalls adjacent to Highway 101	High-Quality Affordable Housing	Library improvements at Belle Haven	Library improvements at Belle Haven	High-Quality Affordable Housing
Add restroom at Onetta Harris Community Center		Senior service improvements	Senior service improvements	High-Quality Affordable Housing	Senior service improvements
Pool House remodel in Belle Haven	Social Service Improvements	Add restroom at Onetta Harris Community Center	Add restroom at Onetta Harris Community Center	Add restroom at Onetta Harris Community Center	Add restroom at Onetta Harris Community Center
High-Quality Affordable Housing	Education improvements in Belle Haven	Pool House remodel in Belle Haven	Pool House remodel in Belle Haven	Pool House remodel in Belle Haven	Pool House remodel in Belle Haven
	Library improvements at Belle Haven				
Energy, Technology, and Utilities Infrastructure	Medical center	Energy, Technology, and Utilities Infrastructure	Energy, Technology, and Utilities Infrastructure	Energy, Technology, and Utilities Infrastructure	Energy, Technology, and Utilities Infrastructure
Underground power lines	Senior service improvements	Underground power lines	Incentives for private home energy upgrades, renewable energy, and water conservation	Underground power lines	Underground power lines
Telecommunications investment	High-Quality Affordable Housing	Telecommunications investment	Underground power lines	Incentives for private home energy upgrades, renewable energy, and water conservation	Incentives for private home energy upgrades, renewable energy, and water conservation
Incentives for private home energy upgrades, renewable energy, and water conservation	Pool House remodel in Belle Haven	Incentives for private home energy upgrades, renewable energy, and water conservation	Telecommunications investment	Telecommunications investment	Telecommunications investment
Soundwalls adjacent to Highway 101	Add restroom at Onetta Harris Community Center	Soundwalls adjacent to Highway 101	Soundwalls adjacent to Highway 101	Soundwalls adjacent to Highway 101	Soundwalls adjacent to Highway 101
Park and Open Space Improvements	Park and Open Space Improvements	Park and Open Space Improvements	Park and Open Space Improvements	Park and Open Space Improvements	Park and Open Space Improvements
Bedwell Bayfront Park improvements	Bedwell Bayfront Park improvements	Bedwell Bayfront Park improvements	Tree planting	Bedwell Bayfront Park improvements	Tree planting
Tree planting	Tree planting	Tree planting	Community garden(s)	Tree planting	Bedwell Bayfront Park improvements
Dog park	Dog park	Dog park	Dog park	Community garden(s)	Community garden(s)
Community garden(s)	Community garden(s)	Community garden(s)	Bedwell Bayfront Park improvements	Dog park	Dog park

WHERE SURVEY RESPONDENTS LIVE:

Neighborhood/City					
Belle Haven	136	Pine Forest	1	Palo Alto/ East Palo Alto	2
Central Menlo	1	West Menlo	2	Gilroy	1
Downtown	2	Willows/Willow Road	7	Linfield Oaks	1
East Menlo Park	3	Flood Park	1	Undisclosed	37
				TOTAL	194

REVIEW THE PROPOSED COMMUNITY AMENITIES



CONNECTMENLO
menlo park land use & mobility updates

The amenities described below were identified during the Belle Haven Vision Plan and during the first year of the ConnectMenlo process. They were ranked in this order in a survey in March/April, 2015. Approximate cost estimates have been added for each amenity.

Place a dot to the left of the amenities that you think are most important.

Transit and Transportation Improvements	Jobs and Training at M-2 Area Companies	Social Service Improvements
A. Sidewalks, lighting, and landscaping – \$100 per linear foot <i>Enhance landscaping and lighting and fill gaps in sidewalk to improve the overall walkability</i>	A. Job opportunities for residents – \$10,000 in specialized training per employee <i>Local employers have a hiring preference for qualified residents</i>	A. Education improvements in Belle Haven – \$10,000 per student <i>Improvements to the quality of student education and experience in Belle Haven</i>
B. Traffic-calming on neighborhood streets – \$100,000 per block/intersection <i>Address cut-through traffic with design features</i>	B. Education and enrichment programs for young adults – \$10,000 per participant <i>Provide programs that target students and young adults to be competitive in the job market, including existing tech jobs</i>	B. Medical center – \$6 million to construct (\$300 per square foot) <i>Medical center providing health care services and out-patient care</i>
C. Bike trails, paths or lanes – \$100,000/ mile <i>Install new bike lanes and pedestrian paths and connect them to existing facilities and BayTrail</i>	C. Job training programs and education center – \$10,000 per participant <i>Provide residents with job training programs that prepare them with job skills</i>	C. Library improvements at Belle Haven – \$300,000 <i>Expand library programs and activities, especially for children</i>
D. Dumbarton Rail– \$175 million to construct and open trolley <i>Utilize the right-of-way for new transit line between Redwood City and Menlo Park in the near term with stations and a new bike/pedestrian path</i>	D. Paid internships and scholarships for young adults – \$10,000 per participant <i>Provide internships at local companies and scholarships to local youth to become trained for tech jobs</i>	D. High-Quality Affordable Housing – \$440,000/unit less land; \$82,000 typical per-unit local gap financing needed for a tax-credit project <i>Integrate quality affordable housing units into new development</i>
E. Innovative transportation solutions (i.e. personal rapid transit) – PriceVaries <i>Invest in new technology like pod cars and transit that uses separate tracks</i>		E. Senior service improvements – \$100,000 per year <i>Increase the senior services at the Senior Center to include more aides and programs</i>
F. Bus service and amenities – \$5,000 per rider seat <i>Increase the number of bus stops, bus frequency and shuttles, and bus shelters</i>		F. Add restroom at Onetta Harris Community Center – \$100,000 <i>Additional restroom at the community center</i>
	Energy, Technology, & Utilities Infrastructure	
	A. Underground power lines – \$200/foot min.; \$50,000/project <i>Remove overhead power lines and install them underground along certain roads</i>	G. Pool House remodel in Belle Haven – \$300,000 <i>Remodel pool for year-round use with new heating and changing areas</i>
	B. Incentives for private home energy upgrades, renewable energy, and water conservation – \$5,000 per home <i>Offer financial assistance or other incentives to help area residents pay for energy-efficient and water conserving home improvements</i>	Park and Open Space Improvements
Community-serving Retail	C. Telecommunications investment – \$250 per linear foot <i>Improve the area's access to wifi, broadband, and other new technologies</i>	A. Tree planting – \$10,000 per acre <i>Plant trees along streets and parks to increase tree canopy</i>
A. Grocery store – \$15 million to construct (\$200 per sq ft) plus 25% soft costs, financing, etc.; \$3.7 million for 2 years of subsidized rent <i>A full-service grocery store providing a range of goods, including fresh fruits, vegetables and meat and dairy products</i>	D. Soundwalls adjacent to Highway 101– \$300,000 (\$600/foot) <i>Construct soundwalls between Highway 101 and Kelly Park to reduce sound</i>	B. Bedwell Bayfront Park improvements – \$300,000 <i>Improve access to the park and trails within it</i>
B. Restaurants – \$1.5 million (3,000 sq ft at \$400 per sq ft plus 25% for soft costs, financing, etc.) <i>A range of dining options, from cafes to sit-down restaurants, serving residents and local employees</i>		C. Community garden(s) – \$26,000 to construct ~0.3 acres, 25 beds, 2 picnic tables <i>Expand space for community to plant their own produce and flower gardens</i>
C. Pharmacy – \$3.75 million (15,000 sq ft at \$200 per sq ft, plus 25% for soft costs, financing, etc.) <i>A full-service pharmacy that fills prescriptions and offers convenience goods</i>		D. Dog park – \$200,000 for 0.5 acre (no land cost included) <i>Provide a dedicated, enclosed place where dogs can run</i>
D. Bank/ATM – \$1.88 million (3,000 sq ft at \$500 per sq ft plus 25% for soft costs, financing, etc.) <i>A bank or credit union branch with an ATM</i>		

ATTACHMENT D

From: Romain Tanière
To: [Smith, Tom A](#)
Subject: 1075 O'Brien Drive
Date: Thursday, June 8, 2017 10:32:56 AM

Dear Tom,

As part of the proposal for 1075 O'Brien Drive, ADA compliant sidewalk/crossing on O'Brien and Kelly court should be included in the design (as a continuation and similarly to what has been done at 1035 O'Brien Drive). These sidewalks/pedestrian crossings should be also implemented all along and on both sides of O'Brien Drive (and in the business park in general) to make it ADA compliant and pedestrian/bicyclist friendly.

Regards,
Romain Taniere

From: Mendoza, Jonathan S
To: [Smith, Tom A](#)
Cc: [Wilson, Joanne](#); [Herman, Jane](#); [Leung, Tracy](#); [Feng, Stacie](#); [Brasil, Dina](#); [Wong, Christopher J](#); [Levy, Janice](#); [Russell, Rosanna S](#)
Subject: Notice of Application Submittal - 1075 O'Brien Drive and 20 Kelly Court, Menlo Park
Date: Thursday, June 1, 2017 6:28:16 PM
Attachments: [Final Project Review and Land Use Application fillable \(6 10 13\).pdf](#)
[FINAL Interim Water Pipeline Right of Way Policy.pdf](#)
[FINAL-Amended Right of Way Integrated Vegetation Management Policy.pdf](#)
[SFPUC Basemap-20 Kelly Ct Menlo Park.pdf](#)

Hello Mr. Smith:

The SFPUC recently received a Notice of Application Submittal for a proposal at 1075 O'Brien Drive and 20 Kelly Court, Menlo Park. I understand that this submittal is a request for a study session to review the proposal to construct a new office building with a restaurant, cafe, and parking garage at 1075 O'Brien Drive; and to construct a new chemical storage bunker adjacent to the existing building at 20 Kelly Court. The SFPUC owns in fee an 80-foot wide right-of-way (ROW) which contains three large water transmission pipelines (BDPLs Nos. 1, 2 and 5) adjacent to 20 Kelly Court, Menlo Park. Please see the attached GIS export showing the approximate boundaries of the SFPUC ROW.

I reviewed the submittal provided at <https://www.menlopark.org/ArchiveCenter/ViewFile/Item/5170>. While reviewing the submittal, I noticed that project sponsor is proposing a new steel entry gate and fence; the removal of some of the existing parking spaces; and the installation of an optional sports field amenity on the SFPUC ROW. All projects and activities on the SFPUC's ROW must be reviewed by the SFPUC's Project Review Committee (committee). During Project Review, the committee may require modifications to the project and/or implementation of avoidance and minimization measures. Therefore, it is important for the project sponsor to schedule their project for review at the earliest opportunity to address any potential project issues. To initiate the Project Review process, the project sponsor should fill out the attached project review application. Once the application is completed, they must email their application and supporting attachments back to me. Completed applications with supporting attachments are scheduled in the order they are received for the next available Project Review Committee date.

Please note that the SFPUC ROW cannot be used to satisfy development/entitlement requirements (including, but not limited to: required parking, open space/recreation areas, emergency vehicle access, etc.). In other words, their proposed development must satisfy all of its requirements outside of the SFPUC ROW. Attached are the following two SFPUC ROW policies:

- Interim Water Pipeline ROW Use Policy – specifies uses allowed or prohibited within SFPUC ROW (ex. land use, structures, utilities, etc.); and
- Integrated Vegetation Management Policy – see section 12.005 for vegetation height specifications allowed within the SFPUC ROW.

Among other things (including SFPUC engineering, operations and maintenance requirements), the committee members will be reviewing proposals for conformance with these policies.

Please let me know if you have any questions or need additional information.

Best,

Jonathan S. Mendoza

Land and Resources Planner
Natural Resources and Lands Management Division
San Francisco Public Utilities Commission
1657 Rollins Road
Burlingame, CA 94010
O: 650.652.3215 (Tuesdays and Fridays)
C: 415.770.1997 (Wednesdays and Thursdays)
F: 650.652.3219
E: jsmendoza@sfwater.org
W: <http://www.sfwater.org/ProjectReview>

NOTE: I am out of the office on Mondays

From: Romain Tanière
To: [Smith, Tom A](#)
Subject: Re: 1075 O'Brien Drive - FaceBook Willow Campus connections
Date: Tuesday, July 11, 2017 8:49:40 PM

Dear Tom,

In addition to the feedback below, please find an additional request as far as the planning for 1075 O'Brien Drive:

With the redevelopment of the FaceBook Prologis/Willow Campus, the planning and design of the 1075 O'Brien Drive/20 Kelly Court merged property/buildings should allow for new connections between O'Brien Drive and the new FaceBook planned street grid system.

For instance, in line with the new ConnectMenlo general plan, connecting Kelly Court through Hetch Hetchy through the back of the FaceBook Campus/Hamilton Avenue and/or creating a new street on top of the current open drain between 1075/1105 O'Brien Drive.

Thank you very much for your consideration.

Romain Taniere

From: Romain Tanière <rtaniere@yahoo.com>
To: "tasmith@menlopark.org" <tasmith@menlopark.org>
Sent: Thursday, June 8, 2017 10:32 AM
Subject: 1075 O'Brien Drive

Dear Tom,

As part of the proposal for 1075 O'Brien Drive, ADA compliant sidewalk/crossing on O'Brien and Kelly court should be included in the design (as a continuation and similarly to what has been done at 1035 O'Brien Drive). These sidewalks/pedestrian crossings should be also implemented all along and on both sides of O'Brien Drive (and in the business park in general) to make it ADA compliant and pedestrian/bicyclist friendly.

Regards,

Romain Taniere