



REGULAR MEETING AGENDA

Date: 5/7/2018
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

- E1. Approval of minutes from the April 9, 2018, Planning Commission meeting. ([Attachment](#))

F. Public Hearing

- F1. Use Permit/Chi-Mei Chang/600 Olive Street:
Request for use permit to construct a new two-story single-family residence on a vacant substandard lot with respect to width and depth in the R-1-S (Single-Family Suburban Residential) zoning district. One non-heritage street tree is proposed to be removed and replaced. ([Staff Report #18-041-PC](#))
- F2. Use permit/Calvin Smith/36 Politzer Drive:
Request for a use permit to partially demolish and construct first floor additions to an existing nonconforming single-family residence in the R-1-S (Single-Family Suburban Residential) zoning district. The work would exceed the 75-percent value threshold for work to a nonconforming structure within a 12-month period, and therefore requires Planning Commission review of the proposed project. ([Staff Report #18-042-PC](#))

- F3. Use Permit/Kevin Rose/635 Pierce Road:
Request for a use permit to partially demolish and construct a new addition and interior modifications to an existing nonconforming one-story single-family residence in the R-3 (Apartment) zoning district. The structure is nonconforming with respect to the right side setback. The value of the work would exceed the threshold for new work to a nonconforming structure within a 12-month period. *Continued to a future meeting.*
- F4. Use Permit/HongJie Ho/2058 Menalto Avenue:
Request for a use permit to demolish an existing single-story single-family residence and construct a new two-story single-family residence on a substandard lot with respect to lot area and width in the R-1-U (Single-Family Urban Residential) zoning district. The proposal includes a request to remove one heritage-size multi-trunk plum tree. (Staff Report #18-043-PC)
- F5. Use Permit/Sepideh Agah/1655 Magnolia Court:
Request for a use permit to demolish a single-story, single-family residence and construct a new two-story, single-family residence with a basement on a substandard lot with regard to lot width in the R-1-S (Single-Family Suburban Residential) zoning district. (Staff Report #18-044-PC)
- F6. Use Permit Revision/City of Menlo Park/333 Burgess Drive:
Request for a use permit revision to use and store hazardous materials on site for use with an emergency well previously permitted at the City's Corporation Yard. The materials will either be stored within an existing building or within a separate storage tank on site and will be used to help ensure safe drinking water during an emergency. The subject site is located in the P-F (Public Facilities) zoning district. *Continued to the Planning Commission meeting of May 14, 2018.*
- F7. Zoning Ordinance Amendment/City of Menlo Park: Review and provide a recommendation to the City Council on an ordinance updating the community amenities requirement for bonus level development in the R-MU (Residential Mixed-Use) zoning district. (Staff Report #18-045-PC)

G. Regular Business

- G1. Selection of Planning Commission Chair and Vice Chair for May 2018 through April 2019. (Staff Report #18-046-PC)

H. Informational Items

- H1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: May 14, 2018
 - Regular Meeting: June 4, 2018
 - Regular Meeting: June 18, 2018

I. Adjournment

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at www.menlopark.org and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting the Planning Division at 650-330-6702. (Posted: 05/02/18)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



REGULAR MEETING MINUTES - DRAFT

Date: 4/9/2018
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Drew Combs called the meeting to order at 7:00 p.m.

B. Roll Call

Present: Andrew Barnes, Drew Combs (Chair), Susan Goodhue, Larry Kahle (Vice Chair), John Onken, Henry Riggs, Katherine Strehl

Staff: David Hogan, Contract Planner, Kaitie Meador, Associate Planner, Michele T. Morris, Assistant Planner, Ori Paz, Assistant Planner, Kyle Perata, Senior Planner, Matt Pruter, Associate Planner, Thomas Rogers, Principal Planner

C. Reports and Announcements

Principal Planner Rogers said the applicant for the 1049 Almanor Avenue project and his neighbor had concerns with the number of heritage trees to be removed as recommended by the City Arborist. He said the Planning Commission approved the project on March 12, 2018. He said since then, the applicant and neighbor met with the City Arborist, and one of the three heritage trees to be removed would be retained. He said with that neighbor would not appeal the project approval.

Principal Planner Rogers said the Housing Commission would meet this week and make recommendations regarding the Below Market Rate Housing (BMR) agreements for the Guild Theater project, the Santa Cruz Avenue and Merrill Street project that the Planning Commission had seen as a study session, and the 409 Glenwood Avenue project, which was an eight-unit residential project that would come to the Planning Commission for approval. He said an R-MU District public amenities discussion and a potential update to the BMR nexus fees associated with commercial development might come to the Planning Commission for consideration. He said the City Council at its March 17 meeting would consider the requirement for a regular review of the Downtown Specific Plan as that had gotten slightly off schedule due to staff transitions. He said the Council would provide direction and that would come to the Commission for consideration.

Commissioner Henry Riggs asked if staff could provide their recommended changes to the El Camino Real Downtown Specific Plan to the Commission prior to publication of the staff report for the City Council. Principal Planner Rogers said the Council had previously received recommendations on the Specific Plan review from the Planning Commission in 2015, and had provided a set of recommendations that had been given to staff to work on. He said the staff person working on those had since left City employment. He said staff would bring those recommendations to the Council as a start point on March 17 to see if the Council was still

interested in pursuing them, and whether any other items should be included.

Commissioner Katherine Strehl said the Planning Commission should have an opportunity to weigh in on the BMR requirement for the R-MU District. Principal Planner Rogers said he would pass that message along. He said the Housing Commission staff reports were available for anyone interested.

D. Public Comment

- Pamela Jones, Menlo Park, said she lived about three doors away from 777 Hamilton Avenue. She noted multiple projects occurring in the M-2 area. She said she did not know what the area would look like as there was no one place to view the culmination of the projects and what impacts those might have visually. She requested 3-D models be required for projects in the M-2 area to show exactly where projects were located and what they would look like in comparison to other buildings in the area. She said having a more realistic idea of traffic impact from those M-2 projects was also desirable noting impacts to Willow Road, University Avenue and Bayfront Expressway from development in the M-2.

Replying to Chair Combs, Principal Planner Rogers said he would provide Ms. Jones' comments to Principal Planner Deanna Chow, lead staff on the zoning districts formerly known as the M-2, for Ms. Chow to reply to Ms. Jones. Chair Combs asked for the Commission to also receive Ms. Chow's response.

E. Consent Calendar

- E1. Approval of minutes from the March 26, 2018, Planning Commission meeting. ([Attachment](#))

Chair Combs noted that Commissioner Henry Riggs had emailed modifications to the March 26, 2018 minutes.

- Page 5, 3rd full paragraph, 3rd line: Replace "He said that similar to was the standard noting the City Council had considered a suggestion to change the language to compatible with but had not." with "He said that "similar to" was the standard noting the City Council had considered a suggestion to change the language to "compatible with" but had not."
- Page 13, Middle paragraph, under "Commission Comment" 1st line: Replace "Commissioner Riggs said that the project was a charming, sensitive, and well-designed from multiple views project." with "Commissioner Riggs said that the project was charming, sensitive, and well-designed from multiple views."
- Page 26, last full paragraph, 1st line: Replace building base with "building base" be in quotes

- E2. Architectural Control/Merrie Asimow/1275 Trinity Drive:
Request for architectural control review for exterior modifications of a townhome, including the enclosure of an open patio area, on a lot in the R-E-S (X) (Residential Estate Suburban, Restrictive) zoning district. ([Staff Report #18-031-PC](#))

ACTION: Motion and second (Strehl/ Goodhue) to approve the consent calendar with modifications to the minutes of March 26, 2018, passes 7-0.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:
 - a. The general appearance of the structure is in keeping with the character of the neighborhood.
 - b. The development will not be detrimental to the harmonious and orderly growth of the city.
 - c. The development will not impair the desirability of investment or occupation in the neighborhood.
 - d. The development provides adequate parking as required in all applicable city ordinances and has made adequate provisions for access to such parking.
 - e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.
3. Approve the architectural control subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans provided by JC Construction, consisting of six plan sheets, dated received April 3, 2018, and approved by the Planning Commission on April 9, 2018 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, Recology, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance.

Chair Combs noted the full agenda and asked applicants to limit their presentations to five minutes. He said Commission Goodhue would recuse herself from Item F1.

F. Public Hearing

- F1. Use Permit/Darby Brennan/824 Woodland Avenue:
Request for a use permit to demolish an existing single-story single-family residence and construct a new two-story single-family residence on a substandard lot with respect to lot width and lot area in the R-1-U (Single Family Urban Residential) zoning district. One heritage size privet tree is proposed for removal as part of this project. ([Staff Report #18-032-PC](#))

Staff Comment: Assistant Planner Michele Morris said the applicant had distributed some additional information to the Commission and public.

Applicant Presentation: Krista Rosa introduced her husband Darby Brennan. She said they bought their home in December of 2009. She said originally they considered the property as their starter home but they fell in love with their neighbors, the area and the school systems. She said with two children they needed more living space.

Toby Long, project architect, said part of the proposed home would be built offsite. He said the proposed design was very livable.

Commissioner Larry Kahle asked the architect to talk about the stained wood screens and privacy. Mr. Long said he had used cedar slat screens to both filter light and control views. He said they were using the screens for a large bedroom window facing the street to control privacy. He said they mounted the window systems to the outside window frame with exposed bolts to remove for window maintenance. Commissioner Kahle noted that some were full screens and others partial. Mr. Long said they pulled some screens down to allow for light but all screened at least from head level down providing for privacy. Commissioner Kahle said his concern as noted in the staff report was privacy to the homes on either side. He said the proposed screens did not seem to be on the windows that would have the biggest privacy impacts. Mr. Long said the property had a lot of vegetation along the property lines and they did not see an issue with privacy but they were open to suggestions. Commissioner Kahle said generally views toward the front and back would be fine but views to the sides should be better screened. Mr. Long noted that some of the side windows needed to be egress and in other projects they had used opaque glass in those windows to address privacy concerns. Commissioner Kahle said he would like to see consistency with the window sizes and sill heights, noting that with the latter there were only three different heights but they seemed to go up and down. He said the sill on the front right window as it turned the corner was a lot lower. Mr. Long said there were three window types noting larger square ones at the front façade and stairwell. He said they were using the thinner windows on the corners as a delicate touch to open up the edges. He said the six 30-inch by 35-inch windows on the sides would also serve as egress. He said they could look at window sills for consistency if that was something the Commission found was important. Commissioner Kahle noted the new home would be at the front property line or about eight feet forward from where the existing home was. He said that this seemed more impactful to the street than the neighboring two homes. Mr. Long said the lot and building envelope were small. He said it was hard to see where the property line was as the road curved there. He said he thought it would have visual depth from the street and the project would follow the parking pattern that was there currently. Commissioner Kahle asked about the siding on

the garage. Mr. Long said it was sealed stained cedar.

Commissioner Strehl said she thought the black garage door was very prominent and dense. Mr. Long said it was as a contrast to the wood to bring in the painted elements and accent material.

Chair Combs opened the public hearing.

Public Comment:

- Brent Gordon introduced his wife Leigh Ann and said they lived across the street from the subject property and supported the project. He said their area has had a lot of redevelopment and they liked the diversity in the new homes. He said they had reviewed the proposed plans and thought they were great.

Chair Combs closed the public hearing.

Commission Comment: Commissioner John Onken said he thought the project was well conceived. He said the design was great and added to the eclectic nature of the neighborhood. He said he agreed with Commissioner Kahle that the two large bedroom windows on the north side as they were so close to the property line created a privacy issue. He said as a condition he would want those windows to either have privacy glass, more cedar slat screening, or a smaller window size.

Commissioner Kahle said it was a great design. He said he would move approval of the project with the conditions in the staff report and two additional conditions. He said the first was for the applicant to review the windows in terms of consistency of size, sill heights and privacy to include the location of the stained screens. He said the second was to locate the house four feet back from the street than where it was currently proposed.

Commissioner Riggs said he had reservations about the requested additional setback. He said the left face of the project lined up with the neighboring house and it was only the garage that stepped forward. He said he shared Commissioner Strehl's concern about the black garage door, noting he did not think he had ever seen a black metal garage door in Menlo Park.

Commissioner Andrew Barnes said the applicant had taken an inherently boxy architecture and had done a great job. He said the design was a reasonable height at 23-feet, the materials were nice, and the project had a well-thought out landscape plan that would both screen and soften the project. He asked if the garage door was black or bronze. Mr. Long said the garage door was not black and the darker color was hot roll steel with a natural patina. Commissioner Barnes said he thought that would add interest and he was fine with the garage door as proposed. He said he was fine with the setback of the proposed project with the garage up against the property line. He said other than the identified window issues the project was approvable.

Commissioner Onken said he could not support moving the location of the proposed house. He said the color of the garage door was not a planning matter but a matter of taste.

Chair Combs said most of the Commissioners found the design to be nicely done but he did not particularly like it. He said however that he would not require any other conditions for the project. He said the location of the house was fine. He noted that the street curved around so homes did

not need to be aligned perfectly straight. He said he had no foundation for questioning the color of the garage door. He said his concerns with privacy for this project were less than others and he thought the windows and sizes were fine.

Commissioner Strehl said she did not think the house location should be changed. She noted the garage was set back 20 feet from the front property line, which was the required setback.

Commissioner Riggs asked about the fascia. Mr. Long said it was a flat fascia. Commissioner Riggs said the scale of the garage door lacked some finesse. He asked about the finished material noting raw metal was not a finish. He said for the record that the rendering did not reflect the materials as it was described in words by the architect. Mr. Long said they had worked with a number of companies to get a finish-less door to which they were able to apply wood and metal panels. He said this was a 22 to 26 gauge piece of metal that was hot rolled and had some texture. He said they had been able to apply a black stain noting several blackening products that were hand applied giving it a more organic look than just painting or powder coating it.

Chair Combs said the motion made was to approve as recommended with conditions to review windows for consistency of size, sill height and privacy and move the house back four feet.

Commissioner Riggs moved approval of the project with consideration of landscape screening particularly on the right side as the right side neighbor did not have a setback in which to plant screening. He said that was for review and approval by staff.

Commissioner Kahle noted there were two motions on the table with no seconds for either. He said he would modify his motion to require the house to be located two additional feet back from the front property line to reduce the mass of the garage that was fairly prominent. He said he would want a review of windows for consistency of size, sill height and privacy through staff and conformance review.

Commissioner Barnes said Commissioners did not seem to support moving the location of the house. He said if Commissioner Kahle would drop that condition he would second the motion. Commissioner Kahle said he would drop that condition. Commissioner Barnes said he would second the motion as modified.

Commissioner Strehl said she was going to second Commissioner Riggs' motion and asked if the motions were different. Chair Combs said Commissioner Riggs' motion was to approve with consideration of landscape screening particularly on the right side and had no conditions about the windows. He said Commissioner Kahle's motion was to approve with a condition to review windows for consistency of size, sill height and privacy.

Principal Planner Rogers asked if the revision of the windows requested was only through staff review and approved through the building permit process or whether it was to go through the memo conformance process that would involve an email to the Planning Commission. Commissioner Kahle said through staff review and approval.

Commissioner Riggs asked if staff's review of the windows included the option for landscape screening if it would solve the window issue. Commissioner Kahle said he would accept that addition to his motion. Chair Combs said to clarify that meant the applicants might either change the windows or provide some type of landscape screening to address privacy. Commissioner

Kahle said that it also could be some combination of revision of window size and sill height and landscape screening. Commissioner Barnes as the maker of the second said he would also accept the change to the motion.

Commissioner Onken said the landscape plan showed decorative grass proposed for the perimeter fence. He said to provide landscape screening onsite would require skinny and tall plants. Commissioner Riggs said there were plantings he had used successfully. He said the motion was to revise windows and/or add landscape screening.

Chair Combs said his preferred option was the one that imposed the least amount of limits on the applicant in regards to mandates for landscaping or changing windows. He said his concern was the motion as stated was not clear as to what was the desired outcome was. He said it might be adding trees, it might be raising sill heights, it might be opaque glass and was not a definite set of instructions, which made him uncomfortable.

ACTION: Motion and second (Kahle/Barnes) to approve the use permit as recommended in the staff report with the following modifications; passes 6-0-1 with Commissioner Goodhue recused.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by CH X TLD, Toby Long Design, consisting of 24 plan sheets, dated received April 3, 2018 and approved by the Planning Commission on April 9, 2018 except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.

- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the recommendations in the arborist report by Insideout Design, Inc. dated November 20, 2017.

4. Approve the use permit subject to the following **project-specific** condition:

- a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a revised arborist report and revised plans regarding trees numbered 90, 91 and 92 addressing the following, subject to the review and approval of the Planning Division:
 - i. Revise the site and landscape plans to state the species (a 24-inch scarlet oak) of the replacement planting, and the location of the replacement planting for tree #90. This condition shall not be applicable if the replacement requirement is waived by the City Arborist.
 - ii. Revise the arborist report and plans to state that trees #91 and #92 will each be replaced with 24-inch box valley oak trees.
- b. ***Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans addressing the following: revise the windows to improve consistency of size, window sill heights, and privacy concerns, and/or modify the plans to include landscape screening on the right side of the subject property. The revised plans shall be subject to the review and approval of the Planning Division. The windows and/or landscape screening shall be reviewed on-site and approved by Planning Division staff prior to building permit final inspection.***

F2. Use Permit/Omar Haque/1380 Corinne Lane:
Request for a use permit to demolish an existing one-story single-family residence and construct a new two-story single-family residence with an attached two-car garage on a substandard lot with respect to lot area in the R-E-S (Residential Estate Suburban) zoning district. ([Staff Report #18-033-PC](#))

Chair Combs said Commissioner Goodhue had returned to the dais.

Staff Comment: Associate Planner Matt Pruter said staff had no additions to the written staff report.

Applicant Presentation: Steve Borlik, Young and Borlik Architects, Los Altos, project architects, said this project needed a use permit as the lot size lacked two square feet to conform. He said

they were developing a new home for the current owners of the property to live in. He said it was a traditionally inspired new house with support letters from neighbors. He said as far as they knew the project was not contentious.

Commissioner Kahle said he was friends with Mr. Borlik and used to work for his company. He said that he did not need to recuse himself from consideration of this project. He asked about the soapstone siding material and if the applicant had used that before. Mr. Borlik said he had seen that in the staff report but they had not yet selected a final stone material. He said they were more particular about the texture and the division of the stone and technically he did not think that would be soapstone. Commissioner Kahle asked why a sheet about a flow pump was included in the drawings. Mr. Borlik said there was an existing pool equipment enclosure that did not meet current zoning standards, and needed removal. He said in working with staff they were not able to prove the decibel rating of the existing pool equipment so they chose to provide a new piece of pool equipment with a DB rating that could be substantiated. Commissioner Kahle asked about the two different roof pitches and two different roof materials. Mr. Borlik said the house had a very playful nature that the owners brought into the design. He said some unusable attic space was being counted as square footage and to minimize the attic space they decided to go for a lower pitch metal roofing system and tie that into the rear of the house.

Commissioner Goodhue asked if they had ever done another project with a standing seam metal roof and an asphalt roof. Mr. Borlik said that they have. He said the metal roof was often combined with the wood shingles and composition asphalt as a highlight.

Chair Combs opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Riggs said the project was very attractive, well thought out in terms of detail and respectful of its location and the surrounding neighborhood. He moved to approve as recommended in the staff report. Commissioner Kahle seconded the motion commenting that he had some concern with the mixing of roof materials and having six different roof pitches. He said the massing of the house was very nice and the approach to parking from the side with no visibility of the garage door was nice. He said the playful touches such as the tapered walls on the second floor were also very nice.

Commissioner Onken said he had concerns with vertical composition shingle and thought the applicant could reconsider that. Recognized by the Chair, Mr. Borlik said the roof material was the composition shingle and the walls were wood material. He said the rendering was correct and the plan was incorrect.

ACTION: Motion and second (Riggs/Kahle) to approve the project as recommended in the staff report to include typographical corrections; passes 7-0.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed

use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.

3. Approve the use permit subject to the following **standard** conditions:

- a. Development of the project shall be substantially in conformance with the plans prepared by Young and Borlik Architects, consisting of 20 plan sheets, dated received March 28, 2018, and approved by the Planning Commission on April 9, 2018, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
- b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
- c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
- d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
- g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Advanced Tree Care, dated received March 9, 2018

4. **Approve the use permit subject to the following project-specific condition:**

- a. **Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised project plans that indicate all vertical surface shingles to be wood and not composition asphalt. The revised project plans shall be subject to review and approval of the Planning Division.**

- F3. Use Permit/Neil Laderman/233 Arden Road:
Request for a use permit to demolish a single-story, single-family residence and detached garage and construct a new two-story residence and an attached single-car garage on a substandard lot

with regard to lot area in the R-1-S (FG) (Single-Family Suburban Residential, Felton Gables) zoning district. ([Staff Report #18-034-PC](#))

Staff Comment: Associate Planner Kaitie Meador said there were no additions to the staff report.

Questions of Staff: Commissioner Kahle confirmed with Ms. Meador that the 34 degree daylight plane was a Felton Gables zoning overlay requirement.

Applicant Presentation: Nicholas Thomas said he was the project manager for Arcanum, the architects for the project. He said he was representing Neil and Jo Laderman, the property owners. He said he had an additional rendering he would like the Commission to see. He said their goal was a Northern Californian style cottage home with a bit of a contemporary twist. He said the house was designed around a central courtyard with large doors opening the courtyard into the house and larger doors on the outside to the rear of the home. He said they turned the garage 90 degrees away from the street frontage. He said the second story massing was pushed toward the rear of the property. He said they did two neighborhood outreach meetings and received much positive support. He said there was some privacy concern with the rear neighbors so they revised the design to decrease the glazing by 10%, decreased window size on the sides of the property and made sure they did not align visually with neighbors' windows. He said they intended to use dark natural materials that would blend in with the surrounding trees and the neighborhood.

Commissioner Riggs said the rendering Mr. Thomas distributed seemed to show exterior wood with a very light stain. Mr. Thomas said there would be two types of stain and both would be semi-transparent to allow the natural grain of the wood to show. He said by dark he did not mean black. He said they would be wood colored but not a bright stain. He said the first floor would be a little darker. Commissioner Riggs said portions of the first floor were not wood material. Mr. Thomas said they were showing horizontal wood screen on the first floor and vertical tongue and groove on the second floor. Commissioner Riggs confirmed with the applicant that the corner of the first floor was wood.

Commissioner Kahle asked if there were other contemporary style homes in the neighborhood. Mr. Thomas said there were not. He said his company had been the architects for the home next to this site so when the subject property owners approached them for their project, his firm wanted to do a project that added to the neighborhood and also respected the neighbors by not doing a style that mimicked their work on the left side neighbor's house. Commissioner Kahle said the house on the right's staircase was located behind the chimney which seemed directly opposite from where the project's proposed staircase was. Mr. Thomas said he was not sure about the neighbor's layout as the vegetation and landscape screening between the two homes was so dense. Commissioner Kahle said the combination of vertical and horizontal siding materials might look busy from the street. Mr. Thomas said they were trying to create a house that did not appear bulky and were using two different orientations of materials to break up the massing to blend in and push back from the street. He said by using different colors and materials they were not making one huge colorful mass.

Chair Combs said he understood they did not want this project to mimic the project they had done next door but he felt like the two homes were very different, and the proposed project was different from other homes in Felton Gables. He asked for an explanation of what drove the design that was so different from any of the other homes. Mr. Thomas said most of the houses in the neighborhood were the same with large gabled masses. He said they wanted to do something that harkened

back to the 1930s and 1940s when there were Northern Californian homes that were very beautiful and worked well with bringing the outside inside the house. He said it was something fresh that would bring new life to the neighborhood.

Chair Combs opened the public hearing and closed it was there were no speakers.

Commission Comment: Commissioner Onken said contrary to the name Felton Gables that he did not think every home needed a gable. He said that it was a well-conceived house and very concise without being obnoxiously large. He said he liked the mix of materials and shapes.

Commissioner Barnes said the project conformed to the regulations of its zoning district. He said it was an innovative use of the indoors and outdoors. He said he liked the way cars were parked and what they had done with the glazing worked. He moved to approve as recommended in the staff report.

Commissioner Goodhue seconded the motion. She said she agreed with Commissioner Onken's comments. She said the project was well done and it was nice to mix up the style of the particular neighborhood. She said the project was very restrained noting that it was on a nearly 10,000 square foot lot. She said she did not think all the houses in the neighborhood needed to look the same and she hoped this project would inspire other styles.

Commissioner Strehl said the project was approvable although it was not her choice of style. She said she agreed with others that not every house had to look the same. Chair Combs said he agreed with her comments.

Commissioner Riggs said he appreciated the design and said the rendering helped. He said it was good modern architecture but he did not think it fit well in Felton Gables. He said Felton Gables was one of the few neighborhoods in Menlo Park that has maintained a distinct architectural style. He said being innovative did not necessarily support a neighborhood and its style. He said the idea that if it was traditionally formed architecture that would make all the buildings the same was quite a stretch. He said he respected the quality of the design but felt it was in the wrong neighborhood.

Commissioner Kahle said he had similar concerns as Commissioner Riggs about how this project would fit within the neighborhood. He said he liked the house to the left very much and wished this design had been closer to that design. He said the rendering was very nice and he was very conflicted as to whether to support or not. He said from the drawings the proposed design did not seem to fit with the neighborhood as well as it could. He said he was concerned with some of the contrast and orientation of the siding. He said he appreciated locating the garage to the side.

Chair Combs said he appreciated Commissioner Riggs' concern. He said he did not see what foundation he would base an objection to the project on as if this had been a standard lot in the Felton Gable zoning overlay it would have been approved.

Commissioner Strehl said that no one from Felton Gables was present to object and the applicant had done neighborhood outreach. She said since neighbors were not objecting she did not see what basis the Commission had to deny the application.

ACTION: Motion and second (Barnes/Goodhue) to approve the project as recommended in the staff report; passes 5-2 with Commissioners Barnes, Combs, Goodhue, Onken and Strehl supporting and Commissioners Kahle and Riggs opposing the project.

1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by Arcanum consisting of 13 plan sheets, dated received April 2, 2018, and approved by the Planning Commission on April 9, 2018, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
 - g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Don Araki, dated received January 3, 2018.
4. Approve the use permit subject to the following **project-specific** condition:
 - a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that there is a clear backup distance of 24 feet for the garage.

The 24-foot clear backup distance shall be paved or limited to landscaping less than two feet in height. The plans shall be subject to review and approval of the Transportation Division

G. Regular Business

- G1. Architectural Control/Chris Kummerer/1326 Hoover Street:
Request for architectural control for exterior modifications and landscape improvements to an existing 10-unit multi-family building on a standard lot in the R-3 (Apartment) zoning district. The applicant has requested heritage tree removal permits for five Canary Island pine trees in good health and poor condition. ([Staff Report #18-035-PC](#))

Staff Comment: Assistant Planner Ori Paz said that three of the five heritage tree removal requests had been denied by the City Arborist. He said removal of trees #19 and #21 had been approved.

Applicant Presentation: Chris Kummerer, CKA Architects, Menlo Park, said the goal for the renovation was to update the existing 1970s building by removing the Mansard roof on all four sides and modernize the building. He said they would unify the façade using new smooth stucco on all sides of the building. He said a new cornice would be put at the top wrapping around the building and windows would be replaced “like-for-like” for the entire building. He said the site was surrounded by trees noting there were 21 pine trees making the side of the building difficult to see from the street. He said the building was somewhat T-shaped and a portion of that T obscured the sides.

Commissioner Onken said he recalled this project or a site nearby had come before the Commission with some tree issues. Principal Planner Rogers said not for this project site and he could not immediately think of another project nearby that had had tree issues.

Commissioner Kahle said the staff report stated that the sides and rear of the building were not getting the same upgrades as the front of the building. Mr. Kummerer said that was not correct. He said they were trying to wrap the upgrade elements all around the building. He said some of the T-11 siding would remain at the rear on the lower floor but only at that location. He said the new stucco he mentioned was on the upper floor in the rear. Commissioner Kahle said the horizontal banding on the front would appear monolithic if it was all the same color and finish. He asked if there was consideration of what the banding could be otherwise. Mr. Kummerer said that was a good thought and they had not discussed changing the color on the banding. He said the clients were going for a classic look that did not have too much contrast. He said they did vary the color of the stucco at the base to make it look heavier. Commissioner Kahle suggested altering the banding with either color or a smoother finish, or something to make it stand out. Mr. Kummerer said that was a good suggestion and they could look at that.

Chair Combs opened public comment and closed it as there were no speakers.

Commission Comment: Commissioner Onken said the improvements to the building were much needed and approvable. He said he would recommend to the applicant that the front façade was very monolithic. He said although some banding and texture were being added he suggested they consider coloring the large vertical panels slightly differently. He said the insets to either side of the main bay in the middle could be a slightly different color and the building would read as five townhomes as opposed to one large mass.

Commissioner Riggs said he liked the architecture and thought it went well with Hoover Street. He said the building had a classic symmetry and he was supportive of the project. He said some of the finishes on the building might contain asbestos and that would cause problems with doing smooth finish.

Recognized by the Chair, Mr. Kummerer said the building was built in 1973. He said they were removing the comp shingle that wrapped the Mansard, which had a plywood substrate and framing behind it. He said hopefully there was no asbestos there. He said the lower floor was T1-11 and also hopefully devoid of asbestos. Commissioner Riggs asked if there was any stucco on the base level or if it was raw concrete. Mr. Kummerer said there was no stucco. He said it was rock that as it wrapped became concrete block.

Commissioner Riggs moved to approve architectural control. Commissioner Kahle seconded the motion noting the Commission had provided the applicant with three different options on how to think about the façade.

Assistant Planner Paz said for the applicant to explore the three options presented the motion would need to include some explicit flexibility for staff to review either at just staff level or with a memo of conformance provided to the Commission.

Commissioner Riggs said the project was approvable as presented. He said the suggestions for finish options were not something he thought the Commission would turn down but he was not going to include those in his motion.

Principal Planner Rogers said approval of the plans meant that the project had to match the plans as presented. He said if the applicant wanted to change the project as it had informally been discussed that would not be permitted under the recommended conditions of approval. He said if the Commission wanted to allow the flexibility the Commission would need to condition that the applicant might change the plans and in what way.

Commissioner Riggs said he would like any change in the paint reviewed through the conformance memo process. Commissioner Kahle said paint was one of the options and his was to do something different with the horizontal banding. He said he thought it could be handled at the staff level. Commissioner Riggs said he did not want to include any options in the approval. He asked staff if the applicant during construction decided they wanted to put metal trim as a horizontal band or change the paint scheme whether they come back through staff for a substantial conformance review. Principal Planner Rogers said the change evaluation process review was somewhat onerous requiring review of the minutes and how things were discussed in the staff report with the default being the project looked like the plans or they needed to come back with a request for architectural control revision. He said if they wanted to give the applicant opportunity to explore some different treatment it was preferable now within the action being taken by the Commission.

Commissioner Riggs said he understood Commissioner Kahle's desire to have some change in finish with the horizontal band such as a smoother finish or semi-gloss paint. He said the horizontal trim elements on the building could vary from the rendering in that they could be additionally smooth or have a different sheen within this approval. Commissioner Kahle suggested also using paint options. Commissioner Riggs said he wanted to keep the project as one color except for the C channel and roof. Commissioner Kahle said the metal band was suggested by the applicant. He

said he agreed with Commissioner Onken that the façade looked fairly monolithic as proposed and withdrew his second of Commissioner Riggs' motion. Commissioner Riggs said he was trying to accommodate another view but he would prefer to approve as recommended in the staff report. Commissioner Strehl seconded the motion.

ACTION: Motion and second (Riggs/Strehl) to approve architectural control as recommended in the staff report; passes 6-1 with Commissioner Kahle voting in opposition.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval:
 - a. The general appearance of the structure is in keeping with the character of the neighborhood.
 - b. The development will not be detrimental to the harmonious and orderly growth of the city.
 - c. The development will not impair the desirability of investment or occupation in the neighborhood.
 - d. The development provides adequate parking as required in all applicable city ordinances and has made adequate provisions for access to such parking.
 - e. The property is not within any Specific Plan area, and as such no finding regarding consistency is required to be made.
3. Approve the architectural control subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans provided by CKA Architects, consisting of ten plan sheets, dated received April 4, 2018, and approved by the Planning Commission on April 9, 2018 except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
 - b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, Recology, and utility companies' regulations that are directly applicable to the project.
 - c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.

- e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
- f. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Advanced Tree Care, on February 24, 2018

G2. Review of Determination of Substantial Conformance/Ben Schaefer/1010-1026 Alma Street: Review of staff determination that changes to the Public Plaza West design, including modifications to the coffee kiosk, are in substantial conformance with previous approvals. Review requested by Commissioner Kahle. ([Attachment](#))

Staff Comment: Contract Planner David Hogan said there were no changes to the memo of Determination of Substantial Conformance.

Applicant Presentation: Janice Yuen, Sares-Regis, development manager on behalf of the property owner and future occupants, said they would like to respond to questions raised by Commissioner Kahle. She said they were proposing redesign work around the West Courtyard as the result of the fallen heritage oak tree. She said as mentioned in the memo that the Commission had provided feedback on the redesign of the courtyard in September 2016 and the proposed redesign incorporated much of that feedback and stayed with the original approved design. She said the redesign had some restraints related to the fallen tree. She said requirements for additional trees, bio-retention and shading were added. She said they had met with over a dozen coffee operators in the Bay area and were having difficulty securing a lease due to the operating hours. She said the weekday operating hours made sense as that would serve commuters. She said the hours required on the weekend were difficult for operators to comply with due to the lack of pedestrian traffic in the area. She said the operators also had trouble with the configuration and orientation of the kiosk. She said they were requesting a longer continuous counter space to accommodate countertop equipment and two enclosed floor to ceiling height walls for refrigerated appliances and storage. She said this was feedback from two potential operators. She said the revised plans incorporated that feedback as well as feedback from staff. She said they were pleased to present a much better design that was more open and inviting to the public. She said the project was currently under construction and they were looking forward to delivering a beautiful building in the coming months. She said they would be ready to start on the courtyard very shortly.

Chris Haegglund, BAR Architects, showed the approved entitled plans from 2015 that had a square kiosk, a large heritage oak tree, and a plaza of 2720 square feet including the kiosk and green space. He said another scheme was presented to the Planning Commission in 2016 in which the pavilion was changed to a more rectilinear design, the oak tree was there, and the fencing was partially a metal fence screen and partially a stone wall. He provided slides showing the now proposed public plaza, the new kiosk, and a new large oak tree as well as some additional midsize trees that were being planted. He said they thought this new design was an improvement over the old design in terms of the usability and the amounts of open space and seating area. He said a pergola was being added to the west face of the building.

Gary Strang, GLS Landscape Architects, showed a slide of the originally entitled plans explaining that the dotted line was the canopy of the existing oak tree, which had been the main feature in the courtyard. He said eight understory trees were shown as part of that design. He said as the courtyard would have been 70% shaded by that oak tree, when it fell they found they needed to provide shade in the courtyard as it had both a west and south exposure. He said they would plant a large oak tree to replace the other but in a slightly different location, and add six maple trees. He said the coffee pavilion was more linear than the previous square design and was set more to the west side of the courtyard, making the courtyard more efficient with more usable outdoor space. He said 1400 square feet of the 2720 square feet of pavilion would be hardscape usable and was about 50 more square feet than what had been in the previous design. He said a transformer in the courtyard was moved to the north parking area and the trash enclosure reconfigured to make the north part of the courtyard more efficient. He showed a sample of the paving noting the color was called Agave and was a greenish gray paver. He said with the loss of the oak tree they were concerned with the reflectivity of the white pavers originally proposed and shown in the rendering. He said granite cobbles at the base of the maple trees were flexible and accessible. He said gravel was at the base of the oak tree that was being planted. He said a question that came from the Commission was about the stormwater management area. He said the huge canopy of the oak tree that fell would have satisfied their entire stormwater management but now they had to treat the water in the courtyard. He said in the new scheme they had the same area of planting but changed the use to stormwater management rather the previously proposed buckeye trees. He said those eight trees were now distributed throughout the courtyard to provide much needed shade.

Mr. Haeggglund showed a view of the proposed pergola added to the west side of the building. He said it was metal painted the same color as the pergolas and windows on the building, a warm bronze color. He said they thought it was important on the west facing side of the building to give a little shade in the courtyard as well. He said it was the same design and color as the pergola on the second floor but would not have vine plantings. He showed a view of the pavilion from Alma Street as revised. He said it had a metal roof that folded down to form the wall on the west side and then opened more to the east and the south. He said the inside of the wall with the metal face was wood cladding, the pavilion base was cement plaster, it would have a quartz sandstone countertop and a metal aluminum storefront system, and a metal roof. He said the roof and storefront system were a dark warm color similar to the building but a little darker. He said the wood siding would probably be cedar. He said as Ms. Yuen mentioned that some of the design of the pavilion was based on discussions they had with prospective tenants. He showed four elevations of the building.

Commissioner Strehl asked if the bathroom outside the coffee kiosk was intended for the public. Ms. Yuen said it was for the staff of the coffee kiosk.

Commissioner Riggs said the wing wall on the plan view stopped short of the parallel landscape pocket, which was short of the sidewalk. He said on all of the renderings the wall extended all the way to the sidewalk. Mr. Haeggglund said that those did not align. He said right now the landscaping started at the back of the sidewalk and the wall was shown back a few feet. He said they could align but they didn't think they had to. Commissioner Riggs said he would not want the wall to come all the way to the sidewalk as it invited collision and created a great place to hide and do a jump and grab. He said the difference in the two was about 10 feet although there was an adjacent planter now identified as stormwater management and another eight feet of landscaping, perhaps on the adjacent property that defined the sidewalk in a different orientation. He said there would either be pedestrian traffic 10 feet away from the wall or right on the edge of the wall. Mr. Haeggglund said what Commissioner Riggs was seeing was the existing condition, the existing

sidewalk which was narrower and the landscaping pulled closer to the street. He said for their portion of the site, which he showed on the slide, the sidewalk had been widened and street frontage improvements made. Commissioner Riggs thanked the applicant for the explanation. Commissioner Riggs confirmed with Mr. Haeggglund that on the plan the folded plane wall was about two to three feet short of the new sidewalk orientation. Commissioner Riggs said on several renderings the wall aligned with the sidewalk. Mr. Haeggglund said he would go with the plan and would not want the wall to be too long. He apologized that the renderings did not reflect that.

Commissioner Kahle said the only question he had that had not been answered was whether the bio-retention planting could be relocated to the private courtyard to get more space in the public plaza. Mr. Strang said they had screening for the parking lot from another property. He said if something happened to that other parcel and they lost the landscape buffer there, they would need to plant something. He said if they moved the bio-retention planting to the north it would take up a lot of the usable space in that private courtyard, and where it was they thought was equivalent to what they had planned there previously. Commissioner Kahle asked about the light green area to the left. Mr. Strang said that was oleander on the adjacent property. Mr. Strang said if that parking lot became another use they would lose a buffer between that property and the coffee kiosk. Commissioner Kahle said they would have a big wall as a buffer. Mr. Strang said the buffer would be for both property owners. He said that they should let the property owners address that.

Commissioner Kahle asked staff if there was any flexibility to address the operating hours. Principal Planner Rogers said he looked up the conditions of approval when they were talking and at a minimum the hours of operation were from 7 a.m. to 7 p.m. on weekdays and from 8 a.m. to 1 p.m. on weekends. He said a request to change those hours would require the applicant to return to the City for approval. He said that potential change was not part of the 4/9 meeting notice and thus could not be done this evening.

Commissioner Barnes said the project predated his service as a Commissioner. He asked if the coffee kiosk was a public amenity suggested by the applicant or requested by the City. Principal Planner Rogers said he recalled it was at the applicant's request and was not a staff suggestion, or something that had been presented independently by the Planning Commission.

Recognized by the Chair, Ms. Yuen said community benefit was required as part of the project, and the City was looking for a retail option on the site. She said the coffee kiosk came out of discussions with staff and the Planning Commission.

Commissioner Barnes asked if they had looked into whether the location had the foot traffic to be sustainable. Ms. Yuen said due to the lack of foot traffic they had hoped not to do any retail there as most of the retail was on the other side of the train tracks. She said under the Specific Plan the thought seemed to be to add retail on this side and their project was the first. She said also the project was replacing an existing restaurant. She said they knew the coffee kiosk would need to be subsidized by the owner with a lower rent amount than what would be supported on the other side of the tracks. Commissioner Barnes asked what would happen and how the community would benefit should the tenant not be able to have a feasible business and closed. Ms. Yuen said they hoped to work something out that was feasible but the feedback they were getting from potential operators was the weekend hours would have a negative impact. She said the project itself would be owner-occupied, and the property owner would be responsible for maintenance and cleaning in the public plaza.

Commissioner Barnes asked staff what would occur if a coffee kiosk was not sustainable. Principal Planner Rogers said the conditions of approval require that a recordation of covenants reflecting the conditions of the coffee kiosk occur before issuance of a building permit. He said the building permit has been issued so a recordation must have occurred. He said the applicants had received additional square footage for providing this public amenity. He said an event like that would be a matter for the City Attorney. Commissioner Barnes said that there must be some Plan B within the recordation. Principal Planner Rogers said he did not have the document and was not involved in the public benefit discussions for this project so he was not comfortable speculating. He said to Commissioner Barnes' overall point that public amenities were a challenge noting news items about developers in Palo Alto whose grocery store as a public amenity was not sustainable and the developers were being fined. He said going forward the Planning Commission would want to look critically at all public benefit proposals that were based primarily on an operational aspect. He said they could research this particular one more and get back to the Commission as he thought that the strictest of conditions had been built into the public amenity.

Chair Combs asked about the tenant owner of the property. Ms. Yuen said she was representing the developer. She said the owner was Hillspire, currently at 1010 El Camino Real, Menlo Park. Brid Arthur, Hillspire, said they were a family office as well as a series of nonprofits set up to make charitable contributions and run charitable projects. She said they have three offices in the Bay Area. She said their family office was in Menlo Park, and they have an office each in Palo Alto and San Francisco. She said the idea was to combine all the offices into one where all their functions could be under one roof. She said they particularly liked being based in Menlo Park and near the train station. She said on their nonprofit side they did environmental work, work on oceans and human rights. She said they worked for a high net family coming out of the Bay area and Google.

Chair Combs said that the coffee kiosk was sustainable by the owners' subsidies and if they had not yet found an owner for that business, they would need to continue looking and negotiating.

Commissioner Riggs said this was a bonus level project and the proposed plaza was the public benefit. He said the public plaza was part of the Planning Commission's approval and had a huge oak tree as a draw to the space. He said he could see people any day of the week wanting to come and sit under that oak tree near both a train station and the downtown. He said the benefit of that oak tree no longer existed. He said the plaza as proposed now had no core or central draw. He said it was just a space with some new landscaping and a coffee pavilion. He said regarding substantial conformance and this change to the public plaza he questioned whether this was the public benefit they had anticipated when they recommended approval to the City Council.

Commissioner Strehl said other than the oak tree the plaza and pavilion were basically what the Commission had originally approved. She said she did not think they could find the project in nonconformance because the oak tree was gone. She said the coffee pavilion was a bit larger for operational purposes and the plaza was the same square footage. She said she would find the proposed revisions to be substantially in conformance with the approved project.

Principal Planner Rogers said the plaza was definitely a key public benefit with the operation of a coffee kiosk. He said there was also an approximately \$180,000 payment that the applicant had made. He said regarding the functionality of the plaza with the loss of the oak tree that from the design perspective and the planting of the large boxed oak tree it was reaching to become a space with a similar look and feel. He said regarding the procedure for this item, the baseline was staff found the proposed revisions to be in conformance with the approved project with an opportunity

for Commissioners to request the item be agendized. He said one Commissioner made that request. He said if the Commission wanted to find the proposed revisions not in conformance there would need to be a motion and second, and four votes finding the project not in conformance. He said that staff's finding would hold otherwise.

Commissioner Strehl said she found the proposed revisions in conformance.

Chair Combs opened public comment and closed it as there were no speakers.

Commission Comment: Commissioner Goodhue said she agreed with Commissioner Strehl that what was proposed was in substantial conformance as found by staff. She said she appreciated Commissioner Kahle requesting it be agendized. She commented on how many different coffee shops were sustainable in the Bay area.

Commissioner Onken said he knew Mr. Strang and Mr. Haegglund quite well but did not need to recuse himself. He said the loss of the oak tree was tragic but he thought the proposed revisions improved the plan. He said there was less space at the back of the kiosk than originally proposed as that might have invited rough sleeping and that he liked the kiosk much better now. He said he supported substantial conformance.

Commissioner Barnes said he found the proposed revisions to be in substantial conformance, and noted overall the plaza was nice. He said he found it difficult to consider this as a public benefit and without research it was speculative as to whether retail would be sustainable in this location.

Commissioner Riggs said he found the proposed revisions in substantial conformance.

Chair Combs said he also found the proposed revisions to be in substantial conformance.

Chair Combs said that Commissioner Goodhue and he would need to recuse themselves from the Study Session item H1, and Commissioner Kahle would chair the rest of the meeting.

H. Study Session

- H1. Use Permit, Architectural Control, Heritage Tree Removal Permits, and Environmental Review/Tarlton Properties, LLC/1305 O'Brien Drive (1350 Adams Court):
Study session on a request for use permit, architectural control, and environmental review to construct a new approximately 260,400 square foot, five-story research and development (R&D) building with a portion of the parking partially below grade and a multi-story parking garage integrated into the building located in the LS-B (Life Science, Bonus) zoning district. The project site currently contains an existing approximately 188,100 square foot R&D and warehousing building (addressed 1305 O'Brien Drive) and the total proposed gross floor area at the site with the proposed project would be approximately 448,500 square feet with a total proposed floor area ratio (FAR) of 92 percent for the project site. The proposal includes a request for an increase in height and FAR under the bonus level development allowance in exchange for community amenities.
([Staff Report #18-036-PC](#))

Staff Comment: Senior Planner Kyle Perata referred the Commission to page 2 of the staff report, under "Analysis," the last paragraph on the page, and said the Maximum FAR identified should be

corrected from 100% for bonus level to 125% plus 10% for commercial uses. He said base development FAR was 55% plus 10% for commercial.

Applicant Presentation: John Tarlton, Tarlton Properties, said 1350 Adams Court represented a significant milestone in the creation of a sustainable life science center of excellence. He said the zoning district was a sustainable and growing revenue generator for the City, a generator of new and innovative companies, and generator of a broad and strong socio-economic base of jobs. He said the district provided an opportunity for public benefit for the surrounding neighborhood. He said a much broader community would benefit from more Menlo Park Labs' innovations that lowered the costs of health care and lengthened and improved patients' lives.

Mr. Tarlton said Commissioners Strehl and Riggs had previously expressed concern about the traffic and the lack of a comprehensive plan to address traffic. He said he felt similarly but noted even with the proposed addition of this building that the Life-Science (L-S) District would be at significantly less than a .45 FAR across the entire district. He said that was 10% lower than the previous cap. He said he was hopeful that they could in parallel move forward approving the early new buildings in the L-S District while working on a comprehensive traffic mitigation plan as opposed to holding back on buildings he had wanted to build for a long time and that would provide many benefits to the City.

Ron Krietemeyer, COO, Tarlton Properties, said over the last six years Tarlton Properties has been working diligently to improve the area known as the L-S District. He said the first new building in the L-S was constructed by Tarlton Properties at 1035 O'Brien Drive in 2013. He said they also redeveloped a number of buildings such as 1305 O'Brien Drive. He said Pacific Bio-Sciences now occupied that building. He said they were converting the building at 1430 O'Brien Drive into two separate buildings that would have L-S R&D and an amenity center including a fitness center, pool, and restaurant that would help support the L-S District.

Mr. Krietemeyer said he was a tenant in the L-S District for 10 years with a number of startup companies before he began working for Tarlton Properties. He said he was quite familiar with the transportation in the area and the issues in getting to and from, and around, the area. He said all of the buildings had bicycle storage and a bike share program with six locations around the L-S District. He said this proposed project would also have a bike share location. He said the building would have showers as did their other buildings. He said they have added car share programs. He said this project would have 30 vehicle charging stations. He said they currently have 120 charging stations in their business park. He said their goal was to have 200 by the end of 2019. He said they have a shuttle service that was created in 2011. He said 50 companies participate many of whom were their tenants. He said they have 567 registered riders currently which was about 40% of their tenants in the L-S District. He said 50% of those were regular riders or at least once or twice a week. He said the shuttle service had stops in Union City, the Palo Alto Caltrain Station, the Millbrae Bart Station and at two locations in San Francisco. He said the City was working on a Traffic Management Association and they would want to coordinate their program with those coming out of that Association.

Commissioner Strehl asked who managed the shuttle program. Mr. Krietemeyer said they worked with a partner and the program was managed through his office. He said they surveyed the riders annually for feedback to improve the schedule and coordinate with the operators to make that happen. Commissioner Strehl said he mentioned 58 bicycle storage units and asked if that was for this building. Mr. Krietemeyer said the 58 were for this building. Commissioner Strehl asked how

many employees were anticipated for this building. Mr. Krietemeyer said he was currently doing a density study of people in the L-S District buildings, and on the whole there were somewhere between 2 and 2.15 people per 1,000 square feet. He said that number was dependent on whether the tenant was a medical device company, bio-pharma company, or diagnostics company as they all had differences in employee density and use. Commissioner Strehl said currently they had 319 parking spaces and with the new parking garage and other parking that would increase to 966 total parking spaces. She confirmed those spaces were for the project site. Mr. Krietemeyer said some of the parking would be for Pacific Bio-Sciences as that company would lose some parking from this proposed development. He said Pacific Bio-Sciences was currently entitled for 373 parking spaces. He said he thought that number would decrease to 255 spaces due to the proposed project so that company's parking space balance would be accommodated in the parking garage.

Commissioner Barnes asked what percentage of the employees in the Tarlton Business Park comes to work by something other than single-occupant vehicle. Mr. Krietemeyer said he thought it was about 20% and they were working hard to improve the percentage. Commissioner Barnes asked what efforts they were making to improve the percentages. Mr. Krietemeyer said in essence theirs was a TMA of 50 disparate companies, all of which strove to encourage employee participation. He said those were not their employees so they could not mandate employee participation. He said the previous shuttle operator had not done a good job keeping on schedule which impacted ridership about two years ago. Commissioner Barnes asked if Mr. Krietemeyer knew how SRI managed its tenants' TDM. Mr. Krietemeyer said he was not familiar with them. Commissioner Barnes suggested there was benefit to learning about SRI's strategies. Commissioner Barnes asked about the 2 to 2.15 estimate of employees per 1,000 square feet for parking and asked why they had not used 1.5 per 1,000. Mr. Krietemeyer said that people still drove and parking ratio for a site was one of the markers the market looked and was a driver for rent levels.

Vice Chair Kahle asked if riders were charged for the shuttle service. Mr. Krietemeyer said that it was free.

Commissioner Strehl clarified with Mr. Krietemeyer that the shuttle did not run midday. She asked if they had an emergency ride home program. Mr. Krietemeyer said that was a program sponsored by companies and a number of their larger company tenants had that program. He said they also have the car shares.

Susan Eschweiler, DES Architects, said that Menlo Business Park was evolving into Menlo Park Labs and it was a very exciting time as Mr. Tarlton had said. She provided visual images describing the new branding for Menlo Park Labs. She said the project site was bounded by O'Brien Drive to the south, Adams Drive to the east, and Adams Court to the north. She said to the west property line was the Facebook Willows Village campus. She said the site was 11.2 acres and noted the mature trees on the west property line that they would like to keep. She said the western property line also had a 42-inch storm drain that then connected to a 48-inch storm drain in an easement that ran the full length of the property.

Ms. Eschweiler said the main entry to the building was directly off Adams Court. She said the service zone would be buffered by the Pacific Bio-Sciences building. She said that building and the project building would have a service area that was somewhat connected in the northwest corner. She said on the Adams Court, Adams Drive and the west side towards the Facebook property and its future potential paseo was a green belt in which they would be keeping as many of the mature

trees as possible. She said they would augment two for one for any heritage trees that needed to be removed. She said podium parking was located underground by being partially submerged and partially raised. She said they would bring the grade up for the first floor of the building to three feet above the base flood elevation. She said they were using some of that space to create the podium layer parking which would be covered with greenery. She said the garage on the left had three levels of parking above ground and was tucked under the project module on the left. She said they would the perimeter was the publicly accessible space with benches off the walkway. She said they would also add sidewalks and bicycle lanes along Adams Court and Adams Drive to connect to the fitness center mentioned earlier. She said the public space around the perimeter would have the sidewalks and entry plazas coming to the entry lobby, and special seating areas along the way.

Ms. Eschweiler said one parking ramp would come off the bulb at Adams Court, and would then turn and go under the building to the podium parking. She said the other ramp to the upper level parking would come directly off Adams Court. She said the service area would be accessed off Adams Drive. She described the sidewalks and the bicycle lane.

Ms. Eschweiler said they would be building 260,000 square feet, and that they have an existing 188,000 square foot building. She said they had worked on an average building height to be 50.8 noting the almost 91-foot tall building measured from natural grade. She said the building would be very high quality construction of white and gray glass fiber reinforced concrete. She said the R&D portion was a steel structure and garage portion was a concrete structure. She said the materials would be very complementary to the concrete tilt-up building occupied by Pacific Bio-Sciences in color but would have more texture. She said they would use clear anodized aluminum mullions, blue tint glass, and double glazed light. She said they were working to identify bird protection glazing as they proceeded. She said they enhanced the amount of glazing on the north side and accented in the corners with gray portals, where full height glass would provide views of the Bar from the conference rooms. She said the building was oriented east to west so they would have good north light. She said on the south side they would have less glass and a deeper section for the sun shades. She said the east stairway would be an accent feature and enclosed in metal panels and vision glass. She noted the second floor deck was anticipated to be a cafeteria.

She said regarding green building that as the project was going for L-S bonus zoning that they were going for 4.0 LEED Gold. She said they would purchase 100% of their electricity from Peninsula Clean Energy and if they needed to purchase carbon offsets they would. She said they were still working through all the details but were considering collecting rainwater to use for landscaping and irrigation. She said they would use sustainably sourced materials, and would work with the general contractor to divert waste from the landfill.

Vice Chair Kahle said that he had worked for Ms. Eschweiler in the past but did not need to recuse himself. He opened the public comment period.

Public Comment:

- Ben Gong, Vice President of Finance for Pacific Bio-Sciences, said he was in charge of facilities for his company as well as finance. He said he had been very participant in the design discussions with the Tarlton Group for the 1305 building, which now housed his company. He said they have 350 to 400 people who come to work every day in that building. He said he hoped the Commission when they were considering different features of the site considers the safety of Pacific Bio-Sciences employees and in particular for the circulation routes for the

trucks. He said their employees come across the west side of the parking lot often not just to access their cars but also to access a chemical bunker and trash enclosures. He said the driveway was somewhat narrow between the parking spaces. He said looking at the design for the circulation flow of the trucks he was happy to hear that the trucks were meant to exit out to Adams Court. He said he would not want the trucks to not exit that way and to come through Pacific Bio-Sciences main parking lot as that would potentially be a safety hazard for their employees walking in that parking area.

Vice Chair Kahle closed the public comment period.

Commission Comment: Commissioner Onken said some years ago he would have had to recuse himself because of work on a parcel nearby this site but there had been no activity for over two years on that so he was clear. He asked if the applicants knew who their tenants would be. Mr. Tarlton said they did not yet know who the tenant would be. He said they have several tenants needing additional space but it was too early in the process for a tenant to commit to the space. Commissioner Onken noted the fitness center amenity and asked if there was intra-campus activity and tenants that regularly circulated within the park. Mr. Tarlton said intra campus activity including people moving from a building to the café or exterior amenities space such as the basketball, volleyball and tennis courts. He said there were also tenants doing business with other tenants and tenants occupying multiple buildings.

Commissioner Onken noted mechanical equipment screening and asked staff if the 12 to 16-foot tall fume hood chimneys had to be screened. Senior Planner Perata said those needed to be screened. He said they worked with applicants building a new building to size the roof screening accordingly or when roof screening was being added.

Commissioner Onken noted the secure bike parking was great. He said most of the mature trees along Adams Drive were Monterey pines and wondered about the health of those. Mr. Krietemeyer said they lost a couple from the drought but noted the trees were a mixture of Canary Island and Aleppo pines and were generally healthy. Commissioner Onken said he did not think the mass of the building would be fully seen and that the trees were very helpful in screening. He said it seemed like a straight forward project and he would like to see it move ahead.

Commissioner Barnes asked if the project would be subject to trip caps. Senior Planner Perata asked if that was in terms of conditions of approval or analysis in the environmental impact report (EIR). Commissioner Barnes said in terms of a trip cap associated with the property. Senior Planner Perata said they were in the early stages of the project and had not done the EIR yet. He said trip caps tended to be driven by an EIR along with a development agreement.

Commissioner Barnes said he liked the building's architecture and the garage was well-integrated. He said a number of questions were posed in the staff report regarding open space and paseos. He asked if there was any way to graphically demonstrate the crux of the questions being asked.

Ms. Eschweiler showed a site plan with the proposed paseos and open space. She said they would have a path that led to the paseo expected to be developed on the Facebook property. She said they would improve the paving of the service drive to make it easier for people to get in and out of the garage from the public pedestrian and bicycle way.

Commissioner Barnes asked who would use the publicly accessible open space. Ms. Eschweiler showed the private open space on the site plan, which was for the tenants. She said that was along the south side for Pacific Bio-Sciences. She showed the private open space area for the proposed project that was secured. She said what they saw as the publicly accessible open space was in the perimeter. She said it was accessible from the street, accessible with sidewalks and seating areas; it would have mature landscaping and street lights. She said that could be for anyone in the business park and community to use.

Replying to Commissioner Barnes, Senior Planner Perata said regarding the questions posed about publicly accessible open space that staff was not sure the proposal met publicly accessible open space as it was envisioned in the L-S District as part of ConnectMenlo. He said under the ordinance it had to be something people would utilize and it could be an active or passive use. He said ultimately it had to have some type of site furnishings to draw people in. He said it could not just be landscaping, stormwater treatment areas, or things within the public right-of-way such as sidewalks and frontage improvements required of projects. He said staff was asking the Commission to consider whether what was proposed met the zoning ordinance or if they needed to work further with the applicant to refine the open space program. He said staff generally found the open space adjacent to the paseo appropriate. Commissioner Barnes asked if publicly accessible open space under the zoning was intended to be more of a destination or intended to be on the way to somewhere. Senior Planner Perata said it could be both, a pass through use or a draw of people to the site.

Commissioner Riggs said for a large building the structure was handsome. He said the parking levels seemed to have a glass façade to harmonize with the office floors. Ms. Eschweiler said the openings would have aluminum framing and perforated metal panels. She said they received feedback that the ground level parking needed to have some transparency and those might have glass to meet the letter of the zoning. She said the upper levels of the parking garage were meant to be open without mechanical ventilation and would work through the exact ratio of how many holes and what size in the perforated panels to make sure those worked. Commissioner Riggs asked if the mechanical screening would be the perforated metal. Ms. Eschweiler said they were envisioning a flat solid metal panel. Commissioner Riggs said roof screens at certain times of the day could become very prominent. He said he could support a lower height for the screen if the applicant could devise that. He asked about the reason for the enhanced service drive. Ms. Eschweiler said their thought was to connect the building to the paseo with that paving and then with the landscaping.

Commissioner Riggs said he was having trouble finding the green space around the perimeter as publicly accessible open space. He said it might be more inviting if trees lined both sides of it. He questioned the use of the proposed seating by the public. He said the traffic issue for the M-2 seemed to always be delegated as another's responsibility such as the Metropolitan Transit Commission. He said that any building built was new space and that new space did not have the infrastructure to get people to work. He said he understood the challenge with multiple tenants and managing traffic demand but the infrastructure was lacking. He questioned how to meet the needs of the residents whose streets were already impacted with heavy traffic at different times of the day and for such large projects to continue to be approved.

Commissioner Strehl said she agreed with Commissioner Riggs' comment about traffic impacts and any new building. She said with new employees that was just another vehicle on the road and compounded the problem residents and the City were struggling with. She asked staff if through an

EIR whether the Commission could consider placing trip caps on a development like the proposal. Senior Planner Perata said it was a possibility. He said this was multi-tenant project and had one building that was entitled with no trip caps, a site that had access through both building areas, and multiple entry points. He said it might be very difficult to apply compliance measures. Commissioner Strehl said she would want to consider caps for projects coming forward in this area.

She said it was hard for her to see that the publicly accessible open space was a public amenity. She said she was trying to visualize how the podium and garage parking would work. She asked if a person could not find parking in the podium whether they would have to exit and enter the upper level of the garage. She asked about how service trucks would exit. Ms. Eschweiler said for parking that a person would have to exit and either go out to the street and enter the upper level garage or go through the service area. She described the circulation of service trucks.

Vice Chair Kahle asked about the large concrete pad. Ms. Eschweiler said the building at 1305 O'Brien Drive that was now the Pacific Bio-Sciences headquarters was originally built for Boise Cascade as a large warehouse and distribution center. She said the property was then bought by Office Depot / Office Max. She said after they departed, Tarlton Properties bought the property and in the course of designing the Pacific Bio-Sciences project the full extent of the prior warehouse was not needed. She said they were able to remove a couple of bays so the building was shortened. She said for the interim they left the concrete pad that had been the ground floor for the warehouse. She said that would be removed as part of this project. Replying to Vice Chair Kahle, she said they were not subdividing the lot. Vice Chair Kahle asked if they were comfortable with the amount of parking. Ms. Eschweiler said they had a few parking spaces sprinkled in noting that they would need to work out where the mechanical was for the underground parking garage. Vice Chair Kahle said he did not see solar panels on the LEED items. Ms. Eschweiler said they were not currently considering having those as they needed the roof space for the mechanical systems for the laboratories.

Vice Chair Kahle said he liked the way the garage was integrated. He said the building appeared very massive in the 2-D elevation but the rendering really helped to show how the mass was broken up. He said the vertical band near each of the corners seemed to need to continue higher up to the parapet as it looked applied and was not integral. He said looking at an angle the glass seemed to stop and be less substantial. He said it would be helpful for the band to continue across the top. He said the building was attractive and would be a nice addition to Menlo Park. He said he was not sure how the connection to the Willow Village would work as it was on the backside of a parking garage. He said he would like that better defined as they moved ahead to help understand the paseo. He said he agreed with fellow Commissioners about the publicly accessible open space. He said he did not see the seating areas being used very much or as a place for gathering. He said what would really help was if rather than spreading the space around the perimeter to bring it to the paseo side of the building and make the paseo a much more usable area. He suggested the specially paved service drive might be developed better to be part of the publicly accessible open space and paseo. He said he agreed with the concerns about traffic impacts.

Commissioner Onken said the paved area was a fire lane and he thought using it was a good solution. He said regarding publicly accessible open space that he agreed what was shown were verges around the perimeter of the building and would be there whether the City mandated those or not. He said they needed to ask what would they want there and what functional publicly accessible open space would look like in this area. He said he could not see what else could be

integrated so he was content with what was proposed. He said if through the process the architect and applicant found other publicly accessible open space functionality that would be welcome. He said traffic was essentially something the City would need to make a call on and make some sort of action.

Commissioner Barnes said he thought this project was appropriate for bonus level development. He said it was the right parcel and the right size project. He said this was what the ConnectMenlo process envisioned. He said moving forward the applicant needed to provide better answers as to how their tenants were getting to work, their commute rates, and the tools for handling traffic impacts. He said they had mentioned they had a number of projects in the works. He said they needed to see what Menlo Park Labs would look like when it was finished, and who the tenants were. Commissioner Barnes asked staff if the project was required to have 30% energy generation onsite. Senior Planner Perata said the project had to meet 100% renewable and did not have to necessarily be onsite.

H. Informational Items

H1. City Council Work Plan Transmittal and Capital Improvement Program (CIP) process update ([Attachment](#))

H2. Future Planning Commission Meeting Schedule

- Regular Meeting: April 23, 2018

Principal Planner Rogers said that Principal Planner Chow would be the liaison for the April 23 meeting and that agenda would have the Guild Theater project.

- Regular Meeting: May 7, 2018
- Regular Meeting: May 14, 2018

I. Adjournment

Vice Chair Kahle adjourned the meeting at 11:24 p.m.

Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett



STAFF REPORT

Planning Commission

Meeting Date: 5/7/2018
Staff Report Number: 18-041-PC

Public Hearing: Use Permit/Chi-Mei Chang/600 Olive Street

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to construct a new two-story single-family residence on a vacant substandard lot with respect to width in the R-1-S (Single Family Suburban Residential) zoning district, at 600 Olive Street. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject property is located on the north side of Olive Street, between Santa Cruz and Middle Avenues in the West Menlo neighborhood. The parcel is currently vacant, with an earlier residence having been demolished in 2016 or 2017. A location map is included as Attachment B.

The surrounding area contains a mixture of older and newer single-family residences. The older residences are generally single-story, with detached garages at the rear of the property, while the newer residences are generally two-story in height, with attached front-loading garages or detached garages in the rear. The Planning Commission reviewed and approved a proposal for a two-story development nearby, at 624 Olive Street in May 2016, and construction of this residence is complete. A variety of architectural styles are present in the neighborhood including craftsman, traditional and contemporary including a number of modern farmhouse style homes. Many of the single-story residences are in the ranch style. All parcels in the general vicinity are also zoned R-1-S.

Analysis

Project description

The applicant is proposing to construct a new two-story, single-family residence with a basement and attached side-loading two-car garage. The lot is currently vacant and is substandard with respect to the minimum lot width, at 70 feet where 80 feet is required in the R-1-S zoning district. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the

applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a seven-bedroom home, with three of the bedrooms in the basement and three on the second story. The basement would also feature four full bathrooms, a great room, theater room, rec room, laundry room, pantry, and equipment room. All of the basement elements would adhere to the setback requirements. The bedroom at the front of the residence would have a balcony over the garage that meets the 20-foot side setback requirement for balconies.

An elevator is proposed directly adjacent to the stairway. Both the stairway and elevator are exempt from FAL on the second level, although the elevator exclusion would not apply if this shaft is not actually used for an elevator. As a result, project-specific condition of approval 4a has been included, requiring that the building permit plans include the elevator, or that revised plans with no changes to the exterior building envelope be submitted for review by the Planning Division, in order to confirm compliance with the Floor Area Limit (FAL). Any revised proposal that includes changes to the exterior that result from the potential removal of the elevator would require Planning Commission review through the substantial conformance memorandum process.

The main entry for the home is proposed on the left, set back approximately 50 feet from the front property line. The side-loading two-car garage is proposed to be positioned on the right side, as the front most element of the home, approximately 31 feet from the front property line. This would create a front courtyard element, common in the Mediterranean style. An uncovered parking space is proposed to be provided in front of the prominent garage, outside of the 20-foot front setback to provide an additional off-street parking space. The applicant has included turning diagrams indicating how each of the three spaces would be independently accessed. With regard to Municipal Code Section 8.20.070 (Further limitations on motor vehicle storage), a car parked in the uncovered space would comply, but an additional car that is parked on an area not leading to the garage would not.

Staff has noted to the applicant there is an extensive amount of paving at the front; however, most of the paving generally appears to be necessary for the side-loading garage design. All stormwater runoff would be required to be retained on site, using a mix of retention structures and drainage pits. Full grading and drainage plans will be reviewed at the building permit stage by the Engineering Division to confirm compliance with the City's no-net-increase in stormwater policy. The R-1-S district does not establish any specific paving limits. However, as noted in later sections, the Planning Commission may wish to consider a condition removing the surplus uncovered parking space and its approach path, in order to address aesthetic and/or neighbor concerns.

With respect to Zoning Ordinance regulations, the front setback would significantly exceed the minimum requirement of 20 feet, with the garage wall located at 31 feet, and the rest of the first floor and the second level located an additional 20+ feet farther back. The height would also be relatively limited, at 24.5 feet where 28 feet may be permitted, and the second floor would represent only 26 percent of the maximum FAL (Floor Area Limit), where 45.8 percent may be permitted (this specific limit is based on the ratio of the lot width at the front setback to the average of the side lot lines). While the basement may be considered large, it is exempt from FAL calculations per the Zoning Ordinance definition of floor area.

Design and materials

The applicant states that the proposed residence would be constructed in a Mediterranean design, with a mixture of gable and hipped roof structures. The exterior materials would include a smooth stucco finish, a Spanish tile roof, and predominantly wood-trimmed casement windows. Some of the windows at the front are proposed to be gridded, with applied muntin bars on both sides. The front door is proposed to be a solid-core wood door, beneath a front porch, which would provide a welcoming feature. The left side of the residence would be set back approximately 50 feet from the front property line.

A prominent side-loading garage creates a courtyard at the front, typical of the Mediterranean style, while limiting the visual impact associated with a prominent front-loading garage. The garage would match the materials of the house, with a smooth stucco finish and a Spanish tiled roof. The front side of the garage would feature a bay window with a large fixed window, set between two gridded panes. The garage door would be a painted wood panel door with clear rectangular windows.

As discussed elsewhere, the extra uncovered parking space and the paving leading up to it would add to what is a relatively large amount of paving at the front. The driveway and parking would be pavers, which are generally considered visually pleasing, and views of this area would be partially obscured by several existing redwood trees at the front. However, the Planning Commission could consider whether a condition requiring the removal of the surplus parking space and its associated approach path are warranted based on aesthetic concerns.

The left and right elevations would face single-story residences on each side. The right side of the second floor would be designed to have high, smaller windows at the point closest to the neighboring property. The windows on the rear elevation would have a minimum sill height of two feet, ten inches. Staff believes that the proposal has a limited number of windows that could present privacy concerns.

Staff believes that the architectural style of the proposed residence would fit with the mix of styles in the neighborhood, and would be generally well-proportioned. The second level would be inset from the ground floor, helping minimize the perception of mass and enhancing neighbor privacy.

Trees and landscaping

There are 15 trees located on or near the property, seven of which are heritage size trees. Of those, three are located on neighboring properties. The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of the heritage and non-heritage trees on site. The report discusses the potential impacts of the proposed site improvements and provides recommendations for tree protection and maintenance. The arborist report was reviewed and confirmed to be sufficient by the City Arborist. The construction of the new home is not anticipated to adversely affect the heritage trees on the site or adjacent parcels. All recommendations identified in the arborist report shall be implemented and will be ensured as part of condition 3g.

The applicant has proposed to replace the volunteer (i.e., not deliberately planted) street tree in order to install the proposed frontage improvements required by the Engineering Division. The location of the street tree replacement is indicated on the site plan (sheet A2). The tree would be replaced with a Zelkova or Chinese pistache. These would be City-approved tree species for this portion of Olive Street.

Correspondence

Staff received four pieces of written correspondence from neighbors regarding a mix of issues including typos and errors in the plan set at the time of the initial noticing, speculations around the intended use of the residence, the scale of the structure with respect to floor area and building coverage, the extent of the impervious areas and proposed grading and drainage plans, noise from air conditioning (AC) units, parking, and position relative to the street. These are included as Attachment G.

The applicant indicated that he contacted the property owners of all properties within a 300-foot radius with a letter explaining the scope of the project and offering to address any concerns or questions that impacted property owners might have. In the project description letter, the applicant states that the adjacent property owners at 973 Hobart Street on the right and across the street at 980 Hobart Street met with the applicant to discuss the project and the expressed support for the project. The applicant later met with the neighbors that were unavailable at the time of the first meeting, and has revised the location of the AC units to be positioned away from the below grade patio at the right side, where the neighbor was concerned about the noise. The units would be required to comply with the noise limitations set in Municipal Code Chapter 8.06 (Noise)

In the subsequent rounds of review from the time of the initial noticing, the applicant has corrected the typos and errors in the plan set, with the exception of the comment pertaining to the wood/brick fence, it is still listed as a wooden fence as the majority of the members appear to be wood.

While it is true the neighboring properties are set back at approximately 40 feet, the proposed structure exceeds the required front setback, at 31 feet from the front property line to the garage (with the front entry and main area of the house located over 20 feet farther back).

As to the speculation that this will be a multi-family use, the proposal includes only one kitchen and appears to meet all qualifications as a single-family residence.

To the question of flooding and impervious areas, staff has consulted with the Building Official to discuss whether there are many instances of ground water issues or issues with large basements affecting the natural ability for the soil to absorb water. The Building Official was unable to report a trend to this effect in this area. Additionally, it was explained that the applicant would be required to install drainage pits and retention structures on site, and that common practice for the construction of a basement is to encircle the perimeter of the basement with perforated corrugated piping connected to a sump pump that would send the water collected around the residence to be captured at a central location to the specifications of the Engineering Division. If the project is approved, the applicant would be required to submit full geotechnical reports for the basement at the time of the building permit, and the applicant has indicated that their engineer did exploratory drilling to a depth of 18 feet and did not find evidence of substantial groundwater at this location. The Engineering Division also reviewed the proposal and determined that full review of the stormwater generated could be completed at the building permit stage, as is common with many single-family residential projects.

With respect to the concerns about there not being enough on-site parking, the proposal exceeds the

required number of off-street spaces for this zoning district and the extensive paving could be used as functional parking, although it does not technically qualify per the Zoning Ordinance. As noted in previous sections, the Planning Commission could consider a condition removing the surplus uncovered parking space and its associated paving, if the visual or other effects of this extra paving are of greater concern.

Conclusion

Staff believes that the design, scale and materials of the proposed residence are compatible with the surrounding neighborhood. The second level would be inset from the ground floor and would be limited in size, helping to minimize the perception of mass and enhance neighbor privacy. The side-loading garage would limit the visual impact of parking on the main building frontage and provide adequate off-street parking; and the Building and Engineering Divisions will review the final grading and drainage, hydrology and geotechnical reports and proposed impervious area calculations to confirm compliance with the City's policy of on-site retention of all stormwater runoff. Though the basement could be considered large, it does not count as floor area per the definition in the Zoning Ordinance, and the proposal would be within the allowable area based on the size of the lot. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter

- F. Arborist Report
- G. Correspondence

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:
Ori Paz, Assistant Planner

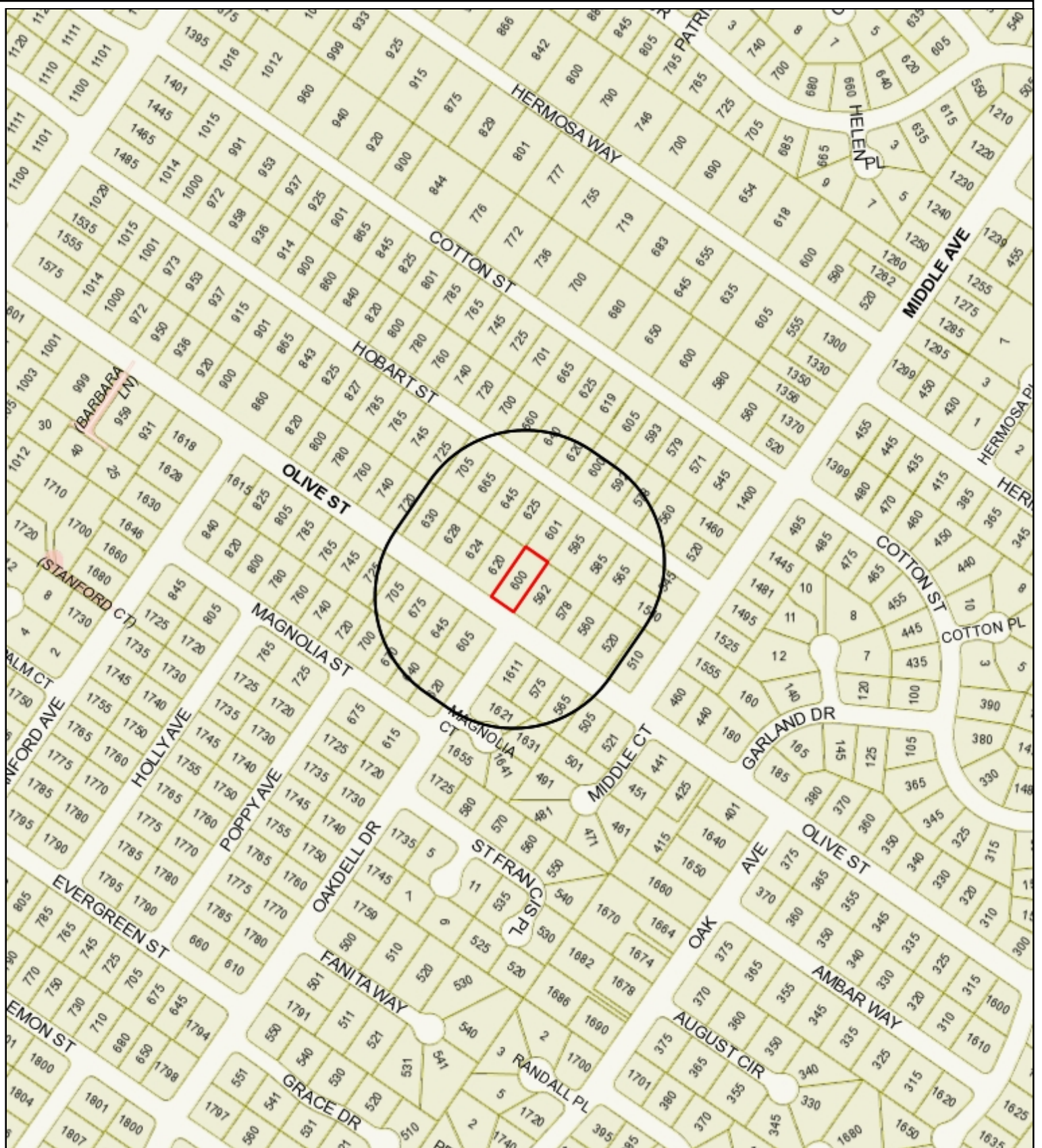
Report reviewed by:
Thomas Rogers, Principal Planner

600 Olive Street – Attachment A: Recommended Actions

LOCATION: 600 Olive Street	PROJECT NUMBER: PLN2017-00092	APPLICANT: Chi-Mei Chang	OWNER: Chi-Mei Chang
PROPOSAL: Request for use permit to construct a new two-story single-family residence on a vacant substandard lot with respect to width in the R-1-S (Single Family Suburban Residential) zoning district.			
DECISION ENTITY: Planning Commission	DATE: May 7, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kennedy, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Roger Kohler Architects, consisting of 16 plan sheets, dated received May 1, 2018, and approved by the Planning Commission on May 7, 2018, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicant shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicant shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Kielty Arborist Services, LLC. dated October 15, 2017. 4. Approve the use permit subject to the following project-specific conditions: <ol style="list-style-type: none"> a. The applicant shall submit building permit plans that include an elevator, subject to review and approval of the Planning Division. Should the applicant elect to remove the elevator at 			

600 Olive Street – Attachment A: Recommended Actions

LOCATION: 600 Olive Street	PROJECT NUMBER: PLN2017-00092	APPLICANT: Chi-Mei Chang	OWNER: Chi-Mei Chang
PROPOSAL: Request for use permit to construct a new two-story single-family residence on a vacant substandard lot with respect to width in the R-1-S (Single Family Suburban Residential) zoning district.			
DECISION ENTITY: Planning Commission	DATE: May 7, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<p>ACTION:</p> <p>any point, the applicant is required to provide revised plans, which account for the added floor area from the previously-exempt elevator and comply with the floor area limit, for review by the Planning Division. Any change to the exterior building envelope of the residence would require review and approval by the Planning Commission as a substantial conformance memorandum.</p>			



City of Menlo Park
 Location Map
 600 Olive Street



Scale: 1:4,000

Drawn By: OP

Checked By: THR

Date: 5/7/2018

Sheet: 1

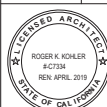
600 Olive Street – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	10,690.4 sf	10,690.4 sf	10,000 sf min.
Lot width	70.0 ft.	70.0 ft.	80.0 ft. min.
Lot depth	159.9 ft.	159.9 ft.	100.0 ft. min.
Setbacks			
Front	31.0 ft.	n/a ft.	20.0 ft. min.
Rear	38.3 ft.	n/a ft.	20.0 ft. min.
Side (left)	10.0 ft.	n/a ft.	10.0 ft. min.
Side (right)	10.0 ft.	n/a ft.	10.0 ft. min.
Building coverage	3,180.6 sf 29.8 %	0.0 sf 0.0 %	3,741.64 sf max. 35.0 % max.
FAL (Floor Area Limit)	3,670.3 sf	0.0 sf	3,722.6 sf max.
Square footage by floor	2,668.2 sf/basement 2,268.7 sf/1 st floor 960.8 sf/2 nd floor 440.8 sf/garage 471.1 sf/porches	0 sf	
Square footage of buildings	6,809.6 sf	0.0 sf	
Building height	26.4 ft.	n/a	28.0 ft. max.
Parking	2 covered/1 uncovered	n/a	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 7*	Non-Heritage trees: 8**	New Trees: 1***
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 1***	Total Number of Trees: 15
*Includes three heritage trees located on neighboring properties **Includes one non-heritage trees located in the public right away ***street tree removal in the public right of way to be replaced in the right of way			

	<p align="center">PROJECT INFO</p> <p>PROJECT DATA:</p> <p>APN: 071-231-210 ADDRESS: 600 OLIVE STREET ZONE: R-1-S FLOOD ZONE: NO BUILDING OCCUPANCY: R-3 U GROUPS: V-B TYPE OF CONSTRUCTION: 2 STORIES W/ BASEMENT STORIES: NO HISTORIC: NO</p> <p>FLOOR AREA SUMMARY</p> <p>LOT AREA = 10,690.4± SF. FIRST FLOOR = 2,268.74 SF. SECOND FLOOR = 960.80 SF. TOTAL LIVING AREA = 3,229.54 SF. TWO CAR GARAGE = 440.78 SF. TOTAL FLOOR AREA = 3,670.32 SF. ALLOWABLE FLOOR AREA = 3,722.60 SF.</p> <p>LOT COVERAGE SUMMARY</p> <p>LOT AREA = 10,690.4± SF. FIRST FLOOR = 2,268.74 SF. TWO CAR GARAGE = 440.78 SF. COV. PORCHES = 471.09 SF.</p> <p>TOTAL LOT COVERAGE = 3,180.61 SF. ALLOWABLE LOT COVERAGE = 3,741.64 SF. (35%)</p> <p align="center">COPYRIGHT</p> <p>DESIGNS PRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF KOHLER ASSOCIATES ARCHITECTS AND WERE DEVELOPED FOR USE ON THIS PROJECT ONLY. THIS DRAWING AND THE DESIGNS THEY REPRESENT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSON OR FIRM OUTSIDE THE SCOPE OF THIS PROJECT WITHOUT WRITTEN PERMISSION OF KOHLER ASSOCIATES ARCHITECTS.</p> <p align="center">LOT SURVEY REQUIRED ALL PROPERTY LINES SHALL BE STAKED AND A WRITTEN STATEMENT CONFIRMING THE SURVEY RESULT AND STAKING METHOD SHALL BE SUBMITTED PRIOR TO FOUNDATION INSPECTION. (2013 CBC SECTION 108.1)</p>	<p align="center">SHEET INDEX</p> <p>SHEET INDEX</p> <p>A0 COVER SHEET A1 AREA PLAN AND STREET ESCAPE A2 SITE PLAN A3 BASEMENT PLAN A4 FIRST FLOOR PLAN A5 SECOND FLOOR PLAN A6 ROOF PLAN A7 EXTERIOR ELEVATIONS A8 EXTERIOR ELEVATIONS A9 BUILDING SECTIONS A10 PERSPECTIVE FA1 BASEMENT AREA CALCULATION FA2 FIRST FLOOR AREA CALCULATION FA3 SECOND FLOOR AREA CALCULATION T1 ARBORIST REPORT CO SURVEY</p> <p align="center">PROJECT DIRECTORY</p> <p>PROJECT DIRECTORY</p> <p>OWNER: CHI-MEI CHANG & HENDRINE CHANG 600 OLIVE ST. MENLO PARK, CA 94025</p> <p>ARCHITECT: ROGER KOHLER KOHLER ARCHITECTS, INC. LICENSE #C-7334 721 COLORADO AVENUE, SUITE 102 PALO ALTO, CA 94303 650.328.1086 haleh@kohler-architects.com</p> <p>CIVIL ENGINEER: ED WU WEC & ASSOCIATES 2625 MIDDLEFIELD ROAD #658 PALO ALTO, CA 94306 650.323.6466 ed@weceng.com</p> <p>ARBORIST: RIELTY ARBORIST SERVICES CERTIFIED ARBORIST WE # 04776A P.O. BOX 6187 SAN MATEO, CA 94403 650.515.9783 kkarbor0476@yahoo.com</p>
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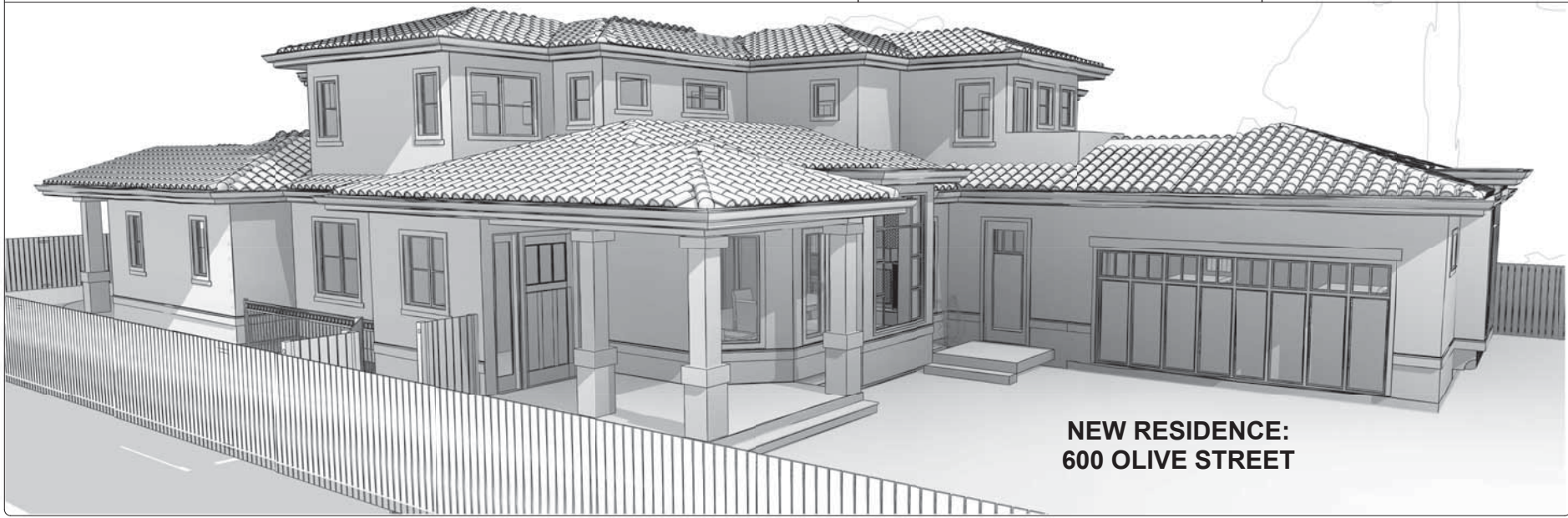
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12.18.17	
03.23.18	




KOHLER ARCHITECTS
 ARCHITECTS, A.I.A.
 Roger Kohler
 721 Colorado Avenue, Suite 102
 Palo Alto, California 94303
 650.328.1086
 Fax 650.321.2960
 info@kohler-architects.com
 www.kohler-architects.com

NEW RESIDENCE FOR:
 CHI-MEI CHANG &
 HENDRINE CHANG
 600 OLIVE ST.
 MENLO PARK, CA 94025



COVER SHEET

drawn	H.A.
checked	
date	09.7.2017
scale	1/4" = 1'-0"
job no.	
sheet	
A0	
of sheets	



620 OLIVE

600 OLIVE

592 OLIVE

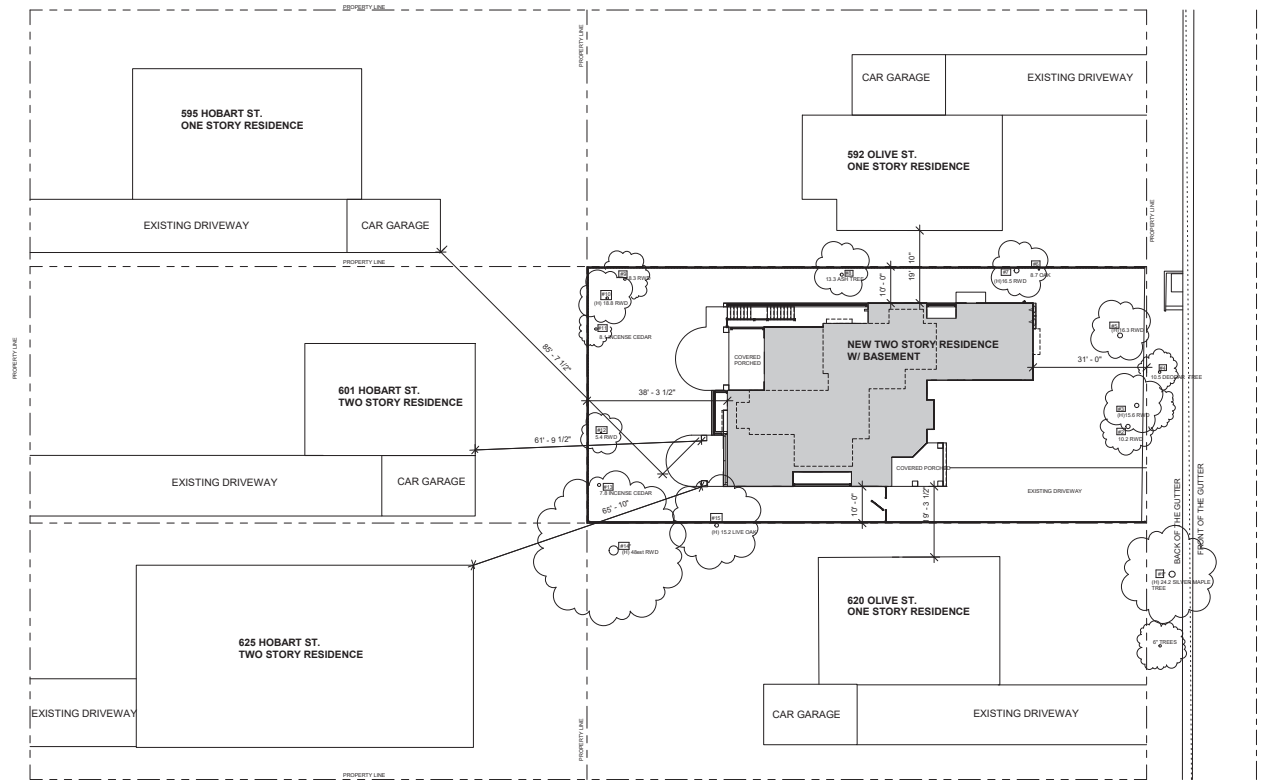
PROPOSED STREETSCAPE



VICINITY MAP

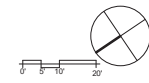


AERIAL VIEW



AREA PLAN

SCALE: 1/16" = 1'-0"



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KOHLER ARCHITECTS
A I A A

Roger Kohler
Architect, A.I.A.
C-7334
721 Colorado Avenue, Suite 102
Folsom, California 94301
650.328.1986
Fax 650.321.2960
info@kohler-architects.com
www.kohler-architects.com

NEW RESIDENCE FOR:
**CHI-MEI CHANG &
HENDRINE CHANG**
600 OLIVE ST.
MENLO PARK, CA 94025

AREA PLAN
PROPOSED
STREETSCAPE

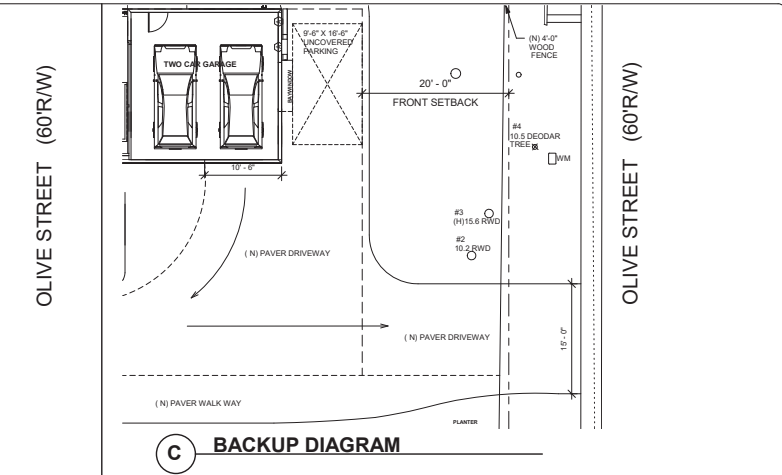
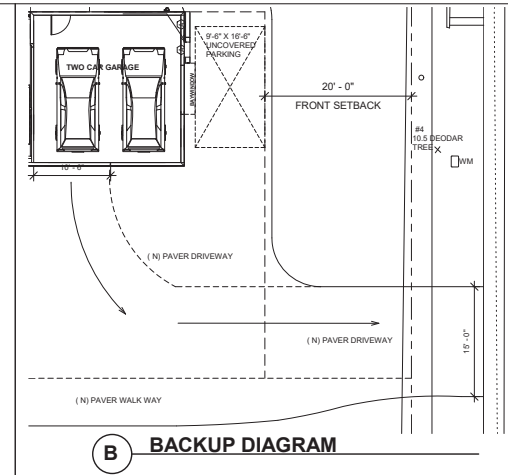
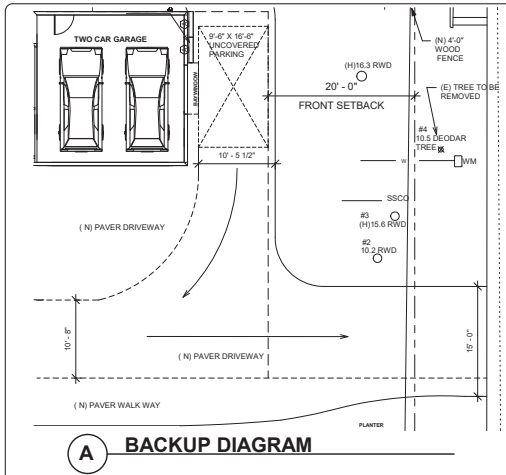
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09.7.2017
Scale 1/16"
As indicated
job no.

sheet

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of sheets



SITE PLAN LEGEND

PROPERTY LINE =

SETBACK LINE =

(N) FIRST FLOOR =

(N) SECOND FLOOR =

(E) RESIDENCE TO BE DEMOLISHED =

(E) TREE TO BE REMAIN =

(E) TREE TO BE REMOVE =

INDICATES TREE # FROM ARBORIST REPORT =

INDICATES HERITAGE TREE = (H)

INDICATES NEIGHBOR = (E)

EXISTING = (E)

NEW = (N)

PROJECT DATA

PROJECT DATA:

APN: 071-231-210
 ADDRESS: 600 OLIVE STREET
 ZONE: R-1-S
 FLOOD ZONE: NO
 BUILDING OCCUPANCY GROUPS: R-3 U
 TYPE OF CONSTRUCTION: V-B
 STORIES: 2 STORIES W/ BASEMENT
 HISTORIC: NO

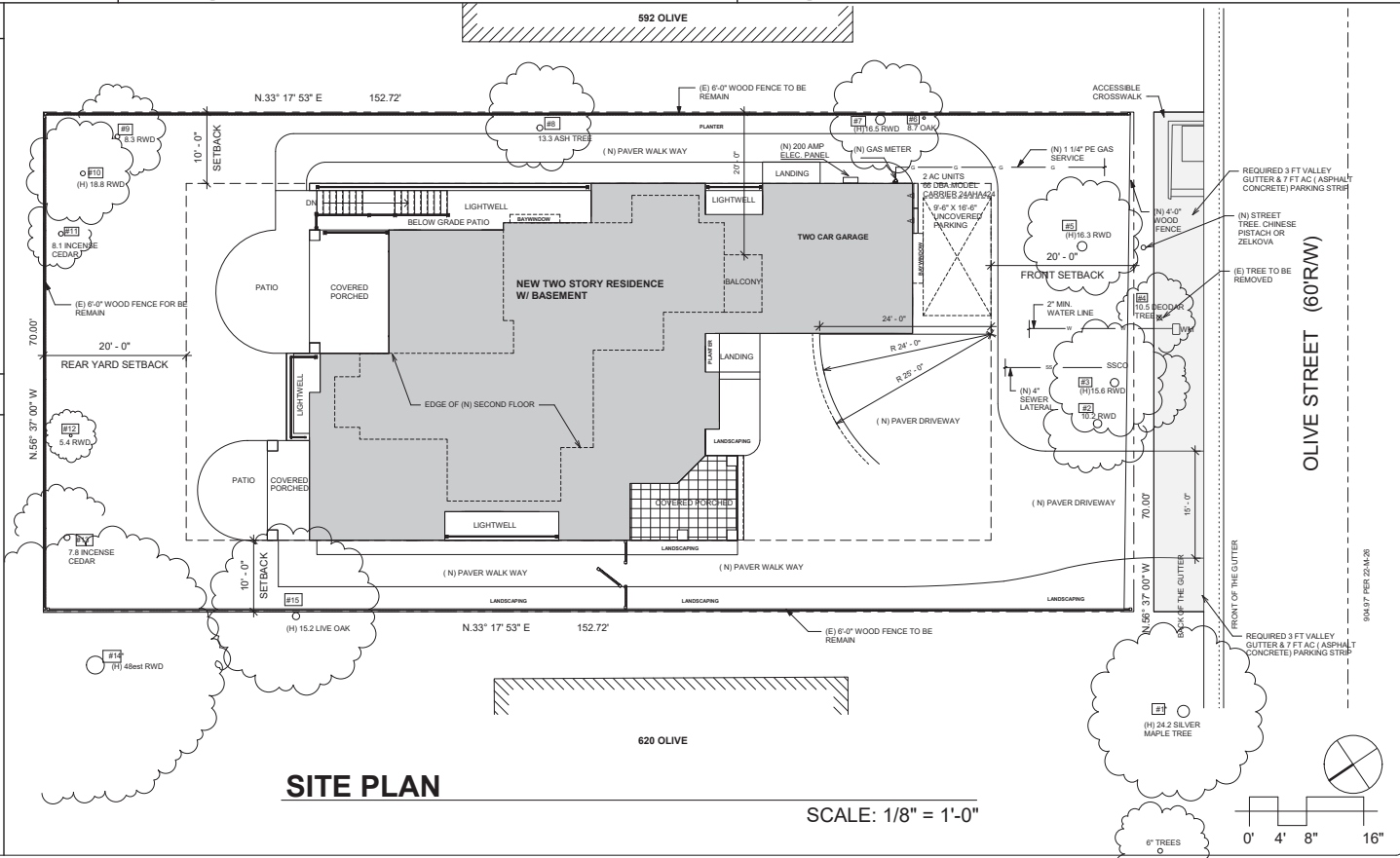
FLOOR AREA SUMMARY

LOT AREA =	10,690.4± SF.
FIRST FLOOR =	2,268.74 SF.
SECOND FLOOR =	960.80 SF.
TOTAL LIVING AREA =	3,229.54 SF.
TWO CAR GARAGE =	440.78 SF.
TOTAL FLOOR AREA =	3,670.32 SF.
ALLOWABLE FLOOR AREA =	3,722.60 SF.

LOT COVERAGE SUMMARY

LOT AREA =	10,690.4± SF.
FIRST FLOOR =	2,268.74 SF.
TWO CAR GARAGE =	440.78 SF.
COV. PORCHES =	471.09 SF.

TOTAL LOT COVERAGE = 3,190.61 SF.
 ALLOWABLE LOT COVERAGE = 3,741.84 SF. (35%)



revisions by

12.18.17	
03.15.18	

REGISTERED ARCHITECT

ROGER K. KOHLER
 #C7334
 REN APRIL 2018
 STATE OF CALIFORNIA

KOHLER ARCHITECTS

Roger Kohler
 Architect, A.I.A.
 C-7334
 721 Colorado Avenue, Suite 102
 Palo Alto, California 94301
 650.328.1986
 fax 650.321.2960
 info@kohler-architects.com
 www.kohler-architects.com

NEW RESIDENCE FOR:
**CHI-MEI CHANG &
 HENDRINE CHANG**
 600 OLIVE ST.
 MENLO PARK, CA 94025

SITE PLAN

drawn H.A.
 checked

date 09.7.2017
 scale 1/8" = 1'-0"
 As indicated
 job no. sheet

A2

of sheets

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KOHLER ARCHITECTS
 Roger Kohler
 Architect, A.I.A.
 No. 2734
 721 Colorado Avenue, Suite 102
 Palo Alto, California 94301
 Tel: 650.321.2960
 www.kohlerarchitects.com

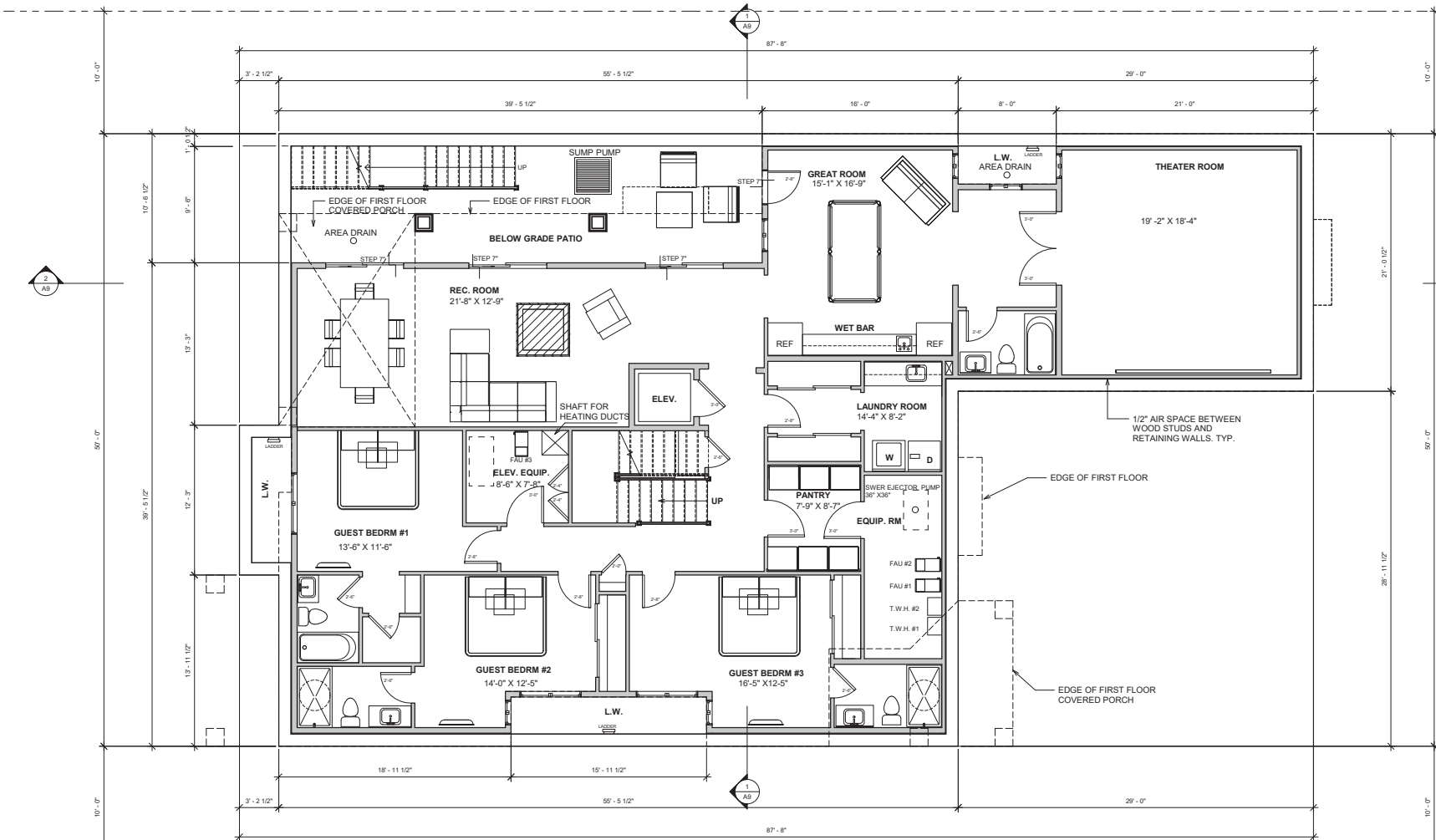
NEW RESIDENCE FOR:
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 HENDRINE CHANG**
 600 OLIVE ST.
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BASEMENT FLOOR PLAN

drawn
 H.A.
 checked
 date
 09.7.2017
 scale
 1/4" = 1'-0"
 job no.
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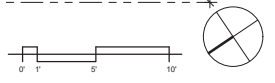
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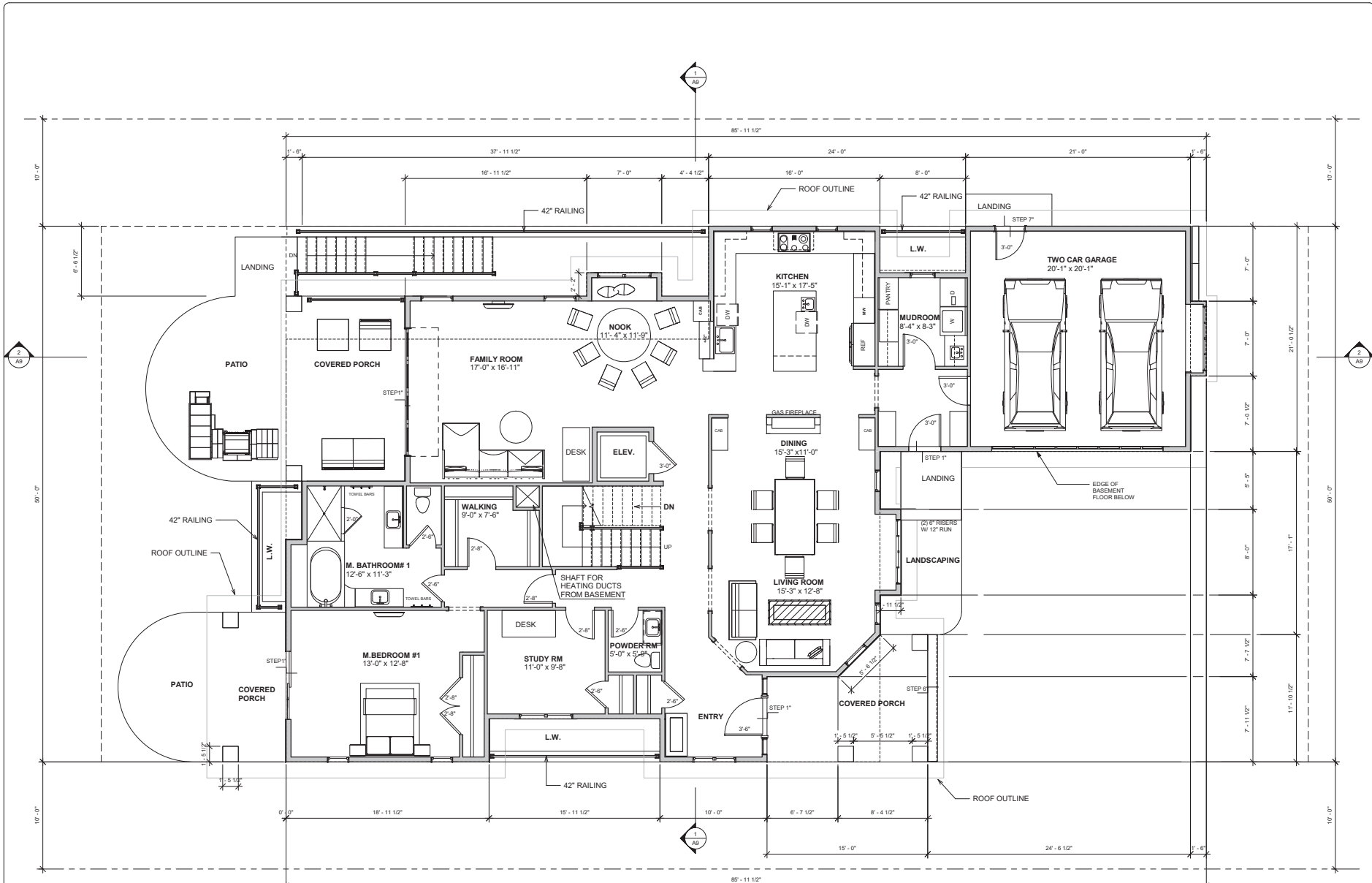
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BASEMENT

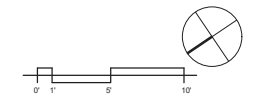
SCALE: 1/4" = 1'-0"





FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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KOHLER ARCHITECTS
 Roger Kohler
 Architect, A.I.A.
 721 Colorado Avenue, Suite 102
 Palo Alto, California 94301
 650.328.1986
 Fax 650.321.2960
 info@kohlerarchitects.com
 www.kohlerarchitects.com

NEW RESIDENCE FOR:
**CHI-MEI CHANG &
 HENDRINE CHANG**
 600 OLIVE ST.
 MENLO PARK, CA 94025

FIRST FLOOR PLAN

drawn	H.A.
checked	
date	09.7.2017
scale	1/4" = 1'-0"
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 of sheets

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12.18.17

03.23.18



KOHLER ARCHITECTS
INC.

Roger Kohler
Architect, A.I.A.
C-7334
721 Colorado Avenue, Suite 102
Folsom, California 94303
916.528.1988
fax 916.521.2960
info@kohler-architects.com
www.kohler-architects.com

NEW RESIDENCE FOR:
**CHI-MEI CHANG &
HENDRINE CHANG**
600 OLIVE ST.
MENLO PARK, CA 94025

**SECOND FLOOR
PLAN**

drawn
H.A.
checked

date

09.7.2017

SCALE

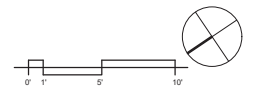
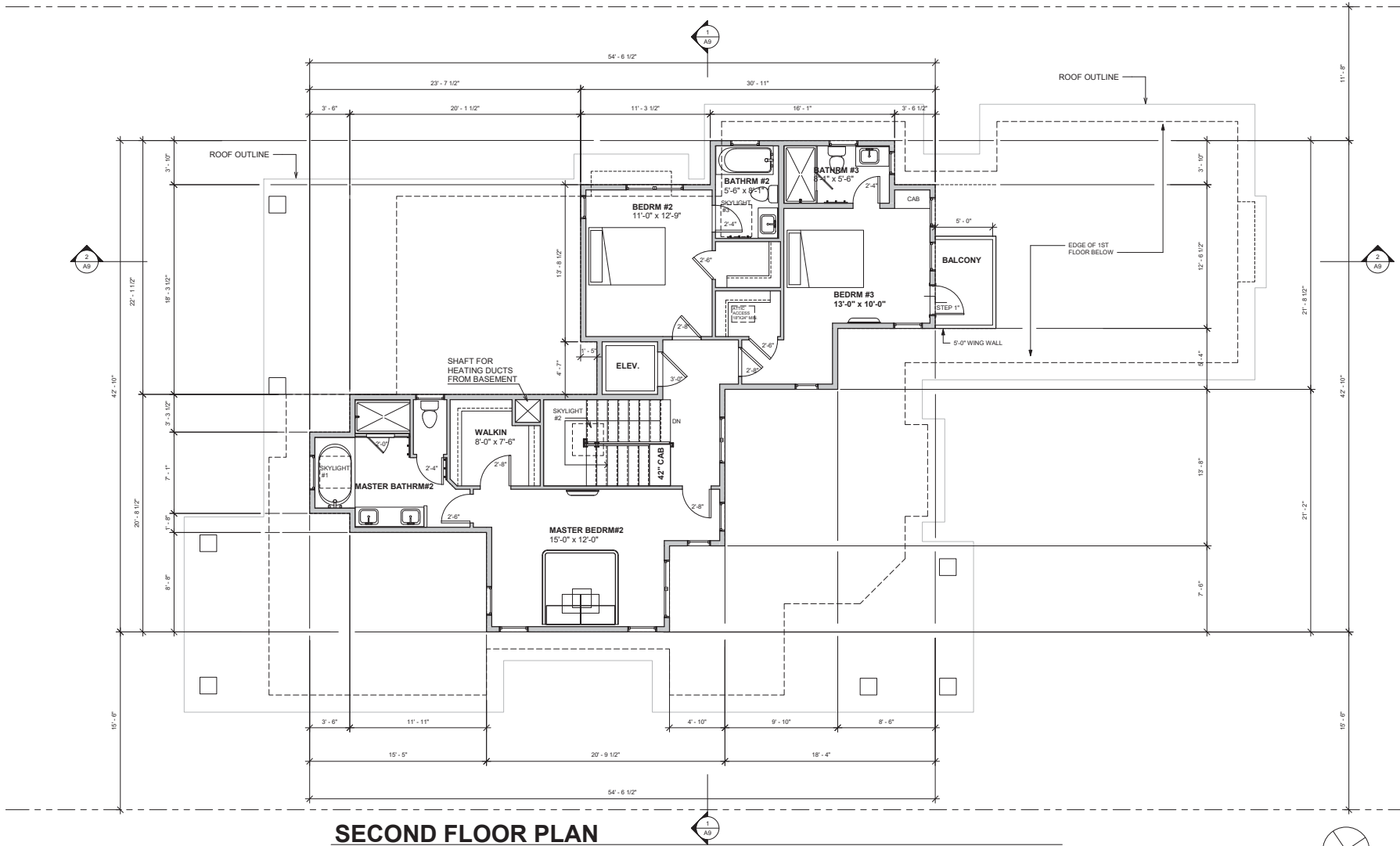
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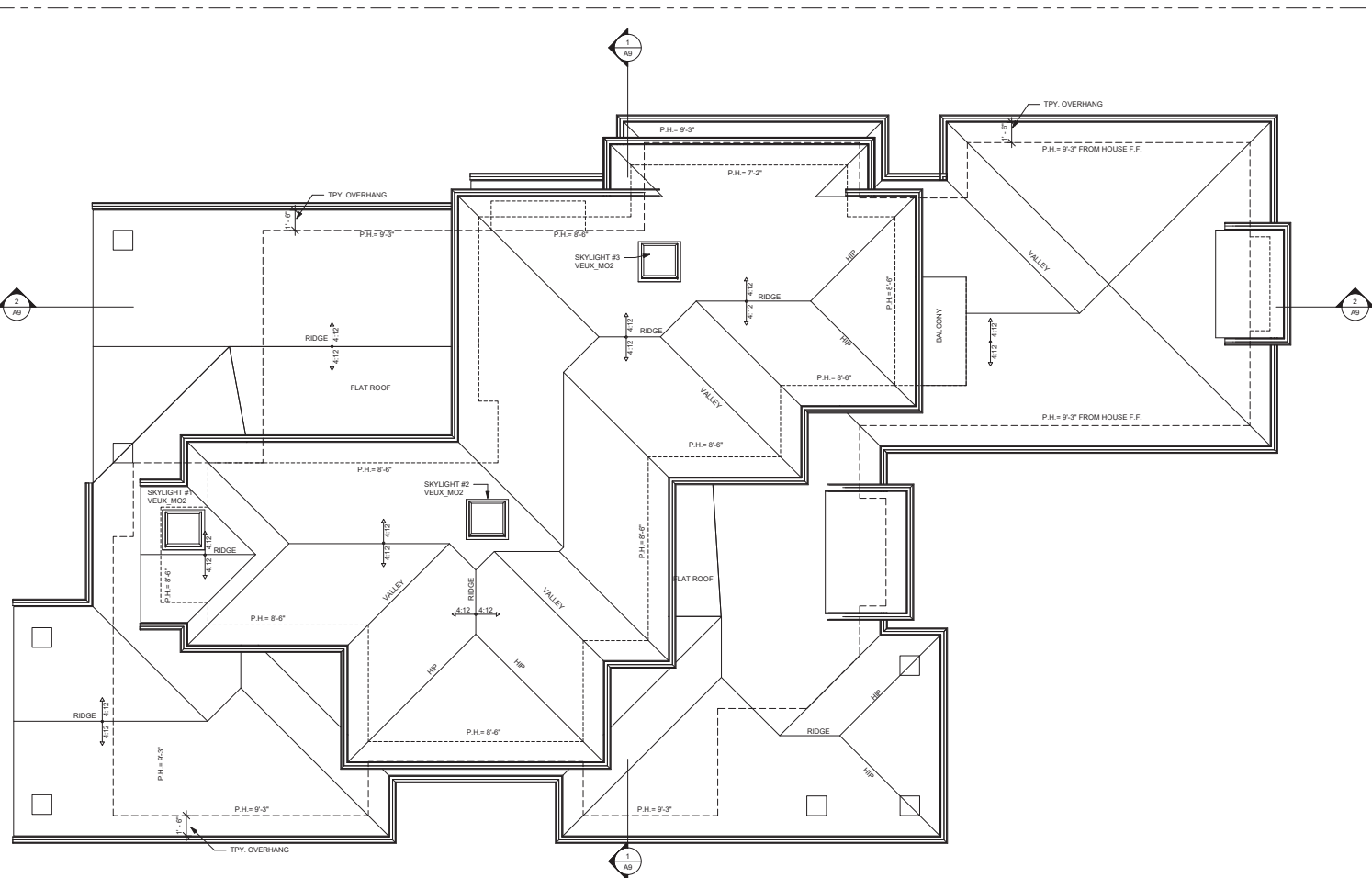
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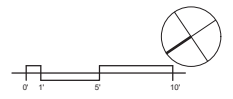
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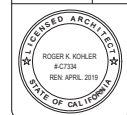


ROOF PLAN

SCALE: 1/4" = 1'-0"



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KOHLER ARCHITECTS
 Roger Kohler
 Architect, A.I.A.
 C-7334
 721 Colorado Avenue, Suite 102
 Palo Alto, California 94301
 650.328.1986
 fax 650.321.2960
 info@kohler-architects.com
 www.kohler-architects.com

NEW RESIDENCE FOR:
**CHI-MEI CHANG &
 HENDRINE CHANG**
 600 OLIVE ST.
 MENLO PARK, CA 94025

ROOF PLAN

drawn
 H.A.
 checked
 date
 09.7.2017
 scale
 1/4" = 1'-0"
 job no.
 sheet

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 of sheets

revisions by

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w/c

Roger Kohler
Architect, A.I.A.
C-7334
721 Colorado Avenue, Suite 102
Folsom, California 94301
916.552.1988
fax 916.521.2960
info@kohler-architects.com
www.kohler-architects.com

NEW RESIDENCE FOR:
**CHI-MEI CHANG &
HENDRINE CHANG**
600 OLIVE ST.
MENLO PARK, CA 94025

EXTERIOR
ELEVATIONS

drawn
H.A.
checked

date
09.7.2017
scale
1/4" = 1'-0"
job no.
sheet

A7

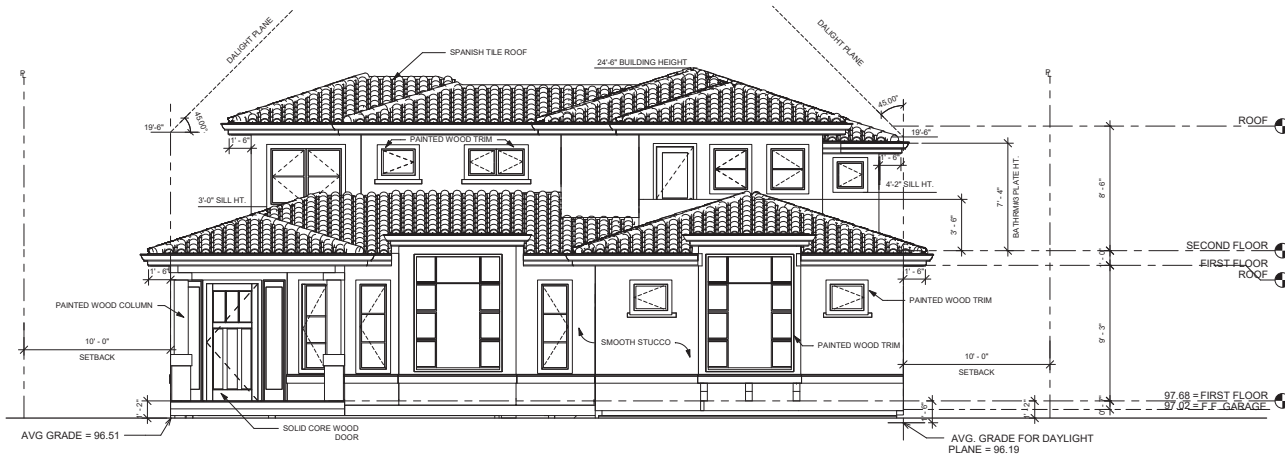
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LEFT ELEVATION

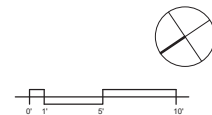
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EXTERIOR FINISH SCHEDULE:	
ROOF:	SPANISH TILE ROOF
EXTERIOR WALLS:	SMOOTH TEXTURE STUCCO
WINDOWS:	CLAD WINDOWS/CLEAR INSULATED GLASS W/ APPLIED MUTIN BARS ON BOTH SIDES
EXTERIOR DOORS:	CLAD DOOR
EXTERIOR TRIM:	PAINTED WOOD
COLUMNS:	PAINTED WOOD
PATIOS:	PRECAST CONCRETE PAVERS
WALKWAYS:	PRECAST CONCRETE PAVERS
GARAGE DOOR:	PAINTED WOOD
DRIVEWAY:	PRECAST CONCRETE PAVERS



FRONT ELEVATION

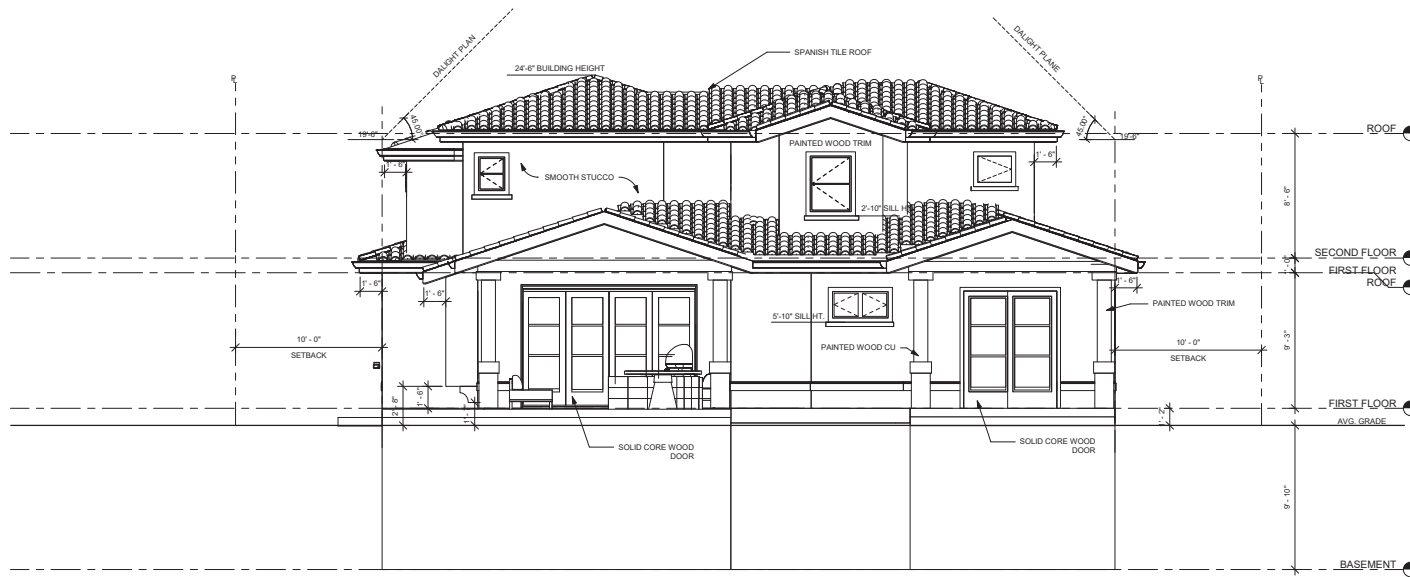
SCALE: 1/4" = 1'-0"





RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



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KOHLER ARCHITECTS
A I A

Roger Kohler
Architect, A.I.A.
C-7334
723 Colorado Avenue, Suite 102
Folsom, California 94301
916.552.1988
Fax 916.521.2960
info@kohler-architects.com
www.kohler-architects.com

NEW RESIDENCE FOR:
**CHI-MEI CHANG &
HENDRINE CHANG**
600 OLIVE ST.
MENLO PARK, CA 94025

**EXTERIOR
ELEVATIONS**

drawn
H.A.
checked

date
09.7.2017
SCALE
1/4" = 1'-0"
job no.
sheet

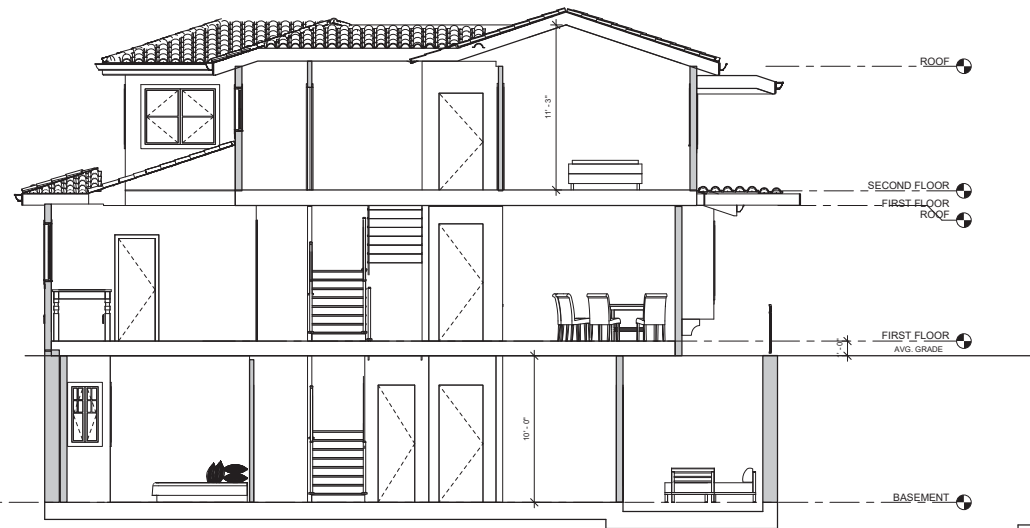
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of sheets



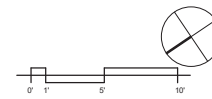
SECTION 2

SCALE: 1/4" = 1'-0"



Section 1

SCALE: 1/4" = 1'-0"



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12.18.17

03.23.18



KOHLER ARCHITECTS
A P C

Roger Kohler
Architect, A.I.A.
C-7334
721 Colorado Avenue, Suite 102
Folsom, California 94601
650.328.1986
fax 650.321.2960
info@kohler-architects.com
www.kohler-architects.com

NEW RESIDENCE FOR:
**CHI-MEI CHANG &
HENDRINE CHANG**
600 OLIVE ST.
MENLO PARK, CA 94025

**BUILDING
SECTIONS**

drawn
H.A.
checked

date

09.7.2017

SCALE

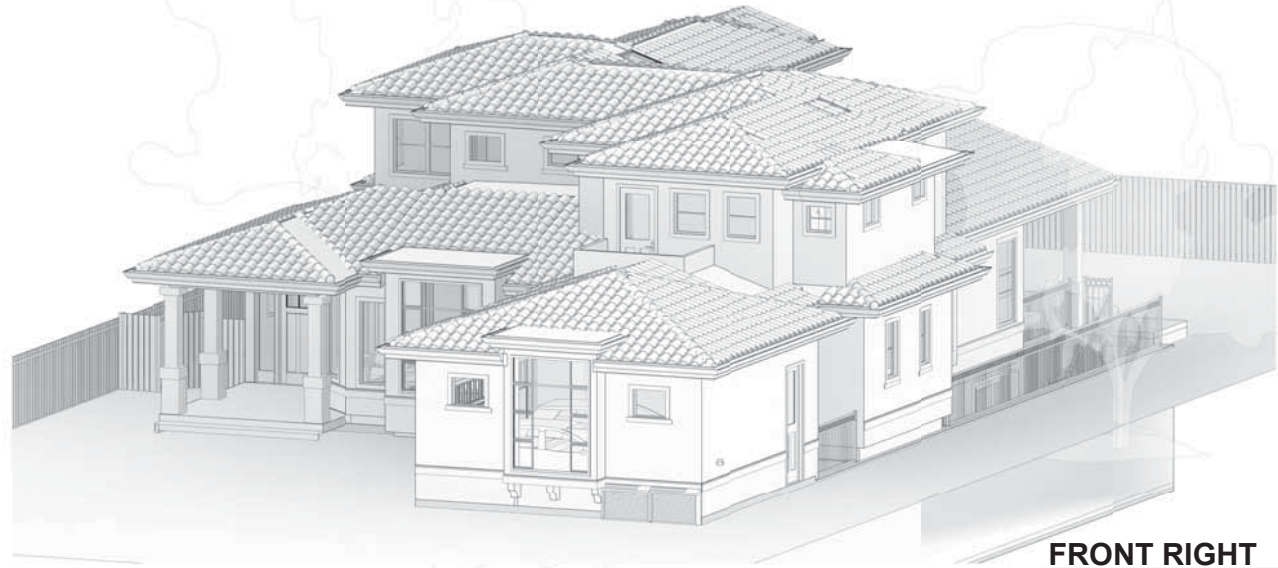
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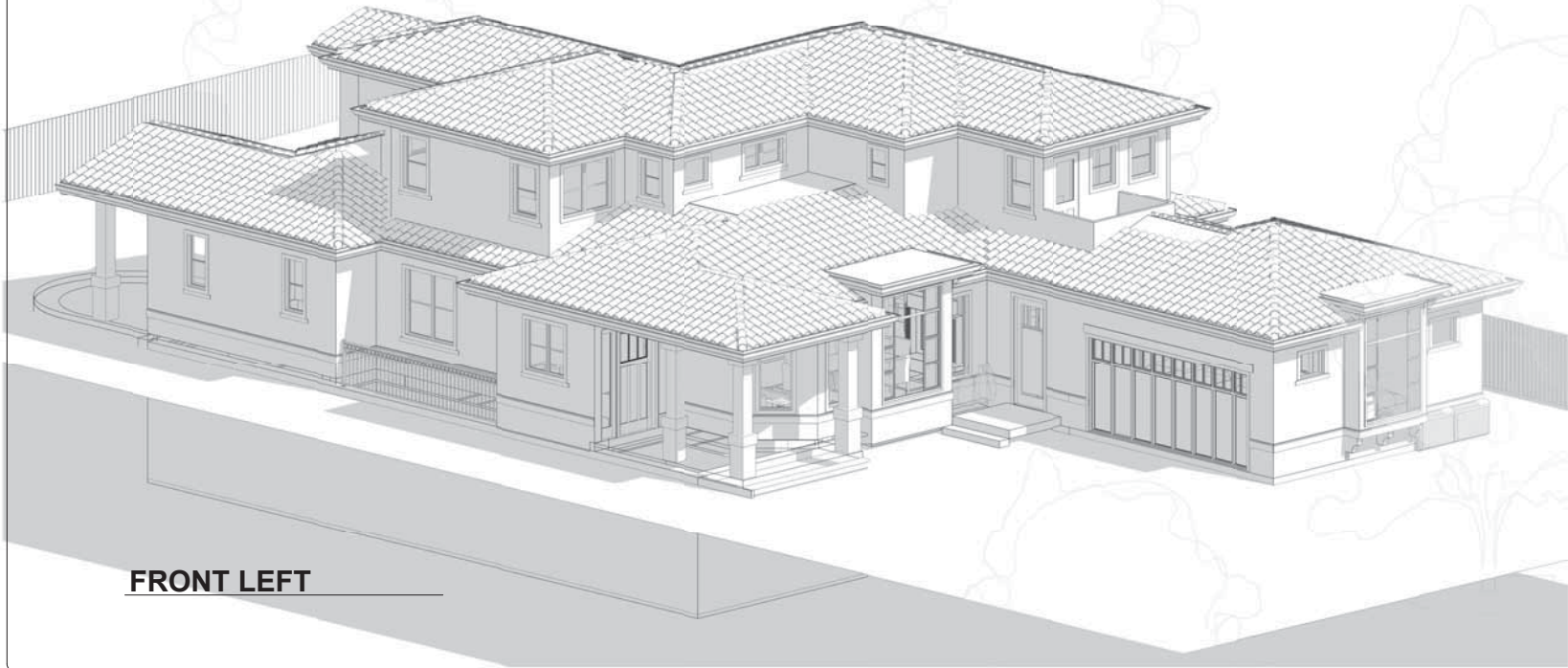
sheet

A9

of sheets



FRONT RIGHT



FRONT LEFT

revisions by

12.18.17



**KOHLER
ARCHITECTS**
P.C.

Roger Kohler
Architect, A.I.A.
C-7334
721 Colorado Avenue, Suite 102
Folsom, California 95630
650.528.1986
fax 650.521.2960
office@kohler-architects.com
www.kohler-architects.com

NEW RESIDENCE FOR:
**CHI-MEI CHANG &
HENDRINE CHANG**
600 OLIVE ST.
MENLO PARK, CA 94025

PERSPECTIVE

drawn
Author

checked

date
09.7.2017

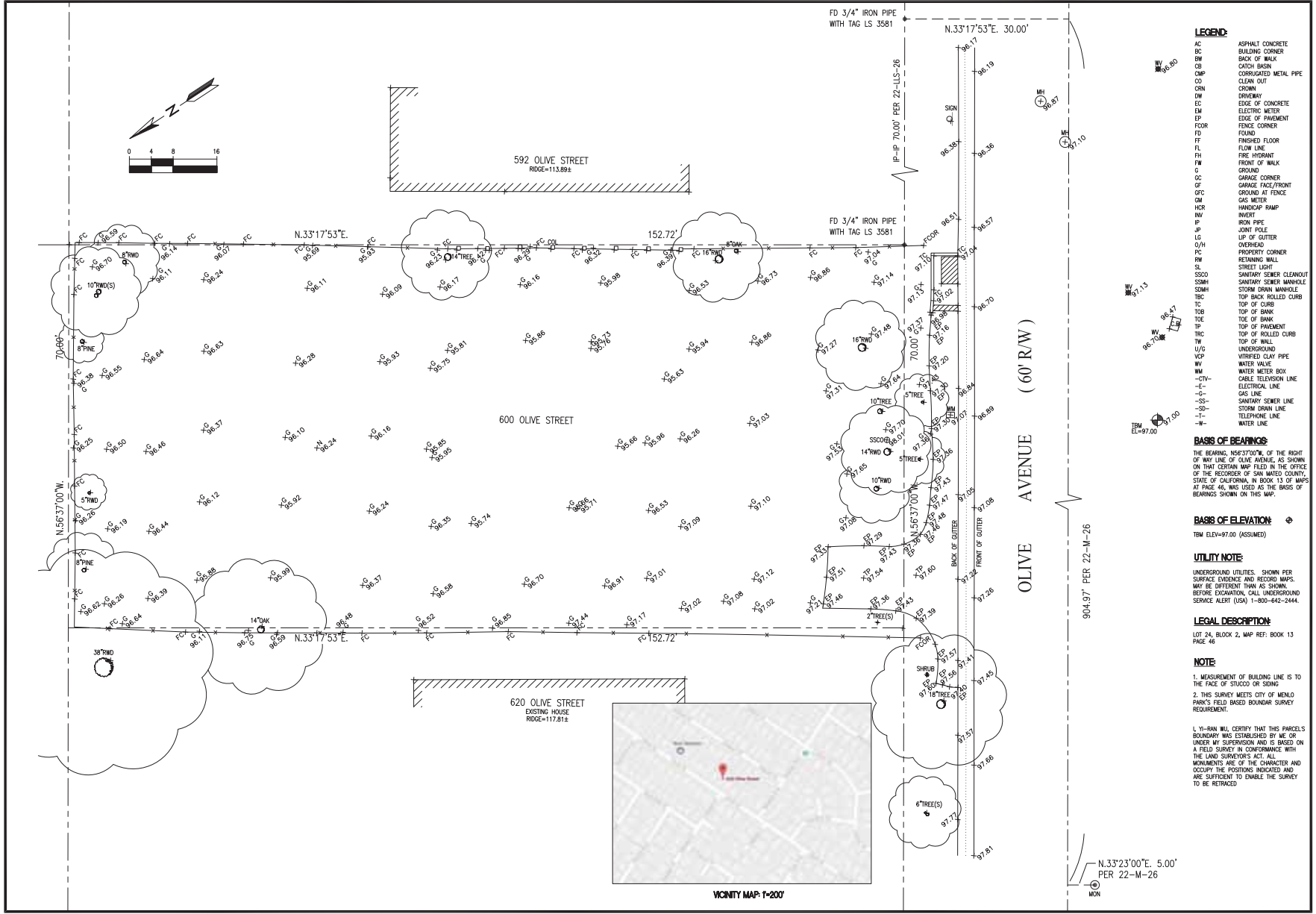
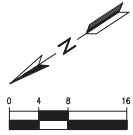
scale

job no.

sheet

A10

of sheets



VICINITY MAP 1-200'

- LEGEND:**
- AC ASPHALT CONCRETE
 - BC BUILDING CORNER
 - BW BACK OF WALK
 - OB CATCH BASIN
 - CMP CORRUGATED METAL PIPE
 - CO CLEAN OUT
 - DN DRAIN
 - DW DROWNEY
 - EC EDGE OF CONCRETE
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - FC FENCE CORNER
 - FOR FOUND
 - FT FINISHED FLOOR
 - FL FLOW LINE
 - FI FIRE HYDRANT
 - FW FRONT OF WALK
 - G GROUND
 - GC GARAGE CORNER
 - GF GARAGE FACE/FRONT
 - GM GROUND AT FENCE
 - GM GAS METER
 - HCR HANDICAP RAMP
 - HW HURDLE
 - IP IRON PIPE
 - JP JOINT POLE
 - L/G LIP OF GUTTER
 - OH OVERHEAD
 - PC PROPERTY CORNER
 - RE RETAINING WALL
 - SL SLEED LIGHT
 - SSO SANITARY SEWER CLEANOUT
 - SSM SANITARY SEWER MANHOLE
 - SSMH STORM DRAIN MANHOLE
 - TBC TOP BACK ROLLED CURB
 - TC TOP OF CURB
 - TBR TOP OF BANK
 - TOE TOE OF BANK
 - TP TOP OF PAVEMENT
 - TRC TOP OF ROLLED CURB
 - TW TOP OF WALL
 - U/G UNDERGROUND
 - VCP VITRIFIED CLAY PIPE
 - WV WATER VALVE
 - WM WATER METER BOX
 - CIV- CABLE TELEVISION LINE
 - E- ELECTRICAL LINE
 - G- GAS LINE
 - SS- SANITARY SEWER LINE
 - SD- STORM DRAIN LINE
 - T- TELEPHONE LINE
 - W- WATER LINE

BASE OF BEARINGS
 THE BEARING, N56°37'00"W, OF THE RIGHT OF WAY LINE OF OLIVE AVENUE, AS SHOWN ON THAT CELESTIAL MAP FILED IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, IN BOOK 13 OF MAPS AT PAGE 46, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASE OF ELEVATION
 TBM ELEV=97.00 (ASSUMED)

UTILITY NOTE:
 UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

LEGAL DESCRIPTION:
 LOT 24, BLOCK 2, MAP REF: BOOK 13 PAGE 46

NOTE:
 1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUDOS OR SIDING.
 2. THIS SURVEY MEETS CITY OF MENLO PARK'S FIELD BASED BOUNDARY SURVEY REQUIREMENT.

I, YI-RAN WU, CERTIFY THAT THIS PARCELS BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYORS ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO EMBLE THE SURVEY TO BE RETRACED.

CHANG RESIDENCE

600 OLIVE STREET
 MENLO PARK, CA
 APN: 071-231-210



305 MIDDLEFIELD RD #68
 PALO ALTO, CA 94306
 TEL: (650) 823-6466
 FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: MARCH 8, 2017
 SCALE: 1/8"=1'-0"
 DRAWN: BG
 JOB: 10078

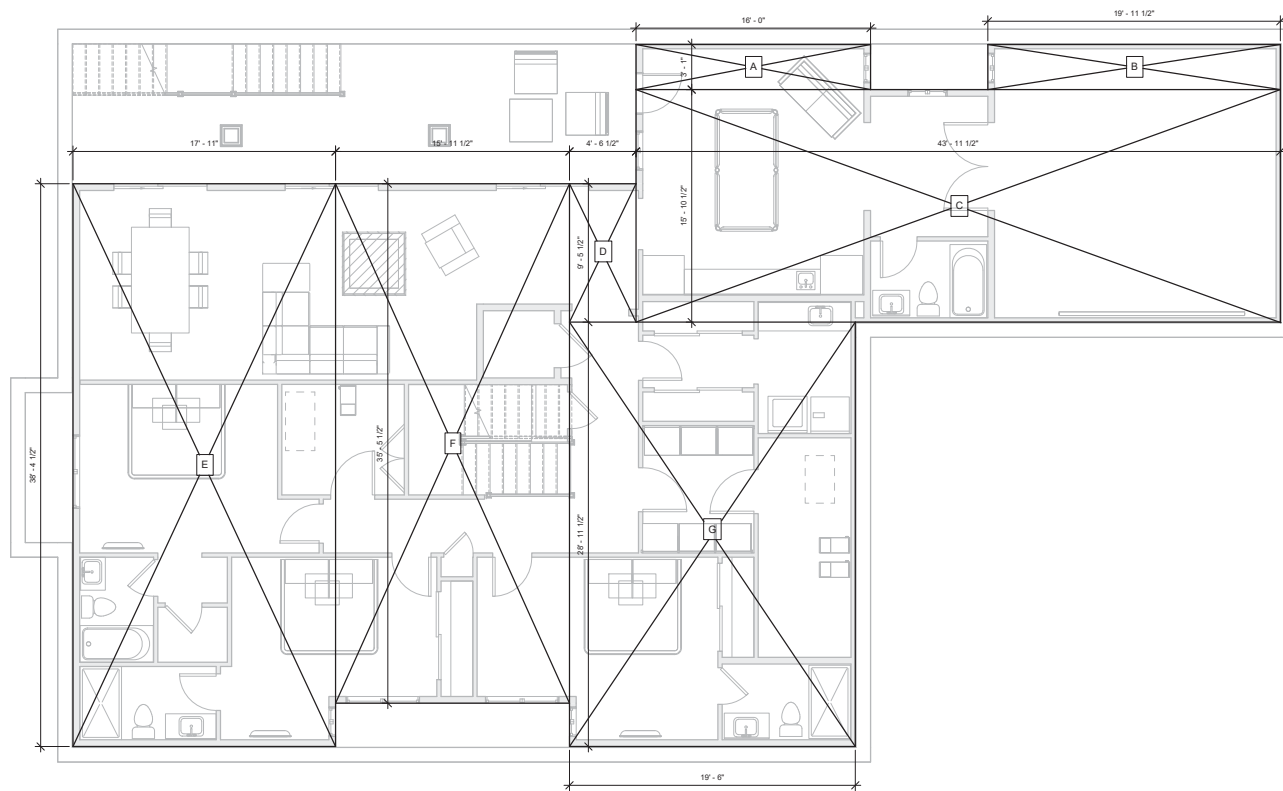
SHEET TITLE:
BOUNDARY & TOPOGRAPHIC SURVEY

SHEET NO.

C.0

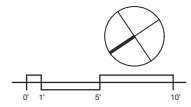
BASEMENT			
A	=	16.00 X 3.08	= 49.28 S.F.
B	=	19.95 X 3.08	= 61.44 S.F.
C	=	43.95 X 15.87	= 697.46 S.F.
D	=	4.54 X 3.45	= 15.65 S.F.
F	=	17.91 X 38.37	= 687.20 S.F.
F	=	15.95 X 35.45	= 565.42 S.F.
G	=	19.50 X 28.95	= 564.52 S.F.
TOTAL BASEMENT AREA		=	2,668.24 SF.

NOTE:
BASEMENT AREA WILL NOT CONTRIBUTE TO THE TOTAL FLOOR AREA.



BASEMENT

SCALE: 1/4" = 1'-0"



revisions by



KOHLER ARCHITECTS
P.C.

Roger Kohler
Architect, A.I.A.
C-7334

721 Colorado Avenue, Suite 102
Folsom, California 94303
650.328.1986
fax 650.321.2960
info@kohler-architects.com
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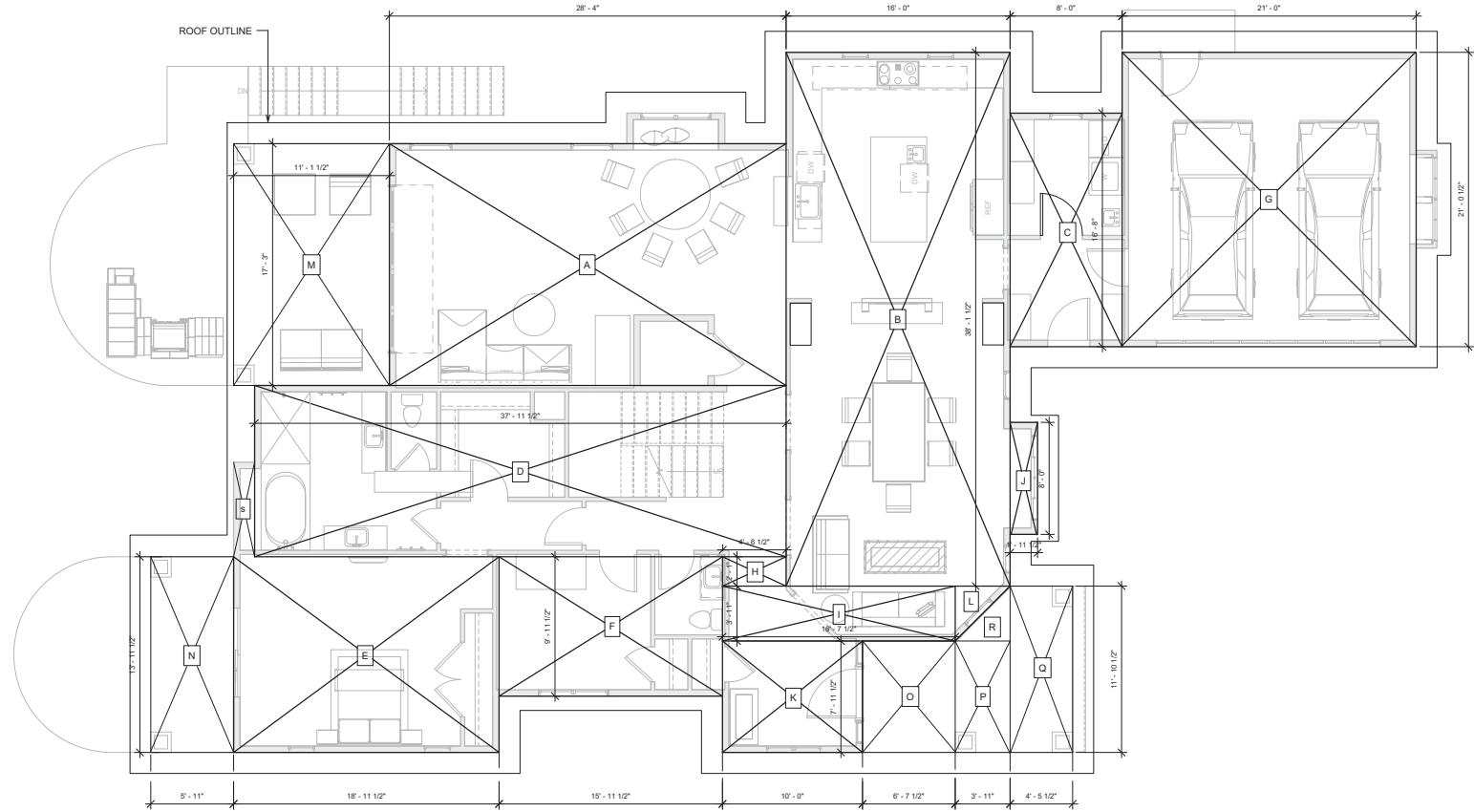
NEW RESIDENCE FOR:
**CHI-MEI CHANG &
HENDRINE CHANG**
600 OLIVE ST.
MENLO PARK, CA 94025

**BASEMENT
CALCULATION**

drawn	H.A.
checked	
date	09.7.2017
scale	1/4" = 1'-0"
job no.	
sheet	

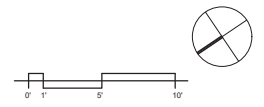
FA1
of sheets

FIRST FLOOR			
A	=	28.33 X 17.25	= 488.89 S.F.
B	=	16.00 X 38.12	= 609.92 S.F.
C	=	8.00 X 16.06	= 128.28 S.F.
D	=	37.95 X 12.25	= 464.88 S.F.
E	=	16.20 X 13.95	= 225.99 S.F.
F	=	15.25 X 9.95	= 151.70 S.F.
H	=	4.54 X 2.08	= 9.44 S.F.
I	=	16.62 X 3.91	= 64.98 S.F.
J	=	1.95 X 8.00	= 15.60 S.F.
K	=	10.00 X 7.95	= 79.50 S.F.
L	=	3.91 X 3.91	= 15.282 = 7.64 S.F.
S	=	1.50 X 6.75	= 10.12 S.F.
TOTAL FIRST FLOOR AREA = 2,268.74 S.F.			
GARAGE			
G	=	20.95 X 21.04	= 440.78 S.F.
TOTAL FLOOR AREA = 2,709.52 SF.			
BUILDING COVERAGE			
M	=	11.95 X 17.25	= 206.13 S.F.
N	=	8.86 X 13.95	= 123.80 S.F.
O	=	6.62 X 7.95	= 52.62 S.F.
Q	=	3.91 X 7.95	= 31.08 S.F.
R	=	4.45 X 11.87	= 52.82 S.F.
R	=	3.91 X 3.91	= 15.282 = 7.64 S.F.
TOTAL BUILDING COVERAGE = 3,180.61 S.F.			



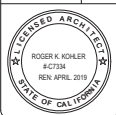
FIRST FLOOR AREA CALCULATION

1/4" = 1'-0"



revisions by

10.12.17	
03.23.18	



KOHLER ARCHITECTS
 w c
 Roger Kohler
 Architect, A.I.A.
 C-7334
 721 Colorado Avenue, Suite 103
 Palo Alto, California 94301
 650.328.1986
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 www.kohler-architects.com

NEW RESIDENCE FOR:
**CHI-MEI CHANG &
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 600 OLIVE ST.
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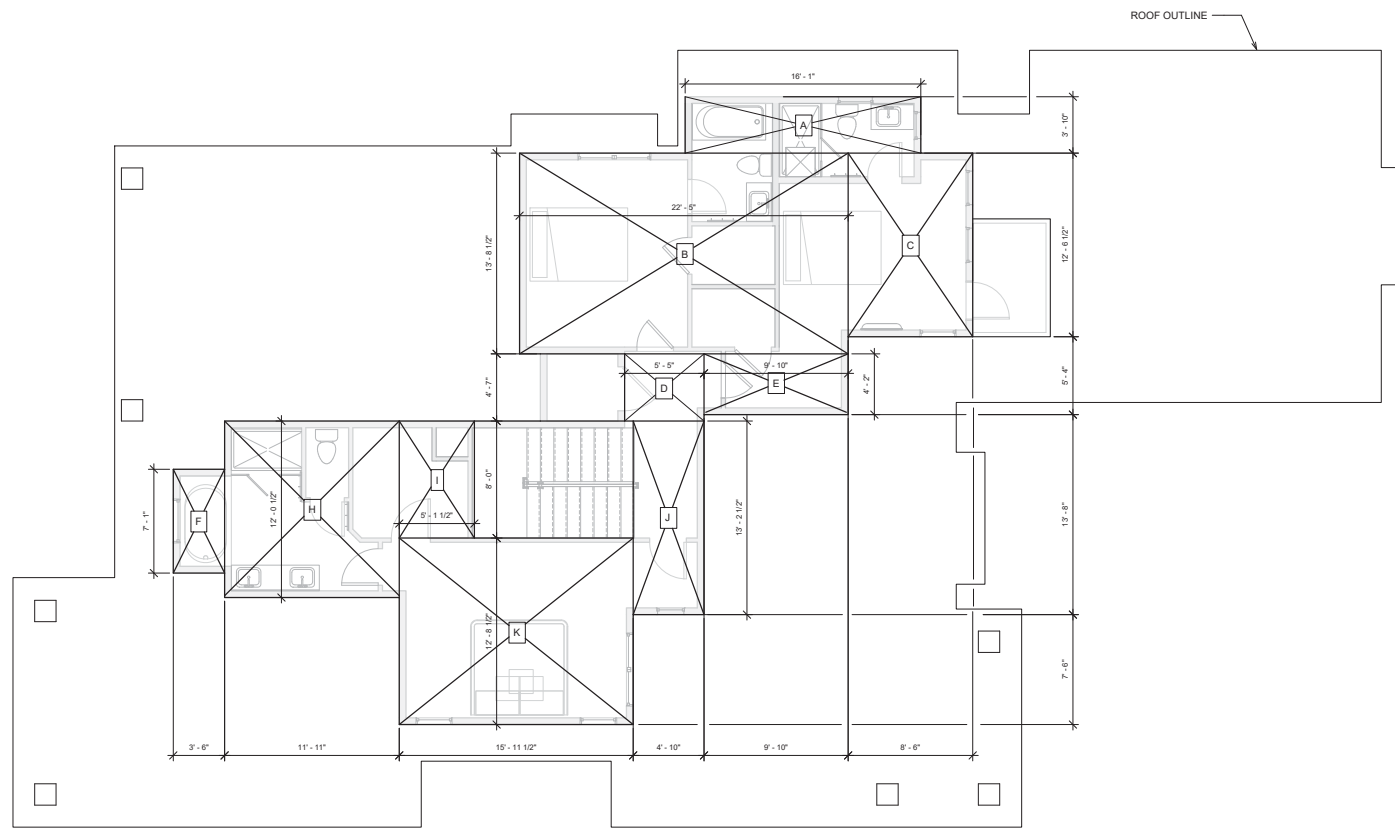
FIRST FLOOR
 CALCULATION

drawn	H.A.
checked	
date	09.7.2017
scale	1/4" = 1'-0"
job no.	
sheet	

FA2
 of sheets

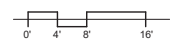
SECOND FLOOR			
A	=	16.88 X 3.83	= 61.58 S.F.
B	=	22.41 X 13.70	= 307.01 S.F.
C	=	8.50 X 12.54	= 24.77 S.F.
D	=	8.41 X 4.58	= 31.11 S.F.
E	=	9.83 X 4.16	= 40.89 S.F.
F	=	3.50 X 7.08	= 24.78 S.F.
H	=	11.91 X 12.04	= 143.38 S.F.
I	=	5.12 X 8.00	= 40.96 S.F.
J	=	4.83 X 13.20	= 63.75 S.F.
K	=	15.95 X 12.70	= 202.56 S.F.
TOTAL SECOND FLOOR AREA			= 960.80 SF.

NOTE:
THE AREA OF THE ELEVATOR MAY BE EXEMPT FROM THE FLOOR AREA FOR THE SECOND FLOOR. HOWEVER, IF THE ELEVATOR IS EXEMPT, THERE WILL BE A PROJECT SPECIFIC CONDITION OF APPROVAL THAT IT BE BUILT.



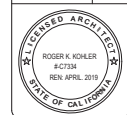
SECOND FLOOR

1/4" = 1'-0"



revisions by

10.12.17	
03.23.18	



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NEW RESIDENCE FOR:
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HENDRINE CHANG**
600 OLIVE ST.
MENLO PARK, CA 94025

**SECOND FLOOR
AREA
CALCULATION**

drawn	H.A.
checked	
date	09.7.2017
scale	1/4" = 1'-0"
job no.	
sheet	

FA3
of sheets

Arborist Form

Please complete one form for each tree. Mark each tree with colored ribbon or tape prior to our inspection.

Site Address: 600 Olive

ARBORIST INFORMATION:
 Name of Certified Arborist: Kevin Kielty
 ISA or ASCA number: W204726A Menlo Park Business License number:
 Company: Kielty Arborist Services
 Address: P.O. Box 6187 San Mateo CA 94403
 Phone: 650 515 9783 FAX: _____ Email: _____

TREE INFORMATION:
 Date of Inspection: 10/13/17
 Common Name: Deodar Cedar Botanical Name: Cedrus deodora
 Location of Tree: Front (street tree) Height of Tree: 40
 Diameter of tree at 54 inches above natural grade: 10.5"
 Circumference of tree at 54 inches above natural grade _____

Condition of Tree:
Fair, Thank Birds

If recommending removal or pruning, please list all reasons:
poor location for species
species is not a good street tree

Suggested Replacement Tree:
Chinese Pistache or Zelkova

Signature of Arborist: KKI Date: 2/7/18

Kielty Arborist Services LLC

Certified Arborist WE#0476A
 P.O. Box 6187
 San Mateo, CA 94403
 650-515-9783

October 15, 2017, revised February 9, 2018

Kohler Associates Architects
 Attn: Mr. Roger Kohler
 721 Colorado Avenue Suite 102
 Palo Alto, CA 94303

Site: 600 Olive, Menlo Park, CA

Dear Mr. Kohler,

As requested on Friday, October 13, 2017, I visited the above site to inspect and comment on the trees. The lot is currently vacant with a new home planned for the site. Your concern as to the future health and safety of the trees has prompted this visit.

Method:
 All inspections were made from the ground; the tree was not climbed for this inspection. The tree in question was located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). Each tree was given a condition rating for form and vitality. The tree's condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

- 1 - 29 Very Poor
- 30 - 49 Poor
- 50 - 69 Fair
- 70 - 89 Good
- 90 - 100 Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

Survey:	Tree#	Species	DBH	CON	HT/SP	Comments
1 ^H		Silver maple (<i>Acer saccharinum</i>)	24.2	45	35/40	Poor vigor, poor form, top in decline.
2		Redwood (<i>Sequoia sempervirens</i>)	10.2	60	40/30	Good vigor, good form, 1-4 trees in a group.

600 Olive/10 15/17 (3)

Summary:
 The trees on site are a mix of native oaks and several species of imported trees. Redwoods and incense cedars are not native to this area of Menlo Park. The trees are in poor to good condition with no excellent trees. The two neighbor's trees will not be affected by the proposed construction. Tree #4 is considered a street tree due to its location, the tree will be removed and replaced with a Chinese pistache or a Zelkova (as approved by city arborist).

The two oaks on site are both on the property line and should not have significant impacts to their root zones. The trees have the remnants of tree protection remaining from the clearing of the site. For the construction phase the tree protection will be improved to Menlo Park standards. The following tree protection plan will help to reduce impacts to the retained trees.

Tree Protection Plan:
 Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips.

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

Tree#	Species	DBH	CON	HT/SP	Comments
3H	Redwood (<i>Sequoia sempervirens</i>)	15.6	65	50/30	Good vigor, fair form, 1-4 trees along front.
4X	Deodar cedar (<i>Cedrus deodara</i>)	10.5	60	40/30	Good vigor, fair form, trunk bends south.
5H	Redwood (<i>Sequoia sempervirens</i>)	16.3	65	50/30	Good vigor, fair form, yellow jacket nest at base.
6	Coast live oak (<i>Quercus agrifolia</i>)	8.7	45	30/25	Good vigor, poor form codominant at 10 feet with poor crotch, suppressed.
7H	Redwood (<i>Sequoia sempervirens</i>)	16.5	65	50/30	Good vigor, fair form, near property line.
8	Ash (<i>Fraxinus uhdei</i>)	13.3	45	30/25	Fair vigor, poor form, poor crotch at 15 feet.
9	Redwood (<i>Sequoia sempervirens</i>)	8.3	60	35/30	Good vigor, fair form, group of three.
10H	Redwood (<i>Sequoia sempervirens</i>)	18.8	55	35/35	Good vigor, fair form, codominant.
11	Incense cedar (<i>Calocedrus decurrens</i>)	8.1	55	30/25	Good vigor, fair form, suppressed.
12	Redwood (<i>Sequoia sempervirens</i>)	5.4	70	20/15	Good vigor, good form.
13	Incense cedar (<i>Calocedrus decurrens</i>)	7.8	55	35/25	Good vigor, poor-fair form, suppressed.
14*H	Redwood (<i>Sequoia sempervirens</i>)	48est	75	80/40	Good vigor, fair form, 10 feet from property line.
15H	Coast live oak (<i>Quercus agrifolia</i>)	15.2	60	30/25	Good vigor, fair form, on property line.

*indicates neighbors tree, H indicates heritage tree, X indicates tree to be removed.

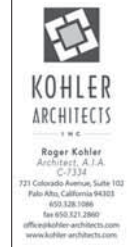
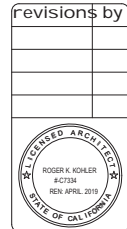
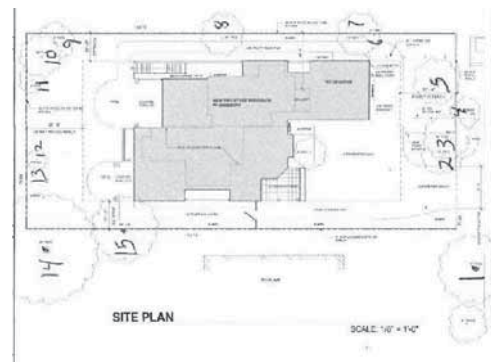
600 Olive/10 15/17 (4)

The improved tree protection will be inspected by the site arborist prior to the start of construction. Other inspections will be on an as needed basis.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
 Certified Arborist WE#0476A



NEW RESIDENCE FOR:
CHI-MEI CHANG & HENDRINE CHANG
 600 OLIVE ST.
 MENLO PARK, CA 94025

ARBORIST REPORT

drawn H.A.
 checked _____
 date 09.7.2017
 scale 1/8" = 1'-0"
 job no. _____
 sheet
T1
 of sheets

Project Description – 600 Olive St.

The project proposed is a new, two story single-family residence with basement of 3,716.31 square feet located at 600 Olive in Menlo Park. The home will sit on a lot size of 10,690.4 square feet. As part of the new home, updated hardscape and landscaping will be added. The surrounding neighborhood contains residences featuring a variety of traditional architectural styles, with a mix of attached and detached garages, and a mix of one- and two-story homes.

Thoughtful consideration was given to the design of the home, and a variety of factors contributed to the final plans. They included:

- studying the neighborhood to understand scale and aesthetic appropriate for the area
- recognizing the proximity to neighboring homes and minimizing adverse impact
- reflecting on the unique nature of Olive St. – with its stately homes that display a diverse array of architectural designs—from cottage style, to California craftsman, to modern, to Spanish, and more.

As a result of these considerations, the new residence at 600 Olive is a Mediterranean home style. The home will have a mix of gable and hip forms with Spanish tile roofing.

The residence will have three bedrooms and three bathrooms on the second floor level with one master bedroom on the first floor. The upper floor design has been arranged to minimize the massing on the second story away from neighbors. There is a basement with this proposal with a below grade patio.

The owner sent outreach letters, and arrange a meeting to address all neighbors' concerns. Please see neighbor outreach page for more detail.

The owners have engaged 3 of the adjacent neighbors directly by sharing and discussing our plans.

The owner then followed up with a second meeting with the neighbors. He provided the soils report for the neighbors who were concerned about water table level, and the possibility of dewatering. The Soils Engineers Boring tests went 18 feet deep and did not encounter water. Water will not be encountered during basement excavation.

The owner agreed to move the AC units from the rear to the front, based on the neighbor's request.



DATE December 19, 2017

PAGE 1 OF 1

Project: New Home at 600 Olive, Menlo Park, California, 94025
Neighborhood Contact

To: City of Menlo Park Planning Department
Attention: Ori Paz

As of November 9, 2017, the owners' son, Michael, had reached out to the following neighbors (italicized are contiguous or immediately across the street, bolded wrote in complaints):

- Olive Street: **560**, 578, **592**, 605, **620**, 624, **628**
- Hobart Street: 595, 601, 625

He offered up a broad window of 2 weeks to meet the neighbors who wrote in complaints. All of the neighbors eventually responded, but only one set (Sidney and Doug Marks at 628 Olive Street) was available to meet. Michael met with them on November 3, 2017 at their home and heard their concerns about the impact overflow parking onto the street would have on the safety for school children biking or walking to school. He reassured them that this is a family home, not an AirBnB house, and that they would look into installing a full-width parking strip out front (provided it did not interfere with the heritage redwood tress) when they do their landscape plan.

If you you have any other questions, please feel free to give me a call or via email.

Haleh Aboofazeli

Kohler Associates, Inc.

721 Colorado Avenue #102

Palo Alto, Ca 94303

650.328.1086

haleh@kohler-architects.com

www.kohler-architects.com

Kielty Arborist Services LLC

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

October 15, 2017

Kohler Associates Architects
 Attn: Mr. Roger Kohler
 721 Colorado Avenue Suite 102
 Palo Alto, CA 94303

Site: 600 Olive, Menlo Park, CA

Dear Mr. Kohler,

As requested on Friday, October 13, 2017, I visited the above site to inspect and comment on the trees. The lot is currently vacant with a new home planned for the site. Your concern as to the future health and safety of the trees has prompted this visit.

Method:

All inspections were made from the ground; the tree was not climbed for this inspection. The tree in question was located on a map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). Each tree was given a condition rating for form and vitality. The trees' condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1*	Silver maple (<i>Acer saccharinum</i>)	24.2	45	35/40	Poor vigor, poor form, top in decline.
2	Redwood (<i>Sequoia sempervirens</i>)	10.2	60	40/30	Good vigor, good form, 1-4 trees in a group.

600 Olive/10 15/17

(2)

Tree#	Species	DBH	CON	HT/SP	Comments
3	Redwood (<i>Sequoia sempervirens</i>)	15.6	65	50/30	Good vigor, fair form, 1-4 trees along front.
4	Deodar cedar (<i>Cedrus deodara</i>)	10.5	60	40/30	Good vigor, fair form, trunk bends south.
5	Redwood (<i>Sequoia sempervirens</i>)	16.3	65	50/30	Good vigor, fair form, yellow jacket nest at base.
6	Coast live oak (<i>Quercus agrifolia</i>)	8.7	45	30/25	Good vigor, poor form codominant at 10 feet with poor crotch, suppressed.
7	Redwood (<i>Sequoia sempervirens</i>)	16.5	65	50/30	Good vigor, fair form, near property line.
8	Ash (<i>Fraxinus uhdei</i>)	13.3	45	30/25	Fair vigor, poor form, poor crotch at 15 feet.
9	Redwood (<i>Sequoia sempervirens</i>)	8.3	60	35/30	Good vigor, fair form, group of three.
10	Redwood (<i>Sequoia sempervirens</i>)	18.8	55	35/35	Good vigor, fair form, codominant.
11	Incense cedar (<i>Calocedrus deccurans</i>)	8.1	55	30/25	Good vigor, fair form, suppressed.
12	Redwood (<i>Sequoia sempervirens</i>)	5.4	70	20/15	Good vigor, good form.
13	Incense cedar (<i>Calocedrus deccurans</i>)	7.8	55	35/25	Good vigor, poor-fair form, suppressed.
14*	Redwood (<i>Sequoia sempervirens</i>)	48est	75	80/40	Good vigor, fair form, 10 feet from property line.
15	Coast live oak (<i>Quercus agrifolia</i>)	15.2	60	30/25	Good vigor, fair form, on property line.

*indicates neighbors tree.

Summary:

The trees on site are a mix of native oaks and several species of imported trees. Redwoods and incensed cedars are not native to this area of Menlo Park. The trees are in poor to good condition with no excellent trees. The two neighbor's trees will not be affected by the proposed construction.

The two oaks on site are both on the property line and should not have significant impacts to their root zones. The trees have the remnants of tree protection remaining from the clearing of the site. For the construction phase the tree protection will be improved to Menlo Park standards. The following tree protection plan will help to reduce impacts to the retained trees.

Tree Protection Plan:

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips.

Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

600 Olive/10 15/17

(4)

The improved tree protection will be inspected by the site arborist prior to the start of construction. Other inspections will be on an as needed basis.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kiely
Certified Arborist WE#0476A

600 Olive Street, Menlo Park, CA 94025
Plans for Development by Architect Roger Kohler

Comments by Maurice & Marianne Schlumberger, residents at 620 Olive St, adjoining property

General Comments

These comments are based on what the site plans we obtained on 9/26/2017 show, and on our experience in the previous years of new houses being built in our immediate neighborhood.

1. Purpose of this new structure

The owners claim this to be a single family home. Our experience shows that, for this size house, this is often not the case, especially if the owners have not already lived in the neighborhood for a while, and especially –as is the case here- when they have not done any community outreach.

This proposed structure looks like a “spec house”, and should be treated with care as its overall size and shape will influence the future owners and their relationship to the existing neighborhood.

2. Size of the structure

The proposed structure, on a sub-standard lot, would be significantly larger than its immediate and proximate neighbors. This difference in size includes both the visible part of the house (above ground), and the underground part, which will disrupt further the flow of the water table in winter, where it is quite high, as it can go up to a couple feet below surface.

The proposed structure is too large for the neighborhood, both above ground, disrupting the common appearance, and underground, disrupting the natural flow of the water table.

3. Position of the structure

Given its proposed size, the proposed structure occupies a large part of the lot, barely within the mandated setbacks on both sides. It shades our house (620 Olive, to the WNW) in the morning, especially in the winter, when the morning sun is at a premium. The proposed plan significantly reduces the front yard is relative to the previous house and to both immediate neighbors on Olive.

The front alignment with the immediate neighbors should be preserved (about 40’ setbacks from the street fence instead of proposed 31’), and the shade impact minimized, especially for the winter sun.

Detailed comments on the proposed site plans

1. A1: Area Plan

- The scale at the bottom right of this sheet (and most if not all others) looks wrong, please correct.
- The house is much larger the its immediate neighbors, it doesn’t fit in its immediate neighborhood. Its second floor alone is about the entire size of any of its immediate

neighbors' footprints on Olive and on Hobart. Sunrise is delayed at least an hour on the 620 house. The two houses on Hobart mentioned as "two story residences", 595 and 601 Hobart, are,

- one a low two story, the second story (595) being a converted attic, and
 - the other (601) "second story" is more like a light well. The house on 601 was presented as a single story house when built.
- Three mature trees that were next to the fence on the 620 side have disappeared. This is aggravating as these trees were actually (per the surveyor plan, C.0) part of the 620 property. A mature orange tree on the 620 property has also been ignored. The disappeared trees should be replaced with similar trees.
 - There is no indication of the footprint of the previous house on this sheet or on any other.
 - The proposed garage is much closer to the street than the two adjacent buildings are, which is exacerbated by the bay window on the street side. A bay window might make sense for a living room, not so for a garage. The garage should be moved back to be in line with the neighboring houses and the bay window removed.

2. A2: Site Plan

- The numbering of the neighboring houses is wrong, please correct.
- The setback to the 620 property line (see C.0) is not respected; the distances are to the existing fence which is a foot and more within the 620 property. According to this sheet the house should move back at least a foot from the proposed position on the 620 side.
- The existing fence should be positioned on this sheet –and others- accordingly, and must be replaced by a fence on the property line or on the 600 side of this line.
- There doesn't seem to be any thought given to heavy rains. The property as proposed would be at least 2/3 if not ¾ covered with house or pavement, which do not absorb water. In a heavy downpour, which does occur regularly, this would inundate the sites downhill, mostly 592 Olive, as well as 595 and 601 Hobart. There must be a plan to contain a foot of rain within 24 hours.
- The comment "*(E) 6'-0" wood fence to be remain*", besides the unusual formulation is not acceptable as the fence is not 6 feet high all the way, and should sit on the property line or next to it on the 600 side.

3. A3: Basement Floor Plan

- The basement looks like an independent apartment, with independent access. This will require more parking space than currently designed for. In all cases a 7 bedroom house should have at least 7 off-street parking slots, not 4 (including two in the garage) as it is now proposed. Also the corresponding living area should be included into the overall inhabitable surface.

- The basement should be able to sustain at least 24 hours without external electrical power and not be flooded, hence there should be either a power generator, or a sump tank to hold rain and leakage water and grey water for that duration of time outside of said basement.

4. A7 and A8

- These look identical, please correct
- As a *real* A8, and in particular a “left elevation” was not available it is impossible for us to know if the master bedroom windows look straight into our bedroom, please make sure they do not.

5. A7 and A9

- the natural ground level is off: it slopes away from Olive not towards Olive, as shown on C.0, please correct accordingly

Conclusions

There are numerous imperfections on these plans, which are easy to catch and correct, we feel that these should have been corrected before being distributed.

In our opinion there are major flaws for this proposed structure to fit pleasantly in the neighborhood: it is too large, too close to the street, and it significantly increases the flooding risk to the downhill properties. This proposed structure should be reduced to fit into the neighborhood and to alleviate the flooding dangers.

600 Olive Street, Menlo Park, CA 94025
Plans for Development by Architect Roger Kohler

Comments by Jim and Lee Crowley, residents at 592 Olive St, adjoining property

We look forward to having the family of Che-Mei and Hendrine Chang as our next door neighbors. We had a chance to meet with Michael and Hendrine Chang in January to discuss and understand their plans for 600 Olive St. We are very grateful that two of the many items which we discussed were addressed in the most recent version of the plans: location/noise of the air conditioning units and the limited parking spaces.

However, the scope of the proposed development has not changed or been downsized. The property at 600 Olive St is a substandard lot. All of the adjoining properties have this classification. Owners who live on these lots appreciate that we are living a little closer together and need to be considerate of our close neighbors when developing our properties. The structure proposed for 600 Olive St will be one of the largest in the immediate neighborhood. It is a large structure appropriate for a much larger property, but not for a substandard lot.

The floor area comprised of the basement, first floor, second floor and garage totals to 6655 sf. This amount of floor area indicates a very intense use of the area of a substandard lot. As a point of reference, both of the two adjacent properties on Olive Street have floor areas less than 2500 sf. Such a large structure in such a small space will potentially be detrimental to the surrounding neighborhood with respect to privacy, daylight, reflected light, parking, noise, and ground water absorption. It is this last item which is of the biggest concern to us.

The walled basement area of 3400 sf will displace at least 34,000 cubic feet of soil, which will no longer be available for water absorption or retention. This means that rain water can only be absorbed in the perimeter of the property, basically in the set back areas. The rain water will ultimately be forced to the surrounding properties. It is not just an issue of run off but of soil saturation. Our property will be the one that is most directly impacted as we are on the down hill side of 600 Olive St. Having lived at 592 Olive St for more than 25 years, we have numerous observations of heavy rain events. They confirm that our property is susceptible to soil saturation. Our house is of the raised floor construction type. Water tends to percolate from saturated surrounding areas to the under floor area of our house. The proposed basement at 600 Olive St. will potentially have a significant impact on the saturation of the soil in the vicinity of our house causing this percolation problem to be much worse.

We discussed this issue with the Menlo Park planning and the public works departments. We were told that we were the first residents to raise this concern. We believe a better understanding of rain/ground water issues needs to be developed before projects like this one with large basements are approved. There are several items which we would like you to consider for this and future projects.

- The limitation on size of a basement should take into account ground water absorption and retention, soil saturation, and the effects on surrounding properties. These factors are currently not considered in setting the limitation on size.
- When a basement is planned, the impervious area worksheet and the grading and drainage plan should be required to be a part of the project documentation submitted to the planning commission. The current process of requiring these items at the building permit phase does not allow for public review by neighbors who might be impacted by ground water run off and/or retention.
- When a basement is planned, the water retention requirement should be revised so that water collected in a rain event can be pumped out to the street in order to protect surrounding properties from run off and soil saturation issues.

Per Menlo Park Ordinance Section 16.82.030, the planning commission shall determine whether the proposed use of a site will be injurious or detrimental to property. We believe that this project poses potential for harm to our property and home. We believe this project should be delayed until analysis can be presented by the developer that the large basement will not be detrimental to the surrounding properties and plans for mitigating the risk are reviewed.

Sincerely,

Jim and Lee Crowley
592 Olive Street

Comments concerning proposed 6000+ SF house on substandard lot at 600 Olive

Menlo Park Ordinance Section 16.82.030 states (our emphasis in bold)

“The planning commission shall determine whether or not the establishment, maintenance, or operation of the use applied for will, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, or whether it will **be injurious or detrimental to property and improvements in the neighborhood** or the general welfare of the city. If the planning commission finds that the aforementioned conditions will not result from the particular use applied for, it may grant the use permit.”

Our neighbors the Crowleys and the Schlumbergers, who are the immediate neighbors adjacent to 600 Olive St., have raised concerns on the proposed plans in their separate letters to the Planning Commission. We support those concerns and believe that the configuration and massive size of the planned project would have detrimental effects on the neighborhood in the following areas:

- Drainage
- Parking
- Loss of Daylight
- Noise

We note further that Section 16.82.030 requires an affirmative finding by the planning commission that these “conditions will not result from the particular use applied for” to grant a use permit.

Inadequate drainage and flooding has been a growing and recurring problem on Olive St during the winter rains. We think this is likely due to a combination of factors, including the more frequent heavy torrential downpours, the poor maintenance of storm sewers, and the increased impervious surfaces of the newly built monster mansions lining the street.

We understand that a drainage plan has not even submitted yet for the project. If so, there is no basis whatsoever for the planning commission to make an affirmative finding that detrimental “conditions will not result from the particular use applied for”. For this reason alone, we believe that the Menlo Park Ordinance requires that the use permit be denied.

Sincerely,

Kevin Harris & Nancy Cox
560 Olive St.

Dear Menlo Park Planning Commission:

We received the notice for the Request For Use Permit for 600 Olive Street. We live just down the street, and have great concern over the proposed design for the following reasons:

Potential Increased Demand For Off Street Parking & Bicycle/Pedestrian/Traffic Safety: Olive Street is a major thoroughfare for children on their way to school. Those children often walk and ride bicycles. The proposed 7 bedrooms and 8 ½ baths appears to be designed for multiple adults who might have separate cars. Currently there are homes on the street where individuals park in their driveways at night and then, during the day, block the sidewalks and areas of the street which pedestrians and bicyclists typically use. It appears that the likely user(s) of this home would further impact pedestrians and bicyclists and take parking spaces in front of other homes in the area. We are also concerned about the volume of traffic entering/exiting this driveway at a critical point of traffic (Olive Street at the junction with Oakdell) – there is a tremendous amount of bicycle and car traffic at this intersection both morning and afternoon to/from school and it is extremely difficult and dangerous to back-out of a driveway during these times.

Potential Increased Demand For Off Street Parking & Need For Parking Strip: Regardless of what is ultimately approved, there needs to be a parking strip that allows for cars to park completely off the street and not interfere with the edge of the street and area where bicyclists ride and children walk. We cannot tell from the plans if that is included. None of the homes immediately adjacent to or across the street from the 600 Olive Street address provide adequate parking strips. Any on-street parking interferes with the pedestrian/bike lane area. (Note: The current design seems to support multiple individuals or more than one family, which would imply greater demand for parking at this address beyond even what a typical home would require. We are concerned that the on-street parking needs of 600 Olive Street will spill beyond the immediate address.)

Potential Use As Multi-Family When Located in R-1-S Single Family Zoning: The house is located on a parcel that is zoned “R-1-S Single Family Suburban Residential District”. The zoning is not a multi-family, apartment, nor is it a high density residential district. Other locations in the City provide for these uses. It is a **Single Family** zone. 2 separate master bedrooms with attached master baths, 2 bedrooms with attached private baths, and 3 guest rooms each with an attached private bath would allow this house to lend itself well to leasing individual rooms and/or having multiple families live there. That is not allowed per the current zoning and is not similar to existing uses in the neighborhood. Whether or not the current owner uses the home in that manner, it seems designed very well to lease out to multiple unrelated individuals. We are not in favor of the current design for our R-1-S Single Family Residential District.

Please note that we are generally supportive of new development and have been open to most all new projects in the neighborhood. However, the proposed development is not at all consistent with what we have seen in neighboring homes and new developments as it appears designed for renting individual rooms which is not what the underlying zoning permits or encourages. Furthermore, the proposed home appears to be severely under-parked for the # of people and potential vehicles that might inhabit the parcel and we are concerned about the impact of those vehicles on street parking and pedestrian/bicycle/traffic safety.

Please feel free to contact us if you have questions or would like to discuss our comments. We can be reached at home at 650-324-8515. Thank you very much for considering our input.

With appreciation,

Sidney & Doug Marks
628 Olive Street, Menlo Park



STAFF REPORT

Planning Commission

Meeting Date: 5/7/2018

Staff Report Number: 18-042-PC

Public Hearing: Use Permit/Calvin Smith/36 Politzer Drive

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to partially demolish and construct first floor additions to an existing nonconforming single-family residence in the R-1-S (Single Family Suburban Residential) zoning district, at 36 Politzer Drive. The work would exceed the 75-percent value threshold for work to a nonconforming structure within a 12-month period, and therefore requires Planning Commission review of the proposed project. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The project site is located at 36 Politzer Drive, which is a street with a 90-degree bend that connects Valparaiso and Elder Avenues. The subject property is located at the bend itself, and as a result the parcel has a trapezoidal shape, where most of the other parcels are rectangular/square in shape. A location map is included as Attachment B. All parcels on Politzer Drive are also zoned R-1-S. Lots on the east side of the north-south section of Politzer Drive are backed by the Hillview Middle School, zoned P-F (Public Facilities). The area is close to the City's boundaries with the Town of Atherton, at Valparaiso Avenue. The subject parcel has substandard lot width, although it is not considered to be a substandard lot since the development is single-story, and the lot area is greater than 5,000 square feet.

The surrounding homes are predominantly single-story, single-family residences; however, a number of two-story homes can also be found down the street and throughout the neighborhood. Residences on Politzer Drive feature a variety of architectural styles including traditional ranch, Mediterranean, and contemporary residential.

Analysis

Project description

The subject site is currently occupied by a single-story residence clad in vertical painted wood lap siding

with an attached garage. The structure is nonconforming with regard to the rear, left, and right side setbacks, as well as the daylight plane on the left. The applicant is proposing to demolish, rebuild and expand along the right side setback, convert a portion of the porch into living space at the front, and expand the middle rear as well. The entire left side is proposed to be retained and renovated. The gable-end roof structure is proposed to be demolished and replaced by a new roof with a more gradual slope that fits with the Mediterranean-inspired design. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a five-bedroom home with six full bathrooms and a powder room. The existing two-car garage at the right side of the house would shift in towards the center of the lot, and move forward to be nearly in line with the left wing of the home. The current home features a pool in an older style that is proposed to be demolished and replaced with a more modern pool, located in a semi-enclosed courtyard surrounded by the existing and proposed building wings. The courtyard would adjoin the kitchen, with a pass-through window and counter located in between.

The existing nonconforming walls at the rear and left side of the residence are proposed to remain with the wall framing retained, but all areas of new construction, including the proposed addition of the master suite wing on the right side, would comply with current setback requirements and other development standards of the R-1-S zoning district. The proposed changes to the garage at the right side will correct the current nonconformity at the right. The gable of the existing wood shake roof is nonconforming with respect to the daylight plane at the left side, and is proposed to be removed. The new roof structure would comply with the relevant requirements for maximum heights and daylight plane. Plan sheet A3.5 includes three-dimensional diagrams demonstrating daylight plane compliance on the right side, where the property line is angled.

The floor area, building coverage, and height of the proposed residence would all be below the maximum amounts permitted by the Zoning Ordinance.

Design and materials

The existing residence is a ranch home featuring the characteristic long, low profile, gabled roof and vertical wood siding typical of this architectural style. The applicant has indicated their intended design is a simplified Mediterranean style to achieve a more modern aesthetic. As part of the proposed project, the gabled-end roof would be removed and replaced by a hipped roof featuring small front-facing gables on the central entry and bedroom 1 at the left side. The entire roof structure would be covered in clay barrel mission roof tiles. The right side of the roof would be relatively complicated, due to the staggering of this side wall with the angled property line, but this would not be particularly visible from the public right-of-way due to distance and existing landscaping, and staff does not believe it is likely to create any particular issues.

The majority of the existing windows across all elevations are proposed to be replaced with windows with simulated divided lights. The existing vertical wood siding on the exterior of the residence is proposed to be removed, and would be replaced with a smooth stucco finish.

Staff believes that the scale, materials, and style of the proposed residence are consistent with the broader neighborhood, given the architectural styles and sizes of structures in the area. By virtue of the one-story nature of the structure, privacy impacts to neighbors would be minimal.

Trees and landscaping

At present, there are 11 trees on or in close proximity to the project site. Seven of these trees are heritage trees. All 11 trees are proposed to remain. The partial demolition of the existing residence and construction of the proposed additions are not anticipated to adversely affect any of the existing trees located on the subject site or neighboring properties. There is work proposed within the drip line of a heritage size oak, tree #2 at the front to rework the driveway and modify a brick wall. Tree protection related to the potential impacts from that work have been discussed in the arborist report, which is included as Attachment F and which was reviewed by the City Arborist during the project review process. As noted in the report, an exploratory trench was carefully dug to ascertain the extent of roots in this area, in order to develop a tree-specific protection plan. Standard heritage tree protection measures and compliance with the project specific recommendations in the arborist report will be ensured through recommended condition 3g. With the exception of planters near the pool patio at the rear, no new landscaping is currently proposed.

Valuation

To calculate the replacement and new construction costs on which the use permit threshold is based, the City uses standards established by the Building Division. The City has determined that the replacement cost of the existing structure would be \$509,498 meaning that the applicants would be allowed to propose new construction and remodeling at this site totaling less than \$382,124 in any 12-month period without applying for a use permit. The City has determined that the value of the proposed work would be approximately \$592,658. Based on this estimate, the proposed project exceeds 75 percent of the replacement cost of the existing structure, therefore requiring use permit approval by the Planning Commission.

Correspondence

The property owners indicated that their neighbors sent them a letter earlier on and expressed a strong preference for a single-story design, and that they considered their neighbors input as they developed the proposal. The letter from the neighbors has been included as Attachment G.

Conclusion

Staff believes that the scale, materials, and style of the proposed residence are compatible with those of the greater neighborhood. Appropriate protections for potential heritage tree impacts have been assessed, and the project would bring two nonconformities into compliance. The floor area, building coverage, and height of the proposed residence would all be at or below the maximum amounts permitted by the Zoning Ordinance. Privacy impacts would be minimal, due to the one-story nature of the structure. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Correspondence

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

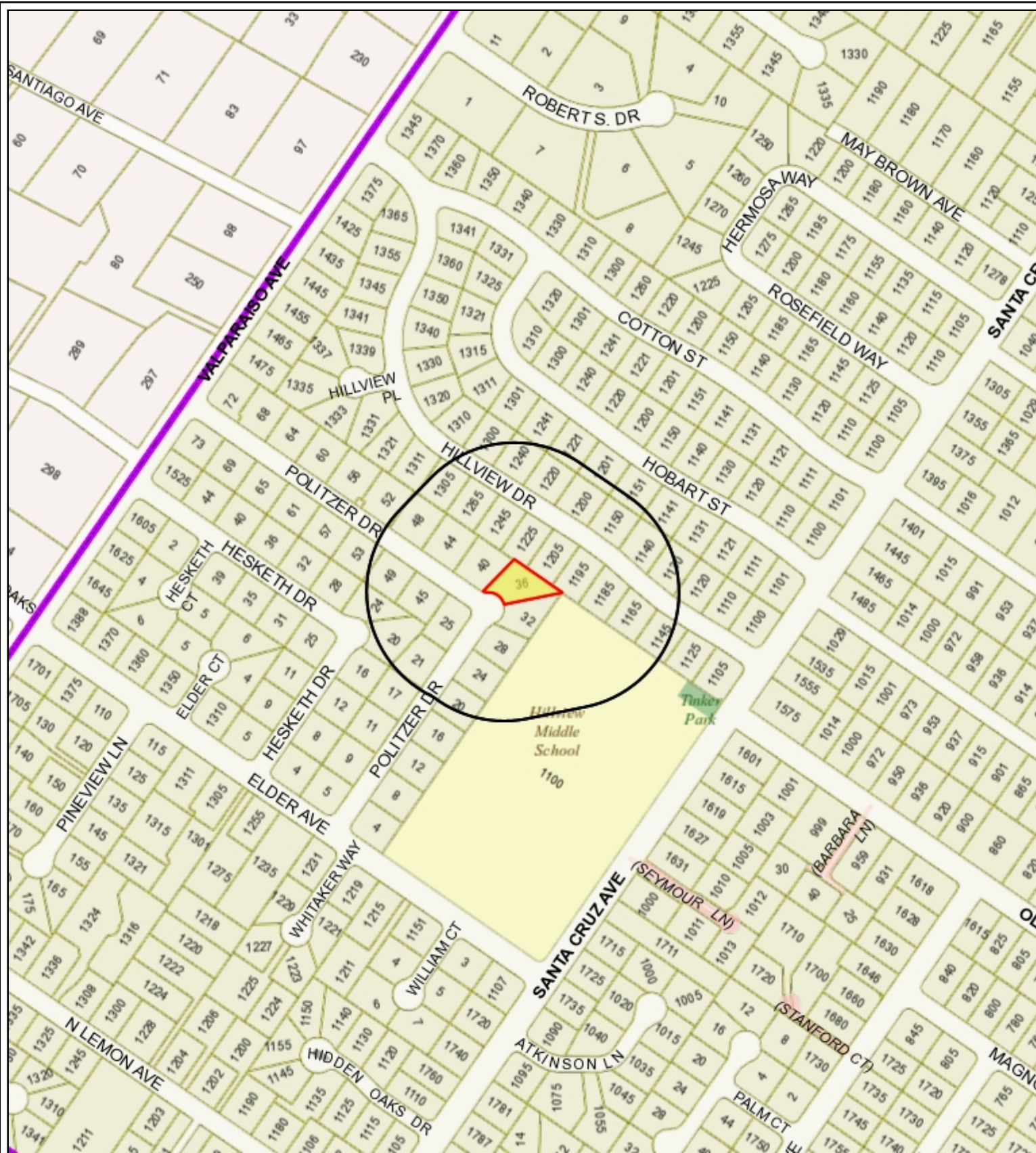
None

Report prepared by:
Ori Paz, Assistant Planner

Report reviewed by:
Thomas Rogers, Principal Planner

36 Politzer Drive – Attachment A: Recommended Actions

LOCATION: 36 Politzer Drive	PROJECT NUMBER: PLN2017-00119	APPLICANT: Calvin Smith	OWNER: Allison Swope & Nicholas Pineda
PROPOSAL: Request for a use permit to partially demolish and construct first floor additions to an existing nonconforming single-family residence in the R-1-S (Residential Suburban) zoning district. The work would exceed the 75-percent value threshold for work to a nonconforming structure within a 12-month period, and therefore requires Planning Commission review of the proposed project.			
DECISION ENTITY: Planning Commission	DATE: May 7, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kennedy, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Young & Borlik Architects, Inc. consisting of 22 plan sheets, dated received May 1, 2018, and approved by the Planning Commission on May 7, 2018, except as modified by the conditions contained herein, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Urban Tree Management, Inc. on February 28, 2018. 			



City of Menlo Park
 Location Map
 36 Politzer Drive



Scale: 1:4,000

Drawn By: OP

Checked By: THR

Date: 5/7/2018

Sheet: 1

36 Politzer Drive – Attachment C: Data Table

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	11,388.0 sf	11,388.0 sf	10,000.0 sf min.
Lot width	79.5 ft.	79.5 ft.	80.0 ft. min.
Lot depth	134.6 ft.	134.6 ft.	100.0 ft. min.
Setbacks			
Front	20.3 ft.	21.8 ft.	20.0 ft. min.
Rear	18.7 ft.	18.7 ft.	20.0 ft. min.
Side (left)	7.5 ft.	7.5 ft.	10 ft. min.
Side (right)	10.9 ft.	9.8 ft.	10 ft. min.
Building coverage	3,979.9 sf 34.9 %	3,193.9 sf 28.0 %	3,985.8 sf max. 35.0 % max.
FAL (Floor Area Limit)	3,867.9 sf	2,936.2 sf	3,897.0 sf max.
Square footage by floor	3,398.3 sf/1 st floor 469.6 sf/garage 101.3 sf/porches	2,351.4 sf/1 st floor 459.9 sf/garage 124.9 sf/sheds 257.7 sf/porches	
Square footage of buildings	3,979.9 sf	3,193.9 sf	
Building height	16.2 ft.	15.3 ft.	28.0 ft. max.
Parking	2 covered	2 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 7*	Non-Heritage trees: 4*	New Trees: 0
	Heritage trees proposed for removal: 0	Non-Heritage trees proposed for removal: 0	Total Number of Trees: 11*
*Includes trees on neighboring lots and the public right-of-way.			

NOTICE: THIS SET HAS BEEN PRODUCED FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT. THESE DRAWINGS ARE NOT INTENDED TO BE ACCURATE "AS-BUILTS," NOR INCLUSIVE OF ALL DETAILS, DRAWINGS, MATERIAL SPECIFICATIONS, ETC. NEEDED TO ADDRESS ALL POSSIBLE CONSTRUCTION ISSUES. THE ARCHITECT HAS PREPARED THESE DOCUMENTS ONLY FOR THE IMPROVEMENTS AND CONSTRUCTION NOTED, INDICATED OR SHOWN AS "NEW" WORK AND ASSUMES NO RESPONSIBILITY FOR ALL OTHER CONSTRUCTION, MATERIALS OR EQUIPMENT NOTED, INDICATED OR SHOWN AS "EXISTING" OR AS PROVIDED "BY OTHERS."

THE ARCHITECT HAS NOT BEEN RETAINED TO SURVEY FOR OR OTHERWISE DISCOVER THE PRESENCE OF HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, PCBs, OR OTHER TOXIC SUBSTANCES.

THE ARCHITECT IS NOT RESPONSIBLE FOR THE HANDLING, REMOVAL OR DISPOSAL OF OR EXPOSURE OR PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE. OWNER HEREBY WARRANTS THAT IF IT KNOWS OR HAS ANY REASON TO KNOW OR HAS ANY REASON TO ASSUME OR SUSPECT THAT HAZARDOUS MATERIALS EXIST AT THE PROJECT SITE, THAT IT WILL INFORM THE ARCHITECT AND THAT OWNER WILL CAUSE SUCH ITEMS TO BE REMOVED OR TREATED BY A PROFESSIONAL AND LICENSED ASBESTOS ABATEMENT CONTRACTOR IN A MANNER PRESCRIBED BY ALL APPLICABLE CODES AND REGULATIONS.

SWOPE & PINEDA RESIDENCE

MENLO PARK, CALIFORNIA



PROPOSED FRONT ELEVATION RENDERING

N.T.S. 6



PARCEL MAP

5

ARCHITECT:
YOUNG & BORLIK ARCHITECTS
4962 EL CAMINO REAL SUITE 218
LOS ALTOS, CA 94022
TEL: (650) 688-1950
ATTN: STEVE BORLIK

SURVEYOR:
TWR ENGINEERING
535 WEYBRIDGE DRIVE
SAN JOSE, CA 95123
TEL: (408) 348-7813

ARBORIST:
URSAIN TREE MANAGEMENT
PO BOX 971
LOS GATOS, CA 95031
TEL: (950) 321-0292
ATTN: ALLIE STRAND

PROJECT DESIGN DATA:
2016 CALIFORNIA BUILDING CODE VOL. 122
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRIC CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA GREEN BUILDING CODE (CalGreen)
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

CURRENT MENLO PARK MUNICIPAL CODE AS ADOPTED BY THE CITY COUNCIL, ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS.

THE DOCUMENTS PREPARED BY THESE CONSULTANTS ARE AN INTEGRAL PART OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SHALL BE INCORPORATED INTO THIS SET BY REFERENCE. I.E. SOILS REPORT, TITLE 24, STRUCTURAL CALCULATIONS, ETC. THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED. THE CONTRACTOR SHALL OBTAIN CURRENT COPIES OF ALL DOCUMENTS, READ, UNDERSTAND AND CONFIRM ANY CONFLICTS OR DISCREPANCIES OR QUESTIONS WITH APPROPRIATE CONSULTANTS.

VICINITY MAP

4

CONSULTANTS

3

- ARCHITECTURAL**
- A0.1 PROPOSED FRONT ELEVATION RENDERING, PROJECT SUMMARY, CONSULTANTS, VICINITY MAP, PARCEL MAP
 - A0.2 PROPOSED AREA PLAN, PROPOSED STREETSCAPE
 - A0.3 EXISTING SITE PLAN
 - A0.4 PROPOSED SITE PLAN
 - A0.5 FLOOR AREA CALCULATION
 - A0.6 VALUATION CALCULATION - FLOOR PLAN
 - A0.7 VALUATION CALCULATION - ELEVATION
 - A1.1 EXISTING FLOOR PLAN WITH DEMOLITION NOTES
 - A1.2 EXISTING ROOF PLAN WITH DEMILITION NOTES
 - A2.1.1 PROPOSED FLOOR PLAN
 - A2.1.2 PROPOSED DIMENSION PLAN
 - A2.2 PROPOSED ROOF PLAN
 - A3.1 EXISTING AND PROPOSED FRONT ELEVATION
 - A3.2 EXISTING AND PROPOSED SIDE ELEVATION - SOUTH
 - A3.3 EXISTING AND PROPOSED REAR ELEVATION
 - A3.4 EXISTING AND PROPOSED SIDE ELEVATION - NORTH
 - A3.5 DAYLIGHT PLANE STUDY
 - A4.1 PROPOSED BUILDING SECTIONS
 - A4.2 PROPOSED BUILDING SECTIONS

- CIVIL SURVEY**
- 1-1 FULL-FIELD BASED BOUNDARY & TOPOGRAPHIC SURVEY

- STRUCTURAL**
- S-1 PRELIMINARY FOUNDATION PLAN

THE WORK HOURS ARE REGULATED BY NOISE LEVELS CREATED DURING CONSTRUCTION. THE MAXIMUM NOISE LEVELS ALLOWED ARE ESTABLISHED IN THE CITY OF MENLO PARK MUNICIPAL CODE CHAPTER 8.06 NOISE

1. ANY AND ALL EXCESSIVELY ANNOYING, LOUD OR UNUSUAL NOISES OR VIBRATIONS SUCH AS OFFEND THE PEACE AND QUIET OF PERSONS OF ORDINARY SENSIBILITIES AND WHICH INTERFERE WITH THE COMFORTABLE ENJOYMENT OF LIFE OR PROPERTY AND AFFECT AT THE SAME TIME AN ENTIRE NEIGHBORHOOD OR ANY CONSIDERABLE NUMBER OF PERSONS SHALL BE CONSIDERED A NOISE DISTURBANCE.

2. CONSTRUCTION ACTIVITIES:
- a. CONSTRUCTION ACTIVITIES ARE LIMITED TO THE HOURS OF EIGHT (8) A.M. AND SIX (6) P.M. MONDAY THROUGH FRIDAY.
 - b. CONSTRUCTION ACTIVITIES BY RESIDENTS AND PROPERTY OWNERS PERSONALLY UNDERTAKING CONSTRUCTION ACTIVITIES TO MAINTAIN OR IMPROVE THEIR PROPERTY ARE ALLOWED ON SATURDAYS ON HOLIDAYS BETWEEN THE HOURS OF NINE (9) A.M. AND FIVE (5) P.M.
 - c. A SIGN, CONTAINING THE PERMITTED HOURS OF CONSTRUCTION ACTIVITIES EXCEEDING THE NOISE LIMITS SET FORTH IN SECTION 8.06.020, SHALL BE POSTED AT ALL ENTRANCES TO A CONSTRUCTION SITE UPON THE COMMENCEMENT OF CONSTRUCTION. FOR THE PURPOSE OF INFORMING CONTRACTORS AND SUBCONTRACTORS AND ALL OTHER PERSONS AT THE CONSTRUCTION SITE OF THE BASIC REQUIREMENTS OF THIS CHAPTER, THE SIGN SHALL BE AT LEAST FIVE (5) FEET ABOVE GROUND LEVEL AND SHALL CONSIST OF A WHITE BACKGROUND WITH BLACK LETTERS.
 - d. NOTWITHSTANDING ANY OTHER PROVISION SET FORTH ABOVE, ALL POWERED EQUIPMENT SHALL COMPLY WITH THE LIMITS SET FORTH IN SECTION 8.06.040(B).

SHEET INDEX

2

APNF:	071-033-120
PROJECT ADDRESS:	36 POLITZER DRIVE MENLO PARK, CA 94025
PROPERTY OWNER:	ALLISON SWOPE & NICK PINEDA
ZONING:	R-1-S
LOT SIZE:	411,388 sf
BUILDING OCCUPANCY:	RS, U
TYPE OF CONSTRUCTION:	TYPE V-B
HISTORIC STATUS:	NO
FLOOD ZONE:	NO
FIRE SPRINKLERS:	NONE
ALLOWABLE F.A.L. (LOT > 7,000 sf, 2800 sf + 25% EXCEEDED):	3,897 sf
LOT COVERAGE ALLOWABLE (35%):	3,985.9 sf
FRONT & REAR SETBACK:	20'
SIDE SETBACK:	10'
HEIGHT LIMIT:	28'
EXISTING FIRST FLOOR (CONDITIONED AREA):	2,351.4 sf
EXISTING ATTACHED GARAGE:	459.9 sf
EXISTING DETACHED ACCESSORY STRUCTURE (TO BE DEMO'D)	124.9 sf
TOTAL EXISTING FLOOR AREA:	2,936.2 sf < 3,897 sf MAX
EXISTING COVERED PORCHES:	257.7 sf
EXISTING LOT COVERAGE:	3,193.9 sf < 3,985.9 sf MAX
PROPOSED FIRST FLOOR (CONDITIONED AREA):	3,398.29 sf
PROPOSED ATTACHED GARAGE:	469.58 sf
TOTAL PROPOSED FLOOR AREA:	3,867.87 sf < 3,897 sf MAX
PROPOSED COVERED PORCHES:	101.33 sf
PROPOSED LOT COVERAGE:	3,979.9 sf < 3,985.9 sf MAX

SEE SHEET A0.5 FOR AREA CALCULATION AND PROJECT SUMMARY TABLE

SCOPE OF WORK
REMODEL AND ADDITION TO EXISTING 2,811.9 sf RESIDENCE. NEW SITE IMPROVEMENTS INCLUDING NEW POOL AND DECK

PROJECT SUMMARY

1

ISSUE LOG	
PLANNING SUBMITTAL	NOV. 27, 2017
PLANNING REVISION	MAR. 05, 2018
PLANNING REVISION	APR. 18, 2018
PLANNING REVISION	APR. 30, 2018

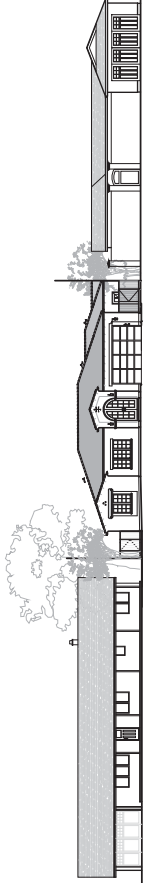
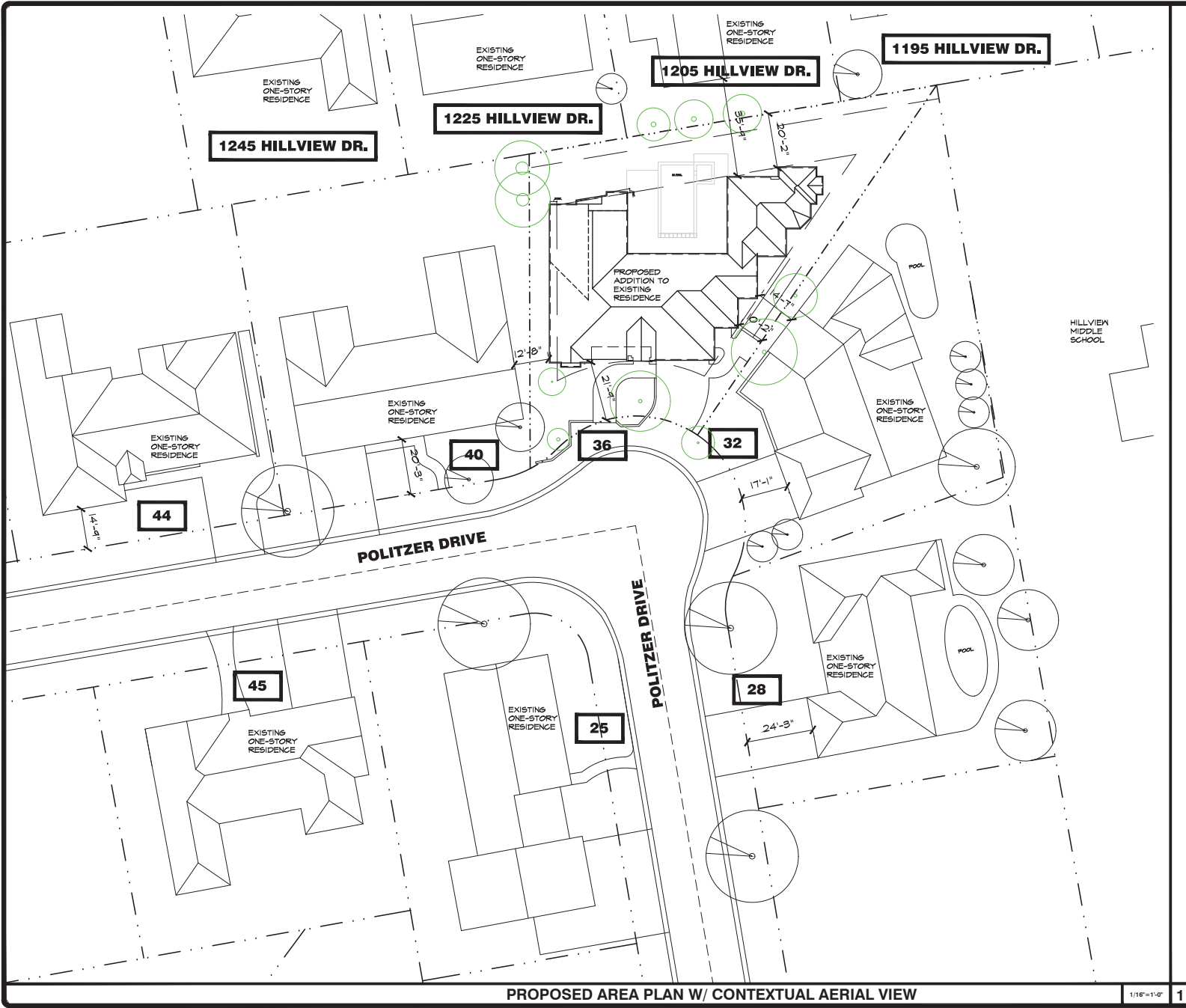
YOUNG AND BORLIK
ARCHITECTS, INCORPORATED
4962 EL CAMINO REAL, SUITE 218 LOS ALTOS, CA 94022
TEL: (650) 688-1950 FAX: (650) 321-1112 www.yborl architects.com



INTERIOR REMODEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
36 POLITZER DRIVE
MENLO PARK, CA 94025

A.P.N. 071-033-120	
CHECKED SMB	DRAWN CS
DATE 09.27.2017	
PROJECT SWOPE-PINEDA	

A0.1



40 Politzer Drive (Neighboring Residence)
 36 Politzer Dr. (Proposed Front)
 32 Politzer Drive (Neighboring Residence)
 STREET SCAPE ELEVATION POLITZER DRIVE

1/16"=1'-0" 2

ISSUE LOG

PLANNING SUBMITTAL	NOV. 22, 2017
PLANNING REVISION	MAR. 06, 2018
PLANNING REVISION	APR. 18, 2018
PLANNING REVISION	APR. 30, 2018

YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 4982 EL CAMINO REAL, SUITE 2218 LOS ALTOS, CA 94022
 TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarc.com



INTERIOR REMODEL & ADDITION FOR:
 ALLISON SWOPE & NICK PINEDA
 36 POLITZER DRIVE
 MENLO PARK, CA 94025

A.P.N. 071-033-120

CHECKED	DRAWN
SRB	CS
DATE	
08.27.2017	
JOB #	
SWOPE-PINEDA	

A0.2

SITE ANALYSIS

ZONING:	R-1-S
LOT AREA:	11,388 sf
ALLOWABLE FLOOR AREA:	3,897 sf
ALLOWABLE LOT COVERAGE:	3,986.6 sf
TOTAL EXISTING FLOOR AREA:	2,936.2 sf
TOTAL EXISTING LOT COVERAGE:	3,193.9 sf
LAND COVERED BY STRUCTURES:	28.1%
LANDSCAPING:	68.7%
PAVED SURFACES:	13.2%
PARKING SPACES:	2 COVERED/ 0 UNCOVERED
ALL GRADES TO REMAIN NATURAL	

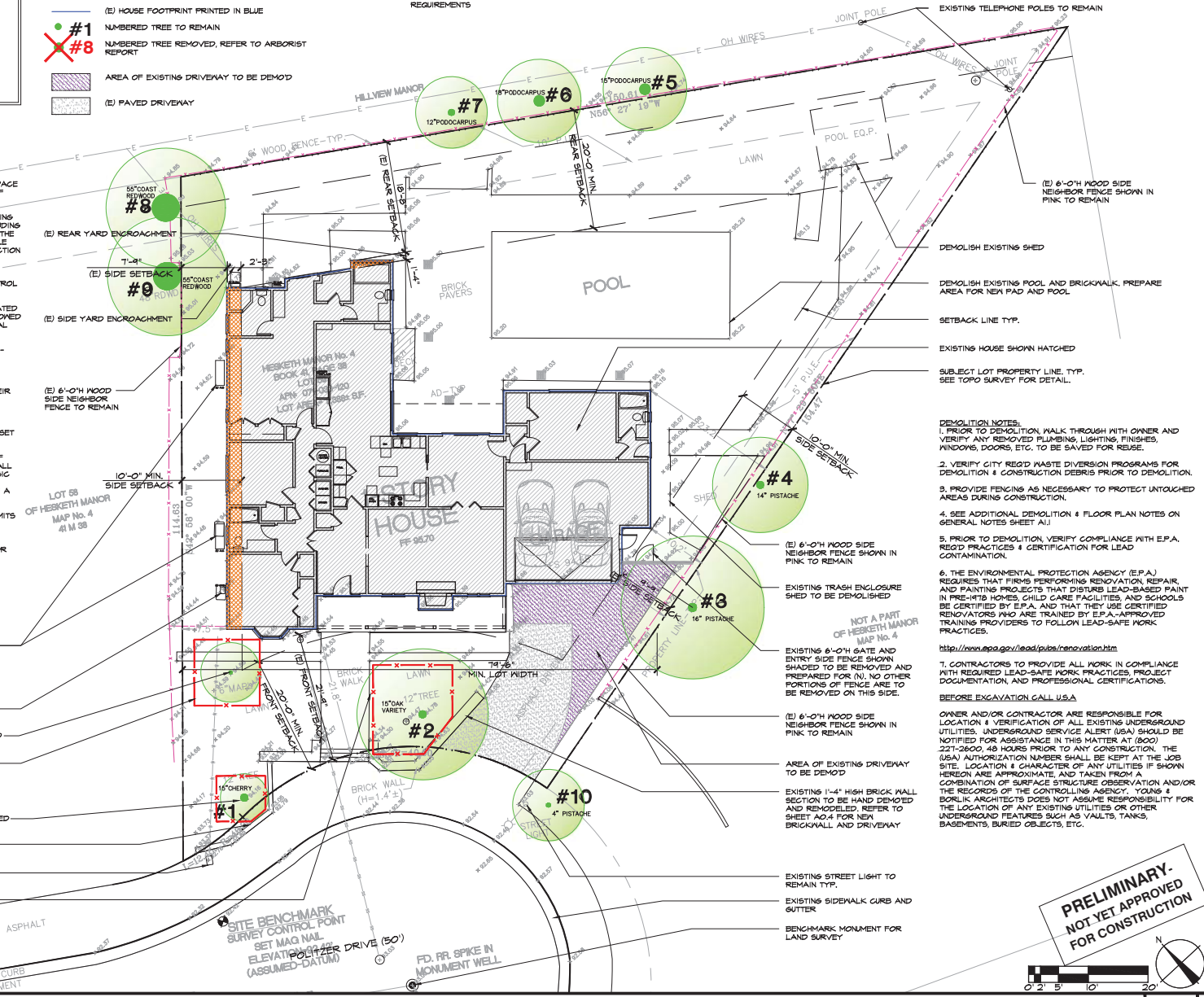
- LEGEND:**
- PROPERTY LINE
 - - - SETBACK LINE
 - - - (E) FENCE TO REMAIN
 - x - TREE PROTECTION FENCE
 - (E) HOUSE FOOTPRINT PRINTED IN BLUE
 - #1 NUMBERED TREE TO REMAIN
 - #8 NUMBERED TREE REMOVED, REFER TO ARBORIST REPORT
 - ▨ AREA OF EXISTING DRIVEWAY TO BE DEMO'D
 - ▨ (E) PAVED DRIVEWAY

- LEGEND (CONTINUED):**
- ▨ AREA OF EXISTING NON-CONFORMING STRUCTURE (WITHIN REAR AND SIDE SETBACK, SHOWN SHADED) TO REMAIN, NON-CONFORMING WALLS AND EAVES CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS, OR THEY WILL BE REQUIRED TO BE REBUILT IN COMPLIANCE WITH CURRENT ZONING REQUIREMENTS

- CONSTRUCTION STAGE NOTE:**
- REFER TO SHEET A0.4, PROPOSED SITE PLAN FOR DETAILED SITE IMPROVEMENT INFORMATION.
 - A SIGN SHALL BE POSTED AT THE FRONT OF THE CONSTRUCTION SITE STATING THAT ALL CONSTRUCTION VEHICLES SHALL PARK ON THE CONSTRUCTION SITE IF SPACE IS AVAILABLE BEFORE PARKING ON THE PUBLIC RIGHT OF WAY IN FRONT OF THE SITE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL ELEMENTS OF THIS PLAN ARE FOLLOWED INCLUDING COMPLIANCE OF CONSTRUCTION PERSONAL PARKING TO THE PARKING PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PARKING AREAS USED FOR THE CONSTRUCTION SITE ARE MAINTAINED AND KEPT CLEAN AND CLEAR OF LITTER.
 - WATER SHALL BE AVAILABLE ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS.
 - WORK HOURS ARE REGULATED BY NOISE LEVELS CREATED DURING CONSTRUCTION. THE MAXIMUM NOISE LEVELS ALLOWED ARE ESTABLISHED IN THE CITY OF MENLO PARK MUNICIPAL CODE CHAPTER 8.06 NOISE.
 - CONSTRUCTION ACTIVITIES ARE LIMITED TO 8:00 AM - 6:00 PM, MONDAY - FRIDAY.
 - CONSTRUCTION ACTIVITIES BY RESIDENTS WHO ARE PROPERTY OWNERS PERSONALLY UNDERTAKING CONSTRUCTION ACTIVITIES TO MAINTAIN OR IMPROVE THEIR PROPERTY ARE ALLOWED ON SATURDAYS, SUNDAYS OR HOLIDAYS BETWEEN 9:00 AM - 5:00 PM.
 - A SIGN, CONTAINING THE PERMITTED HOURS OF CONSTRUCTION ACTIVITIES EXCEEDING THE NOISE LIMITS SET FORTH IN SECTION 8.06.050, SHALL BE POSTED AT ALL ENTRANCES TO A CONSTRUCTION SITE UPON THE COMMENCEMENT OF CONSTRUCTION FOR THE PURPOSE OF INFORMING CONTRACTORS AND SUBCONTRACTORS AND ALL OTHER PERSONS AT THE CONSTRUCTION SITE OF THE BASIC REQUIREMENTS OF THIS CHAPTER. THE SIGN SHALL BE AT LEAST 5' ABOVE GROUND LEVEL, AND SHALL CONSIST OF A WHITE BACKGROUND WITH BLACK LETTERS.
 - ALL POWERED EQUIPMENT SHALL COMPLY WITH THE LIMITS SET FORTH IN SECTION 8.06.040(b).
 - ADJACENT PROPERTIES, CONTRACTOR AND SUBCONTRACTORS TO RESPECT NEIGHBOR CONCERNS FOR NOISE, PARKING AND MATERIAL/EQUIPMENT STORAGE.

NOTE: THE NEW AC UNIT EQUIPMENT WILL NOT EXCEED 80 DB AT THE NEAREST RESIDENTIAL PROPERTY LINE DURING NIGHTTIME HOURS, OR 65 DB DURING THE DAYTIME HOURS.

- EXISTING A/C UNITS TO REMAIN. EQUIPMENT WILL NOT EXCEED 80 db AT THE NEAREST RESIDENTIAL PROPERTY LINE DURING NIGHTTIME HOURS, OR 65 db DURING THE DAYTIME HOURS.
- EXISTING GAS METER TO REMAIN
- EXISTING 6" MAPLE TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION, TYP.
- PROTECTIVE TREE FENCING TO BE IN PLACE THE FULL DURATION OF THE PROJECT, TYP. REFER TO SHEET A0.4 FOR TREE PROTECTION NOTES.
- EXISTING 18" CHERRY TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION, TYP.
- EXISTING BRICK LANDSCAPE WALL TO REMAIN
- (E) WATER METER - UPGRADE AS NECESSARY.
- REMOVE EXISTING BRICK WALKWAY. VERIFY DESIGN OF NEW WALKWAY WITH OWNERS.



- DEMOLITION NOTES:**
- PRIOR TO DEMOLITION, WALK THROUGH WITH OWNER AND VERIFY ANY REMOVED PLUMBING, LIGHTING, FINISHES, WINDOWS, DOORS, ETC. TO BE SAVED FOR REUSE.
 - VERIFY CITY REG'D WASTE DIVERSION PROGRAMS FOR DEMOLITION & CONSTRUCTION DEBRIS PRIOR TO DEMOLITION.
 - PROVIDE FENCING AS NECESSARY TO PROTECT TOUCHED AREAS DURING CONSTRUCTION.
 - SEE ADDITIONAL DEMOLITION & FLOOR PLAN NOTES ON GENERAL NOTES SHEET A1.
 - PRIOR TO DEMOLITION, VERIFY COMPLIANCE WITH E.P.A. REG'D PRACTICES & CERTIFICATION FOR LEAD CONTAMINATION.
 - THE ENVIRONMENTAL PROTECTION AGENCY (E.P.A.) REQUIRES THAT FIRMS PERFORMING RENOVATION, REPAIR AND PAINTING PROJECTS THAT DISTURB LEAD-BASED PAINT IN PRE-1978 HOMES, CHILD CARE FACILITIES, AND SCHOOLS BE CERTIFIED BY E.P.A. AND THAT THEY USE CERTIFIED RENOVATORS WHO ARE TRAINED BY E.P.A.-APPROVED TRAINING PROVIDERS TO FOLLOW LEAD-SAFE WORK PRACTICES.
- <https://www.epa.gov/lead/pubs/renovation.htm>
- CONTRACTORS TO PROVIDE ALL WORK IN COMPLIANCE WITH REQUIRED LEAD-SAFE WORK PRACTICES, PROJECT DOCUMENTATION, AND PROFESSIONAL CERTIFICATIONS.
- BEFORE EXCAVATION CALL USA**
- OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION & VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 221-3600, 48 HOURS PRIOR TO ANY CONSTRUCTION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE. LOCATION & CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE, AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. YOUNG & BORLIK ARCHITECTS DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ETC.

**PRELIMINARY.
NOT YET APPROVED
FOR CONSTRUCTION**



ISSUE LOG

PLANNING SUBMITTAL	NOV. 27, 2017
PLANNING REVISION	MAR. 06, 2018
PLANNING REVISION	APR. 18, 2018
PLANNING REVISION	APR. 30, 2018

YOUNG AND BORLIK ARCHITECTS, INCORPORATED
4982 EL CAMINO REAL, SUITE 4218 LOS ALTOS, CA 94022
TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com

REGISTERED ARCHITECT
ALLISON SWOPE & NICK PINEDA
36 POLITZER DRIVE
MENLO PARK, CA 94025

INTERIOR REMODEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
36 POLITZER DRIVE
MENLO PARK, CA 94025

AP.N. 071-033-120	CHECKED	DATE
SRB	CS	08.27.2017
		DRAWN
		CS
		DATE
		08.27.2017
		ISSUED
		CS

A0.3

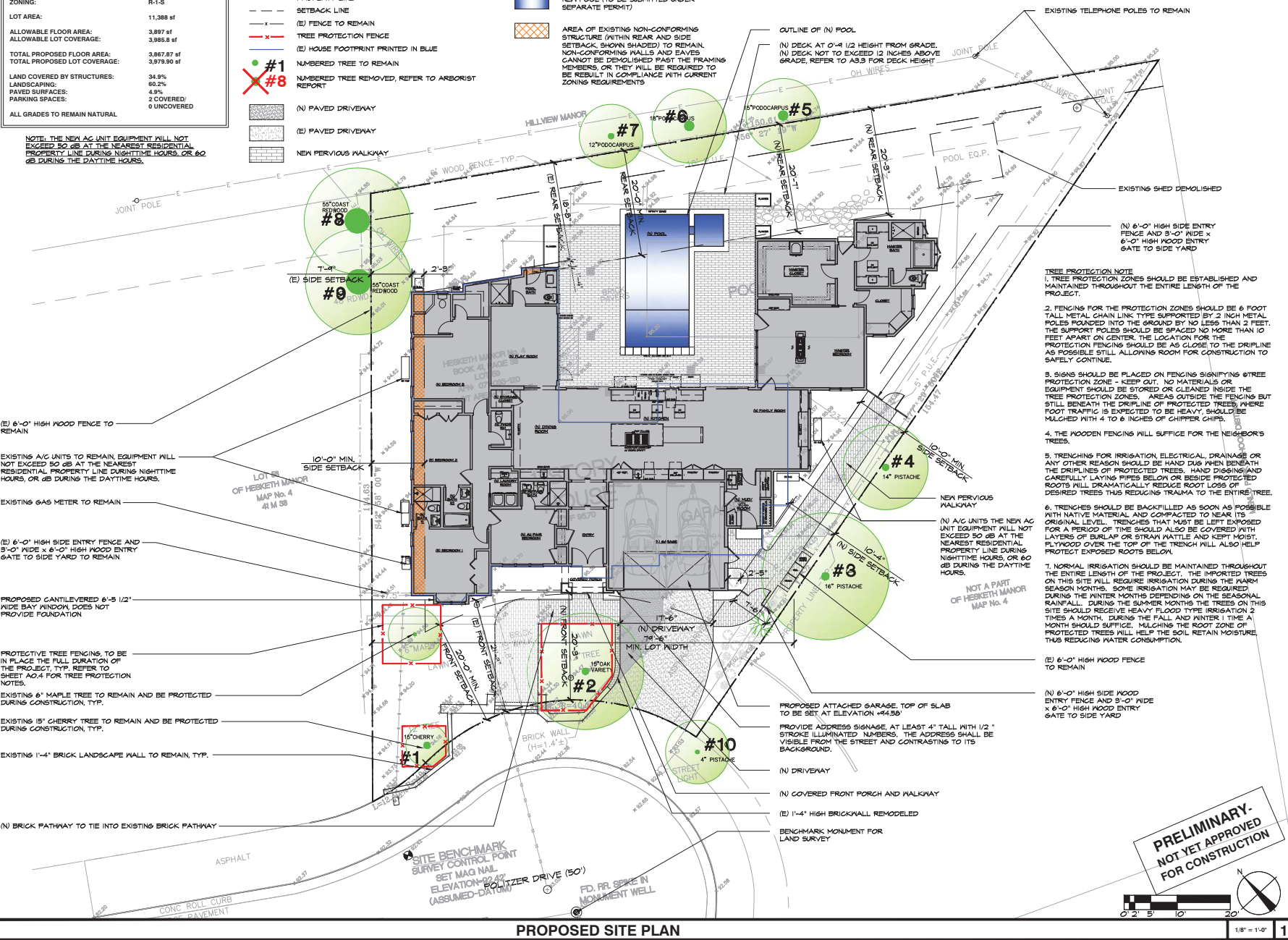
SITE ANALYSIS

ZONING:	R-1-S
LOT AREA:	11,388 sf
ALLOWABLE FLOOR AREA:	3,897 sf
ALLOWABLE LOT COVERAGE:	3,985.8 sf
TOTAL PROPOSED FLOOR AREA:	3,867.87 sf
TOTAL PROPOSED LOT COVERAGE:	3,979.90 sf
LAND COVERED BY STRUCTURES:	34.9%
LANDSCAPING:	60.2%
PAVED SURFACES:	4.9%
PARKING SPACES:	2 COVERED / 0 UNCOVERED
ALL GRADES TO REMAIN NATURAL	

NOTE: THE NEW AC UNIT EQUIPMENT WILL NOT EXCEED 50' @ AT THE NEAREST RESIDENTIAL PROPERTY LINE DURING NIGHTTIME HOURS, OR 60' @ DURING THE DAYTIME HOURS.

- LEGEND:**
- PROPERTY LINE
 - - - SETBACK LINE
 - x - (E) FENCE TO REMAIN
 - x - TREE PROTECTION FENCE
 - x - (E) HOUSE FOOTPRINT PRINTED IN BLUE
 - #1 NUMBERED TREE TO REMAIN
 - #8 NUMBERED TREE REMOVED, REFER TO ARBORIST REPORT
 - (N) PAVED DRIVEWAY
 - (E) PAVED DRIVEWAY
 - NEW PAVIOUS WALKWAY

- LEGEND (CONTINUED):**
- NEW POOL (TO BE SUBMITTED UNDER SEPARATE PERMIT)
 - AREA OF EXISTING NON-CONFORMING STRUCTURE (WITHIN REAR AND SIDE SETBACK, SHOWN SHADED) TO REMAIN. NON-CONFORMING WALLS AND EAVES CANNOT BE DEMOLISHED FIRST THE FRAMING MEMBERS, OR THEY WILL BE REQUIRED TO BE REBUILT IN COMPLIANCE WITH CURRENT ZONING REQUIREMENTS



- TREE PROTECTION NOTE**
- TREE PROTECTION ZONES SHOULD BE ESTABLISHED AND MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT.
 - FENCING FOR THE PROTECTION ZONES SHOULD BE 6 FOOT TALL METAL CHAIN LINK TYPE SUPPORTED BY 2 INCH METAL POLES POUNDED INTO THE GROUND BY NO LESS THAN 2 FEET. THE SUPPORT POLES SHOULD BE SPACED NO MORE THAN 10 FEET APART ON CENTER. THE LOCATION FOR THE PROTECTION FENCING SHOULD BE AS CLOSE TO THE DRIPLINE AS POSSIBLE STILL ALLOWING ROOM FOR CONSTRUCTION TO SAFELY CONTINUE.
 - SIGNS SHOULD BE PLACED ON FENCING SIGNIFYING TREE PROTECTION ZONE - KEEP OUT. NO MATERIALS OR EQUIPMENT SHOULD BE STORED OR CLEANED INSIDE THE TREE PROTECTION ZONES. AREAS OUTSIDE THE FENCING BUT STILL BENEATH THE DRIPLINE OF PROTECTED TREES WHERE FOOT TRAFFIC IS EXPECTED TO BE HEAVY SHOULD BE MULCHED WITH 4 TO 6 INCHES OF CHIPPER CHIPS.
 - THE WOODEN FENCING WILL SUFFICE FOR THE NEIGHBORS TREES.
 - TRENCHING FOR IRRIGATION, ELECTRICAL, DRAINAGE OR ANY OTHER REASON SHOULD BE HAND DUG WHEN BENEATH THE DRIPLINES OF PROTECTED TREES. HAND DIGGING AND CAREFULLY LAYING PIPES BELOW OR BESIDE PROTECTED ROOTS WILL DRAMATICALLY REDUCE ROOT LOSS OF DESIRED TREES THIS REDUCING TRAUMA TO THE ENTIRE TREE.
 - TRENCHES SHOULD BE BACKFILLED AS SOON AS POSSIBLE WITH NATIVE MATERIAL AND COMPACTED TO NEAR ITS ORIGINAL LEVEL. TRENCHES THAT MUST BE LEFT EXPOSED FOR A PERIOD OF TIME SHOULD ALSO BE COVERED WITH LAYERS OF BURLAP OR STRAW BATTLE AND KEPT MOIST. PLYWOOD OVER THE TOP OF THE TRENCH WILL ALSO HELP PROTECT EXPOSED ROOTS BELOW.
 - NORMAL IRRIGATION SHOULD BE MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT. THE IMPORTED TREES ON THIS SITE WILL REQUIRE IRRIGATION DURING THE WARM SEASON MONTHS. SOME IRRIGATION MAY BE REQUIRED DURING THE WINTER MONTHS DEPENDING ON THE SEASONAL RAINFALL. DURING THE SUMMER MONTHS THE TREES ON THIS SITE SHOULD RECEIVE HEAVY FLOOD TYPE IRRIGATION 2 TIMES A MONTH. DURING THE FALL AND WINTER 1 TIME A MONTH SHOULD SUFFICE. MULCHING THE ROOT ZONE OF PROTECTED TREES WILL HELP THE SOIL RETAIN MOISTURE THIS REDUCING WATER CONSUMPTION.

PRELIMINARY - NOT YET APPROVED FOR CONSTRUCTION

ISSUE LOG

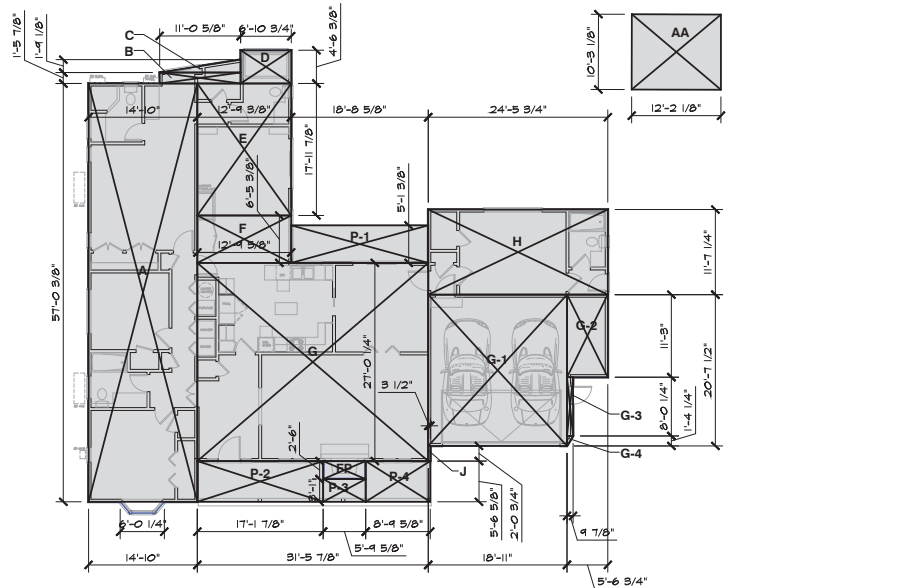
PLANNING SUBMITTAL	NOV. 27, 2017
PLANNING REVIEW	DEC. 15, 2017
PLANNING REVISION	MAR. 06, 2018
PLANNING REVISION	APR. 18, 2018
PLANNING REVISION	APR. 30, 2018

YOUNG AND BORLIK ARCHITECTS, INCORPORATED
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 TEL: (650) 688-1950 FAX: (650) 323-1112 www.yabarchitects.com

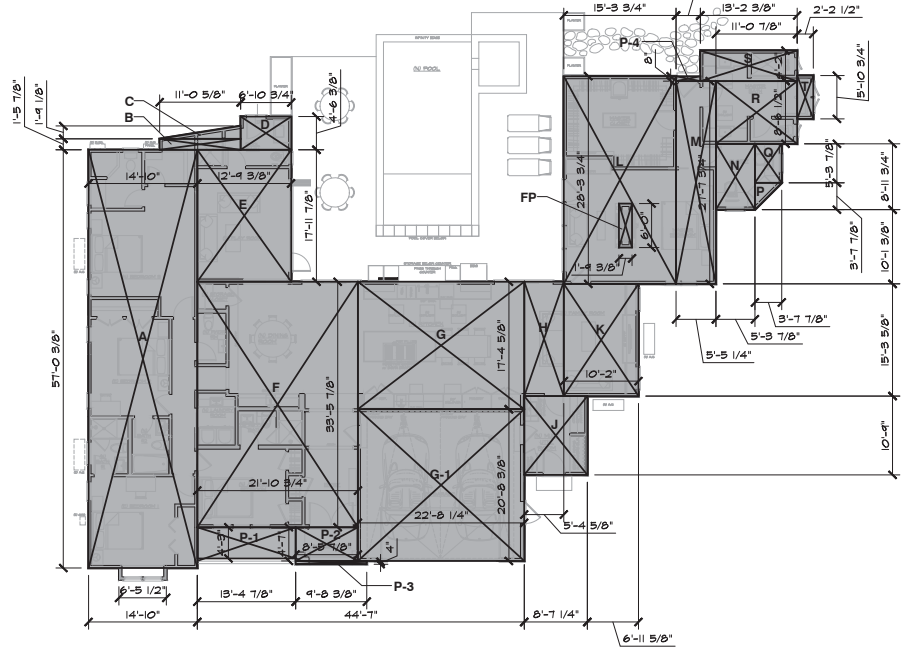
ARCHITECT
 ALLISON SWOPE & NICK PINEDA
 36 POLITZER DRIVE
 MENLO PARK, CA 94025

INTERIOR REMODEL & ADDITION FOR:
 ALLISON SWOPE & NICK PINEDA
 36 POLITZER DRIVE
 MENLO PARK, CA 94025

A.P.N. 071-033-120
 CHECKED: SRB DRAWN: CS
 DATE: 08.27.2017
 SHEET: A0.4



EXISTING FIRST FLOOR



PROPOSED FIRST FLOOR

FLOOR AREA CALCULATION

36 Politzer Drive, Menlo Park, CA
 APN 071-035-120

LOT SIZE: 11.3885F

EXISTING FIRST FLOOR CALCULATIONS (CONDITIONED)					
BOX	(X) DIM-FT	(Y) DIM-FT	Dimensions	Area (SF)	NOTES
A	14.833	57.0313	14'-10" x 57'-0 3/8"	845.96	
B	11.052	1.49	11'-0 5/8" x 1'-5 7/8"	16.46	
C	11.052	1.76	11'-0 5/8" x 1'-9 3/8"	9.73	Triangle A = x,y/2
D	6.896	4.53	6'-10 3/4" x 4'-6 3/8"	31.25	
E	12.781	17.99	12'-9 3/8" x 17'-11 7/8"	229.93	
F	12.802	6.45	12'-9 5/8" x 6'-5 3/8"	82.55	
G	31.890	27.02	31'-5 7/8" x 27'-0 1/4"	859.87	
H	24.479	11.60	24'-5 3/4" x 11'-7 1/4"	284.06	
J	0.292	2.06	0'-3 1/2" x 2'-0 3/4"	0.60	
FP (FIREPLACE)	5.80	2.50	5'-9 3/8" x 2'-3"	14.5	FIREPLACE (AREA EXCLUDED)
EXISTING FIRST FLOOR AREA (SF)				2,351.4	

EXISTING FIRST FLOOR CALCULATIONS (UNCONDITIONED)					
BOX	(X) DIM-FT	(Y) DIM-FT	Dimensions	Area (SF)	NOTES
G1	18.92	20.63	18'-11" x 20'-7 1/2"	390.55	
G2	5.56	11.25	5'-6 3/4" x 11'-3"	62.58	
G3	0.82	8.02	0'-9 7/8" x 8'-0 1/4"	6.60	
G4	0.82	1.35	0'-9 7/8" x 1'-4 1/4"	0.56	Triangle A = x,y/2
EXISTING GARAGE FLOOR AREA (SF)				459.9	

EXISTING ACCESSORY STRUCTURE					
BOX	(X) DIM-FT	(Y) DIM-FT	Dimensions	Area (SF)	NOTES
AA	12.177	10.260	12'-2 1/8" x 10'-3 3/8"	124.9	

EXISTING (COVERED PORCHES)					
BOX	(X) DIM-FT	(Y) DIM-FT	Dimensions	Area (SF)	NOTES
P1	18.72	5.11	18'-8 5/8" x 5'-1 3/8"	96.7	
P2	17.16	5.55	17'-1 7/8" x 5'-6 5/8"	95.3	
P3	5.78	3.08	5'-9 3/8" x 3'-1"	17.8	
P4	8.80	5.55	8'-9 5/8" x 5'-6 5/8"	48.9	

EXISTING COVERED PORCHES FLOOR AREA (SF)	257.7
TOTAL EXISTING SQUARE FOOTAGE	2,936.2 (25%)
TOTAL EXISTING LOT COVERAGE (SF)	3,193.9 (35%)

PROPOSED FIRST FLOOR CALCULATIONS (CONDITIONED)					
BOX	(X) DIM- FEET	(Y) DIM- FEET	Dimensions	Area (SF)	NOTES
A	14.833	57.0313	14'-10" x 57'-0 3/8"	845.96	
B	11.052	1.49	11'-0 5/8" x 1'-5 7/8"	16.46	
C	11.052	1.76	11'-0 5/8" x 1'-9 3/8"	9.73	Triangle A = x,y/2
D	6.896	4.53	6'-10 3/4" x 4'-6 3/8"	31.25	
E	12.781	17.99	12'-9 3/8" x 17'-11 7/8"	229.93	
F	21.896	33.49	21'-10 3/4" x 33'-5 7/8"	733.28	
G	32.688	17.39	22'-8 1/4" x 17'-4 3/8"	569.43	
H	5.39	15.30	5'-4 5/8" x 15'-3 5/8"	82.41	
J	8.60	10.75	8'-7 1/4" x 10'-9"	92.49	
K	10.17	15.30	10'-2" x 15'-3 5/8"	155.57	
L	15.31	28.31	15'-3 3/4" x 28'-3 3/4"	433.54	
M	5.44	27.65	5'-5 1/4" x 27'-3 3/4"	150.32	
N	5.32	8.98	5'-3 7/8" x 8'-11 3/4"	47.80	
P	3.32	3.32	3'-3 7/8" x 3'-3 7/8"	5.52	Triangle A = x,y/2
Q	3.32	5.32	3'-3 7/8" x 5'-3 7/8"	17.69	
R	11.07	8.54	11'-0 7/8" x 8'-6 1/2"	94.58	
S	13.20	4.17	13'-2 3/8" x 4'-2"	54.99	
T	2.21	5.90	2'-2 1/2" x 5'-10 3/4"	13.02	
FP (FIREPLACE)	1.78	6.00	1'-9 3/8" x 6'-0"	10.69	FIREPLACE (AREA EXCLUDED)
PROPOSED FIRST FLOOR AREA (SF)				3,398.29	

PROPOSED FIRST FLOOR CALCULATIONS (UNCONDITIONED)					
BOX	(X) DIM- FEET	(Y) DIM- FEET	Dimensions	Area (SF)	NOTES
G-1	22.69	20.70	22'-8 1/4" x 20'-8 3/8"	469.58	
EXISTING GARAGE FLOOR AREA (SF)				469.58	

PROPOSED FIRST FLOOR CALCULATIONS (COVERED PORCHES)					
BOX	(X) DIM- FEET	(Y) DIM- FEET	Dimensions	Area (SF)	NOTES
P1	13.41	4.25	13'-4 7/8" x 4'-3"	56.98	
P2	8.49	4.58	8'-5 7/8" x 4'-7"	38.91	
P3	9.70	0.33	9'-8 3/8" x 0'-4"	3.23	
P4	3.31	0.67	3'-3 3/4" x 0'-8"	2.21	
PROPOSED COVERED PORCHES AREA (SF)				101.33	

TOTAL PROPOSED FLOOR AREA	3,867.87	< 3,897 SF MAX (2,800 SF + 25%)
TOTAL PROPOSED BLDG COVERAGE (SF)	3,979.90	< 3,985.8 MAX ALLOWABLE (35%)
(FIREPLACE INCLUDED)		

ISSUE LOG	
PLANNING SUBMITTAL	NOV. 27, 2017
PLANNING REVISION	MAR. 05, 2018
PLANNING REVISION	APR. 05, 2018
PLANNING REVISION	APR. 30, 2018

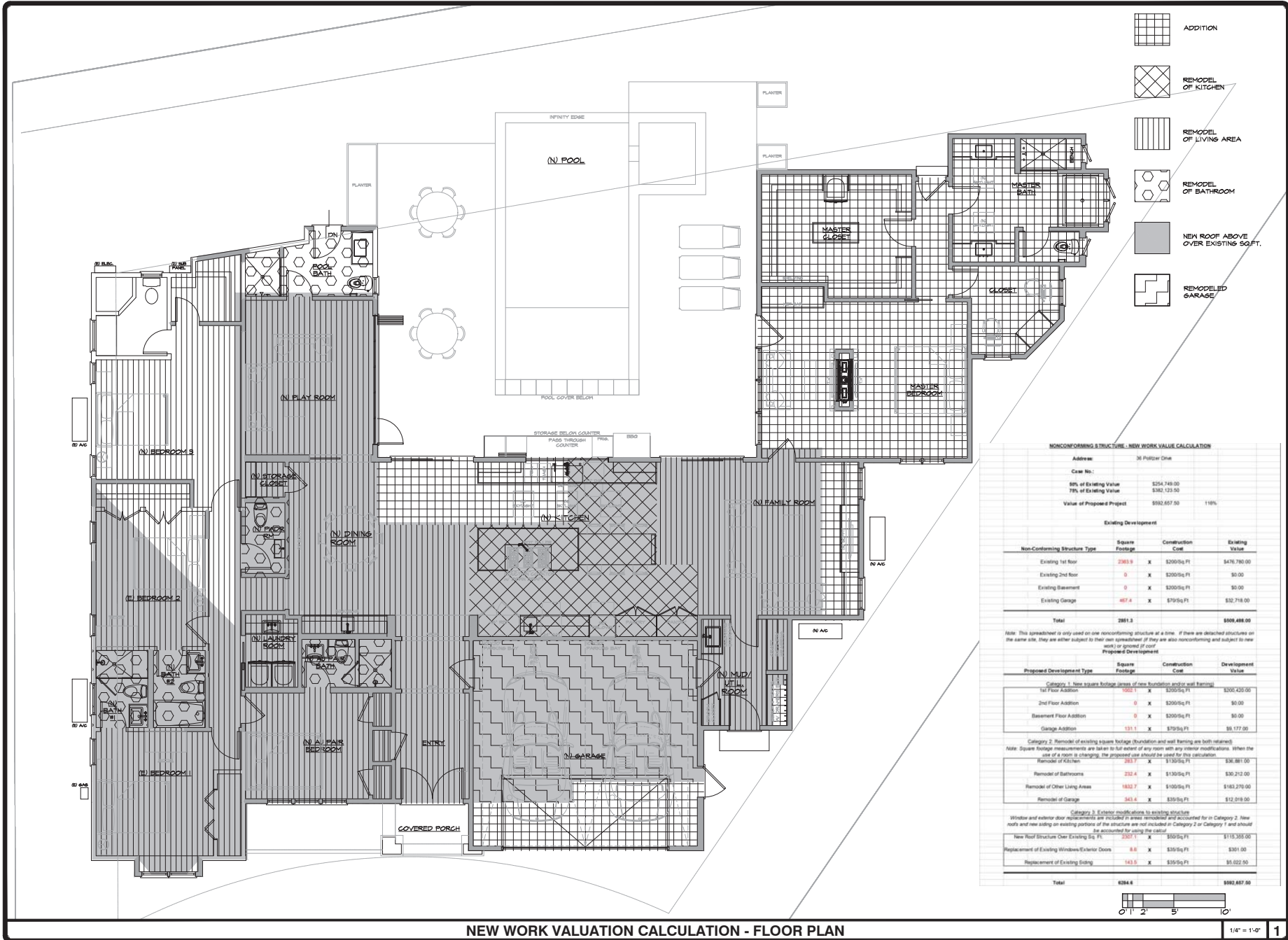
YOUNG AND BORLIK
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 4962 EL CAMINO REAL, SUITE 4218 LOS ALTOS, CA 94022
 TEL: (650) 685-9500 FAX: (650) 323-1112 www.yarchitects.com



INTERIOR MODEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
 36 POLITZER DRIVE
 MENLO PARK, CA 94025

AP.N. 071-035-120	
CHECKED: SWB	DRAWN: CS
DATE: 09.27.2017	
BY: SWOPE/PINEDA	

A0.5



- ADDITION
- REMODEL OF KITCHEN
- REMODEL OF LIVING AREA
- REMODEL OF BATHROOM
- NEW ROOF ABOVE OVER EXISTING SQ.FT.
- REMODELED GARAGE

NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION

Address: 36 Politzer Drive
 Case No.:
 50% of Existing Value: \$254,740.00
 75% of Existing Value: \$382,110.00
 Value of Proposed Project: \$592,657.50 118%

Existing Development			
Non-Conforming Structure Type	Square Footage	Construction Cost	Existing Value
Existing 1st floor	2863.9	X \$200/Sq Ft	\$476,780.00
Existing 2nd floor	0	X \$200/Sq Ft	\$0.00
Existing Basement	0	X \$200/Sq Ft	\$0.00
Existing Garage	467.4	X \$79/Sq Ft	\$32,718.00
Total	2863.9		\$509,498.00

Note: This spreadsheet is only used on one nonconforming structure at a time. If there are detached structures on the same site, they are also subject to their own consideration if they are also nonconforming and subject to new work or ground if roof.

Proposed Development			
Proposed Development Type	Square Footage	Construction Cost	Development Value
Category 1 - New square footage (area of new foundation and/or wall)			
1st Floor Addition	1062.1	X \$200/Sq Ft	\$200,420.00
2nd Floor Addition	0	X \$200/Sq Ft	\$0.00
Basement Floor Addition	0	X \$200/Sq Ft	\$0.00
Garage Addition	133.1	X \$79/Sq Ft	\$10,477.00

Note: Square footage measurements are taken to foot and are not rounded up or down. When the size of a room is changing, the proposed use should be used for this calculation.

Category 2 - Remodel of existing square footage (foundation and wall framing are both retained)			
Remodel of	Square Footage	Construction Cost	Development Value
Remodel of Bathrooms	232.4	X \$130/Sq Ft	\$30,212.00
Remodel of Other Living Areas	1632.7	X \$100/Sq Ft	\$163,270.00
Remodel of Garage	343.4	X \$35/Sq Ft	\$12,019.00

Note: Window and exterior door measurements are included in areas remodelled and accounted for in Category 2. New roofs and new siding on existing portions of the structure are not included in Category 2 or Category 1 and should be accounted for using the table below.

Category 3 - Exterior modifications to existing structure			
Item	Quantity	Construction Cost	Development Value
New Roof Structure Over Existing Sq. Ft.	2007.1	X \$50/Sq Ft	\$100,355.00
Replacement of Existing Windows/Exterior Doors	8.8	X \$35/Sq Ft	\$309.00
Replacement of Existing Siding	1433.8	X \$35/Sq Ft	\$50,183.00
Total	6284.6		\$892,657.50



NEW WORK VALUATION CALCULATION - FLOOR PLAN

1/4" = 1'-0" 1

ISSUE LOG

PLANNING SUBMITTAL	NOV. 27, 2011
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 4962 EL CAMINO REAL, SUITE 2218 LOS ALTOS, CA 94022
 TEL: (650) 685-9500 FAX: (650) 323-1112 www.ybarchitects.com

INTERCOMPEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
 36 POLITZER DRIVE
 MENLO PARK, CA 94025

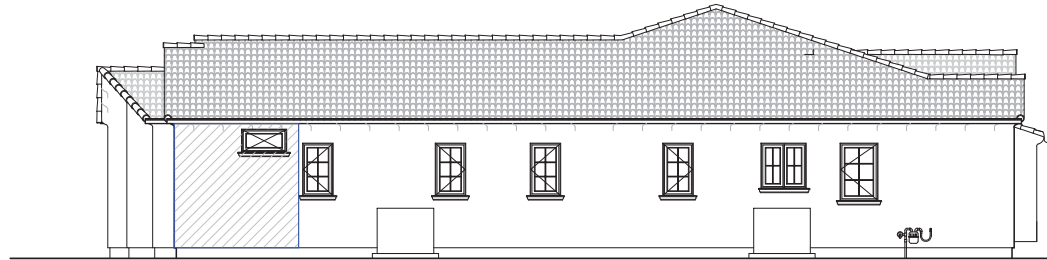
A.P.N. 071-033-120
 CHECKED: SWS / DMP
 DATE: 09.27.2017
 JOB: SWOPE-PINEDA

A0.6

LEGEND

- OPENING - REPLACEMENT OF EXISTING WINDOWS/EXTERIOR DOORS
- WALL TO BE REPLACE WITH (N) STUCCO

SQUARE FOOTAGE REPLACED CALCULATION - SIDE ELEVATION
 SIDING = 67.3 sf
 OPENING = 4.5 sf



NEW WORK VALUATION CALCULATION - SIDE ELEVATION (NORTH)

1/4" = 1'-0" 2

NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION

Address: 36 Politzer Drive
 Case No.:
 80% of Existing Value \$254,749.00
 70% of Existing Value \$392,023.90
 Value of Proposed Project \$982,697.90 116%

Existing Development			
Non-Conforming Structure Type	Square Footage	Construction Cost	Existing Value
Existing 1st floor	2363.9	X \$200/Sq Ft	\$476,780.00
Existing 2nd floor	0	X \$200/Sq Ft	\$0.00
Existing Basement	0	X \$200/Sq Ft	\$0.00
Existing Garage	487.4	X \$170/Sq Ft	\$82,718.00
Total	2851.3		\$559,498.00

Note: This spreadsheet is only used on one nonconforming structure at a time. If there are detached structures on the same site, they are either subject to their own spreadsheet if they are also nonconforming and subject to new work or grouped if roof Proposed Development

Proposed Development Type			
Category	Square Footage	Construction Cost	Development Value
Category 1 - New square footage (areas of new foundation and/or wall framing)			
1st Floor Addition	1902	X \$200/Sq Ft	\$380,400.00
2nd Floor Addition	0	X \$200/Sq Ft	\$0.00
Basement Floor Addition	0	X \$200/Sq Ft	\$0.00
Garage Addition	131.1	X \$170/Sq Ft	\$22,287.00
Category 2 - Remodel of existing square footage (foundation and wall framing are both retained)			
Note: Square footage measurements are taken to full extent of any room with any interior modifications. When the use of a room is changing, the proposed use should be used for the calculation.			
Remodel of Kitchen	263.7	X \$130/Sq Ft	\$34,281.00
Remodel of Bathrooms	232.4	X \$130/Sq Ft	\$30,212.00
Remodel of Other Living Areas	1802.7	X \$100/Sq Ft	\$180,270.00
Remodel of Garage	343.4	X \$30/Sq Ft	\$10,302.00
Category 3 - Exterior modifications to existing structure			
Window and exterior door replacements are included in areas remodelled and accounted for in Category 2. New work and new siding on existing portions of the structure are not included in Category 2 or Category 3 and should be accounted for using the table below.			
New Roof Structure Over Existing Sq. Ft.	2307.1	X \$30/Sq Ft	\$69,213.00
Replacement of Existing Windows/Exterior Doors	8.6	X \$30/Sq Ft	\$258.00
Replacement of Existing Siding	143.5	X \$30/Sq Ft	\$4,305.00
Total	6284.8		\$982,697.90

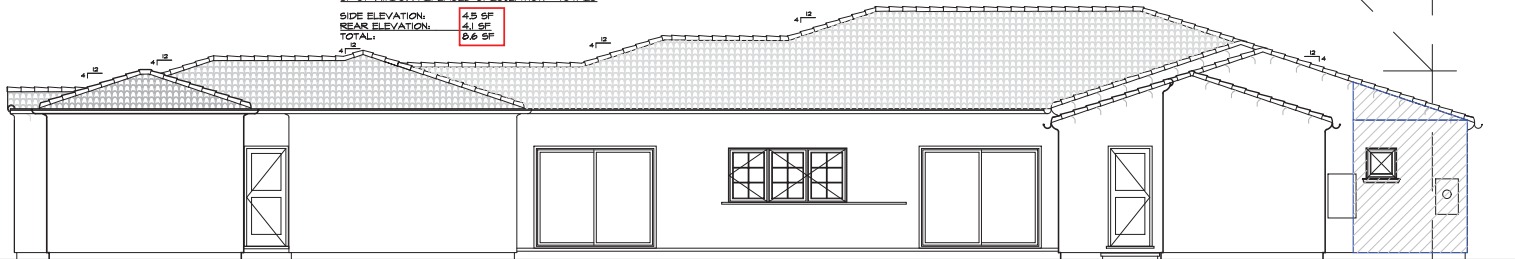
LEGEND

- OPENING - REPLACEMENT OF EXISTING WINDOWS/EXTERIOR DOORS
- WALL TO BE REPLACE WITH (N) STUCCO

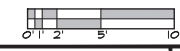
SQUARE FOOTAGE REPLACED CALCULATION - REAR ELEVATION
 SIDING = 76.2 sf
 OPENING = 4.1 sf

SF OF STUCCO REPLACED CALCULATION - TOTALS
 SIDE ELEVATION: 67.3 SF
 REAR ELEVATION: 76.2 SF
 TOTAL: 143.5 SF

SF OF WINDOW REPLACED CALCULATION - TOTALS
 SIDE ELEVATION: 4.5 SF
 REAR ELEVATION: 4.1 SF
 TOTAL: 8.6 SF



NEW WORK VALUATION CALCULATION - REAR ELEVATION



1/4" = 1'-0" 1

ISSUE LOG

PLANNING SUBMITTAL	NOV. 27, 2017
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PLANNING REVISION	APR. 30, 2018

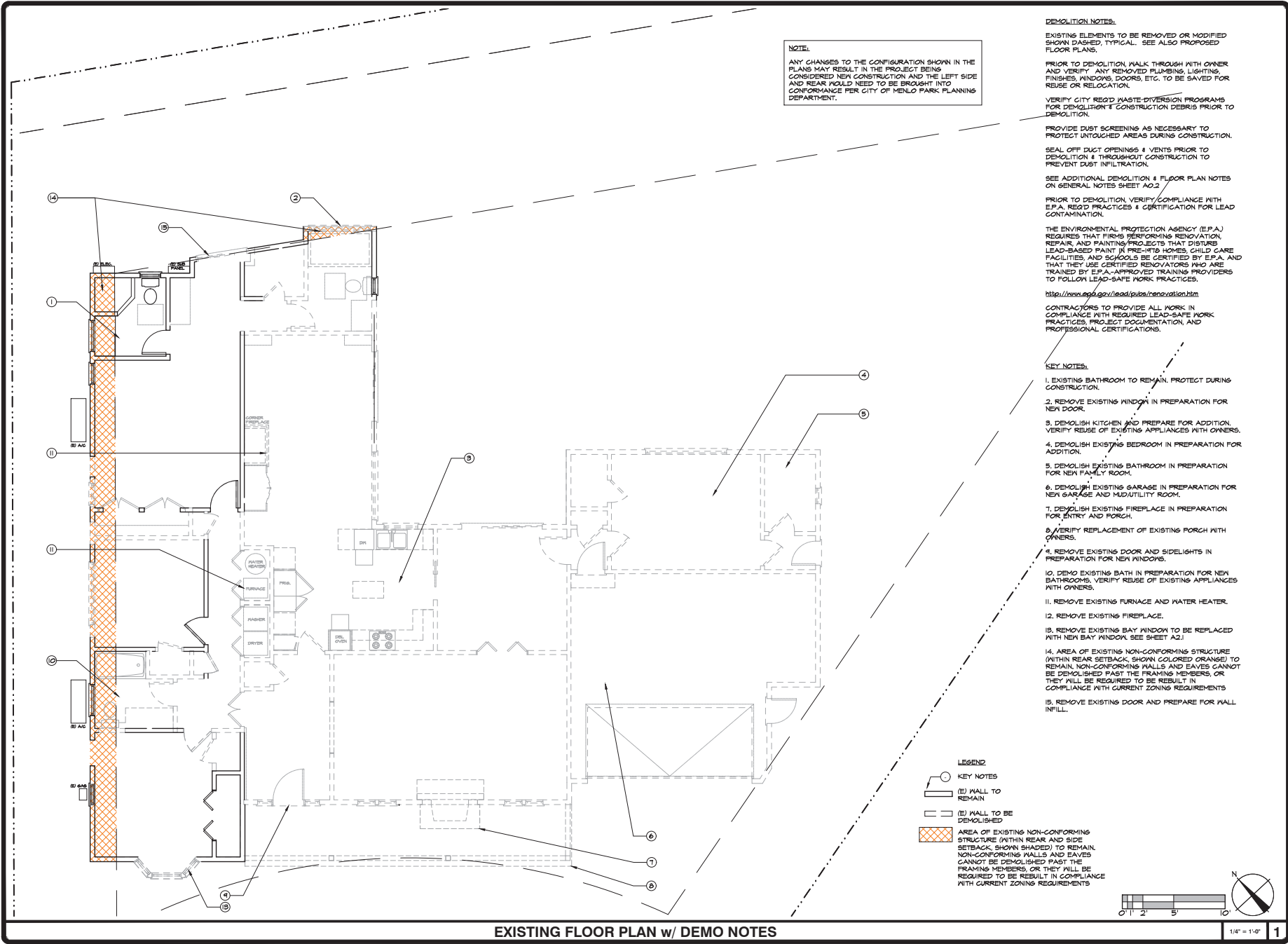
YOUNG AND BORLIK ARCHITECTS, INCORPORATED
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ARCHITECT
 ALLISON SWOPE & NICK PINEDA
 36 POLITZER DRIVE
 MENLO PARK, CA 94025

INTERIOR MODEL & ADDITION FOR:
 ALLISON SWOPE & NICK PINEDA
 36 POLITZER DRIVE
 MENLO PARK, CA 94025

A.P.N. 071-033-120
 CHECKED: SWB DATE: 09.27.2017
 DRAWN: CS
 BY: SWOPE-PINEDA

A0.7



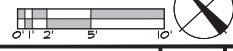
NOTE:
ANY CHANGES TO THE CONFIGURATION SHOWN IN THE PLANS MAY RESULT IN THE PROJECT BEING CONSIDERED NEW CONSTRUCTION AND THE LEFT SIDE AND REAR WOULD NEED TO BE BROUGHT INTO CONFORMANCE PER CITY OF MENLO PARK PLANNING DEPARTMENT.

DEMOLITION NOTES:
EXISTING ELEMENTS TO BE REMOVED OR MODIFIED SHOWN DASHED, TYPICAL. SEE ALSO PROPOSED FLOOR PLANS.
PRIOR TO DEMOLITION, WALK THROUGH WITH OWNER AND VERIFY ANY REMOVED PLUMBING, LIGHTING, FINISHES, WINDOWS, DOORS, ETC. TO BE SAVED FOR REUSE OR RELOCATION.
VERIFY CITY REQ'D WASTE DIVERSION PROGRAMS FOR DEMOLITION & CONSTRUCTION DEBRIS PRIOR TO DEMOLITION.
PROVIDE DUST SCREENING AS NECESSARY TO PROTECT UNTOUCHED AREAS DURING CONSTRUCTION.
SEAL OFF DUCT OPENINGS & VENTS PRIOR TO DEMOLITION & THROUGHOUT CONSTRUCTION TO PREVENT DUST INFILTRATION.
SEE ADDITIONAL DEMOLITION & FLOOR PLAN NOTES ON GENERAL NOTES SHEET A0.2
PRIOR TO DEMOLITION, VERIFY COMPLIANCE WITH E.P.A. REQ'D PRACTICES & CERTIFICATION FOR LEAD CONTAMINATION.
THE ENVIRONMENTAL PROTECTION AGENCY (E.P.A.) REQUIRES THAT FIRMS PERFORMING RENOVATION, REPAIR, AND PAINTING PROJECTS THAT DISTURB LEAD-BASED PAINT IN PRE-1978 HOMES, CHILD CARE FACILITIES, AND SCHOOLS BE CERTIFIED BY E.P.A. AND THAT THEY USE CERTIFIED RENOVATORS WHO ARE TRAINED BY E.P.A. APPROVED TRAINING PROVIDERS TO FOLLOW LEAD-SAFE WORK PRACTICES.
<http://www.epa.gov/lead/pubs/renovation.htm>
CONTRACTORS TO PROVIDE ALL WORK IN COMPLIANCE WITH REQUIRED LEAD-SAFE WORK PRACTICES, PROJECT DOCUMENTATION, AND PROFESSIONAL CERTIFICATIONS.

- KEY NOTES:**
1. EXISTING BATHROOM TO REMAIN, PROTECT DURING CONSTRUCTION.
 2. REMOVE EXISTING WINDOW IN PREPARATION FOR NEW DOOR.
 3. DEMOLISH KITCHEN AND PREPARE FOR ADDITION. VERIFY REUSE OF EXISTING APPLIANCES WITH OWNERS.
 4. DEMOLISH EXISTING BEDROOM IN PREPARATION FOR ADDITION.
 5. DEMOLISH EXISTING BATHROOM IN PREPARATION FOR NEW FAMILY ROOM.
 6. DEMOLISH EXISTING GARAGE IN PREPARATION FOR NEW GARAGE AND HUD/UTILITY ROOM.
 7. DEMOLISH EXISTING FIREPLACE IN PREPARATION FOR ENTRY AND PORCH.
 8. VERIFY REPLACEMENT OF EXISTING PORCH WITH OWNERS.
 9. REMOVE EXISTING DOOR AND SIDELIGHTS IN PREPARATION FOR NEW WINDOWS.
 10. DEMO EXISTING BATH IN PREPARATION FOR NEW BATHROOMS. VERIFY REUSE OF EXISTING APPLIANCES WITH OWNERS.
 11. REMOVE EXISTING FURNACE AND WATER HEATER.
 12. REMOVE EXISTING FIREPLACE.
 13. REMOVE EXISTING BAY WINDOW TO BE REPLACED WITH NEW BAY WINDOW, SEE SHEET A2.1
 14. AREA OF EXISTING NON-CONFORMING STRUCTURE (WITHIN REAR SETBACK, SHOWN COLORED ORANGE) TO REMAIN. NON-CONFORMING WALLS AND EAVES CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS, OR THEY WILL BE REQUIRED TO BE REBUILT IN COMPLIANCE WITH CURRENT ZONING REQUIREMENTS
 15. REMOVE EXISTING DOOR AND PREPARE FOR WALL INFILL.

LEGEND

○ KEY NOTES
 (E) WALL TO REMAIN
 - - - (E) WALL TO BE DEMOLISHED
 [ORANGE SHADE] AREA OF EXISTING NON-CONFORMING STRUCTURE (WITHIN REAR AND SIDE SETBACK, SHOWN SHADED) TO REMAIN. NON-CONFORMING WALLS AND EAVES CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS, OR THEY WILL BE REQUIRED TO BE REBUILT IN COMPLIANCE WITH CURRENT ZONING REQUIREMENTS



EXISTING FLOOR PLAN w/ DEMO NOTES 1/4" = 1'-0" 1

ISSUE LOG

PLANNING SUBMITTAL	NOV. 27 2011
PLANNING REVISION	MAR. 05 2012
PLANNING REVISION	APR. 03 2012
PLANNING REVISION	APR. 30 2012

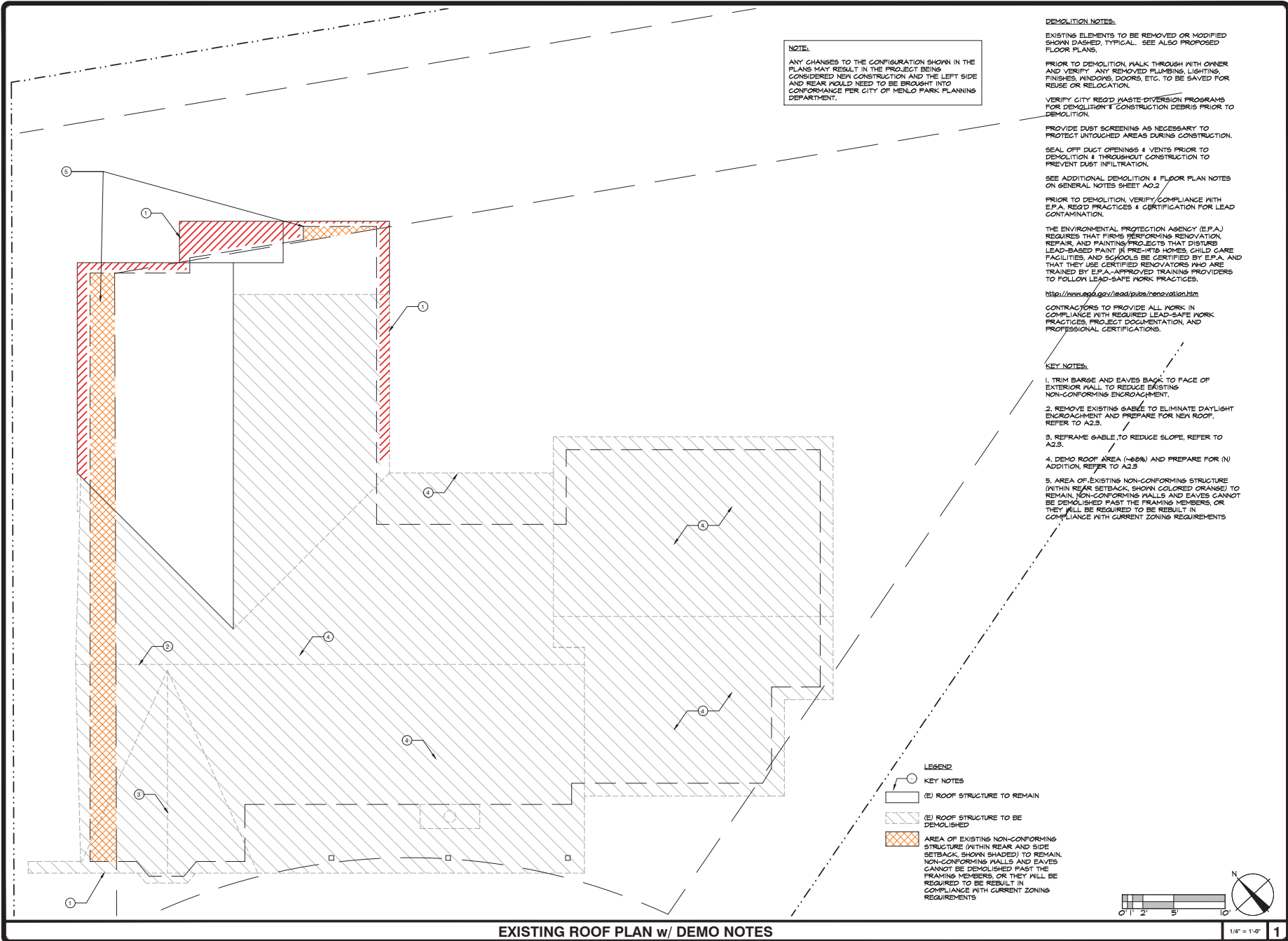
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 4962 EL CAMINO REAL, SUITE 2218 LOS ALTOS, CA 94022
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INTERIOR MODEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
 36 POLITZER DRIVE
 MENLO PARK, CA 94025

A.P.N. 071-033-120	
CHECKED	DATE
SIB	09.27.2017
DESIGNED	BY
CS	SWOPE-PINEDA

A1.1



NOTE:
 ANY CHANGES TO THE CONFIGURATION SHOWN IN THE PLANS MAY RESULT IN THE PROJECT BEING CONSIDERED NEW CONSTRUCTION AND THE LEFT SIDE AND REAR WOULD NEED TO BE BROUGHT INTO CONFORMANCE PER CITY OF MENLO PARK PLANNING DEPARTMENT.

DEMOLITION NOTES:
 EXISTING ELEMENTS TO BE REMOVED OR MODIFIED SHOWN DASHED, TYPICAL. SEE ALSO PROPOSED FLOOR PLANS.
 PRIOR TO DEMOLITION, WALK THROUGH WITH OWNER AND VERIFY ANY REMOVED PLUMBING, LIGHTING, FINISHES, WINDOWS, DOORS, ETC. TO BE SAVED FOR REUSE OR RELOCATION.
 VERIFY CITY REQ'D WASTE DIVERSION PROGRAMS FOR DEMOLITION & CONSTRUCTION DEBRIS PRIOR TO DEMOLITION.
 PROVIDE DUST SCREENING AS NECESSARY TO PROTECT UNTOUCHED AREAS DURING CONSTRUCTION.
 SEAL OFF DUCT OPENINGS & VENTS PRIOR TO DEMOLITION & THROUGHOUT CONSTRUCTION TO PREVENT DUST INFILTRATION.
 SEE ADDITIONAL DEMOLITION & FLOOR PLAN NOTES ON GENERAL NOTES SHEET A0.2.
 PRIOR TO DEMOLITION, VERIFY COMPLIANCE WITH E.P.A. REQ'D PRACTICES & CERTIFICATION FOR LEAD CONTAMINATION.
 THE ENVIRONMENTAL PROTECTION AGENCY (E.P.A.) REQUIRES THAT FIRMS PERFORMING RENOVATION, REPAIR, AND PAINTING PROJECTS THAT DISTURB LEAD-BASED PAINT IN PRE-1978 HOMES, CHILD CARE FACILITIES, AND SCHOOLS BE CERTIFIED BY E.P.A. AND THAT THEY USE CERTIFIED RENOVATORS WHO ARE TRAINED BY E.P.A.-APPROVED TRAINING PROVIDERS TO FOLLOW LEAD-SAFE WORK PRACTICES.
<http://www.epa.gov/lead/pubs/renovation.htm>
 CONTRACTORS TO PROVIDE ALL WORK IN COMPLIANCE WITH REQUIRED LEAD-SAFE WORK PRACTICES, PROJECT DOCUMENTATION, AND PROFESSIONAL CERTIFICATIONS.

KEY NOTES:
 1. TRIM BARGE AND EAVES BACK TO FACE OF EXTERIOR WALL TO REDUCE EXISTING NON-COMFORMING ENCROACHMENT.
 2. REMOVE EXISTING GABLE TO ELIMINATE DAYLIGHT ENCROACHMENT AND PREPARE FOR NEW ROOF. REFER TO A2.3.
 3. REFRAME GABLE TO REDUCE SLOPE. REFER TO A2.3.
 4. DEMO ROOF AREA (~65%) AND PREPARE FOR (N) ADDITION. REFER TO A2.3.
 5. AREA OF EXISTING NON-COMFORMING STRUCTURE (WITHIN REAR SETBACK, SHOWN COLORED ORANGE) TO REMAIN. NON-COMFORMING WALLS AND EAVES CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS, OR THEY WILL BE REQUIRED TO BE REBUILT IN COMPLIANCE WITH CURRENT ZONING REQUIREMENTS

LEGEND
 ○ KEY NOTES
 [Hatched Box] (E) ROOF STRUCTURE TO REMAIN
 [Dashed Box] (E) ROOF STRUCTURE TO BE DEMOLISHED
 [Orange Hatched Box] AREA OF EXISTING NON-COMFORMING STRUCTURE (WITHIN REAR AND SIDE SETBACK, SHOWN SHADED) TO REMAIN. NON-COMFORMING WALLS AND EAVES CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS, OR THEY WILL BE REQUIRED TO BE REBUILT IN COMPLIANCE WITH CURRENT ZONING REQUIREMENTS

ISSUE LOG	
PLANNING SUBMITTAL	NOV. 27, 2017
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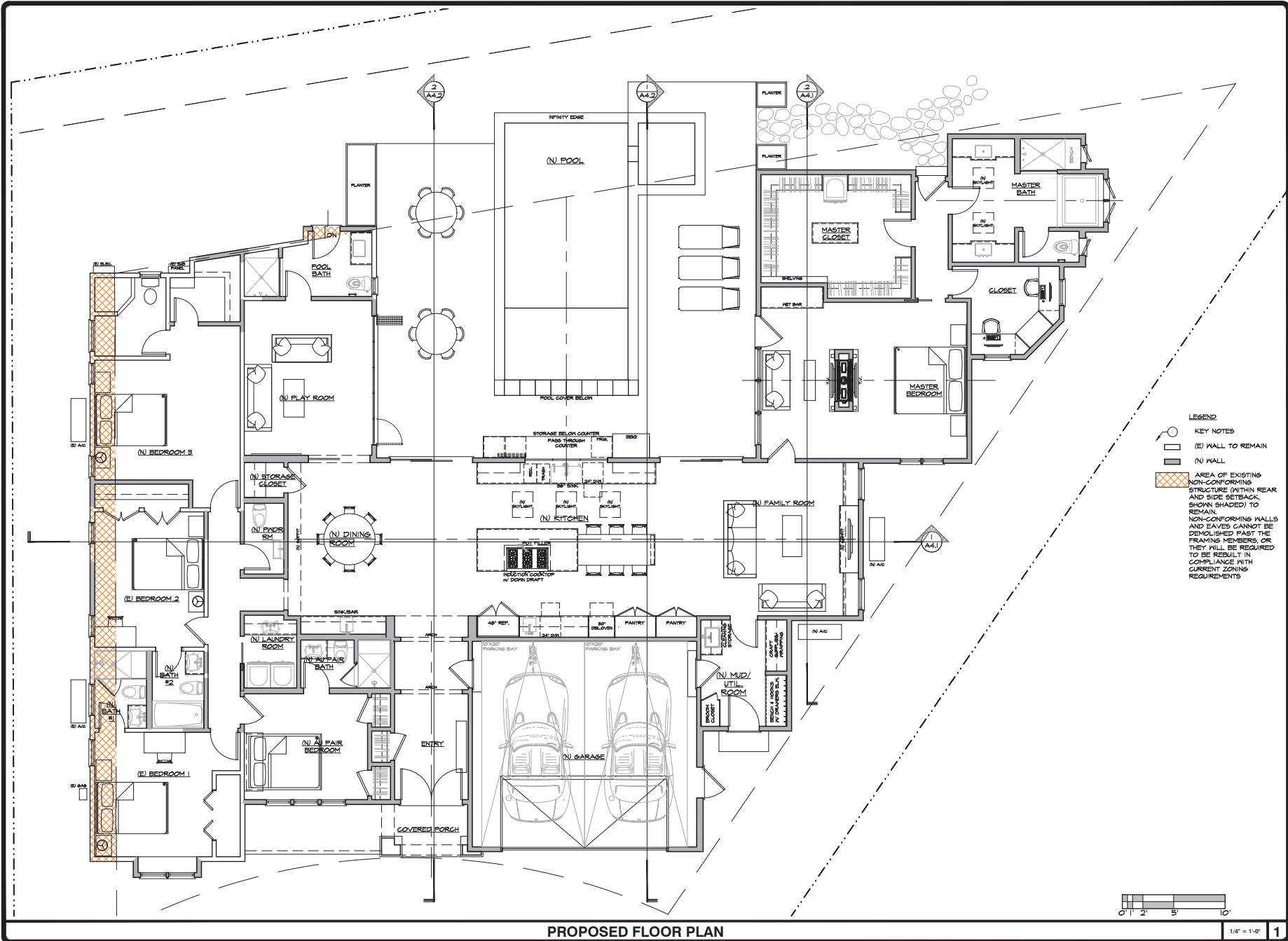
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INTERIOR MODEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
 36 POLITZNER DRIVE
 MENLO PARK, CA 94025

A.P.N. 071-033-120	
CHECKED SIB	DRAWN CS
DATE 09.27.2017	
PROJECT SWOPE-PINEDA	

A1.2



PROPOSED FLOOR PLAN

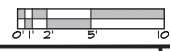
LEGEND

○ KEY NOTES

▭ (E) WALL TO REMAIN

▭ (E) WALL

▨ AREA OF EXISTING NON-CONFORMING STRUCTURE (WITHIN REAR AND SIDE SETBACK, SHOWN SHADED) TO REMAIN. NON-CONFORMING WALLS AND EAVES CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS, OR THEY WILL BE REQUIRED TO BE REBUILT IN COMPLIANCE WITH CURRENT ZONING REQUIREMENTS



1/4" = 1'-0" 1

ISSUE LOG

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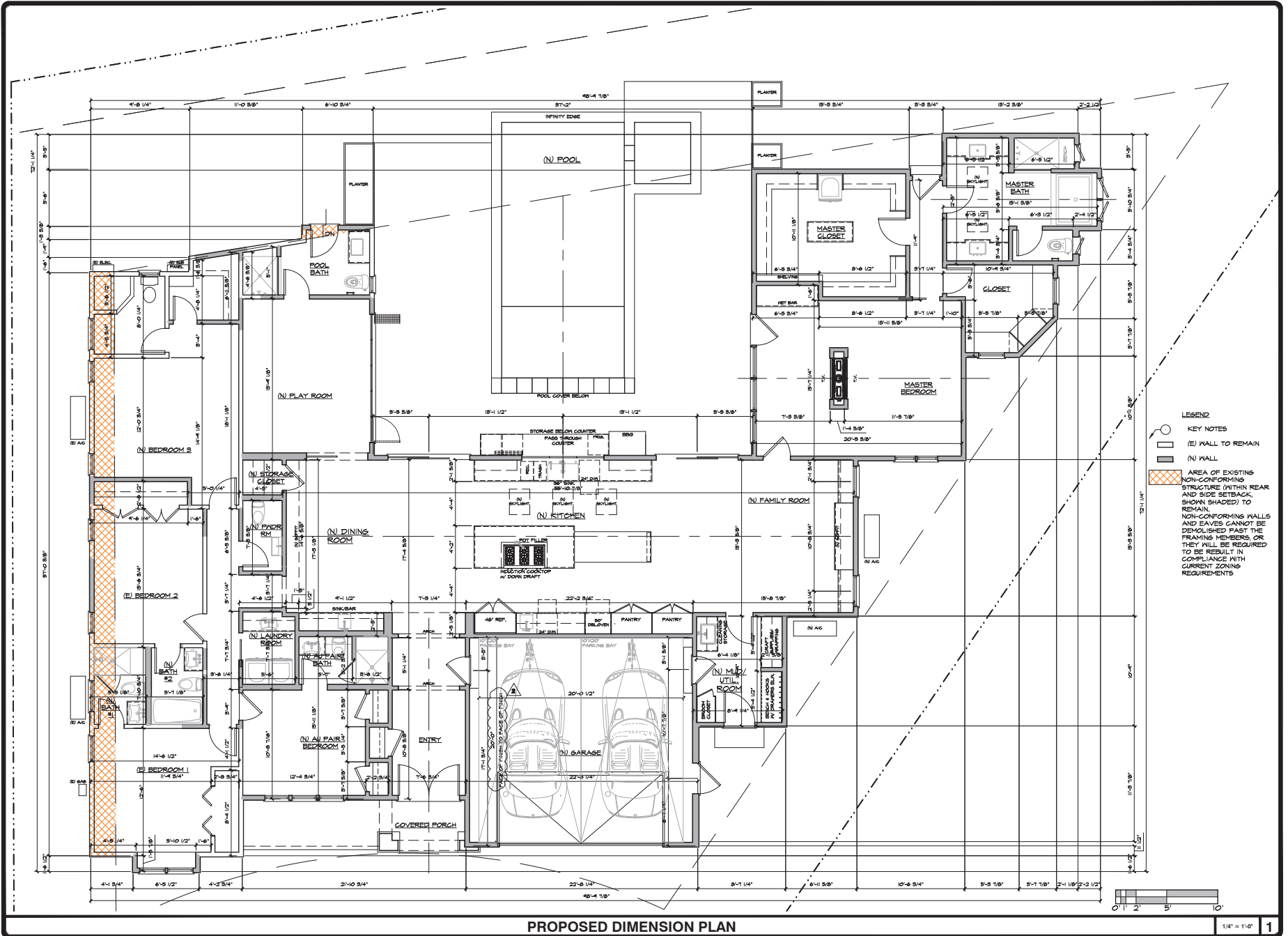


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 MENLO PARK, CA 94025

A.P.N. 071-033-120

CHECKED	DATE
SIB	09.27.2017
DATE	09.27.2017
BY	SWOPE-PINEDA

A2.1.1



PROPOSED DIMENSION PLAN

1/4" = 1'-0" 1

ISSUE LOG	
PLANNING SUBMITTAL	NOV. 27, 2011
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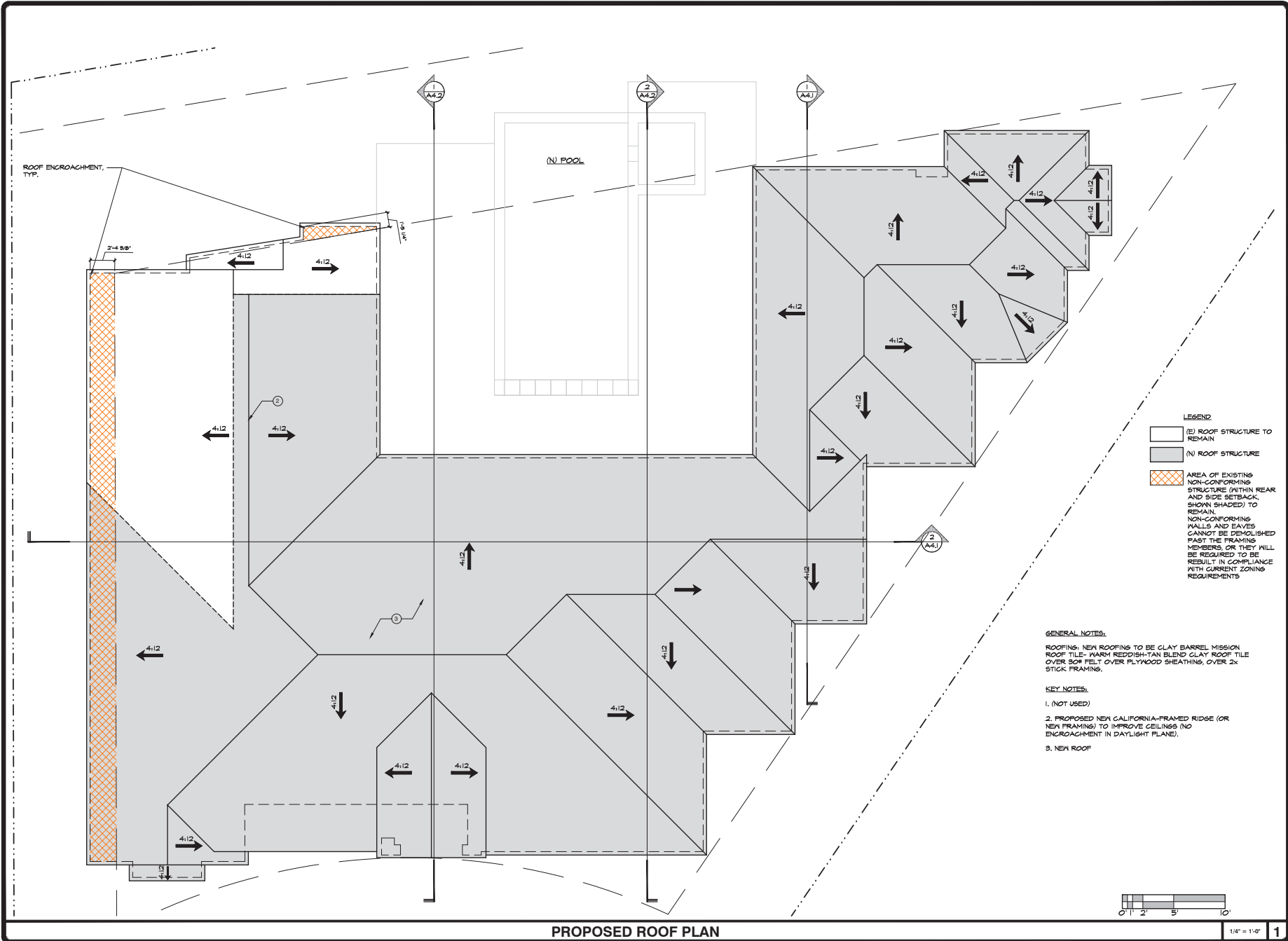


INTERIOR MODEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
 36 POLITZNER DRIVE
 MENLO PARK, CA 94025

A.P.N. 071-033-120	
CHECKED	DATE
SHB	09.27.2017
DESIGN	DATE
CS	09.27.2017
SWOPE-PINEDA	

A2.1.2

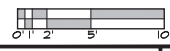
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PROPOSED ROOF PLAN

- LEGEND**
- (E) ROOF STRUCTURE TO REMAIN
 - (N) ROOF STRUCTURE
 - AREA OF EXISTING NON-CONFORMING STRUCTURE (WITHIN REAR AND SIDE SETBACK, SHOWN SHADED) TO REMAIN. NON-CONFORMING WALLS AND EAVES CANNOT BE DEMOLISHED FAST THE FRAMING MEMBERS, OR THEY WILL BE REQUIRED TO BE RESULT IN COMPLIANCE WITH CURRENT ZONING REQUIREMENTS

- GENERAL NOTES:**
- ROOFING: NEW ROOFING TO BE GRAY BARREL MISSION ROOF TILE- WARM REDDISH-TAN BLEND GRAY ROOF TILE OVER 30# FELT OVER PLYWOOD SHEATHING, OVER 2x STICK FRAMING.
- KEY NOTES:**
1. (NOT USED)
 2. PROPOSED NEW CALIFORNIA-FRAMED RIDGE (OR NEW FRAMING) TO IMPROVE CEILING (NO ENCROACHMENT IN DAYLIGHT PLANE).
 3. NEW ROOF



ISSUE LOG

PLANNING SUBMITTAL	NOV. 27, 2011
PLANNING REVISION	MAR. 05, 2012
PLANNING REVISION	APR. 18, 2012
PLANNING REVISION	APR. 30, 2012

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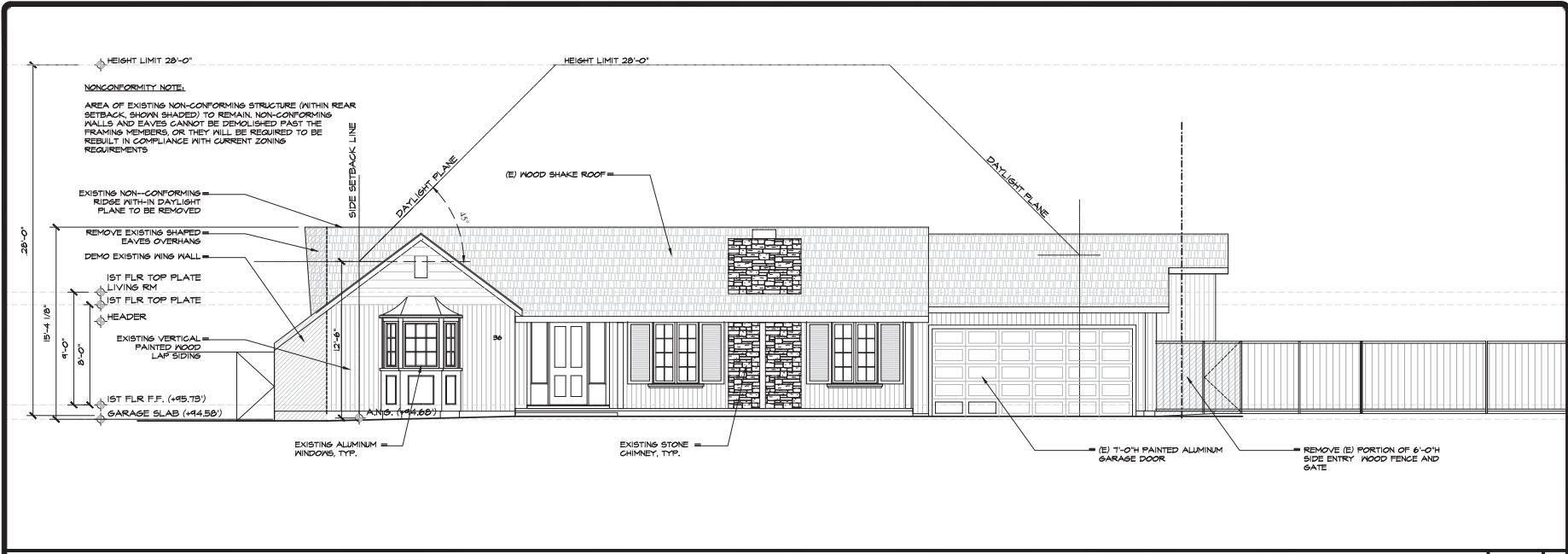


INTERIOR MODEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
 36 POLLITZER DRIVE
 MENLO PARK, CA 94025

A.P.N. 071-033-120

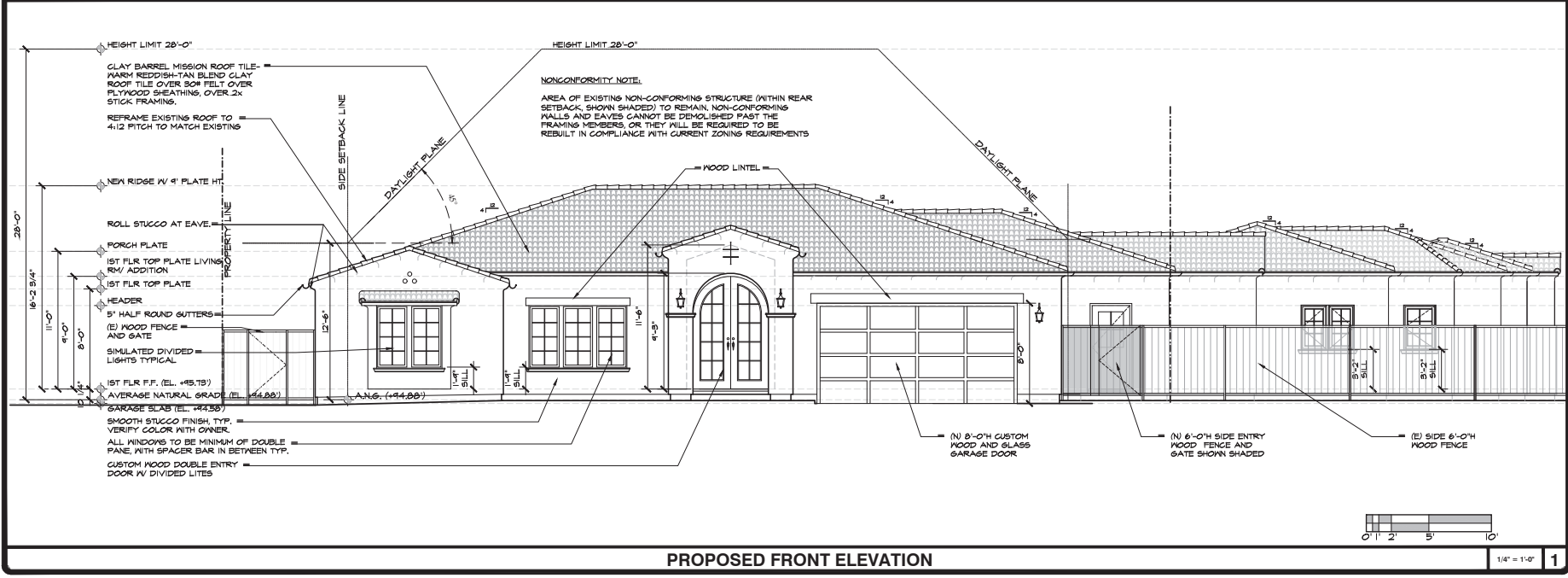
CHECKED	DATE
SIB	09.27.2017
DESIGNED	BY
CS	SWOPE-PINEDA

A2.3



EXISTING FRONT ELEVATION

1/4" = 1'-0" 2



PROPOSED FRONT ELEVATION



1/4" = 1'-0" 1

ISSUE LOG

PLANNING SUBMITTAL	NOV. 27, 2011
PLANNING REVISION	FEB. 15, 2012
PLANNING REVISION	MAR. 05, 2012
PLANNING REVISION	APR. 18, 2012
PLANNING REVISION	APR. 30, 2012

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INTERIOR MODEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
36 POLITZNER DRIVE
MENLO PARK, CA 94025

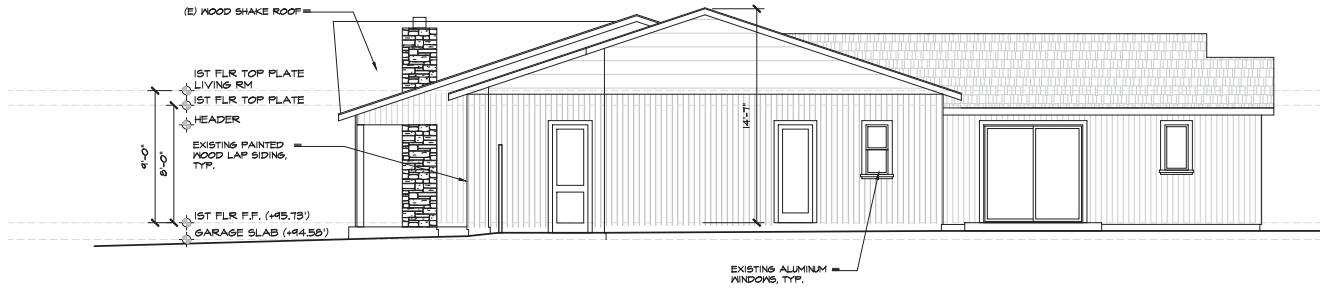
A.P.N. 071-033-120

CHECKED	DATE
SIB	09.27.2017
DRAWN	DATE
CS	09.27.2017
BY SWOPE-PINEDA	

A3.1

NONCONFORMITY NOTE:

AREA OF EXISTING NON-CONFORMING STRUCTURE (WITHIN REAR SETBACK, SHOWN SHADED) TO REMAIN. NON-CONFORMING WALLS AND EAVES CANNOT BE DEMOLISHED FAST THE FRAMING MEMBERS, OR THEY WILL BE REQUIRED TO BE REBUILT IN COMPLIANCE WITH CURRENT ZONING REQUIREMENTS



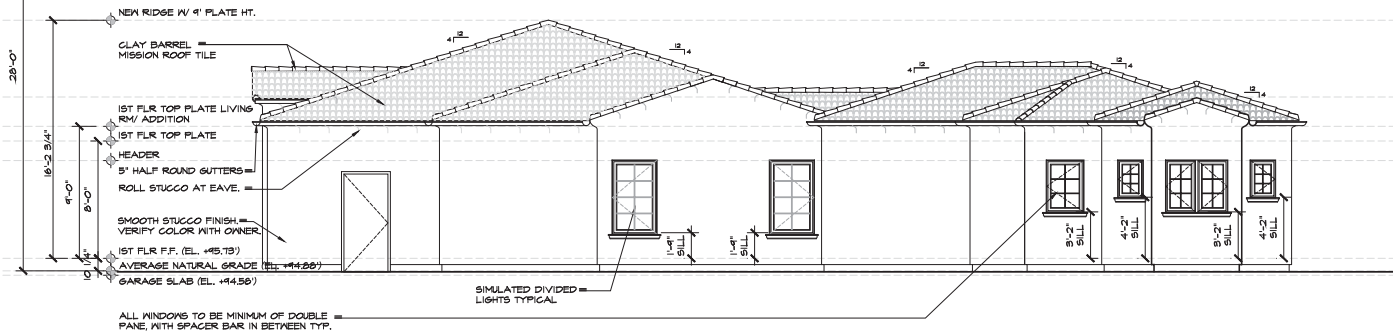
EXISTING SIDE ELEVATION-SOUTH

1/4" = 1'-0" 2

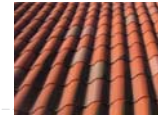
HEIGHT LIMIT 28'-0"

NONCONFORMITY NOTE:

AREA OF EXISTING NON-CONFORMING STRUCTURE (WITHIN REAR SETBACK, SHOWN SHADED) TO REMAIN. NON-CONFORMING WALLS AND EAVES CANNOT BE DEMOLISHED FAST THE FRAMING MEMBERS, OR THEY WILL BE REQUIRED TO BE REBUILT IN COMPLIANCE WITH CURRENT ZONING REQUIREMENTS



SEE A0.1 COVER PAGE FOR COLOR RENDERING

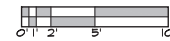


MISSION STYLE CLAY BARREL ROOF TILE



PAINTED WHITE STUCCO SMOOTH FINISH

PROPOSED SIDE ELEVATION- SOUTH



1/4" = 1'-0" 1

ISSUE LOG	
PLANNING SUBMITTAL	NOV. 27, 2011
PLANNING REVISION	MAR. 05, 2012
PLANNING REVISION	APR. 18, 2012
PLANNING REVISION	APR. 30, 2012

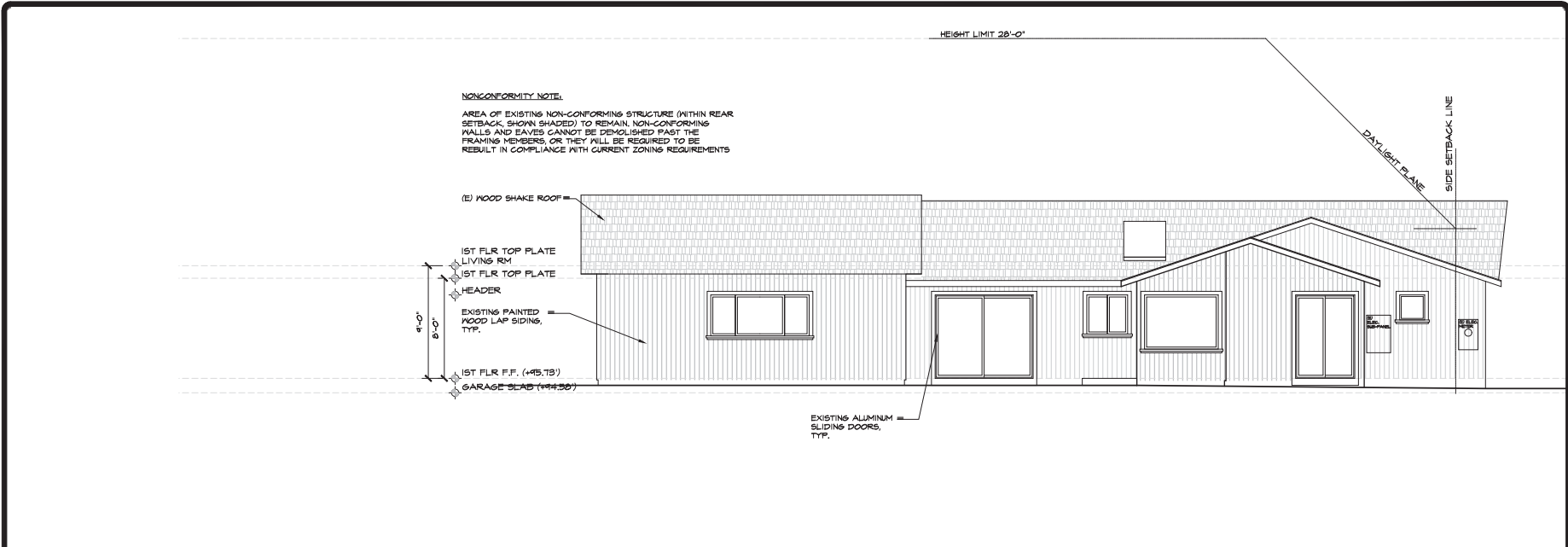
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INTERIOR MODEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
36 POLITZER DRIVE
MENLO PARK, CA 94025

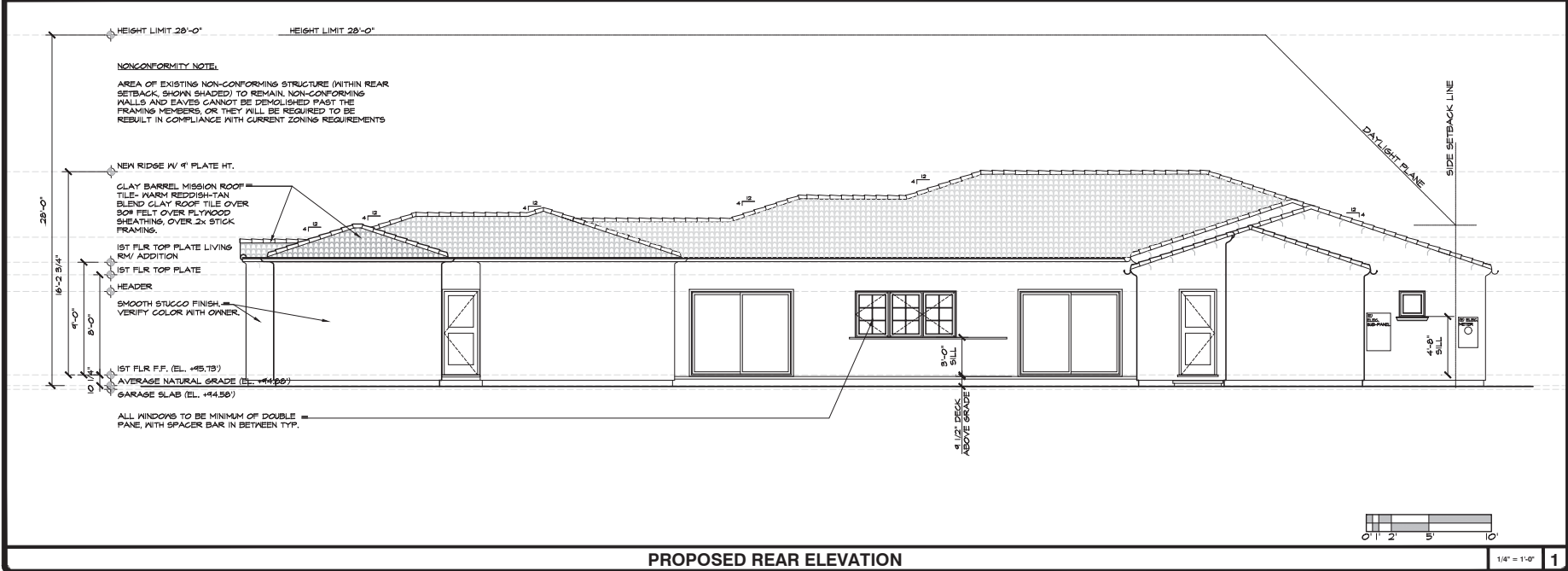
A.P.N. 071-033-120	
CHECKED	DRAWN
SIB	CS
DATE	DATE
09.27.2017	
BY	BY
SWOPE-PINEDA	

A3.2



EXISTING REAR ELEVATION

1/4" = 1'-0" 2



PROPOSED REAR ELEVATION

1/4" = 1'-0" 1

ISSUE LOG	
PLANNING SUBMITTAL	NOV. 27, 2017
PLANNING REVISION	MAR. 05, 2018
PLANNING REVISION	APR. 18, 2018
PLANNING REVISION	APR. 30, 2018

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INTERIOR MODEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
36 POLITZER DRIVE
MENLO PARK, CA 94025

A.P.N. 071-033-120	
CHECKED	DRAWN
SIB	CS
DATE	DATE
09.27.2017	09.27.2017
BY	BY
SWOPE-PINEDA	SWOPE-PINEDA

A3.3

ISSUE LOG	
PLANNING SUBMITTAL	NOV. 27, 2017
PLANNING REVISION	MAR. 05, 2018
PLANNING REVISION	APR. 18, 2018
PLANNING REVISION	APR. 30, 2018

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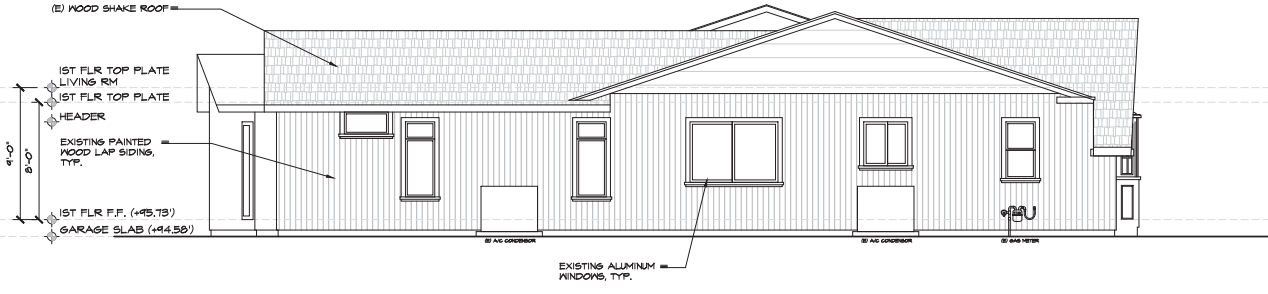
INTERIOR MODEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
 36 POLITZNER DRIVE
 MENLO PARK, CA 94025

A.P.N. 071-033-120
 CHECKED BY: DATE: 09.27.2017
 DRAWN BY: CS
 SWOPE-PINEDA

A3.4

NONCONFORMITY NOTE:

AREA OF EXISTING NON-CONFORMING STRUCTURE (WITHIN REAR SETBACK, SHOWN SHADED) TO REMAIN. NON-CONFORMING WALLS AND EAVES CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS, OR THEY WILL BE REQUIRED TO BE REBUILT IN COMPLIANCE WITH CURRENT ZONING REQUIREMENTS

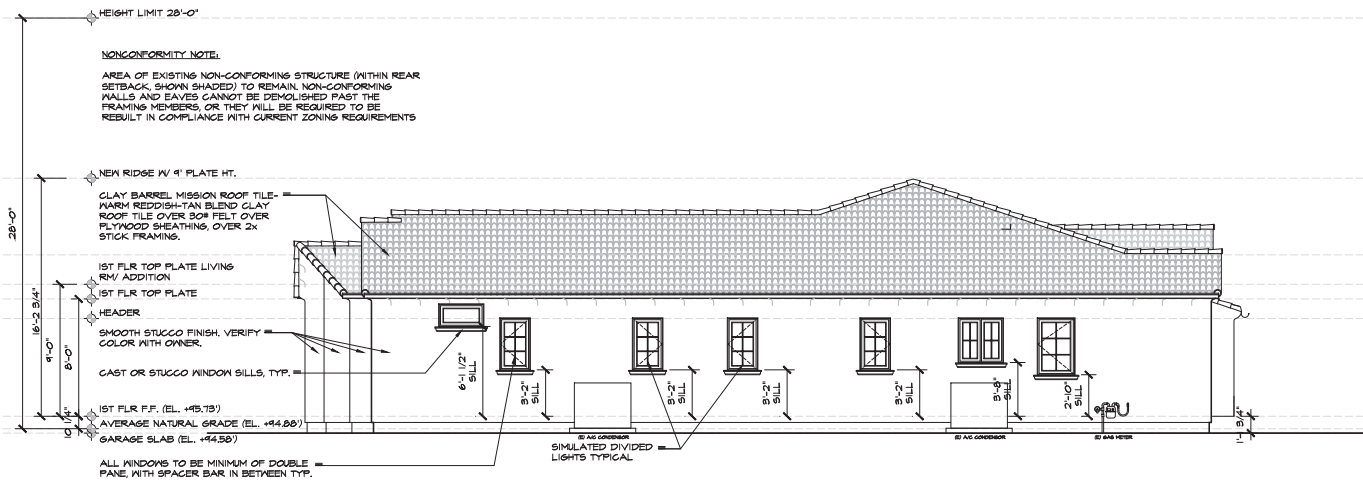


EXISTING SIDE ELEVATION- NORTH

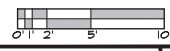
1/4" = 1'-0" 2

NONCONFORMITY NOTE:

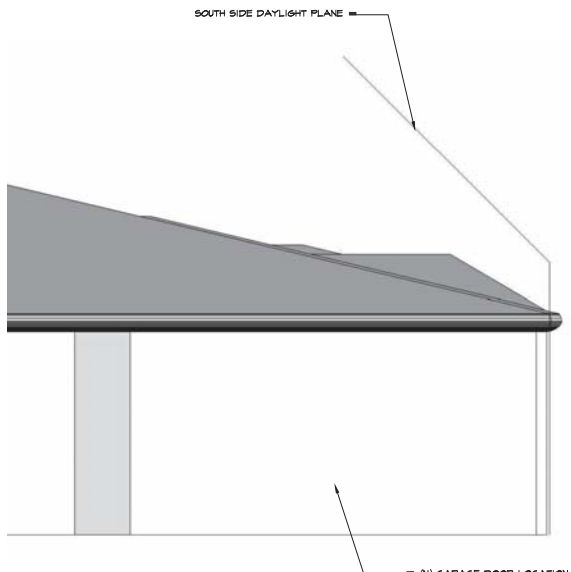
AREA OF EXISTING NON-CONFORMING STRUCTURE (WITHIN REAR SETBACK, SHOWN SHADED) TO REMAIN. NON-CONFORMING WALLS AND EAVES CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS, OR THEY WILL BE REQUIRED TO BE REBUILT IN COMPLIANCE WITH CURRENT ZONING REQUIREMENTS



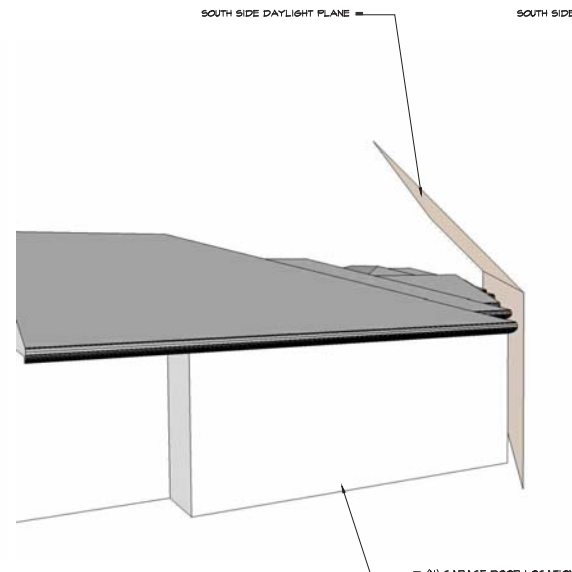
PROPOSED SIDE ELEVATION- NORTH



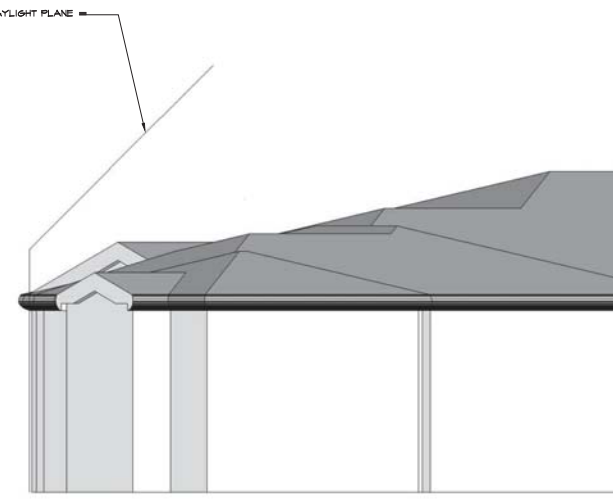
1/4" = 1'-0" 1



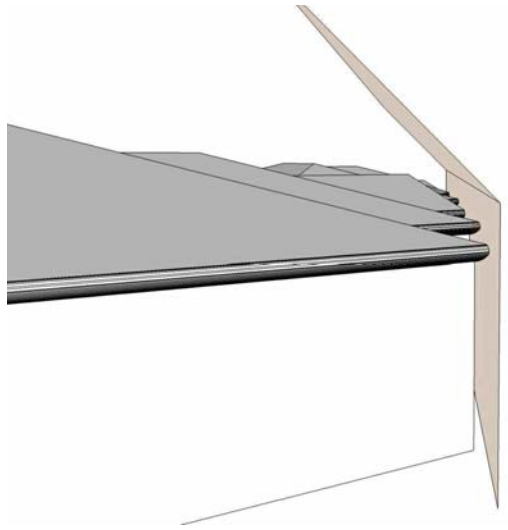
FRONT ELEVATION - GARAGE SIDE



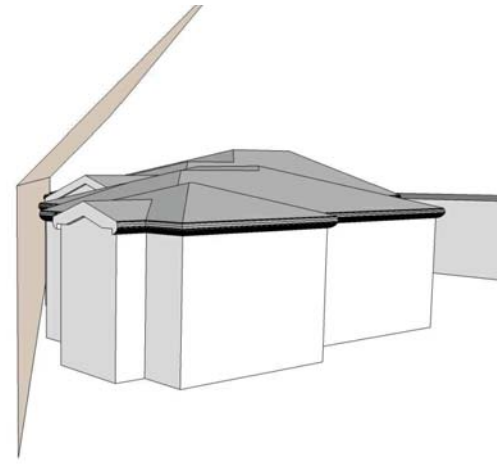
FRONT ELEVATION - GARAGE SIDE



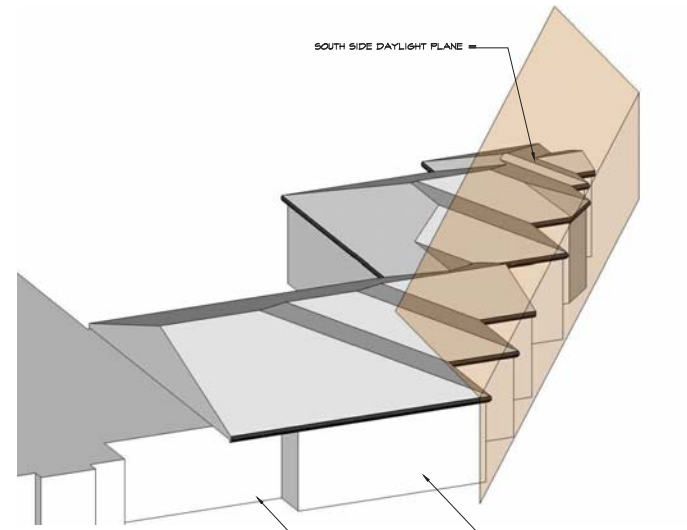
REAR ELEVATION - MASTER BATH ADDITION SIDE



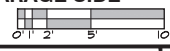
FRONT ELEVATION - GARAGE SIDE



REAR ELEVATION - MASTER BATH ADDITION SIDE



FRONT ELEVATION - GARAGE SIDE



DAYLIGHT PLANE STUDY

1/4" = 1'-0" 1

ISSUE LOG	
PLANNING SUBMITTAL	NOV. 27, 2017
PLANNING REVISION	MAR. 05, 2018
PLANNING REVISION	APR. 18, 2018
PLANNING REVISION	APR. 30, 2018
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INTERIOR REMODEL & ADDITION FOR: ALLISON SWOPE & NICK PINEDA 36 POLITZER DRIVE MENLO PARK, CA 94025	
A.P.N. 071-033-120	
CHECKED SIB	DRAWN CS
DATE 09.27.2017	
BY SWOPE-PINEDA	
A3.5	

ISSUE LOG	
▲	PLANNING SUBMITTAL NOV. 27, 2011
▲	PLANNING REVISION MAY 05, 2012
▲	PLANNING REVISION SEP. 18, 2012
▲	PLANNING REVISION APR. 30, 2013

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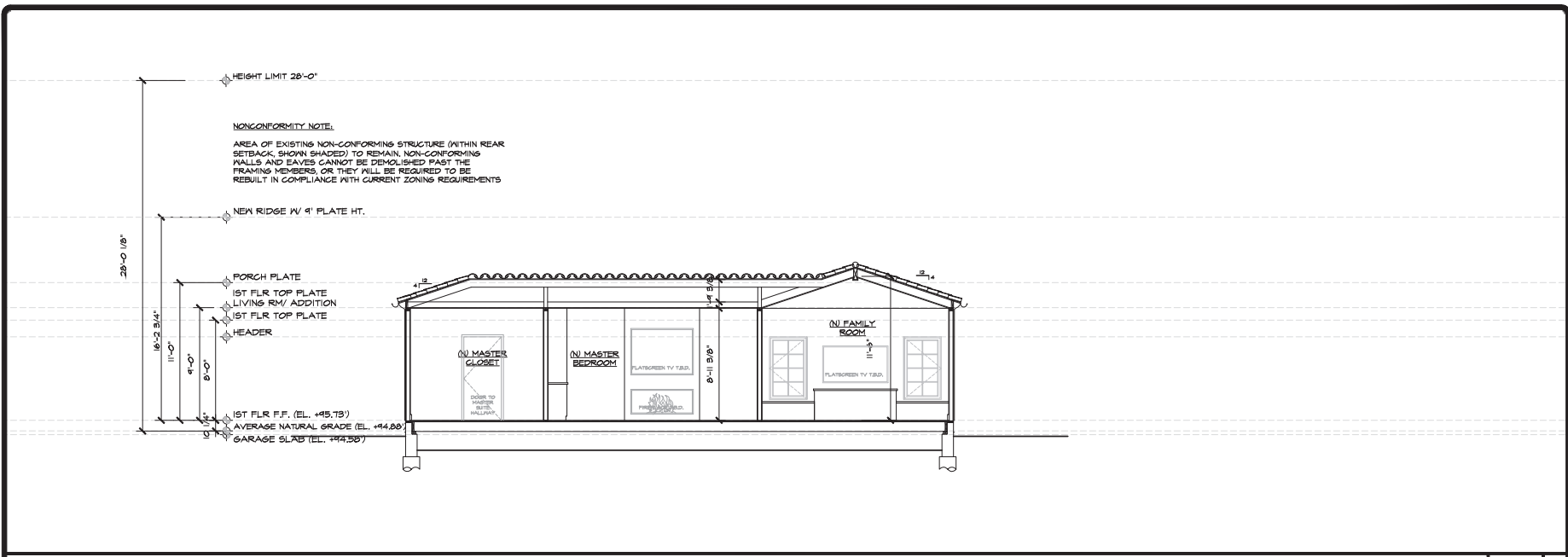


INTERCOMPEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
36 POLITZNER DRIVE
MENLO PARK, CA 94025

A.P.N. 071-033-120	
CHECKED SIB	DRAWN CS
DATE 09.27.2017	SCALE AS SHOWN
DESIGNED BY SWOPE-PINEDA	

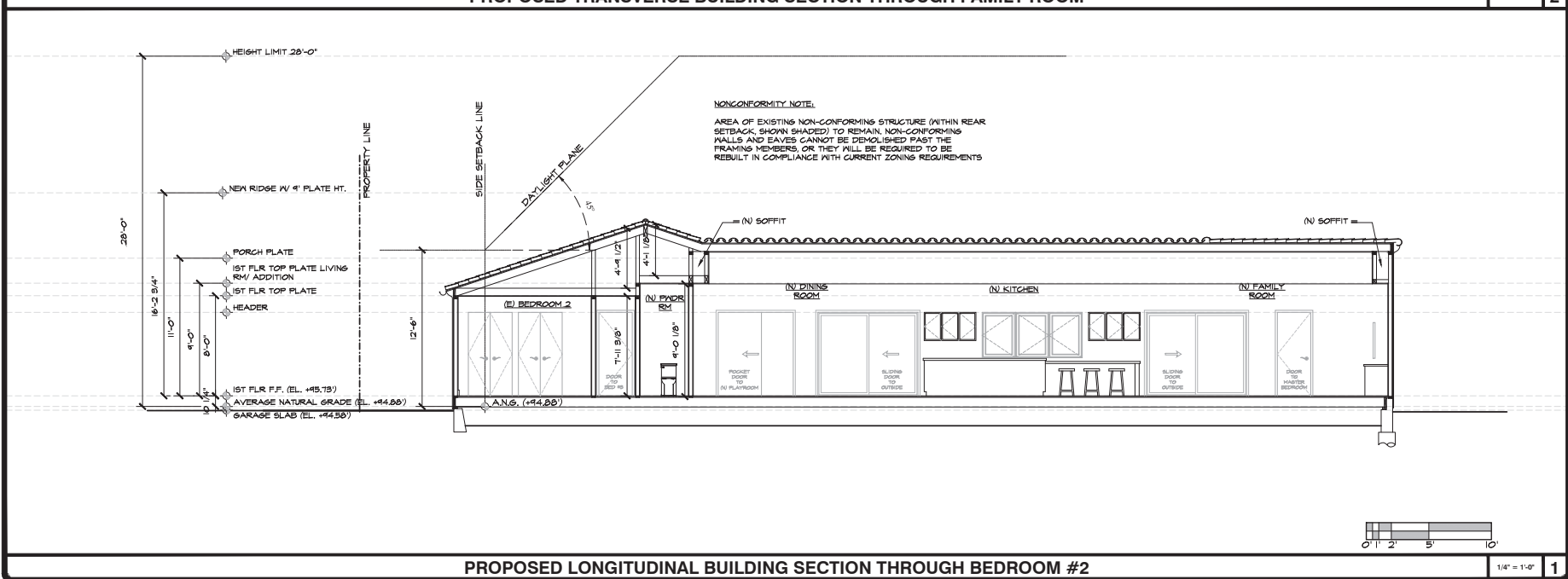
A4.1

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PROPOSED TRANSVERSE BUILDING SECTION THROUGH FAMILY ROOM

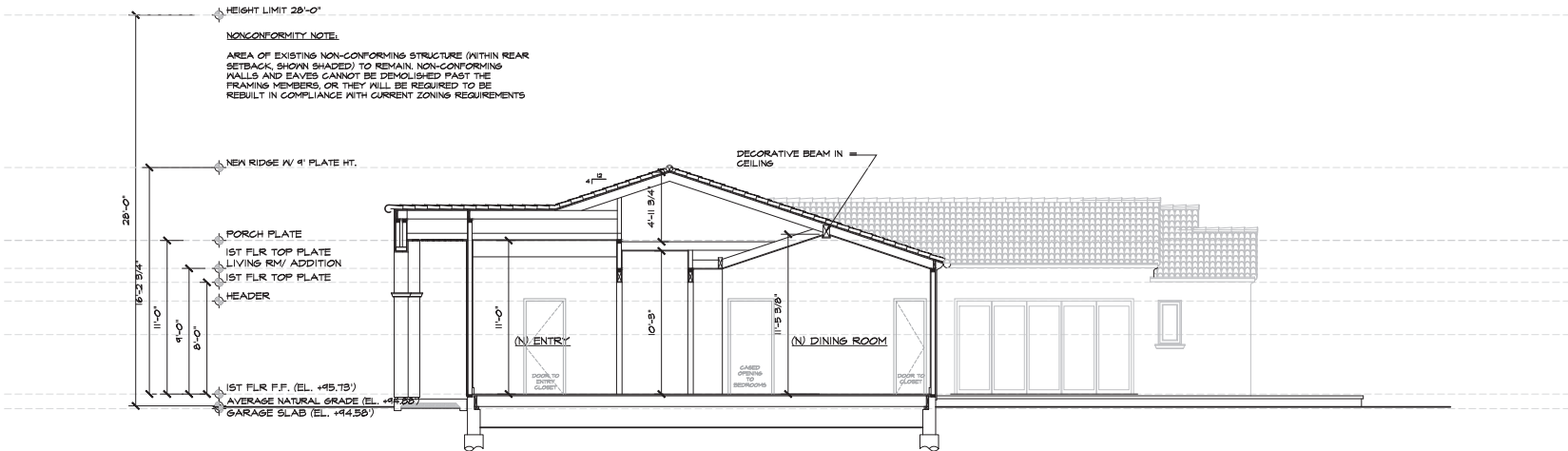
1/4" = 1'-0" 2



PROPOSED LONGITUDINAL BUILDING SECTION THROUGH BEDROOM #2

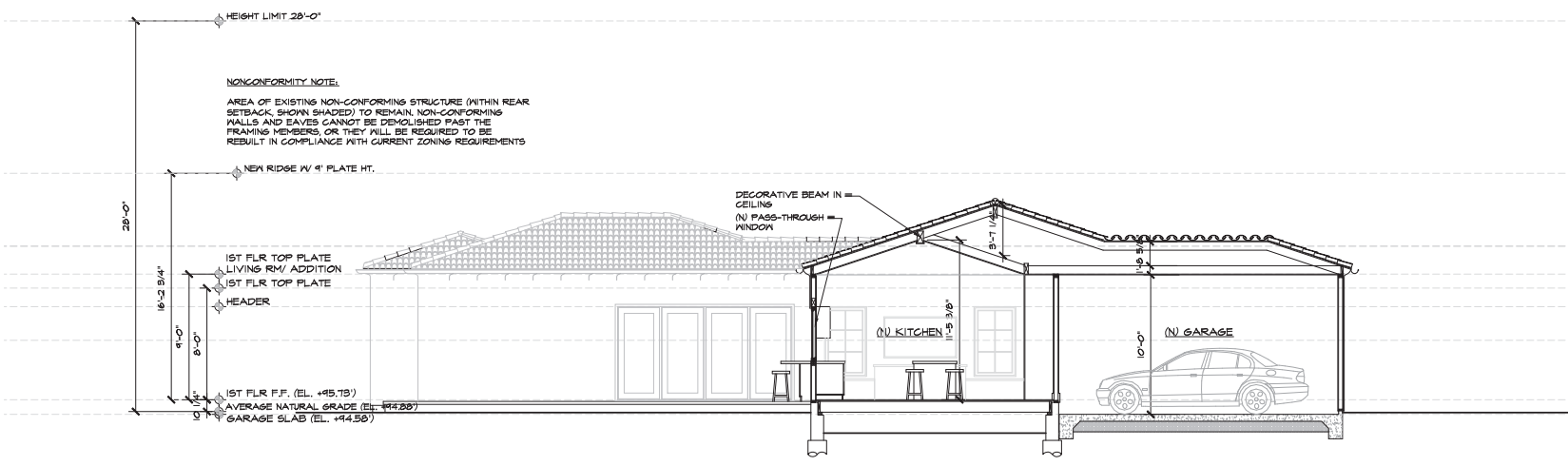


1/4" = 1'-0" 1

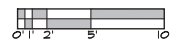


PROPOSED TRANSVERSE BUILDING SECTION THROUGH DINING ROOM

1/4" = 1'-0" 2



PROPOSED LONGITUDINAL BUILDING SECTION THROUGH KITCHEN



1/4" = 1'-0" 1

ISSUE LOG	
PLANNING SUBMITTAL	NOV. 27, 2017
PLANNING REVISION	MAR. 05, 2018
PLANNING REVISION	APR. 18, 2018
PLANNING REVISION	APR. 30, 2018

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INTERIOR MODEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
 36 POLITZER DRIVE
 MENLO PARK, CA 94025

A.P.N. 071-033-120	
CHECKED	DRAWN
SHB	CS
DATE	DATE
09.27.2017	
BY	BY
SWOPE-PINEDA	

A4.2

SURVEYOR'S NOTE:

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 071-033-120
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
- DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES.

BASIS OF BEARINGS

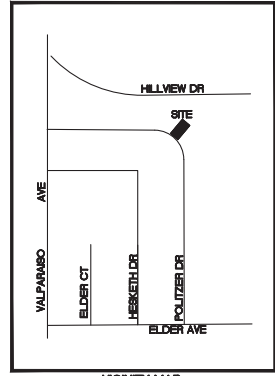
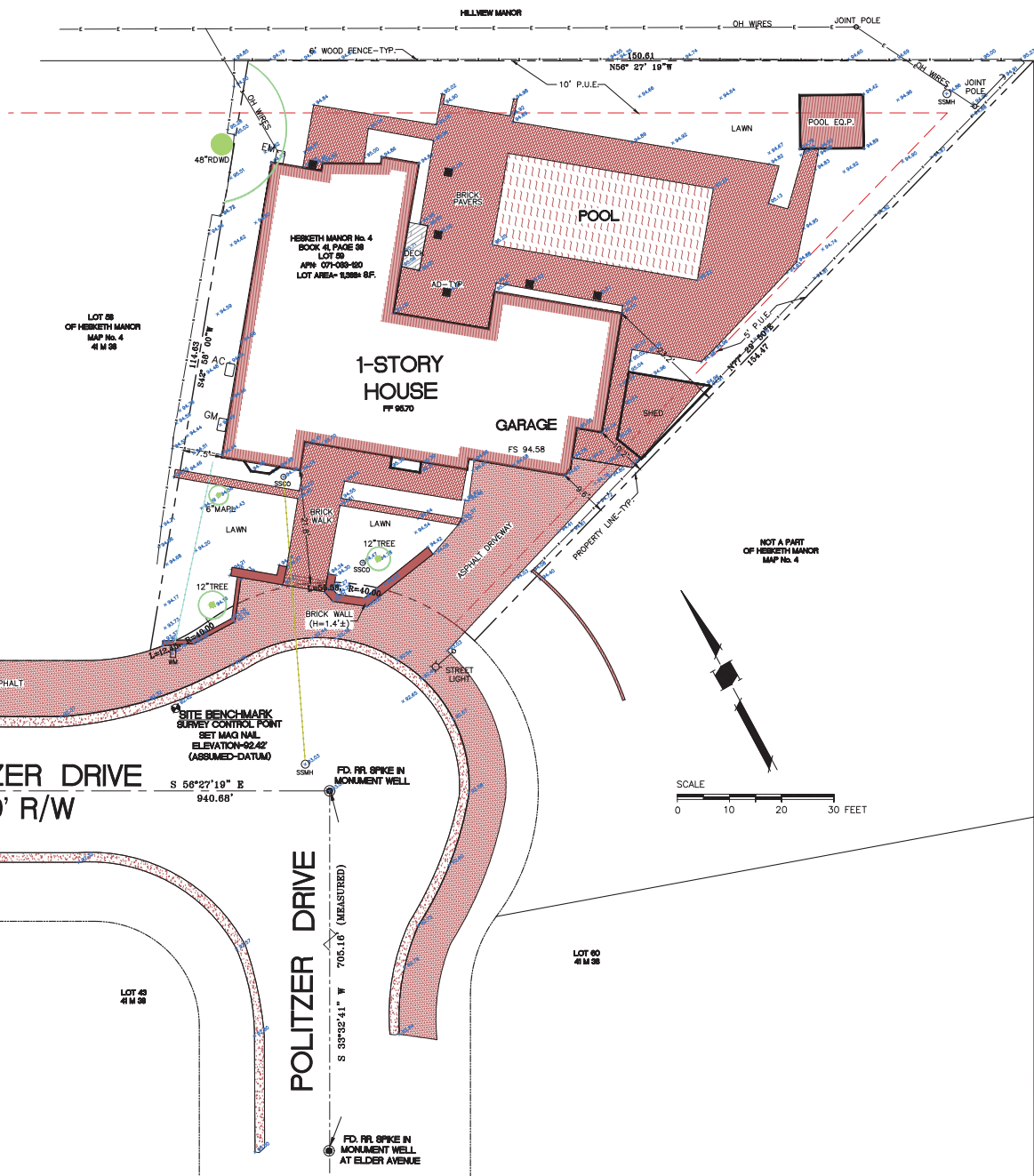
BEARINGS SHOWN HEREON ARE BASED ON THE MAP OF HESKETH MANOR MAP NO. 4, RECORDED IN BOOK 41 OF MAPS AT PAGE 38, SAN MATEO COUNTY RECORDS.

ABBREVIATIONS

- FL FLOWLINE
- TC TOP OF CURB
- EP EDGE OF PAVEMENT
- CONC CONCRETE
- LIP LIP OF GUTTER
- GS GROUND SHOT
- AD AREA DRAIN
- TC TOP OF CURB
- FF FINISH FLOOR
- BSL BUILDING SETBACK LINE

LEGEND

- SSO SANITARY SEWER CLEANOUT
- SMH SANITARY SEWER MANHOLE
- X FENCE LINE
- WV WATER VALVE
- WM WATER METER
- FH FIRE HYDRANT
- JP JOINT POLE
- GA GUY ANCHOR
- TREE, SIZE AND TYPE AS NOTED
- GL GAS LINE
- WL WATER LINE
- CONC CONCRETE
- GM GAS METER



NR ENGINEERING
 CIVIL ENGINEER
 880 WINTERGARD DRIVE
 SAN JOSE, CALIFORNIA 95050
 (408) 997-9171

36 POLITZER DRIVE
 MENLO PARK, CA.
 APN: 071-033-120

**TOPOGRAPHIC/
 BOUNDARY SURVEY**

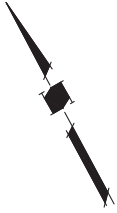
REVISIONS	BY

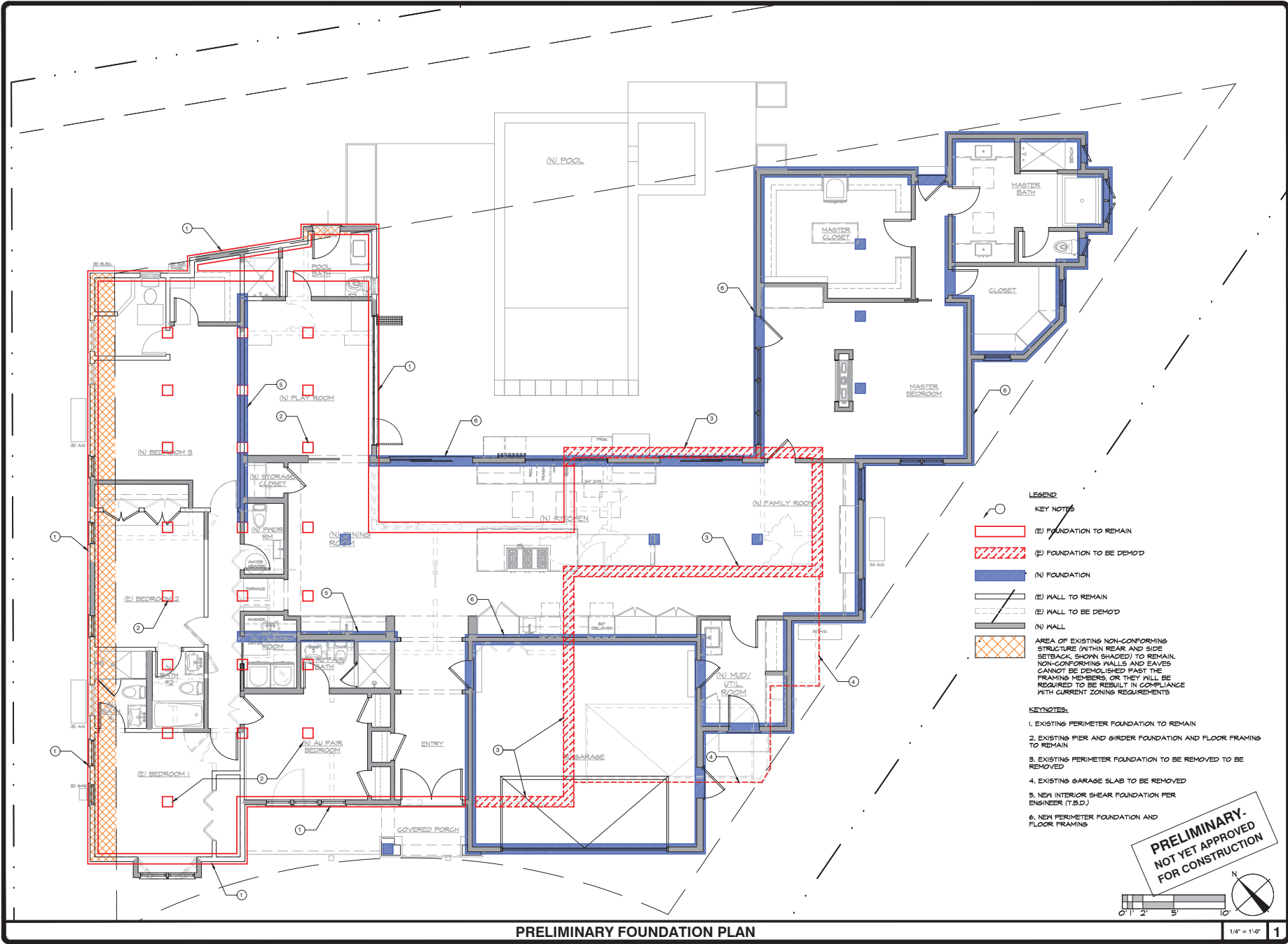
JOB NO:
 DATE: 2-19-2018
 SCALE: 1"=10'
 DRAWN BY: NR
 SHEET NO:

"I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYORS ACT. ALL MONUMENTS FOUND ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED."



BRIAN L. STOCKINGER
 PLS 6995
 EXPIRES 9-30-19





PRELIMINARY FOUNDATION PLAN

1/4" = 1'-0" 1

ISSUE LOG	
PLANNING SUBMITTAL	NOV. 27, 2011
PLANNING REVISION	MAR. 05, 2012
PLANNING REVISION	APR. 18, 2012
PLANNING REVISION	APR. 30, 2012

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INTERIOR MODEL & ADDITION FOR:
ALLISON SWOPE & NICK PINEDA
 36 POLITZER DRIVE
 MENLO PARK, CA 94025

A.P.N. 071-033-120	
CHECKED	DRAWN
SIB	CS
DATE	DATE
09.27.2017	
BY	DATE
SWOPE/PINEDA	

S-1

LEGEND

- KEY NOTES**
- (E) FOUNDATION TO REMAIN
 - (E) FOUNDATION TO BE DEMO'D
 - (N) FOUNDATION
 - (E) WALL TO REMAIN
 - (E) WALL TO BE DEMO'D
 - (N) WALL
 - AREA OF EXISTING NON-CONFORMING STRUCTURE (WITHIN REAR AND SIDE SETBACK, SHOWN SHADED) TO REMAIN. NON-CONFORMING WALLS AND SAVES CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS, OR THEY WILL BE REQUIRED TO BE REBUILT IN COMPLIANCE WITH CURRENT ZONING REQUIREMENTS
- KEYNOTES:**
1. EXISTING PERIMETER FOUNDATION TO REMAIN
 2. EXISTING PIER AND GIRDER FOUNDATION AND FLOOR FRAMING TO REMAIN
 3. EXISTING PERIMETER FOUNDATION TO BE REMOVED TO BE REMOVED
 4. EXISTING GARAGE SLAB TO BE REMOVED
 5. NEW INTERIOR SHEAR FOUNDATION PER ENGINEER (T.B.D.)
 6. NEW PERIMETER FOUNDATION AND FLOOR FRAMING

PRELIMINARY.
 NOT YET APPROVED
 FOR CONSTRUCTION



YOUNG AND BORLIK ARCHITECTS, INCORPORATED

4962 EL CAMINO REAL, SUITE 218
LOS ALTOS, CA 94022

TELEPHONE
(650) 688-1950

FAX
(650) 323-1112

WEB
www.ybarchitects.com

ATTACHMENT E

City of Menlo Park, Planning Division
701 Laurel Street Menlo Park, CA 94025

November 27, 2017

Re: Project Description Letter for 36 Politzer Drive, Swope Residence

The purpose of this letter is to describe the proposed addition and remodel project at 36 Politzer Drive, to accompany our submittal of plans and applications for Planning Department review dated November 27, 2017. The overall project includes a remodel of the existing one story house (2,811.9 sf footprint) and 1002.1 sf addition, resulting in a total FAL of 3,897 sf. The rear 40'-0" x 18'-0" pool is proposed to be replaced with a 12'-0" x 25'-0" pool. All existing trees on site are to remain and be protected during construction.

The parcel itself is 11,388 sf, zoned as R-1-S. Based on lot dimensions, the parcel is considered **standard** with respect to the minimum size for the district. The existing home structure complies with the height limit and the front setback, while encroaching upon the side setbacks and rear setback at the left wing of the home. The proposed scope of work **would exceed the 75% new work value threshold for a nonconforming structure and** necessitate a Use Permit approval for development.

It is the goal of this project to expand without adding a second floor. The lot is a tightly angled pie-shape at a corner (not a cul-de-sac). The allowable building area on said pie-shape, along with retaining as much of the existing structure as needed, resulted in a horse shoe-like plan. The architecture of the home is designed with Spanish Mission Style influences, but simplified for a more modern aesthetic. The design will feature a wide covered front porch, to provide a welcoming presence and emphasize the pedestrian scale of the streetscape. The front door will face the street and be covered with a pronounced entry porch for high visibility. Wall materials will be a painted (white) smooth stucco, with a clay barrel mission roof tiling. The windows will be aluminum clad with wood trim, predominantly casement style. Trim, casing, and mouldings will be painted white.

The surrounding neighborhood is all single family dwellings with a blend of old and new homes. The majority of the surrounding homes are ranch style one-story dwellings with a few new two-story and one-story contemporary modern homes. Most residences have attached front 2-3 car garages with a front driveway connecting to the street for the additional tandem parking.

The neighbors immediately adjacent to 36 Politzer have provided a supporting letter expressing their preference to single story homes and remodels to second stories in the neighborhood. The letter provides a strong opinion on why the residence at 36 Politzer would much benefit from a one story remodel instead of two story in relationship to their neighbors and the surrounding area.

Thank you for your time in review of this project. We are proud to present this design for your consideration, and look forward to the opportunity to see this new design compliment the neighborhood.

Sincerely,

Steve Borlik
Project Architect #C-22855

Arborist Report
36 Politzer Drive
Menlo Park, CA 94025



Prepared by

Urban Tree Management, Inc.

February 28, 2018

Assignment

It was my assignment to physically examine, tag and map protected and/or potentially affected trees in the survey area based on a topographic map provided by the client

Summary

This survey provides a numbered map and detailed information for 10 trees. Eight of these trees were determined to be heritage trees under the City of Menlo Park's tree protection ordinances. Seven trees, including 5 heritage trees are located on a neighboring property but could be affected by construction occurring on the subject property. Trees here ranged from poor to fair/good in terms of health and from poor to good in terms of structure. Two trees were recommended for removal because they are dead or dying. One of these is a heritage tree. Please see the accompanying map and data sheet for locations and details about specific trees.

Contents

All the trees surveyed were examined and then rated based on their individual health and structure according to the table below. For example, a tree may be rated "good" under the health column for excellent/vigorous appearance and growth, while the same tree may be rated "fair/poor" in the structure column if structural mitigation is needed. More complete descriptions of how health and structure are rated can be found under the "Methods" section of this report. The complete list of trees and all relevant information, including their health and structure ratings, their "protected/significant" status, a map and recommendations for their care can be found in the data table that accompanies this report.

Rating	Health	Structure
Good	excellent/vigorous	flawless
Fair/good	healthy	very stable
Fair	healthy but showing initial or temporary disease, pests or lack of vitality	routine maintenance needed such as pruning or end weight reduction as tree grows, minor structural corrections needed
Fair/poor	declining	significant structural weakness(es), mitigation needed, mitigation may or may not preserve the tree
Poor	dead or near dead	hazard

Methods

The trunks of the trees are measured using an arborist's diameter tape at 54" above soil grade. The canopy height and spread are estimated using visual references only. In cases of a very large tree, a standard measuring tape may be used.

The condition of each tree is assessed by visual observation only from a standing position without climbing or using aerial equipment. No invasive equipment is used. Consequently, it is possible that individual tree(s) may have internal (or underground) health problems or structural defects, which are not detectable by visual inspection. In cases where it is thought further investigation is warranted, a "full hazard assessment" is recommended. This assessment would consist of drilling or using sonar equipment to detect internal decay and may include climbing or the use of aerial equipment.

Tree Health Ratings

The health of an individual tree is rated based on leaf color and size, canopy density, new shoot growth and the absence or presence of pests or disease.

Tree Structure Ratings

Individual tree structure is rated based on the growth pattern of the tree (including whether it is leaning), the presence or absence of poor limb attachments (such as co-dominant leaders), the length and weight of limbs and the extent and location of apparent decay.

Tree Health on This Property

Trees here ranged from poor to fair/good in terms of health. No specific diseases or pests were noted, though two of the trees appeared to be dead or dying. Their removal was recommended. Other recommendations are shown for individual trees on the accompanying data sheet.

Tree Structure on This Property

Ideally, trees are pruned for structure when young and are properly maintained to reduce end-weight as they grow. Tree #2 has multiple leaders but has had end-weight reduced over the years. The podocarpus trees on the rear neighbor's property have been topped and poorly trimmed over the years by the utility company. Please see the data sheet for specific recommendations on individual trees.

Local Regulations Governing Trees

Menlo Park City Code requires a permit to remove or substantially prune a heritage tree, which is defined on the next page.

1. Any tree or group of trees of historical significance, special character or community benefit, specifically designated by resolution of the city council;
2. Any oak tree native to California, with a circumference of 31.4 inches (diameter of 10 inches) or more measured at 54 inches above natural grade. Trees with more than one trunk shall be measured at the point where the trunks divide, with the exception of trees that are under twelve (12) feet in height, which are exempt from this ordinance.
3. All trees other than oaks which have a trunk with a circumference of 47.1 inches (diameter of 15 inches) or more measured at 54 inches above natural grade. Trees with more than one trunk shall be measured at the point where the trunks divide, with the exception of trees that are under twelve (12) feet in height, which are exempt from this ordinance.

Seven of the trees surveyed at this site are considered “heritage” trees under this ordinance. Tree #1, a dead heritage cherry tree and tree #4, a non-heritage tree are recommended for removal.

Risks to Trees by Construction

Besides the above-mentioned health and structure-related issues, the trees at this site could be at risk of damage by construction or construction procedures that are common to most construction sites. These procedures may include the dumping or the stockpiling of materials over root systems; the trenching across the root zones for utilities or for landscape irrigation; or the routing of construction traffic across the root system resulting in soil compaction and root dieback. It is therefore essential that Tree Protection Fencing be used as per the Architect’s drawings. In constructing underground utilities, it is essential that the location of trenches be done outside the drip lines of trees except where approved by the Arborist.

General Tree Protection Plan

Protective fencing is required to be provided during the construction period to protect trees to be preserved. Tree protection fencing distances and other mitigation requirements are shown in Appendix A (pages 9-10) and are detailed on the following pages. Tree protective fencing must:

- a. Consist of chain link fencing and having a minimum height of 6 feet.
- b. Be mounted on steel posts driven approximately 2 feet into the soil.
- c. Fencing posts must be located a maximum of 10 feet on center.
- d. Protective fencing must be installed prior to the arrival of materials, vehicles, or equipment.
- e. Protective fencing must not be moved, even temporarily, and must remain in place until all construction is completed, unless approved by a certified arborist.
- f. Tree Protection Signage shall be mounted to all individual tree protection fences.

Based on the existing development and the condition and location of trees present on site, the following is recommended:

1. A Certified Arborist should supervise any excavation activities within the tree protection zone of these trees.
2. Any roots exposed during construction activities that are larger than 2 inches in diameter should not be cut or damaged until the project Arborist has an opportunity to assess the impact that removing these roots could have on the trees.
3. The area under the drip line of trees should be thoroughly irrigated to a soil depth of 18" every 3-4 weeks during the dry months.
4. Mulch should cover all bare soils within the tree protection fencing. This material must be 6-8 inches in depth after spreading, which must be done by hand. Course wood chips are preferred because they are organic and degrade naturally over time.
5. Loose soil and mulch must not be allowed to slide down slope to cover the root zones or the root collars of protected trees.
6. There must be no grading, trenching, or surface scraping inside the driplines of protected trees, unless specifically approved by a Certified Arborist. For trenching, this means:
 - a. Trenches for any underground utilities (gas, electricity, water, phone, TV cable, etc.) must be located outside the driplines of protected trees, unless approved by a Certified Arborist. Alternative methods of installation may be suggested.
 - b. Landscape irrigation trenches must be located a minimum distance of 10 times the trunk diameter from the trunks of protected trees unless otherwise noted and approved by the Arborist.
7. Materials must not be stored, stockpiled, dumped, or buried inside the driplines of protected trees.
8. Excavated soil must not be piled or dumped, even temporarily, inside the driplines of protected trees.
9. Landscape materials (cobbles, decorative bark, stones, fencing, etc.) must not be installed directly in contact with the bark of trees because of the risk of serious disease infection.
10. Landscape irrigation systems must be designed to avoid water striking the trunks of trees, especially oak trees.
11. Any pruning must be done by a Company with an Arborist Certified by the ISA (International Society of Arboriculture) and according to ISA, Western Chapter Standards, 1998.
12. Any plants that are planted inside the driplines of oak trees must be of species that are compatible with the environmental and cultural requirements of oaks trees. A publication detailing plants compatible with California native oaks can be obtained from The California Oak Foundation's 1991 publication "Compatible Plants Under & Around Oaks" details plants compatible with California native oaks and is currently available online at: <http://californiaoaks.org/wp-content/uploads/2016/04/CompatiblePlantsUnderAroundOaks.pdf> .

Project Impacts to Protected Trees

This project has been reviewed for impacts to protected trees. The design of the project preserves the maximum number of protected trees possible given the constraints of the

property. The Project Arborists are Michael Young and Allie Strand, Urban Tree Management, Inc., Los Gatos, CA. Michael can be contacted at 650 321-0202 and Michael@urbantreemanagement.com. Allie can be contacted at 650 906-5540 and operations@urbantreemanagement.com.

The provided description of the project indicates that it will consist of the following:

Demolition

1. Demolition of portions of the front retaining wall,
2. Demolition of portion of the southeast side of home,
3. Demolition of pool and patio area.

Construction

1. Expansion of driveway into area vacated by demolished front retaining wall
2. Home addition to the southeast side of the home and garage, including driveway improvements.
3. New pool and patio area
4. Existing trees to remain with the exception of 2 dead trees on the subject property to be removed per arborist report.

Based on this description and the location and size of the protected trees, the issues potentially affecting all protected trees will be

1. Construction access and soil compaction including transit of machinery and materials storage over root zones of protected trees.
2. Grading and removal of existing soils over potential portions of the root zones of protected trees
3. Construction of new improvements, including the home addition, addition to driveway, pool, utilities over or through the root zones of protected trees.

Tree Protection Fencing Requirements

Please see Appendix A, pages 9-10 for the Tree Protection Fencing Requirements, for a comprehensive list of tree protection fencing distances and other requirements.

Activity-specific Mitigation Measures for Protected Trees

Construction Access and Staging

Construction access will be from Politzer Drive on the existing driveway. Staging and materials storage shall occur outside of all tree projection zones. Portable toilets will be staged outside of tree protection zones.

Installation of Utilities

Placement outside or on edges of tree protection zones is preferred. Utilities shall use combined trenches where possible and advantageous for tree protection. No machine trenching shall occur in the root zones of protected trees. Excavation for water and sewer utilities pipes occurring under protected trees must be done by hand, under the supervision of the project arborist. The goal is to tunnel under larger surface roots and place pipe in the trench without damaging structural roots.

Excavations

If roots over 2" diameter are encountered during any project-related excavation, the Project Arborist shall be called for a site meeting. Roots over 2" diameter shall not be damaged or cut unless specifically authorized by the Project Arborist.

Specific Protection Measures by Tree

Work is anticipated within or adjacent to the TPZ of two protected trees. Please see Appendix A, pages 9-10 for the Tree Protection Fencing Requirements for a comprehensive list of tree protection fencing distances and other requirements.

Tree #2 is a 15" DBH oak in fair/good health. Work near this tree is planned as follows:

- hand demolition of a portion of existing retaining wall and removal of retained soil from 5'2 to 9'-10" from the tree. Depth is expected to be 4-6".
- rebuilding of this wall closer to the tree and backfilling with soil (no additional excavation is anticipated)
- slight hand grading of or soil addition to this area to match grade of bottom of the former wall and the grade of the bottom of adjacent driveway. Grading is not anticipated but is possible.
- geogrid-based paving of the area formerly occupied by the original wall and retained soil.

Exploratory Trench for Tree #2

In view of the plans to move the retaining wall near tree #2, an exploratory trench was carefully excavated on June 26 to determine the extent of roots that would be affected. Eight (8) relatively small roots (under 1" diameter) were noted and documented (please see Appendix B, Page 11). In my professional opinion, these roots can be pruned without significantly harming the tree. The percentage of root loss was calculated by the architect based on existing canopy size vs root zone loss due to relocation of the retaining wall and was found to be approximately 9%. Roots shall be cut off cleanly on the side of the trench nearest the tree. I recommend this root pruning be done in winter or early spring while the tree is dormant. The trench shall immediately be refilled with soil until work commences on this portion of the project.

The initial TPZ extends out to 4'6" from the tree (the edge of the exploratory trench) on the driveway side and out to the hardscape on all other sides of the tree. When the project has

commenced to a point where demo of the wall and driveway is needed, a site meeting is required with the Project Arborist to explain tree-friendly demo and construction techniques and ensure they are implemented. The goal is to avoid subsurface grading and root destruction within this area.

Tree #3 is a 16" DBH Chinese pistache in fair condition and located on an adjacent property. Work near this tree is planned as follows:

- hand demolition of the portion of the asphalt driveway from 5'6" to 8'-6" from the tree. Depth is expected to be 4-6".
- geogrid-based installation of walkway
- top-dressing of existing driveway.

The initial TPZ extends out to 5'6" from the tree so that the hardscaped driveway in this area can be used during other aspects of project demolition and construction. When the project has commenced to a point where demo is needed for the walkway, a site meeting is required with the Project Arborist to explain tree-friendly demo and construction techniques and make sure they are implemented. Hand demolition means light jackhammer and wheelbarrow. The goal is to avoid root destruction, compaction and subsurface grading within this area.

NOTE ON WORK INSIDE TREE PROTECTIONS ZONES: *Whenever work is required within any Tree Protection Zone), the Project Arborist will attend a field meeting (specific to the work at hand) called by the construction supervisor for the purpose of authorizing work in the area (see meeting requirement on the TPZ Table in Appendix A). At this field meeting, specific work may be approved inside the specific TPZ(s). Work approved under this scenario must comply with mitigation described in this report and/or with any specific approval conditions specified by the Project Arborist.*

I certify that the information contained in this report is correct to the best of my knowledge and that this report was prepared in good faith. Please call me if you have questions or if I can be of further assistance.

Respectfully,

Allie Strand

Allie Strand
ISA Certified Arborist WC-#10737
ISA Tree Risk Assessment Qualified
American Society of Consulting Arborists

APPENDIX A: TREE PROTECTION FENCING TABLE

Tree protection fencing shall be placed as shown in the table below, given buildings and fencing.

TPZ distances given are measured from the exterior trunk of the tree. TPF is on subject property only.

Tag	Common Name	DBH	W/H	TPZ Distance	X DBH	Improvement	Distance from tree	Depth	Mitigation Notes	Meeting Requirement
2	Oak variety	15	22/15	4'-8" on driveway side (along trench), to edge of brick elsewhere.	3.7 on driveway side, rest out to retaining wall. *Exploratory trenching shows no significant roots in this area.	extension of driveway on left side only.	5'-2"	4-6"	Demo of driveway begins 5'-2" from tree and goes to 9'-10" from tree. Total canopy percentage affected is 9% (including moving of wall and driveway expansion into that space). Depth of demo below grade is expected to be the same as depth of existing driveway. No roots are expected in this area based on exploratory trenching and the anticipated similar depth of the existing wall foundation and driveway foundation. Demo to be by hand or light jackhammer and wheelbarrow. No machine traffic or machine grading in this area. Project Arborist is to be called for a pre-demo site meeting. Geogrid to be used in this area to minimize compaction. See page 7 for a more detailed discussion for this tree.	Site meeting prior to commencement of wall demo and/or driveway demo near wall.
				4'-8" on driveway side (along trench), to edge of brick elsewhere.		relocation of brick wall after roots cut to 4'-8"	4'-8"	2' from existing retained grade	Exploratory trenching shows only small roots at edge of excavation (8 roots under 1" diameter). Cut existing roots cleanly, ASAP (winter). 9% of canopy/root zone impacted, based on canopy width and area of soil disturbed.	
						excavation for new garage foundation	15'-1"	2'	no impact	
						front walkway extension	9' 8.5"	6"	no impact, no roots expected at this depth in this area.	
3	Pistache	16	24/22	*Fence to edge of existing driveway, (5'=6" from tree) paint line at 10' arc from tree. This line becomes the TPZ line when	7.5	Demo of existing driveway	5'6" - 8'-6"	4-6"	Demo to be done by hand, or light jackhammer and wheel barrow within 10' of tree 3. Root loss is expected to be less than 3%. No machine traffic, or grading this area while soil is exposed. Project Arborist to attend pre-demo site meeting. See page 8 for a more detailed discussion for this tree.	Site meeting prior to commencement of driveway demo.
						excavation for new driveway	5'6"	0	No new excavation after hand-demo, driveway will be top-dressed only.	
						excavation for new garage foundation	18'-4.5"	2'	no impact	
						permeable walkway installation	5'6"	0	No additional excavation, new walkway will be on top of old/demoed driveway area. Geogrid to be used within 10' of tree 3 to minimize compaction.	

APPENDIX A: TREE PROTECTION FENCING TABLE - CONTINUED

Tree protection fencing shall be placed as shown in the table below, given buildings and fencing.

TPZ distances given are measured from the exterior trunk of the tree. TPF is on subject property only.

Tag	Common Name	DBH	W/H	TPZ Distance	X DBH	Improvement	Distance from tree	Depth	Mitigation Notes	Meeting Requirement
5	Podocarpus	15	14/18	12'-6"	10	demo of existing pool	23'-0"	6'	no impact	
						new foundation for home addition at existing pool location	23'-4"	no excavation, only fill	no impact	
						new foundation outside of existing pool location	22'-11"		no impact	
						new foundation for home addition				
						excavation for new pool	19'-7"	6'	no impact	
						patio walkway at edge of pool	14'-9"	6"	no impact	
6	Podocarpus	18	14/24	12'	8	excavation for new pool	14'-10"	6'	no significant impact	
				12'	8	patio walkway at edge of pool	12'-10"	6"	no significant impact	
7	Podocarpus	12	12/18	10'	10	excavation for new pool	13'-0"	6'	no impact	
8	Coast redwood	55	20/100	36.00	8	no activities in root zone, fence to protect from material storage in root zone			no impact	
9	Coast redwood	55	20/100	36.00	8	no activities in root zone, fence to protect from material storage in root zone			no impact	
10	Pistache	4	12/16	none	none	no activity in root zone, tree is behind light pole, suggest wrapping light pole in hi-vis			no impact	

APPENDIX B: Exploratory Trenching Near Tree #2

The plans for this project include moving an existing retaining wall closer to tree #2 so that cars can enter the new garage. Tree #2 is a 15" DBH oak, planted in the retained area behind this wall. On February 26, 2018, an exploratory trench was hand-excavated in order to determine the size and extent of roots in the area that would need to be cut to accommodate the new driveway area. The photos below show the trench from various angles together with a 1 inch measuring tape for scale. Eight roots measuring less than 1 inch in diameter were observed in the trench. Three white irrigation pipes were also observed. Due to the small size of these roots, this tree will not be significantly harmed by pruning the roots at the edge of the trench nearest the tree. The percentage of root loss was calculated by the architect based on existing canopy size vs root zone loss due to relocation of the retaining wall and was found to be approximately 9%.



TREE SURVEY urban tree management, inc.

Client: YOUNG AND BORLIK ARCHITECTS, INC.
 Address: 36 Politzer Drive, Menlo Park, CA 94025
 Date: 2/15/17

Ratings for health and structure are given separately for each tree according to the table to right. IE, a tree may be rated "Good" under the health column for excellent/vigorous appearance and growth, while the same tree may be rated "Fair/Poor" in the structure column if structural mitigation is needed. Health is rated based on leaf color and size, canopy density, new shoot growth and presence of pests or disease.

KEY	Health	Structure
Good	excellent/vigorous	flawless
Fair/Good	healthy	very stable
Fair	Fair	routine maintenance needed such as pruning or end weight reduction as tree grows, minor structural corrections needed
Fair/Poor	declining	significant structural weakness(es), mitigation needed, mitigation may or may not preserve the tree
Poor	dead or near dead	hazard

TAG #	COMMON NAME	DBH	W/H	HEALTH	STRUCTURE	PROTECTED (X)	REMOVAL (X)	PROTECTED REMOVAL (XX)	NOTES/RECOMMENDATIONS
1	Cherry	15	8/14	P	P	X		XX	DEAD, Rec REMOVAL
2	Oak variety	15	22/15	FG	FP	X			Multiple leaders, EWR has occurred, limited root zone due to driveway and walks
3	Pistache	16	24/22	F	FP	X			NEIGHBOR'S tree, Multiple leaders, EWR has occurred, overhang is 10', asphalt to 2' from property line then soil. diam estimated, tag on fence
4	unknown ornamental	14	16/20	P	P		X		Dead or dying, multiple dead leaders, trunk punky, Rec REMOVAL
5	Podocarpus	15	14/18	FG	FP	X			NEIGHBOR'S tree, multiple leaders, diameter estimated, tag on fence, overhang is 8', utilities run through tree
6	Podocarpus	18	14/24	FG	FP	X			NEIGHBOR'S tree, multiple leaders, diameter estimated, tag on fence, overhang is 8', utilities run through tree
7	Podocarpus	12	12/18	FG	FP				NEIGHBOR'S tree, multiple leaders, diameter estimated, tag on fence, overhang is 5', utilities run through tree
8	Coast redwood	55	20/100	FG	G	X			NEIGHBOR'S tree, diameter estimated, tag on fence, overhang is 20'
9	Coast redwood	55	20/100	FG	G	X			NEIGHBOR'S tree, diameter estimated, tag on fence, overhang is 20'
10	Pistache	4	12/16	FG	F				NEIGHBOR'S tree, not tagged, overhang is 3', tree is behind light pole.
PROTECTED TOTAL						7			
REMOVAL TOTAL								2	
PROTECTED REMOVALS TOTAL									1

ACRONYMS

EWR - End Weight Reduction: pruning to remove weight from limb ends, thus reducing the potential for limb failure

Menlo Park City Code 13.20.020 defines a Heritage Tree as:

- 1) Any tree having a trunk with a circumference of 47.1 inches (diameter of 15 inches) or more measured at 54 inches above natural grade.
- 2) Any oak tree native to California, with a circumference of 31.4 inches (diameter of 10 inches) or more measured at 54 inches above natural grade.
- 3) Any tree or group of trees specifically designated by the City Council for protection because of its historical significance, special character or community benefit.
- 4) Any tree with more than one trunk measured at the point where the trunks divide, with a circumference of 47.1 inches (diameter of 15 inches) or more, with the exception of trees that are under twelve (12) feet in height, which are exempt from the ordinance.

Common name	Latin name
Cherry	<i>Prunus sp.</i>
Chinese pistache	<i>Pistacia chinensis</i>
Coast redwood	<i>Sequoia sempervirens</i>
Podocarpus	<i>Podocarpus sp.</i>

RECEIPT FOR NEIGHBORS OPINION

February 3, 2016

Regarding:

Property Address: 36 Politzer Drive, Menlo Park

1. Written document from neighbors

1 page:

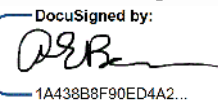
This came from the neighbors. We want to make sure everyone had a copy. Please confirm with the City of Menlo Park. But to our knowledge no neighbor input is needed. This is simply an opinion.

Date: February 3, 2016

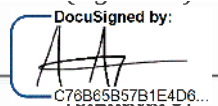
Listing Agent: *Gene Luchalas*

Receipt of documents indicated above is hereby acknowledged

Date: 2/3/2016

Buyer: 

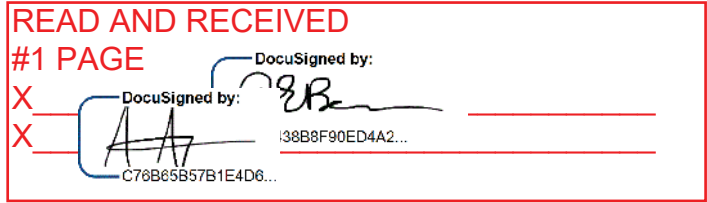
Date: 2/3/2016

Buyer: 

Date: _____

Selling Agent: _____
(signature)

Keri Nicholas
Alain Pinel Realtors
1075 Curtis Street
Menlo Park, CA



February 1, 2016

Dear Ms. Nicolas

We are the families immediately adjacent to 36 Politzer. First let us assure you and any potential buyers we look forward to meeting our new neighbors. We have a wonderful neighborhood with a lively mix of young families and some not quite so young families. We have for many years enjoyed annual and sometimes semi annual block party/wine tastings in the cul de sac between 36 and 32 Politzer.

That said we also would like to offer our opinion about second story remodels. While there are a couple of second story homes on Politzer, by and large this is a neighborhood of single story homes. We would much prefer the homes at this end of Politzer remain single story homes. A large second story would be inconsistent with existing homes. The Williams residence at 32 Politzer has a hot tub, sauna and pool immediately adjacent to 36 Politzer and the Scherba residence at 40 Politzer has a recently remodeled back garden used for entertaining. Additionally, while 36 Politzer is presently shielded from Hillview School, a second story would expose the home to that School.

Again let us assure you we will welcome our new neighbors unreservedly. We recognize new buyers want to make the new home their new home. We offer this only as a statement of preference on our part.

Sincerely,

Joseph Williams
32 Politzer Drive

Ken Arntkyll
25 Politzer Dr.

Umb Whitel
28 Politzer Dr.

Dyanne Talli
28 POLITZER DR.

Judy Shannon
20 Politzer Drive
Menlo Park, CA 94025

Scott & MaryAnn Levenson
21 Politzer Dr.
Menlo Park, CA 94025

Roe & Judi Scherba
40 Politzer Dr
Menlo Park CA 94025



STAFF REPORT

Planning Commission

Meeting Date: 5/7/2018
Staff Report Number: 18-043-PC

Public Hearing: Use Permit/HongJie Ho/2058 Menalto Avenue

Recommendation

Staff recommends that the Planning Commission approve a request for a use permit to demolish an existing single-story single-family residence and construct a new two-story single-family residence on a substandard lot with respect to lot area and width in the R-1-U (Single Family Urban Residential) zoning district, at 2058 Menalto Avenue. The proposal includes a request to remove one heritage size multi-trunk plum tree. The recommended actions are contained within Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject site is located at 2058 Menalto Avenue, at the southeast corner of the intersection of Menalto Avenue and O'Keefe Street in the Willows neighborhood. A location map is included as Attachment B. O'Keefe Street is considered the corner-side frontage and Menalto Avenue is considered the front property line, per the Zoning Ordinance. The front door, vehicle access, and property address may be located on either of the two street-facing sides.

Parcels along Menalto Avenue to the north are also located in the R-1-U zoning district and contain single family residences. The parcel to the east of the site, along O'Keefe Street, is zoned R-3 (Apartment District) and contains a multi-family condominium complex. Parcels northeast and farther east along O'Keefe Street are located in the City of East Palo Alto and are occupied by multi-family developments. The property to the south of the site, on Menalto Avenue, is zoned R-2 (Low Density Apartment) and contains two detached condominium units, which are designed and laid out like other single-family residences in the area. Other properties to the west across Menalto Avenue are also zoned R-1-U and are occupied by single-family dwelling units.

The surrounding single family homes are a mix of single-story and two-story developments. The immediately adjacent development on Menalto Avenue is a two-story structure, and the neighboring parcel on O'Keefe Street contains multiple three-story buildings. Both neighboring parcels are in multi-family zoning districts. The residences in the area are designed with a variety of architectural styles.

Analysis

Project description

The applicant is proposing to demolish the existing single-story, single-family residence and detached garage and construct a new two-story residence with an attached one-car garage. The second parking space would be an uncovered parking space adjacent to the garage, located outside of the required side and front setbacks. The lot is substandard with respect to lot area, at 6,315 square feet where 7,000 is required and lot width at 49 feet, where a minimum of 65 feet is required in the R-1-U zoning district. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a four-bedroom home with three-and-a-half bathrooms, with a typical layout of shared living spaces (and one bedroom) on the ground level, and bedrooms on the upper floor. Of particular note with regard to development regulations, the total height of the residence would be relatively modest, at 25 feet, six inches in height where the maximum permitted height is 28 feet. With regard to the right side setback, while a portion of the first floor is proposed to be set back five feet, eight inches from the neighboring parcel (where the minimum setback for the interior side is five feet), other portions of the first floor would be set back additionally, at approximately 15 feet from the property line. In addition, the right side's second floor would be set back a minimum of nine feet, nine inches, almost double the five-foot minimum.

Design and materials

The applicant states that the proposed residence would be constructed in a Mediterranean style, with stucco siding and Mission tile roofs. The main entry would be located along O'Keefe Street and includes a covered porch with arched entryways under a gabled roof. The proposed windows would be consistent throughout the residence and feature aluminum clad wood in a dark color, with simulated divided light grids. The garage door would be a stained wood garage door. The rear elevation (opposite Menalto Avenue) would include a large covered porch area. The majority of the roof elements would contain gables, except on the interior side (opposite O'Keefe Street) where hipped roof elements would be used, which would help limit the massing of the building and comply with the daylight plane requirement. The single-car garage would be accessed from Menalto Avenue, which would help minimize the impact of the garage on the streetscape, since the site layout utilizes O'Keefe Street for the front entry. The garage would also be set back five feet from the wall of bedroom 4, which would limit the potential visual impact along Menalto Avenue. The existing driveway is also located in this area, minimizing the changes to the neighborhood character. An uncovered parking space would be located adjacent to the single-car garage, outside of the required side yard setback.

The second story would be set back farther than the minimum required setbacks and from the first floor to reduce the perception of the mass and bulk of the proposed residence. Varying projections, articulations, and gabled roof elements on the elevations would reduce the apparent massing, which would also be limited by the enhanced side setbacks. The proposal incorporates a number of different window sill heights. On the second floor, the sill heights vary from two feet, six inches to four feet, six inches; however, the applicant states that only smaller secondary windows are located on the south side (interior

side) elevation to limit potential impacts to the neighboring residence. The majority of the windows would be oriented toward the front, rear, and corner side. The larger side setbacks for the second level, beyond the minimum required, would also help partially reduce potential privacy concerns from the second-floor windows. The Planning Commission could consider a condition requiring new landscaping along the right side elevation and/or raising of window sill heights if privacy remains a concern, although staff does not believe this is particularly necessary.

Staff believes that the scale, materials, and design of the proposed residence would be consistent with the neighborhood's mix of architectural styles, and that the proposed materials and overall design integrity would result in an internally consistent aesthetic approach.

Flood zone

The subject property is located within the "AE" zone established by the Federal Emergency Management Agency (FEMA). Within this zone, flood proofing techniques are required for new construction and substantial improvements of existing structures. Stated in general terms, the finished floor must be at least one foot above the base flood elevation. The sections (Sheet A4) show the base flood elevation (30 feet) in relation to the existing average natural grade (approximately 29.52 feet) and the finished floor (31.5 feet). The Public Works Department has reviewed and tentatively approved the proposal for compliance with FEMA regulations.

Trees and landscaping

The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of the heritage and non-heritage trees on the site. The report discusses the impacts of the proposed improvements and provides recommendations for tree maintenance and protection during construction. There are a total of seven trees currently located on or near the subject property, with two trees heritage in size and three in the public right-of-way. One non-heritage street tree (#7) is dead and has been removed and replaced since the initial arborist report.

The proposed project includes a request to remove a heritage size multi-trunk plum tree (#2) in good health, due to the location of the tree within the proposed footprint of the new development. As part of the project review process, the arborist report was reviewed by the City Arborist, who has recommended approval of the heritage tree removal permit request based on findings 1 and 4 of the City's Heritage Tree Ordinance, which are listed below for reference.

- (1) The condition of the tree or trees with respect to disease, danger of falling, proximity to existing or proposed structures and interference with utility services; and
- (4) The long-term value of the species under consideration, particularly lifespan and growth rate.

The proposed project includes a coast live oak replacement tree located along the O'Keefe Street frontage. All recommendations identified in the arborist report shall be implemented and ensured as part of condition 3g.

The applicant is also proposing new landscaping throughout the site as part of the project. All new landscaping will be required to comply with the Water Efficient Landscaping Ordinance (WELo). As noted

on the site plan, fencing at the corner would be limited to three feet in height, in compliance with limits for corner lots. Walkways would be provided from both frontages to the entry porch.

Correspondence

Staff has not received any correspondence on the proposed project that was directed to the Planning Commission.

Conclusion

Staff believes the scale, materials, and style of the proposed residence are compatible with the neighborhood, and that the proposed overall design would result in a consistent aesthetic approach. Varying projections and articulations on the elevations of the proposed residence would reduce the perception of mass. Visual impacts of the parking would be reduced by the single car garage oriented toward Menalto Avenue with the main entry being placed on O'Keefe Street. The proposed building height would be below the maximum allowed height, and the proposed setbacks, specifically for the second level, would be greater than the required setbacks. Tree protection measures would minimize impacts on heritage and non-heritage trees. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table

- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

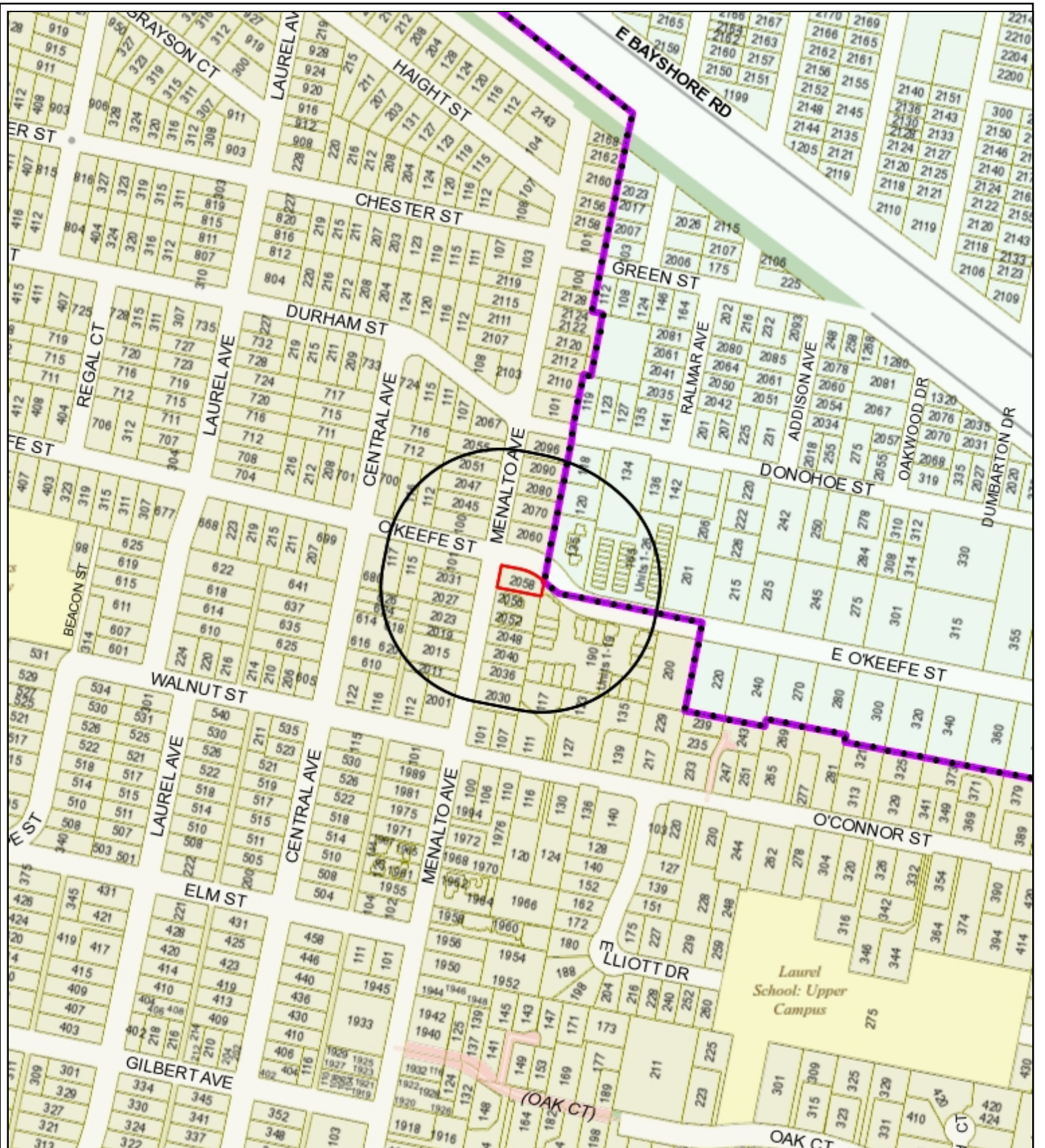
Exhibits to Be Provided at Meeting

None

Report prepared by:
Kyle Perata, Senior Planner

Report reviewed by:
Thomas Rogers, Principal Planner

LOCATION: 2058 Menalto Avenue	PROJECT NUMBER: PLN2017-00074	APPLICANT: HongJie Ho	OWNER: HongJie Ho
PROPOSAL: Request for a use permit to demolish an existing single-story single-family residence and construct a new two-story single-family residence on a substandard lot with respect to lot area and width in the R-1-U (Urban Residential) zoning district. The proposal includes a request to remove one heritage size multi-trunk plum tree.			
DECISION ENTITY: Planning Commission	DATE: May 7, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kennedy, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Chris Spalding Architect consisting of eight plan sheets, dated received April 26, 2018, and approved by the Planning Commission on May 7, 2018, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Arborlogic Consulting Arborists, dated April 18, 2018. 			



City of Menlo Park
 Location Map
 2058 Menalto Avenue



	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	6,315 sf	6,315 sf	7,000 sf min.
Lot width	49.0 ft.	49.0 ft.	65 ft. min.
Lot depth	115.9 ft.	115.9 ft.	100 ft. min.
Setbacks			
Front	20.5 ft.	11.8 ft.	20 ft. min.
Rear	22.0 ft.	60.6 ft.	20 ft. min.
Side (left)	12.0 ft.	25.9 ft.	12 ft. min.
Side (right)	5.7 ft.	12.1 ft.	5 ft. min.
Building coverage	2,200.3 sf 24 %	1,058 sf 16.8 %	2,210.3 sf max. 35 % max.
FAL (Floor Area Limit)	2,732 sf	1,022 sf	2,800 sf max.
Square footage by floor	1,415.3 sf/1st 1,085.7 sf/2nd 231.0 sf/garage 297.3 sf/porches 13.6 sf/fireplace	730 sf/1st 292 sf/garage 36 sf/porch	
Square footage of buildings	3,108.3 sf	1,058 sf	
Building height	25.5 ft.	14 ft.	28 ft. max.
Parking	1 covered/1 uncovered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees	2	Non-Heritage trees	5*	New trees	1
	Heritage trees proposed for removal	1	Non-Heritage trees proposed for removal	0	Total Number of trees*	7

*Includes street trees.

NOTES:

1. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
2. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
3. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
4. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
5. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).

SITE BENCHMARK:

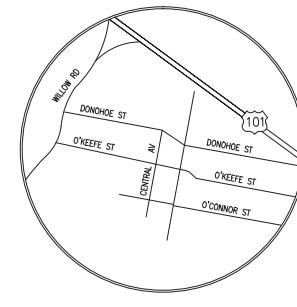
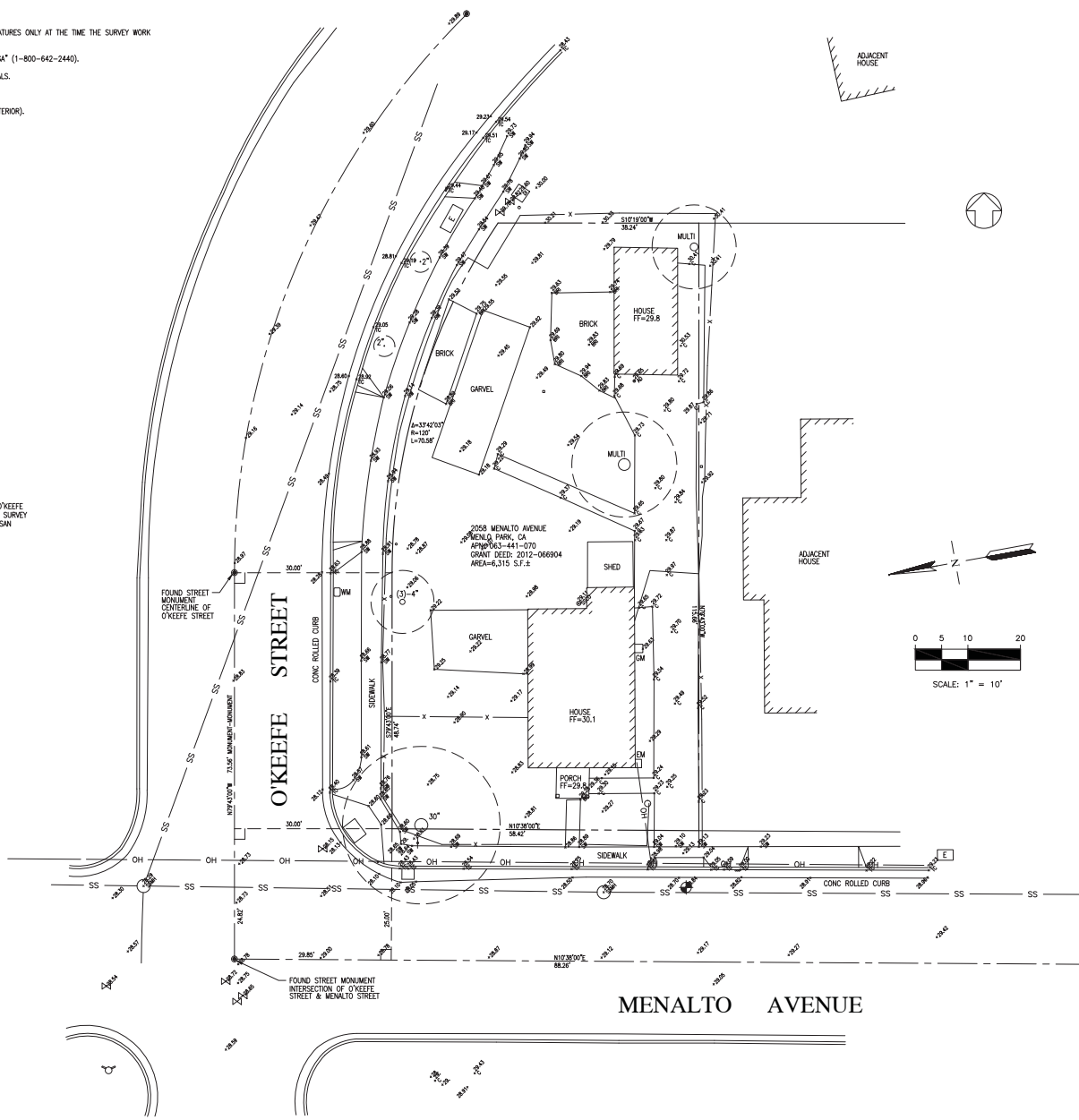
SET NAIL
ELEVATION=28.84' (NAVD 88)

BASIS OF BEARINGS:

THE BEARING N79°43'00"W OF CENTERLINE OF O'KEEFE DRIVE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN BOOK 16 OF L15 MAPS AT PAGE 20, SAN MATEO COUNTY RECORDS.

REFERENCES:

R1 ROS (16 MAPS 20)



VICINITY MAP
N.T.S.

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RE-TRACED.

Robert Y. Wang
ROBERT Y. WANG, LS 8931



ABBREVIATION

- AD AREA DRAIN
- A.E. ANCHOR EASEMENT
- AC ASPHALT CONCRETE
- BRICK BRICK
- C/C CURB & CUTTER
- C CONCRETE
- DI DRAIN INLET
- FF FINISH FLOOR GRADE
- FL FLOWLINE
- GM GAS METER
- GM LIP OF CUTTER
- MB MAIL BOX
- P.U.E. PUBLIC UTILITY EASEMENT
- P.S.E. PUBLIC SERVICE EASEMENT
- SDMH STORM DRAIN MANHOLE
- SSCO SANITARY SEWER CLEANOUT
- SMH SANITARY SEWER MANHOLE
- S/W SIDEWALK
- TC TOP OF CURB
- TRC TOP OF ROLLED CURB
- W.C.E. WIRE CLEARANCE EASEMENT
- WM WATER METER

LEGEND

- PROPERTY LINE
- CENTERLINE
- SS UTILITY LINE-TYPE AS NOTED
- STREET LIGHT
- PG&E UTILITY BOX-TYPE AS NOTED
- WM/GM WATER/GAS METER
- WV WATER VALVE
- CCB CURB CATCH BASIN
- FD FIRE HYDRANT
- MH MANHOLE-TYPE AS NOTED
- CO SANITARY SEWER CLEANOUT
- PP OH POWER POLE W/ OVERHEAD WIRE
- ◆ BENCHMARK
- 200 CONTOUR LINE
- MCN MONUMENT
- 12" TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN
- WIRE GUY WIRE

NO.	REVISION	DATE	BY

RW ENGINEERING, INC.
CIVIL ENGINEERS AND SURVEYORS
555 ALAMOND DRIVE
MILPITAS, CA 95035
(408) 947-8588
rweee@earthlink.net

2058 MENALTO AVENUE
MENLO PARK, CA
SAN MATEO COUNTY
APN: 063-441-070

TOPOGRAPHIC &
BOUNDARY SURVEY

DATE: 9/17/17
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW
SHEET NO.

SU-1

FLOOD ZONE AE
 BASE FLOOD ELEVATION 30.0'
 ALL CONSTRUCTION BELOW THE
 BFE IS FLOOD PROOF PER FEMA
 REQUIREMENTS

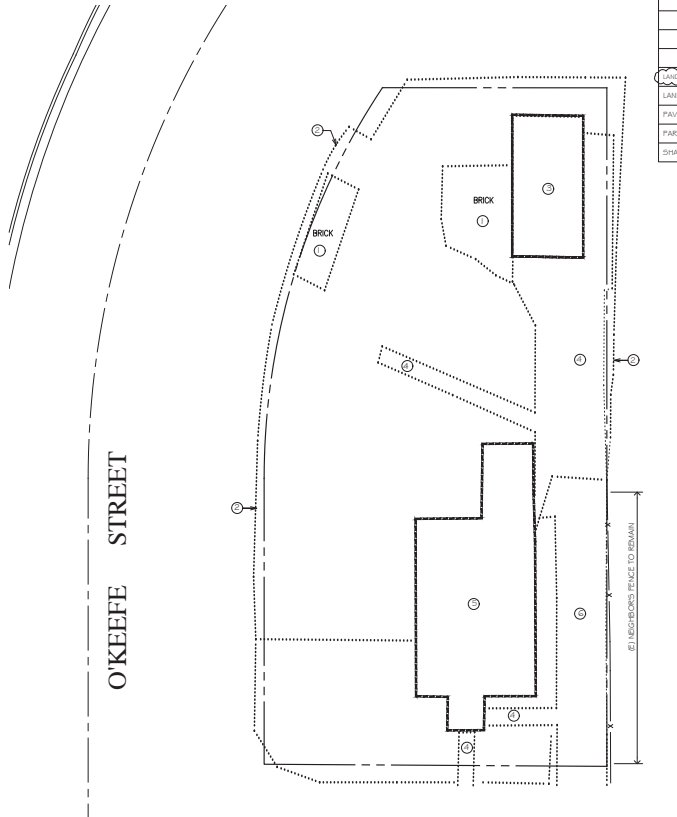
SITE ANALYSIS - ZONING R-1-U

LOT AREA	6,315.5F
ALLOWABLE FLOOR AREA (NO ATIC SPACE OVER 5'-0")	2,800.5F
FLOOR AREA OF EXISTING 1-STORY HOUSE GARAGE TO BE REMOVED	± 1,022.5F
PROPOSED FLOOR AREA	
1ST FLOOR	1,646.3 F
2ND FLOOR	1,085.7 F
TOTAL PROPOSED FLOOR AREA	2,732.0 F
BASEMENT	117.4 F
LANDSCAPING	53.8 %
PAVED SURFACES = 975	15.5 %
PARKING SPACES	2 (1 COVERED 1 UNCOVERED)
SHAPE FINAL GRADES FOR PROPER DRAINAGE	

TREE PROTECTION FENCING NOTES

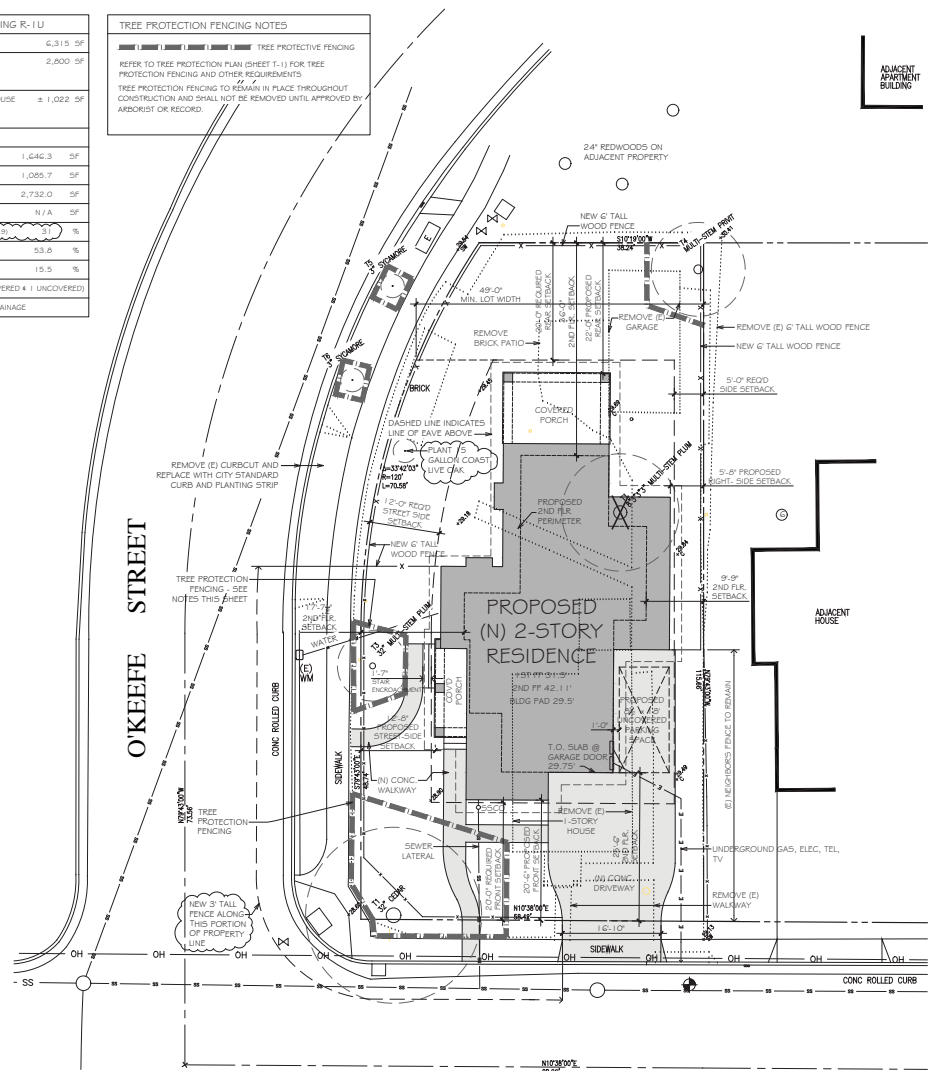
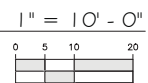
REFER TO TREE PROTECTION PLAN (SHEET T-1) FOR TREE PROTECTION FENCING AND OTHER REQUIREMENTS

TREE PROTECTION FENCING TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL APPROVED BY ARBORIST OR RECORD.



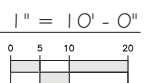
- (1) (D) BRICK PATIO TO BE REMOVED
- (2) (D) FENCE TO BE REMOVED
- (3) (D) GARAGE TO BE REMOVED
- (4) (D) PATIO 4 CONC. WALKWAY TO BE REMOVED
- (5) (D) MAIN RESIDENCE TO BE REMOVED
- (6) (D) DRIVEWAY TO BE REMOVED

DEMO PLAN



SITE PLAN

DRAWN ON SURVEY BY RW ENGINEERING DATED MARCH, 2017.
 RW PHONE# 408.262.1899



DRAWINGS PREPARED BY
CHRIS SPAULDING
 ARCHITECT

801 CAMELIA STREET SUITE E
 BERKELEY CALIFORNIA 94710
 (510) 527-5997 FAX (510) 527-5999

REVISIONS	BY
11-30-17	
2-15-18	
4-16-18	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

PROPOSED NEW 2-STORY HOME AT
2058 MENALTO AVE
 MENLO PARK CALIFORNIA

DATE: 6-15-17
SCALE: AS NOTED
DRAWN: CS/CR/KD
JOB: HE - MENALTO
SHEET

A1
 OF 6 SHEETS

DRAWINGS PREPARED BY

CHRIS SPAULDING
ARCHITECT

801 CAMELIA STREET SUITE E
BERKELEY CALIFORNIA 94710
(510) 527-5997 FAX (510) 527-5999

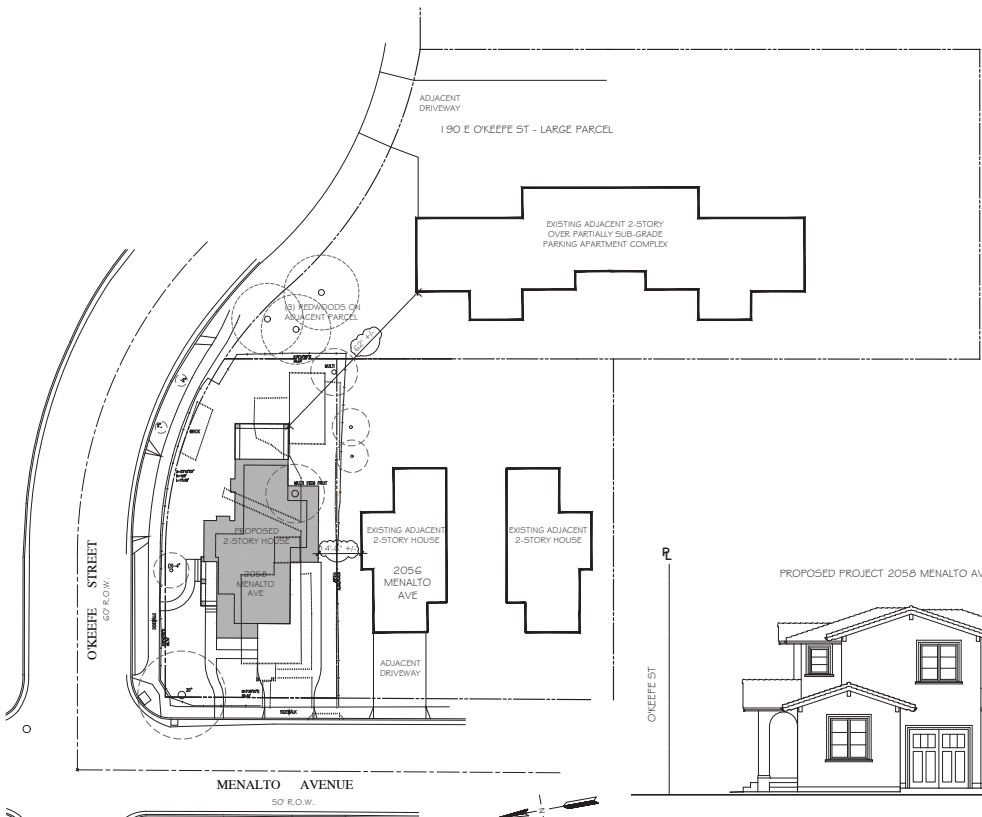
REVISIONS	BY
11-30-17	
2-15-18	
4-16-18	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

PROPOSED NEW 2-STORY HOME AT
2058 MENALTO AVE
 MENLO PARK CA CALIFORNIA

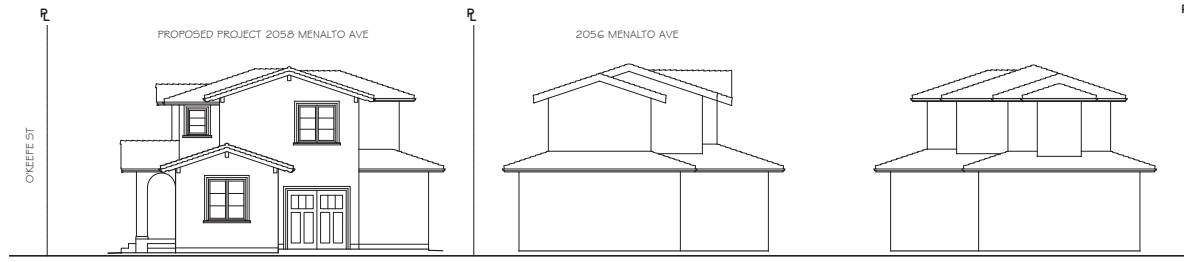
DATE: 6-15-17
SCALE: AS NOTED
DRAWN: CS/ORB
JOB: HE - MENALTO
SHEET

A1.1
OF C SHEETS



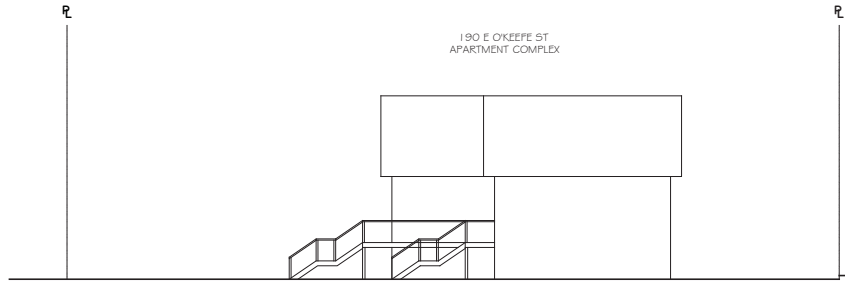
AREA PLAN

1" = 16'-0"
 0 5 10 20



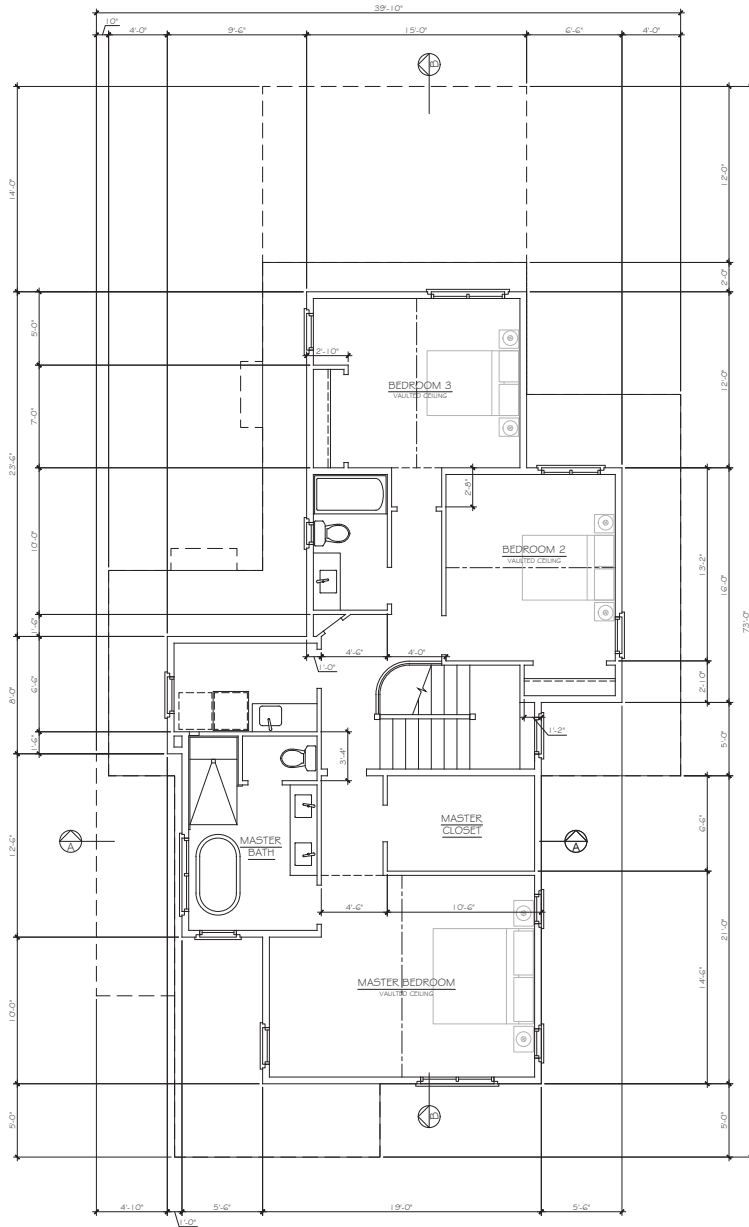
MENALTO AVE STREETSCAPE

1/8" = 1'-0"
 0 5 10 20



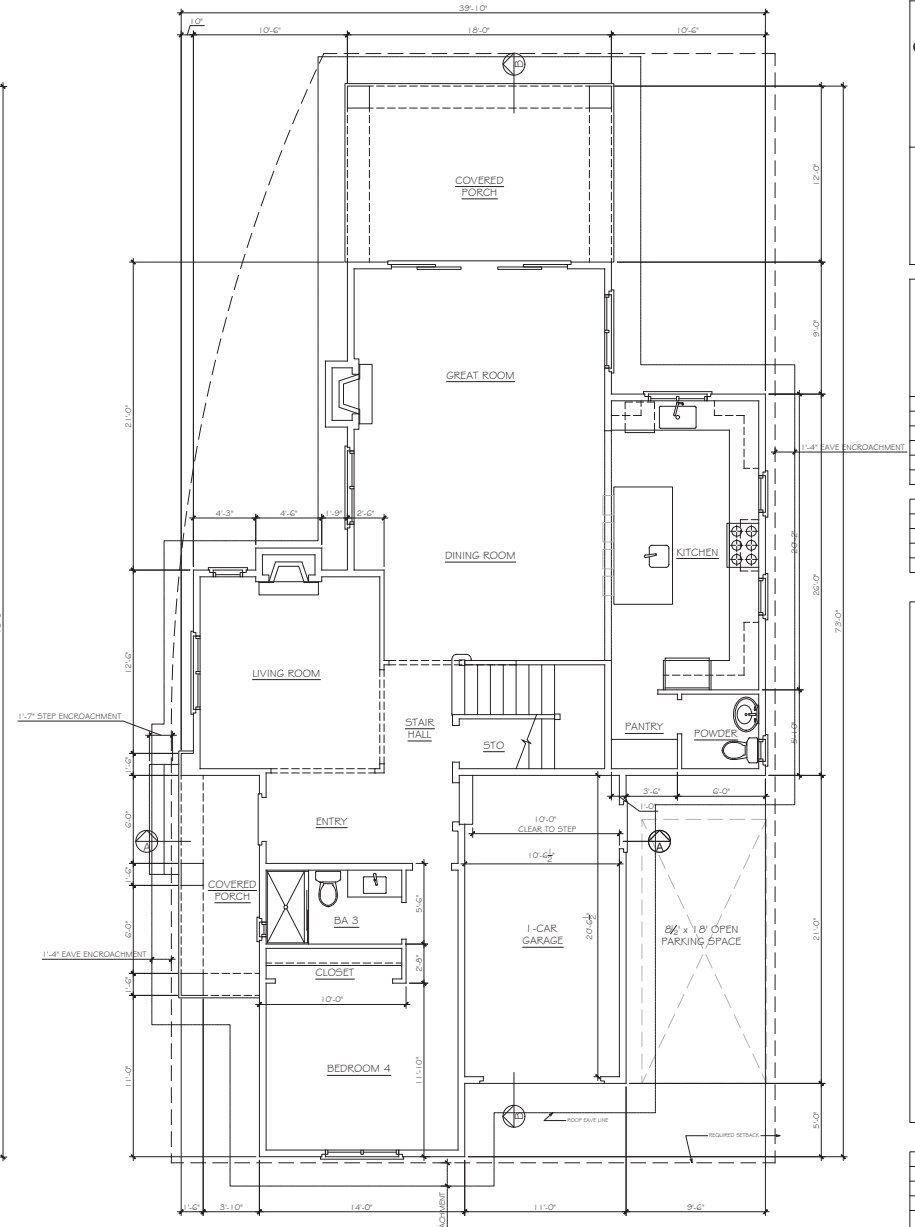
O'KEEFE ST STREETSCAPE

1/8" = 1'-0"
 0 5 10 20



SECOND FLOOR PLAN

1/4" = 1'-0"



FIRST FLOOR PLAN

1/4" = 1'-0"



DRAWINGS PREPARED BY
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ARCHITECT

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BERKELEY CALIFORNIA 94710
(510) 527-5997 FAX (510) 527-5999

REVISIONS	BY
11-30-17	
2-15-18	
4-16-18	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

PROPOSED NEW 2-STORY HOME AT
2058 MENALTO AVE
MENLO PARK CALIFORNIA

DATE	6-15-17
SCALE	AS NOTED
DRAWN	CS/DB/KD
JOB	HE - MENALTO
SHEET	

A2
OF 6 SHEETS

REVISIONS	BY
11.30.17	
2.15.18	
4.16.18	

PRELIMINARY SET
DESIGN REVIEW SET
PLAN CHECK SET
PERMIT SET
CONSTRUCTION SET

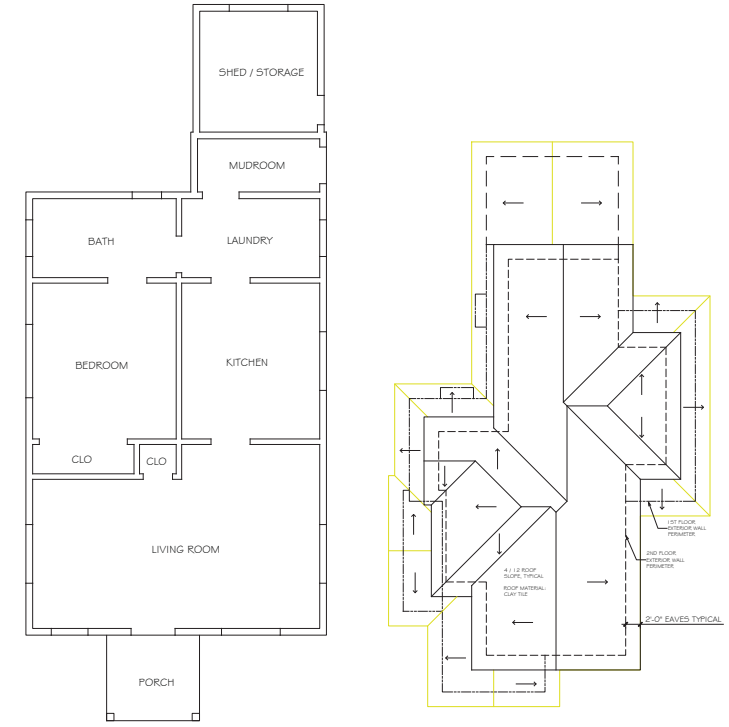
PROPOSED NEW 2-STORY HOME AT
2058 MENALTO AVE
 MENLO PARK CALIFORNIA

DATE	6-15-17
SCALE	AS NOTED
DRAWN	CS/OBK/D
JOB	HE - MENALTO
SHEET	

A3
 SHEETS

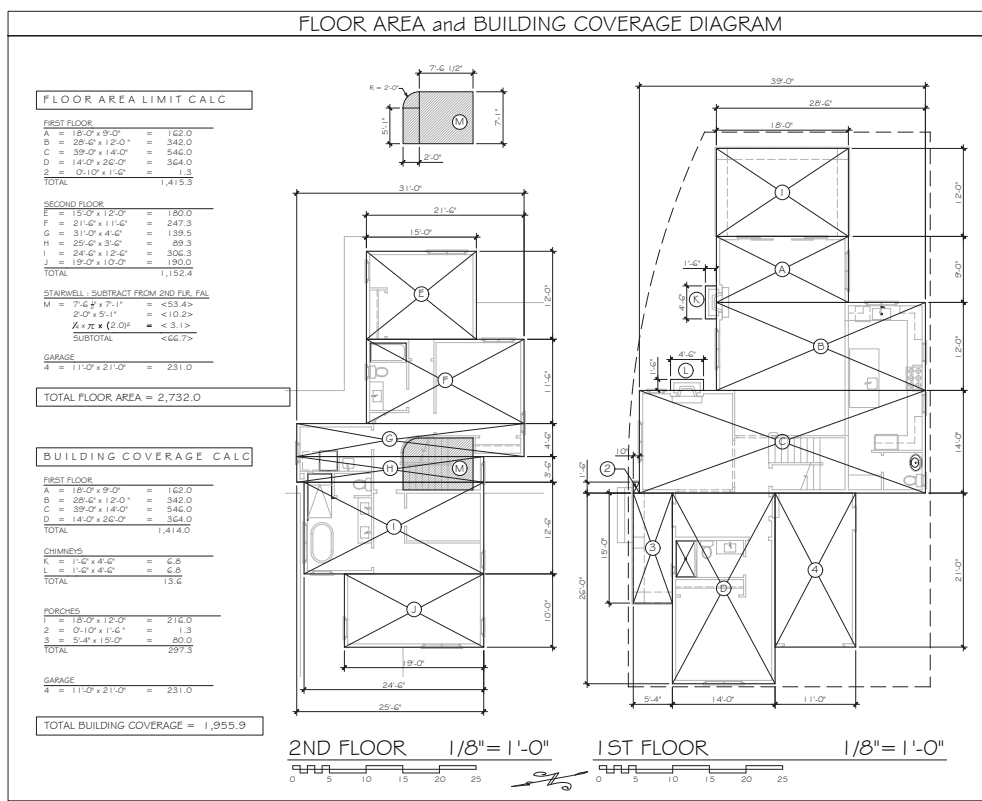


EXISTING HOUSE



EXISTING FLOOR PLAN 1/4" = 1'-0"
 TO BE DEMOLISHED

ROOF PLAN 1/8" = 1'-0"



2ND FLOOR 1/8" = 1'-0"

1ST FLOOR 1/8" = 1'-0"

REVISIONS	BY
1.1.30-17	
2.1.5-18	
4.1.6-18	

PRELIMINARY SET
DESIGN REVIEW SET
PLAN CHECK SET
PERMIT SET
CONSTRUCTION SET

PROPOSED NEW 2-STORY HOME AT
2058 MENALTO AVE
 MENLO PARK CALIFORNIA

DATE	6-15-17
SCALE	AS NOTED
DRAWN	CS/BJ/KD
JOB	HE - MENALTO
SHEET	

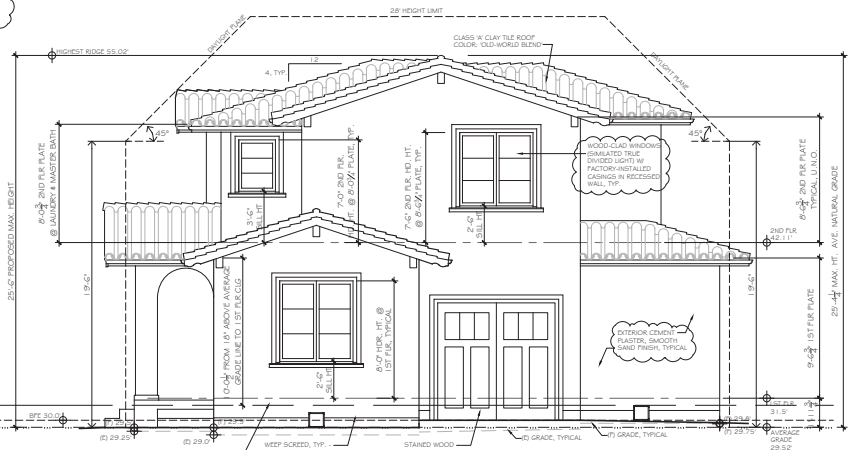
A4
 SHEETS

NOTE:
 ALL PROPOSED WINDOWS SHALL HAVE
 INSIDE, OUTSIDE, AND SPACER BAR
 BETWEEN THE GLASS PANES



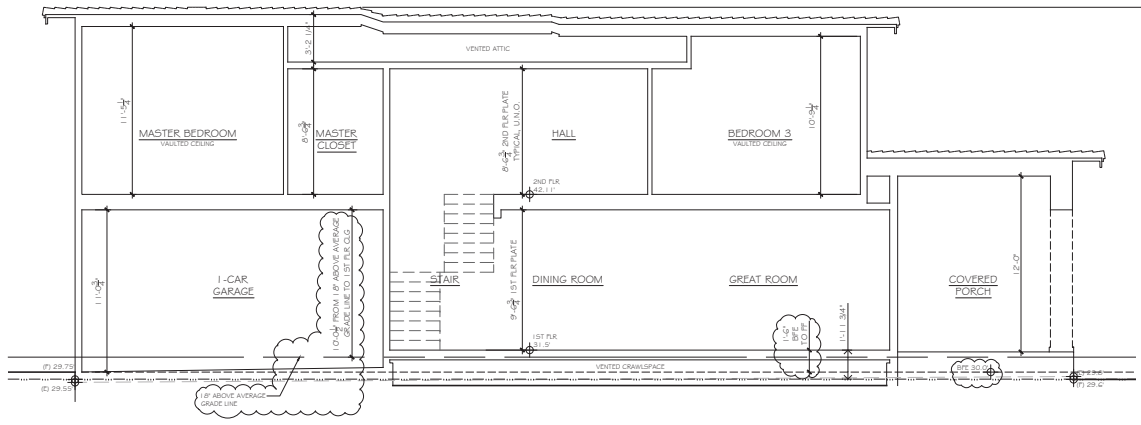
REAR (EAST) ELEVATION

1/4" = 1'-0"



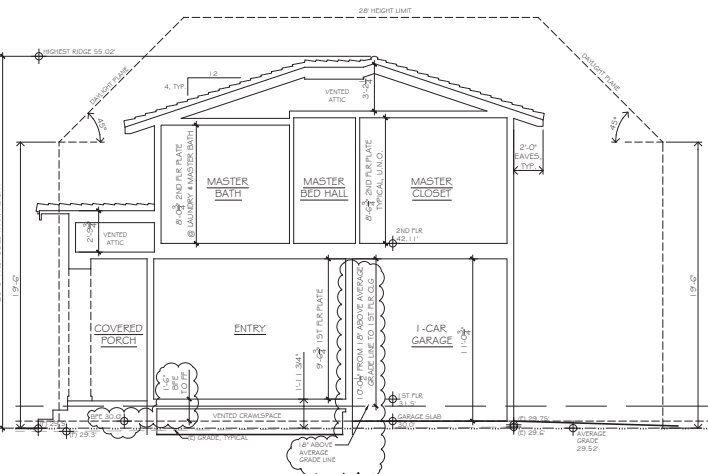
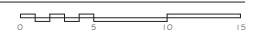
FRONT (WEST - MENALTO AVE) ELEVATION

1/4" = 1'-0"



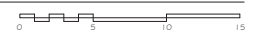
SECTION B-B

1/4" = 1'-0"



SECTION A-A

1/4" = 1'-0"



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 ARCHITECT

801 CAMELIA STREET SUITE E
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PROPOSED NEW 2-STORY HOME AT
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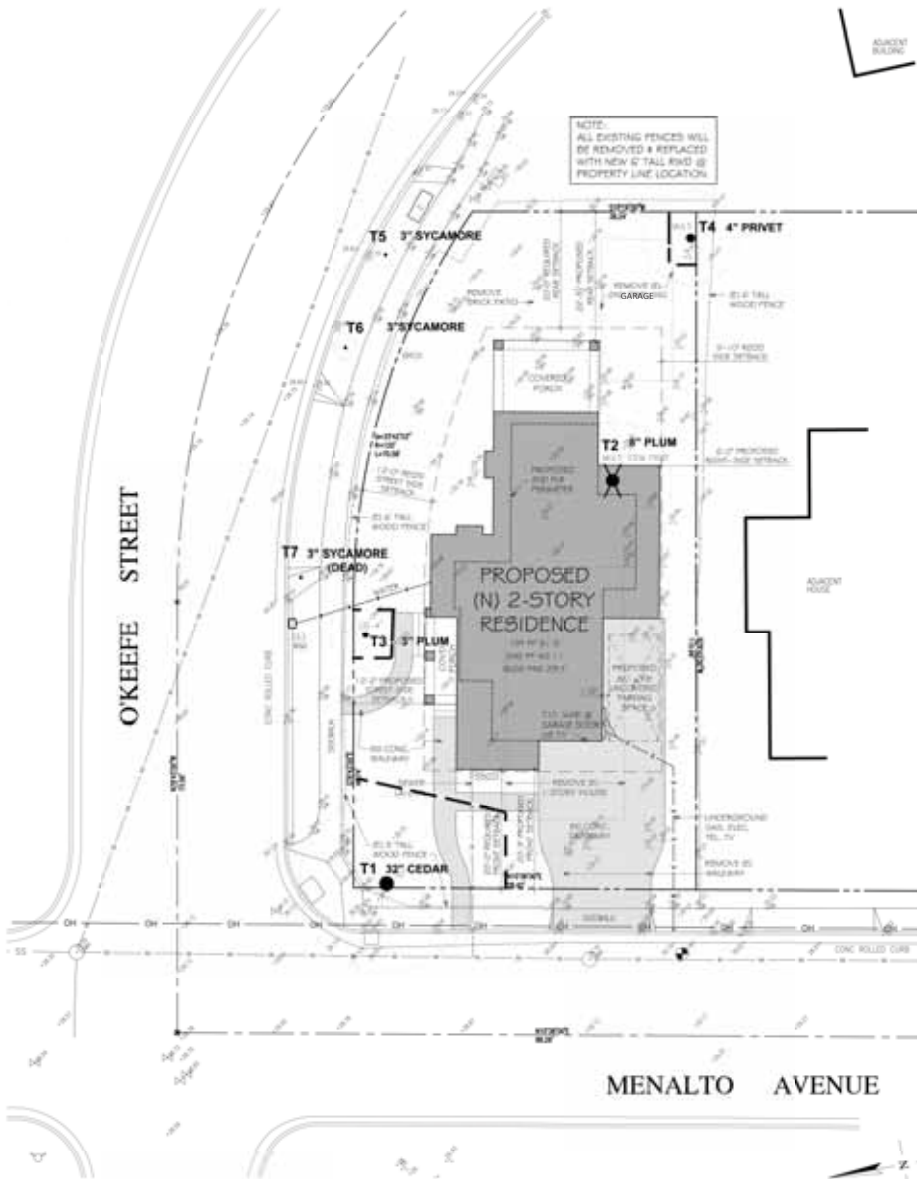
DATE	6-15-17
SCALE	AS NOTED
DRAWN	CS/OBK/D
JOB	HE - MENALTO
SHEET	

A5
 OF 6 SHEETS



1 RECESSED WINDOW DETAIL
 No Scale

2 PORCH COLUMN BASE
 No Scale



TREE PROTECTION MEASURES:

1. The Project Arborist shall meet with the General Contractor prior to any Tree Removal, Demolition or Construction activities and discuss a construction management plan that includes the Tree Protection Requirements within this plan and designate the location of any material storage, wash-ups, office trailers, portable sanitation, and areas of vehicle or heavy equipment access and agree and shall be clearly posted on site throughout the duration of the development project. The Contractor agrees to immediately notify the Project Arborist if roots are damaged or exposed or if trunk or branches are wounded.

2. The Project Arborist shall designate Tree Removals and locations of Tree Protection Area (TPA) fencing prior to any tree removal, demolition or construction.

3. All tree removals shall be performed by hand using light equipment without any damage to retained trees. All stumps shall be removed by hand or using hand operated stump grinding machinery when within the Root Intrusion Zones (RIZ) of retained trees and to a depth of no less than twelve (12) inches.

4. Following TPA fence installation, The Project Arborist shall inspect and confirm that Tree Protection Fencing has been installed adequately and provide a written report, with photographs, that shall be submitted to the City of Menlo Park.

5. Tree Protection Area fencing shall be constructed of no less than 4-foot tall metal fencing and supported by no less than 8-foot metal posts on no less than 8-foot centers unless otherwise designated by the Project Arborist.

6. Retained Trees near equipment access areas shall have their trunks wrapped with 2" x 4" wooden slats and bound vertically edge to edge, without nails, as padding from grade to 8 feet above grade. A layer of orange plastic construction fencing is to be wrapped and secured around the outside of the wooden slats. Major scaffold limbs may require additional protection as determined by the Project Arborist.

7. All retained trees may be maintenance pruned to include shading, thinning of branches using International Society of Arboriculture (ISA) Industry Standards. This can be performed before, during, or after construction.

8. The Project Arborist shall inspect or supervise all construction activities within the Tree Protection Zones and will receive no less than 72 hour notice of any proposed activities within the Tree Protection Zones of retained trees and the Project Arborist shall document and provide any necessary recommendations to the City of Menlo Park.

9. Excavation shall only occur within the Root Intrusion Zones of retained trees, such as utility trenches, when designated by the Project Arborist. These will be excavated by hand, using high-pressure air spalls, or other method preserving roots near two inches in diameter, or as designated by the Project Arborist. Any roots over two (2") inches in diameter shall only be removed under the direct supervision of the Project Arborist or as otherwise designated by the Project Arborist. All root cutting shall be performed under industry standard methods, documented, and a written report with photographs provided by the Project Arborist to the City of Menlo Park.

10. The Project Arborist shall inspect the site following completion of construction, assess tree condition, and make any necessary recommendations within the final Arborist Report that shall be submitted to the City of Menlo Park.

11. The Project Arborist shall provide any further recommendations to mitigate impacts to include, but not limited to, hand excavation, hand root re-pruning, and fertilization.

SPECIFIC TREE PROTECTION

14. Remove Tree T2 as per items 2 and 5.

- 11. Install tree protection fencing no less than:
 - Tree T1 - 36 ft. radius from trunk
 - Tree T2 - 4 ft. radius from trunk
 - Tree T4 - 3 ft. radius from trunk
 - Tree T5 - 2 ft. radius from trunk
 - Tree T6 - 2 ft. radius from trunk
 - Tree T7 - 2 ft. radius from trunk
 unless otherwise designated by the Project Arborist.

12. The proposed driveway near protected cedar T3 shall be designed using permeable materials and reduce solutions to minimize root compaction, allow the transfer of water and nutrients to root zones and mitigate root losses. Any changes to this design should include consultation with the Project Arborist.

13. The Project Arborist shall directly supervise any excavation within the Root Intrusion Zones of preserved trees T1 and provide documentation of impacts to these trees as per items 10 and 11.

LEGEND

- T1-T7 = TREE NUMBERS
- = TREE LOCATIONS
- X = TREE REMOVALS
- = TREE PROTECTION FENCING

TREE PROTECTION ZONES:
NO EQUIPMENT, STORAGE, DUMPING, POOLS, GRADING, OR EXCAVATION SHALL BE PERMITTED WITHIN THE DESIGNATED TREE PROTECTION ZONES WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ARBORIST.

TREE NO.	SPECIES	TRUNK DBH @ 4.5 FT.	STATUS	RECOMMENDATION	DBT	CANOPY	ROOT INTRUSION ZONE	CRITICAL ROOT ZONE	LOCATION
T1	CEDRAR	36"	RENTAL	PRESERVE (PROTECT)	1	100'	36' FEET	11' FEET	APPLICABLE
T2	PLUM	12"	RENTAL	REMOVE (ZONED)	1	100'	4' FEET	2' FEET	APPLICABLE
T3	PLUM	8"	RENTAL	PRESERVE (PROTECT)	1	100'	8' FEET	2' FEET	APPLICABLE
T4	PRIVET	8"	RENTAL	PRESERVE (PROTECT)	1	100'	3' FEET	1' FEET	APPLICABLE
T5	SYCAMORE	3"	RENTAL	PRESERVE (PROTECT)	1	100'	2' FEET	1' FEET	APPLICABLE
T6	SYCAMORE	3"	RENTAL	PRESERVE (PROTECT)	1	100'	2' FEET	1' FEET	CITY RIGHT OF WAY
T7	SYCAMORE	3"	RENTAL	REMOVE (ZONED)	1	100'	2' FEET	1' FEET	CITY RIGHT OF WAY

DBH = Trunk Diameter at Breast Height (4.5 feet / 14 inches) above soil grade in inches.
 STATUS = Tree Designation as defined within City of Menlo Park Municipal Code Section 12.24
 SUSTAINABILITY = Suitability for preservation or the condition and contribution of a tree without regard to proposed development (1 = Excellent, 2 = Good, 3 = Fair, 4 = poor, 5 = very poor)
 RIZ = individual tree Root Intrusion Zone represented as a radius in feet from trunk location (stemtop) / (cm)
 CRZ = Critical Root Zone is the critical area where structural roots are likely to be located (4 x trunk diameter)
 CANOPY = Total tree canopy diameter in feet and aspect (N=North, S=South, E=East, W=West and Cr=Cir Center)

SITE PLAN Provided by Chris Spaulding Architect, Berkeley, California dated June 15, 2017.

TREE DATA: Provided by ArborLogic Consulting Arborists, San Francisco, California. See Arborist Report dated April 18, 2018.

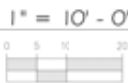
James Isaac - Principal Consulting Arborist

James Reed - Associate Consulting Arborist ISA WS 52217A

Don Cox - Associate Consulting Arborist

SITE PLAN

DRAWN ON SURVEY BY RAY ENGINEERING DATED MARCH, 2017. RW PACHEP ROB.242.1.009



ARBORLOGIC
CONSULTING ARBORISTS
238 West Portal Ave., San Francisco, CA 94127
415.753.5022 fax www.arborlogic.com

PROPOSED NEW TWO-STORY HOME AT
2058 Menalto Avenue
Menlo Park, California
A.P.N. 063-441-070

ALL DRAWINGS AND WRITTEN MATERIALS ARE HEREBY MADE AVAILABLE TO THE PUBLIC AND SHALL NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

ARBORLOGIC CONSULTING ARBORISTS
DATE: 11/07/2017
DRAWN: JCL
SCALE: AS SHOWN
REVISED: 4/18/2018
REVISED:

TREE PROTECTION PLAN

SHEET

T-1

Chris Spaulding, Architect

801 Camelia Street, Suite E
Berkeley, CA 94710
510-527-5997
chris@csarchitect.net

7-31-17
Revised 2-15-18

PROJECT DESCRIPTION FOR 2058 MENALTO AVENUE

Purpose: To bring the property up to current codes and style by demolishing the existing substandard buildings and to construct a new single family residence with garage.

A Use Permit is required due to a 2-story house being proposed for a substandard size parcel.

Scope of Work: Demolish existing 730 sq.ft. house and 292 sq.ft. garage. Remove one multi-stem fruit tree. Construct new 2-story 2501 sq.ft. residence with attached 231 sq.ft. garage.

Architecture: The proposed home is in the Mediterranean style. It will be a conventionally constructed (wood-frame) house with stucco siding and a Mission tile roof. The roof will be an “Old World blend”, the stucco beige and the trim light brown. The windows will be dual-pane wood-frame recessed in the wall with decorative sills. There will be decorative features such as ironwork and exposed beams at the eaves.

Neighborhood Compatibility: The neighborhood has a variety of house styles, sizes and type. The two immediately adjacent homes are similar in massing and materials – 2 story, stucco, and tile roofing. Behind the site is a large 2 ½ story apartment building in a Mansard style. Across Menalto are 2 one-story ranch homes and 2 two-story homes, one a stucco English style and the other a shingle style. Across O’keefe is a new one-story contemporary home and 2 one-story ranch homes.

Basis for site layout: The site is a corner, small urban lot. The house fills the allowed building envelope with the driveway entering off Menalto (where the existing driveway is located) and the entry porch on the corner, so it is approachable from both Menalto Avenue and Okeefe Street. The rear porch and outside living areas are located at the rear (east) of the lot. The second floor is set back further from the lot lines than the first floor in order to reduce the perception of mass and bulk, and to increase the light and air for the adjacent property. Only small, secondary windows are on the south 2nd floor to protect the adjacent property’s privacy.

Existing and proposed use: The existing and proposed use is the same – a single family residence with garage.

Outreach to neighboring properties: The owner has attempted to contact the immediate neighbors. She had discussed the proposed homes with the neighbor she was able to contact at 2027 Menalto – he indicated that a new 2-story home would fit into the neighborhood.



ARBORIST REPORT

April 18, 2018 Revision of November 7, 2017 Report

***Tree Resource Evaluation
and Construction Impact Assessment***

***2058 Menalto, Menlo Park, California
A.P.N. 063-441-070***

***Prepared for:
City of Menlo Park
Community Development: Planning Department***

***Prepared by:
ArborLogic Consulting Arborists
James Lascot, Principal Consulting Arborist
James Reed Consulting Arborist
236 West Portal Ave. #311,
San Francisco, CA 94127
415.753.5022
jlascot@arborlogic.com***

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ARBORIST ASSIGNMENT

Generally, a 'Tree Resource Evaluation and Construction Impact Assessment' is used to aid in planning and plan review, for the identification/location of trees on the site during the design of the project, placement of structures, driveways, utilities, and construction activities.

It also is used to identify trees of designated size and species that are protected under the municipal or county code that is applicable for the site location. Also, if required by the governing agency, can be used to establish monetary values and responsibility for potential loss of tree resources for the property owner and the community. Bonding for a percentage of the appraised tree value is sometimes required.

The report shall inventory all trees that are on site to include trees to be removed, relocated and retained on the property. This may include trees on neighboring properties that overhang the project site and/or have root zones extending into the property of the project site, and all street or park trees in the public right-of-way adjacent to the project site.

ArborLogic Consulting Arborists have been contracted to inspect existing trees on this property, to provide an inventory with condition assessment, to determine potential negative impact from proposed construction activity, and to recommend impact mitigation measures to be considered on 'Heritage' and 'Protected' trees as defined by the City of Menlo Park tree preservation ordinance.

Consulting arborists, James Lascot, Don Cox, and James Reed, performed an initial site visit, visual tree inspections, or have been consulted regarding tree condition and recommendations.

SUMMARY

- This site is a developed residential property.
- The subject trees consist of existing trees within the vicinity of the proposed development and are included within the Site Plan.
- The subject trees total seven (7) individuals consisting of four species.
- One (1) subject tree is considered a Heritage size tree (Cedar T1) within the City of Menlo Park Municipal Code and will be preserved within the proposed development. This tree should not suffer significant negative impacts if the recommendations within this report and Tree Protection Plan (Sheet T-1) are implemented.
- There is one (1) subject tree considered of heritage tree size and considered a protected tree (Plum T2) that requires removal due to its location within the proposed house footprint.
- There are three (3) street trees (Sycamores T5, T6, and T7) that will be preserved and will be relatively unaffected by the proposed development.
- One (1) street tree (Sycamore T7) is dead and requires removal regardless of the proposed development.

SUBJECT TREE REMOVAL

TOTAL SUBJECT TREES: 1 Tree**TREE REMOVAL FOR PROPOSED DEVELOPMENT:**

'HERITAGE' size trees: Total = 1

1 Fruiting plum (*Prunus americana*) T2

'UNPROTECTED' size trees: Total = 0

TREE REMOVAL (DEAD, DISEASED, HAZARDOUS, FALLEN, AND FLAMMABLE):

'HERITAGE' size trees: Total = 0

'UNPROTECTED' size trees: Total = 0

General and specific recommendation are provided within this report and Tree Protection Plan Sheet T-1 within the plan set submittal.

RESOURCES

All information within this report is based on currently submitted plans and revisions as of the date of this report.

Resources are as follows:

- Proposed Two-Story Home at 2058 Menalto Avenue Sheet A1 (6/15/17) - Provided by Chris Spaulding Architects, Berkeley, California.
- City of Menlo Park Municipal Code (current):
Chapter 13.24 – Heritage Trees

SPECIES LIST

TOTAL SUBJECT TREES: 7 Trees (All Subject trees are Heritage size trees)2 Plum (*Prunus americana*) – T2 and T33 London Plane 'Sycamore' (*Platanus acerifolia*) T5, T6 and T71 Incense cedar (*Calocedrus decurrens*) – T11 Glossy privet (*Ligustrum lucidum*) – T4

INDIVIDUAL TREE ASSESSMENT

TREE T1: Incense cedar (*Calocedrus decurrens*)

Trunk Diameter at 54 inches above grade: 32-inches

Status: Heritage Tree **Age:** Mature **Canopy spread:** 42-feet on center

Suitability for Preservation Rating: 3-Fair

Health: Good

Condition: Fair. This tree has been cleared from high-voltage lines that have permanently changed its structure and growth pattern.

Root Intrusion Zone: Radius of 24-feet from trunk location.

Critical Root Zone: Radius of 11-feet from trunk location.

Recommendation: Preserve.

Preservation specifications: Tree Preservation Fencing shall be installed to designate the Tree Protection Zone of this tree and shall consist of no less than 4-foot tall metal fencing on no less than 5-foot posts that shall be maintained throughout construction unless otherwise recommended by the Project Arborist. Due to development and building area constraints the house footprint will encroach into the root intrusion zone of this tree. A root loss of approximately 15% is expected. This tree should survive this root loss if the recommendations within this report and tree protection plan are implemented.

TREE T2: Fruiting plum (*Prunus carica*)

Trunk Diameter at 54 inches above grade: Multi-trunk 8, 3, 3, 3-inche

Status: Heritage Tree **Age:** Young **Canopy spread:** 15-feet on center

Suitability for Preservation Rating: 3-Fair

Health: Good.

Condition: Fair. This tree has a co-dominant leader from the center with imbedded bark.

Root Intrusion Zone: Radius of 6-feet from trunk location.

Critical Root Zone: Radius of 4-feet from trunk location.

Recommendation: Removal for proposed development.

TREE T3: Fruiting plum (*Prunus carica*)

Trunk Diameter at 54 inches above grade: Multi-trunk 4-inches or less

Status: Unprotected Tree **Age:** Young **Canopy spread:** 15-feet on center

Suitability for Preservation Rating: 4-Poor

Health: Poor; declining.

Condition: Poor. This tree has a severe lack of healthy foliage, branch dieback and co-dominant leaders from the center with imbedded bark.

Root Intrusion Zone: Radius of 4-feet from trunk location

Critical Root Zone: Radius of 3-feet from trunk location

Recommendation: Preserve.

Preservation specifications: Tree Preservation Fencing shall be installed to designate the Tree Protection Zone of this tree and shall consist of no less than 4-foot tall metal fencing on no less than 5-foot posts that shall be maintained throughout construction unless otherwise recommended by the Project Arborist. Create vertical pedestrian clearance over

pathway to 8-feet by removal of lower canopy branches no larger than four inches in diameter.

TREE T4: Glossy privet (*Ligustrum lucidum*)

Trunk Diameter at 54 inches above grade: Multi-trunk 4-inches or less

Status: Unprotected Tree **Age:** Young **Canopy spread:** 20-feet on center

Suitability for Preservation Rating: 3-Fair

Health: Good.

Condition: Fair. This tree has a co-dominant leader from the center with imbedded bark.

Root Intrusion Zone: Radius of 5-feet from trunk location

Critical Root Zone: Radius of 3-feet from trunk location

Recommendation: Preserve.

Preservation specifications: Tree Preservation Fencing shall be installed to designate the Tree Protection Zone of this tree and shall consist of no less than 4-foot tall metal fencing on no less than 5-foot posts that shall be maintained throughout construction unless otherwise recommended by the Project Arborist.

TREE T5: London Plane tree 'sycamore' (*Platanus acerifolia*)

Trunk Diameter at 54 inches above grade: 3-inches*

Status: Street Tree **Age:** Young **Canopy spread:** 6-feet on center

Suitability for Preservation Rating: 2-Good

Health: Good.

Condition: Good; no apparent problems with pests or disease.

Root Intrusion Zone: Radius of 2-feet from trunk location

Critical Root Zone: Radius of 1-feet from trunk location

Recommendation: Preserve.

Preservation specifications: No preservation measures are recommended although the Project Arborist may require preservation measures during construction.

TREE T6: London Plane tree 'sycamore' (*Platanus acerifolia*)

Trunk Diameter at 54 inches above grade: 3-inches*

Status: Street Tree **Age:** Young **Canopy spread:** 10-feet on center

Suitability for Preservation Rating: 2-Good

Health: Good.

Condition: Good; no apparent problems with pests or disease.

Root Intrusion Zone: Radius of 2-feet from trunk location

Critical Root Zone: Radius of 1-feet from trunk location

Recommendation: Preserve.

Preservation specifications: No preservation measures are recommended although the Project Arborist may require preservation measures during construction.

TREE T7: London Plane tree 'sycamore' (*Platanus acerifolia*)

Trunk Diameter at 54 inches above grade: 3-inches*

Status: Street Tree **Age:** Young **Canopy spread:** Not applicable

Suitability for Preservation Rating: 5-Dead

Health: Poor.

Condition: Poor. This tree is dead. It has no foliage or live tissue beneath bark.

Root Intrusion Zone: Not applicable

Critical Root Zone: Not applicable

Recommendation: Notify the City of Menlo Park of it's death and removal requirements.

ROOT INTRUSION ZONES (RIZ)

The above ground portions of trees can easily be seen and protected but what is often overlooked, within the construction setting, is the importance of protecting the root crown and underground roots of the tree to preserve structural integrity and physiological health. Most roots are located within the topsoil that may only be 6"-18" in depth. Cutting of roots, grade changes, soil compaction and chemical spills or dumping can negatively affect tree health, stability, and survival, and should be avoided.

A "Root Intrusion Zone", abbreviated as RIZ, is an industry standard based on the Matheny / Clark tree protection zone designation of an area surrounding an individual tree that is provided as protection for the tree trunk, structural roots and root zone. A Root Intrusion Zone is a radius, in feet, from a tree trunk location formulated from tree trunk diameter, age, and species tolerance to construction impacts. An individual or group of Root Intrusion Zones are designated by a fenced protection area that we call a "Tree Protection Area" (TPA).

Tree protection shall include the location of fencing of tree protection area (TPA) to protect tree roots, foliar canopy, limbs, and may include the armoring of the tree trunk and/or scaffold limbs with barriers to prevent mechanical damage.

Once the TPA is delineated and fenced (prior to any site work, equipment and materials move in), construction activities are only to be permitted within the TPA if allowed for and specified by the project arborist. Restrictions and guidelines apply to the tree protection zones delineated within this report and trees protections plan (See the Tree Protection Plan Sheet T1 for Tree Protection recommendations).

CRITICAL ROOT ZONES (CRZ)

Critical Root Zone (CRZ) is the area of soil around the trunk of a tree where roots are located that provide critical stability, uptake of water and nutrients required for a tree's survival. The CRZ is the minimum distance from the trunk that trenching that requires root cutting should occur and can be calculated as three to the five times the trunk Diameter at Breast Height (DBH). For example, if a tree is one foot in trunk diameter than the CRZ is three to five feet from the trunk location. We will often average this as four times the trunk diameter or 1ft. DBH = 4ft. CRZ (Smiley, E.T., Fraedrich, B. and Hendrickson, N. 2007).

TREE PROTECTION GUIDELINES AND RESTRICTIONS

- (1) Before the start of any clearing, excavation, construction, or other work on the site, or the issuance of a building or demolition permit, every significant and/or protected tree shall be securely fenced-off at the tree root zone, or other limit as may be delineated in approved plans. Such fences shall remain continuously in place for the duration of the work undertaken within the development.
- (2) If the proposed development, including any site work, will encroach upon the tree root zone of a significant and/or protected tree, special measures shall be utilized, as approved by the project arborist, to allow the roots to obtain necessary oxygen, water, and nutrients.
- (3) Underground trenching shall avoid the major support and absorbing tree roots of significant and/or protected trees. If avoidance is impractical, hand excavation undertaken under the supervision of the project arborist may be required. Trenches shall be consolidated to service as many units as possible.
- (4) Concrete or asphalt paving shall not be placed over the root zones of significant and/or protected trees, unless otherwise permitted by the project arborist.
- (5) Artificial irrigation shall not occur within the root zone of indigenous oaks, unless deemed appropriate on a temporary basis by the project arborist to improve tree vigor or mitigate root loss.
- (6) Compaction of the soil within the tree root zone of significant and/or protected trees shall be avoided.
- (7) Any excavation, cutting, or filling of the existing ground surface within the tree root zone shall be minimized and subject to such conditions as the project arborist may impose. Retaining walls shall likewise be designed, sited, and constructed to minimize their impact on significant and/or protected trees.
- (8) Burning or use of equipment with an open flame near or within the tree root zone shall be avoided. All brush, earth, and other debris shall be removed in a manner that prevents injury to the significant tree.
- (9) Oil, gas, chemicals, or other substances that may be harmful to trees shall not be stored or dumped within the non-intrusion zone of any significant and/or protected tree, or at any other location on the site from which such substances might enter the tree root zone of a significant and/or protected tree.
- (10) Construction materials shall not be stored within the tree root zone of a significant and/or protected tree.

Additional general requirements for tree protection zones are described as follows:

1. Any new plantings within the root intrusion zone should be designed to be compatible with the cultural requirements of the retained tree(s), to include irrigation, plantings and fertilizer application. In root intrusion zones where native drought tolerant trees are located, no summer irrigation should be installed, and no vegetation installed requiring excessive irrigation, such as turf and flowerbeds.
2. Surface drainage should not be altered to direct water into or out of the tree root intrusion zone unless specified by the consulting arborist as necessary to improve conditions for the tree.

3. Site drainage improvements should be designed to maintain the natural water flow and levels within tree retention areas. If water must be diverted, permanent irrigation systems should be provided to replace natural water sources for the trees.

PROJECT ARBORIST DUTIES

The project arborist is the person(s) responsible for carrying out technical tree inspections, assessment, arborist report preparation, consultation with designers and municipal planners, specifying tree protection measures, monitoring, progress reports and final inspection.

A qualified project arborist (or firm) should be designated, retained, and assigned to facilitate and insure tree preservation practices. He/she/they should perform the following inspections:

PROJECT ARBORIST INSPECTION SCHEDULE

- **Inspection of Site:** Prior to equipment and materials moved on site, site work, demolition and tree removal: The Project Arborist will meet with the General Contractor, Architect / Engineer, and Owner or their representative to review tree preservation measures, designate tree removals, delineate the location of tree protection area fencing, specify equipment access routes and materials storage areas, review the existing condition of trees and provide any necessary recommendations.
- **Inspection of Site:** After installation of Tree Protection Area (TPA) fencing: Inspect site for the adequate installation of tree preservation measures. Review any requests by contractor for access, soil disturbance or excavation areas within root zones of protected trees. Assess any changes in the health of trees since last inspection.
- **Inspection of Site:** During excavation or any activities that could affect trees: Inspect site during any activity within the Tree Protection Area of protected trees and any recommendations implemented. Assess any changes in the health of trees since last inspection.
- **Regular Inspections of Site:** Regularly scheduled inspections of the site throughout the development. Assess any changes in the health of trees since last inspection, monitor the integrity of tree protection, and any activity within the Tree Protection Area of Protected trees. Provide any necessary recommendations, documentation, and reports as necessary.
- **Final Inspection of Site:** Inspection of site following completion of construction. Inspect for tree health and make any necessary recommendations.

REMOVED TREES REPLACEMENT PROGRAM

One Heritage size tree Plum T2 is designated as a tree removal and its replacement with a 24" box size coast live oak (*Quercus agrifolia*) is recommended to accommodate the property improvements. Replacement tree or trees may be included within the scope of site development landscape plan, or in- lieu payment to Los Altos, are to be determined by project landscape architect and the planning department.

TREE WORK STANDARDS AND QUALIFICATIONS

All tree work, removal, pruning, planting, shall be performed using industry standards as established by the International Society of Arboriculture. Contractor must have a State of California Contractors License for Tree Service (C61-D49) or Landscaping (C-27) with general liability, worker's compensation, and commercial auto/equipment insurance.

Contractor standards of workmanship shall adhere to current Best Management Practices of the International Society of Arboriculture (ISA) and the American National Standards Institute (ANSI) for tree pruning, fertilization and safety (ANSI A300 and Z133.1).

HERITAGE AND PROTECTED TREES

As defined in the City of Menlo Park Municipal Code

Chapter 13.24 HERITAGE TREES

Sections:

- 13.24.010 Intent and purpose.
- 13.24.020 Heritage tree defined.
- 13.24.025 Maintenance and preservation of heritage trees.
- 13.24.030 Removal and major pruning of heritage trees prohibited.
- 13.24.040 Permits.
- 13.24.060 Appeals.
- 13.24.070 Enforcement—Remedies for violation.
- 13.24.010 Intent and purpose.

This chapter is adopted because the city has been forested by stands of oak, bay and other trees, the preservation of which is necessary for the health and welfare of the citizens of this city in order to preserve the scenic beauty and historical value of trees, prevent erosion of topsoil and sedimentation in waterways, protect against flood hazards and landslides, counteract the pollutants in the air, maintain the climatic balance and decrease wind velocities. It is the intent of this chapter to establish regulations for the removal of heritage trees within the city in order to retain as many trees as possible consistent with the purpose of this chapter and the reasonable economic enjoyment of private property. (Ord. 928 § 1 (part), 2004).

13.24.020 Heritage tree defined.

As used in this chapter "heritage tree" means:

- (1) A tree or group of trees of historical significance, special character or community benefit, specifically designated by resolution of the city council;

(2) An oak tree (*Quercus*) which is native to California and has a trunk with a circumference of 31.4 inches (diameter of ten (10) inches) or more, measured at fifty-four (54) inches above natural grade. Trees with more than one trunk shall be measured at the point where the trunks divide, with the exception of trees that are under twelve (12) feet in height, which will be exempt from this section.

(3) All trees other than oaks which have a trunk with a circumference of 47.1 inches (diameter of fifteen (15) inches) or more, measured fifty-four (54) inches above natural grade. Trees with more than one trunk shall be measured at the point where the trunks divide, with the exception of trees that are under twelve (12) feet in height, which will be exempt from this section. (Ord. 928 § 1 (part), 2004).

13.24.025 Maintenance and preservation of heritage trees.

Any person who owns, controls, has custody or possession of any real property within the city shall use reasonable efforts to maintain and preserve all heritage trees located thereon in a state of good health pursuant to the provisions of this chapter. Failure to do so shall constitute a violation of this chapter. Any person who conducts any grading, excavation, demolition or construction activity on property shall do so in such a manner as to not threaten the health or viability or cause the removal of any heritage tree. Any work performed within an area ten (10) times the diameter of the tree (i.e., the tree protection zone) shall require submittal of a tree protection plan for review and approval by the director of community development or his or her designee prior to issuance of any permit for grading or construction. The tree protection plan shall be prepared by a certified arborist and shall address issues related to protective fencing and protective techniques to minimize impacts associated with grading, excavation, demolition and construction. The director of community development or his or her designee may impose conditions on any city permit to assure compliance with this section. (Ord. 928 § 1 (part), 2004).

13.24.030 Removal and major pruning of heritage trees prohibited.

It is unlawful for any person to remove, or cause to be removed any heritage tree from any parcel of property in the city, or prune more than one-fourth of the branches or roots within a twelve (12) month period, without obtaining a permit; provided, that in case of emergency, when a tree is imminently hazardous or dangerous to life or property, it may be removed by order of the police chief, fire chief, the director of public works or their respective designees. Any person who vandalizes, grievously mutilates, destroys or unbalances a heritage tree without a permit or beyond the scope of an approved permit shall be in violation of this chapter. (Ord. 928 § 1 (part), 2004).

13.24.040 Permits.

Any person desiring to remove one or more heritage trees or perform major pruning as described in Section 13.24.030 shall apply for a permit pursuant to procedures established by the director of public works and shall pay a fee established by the city council. It is the joint responsibility of the property owner and party removing the heritage tree or trees, or portions thereof to obtain the permit. The director of public works or his or her designee may only issue a permit for the removal or major pruning of a heritage tree if he or she determines there is good cause for such action. In

determining whether there is good cause, the director of public works or his or her designee shall give consideration to the following:

- (1) The condition of the tree or trees with respect to disease, danger of falling, proximity to existing or proposed structures and interference with utility services;
- (2) The necessity to remove the tree or trees in order to construct proposed improvements to the property;
- (3) The topography of the land and the effect of the removal of the tree on erosion, soil retention and diversion or increased flow of surface waters;
- (4) The long-term value of the species under consideration, particularly lifespan and growth rate;
- (5) The ecological value of the tree or group of trees, such as food, nesting, habitat, protection and shade for wildlife or other plant species;
- (6) The number, size, species, age distribution and location of existing trees in the area and the effect the removal would have upon shade, privacy impact and scenic beauty;
- (7) The number of trees the particular parcel can adequately support according to good arboricultural practices;
- (8) The availability of reasonable and feasible alternatives that would allow for the preservation of the tree(s). (Ord. 928 § 1 (part), 2004).

13.24.060 Appeals.

Any Menlo Park resident or property owner may appeal the decision of the director of public works or his or her designee to the environmental quality commission in writing within fifteen (15) days after his or her decision. Such a request shall be submitted to the city clerk and it shall state the reasons for the appeal. The matter will be reviewed by the commission at its earliest opportunity. Any Menlo Park resident or property owner may appeal the decision of the environmental quality commission to the city council in writing within fifteen (15) days after the decision of the commission. Such a request shall be submitted to the city clerk and it shall state the reasons for the appeal. The matter will be reviewed by the city council at its earliest opportunity. A permit shall not be issued until all appeals are completed and/or the time for filing an appeal has expired. (Ord. 928 § 1 (part), 2004).

13.24.070 Enforcement—Remedies for violation.

In addition to all other remedies set forth in this code or otherwise provided by law, the following remedies shall be available to the city for violation of this chapter:

- (1) If a violation occurs during development, the city may issue a stop work order suspending and prohibiting further activity on the property pursuant to the grading, demolition, and/or

building permit(s) (including construction, inspection and issuance of certificates of occupancy) until a mitigation plan has been filed with and approved by the director of community development or his or her designee, agreed to in writing by the property owner(s), and either implemented or guaranteed by the posting of adequate security. The mitigation plan shall include measures for protection of any remaining trees on the property, and shall provide for replacement of each tree removed or heavily damaged on the property or at locations approved by the director of community development or his or her designee and by the director of public works, if replacement is to occur on public property. The replacement ratio shall be determined by the director of community development or his or her designee and shall be at a greater ratio than that required where tree removal is permitted pursuant to the provisions of this chapter.

(2) If a violation occurs in the absence of development, or while an application for a building permit or discretionary development approval for the lot upon which the tree is located is pending, the director of community development or his or her designee may issue a temporary moratorium on development of the subject property, not to exceed eighteen (18) months from the date the violation occurred. The purpose of the moratorium is to provide the city an opportunity to study and determine appropriate mitigation measures for the tree removal, and to ensure measures are incorporated into any future development approvals for the property. Mitigation measures as determined by the director of community development or his or her designee shall be imposed as a condition of any subsequent permits for development on the subject property.

(3) As part of a civil action brought by the city, a court may assess against any person who commits, allows, or maintains a violation of any provision of this chapter a civil penalty in an amount not to exceed five thousand dollars (\$5,000.00) per violation. Where the violation has resulted in removal of a tree, the civil penalty shall be in an amount not to exceed five thousand dollars (\$5,000.00) per tree unlawfully removed, or the replacement value of each such tree, whichever amount is higher. Such amount shall be payable to the city. Replacement value for the purposes of this section shall be determined utilizing the most recent edition of the Guide for Plant Appraisal, published by the Council of Tree and Landscape Appraisers. Regarding injunctive relief, a civil action may be commenced to abate, enjoin, or otherwise compel the cessation of such violation. In any civil action brought pursuant to this chapter in which the city prevails, the court shall award to the city all costs of investigation and preparation for trial, the costs of trial, reasonable expenses including overhead and administrative costs incurred in prosecuting the action, and reasonable attorney fees. (Ord. 928 § 1 (part), 2004).

ASSUMPTIONS AND LIMITING CONDITIONS

ArborLogic, James Lascot / James Reed / Don Cox

1. Any legal description provided to the consultant / appraiser is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, or other government regulations.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant / appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.
4. The consultant / appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.
5. Unless required by law otherwise, possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant / appraiser.
6. Unless required by law otherwise, neither all nor any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media, without the prior expressed written or verbal consent of the consultant / appraiser -- particularly as to value conclusions, identity of the consultant / appraiser, or any reference to any professional society or institute or to any initialed designation conferred upon the consultant / appraiser as stated in his qualifications.
7. This report and any values expressed herein represent the opinion of the consultant / appraiser, and the consultant's / appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
8. Sketches, drawings, and photographs in this report, being intended for visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys unless expressed otherwise. The reproduction of any information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is for the express purpose of coordination and ease of reference only. Inclusion of said information on any drawings or other documents does not constitute a representation by ArborLogic and James Lascot as to the sufficiency or accuracy of said information.
9. Unless expressed otherwise: a) information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.
10. Loss or alteration of any part of this report invalidates the entire report.



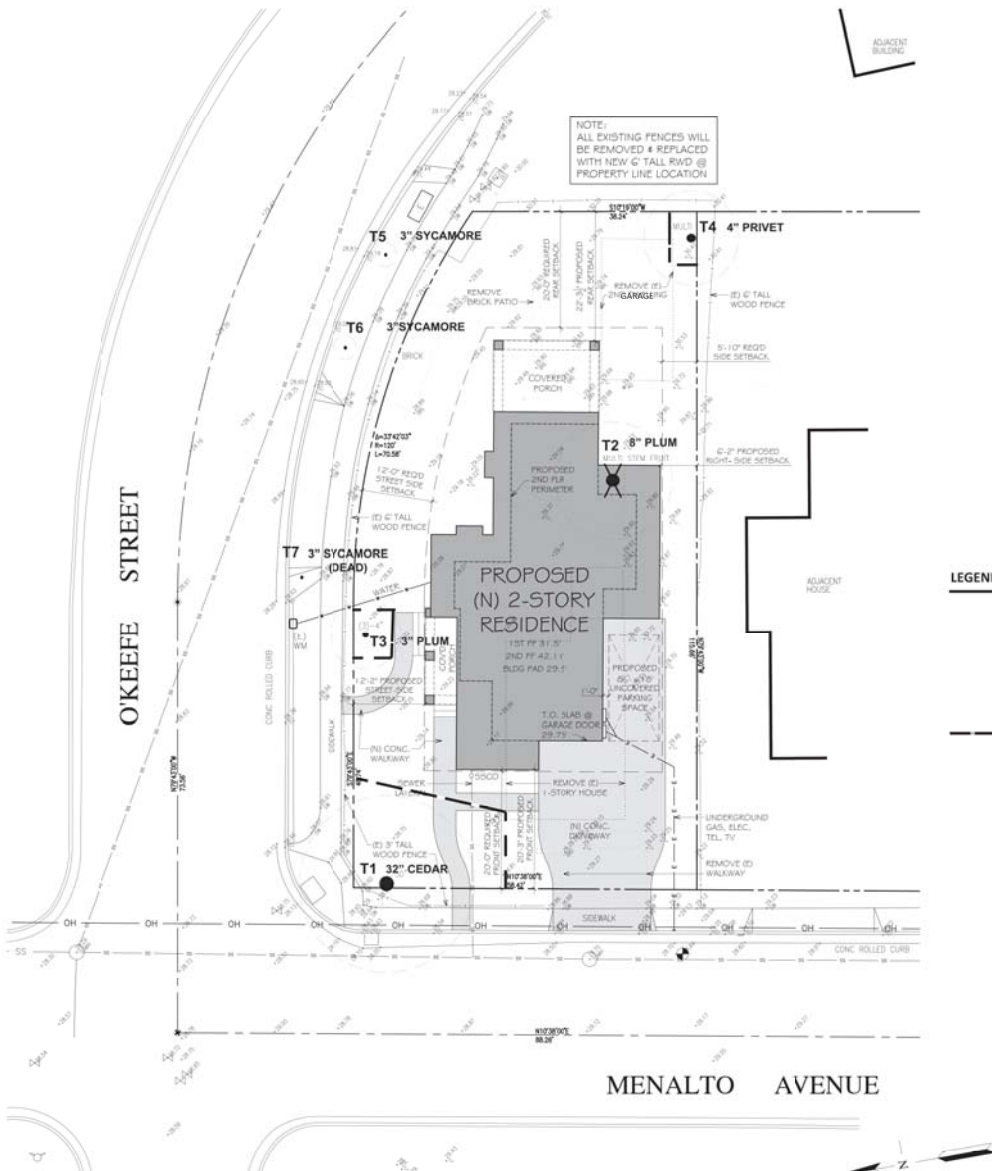
James Lascot (Principal / Consulting Arborists)
ArborLogic Principal / Consulting Arborists



James Reed
ArborLogic Associate Consulting Arborist
ISA certified arborist WE-10237A

Don Cox

ArborLogic Associate Consulting Arborist



TREE PROTECTION MEASURES:

- The Project Arborist shall meet with the General Contractor prior to any Tree Removal, Demolition or Construction activities and discuss a construction management plan that includes the Tree Protection Requirements within this plan and designate the location of any material storage, wash out, office trailers, portable sanitation, and areas of vehicle or heavy equipment access and egress and shall be clearly posted on site throughout the duration of the development project. The Contractor agrees to immediately notify the Project Arborist if roots are damaged or exposed or if trunk or branches are wounded.
- The Project Arborist shall designate Tree Removals and locations of Tree Protection Area (TPA) Fencing prior to any tree removal, demolition or construction.
- All tree removal shall be performed by hand using light equipment without any damage to retained trees. All stumps shall be removed by hand or using hand operated stump grinding machinery when within the Root Intrusion Zones (RIZ) of retained trees and to a depth of no less than twelve (12) inches.
- Following TPA fence installation, The Project Arborist shall inspect and confirm that Tree Protection Fencing has been installed adequately and provide a written report, with photographs, that shall be submitted to the City of Menlo Park.
- Tree Protection Area Fencing shall be constructed of no less than 4-foot tall metal fencing and supported by no less than 6-foot metal posts on no less than 8-foot centers unless otherwise designated by the Project Arborist.
- Retained Trees near equipment access areas shall have their trunks wrapped with 2" x 4" wooden slats and bound securely edge to edge, without nails, as padding from grade to 8 feet above grade. A layer of orange plastic construction fencing is to be wrapped and secured around the outside of the wooden slats. Major scaffold limbs may require additional protection as determined by the Project Arborist.

- Retained trees may be maintenance pruned to include cleaning, thinning of branches using International Society of Arboriculture (ISA) Industry Standards. This can be performed before, during, or after construction.
- The Project Arborist shall inspect or supervise all construction activities within the Tree Protection Zones and will receive no less than 72 hour notice of any proposed activities within the Tree Protection Zones of retained trees and the Project Arborist shall document and provide any necessary recommendations to the City of Menlo Park.
- Excavation shall only occur within the Root Intrusion Zones of retained trees, such as utility trenches, when designated by the Project Arborist. These will be excavated by hand, using high-pressure air spade, or other method preserving roots over two inches in diameter, or as designated by the Project Arborist. Any roots over two (2") inches in diameter shall only be removed under the direct supervision of the Project Arborist or as otherwise designated by the Project Arborist. All root cutting shall be performed under industry standard methods, documented, and a written report with photographs provided by the Project Arborist to the City of Menlo Park.
- The Project Arborist shall inspect the site following completion of construction, assess tree condition, and make any necessary recommendations within the Final Arborist Report that shall be submitted to the City of Menlo Park.
- The Project Arborist shall provide any further recommendations to mitigate impacts to include, but not limited to, hand excavation, hand root pruning, and fertilization.

LEGEND

- T1-T7 = TREE NUMBERS
- = TREE LOCATIONS
- X = TREE REMOVALS
- = TREE PROTECTION FENCING

TREE PROTECTION ZONES:
NO EQUIPMENT, STORAGE, DUMPING, SPILLS, GRADING, OR EXCAVATION SHALL BE PERMITTED WITHIN THE DESIGNATED TREE PROTECTION ZONES WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ARBORIST.

SPECIFIC TREE PROTECTION:

- Remove Tree T2 as per Items 2 and 3.
- Install tree protection fencing no less than:
 - Tree T1 - 16 ft. radius from trunk
 - Tree T3 - 4 ft. radius from trunk
 - Tree T4 - 5 ft. radius from trunk
 - Tree T5 - 2 ft. radius from trunk
 - Tree T6 - 2 ft. radius from trunk
 - unless otherwise designated by the Project Arborist.
- The proposed driveway near protected cedar T1 shall be designed using pervious materials and reduce soils to minimize root compaction, allow the transfer of water and nutrients to root zones and mitigate root losses. Any changes to this design should include consultation with the Project Arborist.
- The Project Arborist shall directly supervise any excavation within the Root Intrusion Zones of preserved trees T1 and provide documentation of impacts to these trees as per Items 10 and 11.

TREE NO.	SPECIES	TRUNK DBH	STATUS	RECOMMENDATION	SUIT.	CANOPY	ROOT INTRUSION ZONE	CRITICAL ROOT ZONE	LOCATION
T1	INCENSE CEDAR	32	106	HERITAGE	PRESERVE (MITIGATION)	3	42C	34' FEET	11' FEET APPLICANTS
T2	PLUM	17	83	HERITAGE	REMOVE (DEVELOPMENT)	3	15C	6 FEET	4 FEET APPLICANTS
T3	PLUM	3	38	UNPROTECTED	PRESERVE	4	15C	4 FEET	3 FEET APPLICANTS
T4	PRIVET	4	30	UNPROTECTED	PRESERVE	4	30C	5 FEET	3 FEET APPLICANTS
T5	SYCAMORE	3	9	STREET TREE	PRESERVE	2	6C	2 FEET	1 FEET CITY RIGHT-OF-WAY
T6	SYCAMORE	3	9	STREET TREE	PRESERVE	2	15C	2 FEET	1 FEET CITY RIGHT-OF-WAY
T7	SYCAMORE	3	9	STREET TREE	REMOVE (DEAD)	5	N/A	N/A FEET	CITY RIGHT-OF-WAY

DBH = Trunk Diameter at Breast Height (4.5 feet / 14 inches) above soil grade in inches.
 STATUS = Tree Designation as defined within City of Menlo Park Municipal Code Section 13.24
 SUITABILITY = Suitability for Preservation or the condition and contribution of a tree without regard to proposed development (1= Excellent, 2= Good, 3= Fair, 4= Poor, 5=Very poor)
 RIZ = Individual tree Root Intrusion Zone represented as a radius in feet from trunk location (Wachney / (CRZ))
 CRZ = Critical Root Zone is the critical area where structural roots are likely to be located (4 x trunk diameter).
 CANOPY = Total tree canopy diameter in feet and aspect (N= North, S= South, E= East, W= West and C= On Center)

SITE PLAN: Provided by Chris Spaulding Architect, Berkeley, California dated June 15, 2017.

TREE DATA: Provided by ArborLogic Consulting Arborists, San Francisco, California. See Arborist Report dated April 18, 2018.

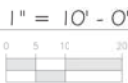
James Lucot - Principal Consulting Arborist

James Reed - Associate Consulting Arborist
ISA WE-10237A

Don Cox - Associate Consulting Arborist

SITE PLAN

DRAWN ON SURVEY BY RIV ENGINEERING DATED MARCH, 2017.
RIV PHONE# 408.262.1899



ARBORLOGIC
CONSULTING ARBORISTS
238 West Portal Ave., San Francisco, CA 94127
415.753.5022 tel | www.arborlogic.com

PROPOSED NEW TWO-STORY HOME AT
2058 Menalto Avenue
Menlo Park, California
A.P.N. 063-441-070

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF ARBORLOGIC AND MAY NOT BE REPRODUCED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF ARBORLOGIC CONSULTING ARBORISTS COPYRIGHT 2018

DATE: 11/07/2017
DRAWN: JDL
SCALE: AS SHOWN
REVISED: 4/18/2018

TREE PROTECTION PLAN

SHEET

T-1



STAFF REPORT

Planning Commission

Meeting Date: 5/7/2018

Staff Report Number: 18-044-PC

Public Hearing: Use Permit/Sepideh Agah/1655 Magnolia Court

Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish a single-story, single family residence and construct a new two-story, single-family residence with a basement on a substandard lot with respect to lot width in the R-1-S (Single-Family Suburban) zoning district, at 1655 Magnolia Court. A heritage mulberry tree on the south side of the rear yard was recently approved for removal as it was deemed dead by the City Arborist, and has been removed. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject property is located on the corner of the cul-de-sac on Magnolia Court fronting both Oakdell Drive and Magnolia Court, between Olive Street and St. Francis Place in the West Menlo neighborhood: the City area between downtown and Sharon Heights. A location map is included as Attachment B. The surrounding area contains a mixture of older and newer single-family residences. The older residences are generally single-story, with detached garages at the rear of the property or carports to the front, while the newer residences are generally two-story in height, with attached front-loading garages or detached garages in the rear. A variety of architectural styles are present in the neighborhood including craftsman, traditional, and contemporary. All parcels in the general vicinity are also zoned R-1-S.

For Zoning Ordinance setback purposes, the front property line for corner lots is the shorter of the two street-facing sides. Front doors and addresses may be located on either street frontage, and off-street parking may take access from either frontage. In this case, the front property line is on Oakdell Drive, and Magnolia Court is designated the corner side lot line. The existing front door and address are on Magnolia Court, and the off-street parking is accessed from Oakdell Drive.

Analysis

Project description

The applicant is proposing to remove the existing single-story, single-family residence and attached one-car garage to construct a new two-story, single-family residence with a basement and attached two-car garage. The lot is substandard with respect to minimum lot width, at approximately 70 feet, 5 inches where 80 feet is required in the R-1-S zoning district. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The proposed residence would be a five-bedroom home, with a typical layout of living/guest spaces on the ground level and bedrooms on the second floor. The basement would have a game room, an exercise room with attached sauna, a bar and wine area, wine cellar, and mechanical room. One submerged patio is proposed, accessed from the game and exercise rooms, with a stair to the backyard. Another lightwell at the front would provide light and emergency access to the basement bedroom. All of the basement elements would adhere to the setback requirements, so separate use permit approval for lightwell/patio excavation would not be required.

The proposed project would adhere to all Zoning Ordinance regulations. In particular, the second floor would be relatively limited in size, at 37 percent of the maximum FAL (Floor Area Limit), where 50 percent may be permitted on this parcel. In addition, the structure would be well within the daylight plane, with multiple measurements shown on the elevations, as a result of to the curving Magnolia Court property line.

Design and materials

The applicant states that the proposed residence would be constructed in a contemporary design, with a gabled roof. The exterior materials would include a whitewashed smooth stucco plaster, a metal standing seam roof, and tempered glass windows with bronze anodized aluminum. The front door is proposed to be custom glass and wood with sidelights. The gutters and downspouts would be metal to match the metal standing seam roofing system.

A cable rail privacy wall would surround the basement patio off the side of the house. A similar wall, with a gate, is proposed at the front of the house, providing light and emergency access to bedroom three located in the basement.

The front door and address would remain on Magnolia Court. A concrete paver driveway would be used to access the attached garage on the front side of the house, on Oakdell Drive. The proposed two-car garage would match the materials of the house, with a smooth stucco finish and a metal standing seam roof. The garage door would be wood horizontal siding.

The second-story windows on the right side and rear elevations, which face single-story residences on each side, would have sill heights of at least two feet, eight inches, with several over three feet. With regard to privacy impacts, the second floor would be well inset from the side property lines, approximately 23 feet on the right and approximately over 40 feet to the rear, where only 10- and 20-foot setbacks are required, respectively.

Staff believes that the architectural style of the proposed residence would be generally attractive and well-proportioned. The second level would be inset from the ground floor, helping minimize the perception of mass and enhance neighbor privacy. The contemporary design would be consistent with the styles in the surrounding neighborhood.

Trees and landscaping

The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of the heritage and non-heritage trees on site. The report discusses the impacts of the proposed improvements and provides recommendations for tree maintenance and the removal of some trees, based on their health. As part of the project review process, the arborist report was reviewed by the City Arborist. All recommendations identified in the arborist report shall be implemented and will be ensured as part of condition 3g.

There are a total of 14 trees located on or near the property. On the subject property specifically, the arborist report lists eight heritage trees and two non-heritage trees. Of the listed heritage trees, a large mulberry tree (#3) has been removed since it was already dead, and the City Arborist had approved a heritage tree removal permit.

The demolition of the existing residence and garage and the construction of the new home may affect trees in the vicinity of construction. However, the arborist report specifies protection measures to limit the impact, including: establishing tree protection zones as shown on page 6 of the arborist report, requiring that the existing driveway be demolished by hand to protect trees #4 and 5, and having an arborist conduct any pre-construction pruning.

As a replacement for the removed mulberry, the property owners have proposed to plant a 24-inch red sunset tree, fronting Oakdell Drive. The proposed landscaping of the property also includes drought-tolerant lawn area in the rear, screening shrubs, and gravel or decomposed granite pathways.

Correspondence

The applicant has stated that they contacted the property owners of all properties who will be directly impacted by the proposed scope of the work, and offering to address any concerns or questions that impacted property owners might have. Staff has not directly received any correspondence on this proposal.

Conclusion

Staff believes that the design, scale and materials of the proposed residence are compatible with the surrounding neighborhood. The contemporary architectural style of the proposed residence would be generally attractive and well-proportioned. The second level would be inset from the ground floor, helping minimize the perception of mass and enhance neighbor privacy. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:

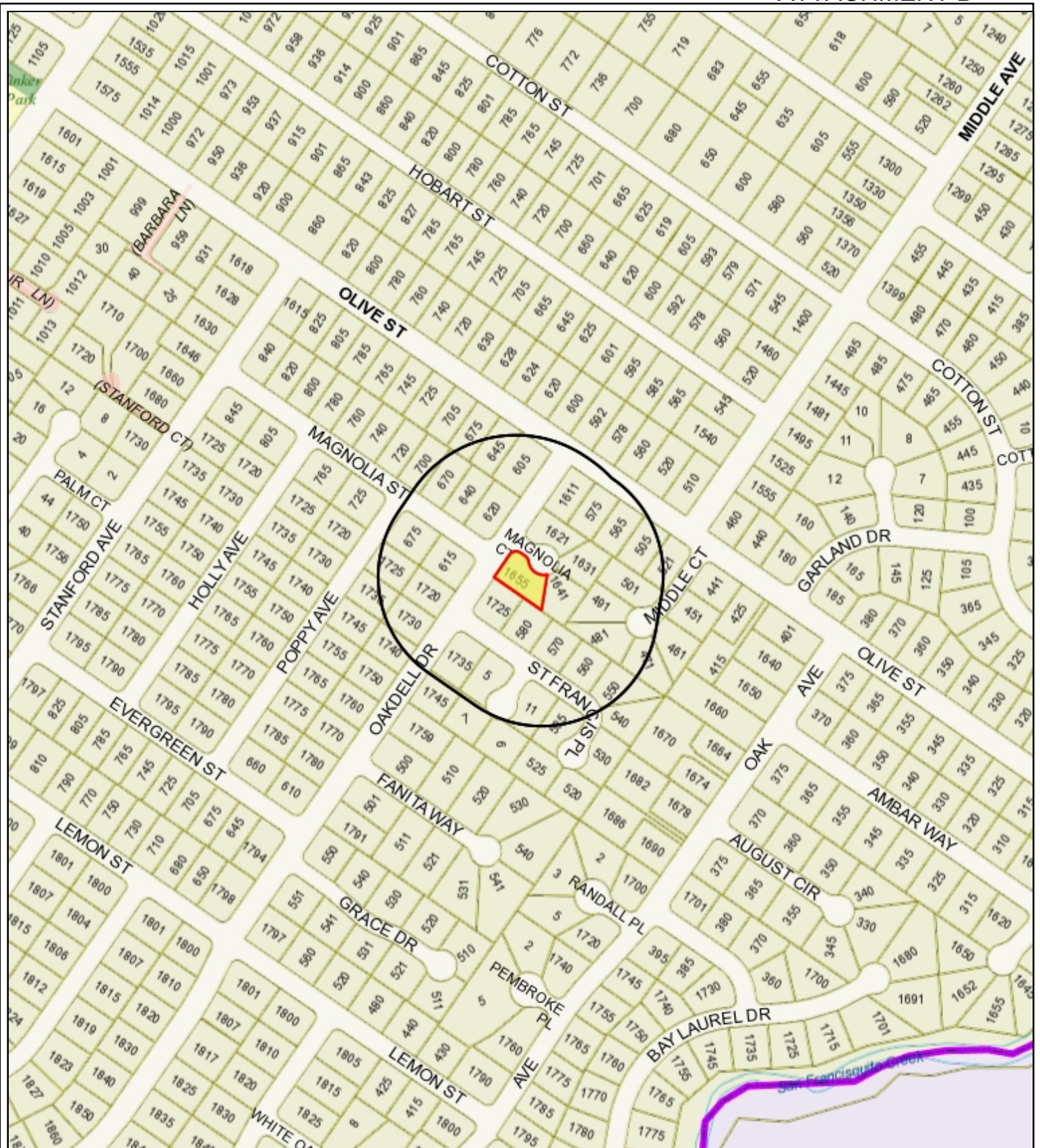
Fahteen Khan, Contract Assistant Planner

Report reviewed by:

Thomas Rogers, Principal Planner

1655 Magnolia Court – Attachment A: Recommended Actions

LOCATION: 1655 Magnolia Court	PROJECT NUMBER: PLN2018-00005	APPLICANT: Jack McCarthy	OWNER: Sepideh Agah
PROPOSAL: Request for a use permit to demolish a single-story, single-family residence and construct a new two-story, single-family residence with a basement on a substandard lot with regard to lot width in the R-1-S (Single-Family Suburban) zoning district. As part of the project, one heritage mulberry tree has been removed with a permit.			
DECISION ENTITY: Planning Commission	DATE: May 7, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kennedy, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Jack McCarthy Designer, Inc., consisting of 14 plan sheets, dated received April 19, 2018, subject to review and approval by the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage and street trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report by Advanced Tree Care dated April 7, 2018. 			



CITY OF
MENLO PARK

City of Menlo Park
Location Map
1655 Magnolia Ct



Scale: 1:4,000

Drawn By: FNK

Checked By: THR

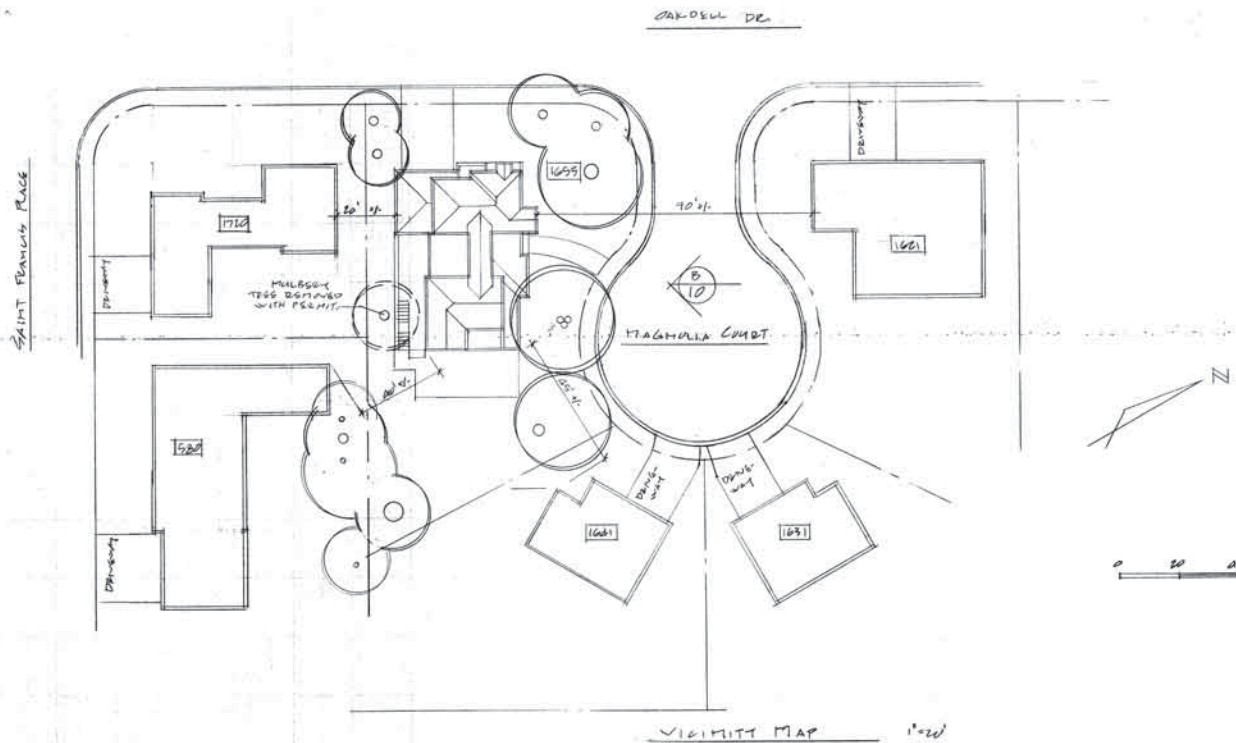
Date: 5/7/2018

Sheet: 1

	PROPOSED PROJECT	EXISTING DEVELOPMENT	ZONING ORDINANCE
Lot area	10,498 sf	10,498 sf	10,000.0 sf min.
Lot width	70.4 ft.	70.4 ft.	80.0 ft. min.
Lot depth	108.0 ft.	108.0 ft.	100.0 ft. min.
Setbacks			
Front	21.0 ft.	19.7 ft.	20.0 ft. min.
Rear	25.0 ft.	25.0 ft.	20.0 ft. min.
Side (left)	18.0 ft.	12.0 ft.	10.0 ft. min.
Side (right)	10.7 ft.	10.0 ft.	10.0 ft. min.
Building coverage	2,365.2 sf 22.5 %	3,147 sf 30.0 %	3,662.8 sf max. 35.0 % max.
FAL (Floor Area Limit)	3,671.0 sf	3,147.0 sf	3,666.3 sf max.
Square footage by floor	2,179.4 sf/basement 1,862.0 sf/1 st floor 1,367.9 sf/2 nd floor 441.0 sf/garage	2,865.0 sf/1 st floor 282.0 garage	
Square footage of buildings	5,850.3 sf	3,147.0 sf	
Building height	27.3 ft.	12.5 ft.	28.0 ft. max.
Parking	2 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			
Trees	Heritage trees: 10	Non-Heritage trees: 0	New Trees: 1
	Heritage trees proposed for removal: 1*	Non-Heritage trees proposed for removal: 0	Total Number of Trees: 10

Agah Residence

1655 Magnolia Court, Menlo Park, California



SCOPE OF WORK

Demolish a single-story, single-family residence and construct a new two-story, single-family residence with a basement on a substandard lot with regard to lot width in the R-1.5 (single-Family Suburban) zoning district. As part of the proposed development, one heritage mulberry tree is proposed for removal.

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3	UPPER LEVEL FLOOR PLAN
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5	ELEVATIONS
6	ELEVATIONS
7	ARCHITECTURAL ROOF PLAN
8	SECTIONS
9	AREA CALCULATIONS
10	VICINITY MAP, STREETSCAPES
11	EXISTING RESIDENCE FLOOR PLAN, ELEVATIONS SURVEY

REVISIONS	BY

Agah Residence
New Structure
1655 Magnolia Court, Menlo Park, CA

Jack McCarthy Designer, Inc.
San Jose California 95135 408 973-0162
6257 Blosser Lane



DRAWN
MJC

CHECKED

DATE
8.18.15

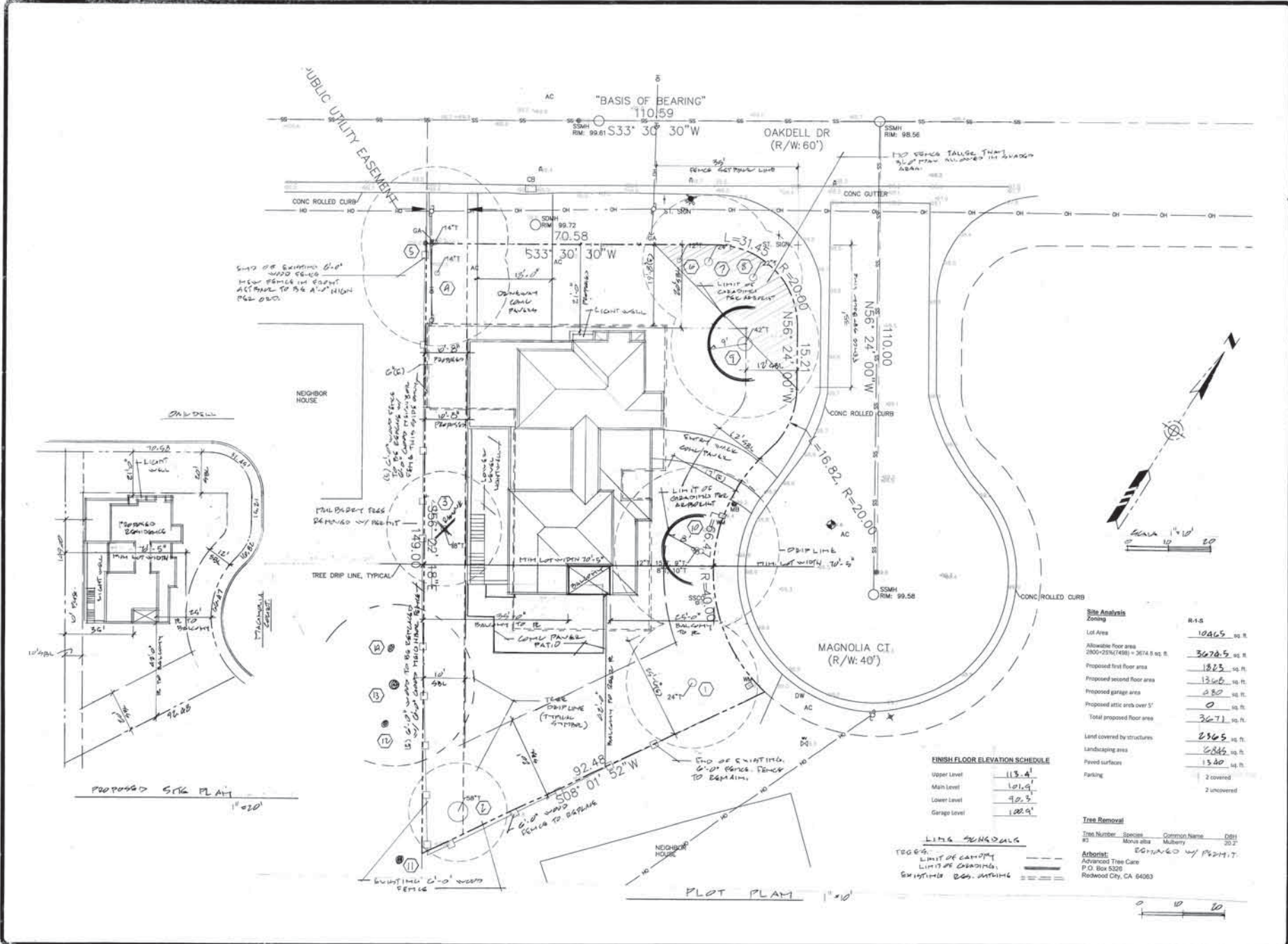
SCALE
AS SHOWN

JOB NO.
AGAH-1726

SHEET

1

OF **SHEETS**



Site Analysis

	R-1-S
Lot Area	10465 sq. ft.
Allowable floor area 2800+25%(488) = 2674.8 sq. ft.	3625 sq. ft.
Proposed first floor area	1825 sq. ft.
Proposed second floor area	1300 sq. ft.
Proposed garage area	280 sq. ft.
Proposed attic area over 5'	0 sq. ft.
Total proposed floor area	3671 sq. ft.
Land covered by structures	2365 sq. ft.
Landscaping area	2845 sq. ft.
Paved surfaces	1540 sq. ft.
Parking	2 covered 2 uncovered

FINISH FLOOR ELEVATION SCHEDULE

Upper Level	113.4'
Main Level	101.9'
Lower Level	70.3'
Garage Level	122.9'

LINA SUNDGAL

LEGEND:

- LIMIT OF GRADING
- LIMIT OF EXISTING
- EXISTING EGG-WHITING

Tree Removal

Tree Number	Species	Common Name	DBH
85	Morus alba	Mulberry	20.2"

Arboret: RETAINED BY PCDH.T.
 Advanced Tree Care
 P.O. Box 5320
 Redwood City, CA 94063

REVISIONS	BY

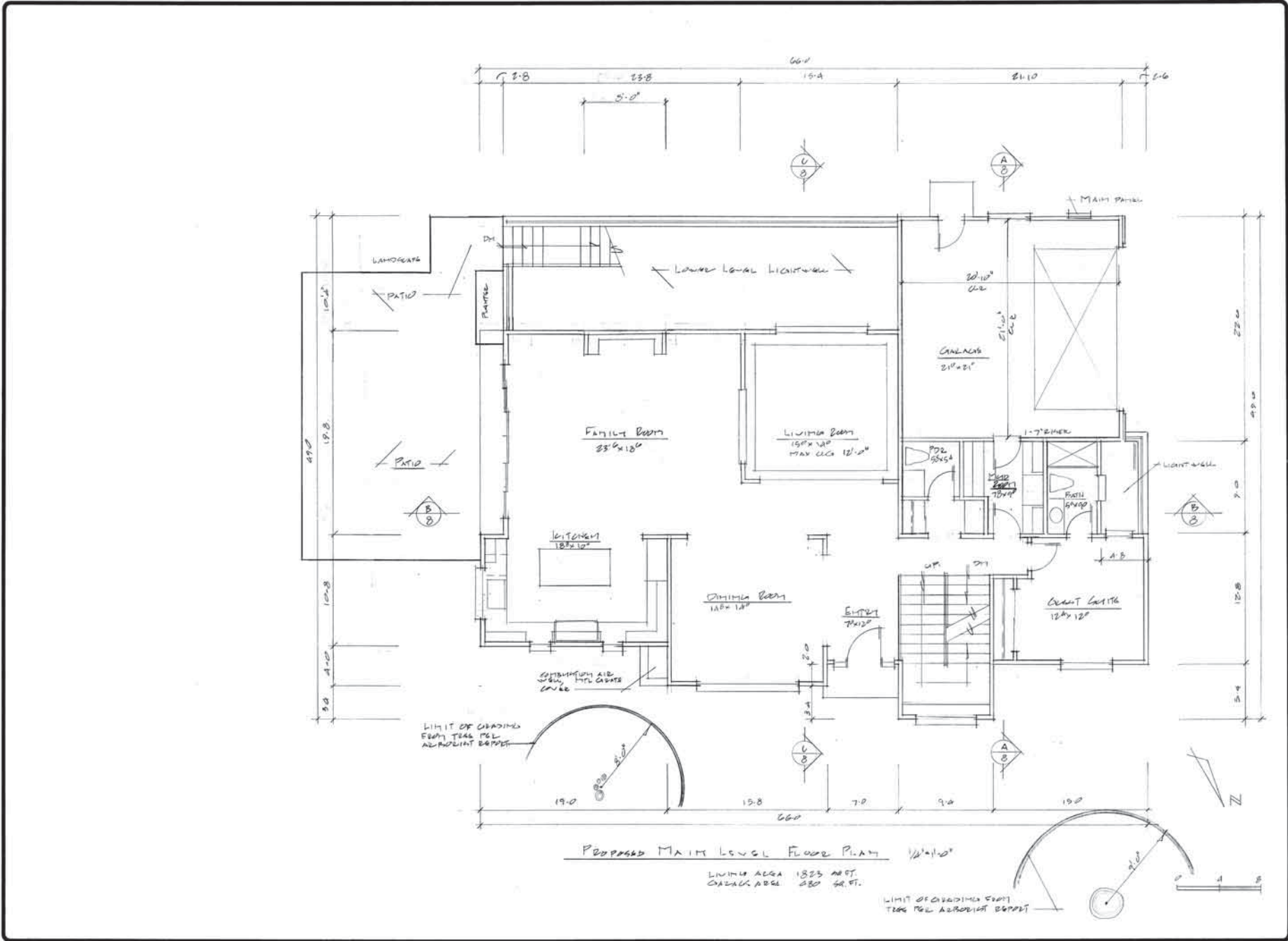
Agat Residence
 New Structure
 1555 Magnolia Court, Menlo Park, CA

Jack McCarthy Designer, Inc.
 San Jose California 95136 408 973-0192
 6527 Blue Jay Lane

DRAWN
 CHECKED

DATE: 12-15-17
 SCALE: 1/8"=1'-0"
 JOB NO: AGAT TAG.
 SHEET

OF SHEETS

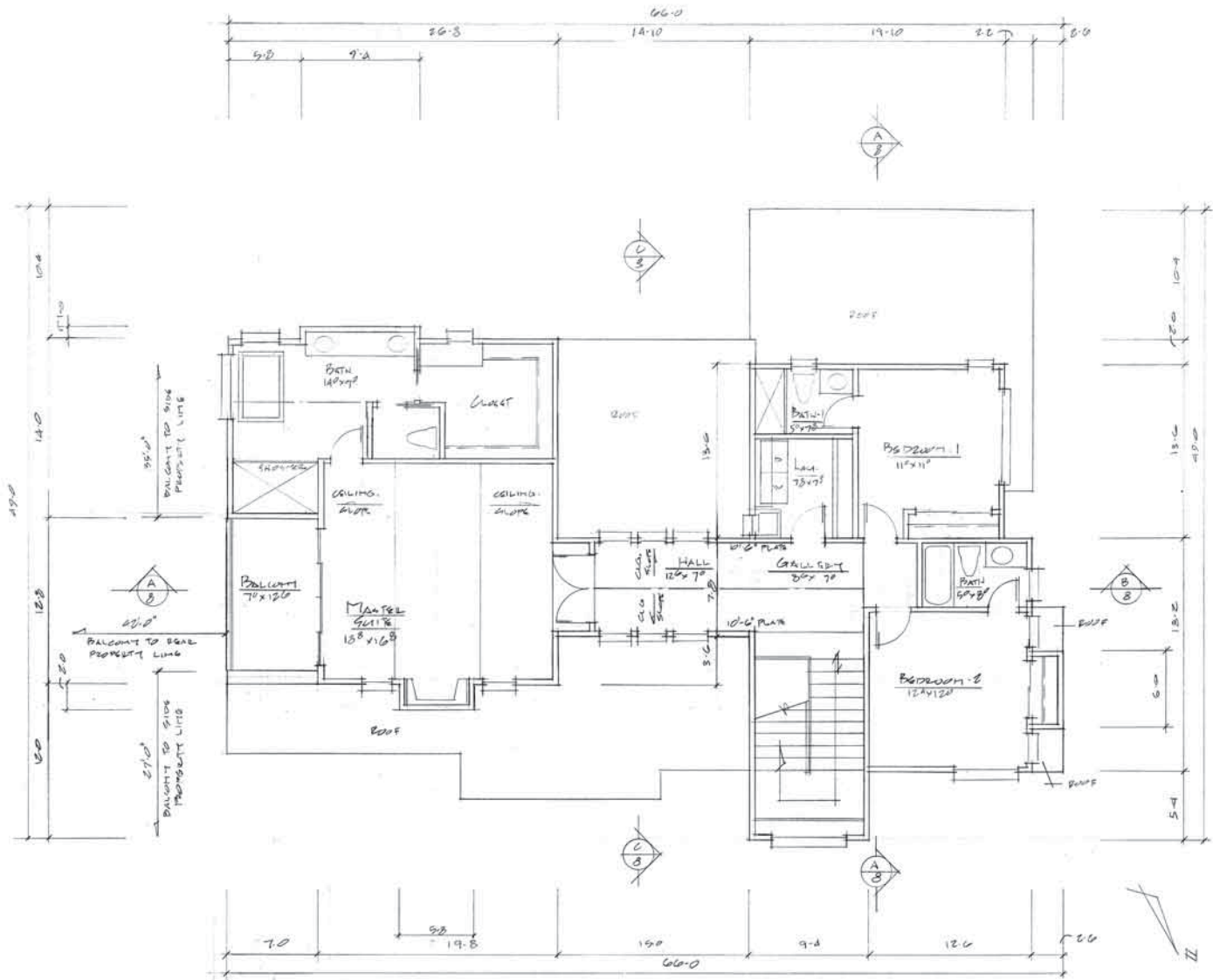


REVISIONS	BY

Agah Residence
New Structure
1585 Magnolia Court, Menlo Park, CA

Jack McCarthy Designer, Inc.
San Jose California 95135 408 972-0162
6257 Blauer Lane

DRAWN	MM
CHECKED	
DATE	12-15-17
SCALE	PLOT/50'
JOB NO.	AGAH TRAC
SHEET	



PROPOSED UPPER LEVEL FLOOR PLAN 1/4" = 1'-0"
 LIVING AREA 1550 SQ. FT.



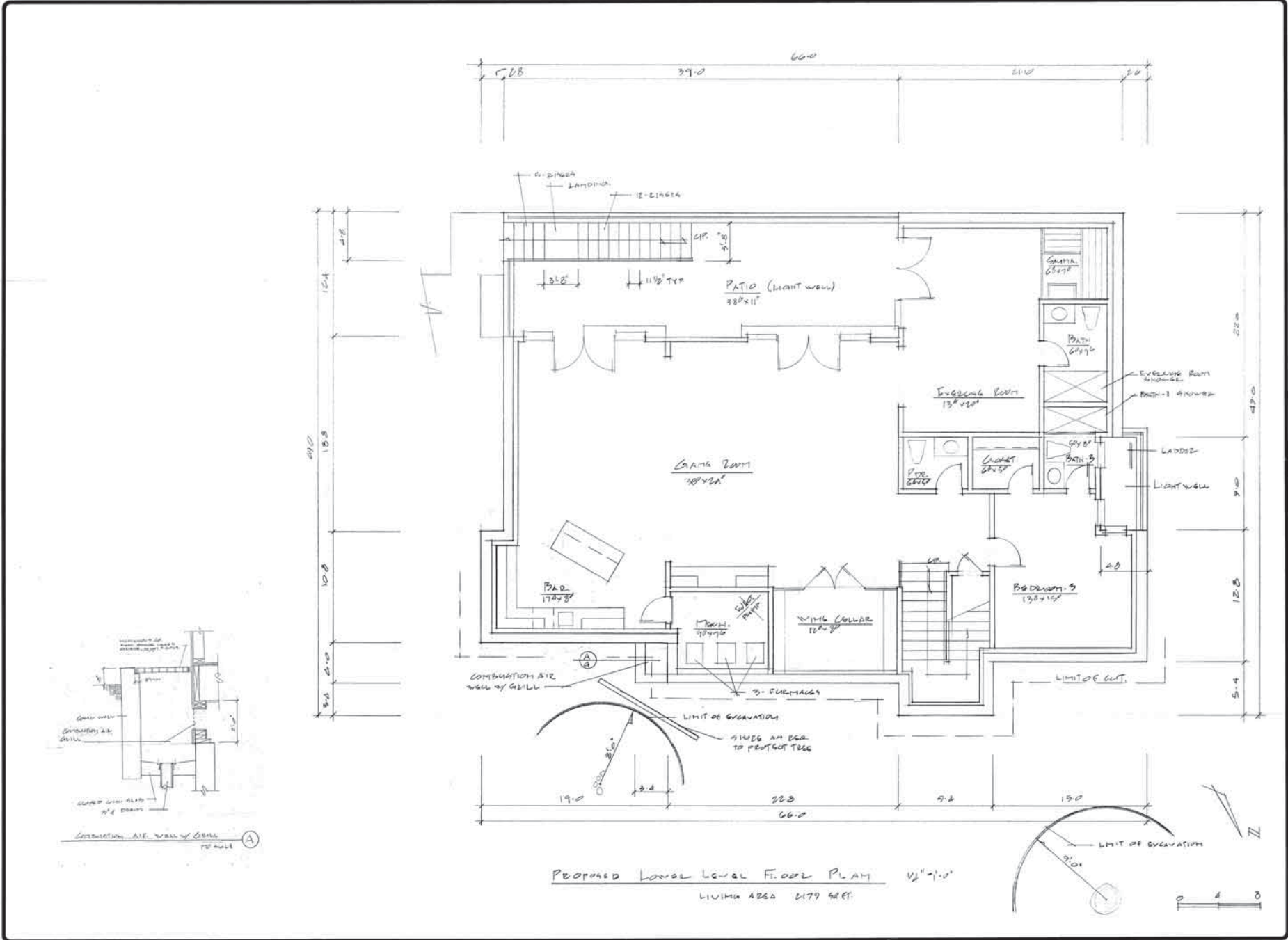
REVISIONS	BY

Agat Residence
 New Structure
 1605 Magnolia Court, Menlo Park, CA

Jack McCarthy Designer, Inc.
 San Jose California 95135 408 973-0182
 6327 Blazer Lane

DRAWN	1/26
CHECKED	
DATE	12-15-17
SCALE	1/4" = 1'-0"
JOB NO.	AGAT17-140
SHEET	

OF SHEETS

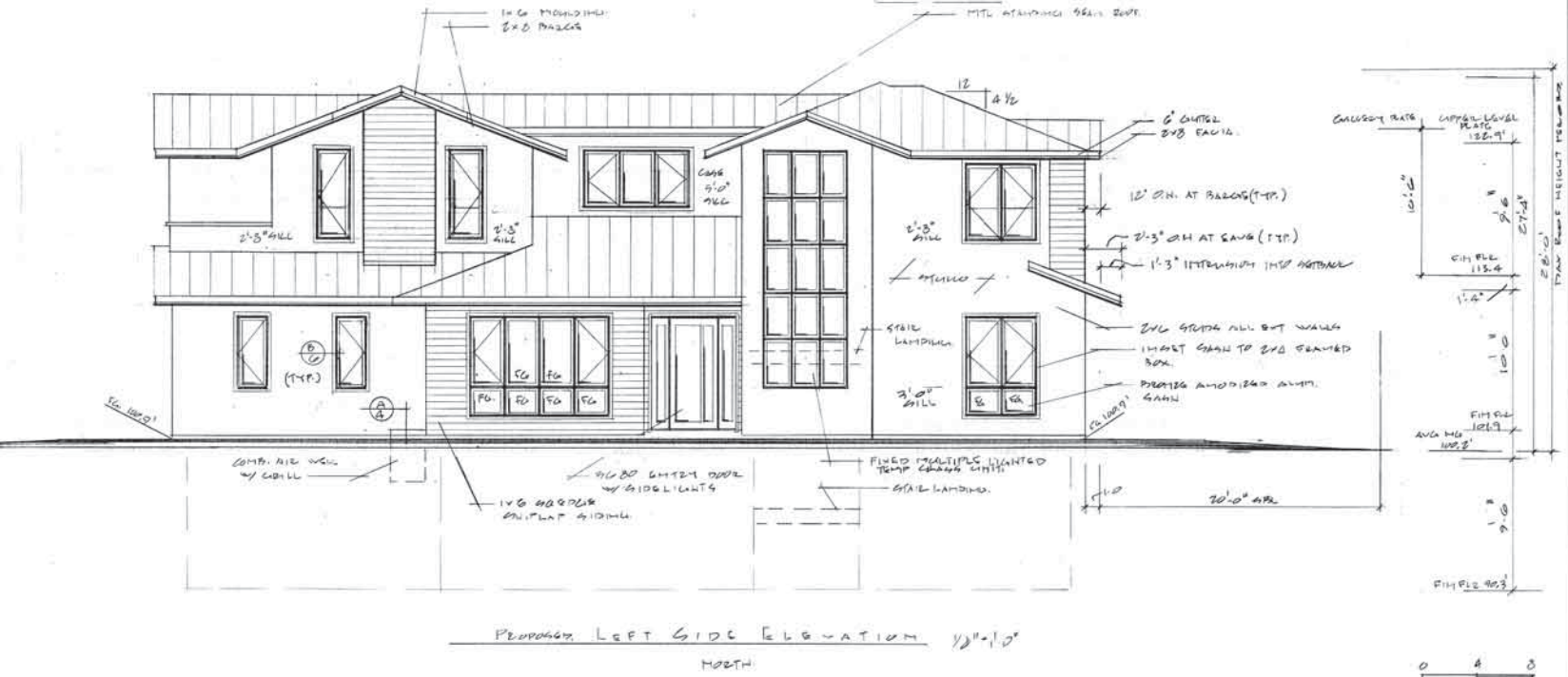


REVISIONS	BY

Agah Residence
 New Structure
 1055 Magnolia Court, Menlo Park, CA

Jack McCarthy Designer, Inc.
 6227 Blaser Lane San Jose California 95135 408 974-0162

DRAWN	JMK
CHECKED	
DATE	12.15.17
SCALE	1/8" = 1'-0"
JOB NO.	ACAH 17AG
SHEET	

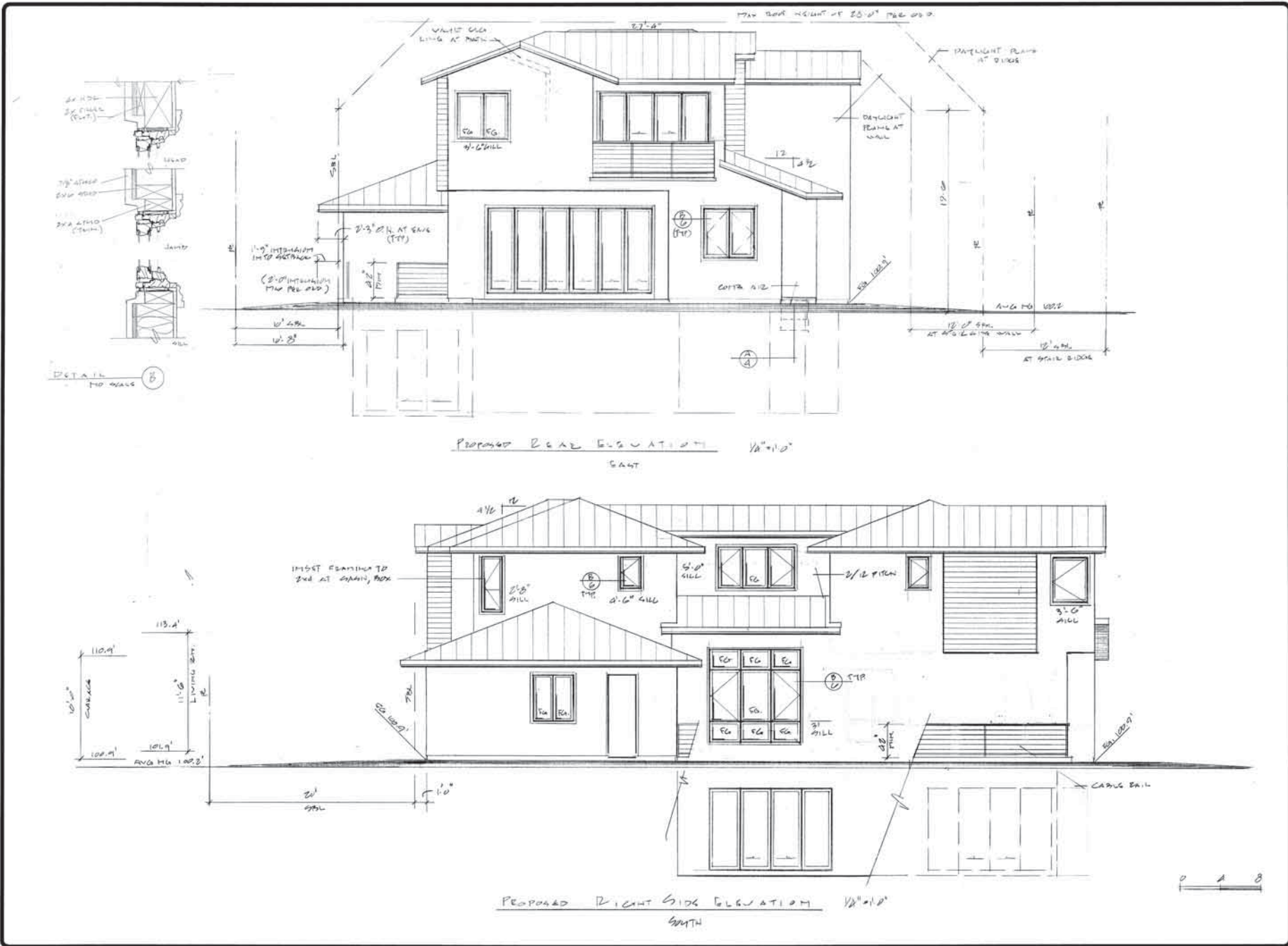


REVISIONS	BY

Agah Residence
 New Structure
 3655 Magnolia Court, Menlo Park, CA

Jack McCarthy Designer, Inc.
 San Jose California 95135 408 975-0182
 6527 Silver Lane

DRAWN	ML
CHECKED	
DATE	12-15-17
SCALE	NOTED
JOB NO	AGAH 17-01
SHEET	



REVISIONS	BY

Agah Residence
 New Structure
 16515 Magnolia Court, Menlo Park, CA

Jack McCarthy Designer, Inc.
 637 Blinn Lane San Jose California 95135 408 973-0182

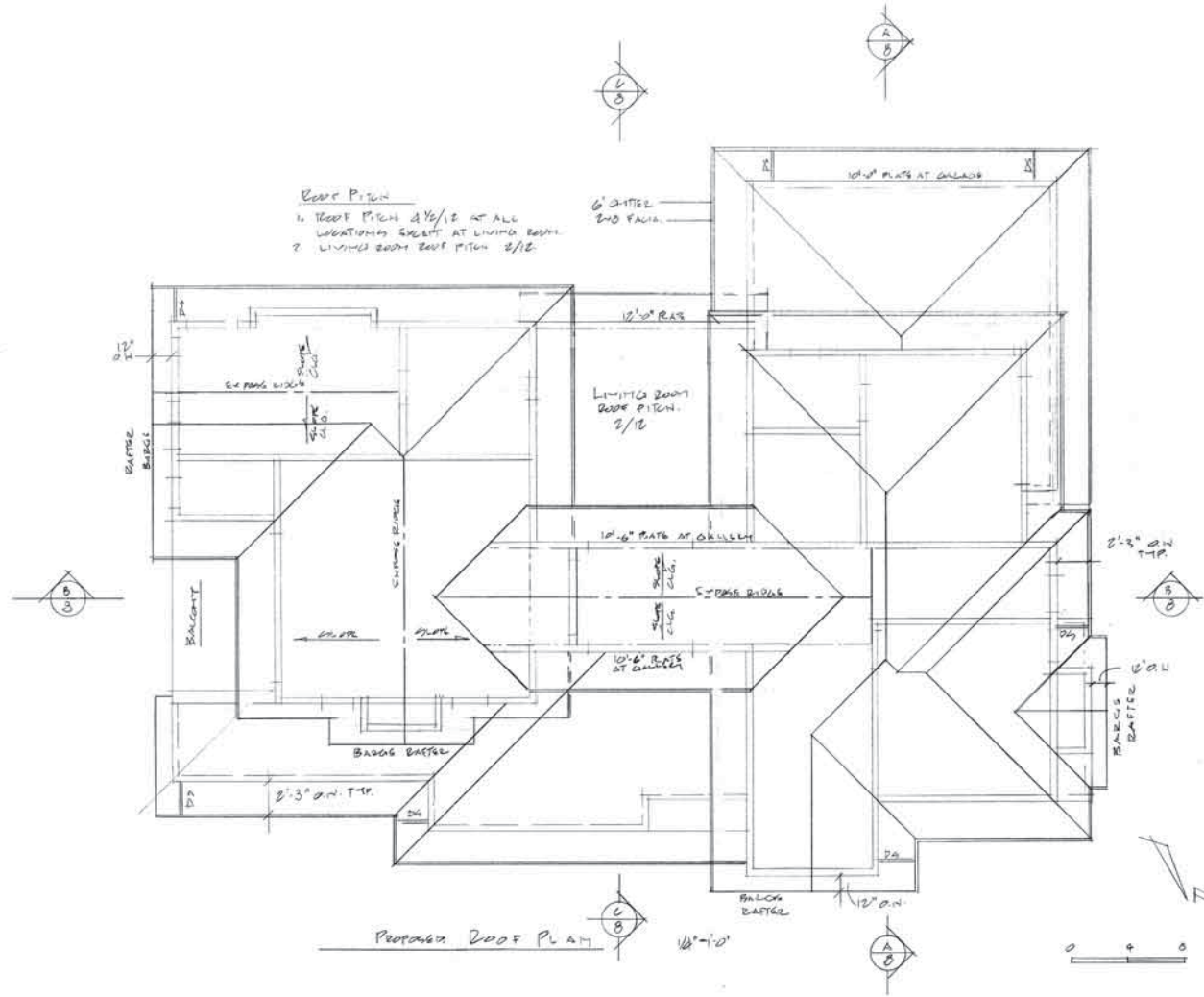
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CHECKED	
DATE	12/15/17
SCALE	MULTI
JOB NO.	AGAH MAG.
SHEET	

REVISIONS	BY

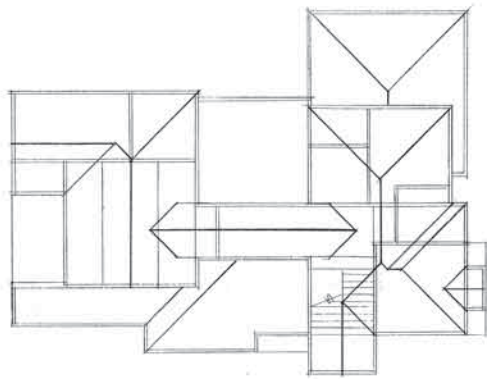
Agah Residence
 New Structure
 1655 Magnolia Court, Menlo Park, CA

Jack McCarthy Designer, Inc.
 832 Blaser Lane San Jose California 95135 408 973-0102

DRAWN	JTC
CHECKED	
DATE	12-29-17
SCALE	NONE
NOTES	
JOB NO.	AGAH - P16C
SHEET	
OF SHEETS	

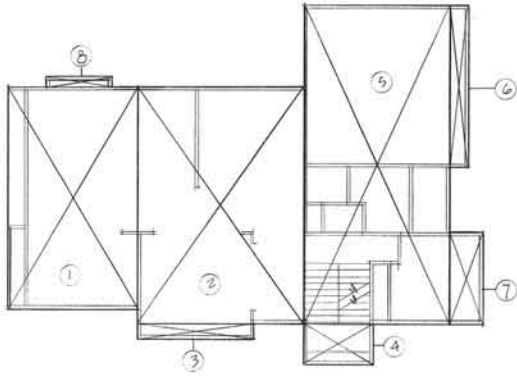


DRAWING NO. 111



ROOF LEVEL		
SYMBOL/SPECIAL	DIMENSION	AREA
NO ROOF AREA'S CONTRIBUTED TO FAL CALCULATIONS		

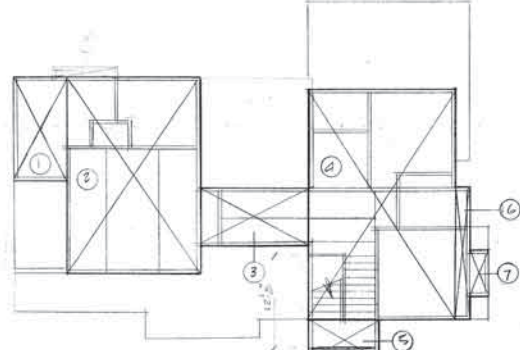
ROOF



LOT COVERAGE		
SYMBOL/SPECIAL	DIMENSION	AREA
1	19'0" x 30'4"	576.3 sq ft
2	22'8" x 32'4"	732.9 sq ft
3	15'8" x 7'0"	111.3 sq ft
4	9'4" x 5'4"	49.8 sq ft
5	19'8" x 43'8"	858.3 sq ft
6	2'2" x 22'0"	47.7 sq ft
7	4'8" x 12'8"	59.1 sq ft
8	9'4" x 1'0"	9.3 sq ft
TOTAL	LOT COVERAGE	2352.2 sq ft

LOT COVERAGE

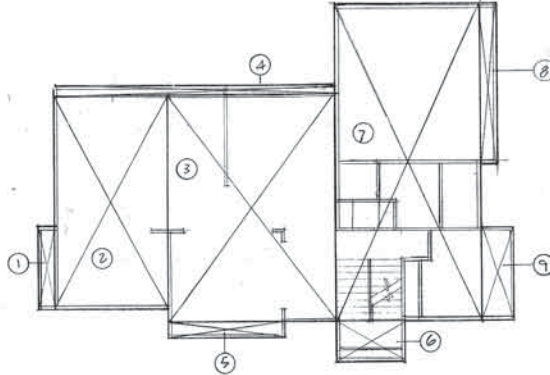
PROPOSED AREA CALCULATIONS 1/8"=1'-0"



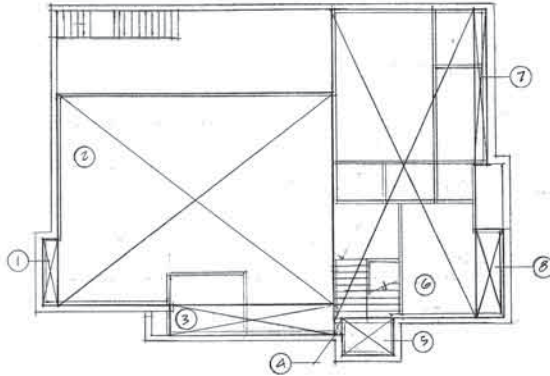
UPPER LEVEL		
SYMBOL/SPECIAL	DIMENSION	AREA
1	7'0" x 14'0"	98 sq ft
2	19'8" x 26'8"	524.4 sq ft
3	14'0" x 7'8"	113.7 sq ft
4	19'10" x 31'8"	628.1 sq ft
5	9'4" x 5'4"	49.8 sq ft
6	2'2" x 18'2"	39.4 sq ft
7	2'6" x 6'0"	15 sq ft
8	6'0" x 1'0"	6 sq ft
TOTAL	UPPER LEVEL GROSS AREA	1477.7 sq ft

LESS STAIRS	8'0" x 12'6"	109.8 sq ft
	UPPER LEVEL NET FAL	1367.9 sq ft

CALCULATIONS FOR STAIRS - ONLY INCLUDING THE WIDTH OF BALCONY - STAIRS AND STAIRS TO BE EXCLUDED FROM CALCULATIONS TO BE INCLUDED IN FAL. CLIP ON LEVEL.



MAIN LEVEL		
SYMBOL/SPECIAL	DIMENSION	AREA
1	2'0" x 10'6"	21.3 sq ft
2	16'4" x 29'4"	479.1 sq ft
3	22'8" x 31'4"	710.2 sq ft
4	39'0" x 1'0"	39 sq ft
5	15'8" x 2'0"	31.3 sq ft
6	9'4" x 5'4"	49.8 sq ft
7	19'8" x 43'8"	858.3 sq ft
8	2'2" x 22'0"	47.7 sq ft
9	4'8" x 12'8"	59.1 sq ft
TOTAL	MAIN LEVEL FAL	2302.8 sq ft



LOWER LEVEL		
SYMBOL/SPECIAL	DIMENSION	AREA
1	1'8" x 8'8"	14.4 sq ft
2	39'0" x 28'4"	1105 sq ft
3	4'0" x 22'8"	86.7 sq ft
4	2'4" x 1'0"	2.3 sq ft
5	7'4" x 5'4"	39.1 sq ft
6	20'10" x 41'8"	868.1 sq ft
7	1'0" x 21'0"	21 sq ft
8	3'8" x 11'8"	42.8 sq ft
TOTAL	LOWER LEVEL FLOOR AREA	2179.4 sq ft



REVISIONS	BY

Agah Residence
New Structure
1655 Magnolia Court, Menlo Park, CA

Jack McCarthy Designer, Inc.
6257 Blumar Lane
San Jose California 95135
408 973-0182

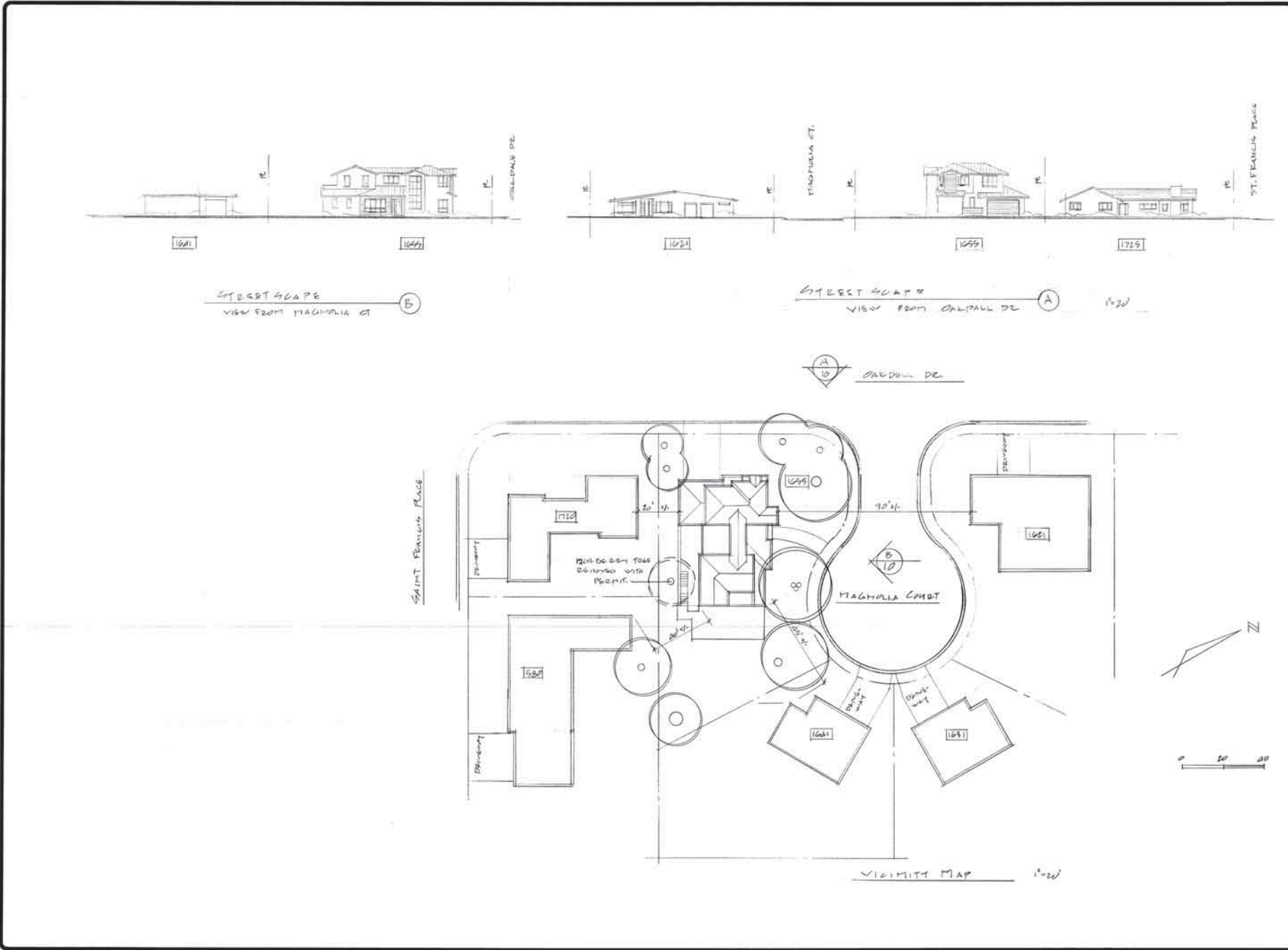
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CHECKED	
DATE	3-17-18
SCALE	NOTE 2
JOB NO.	
SHEET	

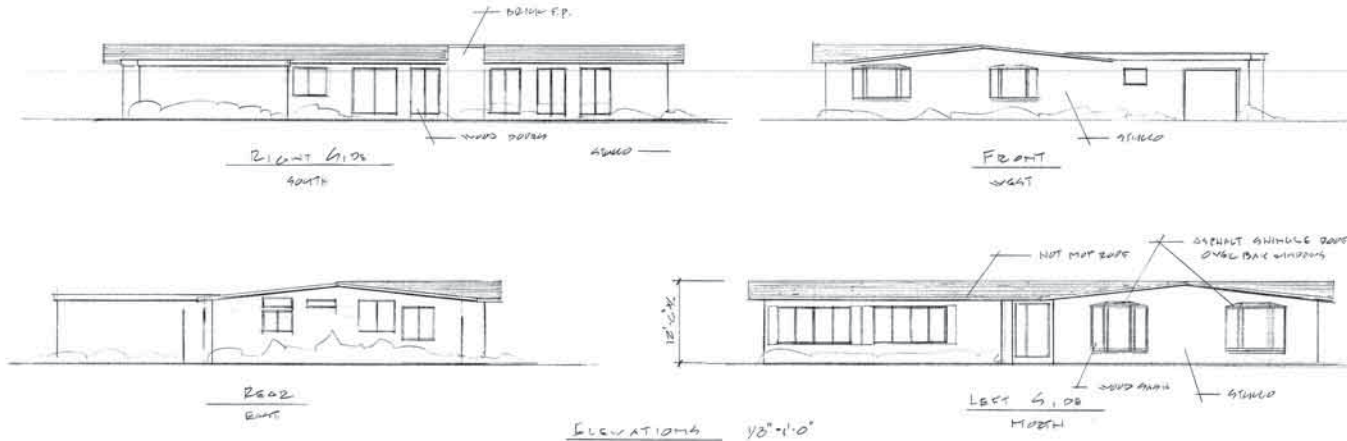
REVISIONS	BY

Agah Residence
 New Structure
 1855 Magnolia Court, Menlo Park, CA

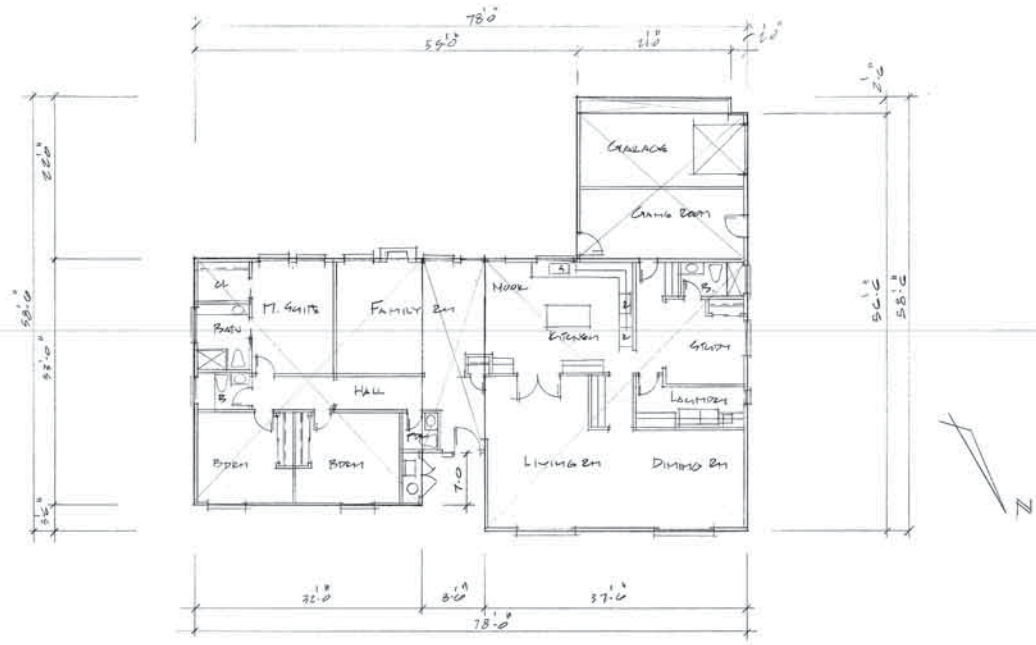
Jack McCarthy Designer, Inc.
 6327 Blauer Lane San Jose California 95135 408 973-0182

DRAWN	TLC
CHECKED	
DATE	12-15-17
SCALE	1/8"=1'-0"
JOB NO.	AG111716
SHEET	
10	
OF	SHEETS





ELEVATIONS 1/8"=1'-0"



EXISTING RESIDENCE MAIN LEVEL		
SYMBOL/SPECIAL	DIMENSION	AREA
1	32' 0" x 33' 0"	1056 sq ft
2	8' 0" x 26' 0"	208 sq ft
3	37' 0" x 36' 0"	1332 sq ft
4	23' 0" x 18' 0"	414 sq ft
5	21' 0" x 2' 0"	52 sq ft
TOTAL:	MAIN LEVEL FAL	3146.8 sq ft

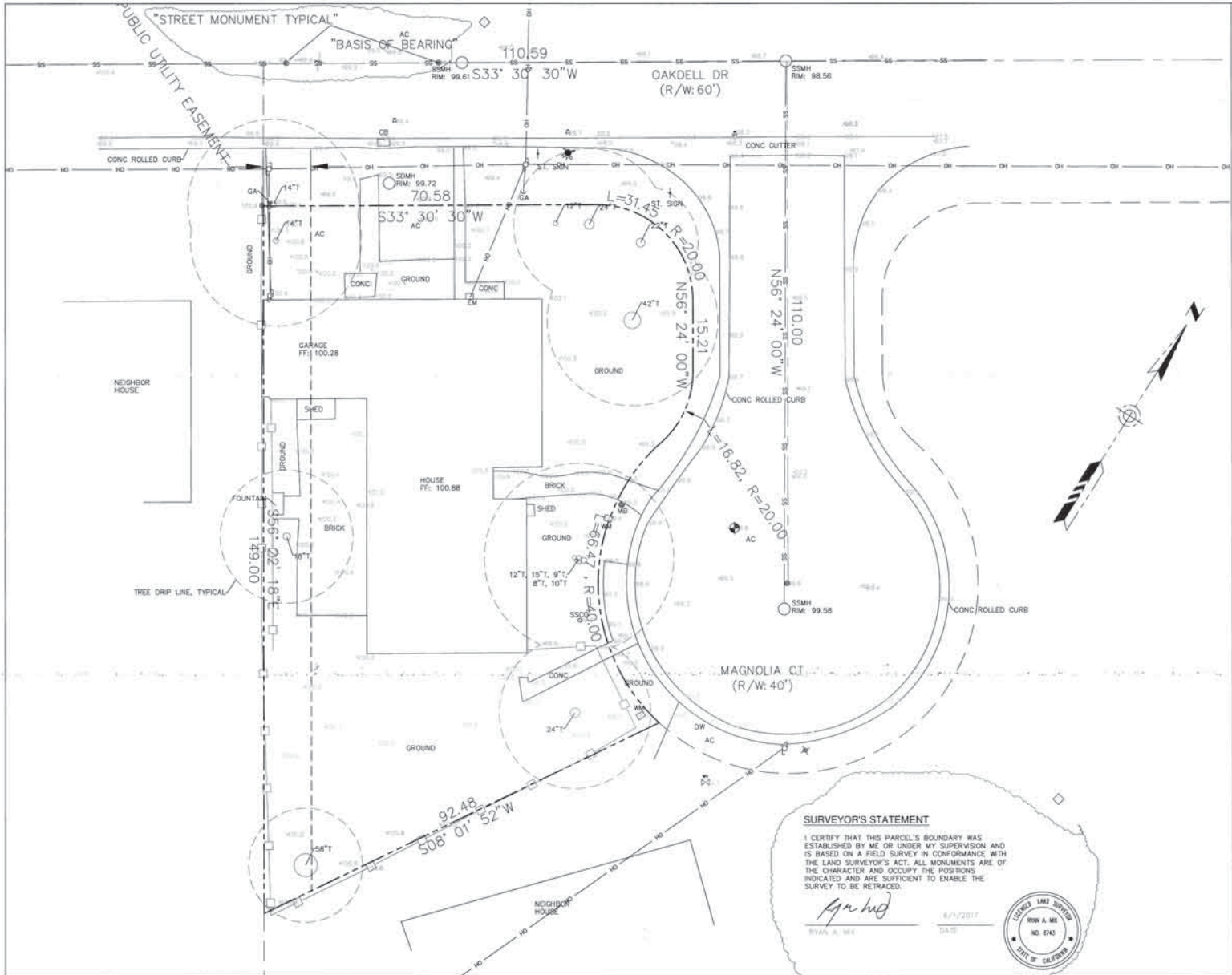
EXISTING RESIDENCE 1/8"=1'-0"

REVISIONS	BY

Agah Residence
 New Structure
 1605 Magnolia Court, Menlo Park, CA

Jack McCarthy Designer, Inc.
 San Jose California 95135 408 972-0102
 6327 Blazer Lane

DRAWN	JMC
CHECKED	
DATE	12-16-17
SCALE	1/8"=1'-0"
JOB NO.	AGAH17-174G
SHEET	



---	PROPERTY LINE	AC	ASPHALT
---	EXISTING LOT	AG	AREA GRAIN
---	CENTERLINE	MS	MEADOW
---	EASEMENT LINE	MSL	BUILDING SEWICK LINE
---	SANITARY SEWER LINE	CD	CURB AND DUTTER
---	STORM DRAIN LINE	CD	CATCH BASIN
---	OVERHEAD POWER LINE	DM	CLEAN CUT
---	WOOD FENCE	DM	DRIVEWAY
---	POWER POLE	EV	ELECTRIC BOX
---	FIRE HYDRANT	EV	ELECTRIC METER
---	JOINT HOE	HE	TOP OF RAVEMENT
---	SURVEY MONUMENT FOUND	HM	PIPE HYDRANT
---	TBM (ELEVATION)	SM	SOFT ANCHOR
---	WATER VALVE	SM	CONC CURB
---		SM	CONC DRIVE
---		SM	BRICK CONC PAVEMENT
---		SM	POWER POLE
---		SM	WOOD SIGN
---		SM	STAINLESS SIGN
---		SM	STORM DRAINAGE MANHOLE
---		SM	SANITARY SEWER MANHOLE
---		SM	SANITARY SEWER CLEAN OUT
---		SM	THROUGH CURB DRAIN
---		SM	PAVING SIGN
---		SM	VALVE DUTTER
---		SM	WATER METER
---		SM	WATER VALVE

DISCLAIMER:
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL 'USA' (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
FOUND SURVEY MONUMENTS, RECORD INFORMATION WAS USED. PER RECORD MAP, BOOK(RM): 33 PAGE: 44 WHICH IS FILED IN THE COUNTY OF SAN MATEO RECORDER'S OFFICE.

SITE BENCHMARK:
SET MAG NAIL
ELEVATION=99.45'
(NAVD 88 DATUM)

- NOTES:**
1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
 2. THE GROSS AREA OF LAND OF RECORD IS 10,498 SQ. FT. ±.
 3. THE MAP WAS BASED ON A GRANT DEED DOC.# 2014-004592 DATED 1/17/2014, RECORDED IN SAN MATEO COUNTY.
 4. ALL EXISTING BUILDINGS ARE WOOD.
 5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.

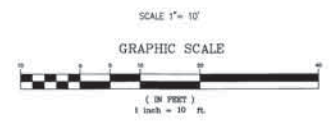
SURVEYOR'S STATEMENT

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

[Signature]
8/7/2017
DATE

BRANK A. NEE
DATE

LEGALLY LICENSED SURVEYOR
BRANK A. NEE
NO. 6743
STATE OF CALIFORNIA



1655 Magnolia Court
Menlo Park
APN: 071-180-630

M & N CONSULTING SERVICES INC.

LAND SURVEYING - LAND PLANNING

MN

322 N. 18TH ST.
SAN JOSE, CA 95112
669-222-1911
MANDNCINC@GMAIL.COM

Scale 1" = 10'
Prepared by:
Checked by:
Date 8/7/2017
Project No. 2115347

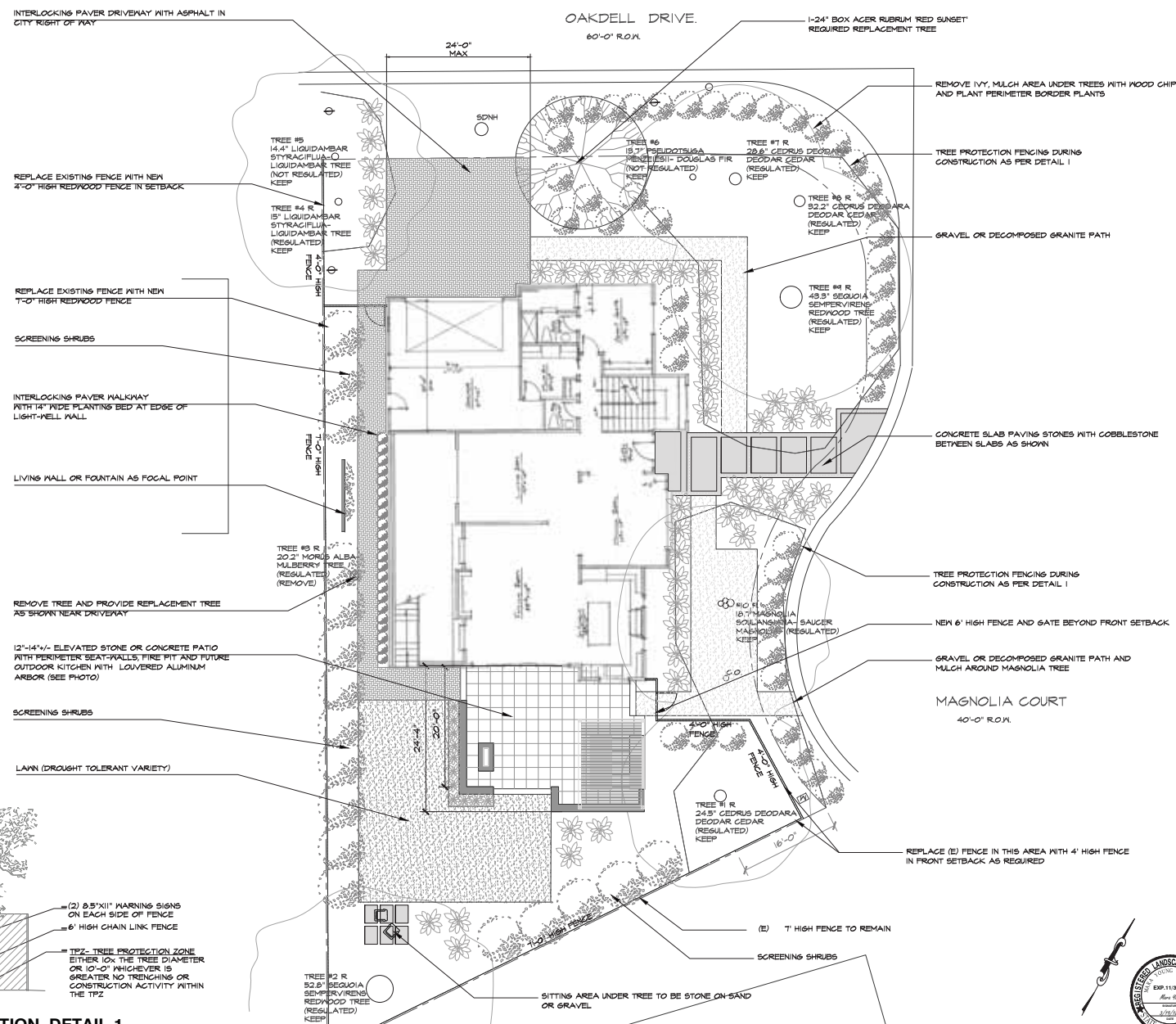
BOUNDARY AND TOPOGRAPHIC SURVEY MAP

Sheet No. 1

T-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR. DATE	APPR. DATE
STATEMENT SHOWN MONUMENTS SHOWN				

CITY OF MENLO PARK



INTERLOCKING PAVER DRIVEWAY WITH ASPHALT IN CITY RIGHT OF WAY

OAKDELL DRIVE
60'-0" R.O.M.

1-24" BOX ACER RUPESTRIS 'RED SUNSET'
REQUIRED REPLACEMENT TREE

REMOVE IVY, MULCH AREA UNDER TREES WITH WOOD CHIPS AND PLANT PERIMETER BORDER PLANTS

REPLACE EXISTING FENCE WITH NEW 4'-0" HIGH REDWOOD FENCE IN SETBACK

TREE #5
14'-4" LIQUIDAMBAR
STYRACIFLUA
LIQUIDAMBAR TREE
(NOT REGULATED)
KEEP

TREE #6
18'-7" PSEUDOTSUGA
RESINOSA
DOUGLAS FIR
(NOT REGULATED)
KEEP

TREE #7 R
28'-6" CEDRUS DEODARA
DEODAR CEDAR
(REGULATED)
KEEP

TREE PROTECTION FENCING DURING CONSTRUCTION AS PER DETAIL 1

REPLACE EXISTING FENCE WITH NEW 1'-0" HIGH REDWOOD FENCE

TREE #4 R
15" LIQUIDAMBAR
STYRACIFLUA
LIQUIDAMBAR TREE
(REGULATED)
KEEP

TREE #6 R
32'-2" CEDRUS DEODARA
DEODAR CEDAR
(REGULATED)
KEEP

GRAVEL OR DECOMPOSED GRANITE PATH

SCREENING SHRUBS

TREE #8 R
48'-3" SEQUOIA
SEMPERVIRENS
REDWOOD TREE
(REGULATED)
KEEP

CONCRETE SLAB PAVING STONES WITH COBBLESTONE BETWEEN SLABS AS SHOWN

INTERLOCKING PAVER WALKWAY WITH 14" WIDE PLANTING BED AT EDGE OF LIGHT-WELL WALL

TREE #3 R
30'-2" MORUS ALBA
MULBERRY TREE
(REGULATED)
REMOVE

TREE PROTECTION FENCING DURING CONSTRUCTION AS PER DETAIL 1

LIVING WALL OR FOUNTAIN AS FOCAL POINT

NEW 6' HIGH FENCE AND GATE BEYOND FRONT SETBACK

REMOVE TREE AND PROVIDE REPLACEMENT TREE AS SHOWN NEAR DRIVEWAY

12'-14'-6" ELEVATED STONE OR CONCRETE PATIO WITH PERIMETER SEAT-WALLS, FIRE PIT AND FUTURE OUTDOOR KITCHEN WITH LOUVERED ALUMINUM ARBOR (SEE PHOTO)

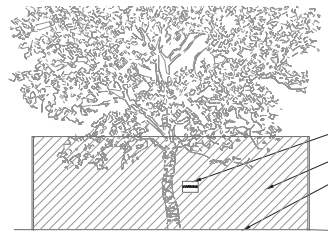
GRAVEL OR DECOMPOSED GRANITE PATH AND MULCH AROUND MAGNOLIA TREE

MAGNOLIA COURT
40'-0" R.O.M.

SCREENING SHRUBS

LAWN (DROUGHT TOLERANT VARIETY)

REPLACE (E) FENCE IN THIS AREA WITH 4' HIGH FENCE IN FRONT SETBACK AS REQUIRED



TREE PROTECTION DETAIL-1

(2) 8.5"X11" WARNING SIGNS ON EACH SIDE OF FENCE

TPZ- TREE PROTECTION ZONE EITHER 10X THE TREE DIAMETER OR 10'-0" WHICHEVER IS GREATER. NO TRENCHING OR CONSTRUCTION ACTIVITY WITHIN THE TPZ

TREE #2 R
32'-0" SEQUOIA
SEMPERVIRENS
REDWOOD TREE
(REGULATED)
KEEP

SITTING AREA UNDER TREE TO BE STONE ON SAND OR GRAVEL

(E) 7' HIGH FENCE TO REMAIN

SCREENING SHRUBS

PRELIMINARY LANDSCAPE PLAN

1/8" = 1'-0"

REVISIONS	BY



PRELIMINARY LANDSCAPE PLAN

AGAH RESIDENCE
1665 MAGNOLIA COURT
MENLO PARK, CA 94025

A.P.N. 071-180-630
DRAWN BY
CHECKED BY
DATE
SCALE
JOB NO.
SHEET
L-1
OF SHEETS



Jack McCarthy

Designer, Inc.

6257 Blauer Lane
San Jose, CA 95135
408.973.0162

January 8, 2018

New Residence
1655 Magnolia Court
Menlo Park, CA

The existing contemporary structure, built in 1952, has gone through many remodels and updates and no longer fits the needs of the owners and is extremely energy inefficient. Therefore, the owners want to construct a new residence on the site and plan to occupy the structure once completed.

This property is a corner lot fronting on both Oakdell Avenue and Magnolia court. The very odd shape of the lot combined with the many large mature trees the surround the lot make siting a residence very challenging. The proposed residence will be contemporary in style with a stucco and wood siding, bronze aluminum sash and a low pitch metal roof. The structure will be sited on the property in such a manner as to preserve the mature trees that presently surround it except of a mulberry tree in the rear yard that the arborist has inspected and says that it is in poor health. When viewed from Magnolia Court and Oakdell Avenue these mature trees will allow the property to look established with the two-story portions of the building set well back from the front and side property lines. The upper level fenestration coupled with the generous upper level setbacks from the property lines will allow for privacy towards the neighbors on both sides.

Advanced Tree Care

P. O. Box 5326 Redwood City, CA 94063

1655 Magnolia Ct, Menlo Park

April 7, 2018

Sepideh Aghads, DDS
1655 Magnolia Ct
Menlo Park, CA 94025

Site: 1655 Magnolia Ct, Menlo Park

Dear Sepideh,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. A new residence is planned, prompting the need for this tree protection report. This report pertains to the demolition of the existing property.

Method:


Menlo Park requests that all trees on the property or within 8 feet of the property lines be included on the report if the trunk diameter at standard height is greater than 6 inches. The location of the trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end of the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don't hesitate to call. Sincerely




Robert Weatherill
Certified Arborist WE 1936A

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Deodar cedar <i>Cedrus deodara</i>	24.5"	60/35	65	Good health and condition, not maintained Regulated
2	Coastal redwood <i>Sequoia sempervirens</i>	52.8"	80/30	75	Good health and condition Regulated
3	Mulberry <i>Morus alba</i>	20.2"	18/20	40	Poor health and condition, declining Regulated, Removed by City approved permit
4	Sweet gum <i>Liquidambar styraciflua</i>	15.0"	25/15	50	Fair health and condition, topped by PGE Regulated.
5	Sweet gum <i>Liquidambar styraciflua</i>	14.4"	25/15	50	Fair health and condition, topped by PGE Not Regulated
6	Douglas fir <i>Pseudotsuga menziesii</i>	13.7"	30/15	45	Poor/fair health and condition, suppressed by #7 Not Regulated Remove
7	Deodar cedar <i>Cedrus deodara</i>	28.6"	55/15	50	Fair health and condition, side pruned by PGE, Regulated
8	Deodar cedar <i>Cedrus deodara</i>	32.2"	55/25	55	Fair health and condition, side pruned by PGE, Regulated
9	Coastal redwood <i>Sequoia sempervirens</i>	43.3"	70/30	65	Good health and condition Regulated
10	Saucer magnolia <i>Magnolia soulangeana</i>	18.7"	25/25	65	Good health and condition Regulated
11	Coast live oak <i>Quercus agrifolia</i>	24"est	30/35	50	Fair health and condition. Neighbor's tree, topped by PG and E, Regulated
12	Coast live oak <i>Quercus agrifolia</i>	18"est	30/35	50	Fair health and condition. Neighbor's tree, topped by PG and E, Regulated
13	Coast live oak <i>Quercus agrifolia</i>	20"est	20/20	50	Fair health and condition. Neighbor's tree, topped by PG and E, Regulated
14	Coast live oak <i>Quercus agrifolia</i>	12/8"est	30/30	50	Fair health and condition. Neighbor's tree, topped by PG and E, Regulated

Summary:

The trees on the site are a variety of natives and non-natives.

There are 12 Regulated trees and 2 Not Regulated trees of which 4 of the Regulated trees are on the neighbor's property.

Tree #s 1 and 2 are Regulated trees in good health and condition and should be protected during construction.

Tree # 3 was in poor health and condition and has been removed with a City approved permit. A replacement tree will be planted and can be seen on the landscape plan.

Tree #s 4 and 5 are in fair health and condition. Only Tree #4 is Regulated and should be protected, Tree # 5 is Not Regulated and could be removed if desired.

Tree # 6 is in poor health and condition as it has been suppressed by the adjacent trees. It is Not Regulated and should be removed. If it is to remain, it should be protected during construction.

Tree #s 7 and 8 have been heavily pruned on one side of their canopy to accommodate the PG and E cables. Both trees are Regulated and should be protected during construction.

Tree #s 9 and 10 are in good health and condition and should be protected during construction.

Tree #s 11 through 14 are Regulated oaks on the rear neighbor's property. They are all located beneath the power lines and so have been heavily pruned to accommodate the power lines.

Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1 1/2" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the dripline of the tree. I recommend the TPZ's as follows:-

Tree #s 4, 5 and 6: TPZ should be at 10 feet from the trunk closing on the fence line and sidewalk in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾
The fencing can be located along the side of the driveway whilst the driveway is intact. Once the driveway has been removed, the fencing should be moved out to its fullest extent.

Tree #s 1, 7 and 10 through 14: TPZ should be at 15 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾
The TPZ for Tree # 10 can be reduce down to 8 feet to accommodate the demolition of the existing house and the excavation of the basement for the new home

Tree #s 8: TPZ should be at 20 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾

Tree #s 2 and 9: TPZ should be at 25 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾
The TPZ for Tree # 9 can be reduced down to 9 feet to accommodate the demolition of the existing house and the excavation of the basement for the new house.

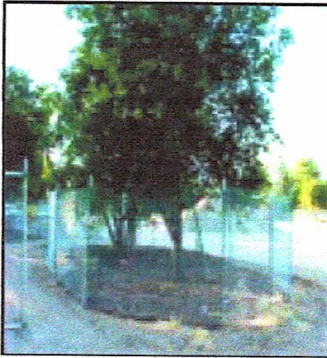


IMAGE 2.15-1

Tree Protection Fence at the Dripline

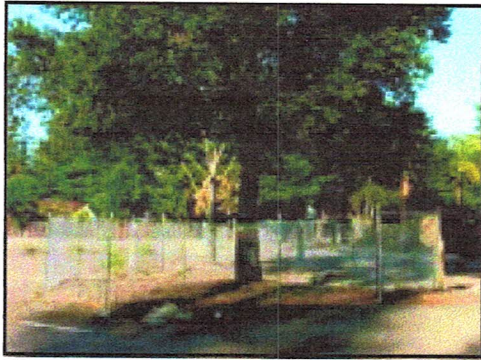


IMAGE 2.15-2

Tree Protection Fence at the Dripline

• **Type I Tree Protection**

The fences shall enclose the entire area under the **canopy dripline or TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (*see Images 2.15-1 and 2.15-2*). Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.

2. Demolition of existing driveway within the TPZs of Tree #s 4 and 5 should be done by hand
3. Any pruning and maintenance of the tree shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel.** No limbs greater than 4" in diameter shall be removed.
4. Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.⁽²⁾
5. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.⁽²⁾

6. **Do Not:** ⁽⁴⁾

- a. Allow run off or spillage of damaging materials into the area below any tree canopy.
- b. Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
- c. Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
- d. Allow fires under any adjacent trees.
- e. Discharge exhaust into foliage.
- f. Secure cable, chain or rope to trees or shrubs.
- g. Apply soil sterilants under pavement near existing trees.

7. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long. ⁽⁴⁾

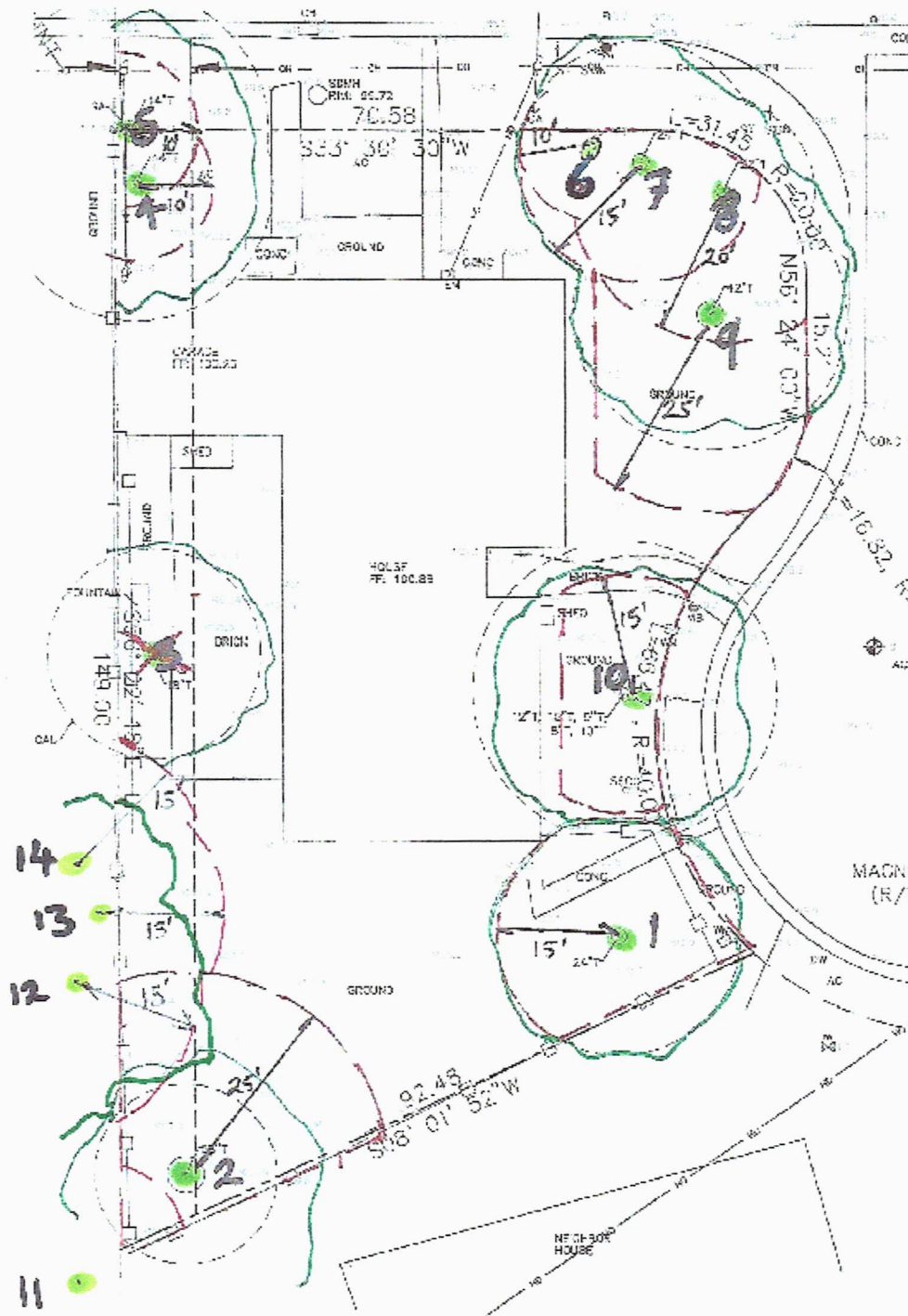
8. Route pipes into alternate locations to avoid conflict with roots. ⁽⁴⁾

9. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots. ⁽⁴⁾

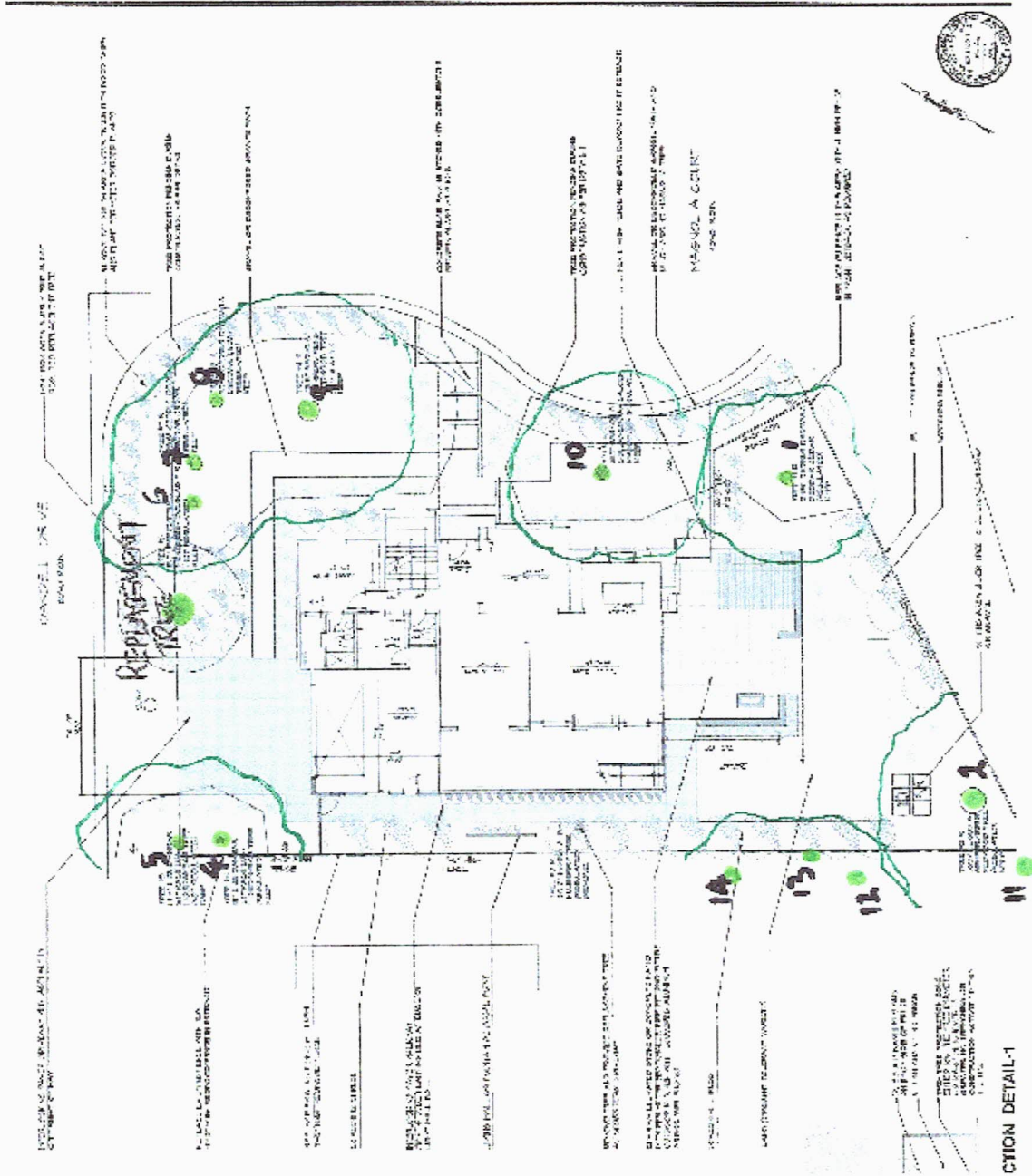
10. Compaction of the soil within the dripline shall be kept to a minimum. ⁽²⁾

11. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.

12. Ensure upon completion of the project that the original ground level is restored



Location of protected trees, their canopies and Tree Protection Zones



Landscape plan showing location of Regulated trees and replacement tree

Glossary

Canopy	The part of the crown composed of leaves and small twigs. ⁽²⁾
Cavities	An open wound, characterized by the presence of extensive decay and resulting in a hollow. ⁽¹⁾
Decay	Process of degradation of woody tissues by fungi and bacteria through the decomposition of cellulose and lignin ⁽¹⁾
Dripline	The width of the crown as measured by the lateral extent of the foliage. ⁽¹⁾
Genus	A classification of plants showing similar characteristics.
Root crown	The point at which the trunk flares out at the base of the tree to become the root system.
Species	A Classification that identifies a particular plant.
Standard height	Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level

References

(1) Matheny, N.P., and Clark, J.P. Evaluation of Hazard Trees in Urban Areas. International Society of Arboriculture, 1994.

(2) Harris, R.W., Matheny, N.P. and Clark, J.R.. Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines. Prentice Hall, 1999.

(3) Carlson, Russell E. Paulownia on The Green: An Assessment of Tree Health and Structural Condition. Tree Tech Consulting, 1998.

(4) Extracted from a copy of Tree Protection guidelines. Anon

(5) T. D. Sydnor, Arboricultural Glossary. School of Natural Resources, 2000

(6) D Dockter, Tree Technical Manual. City of Palo Alto, June, 2001

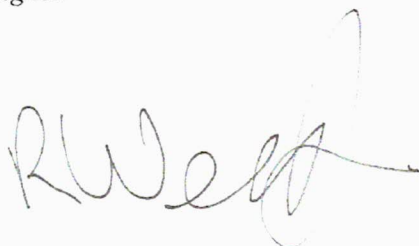
Certification of Performance⁽³⁾

I, Robert Weatherill certify:

- * That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;
- * That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;
- * That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;
- * That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;
- * That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;
- * That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 15 years.

Signed



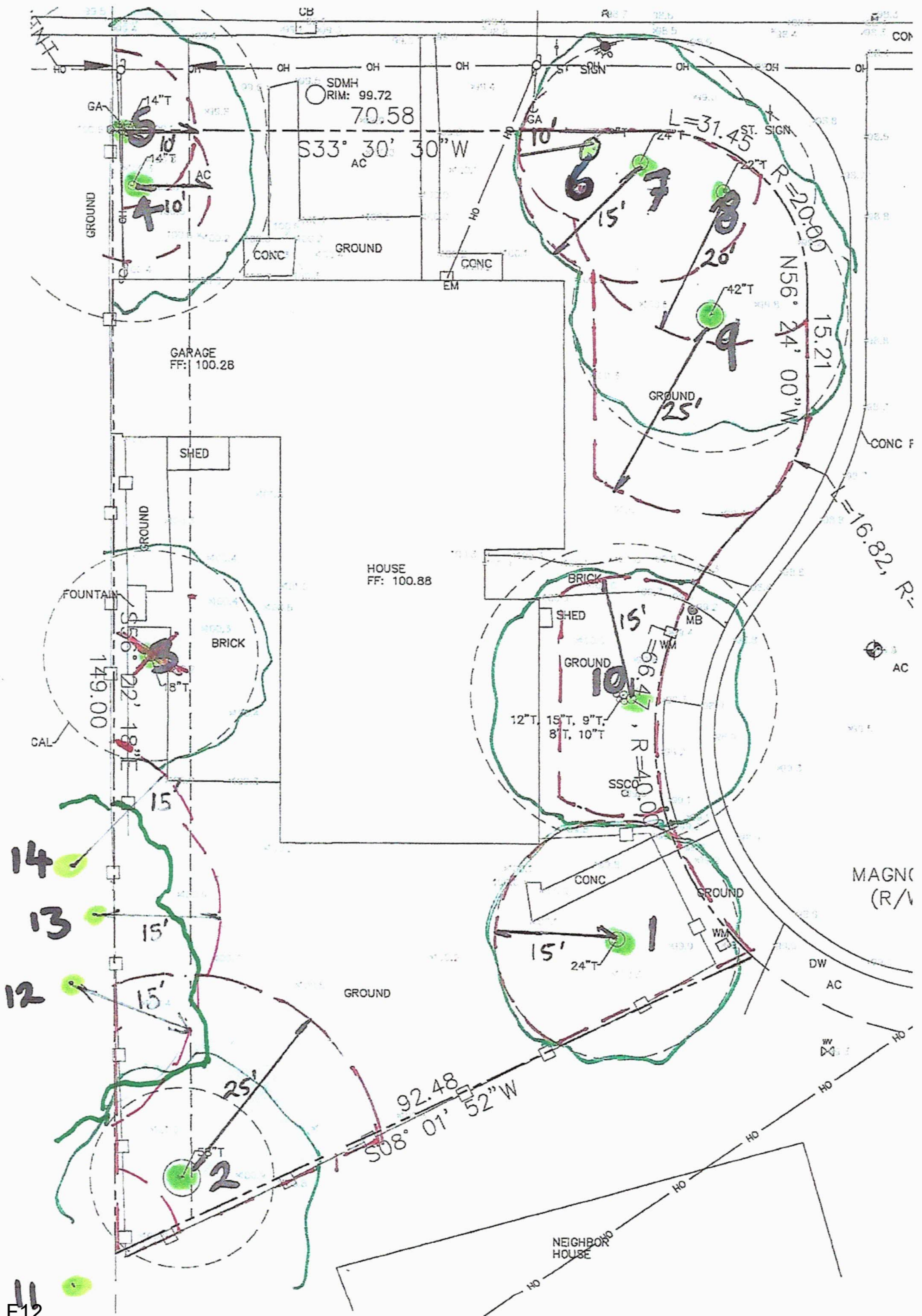
*Robert Weatherill
Certified Arborist WE 1936a*

Date: 4/7/18

Terms and Conditions(3)

The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care :

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
3. All reports and other correspondence are confidential, and are the property of Advanced Tree Care and it's named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warrantee or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
7. Advanced Tree Care has no warrantee, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphs material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.



F12



STAFF REPORT

Planning Commission

Meeting Date: 5/7/2018
Staff Report Number: 18-045-PC

Public Hearing: **Consider and Recommend Adopting an Ordinance Updating the Community Amenities Requirement for Bonus Level Development in the Residential Mixed-Use Zoning District**

Recommendation

Staff recommends that in light of the new State of California housing law, Assembly Bill (AB) 1505, which allows cities to apply inclusionary housing requirements to rental housing, the Planning Commission recommend that the City Council adopt an ordinance modifying the requirement for affordable housing as a community amenity for bonus level development in the Residential Mixed-Use (R-MU) zoning district.

Policy Issues

Before AB 1505, the City could not impose inclusionary requirements on rental housing projects. At the time the ConnectMenlo General Plan update was adopted, the only way to ensure development of affordable rental housing was to require it as a community amenity in exchange for bonus level development. Therefore, in the R-MU zoning district, where it was anticipated that rental housing would be developed, the City required that the community amenity provided be 15 percent of the total units as affordable. This requirement was in addition to the City's inclusionary housing requirement, which at the time applied only to for-sale housing.

After AB 1505 and the City Council's adoption of an implementing ordinance, inclusionary requirements apply to both for-sale and rental housing projects. Projects with 20 or more units must provide 15 percent of the total units as affordable. At the bonus level in the R-MU zoning district because the 15 percent affordable community amenity units are in addition to the 15 percent inclusionary units, the unanticipated consequence of AB 1505 is that projects at the bonus level would have to provide 30 percent of the total units as affordable. The goal of 15 percent of the total units as affordable in the R-MU zoning district can, after AB 1505, be achieved entirely through inclusionary zoning. Therefore, the R-MU zoning does not need to mandate affordable housing as the community amenity to be provided.

Background

On September 29, 2017, Governor Brown signed 15 housing-related bills as part of a landmark housing package designed to respond to the State of California's housing crisis. The most significant bill, AB 1505, was adopted to legislatively override the Court's ruling in Palmer/Sixth Street Properties LP v. City of Los Angeles and allow cities to legally impose inclusionary housing requirements on rental units. Upon the recommendations of the Housing Commission and the Planning Commission, the City Council approved an update to the City's Below Market Rate (BMR) Housing Ordinance and BMR Housing Guidelines (collectively, BMR Program) to once again impose inclusionary requirements on rental housing throughout the city. As a result, both for-sale and rental residential developments of five or more units must include affordable units along with the market-rate units.

As part of the ConnectMenlo General Plan update, the City Council adopted new three new zoning districts, Residential Mixed Use (R-MU), Office (O) and Life Science (LS). Each of these three new zoning districts identified a base level of development and a bonus level of development that allowed increased density, floor area ratio and/or height in exchange for the voluntary provision of community amenities in an amount equal to 50 percent of the fair market value of the additional gross floor area of the bonus level development.

In the R-MU zoning district, which generally includes the property in the area of Menlo Gateway between Constitution Drive and Independence and Jefferson Drives, and the proposed approximate 59-acre Willow Village along Willow Road near Hamilton Avenue, the City Council prioritized the provision of affordable housing as the primary community amenity. Specifically, in the R-MU zoning district community amenities are to be provide in the following order:

1. A minimum of 15 percent of the total units on-site for affordable housing.
2. Affordable housing units up to 20 percent of the bonus level development.
3. Another amenity from the City Council adopted community amenities list (available at <https://www.menlopark.org/DocumentCenter/View/15009>).

The requirement for affordable units as a community amenity was in addition to the City's below BMR Program requirements.

City Council Study Session

On March 13, 2018, the City Council held a study session regarding impact of AB 1505 on the City's BMR Program and the community amenity requirements for bonus level development in the R-MU zoning district. The City Council directed staff to consider eliminating the 15 percent affordable housing community amenity requirement in the R-MU zoning district. There was, however, interest in preserving a preference for additional affordable housing beyond the inclusionary requirement. The City Council directed staff to pay special attention to whether there were disparate impacts on smaller property owners from any changes to the community amenity language. The City Council also directed staff to adjust the appraisal process in response to the changes in the community amenity requirements.

AB 1505 requires the City to provide an alternative to the provision of on-site inclusionary units, including payment of an in-lieu fee. As the goal of both inclusionary housing and the requirement for affordable housing at the bonus level is to generate units on-site as part of the project, the Council indicated a preference for requiring bonus level development applicants to build the inclusionary units on-site rather than paying a fee or utilizing an alternative means of compliance. Finally, the City Council directed that any update to the R-MU zoning should retain the preference for those who live in or have been recently displaced from the Belle Haven neighborhood.

Housing Commission

On April 11, 2018, the Housing Commission reviewed and unanimously recommended the proposed revisions to the R-MU zoning district. Per the City Council's direction, the Housing Commission paid special attention to smaller projects. The Housing Commission responded to five policy questions posed in the staff report regarding small projects (<https://www.menlopark.org/DocumentCenter/View/17125>), including interest in affordable housing at all income levels, and not just moderate, that affordable units should generally be incorporated into a development and not a stand-alone development, and that affordable housing policies should generally be applicable citywide and not limited to one district. Several Commissioners noted that small projects could be defined as 20 or 40 units, but in general, there was not consensus and the Commission did not provide any specific recommendation.

Analysis

Staff recommends the following revisions to Section 16.45.060, Bonus Level Development, of the R-MU zoning chapter with additions shown in underline and deletions shown in strike out:

As described in Section 16.45.070, as a threshold requirement for utilizing bonus level development~~the community amenity provided~~ in the residential mixed use-bonus (R-MU-B) zoning district, the applicant must ~~include the provision of~~ construct the below market rate units required pursuant to Chapter 16.96 on-site rather than utilizing an alternative means of compliance per Section 16.96.070, unless otherwise approved by the City Council a minimum of fifteen (15) percent of the total units on-site for affordable housing units for moderate, low, and very low income households, Any such units will be sold or rented with a preference for current or recently displaced Belle Haven residents, followed by the preferences provided in the City's Below Market Rate Housing Guidelines, ~~and commensurate with the city's regional housing need allocation distribution amongst the income categories at the time of a development application. Units for extremely low, very low, and low income may be substituted for any higher income categories requirement. This affordable unit requirement is in addition to the city's below market rate requirements per Chapter 16.96. If and when Chapter 16.96 becomes void or unenforceable, the community amenity provided must be a minimum of 15 percent of the total units on-site for affordable housing units in accordance with the City's Below Market Rate Housing Ordinance and Guidelines.~~

The edits to this section are intended to carry out the City Council's directions at the Match 13, 2018 study session. Language has been added to indicate that the inclusionary units, which are required pursuant to the City's BMR Program, must be provided on-site, unless otherwise approved by the City Council, with a preference for current or recently displaced Belle Haven residents. Because the preference for Belle Haven residents is specific to the R-MU zoning district, it is appropriate to include it here, rather than adding it to the BMR Guidelines which govern the preferences applicable to housing developed throughout the city. The requirement that the community amenity must be 15 percent of the total units for affordable housing has been deleted; as has the language that the community amenity affordable unit requirement is in addition to the inclusionary units required by the City's BMR Program. The final sentence has been added such that in the event the City's BMR Program becomes unenforceable again, the requirement for 15 percent affordable as a community amenity is retained.

The affordability of inclusionary units is governed by the BMR Guidelines. The BMR Guidelines have historically required the affordable units be set aside for low or very-low income households. The City Council recently adopted an update to the BMR Guidelines that created some flexibility, where appropriate, for other income categories commensurate with the City's Regional Housing Need Allocation. Given the update to the BMR Guidelines, there is no need for the specific language regarding of income level and distribution in the R-MU zoning language; it has been deleted.

In addition to modifications to Section 16.45.060, amendments are necessary to portions of Section 16.45.070, Community Amenities Required for Bonus Level Development. This report will focus only on those sub-sections where staff is recommending changes in response to the City Council's comments at the March 13, 2018 study session.

- (3) Value of Amenity. The value of the community amenities to be provided shall equal fifty percent (50%) of the fair market value of the additional gross floor area of the bonus level

development. The value shall be calculated as follows: The applicant shall provide, at their expense, an appraisal performed within ninety (90) days of the application date by a licensed appraisal firm that sets a fair market value in cash of the gross floor area of the bonus level of development ("total bonus"). The form and content of the appraisal, including any appraisal instructions, must be approved by the community development director. ~~The appraisal shall (A) first determine the total bonus without consideration of the community amenities requirement established under Section 16.45.070, and (B) second determine the change in total bonus with consideration of the fifteen percent (15%) affordable housing community amenity requirement ("affordable housing amenity value"). If the affordable housing amenity value is less than fifty percent (50%) of the total bonus value, the value of the community amenities to be provided in addition to the fifteen percent (15%) affordable housing is the difference between those two (2) numbers.~~

This subsection identifies how the value of the community amenities to be provided is calculated. The language has been simplified consistent with the appraisal process in the other two zoning districts (LS and O) in the Bayfront Area where there is no requirement that the community amenity be affordable housing. After AB 1505, the provision of 15 percent of the total units as affordable is a requirement. As it is no longer a community amenity, if the 15 percent affordable housing cost were netted out, the developer would be given credit for the inclusionary requirement and avoid being required to provide the appropriate level of community amenities but still get the benefit of the bonus level development. It should be noted that there could be a monetary impact as a result of the inclusionary requirement that the appraiser would factor into the analysis at the first step in the appraisal process. The suggested deletions remove the second and third steps in the appraisal process and ensure the City will receive the full value of community amenities.

The next edits reflect a change in the required form of the amenities.

(4) Form of Amenity. A community amenity shall be provided utilizing any one (1) of the following mechanisms:

(A) Include the community amenity as part of the project. As a threshold for utilizing bonus level development, any affordable housing required pursuant to Chapter 16.96 shall be The community amenity-designed and constructed on-site as part of the project; the applicant shall not be allowed to utilize an alternative means of compliance, unless otherwise approved by the City Council. ~~shall first be the provision of a minimum of fifteen percent (15%) of total units on site for affordable housing units (or with approval of the planning commission in another location) for moderate, low, and very low income households, with These affordable housing units shall be sold or rented with~~ a preference for current or recently displaced Belle Haven residents, followed by the preferences provided in the City's Below Market Rate Housing Guidelines, ~~and commensurate with the city's regional housing need allocation distribution amongst the income categories at the time of a development application, and The community amenity provided as part of the project shall be from the list of community amenities adopted by city council resolution, with a preference for including shall second be the provision of~~ additional affordable housing units, for example additional housing such that up to twenty percent (20%) of the development is affordable (15 percent inclusionary plus five percent additional affordable units), ~~or third the provision of another amenity from the list of community amenities adopted by city council resolution. Units for extremely low, very low and low income may be substituted for any higher income categories requirement.~~ The value of the community amenity provided shall be at least equivalent to the value calculated pursuant to the formula identified in subsection (3) of this section. Once any one ~~(1)~~ of the community amenities on

the list adopted by city council resolution has been provided, with the exception of affordable housing, it will no longer be an option available to other applicants. Prior to approval of final inspection for the building permit for any portion of the project, the applicant shall complete (or bond for) the construction and installation of the community amenities included in the project and shall provide documentation sufficient for the city manager or his/her designee to certify compliance with this section.

Like the language in Section 16.45.060, the edits to this subsection capture the threshold requirement to build the affordable units on-site as part of the project, unless otherwise approved by the City Council, with a preference for current or recently displaced Belle Haven residents. Flexibility relative to whether the units must be inclusionary or can be part of a stand-alone project when more than 15 percent of the total units are provided as affordable is addressed in City Council's recent update to the BMR Guidelines. The edits also state a preference for the community amenity to be additional affordable housing consistent with the original adopted language; however, it is a preference and is not mandatory. What remains mandatory is that the community amenity provided must be equivalent to the full community amenity value determined through the appraisal process.

One issue raised relative to the appraisal process is the potential for a disparate impact on smaller property owners. Staff consulted with BAE Urban Economics (BAE), the City's economic consultant, about providing proformas and calculations to show how the appraisal process would impact large landowners compared to smaller landowners to make sure there were no unintended consequences. BAE indicated that a complex financial analysis was unnecessary to address the City Council's concern. The appraisal process would address this concern in the way that comparable land sales are selected by the appraiser. For a small project on a small parcel, the appraiser would typically only select sales of like small properties to establish a base value and to value the bonus square footage. If there are any site-specific development constraints for the subject project that make it more expensive to develop in comparison with the sales comps, the appraiser would take that into consideration. In the end, small projects would generate a community amenity with a lower absolute dollar value. The concern may be that there is a higher fixed cost to undertaking and completing a small project compared to a large project and this would be true in most cases, whether or not there is a community benefit requirement. Bonus development, in fact, would enlarge the project allowing any fixed costs to be spread over a larger development envelope. Furthermore, the market would account for any project size effect in the pricing of small development parcels. Thus, based on staff's consultation with BAE, the concern about unintended consequences relative to smaller projects is best addressed through the appraisal process.

Notwithstanding the foregoing, the Planning Commission may wish to provide input regarding allowing smaller projects to provide all the affordable housing at the moderate income level. The recent update to the BMR Guidelines created flexibility by allowing the City Council to approve units from very-low to moderate income levels as long as the mix is roughly equivalent to the provision of all of the low income units. Although not explicitly stated in regard to small projects, this would allow a project to propose and obtain City Council approval to provide all moderate income units. However, if the policy direction of the Planning Commission is to provide a specific indication that projects of a defined smaller size should be specifically allowed to provide all moderate units, language could be prepared based on such a recommendation and provided to the City Council as a revision to the BMR Guidelines along with the proposed ordinance updating the R-MU zoning.

Impact on City Resources

Revisions to the R-MU zoning district are not anticipated to have any impact on City resources.

Environmental Review

This action is not a project within the meaning of the California Environmental Quality Act (CEQA) Guidelines Section 15378 and 15061(b)(3) as it will not result in any direct or indirect physical change in the environment. Furthermore, the City Council certified an Environmental Impact Report (EIR) for ConnectMenlo and related zoning ordinances, which included the R-MU zoning district. It is not anticipated that any changes in the zoning ordinance will fall outside the scope of the certified EIR. No further environmental review is necessary.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

- A. Draft Ordinance of the City Council of the City Of Menlo Park Amending Sections of Chapter 16.45 [R-MU Residential Mixed Use District] of Title 16 [Zoning] of the Menlo Park Municipal Code Regarding Community Amenities Required for Bonus Level Development

Report prepared by:
Leigh F. Prince, Assistant City Attorney

ORDINANCE NUMBER _____

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MENLO PARK AMENDING SECTIONS OF CHAPTER 16.45 [R-MU RESIDENTIAL MIXED USE DISTRICT] OF TITLE 16 [ZONING] OF THE MENLO PARK MUNICIPAL CODE REGARDING COMMUNITY AMENITIES REQUIRED FOR BONUS LEVEL DEVELOPMENT

The City Council of the City Menlo Park does hereby ordain as follows:

SECTION 1. FINDINGS AND DETERMINATIONS.

- A. The Below Market Rate (BMR) Housing Ordinance requires projects with 20 or more housing units to make 15 percent of those units affordable. As a result of the 2009 *Palmer/Sixth Street Properties LP v. City of Los Angeles* decision, the BMR Ordinance could no longer be applied to rental housing.
- B. In 2016, when the City Council adopted the Residential Mixed Use (R-MU) zoning district, the BMR Housing Ordinance did not apply to rental housing. The R-MU zoning district requires that to take advantage of bonus level development an applicant must provide community amenities, first in the form of 15 percent of the project's units as affordable.
- C. On September 29, 2017, Governor Brown signed a series of 15 housing related bills, including Assembly Bill (AB) 1505. AB 1505 was adopted to legislatively override the court's ruling in *Palmer* and allow cities to legally impose inclusionary housing requirements on rental units. As a result, requiring rental housing projects to provide 15 percent affordable units can be achieved through the BMR Housing Ordinance.
- D. The City Council of the City of Menlo Park finds and declares an amendment to Sections 16.45.060 and 16.45.070 of Chapters 16.96 of Title 16 is necessary for the reasons above.

SECTION 2. AMENDMENT OF CODE. Section 16.45.060 [Bonus level development] of Chapter 16.45 [R-MU Residential Mixed Use District] of Title 16 [Zoning] is hereby amended in its entirety to read as follows:

16.54.060 Bonus level development.

As described in Section 16.45.070, as a threshold requirement for utilizing bonus level development in the residential mixed use-bonus (R-MU-B) zoning district, the applicant must construct the below market rate units required pursuant to Chapter 16.96 on-site rather than utilizing an alternative means of compliance per Section 16.96.070, unless otherwise approved by the City Council. Any such units will be sold or rented with a preference for current or recently displaced Belle Haven residents, followed by the preferences provided in the City's Below Market Rate Housing

Guidelines. If and when Chapter 16.96 becomes void or unenforceable, the community amenity provided must be a minimum of 15 percent of the total units on-site for affordable housing units in accordance with the City's Below Market Rate Housing Ordinance and Guidelines.

SECTION 3. AMENDMENT OF CODE. Section 16.45.070 [Community amenities required for bonus level development] of Chapter 16.45 [R-MU Residential Mixed Use District] of Title 16 [Zoning] is hereby amended in its entirety to read as follows:

16.45.070 Community amenities required for bonus level development.

Bonus level development allows a project to develop at a greater level of intensity with an increase in density, floor area ratio and/or height. There is a reasonable relationship between the increased intensity of development and the increased effects on the surrounding community. The required community amenities are intended to address identified community needs that result from the effect of the increased development intensity on the surrounding community. To be eligible for bonus level development, an applicant shall provide one (1) or more community amenities. Construction of the amenity is preferable to the payment of a fee.

(1) Amenities. Community needs, specifically including affordable housing, were initially identified through the robust community engagement process generally referred to as ConnectMenlo. The City Council of the City of Menlo Park adopted by resolution those identified community needs as community amenities to be provided in exchange for bonus level development. The identified community amenities may be updated from time to time by City Council resolution. All community amenities, except for affordable housing, shall be provided within the area between U.S. Highway 101 and the San Francisco Bay in the City of Menlo Park. Affordable housing may be located anywhere housing is allowed in the City of Menlo Park.

(2) Application. An application for bonus level development is voluntary. In exchange for the voluntary provision of community amenities, an applicant is receiving a benefit in the form of an increased floor area ratio, density, and/or increased height. An applicant requesting bonus level development shall provide the city with a written proposal, which includes but is not limited to the specific amount of bonus development sought, the value of the amenity as calculated pursuant to subsection (3) of this section, and adequate information identifying the value of the proposed community amenities. An applicant's proposal for community amenities shall be subject to review by the planning commission in conjunction with a use permit or conditional development permit. Consideration by the planning commission shall include differentiation between amenities proposed to be provided on site and amenities proposed to be provided off site, which may require a

separate discretionary review and environmental review per the California Environmental Quality Act.

(3) Value of Amenity. The value of the community amenities to be provided shall equal fifty percent (50%) of the fair market value of the additional gross floor area of the bonus level development. The value shall be calculated as follows: The applicant shall provide, at their expense, an appraisal performed within ninety (90) days of the application date by a licensed appraisal firm that sets a fair market value in cash of the gross floor area of the bonus level of development ("total bonus"). The form and content of the appraisal, including any appraisal instructions, must be approved by the community development director.

(4) Form of Amenity. A community amenity shall be provided utilizing any one (1) of the following mechanisms:

(A) Include the community amenity as part of the project. As a threshold for utilizing bonus level development, any affordable housing required pursuant to Chapter 16.96 shall be designed and constructed on-site as part of the project; the applicant shall not be allowed to utilize an alternative means of compliance, unless otherwise approved by the City Council. These affordable housing units shall be sold or rented with a preference for current or recently displaced Belle Haven residents, followed by the preferences provided in the City's Below Market Rate Housing Guidelines. The community amenity provided as part of the project shall be from the list of community amenities adopted by City Council resolution, with a preference for including additional affordable housing units, for example additional housing such that twenty percent (20%) of the development is affordable (fifteen percent (15%) inclusionary plus five percent (5%) additional affordable units). The value of the community amenity provided shall be at least equivalent to the value calculated pursuant to the formula identified in subsection (3) of this section. Once any one of the community amenities on the list adopted by City Council resolution has been provided, with the exception of affordable housing, it will no longer be an option available to other applicants. Prior to approval of final inspection for the building permit for any portion of the project, the applicant shall complete (or bond for) the construction and installation of the community amenities included in the project and shall provide documentation sufficient for the city manager or his/her designee to certify compliance with this section.

(B) Payment of a fee. If the city adopts an impact fee that identifies a square foot fee for community amenities, an applicant for the bonus development shall pay one hundred twenty percent (120%) of the fee;

provided, that the fee adopted by the city council is less than full cost recovery and not less than the total bonus value less the affordable housing amenity value as calculated pursuant to subsection (3) of this section.

(C) Enter into a development agreement. An applicant may propose amenities from the list adopted by city council resolution to be included in a development agreement. The value of the amenities included in the development agreement shall be at least equivalent to the value calculated pursuant to the formula identified in subsection (3) of this section. Timing of the provision of the community amenities shall be agreed upon in the development agreement.

SECTION 4. SEVERABILITY. If any section of this ordinance, or part hereof, is held by a court of competent jurisdiction in a final judicial action to be void, voidable or unenforceable, such section, or part hereof, shall be deemed severable from the remaining sections of this ordinance and shall in no way affect the validity of the remaining sections hereof.

SECTION 5. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION. This action is not a project within the meaning of the California Environmental Quality Act (CEQA) Guidelines Section 15378 and 15061(b)(3) as it will not result in any direct or indirect physical change in the environment. Furthermore, the City Council certified an Environmental Impact Report (EIR) for ConnectMenlo and related zoning ordinances, which included the R-MU zoning district. It is not anticipated that any changes in the zoning ordinance will fall outside the scope of the certified EIR. No further environmental review is necessary.

SECTION 6. EFFECTIVE DATE AND PUBLISHING. This ordinance shall take effect 30 days after adoption. The City Clerk shall cause publication of the ordinance within 15 days after passage in a newspaper of general circulation published and circulated in the city or, if none, the posted in at least three public places in the city. Within 15 days after the adoption of the ordinance amendment, a summary of the amendment shall be published with the names of the council members voting for and against the amendment.

INTRODUCED on the __ day of _____, 2018.

PASSED AND ADOPTED as an ordinance of the City of Menlo Park at a regular meeting of said Council on the __ day of _____, 2018, by the following vote:

AYES: Councilmembers:

NOES: Councilmembers:

ABSENT: Councilmembers:

ABSTAIN:

Councilmembers:

APPROVED:

Peter I. Ohtaki
Mayor, City of Menlo Park

ATTEST:

Judi Herren
City Clerk



STAFF REPORT

Planning Commission

Meeting Date:

5/7/2018

Staff Report Number:

18-046-PC

Regular Business:

Planning Commission Chair and Vice Chair

Selection: May 2018-April 2019

Recommendation

Staff recommends that the Planning Commission select a Chair and Vice Chair for the term of May 2018 through April 2019.

Policy Issues

City Council Policy CC-01-0004 "Commissions/Committees Policies and Procedures and Roles and Responsibilities" states that each Commission shall annually rotate its Chair and Vice Chair. The policy does not provide any particular guidance for these selections, although staff would note that the Planning Commission has historically appointed Commissioners that have served the longest without being Chair or Vice Chair, with any tiebreakers going to a Commissioner whose term is expiring first. However, these are not requirements.

Background

The Planning Commission last selected a Chair and Vice Chair on May 8, 2016, with Commissioners Combs and Kahle being appointed to those roles, respectively. Commissioner Kahle's term concluded after the April 23, 2018 Planning Commission meeting.

Analysis

The Commission should seek nominations for the position of Chair and Vice Chair in two separate motions. Each position needs to receive a majority of votes of a quorum present and voting. The Chair and Vice Chair selected would serve through April 2019, or possibly through part of May, depending on when the City Council makes appointments for any expiring Commission seats.

The Chair and Vice Chair should both have a basic familiarity with typical meeting rules of order, although this does not require any specialized training; most Commissioners have likely absorbed these procedures through their membership on the Commission, and staff will always provide support. Ideally, the Chair and Vice Chair should not share specific conflicts-of-interest.

For reference, Table 1 on the following page summarizes the service to date of each Commissioner, with a sorting that reflects the Commission's typical past selection practices.

Table 1: Planning Commission Appointment/Chair History				
Commissioner	Date Appointed	Previously Served as Chair	Term Expiration	Eligible for Reappointment when Current Term Expires
Goodhue	May 2015	No	April 2019	Yes
Barnes	May 2016	No	April 2020	Yes
Riggs	May 2016 (separately served 2005-2014)	Yes - September 2008-December 2009 (not in current service period)	April 2020	Yes
Kennedy	May 2018	No	April 2022	Yes
Onken	October 2012; Reappointed May 2015	Yes - May 2015-April 2016	April 2019	No
Strehl	April 2013; Reappointed April 2017	Yes - May 2016-April 2017	April 2021	No
Combs	April 2014; Reappointed April 2018	Yes - May 2017-April 2018	April 2022	No

Impact on City Resources

Selection of a Chair and Vice Chair does not have any impact on City resources.

Environmental Review

Selection of a Chair and Vice Chair is not considered a project under the California Environmental Quality Act (CEQA), and thus does not require any environmental review.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting.

Attachments

None

Staff Report #: 18-046-PC

Report prepared by:
Thomas Rogers, Principal Planner

Report reviewed by:
Mark Muenzer, Community Development Director