



REGULAR MEETING AGENDA

Date: 1/8/2018
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

**E1. Architectural Control and Below Market Rate Housing Agreement/Elke MacGregor/
1490 O’Brien Drive:**

Request for architectural control to construct a new steel mezzanine and stairs within an existing building located in the LS (Life Sciences) zoning district, and for approval of an associated Below Market Rate Housing Agreement. ([Staff Report #18-001-PC](#))

F. Public Hearing

F1. Use Permit/Gerbrand Brouwer/112 Chester Street:

Request for a use permit to demolish a detached garage and a shed and construct a new detached garage and secondary dwelling unit with aesthetic characteristics different from the main residence. The subject parcel is a substandard through lot with regards to lot width in the R-1-U (Single-Family Urban Residential) zoning district, and the secondary dwelling unit would be located along the Haight Street frontage. ([Staff Report #18-002-PC](#))

F2. Use Permit and Variances/Christina and James Courtney/904 Harmon Drive:

Request for use permit to add a second floor, and conduct interior modifications, to a single-family

residence that would exceed 100 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal also includes variance requests to allow the second floor stairwell to encroach into the required rear setback and to legalize the existing first floor rear setback of 16.5 feet for the purpose of rebuilding eaves up to three feet from the building wall. The subject parcel is located on a lot in the R-1-U (LM) (Single-Family Urban Residential, Lorelei Manor) zoning district. ([Staff Report #18-003-PC](#))

- F3. Use Permit Revision/Keda Wang/1045 Trinity Drive:
Request for a use permit revision to partially remodel the first floor and reallocate floor area to allow for the expansion of the ground floor at the rear of a new two-story, single-family residence on a substandard lot with regard to lot width in the R-E-S (Residential Estate Suburban) zoning district. The project received a use permit on Nov. 7, 2016 to demolish the existing residence and construct a new two-story, single-family residence. The residence is currently under construction. ([Staff Report #18-004-PC](#))
- F4. Use Permit Revision/Ohashi Design Studio/1220 Bay Laurel Drive:
Request for a use permit revision to make exterior changes to a new two-story, single-family residence with basement on a substandard lot with regard to lot width in the R-1-S (Single-Family Suburban Residential) zoning district. The project received a use permit on May 9, 2016 to demolish the existing residence, remove a heritage Canary Island palm tree, and construct a new two-story, single-family residence. The residence is currently under construction. ([Staff Report #18-005-PC](#))
- F5. Use Permit and Architectural Control/City of Menlo Park/1221 Chrysler Drive:
Request for architectural control to construct a new stormwater pump station to replace an existing pump station, and a request for a use permit for hazardous materials to install a new diesel emergency generator associated with the stormwater pump station, in the P-F (Public Facilities) zoning district. ([Staff Report #18-006-PC](#))
- F6. Development Agreement Annual Review/Facebook/1 Hacker Way and 1 Facebook Way:
Annual review of the property owner's good faith compliance with the terms of the Development Agreements for their East Campus, West Campus, and Facebook Campus Expansion projects. ([Staff Report #18-007-PC](#))

G. Informational Items

- G1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: January 22, 2018
 - Regular Meeting: February 5, 2018
 - Regular Meeting: February 26, 2018
 - Regular Meeting: March 12, 2018

H. Adjournment

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at www.menlopark.org and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting the Planning Division at 650-330-6702. (Posted: 01/03/18)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



STAFF REPORT

Planning Commission

Meeting Date: 1/8/2018
Staff Report Number: 18-001-PC

Consent Calendar: **Architectural Control and Below Market Rate Housing Agreement/Elke MacGregor/1490 O'Brien Drive**

Recommendation

Staff recommends that the Planning Commission approve a request for architectural control and a Below Market Rate (BMR) Housing Agreement to construct a new steel mezzanine and stairs within an existing building located at 1490 O'Brien Drive in the LS (Life Sciences) zoning district. The recommended actions are contained in Attachment A.

Policy Issues

Each architectural control request is considered individually. The Planning Commission should consider whether the required architectural control findings can be made for the proposal.

Background

Site location

The project site is an existing multi-tenant research and development (R&D) building located at 1490 O'Brien Drive, on the southern side of O'Brien Drive between Adams Drive and University Avenue. The subject property is also referred to as Building 10 of the Menlo Business Park. A location map is included as Attachment B.

Adjacent parcels to the north, east, and west (using O'Brien Drive in an east to west orientation) are also located in the LS or LS-B zoning districts, and primarily contain warehouse, light manufacturing, R&D, and office uses. Single-family residences in the City of East Palo Alto are located directly south of the business park, along Kavanaugh Drive. The subject building is located approximately 500 feet from Costano Elementary School, which is east of the project site, and approximately 650 feet from Green Oaks Academy and Cesar Chavez Elementary School, which are located on a shared campus to the southwest of the project site. Both school sites are located within the City of East Palo Alto.

Analysis

Project description

The existing concrete tilt-up building includes 30,623 square feet of gross floor area (GFA) of offices, R&D spaces, and associated uses on two floors. The floor area ratio (FAR) of the existing building is 41.8

percent, below the 55 percent maximum permitted in the LS zoning district. The structures on the property also conform to all setback and height requirements established for the LS zoning district.

The applicant is proposing to add an additional 519 square feet of GFA to Building 10 by creating a new mezzanine space and staircase in an existing double height lab area at the rear of the building. No other interior remodeling is being proposed at this time. The project would result in 31,142 square feet of GFA and an FAR of 42.5 percent for Building 10.

The applicant is not requesting any modifications to the building façade, landscaping, or parking as part of the project. However, architectural control is required because of the proposed interior alteration and addition of gross floor area to an existing commercial building, as described in Section 16.68.020 of the Zoning Ordinance. The project plans and the applicant's project description letter are included as Attachments C and D, respectively.

Hazardous materials are currently stored and used within the building, but no changes to the quantities, types, or storage locations within the building are being requested at this time. Future requests to modify or store and use additional hazardous materials as part of business operations on the site would require an administrative permit in accordance with the recently adopted LS zoning for the site, or would be bundled with any associated future discretionary permit requests, such as a use permit or architectural control.

Design and materials

The existing concrete tilt-up building is clad in gray and green painted stucco, with expanses of dark-tinted glass on the first and second stories around all sides of the building. The existing north elevation, which serves as the front of the building, recedes nearly 20 feet at the midpoint of the facade, and an open and uncovered second-story balcony is located above a building entrance just west of the recess. As previously mentioned, no changes are proposed to the existing front elevation or to either side or rear elevation.

For new buildings or additions of 10,000 square feet of GFA or more in the LS zoning district, additional design standards would be required, such as building projections, modulations, stepbacks, ground floor transparency, roofline modulations, and other design elements. The proposed project does not trigger these design requirements.

Parking and circulation

The existing site is served by a surface parking lot with 75 parking spaces. Because of the proposed addition of GFA on the site, the building is required to comply with the parking standards of the LS zoning district. Under those standards, R&D land uses must provide a minimum of 1.5 spaces per 1,000 square feet of GFA and a maximum of 2.5 spaces per 1,000 square feet of GFA. With a proposed GFA of 31,142 square feet, the project must provide a minimum of 47 spaces, but not more than a maximum of 77 spaces. With all existing 75 spaces to remain, the property is conforming with regard to parking. For future projects, the parking requirement could change depending on the proposed uses within the building.

Trees and landscaping

No changes to existing trees, landscaping, or site features are proposed as part of this project. Any future comprehensive redevelopment of the site including new buildings or additions over 10,000 square feet of GFA would be required to comply with the design standards set for the LS zoning district, including the siting and placement of buildings, parking areas, and other features in relation to the street; open space; access; and other standards.

In the LS zoning district, a project must provide street frontage improvements, including curb, gutter, sidewalk, street trees, street lights, and undergrounding of electric distribution and communication lines, when the project involves new construction and/or building additions of 10,000 or more square feet of GFA, or for tenant improvements on a site where the cumulative construction value exceeds \$500,000 over a five year period. Because this project would exceed a cumulative construction value of \$500,000, the street improvements are required and will be designed in coordination with Public Works Department staff (condition 4e).

Below Market Rate (BMR) Housing Agreement

Per the Zoning Ordinance, commercial projects inclusive of 10,000 square feet or more of GFA are subject to the City's BMR requirements. Because the existing building is over the 10,000-square-foot threshold, BMR requirements apply to the mezzanine expansion. The draft BMR housing agreement term sheet for the proposed project was reviewed by the Housing Commission at its November 8, 2017 meeting. At that meeting, the Commission discussed other recently approved BMR housing agreements for small projects, which permitted applicants to meet BMR obligations through the payment of an applicable in-lieu fee. The current BMR fee per square foot of office is \$16.90 through June 30, 2018. Under the present rate, the estimated BMR in lieu fee for the proposed project is \$8,771.10 based upon the proposed land use breakdown within the building. The applicable fee for the project would be adjusted based upon the per square foot fee in effect at the time of payment. The Housing Commission voted unanimously to approve the draft BMR agreement term sheet and recommended that the Planning Commission approve the BMR Agreement, permitting the applicant to satisfy the BMR requirement through payment of an in lieu fee.

Correspondence

Staff has not received any correspondence on this project.

Conclusion

The proposed addition of 519 square feet of GFA within the existing building would result in an FAR of 42.5 percent for the entire subject property, which is below the maximum FAR permitted in the LS zoning district. The proposed R&D use is a permitted use within the LS district. Staff believes that the project would preserve a consistent architectural design for the development. The proposed parking would be conforming for the uses and size of the buildings. Staff recommends that the Planning Commission approve the requested architectural control and BMR Housing Agreement.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Attachments

- A. Recommend Actions
- B. Location Map
- C. Project Description Letter
- D. Project Plans
- E. Draft Below Market Rate (BMR) Housing Agreement

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Report prepared by:
Tom Smith, Associate Planner

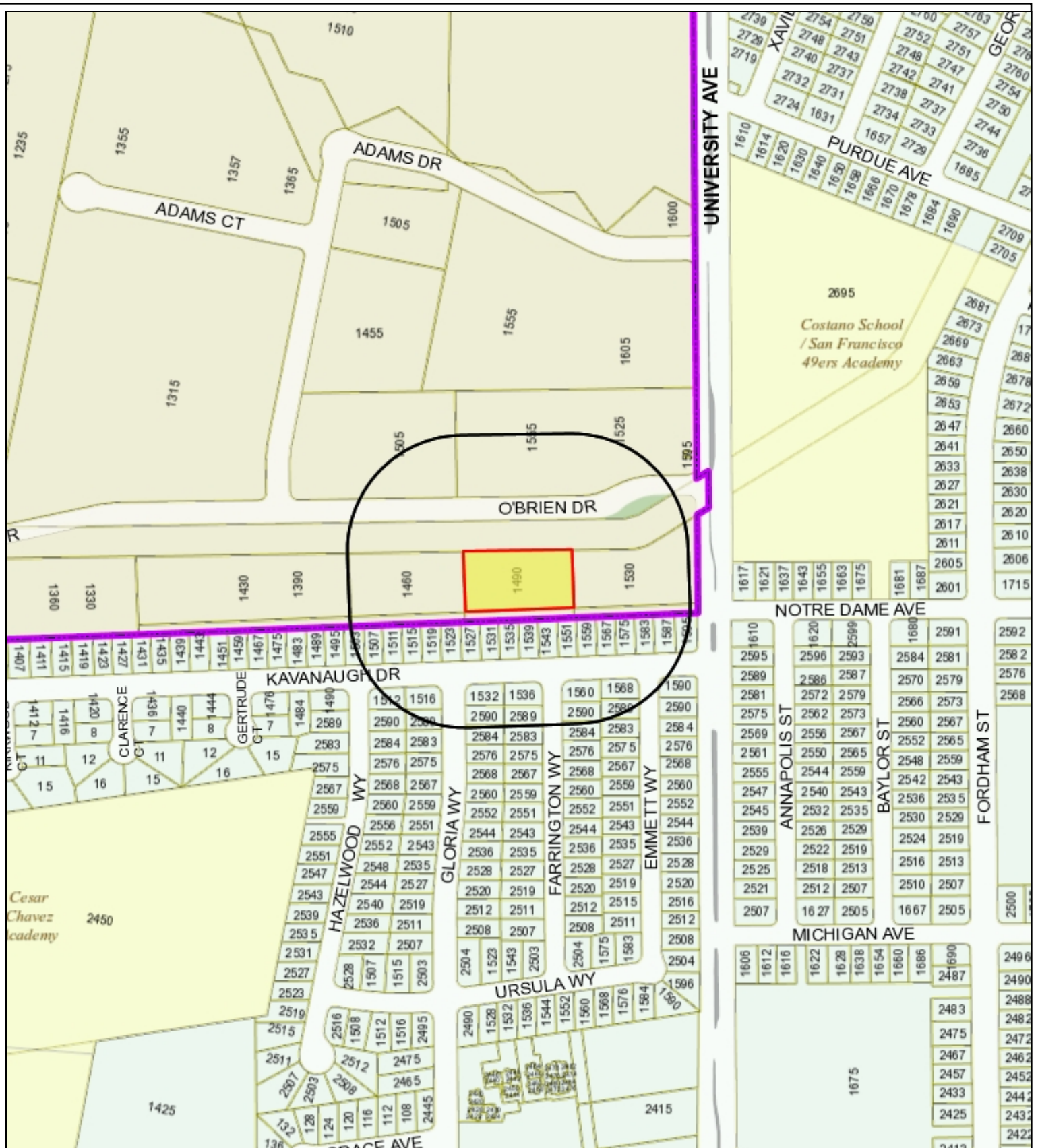
Report reviewed by:
Thomas Rogers, Principal Planner

1490 O'Brien Drive – Attachment A: Recommended Actions

LOCATION: 1490 O'Brien Drive	PROJECT NUMBER: PLN2017-00086	APPLICANT: Elke MacGregor	OWNER: Tarlton Properties, Inc.
PROPOSAL: Request for architectural control to construct a new steel mezzanine and stairs within an existing building located in the LS (Life Sciences) zoning district.			
DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines. 2. Approve the Below Market Rate Housing Agreement. 3. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval: <ol style="list-style-type: none"> a. The general appearance of the structure is in keeping with the character of the neighborhood. b. The development will not be detrimental to the harmonious and orderly growth of the City. c. The development will not impair the desirability of investment or occupation in the neighborhood. d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking. e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made. 4. Approve the architectural control subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by DES Architects + Engineers consisting of ten plan sheets, dated received October 27, 2017, as well as the Project Description Letter, dated received August 25, 2017, approved by the Planning Commission on January 8, 2018, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall provide street improvements on public 			

1490 O'Brien Drive – Attachment A: Recommended Actions

LOCATION: 1490 O'Brien Drive	PROJECT NUMBER: PLN2017-00086	APPLICANT: Elke MacGregor	OWNER: Tarlton Properties, Inc.
PROPOSAL: Request for architectural control to construct a new steel mezzanine and stairs within an existing building located in the LS (Life Sciences) zoning district.			
DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p>ACTION:</p> <p>street edges of the property that comply with adopted City of Menlo Park street construction requirements for the adjacent street type, including curb, gutter, sidewalk, street trees, street lights, and undergrounding of overhead electric distribution and communication lines along the property frontage. The plans shall be submitted for review and approval of the Engineering Division.</p> <p>f. Simultaneous with the submittal of a complete building permit application, the applicant shall comply with all applicable requirements of the ConnectMenlo General Plan Update Mitigation Monitoring or Reporting Program (MMRP), subject to review and approval of the Planning Division.</p>			



City of Menlo Park
 Location Map
 1490 O'Brien Drive



RECEIVED

AUG 25 2017

1490 O'BRIEN DRIVE NEW MEZZANINE ■

08/25/17

CITY OF MENLO PARK
PLANNING**Project Description**

The existing concrete tilt-up building includes office/R&D areas. A new steel deck mezzanine will be installed in an existing two story open lab. This mezzanine will have a dedicated new stair. There is no change to the building use.

DES
ARCHITECTS
ENGINEERS**Existing Site and Building**

The project is located at 1490 O'Brien Drive and the site area is 73,180 sq. ft.. It has always been identified as Building 10 of the Menlo Business Park. The existing building was originally designed in 1986 by DES and is approximately 30,000sq. ft., including a partial second floor. It occupies the central portion of the site with parking areas on all sides. Two driveway entrances are located on the east and west side of the building along O'Brien Drive. There are paved patios and walkways at the building entries facing O'Brien Drive and this street frontage is screened by mature trees and landscaping. More recently this building has been used as a multitenant building for research and development.

The site is zoned as LS that allows a maximum 55% FAR. The existing FAR is 41.8%.

Proposed Project scope

1. Add new mezzanine (519 sq ft.) inside of building.



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Menlo Park Labs Bldg. 10 - New Mezzanine

1490 O'Brien Drive, Menlo Park, CA. 94025



DATE: 10.23.2017
© 2017

PROJECT DATA

1 SITE AND ZONING REQUIREMENTS

a. PROJECT SITE AREA:	1.68 AC, 73,181 SF
b. ZONING DESIGNATION:	LS
c. BUILDING HEIGHT LIMIT:	35'-0" MAX
d. BUILDING SETBACKS REQUIRED:	
- FRONT YARD	5'-0"
- REAR YARD	10'-0"
- SIDE YARDS	10'-0"

2 EXISTING PROJECT

a. TOTAL BUILDING AREA:		
FIRST FLOOR	22,464	SQ. FT.
SECOND FLOOR	8,159	SQ. FT.
	30,623	SQ. FT.

b. EXISTING SITE COVERAGE:	30 %
c. EXISTING LANDSCAPE AREA COVERAGE:	20 %
d. EXISTING PAVING AREA COVERAGE:	50 %
e. EXISTING BUILDING HEIGHT: (TO TOP OF PARAPET)	32'-0"
f. PARKING PROVISION:	75 STALLS (2.48/1,000)

3 PROPOSED PROJECT

a. NEW INTERIOR S.F. PROPOSED MEZZANINE	519	SQ. FT.
9. FLOOR AREA RATIO (F.A.R.):	42.4 %	

PROJECT DATA

h. BUILDING SETBACKS:		
- FRONT YARD TO BUILDING (EXISTING - TOP)	80'-0"	
- REAR YARD (EXISTING - BOTTOM)	50'-0"	
- SIDE YARD (EXISTING - LEFT)	35'-0"	
- SIDE YARD (EXISTING - RIGHT)	45'-0"	

CODE COMPLIANCE NOTES

1. THE PROJECT CONFORMS TO THE CITY FIRE REGULATIONS - EXISTING FIRE HYDRANTS ARE PROVIDED TO COVER THE ENTIRE SITE.
2. EXISTING DRIVEWAYS 25'-0" WIDE AT FRONT, ARE PROVIDED FOR THE MOVEMENT OF FIRE TRUCKS THROUGH THE SITE
3. THE PROJECT WILL HAVE FIRE SPRINKLERS AND FIRE EXTINGUISHERS AS REQUIRED BY THE MENLO PARK FIRE DEPARTMENT.

SHEET INDEX

- 0 COVER SHEET
- 1 PROJECT DATA, SHEET INDEX AND CONTACT
- 2 VICINITY MAP
- 2a SITE PLAN (For Reference only)
- 2b BOUNDARY & TOPOGRAPHIC SURVEY
- 3 EXISTING FIRST FLOOR PLAN (For reference only)
- 4 EXISTING SECOND FLOOR PLAN (For reference only)
- 5 PROPOSED MEZZANINE FLOOR PLAN
- 6 GFA DIAGRAMS
- 7 EXISTING BUILDING PHOTOS

CONTACT

CLIENT/OWNER

TARLTON PROPERTIES, INC.
1530 O'BRIEN DRIVE, SUITE C
MENLO PARK, CALIFORNIA 94025
PHONE: (650) 330-3600
FAX: (650) 330-3636
WEBSITE: WWW.TARLTON.COM
CONTACT: RON KRIETEMEYER

ARCHITECTS

DES ARCHITECTS + ENGINEERS
399 BRADFORD STREET, SUITE 300
REDWOOD CITY, CALIFORNIA 94063
PHONE: (650) 364-6453
FAX: (650) 364-2618
WEBSITE: WWW.DES-AE.COM
CONTACT: ELKE MACGREGOR

PROJECT SCOPE

NEW WORK:

1. (N) 12'-6" AFF. STEEL DECK MEZZANINE

Menlo Park Labs Bldg. 10 - New Mezzanine



1490 O'Brien Drive, Menlo Park, CA. 94025

PROJECT DATA, SHEET INDEX & CONTACT

1

DATE: 10.23.2017
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Menlo Park Labs Bldg. 10 - New Mezzanine

1490 O'Brien Drive, Menlo Park, CA. 94025

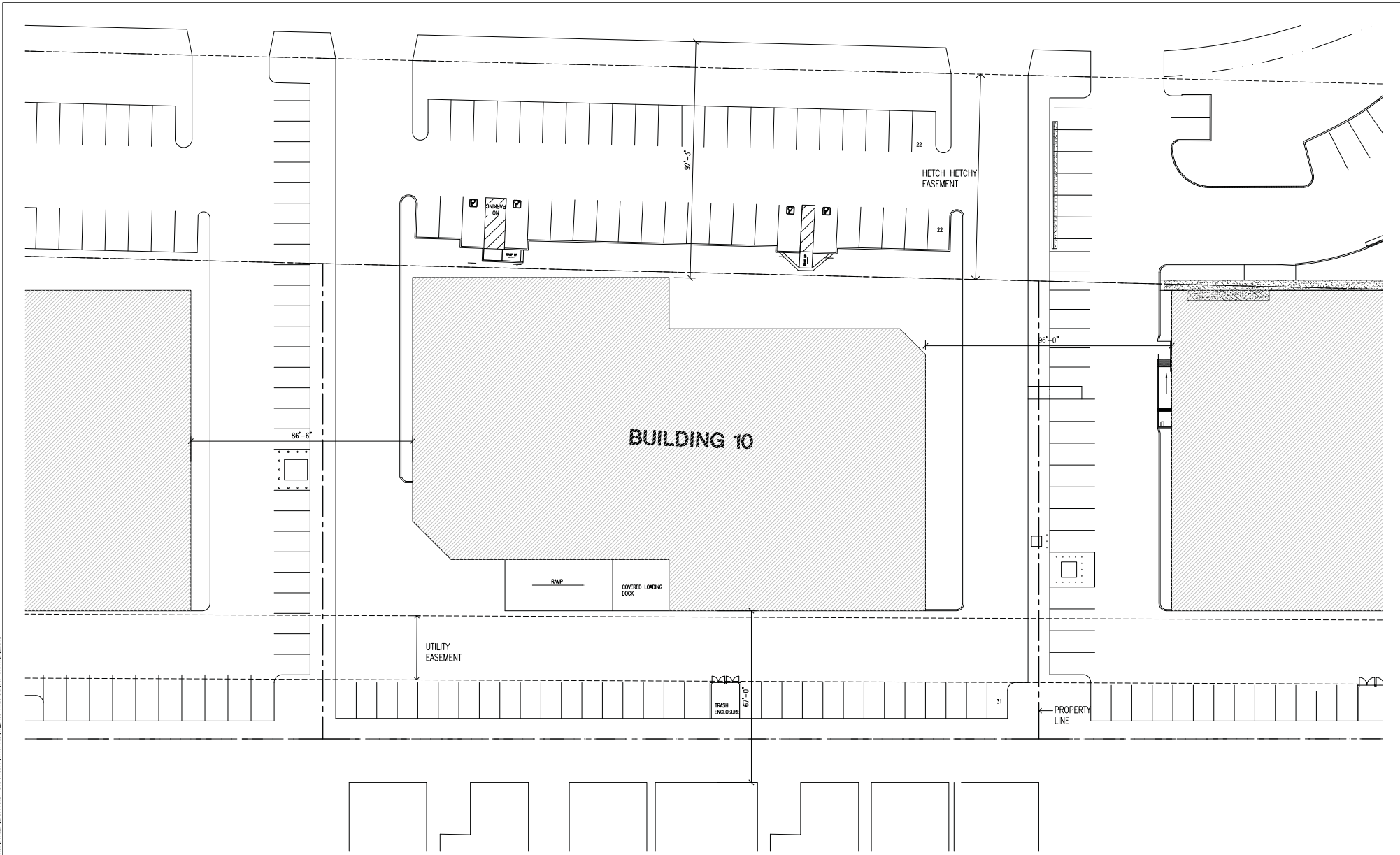
AERIAL VICINITY MAP

2

DATE: 10.23.2017
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Menlo Park Labs Bldg. 10 - New Mezzanine

1490 O'Brien Drive, Menlo Park, CA. 94025

SITE PLAN (FOR REFERENCE)

2a

DATE: 10.23.2017
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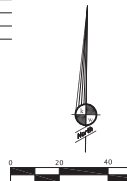


LEGEND

PROPERTY LINE	---	AUTOMATIC SPRINKLER RISER	●	SANITARY SEWER	SS
ADJACENT PROPERTY LINE	----	VALVE	○	STORM DRAIN	SD
FORMER PROPERTY LINE	CATCH BASIN / DROP INLET	⊕	WATER	W
CENTRINE	----	FIRE DEPARTMENT CONNECTION	⊕	FIRE SERVICE	FS
MONUMENT LINE	----	BACK FLOW PREVENTER	⊕	GAS	G
APPROX. FLOOD ZONE BOUNDARY	----	POST INDICATOR VALVE	⊕	JOINT TRENCH	JT
EASEMENT	----	UTILITY BOX (SIZE VARIES)	□	STREET LIGHTING	SL
BUILDING LINE	----	SOCK	○	FIBER OPTIC	FO
BUILDING OVERHANG	----	ROLLIARD (UNLESS NOTED OTHERWISE)	○	TELEVISION	TV
FOUND 2-1/2" BRASS DRX WITH PUNCH IN MON BOX OFF SET 5.00 FEET (UNLESS OTHERWISE NOTED)	○	TREE W/ SIZE AND ELEVATION	○	TELEPHONE	T
ROLLIARD LIGHT	○	SPOT ELEVATION	○		
LIGHT	○	GROUND SPOT ELEVATION	○		
STREET LIGHT	○	TRUNCATED DOME	○		
TRANSFORMER	○	TRAFFIC SIGNAL ARM / POST	○		
FIRE HYDRANT	○	CURB & GUTTER	○		
STORM DRAIN MANHOLE	○	CONCRETE	○		
MANHOLE	○	FENCE	○		
CLEAN OUT	○	WALL	○		
GAS METER	○	CONTOUR	○		
ELECTRIC CAR CHARGER	○	INDEX CONTOUR	○		
		WALKING PATH	○		

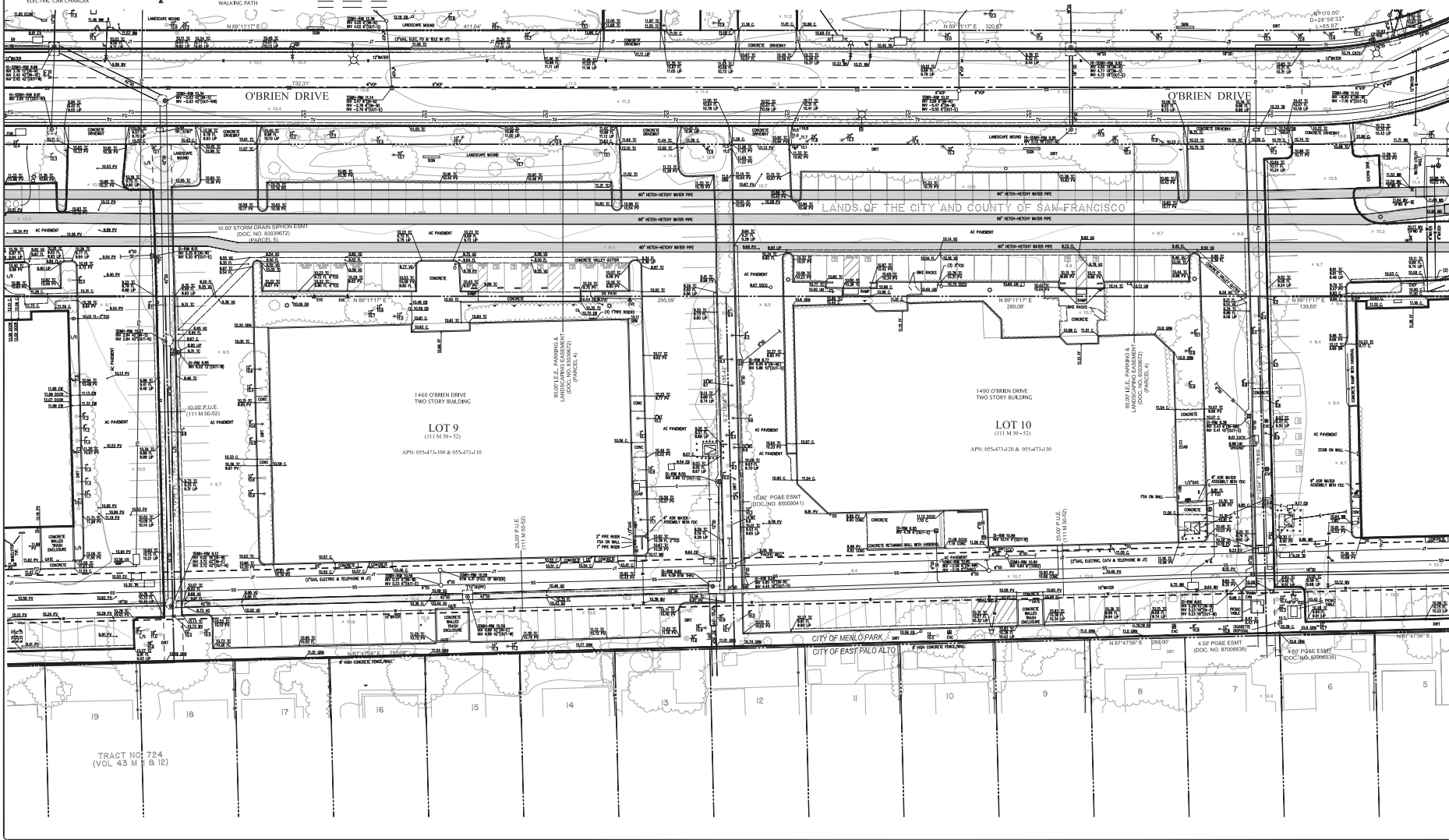
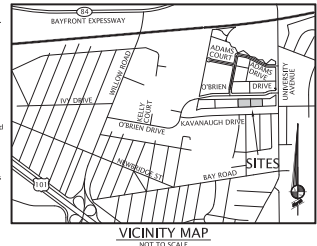
ABBREVIATIONS

AC	ASPHALTIC CONCRETE	FSA	FIRE SPRINKLER ALARM	SDMH	STORM DRAIN MANHOLE
AD	AREA DRAIN	CSN	GROUND	SE	SOUTHEAST
BFC	BROOKS FIBER	CV	GAS VALVE	SELB	STREET LIGHT BOX
BOL	BOLLARDS	H	HIDDEN INLET	SSCO	SANITARY SEWER CLEAN OUT
BR	BOTTOM OF RAMP	I.E.E.	INCESS EGRESS EASEMENT	SSSM	SANITARY SEWER FORCE MAIN
BW	BACK OF WALK	INT.	INSTRUMENT	SSMH	SANITARY SEWER MANHOLE
C	CONCRETE	INV	INVERT ELEVATION	SW	SOUTHWEST
CE	CATCH BASIN	JT	JOINT TRENCH	SW	SOUTHWEST
CLE	CHAIN LINK FENCE	LS	LANDSCAPE	TC	THROUGH CURB DRAIN
COM	COMMUNICATIONS	UP	UP OF GUTTER	TCD	TRENCH DRAIN
CONC	CONCRETE	M	MARBLE	TLE	TRANS ENCLOSURE
D	DEEDS	MB	MALIBOX	TLE	TELEPHONE
DI	DROP INLET	MT	MULTIPLE TRUNKS	TL	TOP OF TREE ROOT
DIP	DIP INLET	N	NORTH	TW	TOP OF WALL
DN	DIRECTION OF FLOW	NE	NORTHEAST	UCM	UTILITY CABINET
DGC	DECOMPOSED GRANITE	NO.	NORTHWEST	UPED	UTILITY PEDestal
DS	DOWNSPOUT	NW	NORTHWEST	VCP	VITRIFIED CLAY PIPE
E	EAST	NXK	NEXTLINE	W	WEST
E.A.E.	EMERGENCY ACCESS EASEMENT	O.A.	OFFICIAL RECORDS	WB	WATER BOX
ELC	ELECTRIC BOX	PD	PEDESTAL	WM	WATER METER
ELC	ELECTRICAL	PGAE	PUBLIC GAS & ELECTRIC	WV	WATER VALVE
EV	ELECTRIC VEHICLE CHARGER	PP	FOR PLAY		
EV	ELECTRIC VEHICLE CHARGER	P.U.L.	PUBLIC UTILITY EASEMENT		
EW	EDGE OF WALK	P	PAVEMENT		
FF	FINISH FLOOR	PCP	REINFORCED CONCRETE PIPE		
FL	FLOW LINE	RM	RM ELEVATION		
FOB	FIBER OPTIC BOX	S	SOUTH		



NOTES

- This survey was prepared from information furnished by a Preliminary Title Report, prepared by First American Title Insurance Company, dated November 17, 2016, Order No. NCS-83229-04 (with reference to 1450 O'Brien Drive only) and from information furnished by a Preliminary Title Report, prepared by First American Title Insurance Company, dated November 17, 2016, Order No. NCS-83221-04 (with reference to 1450 O'Brien Drive only). No liability is assumed for matters of record not stated in said Preliminary Title Report that may affect the boundary lines, easements, or encumbrances affecting the property.
- Note the effects of the covenants, conditions, restrictions, easements, assessments, liens, charges, terms and provisions in the documents recorded August 14, 1983 as Instrument No. 85-082618 of Official Records, and Instrument No. 96-002389 of Official Records.



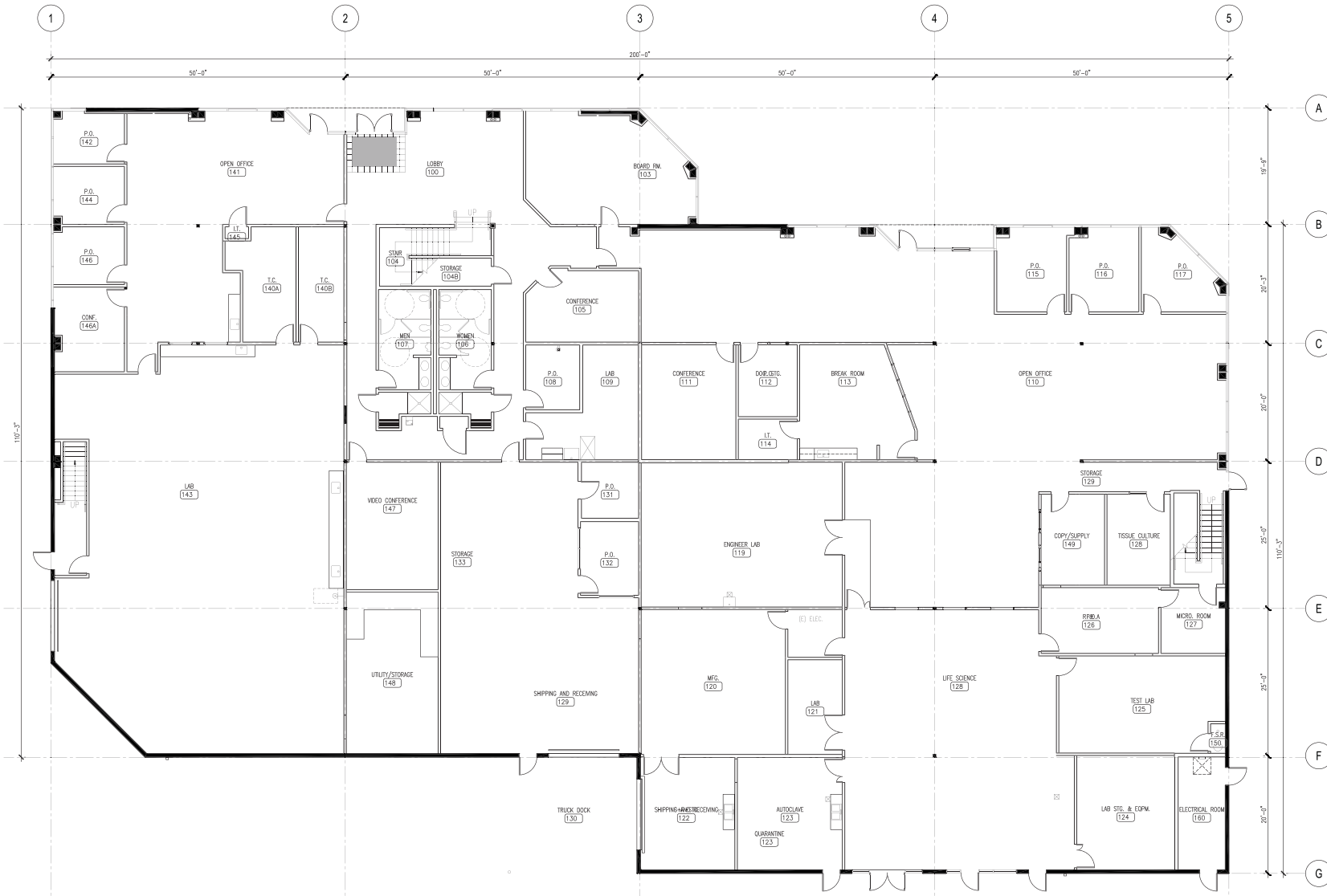
KIER & WRIGHT
 CIVIL ENGINEERS & SURVEYORS, INC.
 3350 Sloat Boulevard, Building 22
 San Francisco, California 94116
 (415) 772-6665
 (415) 772-9901

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY
 FOR: FARLTON PROPERTIES, INC.
 O'BRIEN DRIVE & ADAMS DRIVE
 MENLO PARK, CALIFORNIA

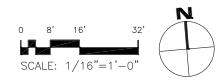
DATE: JUNE, 2017
 SCALE: 1"=20'
 DESIGNER: JRY
 DRAFTER: CJ
 JOB: A17010
 SHEET: 4
 OF 14 SHEETS

2b

04-21-2017 11:20am - 02week - P:\Open\New\1023020\1023020.dwg - 10/23/2017 - 11:21:43 AM - 4801 Lines - 481,609 Bytes - 1.04



1 FIRST FLOOR PLAN



Menlo Park Labs Bldg. 10 - New Mezzanine

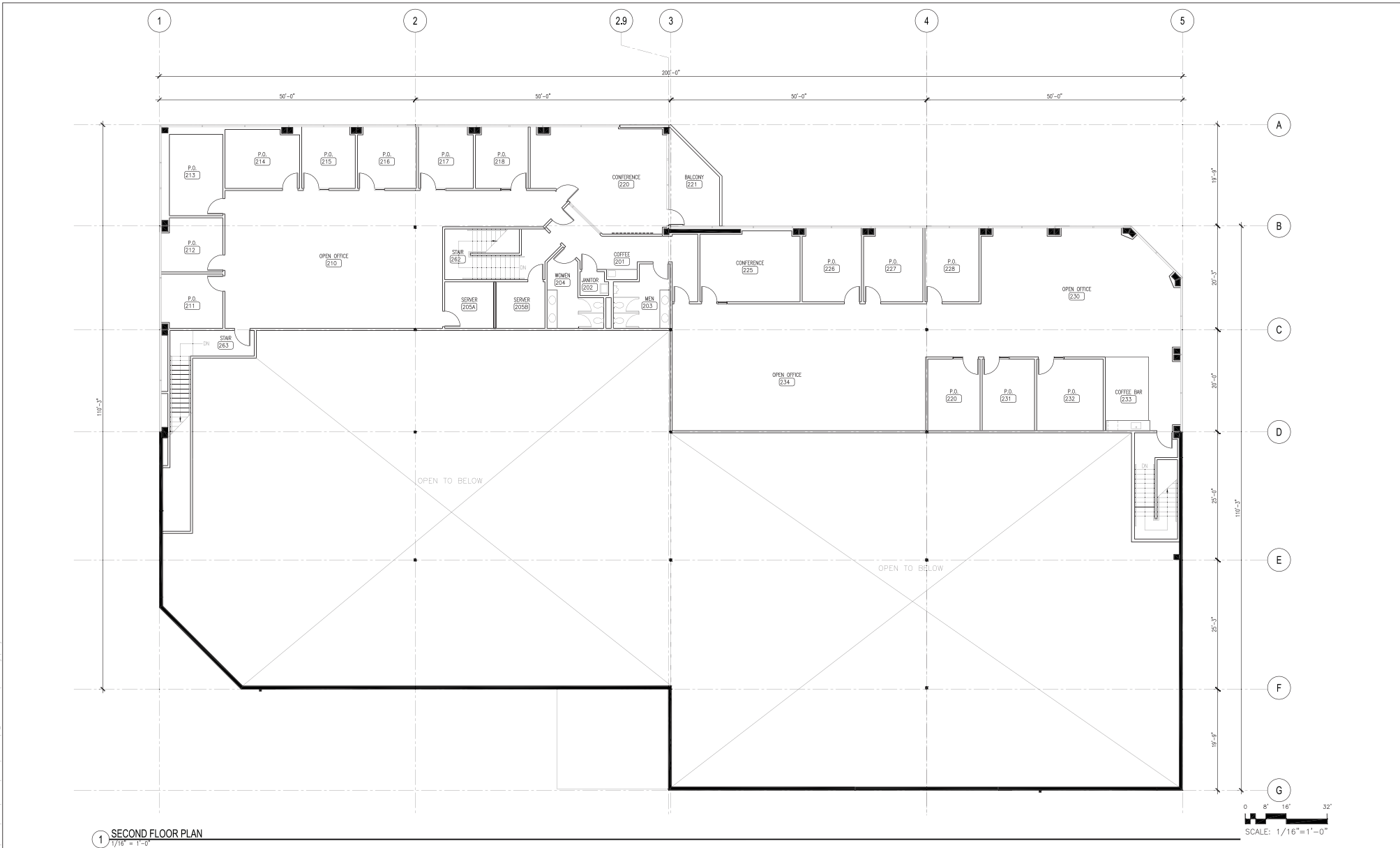
EXISTING FIRST FLOOR PLAN (FOR REFERENCE ONLY)

TARLTON 1490 O'Brien Drive, Menlo Park, CA. 94025

3

DATE: 10.23.2017
© 2017





1 SECOND FLOOR PLAN
1/16" = 1'-0"

Menlo Park Labs Bldg. 10 - New Mezzanine

EXISTING SECOND FLOOR PLAN (FOR REFERENCE ONLY)

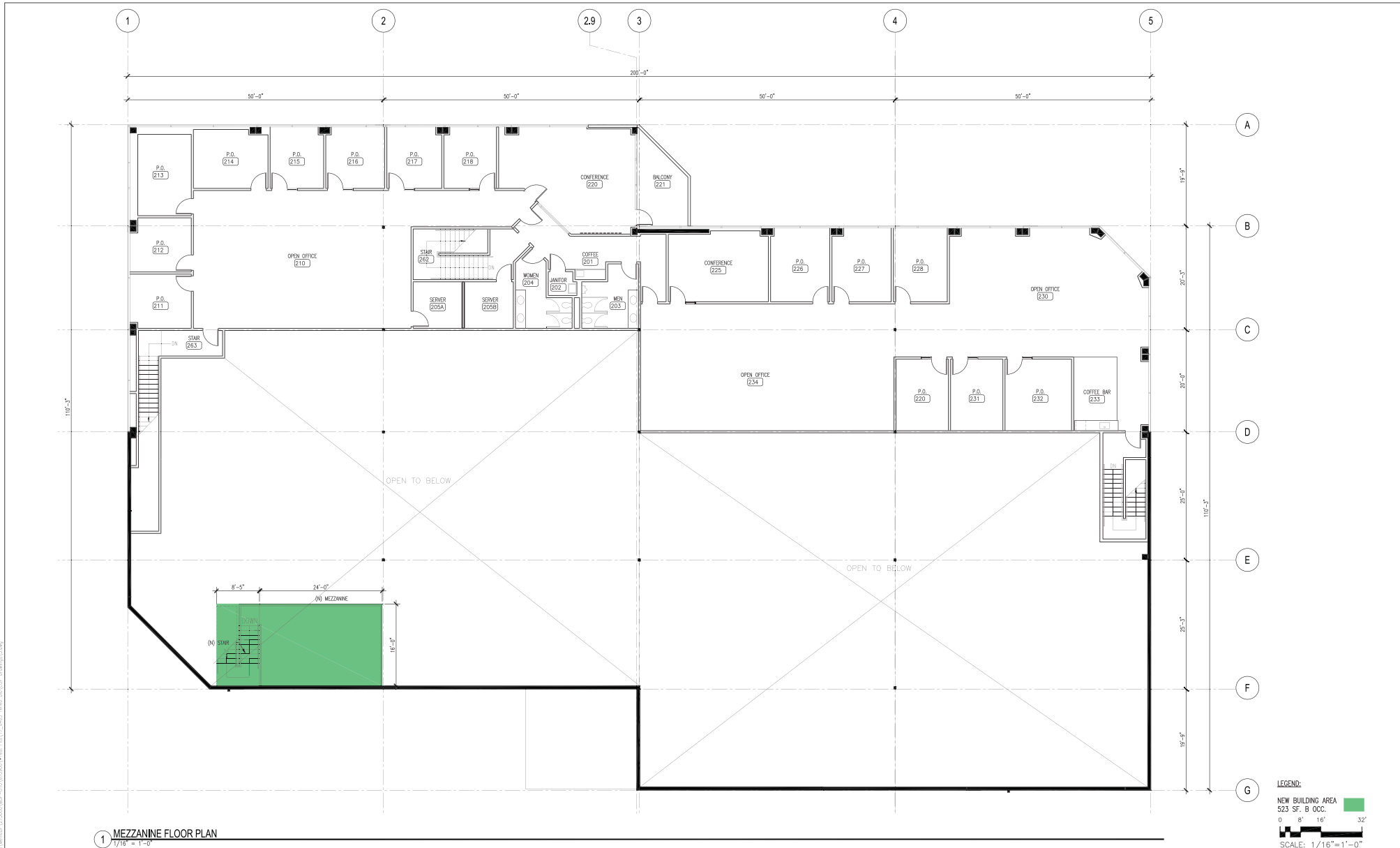


1490 O'Brien Drive, Menlo Park, CA. 94025

4

DATE: 10.23.2017
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1 MEZZANINE FLOOR PLAN
1/16" = 1'-0"

LEGEND:
NEW BUILDING AREA
523 SF, B OCC.
0 8' 16' 32'
SCALE: 1/16"=1'-0"

Menlo Park Labs Bldg. 10 - New Mezzanine

TARLTON 1490 O'Brien Drive, Menlo Park, CA. 94025

PROPOSED MEZZANINE FLOOR PLAN

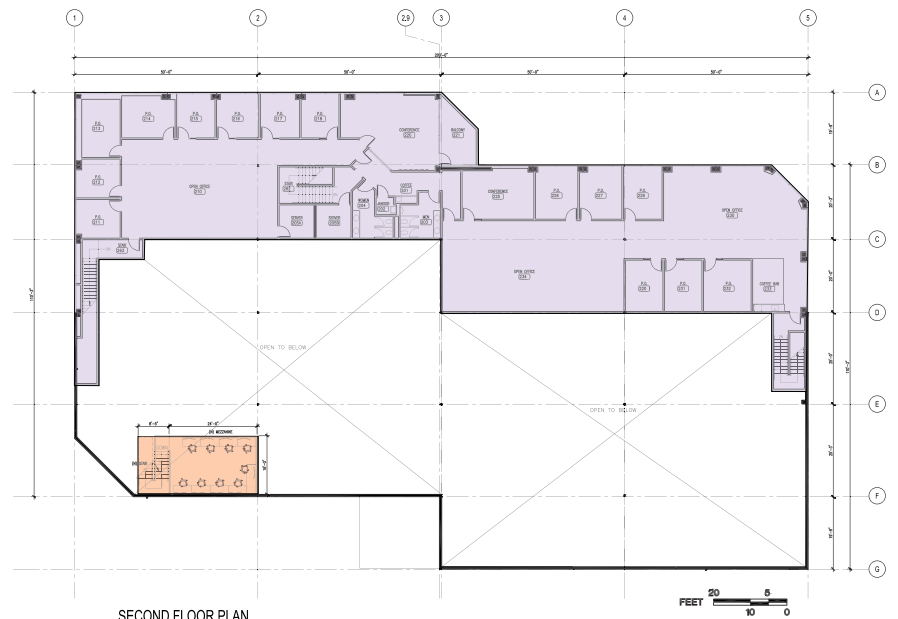
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DATE: 10.23.2017
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FIRST FLOOR PLAN



SECOND FLOOR PLAN

- EXISTING GFA = 30,623 SF
- PROPOSED GFA = 519 SF

SUMMARY:

(E) FIRST FLOOR	= 22,464 SF
(E) SECOND FLOOR	= 8,159 SF
PROPOSED MEZZANINE	= 519 SF
TOTAL	= 31,142 SF



Menlo Park Labs Bldg. 10 - New Mezzanine

TARLTON 1490 O'Brien Drive, Menlo Park, CA. 94025

GFA DIAGRAMS

6

DATE: 10.23.2017
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NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

04-23-2017 10:57am C:\Users\jamesr\OneDrive\Documents\Projects\20170901\1490 O'Brien Drive\1490 O'Brien Drive\1490 O'Brien Drive - CityView



Menlo Park Labs Bldg. 10 - New Mezzanine

1490 O'Brien Drive, Menlo Park, CA. 94025

EXISTING BUILDING PHOTOS

7

DATE: 10.23.2017
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BELOW MARKET RATE HOUSING IN LIEU FEE AGREEMENT

This Below Market Rate Housing In Lieu Fee Agreement (“Agreement”) is made as of this ___ day of _____, 2018 by and between the City of Menlo Park, a California municipality (“City”) and Tarlton Properties, Inc., a California Corporation (“Applicant”), with respect to the following:

RECITALS

- A. Applicant owns a building, located at that certain real property in the City of Menlo Park, County of San Mateo, State of California, consisting of approximately .98 acres, more particularly described as Assessor’s Parcel Number: 055-473-120 (“Property”), and commonly known as 1490 O’Brien Drive, Menlo Park.
- B. The Property currently contains one building with a combination of office and research and development (R&D) spaces. The gross floor area of the existing building is approximately 30,623 square feet.
- C. Applicant proposes to add approximately 519 square feet of gross floor area for office and R&D uses by constructing a new mezzanine space within the existing building. Applicant has applied to the City for architectural control to increase the square footage within the building (“Project”).
- D. Applicant is required to comply with Chapter 16.96 of City’s Municipal Code (“BMR Ordinance”) and with the Below Market Rate Housing Program Guidelines (“Guidelines”) adopted by the City Council to implement the BMR Ordinance. In order to process its application, the BMR Ordinance requires Applicant to submit a Below Market Rate Housing Agreement. This Agreement is intended to satisfy that requirement. Approval of a Below Market Rate Housing Agreement is a condition precedent to the approval of the applications and the issuance of a building permit for the Project.
- E. Residential use of the Property is not allowed by the applicable zoning regulations. Applicant does not own any sites in the City that are available and feasible for construction of sufficient below market rate residential housing units to satisfy the requirements of the BMR Ordinance. Based on these facts, the City has found that development of such units off-site in accordance with the requirements of the BMR Ordinance and Guidelines is not feasible.
- F. Applicant, therefore, is required to pay an in lieu fee as provided for in this Agreement. Applicant is willing to pay the in lieu fee on the terms set forth in this Agreement, which the City has found are consistent with the BMR Ordinance and Guidelines.

NOW, THEREFORE, the parties agree as follows:

1. If Applicant elects to proceed with the Project, Applicant shall pay the in lieu fee as provided for in the BMR Ordinance and Guidelines. Notwithstanding the proceeding, nothing in this Agreement shall obligate Applicant to proceed with the Project. The applicable in lieu fee is that which is in effect on the date the payment is made. The in lieu fee will be calculated as set forth in the table below; however, the applicable fee for the Project will be based upon the amount of square footage within Group A and Group B at the time of payment. The estimated in lieu fee is provided below.

Table 1: BMR Requirements and Applicant Proposal			
	Fee per square foot	Square feet	Component fees
Existing Building - Office	\$16.90	30,623	(\$517,528.70)
Existing Building - Non-Office	\$9.70	0	(\$0.00)
Proposed Building - Office	\$16.90	31,142	\$526,299.80
Proposed Building - Non-Office	\$9.70	0	\$0.00
BMR In-Lieu Fee Option			\$8,771.10

2. If the Applicant elects to proceed with the Project, the Applicant shall pay the in lieu fee before the City issues a building permit for the Project. The in lieu fee may be paid at any time after approval of this Agreement by the Planning Commission. If for any reason, a building permit is not issued within a reasonable time after Applicant's payment of the in lieu fee, upon request by Applicant, City shall promptly refund the in lieu fee, without interest, in which case the building permit shall not be issued until payment of the in lieu fee is again made at the rate applicable at the time of payment.
3. This Agreement shall be binding on and inure to the benefit of the parties hereto and their successors and assigns. Each party may assign this Agreement, subject to the reasonable consent of the other party, and the assignment must be in writing.
4. If any legal action is commenced to interpret or enforce this Agreement or to collect damages as a result of any breach of this Agreement, the prevailing party shall be entitled to recover all reasonable attorney's fees and costs incurred in such action from the other party.

5. This Agreement shall be governed by and construed in accordance with the laws of the State of California and the venue for any action shall be the County of San Mateo.
6. The terms of this Agreement may not be modified or amended except by an instrument in writing executed by all of the parties hereto.
7. This Agreement supersedes any prior agreements, negotiations, and communications, oral or written, and contains the entire agreement between the parties as to the subject matter hereof.
8. Any and all obligations or responsibilities of Applicant under this Agreement shall terminate upon the payment of the required fee.
9. To the extent there is any conflict between the terms and provisions of the Guidelines and the terms and provisions of this Agreement, the terms and provisions of this Agreement shall prevail.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first written above.

CITY OF MENLO PARK

Tarlton Properties Inc.

By: _____
City Manager

By: _____
Its:



STAFF REPORT

Planning Commission

Meeting Date: 1/8/2018
Staff Report Number: 18-002-PC

Public Hearing: Use Permit/Gebrand Brouwer/112 Chester Street

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to demolish a detached garage and a shed and construct a new detached garage and secondary dwelling unit with aesthetic characteristics different from the main residence. The subject parcel is a substandard through lot with regards to lot width in the R-1-U (Single-Family Urban Residential) zoning district, and the secondary dwelling unit would be located along the Haight Street frontage. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposed project.

Background

Site location

The subject property is located at 112 Chester Street, between Laurel and Menalto Avenues, in the northern portion of the Willows neighborhood. A location map is included as Attachment B. The surrounding neighborhood is predominantly comprised of single-story, single-family residences in the ranch style, although some two-story, single-family residences in a variety of architectural styles are present. All parcels in the immediate neighborhood are in the R-1-U zoning district. The subject parcel is located close to the boundary of the City of East Palo Alto.

Secondary Dwelling Unit development regulations

Chapter 16.79 of the Zoning Ordinance pertains to secondary dwelling units, and these regulations have been updated several times in recent years in order to both comply with State law and reflect community preferences. Section 16.79.040 includes 14 development regulations that new secondary dwelling units must comply with. However, Section 16.79.030 of this chapter outlines a provision for modifications to the development regulations for proposals that require changes to the development and use regulations, with the exception of 16.79.040 (3) density and (4) subdivision.

For reference, in 2013, staff brought proposed modifications to the secondary dwelling unit regulations to the Planning Commission for a recommendation, and ultimately presented the City Council with a set of five questions to consider and take action on related to the development regulations. Among those

questions was one regarding whether to add flexibility to section 16.79.040 (13) Aesthetics, which requires that “the secondary dwelling unit shall have colors, materials, textures and architecture similar to the main dwelling.” The Council was presented with an alternative that the colors, materials, textures and architecture be “compatible with” the main residence, which would have provided staff with more flexibility regarding aesthetics. However, the City Council did not support making such a change at the June 4, 2013 meeting, and the requirement for aesthetic similarity has remained in effect.

Analysis

Project description

The applicant is seeking to construct a new secondary dwelling unit and detached garage. The applicant is proposing to modify the development regulations for secondary dwelling units to construct a detached secondary dwelling unit that is not aesthetically similar to the main residence. No changes to the existing main residence are proposed as part of this project, although an existing one-car garage along the Haight Street frontage would be demolished in order to allow the new construction. The parking for the main residence would remain nonconforming (with only one covered parking space and no other spaces that meet the relevant criteria), which may be permitted on remodel/expansion projects. The Haight Street driveway would provide room for one parking space for the new secondary dwelling unit (which would meet the Zoning Ordinance requirements for such spaces) and an additional space (which would not count as required parking, but which would provide flexibility). The Chester Street frontage also has an existing curb cut that could provide functional parking (although it should be noted that Municipal Code Chapter 8.20 establishes separate limits on vehicle storage within yards).

A data table summarizing the parcel and approved project is included as Attachment C for reference. The proposed project plans and the applicant’s project description letter are included as Attachments D and E, respectively. The proposed secondary dwelling unit appears to maintain privacy for the residents and their neighbors as well as fit with the scale of the greater neighborhood, but because the architectural styles are not similar a use permit is required. The applicant has expressed concerns about the aesthetic similarity requirement in their project description letter. Specifically, the applicant notes potential limitations to the development of additional, attractive, housing units where the design of an older existing main residence would dictate the design of a new secondary dwelling unit. The Planning Commission may wish to provide comments on this requirement for future consideration by staff. As noted earlier, in 2013, staff presented the City Council with an alternative allowing for more aesthetic flexibility with secondary dwelling units and main residences, but such a change was not supported at that time.

Design and materials

In the project description letter, the applicant explains that though the proposed secondary dwelling unit appears different from the main residence, they are similar in that they both are simple forms with little to no protrusions, one simple material, and similar heights. The secondary dwelling unit appears to be proposed to be constructed in a more contemporary style with a shed roof and smooth stucco exterior. The primary entrance to the unit would be from the Haight Street frontage through a small covered entry. The proposed design appears compatible with the neighboring properties with Haight Street frontages.

The proposal includes a one-car garage attached to the secondary dwelling unit. The two structures share

structural members; however, there is no internal connection proposed. The garage would have corrugated metal siding and a sliding corrugated metal door. One rectangular metal-clad casement window is proposed for the garage at the Haight Street frontage, and a large fixed metal clad window is proposed directly adjacent to a narrower casement window on the right for the secondary unit. A high metal clad window is proposed along the side of the garage with a sill height of approximately eight feet, in order to allow light in while maintaining privacy. The proposed roof of the garage would be a flat roof clad in thermoplastic polyolefin. An attached patio is proposed behind the garage at the interior of the lot, with large glass doors in order to connect the interior space of the secondary unit with exterior patio space.

The variety and quality of the materials, along with the variation in building forms and proposed location of the buildings on the lot would provide visual interest, maintain privacy, and help limit the perceived mass of the structure while integrating the lot with neighboring properties fronting on Haight Street. Staff believes that overall, the materials and style of the proposed secondary dwelling unit, while not strictly similar to the existing main residence on this parcel, are compatible with nearby residences and in keeping with the overall neighborhood aesthetic.

Trees and landscaping

The applicant has submitted an arborist report, prepared by KIELTY Arborist Services, LLC on August 23, 2016, indicating there are a total of 13 trees located on or near the property, three of which are heritage trees. The arborist report is included as Attachment F. Nine non-heritage trees are proposed for removal. No heritage trees are proposed for removal, and the report identifies tree protection measures for the trees to remain. The applicant has submitted a landscape plan with the location and type of materials for planters and plantings for the site. The landscape plans indicate 11 new trees are proposed, which the applicant has mentioned in their project description letter will aid in providing screening and maintaining privacy.

Correspondence

Staff has not received any written correspondence regarding this project, though the applicant has indicated that they have had informal discussions with their adjacent neighbors regarding the proposed construction.

Conclusion

Staff believes that the materials and style of the proposed secondary dwelling unit, although different than the existing main dwelling on site, are compatible with those of the greater neighborhood. The variety and quality of the materials, along with the variation in building forms and proposed location of the buildings on the lot would provide visual interest, maintain privacy, and help limit the perceived mass of the structure. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

Ori Paz, Planning Technician

Report reviewed by:

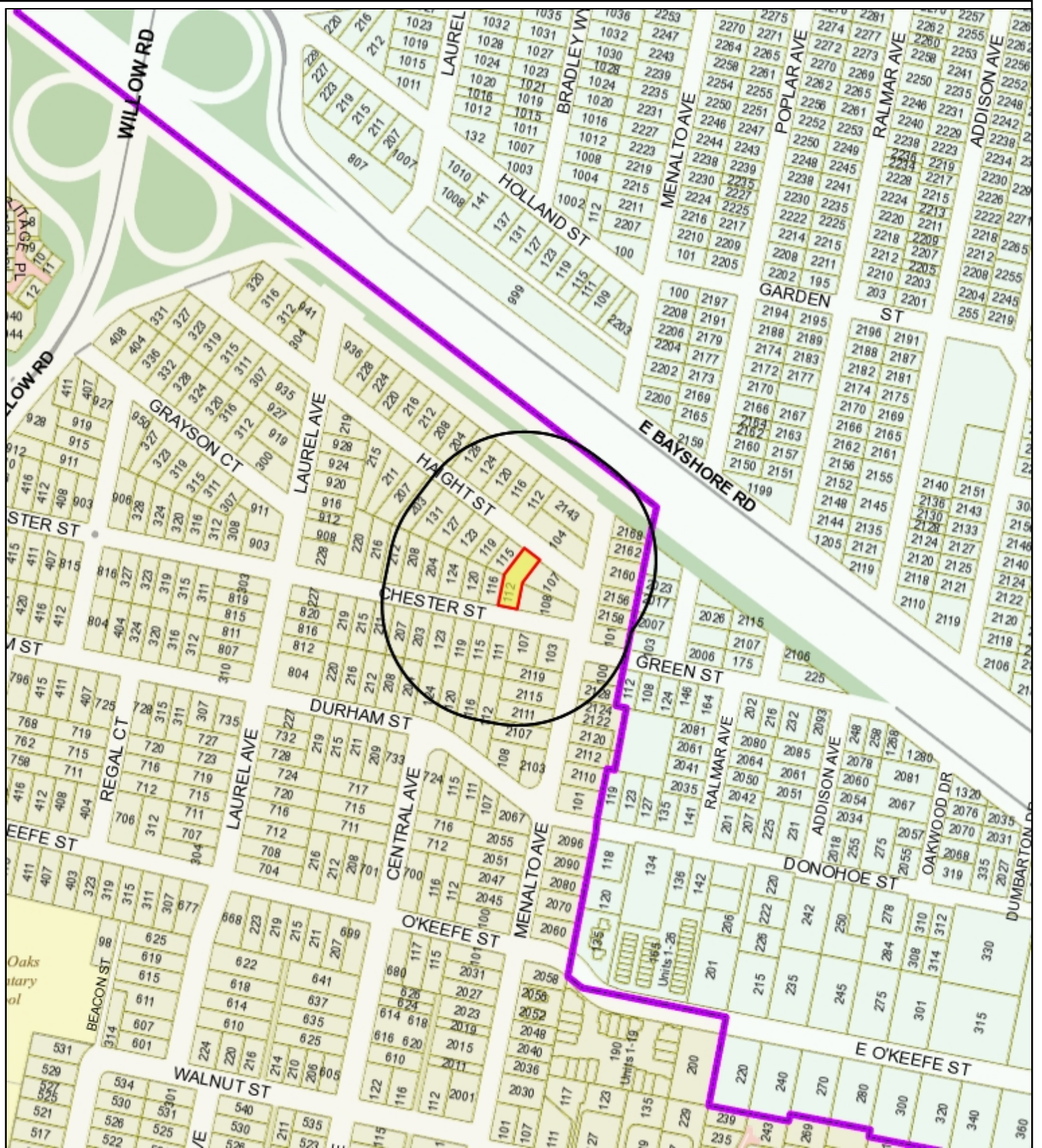
Thomas Rogers, Principal Planner

112 Chester Street – Attachment A: Recommended Actions

LOCATION: 112 Chester Street	PROJECT NUMBER: PLN2017-00107	APPLICANT: Gebrand Brouwer	OWNER: Gebrand Brouwer & Hermine Mante
PROPOSAL: Request for a use permit to demolish a detached garage and a shed and construct a new detached garage and secondary dwelling unit with aesthetic characteristics different from the main residence. The subject parcel is a substandard through lot with regards to lot width in the R-1-U (Single-Family Urban Residential) zoning district, and the secondary dwelling unit would be located along the Haight Street frontage.			
DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Ana Williamson Architect, consisting of 17 plan sheets, dated and received on January 3, 2018, and approved by the Planning Commission on January 8, 2018, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. 			

112 Chester Street – Attachment A: Recommended Actions

LOCATION: 112 Chester Street	PROJECT NUMBER: PLN2017-00107	APPLICANT: Gebrand Brouwer	OWNER: Gebrand Brouwer & Hermine Mante
PROPOSAL: Request for a use permit to demolish a detached garage and a shed and construct a new detached garage and secondary dwelling unit with aesthetic characteristics different from the main residence. The subject parcel is a substandard through lot with regards to lot width in the R-1-U (Single-Family Urban Residential) zoning district, and the secondary dwelling unit would be located along the Haight Street frontage.			
DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the Arborist Report prepared by Kielty Arborist Services and dated August 23, 2016.			

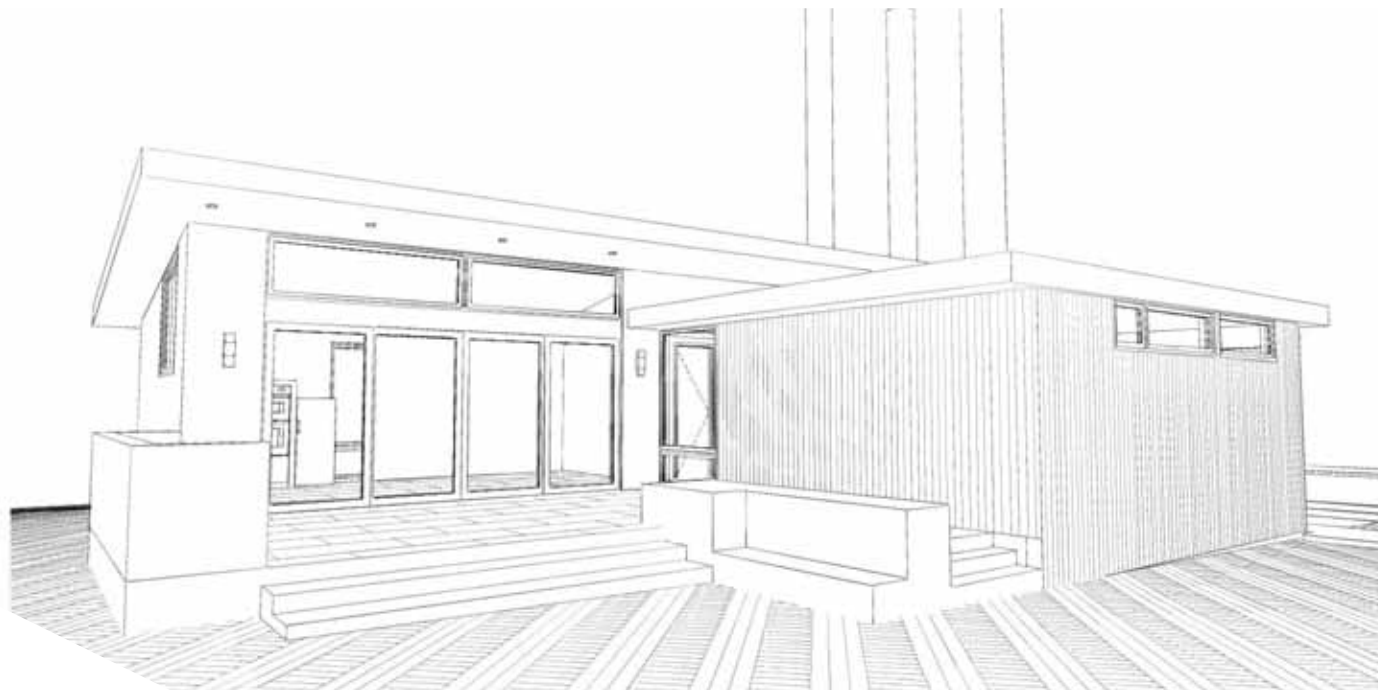


City of Menlo Park
 Location Map
 112 Chester Street



112 Chester Street – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	7,758 sf	7,758 sf	7,000.0 sf min.
Lot width	50 ft.	50 ft.	65.0 ft. min.
Lot depth	155.1 ft.	155.1 ft.	100.0 ft. min.
Setbacks			
Front (Chester St.)	20 ft.	20 ft.	20.0 ft. min.
Rear (Haight St.)	20 ft.	5.1 ft.	20.0 ft. min.
Side (left - main res.)	5.1 ft.	5.1 ft.	5.0 ft. min.
Side (left - SDU/gar.)	6.3 ft.	n/a	5.0 ft. min.
Side (right - main res.)	5.6 ft.	5.6 ft.	5.0 ft. min.
Side (right - SDU/gar.)	6.2 ft.	n/a	5.0 ft. min.
Building coverage	2,832.0 sf 36.5 %	2,032.0 sf 26.2 %	3,022.5 sf max. 39.0 % max.
FAL (Floor Area Limit)	2,779.0 sf	2,032.0 sf	2,987.5 sf max.
Square footage by floor	1,736.0 sf/1 st floor 404.0 sf/garage 639.0 sf/secondary dwelling unit 53.0 sf/porch	1,736.0 sf/1 st floor 219.0 sf/garage 77.0 sf/sheds	
Square footage of buildings	2,832.0 sf	2,032.0 sf	
Building height (main res.)	15.8 ft.	15.8 ft.	28.0 ft. max.
Building height (SDU)	15.0 ft.	n/a	17.0 ft. max.
Parking	1 covered/1 uncovered	1 covered	1 covered/2 uncovered
	Note: Areas shown highlighted indicate a nonconforming or substandard situation.		
Trees	Heritage trees: 3	Non-Heritage trees: 10*	New Trees: 11
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 9	Total Number of Trees: 15
	* Two non-heritage trees are located in the right-of-way on the Haight Street frontage of the property		



BROUWER-MANTE SECONDARY DWELLING UNIT MENLO PARK, CA



ANA WILLIAMSON ARCHITECT
888 SANTA CRUZ AVE. A. MENLO PARK, CA 94025 P: (650) 339-0577 F: (650) 328-4781

SEAL



BROUWER-MANTE
112 CHESTER ST.
MENLO PARK, CA 94025
APR. 06/22/2019

CONTENTS

- A0.0 COVER SHEET
- A0.1 PROJECT NOTES & FAR DIAGRAMS
- SU-1 SURVEY
- ARCHITECTURAL**
- A1.0 PROPOSED SITE PLAN
- A1.1 PROPOSED AREA PLAN & DEMO SITE PLAN
- A2.0 EXISTING MAIN RESIDENCE
- A2.1 PROPOSED FIRST FLOOR PLAN
- A2.2 PROPOSED ROOF PLAN
- A3.0 EXISTING MAIN RESIDENCE ELEVATIONS
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- A3.2 PROPOSED ELEVATIONS
- A4.0 PROPOSED SECTIONS
- CIVIL**
- C-2 GRADING PLAN
- C-3 UTILITY PLAN
- LANDSCAPE**
- L1.0 LANDSCAPE SITE PLAN
- L1.1 PLANTING PLAN
- L1.2 IRRIGATION PLAN

PROJECT SUMMARY

SITE INFORMATION			
JOB ADDRESS:	112 CHESTER ST. MENLO PARK, CA 94025	MAXIMUM HEIGHT:	17' SDU, 14' ACC. BUILDING
ASSessor's PARCEL NUMBER:	063236-190	DAYLIGHT PLANE SDU:	9'-6"
ZONING DISTRICT:	R1-U	SETBACKS:	
PARCEL SITE:	7,758 SF	FRONT:	20'
OCCUPANCY GROUPS:	R3/U	REAR:	20', 5' DETACHED ACC. BUILDING
TYPE OF CONSTRUCTION:	V-B	SIDE:	5', 0' DETACHED SDU
NUMBER OF STORIES:	1	PARKING:	1 COVERED (10' x 20')
FIRE SPRINKLERS:	YES (DEFERRED SUBMITTAL)		1 UNCOVERED (7' x 18')
FLOOD ZONE:	AE		SDU 1 UNCOVERED (8.5' x 14')
BFE:	24.3'		
FLOOR AREA CALCULATIONS			
	ALLOWABLE	EXISTING	PROPOSED
MAX. BLDG LOT COVERAGE 7,758 SF (98.9%)	2,989.5 SF	1,736 SF	2,832 SF
MAX. BLDG FLOOR AREA 2,989.5 SF	2,989.5 SF		
FIRST FLOOR MAIN RESIDENCE		1,736 SF	1,736 SF
FIRST FLOOR SDU		N/A	439 SF
FIRST FLOOR (ACC. BLDG.)		212 SF	404 SF
MAX. BLDG FLOOR AREA	2,989.5 SF	1,955 SF (E)	2,779 SF (NEW CONSTRUCTION)
MAX. BLDG HEIGHT	28'	15'-10"	15'-10" MAIN RESIDENCE 15'-0 3/4" SDU

PROJECT DESCRIPTION

DEMOLITION OF (E) DETACHED GARAGE AND SHED AND CONSTRUCTION OF 439 SF SDU WITH ATTACHED 404 SF ACCESSORY BUILDING INCLUDING ALL ASSOCIATED LANDSCAPING AND SITE WORK.

VICINITY MAP



CONTACTS

CLIENT:	GARY BROUWER & HERMINE MANTE 112 CHESTER ST. MENLO PARK, CA 94025
ARCHITECT:	ANA WILLIAMSON ARCHITECT 888 SANTA CRUZ AVE. MENLO PARK, CA 94025 T: (650) 339-0577 F: (650) 325-4781 W: anaarchitect.com
STRUCTURAL ENGINEER:	BKG STRUCTURAL ENGINEERS 1155 BROADWAY, SUITE 205 REDWOOD CITY, CA 94063 T: (650) 489-9224 W: bkginc.com
CIVIL ENGINEER:	PRECISION ENGINEERING & CONSTRUCTION 881 WALTERS ST. BERMONT, CA 94002 T: (650) 228-8840 W: pre-359n-ec.com
TITLE 24 / GREENPOINT RATER:	TITLE 24 DATA CORP 453 MONTEBEL TRAIL FRAZER PARK, CA 93225 T: 1-800-237-8824
SURVEYOR:	L. WADSE HAWKINSON 34660 NEWARK BLVD. SUITE C NEWARK, CA 94560 T: (510) 874-4112
CONTRACTOR:	XXX XXX T: XXX W: XXX
GEO-TECHNICAL ENGINEER:	MURRAY ENGINEERS, INC 935 FREMONT AVE. LOS ALTOS, CA 94024 T: (650) 559-9980 W: murrayengineers.com

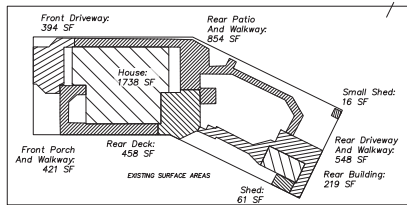
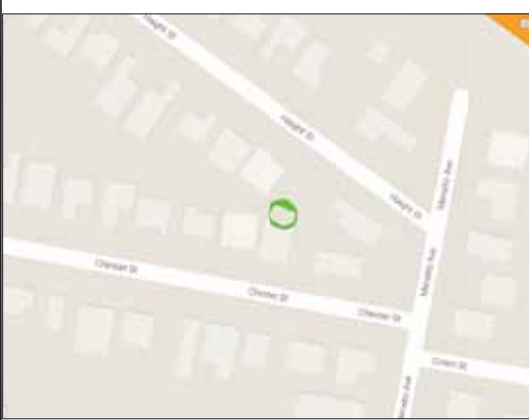
ISSUE	DATE
PERMIT SET	05/17/2017
USE PERMIT	10/23/2017
USE PERMIT REV 1	12/05/2017
USE PERMIT REV 2	01/03/2018

DRAWN	JG
DATE	1/3/2018
JOB NO.	1604
DRAWING TITLE	COVER SHEET

SHEET: **A0.0**



NOTES
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 BOUNDARY CONTROL: SEE CONCURRENT CORNER RECORD
 UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
 BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.
 DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. (STUCCO/SIDING)
 FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 BENCHMARK: S.C.V.W.D. #456 ELEVATION: 44.15 1989 DATUM
 TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS

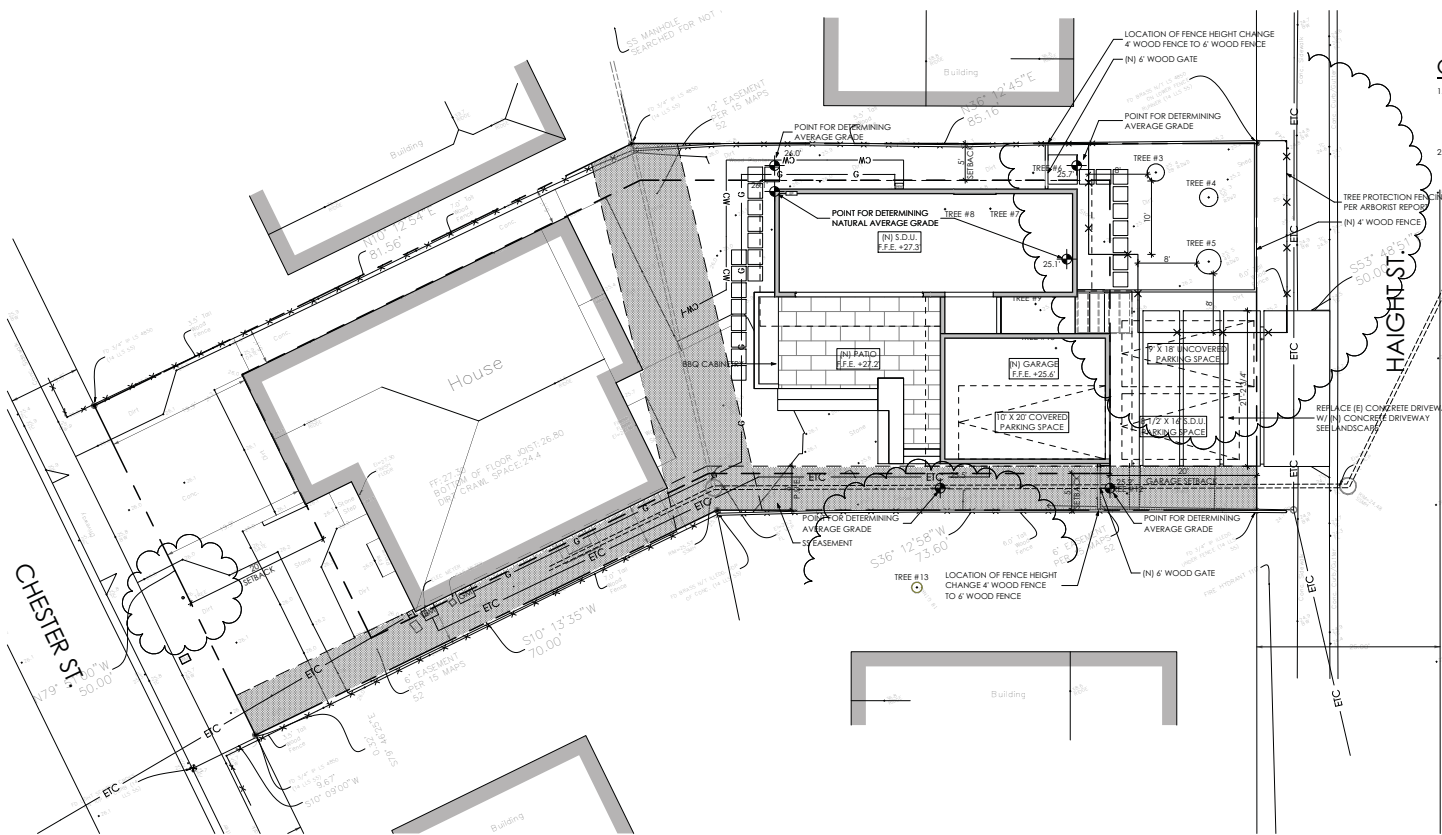


SURVEY
 112 CHESTER ST.
 MENLO PARK
 APN: 062-236-190
 LOT 26, BLOCK 21, 16 MAPS 52
 LOT AREA: 7,758 SQ. FT (GROSS AND NET)

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



L. Wade Hammond
 Licensed Land Surveyor
 No. 6163
 36660 Newark Blvd. Suite C
 Newark, California 94560
 Tel: (510) 579-6112 Fax: (510) 991-8054
 wade@whlandsurveyor.com



1 SITE PLAN
1/8" = 1'-0"

SITE NOTES

- GENERAL GRADING REQUIREMENTS PER LOCAL GOVERNING JURISDICTIONS SHALL BE COMPLIED WITH STRICTLY.
- NO TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OTHERWISE, OBTAIN NECESSARY PERMIT FROM LOCAL OR STATE AUTHORITIES.
- CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS.
- ALL GRADES SHALL SLOPE 2% MINIMUM AWAY FROM THE BUILDING FOR A HORIZONTAL DISTANCE OF 10' PER 2010 CSC 40.3 AND BE A MINIMUM OF 8" BELOW WOOD SILL PLATE AT THE PERIMETER OF THE BUILDING.
- SEE CIVIL DRAWINGS FOR UTILITY ROUTING.
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING SHALL COMPLY WITH THE FOLLOWING:
 - WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN WEATHER OR SOIL CONDITIONS, OR WEATHER-BASED CONTROLLERS.
 - WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS, OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR RAINFALL SHALL HAVE A SEPARATE RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH CONTROLLERS.

TREE PROTECTION NOTES

- PROTECTIVE FENCING TO BE INSTALLED PRIOR TO ARRIVAL OF MATERIALS, EQUIPMENT, OR VEHICLES.
- MATERIALS MUST NOT BE STORED, STOCKPILED, DUMPED, OR BURIED INSIDE THE DRIP LINES OF PROTECTED TREES.
- NO MECHANICAL GRADING, TRENCHING, OR SURFACE SCRAPING INSIDE THE DRIP LINES OF PROTECTED TREES.
- DURING AND UPON COMPLETION OF ANY TRENCHING & GRADING OPERATION WITHIN A TREE'S DRIP LINE SHOULD ANY ROOTS GREATER THAN 1" IN DIAMETER BE DAMAGED, BROKEN, OR SEVERED, ROOT PRUNING TO INCLUDE FLUSH CUTTING AND SEALING OF EXPOSED ROOTS SHOULD BE ACCOMPLISHED UNDER THE SUPERVISION OF A QUALIFIED ARBORIST.

GEOTECHNICAL NOTES

- THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING SITE GRADING, PIER AND FOOTING EXCAVATIONS, PREPARATION OF SUBGRADE, RETAINING WALL BACKFILL, AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, INC., DATED JANUARY 10, 2017.
- MURRAY ENGINEERS, INC. SHOULD BE PROVIDED WITH AT LEAST 48 HOURS ADVANCE NOTIFICATION (450-559-9980) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND TEST THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.



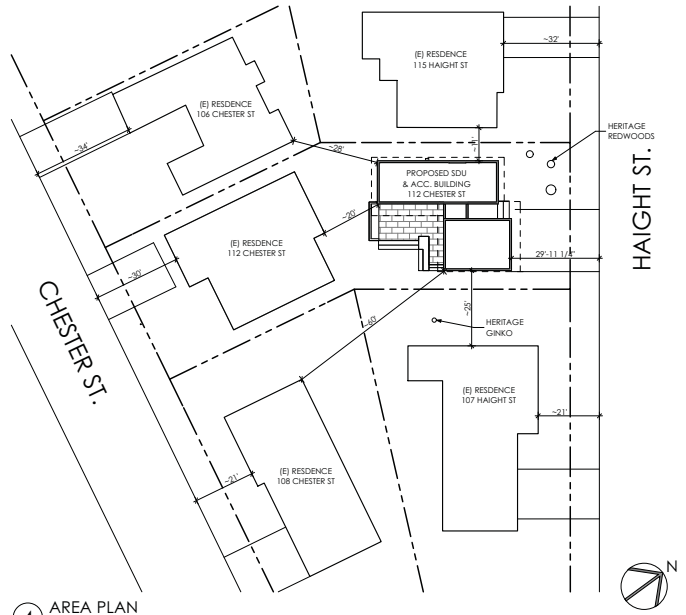
BROUWER-MANITE
112 CHESTER ST.
MENLO PARK, CA 94025
APR. 02/2018 190

DATE	REVISION
05/17/2017	PERMIT SET
10/23/2017	USE PERMIT
12/05/2017	USE PERMIT REV 1
01/03/2018	USE PERMIT REV 2

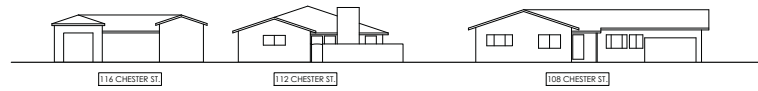
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DATE: 1/3/2018
JOB NO.: 1604
DRAWING TITLE: PROPOSED SITE PLAN



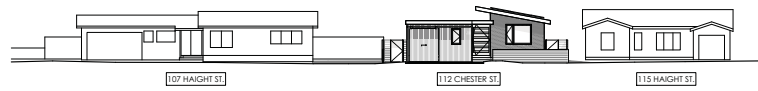
SHEET: A1.0



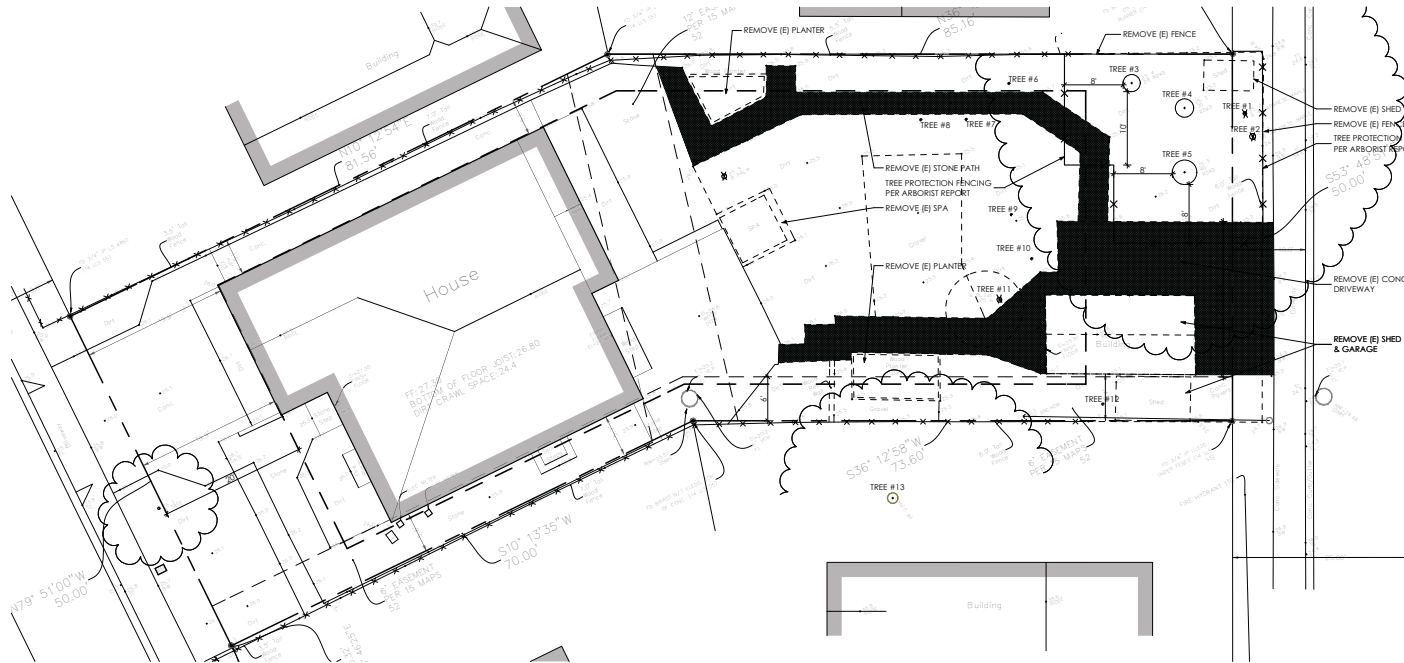
4 AREA PLAN
1" = 20'



3 STREETScape ELEVATIONS - CHESTER ST.
1/16" = 1'-0"



2 STREETScape ELEVATIONS- HAIGHT ST.
1/16" = 1'-0"



1 DEMO SITE PLAN
1/8" = 1'-0"

LEGEND

	HARDSCAPE - TO BE REMOVED
--	---------------------------

TREE SCHEDULE

ID	TYPE	STATUS
TREE #1	JAPANESE MAPLE	TO BE REMOVED
TREE #2	JAPANESE MAPLE	TO BE REMOVED
TREE #3	REDWOOD (HERITAGE)	REMAIN
TREE #4	REDWOOD (HERITAGE)	REMAIN
TREE #5	REDWOOD (HERITAGE)	REMAIN
TREE #6	APRICOT	TO BE REMOVED
TREE #7	PLUM	TO BE REMOVED
TREE #8	PLUM	TO BE REMOVED
TREE #9	ORANGE	TO BE REMOVED
TREE #10	LEMON	TO BE REMOVED
TREE #11	OLIVE	TO BE REMOVED
TREE #12	TANGERINE	TO BE REMOVED
TREE #13	GINKGO (NEIGHBOR TREE)	REMAIN



BROUWER-MANITE
112 CHESTER ST.
MENLO PARK, CA 94025
ARCH. 02/22/2019

DATE	DATE
PERMIT SET	05/17/2017
USE PERMIT	10/23/2017
USE PERMIT REV 1	12/05/2017
USE PERMIT REV 2	01/03/2018
DATE:	JG
DATE:	1/3/2018
JOB NO.:	1604
DRAWING TITLE:	PROPOSED AREA PLAN & DEMO SITE PLAN
SHEET:	

A1.1

NOTES

1. EXISTING HOUSE ROOF AND FLOOR PLAN ARE FOR REFERENCE ONLY.



ANA WILLIAMSON ARCHITECT
888 SANTA OLIVIA AVE. A, MENLO PARK, CA 94025 | (650) 329-0377 | (650) 329-4781

SEAL



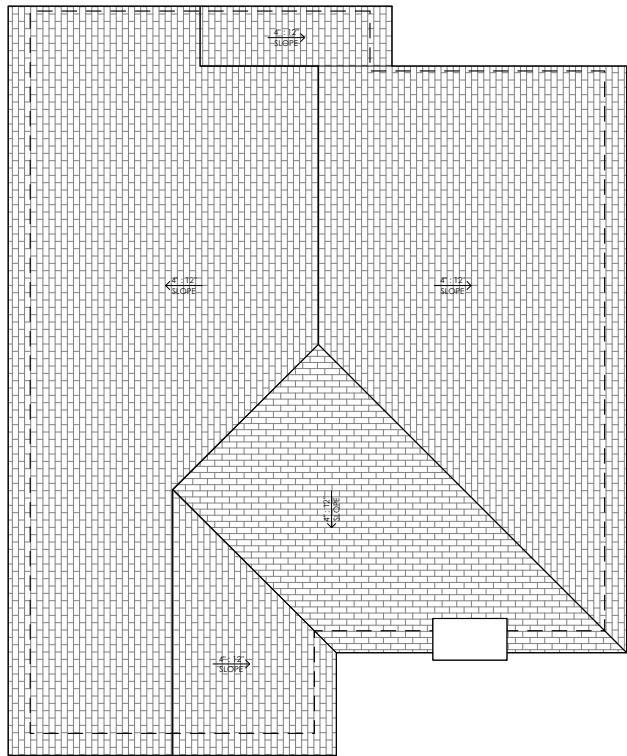
BROUWER-MANITE
112 CHESTER ST
MENLO PARK, CA 94025
ARCH. 0022205190

ISSUE	DATE
PERMIT SET	05/17/2017
USE PERMIT	10/23/2017
USE PERMIT REV 1	12/05/2017
USE PERMIT REV 2	01/03/2018

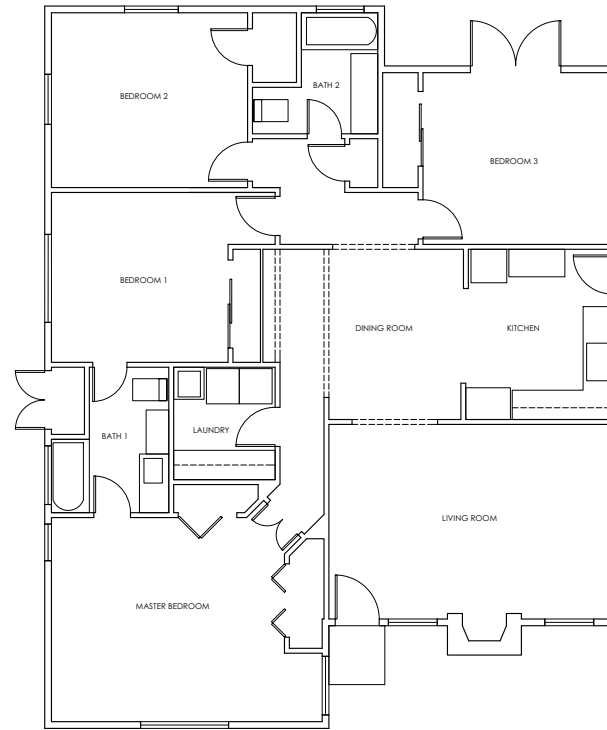
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DATE: 1/3/2018
JOB NO.: 1604
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SHEET:

A2.0

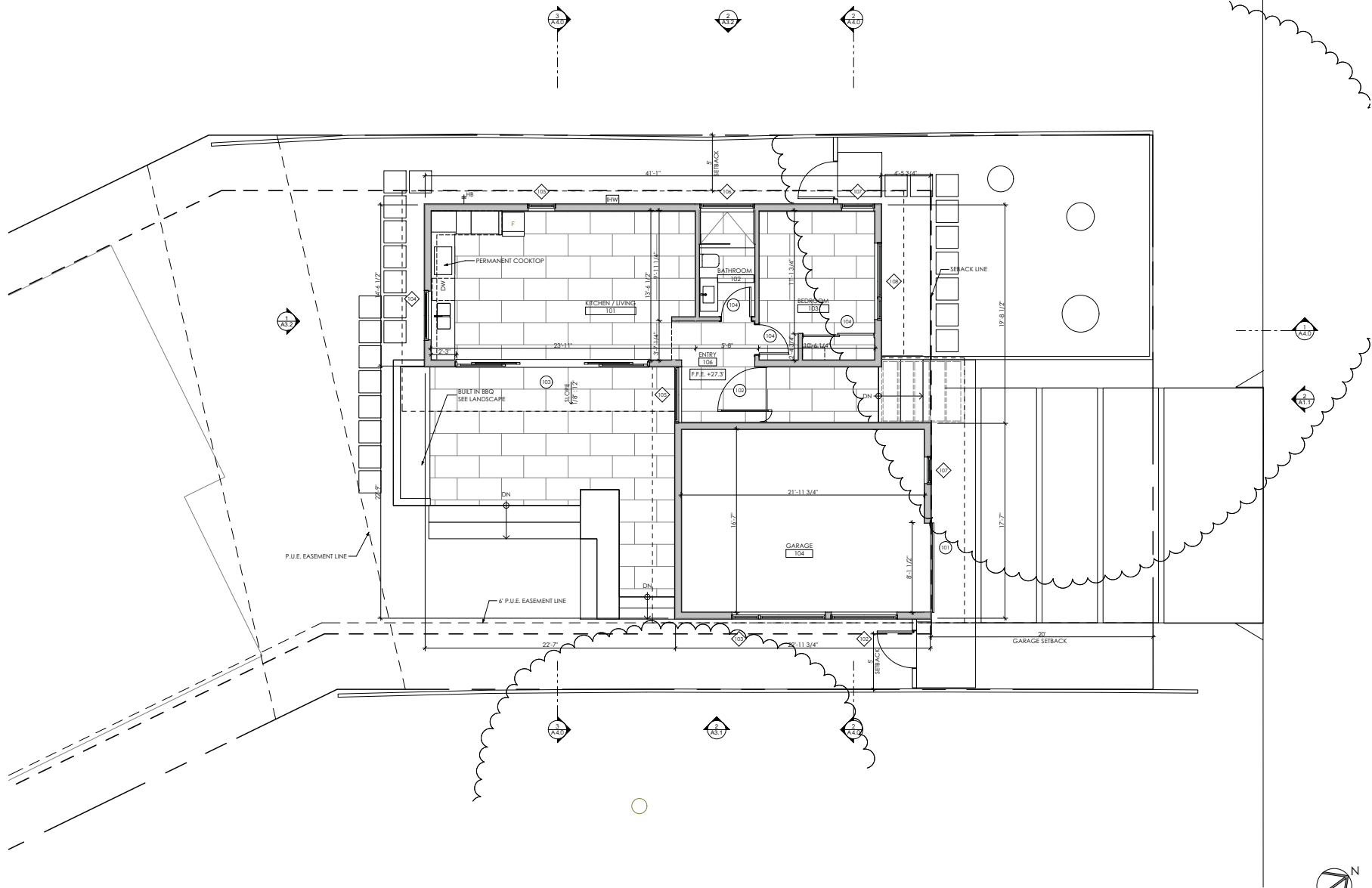


② EXISTING MAIN HOUSE ROOF PLAN
1/4" = 1'-0"



① EXISTING MAIN HOUSE FLOOR PLAN
1/4" = 1'-0"

NOTES



1 PROPOSED SDU / ACCESSORY BUILDING FIRST FLOOR PLAN
1/4" = 1'-0"

D7



ANA WILLIAMSON ARCHITECT
885 SANTA CRUZ AVE. A, MENLO PARK, CA 94025 | (650) 329-0577 | (650) 329-4781



BROUWER-MANITE
112 CHESTER ST.
MENLO PARK, CA 94025
ARCH. 0022205190

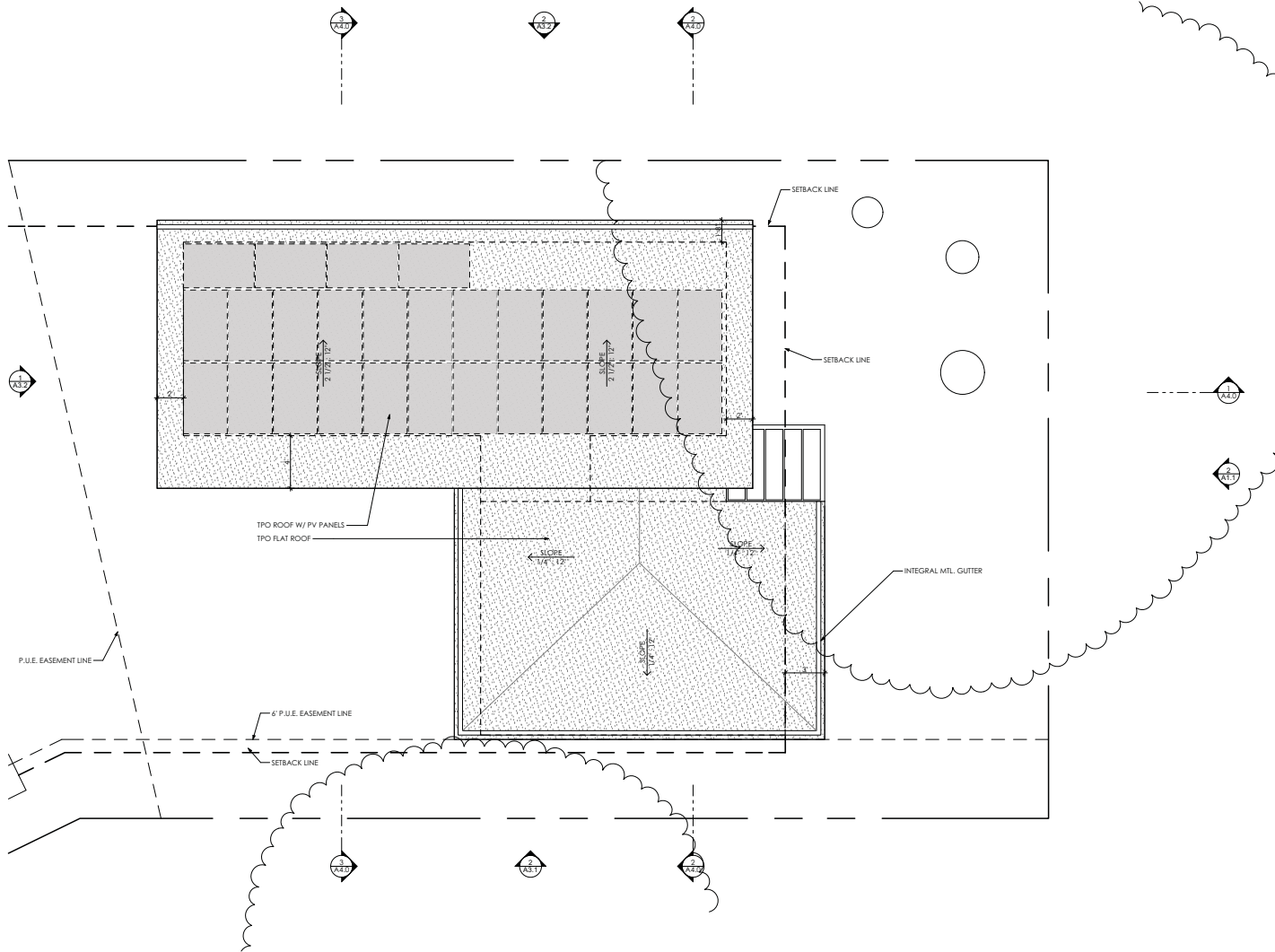
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USE PERMIT	10/23/2017
USE PERMIT REV 1	12/05/2017
USE PERMIT REV 2	01/03/2018

DRAWN: JG
DATE: 1/3/2018
JOB NO.: 1604
DRAWING TITLE: PROPOSED FIRST FLOOR PLAN

SHEET:

A2.1

NOTES



1 PROPOSED SDU / ACCESSORY BUILDING ROOF PLAN
1/4" = 1'-0"



ANA WILLIAMSON ARCHITECT
888 SANTA OLIVIA AVE. A, MENLO PARK, CA 94025
P: (650) 339-0377 F: (650) 328-4781



BROUWER-MANITE
112 CHESTER ST.
MENLO PARK, CA 94025
ARCH. 0022205170

DATE	ISSUE
05/17/2017	PERMIT SET
10/23/2017	USE PERMIT
12/05/2017	USE PERMIT REV 1
01/03/2018	USE PERMIT REV 2

DRAWN: JG
DATE: 1/3/2018
JOB NO.: 1604
DRAWING TITLE: PROPOSED ROOF PLAN



SHEET: A2.2



② EXISTING GARAGE RESIDENCE ELEVATIONS - EAST SIDE
1:137.14



③ EXISTING MAIN RESIDENCE ELEVATIONS - REAR
1:137.14



③ EXISTING GARAGE ELEVATIONS - WEST
1:137.14



① EXISTING GARAGE ELEVATIONS - HAIGHT ST.
1:137.14



② EXISTING MAIN RESIDENCE ELEVATIONS - EAST SIDE
1:137.14



④ EXISTING GARAGE ELEVATIONS - SOUTH SIDE
1:137.14



④ EXISTING MAIN RESIDENCE ELEVATIONS - WEST SIDE
1:137.14



① EXISTING MAIN RESIDENCE ELEVATIONS - CHESTER ST.
1:137.14



ANA WILLIAMSON ARCHITECT
888 SANTA OLGA AVE. A, MENLO PARK, CA 94025 | (650) 339-0577 | (650) 328-4281

SEAL



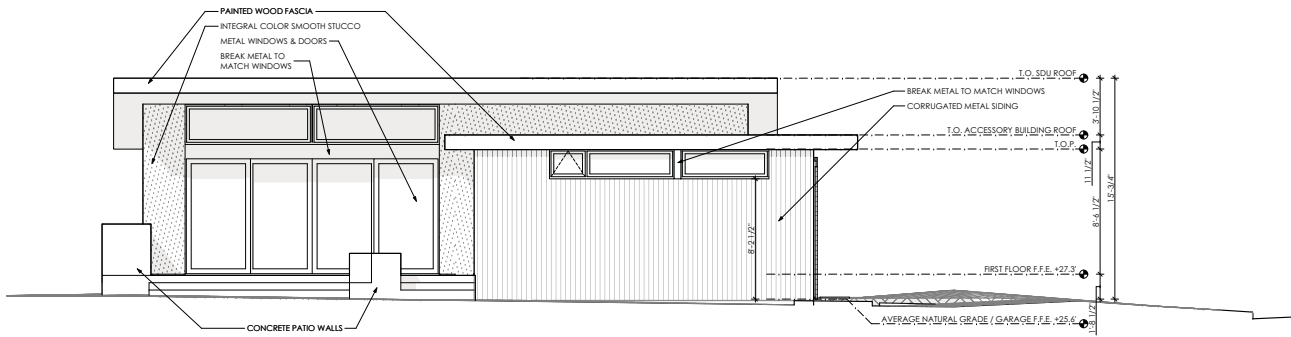
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112 CHESTER ST.
MENLO PARK, CA 94025
ARCH. 0622205190

ISSUE	DATE
PERMIT SET	05/17/2017
USE PERMIT	10/23/2017
USE PERMIT REV 1	12/05/2017
USE PERMIT REV 2	01/03/2018

DRAWN: JG
DATE: 1/3/2018
JOB NO.: 1604
DRAWING TITLE: EXISTING MAIN RESIDENCE ELEVATIONS

SHEET:

A3.0

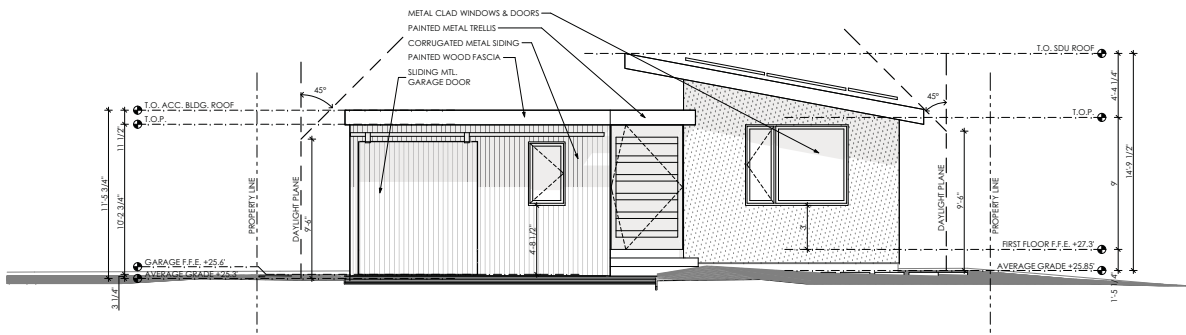


② PROPOSED SDU/ ACCESSORY BUILDING EAST ELEVATION
1/4" = 1'-0"

NOTES



CORRUGATED SIDING - COLOR 1.8.D. ORIENTED VERTICALLY FOR ELEVATIONS W/ FASTENERS AS SHOWN ABOVE @ 24" OC.



① PROPOSED SDU / ACCESSORY BUILDING NORTH ELEVATION
1/4" = 1'-0"



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888 SANTA OLIVIA AVE. A, MENLO PARK, CA 94025 | (650) 329-0577 | (650) 329-4781

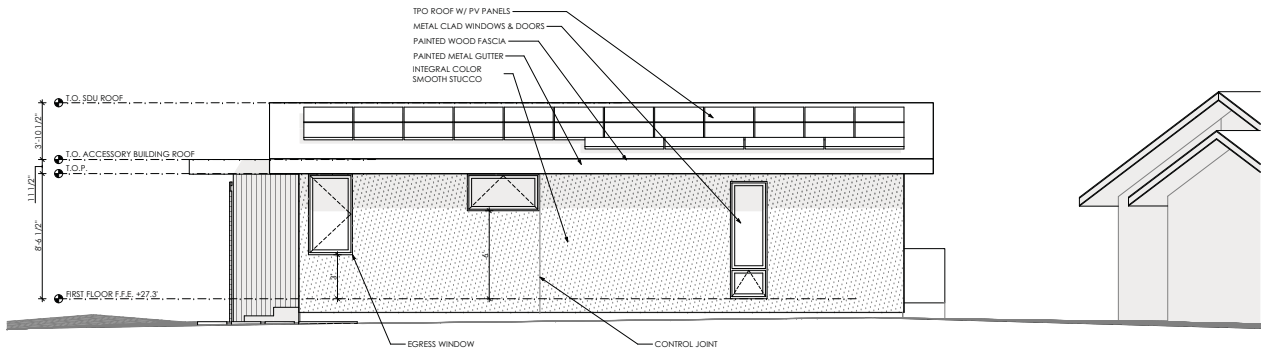


BROUWER-MANITE
112 CHESTER ST.
MENLO PARK, CA 94025
ARCH. 0022205190

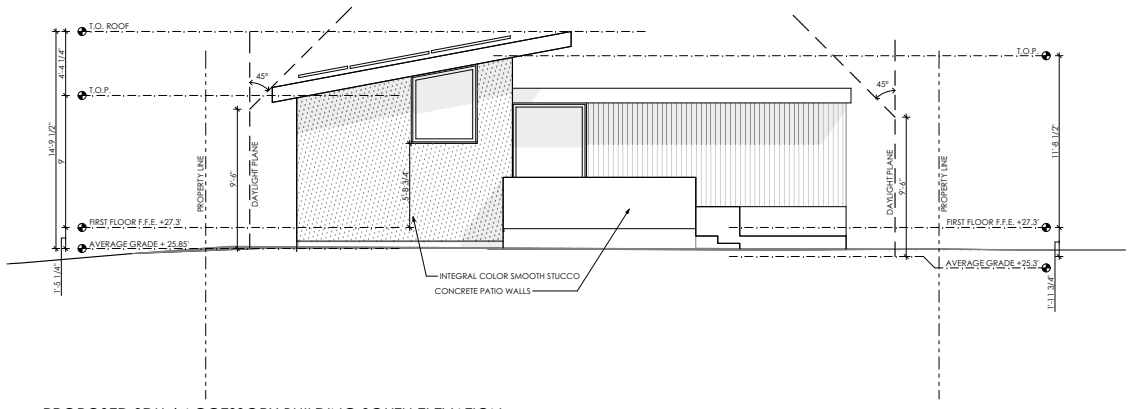
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USE PERMIT	10/23/2017
USE PERMIT REV 1	12/05/2017
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JOB NO.: 1604
DRAWING TITLE: PROPOSED ELEVATIONS

SHEET: A3.1



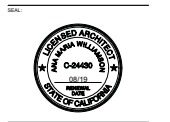
② PROPOSED SDU / ACCESSORY BUILDING WEST ELEVATION
1/4" = 1'-0"



① PROPOSED SDU / ACCESSORY BUILDING SOUTH ELEVATION
1/4" = 1'-0"



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888 SANTA OLIVIA AVE. A, MENLO PARK, CA 94025 | (650) 339-0577 | (650) 328-4781



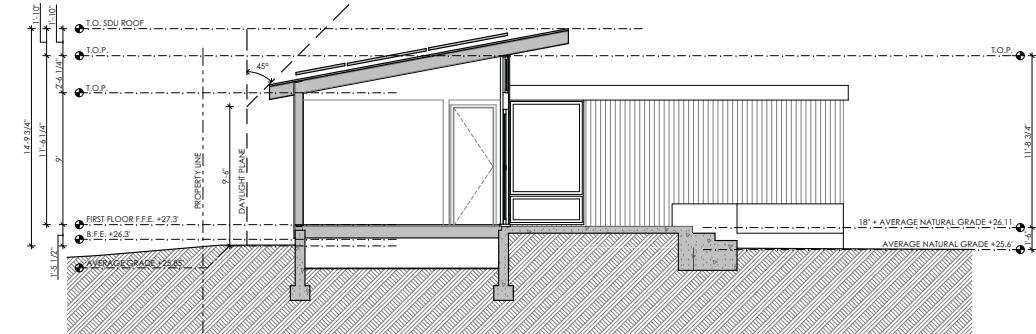
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112 CHESTER ST.
MENLO PARK, CA 94025
ARCH. 0022205170

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USE PERMIT	10/23/2017
USE PERMIT REV 1	12/05/2017
USE PERMIT REV 2	01/03/2018

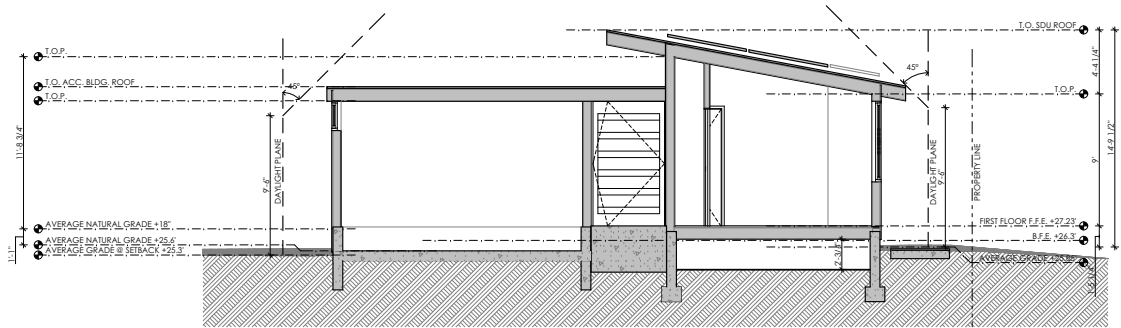
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DATE: 1/3/2018
JOB NO.: 1604
DRAWING TITLE: PROPOSED ELEVATIONS

SHEET: A3.2

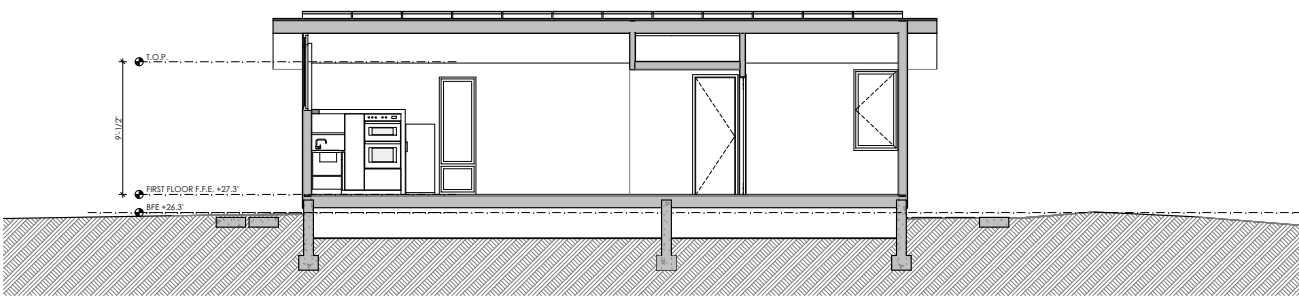
NOTES



3 PROPOSED SDU LIVING ROOM SECTION
1/4" = 1'-0"



2 PROPOSED SDU / ACCESSORY BUILDING CROSS SECTION
1/4" = 1'-0"



1 PROPOSED SDU LONGITUDINAL SECTION
1/4" = 1'-0"

ANA WILLIAMSON ARCHITECT
888 SANTA ANITA AVE. A, MENLO PARK, CA 94025 | (650) 329-0577 | (650) 329-4281

SEAL

BROUWER-MANITE
112 CHESTER ST.
MENLO PARK, CA 94025
ARCH. 0022205170

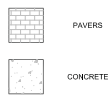
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PERMIT SET	05/17/2017
USE PERMIT	10/23/2017
USE PERMIT REV 1	12/05/2017
USE PERMIT REV 2	01/03/2018

DRAWN: JG
DATE: 1/3/2018
JOB NO.: 1604
DRAWING TITLE: PROPOSED SECTIONS

SHEET: A4.0

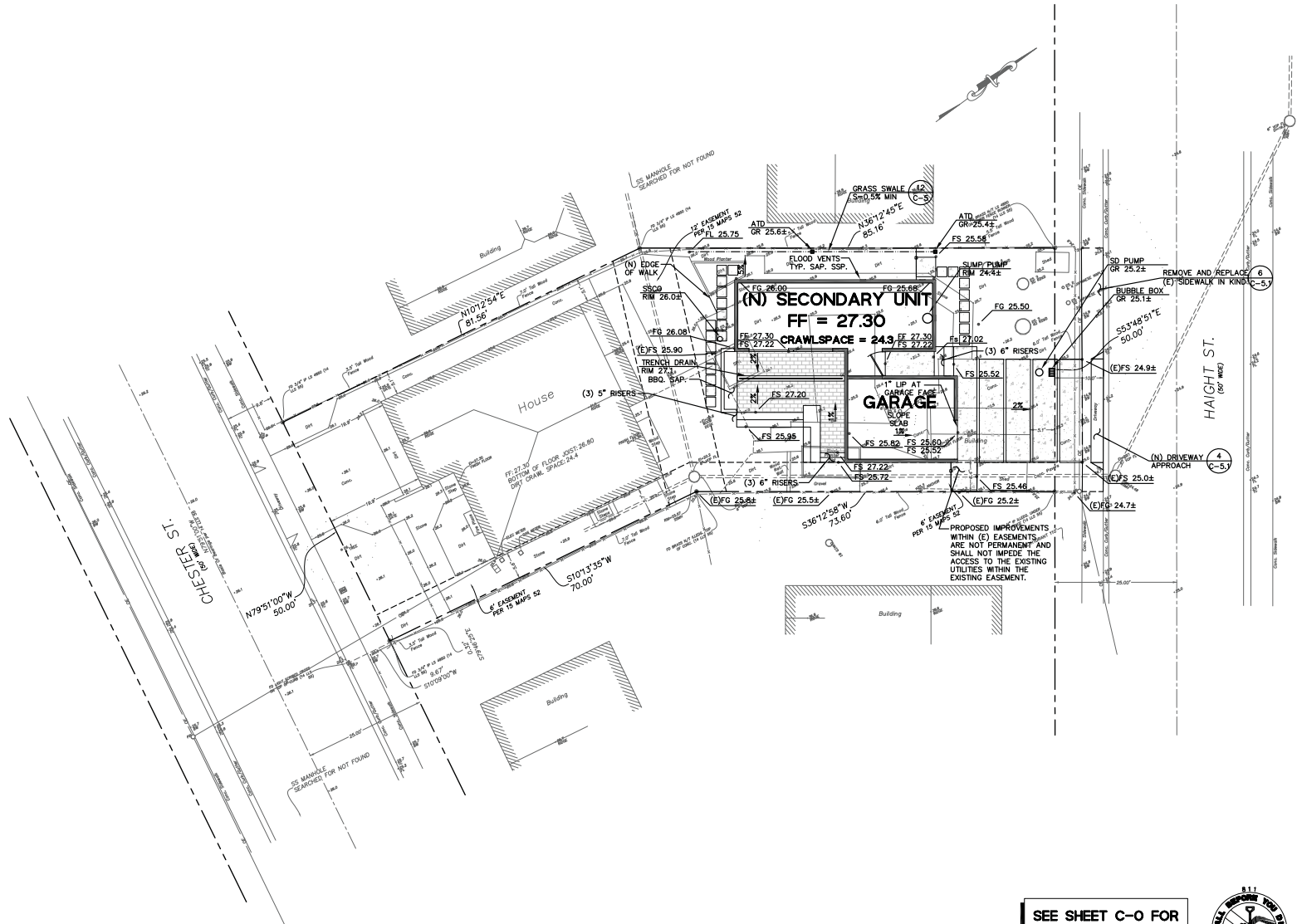
PAVEMENT LEGEND:

SEE GEOTECHNICAL REPORT BY MURRAY ENGINEERS INC. DATED JANUARY 2017
FOR EXACT PAVEMENT SECTIONS, OVER-EXCAVATION AND COMPACTION
REQUIREMENTS. SEE ARCHITECTURAL PLAN(S) FOR EXACT MATERIAL SELECTION.

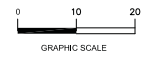


PAVER UNIT OVER A THIN LEVELING COURSE OF SAND OVER 8" MIN OF CLASS II AGGREGATE BASE. INSTALL PER MANUFACTURERS RECOMMENDATIONS. COLOR AND TYPE TO BE APPROVED BY THE OWNER PRIOR TO INSTALLATION. INSTALL EDGE CONSTRAINT SUCH AS A FLUSH CURB, SAP.

4" CONCRETE #11M BARS 12" O.C. - EACH WAY OVER 12" OF CALTRANS CLASS II AGGREGATE BASE ROCK.



SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES



PRECISION ENGINEERING AND CONSTRUCTION INC.
981 Wilshire Blvd
Beverly Hills, CA 90212
Tel: 800.225.0648
Tel: 310.887.0100
Fax: 310.887.0100
www.precisioneng.com

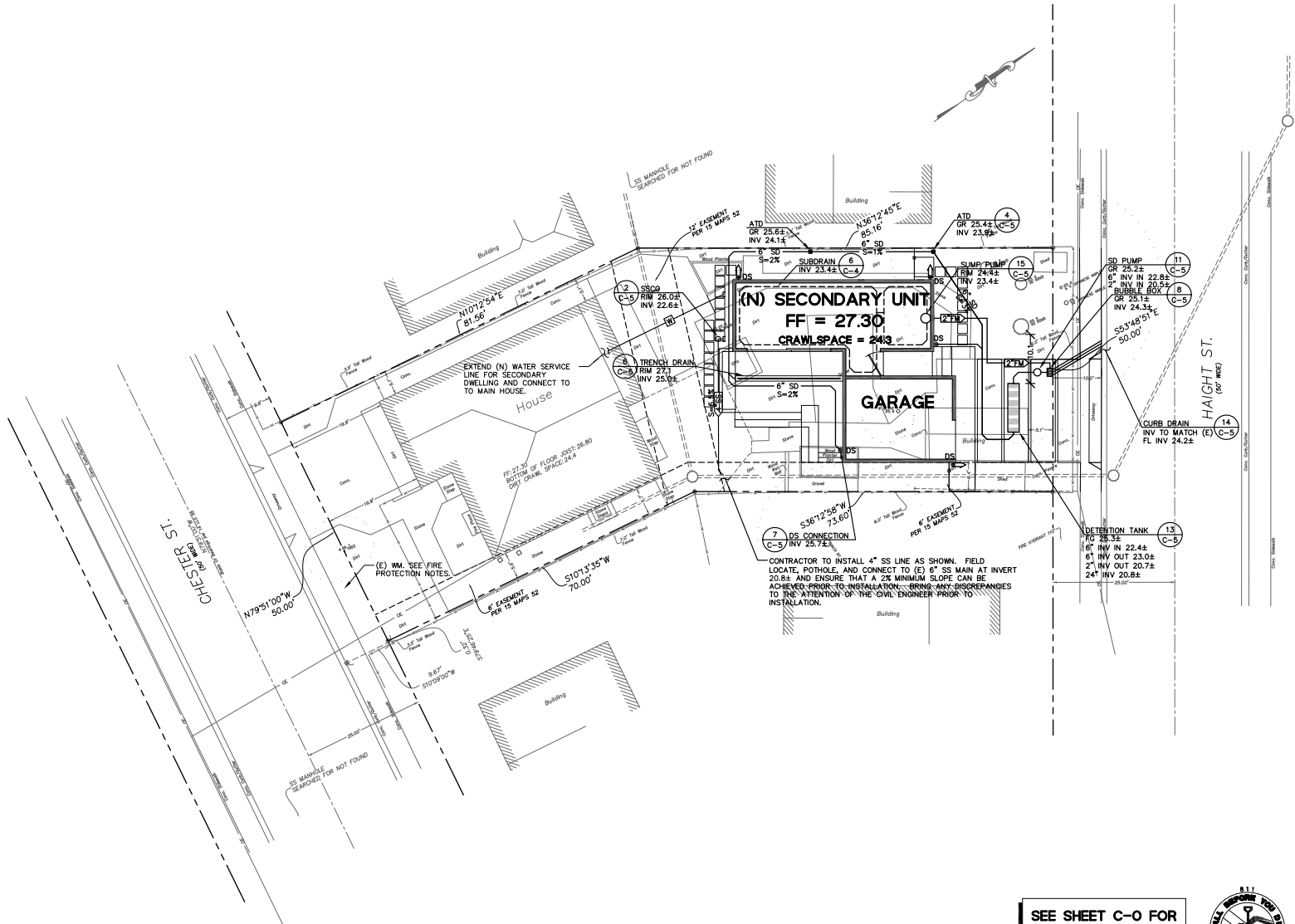
DATE	REVISIONS:
08/22/2017	CITY COMMENTS



**GRADING PLAN
BROWER-MANTE SECONDARY DWELLING UNIT
112 CHESTER STREET
MENLO PARK, CA 94025**

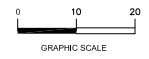
Date: 10/18/2017
Scale: 1" = 10'
Designer: A.P.
Checker: TRL
Drawing Number: C-2
PEC 10974L
PEC 17-033

10/18/2017 10:18 AM C:\Users\p\OneDrive\Documents\17-033\17-033.dwg

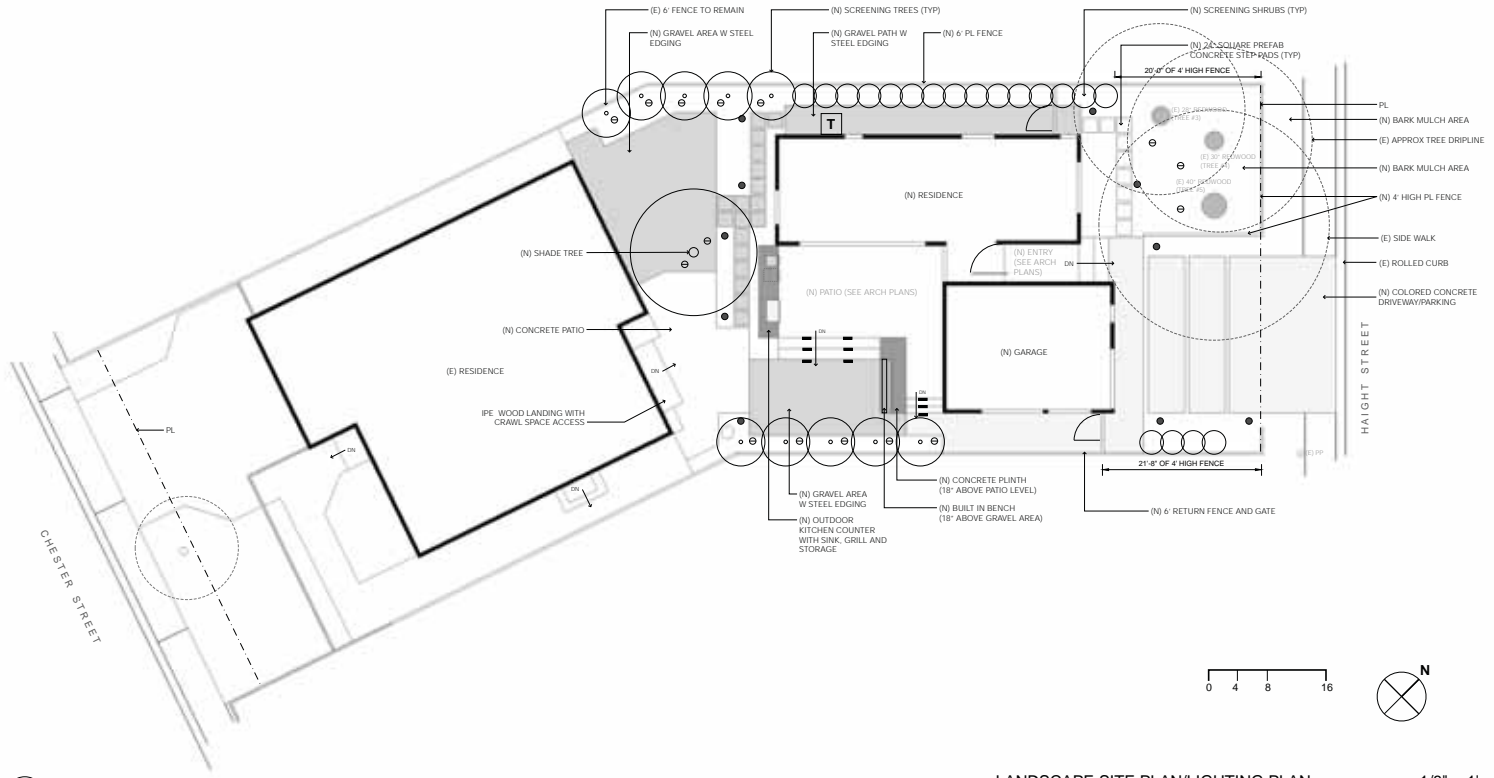


CONTRACTOR TO INSTALL 4" SS LINE AS SHOWN. FIELD LOCATE, POT-HOLE, AND CONNECT TO (E) 8" SS MAIN AT INVERT 20.84 AND ENSURE THAT A 2% MINIMUM SLOPE CAN BE ACHIEVED PRIOR TO INSTALLATION. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE CIVIL ENGINEER PRIOR TO INSTALLATION.

SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES



PRECISION ENGINEERING AND CONSTRUCTION INC. 9811 Wilshire Boulevard Culver City, CA 90230 Tel: 310.251.0648 Fax: 310.251.0789 Email: info@precisionec.com	 DATE: 10/18/2017	REVISIONS: CITY COMMENTS:	 TRAVIS R. LUTZ CIVIL STATE OF CALIFORNIA	UTILITY PLAN BROWER-MANTE SECONDARY DWELLING UNIT 112 CHESTER STREET MENLO PARK, CA 94025
Date: 10/18/2017 Scale: 1" = 10' Designer: A.P. Checker: TRL Drawing Number: C-3 Project No.: PEC 17-033				



LANDSCAPE SITE PLAN/LIGHTING PLAN 1/8" = 1'

1

PB: Up Light

Item	Qty	Notes
Pathlights (10)	10	HINKLEY ATLANTIS 1518 HE-LED
Tree Uplights (15)	15	FX LUMINAIRE PB 3LED IN BZ (SEE SPECIFICATIONS THIS SHEET)
Tree Down Lights (8)	8	FX LUMINAIRE PS 3LED IN BZ
Wall and Step Lights (9)	9	FX LUMINAIRE LM 1LED IN BZ
300W Transformer with Photocell and Timer	1	



- PATHLIGHTS (10): HINKLEY ATLANTIS 1518 HE-LED
- ⊙ TREE UPLIGHTS (15): FX LUMINAIRE PB 3LED IN BZ (SEE SPECIFICATIONS THIS SHEET)
- ⊕ TREE DOWN LIGHTS (8): FX LUMINAIRE PS 3LED IN BZ
- WALL AND STEP LIGHTS (9): FX LUMINAIRE LM 1LED IN BZ
- T 300W TRANSFORMER WITH PHOTOCCELL AND TIMER

LIGHTING NOTES/LEGEND 1/8" = 1'

1

ELEMENTS LANDSCAPE
 LANDSCAPE ARCHITECTURE & LIGHTING
 PO Box 7543
 Menlo Park, CA 94025
 Tel: 650.847.1513
 jrn@elements-landscape.com

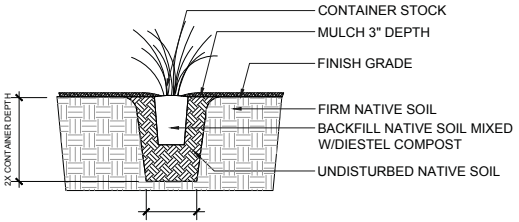
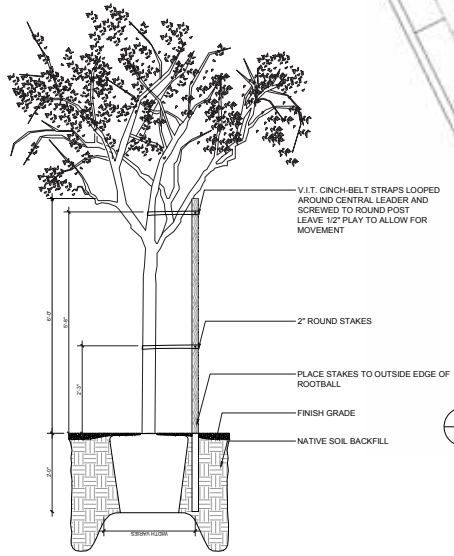
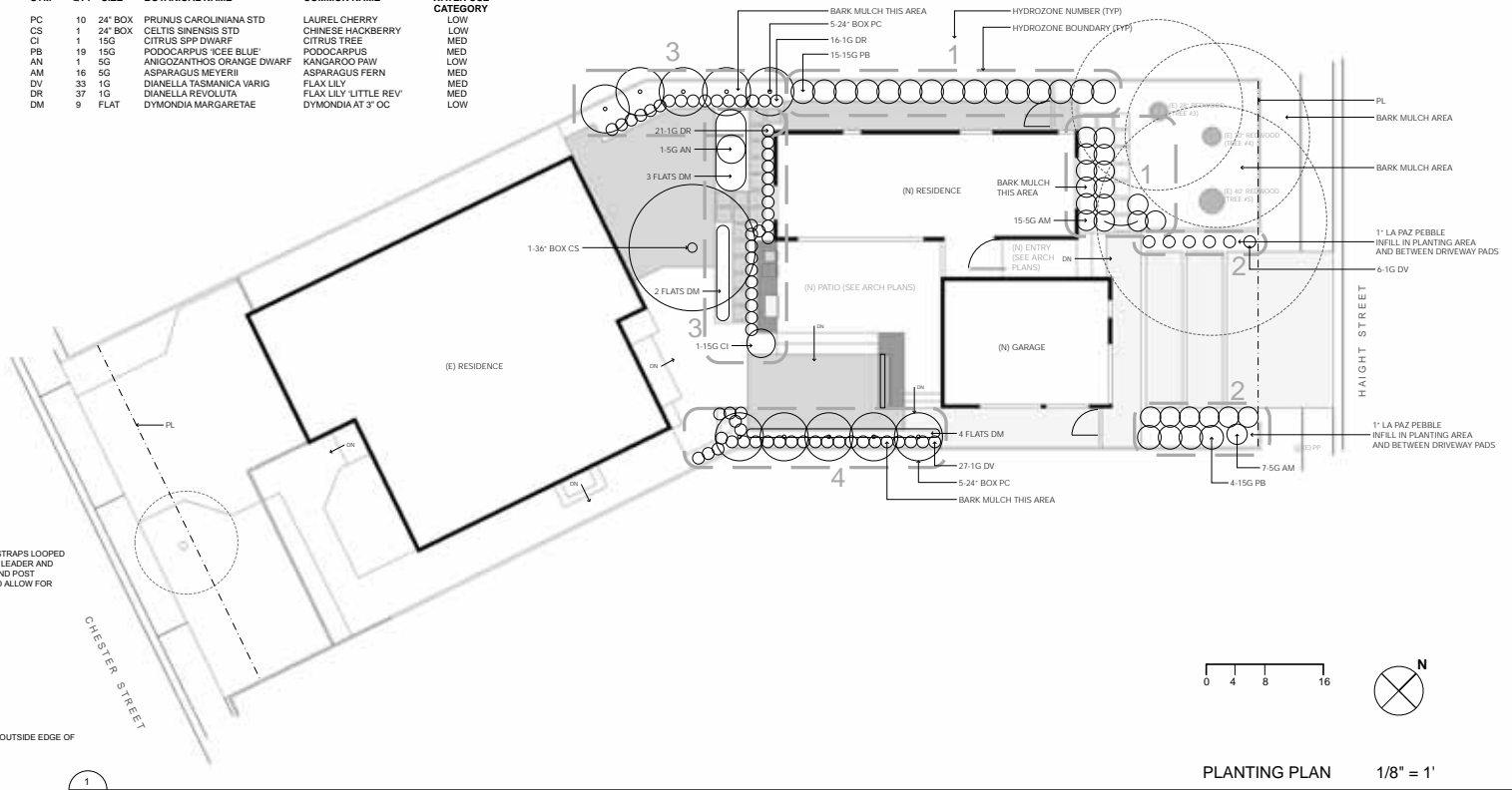
Brouwer Mante Residence
 112 Chester St
 Menlo Park, CA 94025
 APN: 062-236-190

**Landscape Site Plan/
 Lighting Plan**

Drawn 2/14/17
 Rev 11/28/17
 By: JGR
 Scale: NOTED

L1.0

SYM	QTY	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE CATEGORY
PC	10	24" BOX	PRUNUS CAROLINIANA STD	LAUREL CHERRY	LOW
CS	1	24" BOX	CELTIS SINENSIS STD	CHINESE HACKBERRY	LOW
CI	1	15G	CITRUS SPP DWARF	CITRUS TREE	MED
PB	19	15G	PODOCARPUS 'ICE BLUE'	PODOCARPUS	MED
AN	1	5G	ANIGOZANTHOS ORANGE DWARF	KANGAROO PAW	LOW
AM	16	5G	ASPARAGUS 'MEYER'	ASPARAGUS FERN	MED
DV	33	1G	DIANELLA TASMANICA VARIG	FLAX LILY	MED
DR	37	1G	DIANELLA REVOLUTA	FLAX LILY 'LITTLE REV'	MED
DM	9	FLAT	DYMONDIA MARGARETAE	DYMONDIA AT 3" OC	LOW



HYDROZONE	TYPE OF IRRIGATION	LOCATION	WATER USE CATEGORY	SQUARE FOOTAGE
1	DRIP	NORTH SIDE YARD/FRONT ENTRY	MED	166
2	DRIP	DRIVEWAY AREA	MED	120
3	DRIP	BACK YARD NORTH	MED	310
4	DRIP	BACK YARD SOUTH	MED	93
TOTAL LANDSCAPE AREA:				689 SF

NOTE: "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan", signed by the licensed landscape professional:

JGR

NOTE: "I agree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete Landscape Documentation Package", signed by the applicant and/or owner:

JGR

- This project is applied for under the Menlo Park Prescriptive Compliance Option
- This is a rehabilitated private residential landscape project
- The water supply type is potable and is provided by Cal Water Service
- Incorporate compost at the rate of 4 cubic yards per 1000 sf to a depth of 6" into all landscape areas
- See plant list for low and med water use plants. These plants are average WUCOLS plant factor of 0.3
- A minimum 3 inch layer of mulch shall be applied on all exposed soil surfaces, with the exception of turf.
- Irrigation devices shall be delivered by drip or micro-spray devices only per City Resolution 6261. Microspray is defined as having a flow rate not to exceed 30 gallons per hour at 30 psi.

HYDROZONE NOTES

PLANTING DETAILS

PLANTING PLAN 1/8" = 1'





IRRIGATION PLAN 1/8" = 1'

CALIFORNIA WATER EFFICIENT LANDSCAPE WORKSHEET

Project address: 112 Chester St, Menlo Park, CA

Hydrozone #/Planting Description (s)	Plant Factor (PF)	Irrigation Method (i)	Irrigation Efficiency (IE)	ETAF (PF/IE)	Irrigated Landscape Area (Sq Ft)	ETAF x Area	Estimated Total Water Use (ETWU)	
Regular Landscape Areas								
#1 North side/front	0.4	Drip	0.75	0.5	166	89	2349	
#2 Central area	0.4	Drip	0.75	0.5	126	64	1808	
#3 Back yard north	0.4	Drip	0.75	0.5	310	165	4587	
#4 Back yard south	0.4	Drip	0.75	0.5	93	50	1316	
Special Landscape Areas								
None								
Totals						689	367	9751
ETWU Totals						0	0	0
Maximum Allowed Water Allowance (MAWA)						10044		

- a Hydrozone #/Planting Description e.g.
 1) Front lawn
 2) low water use planting
 3) Medium water use planting
- b Irrigation Method
 1) Overhead Spray
 2) Drip
 3) Bubblers
- c Irrigation Efficiency
 1) 0.75 for Overhead Spray
 2) 0.81 for Drip
- d ETWU (Annual Gallons Required) =
 Eto x 0.62 x ETAF x Area
 Where: 0.62 is a conversion factor to change acre-inches/year to gallons per sq ft/year
- e MAWA (Annual Gallons Allowed) =
 (Eto) x 0.62 (ETAF x LA) + (H-ETAF) x SLA
 Where: 0.62 is a conversion factor to change acre-inches/year to gallons/year. LA is the total regular landscape area in sq ft. SLA is the total special landscape area in sq ft and ETAF is 0.55 for residential areas and 0.45 for non-residential areas.

Regular Landscape Areas	All Landscape Areas	MAWA	Conversion factor
Total ETAF x Area 367	Total ETAF x Area 367	Eto x .62 26.0	0.45 Non-residential
Total Area 689	Total Area 689	SLA 1	0.55 Residential
Avg ETAF 0.53	Avg ETAF 0.53	MAWA 10044	0.81 Drip IE
			0.75 Overhead IE

WELO CALCULATIONS

- IRRITROL RAINFALL RD-900 9 STATION WEATHER BASED CONTROLLER WITH RAIN SENSOR (VERIFY PLACEMENT)
- FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER (VERIFY PLACEMENT)
- 1" GATE VALVE BEFORE EACH VALVE SET
- PVC SCH 40 MAINLINE (SIZE NOTED; MINIMUM 18" DEPTH)
- PVC SCH 40 LATERAL LINE (SIZE NOTED; MINIMUM 12" DEPTH)
- RAINBIRD PEB SERIES CONTROL VALVES (OR EQUAL) SIZED PER MAINLINE. DRIP LINES TO INCLUDE IN LINE PRESSURE REGULATOR AND Y FILTER
- AGRIFIM IN-LINE DRIP LINES WITH 9 GPH CHECK VALVE EMITTERS AT 12" SPACING WITH FLUSH VALVES AT END OF RUNS (STAKED TO GRADE WITH 6" LANDSCAPE STAPLES). MEETS ANSI STANDARD
- 3/4" BRASS HOSE BIB (VERIFY LOCATIONS WITH OWNER)
- 3" STYRENE SLEEVE UNDER HARDSCAPE WHERE NECESSARY

- 1) VERIFY POINT OF CONNECTION (POC) AND PLACEMENT OF BACKFLOW PREVENTER
- 2) INCLUDE MASTER SHUT OFF VALVE AT POINT OF CONNECTION
- 3) VERIFY SITE WATER PRESSURE AT 55 PSI MIN
- 4) VERIFY ELECTRICAL SOURCE AND PLACEMENT OF CONTROLLER WITH OWNER
- 5) VERIFY OPERATION OF SYSTEMS AND PRESSURE BEFORE BACKFILLING TRENCHES. DRIP LINES TO BE SECURED TO GRADE WITH 6" LANDSCAPE STAPLES AND COVERED WITH MULCH
- 6) SYSTEM LAYOUT IS DIAGRAMMATIC. ACTUAL FIELD CONDITIONS WILL DICTATE FINAL LAYOUT. ADDITION OF DRIP LINES, ETC
- 7) VERIFY CONTROL WIRE PLACEMENT AND VALVE OPERATION
- 8) VERIFY RAIN SENSOR IN FIELD
- 9) CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING AND MONITORING IRRIGATION SYSTEM TO APPLY ADEQUATE WATER FOR ESTABLISHMENT BUT TO ELIMINATE RUNOFF AND SOIL SATURATION
- 10) CONTRACTOR TO SUBMIT IRRIGATION SCHEDULE TO OWNER AT COMPLETION OF INSTALLATION AND WARRANTY PERIOD
- 11) CONTRACTOR SHALL VERIFY LOCATION OF ALL NEW UNDERGROUND UTILITIES PRIOR TO ANY TRENCHING OR IRRIGATION
- 12) HAND TRENCHING TO BE DONE NEAR EXISTING TREES. NO ROOTS 1" DIAMETER AND LARGER SHALL BE CUT WITHOUT APPROVAL OF OWNER
- 13) VERIFY AND COORDINATE INSTALLATION OF MAINLINE AND LATERAL LINES UNDER ALL PAVEMENT
- 14) CONTROL WIRES SHALL BE SET ADJACENT TO MAINLINE
- 15) A minimum 3 inch layer of mulch shall be applied on all exposed soil surfaces, with the exception of turf.
- 16) Irrigation devices shall be delivered by drip or micro-spray devices only per City Resolution 6261. Microspray is defined as having a flow rate not to exceed 30 gallons per hour at 30 psi.

IRRIGATION NOTES AND LEGEND



Date: June 26, 2017
Project Address: 112 Chester St., Menlo Park, CA 94025
Re: Project Description

The proposal contained within is for the purpose of waiving the Aesthetic Secondary Dwelling requirement for our project at 112 Chester Street. We feel that the current aesthetic requirements for SDU's in the city of Menlo Park is counter to ideals of good design and pigeonholes architects, designers, and residents into following cues established by banal, cookie cutter construction. It also fails to recognize the context of its neighborhood and larger patterns of development across the city and instead relies on potentially poor design and building techniques to inform the next generation of construction throughout the city. It also fails to recognize the economics of the current construction climate and how many residents are tackling larger goals for their properties.

The scope of the attached project involves the removal and demolition of an existing garage and shed, and the construction of a new detached 639 sf Secondary Dwelling Unit and attached 404 sf accessory building. The construction of the SDU will also include a small patio and any landscaping and site work related to those constructions including but not limited to, driveway, walkway, fences, and utility work.

The SDU will contain 1 bedroom and 1 bathroom with a small kitchen and living area. It is situated in the rear of the site to take advantage of the through lot it sits on. This allows for increased privacy for each the main house and SDU. The SDU will be built with wood framing and be clad with stucco while the Accessory Building will be clad with metal siding. Windows and doors will be metal. The material choices are both aesthetic and functional, allowing for decreased maintenance due to their durability. While at first glance the SDU may seem aesthetically different from the main residence it is in reality quite similar. Both structures are simple forms with little to no protrusions, bay windows, dormers, etc. Both the SDU and house are clad in one simple material, siding at the house and stucco at the SDU which emphasizes the simplicity of each structure. While the roof lines are slightly different, gable at the main residence and shed for the SDU, they share the same roof pitch and eave overhang and nearly the same ridge height with the main residence being slightly higher.

Our clients have had informal discussions with their adjacent neighbors regarding their proposed constructions but no formal outreach has been performed. The neighbors have not expressed any concerns to our clients, but we are trying to be respectful of their privacy by using high windows or narrow slit windows where there are no windows along the adjoining property. Further privacy will be achieved through screen plantings along the fence line. Our clients are continuing conversations with their neighbors and any concerns will be addressed.

Sincerely,

Joe Gardella, Associate
Ana Williamson Architect

RECEIVED

OCT 23 2017

CITY OF MENLO PARK
BUILDING**Kielty Arborist Services LLC**

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

August 23, 2016

Mr. Gary Brouwer
112 Chester
Menlo Park, CA 94025

Site: 112 Chester, Menlo Park, CA

Dear Mr. Brouwer,

As requested on Friday, August 19, 2016, I visited the above site to inspect and comment on the trees on site. A new garage is planned for this site and your concern as to the future health and safety of the trees has prompted this visit. Neighbors trees located close to the property line will be included in this report as required by the city of Menlo Park.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

112 Chester/8/23/16

(2)

Summary:

Tree#	Species	DBH	CON	HT/SP	Comments
1	Japanese maple (<i>Acer palmatum</i>)	9.8	50	30/30	Good vigor, poor form, suppressed by redwoods.
2	Japanese maple (<i>Acer palmatum</i>)	9.5	45	30/30	Good vigor, poor form, suppressed by redwoods.
3	Redwood (<i>Sequoia sempervirens</i>)	34.1	65	90/35	Fair vigor, fair form, trunk bends slightly.
4	Redwood (<i>Sequoia sempervirens</i>)	33.2	65	90/35	Good vigor, fair form, center of 3 trees.
5	Redwood (<i>Sequoia sempervirens</i>)	40.9	70	90/35	Good vigor, fair form, closest to the proposed construction.
6	Apricot (<i>Prunus armeniaca</i>)	4.2	55	15/15	Fair vigor, fair form, brown rot on stems.
7	Plum (<i>Prunus domestica</i>)	6.2	60	10/10	Fair vigor, fair form, multi leader @ 2 feet.
8	Plum (<i>Prunus domestica</i>)	7.8	60	10/15	Fair vigor, fair form, multi leader @ 3 feet.
9	Orange (<i>Citrus sinensis</i>)	7.3	65	10/15	Fair vigor, fair form, multi leader.
10	Lemon (<i>Citrus limon</i>)	10	55	8/15	Fair vigor, fair form, suppressed.
11	Olive (<i>Olea europaea</i>)	7.3	40	20/15	Fair vigor, poor form, heavily trimmed in past.
12	Tangerine (<i>Citrus reticulata</i>)	2.7	40	10/10	Fair vigor, fair form, restricted root zone.
13*	Ginkgo (<i>Ginkgo biloba</i>)	16	65	35/40	Good vigor, fair form, squatty.

*indicated neighbor's tree.

Summary:

The trees on site are a mix of imported trees (exotics), the redwoods are not native to this area of Menlo Park. The trees are in poor-good condition with no excellent trees on site. Several of the non-protected fruit trees will be removed to facilitate the proposed construction. The fruit trees are of a size that is very replicable.

The large redwoods and the Japanese maples will have minor to moderate impacts from the construction of the garage. The garage will be a slab on grade with a foundation at the edge of the slab. Raising of the grade and hand digging of the slab and foundation edge will reduce root loss. The redwoods will be pre-fertilized and watered heavily prior to the start of construction.

The neighboring ginkgo will have no impacts to its root zone and will be protected by the existing wooden property line fencing. The following tree protection plan will help reduce impacts to the trees on and off of the site.

Tree Protection Plan:

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones.

Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips. The wooden fencing will suffice for the neighbor's trees. Straw wattle at the end of the excavation will help to keep the mulch in place.

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

Minor tree trimming may be required to facilitate the construction. Trimming will require the raising of the trees lower fringe. Trimming will be well within ANSI and Best Management standards. No negative impacts are expected from the trimming.

The tree protection measures will be inspected by the site arborist prior to the start of any demolition and again at the start of construction. These inspections are required by the city of Menlo Park. Other inspections will be on an as needed basis.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A



STAFF REPORT

Planning Commission

Meeting Date: 1/8/2018
Staff Report Number: 18-003-PC

Public Hearing: Use Permit and Variances/Alpheus Jessup/904 Harmon Drive

Recommendation

Staff recommends that the Planning Commission approve a use permit to remodel and add a second story to an existing nonconforming single story, single-family residence in the R-1-U (LM) (Single Family Urban (Lorelei Manor) zoning district at 904 Harmon Drive. The proposed work would exceed 100 percent of the existing replacement value in a 12-month period. Staff also recommends approval of variance requests to allow the second floor stairwell to encroach into the required rear setback and to legalize the existing first floor rear setback of 16.5 feet for the purpose of rebuilding eaves up to three feet from the building wall. The recommended actions are included as Attachment A.

Policy Issues

Each use permit and variance request is considered individually. The Planning Commission should consider whether the required use permit and variance findings can be made for the proposal.

Background

Site location

The project site is located at 904 Harmon Drive, between Bay Road and Callie Lane, in the Lorelei Manor neighborhood. The area is close to the City's boundaries with the Town of Atherton. The properties to the north and west are single-family residences and are also located in the R-1-U (LM) zoning district. The property to the east is zoned R-1-U and is occupied by a church. The property to the south is part of the SFPUC's Hetch Hetchy Regional Water System right-of-way (ROW).

The surrounding homes are predominantly single-story, single-family residences; however, two-story, single-family residences can also be found throughout the neighborhood. Most of the residences in the area are of the traditional ranch style, although some craftsman and contemporary residential residences are also present.

Analysis

Project description

The subject site is currently occupied by a single-story residence with an attached one-car garage. The parcel is trapezoidal in shape, and the existing residence is not aligned to the front or side setbacks. The

structure is nonconforming with regard to the front, rear, and left side setbacks. The applicant is proposing to maintain the 1,895-square-foot first story, while adding a 936-square-foot second story addition, 19-square-foot first story addition, and renovating and removing portions of the existing structure. The existing shed and wood trellis in the rear yard are also proposed to be removed. The existing building coverage complies with the 40-percent requirement for one-story buildings, but portions of the existing building footprint would be removed to comply with the 35-percent requirement for two-story buildings. A new trellis on the front elevation would not count towards building coverage, as it would be cantilevered and less than six feet in depth. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a four-bedroom home with five bathrooms. The first-story living space would include a kitchen, dining room, two bathrooms, great room, living room, laundry room, one bedroom, and a one car-garage. The second story would feature three bedrooms, three bathrooms, and a game room. The garage would be expanded to meet the minimum depth requirement, but the parking would remain nonconforming based on the garage width, which can be permitted on remodel/expansion projects. While the garage does not meet the minimum requirements to be considered a two-car garage, the garage is considered a historic two-car garage and is usable as a two-car garage.

The existing nonconforming walls of the residence at the rear, left side, and at the front edge of the garage are proposed to remain with the wall framing retained. The plate height along a section of the rear nonconforming wall would be increased, which can be permitted as that does not increase the setback nonconformity itself. The nonconforming walls along the front elevation in the area currently used as a study would be removed. The proposed second story stairwell would encroach into the rear setback, and the existing rear nonconforming wall would feature new eaves that would extend two feet from the existing rear wall. These encroachments into the rear setback would require variances, as discussed in a following section.

The floor area, building coverage, and height of the proposed residence would all be below the maximum amounts permitted by the Zoning Ordinance. The residence would meet all Zoning Ordinance requirements aside from the variance requests for the rear setback.

Design and materials

The existing residence is a traditional ranch home featuring the characteristic long, low profile, simple roof forms and stucco siding typical of this architectural style. As part of the proposed project, the façade would be updated to achieve a more contemporary aesthetic. The existing stucco siding on the exterior of the residence would be replaced with new stucco siding with a sand textured finish, and the roofing would be new asphalt shingles. The proposed windows would be fiberglass casement windows. The existing garage door would be replaced with a metal frame with obscured glass transom windows. Additional architectural interest would be provided by stucco joints and the trellis over the front porch.

The new second story would be concentrated toward the center of the first story and would be stepped in from the first story footprint except for the stairwell along the rear wall. The closest adjacent residence, a

single-story single-family home at 908 Harmon Drive, is approximately 14 feet away. The second story of the proposed structure is designed in such a way that potential privacy impacts should be limited. As required by the zoning district, the second-story windows on the side elevations are proposed to have sill heights of at least five feet or would be obscured glass, which would promote privacy for the neighboring residential properties.

Staff believes that the scale, materials, and style of the proposed residence are consistent with the broader neighborhood, given the architectural styles and sizes of structures in the area.

R-1-U (LM) Zoning District Requirements

The R-1-U (LM) zoning district establishes a unique set of regulations for the development and renovation of single-family residences located within the Lorelei Manor neighborhood. In general, this zoning district provides for more restrictive development regulations, but provides flexibility on some of the regulations by either obtaining the approval of the adjacent neighbor or a use permit from the Planning Commission. The applicant has obtained approval letters from the adjacent neighbors to modify the second-floor window and daylight plane requirements. These letters are included as Attachment F.

The applicant is proposing windows on the rear elevation with a minimum sill height of 2.5 feet without obscured glass, where a minimum five foot sill height or the use of obscured glass for the portion of the window with a sill height less than five feet is required. The applicant is also using an extended daylight plane on the left elevation. Staff believes that these modifications are appropriate since the neighboring property owners support the modifications to the development regulations. Additionally, the second story would be stepped back from the first story and feature higher sill heights on the left elevation, which would maintain privacy for the left neighbor. The windows on the rear elevation would face a church rather than a single-family residence.

The Planning Commission can consider these elements holistically as they relate to the overall design and balance of the residence. However, the Commission does not need to act on them specifically, since the adjacent neighbors have signed off on the modifications to the standard R-1-U (LM) regulations.

VariANCES

As part of this proposal, the applicant is requesting variances to allow the stairs on the second floor to encroach into the required rear setback and to legalize the existing first floor rear setback of 16.5 feet for the purpose of rebuilding eaves up to three feet from the building wall. The applicant has provided a variance request letter that is included as Attachment G. The required variance findings are evaluated below in succession:

1. *That a hardship peculiar to the property and not created by any act of the owner exists. In this context, personal, family or financial difficulties, loss of prospective profits and neighboring violations are not hardships justifying a variance. Further, a previous variance can never have set a precedent, for each case must be considered only on its individual merits;*

The applicant states that a combination of factors create a hardship for the owners, who wish to remodel and expand their home in a functional manner. The subject site, is not a typical, rectangular-shaped lot,

but rather a trapezoid shape. In addition, the existing residence is sited in a non-orthogonal manner with regard to the property lines. The combination of the irregular lot shape and the placement of the existing residence, creates a hardship. Staff concurs that this is a hardship peculiar to the property and not created by an act of the owner. The proposed location of the second floor stairwell along the exterior building wall would provide a functional and conventional design, which are typical to other residential uses in the area.

The proposed eave encroachments would replicate the existing eave encroachments. Although reframing a roof of a nonconforming structure is allowed, the creation of new nonconforming eaves is not permitted. New eaves would have to be rebuilt in such a manner that they would not exceed the maximum permitted intrusion of three feet from the required setback, which in this case is 20 feet from the rear property line. Because the existing rear nonconforming wall is located 16.5 feet from the property line, already more than three feet from the required setback, legalization of the existing nonconforming wall is necessary to rebuild the eaves to their current depth. Staff believes this variance is justified as the proposed eave overhang would provide functional eaves along the rear elevation, where no eaves would otherwise be permitted, and is based on the unique hardship of the existing wall's nonconforming location.

2. *That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property in the same vicinity and that a variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his/her neighbors;*

The applicant states that the requested variances are necessary to create a conventional floor plan and functional space. The proposed second floor would be positioned centrally over the existing first-floor building footprint, which would allow for an efficient use of space, rather than adding significantly onto the ground floor, which is constrained by the lot shape and placement of the structure. Staff believes that adding the new second floor and eaves would not constitute a special privilege for the owners, since the residence is constrained by its placement and the overall lot shape, which make it difficult to comply with the required R-1-U (LM) development regulations as part of a remodel/expansion project. Staff believes that the second-story stairway encroachment would make efficient, practical use of space, as it would avoid fully redesigning the existing and proposed floor plan of the residence. The applicant is also proposing to replicate the existing roof eave encroachments after replacing the roof in order to keep a contiguous roofline and to properly frame the roof. Both of these encroachments would allow for modifications that other conforming properties would be able to more easily achieve.

3. *That the granting of the variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property; and*

Staff believes that the proposed encroachments would not be detrimental to the public health, safety, and welfare, or impair an adequate supply of light and air to the adjacent properties, given that the encroachments are modest in size, and the remodeled and expanded residence would comply with all other development regulations prescribed by the Zoning Ordinance (or as modified by adjacent neighbors), such as building coverage, floor area limit, daylight plane, and building height. In addition, on the rear, the adjacent church building would remain over 65 feet away, which would provide a significant buffer.

4. *That the conditions upon which the requested variance is based would not be applicable, generally, to other property within the same zoning classification.*

The applicant cites the orientation of the existing residence and the existing encroachment into the required rear yard as examples of the uniqueness of this situation. The house is aligned with the rear property line, rather than the side or front property lines, which presents a number of challenges that are not generally applicable to other properties. Because the variances for the second floor stairwell and eave encroachments into the required rear yard setback would be based on the unique conditions of a trapezoid shaped parcel and the placement of the existing house, they would not be applicable, generally, to other properties within the same zoning classification.

5. *That the condition upon which the requested variance is based is an unusual factor that was not anticipated or discussed in detail during any applicable Specific Plan process.*

The property is not within any Specific Plan area. Hence, a finding regarding an unusual factor does not apply.

Staff believes that the five findings can be made with regard to the proposed variances for encroachments into the required rear yard setback, given the unique condition of the existing building and its orientation on the property. Staff recommends approval for these variances and findings to this effect are included in the recommended actions.

Trees and landscaping

At present, there are five trees on or in near proximity to the project site. Two of these trees are heritage trees, and all five trees are proposed to remain. The applicant has submitted an arborist report (Attachment H) detailing the species, size, and conditions of the heritage trees on the property. The report indicates that the heritage Chinese elm (tree #1) must be pruned prior to construction to cut back the length of the tree limbs, and raise the tree canopy 12 to 14 feet from existing roof line for clearance. During the review process, the arborist report was reviewed by the City's independent consulting arborist to confirm the accuracy of the conclusions of the report. The partial demolition of the existing residence and construction of the proposed addition are not anticipated to adversely affect any of the existing trees located on the subject site or neighboring properties, given that the proposed addition is within the footprint of the existing structure. Standard heritage tree protection measures will be ensured through recommended condition 4g.

No new landscaping is currently proposed. The existing fences in the front setback and along the rear property line exceed the permitted height limits. The rear fence is 7.4 feet where a maximum of seven feet is allowed and the fences in the front yard range in height from 4.8 feet to 6.8 feet where a maximum of 4 feet is allowed. Condition 5a requires these fences to be revised to meet the fence regulations as part of the project approval. However, the Planning Commission can consider taking action to approve the existing fence heights as part of this use permit approval.

Valuation

To calculate the replacement and new construction costs on which the use permit threshold is based, the City uses standards established by the Building Division. The City has determined that the replacement cost of the existing structure would be \$330,120, meaning that the applicants would be allowed to propose new construction and remodeling at this site totaling less than \$330,120 in any 12-month period without applying for a use permit. The City has determined that the value of the proposed work would be approximately \$423,440. Based on this estimate, the proposed project exceeds 100 percent of the replacement cost of the existing structure, therefore requiring use permit approval by the Planning Commission.

Correspondence

No comments have been directly received by staff on the proposed project. During the review process, the property owners contacted the adjacent neighbors regarding the proposed project and obtained letters from them approving modifications to the development regulations as described in a previous section. These letters are included as Attachment F.

Conclusion

Staff believes that the scale, materials, and style of the proposed residence are compatible with those of the greater neighborhood. No heritage tree impacts are anticipated. Aside from the variance requests, the floor area, building coverage, and height of the proposed residence would all be at or below the maximum amounts permitted by the Zoning Ordinance. Staff believes that the five findings can be made with regard to the proposed variances for the second story stairwell and first story eave encroachments into the rear setback (via legalization of the existing nonconforming wall), given the unique orientation of the existing residence and trapezoid shaped parcel. Staff recommends that the Planning Commission approve the use permit and grant the variances for the proposed rear yard encroachments, subject to the actions in Attachment A.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Letters from Adjacent Neighbors
- G. Variance Letter
- H. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:
Kaitie Meador, Associate Planner

Report reviewed by:
Thomas Rogers, Principal Planner

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904 Harmon Drive – Attachment A: Recommended Actions

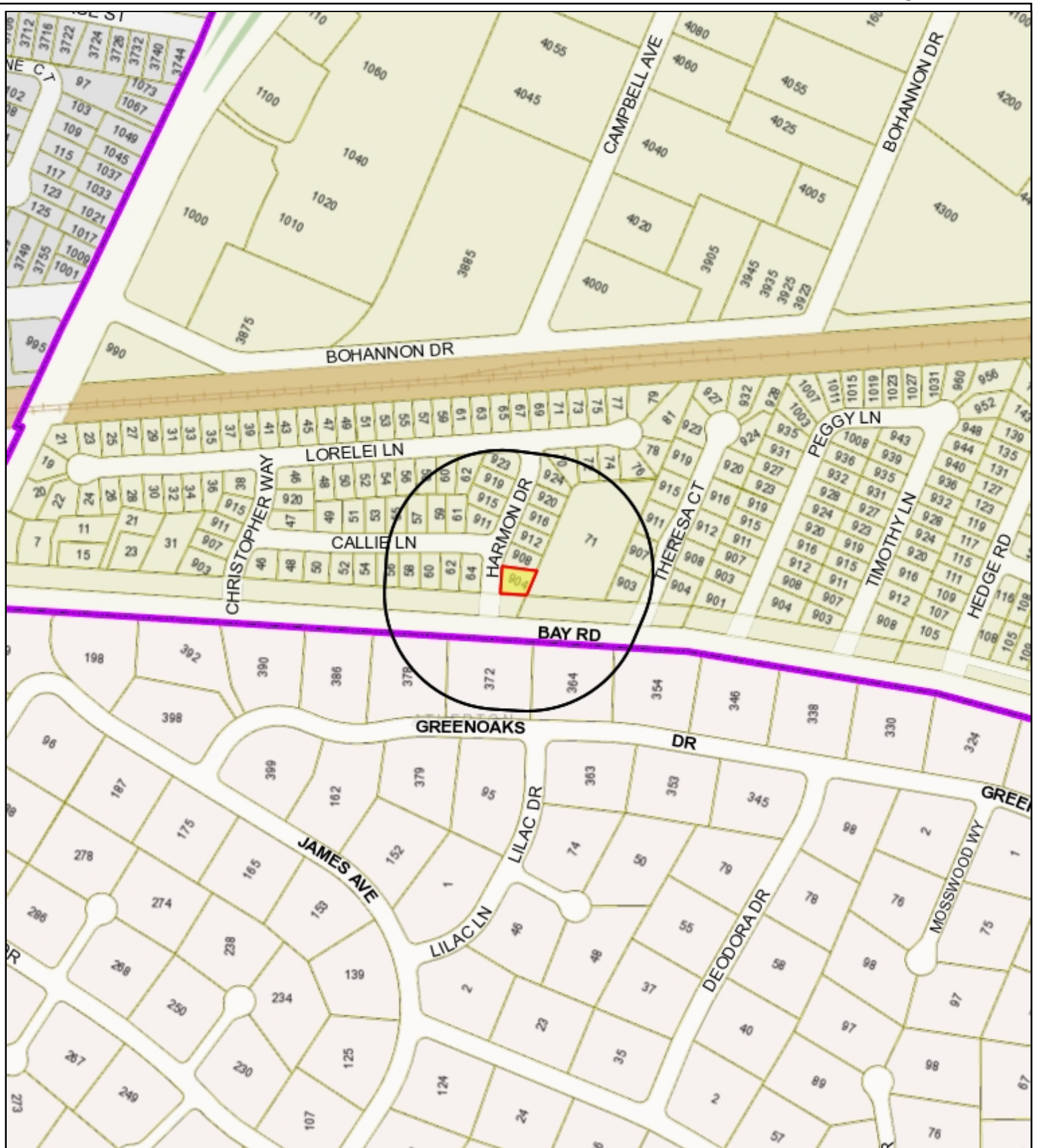
LOCATION: 904 Harmon Drive	PROJECT NUMBER: PLN2017-00037	APPLICANT: Alpheus Jessup	OWNER: Christina & James Courtney
PROPOSAL: Request for a use permit to remodel and add a second story to an existing nonconforming single story, single-family residence in the R-1-U (LM) (Single Family Urban (Lorelei Manor)) zoning district at 904 Harmon Drive. The proposed work would exceed 100 percent of the existing replacement value in a 12-month period. Staff also recommends approval of variance requests to allow the second floor stairwell to encroach into the required rear setback and to legalize the existing first floor rear setback of 16.5 feet for the purpose of rebuilding eaves up to three feet from the building wall.			
DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p>ACTION:</p> <ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make the following findings as per Section 16.82.340 of the Zoning Ordinance pertaining to the granting of a variance to allow the second floor stairwell to encroach into the required rear setback and to legalize the existing first floor rear setback of 16.5 feet for the purpose of rebuilding eaves up to three feet from the building wall: <ol style="list-style-type: none"> a. A hardship is presented given the unique orientation of the existing resident on the lot and the non-typical trapezoid-shaped parcel. This hardship is peculiar to the property and was not created by any act of the owner. b. The requested variance for the building encroachments into the required rear yard setback are necessary to allow the property owners to conduct typical modifications that other conforming properties would be able to more easily achieve on a typical rectangular-shaped lot in the R-1-U (LM) zoning district. The requested variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming properties in the vicinity, and does not grant the property a special privilege. c. Although the proposed second floor stairwell and eave encroachments would affect the required rear yard setback, the encroachments would not be detrimental to the public health, safety, and welfare, or impair an adequate supply of light and air to the adjacent properties. The adjacent buildings are located approximately 14.5 feet and 65.5 feet from the proposed project, the encroachments are modest in size, and the remodeled and expanded residence would comply with all other development regulations prescribed by the Zoning Ordinance, such as side floor area limits, building coverage, and building height. d. Because the variance would be based on the unique conditions of a trapezoid-shaped parcel and the placement of the existing residence, the conditions would not be applicable, generally, to other properties within the same zoning classification. e. The property is not within any Specific Plan area. Hence, a finding regarding an unusual factor does not apply. 3. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 			

904 Harmon Drive – Attachment A: Recommended Actions

LOCATION: 904 Harmon Drive	PROJECT NUMBER: PLN2017-00037	APPLICANT: Alpheus Jessup	OWNER: Christina & James Courtney
PROPOSAL: Request for a use permit to remodel and add a second story to an existing nonconforming single story, single-family residence in the R-1-U (LM) (Single Family Urban (Lorelei Manor)) zoning district at 904 Harmon Drive. The proposed work would exceed 100 percent of the existing replacement value in a 12-month period. Staff also recommends approval of variance requests to allow the second floor stairwell to encroach into the required rear setback and to legalize the existing first floor rear setback of 16.5 feet for the purpose of rebuilding eaves up to three feet from the building wall.			
DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p>ACTION:</p> <p>4. Approve the use permit and variances subject to the following standard conditions:</p> <ul style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by M Designs Architects, consisting of 22 plan sheets, dated received December 14, 2017, and approved by the Planning Commission on January 8, 2018, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance; the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Henry Ardalan and dated March 25, 2017. <p>5. Approve the use permit and variances subject to the following project-specific condition:</p> <ul style="list-style-type: none"> a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the fencing on the property will be revised to comply with 			

904 Harmon Drive – Attachment A: Recommended Actions

LOCATION: 904 Harmon Drive	PROJECT NUMBER: PLN2017-00037	APPLICANT: Alpheus Jessup	OWNER: Christina & James Courtney
PROPOSAL: Request for a use permit to remodel and add a second story to an existing nonconforming single story, single-family residence in the R-1-U (LM) (Single Family Urban (Lorelei Manor)) zoning district at 904 Harmon Drive. The proposed work would exceed 100 percent of the existing replacement value in a 12-month period. Staff also recommends approval of variance requests to allow the second floor stairwell to encroach into the required rear setback and to legalize the existing first floor rear setback of 16.5 feet for the purpose of rebuilding eaves up to three feet from the building wall.			
DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: the current fence height regulations. The plans shall be submitted for review and approval of the Planning Division.			



CITY OF
MENLO PARK

City of Menlo Park
Location Map
904 Harmon Drive



Scale: 1:4,000

Drawn By: KMM

Checked By: THR

Date: 1/8/2018

Sheet: 1

904 Harmon Drive – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	5,344 sf	5,344 sf	4,900 sf min.
Lot width	66.6 ft.	66.6 ft.	40 ft. min.
Lot depth	79 ft.	79 ft.	75 ft. min.
Setbacks			
Front	19.6 ft.	18.3 ft.	20 ft. min.
Rear	16.5 ft.	16.5 ft.	20 ft. min.
Side (1 st fl. left)	3.7 ft.	3.7 ft.	5 ft. min.
Side (1 st fl. right)	7.3 ft.	7.3 ft.	5 ft. min.
Side (2 nd fl. left)	10 ft.	n/a	10 ft. min.
Side (2 nd fl. right)	14.5 ft.	n/a	10 ft. min.
Building coverage	1,862 sf 34.8 %	2,038 sf 38.1 %*	1,870.4 sf max. 35 % max.
FAL (Floor Area Limit)	2,798 sf	1,895 sf	2,800 sf max.
Square footage by floor	1,443 sf/1 st 936 sf/2 nd 419 sf/garage	1,519 sf/1st 376 sf/garage 143 sf/trellis	
Square footage of buildings	2,798 sf	2,038 sf	
Building height	21.4 ft.	11.8 ft.	28 ft. max.
Parking	1 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees					
Heritage trees	2	Non-Heritage trees	3**	New Trees	0
Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0	Total Number of Trees	5

*Compliant with the 40-percent building coverage limit for one story residences.

**One of these trees is located on a neighboring property.

REMODEL & ADDITION TO THE RESIDENCE OF THE COURTNEY FAMILY

DATE	REVISION
12-15-2017	PLANNING SUBMITTAL



M-DESIGNS ARCHITECTS
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STE 225, LOS ALTOS, CA
www.mdesignsarchitects.com
Tel: 650-945-9036 Fax: 650-945-7888



CONSTRUCTION DOCUMENTS
VICINITY MAP, GENERAL NOTES, CODE SUMMARY, DRAWING INDEX & PROJECT DATA

04-04-17
T0.1

VICINITY MAP



PARCEL MAP



DRAWING INDEX

ARCHITECTURAL	
T0.1	TITLE SHEET
A1.1	EXISTING SITE PLAN & PROJECT DATA
A1.21	PROPOSED SITE PLAN & STREETSCAPE
A1.22	AREA PLAN
A1.23	EXISTING PHOTOS OF SITE
A1.3	PROPOSED BUILDING AREA CALCULATIONS
A1.4	NEW WORK VALUE CALCULATIONS - CATEGORY 2
A1.5	NEW WORK VALUE CALCULATIONS - CATEGORY 3
A1.6	SITE AVERAGE WIDTH, DEPTH AND NEW WORK VALUE CALCULATION
A1.7	IMPERVIOUS AREA CALCULATIONS
A2.1	EXISTING DEMO FLOOR PLAN & ROOF PLAN
A2.2	PROPOSED FIRST FLOOR PLAN
A2.3	PROPOSED SECOND FLOOR PLAN
A2.4	PROPOSED ROOF PLAN
A3.1	EXISTING ELEVATIONS
A3.2	PROPOSED ELEVATIONS N-E
A3.3	PROPOSED ELEVATIONS S-W
A4.1	SECTIONS A-A & B-B
A4.2	SECTIONS C-C & D-D
A4.3	DAYLIGHT PLANE STUDY
CIVIL	
C1	BOUNDARY AND TOPOGRAPHIC SURVEY
STRUCTURAL	
SD.1	TYP. WALL EXTENSION DETAIL

GENERAL NOTES

SITE EXAMINATION:
THE CONTRACTOR SHALL THOROUGHLY EXAMINE AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AND CONDITIONS AFFECTING HIS WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME.

SAFETY:
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

DAMAGE TO STRUCTURE OR SYSTEMS TO REMAIN:
CONTRACTOR SHALL REPAIR/REPLACE OWNERS' FOR REPAIR AND REPLACEMENT, TOGETHER WITH ANY DESIGN TEAM FEES, FOR ANY DAMAGE CAUSED TO STRUCTURES OR EXISTING SYSTEMS TO REMAIN, AS THE RESULT OF HIS/HER CONSTRUCTION OPERATIONS.

MEASUREMENTS:
THE CONTRACTOR SHALL VERIFY ALL DIMENSION SHOWS ON THE DRAWINGS BY TAKING FIELD MEASUREMENTS IF NECESSARY. PROPER FIT AND ATTACHMENT OF ALL PARTS REQUIRED BEFORE COMMENCING WORK. CHECK ALL LINE AND LEVELS INDICATED AND SUCH OTHER WORKS TO VERIFY THAT IT HAS BEEN PROPERLY COMPLETED. SHOULD THERE BE ANY DISCREPANCIES, THIS OFFICE IS TO BE NOTIFIED FOR CORRECTIONS AND/OR RESOLUTION PRIOR TO COMMENCEMENT OF ANY RELATED WORK.

EXISTING CONDITIONS:
ALL INFORMATION RELATING TO EXISTING CONSTRUCTION IS GIVEN AS BEING THE BEST INFORMATION AVAILABLE, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND BUILDING DATA AT THE JOB SITE. ANY DISCREPANCIES REQUIRING MODIFICATION TO THE CONSTRUCTION SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. NO MODIFICATIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER(S).

CONTRACTOR'S EQUIPMENT:
COORDINATE WITH OWNER REPRESENTATIVE THE LOCATION OF CONTRACTOR'S BUILDING ENTRANCE AND LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE AREA.

UTILITY SHUT-DOWNS AND CONNECTIONS:
BEFORE THE SHUT-DOWN OR TYPING INTO ANY UTILITY, PRIOR APPROVAL SHALL BE OBTAINED FROM THE OWNER'S AUTHORITY REPRESENTATIVES. ALL BUILDING MATERIALS MUST BE ASBESTOS FREE.

CONSTRUCTION SCHEDULING:
CONTRACTOR SHALL COORDINATE HIS/HER CONSTRUCTION OPERATIONS WITH OWNER'S REPRESENTATIVE PRIOR TO SCHEDULING AND START OF THE WORK. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING SYSTEMS WHICH ARE IN USE AND ARE ADJOINING THE WORK AND ARE NOT PART OF THE WORK.

PLUMBING & ELECTRICAL:
SEE ALSO PLUMBING AND ELECTRICAL NOTES. EXAMINATION OF PLUMBING AND ELECTRICAL SERVICES TO SITE BY CONTRACTOR PRIOR TO CONNECTION OR TYPING INTO IS REQUIRED. IN ANY CASE WHERE A NEW LINE TIES INTO OR EXTENDS AN EXISTING LINE WITHIN THE LIMITS OF WORK, THE CONTRACTOR SHALL EXAM THE ENTRY LINE, OR ARRANGES FOR THE PROPER AGENCIES TO DO SO. NOTIFY OWNER OF ANY DEFECTS PRIOR TO TYPING INTO (E) LINES.

ALL WORK SHALL CONFORM AND SHALL BE IN CONFORMANCE TO ALL REQUIREMENTS OF THE STATE OF CALIFORNIA ENERGY COMMISSION (TITLE 24) ENERGY EFFICIENCY STANDARDS FOR NEW RESIDENTIAL BUILDINGS AND SPECIFY REGULATION AND MANDATORY FEATURE AS REFERRED TO IN THE ENERGY CALCULATION OR AS NOTED ON DRAWINGS.

NOTED: ALL MARKING SHALL BE AS PER CRC.

ALL GLASS SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS AS PER CRC UNLESS OTHERWISE REQUESTED BY OWNER.

PROVIDE SECURITY DEVICES AS REQUIRED BY THE CITY OR COUNTY, AS WELL AS SECURITY DEVICES SPECIFICALLY REQUESTED BY OWNER.

CONTRACTOR SHALL INSTALL ALL INSTALLATION AS REQUIRED BY TITLE 24.

FLOOR INSULATION: R-19 BATT
WALL INSULATION: R-13 MIN AT 2x4 STUD WALLS
R-13 MIN AT 2x6 STUD WALLS
ATTIC INSULATION: R-30 BATT OR OPEN CELL
VAULTED CEILING: R-30 HIGH PERFORMANCE BATT OR OPEN CELL FOAM
PIPE INSULATION: R-7 WRAPPED HOT WATER ONLY
DUCT INSULATION: R-4.2 MINIMUM BY DESIGN
HOT WATER HEATER: R-12 BLANKET (OR AS REQUIRED FOR ON DEMAND WATER HEIS)

ALL INSULATION TO BE JOHNS MANVILLE FOMALDEHYDE FREE FIBER GLASS INSULATION OR EQUAL AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

CONTRACTOR SHALL COMPLETE INSULATION INSTALLATION CERTIFICATE AND PROVIDE OWNER WITH ALL MANUFACTURER'S MANUALS FOR EQUIPMENT SPECIFICALLY DETAILING EFFICIENT OPERATION AND MAINTENANCE REQUIREMENT.

CODE SUMMARY

TYPE OF CONSTRUCTION:
TYPE: V-R
OCCUPANCY:
OCCUPANCY GROUPS: R-3U
STORIES: 2 STORY

CODE COMPLIANCE:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA REFERENCE STANDARDS CODE

NOTHING ON THE DRAWING SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LISTED CODES AND REGULATIONS.

PROJECT DESCRIPTION

SUMMARY OF WORK:

- PURPOSE OF THE PROPOSAL
- PERMISSION TO CONSTRUCT 2ND STORY ADDITION AND FIRST FLOOR REMODEL. ORIGINAL CONSTRUCTION IS LEGAL, NON-CONFORMING, WE NEED A USE PERMIT
- ARCHITECTURAL STYLE - WOOD FRAME CONSTRUCTION. COLORS/MATERIALS TO MATCH EXISTING.
- BASIS FOR SITE LAYOUT - SINGLE FAMILY HOME
- OUTREACH TO NEIGHBORING PROPERTIES - OWNERS HAVE CORDIAL RELATIONSHIP WITH IMMEDIATE NEIGHBORS. NEIGHBORS ARE ON ONE SIDE ONLY

PROJECT TEAM

OWNERS:
JANEY CHRISTINA COURTNEY
904 HARMON DR.
MENLO PARK, CA 94025

STRUCTURAL:
ROBELO ASSOCIATES
505 SEAPORT CT, STE 101
REDWOOD CITY, CA 94063
CONTACT: FRANK ROBELO
PHONE: (650) 381-1403
email: frank@robelo.net

T-24
TBD

ARCHITECT:
M-DESIGNS ARCHITECTS
4546 EL CAMINO REAL, STE 223
LOS ALTOS, CA 94022
CONTACT: ALPHEUS W. JESSUP
(650) 565-9036
email: aaj@mdesignsarchitects.com

CIVIL ENGINEER:
SOMP ENGINEERS
CONTACT: SAEED RAJAVI
PHONE: (408) 472-5062
email: rajavi@sompengineers.com

ARBORIST:
COURTNEY ARDALAN
PHONE: (650) 222-1771
email: arborist@courtneyaridalan.com

PROJECT DATA

APN	061-021-190
LOT SIZE	5344 SQ. FT.
ZONING DISTRICT	R1U (DM)

FLOOR AREA TABLE

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA FIRST FLOOR	1519 Sq. Ft.	-80 Sq. Ft.	1443 Sq. Ft.
HABITABLE LIVING AREA SECOND FLOOR	0 Sq. Ft.	936 Sq. Ft.	936 Sq. Ft.
TOTAL HABITABLE AREA 1ST & 2ND FLOOR			2379 SQ. FT.
NON-HABITABLE EXTERIOR COVERAGE	143 Sq. Ft.	-143 Sq. Ft.	0 Sq. Ft.
NON-HABITABLE GARAGE (2-CAR)	377 Sq. Ft.	42 Sq. Ft.	419 Sq. Ft.
TOTAL NON HABITABLE AREA			419 SQ. FT.
TOTAL PROPOSED			2798 SQ. FT.

SETBACKS

	EXISTING	PROP. 1ST FLOOR	PROP. 2ND FLOOR	REQUIRED
FRONT (WEST)	18'-0" ±	19'-7 1/2" @ GARAGE	25'-0"	20'-0"
REAR (EAST)	16'-0" ±	(NO CHANGE)	16'-0"	20'-0"
RIGHT SIDE (SOUTH)	7'-4" ±	(NO CHANGE)	14'-6"	5'-0"
LEFT SIDE	9'-0" ±	(NO CHANGE)	10'-0"	5'-0"

HEIGHT

	EXISTING	PROPOSED	ALLOWED TWO-STORY
	11'-0" ±	22'-5" ±	28'-0"

FLOOR AREA LIMIT (F.A.L.)

	EXISTING	PROPOSED	ALLOWED
FLOOR AREA LIMIT (F.A.L.)	1519 SQ.FT.	2798 SQ.FT.	2600 SQ.FT.

BUILDING COVERAGE

	EXISTING	PROPOSED	ALLOWED
COVERAGE (EXISTING)			
(E) HABITABLE LIVING AREA	1519 SQ. FT.		
(E) GARAGE	376 SQ. FT.		
(E) EXTERIOR BUILDING COVERAGE	143 SQ. FT.		
	2038 SQ. FT.	75344 = 36.1%	

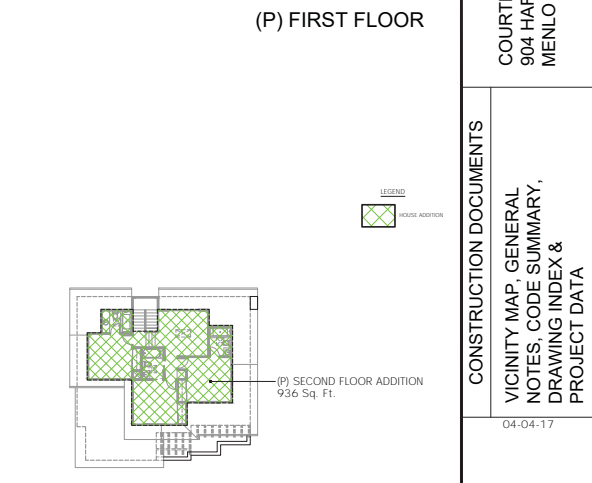
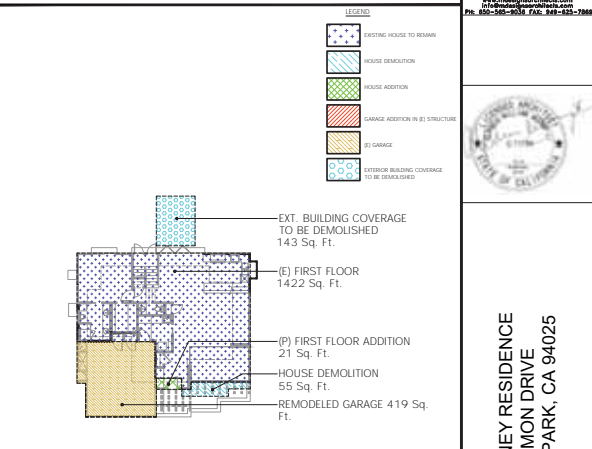
COVERAGE (PROPOSED)

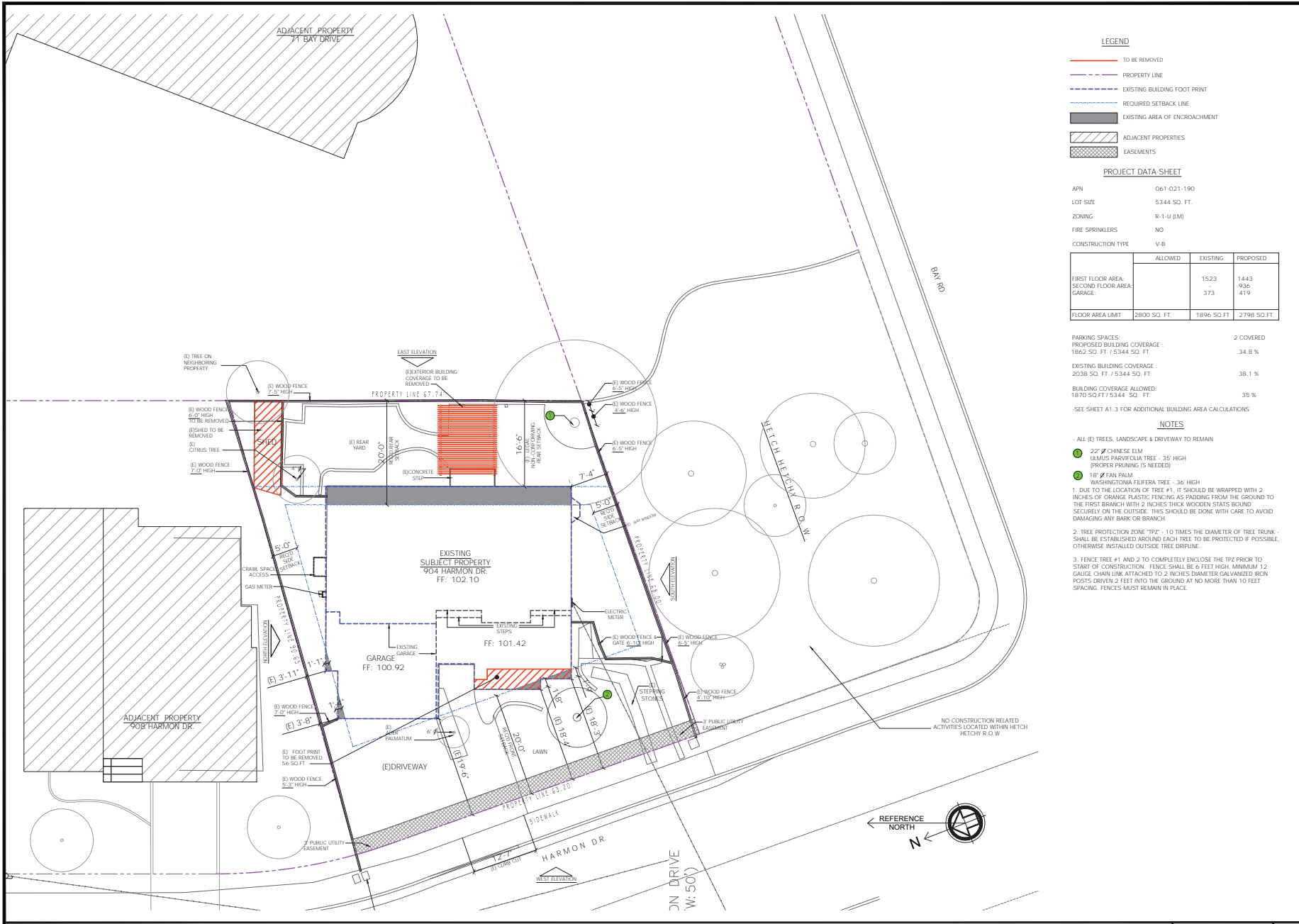
	EXISTING	PROPOSED	ALLOWED
REMODELED HABITABLE LIVING AREA		1422 SQ. FT.	
ADDITION		21 SQ. FT.	
REMODELED GARAGE		419 SQ. FT.	
	1262 SQ. FT.	75344 = 34.8%	

BUILDING COVERAGE FOR TWO-STORY (ALLOWED) 35 %

NOTE: SEE SHEET A1.3 FOR BUILDING AREA CALCULATION

AREA KEY PLANS





LEGEND

- TO BE REMOVED
- PROPERTY LINE
- EXISTING BUILDING FOOT PRINT
- REQUIRED SETBACK LINE
- EXISTING AREA OF ENCROACHMENT
- ADJACENT PROPERTIES
- EASEMENTS

PROJECT DATA SHEET

APN 061-021-190
 LOT SIZE 5344 SQ. FT.
 ZONING R-1-U (LM)
 FIRE SPRINKLERS NO
 CONSTRUCTION TYPE V-B

	ALLOWED	EXISTING	PROPOSED
FIRST FLOOR AREA:		1523	1443
SECOND FLOOR AREA:		-	936
GARAGE:		373	419
FLOOR AREA LIMIT	2800 SQ. FT.	1896 SQ. FT.	2798 SQ. FT.

PARKING SPACES: 2 COVERED
 PROPOSED BUILDING COVERAGE: 1523 SQ. FT. / 5344 SQ. FT. 34.8 %
 EXISTING BUILDING COVERAGE: 2038 SQ. FT. / 5344 SQ. FT. 38.1 %
 BUILDING COVERAGE ALLOWED: 1870 SQ. FT. / 5344 SQ. FT. 35 %
 -SEE SHEET A1.3 FOR ADDITIONAL BUILDING AREA CALCULATIONS

NOTES

- ALL (E) TREES, LANDSCAPE & DRIVEWAY TO REMAIN
- 22' CHINESE ELM (ULMUS PARVIFOLIA TREE - 35' HIGH (PROPER PRUNING IS NEEDED))
- 18' FAN PALM WASHINGTONIA FILIFERA TREE - 36' HIGH
- 1. DUE TO THE LOCATION OF TREE #1, IT SHOULD BE WRAPPED WITH 2 INCHES OF ORANGE PLASTIC FENCING AS PADDING FROM THE GROUND TO THE FIRST BRANCH WITH 2 INCHES THICK WOODEN STAKES BOUND SECURELY ON THE OUTSIDE. THIS SHOULD BE DONE WITH CARE TO AVOID DAMAGING ANY BARK OR BRANCH.
- 2. TREE PROTECTION ZONE "TPZ" - 10 TIMES THE DIAMETER OF TREE TRUNK - SHALL BE ESTABLISHED AROUND EACH TREE TO BE PROTECTED IF POSSIBLE, OTHERWISE INSTALLED OUTSIDE TREE DRUPLINE.
- 3. FENCE TREE #1 AND 2 TO COMPLETELY ENCLOSE THE TPZ PRIOR TO START OF CONSTRUCTION. FENCE SHALL BE 6 FEET HIGH, MINIMUM 12 GAUGE CHAIN LINK ATTACHED TO 2 INCHES DIAMETER GALVANIZED IRON POSTS DRIVEN 2 FEET INTO THE GROUND AT NO MORE THAN 10 FEET SPACING. FENCES MUST REMAIN IN PLACE.

DATE	REVISION
12-15-2017	PLANNING SUBMITTAL

M-DESIGNS ARCHITECTS
 M-DESIGNS ARCHITECTS
 4546 EL CAMINO REAL,
 STE 225, LOS ALTOS, CA
 www.mdesignsarchitects.com
 Tel: 650-955-9538 Fax: 650-953-7880



CONSTRUCTION DOCUMENTS
 EXISTING SITE PLAN &
 PROJECT DATA

COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

04-04-17

A1.1

EXISTING SITE PLAN & PROJECT DATA



SCALE: 1/8"=1'-0" 1



DATE	REVISION
12-15-2017	PLANNING SUBMITTAL

M-DESIGNS ARCHITECTS
 M-DESIGNS ARCHITECTS
 4546 EL CAMINO REAL,
 STE 225, LOS ALTOS, CA
 www.mdesignsarch.com
 Tel: 650-952-9338 Fax: 650-952-7888



COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

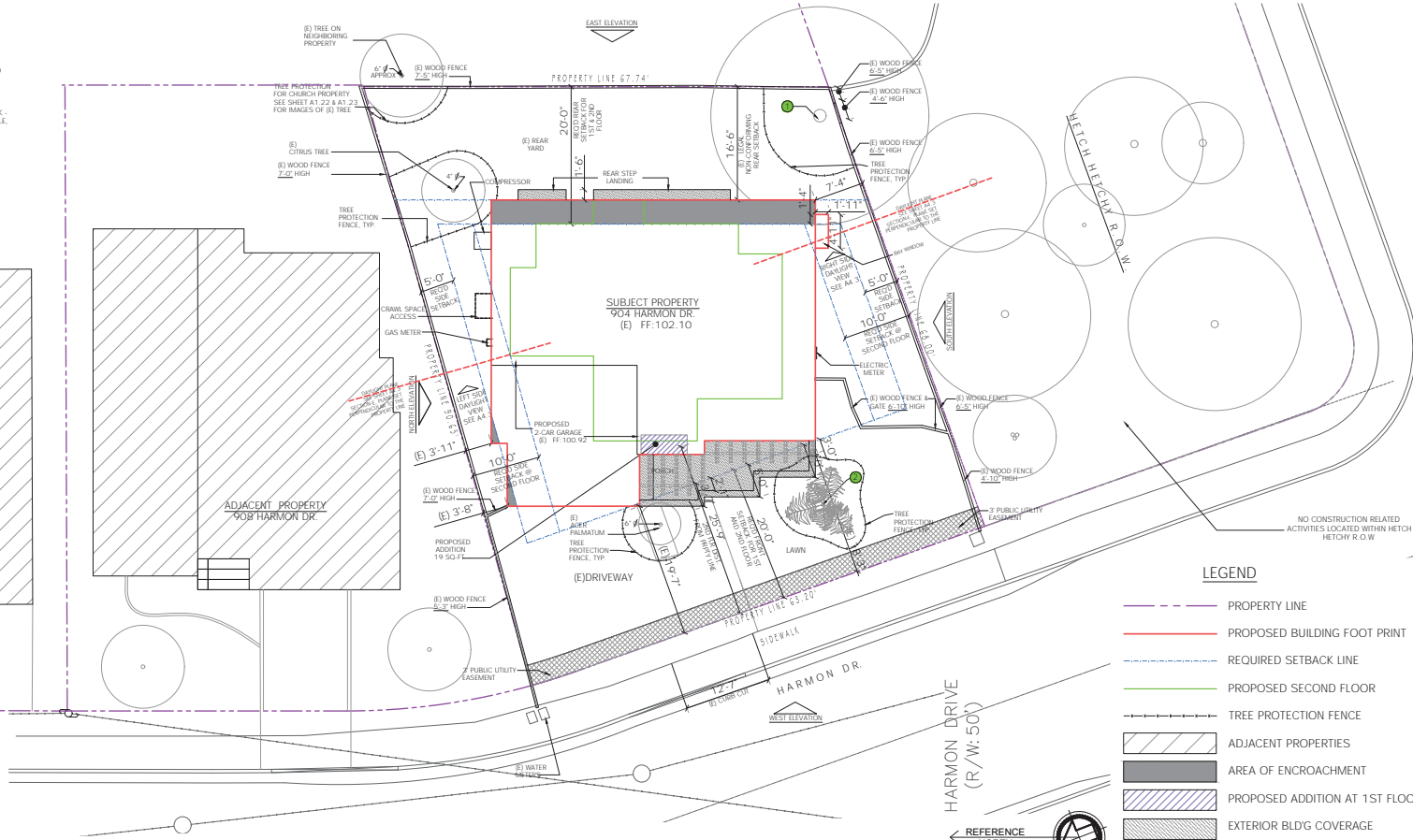
CONSTRUCTION DOCUMENTS
 PROPOSED SITE PLAN,
 STREETScape

04-04-17

A1.21

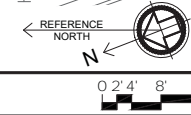
STREETScape

- NOTES**
- ALL (E) TREES, LANDSCAPE & DRIVEWAY TO REMAIN
 - 22" Ø CHINESE ELM
 - 10-15" Ø HAWKWOOD TREE 30' HIGH (PROPER PRUNING IS NEEDED)
 - 18" Ø FAN PALM
 - WASHINGTONIA FLUTERA TREE 30' HIGH
- DUE TO THE LOCATION OF TREE #1, IT SHOULD BE WRAPPED WITH 2 INCHES OF ORANGE PLASTIC FENCING AS PADDING FROM THE GROUND TO THE FIRST BRANCH WITH 2 INCHES THICK WOODEN STAKES BOUND SECURELY ON THE OUTSIDE. THIS SHOULD BE DONE WITH CARE TO AVOID DAMAGING ANY BARK OR BRANCH.
 - TREE PROTECTION ZONE "TPZ" - 10 TIMES THE DIAMETER OF TREE TRUNK SHALL BE ESTABLISHED AROUND EACH TREE TO BE PROTECTED IF POSSIBLE, OTHERWISE INSTALLED OUTSIDE TREE DRILLPIE.
 - FENCE TREE #1 AND 2 TO COMPLETELY ENCLOSE THE TPZ PRIOR TO START OF CONSTRUCTION. FENCES SHALL BE 6 FEET HIGH, MINIMUM 1/2 GAUGE CHAIN LINK ATTACHED TO 2 INCHES DIAMETER GALVANIZED IRON POSTS DRIVEN 2 FEET INTO THE GROUND AT NO MORE THAN 10 FEET SPACING. FENCES MUST REMAIN IN PLACE.

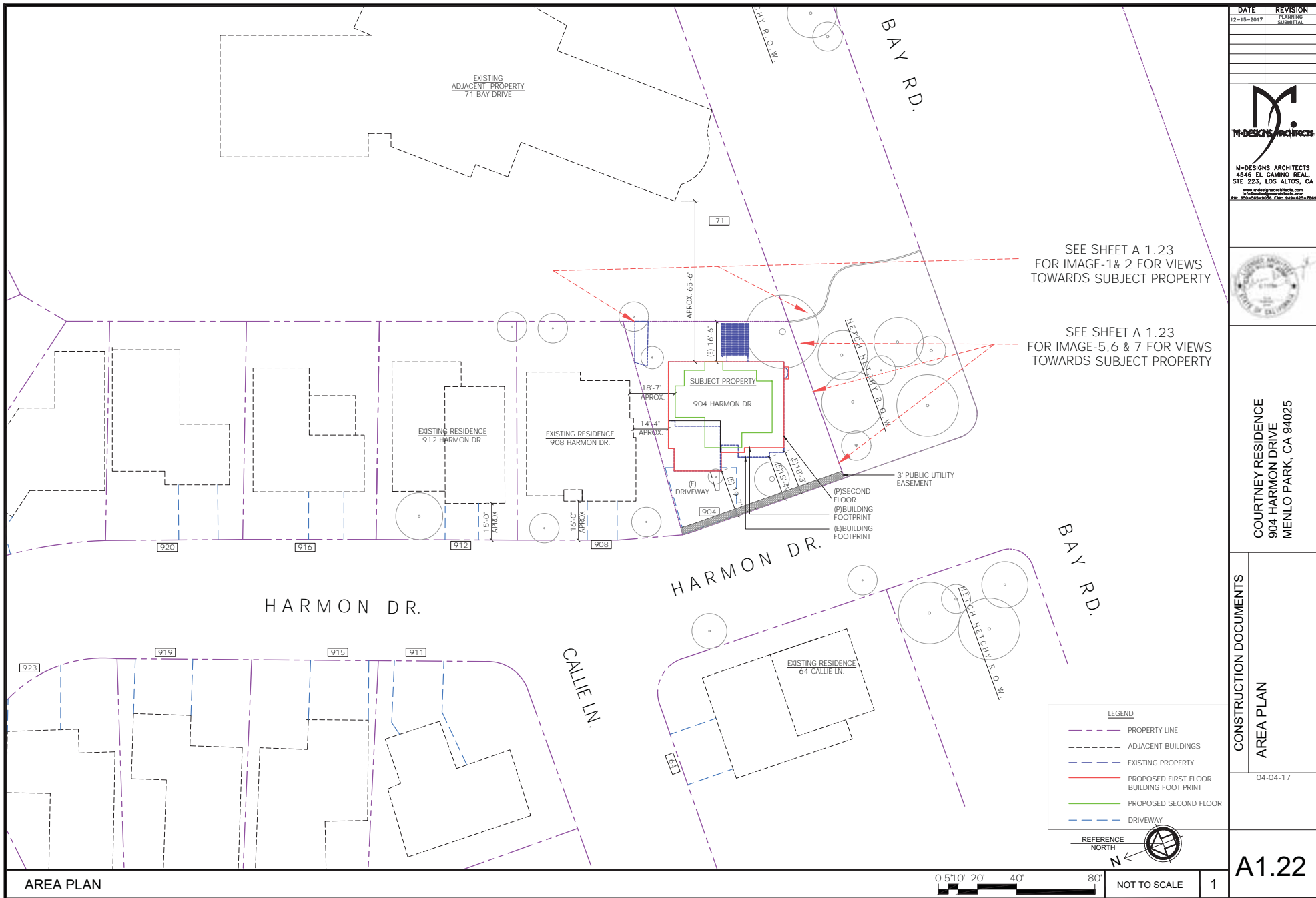


- LEGEND**
- PROPERTY LINE
 - PROPOSED BUILDING FOOT PRINT
 - REQUIRED SETBACK LINE
 - PROPOSED SECOND FLOOR
 - TREE PROTECTION FENCE
 - ADJACENT PROPERTIES
 - AREA OF ENCROACHMENT
 - PROPOSED ADDITION AT 1ST FLOOR
 - EXTERIOR BLDG COVERAGE
 - EASEMENTS

PROPOSED SITE PLAN



SCALE: 1/8"=1'-0" 1



DATE	REVISION
12-15-2017	PLANNING SUBMITTAL

M-DESIGNS ARCHITECTS
 M-DESIGNS ARCHITECTS
 4546 EL CAMINO REAL,
 STE 225, LOS ALTOS, CA
 www.mdesignsarchitects.com
 Tel: 650-952-9534 Fax: 650-952-7888



COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
 AREA PLAN

04-04-17

A1.22

SEE SHEET A 1.23
 FOR IMAGE-1 & 2 FOR VIEWS
 TOWARDS SUBJECT PROPERTY

SEE SHEET A 1.23
 FOR IMAGE-5, 6 & 7 FOR VIEWS
 TOWARDS SUBJECT PROPERTY

LEGEND

- PROPERTY LINE
- - - ADJACENT BUILDINGS
- - - EXISTING PROPERTY
- PROPOSED FIRST FLOOR BUILDING FOOT PRINT
- PROPOSED SECOND FLOOR
- - - DRIVEWAY



NOT TO SCALE

1

AREA PLAN

D4



IMAGE 2



IMAGE 3



IMAGE 4



IMAGE 5



IMAGE 1



IMAGE 6

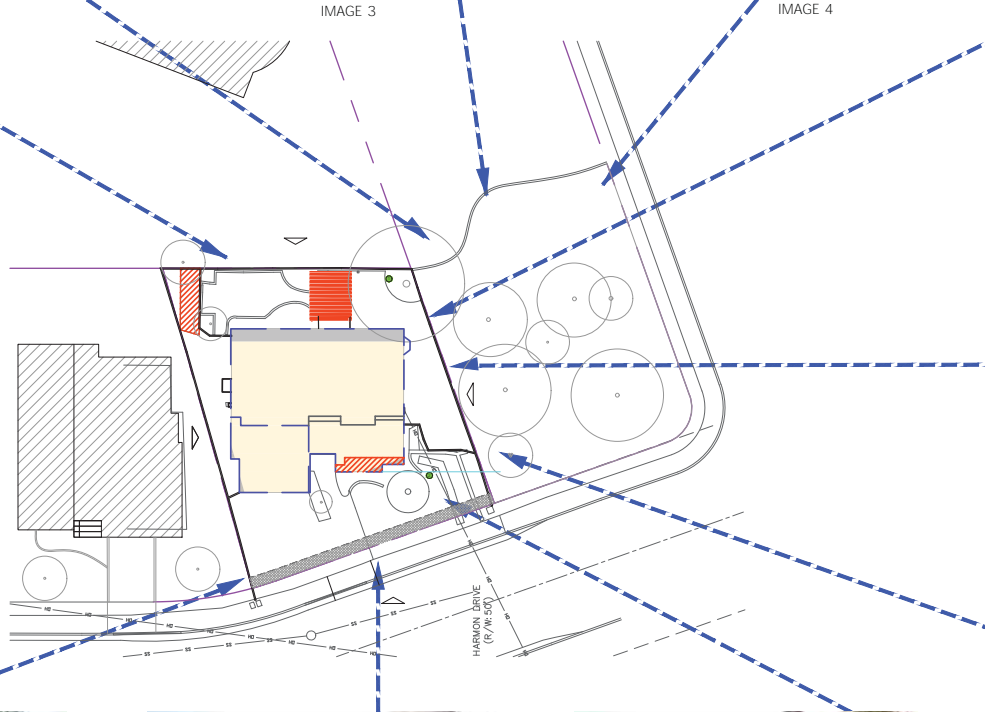


IMAGE 7



IMAGE 10



IMAGE 9



IMAGE 8

DATE	REVISION
12-15-2017	PLANNING SUBMITTAL

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COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
 PHOTOS OF THE EXISTING
 STRUCTURE

04-04-17

A1.23

PHOTOS OF THE EXISTING STRUCTURE

SCALE $\frac{1}{16} = 1'-0"$ 0' 4' 8' 16' 32' 64'

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COURTNEY RESIDENCE
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MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
BUILDING AREA CALCULATIONS

04-04-17

A1.3

BUILDING COVERAGE CALCULATIONS EXISTING HOUSE

(E) FIRST FLOOR		
AREA	DIMENSIONS	AREA (Sq. Ft.)
A	47'-3" X 24'-1"	1138
B	44'-6" X 2'-3"	101
C	5'-11" X 10'-7"	63
D	12'-9" X 12'-8"	161
E	7'-4" X 7'-8"	56
TOTAL HAB. AREA		1519

(E) GARAGE		
No.	DIMENSIONS	AREA (Sq. Ft.)
F	21'-3" X 9'-1"	193
G	19'-3" X 9'-2"	177
H	2'-8" X 2'-3"	6
TOTAL NON-HAB. AREA		376

(E) EXTERIOR BUILDING COVERAGE		
AREA	DIMENSIONS	AREA (Sq. Ft.)
J	10'-7" X 13'-7"	143
TOTAL		143

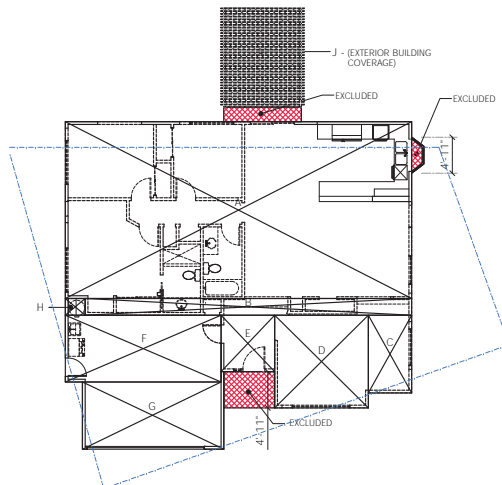
(E) TOTAL BUILDING COVERAGE		
FLOOR AREA	AREA (Sq. Ft.)	
(E) FIRST FLOOR	1519	
(E) GARAGE	376	
EXTERIOR BUILDING COVERAGE	143	
TOTAL BUILDING COVERAGE	2038	

*BUILDING COVERAGE FOR LOTS 7000 SQ. FT OR LESS SHALL BE 40% & BUILDING COVERAGE FOR 2-STORIES 35%
2038 SQ.FT. BUILDING COVERAGE / 5344 SQ.FT. LOT AREA = 38.1%

FAL SUMMARY		
FLOOR AREA	AREA (Sq. Ft.)	
FIRST FLOOR	1519	
GARAGE	376	
SECOND FLOOR	N/A	
TOTAL	1895	

* FAL ALLOWED = 2800 SQ. FT.

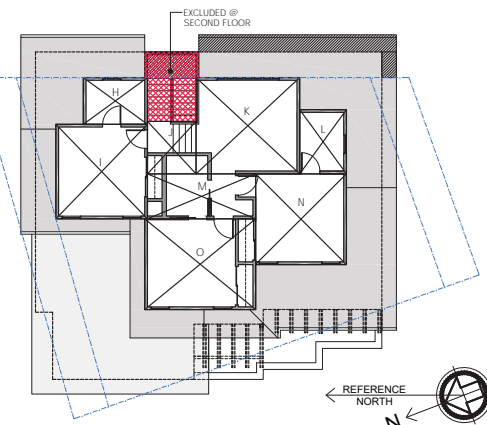
LEGEND		
	EXTERIOR COVERAGE - TRELLIS	
	AREA EXCLUDED	



EXISTING BUILDING AREA CALCULATION



SCALE: 1/8"=1'-0" 1



PROPOSED SECOND FLOOR PLAN

BUILDING FAL & COVERAGE CALCULATIONS PROPOSED HOUSE

(P) FIRST FLOOR		
No.	DIMENSIONS	AREA (Sq. Ft.)
A	47'-3" X 24'-1"	1138
D	9'-5" X 13'-0"	123
E	16'-2" X 11'-0"	178
F	11'-4" X 4'	4
TOTAL HAB. AREA		1443

(P) GARAGE		
No.	DIMENSIONS	AREA (Sq. Ft.)
B	21'-7" X 11'-5"	242
C	19'-3" X 9'-2"	177
TOTAL NON-HAB. AREA		419

(P) SECOND FLOOR		
No.	DIMENSIONS	AREA (Sq. Ft.)
H	8'-9" X 6'-5"	56
I	12'-6" X 12'-11"	161
J	6'-8" X 7'-2"	48
K	14'-1" X 13'-2"	185
L	6'-5" X 8'-9"	56
M	14'-9" X 6'-2"	90
N	12'-5" X 12'-5"	153
O	15'-11" X 12'-4"	187
TOTAL HAB. AREA		936

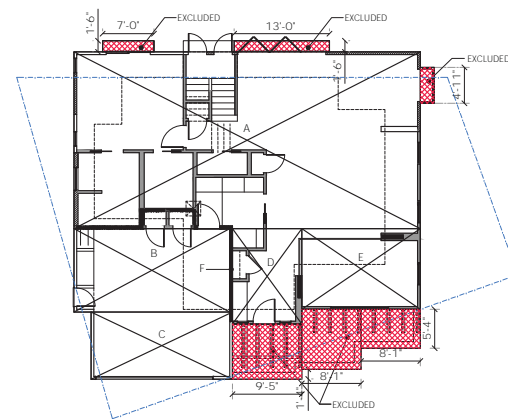
TOTAL BUILDING COVERAGE		
FLOOR AREA	AREA (Sq. Ft.)	
(P) FIRST FLOOR	1443	
(P) GARAGE	419	
TOTAL BUILDING COVERAGE	1862	

* BUILDING COVERAGE FOR LOTS 7000 SQ. FT OR LESS SHALL BE 40% & BUILDING COVERAGE FOR 2-STORIES 35%
1862 SQ.FT. BUILDING COVERAGE / 5344 SQ.FT. LOT AREA = 34.84%

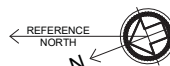
FAL SUMMARY		
FLOOR AREA	AREA (Sq. Ft.)	
FIRST FLOOR	1443	
GARAGE	419	
SECOND FLOOR	936	
TOTAL	2798	

* FAL ALLOWED = 2800 SQ. FT.

LEGEND		
	EXTERIOR COVERAGE - TRELLIS	
	AREA EXCLUDED	



PROPOSED FIRST FLOOR PLAN



PROPOSED BUILDING AREA CALCULATION



SCALE: 1/8"=1'-0" 2

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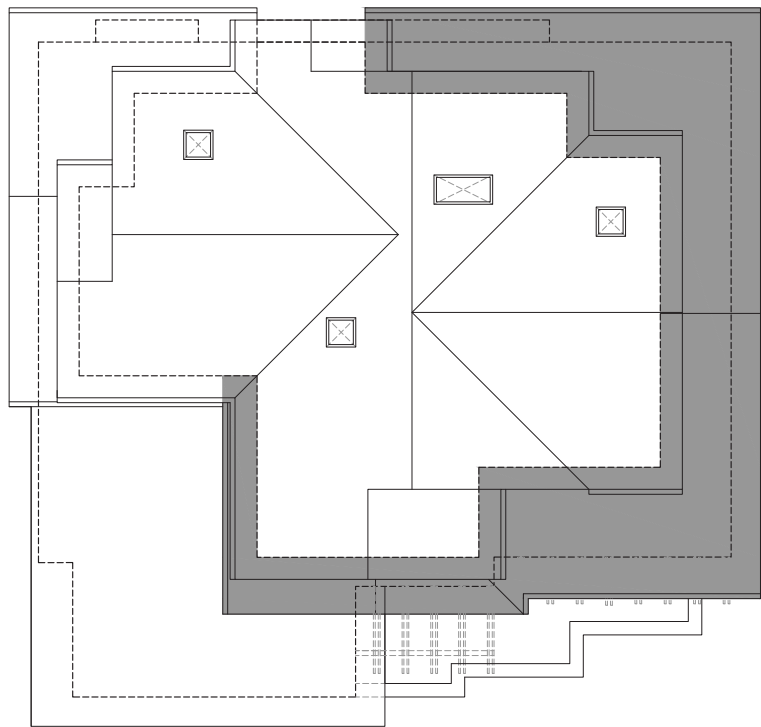
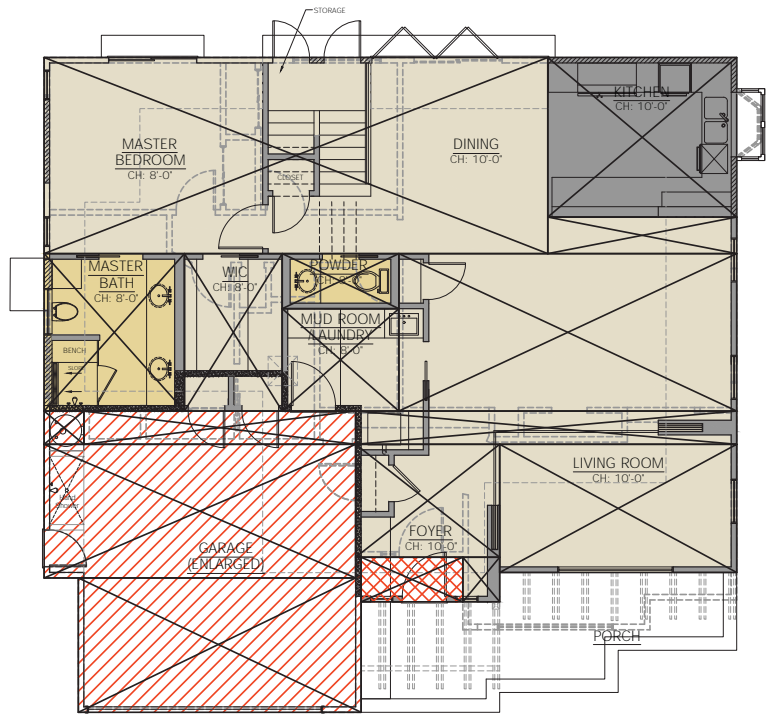
COURTNEY RESIDENCE
904 HARMON DRIVE
MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS

NEW WORK VALUE
CALCULATION

04-04-17

A1.4



REMODEL OF EXISTING SQUARE FOOTAGE

FIRST FLOOR LEGEND

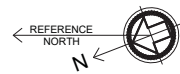
- REMODELED BATHROOM
- REMODELED OTHER LIVING AREAS
- REMODELED GARAGE
- NEW ADDITION
- REMODEL OF KITCHEN

PROPOSED DEVELOPMENT

CATEGORY 2 : REMODEL OF EXISTING SQUARE FOOTAGE		
PROPOSED DEVELOPMENT TYPE	SQUARE FOOTAGE	(SQ. FT)
REMODEL OF KITCHEN	140	
REMODEL OF BATHROOMS	133	
REMODEL OF OTHER LIVING AREAS	1149	
REMODEL OF GARAGE	419	
TOTAL	1841	

ROOF LEGEND

- NEW ROOF OVER EXISTING ROOF



NEW WORK VALUE CALCULATION



SCALE: 1/4"=1'-0" 1

DATE	REVISION
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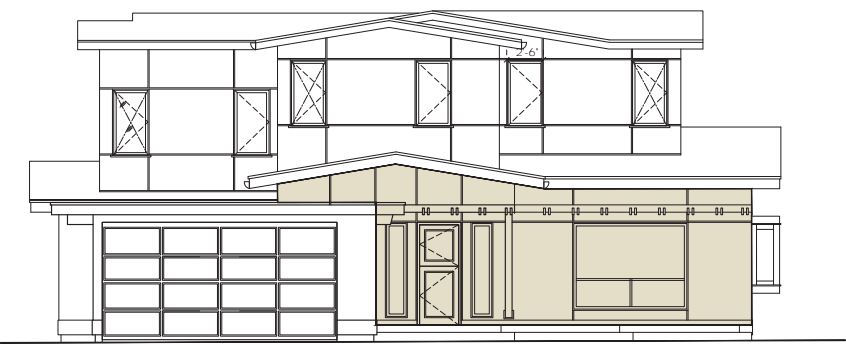


COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

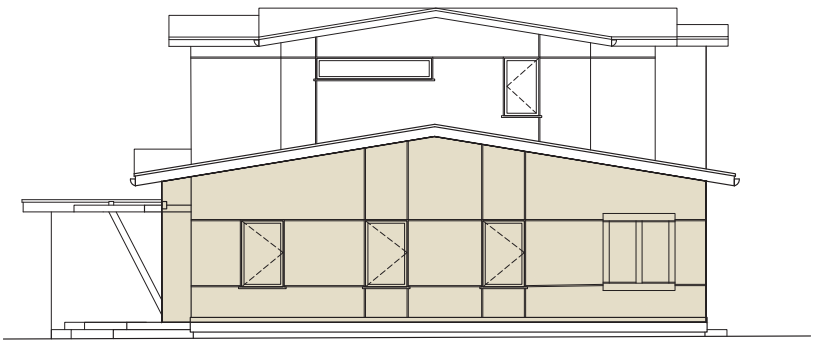
CONSTRUCTION DOCUMENTS
 NEW WORK VALUE
 CALCULATION

04-04-17

A1.5



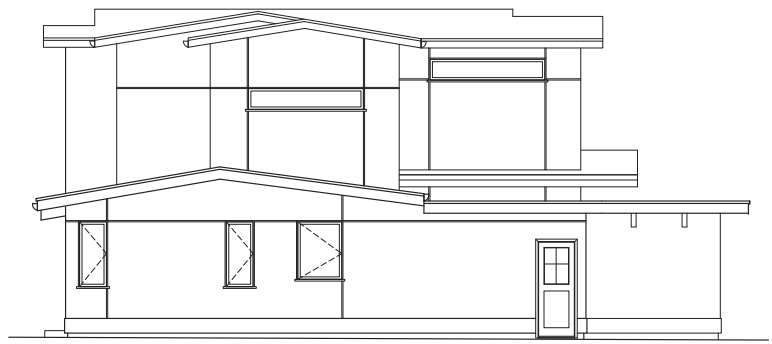
WEST ELEVATION



SOUTH ELEVATION

CATEGORY 3 : EXTERIOR MODIFICATION TO EXISTING STRUCTURE		
PROPOSED DEVELOPMENT TYPE	SQUARE FOOTAGE	(SQ. FT.)
NEW ROOF STRUCTURE OVER EXISTING SQ. FT.	653	
REPLACEMENT OF EXISTING WINDOWS	0	
REPLACEMENT OF EXISTING SIDING	981	
TOTAL	1,634	

LEGEND
 REPLACEMENT OF EXISTING SIDING



NORTH ELEVATION



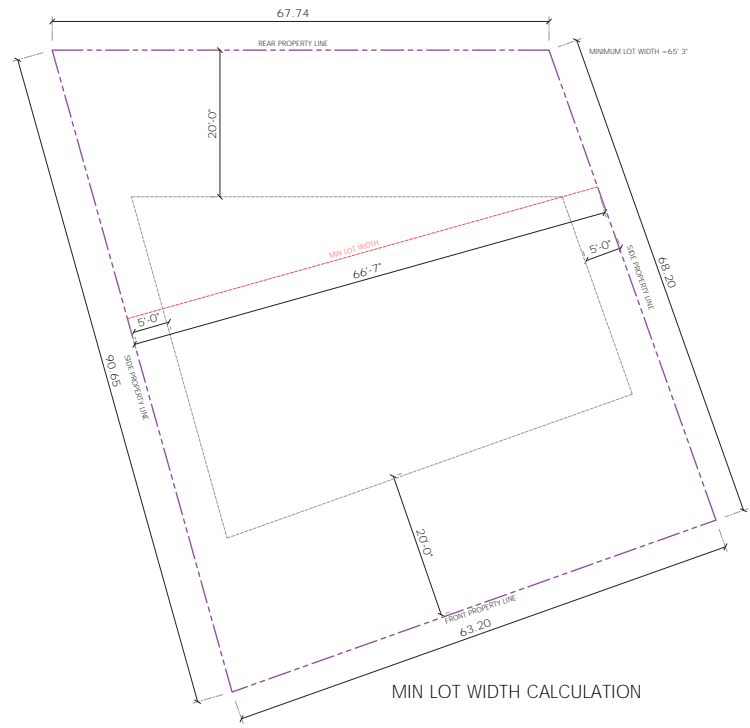
EAST ELEVATION

NEW WORK VALUE CALCULATION



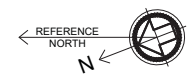
SCALE: 1/4"=1'-0"

1



NONCONFORMING STRUCTURE -NEW WORK VALUE CALCULATION

EXISTING DEVELOPMENT VALUE				PROPOSED DEVELOPMENT VALUE			
NON-CONFORMING STRUCTURE TYPE	SQUARE FOOTAGE	CONSTRUCTION COST	EXISTING VALUE	NON-CONFORMING STRUCTURE TYPE	SQUARE FOOTAGE	CONSTRUCTION COST	EXISTING VALUE
CATEGORY 1: NEW SQUARE FOOTAGE (AREAS OF NEW FOUNDATION AND/ OR WALL FRAMING)							
EXISTING 1ST FLOOR	1519.00 SQ.FT	X \$200/SQ.FT	\$303,800.00	1ST FLOOR ADDITION	21.00 SQ.FT	X \$200/SQ.FT	\$4,200.00
EXISTING 2ND FLOOR	0	X \$200/SQ.FT	\$0.00	2ND FLOOR ADDITION	936.00 SQ.FT	X \$200/SQ.FT	\$187,200.00
EXISTING BASEMENT	0	X \$200/SQ.FT	\$0.00	BASEMENT FLOOR ADDITION	0	X \$200/SQ.FT	\$0.00
EXISTING GARAGE	376.00 SQ.FT	X \$70/SQ.FT	\$26,320.00	GARAGE ADDITION	0	X \$70/SQ.FT	\$0.00
TOTAL	1895.00 SQ.FT		\$330,120.00	CATEGORY 2: REMODEL OF EXISTING SQUARE FOOTAGE (FOUNDATION AND WALL FRAMING ARE BOTH RETAINED) NOTE: Sq.footage measurements are taken to full extent of any interior modification.			
				REMODEL OF KITCHEN	140.00 SQ.FT	X \$130/SQ.FT	\$18,200.00
				REMODEL OF BATHROOM	133.00 SQ.FT	X \$130/SQ.FT	\$17,290.00
				REMODEL OF OTHER LIVING AREAS	1149.00 SQ.FT	X \$100/SQ.FT	\$114,900.00
				REMODEL OF GARAGE	419.00 SQ.FT	X \$35/SQ.FT	\$14,665.00
CATEGORY 3: EXTERIOR MODIFICATIONS TO EXISTING STRUCTURE NOTE: Window replacements are included in areas remodeled and accounted for in category 2. New roofs and new siding on existing portion of the structure are not included in category 2 or category 1 and should be accounted for using the calculations as follows.							
				NEW ROOF STRUCTURE OVER EXISTING SQ.FT	453.00 SQ.FT	X \$50/SQ.FT	\$32,650.00
				REPLACEMENT OF EXISTING WINDOWS	0.00 SQ.FT	X \$35/SQ.FT	\$0.00
				REPLACEMENT OF EXISTING SIDING	981.00 SQ.FT	X \$35/SQ.FT	\$34,335.00
				TOTAL			\$423,440.00



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COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
 SITE AVERAGE WIDTH, DEPTH
 AND NEW WORK VALUE
 CALCULATIONS.

04-04-17

A1.6

LOT AVERAGE DEPTH, WIDTH AND NEW WORK VALUE CALCULATIONS.

DATE	REVISION
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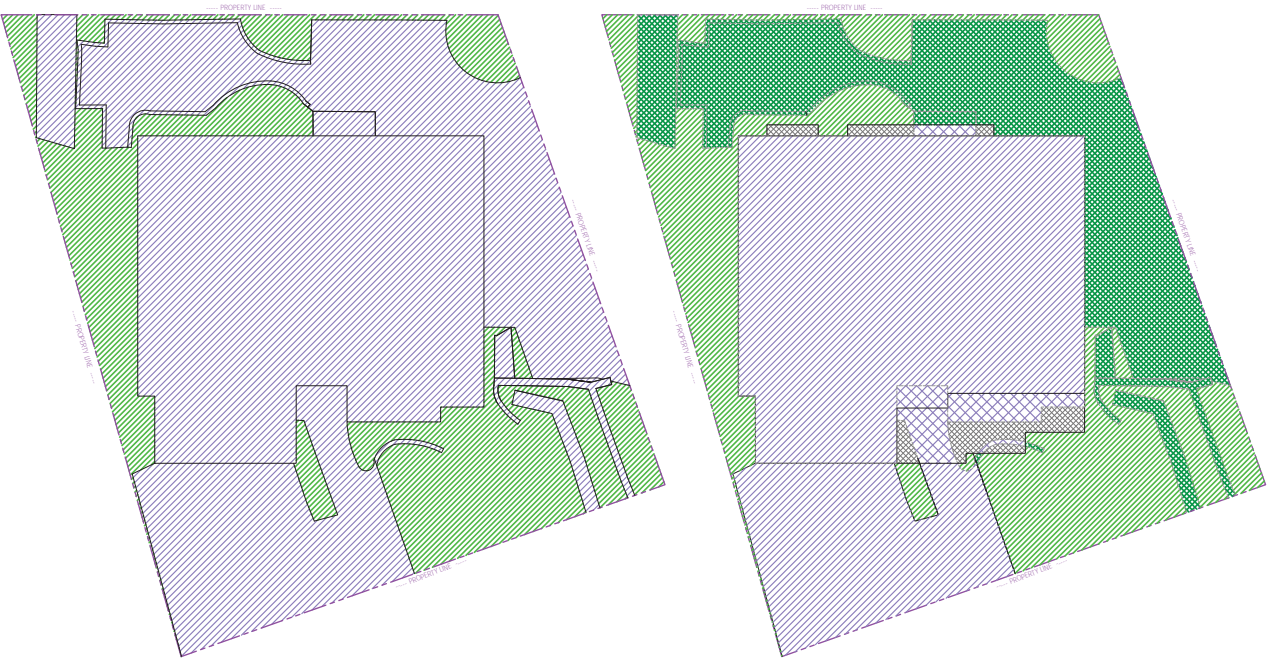


COURTNEY RESIDENCE
904 HARMON DRIVE
MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
IMPERVIOUS AREA CALCULATIONS

04-04-17

A1.7



EXISTING

PROPOSED

AREA LEGEND

B		PERVIOUS
C		IMPERVIOUS

AREA LEGEND

B-I		PERVIOUS
C-I		IMPERVIOUS
E		(E) IMPERVIOUS REPLACE BY (N) IMPERVIOUS
F		(E) PERVIOUS REPLACED BY (N) IMPERVIOUS
H		(E) IMPERVIOUS REPLACED BY (N) PERVIOUS

IMPERVIOUS AREA WORKSHEET
Page 1

Submit this form with the improvement plan set to the City of Menlo Park Engineering Division.

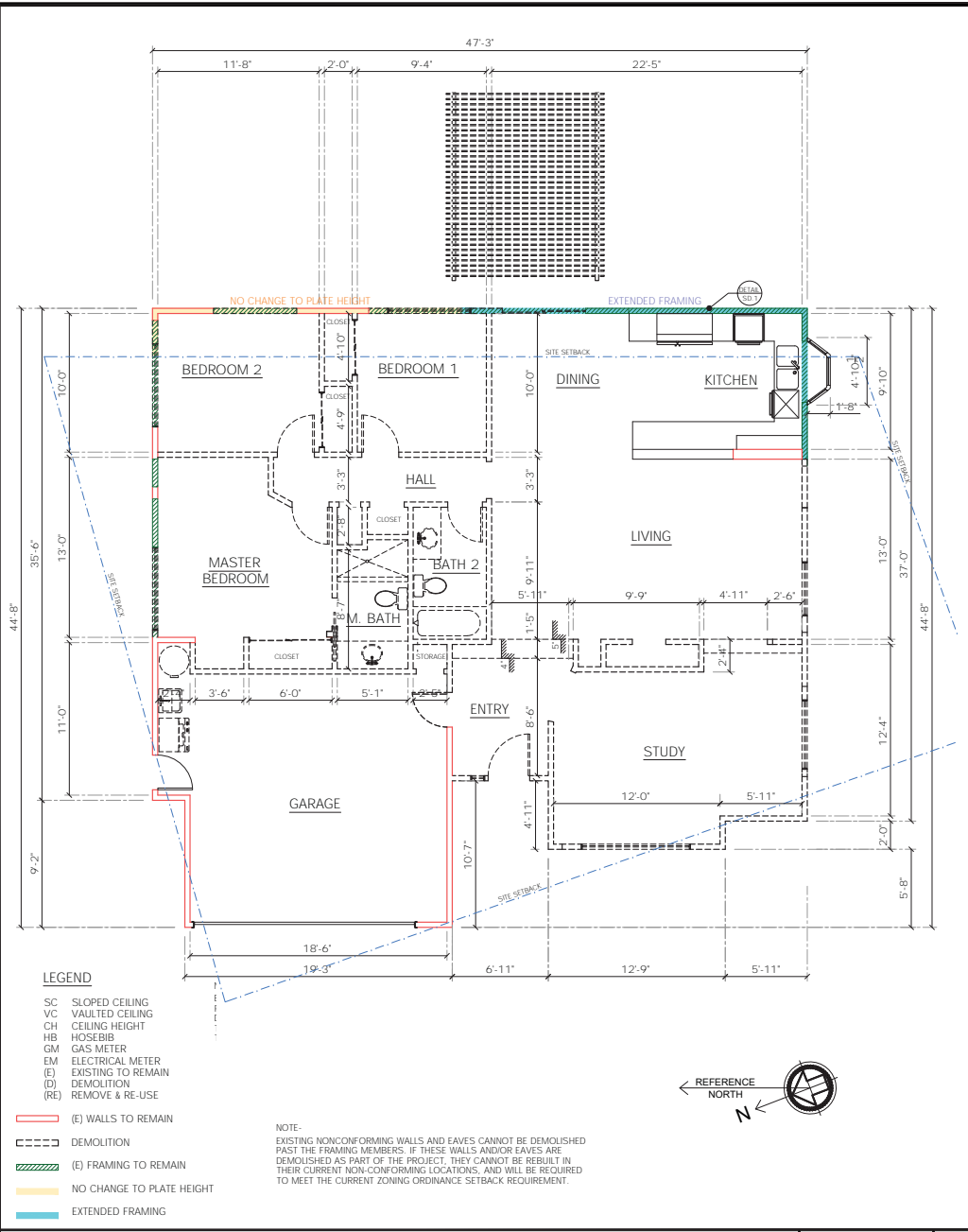
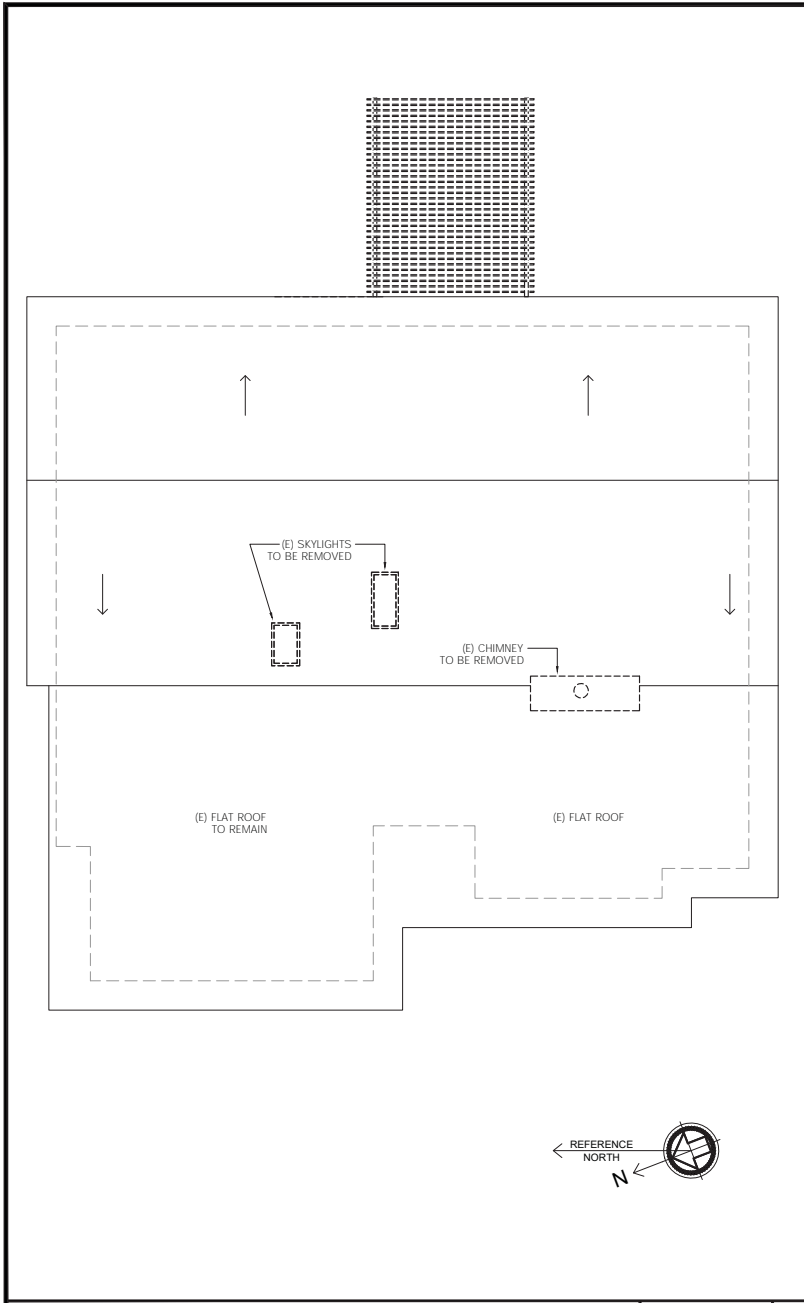
Date: 06-15-17
 Project Address: 004 Harmon Drive, Menlo Park, CA-94025
 Project Description: Remodel & Addition
 -2nd story addition and first floor remodel.
 Contact Name: Alpheus W. Jessup, II
 Contact Telephone Number: 650 283 5902
 Contact Email: awj@mdesignsarchitects.com
 Title And Sheet of Submitted Drawing Used For Calculations: Harmon area sheet 1.17
 Land Use (Click One): Residential
 Commercial Industrial Professional Freeway
 Drainage Basin (Circle One):
 (See the Hydrology Report Requirements for a Drainage Basin Map.)
 Atherton Creek San Francisco Creek San Francisco Bay
 I certify that the calculations below accurately reflect the proposed changes and that impervious surfaces for the above project.
 Calculations Performed By (Print): Alpheus W. Jessup, II.
 Title: Architect
 Calculations Performed By (Signature):
 Date: 06-15-17

IMPERVIOUS AREA WORKSHEET
Page 2

IMPERVIOUS AREA TABLE		
Total Area of Parcel	A	4,700
Existing Pervious Area	B	1,211
Existing Impervious Area	C	3,489
Existing % Impervious	D	74.2
Existing Impervious Area To Be Replaced W/ New Impervious Area	E	143
Existing Pervious Area To Be Replaced W/ New Impervious Area	F	1,068
New Impervious Area (Including and/or Replacing) If greater than 10,000sqft, a hydrology report must be submitted.	E + F	1,211
Existing Impervious Area To Be Replaced W/ New Pervious Area	H	1,289
Net Change In Impervious Area	F - H	1,024
Proposed Pervious Area	B - I	1,211
Proposed Impervious Area*	C + I	3,489
Proposed % Impervious	H + 100	73.77

*Net change in impervious area is the area required by ordinance to be distributed/retained on-site





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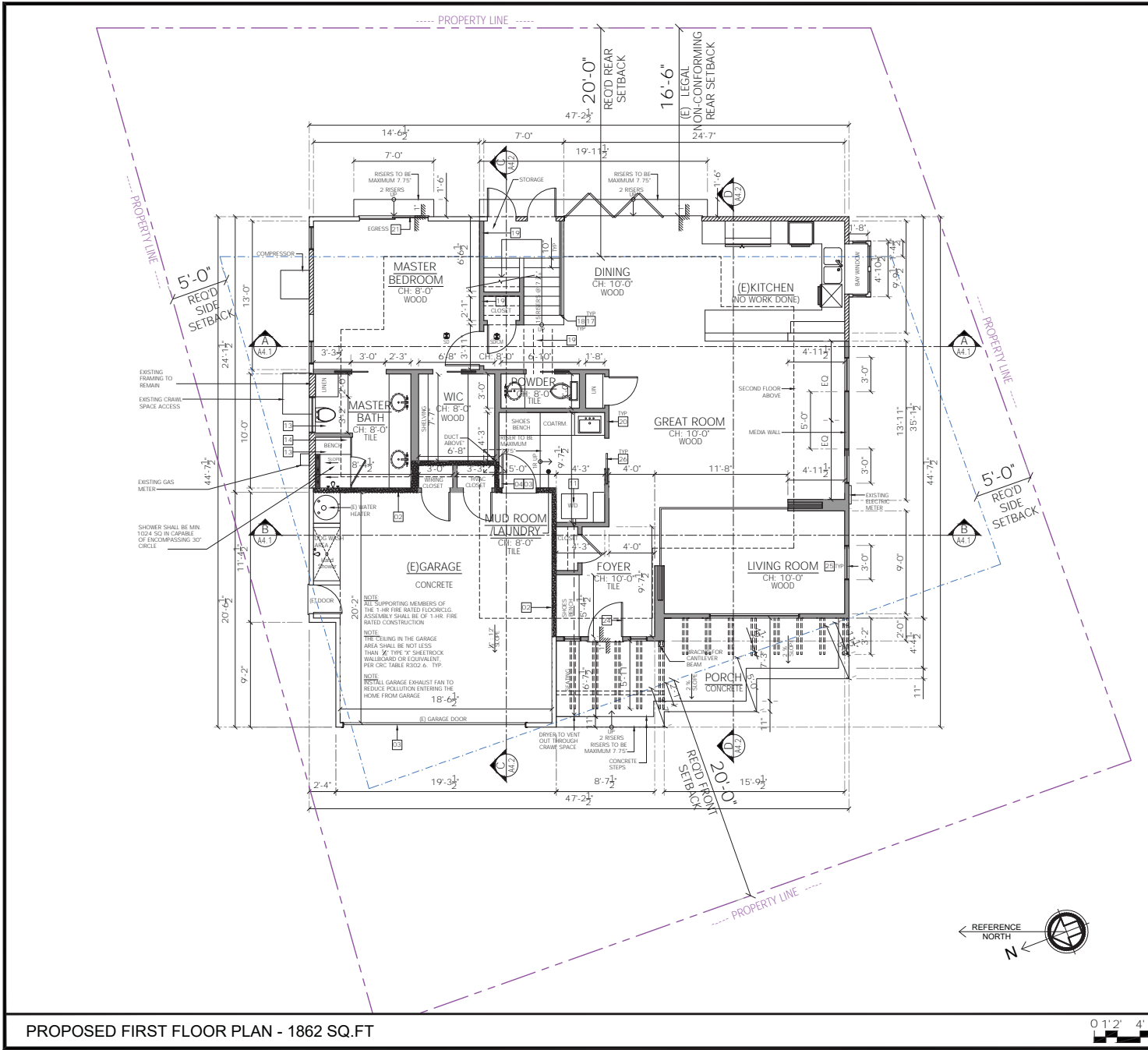
CONSTRUCTION DOCUMENTS
EXISTING / DEMO FLOOR PLAN
& EXISTING ROOF PLAN

04-04-17

A2.1

EXISTING ROOF PLAN 0 1' 2' 4' 8' 16' SCALE: 1/4"=1'-0" 2

EXISTING / DEMO FLOOR PLAN 0 1' 2' 4' 8' 16' SCALE: 1/4"=1'-0" 1



LEGEND

CH	CEILING HEIGHT	SD	SMOKE DETECTOR / CARBON MONOXIDE SENSOR
HB	HOSE BIB	SD	SMOKE DETECTOR
GM	GAS METER	SD	SMOKE DETECTOR
EM	ELECTRICAL METER	SD	SMOKE DETECTOR
(E)	EXISTING	SD	SMOKE DETECTOR
(P)	PROPOSED	SD	SMOKE DETECTOR
(N)	NEW	SD	SMOKE DETECTOR
		SG	GAS LINE

- FURRED WALLS
- NEW STUD WALLS
- 1-HR FIRE PARTITION WALL
- EXISTING WALLS
- EXISTING FRAMING TO REMAIN
- ◇ WINDOW LABEL
- SKYLIGHT LABEL
- TEMPERED GLASS
- INTERIOR DOOR LABEL
- EXTERIOR DOOR LABEL

- PLAN NOTES**
- 01 APPLIANCES INSTALLED IN GARAGES OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE SHALL BE INSTALLED BEHIND PROTECTIVE BARRIERS OR ELEVATED OR OUT OF THE NORMAL PATH OF VEHICLES. INSTALL A 4" DIAMETER BOLLARD (FILLED W/ CONCRETE) EMBEDDED 36" INTO A 12" DIAMETER FOOTING IN FRONT OF APPLIANCE OR PROVIDE A DETAIL AND/OR CALCULATION FROM AN ENGINEER FOR REVIEW.
 - 02 5/8" THK., TYPE "X" SHEET-ROCK FROM SILL TO ROOF DECK & CEILING
 - 03 GARAGE DOOR. SEE DOOR SCHEDULE
 - 04 20 MIN FIRE ASSEMBLY DOOR. SOLID CORE DOOR. SELF-CLOSING, AND WEATHER STRIP FOR SMOKE SHIELDING
 - 05 30" X 22" MINIMUM ATTIC ACCESS
 - 06 FURNACE
 - 07 24" PASSAGEWAY TO WATER HEATER
 - 08 30" X 30" (MIN) WORK PLATFORM IN ATTIC & 30" MIN CLEAR HEIGHT
 - 09 NOTE NOT USED - A WATERTIGHT PAN OF CORROSION-RESISTANT METAL SHALL BE INSTALLED BENEATH THE COOLING COIL OR UNIT TOP TO CATCH THE OVERFLOW CONDENSATE. DUE TO A CLOGGED PRIMARY CONDENSATE DRAIN, OR ONE PAN WITH A STANDING OVERFLOW AND A SEPARATE SECONDARY DRAIN MAY BE PROVIDED IN LIEU OF THE SECONDARY DRAIN PAN PER CMC 309.2
 - 10 INSTALL A PERMANENT 120-VOLT RECEPTACLE & LIGHTING FIXTURE NEAR APPLIANCE
 - 11 PROVIDE WATER HAMMER ARRESTER NEAR DISHWASHER. PER CPC SEC 609.10
 - 12 DIRECT VENT GAS FIREPLACE - GRAND INFINITE MARQUIUS MORB696-1 & LUCIUS 140 EUROPEAN HOME OR APPROVED EQUAL
 - 13 SHOWER & TUB/SHOWER SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE (I.E. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT MATERIAL. TO A MINIMUM HEIGHT OF 72" ABOVE DRAIN INLET. GLAZING LESS THAN 60" ABOVE A STANDING SURFACE SHALL BE FULLY TEMPERED
 - 14 GLAZING IN SHOWERS OR BATHTUBS ADJACENT TO WALL OPENINGS, WHERE THE BOTTOM GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE SHALL BE FULLY TEMPERED
 - 15 FLOOR DRAIN
 - 16 TOILET PAPER HOLDER
 - 17 WOOD STAIR SYSTEM. HANDRAILS WILL HAVE A 2" GRIPPLABLE CROSS SECTION, 1/2" CLEARANCE FROM WALL, NO SHARP CORNERS, HEIGHT OF 36" ABOVE NOSING, 7/8" RISERS (NO MORE THAN 7/8"); AS PER CRC R311.7) & 11" TREADS (MIN 1" AS PER CRC R311.7)
 - 18 TOP OF HANDRAIL SHALL BE 34"-38" ABOVE NOSING @ STAIRS MIN 36" @ GUARDRAIL ALL BALUSTERS (IF APPLICABLE) SHALL BE 4" O.C. MAX THE GRP SHALL BE 1/2" X 1/2" IT WILL BE MANUFACTURED TO STAND 200 LB OF WEIGHT APPLIED PERPENDICULAR TO THE RAIL
 - 19 ALL WALLS & CEILING OF USABLE SPACES UNDER STAIRS TO BE PROTECTED W/ MIN 5/8" GYPSUM BOARD
 - 20 PAINT THE GYPSUM BD. WALL FINISH, TYP. - COLOR & TEXTURE TYP. OF ALL ROOMS THIS PLAN
 - 21 EGRESS WINDOWS SHALL COMPLY WITH C.R.C. SECTION 310.1 EGRESS WINDOW TYP. W/ TEMPERED GLAZING 20" MIN CLEAR B/W WINDOW FRAMING & 44" MAX ABOVE FINISHED FLOOR
 - 22 HORIZONTAL SLIDING CLOSET DOORS. SEE DOOR SCHEDULE
 - 23 SHELF & ROD ASSEMBLY TYP. IN ALL CLOSETS
 - 24 EXTERIOR DOOR ASSEMBLY - SEE DOOR SCHEDULE
 - 25 WINDOW ASSEMBLY (TYP.). SEE DOOR SCHEDULE
 - 26 INTERIOR DOOR ASSEMBLY (TYP.). SEE DOOR SCHEDULE
 - 27 HARDWOOD FLOOR THROUGHOUT THE HOUSE. EXCEPT WET AREAS, MUD ROOM, LAUNDRIES & PANTRIES, WHICH WILL BE TILE
 - 28 APPROVED ADDRESS NUMBERS SHALL BE PROVIDED FOR NEW BUILDINGS IN SUCH A POSITION AS TO BE CLEARLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY. LETTERS OR NUMBERS SHALL BE A MIN. 4" IN HT. HEIGHT & STROKE OF 1/2" OF A CONTRASTING COLOR TO THE BACKGROUND

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COURTNEY RESIDENCE
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 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
PROPOSED FIRST FLOOR PLAN

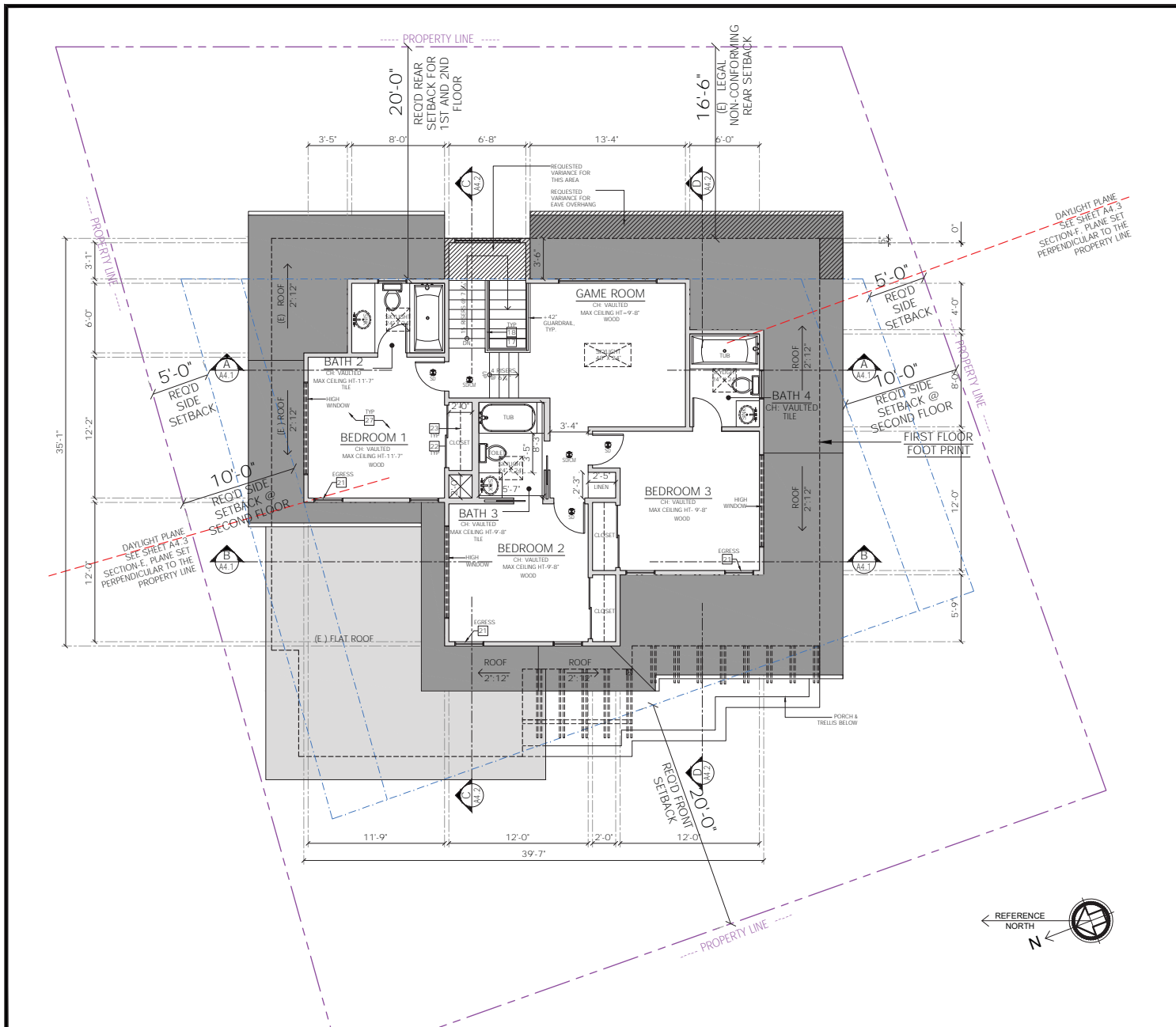
04-04-17

A2.2

PROPOSED FIRST FLOOR PLAN - 1862 SQ.FT



SCALE: 1/4"=1'-0" 1



- LEGEND**
- CH CEILING HEIGHT
 - HB HOSE Bib
 - GM GAS METER
 - EM ELECTRICAL METER
 - (E) EXISTING
 - (P) PROPOSED
 - (N) NEW
 - SMD SMOKE DETECTOR / CARBON MONOXIDE SENSOR
 - SD SMOKE DETECTOR
 - GL GAS LINE
 - FURRED WALLS
 - REQUESTED VARIANCE FOR THIS AREA
 - NEW STUD WALLS
 - 1-HR FIRE PARTITION WALL. SEE DETAIL 10A/6.11
 - EXISTING WALLS
 - W- WINDOW LABEL
 - SK- SKYLIGHT LABEL
 - T- TEMPERED GLASS
 - IN- INTERIOR DOOR LABEL
 - EX- EXTERIOR DOOR LABEL
- PLAN NOTES**
- 01 APPLIANCES INSTALLED IN GARAGES OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE SHALL BE INSTALLED BEHIND PROTECTIVE BARRIERS OR ELEVATED OUT OF THE NORMAL PATH OF VEHICLES. INSTALL A 4" DIAMETER BOLLARD FILLED W/ CONCRETE EMBEDDED 36" INTO A 12" DIAMETER FOOTING IN FRONT OF APPLIANCE OR PROVIDE A DETAIL AND/OR CALCULATION FROM AN ENGINEER FOR REVIEW.
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 - 07 24" PASSAGEWAY TO WATER HEATER
 - 08 30" X 30" (MIN) WORK PLATFORM IN ATTIC & 30' MIN CLEAR HEIGHT
 - 09 NOTE NOT USED - A WATERTIGHT PAN OF CORROSION-RESISTANT METAL SHALL BE INSTALLED BENEATH THE COOLING COIL OR UNIT TOP TO CATCH THE OVERFLOW CONDENSATE DUE TO A CLOGGED PRIMARY CONDENSATE DRAIN, OR ONE PAN WITH A STANDING OVERFLOW AND A SEPARATE SECONDARY DRAIN MAY BE PROVIDED IN LIEU OF THE SECONDARY DRAIN PAN PER CMC 309.2
 - 10 INSTALL A PERMANENT 120-VOLT RECEPTACLE & LIGHTING FIXTURE NEAR APPLIANCE
 - 11 PROVIDE WATER HAMMER ARRESTER NEAR DISHWASHER, PER CPC SEC 609.10
 - 12 DIRECT VENT GAS FIREPLACE - GRAND INFINITE MAROLUIS MORB6961 & LUCIUS 140 EUROPEAN HOME OR APPROVED EQUAL.
 - 13 SHOWER & TUBSHOWER SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE (I.E. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT MATERIAL TO A MINIMUM HEIGHT OF 72" ABOVE DRAIN INLET. GLAZING LESS THAN 60" ABOVE A STANDING SURFACE SHALL BE FULLY TEMPERED
 - 14 GLAZING IN SHOWERS OR BATHTUBS ADJACENT TO WALL OPENINGS WHERE THE BOTTOM GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE SHALL BE FULLY TEMPERED
 - 15 FLOOR DRAIN
 - 16 TOILET PAPER HOLDER
 - 17 WOOD STAIR SYSTEM. HANDRAILS WILL HAVE A 2" GRIPPABLE CROSS SECTION, 1 1/2" CLEARANCE FROM WALL, NO SHARP CORNERS, HEIGHT OF 36" ABOVE NOSING, 7/8" RISERS (NO MORE THAN 7/8" AS PER CPC R311.7) & 1 1/2" TREADS (MIN 1 1/2" AS PER CPC R311.7)
 - 18 TOP OF HANDRAIL SHALL BE 34"-38" ABOVE NOSING @ STAIRS MIN 36" @ GUARDRAIL ALL BALUSTERS (IF APPLICABLE) SHALL BE 4" O.C. MAX THE GRIP SHALL BE 1 1/2" Ø IT WILL BE MANUFACTURED TO STAND 200 LB OF WEIGHT APPLIED PERPENDICULAR TO THE RAIL
 - 19 ALL WALLS & CEILING OF USABLE SPACES UNDER STAIRS TO BE PROTECTED W/ MIN 1/2" GYPSUM BOARD
 - 20 PAINT THE GYPSUM BD. WALL FINISH, TYP. - COLOR & TEXTURE TYP. OF ALL ROOMS THIS PLAN
 - 21 EGRESS WINDOWS SHALL COMPLY WITH C.R.C. SECTION 310.1 EGRESS WINDOW TYP W/ TEMPERED GLAZING 20" MIN CLEAR BW WINDOW FRAMING & 44" MAX ABOVE FINISHED FLOOR
 - 22 HORIZONTAL SLIDING CLOSET DOORS, SEE DOOR SCHEDULE
 - 23 SHELF & ROD ASSEMBLY TYP. IN ALL CLOSETS
 - 24 EXTERIOR DOOR ASSEMBLY - SEE DOOR SCHEDULE
 - 25 WINDOW ASSEMBLY (TYP.), SEE DOOR SCHEDULE
 - 26 INTERIOR DOOR ASSEMBLY (TYP.), SEE DOOR SCHEDULE
 - 27 HARDWOOD FLOOR THROUGHOUT THE HOUSE, EXCEPT WET AREAS, MUD ROOM, LAUNDRIES & PANTRIES, WHICH WILL BE TILE
 - 28 APPROVED ADDRESS NUMBERS SHALL BE PROVIDED FOR NEW BUILDINGS IN SUCH A POSITION AS TO BE CLEARLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY. LETTERS OR NUMBERS SHALL BE A MIN. 4" IN HT. HEIGHT & STROKE OF 1/2" OF A CONTRASTING COLOR TO THE BACKGROUND
 - 29 FIRE BLOCKING SHALL BE PROVIDED VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'

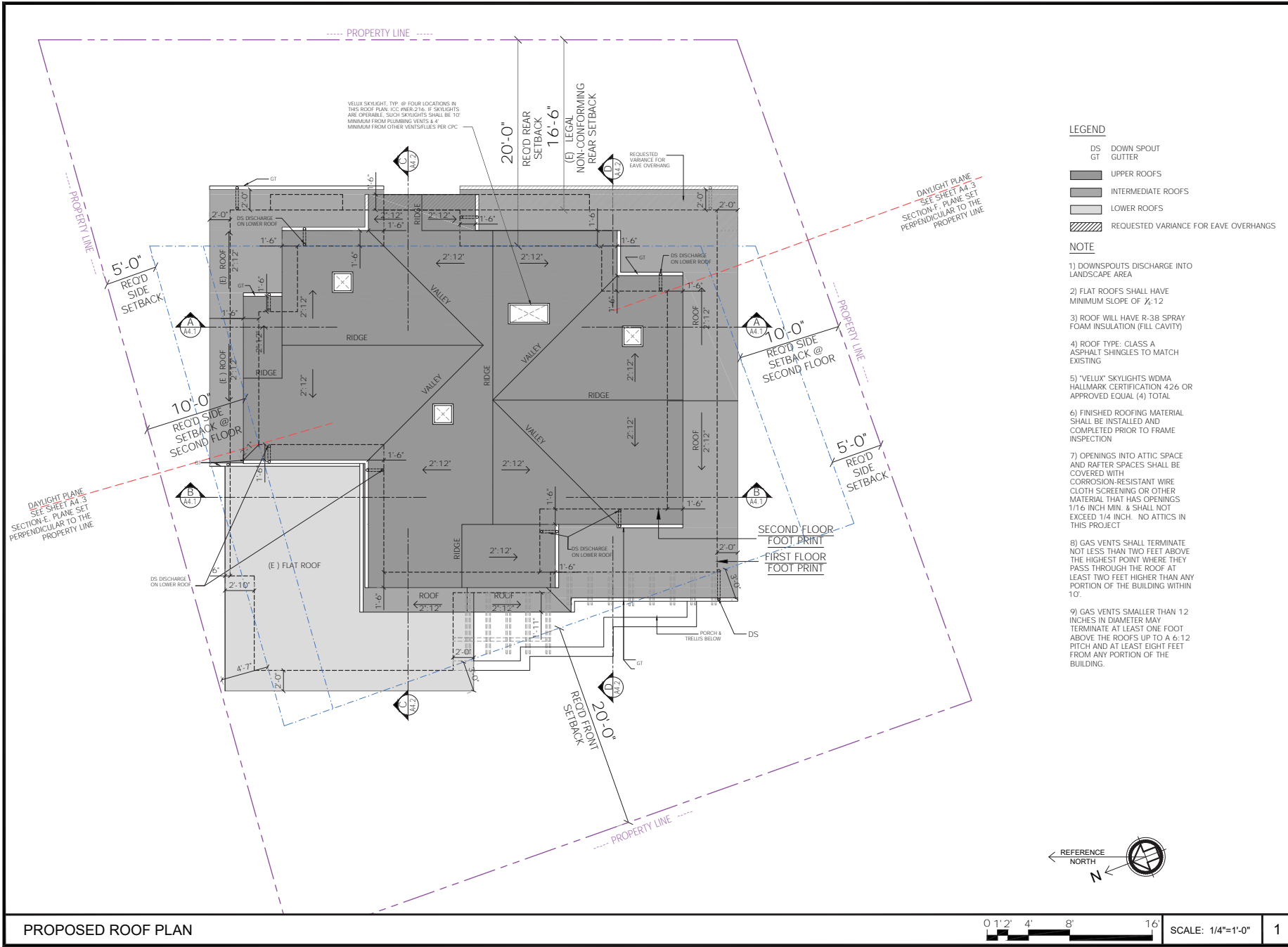
DATE	REVISION
12-18-2017	PLANNING SUBMITTAL

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COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
PROPOSED SECOND FLOOR PLAN
04-04-17

PROPOSED SECOND FLOOR PLAN- 936 sq.ft 0 1' 2' 4' 8' 16' SCALE: 1/4"=1'-0" 1



DATE	REVISION
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COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
 PROPOSED ROOF PLAN

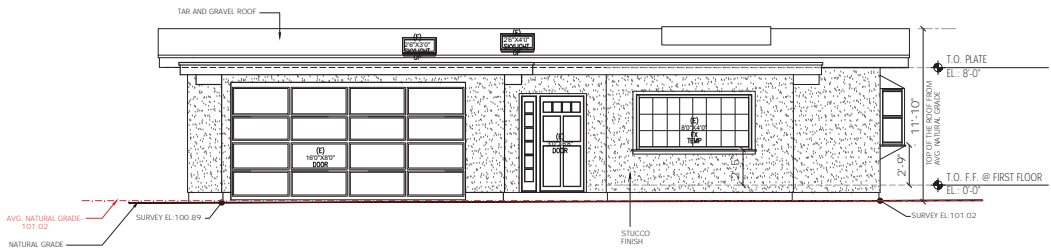
04-04-17

A2.4

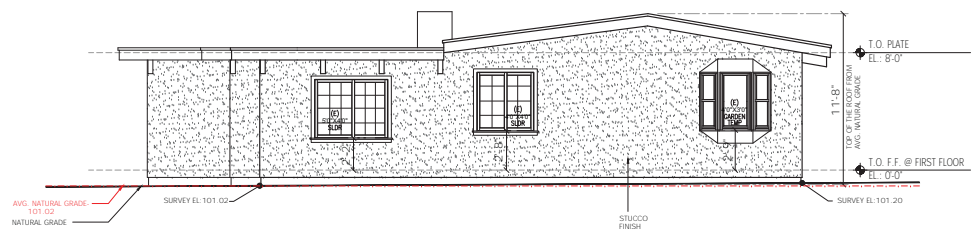
- LEGEND**
- DS DOWN SPOUT
 - GT GUTTER
 - UPPER ROOFS
 - INTERMEDIATE ROOFS
 - LOWER ROOFS
 - REQUESTED VARIANCE FOR EAVE OVERHANGS

- NOTE**
- 1) DOWNSPOUTS DISCHARGE INTO LANDSCAPE AREA
 - 2) FLAT ROOFS SHALL HAVE MINIMUM SLOPE OF 1/4:12
 - 3) ROOF WILL HAVE R-38 SPRAY FOAM INSULATION (FILL CAVITY)
 - 4) ROOF TYPE: CLASS A ASPHALT SHINGLES TO MATCH EXISTING
 - 5) "VELUX" SKYLIGHTS WDMA HALLMARK CERTIFICATION 426 OR APPROVED EQUAL (4) TOTAL
 - 6) FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION
 - 7) OPENINGS INTO ATTIC SPACE AND RAFTER SPACES SHALL BE COVERED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING OR OTHER MATERIAL THAT HAS OPENINGS 1/16 INCH MIN. & SHALL NOT EXCEED 1/4 INCH. NO ATTICS IN THIS PROJECT
 - 8) GAS VENTS SHALL TERMINATE NOT LESS THAN TWO FEET ABOVE THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AT LEAST TWO FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10'.
 - 9) GAS VENTS SMALLER THAN 12 INCHES IN DIAMETER MAY TERMINATE AT LEAST ONE FOOT ABOVE THE ROOFS UP TO A 6:12 PITCH AND AT LEAST EIGHT FEET FROM ANY PORTION OF THE BUILDING.

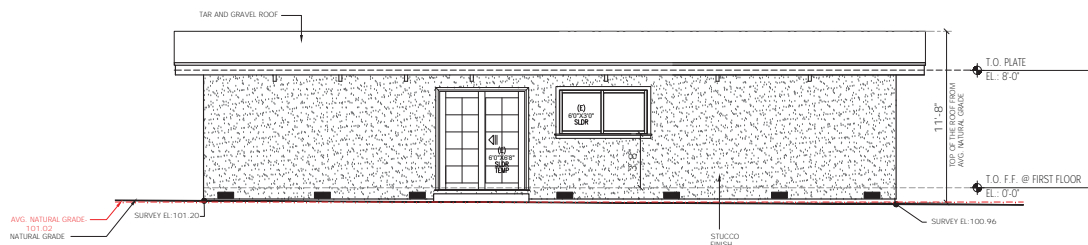
PROPOSED ROOF PLAN 0' 1' 2' 4' 8' 16' SCALE: 1/4"=1'-0" 1



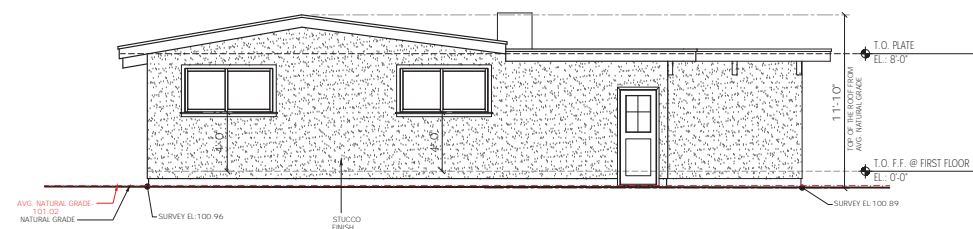
FRONT ELEVATION - WEST



RIGHT ELEVATION - SOUTH



REAR ELEVATION - EAST



LEFT ELEVATION - NORTH

DATE	REVISION
12-15-2017	PLANNING SUBMITTAL

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 STE 225, LOS ALTOS, CA
 www.mdesignsarchitects.com
 (415) 948-9999
 Ph: 850-985-9538, Fax: 850-623-7888



COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
 EXISTING ELEVATIONS
 04-04-17

A3.1

EXISTING ELEVATIONS



SCALE: 1/4"=1'-0"

1

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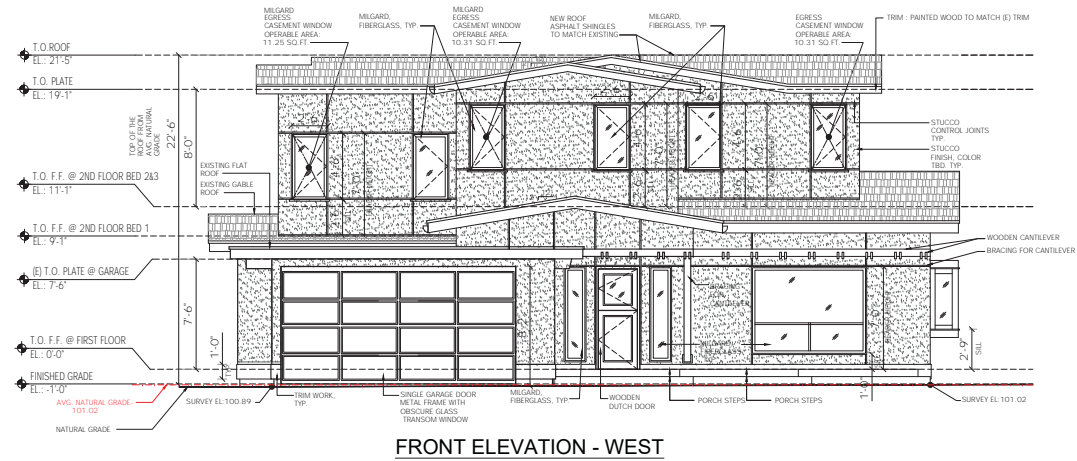


COURTNEY RESIDENCE
904 HARMON DRIVE
MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
PROPOSED ELEVATIONS
SOUTH & WEST SIDE

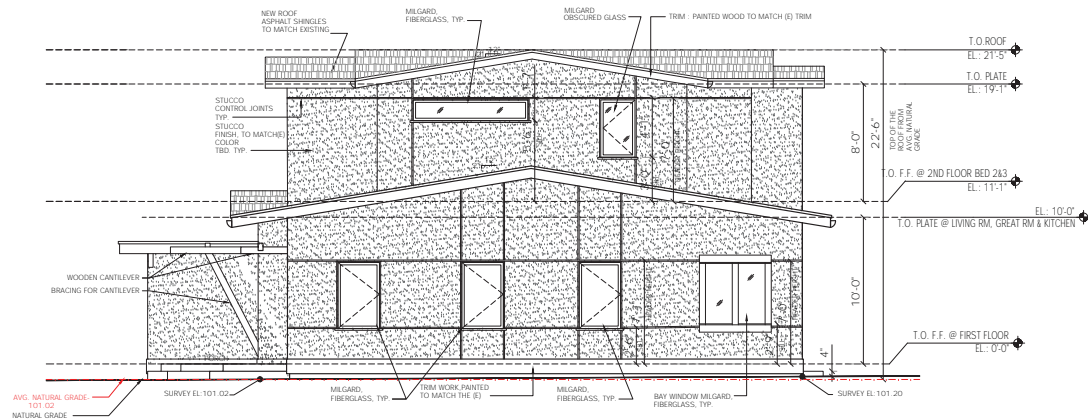
04-04-17

A3.2



FRONT ELEVATION - WEST

NOTE:
STUCCO WITH EXPANSION JOINTS, 3/8" THICK MINI COAT STUCCO WALL SYSTEM, TYPE 1500 GA GALVANIZED WEEP SCREED AT THE FOUNDATION PLATE LINE INSTALLED AT LEAST 4" ABOVE FINISHES OR NATURAL GRADE (OR 2" ABOVE CONCRETE OR MASONRY FINISHES OVER CORROSION-RESISTANT METAL LATH OVER (2) LAYER OF GRADE "D" BUILDING PAPER OVER 3/8" THICK MIN. PLYWOOD SHEATHING.
NOTE:
• ALL THE NEW WINDOWS WILL BE MILGARD FIBERGLASS WINDOWS
• WINDOWS HAVE NO TRIM



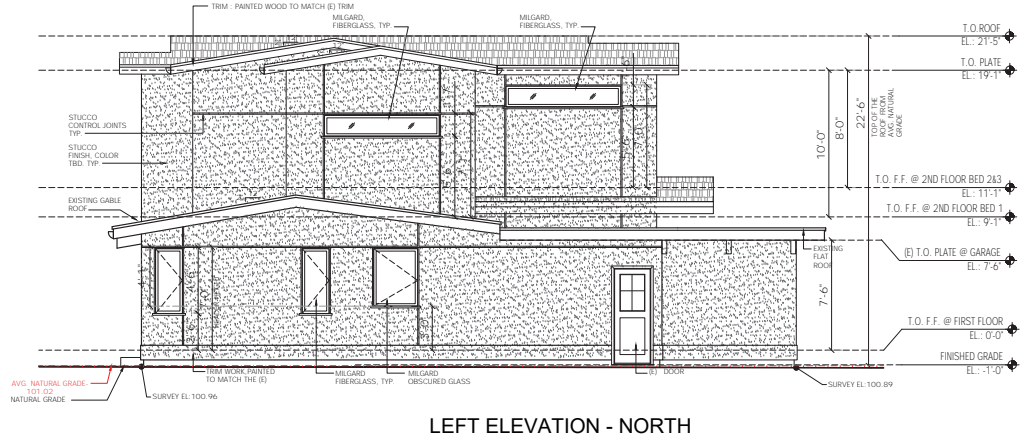
RIGHT ELEVATION - SOUTH

PROPOSED SOUTH & WEST SIDE ELEVATIONS



SCALE: 1/4"=1'-0"

1

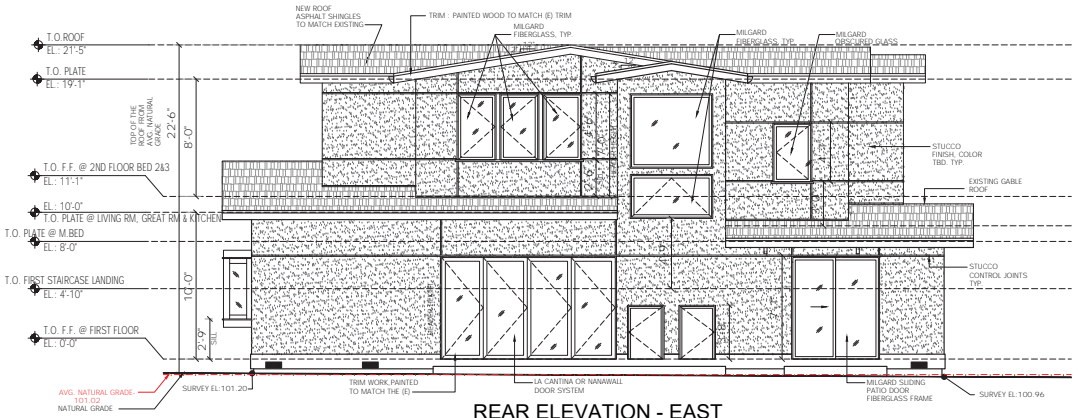


LEFT ELEVATION - NORTH

NOTE:
 STUCCO WITH EXPANSION JOINTS: 1/2" THICK MINER COAT STUCCO WALL SYSTEM, TYPE EG2, GA GALVANIZED WEEP SCREED AT THE FOUNDATION PLATE LINE INSTALLED AT LEAST 4" ABOVE FINISHES OR NATURAL GRADE (OR 2" ABOVE CONCRETE OR MASONRY FINISH) OVER CORROSION RESISTANT METAL LATH OVER (2) LAYER OF GRADE D BUILDING PAPER OVER 3/8" THICK MIN. FIBERWOOD SHEATHING.

NOTE:

- ALL THE NEW WINDOWS WILL BE MILGARD FIBERGLASS WINDOWS
- WINDOWS HAVE NO TRIM



REAR ELEVATION - EAST

PROPOSED NORTH & EAST SIDE ELEVATIONS



SCALE: 1/4"=1'-0"

1

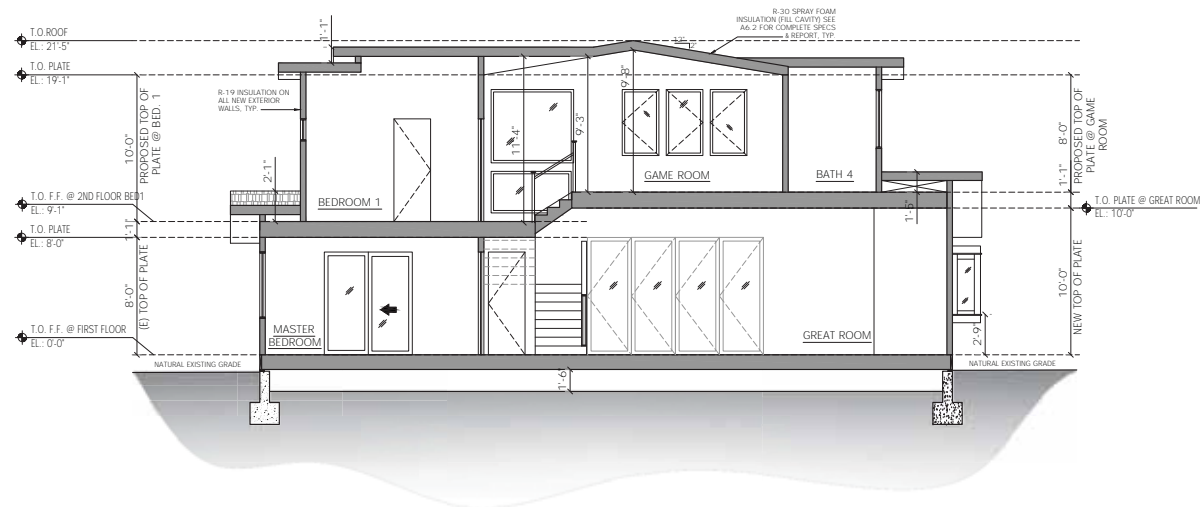


COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
 PROPOSED ELEVATIONS
 NORTH & EAST SIDE

04-04-17

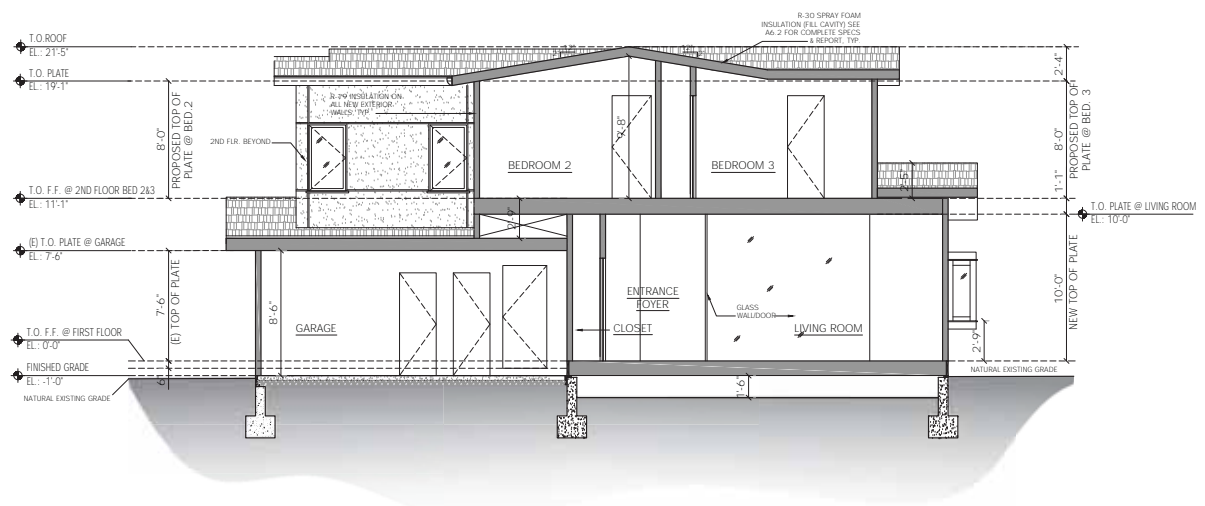
A3.3



PROPOSED SECTION A-A



SCALE: 1/4"=1'-0" 1



PROPOSED SECTION B-B



SCALE: 1/4"=1'-0" 2

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COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
 PROPOSED SECTION

04-04-17

A4.1

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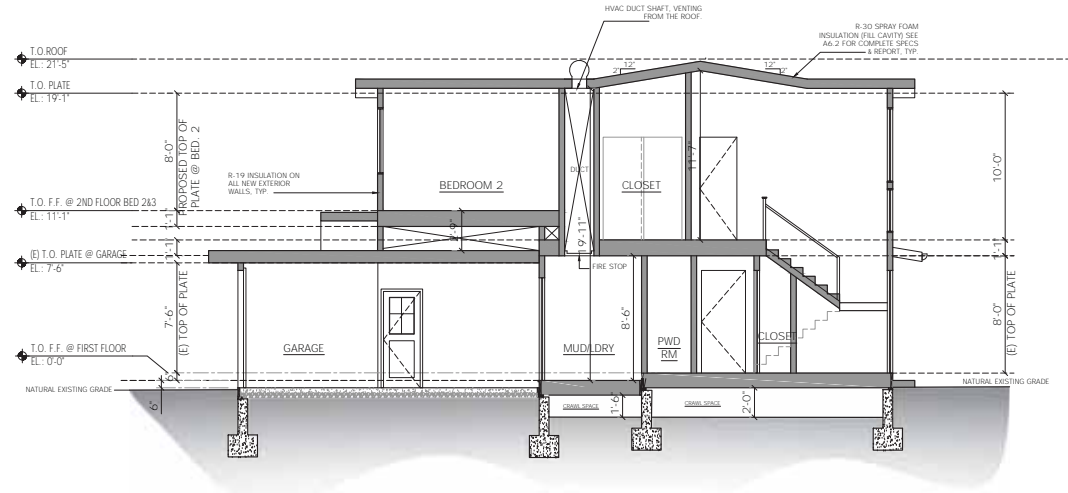


COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
 PROPOSED SECTION

04-04-17

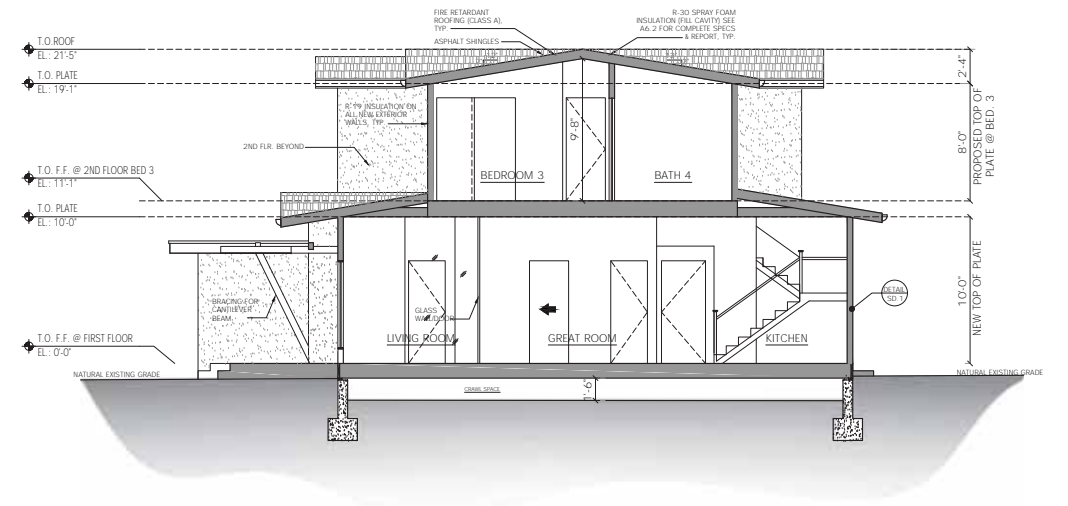
A4.2



PROPOSED SECTION C-C



SCALE: 1/4"=1'-0" 1



PROPOSED SECTION D-D



SCALE: 1/4"=1'-0" 2

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12-15-2017	PLANNING SUBMITTAL

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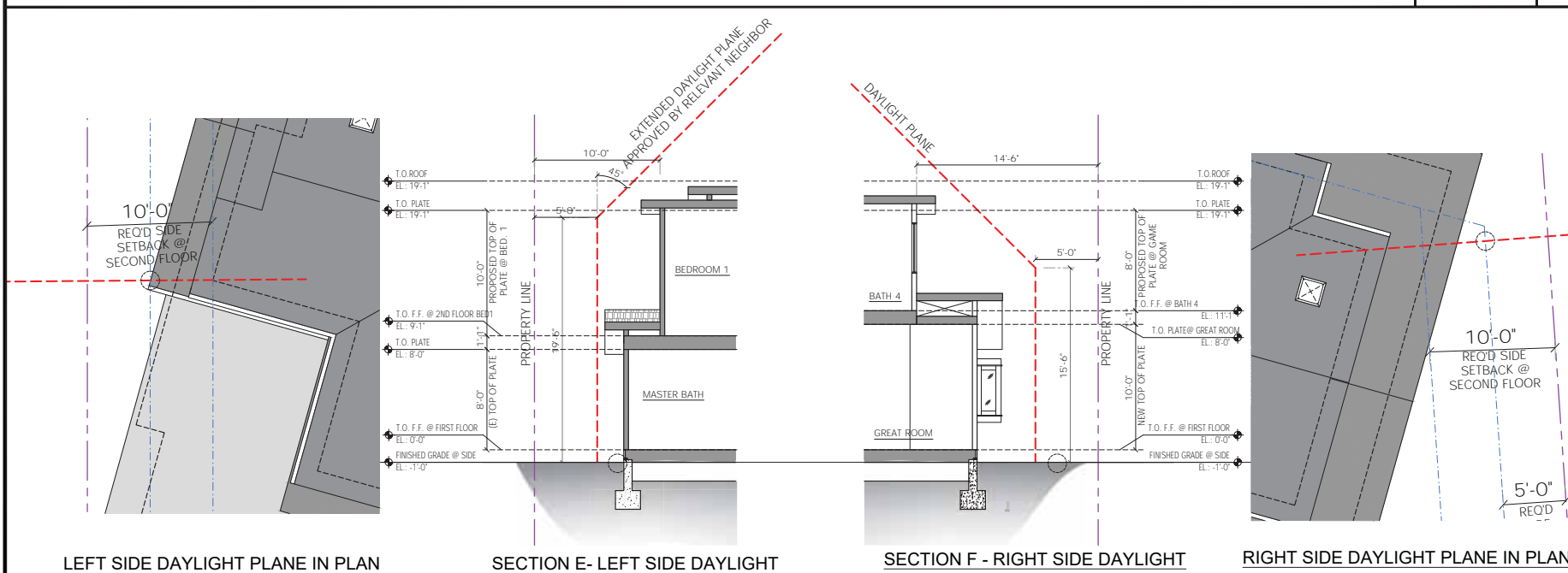


COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENTS
 DAYLIGHT PLANE STUDY

04-04-17

A4.3

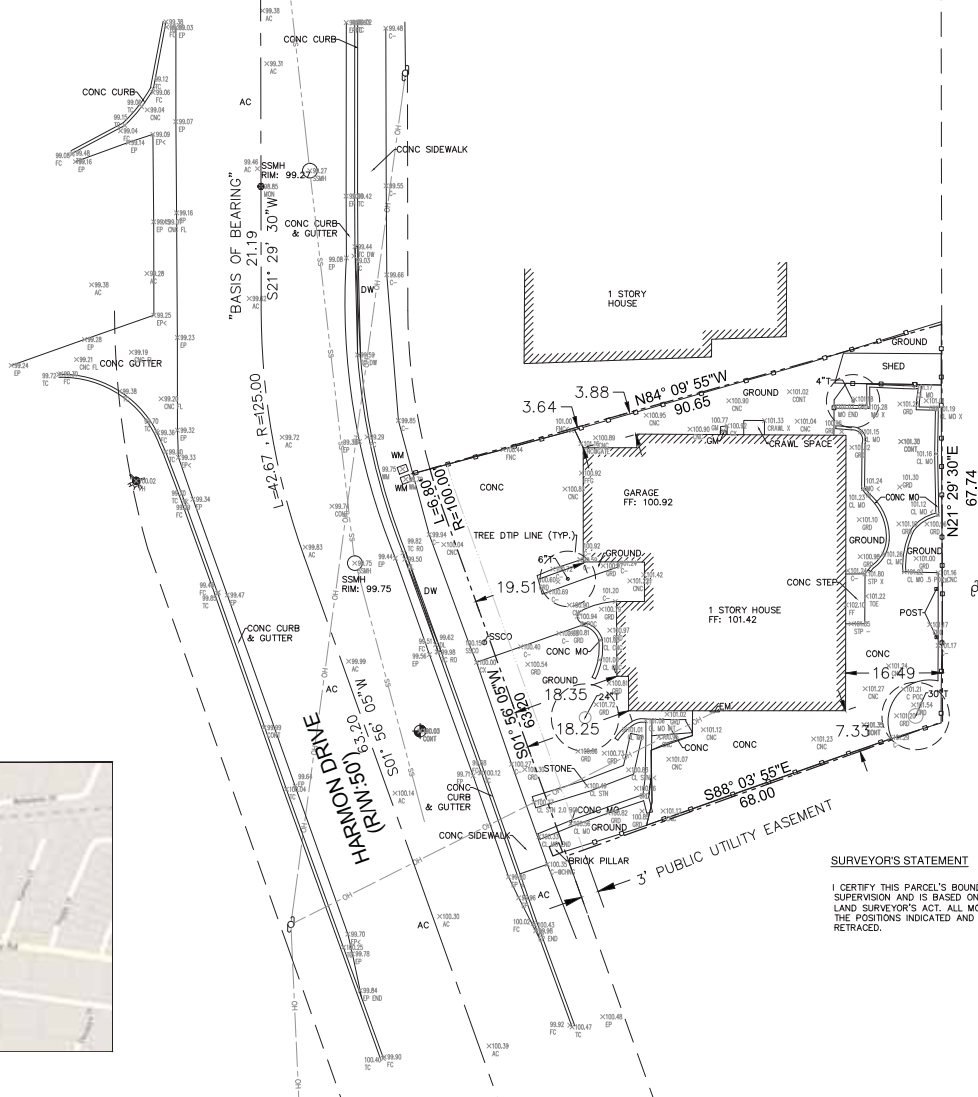


DAYLIGHT PLANE



SCALE: 1/4"=1'-0"

2



LEGEND:		ABBREVIATIONS:	
---	PROPERTY LINE	AC	ASPHALT
---	EXISTING LOTS	AD	AREA DRAIN
---	CENTERLINE	ANC	ANCHOR
---	EASEMENT LINE	BSBL	BUILDING SETBACK LINE
---	SANITARY SEWER LINE	C&G	CURB AND GUTTER
---	STORM DRAIN LINE	CB	CATCH BASIN
---	OVERHEAD POWER LINE	CO	CLEAN OUT
---	WOOD FENCE	DW	DRIVEWAY
○	POWER POLE	EB	ELECTRIC BOX
○	FIRE HYDRANT	EM	ELECTRIC METER
○	JOINT POLE	EP	EDGE OF PAVEMENT
○	SURVEY MONUMENT FOUND	FM	FIRE HYDRANT
○	TBM (ELEVATION)	GA	GUY ANCHOR
○	WATER VALVE	GM	GAS METER
		GV	GAS VALVE
		IV	IRRIGATION VALVE
		LP	LIGHT POLE
		MB	MAIL BOX
		MH	UTILITY MANHOLE
		P.U.E.	PUBLIC UTILITY EASEMENT
		P	BRICK CONC PILLAR
		PP	POWER POLE
		(R)	RADIAL BEARING
		SL	STREET LIGHT
		SDMH	STORM DRAINAGE MANHOLE
		SSMH	SANITARY SEWER MANHOLE
		SSCO	SANITARY SEWER CLEAN OUT
		TC	THROUGH CURB DRAIN
		TS	TRAFFIC SIGN
		VC	VALLEY GUTTER
		WM	WATER METER
		WV	WATER VALVE

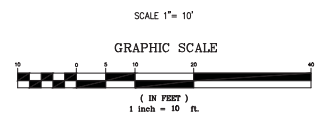
DISCLAIMER:
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
FOUND SURVEY MONUMENTS ALONG THE RIGHT OF WAY OF HARMON DRIVE. RECORD INFORMATION WAS USED, PER RECORD MAP, BOOK 43 PAGE 39 WHICH IS FILED IN THE COUNTY OF SAN MATEO RECORDER'S OFFICE.

SITE BENCHMARK:
SURVEY CONTROL
SET MAG NAIL
ELEVATION=100.00'
(ASSUMED DATUM DATUM)

- NOTES:**
1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
 2. THE GROSS AREA OF LAND OF RECORD IS 5,344 SQ. FT. ±.
 3. THE MAP WAS BASED ON A GRANT DEED DOC.# 2015-111262 DATED 10/20/2015, RECORDED IN SAN MATEO COUNTY.
 4. ALL EXISTING BUILDINGS ARE WOOD.
 5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.



SURVEYOR'S STATEMENT

I CERTIFY THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

904 Harmon Drive
Menlo Park
APN: 061-021-190

Scale:
1" = 10'
Prepared by:
J.N.
Checked by:
S.R.
Date:
3/3/2017
Project No:
xxxxxx

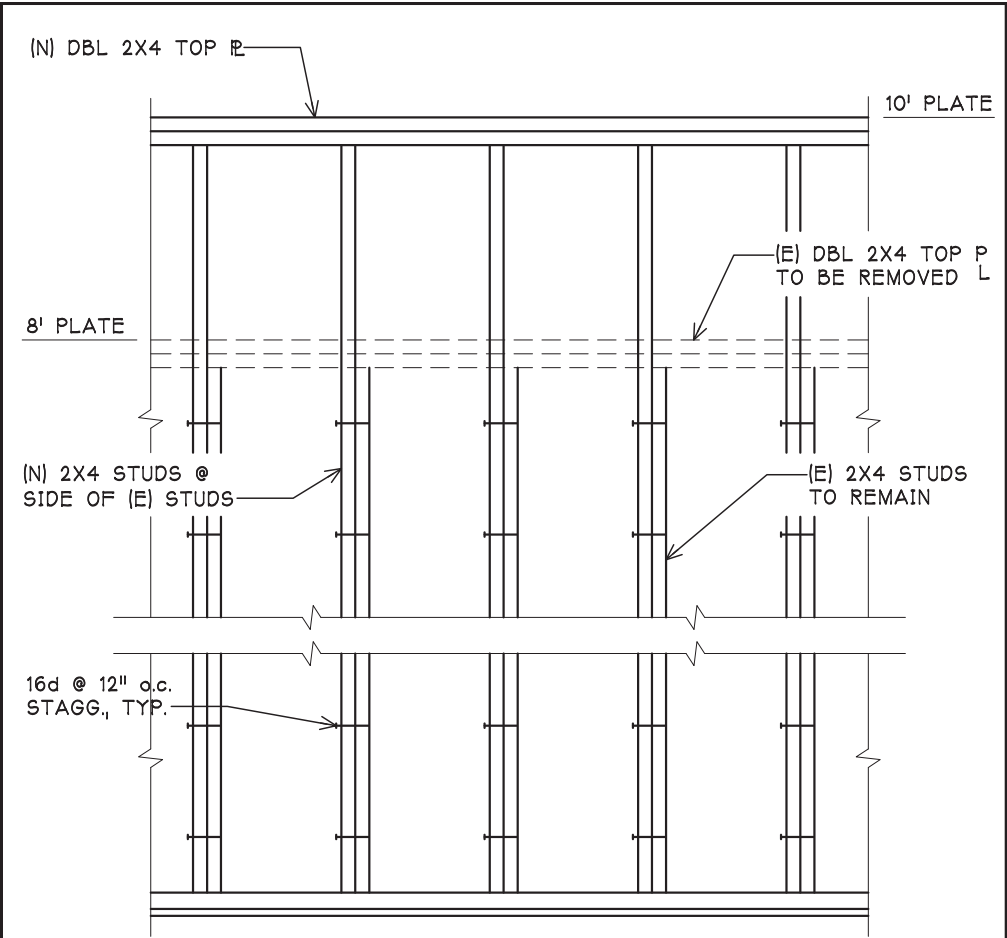


BOUNDARY & TOPOGRAPHIC SURVEY MAP

Sheet No: T-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE


CITY OF MENLO PARK



TYP. WALL EXTENSION DETAIL

COURTNEY RESIDENCE

904 HARMON DRIVE
MENLO PARK, CA

 ROBELO & ASSOCIATES, INC. STRUCTURAL CONSULTANTS	REVISIONS		PROJECT NO.	SHEET	
	No.	DATE ISSUED	BY		16190
					DATE 05-23-17
					SCALE 3/4" = 1'-0"
			BY FRANK	SD1	



September 2, 2017

Kaitlin Meador, Associate Planner
City of Menlo Park – Planning Division
701 Laurel Street
Menlo Park, CA 94025

Re: Courtney Residence
904 Harmon Drive

Subject: Project Description

Dear Ms. Meador and Members of the Planning Commission:

On behalf of the Owners, Jamey and Christina Courtney, who are proposing to remodel and add to their home in the Lorelei Manor neighborhood, we are submitting the subject project for a Use Permit. This letter, the attached drawings, exhibits and forms constitute the application. A letter, describing the variance request, is provided as a separate document at the direction of the planning staff.

The R-1-U(LM) Zoning Classification was adopted to apply to all homes within the Lorelei Manor (Callie Lane, Lorelei Lane, Harmon Drive, etc.) neighborhood. Unfortunately, a few irregularly-shaped properties, including 904 Harmon, were not appropriately addressed which has necessitated this application.

A description of the property follows:

The property is the first house one encounters as one enters Lorelei Manor on Harmon Drive from Bay Road. There is a two-story home directly across Harmon and a single-story home adjacent on the left as one faces the property. To the right is the Hetch Hetchy Right-of-Way. A church is the neighbor to the rear.

The existing one-story home, typical of the neighborhood, is currently a legal non-conforming residence as the property was originally developed prior to the annexation of Lorelei Manor by the City. There are currently three setback violations based on the current code: the left side of the existing house violates the side setback; the rear of the house is located 16 feet from the property line; and the front of the house violates the front setback. City staff have determined that there is no setback violation on the right side of the house and, as the home was built prior to annexation, the 16' rear setback was not considered a violation.

The existing home is wood-framed over a crawl space with exposed beams and decking. The home has a low-slope roof and is typical of the neighborhood's original mid-century modern architectural style. There was an addition made to the front of the house subsequent to the original construction. We are intending to remove the addition to eliminate the front setback conflict, eliminate the "stepdown" from the original house to the previous addition, and relocate certain interior walls to bring the garage into compliance with the code for depth.

There is a shed on the property that is to be removed along with a trellis constructed in the rear yard although there is no likelihood of anyone enclosing the trellis and creating living space. There is existing fencing on three sides of the property. Fence heights are noted on the drawings and it is the Owners intention to make no changes to the fences except as required for repair.

The purpose of the proposed alterations to the Courtney's home – remodeling on the ground floor and the addition of bedrooms and bathrooms and a play area at the second floor - is to accommodate the growth of Jamey and Christina's family. They now have two boys, an infant and a toddler and the house no longer suits their needs. It is their intention to raise their family in the house and they need the additional space. Please note that there is a letter included in the package signed by Mr. and Mrs. Courtney that eloquently describes their intentions and commitment to the neighborhood. Additionally, the Courtneys have very friendly relationships with their neighbors. The neighbor to the left has approved the new proposed daylight plane: their letter is included with the supporting documents. In addition, also included with the exhibits, is a letter from the Church indicating they have no concerns about the Courtneys rear-facing window placements.

There has been significant remodeling in the neighborhood which has created a more eclectic mix of styles. The design for reconfiguring the ground floor and the second story addition is modest and reflective of the community. We are retaining the low slope roof which also limits the overall height of the structure. Exterior finishes shall match the existing. We include control joints in the stucco to control cracking and provide some additional interest to the facades of the house.

The scope of the proposed work is as follows:

- Remodel the ground floor:
 - Reconfigure the ground floor to:
 - create a new master bedroom, bath, and closet;
 - create a mudroom/laundry room;
 - create a powder room;
 - create a new family room/office area that may be opened to create a larger great room;
 - improve the entrance to the house;
 - insert a stairway to the new second floor; and,
 - create additional storage.
 - Reconfigure the garage to create a "legal" depth. (before Jamey purchased the property, a previous owner had undertaken remodeling which reduced the depth of the garage to less than is required.);
 - Reduce the square footage of the ground floor to pull the non-conforming front of the house back to the setback line.
- Add a second floor with:
 - Three bedrooms and three baths; and,
 - A playroom accessible from each bedroom.


We are requesting the Use Permit as there are existing non-conformities that need to be addressed and accepted by the City. Primarily, they are due to the original placement of the house which resulted under current zoning in setback violations. The Courtneys had originally hoped that the modifications to the house could be done without having to submit for a Use Permit but it was ultimately determined that there were too many compromises they would need to make to be able to go straight to the building permit process.

Furthermore, due to the existing configuration of the site and the existing placement of the house on the property, we've come to the realization that requesting a Variance is also in order. The variance request and justification, as directed by staff, are addressed in detail in another document.

We are hopeful that this letter properly satisfactorily describes the project being proposed and that the hearing with the Commission can now be scheduled.

Please don't hesitate to call me to clarify any items that come up. I know Jamey and Christina are anxious to get the project moving.

Very truly yours,



Alpheus W. Jessup, II Architect, License #C-11784

Enc.

Cc: Jamey and Christina Courtney
Priyanka Bendre

Christina & James Courtney

904 Harmon Drive
Menlo Park, CA 94025
(650) 740-2628
christinaandjamey@gmail.com

RECEIVED

APR 05 2017

CITY OF MENLO PARK
BUILDING

February 28, 2017

Menlo Park City Planning

701 Laurel Street
Menlo Park, CA 94025

To whom it may concern:

As part of our application for a permit to remodel our home at 904 Harmon Drive in Menlo Park, we were asked to provide a written statement of the purpose of our project.

In short, we expect that our reasons are among the most common for such a remodel and expansion in that our family is expanding (we added a second child on February 27th). James has owned and lived in the home since 2003 and, in recent years, we have started our family of large dogs and currently small boys with the expectation of raising them in our wonderful neighborhood and having them attend the excellent local schools.

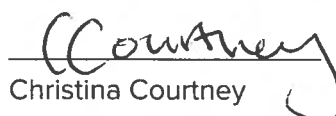
Beyond this we have grown to love our neighborhood and neighbors. Our children are in a location where they will have friends with which to grow up. There are many children in the neighborhood who regularly play together, outside no less, under the shared supervision of parents and neighbors. We are active on our neighborhood board and help plan neighborhood events and activities. The fact that our neighbors value these community experiences is of real value to our family.

In other times we might have attempted gain more living space by relocating, ideally within Menlo Park. Compounding our reluctance to leave the neighborhood we love, current property values make such a relocation all but impossible for us.

We hope you find our plans to update our home to meet the long-term needs of our family acceptable. We are excited to begin and complete our project as soon as possible.

Sincerely, the owners of 904 Harmon:


James Courtney


Christina Courtney

Christina & James Courtney

904 Harmon Drive
Menlo Park, CA 94025
(650) 740-2628
christinaandjamey@gmail.com

June 18, 2017

Jackie & Luke Tsai**The Home of Christ Menlo Park**

71 Bay Road
Menlo Park, CA 94025

Dear Elder Fu & Elder David,

We are undertaking a major remodel of our home at 904 Harmon Drive, next door to The Home of Christ Church at 71 Bay Road. For reference, our home is the one closest to Bay Road adjacent your telephone pole. The major portion of this renovation is the addition of a second story to our home and we are currently engaged with The City of Menlo Park (The City) in obtaining a building permit to this end. The purpose of this letter is to obtain consent from The Home of Christ Menlo Park for certain aspects of our remodel project.

Our new second floor will include several rear-facing windows. Normally, in such construction, The City would require that we obscure such windows to ensure the privacy of neighbors by either placing them high or using etched glass. We have asked The City to permit us to use unobscured windows in conventional placement in these locations (see attached [proposed second floor plan](#)). The view from them will not be another home but rather, almost exclusively, the tall foliage along the property line and some very modest amount of your parking lot and Church facade. We believe, and hope you will agree, that this will result in no infringement on the privacy of your property or congregation.

Beyond window placement we are asking The City for two variances driven by the irregular shape of our lot and the resulting position of our sixty-year-old home upon it. Unlike most homes in Loreli Manor, our home is only roughly sixteen feet from our shared property line instead of the twenty feet called for by modern building code and common to most of our neighborhood.

The first variance is to allow us to build the portion of the second story necessary for our stairwell at the existing sixteen-foot setback (see attached [proposed second floor plan](#)). Without the ability to do this the overall layout of our upstairs and downstairs floorplans becomes greatly complicated, if not impossible.

The second variance is to request that The City permit us to maintain eaves on the rear of our home (see attached [proposed roof plan](#)). Currently, our eaves hang over approximately three feet beyond the rear wall of the house and are consistent around the perimeter of our house and with other houses in the neighborhood. City building code permits us to build eaves that with up to three feet of overhang into the required setback which would, by modern code, be twenty feet.

Since the back wall of our home is only at sixteen feet we have been informed that, at least without a variance, we may not build or rebuild eaves along the back wall of our remodel. We believe this will be problematic architecturally as well as from an engineering standpoint where eaves normally protect exterior home walls and junctions with roofs.

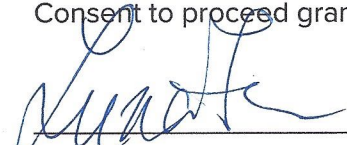
At the time of writing this letter, The City has only requested that we obtain written consent from The Home of Christ Menlo Park for our use of unobscured windows on our second story. We are preemptively asking for your consideration and consent of the above two variances (stairwell and eaves) as it seems likely to us that The City might ask us to come back to you regarding these changes at some point. These are the only aspects of our project for which we are asking The City to permit us to deviate from building codes understandably designed to limit our impact on neighbors. We hope you agree that, given the nature of your property and the location of our house relative to it, any impact would be negligible. We thank you for your time and consideration as we try and move this project forward and create the space we want for our family while remaining in the neighborhood we love. If you are comfortable with the changes we have described above then we ask that you please sign below affirming the consent of The Home of Christ Menlo Park for us to proceed.

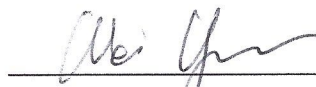
Sincerely, the owners of 904 Harmon:


James Courtney


Christina Courtney

Consent to proceed granted on behalf of The Home of Christ Menlo Park by:


Elder Tony Fu


Elder David Yuan

Christina & James Courtney

904 Harmon Drive
Menlo Park, CA 94025
(650) 740-2628
christinaandjamey@gmail.com

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BUILDING

March 1, 2017

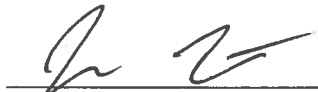
Jillian and Justin Parkhurst

908 Harmon Drive
Menlo Park, CA 94025

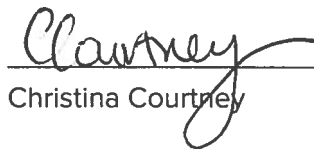
Dear Jillian and Justin,

As you know, we are undertaking major remodel of our home at 904 Harmon Drive, next door to your home. As part of this renovation we intend to add a second floor to our home. By Menlo Park City (The City) building code chapter 16.17, we are required to obtain your signed consent to do this as the new structure will include a vertical daylight plane of up to nineteen feet, six inches (19'6"). By signing below you agree that we have provided you with a clear explanation of our intentions, including conforming architectural drawings, and that you provide your consent for us to continue with this project as planned. By signing below we agree that we will faithfully execute the building plan as described to you and, if deviation is needed or desired, will not proceed without first garnering your written consent to any changes.

Sincerely, the owners of 904 Harmon:



James Courtney

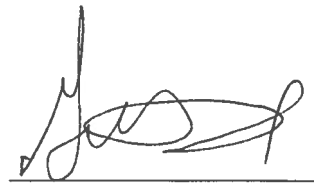


Christina Courtney

Consent to proceed granted by:



Justin Parkhurst



Jillian Parkhurst



September 2, 2017 (Amended October 24, 2017)

Kaitlin Meador, Associate Planner
City of Menlo Park – Planning Division
701 Laurel Street Menlo Park, CA 94025

Re: Courtney Residence
904 Harmon Drive

Subject: Variance Application, Request & Justification

Dear Ms. Meador and Members of the Planning Commission:

On behalf of the Owners, Jamey and Christina Courtney, who are proposing to add to their home in the Lorelei Manor neighborhood, we are submitting the subject project for a Use Permit and Variance. This letter describes the reasons and justifications for requesting a variance.

Several years after the annexation of the Lorelei Manor neighborhood by the City, the R-1-U(LM) Zoning Classification was adopted to apply to all homes within Lorelei Manor (Callie Lane, Lorelei Lane, Harmon Drive, etc.). Unfortunately, a few irregularly-shaped or configured properties, including 904 Harmon, still did not conform with the modified zoning meant to allow the community opportunities to modify their homes without having to request relief from the City for each change.

The Courtney's home is typical of the neighborhood. It is a legal non-conforming mid-century modern structure. Jamey and Christina are raising their family – now consisting of two very young sons and two large dogs – in their existing home. The existing house is too small for the family.

Please note: we are requesting variances to allow the Courtneys to add to their home; these variances do not constitute improvements that benefit the Courtneys to the detriment of their neighbors within Lorelei Manor.

The specific relief we are requesting includes:

- Legalize the existing first-floor rear setback of 16.5 feet for the purpose of rebuilding an eave up to 3' from the building wall;
- Allowing the second-floor stair encroachment into the required rear setback. *Please see sheet A2.2.*

We believe that the findings noted in the Zoning Ordinance, Section VI, Paragraph 16.82.340 sub-paragraph (b) can be met.

1. “That a hardship peculiar to the property & not created by any act of the owner exists. In this context, personal, family or financial difficulties, loss of prospective profits and neighboring violations are not hardships justifying a variance. Further, a previous variance can never have set a precedent, for each case must be considered only on its individual merits;”
 - a. The property has several existing non-conformities that preceded Jamey Courtney’s purchase of the property that we are reducing.
 - b. Had the house been located more conventionally on the property when it was built there would have been no issues regarding the rear setback and eave overhangs at the rear wall.
 - c. Except for the stairway encroachment the second floor is being configured to meet all current zoning requirements relating to setback, daylight plane, etc. The placement of the house on the property precludes our being able to locate the stair within the boundaries of the setback without drastically redesigning or rebuilding the home. (Please note, too: The area calculations show that we are proposing a 34.82% lot coverage while the maximum allowed is 35% for two-story construction. We are also reducing the impervious area by 23% +/-).
 2. “That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property in the same vicinity and that a variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his/her neighbors.”
 - a. To our knowledge, the majority of the other homes in the Lorelei Manor zoning district were considered when the zoning was put into effect. Thus, alterations that neighbors propose can be accommodated without asking for relief. There is very little the Courtneys can do without being granted relief:
 - i. The rear of the house is 16.5 feet from the property line as opposed to 20’;
 - ii. The existing eaves at the rear of the house project further into the setback;
 - iii. The configuration of the house (see the diagram) illustrates that the stairway compromises existing and proposed floor plans unless we dramatically redesign or rebuild the home which, in our estimation, would be an unreasonable requirement.

We don’t believe the project results in special privileges for the Courtneys. The zoning for Lorelei Manor was set specifically to address the unique character of the neighborhood. The placement of the Courtneys home and its relationship to the ROW, the street and setbacks would limit their use if the Use Permit and Variance are not granted.
 3. “That the granting of the variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property;”
 - a. The Courtney’s’ home is bounded on the right by the Hetch Hetchy ROW.
 - b. The immediate neighbor to the left has approved” of the plate height proposed for the 2nd floor and the church to the rear has no issues with the placement of windows facing its parking lot. (Please see the memos from the neighbor and the church.)
 - c. We have removed the front yard setback encroachment.

We would, therefore, submit that the granting of the variance would not be detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property.
 4. “That the conditions upon which the requested variance is based would not be applicable, generally, to other property within the same zoning classification.”

We believe this to be an unusual circumstance – the house is aligned with the rear property line rather than the side or front property lines and has thus presented a number of challenges to remodeling and adding to the home that are, in our opinion, not generally applicable to other property within the same zoning classification.
-

5. "That the condition upon which the requested variance is based is an unusual factor that was not anticipated or discussed in detail during any applicable Specific Plan process."

This property was not discussed in any applicable Specific Plan process that we are aware of.

We are hopeful that this letter properly addresses the scope. Please don't hesitate to call me to clarify any items that come up. I know Jamey and Christina are anxious to get the project moving.

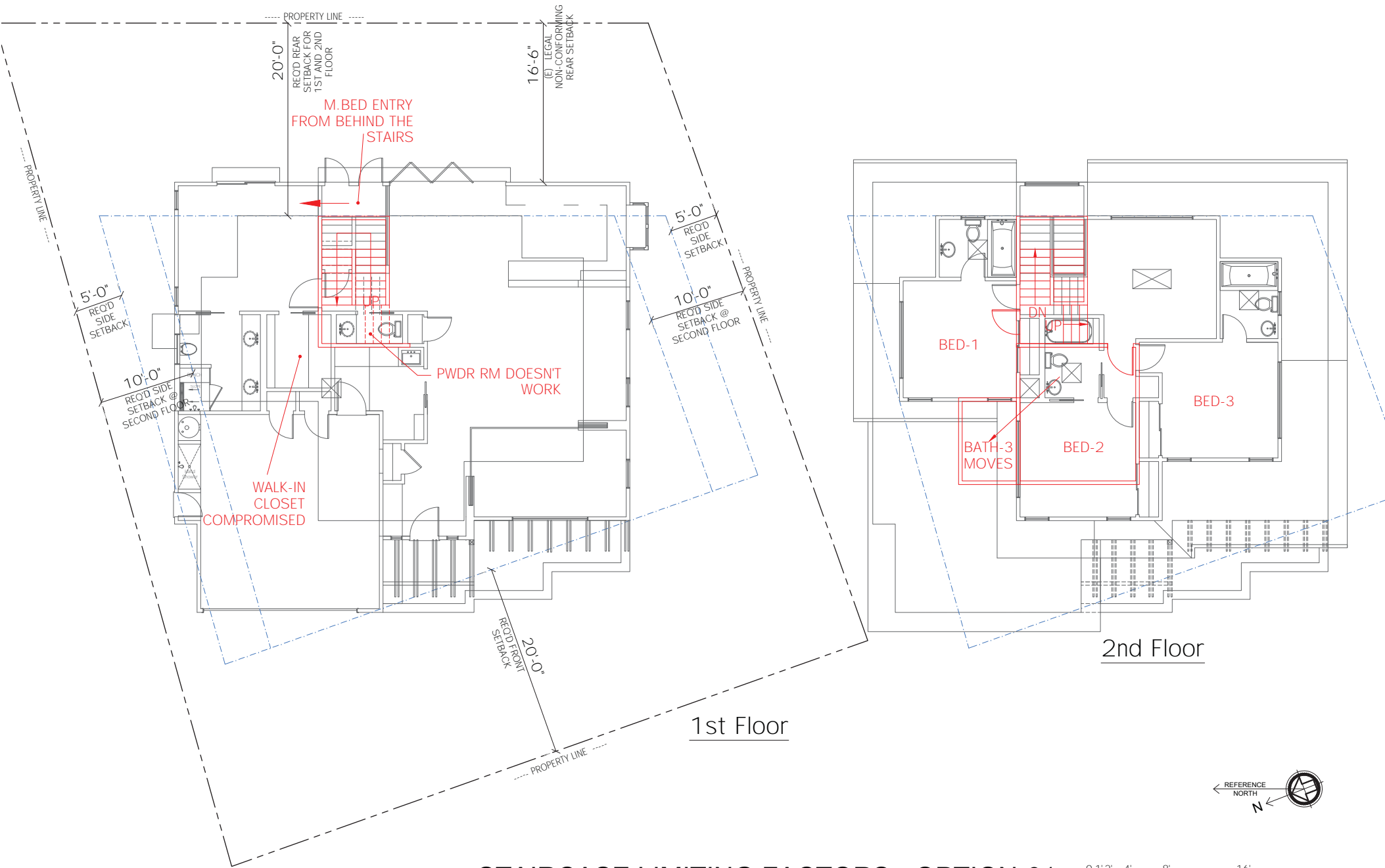
Very truly yours,



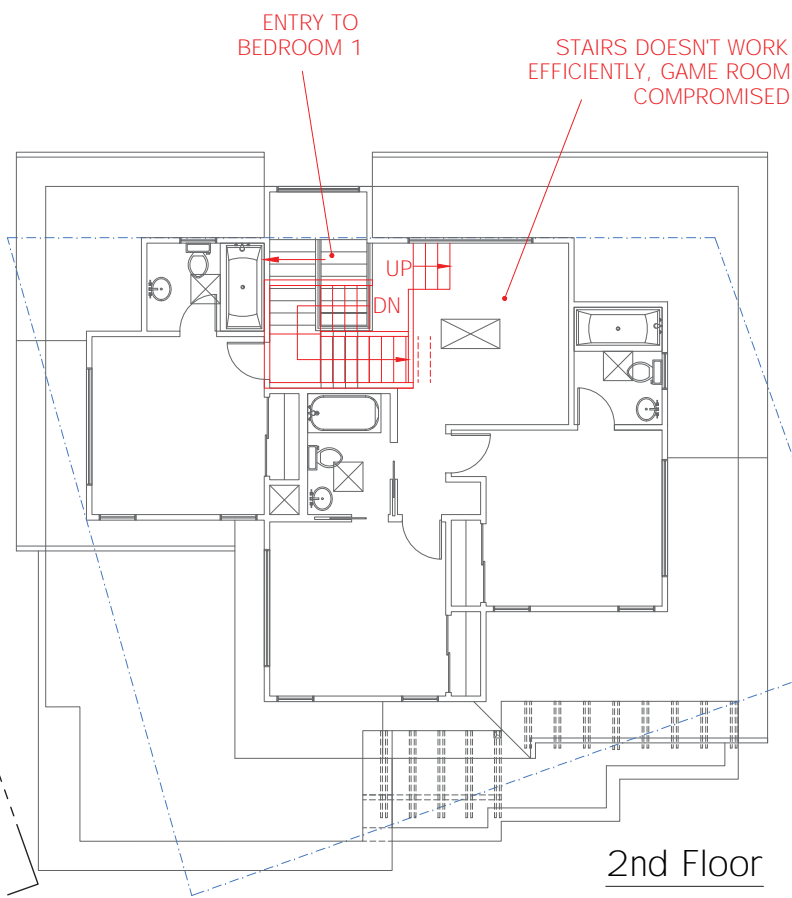
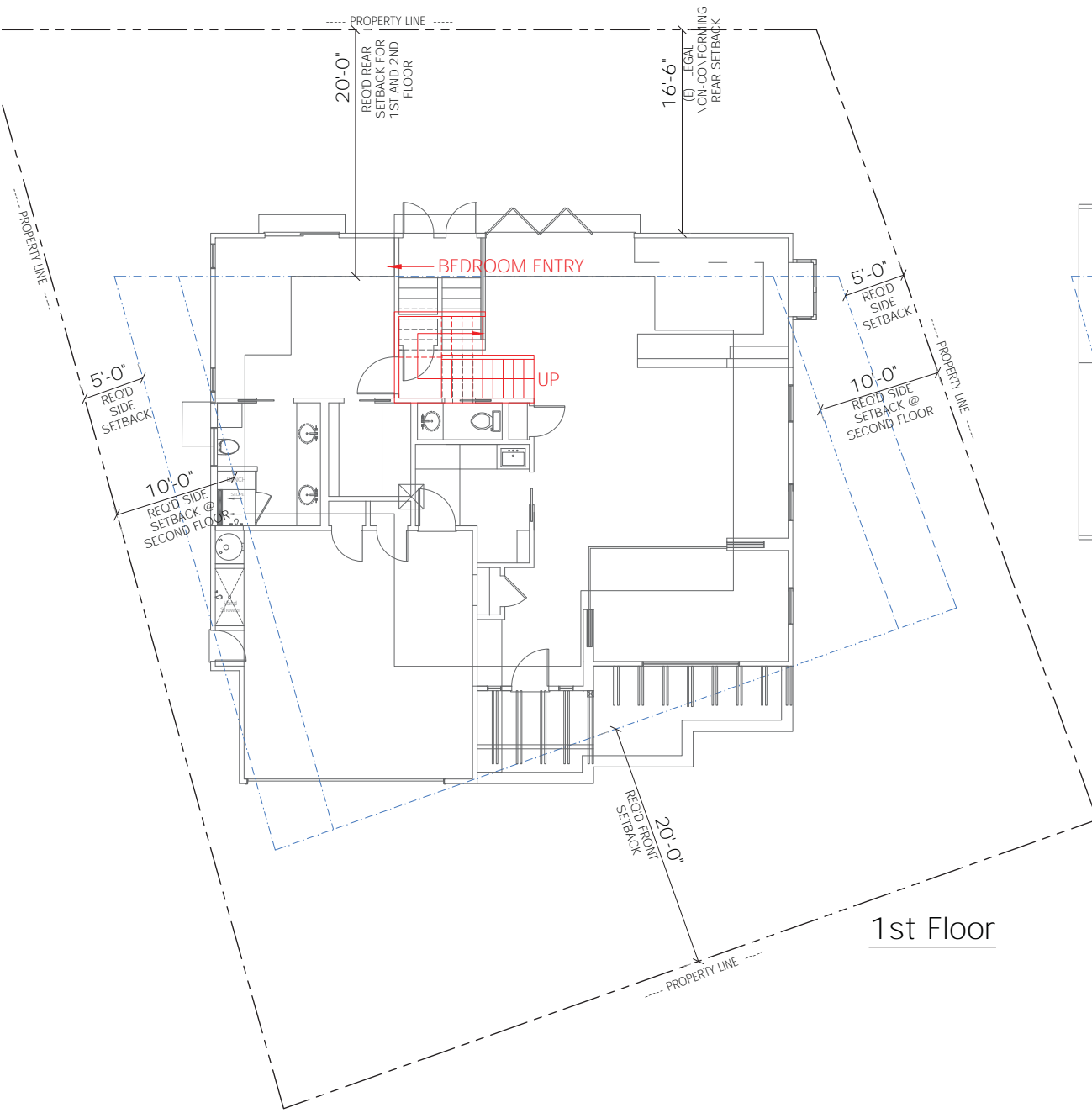
Alpheus W. Jessup, II Architect, License #C-11784

Enc.

Cc: Jamey and Christina Courtney



STAIRCASE LIMITING FACTORS - OPTION-01



1st Floor

2nd Floor

STAIRCASE LIMITING FACTORS - OPTION-02



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CITY OF MENLO PARK
BUILDING

ARBORIST REPORT

**904 Harmon Drive
Menlo Park, CA 94025**

Prepared for:

Chip Jessup

M. Designs Architects

4546 El Camino Real

Los Altos, Ca 94022

Prepared by:

Henry Ardan

Horticulturist/Certified Arborist

ISA/WC, Certification #2005

325 Sharon Park Drive, # 646

Menlo Park, CA 94025

Ph: 650-321-2795

arborist@cityarborist.com

www.cityarborist.com

March 25, 2017

ARBORIST REPORT
904 Harmon Drive, Menlo Park

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<i>Purpose of this report</i>	1
<i>Assessment Methods</i>	1
<i>Description of Trees</i>	1
<i>Evaluation of Impacts and Recommendations for Protection</i>	2
<i>Tree Protection Guidelines</i>	2

Attachments

Site Plan
Warning Sign
Assumptions and Limiting Conditions
Certification of Performance

Purpose of this report

Project site is Mr. & Mrs. Courtney residence. Proposed construction will remodel existing structure and add second floor. I was asked by Mr. Chip Jessup from M. Designs Architects to prepare an Arborist Report for the site as part of the new construction submittals for review by the City of Menlo Park.

Assessment Methods

Trees were evaluated on March 16, 2017 to identify their species, recording each tree location on the site plan, measuring their trunk diameter at a point 54 inches above natural grade “referred as dbh, diameter at breast height” if possible, and evaluate the health and the structural condition using a scale of 1-5 where 1 is a healthy and vigorous tree and 5 is a tree in severe decline. The evaluation included all trees 6 inches and greater in diameter, either located within and immediately adjacent to the proposed construction.

Description of trees

2 trees were evaluated, representing 2 species which are qualified as Heritage Tree based on the City’s definition for Heritage tree.

The City of Menlo Park Municipal Code 13.24.020 defines a heritage Tree as follows:

1. All trees other than OAKS which have a trunk with a circumference of 47.1 inches (diameter of 15 inches) or more measured 54 inches above natural grade.
2. A tree or group of trees of historical significance, special character or community benefit, specially designated by resolution of the City Council.
3. Any Oak tree which is native to California and has a trunk with circumference of 31.4 inches (diameter of 10 inches) or more, measured at 54 inches above natural grade.
4. Trees with more than one trunk shall be measured at the point where the trunks divide, with the exception of trees that are less than 12 feet in height, which will be exempt from this section.

EVALUATED TREES

ID #	Species	Trunk Diameter	Suitability for Preservation	Condition
1	Chinese Elm <i>Ulmus parvifolia</i>	22”	HIGH	2
2	Fan Palm <i>Washingtonia filifera</i>	18”	Moderate	1

Tree # 1 – Chinese Elm “Ulmus parvifolia”

Stands at back right corner, 12 feet from building foot print. It has a trunk diameter of 22 inches at 3 feet from natural grade, a height of approximately 35 feet, and an average canopy spread of approximately 30 feet which partially grown over building.

Subject tree is leaning toward building and one large limb totally grown over the building roof. Advanced Canker infection is present on few main leaders. **As the site plan indicates there would be a conflict between the proposed second floor and the tree canopy which need to be resolved . Also, since the remodeling of first floor would take place within the existing building foot print, there wouldn't be any excavation, trenching or grade change within the tree canopy.**

Tree # 2 – California Fan Palm "Washingtonia filifera"

Stands at front 6 feet from existing building foot print. It has a trunk diameter of 18 inches at 4.5 feet from natural grade, a height of approximately 36 feet and an average canopy spread of 8 feet. **As the proposed site plan indicates, foot print of the existing building is not going to change, and also there wouldn't be any excavation, trenching, grade change and soil compaction within the tree canopy.**

Evaluation of Impacts and Recommendations for Preservation

Potential impacts from construction were evaluated using the proposed construction plans (Sheets A1.1, C-1, & Topo plan), provided by Mr. Jessup.

Construction of the second floor will take place within the tree #1 drip line. Proper pruning is needed to cut back the length of the tree limbs, and raise tree canopy 12-14 feet from existing roof line for clearance. Lowest lateral limb over the roof may need to be completely cut back to tree trunk.

As the proposed plans suggest there is no serious conflict between proposed project and protected trees

Tree Protection Guidelines

The goal of tree protection is not merely tree survival during construction, but also maintenance of tree health and aesthetic for many years. Trees retained on site that are either subject to extensive injury during construction or are inadequately maintained become a liability rather than an asset.

The following recommendations will help reduce impacts to trees from construction, maintain and improve their health and vitality through the clearing, grading and construction phase.

All Plans affecting trees shall be reviewed by the **Consulting Arborist** with regard to tree impacts. These include, but are not limited to demolition plans, grading and utility plans, landscape and irrigation plans.

- 1. Due to the location of tree #1, it should be wrapped with 2 inches of orange plastic fencing as padding from the ground to the first branch with 2 inches thick wooden studs bound securely on the outside. This should be done with care to avoid damaging any bark or branch.**
- 2. Tree protection Zone "TPZ" - 10 times the diameter of tree trunk - shall be established around each tree to be protected if possible, otherwise installed outside tree dripline.**
- 3. Fence Tree #1 and 2 to completely enclose the TPZ prior to start of construction. Fence shall be 6 feet high, minimum 12 gauge chain link attached to 2 inches diameter galvanized iron posts driven 2 feet into the ground at no more than 10 feet spacing. Fences must remain in place**

during the entire construction to prevent impingement of construction vehicles, materials, spoils, and equipment into or upon the TPZ.

- 4. *Warning Signs shall be posted on the protective fences, warning that all personnel must keep out of out of the fence perimeter.***
- 5. *Mulch the TPZ prior to the onset of the site work, with 4-6 inches wood chip.***
- 6. *Any changes to, or temporary removal of fencing or section of fencing shall be done under advise and supervision of the Project Arborist.***
- 7. *No trenching, grading and excavation shall occur within the TPZ.***
- 8. *No underground services including utilities, sub-drains, water or sewer shall be placed in the TPZ.***
- 9. *No excess soil, additional fill, chemicals, paints, cement or construction spoils and debris shall be placed within the TPZ.***
- 10. *Tree #1 requires pruning to provide construction clearance. All pruning shall be performed or supervised by a Certified Arborist, and adhere to the latest edition of the ANSI Z133 and A300 standards as well as the Best Management Practice.***
- 11. *All protected trees shall be irrigated regularly during the entire dry season.***
- 12. *If injury should occur to any of the protected trees during construction, the Project Arborist shall be notified as soon as possible so that remedial treatment can be applied. Periodic routine inspection by the Project Arborist is recommended during construction, particularly if trees are impacted by trenching/grading operations.***

This report should be copied onto a plan sheet and become part of the final plan set. Once it is done, the Arborist Report serves as a Tree Protection Plan.

Owner, Contractor, and Architect are all responsible for knowing the information included in this Arborist Report and should adhere to the conditions provided.

Regards,



Henry Ardalan
Certified Arborist-ISA/WC #2005

ASSUMPTIONS AND LIMITING CONDITIONS

A – Any legal description provided to the consultant is assumed to be correct. Title and ownership of all property considered are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

B – It is assumed that any property is not in violation of any applicable codes, ordinances, statutes or other governmental regulations.

C – Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible. The consultant can neither guarantee nor be responsible for the accuracy of information provided by others.

D – If there are diagrams, sketches and photographs in this report, they are intended as visual aids and are not to scale, unless specifically stated as such on the drawing. These communication tools in no way substitute for nor should be considered as surveys, architectural or engineering drawings.

E – Loss or alteration of any part of this report invalidates the entire report.

F – Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior written or verbal consent of the consultant.

G – This report is confidential and to be distributed only to the individual or entity to whom it is addressed. Any or all of the contents of this report may be conveyed to another party only with the express prior written or verbal consent of the consultant. Such limitations apply to the original report, a copy, facsimile, scanned image or digital version thereof.

H – This report represents the opinion of the consultant. In no way is the consultant's fee contingent upon a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

I – The consultant shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule, an agreement or a contract.

J – Information contained in this report reflects observations made only to those items described and only reflects the condition of those items at the time of the site visit. Furthermore; the inspection is limited to visual examination of items and elements at the site, unless expressly stated otherwise. There is no expressed or implied warranty or guarantee that problems or deficiencies of the plants or property inspected may not arise in the future.

WARNING
TREE
PRESERVATION
AREA

KEEP OUT

NOTICE: PROTECTIVE TREE FENCING IS
REQUIRED ON THIS JOB SITE.



STAFF REPORT

Planning Commission

Meeting Date: 1/8/2018
Staff Report Number: 18-004-PC

Public Hearing: Use Permit/Keda Wang/1045 Trinity Drive

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit revision to partially remodel the first floor and reallocate floor area to allow for the expansion of the ground floor at the rear of a new two-story, single-family residence on a substandard lot with regard to lot width in the R-E-S (Residential Estate Suburban) zoning district, at 1045 Trinity Drive. The project received a use permit on Nov. 7, 2016 to demolish the existing residence, and construct a new two-story, single-family residence. There is an active building permit regarding the remodeling of and additions to the first floor and lower floor. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at 1045 Trinity Drive between Klamath Drive and Whitney Drive in the Sharon Heights neighborhood. The rear yard of the property contains a public utility easement that measures between approximately 24 and 39 feet wide from the rear property line. The rear property line faces Sharon Park Drive which leads to a residential development at 1100-1290 Sharon Park Drive, which is located in the middle of the golf course of the Sharon Heights Golf and Country Club.

The subject property has varied topography which slopes downward at the side and rear yards. All parcels on Trinity Drive contain single-family residences that are also zoned R-E-S. The country club is in the OSC (Open Space and Conservation) zoning district. Nearby are other properties, mainly townhomes in the R-1-S(X), (Single Family Suburban, Conditional Development) zoning district. A location map is included as Attachment B. There is a mix of one and two-story single-family residences surrounding the project site which feature varied architectural styles, including ranch and modern style homes.

Previous project review

A building permit application was issued on July 1, 2015 for remodeling and construction that did not require Planning Commission review of a use permit, due to its relatively limited scope. On July 25, 2015, there was a fire which damaged the roof and a large portion of the existing residence including the master

bedroom and bath, two bedrooms, a bathroom, a laundry, family room and living room. The owners demolished the fire damaged portion and were in the process of rebuilding the home in 2015 to match the plans of the issued building permit, when they decided to revise their issued building permit to include additional floor area on the main and lower level. They received Planning Commission use permit approval for this work on November 7, 2016. The issued building permit was revised according to the Planning Commission-approved scope of work; however, it was discovered during construction that the soil conditions required different construction methods. The building permit was amended to include deeper piles and a thickened foundation, which spurred the applicant to propose adding additional square footage to the lower level of the home. The expanded scope requires use permit review.

Analysis

Project description

The applicant is requesting approval from the Planning Commission to modify a previously approved use permit to add more than 50 percent of the existing floor area to the residence. The existing residence resembles a one-story home from the street. However, the grade of the property slopes downward so that the lower level of the home opens out onto a lower grade. The lower level does not qualify as a basement under the Zoning Ordinance's definition of floor area limit (FAL), and therefore the residence is considered a two-story house.

Relative to the approved use permit, the garage and interior deck would be partially reduced in size, and the walk-in closet on the main floor would be expanded. The roof pitches would also be lowered in order to reallocate 335 square feet of attic space greater than five feet in height that was counted as additional floor area. The applicant proposes to add an additional 993 square feet, for a total of 1,980 square feet of floor area to the lower level at the rear of the residence. An additional bedroom and bathroom, and a new fitness room would be also added to the lower level.

A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively. The project plans include the previously-approved elevations, in order to show the exterior changes relative to the existing use permit.

Design and materials

The applicant does not propose to change the design and materials as described in the previously approved use permit and would retain the existing ranch style of the home using contemporary materials. The windows would consist of aluminum clad or wood, and remain fixed casement and single-hung windows. More windows would be added to the proposed lower level, and windows and doors would be rearranged on the left elevation of the main level which staff believes would be compatible with the original design of the residence. By lowering the roof pitch, staff believes that the overall profile of the home would be reduced. Massing impacts would remain limited by the topography of the lot and the location of the majority of the floor area at the front and middle of the lot, where it is perceived as a one-story residence.

Trees and landscaping

There were a total of 31 trees on the subject property, five of which are heritage trees. One heritage Monterey pine (tree #1) has been removed under an approved Heritage Tree Removal permit. No other heritage trees are proposed for removal at this time. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of trees on the property. The proposed site improvements should not adversely affect any of the trees as tree protection measures will be ensured through standard condition 3g.

Correspondence

Staff has received one item of correspondence from several nearby neighbors, stating concerns about the time that the project has taken and its associated construction disruptions, but supporting moving it forward to completion (Attachment G).

Conclusion

Staff believes the scale and style of the home are compatible with the surrounding neighborhood's mix of architectural styles. The perceived massing would be limited by the lowering of the roof pitches, topography of the lot, and the location of most of the floor area at the front and middle of the parcel where it appears to be a one-story residence. Staff believes that the rearranged windows and doors would be compatible with the original design of the residence. The recommended tree protection measures would help minimize impacts on the heritage trees on the subject property. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Correspondence

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

Michele T. Morris, Assistant Planner

Report reviewed by:

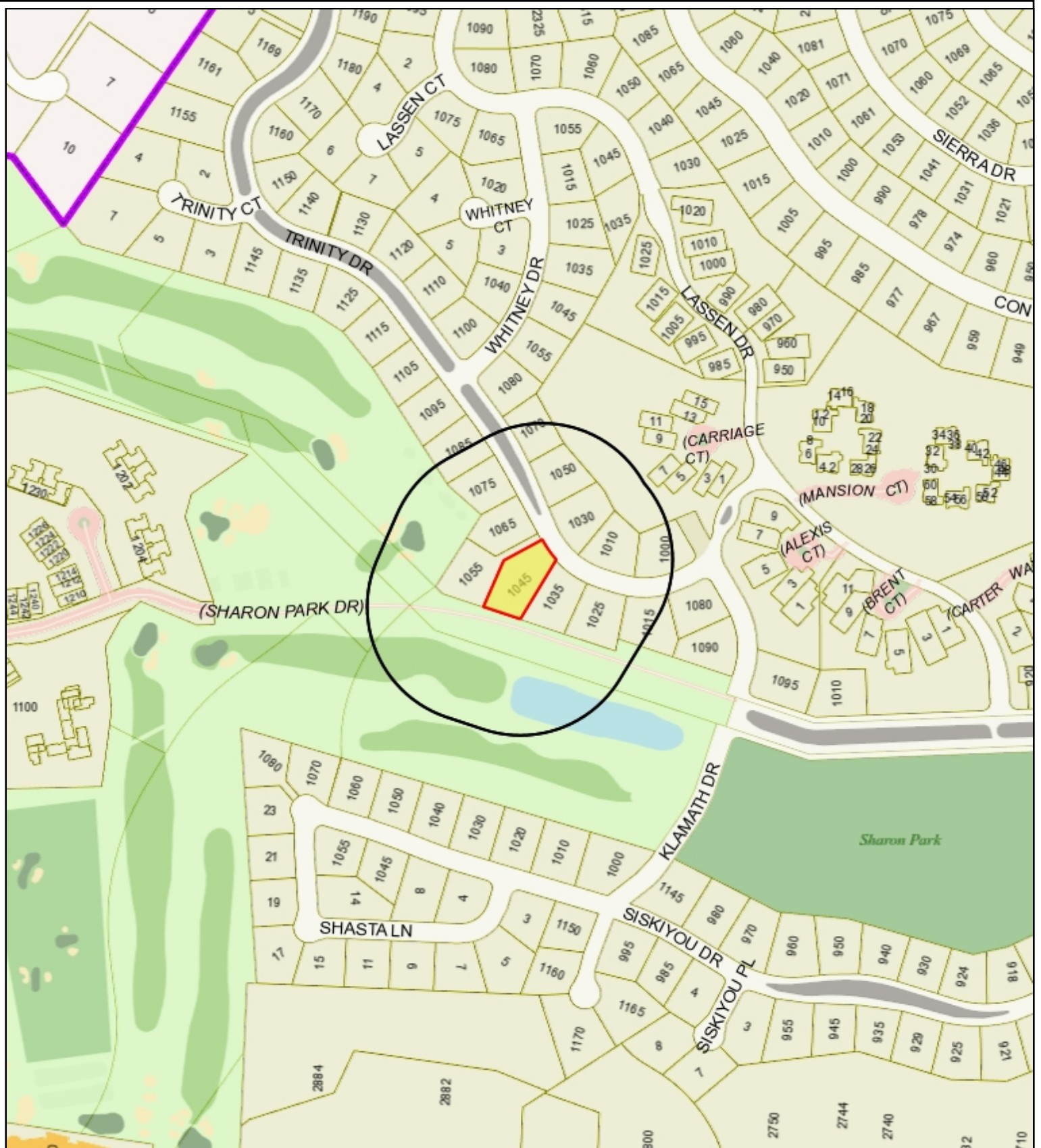
Thomas Rogers, Principal Planner

1045 Trinity Drive – Attachment A: Recommended Actions

LOCATION: 1045 Trinity Drive	PROJECT NUMBER: PLN2017-00123	APPLICANT: Keda Wang	OWNER: Keda Wang
PROPOSAL: Request for a use permit revision to partially remodel the first floor and reallocate floor area to allow for the expansion of the ground floor at the rear of a new two-story, single-family residence on a substandard lot with regard to lot width in the R-E-S (Residential Estate Suburban) zoning district. The project received a use permit on Nov. 7, 2016 to demolish the existing residence, and construct a new two-story, single-family residence.			
DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Aclara Engineering Consulting consisting of 18 plan sheets, dated received January 2, 2018, 2017, and approved by the Planning Commission on January 8, 2018, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Arbor Gus Professional 			

1045 Trinity Drive – Attachment A: Recommended Actions

LOCATION: 1045 Trinity Drive	PROJECT NUMBER: PLN2017-00123	APPLICANT: Keda Wang	OWNER: Keda Wang
PROPOSAL: Request for a use permit revision to partially remodel the first floor and reallocate floor area to allow for the expansion of the ground floor at the rear of a new two-story, single-family residence on a substandard lot with regard to lot width in the R-E-S (Residential Estate Suburban) zoning district. The project received a use permit on Nov. 7, 2016 to demolish the existing residence, and construct a new two-story, single-family residence.			
DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: Trecare and dated February 2, 2017.			



CITY OF
MENLO PARK

City of Menlo Park
Location Map
1045 Trinity Drive



Scale: 1:4,000

Drawn By: MTM

Checked By: THR

Date: 1/8/2018

Sheet: 1

1045 Trinity Drive – Attachment C: Data Table

	PROPOSED PROJECT	APPROVED PROJECT	ZONING ORDINANCE	
Lot area	20,151 sf	20,151 sf	15,000 sf min.	
Lot width	75 ft.	75 ft.	100 ft. min.	
Lot depth	242.99 ft.	242.99 ft.	100 ft. min.	
Setbacks				
Front	20 ft.	20 ft.	20 ft. min.	
Rear	20 ft.	20 ft.	20 ft. min.	
Side (left)	14.8 ft.	14.8 ft.	25 ft. total, with minimum 10 ft. on any one (1) side	
Side (right)	10.3 ft.	10.3 ft.		
Building coverage	4,517.2 sf 22.4 %	4,495.3 sf 22.4 %	6,045.3 sf max. 30 % max.	
FAL (Floor Area Limit)	6,084.6 sf	5,357 sf	6,087.8 sf max.	
Square footage by floor	3,515.8 sf/main fl. 1,980 sf/lower fl. 589 sf/garage 402.4 sf/porches 10 fireplace	3,429 sf/main fl. 987 sf/lower fl. 606 sf/garage 335 attic > 5ft 450.3 sf/porch 10 fireplace		
Square footage of building	6,497.2 sf	5,817.3 sf		
Building height	18.9 ft.	20.4 ft.	30 ft. max.	
Parking	2 covered	2 covered	1 covered/1 uncovered	
Trees				
	Heritage trees	6*	Non-Heritage trees 23	New Trees 2
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal 0	Total Number of Trees 31

*One heritage tree has previously approved for removal by Heritage Tree Removal permit.

PROPOSED RENOVATION
WANG RESIDENCE

FOR
1045 TRINITY DR.,
MENLO PARK, CA 94025

Plan Check Submittal
06/08/2016 USE PERMIT
11/30/2016 RESPONSE TO PLANCHHECK
05/25/2017 FIELD CHANGES 1
11/08/2017 USE PERMIT REVISION

ARCHITECT & STRUCTURAL ENGINEER:
ACLARA ENGINEERING CONSULTANT/CLARA TING
P.O. BOX 53892, SAN JOSE, CA 95153
TEL: (408) 228-7526
EMAIL: aclaraeng@gmail.com



ACLARA
ENGINEERING
CONSULTING

ARCHITECTURAL
ENGINEERING
CONSTRUCTION
P.O. BOX 53892
SAN JOSE, CA 95153
TEL: 408 228-7526
FAX: 408 229-1688

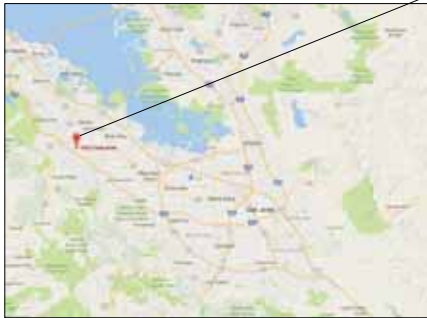


PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

SCOPE OF WORK

1. THIS PROJECT IS TO REDUCE THE LIVING ROOM CEILING HEIGHT FROM 10' TO 9' TO AVOID THE DOUBLE COUNT FLOOR AREA AND INCREASE THE BASEMENT FLOOR AREA FROM 960 SQ.FT TO 1980 SQ.FT.
2. THE REVISED SUBMITTAL IS INCLUDING REPAIR ALL THE FIRE DAMAGE OF THE EXISTING HOUSE AND THE REPLACE NEW ROOF OF THE ENTIRE HOUSE.

VICINITY MAP



PROJECT LOCATION

PROJECT DATA

OWNER : KEDA WANG
PROJECT ADDRESS : 1045 TRINITY DRIVE, MENLO PARK, CALIFORNIA 94025-6644
ASSESSOR'S PARCEL NUMBER(A.P.N.): 074-232-060
OCCUPANCY GROUP : R-3/U1
CONSTRUCTION TYPE : V-B
BUILDING ZONE : RES
GENERAL PLAN: RESIDENTIAL VERY LOW DENSITY
EXISTING USE: SINGLE FAMILY RESIDENTIAL
PROPOSED USE: SINGLE FAMILY RESIDENTIAL
AVERAGE SLOPE OF LOT: EXISTING
AGE OF RESIDENCE: ORIGINAL BUILDING WAS BUILT IN 1963
SITE AREA: 20151 SF (GROSS/NET)
EXISTING FLOOR AREA: 2,441 SQ. FT. +604 SQ.FT.(GARAGE) = 3,045 SQ.FT.
PROPOSED ADDITIONAL FLOOR AREA: 3,040 SF (NEW ADDITION)
TOTAL FLOOR AREA: 3,045(EXISTING)+3,040(ADDITION)+0(DBL COUNT)= 6,085 SQ.FT. < 6,088 SQ.FT.
FLOOR AREA LIMIT (F.A.L): =2800+.25(20151-7000)=6088 SQ.FT.
BUILDING COVERAGE : 30 %
EXISTING GARAGE: 604 SQ. FT
LOT COVERAGE: 22.49 % (4,532/20151)< 30 %
EXISTING IMPERVIOUS: 34.3%
PROPOSED IMPERVIOUS: 40.2%
TOTAL IMPERVIOUS AREA: EXISTING
MAXIMUM HEIGHT: 30 FT
BUILDING HEIGHT: 20'-11" FT (FROM AVERAGE GRADE)
NUMBER OF STORIES: TWO
EXISTING MINIMUM YARDS: FRONT 48'-4" > 20'
LEFT SIDE 10'-3" > 10'
RIGHT SIDE 14'-9" > 10' } (SUM OF TWO=25'-0" > 25'-0")
REAR 64'-8" > 20'

APPLICABLE BUILDING CODE: 2013 CBC, CMC, CPC, CFC, CEC, 2013 CALIFORNIA ENERGY STANDARD,& CITY OF MENLO PARK ORDINANCES. ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS

DRAWING INDEX

- A-0 TITLE SHEET
- A-0.1 AREA CALCULATION (UPPER LEVEL)
- A-0.2 AREA CALCULATION (LOWER LEVEL)
- A-1.0 LOT /SITE PLAN
- A-1.1 AREA PLAN
- A-1.2 EXISTING FLOOR PLAN
- A-2.1 PROPOSED UPPER LEVEL FLOOR PLAN
- A-2.2 PROPOSED LOWER LEVEL FLOOR PLAN
- A-2.3 FLOOR PLAN NOTES
- A-3.1 PROPOSED ELEVATIONS
- A-3.2 PROPOSED ELEVATIONS
- A-3.3 SECTIONS
- A-3.4 SECTIONS
- A-4.0 ROOF PLAN

REVISIONS:	10/20/16	12/31/17
	USE PERMIT	FIELD CHANGE
▲	11/27/16	
	RESPONSE TO PC	
▲	08/12/17	
	ELEC COMMENT	
▲	06/08/17	
	ELEC COMMENT	
▲	04/18/17	
	STRUCT. CHANGE	
▲	09/28/17	
	FIELD CHANGE	
▲	11/06/17	
	FIELD CHANGE	

TITLE

DRAWN: Q.L. CHECKED: C.TING

DATE: 07/16/2016

SCALE: NTS

JOB NO.: M15118

SHEET:

A-0

OF SHEETS



OCTOBER 28, 2017

PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:	DATE	DESCRIPTION
10/20/16	USE PRINT	12/31/17 FIELD CHANGE
11/27/16	RESPONSE TO PC	
08/12/17	PC COMMENT	
06/08/17	PC COMMENT	
04/18/17	STRUCT. CHANGE	
09/28/17	FIELD CHANGE	
11/06/17	FIELD CHANGE	

**AREA
CALCULATION**

DRAWN:	Q.L.	CHECKED:	C.TING
DATE:	07/16/2016		
SCALE:	NTS		
JOB NO.:	M15118		
SHEET:			

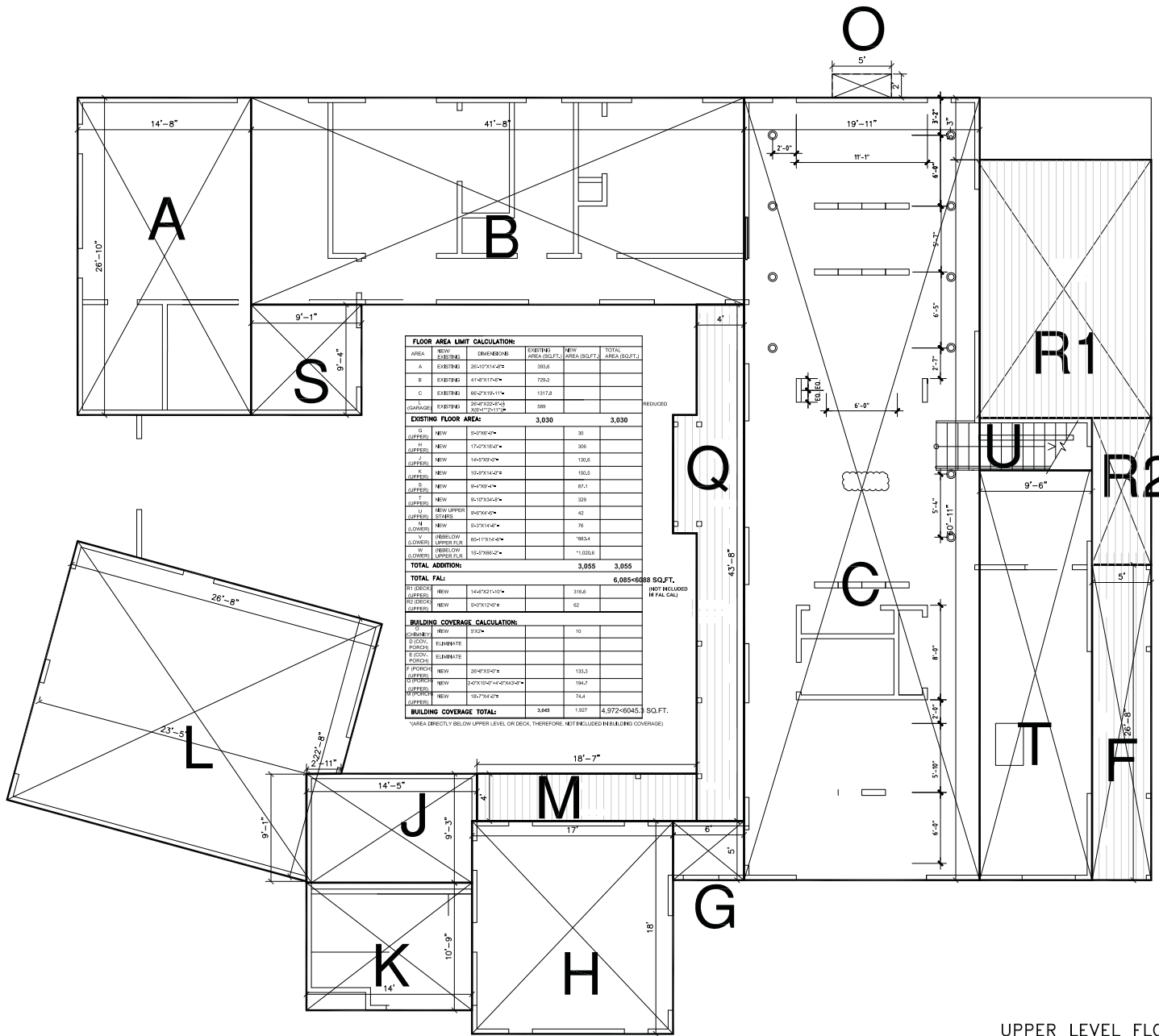
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OF SHEETS

UPPER LEVEL FLOOR

1/4" 1

AREA CALCULATION





PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:	DATE	DESCRIPTION
10/20/16	USE POINT	12/31/17 FIELD CHANGE
11/27/16	RESPONSE TO PC	
08/12/17	ELEC. COMMENT	
06/08/17	ELEC. COMMENT	
04/18/17	STRUCT. CHANGE	
09/28/17	FIELD CHANGE	
11/06/17	FIELD CHANGE	

AREA
CALCULATION

DRAWN: Q.L. CHECKED: C.TING

DATE: 07/16/2016

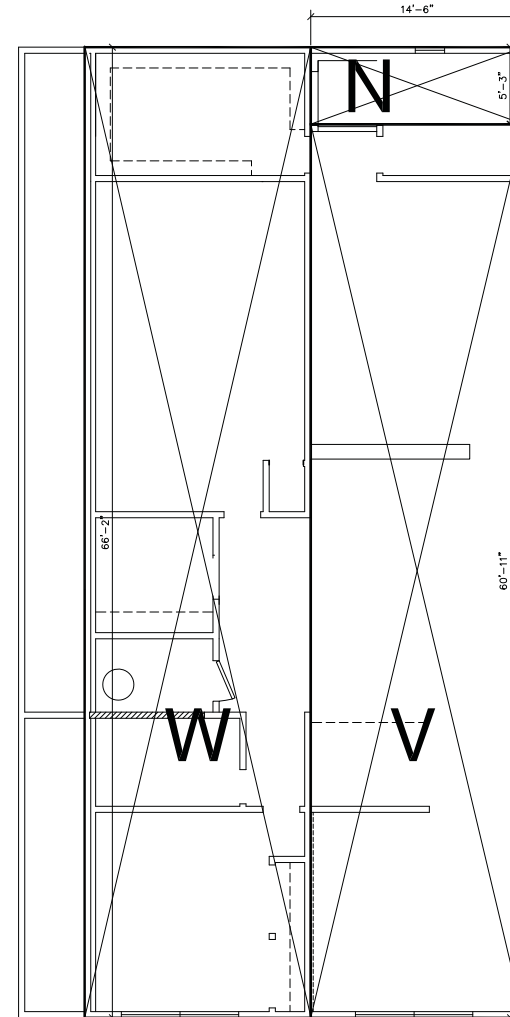
SCALE: NTS

JOB NO.: M15118

SHEET:

A-0.2

OF SHEETS



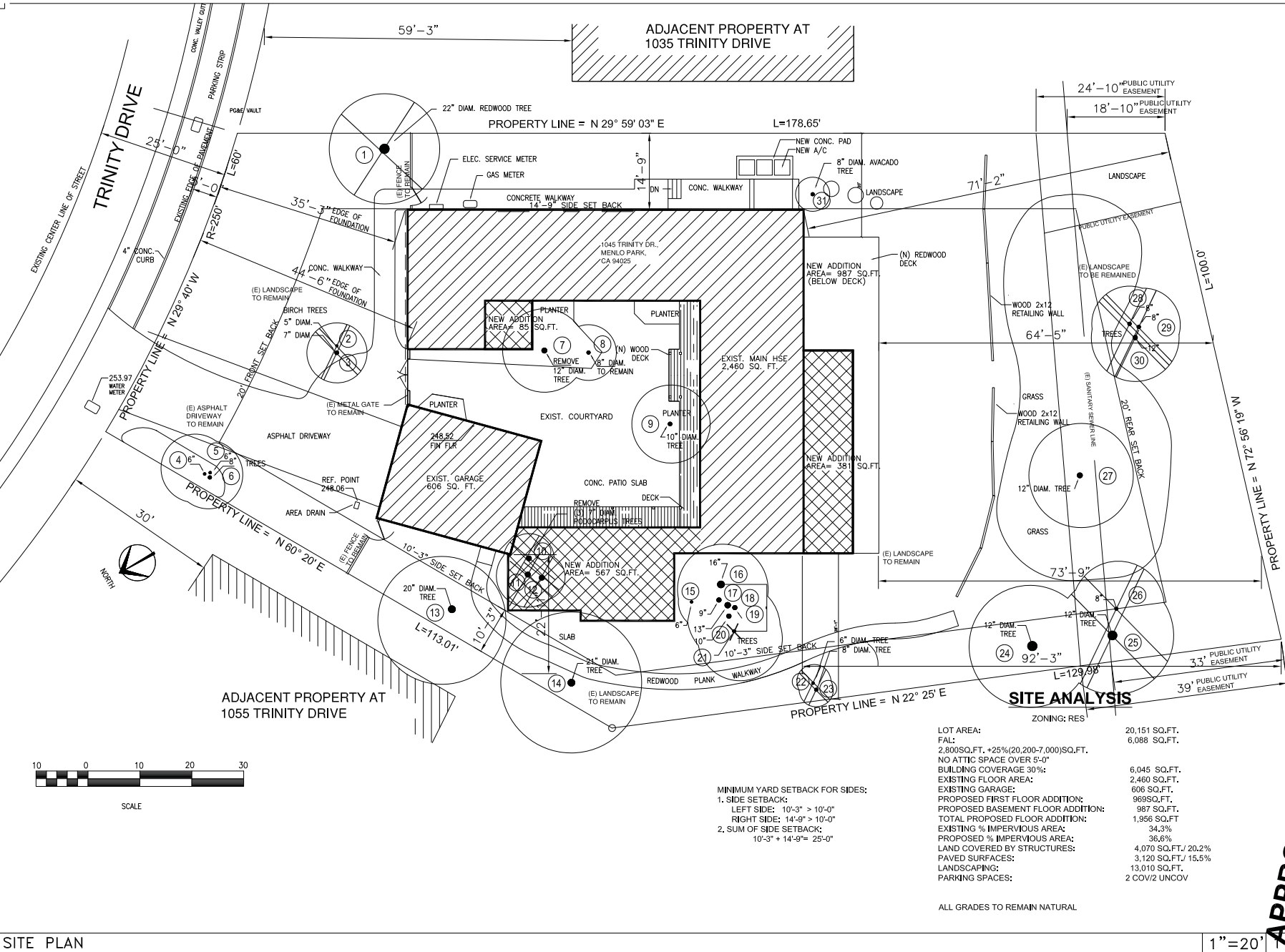
FLOOR AREA LIMIT CALCULATION:					
AREA	NEW EXISTING	DIMENSIONS	EXISTING AREA (SQ.FT.)	NEW AREA (SQ.FT.)	TOTAL AREA (SQ.FT.)
A	EXISTING	20'0"X14'0"	280.0		
B	EXISTING	4'0"X11'0"	44.0		
C	EXISTING	6'0"X10'11"	63.7		
DOORWAY	EXISTING	2'0"X2'0"X4	4.0		
	EXISTING	2'0"X2'11"	4.2		
EXISTING FLOOR AREA:			3,030		3,030
D	UPPER	NEW	2'0"X2'0"	4.0	
E	UPPER	NEW	1'0"X2'0"	2.0	
F	UPPER	NEW	1'0"X2'0"	2.0	
G	UPPER	NEW	1'0"X2'0"	2.0	
H	UPPER	NEW	1'0"X2'0"	2.0	
I	UPPER	NEW	1'0"X2'0"	2.0	
J	UPPER	NEW	1'0"X2'0"	2.0	
K	UPPER	NEW	1'0"X2'0"	2.0	
L	UPPER	NEW	1'0"X2'0"	2.0	
M	UPPER	NEW	1'0"X2'0"	2.0	
N	UPPER	NEW	1'0"X2'0"	2.0	
O	UPPER	NEW	1'0"X2'0"	2.0	
P	UPPER	NEW	1'0"X2'0"	2.0	
Q	UPPER	NEW	1'0"X2'0"	2.0	
R	UPPER	NEW	1'0"X2'0"	2.0	
S	UPPER	NEW	1'0"X2'0"	2.0	
T	UPPER	NEW	1'0"X2'0"	2.0	
U	UPPER	NEW	1'0"X2'0"	2.0	
V	UPPER	NEW	1'0"X2'0"	2.0	
W	UPPER	NEW	1'0"X2'0"	2.0	
X	UPPER	NEW	1'0"X2'0"	2.0	
Y	UPPER	NEW	1'0"X2'0"	2.0	
Z	UPPER	NEW	1'0"X2'0"	2.0	
TOTAL ADDITION:			3,055	3,055	
TOTAL FAL:				6,085-6088	SQ.FT.
DECK	UPPER	NEW	1'0"X2'10"	21.0	
DECK	UPPER	NEW	1'0"X1'2"	1.2	
BUILDING COVERAGE CALCULATION:					
D	UPPER	NEW	1'0"X2"	2.0	
E	UPPER	NEW	1'0"X2"	2.0	
F	UPPER	NEW	1'0"X2"	2.0	
G	UPPER	NEW	1'0"X2"	2.0	
H	UPPER	NEW	1'0"X2"	2.0	
I	UPPER	NEW	1'0"X2"	2.0	
J	UPPER	NEW	1'0"X2"	2.0	
K	UPPER	NEW	1'0"X2"	2.0	
L	UPPER	NEW	1'0"X2"	2.0	
M	UPPER	NEW	1'0"X2"	2.0	
N	UPPER	NEW	1'0"X2"	2.0	
O	UPPER	NEW	1'0"X2"	2.0	
P	UPPER	NEW	1'0"X2"	2.0	
Q	UPPER	NEW	1'0"X2"	2.0	
R	UPPER	NEW	1'0"X2"	2.0	
S	UPPER	NEW	1'0"X2"	2.0	
T	UPPER	NEW	1'0"X2"	2.0	
U	UPPER	NEW	1'0"X2"	2.0	
V	UPPER	NEW	1'0"X2"	2.0	
W	UPPER	NEW	1'0"X2"	2.0	
X	UPPER	NEW	1'0"X2"	2.0	
Y	UPPER	NEW	1'0"X2"	2.0	
Z	UPPER	NEW	1'0"X2"	2.0	
BUILDING COVERAGE TOTAL:			3,043	3,027	4,972-6045.3
<small>*AREA DIRECTLY BELOW UPPER LEVEL OR DECK, THEREFORE, NOT INCLUDED IN BUILDING COVERAGE</small>					

LOWER LEVEL FLOOR



PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-000

APPROVED UNDER PREVIOUS USE PERMIT



SITE ANALYSIS

ZONING:	RES	
LOT AREA:	20,151 SQ.FT.	
FAL:	6,088 SQ.FT.	
2,800 SQ.FT. +25% (20,200-7,000) SQ.FT.		
NO ATTIC SPACE OVER 5'-0"		
BUILDING COVERAGE 30%:	6,045 SQ.FT.	
EXISTING FLOOR AREA:	2,460 SQ.FT.	
EXISTING GARAGE:	606 SQ.FT.	
PROPOSED FIRST FLOOR ADDITION:	960 SQ.FT.	
PROPOSED BASEMENT FLOOR ADDITION:	987 SQ.FT.	
TOTAL PROPOSED FLOOR ADDITION:	1,956 SQ.FT.	
EXISTING % IMPERVIOUS AREA:	34.3%	
PROPOSED % IMPERVIOUS AREA:	36.6%	
LAND COVERED BY STRUCTURES:	4,070 SQ.FT./ 20.2%	
PAVED SURFACES:	3,120 SQ.FT./ 15.5%	
LANDSCAPING:	13,010 SQ.FT.	
PARKING SPACES:	2 COV/2 UNCOV	

MINIMUM YARD SETBACK FOR SIDES:
1. SIDE SETBACK:
LEFT SIDE: 10'-3" > 10'-0"
RIGHT SIDE: 14'-9" > 10'-0"
2. SUM OF SIDE SETBACK:
10'-3" + 14'-9" = 25'-0"

ALL GRADES TO REMAIN NATURAL



PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:

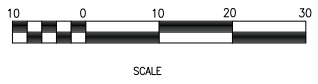
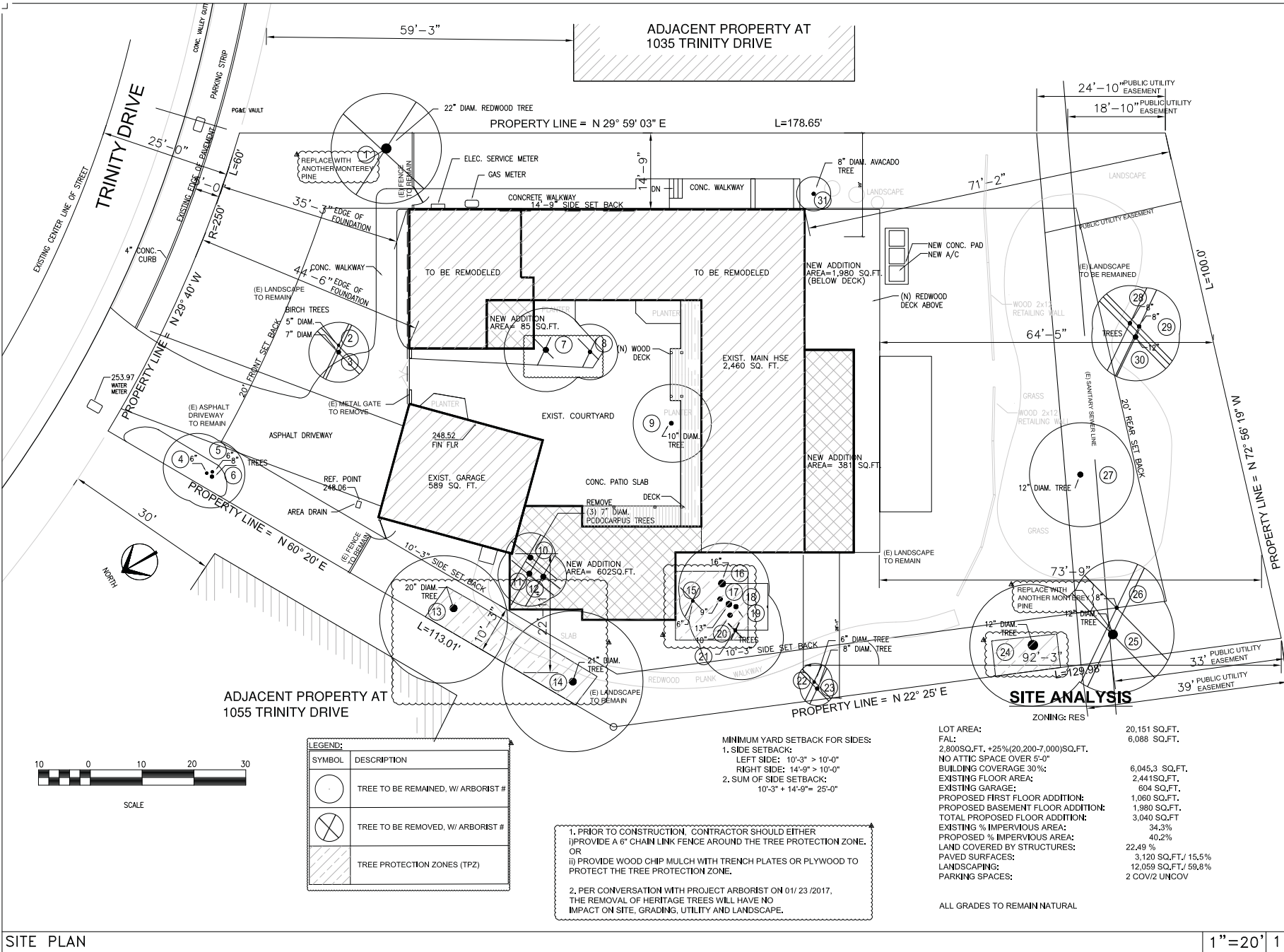
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11/27/16	RESPONSE TO RC		
08/12/17	E.I.C. COMMENT		
06/08/17	E.I.C. COMMENT		
04/18/17	STRUCT. CHANGE		
09/28/17	FIELD CHANGE		
11/06/17	FIELD CHANGE		

LOT / SITE PLAN

DRAWN:	Q.L.	CHECKED:	C.TING
DATE:	07/16/2016		
SCALE:	NTS		
JOB NO.:	M15118		
SHEET:			

A-1

OF SHEETS



LEGEND:

SYMBOL	DESCRIPTION
(Circle with dot)	TREE TO BE REMAINED, W/ ARBORIST #
(Circle with X)	TREE TO BE REMOVED, W/ ARBORIST #
(Hatched area)	TREE PROTECTION ZONES (TPZ)

1. PRIOR TO CONSTRUCTION, CONTRACTOR SHOULD EITHER
i) PROVIDE A 6" CHAIN LINK FENCE AROUND THE TREE PROTECTION ZONE, OR
ii) PROVIDE WOOD CHIP MULCH WITH TRENCH PLATES OR PLYWOOD TO PROTECT THE TREE PROTECTION ZONE.

2. PER CONVERSATION WITH PROJECT ARBORIST ON 01/23/2017, THE REMOVAL OF HERITAGE TREES WILL HAVE NO IMPACT ON SITE, GRADING, UTILITY AND LANDSCAPE.

MINIMUM YARD SETBACK FOR SIDES:
1. SIDE SETBACK:
LEFT SIDE: 10'-3" > 10'-0"
RIGHT SIDE: 14'-9" > 10'-0"
2. SUM OF SIDE SETBACK:
10'-3" + 14'-9" = 25'-0"

LOT AREA:	20,151 SQ.FT.
FAL:	6,088 SQ.FT.
2,800SQ.FT. +25%(20,200-7,000)SQ.FT.	
NO ATTIC SPACE OVER 5'-0"	
BUILDING COVERAGE 30%:	6,045.3 SQ.FT.
EXISTING FLOOR AREA:	2,441 SQ.FT.
EXISTING GARAGE:	604 SQ.FT.
PROPOSED FIRST FLOOR ADDITION:	1,060 SQ.FT.
PROPOSED BASEMENT FLOOR ADDITION:	1,980 SQ.FT.
TOTAL PROPOSED FLOOR ADDITION:	3,040 SQ.FT.
EXISTING % IMPERVIOUS AREA:	34.3%
PROPOSED % IMPERVIOUS AREA:	40.2%
LAND COVERED BY STRUCTURES:	22.4%
PAVED SURFACES:	3,120 SQ.FT./ 15.5%
LANDSCAPING:	12,059 SQ.FT./ 59.8%
PARKING SPACES:	2 COV/2 UNCOV

ALL GRADES TO REMAIN NATURAL



PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:	DATE	DESCRIPTION
11/27/16	11/27/16	USE PERMIT
11/20/16	11/20/16	RESPONSE TO PC
08/12/17	08/12/17	PC COMMENT
06/09/17	06/09/17	PC COMMENT
04/19/17	04/19/17	STRUCTURE CHANGE
09/28/17	09/28/17	FIELD CHANGE
11/06/17	11/06/17	FIELD CHANGE

AREA PLAN




DRAWN: Q.L.	CHECKED:
DATE: 07/16/2016	
SCALE: NTS	
JOB NO.: M15118	
SHEET:	

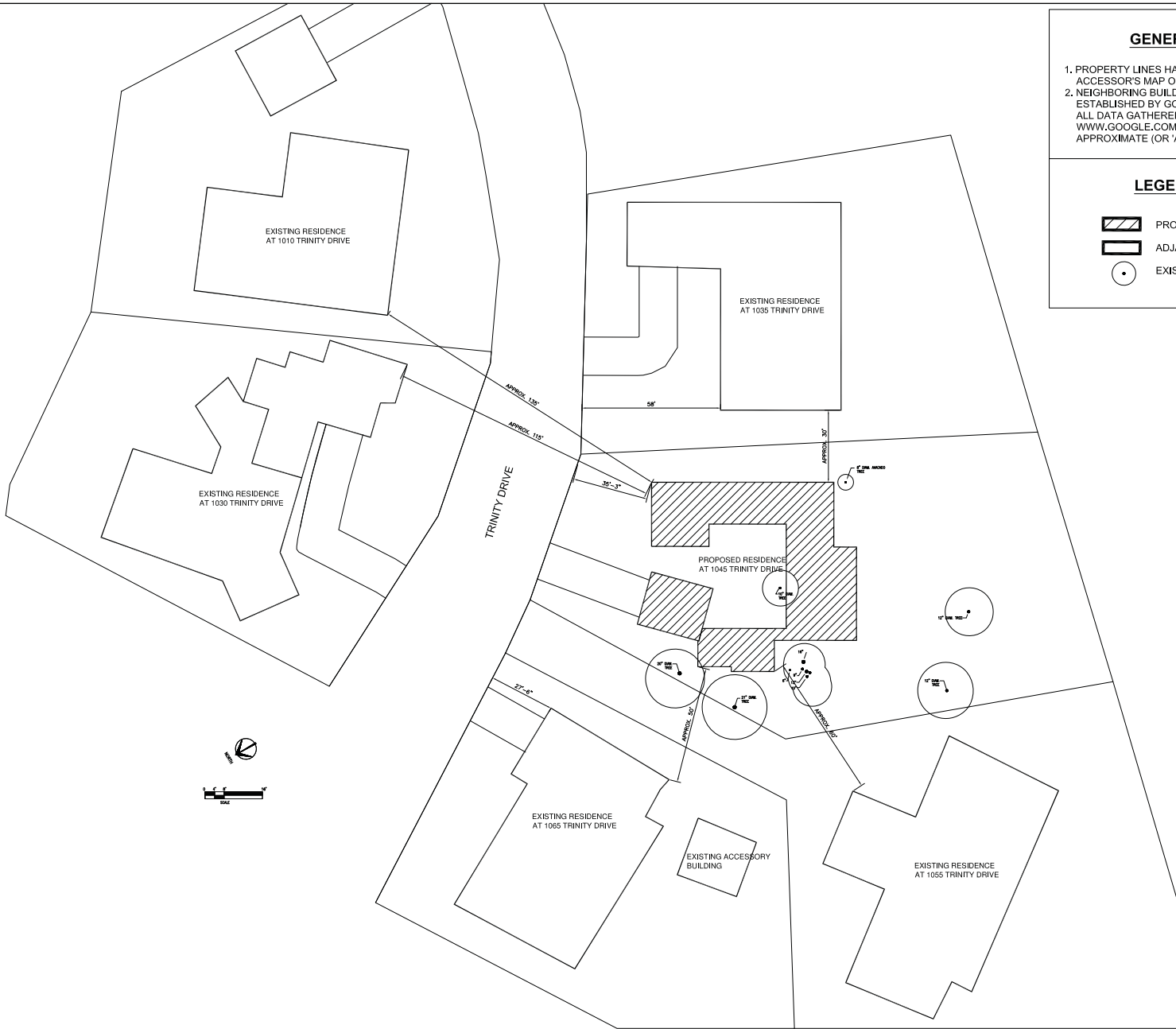
A-1.1
OF SHEETS

GENERAL NOTES:

1. PROPERTY LINES HAVE BEEN ESTABLISHED USING THE ACCESSOR'S MAP OF COUNTY OF SAN MATEO.
2. NEIGHBORING BUILDING LOCATIONS HAVE BEEN ESTABLISHED BY GOOGLE MAPS AND ARE APPROXIMATE. ALL DATA GATHERED FROM WWW.GOOGLE.COM/MAPS HAS BEEN NOTED AS APPROXIMATE (OR 'APPROX.') ON THE PLAN.

LEGEND

-  PROPOSED PROPERTY
-  ADJACENT PROPERTY
-  EXISTING TREES



AREA PLAN: 1045 TRINITY DRIVE

1"=20' 1



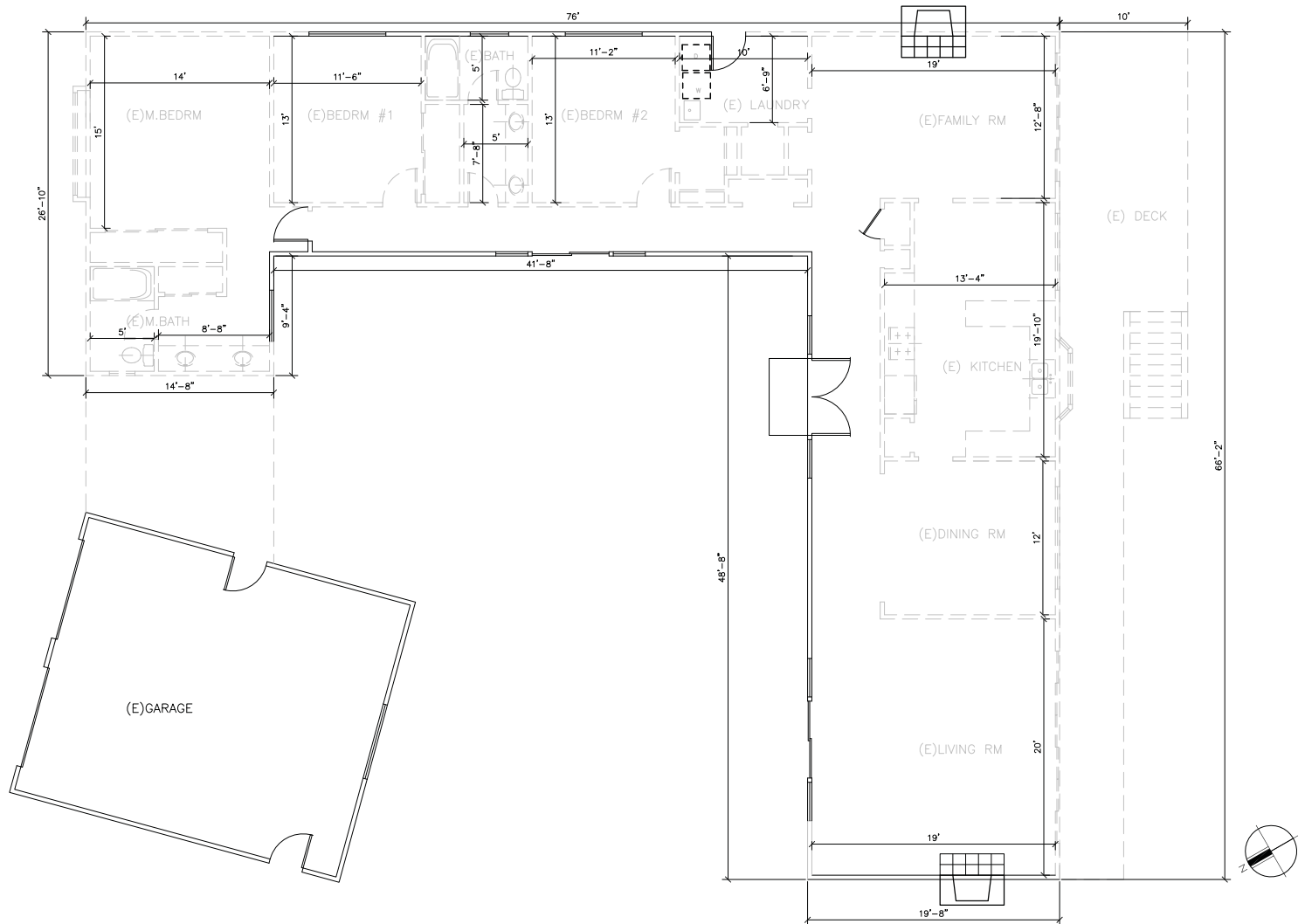
PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:	DATE:	DESCRIPTION:
11/27/16		USE PERMIT
11/27/16		RESPONSE TO PC
08/12/17		PC COMMENT
06/08/17		PC COMMENT
04/19/17		STRUCTURE CHANGE
09/28/17		FIELD CHANGE
11/06/17		FIELD CHANGE

**EXISTING
DEMO PLAN**

DRAWN: Q.L. CHECKED: C.TING
DATE: 07/16/2016
SCALE: NTS
JOB NO.: M15118
SHEET:

A-1.2
OF SHEETS





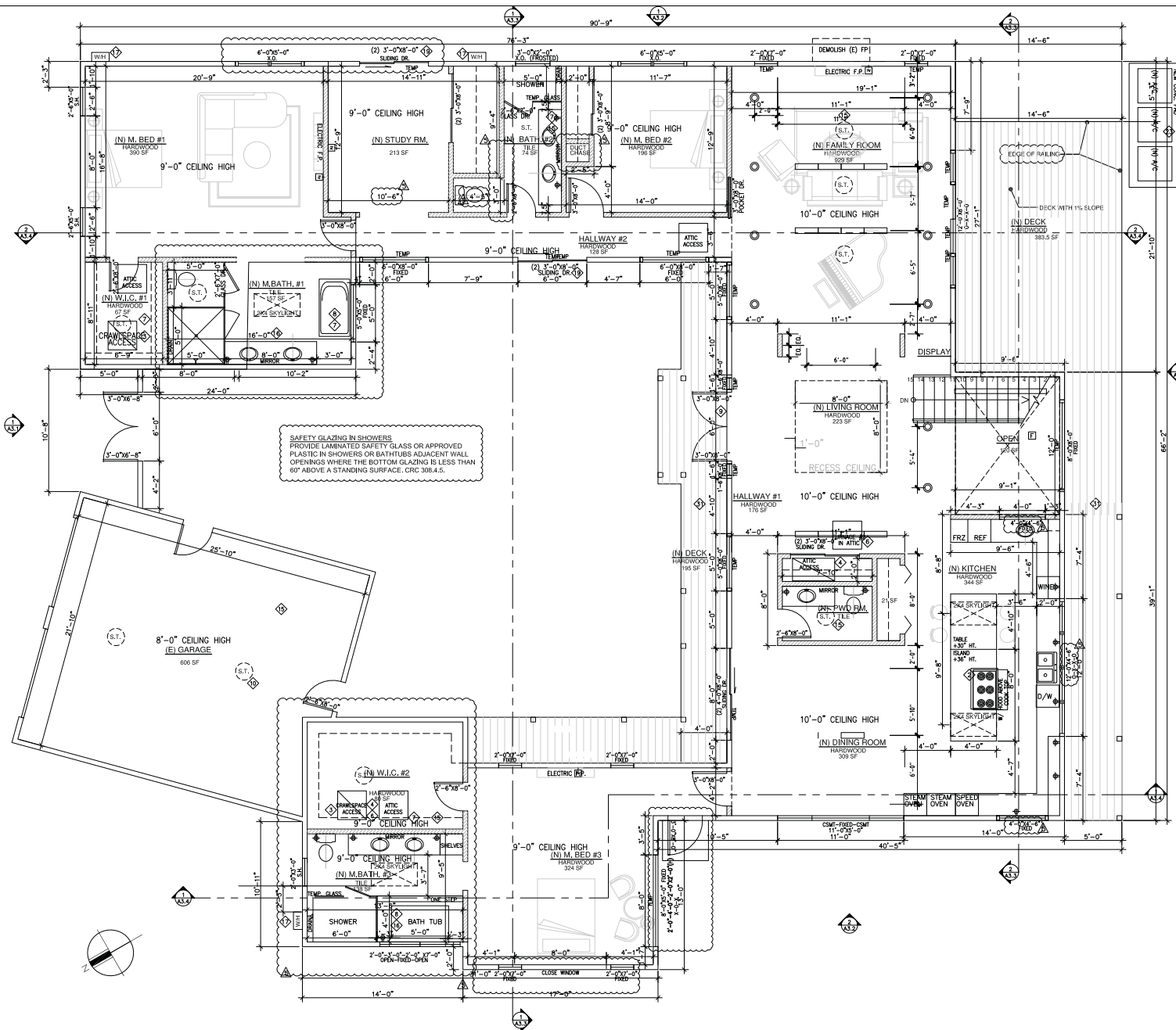
PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:	DATE:	DESCRIPTION:
11/27/16	11/27/16	RESPONSE TO PC
08/12/17	08/12/17	PC COMMENT
06/09/17	06/09/17	PC COMMENT
04/19/17	04/19/17	STRUCTURE CHANGE
09/28/17	09/28/17	FIELD CHANGE
11/06/17	11/06/17	FIELD CHANGE

**PROPOSED
UPPER LEVEL
FLOOR PLAN**

DRAWN: Q.L. CHECKED: C.TING
DATE: 07/16/2016
SCALE: NTS
JOB NO.: M15118
SHEET:

A-2.1
OF SHEETS



PROPOSED UPPER LEVEL FLOOR PLAN

1/4" = 1'



OCTOBER 28, 2017

PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

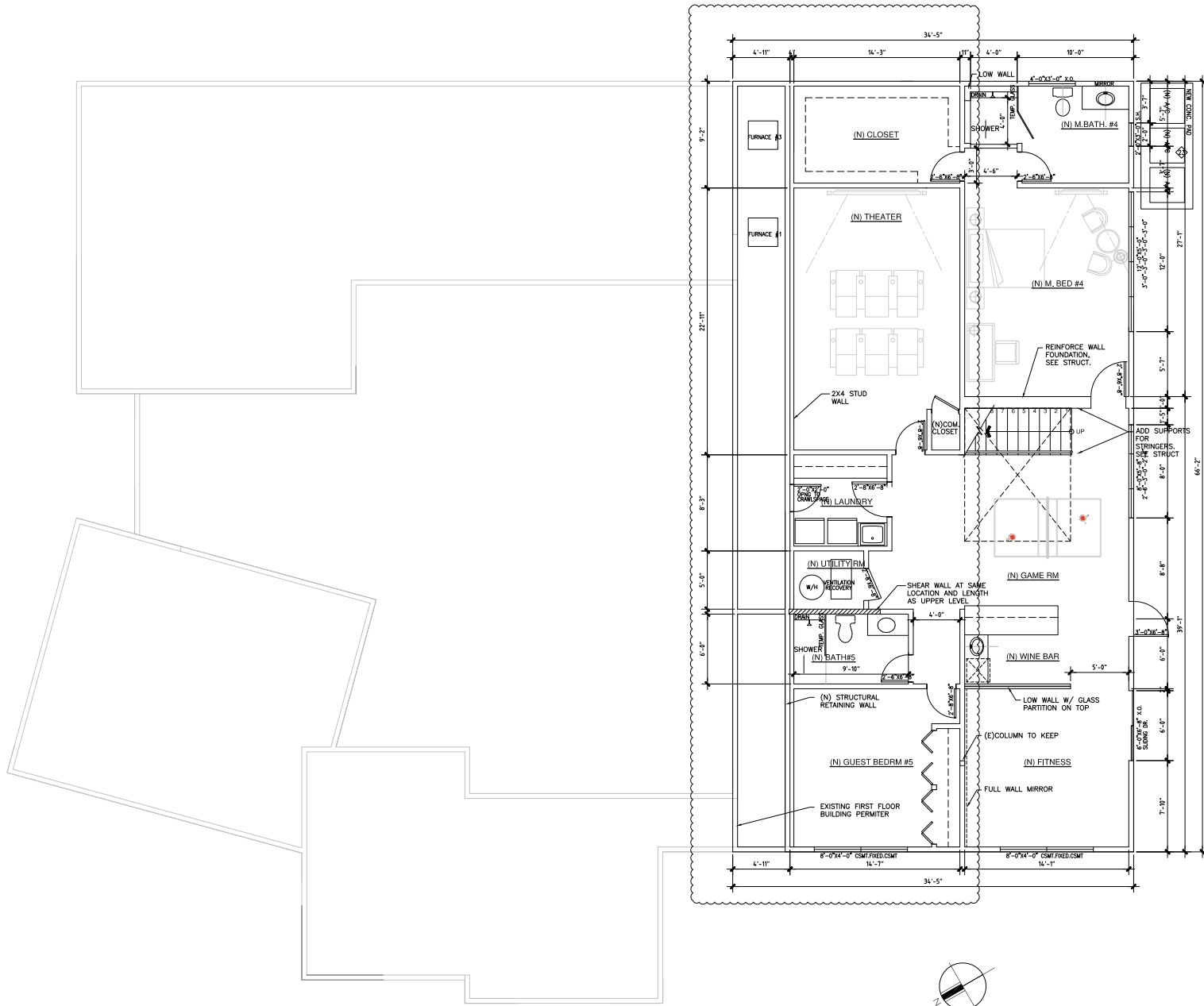
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11/27/16 USE PERMIT
11/27/16 RESPONSE TO PC
08/12/17 PC COMMENT
06/09/17 PC COMMENT
04/19/17 STRUCT. CHANGE
09/28/17 FIELD CHANGE
11/06/17 FIELD CHANGE

SHEET TITLE:
**PROPOSED
LOWER LEVEL
FLOOR PLAN**

DRAWN: Q.L.	CHECKED: C.TING
DATE: 11/01/2017	
SCALE: NTS	
JOB NO.: M15118	
SHEET:	

A-2.2

OF SHEETS



PROPOSED LOWER LEVEL FLOOR PLAN

1/4" = 1'



OCTOBER 28, 2017

PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:	11/27/16
10/20/16	RESPONSE TO RC
USE PERMIT	
	08/12/17
	RC COMMENT
	06/09/17
	RC COMMENT
	04/19/17
	STRUCTURE CHANGE
	09/28/17
	FIELD CHANGE
	11/06/17
	FIELD CHANGE
SHEET TITLE:	

FLOOR PLAN NOTES

DRAWN:	Q.L.	CHECKED:	C.TING
DATE:	11/01/2017		
SCALE:	NTS		
JOB NO.:	M15118		
SHEET:			

A-2.3

OF SHEETS

GENERAL NOTES:

- A. WINDOWS & DOOR SIZES ARE FOR DESIGN PURPOSE ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL PANED (U.N.O.)
- B. ALL GLASS DOORS: GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT ETC. SHALL BE SAFETY TEMPERED PER C.B.C. 2013 SECT. 2406.4.2 & 2406.4.3.
- C. BEDROOM WINDOWS SHALL HAVE MAX 44" HIGH SILL & MIN. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.7 S.F. FOR EGRESS.
- D. WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
- E. PROVIDE FIRE STOPS AROUND OPENING @ FLOOR & CEILING OF ALL FIREPLACES
- F. WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 1.6 GALLONS/FLUSH PER HEALTH & SAFETY CODE
- G. PROVIDE AC/DC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA ALL DETECTORS TO BE INTERCONNECTED, TYPICAL.
- H. AIR DUCTS IN GARAGE THAT PASS THRU LIVING/GARAGE COMMON WALL SHOULD BE 20 GA. STEEL OR THICKER
- I. OPENINGS AROUND GAS VENTS, DUCTS & PIPING @ EACH FLOOR SHOULD BE FIRE STOPPED.
- J. SHOWER & TUB-SHOWER COMB. SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVES OF PRESSURE BALANCE HANDLE.
- K. SHOWER HEAD, LAVATORY & SINK FAUCET SHALL HAVE A MAX. FLOW RATE OF 2.0 G.P.M.
- L. INSTALL ENERGY STAR BATHROOM FANS ON TIMER OR HUMIDISTAT
- M. FURNACE COMBUSTION AIR TO COMPLY WITH SEC. 702 CMC
- N. PROVIDE A MIN. 5 SQ.F.T. MECHANICAL VENTILATING SYSTEM FOR BATH, UTILITY ROOM, AND ROOM OF SIMILAR NATURE
- O. ALL SHOWER OR TUB GLASS DOOR SHALL BE TEMPERED GLASS.
- P. THE SHOWERS AND TUB/SHOWER WALLS SHALL HAVE A MOISTURE RESISTANT UNDERLAYMENT TO A MIN. HEIGHT OF 72" ABOVE THE DRAIN INLET PER SEC. 807.1.3 OF 2013 CBC.
- Q. ALL INT. DOORS TO BE SOLID CORE 1 3/8" THICK U.O.N. (SEE PLAN FOR SIZE)
- R. PROVIDE A LANDING W/ A MIN. DEPTH & WIDTH OF 36" AT ALL EXIT DOOR WHERE THE FINISH GRADE IS OVER 7 1/2" BELOW THE FINISH PER 2013 CBC.
- S. PROVIDE FLUORESCENT LIGHTS AT ALL BATHROOMS & KITCHEN.
- T. FURNACE COMBUSTION AIR TO COMPLY W/ SECT. 702 CMC.
- U. ALL 1ST FLOOR EXTERIOR & INTERIOR DOORS SHOULD BE 8'-0" IN HEIGHT, U.N.O. ALL BASEMENT FLOOR EXTERIOR & INTERIOR DOORS SHOULD BE 6'-8" IN HEIGHT, U.N.O.
- V. FAU. 8" VENT TO OUTSIDE AIR.
- W. WH 8" VENT TO OUTSIDE AIR. PROVIDE STRAPING.
- X. 3" HIGH 4" DIA. POST IN FRONT OF WH & FUR, W/ CONCRETE FILLED. SCHED 40 STEEL PIPE W/ 12" MIN. EMBED.
- Y. PROVIDE A MIN. OF 5 AIR CHANGE/HR MECHANICAL VENTILATING SYSTEM FOR BATH, UTILITY ROOM, AND ROOM OF SIMILAR NATURE.

FIRE SEPARATION BETWEEN HOUSE AND GARAGE:

1. THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. PROVIDE V2" GYPSUM BOARD AT WALL BETWEEN GARAGE AND RESIDENCE APPLIED TO THE GARAGE SIDE. CRC TABLE R 302.6.
THE SEPARATION TERMINATES AT THE UNDER SIDE OF ROOF SHEATHING OR AT CEILING.
2. IF THE GARAGE CEILING WILL BE PART OF THE REQUIRED FIRE SEPARATION FRAMING PLANS SHOW 24" ON CENTER JOISTS REQUIRING ONE 5/8" TYPE "V2" GYP. BD. ON 2X OR METAL CROSS STRIPPING AT 16" ON CENTER CROSSING JOISTS WITH ALL EDGES AND ENDS BACKED BY STRIPPING MEMBERS. ALTERNATE METHOD IS TWO LAYERS 5/8" TYPE "V2" GYP. BD. OVER 24" ON CENTER JOISTS WITH GYP. BD. JOINTS STAGGERED AT LEAST ONE JOIST SPACING AT WALLBOARD EDGES AND ENDS.
3. FOR CEILING AS PART OF THE FIRE SEPARATION, ALL WALLS, BEAMS, HEADERS, AND POSTS ARE TO BE PROTECTED WITH FIRE RESISTIVE MATERIALS.
4. ALL PIPING PENETRATIONS TO BE METAL, INCLUDING ANY PIPING EXPOSED ON GARAGE SIDE. (CRC R304.1)
5. DUCTS PENETRATING THE FIRE SEPARATION TO BE:
5.1 AT LEAST 26 GAUGE GALVANIZED STEEL
5.2 CONTINUOUS FROM APPLIANCE THROUGH THE FIRE SEPARATION
5.3 NO OPENINGS TO THE GARAGE NOR NON METALLIC CONNECTIONS.

CARBON MONOXIDE ALARM NOTES:

AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN SLEEPING UNITS WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARMS REQUIRED BY SECTIONS R315.1 AND 315.2 SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S); ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH SECTION R315. ALL APPLICABLE STANDARDS AND REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL, FOR SMOKE ALARM.

ATTIC VENT CALS:

ROOF AREA VENT REQUIRED:
LOWER VENT:
USE EAVE RAFTER VENT (7.5"x22.375"=0.75SF)
UPPER VENT:
20"x18" EYEBROW VENT(1.38SF)

ROOF AREA: 3,503 S.F.
RECD VENT AREA: 3,395/150 = 23.75 SF
RECD LOWER VENTS: 23.75x 50 %=0.75 = 16
RECD UPPER VENTS: 23.75x 50 %=11.89 = 9

SUBFLR. VENTILATION:

MASTER BEDROOM #3
NEW AREA VENT REQ'D:
5671500 = 3.78 SF

VENT PROVIDED:
USE 8"x14" GALVANIZED VENT SCREEN
(FREE FLOW AREA 0.57 SF)
3.78/0.57 = 7
TOTAL OF 7 PLACE PROVIDED

MASTER BATHROOM #1
NEW AREA VENT REQ'D:
651500 = 0.26 SF

VENT PROVIDED:
USE 8"x14" GALVANIZED VENT SCREEN
(FREE FLOW AREA 0.57 SF)
0.26/0.57 = 1
TOTAL OF 1 PLACE PROVIDED

FLOOR PLAN NOTES:

- ◇ ALL INTERIOR FINISH MATERIALS, KITCHEN EQUIPMENTS, PLUMBING FIXTURES AND ELEC. FIXTURES SHALL BE SELECTED BY OWNERS, PROVIDE INTERCOM, SECURITY & VACUUM AT OWNER'S OPTION.
- ◇ EXTERIOR WALL & PLUMBING WALL: 2X6 @ 16"O.C., TYP.
- ◇ KITCHEN NOTES:
A. COOK TOP WITH EXHAUST AIR TO EXTERIOR WALL.
B. HOME CENTER WITH UPPER CABINET AND LIGHT.
C. DISH-WASHER, GARBAGE DISPOSAL, MICRO-WAVE, OVEN AND OTHER EQUIPMENTS SHALL BE SELECTED BY OWNER BEFORE CONSTRUCTION.
D. PROVIDE GFCI PROTECTED OUTLETS AT COUNTER TOP.
E. PROVIDE 2 MIN. SEPARATE 20 AMP CIRCUITS FOR SMALL KITCHEN APPLIANCES. PROVIDE 18"x24" UNDERFLOOR ACCESS
- ◇ PROVIDE 30"x30" ATTIC ACCESS, MIN. 30" HEADROOM CLEARANCE.
- ◇ SELF-CLOSING & SELF-LATCHING SOLID CORE DOOR: 1-3/8" THICK WITH 20 MINUTES RATED, (BY: CAL-DOOR CO. OR APPROVED EQUAL)
- ◇ FURNACE IN ATTIC.
- ◇ BATH TUB AND SHOWER NOTES:
A. FINISHED WALL W/ NONABSORBENT SURFACE UP TO 72" ABOVE FLOOR
B. TEMPERED GLASS ENCLOSURE.
C. PROVIDE FIBER-REINFORCED GYPSUM BACKERS (OR APPR. EQ.)
D. ALL BATH TUB AND SHOW. SHOULD COMPLY WITH CRC R307.2 AND R702.4.2, TYP.
E. PROVIDE W/R GREEN GYP. BD. @ AROUND SHOWER, TUBS PER UBC CHAPTER 25
- ◇ CUSTOM TUB WITH CERAMIC TILE SHELF AND EDGE. PROVIDE ACCESS PANEL AT MOTOR SIDE. THE PANEL SHALL BE LARGE ENOUGH FOR LARGEST EQUIPMENT.
- ◇ ALL EXTERIOR WOOD DOORS SHALL BE SOLID CORE WITH WEATHER STRIP.
- ◇ GARAGE & UTILITY ROOM CONSTRUCTION: (ONE HOUR RATED)
5/8" GYP. BD. TYPE "X" ON WALL, CEILING, AND POSTS. FIRE RESISTANT CAULKING AT PENETRATIONS. (SEE FIRE SEPARATION NOTS FOR MORE INFO.)
FIRE SEPARATION WALL UP TO ROOF FRAMING, SEE FIRE SEPARATION NOTES FOR INFORMATION.
- ◇ PROVIDE 4" DRYER VENT. DRYER SHALL BE A LISTED & APPROVED PRODUCT TESTED BY A RECOGNIZED TESTING AGENCY, IF THE VENT MORE THAN 14' LONG.
- ◇ 7.75" MAX. FOR IN-SWINGING DOORS & 1/2" MAX. FOR OUT-SWINGING DOORS FROM THE TOP OF THE THRESHOLD TO THE LANDING AT THE EXTERIOR DOORS.
- ◇ THE CLOTHES DRYERS SHALL BE VENTED TO THE OUTSIDE WITH A MIN. 4" EXHAUST DUCT EQUIPPED WITH A BACK-DRAFT DAMPER, C.M.C. SECTION 504.3.1.
THE DRYER TERMINATES TO THE OUTSIDE OF BLDG TO BE MIN. 3' FROM OPENING. MAX. LENGTH OF THE DRYER SHALL NOT EXCEED 14' W/ (2)-90 DEGREE ELBOWS EXHAUST DUCT EQUIPPED WITH A BACK-DRAFT DAMPER, CMC 504.3.2.2.
- ◇ THE FIRE PLACES ARE GAS APPLIANCES CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION AND THEY WILL BE INSTALLED AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS. FIREPLACE MUST BE DIRECT-VENT SEALED COMBUSTION OR APPROVED EQUAL.
- ◇ SUN TUNNEL 14" DIA.
- ◇ SKYLIGHT 2'X4', ICC #NER-216 OR APPROVED EQUAL
- ◇ INSTALL TANKLESS WATER HEATER
- ◇ EXHAUST DUCT TO ROOF OR THRU WALL, PER 510.5.2 OF 2013 CPC.
- ◇ INSTALL MIN. OF 3'X3' EXTERIOR LANDING, (CRC R302) & MAXIMUM SLOPE OF ANY LANDING SHALL NOT EXCEED 1/4" PER FOOT. (CRC R311.3)
- ◇ 7.5" MAX. RISE & 10" MIN. TREAD, HANDRAIL REQUIRED IF 4 OR MORE STEPS.
- ◇ PROVIDE A 100 SQ.IN. LOUVER IN THE DOOR FOR MAKEUP AIR, (CMC 504.3.1.)
- ◇ PROVIDE AC CONDENSER UNITS SUPPORTED FROM THE GROUND SHALL REST ON A CONCRETE OR OTHER APPROVED BASE EXTENDING NOT LESS THAN 3" ABOVE THE GROUND LEVEL, CMC 1106.2.
- ◇ ISOKERN 48" GAS FIREPLACE (ICC # ER-5017) OR APPROVED EQUAL. PROVIDE MIN. 20" DEEP NON-COMBUSTIBLE HEARTH & SURROUNDS. FUEL GAS LOOSE KEY LOG LIGHTER AND GLASS DOORS-INSTALL PER MANUFACTURERS SPECIFICATIONS.
- ◇ VENTILATION @ LAUNDRY & WATER CLOSET ROOM TO COMPLY WITH 2013 CMC TABLE 402.1 & 504.6.
- ◇ FURNACE COMBUSTION AIR TO COMPLY WITH 602 CMC
- ◇ WALL & SOFFITS OF ENCLOSED SPACE UNDER STAIR TO BE ONE-HOUR RATED BY PROVIDING 5/8" TYPE "X" GYP. BD. @ ALL WALLS AND CEILINGS.
- ◇ R-15 INSULATION ON WALL OF UTILITY & LAUNDRY ROOMS.
- ◇ T & P VALVE DRAIN LINE TO DISCHARGE TO THE EXTERIOR W/ 2% SLOPE.
- ◇ PROVIDE FIRE SPRINKLER IN THE COVERED PORCH.
- ◇ INSTALL FURNACE IN CRAWL SPACE TO SERVE THE BASEMENT

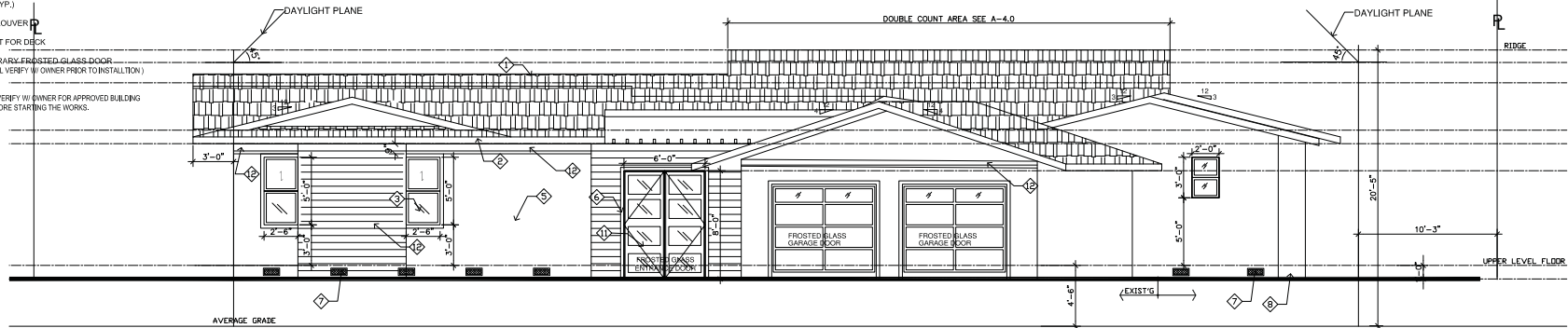
FLOOR PLAN NOTES

N.T.S. 1

ELEVATION NOTES:

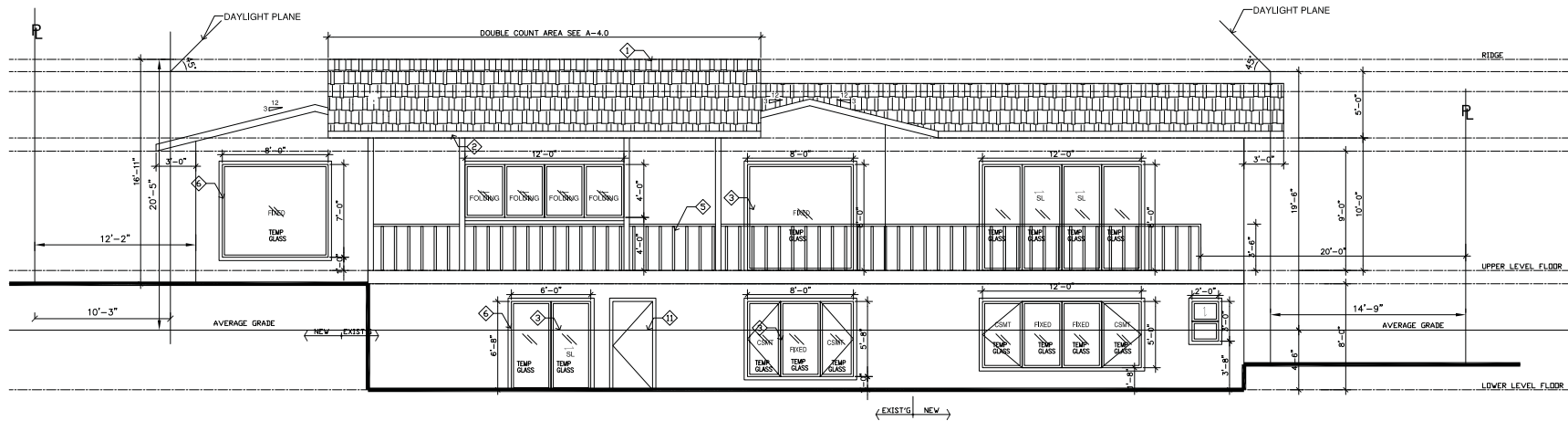
- 1 ROOF: NEW COMPOSITION ROOF, CLASS "A" 40 YEARS.
ON 50 LB BLDG FELT OVER PLYWOOD SHEATHING.
ROOF SLOPE SHALL BE 12:3
- 2 5" 26 GA. G.I. PROFILE GUTTER ON 2X8 S4S SURFACE FASCIA BOARD
WITH DOWNSPOUT AT PROPER LOCATIONS (ALL ROOF DRAINS SHALL
BE DRAINED TO STREET DIRECTLY)
- 3 DOUBLE GLAZED WINDOWS (TYP.)
- 4 CUSTOM SOLID CORE DOORS.
- 5 MATCH EXISTING STUCCO. EXT. WALL SHALL BE PROVIDED WITH A MIN.
OF ONE LAYER OF TYPE I NO. 15 ASPHALT SATURATED FELT COMPLYING
WITH ASTM D226 OR OTHER APPROVED MATERIAL SHALL BE PROVIDED.
CRG: RT032.
- 6 WOOD SILL OR TRIM.
- 7 SCREEN VENT WITH 1/4" WIRED MESH (TYP.)
- 8 WEEP SCREED (TYP.)
- 9 14X22 WD. VENT LOUVER
- 10 NEW FLOOR JOIST FOR DECK
- 11 NEW CONTEMPORARY FROSTED GLASS DOOR
(CONTRACTOR SHALL VERIFY W/ OWNER PRIOR TO INSTALLATION)

NOTES:
THE CONTRACTOR SHALL VERIFY W/ OWNER FOR APPROVED BUILDING
COLOR AND MATERIAL BEFORE STARTING THE WORKS.



FRONT /SOUTH ELEVATION

1/4" 1



REAR /NORTH ELEVATION

1/4" 1

ACLARA
ENGINEERING
CONSULTING

ARCHITECTURAL
ENGINEERING
CONSTRUCTION
P.O. BOX 53892
SAN JOSE, CA 95153
TEL: 408 228-7526
FAX: 408 229-1688



APPROVED UNDER PREVIOUS USE PERMIT
 PROPOSED REMODEL RESIDENCE AT
 1500 UNIVERSITY DR.,
 MENLO PARK, CA 94025
 APN: 074-23-000
 SHEET TITLE:
PROPOSED ELEVATIONS
 DRAWN: Q.L. CHECKED: C.TING
 DATE: 07/16/2016
 SCALE: NTS
 JOB NO.: M15118
 SHEET:
A-3.1
 OF SHEETS



PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:

11/27/16	USE PERMIT
11/20/16	RESPONSE TO PC
08/12/17	PC COMMENT
06/09/17	PC COMMENT
04/19/17	STRUCTURE CHANGE
09/28/17	FIELD CHANGE
11/06/17	FIELD CHANGE

SHEET TITLE:

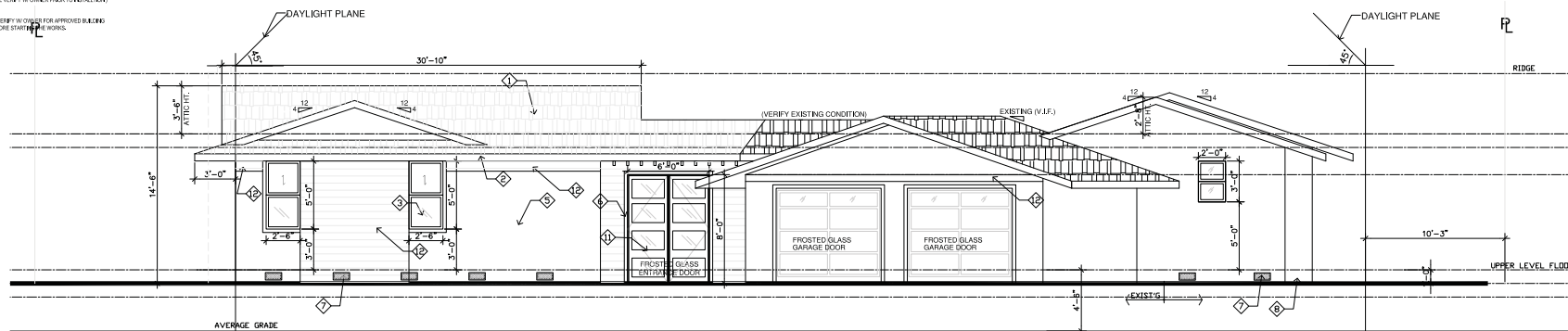
PROPOSED ELEVATIONS

DRAWN: Q.L. CHECKED: C.TING
DATE: 07/16/2016
SCALE: NTS
JOB NO.: M15118
SHEET:

A-3.1
OF SHEETS

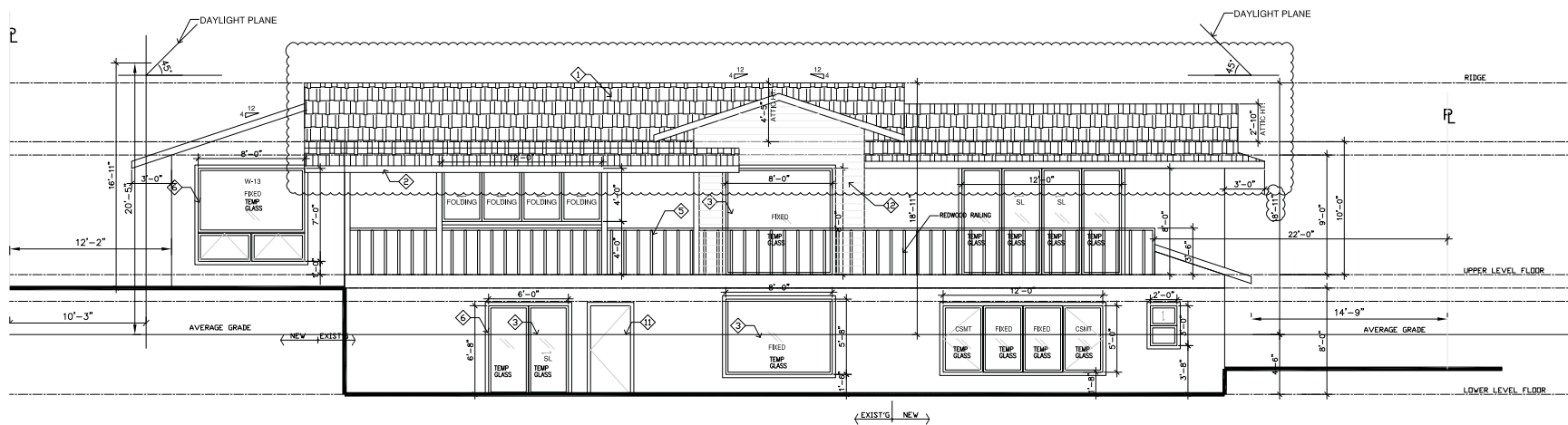
- ELEVATION NOTES:**
- ◇ ROOF: NEW COMPOSITION ROOF, CLASS "A" 40 YEARS, ON 2x12 BILDGERS' COVER IN WOOD SHEATHING, ROOF SLOPE SHALL BE 12:12
 - ◇ 7" RIGID G.I. PROFILE GUTTER ON 2x6 S4S SURFACE FASCHA BOARD, WITH DOWNSPOUT AT PROPER LOCATIONS (ALL ROOF DRAINS SHALL BE DRAINED TO STREET DIRECTLY)
 - ◇ DOUBLE GLAZED ALUMINUM CLAD WINDOWS (TYP.)
 - ◇ CUSTOM SOLID CORE DOORS
 - ◇ MATCH EXISTING STUCCO, EXT. WALL SHALL BE FINISHED WITH A MIN. ONE (1) LAYER OF TYPE I (NO. 15) ASPHALT SATURATED FELT COMPLYING WITH ASTM D2278 OR OTHER APPROVED MATERIAL, SHALL BE PROVIDED, ONE (1) LAYER.
 - ◇ WOOD SILL OR TRIM
 - ◇ SCREEN VENT WITH 1/4" WIRED MESH (TYP.)
 - ◇ WEEP SCREEN (TYP.)
 - ◇ 14032 WEL VENT LOUVER
 - ◇ NEW FLOOR JOIST FOR DECK
 - ◇ NEW CONTEMPORARY FROSTED GLASS DOOR (CONTRACTOR SHALL VERIFY W/ OWNER PRIOR TO INSTALLATION)

NOTES:
THE CONTRACTOR SHALL VERIFY W/ OWNER FOR APPROVED BUILDING COLORING MATERIAL BEFORE STARTING WORKS.



FRONT /SOUTH ELEVATION

1/4" = 1'



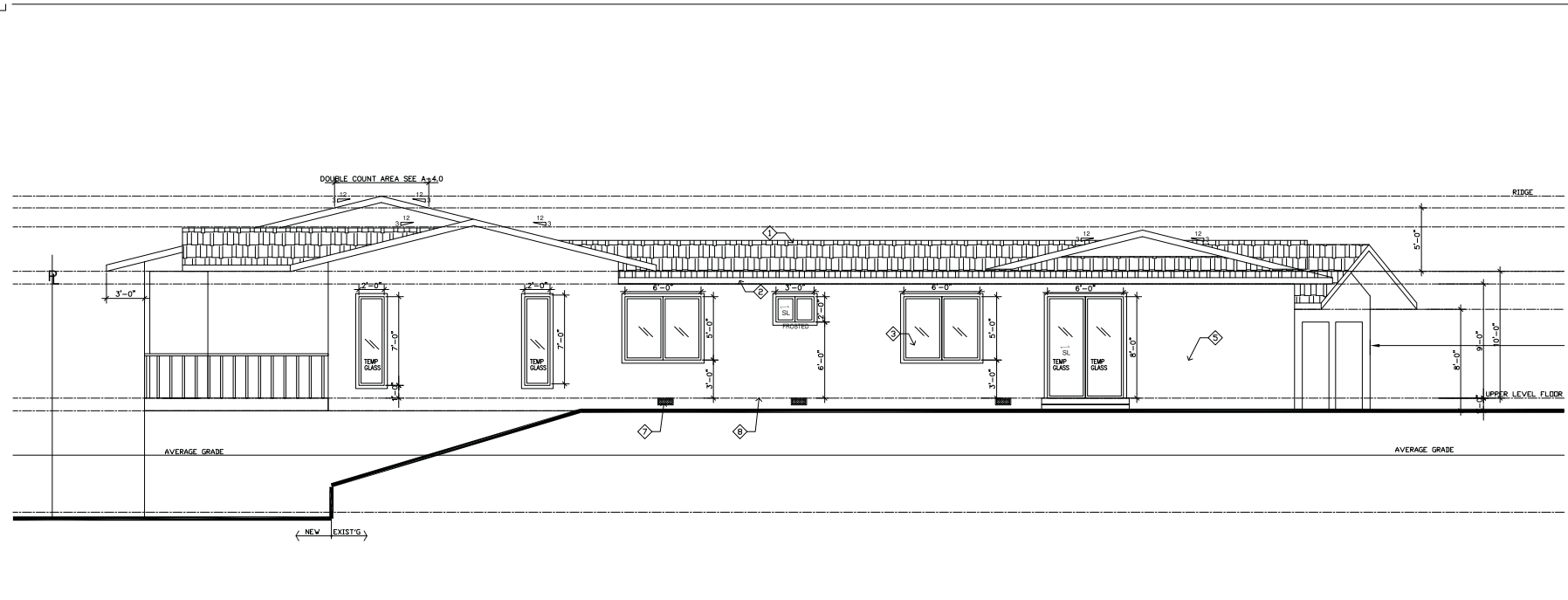
REAR /NORTH ELEVATION

1/4" = 2'

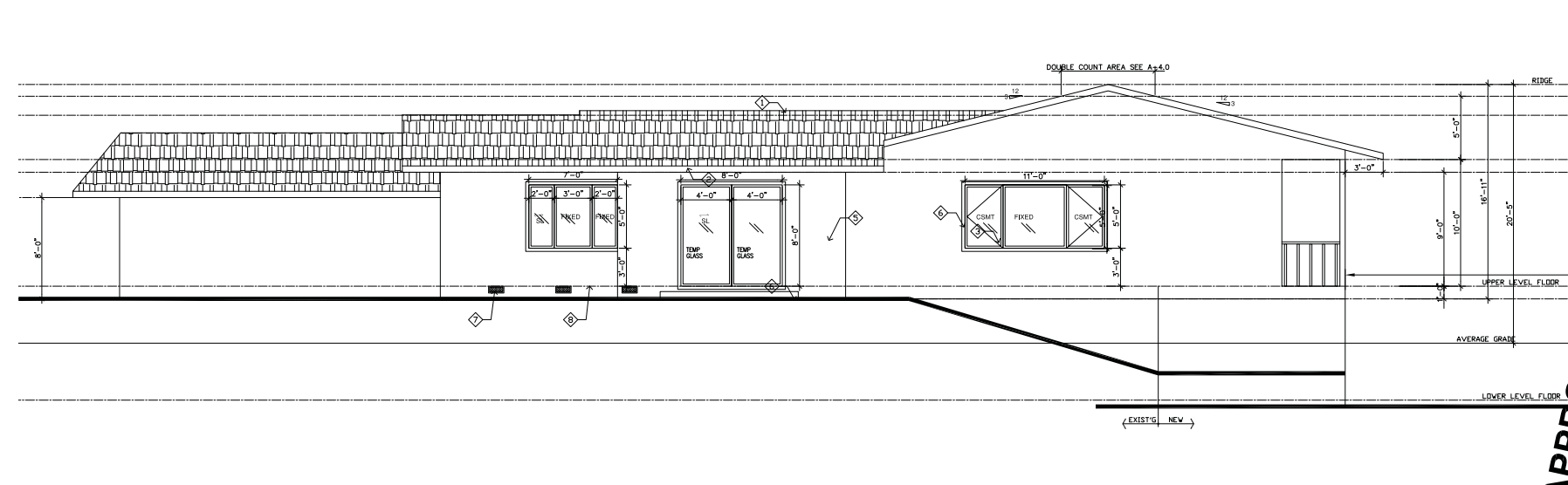


PROPOSED REMODEL RESIDENCE AT
MOUNTAIN VIEW DR.,
MENLO PARK, CA 94025
APN: 074-23-000

APPROVED UNDER PREVIOUS USE PERMIT



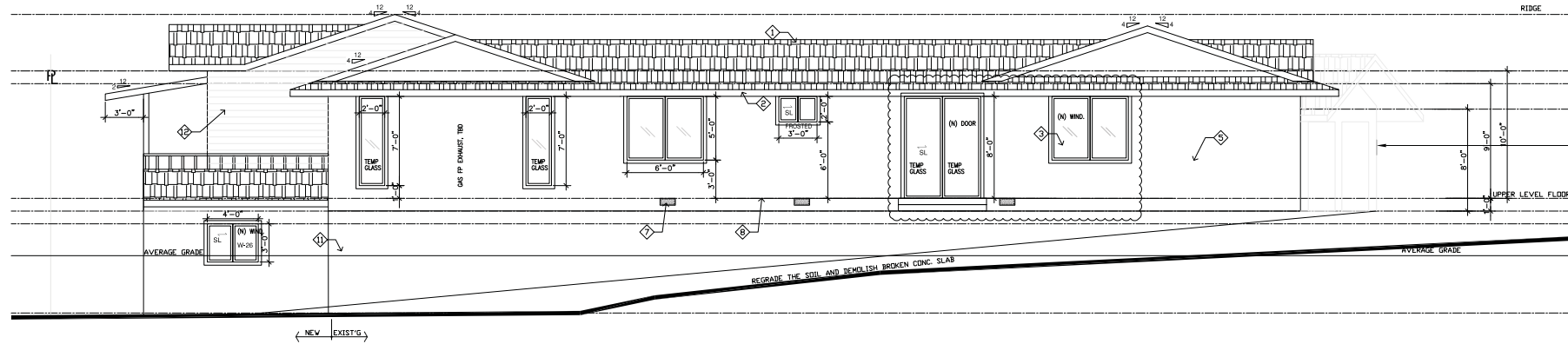
LEFT /WEST ELEVATION 1/4" = 1'



RIGHT /EAST ELEVATION 1/4" = 1'

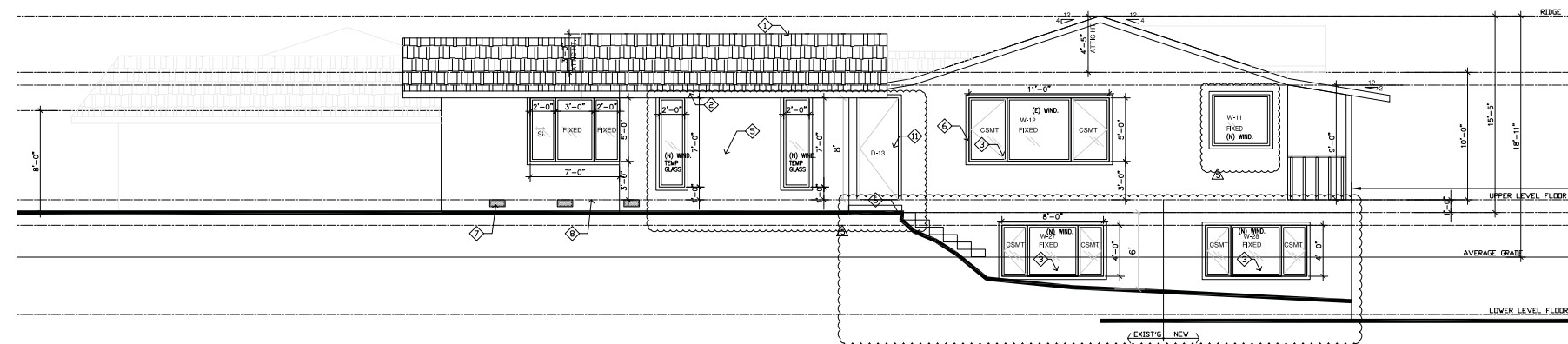
REVISION	19/20/16	
REVISION	07/16	
REVISION	07/16	CHANGE TO PC
SHEET TITLE:		
PROPOSED ELEVATIONS		
DRAWN:	Q.L.	CHECKED: C.TING
DATE:	07/16/2016	
SCALE:	NTS	
JOB NO.:	M15118	
SHEET:		

A-3.2
OF SHEETS



LEFT /WEST ELEVATION

1/4" = 1'



RIGHT /EAST ELEVATION

1/4" = 1'

PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:

11/20/16	USE PERMIT
11/27/16	RESPONSE TO PC
08/12/17	PC COMMENT
06/09/17	PC COMMENT
04/19/17	STRUCTURE CHANGE
09/28/17	FIELD CHANGE
11/06/17	FIELD CHANGE

SHEET TITLE:

PROPOSED ELEVATIONS

DRAWN: Q.L. CHECKED: C.TING
DATE: 07/16/2016
SCALE: NTS
JOB NO.: M15118
SHEET:

A-3.2

OF SHEETS



OCTOBER 28, 2017

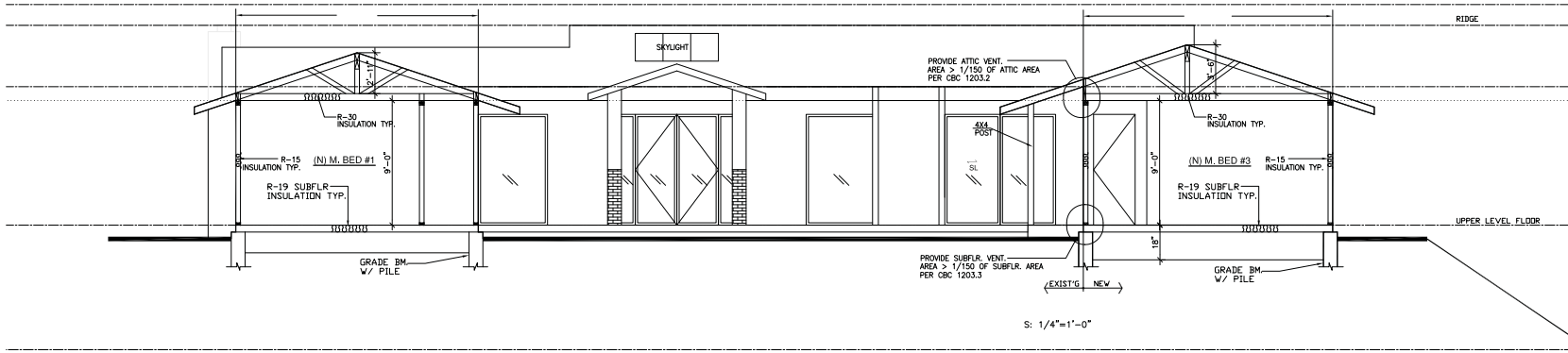
PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

REVISIONS:
11/27/16 USE PERMIT
11/27/16 RESPONSE TO PC
08/12/17 PC COMMENT
06/08/17 PC COMMENT
04/18/17 STRUCTURE CHANGE
09/28/17 FIELD CHANGE
11/06/17 FIELD CHANGE
SHEET TITLE:

SECTIONS

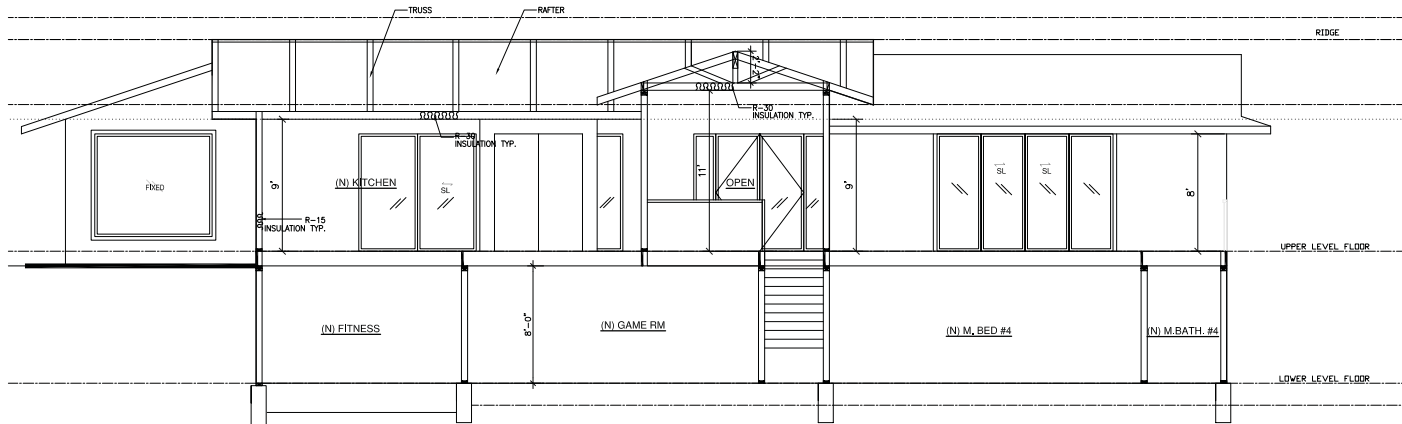
DRAWN: Q.L.	CHECKED: C.TING
DATE: 07/16/2016	
SCALE: NTS	
JOB NO.: M15118	
SHEET:	

A-3.3
OF SHEETS



SECTION

1/4" 1



SECTION

1/4" 2



PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

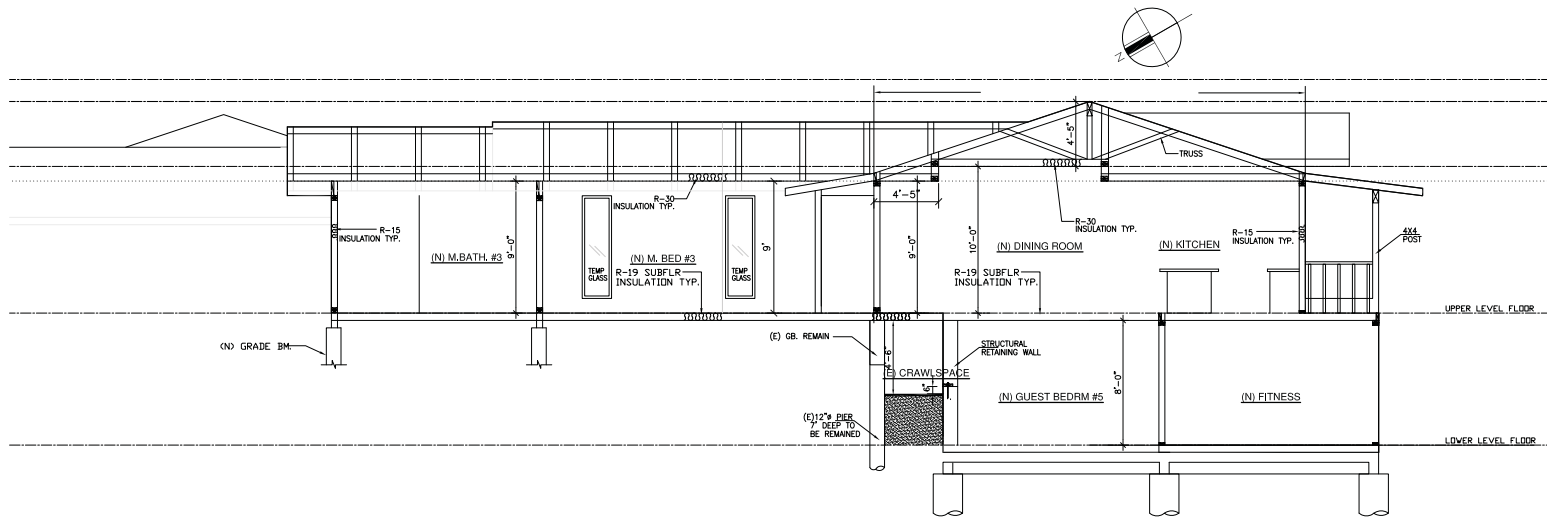
REVISIONS:

11/27/16	USE PERMIT
11/20/16	RESPONSE TO PC
08/12/17	PC COMMENT
06/09/17	PC COMMENT
04/19/17	STRUCT. CHANGE
09/28/17	FIELD CHANGE
11/06/17	FIELD CHANGE

SECTIONS

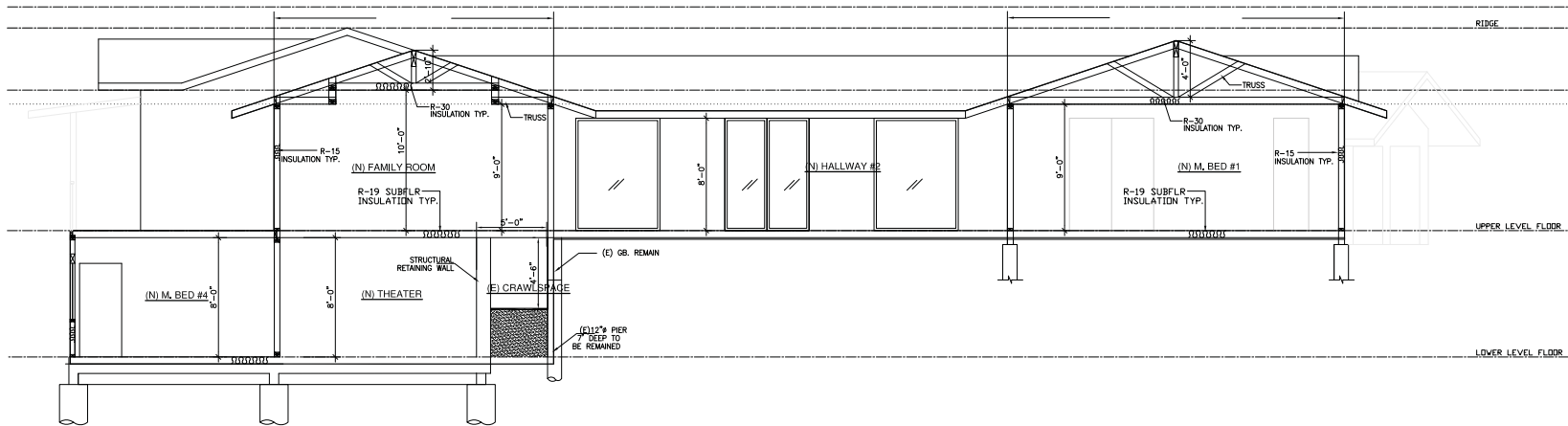
DRAWN: Q.L. CHECKED: C.TING
DATE: 07/16/2016
SCALE: NTS
JOB NO.: M15118
SHEET:

A-3.4
OF SHEETS



SECTION

1/4" = 1'



SECTION

1/4" = 2'



PROPOSED REMODEL RESIDENCE AT
1045 TRINITY DR.,
MENLO PARK, CA 94025
APN: 074-23-060

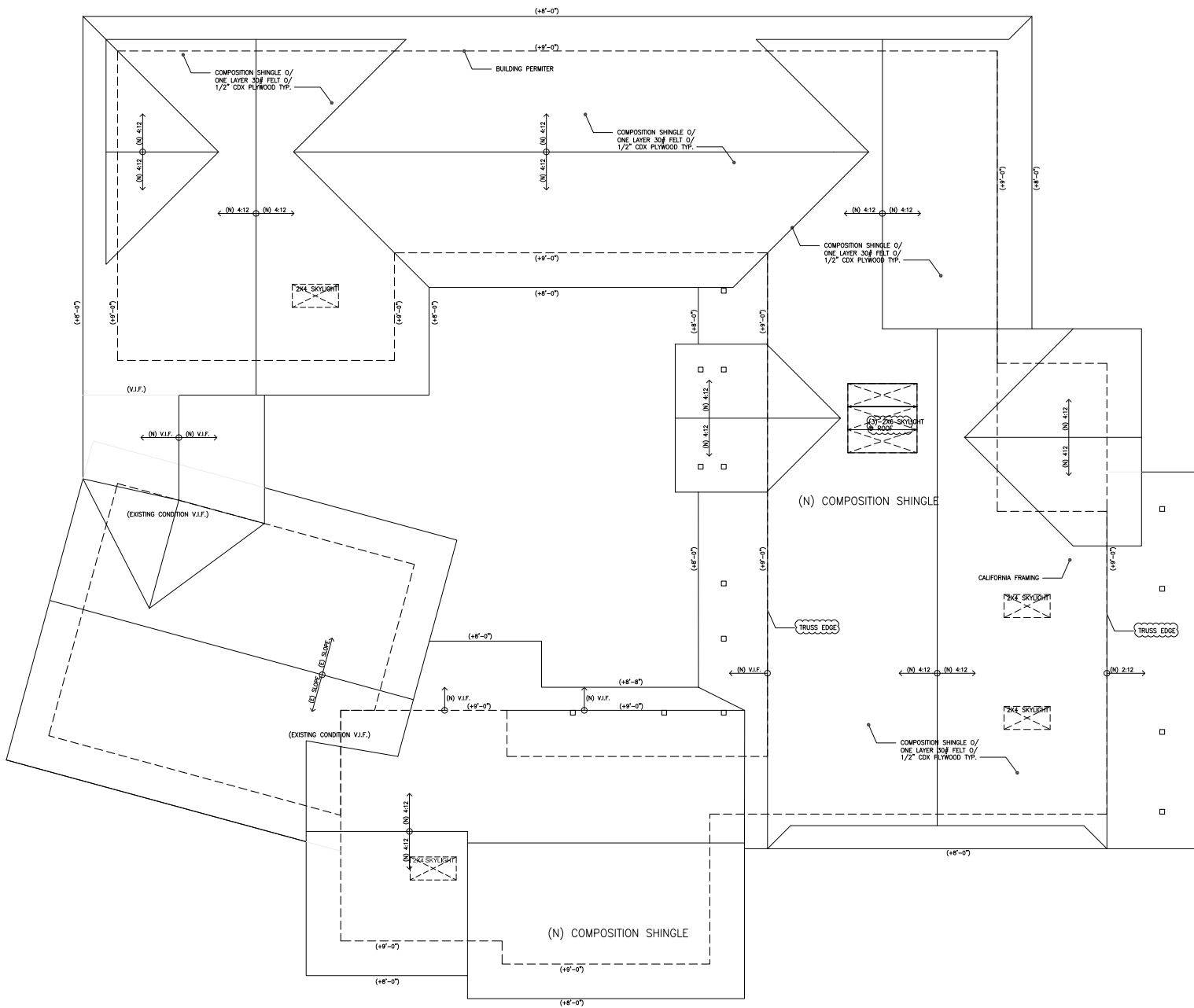
REVISIONS:
11/20/16 USE PERMIT
11/27/16 RESPONSE TO PC
08/12/17 PC COMMENT
06/09/17 PC COMMENT
04/19/17 STRUCTURE CHANGE
09/28/17 FIELD CHANGE
11/06/17 FIELD CHANGE

ROOF PLAN

DRAWN: Q.L.	CHECKED: C.TING
DATE: 07/16/2016	
SCALE: NTS	
JOB NO.: M15118	
SHEET:	

A-4

OF SHEETS



ROOF PLAN

1/4" 1

NOTES:

1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THIS MAP SHALL NOT BE USED TO STAKE OUT CONSTRUCTION IMPROVEMENTS IN THE FIELD.
3. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
4. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
5. BOUNDARY LINES DELINEATED ON THIS MAP ARE INFORMATIONAL BASED ON THE SURVEYOR'S OPINION (UNLESS FOUND PHYSICAL EVIDENCE AND RECORD DATA). THIS MAP IS NOT INTENDED AND SHALL NOT BE USED TO ESTABLISH BOUNDARY LINES.
6. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
7. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
8. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
9. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
10. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC.. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

SITE BENCHMARK:

BENCH MARK
TOP OF FIRE HYDRANT ("O" IN "COREY")
ELEVATION=253.49' (CITY OF MENLO PARK DATUM)

BASIS OF BEARINGS:

PER SHARON HEIGHTS UNIT 13 FILED IN BOOK 63 OF MAPS AT PAGE 16, SAN MATEO COUNTY RECORDS.

REFERENCES:

R1 SHARON HEIGHTS UNIT 13 (63 MAPS 16)

LEGEND

---	PROPERTY LINE
---	CENTERLINE
SS	UTILITY LINE-TYPE AS NOTED
☼	STREET LIGHT
□ P&E	UTILITY BOX-TYPE AS NOTED
□ WM/GM	WATER/GAS METER
W	WATER VALVE
CB	CURB CATCH BASIN
⊕	FIRE HYDRANT
○ MH	MANHOLE-TYPE AS NOTED
○ CO	SANITARY SEWER CLEANOUT
PP-OH	POWER POLE W/ OVERHEAD WIRE
⊕	BENCHMARK
○ MON	MONUMENT
○ 12"	TREE-TRUNK DIAMETER IN INCHES
○	SPECIES NOTED WHEN KNOWN
→	GRY WIRE

ABBREVIATION

AD	AREA DRAIN
A.E.	ANCHOR EASEMENT
AC	ASPHALT CONCRETE
BRI	BROCK
C/G	CURB & GUTTER
C	CONCRETE
DI	DRAIN INLET
FF	FINISH FLOOR GRADE
FL	FLOWLINE
GM	GAS METER
LG	LIP OF GUTTER
MB	MAIL BOX
P.U.E.	PUBLIC UTILITY EASEMENT
P.S.E.	PUBLIC SERVICE EASEMENT
SDMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
S/W	SIDEWALK
TC	TOP OF CURB
TRC	TOP OF ROLLED CURB
W.C.E.	WIRE CLEARANCE EASEMENT
WM	WATER METER

RW RW ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
505 ALAMONT DRIVE
MILPITAS, CA 95035
(P) (408) 262-1899
(FAX) (408) 624-5056
rweengineering@gmail.com

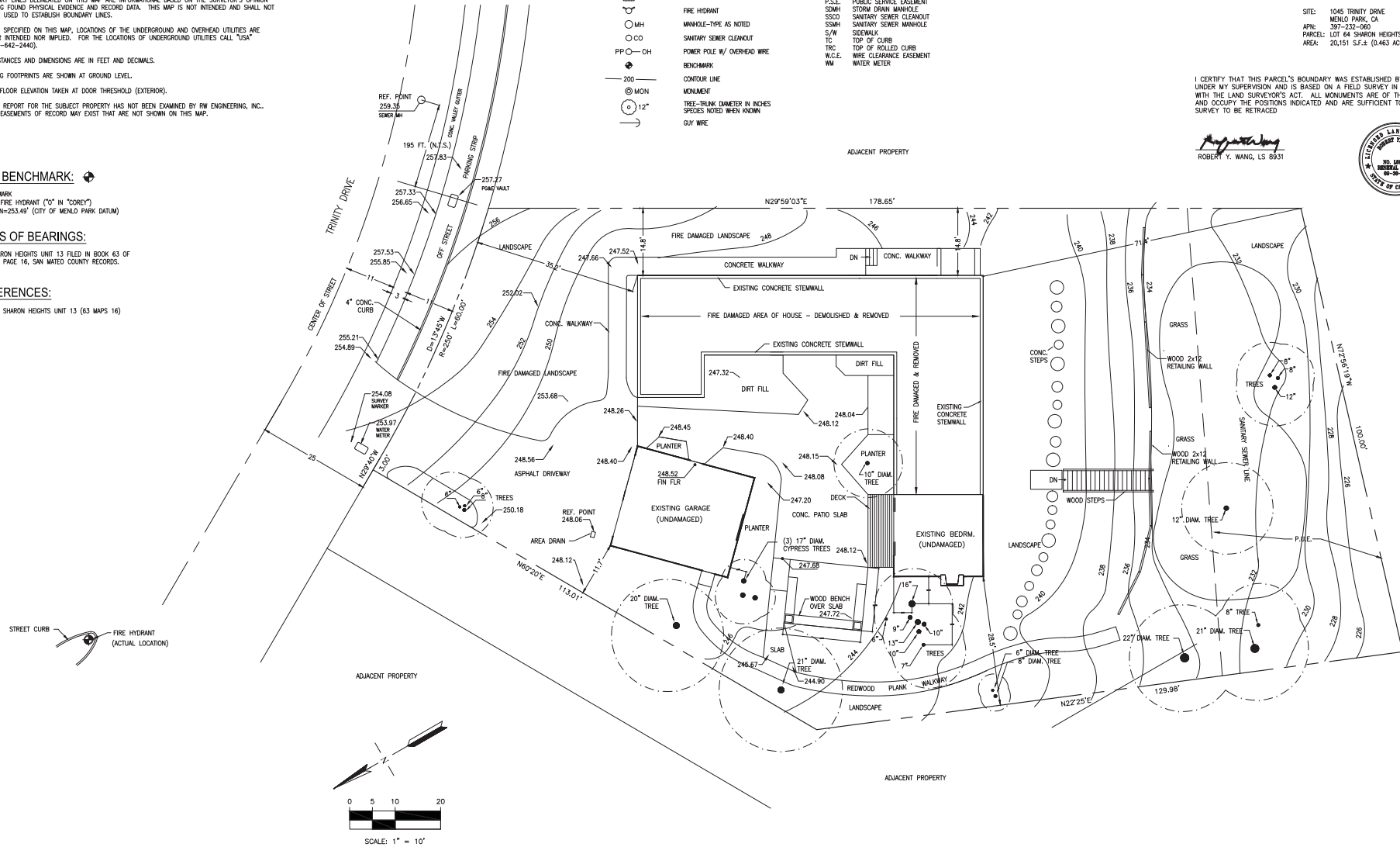
TOPOGRAPHIC MAP

AUGUST 19, 2016
CONSISTING OF ONE SHEET

SITE: 1045 TRINITY DRIVE
MENLO PARK, CA
397-232-960
APN: PARCEL: LOT 64 SHARON HEIGHTS UNIT 13
AREA: 20,151 S.F.± (0.463 ACRE)

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED

Robert Y. Wang
ROBERT Y. WANG, LS 8931



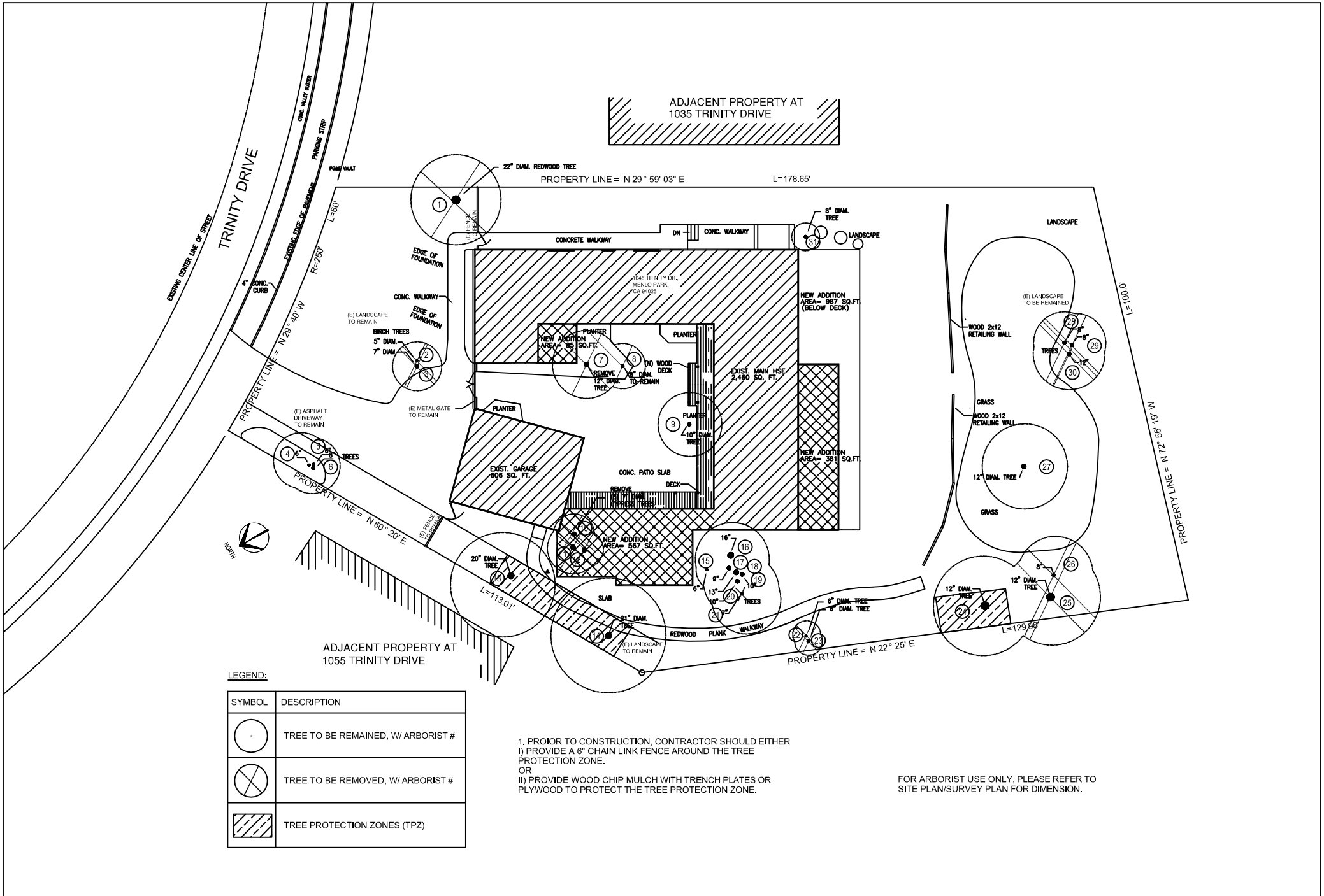
1045 Trinity Dr., Menlo Park, CA 94025

Project Description

The plan had originally been approved during the public hearing on 11/7/2016 for the Use Permit. However, due to the poor site condition, inadequate support of the existing house and the potential of landsliding, The project Geotechnical Engineer, David Connell, recommended the project teams to strengthen the foundation by providing the 36' x 66' x 14" thick concrete slab with 26 of the 25' deep piles. The total of 1980 sq.ft. of new slab will create the stability of the entire house.

Based on such recommendation, this leave owner have no choice but to strengthen the entire house and avoid any potential problems in the future.

The revision of the Use permit is to legalize the entire lower level. The project engineer had added windows and doors at the lower level to meet the building code. The owner has also enlarge the WIC # 2 and reduce the size of garage to accommodate it.



ADJACENT PROPERTY AT 1035 TRINITY DRIVE

ADJACENT PROPERTY AT 1055 TRINITY DRIVE

LEGEND:

SYMBOL	DESCRIPTION
	TREE TO BE REMAINED, W/ ARBORIST #
	TREE TO BE REMOVED, W/ ARBORIST #
	TREE PROTECTION ZONES (TPZ)

1. PRIOR TO CONSTRUCTION, CONTRACTOR SHOULD EITHER
 I) PROVIDE A 6" CHAIN LINK FENCE AROUND THE TREE PROTECTION ZONE.
 OR
 II) PROVIDE WOOD CHIP MULCH WITH TRENCH PLATES OR PLYWOOD TO PROTECT THE TREE PROTECTION ZONE.

FOR ARBORIST USE ONLY, PLEASE REFER TO SITE PLAN/SURVEY PLAN FOR DIMENSION.

Arbor Gus Professional Treecare

3414 Mount Everest Dr., San Jose, CA 95127
Tel:(408) 398-5296

September 2, 2016

Aclara Engineering Consultant
Attn: Ms. Clara Ting,
Project Engineer,
830 Stewart Dr.,
Sunnyvale, CA 94087

Revised Arborist Report

Dear Ms. Ting,

Subject: Proposed Remodeling Residence at
1045 Trinity Dr., Menlo Park, CA 94025

1.0 INTRODUCTION

Per your request, I visited the above stated site to inspect and comment on the trees. I reviewed total of 31 trees. There was a fire damaged single family house at the time of visit. A remodeled home is planned for the site and are required by the City of Menlo Park, a complete site survey of the trees and a tree protection plan will be provided.

During the inspection, I also mapped out the trees location with reference to the Site Plan, which was prepared and provided by the Project Engineer, Clara Ting, dated 9/1/2016. Each tree was given an identification number as shown on the Tree Map.

2.0 METHOD

All inspections were made from the ground; the trees were not climbed for this inspection. The trees were located on a attached map provided by Clara Ting, the project engineer of the job. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1 - 29	Very Poor
30 - 49	Poor
50 - 69	Fair
70 - 89	Good
90 - 100	Excellent

The height of the trees was visual inspected by the Arborist Francisco Javier Garcia (WE8108A) on September 3, 2016, and comments section is provided.

3.0 Tree Survey

Tree #	Species	DBH (in inches)	Condition (in %)	Height	Comments
1	Monterey Pine	22	10	65'	Removed under permit # HTR2016-00123,see attachment
2	Birch Tree	5	10	40'	Tree #2 & 3 are twin trunk, dead due to fire, removed.
3	Birch Tree	7	10	40'	Tree #2 & 3 are twin trunk, dead due to fire, removed.
4	Olive Tree	6	80	20'	Tree #4, 5 & 6 are multi trunk from one tree, Healthy, Good to keep
5	Olive Tree	6	80	25'	Tree #4, 5 & 6 are multi trunk from one tree, Healthy, Good to keep
6	Olive Tree	8	80	25'	Tree #4, 5 & 6 are multi trunk from one tree, Healthy, Good to keep
7	Pear Tree	12	20	12'	Damaged by fire, removed
8	Pear Tree	8	40	10'	Damaged by fire, removed
9	Pear Tree	10	90	23'	Healthy, Vigor, Good to keep
10	Podocarpus	7	70	10'	Removed
11	Podocarpus	7	70	10'	Removed
12	Podocarpus	8	70	12'	Removed
13	Cedar	20	60	70'	Healthy, with one trunk got damage, Vigor, need protection during construction*
14	Cedar	21	80	70'	Healthy, Vigor, need protection during construction*
15	Japanese Maple	6	90	15'	Healthy, Good to keep
16	Modesto Ash	16	90	50'	Healthy, Good to keep*
17	Modesto Ash	9	90	50'	Healthy, Good to keep
18	Modesto Ash	13	90	50'	Healthy, Good to keep
19	Modesto Ash	10	90	40'	Healthy, Good to keep
20	Modesto Ash	10	90	40'	Healthy, Good to keep
21	Modesto Ash	7	90	30'	Tilted over 5' at top, poor structure, need to be removed
22	Plum Tree	6	35	20'	Tree #22 and 23, One trunk spilt into 2, declining, need to be removed
23	Plum Tree	8	35	20'	Tree #22 and 23, One trunk spilt into 2, declining, need to be removed
24	Cedar	22	90	70'	Healthy to keep*
25	Monterey Pine	21	40	60'	Clouded by Tree #24, need to be removed
26	Birch	8	10	40'	Dead, removed
27	Chinese Elm	12	80	27'	Healthy, Retain
28	Birch	8	0	45'	Tree #28,29 & 30,are multiple trunks from one tree, Dead, need to be removed
29	Birch	8	0	45'	Tree #28,29 & 30,are multiple trunks from one tree, Dead, need to be removed
30	Birch	12	0	45'	Tree #28,29 & 30,are multiple trunks from one tree, Dead, need to be removed

31	Loquat	8"	95	15'	Healthy, retain
----	--------	----	----	-----	-----------------

- ** SEE TREE PROTECTION MAP FOR EXACT LOCATION & PROTECTION METHOD.*
- ** PER PLANNING COMMENT, TREE #13,14,16,24-NEED TO PROVIDE TREE PROTECTION*

-

4.0 Summary

There were total of five trees were damaged by the fire. These trees are include: Tree #1, Tree #2, Tree #3, Tree #7 and Tree #8. The Monterey Pine (Tree #1), which had been removed under Permit # HTR2016-00123, was dead due to the cause of fire. The other two Olive Trees (Tree #2, Tree #3), which located in the front yard, and the Pear Trees (Tree #7, Tree #8), which were located in the central courtyard by the outside of the living room, were damaged due to fire and been removed. Since they are small enough to be dug up and were removed after the fire during the demolition of the burnt down portion of the main house.

Tree #4, Tree #5 and Tree #6 are located in the left side of the front year. They are healthy and good to keep.

Tree #9, which located in the central court, healthy and vigor. The owner had decided to keep.

Tree #10, Tree #11 and Tree #12 are Podocarpus. They are 7” diameter trunk. They are within the perimeter of the addition and been removed in 2015.

As mentioned from the introduction, during construction, both Cedar trees (Tree #13 & Tree #14) need protection. In order to reduce the construction impacts to all retained trees, keep all construction equipment and materials outside of this fencing. Also, keep all excavation outside the fenced tree areas unless the arborist gives his approval. Please refer to section 5 for the *Mitigating Measures for Construction Impacts on Existing Trees*. Both Cedar are along the north fence, about 2’ away. All new proposed construction will be outside the driplines. Install protective fencing at the trees’ driplines.

The Japanese Maple (Tree #15) is 6” in diameter, which are located in the far left corner of the existing living room. The condition of the Japanese Maple is very healthy and good to keep.

Tree #16-Tree #21 is all Modesto Ash. They are all located right next to the Japanese Maple. They are all healthy and good to keep. However for Tree #21 is currently tiled over 5’ at the top. It has potential of collapse. Owner should remove it in the near future.

Plum Tree #22, and #23 are located right next to the fence between 1055 Trinity and our property. One trunk spilt into two and is declining. During my inspection on 9/3/16, one of the 6” tree trunks collapsed and fell into the neighbor’s driveway. Owner needs to remove the trees soon.

Cedar Tree #24 is 70’ high and healthy to keep. However, the owner may need to prune the tree.

Montery Pine Tree #25 is located by the north-west fence. This tree is poorly located underneath the canopy of the neighbor cedar Tree #24. As the tree continues to grow in height, it is likely to develop a lean as it will soon in competition with the Cedar tree. Removal of this tree might be needed as this tree will have future growing issues as it is suppressed by the cedar. The tree is in the risk of failure.

Tree #26 is a birch and already dead. It had been removed in 2016.

Tree #27 is a 27' high Chinese Elm. It is healthy and recommend to keep.

Tree #28-#30 is a Birch with multiple trunks from one tree. It's dead and need to remove.

Tree #31 is a Loquat is healthy and good to keep.

There will be no impact to heritage trees based on site, grading, utility and landscape. However, arborist do strongly recommend the project architect to replace Tree #1 and Tree #25 with another Heritage trees such as Monterey Pine.

5.0 Mitigating measures for construction impacts on existing trees

a. Introduction

It is an established fact that construction around existing trees will impact the trees to some degree. The degree of impact is largely predicated on the condition of the tree(s) before the construction activity begins. It is therefore important to inspect all trees prior to any construction activity to develop a "Tree Protection Program" based on the species, size, condition, and expected impact. A Certified Arborist (International Society of Arboriculture) is suggested for this work. The local University of California Extension or County Farm Advisors Office has the names of local certified arborists.

b. Site Preparation

All existing trees shall be fenced within, at, or outside the dripline (foliar spread) of the tree using the following formula: Five inches in distance from the trunk, for every inch in trunk diameter, measured 4.5 feet above the average ground level. Example: a 24-inch diameter tree would have a fence erected 10 feet from the base of the tree ($24 \times 5 = 120/12 = 10$). The fencing should not interfere with actual construction, but is intended to redirect unnecessary traffic, and to protect limbs and roots. No storage of materials, unnecessary trenching, grading, or soil compaction shall be allowed within the dripline of the trees. Local ordinances may have different tree protection formulae.

The fence should be a minimum of four feet high, made of pig wire, snow fence, or cyclone, with steel stakes or pipes as posts.

If the fence is within the dripline of the trees, the foliar fringe outside the fence shall be raised to offset the chance of limb breakage from construction equipment encroaching within the dripline.

All contractors, subcontractors, and other personnel shall be warned that encroachment within the fenced area is forbidden without the consent of the certified arborist on the job. This includes, but is not limited to, storage of lumber and other materials, disposed-of paints, solvents, or other noxious materials, parked cars, grading equipment, and other heavy equipment. The temporary fence shall be

maintained until the landscape contractor enters the job and commences landscape construction.

c. Grading/Excavating

All grading plans that specify grading within the dripline of any tree, or within the distance from the trunk as outlined in SECTION II when said distance is outside the dripline, shall first be reviewed by the certified arborist. The arborist shall outline provisions for aeration, drainage, pruning, tunneling beneath roots, root pruning, or other necessary actions to protect the trees. The arborist shall be notified prior to any excavation within the dripline of any heritage tree.

If trenching is necessary within the area, as described above, said trenching shall be undertaken by hand labor. All roots 2 inches or larger shall be tunneled and smaller roots shall be cut smoothly to the side of the trench. The side of the trench should be draped immediately with two layers of untreated burlap to a depth of 3 feet from the surface. The burlap shall be soaked nightly and left in place until the trench is backfilled to the original level. The arborist shall examine the trench prior to backfilling to ascertain the number and size of roots cut, and to suggest further remedial repairs.

d. Remedial Repairs Penalties

The arborist on the job shall have the responsibility of observing all ongoing activities that may affect the trees, and prescribing necessary remedial work to insure the health and stability of said trees. This includes, but is not limited to, all arborist activities specified in SECTIONS I, II, and III. In addition, pruning, as outlined in the "Pruning Standards" of the Western Chapter of the International Society of Arboriculture, shall be prescribed as necessary. Fertilizing, mulching, aeration, irrigation, drainage, pest control, and other activities shall be prescribed according to the tree needs, local site requirements, and State Agricultural Pest Control Laws. All specifications shall be in writing. For a list of licensed pest control operators or advisors, consult the local County Agricultural Commissioner's Office.

Penalties, based on the cost of remedial repairs and the appraised values provided in the Evaluation Guide published by the International Society of Arboriculture, shall be assessed for damages to the trees.

e. Final Inspection

Upon completion of the project, the arborist shall review all work undertaken that impacted the existing trees. Special attention shall be given to cuts and fills, compaction, drainage, pruning, and future remedial work. The arborist should submit a final report in writing outlining the ongoing remedial care following the final inspection.

6.0 Tree Protection Plan:

a. Tree Protected Zones

It is an established fact that construction around existing trees will impact the trees to some degree. The degree of impact is largely predicated on the condition of the tree(s) before the construction activity begins. It is therefore important to inspect all trees prior to any construction activity to develop a "Tree Protection Program" based on the species, size, condition, and expected impact. A Certified Arborist (International Society of Arboriculture) is suggested for this work. The local University of California Extension or County Farm Advisors Office has the names of local certified arborists.

b. Roof Cutting and Grading

Any roots to be cut shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The over dig for the foundation should be reduced as much as possible when roots are encountered.

c. Trenching and Excavation

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

d. Irrigation

Normal irrigation shall be maintained on this site at all times. The imported trees will require normal irrigation. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April-November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be stated prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

e. Demolition

All tree protection must be in place prior to the start of demolition. Demolition equipment must enter the project from the existing driveway. If vehicles are to stray off the drive the area within the dripline of a protected tree must be covered with 6 inches of chips and steel plates or 1¼" plywood. The City of Menlo Park will require a letter from the site arborist stating the tree protection fencing is up before the start of demolition.

7.0 Conclusion

Item	No. of trees
Trees to be remained	15
Trees to be removed	16
Total number of Trees on site	31

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

If you have any question regarding this report, please feel free to contact me at arborguys@yahoo.com

Sincerely,

Francisco Javier Garcia

Certified Arborist WE#8108A

HELLO EVERYONE,

I AND THREE OF MY NEIGHBORS, SIGNATURES BELOW, ARE VERY CONCERNED WITH THE TIME IT IS TAKING TO REBUILD THE PROPERTY AT 1045 TRINITY DRIVE, IN Menlo Park.

THIS PROPERTY WAS FORMERLY OWNED BY JOHN AND MARGE POSTHAUER AND WAS SOLD IN 2014. AFTER THE SALE TO MR KEDA WANG, DURING HIS ABSENCE, THE HOUSE HAD A DEVASTATING FIRE AND STOOD EMPTY AND AN EYE SORE FOR MANY LONG MONTHS.

SINCE THE APPROVAL TO REBUILD THE HOUSE, IT IS STILL NOT EVEN CLOSE TO BEING COMPLETED. HOW MUCH LONGER WILL THIS PROCESS TAKE TO FINISH THE HOME AND RETURN OUR NEIGHBORHOOD BACK TO QUIET, AND WITH THE IMPROVEMENTS TO THE PROPERTY? IT IS PRESENTLY NOISY, MACHINES RUNNING DAILY NON STOP, AND CARS AND TRUCKS CONSTANTLY PARKED ON OUR STREETS, IN FRONT OF OUR HOMES AND MAKING THE AREA AN EYESORE FOR ALL OF US TO LIVE WITH IN OUR WHAT WAS A LOVELY NEIGHBORHOOD.

CAN YOU PLEASE MOVE THIS PROJECT ALONG SO THAT IT IS COMPLETED IN A NORMAL MANNER? WE ARE ALL IMPACTED BY THIS UNFORTUNATE CIRCUMSTANCE AND WOULD LIKE TO SEE SOME COMPLETION DATE. THREE PLUS YEARS IS TOO LONG FOR ALL OF US TO HAVE TO SUFFER FROM THE LACK OF PROGRESS, THE NOISE AND INTERRUPTIONS OF OUR DAILY LIFE.

I AND THE FOLLOWING PERSONS WOULD LIKE A RESPONSE FROM YOUR DEPARTMENT INFORMING US OF THE RULES, TIME LINE AND REASONS FOR SUCH A LENGTHLY PROJECT TO BE COMPLETED.

KINDEST REGARDS,

STRATTON AND TIM RICHARDSON

1055 TRINITY DRIVE

NANCY AND JEFF CLOSS

1025 TRINITY DRIVE

ALEXA AND MIKE GODDE

1035 TRINITY DR

CHRIS AND ALAN SHAW

RECEIVED

NOV 21 2017

CITY OF MENLO PARK
BUILDING

1054 TRINITY DRIVE

I ALMOST ALWAYS TYPE IN CAPS SO PLEASE DON'T TAKE OFFENCE. I AM NOT SHOUTING BUT INSTEAD MAKING MY TYPING EASIER TO MANAGE.

Stratton

strattonmrichardson@gmail.com

650 854 6440 HOME

650 619-7664 CELL



STAFF REPORT

Planning Commission

Meeting Date: 1/8/2018
Staff Report Number: 18-005-PC

Public Hearing: Use Permit Revision/Ohashi Design Studio/1220 Bay Laurel Drive

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit revision to make exterior changes to materials on the facades of a new two-story, single-family residence with basement on a substandard lot with regard to lot width in the R-1-S (Single-Family Suburban Residential) zoning district. The project received a use permit on May 9, 2016 to demolish the existing residence, remove a heritage size Canary Island palm tree, and construct a new two-story, single-family residence. The residence is currently under construction. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposed revised project.

Background

Site location

The subject property is located at 1220 Bay Laurel Drive, between San Mateo Drive and Santa Rita Avenue in the West Menlo neighborhood. A location map is included as Attachment B. The surrounding neighborhood is comprised of a mix of single story and two-story single-family residences with a variety of architectural styles including traditional and contemporary. All parcels in the neighborhood are also in the same R-1-S zoning district.

Previous use permit

On May 9, 2016, the Planning Commission granted a use permit for the construction of a new two-story single family residence on a substandard lot with respect to lot width. The Planning Commission's approval included a project-specific condition requiring that the applicant modify the second floor balcony to provide screening views to the adjacent parcel, subject to review and approval of the Planning Division with notification to the Planning Commission of the proposed modifications. On September 1, 2016, the Planning Division sent a condition review memo to the Planning Commission with the applicant's proposed wood lattice screening along the side of the balcony, lining up with the roof edge, to minimize potential privacy impacts. One Planning Commissioner recommended that the lattice be lengthened to the edge of the balcony itself, which the applicant was amenable to. No other Commissioners had comments or questions, so the City issued a building permit for the new two-story residence with the balcony screening

modifications.

Analysis

Project description

The approved project is currently under construction. The applicant is proposing to reduce the area of the facades clad in wood siding, with such areas replaced by smooth finished stucco. The proposal would continue to contain cedar wood siding on select elements, but the overall area clad in wood siding would be reduced. No changes to the footprint or square footage of the residence are proposed as part of this revision, nor is the approved balcony screening proposed to change. A data table summarizing the parcel and approved project is included as Attachment C for reference. The proposed revised project plans and the applicant's addendum to the project description letter are included as Attachments D and E, respectively. The project plans include elevation comparisons, showing the issued permit in relation to the currently-proposed revisions. The current proposed revisions are modest in scope, but because the previous project received a use permit, a revision is required.

There are no proposed changes to the interior floor plans, nor are any changes to the fenestration proposed. In addition to modifications to the exterior materials on select portions of the facades, the applicant has submitted a refined landscape plan. During construction, the applicant applied for and received a heritage tree removal permit to remove a heritage size Bay Laurel tree due to health/structure and the updated landscape plan includes the required additional heritage tree replacement. The proposed landscape plan is generally consistent with the approved plan and is the type of refinement that can typically be approved directly by staff; however, it is included in the updated plan set to comprehensively update the plan set. The updated landscape plan contains additional details on the style of the at-grade pavers and the location of the proposed plantings.

Design and materials

The exterior materials of the previously-approved project primarily consist of a smooth finish integrated colored stucco, shiplap stained cedar wood siding, metal, aluminum, and light colored stone tile of various lengths and sizes. Upon further review of the long term viability of the wood siding, the applicant has elected to reduce the amount of cedar wood siding on the elevations. Wood siding would continue to be used in certain areas (in particular on the ground level), but the total amount of wood would be reduced and replaced with smooth stucco. While the amount of stucco would be increased on the elevations, the modulation of the facades would remain and therefore would continue to provide visual interest and reduce the perceived mass of the structure. No changes to the fenestration are proposed as part of this use permit revision.

The variety and quality of the materials, along with the variation in building forms, would continue to provide visual interest and help limit the perceived mass of the structure. As stated previously, while the material variation is being reduced, the modulation and massing of the vertical elements of the structure would continue to provide visual interest and reduce the apparent massing of the contemporary design. Staff believes that overall, the scale, materials, and style of the proposed revisions to the exterior materials would continue to be compatible with nearby residences and in keeping with the overall neighborhood aesthetic.

Trees and landscaping

There are 20 trees located on or near the property, seven of which are heritage trees. One heritage Canary Island palm tree (#7) on the left side yard was approved for removal as part of the approved project. A total of nine existing trees would be removed and ten new trees would be planted. The landscape plan includes one ginkgo biloba (Princeton sentry maidenhair) proposed to be located on the left side yard to provide screening from the adjacent residence, which would be located at a distance of approximately 38 feet from the nearest wall of the proposed home. The hedge at the rear of the property would extend into the side yards, to provide additional screening. As stated previously, during construction, the applicant submitted an application for the removal of the heritage size multi-trunk Bay Laurel tree near the front, right corner of the property. The City Arborist reviewed and approved the requested additional heritage tree removal due to poor structure. The applicant has submitted an updated landscape plan with further refinements to the location and type of materials and the location of the additional replacement tree, but the proposed landscaping and materials are consistent with the previously approved landscape plan. The approved arborist report is not included here due to the fact that the proposed siding changes would not affect tree health, but the approved tree protection measures would continue to be enforced as part of the building permit process.

Correspondence

The applicant submitted four form letters of support for the proposed change from wood siding to stucco for select portions of the building façade. Letters of support were received from the neighbors at 1205 Bay Laurel Drive, 1210 Bay Laurel Drive, 1225 Bay Laurel Drive, and 300 Santa Rita Avenue. These neighbors include both adjacent side properties and those directly across the street.

Conclusion

Staff believes that the proposed reduction in the amount of wood siding on the exterior and the increase in smooth stucco finish is compatible with the overall design aesthetic of the approved project. The scale, materials, and style of the proposed residence, including the requested revisions, are compatible with those of the greater neighborhood. The proposed revisions would not alter the proposed footprint, floor area, or modify the previously approved setbacks or height. Staff recommends that the Planning Commission approve the proposed revisions to the project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72

hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Correspondence

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:
Kyle Perata, Senior Planner

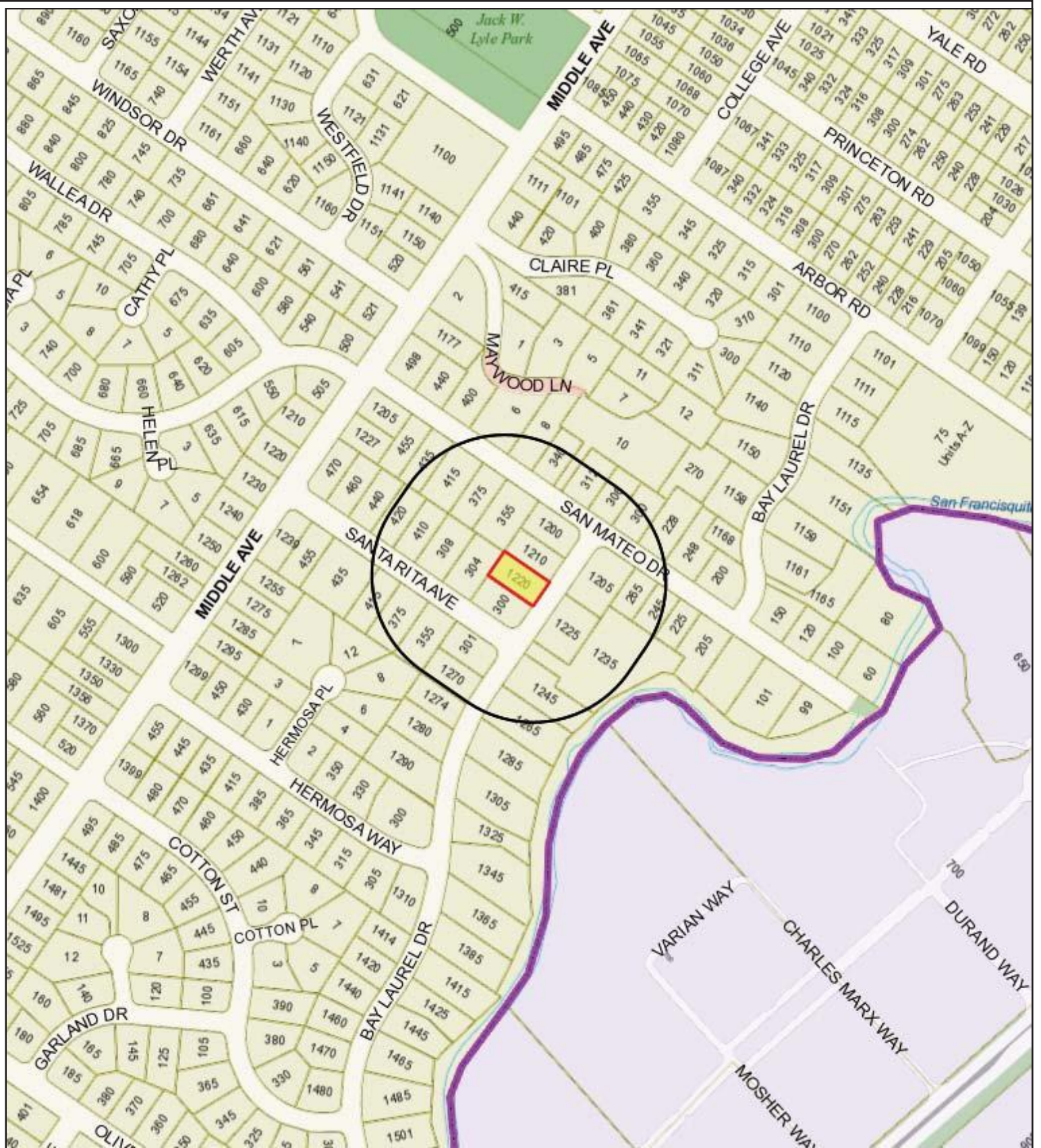
Report reviewed by:
Thomas Rogers, Principal Planner

1220 Bay Laurel Drive– Attachment A: Recommended Actions

LOCATION: 1220 Bay Laurel Drive	PROJECT NUMBER: PLN2017-00124	APPLICANT: Brandin Roat, Ohashi Design Studio	OWNER: Mahesh Chukkapali
PROPOSAL: Request for a use permit revision to make exterior changes to a new two-story, single-family residence with basement on a substandard lot with regard to lot width in the R-1-S (Single-Family Suburban Residential) zoning district. The project received a use permit on May 9, 2016 to demolish the existing residence, remove a heritage Canary Island palm tree, and construct a new two-story, single-family residence. The residence is currently under construction.			
DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current CEQA Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Ohashi Design Studio, consisting of 27 plan sheets, dated and received on January 2, 2018, and approved by the Planning Commission on January 8, 2018, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. 			

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DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: <ul style="list-style-type: none"> g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the Arborist Report prepared by Kielty Arborist Services and dated December 4, 2016. 			



City of Menlo Park
 Location Map
 1220 Bay Laurel Drive



Scale: 1:4,000

Drawn By: KTP

Checked By: KTP

Date: 1/8/2018

Sheet: 1

1220 Bay Laurel Drive – Attachment C: Data Table

	PROPOSED PROJECT	APPROVED PROJECT	ZONING ORDINANCE
Lot area	10,500 sf	10,500 sf	10,000 sf min.
Lot width	75 ft.	75 ft.	80 ft. min.
Lot depth	140 ft.	140 ft.	100 ft. min.
Setbacks			
Front	25 ft.	25 ft.	20 ft. min.
Rear	53.5 ft.	53.5 ft.	20 ft. min.
Side (left)	10.2 ft.	10.2 ft.	10 ft. min.
Side (right)	10.9 ft.	10.9 ft.	10 ft. min.
Building coverage	2,939.7 sf 28 %	2,939.7 sf 28 %	3,675 sf max. 35 % max.
FAL (Floor Area Limit)	3,666 sf	3,666 sf	3,675 sf max.
Square footage by floor	1,838.5 sf/1st 1,324.5 sf/2nd 503 sf/garage 1,899.2 sf/basement 581.7 sf/porches 16.5 sf/fireplace	1,838.5 sf/1st 1,324.5 sf/2nd 503 sf/garage 1,899.2 sf/basement 581.7 sf/porches 16.5 sf/fireplace	
Square footage of buildings	6,163.4 sf	6,163.4 sf	
Building height	23.3 ft.	23.3 ft.	28 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees					
Heritage trees	7*	Non-Heritage trees	13**	New Trees	10
Heritage trees proposed for removal	1	Non-Heritage trees proposed for removal	8	Total Number of Trees	21

* Includes five heritage trees on adjacent property

**Includes four non-heritage trees on adjacent property

ODS ARCHITECTURE**PROJECT DESCRIPTION (Addendum):**

**New Residence
1220 Bay Laurel Drive
Menlo Park, CA 94025**

RECEIVED**JAN 02 2018****CITY OF MENLO PARK
PLANNING DIVISION**

The exterior materials of our design are smooth finished stucco, stained cedar siding, light colored stone tile, and clean edge metal fascia. These materials previously stated in the original project description remain unchanged; rather the ratios of siding to stucco have changed.

Considering material durability, material longevity, maintenance costs, and aesthetics, the area of wood siding has been reduced and replaced with smooth finished stucco in a variety of integral colors. The proposed stucco has a material quality similar to that of fine Venetian plaster and its quality will remain pristine for decades compared to wood siding which will need continual yearly maintenance to sustain its beauty. This proposed reduction in wood siding provides a nice equilibrium between all exterior materials at all elevations and continues to work hand in hand with the unchanged articulation of architectural forms that was previously approved. This new balance of color and texture elevates the design at every angle and produces a greater sense of harmony and quality we hold in high regard.

In addition, the landscape plans have been updated. Mixed floor pavers throughout the site have been precisely mapped out. Proposed hedges along property line have been defined and mapped out. Trash bin location and utility zone have been defined behind fence. New tree added in place of tree #20 which was removed during construction and approved by the city's arborist. Proposed trees along western property reduced to avoid conflict within the perimeter hedge screen design. Lastly, 2 new trees added along the path between the sidewalk and the front door.

Please also see attached letters from adjacent neighbors accepting this change.

Sincerely,
ODS Architecture (previously Ohashi Design Studio)

Alan Ohashi, License No. C19198
5895 Doyle Street
Emeryville, CA 94608
510.595.1300

ODS ARCHITECTURE

PROJECT DESCRIPTION:

New Residence

1220 Bay Laurel Drive

Menlo Park, CA 94025

The proposed project is a two story single family dwelling with basement to replace the existing one-story single family dwelling with an attached two-car garage. The new two car garage is at a similar location as the existing two car garage but set back 5 feet further. The existing total building coverage area is 3,148 SF. The proposed project will have a building coverage area of 2,341 SF, which is 807 SF less than the existing house. By reducing the building coverage area we are able to increase desired open space. In addition the proposed 2nd floor has been set back from the footprint of the first floor following the guidelines of the daylight plane which allows more sunlight to the adjacent properties. The design limits the amount of direct views to and from the neighboring homes to maintain an adequate level of privacy.

The architectural style is a contemporary style which adds to the diversity of the eclectic neighborhood. Modern homes of similar style are located throughout the neighborhood and have been part of a growing trend over the past few decades. The clients have a desire to live in a beautiful modern home with the added attributes of Feng Shui design strategies, such as the balance of positive and negative space. Our design aesthetic connects the interior with the exterior through the balance use of wall and glass. The articulation of the architectural forms blending with a variety of finishes creates an attractive front elevation appeal, this along with an integrated driveway pattern enhances the house and the neighborhood. The exterior materials are a smooth finished stucco, stained cedar siding, light colored stone, and clean edge metal fascia. All exterior windows and doors are thermally broken aluminum windows that meet the green building guidelines. All exterior materials and finishes work together as a palette of earth tone colors creating a harmony with the surrounding.

The Owner has reached out to neighboring lots to discuss the proposed project, sharing floor plans and 3D rendering. Per Mahesh Chukkapali dated 3/14/16:

1. Neighbor at 1210 Bay Laurel Drive: They didn't have any issues with the house plans but inquired about the ivy along the fence we share with them. They asked if we are open to removing it, and I was happy to confirm that we will in fact be doing that. They expressed interest in using the same vendors to clear the ivy on their property.

2. Neighbor at 300 Santa Rita Avenue: They didn't have any issues. The owner has a husky he raises in the backyard, and wanted to know when we are going to work on the fence, so he can secure the dog. He didn't want anyone getting hurt. He also requested if we could have the same builder work on his fence, which he was looking to update.

3. Neighbors in the front at 1225 Bay Laurel Drive and 1205 Bay Laurel Drive:
They didn't have any issues. They just asked about how long the construction might last
and what the square footage of the new home is.

4. Neighbor at 304 Santa Rita Avenue: The owner didn't have any issues. He said that
there have been many new homes that were built on his street and he didn't see any
issues at all.

Sincerely,
Ohashi Design Studio

Alan Ohashi, License No. C19198

5895 Doyle Street
Emeryville, CA 94608
510.595.1300

CHUKKAPALI RESIDENCE

1220 BAY LAUREL DRIVE MENLO PARK, CA 94025

OHASHI DESIGN STUDIO
Architects
5885 Doyle Street
Emeryville, California
Tel: 510-465-1300
Fax: 510-465-1313
www.ohashidesign.com



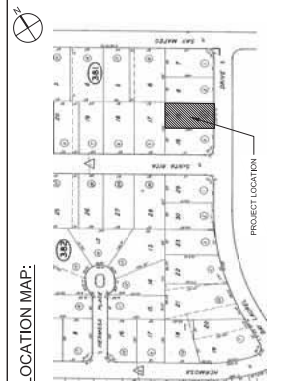
Chukkपालि Residence
1220 BAY LAUREL DR
MENLO PARK, CA
94025
APN: 071381030
OWNER: Maheshi & Geetha Chukkपालि
1220 Bay Laurel Drive
Menlo Park, CA

PLANNING SUBMITTAL

SHEET TITLE:
Cover Sheet

02/11/16	Permit Submittal
03/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

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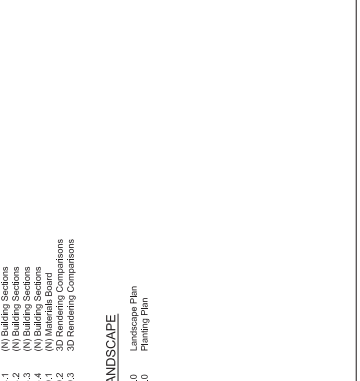


PROJECT DESCRIPTION:
The (E) single story dwelling shall be deconstructed. The (N) proposed two story single family dwelling will have 3 bedrooms and 4.5 baths plus a basement. The (E) driveway shall be reworked and relocated to this location; there is no (E) curb cut. The (N) curb front shall be PVC or similar.

LIST OF DRAWINGS:

ARCHITECTURAL

- AO.0 Cover Sheet
- AO.1 Floor Area & Lot Coverage Calls
- AO.2 Site Survey
- A1.0 (N) Site
- A1.1 (D) Site + (E) Floor Plan
- A1.2 (N) Site + (N) Floor Plan
- A2.0 (N) First Floor Plan
- A2.1 (N) First Floor Plan
- A2.2 (N) First Floor Plan
- A2.3 (N) First Floor Plan
- A2.4 (N) First Floor Plan w/ Lower Roof Plan
- A2.5 (N) Upper Roof Plan
- A3.0 (N) Exterior Elevation
- A3.1 (N) Exterior Elevation
- A3.2 (N) Exterior Elevation
- A3.3 (N) Exterior Elevation
- A3.4 (N) Exterior Elevation
- A3.5 (N) Exterior Elevation
- A4.0 (N) Building Sections
- A4.1 (N) Building Sections
- A4.2 (N) Building Sections
- A4.3 (N) Building Sections
- A4.4 (N) Building Sections
- A5.0 (N) Rendering Combinations
- A5.1 (N) Rendering Combinations
- A5.2 (N) Rendering Combinations
- A5.3 (N) Rendering Combinations



LANDSCAPE

- L1.0 Landscape Plan
- L2.0 Planting Plan

PROJECT DIRECTORY:

Owner: Maheshi & Geetha Chukkपालि
1220 Bay Laurel Drive
Menlo Park, CA 94025
Tel: (650) 450-2850

Architect: Alan Ohashi, AIA
Ohashi Design Studio
5885 Doyle Street
Emeryville, CA 94608
Tel: (510) 595-1300
Fax: (510) 595-1313
www.ohashidesign.com

Surveyor: Brian Stockinger
BLS Surveying & Mapping
1531 Grandview Ave
San Francisco, CA 94133
Tel: (855) 451-1844

Landscape Architect: Meer Chang
Landscape Architecture
5427 Telegraph Ave, # K
Oakland, CA 94609
Tel: (510) 210-5033

PROJECT DATA:

Zoning: R-1.5
Lot: 071381030
Lot Area: 15,518 sq ft
Floor Area: 10,500 sq ft
Tract: 10,500 sq ft
Lot Area: 10,500 sq ft
Lot Coverage: 3.975 s.f. (3% of 10,500 s.f.)
Garage: 6,526 s.f. (62% of 10,500 s.f.)
Max 2nd Floor F.A.R.: 29%*
Max 2nd Floor F.A.R.: 1,837 s.f. (50% of F.A.R. for the entire property)
Building Height: 20'
Setback: Front: 20'
Side: 10'
Back: 10'
Height: 28'

FLOOR AREA & LOT COVERAGE CALCS:

Max. Allowed Floor Area = 2800 s.f. + 25% of (10,500 - 2800) = 3,675 s.f.
Max Total Area Allowed = 2,450 s.f. + 1,225 s.f. = 3,675 s.f.
Floor Area Limit: 2,450 + 25% (10,500 - 2,450) = 3,675 sq ft MAX
Proposed Floor Area: 3,674.8 sq ft
2nd Floor F.A.R.: 50% (3.675) = 1,837.5 sq ft MAX
Proposed 2nd Floor Area: 1,832.49 sq ft
Max Lot Coverage: 35% (10,500) = 3,675 sq ft MAX
Proposed Lot Coverage: 3,278.23 sq ft

* See Floor Area Diagram Calculations on sheet AO.1

GENERAL NOTES:

- All construction and installations shall conform to the California Building Code, Vol. I & 2 California Residential Code California Mechanical Code California Electrical Code California Green Building Code California Fire Code California Fire Standards Code
- Detail Submittals: 4. Mechanical/Plumbing system
- Notes are as per the Contractor in understanding the work and should not be Contractor to visit the site. Fabricator themselves thoroughly with the work and report all discrepancies between the drawings and actual conditions to the Architect.
- All critical areas of work involving sub-issues or specialized pieces of equipment shall be reviewed and approved by the Contractor and the Subcontractor prior to all dimensions verified in field by the Contractor or by the Subcontractor. The Contractor shall be responsible for supplying and installing these items or materials regardless whether noted verify in field on drawings.
- No one drawing or specification shall govern. Contractors shall complete work in accordance with the drawings and specifications as noted on the drawings and different scales within each section. Report all discrepancies recommended to the Architect and await resolution of any item affected before proceeding.
- Contractor shall pay specific attention to all dimensional or profiled plan and section spatial relationships, and verify all axes and implied symmetries before beginning work.
- Do not scale drawings. Use figured dimensions only for all aspects of work.
- Contractor will pay all licenses and permits necessary to the performance and completion of the work, and all inspection and other applicable fees.
- Any building areas indicated by this work shall be protected from any damage caused by this work. Any damage to the existing building so caused shall be the financial responsibility of the Contractor.
- Any waste and release caused by this work shall be removed from the premises and disposed of by the Contractor. Demolition is not shown in its entirety, remove all existing construction necessary to complete the work.
- Contractor shall warranty all equipment and installation work for a period of one year after completion.
- All dimensions to face of finish unless otherwise noted.
- All piping or mechanical casing through roofing eave flashing or membrane will be sealed in accordance with the roofing, flashing or membrane manufacturer's recommendations.
- Where contractor proposes a substitution for a specified product (other than those noted above) the contractor shall provide documentation or sample proof indicating that the proposed substitution is equal.
- Contractor shall take on plumbing fixtures, door hardware and finishes. All hardware and finishes shall be specified. Substitutions will be reviewed and are subject to approval by architect.
- Building permit plans for the proposed dwelling shall incorporate the recommendations for site preparation & earth work, surface drainage, house foundations and seismic design parameters of the geotechnical engineer's report. Construction activity shall be limited to certain hours. G.C. to verify hours with local jurisdiction.

PROJECT DIRECTORY:

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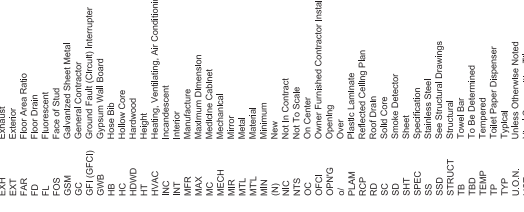
Architect: Alan Ohashi, AIA
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ABBREVIATIONS:

- AC Asphaltic Concrete
- AD Area Drain
- AFF Above Finished Floor
- CAB Cabinet
- CLC Ceiling Life
- CLD Ceiling
- CMO Center of Mass
- COM Common
- COL Column
- DI Duct Insulation
- DIA Dia
- DISP Dispenser
- EXT Exiting
- FL Floor
- FAR Floor Area Ratio
- FOS Floor of Slab
- GC General Contractor
- GFI(GFCI) Ground Fault (Circuit) Interrupter
- HBB Hollow Ball Board
- HC Hollow Core
- HWD Hardwood
- HVAC Heating, Ventilating, Air Conditioning
- INC In-compact
- INS Insulation
- MFR Manufacture
- MECH Mechanical
- MIR Mirror
- MTL Material
- MIN Minimum
- NOI Not In Contract
- NTS Not To Scale
- OFICI Office
- OPNG Opening
- PFGG Platic Laminate
- RCP Reflect Ceiling Plan
- SD Soil Drain
- SHS Sheath
- SSS Stainless Steel
- SS See Structural Drawings
- TB Towel Bar
- TBD To Be Determined
- TP Total Paper Dispenser
- TPP Typical
- VCT Vinyl Composite Tile
- VVF Verify In Field
- WH Water Heater
- WOO Without
- WP Waterproof



LANDSCAPE

- L1.0 Landscape Plan
- L2.0 Planting Plan

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Chukkappali Residence

1220 BAY LAUREL DR
MENLO PARK, CA
94025

APN: 071381030

OWNER:

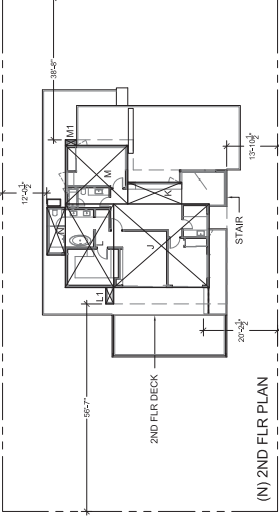
Maheshi & Geetha
Chukkappali
1220 Bay Laurel Drive
Menlo Park, CA

PLANNING SUBMITTAL

SHEET TITLE:
Floor Area & Lot Coverage Calculations

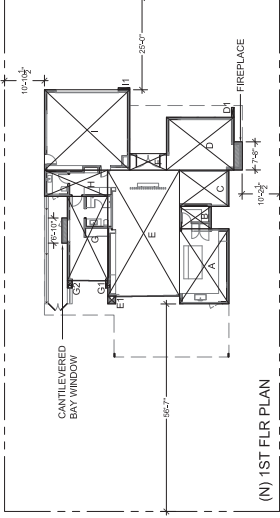
10/11/16	Permit Submittal
10/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

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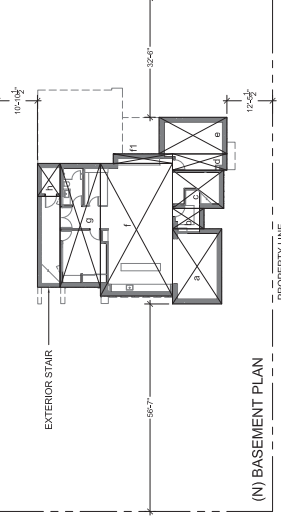
(N) 2ND FLOOR AREA CALC.:

J	22'-9 1/2" X 26'-1" =	594.48	SF
K	5'-11" X 14'-9" =	87.27	SF
L	4'-3 1/2" X 2'-2" =	9.06	SF
M	16'-0" X 17'-0" =	272.00	SF
M1	1'-5" X 2'-8" =	4.00	SF
N	13'-0" X 5'-0" =	65.00	SF
TOTAL 2ND FLR AREA:		1,332.49	SF



(N) 1ST FLOOR AREA CALC.:

A	20'-6" X 13'-5" =	275.04	SF
B	6'-1" X 6'-2" =	36.21	SF
C	9'-11" X 13'-5" =	133.04	SF
D	2'-8" X 8'-0" =	22.40	SF
D1	34'-4" X 19'-8" =	675.22	SF
E	2'-2" X 2'-2" =	4.68	SF
F	2'-0" X 10'-0" =	20.00	SF
G	23'-0" X 11'-0" =	253.00	SF
G1	1'-10 1/2" X 7" =	1.09	SF
G2	1'-10 1/2" X 1'-3" =	2.34	SF
H	7'-2" X 17'-2" =	123.02	SF
I	21'-11" X 23'-2" =	507.73	SF
I1	6" X 3'-1" =	1.54	SF
TOTAL 1ST FLR AREA:		2,342.39	SF



(N) BASEMENT FLOOR AREA CALC.:

a	26'-6" X 13'-5" =	359.04	SF
b	5'-6" X 6'-2" =	34.74	SF
c	10'-5 1/2" X 13'-11 1/2" =	145.47	SF
d	4'-5" X 14'-10" =	66.75	SF
e	9'-11" X 18'-6" =	183.45	SF
f	2'-8" X 14'-6" =	40.32	SF
f1	2'-8" X 14'-6" =	40.32	SF
g	33'-9 1/2" X 11'-0" =	371.47	SF
h	9'-0" X 6'-2" =	56.50	SF
TOTAL 2ND FLR AREA:		1,885.73	SF

(N) TOTAL FLOOR AREA CALC.

1ST FLOOR AREA	2,342.39	SF
2ND FLOOR AREA	1,332.49	SF
BASEMENT FLOOR AREA (not included in total)	(1,885.73)	SF
TOTAL	3,674.88	SF

(N) FLOOR AREA DIAGRAM

1/16" = 1'-0"
SCALE: 1/16" = 1'-0"

0' 2' 10' 20' 40'
SCALE: 1/16" = 1'-0"

(E) FLOOR AREA CALC. DIAGRAM:

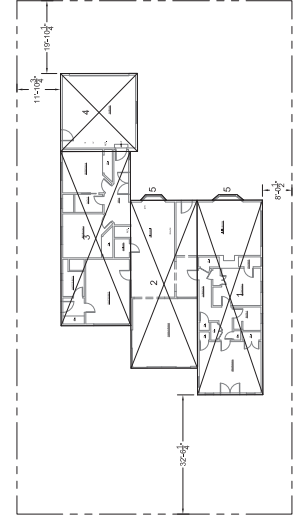
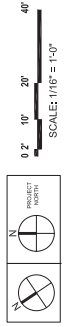
1	53'-1" X 17'-10" =	946.65	SF
2	45'-9 1/2" X 18'-2" =	821.88	SF
3	21'-3" X 17'-0" =	362.10	SF
4	21'-3" X 20'-11 1/2" =	446.23	SF
5	Irregular shape	20,500	SF
TOTAL FLOOR AREA		3,147.76	SF

(E) LOT COVERAGE CALC.:

(E) TOTAL	3,147.76	SF
LOT AREA	10,500	SF
LOT COVERAGE	3,148 / 10,500 = 29.9%	

(E) LOT COVERAGE & FLOOR AREA DIAGRAM

1/16" = 1'-0"

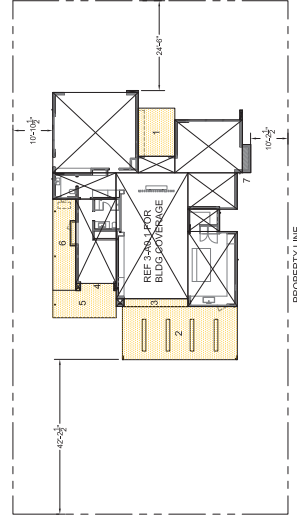
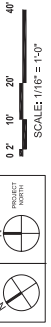


(N) LOT COVERAGE CALC. DIAGRAM

1	182.1 1/2" X 16'-0" =	131.25	SF
2	144.1 1/2" X 31'-4" =	450.41	SF
3	2'-2" X 17'-6" =	37.91	SF
4	1'-10 1/2" X 9'-2 1/2" =	17.26	SF
5	7'-6" X 17'-2" =	128.75	SF
6	7'-6" X 17'-2" =	128.75	SF
7	7'-6" X 2'-3" =	16.87	SF
First Floor and Garage =		2,342.39	SF
TOTAL:	3,278.23	SF	
LOT AREA:	10,500	SF	
LOT COVERAGE:	3,278.23 / 10,500 = 31.2%		
(MAX LOT COVERAGE ALLOWABLE: 35%)			

(N) LOT COVERAGE DIAGRAM

1/16" = 1'-0"



OHASHI DESIGN STUDIO
Architecture

5855 Doyle Street
Emeryville, California
Tel: 510.465-1100
Fax: 510.465-1133
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Chukkappali Residence

1220 BAY LAUREL DR
MENLO PARK, CA
94025

APN: 071381030

OWNER:

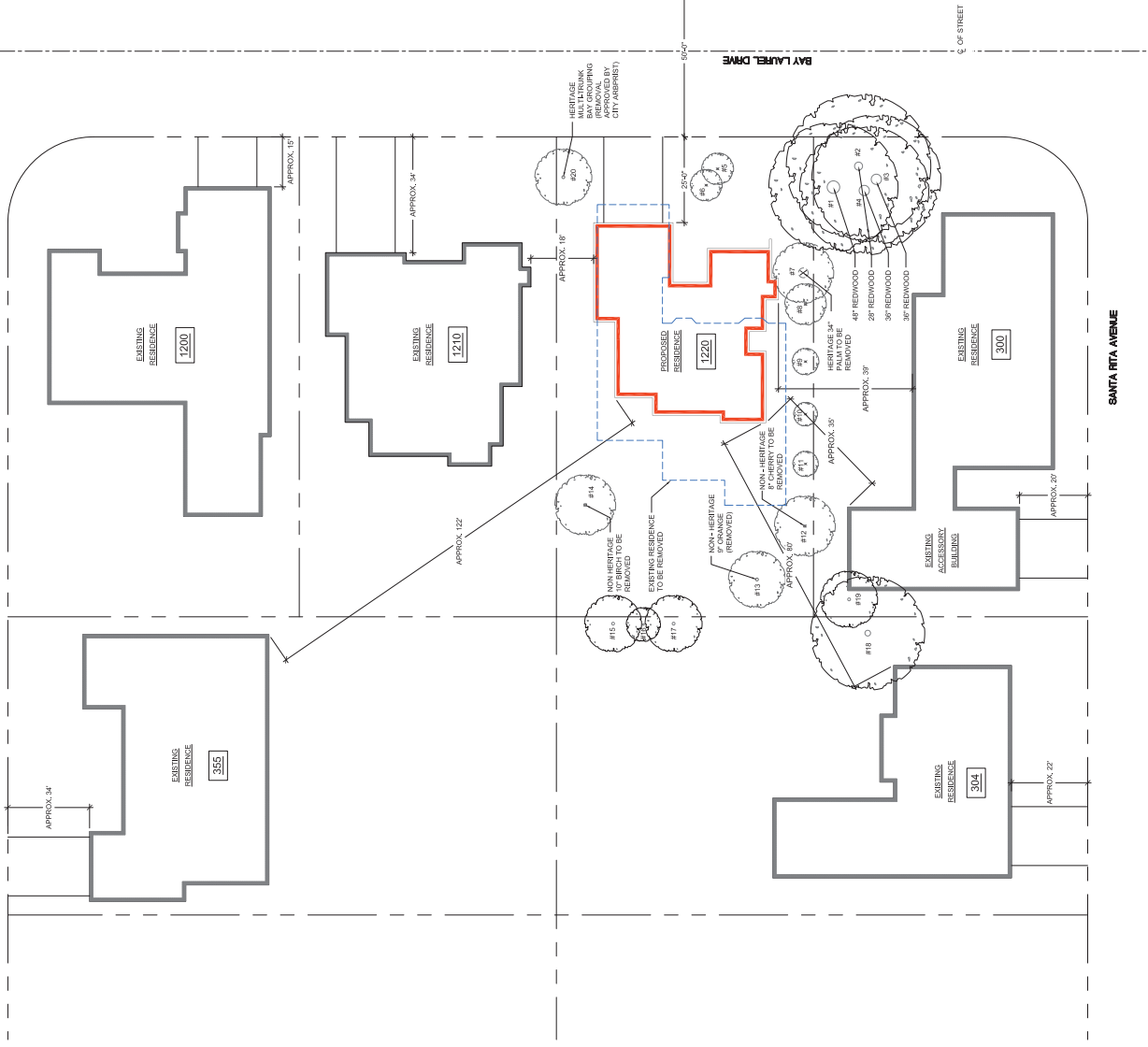
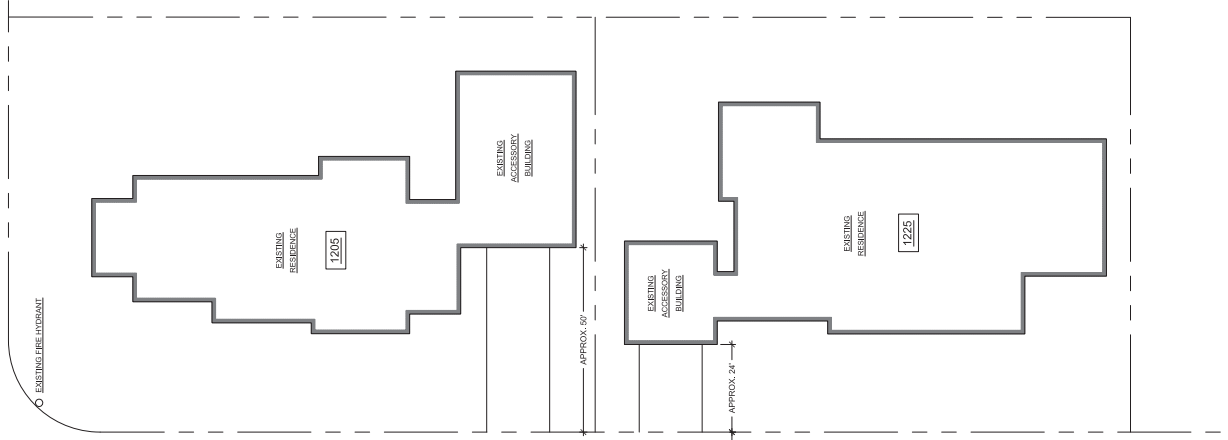
Mahesh & Geetha
Chukkappali
1220 Bay Laurel Drive
Menlo Park, CA

PLANNING SUBMITTAL

SHEET TITLE:
(N) Area Plan

10/27/16	Permit Submittal
10/28/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

A1.0



GENERAL NOTES:
1. PROPERTY LINES HAVE BEEN ESTABLISHED USING THE ASSESSOR'S MAP OF SANTA CLARA COUNTY.
2. DIMENSIONS OF BUILDING FOOTPRINTS HAVE BEEN ESTABLISHED BY GOOGLE MAPS AND ARE APPROXIMATE. ALL DATA GATHERED FROM APPROXIMATE SOURCES AND SHOULD BE CONSIDERED APPROXIMATE OR APPROXIMATE ON THE PLAN.

LEGEND:
 PROPOSED PROPERTY
 ADJACENT PROPERTY
 EXISTING RESIDENCE TO BE REMOVED
 EXISTING TREES TO BE REMOVED. REFER TO AROUND REPORT

1 (N) AREA PLAN
1/16" = 1'-0"

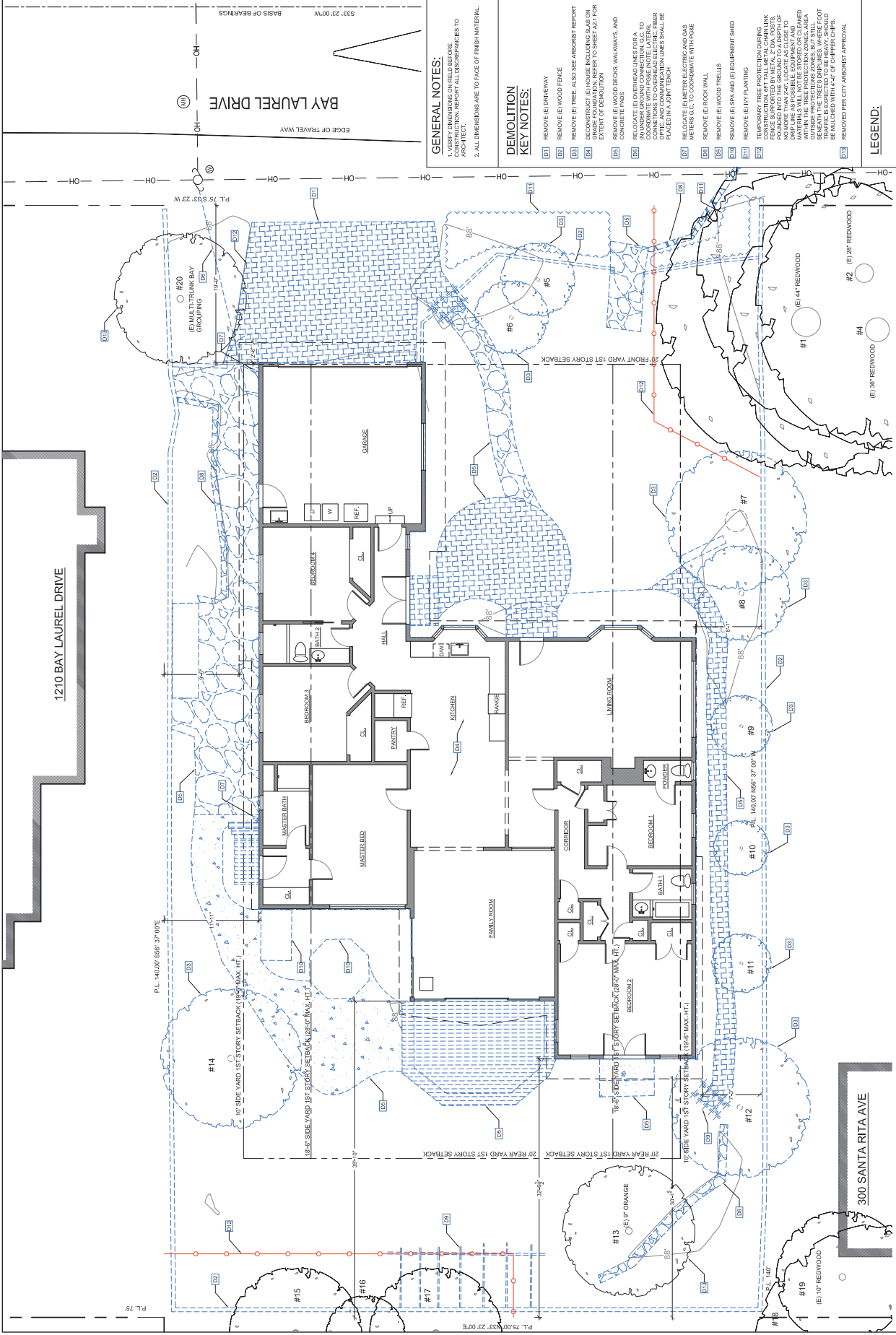


PLANNING SUBMITTAL

SHEET TITLE:
 (D) Site + (E) Floor Plan

10/21/16	Permit Submittal
10/25/16	Planting Rev #1
04/29/16	Planting Rev #2
12/01/17	Planting Rev #3

A1.1



GENERAL NOTES:
 1. VERIFY DIMENSIONS ON FIELD BEFORE CONSTRUCTION. REPORT ALL DISCREPANCIES TO ARCHITECT.
 2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

DEMOLITION KEY NOTES:
 (D1) REMOVE (E) DRIVEWAY
 (D2) REMOVE (E) WOOD FENCE
 (D3) REMOVE (E) TREE. ALSO SEE ARBORIST REPORT FOR CONSTRUCTION (E) HOUSE INCLUDING SLAB ON GRADE. REMOVE (E) TREE TO SHEET FACE FOR EXTENT OF DEMOLITION.
 (D4) REMOVE (E) WOOD DECKS, WALKWAYS, AND CONCRETE PATHS.
 (D5) RELOCATE (E) OVERHEAD LINES FOR A MINIMUM OF 10 FEET FROM ALL EXISTING AND CONDUITS TO OVERHEAD ELECTRIC. RELOCATE WITH POLE. NOTE: ALL LATERAL CONNECTIONS TO OVERHEAD LINES SHALL BE PLACED IN A JOINT TENCH.
 (D6) RELOCATE (E) METERS ELECTRIC AND GAS METERS S.C. TO COORDINATE WITH POLE.
 (D7) REMOVE (E) WOOD WALL.
 (D8) REMOVE (E) WOOD TRELLIS.
 (D9) REMOVE (E) SPA AND (E) EQUIPMENT SHED.
 (D10) REMOVE (E) IVY PLANTING.
 (D11) TEMPORARY TREE PROTECTION DURING DEMOLITION SHALL BE INSTALLED TO PROTECT ALL TREES WITH DBH 4" OR GREATER. NO MORE THAN 2'2" LOCATE & CLOSE TO ALL TREES. ALL TREES TO BE REMOVED OR CLEANED UP SHALL BE REMOVED OR CLEANED UP WITHIN THE TREE PROTECTION ZONES. AREA WITHIN THE TREE PROTECTION ZONES, AREA BENEATH THE TREE DRUM LINES, WHERE THE FOOT OF THE TREE TRUNK IS LOCATED, SHALL BE MULCHED WITH 4" OF CHIPPED CHIPS.
 (D12) REMOVED PER CITY ARBORIST APPROVAL.

LEGEND:

- ADJACENT PROPERTY
- (E) WALLS OR ITEMS TO BE REMOVED
- TEMPORARY TREE PROTECTION
- DEMOLITION (EXISTING KEY NOTE)



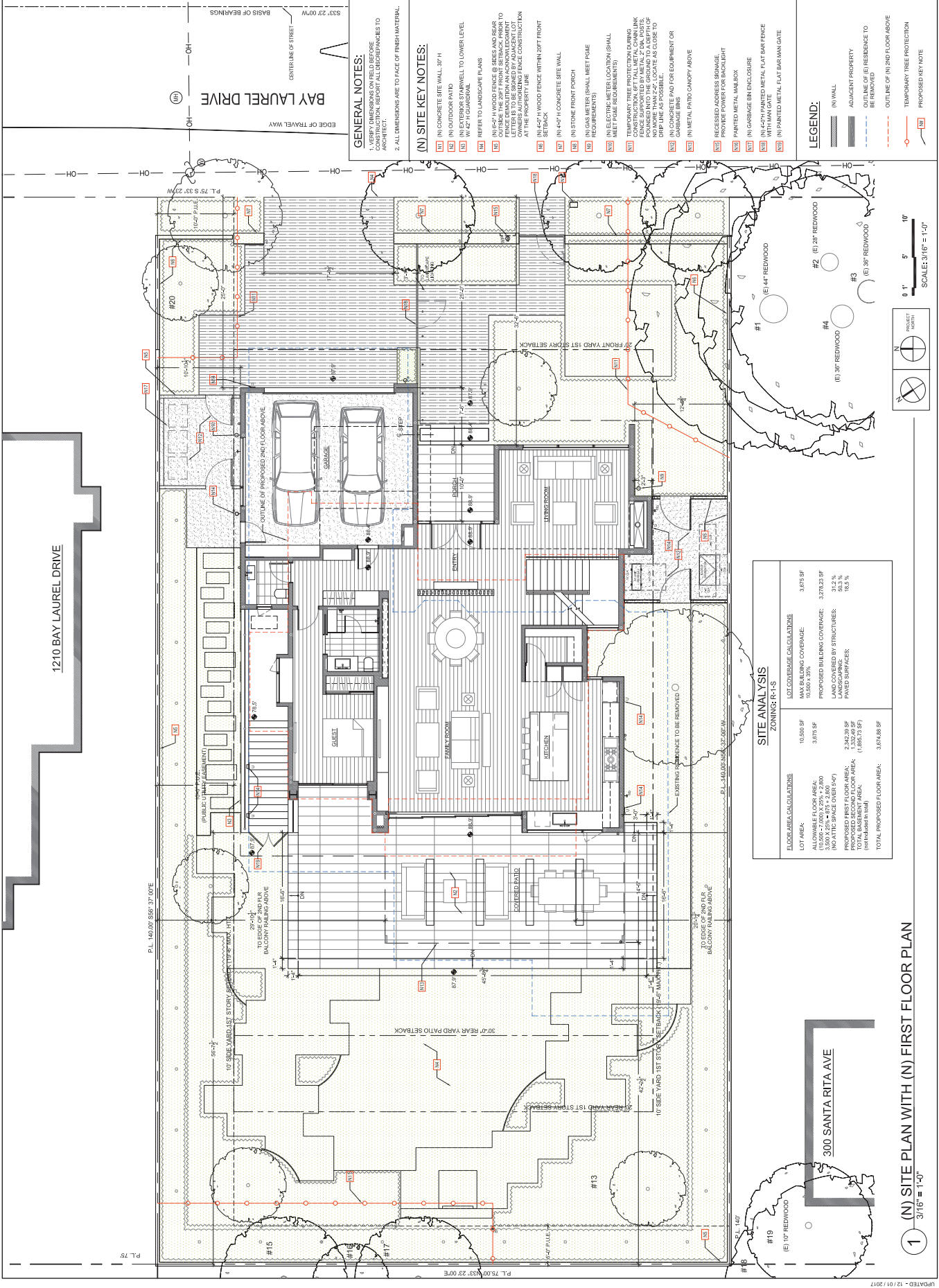
1 (E) SITE PLAN WITH EXISTING PLAN
 3/16" = 1'-0"



**PLANNING
SUBMITTAL**

SHEET TITLE:
(N) Site + (N) Floor Plan

02/11/16	Permit Submittal
10/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3



GENERAL NOTES:
1. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.
2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.
3. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.
4. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

- (N) SITE KEY NOTES:**
- #1 (N) CONCRETE SITE WALL 30" H
 - #2 (N) OUTDOOR PATIO
 - #3 (N) 4" TYP. GRANITE
 - #4 (N) REFER TO LANDSCAPE PLANS
 - #5 (N) 18" DIA. REDWOOD POSTS
 - #6 (N) 18" DIA. REDWOOD POSTS
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 - #100 (N) 18" DIA. REDWOOD POSTS

LEGEND:

(N) WALL
ADJACENT PROPERTY
OUTLINE OF (E) RESIDENCE TO BE REMOVED
OUTLINE OF (N) 2ND FLOOR ABOVE
TEMPORARY TREE PROTECTION
PROPOSED KEY NOTE

SITE ANALYSIS
ZONING: R-1S

FLOOR AREA CALCULATIONS	
LOT AREA:	15,000 SF
MAX. ALLOWABLE FLOOR AREA:	3,675 SF
(1,500' x 7,000' x 25% + 2,800' x 300' X 15% = 3,675 SF)	
MAX. ALLOWABLE PAVED SURFACE:	3,675 SF
PROPOSED FIRST FLOOR AREA:	3,242.95 SF
PROPOSED SECOND FLOOR AREA:	1,332.48 SF
(see landscape plan)	(1,865.73 SF)
TOTAL PROPOSED FLOOR AREA:	3,874.86 SF

LOT COVERAGE CALCULATIONS	
MAX BUILDING COVERAGE:	3,675 SF
15,000 x 25%	
PROPOSED BUILDING COVERAGE:	3,278.23 SF
21.85%	
LAND COVERED BY STRUCTURES:	31.2 %
LANDSCAPING:	59.3 %
PAVED SURFACES:	100 %

1 (N) SITE PLAN WITH (N) FIRST FLOOR PLAN
3/16" = 1'-0"



**Chukkapali
Residence**

1220 BAY LAUREL DR
MENLO PARK, CA
94025

APN: 077381030

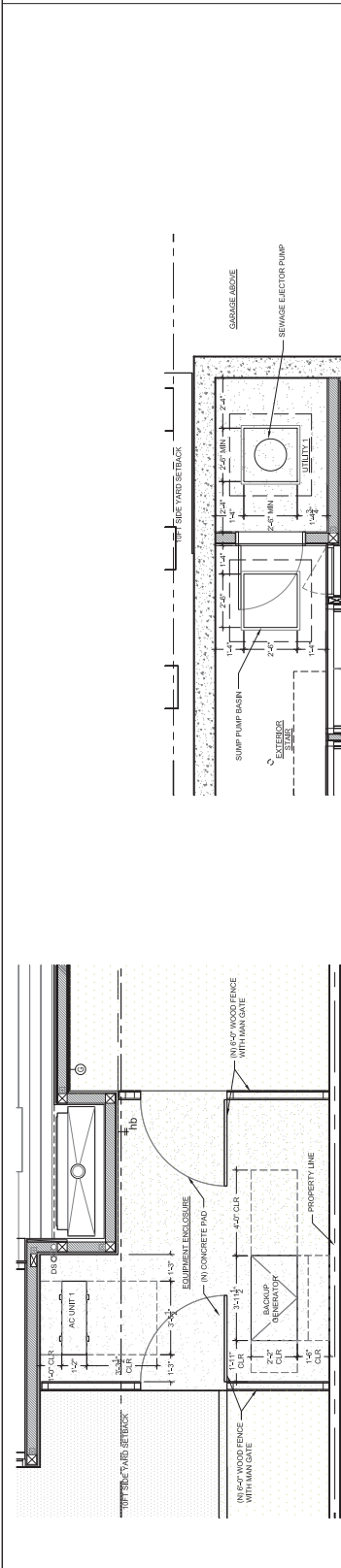
OWNER:
Mahesh & Geetha
Chukkapali
1220 Bay Laurel Drive
Menlo Park, CA

**PLANNING
SUBMITTAL**

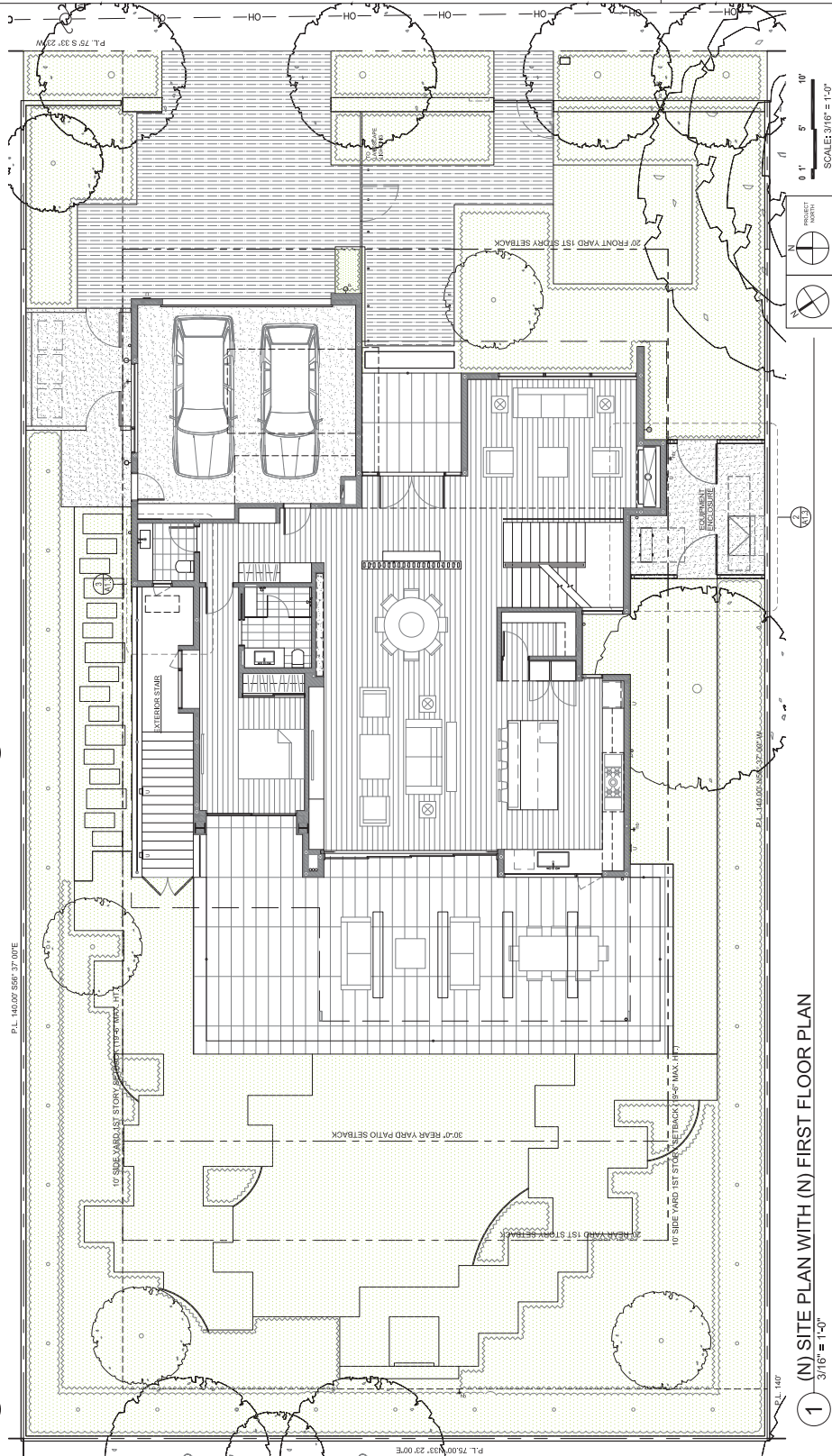
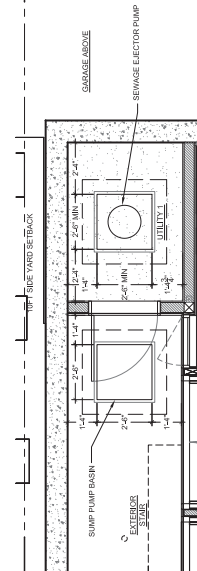
SHEET TITLE:
(N) Site + (N) Floor Plan

02/11/16	Permit Submittal
03/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

A1.3

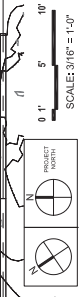


3 (N) PARTIAL BASEMENT PLAN
3/8" = 1'-0"
SCALE: 3/8" = 1'-0"



LEGEND:

- (N) WALL
- ADJACENT PROPERTY
- OUTLINE OF (E) RESIDENCE TO BE REMOVED
- OUTLINE OF (N) 2ND FLOOR ABOVE
- TEMPORARY TREE PROTECTION
- PROPOSED KEY NOTE





Chukkappal Residence

1220 BAY LAUREL DR
 MENLO PARK, CA
 94025

APN: 071381030

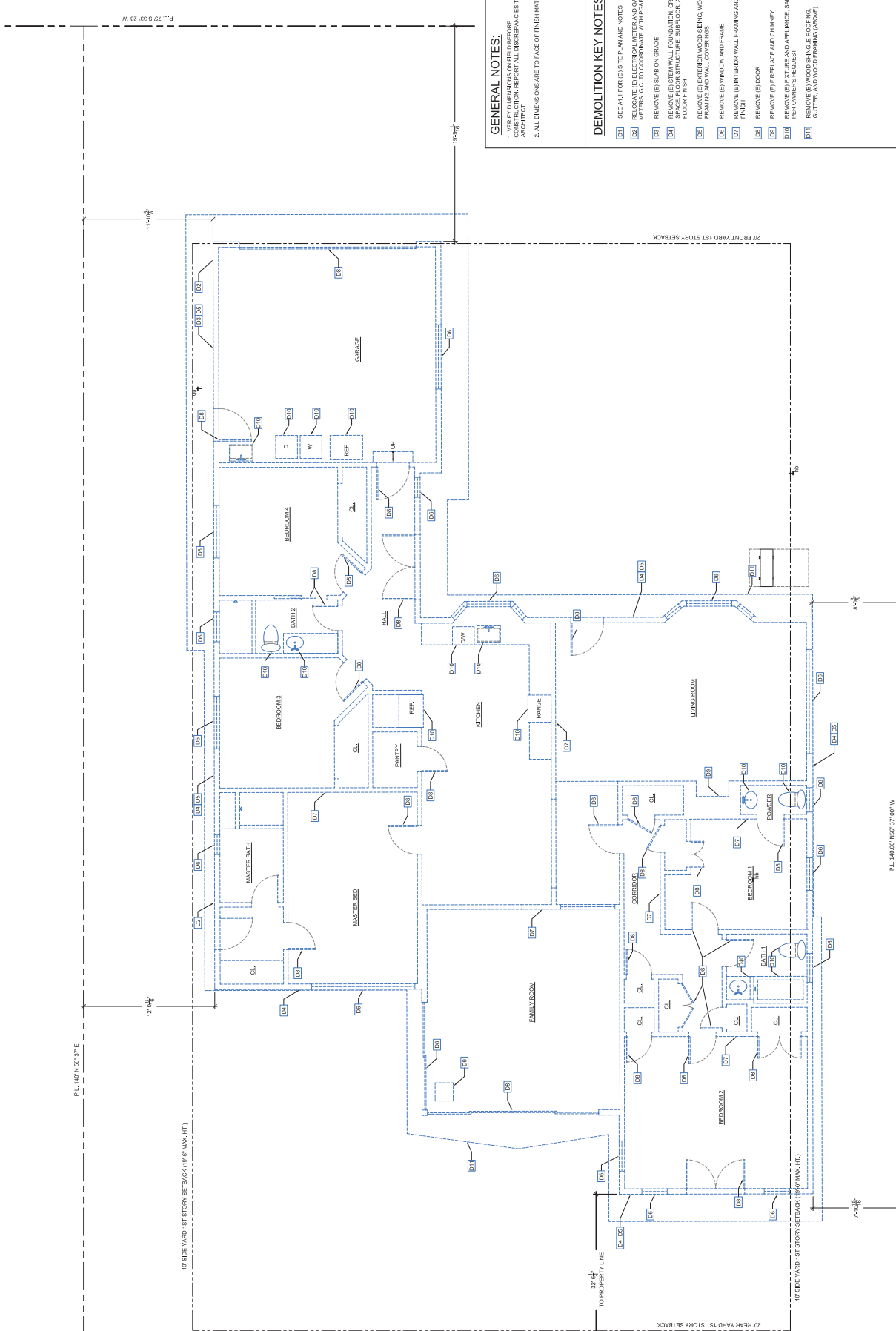
OWNER:
 Mahesh & Geetha
 Chukkappal
 1220 Bay Laurel Drive
 Menlo Park, CA

PLANNING SUBMITTAL

SHEET TITLE:
 (E) Floor Plan

02/11/16	Permit Submittal
10/25/16	Planning Rev #1
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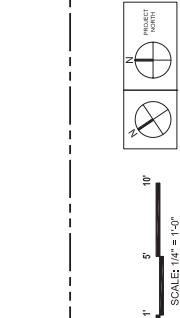
A2.1



GENERAL NOTES:
 1. SEE ALL DIMENSIONS, CONTRACT NOTES AND CONSTRUCTION REPORT ALL DIMENSIONS TO ARCHITECT.
 2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

- DEMOLITION KEY NOTES:**
- D1 SEE A1 FOR IDI SITE PLAN AND NOTES
 - D2 RELOCATE (E) ELECTRICAL METER AND GAS METERS, G.C. TO COORDINATE WITH POSE
 - D3 REMOVE (E) SLAB ON GRADE
 - D4 REMOVE (E) STEEL WALL FOUNDATION, GRAVEL SPACE, FLOOR STRUCTURE, SUBFLOOR, AND CLOSURE FINISH PARTITIONS, WOOD SIKING, WOOD FRAMING AND WALL COVERINGS
 - D5 REMOVE (E) WINDOW AND FRAME
 - D6 REMOVE (E) INTERIOR WALL FRAMING AND FINISH
 - D7 REMOVE (E) DOOR
 - D8 REMOVE (E) FIREPLACE AND CHIMNEY PER OWNER'S REQUEST
 - D11 REMOVE (E) WOOD SHINGLE ROOFING, CUTTER AND WOOD FRAMING (POOLS)

LEGEND:
 (E) WALLS OR ITEMS TO BE REMOVED
 (E) DEMOLITION / EXISTING (E) NOTE



(E) FLOOR PLAN
 1/4" = 1'-0"



PLANNING SUBMITTAL

SHEET TITLE: (N) Basement Floor Plan

10/21/16	Permit Submittal
10/25/16	Planning Rev #1
10/29/16	Planning Rev #2
12/01/17	Planning Rev #3

A2.2

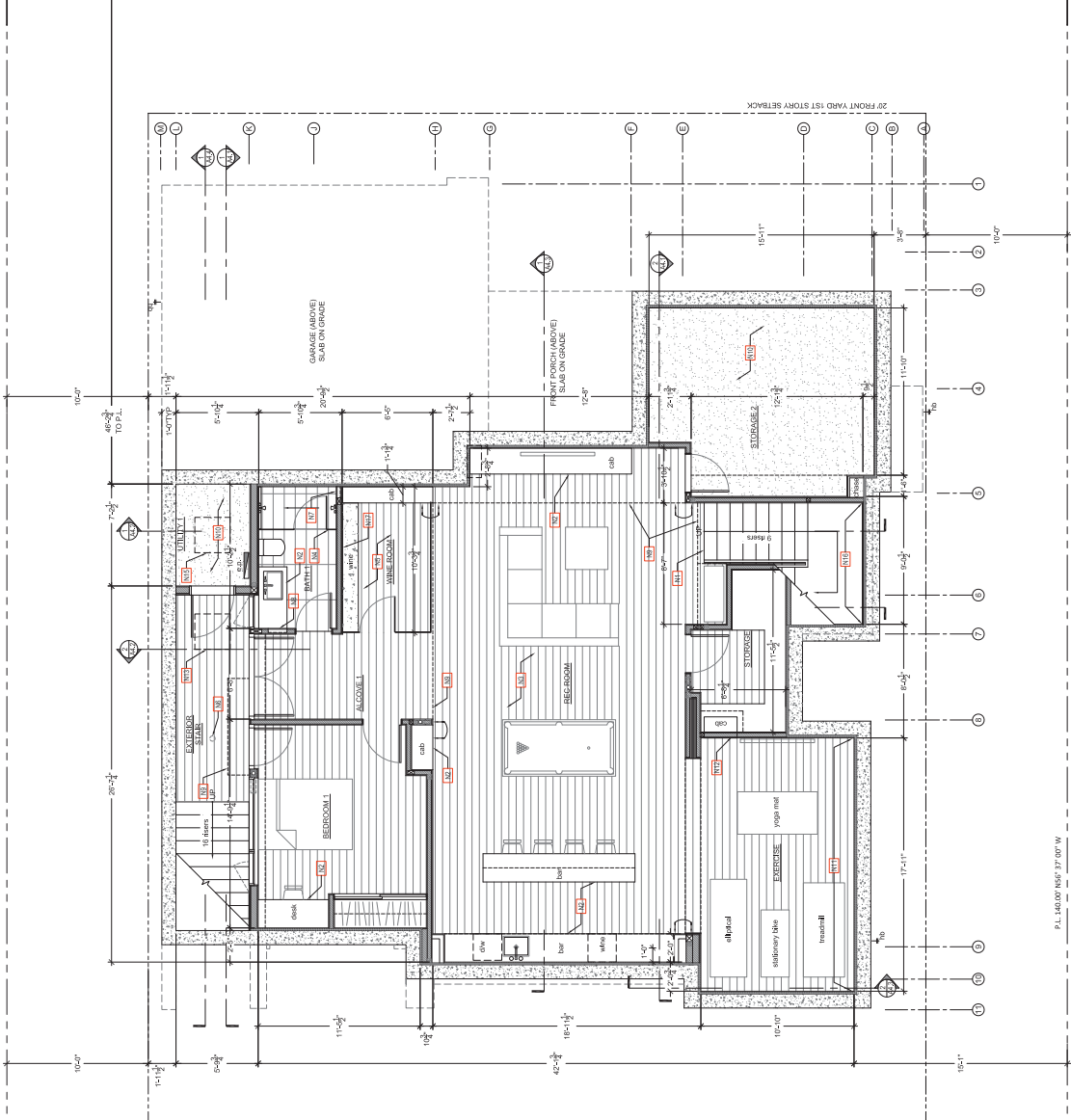
GENERAL NOTES:
 1. VERIFY DIMENSIONS ON FIELD BEFORE CONSTRUCTION. REPORT ALL DISCREPANCIES TO ARCHITECT.
 2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.
 3. PROVIDE STEEL BRACKET AT ALL FLOATING PARTS DETAIL WITH ARCHITECT AND CABINET MANAGER.

PROPOSED KEY NOTES:

- 12 (N) STAIR AND HANDRAIL. SEE SHEET A7.3
- 13 (N) CABINETS
- 14 (N) WOOD FLOORING
- 15 (N) CONCRETE FLOORING
- 16 (N) SHOWER NICHES TO BE VERIFIED WITH ARCHITECT AND CONTRACTOR. SEE SHEET A7.3
- 17 (N) SHOWER NICHES TO BE VERIFIED WITH ARCHITECT AND CONTRACTOR. SEE SHEET A7.3
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- 99 (N) SHOWER NICHES TO BE VERIFIED WITH ARCHITECT AND CONTRACTOR. SEE SHEET A7.3
- 100 (N) SHOWER NICHES TO BE VERIFIED WITH ARCHITECT AND CONTRACTOR. SEE SHEET A7.3

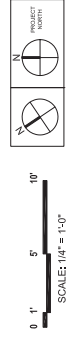
LEGEND:

- (N) WALL
- (N) CONCRETE WALL W/ 2X PRESSURE TREATED FLOORING
- ADJACENT PROPERTY
- EXISTING RESIDENCE TO BE REMOVED
- PROPOSED KEY NOTE
- DEMOLITION / EXISTING KEY NOTE
- DS. DOWNSPOUT



ROOM AREA CALCULATIONS:

ROOM NAME	AREA (SF)	REQUIRED IN SUI (SF)	PROPOSED SUI (SF)	REQUIRED IN RETENTION (SF)	PROPOSED RETENTION (SF)
MASTER BEDROOM	222.34	17.79	100.35	8.89	66.90
BEDROOM 1	149.93	11.99	31.96	9.99	12.93
BEDROOM 2	122.28	9.78	99.01	4.89	35.73
BEDROOM 3	155.94	12.96	114.32	6.28	31.44
GUEST BEDROOM	175.61	14.88890	95.62	7.04400	38.32



1 (N) BASEMENT FLOOR PLAN
 1/4" = 1'-0"



**Chukkapali
Residence**

1220 BAY LAUREL DR
MENLO PARK, CA
94025

APN: 071381030

OWNER:

Maheshi & Geetha
Chukkapali
1220 Bay Laurel Drive
Menlo Park, CA

**PLANNING
SUBMITTAL**

SHEET TITLE:
(N) First Floor Plan

12071116	Permit Submittal
10252516	Planning Rev #1
10429116	Planning Rev #2
12001717	Planning Rev #3

A2.3

GENERAL NOTES:

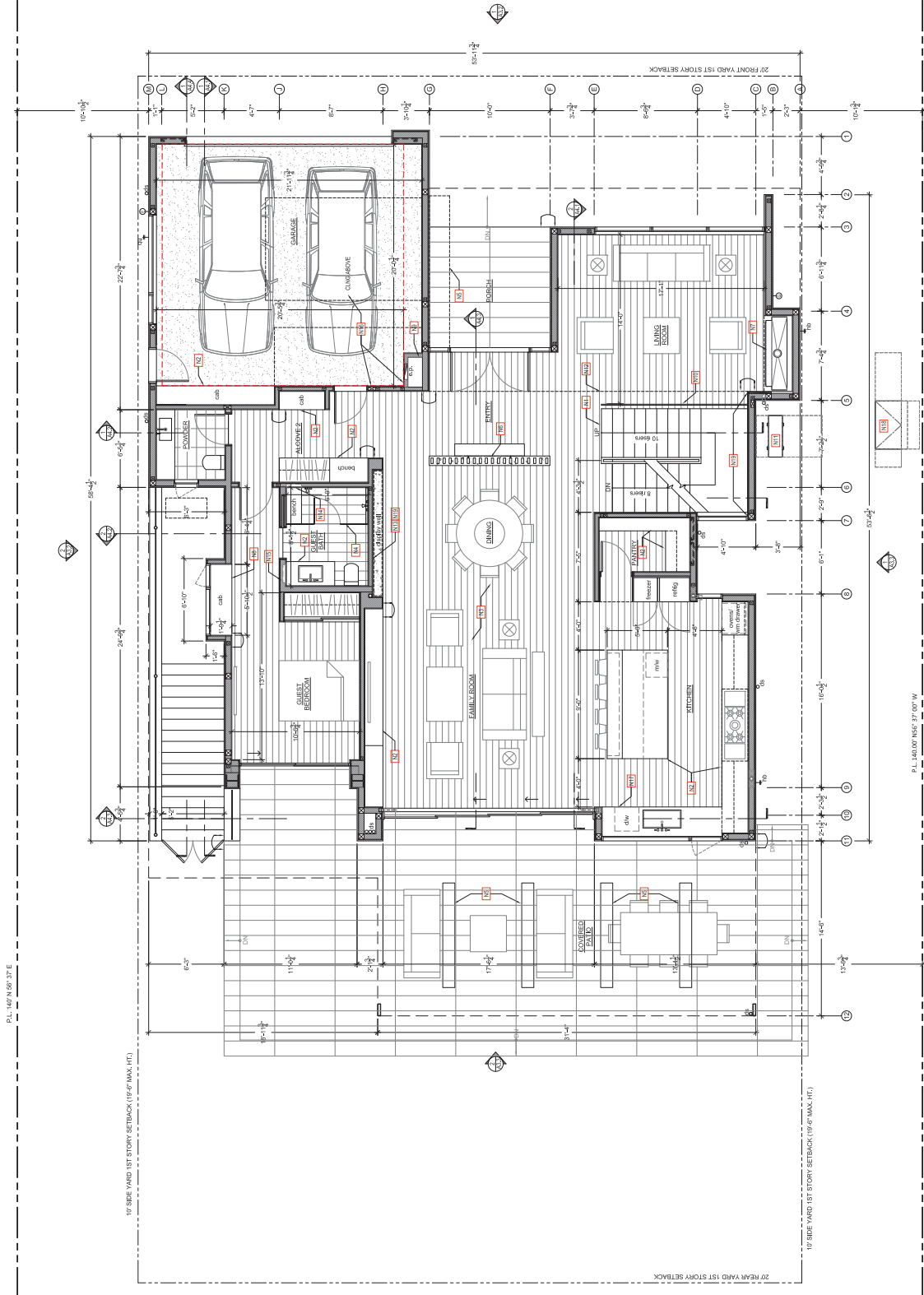
1. VERIFY DIMENSIONS ON FIELD BEFORE CONSTRUCTION. REPORT ALL DISCREPANCIES TO ARCHITECT.
2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.
3. PROVIDE STEEL BRACKET AT ALL FLOATING PARTS TO BE INSTALLED WITH ARCHITECT AND CABINET MAKER.

PROPOSED KEY NOTES:

- 101 (N) STAIR AND HANDRAIL. SEE SHEET A1.3
- 102 (N) CABINETS
- 103 (N) WOOD FLOORING
- 104 (N) WOOD FLOORING: PROVIDE 3/4" X 3/4" X 1/8" SPC JOISTS WITH 1/2" JOIST BRACING. FIT TO WIDTH OF SHOWER.
- 105 (N) SKYLIGHT (ABOVE)
- 106 (N) DECORATIVE SCREEN WALL WITH ROCK BED FLUSH WITH FLOOR
- 107 (N) DIRECT VENT FREEFACE. SEE SCHEDULE
- 108 (N) CANTILEVERED BAY WINDOW W/ CABINETS
- 109 (N) EQUIPMENT CHASE
- 110 (N) GLASS CURTAIN WALL
- 111 (N) OUTDOOR AC UNIT
- 112 (N) LINE OF SLOTTED ABOVE
- 113 (N) PROVIDE 1/2" X 1/2" X 1/4" BRASS BACK PAINTED GLASS WALL CONCEALED ART SHIP FIXES. RECESSED FIBER ROCK BED FLUSH WITH TILE
- 114 (N) SHOWER NOSE. ADJUSTED WITH TILE
- 115 (N) PROVIDE RECESSED MEDICINE CABINET
- 116 (N) PROVIDE OCCUPANCY SEPARATION WITH 5/8" TYPE GYPSUM BOARD AT THE GARAGE RISER AND TABLE RISER.
- 117 (N) DRAINWASHER. NO DRAINWASHER MACHINE SHALL BE DIRECTLY INSTALLED IN OR ABOVE A CUPBOARD OR UNDER A SINK. APPROVED CAPUT FINISH ON THE MACHINE. UPC SECTION 607.4.
- 118 (N) OUTDOOR HOME STANDBY GENERATOR. SEE TBD
- 119 (N) PROVIDE PLYWOOD BEARING OTF AT ART WALL

LEGEND:

- (N) WALL
- ADJACENT PROPERTY
- EXISTING RESIDENCE TO BE REMOVED
- 20' X 20' CLEAR GARAGE PARKING AREA
- PROPOSED KEY NOTE
- DEMOLITION / EXISTING KEY NOTE
- DS. DOWNSPOUT



0' 1" 5' 10'
SCALE: 1/4" = 1'-0"

1 (N) FIRST FLOOR PLAN
1/4" = 1'-0"

**OHASHI
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5855 Doyle Street
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Tel. 510.426-1300
Fax. 510.426-1313
www.ohashi.com



**Chukkappali
Residence**

1220 BAY LAUREL DR
MENLO PARK, CA
94025

APN: 071381030

OWNER:

Maheesh & Geetha
Chukkappali
1220 Bay Laurel Drive
Menlo Park, CA

**PLANNING
SUBMITTAL**

SHEET TITLE:

(N) Second Floor Plan
w/ Lower Roof Plan

02/11/16	Permit Submittal
10/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

A2.4

GENERAL NOTES:

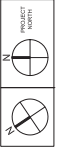
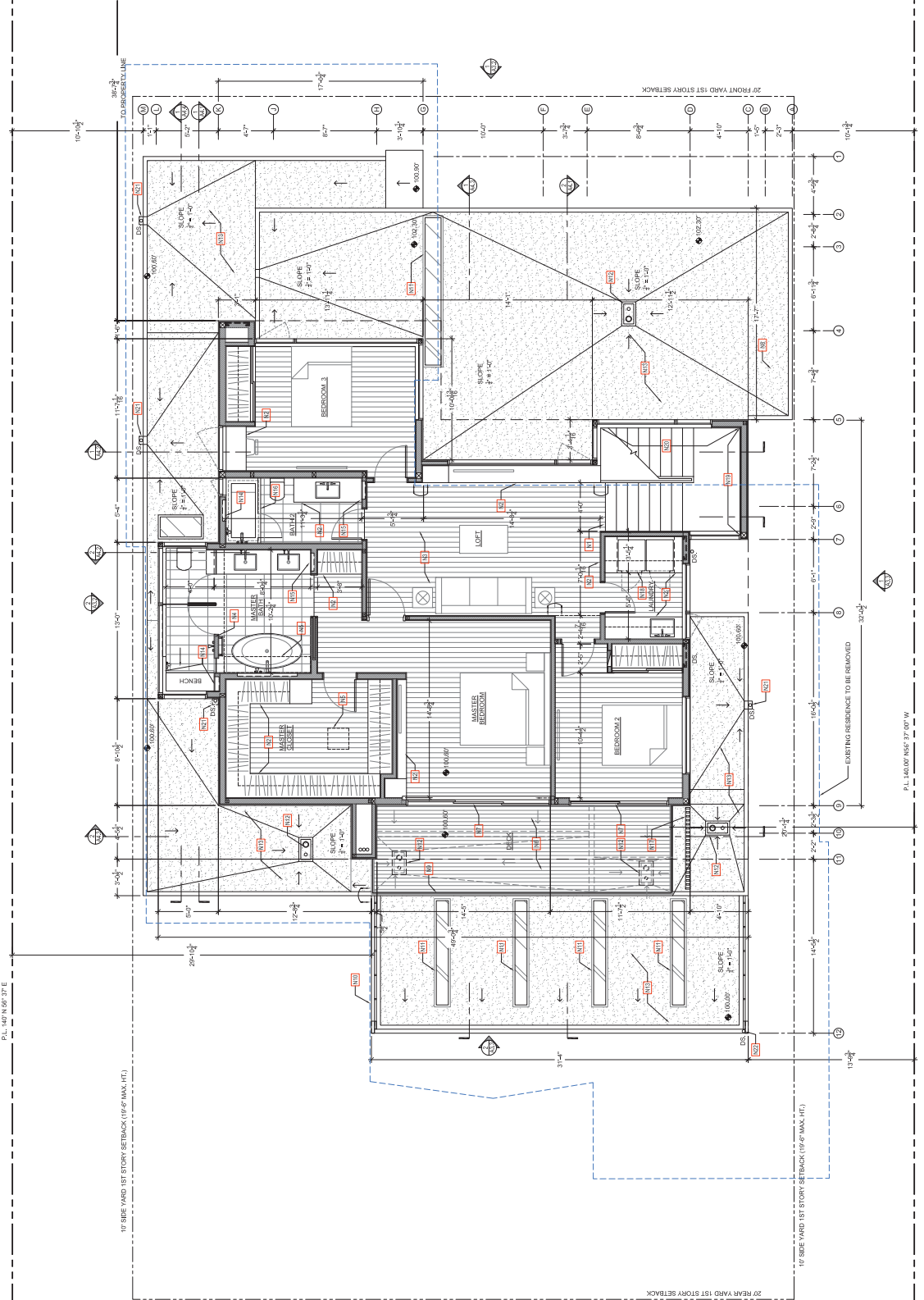
- VERIFY DIMENSIONS ON FIELD BEFORE CONSTRUCTION. REPORT ALL DISCREPANCIES TO ARCHITECT.
- ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.
- PROVIDE STEEL BRACKET AT ALL FLOATING PARTS TO BE SET IN CONCRETE WITH ANCHOR BOLT AND CABINET MANER.

PROPOSED KEY NOTES:

- (N1) (N) STAIR AND HANDRAIL. SEE SHEET A2.3
- (N2) (N) CABINETS AND/OR FIXTURE
- (N3) (N) WOOD FLOORING
- (N4) (N) WOOD DECK
- (N5) (N) SKYLIGHT (ABOVE)
- (N6) (N) SKYLIGHT (BELOW)
- (N7) (N) PAINTED METAL CHIMNEY FLUE
- (N8) (N) GLASS HANDRAIL W/ STAINLESS STEEL TRIM CAP
- (N9) (N) PATIO CANOPY
- (N10) (N) ROOF BRIM
- (N11) (N) TPO ROOFING, 1ST FLOOR ROOF TO RECEIVE LANDSCAPE PERILES AT TPO DETAILS
- (N12) (N) GLASS WATED PERIF DETALS
- (N13) (N) SMOKEUR NICHE
- (N14) (N) IMPREGED RECESSED MEDICINE CABINET
- (N15) (N) BATHTUB W/ GLASS SHOWER ENCLOSURE
- (N16) (N) SHOWER SCREEN (PER PLANNING COMMENT 01/11/16)
- (N17) (N) WASHING MACHINE PROVIDE WATER TIGHT PAN OF CORROSION RESISTANT MATERIAL TO AN APPROVED LOCATION.
- (N18) PROVIDE FLYWOOD BEARING OTF AT ART WALL
- (N19) (N) WALL FINISH WITH WALL FINISH BELOW
- (N20) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N21) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N22) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N23) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N24) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N25) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N26) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N27) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N28) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N29) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N30) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N31) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N32) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N33) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N34) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N35) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N36) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N37) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N38) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N39) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N40) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N41) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N42) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N43) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N44) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N45) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N46) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N47) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N48) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N49) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N50) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N51) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N52) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N53) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N54) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N55) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N56) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N57) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N58) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N59) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N60) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N61) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N62) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N63) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N64) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N65) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N66) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N67) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N68) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N69) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N70) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N71) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N72) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N73) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N74) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N75) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N76) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N77) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N78) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N79) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N80) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N81) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N82) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N83) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N84) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N85) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N86) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N87) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N88) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N89) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N90) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N91) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N92) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N93) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N94) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N95) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N96) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N97) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N98) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N99) (N) ROOF SCUPPER W/ DOWNSPOUT
- (N100) (N) ROOF SCUPPER W/ DOWNSPOUT

LEGEND:

- (N) WALL
- ADJACENT PROPERTY
- EXISTING RESIDENCE TO BE REMOVED
- PROPOSED KEY NOTE
- DEMOLITION / EXISTING KEY NOTE
- DS: DOWNSPOUT



0' 1" 5' 10'
SCALE: 1/4" = 1'-0"

① (N) SECOND FLOOR PLAN W/ LOWER ROOF PLAN
1/4" = 1'-0"



PLANNING SUBMITTAL

SHEET TITLE:
(N) Upper Roof Plan

02/11/16	Permit Submittal
10/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

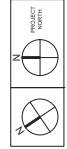
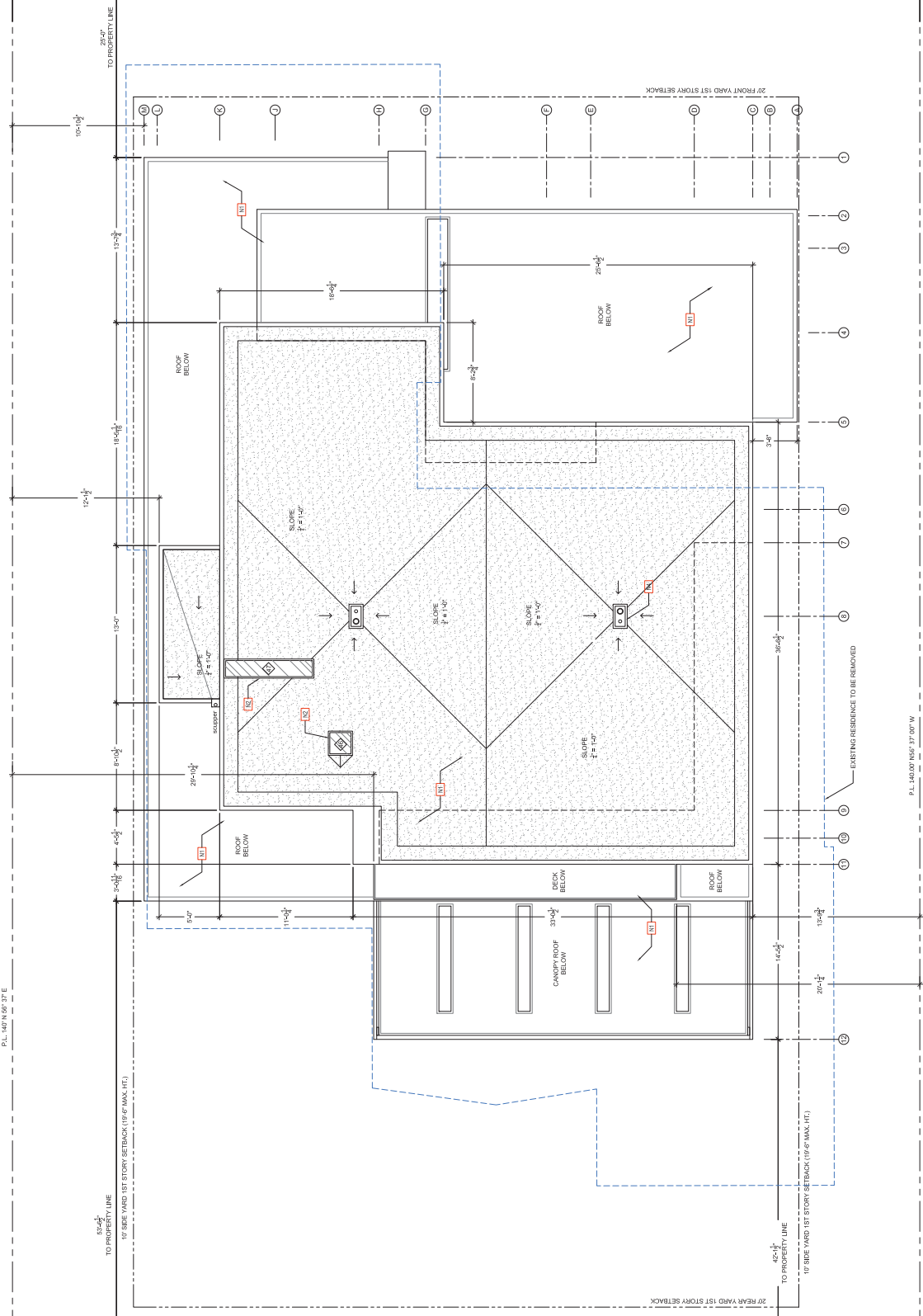
A2.5

GENERAL NOTES:
1. VERIFY DIMENSIONS ON FIELD BEFORE CONSTRUCTION. REPORT ALL DISCREPANCIES TO ARCHITECT.
2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.
3. EXPOSED ROOF TOP FINISH TO BE COORDINATED WITH ARCHITECT FOR LAYOUT OF UP-DRAWN LAYOUT PENDING FINAL HVAC DESIGN.

PROPOSED KEY NOTES:
RT (N) TPO ROOFING CLASS A RATED PER ROOF DETAILS
SK (N) SKYLIGHT
CF (N) CHIMNEY/FLUE
RD (N) ROOF DRAIN

LEGEND:

 (N) WALL
 ADJACENT PROPERTY
 EXISTING RESIDENCE TO BE REMOVED
 PROPOSED KEY NOTE
 DEMOLITION / EXISTING KEY NOTE
 DS. DOWNSPOUT



0' 1" 5' 10'
SCALE: 1/4" = 1'-0"

1 (N) UPPER ROOF PLAN
1/4" = 1'-0"



Chukkappali Residence

1220 BAY LAUREL DR
MENLO PARK, CA
94025

APN: 071381030

OWNER:

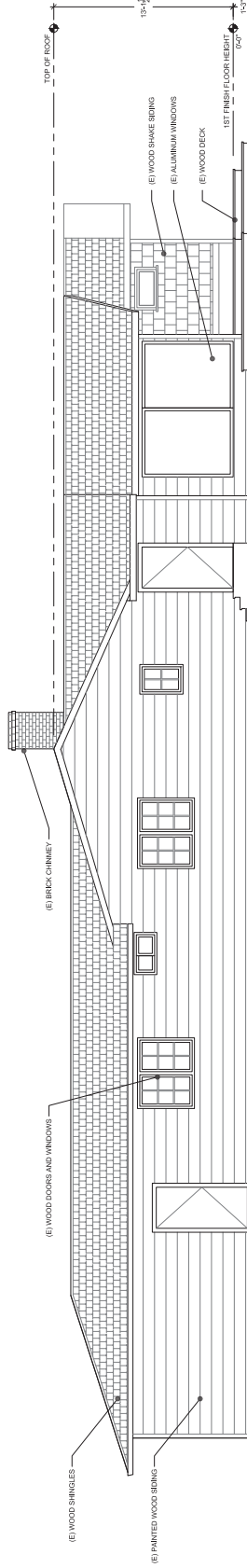
Maheshi & Geetha
Chukkappali
1220 Bay Laurel Drive
Menlo Park, CA

EXISTING

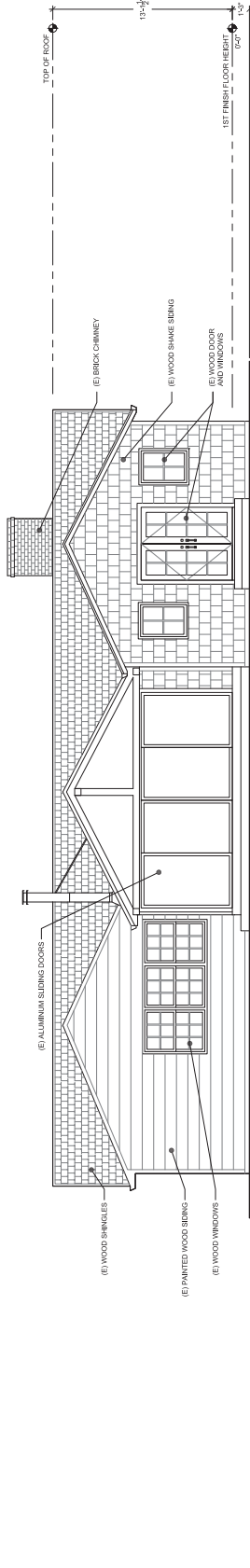
SHEET TITLE:
(E) Exterior Elevations

10/21/16	Permit Submittal
10/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

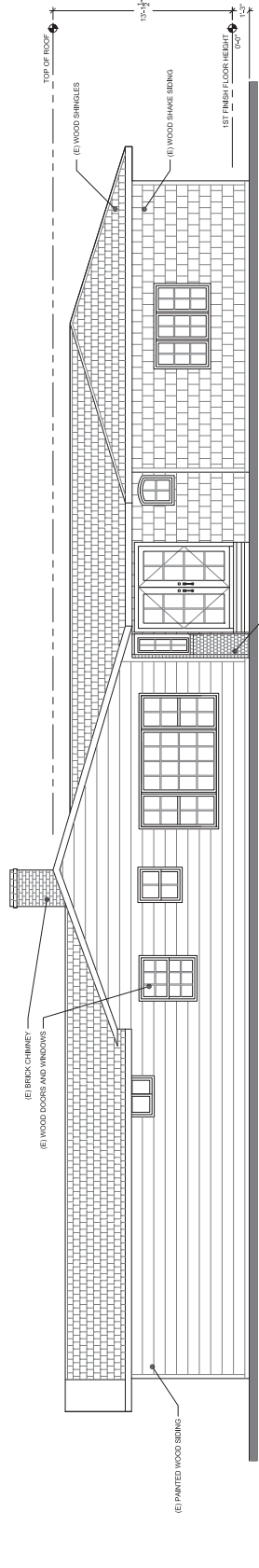
A3.0



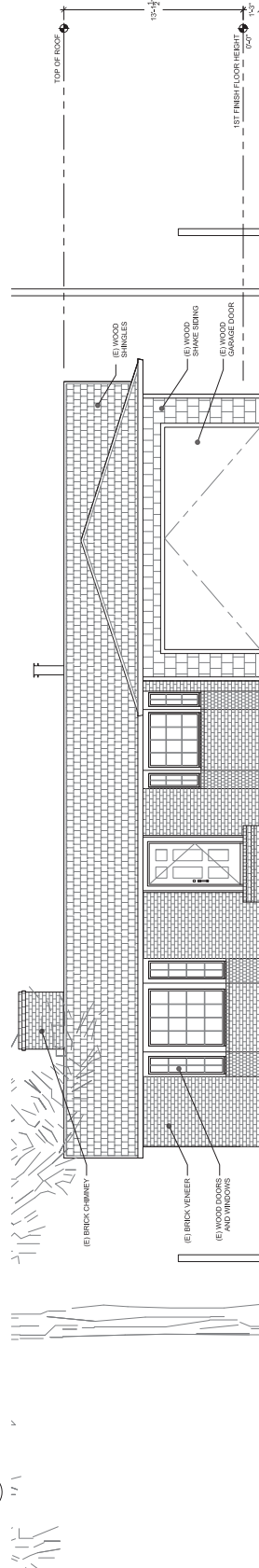
4 (E) NORTH ELEVATION
1/4" = 1'-0"



3 (E) WEST ELEVATION
1/4" = 1'-0"



2 (E) SOUTH ELEVATION
1/4" = 1'-0"



1 (E) EAST ELEVATION
1/4" = 1'-0"



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**Chukkapali
Residence**

1220 BAY LAUREL DR
MENLO PARK, CA
94025

APN: 071381030

OWNER:

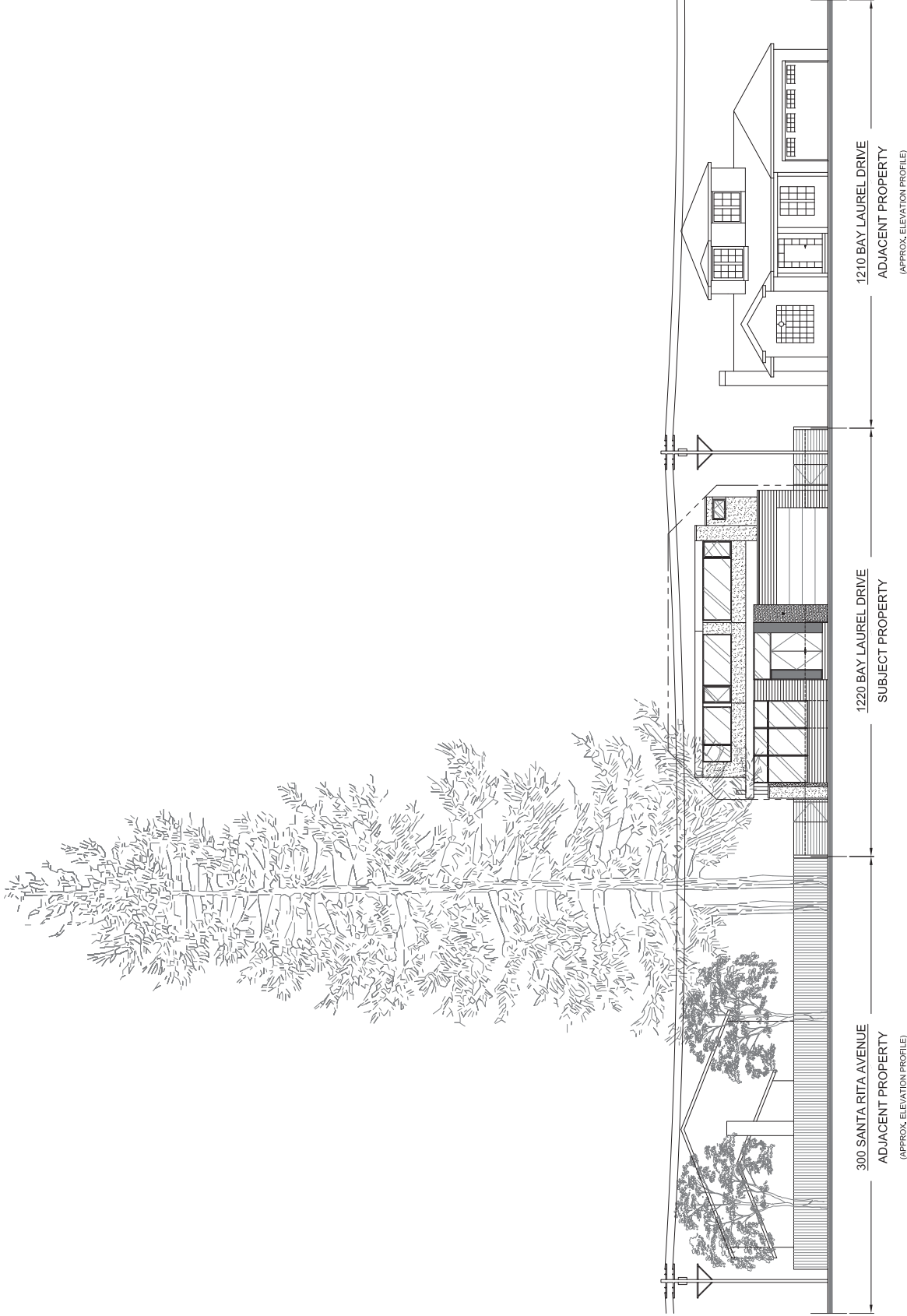
Maheshi & Geetha
Chukkapali
1220 Bay Laurel Drive
Menlo Park, CA

**PLANNING
SUBMITTAL**

SHEET TITLE:
(N) Streetscape
Elevation

02/11/16	Permit Submittal
10/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

A3.1



1 (N) FRONT ELEVATION - STREETSCAPE
1/8" = 1'-0"



Chukkapali Residence
 1220 BAY LAUREL DR
 MENLO PARK, CA
 94025

APN: 071381030
 OWNER:
 Maheshi & Geetha
 Chukkapali
 1220 Bay Laurel Drive
 Menlo Park, CA

PLANNING SUBMITTAL

SHEET TITLE:
 (N) Exterior Elevations

02/11/16	Permit Submittal
10/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

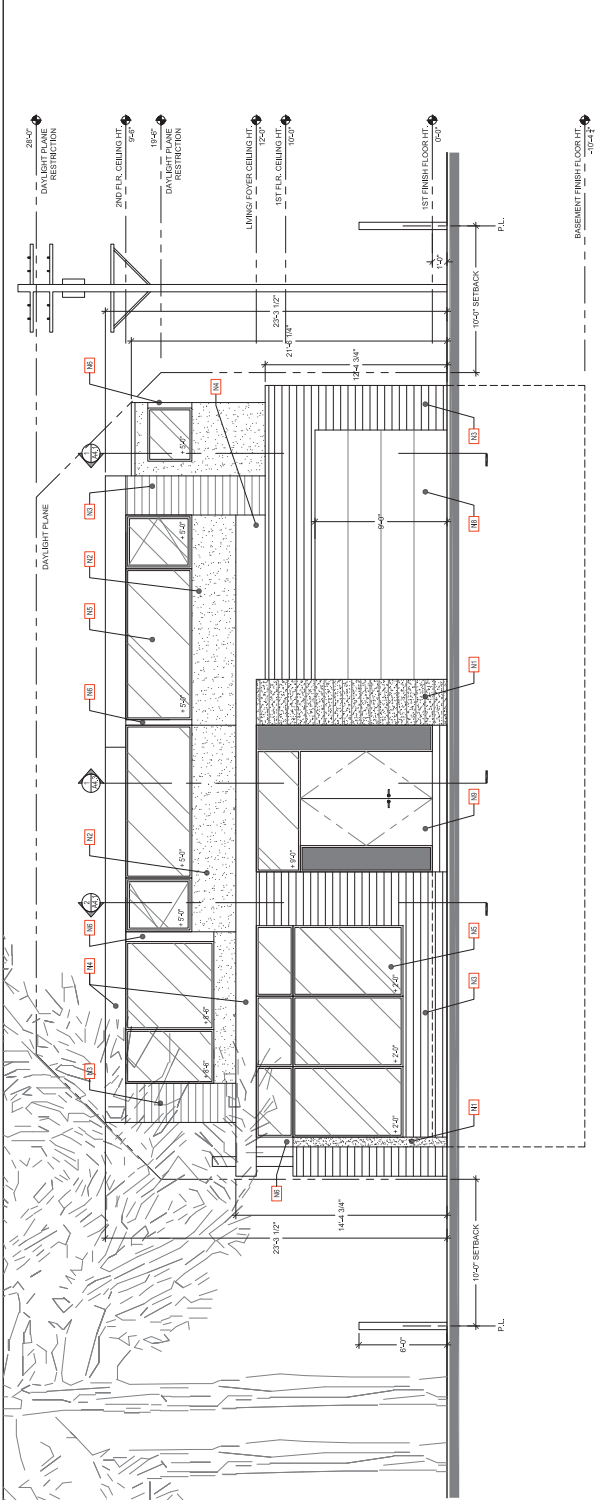
A3.2

STUCCO COLORS:
 INTERNAL COLOR: #1 WHITE
 INTERNAL COLOR #2: TB0 (tan)
 INTERNAL COLOR #3: TB1 (medium)

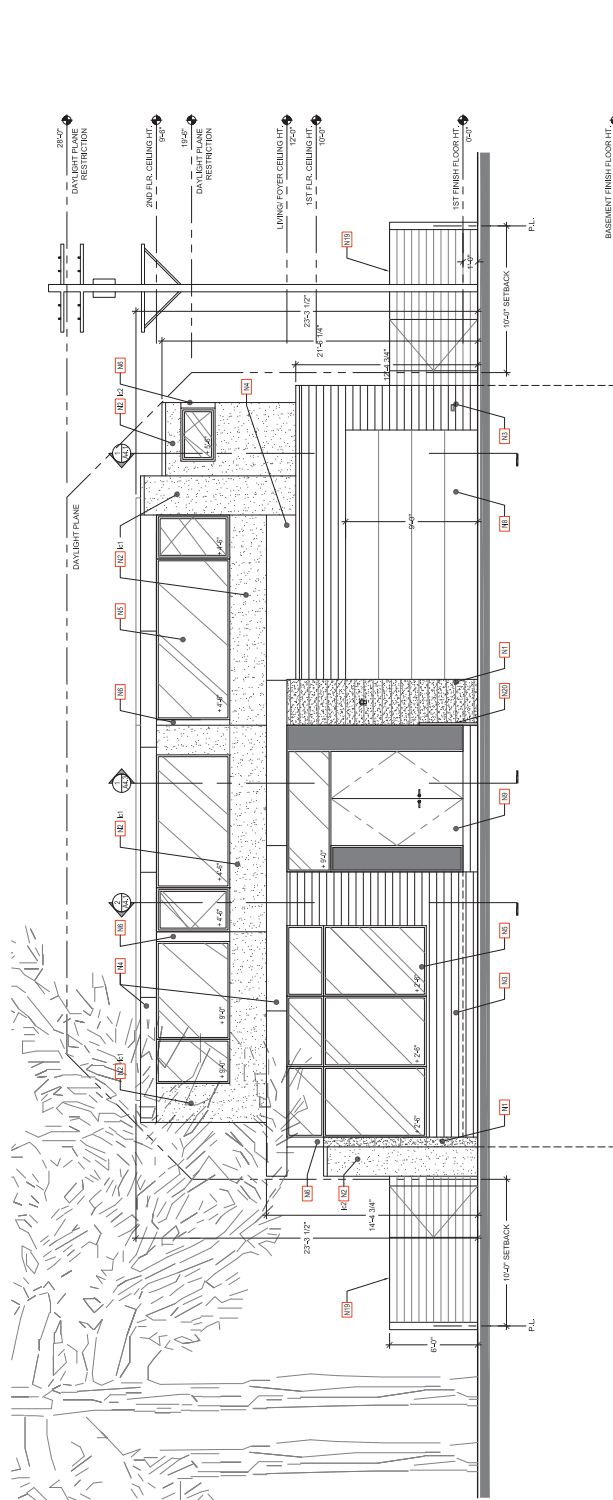
GENERAL NOTES:
 1. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL. CONSTRUCTION REPORT ALL DISCREPANCIES TO ARCHITECT.
 2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

PROPOSED KEY NOTES:
 (N) STONE TILE (LIGHT COLORED) WITH HONEY-CALLED FINISH
 (N) SMOOTH FINISH STUCCO, INTEGRAL COLOR
 (N) 1" x 6" WESTERN RED CEDAR SHIP LAP SIDING STAIN
 (N) METAL FASCIA
 (N) 1 1/2" x 4" METAL BRACKETS IN FLEETWORK (S.E.S. (TYP.)) (REFER TO ELEVATIONS FOR SILL HEIGHTS)
 (N) BREAK METAL TO MATCH WINDOW FINISH
 (N) GLASS RAILING WITH 5" STAINLESS STEEL CAP
 (N) PAINTED METAL GARAGE DOOR
 (N) PAINTED METAL FRONT DOOR, FINISH TBD
 (N) PAINTED METAL FREP FACE FLUE
 (N) STONE TILE FLOORING
 (N) 2" DIA. PAINTED STEEL POST
 (N) OUTDOOR AC UNIT
 (N) 1 1/2" x 4" METAL BRACKETS IN FLEETWORK (S.E.S. (TYP.)) (REFER TO ELEVATIONS FOR SILL HEIGHTS)
 (N) ELECTRIC METER
 (N) GAS METER
 (N) BOARD FORM CONCRETE
 (N) PAINTED METAL DOWNPOUT (AND SCUPPER) TO MATCH WINDOW FINISH
 (N) 6" CH. BIRD-HARD FORCE W/ WALK GATE
 (N) 4" FT. METAL FLAT BAR FENCE W/ WALK GATE
 (N) ROOF FRAM OVERFLOW, TO MATCH WINDOW FINISH
 (N) 1 1/2" x 4" METAL BRACKETS IN FLEETWORK (S.E.S. (TYP.)) (REFER TO ELEVATIONS FOR SILL HEIGHTS)
 (N) PAINTED STEEL FRAME TO MATCH WINDOW FINISH

LEGEND:
 (N) PROPOSED KEY NOTE
 (N) INTERIOR SILL HEIGHT
 (N) BEDROOM EGRESS WINDOW



2 EAST ELEVATION (FRONT) - PREVIOUSLY APPROVED
 1/4" = 1'-0"



1 (N) EAST ELEVATION (FRONT) - PROPOSED
 1/4" = 1'-0"





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PLANNING SUBMITTAL

SHEET TITLE:
(N) Exterior Elevations

02/11/16	Permit Submittal
10/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

A3.3

STUCCO COLORS:

INTERNAL COLOR: R1-WHITE
INTERNAL COLOR: R2-TBD (see #4)
INTERNAL COLOR: R3-TBD (see #4)

GENERAL NOTES:

1. VERIFY ALL DIMENSIONS AND FINISHES WITH ARCHITECT. CONSTRUCTION REPORT ALL DISCREPANCIES TO ARCHITECT.
2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

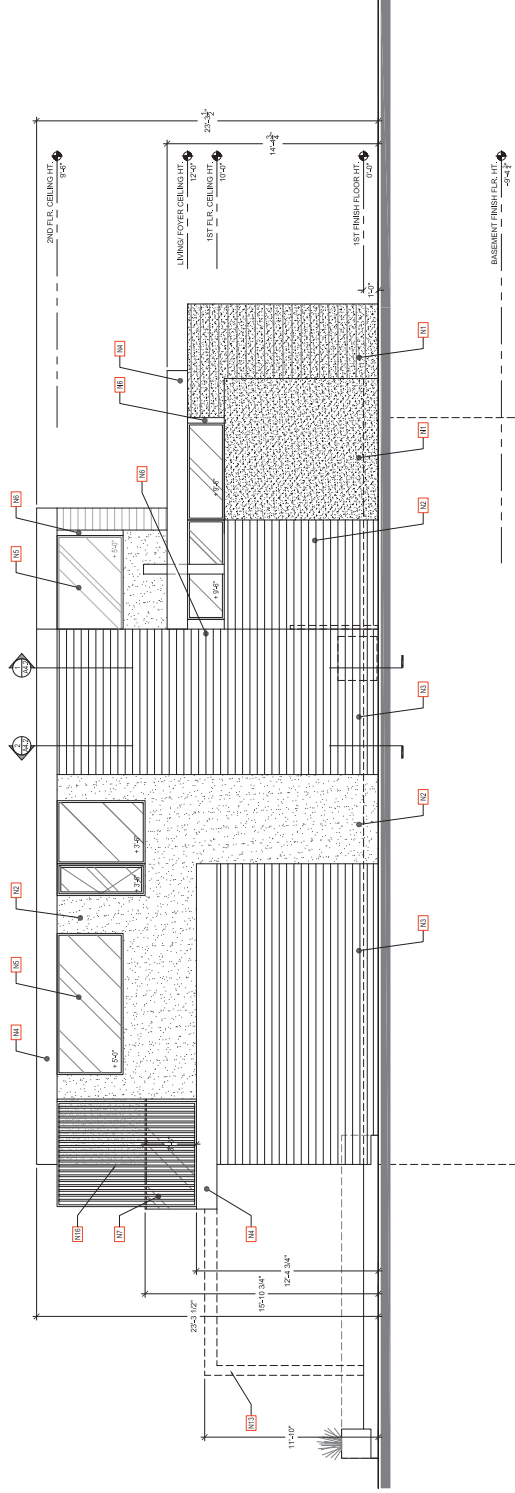
PROPOSED KEY NOTES:

- R1 STONE TILE (LIGHT COLORED) WITH HONEY-COMBED FINISH
- R2 SMOOTH FINISH STUCCO
- R3 1/4" WESTERN RED CEDAR SHIP LAP SIDING, STAIN T.O.D.
- R4 METAL FASCIA
- R5 ALUMINUM WINDOWS BY FLEETWOOD OR EQ. (TYP.) (REFER TO ELEVATIONS FOR SILL HEIGHTS)
- R6 BREAK METAL TO MATCH WINDOW FINISH
- R7 (N) GLASS RAILING WITH STAINLESS STEEL CAP
- R8 (N) PAINTED METAL GARAGE DOOR
- R9 (N) SOLID WOOD FRONT DOOR, FINISH TBD
- R10 (N) METAL GARAGE DOOR, FINISH TBD
- R11 MATCH STUCCO FINISH TO ADJACENT FINISH
- R12 CONDITIONAL UNIT WILL REQUIRE 1" RECESS INTO WALL
- R13 (N) STORE TILE FLOORING
- R14 (N) 3" DIA. PAINTED STEEL POST
- R15 (N) METAL RAINING CANOPY TO MATCH METAL FASCIA (SEE FINISH SCHEDULE FOR CLARITY)
- R16 (N) PLASTER (SHOW HEIGHT FOR CLARITY)
- R17 BOARD FORM CONCRETE
- R18 2X4 WOOD SLAT SCREEN w/ PAINTED METAL FRAME (SEE FINISH SCHEDULE FOR CLARITY)
- R19 (N) 4" WOOD SHIMS FOR RAIN SCREENS WHERE APPLICABLE TO MATCH WINDOW FINISH
- R20 6"x6" HIDE-YARD FENCE
- R21 4"x4" METAL FLAT BAR FENCE WITH 1/4" DIA. GALV. BRUSH OVERLAP, TO MATCH WINDOW FINISH
- R22 PAINTED METAL DOWNPOUT, TO MATCH WINDOW FINISH
- R23 (N) GAS METER

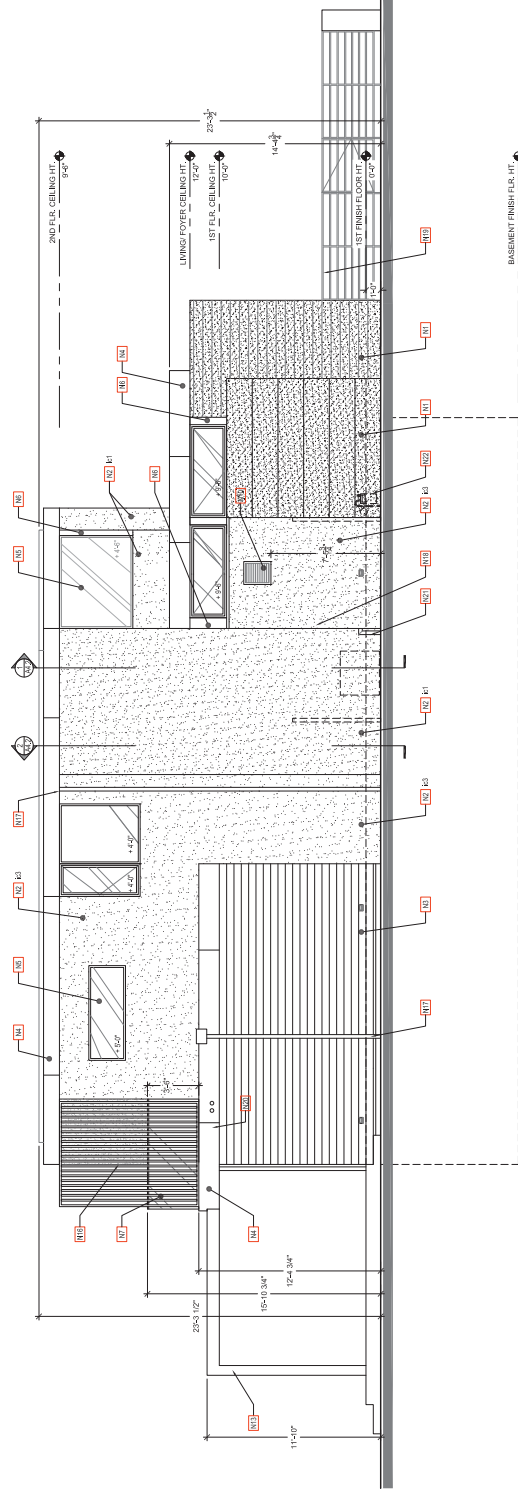
LEGEND:



PROPOSED KEY NOTE



2 SOUTH ELEVATION (LEFT) - PREVIOUSLY APPROVED
1/4" = 1'-0"



1 (N) SOUTH ELEVATION (LEFT) - PROPOSED
1/4" = 1'-0"

0 1' 5' 10'
SCALE: 1/4" = 1'-0"



10/21/16	Permit Submittal
10/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

STUCCO COLORS:

INTERNAL COLOR: #1 WHITE
 INTERNAL COLOR: #2: T80 (offW)
 INTERNAL COLOR: #3: T80 (medium)

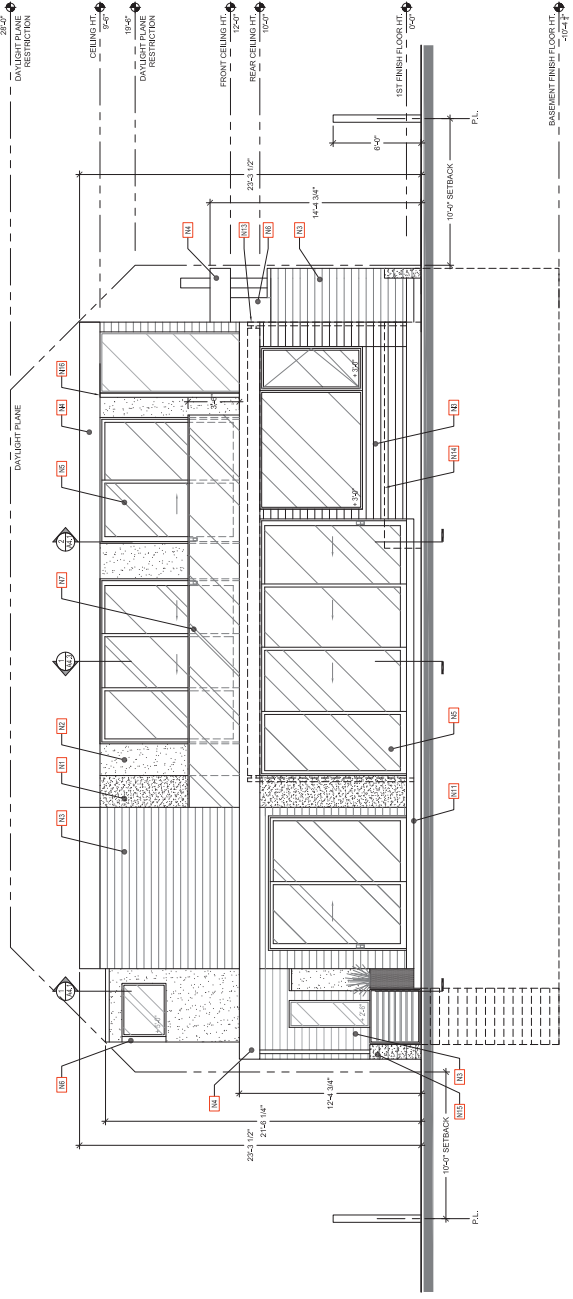
GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.
 2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

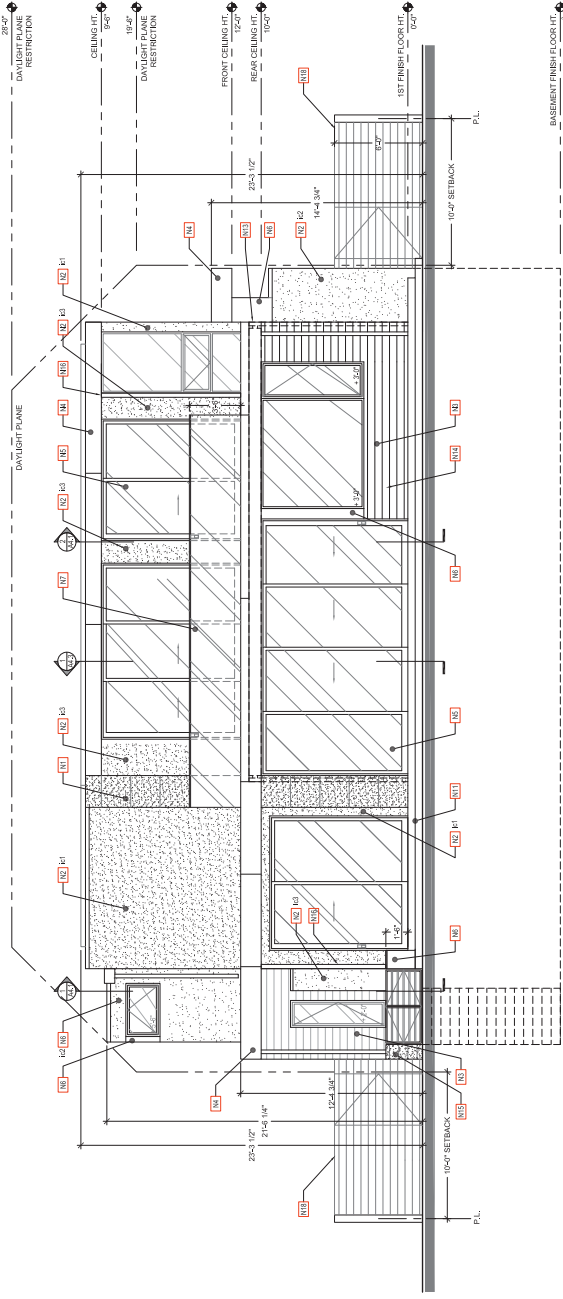
PROPOSED KEY NOTES:

- 101 STONE TILE (LIGHT COLORED) WITH HONEY-COMBED FINISH
- 102 SMOOTH FINISH STUCCO
- 103 1-1/8" WESTERN RED CEDAR SHIP LAP SIDING, STAIN T.O.D.
- 104 METAL FASCIA
- 105 ALUMINUM WINDOWS BY FLEETWOOD OR ELD (TYP). (REFER TO ELEVATIONS FOR SILL HEIGHTS)
- 106 BREAK METAL TO MATCH WINDOW FINISH
- 107 (N) GLASS RAILING WITH STAINLESS STEEL CAP
- 108 (N) PAINTED METAL GARAGE DOOR
- 109 (N) SOLID WOOD FRONT DOOR, FINISH TBD
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LEGEND:
 PROPOSED KEY NOTE



2 WEST ELEVATION (REAR) - PREVIOUSLY APPROVED
 1/4" = 1'-0"



1 (N) WEST ELEVATION (REAR) - PROPOSED
 1/4" = 1'-0"



10271116	Permit Submittal
10225216	Planning Rev #1
10429116	Planning Rev #2
1200117	Planning Rev #3

STUCCO COLORS:

INTERNAL COLOR #1: WHITE
INTERNAL COLOR #2: TB (see #4)
INTERNAL COLOR #3: TB (see item)

GENERAL NOTES:

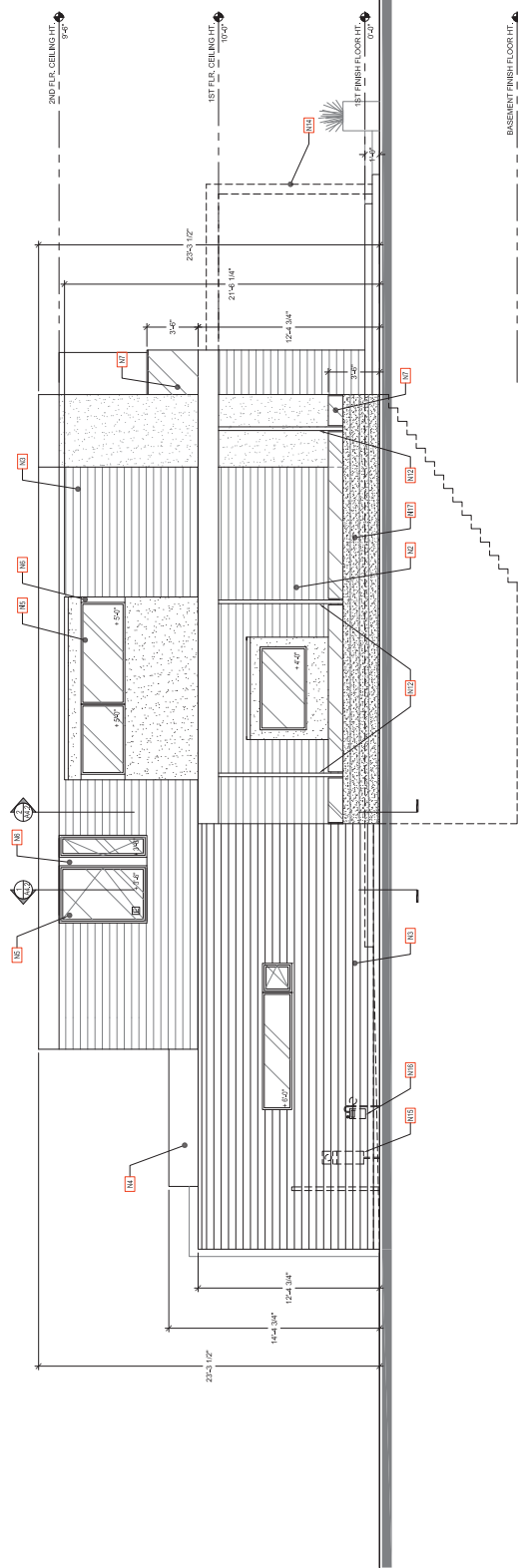
1. ALL FINISHES TO BE APPROVED BY THE ARCHITECT.
2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

PROPOSED KEY NOTES:

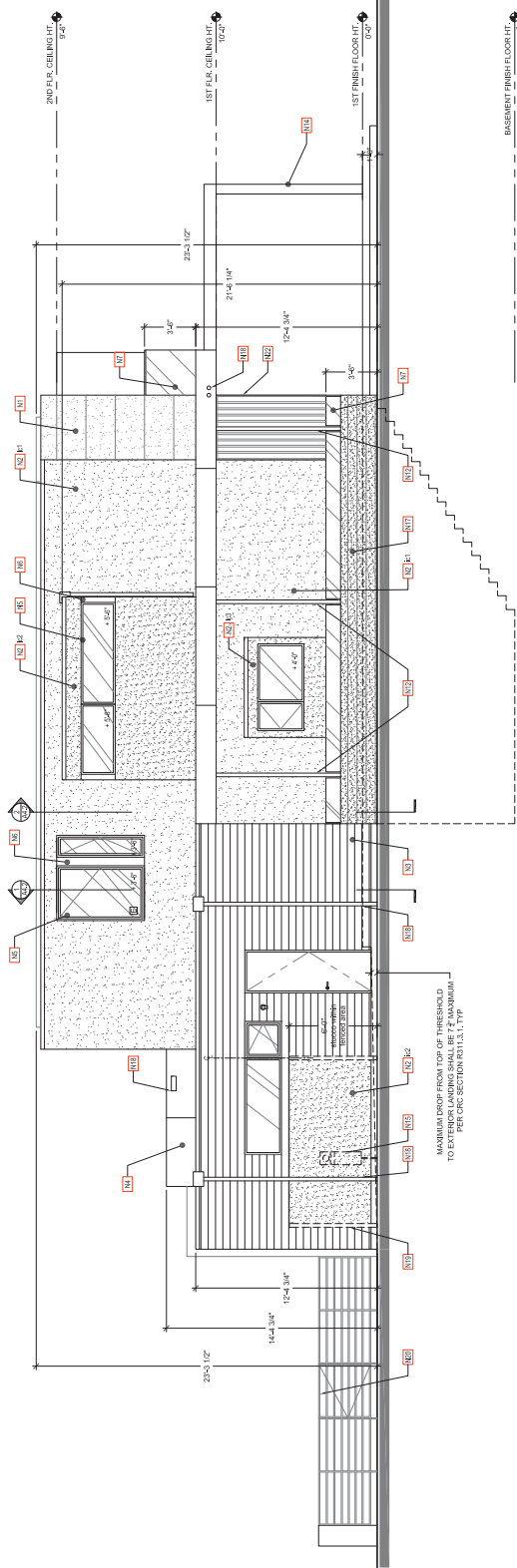
- 11 STONE TILE (LIGHT COLORED) WITH HONEY-COMBED FINISH
- 12 SMOOTH FINISH STUCCO, INTEGRAL COLOR T.B.D.
- 13 1 x 6 WESTERN RED CEDAR SHIP LAP SIDING, STAIN T.B.D.
- 14 METAL FASCIA
- 15 ALUMINUM WINDOWS BY FLEETWOOD OR E.D. (TYP.) (REFER TO ELEVATIONS FOR SILL HEIGHTS)
- 16 BREAK METAL TO MATCH WINDOW FINISH
- 17 (N) GLASS RAILING WITH STAINLESS STEEL CAP
- 18 (N) PAINTED METAL GARAGE DOOR
- 19 (N) SLIP WOOD FRONT DOOR, FINISH TBD
- 20 (N) PAINTED METAL REPLACE FLUE
- 21 (N) STONE TILE FLOORING
- 22 (N) 2" DIA. PAINTED STEEL POST
- 23 (N) OUTDOOR AC UNIT
- 24 (N) METAL PATIO CANOPY TO MATCH METAL FASCIA (SHOW HIDDEN FOR CLARITY)
- 25 (N) ELECTRIC METER
- 26 (N) GAS METER
- 27 BOARD FORM CONCRETE
- 28 PAINTED METAL SCUPPER AND DOWNSPOUT, TO MATCH WINDOW FINISH
- 29 6-CH RBE YARD FENCE WITH GATE
- 30 4-CH METAL FLAT BAR FENCE WITH GATE
- 31 ROOF DRAIN OVERFLOW, TO MATCH WINDOW FINISH
- 32 2x4 WOOD SLAT SCREEN w/ PAINTED STEEL FRAME TO MATCH WINDOW FINISH

LEGEND:

PROPOSED KEY NOTE



2 WEST ELEVATION (REAR) - PREVIOUSLY APPROVED
1/4" = 1'-0"



1 (N) WEST ELEVATION (REAR) - PROPOSED
1/4" = 1'-0"



**OHASHI
DESIGN
STUDIO**

Architecture
5855 Doyle Street
Emeryville, California
Tel. 510.465-1300
Fax. 510.465-1313
www.ohashidesign.com



**Chukkapali
Residence**

1220 BAY LAUREL DR
MENLO PARK, CA
94025

APN: 071381030

OWNER:

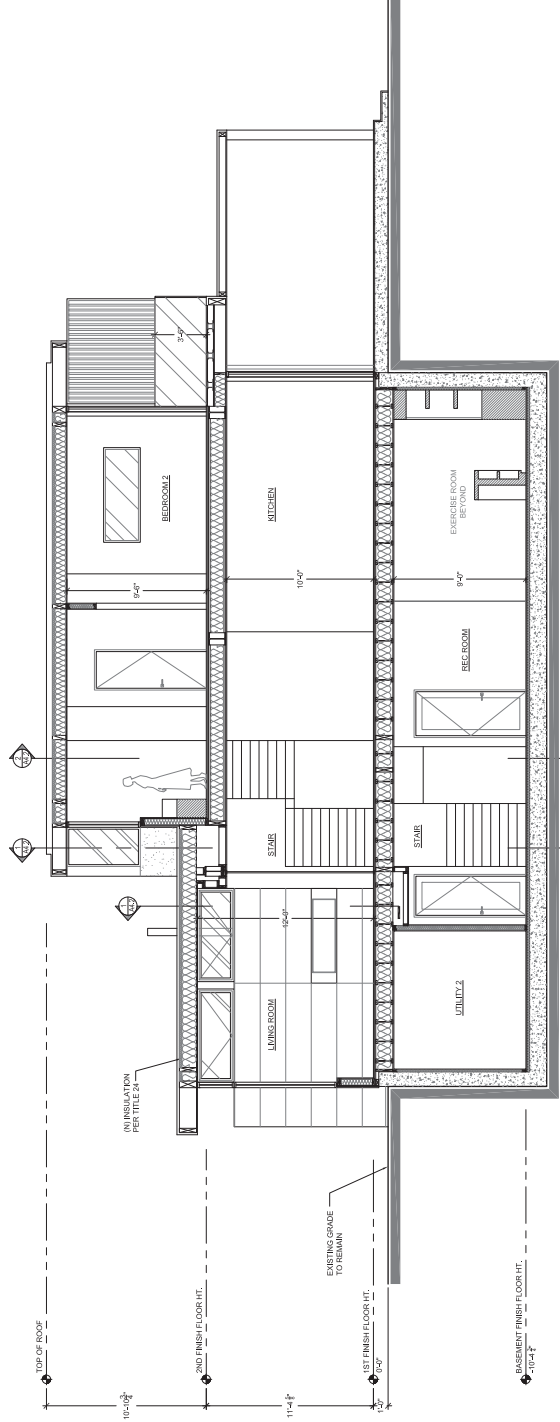
Mahesh & Geetha
Chukkapali
1220 Bay Laurel Drive
Menlo Park, CA

**PLANNING
SUBMITTAL**

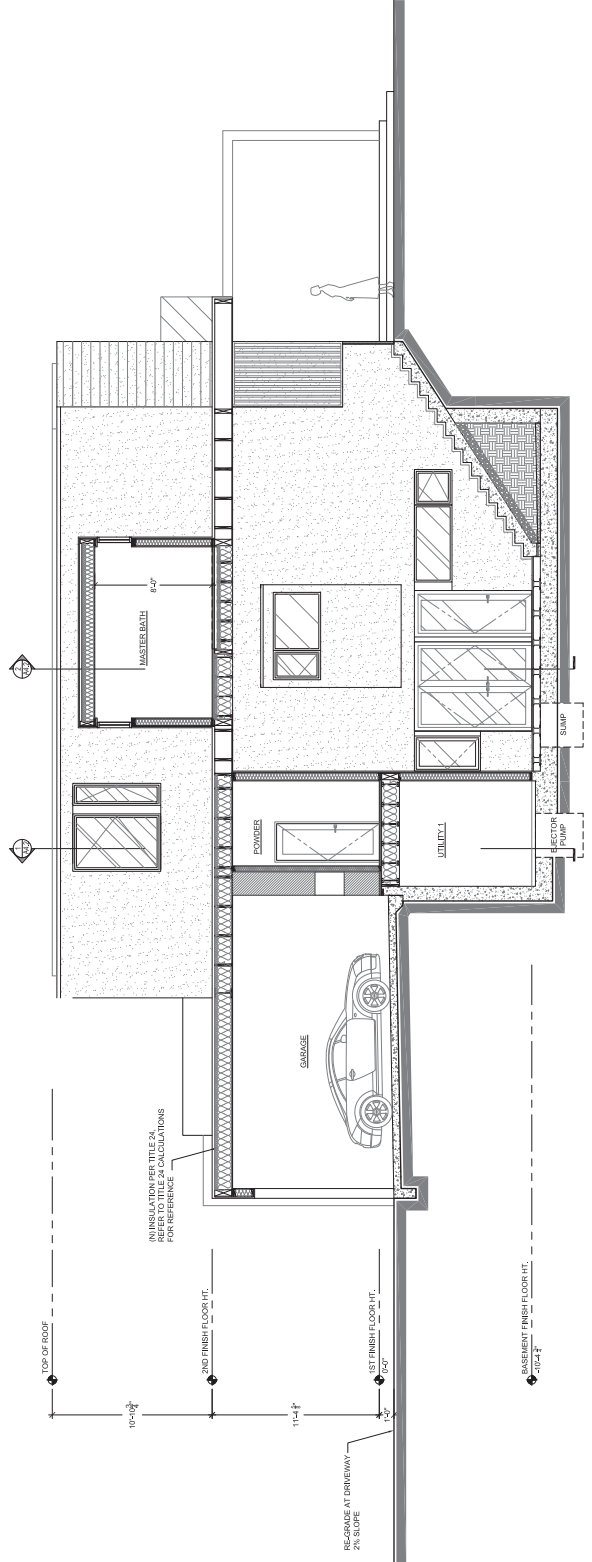
SHEET TITLE:
(N) Building Sections

10/21/16	Permit Submittal
10/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

A4.1



2 (N) BUILDING SECTION
1/4" = 1'-0"



1 (N) BUILDING SECTION
1/4" = 1'-0"

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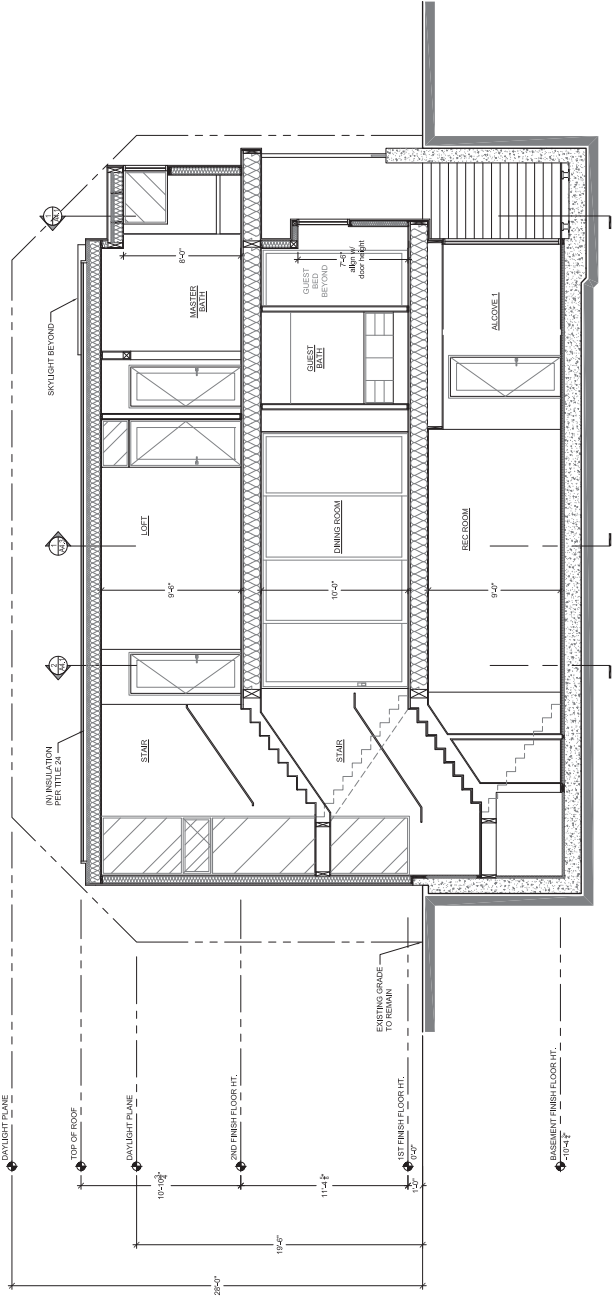
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Chukkapali
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Menlo Park, CA

**PLANNING
SUBMITTAL**

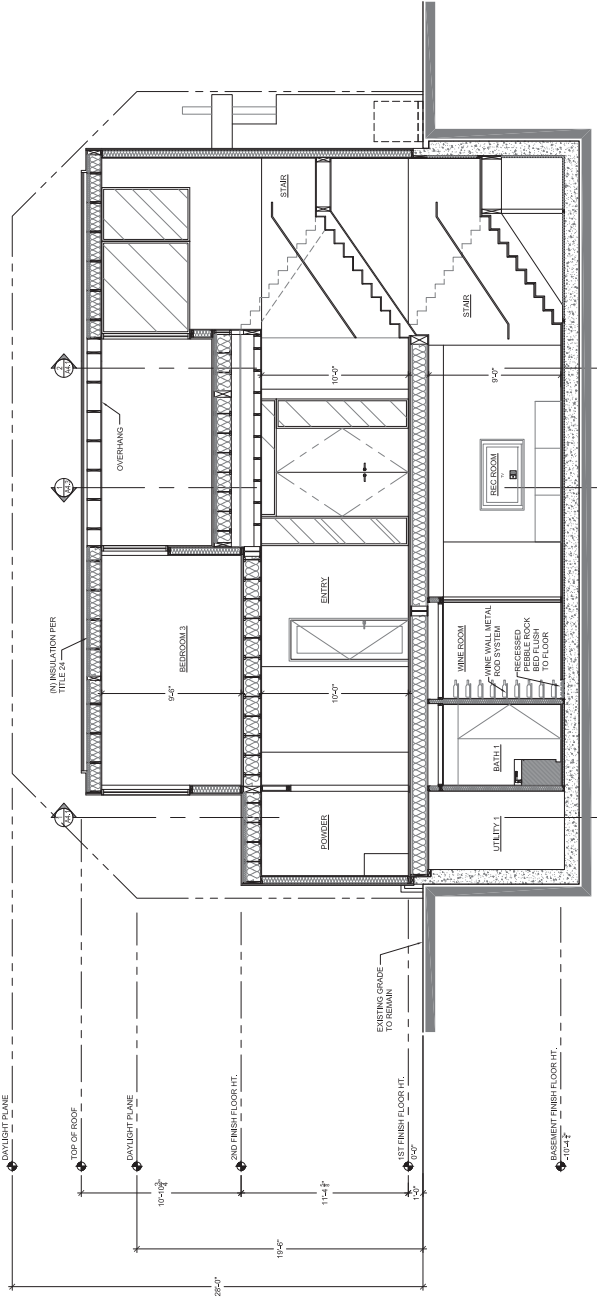
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(N) Building Sections

10/21/16	Permit Submittal
10/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

A4.2



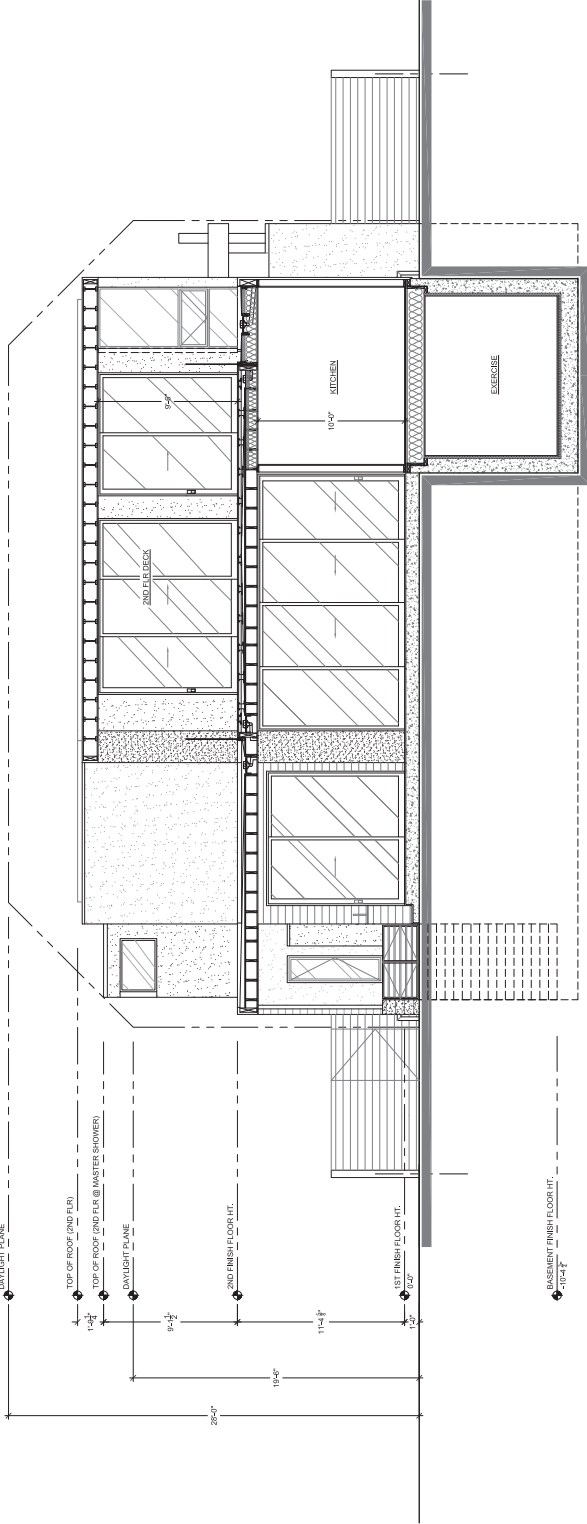
2 (N) BUILDING SECTION
1/4"=1'-0"



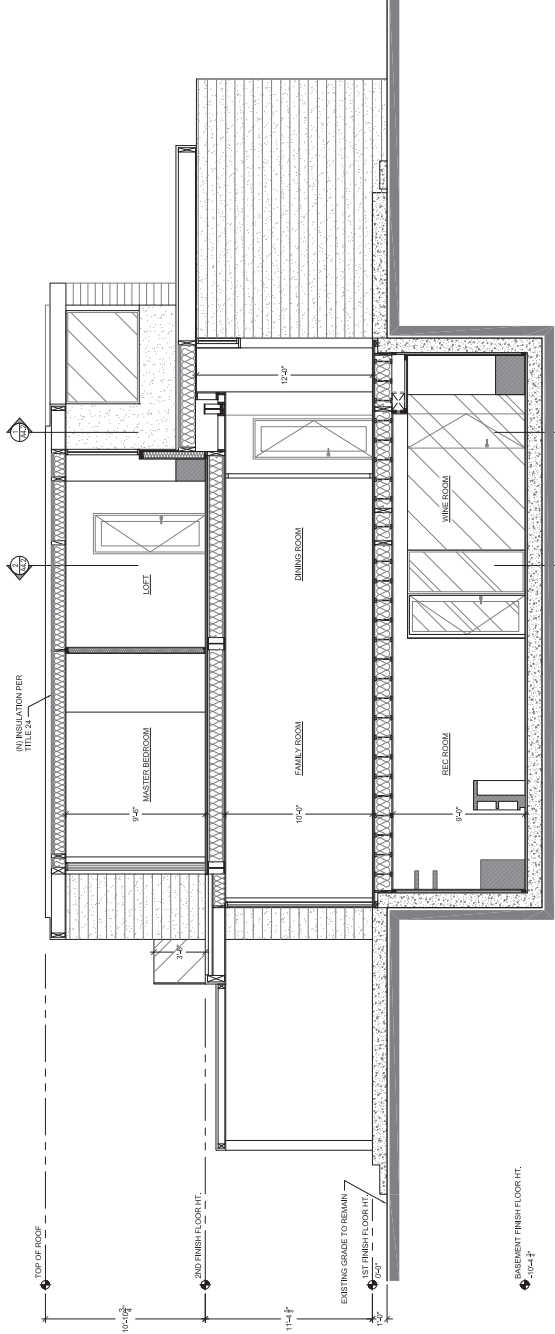
1 (N) BUILDING SECTION
1/4"=1'-0"



02/11/16	Permit Submittal
10/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3



2 (N) BUILDING SECTION
1/4"=1'-0"



1 (N) BUILDING SECTION
1/4"=1'-0"

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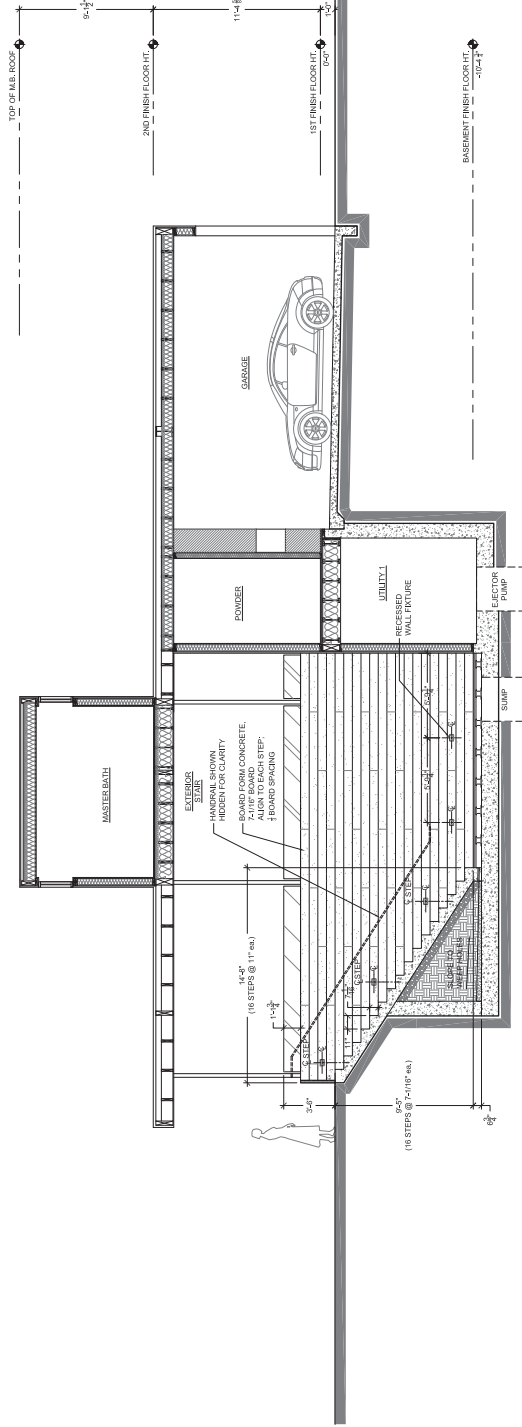
Mahesh & Geetha
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1220 Bay Laurel Drive
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**PLANNING
SUBMITTAL**

SHEET TITLE:
(N) Building Sections

02/11/16	Permit Submittal
10/25/16	Planing Rev #1
04/29/16	Planing Rev #2
12/01/17	Planing Rev #3

A4.4



1 (N) BUILDING SECTION
1/4"=1'-0"



EXTERIOR LIGHTING:
LUMIERE WESTWOOD
504 EXTERIOR LIGHT
(VARIOUS LOCATIONS)



**BOARD FORM
CONCRETE:** [8]
2" x 8" WOOD GRAIN,
ARCHITECTURAL GRADE



GLASS RAILING:
CLEAR GLASS GUARDRAIL
WITH BRUSHED STAINLESS
STEEL CAP [7]



WINDOWS & DOORS: [6]
ALUMINUM WINDOWS AND DOORS (THERMALLY BROKEN)
WITH CLEAR GLASS PANELS AND ALUMINUM
COLOR: MARTINI MEDIUM BRONZE OR SILV.



FASCIA: [5]
METAL FASCIA
COLOR: MEDIUM BRONZE, TO MATCH WINDOW FRAME COLOR



2 3D REAR PERSPECTIVE - previously approved
NTS



1 3D FRONT PERSPECTIVE - previously approved
NTS



4 SHIPLAP WOOD SIDING:
1 x 6 CEDAR WOOD SIDING
COLOR: SEMITRANSSPARENT SATIN



3 SMOOTH FINISH STUCCO:
STEEL TROWEL SMOOTH COLOR
INTEGRATED STUCCO
COLOR : BENJAMIN MOORE - TBD



2 STONE TILE
HONEY-FILLED FINISH, SIZE AND COLOR TBD



1 CONCRETE PAVERS:
VARIOUS SIZED ARCHITECTURAL GRADE
SMOOTH CONCRETE PAVERS WITH LIGHT FINISH

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**PLANNING
SUBMITTAL**

SHEET TITLE:
(N) Materials Board

10/21/16	Permit Submittal
10/25/16	Planning Rev #1
04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

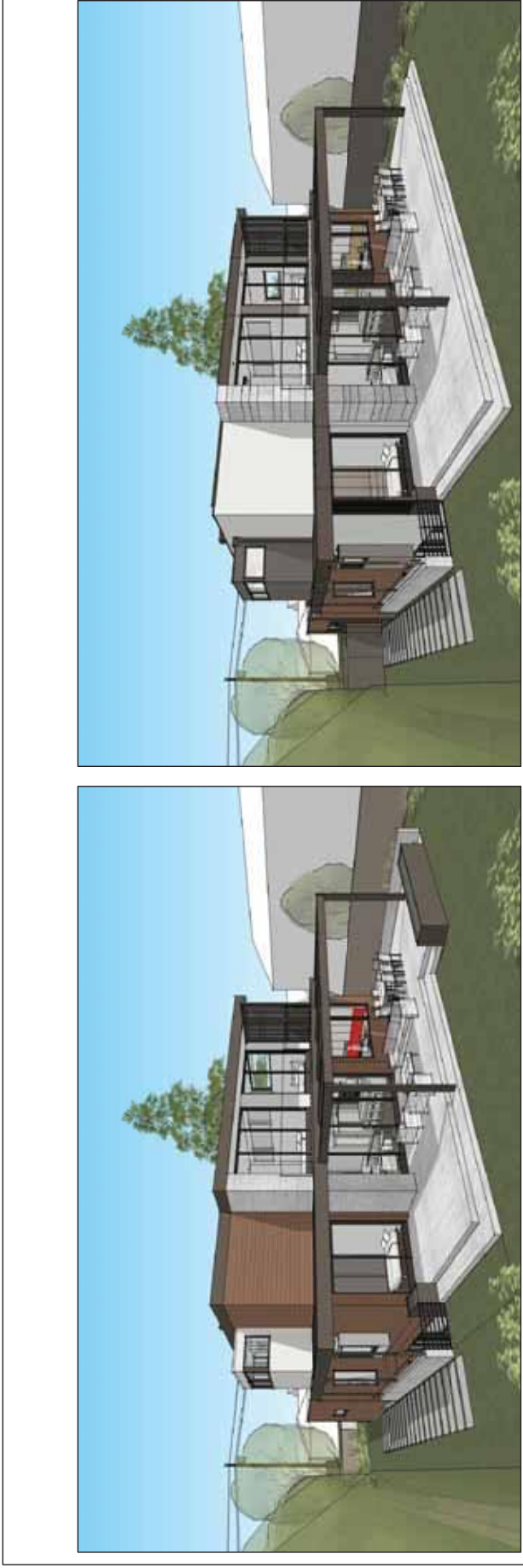
A9.1



2A (N) 3D REAR PERSPECTIVE - PROPOSED
NTS



2B 3D REAR PERSPECTIVE - previously approved
NTS



1A (N) 3D FRONT PERSPECTIVE - PROPOSED
NTS



1B 3D FRONT PERSPECTIVE - previously approved
NTS

SHEET TITLE:
**3D Rendering
Comparisons**

02/11/16	Permit Submittal
03/25/16	Planing Rev #1
04/29/16	Planing Rev #2
12/01/17	Planing Rev #3

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STUDIO**

Architecture
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Tel: 510.465-1100
Fax: 510.465-1113
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**PLANNING
SUBMITTAL**

SHEET TITLE:
3d Rendering
Comparisons

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04/29/16	Planning Rev #2
12/01/17	Planning Rev #3

A9.3



②B 3D REAR PERSPECTIVE - previously approved
NTS



②A (N) 3D REAR PERSPECTIVE - PROPOSED
NTS



①B 3D FRONT PERSPECTIVE - previously approved
NTS

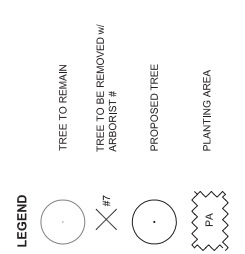
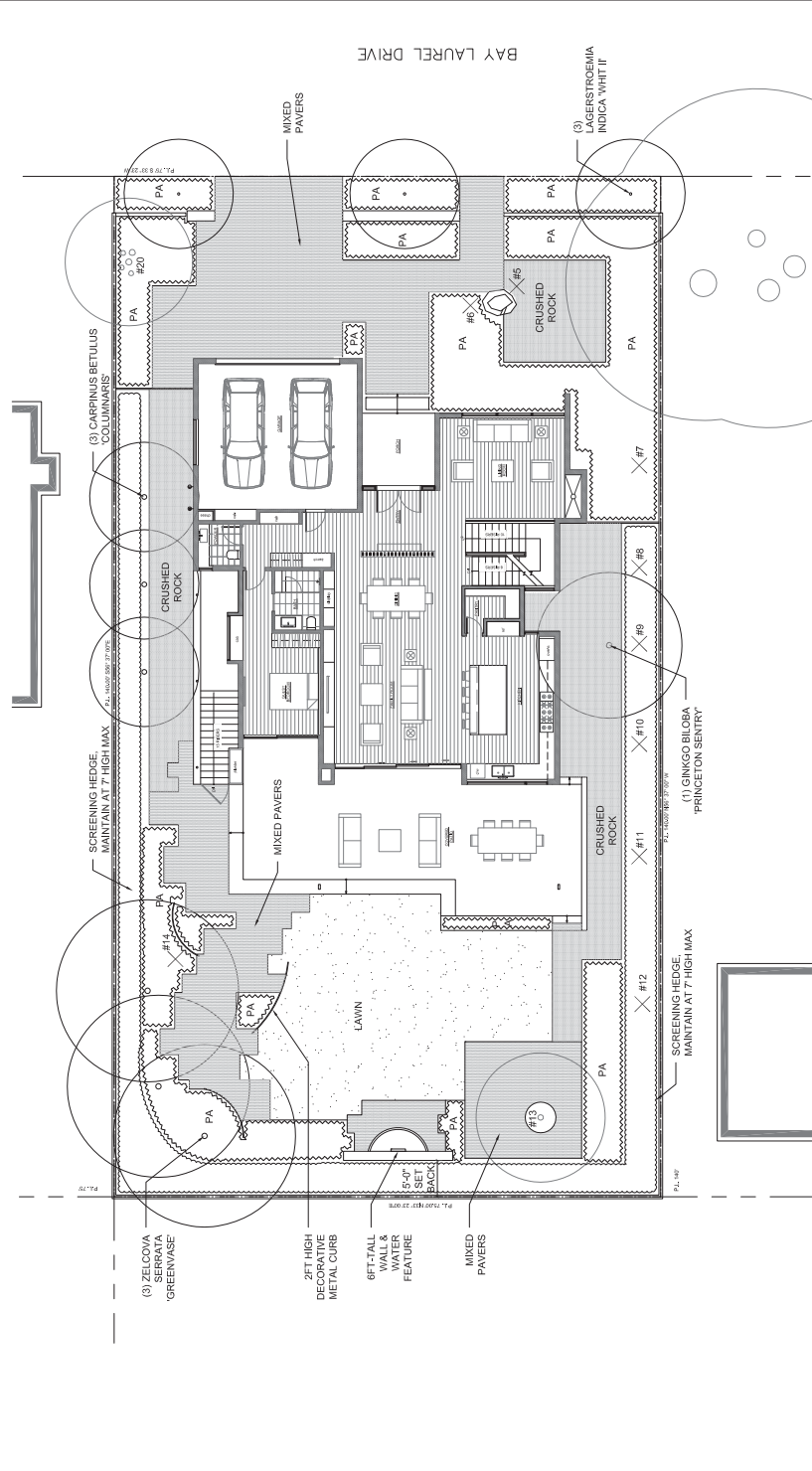


①A (N) 3D FRONT PERSPECTIVE - PROPOSED
NTS

EXISTING TREE LIST

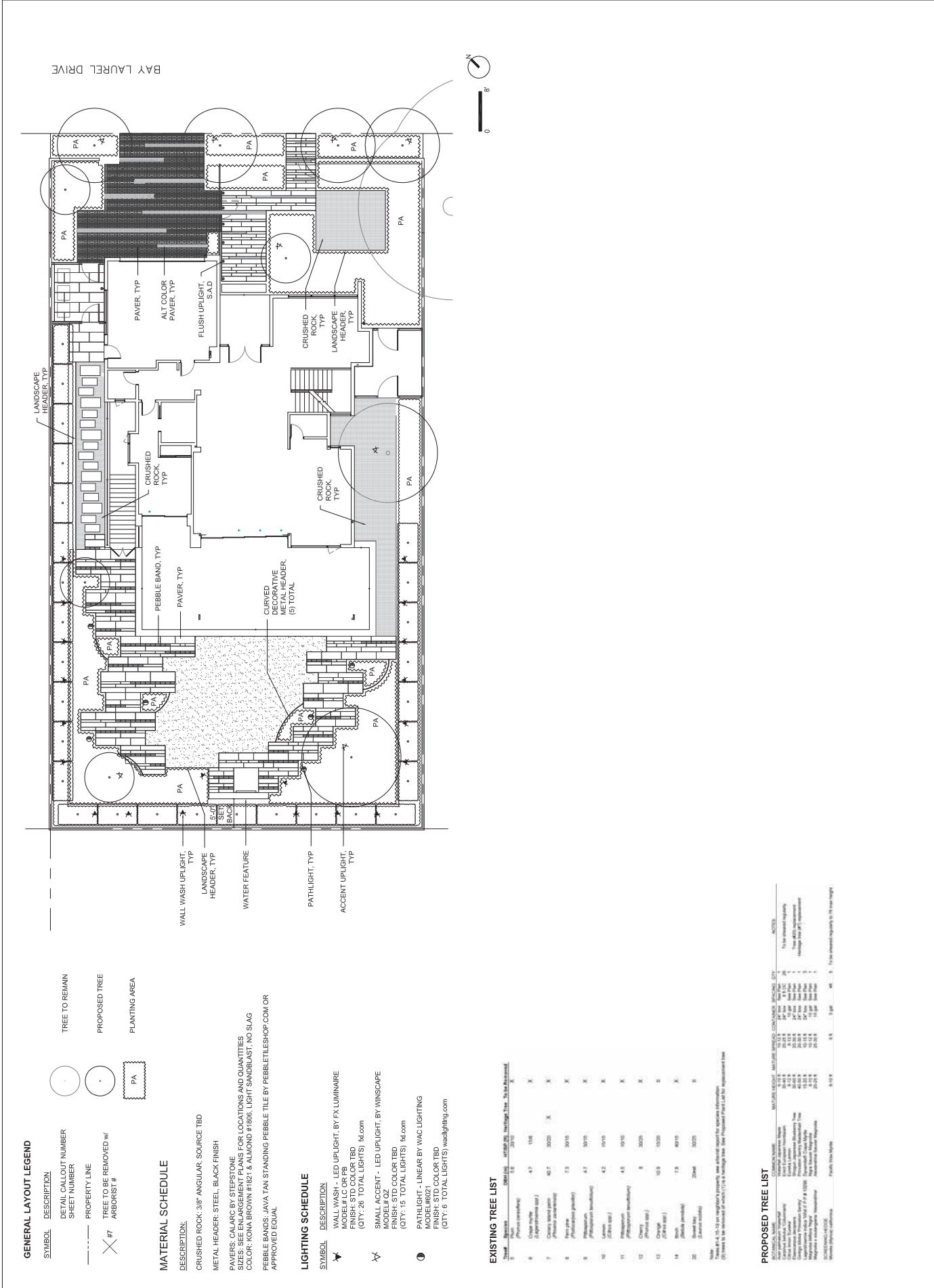
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1	Redwood	5.8	247.0	X	X
2	Redwood	5.8	247.0	X	X
3	Redwood	5.8	247.0	X	X
4	Redwood	5.8	247.0	X	X
5	Redwood	5.8	247.0	X	X
6	Redwood	5.8	247.0	X	X
7	Redwood	5.8	247.0	X	X
8	Redwood	5.8	247.0	X	X
9	Redwood	5.8	247.0	X	X
10	Redwood	5.8	247.0	X	X
11	Redwood	5.8	247.0	X	X
12	Redwood	5.8	247.0	X	X
13	Redwood	5.8	247.0	X	X
14	Redwood	5.8	247.0	X	X
15	Redwood	5.8	247.0	X	X
16	Redwood	5.8	247.0	X	X
17	Redwood	5.8	247.0	X	X
18	Redwood	5.8	247.0	X	X
19	Redwood	5.8	247.0	X	X
20	Redwood	5.8	247.0	X	X

Note: #1-15 are on neighbor's property, and should reach for separate determination.
#16-20 are to be removed as of 1/1/16 as indicated in the site plan. See Proposed Plant List for replacement tree.



PROPOSED TREE LIST

TREE ID	COMMON NAME	SCIENTIFIC NAME	HEIGHT (ft)	DBH (in)	SPREAD (ft)	PLANTING DATE	REMARKS
#1	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#2	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#3	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#4	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#5	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#6	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#7	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#8	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#9	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#10	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#11	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#12	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#13	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#14	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#15	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#16	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#17	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#18	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#19	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree
#20	Redwood	Sequoia sempervirens	247	5.8	10	2015	Neighbor's tree



BAY LAUREL DRIVE



- GENERAL LAYOUT LEGEND**
- SYMBOL DESCRIPTION**
- TREE TO REMAIN
 - PROPOSED TREE
 - TREE TO BE REMOVED w/ ARBORIST #
 - PROPERTY LINE
 - PLANTING AREA

- MATERIAL SCHEDULE**
- DESCRIPTION:**
- CRUSHED ROCK: 3/8" ANGULAR, SOURCE TBD
 - METAL HEADER: STEEL, BLACK FINISH
 - PAVERS: CALABO BY STEPHANE
 - SIZES: SEE LAYOUT FOR LOCATIONS AND QUANTITIES
 - COLOR: KONA BROWN #1821 & ALMOND #1808, LIGHT SANDBLAST, NO SLAG
 - PEBBLE BANDS: JAVA TAN STANDING PEBBLE TILE BY PEBBLETILESHOP.COM OR APPROVED EQUAL
- LIGHTING SCHEDULE**
- SYMBOL DESCRIPTION**
- WALL WASH - LED UPLIGHT, BY FX LUMINAIRE FINISH: STD COLOR TBD (QTY: 20 TOTAL LIGHTS) fl.com
 - SMALL ACCENT - LED UPLIGHT, BY WINSCAPE MODEL # CZ COLOR TBD (QTY: 15 TOTAL LIGHTS) fl.com
 - PATHLIGHT - LINEAR BY VAC LIGHTING MODEL # LVC COLOR TBD (QTY: 6 TOTAL LIGHTS) vaclighting.com

EXISTING TREE LIST

Tree #	Species	DBH @ 4.5'	HT @ 4.5'	Health	Tree to be removed
1	Platanus (sycamore)	12	20'10"	X	X
2	Chokeberry	4.7	16.8	X	X
3	Cherry laurel (Prunella lauro-cerasus)	4.7	16.8	X	X
4	Cherry laurel (Prunella lauro-cerasus)	4.7	16.8	X	X
5	Cherry laurel (Prunella lauro-cerasus)	4.7	16.8	X	X
6	Photinia (photinia)	7.5	20'10"	X	X
7	Photinia (photinia)	4.7	16.8	X	X
8	Photinia (photinia)	4.7	16.8	X	X
9	Photinia (photinia)	4.7	16.8	X	X
10	Photinia (photinia)	4.7	16.8	X	X
11	Photinia (photinia)	4.7	16.8	X	X
12	Photinia (photinia)	4.7	16.8	X	X
13	Photinia (photinia)	4.7	16.8	X	X
14	Photinia (photinia)	4.7	16.8	X	X
15	Photinia (photinia)	4.7	16.8	X	X
16	Photinia (photinia)	4.7	16.8	X	X
17	Photinia (photinia)	4.7	16.8	X	X
18	Photinia (photinia)	4.7	16.8	X	X
19	Photinia (photinia)	4.7	16.8	X	X
20	Photinia (photinia)	4.7	16.8	X	X

PROPOSED TREE LIST

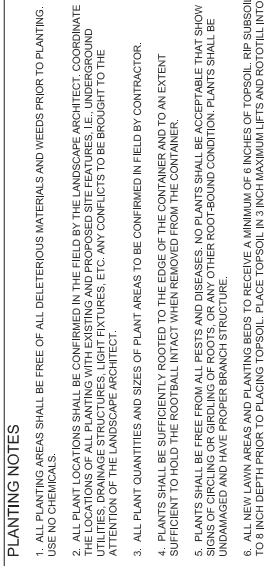
Tree #	Species	DBH @ 4.5'	HT @ 4.5'	Health	Tree to be removed
1	Platanus (sycamore)	12	20'10"	X	X
2	Chokeberry	4.7	16.8	X	X
3	Cherry laurel (Prunella lauro-cerasus)	4.7	16.8	X	X
4	Cherry laurel (Prunella lauro-cerasus)	4.7	16.8	X	X
5	Cherry laurel (Prunella lauro-cerasus)	4.7	16.8	X	X
6	Photinia (photinia)	7.5	20'10"	X	X
7	Photinia (photinia)	4.7	16.8	X	X
8	Photinia (photinia)	4.7	16.8	X	X
9	Photinia (photinia)	4.7	16.8	X	X
10	Photinia (photinia)	4.7	16.8	X	X
11	Photinia (photinia)	4.7	16.8	X	X
12	Photinia (photinia)	4.7	16.8	X	X
13	Photinia (photinia)	4.7	16.8	X	X
14	Photinia (photinia)	4.7	16.8	X	X
15	Photinia (photinia)	4.7	16.8	X	X
16	Photinia (photinia)	4.7	16.8	X	X
17	Photinia (photinia)	4.7	16.8	X	X
18	Photinia (photinia)	4.7	16.8	X	X
19	Photinia (photinia)	4.7	16.8	X	X
20	Photinia (photinia)	4.7	16.8	X	X

PLANTING NOTES

1. ALL PLANTING AREAS SHALL BE FREE OF ALL DELETERIOUS MATERIALS AND WEEDS PRIOR TO PLANTING. USE NO CHEMICALS.
2. ALL PLANT LOCATIONS SHALL BE CONFIRMED IN THE FIELD BY THE LANDSCAPE ARCHITECT. COORDINATE THE LOCATIONS OF ALL PLANTING WITH EXISTING AND PROPOSED SITE FEATURES, I.E. UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, LIGHT FIXTURES, ETC. ANY CONFLICTS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
3. ALL PLANT QUANTITIES AND SIZES OF PLANT AREAS TO BE CONFIRMED IN FIELD BY CONTRACTOR.
4. PLANTS SHALL BE SUFFICIENTLY ROOTED TO THE EDGE OF THE CONTAINER AND TO AN EXTENT SUFFICIENT TO HOLD THE ROOTBALL INTACT WHEN REMOVED FROM THE CONTAINER.
5. PLANTS SHALL BE FREE FROM ALL PESTS AND DISEASES. NO PLANTS SHALL BE ACCEPTABLE THAT SHOW SIGNS OF CIRCLING OR GIRDLING OF ROOTS, OR ANY OTHER ROOT-ROUND CONDITION. PLANTS SHALL BE UNDAUNAGED AND HAVE PROPER BRANCH STRUCTURE.
6. ALL NEW LAWN AREAS AND PLANTING BEDS TO RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL RIP SUBSOIL TO 8 INCH DEPTH PRIOR TO PLACING TOPSOIL. PLACE TOPSOIL IN 3 INCH MAXIMUM LIFTS AND ROTOTILL INTO UNDERLYING MATERIAL TO ELIMINATE INTERFACE.
7. ALL PLANTING AREAS TO BE TILLED SO THAT THE SOIL IS LOOSE AND NOT COMPACTED. TO PREPARE PLANTING BEDS, CULTIVATE INTO TOP 8 INCHES OF SOIL. 6 CUBIC YARDS OF NITRATED REDWOOD SANDMIST PER 1000 SQUARE FEET. 10 LBS HIGH QUALITY COMPOST PER CUBIC YARD, AND SPREAD PRE-PLANT PLUS 7-57 FERTILIZER AT THE RATE OF 20 POUNDS PER 1000 SQUARE FEET.
8. EXCAVATE PLANTING PITS AS FOLLOWS:
 1. TREES: BALL WIDTH + 24 INCHES. SHRUBS AND VINES: BALL WIDTH + 12 INCHES. 6" GROUND-COVER BEDS: AS REQUIRED.
 2. LOOSEN SUBGRADE IN PITS TO DEPTH OF BALL + 3 INCHES AT PERIMETER OF PIT. PREPARE PLANTING PIT BACKFILL MATERIAL BY USING 3 PARTS EXISTING SOIL, (OR APPROVED TOPSOIL) TO 1 PART NITRATED REDWOOD SANDMIST PLUS 1 PART COMPOST. SOIL MUST BE FREE OF ALL PESTS AND DISEASES. USE CALIFORNIA ORGANIC FERTILIZERS, INC. AT THE RATE OF 10-15 POUNDS PER CUBIC YARD, THOROUGHLY MIXING THIS COMBINATION BEFORE BACKFILLING.
 3. FOR PLANTING, PLACE SUPPLY MIX OF CALIFORNIA ORGANIC FERTILIZERS, INC. AT BOTTOM OF PLANTING HOLE BEFORE PLACING PLANT IN HOLE. PLACE 1/2 CUP PERMANENT NUTRIENT FERTILIZER BETWEEN FERTILIZER AND PLANT ROOT BALL. DO NOT PLACE ROOT BALL DIRECTLY ON FERTILIZER. APPLY AT FOLLOWING RATE: 1 GALLON CAN, 1/2-1 CUP PER HOLE; 5 GALLON CAN, 1-2 CUPS PER HOLE; 15 GALLON CAN, 3-4 CUPS PER HOLE. SET PLANT PLUMP IN PLANTING PIT AND BRACE RIGIDLY IN 1/2 FULL WATER THOROUGHLY SATURATING ROOTBALL. ADD REMAINING BACKFILL MIX TO TOP OF HOLE. ELIMINATE ALL AIR POCKETS.
 4. ALL PLANTS SENSITIVE TO WATER BORNE FUNGI SHALL BE PLACED 3 INCHES ABOVE FINISHED GRADE. ALL OTHER PLANTS SHALL BE PLANTED 1 INCH ABOVE FINISHED GRADE. MOUND UP SOIL TO KEEP ROOTS FROM DRYING OUT.
 5. FORM WATERING BASINS AT ALL TREES AND SHRUBS AND WATER ALL NEW PLANTINGS DEEPLY AND THOROUGHLY.
13. ALL TREES TO BE GUVED AND STAKED AS REQUIRED.
14. AFTER PLANTING, APPLY "SUPER N 1200" BY CALIFORNIA ORGANIC FERTILIZERS, INC. AT THE RATE OF 10 POUNDS PER 1000 FEET TO ALL PLANTING AREAS. LIGHTLY RAKE IN FERTILIZER TO INCORPORATE INTO SOIL.
15. A MINIMUM THREE INCH (75) LAYER OF REG-GROUND BARK MULCH OR GRAVEL MULCH SHALL BE APPLIED TO GROUND-COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. KEEP 3 INCHES AWAY FROM STEM OR TRUNK. A MULCH SAMPLES SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO MULCH DELIVERY TO SITE.
16. NO INVASIVE PLANTING ALLOWED PER CALIF.

IRRIGATION PERFORMANCE NOTES

1. ALL PLANTS TO RECEIVE WATER CONSERVING DRIP EMITTERS AND TREE BUBBLERS FOR TREES. THESE ARE TO BE SUFFICIENT VALUES TO ACCOMMODATE THE DIFFERENT WATER REQUIREMENTS FOR PLANTS WITH DIFFERENT EXPOSURES AND PLANT TYPES.
2. DRIP SYSTEM TO BE INSTALLED WITH A PRESSURE-REDUCING DEVICE. DRIP EMITTERS TO BE OF THE PRESSURE-COMPENSATING TYPE.
3. PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
4. MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
5. ALL MAIN LINE PRESSURIZED PIPING SHALL BE SCHEDULE 40 PVC AND BURIED TO A DEPTH OF 12".
6. IRRIGATION SYSTEM SHALL BE COMPRISED OF AUTOMATICALLY CONTROLLED VALVES ON AN AUTOMATIC MOISTURE-BASED CONTROLLER PER CALIFORNIA 4341. IRRIGATION CONTROLLERS SHALL BE OF A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE PRIMARY POWER SOURCE IS INTERRUPTED.
7. ALL EQUIPMENT REQUIRED SHALL BE PROVIDED TO ENSURE A COMPLETE AND FUNCTIONAL SYSTEM. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING OR ARCHITECTURAL FEATURES.
8. PLACE VALVE BOXES IN DISCREET LOCATIONS, AWAY FROM PATIOS. FINAL LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT.
9. DOMESTIC WATER SUPPLY TO BE PROTECTED FROM THE IRRIGATION SYSTEM CONNECTION VIA A DOUBLE CHECK ANTI-SIPHON VALVE PER CITY AND STATE REQUIREMENTS.
10. FLUSH MAINLINES BEFORE INSTALLING REMOTE CONTROL VALVES. FLUSH LATERAL LINES BEFORE INSTALLING DRIP VALVES. VISUALLY INSPECT MAINLINE FOR LEAKS UNDER FULL OPERATING PRESSURE BEFORE BACKFILLING.
11. IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD AS46/ICC 802-2014. LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD. ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.85 OR HIGHER USING THE PROTOCOL DEFINED IN ASABCE/C 802-2014.
12. AREAS LESS THAN TEN (10) FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
13. LAWN TO USE WATER SAVING MP ROTATOR SPRINKLERS.



PLANT SCHEDULE

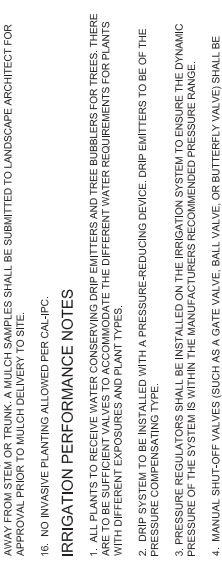
COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	QTY
Waterfall Japanese Mistake	Waterfall Japanese Mistake	6-10 ft	10-12 ft	1
Emerald European Hollyhock	Emerald European Hollyhock	20-25 ft	8 ft OC	28
Shouan Japanese Blackberry Tree	Shouan Japanese Blackberry Tree	20-30 ft	24" box	1
Princeton Sentry Maidenhair Tree	Princeton Sentry Maidenhair Tree	26-30 ft	24" box	1
1025C Dyanthe® Corpse Wytyle	1025C Dyanthe® Corpse Wytyle	15-20 ft	24" box	4
Abundantia Super Magnolia	Abundantia Super Magnolia	20-25 ft	15 gal	1
Pacific Wax Myrtle	Pacific Wax Myrtle	8-10 ft	5 gal	4
Screening Hedge	Morrea (Wynca) callionica	8-10 ft	6 ft	5

DESIGN REVIEW SCREENING TREES & SHRUBS LEGEND

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	CONTAINER SPACING	QTY	NOTES
Acer palmatum 'Waterfall'	Waterfall Japanese Mistake	6-10 ft	10-12 ft	24" box	1	To be sheared regularly
Carpinus betulus 'Columnaris'	Emerald European Hollyhock	20-25 ft	8 ft OC	24" box	28	
Elaeagnus oleocarpa	Shouan Japanese Blackberry Tree	20-30 ft	24" box	24" box	1	Tree (#20) replacement
Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	26-30 ft	24" box	24" box	1	Heritage tree (#7) replacement
Lagostemna indica 'Whit P P P # 1025C'	1025C Dyanthe® Corpse Wytyle	15-20 ft	24" box	24" box	4	
Magnolia 'Abundantia Super Magnolia'	Abundantia Super Magnolia	20-25 ft	15 gal	15 gal	1	
Myrica aspidiophora 'Alexander'	Pacific Wax Myrtle	8-10 ft	5 gal	5 gal	4	
Morrea (Wynca) callionica	Screening Hedge	8-10 ft	6 ft	6 ft	5	To be sheared regularly to 7ft max height

LEGEND

- (Symbol) TREE TO REMAIN



O D S ARCHITECTURE

5895 Doyle Street
Emeryville, CA 94608
T. 510.595.1300
F. 510.595.1313

Subject: Exterior finish changes to originally approved project
Project Address: 1220 Bay Laurel Drive, Menlo Park, CA

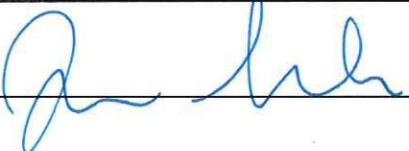
Date: 12/8/17

Dear neighbors,

We would like your consent for a minor finish alteration to our house exterior at 1220 Bay Laurel Drive that was originally approved on May 9, 2016. See attached planning submittal package along with additional 3d images that illustrates the changes. Please sign below to acknowledge that you have reviewed the drawings and accept the revisions.

Neighbors Address: 1205 BAY LAUREL DRIVE

Name: JON SAKODA

Signature: 

O D S ARCHITECTURE

5895 Doyle Street
Emeryville, CA 94608
T. 510.595.1300
F. 510.595.1313

Subject: Exterior finish changes to originally approved project
Project Address: 1220 Bay Laurel Drive, Menlo Park, CA

Date: 12/8/17

Dear neighbors,

We would like your consent for a minor finish alteration to our house exterior at 1220 Bay Laurel Drive that was originally approved on May 9, 2016. See attached planning submittal package along with additional 3d images that illustrates the changes. Please sign below to acknowledge that you have reviewed the drawings and accept the revisions.

Neighbors Address: 1210 Bay Laurel Drive

Name: Kathryn Houghton

Signature: Kathryn Houghton

O D S ARCHITECTURE

5895 Doyle Street
Emeryville, CA 94608
T. 510.595.1300
F. 510.595.1313

Subject: Exterior finish changes to originally approved project
Project Address: 1220 Bay Laurel Drive, Menlo Park, CA

Date: 12/8/17

Dear neighbors,

We would like your consent for a minor finish alteration to our house exterior at 1220 Bay Laurel Drive that was originally approved on May 9, 2016. See attached planning submittal package along with additional 3d images that illustrates the changes. Please sign below to acknowledge that you have reviewed the drawings and accept the revisions.

Neighbors Address: 1225 Bay Laurel Dr

Name: Bill Harris

Signature: 

O D S ARCHITECTURE

5895 Doyle Street
Emeryville, CA 94608
T. 510.595.1300
F. 510.595.1313

Subject: Exterior finish changes to originally approved project
Project Address: 1220 Bay Laurel Drive, Menlo Park, CA

Date: 12/8/17

Dear neighbors,

We would like your consent for a minor finish alteration to our house exterior at 1220 Bay Laurel Drive that was originally approved on May 9, 2016. See attached planning submittal package along with additional 3d images that illustrates the changes. Please sign below to acknowledge that you have reviewed the drawings and accept the revisions.

Neighbors Address: 300 Santa Anita Ave

Name: Robert Duboc

Signature: 



STAFF REPORT

Planning Commission

Meeting Date: 1/8/2018
Staff Report Number: 18-006-PC

Public Hearing: Use Permit and Architectural Control/City of Menlo Park/1221 Chrysler Drive

Recommendation

Staff recommends that the Planning Commission approve a request for architectural control to construct a new stormwater pump station to replace an existing pump station, and a request for a use permit for hazardous materials to install a new diesel emergency generator associated with the pump station, located at 1221 Chrysler Drive in the P-F (Public Facilities) zoning district. The recommended actions are contained in Attachment A.

Policy Issues

Each use permit and architectural control request is considered individually. The Planning Commission should consider whether the required use permit and architectural control findings can be made for the proposal.

Background

Site location

The project parcel is located at 1221 Chrysler Drive, southwest of the intersection of Chrysler Drive and Bayfront Expressway (California State Route 84). A location map is included as Attachment B.

The parcel bordering the site to the north, south, and west (using Chrysler Drive in a north to south orientation) is located in the M-3-X (Commercial Business Park, Conditional Development) zoning district, and at present contains an existing office building addressed as 155 Constitution Drive. However, the adjacent parcel is part of the Constitution Drive phase of the Menlo Gateway project and will be developed with one of two new six-story parking structures to serve two office buildings to be constructed along Constitution Drive between Marsh Road and Chrysler Drive. Construction of the parking structure could potentially begin in the second half of 2018. The adjacent parcel to the west across Chrysler Drive is zoned O-B (Office, Bonus) and contains an existing fitness training and recreational facility. The subject property is located approximately 1,000 feet from a future Sequoia Union District high school, which is southeast of the project site at 150 Jefferson Drive and currently under construction. The nearest residences are located approximately 2,200 feet to the west at Elan Menlo Park, a multifamily development at 3645 Haven Avenue, and approximately 2,200 feet to the southeast in the Suburban Park neighborhood.

Currently, the project site contains a concrete pump station building, constructed in 1958, with 208 square

feet of gross floor area (GFA). The building houses two 100 horsepower pumps and an electrical room. An existing generator and transformer are also located above ground in the vicinity of the building. Various pipes, utilities, and a wet well are located below ground underneath and adjacent to the building. The pump station provides flood protection to properties generally bounded by Marsh Road, Bohannon Drive, Chilco Street and Bayfront Expressway. It also handles stormflow from a small section of the Suburban Park neighborhood near Flood Park and the Caltrans Henderson Underpass Pumping Plant, which pumps groundwater from the Highway 101 underdrain system near the railroad crossing. Stormwater is sent from the pump station to a Caltrans ditch on the opposite side of Bayfront Expressway and empties into Flood Slough in the San Francisco Bay, near the entrance of Bedwell Bayfront Park. Although the pump station is located in the 100-year event flood zone, it is designed to provide flood protection from a 10-year storm event.

Analysis

Project description

The proposed project involves demolition of the existing pump station and construction of a new pump station building, pumps, and related utilities and mechanical equipment, and the installation of a new emergency generator on the site. The new facility would consist of a concrete building with 2,990 square feet of GFA and three pumps designed to handle a 100-year storm event. The building would sit 24 inches above the 100-year base flood elevation, complying with sea level rise requirements applicable to parcels recently rezoned as part of the ConnectMenlo General Plan Update. The new location would place the pump station 41 feet back from Chrysler Drive, compared with the 20-foot front setback of the existing building, allowing for more landscaping along the street, which would be installed as part of the Constitution Phase of the Menlo Gateway project. The new location requires a property exchange with the Bohannon Development Company and would be effectuated by a future lot line adjustment, scheduled to be completed in March 2018. The new lot would be 5,060 square feet in size and have a narrower frontage onto Chrysler Drive but a longer depth compared with the existing lot. The project plans and the applicant's project description letter are included as Attachments C and D, respectively.

The project would result in 2,990 square feet of GFA and a floor area ratio (FAR) of 59.1 percent for the pump station building, which is less than the 60 percent FAR allowed on sites with a lot area of two acres or less. There are no other development regulations in the P-F zoning district.

Design and materials

The existing pump station building is constructed of beige-painted concrete with evenly-spaced vertical and horizontal score lines, creating a rectangular pattern around all four sides of the building. The right, left, and rear sides of the building have two large vents at either end of the façade, and the front (east) façade has a metal door. There are no windows or any other openings on the existing elevations. The roof is flat with a short parapet of stained vertical wood siding and a simple wood cornice.

The proposed pump station building would be constructed of concrete in a unique asymmetrical crystalline form with faceted planes around all sides of the building. The various facets would generally taper inward toward the top and bottom of the structure, reducing the overall appearance of bulk and massing and

providing a more striking modern appearance for the pump station compared with the existing building. A majority of the facets would be covered in aluminum panels in a space silver color with a matte finish to reduce potential glare impacts. The proposed pump station building exterior was designed by Heller Manus Architects, who is also serving as the architect for the Menlo Gateway project office buildings. The color and style of the panels would match those of the Menlo Gateway Constitution site office buildings to be constructed. One triangular facet on the front façade would be a vent with aluminum louvers to provide air circulation to the interior of the building. Access to the building would be limited to doors on the rear façade and in recesses along the side elevations.

Louvered roof openings with skylights, as well as an exhaust pipe for the emergency generator to be housed within the building, would be screened by a parapet created by extending the facets around the top of the building above the flat roof. Other mechanical equipment and utilities, such as a wet well, sump pump, and discharge pipes would generally be located below grade, with at-grade metal grates above some underground portions of the pump station. A transformer associated with the pump station would be above ground, but would be located at the rearmost edge of the parcel, where visibility from the public right-of-way would be reduced.

As the first building that would be seen when turning onto Chrysler Drive from Bayfront Expressway, staff believes the proposed pump station would improve the aesthetic appearance of the site and serve as a prominent gateway to the area recently rezoned as part of the ConnectMenlo General Plan Update for workers, visitors, and potential future residents.

Hazardous materials

An emergency generator is in use at the existing site, but the new pump station building and pumps would require a larger generator to handle the potential of a 100-year storm event. Diesel fuel for the generator would be the only hazardous material approved for onsite storage as part of the current use permit request. The proposed generator tank can hold up to 300 gallons of fuel and would be located within the pump station building. The Hazardous Materials Generator Supplement Form for the project is provided as Attachment E and the generator specification sheet is included as Attachment F.

Staff has included recommended conditions of approval that would limit changes in the use of hazardous materials, require a new user to submit a chemical inventory to seek compliance if the existing use is discontinued, and address violations of other agencies in order to protect the health and safety of the public.

Staff believes that the proposed emergency diesel generator would comply with all industry standard precautions to protect personnel and the environment, and the proposed use and quantities of hazard materials would be consistent with other emergency generators.

Agency review

The Menlo Park Fire Protection District, City of Menlo Park Building Division, West Bay Sanitary District, and San Mateo County Environmental Health Services Division were contacted regarding the proposed use and storage of hazardous materials on the project site. Each entity found the proposal to be in

compliance with all applicable standards and approved the proposal. Their correspondence has been included as Attachment G.

Parking and circulation

For unmanned pump stations and other public utility substations, Section 16.72.080 of the Zoning Ordinance specifies that no off-street parking spaces are required. A new driveway north of the pump station parcel on the Menlo Gateway Constitution site would provide access to the building and below-grade structures, and may serve as temporary parking for service vehicles responding to any short-term maintenance or repair needs related to the pump station. A remote fueling station is located at the rear of the southern side of the pump station building, which would be accessed by service trucks backing up from the driveway to the rear of the building over the at-grade wet well slab. An access easement over the Menlo Gateway site for the pump station driveway will be recorded at the time of the lot line adjustment.

Trees and landscaping

No changes to existing trees or landscaping are proposed as part of this project. Two heritage trees, a 25-inch Monterey pine and a 24-inch Monterey pine, are proposed to be removed as part of the Constitution Phase of the Menlo Gateway project. The Menlo Gateway project arborist has indicated that these trees are in moderate health and have a low suitability of preservation. As previously mentioned, landscaping adjacent to the Chrysler Drive frontage will be provided as part of the Menlo Gateway project, but the intent is to maintain a clear view of the unique architecture of the pump station building using low ornamental grasses and other ground vegetation.

Correspondence

Staff has not received any correspondence on this project.

Conclusion

The proposed pump station building would result in an FAR of 59.1 percent for the entire subject property, which is below the maximum FAR permitted in the P-F zoning district for a parcel less than two acres in lot area. The proposed pump station would have a crystalline form with faceted planes that would enhance the design of an otherwise utilitarian building. Staff believes that the proposed emergency diesel generator would comply with all industry standard precautions to protect personnel and the environment and the proposed use and quantities of hazard materials would be appropriate for the operations of critical city utilities. Staff recommends that the Planning Commission approve the requested use permit and architectural control.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 2 (Section 15302, "Replacement or Reconstruction") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 1,320-foot radius of the subject property.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Project Description Letter
- D. Project Plans
- E. Hazardous Materials Generator Supplement Form
- F. Generator Specification Sheet
- G. Hazardous Materials Agency Referral Forms:
 - Menlo Park Fire Protection District
 - San Mateo County Environmental Health Department
 - West Bay Sanitary District
 - Menlo Park Building Division

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

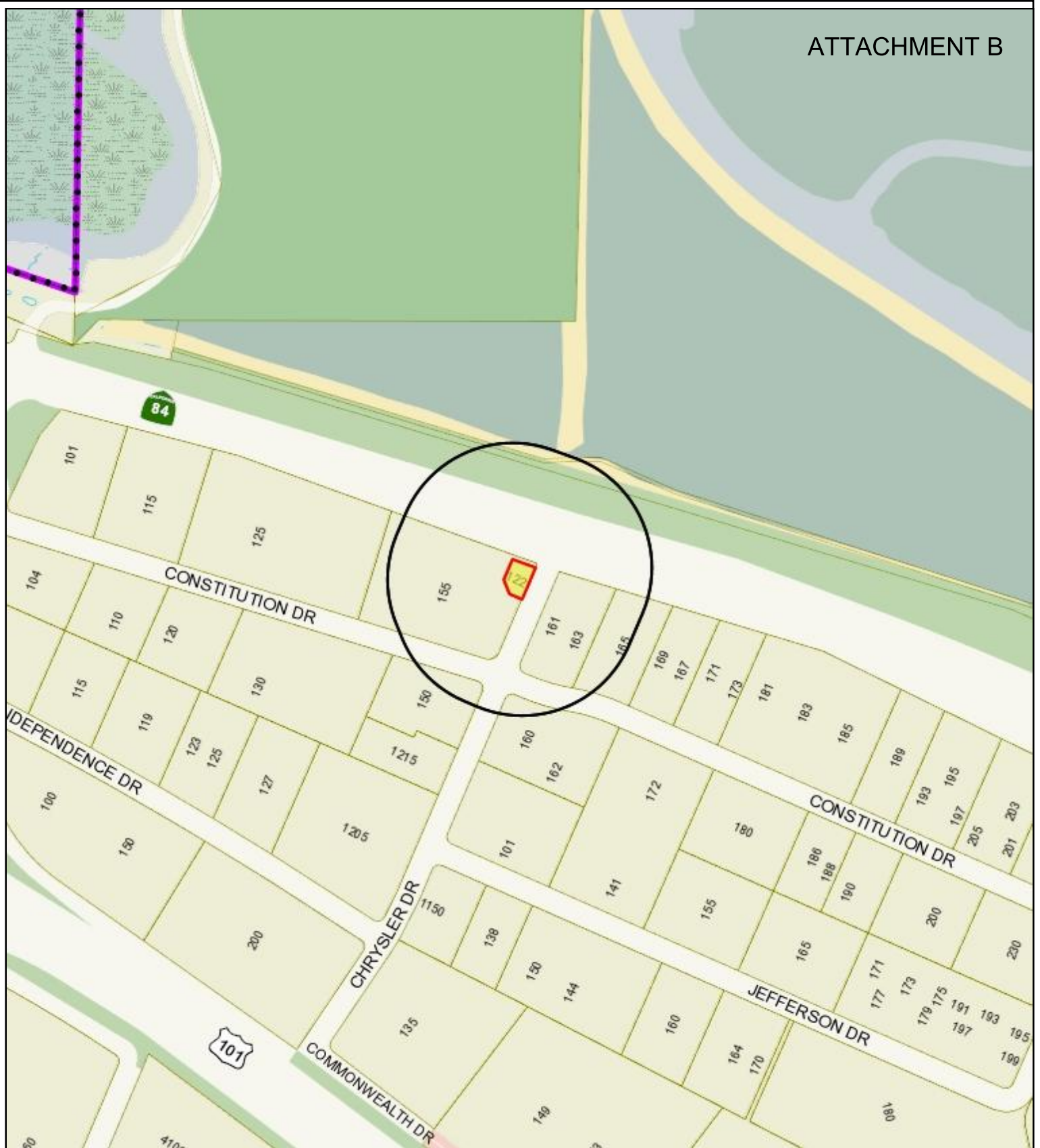
Report prepared by:
Tom Smith, Associate Planner

Report reviewed by:
Thomas Rogers, Principal Planner

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LOCATION: 1221 Chrysler Drive	PROJECT NUMBER: PLN2017-00069	APPLICANT: City of Menlo Park	OWNER: City of Menlo Park
PROPOSAL: Request for architectural control to construct a new stormwater pump station to replace an existing pump station, and a request for a use permit for hazardous materials to install a new diesel emergency generator associated with the stormwater pump station, which is located in the P-F (Public Facilities) zoning district.			
DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
<p>ACTION:</p> <ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 2 (Section 15302, "Replacement or Reconstruction") of the current California Environmental Quality Act (CEQA) Guidelines. 2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval: <ol style="list-style-type: none"> a. The general appearance of the structure is in keeping with the character of the neighborhood. b. The development will not be detrimental to the harmonious and orderly growth of the City. c. The development will not impair the desirability of investment or occupation in the neighborhood. d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking. e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made. 3. Approve the use permit and architectural control subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Schaaf & Wheeler Consulting Civil Engineers consisting of 20 plan sheets, dated received November 29, 2017, as well as the Project Description Letter, dated received June 22, 2017, approved by the Planning Commission on January 8, 2018, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. 			

LOCATION: 1221 Chrysler Drive	PROJECT NUMBER: PLN2017-00069	APPLICANT: City of Menlo Park	OWNER: City of Menlo Park
PROPOSAL: Request for architectural control to construct a new stormwater pump station to replace an existing pump station, and a request for a use permit for hazardous materials to install a new diesel emergency generator associated with the stormwater pump station, which is located in the P-F (Public Facilities) zoning district.			
DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION: <ul style="list-style-type: none"> e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the Project Arborist's recommendations. h. Simultaneous with the submittal of a complete building permit application, the applicant shall comply with all applicable requirements of the ConnectMenlo General Plan Update Mitigation Monitoring or Reporting Program (MMRP), subject to review and approval of the Planning Division. i. If there is an increase in the quantity of hazardous materials on the project site, a change in the location of the storage of the hazardous materials, or the use of additional hazardous materials after this use permit is granted, the applicant shall apply for a revision to the use permit. j. Any citation or notification of violation by the Menlo Park Fire Protection District, San Mateo County Environmental Health Department, West Bay Sanitary District, Menlo Park Building Division or other agency having responsibility to assure public health and safety for the use of hazardous materials will be grounds for considering revocation of the use permit. k. If operations discontinue at the premises, the use permit for hazardous materials shall expire unless a new user submits a new hazardous materials information form to the Planning Division for review by the applicable agencies to determine whether the new hazardous materials business plan is in substantial compliance with the use permit. 			



City of Menlo Park
Location Map
1221 Chrysler Drive



Scale: 1:4,000

Drawn By: TAS

Checked By: THR

Date: 1/8/2018

Sheet: 1



Project Description

The Chrysler Stormwater Pump Station is located at 1221 Chrysler Drive, at the corner of Bayfront Expressway, adjacent to the Menlo Gateway development. Built in 1958, the pump station provides flood protection to properties that are generally bounded by Marsh Road, Bohannon Drive, Chilco Street and Bayfront Expressway. The facility also handles stormflow from a small section of the Suburban Park neighborhood near Flood Park and the Caltrans Henderson Underpass Pumping Plant, which pumps groundwater from Highway 101's underdrain system near the railroad crossing. The pump station and a significant portion of its drainage area lie in the Special Flood Hazard Area as defined by the Federal Emergency Management Agency (FEMA). Based on FEMA's designation, the area is subject to inundation from the 1% annual chance of a flood event (100 return year period).

The facility consists of two 100 horse power pumps, a below-ground wet well, and a building that houses the pumps and the electrical room. Stormwater is pumped to a Caltrans ditch on the opposite side of Bayfront Expressway and empties into Flood Slough in the Bay near the entrance of Bedwell Bayfront Park. While the pump station is located in the 100 year event flood zone, it is designed to provide flood protection from the 10 year storm event.

The proposed project involves the upgrade and relocation of the pump station. The new facility will consist of a new building and three pumps designed to handle the 100 year event. The building will sit 24 inches above the 100 year base flood elevation, complying with the sea level rise zoning requirements for the area. The new location places the pump station further back from Chrysler Drive, allowing for more landscaping along the street and improving the aesthetics of the site. The new location requires a property exchange with the Bohannon Development Company and will be effectuated by a lot line adjustment.

Design Inspiration

"The Pump Station Building's form was inspired by a unique 4 story Sanitation structure in Manhattan. It's dramatic and sculptural quality enhances the important Menlo Gateway intersection at Chrysler and Bayfront. The concrete finish and unique angled walls form an artistic gem element in front of the new 6 story precast concrete Parking Structure."

-Steve Buchholz, Project Architect

CITY OF MENLO PARK

CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS PROJECT

CITY OF MENLO PARK, SAN MATEO COUNTY, CALIFORNIA



PROJECT LOCATION MAP
NO SCALE

SHEET NUMBER	SHEET TITLE
1	TITLE SHEET
2	AREA PLAN
3	EXISTING SITE PLAN
4	EXISTING PUMP STATION ELEVATIONS
5	IMPROVED SITE PLAN
6	GROSS FLOOR AREA DIAGRAM
7	FLOOR PLAN
8	MECHANICAL FLOOR PLAN
9	ROOF PLAN
10	MECHANICAL ROOF PLAN
11-14	RENDERINGS
15-16	EXISTING ELEVATIONS
17	PROPOSED ELEVATIONS
18-19	METAL PANEL DETAILS PUMP STATION SECTIONS

AREAS	
EXISTING PARCEL	5,073 SF
PROPOSED PARCEL	5,068 SF
EXISTING GROSS FLOOR AREA	208 SF
PROPOSED GROSS FLOOR AREA	2,968 SF



Schaaf & Wheeler
CONSULTING ENGINEERS
1100 CALIFORNIA STREET, SUITE 205
SANTA CLARA, CA 95050
(408) 246-4848

PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

DATE: 11/28/2017
SCALE: AS SHOWN
DRAWN BY: CHRIS LEBES
CHECKED BY: FTJ
SURVEYED BY: COA

APPROVED:
DATE: _____
BY: _____
TITLE: _____

CITY OF MENLO PARK
PUBLIC WORKS DEPARTMENT
701 LAUREL STREET, MENLO PARK, CA 94025-3483
PHONE (650) 330-6740 FAX (650) 327-5497

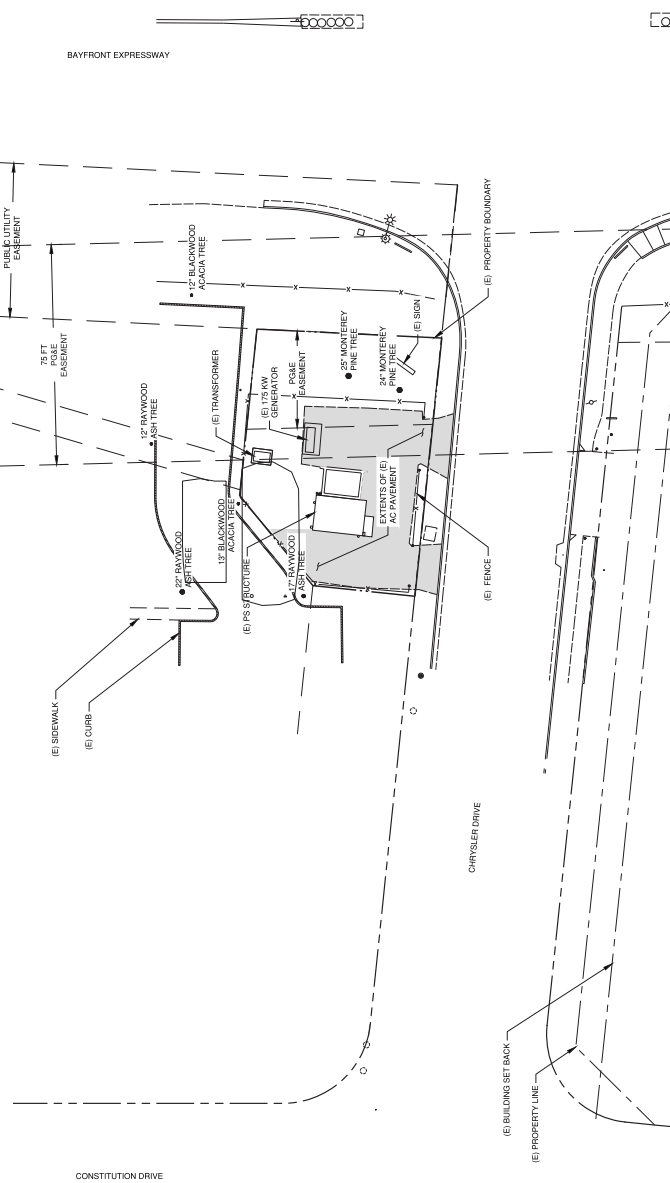
CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
TITLE SHEET

SHEET
C1
1 OF 19



NOTES

- 1. ALL NOTES WILL BE REVIEWED BY OWNERS AS PART OF THE BIDDING PROCESS.
- 2. ALL NOTES WILL BE REVIEWED BY OWNERS AS PART OF THE BIDDING PROCESS.
- 3. ALL NOTES WILL BE REVIEWED BY OWNERS AS PART OF THE BIDDING PROCESS.



SCALE VERIFICATION
 SCALE: 1 INCH = 20 FEET
 DRAWN BY: CHRYSLER
 CHECKED BY: CHRYSLER
 SURVEYED BY: CHRYSLER

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SCALE:	AS SHOWN
DRAWN BY:	CHRYSLER
CHECKED BY:	CHRYSLER
SURVEYED BY:	CHRYSLER

NO.	BY	DATE	REVISIONS

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Schaaf & Wheeler
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 11100 SAN Geronimo STREET, SUITE 205
 SANTA CLARA, CA 95050
 (408) 246-4848

CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
EXISTING SITE PLAN

SHEET **C3**
 3 OF 19

NOTE
 1. APPROXIMATE SIZE OF BUILDING: 12'0" (W) X 17'0" (L) X 12'0" (H).



RIGHT SIDE OF BUILDING/ NORTH ELEVATION
 NTS



BACK OF BUILDING/ WEST ELEVATION
 NTS



FRONT OF BUILDING/ EAST ELEVATION
 NTS



LEFT SIDE OF BUILDING/ SOUTH ELEVATION
 NTS



FRONT OF BUILDING/ EAST ELEVATION
 NTS

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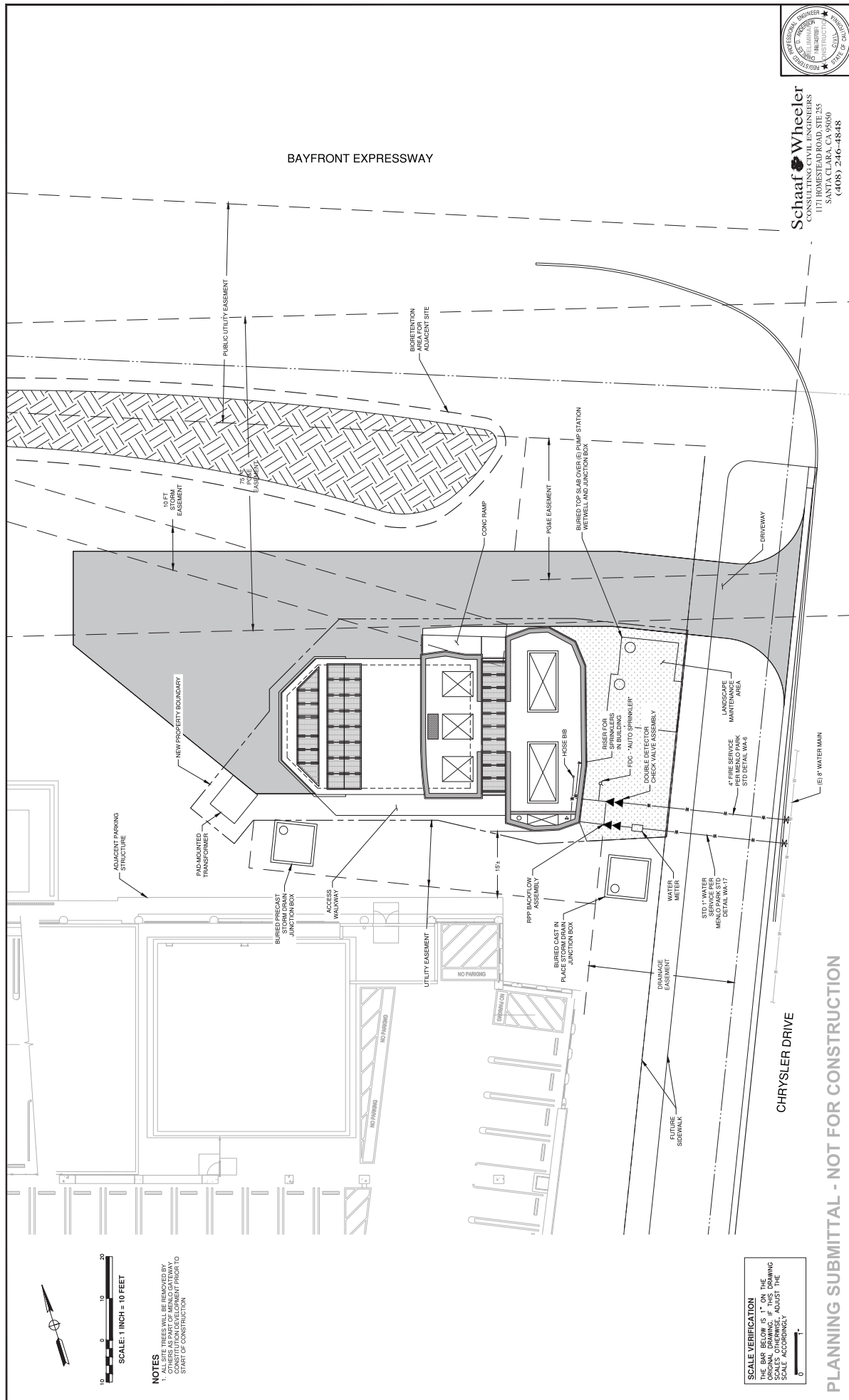
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 DRAWN BY: CHRYSLER
 CHECKED BY: FTIS
 SURVEYED BY: COA

APPROVED: _____
 DATE: _____
 RECEIVED: _____

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 SAN FRANCISCO, CA 94134
 (415) 764-4848

SHEET
C4
 4 OF 19



NOTES
 1. ALL SITE TREES WILL BE REMOVED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MENLO PARK STANDARD SPECIFICATIONS FOR PUBLIC WORKS.

SCALE VERIFICATION
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 CHECKED BY: [Signature]
 SURVEYED BY: [Signature]

PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

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CHECKED BY:	[Signature]
SURVEYED BY:	[Signature]

APPROVED:
 [Signature]
 ENGINEERING SERVICES MANAGER
 CITY OF MENLO PARK
 60982
 DATE: _____ TIME: _____

NO.	BY:	DATE	REVISIONS

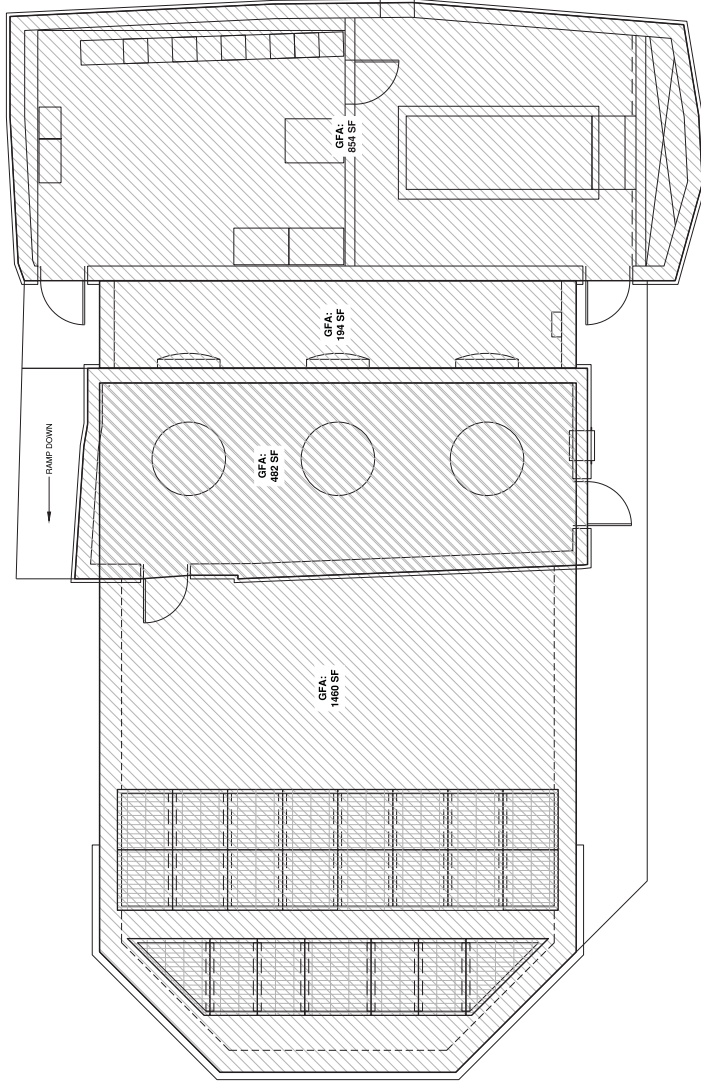
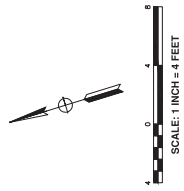
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PROFESSIONAL ENGINEER
 CIVIL
 STATE OF CALIFORNIA
 LICENSE NO. 45123

SHEET
C5
 5 OF 19

CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
IMPROVED SITE PLAN



GFA:
1480 SF

GFA:
482 SF

GFA:
194 SF

GFA:
854 SF

TOTAL BELOW GRADE GFA: 1480 GSF

TOTAL ABOVE GRADE GFA: 1530 GSF

SCALE VERIFICATION
 SPECIAL NOTE: THE
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 ORIGINAL DRAWING. IF THIS DRAWING
 SCALES OTHERWISE, ADJUST THE
 SCALE APPROPRIATELY.

GROSS FLOOR AREA DIAGRAM
 SCALE: 1/4" = 1'-0"

PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

DATE: 11/29/2017
 SCALE: AS SHOWN
 DRAWN BY: CHRIS WHEELER
 DRAWING NAME: CHRYSLER'S ENGINEERING SERVICES MANAGER
 CITY OF MENLO PARK
 CHECKED BY: FTIS
 SURVEYED BY: COA
 DATE: 6/29/20
 R.C.E. J

NO.	BY	DATE	REVISIONS

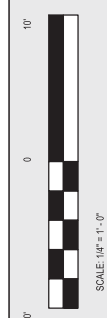
CITY OF MENLO PARK
PUBLIC WORKS DEPARTMENT
 701 LAUREL STREET, MENLO PARK, CA 94025-3483
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CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
GROSS FLOOR AREA DIAGRAM

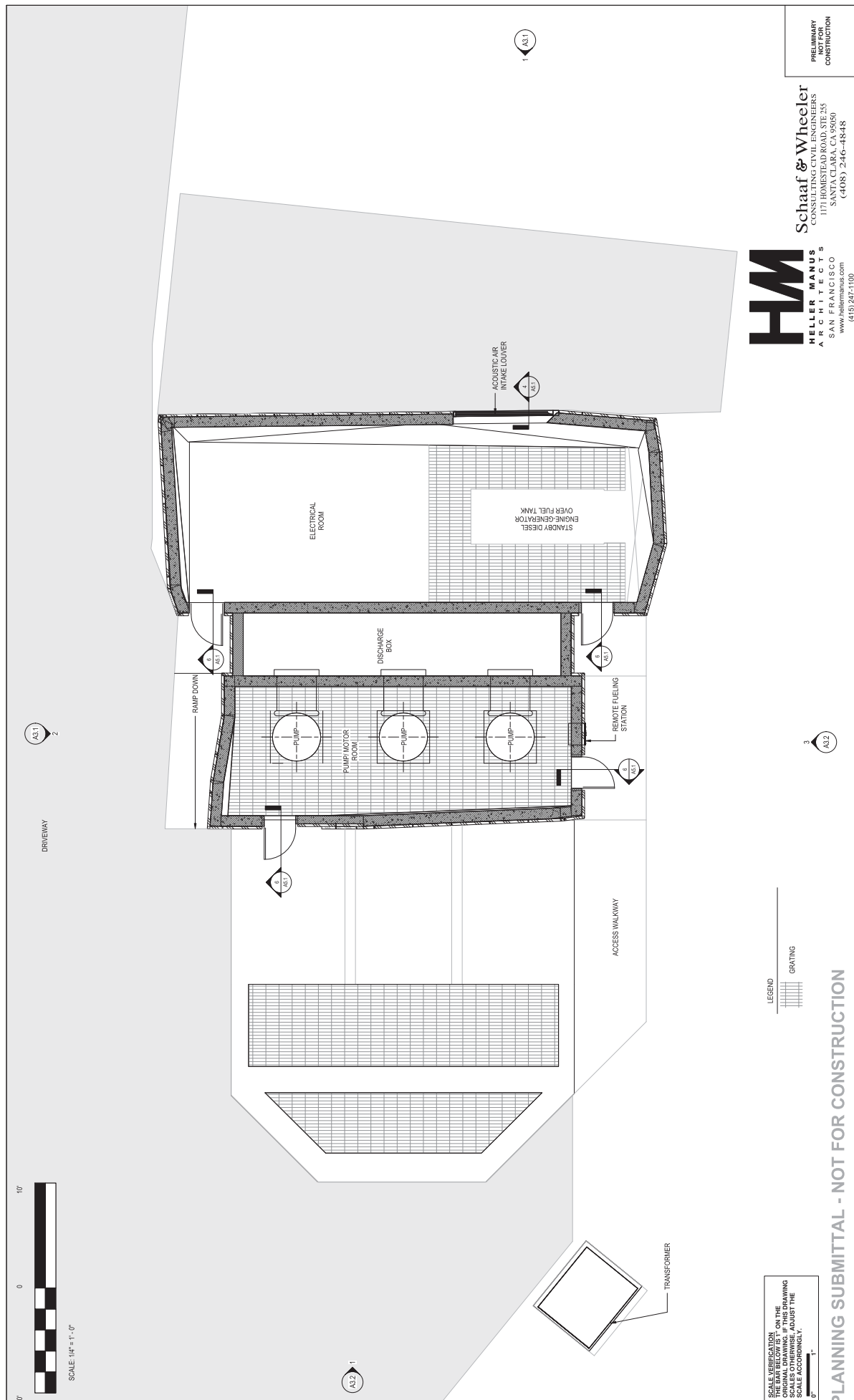
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 6 OF 19

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ARCHITECTS
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CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
FLOOR PLAN

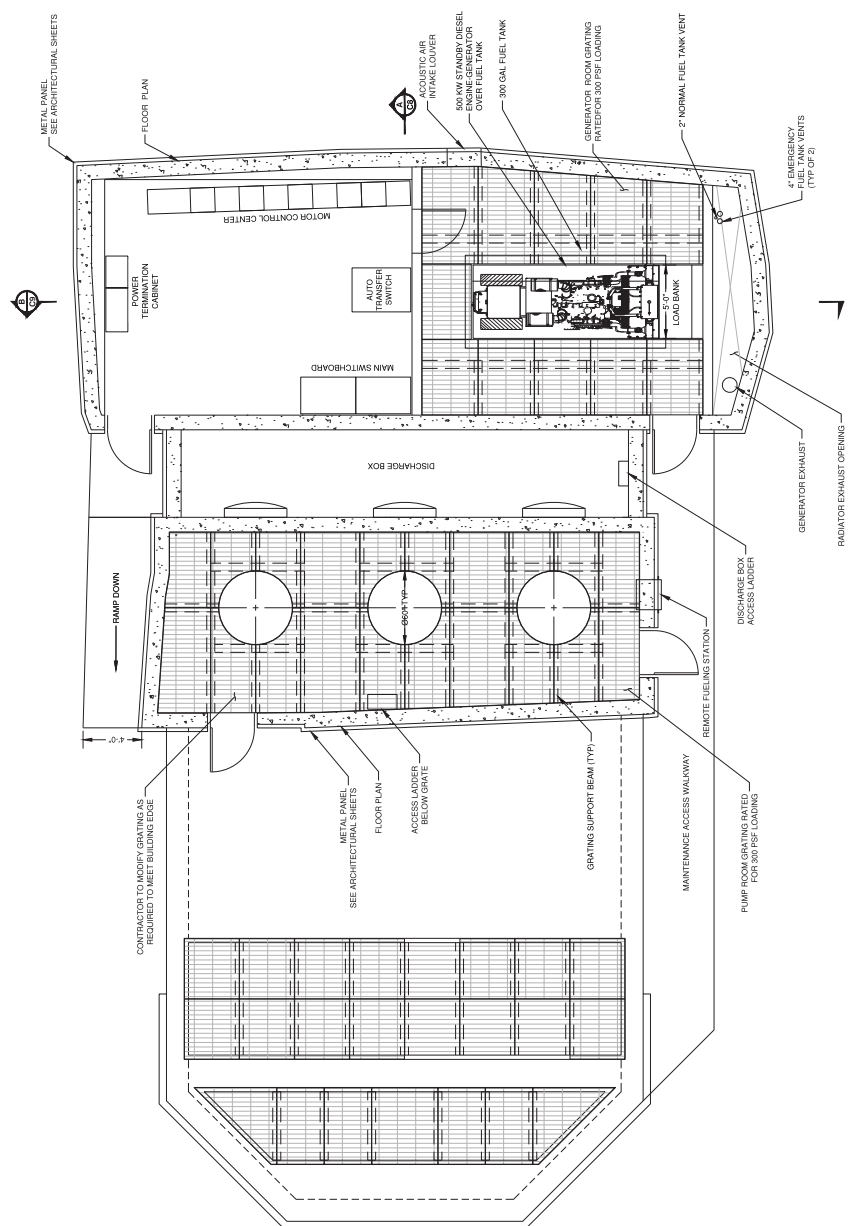
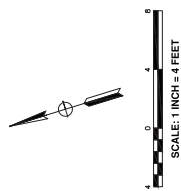
LEGEND

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DATE:	12/26/2017	APPROVED:	
SCALE:	1/4" = 1'-0"	DRAWN BY:	CHRISTOPHER S. XXX
DRAWING NAME:	CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS	CHECKED BY:	XXX
CITY:	MENLO PARK	SURVEYED BY:	XXX
PROJECT NO.:	06982	DATE:	R.C.E. ?
BY:	DATE:	REVISIONS:	



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 I HAVE REVIEWED THIS DRAWING AND CONFIRMED THAT THE ORIGINAL DRAWING IS THE ORIGINAL DRAWING. IF THIS DRAWING SCALES OTHERWISE, ADJUST THE SCALE ACCORDINGLY.

MECHANICAL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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 SANTA CLARA, CA 95050
 (408) 246-4848

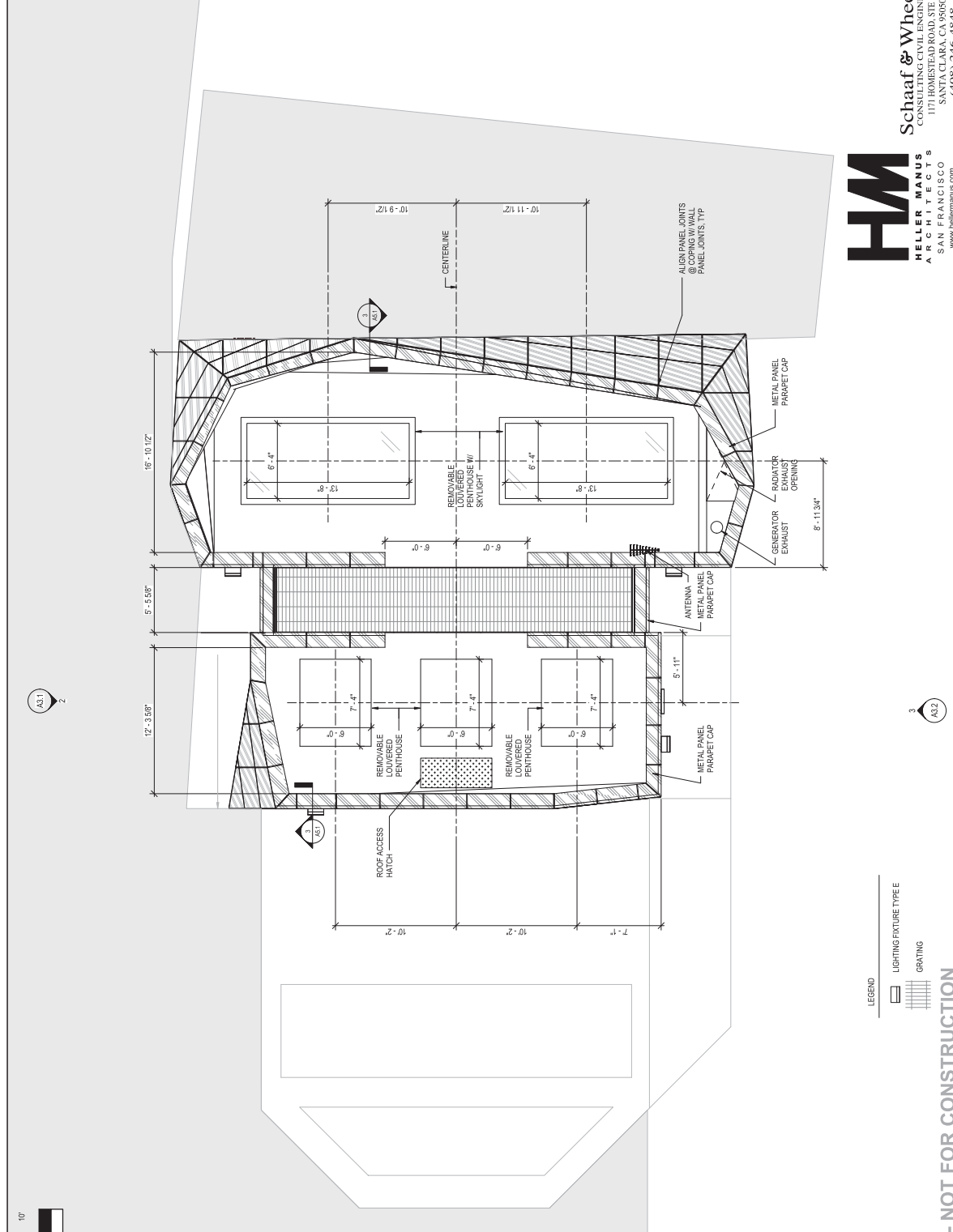
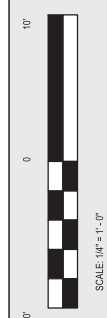
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CITY:	MENLO PARK	DATE:	11/29/17
CHECKED BY:	CHRISTOPHER	DATE:	11/29/17
SURVEYED BY:		DATE:	11/29/17

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 701 LAUREL STREET, MENLO PARK, CA 94025-3483
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CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
 MECHANICAL FLOOR PLAN

SHEET **C6**
 6 OF 19



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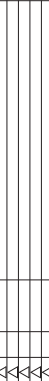
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CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS

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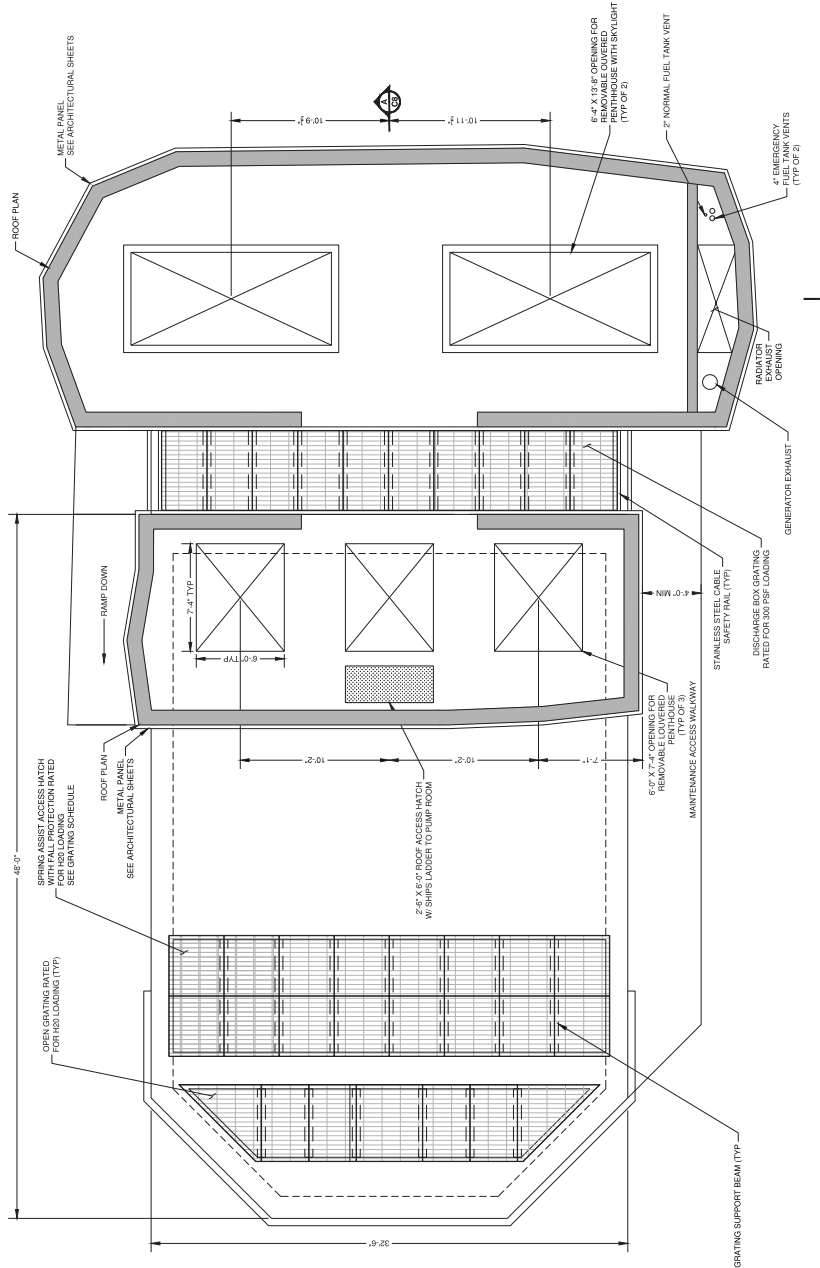
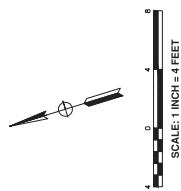
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DATE:	12/26/2017	APPROVED:	
SCALE:	1/4" = 1'-0"	DRAWN BY:	CHRISTOPHER S. XXX
DRAWING NAME:	CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS	CHECKED BY:	XXX
CITY OF MENLO PARK		SURVEYED BY:	XXX
DATE:	06/28	R.C.E. #	

NO.	BY	DATE	REVISIONS



SCALE VERIFICATION
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MECHANICAL ROOF PLAN
 SCALE: 1/4" = 1'-0"

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 SANTA CLARA, CA 95050
 (408) 246-4848



SHEET
C7
 10 OF 19

CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
MECHANICAL ROOF PLAN

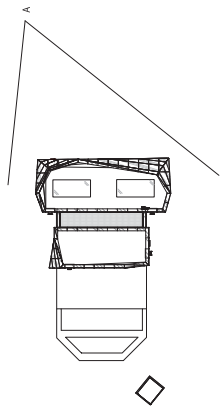
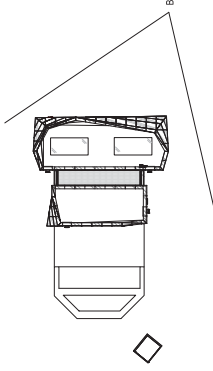
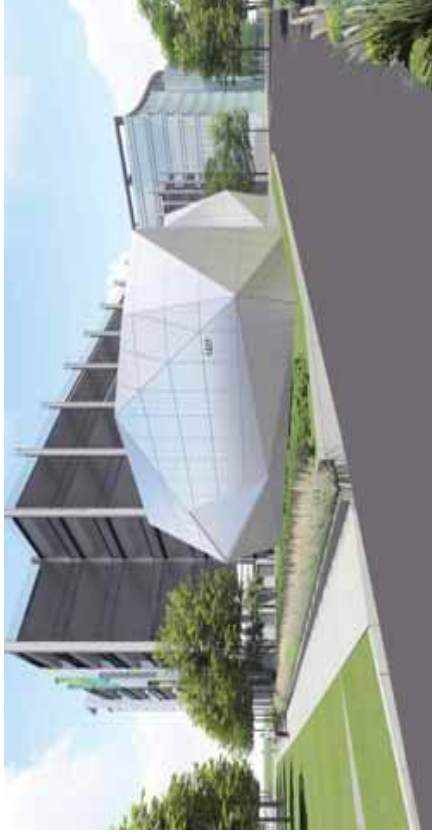
CITY OF MENLO PARK
PUBLIC WORKS DEPARTMENT
 701 LAUREL STREET, MENLO PARK, CA 94025-3483
 PHONE (650) 330-6740 FAX (650) 327-5497

NO.	BY	DATE	REVISIONS

PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

DATE: 11/29/2017
 SCALE: AS SHOWN
 DRAWN BY: CHRISLETS
 CHECKED BY: FTIS
 SURVEYED BY: COA

APPROVED: _____
 ENGINEERING SERVICES MANAGER
 CITY OF MENLO PARK
 DATE: _____ R.C.E. //



SCALE VERIFICATION ON THE ORIGINAL DRAWING. IF THIS DRAWING SCALE DOES NOT MATCH THE SCALE OF THE ORIGINAL DRAWING, ADJUST THE SCALE ACCORDINGLY.

PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

DATE: 12/26/2017
 SCALE: 3/64" = 1'-0"
 DRAWN BY: CHRISLER/SJS
 CHECKED BY: SJS
 SURVEYED BY: DATE R.C.E. ?

NO.	BY	DATE	REVISIONS

CITY OF MENLO PARK
PUBLIC WORKS DEPARTMENT
 701 LAUREL STREET, MENLO PARK, CA 94025-3483
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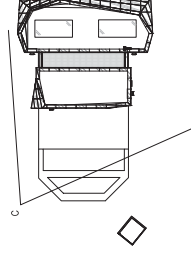
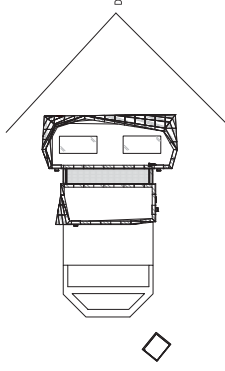
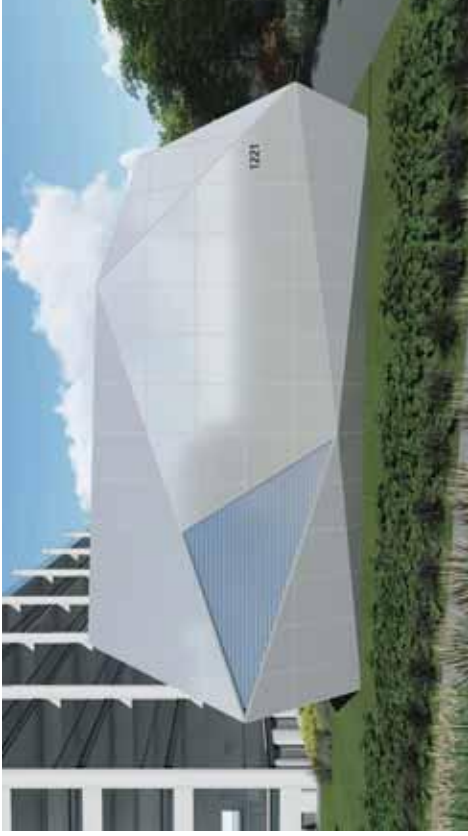
CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
RENDERINGS - DAY

SHEET
A2.1

HM
HELLER MANUS ARCHITECTS
 1171 HOMESTEAD ROAD, SUITE 205
 SAN FRANCISCO, CA 94116
 (415) 247-1100
 www.hellermanus.com

Schaaf & Wheeler
 CONSULTING ENGINEERS
 1171 HOMESTEAD ROAD, SUITE 205
 SANTA CLARA, CA 95050
 (408) 246-4848

PRELIMINARY
 NOT FOR
 CONSTRUCTION



SCALE VERIFICATION ON THE ORIGINAL DRAWING. IF THIS DRAWING SCALE APPROXIMATELY MATCHES THE SCALE OF THE ORIGINAL DRAWING, ADJUST THE SCALE AS APPROPRIATE.

DATE: 12/28/2017

SCALE: 3/8" = 1'-0"

DRAWN BY: XXX

CHECKED BY: XXX

SURVEYED BY: XXX

DATE: 06/22

R.C.E. ?

APPROVED:

06/22

ENGINEERING SERVICES MANAGER

CITY OF MENLO PARK

DATE: 06/22

R.C.E. ?

PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

NO.	BY	DATE	REVISIONS

CITY OF MENLO PARK
PUBLIC WORKS DEPARTMENT
 701 LAUREL STREET, MENLO PARK, CA 94025-3483
 PHONE (650) 330-6740 FAX (650) 327-5497

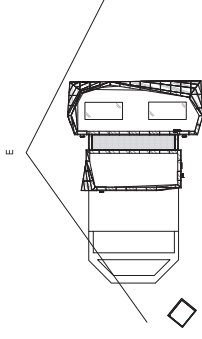
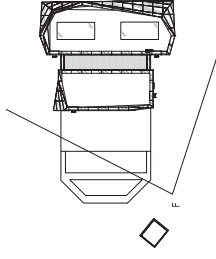
CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
RENDERINGS - DAY

SHEET
A2.2

HM
HELLER MANUS ARCHITECTS
 1011 HOMESTEAD SQUARE, SUITE 205
 SAN FRANCISCO, CA 94108
 www.hellermanus.com
 (415) 247-1100

Schaaf & Wheeler
 CONSULTING ENGINEERS
 1111 HOMESTEAD SQUARE, SUITE 205
 SANTA CLARA, CA 95050
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SCALE VERIFICATION ON THE ORIGINAL DRAWING. IF THIS DRAWING SCALE DOES NOT MATCH THE SCALE OF THE ORIGINAL DRAWING, ADJUST THE SCALE ACCORDINGLY.

DATE: 12/26/2017

SCALE: 3/8" = 1'-0"

DRAWN BY: CHRIS LERDS

CHECKED BY: XXX

SURVEYED BY: XXX

DATE: 06/22 R.C.E. P

APPROVED: [Signature]

ENGINEERING SERVICES MANAGER

CITY OF MENLO PARK

DATE: 06/22

R.C.E. P

PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

NO.	BY	DATE	REVISIONS

CITY OF MENLO PARK
PUBLIC WORKS DEPARTMENT
 701 LAUREL STREET, MENLO PARK, CA 94025-3483
 PHONE (650) 330-6740 FAX (650) 327-5497

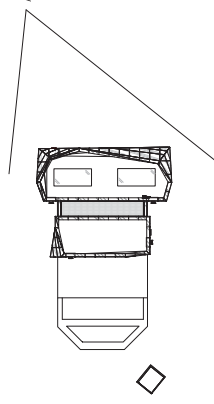
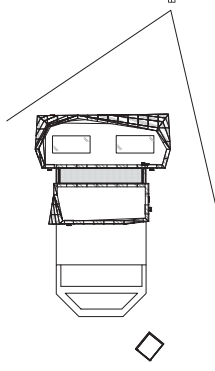
CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
RENDERINGS - DAY

SHEET
A2.3

HM
HELLER MANUS ARCHITECTS
 1111 HOMESTEAD ST., SUITE 205
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SCALE VERIFICATION ON THE ORIGINAL DRAWING. IF THIS DRAWING SCALE DOES NOT MATCH THE SCALE OF THE ORIGINAL DRAWING, ADJUST THE SCALE ACCORDINGLY.

DATE: 12/26/2017

SCALE: 3/64" = 1'-0"

DRAWN BY: CHRIS LERSEN

CHECKED BY: XXX

SURVEYED BY: XXX

DATE: 06/22

R.C.E. P

APPROVED:

ENGINEERING SERVICES MANAGER

CITY OF MENLO PARK

06/22

BY: DATE REVISIONS

NO.

DATE

REVISIONS

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SHEET
 A2.4

CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
 RENDERINGS - NIGHT

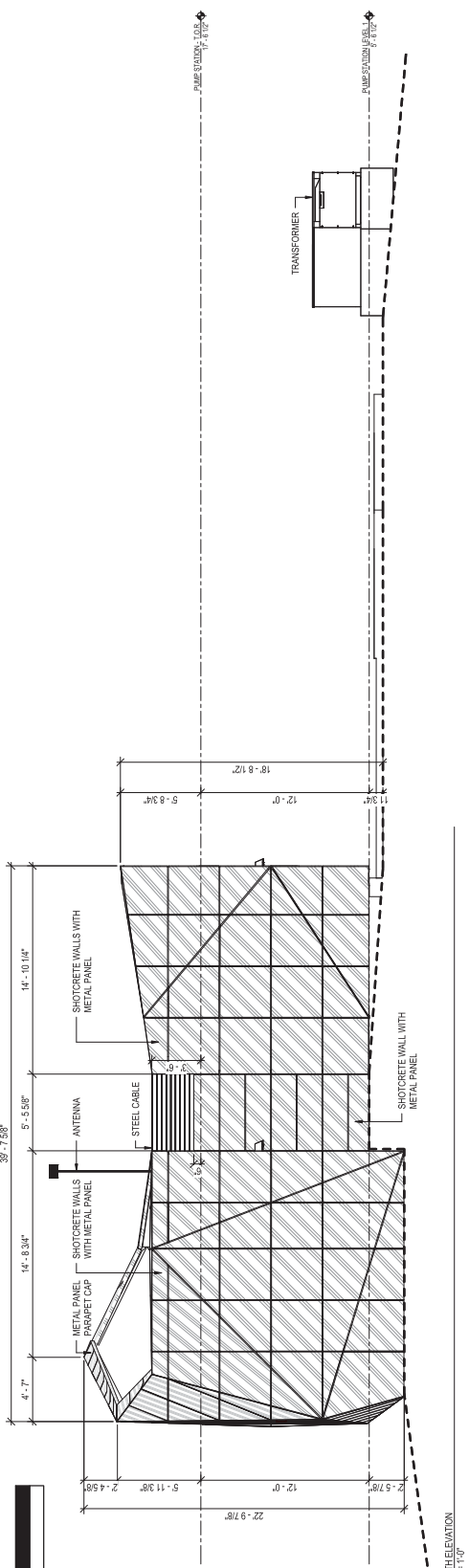

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 701 LAUREL STREET, MENLO PARK, CA 94025-3483
 PHONE (650) 330-6740 FAX (650) 327-5497

PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

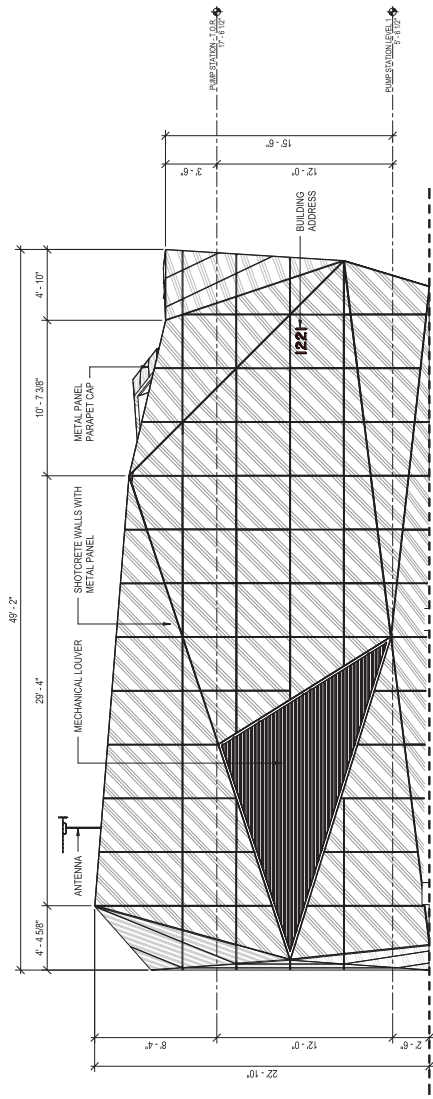
10'



SCALE: 1/4" = 1'-0"



① NORTH ELEVATION
1/4" = 1'-0"



① EAST ELEVATION
1/4" = 1'-0"

FINISH LEGEND
METAL PANEL FINISH - SPACE SILVER



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CONSTRUCTION

SHEET
A3.1

CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
PUMP STATION ELEVATIONS

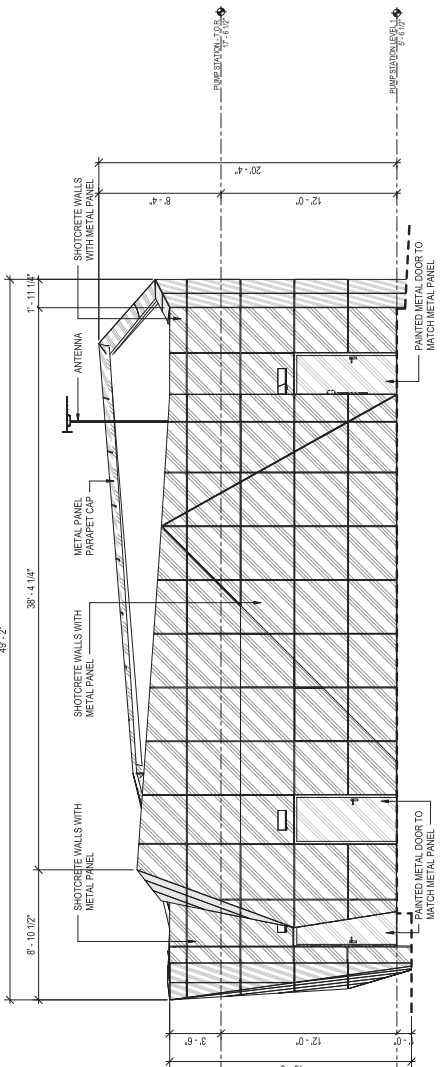
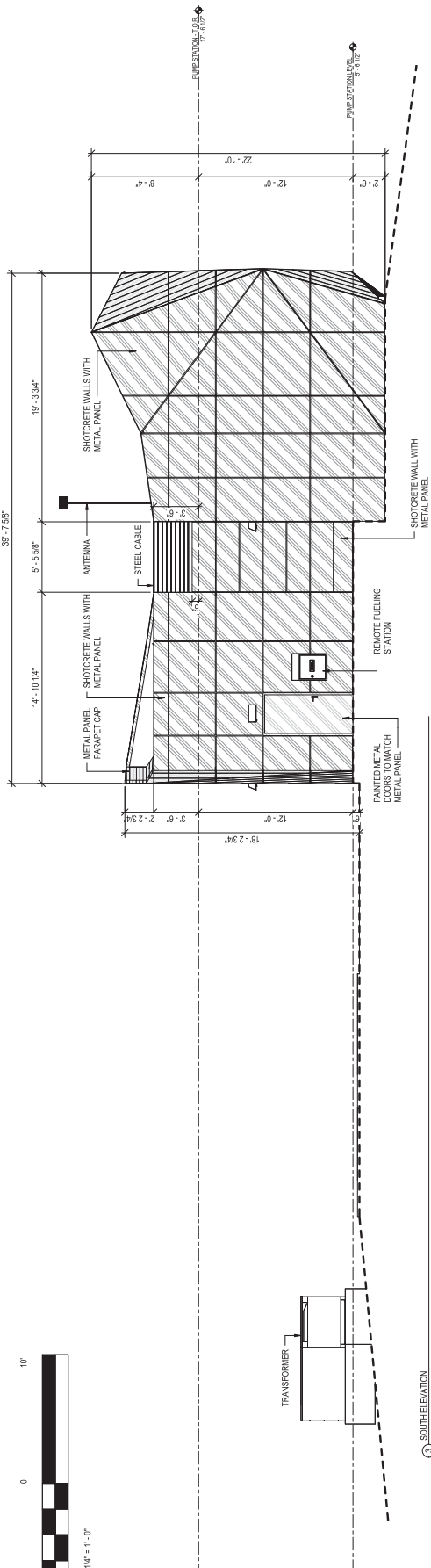
CITY OF MENLO PARK
PUBLIC WORKS DEPARTMENT
701 LAUREL STREET, MENLO PARK, CA 94025-3483
PHONE (650) 330-6740 FAX (650) 327-5497


NO.	BY	DATE	REVISIONS

DATE: 12/26/2017
SCALE: 1/4" = 1'-0"
DRAWN BY: CHRYSLER
DESIGNED BY: CHRYSLER
CHECKED BY: XXX
SURVEYED BY: XXX
APPROVED: [Signature]
ESTATEMENTS ENGINEERING SERVICES MANAGER
CITY OF MENLO PARK
DATE: 06/28 R.C.E. P

PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

SCALE VERIFICATION ON THE ORIGINAL DRAWING IF THIS DRAWING IS A COPY. ADJUST THE SCALE ACCORDINGLY.
1"



FINISH LEGEND
 METAL PANEL FINISH - SPACE SILVER

1 WEST ELEVATION
 1/4" = 1'-0"

SCALE VERIFICATION ON THE ORIGINAL DRAWING. IF THIS DRAWING IS A COPY, ADJUST THE SCALE APPROPRIATELY.
 0' 1'

DATE: 12/26/2017
 SCALE: 1/4" = 1'-0"
 DRAWN BY: CHRYSLER
 DRAWING NAME: CHRYSLER PUMP STATION
 CHECKED BY: XXX
 SURVEYED BY: 6682

APPROVED: 6682
 ESTEVEN ENGINEERING SERVICES MANAGER
 CITY OF MENLO PARK

NO.	BY	DATE	REVISIONS

PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

CITY OF MENLO PARK
PUBLIC WORKS DEPARTMENT
 701 LAUREL STREET, MENLO PARK, CA 94025-3483
 PHONE (650) 330-6740 FAX (650) 327-5497

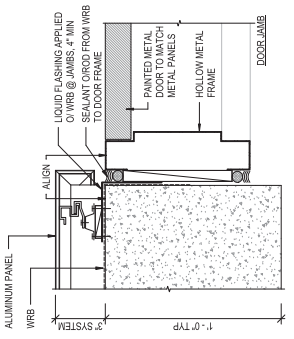
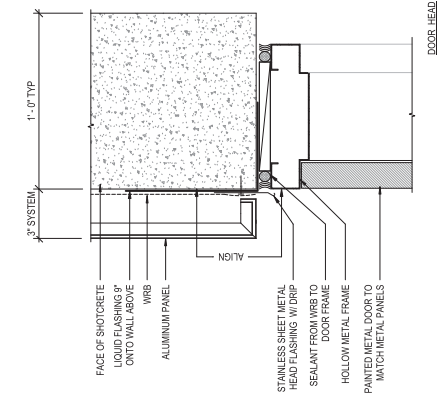
CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
PUMP STATION ELEVATIONS

SHEET
A3.2

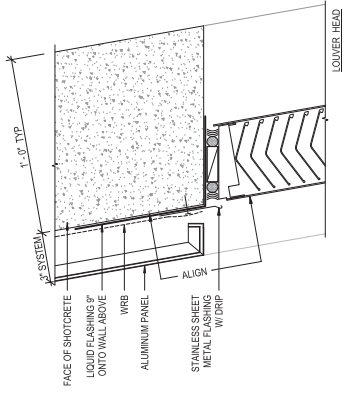


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 SANTA CLARA, CA 95050
 (408) 246-4848
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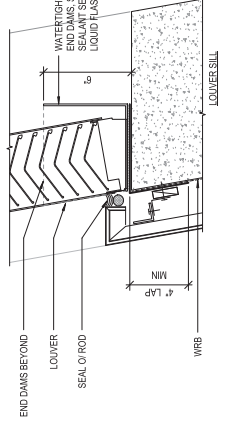
PRELIMINARY
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 CONSTRUCTION



④ METAL PANEL AT DOOR-JAMB TYP
3" = 1'-0"



⑤ METAL PANEL AT LOWER
3" = 1'-0"



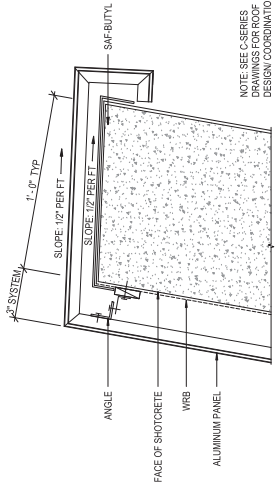
⑥ METAL PANEL AT DOOR-HEAD AND SILL TYP
3" = 1'-0"

SCALE VERIFICATION ON THE ORIGINAL DRAWING IF THIS DRAWING SCALE IS DIFFERENT FROM THE SCALE OF THE ORIGINAL DRAWING. ADJUST THE SCALE ACCORDINGLY.

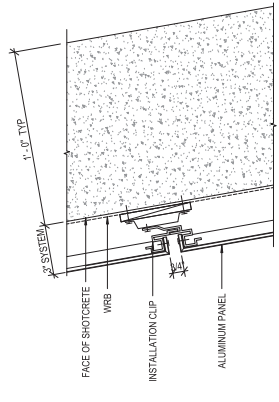
NOTES:
1. ALL PRODUCTS BY VAPORSHIELD
2. LIQUID FLASHING VAPORBOND

PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

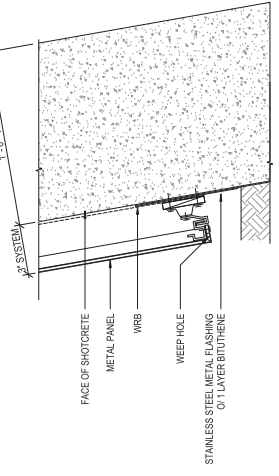
DATE:	12/06/2017	APPROVED:	
SCALE:	3" = 1'-0"	DESIGNED BY:	CHRISTOPHER S. XXX
DRAWN BY:	CHRISTOPHER S. XXX	CHECKED BY:	CHRISTOPHER S. XXX
PROJECT NAME:	CHRYSLER ENGINEERING SERVICES MANAGER	DATE:	R.C.E. 7
CITY:	CITY OF MENLO PARK	BY:	DATE
CHECKED BY:	CHRISTOPHER S. XXX	REVISIONS:	
SURVEYED BY:	CHRISTOPHER S. XXX		



③ TOP OF FLAT PARAPET WALL TYP
3" = 1'-0"



② METAL PANEL REVEAL TYP
3" = 1'-0"



① BASE OF WALL TYP
3" = 1'-0"



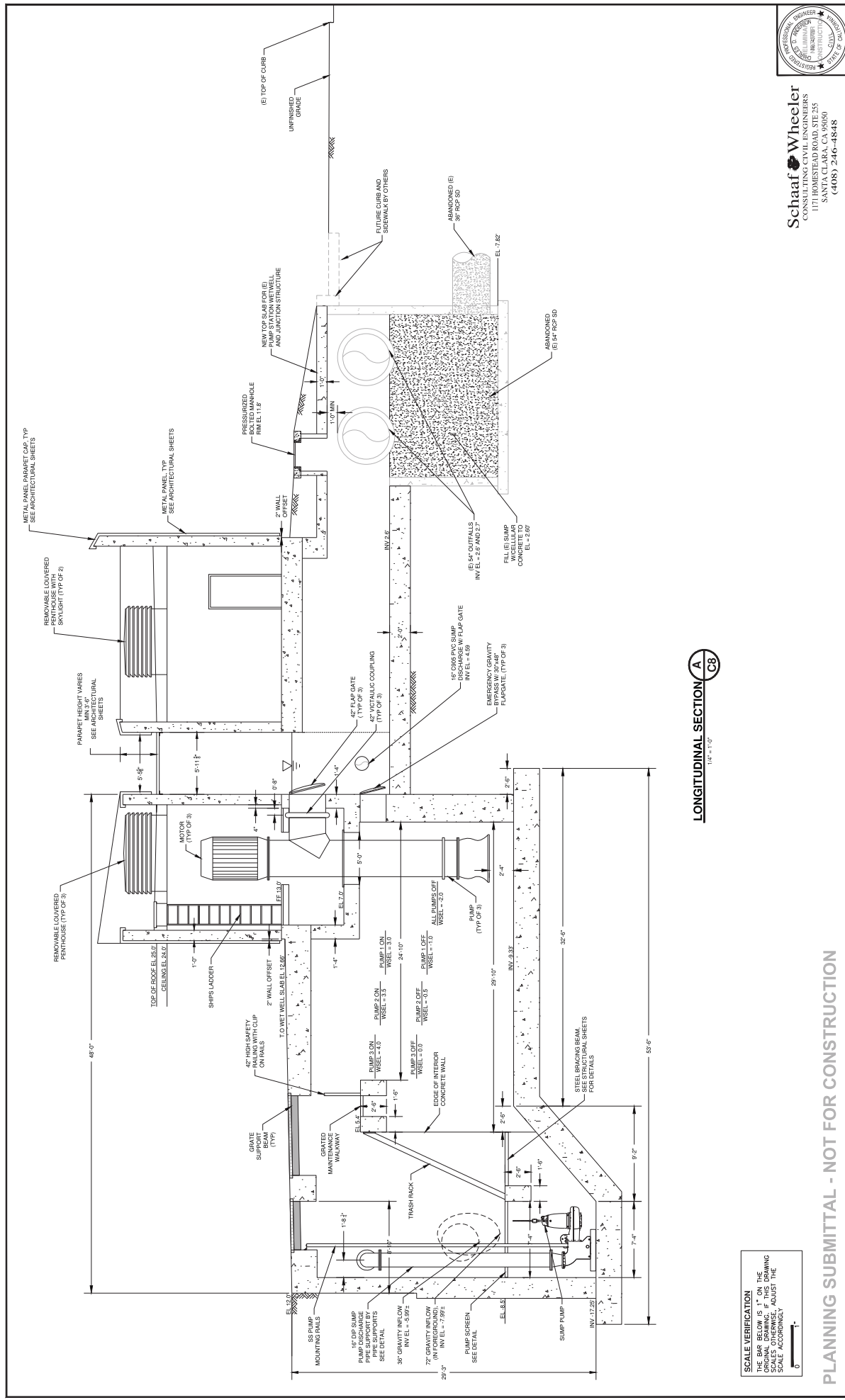
Schaaf & Wheeler
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1171 HOMESTEAD ROAD, SUITE 205
SANTA CLARA, CA 95050
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(415) 247-1100

CITY OF MENLO PARK
PUBLIC WORKS DEPARTMENT
701 LAUREL STREET, MENLO PARK, CA 94025-3483
PHONE (650) 330-6740 FAX (650) 327-5497

CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
METAL PANEL DETAILS

SHEET
A5.1

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CONSULTING CIVIL ENGINEERS
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SHEET
C8
18 OF 19

CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
PUMP STATION SECTIONS

CITY OF MENLO PARK
PUBLIC WORKS DEPARTMENT
701 LAUREL STREET, MENLO PARK, CA 94025-3483
PHONE (650) 330-6740 FAX (650) 327-5497

NO.	BY	DATE	REVISIONS

APPROVED:
DATE: 11/29/2017 AS SHOWN
DRAWING NAME: CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
CHECKED BY: FTIS
SURVEYED BY: COA
DATE: R.C.E. /

SCALE VERIFICATION
 SCALE: AS SHOWN
 DRAWING NAME: CHRYSLER
 CHECKED BY: FTIS
 SURVEYED BY: COA
 DATE: 6/28/2017
 R.C.E./J

PLANNING SUBMITTAL - NOT FOR CONSTRUCTION

DATE: 11/28/2017
 SCALE: AS SHOWN
 DRAWN BY: CHRYSLER
 CHECKED BY: FTIS
 SURVEYED BY: COA
 DATE: 6/28/2017
 R.C.E./J

APPROVED:
 ENGINEERING SERVICES MANAGER
 CITY OF MENLO PARK
 60982

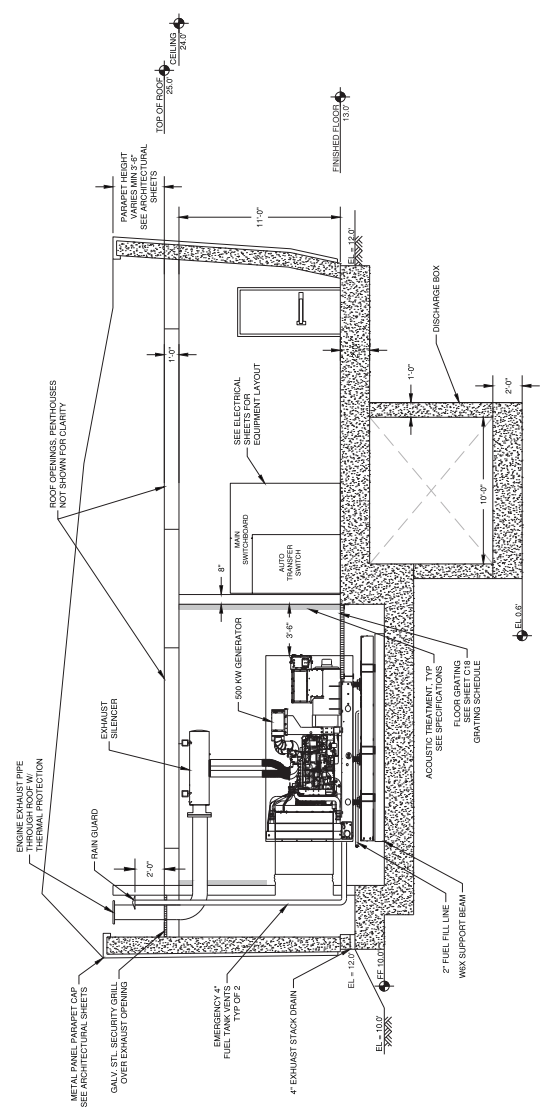
CITY OF MENLO PARK
PUBLIC WORKS DEPARTMENT
 701 LAUREL STREET, MENLO PARK, CA 94025-3483
 PHONE (650) 330-6740 FAX (650) 327-5497

CHRYSLER STORMWATER PUMP STATION IMPROVEMENTS
PUMP STATION SECTIONS

SHEET **C9**
 19 OF 19



Schaaf & Wheeler
 CONSULTING CIVIL ENGINEERS
 11155
 SANTA CLARA, CA 95050
 (408) 246-4848



TRANSVERSE SECTION B
 1/4" = 1'-0"

REV	DESCRIPTION	DATE
1	ADJUST TO MATCH CULUM	09/12/16



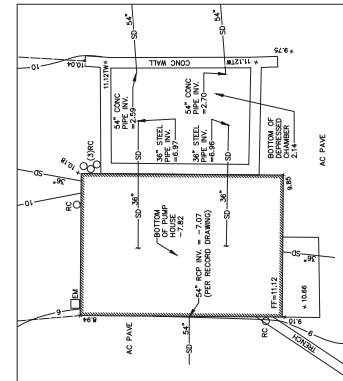
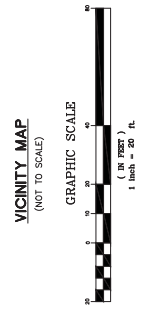
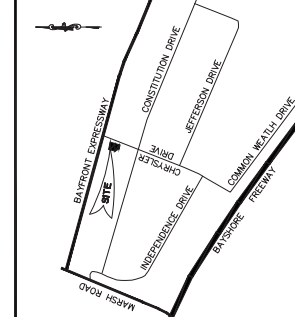
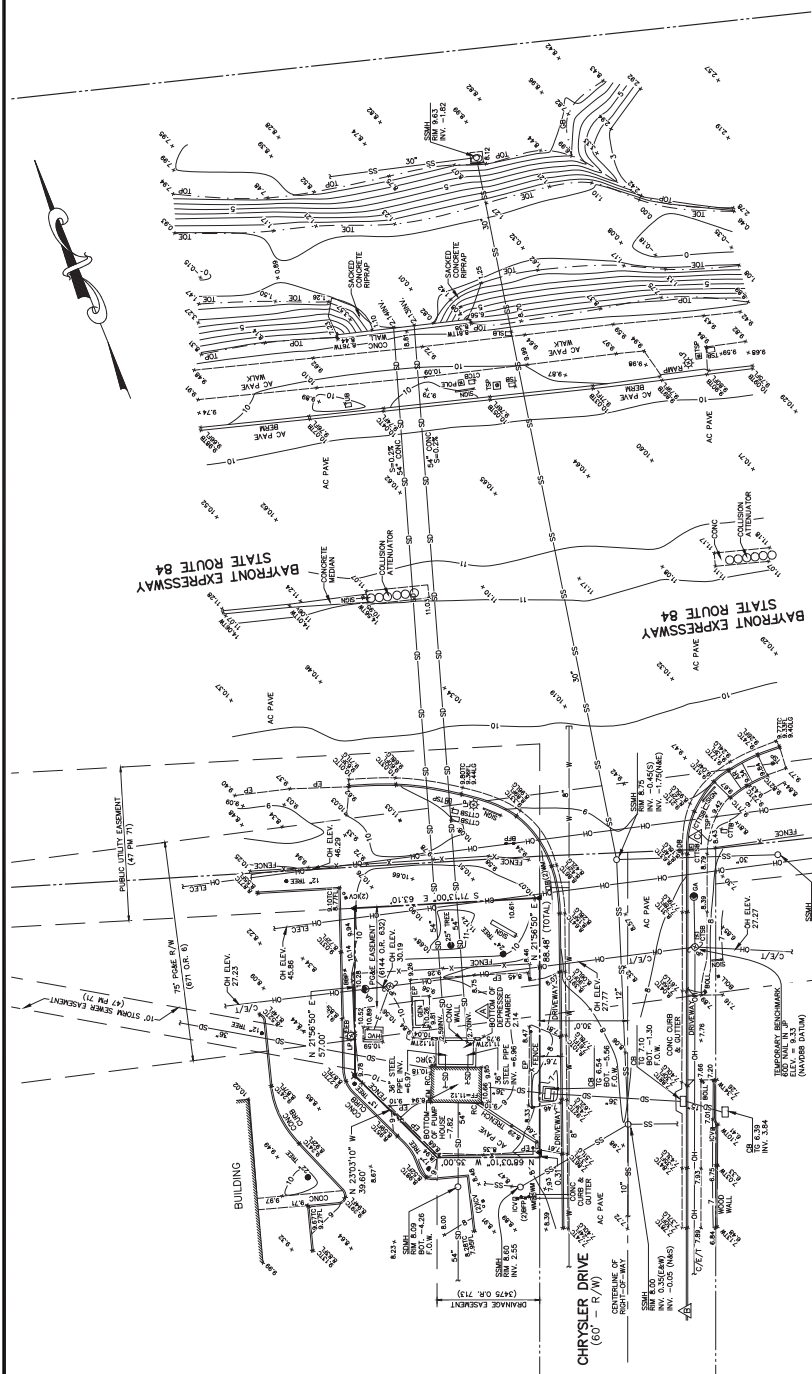
MACLEOD AND ASSOCIATES
 CIVIL ENGINEERING • LAND SURVEYING
 965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8580

PREPARED FOR:
 SCHAAF & WHEELER

CALIFORNIA
 SAN MATEO COUNTY
 MENLO PARK
 CHRYSLER PUMP STATION
 1221 CHRYSLER DRIVE
 A.P.N. 055-234-010

DRAWN BY: DAK
 REVISION BY: ---
 CHECKED BY: DOM
 SCALE: 1"=20'
 DATE: 11-18-14
 DRAWING NO.: 2391-1050
 SHEET 1 OF 1

- LEGEND**
- PROPERTY LINE OR RIGHT-OF-WAY LINE
 - ASPHALT CONCRETE PAVEMENT
 - ACCESS RAMP
 - BASKETBALL POLE
 - BACKFLOW PREVENTER
 - BOLLARD
 - BOTTOM OF DRAINAGE STRUCTURE
 - CABLE TELEVISION/ELECTRIC/TELEPHONE
 - CATCH BASIN
 - CONCRETE
 - CAL TRANS COMMUNICATION BOX
 - CAL TRANS SERVICE BOX
 - CAL TRANS TELEPHONE BOX
 - CAL TRANS TRAFFIC SIGNAL BOX
 - ELECTRIC BOX
 - ELECTRIC METER
 - FLOUNDER
 - FULL OF WATER
 - CITY ANCHOR
 - GRADE BREAK
 - GENERATOR
 - HIGH VOLTAGE CABINET
 - IRRIGATION CONTROL VALVE
 - INVERT
 - JOINT UTILITY POLE
 - LIP OF GUTTER
 - LIGHT POLE
 - OVERHEAD LINE ELEVATION
 - RISER CONDUIT
 - STREET LIGHT BOX
 - SANITARY SEWER MANHOLE
 - TOP OF BERM
 - TOP OF CURB
 - TOP OF GRATE
 - TOE OF BANK
 - TOP OF BANK
 - TRAFFIC SIGNAL POLE
 - TOP OF WALL
 - UTILITY BOX
 - WATER METER
 - WM
 - 12" TREE
 - X
 - UNDERGROUND ELECTRIC LINE
 - OVERHEAD LINE
 - SANITARY SEWER LINE
 - STORM DRAIN LINE
 - WATER LINE
 - FOUND 3/4" IRON PIPE PER CR#265
 - FOUND BRASS TAG & NAIL ON FENCE PER CR#265



EASEMENT NOTE:
 EASEMENTS WITHIN SUBJECT PROPERTY ARE FROM A TITLE REPORT PREPARED BY TITLE COMPANY, ORDER NUMBER 220204860-HP, DATED MARCH 11, 2014.
 OTHER EASEMENTS INDICATED ARE FROM 47 PM 21 AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY RECORD MAP R-105.1.

CONTROL POINT COORDINATES	NORTHING	EASTING	ELEVATION	DESCRIPTION
▲	10435.56	1061.74	9.31	MAGNAIL
▲	10315.38	10187.00	7.71	CUT CROSS
▲	10464.30	10249.48	8.90	CUT CROSS

FLOOD ZONE NOTE AND DATUM CONVERSION:
 SURVEY AREA LIES ENTIRELY WITHIN FLOOD ZONE "AE" WITH A BASE ELEVATION OF 10.00 FEET (TO NAVD83 DATUM). MAP NUMBER: 0608C0000E EFFECTIVE DATE: OCTOBER 16, 2014.

BENCHMARK:
 BENCHMARK "CITY 2" (CITY 2 TO NAVD83 DATUM) BRONZE DISC EMBEDDED INTO THE TOP OF A CONCRETE CURB AT THE EASTERLY CURB RETURN OF THE SOUTHERLY CURB LINE OF CONSTITUTION DRIVE, EASTRICH OF JEFFERSON DRIVE.

UTILITY NOTE:
 THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR LOCATION OR DEPTH. THE LOCATION OF ANY UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

701 Laurel Street
Menlo Park, CA 94025
phone: (650) 330-6702
fax: (650) 327-1653
planning@menlopark.org
<http://www.menlopark.org>

APPLICATIONS INVOLVING HAZARDOUS MATERIALS – GENERATOR SUPPLEMENT

The following information is required for hazardous materials applications that include generators.

<p>GENERATOR PURPOSE (for example, whether it is an emergency generator dedicated to life safety egress lighting and other life safety devices, or a standby generator to allow continued operations in the event of a power outage)</p> <p align="center">Emergency Backup Generator</p>	
<p>FUEL TANK SIZE (in gallons) AND FUEL TYPE</p> <p align="center">850 Gallon, Diesel</p>	<p>NOISE RATING</p> <p align="center">41dB @ 300ft away (150 Constitution Dr. parcel boundary)</p>
<p>SIZE (output in both kW (kilowatt) and hp (horsepower) measurements)</p> <p align="center">500kW/580hp</p>	<p>ENCLOSURE COLOR</p> <p align="center">Building Color TBD (see architectural sheet for preliminary color)</p>
<p>ROUTE FOR FUELING HOSE ACCESS</p> <p align="center">See plan view</p>	<p>PARKING LOCATION OF FUELING TRUCK</p> <p align="center">See plan view</p>
<p>FREQUENCY OF REFUELING</p> <p align="center">Depends on rainfall. Fuel will be filtered and recirculated 3x per year</p>	<p>HOURS OF SERVICE ON A FULL TANK</p> <p align="center">24.7 hrs (on full load)</p>
<p>PROPOSED TESTING SCHEDULE (including frequency, days of week, and time of day)</p> <p align="center">Once per month, on first Saturday of the month, at 10:00 AM, for a duration of 30 minutes</p>	
<p>ALARMS AND/OR AUTOMATIC SHUTOFFS (for leaks during use and/or spills/over-filling during fueling, if applicable)</p> <p align="center">Leak detection</p>	
<p>OTHER APPLICATION SUBMITTAL REQUIREMENTS (please attach)</p> <ul style="list-style-type: none"> • Section showing the height of the pad, the isolation base (if there is one), the height of the generator with the appropriate belly (fuel storage tank) and exhaust stack • Status of required Bay Area Air Quality Management District (BAAQMD) permit, including confirmation of parental notification for any proposals within 1,000 feet of a school 	

v:\handouts\approved\hazmat - generator supplement data sheet.doc

DIESEL GENERATOR SET



Image shown may not reflect actual package.

STANDBY 500 kW 625 kVA 60 Hz 1800 rpm 600 Volts

Caterpillar is leading the power generation marketplace with Power Solutions engineered to deliver unmatched flexibility, expandability, reliability, and cost-effectiveness.

FEATURES

FUEL/EMISSIONS STRATEGY

- EPA Certified for Stationary Emergency Application (EPA Tier 2 emissions levels)

DESIGN CRITERIA

- The generator set accepts 100% rated load in one step per NFPA 110 and meets ISO 8528-5 transient response.

UL 2200 / CSA - Optional

- UL 2200 listed packages
- CSA Certified
- Certain restrictions may apply. Consult with your Cat® Dealer.

FULL RANGE OF ATTACHMENTS

- Wide range of bolt-on system expansion attachments, factory designed and tested
- Flexible packaging options for easy and cost effective installation

SINGLE-SOURCE SUPPLIER

- Fully prototype tested with certified torsional vibration analysis available

WORLDWIDE PRODUCT SUPPORT

- Cat dealers provide extensive post sale support including maintenance and repair agreements
- Cat dealers have over 1,800 dealer branch stores operating in 200 countries
- The Cat® S•O•SSM program cost effectively detects internal engine component condition, even the presence of unwanted fluids and combustion by-products

CAT® C15 ATAAC DIESEL ENGINE

- Utilizes ACERT™ Technology
- Reliable, rugged, durable design
- Field-proven in thousands of applications worldwide
- Four-stroke diesel engine combines consistent performance and excellent fuel economy with minimum weight
- Electronic engine control

CAT GENERATOR

- Matched to the performance and output characteristics of Cat engines
- Load adjustment module provides engine relief upon load impact and improves load acceptance and recovery time
- UL 1446 Recognized Class H insulation

CAT EMCP 4 CONTROL PANELS

- Simple user friendly interface and navigation
- Scalable system to meet a wide range of customer needs
- Integrated Control System and Communications Gateway

SEISMIC CERTIFICATION

- Seismic Certification available
- Anchoring details are site specific, and are dependent on many factors such as generator set size, weight, and concrete strength. IBC Certification requires that the anchoring system used is reviewed and approved by a Professional Engineer
- Seismic Certification per Applicable Building Codes: IBC 2000, IBC 2003, IBC 2006, IBC 2009, CBC 2007
- Pre-approved by OSHPD and carries an OSP-0084-10 for use in healthcare projects in California

STANDBY 500 ekW 625 kVA

60 Hz 1800 rpm 600 Volts



FACTORY INSTALLED STANDARD & OPTIONAL EQUIPMENT

System	Standard	Optional
Air Inlet	• Air cleaner	
Cooling	• Package mounted radiator	
Exhaust	• Exhaust flange outlet	<input type="checkbox"/> Industrial <input type="checkbox"/> Residential <input type="checkbox"/> Critical Mufflers
Fuel	• Primary fuel filter with integral water separator • Secondary fuel filters • Fuel priming pump	
Generator	• Matched to the performance and output characteristics of Cat engines • Load adjustment module provides engine relief upon load impact and improves load acceptance and recovery time • IP23 protection	<input type="checkbox"/> Oversize and premium generators <input type="checkbox"/> Permanent magnet excitation (PMG) <input type="checkbox"/> Internal excited (IE) <input type="checkbox"/> Anti-condensation space heaters
Power Termination	• Bus bar	<input type="checkbox"/> Circuit breakers, UL listed <input type="checkbox"/> Circuit breakers, IEC compliant
Control Panel	• EMCP 4 Genset Controller	<input type="checkbox"/> EMCP 4.2 <input type="checkbox"/> EMCP 4.3 <input type="checkbox"/> EMCP 4.4 <input type="checkbox"/> Local and remote annunciator modules <input type="checkbox"/> Load share module <input type="checkbox"/> Digital I/O module <input type="checkbox"/> Remote monitoring software
Mounting	• Rubber vibration isolators	
Starting/Charging	• 24 volt starting motor • Batteries	<input type="checkbox"/> Battery chargers <input type="checkbox"/> Oversize batteries <input type="checkbox"/> Jacket water heater <input type="checkbox"/> Heavy duty starting system <input type="checkbox"/> Charging alternator
General	• Paint - Caterpillar Yellow except rails and radiators gloss black	The following options are based on regional and product configuration: <input type="checkbox"/> Seismic Certification per Applicable Building Codes: IBC 2000, IBC 2003, IBC 2006, IBC 2009, CBC 2007 <input type="checkbox"/> UL 2200 package <input type="checkbox"/> EU Certificate of Conformance (CE) <input type="checkbox"/> CSA Certification <input type="checkbox"/> EEC Declaration of Conformity <input type="checkbox"/> Narrow, wide or skid base <input type="checkbox"/> Sound attenuated, weather protective or high ambient weather protective enclosures <input type="checkbox"/> Single or dual wall integral fuel tanks <input type="checkbox"/> Single or dual wall sub-base fuel tanks <input type="checkbox"/> Integral & sub-base UL listed dual wall fuel tanks <input type="checkbox"/> Automatic transfer switches (ATS)

STANDBY 500 ekW 625 kVA

60 Hz 1800 rpm 600 Volts



SPECIFICATIONS

CAT GENERATOR

Frame size.....LC6124F
Excitation..... Internal Excitation
Pitch..... 0.6667
Number of poles..... 4
Number of bearings..... Single bearing
Number of Leads..... 012
Insulation..... UL 1446 Recognized Class H with tropicalization and antiabrasion
- Consult your Caterpillar dealer for available voltages
IP Rating.....Drip Proof IP23
Alignment..... Pilot Shaft
Overspeed capability..... 125
Wave form Deviation (Line to Line)..... 2%
Voltage regulator..... Three phase sensing
Voltage regulation.....Less than +/- 1/2% (steady state)
Less than +/- 1/2% (w/ 3% speed change)

CAT DIESEL ENGINE

C15 ATAAC, I-6, 4-Stroke Water-cooled Diesel
Bore..... 137.20 mm (5.4 in)
Stroke..... 171.40 mm (6.75 in)
Displacement..... 15.20 L (927.56 in³)
Compression Ratio..... 16.1:1
Aspiration..... Air-to-Air Aftercooled
Fuel System..... MEUI
Governor Type..... Caterpillar ADEM control system

CAT EMCP 4 SERIES CONTROLS

EMCP 4 controls including:

- Run / Auto / Stop Control
- Speed and Voltage Adjust
- Engine Cycle Crank
- 24-volt DC operation
- Environmental sealed front face
- Text alarm/event descriptions

Digital indication for:

- RPM
- DC volts
- Operating hours
- Oil pressure (psi, kPa or bar)
- Coolant temperature
- Volts (L-L & L-N), frequency (Hz)
- Amps (per phase & average)
- ekW, kVA, kVAR, kW-hr, %kW, PF (4.2 only)

Warning/shutdown with common LED indication of:

- Low oil pressure
- High coolant temperature
- Overspeed
- Emergency stop
- Failure to start (overcrank)
- Low coolant temperature
- Low coolant level

Programmable protective relaying functions:

- Generator phase sequence
- Over/Under voltage (27/59)
- Over/Under Frequency (81 o/u)
- Reverse Power (kW) (32) (4.2 only)
- Reverse reactive power (kVA) (32RV)
- Overcurrent (50/51)

Communications:

- Four digital inputs (4.1)
- Six digital inputs (4.2 only)
- Four relay outputs (Form A)
- Two relay outputs (Form C)
- Two digital outputs
- Customer data link (Modbus RTU) (4.2 only)
- Accessory module data link (4.2 only)
- Serial annunciator module data link (4.2 only)
- Emergency stop pushbutton

Compatible with the following:

- Digital I/O module
- Local Annunciator
- Remote CAN annunciator
- Remote serial annunciator

STANDBY 500 ekW 625 kVA

60 Hz 1800 rpm 600 Volts



TECHNICAL DATA

Open Generator Set - - 1800 rpm/60 Hz/600 Volts	DM8155	
EPA Certified for Stationary Emergency Application (EPA Tier 2 emissions levels)		
Generator Set Package Performance Genset Power rating @ 0.8 pf Genset Power rating with fan	625 kVA 500 ekW	
Fuel Consumption 100% load with fan 75% load with fan 50% load with fan	138.5 L/hr 106.1 L/hr 88.1 L/hr	36.6 Gal/hr 28.0 Gal/hr 23.3 Gal/hr
Cooling System¹ Air flow restriction (system) Air flow (max @ rated speed for radiator arrangement) Engine Coolant capacity with radiator/exp. tank Engine coolant capacity Radiator coolant capacity	0.12 kPa 822 m ³ /min 57.8 L 20.8 L 37.0 L	0.48 in. water 29029 cfm 15.3 gal 5.5 gal 9.8 gal
Inlet Air Combustion air inlet flow rate	39.8 m ³ /min	1405.5 cfm
Exhaust System Exhaust stack gas temperature Exhaust gas flow rate Exhaust flange size (internal diameter) Exhaust system backpressure (maximum allowable)	505.6 ° C 108.8 m ³ /min 152.4 mm 10.0 kPa	942.1 ° F 3842.2 cfm 6.0 in 40.2 in. water
Heat Rejection Heat rejection to coolant (total) Heat rejection to exhaust (total) Heat rejection to atmosphere from engine Heat rejection to atmosphere from generator	189 kW 505 kW 94 kW 29.1 kW	10748 Btu/min 28719 Btu/min 5346 Btu/min 1654.9 Btu/min
Alternator² Motor starting capability @ 30% voltage dip Frame Temperature Rise	1714 skVA LC6124F 130 ° C	234 ° F
Lube System Sump refill with filter	60.0 L	15.9 gal
Emissions (Nominal)³ NOx g/hp-hr CO g/hp-hr HC g/hp-hr PM g/hp-hr	5.74 g/hp-hr .4 g/hp-hr .01 g/hp-hr .018 g/hp-hr	

¹ For ambient and altitude capabilities consult your Cat dealer. Air flow restriction (system) is added to existing restriction from factory.

² Generator temperature rise is based on a 40° C (104° F) ambient per NEMA MG1-32. Some packages may have oversized generators with a different temperature rise and motor starting characteristics.

³ Emissions data measurement procedures are consistent with those described in EPA CFR 40 Part 89, Subpart D & E and ISO8178-1 for measuring HC, CO, PM, NOx. Data shown is based on steady state operating conditions of 77°F, 28.42 in HG and number 2 diesel fuel with 35° API and LHV of 18,390 btu/lb. The nominal emissions data shown is subject to instrumentation, measurement, facility and engine to engine variations. Emissions data is based on 100% load and thus cannot be used to compare to EPA regulations which use values based on a weighted cycle.

STANDBY 500 ekW 625 kVA

60 Hz 1800 rpm 600 Volts



RATING DEFINITIONS AND CONDITIONS

Applicable Codes and Standards: AS1359, CSA C22.2 No 100-04, UL142, UL489, UL601, UL869, UL2200, NFPA 37, NFPA 70, NFPA 99, NFPA 110, IBC, IEC60034-1, ISO3046, ISO8528, NEMA MG 1-22, NEMA MG 1-33, 72/23/EEC, 98/37/EC, 2004/108/EC

Standby - Output available with varying load for the duration of the interruption of the normal source power. Average power output is 70% of the standby power rating. Typical operation is 200 hours per year, with maximum expected usage of 500 hours per year.

Ratings are based on SAE J1349 standard conditions. These ratings also apply at ISO3046 standard conditions. **Fuel Rates** are based on fuel oil of 35° API (16° C or 60° F) gravity having an LHV of 42 780 kJ/kg (18,390 Btu/lb) when used at 29° C (85° F) and weighing 838.9 g/liter (7.001 lbs/U.S. gal.). **Additional Ratings** may be available for specific customer requirements. Consult your Cat representative for details.

STANDBY 500 ekW 625 kVA

60 Hz 1800 rpm 600 Volts



DIMENSIONS

Package Dimensions		
Length	3775.1 mm	148.63 in
Width	1110.0 mm	43.7 in
Height	2091.0 mm	82.32 in

NOTE: For reference only - do not use for installation design. Please contact your local dealer for exact weight and dimensions. (General Dimension Drawing #2781052).

Performance No.: DM8155

Feature Code: C15DE6Q

Gen. Arr. Number: 2351214

Source: U.S. Sourced

F6 April 24 2013

21646653

www.Cat-ElectricPower.com

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Materials and specifications are subject to change without notice.
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Decibel Calculation

Generator set at 97dB @ 7 meters
(see cut sheet for C15-500)

Location of decibel reading	For different louvre octaves			
	250hz	500hz	1000hz	2000hz
At 23' (7m)	85	86	86	84
At Generator	112	113	113	111
At Louvre (interior)	98	99	99	97
At Louvre (Exterior)	91*	88	85	78
Worst case at 300 ft past louver (distance to 150 Constitution Dr. parcel boundary)	41			

*worst case

LOUVER TYPE T9106 PERFORMANCE RATINGS

FREE AREA CHART - in square feet

Louver Height Inches	Louver Width in Inches								
	12	18	24	30	36	42	48	54	60
15	0.13	0.21	0.29	0.37	0.45	0.53	0.61	0.69	0.77
18	0.25	0.42	0.57	0.74	0.90	1.06	1.22	1.38	1.55
24	0.38	0.62	0.86	1.10	1.35	1.59	1.83	2.08	2.32
30	0.50	0.82	1.15	1.47	1.80	2.12	2.45	2.77	3.09
36	0.63	1.03	1.44	1.84	2.25	2.65	3.06	3.46	3.87
42	0.75	1.24	1.72	2.21	2.70	3.18	3.67	4.15	4.64
48	1.00	1.65	2.30	2.95	3.59	4.24	4.89	5.54	6.19
54	1.12	1.85	2.58	3.31	4.04	4.77	5.50	6.23	6.96
60	1.25	2.03	2.87	3.68	4.49	5.30	6.11	6.92	7.73
66	1.37	2.27	3.16	4.05	4.94	5.83	6.72	7.61	8.51
72	1.50	2.47	3.44	4.42	5.39	6.36	7.33	8.31	9.28
78	1.75	2.88	4.02	5.15	6.29	7.42	8.56	9.69	10.83
84	1.87	3.09	4.31	5.52	6.74	7.95	9.17	10.38	11.60
90	2.00	3.30	4.59	5.89	7.19	8.48	9.78	11.08	12.37
96	2.12	3.50	4.88	6.26	7.64	9.01	10.39	11.77	13.15



The Airlite Company, LLC certifies that Louver Type T9106 shown herein is licensed to bear the AMCA seal. The ratings shown are based on tests and procedures performed in accordance with AMCA Publication 511 and comply with the requirements of the AMCA Certified Ratings Program. The AMCA Certified Ratings Seal applies only to Air Performance and Water Penetration ratings.

WATER PENETRATION

The AMCA Water Penetration Test provides a method for comparing various louver models and designs as to their efficiency in resisting the penetration of rainfall under specific laboratory test conditions. The point of zero water penetration is defined as that velocity where the water penetration curve projects through .01 oz. of water (penetration) per sq. ft. of louver free area. ***The beginning point of water penetration for Louver Type T9106 is 799 fpm free area velocity.** These performance ratings do not guarantee a louver to be weatherproof or stormproof and should be used in combination with other factors including good engineering judgement in selecting louvers.

Sound Transmission Class (STC)

This is a numerical two-digit figure rating derived from a standardized performance test made in accordance with ASTM E90-90 (Laboratory Measurement of Airborne Sound Transmission Loss of Building Partitions) and ASTM E413-87 (Standard Classification for Determination of Sound Transmission Class). The number is used in evaluating the effectiveness of an assembly in isolating or reducing airborne sound transmission. Acoustic performance ratings have been determined by an independent laboratory.

Outdoor Indoor Transmission Class (OITC)

ASTM E1332 and ASTM E966 procedures are used to determine the OITC rating of building facades relative to ground or air transportation noise.

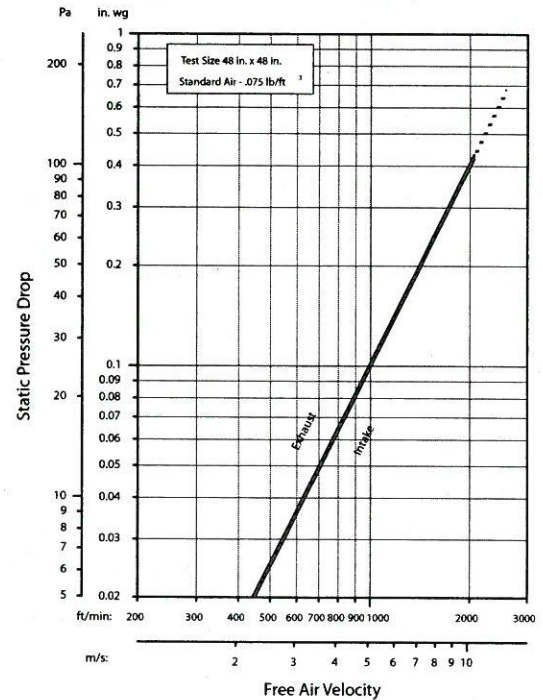
Free Field Noise Reduction in Decibels

Louver Type	Selected 1/3 Octave Band Center Frequency HZ										STC	OITC
	63	125	250	500	1000	2000	4000	8000				
T9106	10	11	7	11	14	19	15	19			8	5

To calculate the Transmission Loss (db), subtract 6 db from the Free Field Noise Reduction (db).

AIRFLOW RESISTANCE

(Standard Air - .075 lb./ft.³)

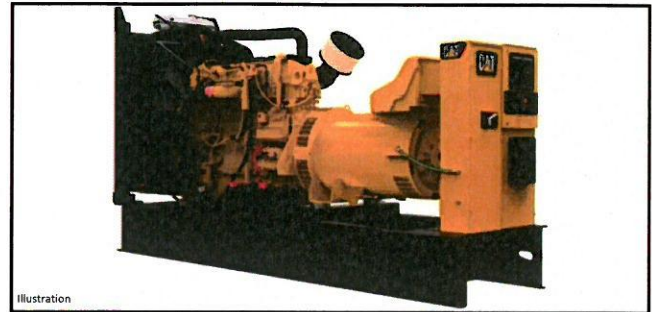


Louver Type T9106 resistance to airflow is shown with louver blades fully open. Resistance (pressure drop) varies depending on louver application (air intake or air exhaust). Free area velocities (shown) are higher than average velocity through the overall louver size.

Technical data Diesel Generator Set

CAT C15-500

Output Ratings with Radiator		DIN/ISO 3046	
Combustion Strategy		Low BSFC, 49 °C ACT	
Generating set Model		Prime	Standby
400V, 50Hz, power factor 0.8		455 kVA	500 kVA
		364 kW	400 kW
Feature Code		C15DF1X	
Performance No.		DM8490	DM8491



Diesel Engine	
Brand	Caterpillar
Type	C15 ATAAC
No. of Cylinders / Alignment	6 / 1
Cycle	4-Stroke
Cooling Method	Water-cooled
Fuel	Diesel
Speed	1'500 rpm
Bore	137.20 mm
Stroke	171.40 mm
Displacement	15.20 L
Compression Ratio	16.1:1
Aspiration	Air-to-Air Aftercooled
Fuel System	MEUI
Base Tank Capacity	"Optional" 908 L
Jacket Water heaters	220 V / 9 kW
Starting Motor	24 V / 7 kW
Battery Type	115-2421
Quantity	2
Capacity per Battery / total	90 Ah - 12 V / 90 Ah - 24 V

Technical Data	Prime	Standby
Fuel Consumption		
100% load with Fan	94.5 L/hr	103.7 L/hr
75% load with Fan	71.8 L/hr	77.9 L/hr
50% load with Fan	51.5 L/hr	55.3 L/hr
Oil consumption 75% load	0.053 L/hr	0.057 L/hr
Cooling System		
Engine coolant Capacity with Radiator / expansion Tank		70.8 L
Engine coolant Capacity		20.8 L
Inlet Air		
Combustion Air inlet flow rate	27.3 m³/min	29.3 m³/min
Exhaust System		
Exhaust stack gas Temperature	515.3 °C	523.6 °C
Exhaust gas flow rate	73.1 m³/min	79.4 m³/min
Exhaust System backpressure max.		10 kPa
Heat Rejection		
Heat Rejection to coolant (total)	139 kW	151 kW
Heat Rejection to exhaust (total)	344 kW	377 kW
Heat Rejection to after cooler	61 kW	71 kW
Heat Rejection to Atmosphere from Engine	42 kW	44 kW
Heat Rejection to Atmosphere from Generator	24.1 kW	27.8 kW
Lube System		
Sump refill with Filter		60.0 L
Exhaust Emission (Nominal Data); Potential Site Variation possible		
NOx mg/nm³	3'357.6	3'458.8
CO mg/nm³	159.3	171.2
HC mg/nm³	6.6	5.2
Part Matter mg/nm³	8.8	7.8
Generator		
Motor starting capability @30%		1'109 skVA
Voltage Dip		
Rated Current	656.7 A	721.7 A
Short-Circuit Current		3 x I _{NOM}

Generator	
Brand	Caterpillar
Type / Frame	LC6114D
Excitation	Permanent Magnet or AREP
Pitch	0.6667
Number of Poles	4
Number of Bearings	Single Bearing
Number of Leads	12
Insulation	Class H
IP Rating	IP23
Nominal Speed	1'500 rpm
Over Speed capability	150 %
Wave form Deviation (Line to Line)	Less than 2 %
Voltage Regulator	Three phase sensing
Voltage regulation	Less than ± ½% (steady state) Less than ± ½% (w/ 3% speed change)
Telephone Influence Factor (TIF)	Less than 50
Total Harmonic Distortion (THD)	Less than 2%
CBK 3pol manual, fixed mount rear	800 A / 50 kA
Typical Cabeling; TN-C (Prime)	2 x 4 x 150 mm² + 1 x 1 x 150 mm²
Typical Cabeling; TN-C (Standby)	2 x 4 x 120 mm² + 1 x 1 x 120 mm²

Radiator	
Radiator Type	AS14.2 CTS
Design Temperature	53 °C
Radiator coolant Capacity	50.0 L
Air Flow @ 120 Pa	476 m³/min
Air Flow @ 180 Pa	445 m³/min

Package Dimensions		
Engine:	Length x Width x Height Weight	1'447 x 897 x 1'820 mm 1'590 kg
Generator:	Length x Width x Height Weight	1'725 x 732 x 1'170 mm 1'133 kg
Radiator:	Length x Width x Height Dry Weight	814 x 1'119 x 1'784 mm 140 kg
Complete:	Length x Width x Height Weight	3'897 x 1'119 x 2'250 mm 3'363 kg

Sound pressure Level LPA @ 75% Last @ 7m										
dB	Hz	63	125	250	500	1000	2000	4000	8000	Overall dBA
		Mechanical [Stby]	85	85	85	86	86	84	80	
Exhaust [Stby]	77	81	85	90	91	92	88	76	97	
Mechanical [Prim]	85	85	85	86	86	84	80	81	91	
Exhaust [Prim]	77	81	85	90	91	92	88	76	97	



DEVELOPMENT SERVICES
 PLANNING DIVISION
 Contact: Tom Smith 650-330- 6730 or
 tasmith@menlopark.org
 701 Laurel Street
 Menlo Park, CA 94025
 PHONE (650) 330-6702
 FAX (650) 327-1653

AGENCY REFERRAL FORM
RETURN DUE DATE: Friday, July 7, 2017

DATE: June 21, 2017

TO: **MENLO PARK FIRE PROTECTION DISTRICT**
 Jon Johnston
 170 Middlefield Road
 Menlo Park, CA 94025
 (650) 323-2407

Applicant	City of Menlo Park
Applicant's Address	701 Laurel Street, Menlo Park, CA 94025
Telephone/FAX	Tel: 650-330-6742 (Azalea Mitch, Engineering Services Manager)
Contact Person	Azalea Mitch
Business Name	City of Menlo Park
Type of Business	Emergency generator for pump station at corner of Chrysler Drive and Bayfront Expressway
Project Address	1221 Chrysler Drive, Menlo Park, CA 94025
FOR OFFICE USE ONLY	
<input type="checkbox"/> The hazardous materials listed are not of sufficient quantity to require approval by this agency. <input checked="" type="checkbox"/> The Fire District has reviewed the applicant's plans and use of listed hazardous materials/chemicals and has found the proposal to be in compliance with all applicable Fire Codes. <input type="checkbox"/> The Fire District has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures to be made a part of the City's Use Permit approval (please list the suggested conditions and mitigation measures). The applicant's proposal has been reviewed by the Menlo Park Fire Protection District by:	
Signature/Date <i>Gordon Simpkinson</i> 7-5-17	Name/Title (printed) CONTRACT FIRE INSPECTOR <i>Gordon Simpkinson</i>
Comments: PROJECT PRESENTS NO EXTRAORDINARY HAZARDS APPLICANT WILL BE SUBJECT TO INITIAL AND ONGOING ANNUAL FIRE DISTRICT PERMIT AND INSPECTION . REQUIREMENTS.	



**DEVELOPMENT SERVICES
PLANNING DIVISION**
 Contact: Tom Smith 650-330- 6730 or
 tasmith@menlopark.org
 701 Laurel Street
 Menlo Park, CA 94025
 PHONE (650) 330-6702
 FAX (650) 327-1653

AGENCY REFERRAL FORM
RETURN DUE DATE: Friday, June 7, 2017

DATE: June 21, 2017

TO: SAN MATEO COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION
 Amy DeMasi, Hazardous Materials Specialist
 San Mateo County Environmental Health
 2000 Alameda de las Pulgas, Ste 100
 San Mateo, CA 94403
 (650) 372-6235

Applicant	City of Menlo Park
Applicant's Address	701 Laurel Street, Menlo Park, CA 94025
Telephone/FAX	Tel: 650-330-6742 (Azalea Mitch, Engineering Services Manager)
Contact Person	Azalea Mitch
Business Name	City of Menlo Park
Type of Business	Emergency generator for pump station at corner of Chrysler Drive and Bayfront Expressway
Project Address	1221 Chrysler Drive, Menlo Park, CA 94025

FOR OFFICE USE ONLY

- The hazardous materials listed are not of sufficient quantity to require approval by this agency.
- The Health Department has reviewed the applicant's plans and use of listed hazardous materials/chemicals and has found the proposal to be in compliance with all applicable Codes.
- The Health Department has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures to be made a part of the City's Use Permit approval (please list the suggested conditions and mitigation measures). The Health Department will inspect the facility once it is in operation to assure compliance with applicable laws and regulations.

The applicant's proposal has been reviewed by the San Mateo County Environmental Health Services Division by:

Signature/Date <small>Digitally signed by Amy E DeMasi DN: cn=Amy E DeMasi, o=San Mateo County, ou=Environmental Health, email=ademasi@smcgov.org, c=US Date: 2017.10.10 08:56:32 -07'00'</small>	Name/Title (printed) Amy E DeMasi HazMat Specialist
--	--

Comments: Facility will be regulated by San Mateo Co Env Health for storage of hazardous materials and should contact inspector to schedule and inspection.

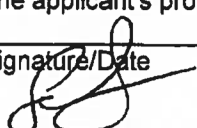


**DEVELOPMENT SERVICES
PLANNING DIVISION**
Contact: Tom Smith 650-330- 6730 or
tasmith@menlopark.org
 701 Laurel Street
 Menlo Park, CA 94025
 PHONE (650) 330-6702
 FAX (650) 327-1653

AGENCY REFERRAL FORM
RETURN DUE DATE: Friday, July 7, 2017

DATE: June 21, 2017

TO: **WEST BAY SANITARY DISTRICT**
 John Simonetti
 500 Laurel Street
 Menlo Park, CA 94025
 (650) 321-0384

Applicant	City of Menlo Park
Applicant's Address	701 Laurel Street, Menlo Park, CA 94025
Telephone/FAX	Tel: 650-330-6742 (Azalea Mitch, Engineering Services Manager)
Contact Person	Azalea Mitch
Business Name	City of Menlo Park
Type of Business	Emergency generator for pump station at corner of Chrysler Drive and Bayfront Expressway
Project Address	1221 Chrysler Drive, Menlo Park, CA 94025
FOR OFFICE USE ONLY	
<input type="checkbox"/> The hazardous materials listed are not of sufficient quantity to require approval by this agency. <input type="checkbox"/> The Sanitary District has reviewed the applicant's proposed plans and use of listed hazardous materials/chemicals and has found that the proposal meets all applicable Code requirements. <input checked="" type="checkbox"/> The Sanitary District has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures to be made a part of the City's Use Permit approval (please list the suggested conditions and mitigation measures).	
The applicant's proposal has been reviewed by the West Bay Sanitary District by: <u>John Simonetti</u> Regulatory Compliance Coordinator	
Signature/Date  June 22, 2017	Name/Title (printed) John Simonetti, Regulatory Compliance Coordinator
Comments: Facility Inspection Required, please contact John Simonetti to schedule the Field Inspection at 650-321-0384.	



**DEVELOPMENT SERVICES
PLANNING DIVISION**
 Contact: Tom Smith 650-330- 6730 or
 tasmith@menlopark.org
 701 Laurel Street
 Menlo Park, CA 94025
 PHONE (650) 330-6702
 FAX (650) 327-1653

AGENCY REFERRAL FORM
RETURN DUE DATE: Friday, July 7, 2017

DATE: June 21, 2017

TO: CITY OF MENLO PARK BUILDING DIVISION
 701 Laurel Street
 Menlo Park, CA 94025
 (650) 330-6704

Applicant	City of Menlo Park
Applicant's Address	701 Laurel Street, Menlo Park, CA 94025
Telephone/FAX	Tel: 650-330-6742 (Azalea Mitch, Engineering Services Manager)
Contact Person	Azalea Mitch
Business Name	City of Menlo Park
Type of Business	Emergency generator for pump station at corner of Chrysler Drive and Bayfront Expressway
Project Address	1221 Chrysler Drive, Menlo Park, CA 94025
FOR OFFICE USE ONLY	
<input type="checkbox"/> The hazardous materials listed are not of sufficient quantity to require approval by this Division. <input checked="" type="checkbox"/> The Building Division has reviewed the applicant's plans and listed hazardous materials/chemicals and has found that the proposal meets all applicable California Building Code requirements. <input type="checkbox"/> The Building Division has reviewed the applicant's plans and use of listed hazardous materials/chemicals outlined, and suggests conditions and mitigation measures to be made a part of the City's Use Permit approval (please list the suggested conditions and mitigation measures).	
The applicant's proposal has been reviewed by the City of Menlo Park's Building Division by:	
Signature/Date <i>Ron LaFrance 7/12/17</i>	Name/Title (printed) Ron LaFrance, Building Official
Comments:	



STAFF REPORT

Planning Commission

Meeting Date: 1/8/2018
Staff Report Number: 18-007-PC

Public Hearing: Facebook Development Agreements – Fifth Year Annual Review

Recommendation

Staff recommends that the Planning Commission review the information provided and make a determination that Facebook, over the course of the past year, has demonstrated good faith compliance with the provisions of the Development Agreements for the East Campus, West Campus, and Facebook Campus Expansion Project for the period of October 2016 through September 2017. The recommended actions are included as Attachment A.

Policy Issues

The implementation of each of these development agreements is considered individually. The Planning Commission should consider whether or not Facebook has demonstrated its good faith compliance with the provisions of all three development agreements.

Background

The Facebook Campus Project includes two areas, specifically, the East Campus and West Campus plus the expansion area. There are three Development Agreements (DAs) and two Conditional Development Permits (CDPs) for the two campuses. The land use entitlements and development agreements were also processed in phases, with the East Campus entitlement process being completed first. An overview of the project phases is provided below.

East Campus

The 56.9-acre East Campus is located at 1 Hacker Way (previously 1601 Willow Road). This developed site was previously occupied by Oracle and Sun Microsystems. The site is developed with nine buildings (Buildings 10 through 19), which contain approximately 1,035,840 square feet of gross floor area (GFA). Applicable entitlements and agreements for the Facebook East Campus project included an amended CDP and DA. The Planning Commission recommended approval of all requested land use entitlements and the Development Agreement to the City Council on May 7, 2012. The City Council approved the project in May and June of 2012. All of the buildings on the East Campus are occupied.

West Campus

The 22-acre West Campus is located at 1 Facebook Way. A new 433,555 square foot building (also known as Building 20) was constructed over surface parking. Applicable entitlements and agreements for the Facebook West Campus Project included a Rezoning, Conditional Development Permit, and

Development Agreement. The Planning Commission recommended approval of all requested land use entitlements and agreements to the City Council in February 2013. The City Council approved the project in March 2013. The first West Campus building, known as Building 20, is completed and occupied.

Facebook (West) Campus Expansion Project

The City Council approved this project on November 1, 2016. Applicable entitlements and agreements for the Facebook Campus Expansion Project included an amended and restated Conditional Development Permit, Development Agreement, Rezoning, Zoning Ordinance Text Amendment, Heritage Tree Removal Permits, and Below Market Rate (BMR) Housing Agreement. This Development Agreement and associated Conditional Development Permit were amended in November 2017 as part of applicant initiated revisions to the approved West Campus Expansion Project. The amended terms are included in Attachments F and G. Since the Development Agreement for the Facebook Campus Expansion Project was only recently approved, implementation of the DA is not complete; however, a number of items have been completed or are in process. To simplify next year's annual implementation review of all three of Facebook's Development Agreements, staff anticipates that the evaluation of Facebook's good faith implementation of all three Development Agreements will be presented to the Planning Commission in November or December of next year.

Analysis

A Development Agreement is a legally binding contract between the City of Menlo Park and an applicant that delineates the terms and conditions of a proposed development project. A Development Agreement allows an applicant to secure vested rights and allows the City to secure benefits that are generally not obtainable otherwise. Development Agreements are commonly used for land use developments which are implemented in phases over a period of time. Development Agreements provide assurances to both the applicant and the City that the terms of the agreement will be in force until the completion of the project, and in some cases, elements of the Development Agreement could be in effect for the life of the project. Development Agreements are enabled by California Government Code Sections 65864-65869.5.

The City Council adopted Resolution No. 4159 in January 1990, establishing the procedures and requirements for the consideration of Development Agreements. Resolution No. 4159 calls for the Planning Commission to conduct a public hearing at which the property owner (or representative for the property owner) must demonstrate good faith compliance with the terms of the agreement. The Planning Commission is to determine, upon the basis of substantial evidence, whether or not the property owner has, for the period under review, complied in good faith with the terms and conditions of the Agreement. The decision of the Planning Commission is final, unless it is appealed to the City Council. These provisions implement Government Code Section 65865.1 which requires the periodic review, at least once every 12 months, to determine compliance with the terms of the agreement.

In addition, the approved Development Agreements for the East and West Campuses, Sections 24.1 and 15.1, respectively, and Section 12.1 of the Campus Expansion Project DA, set forth the following requirement for the Annual Review: "The City shall, at least every 12 months during the term of this Agreement, review the extent of Facebook's and Owner's good faith compliance with the terms of this Agreement pursuant to Government Code Section 65865.1 and Resolution No. 4159. Notice of such annual review shall be provided by the City's Community Development Director to Facebook and Owner

not less than 30 days prior to the date of the hearing by the Planning Commission on Facebook's and Owner's good faith compliance with this Agreement and shall to the extent required by law include the statement that any review may result in amendment or termination of this Agreement. A finding by the City of good faith compliance with the terms of this Agreement shall conclusively determine the issue up to and including the date of such review."

There is an additional clause in the Facebook West Campus Development Agreement that requires that, "Such review shall be scheduled to coincide with the City's review of compliance with the 1601 Willow Road Development Agreement."

In evaluating Facebook's progress at implementing the Development Agreements, staff has developed a classification system to describe how the specific requirements are being implemented using four categories. Three of these categories are consistent with the principle of good faith compliance with the terms of the agreements and are as follows:

- **Completed:** A One-Time Action was completed or an Ongoing Activity occurred during the DA review year.
- **In Progress:** A One-Time Action is underway (acceptable progress).
- **Conditional, No Action Required:** The triggering event, condition or requirement to undertake an item has not occurred; no action is necessary at this time.

The fourth category, described as Unacceptable Progress implies that, at least potentially, good faith compliance for that item may not have occurred. However, a determination that substantial and persistent non-implementation of a development agreement would have to occur before a lack of good faith compliance could truly be determined. None of the Development Agreement requirements have been identified as Unacceptable Progress during the 2016-2017 DA review year.

To ensure that the City is aware of the status of their compliance and any challenges they may be having achieving compliance, Facebook provides periodic updates on the status of all applicable requirements. These updates, as well as supporting correspondence and written documentation have been used to develop the Development Agreement Implementation tables attached to this staff report.

East Campus Development Agreement

The East Campus Development Agreement includes 37 requirements that are associated with the annual Development Agreement tracking. These requirements fall into two categories, One-Time Actions and Ongoing Activities. A detailed description of the requirements of the Development Agreement for the East Campus are contained in Attachments B and C, respectively. The summary of the implementation status of the 37 Development Agreement requirements is provided in the following table.

East Campus DA Implementation Status	One-Time Actions (Attachment B)	Ongoing Activities (Attachment C)
Completed	13	14
In Progress/Ongoing (Acceptable Progress)	4	
Conditional / No Action Required	1	5
Unacceptable Progress	0	0

Facebook and the City continue to monitor compliance with the trip cap requirements. Facebook is in compliance with the trip cap specified in the CDP for the East Campus. According to the CDP, Facebook is allowed to exceed its trip cap on 12 special event days and three (3) non-special events days per year. Under the trip cap, a trip is considered a vehicle whose occupant(s)' final destination is the East Campus or a vehicle whose origin is the East Campus. Staff reviewed additional trip counts this year to determine the reliability (sensitivity) factor for trips to/from the site. Upon review of this information, City staff determined that trips associated with U-turns, cut-through vehicles from Bayfront Expressway to Willow Road, uninvited guests (i.e. "Like" monument sign visitors) and Bay Trail visitors were not trips, as defined in the trip cap. In addition, staff determined that shuttles coming from outside Menlo Park or the Menlo Park Caltrain Station and making stops at both the East and West Campuses (in a single routing) were being double counted and therefore, should only be counted as one trip for each campus. The trip cap was exceeded seven (7) times during the 2017 calendar year, which is below the maximum allowed number of exceedances set forth in the Trip Cap. The seven (7) exceedances include the application of the updated reliability factor.

West Campus Development Agreement

The West Campus Development Agreement (for Facebook's Building 20) includes 11 requirements that are associated with the annual Development Agreement tracking. These requirements fall into two categories, One-Time Actions and Ongoing Activities. Requirements that apply only to project construction (e.g. 7.3.1 and 7.3.2) are also classified as One-Time Actions since once construction is completed the obligation no longer applies. All of the Ongoing Activities are required to be implemented after the West Campus has been constructed and occupied. As a result, these items have been classified as Conditional/No Action Required.

A detailed description of the requirements of the Development Agreement for the West Campus is contained in Attachments D and E, respectively. The summary of the implementation status of the 11 West Campus Development Agreement requirements is provided below:

West Campus DA Implementation Status	One-Time Actions (Attachment D)	Ongoing Activities (Attachment E)
Completed	5	4
In Progress (Acceptable Progress)	0	
Conditional / No Action Required	0	2
Unacceptable Progress	0	0

The West Campus also has a trip cap requirement that is inclusive of the West Campus and Campus Expansion Project areas (Buildings 20, 21, 2, 23, and the hotel). The system has been installed for Building 20 and is counting properly. The counting equipment serving the Campus Expansion Project portion of the site will be installed prior to occupancy of Building 21. The City continues to monitor compliance with the trip cap requirements. Facebook is in compliance with the trip cap specified in the Conditional Development Permit. The reliability factor, discussed in the East Campus section above, applies to the West Campus as well.

Facebook Campus Expansion Project Development Agreement

The Facebook Campus Expansion Project Development Agreement (for Facebook’s Buildings 21 and 22, and the hotel) includes 39 requirements that are associated with the annual Development Agreement tracking. These requirements fall into two categories, One-Time Actions and Ongoing Activities. Requirements that apply only to project construction (e.g. 6.6.1, 9.2, 9.2.1, etc.) are also classified as One-Time Actions, since once construction is completed the obligation no longer applies. All of the Ongoing Activities are required to be implemented after the Facebook Campus Expansion Project has been constructed and occupied. However, since the project is phased, some Ongoing Activities will be required during construction of the future phases. As a result, these items have been generally classified as Conditional/No Action Required, since occupancy of Building 21 (first phase) has not been granted at this time. If an Ongoing Activity was completed during the last year, it has been identified as completed in the attached table.

A detailed description of the requirements of the Development Agreement for the Facebook Campus Expansion Project is contained in Attachments F and G, respectively. The summary of the implementation status of the 38 Development Agreement requirements is provided below:

Expansion Campus DA Implementation Status	One-Time Actions (Attachment F)	Ongoing Activities (Attachment G)
Completed	3	4
In Progress (Acceptable Progress)	9	3
Conditional / No Action Required	10	9

Unacceptable Progress	0	0
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Infrastructure Improvement Requirements of the Conditional Development Permits

As part of this annual review, staff has also reviewed the implementation status of the major infrastructure improvements identified in the CDPs for both the East Campus and West Campus projects. For reference, the West Campus CDP was incorporated into the Amended and Restated CDP for the Facebook Campus Expansion Project. However, since the first phase of the Facebook Campus Expansion Project is currently under construction, implementation of the infrastructure improvements associated with the amended and restated CDP will be reviewed in the 2017-2018 annual review. For the sake of simplicity, only the East Campus CDP numbers are provided when the improvement is identified in both CDP documents. The original schedule required bonding for the improvements within 90 days after the approval of the Development Agreement, and the submittal of complete construction/ improvement plans within 180 days of approval of the Development Agreement. Once Caltrans (and/or the Cities of Menlo Park and East Palo Alto) approve the construction plans, construction is required to be completed within 180 days. The CDP schedule contains no deadlines for the review and approval of the encroachment permit by either Caltrans or the City of East Palo Alto since these outside agencies have their own processing requirements and timelines.

The following table summarizes the status of the various infrastructure requirements contained in the Conditional Development Permits for the East and West Campus Projects. As shown below, Facebook has made good progress at meeting their obligations under their Conditional Development Permits. During the next annual review cycle, it is expected that all of the substantially completed improvements will be complete and accepted by the City. Acceptance of the improvements by the City is the last step in any public infrastructure project. During last year’s review, only one of the required infrastructure improvements had been completed and accepted by the City.

Completion Status Summary	Number
Project Complete, Work Accepted by the City	7
Project Substantially Completed, the improvements have not been accepted by the City	3
Project still under design development/Encroachment Permit has not been issued/Construction has not started	0

A summary of the status of each of these required public improvements is provided in the following table. For the three “95%” projects, the remaining components are either final “punch list” minor corrections and/or finalization of a maintenance agreement between Facebook and the City.

STATUS OF FACEBOOK CDP INFRASTRUCTURE IMPROVEMENTS						
CDP Requirement	Bond Paid	Encroachment Permit		Construction		
		Applied For	Received	Started	Substantially Complete	Percent Complete
EAST CAMPUS						
Willow Rd. & Bayfront Expway.	✓	✓	✓	✓	✓	95%

STATUS OF FACEBOOK CDP INFRASTRUCTURE IMPROVEMENTS						
CDP Requirement	Bond Paid	Encroachment Permit		Construction		
		Applied For	Received	Started	Substantially Complete	Percent Complete
lane widening and bike lanes (EC CDP 10.1)						
Willow Rd. & Middlefield Rd. lane and signal revisions (EC CDP 10.2)	✓	✓	✓	✓	✓	100%
University Ave. & Bayfront Expway. trail improvement (EC CDP 10.3)	✓	✓	✓	✓	✓	95%
Bayfront Expway. & Chrysler Drive lane restriping (EC CDP 10.4)	✓	✓	✓	✓	✓	100%
Marsh Rd. & Bayfront Expway. lane restriping (EC CDP 10.5)	✓	✓	✓	✓	✓	100%
Marsh Rd. & US101 NB Ramp ramp widening (EC CDP 10.6)	✓	✓	✓	✓	✓	100%
Willow Rd. & Newbridge St. lane widening (EC CDP 10.7)	✓	✓	✓	✓	✓	95%
WEST CAMPUS						
Bayfront Expway. Undercrossing (WC CDP 10.0)	✓	✓	✓	✓	✓	100%
University Ave. & Donahoe St. restriping (WC CDP 12.10)	✓	✓	✓	✓	✓	100%
Willow Rd. Median, emergency vehicle access	✓	✓	✓	✓	✓	100%

As stated previously, the infrastructure improvements associated with the Facebook Campus Expansion Project CDP will be evaluated during the 2017-2018 annual review, since Building 21 is currently under construction. The infrastructure improvement projects listed in the table above are substantially complete but minor finalizations are still necessary for some of the items.

Impact on City Resources

Facebook is required to pay all costs associated with this review to fully cover the cost of staff time spent on the review of these projects.

Environmental Review

The California Environmental Quality Act (CEQA) requires that activities which meet the definition of a Project be evaluated for their potential impacts on the environment. The Annual Review of the Development Agreements has no potential to result in an impact to the environment and does not meet the definition of a Project under CEQA; as a result, no environmental review or determination is needed. The environmental impacts of the projects and their associated development agreements were evaluated and considered at the time the projects were initially approved by the City.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

- A. Recommended Actions
- B. East Campus Development Agreement One-Time Action Status
- C. East Campus Development Agreement Ongoing Activities Status
- D. West Campus Development Agreement One-Time Action Status
- E. West Campus Development Agreement Ongoing Activities Status
- F. Expansion Campus Development Agreement One-Time Action Status
- G. Expansion Campus Development Agreement Ongoing Activities Status

Report prepared by:

David Hogan, Contract Planner and Kyle Perata, Senior Planner

Report reviewed by:

Thomas Rogers, Principal Planner

Facebook Development Agreements – Attachment A: Recommended Actions

LOCATION: 1 Hacker Way, 1 Facebook Way, 300 Constitution Drive	PROJECT NUMBER: N/A	APPLICANT: Facebook, Inc.	OWNER: Facebook, Inc.
PROPOSAL: Make a determination that Facebook has made good faith efforts to implement the provisions of the three development agreements during the 2016 – 2017 Development Agreement Review Year.			
DECISION ENTITY: Planning Commission	DATE: January 8, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kahle, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the Annual Review of the Development Agreements has no potential to result in an impact to the environment and does not meet the definition of a Project under the California Environmental Quality Act (CEQA). 2. Make a finding that Facebook has implemented the provisions of its three Development Agreements and associated amendments during the 2016 – 2017 Development Agreement Review Year. 			

ATTACHMENT B EAST CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1	<u>Capital Improvement</u> . Facebook shall make a one-time payment of One Million One Hundred Thousand Dollars (\$1,100,000) to the City for the City's unrestricted use toward capital improvement projects.	Within 45 days of the satisfaction of the Conditions Precedent* (11/2/12).	Completed	
7.2.1	<u>Bicycle/Pedestrian</u> . Facebook shall perform one-time improvements to the Undercrossing above and beyond those described in the Project; including to the extent appropriate, preserving existing art and/or providing wall surfaces for invited artists to create mural art with the intent to create an "art gallery" experience for the pedestrians/bicyclists using the undercrossing. (See also East Campus CDP, Section 9)	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	
7.2.2	<u>Bicycle/Pedestrian</u> . Facebook shall perform restriping improvements for bicycle lanes to the following streets on a one-time basis:	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).		
	(a) Willow Road and Middlefield Road intersection.		Completed	
	(b) Willow Road and U.S. 101 bridge – Green Lane Bicycle Striping.		Completed	Caltrans has not approved this improvement. No further actions are possible, obligation satisfied.
	(c) Willow Road between Hamilton Avenue and Bayfront Expressway.		In Progress	Work was substantially completed as of January 2016. City sign-off/acceptance is pending completion of final project components.
	(d) Willow Road between Newbridge Street and Ivy Drive.		In Progress	Work was substantially complete as of September 2016. City sign-off is pending completion of final project

* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT B
EAST CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
				components. We have received a proposal for the work and should be able to release the design team shortly.
	(e) Willow Road between O'Keefe Street and U.S. 101 (shared lane markings).		Completed	Caltrans did not approve the proposed improvements. No further action is possible, as a result, this obligation is satisfied.
7.2.3	<u>Bicycle/Pedestrian</u> . Facebook shall have a one-time obligation to investigate the possibility of making crosswalk improvements to the pedestrian crossings at the US 101 and Willow Road interchange.	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	Caltrans will not allow the proposed improvements. No additional action by Facebook is required.
7.2.4	<u>Bicycle/Pedestrian</u> . Facebook shall perform one-time improvements to publicly accessible walking paths, trails and levees in the immediate vicinity of the Property, subject to approval by the San Francisco Bay Conservation and Development Commission ("BCDC").	Within 240 days of the satisfaction of the Conditions Precedent* (5/31/13).	Completed	
7.3	<u>Business District</u> . Facebook will have a one-time obligation to investigate the possibility of creating a business improvement district in the Willow Road corridor between US 101 and Bayfront Expressway that includes the Property. If the business improvement district is feasible and the adjacent property owners are likewise interested in creating the business improvement district, Facebook shall initiate the process for creating the business improvement district.	Within three years of the satisfaction of the Conditions Precedent* (10/3/15).	Completed	Facebook conducted contacts with potentially effected business owners, there was no interest in establishing a business improvement district. Facebook has completed their obligation.

* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT B
EAST CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
9.1	<p><u>Housing</u>. Facebook will explore opportunities to invest in low income tax credits for affordable housing projects in the City and the City of East Palo Alto, including partnering with a local non-profit housing developer(s) or contributing funds toward the creation of low, very-low or extremely-low income housing. Facebook shall report the results of its explorations to the City’s Community Development Director upon the City’s Community Development Director’s written request. The decision of whether to make any investments will be in Facebook’s sole and absolute discretion.</p>	Prior to February 6, 2026.	Ongoing	<p>Facebook explored LIHTC investments w/ for-profit and non-profit syndicators such as Merritt Capital, U.S. Bank, and others. Tax policy uncertainty created in wake of last year’s election cycle, highlighted by the recent federal tax reform proposals, has placed in flux impact and existence of low income housing tax credits. As a result, Facebook shifted to direct investment via the Catalyst Housing Fund, beyond required impact fees, in Extremely Low, Very-Low, and Low Income units in Menlo Park and East Palo Alto.</p>
9.2	<p><u>Housing</u>. Facebook will contact a local real estate developer or local real estate developers interested in building housing projects in the City. Facebook in concert with the real estate developer(s) will explore ways to support housing projects, including, but not limited to investing capital, committing to leasing units or offering marketing opportunities to Facebook employees. Facebook shall report the conclusions from this collaborative effort to the City’s Community Development Director upon the City’s Community Development Director’s written request. The decision of whether to provide any support will be in Facebook’s sole and absolute discretion.</p>	Prior to February 6, 2026.	Completed	<p>Facebook has collaborated with the St Anton's Housing Project and provided funding for Below Market Rate housing units.</p>

* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT B
EAST CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
11.	<u>Bay Trail Gap</u> . Facebook will work with Bay Trail stakeholders, including, but not limited to Mid-peninsula Regional Open Space District, Association of Bay Area Governments (ABAG), the City of East Palo Alto and the City and County of San Francisco and appropriate members of the business community to close the Bay Trail Gap, commonly known as Gap No. 2092, which terminates at the railroad right-of-way on University Avenue.	Prior to February 6, 2026.	Completed	Facebook has written a letter to support the project and Measure A funds. Funds were received by ABAG. Facebook has indicated that they are committed to providing additional funding, as needed.
12.	<u>Utility Undergrounding</u> . Facebook agrees to cooperate with the City in the City's efforts to underground existing electric transmission lines located in the vicinity of the property. However, neither the City nor Facebook will be obligated to provide funding for utility undergrounding.	Prior to February 6, 2026.	Conditional	No undergrounding project was initiated during this annual review period.
16.	<u>Adopt-a-Highway</u> . Facebook will adopt a roadway segment in the vicinity of the Property pursuant to Caltrans' Adopt-A-Highway Program. This commitment will be for a period of five years. If there are no segments available for adoption in the vicinity of the Property, Facebook's obligation shall be deferred until a segment becomes available.	Within 180 days of the satisfaction of the Conditions Precedent* (4/1/13).	Ongoing	<ol style="list-style-type: none"> 1. Bike trail along 84 from Dumbarton Bridge to Marsh. Monthly litter removal and vegetation control done every three months 2. Has adopted the Northbound and Southbound Willow/101 ramps, but litter and vegetation control are currently on hold due to the overpass construction.
18.1	<u>Local Purchasing</u> . Facebook shall adopt a program to incentivize Facebook employees to frequent local businesses and continue such program for three years from the Effective Date.	July 5, 2015: Three year duration required from effective date.	Completed	The program operated for the required three year period. (This activity was previously listed as an ongoing action.)

* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT B
EAST CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
22.1	<u>Sanitary Sewer System Upgrades</u> . Facebook shall purchase a third wastewater pump to be placed into reserve in case of pump failure at the Hamilton Henderson Pump Station. Within 120 days of the Effective Date of this Agreement, Facebook shall purchase a 3-Phase pump as approved by West Bay Sanitary District (WBSD).	Facebook shall post a bond equal to 120 percent of the cost of the wastewater pump within 30 days of the satisfaction of the Conditions Precedent* (11/2/12).	Completed	
22.2	<u>Sanitary Sewer System Upgrades</u> . Facebook shall upsize 114 feet of the existing 12-inch diameter pipeline that runs north along Hamilton Avenue, beginning at the Hamilton/Willow Road intersection, to a 15-inch diameter pipe and apply for a Class 3 permit from WBSD. Facebook shall post a bond equal to 200 percent of the estimated cost of the work within 30 days of the satisfaction of the Conditions Precedent	Within 90 days of the Effective Date of this Agreement (10/3/12)	Completed	

Conditions Precedent. Facebook's and Owner's obligations are expressly conditioned on the resolution of all legal challenges, if any, to the EIR, the Project Approvals and the Project. If no litigation or referendum is commenced challenging the EIR, the Project Approvals and/or the Project, Facebook's and Owner's obligations will vest 90 days after the Effective Date, with the **effective date being July 5, 2012 and 90 days post that being October 3, 2012**. If litigation or a referendum is commenced challenging the EIR, the Project Approvals and/or the Project, then Facebook's and Owner's obligations will vest on the date of final, non-appealable resolution of all litigation in a manner that is reasonably acceptable to Facebook and Owner or resolution of the referendum in a manner that is reasonably acceptable to Facebook and Owner. The conditions described in this Section 6 shall, collectively, be referred to as the "Conditions Precedent".

* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

ATTACHMENT C EAST CAMPUS DEVELOPMENT AGREEMENT ONGOING ACTIVITIES				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
5.	<u>Trip Cap.</u> Facebook shall adhere to the Trip Cap, details included in the Project Approved, and incorporated herein by this reference (CDP Requirement 7).	Within 180 days of CDP Approval.	Completed	The City is still receiving regular automated daily reports. Earlier this year we had a system upgrade from 2G data to 4G. Conducted a third-party manual count in January and March 2017. Facebook is working with the City to finalize calibration on the combined trip caps for East and West campuses.
8.	<u>Annual Payment.</u> During the term of this Agreement, Facebook and/or Owner shall make an annual payment (“Annual Payment”) to the City in lieu of sales tax or other revenue that might otherwise accrue to the City if the Property was occupied by a sales tax producer. 8.1.1. In each of the first five years beginning with the first payment on January 1, 2013, the amount of the Annual Payment shall be Eight Hundred Thousand (\$800,000).	Due on July 1, 2013 of each year.	Completed	Payment was made on July 29, 2017.
10.	<u>Local Community Fund.</u> Facebook shall create a Local Community Fund (“LCF”) in partnership with a non-profit partner to manage and administer the LCF and Facebook shall contribute Five Hundred Thousand Dollars (\$500,000) to the LCF. The purpose of the LCF will be to provide support for local community needs.	Within one year of the satisfaction of the Conditions Precedent* (10/3/13)	Completed	See continuing local community Fund payment under West Campus DA Term 8 on Appendix D.

* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C
EAST CAMPUS DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
13.1	<u>Internship Program</u> . Facebook will create a summer intern program for residents of the Ravenswood Elementary School District. The summer intern program will commence with an initial, pilot program, and then later, if successful, may be expanded, in Facebook's sole and absolute discretion, to include more participants and/or subject areas.	No later than summer 2013	Completed	The Sixth Facebook Academy was completed in August of 2017. Nineteen students graduated from the six-week program.
13.2	<u>Encourage Local Jobs</u> . Facebook will work with a local training program to expand training services for residents of the City and the City of East Palo Alto. Facebook will also create an ongoing quarterly series of career development workshops to commence within one year of the satisfaction of the Conditions Precedent. The workshops will focus on topics such as resume writing, interviewing skills and how to find a job via social media, including Facebook. These workshops will take place in local community centers and/or other neighborhood sites. In addition, within one year of the satisfaction of the Conditions Precedent, Facebook will host a session, promoted in the Belle Haven neighborhood and East Palo Alto, on how to become a Facebook employee and to encourage contractors to hire City residents and residents of the City of East Palo Alto, Facebook will require future vendors to use reasonable efforts to notify residents of the City and the City of East Palo Alto when they are hiring new people to work at the Property in the facilities, culinary and construction trades. Vendors with existing contracts will be encouraged to use reasonable efforts to promote local hiring as openings become available. Facebook will also encourage campus vendors to host sessions on how to become an employee of their organization.	Within one year of the satisfaction of the Conditions Precedent* (10/3/13)	Completed	<p>A Job Fair conducted two job fairs during this period. The first was on March 25, 2017.</p> <ul style="list-style-type: none"> - 493 attendees - 42 Members of Facebook's Recruiting team volunteered at the event to promote FB jobs - 10 Vendors showcased their contract roles - Hired 9 full-time FB positions and 12 contractor roles <p>The second was on September 30, 2017.</p> <ul style="list-style-type: none"> - 541 attendees - FB recruiters onsite: 28 - Vendors: 14 - 541 resumes collected which are still being reviewed by recruiters and vendors.

* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C
EAST CAMPUS DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
16.1	<u>Environmental Education</u> . When performing work that might impact the San Francisco Bay, Facebook will hire an environmental consultant knowledgeable about the San Francisco Bay and associated marsh habitats to ensure that endangered species, particularly the Salt Marsh Harvest Mouse and Clapper Rail, are not harmed.	Prior to February 6, 2026.	Completed	Facebook has retained HT Harvey & Associates to ensure compliance with this requirement.
16.2	<u>Environmental Education</u> . Facebook will cooperate with the Don Edwards San Francisco Bay National Wildlife Refuge (“Refuge”) team and related nonprofit groups on habitat protection and restoration adjacent to the Property. Facebook will establish an ongoing, in-house point of contact for the Refuge, nonprofit groups and related agencies to ensure collaborative success.	Prior to February 6, 2026.	Completed	Lauren Swezey continues to be the point of contact, and meets periodically with the various stakeholders (Audubon, Citizens Committee to Complete the Refuge, US Fish & Wildlife/ SFBNW Refuge, South Bay Salt Pond Restoration project, etc) to discuss our projects.
16.3	<u>Environmental Education</u> . Facebook will educate employees and visitors about the unique species next to the Property and their habitat requirements. Such education may include installing interpretive signage and/or hosting educational programs.	Prior to February 6, 2026.	Completed	Facebook conducted the following activities: <ol style="list-style-type: none"> 1. Conducted periodic educational tours for our employees with the Audubon Society – First Friday of the month (ongoing throughout 2017). 2. Conducted educational tours about native plants. – Earth Week 2017 (week of April 17). 3. Native wildflower education session and seed giveaway – July 21, 2017.

* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT C
EAST CAMPUS DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
16.4	<u>Environmental Education.</u> Facebook will engage in "wildlife-friendly" behavior, such as: (a) adopting policies requiring the trapping and removal of feral cats and the leashing of dogs when using trails located on the Property, (b) employing wildlife-safe rodent control measures, and (c) encouraging beneficial species.	Prior to February 6, 2026.	Completed	<p>1. Facebook has adopted the removal of feral cats through quarterly trappings and encourage leash use on campus. Feral Cat Trapping on the Levee Trail occurred on 12/05/16, 3/6/17, 5/22/17, and 9/11/17.</p> <p>2. FB is using the least toxic approaches to rodent control, and do not trap for rodents near the bay trail.</p> <p>3. FB is plating beneficial plant species growth on the bay trail through hand weeding and by avoiding removal of native plants.</p>
17.1	<u>On-going Environmental Commitments.</u> When performing landscape improvements, Facebook and/or Owner will minimize (or require the minimization of) potential stormwater runoff through the use of appropriate techniques, such as grassy swales, rain gardens and other Low Impact Development (LID) measures.	Prior to February 6, 2026.	Conditional	Facebook has not initiated any landscape improvements which would trigger this requirement.
17.2	<u>On-going Environmental Commitments.</u> If Facebook and/or Owner installs at the Property new windows or new window treatments on windows facing the parking lot or the San Francisco Bay, Facebook and/or Owner will select (or require the selection of) windows and window treatments that minimize impacts of light pollution and risk of collision to birds.	Prior to February 6, 2026.	Conditional	Facebook has not initiated the replacement of any new windows which would trigger this requirement.

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**ATTACHMENT C
EAST CAMPUS DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
	If Facebook and/or Owner installs new lighting in the parking lot at the Property, Facebook and/or Owner will use (or require the use of) then available best practices to design and shield that new lighting so as to confine direct rays to the Property and not out into the adjacent areas of the San Francisco Bay.			
17.3	<u>On-going Environmental Commitments.</u> Except for the existing basketball court, Facebook and/or Owner will not create (or permit the creation of) any lighted playing field on the perimeter of the site that abuts the San Francisco Bay. Facebook and/or Owner will require the lights on the existing basketball court to be controlled so that the court is dark except when in use.	Prior to February 6, 2026.	Conditional	Facebook has not initiated any lighting improvements which would trigger this requirement.
17.4	<u>On-going Environmental Commitments.</u> If Facebook and/or Owner installs new building roofs, window ledges, parking lot light poles or landscaping changes, Facebook and/or Owner will use (or require use of) then available best practices to ensure that the new building roofs, window ledges, parking lot light poles or landscaping changes do not create sites for predatory bird species to roost or nest.	Prior to February 6, 2026.	Conditional	Facebook has not initiated any improvements which would trigger this requirement.
17.5	<u>On-going Environmental Commitments.</u> When performing landscape improvements to those portions of the Property that abut the San Francisco Bay, Facebook and/or the Owner will consult with (or require consultation with) a qualified environmental consultant familiar with California native plant communities and select (or require the selection of) suitable native plants for landscaping.	Prior to February 6, 2026.	Completed	Facebook continues to utilize landscape architects and wildlife biologists from HT Harvey & Associates on all exterior landscape renovations.

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**ATTACHMENT C
EAST CAMPUS DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
18.2	<u>Local Purchasing</u> . When purchasing goods that can be sourced locally, Facebook shall endeavor to purchase goods from vendors located in the City if the quality, price, terms and conditions are competitive.	Prior to February 6, 2026.	Completed	According to Facebook, the following are some of the local businesses patronized by Facebook: BrightView Landscape Services, Inc., Extra Space Management Inc., Willows Market, Lulu's Mexican Food, Eric's Gourmet Food & Catering. In FB Pop-Up shop: Fleet Feet of Menlo Park, Anton Menlo Apartments, 777 Hamilton Apartments, Greystar Apartments
18.3	<u>Local Purchasing</u> . When engaging vendors to provide on-site services to employees (e.g., chiropractic services), Facebook shall endeavor to engage vendors that are located in the City if their services satisfy Facebook's needs and the quality, price, terms and conditions are competitive.	Prior to February 6, 2026.	Completed	Facebook indicates that they continue to evaluate all local vendors and hire locally when feasible. Many are smaller vendors and they would have difficulty managing our large scale projects.
18.4	<u>Local Purchasing</u> . If the Menlo Gateway project is developed, Facebook will consider adding the hotel built as part of that project to its list of preferred hotels for visitors.	Prior to February 6, 2026.	Conditional	The Menlo Gateway Project was not constructed/developed. during this review year.
19.	<u>Transportation Demand Management Information Sharing</u> . To help mitigate regional traffic, Facebook agrees to share its Transportation Demand Management best practices with other interested Silicon Valley companies that request such information from Facebook.	Ongoing through to February 6, 2026.	Completed	The Transportation Team regularly shares information through the Bay Area Council or Silicon Valley Leadership Group. At other times, they share directly with their TDM peers at other companies.

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**ATTACHMENT C
EAST CAMPUS DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
20.	<u>Volunteerism</u> . Facebook will actively promote local volunteer opportunities in the City and the City of East Palo Alto to all its employees. Such promotion shall include the creation of an internal Facebook page for the posting of volunteer opportunities. Facebook will host a "Local Community (Non-Profit) Organization Fair" on the Property.	Annually through February 6, 2026.	Completed	Facebook held a Local Community Organization Fair on campus for employees on Nov 2, 2017. Twenty one local nonprofits visited campus and had interactions with employees in Hacker Square (1601 Willow Rd) during the lunch period (11:30 am to 2:00 p.m.). Over 400 employees chatted with the nonprofits to learn about their opportunities. Each nonprofit collected names and emails of potential volunteers.

Conditions Precedent. Facebook's and Owner's obligations are expressly conditioned on the resolution of all legal challenges, if any, to the EIR, the Project Approvals and the Project. If no litigation or referendum is commenced challenging the EIR, the Project Approvals and/or the Project, Facebook's and Owner's obligations will vest 90 days after the Effective Date, with the **effective date being July 5, 2012 and 90 days post that being October 3, 2012**. If litigation or a referendum is commenced challenging the EIR, the Project Approvals and/or the Project, then Facebook's and Owner's obligations will vest on the date of final, non-appealable resolution of all litigation in a manner that is reasonably acceptable to Facebook and Owner or resolution of the referendum in a manner that is reasonably acceptable to Facebook and Owner. The conditions described in this Section 6 shall, collectively, be referred to as the "Conditions Precedent".

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ATTACHMENT D WEST CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
6.	<u>Capital Improvements</u> . Within 60 days of the later of (a) City sign off on final building permits allowing occupancy of the West Campus by Owner and (b) Owner's receipt of City's request for payment, Owner shall make a one-time payment of \$100,000 to the City for the City's unrestricted use toward capital improvement projects that benefit the adjacent Belle Haven neighborhood.	Payable within 60 days of Certificate of Occupancy.	Completed	Paid on June 22, 2015.
7.3.1	<u>Sales and Use Taxes</u> . For all construction work performed on the project, should include a provision in all construction contracts for \$5 million or more to record a sub-permit from CA State Board of Equalization to book and record construction materials purchases/sales as sales originating in the City	Throughout duration of construction through occupancy (not applicable to future remodeling or construction).	Completed	
7.3.2	<u>Sales and Use Taxes</u> . From the purchase of furnishings, equipment and personal property for initial occupancy of the building, owner shall maximize sales and use taxes to be received by the City.	Applicable throughout the duration of construction and initial occupancy (not applicable to future remodeling or construction).	Completed	Facebook indicated that they have paid over \$277,000 through the Second Quarter of 2015.
8.	<u>Local Community Fund</u> . Facebook shall contribute an additional \$100,000 to the Local Community Fund within one year of occupancy. However, if the fund is depleted at the time the owner receives a core and shell permit, owner shall make a payment within 6 months of conditions precedent.	Within one year of final building permit sign-off, or sooner if the fund is depleted at the time the owner receives a core and shell permit.	Completed	Facebook provided an additional \$100,000 in 2017 and distributed \$122,000 to 37 non-profit organizations 2017.

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**ATTACHMENT D
WEST CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
10.	<p><u>Design and Environment.</u></p> <p>Use of Gehry Partners as Architect of record.</p> <p>The green roof shall be designed consistent with project approvals.</p> <p>Owner will design building to be LEED Gold equivalency.</p>	<p>Prior to approval of the building plans for the West Campus.</p>	Completed	<p>Gehry Partners is the architect of record on the project.</p> <p>Core and shell permit approved in 2014 incorporated roof landscaping designs consistent with original approval.</p> <p>LEED Report indicated the building achieved LEED Gold.</p>

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ATTACHMENT E WEST CAMPUS DEVELOPMENT AGREEMENT ONGOING ACTIVITIES				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1	<u>Recurring Public Benefits Payment</u> - \$150,000/year	Payments are due on July 1 beginning after building occupancy is approved and continue for 10 years.	Completed	Paid on June 29, 2017.
7.2	<u>Property Tax Guarantee</u> . Facebook shall pay the City the positive difference between the projected assessed value and property tax collected.	Payment due the first tax fiscal year following the initial reassessment of the property and shall continue for 10 years.	Completed	According to the County Assessor, the assessed value of the site and building exceeds the \$230 million assessed value threshold. No additional payment is required.
9.	<u>Recycling</u> . Facebook agrees to use the City's franchisee for all trash and recycling services, provided the price is the same as that charged to other commercial users in the City.	For lifetime of development agreement (February 6, 2026).	Completed	Recology is providing trash and recycling services to the West Campus.
11.	<u>Public Access</u> . Public access shall be permitted on the landscaped area adjacent to the undercrossing (in addition to the dedicated access easement).	For lifetime of development agreement (February 6, 2026).	Completed	The undercrossing and connecting pathways are open for public use.
12.	<u>Future Pedestrian/Bike Access</u> . If a public transit agency provides service proximate to the West Campus, and locates a stop near Willow Road and the rail spur and there is not a convenient alternative to service adjacent properties, owner will work with City to explore a bike/pedestrian route on the West Campus.	For lifetime of development agreement (February 6, 2026).	Conditional	Additional transit service in proximity to the West Campus is has not been established. No action required.
13.	<u>Facebook East Campus Benefits</u> . If some of the commitments under the East Campus DA terminate, they shall be required under the West Campus Development Agreement.	Until the earlier of (i) Owner and Facebook vacate WC, or (ii) February 6, 2026.	Conditional	East Campus Development Agreement still in effect, this requirement is not applicable for the 2016-2017 period.

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ATTACHMENT F WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT ONE TIME ACTIONS OR IMPROVEMENTS				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
6.6.1A	<u>Sales and Use Taxes, Building 21.</u> For all construction work performed on the project, should include a provision in all construction contracts for \$5,000,000 or more to record a sub-permit from CA State Board of Equalization to book and record construction materials purchases/sales as sales originating in the City throughout duration of construction through occupancy. ¹	Applicable throughout duration of construction through occupancy (not applicable to future remodeling or construction).	Completed	Facebook has been working with the City's consultant to ensure maximum possible use tax is collected from construction materials.
6.6.1B	<u>Sales and Use Taxes, Building 22.</u> For all construction work performed on the project, should include a provision in all construction contracts for \$5,000,000 or more to record a sub-permit from CA State Board of Equalization to book and record construction materials purchases/sales as sales originating in the City throughout duration of construction through occupancy. ¹	Applicable throughout the duration of construction and initial occupancy (not applicable to future remodeling or construction).	Conditional	No construction has started on Building 22.
6.6.1C	<u>Sales and Use Taxes, Hotel.</u> For all construction work performed on the project, should include a provision in all construction contracts for \$5,000,000 or more to record a sub-permit from CA State Board of Equalization to book and record construction materials purchases/sales as sales originating in the City throughout duration of construction through occupancy. ¹	Applicable throughout duration of construction through occupancy (not applicable to future remodeling or construction or to future sales or transient occupancy taxes).	Conditional	No construction has started on the Hotel.

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**ATTACHMENT F
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1.1	<u>Dumbarton Transportation Corridor Study</u> . Facebook has committed \$1,000,000 in funding to SamTrans to conduct the Dumbarton Transportation Corridor Study. The purpose of the study is to evaluate ways to improve the existing rail line as a multi-modal transit corridor.	Estimated completion date was April 2017	Completed	
7.1.2	<u>Funding Recommendations from Dumbarton Transportation Corridor Study</u> . Facebook agrees to fund future recommendations arising from the Dumbarton Transportation Corridor Study in the amount of up to \$1,000,000. Facebook shall evaluate the recommendations contained in the Dumbarton Transportation Corridor Study and provide a written proposal identifying recommendations for how the Dumbarton Corridor Funding should be allocated for review by the City Manager or his or her designee.	Within 90 days after SamTrans publishes the final version of the Dumbarton Transportation Corridor Study, submit proposal for review of City Manager. Within 60 days of occupancy of Building 21 or City's approval make funding available	In Progress	
7.1.3	<u>Dumbarton Rail Trail Study</u> . Facebook has committed \$700,000 in funding to SamTrans for the pre-design and environmental clearance of a pedestrian/bicycle path between East Palo Alto and the Redwood City Caltrain Station.		Completed	
7.1.4	<u>Transportation Management Association Feasibility and Implementation Strategy</u> . Facebook agrees to make a one-time payment in the amount of \$100,000 to the City to be set aside in a special fund and earmarked for the development of a Transportation Management Association Feasibility and Implementation Strategy study ("TMA Study").	Such payment shall be required within sixty days of the City's request for payment.	Conditional	

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**ATTACHMENT F
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1.5	<u>Regional Transportation Forum</u> . Facebook shall sponsor a forum in partnership with officials from the City, East Palo Alto, San Mateo County, and Santa Clara County to consider and evaluate innovative ways that the recommendations of the Dumbarton Transportation Corridor Study may be executed with minimal delays. Facebook shall commit \$1,000,000 in funding to sponsor this forum.	Commence the process of facilitating this forum within six months of the date the final version of Dumbarton Corridor Study and convene the forum within two years of starting the process.	In Progress	
7.1.6	<u>Chilco Streetscape Improvements (Phases 3 and 4)</u> . Facebook shall complete certain capital improvements associated with Phases 3 through 4 of the Chilco Streetscape Improvements at its sole cost. Facebook shall coordinate the design of the Chilco Streetscape Improvements with the City and shall provide detailed plans and specifications for construction of the improvements to the City for final review and approval. Facebook shall pay for and cause the construction of the Improvements: (1) Complete the Phase 3a and 3b improvements; and (2) Complete the Phase 4A and 4B improvements.	Prior to the City's final building inspection of Building 21 Prior to the date of the City's final building inspection of Building 22	In Progress	

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**ATTACHMENT F
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
7.1.7	<p><u>Chilco Streetscape Improvements (Phases 5 and 6).</u> Facebook shall also complete certain capital improvements associated with Phases 5 and 6 of the Chilco Streetscape Improvements, at its sole cost. Facebook shall be entitled to a credit against any construction road impact fees imposed on the Project in an amount equal to the actual costs of constructing Phases 5 through 6. Subject to the City Manager's approval of the design for Phases 5 and 6 of the Chilco Streetscape Improvements. If permits or approvals are required from outside agencies and such permits or approvals delay issuance of permits or completion of construction, or if construction is delayed for reasons beyond Facebook's reasonable control, then Facebook shall have such additional time to complete such capital improvements as may be reasonably necessary resulting from such delays beyond Facebook's reasonable control.</p>	<p>Schedule will be mutually determined agreed upon by Facebook and the City. The schedule has not yet been established.</p>	Conditional	

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**ATTACHMENT F
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
8.1.1	<u>Housing Inventory and Local Supply Study.</u> Facebook agrees to collaborate with officials and local stakeholders in the City and East Palo Alto to conduct a Housing Inventory and Local Supply Study to assess the conditions, occupancy, and resident profiles of residents living in the immediate vicinity of the Property (including, but not limited to Belle Haven, Fair Oaks and the City of East Palo Alto). Facebook agrees to fund up to \$350,000 for the study and shall be responsible for selecting a qualified consultant to undertake the study.	Within thirty days of satisfaction of the Conditions Precedent, and shall use diligent good faith efforts to complete the study within eighteen months from commencement. Within thirty days of completion of the study, Facebook shall provide a copy of the study to the City Manager of the City of Menlo Park and the City Manager of the City of East Palo Alto.	In Progress	
8.1.2	<u>Housing Innovation Fund.</u> Facebook shall establish a Housing Innovation Fund to identify near-term actions that may be taken within the local community (including Belle Haven and East Palo Alto) as a direct outcome of the Housing Inventory and Local Supply Study. Facebook shall commit \$1,500,000 to establish the Housing Innovation Fund and provide seed funding for near-term implementation actions.	Prior to completion of the Housing Inventory and Local Supply Study described in Section 8.1.1.	Conditional	

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**ATTACHMENT F
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
8.1.3	<u>Affordable Housing Preservation Pilot Program.</u> Facebook shall work in partnership with a reputable non-profit affordable housing partner to create and/or provide funding for a Housing Preservation pilot project. Within one year of satisfaction of the Conditions Precedent, Facebook shall identify an appropriate non-profit affordable housing partner and contribute \$1,000,000 towards a suitable Housing Preservation pilot project, to be determined by Facebook at Facebook's sole and absolute discretion.	Within one year of satisfaction of the Conditions Precedent.	Conditional	
8.1.5	<u>Use of BMR Housing Fees.</u> Facebook will be entering into a Below Market Rate ("BMR") Housing Agreement with the City to satisfy the requirements under Chapter 16.96 of the City's Municipal Code. As part of the implementation of the BMR Housing Agreement, Facebook shall use diligent good faith efforts to identify opportunities to partner with a non-profit housing organization in order to leverage the use of BMR housing fees payable in connection with the Project to develop the maximum number of units.	Concurrent with the recordation of the Development Agreement and BMR Agreement.	Conditional	First payment or delivery of units due within two years of date City issues first building permit for each building.
8.1.6	<u>Commitment to Design Housing Units Pending Completion of General Plan Update.</u> Subject to completion and approval of the pending ConnectMenlo process. Facebook shall commit to the planning and design of at least 1,500 housing units on the approximately 56-acre site known as the Menlo Science & Technology Park. Facebook further agrees that any future application to develop residential units will include a commitment to include no less than 15% BMR units and/or workforce housing units.	Subject to completion and approval of the ConnectMenlo General Plan Update	In Progress	Willow Campus Masterplan submitted on July 6, 2017 with 1,500 housing units proposed.

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**ATTACHMENT F
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
9.1.4	<u>Bedwell Bayfront Park Maintenance.</u> Facebook shall contribute \$1,000,000 to the Bedwell Bayfront Park Maintenance Fund for maintenance and operation.	Within one year of satisfaction of the Conditions Precedent	Conditional	
9.2	<u>Design and Environmental Commitments.</u> Owner will design building to be LEED Gold equivalency or better. Enhanced soil remediation/cleanup measures consistent with the Soil Management Plan for the Property.	Prior to final sign-off on building permit for the Project	In Progress	
9.2.1	When performing work that might affect the bay lands, Facebook will hire environmental consultant to ensure that endangered species are not harmed	Concurrent to and during construction of Project	In Progress	
9.2.5	Facebook will use best practices to ensure building elements do not create sites for predatory bird species to roost or nest.	Concurrent to and during construction of Project/Ongoing	In Progress	
9.2.6	Fund seasonal docent for two year for the Don Edwards National Wildlife Refuge	Within 90 days of completion of the bridge improvements	Conditional	
9.2.7A	<u>Recycled Water System.</u> Contributions to Future District-Wide Recycled Water Systems. Facebook agrees to use diligent good faith efforts to install a recycled water system on the Property to serve Buildings 21 and 22. (If Facebook is unable to obtain all permits necessary to construct and operate an on-site recycled water system Facebook agrees to: (a) connect the office buildings to any future recycled water system for landscaping and non-potable uses for Buildings 21 and 22, (b) offer to provide the Recycled Water Purveyor with initial funding not to exceed \$1,500,000 to finance the development and	Concurrent with construction of Building 21	In Progress	

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**ATTACHMENT F
WEST EXPANSION CAMPUS DEVELOPMENT AGREEMENT
ONE TIME ACTIONS OR IMPROVEMENTS**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
	<p>construction of a recycled water system capable of serving the Project in exchange for a credit against future capital expense charges, and (c) if the Recycled Water Purveyor's does not accept Facebook's offer to provide initial financing Facebook shall pay reasonable proportionate share of Recycled Water Purveyor's costs of developmeing and/or implementing the system.)</p> <p>If the Recycled Water Purveyor develops an area-wide recycled water system serving multiple properties in the Bayfront Area, Facebook agrees that any applications submitted by Facebook or its affiliates to develop buildings (other than the buildings proposed as part of the Project) in the Bayfront Area will include a commitment to pay a reasonable proportionate share of the Recycled Water Purveyor's costs of developing and/or implementing the system in a manner consistent with conditions imposed on other similarly situated projects in the Bayfront Area.</p>			
9.2.7B	Facebook agrees to contribute \$25,000 in seed funding to the City to conduct feasibility studies for a Bayfront Area-wide recycled water system.	Within sixty days of the occupancy of Building 21.	Conditional	

1. This requirement was originally described as ongoing since it applied to three buildings. But because each building is a discrete construction event, these items have been classified as one-time actions for the purpose of this evaluation.

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ATTACHMENT G WEST CAMPUS EXPANSION DEVELOPMENT AGREEMENT ONGOING ACTIVITIES				
DA Term	Task/Requirement/Action*	Timeline	Status	Notes
6.1	<u>Recurring Public Benefit Payment.</u> Within sixty days of the later of: (a) City sign off on final building permits allowing occupancy of Building 21 by Facebook or (b) Facebook's receipt of City's request for payment, Facebook will commence making an annual payment of \$300,000 per year to the City.	Payments are due on July 1 beginning after building occupancy is approved and continue for 20 years.	Conditional	Building 21 is not yet occupied.
6.2	<u>Interim In-Lieu Sales Tax Payment.</u> Within sixty days of the later of: (a) City sign off on final building permits allowing occupancy of Building 21 by Facebook or (b) Facebook's receipt of City's request for payment, Facebook will commence making an annual payment of \$336,000 per year to the City. Facebook shall continue to make annual Interim In-Lieu Sales Tax Payment until the Guarantee Commencement Date, defined in Section 6.3.1.	Payments are due on July 1 beginning after building occupancy is approved For Building 21 and until the Guarantee Commencement Date years	Conditional	Building 21 is not yet occupied.
6.3	<u>Hotel TOT Guarantee Payments.</u> Beginning on the Guarantee Commencement Date and throughout the Guarantee Payment Period, Facebook shall guarantee TOT payments to the City in the amount of the Revenue Benchmark (\$1.25 million) and shall pay to the City the TOT Guarantee Payments to the extent required under, and on the terms and conditions contained in, this Section 6.3. Facebook shall receive a credit against the Revenue Benchmark for Hotel Revenue received by the City during the Guarantee Payment Period, as defined in Section 6.3.1. (The negative difference, if any, between the Revenue Benchmark and the Hotel Revenue is the "TOT Guarantee Payment.")	Payment due on July 1 following the second full fiscal year from Guarantee Commencement Date and shall continue for 39 years.	Conditional	The Guarantee Commencement Date has not occurred.
6.3.7	<u>Transient Occupancy Tax.</u> Applicable tax rate for the hotel shall be set one basis point higher than the applicable TOT rate for the City.	Concurrent with the commencement of operations for the hotel	Conditional	

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**ATTACHMENT G
WEST CAMPUS EXPANSION DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
6.4.1	<u>Property Tax Guaranty.</u> Facebook agrees to provide an independent property tax guaranty with respect to Building 21 such that the value of the Property, improvements only, following completion of the Project will be at least \$325,000,000. ¹	Payment due the first tax fiscal year following the initial reassessment of the property and shall continue for 39 years.	Conditional	Building 21 is under construction and not occupied
6.4.2	<u>Property Tax Guaranty.</u> Facebook agrees to provide an independent property tax guaranty with respect to Building 22 such that the value of the Property, improvements only, following completion of the Project will be at least \$305,000,000. ¹	Payment due the first tax fiscal year following the initial reassessment of the property and shall continue for 39 years.	Conditional	Building 22 has not been constructed or occupied.
6.4.3	<u>Property Tax Guaranty.</u> Facebook agrees to provide an independent property tax guaranty with respect to Hotel such that the value of the Property, improvements only, following completion of the Project will be at least \$70,000,000. ¹	Payment due the first tax fiscal year following the initial reassessment of the property and shall continue for 39 years.	Conditional	The hotel has not been constructed or occupied.
8.1.4	<u>Workforce Housing Fund Pilot Program.</u> Facebook agrees to commit up to \$430,000 per year for five years (up to a total of \$2,150,000) for the program, which represents an average subsidy of \$1,628 per unit per month.	Within one year of satisfaction of the Conditions Precedent.	Completed	Currently in the first year of the subsidized leases
9.1.1	<u>Belle Haven Community Pool Maintenance and Operations.</u> Facebook shall contribute an initial \$60,000 to the City to be applied exclusively for operating and maintenance costs for the community pool at the Onetta Harris Community Center, and shall make an additional contribution of \$60,000 on July 1 of each of the following four calendar years to the City for the same purpose.	Within one year of satisfaction of the Conditions Precedent.	Completed	Yearly commitment of \$60,000 currently being made in \$5,000 monthly payments
9.1.2	<u>Local Scholarship Program.</u> Facebook shall establish, or shall partner with an appropriate organization to establish, an educational scholarship program to provide financial assistance for young residents of the City and	Within one year of satisfaction of the Conditions Precedent.	Completed	First payment made in June 2017

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**ATTACHMENT G
WEST CAMPUS EXPANSION DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
	East Palo Alto for ten years, and shall contribute \$100,000 per year for ten years in scholarship funds.			
9.1.3	<u>Local Community Fund.</u> Facebook shall contribute an additional \$100,000 to the Local Community Fund (“LCF”) previously established and funded by Facebook, and shall continue to contribute \$100,000 per year to the LCF for a total period of ten years. After the ten (10) year period is complete, Facebook will consider whether to provide additional funding for the LCF.	Within one year of satisfaction of the Conditions Precedent.	Completed	First funding payment made in May 2017
9.1.5	<u>Public Open Space; Multi-Use Bridge Facility; Public Access.</u> Facebook shall construct, operate, and maintain a new two-acre publicly accessible open space and safe multi-use pedestrian/bicyclist bridge across the Bayfront Expressway as shown on the approved plans and in the Project Approvals for public use as provided for in the CDP. Construct, operate and maintain the multi-use pedestrian/ bicyclist bridge. At the end of the useful life of the multi-use pedestrian/bicyclist bridge, Facebook shall have the right to demolish the bridge improvements and shall have no obligation to replace or reconstruct the improvements. Construct, operate and maintain the two-acre publicly accessible open space Facebook. The public access right to the open space will be a right to pass by permission and Facebook will have the right to	Following the issuance of building permits for Building 21. Following the issuance of building permits for Building 22	In Progress	Delivery of open space and construction of bicycle and pedestrian bridge prior to Occupancy of Building 22.

* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.

**ATTACHMENT G
WEST CAMPUS EXPANSION DEVELOPMENT AGREEMENT
ONGOING ACTIVITIES**

DA Term	Task/Requirement/Action*	Timeline	Status	Notes
	implement reasonable rules and regulations governing such access.			
9.1.6	<u>City Services.</u> Within one year of satisfaction of the Conditions Precedent, Facebook shall contribute \$11,250,000 to the City's general fund to be spent in the sole discretion of the City on services that benefit the community. [Modification to the original Development Agreement.]	Payment shall be required on July 1 of each fiscal year beginning in 2018	Conditional	
9.2.2	Facebook will cooperate with Don Edwards Refuge team and nonprofits on habitat protection and restoration adjacent to the Project Site.	Ongoing	In Progress	
9.2.3	Facebook will educate employees and visitors about species next to the Property	Ongoing	Conditional	May include interpretive signage implemented upon completion of bike/ped bridge
9.2.4	Facebook will engage in wildlife-friendly behavior	Ongoing	In Progress	

1. It is expected that the site will be merged and that the merged site will be assessed as a single tax parcel. When this occurs it will be necessary for the parties to agree upon a methodology for determining the assessed value of Building 21, Building 22 and the Hotel (as applicable). As Building 21, Building 22, and the Hotel are completed, the parties shall confer in good faith and attempt to develop a means for equitably determining the assessed value of those improvements.

* The DA requirements listed here may be summarized; the complete terms are found in the recorded Development Agreement.