



## REGULAR MEETING AGENDA

**Date:** 9/11/2017  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

**A. Call To Order**

**B. Roll Call**

**C. Reports and Announcements**

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

**D. Public Comment**

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

**E. Consent Calendar**

- E1. Approval of minutes from the August 14, 2017, Planning Commission meeting. ([Attachment](#))

**F. Public Hearing**

- F1. Use Permit/Leila Osseiran/1074 Del Norte Avenue:  
Request for a use permit to partially demolish, remodel, and add a second story addition to an existing nonconforming single-story, single-family residence on a substandard lot with respect to lot width in the R-1-U (Single-Family Urban Residential) zoning district. The proposed work would exceed 50 percent of the existing replacement value in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The project was previously reviewed and continued at the Planning Commission meeting of May 22, 2017. ([Staff Report #17-057-PC](#))
- F2. Use Permit/Srinath Narayanan/1005 Almanor Avenue:  
Request for a use permit to demolish a one-story, single-family residence with a detached garage and to construct a new two-story, single-family residence with an attached garage and a basement

on a substandard lot with regards to lot width in the R-1-U (Single-Family Urban Residential) zoning district. As part of the proposed development, one heritage London plane tree in the left corner of the rear yard is proposed for removal. ([Staff Report #17-058-PC](#))

## **G. Regular Business**

- G1. Ravenswood Avenue Railroad Crossing Study Presentation:  
The Ravenswood Avenue Railroad Crossing Study is evaluating the feasibility of replacing the existing at-grade crossing of the Caltrain tracks within the City of Menlo Park with a prioritization at Ravenswood Avenue. The project team will be presenting the project status and requesting input to determine a preferred alternative, to answer questions and to receive feedback. ([Staff Report #17-059-PC](#))

## **H. Informational Items**

- H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: September 25, 2017
  - Regular Meeting: October 16, 2017
  - Regular Meeting: October 23, 2017

## **I. Adjournment**

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at [www.menlopark.org](http://www.menlopark.org) and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at [menlopark.org/notifyme](http://menlopark.org/notifyme). Agendas and staff reports may also be obtained by contacting the Planning Division at 650-330-6702. (Posted: 09/06/17)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



## REGULAR MEETING MINUTES - DRAFT

**Date:** 8/14/2017  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

### A. Call To Order

Chair Drew Combs called the meeting to order at 7:01 p.m.

### B. Roll Call

Present: Andrew Barnes, Drew Combs (Chair), Susan Goodhue, Larry Kahle (Vice Chair), John Onken, Henry Riggs, Katherine Strehl

Staff: Sunny Chao, Assistant Planner; Tom Smith, Associate Planner, Thomas Rogers, Principal Planner

### C. Reports and Announcements

Principal Planner Thomas Rogers said the City Council at its August 22, 2017 would potentially consider the 2131 Sand Hill Road annexation and office building construction previously seen by the Planning Commission as well as consider further the philanthropic offer for the main library and the term sheet for the 500 El Camino Real/Middle Plaza project.

Chair Combs said that item H1: Zoning Ordinance: Secondary Dwelling Units would be moved ahead of item G1: Study Session/Jason Chang/1075 O'Brien Drive.

### D. Public Comment

There was none.

### E. Consent Calendar

- E1. Approval of minutes from the July 17, 2017, Planning Commission meeting. ([Attachment](#))

Commissioner Susan Goodhue said on page 1 under "Reports and Announcements" that a verb such as "moved" should be inserted after "tentatively" in the statement: "Principal Planner Thomas Rogers said the 1075 O'Brien Drive Study Session on tonight's agenda was continued and tentatively ***moved*** to the August 14, 2017 meeting."

**ACTION:** Motion and second (Goodhue/Andrew Barnes) to approve the minutes with the following modification; passes 5-0-2 with Commissioners John Onken and Katherine Strehl abstaining.

- Page 1, Item C, 1<sup>st</sup> line, insert "move" after "tentatively" to read: "Principal Planner Thomas Rogers said the 1075 O'Brien Drive Study Session on tonight's agenda was continued and

tentatively **moved** to the August 14, 2017 meeting.”

- E2. Architectural Control/William Hagman/8 Homewood Place:  
Request for architectural control to modify an existing parking lot in order to construct an outdoor patio with seating on a lot in the C-1 (Administrative and Professional District, Restrictive) zoning district. The new patio would replace seven parking spaces, resulting in a total of 109 parking spaces, where 106 are required. (Staff Report #17-053-PC)

**ACTION:** Motion and second (Onken/Barnes) to approve the architectural control as recommended in the staff report; passes 7-0.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines.
2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:
  - a. The general appearance of the structure is in keeping with the character of the neighborhood.
  - b. The development will not be detrimental to the harmonious and orderly growth of the city.
  - c. The development will not impair the desirability of investment or occupation in the neighborhood.
  - d. The development provides adequate parking as required in all applicable city ordinances and has made adequate provisions for access to such parking.
  - e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.
3. Approve the architectural control subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Reed Associates Landscape Architecture, consisting of 11 plan sheets, dated received July 27, 2017, approved by the Planning Commission on August 14, 2017, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be

placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.

- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division if the net increase in impervious surface is greater than 500 square feet. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and arborist report prepared by Walter Levinson Consulting Arborist, dated May 10, 2017.

Chair Combs said Commissioners Henry Riggs and Larry Kahle were recused from item F1.

## **F. Public Hearing**

### **F1. Use Permit/Henry L. Riggs/8 Politzer Drive:**

Request for a use permit to partially demolish, remodel, and add to an existing nonconforming single-story, single-family residence on a standard lot in the R-1-S (Single-Family Suburban) zoning district. The proposed work would exceed 75 percent of the existing replacement value in a 12-month period. The project previously received a building permit for a more limited scope of work; however, the proposed revisions would result in the total project exceeding the use permit value threshold. ([Staff Report #17-054-PC](#))

Staff Comment: Assistant Planner Sunny Chao said she had no additions to the staff report.

Questions of Staff: Commissioner Barnes asked about the statement under "Parking and Circulation" that stated: "Per staff's historical interpretation, the original garage with interior clear dimensions of 18 feet by 21 inches, nine inches is considered a two-car garage as it has minimum interior clear dimensions of at least 18 feet by 18 feet."

Principal Planner Rogers said the current zoning ordinance has a dimensional standard of 10 feet by 20 feet for a one-car space. He said the current requirement for building a two-car garage was at least 20-foot by 20-foot clear. He said as the application of that standard was applied staff had found that many garages had been constructed with smaller dimensions than that. He said in most cases it was a disadvantage to the property if City staff were to determine that those 18-foot by 18-foot or 19-foot by 19-foot garages were one-car garages. He said in staff's internal interpretation and practices there was a document stating that an existing garage from the 50s and 60s that was 18-foot by 18-foot was considered a two-car garage. He said in this instance the width was 18-feet and one inch but the depth was greater than 20 feet. He said that the garage pop out for the bathroom resulted in a depth less than 20-feet. He said as part of the building permit this needed to be disclosed but was not required to be rectified. He said for the record that in the future a garage depth would not be allowed that was less than 20 feet but in this case due to error it was,

Commissioner Barnes asked if vinyl clad windows with wood were the same as aluminum clad. Assistant Planner Chao said those were two different window materials.

Commissioner Strehl asked if the original permit included the square footage that was added. Assistant Planner Chao said it was. She said the stop work order was due to the inspector finding additional work done by the contractor in terms of removing and replacing the drywall for electrical purposes. Commissioner Strehl asked why this had to come back to the Planning Commission. Assistant Planner Chao said since this was a nonconforming structure a new work value calculation was done to determine if it would be reviewed as a building permit or as a discretionary permit, and the latter permit was determined to be needed.

Chair Combs asked what the previous work value had been. Assistant Planner Chao said it had been 59%. Chair Combs asked if the building inspection on June 19 was a standard inspection. Assistant Planner Chao said she understood that it was a standard inspection. She said there was disconnect between the contractor and the applicant regarding the work done on the drywall.

Applicant Presentation: Henry Riggs, Menlo Park, project architect, said the existing house was nonconforming for three of the four setbacks between two and three inches at each point. He said the scope of work was to combine the kitchen, dining and living rooms into one space with a higher ceiling. He said besides pushing out the front of the project by two or three feet and adding 260 feet in the back all work was interior and mostly vertical to get a higher ceiling. He said he did the design and plans and took the project through the building department. He said he had not been engaged to do construction observation and made minimal visits to the site. He said the removal of the drywall was by the contractor expanded the work scope.

Commissioner Strehl asked about vinyl windows. Mr. Riggs said that these were wood windows with vinyl cladding.

Chair Combs opened and closed the public hearing as there were no speakers.

Commission Comment: Commissioner Barnes said the nonconforming front left and right sides were within four inches of conforming and the materials used were fine.

Commissioner Onken moved to approve the use permit and make the findings of the staff report.

Chair Combs said this was a great project and modest. He said he was disappointed that a project spearheaded by a nine-year member of the Commission resulted in a stop order.

Commissioner Goodhue seconded Commissioner Onken's motion.

**ACTION:** Motion and second (Onken/Goodhue) to approve the use permit as recommended in the staff report; passes 5-0-2 with Commissioners Kahle and Riggs recused.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.

3. Approve the use permit subject to the following **standard** conditions:
  - a. Development of the project shall be substantially in conformance with the plans prepared by Henry L. Riggs, AIA, consisting of eight plan sheets, dated received August 8, 2017, and approved by the Planning Commission on August 14, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
  - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
  - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
  - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
  - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
  - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
  - g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

The following item was moved ahead of item G1 as three Commissioners would need to recuse themselves from item G1.

Commissioners Riggs and Kahle rejoined the Commission at the dais.

## **H. Regular Business**

- H1. Zoning Ordinance: Secondary Dwelling Units  
Clarification regarding conversion of existing covered parking (garage or carport) for use as a secondary dwelling unit (also known as an accessory dwelling unit). ([Staff Report #17-055-PC](#))

Staff Comment: Principal Planner Rogers said that the state legislature had passed two laws in 2016 regarding secondary dwelling units. He said in December 2016 staff had brought proposed

changes to the City's ordinances regarding secondary dwelling units to the Planning Commission. He said those changes were brought to the City Council in early 2017 and at that time were considered to make the City's regulations regarding secondary dwelling units fully compliant with the state legislation. He said since then staff found one aspect of the City's regulations that did not fully conform to the state law. He said staff would bring updates related to this topic to make City ordinances fully transparent and compliant with the state law. He said in general the state laws were intended to make the development of secondary dwelling units more feasible and realistic. He said one of the strategies of the state law related to the conversion of parking in particular where and how replacement parking might be located. He said the City looked at where there was existing parking for meeting the requirement of the main residence by a two-car garage that the garage could be converted to a secondary dwelling unit but the parking requirement for the main unit had to be replaced elsewhere. He said the City's requirement of one covered parking space and no parking spaces in the front yard basically made it impossible to convert garages to secondary dwelling units. He said customers made it clear that they did not think this was consistent with the state law. He said with the City Attorney's help and that of other planners they did surveys of other cities and found that the replacement parking could be located uncovered, in a yard and in tandem.

Principal Planner Rogers noted that on page 2 of the staff report a couple of scenarios where the City might see conversion of garages to secondary dwelling units was listed. He said the first example was a detached garage for the main unit at the back. He said in most cases these garages could be converted to secondary dwelling units and the parking for the main unit provided along the driveway in tandem leading to the garage. He said a more common scenario was a two-car garage located close to the front setback. He said the 20-foot front setback would provide enough dimension for the two spaces for the main unit to be located, uncovered, on the driveway. He said for the record that on page two and three of the staff report it was noted that a garage might not be converted to a secondary dwelling unit when the lot was less than 6,000 square feet except through a use permit process. He said another instance was when a garage was located 12-feet from a property line on a corner lot as that driveway would not have enough depth for the needed tandem parking for the garage to be converted to a secondary dwelling unit. He said in that instance the property owners might potentially pave some other area on the site for the parking. He said staff would make this report to the City Council. He said unless there was other direction from Council, staff intended to modify its internal procedures to permit secondary dwelling unit conversions compliant with state law. He said they would implement a new requirement for applicants to have them acknowledge in writing that in converting their parking they understood that the City did not allow overnight street parking. He said they would update handouts and then bring those changes to the Planning Commission and City Council to formalize the process.

Commissioner Strehl asked if someone had a garage on an alley and they wanted to convert it to a secondary dwelling unit whether they could put tandem parking on the front property. Principal Planner Rogers said in most cases if the garage was in back and only accessed from the back alley and there was not space for parking there, the property owner could look at the front for the parking. He said in most cases houses were pretty close to the 20-foot setback so they could not do a one-car driveway with two spaces in tandem, but they could potentially have a two-car driveway with two spaces. He said any action to add paving at a connection to the street would have to meet the Engineering Division's encroachment permit guidelines but for the most part those were pretty standard.



Commissioner Strehl asked about a garage that was nonconforming with side setbacks. Principal Planner Rogers said for any existing building, garage or whatever, that if all the standards about lot size and total square footage were met that structure could be converted to a secondary dwelling unit. Commissioner Strehl asked about structures in a flood zone. Principal Planner Rogers said that flood zone requirements were not overwritten with these laws. He said in the event that someone needed to raise their structure to meet habitation rules it would generally be allowed as long as the footprint did not expand.

Commissioner Riggs said the bottom of page 2 listed a lot size limitation and that someone with a lot less than 6,000 square feet who wanted to convert a garage or structure to a secondary dwelling unit would need to apply for a use permit. He said this was an issue as a rather large number of lots in the City were less than 6,000 square feet and the use permit process was onerous. He said the lot size limit effectively stopped the legal obligation to allow for secondary dwelling unit conversions. He asked if staff intended to bring lot size back as a consideration to the City Council along with the other matters to be discussed. Principal Planner Rogers said there was no direction for that either from the state law or previous Council actions. He said the staff recommendation was not a 6,000 square foot lot minimum but a 5,750 square foot lot size minimum which would cover a majority of lots such as those in the Belle Haven neighborhood. He said however that there were residents of that neighborhood in particular who were concerned with such conversions due to challenges they already faced with possibly unpermitted units and vehicle congestion. He said those residents convinced the City Council to make the minimum lot size requirement 6,000 square feet. Commissioner Riggs asked if the Commission could give Planning staff the direction to reconsider lot size minimum or if that would have to be agendaized. Principal Planner Rogers said staff would convey anything sustentative that the Commission raised to the Council. He said the Council most likely would receive an informational, non-action, item.

Chair Combs opened public comment.

Public Comment:

- Ernesto Reyes, Belle Haven, said he was an architectural consultant and designer. He said his lot was 5,700 square feet and he has been advocating to increase the number of homes that might have dwelling units. He said the focus had been on the number of cars and parking spaces but the focus should be on the availability and enhancement of public transportation. He said he would like to see opportunities for secondary dwelling units in the Belle Haven area increased.

Chair Combs closed public comment.

Commissioner Comment: Commissioner Barnes asked about paving for parking in front setbacks. Principal Planner Rogers said in the zoning ordinance there were no specific limits or allowances for paving except for a couple of small exceptions. He noted on page 3 of the staff report the comment: "These updates may include revisions to Municipal Code Section 8.20.070 ("Further limitations on motor vehicle storage"), which currently sets limits on parking that may be overridden by State law." He said regarding building code there were requirements that areas to be used for parking needed to be on all-weather surface which the City has interpreted as standard asphalt concrete surface, interlocking pavers or a type of aggregate base rock called Class 2 if at 95% compaction. He said if it was connecting to the public right of way an encroachment permit was needed for the curb cut.

Commissioner Kahle asked if the state law specified a minimum lot size to include secondary dwelling units. Principal Planner Rogers said it did not and while it allowed cities to set a minimum lot size it also kept cities from setting minimum lot sizes that were not achievable. Commissioner Kahle said he would support lots smaller than 6,000 square feet for allowing secondary dwelling units.

Commissioner Onken said he would support recommending reducing the lot size to allow for secondary dwelling unit conversion and suggested 5,500 square feet. He said also parking should be decoupled from the discussion of lot size as people often use their garage for things other than parking.

Chair Combs asked if the goal of reducing the lot size requirement was to allow for unpermitted secondary dwelling units to become legal or to encourage secondary dwelling units. Commissioner Riggs said it was to bring something that was needed and beneficial to multiple parties back into the light rather than pushing or leaving it underground.

Commissioner Strehl said she agreed with the recommendation to reduce the lot size to 5,500 square feet to allow for secondary dwelling units as more housing was needed in the City.

Commissioner Barnes said he needed more information as to what the minimum lot size should be to allow for secondary dwelling unit conversions. He said he supported secondary dwelling units.

Commissioner Strehl said she was on the Housing Element subcommittee and asked staff what that committee had recommended as the minimum lot size to allow for secondary dwelling units. Principal Planner Rogers said that number could be found and added to the staff report going to the Council.

Commissioner Barnes said he would like to have the reference made in the Housing Element to the minimum lot size for secondary dwelling unit. He said in his mind a greater issue regarding lot size was the number of lots considered substandard in size for which any type of basic work on needed a use permit.

Chair Combs said that Commissioners Goodhue, Onken and himself needed to recuse themselves from the next agenda item.

With the recusal of Chair Combs, Vice Chair Kahle chaired the remainder of the meeting.

## **G. Study Session**

- G1. Study Session/Jason Chang/1075 O'Brien Drive:  
Request for a study session for the demolition of an existing single-story warehouse and manufacturing building and construction of a new eight-story mixed-use building with three levels of structured parking above grade, four floors of offices, a restaurant, café with outdoor seating, and rooftop garden in the LS-B (Life Sciences, Bonus) zoning district. The proposal also includes a request for a new chemical storage bunker on the east side of the existing building at 20 Kelly Court. The parcels at 20 Kelly Court and 1075 O'Brien Drive would also be merged. *Continued from the meeting of July 17, 2017, with no changes to the staff report.* ([Staff Report #17-048-PC](#))

Staff Comment: Associate Planner Tom Smith noted the distribution of a couple of emails received that in general expressed concerns about traffic, particularly left hand turns coming into the site from O'Brien Drive onto Kelly Court that might potentially back up traffic, as well as pedestrian accessibility to the lot to encourage connections from East Palo Alto to the new Facebook Willow Campus site. He said the emails generally expressed support for the public amenities proposed for the site.

Applicant Presentation: Jason Chang, Chief Operating Officer, CS Bio, said his firm had been in Menlo Park since 2003. He said their focus was contract manufacturing where they make solid phase peptides, small proteins that they make synthetically. He said different pharmaceutical companies were their clients. He said over the last five years they had grown from fifteen to 100 employees, from occupying one building to occupying six buildings. He noted that they own three of those buildings and lease the other three from Tarlton Properties. He said they had received their first U.S. FDA approval two months prior and hopefully by the end of 2017 they would be manufacturing a Type 2 Diabetes drug for market. He said the project for tonight's study session was for an eight-story building so they might expand from just a drug substance manufacturer to looking at new drug targets.

Susan Eschweiler, DES Architects and Engineers, introduced Margot Gardias, project architect, who would present a PowerPoint providing an overview of the project. Ms. Eschweiler said she thought this was the first project to come through the new zoning district, LS-B, which was why they were bringing it to the Commission for a study session. She commented that there was a delay on the PowerPoint.

Ms. Eschweiler referred to the General Plan goal of LU4 that Menlo Park should support new and existing businesses to be successful and to attract entrepreneurship and emerging technologies for providing good services, amenities, local job opportunities and tax revenue for the community while avoiding and minimizing potential environmental and traffic impacts. She said they believed this project was in compliance with the new LS-B zoning or bonus zoning. She said the proposed project would help Mr. Chang promote his innovation and bring more life sciences work to Menlo Park, strengthen the tax base, and increase the square footage of the economic engine of Menlo Park. She said they hoped the LS-B zoning would streamline the process so they could get their product to market as soon as possible. She said one of the public amenities being offered was to have a basketball court at the rear of the project.

Ms. Eschweiler referred to the PowerPoint overview of the proposed project, noting that this project was 90,000 square feet of usable space. She said with the growth of CS-Bio and an increased need for peptide production that additional chemical storage was needed. She said they proposed an addition to the existing building just to the right that would store chemicals in a one level compartment. She said the chemicals would be piped directly into the synthesis manufacturing area and would replace the existing chemical storage in the other building. She said they would replace the existing building at 1075 O'Brien Drive. She said having public open space was important in the new zoning district. She showed the areas around the public streets for people to have direct access to open space. She said to amplify and enliven the open space that they would locate a one-story café at the base of the building fronting on O'Brien Drive. She said the café would be supplied by the restaurant on the eighth floor. She said the elevator at the corner of Kelly Court and O'Brien Drive would take people to the restaurant and to the roof deck. She said in addition to public open space there would be a path to rear of the property where they would locate a basketball court in the Hetch-Hetchy area as well as additional tandem and valet parking. She

said the maximum height allowed based on providing amenities was 110-feet. She said that for bonus level for a project fronting a local street there was a minimum of one recess of 15-foot wide by 10-foot deep per 200-feet of façade length. She said their proposed building was barely over 200-feet in length. She said they would have three recesses with one at the lower left corner which would be a aesthetic notch of balconies above grade, a modulation between the café and the elevator and a modulation at the corner facing the creek and O'Brien Drive. She showed different views of the proposed building.

Vice Chair Kahle opened the public comment period.

Public Comment:

- Luis Guzman, East Palo Alto resident, said having this mixed use project with its amenities was good for residents. He said he liked that the parking garage levels were open to the public and he felt a basketball court was very needed. He said other building owners in the area should be encouraged to work with the SFPUC for more recreational facilities. He said he would like this applicant to work with Facebook to create access from this site to Facebook's Willow campus. He said he was excited about this new mixed use project.
- John Onken, Menlo Park, said he was speaking as said as a member of the public. He expressed support of CS Bio's expansion. He said this project was one of the first to take advantage of the bonus level in the LS zoning district. He said bonus should be based on amenities that provide great community benefit. He said he hoped the Commission could make suggestions regarding massing and appropriate amenities.

Vice Chair Kahle closed the public comment period.

Commission Comment: Commissioner Strehl asked how many employees were expected. Mr. Chang said the plan was to have 300 employees over the next three years. He said the employees work seven days a week and on different schedules. Commissioner Strehl asked about the tandem parking on the SFPUC property and whether the parking garage could accommodate the needed parking. Ms. Eschweiler said they were trying to do double load rows on three stories for the parking noting that the lot was narrow. She said they also needed details on the required EV charger and ADA parking spaces. Commissioner Strehl said that the SFPUC had indicated that parking and amenities for the project should be placed elsewhere than on SFPUC property. She asked if they had spoken with the SFPUC. Ms. Eschweiler said they had not yet made an application to SFPUC as they wanted to have this hearing first.

Commissioner Riggs said regarding average building height that they took three buildings and their heights and averaged them. He said he thought they could have weighted those heights with their floor plates. He said the tallest building was the largest and densest building, and would have disproportionate impact. He said staff had calculated a different average building height and found the proposal was 20 feet too high. Ms. Eschweiler said they literally used the building code and did a simple average. She said one could look at it from a flow plate standpoint. She said from a gross floor area (GFA) standpoint as indicated in staff report would doubly amplify any kind of massing. She said during the committee meetings on the General Plan update (GPAC) it was clear that a variety of building heights was desired in this zone. She said using the simplest average gave that variety rather than trying to get everything to a constant height that would occur with some of the other averaging methods. Commissioner Riggs asked if using staff's average would result in

buildings all the same height. Ms. Eschweiler said potentially as the limiter tended to become the maximum average.

Commissioner Riggs said the restaurant was proposed at 17,000 square feet and located in an industrial area, and asked how it would succeed. Mr. Chang said the idea was to have a food court venue similar to the public market at Berkeley or Hillsdale Mall. He said they would like 20 different types of restaurants in that space with open seating throughout, and additional seating on the roof terrace and ground level. Commissioner Riggs asked if they had done a market study on the viability of restaurants in the area. Mr. Chang said that they were basing this off the findings of the GPAC that there were not enough restaurants east of Highway 101. He said his staff has to drive everyday to get meals unless they bring their meals to work. He said they have had discussions with other developers and other venues did not seem to be providing restaurants. He said this was something CS Bio could provide for the business park as well as for local residents. He said 80,000 people cross the Dumbarton Bridge every day and this venue would support people getting together for meals or drinks after work. He said they had not assessed whether or not this would be a financial success.

Commissioner Riggs suggested doing a market study to determine if the restaurant use would succeed.

Commissioner Barnes asked to see the slide with wording about the height and average. He asked staff to provide some background as to the intent and reasoning for calculating average height. Associate Planner Smith said the definition said average but there were various ways to calculate an average and it was not always the mean. He said staff has consistently said for the average height to use the proportional method. He said for this project the new building would be roughly 70% of the GFA of this lot at 110 feet and the building that was the shortest was about 10% of the GFA on the lot at 22 feet. He said using a straight mean average might allow for quite tall buildings throughout the area that would create a canyon effect, which staff did not believe was part of the concept that was imagined for this particular area.

Commissioner Barnes thanked the applicants for bringing the first project in this new zoning district forward noting the challenges of prescriptive regulations coupled with standards open to interpretation and subjective decisions related to amenities.

Vice Chair Kahle said the parking, the roof deck and basketball court would be open to the public and asked if they had thought about hours. Mr. Chang said they had not and noted that the idea of the basketball court was to pair it to an afterschool mathematics program through the Warriors Foundation. Vice Chair Kahle asked if they had thought about putting the parking underground. Ms. Eschweiler said they had looked at underground parking, which was prohibitively expensive due to the high water table in the area. Vice Chair Kahle said there had been discussion about underground parking for one of the new Facebook buildings in the flood plain and that was possible as long as there was no mechanical equipment in the area. Ms. Eschweiler said space was limited and having to do ramps both up and down and having access was not really feasible. Vice Chair Kahle said the parking requirement was 199 spaces and they were providing 249 spaces. Ms. Eschweiler said that number would be reduced once they determined the number of EV charger and ADA spaces required. Vice Chair Kahle noted that there were 50 parking spaces on one level. He said potentially they could reduce one entire level of the proposed building. He asked to see the 3-D images of the model. He noted the glass tower and asked the reasoning for the stucco handle from the third to the seventh floor. Ms. Eschweiler said they liked the play of

different materials on that vertical element and thought just glass would be boring.

Vice Chair Kahle said there appeared to be an alley or space to the right of the property. He asked who controlled that area and what it was used for. Associate Planner Smith said it was a drainage ditch and was privately owned. He said it conveyed water from the surrounding area.

Vice Chair Kahle asked if there was a connection between O'Brien Drive or Kelly Court to the future Facebook Willow Campus and whether that could be accommodated through this area. Associate Planner Smith said that connection had not been contemplated at this time but with the development of the Willow Campus they would encourage opportunities for connection where available.

Vice Chair Kahle asked about staff's position on weighted average and simple average. Associate Planner Smith said the initial project proposal submitted used the mean average to calculate the heights. He said staff communicated in its comment letter to that applicants that the proportional average was the average they would use to determine the average height of the buildings on the site. He said at the last Commission meeting when the item was continued, a comment was made about the average height and resolving that prior to this continuance. He said staff had communicated that to the applicant, suggesting that they might want to consider revising their proposal. He said the applicant indicated they wanted to continue with their proposal as is.

Vice Chair Kahle said the staff report indicated staff had about seven concerns with the proposal. He asked if some were more critical than others or what staff's approach was to those items. Associate Planner Smith said the height would have a substantial effect on the project in terms of importance. He said the requirement of ground floor transparency versus providing screening for structured parking at that lower level was a consideration. He said the public open space was important and while the area on the O'Brien Drive frontage was potentially a good use of that public open space there was a question as to whether the side setbacks of the building could be activated enough to make it a space that the public could enjoy and seek to use. He said the SFPUC had indicated to the City that they did not want the development to park on their right of way to meet its building requirements. He said without resolution and approval of the SFPUC that staff had concerns about the expanded parking and the basketball court as an amenity, and if approved, the potential in the future for SFPUC to revoke such an agreement for whatever reason thereby losing an amenity and potentially not meeting parking requirements. Vice Chair Kahle asked if that was all the tandem parking. Associate Planner Smith said two rows of tandem parking were approved with the 20 Kelly Court project previously and expansion beyond that caused concern. Vice Chair Kahle said the open space shown on the slide seemed to go only partially along the right side. Associate Planner Smith said the area of the basketball court shown in yellow in the packet would also count toward open space.

Commissioner Barnes asked if the applicant could address the ground floor screening and meeting the requirement for transparency in that area. Ms. Eschweiler said transparency worked well in the area of the café, which would be glass. She said having the garage on the lower level they would want to screen cars. She said that could be done with a low concrete wall and a large window opening for ventilation. She said there were code requirements for having naturally ventilated garages. She said if there was a certain amount of enclosure such as with underground parking it must be mechanically ventilated. She said they were looking at a blend of a green wall which was a wire wall with vines for screening.

Commissioner Barnes asked how transparency was defined by staff. Associate Planner Smith said in general it would be windows, glazing, and doors without any opaque or mirrored surfaces, providing the ability to see through the glass to other parts of the building.

Commissioner Riggs said his concern was with the height in particular in proportion to the adjacent CS Bio and other adjacent buildings. He said the concept of building height modulation was good but he thought it was taken to an extreme with this proposal. He said he could not understand the applicant's concern that staff's interpretation of average would lead to buildings of all the same height. He said with the overall height in mind it was particularly noticeable that the readily visible floors to pedestrians and people on the ground were the parking levels, which was not an attractive face. He said that ran counter to the Plan to activate the first floor. He suggested a couple of parking levels could go underground noting this had been done for years in San Francisco and Boston, both of which have high water tables. He said he thought the building was quite attractive but he expected to see a building that was 20 feet shorter, which would be a different building. He said as this was the first project under LS-B that they had to look carefully at the amenities the project would bring and to what degree they could offset a dramatic height and population on this site. He said the comments from the community were heavily weighted from neighbors to have more immediate and personal benefit. He said in terms of the City planning effort that a café was great for the building and immediate population but was only so much of a benefit citywide. He said the open space was limited and the basketball court would probably only serve eight to 10 regulars for a City that was doubling in population growth. He said he hoped the next building they saw was as handsome as this one.

Commissioner Strehl said she concurred with comments made by fellow Commissioners. She said she did not think the amenities offered would be very useful to the public and for the most part they would be useful to the employees of CS Bio. She said she couldn't visualize people coming to an open food court on a Thursday or Friday night to have dinner in a life science/industrial type environment. She said the basketball court was a good idea but given its placement far from the street would not be particularly useful to the community. She said what was being offered did not warrant the bonus level development.

Commissioner Barnes said the basketball court, the food court and the café would enhance the project and employee satisfaction but were not really public amenities. He said he could not find that any of the desired amenities that came out of the two years of meetings with Belle Haven residents were met in this proposal. He said the reasonable approach was to take the weighted height and he felt that should be made more explicit for future application processes. He said he did not see side setbacks as legitimate public open space. He said provisioning additional tandem parking ran counter to what a Transportation Demand Management program was intended to do in that area in restricting car trips to a site. He said he could see the tandem parking for recreational use of the basketball court but not for use by employees. He said regarding ground floor transparency that the green wall screening was not transparent and was not what was intended for transparency. He said he did not have concerns with the proposed design. He thanked the applicants for bringing the first project in this zone forward for study.

Vice Chair Kahle said he agreed with the comments regarding height and that the amenities being offered did not seem to be adequate. He said the vocational training amenity was intriguing and could support the project. He said regarding the building that he thought a completely glass tower would be dynamic and exciting. He said he had a hard time with the stucco feature as it would not connect to the ground. He said regarding the façade that the tower was in the same plane as the

eighth story portion of the building. He suggested there needed to be some offset unless it was tied in somehow, and that the building needed more attention and finesse. He said the major issue was height and the project would have a hard time getting Commission approval with the proposed height.

Ms. Eschweiler said they had two more slides that looked at the average height using the floor plate as a method. Commissioner Riggs said he thought there was consensus that the project should follow staff's method of determining height based on square footage. Recognized by the Vice Chair, Ms. Eschweiler provided information on calculating average height using floor plates. Vice Chair Kahle recommended that the applicants work with staff to come to consensus as to height calculation.

Commissioner Barnes asked if the applicant was precluded from bringing the parking levels up from the first floor. Ms Eschweiler said that parking could be elevated up one floor but that would need circulation and driving aisle. She said that having a blind ramp from O'Brien Drive had been eliminated from this proposal as that did not activate the street area.

Commissioner Riggs said tilted plates solved the ramp problem for parking garages and worked well on a long site such as this. Ms. Eschweiler said they were attempting to use the tilted plates and not have a separate ramp. She said the site was only 30,000 square feet.

Vice Chair Kahle confirmed that staff had enough input from the Commission for this study session.

## **I. Informational Items**

### **I1. Future Planning Commission Meeting Schedule**

- Regular Meeting: August 28, 2017

Principal Planner Rogers said it was expected that the 500 El Camino Real/Middle Plaza project would come to the Commission at this meeting.

Commissioner Strehl reminded staff that she would be absent from both September meetings.

- Regular Meeting: September 11, 2017
- Regular Meeting: September 25, 2017

## **J. Adjournment**

Vice Chair Kahle adjourned the meeting at 9:24 p.m.

Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett





## STAFF REPORT

### Planning Commission

**Meeting Date:** 9/11/2017  
**Staff Report Number:** 17-057-PC

**Public Hearing:** Use Permit/Leila Osseiran/1074 Del Norte Avenue

### Recommendation

Staff recommends that the Planning Commission approve a use permit to partially demolish, remodel, and add a second story addition to an existing nonconforming single-story, single-family residence on a substandard lot with respect to width in the R-1-U (Single-Family Urban) zoning district. The proposed work would exceed 50 percent of the existing replacement value in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure. The recommended actions are included as Attachment A. The project was previously reviewed and continued at the Planning Commission meeting of May 22, 2017.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The project site is located at 1074 Del Norte Avenue in the Flood Triangle neighborhood. Using Del Norte Avenue in the north-south orientation, the subject property is on the east side of Del Norte Avenue between Iris Lane and Oakwood Place. A location map is included as Attachment B. The parcel is trapezoid-shaped, and adjoins an unused, fenced-off alley to the left. This alley is considered public right-of-way, although the adjacent properties appear to be using it as an extension of their yards. Staff reviewed whether this use of the alley was subject to City approval, but records were inconclusive at this point. However, the alley is not part of the use permit application as no work besides the removal of the existing shed is proposed in the alleyway. It is not included in the property's lot size, and setbacks are measured from the property lines.

The subject property is surrounded by single-family residences that are primarily single-story, although two-story residences can also be found along Del Norte Avenue and throughout the neighborhood. Older residences in the neighborhood are generally one story in height, while the two-story residences are a combination of newer residences and older residences with second floor additions. Single-story residences in the neighborhood tend to have a ranch architectural style, while two-story residences tend to have a contemporary architectural style. Nearby properties are also single-family residences in the R-1-U (Single Family Urban) district except for Flood Park, which is zoned OSC (Open Space and Conservation), and the Haven Family House at 260 Van Buren Road, which is a transitional housing use.

### ***Previous Planning Commission review***

On May 22, 2017, the Planning Commission reviewed an initial version of the proposal for the subject property. The Planning Commission continued the use permit application with general comments on the design of the proposal. The Planning Commission's approved May 22 minutes are available as Attachment G, and a selection of the earlier project plans is included as Attachment H. The full staff report is available at the following link: <http://menlopark.org/DocumentCenter/View/14494>. As summarized in the minutes, the Commission's direction included the following points:

- Continue the redwood siding from the front elevation for a minimum of 12 feet on the right side elevation and integrate this revision into a cohesive design of the house;
- Balance the forms in the roof;
- Address the disconnection between the application of the shed roof over the garage on the front elevation and the termination of the hip roof on the right side elevation;
- Modify the design of the second floor addition over the garage on the first floor to address the disproportion of the design of the two-story redwood wall on the left side of the garage leading to the front entry in relation to the rest of the house; and
- Overall, revisit and submit a new design that holistically and comprehensively considers and addresses the following Commissioner comments: 1) massing, 2) exterior finishes, 3) balance, and 4) details.

This summary represents input emphasized by one or more Planning Commissioners, not a discrete motion voted upon by the Commission.

### **Analysis**

#### ***Project description***

The subject site is currently occupied by a single-story residence that is nonconforming with regard to the left side yard setback. The applicant is proposing to maintain and remodel the existing 1,685-square-foot residence of three bedrooms and two bathrooms, while constructing a new first floor addition of approximately 693 square feet at the rear of the existing attached garage and constructing a new second floor addition of approximately 803 square feet. With the new addition, the residence would become a four-bedroom, four-bathroom home. An existing shed, partly in the rear yard and partly in the unused alley, is proposed for removal.

The existing nonconforming walls at the left side of the residence are proposed to remain with the wall framing retained, but all areas of new construction would comply with current setback requirements and other development standards of the R-1-U zoning district.

The floor area, building coverage, and height of the proposed residence would all be below the maximum amounts permitted by the Zoning Ordinance. The height in particular would be well within its limit, at 22 feet, 11 inches, where 28 feet may be permitted. A data table summarizing parcel and project attributes is included as Attachment C. The project plans are included as Attachment D.

#### ***Design and materials***

The existing residence features a single-story house with hipped roofs, an attached garage, and sliding and picture windows, which are characteristic of the ranch style.

As described by the applicant, the proposed architecture would be a modern style, featuring a two-story

house with composite shingle hipped roofs, stucco siding with stone accents, and wood fenestration. The front entry would feature a wood front door framed by stone pillars and a stucco flat roof. The center of the second floor addition above the flat roof would feature stone accents as well. The garage on the right would feature a hip roof. For the first floor additions, there is a portion that would be added on the left rear side of the existing residence and another portion that would be added where the existing covered patio is on the right rear side of the existing residence. The proposed first floor footprint appears to be the same as that of the previous proposal seen by the Planning Commission. The second story addition would be centered above the front entrance and feature hip and flat roof forms. The second-story windows on the front and side elevations have a minimum sill height of three feet, six inches to promote privacy for the adjacent right neighbor.

Key changes made to the original design, summarized in the applicant's project letter (Attachment E), include the following:

- The overall height of the residence has been lowered to 22.9 feet, from 23.3 feet tall;
- The exterior finish has been changed from a combination of stucco and redwood siding to stucco with stone accents at the front entrance;
- The material of the fenestration has changed from vinyl to wood;
- The roof forms have been changed as the shed roof over the garage has been removed and replaced with traditional rooflines around the first and second floors;
- The previous two-story, unbroken wall towards the front of the residence has been eliminated; and
- The second floor addition has been revised to be centered and have more articulation and insets.

Staff believes the redesign of the roof addresses the Planning Commission's direction to resolve the previous design's disconnection between the application of the shed roof over the garage on the front elevation and the termination of the hip roof on the right side elevation. The applicant has revised the second floor addition to be centered above the first floor and to have more articulation and insets, which breaks up the massing of the previous design's two-story wall. Staff does have some concerns regarding the application of stucco and stone materials at the front entrance with the flat roof element above the front door, of which Planning Commission may want to provide further direction. Staff believes the improvement in the quality of fenestration material from vinyl to wood addresses the Planning Commission's general comment regarding exterior finishes and details. Overall, staff believes that the scale, materials, and style of the proposed residence are consistent with the broader neighborhood, given the similar architectural styles and sizes of structures in the area.

### ***Trees and landscaping***

Currently, there are fourteen trees on or near the project site, which consists of six heritage trees and eight non-heritage trees. All of these trees are proposed to remain. The construction of the proposed addition and remodel is not anticipated to adversely affect the heritage trees located on the property, right-of-way, and adjacent left property, given that the construction is not located within their driplines. Standard heritage tree protection measures will be ensured through recommended condition 3g.

### ***Valuation***

To calculate the replacement and new construction costs on which the use permit threshold is based, the City uses standards established by the Building Division. The City has determined that the replacement cost of the existing structure would be \$290,260, meaning that the applicants would be allowed to propose new construction and remodeling at this site totaling less than \$140,130 in any 12-month period without applying

for a use permit. The City has determined that the value of the proposed work would be approximately \$457,180. Based on this estimate, the proposed project exceeds 50 percent of the replacement cost of the existing structure, therefore requiring use permit approval by the Planning Commission.

### **Correspondence**

The applicant states that they contacted the neighbors as part of their initial proposal. Staff also received correspondence on the proposed project from the adjacent right side neighbor at 1072 Del Norte Avenue, which was attached to the earlier staff report and is included here for reference as Attachment F. The neighbor stated his concerns regarding any debris and dust from the construction of the first and second floor additions potentially affecting his health. The applicant discussed these concerns with the concerned neighbor and proposed the following mitigation measures: internal demolition, spraying the surfaces with water during external demolition, offering to pay for accommodations during the demolition of existing roof closest to neighbor's property, using a covered debris disposal, conducting any wood sawing within the existing structure and away from the neighbor's property, and sealing all windows when interior work is done. These measures have been added to the project description letter, which will allow staff to ensure they are implemented as part of the construction. Following the previous Planning Commission meeting on May 22, 2017, the resident at 1854 Doris Drive wrote a letter stating her astonishment for the Planning Commission's decision to refuse to grant the use permit per the findings and her support for the proposal. Staff has received another letter in support of the aesthetics of the proposal from the neighbor at 1059 Tehama Avenue. These letters of support are also included as Attachment F.

### **Conclusion**

Staff believes that the applicant addressed the Planning Commission's key directions for redesigning the proposed additions to the residence. The applicant has redesigned the roof forms to be more cohesive and balanced, shifted the second floor to be more centered, slightly reduced the overall height of the residence to reduce the perception of mass, and improved the quality of material of the fenestration on the house. The recommended tree protection measures would help minimize impacts on nearby heritage trees. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Correspondence
- G. Excerpt Planning Commission Minutes – May 22, 2017
- H. Original Project Plans (Select Sheets)

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

### **Exhibits to Be Provided at Meeting**

None

Report prepared by:

Sunny Chao, Assistant Planner

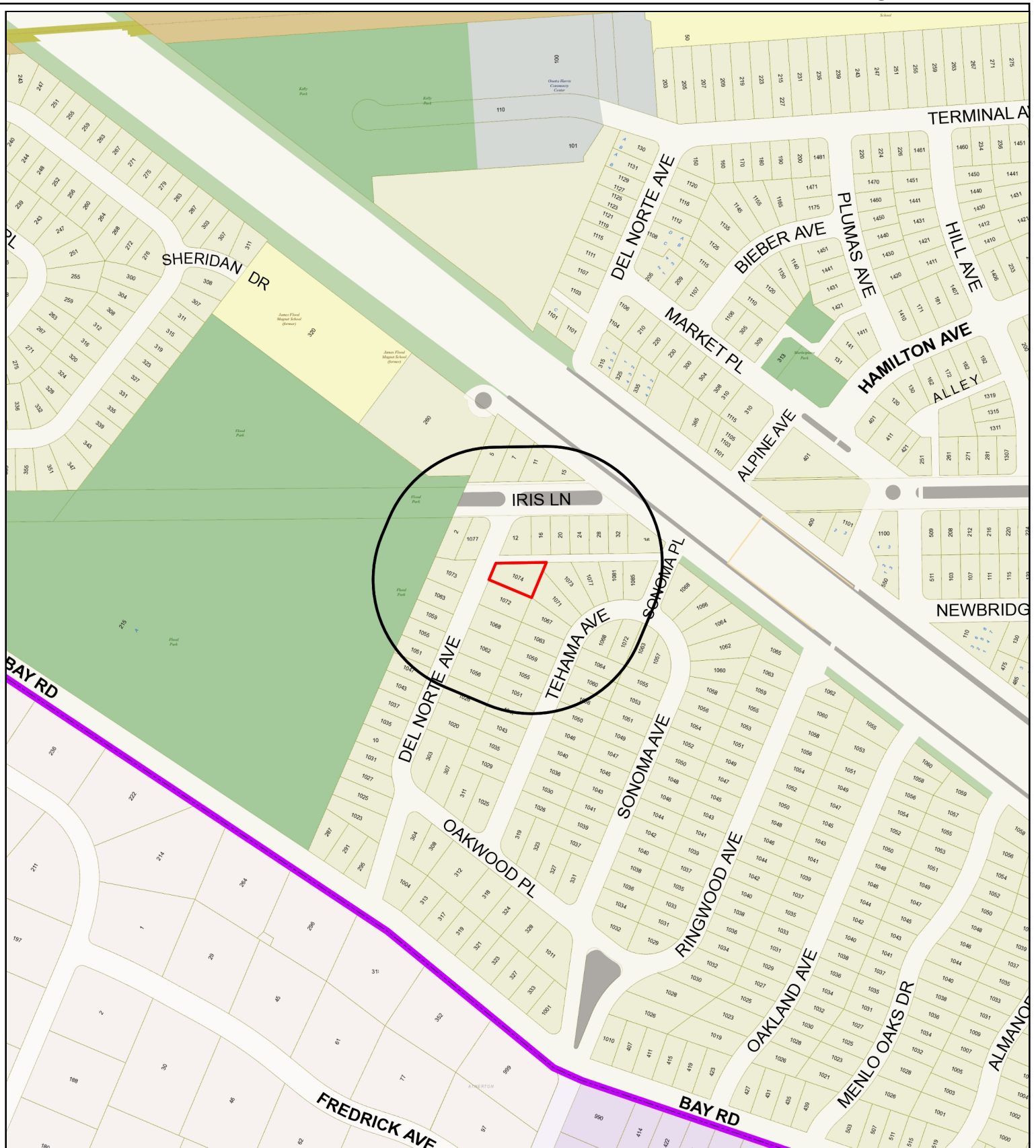
Report reviewed by:

Thomas Rogers and Deanna Chow, Principal Planners

THIS PAGE INTENTIONALLY LEFT BLANK

## 1074 Del Norte Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 1074 Del Norte Avenue	<b>PROJECT NUMBER:</b> PLN2016-00122	<b>APPLICANT:</b> Leila Osseiran	<b>OWNER:</b> Leila Osseiran
<b>REQUEST:</b> Request for a use permit to partially demolish, remodel, and add a second story addition to an existing nonconforming single-story, single-family residence on a substandard lot with respect to width in the R-1-U (Single-Family Urban) zoning district. The proposed work would exceed 50 percent of the existing replacement value in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> September 11, 2017	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<b>ACTION:</b>			
<ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions: <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Walid Nazzal and Associates consisting of 12 plan sheets, dated received September 5, 2017, and approved by the Planning Commission on September 11, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.</li> </ol> </li> </ol>			



CITY OF  
MENLO PARK

City of Menlo Park  
Location Map  
1074 Del Norte Avenue



Scale: 1:4,000

Drawn By: SYC

Checked By: THR

Date: 5/22/2017

Sheet: 1



	<b>PROPOSED PROJECT</b>	<b>EXISTING PROJECT</b>	<b>ZONING ORDINANCE</b>
Lot area	8,709 sf	8,709 sf	7,000 sf min.
Lot width	54.6 ft.	54.6 ft.	65 ft. min.
Lot depth	125.5 ft.	125.5 ft.	100 ft. min.
Setbacks			
Front	24.6 ft.	24.6 ft.	20 ft. min.
Rear	27.6 ft.	35.1 ft.	20 ft. min.
Side (left)	4.6 ft.	4.6 ft.	5.4 ft. min.
Side (right)	6.3 ft.	6.3 ft.	5.4 ft. min.
Building coverage	2,420 sf 28 %	2,317 sf 27 %	3,048 sf max. 35 % max.
FAL (Floor Area Limit)	3,188 sf	1,712 sf	3,227.3 sf max.
Square footage by floor	1,907 sf/1st 803 sf/2nd 478 sf/garage 17.1 sf/fireplace 12 sf/porches	1,234 sf/1st 478 sf/garage	
Square footage of buildings	3,217.1 sf	1,712 sf	
Building height	22.9 ft.	14 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees*	6	Non-Heritage trees**	8	New Trees	0
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0	Total Number of Trees	14

\*Includes two trees in the right-of-way and two trees on the adjacent left property.

\*\*Includes three trees on the adjacent left property.

# HOFMANN RESIDENCE

## SECOND FLOOR ADDITION

1074 DEL NORTE  
MENLO PARK- CA  
APN # 062 032 250

ARCHITECTURAL AND SITE REVIEW



GREEN GLOBE  
ENGINEERING  
& CONSTRUCTION  
Lic. # 1005705

5120 Graves Ave  
San Jose, CA 95129  
(408)772-6096

REVISIONS  
Date 02.07.17 05.02.17 06.22.17



SINGLE FAMILY HOME  
SAN JOSE, CA

HOFMANN RESIDENCE  
1074 DEL NORTE  
MENLO PARK, CA  
APN: 062 032 250  
COVER SHEET

DRAWN WN  
DATE 11/28/16

SHEET  
CS

DIRECTORY

**OWNER**  
ANDREAS HOFMANN  
LEILA OSSEIRAN  
1074 DEL NORTE  
MENLO PARK, CA  
(408)250-4620  
andreas.hofmann@gmail.com

**DESIGN**  
GREEN GLOBE ENGINEERING  
& CONSTRUCTION  
Walid Nazzal - George Channas  
5120 GRAVES AVE,  
SAN JOSE, CA 95129  
(408)772-6096  
walid@greenglobeengineering.com

**STRUCTURAL**:  
PLATINUM ENGINEERING SOLUTIONS  
10648 N. HWY 41  
MADERA, CA 93638  
(559)433-6433  
nsalem@platinumengineering.com

**SURVIOR-CIVIL ENGINEERING**  
SMP ENGINEERS  
1534 CARDB LANE,  
LOS ALTOS, CA 94024  
(650)941-8055  
smpengineers@yahoo.com

**ENERGY CONSULTANT**  
FRE ENERGY CONSULTANTS  
21 HARRISON AVENUE, SUITE 210  
CAMPBELL, CA 95008  
PH: (408) 866-1620  
NICK  
EMAIL: FRITITLE2@GMAIL.COM

DRAWING INDEX

SITE PLAN	
SHEET	CONTENTS
CS	TITLE SHEET
A.0	SURVEY MAP
A.1	SITE PLAN
A.2	AREA PLAN
A.3	EXISTING FLOOR PLAN
A.4	1ST-FLOOR PLAN
A.5	2ND-FLOOR PLAN
A.6	ROOF PLAN
A.7	ELEVATIONS- (FRONT & REAR)
A.8	ELEVATIONS- (SIDES)
A.9	BUILDING SECTIONS (AA - BB)
A.10	NONCONFORMING STRUCTURES

PROJECT DESCRIPTION

**SITE ADDRESS:**  
OCCUPANCY GROUP- R-1-U  
TYPE OF CONSTRUCTION V-B  
NUMBER OF STORIES ... 2  
PARCEL NO. 062-032-250  
ZONING : RESIDENTIAL  
LAND USE: SINGLE FAMILY HOME

• **LOT AREA:** 8709 SQ. FT.  
**LOT DIMENSIONS :** 46'-0" x 131'-0" x 98'-11" x 120'-0"

**GROSS AREA:** 8709 SF

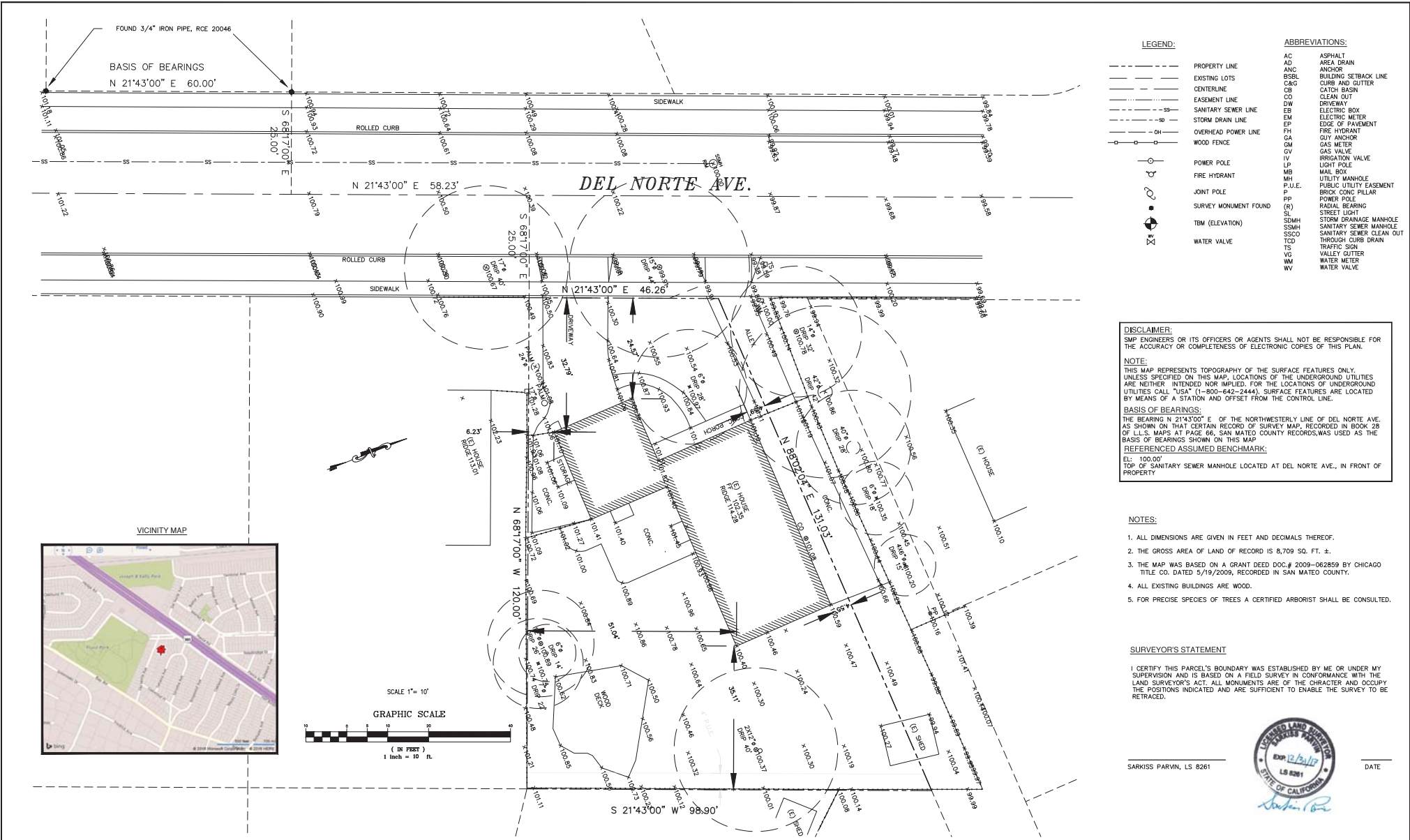
1ST FLOOR AREA 2385.00 SQ. FT.  
2nd FLOOR AREA 803.00 SQ. FT.  
**TOTAL FLOOR AREA 3188.00 SQ. FT.**

**FAL (Floor Area Limit)**  
LOT AREA = 8709 SQ. FT.  
FIRST 7000 SF OF LOT = 2800 SF  
FAL = 8709 - 7000 X 0.25 = 2900  
= 3827.25 SF MAX.  
PROPOSED = 3188.00 SF

**TOTAL BUILDING COVERAGE 2415 SQ. FT. 27.7 %**

IMPERVIOUS AREA TABLE

TOTAL AREA OF PARCEL	A	8709	ft <sup>2</sup>
EXISTING PERVIOUS AREA	B	5400	ft <sup>2</sup>
EXISTING IMPERVIOUS AREA	C	3309	ft <sup>2</sup>
EXISTING % IMPERVIOUS	$\frac{C}{A} \times 100$	37.99	%
EXISTING IMPERVIOUS AREA TO BE REPLACED WITH NEW IMPERVIOUS AREA	E	357	ft <sup>2</sup>
EXISTING PERVIOUS AREA TO BE REPLACED WITH NEW IMPERVIOUS AREA	F	409	ft <sup>2</sup>
NEW IMPERVIOUS AREA (CREATING AND/OR REPLACING) If greater than 10,000 sf a hydrology report must be submitted.	E + F	766	ft <sup>2</sup>
EXISTING IMPERVIOUS AREA TO BE REPLACED WITH NEW PERVIOUS AREA	H	368	ft <sup>2</sup>
NET CHANGE IN IMPERVIOUS AREA	F - H	41	ft <sup>2</sup>
PROPOSED PERVIOUS AREA	B - I	5359	ft <sup>2</sup>
PROPOSED IMPERVIOUS AREA verify that J = K = A	C + I	3350	ft <sup>2</sup>
PROPOSED % IMPERVIOUS	$\frac{K}{A} \times 100$	38.46	%



**LEGEND:**

---	PROPERTY LINE	AC	ASPHALT
- - - -	EXISTING LOTS	AD	AREA DRAIN
---	CENTERLINE	ANC	ANCHOR
---	EASEMENT LINE	BSBL	BUILDING SETBACK LINE
---	SANITARY SEWER LINE	C&G	CURB AND GUTTER
---	STORM DRAIN LINE	CB	CATCH BASIN
---	OVERHEAD POWER LINE	CO	CLEAN OUT
---	WOOD FENCE	DW	DRIVEWAY
○	POWER POLE	EB	ELECTRIC BOX
○	FIRE HYDRANT	EM	ELECTRIC METER
○	JOINT POLE	EP	EDGE OF PAVEMENT
○	SURVEY MONUMENT FOUND	FH	FIRE HYDRANT
○	TBM (ELEVATION)	GA	GUY ANCHOR
○	WATER VALVE	GM	GAS METER
		GV	GAS VALVE
		IV	IRRIGATION VALVE
		LP	LIGHT POLE
		MB	MAIL BOX
		MH	UTILITY MANHOLE
		P.U.E.	PUBLIC UTILITY EASEMENT
		PP	POWER POLE
		(R)	RADIAL BEARING
		SL	STREET LIGHT
		SDMH	STORM DRAINAGE MANHOLE
		SSMH	SANITARY SEWER MANHOLE
		SSCO	SANITARY SEWER CLEAN OUT
		TCD	THROUGH CURB DRAIN
		TS	TRAFFIC SIGN
		VC	VALLEY GUTTER
		WM	WATER METER
		WV	WATER VALVE

**ABBREVIATIONS:**

**DISCLAIMER:**  
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

**NOTE:**  
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

**BASIS OF BEARINGS:**  
THE BEARING N 21°43'00" E OF THE NORTHWESTERLY LINE OF DEL NORTE AVE. AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP, RECORDED IN BOOK 28 OF L.L.S. MAPS AT PAGE 66, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**REFERENCED ASSUMED BENCHMARK:**  
EL: 100.00'  
TOP OF SANITARY SEWER MANHOLE LOCATED AT DEL NORTE AVE., IN FRONT OF PROPERTY

- NOTES:**
1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
  2. THE GROSS AREA OF LAND OF RECORD IS 8,709 SQ. FT. ±.
  3. THE MAP WAS BASED ON A GRANT DEED DOC# 2009-062859 BY CHICAGO TITLE CO. DATED 5/19/2009, RECORDED IN SAN MATEO COUNTY.
  4. ALL EXISTING BUILDINGS ARE WOOD.
  5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.

**SURVEYOR'S STATEMENT**

I CERTIFY THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

SARKISS PARVN, LS 8261



DATE

1074 Del Norte Ave.  
Menlo Park  
APN: 062-032-250



**SMP ENGINEERS**  
CIVIL ENGINEERS—LAND SURVEYORS  
1534 Carob Lane Los Altos, CA 94024  
Tel. (650) 941-8055 Fax (650) 941-8755

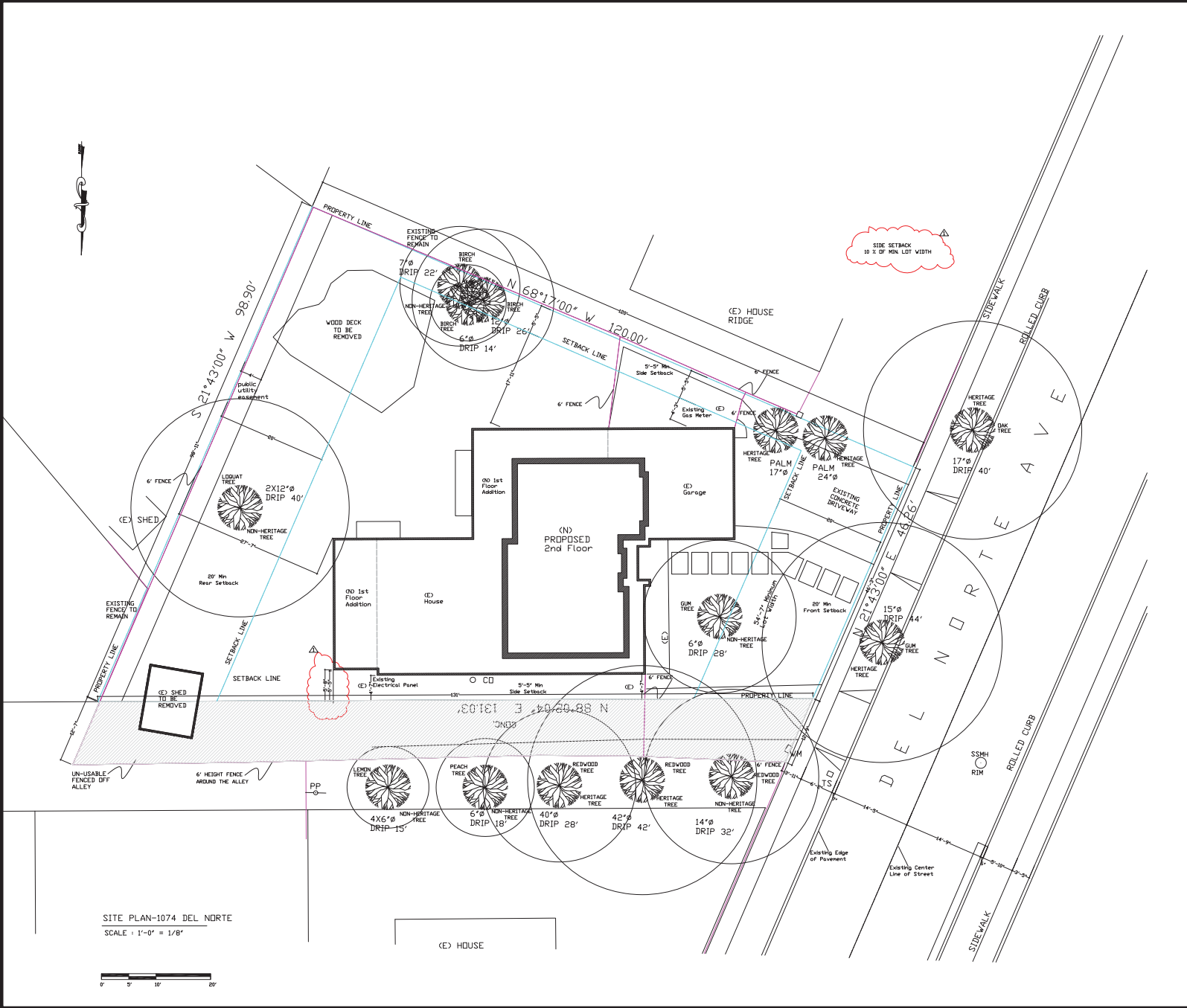
Scale: 1" = 10'  
Prepared by:  
Checked by:  
Date: 7/26/2016  
Project No: 216070

**TOPOGRAPHIC SURVEY MAP**

Sheet No: T-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF MENLO PARK



**CODE AND REGULATION**

2013 California Green Building Code.  
2013 CRC, CBC, CEC, CPC, CMC,  
and 2013 CA Energy Code.  
a. California Fire Code 2013 Edition  
b. California Building Code 2013 Edition  
c. California Mechanical Code 2013 Edition

**GREEN GLOBE  
ENGINEERING  
& CONSTRUCTION**  
Lic # 1005705

WALID NAZZAL  
GEORGE CHAMMAS-PE  
5100 Graves Ave.  
San Jose, CA 95129  
(408)772-6296

**SCOPE OF WORK**  
2ND FLOOR ADDITION and REMODELING

**PROJECT DESCRIPTION**

OWNER : ANDREAS & LEILA HOFMANN  
SITE ADDRESS: 1074 DEL-NORTE, CA  
OCCUPANCY GROUP: R-1-U  
TYPE OF CONSTRUCTION VB  
NUMBER OF STORIES ... 2  
APN: A 062 032 250  
ZONING : RESIDENTIAL  
LAND USE: SINGLE FAMILY HOME



VICINITY MAP



PARCEL MAP

**SITE ANALYSIS**  
Zoning: R-1-U

LOT AREA	8709	SQ. FT.
ALLOWABLE FLOOR AREA	3227.25	SQ. FT.
Floor 7000 sf of the lot = 2800 Sq.Ft. FAL = (8709 - 7000) X 0.25 + 2800		
PROPOSED FIRST FLOOR AREA	2380.00	SQ. FT.
PROPOSED SECOND FLOOR AREA	803.00	SQ. FT.
TOTAL PROPOSED FLOOR AREA	3,183.00	SQ. FT.
No artic space		
LAND COVERED BY STRUCTURES	27.66%	
LANDSCAPING	60.17%	
PAVED SURFACES	12.11%	
PARKING SPACES	2 CAR-GARAGE	
ALL GRADES TO REMAIN NATURAL		

REVISIONS

No	Date	Description
1	11/28/16	ISSUED FOR PERMITS



SINGLE FAMILY HOME  
SAN JOSE, CA

HOFMANN RESIDENCE  
1074 DEL NORTE  
MENLO PARK, CA  
APN: A 062 032 250  
SITE PLAN

SCALE : 1/8" = 1'  
DRAWN WN  
DATE 11/28/16

SHEET  
**A.1**



GREEN GLOBE  
ENGINEERING  
& CONSTRUCTION  
Lic # 1005705

WALID NAZZAL  
GEORGE CHAMMAS-PE  
3120 DIVINE AVE  
SAN JOSE, CA 95129  
(408)772-6096

REVISIONS

Date	Description
08.07.17	08.02.17
08.22.17	08.22.17



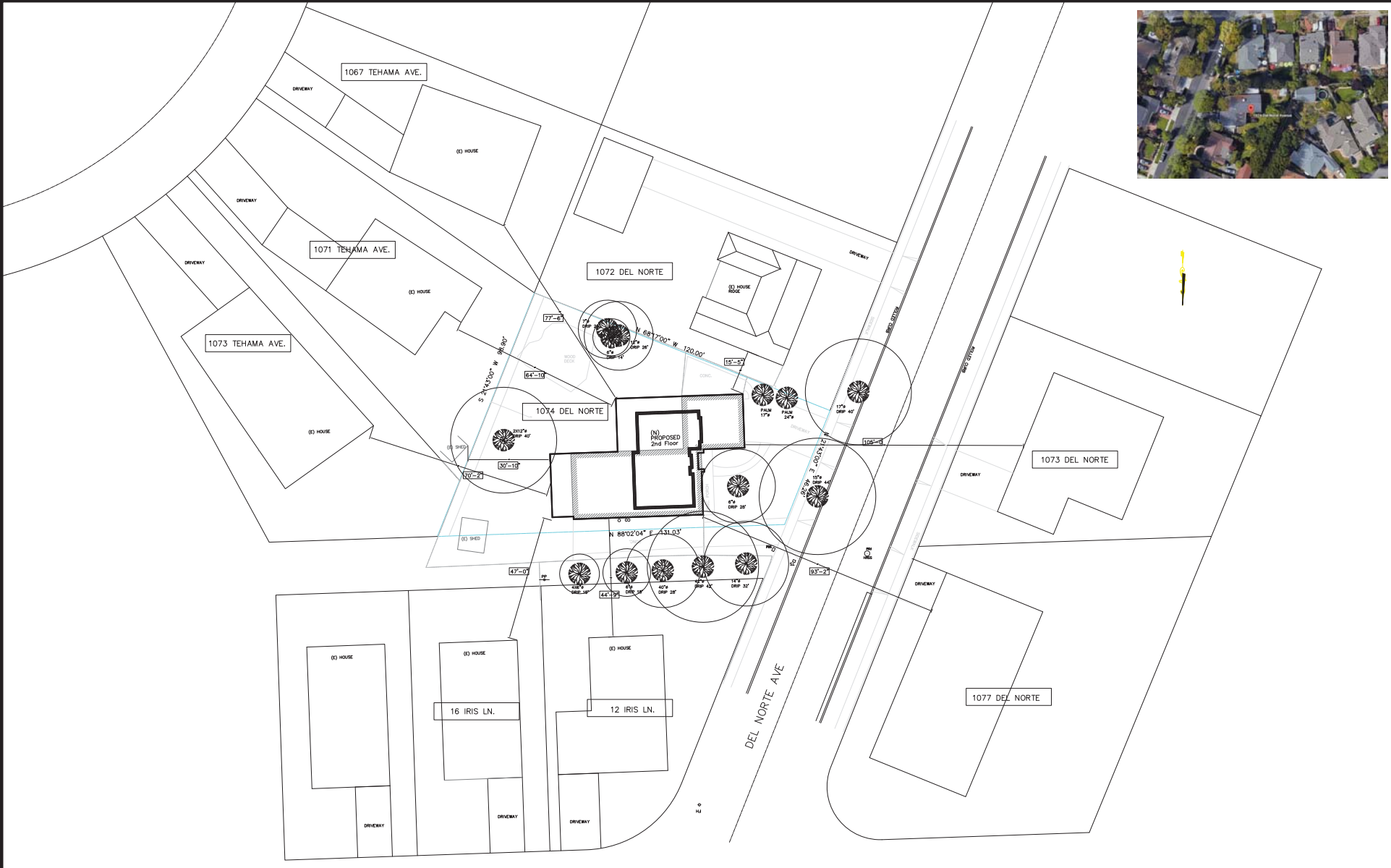
SINGLE FAMILY HOME  
SAN JOSE, CA

HOFMANN RESIDENCE  
1074 DEL NORTE  
MENLO PARK, CA  
APP. 002 032 250  
AREA PLAN

SCALE : 1/16" = 1'  
DRAWN WN  
DATE 11/28/16

SHEET

A.2



AREA PLAN-1074 DEL NORTE  
SCALE : 1" = 0" = 1/16"



Date	Revisions
08.05.17	

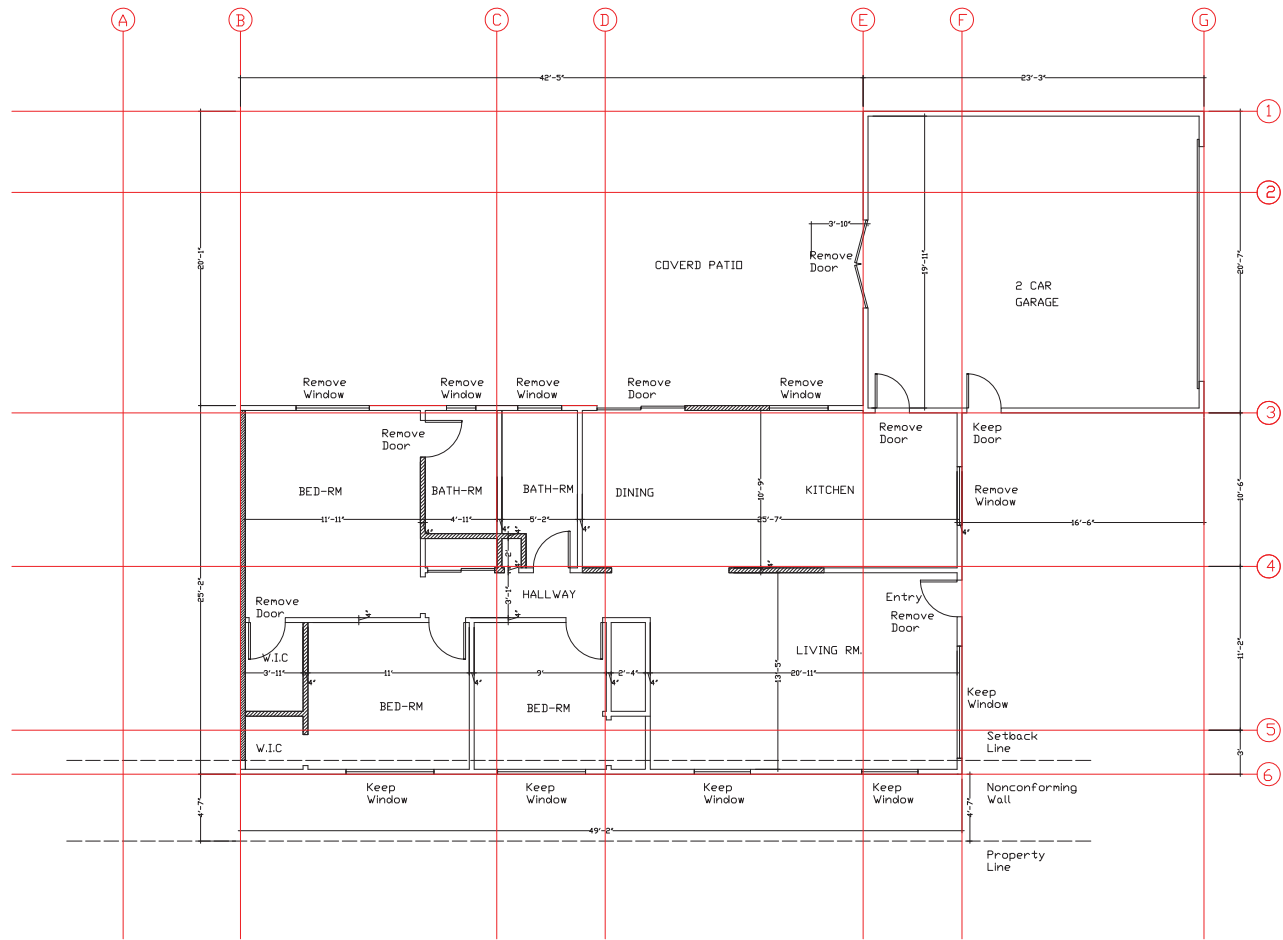


NEW ADDITION  
SINGLE FAMILY HOME  
MENLO PARK, CA

HOFMANN RESIDENCE  
1074 BEL NORTIE AVE  
MENLO PARK, CA  
APN 062 055 005  
EXISTING FLOOR PLAN  
& DEMOLITION PLAN

SCALE : 1/4" = 1'  
DRAWN WN  
DATE 11/28/16

SHEET  
A.3



EXISTING-FLOOR PLAN  
SCALE : 1'-0" = 1/4"

WALL TO BE REMOVED   
WALL TO REMAIN

NOTE  
EXISTING NONCONFORMING WALL CANNOT BE DEMOLISHED  
PAST THE FRAMING MEMBERS. IF THE WALL IS DEMOLISHED  
AS PART OF THE PROJECT, IT CANNOT BE REBUILT IN ITS  
CURRENT NONCONFORMING LOCATION, AND WILL BE REQUIRED  
TO MEET THE CURRENT ZONING ORDINANCE SETBACK REQUIREMENTS.



WINDOW	SIZE WxH - HT.	TYPE	STYLE	COUNT	LOCATION
A	6030	Egress	SLIDING	2	OFFICE/BED-RM
B	3050	-	HUNG	3	KITCHEN LIVING
C	4040	-	HUNG	2	FAMILY-RM
D	2650	Tempered	CASEMENT	2	MASTER-BR
E	2030	Tempered	CASEMENT	2	BATH
F	8050	Tempered	SLIDING	1	LIVING-RM

DOOR	SIZE WxH - HT.	TYPE	MATERIAL	COUNT	LOCATION
1	3670	Single	Glass	1	ENTRY
2	2668	Single	Wood	4	OFFICE/BATH RM
3	2668	RIGHT Single	Wood	1	BATH-RM2
4	8080	DOUBLE FRENCH	Wood GLASS	1	MASTER-BR
5	2468	Single	GLASS	1	PANTERY
6	2668	Single-R 20m-rated	Wood	1	GARAGE
7	2668	Single	Wood	1	GARAGE
8	12'80	FOLDING GPanel	Glass	1	LIVING

AREA	WINDOW SQ. FT.	MIN. 10% REQ.
ENTRY	14	1.4
KITCHEN	14	1.4
LIVING	14	1.4
FAMILY-RM	14	1.4
MASTER-BR	14	1.4
BATH	14	1.4
OFFICE	14	1.4
BED-RM	14	1.4
PANTERY	14	1.4
HALLWAY	14	1.4
STAIRS	14	1.4
TOTAL	1465	132

**WATER HEATER NOTE**  
Provide seismic anchorage for water heater. Strapping shall be at points within the upper 1/3 and the lower 1/3 of its vertical dimension.

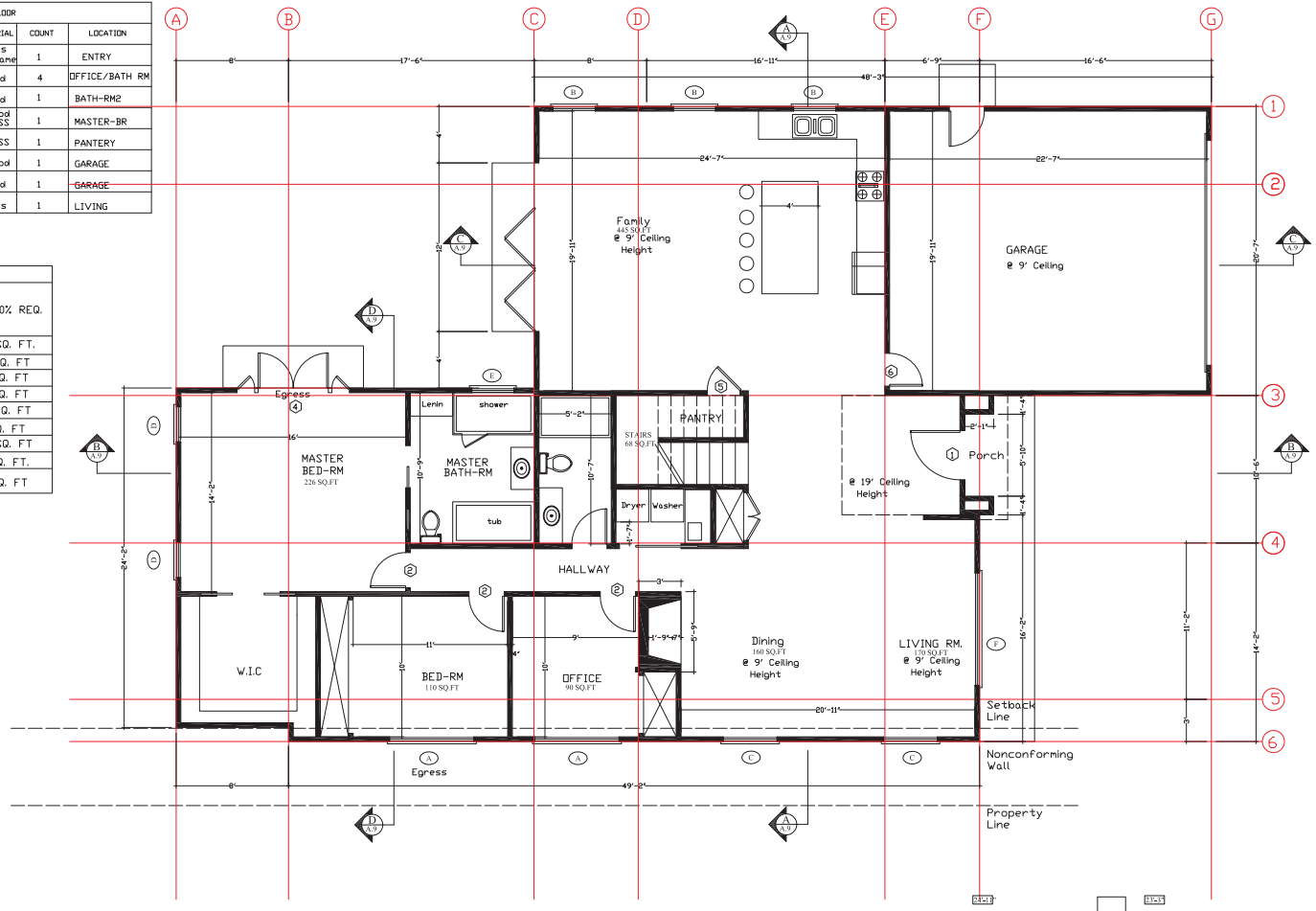
**CLOTHES DRYER NOTE**  
Maximum length of clothes dryer shall not exceed 6' feet, including 6" NIP angle elbows per IRC 303.2.2.

**SHOWER AND BATH-TUBER COMBINATION**  
Shower and bath-tuber combination shall be anchored into building structure. See the prescriptive details in the International Residential Code (IRC) 2018.

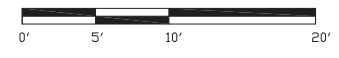
**SHOWER AND BATH-TUBER COMBINATION**  
Shower and bath-tuber combination shall be anchored into building structure. See the prescriptive details in the International Residential Code (IRC) 2018.

**SHOWER AND BATH-TUBER COMBINATION**  
Shower and bath-tuber combination shall be anchored into building structure. See the prescriptive details in the International Residential Code (IRC) 2018.

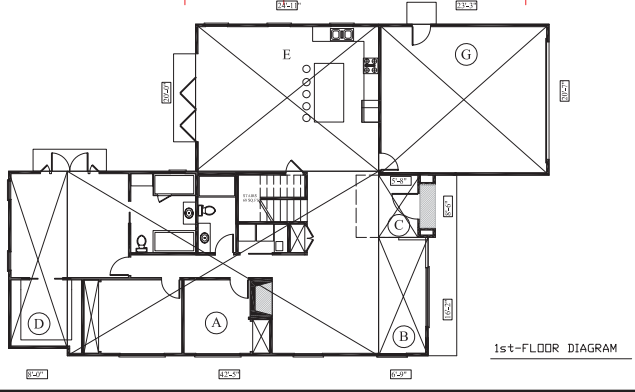
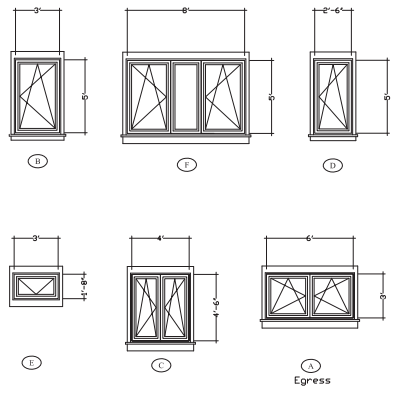
**SHOWER AND BATH-TUBER COMBINATION**  
Shower and bath-tuber combination shall be anchored into building structure. See the prescriptive details in the International Residential Code (IRC) 2018.



1st-FLOOR PLAN  
SCALE : 1'-0" = 1/4"



AREA	SQ. FT.
A. Living (E)	42'-0" X 25'-2" = 1068.04
B. Living (E)	6'-0" X 16'-2" = 108.70
C. Living (E)	5'-0" X 8'-0" = 48.20
D. Living (N)	8'-0" X 24'-2" = 193.20
E. Living (N)	24'-1" X 20'-0" = 500.10
G. Garage (E)	21'-0" X 20'-0" = 470.00
Columns	1'-0" X 1'-0" = 1.00
Fireplace (E)	3'-0" X 5'-0" = 17.10
Porch	2'-0" X 5'-0" = 12.00
<b>TOTAL FIRST FLOOR AREA:</b> (A+B+C+D+E+Columns)+(Fireplace Area)	<b>3402.2</b>
<b>TOTAL BUILDING COVERAGE:</b> 1st Floor Area + Fireplace + Porch	<b>3420.0</b>



**GREEN GLOBE ENGINEERING & CONSTRUCTION**  
Lic # 1005705

VALID NAZZAL GEORGE CHAMMAS-PE  
5100 Graves Ave.  
San Jose, CA 95129  
(408)772-6296

**REVISIONS**

Date: 02/27/17  
08/05/17

**REGISTERED PROFESSIONAL ENGINEER**  
Civil  
State of California  
No. 45678  
Exp. 8-30-18

**NEW ADDITION SINGLE FAMILY HOME**  
MENLO PARK, CA

**HOFMANN RESIDENCE**  
1074 DEL NORTE AVE  
MENLO PARK, CA  
APN 082 025 000

**FIRST FLOOR PLAN**

SCALE : 1/4" = 1'  
DRAWN: WN  
DATE: 11/28/16

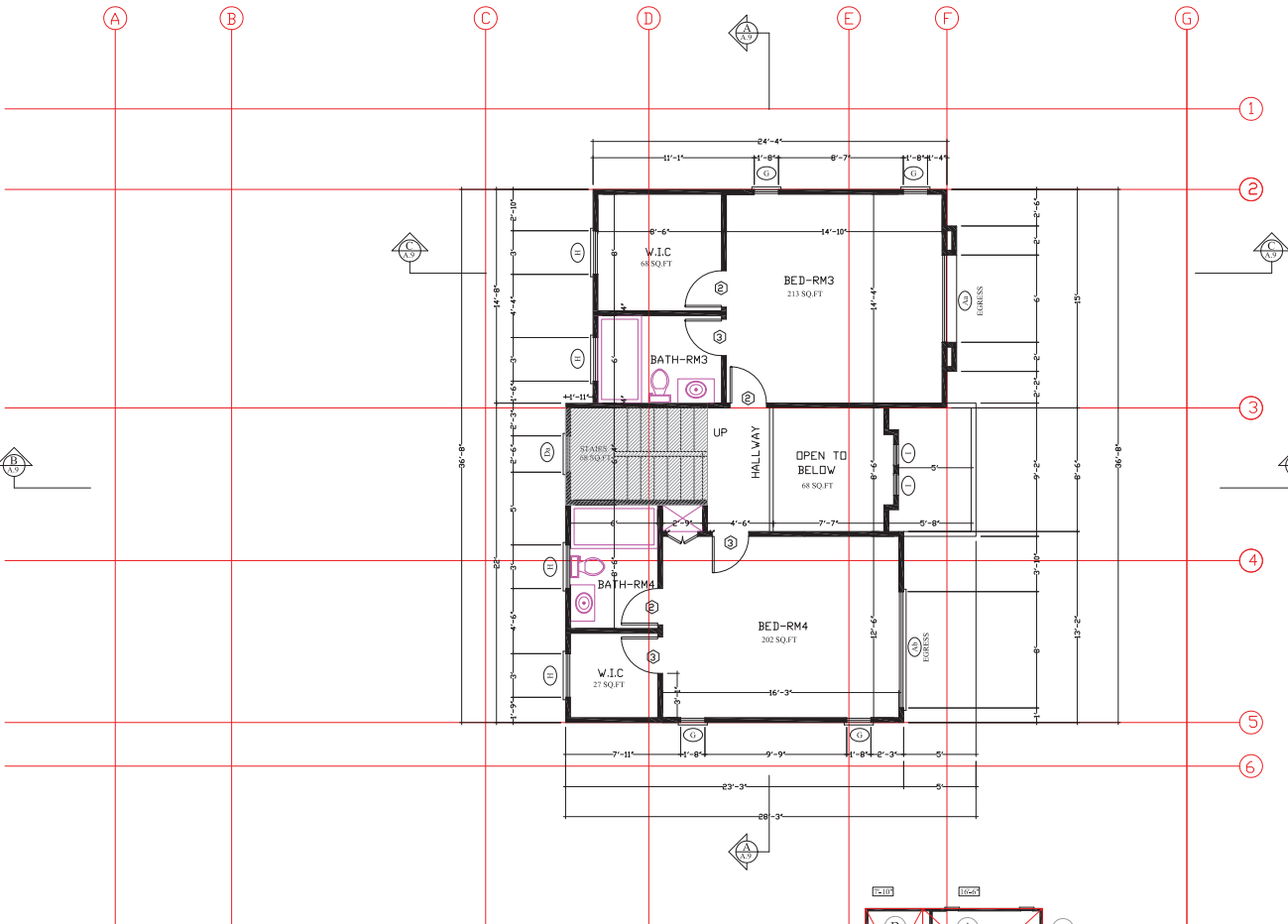
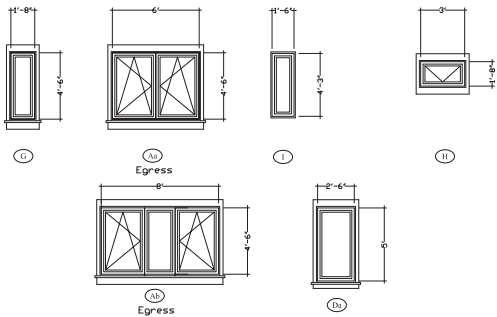
**SHEET A.4**

LIGHTING CALC-SECOND FLOOR.			
AREA	AREA SQ. FT.	WINDOW SQ. FT.	MIN. 10% REQ.
BED-RM3	213 SQ. FT.	40.5 SQ. FT.	21.3 SQ. FT.
BED-RM4	202 SQ. FT.	40.5 SQ. FT.	20.2 SQ. FT.
STAIRS-OPEN AREA	165 SQ. FT.	54.0 SQ. FT.	16.5 SQ. FT.
TOTAL	575 SQ. FT.	135 SQ. FT.	58.5 SQ. FT.

WINDOWS SCHEDULE-SECOND FLOOR					
WINDOW	SIZE WB - HT	TYPE	STYLE	COUNT	LOCATION
(A)	6046	Egress	CASEMENT	1	BED-RM3
(B)	8046	Egress	CASEMENT	1	BED-RM4
(C)	1846	Temperd	CASEMENT	4	BED-RM 3 & 4
(D)	3018	Temperd	CASEMENT	4	BATH 3 & 4 VIC 3 & 4
(E)	1646	Temperd	FIXED	2	ENTRY
(F)	2650	Temperd	FIXED	1	STAIRS

DOORS SCHEDULE -SECOND FLOOR					
DOOR	SIZE WB - HT	TYPE	MATERIAL	COUNT	LOCATION
(1)	2668	LEFT Single	Wood	3	BED & BATH-3
(2)	2668	RIGHT Single	Wood	3	BED & BATH-4

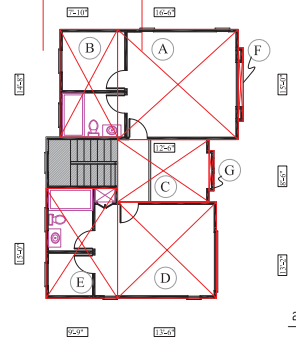
NOTE  
2ND FLOOR WINDOWS TO BE 3'-6" ABOVE FINISHED FLOOR



2ND-FLOOR PLAN

SCALE : 1'-0" = 1/4"

AREA	SQ. FT.
A living (N)	16'-0" X 15'-0" = 247.50
B living (N)	7'-10" X 14'-3" = 115.60
C living (N)	12'-6" X 8'-6" = 105.90
D living (N)	13'-6" X 13'-2" = 177.20
E living (N)	9'-9" X 15'-0" = 145.90
F living (N)	8" X 10'-0" = 6.60
G living (N)	8" X 10'-0" = 3.60
TOTAL 2ND FLOOR AREA	803 SQ. FT.



2ND-FLOOR DIAGRAM  
SCALE : 1'-0" = 1/8"

GREEN GLOBE  
ENGINEERING  
& CONSTRUCTION  
Lic # 1005705

WALID NAZZAL  
GEORGE CHAMMAS-PE  
5180 Graves Ave.  
San Jose, CA 95129  
(408)772-6096

REVISIONS

Date



NEW ADDITION  
SINGLE FAMILY HOME  
MENLO PARK, CA

HOFMANN RESIDENCE  
1074 BEL NURTE AVE  
MENLO PARK, CA  
94025  
11/28/16  
SECOND FLOOR

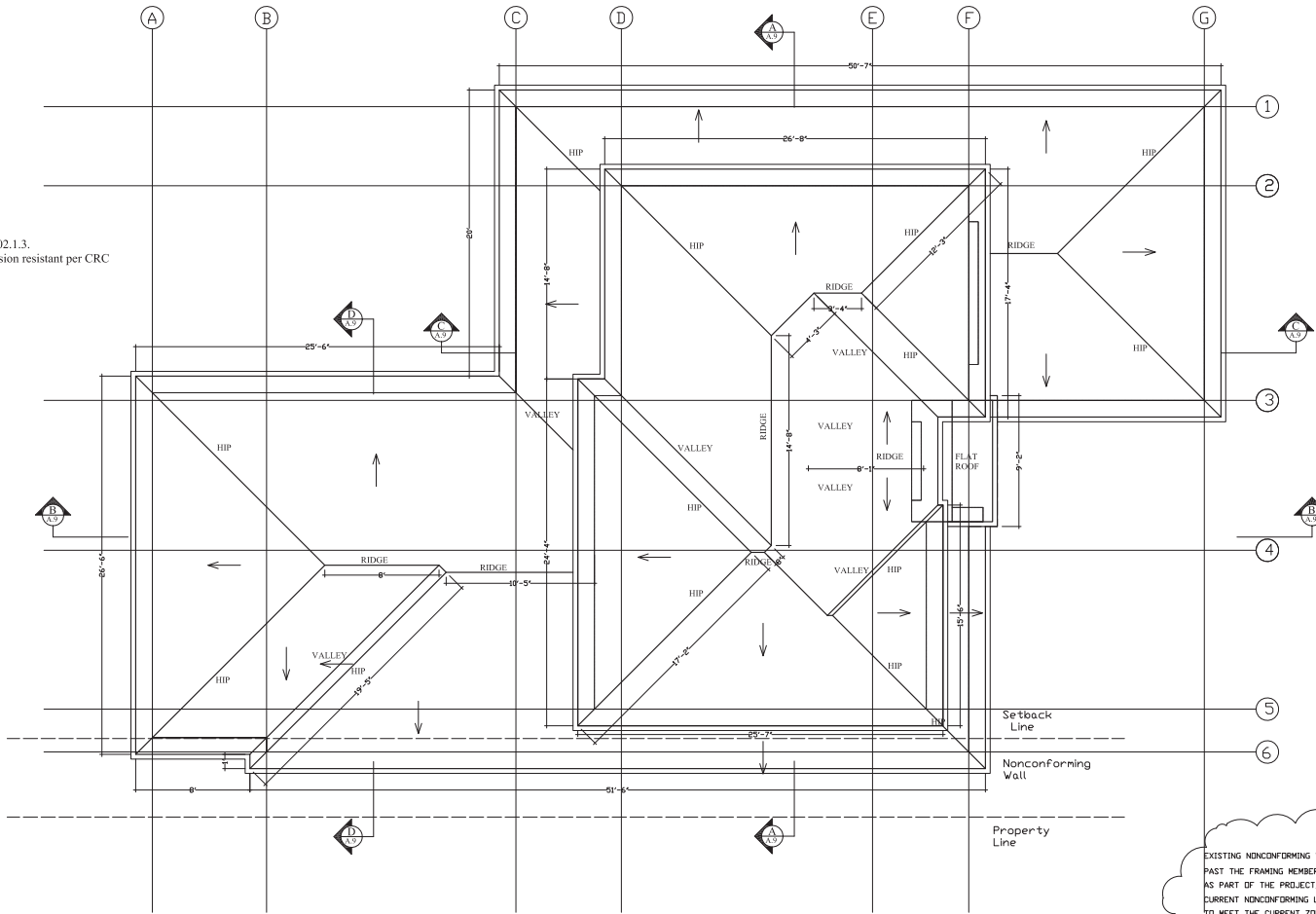
SCALE : 1/4" = 1'  
DRAWN WN  
DATE 11/28/16

SHEET  
A.5



ROOF ATTIC VENTILATION				
AREA	ATTIC SQ. FT.	FREE AREA REQUIRED (SQ. INCHES 1/150)	NET FREE AREA PROVIDED	TOTAL PROVIDED
2ND FLOOR ATTIC	803 SQ. FT.	803/150=5.35 Sq.Ft. 5.35 X 144 = 765.12 Sq.In.	ROOF VENTS=11 X 76 = 836 SQ.IN.	836 SQ. INCHES
1ST. FLOOR ATTIC	2405-803=1602 SQ. FT.	1602/150=10.68 Sq.Ft. 10.68 X 144 = 1537.90 Sq.In.	ROOF VENTS=21 X 76 = 1596 SQ.IN.	1596 SQ. INCHES

NOTE  
Min. class 'C' roofing on the plan CRC R902.1.3.  
The fasteners for the roofing shall be corrosion resistant per CRC R905.2.5.



## ROOF PLAN

SCALE : 1/4"=1'-0"

### ROOF PLAN NOTES

- ① COMPOSITION ROOFING
- ② GALVANIZED SHEET METAL GUTTER

### GENERAL NOTES

1. ALL ROOF DRAINAGE SHALL BE MIN. 2% (1/4" PER FOOT)
2. FIBERGLASS ROOF INSULATION SHALL BE KRAFT FACED WITH A MAXIMUM PERM RATING OF 1 OR A POLYETHYLENE VAPOR BARRIER WITH A MAXIMUM PERM RATING OF 1 SHALL BE INSTALLED ON THE WARM SIDE OF THE CEILING.

### ROOF LEGEND

- EYEBROW DORMER VENT 4"x19"  
(NET FREE AIR FLOW 50 SQ. IN.)
- D.S. GALVANIZED SHEET METAL DOWNSPOUT.  
CONNECT TO STORM DRAIN SYSTEM

EXISTING NONCONFORMING WALL CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS. IF THE WALL IS DEMOLISHED AS PART OF THE PROJECT, IT CANNOT BE REBUILT IN ITS CURRENT NONCONFORMING LOCATION, AND WILL BE REQUIRED TO MEET THE CURRENT ZONING ORDINANCE SETBACK REQUIREMENTS.

GREEN GLOBE  
ENGINEERING  
& CONSTRUCTION  
Lic # 1005705

VALID NAZZAL  
GEORGE CHAMMAS-PE  
5150 Graves Ave.  
San Jose, CA 95129  
408772-6296

REVISIONS

Date

02/07/17

09/05/17



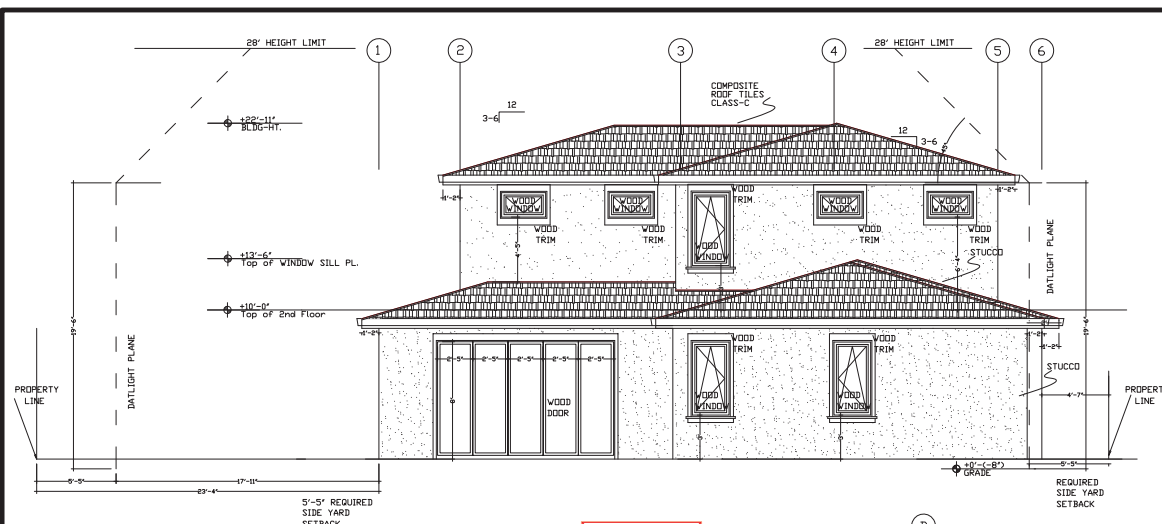
NEW ADDITION  
SINGLE FAMILY HOME  
MENLO PARK, CA

HOFMANN RESIDENCE  
1074 DEL NORTE AVE  
MENLO PARK, CA  
APN 082 028 020  
ROOF PLAN

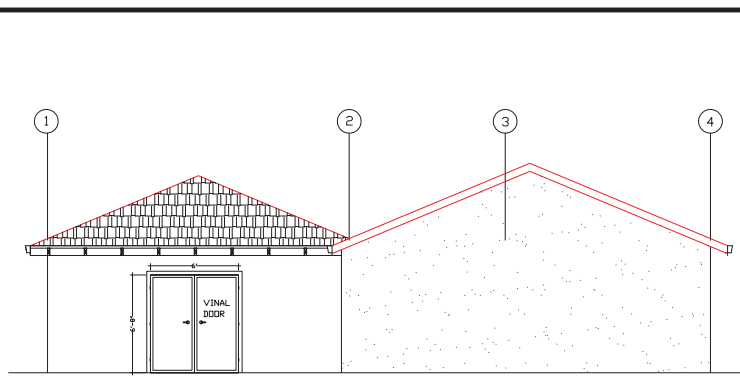
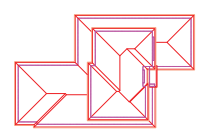
SCALE : 1/4" = 1'  
DRAWN WJN  
DATE 11/28/16

SHEET

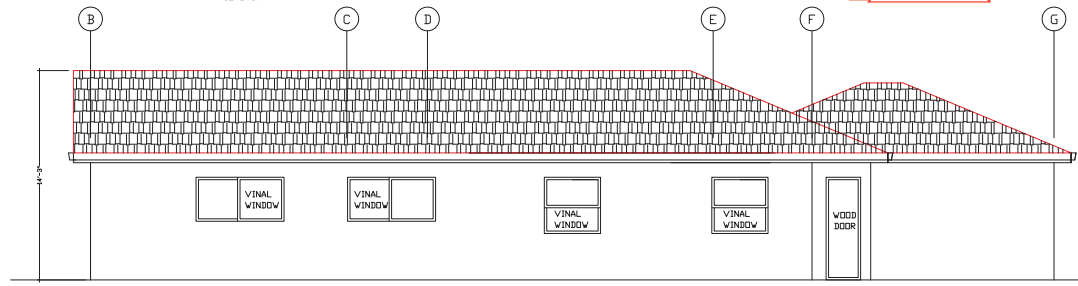
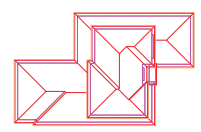
A.6



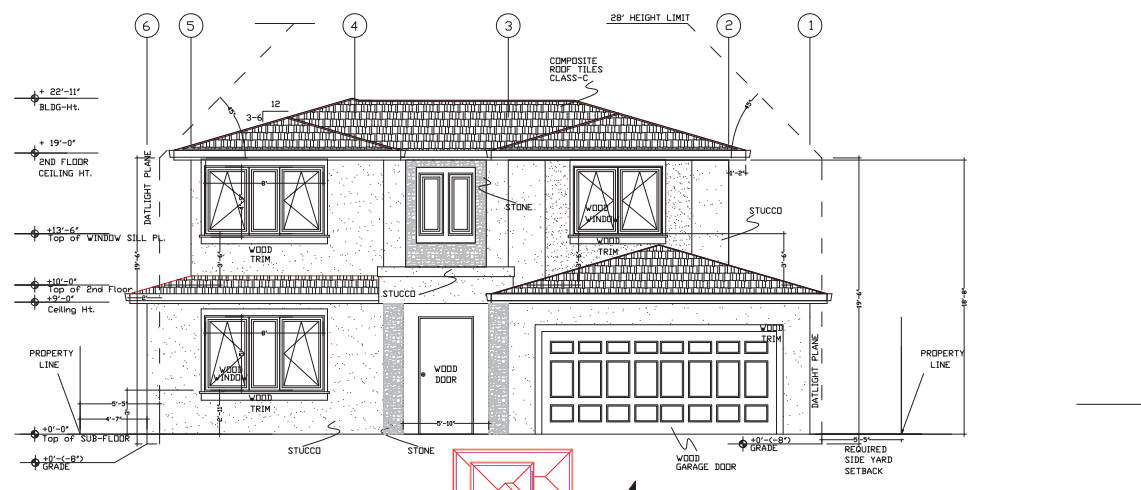
**PROPOSED-REAR ELEVATION (East)**  
SCALE : 1/4"=1'-0"



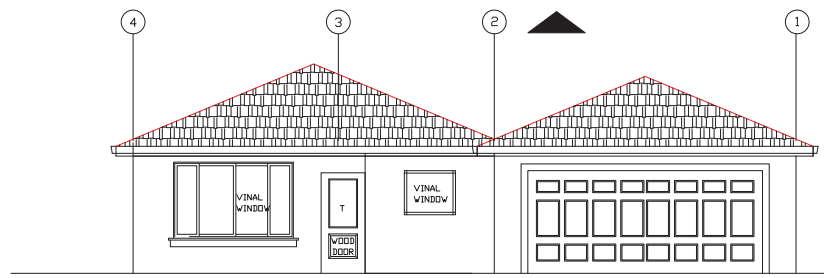
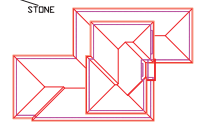
**EXISTING-REAR ELEVATION (East)**  
SCALE : 1/4"=1'-0"



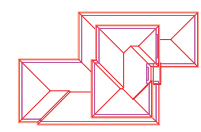
**EXISTING-(L) SIDE ELEVATION (North)**  
SCALE : 1/4"=1'-0"



**PROPOSED-FRONT ELEVATION (West)**  
SCALE : 1/4"=1'-0"



**EXISTING-FRONT ELEVATION (West)**  
SCALE : 1/4"=1'-0"



**GREEN GLOBE ENGINEERING & CONSTRUCTION**  
Lic # 1005705

VALID NAZZAL  
GEORGE CHAMMAS-PE  
5100 Graves Ave.  
San Jose, CA 95129  
(408)772-6296

NO.	DATE	REVISIONS
1	02/21/17	ISSUE FOR PERMIT
2	08/02/17	ISSUE FOR PERMIT

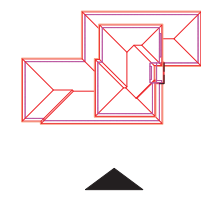
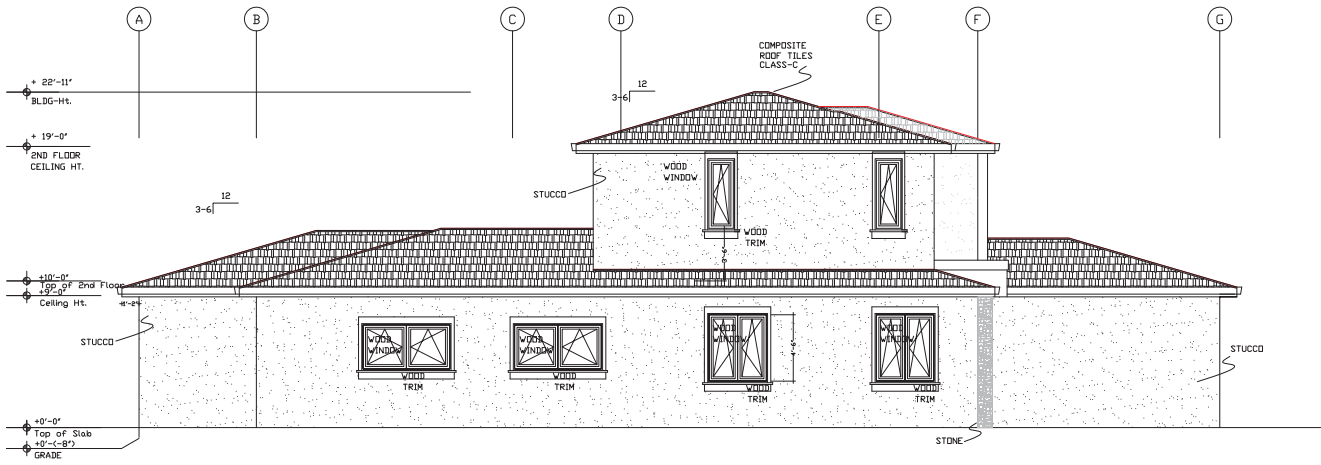


NEW ADDITION  
SINGLE FAMILY HOME  
MEND PARK, CA

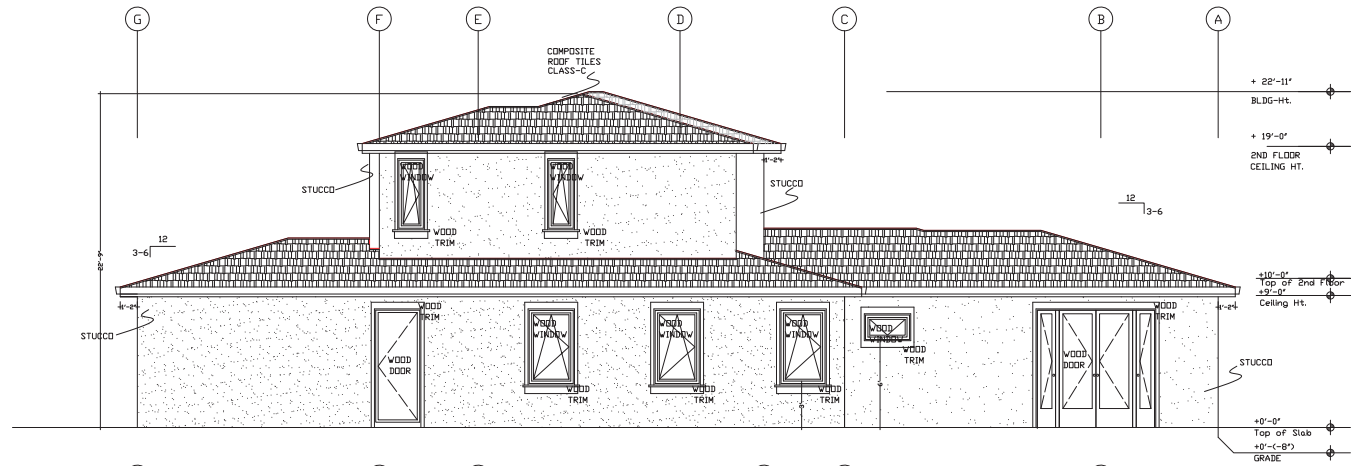
**HOFMANN RESIDENCE**  
1074 DEL NURTE AVE  
MEND PARK, CA  
APN 062 032 250  
**PROPOSED & EXISTING ELEVATIONS**

SCALE : 1/4" = 1'  
DRAWN WN  
DATE 11/28/16

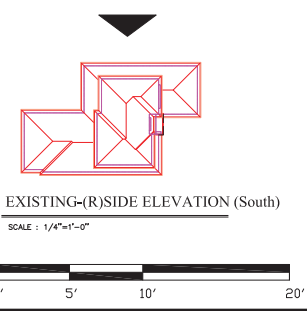
SHEET  
**A.7**



PROPOSED-(L) SIDE ELEVATION (North)  
SCALE : 1/4"=1'-0"



PROPOSED-(R) SIDE ELEVATION (South)  
SCALE : 1/4"=1'-0"



EXISTING-(R)SIDE ELEVATION (South)  
SCALE : 1/4"=1'-0"



GREEN GLOBE  
ENGINEERING  
& CONSTRUCTION  
Lic # 1005705

WALID NAZZAL  
GEORGE CHAMAS-PE  
5100 Graves Ave.  
San Jose, CA 95129  
(408)772-6296

REV	DATE	DESCRIPTION
1	02/07/17	ISSUED FOR PERMITS
2	02/07/17	ISSUED FOR PERMITS



NEW ADDITION  
SINGLE FAMILY HOME  
MENDLO PARK, CA

HOFMANN RESIDENCE  
1074 DEL NORTE AVE  
MENDLO PARK, CA  
APN 062 032 250  
PROPOSED & EXISTING  
ELEVATIONS

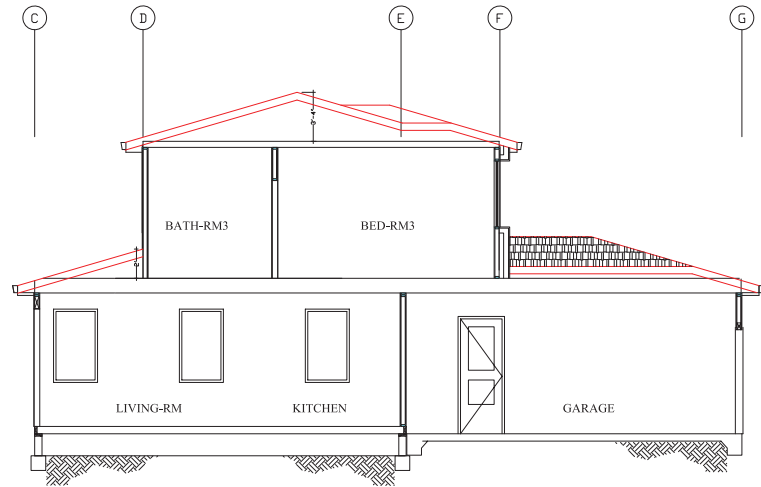
SCALE : 1/4" = 1'  
DRAWN WN  
DATE 11/28/16

SHEET  
A.8



SECTION - AA

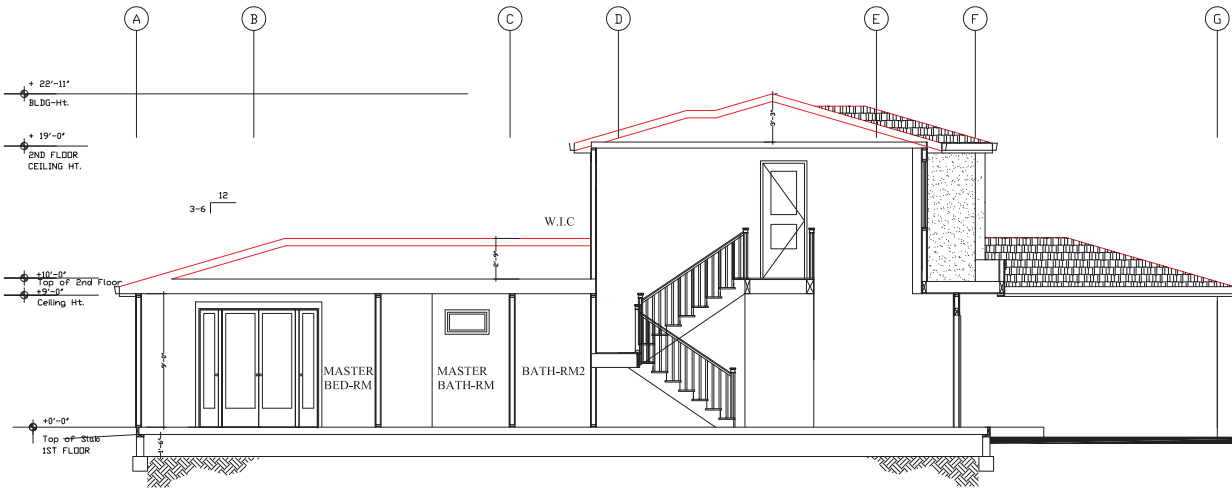
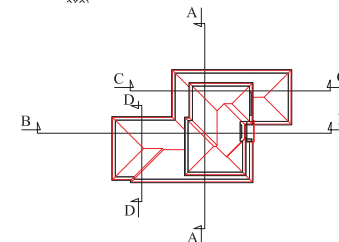
SCALE: 1/4"=1'-0"



SECTION - CC

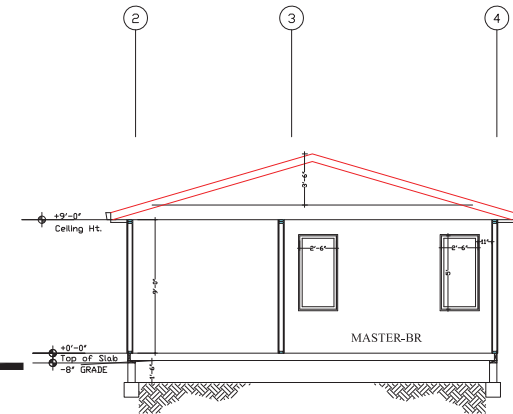
SCALE: 1/4"=1'-0"

3 coat cement plaster ov/  
paper backed woven wire or equivalent material  
2 layers of type D paper.



SECTION - BB

SCALE: 1/4"=1'-0"



SECTION - DD

SCALE: 1/4"=1'-0"

GREEN GLOBE  
ENGINEERING  
& CONSTRUCTION  
Lic # 1005705

VALID NAZZAL  
GEORGE CHAMMAS-PE  
5100 Graves Ave.  
San Jose, CA 95129  
(408)772-6296

REVISIONS

Date: 08.02.17



NEW ADDITION  
SINGLE FAMILY HOME  
MENLO PARK, CA

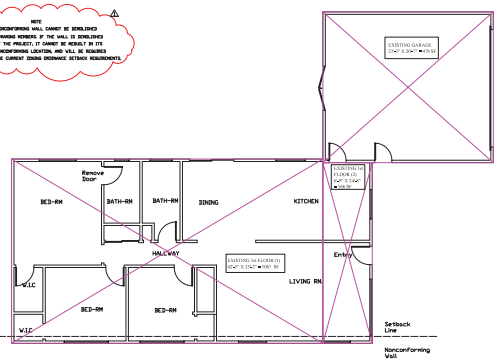
HOFMANN RESIDENCE  
1074 DEL NORTE AVE  
MENLO PARK, CA  
APN: 062 032 250  
BUILDING SECTIONS

SCALE: 1/4" = 1'  
DRAWN: WN  
DATE: 11/28/16

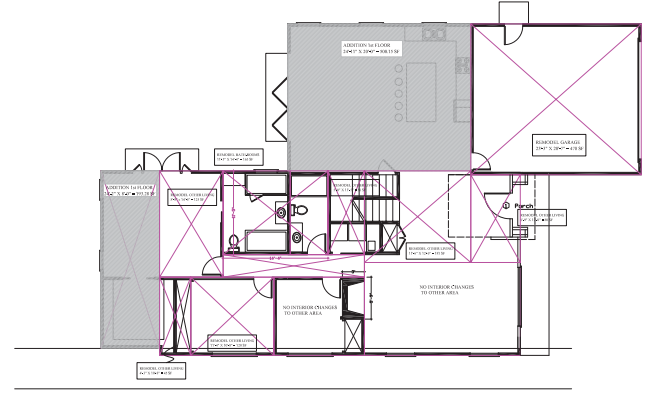
SHEET

A.9

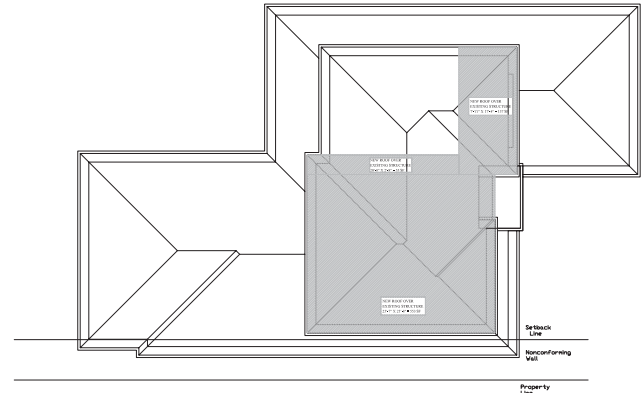
NOTE:  
EXISTING NONCONFORMING WALL CORNER IS DEMOLISHED  
WITH THE REMOVAL OF THE WALL IS DEMOLISHED  
AS PART OF THE PROJECT IS CORRECTED TO MEET THE  
CURRENT NONCONFORMING LAWS AND WILL BE REQUIRED  
TO MEET THE CURRENT ZONING ORDINANCE SETBACK REQUIREMENTS



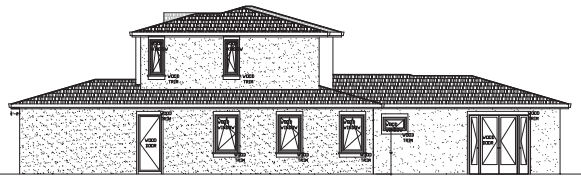
EXISTING FIRST FLOOR  
SCALE: 1'-0" = 1/8"



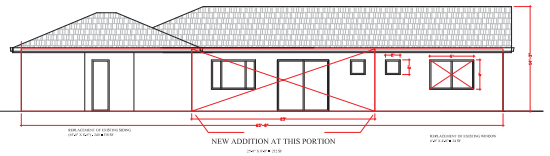
PROPOSED FIRST FLOOR  
SCALE: 1'-0" = 1/8"



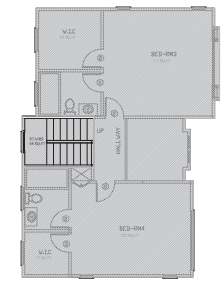
PROPOSED ROOF PLAN  
SCALE: 1'-0" = 1/8"



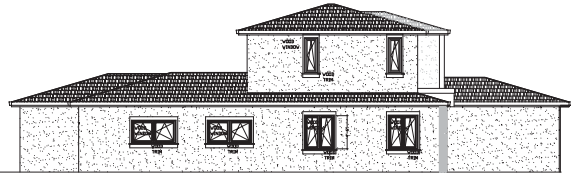
PROPOSED-L SIDE ELEVATION (South)  
SCALE: 1/8" = 1'



EXISTING-L SIDE ELEVATION (South)  
SCALE: 1/8" = 1'



PROPOSED 2nd FLOOR  
SCALE: 1'-0" = 1/8"



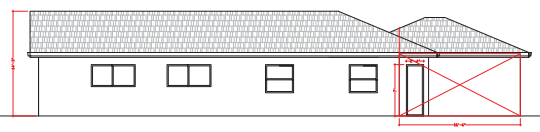
PROPOSED-U SIDE ELEVATION (North)  
SCALE: 1/8" = 1'



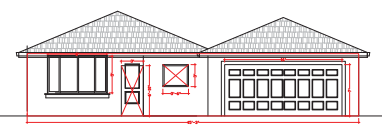
PROPOSED-FRONT ELEVATION (West)  
SCALE: 1/8" = 1'



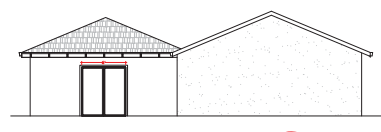
PROPOSED-REAR ELEVATION (East)  
SCALE: 1/8" = 1'



EXISTING-U SIDE ELEVATION (North)  
SCALE: 1/8" = 1'



EXISTING-FRONT ELEVATION (West)  
SCALE: 1/8" = 1'



EXISTING-REAR ELEVATION (East)  
SCALE: 1/8" = 1'

NONCONFORMING STRUCTURE  
NEW WORK VALUE CALCULATION

ADDRESS: 1074 DEL NORTE  
CASE NO.: PLN2016-102  
50% OF EXISTING VALUE: \$ 140,130.00  
75% OF EXISTING VALUE: \$ 210,195.00  
VALUE OF PROPOSED PROJECT: \$ 457,380.00 163%

EXISTING DEVELOPMENT				
Non-Conforming Structure Type	Square Footage	Construction Cost	Existing Value	
Existing 1st Floor	1,234	X \$ 200/Sq. Ft.	\$ 246,800.00	
Existing 2nd Floor	0	X \$ 200/Sq. Ft.	\$ 0	
Existing Basement	0	X \$ 200/Sq. Ft.	\$ 0	
Existing Garage	478	X \$ 70/Sq. Ft.	\$ 33,466.00	
<b>Total</b>	<b>1,712</b>		<b>\$ 280,266.00</b>	

PROPOSED DEVELOPMENT				
Proposed Development Type	Square Footage	Construction Cost	Development Value	
Category 1- New Square Footage				
1st Floor Addition	693	X \$ 200/Sq. Ft.	\$ 138,600.00	
2nd Floor Addition	803	X \$ 200/Sq. Ft.	\$ 160,600.00	
Basement Addition	0	X \$ 200/Sq. Ft.	\$ 0	
Garage Addition	0	X \$ 70/Sq. Ft.	\$ 0	
Category 2- Remodel of Existing Square Footage				
Remodel of Kitchen	0	X \$ 130/Sq. Ft.	\$ 0	
Remodel of Bathrooms	162	X \$ 130/Sq. Ft.	\$ 21,060.00	
Remodel of Living Areas	628	X \$ 100/Sq. Ft.	\$ 62,800.00	
Remodel of Garage	478	X \$ 35/Sq. Ft.	\$ 16,730.00	

Category 3- Exterior Modifications to Existing Structure				
New Roof Structure Over Existing	Square Footage	Construction Cost	Development Value	
Replacement of Existing Siding	54	X \$ 35/Sq. Ft.	\$ 1,890.00	
Replacement of Existing Siding	640	X \$ 35/Sq. Ft.	\$ 22,400.00	
<b>Total</b>	<b>4,120</b>		<b>\$ 457,380.00</b>	<b>163 %</b>

GREEN GLOBE  
ENGINEERING  
& CONSTRUCTION  
LIC # 1005705

WALID NAZZAL  
GEORGE CHARMA-PE  
5120 Graves Ave.  
San Jose, CA 95129  
(408) 772-6096

REVISIONS	DATE	BY	DESCRIPTION
	08.07.17	08.08.17	



NEW ADDITION  
SINGLE FAMILY HOME  
MENDOTA PARK, CA

HOFMANN RESIDANCE  
1074 DEL NORTE AVE  
MENDOTA PARK, CA  
NONCONFORMING STRUCTURE CALCS.

SCALE: 1/8" = 1'  
DRAWN: WN  
DATE: 04/06/17

SHEET  
**A.10**

**Andreas Hofmann and Leila Osseiran**  
1074 Del Norte Ave., Menlo Park, CA 94025  
[andreas.hofmann@gmail.com](mailto:andreas.hofmann@gmail.com) | [losseiran@hotmail.com](mailto:losseiran@hotmail.com)

**Tuesday, August 29, 2017**

**RECEIVED**

**City of Menlo Park**  
701 Laurel St., Menlo Park, CA 94025  
Tel: 650.330.6600  
[www.menlopark.org](http://www.menlopark.org)

**AUG 30 2017**  
**CITY OF MENLO PARK**  
**PLANNING DIVISION**

Dear Menlo Park Planning Commission,

Thank you again for the consideration of our application for the remodel and extension of our home on 1074 Del Norte Ave, Menlo Park, CA 94025.

In preparation for the review at the next planning commission meeting, we would like to outline how our revised design addresses the comments provided by the commission as part of the continuance action issued at the May 22nd 2017 meeting.

**Comment #1:**

- Continue the redwood siding from the front elevation for a minimum of 12' on the right side elevation and integrate this revision into a cohesive design of the house.

**Response #1:**

- Since our first design proposal, we have evolved the overall design for the front elevation to no longer include redwood siding. Instead we are now using a very small amount of stone accents visible right around and above the front entrance. This gives the house a more contemporary feel and aligns well with the taste of my clients.

## **Comment #2**

- Balance the forms in the roof.

## **Response #2**

- The revised design now features traditional hip & gable roof lines above the garage and around the first floor of the house. The only exception is a small flat roof section above the entrance. The 2nd story follows the same roof design as the first story.

## **Comment #3**

- Address the disconnection between the application of the shed roof over the garage on the front elevation and the termination of the hip roof on the right side elevation.

## **Response #3**

- The commission comments during the review meeting centered primarily on the proposed floor roof over the garage and the lack of continuation of that roof around the west elevation of the first floor. The revised design now features traditional hip & gable roof lines above the garage and around the first floor of the house.

## **Comment #4**

- Modify the design of the second floor addition over the garage on the first floor to address the disproportion of the design of the two-story redwood wall on the left side of the garage leading to the front entry in relation to the rest of the house.

## **Response #4**

- The 2nd floor addition has been moved to the center of the house (left and back from where it originally was proposed), thereby completely removing the prior proposed two story wall with redwood siding. The new design has much greater balance between first and second story and the roof line that now extends around the first floor without interruption further lends balance to the overall look and feel.

### **Comment #5**

- Overall, revisit and submit a new design that holistically and comprehensively considers and addresses the following Commissioner comments: 1) massing, 2) exterior finishes, 3) balance, and 4) details.

### **Response #5**

- The new design comprehensively addressed massing by shifting the 2nd floor addition to the center of the width of the first floor.
- The new design removed the redwood siding and vinyl windows. We now feature a very balanced design primarily with stucco and some stone accents limited to the front entrance and wood windows throughout.
- Overall balance of the design has been achieved through the above mentioned adjustments.
- Details of the design have been simplified and adjusted to harmonize with the overall design and that of the neighborhood.

Thank you for your consideration of our application and please let us know if you have any questions or concerns prior to the next commission meeting.

With Regards,

Andreas Hofmann & Leila Osseiran

CC. Sunny Chao  
City of Menlo Park

Walid Nazzal  
San Jose, CA



May 15, 2017

City of Menlo Park Planning Commission  
701 Laurel Street  
Menlo Park, California

RECEIVED  
MAY 15 2017  
CITY OF MENLO PARK  
BUILDING

Dear Sirs:

My comments refer to the Use Permit for construction at 1074 Del Norte Ave. I live next door at 1072 Del Norte. The common fence between the Northeast side of my property and 1074 is about eight feet from my house. The facing wall of the property at 1074 is four to six feet on the other side. Thus, there is only approximately fifteen feet between the structures. My bathroom and bedroom are both on this side of my house. I open my bathroom window frequently to air it out. I open my bedroom window for ventilation and to cool the room on warm summer nights.

I am concerned the debris and dust from demolition and construction will cause air pollution all around my house. I am 83 years old and in fragile health. Such pollution would affect my lifestyle and could adversely affect my health. It may even be life-threatening.

I am asking the City and the contractor to do whatever is possible to eliminate the debris and dust from the air that I must breathe. The Osseirans are moving away during the construction. I cannot afford to move away. Please do what you can to protect the air that I have to breathe.

Respectfully,



Bruce McPhee  
1072 Del Norte Ave.  
Menlo Park, CA

## Chao, Sunny Y

---

**From:** Sue Kayton <suekayton@gmail.com> on behalf of Sue Kayton <kayton@alum.mit.edu>  
**Sent:** Wednesday, May 24, 2017 10:48 AM  
**To:** \_Planning Commission  
**Subject:** Decision on 1074 Del Norte this past Monday

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

### Menlo Park Planning Commission-

I attended the Planning Commission meeting this past Monday to support the application of our new neighbors on Doris Drive.

I was astonished at your refusal to grant the use permit for the remodel at 1074 Del Norte. The staff recommended approval. No negative impacts were identified. No neighbors opposed it (except for construction dust, and the applicant promises to control the dust), either in person or in writing. The only objections voiced by the commission were that the house was ugly and unbalanced, and had vinyl windows.

According to section 16.82.030 of the city code, the purpose is to determine whether the design will "be detrimental to the health, safety, morals, comfort and general welfare ....." No such negative conditions were found, by staff, by the neighbors, nor by the commission. Section 16.82.030 doesn't list "ugly" or "unbalanced" as reasons for denying a use permit.

This house lies just a few feet from the 101 freeway and is one of the cheapest homes in the city. The owners undoubtedly cannot afford to hire a fancy, expensive architect to draw up fancy, expensive plans or models. They hired a designer who came up with a perfectly serviceable design, that meets the family's needs and fits into the neighborhood of very small, inexpensive homes. His design won't be featured in Architectural Digest, but it is not an eyesore, and looks better than many houses in the area.

I urge you to approve this project when it comes back before you.

Sue Kayton  
1854 Doris Drive  
Menlo Park (resident for 24 years)  
(650) 853-1711  
kayton@alum.mit.edu

## Chao, Sunny Y

---

**From:** Cathy Tokic <pawlosc@yahoo.com>  
**Sent:** Friday, September 1, 2017 11:31 AM  
**To:** Chao, Sunny Y  
**Cc:** Leila Osseiran  
**Subject:** Use Permit/Leila Osseiran/1074 Del Norte Avenue

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hello Sunny Chao,

Thank you for your service to the City of Menlo Park. This email is concerning a meeting Monday, September 11, regarding a building permit for a nearby neighbor, and friend Leila Osseiran. We have lived at 1059 Tehama Avenue, since 2002 and sincerely appreciate families who invest in our neighborhood. Like many of our neighbors who have also remodeled and added value to our neighborhood, we are in **full support** of the carefully thought-out home build at this location at 1074 Del Norte. The aesthetic beautification and increased value this newly remodeled home will bring to our neighborhood, especially at the end of Del Norte,(closest to Flood Park) is unprecedented.

We are grateful for the investment this family is willing to bring to our close-knit community and we look forward to the remodel project beginning without further delay. We strongly feel, that the remodel plans Leila Osseiran has presented to the city, more than satisfy the Menlo Park building requirements and fit perfectly into our charming, eclectic Menlo Park neighborhood.

We support and appreciate your efforts toward a swift approval process whereby this family may begin their project with no further delay. If you have any questions or concerns, I would be happy to make myself available to you.

Sincerely,

*Cathy Tokic*  
Laurel School Art in Action Coordinator  
mobile 650-996-1333

"The best way to fight poverty and extremism is to educate and empower women and girls"

The views expressed in this email, do not represent those of any affiliated non-profit organization or company.



## REGULAR MEETING MINUTES - EXCERPT

**Date:** 5/22/2017  
**Time:** 7:00 p.m.  
**City Council Chambers**  
**701 Laurel St., Menlo Park, CA 94025**

**A. Call To Order**

Chair Drew Combs called the meeting to order at 7:02 p.m.

**B. Roll Call**

Present: Andrew Barnes, Drew Combs (Chair), Susan Goodhue, Larry Kahle (Vice Chair), John Onken (arrived at 7:05 p.m.), Henry Riggs, Katherine Strehl

Staff: Deanna Chow, Principal Planner, Sunny Chao, Assistant Planner, Kaitie Meador, Associate Planner, Yesenia Jimenez, Associate Planner, Kyle Perata, Senior Planner

Chair Combs said he would act as Chair for the agenda items through G1 and that Vice Chair Larry Kahle would act as Chair starting with H1 and through the remaining items. He noted that Commissioner Susan Goodhue and he would recuse themselves from consideration of item H1 due to potential conflicts of interest.

**F. Public Hearing****F2. Use Permit/Leila Osseiran/1074 Del Norte Avenue:**

Request for a use permit to partially demolish, remodel, and add a second story addition to an existing nonconforming single-story, single-family residence on a substandard lot with respect to width in the R-1-U (Single-Family Urban) zoning district. The proposed work would exceed 50 percent of the existing replacement value in a 12-month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure. ([Staff Report #17-031-PC](#))

Staff Comment: Ms. Sunny Chao, Assistant Planner, said there were no additions to the staff report.

Applicant Presentation: Mr. Andreus Hoffman said he and his family lived at the project site. He said the garage was being used as a family room but that was not permitted. He said they were proposing to convert the garage space back to a garage, add two bedrooms to the second floor and move the kitchen to what was now the patio.

Chair Combs opened and closed the public hearing as there were no speakers.

Commission Comment: Chair Combs asked if staff had clarification on the alley and whether the applicant had ownership of part of what had been the public right-of-way. Recognized by the Chair,

Mr. Hoffman said the alley was to the left of the house and would remain as is. He said they did a survey of the property which discovered the alley. He said they were told they could get half of what had been the alleyway credited to their property as could the neighbor. Chair Combs said he was wondering if the fence was on part of the alleyway. Mr. Wallid Nazzal, project architect, said the applicant was required to keep the wall of the home on the side of the alley as it was currently. He said in the future the applicant might apply for ownership of a portion of the alley.

Commissioner Kahle asked about the proposed redwood siding and whether it would be painted. Mr. Hoffman said it was a natural stain redwood siding. Commissioner Kahle asked about the side elevation on A.8, the side drawing with garage on left, and about the line indicating the offset. Mr. Nazzal said it was a continuous elevation and they just wanted to show that the one floor was a garage as they have a different roof design on this area but the wall was continuous. Commissioner Kahle asked if the garage roof continued and then stopped. Mr. Nazzal said that was correct. Commissioner Kahle said that vinyl windows were indicated and the Commission preferred wood windows for cladding. Mr. Nazzal said they were trying to keep existing windows that were vinyl clad.

Commissioner Onken said the redwood siding was on the front of the addition and as it turned the corner it became stucco. Mr. Nazzal said they wanted to blend the two sidings. He said redwood would also be on the back with stucco on the sides.

Commissioner Riggs asked if staff had contacted them that morning to bring a rendering of the corner that Commissioners Kahle and Onken were inquiring about. Mr. Nazzal said both he and the applicant had received the request but it was short notice and could not be done. He said he could explain the elevation. Commissioner Riggs said the garage had a shed roof and around the corner was the end of a hip roof down the length of wall except for six feet. He asked how the hip roof was terminated where the shed roof was applied. Mr. Nazzal said it was not a shed roof and that the roof was continuous over the garage. He said to keep the balance on the front elevation he did not want to bring the roof on the right with a hip. He said at the end of the roof in the front of the garage a short wall would be added on the attic side above the garage. Commissioner Riggs commented that the two roofs were continuous then. Mr. Nazzal said this was shown on sheet A8.

Commissioner Kahle said he was pleased the applicant had contacted the neighbor and would address dust control and other issues of concern. He said the front elevation was misleading about the second floor over the garage as it looked like there was a continuous roof from the entry over the garage but that was not the case actually. He said looking at the side elevation it was a two-story wall down the garage past the entry. He said when it was in 3-D it would feel off balance as the second floor was offset two feet from the right side of the garage and no feet from the left side of the garage. He said the lower roof over the garage was an odd situation in that it just ended and did not resolve itself with the lower roof coming alongside of the house. He said the design needed a little more thought to make it work. He said he appreciated the redwood material and hoped it would not be dropped for some other material. He said the second floor over the garage might need to be smaller so the ridge of that was the same height as the ridge on the back part of the second floor. He said it needed a more thoughtful architectural review before he could approve the project.

Commissioner Riggs said he agreed with Commissioner Kahle's comments. He said all of his comments had to do with the massing, exterior finishes, balance and details. He said he was supportive of the concept, the siting, the setbacks, height and square footage but the design was

unresolved in terms of how to combine and use the materials, how to balance the forms and the roof, and how to take a roof around a corner. He moved to continue the project for redesign.

Commissioner Onken said in continuing he would like to be very clear in the Commission's direction to the applicant. He said if the project was not continued but brought into compliance through staff review he would want the redwood siding to remain and to continue around the right elevation for at least 12 feet. He said he was not sure how to provide design direction for a continuance.

Commissioner Riggs said typically for a continuance the Commission provided direction but with this design he did not know where to start. He said he had mentioned consideration of how the materials related to one another. He said Commissioner Kahle brought up a change in materials at the outside corner. He suggested that they rethink the stucco on the upper floor and the redwood on the lower floor and how to resolve the roof. He said these were all challenges that typically were resolved by the architect.

Commissioner Kahle said he agreed and suggested that the redesign be done by the architect and not from the dais. He seconded the motion as made.

Chair Combs confirmed that staff was clear on the motion being made.

Commissioner Barnes asked if the motion had direction or not. Chair Combs said that the motion indicated what needed attention but not how to resolve those items. Commissioner Barnes asked about the process for the applicant with a continuation. Principal Planner Chow said the applicant would redesign to address the concerns raised by the Commission. She said planning staff would review the changes and when addressed would notice for a meeting date, which possibly could be a few months in the future.

Commissioner Barnes asked Assistant Planner Chao why she recommended the project for approval. Assistant Planner Chao said she looked at the design in terms of it being well below the maximum height and other zoning requirements and less at the design aspect as she was looking for input from neighbors and the Commission. She said no neighbors commented on the design. She said in her first comment letter to the applicant she had mentioned some issues regarding massing in terms of the large tall redwood siding of the two floors and had left it to the architect to create a more holistic and comprehensive design. She said that otherwise the proposed project was well below maximums in terms of regulations so she brought it to the Commission for its input. Commissioner Barnes asked if she had enough input from the Commission to review for redesign. Ms. Chao said the Commission had brought up good points and suggestions.

Commissioner Goodhue asked if the applicant and architect had a sense of what design elements needed to be addressed. Mr. Hoffman said he did not want to wait two months to build. He said they would not do any redwood siding and only stucco siding. He said he understood the concern with how the roof angles on the right side of the home. He said he was happy to make whatever changes were needed to make the design more proportional. He said they could add a roof hangover and make it optically look different.

Commissioner Onken said he clearly preferred the redwood siding over stucco but to make it more coherent in its application.

Chair Combs said although he had some issues and concerns about the project he was not sure that those were definite enough to support continuance.

**ACTION:** Motion and second (Riggs/Kahle) to continue the project for redesign with the following to be addressed; passes 4-3 with Commissioners Barnes, Kahle, Onken and Riggs in favor and Commissioners Combs, Goodhue and Strehl opposed.

- Continue the redwood siding from the front elevation for a minimum of 12' on the right side elevation and integrate this revision into a cohesive design of the house;
- Balance the forms in the roof;
- Address the disconnection between the application of the shed roof over the garage on the front elevation and the termination of the hip roof on the right side elevation;
- Modify the design of the second floor addition over the garage on the first floor to address the disproportion of the design of the two-story redwood wall on the left side of the garage leading to the front entry in relation to the rest of the house; and
- Overall, revisit and submit a new design that holistically and comprehensively considers and addresses the following Commissioner comments: 1) massing, 2) exterior finishes, 3) balance, and 4) details.

## **J. Adjournment**

Vice Chair Kahle adjourned the meeting at 10:49 p.m.

Staff Liaison: Deanna Chow, Principal Planner

Recording Secretary: Brenda Bennett

Approved by the Planning Commission on July 17, 2017

# HOFMANN RESIDENCE

## SECOND FLOOR ADDITION

1074 DEL NORTE  
 MENLO PARK- CA  
 APN # 062 032 250

### ARCHITECTURAL AND SITE REVIEW



**WALID NAZZAL**  
 & Associates  
 Design - Planning

GEORGE CHAMMAS-PE  
 5120 Graves Ave.  
 San Jose, CA 95129  
 (408)772-6096  
 ARCHITECTS@WNAAGS.COM

REVISIONS

Date 03.07.17



The plans, specifications and design on this drawing are the property of the associate (WA Walid Nazzal) divided solely for this contract. Plans shall not be used in whole or in part for any purpose for which they were not intended without written permission of the architect.

SINGLE FAMILY HOME  
 SAN JOSE, CA

#### DIRECTORY

**OWNER**  
 ANDREAS HOFMANN  
 LEILA OSSEIRAN  
 1074 DEL NORTE  
 MENLO PARK, CA  
 (408)250-4620  
 andreas.hofmann@gmail.com

**ARCHITECTURAL**  
 WALID NAZZAL & ASSOCIATES  
 5120 GRAVES AVE,  
 SAN JOSE, CA 95129  
 (408)772-6096  
 architect.wn@gmail.com

**STRUCTURAL:**  
 PLATINUM ENGINEERING SOLUTIONS  
 10648 N. HWY 41  
 MADERA, CA 93638  
 (559)433-6433  
 nsalem@platinumengineering.com

**SURVIVOR-CIVIL ENGINEERING**  
 SMP ENGINEERS  
 1534 CARDB LANE,  
 LOS ALTOS, CA 94024  
 (650)941-8055  
 smpengineers@yahoo.com

**ENERGY CONSULTANT**  
 FRI ENERGY CONSULTANTS  
 21 HARRISON AVENUE, SUITE 210  
 CAMPBELL, CA 95008  
 PH: (408) 866-1620  
 NICK  
 EMAIL: FRITITLE2@GMAIL.COM

#### DRAWING INDEX

##### SITE PLAN

SHEET	CONTENTS
CS	TITLE SHEET
A.0	SURVEY MAP
A.1	SITE PLAN
A.2	AREA PLAN
A.3	EXISTING FLOOR PLAN
A.4	1ST-FLOOR PLAN
A.5	2ND-FLOOR PLAN
A.6	ROOF PLAN
A.7	ELEVATIONS- (FRONT & REAR)
A.8	ELEVATIONS- (SIDES)
A.9	BUILDING SECTIONS (AA - BB)
A.10	NONCONFORMING STRUCTURES

#### PROJECT DESCRIPTION

**SITE ADDRESS:**  
 OCCUPANCY GROUP- R-1-U  
 TYPE OF CONSTRUCTION V-B  
 NUMBER OF STORIES ... 2  
 PARCEL NO. 062-032-250  
 ZONING : RESIDENTIAL  
 LAND USE: SINGLE FAMILY HOME

• **LOT AREA:**  
**LOT DIMENSIONS :**

46'-3"
131'-0"
98'-11"
120'-0"

**GROSS AREA:** 8709 SF

1ST FLOOR AREA 2578.00 SQ. FT.  
 2nd FLOOR AREA 803.00 SQ. FT.  
 TOTAL FLOOR AREA 3181.00 SQ. FT.

**FAL (Floor Area Limits)**

FAL AREA = 8709 SQ. FT.
FIRST 7000 SF OF LOT = 2800 SF
FAL = 8709 - 7000 X 0.25 = 2800
= 3827.25 SF MAX.
PROPOSED = 3181.00 SF

TOTAL BUILDING COVERAGE 2410 SQ. FT. 27.7 %

#### IMPERVIOUS AREA TABLE

TOTAL AREA OF PARCEL	A	8709	ft <sup>2</sup>
EXISTING PERVIOUS AREA	B	5400 <td>ft<sup>2</sup></td>	ft <sup>2</sup>
EXISTING IMPERVIOUS AREA	C	3309	ft <sup>2</sup>
EXISTING % IMPERVIOUS	$\frac{C}{A} \times 100$	37.99	%
EXISTING IMPERVIOUS AREA TO BE REPLACED WITH NEW IMPERVIOUS AREA	E	357	ft <sup>2</sup>
EXISTING PERVIOUS AREA TO BE REPLACED WITH NEW IMPERVIOUS AREA	F	409	ft <sup>2</sup>
NEW IMPERVIOUS AREA (CREATING AND/OR REPLACING) If greater than 10,000 sf a hydrology report must be submitted.	E + F	766	ft <sup>2</sup>
EXISTING IMPERVIOUS AREA TO BE REPLACED WITH NEW PERVIOUS AREA	H	368	ft <sup>2</sup>
NET CHANGE IN IMPERVIOUS AREA	F - H	41	ft <sup>2</sup>
PROPOSED PERVIOUS AREA	B - I	5359	ft <sup>2</sup>
PROPOSED IMPERVIOUS AREA verify that J = K = A	C + I	3350	ft <sup>2</sup>
PROPOSED % IMPERVIOUS	$\frac{K}{A} \times 100$	38.46	%

HOFMANN RESIDENCE  
 1074 DEL NORTE  
 MENLO PARK, CA  
 APN: 062 032 250

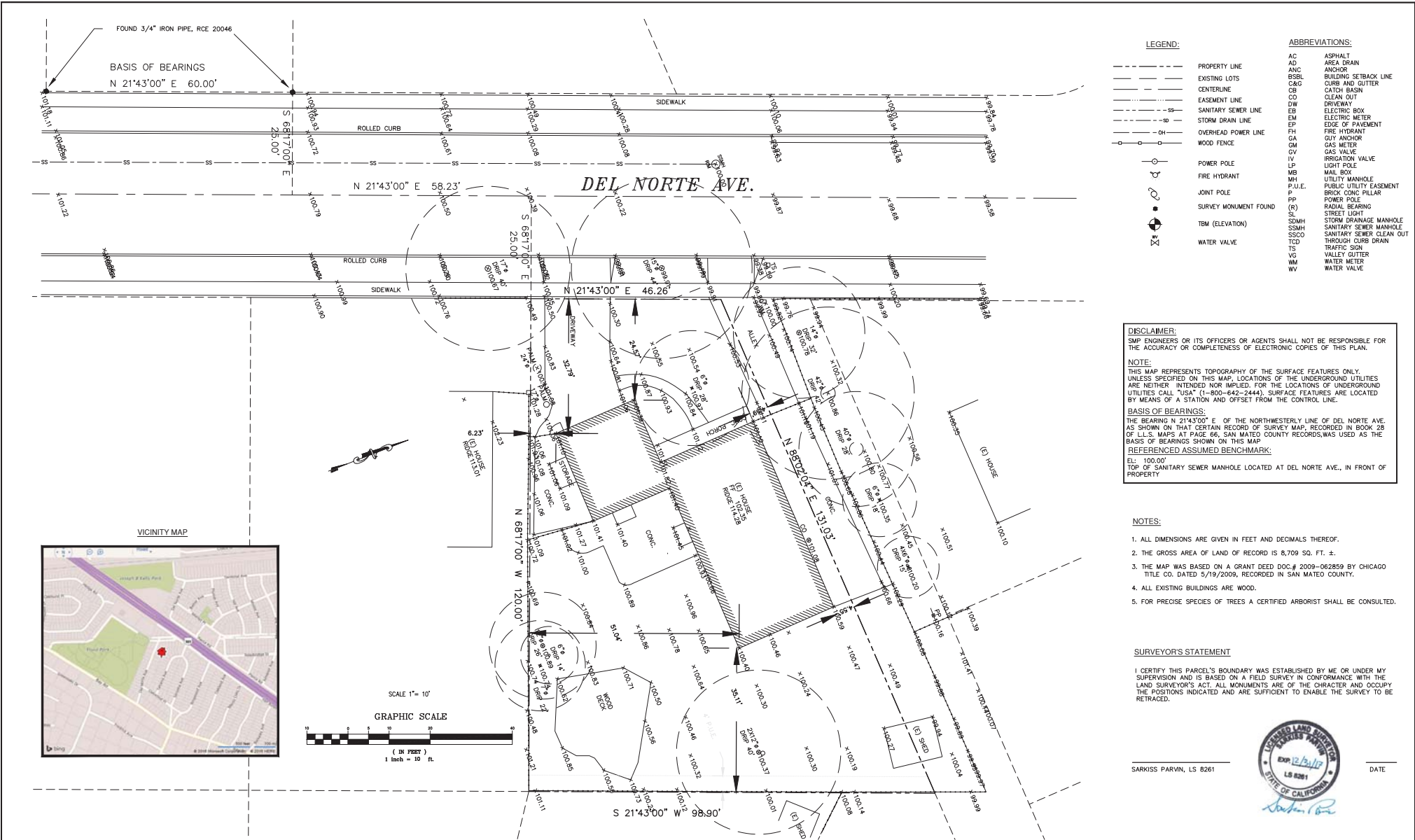
COVER SHEET

DRAWN WN  
 DATE 11/28/16

SHEET

CS





**LEGEND:**

---	PROPERTY LINE
---	EXISTING LOTS
---	CENTERLINE
---	EASEMENT LINE
---	SANITARY SEWER LINE
---	STORM DRAIN LINE
---	OVERHEAD POWER LINE
---	WOOD FENCE
○	POWER POLE
○	FIRE HYDRANT
○	JOINT POLE
○	SURVEY MONUMENT FOUND
○	TBM (ELEVATION)
○	WATER VALVE

**ABBREVIATIONS:**

AC	ASPHALT
AD	AREA DRAIN
ANC	ANCHOR
BSBL	BUILDING SETBACK LINE
C&G	CURB AND GUTTER
CB	CATCH BASIN
CO	CLEAN OUT
DW	DRIVEWAY
EB	ELECTRIC BOX
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FH	FIRE HYDRANT
GA	GUY ANCHOR
GM	GAS METER
GV	GAS VALVE
IV	IRRIGATION VALVE
LP	LIGHT POLE
MB	MAIL BOX
MH	UTILITY MANHOLE
P.U.E.	PUBLIC UTILITY EASEMENT
PP	POWER POLE
PP	RADIAL BEARING
(R)	STREET LIGHT
SL	SANITARY SEWER MANHOLE
SDMH	STORM DRAINAGE MANHOLE
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEAN OUT
TCD	THROUGH CURB DRAIN
TS	TRAFFIC SIGN
VC	VALLEY GUTTER
WM	WATER METER
WV	WATER VALVE

**DISCLAIMER:**  
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

**NOTE:**  
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

**BASIS OF BEARINGS:**  
THE BEARING N 21°43'00" E OF THE NORTHWESTERLY LINE OF DEL NORTE AVE. AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP, RECORDED IN BOOK 28 OF L.L.S. MAPS AT PAGE 66, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**REFERENCED ASSUMED BENCHMARK:**  
EL: 100.00'  
TOP OF SANITARY SEWER MANHOLE LOCATED AT DEL NORTE AVE., IN FRONT OF PROPERTY

- NOTES:**
1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
  2. THE GROSS AREA OF LAND OF RECORD IS 8,709 SQ. FT. ±.
  3. THE MAP WAS BASED ON A GRANT DEED DOC# 2009-062859 BY CHICAGO TITLE CO. DATED 5/19/2009, RECORDED IN SAN MATEO COUNTY.
  4. ALL EXISTING BUILDINGS ARE WOOD.
  5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.

**SURVEYOR'S STATEMENT**

I CERTIFY THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

SARKISS PARVN, LS 8261

DATE

1074 Del Norte Ave.  
Menlo Park  
APN: 062-032-250

**SMP ENGINEERS**  
CIVIL ENGINEERS—LAND SURVEYORS  
1534 Carob Lane Los Altos, CA 94024  
Tel. (650) 941-8055 Fax (650) 941-8755

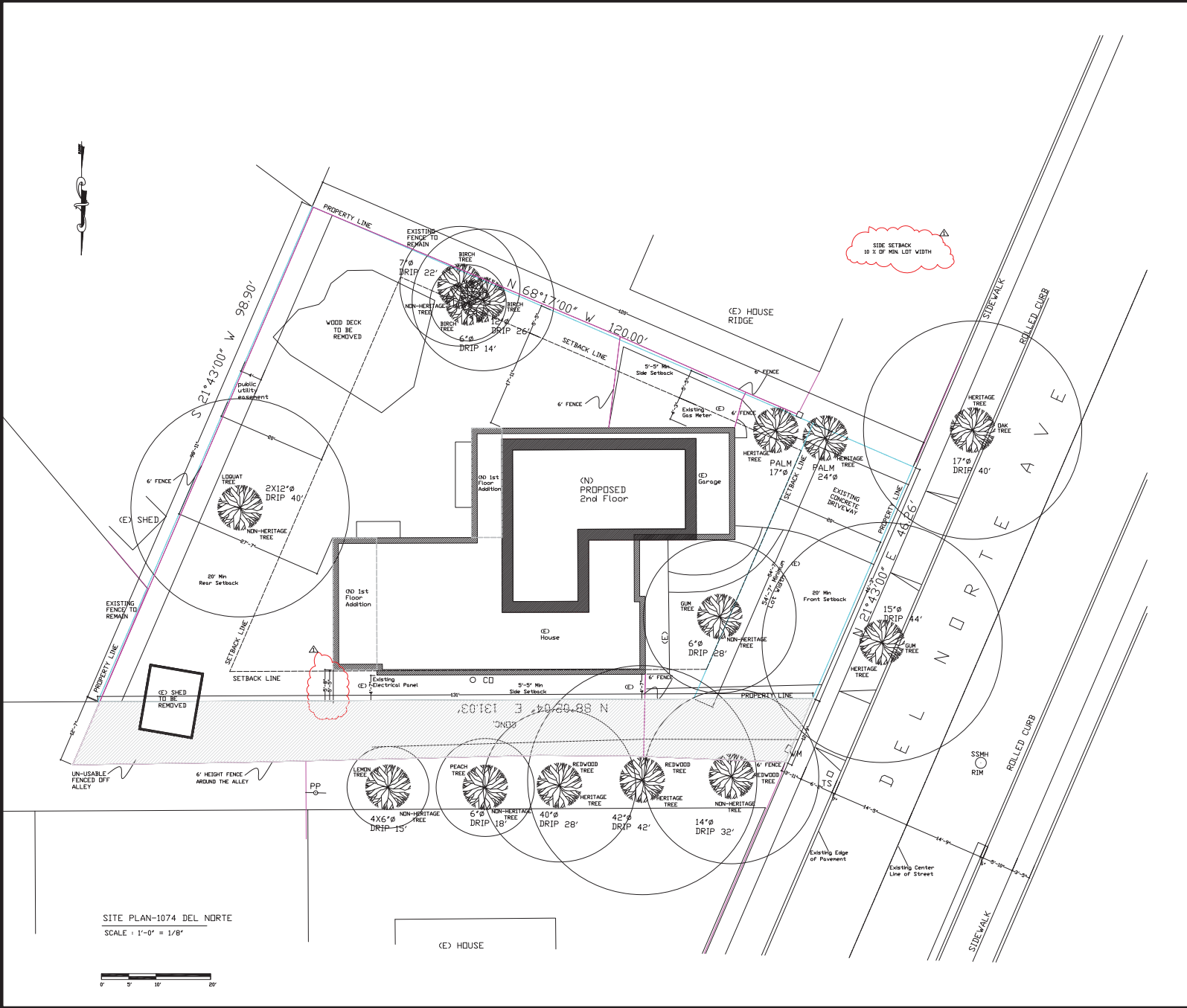
Scale: 1" = 10'  
Prepared by:  
Checked by:  
Date: 7/26/2016  
Project No: 216070

**TOPOGRAPHIC SURVEY MAP**

Sheet No: T-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF MENLO PARK



**CODE AND REGULATION**

2013 California Green Building Code.  
2013 CRC, CBC, CEC, CPC, CMC,  
and 2013 CA Energy Code.  
a. California Fire Code 2013 Edition  
b. California Building Code 2013 Edition  
c. California Mechanical Code 2013 Edition

**SCOPE OF WORK**  
2ND FLOOR ADDITION and REMODELING

**PROJECT DESCRIPTION**

OWNER : ANDREAS & LEILA HOFMANN  
SITE ADDRESS: 1074 DEL-NORTE, CA  
OCCUPANCY GROUP: R-1-U  
TYPE OF CONSTRUCTION VB  
NUMBER OF STORIES ... 2  
APN: A 062 032 250  
ZONING : RESIDENTIAL  
LAND USE: SINGLE FAMILY HOME



VICINITY MAP



PARCEL MAP

**SITE ANALYSIS**  
Zoning: R-1-U

LOT AREA	8709	SQ. FT.
ALLOWABLE FLOOR AREA	3227.25	SQ. FT.
Floor 7000 sf of the lot = 2800 Sq.Ft. FAL = (8709 - 7000) X 0.25 + 2800		
PROPOSED FIRST FLOOR AREA	2388.00	SQ. FT.
PROPOSED SECOND FLOOR AREA	803.00	SQ. FT.
TOTAL PROPOSED FLOOR AREA	3,191.00	SQ. FT.
No artic space		
LAND COVERED BY STRUCTURES	27.66%	
LANDSCAPING	60.17%	
PAVED SURFACES	12.11%	
PARKING SPACES	2 CAR-GARAGE	
ALL GRADES TO REMAIN NATURAL		



**WALID NAZZAL & Associates**  
Design - Planning  
GEORGE CHAMMAS-PE  
5180 Graves Ave.  
San Jose, CA 95129  
(408)772-6096  
ARCHITECTS@wngsl.com

REVISIONS

No.	Date	Description
1	11/28/16	Issue for Permit



**NOTE**  
The plans, fees and design on this drawing are the property of the associate WA. Nazzal and Associates. Plans shall not be used in whole or in part for any purpose for which they were not intended without written permission of the architect.

**SINGLE FAMILY HOME**  
SAN JOSE, CA

**HOFMANN RESIDENCE**  
1074 DEL NORTE  
MENDOCINO PARK, CA  
APN: A 062 032 250  
**SITE PLAN**

SCALE : 1/8" = 1'  
DRAWN : WN  
DATE : 11/28/16

**SHEET**

**A.1**



**WALID NAZZAL**  
 & Associates  
 Design - Planning  
 GEORGE CHAMMAS-PE  
 5120 Graves Ave.  
 San Jose, CA 95129  
 (408)772-6096  
 wna@nazzal.com

Date: 8/27/17  
 REVISIONS:



**NOTE**  
 The plans, ideas and design on this drawing are the property of the associate WA, Walid Nazzal. Divided solely for this contract. Plans shall not be used, in whole or in part for any purpose for which they were not intended without written permission of the architect.

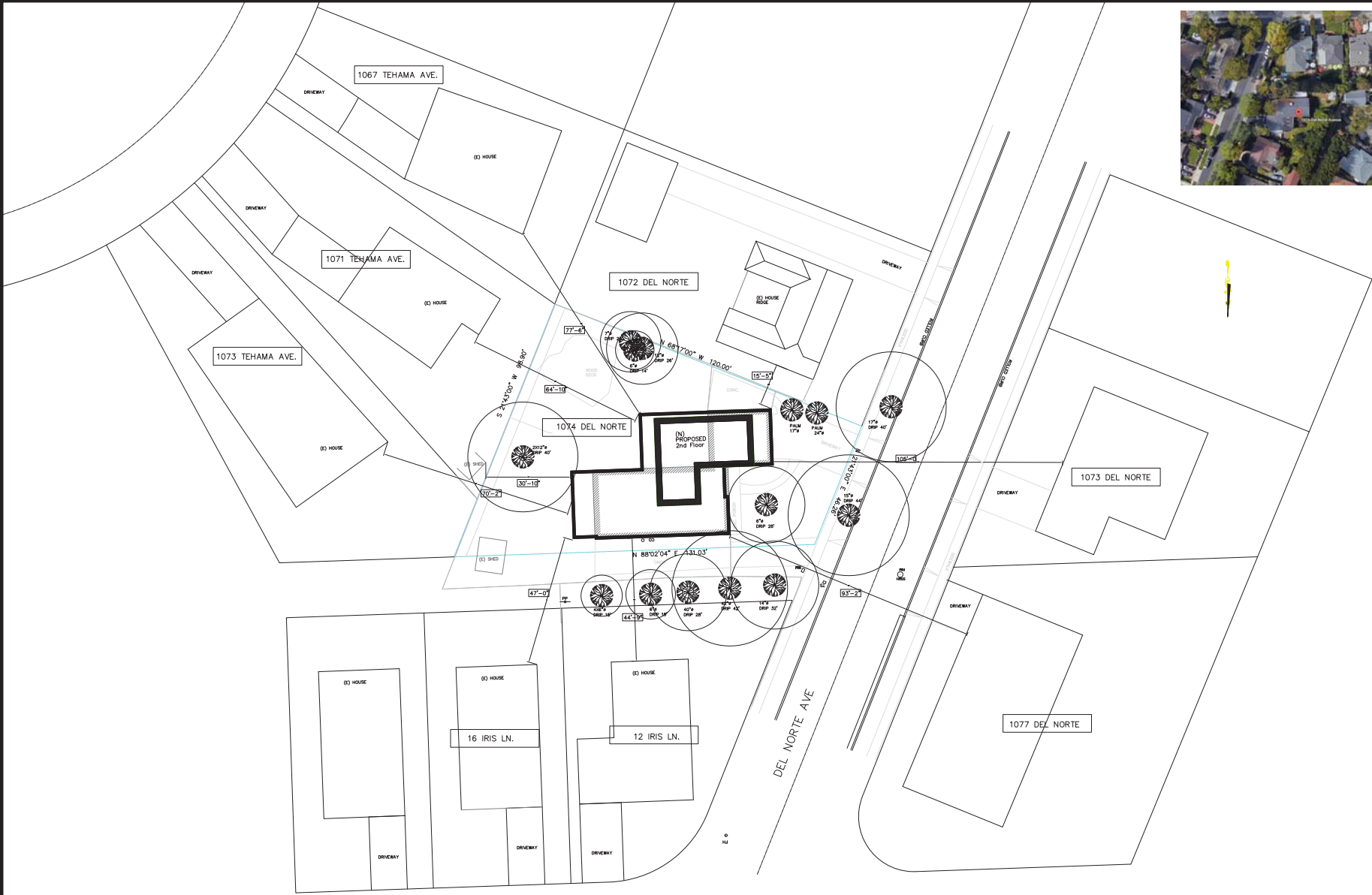
SINGLE FAMILY HOME  
 SAN JOSE, CA

**HOFMANN RESIDENCE**  
 1074 DEL NORTE  
 MENLO PARK, CA  
 APR. 002 003 250  
 AREA PLAN

SCALE : 1/16" = 1'  
 DRAWN: WN  
 DATE: 11/28/16

SHEET

**A.2**



AREA PLAN-1074 DEL NORTE  
 SCALE : 1" = 0" = 1/16"



12 IRIS LN.

1074 DEL NORTE

1072 DEL NORTE



WALID NAZZAL  
& Associates  
Design - Planning  
George Channas-PE  
5150 Graves Ave.  
San Jose, CA 95129  
(408)772-6096  
ARCHITECT@walidna.com

REVISIONS

Date 02.07.17



NOTE  
The plans, specs and design on this drawing are the property of the associate WA. Walid Nazzal. Any reuse, reproduction, or distribution of these plans without the written permission of the architect is strictly prohibited.

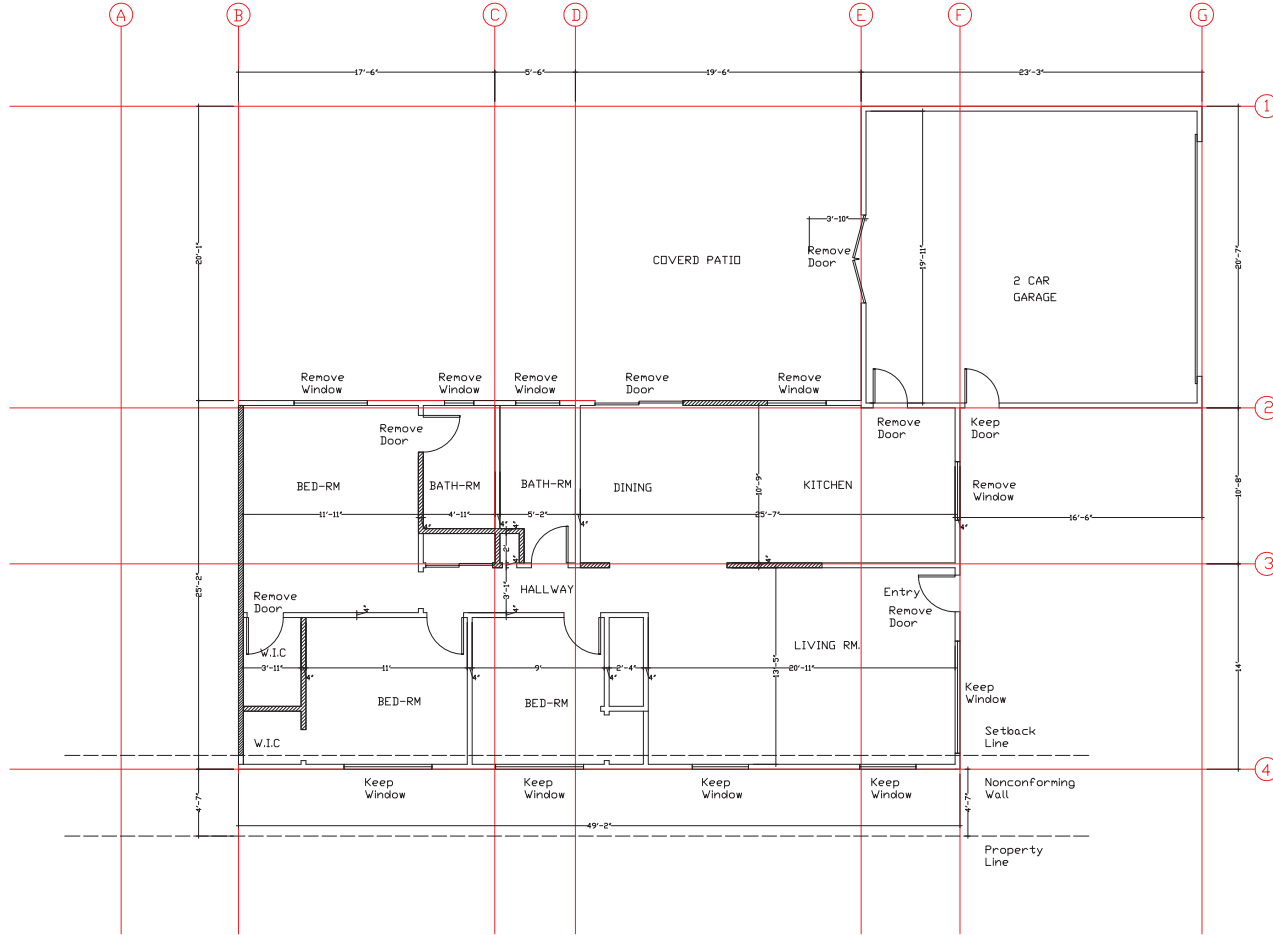
NEW ADDITION  
SINGLE FAMILY HOME  
MENLO PARK, CA

HOFMANN RESIDENCE  
1074 BEL NORTIE AVE  
MENLO PARK, CA  
94025  
EXISTING FLOOR PLAN  
& DEMOLITION PLAN

SCALE : 1/4" = 1'  
DRAWN WN  
DATE 11/28/16



SHEET

A.3



EXISTING-FLOOR PLAN

SCALE : 1'-0" = 1/4"

WALL TO BE REMOVED   
WALL TO REMAIN 

NOTE  
EXISTING NONCONFORMING WALL CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS. IF THE WALL IS DEMOLISHED AS PART OF THE PROJECT, IT CANNOT BE REBUILT IN ITS CURRENT NONCONFORMING LOCATION, AND WILL BE REQUIRED TO MEET THE CURRENT ZONING ORDINANCE SETBACK REQUIREMENTS.



WINDOWS SCHEDULE - FIRST FLOOR					
WINDOW	SIZE W x H	TYPE	STYLE	COUNT	LOCATION
(A)	6'X3'	Egress	SLIDING	2	OFFICE/BED-RM
(B)	3'X5'	-	HUNG	3	KITCHEN LIVING
(C)	4'X4'	-	HUNG	2	FAMILY-RM
(D)	2'-6'X5'	Tempered	CASEMENT	2	MASTER-BR
(E)	2'X3'	Tempered	CASEMENT	2	BATH
(F)	8'X5'	Tempered	SLIDING	1	LIVING-RM

DOORS SCHEDULE - FIRST FLOOR					
DOOR	SIZE W x H	TYPE	MATERIAL	COUNT	LOCATION
(1)	5'-8"X8'-0"	Single 2-sides	Glass w/ Frame	1	ENTRY
(2)	2'-6"X6'-8"	LEFT Single	Wood	4	OFFICE/BATH RM
(3)	2'-6"X6'-8"	RIGHT Single	Wood	1	BATH-RM2
(4)	8'-0"X8'-0"	DOUBLE FRENCH	Wood GLASS	1	MASTER-BR
(5)	2'-4"X6'-8"	Single	GLASS	1	PANTRY
(6)	2'-6"X6'-8"	Single-R 20th-rated	Wood	1	GARAGE
(7)	2'-6"X6'-8"	LEFT Single	Wood	1	GARAGE
(8)	12'X8'	FOLDING (S)panel	Glass	1	LIVING

LIGHTING CALC - FIRST FLOOR			
AREA	AREA SQ. FT.	WINDOW SQ. FT.	MIN. 10% REQ.
ENTRY, STAIRCASE	264 SQ. FT.	(3) 1'-8"X2'-10" = 14+ SF.	26.4 SQ. FT.
OFFICE	90 SQ. FT.	6'X5'=30 SQ. FT.	14.4 SQ. FT.
DINING	160 SQ. FT.	(2) 1'-6"X5'-0" = 15 SF.	16.0 SQ. FT.
Family-RM	170 SQ. FT.	6'-0" X 5'-0" = 30 SF.	17.0 SQ. FT.
Living RM.	220 SQ. FT.	(4) 3'-0"X8'-0" = 96 SF.	22.0 SQ. FT.
Kitchen	225 SQ. FT.	(2) 3'-0"X5'-0" = 30 SF.	2.5 SQ. FT.
MASTER-BR	226 SQ. FT.	(2) 2'-6"X8'+(8'X8")=104 SF.	22.6 SQ. FT.
BED-RM2	110 SQ. FT.	6'-0" X 5'-0" = 30 SF.	11.0 SQ. FT.
TOTAL	1465 SQ. FT.	349 SQ. FT.	132 SQ. FT.

**WATER HEATER NOTE**  
Provide seismic anchorage for water heater. Strapping shall be at least 2x4 spaced every 17 1/2" and the lower 1/3 of its vertical dimension.

**CLOTHES DRYER NOTE**  
Maximum length of clothes dryer vent to not exceed 50' feet, including 90 degree elbows per IRC 903.2.2.

**SHOWER AND BATH-TUBER CONDITION**  
Shower and bath-tuber condition shall be provided with adequate drainage to the waterproofing along with Type IIC DMR.

**NOTE**  
New Ventilation to have the lowest rating of 1 zero.

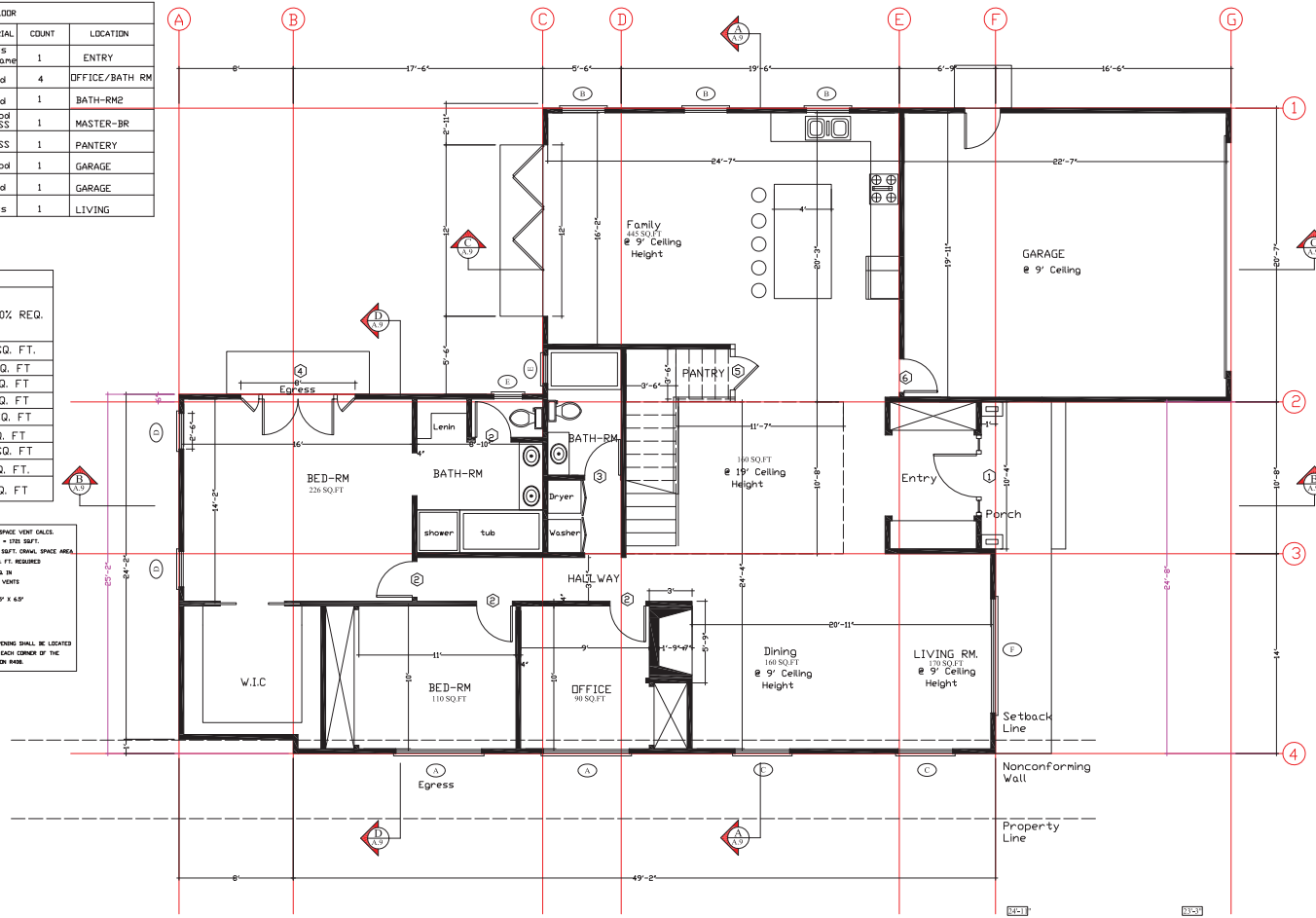
**NOTE**  
An approved backdoor shall be provided using fire-rated door with 18" x 18" hole above the elevation of the work approval number. (IC 702)

**OVEN, SPACE VENT CALC.**  
OVEN, SPACE AREA = 170 SQ. FT.  
1 SQ. FT. VENT / 50 SQ. FT. OVEN, SPACE AREA  
170 / 50 = 3.4 SQ. FT. VENT REQUIRED  
3.4 X 14" = 47.6" SQ. IN.  
PROVIDE 48 SQUARE INCHES VENT.  
SIZE: 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM) 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM) 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM) 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM)

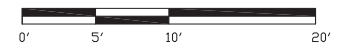
**OVEN, SPACE VENT CALC.**  
OVEN, SPACE AREA = 170 SQ. FT.  
1 SQ. FT. VENT / 50 SQ. FT. OVEN, SPACE AREA  
170 / 50 = 3.4 SQ. FT. VENT REQUIRED  
3.4 X 14" = 47.6" SQ. IN.  
PROVIDE 48 SQUARE INCHES VENT.  
SIZE: 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM) 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM) 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM) 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM)

**OVEN, SPACE VENT CALC.**  
OVEN, SPACE AREA = 170 SQ. FT.  
1 SQ. FT. VENT / 50 SQ. FT. OVEN, SPACE AREA  
170 / 50 = 3.4 SQ. FT. VENT REQUIRED  
3.4 X 14" = 47.6" SQ. IN.  
PROVIDE 48 SQUARE INCHES VENT.  
SIZE: 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM) 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM) 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM) 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM)

**OVEN, SPACE VENT CALC.**  
OVEN, SPACE AREA = 170 SQ. FT.  
1 SQ. FT. VENT / 50 SQ. FT. OVEN, SPACE AREA  
170 / 50 = 3.4 SQ. FT. VENT REQUIRED  
3.4 X 14" = 47.6" SQ. IN.  
PROVIDE 48 SQUARE INCHES VENT.  
SIZE: 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM) 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM) 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM) 16" x 6" (MINIMUM) 14" x 6" (MAXIMUM)

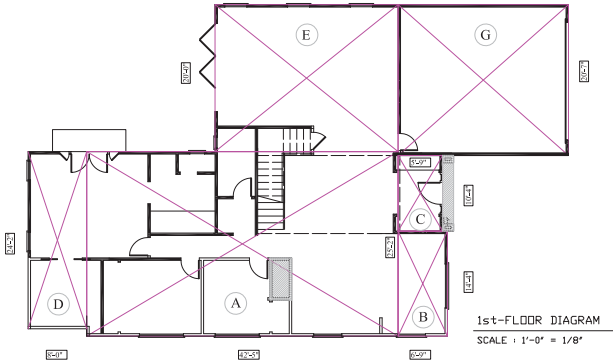


1st-FLOOR PLAN  
SCALE : 1'-0" = 1/4"



FIRST FLOOR AREA

AREA	SQ. FT.
A Living (E)	42'-5" X 25'-2" = 1068.04
B Living (E)	6'-8" X 14'-4" = 96.57
C Living (E)	5'-8" X 10'-4" = 59.13
D Living (N)	8'-4" X 24'-2" = 193.28
E Living (N)	24'-1" X 20'-0" = 500.10
G Garage (E)	23'-7" X 20'-7" = 478.60
Fireplace (E)	3'-4" X 5'-0" = 17.10
TOTAL FIRST FLOOR AREA:	(A+B+C+D+E+G) - Fireplace Area
	2395.10 + 17.10 = 2412.20 SQ. FT.
TOTAL BUILDING COVERAGE:	1st Floor Area + Fireplace + Porch
	2378 + 17.10 + 15.45 = 2410.55 SQ. FT.



1st-FLOOR DIAGRAM  
SCALE : 1'-0" = 1/8"

**W**  
WALID NAZZAL & Associates  
Design - Planning  
George Chamas-PE  
5120 Graves Ave.  
San Jose, CA 95129  
(408)772-0096  
w@wnaarchitect.com

REVISIONS
Date: 02/27/17



**NOTE**  
The plans, specifications and design on this drawing are the property of the associate WAJ Nazzal. Plans shall not be used in whole or in part for any purpose for which they were not intended without written permission of the architect.

NEW ADDITION  
SINGLE FAMILY HOME  
MENLO PARK, CA

HOFMANN RESIDENCE  
1074 DEL NORTE AVE  
MENLO PARK, CA  
4th and 5th floor

FIRST FLOOR PLAN

SCALE : 1/4" = 1'  
DRAWN: WN  
DATE: 11/28/16

SHEET

A.4



**WALID NAZZAL & Associates**  
 Design - Planning  
 George Chamas-PE  
 5120 Graves Ave.  
 San Jose, CA 95129  
 (408)772-0796  
 wna@nazzal.com

REVISIONS

Date: 02/07/17



**NOTE**  
 The plans, fees and design on this drawing are the property of the associate WA Nazzal. Plans shall not be used in whole or in part for any purpose for which they were not intended without written permission of the architect.

NEW ADDITION  
 SINGLE FAMILY HOME  
 MENLO PARK, CA

HOFMANN RESIDENCE  
 1074 BEL NURTE AVE  
 MENLO PARK, CA  
 94025  
 2ND FLOOR

SCALE : 1/4" = 1'  
 DRAWN : WN  
 DATE : 11/28/16

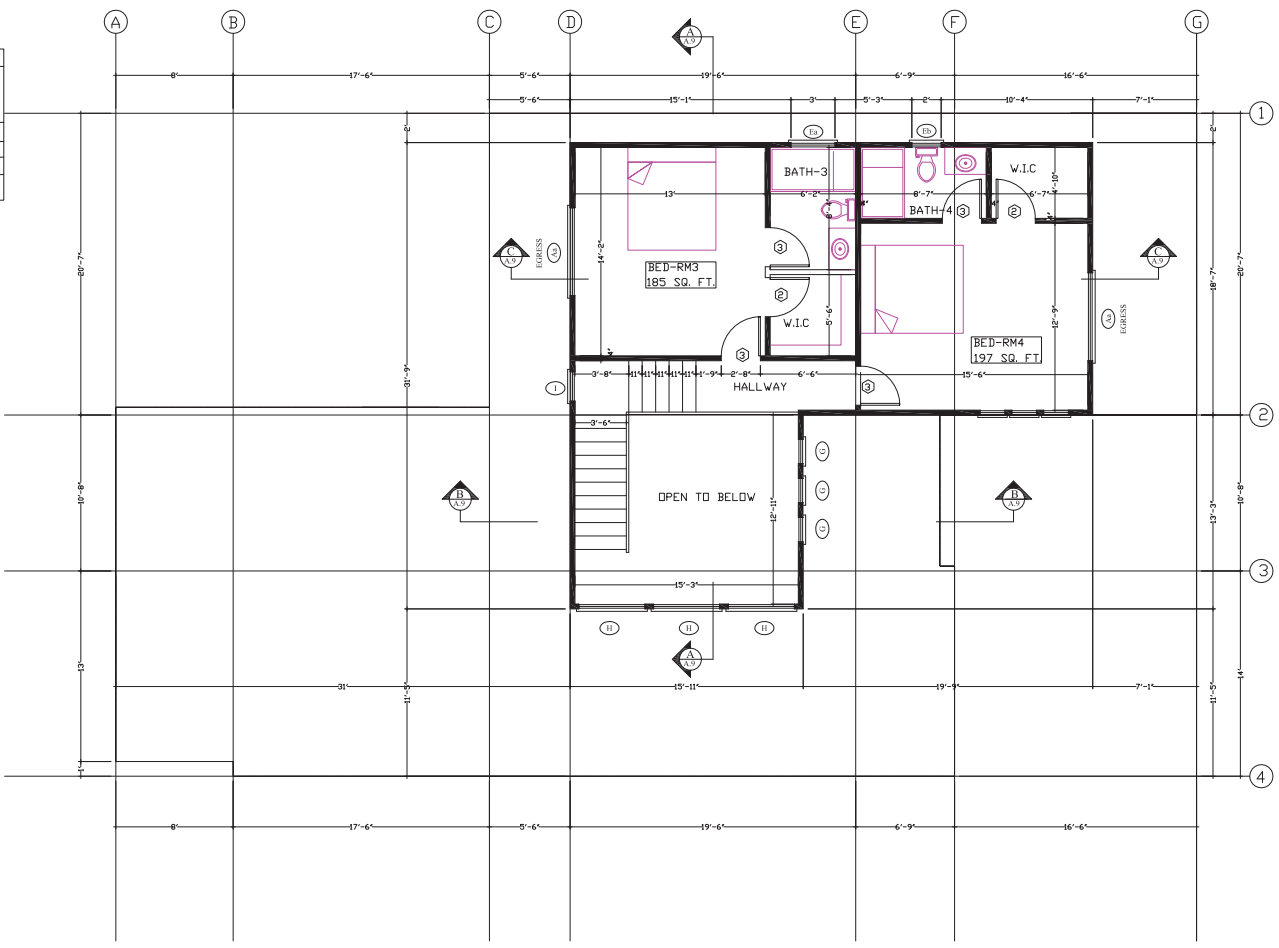
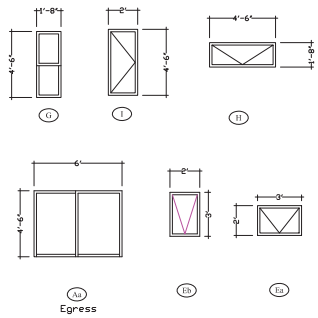
SHEET  
**A.5**

LIGHTING CALC-SECOND FLOOR.			
AREA	AREA SQ. FT.	WINDOW SQ. FT.	MIN. 10% REQ.
BED-RM3	210 SQ. FT.	6'x5'=30 SQ. FT.	21.0 SQ. FT.
BED-RM4	192 SQ. FT.	6'x5'=30 SQ. FT.	19.2 SQ. FT.
HALLWAY-OPEN AREA	226 SQ. FT.	3) 1'-8"X2'-10"= 14+ SF	26.0 SQ. FT.
<b>TOTAL</b>	<b>628 SQ. FT.</b>	<b>74 SQ. FT.</b>	<b>66.2 SQ. FT.</b>

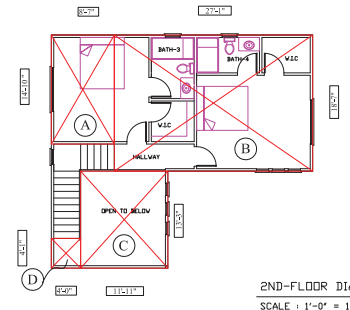
WINDOWS SCHEDULE-FIRST FLOOR					
WINDOW	SIZE WxH	TYPE	STYLE	COUNT	LOCATION
(A)	6'x4'-6"	Egress	SLIDING	2	BED-RM 3 & 4
(B)	3'X2'	Temperd	CASEMENT	1	BATH 3
(C)	2'X3'	Temperd	CASEMENT	1	BATH 4
(D)	1'-8" X 4'-6"	Temperd	FIXED	3	HALLWAY
(E)	4'-6" X 1'-8"	Temperd	CASEMENT	3	HALLWAY
(F)	2'-0" X 4'-6"	Temperd	CASEMENT	1	STAIRS

DOORS SCHEDULE -FIRST FLOOR					
DOOR	SIZE WxH	TYPE	MATERIAL	COUNT	LOCATION
(G)	2'-6"X6'-8"	LEFT Single	Wood	2	BED & BATH
(H)	2'-6"X6'-8"	RIGHT Single	Wood	4	BED & BATH

**NOTE**  
 2ND FLOOR WINDOWS TO BE 3'-6" ABOVE FINISHED FLOOR



AREA	SQ. FT.
A living (N) 8'-7" X 14'-10"	127.60
B living (N) 27'-1" X 18'-7"	502.30
C living (N) 11'-11" X 13'-3"	157.20
D living (N) 4'-0" X 4'-1"	16.20
<b>TOTAL 2ND FLOOR AREA</b>	<b>803 SQ. FT.</b>

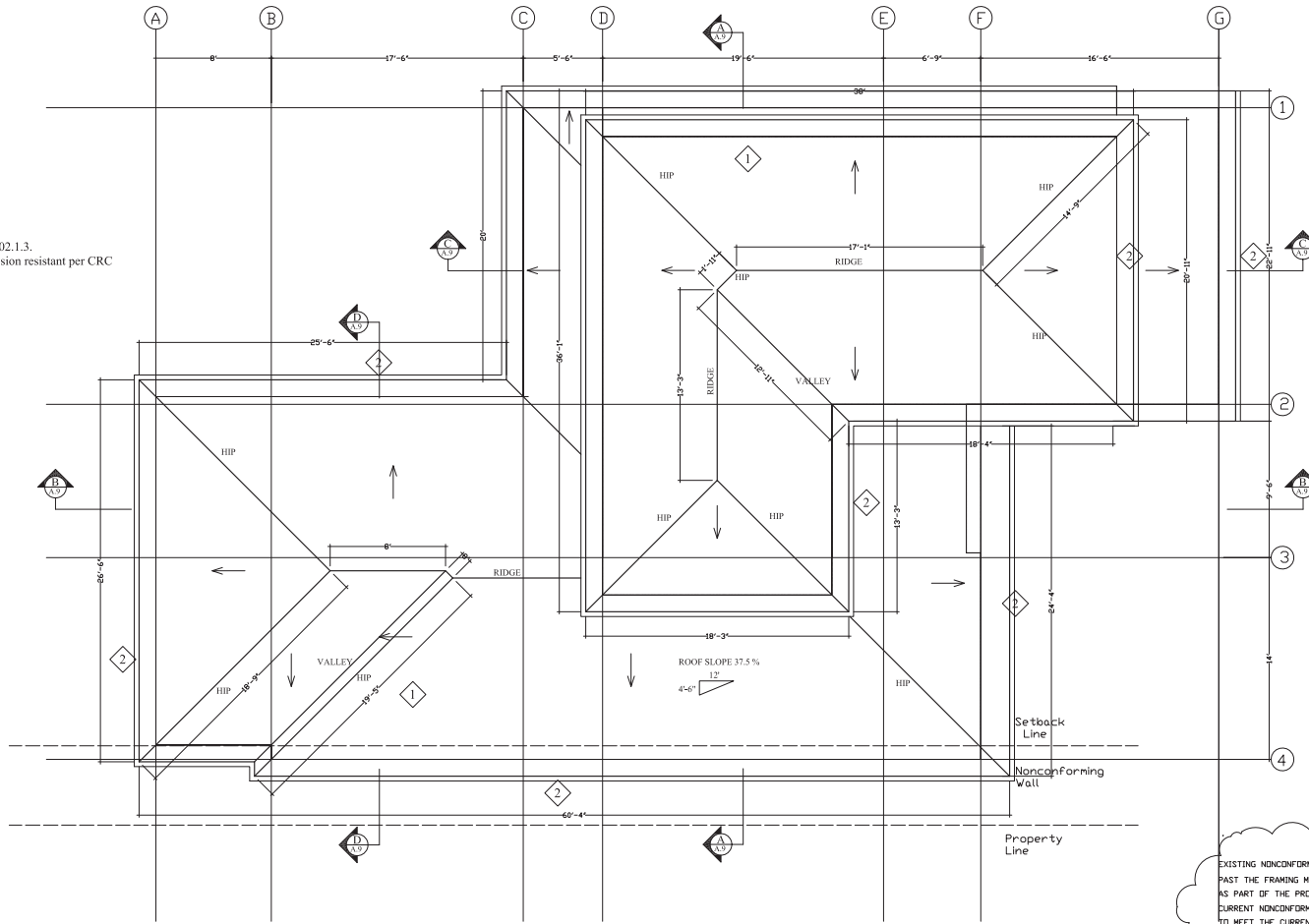


**2ND-FLOOR PLAN**  
 SCALE : 1'-0" = 1/4"

**2ND-FLOOR DIAGRAM**  
 SCALE : 1'-0" = 1/8"

ROOF ATTIC VENTILATION				
AREA	ATTIC SQ. FT.	FREE AREA REQUIRED (SQ. INCHES 1/130)	NET FREE AREA PROVIDED	TOTAL PROVIDED
2ND FLOOR ATTIC	803 SQ. FT.	803/150=5.35 Sq.Ft. 5.35 X 144 = 765.12 Sq.In.	ROOF VENTS=11 X 76 = 836 SQ.IN.	836 SQ. INCHES
1ST. FLOOR ATTIC	2405-803=1602 SQ. FT.	1602/150=10.68 Sq.Ft. 10.68 X 144 = 1537.90 Sq.In.	ROOF VENTS=21 X 76 = 1596 SQ.IN.	1596 SQ. INCHES

NOTE  
Min. class 'C' roofing on the plan CRC R902.1.3.  
The fasteners for the roofing shall be corrosion resistant per CRC R905.2.5.



### ROOF PLAN

SCALE : 1/4"=1'-0"



#### ROOF PLAN NOTES

- ① COMPOSITION ROOFING
- ② GALVANIZED SHEET METAL GUTTER

#### GENERAL NOTES

1. ALL ROOF DRAINAGE SHALL BE MIN. 2% (1/4" PER FOOT)
2. FIBERGLASS ROOF INSULATION SHALL BE KRAFT FACED WITH A MAXIMUM PERM RATING OF 1 OR A POLYETHYLENE VAPOR BARRIER WITH A MAXIMUM PERM RATING OF 1 SHALL BE INSTALLED ON THE WARM SIDE OF THE CEILING.

#### ROOF LEGEND

-  EYEBROW DORMER VENT 4"x19"  
(NET FREE AIR FLOW 50 SQ. IN.)
-  D.S. GALVANIZED SHEET METAL DOWNSPOUT.  
CONNECT TO STORM DRAIN SYSTEM

NOT  
EXISTING NONCONFORMING WALL CANNOT BE DEMOLISHED  
PAST THE FRAMING MEMBERS. IF THE WALL IS DEMOLISHED  
AS PART OF THE PROJECT, IT CANNOT BE REBUILT IN ITS  
CURRENT NONCONFORMING LOCATION, AND WILL BE REQUIRED  
TO MEET THE CURRENT ZONING ORDINANCE SETBACK REQUIREMENTS.



**WALID NAZZAL & Associates**  
Design - Planning  
George Chamas-PE  
5120 Graves Ave.  
San Jose, CA 95129  
(408)772-6096  
Architects-walidn@gmail.com

REVISIONS

Date 02/07/17



NOTE  
The plans, specs and design on this drawing are the property of the associate WAJ walid nazzal. Plans shall not be used in whole or in part for any purpose for which they were not intended without written permission of the architect.

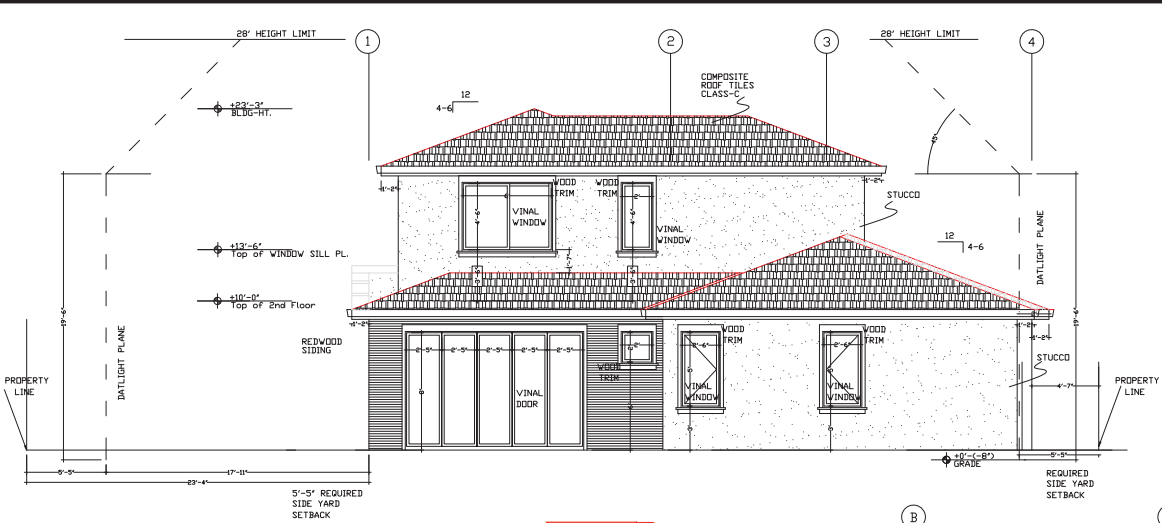
NEW ADDITION  
SINGLE FAMILY HOME  
MENLO PARK, CA

HOFMANN RESIDENCE  
1074 DEL NORTE AVE  
MENLO PARK, CA  
94025  
DATE 11/28/16  
ROOF PLAN

SCALE : 1/4" = 1'  
DRAWN WN  
DATE 11/28/16

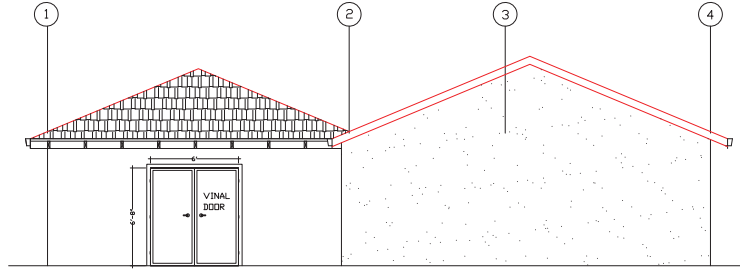
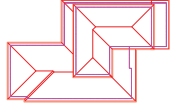
SHEET

A.6



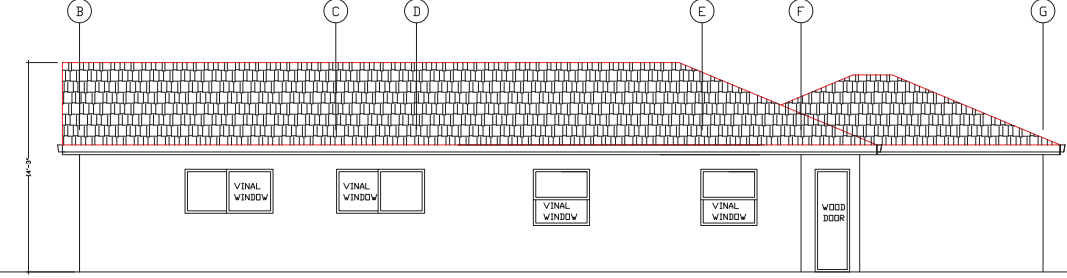
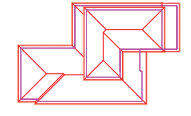
PROPOSED-REAR ELEVATION (East)

SCALE: 1/4"=1'-0"



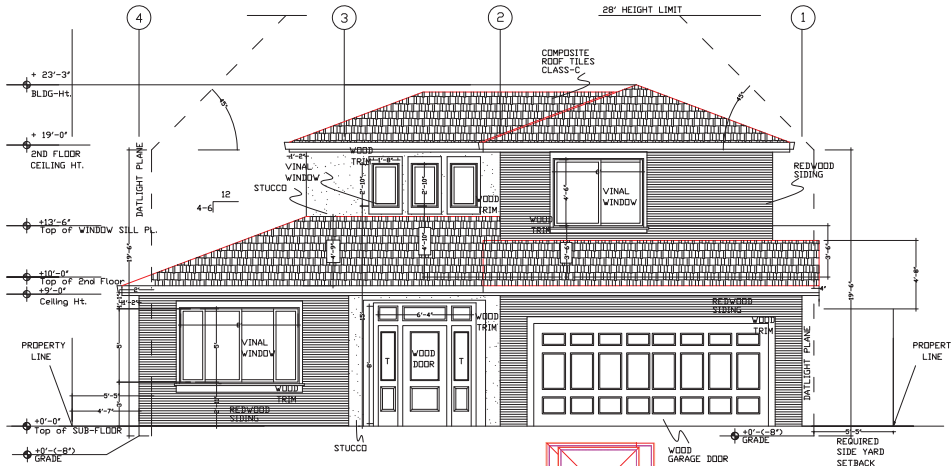
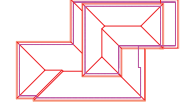
EXISTING-REAR ELEVATION (East)

SCALE: 1/4"=1'-0"



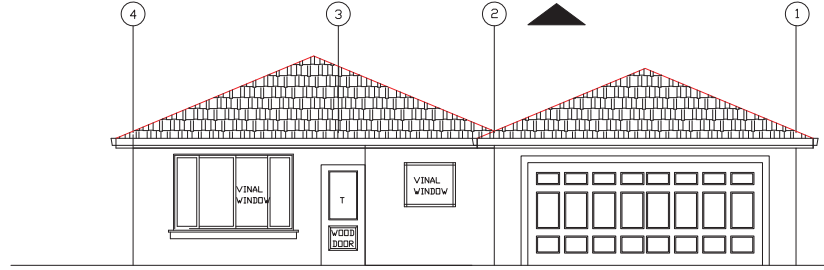
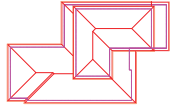
EXISTING-(L) SIDE ELEVATION (North)

SCALE: 1/4"=1'-0"



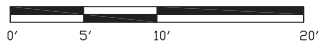
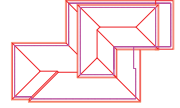
PROPOSED-FRONT ELEVATION (West)

SCALE: 1/4"=1'-0"



EXISTING-FRONT ELEVATION (West)

SCALE: 1/4"=1'-0"



WALID NAZZAL  
& Associates  
Design - Planning  
George Chamas-PE  
5100 Graves Ave.  
San Jose, CA 95129  
(408)772-6096  
Architects@wngsl.com

REVISIONS
Date: 02/27/17



The plans, fees and design on this drawing are the property of the associate WA Nazzal Nazzal & Associates. Plans shall not be used in whole or in part for any purpose for which they were not intended without written permission of the architect.

NEW ADDITION  
SINGLE FAMILY HOME  
MENLO PARK, CA

HOFMANN RESIDENCE  
1074 DEL NORTE AVE  
MENLO PARK, CA  
APN 062 032 250  
PROPOSED & EXISTING  
ELEVATIONS

SCALE: 1/4" = 1'  
DRAWN: WN  
DATE: 11/28/16

SHEET  
A.7





**WALID NAZZAL & Associates**  
 Design - Planning  
 George Chamas-PE  
 5120 Graves Ave.  
 San Jose, CA 95129  
 (408)772-6296  
 ARCHITECTS@WNAAGI.COM

REVISIONS

Date 02/07/17



The plans, fees and design on this drawing are the property of the associate. All rights reserved. Plans shall not be used in whole or in part for any purpose for which they were not intended without written permission of the architect.

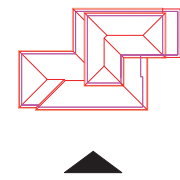
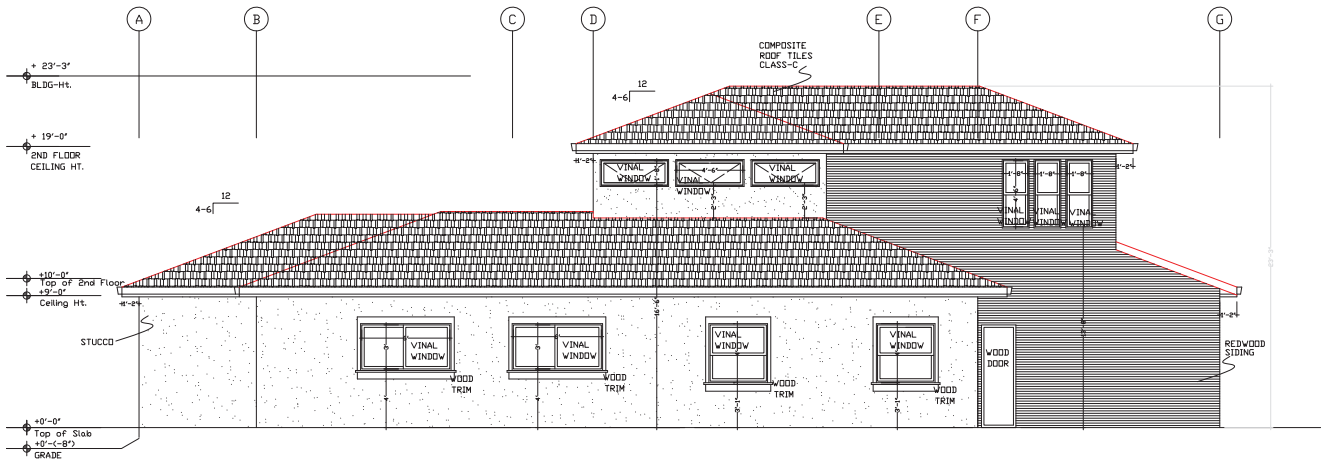
NEW ADDITION  
 SINGLE FAMILY HOME  
 MENLO PARK, CA

HOFMANN RESIDENCE  
 1074 DEL NORTE AVE  
 MENLO PARK, CA  
 APN 062 032 250  
 PROPOSED & EXISTING  
 ELEVATIONS

SCALE : 1/4" = 1'  
 DRAWN WN  
 DATE 11/28/16

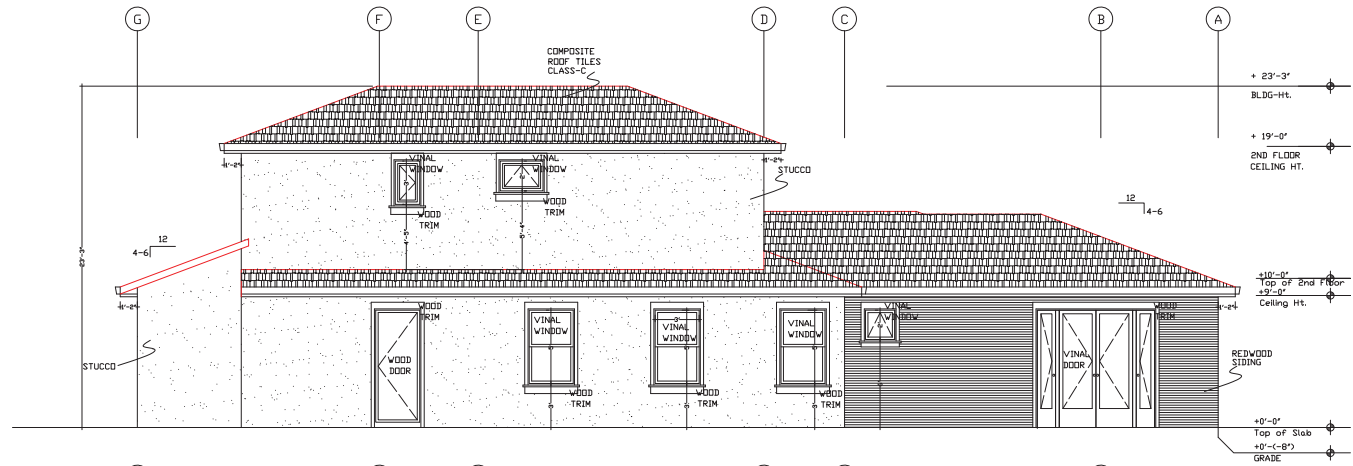
SHEET

A.8



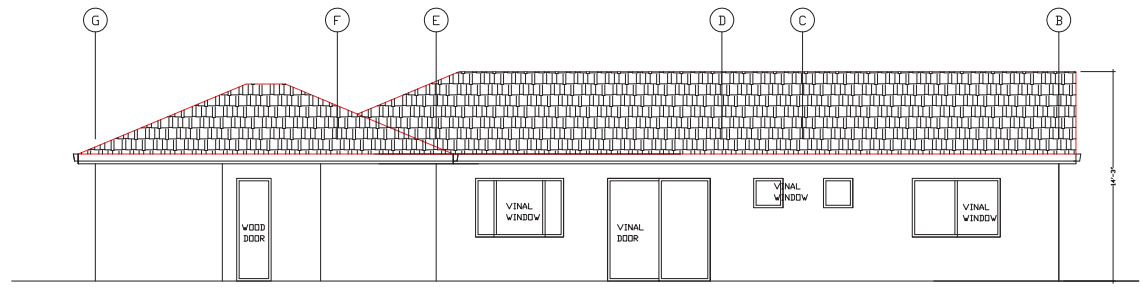
PROPOSED-(L) SIDE ELEVATION (North)

SCALE : 1/4"=1'-0"



PROPOSED-(R) SIDE ELEVATION (South)

SCALE : 1/4"=1'-0"



EXISTING-(R)SIDE ELEVATION (South)

SCALE : 1/4"=1'-0"





WALID NAZZAL & Associates

Design - Planning

George Chamas-PE

5120 Graves Ave.

San Jose, CA 95129

408772-6079

ARCHITECT@wngsll.com

REVISIONS

Date

02.07.17



The plans, ideas and design on this drawing are the property of the associate WAJ Nazzal. Plans shall not be used in whole or in part for any purpose for which they were not intended without written permission of the architect.

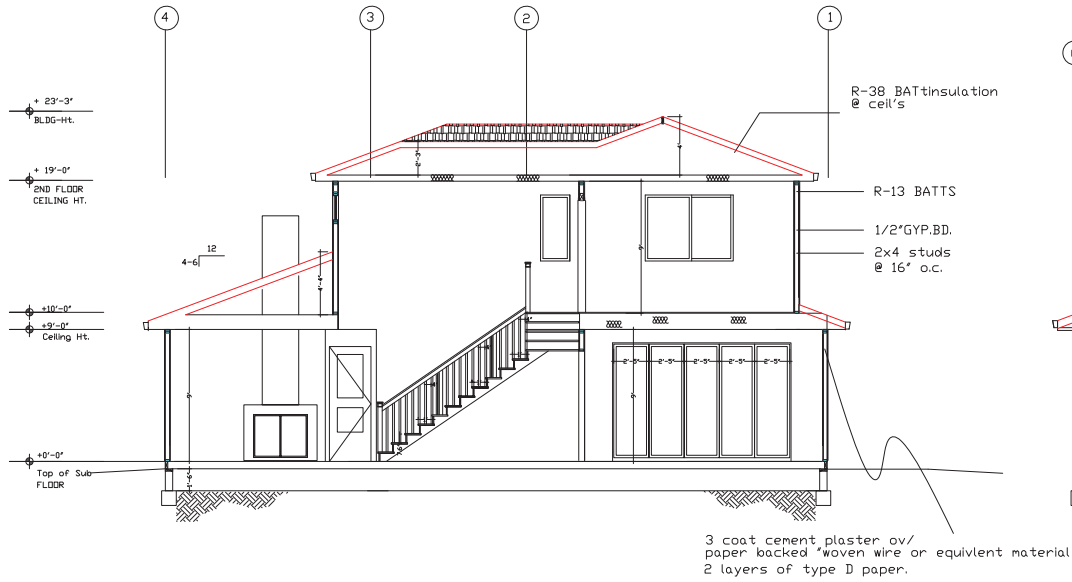
NEW ADDITION  
SINGLE FAMILY HOME  
MENLO PARK, CA

HOFMANN RESIDENCE  
1074 DEL NURTE AVE  
MENLO PARK, CA  
APN: 062 032 250  
BUILDING SECTIONS

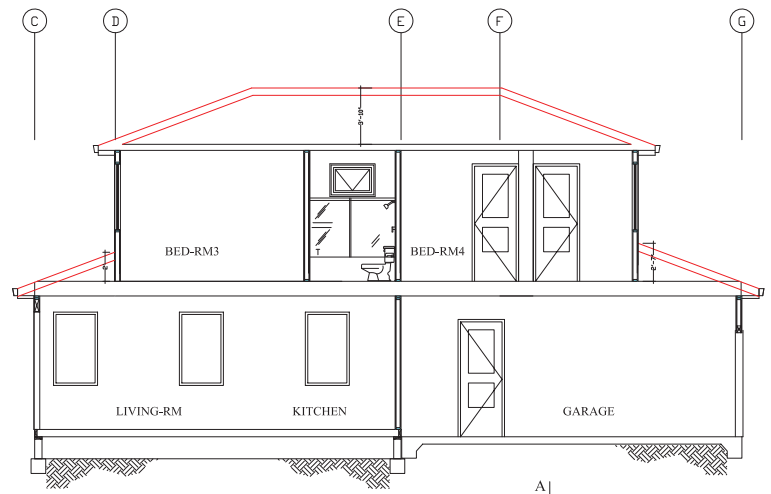
SCALE: 1/4" = 1'  
DRAWN: WN  
DATE: 11/28/16

SHEET

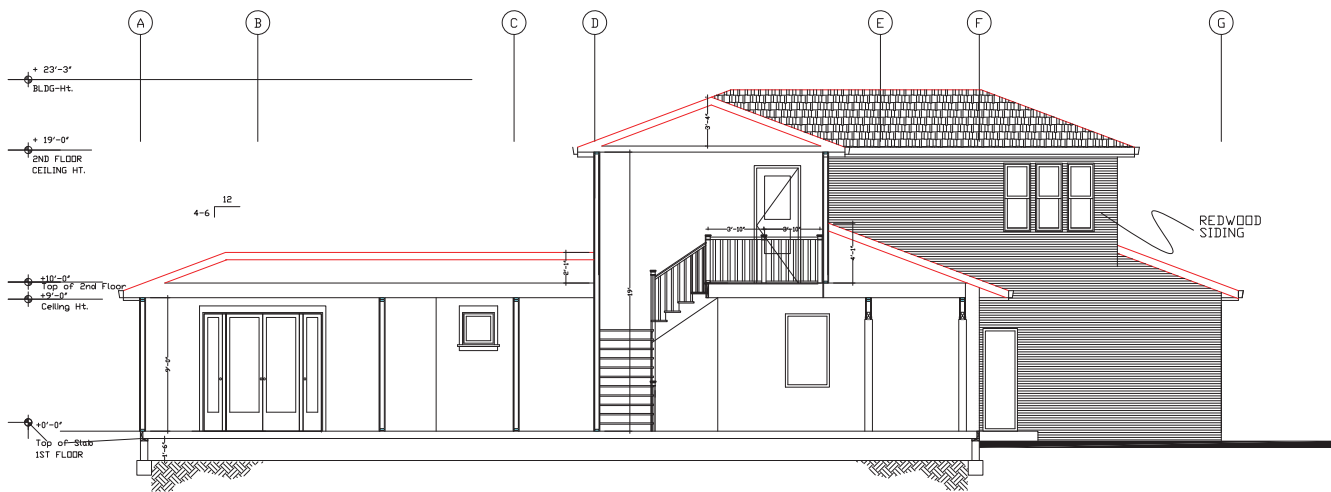
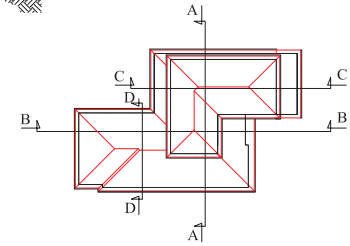
A.9



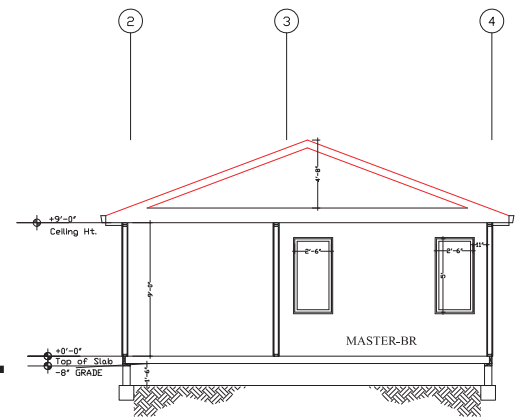
SECTION - AA  
SCALE: 1/4"=1'-0"



SECTION - CC  
SCALE: 1/4"=1'-0"

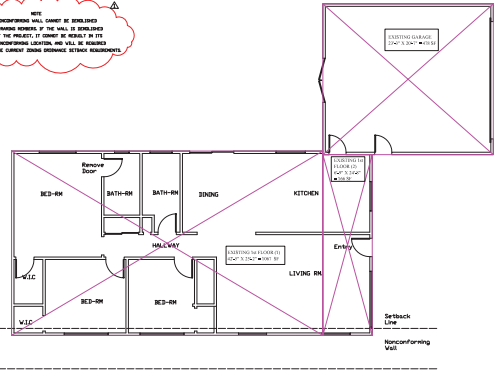


SECTION - BB  
SCALE: 1/4"=1'-0"

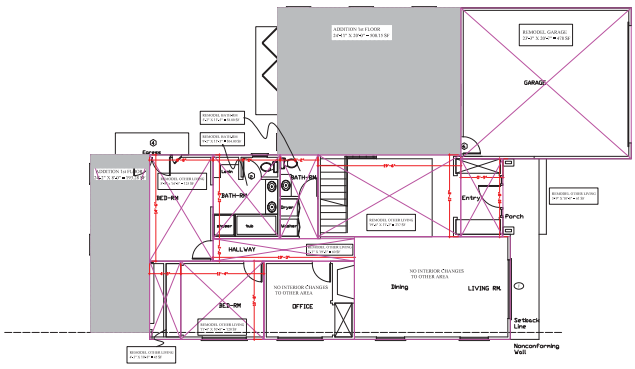


SECTION - DD  
SCALE: 1/4"=1'-0"

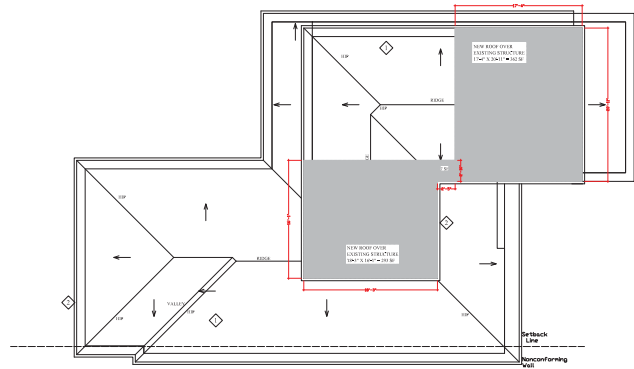
NOTE:  
 ALL EXISTING NONCONFORMING WALL CORNER TO BE REMOVED  
 PER THE EXISTING NUMBER OF THE WALL. TO BE REPLACED  
 AS PART OF THE PROJECT. TO CORNER BE EXACTLY IN THE  
 CURRENT NONCONFORMING LOCATION. NO WALL BE REMOVED  
 TO MEET THE CURRENT ZONING REQUIREMENTS.



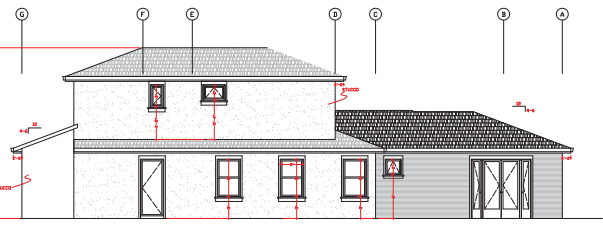
EXISTING FIRST FLOOR  
 SCALE: 1"=0' = 1/8"



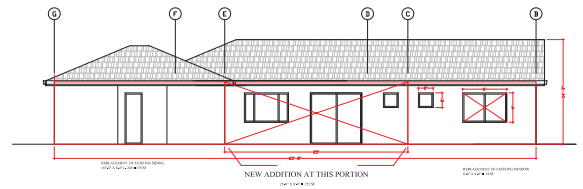
PROPOSED FIRST FLOOR  
 SCALE: 1"=0' = 1/8"



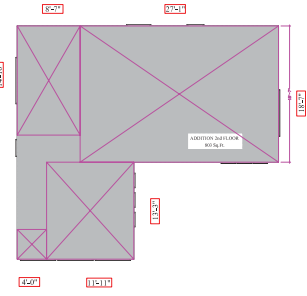
PROPOSED ROOF PLAN  
 SCALE: 1"=0' = 1/8"



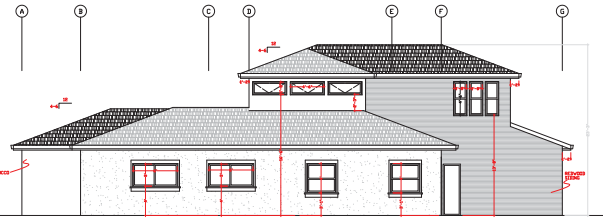
PROPOSED (L) SIDE ELEVATION (South)  
 SCALE: 1/8"=1'



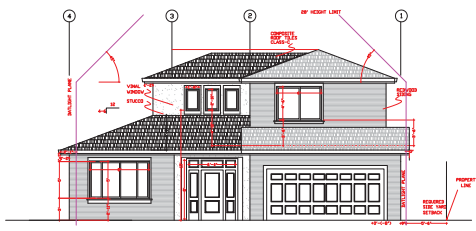
EXISTING (L) SIDE ELEVATION (South)  
 SCALE: 1/8"=1'



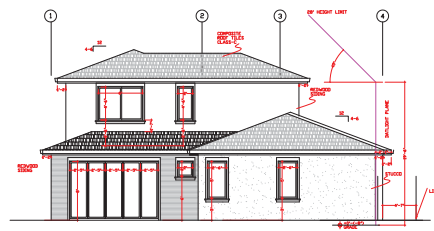
PROPOSED 2nd FLOOR  
 SCALE: 1"=0' = 1/8"



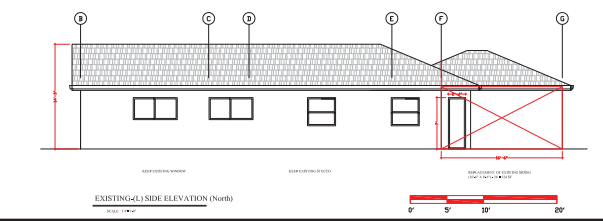
PROPOSED (L) SIDE ELEVATION (North)  
 SCALE: 1/8"=1'



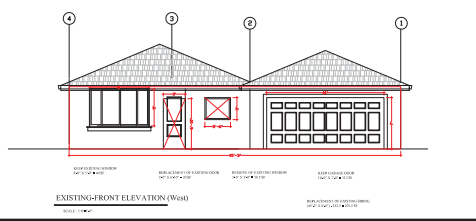
PROPOSED FRONT ELEVATION (West)  
 SCALE: 1/8"=1'



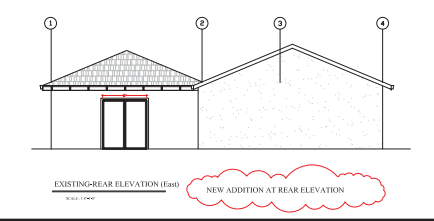
PROPOSED REAR ELEVATION (East)  
 SCALE: 1/8"=1'



EXISTING (L) SIDE ELEVATION (North)  
 SCALE: 1/8"=1'



EXISTING FRONT ELEVATION (West)  
 SCALE: 1/8"=1'



EXISTING REAR ELEVATION (East)  
 SCALE: 1/8"=1'

NONCONFORMING STRUCTURE  
 NEW WORK VALUE CALCULATION

ADDRESS: 1074 DEL NORTE  
 CASE NO.: PLN2016-102  
 50% OF EXISTING VALUE \$ 140,130.00  
 75% OF EXISTING VALUE \$ 210,195.00  
 VALUE OF PROPOSED PROJECT \$ 457,380.00 163%

EXISTING DEVELOPMENT

Non-Conforming Structure Type	Square Footage	Construction Cost	Existing Value
Existing 1st Floor	1,234 X	\$ 200/Sq. Ft.	\$ 246,800.00
Existing 2nd Floor	0 X	\$ 200/Sq. Ft.	\$ 0
Existing Basement	0 X	\$ 200/Sq. Ft.	\$ 0
Existing Garage	478 X	\$ 70/Sq. Ft.	\$ 33,466.00
<b>Total</b>	<b>1,712</b>		<b>\$ 280,266.00</b>

PROPOSED DEVELOPMENT

Proposed Development Type	Square Footage	Construction Cost	Development Value
Category 1- New Square Footage			
1st Floor Addition	693 X	\$ 200/Sq. Ft.	\$ 138,600.00
2nd Floor Addition	803 X	\$ 200/Sq. Ft.	\$ 160,600.00
Basement Addition	0 X	\$ 200/Sq. Ft.	\$ 0
Garage Addition	0 X	\$ 70/Sq. Ft.	\$ 0
Category 2- Remodel of Existing Square Footage			
Remodel of Kitchen	0 X	\$ 130/Sq. Ft.	\$ 0
Remodel of Bathrooms	162 X	\$ 130/Sq. Ft.	\$ 21,060.00
Remodel of Living Areas	628 X	\$ 100/Sq. Ft.	\$ 62,800.00
Remodel of Garage	478 X	\$ 35/Sq. Ft.	\$ 16,730.00

Category 3- Exterior Modifications to Existing Structure

Item	Quantity	Unit	Cost	Value
New Roof Structure Over Existing	662	X	\$ 35/Sq. Ft.	\$ 23,170.00
Replacement of Existing Siding	54	\$ 35/Sq. Ft.	\$ 1,890.00	
Replacement of Existing Siding	640	X	\$ 35/Sq. Ft.	\$ 22,400.00
<b>Total</b>	<b>4,120</b>			<b>\$ 457,380.00</b>

**W**  
 WALID NAZZAL & Associates  
 Design - Planning  
 George Channas-PE  
 5100 Graves Ave.  
 San Jose, CA 95129  
 408772-6296  
 ARCHITECT: walidn@gmail.com

REVISIONS

Date	Description
02.07.17	



NOTE:  
 The plans, ideas and design on this drawing are the property of the associate. All work created, revised solely for this contract. Plans shall not be used in whole or in part for any purpose for which they were not intended without written permission of the architect.

NEW ADDITION  
 SINGLE FAMILY HOME  
 MENLO PARK, CA

HOFMANN RESIDANCE  
 1074 DEL NORTE AVE  
 MENLO PARK, CA  
 94025  
 NONCONFORMING STRUCTURE CALCS.

SCALE: 1/8" = 1'  
 DRAWN: WN  
 DATE: 04/06/17

SHEET  
**A.10**



## STAFF REPORT

### Planning Commission

**Meeting Date:** 9/11/2017  
**Staff Report Number:** 17-058-PC

**Public Hearing:** Use Permit/Srinath Narayanan/1005 Almanor Avenue

### Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish an one-story, single-family residence with a detached garage and to construct a new two-story, single-family residence with an attached garage and a basement on a substandard lot with regards to lot width in the R-1-U (Single-Family Urban Residential) zoning district. As part of the proposed development, one heritage London plane tree in the left corner of the rear yard is proposed for removal. The recommended actions are included as Attachment A.

### Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

### Background

#### *Site location*

The project site is located at 1005 Almanor Avenue in the Flood Triangle neighborhood. Using Almanor Avenue in the north-south orientation, the subject property is on the west side of Almanor Avenue between Bay Road and Van Buren Road. A location map is included as Attachment B. Adjacent parcels are also zoned R-1-U, with a mix of one- and two-story, single-family residences. Older residences in the neighborhood are generally one story in height, while newer residences are typically two stories in height. Single-story residences in the neighborhood tend to have a ranch or bungalow architectural style, while two-story residences have a variety of styles including contemporary, craftsman, and Tudor architectural styles.

### Analysis

#### *Project description*

The subject site is currently occupied by an existing one-story, single-family residence and a detached one-car garage. The applicant is proposing to demolish both buildings and construct a new two-story, single-family residence with an attached two-car garage and a basement. The subject lot is substandard with regard to lot width, with a lot width of 64 feet where 65 feet is required. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would have a floor area of 2,974.4 square feet where 3,034 square feet is the allowable floor area limit (FAL), and a building coverage of 25.5 percent where 35 percent is the maximum

permitted. The basement is not included in the FAL except for 33 square feet, which extends beyond the building footprint of the house. The residence would have five bedrooms and six-and-a-half bathrooms, with two bedrooms and two-and-a-half bathrooms in the basement, one bathroom on the first floor, and three bedrooms and three bathrooms on the second floor. The residence would have three light wells, one on the left, rear, and right sides of the house. The light wells do not count towards floor area and building coverage and are outside the required setbacks. The residence would have a porch at the front side of the house. The porch does not count toward floor area but contributes to building coverage. The residence would have an overall height of 28 feet, which is the maximum allowable height of 28 feet. The proposal would be in compliance with daylight plane requirements. The proposed balcony would meet the balcony setback requirements.

### ***Design and materials***

The applicant describes the proposed residence as a modern farmhouse style, featuring a standing seam metal roof, wood trim, and board and batten siding. The front elevation would feature a stained wood garage door adorned with a wood trellis above and a front porch featuring a stained wood front door under a second floor front balcony. The various elements of the front façade, including the trellis, awning over the window on the first floor right side, and stained wood doors add texture and visual interest. The roof would be made of standing seam metal. The exterior finish would feature vertical board and batten siding on all sides of the structure with mostly rectangular, vertically-oriented aluminum wood clad windows with interior and exterior divided lites with spacer bars in between. The light wells and balcony would have metal and wire railings. The various materials for the roof, siding, fenestration, and railings are compatible with one another and reflect the modern farmhouse style.

The massing of the house would be balanced with the second floor centered and featuring slight protrusions on the front, right, and left sides. The first floor would also feature an inset for the front porch and pop outs for the three light wells that break the massing of the house. Additionally, the varying gable and hip roof forms would help minimize the perception of building massing as the first floor would have gabled roof forms and the second floor would have hip roof forms. Most of the second-floor windows would have sill heights with a minimum of three feet and a maximum of five feet to promote privacy.

Staff believes that the materials, scale, and design of the proposed residence would be compatible with those in the surrounding neighborhood.

### ***Trees and landscaping***

The project site has four trees, including two heritage trees on site and two non-heritage trees in the right-of-way. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of these trees. The applicant has designed the new house to be further back on the lot to preserve the heritage oak tree (tree #3) in the right corner of the front yard. One heritage London plane tree (tree #4) in the left corner of the rear yard is proposed to be removed due to its conflict with the proposed site improvements. One non-heritage pin oak tree (tree #1) in the right-of-way is proposed to be removed due to its conflict with the proposed driveway. Two replacement trees are proposed, which consist of a 24-inch box size ginkgo tree in the left corner of the rear yard and one 36-inch box size shumard oak tree to the left of the existing pin oak tree location in the right-of-way, which was requested by the City Arborist. The applicant has submitted a heritage tree removal permit application for tree #4 and received tentative approval from the City Arborist pending Planning Commission approval of the overall project. No other trees are proposed for removal.

During the demolition phase of the project, the remaining heritage tree in the front yard (tree #3) and the remaining street tree #2 would be protected by tree protection fencing. The Tree Protection Plan includes measures for hand digging, root pruning, canopy pruning, fertilization, mulching, and inspections as needed. Recommended tree protection measures, including specific measures to ensure the protection of heritage tree #3, would be ensured through recommended condition 3g.

### **Correspondence**

In the project description letter (Attachment E), the applicant states that they met with neighbors to show them the proposed plans and have received positive feedback. The neighbor at 1007 Almanor Avenue submitted a letter (Attachment G) expressing concern about the excavation for the new basement and wanted to make sure it will not cause any issue with the foundation under his residence. After consulting the Building Official regarding the neighbor's concern, staff requested a shoring plan for the right adjacent side of the proposed house to verify that the excavation for the proposed basement would not compromise the neighboring property's foundation. The Building Official has reviewed the shoring plan and believes the proposed project would not have a negative impact to the neighboring property's foundation. Staff has not received any other correspondence on the proposed project.

### **Conclusion**

Staff believes the scale, materials, and design of the proposed residence are in keeping with other homes in the vicinity. The gabled and hipped standing seam metal roof, board and batten siding, and aluminum wood clad windows would create a design for the proposed single-family residence that would be compatible with similar structures in the greater neighborhood. Although the project would be a two-story residence, the applicant has varied the roof forms and designed pop-outs and insets on the first and second floor to minimize the perception of building massing. In addition, relatively high sill heights are proposed for all of the second-floor windows to promote privacy. The remaining heritage tree on the subject property would be protected by tree protection fencing and specific measures outlined in the arborist report. Additional landscaping would also be planted to replace the heritage tree on site to be removed and the non-heritage street tree. Staff recommends that the Planning Commission approve the proposed project.

### **Impact on City Resources**

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

### **Environmental Review**

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

### **Public Notice**

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

### **Appeal Period**

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

### **Attachments**

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Correspondence

### **Disclaimer**

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

### **Exhibits to Be Provided at Meeting**

None

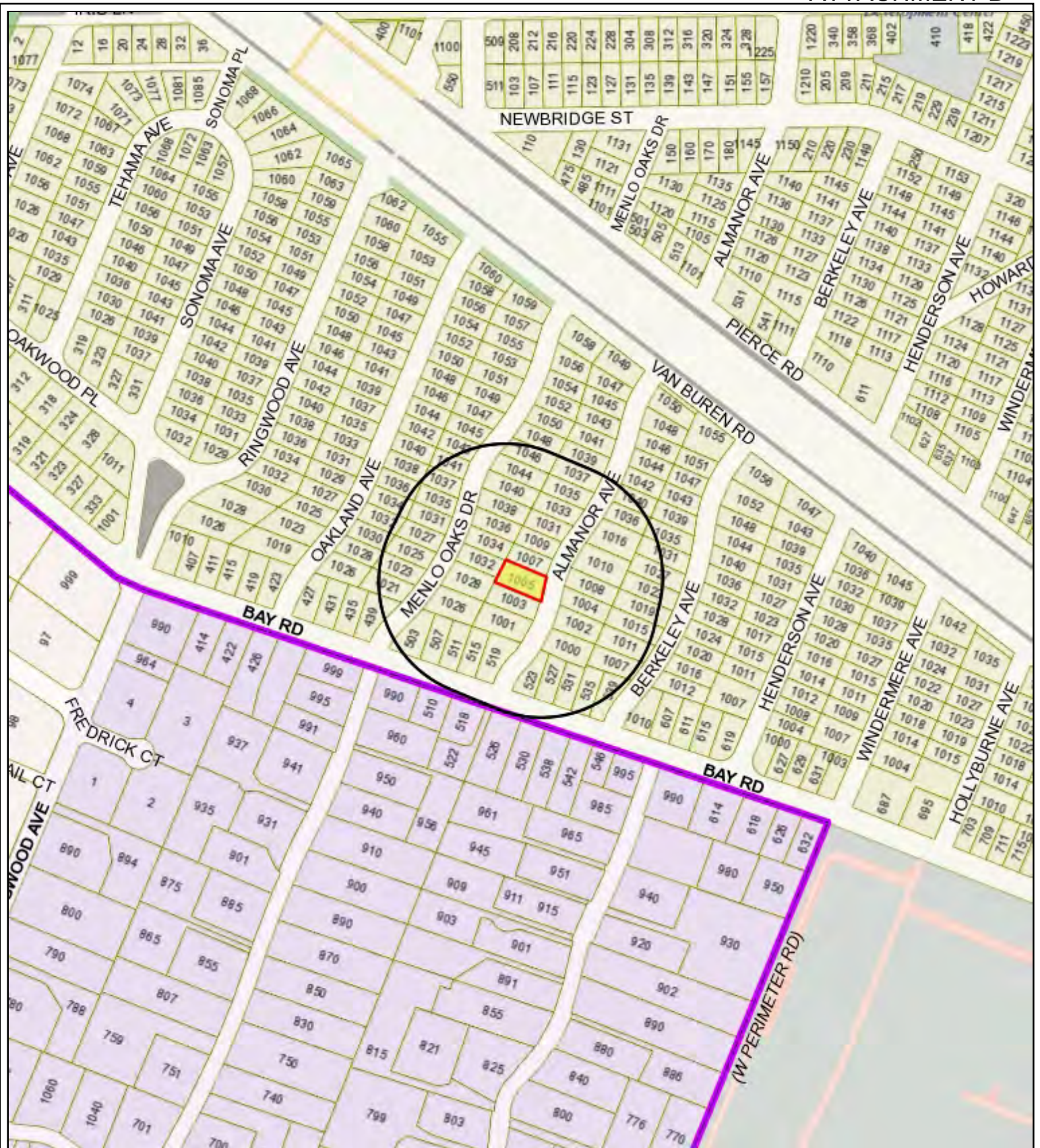
Report prepared by:  
Sunny Chao, Assistant Planner

Report reviewed by:  
Deanna Chow, Principal Planner

1005 Almanor Avenue – Attachment A: Recommended Actions

<b>LOCATION:</b> 1005 Almanor Avenue	<b>PROJECT NUMBER:</b> PLN2017-00025	<b>APPLICANT:</b> Srinath Narayanan	<b>OWNER:</b> Srinath Narayanan
<b>REQUEST:</b> Request for a use permit to demolish a one-story, single-family residence and detached garage and construct a two-story, single-family residence with an attached garage and a basement on a substandard lot with respect to lot width in the R-1-U (Single Family Urban Residential) zoning district. As part of the project, one heritage magnolia tree in the front yard is proposed for removal.			
<b>DECISION ENTITY:</b> Planning Commission	<b>DATE:</b> September 11, 2017	<b>ACTION:</b> TBD	
<b>VOTE:</b> TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p><b>ACTION:</b></p> <ol style="list-style-type: none"> <li>1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.</li> <li>2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</li> <li>3. Approve the use permit subject to the following <b>standard</b> conditions:             <ol style="list-style-type: none"> <li>a. Development of the project shall be substantially in conformance with the plans prepared by Greg Miller Designs consisting of 12 plan sheets, dated received August 31, 2017, and approved by the Planning Commission on September 11, 2017, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.</li> <li>b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project.</li> <li>c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.</li> <li>d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.</li> <li>e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.</li> <li>f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.</li> <li>g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the recommendations in the arborist report by McClenahan Consulting, LLC dated December 17, 2016 (revised May 1, 2017).</li> </ol> </li> </ol>			





City of Menlo Park  
 Location Map  
 1005 Almanor Avenue

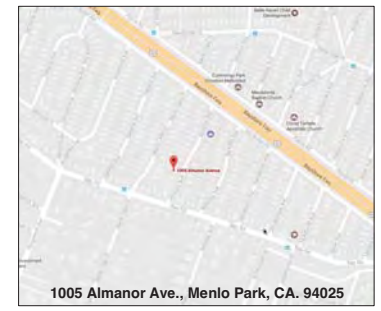


1005 Almanor Avenue – Attachment C: Data Table

	<b>PROPOSED PROJECT</b>	<b>EXISTING PROJECT</b>	<b>ZONING ORDINANCE</b>
Lot area	7,936 sf	7,936 sf	7,000 sf min.
Lot width	64 ft.	64 ft.	65 ft. min.
Lot depth	114 ft.	114 ft.	100 ft. min.
Setbacks			
Front	37 ft.	49.8 ft.	20 ft. min.
Rear	33 ft.	38 ft.	20 ft. min.
Side (left)	6.5 ft.	3.3 ft.	6.4 ft. min.
Side (right)	6.5 ft.	4 ft.	6.4 ft. min.
Building coverage	2,024.9 sf	2,166.4 sf	2,777.6 sf max.
	25.5 %	27.3 %	35 % max.
FAL (Floor Area Limit)	2,974.4 sf	2,166.4 sf	3,034 sf max.
Square footage by floor	1,512.1 sf/1st	1,818.0 sf/1st	
	979.5 sf/2nd	348.4 sf/garage	
	449.8 sf/garage	403 sf/trellis	
	2,557 sf/basement		
	21 sf/fireplaces		
	42 sf/porches		
Square footage of buildings	5,561.4 sf	2,569.4 sf	
Building height	28 ft.	14 ft.	28 ft. max.
Parking	2 covered	1 covered/1 uncovered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees	2	Non-Heritage trees*	2	New Trees	8
	Heritage trees proposed for removal	1	Non-Heritage trees proposed for removal	1	Total Number of Trees	10

\*Includes two trees in the right-of-way.



**PROJECT DESCRIPTION:**  
NEW SINGLE FAMILY RESIDENCE - TWO STORY WITH BASEMENT  
(DEMOLISH EXISTING SINGLE FAMILY RESIDENCE)  
FIRE SPRINKLER SYSTEM IS REQUIRED  
APN: 062-051-130

**CONTACT INFORMATION:**

**OWNER:**  
SRINATH NARAYANAN AND  
PRIYA SRINATH  
1005 ALMANOR AVE.  
MENLO PARK, CA. 94025

**ARBORIST:**  
MCLENAHAN CONSULTING, LLC  
JOHN H. MCLENAHAN  
ISA BOARD CERTIFIED MASTER ARBORIST,  
WE-1476B

**DESIGNER:**  
GREG MILLER  
GREG MILLER DESIGNS  
831-338-1121  
GREGMILLER@GMAIL.COM

**GEOTECHNICAL CONSULTANT:**  
ROMIG ENGINEERS, INC.  
1390 EL CAMINO REAL  
SAN CARLOS, CA. 94070  
650-591-5224

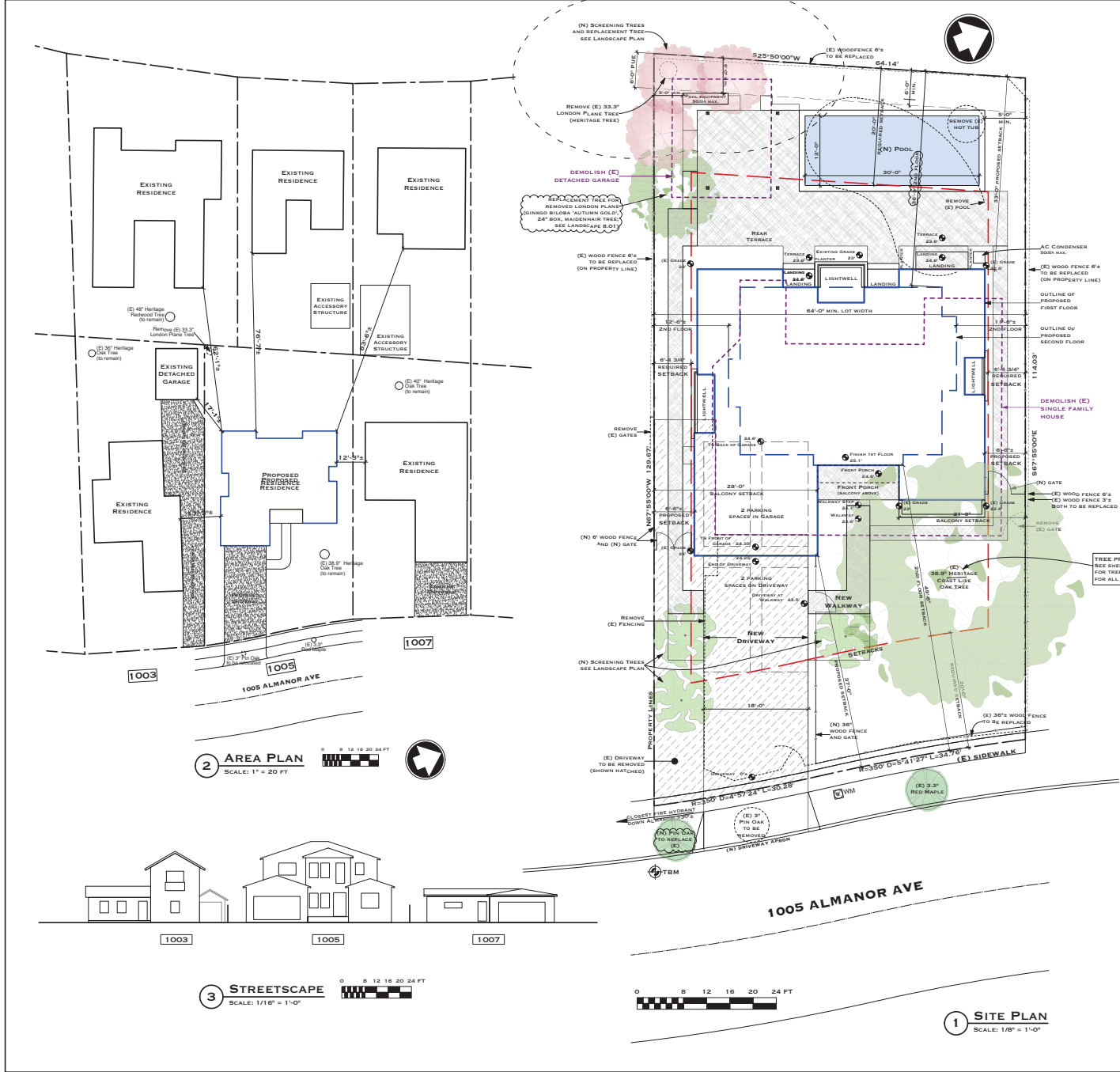
**SITE ANALYSIS**

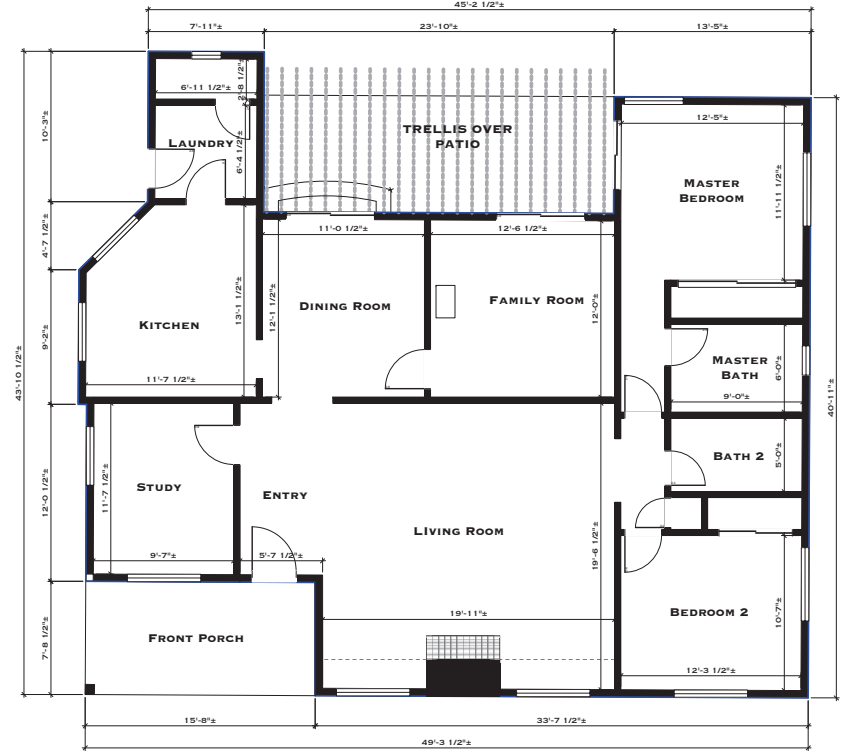
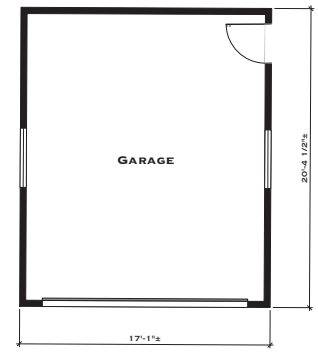
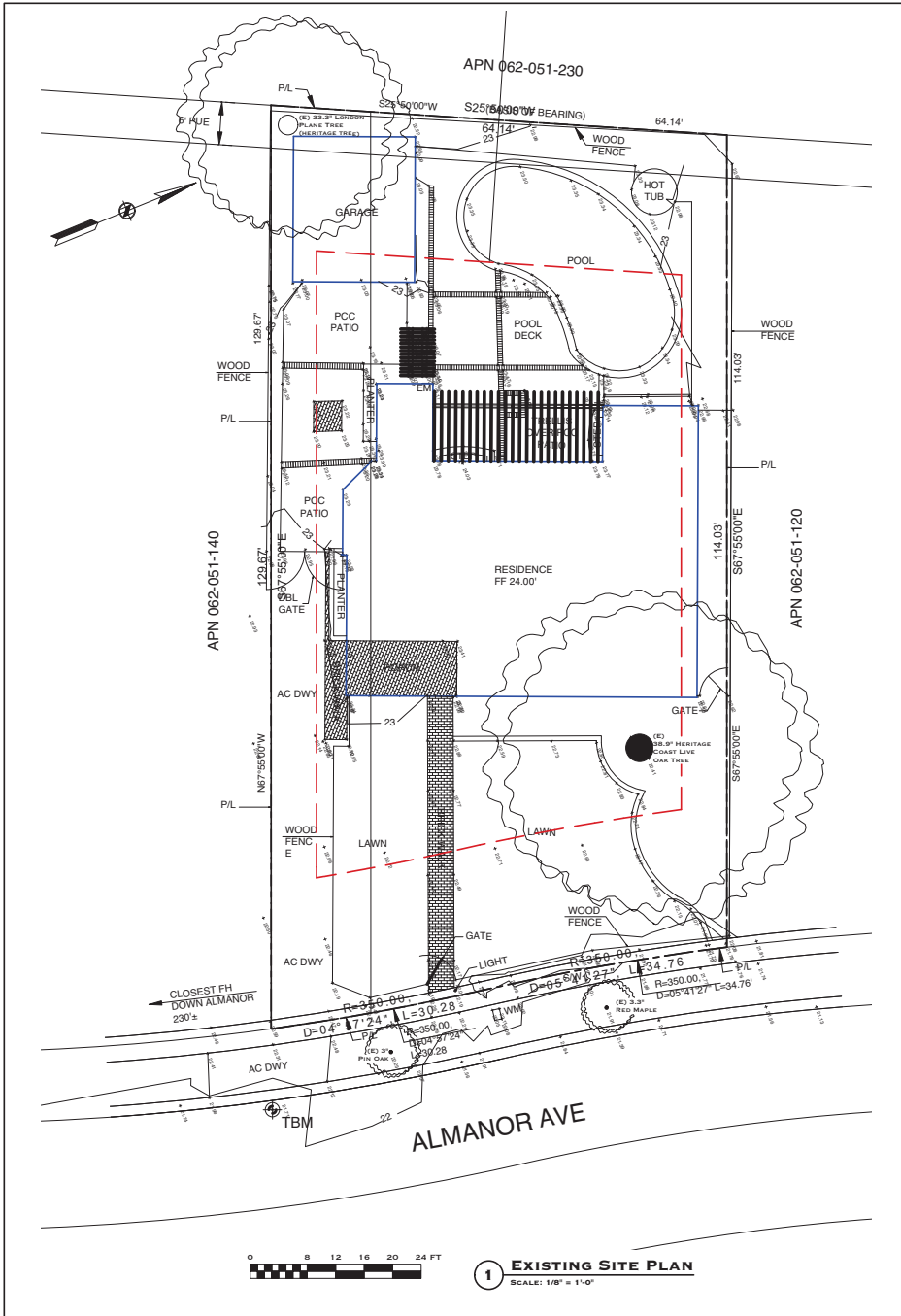
LOCATION: 1005 Almanor Avenue  
APPLICATION: Use Permit

ZONING:	RTU
Total Square Footage of Parcel:	7936 sq ft (not to line same)
Existing Main Residence:	1697.7 sq ft
Existing Garage:	339.2 sq ft
<b>Total Existing Square Footage:</b>	<b>2046.1 sq ft</b>
Proposed First Floor (inc. garage):	1961.9 sq ft
Proposed Second Floor:	979.5 sq ft
<b>Total Proposed Square Footage:</b>	<b>2941.4 sq ft</b>
Existing Building Coverage:	2168.4 sq ft 27.33%
Proposed Building Coverage:	2024.9 sq ft 25.51%
Paved Coverage:	2868.5 sq ft 36.15%
Landscaped Coverage:	874.0 sq ft 11.00%
Parking:	2 covered/2 uncovered 4 total

**SHEET INDEX:**

A1	PROJECT INFORMATION AND SITE PLAN
A2.0	EXISTING SITE PLAN AND FLOOR PLAN
A2.1	FIRST FLOOR, SECOND FLOOR
A3	BASEMENT, ROOF PLAN
A4	PROPOSED ELEVATIONS
A4.1	EXITING ELEVATIONS
A5	FLOOR AREA CALCULATION
A6	SECTIONS AND PERSPECTIVE
SP1	SHORING PLAN
C1.0	TOPOGRAPHIC SURVEY
L8.01	PLANTING PLAN AND PLANT PROTECTION AND REMOVAL PLAN
L8.02	PLANT PROTECTION AND REMOVAL DETAILS
L9.01	IRRIGATION PLAN
L10.01	HYDROZONE (WELO) PLAN





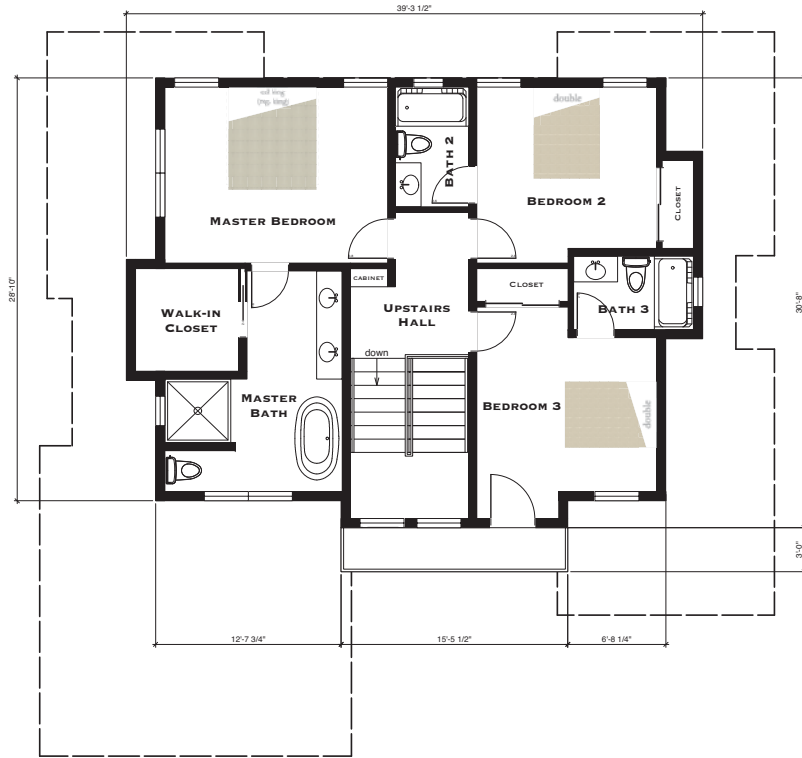
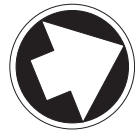
**GREG MILLER**  
 215 W. HILTON DRIVE  
 BOULDER CREEK, CA. 95006  
 931.336.1121  
 gregmiller@pbcox.com

**SRINATH**  
 1005 ALMANOR AVE.  
 MENLO PARK, CA. 94025

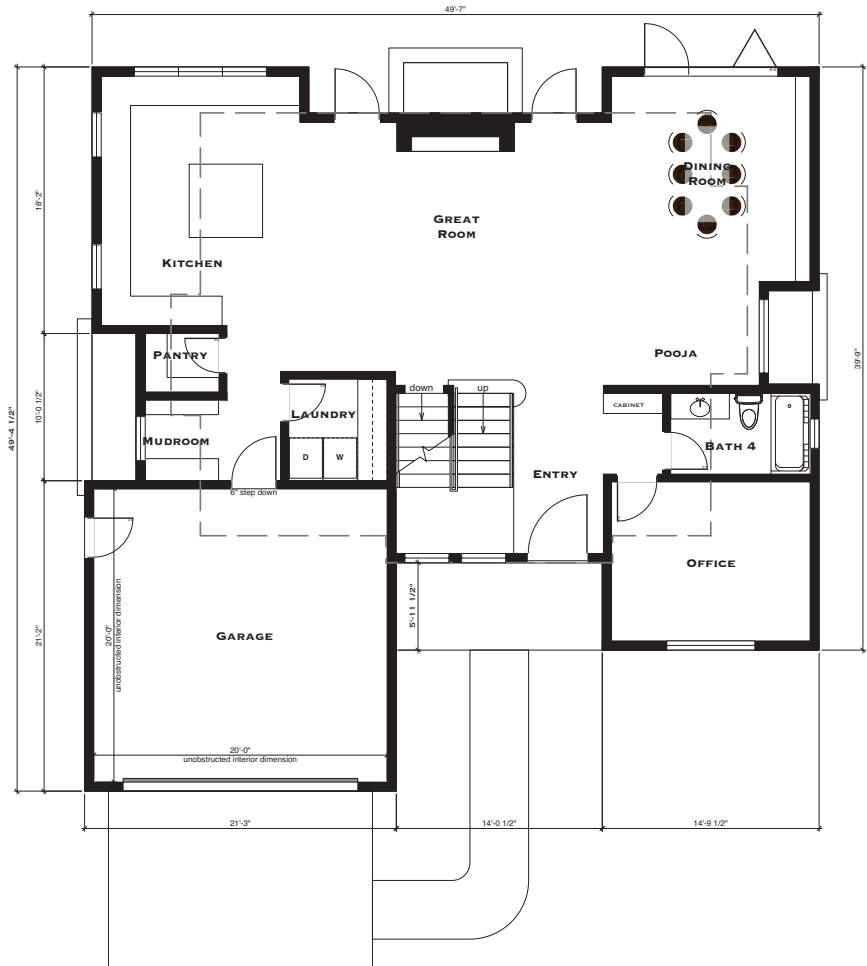
**EXISTING SITE PLAN  
 AND FLOOR PLAN**

3/14/17  
 Revisions:  
 7/21/17

**A2.0**

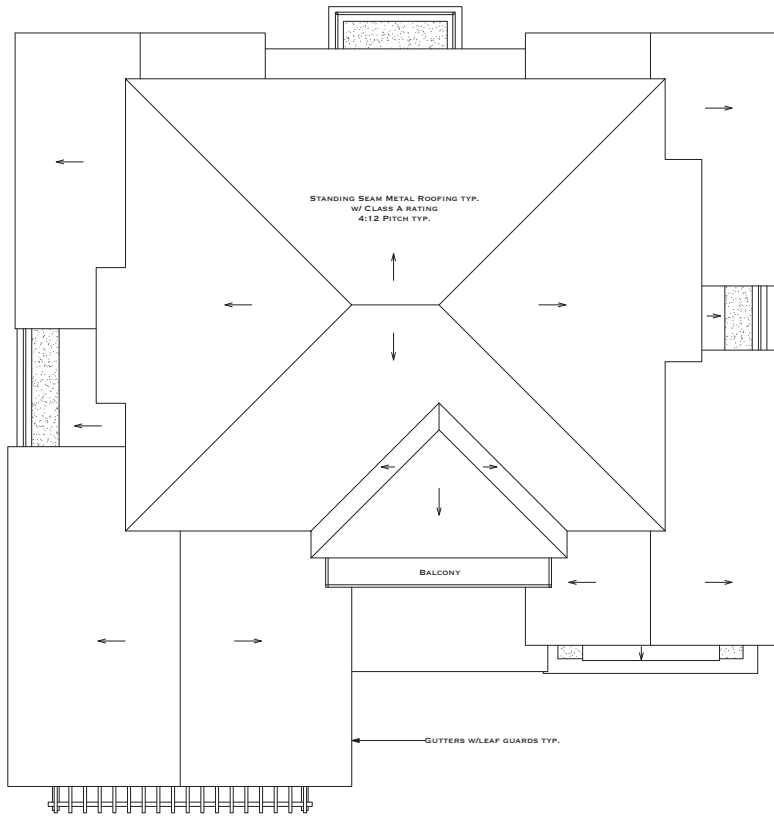


**2** PROPOSED SECOND FLOOR  
SCALE: 1/4" = 1'-0"



**1** PROPOSED FIRST FLOOR  
SCALE: 1/4" = 1'-0"



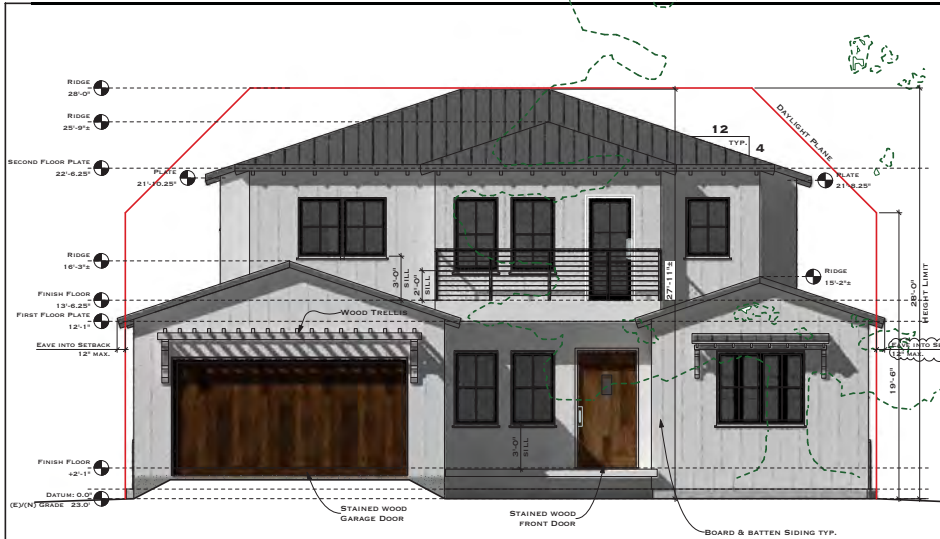


**2 PROPOSED ROOF PLAN**  
SCALE: 1/4" = 1'-0"

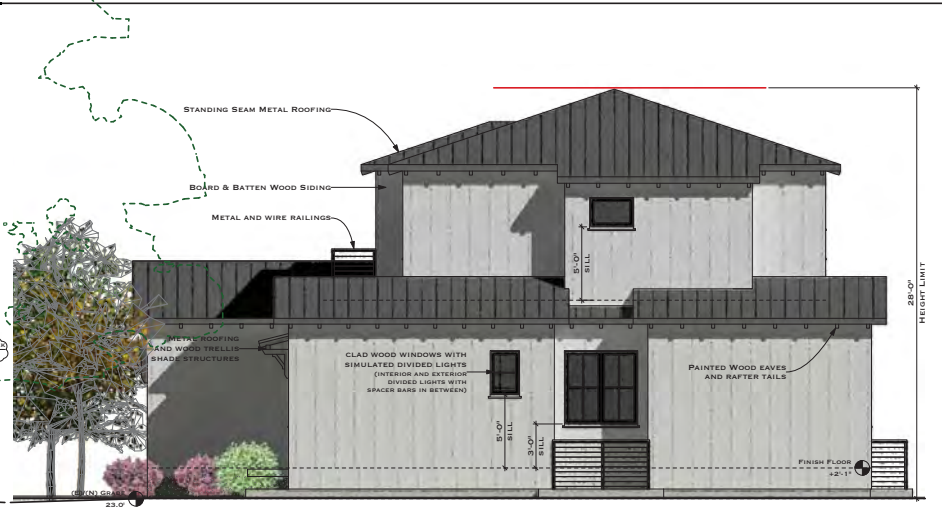


**1 PROPOSED BASEMENT**  
SCALE: 1/4" = 1'-0"





**1 FRONT ELEVATION (EAST)**  
SCALE: 1/4" = 1'-0"



**2 RIGHT SIDE ELEVATION (NORTH)**  
SCALE: 1/4" = 1'-0"



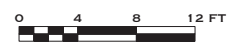
**4 REAR ELEVATION (WEST)**  
SCALE: 1/4" = 1'-0"



**3 LEFT SIDE ELEVATION (SOUTH)**  
SCALE: 1/4" = 1'-0"



RECENT MENLO PARK REFERENCES





**EXISTING FRONT ELEVATION (EAST)**



**EXISTING RIGHT ELEVATION (NORTH)**



**EXISTING LEFT ELEVATION (FROM REAR)**



**EXISTING LEFT ELEVATION (SOUTH)**



**EXISTING LEFT ELEVATION (FROM FRONT)**



**EXISTING REAR ELEVATION (WEST)**



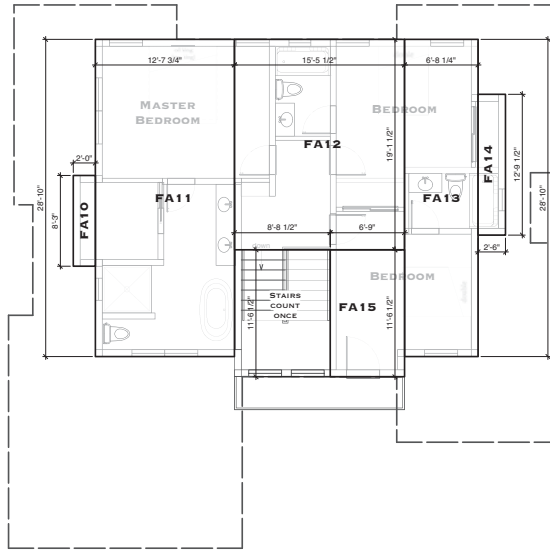
**EXISTING DETACHED GARAGE ELEVATION**

**1 EXISTING ELEVATIONS (PHOTOS)**  
SCALE: ACTUAL SIZE

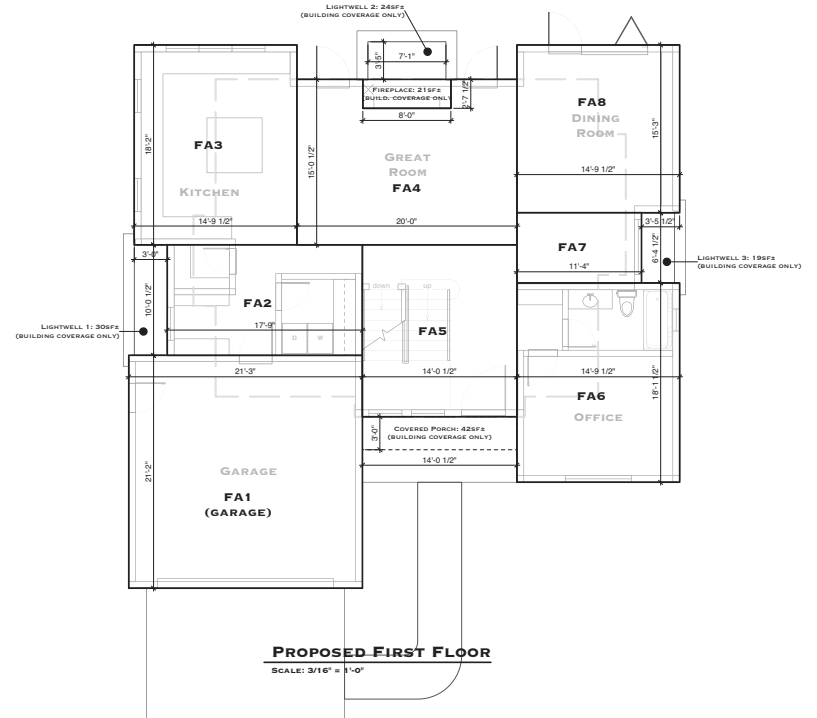
3/14/17

Revisions:  
7/21/17





**PROPOSED SECOND FLOOR**  
SCALE: 3/16" = 1'-0"



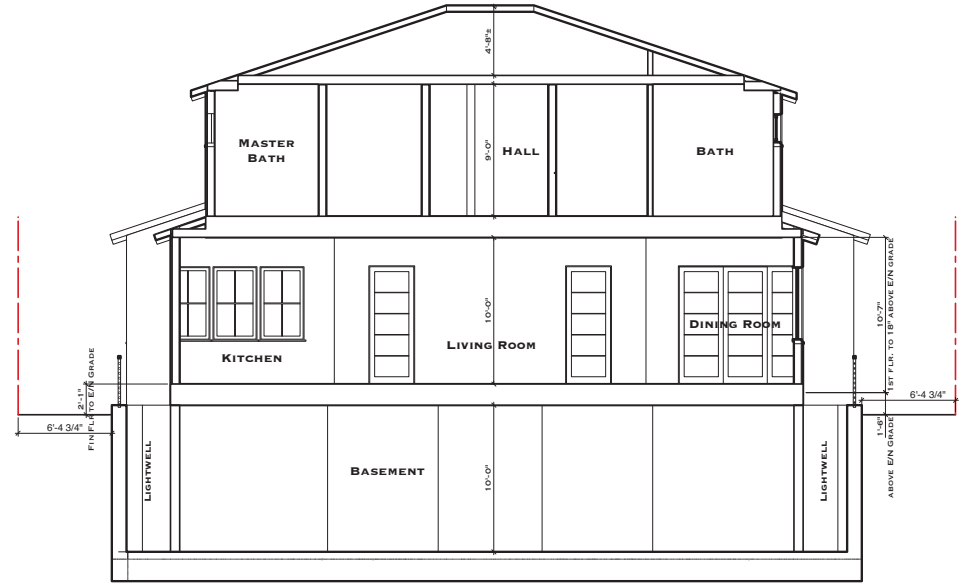
**PROPOSED FIRST FLOOR**  
SCALE: 3/16" = 1'-0"

FLOOR AREA CALCULATION		BUILDING COVERAGE CALCULATION	
FIRST FLOOR	FLOOR AREA	FIRST FLOOR	FLOOR AREA
FA1 (GARAGE)	549.8 SF	FA1 (GARAGE)	549.8 SF
FA2	178.2 SF	FA2	178.2 SF
FA3	268.7 SF	FA3	268.7 SF
FA4	279.8 SF	FA4	279.8 SF
FA5	219.4 SF	FA5	219.4 SF
FA6	268.1 SF	FA6	268.1 SF
FA7	72.3 SF	FA7	72.3 SF
FA8	225.5 SF	FA8	225.5 SF
<b>SUBTOTAL FIRST FLOOR:</b>	<b>1981.8 SF</b>	FIREPLACE	21.0 SF
		COVERED PORCH	42.0 SF
SECOND FLOOR			
FA10	16.5 SF		
FA11	36.5 SF		
FA12	205.5 SF	TOTAL BUILDING COVERAGE:	2008.8 SF
FA13	192.8 SF		
FA14	32.0 SF		
FA15	72.9 SF		
<b>SUBTOTAL SECOND FLOOR:</b>	<b>679.5 SF</b>		
<b>TOTAL FLOOR AREA:</b>	<b>2661.3 SF</b>		

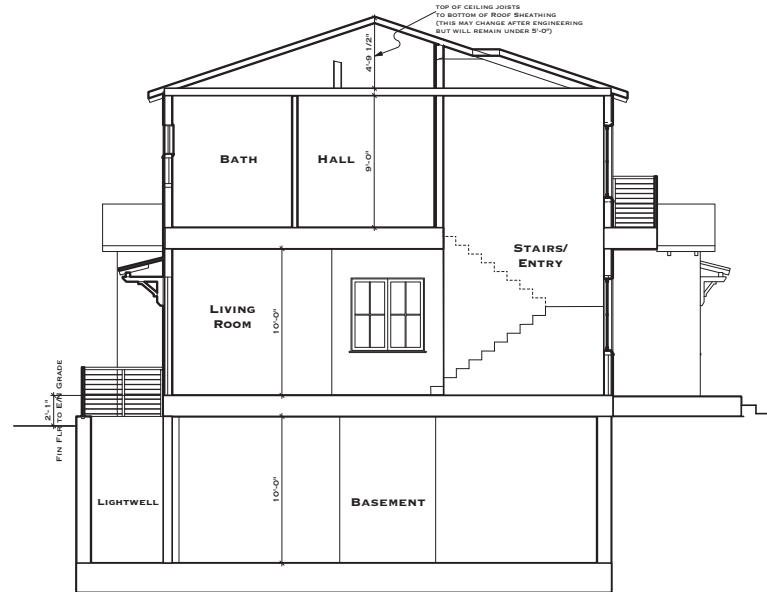
**1 FLOOR AREA CALCULATION**  
SCALE: 3/16" = 1'-0"



**3 PERSPECTIVE**  
SCALE: 1/32



**1 SECTION 1**  
SCALE: 1/4" = 1'-0"



**2 SECTION 2**  
SCALE: 1/4" = 1'-0"



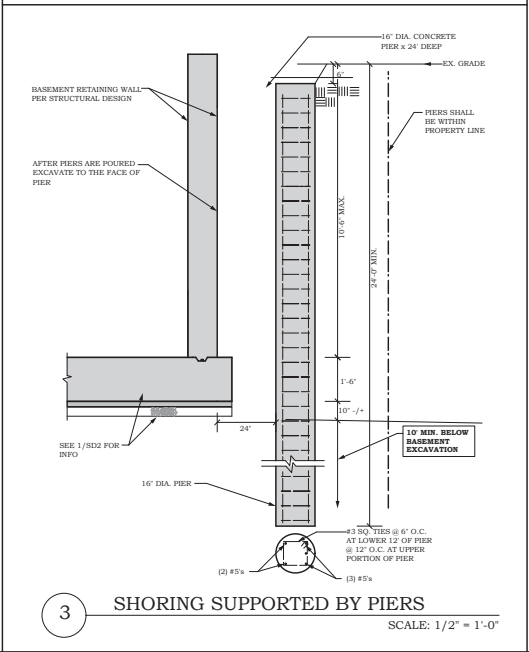
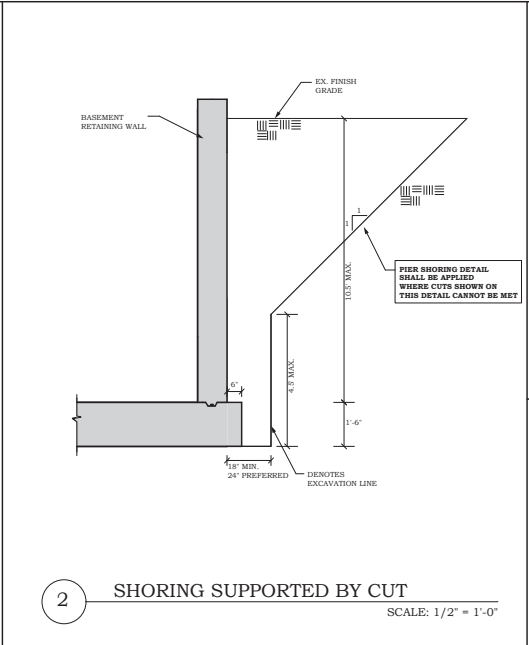
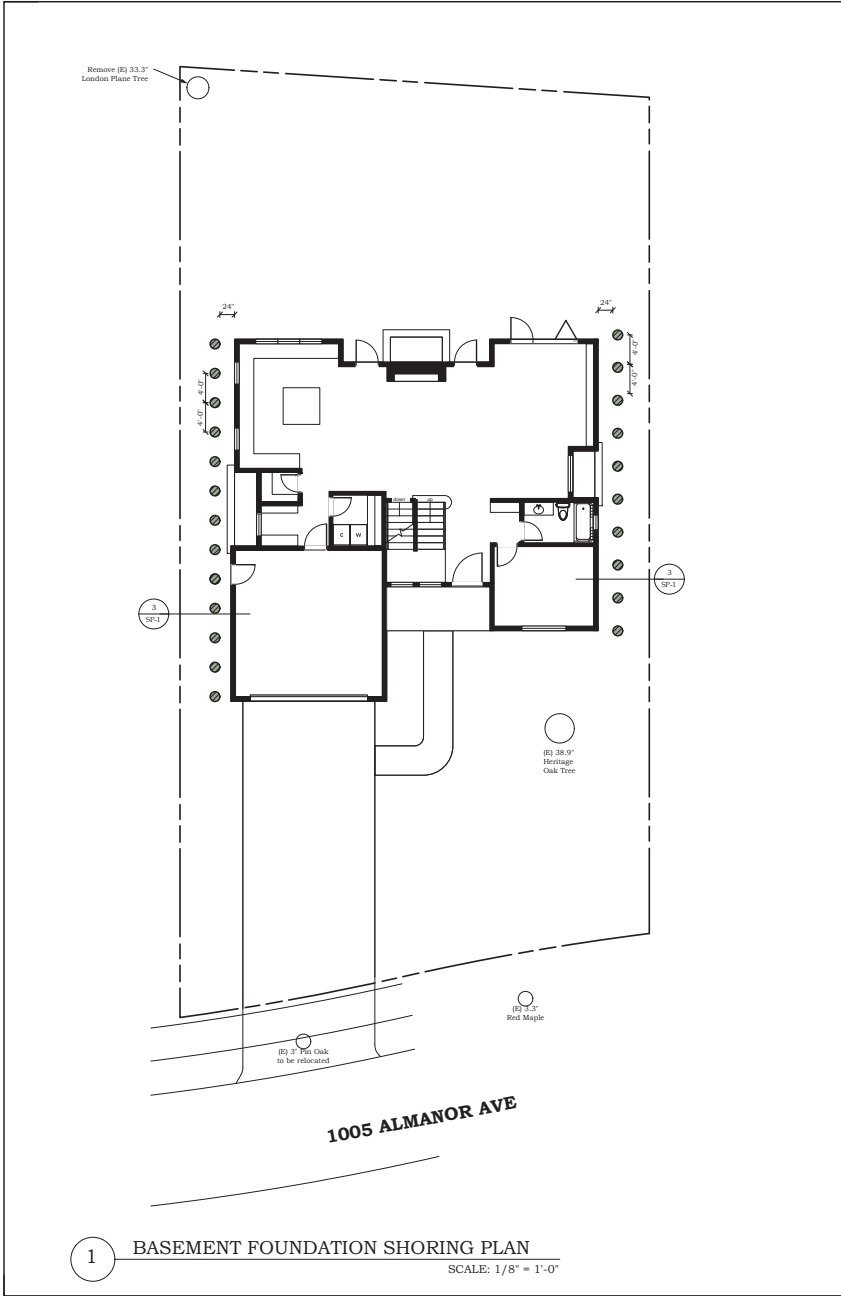
**GREG MILLER DESIGNS**  
212 W. HILTON DRIVE  
BOULDER CREEK, CA. 95006  
GREGMILLER@GMAIL.COM

**SRINATH**  
1005 ALMADOR AVE.  
MENLO PARK, CA. 94025

**SECTIONS AND PERSPECTIVE**

3/14/17  
Revisions:  
7/21/17

**A6**



**PERMITS & DESIGN:**  
 1. A SEPARATE ENCROACHMENT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY. VISIT THE CITY'S WEBSITE AT [www.ci.paloalto.ca.us](http://www.ci.paloalto.ca.us) TO VIEW ENCROACHMENT PERMIT REQUIREMENTS. PERMITS FROM UTILITY COMPANIES MUST BE OBTAINED PRIOR TO APPLICATION OF THE ENCROACHMENT PERMIT.  
 2. CONTACT PUBLIC WORKS AT 650-496-5653 TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF PUBLIC IMPROVEMENT WORK TO SCHEDULE A PRECONSTRUCTION MEETING AND FOR EACH SUBSEQUENT DAY OF WORK IN THE PUBLIC RIGHT OF WAY.

**TREES:**  
 1. PROVIDE PROTECTIVE TREE FENCING AS SHOWN ON PLANS AND PER CITY OF PALO ALTO STANDARDS.  
 2. PROTECT ALL TREES AND ROOT SYSTEMS FROM DAMAGE DURING GRADING OPERATIONS. MINIMIZE DISTURBANCE TO EXISTING VEGETATION. INSTALL EROSION CONTROL FENCING AS SHOWN DURING GRADING OPERATIONS.

**SHORING:**  
 1. INSTALL SHORING PIERS TO DEPTHS INDICATED PER PLANS BEFORE BEGINNING EXCAVATION WORK. EXCAVATION & BACKFILLING:  
 2. EXCAVATE TO GRADES SHOWN ON PLAN - DO NOT OVER EXCAVATE.  
 3. ALL FILL TO BE NON-ORGANIC GRANULAR SOIL OR IMPORTED CLASS II BASE ROCK, MACHINE COMPACTED AT 95% COMPACTION, UNLESS NOTED OTHERWISE. SEE PROJECT SOIL REPORT FOR SPECIFIC RECOMMENDATIONS.  
 4. WHERE THE EXCAVATION FOR STRUCTURES OR TRENCHES IS MORE THAN FIVE FEET (5') IN DEPTH THE CONTRACTOR SHALL PROVIDE SHEATHING, SHORING AND BRACING IN CONFORMANCE WITH THE APPLICABLE CONSTRUCTION SAFETY ORDINANCE OF THE JURISDICTION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEATHED SO THAT THE EARTH WILL NOT SLURF OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM LACK OF ADEQUATE SHORING, BRACING AND SHEATHING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL COMPLETE NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. THE CONTRACTOR SHALL COMPLY WITH USHA REQUIREMENTS AT ALL TIME.

**DEWATERING:**  
 1. DO NOT DISCHARGE ANY WATER FROM THIS SITE INTO THE PUBLIC RIGHT OF WAY. NO EXCAVATION DEWATERING IS AUTHORIZED UNDER THIS PERMIT.  
 2. A SEPARATE STREET WORK PERMIT IS REQUIRED FOR ANY CONSTRUCTION DEWATERING. VISIT THE CITY WEBSITE AT [www.ci.paloalto.ca.us](http://www.ci.paloalto.ca.us) TO VIEW STREET WORK PERMIT REQUIREMENTS.

**4 SHORING & EXCAVATION NOTES**

**TECHNICAL NOTE:**  
 GEOTECHNICAL ENGINEER: PG SOLLS, INC.  
 901 ROSE CROFT  
 BURLINGAME, CA  
 TEL: 650-347-3844  
 FAX: 650-344-6772

**BEFORE CONSTRUCTION:**  
 A GEOTECHNICAL ENGINEER SHALL REVIEW AND APPROVE THE FOLLOWING IN WRITING:  
 1) STRUCTURAL PLANS.  
 2) GRADING AND DRAINAGE PLANS.

**DURING CONSTRUCTION:**  
 A GEOTECHNICAL ENGINEER MUST BE RETAINED TO:  
 1) OBSERVE THE GRADING AND PERFORM FIELD TEST (IF NECESSARY) TO VERIFY COMPLIANCE WITH THE GRADING RECOMMENDATIONS.  
 2) PROVIDE ANY OTHER ON-SITE REVIEW IF INDICATED BY THE GEOTECHNICAL REPORT OR THE IMPLEMENTATION OF THE RECOMMENDATIONS IN THE REPORT.  
 REFER TO THE GEOTECHNICAL REPORT FOR OTHER RECOMMENDATIONS NOT NOTED.

**NOTE:** GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PROVIDE SUFFICIENT OBSERVATION AND TESTING DURING THE GRADING AND FOUNDATION PHASE OF CONSTRUCTION TO CORRELATE THE FINDINGS OF THE SOILS INVESTIGATION REPORT WITH THE ACTUAL SUBSURFACE CONDITIONS EXPOSED DURING CONSTRUCTION AND TO CONFIRM THAT FOUNDATION ELEMENTS PENETRATE AND ARE FOUNDED IN THE RECOMMENDED SOILS.

**STRUCTURAL NOTES:**  
 CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS AND GRADES. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN FIELD AND NOTIFY THEIR OFFICE OF ANY DISCREPANCIES FOR CLARIFICATION AND/OR RESOLUTION, PRIOR TO COMMENCEMENT OF WORK.  
 CONTRACTOR SHALL MEET WITH THE ENGINEER AT LEAST 2 WEEKS PRIOR TO START OF CONSTRUCTION OR DEMOLITION. ENGINEER TO REVIEW FOUNDATION PRIOR TO CONCRETE POURING. ENGINEER SHALL ALSO REVIEW SHEAR WALLS AND HOLDINGS. NOTIFY ENGINEER AT LEAST 72 HOURS IN ADVANCE.  
**ALL WORK SHALL CONFORM WITH 2013 CALIFORNIA BUILDING CODE & 2012 INTERNATIONAL BUILDING CODE AS WELL AS ALL APPLICABLE LOCAL CODES IS ENFORCE AT THE TIME OF CONSTRUCTION.**

**CONCRETE:**  
 S-1. REGULAR WEIGHT MASS ROCK. MIN. 28 DAY COMPRESSIVE STRENGTH - 3,000 psi PER CBC MIN. FOR RESIDENTIAL AND MAX. SLUMP - 4 in. USE TYPE I CEMENT PER ASTM C150. SPECIAL INSPECTION IS NOT REQUIRED PER CBC.  
 S-2. ALL CAST IN PLACE CONCRETE PIERS TO BE 2500 psi.  
 S-3. CONCRETE COVER:

	MINIMUM COVER, inches (mm)
A. Concrete cast against and permanently exposed to earth	3 (76)
B. Concrete exposed to earth or weather:	
No. 6 through No. 18 bar	2 (51)
No. 3 bar, W11 or D11 wire, and smaller	1 1/2 (38)
C. Concrete not exposed to weather or in contact with ground:	
Slabs, walls, joist:	
No. 14 and No. 18 bar	1 1/2 (38)
No. 11 bar and smaller	3/4 (19)
Beams, columns:	
Primary reinforcement, ties, stirrups, spirals	1 1/2 (38)
Shells, folded plate members:	
No. 6 bar and larger	3/4 (19)
No. 5 bar, W11 or D11 wire, and smaller	1/2 (12.7)

**STEEL:**  
 S-4. ASTM A 615 GRADE 40. SPLICES AND CORNER LAP 42 DIAMETER.  
 S-5. ANCHOR BOLTS ASTM A307 3/4" x 12 OR APPROVED EQUAL, w/ SIMPSON HP 5/8 x 3 @ 48" O.C. UNLESS NOTED OTHERWISE.

**S-6. THAT SPECIAL INSPECTION PER 2013 CBC CHAPTER 17 IS REQUIRED FOR THE FOLLOWING:**  
 A. Observation of soil excavation and foundation construction operations by geotechnical engineer.  
 B. Hold-down rods exposed into ex. foundation - see 1/SD1.

**THE ENGINEER EXPRESSLY DISCLAIMS HIS COMMON LAW LIABILITY AND OTHER PROFESSIONAL LIABILITY IN THESE AND OTHER PROJECTS. THESE AND OTHER PROJECTS ARE COVERED BY AN FORM OF WAIVER OF LIABILITY, WHICH MAY BE FOUND AT [www.pgsol.com](http://www.pgsol.com). THE ENGINEER'S LIABILITY IS LIMITED TO THE EXTENT OF THE WAIVER OF LIABILITY AND CONSENT OF THE ENGINEER. IN THE EVENT OF UNAUTHORIZED DISCLOSURE OF THESE PLANS BY A THIRD PARTY, THE ENGINEER SHALL BE HELD HARMLESS.**

**5 STRUCTURAL NOTES**



VICINITY MAP  
NOT TO SCALE

**PARCEL INFO**  
 APN - 062-051-130  
 PARCEL AREA 7698 SF CALCD GROSS

**BOUNDARY**  
 THE BOUNDARY INFORMATION IS BASED UPON THE FOLLOWING RECORD INFORMATION CONTAINED IN DOC NO. 2008 111747 RECORDED ON DECEMBER AUGUST 19, 2008 DESCRIBED AS FOLLOWS:  
 LOT 34 AND THE NORTHEASTERLY 14 FEET FRONT AND REAR MEASUREMENTS OF LOT 35, BLOCK 38 AS SHOWN ON THE MAP ENTITLED "NEWBRIDGE PARK, MAP NO. 4," FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON OCTOBER 14, 1929, IN BOOK 17 OF MAPS AT PAGE 66.

**BASIS OF BEARING**  
 THE BASIS OF BEARING IS BASED ON THE REAR PROPERTY LINE OF THE SUBJECT PROPERTY AS SHOWN ON THAT CERTAIN MAP ENTITLED "NEWBRIDGE PARK, MAP NO. 4," FILED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA ON OCTOBER 14, 1929, IN BOOK 17 OF MAPS AT PAGE 66.

**PROJECT BENCHMARK**  
 CITY OF MENLO PARK 875, ELEVATION 19.33 (NEV025) DESCRIBED AS FOLLOWS:  
 BENCH MARK DISK SET IN TOP OF CONCRETE MONUMENT 14 M NW FROM PALO ALTO - 135 METERS NORTHWEST ALONG THE BRAYBROOK FREEWAY FROM THE UNIVERSITY AVENUE OVERPASS AT PALO ALTO, AT THE INTERSECTION OF VAN BUREN ROAD AND HENDERSON AVENUE, 114 FEET SOUTHWEST OF THE SOUTHWEST EDGE OF THE SOUTHWEST LANES OF THE FREEWAY, 9.7 FEET SOUTHWEST OF THE SOUTHWEST CURB OF THE ROAD, 5.5 FEET NORTHWEST OF THE NORTHWEST CURB OF THE AVENUE, 33.2 FEET EAST OF THE NORTHEAST CORNER OF RESIDENCE 1947, 1 FOOT SOUTH OF POWER POLE 3148 SUPPORTING A STREET LIGHT, 0.6 FOOT NORTHWEST OF THE NORTHWEST EDGE OF HENDERSON AVENUE SIDEWALK, ABOUT LEVEL WITH THE SIDEWALK, AND SET IN TOP OF A CONCRETE POST PROJECTING 0.1 FOOT ABOVE GROUND.

**TEMPORARY BENCHMARK (TBM)**  
 MAO NAIL SET IN ALMANOR AVENUE IN FRONT OF THE PROJECT SITE, ELEVATION 21.71'

**FLOOD ZONE INFO**  
 FLOOD ZONE X - FIRM MAP PANEL 060505010H EFF 05/17/2009

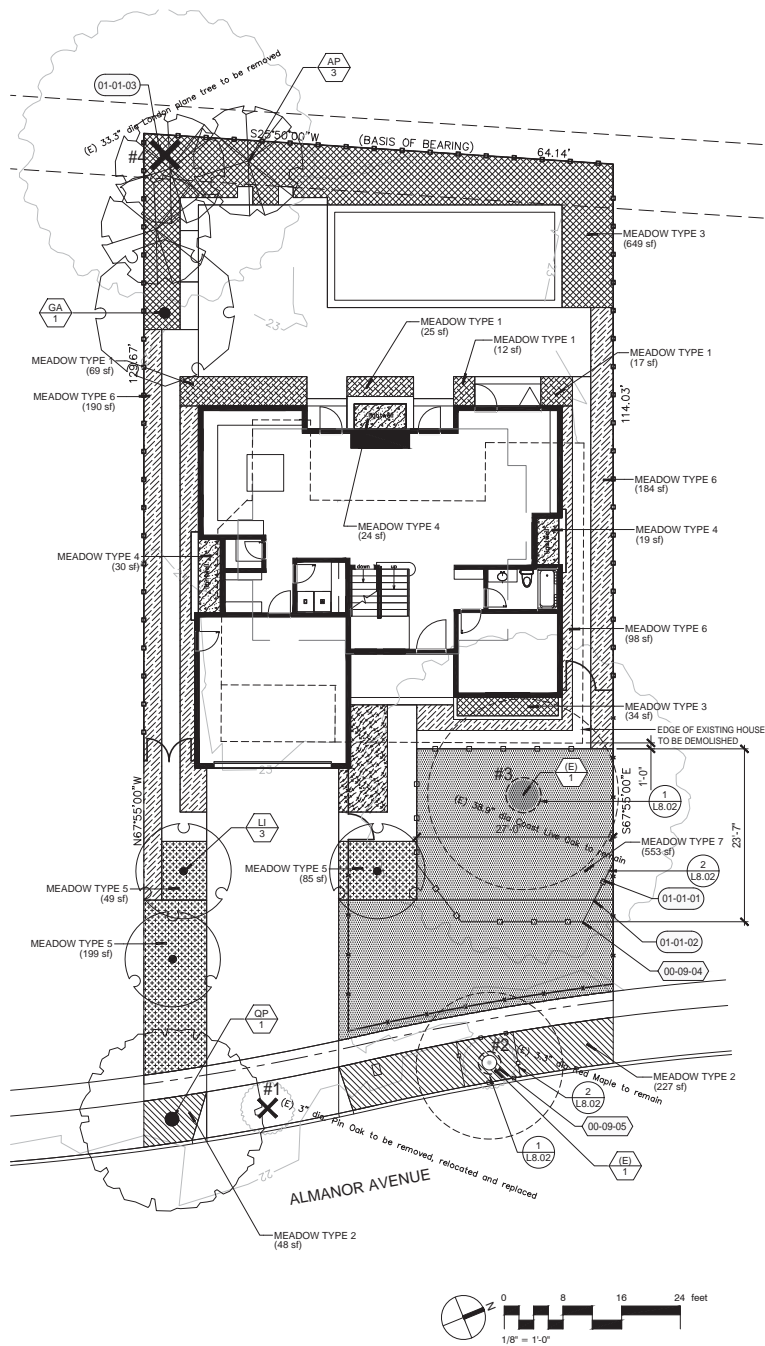
**ZONING INFO: CHAPTER 16.16 MENLO PARK MUNICIPAL CODE**  
 PARCEL ZONING: R1U SINGLE FAMILY URBAN RESIDENTIAL DISTRICT

**DEVELOPMENT REGULATIONS:**  
 MINIMUM YARDS:  
 (f) FRONT: 20 FEET  
 (g) REAR: 20 FEET  
 (i) 10 PERCENT OF MINIMUM LOT WIDTH FOR SIDES BUT NOT LESS THAN 5 FEET OR MORE THAN 10 FEET, EXCEPT STREET SIDES OF CORNER LOTS WHICH SHALL BE A MINIMUM OF 12 FEET.

**TOPOGRAPHIC SURVEY NOTES:**  
 1. TOPOGRAPHIC SURVEYS PREPARED BY JET ENGINEERING DATED July 1, 2018  
 2. RECORD BOUNDARY INFORMATION PREPARED BY JET ENGINEERING.



<b>JET ENGINEERING</b> CONSULTING CIVIL ENGINEERS 1048 EL CAMINO REAL, SUITE C REDWOOD CITY, CA 94063	<b>LANDS OF SRINATH</b> <b>1005 ALMANOR AVE</b> MENLO PARK, CA 94025	<b>TOPOGRAPHIC SURVEY</b> <b>APN: 062-051-130</b>	<b>REVISIONS</b>		<b>JOB NO. R1005-A-10</b>	<b>SHEET NO.</b>												
			<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	BY											
NO.	DATE	DESCRIPTION	BY															



### TREE SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT
(E) EXISTING TO BE REMOVED REMOVE EXISTING HERITAGE TREE #4	1		NA
(E) TREE TO REMAIN	2		NA
ACER PALMATUM / MULTI-TRUNK JAPANESE MAPLE REPLACES HERITAGE TREE #4 LONDON PLANE TREE	4		24'BOX
GINKGO BILOBA 'AUTUMN GOLD' TM MAIDENHAIR TREE	1		24'BOX
LAGERSTROEMIA INDICA / CRAPE MYRTLE OPT. A CERCIS OCCIDENTALIS/REDBUD OPTION B	3		24'BOX
QUERCUS PALUSTRIS / PIN OAK	1		24'BOX

### CONCEPT PLANT SCHEDULE

- KITCHEN GARDEN
- MEADOW TYPE 1 (FOUNDATION PLANTS SUN)
- MEADOW TYPE 2 (SUNNY OAK UNDERSTORY)
- MEADOW TYPE 3 (SHRUBBY LIKE)
- MEADOW TYPE 4 (SUNKEN LIGHT WELLS)
- MEADOW TYPE 5 (BIORENTION)
- MEADOW TYPE 6 (STEPPING STONE)
- MEADOW TYPE 7 (SHADE OAK UNDERSTORY)

### PLANT PROTECTION & REMOVAL REFERENCE NOTES

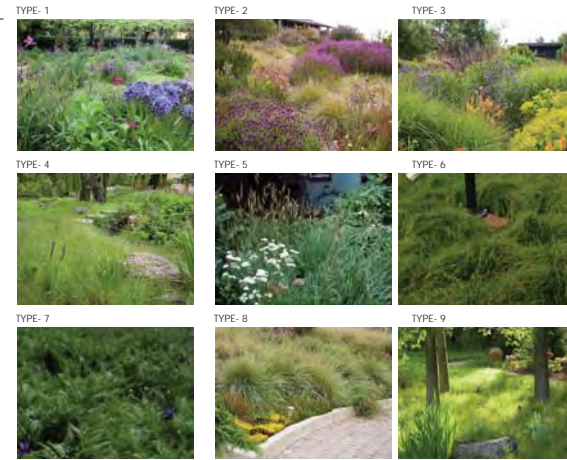
- SYMBOL DESCRIPTION**
- (01-01-01) BECAUSE THE EXISTING HOME IS LOCATED WITHIN THE TREE PROTECTION ZONE OF TREE #3 (COAST LIVE OAK), THE CONTRACTOR SHALL IMPLEMENT THE TREE PROTECTION FENCE PLAN IN TWO PHASES: TREE PROTECTION DURING THE DEMOLITION PHASE OF THE EXISTING HOME, AND AN ENLARGED TREE PROTECTION ZONE ESTABLISHED AFTER DEMOLITION AND PRIOR TO CONSTRUCTION. FENCING SHOWN IS APPROXIMATE. PROVIDE PROTECTION AND OBTAIN APPROVAL FROM THE ARBORIST. FOR EACH PHASE OF FENCING.
- (01-01-02) RULES FOR FENCING SURROUNDING TREE #3: THE FENCES SHALL BE 3 FEET ON THE HOUSE SIDE AND 9 FEET ON THE SIDES AND FRONT FOR THE DEMOLITION PHASE AND 5 FEET ON THE HOUSE SIDE AND 9 FEET ON THE SIDES AND FRONT FOR THE CONSTRUCTION PHASE.
- (01-01-03) THE CONTRACTOR SHALL SUBMIT A HERITAGE TREE REMOVAL APPLICATION AND APPROVAL PRIOR TO THE REMOVAL OF TREE #4, LONDON PLANE TREE.

### PLANTING NOTES:

- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM THE ROAD RIGHT-OF-WAY WITH STRATEGICALLY PLACED EVERGREEN SHRUBS.

### PLANT PROTECTION AND REMOVAL NOTES:

- REFER TO THE ARBORIST REPORT FOR DETAILED INFORMATION ABOUT TREE PROTECTION AND REMOVAL.
- ANY DRIVEWAY GRADING SHALL REQUIRE HAND OR AIR EXCAVATION.
- THE CONTRACTOR SHALL FOLLOW THE RECOMMENDATIONS OF THE ARBORIST AND OBTAIN APPROVAL FROM THE ARBORIST PRIOR TO THE COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL SUBMIT A HERITAGE TREE REMOVAL APPLICATION FOR ANY HERITAGE TREES BEING REMOVED.
- THE APPLICANT/ARBORIST WILL NEED TO SUBMIT A HERITAGE TREE REMOVAL FOR THE REMOVAL OF HERITAGE TREE #4 (LONDON PLANE). PERMIT APPLICATION FOR THE TREE. HERITAGE TREES SHALL BE REPLACED 1:1 BY A SPECIES THAT GROWS TO A MATURE HEIGHT OF 40 FEET. REPLACEMENT TREE(S) SPECIES AND LOCATION ARE SHOWN ON THE PLANTING PLAN.
- ALL HERITAGE TREE REMOVALS MUST BE FILED AND PERMITTED THROUGH THE CITY. REFER TO THE LINKS BELOW FOR ADDITIONAL INFORMATION.
- <http://www.menlopark.org/226/heritage-trees-htp-application>



PLANT PROTECTION and REMOVAL SYMBOLS	
	ROOT PROTECTION ZONE (RPZ) FENCING TYPE 1
	EXISTING TREE TO BE REMOVED
	TRUNK BUFFER WRAP TYPE III PROTECTION

### SITE DETAIL KEYNOTES:

SYMBOL	9.0 PLANTING AND LANDSCAPE DESCRIPTION	QTY	DETAIL
	ROOT PROTECTION ZONE (RPZ) FENCING TYPE 1:	107 LF	2L8.02
	TRUNK BUFFER WRAP PROTECTION TYPE 1:		1L8.02

### TREE PLANTING FOR TREE WELL FILTERS

Table B-1 Plant List for Stormwater Measures

Tree Species	Common Hackberry	Blue Palo Verde	Redbud	Chinese Shingee Tree	Oregon Ash	Australian Willow	Orange Myrtle	White Mulberry	Sycamore	Fremont Cottonwood	California Live Oak	Valley Oak	Pin Oak	Red Willow	Arroyo Willow	Shining Willow
Acer macrophyllum*	big leaf maple															
Acer negundo*	box elder															
Aesculus californica	hickory															
Alnus rhombifolia *	white alder															
Alnus rubra*	red alder															
Betula nigra	river birch															
Celtis occidentalis	common hackberry															
Cercidium floridum*	Blue Palo Verde															
Cercis occidentalis	redbud															
Chionanthus retusus	Chinese Shingee tree															
Fraxinus latifolia	Oregon ash															
Geijera parviflora	Australian willow															
Lagerstroemia spp.	orange myrtle															
Morus alba (fruitless var.)*	white mulberry															
Platanus racemosa*	sycamore															
Populus fremontii*	Fremont cottonwood															
Quercus agrifolia	California live oak															
Quercus lobata	valley oak															
Quercus parviflora	pin oak															
Salix lasiolepis*	red willow															
Salix lasiolepis*	arroyo willow															
Salix lucida ssp. lasianдра*	shining willow															



**TRUNK BUFFER WRAP TYPE 3 PROTECTION NOTES:**

1. PRIOR TO DEMOLITION COMMENCEMENT, INSTALL A TRUNK BUFFER AROUND THE LOWERMOST 8 TO 10 FEET OF THE TRUNKS OF ALL PROTECTED TREES BEING RETAINED.
- ① WRAP APPROXIMATELY 20 TO 30 WRAPS OF ORANGE PLASTIC SNOW FENCING AROUND THE TRUNK BETWEEN GRADE AND 8 FEET ABOVE GRADE TO CREATE A PADDING AT LEAST 1 TO 2 INCHES THICKNESS. USE AT LEAST ONE (1) ENTIRE ROLL OF SNOW FENCING PER EACH SINGLE TREE TRUNK.
- ② STAND 2X4 WOOD BOARDS UPRIGHT, SIDE BY SIDE, AROUND THE ENTIRE CIRCUMFERENCE OF THE TRUNK. AFFIX USING DUCT TAPE OR SHRINK WRAP (DO NOT USE WIRES OR ROPES). SEE SPEC IMAGE AT RIGHT.
- ③ 2-3 WRAPS WITH DUCT TAPE OR SHRINK WRAP MID-TOP AND 16" FROM BOTTOM AS SHOWN.

P-RE-SRI01

1 TRUNK BUFFER WRAP PROTECTION TYPE 1

NTS



**CHAIN LINK ROOT PROTECTION ZONE (RPZ) FENCING NOTES:**

1. PRE-DEMOLITION FENCE: PER THE RED DASHED LINES ON THE TREE MAP MARK-UP IN THE WLCA ARBORIST REPORT (ROUTES MAY BE SUBJECT TO CHANGE, DEPENDING ON THE FINALIZED ALIGNMENTS OF WORK ITEMS).
2. THIS FENCING MUST BE ERECTED PRIOR TO ANY HEAVY MACHINERY TRAFFIC OR CONSTRUCTION MATERIAL ARRIVAL ON SITE.

**BARRICADES:**

1. PRIOR TO INITIATION OF CONSTRUCTION ACTIVITY, TEMPORARY BARRICADES SHOULD BE INSTALLED AROUND ALL TREES IN THE CONSTRUCTION AREA. SIX-FOOT HIGH, CHAIN LINK FENCES ARE TO BE MOUNTED ON STEEL POSTS, DRIVEN 2 FEET INTO THE GROUND, AT NO MORE THAN 10' FOOT SPACING. THE FENCES SHALL ENCLOSE THE ENTIRE AREA UNDER THE DRIP LINE OF THE TREES OR AS CLOSE TO THE DRIP LINE AREA AS PRACTICAL. THESE BARRICADES WILL BE PLACED AROUND INDIVIDUAL TREES AND/OR GROUPS OF TREES AS THE EXISTING ENVIRONMENT DICTATES.
2. THE TEMPORARY BARRICADES WILL SERVE TO PROTECT TRUNKS, ROOTS AND BRANCHES FROM MECHANICAL INJURIES, WILL INHIBIT STOCKPILING OF CONSTRUCTION MATERIALS OR DEBRIS WITHIN THE SENSITIVE DRIP LINE AREAS AND WILL PREVENT SOIL COMPACTION FROM INCREASED VEHICULAR/PEDESTRIAN TRAFFIC. NO STORAGE OF MATERIAL, TOPSOIL, VEHICLES OR EQUIPMENT SHALL BE PERMITTED WITHIN THE TREE ENCLOSURE AREA. THE GROUND AROUND THE TREE CANOPY SHALL NOT BE ALTERED. DESIGNATED AREAS BEYOND THE DRIP LINES OF ANY TREES SHOULD BE PROVIDED FOR CONSTRUCTION MATERIALS AND ONSITE PARKING.
- ① USE FENCE WITH THE CONCRETE PAD STYLE FOOTING SHOWN FOR THE DEMOLITION PHASE AFTER THE DEMOLITION PHASE. DURING THE CONSTRUCTION PHASE, RELOCATE THE FENCE TO THE NEW APPROVED LOCATION ELIMINATING THE CONCRETE PADS AND DRIVING THE POSTS TWO FEET INTO THE GROUND WITH A MAXIMUM SPACING OF 10'-0".
- ② ERECT FIVE FOOT TALL CHAIN LINK FENCE PANELS ON MOVEABLE CONCRETE FOOTINGS, AS FAR AS POSSIBLE OFFSET FROM THE TRUNKS OF TREES BEING RETAINED.

P-RE-SRI02

2 ROOT PROTECTION ZONE (RPZ) FENCING TYPE 1

NTS

SEAL

PROJECT  
**1005 ALMANOR AVENUE**

DRAWN BY  
DW |

ISSUE  
USE PERMIT REV 1 07.14.17  
USE PERMIT REV 2 08.30.17

DESCRIPTION  
PLANT PROTECTION AND  
REMOVAL DETAILS

**L8.02**



March 14, 2017 (rev. 6/22/17)

City of Menlo Park Community Development Department  
Planning Division  
701 Laurel Street  
Menlo Park, CA 94025

**Project Description for Use Permit Submittal for 1005 Almanor**

This project is a new single family residence. The existing residence and detached garage will be demolished.

The style of the new home will be Modern Farmhouse with a dark bronze standing seam metal roof, dark trim, and white board & batten siding. The garage door and front door will be stained wood. We have surveyed recent homes in Menlo Park done in a similar style and used them as references to make sure our proposed design will fit in with existing patterns.

The layout of the new home is mostly dictated by a beautiful heritage oak tree in the front yard on the right side. The new siting is an improvement over the existing siting in that the proposed home is farther away from the tree and gives the tree extra space that it does not currently have around the trunk. This pushes the new house back some from the existing. This creates a condition where there is less depth to work with for the floor plan layout than there would be without the tree. This pushes us to use the full width that is allowed by the setbacks. Due to this condition plus a desire to maintain the now smaller backyard, the only practical place for the garage is on the front of the house on the left side, away from the tree. Given that, we have made sure the garage door will be beautiful and we have added a trellis above the door to help break up the wall and add some visual interest.

The two-story house sits well under the daylight plane and we have broken up the walls with articulation and well-placed windows and doors. The small front balcony sits between two massing elements creating separation and privacy to both neighboring properties.

The owners plan to meet with neighbors to go over plans prior to the public hearing.

Please contact me with any questions or if you need any additional information.

Sincerely,

Greg Miller  
pastperfectarchitecture.com  
831-338-112

# ARBORIST REPORT

Submitted To:

**Mrs. Pria Srinath  
1005 Almanor Avenue  
Menlo Park, CA 94025**

Project Location:

**1005 Almanor Avenue  
Menlo Park, CA**

Submitted By:

**McCLENAHAN CONSULTING, LLC  
John H. McClenahan  
ISA Board Certified Master Arborist, WE-1476B  
member, American Society of Consulting Arborists  
December 17, 2016  
(Revised May 1, 2017)  
©Copyright McCLENAHAN CONSULTING, LLC 2016**





# McClenahan Consulting, LLC

Arboriculturists Since 1911

1 Arastradero Road, Portola Valley, CA 94028-8012

Telephone (650) 326-8781

Fax (650) 854-1267

www.spmcclenahan.com

December 17, 2016  
Revised May 1, 2017

## **Mrs. Pria Srinath**

1005 Almanor Avenue  
Menlo Park, CA 94025

### **Assignment**

As requested, I performed a visual inspection of four trees to determine species, size and condition and provide tree protection and Tree Preservation Guidelines.

### **Summary**

Proposed improvements include demolition of existing home and garage followed by construction of a new single family residence with an attached garage and basement. Any grading or excavation within defined Tree Protection Zones (TPZ's) must be accomplished by hand or air digging. A qualified arborist must supervise any cutting of roots greater than one inch diameter. Mitigation from a qualified arborist is required for any cutting of roots within the TPZ. Minimal impacts are anticipated to city trees one and two. Tree three will likely require some pruning during framing for vertical clearance. The proposed home is further from the tree than the existing, hand or air digging is still required in the TPZ to assess impacts to root loss. Further review of landscape plan may be necessary for tree four to determine impacts. See tree 3 for protective fencing description.

### **Methodology**

No root crown exploration, climbing or plant tissue analysis was performed as part of this survey. For purposes of identification, trees have been numbered as shown in Figure 1.

In determining Tree Condition several factors have been considered which include:

Rate of growth over several seasons;  
Structural decays or weaknesses;  
Presence of disease or insects; and  
Life expectancy.

### **Tree Description/Observation**

**1: Pin oak (*Quercus palustris*)**

**Diameter:** 3.0"

**Height:** 12' **Spread:** 6'

**Condition:** Fair to Good

**Location:** Street tree

**Observation:** Young establishing tree. Proposed for removal.

**2: Red maple (*Acer rubrum*)**

**Diameter:** 3.3"

**Height:** 18' **Spread:** 7'

**Condition:** Fair to Good

**Location:** Street tree

**Observation:** Young establishing tree. The TPZ is 5-feet.

**3: Coast live oak (*Quercus agrifolia*)**

**Diameter:** 38.9"

**Height:** 40' **Spread:** 50'

**Condition:** Fair

**Location:** Front right of house

**Observation:** Crown exhibits normal vigor. Grows to a southerly lean. Old heading cuts observed on long southerly limbs. Scaffold limbs exhibit narrow attachments. The TPZ is 20-feet. Existing house is within 7-feet of trunk. Proposed new house will be further from the tree than existing house. Proposed basement excavation will require vertical shoring within the TPZ (approximately 8.5-feet from the trunk). Any driveway grading will also require hand or air excavation. Tree protection fencing designations are shown on Sheet A1 of the architectural plans. Fences will be 3-feet on the house side and 9-feet on the sides and front for demolition and for construction 5-feet on the house side and 9-feet on the sides and front.

**4: London plane tree (*Platanus x acerifolia*)**

**Diameter:** 33.3"

**Height:** 50' **Spread:** 55'

**Condition:** Fair

**Location:** Left rear corner of garage

**Observation:** Dormant at time of inspection. Crown leans slightly to the east and has been pruned for line clearance. Several small broken limbs, under 3-inch diameter were observed in the lower crown and on the neighbor's garage roof. Codominant leaders shown in Figure 1. Proposed for removal.



Figure 1: Trees from street view





Figure 3: rear of existing garage

## **TREE PRESERVATION GUIDELINES**

### **Tree Preservation and Protection Plan**

In providing recommendations for tree preservation, we recognize that injury to trees as a result of construction include mechanical injuries to trunks, roots and branches, and injury as a result of changes that occur in the growing environment.

**To minimize these injuries, we recommend grading operations encroach no closer than six times the trunk diameter, (i.e. 30" diameter tree x 6=180" distance). At this distance, buttress/anchoring roots would be preserved and minimal injury to the functional root area would be anticipated. Should encroachment within the area become necessary, hand digging is *mandatory*.**

### **Barricades**

Prior to initiation of construction activity, temporary barricades should be installed around all trees in the construction area. Six-foot high, chain link fences are to be mounted on steel posts, driven 2 feet into the ground, at no more than 10-foot spacing. The fences shall enclose the entire area under the drip line of the trees or as close to the drip line area as practical. These barricades will be placed around individual trees and/or groups of trees as the existing environment dictates.

### **Barricades continued**

The temporary barricades will serve to protect trunks, roots and branches from mechanical injuries, will inhibit stockpiling of construction materials or debris within the sensitive 'drip line' areas and will prevent soil compaction from increased vehicular/pedestrian traffic. No storage of material, topsoil, vehicles or equipment shall be permitted within the tree enclosure area. The ground around the tree canopy shall not be altered. Designated areas beyond the drip lines of any trees should be provided for construction materials and onsite parking.

### **Root Pruning** (if necessary)

During and upon completion of any trenching/grading operation within a tree's drip line, should any roots greater than one inch (1") in diameter be damaged, broken or severed, root pruning to include making clean cuts of exposed roots should be accomplished under the supervision of a qualified Arborist to minimize root deterioration beyond the soil line ***within twenty-four (24) hours.***

### **Pruning**

Pruning of the foliar canopies to include removal of deadwood is recommended and should be initiated prior to construction operations. Such pruning will provide any necessary construction clearance, will lessen the likelihood or potential for limb breakage, reduce 'windsail' effect and provide an environment suitable for healthy and vigorous growth.

### **Fertilization**

A program of fertilization by means of deep root soil injection is recommended with applications in spring and summer for those trees to be impacted by construction. Fertilizer should include organic

Such fertilization will serve to stimulate feeder root development, offset shock/stress as related to construction and/or environmental factors, encourage vigor, alleviate soil compaction and compensate for any encroachment of natural feeding root areas.

Inception of this fertilizing program is recommended prior to the initiation of construction activity.

### **Mulch**

Mulching with wood chips (maximum depth 3") within tree environments (outer foliar perimeter) will lessen moisture evaporation from soil, protect and encourage adventitious roots and minimize possible soil compaction.

### **Inspection**

Periodic inspections by the ***Site Arborist*** are recommended during construction activities, particularly as trees are impacted by trenching/grading operations.

Inspections at approximate four (4) week intervals would be sufficient to assess and monitor the effectiveness of the Tree Preservation Plan and to provide recommendations for any additional care or treatment.

All written material appearing herein constitutes original and unpublished work of the Arborist and may not be duplicated, used or disclosed without written consent of the Arborist.

**Mrs. Pria Srinath**  
Page 6

We thank you for this opportunity to be of assistance in your tree preservation concerns.

Should you have any questions, or if we may be of further assistance in these concerns, kindly contact our office at any time.

Very truly yours,

**McCLENAHAN CONSULTING, LLC**

A handwritten signature in black ink, appearing to read "John H. McClenahan". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

By: **John H. McClenahan**  
ISA Board Certified Master Arborist, WE-1476B  
member, American Society of Consulting Arborists

JHMc: pm



## McClenahan Consulting, LLC

Arboriculturists Since 1911

1 Arastradero Road, Portola Valley, CA 94028-8012

Telephone (650) 326-8781

Fax (650) 854-1267

www.spmcclenahan.com

### ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.

Arborist: John H. McClenahan  
Date: May 1, 2017

**Chao, Sunny Y**

---

**From:** Marshall Schor <schor@us.ibm.com>  
**Sent:** Sunday, May 7, 2017 1:28 PM  
**To:** Chao, Sunny Y  
**Subject:** Re: Application submittal 5123 to the planning division

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Hi Sunny,

This is regarding the application. <http://www.menlopark.org/ArchiveCenter/ViewFile/Item/5123>

I own the property next to this at 1007 Almanor Ave., Menlo Park.

I have a concern in that I believe (but don't know for sure) that the existing property being replaced at 1005 Almanor Ave in this proposal, doesn't have a basement, and they will be digging a new basement, right next to the foundation of my property.

Previous events that I've attended over the years have led me to believe that the ground under the properties is quite sandy. Because of this, I think there may be a significant risk of the proposed basement digging causing the foundation under my property to become unstable. If this were to happen, what would be my recourse?

-Marshall Schor, owner, 1007 Almanor Ave, Menlo Park, CA





## STAFF REPORT

### Planning Commission

**Meeting Date:** 9/11/2017  
**Staff Report Number:** 17-059-PC

**Regular Business:** **Recommend a preferred alternative to the City Council for the Ravenswood Avenue Railroad Crossing Study**

### Recommendation

Staff requests that the Planning Commission recommend a preferred alternative to the City Council for the Ravenswood Avenue Railroad Crossing study in advance of City Council's selection of a preferred alternative in October 2017.

### Policy Issues

The Project is prioritized in the 2017 City Council Work Plan (item 51) that was approved February 7, 2017. The Project is consistent with the City's Rail Policy and with the 2016 General Plan goals to increase mobility options to reduce traffic congestion and greenhouse gas emissions; increase safety; improve Menlo Park's overall health, wellness, and quality of life through transportation enhancements; support local and regional transit that is efficient, frequent, convenient and safe; provide a range of transportation choices for the Menlo Park community; and to promote the safe use of bicycles as a commute alternative and for recreation.

### Background

At the September 11, 2017, Planning Commission meeting, the Project team will present an overview of Alternatives A and C, including benefits, community input, and construction impacts of each.

The Project is evaluating the engineering feasibility of replacing the existing at-grade railroad crossings of the Caltrain tracks by building grade separations of the roadways from the tracks at Ravenswood Avenue, Oak Grove Avenue, and Glenwood Avenue, with priority on Ravenswood Avenue. This study is building upon previous studies and is focused on the two alternative types that were previously determined to be the most feasible, an Underpass and a Hybrid.

Key dates for the Project include:

- SMCTA awarded and programmed \$750,00 Measure A Grade Separation Program funds for the Project in November 2013;
- The Project was included in the Fiscal Year 2015-2016 Capital Improvement Plan (CIP);
- City Council provides direction to proceed with study of Underpass and Hybrid alternatives in May 2015;
- Request for Proposals (RFP) was issued in December 2015 and a consultant was selected in February 2016 after proposal review and interview process;
- City Council approved award of the contract to AECOM in March 2016 and the Project began;

- Community Meeting #1 was held in May 2016 to introduce the Project and gather information and community feedback;
- Presentation was given to the Chamber of Commerce, Business and Transportation Issues Committee in September 2016;
- Meetings were held with representatives from the Police Department and Fire District in September 2016;
- Community Meeting #2 was held in October 2016 to present three alternatives (A, B, and C) and gather more community feedback;
- The Project was presented to the Planning Commission, Bicycle Commission and Transportation Commission in November and December 2016;
- A Study Session was held at the February 7, 2017, City Council meeting and City Council directed staff to return with additional information;
- A public Rail Information Meeting was held to present the status of the Project in March 2017;
- A Study Session was held at the April 4, 2017, City Council meeting and City Council provided direction to staff to narrow the options to Alternative A, Ravenswood Avenue Underpass, and Alternative C, Hybrid with three grade separation crossings, as described below. Alternative B (Hybrid with two grade separated crossings) was eliminated from further consideration at this meeting; and
- Community Meeting #3 was held in June 2017 to present the remaining alternatives (A and C) and construction impacts and obtain community preferences.

## **Analysis**

### ***Alternatives***

The current alternatives are described briefly below. Exhibits of each are included as Attachments A and B.

#### Alternative A: Ravenswood Avenue Underpass

Under this alternative, the rail tracks would remain at the existing elevation and Ravenswood Avenue would be lowered approximately 22 feet below existing elevation to run under the railroad tracks.

#### Alternative C: Hybrid with Three Grade Separated Crossings

Under this alternative, grade separations would be constructed at Ravenswood, Oak Grove and Glenwood Avenues and the railroad profile elevation would be generally flat. The rail tracks would be raised approximately 10 feet at Ravenswood and Oak Grove Avenues and approximately 5 feet at Glenwood Avenue. Ravenswood Avenue would be lowered approximately 12 feet, Oak Grove Avenue approximately 11 feet and Glenwood Avenue approximately 15 feet at the railroad tracks. A maximum rail elevation of approximately 10 feet from existing grade would occur from Ravenswood Avenue to Oak Grove Avenue including the station area.

### ***Community Input***

Since the December 2016 Planning Commission meeting, the Project team hosted the third community meeting on June 7, 2017. Community members were able to review the proposed alternatives in greater detail including videos of flyover simulations for both Alternative A and C, hear about traffic impacts and mitigations, construction staging and impacts, see a potential railroad “shoofly” or temporary track alignment and layout, voice their preferences on a preferred alternative (A or C), and provide their input regarding the construction constraints and impacts. Exhibits from the previous community meetings were posted around the meeting room and a virtual reality station was set up for attendees to see the alternatives in more detail.

There were approximately 55 community members in attendance. The key outcomes of the meeting included:

- Over 85% of the community members expressed support for Alternative C, communicating the desire to grade separate more crossings and maintain greater east-west connectivity for all travel modes.
- The community members that expressed support for Alternative A communicated the desire to focus on the highest volume location and lowest cost option.
- Some community members expressed an interest in reconsidering a trench or tunnel alternative.
- Some community members expressed an interest in reconsidering a viaduct or fully raised track alternative.

A full summary of the meeting including all comments received, a copy of the presentation and the exhibits are posted on the City's project web page at [www.menlopark.org/ravenswood](http://www.menlopark.org/ravenswood).

### ***Other Key Stakeholder Outreach***

Meetings have been on-going with potentially impacted business and property owners. Feedback received from these stakeholders has been generally consistent with that received at the Community Meeting. Stakeholders associated with properties with potentially minor effects from the project generally prefer Alternative C. Stakeholders associated with properties with potentially major effects from the project on Oak Grove and Glenwood Avenues generally prefer Alternative A.

In addition, meetings with emergency responders, including the Menlo Park Fire Protection District and City Police Department representatives were held throughout the project to gather input on the alternatives and to obtain feedback on a preferred alternative. Both Fire District and Police Department representatives preferred Alternative C, which provides additional safety improvements by grade separating more crossings, improves cross-town traffic circulation by eliminating more train gate controls and delays, and provides improved access to area hospitals, located west of the railroad tracks. Ongoing coordination will be needed as any alternative progresses to coordinate on specific property access requirements for emergency response and throughout any construction efforts that may proceed in the future.

Community feedback received to date was used to create an alternatives comparison matrix to assess the benefits and impacts of each Alternative, as can be seen in Attachment C. Important factors highlighted in the matrix include:

- Reduction in potential rail/vehicle conflicts;
- Improvement in east/west connectivity;
- Improvement in east/west pedestrian and bicycle access;
- Reduction in potential horn and gate noise;
- Maintaining the Alma Street/Ravenswood Avenue connection;
- Minimizing visual impacts;
- Minimizing property and driveway impacts;
- Minimizing disruption during construction; and
- Improving traffic pattern predictability.

Alternative A provides more moderate benefits with more moderate impacts, while Alternative C provides greater benefits with greater impacts for most of the comparison factors.

### Next Steps

The next steps in the project include continuing to meet with all property and business owners with potential direct access impacts in order to review the alternatives and impacts. In addition to this presentation, a similar presentation will be made to the Complete Streets Commission on Wednesday, September 13, 2017, to obtain their feedback on the alternatives and construction constraints, and to provide the Commission's recommendation for a preferred alternative. City Council will be presented the findings from the analysis including all outreach feedback received and will be asked to select a preferred alternative in October 2017. Once the City Council has selected a preferred alternative, the Project team will complete the 15% design plans and the project report. Upon completion, City staff will then explore funding opportunities to advance the project to the environmental and design phase.

Key remaining milestones are summarized below:

Key Project Milestones	
Property and Business Owners Meetings	Summer/Fall 2017
Planning Commission Meeting	September 11, 2017
Complete Streets Commission Meeting	September 13, 2017
Preferred Alternative Selection by City Council	October 10, 2017
Project Completion (i.e., 15% design, project report)	Winter 2017

### Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Additional public notification was achieved by sending citywide postcards, including in the City Council Weekly Digest on September 1, 2017, and sending an email to the Public Works project interest list.

### Attachments

- A: Alternative A Exhibits
- B: Alternative C Exhibits
- C. Alternatives Comparison Matrix

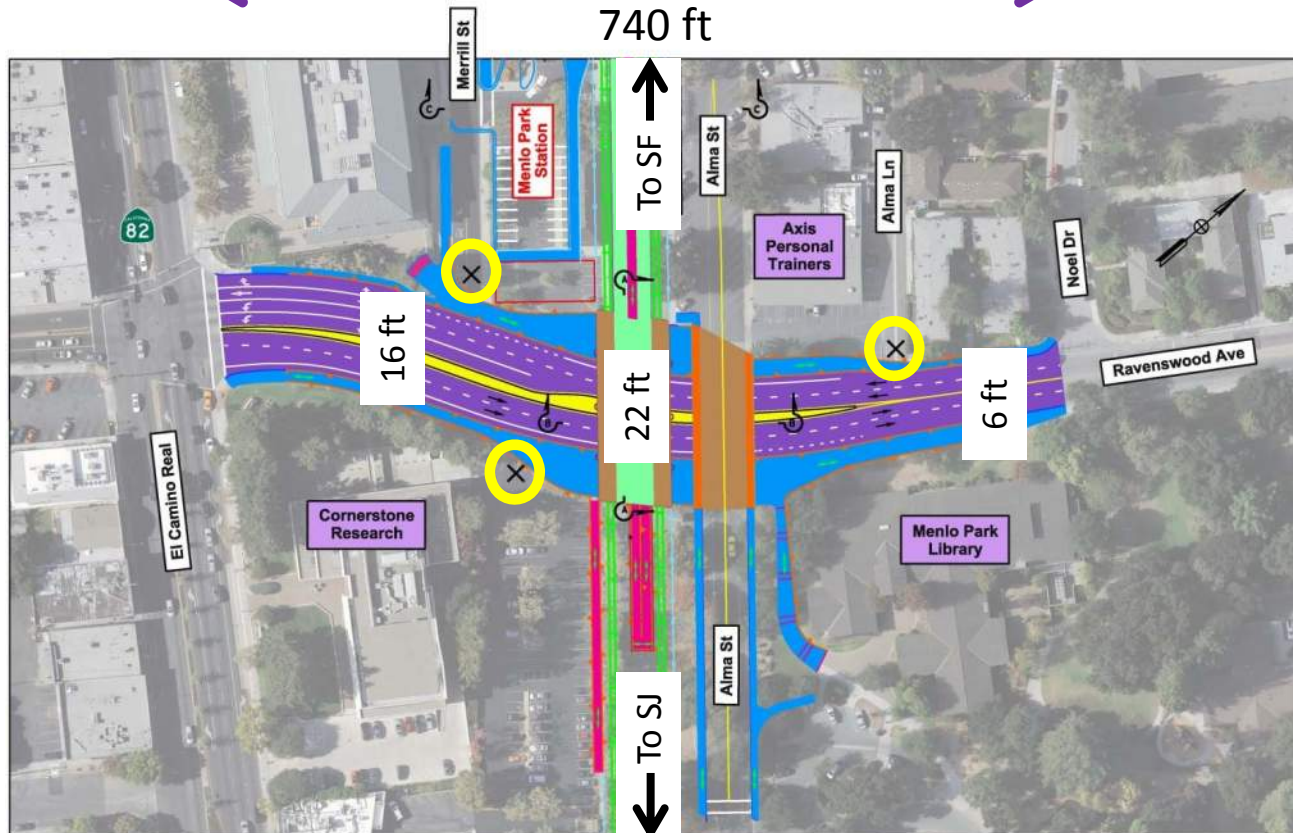
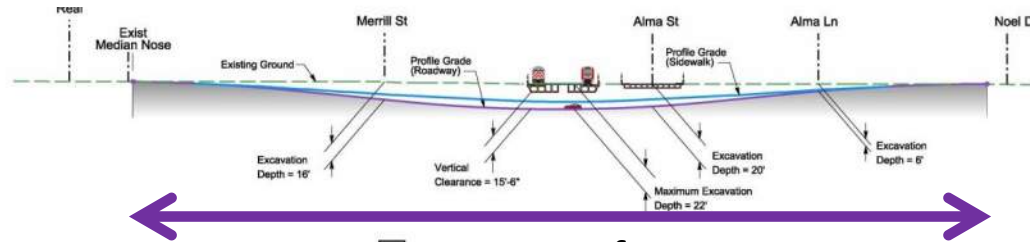
Report prepared by:  
Angela R. Obeso, Senior Transportation Engineer

Report reviewed by:  
Nicole H. Nagaya, Assistant Public Works Director  
Deanna Chow, Senior Planner

A

ALTERNATIVE A: UNDERPASS  
(RAVENSWOOD ONLY)

# Alternative A Ravenswood Ave



Ravenswood Avenue Railroad Crossing Project





ALTERNATIVE A: UNDERPASS  
(RAVENSWOOD ONLY)

# Alternative A

## Photo Simulation Looking East along Ravenswood

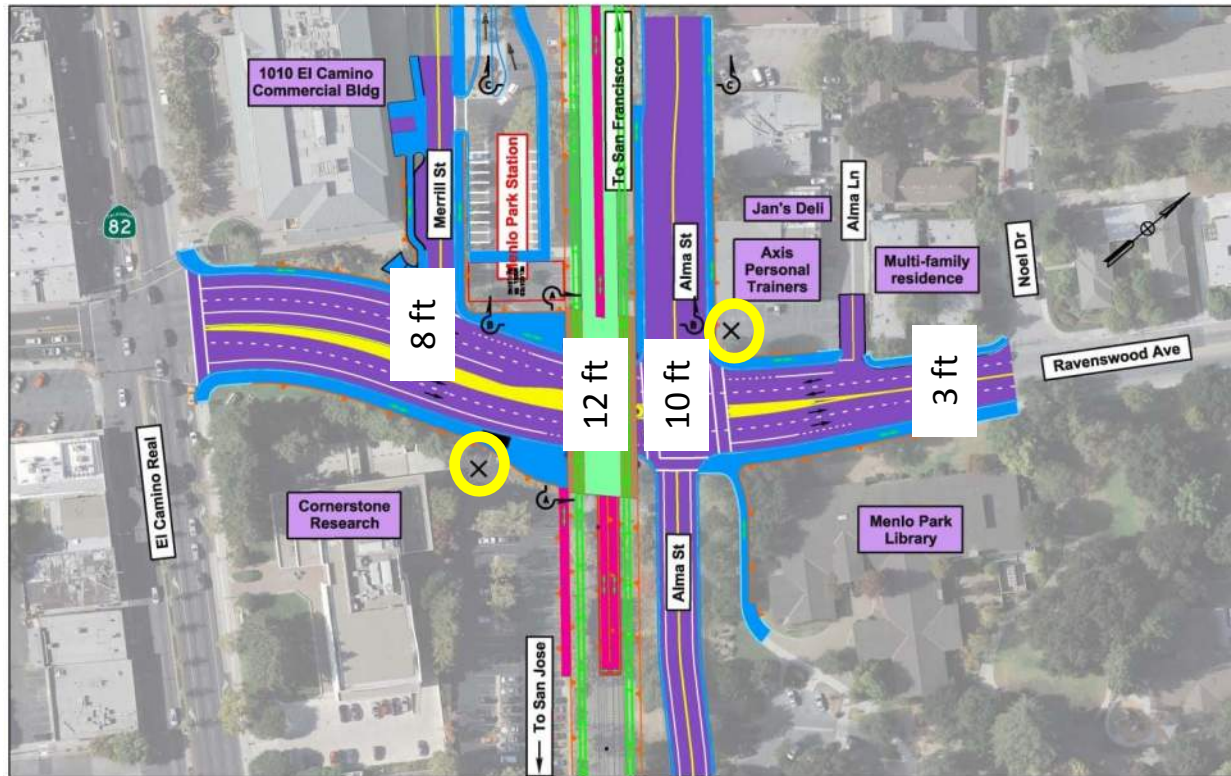
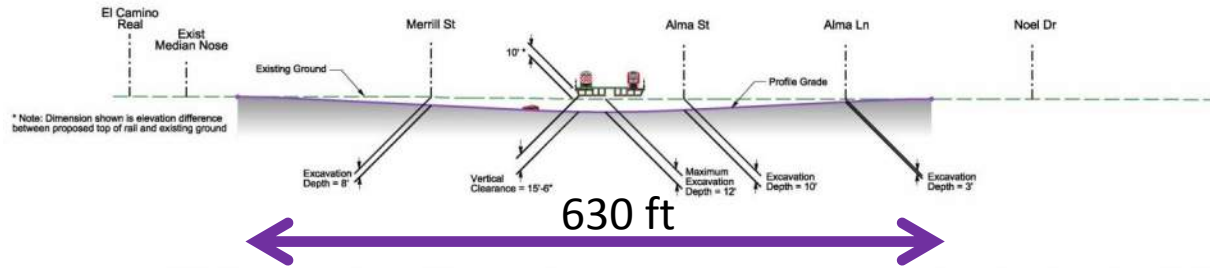


Ravenswood Avenue Railroad Crossing Project



# Alternative C

## Ravenswood Ave



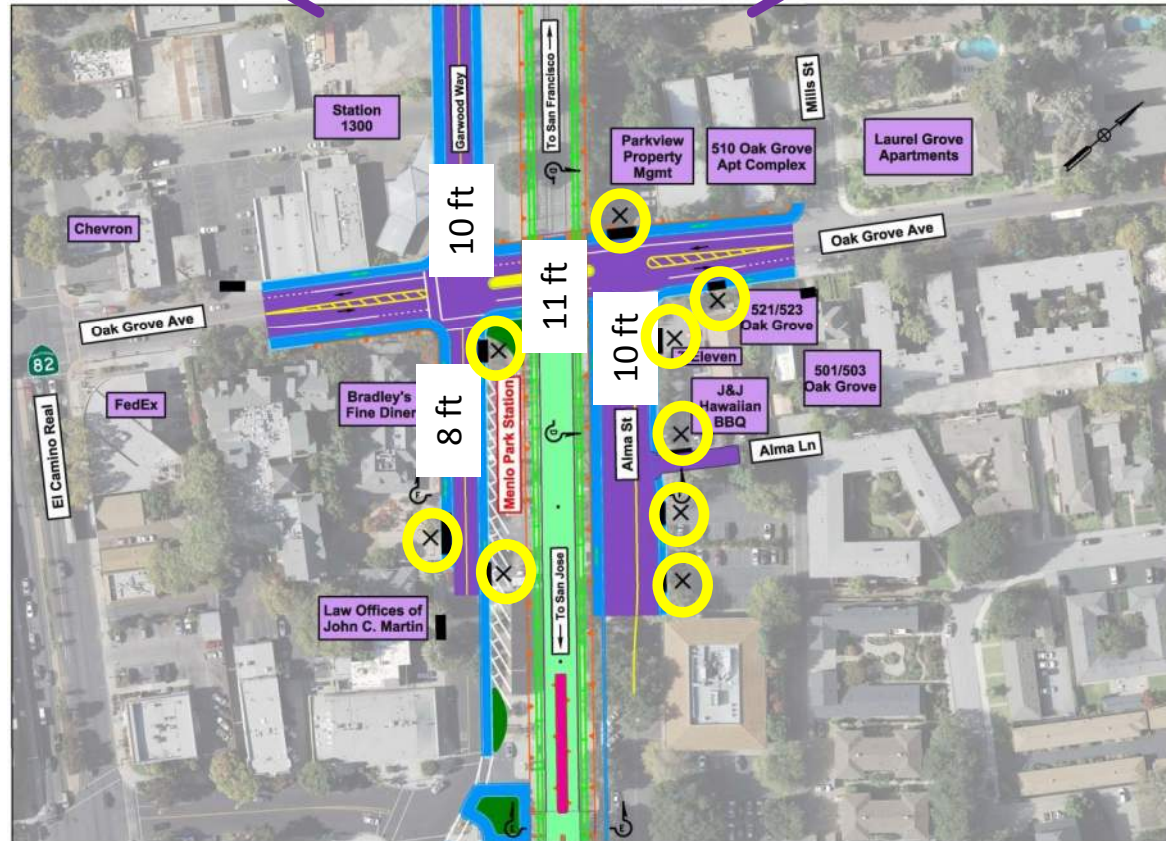
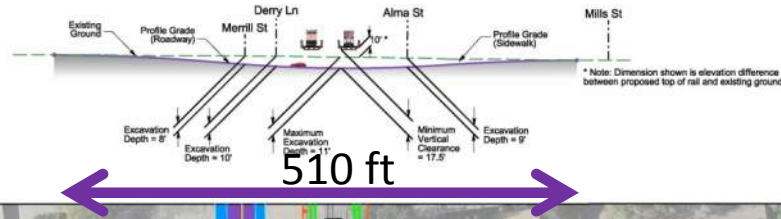
### Ravenswood Avenue Railroad Crossing Project





# Alternative C

## Oak Grove Ave



Ravenswood Avenue Railroad Crossing Project

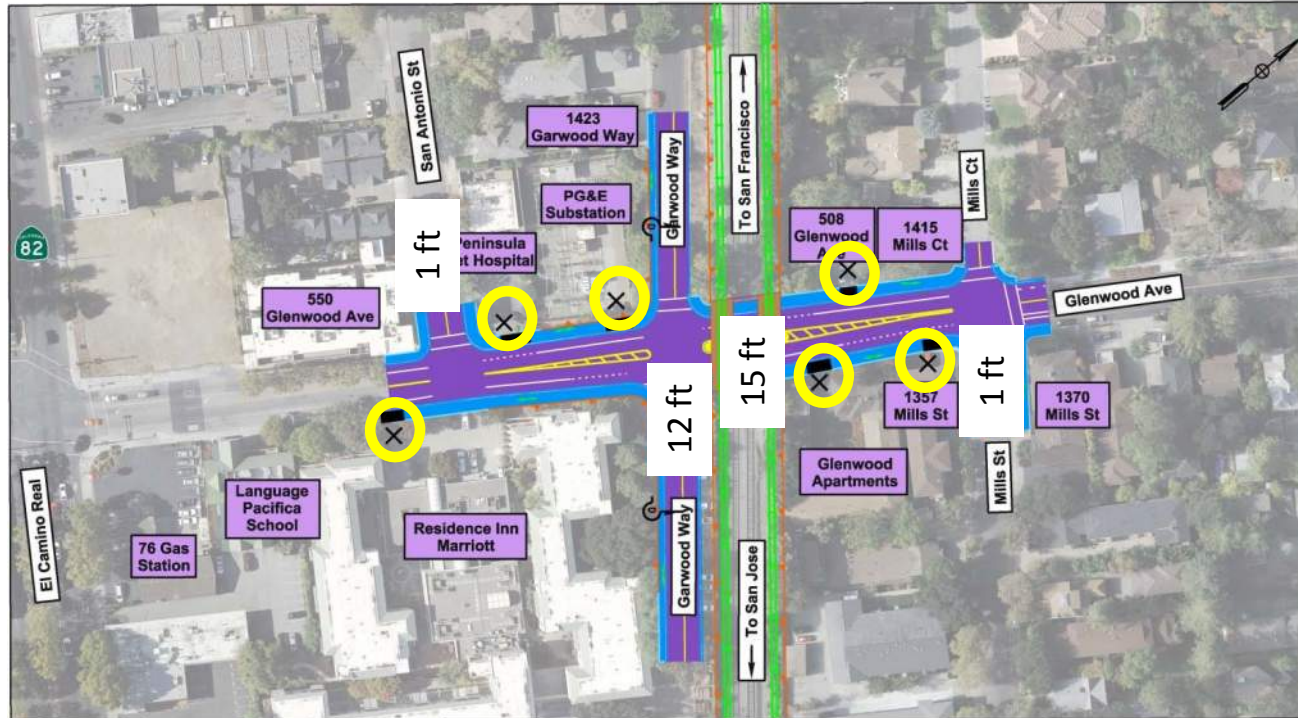
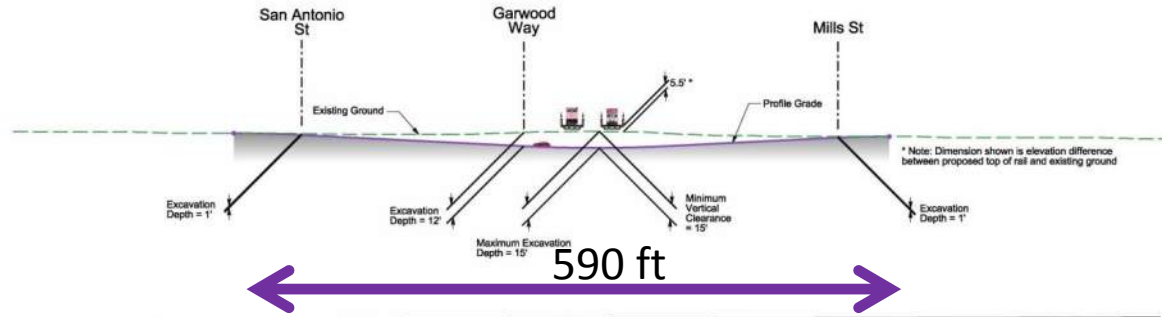






# Alternative C

## Glenwood Ave



Ravenswood Avenue Railroad Crossing Project



# Alternative C

## Simulation Looking East along Ravenswood

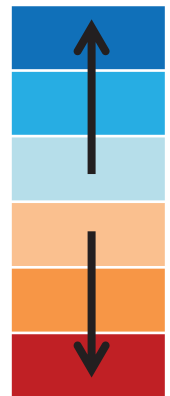


Ravenswood Avenue Railroad Crossing Project

# Alternatives Matrix

	A	C	
<b>Alternatives →</b>	ALTERNATIVE A: UNDERPASS (RAVENSWOOD ONLY)	ALTERNATIVE C: HYBRID (RAVENSWOOD, OAK GROVE, & GLENWOOD)	
Reduce Potential Rail/Vehicle Conflict			Three grade separations for Alt C vs. one for Alt A
Improve East/West Connectivity			More grade separations, better east/west mobility across town
Improve East/West Ped/Bike Access			Increased safety and connectivity for Alt C
Reduce Potential Horn & Gate Noise			With elimination of at-grade crossings, horn or gate noise will potentially be reduced
Maintain Alma St/Ravenswood Ave Connection			No direct access to/from Ravenswood from/to Alma St for Alt A
Increase Visual Impacts			Railroad profile remains at current elevation for Alt A
Minimize Property/Driveway Impacts			More impacts to properties with 3 grade separations, Alt C
Minimize Disruption During Construction			Fewer roads and properties impacted during construction for Alt A
Improve Traffic Pattern Predictability			Improved traffic circulation for Alt C
Order of Magnitude Cost	\$160-200M*	\$310-390M*	Lower overall cost for Alt A

Improvement



Impact

\* Preliminary (Subject to Change)

Ravenswood Avenue Railroad Crossing Project

