



REGULAR MEETING AGENDA

Date: 8/14/2017
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

E1. Approval of minutes from the July 17, 2017, Planning Commission meeting. ([Attachment](#))

E2. Architectural Control/William Hagman/8 Homewood Place:
Request for architectural control to modify an existing parking lot in order to construct an outdoor patio with seating on a lot in the C-1 (Administrative and Professional District, Restrictive) zoning district. The new patio would replace seven parking spaces, resulting in a total of 109 parking spaces, where 106 are required. ([Staff Report #17-053-PC](#))

F. Public Hearing

F1. Use Permit/Henry L. Riggs/8 Pulitzer Drive:
Request for a use permit to partially demolish, remodel, and add to an existing nonconforming single-story, single-family residence on a standard lot in the R-1-S (Single-Family Suburban) zoning district. The proposed work would exceed 75 percent of the existing replacement value in a 12-month period. The project previously received a building permit for a more limited scope of

work; however, the proposed revisions would result in the total project exceeding the use permit value threshold. ([Staff Report #17-054-PC](#))

G. Study Session

- G1. Study Session/Jason Chang/1075 O'Brien Drive:
Request for a study session for the demolition of an existing single-story warehouse and manufacturing building and construction of a new eight-story mixed-use building with three levels of structured parking above grade, four floors of offices, a restaurant, café with outdoor seating, and rooftop garden in the LS-B (Life Sciences, Bonus) zoning district. The proposal also includes a request for a new chemical storage bunker on the east side of the existing building at 20 Kelly Court. The parcels at 20 Kelly Court and 1075 O'Brien Drive would also be merged. *Continued from the meeting of July 17, 2017, with no changes to the staff report.* ([Staff Report #17-048-PC](#))

H. Regular Business

- H1. Zoning Ordinance: Secondary Dwelling Units
Clarification regarding conversion of existing covered parking (garage or carport) for use as a secondary dwelling unit (also known as an accessory dwelling unit). ([Staff Report #17-055-PC](#))

I. Informational Items

- I1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: August 28, 2017
 - Regular Meeting: September 11, 2017
 - Regular Meeting: September 25, 2017

J. Adjournment

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at www.menlopark.org and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting the Planning Division at (650) 330-6702. (Posted: 08/09/17)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



REGULAR MEETING MINUTES - DRAFT

Date: 7/17/2017
Time: 7:01 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Drew Combs called the meeting to order at 7:01 p.m.

B. Roll Call

Present: Andrew Barnes, Drew Combs (Chair), Susan Goodhue, Larry Kahle (Vice Chair), Henry Riggs

Absent: John Onken, Katherine Strehl

Staff: Thomas Rogers, Principal Planner; Kaitie Meador, Associate Planner; Sunny Chao, Assistant Planner; Yesenia Jimenez, Associate Planner; Tom Smith, Associate Planner; Ori Paz, Planning Technician

C. Reports and Announcements

Principal Planner Thomas Rogers said the 1075 O'Brien Drive Study Session on tonight's agenda was continued and tentatively to the August 14, 2017 meeting. He said absent Commissioners this evening and some present Commissioners who would need to recuse themselves from consideration of the item meant there would not be a quorum of Commissioners.

Principal Planner Rogers said the City Council's agenda for July 18, 2017 had an appeal by the adjacent left side neighbor of the 445 Oak Court use permit approval. He said at the same meeting the Council would receive informational items on Facebook campus development including an application for the Willow Campus (formerly the Prologis campus), and the pending conditional development permit (CDP) and development agreement revision.

Chair Combs asked which Commissioners would have needed to be recused for the 1075 O'Brien Drive item. Principal Planner Rogers said for the record that Commissioners Combs and Susan Goodhue would need to be recused due to their employment with Facebook, and Facebook's proximity to the project site. He said also Commissioner John Onken would need to be recused as he was an architect and was working with a client at 1010 O'Brien, which was within 500 feet of the project property. He said Commissioners Larry Kahle, Henry Riggs, Andrew Barnes and Katherine Strehl had no conflicts of interest related to the subject property; however, Commission Strehl could not attend this evening's meeting which left less than four Commissioners or a quorum to consider the item.

Commissioner Riggs asked if 1075 O'Brien Drive and 20 Kelly Court would be updated as to height conformance when it was considered on a future agenda. Principal Planner Rogers said that was an item highlighted in the staff report, and he would relay Commissioner Riggs' question to the project planner.

D. Public Comment

None

E. Consent Calendar

Commissioner Kahle said he had a correction on the June 5 meeting minutes , noting page 6, near the top of the page, in the first full paragraph, two-thirds of the way down: "...a pair of windows on the right side of the dorm.." that "dorm" should be "dormer." He moved to approve the consent calendar with the correction to the June 5 meeting minutes. Commissioner Goodhue seconded the motion.

E1. Approval of minutes from the May 22, 2017, Planning Commission meeting. ([Attachment](#))

ACTION: Motion and second (Kahle/Goodhue) to approve the item as submitted; passes 5-0 with Commissioners Onken and Strehl absent.

E2. Approval of minutes from the June 5, 2017, Planning Commission meeting. ([Attachment](#))

Motion and second (Kahle/Goodhue) to approve the minutes with the following modification; passes 5-0-2 with Commissioners Onken and Strehl absent.

- Page 6, 1st full paragraph, 8th line: Replace "dorm" with "dormer"

F. Public Hearing

F1. Use Permit/Surinder Kang/202 Gilbert Avenue:

Request for a use permit to demolish an existing two-story multi-family residence with four units, and construct a new two-story, single-family residence. The subject property is on a substandard lot with respect to lot width and lot area in the R-1-U (Single-Family Urban) zoning district. ([Staff Report #17-042-PC](#))

Staff Comment: Associate Planner Yesenia Jimenez said there were no additions to the staff report.

Questions of Staff: Commissioner Kahle asked about the vision triangle noting the site plan showed that a corner of the house was within it. He asked what was allowed or not allowed in the vision triangle. Associate Planner Jimenez said no fences or hedges over three feet were allowed within the sight triangle and confirmed that the structure could be within the area.

Applicant Presentation: Joe Gardella, project architect, said the property owners, Surinder and

Habinder Kang, wanted to construct this project as their retirement home. He said the Kangs currently live in a 4,000 square foot home in the Willows and wanted to downsize some.

Commissioner Kahle asked about the painted wood siding. Mr. Gardella said it likely would be tongue and groove siding with a slight reveal and painted in the darker tones. He said it would also have vertical lines. Commissioner Kahle asked about the stucco parapet and if it would be stucco wrapped cap or metal. Mr. Gardella said it most likely would be metal. Commissioner Kahle asked about the space above the entry where the staircase was and if it was the daylight plane that led to the lower floor level and lower roof pitch. Mr. Gardella said that was accurate.

Commissioner Goodhue asked about the roof materials. Mr. Gardella said it was a TPO / PVC roofing, which was a membrane roof system. Commissioner Goodhue confirmed with him that was because the roof was flat, wouldn't be seen, and ended in a wall with a lip. Commissioner Kahle asked about the roof material in the sloped area over the entry. Mr. Gardella said they were trying to figure that out and at the moment they were thinking TPO as it was a fairly shallow slope. Commissioner Kahle said they could do a standing seam metal roof there. Mr. Gardella said manufacturers did not have a standing seam metal roof at that slope. Commissioner Kahle suggested it was possible.

Chair Combs opened the public hearing and closed it as there were no speakers.

Commission Comment: Chair Combs said that the existing homes were nonconforming and had been built prior to current zoning regulations. He said replacing the existing multi-family residences with a single-family residence would fit the zoning for the lot. He said that staff had talked to the property owner about constructing a secondary dwelling unit. He asked if the City placed greater importance on maintaining (or increasing) the number of residential units or was it of greater importance for structures to fit the zoning for a parcel.

Associate Planner Jimenez said after the initial 30-day review of the project application, she had contacted the property owners to let them know that the lot was eligible to have a secondary dwelling unit. She said the property owner expressed no interest in doing that.

Commissioner Goodhue said with the housing situation it was sad to lose residential units particularly as these were studio units which should make them more affordable. She said she had often wondered what this property was. She said the project proposal was a very nice design and would make a good addition to the neighborhood. She agreed with suggesting a secondary dwelling unit and recognized that it was a property owner's decision whether to build that or not. She said she supported the project.

Commissioner Andrew Barnes said he liked the efforts to maintain the privacy on the project noting there was only one window on first story left elevation and sill heights of six-feet and greater on the left and rear elevations facing adjacent structures. He said he liked the setbacks of the second story on all four sides. He said the project was maxing out the Floor Area Limit (FAL) but the height at 24.2 feet served the project well. He said also the landscaping was done well and he supported the project.

Commissioner Riggs moved approval of the use permit as recommended in the staff report.

Commissioner Kahle said he would encourage a secondary dwelling unit as well. He said he

agreed with Commissioner Barnes that keeping the height down was a benefit to the project especially given that the project was in a flood zone and the floor level was higher. He said it was a very strong modern house and in using simple materials of stucco, siding and metal windows had to be executed really well for it to work. He recommended going with a stucco parapet cap with stucco over rather than having the extra metal edge at the top. He said if they could make it work he would recommend a metal roof over the entryway as that would really help the project. He seconded the motion.

ACTION: Motion and second (Riggs/Kahle) to approve the use permit as recommended in the staff report; passes 5-0-2 with Commissioners Onken and Strehl absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Ana Williamson Architect, consisting of 18 plan sheets, dated received June 30, 2017, and approved by the Planning Commission on July 17, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.

- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the recommendations in the arborist report by Kielty Arborist Services, LLC dated October 21, 2017 and revised June 6, 2017.

F2. Use Permit/Eric Zhao/882 College Avenue:

Request for a use permit to demolish a one-story single-family residence and detached garage and construct a two-story single-family residence on a substandard lot with respect to lot width in the R-1-U (Single Family Urban Residential) zoning district. As part of the project, one heritage magnolia tree in the front yard is proposed for removal. ([Staff Report #17-043-PC](#))

Staff Comment: Assistant Planner Sunny Chao said there no additions to the written report.

Applicant Presentation: Robin McCarthy, project architect, introduced the property owner Eric Zhao. Ms. McCarthy said the proposed two-story home was a mix of contemporary Mediterranean design. She said the home would have smooth finish stucco and a tile roof in earth tone colors. She said their neighborhood outreach included taking plans to the surrounding neighbors. She said one neighbor asked about the rear fence, which presently did not sit on the property line. She said with the proposal a new fence would be built on the property line.

Commissioner Kahle said the sills of the side windows in the master bedroom were low; he asked if she would consider raising those. Ms. McCarthy said the sills were at three feet and they could easily be raised another foot. Commissioner Kahle confirmed with Ms. McCarthy that the studs would be two by six and the windows would be recessed. Commissioner Kahle asked if the stucco would wrap into the head and the jambs. Ms. McCarthy said they were showing integral stucco trims. She said they had not detailed it yet but they could wrap the integral stucco into the windows and doors. Commissioner Kahle said for the style of the house the two-piece clay tile was great and the stucco worked. He said there was a lot of stucco and what was missing in the style for him were the shutters and trims around the windows. He said having the stucco wrap into the head and the jambs would complete the style. Ms. McCarthy said she thought that was a nice suggestion and she agreed.

Chair Combs opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Barnes said this proposal was maxed out to 2,999 square feet out of a possible 3,000 square feet. He said the second floor was stepped back and it seemed to work well on the lot with its pop outs and insets. He said the landscaping was thought out and the heritage tree removal was approved by the arborist. He said he would support the project.

Commissioner Riggs commented on the design type and suggested in the Allied Arts neighborhood that more traditional Spanish detailing would have been desirable. He said he would support Commissioner Kahle's suggestion that the windows be recessed and the shutters be put on proper hinge brackets so they looked functional. He said the two trees proposed for the front were what he considered patio trees. He suggested using heritage sized trees that would have canopy for shade, at least for one of the two trees proposed. He said the arborist recommended

that one of the Norway spruce trees at the street be removed. He asked if that was within Public Works' purview to remove that tree. Assistant Planner Chao said the applicant had proposed to remove the non-heritage spruce tree from the right of way and the City arborist had asked the applicant to propose the arbutus marina as a replacement tree in the right of way.

Commissioner Riggs moved to approve with added conditions that the windows be recessed (typically two inches) and shutters be installed on traditional active hardware.

Commissioner Kahle asked if Commissioner Riggs would include raising the sills of the side master bedroom windows one foot. Commissioner Riggs said he would include that in his motion.

Commissioner Kahle said the height was below the maximum and the massing generally was laid out very well. He said it would make the house work even better if they could get the hips of the lower roof to hit the second floor at appropriate places. He noted the hip coming up over the porch just missed the corner of the second floor and also on the other side of the house. He seconded the motion to approve with modifications.

ACTION: Motion and second (Riggs/Kahle) to approve the use permit with the following modifications; passes 5-0-2 with Commissioners Onken and Strehl absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by ARCH Studio Inc. consisting of 20 plan sheets, dated received July 5, 2017, and approved by the Planning Commission on July 17, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact

locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.

- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the recommendations in the arborist report by Kielty Arborist Services dated March 27, 2017.

4. Approve the use permit, subject to the following project-specific conditions:

- a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans that show and note all the proposed windows on the proposed house to be recessed a minimum of two inches, subject to the review and approval of the Planning Division.**
- b. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans that show and note all the proposed shutters for the proposed windows with shutters on the proposed house to be installed on traditional active hardware, subject to the review and approval of the Planning Division.**
- c. Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans that raise the proposed sill heights for the two proposed master bedroom windows on the south elevation of the proposed house to four feet, subject to the review and approval of the Planning Division.**

F3. Use Permit/Dan Siegel/1370 Delfino Way:

Request for a use permit to construct first-floor additions and perform interior and exterior modifications to an existing nonconforming, single-story, single-family residence in the R-1-U (Single Family Urban) zoning district. The project previously received a building permit for a more limited scope of work; however, the proposed revisions would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period and therefore, require a use permit. ([Staff Report #17-044-PC](#))

Chair Combs noted that Commissioner Kahle was recused for this item.

Staff Comment: Planning Technician Ori Paz said there were no additions to the staff report.

Questions of Staff: Commissioner Barnes asked the reason for Commissioner Kahle's recusal. Chair Combs said at some point Commissioner Kahle had been considered as the architect for this project, and had not been selected. Planning Technician Paz confirmed that information.

Commissioner Barnes said a stop work order was issued on June 20, 2017 and the project was now agendized for the July 17, 2017 Commission meeting. He asked whether this was fast tracked for the stop work order or if this was representative of staff's workload. Principal Planner Rogers said he thought it was reflective of the stop work order aspect and also the scope and scale of the project as well. He said as it was a one-story project it was able to be reviewed and processed on a bit more timely basis than other projects that have more complexity and scale.

Applicant Presentation: Andrew Young, project architect, introduced Dan and Lisa Siegel, the property owners. He said the project was currently under construction. He said the original intention was to leave the existing siding on the house. He said it was T1-11 plywood siding and was about 50 years old. He said the plans by the structural engineer had removal of some of that material for the installation of exterior sheer plywood on the side. He said it slipped by him and the contractor that the plywood could have been installed in the interior of the house. He said now they needed to replace the siding altogether. He said they would prefer to use stucco, which would be superior to the T1-11. He said neighbors supported using stucco for the siding.

Chair Combs opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Riggs said he should disclose he understood the applicant's predicament as his project had received a stop work order approximately four weeks ago due to a contractor's excessive demolition of the home's interior. He said also any opportunity to replace T1-11 would be a benefit to a project and its neighborhood. He said he did not see any downside to the plan revision and that he could support the project.

Commissioner Barnes said replacing wood siding with stucco was preferable. He moved to approve the item as recommended in the staff report. Commissioner Goodhue said she would second the motion.

ACTION: Motion and second (Barnes/Goodhue) to approve the use permit as recommended in the staff report; passes 4-0-1-2 with Commissioner Kahle recused and Commissioners Onken and Strehl absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Young & Borlik Architects, Inc. consisting of 12 plan sheets, dated received July 13, 2017,

and approved by the Planning Commission on July 17, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.

- b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
- c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
- d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

F4. Use Permit/Thomas Jackson/501 Laurel Avenue:

Request for a use permit to demolish an existing two-story duplex and construct a new two-story, single-family residence with a detached garage on a substandard lot with regard to lot width and lot area in the R-1-U (Single-Family Urban) zoning district. ([Staff Report #17-045-PC](#))

Staff Comment: Associate Planner Kaitie Meador said staff had no additions to the written report.

Questions of Staff: Commissioner Goodhue said similar to another project on tonight's agenda, this project would replace two single-family residences with one and asked if a secondary dwelling unit had been offered as a possibility. Associate Planner Meador said she had presented the option to the applicant. She said there was no interest expressed in doing a secondary dwelling unit.

Applicant Presentation: Thomas Jackson, project applicant, said that the property had been red tagged by City Code Enforcement as uninhabitable about a year and a half earlier. He said the property owner had found it was unfixable and decided to rebuild. He said the proposed design was a Napa Valley farmhouse, which was a more traditional look. He said the house would have black framed windows and white Hardie board siding. He said he talked to the neighbors and got their input.

Commissioner Kahle asked about the heritage tree that was removed without approval. Mr. Jackson said his workers went in and removed the tree in error. He said after that he submitted a tree removal permit application with an arborist report that has since been approved.

Commissioner Kahle noted the black and white color scheme and asked if the corner boards would be painted. Mr. Jackson said those would be white. Commissioner Kahle said his concern was the bathroom that popped out on the second floor and noted a similar design house on the same street, which did not look as good as it could. He asked if Mr. Jackson would consider pushing the bathroom pop out in so it worked better with the roof and tied in better with the house. He said there seemed to be space with the second floor laundry that would accommodate that. Mr. Jackson said that would require a redesign of the second floor. He said this proposal was the same design that the City had approved twice before for other homes. He said the house that Commissioner Kahle had mentioned was purchased by Stanford University and had appeared in the New York Times. Commissioner Kahle said his desired redesign would only mean that the laundry would not be a walk in laundry but a reach in laundry.

Commissioner Barnes asked about the heritage tree that had been removed without approval and what the subsequent removal permission was based upon. Mr. Jackson said the arborist report noted the black acacia had been topped and was not in a healthy condition. He said when his workers cleaned up the property they trimmed a palm tree that was grossly overgrown as well as an oak tree and in that process whacked the black acacia.

Commissioner Barnes asked about a retroactive approval of a heritage tree removal and if the arborist report that came with the property was the reference for review. Associate Planner Meador said the City had received an arborist report that listed the size and condition of the tree in question, and that was what the City Arborist used in the retroactive approval of the tree removal. Commissioner Barnes asked what the arborist report said about the condition of that tree. Associate Planner Meador said it was described as having good vigor and poor form with a condition of 40%. Commissioner Barnes asked if it was customary to approve removal of trees in that condition. Principal Planner Rogers said in general the black acacia were not known as a particularly ideal species for the area. He said for such a tree that had been topped and had a poor condition rating that in most cases the inclination would be to approve such removals. He said the City did not endorse retroactive permits as a general rule.

Chair Combs noted that new persons had come into the chambers and announced that the study session for the 1075 O'Brien had been continued to a future agenda due to a lack of a quorum for the item.

Commissioner Riggs said the right gable appeared to be lower than the left gable on the front elevation. Mr. Jackson said that was correct.

Chair Combs opened the public hearing.

Public Comment:

- Karl Mattia said his home was at 507 Laurel Avenue, adjacent to the project property. He said he was supportive of Mr. Jackson's plan, noting he had done good work on other projects in the neighborhood. He said Mr. Jackson worked with them to resolve privacy concerns including

making the side setback six rather than five feet, and using opaque windows on the first and second floors.

Chair Combs closed the public hearing.

Commission Comment: Chair Combs asked about plans that had been approved for other project sites and if the Commission should look at those fresh. Principal Planner Rogers said that the plans should get a fresh look. He said if there were lessons to be learned from any other execution of the similar plans that was good evidence for the Commission to consider. He said certainly submission of a plan similar to one previously approved did not bind the Commission to approve; similarly a plan denied might be approvable if on a different lot. He said case by case review was important.

Commissioner Kahle thanked Commissioner Barnes for addressing the post-permitted removal of a heritage tree. He said he appreciated that the project's height was not at the maximum. He said also he was glad the corner boards would be painted out to match the siding since they would not be mitered. He said the three roof pitches could work. He said there were two roof materials. He said the standing metal seam roof turned the corner and it could work but it would be complicated. He said his biggest issues were the bathroom pop out and different heights on gables that should be symmetrical. He said he would like to see bathroom pushed in three feet or so.

Commissioner Barnes said the plans did not show any plumbing in the garage and shed. Mr. Jackson said those building would only have electrical.

Commissioner Barnes said he was in support of the project. He said if Commissioner Kahle had something compelling to add he was willing to listen to it. Commissioner Riggs said he would be happy to second the motion. He said he was swayed by Commissioner Kahle's comments regarding the bathroom pop out. He said because the façade was so rigidly symmetrical that the two gable ends should be made the same height as he did not see any conflict there with the daylight plane. Chair Combs noted that no motion had been made.

Commissioner Kahle moved to approve with two additional conditions that the second floor bathroom pop out on the east elevation be pushed back at least three feet and the two gables on the east elevation were made symmetrical. Commissioner Riggs seconded the motion.

ACTION: Motion and second (Kahle/Riggs) to approve the use permit with the following modifications; passes 5-0-2 with Commissioners Onken and Strehl absent.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:

- a. Development of the project shall be substantially in conformance with the plans prepared by Volkmann Architecture, consisting of nine plan sheets, dated received on July 10, 2017, and approved by the Planning Commission on July 17, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
 - g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.
4. Approve the use permit subject to the following ***project-specific*** conditions:
- a. Prior to building permit issuance, the heritage replacement tree's size shall be updated to a 24-inch box tree subject to the review and approval by the City Arborist.
 - b. Simultaneous with the submittal of a complete building permit application, the applicant shall note on the site plan that any future fencing within the front setback and/or corner triangle shall comply with the fence height limitations in the Zoning Ordinance.
 - c. ***Simultaneous with the submittal of a complete building permit application, the applicant shall revise the plans so that the second floor pop-out on the front elevation is pushed back at least three feet.***

d. Simultaneous with the submittal of a complete building permit application, the applicant shall revise the plans so that the two gables on the front elevation are the same height.

- F5. Use Permit Revision/Rob and Lisa Chaplinsky/2355 Tioga Drive:
Request for a use permit to make exterior changes to an existing residence on a lot that is substandard with regard to lot width in the R-E-S (Residential Estate Suburban) zoning district. In addition, a request for excavation within required setbacks for the installation of new and modified retaining walls. The project previously received a use permit on December 14, 2015 to demolish an existing single-story residence and construct a new two-story residence. (Staff Report #17-046-PC)

Staff Comment: Associate Planner Tom Smith said there were no additions to the written report.

Questions of Staff: Commissioner Kahle said condition 4.a was addressing trees but he thought the trees had been addressed in the previous use permit approval. Associate Planner Smith said the condition was there as a reminder that as the project continued those trees needed to get planted.

Applicant Presentation: Yoanna Dakovska, Moderna Homes, project architects, said the house was currently under construction through the previous use permit approval. She said they would like to add some retaining walls around the house to create outdoor spaces. She said originally they had proposed white board and batten siding. She said they would like to replace that with cedar siding and stone similar to what was proposed before. She said they had some samples of the stone to show the Commissioners. She said they were proposing metal canopies noting initially they had wood fascia and roof with a metal canopy at the front entry, and they would like to match that to have more cohesive design across the front. She said through the construction process it became apparent that the sun at the rear of the home was quite intense so they would like to add a trellis in the back for that and screening purposes.

Commissioner Kahle asked how many of the proposed changes had already been made. Ms. Dakovska said only the cedar siding.

Commissioner Riggs asked about the stone. Samples were provided for the Commissioners to look at. Commissioner Kahle confirmed that the stone had not been applied and had just arrived.

Chair Combs opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Kahle said the proposed revisions seemed straight forward. He moved to approve the use permit. Commissioner Goodhue seconded the motion.

ACTION: Motion and second (Kahle/Goodhue) to approve the use permit as recommended in the staff report; passes 5-0-2 with Commissioners Onken and Strehl absent.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed

use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.

3. Approve the use permit subject to the following standard conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Moderna Homes, consisting of 11 plan sheets, dated received on June 21, 2017, and approved by the Planning Commission on July 17, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.
4. Approve the use permit subject to the following project-specific conditions:
 - a. The applicant shall plant heritage tree replacements for the 22-inch Canary Island pine, 24-inch redwood, and 17-inch coast live oak to be removed, prior to final inspection of the building permit, subject to review and approval of the Planning Division

- F6. Use Permit/Araceli Ciprez/989 El Camino Real:
Request for a use permit for a full/limited service restaurant on a lot that is substandard with regard to parking in the El Camino Real/Downtown Specific Plan (SP/ECR-D) zoning district. The tenant space is vacant but was previously used for a take-out only restaurant. ([Staff Report #17-047-PC](#))

Staff Comment: Associate Planner Meador said there were no changes to the written report.

Applicant Presentation: Mr. Alan Coon, project architect, introduced the business owner, Araceli Ciprez. He said he could answer any questions about the site plan or architecture and Ms. Ciprez could answer any questions about the business.

Commissioner Kahle asked if Ms. Ciprez had operated a taqueria previously. Ms. Ciprez said she has worked in a taqueria and this was her first business venture.

Chair Combs opened the public hearing.

Public Comment:

- Pamela Jones, Menlo Park, said she was excited about the taqueria and having more diversity in restaurants in downtown Menlo Park. She said regarding the parking that she didn't feel it was the business owner's issue rather it was how the downtown was configured. She said it was time to seriously look at and implement a parking structure. She said in the meantime to

accommodate the people using the laundromat at the project site it would be advisable to assign parking spaces to the laundromat. She requested approval of the project.

Chair Combs closed the public hearing.

Commission Comment: Commissioner Riggs said he agreed having an alternative place to eat in Menlo Park that was not a \$20 lunch entrée was a great idea. He said he was concerned about parking as he did not think that the prior takeout restaurant and a taqueria with 18 seats had the same parking demand. He said he had never seen the parking lot full. He said he hoped that some of the walk in traffic would reduce the parking demand. He said he supported the project.

Commissioner Barnes said the Transportation Division looked at such projects as to whether a nonconforming parking demand would work, and in this case found that it would. He noted there were public parking lots nearby. He said he supported the project.

Commissioner Goodhue said she supported the City's approach to parking considerations. She said that she frequents the Barre studio next door to the project site and had often seen the parking lot full during barre class. She said it was a horrible parking lot with bad ingress and egress. She said people attending the Barre Studio find plenty of places to park in other areas such as behind Left Bank and then brave the crosswalk on Menlo Avenue. She said if people were flexible about it there were other places to park. She said parking was her only hesitation in supporting the project.

Chair Combs asked if the change from takeout to seated dining triggered the use permit. Associate Planner Meador said that the change in use triggered the use permit.

Commissioner Kahle asked about employee parking. Ms. Ciprez said she would ask her employees to park far away on the streets and not close to the business. Commissioner Kahle confirmed with Ms. Ciprez that employees would not park in the parking lot associated with the business.

Commissioner Kahle said he supported the project and moved to approve as proposed. Commissioner Barnes seconded the motion.

ACTION: Motion and second (Kahle/Barnes) to approve the use permit as recommended in the staff report; passes 5-0-2 with Commissioners Onken and Strehl absent.

1. The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:

- a. Development of the project shall be substantially in conformance with the plans prepared by Alan William Coon Architect, consisting of five sheets, dated received June 21, 2017, and the project description letter, dated received June 15, 2017, and approved by the Planning Commission on July 17, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
4. Approve the use permit subject to the following **project-specific** conditions:
- a. Prior to building permit issuance, the applicant shall provide compliant accessible parking subject to review and approval by the Building Division.

G. Study Session

- G1. Study Session/Jason Chang/1075 O'Brien Drive:
Request for a study session for the demolition of an existing single-story warehouse and manufacturing building and construction of a new eight-story mixed-use building with three levels of structured parking above grade, four floors of offices, a restaurant, café with outdoor seating, and rooftop garden in the LS-B (Life Sciences, Bonus) zoning district. The proposal also includes a request for a new chemical storage bunker on the east side of the existing building at 20 Kelly Court. The parcels at 20 Kelly Court and 1075 O'Brien Drive would also be merged. ([Staff Report #17-048-PC](#))

Principal Planner Rogers said the Item was continued tentatively to August 14, 2017. He said staff would send a notice to that effect.

H. Informational Items

- H1. Future Planning Commission Meeting Schedule

Commissioner Goodhue asked about expected items on the July 31 agenda. Principal Planner Rogers said Vice Chair Kahle would chair that meeting as Chair Combs would be absent. He said there were three residential use permits. He said the Transportation Division was starting its master plan process, an output of the ConnectMenlo implementation. He said they were seeking appointment of one Planning Commissioner for approval by the City Council to serve on the steering committee for the Transportation Master Plan.

Commissioner Barnes asked when the Facebook Willow Campus would come forward to the Planning Commission. Principal Planner Rogers said in about a year for action as that would most likely require an Environmental Impact Report (EIR) of some level. He said Facebook was considering revisions to a recent action relating to Buildings 21 and 22 and that most likely would be a Commission study session in September.

Chair Combs asked if it was one neighbor or multiple neighbors who had appealed the 445 Oak Court project to the City Council. Principal Planner Rogers said the technical appeal came from the adjacent left side neighbor. He said there was a follow up letter submitted by an attorney indicating

they were representing the appealing property owners as well as a few other property owners in the vicinity.

Commissioner Barnes asked about the Stanford Middle Plaza project. Principal Planner Rogers said the Planning Commission would next have a comprehensive review of the project for recommendation to the City Council possibly at the end of August.

- Regular Meeting: July 31, 2017
- Regular Meeting: August 14, 2017
- Regular Meeting: August 28, 2017
- Regular Meeting: September 11, 2017

H. Adjournment

Chair Combs adjourned the meeting at 8:30 p.m.

Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett



STAFF REPORT

Planning Commission

Meeting Date: 8/14/2017
Staff Report Number: 17-053-PC

Consent Calendar: Architectural Control/Bill Hagman/8 Homewood Place

Recommendation

Staff recommends that the Planning Commission approve a request for an Architectural Control revision to modify an existing parking lot in order to construct an outdoor patio with seating on a lot at 8 Homewood Place in the C-1 (Administrative and Professional District, Restrictive) zoning district. The new patio would replace seven parking spaces, resulting in a total of 109 parking spaces, where 106 are required. The recommended actions are included as Attachment A.

Policy Issues

Each architectural control request is considered individually. The Planning Commission should consider whether the required architectural control findings can be made for the proposal.

Background

Site location

The subject property is located at 8 Homewood Place in the C-1 (Administrative and Professional District, Restrictive) zoning district. The project site is developed with a one-story office building and a surface parking lot. The existing development currently at the site property received use permit and architectural control approval in 1954. A comprehensive building/site renovation was approved under an architectural control revision in 2005. Access to the property is provided from Linfield Drive, as well as from a driveway on Homewood Place. Each driveway provides two-way access to and from the site.

The parcel to the west of the project site is located in the PF (Public Facilities) zoning district, and is occupied by the USGS (US Geological Survey) campus. The parcels across Linfield Drive and Homewood Place, to the east and north of the site, are located within the R-3(X) (Apartment, Conditional Development District) zoning district and contain single family homes on small lots. The parcels to the south of the site, are located in the R-3-A (Garden Apartment Residential District) zoning district and are occupied by multi-family dwelling units.

Analysis

Project description

The applicant is proposing to add a patio area along the south elevation of the existing one-story office building. To accommodate the patio, landscape and site improvements are also proposed. The

improvements include new landscaping, walkways, and a retaining wall. No modifications are proposed to the exterior building elevations.

To accommodate the site improvements, the overall parking count would be reduced by seven spaces, as is discussed in more detail later. The proposed project would not result in any changes to the gross floor area (GFA) or building coverage. The project plans and the project description letter are included in Attachments C and D respectively.

Design and materials

The existing building contains white stucco siding with relief joints, sheer glass walls, and a small patio area. The existing patio is accessed by an entry on the south elevation that also connects to the parking lot. The applicant is requesting the exterior modifications in order to expand the existing patio and update the design with a more contemporary style. The proposed patio would feature additional seating, new bike racks, and a seat wall. Concrete hardscaping would be installed for the walkways that would connect the patio to the parking lot, and interlocking pavers would be installed for a future furniture area. To delineate the patio from the driveway, a stucco retaining wall and a planting area featuring new trees and landscaping is proposed. The expanded patio could result in additional outdoor activity in this area, although this would typically be limited to standard business hours. The patio would also take the place of existing parking spaces, which currently create some noise/activity from vehicular movements and car door use. Overall, staff believes that the proposed changes would result in a consistent architectural design that would also be compatible with the existing building.

Parking and circulation

The C-1 zoning district requires one space for every 200 square feet of gross floor area. The building on the subject property is 21,139 square feet of gross floor area, which requires 106 spaces to meet the Zoning Ordinance requirements. The subject property currently contains a total of 116 spaces, which the patio improvements would reduce to a total of 109 parking spaces. As a result, the off-street parking would continue to exceed the minimum requirement.

Trees and landscaping

At present, there are eight trees in close proximity to the site improvements. Four of these trees are heritage trees, none of which are proposed for removal. Three new ornamental pear trees are proposed along the patio area. All new landscaping would comply with the Water Efficient Landscape Ordinance (WELO). Standard heritage tree protection measures would be ensured through recommended condition 3g. The arborist report is included as Attachment F.

Conclusion

Staff believes that the project would result in a consistent architectural design for the development as a whole and would generally complement the existing building. In addition, the proposed design, materials, and colors of the patio are compatible with those in the surrounding area. The proposed parking would continue to meet the Zoning Ordinance parking requirements. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Project Plans
- D. Project Description Letter
- E. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

Kaitie Meador, Associate Planner

Report reviewed by:

Thomas Rogers, Principal Planner

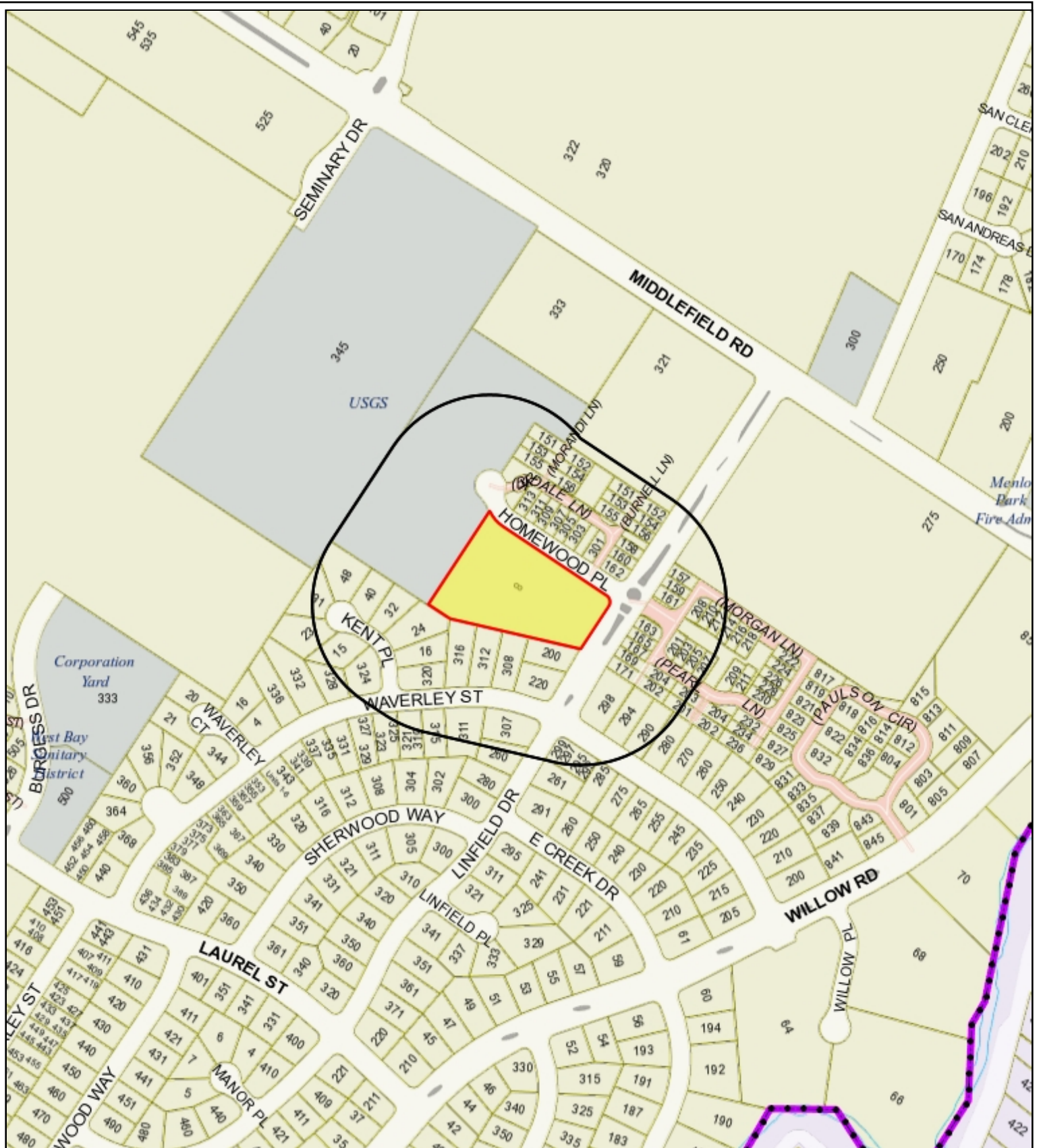
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8 Homewood Place – Attachment A: Recommended Actions

LOCATION: 8 Homewood Place	PROJECT NUMBER: PLN2016-00120	APPLICANT: Bill Hagman	OWNER: HKN II LLC
REQUEST: Request for an Architectural Control revision to modify an existing parking lot in order to construct an outdoor patio with seating on a lot in the C-1 (Administrative and Professional District, Restrictive) zoning district. The new patio would replace seven parking spaces, resulting in a total of 109 parking spaces, where 106 parking spaces are required.			
DECISION ENTITY: Planning Commission	DATE: August 14, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p>ACTION:</p> <ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval: <ol style="list-style-type: none"> a. The general appearance of the structure is in keeping with the character of the neighborhood. b. The development will not be detrimental to the harmonious and orderly growth of the city. c. The development will not impair the desirability of investment or occupation in the neighborhood. d. The development provides adequate parking as required in all applicable city ordinances and has made adequate provisions for access to such parking. e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made. 3. Approve the architectural control subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Reed Associates Landscape Architecture, consisting of 11 plan sheets, dated received July 27, 2017, approved by the Planning Commission on August 14, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. 			

8 Homewood Place – Attachment A: Recommended Actions

LOCATION: 8 Homewood Place	PROJECT NUMBER: PLN2016-00120	APPLICANT: Bill Hagman	OWNER: HKN II LLC
REQUEST: Request for an Architectural Control revision to modify an existing parking lot in order to construct an outdoor patio with seating on a lot in the C-1 (Administrative and Professional District, Restrictive) zoning district. The new patio would replace seven parking spaces, resulting in a total of 109 parking spaces, where 106 parking spaces are required.			
DECISION ENTITY: Planning Commission	DATE: August 14, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p>ACTION:</p> <ul style="list-style-type: none"> e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division if the net increase in impervious surface is greater than 500 square feet. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and arborist report prepared by Walter Levinson Consulting Arborist, dated May 10, 2017. 			



CITY OF
MENLO PARK

City of Menlo Park
Location Map
8 Homewood Place



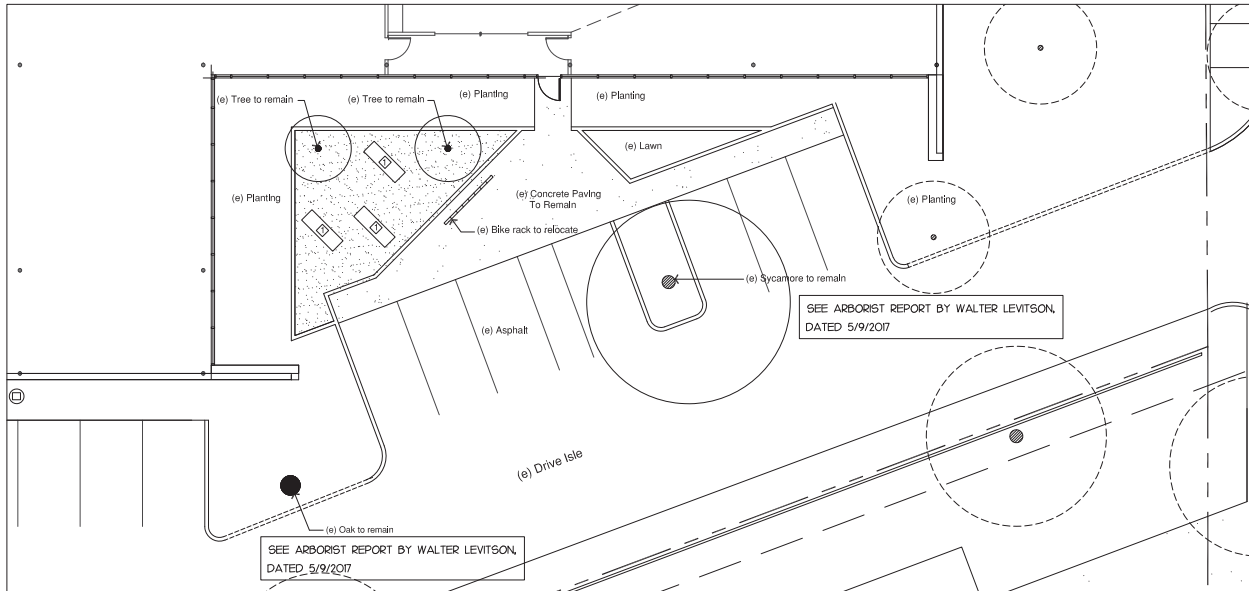
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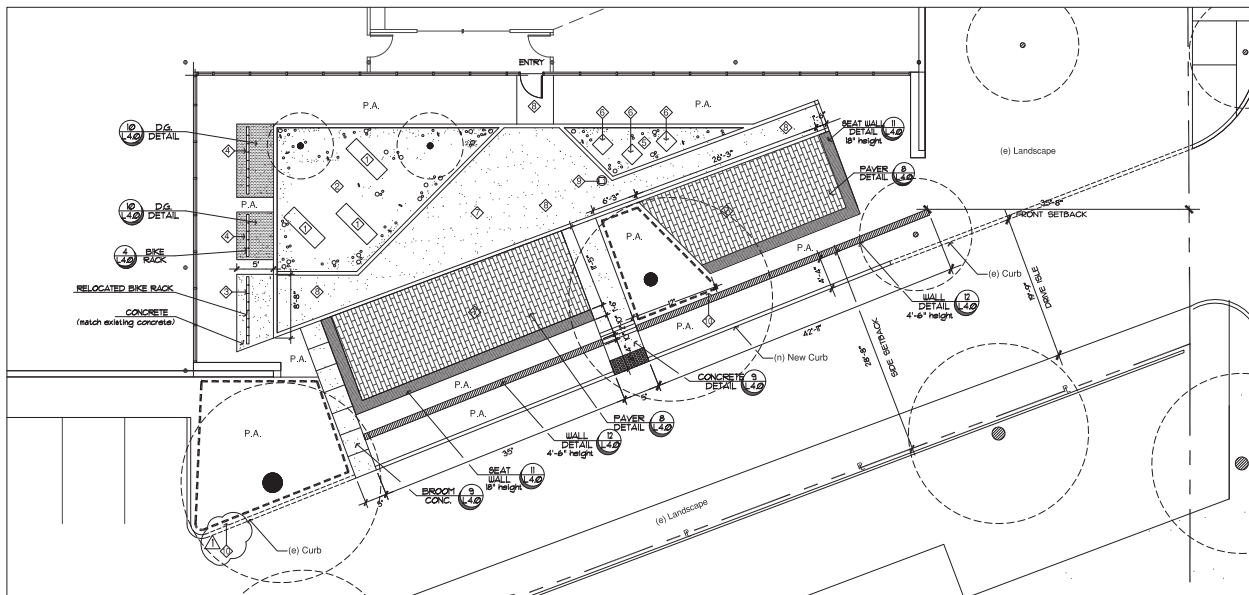
Checked By: THR

Date: 8/14/2017

Sheet: 1



EXISTING SITE CONDITIONS



NEW PATIO LAYOUT

LAYOUT NOTES

1. FOR ADDITIONAL INFORMATION SEE LANDSCAPE DETAILS AND SPECIFICATIONS.
2. GRADES MUST DRAIN AT A 5% SLOPE ON PAVEMENT SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES, FOR THE FIRST TEN FEET AWAY FROM THE STRUCTURE.
3. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
4. ALL GRADING AND DRAINAGE IS DESIGN AND BUILD.
5. THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MAY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS.
6. ALL DIMENSIONS ARE TO BE TAKEN FROM FACE OF CURBS, FACE OF WALLS, AND FACE OF BUILDINGS UNLESS OTHERWISE NOTED ON PLANS.
7. (P.A) INDICATES PLANTING AREA.
8. CONTRACTOR SHALL KEEP EXISTING SITE DRAINAGE PATTERNS.
9. PRIOR TO ANY DIGGING, CALL UNDERGROUND SERVICE ALERT.

LAYOUT LEGEND

P.A. — INDICATES PLANTING AREA

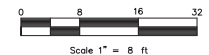
(e) EXISTING TREE TO REMAIN

TREE PROTECTION SPECIFICATIONS- MENLO PARK

1. A 4" LAYER OF COARSE MULCH OR WOODCHIPS IS TO BE PLACED BENEATH THE DROPLINE OF THE PROTECTED TREES. MULCH IS TO BE KEPT 12" FROM THE TRUNK.
2. PROTECTIVE BARRIERS OF A CHAIN LINK FENCING SHALL BE INSTALLED AROUND THE DROPLINE OF PROTECTED TREES. THE FENCING CAN BE MOVED WITH THE DROPLINE IF AUTHORIZED BY THE PROJECT ARCHITECT. THE FENCING SHALL BE 42" HIGH AND BE SPACED 7' TO THE DROPLINE. THE DISTANCE BETWEEN POSTS SHALL BE 10' IN DIAMETER AND MUST BE SUFFICIENT TO THE DROPLINE. THE DISTANCE BETWEEN POSTS SHALL NOT BE MORE THAN 1/3 THE PROTECTION ZONE (TPZ) OF THE TREE.
3. MOVABLE BARRIERS OF THE PROJECT ARCHITECT AND CITY ARCHITECTS SHALL BE SUBSTITUTED FOR FIXED FENCING IF THE PROJECT ARCHITECT AND CITY ARCHITECTS AGREE THAT THE FENCING WILL HAVE TO BE MOVED TO ACCOMMODATE THE PROJECT. THE BULKY MAY NOT MOVE THE FENCE WITHOUT AUTHORIZATION FROM THE PROJECT ARCHITECT OR CITY ARCHITECT.
4. WHERE THE CITY ARCHITECT OR PROJECT ARCHITECT HAS DETERMINED THAT TREE PROTECTION FENCING WILL INTERFERE WITH THE SAFETY OF WORK CREWS, TREE WADDS MAY BE USED AS AN ALTERNATIVE FORM OF PROTECTION. TREE WADDS SHALL BE 12" HIGH AND BE SPACED 7' TO THE DROPLINE. THE WADDS SHALL BE MADE OF 2" DIA. ROUND BARKED LOGS OR MORE OF ORANGE PLASTIC CONSTRUCTION FENCING IS TO BE USED AROUND THE TREE. TREE WADDS SHALL BE INSTALLED AROUND THE TRUNK OF THE TREE TO PROVIDE PROTECTION AS DETERMINED BY THE CITY ARCHITECT OR PROJECT ARCHITECT. STRAW WADDS MAY ALSO BE USED ON GRASS. WADDS SHALL BE INSTALLED AROUND THE TRUNK TO A MINIMUM HEIGHT TO BE WRAPPED AND SECURED AROUND THE DROPLINE.
5. AVOID THE FOLLOWING CONDITIONS:
 - DO NOT:
 - A. ALLOW RUN OFF OF SPILLAGE OF DAMAGING MATERIALS INTO THE AREA BELOW ANY TREE CANOPY.
 - B. STORE MATERIALS, STOCKPILE SOIL, OR PARK OR DRIVE VEHICLES WITHIN THE TPZ.
 - C. CUT, BREAK, SEAL, BRUISE ROOTS, BRANCHES, OR TRUNKS WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE CITY ARCHITECT.
 - D. ALLOW FIRES UNDER AND ADJACENT TO TREES.
 - E. DISCHARGE EXHAUST INTO FOULAGE.
 - F. SECURE CABLE, CHAIN, OR ROPE TO TREES OR SHRUBS.
 - G. TRENCH, DIG, OR OTHERWISE EXCAVATE WITHIN THE DROPLINE OR TPZ OF THE TREE(S) WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE CITY ARCHITECT.
 - H. APPLY SOIL STERILANTS UNDER PAVEMENT NEAR EXISTING TREES.
6. ONLY EXCAVATION BY HAND OR COMPRESSED AIR SHALL BE ALLOWED WITHIN THE DROPLINE OF TREES. MACHINE TRENCHING SHALL NOT BE ALLOWED.
7. AVOID ANY USE OF TREE REMOVAL MACHINES WHICH IS BEING USED OUTSIDE OF THE DROPLINE OF TREES. ENCOUNTERED ROOTS SMALLER THAN 2" THE WALL OF THE TRENCH ADJACENT TO THE TRENCH AND CUT ROOTS SHALL BE GIVEN A CLEAN CUT TO REMOVE DAMAGED END. SMALLER ROOTS OF THE TRENCH ADJACENT TO THE TREES SHALL BE KEPT SHAVED WITH FOUR LAYERS OF DAMPENED 4" OR LARGER WHEN ENCOUNTERED SHALL BE REPORTED IMMEDIATELY TO THE PROJECT ARCHITECT WHO WILL REPORT TO THE CITY ARCHITECT. ROOTS SHALL BE PROTECTED WITH DAMPENED BURLAP. ROOTS SHALL ONLY OCCUR UNDER THE DIRECTION OF A CERTIFIED ARBORIST.
8. ROUTE TIRES OUTSIDE OF THE AREA THAT IS 10 TIMES THE DIAMETER OF A PROTECTED TREE TO AVOID CONFLICT WITH ROOTS.
9. WHERE IT IS NOT POSSIBLE TO REMOVE PILES OF TRUNKS, THE CONTRACTOR SHALL REMOVE THEM IF THE SOIL IN CLOSE TO AVOID ENCOUNTERING PROTECTED ROOTS.
10. TREES THAT HAVE BEEN IDENTIFIED IN THE ARCHITECT'S REPORT AS BEING IN POOR HEALTH AND/OR DOING A HEALTH OR SAFETY RISK MAY BE REMOVED OR PRUNED BY MORE THAN ONE TREE SUBJECT TO APPROVAL OF THE CITY ARCHITECT. THE PLANNING DEPARTMENT OF EXISTING LIMBS AND ROOTS SHALL ONLY OCCUR UNDER THE DIRECTION OF A CERTIFIED ARBORIST.

KEY LEGEND

- ① EXISTING STONE BENCH TO REMAIN.
- ② EXISTING GRAVEL TO REMAIN.
- ③ EXISTING BIKE RACK - RELOCATED.
- ④ NEW BIKE RACK - SEE DETAIL#4 ON SHEET L4.0 (2 BIKE RACKS ADDED)
- ⑤ NEW GRAVEL AREA (LAWN TO BE REMOVED).
- ⑥ 2'x2' STONE BENCHES (NEW)
- ⑦ FUTURE SITE FURNITURE
- ⑧ EXISTING CONCRETE TO REMAIN.
- ⑨ EXISTING LIGHT POLE TO REMAIN.
- ⑩ TREE PROTECTION FENCING (SEE DETAIL 8, L4.0)



PATIO PROJECT
8 HOMEWOOD MENLO PARK, CA

ISSUE	DATE
① CITY COMMENTS	08.27.17
② CITY COMMENTS	09.28.17
③ CITY COMMENTS	07.10.17



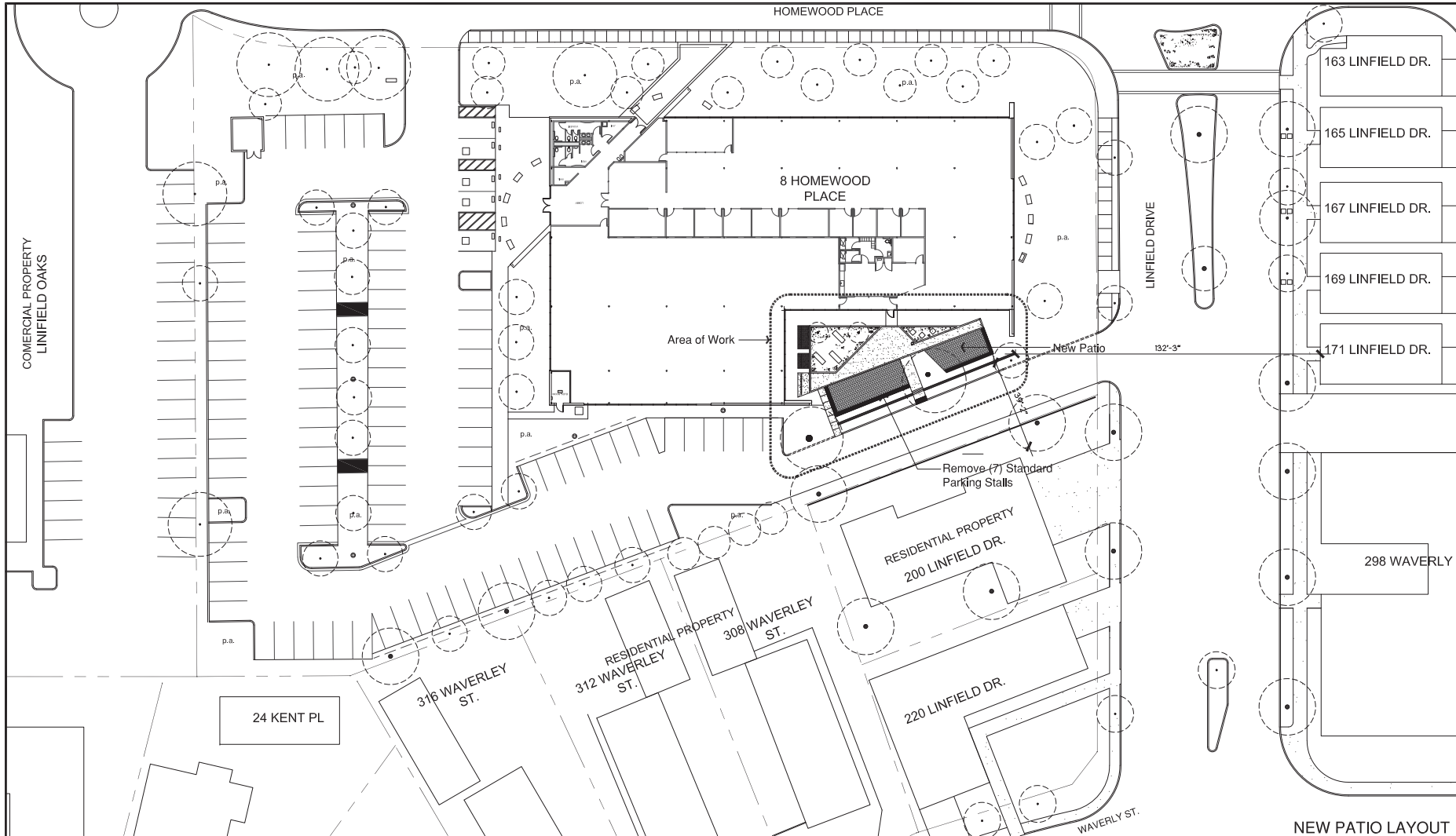
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Scale 1" = 8'		Issue Date 07.10.17	



LANDSCAPE LAYOUT PLAN

L1.0
Sheet of



PROJECT DATA:

APN: 062-421-010
 SITE AREA: 2.02 ACRES
 ZONING: C-1
 EXISTING BUILDING AREA: (GROSS TOTAL) : 21,139 S.F.
 - NO INCREASE IN AREA.
PARKING SUMMARY:
 - OFFICE USE: PARKING REQUIRED: 5/1,000 S.F. = 106
 - EXISTING PARKING PROVIDED: 116 STANDARD SPACES - 5 ACCESSIBLE SPACES
 - PROPOSED PARKING PROVIDED: 109 STANDARD SPACES - 5 ACCESSIBLE SPACES
 TOTAL NEW OR REHABILITATED LANDSCAPE AREA: 2,422 SQFT

ALLOWABLE AREA TABULATION

PER 2001 CBC TABLE 5B B OCCUPANTS V-N TYPE
 CONSTRUCTION ALLOWABLE AREA 8,000 S.F.
 PER 2001 CVC SECTION 505.3 AREA MAY BE TRIPLE WITH INSTALLATION OF
 FIRE SPRINKLERS - ALLOWABLE AREA 24,000S.F.
 EXISTING BUILDING = 21,139 S.F.
 TOTAL BUILDING: 21,139 S.F. < 24,000 S.F. ALLOWED: OK.

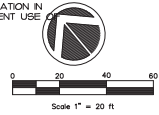
CONSTRUCTION TYPE V-N SPRINKLED
 OCCUPANCY TYPE GROUP B
 FIRE SPRINKLERS REQUIRED YES
 APPLICABLE CODES: 2001 CALIFORNIA BUILDING CODE (1997 UBC)
 2001 CALIFORNIA FIRE CODE (1997 UFC)
 2001 CAC, T-24 HANDICAPPED ACCESS

LAYOUT LEGEND

- P.A. - INDICATES PLANTING AREA
- - EXISTING TREE TO REMAIN

LANDSCAPE ARCHITECT STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE WATER IN THE LANDSCAPE DESIGN PLAN.



REED ASSOCIATES
 LANDSCAPE ARCHITECTURE
 477 SOUTH TAMPEE STREET
 SUNNYSIDE, CALIFORNIA 94086
 415.434.4100 • FAX 415.434.4100
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PATIO PROJECT
 8 HOMEWOOD
 MENLO PARK, CA

ISSUE	DATE
▲ CITY COMMENTS	08.27.17
▲ CITY COMMENTS	08.28.17
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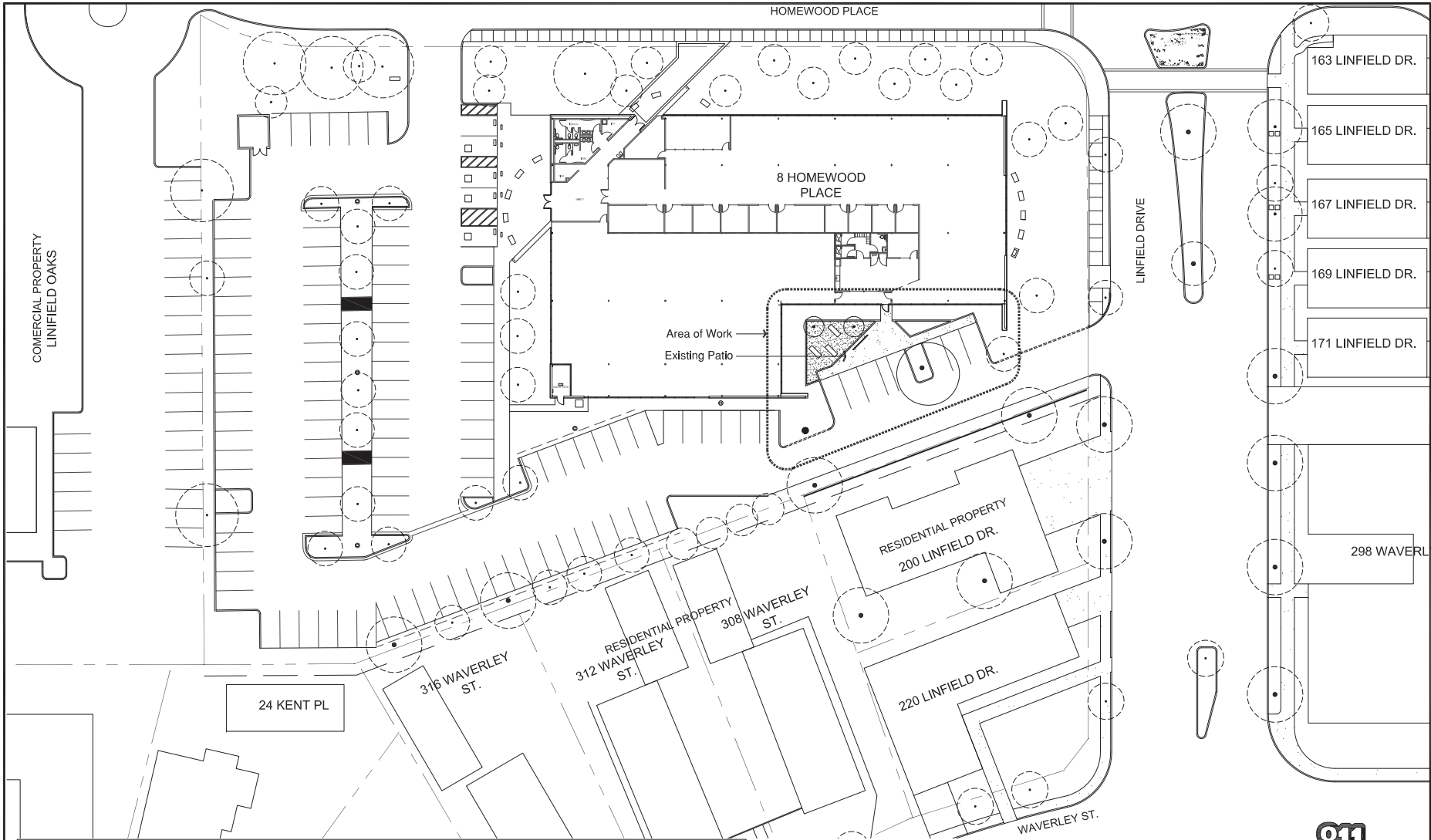
Approved: P.J.R. Drawn: DS. Reviewed: P.J.R.
 Project No. 15.57 Issue Date 07.10.17
 Scale 1"=20'



SITE LAYOUT PLAN

L1.1

Sheet of



PROJECT DATA:

APN: 062-421-010
 SITE AREA: 2.02 ACRES
 ZONING: C-1
 EXISTING BUILDING AREA: (GROSS TOTAL) : 21,139 S.F.
 - NO INCREASE IN AREA.

ALLOWABLE AREA TABULATION

PER 2001 CBC TABLE 5B B OCCUPANTS V-N TYPE
 CONSTRUCTION ALLOWABLE AREA 8,000 S.F.
 PER 2001 CVC SECTION 505.3 AREA MAY BE TRIPLE WITH INSTALLATION OF
 FIRE SPRINKLERS - ALLOWABLE AREA 24,000S.F.
 EXISTING BUILDING = 21,139 S.F.
 TOTAL BUILDING: 21,139 S.F. < 24,000 S.F. ALLOWED: OK.

PARKING SUMMARY:

- OFFICE USE: PARKING REQUIRED: 5/1,000 S.F. = 106
 - EXISTING PARKING PROVIDED: 116 STANDARD SPACES -
 5 ACCESSIBLE SPACES
 - PROPOSED PARKING PROVIDED: 109 STANDARD SPACES -
 5 ACCESSIBLE SPACES
 TOTAL NEW OR REHABILITATED LANDSCAPE AREA: 2,422 SQFT

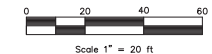
CONSTRUCTION TYPE V-N SPRINKLED
 OCCUPANCY TYPE GROUP B
 FIRE SPRINKLERS REQUIRED YES
 APPLICABLE CODES: 2001 CALIFORNIA BUILDING CODE (1997 UBC)
 2001 CALIFORNIA FIRE CODE (1997 UFC)
 2001 CAC, T-24 HANDICAPPED ACCESS

LAYOUT LEGEND

- P.A. - INDICATES PLANTING AREA
- EXISTING TREE TO REMAIN

LANDSCAPE ARCHITECT STATEMENT

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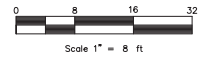
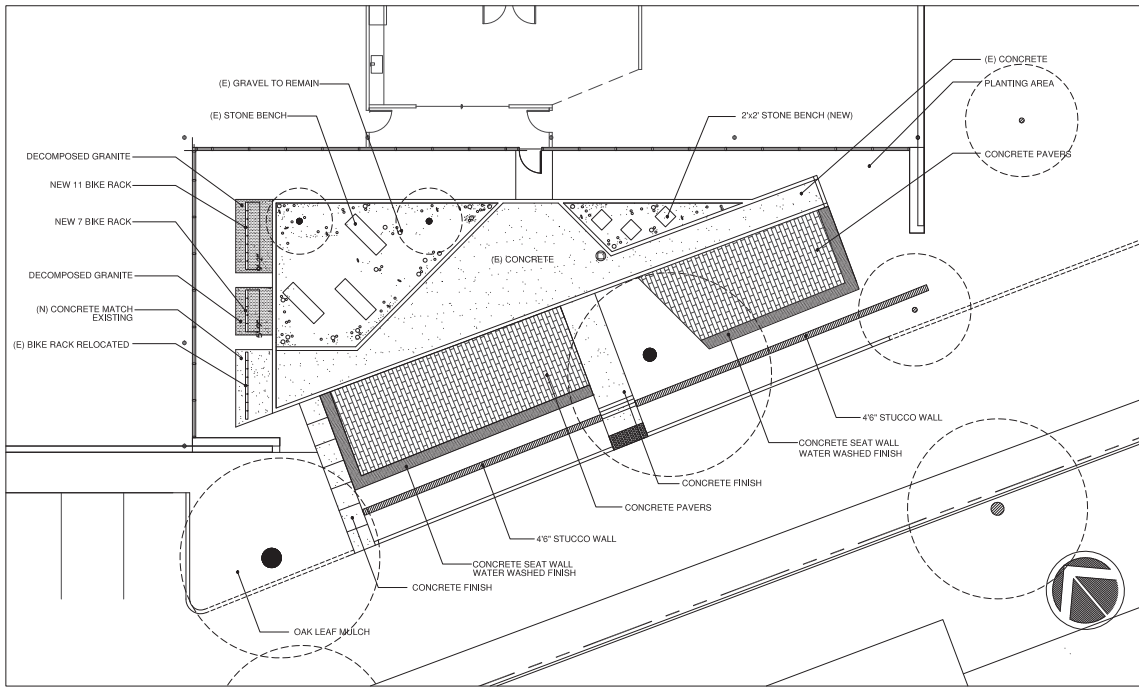
Approved	FOR	Reviewed	FOR
Project No. 15.57	DS	DS	PJR
Scale 1"=20'		Issue Date	07.10.17



EXISTING SITE LAYOUT PLAN

L1.2

Sheet of



CONCRETE PAVERS
 PRODUCT NAME: CALSTONE
 'NARROW MODULAR PAVERS'
 COLOR: #50, #52, #80



CONCRETE FINISH
 COLOR: NATURAL



STUCCO FINISH
 COLOR: BIRCH



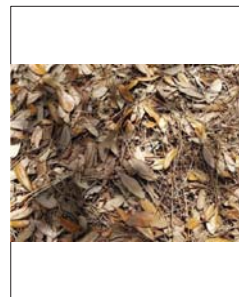
BIKE RACK
 PRODUCT NAME: DUMOR
 MODEL: 125
 COLOR: COATED W/ ZINC RICK
 EPOXY THEN FINISHED W/
 POLYESTER POWDER COATING



SEATWALL
 MADE ON SITE, WATER
 WASHED FINISHED



2'X2' BENCH
 PRODUCT NAME: COLD SPRING
 COLOR: SIERRA WHITE



OAK LEAF MULCH



DECOMPOSED GRANITE
 COLOR: 'CALIFORNIA GOLD
 FINES'

PATIO
 PROJECT

8 HOMEWOOD
 MENLO PARK, CA

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Δ CITY COMMENTS	03.27.17
Δ CITY COMMENTS	05.25.17
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Drawn	DS
Reviewed	PUR
Project No.	1557
Scale	1"=20'
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COLORS AND
 MATERIAL BOARD



Know what's below.
 Call before you dig.

L1.3

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PATIO PROJECT

8 HOMEWOOD
MENLO PARK, CA

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▲ CITY COMMENTS	05.25.17
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Approved: JLR
Drawn: DS Reviewed: PUR
Project No. 15.57
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LANDSCAPE 3D
VIEWS

L1.4

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ISSUE	DATE
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▲ CITY COMMENTS	07.10.17



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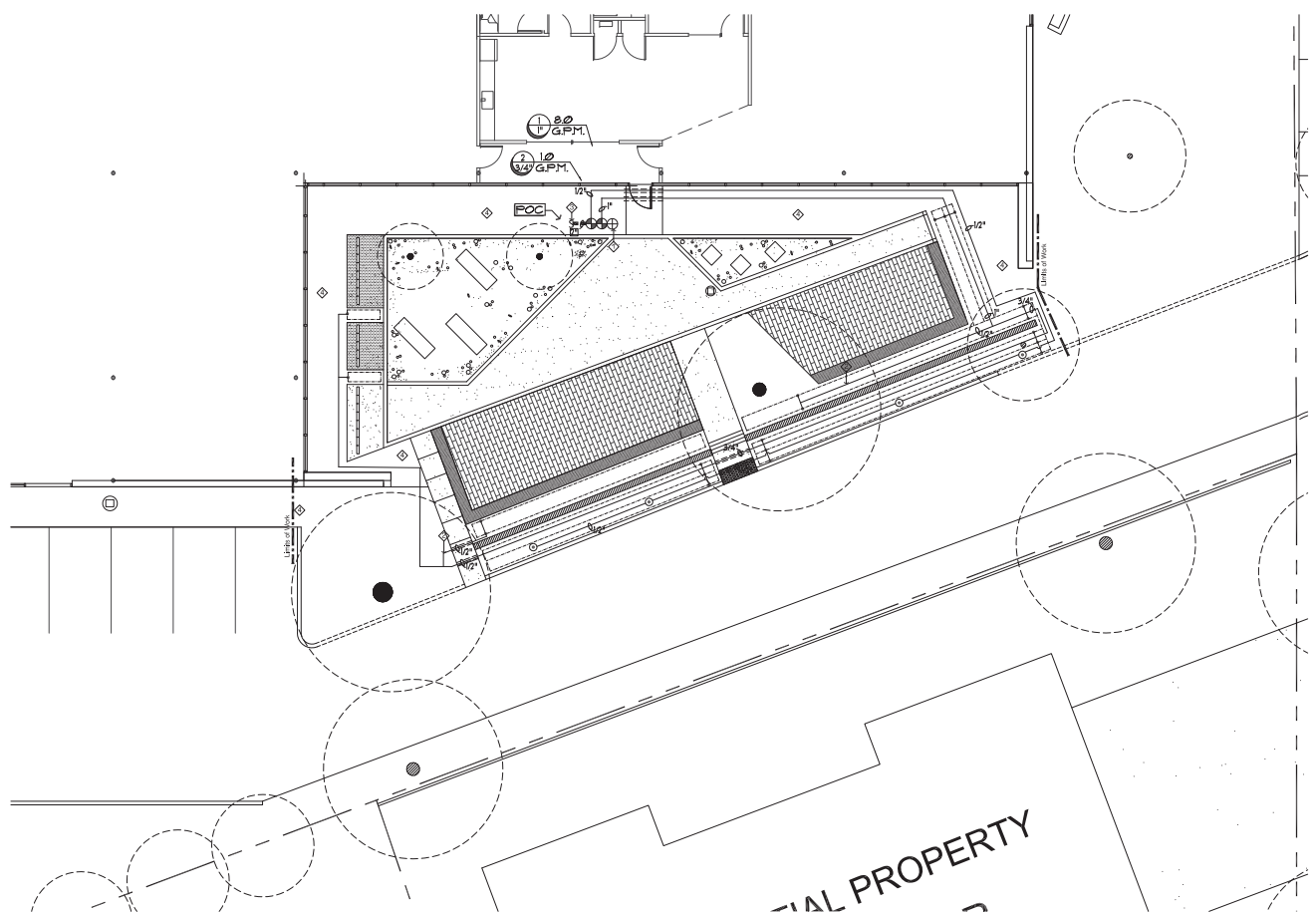
Approved: JULIE REED RLR
 Date: 07.10.17
 Project No: 15.57
 Scale: 1"=8'
 Issue Date: 07.10.17



LANDSCAPE IRRIGATION PLAN



L2.0
 Sheet of



IRRIGATION LEGEND

KEY	DESCRIPTION
---	POINT OF CONNECTION (CONNECT TO EXISTING IRRIGATION MAINLINE)
[Symbol]	CONNECT TO MAINLINE AT THE SAME SIZE OR EXISTING MAINLINE. VERIFY SYSTEM CAPACITY TO INCORPORATE NEW IRRIGATION SYSTEM PRIOR TO CONSTRUCTION.
[Symbol]	ENSURE EXISTING IRRIGATION MAINLINE IS CONNECTED TO A SEPARATE IRRIGATION WATER METER WITH A BFP DEVICE THAT COMPLIES WITH ALL LOCAL CODES AND ORDINANCES. VERIFY PRIOR TO CONSTRUCTION.
----	SCHEDULE 40 - or - CLASS 315 PVC PRESSURE MAINLINE (SIZE AS NOTED)
----	SCHEDULE 40 PVC NON-PRESSURE FLEXIBLE UNDER PAVEMENT PVC (SIZE AND NOTED)
----	CLASS 200 PVC NON-PRESSURE LATERAL LINE (SIZE AS NOTED)
[Symbol]	INDICATES CONTROLLER STATION NO.
[Symbol]	INDICATOR VALVE SIZE.
[Symbol]	EXISTING IRRIGATION CONTROLLER TO REMAIN. VERIFY LOCATION IN FIELD.
[Symbol]	RANDBRD - QUICK COUPLER VALVE - 3/4" (33-DRK)
[Symbol]	INSTALL 1/2" SERIES ULTRA-FLOW - ELECTRIC VALVE - (SIZE AS NOTED)
[Symbol]	(SEE DRIP IRRIGATION DETAILS FOR CONTROL VALVES ON DRIP LINE CIRCUITS)
[Symbol]	INSTALL 1/2" SERIES ULTRA-FLOW - ELECTRIC VALVE - (SIZE AS NOTED). TREE RUNDLE ONLY.
[Symbol]	(SEE DRIP IRRIGATION DETAILS FOR CONTROL VALVES ON DRIP LINE CIRCUITS)
KEY	DESCRIPTION
[Symbol]	RANDBRD 1/2" @ 25gpm
[Symbol]	FLOOD BUBBLER ON FLEX TUBE - 30PSI
KEY	DESCRIPTION
[Symbol]	RANDBRD 1/2"-D-9-300 (SURFACE DRIP CHECK VALVE)
[Symbol]	30 GPM DRIPLINE AT 10" SPACING
[Symbol]	CONTROL ZONE FILTER KIT - IF MAX. FLOW OF 30 GPM
[Symbol]	OR DRIPLINE HEADERT DIA. AT 10" SPACING
[Symbol]	1/2"-D-9-300
[Symbol]	INSTALL PER MANUFACTURER'S SPECIFICATIONS

LANDSCAPE ARCHITECT STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



EXISTING IRRIGATION NOTES

- CONTRACTOR SHALL MAINTAIN EXISTING MAINLINES IN WORKING ORDER. COORDINATE ALL INTERRUPTIONS OF OPERATION OF THE EXISTING IRRIGATION TO A MINIMUM. COORDINATE ALL INTERRUPTIONS WITH THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING IRRIGATION EQUIPMENT DAMAGED DURING CONSTRUCTION AND IF DAMAGED, SHALL REPLACE WITH SAME MANUFACTURER AND MODEL.
- ANY EXISTING IRRIGATION CONTROL VALVES CONNECTED TO EXISTING CONTROLLERS SHALL BE RECONNECTED TO EXISTING CONTROLLERS. CONFIRM PROPER CONTROLLER OPERATION AND INSTALLATION WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK AND UPON COMPLETION OF WORK.
- CONTRACTOR SHALL CONFIRM THE EXISTING CONTROLLER MAKE AND MODEL AND SHALL CONFIRM THAT SAID CONTROLLER HAS ADEQUATE OPEN STATIONS TO OPERATE ANY ADJUSTED AND ALL PROPOSED IRRIGATION SYSTEM MODIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR/MODIFICATION/ROUTING OF ALL ADJACENT IRRIGATION SYSTEM EQUIPMENT THAT IS AFFECTED BY NEW CONSTRUCTION IMPROVEMENTS. CONTRACTOR SHALL REPAIR SAID SYSTEMS TO A LIKE NEW MANNER, PROVIDING NO LESS THAN 100% OF HEAD RADIIUS COVERAGE IN ALL AREAS WITH SYSTEM LAYOUT AS APPROVED BY OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY THE EXTENT OF THE EXISTING IRRIGATION SYSTEM AND MAKE ADJUSTMENTS TO CAP OFF OR MODIFY THE EXISTING SYSTEM TO MEET THE NEW LANDSCAPE CONDITIONS IF NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING BACKFLOW DEVICE AND TESTING FOR PROPER OPERATION. BACKFLOW DEVICE TO SATISFY ALL LOCAL ORDINANCES AND LAWS.

IRRIGATION NOTES

- SEE SPECIFICATION AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE ACTUAL SITE CONDITIONS AND THIS PLAN.
- THIS SYSTEM IS DESIGNED TO OPERATE WITH A STATIC WATER PRESSURE OF 70 PSI. VERIFY WATER PRESSURE PRIOR TO THE START OF CONSTRUCTION.
- THIS PLAN IS DIAGRAMMATIC AND DOES NOT NECESSARILY INDICATE ALL OFFSETS AND FITTINGS REQUIRED FOR A COMPLETE IRRIGATION SYSTEM.
- LOCATE ALL PIPING IN PLANTING AREAS WHERE EVER POSSIBLE.
- ADJUST ALL IRRIGATION HEADS TO INSURE PROPER COVERAGE AND AVOID EXCESSIVE OVERSHOOT.
- COORDINATE AUTOMATIC CONTROLLER ELECTRICAL WIRING WITH PROJECT ELECTRICIAN.
- VERIFY TYPE AND LOCATION OF BACKFLOW PREVENTION ASSEMBLY WITH LOCAL JURISDICTION PRIOR TO INSTALLATION.
- INSTALL CHECK VALVES AS REQUIRED TO PREVENT LOW-HEAD DRAINAGE.
- DETECTOR TAPE SHOULD BE INSTALLED WITH ANY PRESSURE LINES NOT BURIED IN THE SAME TRENCH WITH CONTROL WIRES AND WITH ANY LINES OF ANY KIND UNDER PAVING NOT IN A TRENCH WITH CONTROL WIRES.
- INSTALL TWO SPARE CONTROL WIRES ALONG THE ENTIRE MAINLINE. SPARE WIRES SHALL BE THE SAME COLOR ONE WITH A WHITE STRIPE AND OF A DIFFERENT COLOR THAN OTHER CONTROL WIRES. LOOP 3/8" EXCESSIVE WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
- EXISTING TREE TO REMAIN
- SUPPLEMENTAL "HAND" WATERING OF SHALOW AREAS PLANTED WITH SOO MAY BE NECESSARY IN WARM WEATHER TO ESTABLISH INO-WAIVE SOO. THE LANDSCAPE CONTRACTOR MUST INCLUDE THIS IN THEIR BID AND IN THE SCOPE OF WORK. DFT SOO WILL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

IRRIGATION PIPE SIZING CHART

CLASS 200 LATERAL PIPING	CLASS 315 SCHEDULE 40	CLASS 315 CONSTANT PRESSURE PIPING
1/2" -- 0-4 GPM	1/2" -- 5-9 GPM	2" -- 31-48 GPM
3/4" -- 5-9 GPM	1/2" -- 10-16 GPM	2 1/2" -- 49-65 GPM
1" -- 10-16 GPM	1/4" -- 17-26 GPM	3" -- 66-100 GPM
1 1/4" -- 17-26 GPM	1/2" -- 27-35 GPM	
1 1/2" -- 27-35 GPM		

IRRIGATION NOTES LEGEND

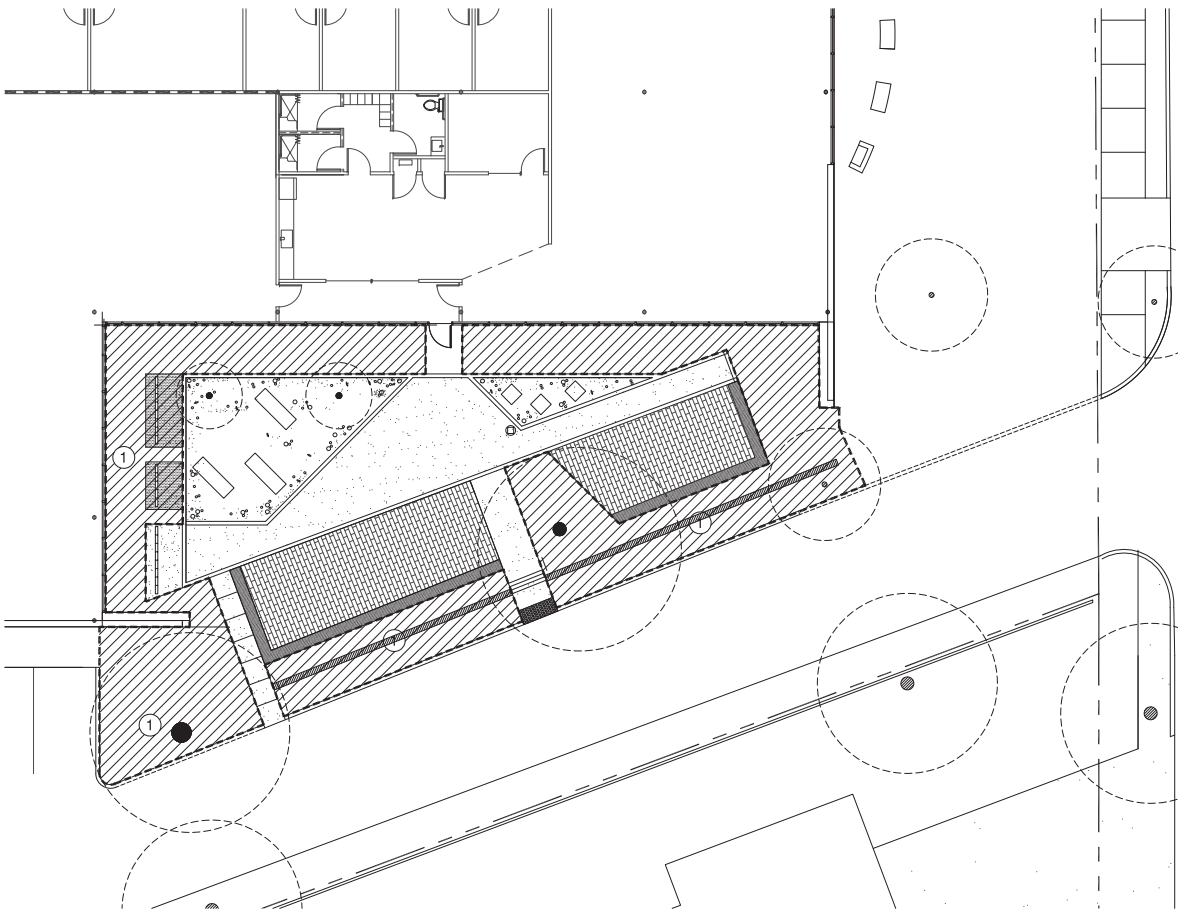
- EXISTING IRRIGATION CONTROL VALVE. TO REMAIN AND PROTECT DURING CONSTRUCTION. SEE EXISTING IRRIGATION SYSTEM NOTES ON THIS SHEET.
- HAND TRENCH IRRIGATION LINES WITHIN EXISTING TREE ROOT ZONE.
- POINT OF CONNECTION CONNECTED TO EXISTING IRRIGATION MAINLINE. VERIFY SYSTEM CAPACITY TO INCORPORATE NEW IRRIGATION SYSTEM PRIOR TO CONSTRUCTION. ENSURE EXISTING IRRIGATION MAINLINE IS CONNECTED TO A SEPARATE IRRIGATION WATER METER WITH A BFP DEVICE THAT COMPLIES WITH ALL LOCAL CODES AND ORDINANCES. VERIFY PRIOR TO CONSTRUCTION.
- EXISTING IRRIGATION SYSTEM TO REMAIN. CONTRACTOR TO MAINTAIN EXISTING IRRIGATION SYSTEM AND KEEP OPERATIONAL. PROTECT EXISTING IRRIGATION SYSTEM DURING CONSTRUCTION. SEE EXISTING IRRIGATION NOTES ON THIS SHEET.

DRIP IRRIGATION NOTES

- REFER TO DRIP IRRIGATION DETAILS FOR THE LAYOUT AND EXACT DIMENSIONS FOR THE DRIP LINES. THE DRIP LINES SHALL BE A MINIMUM OF 2" FROM ALL WALLS, CURBS AND WALLS. THE NUMBER OF DRIP LINES SHOWN ON PLANS MAY NOT REFLECT THE ACTUAL NUMBER REQUIRED. THE SPACING GUIDE SHALL TAKE PRECEDENCE. DRIP EMITTER LINES SHALL BE ADJUSTED TO HAVE A STAGGERED TRIANGULAR EMITTER LAYOUT PATTERN.
- THE SUPPLY LEADER AND EXHAUST HEADER, WHEN PVC, SHALL BE BURED AT A MINIMUM OF 12" BELOW GRADE.
- INSTALL THE AUTOMATIC AIR RELIEF VALVE AT THE HIGHEST POINT ON EACH CIRCUIT OR AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
- OPERATING PRESSURE FOR DRIP EMITTER LINE - 30 PSI (MIN) TO 60 PSI (MAX). 20 PSI TO BE PROVIDED AT THE FARTHEST EMITTER FROM THE P.O.C. VERIFY PRIOR TO CONSTRUCTION.



Scale 1" = 8' ft



Appendix B - Water Efficient Landscape Worksheet

Reference Evapotranspiration (ET₀) 50.0
 MAWA - Regular Landscape Areas
 $MAWA = (ET_0) \times (0.62) \times (0.45 \times LA) + (0.3 \times SLA)$
 Landscape area 1,886 s.f.
 ETAF .45 average ETAF for regular landscape areas must be 0.55 residential areas, and 0.45 for non-residential areas.
 mawa total 26,310 gallons per year

ETWU - Regular Landscape Areas
 $ETWU = (ET_0) \times (0.62) \times (ETAF \times LA)$

hydro-zone number	plant water use	plant factor (PF)	Irrigation method	Irrigation efficiency	ETAF (PF/IE)	hydro-zone area	ETAF x Area	ETWU
1	low	0.2	drip	0.81	0.247	1,886	465.7	14,436
totals						1,886	465.68	14,436

ETAF calculations
 total ETAF x area 465.68
 total area 1,886 s.f.
 average ETAF 0.247 Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

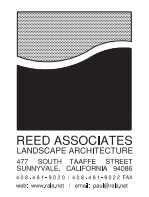
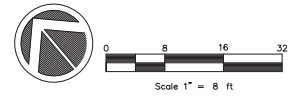
TOTALS
 MAWA total 26,310 gallons per year
 ETWU total 14,436 gallons per year
45.1 Percentage reduction of Potable Irrigation Water

IRRIGATION HYDRO-ZONE LEGEND

- PLANTS ARE GROUP TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS.
- HIGH WATER REQUIREMENT
 - MEDIUM WATER REQUIREMENT
 - LOW WATER REQUIREMENT (DROUGHT TOLERANT PLANTING)

LANDSCAPE ARCHITECT STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



PATIO PROJECT
 8 HOMEWOOD
 MENLO PARK, CA

ISSUE	DATE
CITY COMMENTS	08.27.17
CITY COMMENTS	09.28.17
CITY COMMENTS	07.10.17



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Approved: PJR
 Drawn: DS Reviewed: PJR
 Project No. 15.57
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LANDSCAPE HYDROZONE PLAN

L2.1



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8 HOMEWOOD MENLO PARK, CA

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LANDSCAPE ARCHITECT STATEMENT

LANDSCAPE PLANTING PLAN

Sheet of

PLANT NOTES:

1. THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
2. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
3. PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
4. SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
5. THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
6. ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 4:1 SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2% MIN).
8. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
9. ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN 1/8" FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
10. ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
11. THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
12. REFER TO CIVIL ENGINEER'S PLANS FOR OVERALL SITE GRADING AND DRAINAGE.
13. PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT - 1.800.227.2600

CITY NOTES:

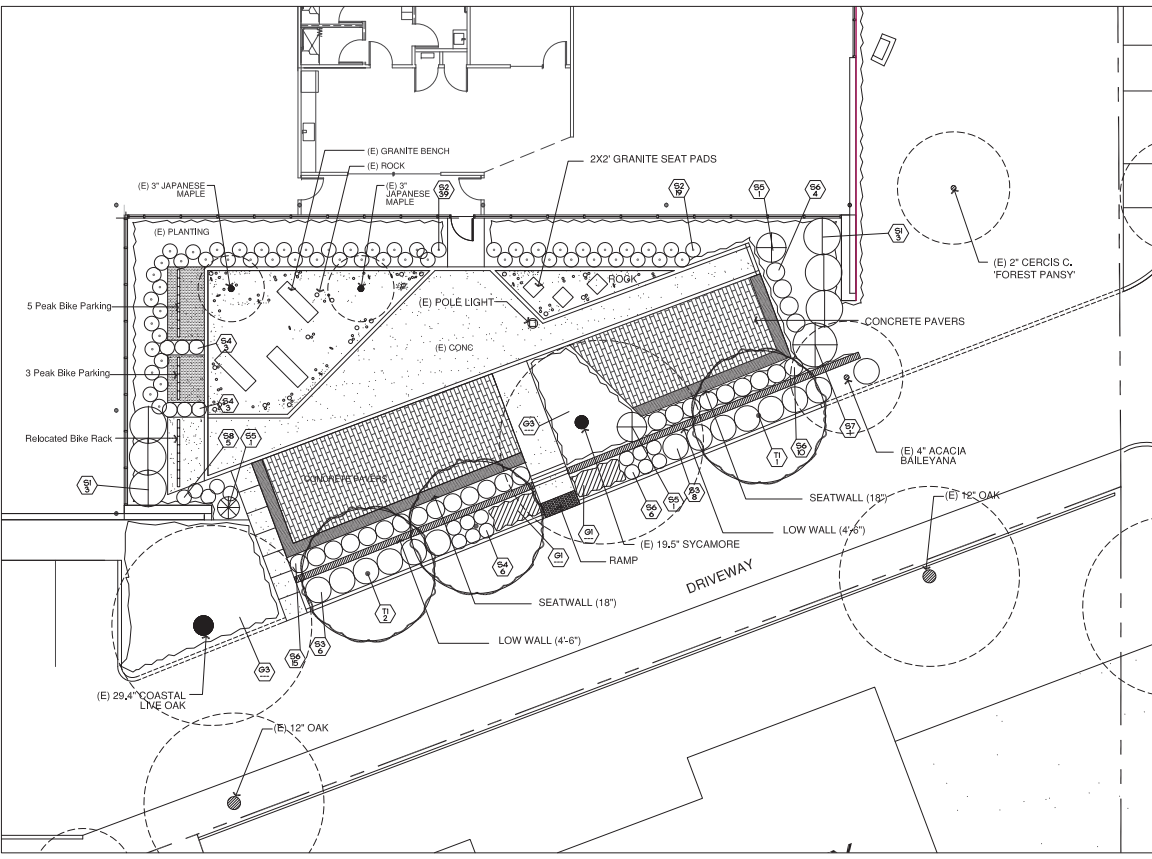
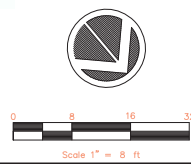
"ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES SHALL RECEIVE THE PRIOR APPROVAL OF AND BE SUPERVISED BY THE PROJECT ARBORIST. ROOTS SHOULD BE CUT WITH A SAW TO PROVIDE A FLAT AND SMOOTH CUT. REMOVAL OF ROOTS LARGER THAN 2" IN DIAMETER SHOULD BE AVOIDED "

PLANT SYMBOLS:



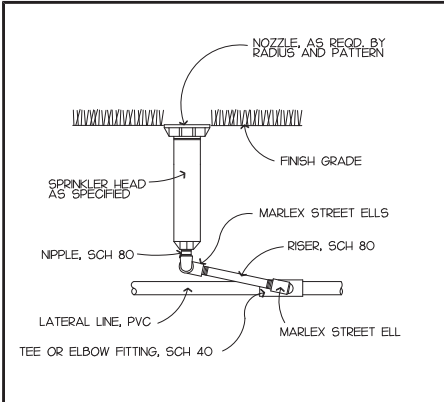
LANDSCAPE ARCHITECT STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

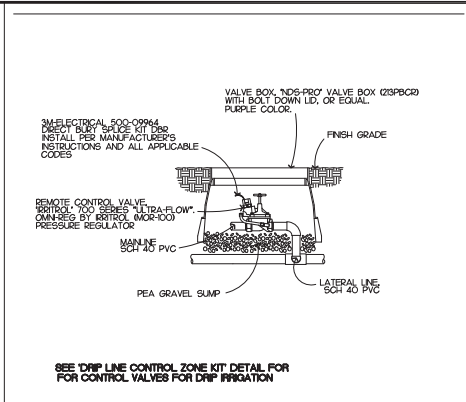


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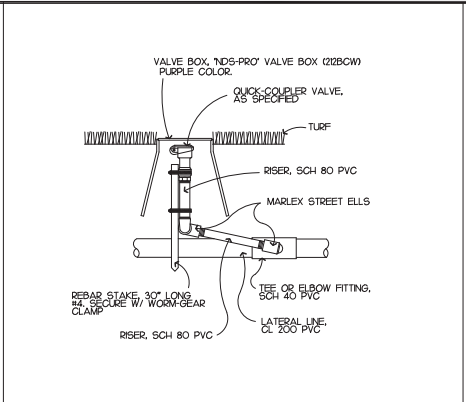
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES						
T1	PYRUS C. 'CAPITAL'	ORNAMENTAL PEAR	3	24" BOX	STANDARD	MEDIUM
SHRUBS						
S1	PITTOSPORUM T. 'VARIEGATA'	VARIEGATED TOBIRA	6	5 GAL		LOW
S2	BERGENIA 'EVENING GLOW'	BERGENIA	55	1 GAL.		LOW
S3	RHAPHIOLEPIS U. 'MINOR'	YEDDO HAAWTHORN	22	5 GAL		LOW
S4	HAKONECHLOA M. 'AUREOLA'	JAPANESE FOREST GRASS	6	5 GAL		MEDIUM
S5	PHORMIUM 'JESTER'	HYBRID FLAX	3	5 GAL		LOW
S6	NANDINA D. 'COMPACTA'	HEAVENLY BAMBOO	35	5 GAL		LOW
S7	PODOCARPUS MACROPHYLLUS	YEW PINE	1	5 GAL		MEDIUM
S8	PHORMIUM 'TINY TIGER'	DWARF VARIEGATED NEW ZEALAND FLAX	8	5 GAL		LOW
GROUND COVERS						
G1	PELARGONIUM PPELIATUM 'PINK'	IVY GERANIUM	---	1 GAL	24" O.C.	LOW
G2	COTONEASTER D. 'LOWFAST'	BEARBERRY COTONEASTER	---	1 GAL	36" O.C.	LOW
G3	OAK LEAF MULCH	3" DEEP	---	1 GAL	36" O.C.	LOW



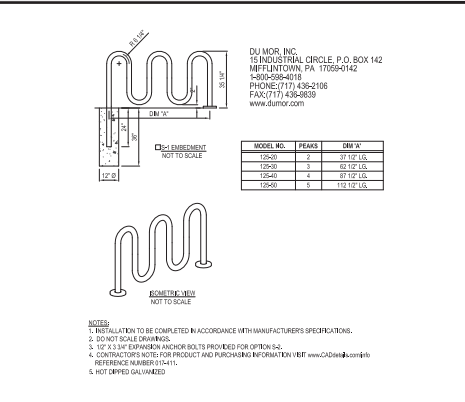
1 IRRIGATION HEAD DETAIL



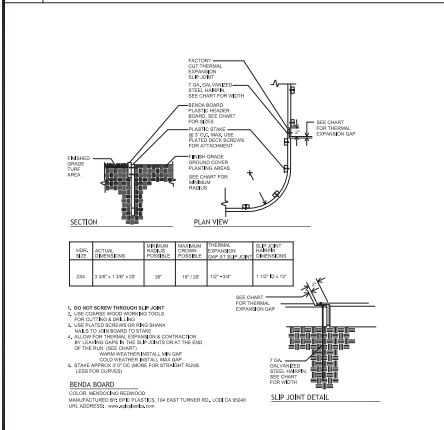
2 IRRIGATION CONTROL VALVE DETAIL



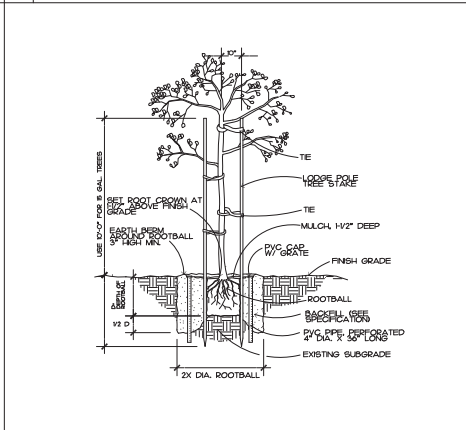
3 QUICK-COUPLER DETAIL



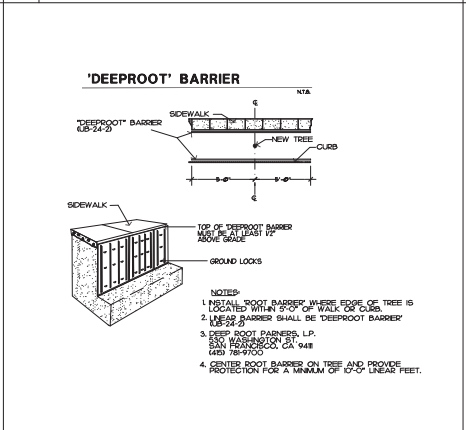
4 BIKE RACK



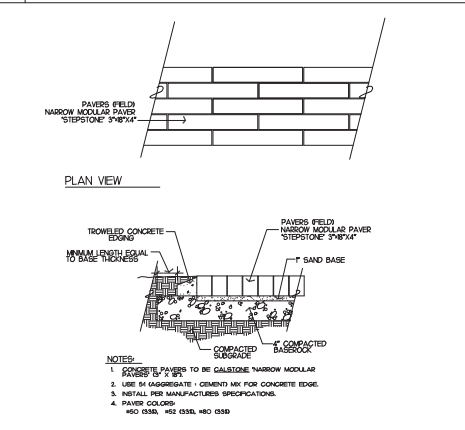
5 BENDBOARD' LAWN HEADER (OR EQUAL) DETAIL



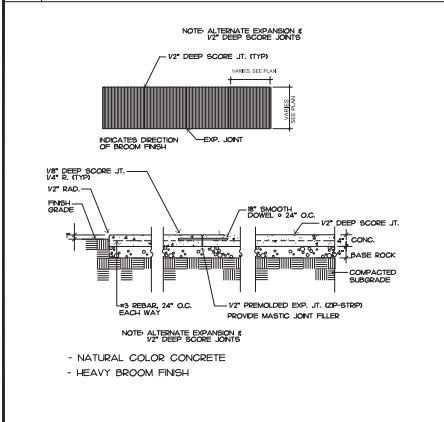
6 TREE PLANTING DETAIL



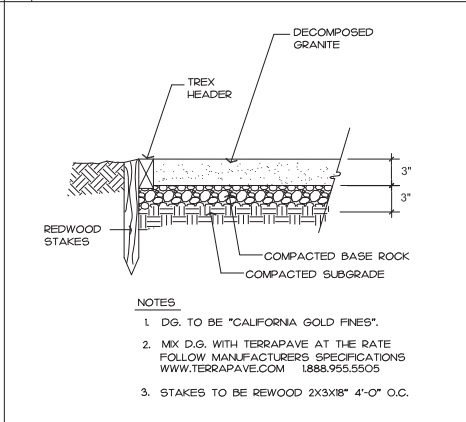
7 TREE ROOT BARRIER DETAIL



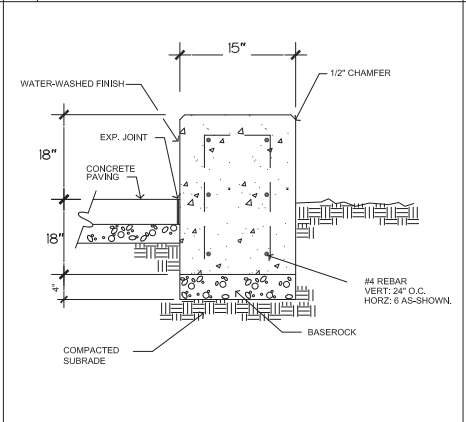
8 CONCRETE PAVER DETAIL



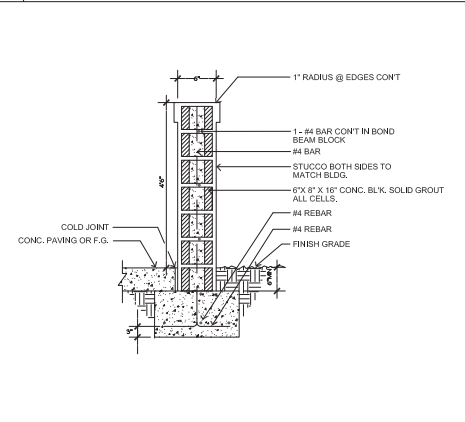
9 BROOM FINISH CONCRETE



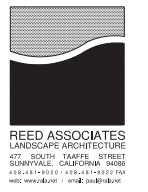
10 DECOMPOSED GRANITE



11 SEAT WALL



12 4'-6" WALL



PATIO PROJECT

8 HOMEWOOD MENLO PARK, CA

ISSUE	DATE
Δ CITY COMMENTS	08.27.17
Δ CITY COMMENTS	08.28.17
Δ CITY COMMENTS	07.10.17



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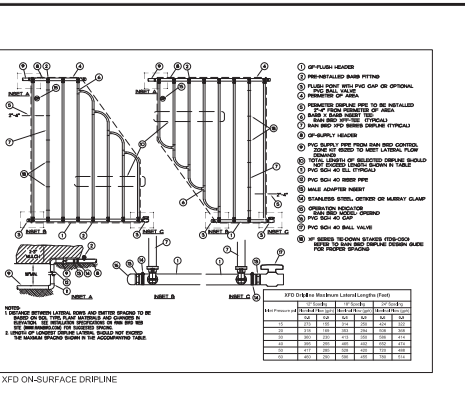
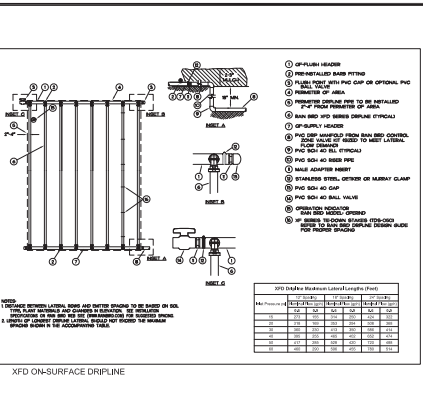
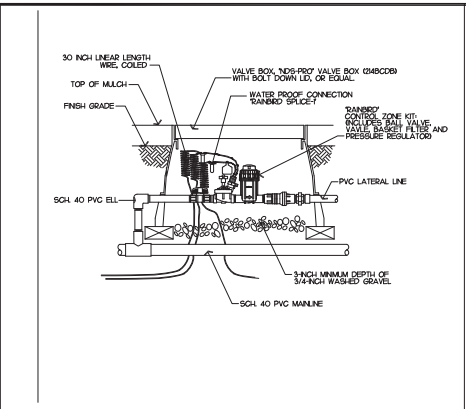
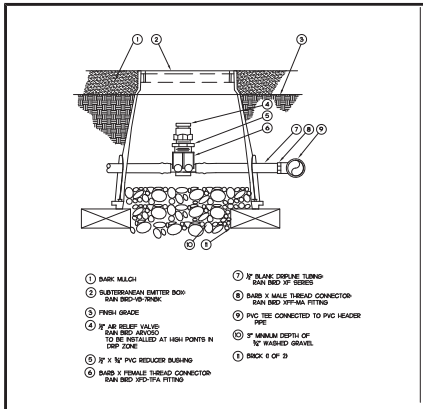
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Approved: JLR Date: 07.10.17
 Drawn: DS Date: 07.10.17
 Project No.: 15-57
 Scale: Issue Date: 07.10.17



LANDSCAPE CONSTRUCTION DETAILS

L4.0

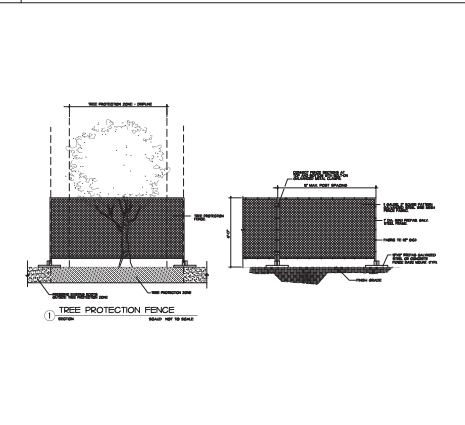
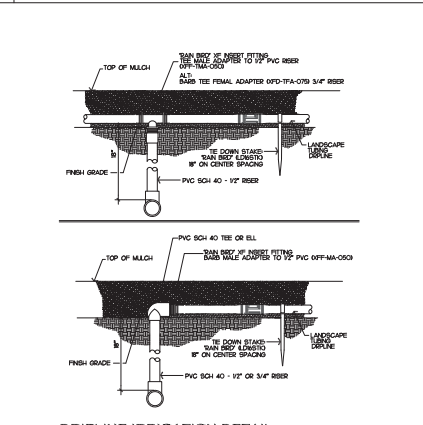
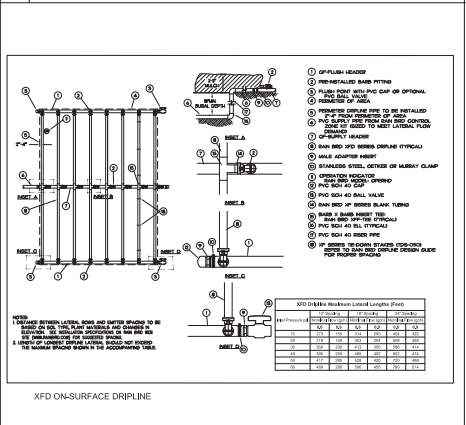
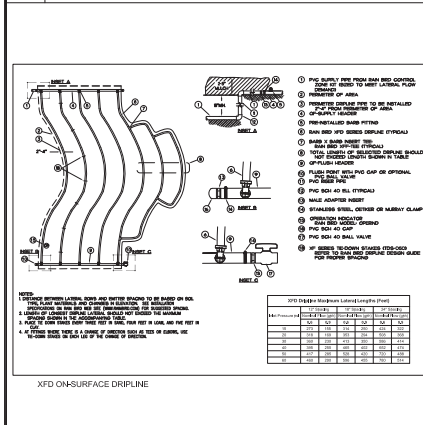


1 DRIP LINE AIR RELIEF VALVE

2 DRIP LINE CONTROL ZONE KIT DETAIL

3 DRIP EMITTER LINE DETAIL

4 DRIP EMITTER LINE DETAIL

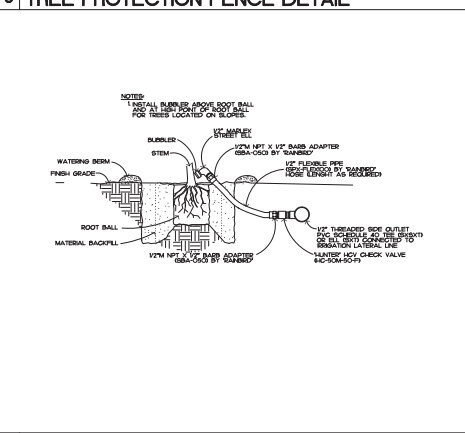
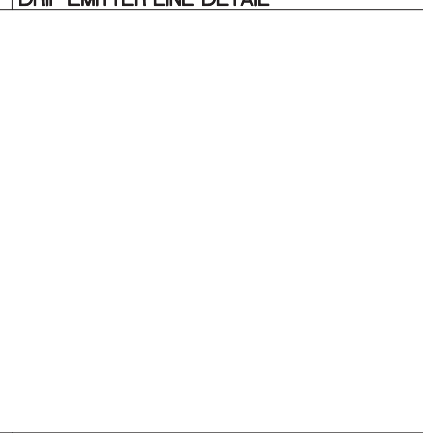
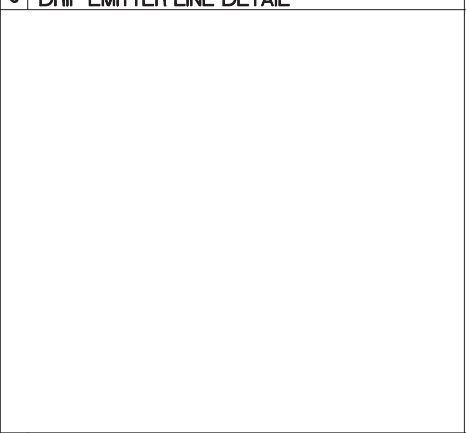
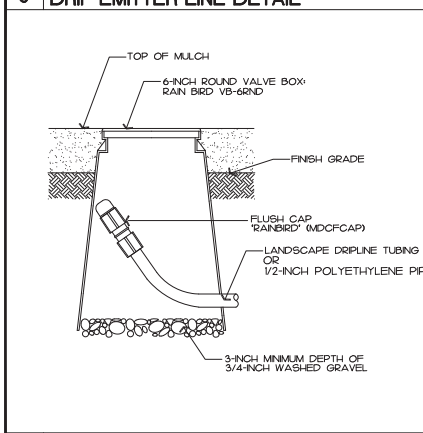


5 DRIP EMITTER LINE DETAIL

6 DRIP EMITTER LINE DETAIL

7 DRIP EMITTER LINE DETAIL

8 TREE PROTECTION FENCE DETAIL

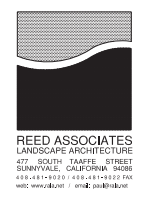


9 FLUSH POINT DETAIL

10

11

12 TREE BUBBLER DETAIL



PATIO PROJECT
8 HOMEWOOD MENLO PARK, CA

ISSUE	DATE
CITY COMMENTS	03.27.17
CITY COMMENTS	05.25.17
CITY COMMENTS	07.10.17



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Approved	FOR
Drawn	DS
Reviewed	PUR
Project No.	15.57
Scale	Issue Date
	07.10.17



LANDSCAPE CONSTRUCTION DETAILS

L4.1

LANDSCAPE SPECIFICATIONS
IRRIGATION SPRINKLER SYSTEM AND LANDSCAPE PLANTING

1.0. GENERAL

- A. THE WORK INCLUDES LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE WORK INDICATED IN DRAWINGS AND DESCRIBED IN SPECIFICATIONS.
1. PERFORM WORK IN ACCORDANCE WITH BEST STANDARDS OF PRACTICE RELATING TO VARIOUS TRADES AND UNDER CLOSE SUPERVISION OF A COMPETENT FOREMAN CAPABLE OF INTERPRETING DRAWINGS AND SPECIFICATIONS.
- B. PRIOR TO CONSTRUCTION, VERIFY THAT CONTRACT DOCUMENTS REFLECT LATEST REVISIONS, INCLUDING PLAN CHECK REQUIREMENTS.
- C. CONTRACT IRRIGATION SYSTEM USING MATERIALS AND METHODS CONFORMING TO APPLICABLE PROVISIONS OF UNIFORM PLUMBING CODE, PUBLISHED BY WESTERN PLUMBING OFFICIALS ASSOCIATION, NATIONAL ELECTRICAL CODE, AND OTHER CODES PROPERLY COVERING THESE ACTIVITIES AT THE LOCATION OF THE WORK.
 1. VERIFY LOCATIONS OF EXISTING UTILITIES WHETHER OR NOT SHOWN IN DRAWINGS. ASSUME RESPONSIBILITY FOR THEIR PROTECTION.
- D. THE CONTRACT DOCUMENTS ARE NOT INTENDED TO CONFLICT WITH REQUIREMENTS OF GOVERNING ORDINANCES, WHEN DRAWINGS AND SPECIFICATIONS, DESIGNS, MATERIALS, WORKMANSHIP OR CONSTRUCTION OF BETTER QUALITY, HIGHER STANDARD, PROVISIONS OF DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE.
 1. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED FOR THE WORK.
 2. BEFORE PROCEEDING WITH THE WORK, VERIFY DIMENSIONS AND QUANTITIES. IMMEDIATELY INFORM LANDSCAPE ARCHITECT OF DISCREPANCY BETWEEN DRAWINGS, SPECIFICATIONS, AND ACTUAL CONDITIONS. COMMENCE WORK IN AREAS OF DISCREPANCY ONLY AFTER RECEIVING INSTRUCTIONS FROM LANDSCAPE ARCHITECT.
- E. DIMENSIONS INDICATED IN DRAWINGS ARE APPROXIMATE. PROVIDE OFFSETS, FITTINGS, SLEEVES, ETC. REQUIRED TO COMPLETE THE PROJECT. PERFORM SIMILAR OPERATIONS FOR LIFE CONDITIONS WITHOUT ADDITIONAL COST TO OWNER.

1.1. SUBSTITUTIONS

- A. FURNISH MATERIALS IN QUANTITIES, SIZE, AND MANUFACTURE INDICATED IN DRAWINGS AND SPECIFICATIONS.
- B. FOR A PERIOD OF 30 DAYS AFTER EXECUTION OF CONTRACT, LANDSCAPE ARCHITECT WILL CONSIDER FORMAL REQUESTS FROM CONTRACTOR FOR SUBSTITUTION OF PRODUCTS IN PLACE OF THOSE SPECIFIED ONLY UNDER THE FOLLOWING CONDITIONS:
 1. WHEN SPECIFIED PRODUCTS ARE NOT AVAILABLE THROUGH NO FAULT OF SUB-CRONTACTOR.
 2. WHEN IT IS CLEARLY SEEN, IN THE JUDGMENT OF OWNER, THAT A SUBSTITUTION WILL BE TO OWNER'S BEST INTEREST IN TERMS OF TIME, COST, OR OTHER CONSIDERATIONS.
- C. SUBMIT A SEPARATE REQUEST FOR EACH SUBSTITUTION. PROVIDE COMPLETE DATA SUBSTANTIATING COMPLIANCE OF PROPOSED SUBSTITUTION, INCLUDING PRODUCT INFORMATION, MANUFACTURER'S NAME AND ADDRESS, MANUFACTURER'S LITERATURE, AND SAMPLES AS APPLICABLE.
- D. LATERAL (NON-PRESSURE) LINE PIPING, TYPE 1-11 SCHEDULE 40, CLASS 200, NSF APPROVED, LASCO, JOHN'S MANVILLE, OR APPROVED EQUAL.
- E. LATERAL (NON-PRESSURE) LINE PIPING, TYPE 1-11 SCHEDULE 40, CLASS 200, NSF APPROVED, LASCO, JOHN'S MANVILLE, OR APPROVED EQUAL.
- F. SOLVENT, TYPE APPROVED BY MANUFACTURER OF PIPE AND FITTINGS. USE SCHEDULE 40 SOLVENT FOR ALL PVC THREADED FITTINGS.
- G. USE ONLY PVC PLASTIC PIPE FREE FROM BLISTERS, INTERNAL SPLITTINGS, DENTS, WRINKLES, CRACKS, HOLES, FOREIGN MATERIALS, SMOOTH INTERIOR WALL WITH A GLASS-LIKE APPEARANCE.
 - A. CONTINUOUSLY AND PERMANENTLY MARK EACH PIPE WITH MANUFACTURER'S NAME, KIND OF PIPE, MATERIAL, SIZE SCHEDULE OR TYPE, AND MANUFACTURER'S QUALITY CONTROL IDENTIFICATION.

1.2. RECORD DRAWINGS

- A. FURNISH OWNER WITH A SET OF RECORD DRAWINGS (REPRODUCIBLE VELLUMS) OF IRRIGATION SPRINKLER SYSTEM PER INDICATED DATE OF THE INSTALLATION.
 1. OBTAIN VELLUMS FROM LANDSCAPE ARCHITECT AT COST OF REPRODUCTION PLUS 25 PERCENT.
- B. INDICATE IN RECORD DRAWINGS ALL CHANGES MADE TO IRRIGATION SYSTEM DESIGN.

1.3. EXTRA MATERIALS

- A. FURNISH OWNER WITH 2 EACH OF THE FOLLOWING MATERIALS FOR EACH TYPE OF VALVE AND SPRINKLER HEAD INSTALLED IN THE SYSTEM:
 1. VALVE KEYS.
 2. SERVICE KEYS.
 3. QUICK COUPLER VALVE KEYS.
 4. HOSE SWEELS COMPATIBLE WITH QUICK COUPLER VALVES.
 5. KEYS TO OPEN AUTOMATIC CONTROL CABINET.

1.4. WARRANTY

- A. FURNISH OWNER WITH GUARANTEE THAT IRRIGATION SPRINKLER SYSTEM IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP AND THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS. GUARANTEE SHALL BE VOID IN THE EVENT OF ABUSE, OR NEGLECT ACCEPTED.
- B. PROVIDE GUARANTEE FOR REPAIR OR REPLACEMENT OF DEFECTS IN MATERIAL OR WORKMANSHIP, SETTING OF BACKFLOW PREVENTERS, AND TO REPAIR OR REPLACE OR DAMAGE TO OWNER.
- C. MAKE REPAIRS OR REPLACEMENTS, INCLUDING COMPLETE RESTORATION OF DAMAGED PLANTING, FINISH, OR OTHER MEMBER, OR IMPROVEMENT OF ANY KIND, WITH A REASONABLE TIME AS DETERMINED BY OWNER, AFTER RECEIPT OF WRITTEN NOTICE.
- D. IN THE EVENT OF FAILURE BY CONTRACTOR TO MAKE REPAIRS OR REPLACEMENTS WITHIN A TEN DAY AFTER RECEIPT OF WRITTEN NOTICE, REPAIRS OR REPLACEMENTS WILL BE MADE BY OWNER AT THE EXPENSE OF SUB-CONTRACTOR.

1.5. LANDSCAPE MAINTENANCE AND GUARANTEE

- A. PROVIDE MAINTENANCE FOR PLANTING AND IRRIGATION FOR 60 CALENDAR DAYS AFTER STAGE ACCEPTANCE.
 1. WORK INCLUDES, BUT IS NOT LIMITED TO, WATERING, WEEDING, MOWING, FERTILIZING, CULтивATING, SPRAYING, CUTTING, AND PRUNING NECESSARY TO KEEP PLANTS IN A HEALTHY GROWING CONDITION, AND TO KEEP SPOTTED AREAS NEAT AND ATTRACTIVE IN APPEARANCE THROUGHOUT MAINTENANCE PERIOD.
 2. IMMEDIATELY REPLACE DAMAGED, UNHEALTHY, OR DEAD TREES, SHRUBS, AND GROUND COVERS WITH SAME KIND AND KIND INDICATED IN DRAWINGS.
 3. PRIOR TO END OF MAINTENANCE PERIOD, APPLY FERTILIZED TURF (15-2-6) AT THE RATE OF 4 POUNDS PER 1000 SQUARE FEET UNIFORMLY OVER ALL PLANTING AREAS.
 4. UPON COMPLETION OF INITIAL 60 DAY MAINTENANCE PERIOD, NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO DATE OF INITIAL INSPECTION.
- B. GUARANTEE THAT PLANTS AND PLANTING AREAS ARE IN HEALTHY, THRIVING CONDITION FOR AN ADDITIONAL 60 DAYS AFTER INITIAL ACCEPTANCE OF PROJECT BY LANDSCAPE ARCHITECT.
 1. FINAL ACCEPTANCE WILL BE GRANTED AT THIS TIME AS DETERMINED BY LANDSCAPE ARCHITECT.

2.0. PRODUCTS

2.1. IRRIGATION SPRINKLER MATERIALS

A. PVC PLASTIC PIPE AND FITTINGS

1. MAIN LINE (PRESSURE) PIPING, TYPE 1120-1220 SCHEDULE 40, NSF APPROVED, LASCO, JOHN'S MANVILLE, OR APPROVED EQUAL.
 - A. MAIN LINE PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED.
2. LATERAL (NON-PRESSURE) LINE PIPING, TYPE 1120-1220 SCHEDULE 40, CLASS 200, NSF APPROVED, LASCO, JOHN'S MANVILLE, OR APPROVED EQUAL.
 - A. LATERAL PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED, LASCO, JOHN'S MANVILLE, OR APPROVED EQUAL.
3. SOLVENT, TYPE APPROVED BY MANUFACTURER OF PIPE AND FITTINGS. USE SCHEDULE 40 SOLVENT FOR ALL PVC THREADED FITTINGS.
4. USE ONLY PVC PLASTIC PIPE FREE FROM BLISTERS, INTERNAL SPLITTINGS, DENTS, WRINKLES, CRACKS, HOLES, FOREIGN MATERIALS, SMOOTH INTERIOR WALL WITH A GLASS-LIKE APPEARANCE.
 - A. CONTINUOUSLY AND PERMANENTLY MARK EACH PIPE WITH MANUFACTURER'S NAME, KIND OF PIPE, MATERIAL, SIZE SCHEDULE OR TYPE, AND MANUFACTURER'S QUALITY CONTROL IDENTIFICATION.

B. GALVANIZED PIPE AND FITTINGS

1. WHERE INDICATED IN DRAWINGS, USE ASA SCHEDULE 40 MILD STEEL SCREWED END, GALVANIZED, WITH MEDIUM GALVANIZED SCHEDULE BEADED MALLEABLE IRON FITTINGS.
 - A. GALVANIZED COUPLINGS MAY BE MERCHANT COUPLING.

C. CONTROL WIRE

1. DIRECT BURIAL REMOTE CONTROL WIRES, WILL APPROVED TYPE I/UF, MINIMUM OF 1/4" DIA. NYLON INSULATION. CONSULT VALVE MANUFACTURER'S CURRENT REE SIZEING CHART FOR REQUIRED WIRE SIZES.
2. COMMON RETURN WIRE - WHITE. PULS WIRE - RED, ORANGE, OR BLACK.
3. MAKE STRICES WITH "SCOTCH LOCK" NO. 3577 CONNECTOR SEALING PACKS, OR APPROVED EQUAL.

D. SPRINKLER HEADS, REMOTE CONTROL VALVES, AUTOMATIC CONTROLLER, QUICK COUPLER

1. TYPE, SIZE, AND LOCATION INDICATED IN DRAWINGS.
2. LOCATE REMOTE CONTROL VALVES AND QUICK COUPLERS A MAXIMUM OF 12 INCHES FROM CURB, WALK, OR ROADWAY.

E. BACKFLOW PREVENTION

1. BACKFLOW PREVENTERS AS INDICATED IN DRAWINGS OR AS APPROVED BY LOCAL GOVERNING BODY.
2. DO NOT LOCATE IN LAWN AREAS.
3. SCREEN UNIT WITH ELEMENTARY SHOWN ON PLANTING PLAN IN LOCATION OF BACKFLOW PREVENTER OR ELSEWHERE ON SITE WHEN DIRECTED BY LANDSCAPE ARCHITECT.
4. AVOID USING PVC PIPING IN BACKFLOW PREVENTER ASSEMBLIES.

F. VALVE BOXES

1. CONTROL VALVE BOXES, AMETEK NO. 10-70-200 WITH GREEN COVER LID NO. 10-172-SOUL OR EQUAL. PROVIDE EXTENSION IF REQUIRED.

2.2. LANDSCAPE PLANTING MATERIALS

A. SOIL

1. EXISTING SURFACE SOIL, UNLESS OTHERWISE INDICATED IN DRAWINGS, FREE FROM SUBSOL, ROOTS, ROCKS, HEAVY OR STIFF CLAY, ROCKS, STONES, BRUSH OR OTHER DELETERIOUS MATERIALS.
2. NATIVE SOIL, MATERIAL EXCAVATED FROM PLANTING HOLES, FREE FROM ROCK OVER 1/2 INCH IN DIAMETER.
3. IMPORTED SOIL, IF REQUIRED, SANDY LOAM TEXTURE.
 - A. SUBMIT SOIL SAMPLES AND ANALYSIS OF IMPORTED SOIL TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO DELIVERY TO PROJECT SITE.
 - B. SHOW LANDSCAPE ARCHITECT SELECT ANY PORTION OF DELIVERED SOIL, FOR ANY REGION, SELECT SOIL MATERIAL FROM A DIFFERENT SOURCE AND RESUBMIT TO LANDSCAPE ARCHITECT FOR APPROVAL WITHOUT ADDITIONAL COST TO OWNER.

B. FERTILIZERS AND SOIL AMENDMENTS

1. COMMERCIAL GRADE FERTILIZERS AND SOIL AMENDMENTS, UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING, DELIVERED TO SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.
 2. MATERIAL WHICH BECOMES CAKED OR OTHERWISE DAMAGED, MAKING IT UNSUITABLE FOR USE, WILL BE REJECTED.
 - A. FERTILIZER 'A': FERTILIZER FOR GENERAL SOIL FERTILITY IMPROVEMENT IN ALL TURF AND PLANTING AREAS SHALL BE PELLETED TYPE HAVING A N-32-P-02 FORMULA.
 - B. FERTILIZER 'B': FERTILIZER TO BE APPLIED TO LAWN AREAS PRIOR TO SEEDING OR SOILING SHALL BE PELLETED TYPE HAVING N-6-P-2-KO (WITH 1% IRON).
 - C. FERTILIZER 'C': FERTILIZER TO BE INCORPORATED IN EACH PLANT PIT SHALL BE A N-6-P-2-KO FORMULA.
 - D. FERTILIZER 'D': FERTILIZER TO BE APPLIED TO LAWN AREAS AFTER TURF IS ESTABLISHED AND AROUND INSTALLED CONTAINER PLANTS DURING THE MAINTENANCE PERIOD SHALL BE PELLETED TYPE COMBINATION CHEMICAL ORGANIC FORMULA N15-P2-K2-0.
2. SOIL AMENDMENT: RECYCLED COMPOST MATERIAL.

F. IRON SULFATE: STANDARD COMMERCIAL BRAND.

C. WOOD CHIP MULCH

1. ALL PLANTED AREAS, EXCEPT TURF, SHALL RECEIVE A TOP DRESSING OF MULCH. CONSOLE SHOULD BE RECYCLED. MULCH SHOULD CONSIST OF 50% CHIPS OF 3/8" TO 3/4" DIAMETER. SHREDDED BARK IS UNACCEPTABLE.

D. PLANT MATERIAL

1. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN PLANTS BY THE LISTED NAMES, TO OBTAIN PLANT NAMES' SECOND EDITION, EXCEPT FOR NAMES NOT INCLUDED, FOLLOW THE ESTABLISHED CUSTOM AND PRACTICE OF THE INDUSTRY.
 1. ALL PLANTS SHALL BE TRUE TO NAME, TAG ONE OF EACH BRAND OR LOT WITH THE NAME AND SIZE OF THE PLANT, IN ACCORDANCE WITH STANDARDS OF PRACTICE ESTABLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN.
2. ALL PLANT MATERIALS SHALL MEET THE SPECIFICATIONS OF FEDERAL, STATE, AND COUNTY LAWS, REGARDING INSPECTION FOR PLANT DISEASES AND INSECT INFESTATIONS.
3. PLANTS SHALL BE SUITABLE, TYPICAL FOR VARIETY AND SPECIES, SOUND, HEALTHY, MOISTURE, FREE FROM PLANT DISEASES, INSECT PESTS, OR OTHER LEGS WITH HEALTHY NORMAL ROOT SYSTEMS, WELL FEEDING THEIR CONTAINERS, BUT NOT TO THE POINT OF BEING ROOT BOUND.
4. USE ONLY PLANT MATERIALS THAT ARE FIRST CLASS REPRESENTATIVE OF THE SPECIES AND CULTIVARS SPECIFIED AND THAT CONFORM TO ALL STATE AND LOCAL LAWS GOVERNING THE SALE, TRANSPORTATION, AND INSPECTION OF PLANT MATERIALS.
5. PROVIDE ONLY PLANTS WITH STRAIGHT, SINGLE TRUNKS, UNLESS OTHERWISE INDICATED IN DRAWINGS.
6. THOSE SPECIFIED TO BE MULTI-TRUNK SHALL HAVE AT LEAST THREE MAIN LEADERS FROM THE BASE.
7. PLANTS THAT HAVE ENCRUING ROOTS, NOT ROOT BOUND, SHALL HAVE ROOTBALLS LIGHTLY SLASHED ON A MINIMUM OF 3 SIDES TO STOP ENCRUING ROOT GROWTH.
8. THE HEIGHT AND SPREAD OF PLANT MATERIALS SHALL BE MEASURED WITH BRANCHES IN THEIR NORMAL POSITION. MEASURE SIZES OF PLANTS ON THE PLANT LIST.
 - A. 5 AND 15 GALLON CAN CONTAINER STOCK SHALL HAVE BEEN GROWN IN THAT CONTAINER LESS THAN 30 DAYS PRIOR TO DELIVERY OR NOT HAVE BEEN OVERGROWN IN THE CONTAINERS 30 DAYS TO HAVE BECOME ROOT BOUND.
 - B. 15 GALLON CAN CONTAINER STOCK SHALL HAVE A PLANTED HEIGHT OF 6 FEET WITH HIGH CAULICUS.

2.3. SOURCE QUALITY CONTROL

- A. PERFORM INSPECTIONS OF CONSTRUCTION FOR THE FOLLOWING PARTS OF THE WORK:
 1. INSPECTION UPON COMPLETION OF PRELIMINARY FINISH GRADING AND IRRIGATION SPRINKLER SYSTEM.
 2. INSPECTION OF PLANTS PRIOR TO LAYOUT.
 3. LAYOUT INSPECTION OF SPOTTED PLANTS.
 4. INITIAL INSPECTION UPON COMPLETION OF PLANTING AND TREE STAKING, PRIOR TO COMMENCEMENT OF MAINTENANCE PERIOD.
 5. FINAL INSPECTION AT CONCLUSION OF ADDITIONAL 60 DAY LANDSCAPE MAINTENANCE PERIOD.
- B. LISTED INSPECTIONS WILL BE MADE BY LANDSCAPE ARCHITECT OR AN AUTHORIZED REPRESENTATIVE.
 1. REQUEST INSPECTION BY LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE OF TIME INSPECTION IS REQUIRED.

3.0. EXECUTION

3.1. IRRIGATION SPRINKLER SYSTEM

A. PREPARATION

1. COORDINATE INSTALLATION OF SPRINKLER MATERIALS, INCLUDING PIPE, TO ELIMINATE INTERFERENCE WITH, OR DIFFICULTY IN PLANTING SHRUBS, TREES, GROUND COVER, COSTS OF PROPOSED FERTILIZERS AND OTHER CHEMICALS. RESTORE TO ORIGINAL CONTOURS AND ESTABLISHED GRADES CHANGED DURING COURSE OF THE WORK.
2. IN THE EVENT OF SOIL COMPACTION, CONTRACTOR WILL BE REQUIRED TO RELOCATIVE COMPACTED AREAS.
 - A. SPOTTING: RAKE AREAS TO FINISH GRADE ELEVATION TO 1 INCH LOWER THAN ADJACENT FINISH TO ACCOMMODATE SOIL THICKNESS.
 - B. SPREAD 20 POUNDS PER 1000 SQUARE FEET OF FERTILIZER 'B' ON SOIL SURFACES PRIOR TO SOILING, THEN NEATLY INSTALL SOIL SLABS.
 - C. STAGGER END JOINTS, THIGHTLY JOINTED WITH NO VISIBLE SPACES.
 - C. LIGHTLY WATER AND ROLL, ENTIRE AREAS, THEN HEAVILY WATER TO ASSURE WATER PENETRATION OF AT LEAST A DEPTH OF 8 INCHES.
3. SOILING: APPLY FERTILIZER 'B' TO FINISH GRADE SURFACES AT THE RATE OF 4 POUNDS PER 1000 SQUARE FEET.
 - A. USE ONLY SEED THAT IS WEEP FRESH, RECYCLED, GRADE A NEW CROP CONSISTING OF THE PERCENTAGE OF MIX AS DESCRIBED IN DRAWINGS.
 - B. LABEL SEED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT PRESENTLY IN EFFECT AND SHALL BE DELIVERED TO PROJECT SITE IN BAGS BEARING DEALER'S LABEL AND GUARANTEED ANALYSIS.
 - C. SOW SEED IN 2 DIRECTIONS AT A TOTAL COMBINED RATE OF 10 POUNDS PER 1200 SQUARE FEET.
 - D. SOW SEED BY EXPERIENCED PERSONNEL AT A TIME WHEN LITTLE OR NO WIND IS BLOWING.
 - E. LIGHTLY RAKE INTO TOP 1/8 INCH OF SOIL.
 - F. DO NOT MOW UNTIL TURF IS 2-1/2 INCHES HIGH, AND FOR INITIAL MOWING DO NOT MOW LOWER THAN 1-1/2 INCHES. REMOVE ALL CLIPPINGS.
 - F. FERTILIZING DURING MAINTENANCE: APPLY FERTILIZER 'D', 30 CALENDAR DAYS AFTER PLANTING, AT THE RATE OF 5 POUNDS PER 1200 SQUARE FEET.
 - A. REPEAT EVERY 30 DAYS THROUGHOUT MAINTENANCE.

F. WEED CONTROL, PEST CONTROL, & MULCHING

1. WEED CONTROL MATERIAL SHALL BE A PRE-EMERGENT HERBICIDE, TRIFLURLOLIN (TRIFLOR) OR DIFLUTHALIN (DYALOR END) OR APPROVED EQUAL, APPLIED ON PLANTED AREAS, DONT APPLY TO TURF OR WALKWAYS.
2. CONSIDER IF PART OF CONTRACTOR'S WORK TO CONTROL ON-OR NEARBY PESTS THAT ARE DISTURBING THE CONDITION OF LANDSCAPE IMPROVEMENTS.
3. CONTROL OF PESTS INCLUDES, BUT IS NOT LIMITED TO, RODENTS, RABBITS, INSECTS, DEER, ETC.
4. REPAIR DAMAGE THAT OCCURS TO THE ORIGINAL CONDITION OF IMPROVEMENTS, INCLUDING REDUCTION OF PLANT MATERIAL WHEN REQUIRED, WITHOUT ADDITIONAL COST TO OWNER.
5. SPREAD BARK CHIP MULCH EVENLY OVER ENTIRE PLANTED AREA, EXCEPT TURF AND WALKWAYS, TO A MINIMUM DEPTH OF 3 INCHES.

G. PRELIMINARY GROUND COVERAGE

1. UPON COMPLETION OF PLANTING WORK, NOTIFY LANDSCAPE ARCHITECT THAT PROJECT IS READY FOR INSPECTION AND STAGE ACCEPTANCE.
2. UPON INSPECTION, IF LANDSCAPE ARCHITECT FINDS ENTIRE PROJECT COMPLETE AND IN COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS, STAGE ACCEPTANCE WILL BE GRANTED.
3. IF ASPECTS OF PROJECT ARE INCOMPLETE OR IMPROPERLY INSTALLED, CONTRACTOR WILL BE NOTIFIED AND HAVE 5 WORKING DAYS IN WHICH TO CORRECT OR COMPLETE THE WORK.
4. STAGE ACCEPTANCE WILL BE GIVEN ONLY WHEN ALL WORK IS CORRECT AND COMPLETE. 5. THE STAGE ACCEPTANCE BY LANDSCAPE ARCHITECT OF LANDSCAPE PROJECT WILL ESTABLISH THE BEGINNING OF PLANT MAINTENANCE PERIOD.

3.3. CLEANING

- A. UPON COMPLETION OF WORK, REMOVE EXCESS MATERIALS, RUBBISH, DEBRIS, AND SUB-CRONTACTOR'S CONSTRUCTION AND INSTALLATION EQUIPMENT FROM THE PREMISES.
- B. FINAL INSPECTION OF THE WORK WILL BE MADE BY LANDSCAPE ARCHITECT IN THE PRESENCE OF THE SUB-CRONTACTOR WHEN WORK IS COMPLETED. NOTIFICATION SHALL BE MADE BY THE CONTRACTOR 48 HOURS IN ADVANCE OF SUCH INSPECTION.



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PATIO PROJECT
8 HOMEWOOD
MENLO PARK, CA

ISSUE	DATE
▲ CITY COMMENTS	03.27.17
▲ CITY COMMENTS	05.28.17
▲ CITY COMMENTS	07.16.17



OWNERSHIP AND USE OF DOCUMENTS
All Drawings, Specifications and other technical documents furnished by Reed Associates shall remain the property of Reed Associates and shall not be reproduced, copied, or distributed for any other project. Submission or distribution to meet official regulatory requirements of local government is not permitted. This Project is not to be construed as publication or designation of Reed Associates Landscaping Contractors, nor does it represent Reed Associates' approval of any contractor's work.

Approved	FUR	Reviewed	FUR
Drawn	DS	Reviewed	FUR
Project No.	15.57	Issue Date	07.10.17
Scale	----	Issue Date	07.10.17



The Hagman Group

LANDSCAPE SPECIFICATION PLAN

L5.0



RECEIVED

APR 04 2017

CITY OF MENLO PARK
BUILDING

April 3, 2017

City of Menlo Park

RE: Project Description for 8 Homewood Patio

Project Description

This project is an expansion of an existing patio areas that is used for lunch and work breaks. The area removes 7 parking spaces and converts them into the expanded patio. The existing site is overparked and the site will still meet the City's parking regulations after the 7 stalls are removed.

The Project is adjacent to two existing trees and will not negatively affect the conditions of the trees. A new landscape plan is provided showing new planting and irrigation which meets the City's WELO requirements and will add 3 new trees to the site. All new irrigation will be drip.

A 4'-6" wall, 18" high seatwall, concrete pavers, colored concrete, bike racks are proposed as part of the new construction.

REED ASSOCIATES LANDSCAPE ARCHITECTURE CORPORATION
California State License No. 2002

A handwritten signature in black ink, appearing to read "Paul Jay Reed".

Paul Jay Reed

Reed Associates
Landscape Architecture
477 S. Taaffe St., Sunnyvale, CA 94086
(408)481-9020
fx.(408)481-9022



Walter Levison
CONSULTING ARBORIST



ASCA Registered Consulting Arborist #401

ISA Qualified Tree Risk Assessor

ISA Certified Arborist #WC-3172

**Partial Site Assessment of Two Trees at a Proposed Patio Area
at
8 Homewood
Menlo Park, California**

Prepared for:

**Reed Associates Landscape Architecture
477 S. Taaffe
Sunnyvale, CA**

Site Visit:

Walter Levison, Consulting Arborist (WLCA)

5/9/2017

Report:

WLCA

5/10/2017



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1.0 Summary

1. Two (2) trees at the subject property were visually assessed by Walter Levison, Consulting Arborist (WLCA) on 5/9/2017. The following is a summary of existing conditions and proposed patio work that is planned to occur in close vicinity to the two subject trees. Note that this was a "partial site survey":

- a. **Tree #1** is a native coast live oak (*Quercus agrifolia*) in good overall condition that is expected to be retained with tree protection trunk buffer padding and chain link root protection zone fencing.

The tree appears to have a root system that spans 20 to 30 feet or more minimum along both the east-west azimuth and the north-south azimuth. This assumes that the tree extends lateral woody roots through the existing older asphalt parking lot driveway area to the south of the trunk (which cannot be verified).

Proposed work will involve placement of a new concrete walkway over the open soil root zone of the tree. The proposed degraded granite bike rack area is being relocated by the landscape architect at the request of WLCA, to avoid unnecessary oak tree root loss.

Proposed work will cause some woody root damage and/or root loss, though this is expected to be minor only, since the existing curbwork along the south side of the tree planter and the existing asphalt driveway area south of the curb will both be retained as-is per the current proposed landscape plan sheet L1.0 by Reed Associates Landscape Architecture dated 3/27/2017.

Good root pruning practices may mitigate some expected root zone damages if any roots are encountered.

WLCA has noted recommendations for tree protection and project specifications that will help mitigate damages to the tree's root system (e.g. tightlining all proposed irrigation and other piping trench routes to against the building to maximize root retention, minimizing or eliminating any base excavation, subbase compaction, etc.).

- b. **Tree #2** is a native California sycamore (*Platanus racemosa*) in good overall condition that will be negatively affected by the proposed patio area (see WLCA tree map markup below in this report). WLCA suggests use of both trunk buffer padding and chain link fence panels as protection for both the above ground trunk area and below ground root system of this tree.

The current open soil planter area dimensions are approximately 15 ft X 8 ft. The proposed new planter area will be roughly approximate to this in total square footage, but with a trapezoidal shape instead of the current rectangular one.

The tree may benefit from regular heavy irrigation, and toward this end, WLCA is suggesting that adjustable high flow-type tree bubblers be installed over the final open soil planter area around this tree. Sample images are provided in the recommendations section below.

Note that the actual horizontal root extension by this tree cannot be verified at the time of writing, and it is quite possible that the tree has extended roots under the existing planter curbs and laterally outward through older baserock, into the areas proposed for new patio construction, etc. If this is the case, it is possible that the proposed new patio work, which is expected to involve only 8 inches of total cut below finish grade elevation for all base excavation prep (see landscape architect's sheet L4.0, detail 8, showing a total cut of 8 inches, plus compaction of the subgrade),



may not actually require that any significant sized lateral woody roots are cut, since the total depth of cut for paver base may be less than the current depth of asphalt/baseroack at the parking stalls.

2.0 Assignment & Background

The author Walter Levison Consulting Arborist (WLCA) was retained by the project landscape architect Reed Associates Landscape Architecture (RALA) to visit the site, collect tree data, and prepare a written arborist report on trees proposed to be protected and retained at the site in close vicinity to the proposed new patio and associated new work in that vicinity (see WLCA tree map markup overlaid on the proposed landscape plan sheet).

The trees are noted, from map left to map right, as trees #1 and #2, and have not been tagged in the field. They are however designated with these numeric tag numbers on the tree map markup below for reference. The sheet used for this tree map markup was RALA's sheet L1.0 "patio project" dated 3/27/2017. A side cut detail sheet L4.0 was also reviewed to determine total cut depth proposed for the patio section.

Trees mainstems were measured at 4.5 feet above grade (standard height) using a forester's D-tape that converts actual trunk circumference into diameter inches and tenths of inches.

Tree heights were determined using a Nikon forestry pro 550 digital hypsometer.

Tree canopy spreads were estimated visually.

Existing tree planter dimensions were taped out using a forester's tape, and were then compared to proposed planter dimensions to determine the scale of impacts to the trees' root systems.

Tree data were typed into report section 3.0 below, given that there were only two (2) tree specimens included in this study.

Recommendations for tree protection and maintenance are included below in this report, as well as various suggestions for adjustments to the landscape plan that may optimize tree longevity. These recommendations are based on the author's 18 years of consulting experience in the peninsula area, and on arboriculture science best management practices (BMP) outlined in various published texts such as the American National Standard Institute (ANSI) A300 series of publications that serve as the United States standard for arboriculture.

3.0 Tree Data

Tree #1

Coast live oak (*Quercus agrifolia*)
Diameter: 29.4 inches
Height: 45 feet
Spread: 50 feet
Health Rating: 75%
Structural Rating: 70%
Overall Condition Rating: 73% Good

Moderate live twig extension and foliar density.

The trunk leans southeast.

The canopy of this tree is relatively symmetrical.

Tussock moth casings were noted throughout the lower trunk area, but probably have no significant negative effect on overall tree condition.

Buttress root flares appear normal.

The open soil root zone of this tree extends 10 feet north, 10 feet east, 20 feet west.

The roots may also extend a very significant distance southward under the existing asphalt driveway area (not verified).

This tree may require limb length reduction pruning to remove the outermost sections of certain selected extended limbs (to be determined).

Tree #2

California sycamore (*Platanus racemosa*)

Diameter: 19.5 inches

Height: 50 feet

Spread: 30 feet

Health Rating: 75%

Structural Rating: 78%

Overall Condition Rating: 77% Good

Moderate live twig extension and foliar density, with some minor twig dieback throughout the canopy.

Irrigation status is unknown, and WLCA did not test soil moisture with any moisture sensor probes.

Existing planter is 15 X 8 feet, and will be modified during new patio construction and related work. The new patio will extend over areas that are currently asphalt parking stalls alongside the tree planter area.

Buttress root flares are minimally visible.

This tree exhibits two codominant mainstems that fork at height with a moderately wide fork.

The actual dimension of extended "lateral" woody tree roots that grow horizontally outward from the trunk is not known. It is quite possible that this tree's root system plunged under the planter area curbwork, and then continued extending horizontally under the existing asphalt parking stalls, coursing through the baserock material (not verified).

4.0 Observations & Discussion

Existing Conditions

As seen from the existing site condition noted on sheet L1.0 by RALA, there is a concrete section north of sycamore #2, and irrigated turf north of the concrete. These areas are to remain as-is. It is not known whether sycamore #2 has extended roots under the concrete and effectively "bridged" to the irrigated turf grass north of the concrete.



Walkway at oak #1

The proposed north-south oriented concrete walkway that will be located within the east side of the canopy dripline of oak #1 may cause some root loss in terms of potentially severing through any roots radiating eastward from the trunk. It is not known how much root loss or damage might occur, and it depends mainly on the elevation of excavation cut for placement of baserock materials beneath the concrete surfacing. WLCA suggests that the baserock layer be restricted to just a few inches thickness of material, to avoid unnecessary root damage from this walkway construction. Alternatively, we could raise the entire walkway and float the baserock base section over the soil elevation to make a "root bridge" which is a floating system built entirely over the root system of the tree with little or no excavation into the soil root zone of the tree. Either way, the walkway is offset from the trunk significantly, and is considered a "minor" impact overall in terms of its effect on the tree's long term health and stability.

Degraded granite bike rack area north of oak #1

Reed Associates has agreed to relocate the proposed bike rack and degraded granite area which is currently shown as to be built just north of the oak #1 trunk. This item probably has the most impact of any items proposed at this site in terms of potential damage to tree roots. Relocation of the entire area to a different location than currently proposed will mean that the entire north section of the oaks root system can be maintained as-is with zero impacts, and fenced off accordingly.

WLCA has whited out the proposed bike rack area on the map below in this report, and has shown protective chain link fencing surrounding the entire available open soil root area.

Patio at sycamore #2

It is expected that the depth of cut required for this work (8 inches) will be at or less than the total existing depth of historical cut to install asphalt and base materials.

The only item that may need adjusting is the compaction rate for the subgrade. Compaction if kept to only 85% Proctor allows for better continued tree root growth in the subgrade, as opposed to 95% compaction which is the typical specified engineering standard. 95% compacted soils tend to inhibit root growth due to physical penetration problems and due to lack of macropore (air) spaces available in such a soil.

5.0 Tree Ordinance / City of Menlo Park, California

City of Menlo Park, California protects privately-owned trees at the 10 inch diameter threshold (native oak species), and 15 inch diameter threshold (all other tree species), when measured at standard height of 4.5 feet above mean grade. Per this definition, both trees #1 and #2 are protected specimens requiring protection measures during site construction-related activities.

6.0 Tree Protection and Maintenance Recommendations

a. Project Arborist:

Prior to commencement of the project work, retain the services of a project arborist ("PA") if required by the Town. The PA shall be either an ASCA registered consulting arborist, or an ISA certified arborist, with at least 5 years of experience inspecting construction around trees in the Bay Area.

The PA may perform such services as, but not limited to the following:



- a. Soil moisture monitoring with a Lincoln moisture meter or equivalent.
- b. Trunk buffer and root protection zone fence integrity inspections.
- c. Preparation of inspection reports to be sent to the project team and Town Staff.
- d. Assessment of root damages, root pruning quality, trench alignment "field adjustments", etc.

b. Trunk Buffers:

Prior to any site demolition work commencement, install trunk buffers around the trunks of trees #1 and #2.

Use at least one (1) entire roll of orange plastic snow fencing, wrapping the roll around the lowermost eight feet of the trunk of each tree. Place 2X4 wood boards or waste wood pieces standing upright, side by side, over the plastic buffer, and secure the boards with duct tape per the sample spec image at right.



c. Chain Link Fence Root Protection Zones (RPZ):

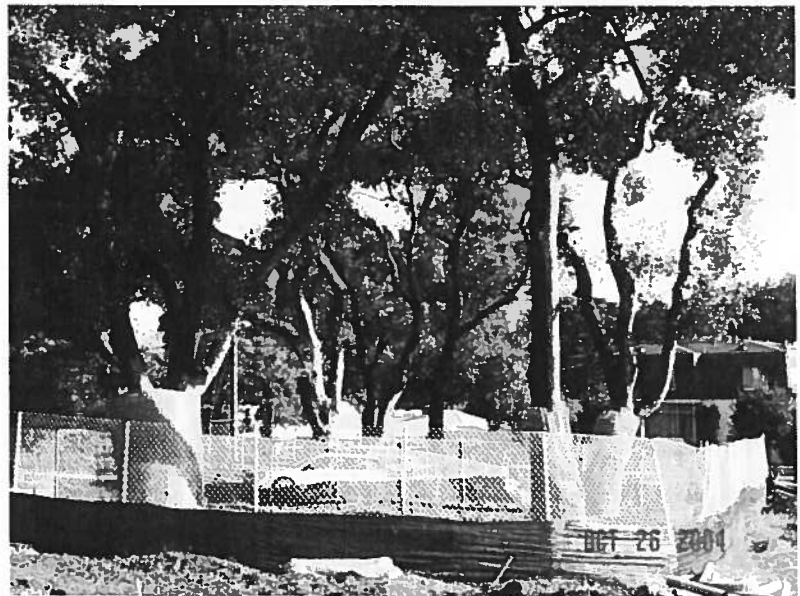
Prior to demolition commencement at site, erect five-foot tall chain link fence on seven-foot long, two-inch diameter iron tube posts pounded 24 inches into the ground (see sample image below right). Spacing shall be maximum 8 feet on-center between tube posts. Ideally, a spacing of 6 feet on-center is best.

Fence route locations: See WLCA's tree map markup below with red dashed lines indicating approximate fence locations.

Optional for fencing material: **Use chain link fencing panels set on moveable concrete block footings.** Wire the fence panels to iron layout stakes pounded into the ground at the ends of each fence panel to keep the fence route stabilized and in its correct position. Do not wire the fence panels to the trunks of the trees.

Allow the PA to inspect and sign off on this fencing prior to actual site plan work start.

The protective fencing must not be temporarily moved during construction. No materials, tools, excavated soil, liquids, substances, etc. are to be placed or dumped, even temporarily, inside the root protection zone or "RPZ".



See sample spec image at right for an example of how to set up fencing.



d. Signage:

The RPZ fencing shall have one sign affixed with UV-stabilized zip ties to the chain link at eye level for every 15-linear feet of fencing, minimum 8"X11" size each, plastic laminated, with wording that includes the City Code section that refers to tree fence protection requirements (if any):

TREE PROTECTION ZONE FENCE
ZONA DE PROTECCION PARA ARBOLES

-NO ENTRE SIN PERMISO-
-LLAME EL ARBOLISTA-

REMOVAL OF THIS FENCE IS
SUBJECT TO PENALTY ACCORDING TO
CITY OF MENLO PARK CODE “(add applicable code citing here)”

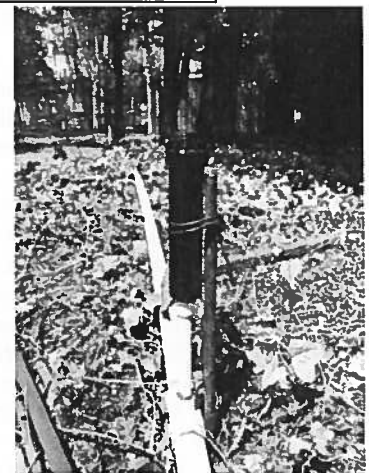
PROJECT ARBORIST:
TELEFONO CELL: **EMAIL:**

e. Irrigation Temporary During Construction:

Provide irrigation to **sycamore #2 on a once-weekly or twice-weekly basis, applying approximately 50 gallons on a single day**, using any means necessary, throughout the site plan work period.

See sample images at right, showing methods of providing weekly heavy irrigation to trees on construction sites.

Above right: Sprinkler riser set on PVC rigid irrigation pipe set over grade. Riser is wire-affixed to a vertical piece of rebar pounded into the ground. This system works well for groves of trees where no construction activity will occur. The piping is simply laid over grade, with zero impact on the root systems of trees being retained.



Below right: Irrigation using a tow-behind “water buffalo” tank and spray apparatus setup which refills at local fire hydrants (metered water usage with authorization from fire officials).



Other methods include emitter lines, soaker hoses, garden hoses turned on and monitored, use of an older existing system patched into a neighbor's water system, etc.

Note that we will need to use an existing or newly set up water supply pipe system that remains active and running throughout the entire site work period (assume that the existing irrigation system will be shut down and capped prior to start of site demolition).



f. Project Team Plan Adjustments & Verifications:

i. Pipe Trenches:

It is suggested that the project team verify locations of all proposed drain pipes and utilities, such as but not limited to power, gas, lighting, low voltage, drainage, sanitary sewer, downspout drains, French drains, area drains, drain boxes, **irrigation piping** including both deep trench PVC and surface emitter lines, etc.

WLCA suggests keeping an **offset of at least 20 feet** between the trunk edges of all trees being retained, and the trenches associated with the above-noted items.

ii. Landscape Plan Bike Rack Area:

Eliminate the proposed degraded granite bike rack area from within the oak #1 canopy dripline (Reed Associates to adjust landscape plan accordingly).

iii. Irrigation / Permanent:

Create a heavy flood bubbler type irrigation system as permanent supplemental irrigation supply for **sycamore #2**.

WLCA suggests using **adjustable type high flow flood bubblers** (see images at right showing two different types: a riser adjustable bubbler, and a flex tube end-mounted adjustable bubbler), which can be adjusted from roughly zero to 20 gallons per hour flow rate by a simple twist of the cap. The bubblers should be set near and far from the trunk in order to flood the entire root system area over the entire planter surface.

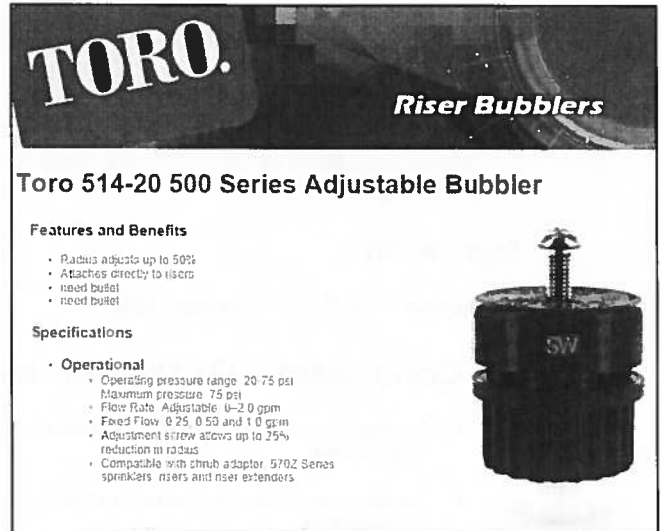
iv. Compaction of Subgrade:

Limit whacker compaction of the subgrade soil areas **within 20 linear feet radius of trees #1 and #2 to 85% Proctor maximum**. This will allow tree roots to continue growth through these areas.

g. Pruning for Structural Improvement:

Consider branch length reduction pruning to reduce lengths of laterally over-extended branches and limbs, removing selected outermost portions of branches and limbs on **oak #1** (to be determined).

All pruning shall be performed only by, or under direct full time supervision of an ISA-Certified Arborist, and shall conform to the most current iteration of the American National Standard Institute pruning guidelines and accompanying ISA Best Management Practices / Pruning booklet:





- ANSI A300 (Part 1) tree, shrub, and other wood plant maintenance / standard practices (*pruning*). 2001.
- Best Management Practices / Tree Pruning: companion publication to the ANSI A300 Part 1: tree, shrub, and other wood plant maintenance / standard practices (*pruning*). International Society of Arboriculture. 2002.

Local vendors:

Advanced Tree Care, Redwood City.

7.0 Consultant's Qualifications

- Contract City Arborist to the City of Belmont Department of Planning and Community Development 5/99-present
 - Contract Town Arborist, Town of Los Gatos, California Planning and Community Development 11/15-present
 - Continued education through attendance of arboriculture lectures and forums sponsored by The American Society of Consulting Arborists, The International Society of Arboriculture (Western Chapter), and various governmental and non-governmental entities.
 - ISA Qualified Tree Risk Assessor
 - ISA Qualified Tree Risk Assessor Course, Palo Alto, CA. 2013
 - PNW-ISA Certified Tree Risk Assessor Course graduate, 2009 Vancouver, B.C., Canada
 - ASCA Registered Consulting Arborist (RCA) #401
 - Millbrae Community Preservation Commission (Tree Board) 2001-2006
 - ASCA Arboriculture Consulting Academy graduate, class of 2000
 - ISA Certified Arborist (CA) #WC-3172
 - Associate Consulting Arborist
Barrie D. Coate and Associates
4/99-8/99
 - U.S. Peace Corps Soil and Water Conservation Extension Agent (Agroforestry, etc.)
Chiangmai Province, Thailand 1991-1993
 - B.A. Environmental Studies/Soil and Water Resources
UC Santa Cruz, Santa Cruz, California 1990
- Wildlands Studies Joint U.S./China Field Ecology Study (12 Weeks). 1989
Xujiaba Forest Reserve, Yunnan, China
- Rocky Mountain Wilderness Field Ecology Study (5 Weeks). 1986
UC Santa Cruz Extension

(My full curriculum vitae is available upon request)



8.0 Assumptions and Limiting Conditions

Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownership to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised and evaluated as through free and clean, under responsible ownership and competent management.

It is assumed that any property is not in violation of any applicable codes, ordinance, statutes, or other government regulations.

Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.

The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.

Unless required by law otherwise, the possession of this report or a copy thereof does not imply right of publication or use for any other purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant/appraiser.

Unless required by law otherwise, neither all nor any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales, or other media, without the prior expressed conclusions, identity of the consultant/appraiser, or any reference to any professional society or institute or to any initiated designation conferred upon the consultant/appraiser as stated in his qualifications.

This report and any values expressed herein represent the opinion of the consultant/appraiser, and the consultant's/appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

Sketches, drawings, and photographs in this report, being intended for visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys unless expressed otherwise. The reproduction of any information generated by engineers, architects, or other consultants on any sketches, drawings, or photographs is for the express purpose of coordination and ease of reference only. Inclusion of said information on any drawings or other documents does not constitute a representation by Walter Levison to the sufficiency or accuracy of said information.

Unless expressed otherwise:

- information contained in this report covers only those items that were examined and reflects the conditions of those items at the time of inspection; and
- the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.

Loss or alteration of any part of this report invalidates the entire report.

Arborist Disclosure Statement:

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Tree are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborist cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate the trees.



9.0 Certification

I hereby certify that all the statements of fact in this report are true, complete, and correct to the best of my knowledge and belief, and are made in good faith.

Signature of Consultant

10.0 Digital Images

Tag	Image	Tag	Image
1		1	
1		2	



Tag

Image

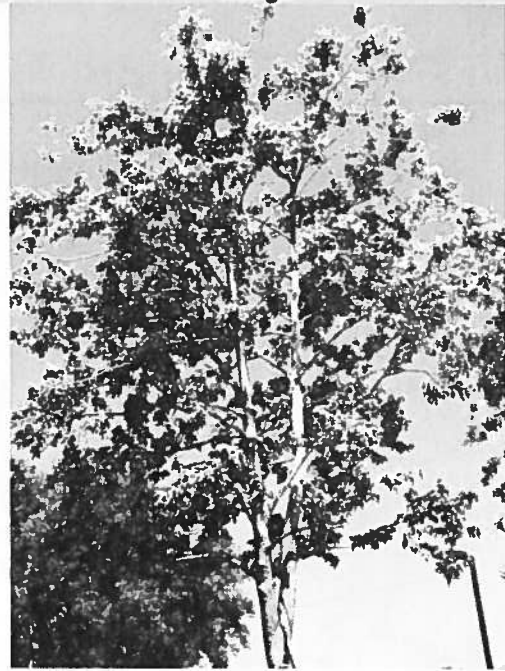
Tag

Image

2

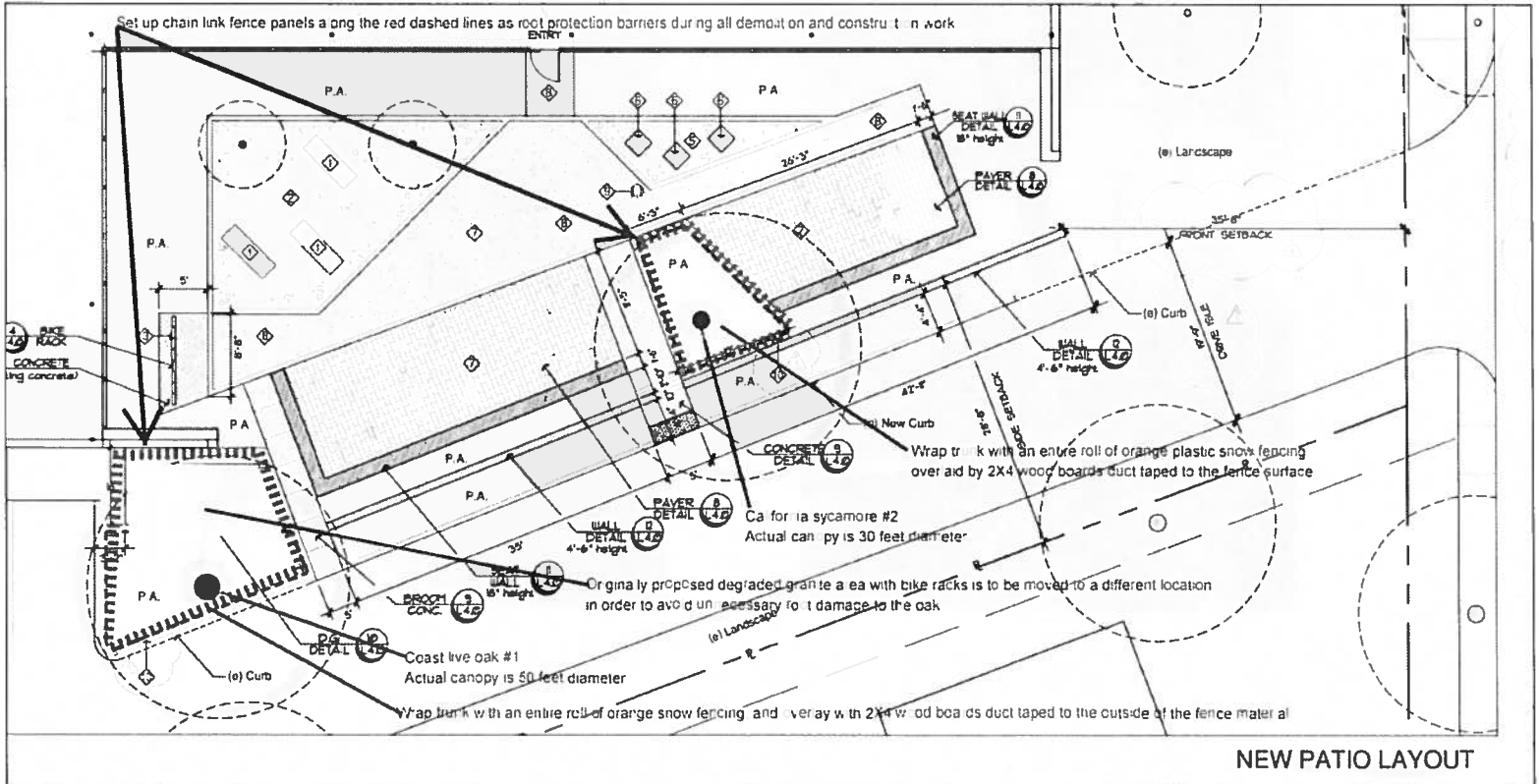


2





11.0 Tree Location Map Mark-Up (WLCA)



RED DASHED LINES INDICATE WLCA'S SUGGESTED CHAIN LINK FENCE PROTECTION ROUTES.

WRAP THE LOWER TRUNK OF EACH TREE WITH ONE ENTIRE ROLL OF ORANGE PLASTIC EACH, AND OVERLAY WITH 2x4 WOOD BOARDS STANDING SIDE BY SIDE AND DUCT TAPED TO THE OUTSIDE OF THE PLASTIC.



STAFF REPORT

Planning Commission

Meeting Date: 8/14/2017

Staff Report Number: 17-054-PC

Public Hearing: Use Permit/Henry L. Riggs/8 Politzer Drive

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to partially demolish, remodel, and add to an existing nonconforming single-story, single-family residence on a standard lot in the R-1-S (Single-Family Suburban) zoning district, at 8 Politzer Drive. The project previously received a building permit for a more limited scope of work; however, the proposed revisions would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period and therefore, require a use permit. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The project site is located at 8 Politzer Drive in the West Menlo neighborhood. Using Politzer Drive in the north-south orientation, the subject property is on the east side of Politzer Drive above the intersection of Elder Avenue and Politzer Drive. A location map is included as Attachment B. Adjacent parcels are also zoned R-1-S, with a primarily one-story, single-family residences that tend to have a ranch architectural style and a few other styles, such as contemporary. The subject property abuts the Hillview Elementary School, which lies adjacent to the west and is part of the P-F (Public Facilities) zoning district.

Building Permit

The applicant applied for a building permit on December 1, 2016, and the building permit was issued on April 10, 2017. The original scope of work did not include removal and replacement of all existing drywall inside the house, and fell below the 75-percent value threshold for projects involving nonconforming structures, with the work estimated at 59 percent. At a building inspection on June 19, 2017, the inspector noted all the drywall inside the house had been removed from the existing residence. The City issued a stop work order on June 22, 2017, and the applicant was instructed to submit updated new work value calculations. The revised new work value calculation, with the added value from the replacement of the drywall, indicated the project would exceed the 75-percent value threshold and require Planning Commission approval. The building is currently under construction, with a stop work order in place. A use permit for the overall project would need to be approved by the Planning Commission for the project team

to continue work.

Analysis

Project description

The subject site is currently occupied by a single-story residence with an attached two-car garage. The structure is nonconforming with regard to the front, left, and right side setbacks, although each nonconformity is less than four inches. The applicant is proposing to add approximately 55.7 square feet to the front and 295.3 square feet to the rear of the residence, perform interior modifications, including demolition of walls and replacement of all drywall, and replace existing roof, windows, and siding to renovate the existing structure. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a four-bedroom home with three full bathrooms. An addition to the rear at the center and right side of the house and the removal of interior walls are proposed to create a large open kitchen/dining/living area that would connect to an outdoor patio at the rear and create a new master bedroom and bathroom adjacent to the remodeled kitchen/dining/living area. An addition at the front of the house is proposed to expand the living area and install a fireplace at the front of the house.

The existing nonconforming walls at the front, left, and right sides of the residence are proposed to remain with the wall framing retained, but all areas of new construction, including the proposed addition to the living area, bathroom, kitchen, and master bedroom and bathroom, would comply with current setback requirements and other development standards of the R-1-S zoning district. The floor area, building coverage, and height of the proposed residence would all be below the maximum amounts permitted by the Zoning Ordinance.

Design and materials

The existing residence is a traditional ranch home featuring the characteristic long, low profile, gabled roof and sand finish stucco siding common to this architectural style. As part of the proposed project, there would be new stone tile in the center of the front and rear additions. The entire roof structure would be replaced with a new composition shingle roof. All existing windows would be replaced with new vinyl clad wood ones to match proposed. All existing doors would be replaced with wood doors to match proposed.

Staff believes that the scale, materials, and style of the proposed residence are consistent with the broader neighborhood, given the architectural styles and sizes of structures in the area.

Parking and circulation

Under the current Zoning Ordinance, two-car garages are required to have interior clear dimensions of 20 feet by 20 feet. However, many older residences have garages that do not meet these dimensions, but still function effectively as two-car garages. Per staff's historical interpretation, the original garage with interior clear dimensions of 18 feet by 21 inches, nine inches is considered a two-car garage as it has minimum interior clear dimensions of at least 18 feet by 18 feet. As part of the original building permit approval, staff mistakenly understood that interpretation as allowing the garage to be reduced to a minimum of 18 feet by

18 feet interior clearance, associated with the expansion of the master bathroom into the back right corner of the garage. Since that part of the proposal was issued as a building permit and has largely been constructed, staff is honoring this modification and considers the garage to be an oversized one-car garage. In this case, the driveway also provides two unofficial parking spaces that provide flexibility. However, staff does not consider this a precedent, and intends to ensure that applicants do not modify the dimensions of other undersized two-car garages below either the existing dimension or 20 feet, whichever is greater.

Trees and landscaping

At present, there are nine trees on or in close proximity to the project site. Seven of these trees are heritage trees. All nine trees are proposed to remain. The construction of the proposed addition has not adversely affected any of the existing trees located on the subject site or neighboring properties, given that the majority of the proposed additions are within the footprint of the existing structure. Standard heritage tree protection measures will be ensured through recommended condition 3g. No new landscaping is currently proposed.

Valuation

To calculate the replacement and new construction costs on which the use permit threshold is based, the City uses standards established by the Building Division. The City has determined that the replacement cost of the existing structure would be \$483,830, meaning that the applicants would be allowed to propose new construction and remodeling at this site totaling less than \$362,873 in any 12-month period without applying for a use permit. The City has determined that the value of the proposed work would be approximately \$399,220. Based on this estimate, the proposed project exceeds 75 percent of the replacement cost of the existing structure, therefore requiring use permit approval by the Planning Commission.

Correspondence

The property owners indicated that they spoke with their adjacent side neighbors about the design and received positive feedback. Staff has not received any correspondence.

Conclusion

Staff believes that the scale, materials, and style of the proposed residence are compatible with those of the greater neighborhood. No heritage tree impacts are anticipated, and the floor area, building coverage, and height of the proposed residence would all be at or below the maximum amounts permitted by the Zoning Ordinance. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

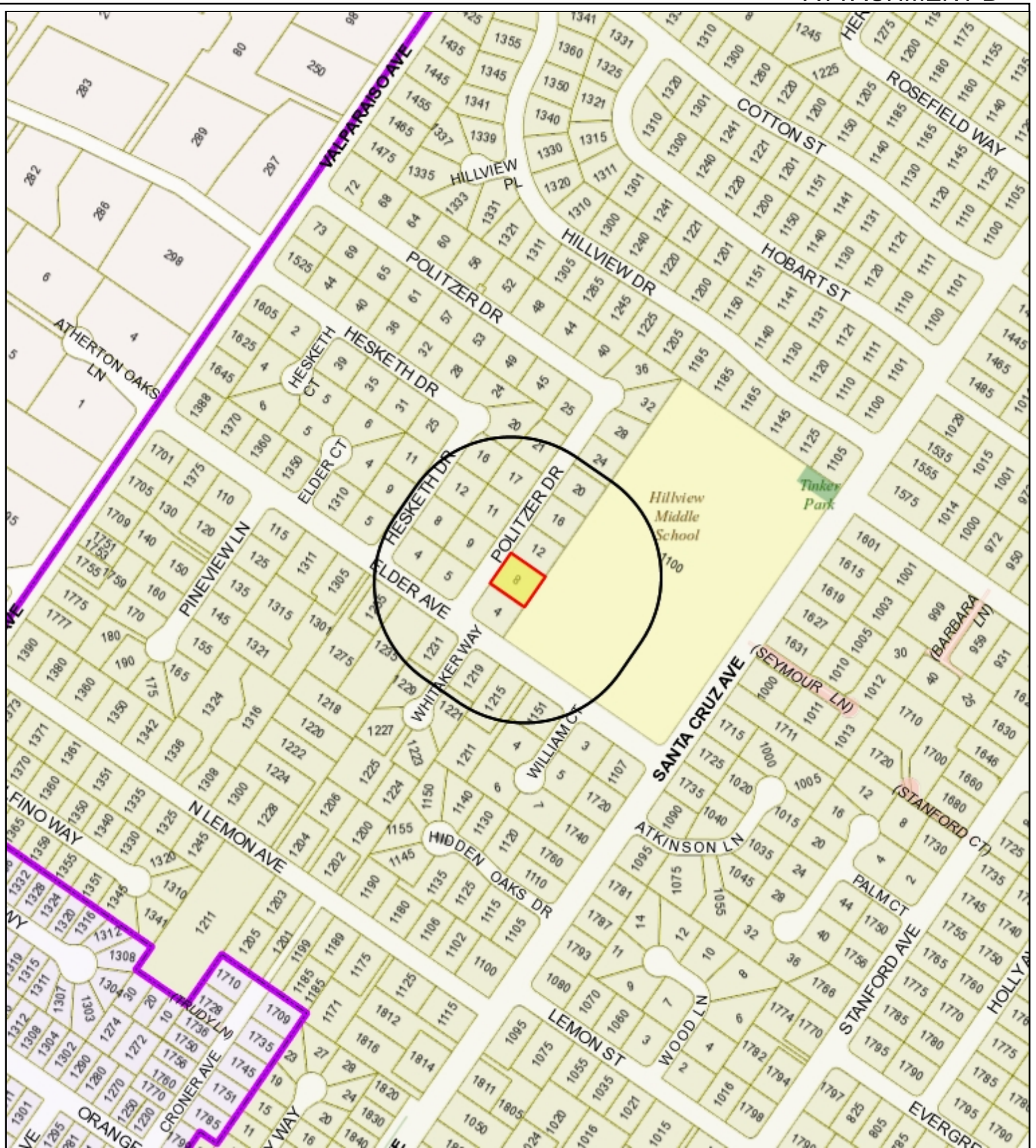
Sunny Chao, Assistant Planner

Report reviewed by:

Thomas Rogers, Principal Planner

8 Politzer Drive – Attachment A: Recommended Actions

LOCATION: 8 Politzer Drive	PROJECT NUMBER: PLN2016-00071	APPLICANT: Henry L. Riggs	OWNER: Ohtaki Family Trust
REQUEST: Request for a use permit to partially demolish, remodel, and add to an existing nonconforming single-story, single-family residence on a standard lot in the R-1-S (Single-Family Suburban) zoning district. The project previously received a building permit for a more limited scope of work; however, the proposed revisions would exceed 75 percent of the replacement value of the existing nonconforming structure in a 12-month period and therefore, require a use permit.			
DECISION ENTITY: Planning Commission	DATE: August 14, 2017	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Strehl TBD; Riggs recused)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Henry L. Riggs, AIA, consisting of eight plan sheets, dated received August 8, 2017, and approved by the Planning Commission on August 14, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance. 			



CITY OF
MENLO PARK

City of Menlo Park

Location Map
8 Politzer Drive



Scale: 1:4,000

Drawn By: SYC

Checked By: THR

Date: 8/14/2017

Sheet: 1

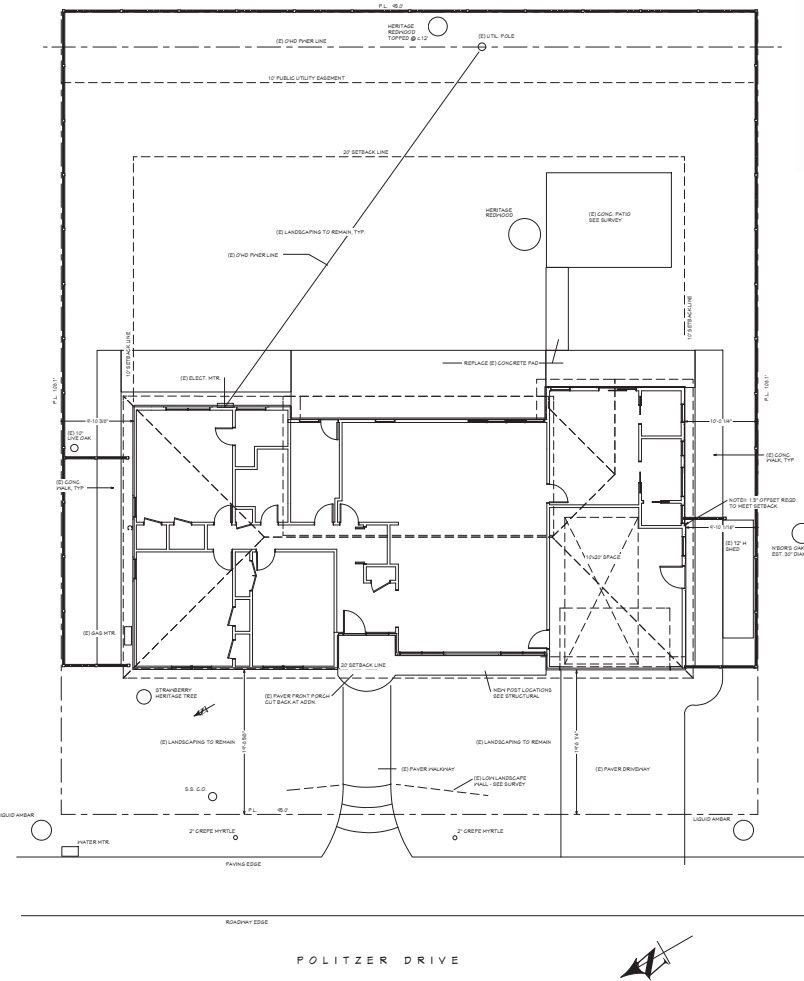
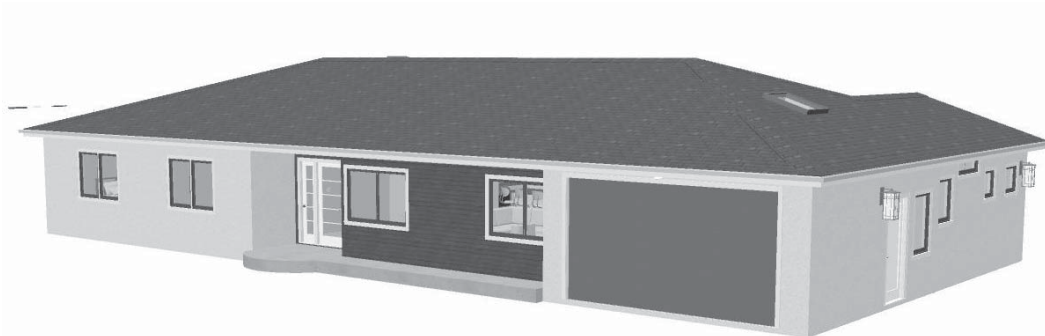
	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	10,271 sf	10,271 sf	10,000 sf min.
Lot width	95 ft.	95 ft.	80 ft. min.
Lot depth	108.1 ft.	108.1 ft.	100 ft. min.
Setbacks			
Front	19.7 ft.	19.7 ft.	20 ft. min.
Rear	49.5 ft.	52.1 ft.	20 ft. min.
Side (left)	9.9 ft.	9.9 ft.	10 ft. min.
Side (right)	9.8 ft.	9.8 ft.	10 ft. min.
Building coverage	2,706.5 sf 26.4 %	2,403.6 sf 23.4 %	3,628.5 sf max. 35.3 % max.
FAL (Floor Area Limit)	2,628.5 sf	2,268.9 sf	3,617.8 sf max.
Square footage by floor	2,190.5 sf/1st 374 sf/garage 64 sf/accessory building 78 sf/porch	1,813.5 sf/1st 391.5 sf/garage 64 sf/accessory building 134.6 sf/porch	
Square footage of buildings	2,706.5 sf	2,403.6 sf	
Building height	15.8 ft.	15.8 ft.	28 ft. max.
Parking	2 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees*	7	Non-Heritage trees**	2	New Trees	0
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0	Total Number of Trees	9

*Includes two trees in the right-of-way and one tree on the adjacent right parcel.

**Includes two trees in the right-of-way.

SITE ANALYSIS
 Zoning RLS
 LOT AREA 10,271 s.f.
 ALLOWABLE FLOOR AREA 3,617.75
 (10,271 - 7,000) X 25% + 2800
 3,271 X .25 = 817.75 + 2800
 NO ATTIC SPACE OVER 5' 0"
 PROPOSED FLOOR AREA 2,684 s.f.
 LAND COVERED BY STRUCTURES 26.9%
 LANDSCAPING 54.9%
 PAVED SURFACES 14.2%
 PARKING SPACES 1 COVERED
 ALL GRADES TO REMAIN NATURAL



PROJECT CONSULTANTS
Structural Engineer: RC Consulting Engineers, Rome Cabalar
 408 229 8155 rcemr@aol.com
Energy Compliance: Carstairs Energy, Tim Carstairs
 805 904 9048 title24@yahoo.com
Survey: MacCleod and Associates, Dan MacCleod
 650 593 8580 dmacleod@macleodassociates

- 8 POLITZER DRIVE**
PROJECT DESCRIPTION
REMODEL AND ADDITION
- Added floor area at rear (bath, new office, kitchen and dining areas)
 - Replacement of enclosed porch with new construction Master suite
 - Partial infill of front porch
 - Revised roof including flat dormer all new 30 year comp shingles in dark color.
 - New skylights
 - Open "cathedral" ceiling at Kitchen, Dining and Living areas
 - Replacement central heating
 - New GalGreen plumbing fixtures
 - New lighting in other areas (existing bedrooms, hall, bath 2), including remove and replace drywall throughout for wiring.
 - Replacement windows in existing openings
 - Whole house fan

The existing house is a mid century stucco ranch with shake roof. The Owners, Peter and Julie, need additional space for their parents, and wish to update the main living space in their home. The additions amount to 351 s.f.

The existing building is several inches each into the side and front setbacks, making it legal non-conforming. The project was granted a building permit in April based on a scope of work equal to less than 75% of existing value. In June, the contractor elected on his own to remove existing wall finishes in the un-remodeled spaces to better access for new wiring; this amounts to re-enclosing those spaces, which was identified in the field by the inspector, June 4. The resulting scope of work now requires a use permit.

The project remains a one story and most of the 551 s.f. expansion is in the rear yard. Owners have spoken with the neighbor on both sides who are both supportive; the neighbor to the rear is a Hillview School parking lot.

- DRAWINGS INDEX**
- A 1 Cover Sheet
 - A 2 Streetscape and Area Plan
 - A 3 Roof Over Existing Structure Diagram
 - A 4 Existing Plan and Elevations
 - A 5 Floor Area Diagrams
 - A 6 Proposed Floor Plan
 - A 7 Building Elevations
 - A 8 Building Sections/ Details



VICINITY MAP

PROJECT SUMMARY

Project scope:	remodel and addition
Zoning:	RLS
Flood Zone:	X
Construction:	Type 5B wood frame
Occupancy:	R3/U
Building Code:	2013 CRC, CPC, CMC, CEC, Energy, CGBC
Lot area:	10,271 s.f.
Existing floor area:	2,268.9 s.f. (incl. 429 s.f. garage, excl. 132 s.f. porch, incl. shed)
New floor area:	351.0 s.f.
Area counted as second floor:	453.3 s.f.
New total floor area:	3,132.2 s.f. (excl. reduced porch 77.5 s.f., includes 64 s.f. shed)
Allowable FAL:	3,617.75 s.f.
Allowable lot coverage:	35.33% = 3,628.5 s.f.
Patio driveway and walks:	1,596 s.f.
Accessory bldg. (shed):	64 s.f.
Fin/porch/chimney:	8 s.f. (removed w remodel)
Existing bldg. coverage:	23.87 s.f.
New bldg. coverage:	2761.9 s.f.
Coverage Ratio:	26.9 %
Fire Sprinklers:	Yes
Parking:	(1) 9x18 in exist. 1-car garage

PLOT PLAN
 1/8" = 1'-0"
 0' 4' 8' 16'

During construction, provide storm water drainage and retention compliance with CGBC section 4.106.2.

REVISION TABLE

NUMBER	DATE	DESCRIPTION	REVISION BY	USE PERMIT
1	AUG 4 '17			

Henry L Riggs, AIA
 650 327 6190
 hlriggs@comcast.net

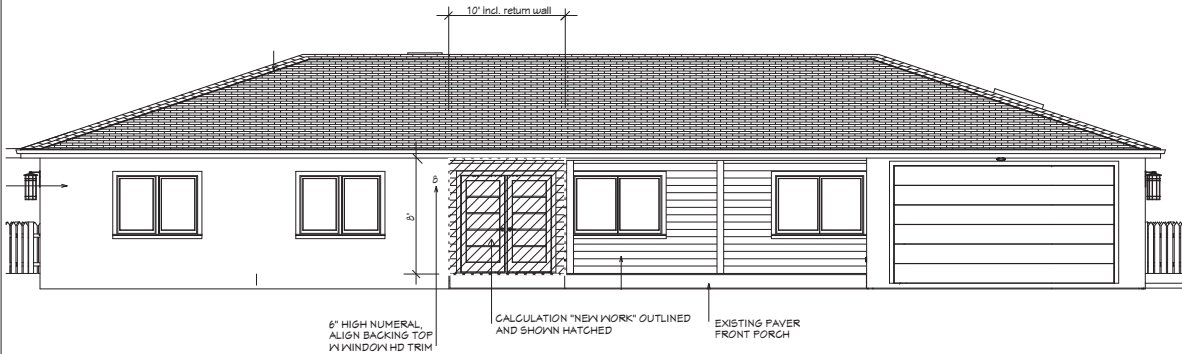
OHTAKI RESIDENCE
 8 POLITZER DRIVE
 MENLO PARK, CA 94025

COVER

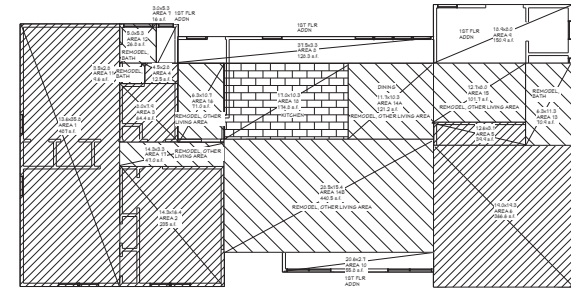
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 AUG 4 2017

SCALE:

SHEET:
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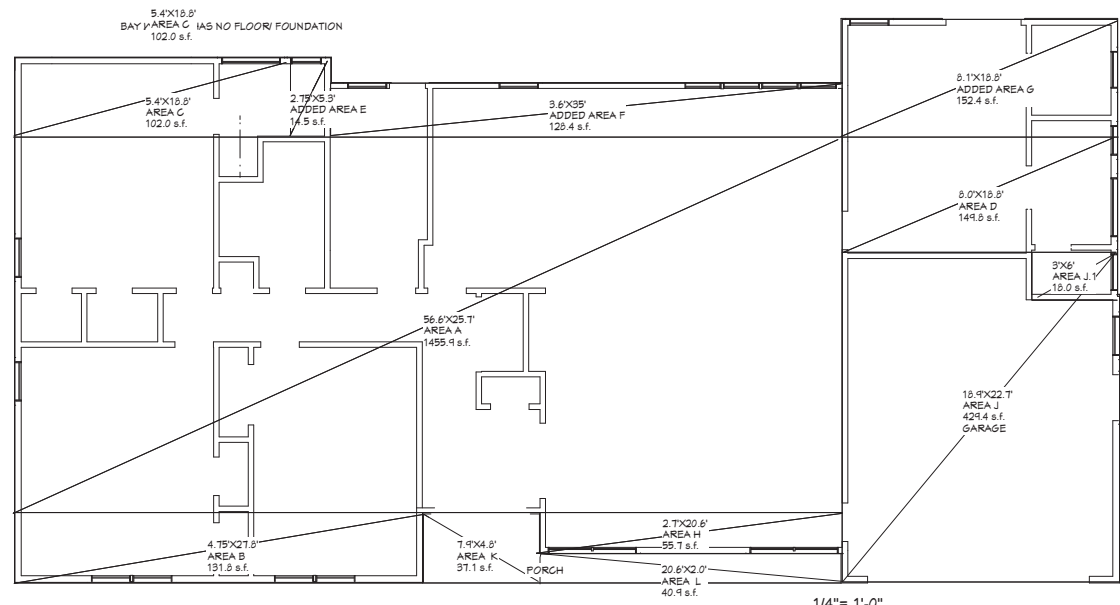


NEW WORK CALCULATION ELEVATION
 1/4" = 1'-0" FOR CITY PLANNING FEE CALCULATIONS



NEW AREA WORK CALCULATION PLAN
 1/8" = 1'-0"
 0' 4' 8' 16'

AREA SUMMARY	
A	1455.9 s.f.
B	131.8
C	102.0
D	149.8
EXISTING HOUSE	1839.5
W GARAGE	2268.9
E ADDED	14.5
F ADDED	128.4
G ADDED	152.4
H ENCLD. PORCH	55.7
PROPOSED HOUSE	2190.5
W GARAGE	2619.9
AREA ADDED	351.0
J GARAGE	429.4
K PORCH	37.1
L PORCH	40.9
(E) SHED	64.0
BLDG COVERAGE	2761.9



1/4" = 1'-0" AREA RECTANGLES
 0' 4' 8' 12' 16'

REVISION TABLE	NUMBER	DATE	DESCRIPTION
			USE PERMIT

Henry L Riggs, AIA
 650 327 6140
 hriggs@comcast.net

OHTAKI RESIDENCE
 8 FOLITZER DRIVE
 MENLO PARK, CA 94025

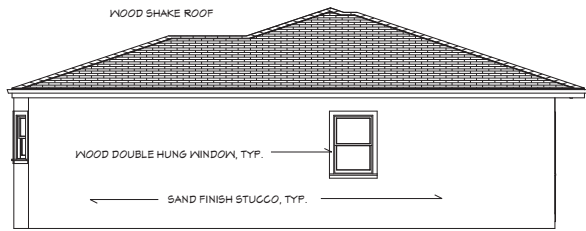
FLOOR AREA DIAGRAMS

DATE:
 AUG 4 2017

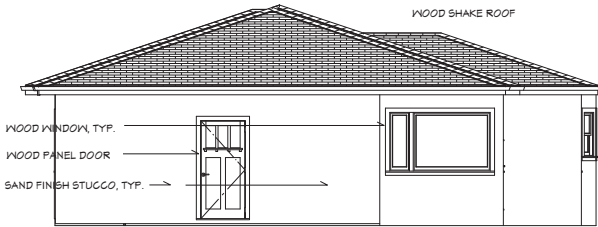
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 1/4" = 1'-0"

SHEET:

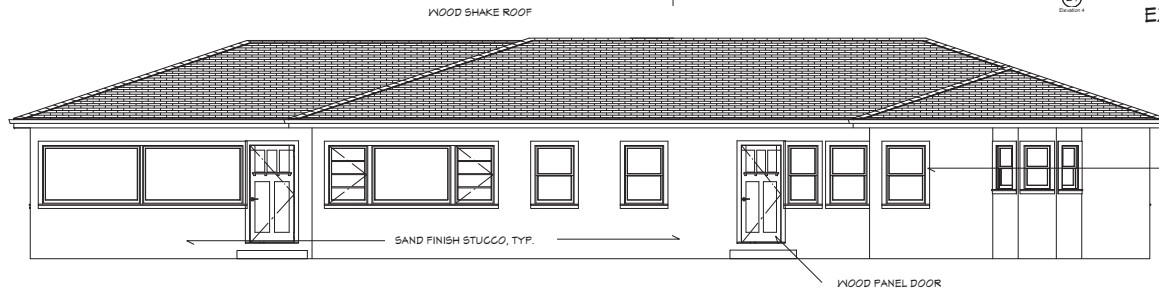
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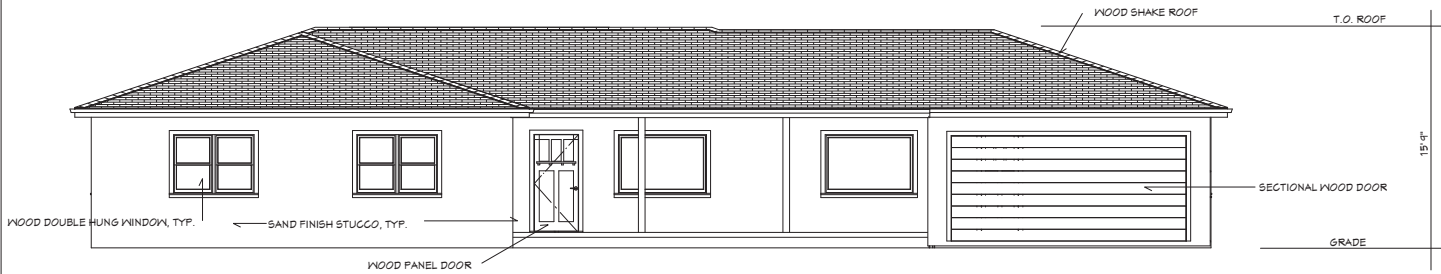
Elevation 6



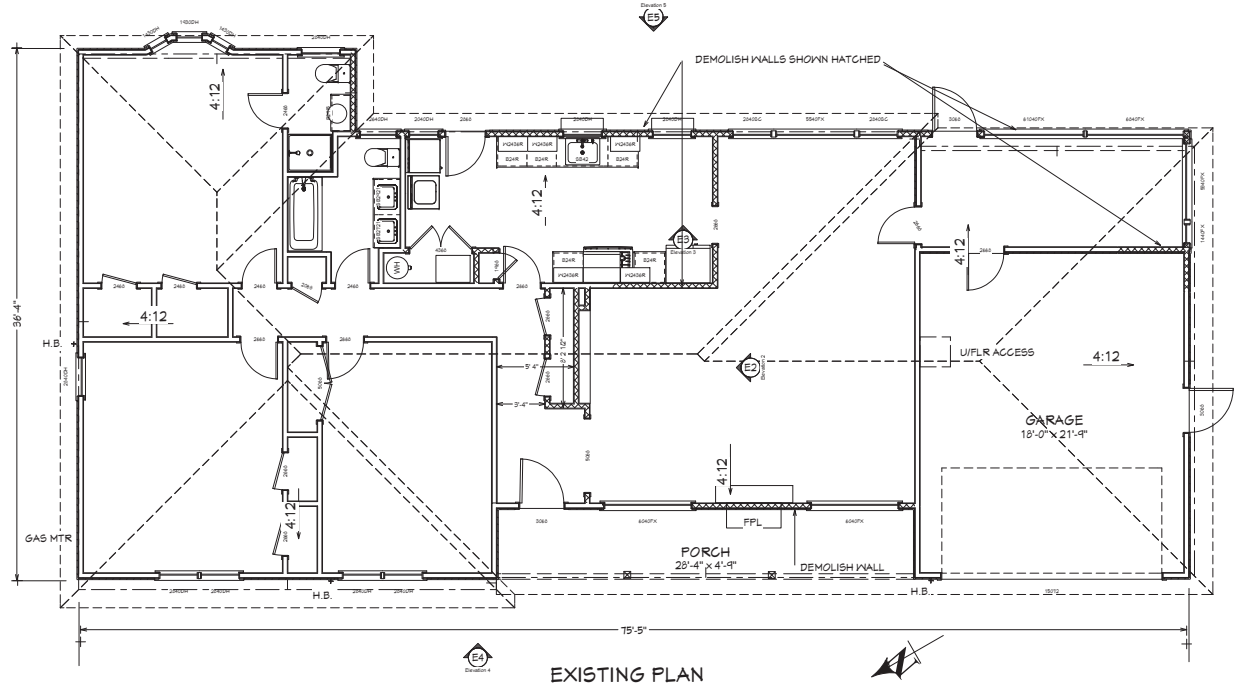
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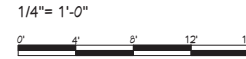
Elevation 5



Elevation 4



EXISTING PLAN



1/4" = 1'-0"

REVISION TABLE		
NUMBER	DATE	DESCRIPTION

Henry L Riggs, AIA
 650 327 6190
 hlriggs@comcast.net

OHTAKI RESIDENCE
 8 POLITZER DRIVE
 MENLO PARK, CA 94025

EXISTING PLAN
 AND ELEVATIONS

DATE:

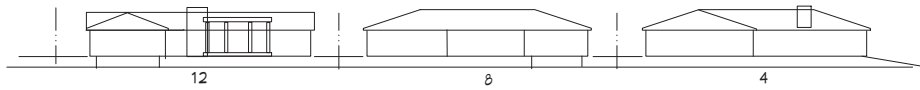
AUG 4 2017

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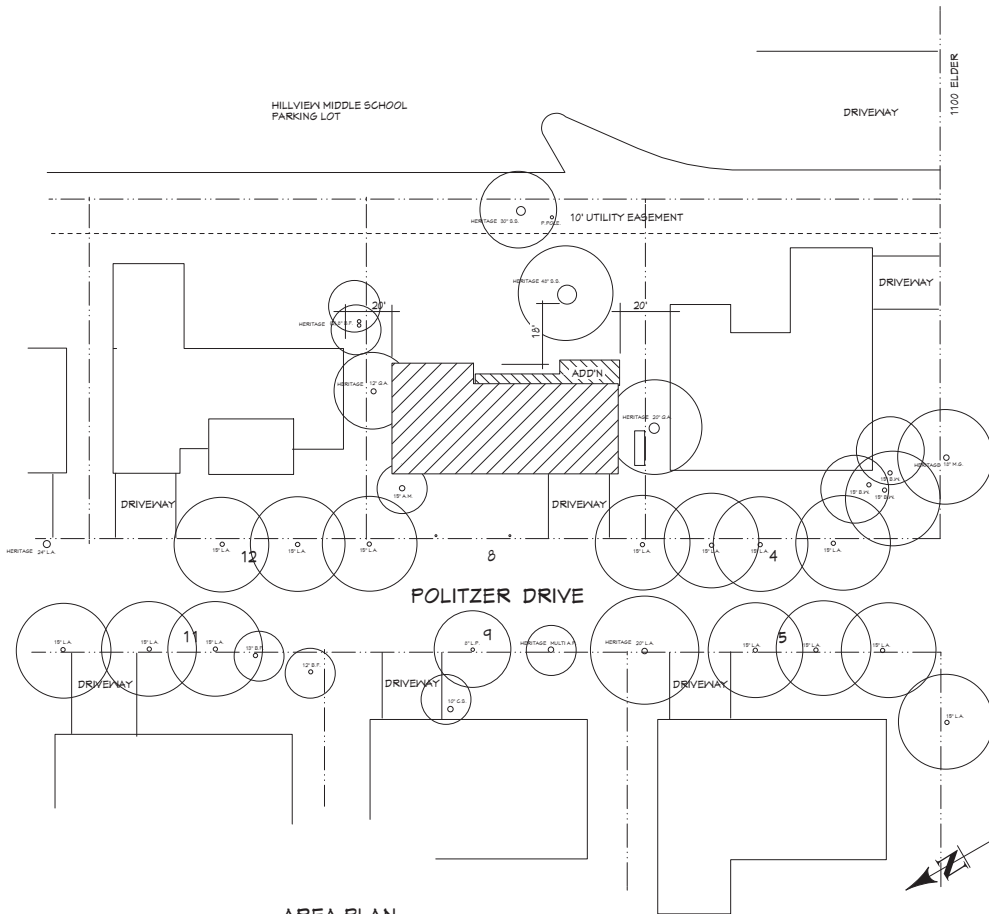
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SHEET:

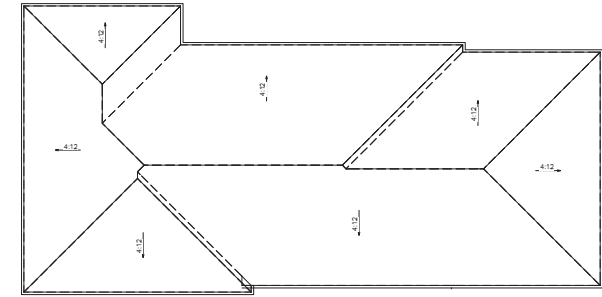
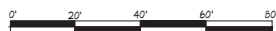
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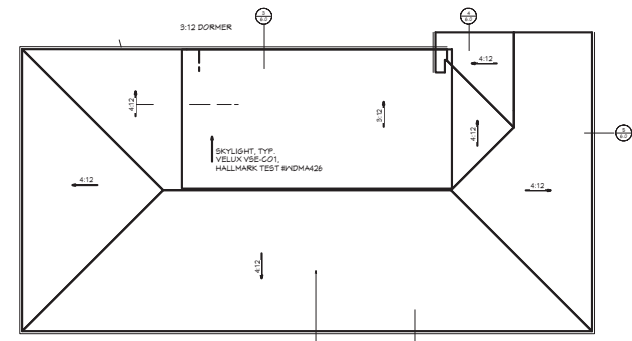
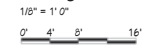
STREETSCAPE
1" = 20"



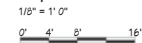
AREA PLAN
1" = 20"



Roof Plan - Existing



Roof Plan - Proposed



TREE SCHEDULE

A.M.	STRAWBERRY TREE
A.P.	JAPANESE MAPLE
B.F.	BIRCH
C.M.	CREPE MYRTLE
C.S.	ORANGE
J.N.	BLACK WALNUT
L.A.	LIQUID AMBAR
L.P.	LONDON PLANE
M.G.	MAGNOLIA GRANDIFLORA
Q. A.	LIVE OAK

REVISION TABLE	NUMBER	DATE	DESCRIPTION
	1		PRELIMINARY
	2	MAR. 27.11	PLANNING

Henry L Riggs, AIA
650 327 6190
hriggs@comcast.net

OHTAKI RESIDENCE
8 POLITZER DRIVE
MENLO PARK, CA 94025

**STREETSCAPE AND
AREA PLAN**

DATE:

AUG 4 2017

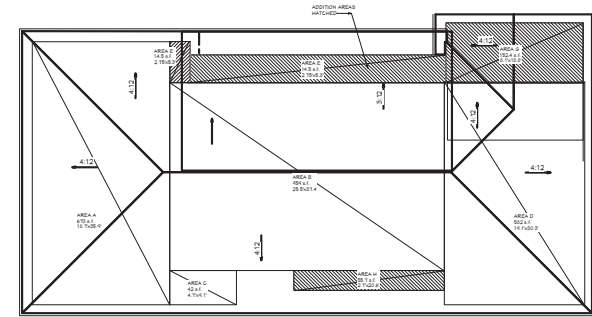
SCALE:

AS NOTED

SHEET:

A 2

AREA OVER EXISTING STRUCTURE	
A	471.4
B	464
C	43
D	565
subtotal	2284 over existing
E	14.2
F	124.4
G	152.4
H	35.1
subtotal	351 addition area
TOTAL	2635.4 covered area



New Roof

1/8" = 1'-0"
0' 4' 8' 16'

REVISION TABLE	NUMBER	DATE	DESCRIPTION	REVISOR	DATE

Henry L Riggs, AIA
650 327 6198
hriggs@comcast.net

OHTAKI RESIDENCE
8 POLITZER DRIVE
MENLO PARK, CA 94025

NEW ROOF OVER
EXIST. STRUCTURE
DIAGRAM

DATE:

AUG 4 2017

SCALE:

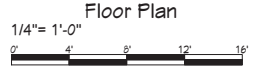
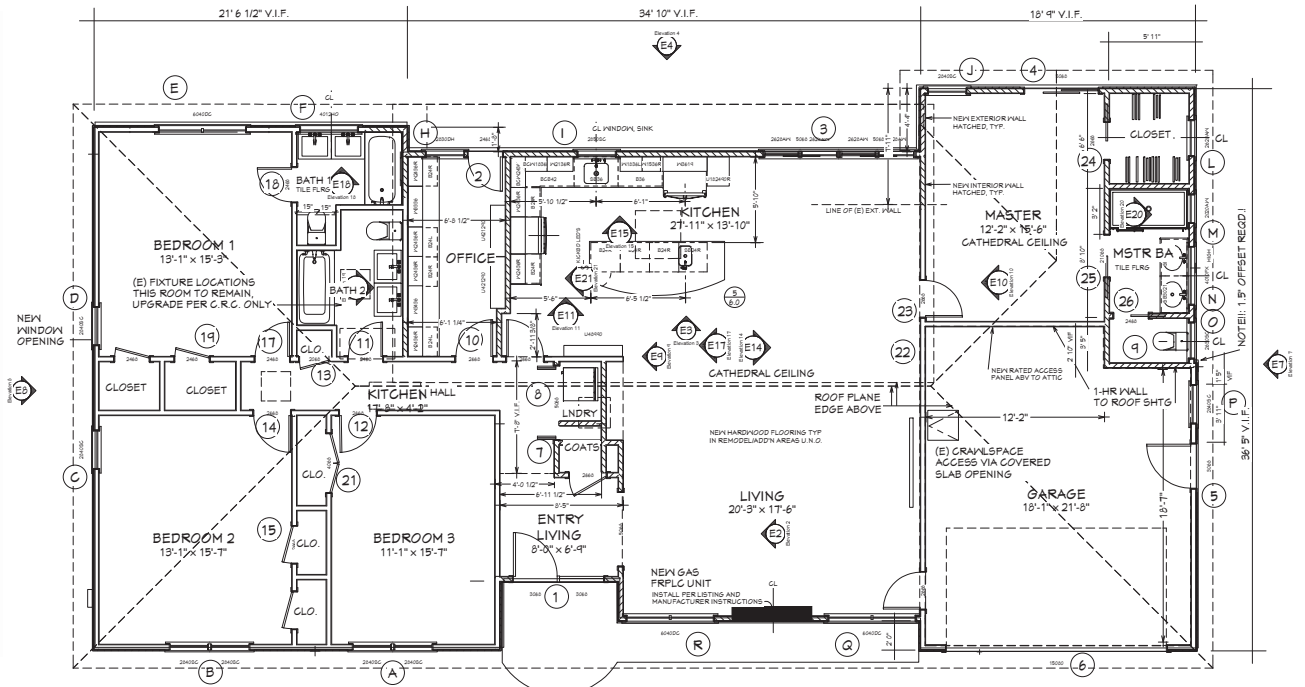
AS NOTED

SHEET:

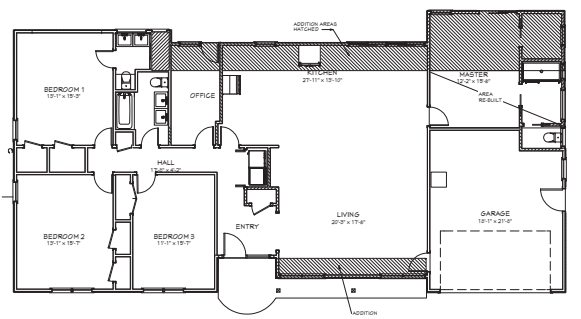
A 3

SPECIFICATIONS 13017

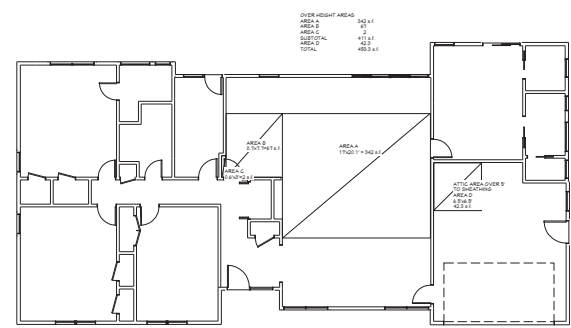
- FLOORING** Match existing oak hardwood floors, wood base 1/2"x5 1/2"; at new and remodel bathrooms, porcelain or limestone tile and matching base material.
- CABINETRY** Bath countertop: quartz as selected by owner. Bath and Kitchen cabinets: Diamond Sumner maple APC, white as supplied by Riggs-Yan, Menlo Park.
- ROOFING** Re-frame roof, see structural. Roof shingling to be radiant barrier plywood, 60AF asphalt shingles class "A" high-profile over #20 paper, with matching vents per sheet 2, aluminum lined valley (paint out), 1" #16 coated round gutters w pre-formed joints and angles; coordinate w existing downspout connections where feasible.
- INSULATION** Fiberglass batt at new exterior walls R13; all attic areas upgrade to R30; new E19 at floors (crawl space); existing walls blown in fiberglass R13 where needed. Also see sheets E.1 and E.2.
- WINDOWS/SLIDERS** Jeld-wen insulated windows-per plan. All windows and exterior doors min. U-value 0.50, air infiltration gasketed, window screens and wood frame rear screen door. New gency tested operable storm frame insulated skylights, clear lens.
- INTERIOR DOORS AND TRIM** New stain grade single panel wood doors throughout. New trim per details in all new areas and areas where trim is otherwise removed for construction.
- GARAGE DOORS** Solid wood style and rail sectional door, per owner. Side mounted opener.
- HARDWARE** Schlage polished nickel at all doors. Cabinet pulls allowance \$12 each for materials. Dark bronze anodized finish extruded aluminum exterior thresholds.
- EXTERIOR WALLS** 7/8" J coat stucco with and finish to match existing, see notes this sheet. Clear heart redwood or cedar trim. Two coats semi-gloss paint over sceler/primer all exterior wood and stucco surfaces.
- INTERIOR FINISH** Protect existing finishes during construction. Tile as selected by owner at new and remodel Bath Rooms. Tile Kitchen splash under wall cabinets, behind sink and above stove. Paint typical walls and ceiling flat, paint doors, windows and trim semi-gloss, paint no-glazed bathroom walls eggshell enamel. All minimums two coats low VOC over appropriate primer.
- PLUMBING** Schedule 40 copper piping throughout except waste per code; all new and existing hot water lines to be insulated R4 min. All new plumbing fixtures per CGBC; incl. Toto Wastler comfort height at new bath. Connect waste to existing line (verify pipe condition by camera). Collect vents for no more than one roof penetration per room served and rise as far as possible inside ext. wall line.
- HEAT & VENT** New attic heating unit to cost metal ceiling registers or flush cast metal floor registers, underfloor duct to master suite; allow for fresh air intake to FHE from exterior wall for make-up air for whole house fan. Wholehouse fan 800 cfm Fantech or equal, mounted from roof joints not ceiling. Kitchen exhaust make up air 20 s.f. duct from 6" inside from crawl space vent to kitchen floor or kickboard, insect screen and 1/2" W/W at intake. Make up air for dryer closet via lowered hardwood door. Provide two thermostatic attic fans. Heated floor at new and remodel baths. Gas fireplace: Maquig Solace 42 direct vent w circulating fan on thermostat.
- ELECTRICAL** Existing 100 amp service in current location. LED can lighting; Panasonic fan/light combination ceiling units, high efficiency lamp. All new outlets and Leviton rocker switches (side slide dimmers where indicated "D"). Center all fixtures in room or space or on major fixtures. Confirm w Archt in field.



NOTE: THE EXISTING NONCONFORMING WALLS CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS; IF THE WALLS ARE DEMOLISHED AS PART OF THE PROJECT, IT CANNOT BE REBUILT IN ITS CURRENT LOCATION, AND WILL BE REQUIRED TO MEET THE CURRENT ZONING ORDINANCE SETBACK REQUIREMENTS. (FRONT AND BOTH SIDES WALLS)



ADDITION AREA KEY PLAN
1/8" = 1'-0"



HIGH AREAS CALCULATED AS ADD'L S.F.
1/8" = 1'-0"



REVISION TABLE	NUMBER	DATE	DESCRIPTION	USE PERMIT

Henry L Riggs, AIA
650 327 6190
hrriggs@comcast.net

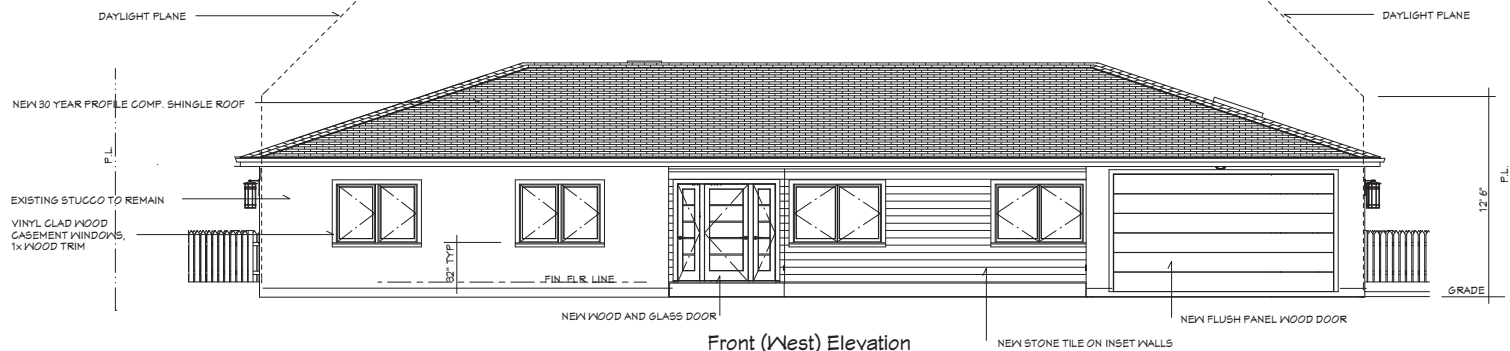
OHTAKI RESIDENCE
8 FOLITZER DRIVE
MENLO PARK, CA 94025

PROPOSED FLOOR PLAN

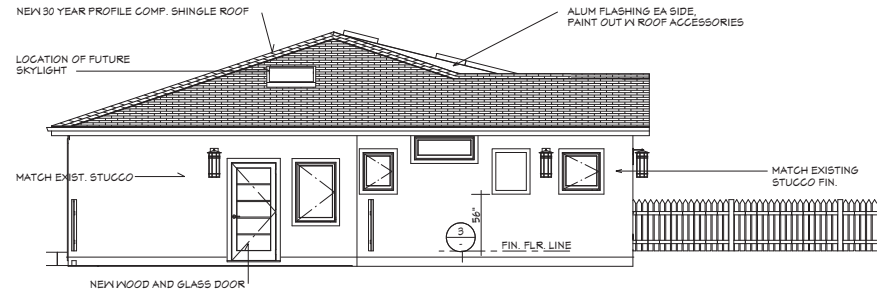
DATE: AUG 4 2017

SCALE: AS NOTED

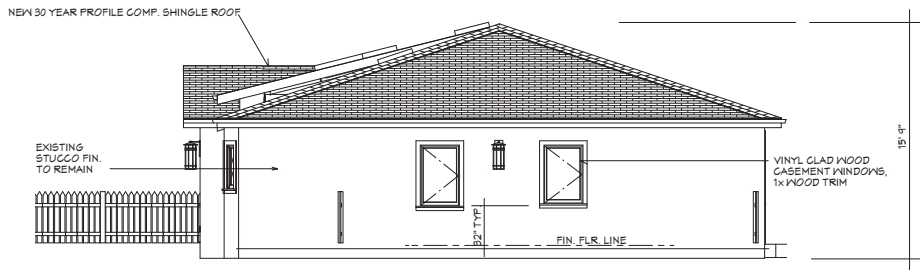
SHEET: **A 6**



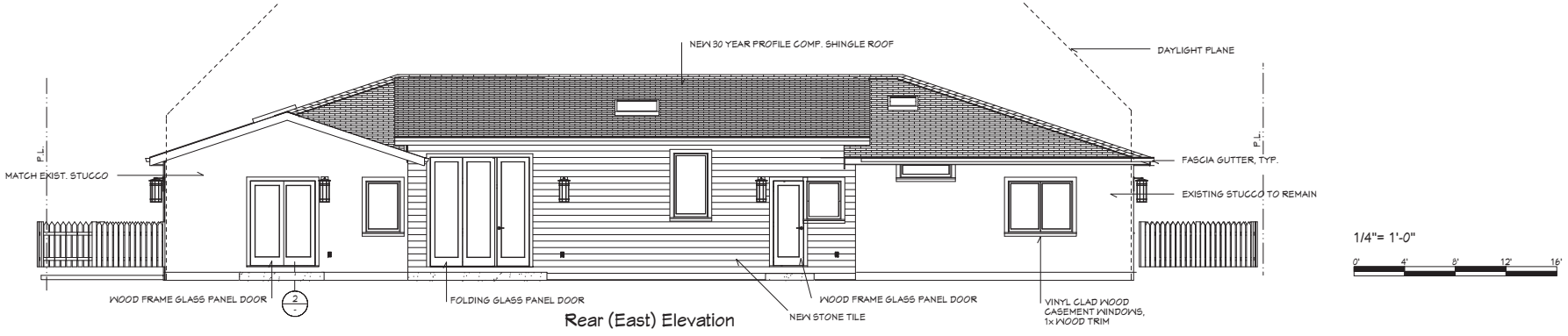
Front (West) Elevation



Right Side (South) Elevation



Left Side (North) Elevation



Rear (East) Elevation

REVISION TABLE				
NUMBER	DATE	DESCRIPTION	BY	CHK

Henry L Riggs, AIA
 650 327 6190
 hriggs@comcast.net

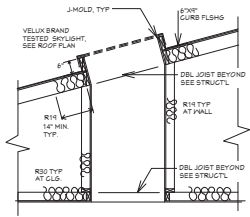
OHTAKI RESIDENCE
 8 FOLITZER DRIVE
 MENLO PARK, CA 94025

BUILDING
 ELEVATIONS

DATE:
 AUG 4 2017

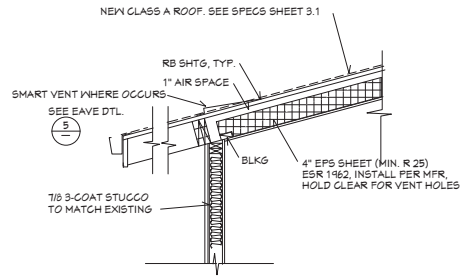
SCALE:
 1/4" = 1'-0"

SHEET:
 A 7

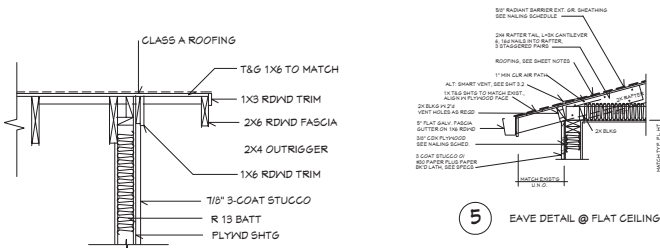


NO CEILING OR SHAFT AT GARAGE SKYLIGHT

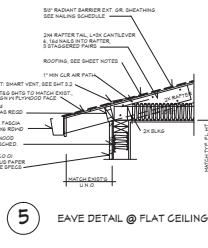
2 SKYLIGHT DETAIL



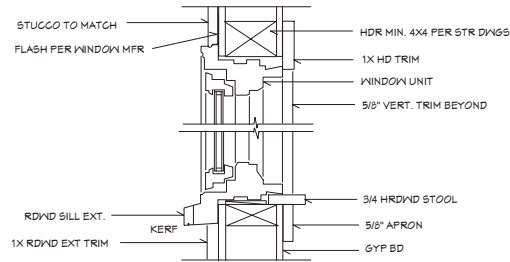
3 CATHEDRAL CEILING DETAIL



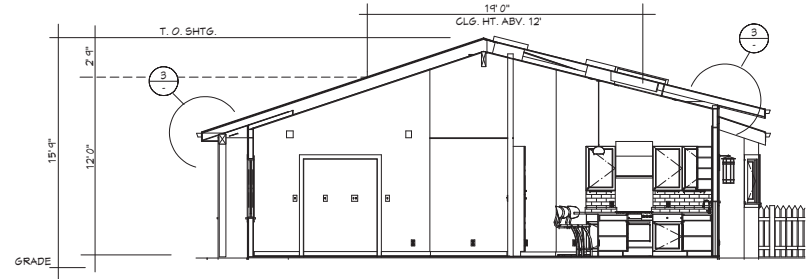
4 RAKE DETAIL



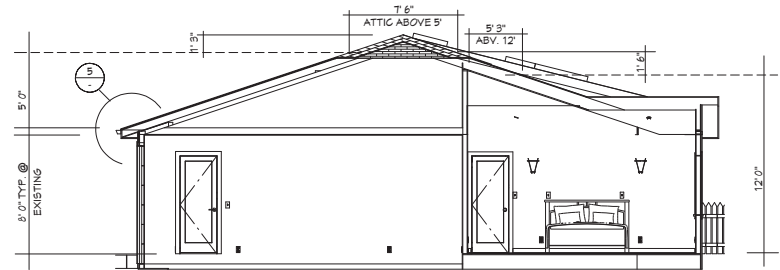
5 EAVE DETAIL @ FLAT CEILING



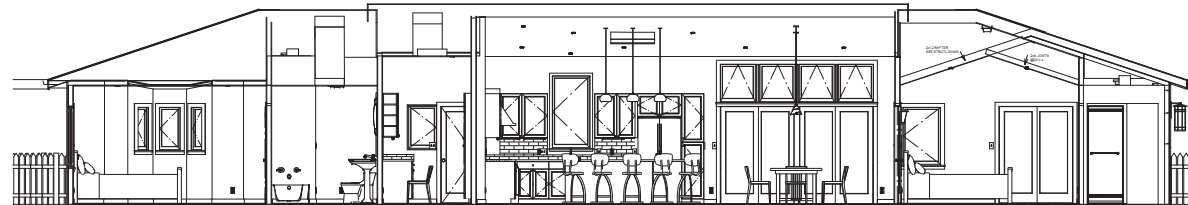
7 WINDOW SILL/ HEAD DETAIL



Section 9
1/4" = 1'-0"



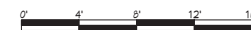
Section 10
1/4" = 1'-0"



Section 11
1/4" = 1'-0"

NOTE: SECTIONS ARE DIAGRAMMATIC TO SHOW RELATIONSHIPS - SEE STRUCTURAL DWGS.

1/4" = 1'-0"



REVISION TABLE	NUMBER	DATE	DESCRIPTION	USE

Henry L Riggs, AIA
650 327 6190
hriggs@comcast.net

OHTAKI RESIDENCE
8 FOLITZER DRIVE
MENLO PARK, CA 94025

BUILDING SECTIONS AND DETAILS

DATE:

AUG 4 2017

SCALE:

AS NOTED

SHEET:

A 8

RECEIVED

July 19, 2017
8 POLITZER DRIVE
PROJECT DESCRIPTION
REMODEL AND ADDITION

JUL 24 2017
CITY OF MENLO PARK
PLANNING DIVISION

- Added floor area at rear (bath, new office, kitchen and dining areas)
- Replacement of enclosed porch with new construction Master suite
- Partial infill of front porch
- Revised roof including flat dormer, all new 30 year comp shingles in dark color.
- New skylights
- Open "cathedral" ceiling at Kitchen, Dining and Living areas
- Replacement central heating
- New CalGreen plumbing fixtures
- New lighting in other areas (existing bedrooms, hall, bath 2), *including remove and replace drywall throughout for wiring.*
- Replacement windows in existing openings
- Whole house fan

The existing house is a mid century stucco ranch with shake roof. The Owners, Peter and Julie, need additional space for their parents, and wish to update the main living space in their home. The additions amount to 351 s.f.

The existing building is several inches each into the side and front setbacks, making it legal non-conforming. The project was granted a building permit in April based on a scope of work equal to less than 75% of existing value. In June, the contractor elected on his own to remove existing wall finishes in the un-remodeled spaces to better access for new wiring; this amounts to re-modeling those spaces, which was identified in the field by the inspector approx. June 14. The resulting scope of work now requires a use permit.

The project remains a one story and most of the 351 s.f. expansion is in the rear yard. Owners have spoken with the neighbor on both sides who are both supportive; the neighbor to the rear is a Hillview School parking lot.



STAFF REPORT

Planning Commission

Meeting Date: 7/17/2017

Staff Report Number: 17-048-PC

Study Session: Study Session/Jason Chang/1075 O'Brien Drive and 20 Kelly Court

Recommendation

Staff recommends that the Planning Commission review and provide feedback on the proposed demolition of an existing single-story warehouse and manufacturing building and construction of a new eight-story mixed-use building with three levels of structured parking above grade, four floors of offices, a restaurant, café with outdoor seating, and rooftop garden in the LS-B (Life Sciences-Bonus) zoning district. The parcels at 20 Kelly Court and 1075 O'Brien Drive would also be merged. The proposal also includes a request for an increase in quantities of hazardous materials to be stored on the site and a new chemical storage bunker on the east side of the existing building at 20 Kelly Court.

Policy Issues

Study sessions provide an opportunity for Planning Commissioners and the public to provide preliminary feedback on a project, with comments used to inform future consideration of the proposal.

Background

Site location

The project site is located at 1075 O'Brien Drive and 20 Kelly Court. The two sites are adjacent properties located at the northeast corner of O'Brien Drive and Kelly Court, and at the end of Kelly Court, which is a cul-de-sac accessed from O'Brien Drive. As a part of the proposed project, the two existing parcels would be merged.

For the purposes of this staff report, O'Brien Drive is considered to have an east/west orientation. Immediately west, north, and east of the project site are LS-B-zoned properties that are currently developed with office and industrial uses, such as warehousing and manufacturing facilities. The Hetch Hetchy right-of-way, which is owned by the San Francisco Public Utilities Commission (SFPUC), is located directly north of the project site. The Menlo Technology and Science Park is located to the north of the Hetch Hetchy right-of-way and is a multi-building office park owned partially occupied by Facebook. The business park also contains other general office, R&D, manufacturing, and warehousing uses. However, an application was recently submitted for the comprehensive redevelopment of the site into a mixed-use residential, commercial, and office campus. The Mid-Peninsula High School play field is approximately 60 feet from the existing building on the 20 Kelly Court parcel; however, the high school building is located approximately 600 feet away. The project site is approximately 550 feet from JobTrain, located at 1200 O'Brien Drive, which is east of the project site. The subject site is located approximately 300 feet from the nearest residences. The closest residential properties are located to the south along Alborni Street, which is located within the City of East Palo Alto (see Attachment A).

Previous approvals

In November 2012, the City Council approved a request from CS Bio, Inc. for a conditional development permit (CDP) to exceed the permitted 35-foot height within the former M-2 (General Industrial) zoning district, and to establish signage, building setbacks, required parking, to permit the outside storage of nonhazardous materials, and to allow for the use and storage of hazardous materials at the site, including a diesel generator. In conjunction with the CDP, the project site was rezoned from M-2 to M-2(X) (General Industrial, Conditional Development), the former parcels at 1 and 20 Kelly Court were merged, and one heritage tree was removed. The entitlements were associated with the modernization and expansion of the company's headquarters at 1 and 20 Kelly Court, which included the demolition of the building at 1 Kelly Court and partial demolition of the building at 20 Kelly Court, as well as construction of a 25,701-square foot addition to the existing building to remain, and use of tandem parking in the Hetch Hetchy right-of-way.

In May 2015, the applicant requested modifications to the previously-approved project plans to defer façade modifications to a single-story concrete tilt-up portion of the building on the site, defer installation of a new roof screen on the same portion of the building, and defer installation of a new trash enclosure. The applicant stated that the requested deferments were intended to allow the applicant to consider greater redevelopment of the site within the framework of the ConnectMenlo General Plan Update. The Planning Commission granted the modifications with the condition that the project return with a CDP amendment and related requests, or submit a building permit application to install the deferred façade improvements, screening, and new trash enclosure. As part of a formal application for the project being presently considered, the applicant will need to address the deferred items.

In December 2016, the City Council adopted the ConnectMenlo General Plan Update and three new zoning districts for consistency with the new Bayfront (M-2 Area) land use designations in the Land Use Element. Each district includes development regulations, design standards, transportation demand management, and green and sustainable building requirements. As a result of the Council's action, LS-B became the new zoning designation for the project site. The "B" in LS-B indicates that an LS-zoned parcel is eligible for bonus level development, as described in the following sections.

Analysis

The applicant is proposing to merge the existing lots at 20 Kelly Court and 1075 O'Brien Drive and demolish the existing single-story warehouse and manufacturing building along the O'Brien Drive frontage of the project site. A new eight-story, mixed-use building with three levels of structured parking above grade, four floors of offices above the garage, a restaurant on the eighth floor, and a deck and garden on the building roof would be constructed, with approximately 91,000 square feet of gross floor area (GFA). A coffee bar with outdoor seating would be located at the first floor level of the new building along the O'Brien Drive frontage of the project site. A chemical storage bunker would also be added on the east side of the existing building at 20 Kelly Court.

The project would be developed near the maximum permitted FAR and height for a bonus level development, with potential community amenities described below. The LS-B zoning district allows a development to seek an increase in floor area ratio (FAR) and/or height subject to obtaining a use permit or conditional development permit and providing one or more community amenities. The bonus level development regulations allow a FAR up to 125 percent plus 10 percent commercial, versus the base level FAR of 55 percent plus 10 percent commercial. (The LS zoning regulations define commercial uses to include retail sales establishments, certain personal services, privately-operated recreational facilities, and other uses, but exclude office, light industrial, and research and development uses.) A bonus level development may also seek an average height up to 67.5 feet (with a maximum height of 110 feet for any

single building on a multi-building development site), versus the base level height of 35 feet. Additionally, because the property is located with the flood zone, the LS zoning regulations permit a 10-foot increase in height and maximum height. The proposal would require a use permit and architectural control approval by the Planning Commission. Project plans are included as Attachment B.

Community amenities

As mentioned in the previous section, the LS-B zoning district permits bonus level development, subject to providing one or more community amenities. As part of the ConnectMenlo process, a list of community amenities was generated based on public input and adopted through a resolution of the City Council (Attachment C). Community amenities are intended to address identified community needs that result from the effect of the increased development intensity on the surrounding community.

An applicant requesting bonus level development must provide the City with a proposal indicating the specific amount of bonus development sought and the value of the amenity. The value of the amenity to be provided must equal 50 percent of the fair market value of the additional GFA of the bonus level development. The applicant must provide an appraisal performed by a licensed appraisal firm that sets a fair market value of the GFA of the bonus level of development. The City is in the process of developing more specific appraisal instructions, and staff and the applicant will continue to work together through the process as the project plans are refined.

In exchange for a FAR of approximately 124 percent and an average height near or at the maximum 67.5 feet permitted, the applicant is considering offering one or more of the following amenities on or in close proximity to the project site:

- An eighth-floor restaurant, nearly 17,000 square feet of gross floor area (GFA) in size, which may also offer food service in an outdoor seating area on the rooftop deck;
- A coffee bar along the O'Brien Drive frontage of the property, approximately 1,000 square feet of GFA in size, which would also have outdoor seating and may be operated in conjunction with the eighth-floor restaurant;
- A basketball court on the SFPUC-owned parcel adjacent to the rear property line of the project, which would only be feasible with a long-term lease agreement between the applicant and SFPUC; and/or
- A vocational program, the details of which have not been defined at this time.

The applicant's proposal for community amenities will be subject to review by the Planning Commission in conjunction with a formal use permit application or an additional study session, if warranted.

Design standards

In the LS zoning district, all new construction and building additions of 10,000 square feet of GFA or more must meet design standards subject to architectural control review. The design standards regulate the siting and placement of buildings, landscaping, parking, and other features in relation to the street; building mass, bulk, size, and vertical building planes; ground floor exterior facades of buildings; open space, including publicly accessible open space; development of paseos to enhance pedestrian and bicycle connections between parcels and public streets in the vicinity; building design, materials, screening, and rooflines; and site access and parking.

The design of the proposed building would feature a modern aesthetic, with concrete and stucco building materials and large expanses of glass. The stair and elevator tower at the front of the building would serve as a focal point of the design. Along the O'Brien Drive frontage, the stair and elevator tower and the coffee bar and seating area would screen portions of the three-level parking structure at the base of the building. In

areas with openings where the parking would be visible, especially along the sides of the building, the applicant proposes metal screen trellises attached to the walls with climbing green plants to reduce visibility of the parking areas. The rectangular massing of the building above the third floor would be broken up by balconies on various sides of the building at the fourth through eighth floors.

The applicant proposes to meet the minimum public open space requirement of 10 percent of the lot area by providing pedestrian plazas in front of the existing 20 Kelly Court building and proposed 1075 O'Brien Drive building. In addition, the plans show the required 10-foot setbacks on either side of the proposed building would be furnished with benches and resting areas and counted toward the public open space requirement for the project site.

Vehicles would access the new building from an entrance near the end of Kelly Court, while pedestrians would have a separate entrance via a stair and elevator tower off of Kelly Court near the O'Brien Drive intersection. A second stair and elevator tower would be located at the rear northeast corner of the building, adjacent to the proposed open space and path to the rear of the site.

With regard to the overall design/style and the application of certain requirements and design standards, staff has had some concerns during the preliminary review. Although the applicant has provided revisions to address such comments, additional refinements may be needed as the review proceeds. The Planning Commission may wish to provide additional feedback before the project advances to the full submittal stage.

Green and sustainable building

In the LS zoning district, projects are required to meet green and sustainable building regulations. The proposed building will be required to meet 100 percent of its energy demand through any combination of on-site energy generation, purchase of 100 percent renewable electricity, and/or purchase of certified renewable energy credits. Additionally, as currently proposed, the new building will need to be designed to meet LEED Silver BD+C, pre-wire five percent of the total required parking stalls for EV chargers, and incorporate bird-friendly design in the placement of the building and the use of exterior glazing. Other green building requirements, including water use efficiency, placement of new buildings 24 inches above the Federal Emergency Management Agency base flood elevation (BFE) to account for sea level rise, and waste management planning, would also apply to the project. Details regarding how the proposed building would meet the green and sustainable building requirements would be provided with a formal application submittal.

Planning Commission considerations

The following comments/questions are suggested by staff to guide the Commission's discussion, although Commissioners should feel free to explore other topics of interest.

- **Modulation.** A minimum recess of 15 feet wide by 10 feet deep for every 200 feet of façade length is required for bonus level development in the LS zoning district. Under the current proposal, the applicant has placed the proposed modulation at the far northwest corner of the Kelly Court building façade. The resulting effect is more of a notch in the building corner than a true recess. The City has discussed this topic with the applicant, and there may be options to better integrate the modulation into the western building façade for more balance and visual interest.
- **Height.** The applicant has calculated the mean height of all buildings on the site (the sum of the heights of the three buildings divided by three) to arrive at an average height of 58.7 feet, less than the 67.5 feet maximum permitted. However, the average height must be calculated using a weighted average, taking

into account each building's GFA as a portion of the total GFA on the site. Under a weighted average, the average height of buildings on the site would be approximately 88 feet, roughly 20.5 feet taller than the maximum permitted height. As a result, the maximum height of the proposed building will need to be reduced as part of a formal submittal.

- **Ground Floor Transparency.** The LS zoning district requires 40 percent ground floor transparency along the O'Brien Drive frontage of the building, and 25 percent ground floor transparency along the Kelly Court frontage. The coffee bar, as a commercial space, requires 50 percent ground floor transparency. For portions of the parking structure visible at the ground floor, the applicant has proposed metal trellises covered with greenery to screen parked vehicles from view, as required by the design standards included in the LS zoning district. Given that there are competing requirements for ground floor transparency and screening of parking areas, is the applicant's proposal for this particular project an acceptable compromise? Should other methods be explored to screen the parking? Should the applicant explore locating the parking further within the interior of the site (behind a building), above the offices, or underground?
- **Public Open Space.** Are the 10-foot required side setbacks along the length of the proposed building suitable to serve as public open space? According to the LS zoning regulations, publicly accessible open space must contain site furnishings, art, or landscaping; be on the ground floor; be at least partially visible from a public right-of-way; and have a direct, accessible pedestrian connection to a public right-of-way. The plans note that site furnishings with benches and resting areas would be provided to help activate the setback areas. However, from a practical sense, it is uncertain whether the public would recognize the long, narrow setback areas as public open spaces or use them accordingly, especially near the rear east side of the building, adjacent to an existing drainage channel.
- **Tandem Parking.** As part of the CDP for the previous project at 20 Kelly Court, 42 tandem parking stalls on the Hetch Hetchy right-of-way were permitted. However, as part of the proposed project, the applicant wishes to expand the area of tandem parking by an additional 42 stalls. Required parking for the project is 199 spaces, which would be met without increasing the intensity of tandem parking on the Hetch Hetchy right-of-way. As such, is the request for additional tandem parking on an adjacent parcel under different ownership appropriate for this project?
- Is the overall aesthetic approach consistent with the Planning Commission's expectations for the new LS zoning district?
- Does the design feature good proportion, balance, and materials, or do certain elements need more attention?

Correspondence

Staff has received three items of correspondence regarding the project (Attachment C). An email from SFPUC staff indicates that the applicant must submit the project for review by the SFPUC Project Review Committee for any proposed activities on the SFPUC parcel. The SFPUC also requests that any project requirements, such as parking, open space, and/or community amenities, be satisfied outside of the SFPUC right-of-way. As part of a future application for project entitlements, the applicant would work with SFPUC to determine if there is any flexibility to secure a long-term lease for the basketball court as a potential community amenity.

An email from Romain Taniere, a resident of East Palo Alto, requests that the project provide ADA

compliant sidewalks and crossings along the site frontages on O'Brien Drive and Kelly Court. In the current conceptual site plan, pedestrian paths and open spaces would be provided around the east, north, and west sides of the proposed building, and along the front of the existing building at 20 Kelly Court. These paths and open spaces would be designed to meet ADA requirements.

A second email from Romain Taniere requests that as part of Facebook's proposed redevelopment of the Menlo Technology and Science Park, tentatively referred to as the Willow Campus, pedestrian and/or vehicular connections be established between the subject project site and the Willow Campus.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

Study sessions do not require analysis under the California Environmental Quality Act (CEQA). If the project moves forward with a full application, environmental review will be required.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 1,320-foot radius of the subject property.

Attachments

- A. Location Map
- B. Project Plans
- C. Community Amenities List
- D. Correspondence

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:
Tom Smith, Associate Planner

Report reviewed by:
Deanna Chow, Principal Planner



**PROJECT
LOCATION**

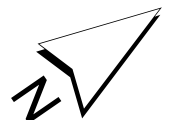


CITY OF MENLO PARK

LOCATION MAP

1075 O'BRIEN DRIVE & 20 KELLY COURT

DRAWN: TAS CHECKED: THR DATE: 07/17/17 SCALE: 1" = 300' SHEET: 1



CS BIO EXPANSION

SHEET INDEX

- G1 COVER
- AR1 3D Building Massing Studies
- AR2 3D Building Massing Studies
- AR3 3D Building Massing Studies
- A1 (E) VICINITY MAP
- A2 AREA PERSPECTIVE
- A3 TOPOGRAPHIC SURVEY 1
- A4 TOPOGRAPHIC SURVEY 2
- A5 SITE PLAN NOTES, DIMENSIONS AND SETBACKS
- A6 SITE PLAN OPEN SPACE AND ACCESS ANALYSIS
- A7 PROPOSED ENLARGED SITE PLAN
- A8 SITE AND BUILDING COVERAGE CALCULATION PLAN
- A9 FLOOR PLANS AND SECTION
- A10 INSPIRATION IMAGERY



KELLY COURT

EXISTING BUILDING

O'BRIEN DRIVE

CS BIO EXPANSION
1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET

COVER



02 / 2017 - DEVELOPMENT REVIEW TEAM - PRELIMINARY
04 / 13 / 2017 - PRT SUBMITTAL
04 / 21 / 2017 - STUDY SESSION SUBMITTAL
06 / 19 / 2017 - STUDY SESSION SUBMITTAL # 1

G1



20 KELLY CT.
EXISTING
BUILDING

1035 O'BRIEN
EXISTING
BUILDING



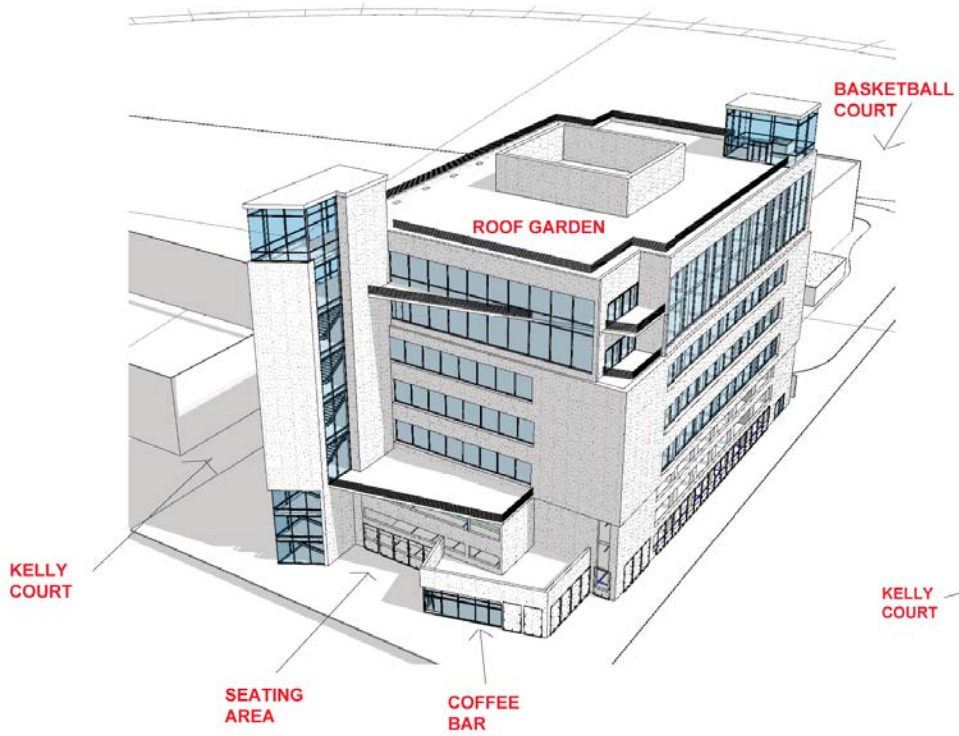
PARKING
ACCESS

PEDESTRIAN
ACCESS

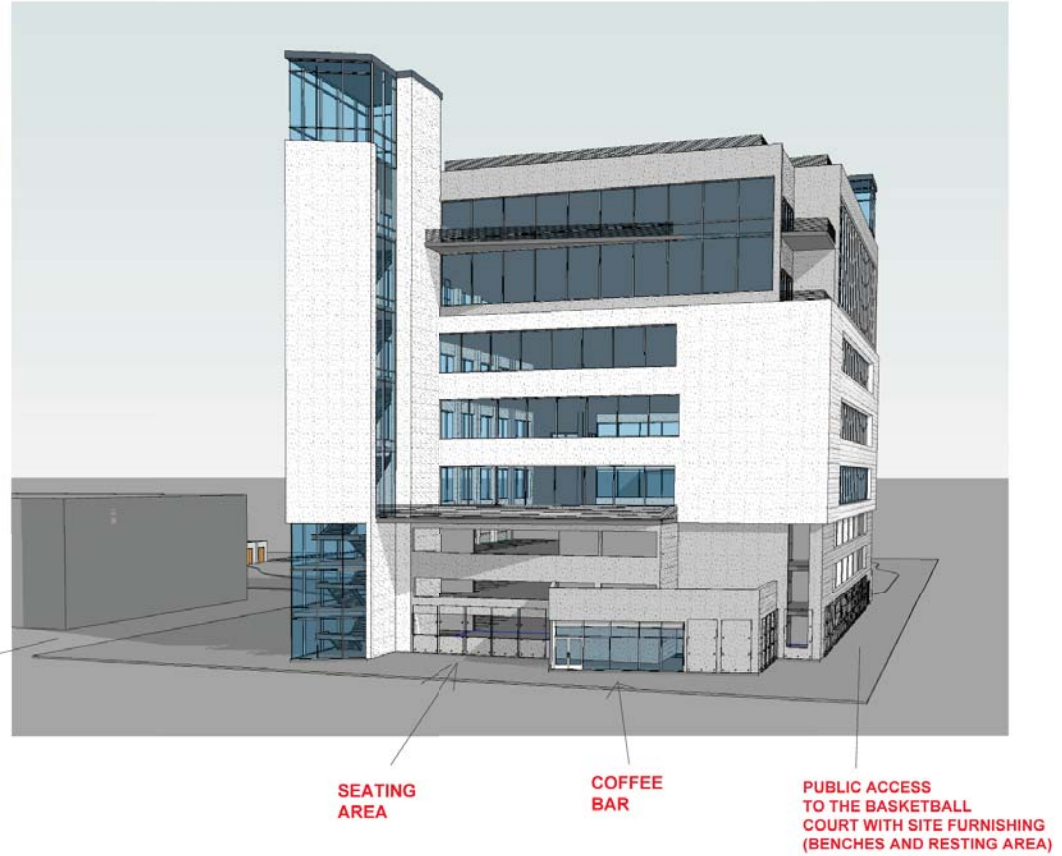
KELLY COURT

O'BRIEN DRIVE

1 3D Perspective - Across O'Brien Street Looking East



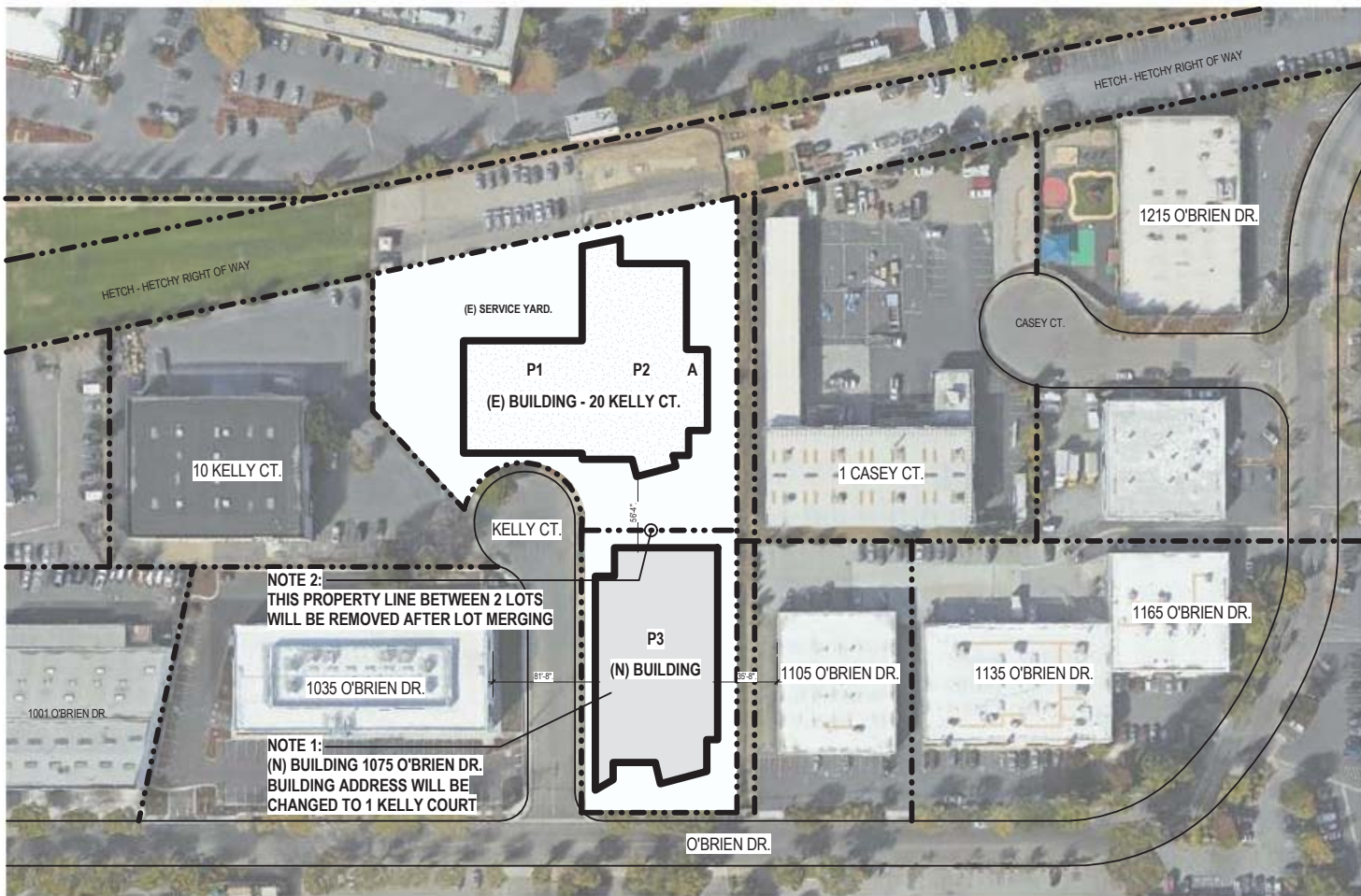
1 3D Perspective - Bird view



2 3D Perspective - Across O'Brien Street Looking North



2 3D Perspective - Seating Plaza Close up



LEGEND

	PROPERTY LINE
	BUILDING FOOTPRINT

1 VICINITY MAP
06-11-17



CS BIO EXPANSION
 1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
 DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET

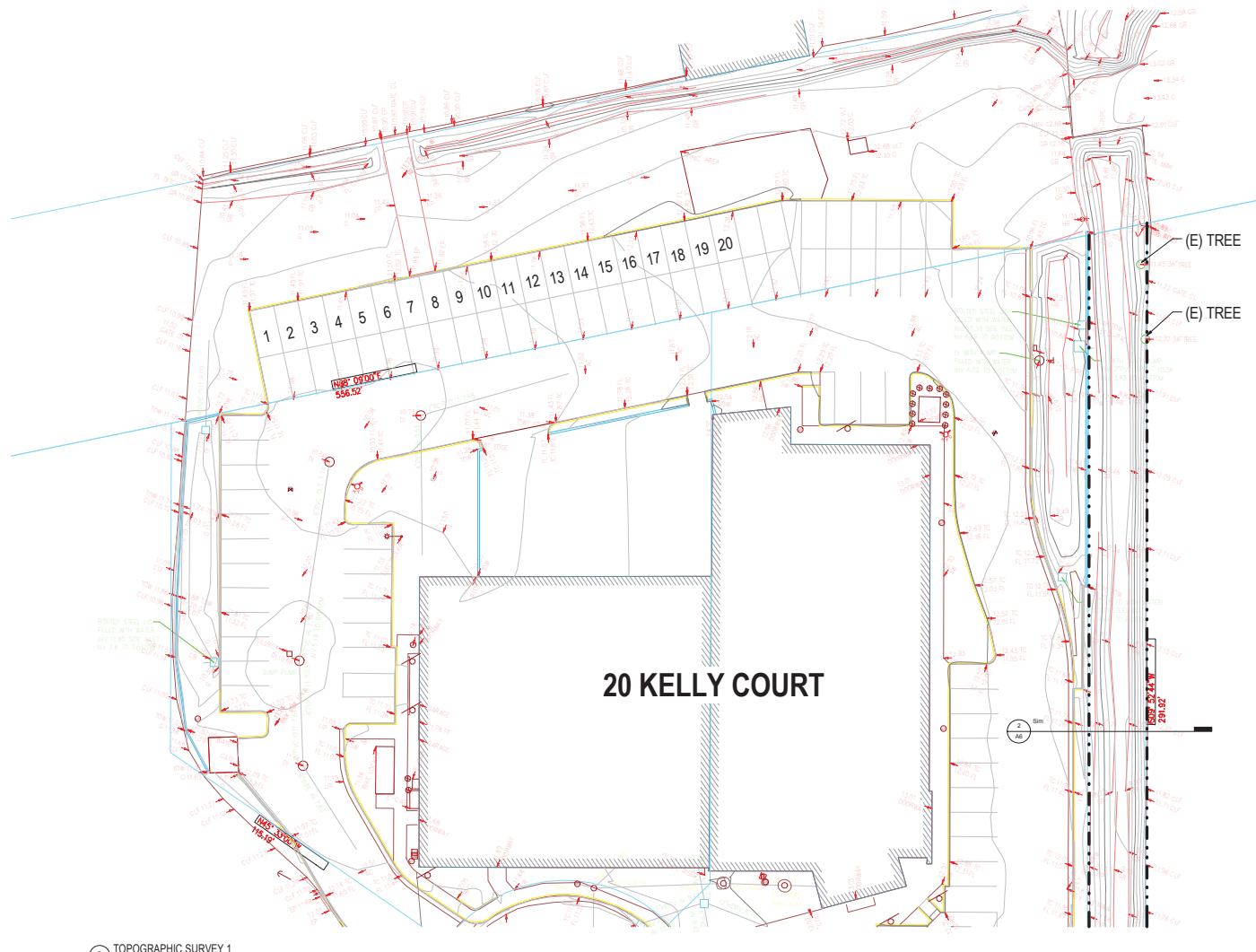
AREA PERSPECTIVE



02 / 2017 DEVELOPMENT REVIEW TEAM - PRELIMINARY
 04 / 13 / 2017 - DRT SUBMITTAL
 04 / 12 / 2017 - STUDY SESSION SUBMITTAL
 06 / 19 / 2017 - STUDY SESSION SUBMITTAL # 1

A2





2 TOPOGRAPHIC SURVEY 1
TRF#102

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CS BIO EXPANSION
1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET

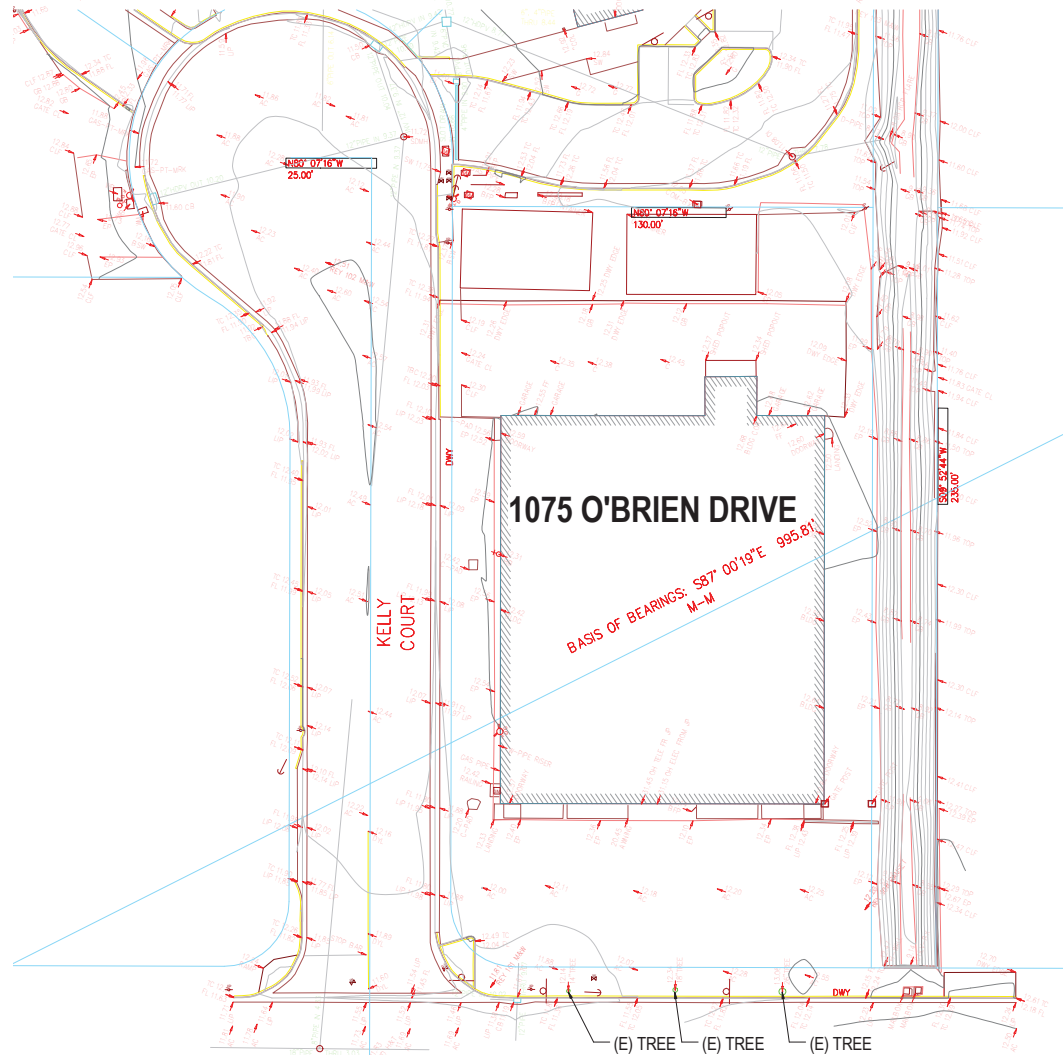
TOPOGRAPHIC SURVEY 1



01/17 DEVELOPMENT REVIEW TEAM - PRELIMINARY
04/13/17 - DRT SUBMITTAL
04/21/17 - STUDY SESSION SUBMITTAL
06/16/17 - STUDY SESSION RESUBMITTAL

A3





1 TOPOGRAPHIC SURVEY 2
1/16" = 1' = 0"

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CS BIO EXPANSION
 1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
 DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET

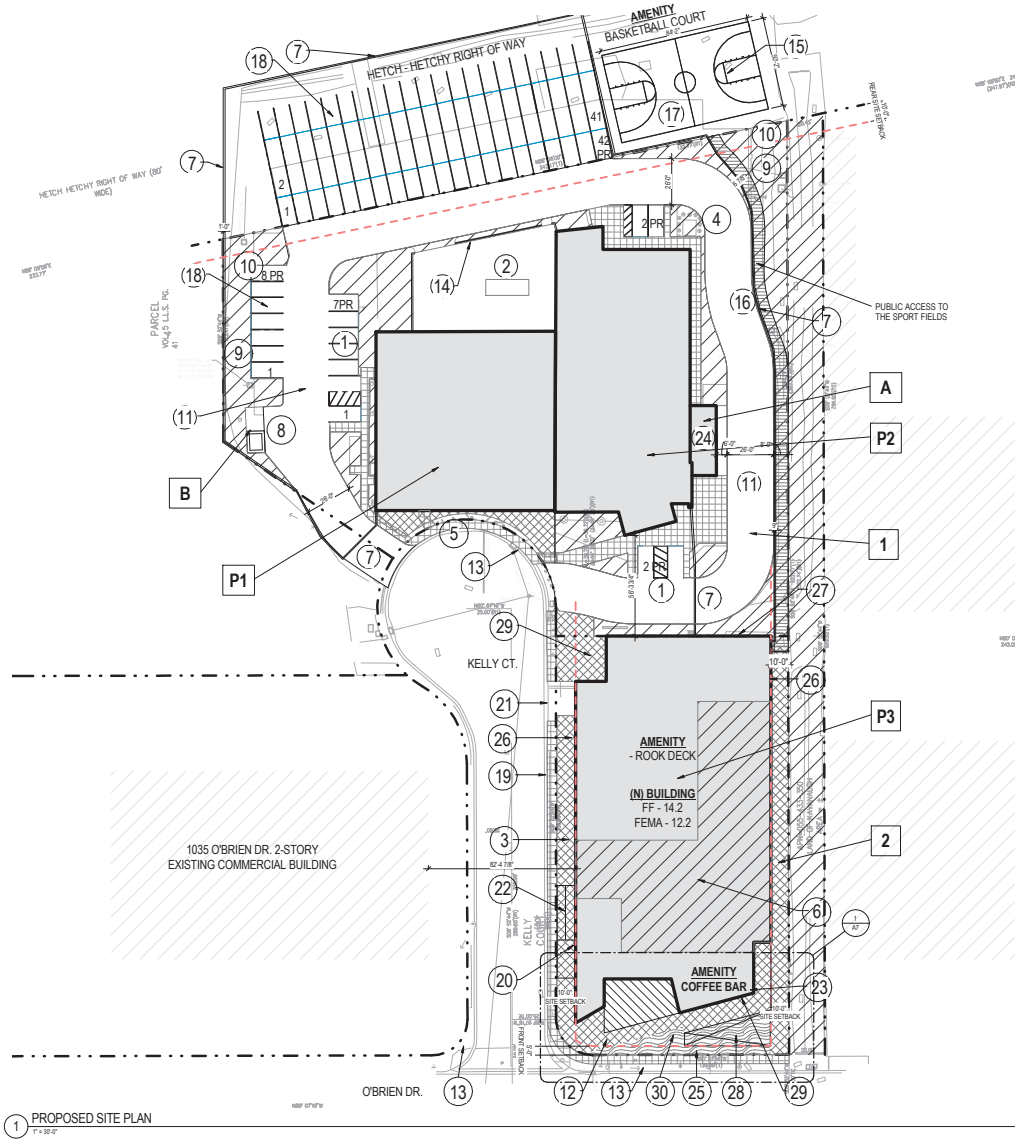
TOPOGRAPHIC SURVEY 2



01/17 DEVELOPMENT REVIEW TEAM - PRELIMINARY
 04/13/17 - DRT SUBMITTAL
 04/21/17 - STUDY SESSION SUBMITTAL
 06/16/17 - STUDY SESSION RESUBMITTAL

A4





LEGEND

---	PROPERTY LINE	[Grid Pattern]	PAVED WALKWAY / CURBS (PART OF 20% OPEN SPACE)
---	PATH OF TRAVEL	[Wavy Pattern]	LANDSCAPING AT FRONTAGE
---	BUILDING SETBACKS	[Diagonal Lines]	PATH TO SPORTS FIELD (PART OF 10% PUBLIC OPEN SPACE)
[Solid Grey]	BUILDING	[Dotted Pattern]	SPORTS FIELD
[Diagonal Lines]	OPEN SPACE (20%)	[Blue Arrow]	ENTRY
[Cross-hatch]	PUBLIC OPEN SPACE (10%)	[X PR]	SUBTOTAL OF PARKING SPACES

STRUCTURES		SITE	
P1	(E) 20 KELLY COURT	1	20 KELLY COURT
P2	(E) 20 KELLY COURT	2	1075 O'BRIEN - ADDRESS CHANGED TO 1 KELLY COURT.
P3	(N) 1075 O'BRIEN - ADDRESS CHANGED TO 1 KELLY COURT - GARAGE, OFFICE AND RESTAURANT	NOTE: 20 KELLY COURT AND 1075 O'BRIEN SITES WILL BE MERGED. EXISTING 1075 O'BRIEN BUILDING ADDRESS WILL BE CHANGED TO 1 KELLY COURT.	
A	(N) BUNKER AT (E) 20 KELLY COURT		
B	(E) AND (N) TRASH ENCLOSURE		

SITE PLAN NOTES (X)

- 1 (E) AND (N) HANDICAP PARKING AT BUILDING ENTRANCES
- 2 (E) OUTDOOR FIRE-RATED CHEMICAL STORAGE UNIT
- 3 (N) GREEN SCREEN
- 4 (E) TRANSFORMER AND FH
- 5 (E) ENTRY PLAZA AND LANDSCAPING
- 6 (N) ROOF GARDEN
- 7 (N) STEEL ENTRY GATE AND FENCE (BOTH VEHICLES AND PEDESTRIANS), BLACK POWDER COAT FINISH, 6'-0" HT.
- 8 (E) AND (N) TRASH ENCLOSURE
- 9 (E) STORMWATER TREATMENT AREA
- 10 LANDSCAPED AREAS
- 11 28' DRIVEWAY
- 12 LANDSCAPED FRONTAGE
- 13 (E) PUBLIC SIDEWALK
- 14 (E) SCREENED SERVICE YARD AND OUTDOOR STORAGE OF MATERIAL AND EQUIPMENT
- 15 NEW BASKETBALL COURT (PROPOSED AMENITY)
- 16 (E) SITE TO BE REVISED TO ACCOMMODATE ACCESS TO THE SPORTS FIELDS
- 17 (E) PARKING REMOVED (FOR SPORTS COURT OPTION)
- 18 (E) AND (N) PARKING (TANDEM WITH VALET SERVICE)
- 19 (N) PUBLIC SIDEWALK
- 20 MAIN PEDESTRIAN ACCESS TO THE BUILDING P3
- 21 GARAGE ENTRY FROM KELLY COURT
- 22 NEW ADA RAMP TO THE FIRST FLOOR
- 23 NEW COFFEE BAR ACCESSIBLE FROM O'BRIEN (AMENITY OPTION)
- 24 (N) OUTDOOR FIRE RATED CHEMICAL STORAGE UNIT.
- 25 LS ZONING - 5' FRONT SETBACK
- 26 LS ZONING - 10' SIDE SETBACK
- 27 PROPERTY LINE TO BE REMOVED WITH LOT MERGER
- 28 LS ZONING - 25% MIN FRONTAGE (50% FOR SITE INFILTRATION)
- 29 LS ZONING - BUILDING MODULATION, 10'X15' MIN RECESS AT PUBLIC FRONTAGE
- 30 (N) FLOW - THROUGH PLANTER WITH LANDSCAPING

GENERAL SHEET NOTES:
 1) SEE SHEET A 8 FOR SITE AND BUILDING COVERAGE CALCULATIONS
 2) SEE SHEET A 6 FOR SITE AND ACCESS ANALYSIS



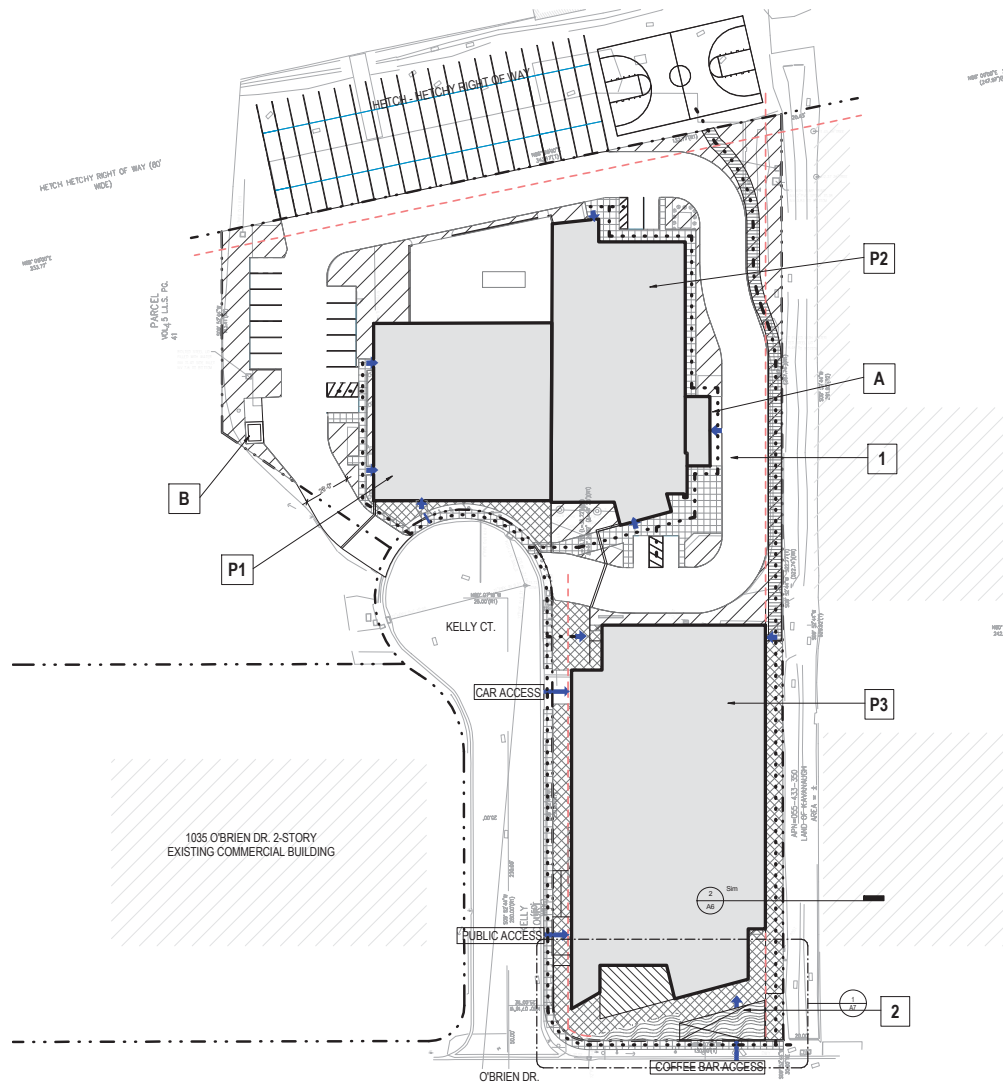
CS BIO EXPANSION
 1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
 DES PROJECT NUMBER: 9859.007

SITE PLAN NOTES, DIMENSIONS AND SETBACKS

CS Bio Co.
 02/17 DEVELOPMENT REVIEW TEAM - PRELIMINARY
 04/31/17 - DRI SUBMITTAL
 04/21/17 - STUDY SESSION SUBMITTAL
 06/19/17 - STUDY SESSION RESUBMITTAL

A5





1 PROPOSED SITE PLAN
1" = 32'

LEGEND			
---	PROPERTY LINE	[Hatched]	PAVED WALKWAY/ CURBS (PART OF 20% OPEN SPACE)
---	PATH OF TRAVEL	[Hatched]	LANDSCAPING AT FRONTAGE
---	BUILDING SETBACKS	[Hatched]	PATH TO SPORTS FIELD (PART OF 10% PUBLIC OPEN SPACE)
[Solid Grey]	BUILDING	[Dotted]	SPORTS FIELD
[Diagonal Lines]	OPEN SPACE (20% TOTAL WITH PUBLIC OPEN SPACE)	[Blue Arrow]	ENTRY
[Cross-hatched]	PUBLIC OPEN SPACE (10%)	X PR	SUBTOTAL OF PARKING SPACES

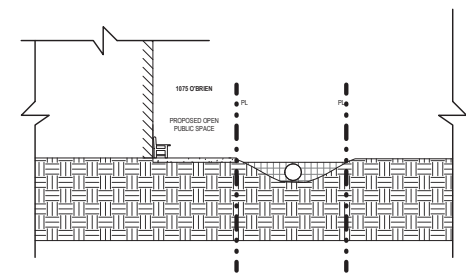
STRUCTURES	SITE
P1 (E) 20 KELLY COURT	1 20 KELLY COURT
P2 (E) 20 KELLY COURT	2 1075 O'BRIEN ADDRESS CHANGED TO 1 KELLY COURT.
A (N) BUNKER AT (E) 20 KELLY COURT	
P3 (N) 1075 ADDRESS - CHANGED TO 1 KELLY COURT - GARAGE, OFFICE AND RESTAURANT	
B (E) AND (N) TRASH ENCLOSURE	

NOTES

NOTE: 20 KELLY COURT AND 1075 O'BRIEN SITES WILL BE MERGED. EXISTING 1075 O'BRIEN BUILDING ADDRESS WILL BE CHANGED TO 1 KELLY COURT.

GENERAL SHEET NOTES:

1) SEE SHEET A 8 FOR SITE AND BUILDING COVERAGE CALCULATIONS
 2) SEE SHEET A 5 FOR SITE PLAN NOTES, DIMENSIONS AND SETBACKS
 3) PUBLIC OPEN SPACE WITH SEATING AREAS W/ BENCHES AND OTHER SITE FURNISHING, SEE SHEET A7.



2 SECTION OF
1/8" = 1'-0"



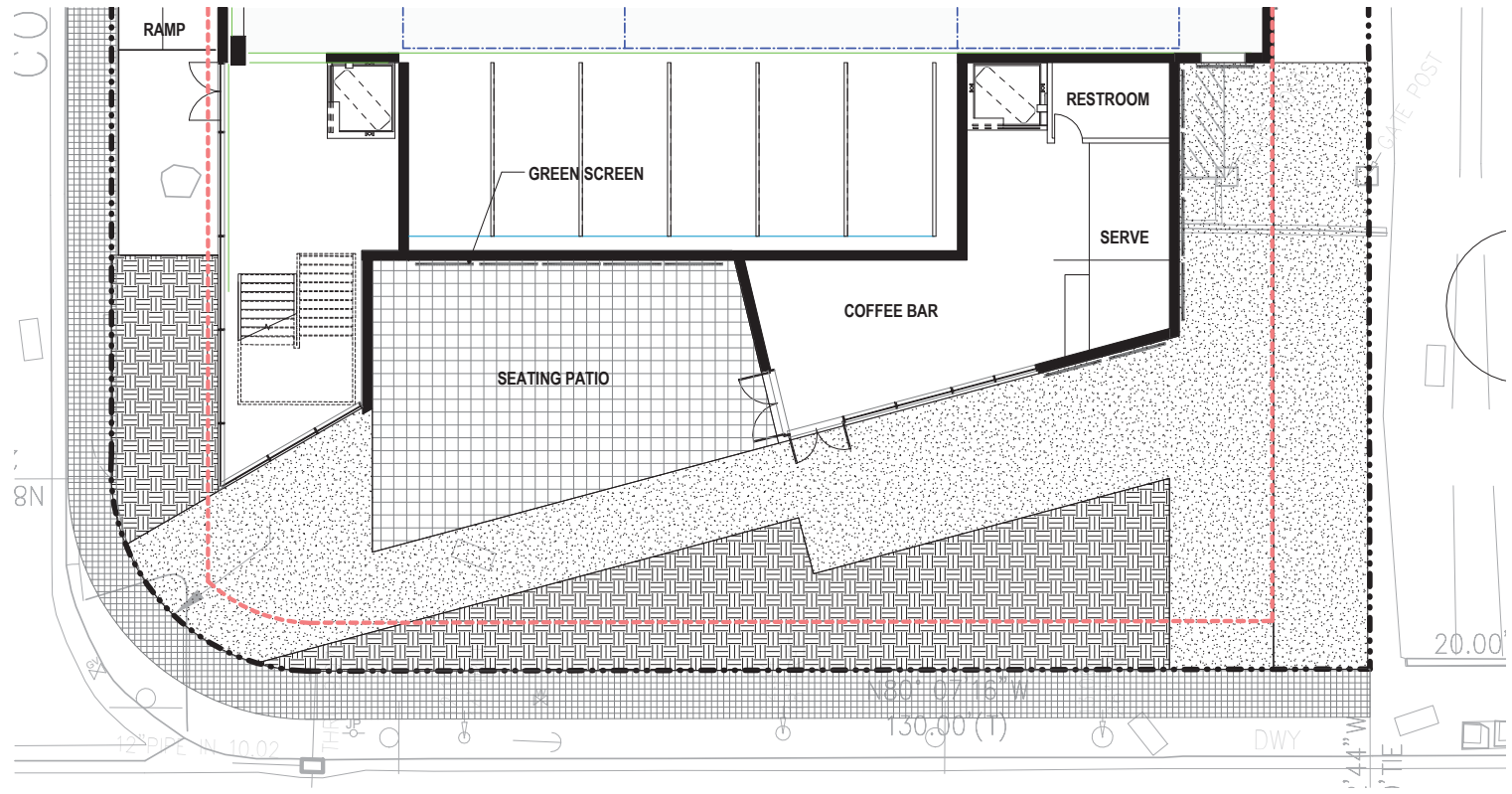
CS BIO EXPANSION
 1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
 DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET SITE PLAN OPEN SPACE AND ACCESS ANALYSIS

CS Bio Co.
 02/17 DEVELOPMENT REVIEW TEAM - PRELIMINARY
 04/18/17 - 20% SUBMITTAL
 04/21/17 - STUDY SESSION SUBMITTAL
 06/19/17 - STUDY SESSION RESUBMITTAL

A6





1 PROPOSED ENLARGED SITE PLAN
SHEET 1 OF 1



© 2017 DES ARCHITECTS ENGINEERS
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CS BIO EXPANSION
 1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
 DES PROJECT NUMBER: 9859.007

PROPOSED ENLARGED SITE PLAN



02/17 DEVELOPMENT REVIEW TEAM - PRELIMINARY
 04/14 - DRT SUBMITTAL

A7



LEGEND

- - - - - PROPERTY LINE
- - - - - PATH OF TRAVEL
- - - - - BUILDING SETBACKS
- ▭ BUILDING
- ▨ OPEN SPACE (20%)
- ▩ PUBLIC OPEN SPACE (10%)
- ▧ PAVED WALKWAY/ CURBS (PART OF 20% OPEN SPACE)
- ▨ LANDSCAPING AT FRONTAGE
- ▨ PATH TO SPORTS FIELD (PART OF 10% OPEN SPACE)
- ▨ SPORTS FIELD
- ➔ ENTRY
- X PR SUBTOTAL OF PARKING SPACES

SITE INFORMATION

- 1 20 KELLY COURT
 - 2 1 KELLY COURT (CURRENT 1075 O'BRIEN - ADDRESS CHANGED AFTER MERGING)
- LS ZONING DATA**
- LS REQUIRED SETBACKS - 5' @ FRONT, 10' @ SIDE& REAR (PROVIDED)
 LS REQUIRED OPEN SPACE - 20% OPEN SPACE, 10% PUBLIC OPEN SPACE (PROVIDED)
 LS REQUIRED HEIGHT < 67.5 (PROVIDED)
 LS REQUIRED ELEVATION AND ROOF MODULATIONS (10'X15' RECESS IN ELEVATION, 4' VARIATIONS IN ROOF) (PROVIDED)
- SEE PROJECT DESCRIPTION LETTER FOR DETAILED DESCRIPTION

PROJECT ZONING ANALYSIS - FAR, HEIGHT, PARKING, BIKES (PRELIMINARY)

SITE FAR CALCULATIONS (1.25% Total Lot Area)

SITE	LOT AREA / SF	ALLOWED FAR (1.25%)	PROPOS. FAR (SF)	PROPOS. FAR (%)
SITE # 1 - 20 Kelly Court	68,232	85290		
SITE # 2 - 1 Kelly Court (address changed from 1075 O'Brien)	30,464	38080		
TOTAL	98,696	123370	122,344	1,24%
TOTAL WITH 10% BONUS for Restaurant		133239.6		

BUILDING NAME

BUILDING NAME	FA SUMMARY
Building P1 (existing)	26,291
Building P2 (existing)	11727
Building A (new bunker)	1,000
Building B (trash)	300
Building P3 (no garage included)	5 Floors
Building P3 (garage only)	3 Floors
Building P3 (total)	149,505
All Buildings - Grand Total FA (no garage)	130,278
All Buildings Grand Total FA (with garage)	188,823

AVERAGE HEIGHT (Allowed < 67.5) BUILD. HEIGHT. in FT

P1 (existing)	44
P2 (existing)	22
P3 (new)	110
TOTAL	176
AVERAGE HEIGHT PROPOSED (TOTAL BH3) < 67.5	58.6666667

PARKING

BUILDINGS AND SITES	BUILDING SF	PARKING REQUIRED	PARKING PROVIDED	REQUIRED CARS / SF
P1 + P2 (existing)	38,018	57		1.5 / 1000
A (new bunker)	1,000	1.5		1.5 / 1000
P3 (new 1 Kelly Court - 3 garage floors)	56,745	0	146	
P3 (new 1 Kelly Court - stair, elev @ 3 garage floors)	1,800	0		
P3 (new 1 Kelly Court - stair elev @ 5 offrest floors)	3,000	0		
P3 (new 1 Kelly Court - 4 office floors)	69,008	103.5		1.5 / 1000
P3 (new 1 Kelly Court - 1 restaurant floor)	16,952	34		2 / 1000
P3 (new 1 Kelly Court - bar)	1,000	1.5		1.5 / 1000
P3 (new 1 Kelly Court access passage)	1,000	1.5		1.5 / 1000
B (Trash enclosure N+E)	300	0		
20 Kelly Existing site parking includes Hetch Hetchy			61	
20 Kelly New site parking at Hetch Hetchy			42	
Roof Garden		0	0	
TOTAL		199	249	

EV parkings 5% = 10 parkings (249 - 10 = 239) and ADA will reduce parking number in the Garage layout

BIKES:

BUILDINGS / SITES	BUILDINGS SF	PARKINGS PROVIDED	BIKES REQUIRED
P1 (existing)	26,291		5.1
P2 (existing)	11,727		2.1
A (new bunker)	1000		0.2
P3 (new 1 Kelly Court - garage floors)		146	7.3
P3 (new 1 Kelly Court - @ garage levels)	N/A		N/A
P3 (new 1 Kelly Court - 4 office floors)	69,008		13.8
P3 (new 1 Kelly Court - 1 floor restaurant)	16,952		3.3
P3 (new 1 Kelly Court - coffee bar)	1,000		0.25
P3 (new 1 Kelly Court - pedestrian acce...)	1,000		0.2
B (Trash enclosure E+N)	300		
20 Kelly Existing Site parking		61 + 42	5.2
TOTAL			37.45

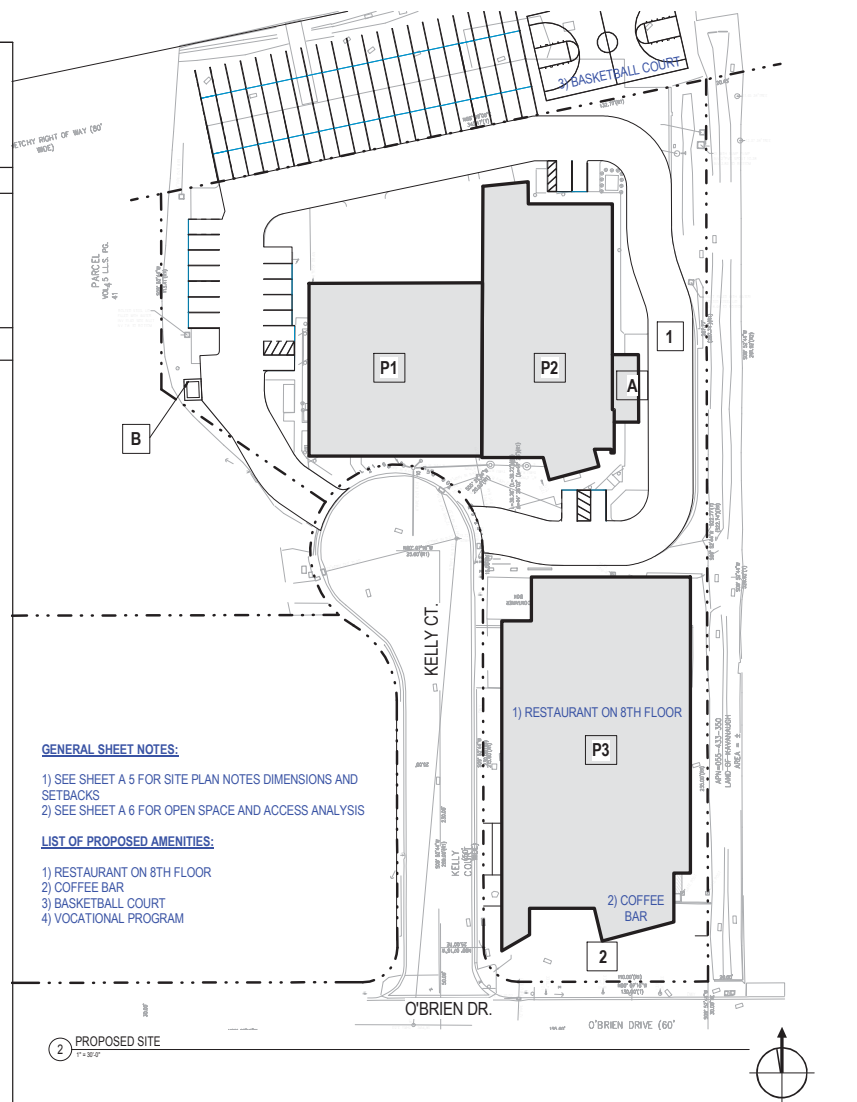
Note: Bikes required 1/5000SF; Parkings 1 bike space per 20 cars.

Note 1: Cars LS required at the new building (office area - 1.5 / 1000SF; restaurant - 2 / 1000sf). Cars required at the existing building (1.5 / 1000SF). Vertical communication SF (stair, elevator) located on the garage levels are not included in parking calculations.

Note 2: Calculations for the new garage parking stalls are based on: First Floor +/- 46 stalls, other floors +/- 50 stalls (total cars on the parking structure = 146). No bikes, EV, ADA are specified yet (GARAGE PARKING STALLS NUMBER WILL BE REDUCED AFTER INCLUDING TO THE LAYOUT EV PARKING STATIONS, ADA PARKING STALLS AND BIKES).

Note 3: Calculations for the existing buildings are per new LS parking requirement.

Note 4: Tandem parking on Hetch Hetchy was previously approved with 20 Kelly Court project, additional 42 paking space...



- GENERAL SHEET NOTES:**
- SEE SHEET A 5 FOR SITE PLAN NOTES DIMENSIONS AND SETBACKS
 - SEE SHEET A 6 FOR OPEN SPACE AND ACCESS ANALYSIS

- LIST OF PROPOSED AMENITIES:**
- RESTAURANT ON 8TH FLOOR
 - COFFEE BAR
 - BASKETBALL COURT
 - VOCATIONAL PROGRAM

2 PROPOSED SITE
1"=30'-0"

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CS BIO EXPANSION
1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET

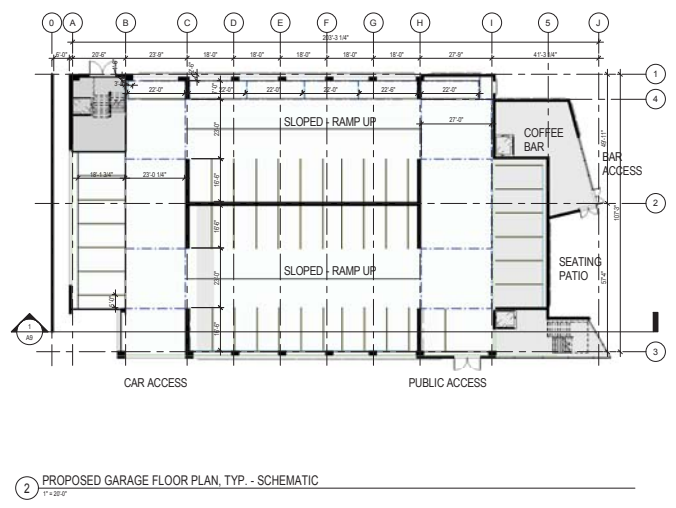
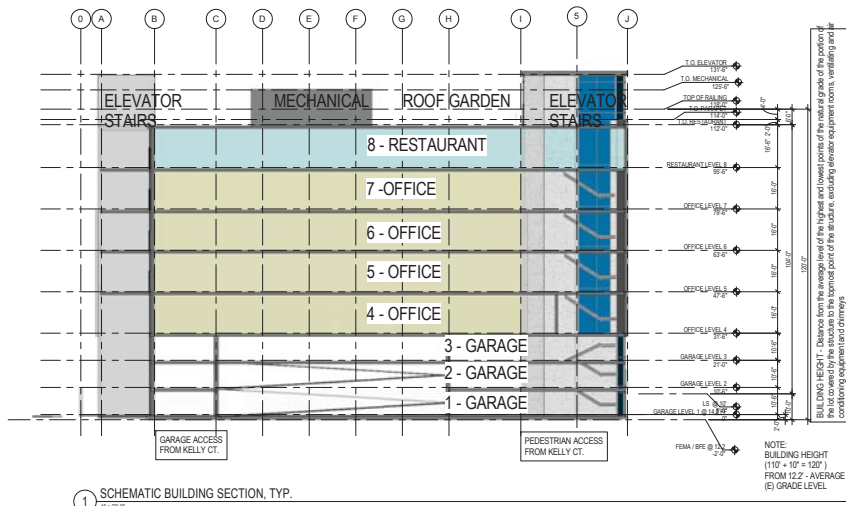
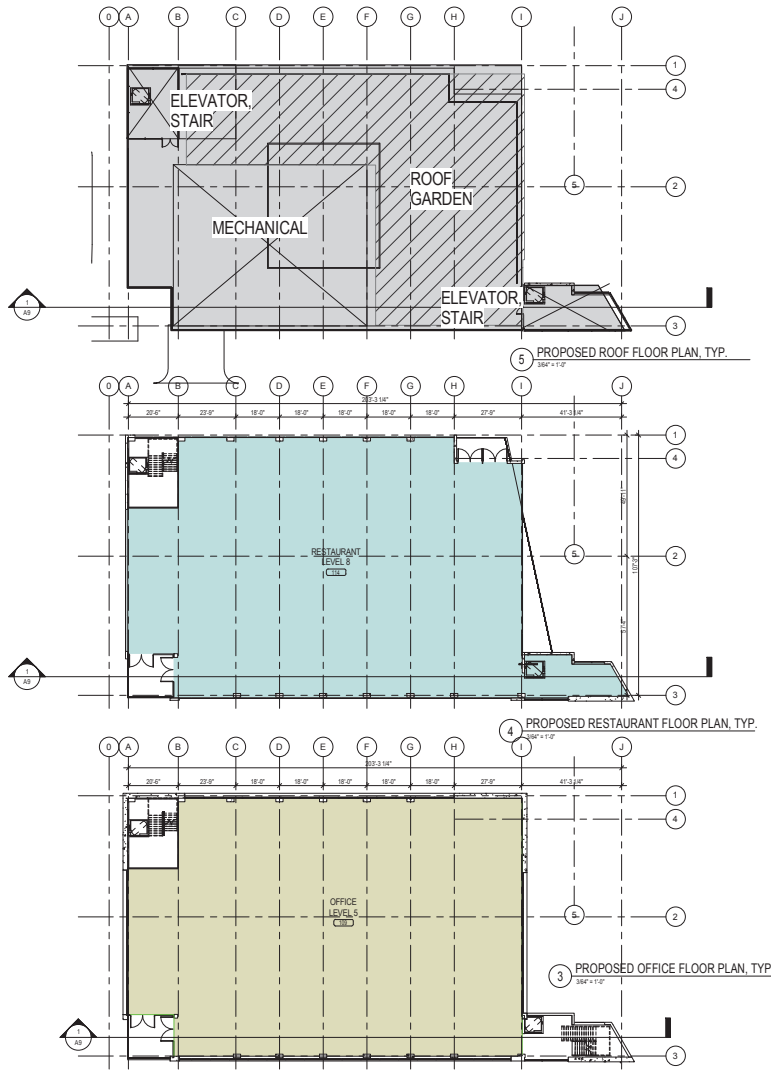
SITE AND BUILDING COVERAGE CALCULATION PLAN



01/17 DEVELOPMENT REVIEW TEAM - PRELIMINARY
04/13/17 - DRT SUBMITTAL
04/21/17 - STUDY SESSION SUBMITTAL
06/16/17 - STUDY SESSION RESUBMITTAL

A8





NOTE: SEE 1.1. Elevator from the average level of the highest and lowest points of the natural grade of the portion of the lot to be occupied by the building to the highest part of the structure, including structural equipment rooms, including ground conditioning equipment and drains.

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CS BIO EXPANSION
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DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET FLOOR PLANS AND SECTION



03 / 2017 DEVELOPMENT REVIEW TEAM - PRELIMINARY
04 / 13 / 2017 - ICFE SUBMITTAL
04 / 21 / 2017 - STUDY SESSION SUBMITTAL
06 / 19 / 2017 - STUDY SESSION SUBMITTAL # 1

A9





ROOF GARDEN



GREEN WALL



ROOF GARDEN



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CS BIO EXPANSION
 1075 O'BRIEN DRIVE, MENLO PARK, CA 94025
 DES PROJECT NUMBER: 9859.007

STUDY SESSION REVIEW SET

INSPIRATION IMAGERY



02 / 2017 DEVELOPMENT REVIEW TEAM - PRELIMINARY
 04 / 13 / 2017 - ICFE SUBMITTAL
 04 / 21 / 2017 - STUDY SESSION SUBMITTAL
 06 / 19 / 2017 - STUDY SESSION SUBMITTAL # 1

A10



RESOLUTION NO. 6360

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MENLO PARK APPROVING THE COMMUNITY AMENITIES LIST DEVELOPED THROUGH THE CONNECTMENLO PROCESS

WHEREAS, the City of Menlo Park recently updated the Housing, Open Space and Conservation, and Safety Elements of the General Plan; and

WHEREAS, the Land Use and Circulation Elements of the General Plan have not been updated since 1994 and the City desires to complete the next phase in its update of the General Plan; and

WHEREAS, in December 2014, the City Council adopted the guiding principles for the ConnectMenlo General Plan Update, which were crafted through a rigorous community outreach and engagement process; and

WHEREAS, subsequent to the adoption of the guiding principles, the City embarked on a multi-year process to update the Land Use and Circulation Elements of the General Plan known as ConnectMenlo; and

WHEREAS, the ConnectMenlo General Plan and M-2 Zoning Update included over 60 organized events including workshops and open houses, mobile tours of the City of Menlo Park and nearby communities, informational symposia, stakeholder interviews, focus groups, recommendations by a General Plan Advisory Committee composed of City commissioners, elected officials, and community members, and consideration by the Planning Commission and City Council at public meetings; and

WHEREAS, the Land Use Element includes a policy and program for bonus level development in exchange for the provision of community amenities; and

WHEREAS, the O (Office), L-S (Life Sciences), and R-MU (Residential, Mixed Use) districts also allow the potential for bonus level development within specific areas defined by the zoning map where denoted by B (Bonus), in exchange for sufficient community amenities provided by the developer; and

WHEREAS, bonus level development allows a project to develop at a greater level of intensity with an increased floor area ratio, density, and/or increased height. There is a reasonable relationship between the increased density and/or intensity of development and the increased effects on the surrounding community. The required community amenities are intended to address identified community needs that result from the effect of the increased development intensity on the surrounding community. The value of the community amenities is a generally applicable legislatively imposed formula; and

WHEREAS, the City developed the Community Amenities List, attached hereto as Exhibit A, through an extensive public outreach and input process that included community members, including residents, property owners, and key stakeholders through outreach meetings, public meetings, GPAC meetings, and public hearings; and

WHEREAS, the Community Amenities List reflects the community's priority of benefits within the M-2 Area as identified through the community outreach and engagement process; and

WHEREAS, the City Council may amend the Community Amenities List from time to time by resolution to reflect potential changes in the community's priorities and desired amenities; and

WHEREAS, all required public notices and public hearings were duly given and held according to law; and

WHEREAS, an Environmental Impact Report was prepared for the project, which includes the bonus development potential and certified by the City Council on November 1, 2016, in accordance with the provisions of the California Environmental Quality Act and CEQA Guidelines. Findings and a statement of overriding considerations were adopted by the City Council on November 1, 2016 by Resolution No.; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the Planning Commission of the City of Menlo Park on October 19, 2016 and October 24, 2016 whereat all persons interested therein might appear and be heard; and

WHEREAS, the Planning Commission of the City of Menlo Park having fully reviewed, considered and evaluated all the testimony and evidence submitted in this matter voted affirmatively to recommend to the City Council of the City of Menlo Park to approve the Community Amenities List; and

WHEREAS, after notice having been lawfully given, a public hearing was scheduled and held before the City Council of the City of Menlo Park on November 15, 2016 and November 29, 2016 whereat all persons interested therein might appear and be heard; and

WHEREAS, the City Council of the City of Menlo Park having fully reviewed, considered and evaluated all the testimony and evidence submitted in this matter voted affirmatively to approve the Community Amenities List; and

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Menlo Park hereby approves the Community amenities List, attached hereto as Exhibit A, incorporated herein by this reference.

I, Pamela Aguilar, City Clerk of Menlo Park, do hereby certify that the above and foregoing Council Resolution was duly and regularly passed and adopted at a meeting by said Council on the 29th day of November, 2016, by the following votes:

AYES: Carlton, Cline, Keith, Mueller, Ohtaki

NOES: None

ABSENT: None

ABSTAIN: None

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Official Seal of said City on this 29th day of November, 2016.



Pamela Aguilar, CMC
City Clerk

COMMUNITY AMENITY SURVEY RANKINGS

The following is a table of the community amenities that have been requested during the planning process; the categories and the amenities within each category are listed in order of how they were ranked by respondents at a community workshop on March 12, 2015 and in a survey that followed.

MARCH 12 WORKSHOP RANKING	ONLINE - REGISTERED RESPONDENTS	ONLINE - UNREGISTERED RESPONDENTS	PAPER - COLLECTED IN BELLE HAVEN	PAPER - MAILED IN	TOTAL SURVEYS COMBINED
22 RESPONSES	53 RESPONSES	26 RESPONSES	55 RESPONSES	60 RESPONSES	194 SURVEY RESPONSES
Transit and Transportation Improvements	Transit and Transportation Improvements	Transit and Transportation Improvements	Transit and Transportation Improvements	Transit and Transportation Improvements	Transit and Transportation Improvements
Sidewalks, lighting, and landscaping	Sidewalks, lighting, and landscaping	Sidewalks, lighting, and landscaping	Traffic-calming on neighborhood streets	Sidewalks, lighting, and landscaping	Sidewalks, lighting, and landscaping
Bike trails, paths or lanes	Bike trails, paths or lanes	Traffic-calming on neighborhood streets	Sidewalks, lighting, and landscaping	Traffic-calming on neighborhood streets	Traffic-calming on neighborhood streets
Dumbarton Rail	Traffic-calming on neighborhood streets	Bike trails, paths or lanes	Dumbarton Rail	Dumbarton Rail	Bike trails, paths or lanes
Traffic-calming on neighborhood streets	Dumbarton Rail	Dumbarton Rail	Innovative transportation solutions (i.e. personal rapid transit)	Bike trails, paths or lanes	Dumbarton Rail
Bus service and amenities	Bus service and amenities	Bus service and amenities	Bike trails, paths or lanes	Bus service and amenities	Innovative transportation solutions (i.e. personal rapid transit)
Innovative transportation solutions (i.e. personal rapid transit)	Innovative transportation solutions (i.e. personal rapid transit)	Innovative transportation solutions (i.e. personal rapid transit)	Bus service and amenities	Innovative transportation solutions (i.e. personal rapid transit)	Bus service and amenities
Community-serving Retail	Community-serving Retail	Community-serving Retail	Community-serving Retail	Community-serving Retail	Community-serving Retail
Grocery store	Grocery store	Grocery store	Grocery store	Grocery store	Grocery store
Restaurants	Restaurants	Pharmacy	Pharmacy	Pharmacy	Restaurants
Pharmacy	Pharmacy	Restaurants	Restaurants	Restaurants	Pharmacy
Bank/ATM	Bank/ATM	Bank/ATM	Bank/ATM	Bank/ATM	Bank/ATM
Jobs and Training at M-2 Area Companies	Jobs and Training at M-2 Area Companies	Jobs and Training at M-2 Area Companies	Jobs and Training at M-2 Area Companies	Jobs and Training at M-2 Area Companies	Jobs and Training at M-2 Area Companies
Job opportunities for residents	Education and enrichment programs for young adults	Job opportunities for residents	Job opportunities for residents	Job opportunities for residents	Job opportunities for residents
Education and enrichment programs for young adults	Job opportunities for residents	Education and enrichment programs for young adults	Education and enrichment programs for young adults	Education and enrichment programs for young adults	Education and enrichment programs for young adults
Job training programs and education center	Paid internships and scholarships for young adults	Job training programs and education center	Job training programs and education center	Job training programs and education center	Job training programs and education center
Paid internships and scholarships for young adults	Job training programs and education center	Paid internships and scholarships for young adults	Paid internships and scholarships for young adults	Paid internships and scholarships for young adults	Paid internships and scholarships for young adults
Social Service Improvements	Energy, Technology, and Utilities Infrastructure	Social Service Improvements	Social Service Improvements	Social Service Improvements	Social Service Improvements
Education improvements in Belle Haven	Underground power lines	Education improvements in Belle Haven	Education improvements in Belle Haven	Education improvements in Belle Haven	Education improvements in Belle Haven
Library improvements at Belle Haven	Telecommunications investment	Library improvements at Belle Haven	Medical center	Medical center	Medical center
Medical center	Incentives for private home energy upgrades, renewable energy, and water conservation	Medical center	High-Quality Affordable Housing	Senior service improvements	Library improvements at Belle Haven
Senior service improvements	Soundwalls adjacent to Highway 101	High-Quality Affordable Housing	Library improvements at Belle Haven	Library improvements at Belle Haven	High-Quality Affordable Housing
Add restroom at Onetta Harris Community Center		Senior service improvements	Senior service improvements	High-Quality Affordable Housing	Senior service improvements
Pool House remodel in Belle Haven	Social Service Improvements	Add restroom at Onetta Harris Community Center	Add restroom at Onetta Harris Community Center	Add restroom at Onetta Harris Community Center	Add restroom at Onetta Harris Community Center
High-Quality Affordable Housing	Education improvements in Belle Haven	Pool House remodel in Belle Haven	Pool House remodel in Belle Haven	Pool House remodel in Belle Haven	Pool House remodel in Belle Haven
	Library improvements at Belle Haven				
Energy, Technology, and Utilities Infrastructure	Medical center	Energy, Technology, and Utilities Infrastructure	Energy, Technology, and Utilities Infrastructure	Energy, Technology, and Utilities Infrastructure	Energy, Technology, and Utilities Infrastructure
Underground power lines	Senior service improvements	Underground power lines	Incentives for private home energy upgrades, renewable energy, and water conservation	Underground power lines	Underground power lines
Telecommunications investment	High-Quality Affordable Housing	Telecommunications investment	Underground power lines	Incentives for private home energy upgrades, renewable energy, and water conservation	Incentives for private home energy upgrades, renewable energy, and water conservation
Incentives for private home energy upgrades, renewable energy, and water conservation	Pool House remodel in Belle Haven	Incentives for private home energy upgrades, renewable energy, and water conservation	Telecommunications investment	Telecommunications investment	Telecommunications investment
Soundwalls adjacent to Highway 101	Add restroom at Onetta Harris Community Center	Soundwalls adjacent to Highway 101	Soundwalls adjacent to Highway 101	Soundwalls adjacent to Highway 101	Soundwalls adjacent to Highway 101
Park and Open Space Improvements	Park and Open Space Improvements	Park and Open Space Improvements	Park and Open Space Improvements	Park and Open Space Improvements	Park and Open Space Improvements
Bedwell Bayfront Park improvements	Bedwell Bayfront Park improvements	Bedwell Bayfront Park improvements	Tree planting	Bedwell Bayfront Park improvements	Tree planting
Tree planting	Tree planting	Tree planting	Community garden(s)	Tree planting	Bedwell Bayfront Park improvements
Dog park	Dog park	Dog park	Dog park	Community garden(s)	Community garden(s)
Community garden(s)	Community garden(s)	Community garden(s)	Bedwell Bayfront Park improvements	Dog park	Dog park

WHERE SURVEY RESPONDENTS LIVE:

Neighborhood/City					
Belle Haven	136	Pine Forest	1	Palo Alto/ East Palo Alto	2
Central Menlo	1	West Menlo	2	Gilroy	1
Downtown	2	Willows/Willow Road	7	Linfield Oaks	1
East Menlo Park	3	Flood Park	1	Undisclosed	37
				TOTAL	194

REVIEW THE PROPOSED COMMUNITY AMENITIES



CONNECTMENLO
menlo park land use & mobility updates

The amenities described below were identified during the Belle Haven Vision Plan and during the first year of the ConnectMenlo process. They were ranked in this order in a survey in March/April, 2015. Approximate cost estimates have been added for each amenity.

Place a dot to the left of the amenities that you think are most important.

Transit and Transportation Improvements	Jobs and Training at M-2 Area Companies	Social Service Improvements
A. Sidewalks, lighting, and landscaping – \$100 per linear foot <i>Enhance landscaping and lighting and fill gaps in sidewalk to improve the overall walkability</i>	A. Job opportunities for residents – \$10,000 in specialized training per employee <i>Local employers have a hiring preference for qualified residents</i>	A. Education improvements in Belle Haven – \$10,000 per student <i>Improvements to the quality of student education and experience in Belle Haven</i>
B. Traffic-calming on neighborhood streets – \$100,000 per block/intersection <i>Address cut-through traffic with design features</i>	B. Education and enrichment programs for young adults – \$10,000 per participant <i>Provide programs that target students and young adults to be competitive in the job market, including existing tech jobs</i>	B. Medical center – \$6 million to construct (\$300 per square foot) <i>Medical center providing health care services and out-patient care</i>
C. Bike trails, paths or lanes – \$100,000/ mile <i>Install new bike lanes and pedestrian paths and connect them to existing facilities and BayTrail</i>	C. Job training programs and education center – \$10,000 per participant <i>Provide residents with job training programs that prepare them with job skills</i>	C. Library improvements at Belle Haven – \$300,000 <i>Expand library programs and activities, especially for children</i>
D. Dumbarton Rail– \$175 million to construct and open trolley <i>Utilize the right-of-way for new transit line between Redwood City and Menlo Park in the near term with stations and a new bike/pedestrian path</i>	D. Paid internships and scholarships for young adults – \$10,000 per participant <i>Provide internships at local companies and scholarships to local youth to become trained for tech jobs</i>	D. High-Quality Affordable Housing – \$440,000/unit less land; \$82,000 typical per-unit local gap financing needed for a tax-credit project <i>Integrate quality affordable housing units into new development</i>
E. Innovative transportation solutions (i.e. personal rapid transit) – PriceVaries <i>Invest in new technology like pod cars and transit that uses separate tracks</i>		E. Senior service improvements – \$100,000 per year <i>Increase the senior services at the Senior Center to include more aides and programs</i>
F. Bus service and amenities – \$5,000 per rider seat <i>Increase the number of bus stops, bus frequency and shuttles, and bus shelters</i>		F. Add restroom at Onetta Harris Community Center – \$100,000 <i>Additional restroom at the community center</i>
	Energy, Technology, & Utilities Infrastructure	
	A. Underground power lines – \$200/foot min.; \$50,000/project <i>Remove overhead power lines and install them underground along certain roads</i>	G. Pool House remodel in Belle Haven – \$300,000 <i>Remodel pool for year-round use with new heating and changing areas</i>
	B. Incentives for private home energy upgrades, renewable energy, and water conservation – \$5,000 per home <i>Offer financial assistance or other incentives to help area residents pay for energy-efficient and water conserving home improvements</i>	Park and Open Space Improvements
Community-serving Retail	C. Telecommunications investment – \$250 per linear foot <i>Improve the area's access to wifi, broadband, and other new technologies</i>	A. Tree planting – \$10,000 per acre <i>Plant trees along streets and parks to increase tree canopy</i>
A. Grocery store – \$15 million to construct (\$200 per sq ft) plus 25% soft costs, financing, etc.; \$3.7 million for 2 years of subsidized rent <i>A full-service grocery store providing a range of goods, including fresh fruits, vegetables and meat and dairy products</i>	D. Soundwalls adjacent to Highway 101– \$300,000 (\$600/foot) <i>Construct soundwalls between Highway 101 and Kelly Park to reduce sound</i>	B. Bedwell Bayfront Park improvements – \$300,000 <i>Improve access to the park and trails within it</i>
B. Restaurants – \$1.5 million (3,000 sq ft at \$400 per sq ft plus 25% for soft costs, financing, etc.) <i>A range of dining options, from cafes to sit-down restaurants, serving residents and local employees</i>		C. Community garden(s) – \$26,000 to construct ~0.3 acres, 25 beds, 2 picnic tables <i>Expand space for community to plant their own produce and flower gardens</i>
C. Pharmacy – \$3.75 million (15,000 sq ft at \$200 per sq ft, plus 25% for soft costs, financing, etc.) <i>A full-service pharmacy that fills prescriptions and offers convenience goods</i>		D. Dog park – \$200,000 for 0.5 acre (no land cost included) <i>Provide a dedicated, enclosed place where dogs can run</i>
D. Bank/ATM – \$1.88 million (3,000 sq ft at \$500 per sq ft plus 25% for soft costs, financing, etc.) <i>A bank or credit union branch with an ATM</i>		

ATTACHMENT D

From: Romain Tanière
To: [Smith, Tom A](#)
Subject: 1075 O'Brien Drive
Date: Thursday, June 8, 2017 10:32:56 AM

Dear Tom,

As part of the proposal for 1075 O'Brien Drive, ADA compliant sidewalk/crossing on O'Brien and Kelly court should be included in the design (as a continuation and similarly to what has been done at 1035 O'Brien Drive). These sidewalks/pedestrian crossings should be also implemented all along and on both sides of O'Brien Drive (and in the business park in general) to make it ADA compliant and pedestrian/bicyclist friendly.

Regards,
Romain Taniere

From: Mendoza, Jonathan S
To: [Smith, Tom A](#)
Cc: [Wilson, Joanne](#); [Herman, Jane](#); [Leung, Tracy](#); [Feng, Stacie](#); [Brasil, Dina](#); [Wong, Christopher J](#); [Levy, Janice](#); [Russell, Rosanna S](#)
Subject: Notice of Application Submittal - 1075 O'Brien Drive and 20 Kelly Court, Menlo Park
Date: Thursday, June 1, 2017 6:28:16 PM
Attachments: [Final Project Review and Land Use Application fillable \(6 10 13\).pdf](#)
[FINAL Interim Water Pipeline Right of Way Policy.pdf](#)
[FINAL-Amended Right of Way Integrated Vegetation Management Policy.pdf](#)
[SFPUC Basemap-20 Kelly Ct Menlo Park.pdf](#)

Hello Mr. Smith:

The SFPUC recently received a Notice of Application Submittal for a proposal at 1075 O'Brien Drive and 20 Kelly Court, Menlo Park. I understand that this submittal is a request for a study session to review the proposal to construct a new office building with a restaurant, cafe, and parking garage at 1075 O'Brien Drive; and to construct a new chemical storage bunker adjacent to the existing building at 20 Kelly Court. The SFPUC owns in fee an 80-foot wide right-of-way (ROW) which contains three large water transmission pipelines (BDPLs Nos. 1, 2 and 5) adjacent to 20 Kelly Court, Menlo Park. Please see the attached GIS export showing the approximate boundaries of the SFPUC ROW.

I reviewed the submittal provided at <https://www.menlopark.org/ArchiveCenter/ViewFile/Item/5170>. While reviewing the submittal, I noticed that project sponsor is proposing a new steel entry gate and fence; the removal of some of the existing parking spaces; and the installation of an optional sports field amenity on the SFPUC ROW. All projects and activities on the SFPUC's ROW must be reviewed by the SFPUC's Project Review Committee (committee). During Project Review, the committee may require modifications to the project and/or implementation of avoidance and minimization measures. Therefore, it is important for the project sponsor to schedule their project for review at the earliest opportunity to address any potential project issues. To initiate the Project Review process, the project sponsor should fill out the attached project review application. Once the application is completed, they must email their application and supporting attachments back to me. Completed applications with supporting attachments are scheduled in the order they are received for the next available Project Review Committee date.

Please note that the SFPUC ROW cannot be used to satisfy development/entitlement requirements (including, but not limited to: required parking, open space/recreation areas, emergency vehicle access, etc.). In other words, their proposed development must satisfy all of its requirements outside of the SFPUC ROW. Attached are the following two SFPUC ROW policies:

- Interim Water Pipeline ROW Use Policy – specifies uses allowed or prohibited within SFPUC ROW (ex. land use, structures, utilities, etc.); and
- Integrated Vegetation Management Policy – see section 12.005 for vegetation height specifications allowed within the SFPUC ROW.

Among other things (including SFPUC engineering, operations and maintenance requirements), the committee members will be reviewing proposals for conformance with these policies.

Please let me know if you have any questions or need additional information.

Best,

Jonathan S. Mendoza

Land and Resources Planner
Natural Resources and Lands Management Division
San Francisco Public Utilities Commission
1657 Rollins Road
Burlingame, CA 94010
O: 650.652.3215 (Tuesdays and Fridays)
C: 415.770.1997 (Wednesdays and Thursdays)
F: 650.652.3219
E: jsmendoza@sfwater.org
W: <http://www.sfwater.org/ProjectReview>

NOTE: I am out of the office on Mondays

From: Romain Tanière
To: [Smith, Tom A](#)
Subject: Re: 1075 O'Brien Drive - FaceBook Willow Campus connections
Date: Tuesday, July 11, 2017 8:49:40 PM

Dear Tom,

In addition to the feedback below, please find an additional request as far as the planning for 1075 O'Brien Drive:

With the redevelopment of the FaceBook Prologis/Willow Campus, the planning and design of the 1075 O'Brien Drive/20 Kelly Court merged property/buildings should allow for new connections between O'Brien Drive and the new FaceBook planned street grid system.

For instance, in line with the new ConnectMenlo general plan, connecting Kelly Court through Hetch Hetchy through the back of the FaceBook Campus/Hamilton Avenue and/or creating a new street on top of the current open drain between 1075/1105 O'Brien Drive.

Thank you very much for your consideration.

Romain Taniere

From: Romain Tanière <rtaniere@yahoo.com>
To: "tasmith@menlopark.org" <tasmith@menlopark.org>
Sent: Thursday, June 8, 2017 10:32 AM
Subject: 1075 O'Brien Drive

Dear Tom,

As part of the proposal for 1075 O'Brien Drive, ADA compliant sidewalk/crossing on O'Brien and Kelly court should be included in the design (as a continuation and similarly to what has been done at 1035 O'Brien Drive). These sidewalks/pedestrian crossings should be also implemented all along and on both sides of O'Brien Drive (and in the business park in general) to make it ADA compliant and pedestrian/bicyclist friendly.

Regards,

Romain Taniere



STAFF REPORT

Planning Commission

Meeting Date:

8/14/2017

Staff Report Number:

17-055-PC

Regular Business:

Clarification regarding conversion of existing covered parking (garage or carport) for use as a secondary dwelling unit, and associated replacement parking requirements

Recommendation

Staff recommends that the Planning Commission review a clarification relating to the conversion of existing garages or carports for secondary dwelling use, and the type and location of replacement parking that may be permitted. The Commission may provide comments for the consideration of the City Council, which will review a similar staff report prior to any procedural or documentation changes.

Policy Issues

Staff believes that the clarification described in this report would ensure that City practices would be in compliance with relevant State regulations. The clarification would also support Housing Element Policy H4.11, which encourages the development of secondary dwelling units.

Background

Assembly Bill 2299 (AB 2299) and Senate Bill 1069 (SB 1069) passed in the 2015-2016 legislative session and amended California laws relating to Secondary Dwelling Units (also referred to as Accessory Dwelling Units). The amendments relate to Government Code § 65852.2. Any existing municipal codes that do not meet the requirements of State law shall be considered null and void, and that agency shall thereafter apply the standards established in State law for the approval of Secondary Dwelling Units, unless and until the agency adopts an ordinance that complies with State law.

On December 5, 2016, the Planning Commission reviewed and recommended approval of Municipal Code revisions intended to bring local regulations into compliance with State law. On February 7, 2017, the City Council approved the Ordinance making these updates (with one minor modification), and the updated regulations formally went into effect 30 days later. Since the new regulations have gone into effect, staff has seen increased interest in the development of secondary dwelling units, which provide additional housing options while keeping neighborhood character consistent.

Analysis

Staff prepared the revisions earlier this year under the understanding that they fully implemented the State law requirements. However, as more jurisdictions have updated their ordinances, and as there has been more awareness and discussion of the State law changes, multiple property owners and builders have raised questions to staff on the topic of garage/carport conversions specifically.

Staff did include provisions in the earlier updates that facilitated the conversion of existing detached accessory buildings (many of which are garages) into secondary dwelling units. For example, such secondary dwelling units are not required to provide any new off-street parking for the unit itself. However, staff understood that the off-street parking requirement for the main dwelling unit could remain in effect. Since the standard main residence requirement is for two spaces (one of which must be a garage or carport), not in any front or side yard and not in a tandem layout, this would effectively prohibit garage conversions on many parcels where there is not room to build a new garage/carport or provide an uncovered parking space that isn't in a front or side yard.

After reviewing the State law in more detail and consulting other jurisdictions' associated ordinance updates (for example, Redwood City, East Palo Alto, and Mountain View), staff believes that the State law is fairly clear on the following points:

- If an existing garage or carport (whether attached or detached) is converted to a secondary dwelling unit, no off-street parking is required for the secondary dwelling unit itself; and
- Replacement parking for a converted garage or carport can be required for the main unit; however, it must be allowed in any configuration on the same lot, including covered spaces, uncovered spaces, tandem spaces, or mechanical parking lifts.

As a result, staff understands that scenarios such as the following would typically be permitted for buildings in existence as of the effective date of the State law (January 1, 2017):

- An applicant owns a parcel that meets the minimum lot size for secondary dwelling units (6,000 square feet) and contains a single-family residence and a two-car detached garage at the rear of the parcel, accessed by a long driveway that runs alongside the side of the house. The applicant is proposing to convert the garage to a secondary dwelling unit. The garage is within the maximum secondary dwelling unit size (640 square feet, or 700 if the unit is designed to meet disabled access requirements). No parking is required for the secondary dwelling unit since it is being converted from an existing building, and the driveway along the side would provide room for two uncovered tandem parking spaces for the main unit.
- A property owner with a single-family residence proposes to convert its attached two-car garage to a secondary dwelling unit. The parcel meets the minimum lot size for secondary dwelling units, and the garage does not exceed the maximum secondary dwelling unit size. No parking is required for the secondary dwelling unit since it is converting a portion of an existing building, and the driveway provides room within the front 20-foot setback for two uncovered parking spaces for the main unit.

By contrast, scenarios such as the following would not be permitted by right, although an applicant could potentially request a use permit or conduct other actions as noted:

- A property owner with a 5,750-square-foot parcel wishes to convert an existing garage to a secondary dwelling unit. There is room on the driveway for replacement parking in an uncovered and/or tandem configuration, but the lot size is below the minimum that is specified for secondary dwelling units, so this cannot be permitted through the building permit process. However, the applicant can apply for a use permit to develop a secondary dwelling unit in this case, since the local ordinance conditionally allows modifications to certain development standards, including lot size.
- A residence on a corner lot has its existing garage located 12 feet from the corner side lot line. If the garage was converted to secondary dwelling unit use, the driveway leading to the garage could not be

used to meet the main dwelling's parking requirement, since 12 feet would not provide sufficient distance for compliant uncovered parking spaces on the parcel. However, depending on the lot, there might be an option to construct a new driveway on the front side, where there would typically be a 20-foot setback.

The Municipal Code does not currently clearly permit garage/carport conversions to proceed without providing fully-compliant replacement parking (including at least one new covered parking space). However, based on the research recently conducted, staff believes that State law overrides the local ordinances on this topic. Staff is providing the Planning Commission (and City Council, following the Commission's review) with this clarification in order to provide a public opportunity for comment and direction, since parking is a known topic of interest. Absent guidance to the contrary from the City Council, staff intends to follow up this clarification with the following actions:

- Modify internal review procedures to permit such garage/carport conversions;
- Implement a new requirement for applicants proposing such conversions to acknowledge in writing that they are voluntarily constraining their own on-site parking options in a city that does not permit overnight on-street parking in most residential areas, and confirming their understanding that they may need to limit vehicle use as a result;
- Updating handouts to reflect these changes; and
- Returning to the Planning Commission and City Council with formal Municipal Code amendments to codify these provisions of State law (possibly bundled with other Zoning Ordinance corrections, for efficiency). These updates may include revisions to Municipal Code Section 8.20.070 ("Further limitations on motor vehicle storage"), which currently sets limits on parking that may be overridden by State law.

The City Council's review of this topic is tentatively scheduled for review on August 29, 2017. The Planning Commission's minutes for the August 14 meeting will not be available prior to that meeting, but staff will summarize any Commission comments/questions for the Council's consideration.

Impact on City Resources

This clarification is being accommodated within the existing budgets of the Planning Division and City Attorney, and is not expected to otherwise affect City resources. Secondary dwelling unit building permits will remain subject to existing fees that were established to cover City costs and address impacts.

Environmental Review

The clarification and future updates to implement it are not subject to the provisions of the California Environmental Quality Act ("CEQA") because the activity is not a project as defined by Section 15378 of the CEQA Guidelines. The clarification has no potential for resulting in physical change to the environment either directly or indirectly.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

None

Staff Report #: 17-055-PC

Report prepared by:
Thomas Rogers, Principal Planner

Report reviewed by:
Arlinda Heineck, Community Development Director