



REGULAR MEETING AGENDA

Date: 9/17/2018
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

B. Roll Call

C. Reports and Announcements

Under “Reports and Announcements,” staff and Commission members may communicate general information of interest regarding matters within the jurisdiction of the Commission. No Commission discussion or action can occur on any of the presented items.

D. Public Comment

Under “Public Comment,” the public may address the Commission on any subject not listed on the agenda, and items listed under Consent Calendar. Each speaker may address the Commission once under Public Comment for a limit of three minutes. Please clearly state your name and address or political jurisdiction in which you live. The Commission cannot act on items not listed on the agenda and, therefore, the Commission cannot respond to non-agenda issues brought up under Public Comment other than to provide general information.

E. Consent Calendar

- E1. Approval of minutes from the August 27, 2018, Planning Commission meeting. ([Attachment](#))

F. Public Hearing

- F1. Use Permit and Variance/Mark Milani/1346 Hoover Street:
Request for a use permit to demolish an existing detached garage, and construct an addition to an existing nonconforming single-family residence, consisting of an attached two-car garage and a second story with a second dwelling unit. The proposal includes a variance request to modify the left side setback to five feet (where 10 feet is required) for the new addition of the garage and the second unit above. The proposal also includes a request to modify the balcony setback to five feet (where 10 feet is required) for an entry landing for the second floor unit. The subject parcel is a substandard lot with respect to lot area and width in the R-3 (Apartment) zoning district. ([Staff Report #18-078-PC](#))
- F2. Use Permit/Ravinder S. Sethi/933 Hermosa Way:
Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence with an attached two-car garage on a substandard lot with

respect to lot width, depth, and area in the R-E (Residential Estate) zoning district. ([Staff Report #18-079-PC](#))

- F3. Use Permit Revision and Variance/Christina Courtney/904 Harmon Drive:
Request for a use permit revision and variance to rebuild nonconforming walls in the required rear setback and exceed 100 percent of the replacement value of the existing nonconforming structure in a 12-month period. The subject parcel is located in the R-1-U (LM) (Single-Family Urban Residential, Lorelei Manor) zoning district. ([Staff Report #18-080-PC](#))

G. Regular Business

- G1. Architectural Control/Oak Grove LP/855 Oak Grove Avenue:
Request for architectural control to modify the exterior of an existing two-story office building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The proposed exterior changes would include replacing the existing building rock veneer and wood window trim with cement plaster, replacing the roof eave soffits and fascia with natural wood siding, and replacing the front entry with an accessible sloped walk and stairway. The courtyard and the entry to the courtyard would also be redesigned, and the existing concrete and tile fountain would be restored. ([Staff Report #18-081-PC](#))

H. Study Session

- H1. Architectural Control and Major Subdivision/Vasile Oros/706-716 Santa Cruz Avenue:
Study Session on a request for architectural control for the demolition of an existing commercial building and the construction of a new three-story mixed use building with a below ground parking lot, retail and parking on the first floor, office on the second floor, and office and four residential units on the third floor in the SP-ECR/D (El Camino Real Downtown/Specific Plan) zoning district. The project includes a request for a major subdivision to create six parcels including four residential units, one commercial/retail unit, and one office unit, and a Below Market Rate (BMR) housing agreement for compliance with the City's below market rate housing program. Removal of one on-street parking space on Chestnut Street would be required to meet fire access requirements. As part of the proposed project, two heritage trees would be removed: one on-site tree located in the parking lot at the rear of the property and one street tree on Chestnut Street. ([Staff Report #18-082-PC](#))

I. Informational Items

- I1. Future Planning Commission Meeting Schedule – The upcoming Planning Commission meetings are listed here, for reference. No action will be taken on the meeting schedule, although individual Commissioners may notify staff of planned absences.
- Regular Meeting: October 8, 2018
 - Regular Meeting: October 22, 2018
 - Regular Meeting: November 5, 2018

J. Adjournment

Agendas are posted in accordance with Government Code Section 54954.2(a) or Section 54956. Members of the public can view electronic agendas and staff reports by accessing the City website at www.menlopark.org and can receive e-mail notification of agenda and staff report postings by subscribing to the "Notify Me" service at menlopark.org/notifyme. Agendas and staff reports may also be obtained by contacting the Planning Division at 650-330-6702. (Posted:

09/13/2018)

At every Regular Meeting of the Commission, in addition to the Public Comment period where the public shall have the right to address the Commission on any matters of public interest not listed on the agenda, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during the Commission's consideration of the item.

At every Special Meeting of the Commission, members of the public have the right to directly address the Commission on any item listed on the agenda at a time designated by the Chair, either before or during consideration of the item.

Any writing that is distributed to a majority of the Commission by any person in connection with an agenda item is a public record (subject to any exemption under the Public Records Act) and is available for inspection at the City Clerk's Office, 701 Laurel St., Menlo Park, CA 94025 during regular business hours.

Persons with disabilities, who require auxiliary aids or services in attending or participating in Commission meetings, may call the City Clerk's Office at 650-330-6620.



REGULAR MEETING MINUTES - DRAFT

Date: 8/27/2018
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Susan Goodhue called the meeting to order at 7:02 p.m.

B. Roll Call

Present: Andrew Barnes (Vice Chair), Drew Combs, Susan Goodhue (Chair), Camille Kennedy, John Onken, Henry Riggs, Katherine Strehl

Staff: Fahteen Khan, Contract Planner; Kyle Perata, Acting Principal Planner; Matt Pruter, Associate Planner; Thomas Rogers, Principal Planner; Tom Smith, Senior Planner

C. Reports and Announcements

Principal Planner Thomas Rogers said the City Council at its August 28 meeting would hear an ordinance introduction for EV Chargers that would enhance and strengthen the requirements. He said the Council would also hear an appeal filed by the Draeger's family of the 840 Menlo Avenue mixed-use project on what used to be Draeger's loading dock at Evelyn and Menlo Avenues that the Planning Commission had approved and the associated loading zone changes.

Principal Planner Rogers said beginning with the next Planning Commission meeting that Acting Principal Planner Kyle Perata would serve as staff liaison to the Commission. He said with recent personnel changes that some roles were changed, and he would be the project manager for the City's new permit system development.

D. Public Comment

There was none.

E. Consent Calendar

- E1. Approval of minutes from the August 13, 2018 Planning Commission meeting. ([Attachment](#))

Commissioner Henry Riggs said he had a change on page 2 in the sixth paragraph, to read: *Commissioner Riggs noted **two other** areas in the City that volunteers had planted with drought resistant plants and kept clean of trash.*

ACTION: Motion and second (Riggs/Katherine Strehl) to approve the minutes of August 13, 2018 with the following modification; passes 6-0 with Commissioner Camille Kennedy abstaining.

Page 2, 6th paragraph, 1st line, to read: *Commissioner Riggs noted **two other** areas in the City that volunteers had planted with drought resistant plants and kept clean of trash.*

F. Public Hearing

- F1. Use Permit/Yui-Tak Lee/341 Terminal Ave/
Request for a use permit to demolish an existing one-story single-family residence and construct a new two-story single-family residence and a detached secondary dwelling unit on a substandard lot with respect to width in the R-1-U (Single Family Urban Residential) zoning district. ([Staff Report #18-075-PC](#))

Staff Comment: Contract Planner Fahteen Khan said staff had no changes to the written report.

Applicant Presentation: Ivan Mak, project architect and applicant, said the design of the primary and secondary dwelling unit (SDU) was intended to respect neighbors.

Commissioner John Onken said a note on the elevations referred to drawing A2 for windows specifications but no A2 was provided. Mr. Mak said that A2 was intended to be included for the building permit application. He said they were proposing vinyl windows. He confirmed for Commissioner Onken that the windows would be divided. Commissioner Onken noted that the Commission should see such specifications to know what materials were being proposed.

Commissioner Riggs confirmed with Mr. Mak that he was not a licensed architect and reminded him that he should introduce himself as a project designer and not project architect.

Chair Goodhue opened the public hearing and closed it as there were no speakers.

Commission Comment: Commissioner Onken said the house design was not objectionable noting the quality of the materials to be used was important information for the Commission in its decision making. He said for instance they would want to see windows that were either clad or true divided lights.

Commissioner Andrew Barnes said he was generally fine with the overall project but had three areas he would like consideration of modifications. He said the garage was a pronounced feature on the front elevation. He said he would like windows on the garage door noting the buildings to the immediate left, right and across the street of the subject property had glazing in the garage door. He asked about the prominence of the pavers in front of the house noting staff had also raised some concern about that.

Mr. Mak said they would create some design with the paving using different colors to create interest. He said they were proposing landscaping in the middle of the turnaround.

Commissioner Barnes noted that facing the home on the right was the parking space for the secondary dwelling unit (SDU) and on the left was the garage access. He suggested putting the SDU parking space as a tandem space in front of the garage. Mr. Mak said that was acceptable. Commissioner Barnes said that would mean removal of pavers on the left side and opening that for landscaping. He said he would like to see the amount of hardscape at the front decreased and non-hardscape increased.

Commissioner Barnes said with windows in the garage door, increased non-hardscape in the front and satisfactory window specifications for the homes that he was fine with the project.

Commissioner Riggs said he shared the concerns expressed by other Commissioners. He said the Commission approval of residential projects depended on the use of true or simulated true divided light windows and it hesitated on the use of vinyl clad windows. He said the Commission had been convinced of the use of newer and more modern vinyl clad windows having a narrower sash. He said he could support the project if the plans identified using that type of window. He said that stucco as the cheapest building material should be balanced with nice forms and some nicer building materials for the sake of the property owners and neighbors. He said grouping three windows together did not take advantage of forms and having all hip roofs did not take advantage of any vertical motion. He said putting stone or tile trim on the front only was a façade and the sides of the home would visibly lack such trim. He suggested the applicant reconsider the window grouping, roof forms to perhaps at least modify one of the hip roofs to a gable end, show the Commission the quality of windows intended, and confirming if using divided lights that they were simulated true divided lights. He recommended the project design get an upgrade.

Mr. Mak said he thought the property owners were okay with upgrading from the vinyl clad to wood clad windows. He said regarding the smooth stucco finish they were adding elements in the front with the foyer entry creating interest. He said he would relook at the roofs to see how they could be made more interesting without adding significant increase to the construction costs.

Commissioner Riggs said he did not object to smooth stucco but just encouraged efforts to balance that with interest. He said he did not object to vinyl clad windows if they were the narrower frame and the upgraded ones now being manufactured. Mr. Mak said they would agree to that.

Commissioner Onken referred to sheet A4 that showed the garage peak at 12-foot seven-inches, noting that the side elevations showed a much higher roof. Mr. Mak said the house roof was higher than the garage roof. Commissioner Onken said the elevation on number one showed where the peak of the garage was and then on number two showed the ridge of the garage being much taller. Mr. Mak said it would be level with front elevation number one. Commissioner Onken said the same for number four. He asked on number four if the windows in the middle were on the ground floor. Mr. Mak confirmed that they were. Commissioner Onken said the windows were shown up by the roof. Mr. Mak said the roof sloped and the windows were on the ground floor.

Commissioner Onken moved to continue the project.

Commissioner Strehl said no trees were proposed in the landscaping. Mr. Mak said they could do that. Commissioner Strehl said that should be included in the plans. She said she agreed with comments made about the windows and they needed to see more details about them. Replying to her, Mr. Mak said the SDU would have an efficiency sized washer and dryer. Commissioner Strehl said she agreed with the observation about having the SDU tandem parking with the garage to reduce the number of pavers in the front. Replying to her, Mr. Mak said the pavers were pervious.

Commissioner Strehl said she would not second Commissioner Onken's motion, but she was inclined to having the project continued and returned with more detail.

Commissioner Kennedy said she generally agreed with Commission comments. She said another concern was it was a very large stucco home surrounded in an island of pavers with no landscaping. She seconded the motion to continue the project.

Commissioner Drew Combs said that a number of homes in this area had front yards that were hardscaped in a fair amount, if not completely, and undoubtedly related to the ban on overnight street parking. He asked if the City had any clear regulations about hardscaping a front yard. Principal Planner Rogers said the zoning districts applicable to single-family homes did not have any explicit paving limits. He said the City did have a municipal code regarding limits on parking in front yards that was parking based and not paving based. He said for projects going through a use permit approval there was an overall site approval associated with that. He said if the site layout were to change in the future, enforcement was largely complaint based.

Commissioner Combs said he supported the motion. He said the project needed more attention to detail and quality. He said he recognized the cost factor, but the Commission needed more information on the materials to be used and the design aspects that were unclear in the plans.

Commissioner Riggs said the use of stucco was not a problem and was cost-efficient, but the forms and details used with it were what would make it work. He noted a home across the street from the subject site that was a one-story stucco home with simple form, good quality materials and no problems with its roof lines.

Commissioner Strehl suggested if the motion was supported to provide more specific direction to the applicant and to include a landscape plan to provide the Commission more detail when the project returned.

Chair Goodhue asked about regulations and/or impacts of having two curb cuts. Principal Planner Rogers said the zoning ordinance did not specify anything regarding that but a section of the municipal code limited curb cuts to no less than 22 feet apart, which he believed was intended to allow for at least one parking space. He said otherwise that was more of an aesthetic and holistic concern for the Commission. He said they routed the proposal to the City's Engineering Department and there were no technical issues with the proposal.

ACTION: Motion and second (Onken/Kennedy) to continue the item with key direction, including the following; passes 7-0.

- Enhance overall quality of materials proposed
- Improve quality of windows, perhaps by using wood-clad windows; if vinyl windows are still proposed, specify a high-quality window (i.e., call out a specific brand/model of window, for staff/Commission evaluation)
- Specify use of simulated divided light windows, which feature grids on the interior and exterior, as well as a spacer bar
- Extend trim elements (e.g. tile and/or stone) farther around building corners, at least until fencing/landscaping would obstruct views
- Consider adding windows on the garage door
- Reduce hardscape/front yard paving; consider removing SDU parking from the right-hand side of the property and relocating that space to park in tandem in front of the garage, which would allow the right-side driveway and paving to be removed entirely
- Generally increase the proposed landscaping, including the addition of trees

- Provide a detailed landscape plan
- Reconsider window grouping
- Given the amount of stucco used that the building forms, details, and roof design should be improved; regarding roof forms that changing one or more hip ends to gables may be worth considering
- Correct garage ridge height inconsistencies on the elevations and clarify how the windows for bedroom #1 interact with the eave element above them

F2. Use Permit/Church of the Pioneers Foundation/900 Santa Cruz Avenue:
Request for a use permit to operate a religious facility containing office, administrative, and educational uses and youth activities inside a former bank building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. No church services would be conducted on site. Limited activities would be held outside of the building. The applicant had also requested to hold up to four special events for church administrative purposes per year, but the applicant has eliminated this component of the proposal. ([Staff Report #18-076-PC](#))

Staff Comment: Associate Planner Matt Pruter said staff had no additions to the written report.

Applicant Presentation: Bill Frimel, Menlo Park, said he was Vice President and Chief Financial Officer for the Church of the Pioneers Foundation. He said part of the use permit request was to allow for limited activities in the building's outside parking lot. He said the Church of the Pioneers Foundation bought the 900 Santa Cruz Avenue property in 2010 from Bank of the West and has rented it to Menlo Church for eight years as a student center. He said Menlo Church was a religious organization with a congregation of 4,000 members. He said through their outreach programs they were a major source of community assistance. He said their youth program provided a healthy environment for youth and was open to all youth and highlighted the Bank Hang afterschool program on Wednesday afternoons.

Mr. Frimel noted the location had received a noise complaint via the building owner of a neighboring property from a tenant. He noted that this was the only such complaint during the eight years the building programs had operated. He said to address and minimize inconvenience they had applied remedies that included limiting all amplified music to indoors only, removing all basketball backboards, and prohibiting all outside groups from using the parking lot for off street impromptu soccer and basketball games. He said indoor amplified music was limited to Wednesdays between 2:30 and 4:00 p.m. and Sunday mornings 9:30 to 10 a.m., Sunday evenings 4:00 to 4:30 p.m. and 5:30 to 6:00 p.m.

Mr. Frimel said Menlo Park Enforcement Officers had observed the Bank Hang activities on different occasions. He said an officer stated that the noise ordinance was not violated, and complimented staff for providing an outstanding program to students. He said they had received support from neighbors including five support letters from psychiatrists specializing in adolescence and other letters from residents, parents, students and the Chamber of Commerce. He said one psychiatrist, Michael Laughran, who was unable to attend tonight's hearing asked that his letter be read to the Commission.

Chair Goodhue opened the public hearing.

Public Comment:

- Debbie Hall, Menlo Park, said she would read the letter from Michael Laughran, PhD that Mr. Frimel mentioned: *I am a psychoanalyst with a private psychotherapy practice on University Drive specializing in the intensive treatment of adolescents with a range of disorders. Additionally, I am on the faculty at the San Francisco Center for Psychoanalysis and clinical faculty at Child Psychiatry at Stanford (where he has taught for over 30 years). I write to express my enthusiastic support for the Center and the enormous benefit this student program is providing middle school students. I work every day with kids who are really struggling with the tremendous pressures in local families and schools. I know the help this Center provides these young people by providing a safe and positive environment where they can feel that someone cares for them and that they matter. The Center provides wonderful support but serves as well with early intervention by caring adults. I personally have known a few individual middle school students whom the staff was able to direct for help when they were in crisis. There are so few such places where kids can find anything like what the Student Center offers. I see kids out there all the time enjoying themselves, their friends and the staff. I can't imagine in such an ideal location among other church buildings that they disturb anyone. Please let me know if there is anything else I can do to support your efforts to resolve this relatively minor complaint against such a worthy organization. Thank you.* [Signed by Michael Laughran, PhD]
- Sam Wright, Menlo Park, said his family owned the three office buildings immediately adjacent to 900 Santa Cruz Avenue. He said the buildings were fully occupied by local businesses. He said they supported the youth program, which was a wonderful service to the community. He said that existing and prospective tenants however were very much opposed to the noise and disruption coming from the Student Center. He said these tenants were about 20 feet away from the parking lot of 900 Santa Cruz Avenue and voiced that it was impossible to do business at the location. He said one of the conditions of the use permit proposed was that amplified music would only be played with the doors and windows closed. He said that glass did not stop noise. He suggested using some standard verifiable standard such as how many decibels or how much noise could be emitted. He said the use permit also indicated that no sports would be allowed outside. He said he circulated a photo of a vehicle parked yesterday at the 900 Santa Cruz Avenue site that was being decorated. He said that there should not be any outdoor activities in the parking lot as those produced noise. He said it was indicated the use permit should be reviewed in five years, which he thought was too long. He said it was an experiment and suggested seeing how it went for one school year, and then have the use permit reviewed. He asked how the program was monitored. He asked how the number of youth and noise level was monitored.
- Susan Bird, Menlo Park, said she was representing Safe Place, a youth mental health organization located in Menlo Park. She gave a brief review of what the organization did. She said a survey of 200 parents and 250 kids asking them to prioritize the needs in the community found the top five in 50 common responses were more places for young teens to go to after school. She said her two daughters attended a Thursday, after middle school program and teen activities on Sundays at the Church. She said one of the biggest rewards of those activities was communicating with a variety of kids from different schools, and not just the school they attended. She said it would be very sad to take away existing youth programs as there was a need to add more of them. She said the hours were minimal and included Sundays when office businesses typically did not operate. She said she thought having these groups brought the downtown more business than what it would be without those programs.

- Sheriene Saadati, unincorporated Menlo Park, said her children attended Menlo Park Presbyterian Church and all the programs in the Youth Center. She said as a parent she very much supported the youth center, noting she had volunteered there. She said the programs were structured to have an element of play and music but also the element of talking face to face. She said the youth talked about real issues such as cutting, suicide and drugs. She said these youth have a place where they can discuss such things using a group leader. She said also they have a referral system so the children could get help. She asked that the Commission consider the positive impact the Center had on youth in the community, and on their parents and the community.
- Brett Koerten said he was not an architect for the record. He said he worked for the Church and lived in Menlo Park. He said their intent and hope was to create a space for every student regardless what religion, race, ethnicity, or socio-economic status to which they belonged. He said the events at 900 Santa Cruz Avenue were made and done with that purpose. He said adults were at all the events and knew the pressures and stress that students were experiencing every day. He said the car mentioned was one that had died and was donated with the message to let students have fun with it. He said the kids painted it. He said he still had the image of one student who had been going through tough times with his family. He said he had never seen the boy smile until that day painting the car and he smiled the whole hour.
- Sydney Cheek said she was a Menlo Park student. She said the Bank had meant much to her and other students as it provided a safe place for anyone and everyone to hang out. She said there were not a lot of places for students to hang out at after school. She said through the Center's generosity she had met some of her closest friends and deepened relationships. She said the staff was there for her during rough patches and mentored her. She said the Center was a place where students were known, fully accepted and always welcomed. She said one very helpful activity was Study Night at which Stanford PhD students and other highly educated leaders helped students prepare for finals, while providing snacks and a change of scenery for studying.
- Julie Ohtaki, Menlo Park, said the youth activities provided by the Church should be permitted.
- Fran Dehn, Chamber of Commerce, said they submitted a letter of support for this application earlier in April. She said they found that Menlo Church and the Church of the Pioneers Foundation provided significant benefit throughout the community with a variety of programs and services. She said their youth programs were inclusive, well attended, and provided safe, valued alternatives for afterschool recreation and social development. She requested the Commission look to them to work with the neighbors to resolve concerns and find a balance by which to approve the project.

Chair Goodhue closed the public hearing.

Commission Comment: Commissioner Strehl asked if the program outreach extended to students in the Belle Haven area, east of Highway 101.

Recognized by the Chair, Mr. Koerten said they welcomed students from all schools. He said typically students from Hillview came on Wednesday afternoon as their school was the closest, but

the program was open to students from any school. Replying further to Commissioner Strehl, Mr. Koerten said that they had Belle Haven students in the program.

Commissioner Kennedy noted the properties were commercial and asked about noise ordinance regulations. Principal Planner Rogers said the core portions of the noise ordinance were based on noise at residential properties. He said to his knowledge there was not a noise ordinance violation unless there was a residential unit making such a claim.

Replying to Commissioner Barnes, Associate Planner Pruter said a neighboring commercial property had made a noise complaint during standard business hours in the afternoon around the time the Bank Hang occurred. Commissioner Barnes noted conditioned use of amplification and asked about other like and similar uses in the City having amplified noise. Principal Planner Rogers said another example was the Menlo Church facility at 704 Santa Cruz Avenue located behind the ACE Hardware store. He said it had similar noise-based complaints due to band-type activities. He said that the Church had to get a use permit revision. He said the condition for the use permit recommended here was very similar to what was done for the other permit. He said he agreed with one speaker that closing doors and windows did not prevent noise or vibration entirely, but it did seem to limit the complaints for the 704 site. Commissioner Barnes asked if the amplified noise was occurring primarily during the Bank Hang hours and not at other times. Associate Planner Pruter said that was accurate. He said as the applicant stated there was some amplified sound they were hoping to continue through the weekend for their various church activities on Sunday.

Commissioner Onken said the constraints of the proposed conditions and the hours of operation seemed so specific and somewhat punitive that he thought the only other option would be to not allow children on the site at all. He said further limiting on the site would not be productive at all.

Commissioner Combs asked who would monitor compliance with the proposed conditions. Associate Planner Pruter said the application if approved had conditions of approval to be honored by the applicant. He said enforcement of the conditions was complaint driven. He said if a complaint was received that the conditioned capacity was exceeded or for noise or anything that conflicted with the conditions that would be reviewed by the City. He said also a code enforcement issue would come to their attention. Commissioner Combs said the neighboring property owner suggested a shorter permit term. He asked what staff's stance would be on a shorter term.

Associate Planner Pruter said typically five years had been the term and referred to the 704 Santa Cruz Avenue use permit as an example. Principal Planner Rogers said that a one-year term was appropriate when a use was completely new and there was no real sense of how it might work out in practice. He said in this instance they inadvertently had a trial period so there were some outlines of how the non-permitted operations went and a basis for the conditions. He said that provided them confidence that the five years was a suitable time period. He said another example was when the Off the Grid food truck proposal came forward and community pressure was pushing for a less than one-year term. He said that applicant indicated that anything less than one year was not worth his while to try. He said the Commission approved the one-year term but asked for a six-month check in through a public hearing process. He said in that instance most people loved the use and after the one year, the Commission approved a five-year term. He said potentially with this use they might allow for a five-year term with a requirement to have a public check in at the Commission at one year to give people a voice and to present evidence.

Commission Kennedy confirmed the prior bank use had a drive through banking window. She commented on the disparity that the noise and exhaust of cars using a bank five days a week was not as bad for neighbors as the ambient noise from a one day a week youth activity for an hour and a half. She referred to Ms. Dehn's commentary to make things work but it seemed to put tremendous pressure on the property to really be just silent when the property was zoned commercial and would have business occurring all day long.

Commissioner Barnes noted the prescriptive number of people allowed in the building and asked how those numbers were determined. Associate Planner Pruter said the applicant clarified each day's events and projected the number of people they wanted specifically for each day. He said their intention was to cap the number of people for the activities in the building. Commissioner Barnes confirmed that the applicant was comfortable with those conditions and did not consider them restrictive. He said he was having a hard time seeing why a conditional use permit would not be granted for this use in this facility noting the identification of the amount of time this would take place. He said there were code enforcement mechanisms to address noise. He said he respected the rights of the adjacent property owner, but he thought the application was a use that warranted a conditional use permit. He said the scope of impact to the adjacent businesses was acceptable as conditioned.

Commissioner Strehl said with the concerns of the surrounding business owners for this use she would be more comfortable with a one-year use permit.

Commissioner Riggs said the applicant had addressed the noise complaint including that amplified sound and the sports games in the parking lot had ceased. He said there was no effective noise ordinance in the commercial district. He noted code enforcement staff size and response time and suggested another level was needed. He said he thought a one-year check in with the Commission on this use permit was necessary. He said he was concerned about Wednesday afternoon and how many of the children there would be biking home. He noted the pickup zone and asked if there was any concern it was in a lot at the corner of University Drive and Santa Cruz Avenues rather than at 111 University Drive. He moved to approve the use permit as recommended in the staff report with adding a requirement for a one-year check in before the Planning Commission.

Commissioner Onken asked staff to confirm that a change in use was not being requested and was a conditional use for a limited time for an existing commercial bank building. He said if this was an actual change in use from retail to assembly there would be code upgrades. He asked if there were any building code concerns with this occupancy. Associate Planner Pruter said the City Building Official had reviewed the plans and project description and was comfortable with the proposal from the Building Division perspective.

Commissioner Onken noted that on three days of the week that the use was limited to seven people on the site. He said one Commissioner visiting the site to see if they were compliant would create a code violation. He said he supported increasing the Thursday, Friday and Saturday number of people allowed at the site. He said with the tightly constrained conditions and an opportunity to review the use permit that he would support the application.

Commissioner Strehl asked to clarify on a one-year check in if there were noise complaints or whatever whether the use permit would be revoked, or whether it was a one-year use permit reviewed after one year and then moving ahead with a longer term. She said she would

recommend the latter or perhaps make that her motion. Chair Goodhue noted the motion on the table.

Commissioner Barnes said he was inclined to vote for a five-year use permit with a one-year check-in. He said he wanted clarification on what the check-in would entail, the administrative impact of that, and the basis of disapproval going forward.

Commissioner Riggs said to clarify his motion that in one year a hearing would be scheduled before the Planning Commission. He said that hearing would allow for complaints. He said his fear was without a hearing it would very difficult to find the resolve to withdraw the use permit if justified. Chair Goodhue clarified with Commissioner Riggs that he was recommending approving the five-year use permit with a requirement for a one-year check-in. Commissioner Riggs said holding a hearing in one year had the potential for revocation of the use permit if the Planning Commission heard such serious complaints.

Commissioner Combs seconded Commissioner Riggs' motion.

Commissioner Barnes confirmed the motion was to approve a five-year use permit with a one-year check-in. He referred to Commissioner Onken's comment about allowing for a higher number of allowable people on the site noting he supported doing that. Commissioner Onken said he would support changing the motion to specify that on Thursday, Friday, and Saturday 20 people instead of 7 people would be the cap.

Chair Goodhue stated that the motion, noting Commissioner Riggs acceptance of the modification suggested by Commissioners Barnes and Onken, was to grant the five-year use permit with a one-year check-in and to increase the seven people restriction to 20 people on any day other than the Wednesday specified program and on Sundays.

Commissioner Combs as the maker of the second accepted the change to the motion.

ACTION: Motion and second (Riggs/Combs) to approve the item with the following modifications; passes 7-0.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.
2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
3. Approve the use permit subject to the following **standard** conditions:

- a. Development of the project shall be substantially in conformance with the plans prepared by Church of the Pioneers Foundation, consisting of three plan sheets, dated received July 2, 2018, and the project description letter dated August 21, 2018, and approved by the Planning Commission on August 27, 2018, except as modified by the conditions contained herein, subject to review and approval of the Planning Division.
4. Approve the use permit subject to the subject to the following **ongoing, project-specific** conditions:
 - a. The building on site shall be limited to the following days and times of operation:
 - i. Sunday – Saturday: 8:00 am – 9:30 pm
 - b. Attendance shall be limited as follows:
 - ii. Sunday: 100 people
 - iii. Monday: 20 people
 - iv. Tuesday: 20 people
 - v. Wednesday: 150 people, between the hours of 2:30 pm – 4:00 pm only; otherwise, 20 people during other hours of operation
 - vi. Thursday, **Friday, and Saturday: 7 20** people
~~vi. Friday – Saturday: 7 people~~
 - c. Youth programs shall be limited to Wednesdays and Sundays. Attendees at youth programs shall be properly supervised at all times, and loitering before, during, and after the events shall be minimized. The Community Development Director shall review complaints received by the City regarding the youth programs. The Community Development Director shall have the discretion to modify the use permit conditions to address problems and/or bring complaints to the Planning Commission for review.
 - d. The facility doors and windows shall be kept closed when live music is being performed and when other amplified sound is being used indoors. The Community Development Director shall review complaints received by the City regarding noise. The Community Development Director shall have the discretion to modify the use permit conditions to address problems and/or bring complaints to the Planning Commission for review.
 - e. No outdoor sports shall occur on the site premises.
 - f. The use permit shall expire on August 27, 2023, unless the applicant obtains approval of an extension of the use permit. **The use permit is subject to initial review by the Planning Commission no later than September 12, 2019.**

Chair Goodhue said that Commissioner Combs as a Facebook employee and she, having represented Facebook in the past, would recuse themselves from item G1. She said Vice Chair Barnes would conduct the remainder of the meeting agenda.

G. Study Session

G1. Use Permit, Architectural Control, and Environmental Review/Rich Truempler/ 162-164 Jefferson Drive:

Study Session on a request for a use permit, architectural control, and environmental review for the construction of a new four-story office building, 249,500 square feet in size, and a new five-level parking structure with one level below grade, in the O-B (Office, Bonus) zoning district. The project site contains two existing four-story office buildings, each approximately 130,000 square feet in size, to remain. The total existing and proposed office development on the parcel would be approximately 510,000 square feet of gross floor area with a proposed floor area ratio (FAR) of 88 percent. The project includes a request for an increase in height and FAR under the bonus level development allowance, in exchange for community amenities. The project was previously reviewed at a Planning Commission study session on February 13, 2018. Since that review, the applicant has revised the project to reduce the proposed office building height, modify the open space plan, and reduce the size of the parking garage. ([Staff Report #18-077-PC](#))

Staff Comment: Senior Planner Tom Smith noted a correction to the staff report where it indicated that 12 parking stalls would be available for use by the high school. He said the applicant had indicated that would be 24 parking stalls or two rows of 12 stalls that would be available for high school use during the school hours adjacent to the Jefferson Drive publicly accessible open space.

Senior Planner Smith said at the original study session the proposal was for a six-story office building, 320,000 square feet in size, with a five-level parking structure with 1,565 parking spaces. He said the project sought to modify the base height, which was the maximum height before the building had to step back. He said they were seeking to modify that design standard and seeking bonus level development, which would require a community amenity in exchange. He said the revised design proposal was for a four-story office building of 249,500 square feet. He said the garage would be five levels still but with one level below grade with a total of 1,340 parking spaces. He said some additional open space would be created by the changes to the parking structure design, some triangular areas leading back to the back corner of the site, adjacent to Kelly Park and the Dumbarton rail corridor. He said as mentioned dedicated parking would be provided for the high school adjacent to the publicly accessible open space off Jefferson Drive. He said the project still sought bonus level development.

Senior Planner Smith said some general questions that the Commission might want to discuss related to the reduction in height and reduction in size and whether those were appropriate and/or adequate. He said the publicly accessible open space with the additional space resulting from the garage redesign and additional details about the amenities to be provided were topics the Commission might address in its discussion. He said finally the Commission might want to discuss the overall aesthetics of the project.

Applicant Presentation: Rich Truempler, Vice President of Development for the Sobrato Organization, said this proposal would add a third office building to the Commonwealth Corporate Center. He said they listened to the Commission, community and high school representatives' comments at the initial study session and were working with the high school. He said their traffic engineer's review was that the building would not have an impact on the high school's operation but that would be vetted through the environmental review and traffic study processes. He said through initial discussion with the school district that the school needed offsite parking and open

space closer to the campus to conduct PE classes. He said they were proposing to incorporate those features into their project and hoped to come to agreement with the school district to provide dedicated parking stalls and the use of open space on the Jefferson parcel to conduct PE classes during school hours.

Mr. Truempler said changes to the project proposal would make it hardly discernible from the freeway and Jefferson and was more contextual while fully complying with the new zoning ordinance. He said the office building was reduced from six to four stories and a reduction of approximately 70,000 square feet. He said they reduced the garage by one level and improved its architecture.

Craig Almeleh, Principal Architect for the architectural team, made a slide presentation highlighting the changes made to the project based on the comments received at the previous study session. He said the building now proposed at four stories would not be taller than the other buildings on the site. He said only minor aspects of the building would be visible from the freeway. He said the garage design had been modified to a sawtooth design creating little pods that would be used to make a very nice pedestrian experience all the way around the garage to a larger space at the end. He said parking was reduced by over 200 spaces. He said the changes to the office building eliminated the base height violation that had been identified with the proposal previously presented.

Nick Samuelson, The Guzzardo Partnership, said at the last study session concern was expressed about getting people back to the triangle of open space. He said they were placing a 10-foot wide pathway along the whole north side of the site down along the garage that would connect out to where the future Dumbarton rail trail connection was. He said the change to the garage design created areas for different seating areas and possible plantings all of which opened to the corner space that they had made more inviting with paving and a trellis element for shading near the garage. He said the bioretention area was being treated more as a rain garden with a meandering path going through it also with some seating elements. He said they now had 35,000 square feet over the required open space. He noted a sports court and open lawn area and that they would work with the school district on that piece of the landscape/open space design.

Vice Chair Barnes opened the public comment period.

Public Comment:

- Matthew Zito, Chief Facility Officer, Sequoia Union High School District, said the District appreciated the awareness given by staff and the applicant to their nearby construction site and future high school. He said that \$46 million project was intended to reduce enrollment at Menlo Atherton High School. He said the District requested the applicant address the safety and traffic impacts of their project related to the high school students noting the hard-right turn at 111 Independence Drive by considering driveway placement for their initial application. He said the parcel would have a twofold increase of vehicles going in and out, which they did not think would be an issue in the afternoon but in the morning they would have an additional 600 or 700 cars going into the project site very close to the school driveway. He suggested that if the transportation committee for that area had not been formed that it happen soon. He said the location of the publicly accessible open space and paseos was of key interest to the District. He said paseos were plotted before any development application was made under the new zoning. He said they wanted the paseos designed and built to make sense with what was going to be

constructed there. He said each of the project study sessions for 111 Independence, Willow Village, 162-164 Jefferson, Facebook's application for transit-oriented changes with the three buildings on the former Intuit campus, and the redesign of the fish hook into the business park were all being considered separately. He said the District did not think the ConnectMenlo EIR really addressed all those different development projects now coming in. He said that these had to be looked at as a whole environmental review process.

Vice Chair Barnes closed the public comment period.

Commission Comment: Commissioner Onken asked about the net increase of cars parked on the site for this project and the ultimate parking ratio now. Senior Planner Smith said the parking ratio was three spaces per 1,000 square feet, which was the high end of the office rate that was permitted for the O zoning district.

Commissioner Onken referred to the paseo or the side driveway through the office development that connected in front of Exponent and paralleled Highway 101, and then went up Jefferson. He asked if there was concern of that being used as a cut through or cut around. Mr. Truempler said anecdotally he did not see that happening but would have their traffic consultant and perhaps the City's traffic engineer could look at that.

Commissioner Riggs referred to page 7 of the staff report under *Planning Commission Considerations, Publicly Accessible Open Space, Parking Lot Landscape Islands*. He said other than the roughly nine-foot-wide islands along a perimeter row he was not sure what the reference was to. Senior Planner Smith referred to sheet A0.12 with an open space diagram. He said the light green indicated the publicly accessible open space and there were some parking islands in the parking around the perimeter. Commissioner Riggs confirmed with staff that those were included in the calculation of open space.

Commissioner Riggs said regarding the future rail station that would be located out near the triangle park, and while somewhat peripheral to this project, asked how people from Suburban Park, Flood Park, and Lorelei would get to that rail station without a car. Senior Planner Smith said it would be difficult to say at this point due to how preliminary it would be to guess where stations might be located or how activated.

Commissioner Riggs asked staff if they thought the publicly accessible open space was potentially successful given its location behind a large building and at the end of a large development. Senior Planner Smith said the applicant had made interesting efforts to enhance the space based on input at the prior study session by incorporating the islands, the triangular areas, that lead further back into the rear of the site and enhancing the pathway around the site perimeter. He said from purely anecdotal experience and visiting the site that people were using the landscaped area at the back of the site.

Commissioner Strehl said she appreciated what the Sobrato Development Company was proposing to give the school district. She asked if that was considered a public amenity. Acting Principal Planner Kyle Perata said that was not on the community amenities list adopted by the City Council as part of the ConnectMenlo General Plan Update. He said it was something the City could evaluate further to see if it met the community amenities criteria. He said staff was currently working on the appraisal process. He said at this point he could not say whether it was. Commissioner Strehl said she appreciated what Sobrato had done and what the SUHSD wanted,

but the District had put the school in an area that the Planning Commission was not comfortable with given its use designation. She said the SUHSD should be more realistic in their expectations about what the companies were going to do to meet their demands.

Commissioner Onken said the staff report under *Community Amenities* stated that project requirements such as publicly accessible open space did not count as community amenities. He said it was clear to him that community amenities would be more than what was proposed this evening and would be something the Council would agree to. He said he appreciated a community park on Jefferson Drive. He said the building and garage architecture was much improved. He said the only other aspect was volume of development and the impact of that volume to the community was traffic. He said that lowering the parking ratio would be welcome to lower the traffic impact. He said he would love to see this project implemented concurrently with something that would address traffic. He recommended at least looking at lowering the parking ratio from what was proposed.

Vice Chair Barnes asked about the parking ratio range for O district. Senior Planner Smith said the O district was 2 to 3 spaces per 1,000 square feet.

Vice Chair Barnes asked the applicant to address why a 2.0 space per 1,000 square foot parking ratio would not work for this site and what was precluding appropriate robust measures to get the parking ratio down, commenting that would merit bonus development level.

Mr. Truempler said the other two buildings were studied at a 4.0 space per 1,000 square foot occupancy as that was the nature of office occupancy today. He said however the site now was parked at 3.3 spaces per 1,000. He said when making the initial application for the 300,000 square feet staff asked them to park the entire site at 3.0 spaces per 1,000. He said that was what they were doing. He said if the office building was occupied by 4 per 1,000 and had parking only for 3 per 1,000 that meant reliance already on TDM measures. He said for the office buildings to be viable with a lack of infrastructure for public transportation they needed the 3 spaces per 1,000 square feet. He said that would require them to affect a 25% TDM measure for the buildings to be successful, which was doable.

Vice Chair Barnes asked about the range starting at 2.0 spaces per 1,000 square feet and how it was determined to be viable. Senior Planner Smith said that different office uses could be occupying the site and each might have its own TDM or shuttle plan. He said although 2.0 was the minimum parking rate there was an allowance for 3.0 spaces per 1,000 square feet He said the applicant had chosen that latter ratio and strongly believed it was needed for the project to be viable.

Vice Chair Barnes said he liked the architecture and appreciated the scale reduction. He said he thought the project would be congruent in its surrounding. He said his challenge was the 3.0 per 1,000 square foot parking ratio. He said the only mechanism to reduce traffic impact was to reduce parking and to force a developer to have lower drive alone rates. He requested that the 3.0 per 1,000 square foot number get looked at and/or the applicant provide better rationale for being at the upper limit of the parking ratio range.

Mr. Truempler said for the overall site to go from 3.3 to 3.0 parking spaces per 1,000 square feet that the new building was parked at 2.0 parking spaces per 1,000 square feet. He deferred to Mr. Almaleh.

Mr. Almaleh said the existing buildings on the site were parked 3.3 spaces per 1,000 square feet based on the zoning ordinance in effect when the project was built. He said the parking for the new building adding the delta between the existing cars and new cars was 2.0 per 1,000 for the new building. He said converting the entire site to 2.0 spaces per 1,000 square feet would allow for only 100 cars for the entire new building.

Commissioner Strehl asked how many employees were anticipated in the new building. Mr. Truempler said the estimate was about 1,000 employees. Commissioner Strehl asked if they had a tenant for the new building. Mr. Truempler said they did not know definitively.

Commissioner Strehl said an item before the City Council asked about the cap for development in ConnectMenlo and whether that should be changed. She asked when that would go to the City Council for discussion. Acting Principal Planner Perata said Planning staff had taken an information item to the City Council a few weeks ago regarding the current proposed projects and relationship to the development cap. He said regarding next steps an item to discuss that would probably not go to the City Council until early next year.

Commissioner Strehl asked about the timeline for the project being studied this evening. Mr. Truempler said next they hoped to work with staff to begin the EIR process, which was anticipated to take nine to 12 months.

Commissioner Riggs noted a question regarding net increase in parking asked earlier. Senior Planner Smith said there were 866 existing spaces and 663 spaces were being added.

Commissioner Riggs said the building height reduction and garage design change were great. He said he hoped the proposed graphics for the garage were organic as shown in the proposal. He said he could not take the finger islands between parking spaces seriously as publicly accessible open space. He said the planned open space otherwise seemed viable and suggested to keep looking at it. He said regarding the overall aesthetic approach he found it consistent with the Commission's expectations for this zone. He said his only concern was the ground pedestrian level noting it seemed an endless wall of windows with no entry. He said the landscaping would probably break up that wall and suggested the applicant have a rendering done for that level and of the entry. He said all the improvements were much appreciated and overall this seemed a development to approve. He said as an individual commissioner the project had the same problem as all the other large projects seen by the Commission over the past year and that was no traffic infrastructure. He said the City had completely unacceptable traffic patterns and there were approved projects on top of projects in construction that had not hit the roadways yet. He said it was hard for him to approve any further development with those constraints.

Commissioner Onken said he thought this zoning district was going in the right direction and was feeling like a sophisticated office park as opposed to a bunch of tilt up buildings. He said this project would work well within the context of the area. He said the concern was the traffic impact but thought also that was beyond the responsibility of this site. He said he approved of the overall site reduction in parking ratio. He said he did not think the community was happy overall about adding more office space.

Vice Chair Barnes asked about reducing the overall parking ratio for the site to 2.5 spaces per 1,000 square feet. Senior Planner Smith said that would fall within the range of parking ratio allowed in the zoning district. Vice Chair Barnes said he would like to see a blended ratio that was

2.5 spaces per 1,000 square feet. He said reducing that was important to the project and reducing trip caps, so the project was defensible. He said he did not think the Commission should deny projects because of perspective on infrastructure as that was better left to City Council and ballot initiatives.

Commissioner Strehl said she thought it was within the Commission's purview to look at project impacts on the communities east and west of Highway 101. She said the biggest impact was traffic on the communities. She said they were hearing that concern from people.

Vice Chair Barnes said programmatically they needed to address whether ConnectMenlo was the right thing and whether the densities were appropriate. He said there was a need within the community to have discussion about net new traffic. He said he did not think they understood as a community what was happening on the roads and net new traffic impacts of the developments within Menlo Park. He said having a facts-based discussion regarding net new traffic, regional traffic impacts, and benefits of development was needed. Commissioner Strehl said she agreed noting the Commission did not recommend approval of the ConnectMenlo. She said two members voted in support and two declined to vote because there was not enough analysis of traffic and sufficient infrastructure plan. She said they needed the facts and an infrastructure plan.

Commissioner Kennedy said one project wanted to connect parking for two separate parcels, which she thought was a slippery slope. She said she agreed they needed fact-based numbers and to look at each project individually. She said the lending and borrowing of parking spaces temporarily or in perpetuity was messy and did not lead to a solution that was sustainable in the long term. She said having the high school using parking on this site was not a sustainable solution.

Commissioner Onken said the community needed to address traffic but asking a specific site to go beyond the levers that normally could be pulled with it was unreasonable. He said they needed a wider fix to traffic. He said he thought it was tenuous to deny approval of a project proposed within the regulations of a zoning district due to externalities. He said this project in his mind was approvable and dropping the parking ratio more was welcome but that was as much as could be done.

Commissioner Riggs said the Planning Commission advised the City Council on development, and this discussion was within the Commission's purview. He said they looked at the General Plan update and were unable to support it specifically because the level of expansion proposed was not supportable until transportation solutions were identified. He said the additional car traffic endemic to additional development to date had very real and serious ecological and other costs. He restated that he could not approve any large project until traffic and transportation solutions were found.

Vice Chair Barnes said ConnectMenlo was a community process that the Commission as a recommending body elevated to the City Council. He said they had a responsibility to find solutions.

H. Informational Items

H1. Future Planning Commission Meeting Schedule

- Regular Meeting: September 17, 2018

- Regular Meeting: October 8, 2018
- Regular Meeting: October 22, 2018

I. Adjournment

Vice Chair Barnes adjourned the meeting at 10:12 p.m.

Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett



STAFF REPORT

Planning Commission

Meeting Date: 9/17/2018

Staff Report Number: 18-78-PC

Public Hearing: Use Permit and Variance/Mark Milani/1346 Hoover Street

Recommendation

Staff recommends the Planning Commission provide input and direction on the proposed project and continue the requests for a use permit and variance to demolish an existing detached garage, and construct a two-story addition consisting of a second unit and new attached garage to an existing nonconforming single-family residence. The Planning Commission should provide input on staff's support for the proposed ground floor variance and direction to the applicant to redesign the second story addition to conform with the required 10 foot setback where five feet is currently proposed. The subject parcel is a substandard lot with respect to lot area and width in the R-3 (Apartment) zoning district. The proposed work would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The recommended actions are included in Attachment A.

Policy Issues

Each use permit and variance request is considered individually. The Planning Commission should consider whether the required use permit and variance findings can be made for the proposal.

Background

Site location

The subject property is located at 1346 Hoover Street, between Valparaiso and Oak Grove Avenues, one block west of El Camino Real. The adjacent parcels along Hoover Street are also located within the R-3 (Apartment) zoning district, and contain a mix of apartments, smaller multi-family developments with associated common space, and some single-family residences. The area represents a variety of architectural styles, including Mediterranean, traditional ranch, and colonial revival buildings. At the rear, the property adjoins a multi-family lot that fronts on Valparaiso Avenue. The downtown area is also located fairly close by. A location map is included as Attachment B.

Analysis

Project description

The applicant is proposing to demolish an existing detached two-car garage and construct a new side-loading two-car garage with a second unit above. The proposed garage and second unit would be attached to the existing single-story, single-family residence, which is nonconforming with respect to the left side setback and the required separation between buildings on the right side. The layout of the existing residence is not proposed to be modified. Two uncovered spaces would be located at the rear, between the exterior stairs leading to the unit at the second story and the existing fence at the rear property line, which

would provide conforming parking with regard to size, location, and access. The proposed additions would require a variance, which the applicant is requesting. This request is discussed in more detail in a following section. The existing nonconforming walls would remain, with the structural members retained.

The parcel is a substandard lot with regard to lot width and area. The gross floor area (GFA) increase would be less than 50 percent over the existing total GFA on the parcel. However, use permit approval is required for the proposed additions and modifications due to the nonconforming nature of the existing structure and the fact that a separate work value threshold would be exceeded, as discussed further in the Valuation section.

A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

The existing single-family residence at the first floor would remain mostly unchanged. A new side-loading two-car garage is proposed to be added to the rear of the residence. A second unit is proposed above the garage with an open layout, and would contain one bedroom and a full bath. Of particular note with regard to the development regulations:

- The height of the residence would be modest, at 25.1 feet in height, where the maximum permitted height is 35 feet;
- The R-3 zoning district allows for the development of two units on lots of this size;
- The proposed garage would need the requested variance from the left side setback to achieve the required back up distance of 24 feet from a garage door as required by the City's Parking Stalls and Driveway Design Guidelines;
- The proposed second floor would be set back 24 feet from the right side property line, 22 feet from the rear, and approximately 67 feet from the front property line; and
- The second level would be relatively limited in size, at 26 percent of the maximum FAR (589 square feet).

Design and materials

The project description letter indicates the style of the existing residence to be a "Spanish-style peninsula home". The designer has proposed a "contemporary" second story addition, with the use of materials similar to the palate of the existing home. The primary exterior material is currently stucco. The existing roofing material is terra cotta clay tile. The existing windows are primarily rectangular single-hung, wood and fiberglass clad, with the exception of the larger fixed arched-shaped window at the front. The windows at the first floor are proposed to remain unchanged. The new windows at the second floor would be rectangular with trim and finish to match the existing home. The new roof is proposed to use concrete tile matching the color of the existing clay-tile roof. The applicant has indicated clay would be used if available. The location of the garage and uncovered spaces at the back of the property would help limit the visual effect of parking features on the property frontage, which is a positive aspect of the proposed site layout.

With regard to privacy, the second-floor side-facing windows would feature five- to six-foot sill heights on the left side. However, on the right side sill heights would be lower, but the second-floor setback noted above would provide a buffer that would help limit potential privacy impacts. The variance letter includes renderings for an alternative option, "Duplex Option B", where the second floor addition is set in at the ten foot side setback and cantilevered out five feet over the entrance to the covered parking spaces below. In addition to removing the need for the requested second floor variance, this design would appear more balanced from the front façade, and would break up the mass of the tall unbroken stucco wall, which is

currently proposed for the full height of the two-story section of the left side.

Overall, staff believes the design would represent a consistent aesthetic approach, and that its size and scale would be consistent with the neighboring properties, and the overall neighborhood. However, staff believes that revising the proposal to meet the 10-foot setback at the second story would be a more balanced design and appears to be a feasible alternative to the requested variance for the side setback for the second floor.

Valuation

For projects involving existing nonconforming structures, the City uses standards established by the Building Division to calculate the replacement and new construction costs on which the use permit threshold is based. The City has determined that the replacement cost of the existing structure would be \$248,800, meaning that the applicant would be allowed to propose new construction and remodeling at this site totaling less than \$124,000 in any 12-month period without applying for a use permit. The City has determined that the value of the proposed work would be approximately \$152,030. Based on this estimate, the proposed project exceeds 50 percent of the replacement cost of the existing structure, therefore requiring use permit review by the Planning Commission.

Trees and landscaping

The site features one 38-inch heritage oak tree at the rear-left corner that would be approximately 16 feet from the proposed garage and second unit. An arborist report outlining specific tree protection measures to be met is included as Attachment F. Further from the construction, three smaller trees are equally spaced along the left side of the property, an 18-inch silver tip is at the front of the property, and there is one street tree along the property frontage. All heritage trees are proposed to remain. The proposed construction is unlikely to affect the trees at the front. The property is currently nonconforming with respect to the 50-percent landscaping requirement for the R-3 zoning district. The proposed plans would improve the existing nonconforming landscaping condition by increasing the amount of landscaped area on site by removing existing patio pavement at the rear and providing additional landscaping along the edge of the driveway at the rear of the property where the detached garage was previously. The project plans show a number of new accent trees and low landscaping, although the precise landscaping could vary at the point of construction.

Variance requests

As part of this proposal, the applicant is requesting a variance with two components. The applicant is requesting a variance to reduce the required left side setback from 10 feet to five feet to allow a new side-loading two-car garage on the first floor and for the proposed unit at the second story above the new garage. The applicant's initial proposal included a larger-than-required landing at the entry to the unit on the second floor that would be regulated as a balcony through the City's Zoning Ordinance. The initial proposal would not have met the required 10-ft side setback for the balcony and the orientation of the stair required the uncovered space adjacent to the stair to be larger to allow for door swing, but the project was revised to shift the landing at the top of the staircase from the rear, left corner of the building to the rear, right corner, which would meet the setback requirements for balconies in the R-3 zoning district, and allow for a more narrow uncovered space. The wider space option is currently shown on the site plan, but will be revised and confirmed by the Transportation Division as part of the building permit review.

The variance requests for the reduced left side setback for the first and second floors would comply with the Zoning Ordinance requirement that variances not reduce a specific development standard by more than 50

percent of the requirement. In this case, for a ten-foot setback requirement, a variance could not be granted for a structure closer than five feet to the property line.

The applicant has provided a variance request letter that is included as Attachment G. This letter includes possible alternative options to the one proposed that would allow for a second unit on the site without the requested variance. Staff indicated to the applicant throughout the review of the application process that the alternate option, Duplex Unit Option B, where the second floor addition is shifted to meet the required 10-foot setback would be preferred since that option provides a viable option to develop the second unit without the variance for the second floor. The applicant has indicated they would like to go forward with the current proposal. The required variance findings are evaluated below in succession. All findings are required to be met in order for each variance to be granted.

1. That a hardship peculiar to the property and not created by any act of the owner exists. In this context, personal, family or financial difficulties, loss of prospective profits and neighboring violations are not hardships justifying a variance. Further, a previous variance can never have set a precedent, for each case must be considered only on its individual merits;

The applicant relays two primary property aspects they believe to be unique, including:

- The substandard width of the parcel that limits their ability to meet the City's requirement for 24 feet of backup from the garage; and
- The 38-inch heritage oak tree at the rear of the property;

In staff's view, the substandard lot width, the location of the existing structure, which is mostly to remain, and the location of the tree present physical hardships for the location of the garage to meet a 10-foot side setback. However, these conditions do not preclude the proposed second unit above the garage from meeting the required 10 foot side setback. In general, the alternatives provided by the applicant appear to illustrate a feasible and Zoning Ordinance-compliant alternate scheme for the second floor. Therefore, staff does not support this finding for the second floor variance, but does support the finding for the ground floor addition due to the access requirements for covered parking and the substandard width of the lot.

2. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property in the same vicinity and that a variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his/her neighbors;

The applicant states that the development of a second unit would not be viable if the ten-foot side setback were required, as there are limited options for compliant off-street parking spaces given the position of the existing development and the heritage tree in the rear portion of the lot. The development regulations for the R-3 zoning district indicate that "any lot in excess of five thousand (5,000) square feet in area shall be permitted a minimum of two (2) units..." These two units would each be required to provide two off-street parking spaces per unit, one of which must be covered. The size and orientation of the existing home and location of buildings on neighboring properties limits the viable locations of detached covered parking alternatives because there is a 10-foot separation requirement between dwelling units and an accessory building. In addition, due to the maximum building coverage limit for the site, the second unit would need to be above the garage, which would further limit the viable locations for a detached garage option with a unit above due to greater setbacks for a dwelling unit. However, as documented by the applicant's alternate design options, the second floor setback variance is not the only option to achieve a second unit and provide the required parking.

The applicant has also referenced the nonconforming neighboring properties as evidence that the variance for the second floor would not constitute a “special privilege”, as it is a condition of buildings on neighboring lots. Staff believes the nonconforming setback of neighboring buildings does not establish a precedent that would constitute a property right of the subject property. Since alternative options exist for the second unit to be constructed without the requested variance, the current proposal would be considered a special privilege for the subject property.

3. That the granting of the variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property;

The applicant notes that the additions will be set back significantly from the front property line, and that the proposed design of the additions will maintain the character of the existing home. They also indicate that the second floor would be southeast of neighboring carports and roof deck, and would be designed to minimize privacy concerns through the use of increased sill heights on the left side wall.

Staff believes that the variance request for the garage setback at the first floor would likely have a minimal impact on the neighboring property with respect to light and air and that the variance would not be materially detrimental to the public health, safety or welfare. In addition, the second floor variance would also likely have a minimal impact on the neighboring property since the window height and location on the second floor are sensitive to potential privacy concerns, as stated above. While meeting the 10-foot setback at the second floor would be compliant with the Zoning Ordinance and ensure privacy and adequate supply of light and air to the adjacent property, the proposed design would be unlikely to negatively affect the neighboring property. Therefore, staff believes that this finding can be made for both components of the variance request.

4. That the conditions upon which the requested variance is based would not be applicable, generally, to other property within the same zoning classification.

The applicant highlights the position of the existing residence, as well as the lot size of the parcel as justification for this finding. Similar to the discussion in findings 1 and 2, staff believes there are some unique aspects of the parcel that could limit full development of this site without granting a variance for the garage setback. However, the second floor variance request does not appear to be unique to the property. The Planning Division reviews and processes proposals for remodels and additions for many existing nonconforming structures both through the use permit and building permit review processes. New construction is required to comply with the current development standards of the specific zoning district and therefore, the proposed variance for the second floor side setback would be generally applicable to other properties within the R-3 zoning district. Therefore, staff does not support this finding for the second floor variance request.

5. That the condition upon which the requested variance is based is an unusual factor that was not anticipated or discussed in detail during any applicable Specific Plan process.

The property is not within any Specific Plan area. Hence, a finding regarding an unusual factor does not apply.

Due to the above factors, staff is recommending the Planning Commission provide input on the proposal and continue the project with guidance to redesign the second floor to remove the variance request, potentially by shifting the second floor toward the right side of the lot or by extending the footprint of the second floor to other portions of the existing structure. Modifications to the second floor would be required

to be reviewed by the Planning Commission at a future public hearing.

Correspondence

Staff has received one letter of support from a neighbor across the street, and one letter of opposition from an adjacent neighbor at the rear, which are included as Attachment H. The letter of support mentions the positive aspects of the proposal, specifically that it preserves neighborhood character while providing an additional housing unit in a location that is ideal for access to public transportation. The letter of opposition focuses primarily on the proximity of the second unit to the property line and expresses privacy concerns around the balcony and second story windows at the rear. Staff provided email clarification to the commenter in opposition to the project that the proposal was revised to move the landing for the stairwell toward the interior of the lot, and that the location of the landing that is considered a balcony now meets the setback requirements and no longer requires a variance. Additionally, staff explained the large heritage oak tree will remain.

Conclusion

Staff believes the design would represent a consistent aesthetic approach to providing an additional housing unit, and that its size and scale would be consistent with the neighboring properties, and the overall neighborhood. The location of the garage and uncovered spaces at the rear would help limit the prominence of parking features at the front, which is positive, and the proposed building height would be well below the maximum allowed height. Although the property has some unique attributes, staff does not believe that these represent a hardship with regard to compliance with the setback requirement for the second floor unit. As outlined in the Variance section of the staff report, Staff believes that the variance request for the garage component is justifiable. Staff recommends that the Planning Commission provide input on staff's support for the first floor variance element of the proposal and continue the use permit and the variance, with direction to redesign the second floor addition to comply with the R-3 development regulations.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, "New Construction or Conversion of Small Structures") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Variance Letter
- H. Correspondence

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

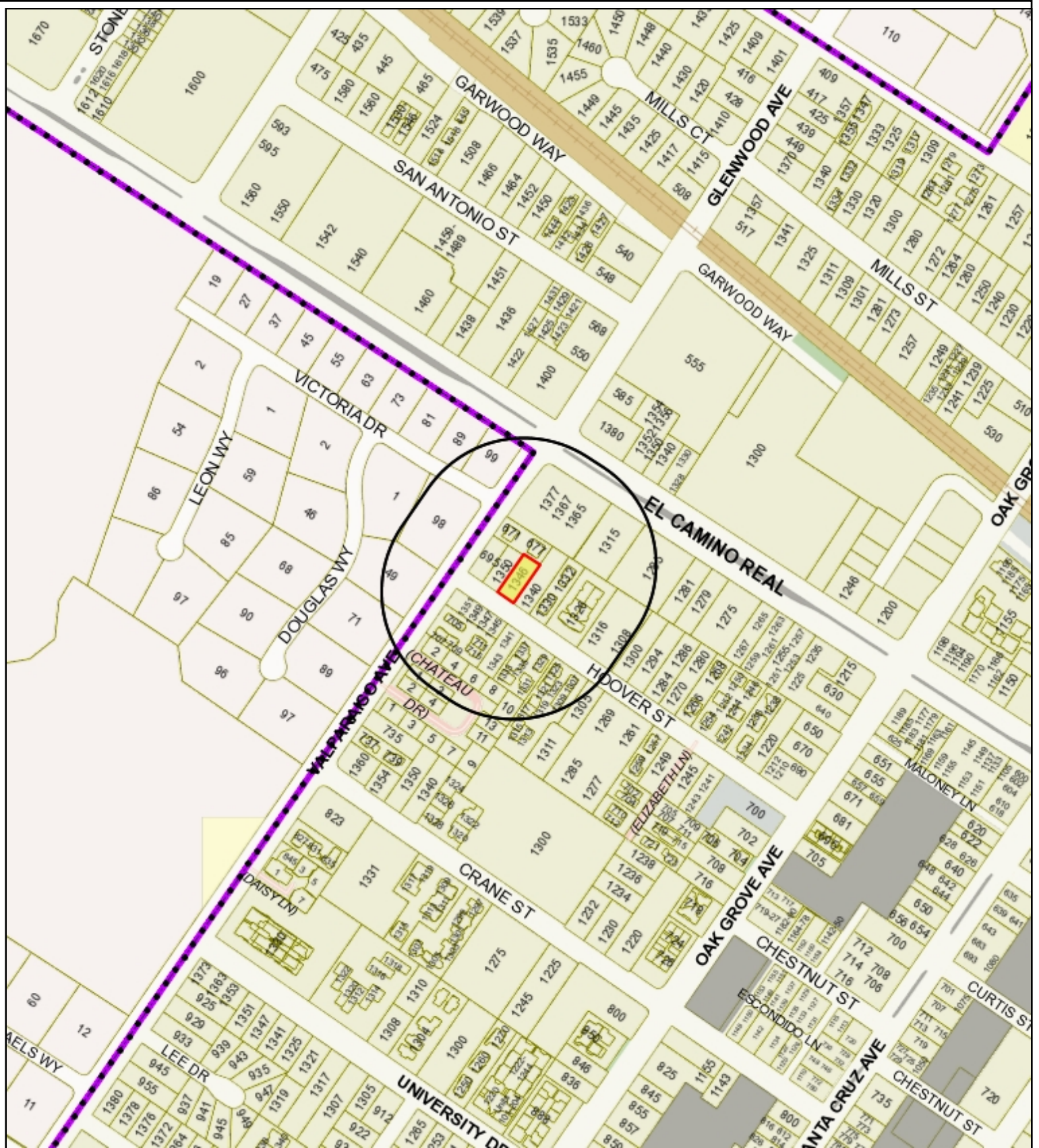
Report prepared by:
Ori Paz, Assistant Planner

Report reviewed by:
Kyle Perata, Acting Principal Planner

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1346 Hoover Street – Attachment A: Recommended Actions

LOCATION: 1346 Hoover Street	PROJECT NUMBER: PLN2018-00074	APPLICANT: Mark Milani	OWNER: Milani Family Trust
PROPOSAL: Request for a use permit to demolish an existing detached garage, and construct an addition to an existing nonconforming single-family residence, consisting of an attached two-car garage and a second story with a second dwelling unit. The proposal includes a variance request to modify the left side setback to five feet (where 10 feet is required) for the new addition of the garage and the second unit above. The subject parcel is a substandard lot with respect to lot area and width in the R-3 (Apartment) zoning district. The work would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period.			
DECISION ENTITY: Planning Commission	DATE: September 17, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Kennedy, Onken, Riggs, Strehl, Goodhue)			
ACTION:			
<ol style="list-style-type: none"> 1. Provide input and direction on staff's support for the proposed ground floor variance and direction to the applicant to redesign the second story addition to conform with the required 10 foot setback where five feet is currently proposed and continue the requests for a use permit and variance to demolish an existing detached garage, and construct a two-story addition consisting of a second unit and new attached garage to an existing nonconforming single-family residence. 			



City of Menlo Park
 Location Map
 1346 Hoover Street



Scale: 1:4,000

Drawn By: OP

Checked By: DMC

Date: 9/17/2018

Sheet: 1

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	5,952.4 sf	5,952.4 sf	7,000 sf min.
Lot width	50.0 ft.	50.0 ft.	70 ft. min.
Lot depth	119.0 ft.	119.0 ft.	100 ft. min.
Setbacks			
Front	31.9 ft.	31.9 ft.	20 ft. min.
Rear	22.0 ft.	43.2 ft.	15 ft. min.
Side (left)	4.9 ft.	4.9 ft.	10 ft. min.
Side (right)	13.9 ft.	13.9 ft.	10 ft. min.
Building coverage	1,769.0 sf 29.7 %	1,701.0 sf 28.6 %	1,785.7 sf max. 30.0 % max.
FAR (Floor Area Ratio)	1,829.0 sf 30.7 %	1,240.0 sf 20.8 %	2,678.6 sf max. 45.0 % max
Square footage by floor	1,240.0 sf/1st 589.0 sf/2nd 434.0 sf/garage 95.0 sf/porch	1,240.0 sf/1st 366.0 sf/garage 95.0 sf/porch	
Square footage of buildings	2,358.3 sf	1,702.0 sf	
Building height	25.1 ft.	17.8 ft.	35 ft. max.
Parking	2 covered/2 uncovered	2 covered	2 covered/2 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees	2	Non-Heritage trees	4*	New trees	1**
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0	Total Number of trees	7*

*Includes street trees

**New street tree

PROJECT INFORMATION	
ZONING DISTRICT	R3 APARTMENT DISTRICT
APN	071-103-330
OCCUPANCY - CONST. TYPE	RESIDENTIAL R3 / U - TYPE V-B
LOT AREA	5,952 SF
AVE. LOT SLOPE	N/A
YEAR BUILT	N/A
EXISTING LOT COVER	1,335 SF ~ 366 SF (28.6%)
EXISTING FLOOR AREA	1,240 SF ~ 366 SF GARAGE
PROPOSED FLOOR AREA	SEE FLOOR AREA SUMMARY
PROPOSED ROOF HEIGHT	29'-1" (35' MAX.)
MAXIMUM ALLOWABLE AREA	2,078 SF (~23.3%) (20% MAX. FOR NEW CONST.)
SETBACKS	FRONT YARD - 15% LOT WIDTH, 20' MIN. SIDE YARD - 10' REAR YARD - 15% LOT WIDTH, 15' MIN.
PROPOSED LANDSCAPING	2,100 SF (~35.3%) (50% MIN. FOR NEW CONST.)
EXISTING LANDSCAPING	1,950 SF (~32.8%) EXISTING
PROPOSED SITE PAVING	1,388 SF (~23.3%) (20% MAX. FOR NEW CONST.)
EXISTING SITE PAVING	1,424 SF (~24.0%) EXISTING
BUILDING PROFILE NONE	
REQUIRED PARKING	2 COVERED SPACES, 2 UNCOVERED SPACES
SPRINKLERED CONSTRUCTION	AS REQUIRED
FIRE DEPARTMENT DISTRICT	MENLO PARK FIRE DISTRICT
SCHOOL DISTRICT	N/A
APPLICABLE CODES:	2016 CALIFORNIA BUILDING CODE - 2015 IBC 2016 CALIFORNIA RESIDENTIAL CODE - 2015 IRC 2016 CALIFORNIA MECHANICAL CODE - 2015 UMC 2016 CALIFORNIA PLUMBING CODE - 2015 UPC 2016 CALIFORNIA ELECTRICAL CODE - 2014 NEC 2016 CALIFORNIA ENERGY CODE 2016 CALIFORNIA FIRE CODE - 2015 IFC 2016 CALIFORNIA GREEN BUILDING STANDARDS (ALSO TO INCLUDE MUNICIPAL CODES AND LOCAL AMENDMENTS)

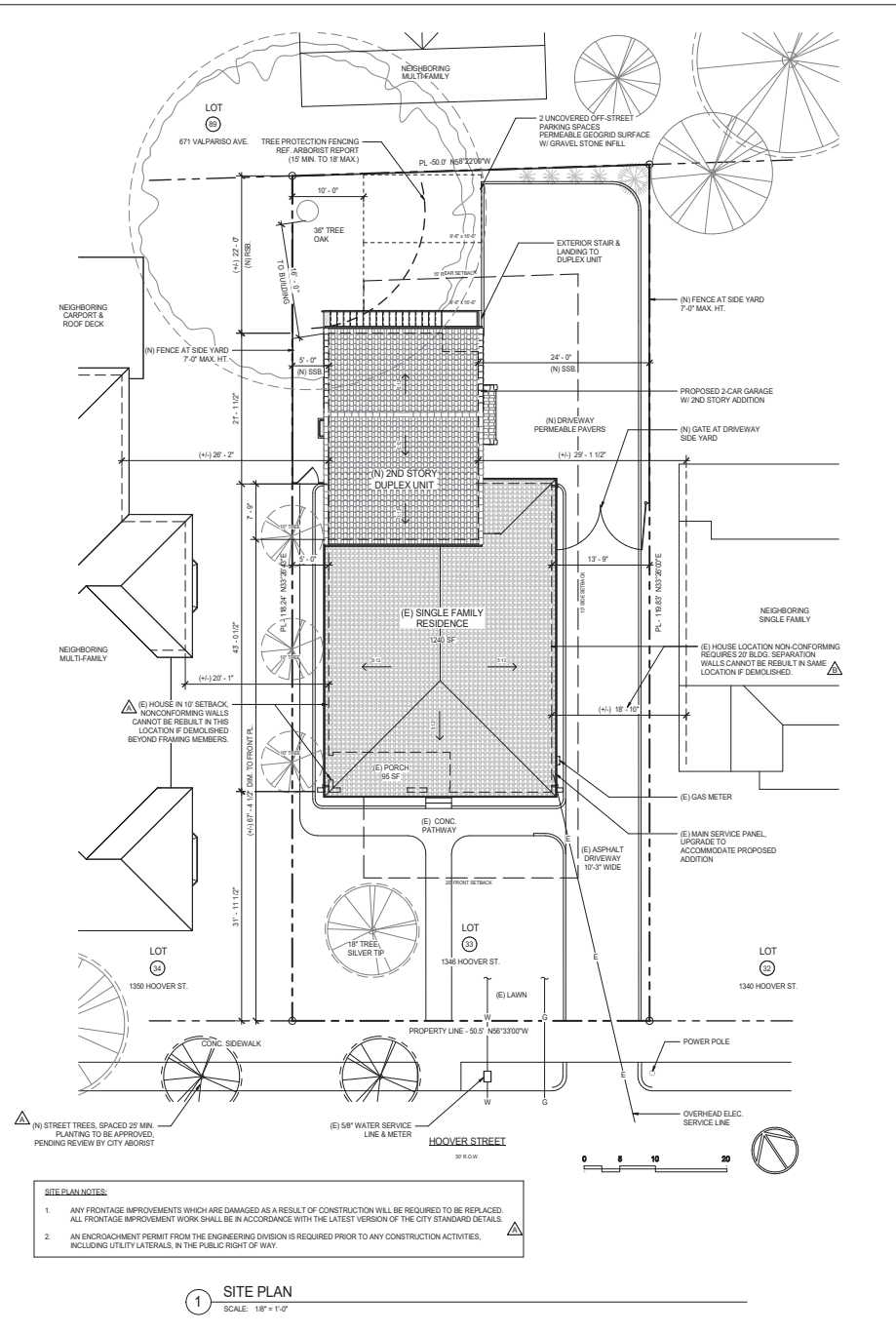
PROJECT DESCRIPTION	
SCOPE OF WORK:	DUPLEX 2ND UNIT ADDITION TO EXISTING 1-STORY, 2BD / 1.5BA HOUSE. YEAR BUILT 1939.
1. EXISTING GARAGE TO BE REMOVED. NEW GARAGE WITH 2ND UNIT ABOVE LOCATED IN REAR YARD.	
2. NEW STAIR AND ENTRY LANDING TO 2ND UNIT ABOVE.	
3. ADDITIONAL UNCOVERED PARKING AND NEW LANDSCAPE IN REAR YARD.	
NOTE:	SEE PROPOSED PLANS AND ELEVATIONS FOR COMPLETE SCOPE OF WORK.
DEFERRED SUBMITTALS:	
1. NONE. TO BE PROVIDED DURING BUILDING PERMITTING.	



FLOOR AREA SUMMARY			
PROPOSED GROSS FLOOR AREA:		EXISTING GROSS FLOOR AREA:	
(E) HOUSE	1,240 SF	(E) HOUSE	1,240 SF
(N) 2ND UNIT	589 SF	(E) GROSS FLOOR AREA	1,240 SF
(N) GROSS FLOOR AREA	1,829 SF	(E) GARAGE NOT COUNTED	366 SF
OK, IF LESS THAN 2678 SF (45%)			
PROPOSED LOT COVER AREAS:		NOTE:	
(E) HOUSE	1,240 SF	REFERENCE AREA DIAGRAMS ON SHEET G1.	
(E) PORCH	95 SF		
(N) GARAGE	434 SF		
PROPOSED LOT COVER	1,769 SF		
OK, IF LESS THAN 1786 SF (30%)			

DRAWING SHEET INDEX		
SHEET NO.	SHEET NAME	REVISIONS
GENERAL	CS COVER SHEET / PROJECT INFO	B
G1	AREA DIAGRAMS	B
CIVIL	C2 (E) BOUNDARY EXHIBIT	B
C2.2	(E) BOUNDARY & TOPO BASE MAP	B
ARCHITECTURAL	A0.0 NEIGHBORHOOD AREA PLAN	A
A0.1	(E) SITE DEMO PERMEABLE AREAS	B
A0.2	(E) BASEMENT LEVEL	A
A0.3	(E) FLOOR & ROOF PLAN	B
A0.4	(E) ELEVATIONS	B
A2.0	FIRST FLOOR PLAN	A
A2.1	SECOND FLOOR PLAN	B
A5.0	EXTERIOR ELEVATIONS	B
A6.0	BUILDING SECTIONS	B
A7.0	PERSPECTIVE RENDERINGS	B

ABBREVIATIONS			
AL	- ALUMINUM	MIN	- MINIMUM
BD	- BOARD	MPE	- MECH. PLUMB. ELECT
B.O.	- BOTTOM OF	O.C.	- ON CENTER
C/J	- CEILING JOIST	PSI	- POUNDS PER SQUARE INCH
CLG	- CEILING	PSL	- PARALLEL STRAND LUMBER
CLR	- CLEAR	P.T.	- PRESSURE TREATED
CONC.	- CONCRETE	R/R	- ROOF RAFTER
CONT.	- CONTINUOUS	SED	- SEE ELECTRICAL DRAWINGS
DBL	- DOUBLE	SF	- SQUARE FEET
D.F.	- DOUGLAS FIR	SL	- SKYLIGHT OR SLOPE
F/J	- FLOOR JOIST	SPD	- SEE PLUMBING DRAWINGS
EN	- END NAIL	SSB	- SIDE SETBACK
F.F.	- FINISH FLOOR	SSD	- SEE STRUCTURAL DRAWINGS
FLR	- FLOOR	SS	- STAINLESS STEEL
FOF	- FACE OF FINISH	STL	- STEEL
FOS	- FACE OF STRUCTURE / STUD	TN	- TOE NAIL
FSB	- FRONT SETBACK	T.O.S.	- TOP OF STORY, SLAB, STEEL
GC	- GENERAL CONTRACTOR	TEMP.	- TEMPERED LITE
GLB	- GLULAM BEAM	TSG	- TEMPERED SAFETY GLAZING
GSM	- GALVANIZED SHEET METAL	TYP.	- TYPICAL
GYP	- GYPSUM	UON	- UNLESS OTHERWISE NOTED
LVL	- LAMINATED VENEER LUMBER	VFY	- VERIFY
MAX.	- MAXIMUM	VF	- VERIFY IN FIELD



- SITE PLAN NOTES:**
- ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
 - AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS IN THE PUBLIC RIGHT-OF-WAY.

1 SITE PLAN
SCALE: 1/8" = 1'-0"

COLLABORATIVE
DESIGN STUDIO
2280 SPTGLASS DRIVE RD
PISMO BEACH, CA 93449

REVISION	DATE
PLANNING SET	02/21/18
A PLANNING RESPONSE 1	03/30/18
B PLANNING RESPONSE 2	09/07/18

MILANI RESIDENCE
ADDITION AND ALTERATIONS PREPARED FOR
MARK & GINA MILANI
1346 HOOVER STREET
MENLO PARK, CA 94025
APN: 071-103-330

PROJECT NO.	18001
SUBMITTAL	PLANNING SUBMITTAL
DATE	09/07/18
DRAWN BY	RS
CHECKED BY	Rpm
SCALE	1/8" = 1'-0"

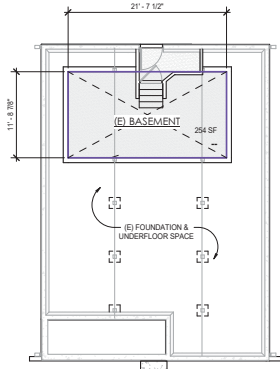
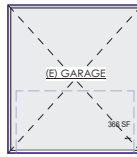
SHEET TITLE:
COVER SHEET / PROJECT INFO

CS

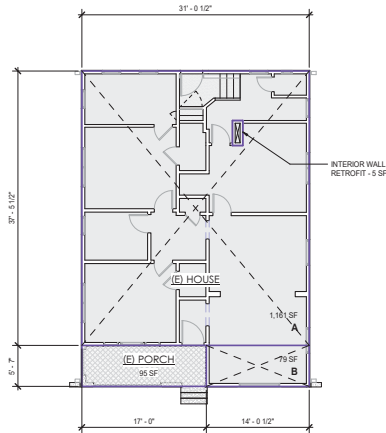
VALUATION CALCULATION

EXISTING 1ST FLOOR	1240 SF
EXISTING GARAGE	388 SF
EXISTING BASEMENT	254 SF
GARAGE ADDITION	434 SF
2ND FLOOR ADDITION	589 SF
REMODEL OF (E) FLOOR AREA	5 SF
NEW ROOFING ABOVE (E)	64 SF
REPLACEMENT WINDOWS & DOORS	15 SF
REPLACEMENT OF EXISTING SIDING	205 SF

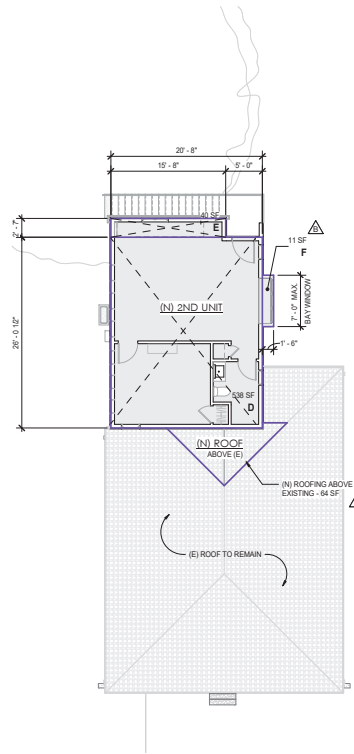
VALUE OF PROPOSED PROJECT: \$156,880
 REFERENCE NEW WORK VALUATION CALL: (+59%)



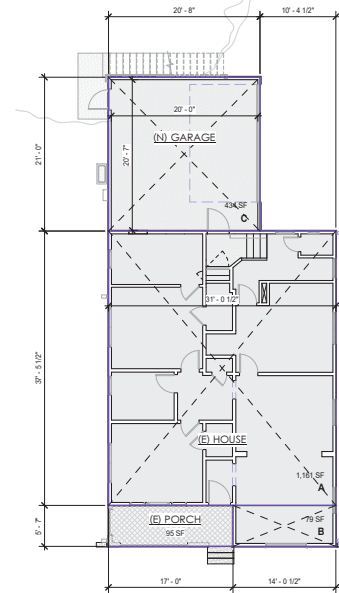
EXISTING BASEMENT



EXISTING FIRST FLOOR



PROPOSED SECOND FLOOR



PROPOSED FIRST FLOOR

2 CONSTRUCTION VALUATION DIAGRAM
 SCALE: 1/8" = 1'-0"

NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION

Address: 1348 Hoover Street
 Case No.:
 50% of Existing Value: \$124,000.00
 75% of Existing Value: \$186,000.00
 Value of Proposed Project: \$152,030.00 (81%)

Non-Conforming Structure Type	Square Footage	Construction Cost	Existing Value
Existing 1st floor	1240	X \$200/Sq Ft	\$248,000.00
Existing 2nd floor	0	X \$200/Sq Ft	\$0.00
Existing Basement	0	X \$200/Sq Ft	\$0.00
Existing Garage	0	X \$70/Sq Ft	\$0.00
Total	1240		\$248,000.00

Note: This spreadsheet is only used on one nonconforming structure at a time. If there are detached structures on the same site, they are either subject to their own spreadsheet (if they are also nonconforming and subject to new work) or ignored (if conforming, or nonconforming but not subject to new work).

Proposed Development Type	Square Footage	Construction Cost	Development Value
Category 1 - New square footage (areas of new foundation and/or wall bases)			
1st Floor Addition	589	X \$200/Sq Ft	\$117,800.00
2nd Floor Addition	589	X \$200/Sq Ft	\$117,800.00
Basement Floor Addition	0	X \$200/Sq Ft	\$0.00
Garage Addition	434	X \$70/Sq Ft	\$30,380.00
Category 2 - Remodel of existing square footage (foundation and wall bases are both retained)			
Removal of Balcony	0	X \$60.00	\$0.00
Remodel of Bathrooms	0	X \$130/Sq Ft	\$0.00
Remodel of Other Living Areas	0	X \$130/Sq Ft	\$0.00
Remodel of Garage	0	X \$70/Sq Ft	\$0.00
Category 3 - Exterior modifications to existing structure			
New Roof Structure Over Existing Sq Ft	64	X \$50/Sq Ft	\$3,200.00
Replacement of Existing Windows/Exterior Doors	0	X \$35/Sq Ft	\$0.00
Replacement of Existing Siding	0	X \$35/Sq Ft	\$0.00
Total	1982		\$152,030.00

1 FLOOR AREA CALCULATION DIAGRAM
 SCALE: 1/8" = 1'-0"

PROPOSED LOT COVER SCHEDULE

LOT COVER AREAS	AREA
(E) HOUSE	1,240 SF
(E) PORCH	95 SF
(N) GARAGE	434 SF
TOTAL PROPOSED LOT COVER	1,769 SF

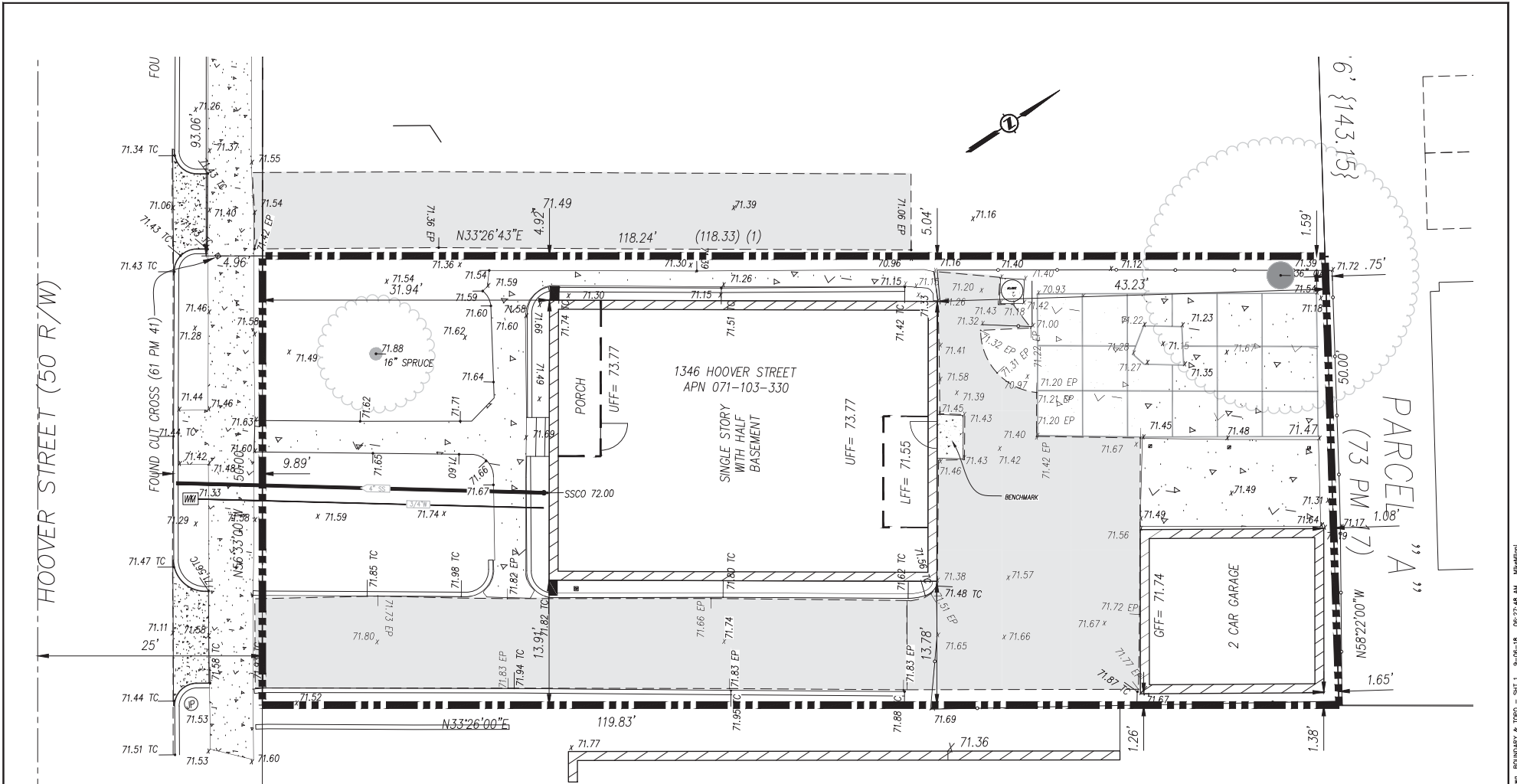
PROPOSED GROSS FLOOR AREA SCHEDULE

FLOOR AREAS	MARK	AREA
(E) HOUSE	A	1,161 SF
(E) PORCH	B	79 SF
(N) GARAGE	D	1,240 SF
(N) 2ND UNIT	D	538 SF
(N) 2ND UNIT	E	42 SF
(N) 2ND UNIT	F	11 SF
		589 SF
TOTAL GROSS FLOOR AREA		1,629 SF

REVISIONS

PLANNING SET	08/21/18
A PLANNING RESPONSE 1	08/30/18
B PLANNING RESPONSE 2	09/07/18

PROJECT NO: 18001
 SUBMITAL: PLANNING SUBMITAL
 ISSUE DATE: 09/07/18
 DRAWN BY: RS
 CHECKED BY: RPN
 SCALE: 1/8" = 1'-0"



I CERTIFY THAT THIS PARCEL BOUNDARY SURVEY WAS CONDUCTED UNDER MY DIRECTION ON JUNE 2018 AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. THE SURVEY WAS PERFORMED AT THE REQUEST OF THE MILANI FAMILY. THE RETRACEMENT SURVEY IS BASED UPON THE TRACT MAP ENTITLED MAP OF PARAISO PARK FILE NOVEMBER 15, 1921 IN BOOK 10 OF MAPS AT PAGE 20, SAN MATEO COUNTY RECORDS.

MICHAEL E. MILANI

MICHAEL E. MILANI
LS 5311, EXP 12-31-2019



BENCHMARK:
TEMPORARY BENCHMARK, BEING THE BACK REAR CONCRETE STOOD AT THE REAR ENTRANCE OF THE RESIDENCE. ELEVATION TAKEN AS 71.45.

BASIS OF BEARINGS:
THE NORTHEASTERLY LINE OF HOOVER STREET (50' R/W) (FORMERLY FREMONT STREET) AS SHOWN ON THE MAP ENTITLED "PARAISO PARK" FILED NOVEMBER 15, 1921 IN BOOK 10 OF MAPS AT PAGE 50 TAKEN AS NORTH 56° 33' 00" WEST.



REVIEW COPY
SUBJECT TO REVISION
NOT FINAL
THIS NOTICE TO BE REMOVED UPON COMPLETION OF MAP AND UPON AGENCY/CLIENT APPROVAL OF MAP

BOUNDARY AND TOPO BASE MAP

Planning
Surveying & Mapping
Land Development Engineering
Municipal Engineering
Construction Staking
Environmental Engineering
SWPPP Monitoring & Reporting

2655 Starwell Drive, Suite 105
Concord, CA 94520
Phone: (925) 674-9062
Fax: (925) 674-9278
Web: www.milaniossassociates.com

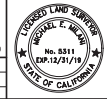
APN 071-103-330
CITY OF MENLO PARK
SAN MATEO COUNTY
CALIFORNIA

PORTION OF LOT 1 BLOCK A PARAISO PARK (10 RSM 50)

1346 HOOVER STREET
SITE DEVELOPMENT PLAN

DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. MILANI	DATE
R.C.E. No. 5121 REGISTRATION EXPIRES 04-01-19	L.S. No. 5311 REGISTRATION EXPIRES 12/31/19
DESIGN: MEM	JOB# NO: 406
DRAWING: MEM	DATE: SEPTEMBER 2018
CHECKED: M/M/M	SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					1
					2

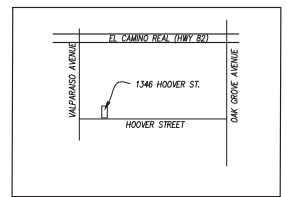
VALPARAISO AVENUE (66' R/W)

N33°26'00"E 60.40'

HOOVER STREET (50' R/W)

I CERTIFY THAT THIS PARCEL BOUNDARY SURVEY WAS CONDUCTED UNDER MY DIRECTION ON JUNE 2018 AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. THE SURVEY WAS PERFORMED AT THE REQUEST OF THE MILANI FAMILY. THE RETRACEMENT SURVEY IS BASED UPON THE TRACT MAP ENTITLED MAP OF PARAISO PARK FILE NOVEMBER 15, 1921 IN BOOK 10 OF MAPS AT PAGE 20, SAN MATEO COUNTY RECORDS.

MICHAEL E. MILANI
MICHAEL E. MILANI
LS 5311, EXP 12-31-2019



VICINITY MAP

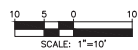
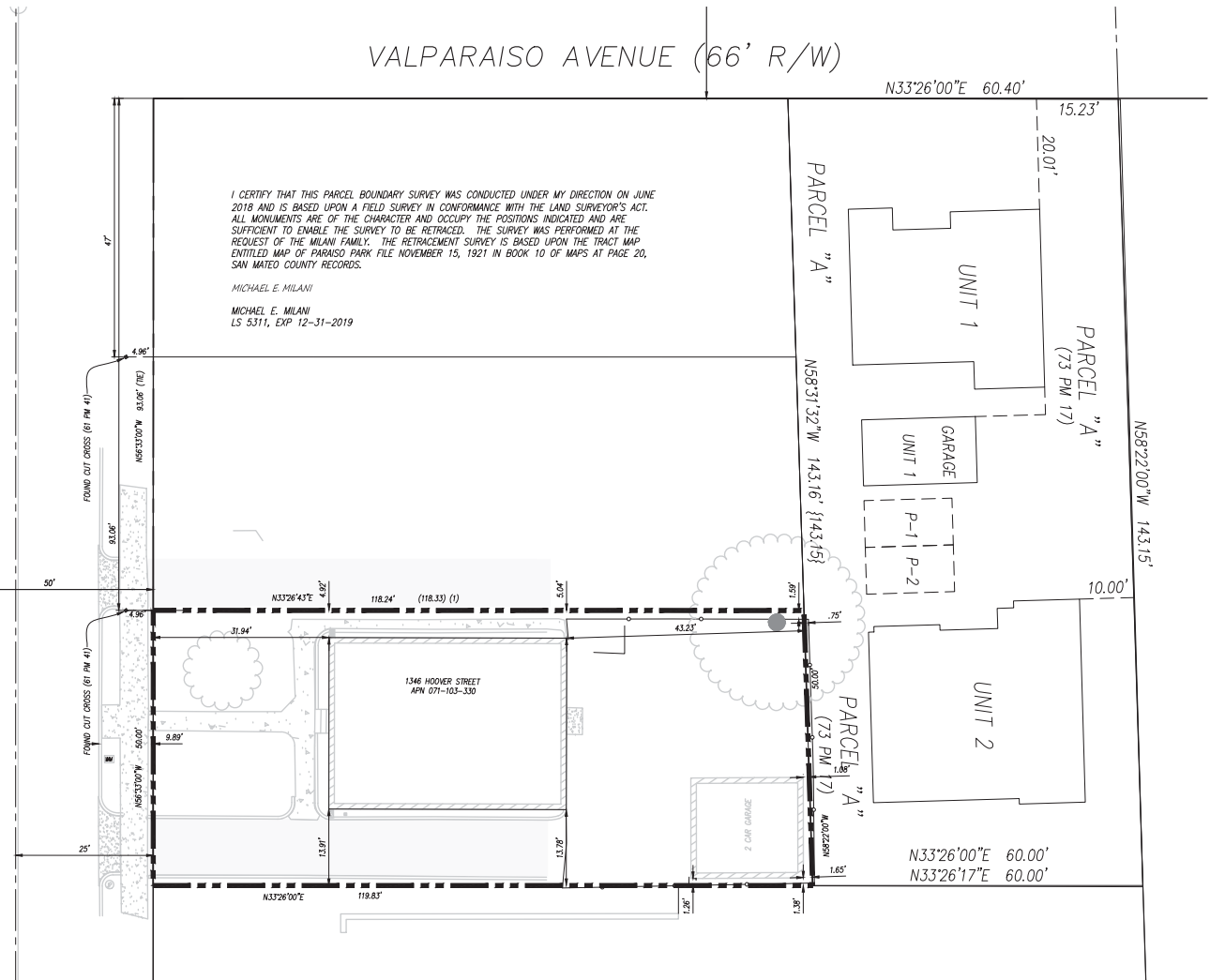
GENERAL NOTES:

- OWNERS:
GNA MILANI (1/3 INTEREST)
MARK MILANI (1/3 INTEREST)
MICHAEL MILANI (1/3 INTEREST)
- CIVIL ENGINEER:
MILANI & ASSOCIATES
2655 STANWELL DRIVE, SUITE #105
CONCORD, CA 94520
PHONE (925) 674-9082 X 103
FAX (925) 674-9279
mmilani@milani-eng.com
ATTN: MICHAEL E MILANI
RCE 35121 EXP 09-30-2019
PLS 5311 EXP 12-31-2019

LEGAL DESCRIPTION:

A PORTION OF LOT 1, BLOCK A, AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF PARAISO PARK", FILED NOVEMBER 15, 1921 IN BOOK 10 OF MAPS AT PAGE 50, SAN MATEO COUNTY, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHEASTERLY LINE OF HOOVER STREET, FORMERLY KNOWN AS FREMONT AVENUE, DISTANT THEREON SOUTH 56° 33' EAST, 93.06 FEET FROM ITS INTERSECTION WITH THE SOUTHEASTERLY LINE OF VALPARAISO AVENUE, RUNNING ALONG SAID LINE OF HOOVER STREET SOUTH 56° 33' EAST 50 FEET TO THE MOST WESTERLY CORNER OF LAND CONVEYED TO CANDIDO BUGNA BY DEED DATED MAY 20, 1936 AND RECORDED JUNE 2, 1936 IN BOOK 698 OF OFFICIAL RECORDS AT PAGE 82, THENCE ALONG THE NORTHWESTERLY BOUNDARY OF SAID BUGNA PARCEL NORTH 33° 26' EAST 119.83 FEET MORE OR LESS, TO THE MOST SOUTHERLY CORNER OF LAND CONVEYED TO ALFRED BUCHMANN BY DEED DATED NOVEMBER 6, 1936 AND RECORDED NOVEMBER 6, 1936 I BOOK 717 OF OFFICIAL RECORDS AT PAGE 107, THENCE ALONG THE SOUTHWESTERLY BOUNDARY OF SAID BUCHMANN PARCEL NORTH 58° 22' WEST 50 FEET, THENCE SOUTHWESTERLY IN A DIRECT LINE 118.33 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

- GENERAL PLAN DESIGNATION:
RESIDENTIAL
- EXISTING ZONING:
R-3 APARTMENT DISTRICT
- ASSESSOR PARCEL NUMBER:
071-103-330 - FEE PARCEL
- SITE ADDRESS:
1346 HOOVER STREET
- SITE ACREAGE:
5950.39 SF / 0.137 ACRES GROSS AND NET
- SITE STRUCTURES:
ONE EXISTING RESIDENTIAL STRUCTURE & DETACHED GARAGE.
- FEMA:
FLOOD ZONE DESIGNATION:
THE SITE IS NOT INCLUDED IN ANY SPECIAL FLOOD ZONE.



BOUNDARY AND TOPO BASE MAP

BASES OF BEARINGS:
THE NORTHEASTERLY LINE OF HOOVER STREET (50' R/W)
(FORMERLY FREMONT STREET) AS SHOWN ON THE MAP
ENTITLED "PARAISO PARK" FILED NOVEMBER 15, 1921 IN BOOK
10 OF MAPS AT PAGE 50 TAKEN AS NORTH 56° 33' 00" WEST.



REVIEW COPY
SUBJECT TO REVISION
NOT FINAL
THIS NOTICE TO BE REMOVED UPON
COMPLETION OF MAP AND UPON
AGENCY/CLIENT APPROVAL OF MAP

Planning
Surveying & Mapping
Land Development Engineering
Municipal Engineering
Construction Staking
Environmental Engineering
SWPPP Monitoring & Reporting



2655 Stanwell Drive, Suite 105
Concord, CA 94520
Phone: (925) 674-9082
Fax: (925) 674-9279
Web: www.milaniassociates.com

APN 071-103-330

PORTION OF LOT 1 BLOCK A PARAISO PARK (10 RSM 50)
1346 HOOVER STREET
SITE DEVELOPMENT PLAN

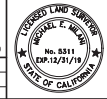
CITY OF MENLO PARK

SAN MATEO COUNTY

CALIFORNIA

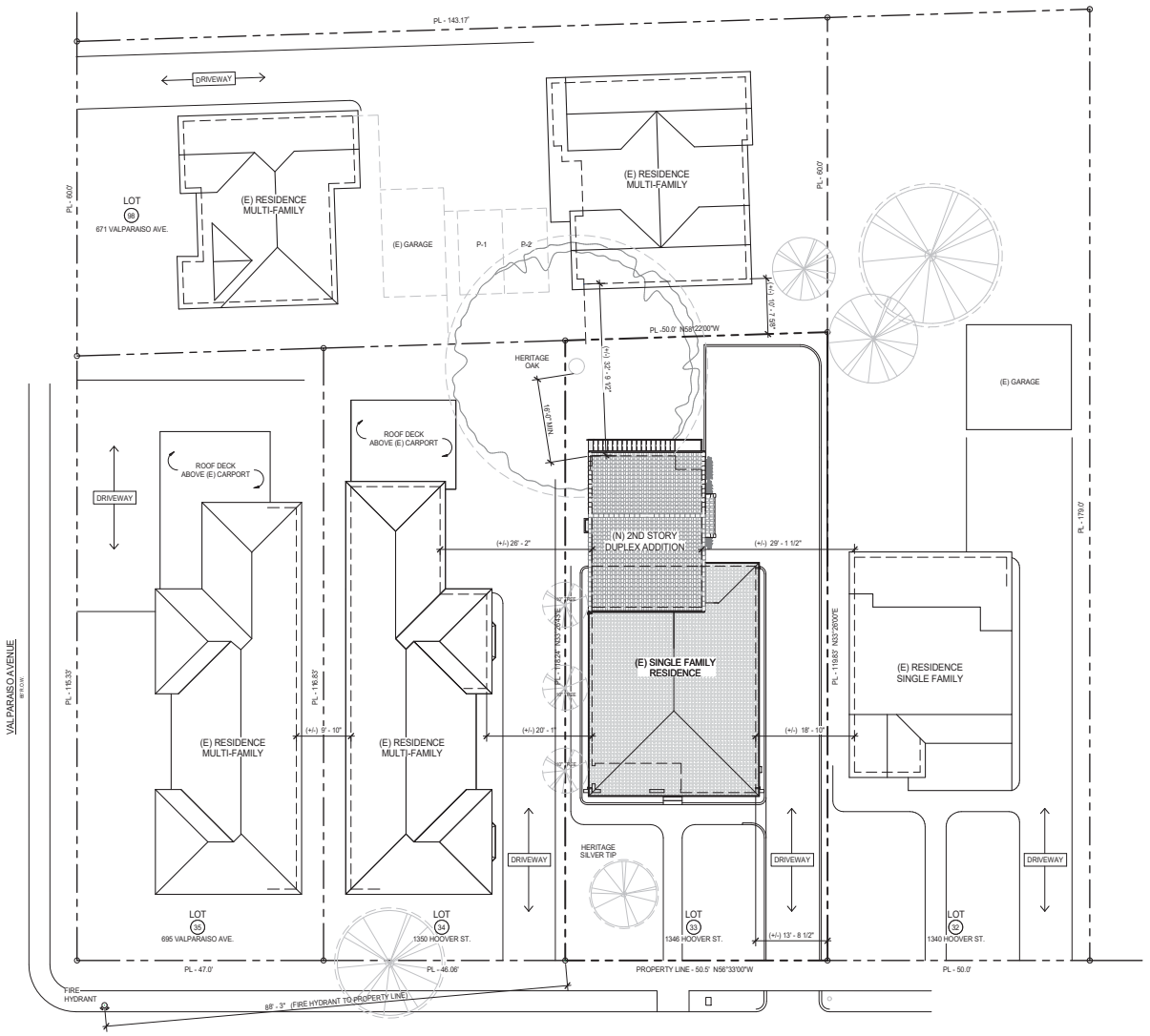
DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. MILANI
R.C.E. No. 5311 REGISTRATION EXPIRES 04-04-19
DATE: SEPTEMBER 2018
DESIGN: MEM
JOB# NO: 406
DRAWING: MEM
CHECKED: M/M/M
SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					2
					2

REVISION:	
PLANNING SET	02/21/18
A PLANNING RESPONSE 1	09/07/18



1 NEIGHBORHOOD AREA PLAN & STREETSCAPE ELEVATION
SCALE: 3/32" = 1'-0"



MILANI RESIDENCE
ADDITION AND ALTERATIONS PREPARED FOR
MARK & GINA MILANI
1346 HOOVER STREET
MENLO PARK, CA 94025
APN: 071-103-330

PROJECT NO:	18001
SUBMITAL:	PLANNING SUBMITAL
DATE:	09/07/18
DRAWN BY:	RS
CHECKED BY:	RS
SCALE:	3/32" = 1'-0"

SHEET TITLE:
NEIGHBORHOOD AREA PLAN

A0.0

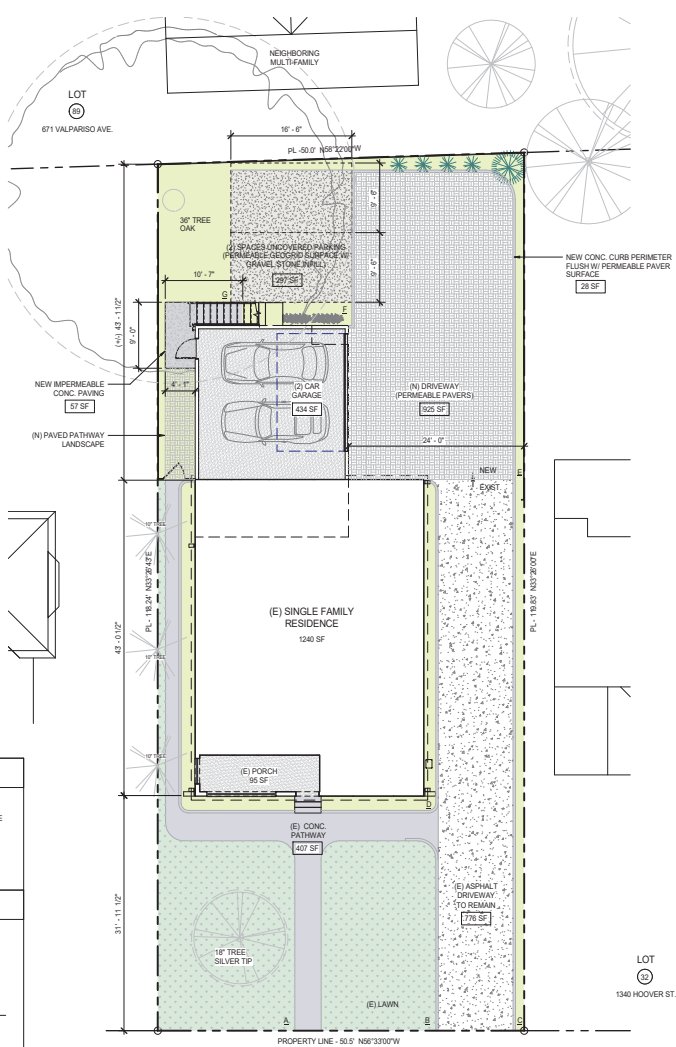
REVISIONS

PLANNING SET	02/21/18
A PLANNING RESPONSE 1	03/30/18
B PLANNING RESPONSE 2	09/07/18

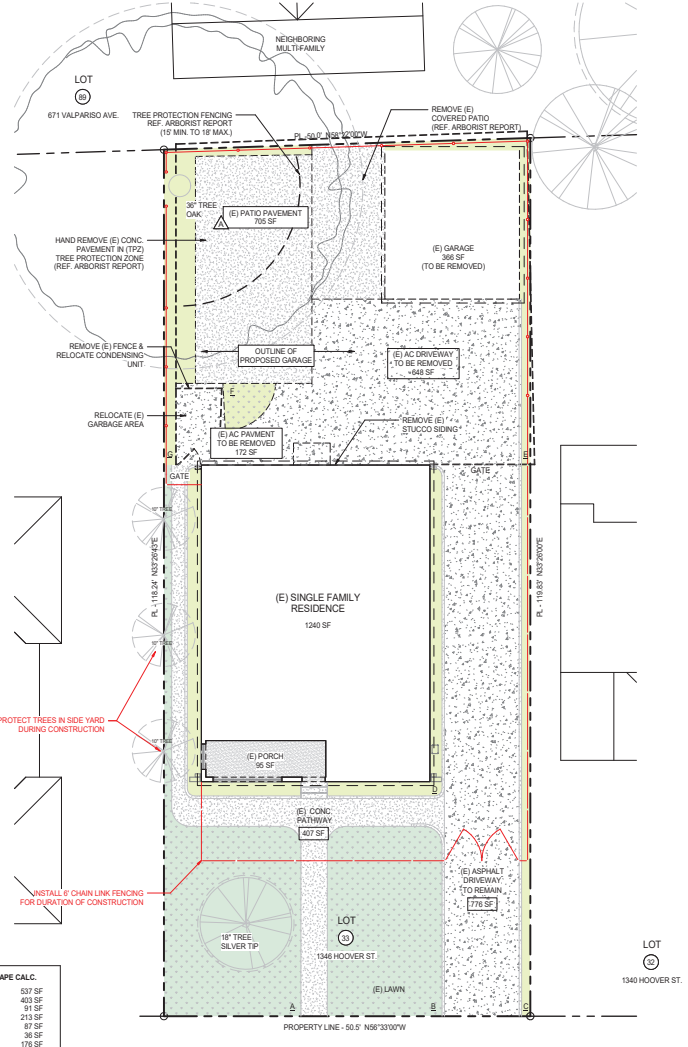
MILANI RESIDENCE
 ADDITION AND ALTERATIONS PREPARED FOR
 MARK & GINA MILANI
 1346 HOOVER STREET
 MENLO PARK, CA 94025
 APN: 071-103-330

PROJECT NO: 18001
 SUBMITTAL: PLANNING SUBMITTAL
 TITLE DATE: 09/07/18
 DRAWN BY: RS
 CHECKED BY: Rjm
 SCALE: 1/8" = 1'-0"
 SHEET TITLE:

(E) SITE DEMO PERMEABLE AREAS
A0.1



2 PROPOSED PERMEABLE AREA PLAN
 SCALE: 1/8" = 1'-0"



1 (E) SITE / DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

SITE MATERIALS LEGEND

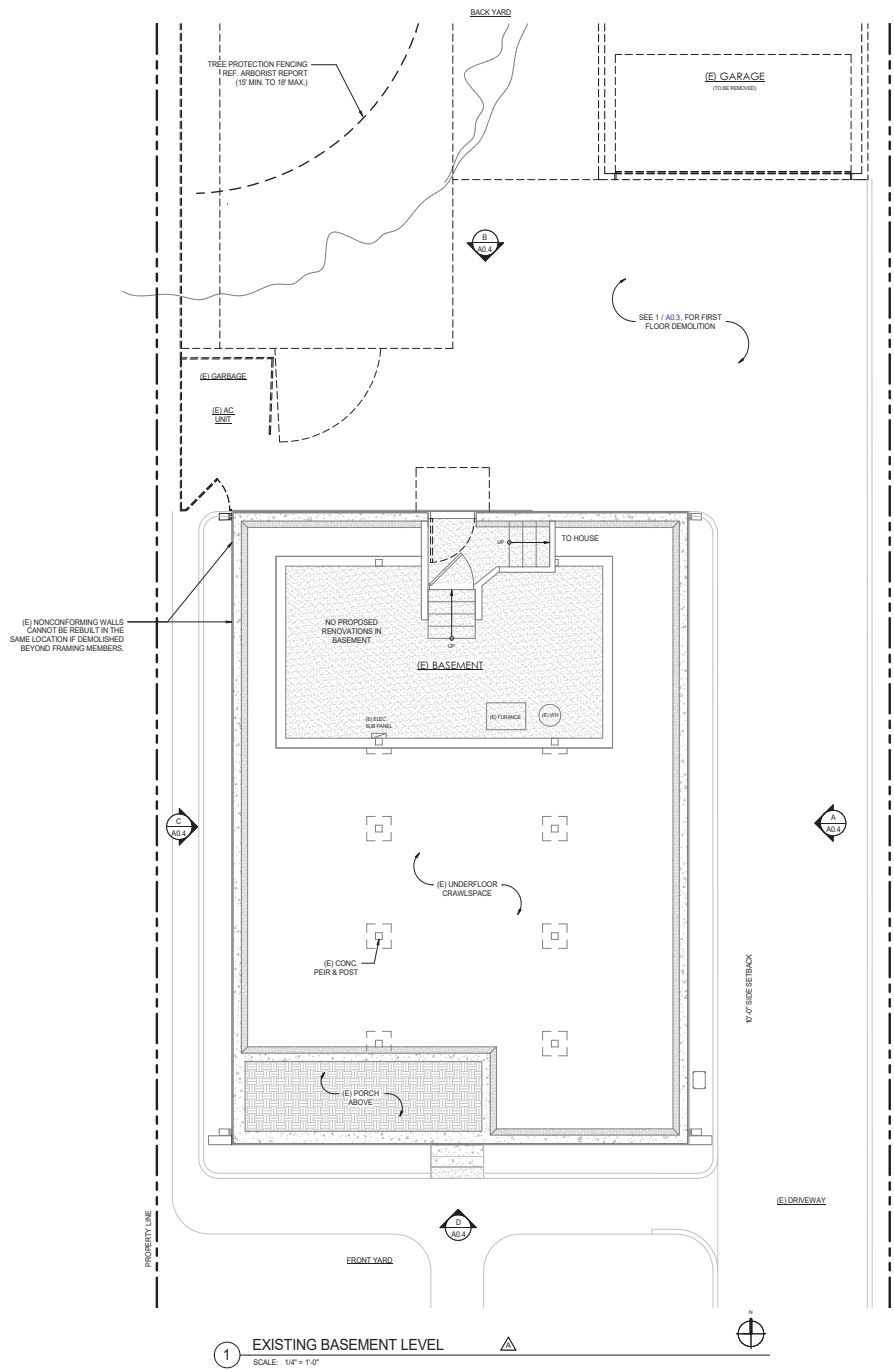
ASPHALT CONCRETE	PERMEABLE ALL-WEATHER SURFACE
CONCRETE PATHWAY	PLANTING AREA
PERMEABLE PAVER	TURF AREA

LANDSCAPE & PAVING CALCULATION

PROPOSED LANDSCAPE AREA	2,100 SF (~35.3%)
EXISTING LANDSCAPE AREA	(+/-) 1,950 SF (~32.8%)
PROPOSED DRIVEWAY & PARKING AREA	
(E) ASPHALT DRIVEWAY TO REMAIN	776 SF
(N) PERMEABLE DRIVEWAY	463 SF (~165 / 2)
(N) PERMEABLE UNCOVERED PARKING	149 SF (~297 / 2)
TOTAL DRIVEWAY & PARKING	(+/-) 1,388 SF (~23.3%)

PERMEABLE AREA CALCULATION

TOTAL AREA OF PARCEL	5,952 SF (0.14 ACRES)
EXISTING IMPERVIOUS & PERVIOUS AREA	
(E) HOUSE, GARAGE & PORCH	1701 SF
(E) ASPHALT DRIVEWAY & PATIO PAVEMENT	2301 SF
TOTAL (E) IMPERVIOUS AREA	(+/-) 4,002 SF (~67.2%)
TOTAL (E) PERMEABLE AREA	(+/-) 1,950 SF (~32.8%)
PROPOSED IMPERVIOUS & PERVIOUS AREA	
(E) HOUSE & PORCH	1335 SF
(N) GARAGE	434 SF
(N) IMPERVIOUS CONC. PAVING	57 SF
(E) ASPHALT DRIVEWAY TO REMAIN	776 SF
TOTAL (N) IMPERVIOUS AREA	(+/-) 2,502 SF (~42.0%)
TOTAL (N) PERMEABLE AREA	(+/-) 3,450 SF (~58.0%)



1 EXISTING BASEMENT LEVEL
SCALE: 1/4" = 1'-0"

REVISIONS

A	PLANNING RESPONSE 1	08/20/18

MILANI RESIDENCE
ADDITION AND ALTERATIONS PREPARED FOR
MARK & GINA MILANI
1346 HOOVER STREET
MENLO PARK, CA 94025
APN: 071-103-330

PROJECT NO: 18001

SUBMITAL: PLANNING SUBMITAL

DATE: 08/07/18

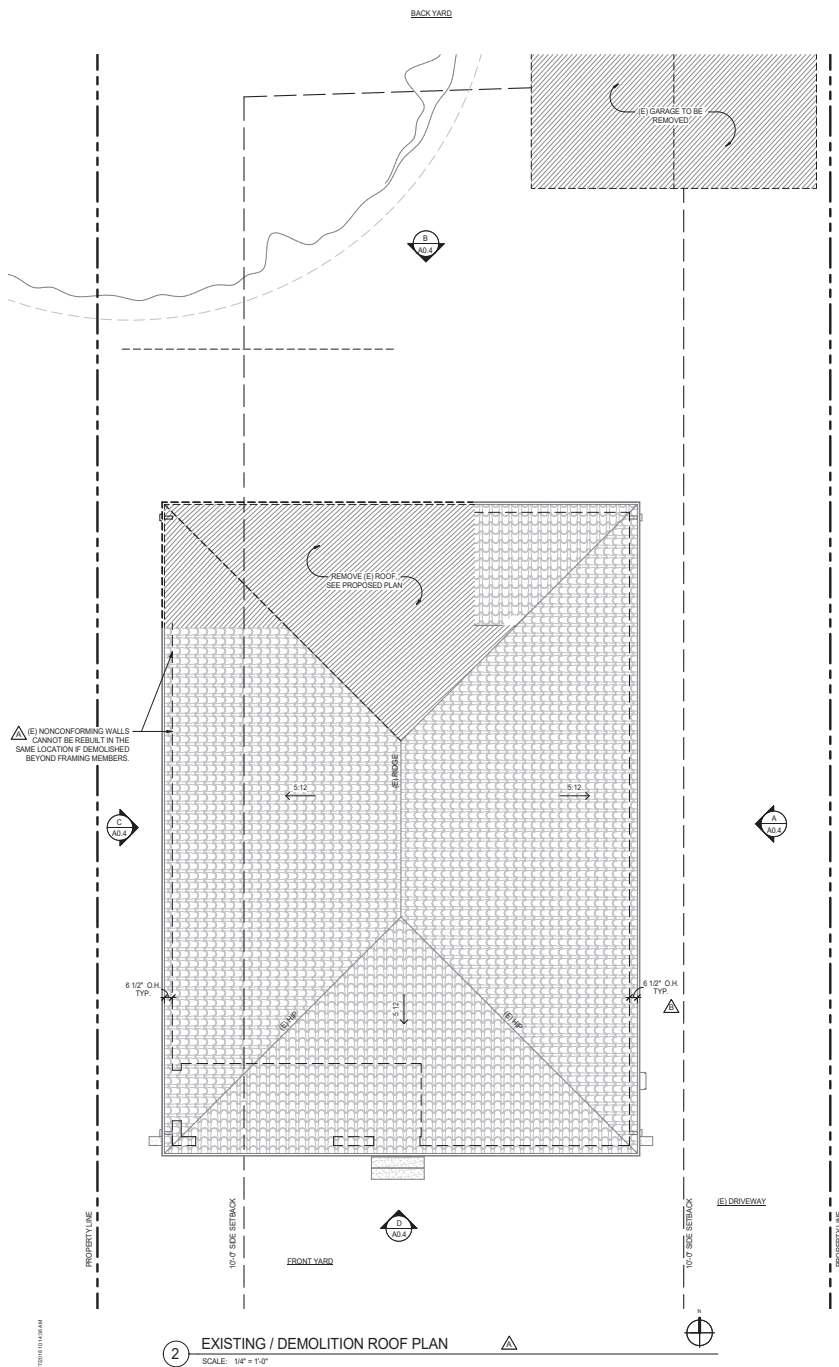
DRAWN BY: Author

CHECKED BY: *Rjm*

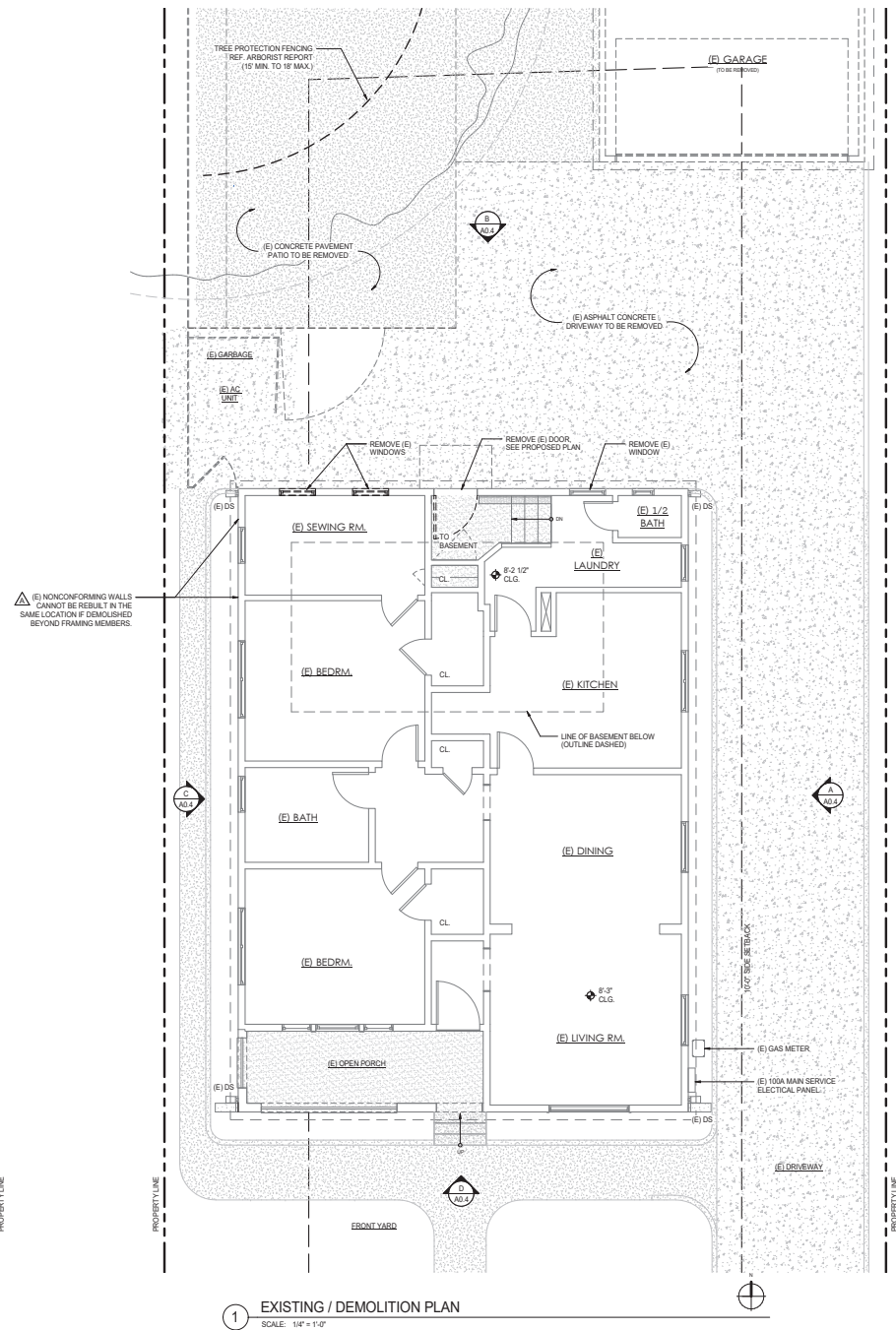
SCALE: 1/4" = 1'-0"

SHEET TITLE:
(E) BASEMENT LEVEL

A0.2



2 EXISTING / DEMOLITION ROOF PLAN
SCALE: 1/4" = 1'-0"



1 EXISTING / DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

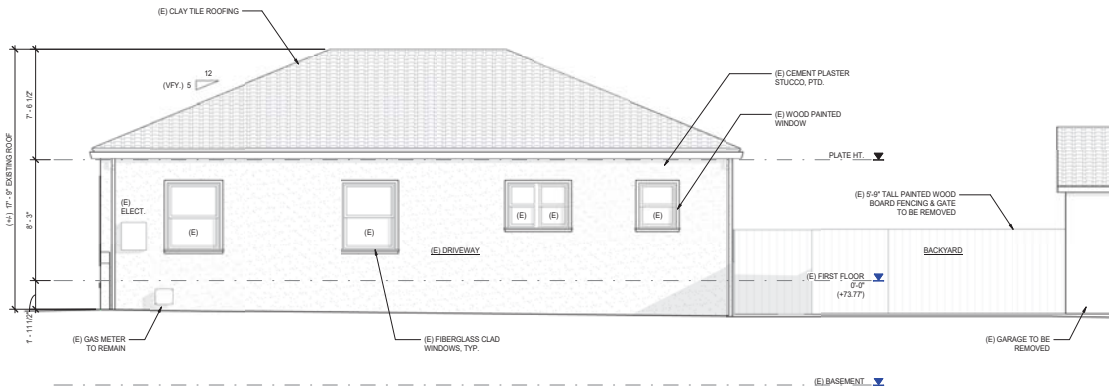
REVISIONS	
PLANNING SET	02/11/18
A PLANNING RESPONSE 1	03/30/18
B PLANNING RESPONSE 2	09/07/18

MILANI RESIDENCE
ADDITION AND ALTERATIONS PREPARED FOR
MARK & GINA MILANI
1346 HOOVER STREET
MENLO PARK, CA 94025
APN: 071-103-330

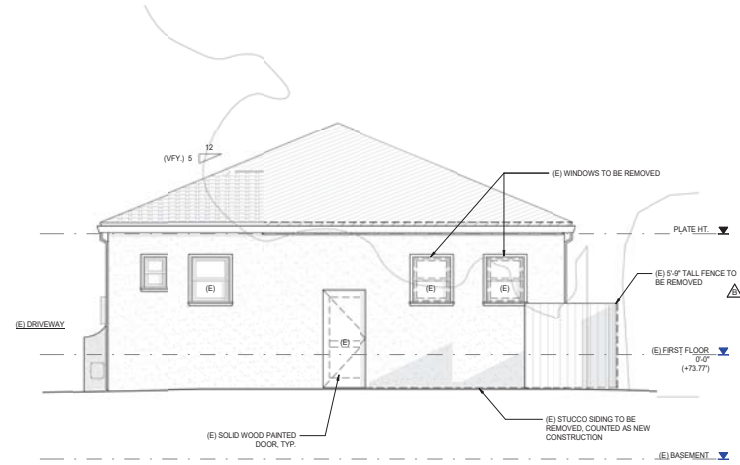
PROJECT NO.	18001
SUBMITAL	PLANNING SUBMITAL
DATE SUBMITTED	09/07/18
DRAWN BY	RS
CHECKED BY	Rjm
SCALE	1/4" = 1'-0"

SHEET TITLE
(E) FLOOR & ROOF PLAN
A0.3

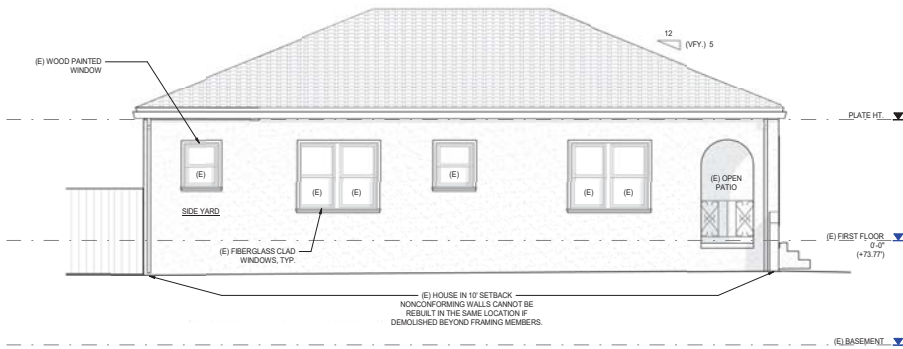
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PLANNING SET	08/21/18
A PLANNING RESPONSE 1	09/30/18
B PLANNING RESPONSE 2	09/07/18



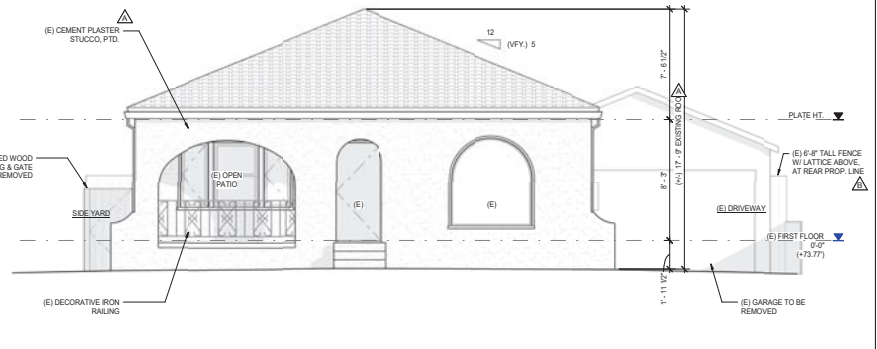
(A) EXISTING SIDE ELEVATION - EAST
SCALE: 1/4" = 1'-0"



(B) EXISTING REAR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



(C) EXISTING SIDE ELEVATION - WEST
SCALE: 1/4" = 1'-0"



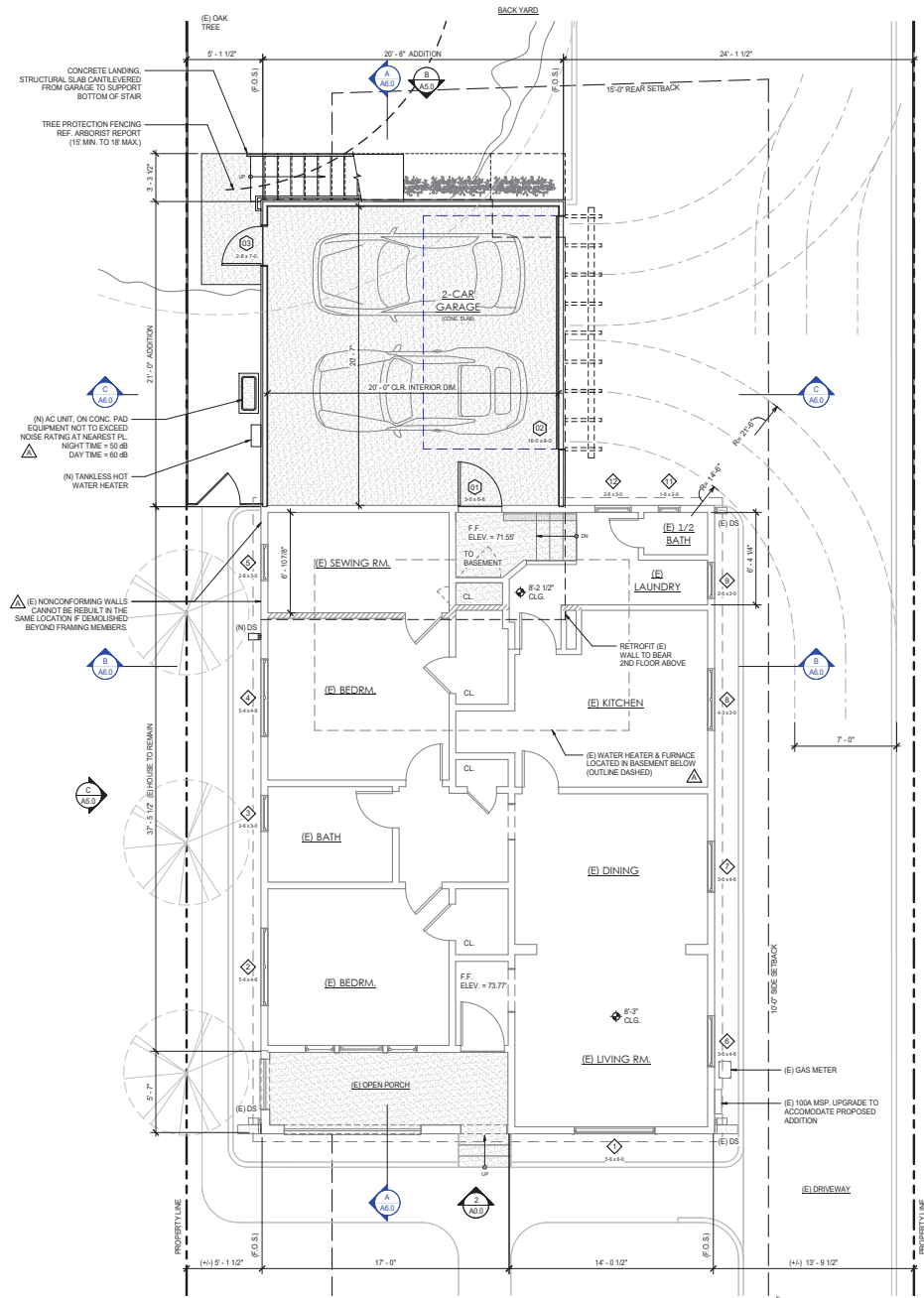
(D) EXISTING FRONT ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

MILANI RESIDENCE
ADDITION AND ALTERATIONS PREPARED FOR
MARK & GINA MILANI
1346 HOOVER STREET
MENLO PARK, CA 94025
APN: 071-103-330

PROJECT NO.	18001
SUBMITAL	PLANNING SUBMITAL
DATE DATE	09/07/18
DRAWN BY	RS
CHECKED BY	RS
SCALE	1/4" = 1'-0"

SHEET TITLE
(E) ELEVATIONS

A0.4



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

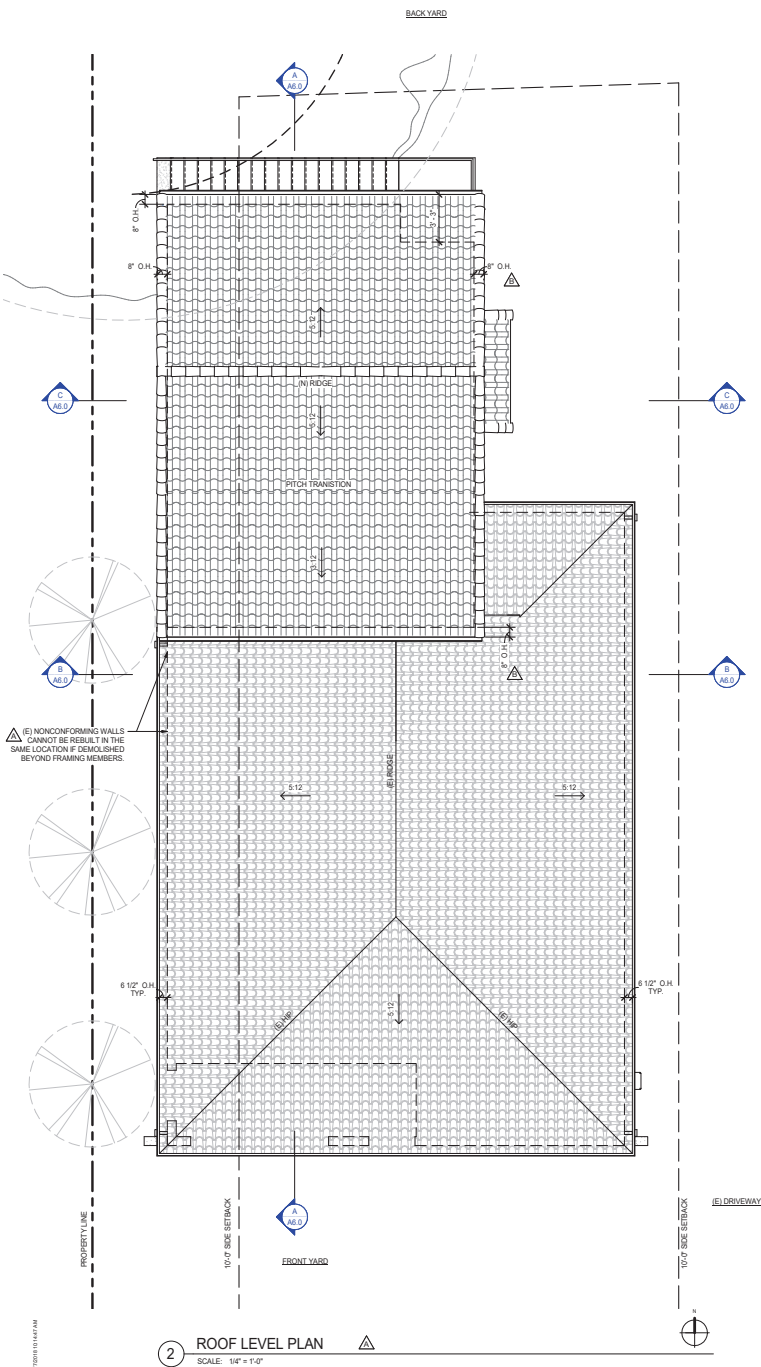
REVISION:	
PLANNING SET	02/11/18
A PLANNING RESPONSE 1	09/30/18

MILANI RESIDENCE
ADDITION AND ALTERATIONS PREPARED FOR
MARK & GINA MILANI
1346 HOOVER STREET
MENLO PARK, CA 94025
APN: 071-103-330

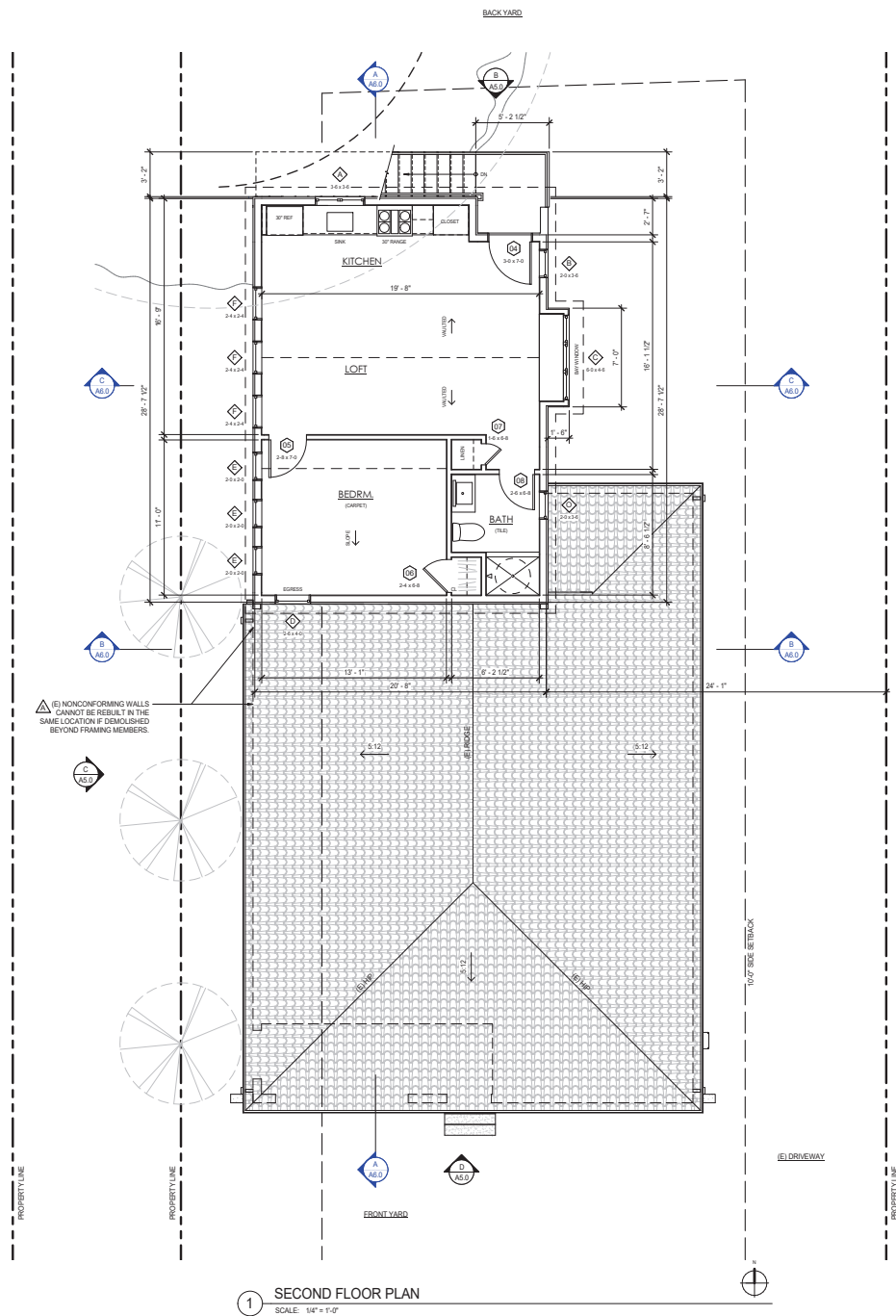
PROJECT NO:	18001
SUBMITAL:	PLANNING SUBMITAL
DATE:	09/07/18
DRAWN BY:	RS
CHECKED BY:	RS
SCALE:	1/4" = 1'-0"

SHEET TITLE:
FIRST FLOOR PLAN

A2.0



2 ROOF LEVEL PLAN
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

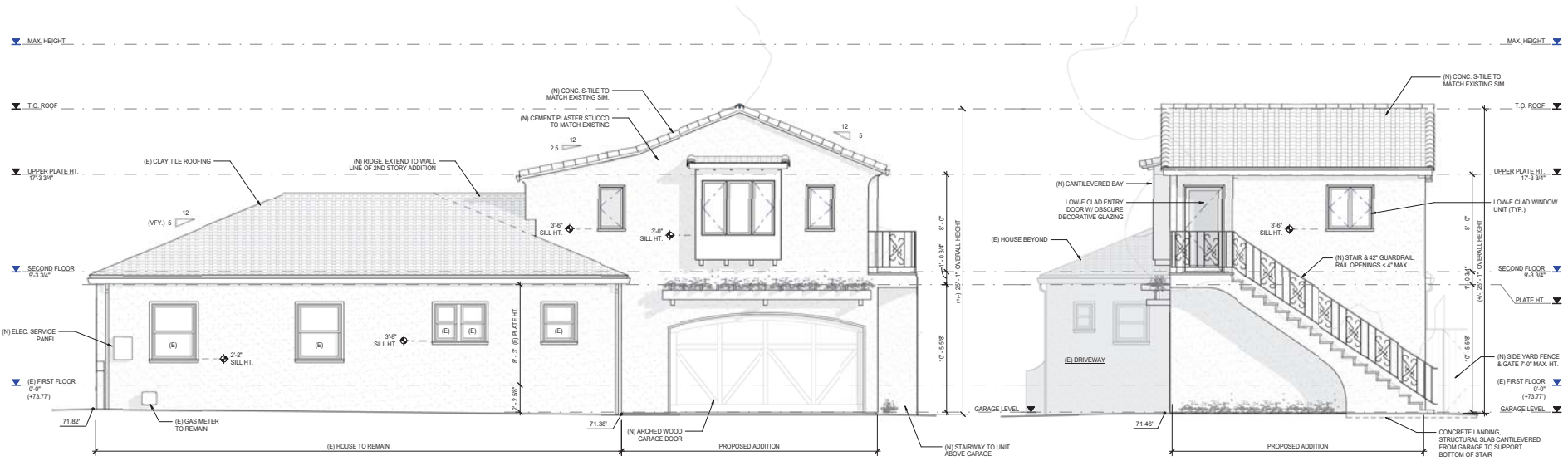
REVISION	DATE
PLANNING SET	02/21/18
A PLANNING RESPONSE 1	03/30/18
B PLANNING RESPONSE 2	09/07/18

MILANI RESIDENCE
ADDITION AND ALTERATIONS PREPARED FOR
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MENLO PARK, CA 94025
APN: 071-103-330

PROJECT NO.	18001
SUBMITAL	PLANNING SUBMITAL
DATE	09/07/18
DRAWN BY	RS
CHECKED BY	Rjm
SCALE	1/4" = 1'-0"

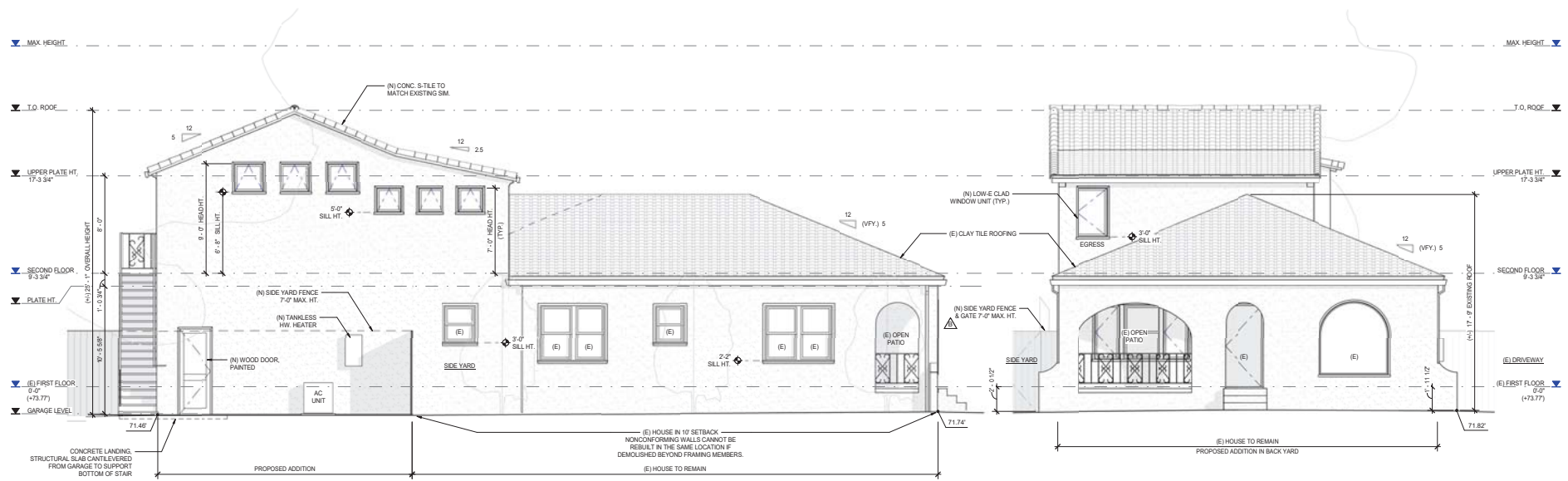
SHEET TITLE:
SECOND FLOOR PLAN

A2.1



(A) SIDE ELEVATION - EAST
SCALE: 1/4" = 1'-0"

(B) REAR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



(C) SIDE ELEVATION - WEST
SCALE: 1/4" = 1'-0"

(D) FRONT ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

REVISIONS	
PLANNING SET	08/21/18
A PLANNING RESPONSE 1	09/30/18
B PLANNING RESPONSE 2	09/07/18

MILANI RESIDENCE
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MARK & GINA MILANI
1346 HOOVER STREET
MENLO PARK, CA 94025
APN: 071-103-330

PROJECT NO.	18001
SUBMITAL	PLANNING SUBMITAL
DATE DATE	09/07/18
DRAWN BY	RS
CHECKED BY	RS
SCALE	1/4" = 1'-0"

SHEET TITLE: **EXTERIOR ELEVATIONS**

A5.0

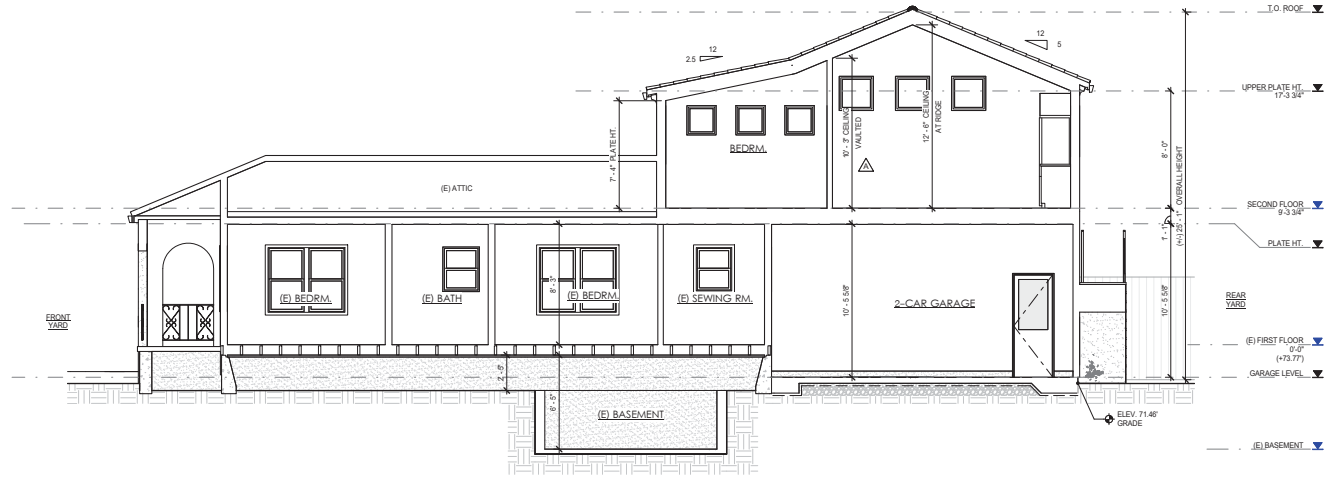
REVISION	DATE
PLANNING SET	08/21/18
A PLANNING RESPONSE 1	08/30/18
B PLANNING RESPONSE 2	09/07/18

MILANI RESIDENCE
ADDITION AND ALTERATIONS PREPARED FOR
MARK & GINA MILANI
1346 HOOVER STREET
MENLO PARK, CA 94025
APN: 071-103-330

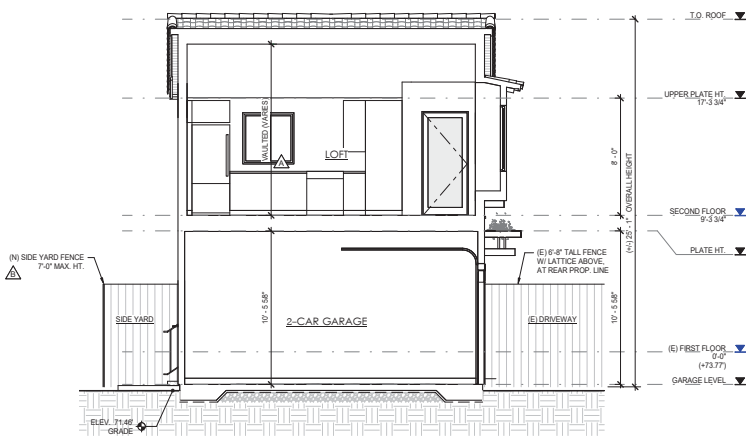
PROJECT NO.	18001
SUBMITAL	PLANNING SUBMITAL
DATE	09/07/18
DRAWN BY	RS
CHECKED BY	RS
SCALE	1/4" = 1'-0"

SHEET TITLE
BUILDING SECTIONS

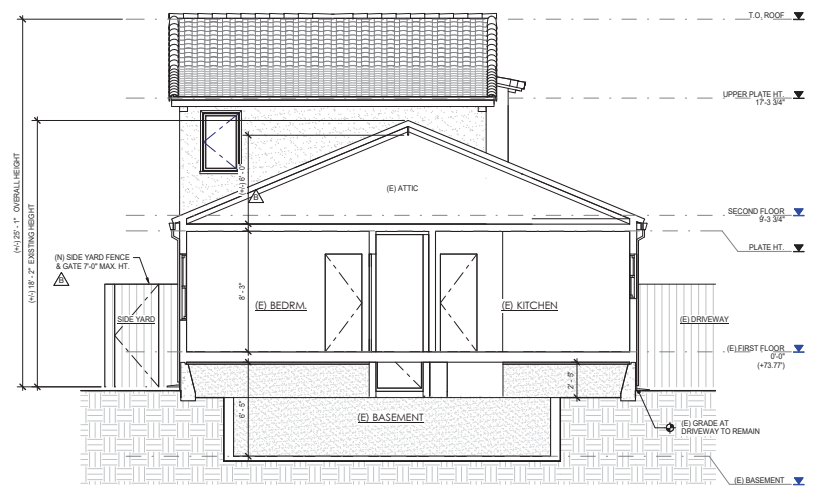
A6.0



A LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"



C CROSS SECTION THRU PROPOSED ADDITION
SCALE: 1/4" = 1'-0"



B CROSS SECTION THRU EXISTING HOUSE
SCALE: 1/4" = 1'-0"



NORTHEAST RENDERING



SOUTH RENDERING (STREET)



SOUTH EAST RENDERING (DRIVEWAY)



NORTHWEST RENDERING



SOUTH WEST RENDERING



NORTH WEST RENDERING

COLLABORATIVE
DESIGN STUDIO

2280 SPYGLASS DRIVE #D
PISMO BEACH, CA 93449

REVISION	DATE
1. PLANNING SET	02/21/18
2. PLANNING RESPONSE 2	09/07/18

MILANI RESIDENCE
ADDITION AND ALTERATIONS PREPARED FOR
MARK & GINA MILANI
1346 HOOVER STREET
MENLO PARK, CA 94025
APN: 071-103-330

PROJECT NO.	18001
SUBMITAL	PLANNING SUBMITAL
DATE DATE	09/07/18
DRAWN BY	RS
CHECKED BY	<i>Rjm</i>
SCALE	

SHEET TITLE:
PERSPECTIVE
RENDERINGS

A7.0

9/7/2018

Community Development Department

City of Menlo Park Planning Division
701 Laurel Street
Menlo Park, CA 94025

Attention: Ori Paz, Assistant Planner**Subject:** 1346 Hoover Street Project Description

To whom it may concern,

The purpose of our development proposal located at 1346 Hoover Street is to add a second living unit onto the existing single-family residence. The property is owned by the Milani Family (Mark, Gina & Mike), who grew up living in the house years ago. The house has been part of the family for multiple generations. The proposed duplex unit is intended to preserve the family's inheritance for future generations, while currently providing a place for one of the siblings to live on the Peninsula.

Scope of work includes removal of an existing garage (rear northeast corner) to be replaced with a new garage supporting a new 2nd story duplex unit above. Site improvements include new permeable driveway paving and an all-weather parking surface for two uncovered parking spaces. The existing rear yard is confined by a heritage oak tree and the narrow 50' sub-standard lot width. The proposed development requests a side setback reduction to align the new addition with the existing house, in doing so to provide the required parking and driveway access space.

The existing house built circa 1939, is a 1-story spanish style peninsula home. The existing roof is terra cotta, clay tile roofing. The existing exterior siding is painted stucco. Front porch and entryway have arched openings reminiscent of the early 1930's to early 1940's. Existing windows are primarily single-hung, rectangular in shape, except for the front living room window, which is arched similar to the existing porch openings.

The proposed addition is intended to adopt a similar materials palate of the existing house. The architectural style is a contemporary addition to the existing 1940's spanish style home. Proposed construction is Type-V wood frame on a concrete slab on grade. New roofing to be concrete s-tile, color to match existing. If clay-tile is available during construction, it may be used as an alternate. New siding to be cement plaster stucco, to match existing texture and color. Proposed window to be rectangular in shape with trim and finish to match the existing house. Proposed stairway railing to match similar to the existing wrought iron railing of the front entry porch.

The existing house at 1346 Hoover Street is currently a single-family residence located in the R-3 Apartment District of downtown Menlo Park. It is located between Valparaiso and Oak Grove, a short walk to Santa Cruz Avenue. The proposed development will change use from a single-family residence into a duplex with a new second unit above new garage. The property owners have conducted neighborhood outreach, to inform neighbors by providing elevations and perspectives of the proposed project. Those neighbors include; 1340 Hoover, 1350 Hoover, 1343 Hoover, 1245-1351 Hoover. The owners have also done initial outreach to the residents behind the property at 677 and 671 Valparaiso.

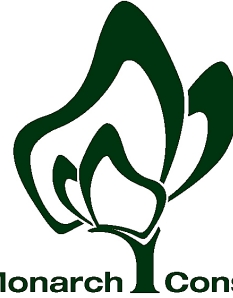
Thank you,



R. Ross Stilleson
Collaborative Design Studio

June 6, 2018

Mark Milani
 Milani & Associates
 2655 Stanwell Drive, Suite 105
 Concord, CA. 94520



Monarch Consulting Arborists LLC
 P.O. Box 1010
 Felton, CA 95018
 831. 331. 8982

Summary

The plans for the proposed project include a second story to be constructed above a new garage. The coast live oak (*Quercus agrifolia*) is located in back of the property along the northwest boundary, has a trunk diameter of approximately 36 inches, and is considered a “Heritage Tree”. The tree is in fair overall condition with good suitability for conservation. The project will impact both portions of the crown and some of the root zone, but expected impacts are moderate. The new structure is to be built outside the tree’s critical root zone. The area under the tree where the proposed parking is located will consist of stone pavers installed above the native grade to avoid digging into the root area while meeting the City of Menlo Park’s required surface specifications. No linear cuts inside the CRZ or TPZ are proposed. Tree protection fence will need to be established at fifteen feet on the construction side and expand to eighteen where the existing driveway and garage are located.

Introduction

Assignment and Limits

- Provide an arborist’s report including an assessment of the coast live oak within the project area. The assessment is to include the species, size (trunk diameter), condition (health and structure), and suitability for conservation ratings.
- Provide tree protection specifications/guidelines and expected impact ratings.
- The information in this report is limited to the condition of the tree during my inspection on March 21, 2018.
- The plans reviewed for this assignment were as follows: Site Plan - Duplex Unit Option A not dated. Paver cross section diagram.

Purpose and Use

The report is intended to identify all the trees within the plan area that could be affected by the project. The report is to be used by the property owner, owner’s agents, and the City of Menlo Park as a reference for existing tree conditions to help satisfy planning requirements.



Observations

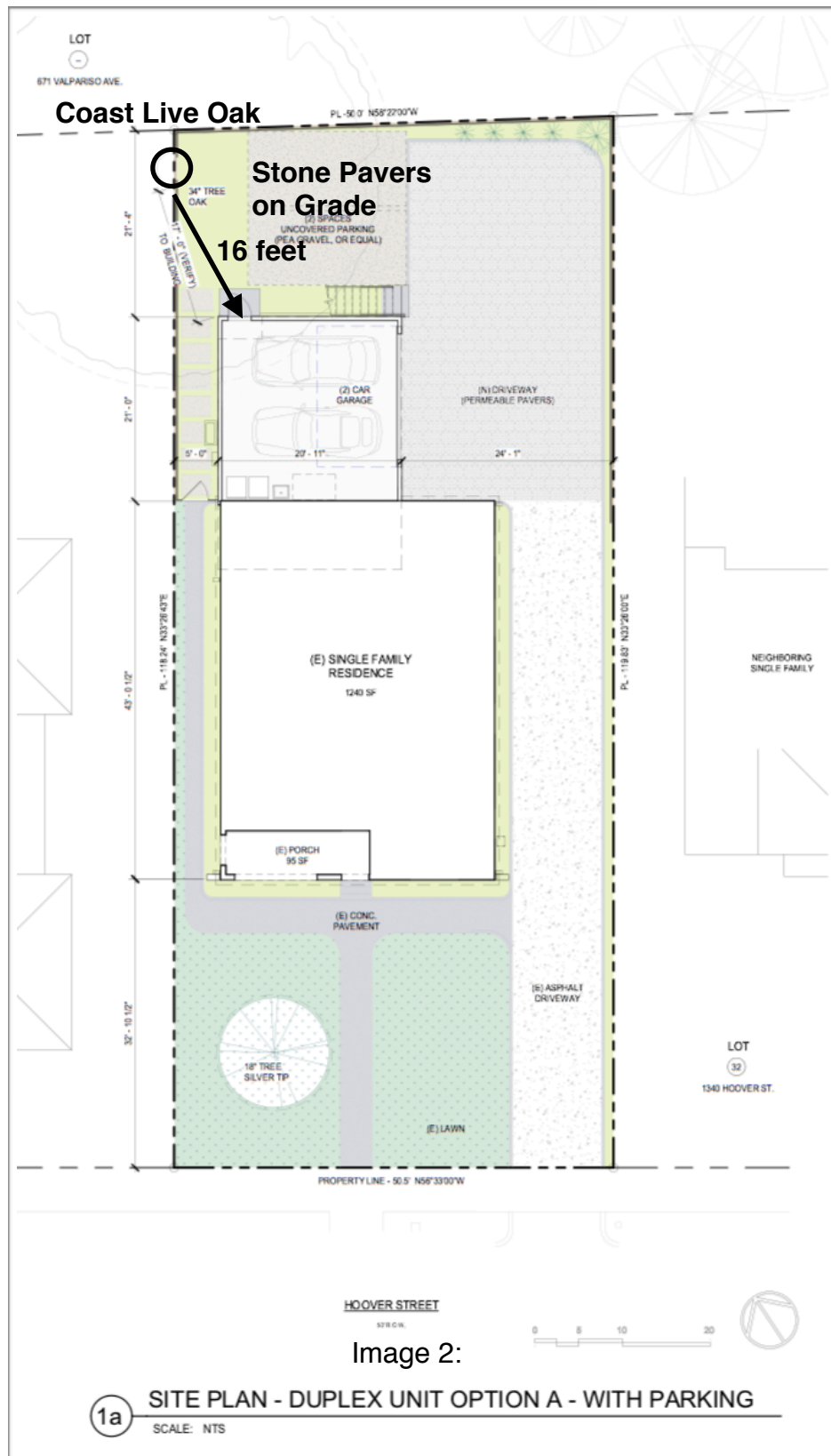
The coast live oak is located in back of the property along the northwest boundary. The tree has a trunk diameter of approximately 36 inches (113 inches in circumference) and is about 45 feet tall with a 40 foot crown radius into the site (Image 1). Foliar color, size, and density are normal for the species. The crown has been thinned and branches have been lions-tailed with most of the interior branches removed and foliage concentrated at the ends. The branches extend to the house and garage but have been reduced over the adjacent property. The trunk bifurcates about eight feet above grade supporting the crown with typical form and habit characteristic of the species. The trunk flare is partially exposed and the nearby adjacent concrete panels are currently being heaved and displaced.

The plans for the proposed project include a second story to be constructed above the new garage. The tree has some lower branches growing in the area where the addition is proposed. The proposed structure is located sixteen feet from the tree to the south and the existing building is thirty-six feet from the trunk. The heaved concrete will be removed and the existing garage structure demolished. The proposed parking area will be covered in gravel.

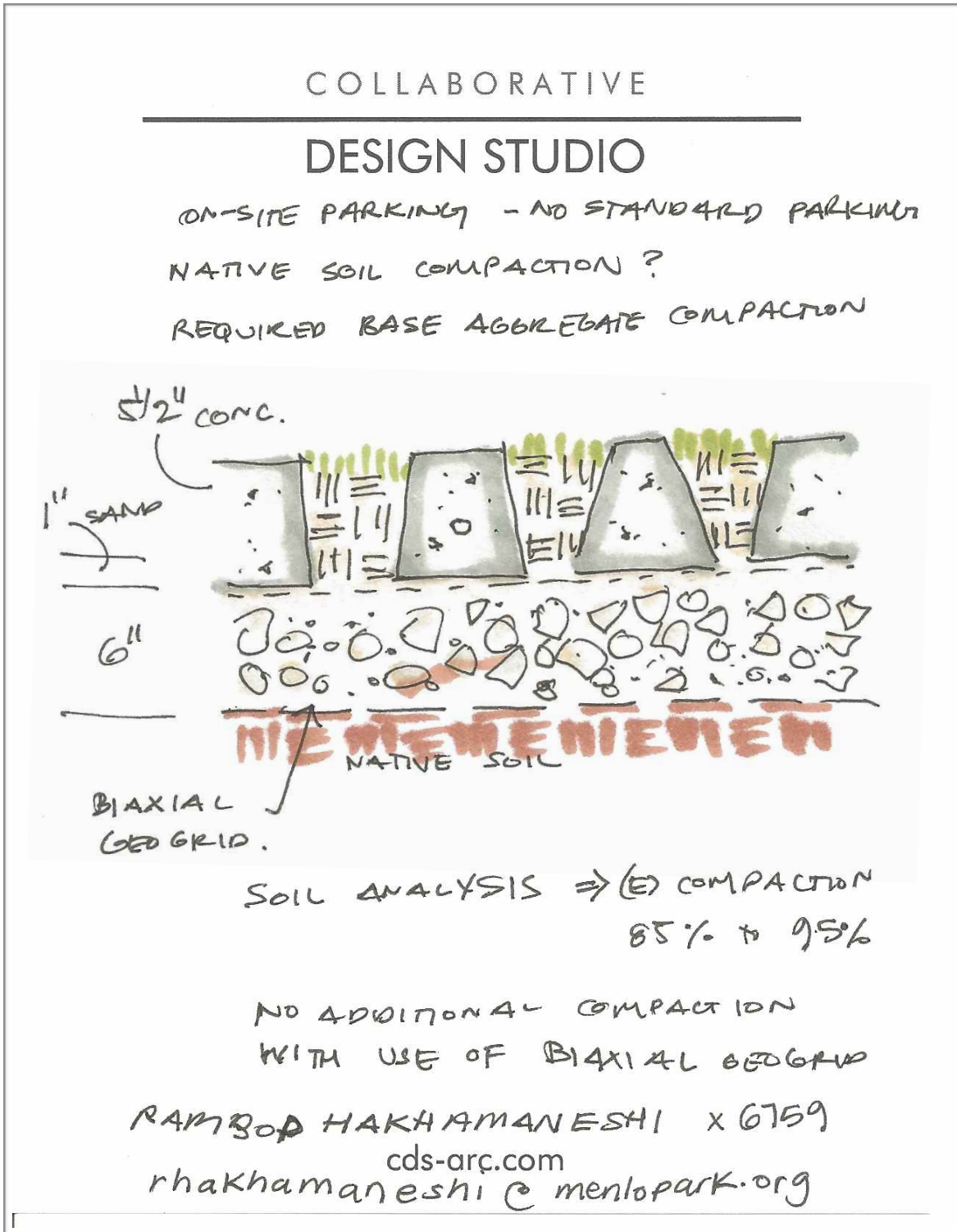
Image 1: Coast live oak behind 1346 Hoover Street.



Below is the proposed Site Plan Duplex Unit Option A with Parking not to scale (Image 2).



Below is a sample proposed paver cross section to avoid digging into the reboot area with (Image 3).



Discussion

Condition

A tree's condition percentage is a determination of its overall health and structure based on five aspects: roots, trunk, scaffold branches, twigs, and foliage. The tree has some structural defects such as large laterals limbs with poor taper and multiple branches originating in the same location (codominant stems). The coast live oak is vigorous with about 75 percent crown opacity. I considered the tree to be in fair overall condition (health and structure combined) with minor problems that could be mitigated through cultural practices such as proper pruning or a plant health care program.

Suitability for Conservation

A tree's suitability for conservation is determined based on its health, structure, age, species and disturbance tolerances, proximity to cutting and filling, proximity to construction or demolition, and potential longevity using a scale of good, fair, or poor (Fite, K, and Smiley, E. T., 2016). Trees with good suitability have good vigor, structural stability, and potential longevity after construction. The coast live oak, although in fair condition, has good suitability for conservation, is large, valuable, and should be retained and monitored.

Expected Impacts and Tree Protection

Impact level defines how a tree may be affected by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

Low = The construction activity will have little influence on the tree.

Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.

High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

Because the project will impact both portions of the crown and some of the root zone the expected impacts are moderate. Pruning will be required to provide clearance but it should not adversely affect the health or structure of the tree. The new structure is to be built outside the tree's critical root zone of five times the trunk diameter distance (Costello, L. R., Hagen, B.W., and Jones, K.S. 2011). The area under the tree where the proposed parking is located will consist of stone pavers on grade with a biaxial geogric base to disperse compaction and reduce root zone impacts.



The City of Menlo Park defines “Heritage Tree” as the following: 13.24.020 subsection (2) An oak tree (*Quercus*) which is native to California and has a trunk with a circumference of 31.4 inches (diameter of ten (10) inches) or more, measured at fifty-four (54) inches above natural grade. Trees with more than one trunk shall be measured at the point where the trunks divide, with the exception of trees that are under twelve (12) feet in height, which will be exempt from this section.” The coast live oak falls into this protected category as a “Heritage Tree”.

Tree protection focuses on preventing damage to the roots, trunk, or scaffold branches. The most current accepted method for determining the Tree Protection Zone (TPZ) is to use a formula based on species tolerance, tree age/vigor, and trunk diameter (Matheny, N. and Clark, J. 1998) (Fite, K, and Smiley, E. T., 2016). Preventing mechanical damage to the trunk from equipment or hand tools can be accomplished by wrapping the main stem with straw wattle or using vertical timbers. Coast live oak is considered to have “good” tolerance to construction impacts and the tree is mature in age. The result would require a tree protection zone of six times the trunk diameter distance of eighteen feet. The closest portion of the proposed structure is located at sixteen feet.

The critical root zone (CRZ) is the area of soil around the trunk of a tree where roots are located that provide stability and uptake of water and nutrients required for the tree’s survival. The CRZ is the minimum distance from the trunk that trenching or root cutting can occur and will be defined by the trunk diameter as a distance of three times the DBH in feet, and preferably, five times (Costello, L., Watson, G., Smiley, E.T. 2017). For example if the tree is two feet in diameter, the minimum CRZ distance would be six to ten feet from the stem on one side of the tree. The recommended maximum encroachment distance into the root zone of oaks on one side is five times the trunk diameter (Coate, B.)(Costello, L., Hagan, B., Jones, K. 2011). The result of this assessment would allow for a maximum encroachment of fifteen feet from the tree on one side.

Because the CRZ and TPZ are fifteen to eighteen feet from the trunk there is adequate tree protection space that should allow for the tree to be retained. No linear cuts inside the CRZ or TPZ are proposed and the closest encroachment is about sixteen feet from the tree.

Tree protection fence will need to be established at fifteen feet on the construction side and expand to eighteen where the existing driveway and garage are located. There is adequate space for a proper tree protection zone without compromising the health or structural integrity of the tree.



Conclusion

The plans for the proposed project include a second story to be constructed above the garage. The coast live oak is located in back of the property along the northwest boundary, has a trunk diameter of approximately 36 inches, and is considered a “Heritage Tree”. The oak is in fair overall condition with good suitability for conservation. The tree is large, valuable, and should be retained and monitored. The project will impact both portions of the crown and some of the root zone, and the expected impacts are moderate. Pruning will be required to provide clearance but it should not adversely affect the health or structure of the tree. The new structure is to be built outside the tree’s critical root zone. The area under the tree where the proposed parking is located will consist of stone pavers installed above the native grade to avoid digging into the root area while meeting the City of Menlo Park’s required surface specifications.. Because the CRZ and TPZ are fifteen to eighteen feet from the trunk there is adequate tree protection space allowing for preservation. No linear cuts inside the CRZ or TPZ are proposed and the closest encroachment is about sixteen feet from the tree. Tree protection fence will need to be established at fifteen feet on the construction side and expand to eighteen where the existing driveway and garage are located.

Recommendations

Pre-construction and Planning Phase

1. Once the existing garage and concrete is removed place tree protection fence at a radius of fifteen feet toward the new construction and eighteen feet toward the old garage.
2. All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: *Tree, Shrub and Other Woody Plant Management: Standard Practices* parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.
3. Refer to Appendix A for general tree protection guidelines including recommendations for arborist assistance while working under trees, trenching, or excavation within a trees drip line or designated TPZ/CRZ.
4. Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document.



5. Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.

Construction Phase

1. Periodically monitor tree health and condition and treat accordingly.
2. The first priority is to adopt a no dig policy and incorporate a design plan that will minimize soil compaction and root disturbances around the tree.
3. Use the thinnest material possible to achieve structural compliance and use porous material that allows for water infiltration under the surface.
4. Adjust the finished grade to be above the natural grade without digging for a sub-grade treatment. In this instance the pavement will be higher up and edge treatments or curbing also need to be constructed above grade.
5. Use paving material that does not rely on the strength of a compacted sub-base for strength. This may be accomplished by reinforcing the surface layer material.
6. Place geotextile fabric at the bottom of the sub-base to reduce displacement into the parent soil along with a reduction in compaction requirements. Use biaxial Tensor BX-1100 or equivalent to manufacturer specifications on grade.
7. Place irrigation within the tree protection zone and irrigate the root zone with ten gallons of water per inch of trunk diameter twice a month during the summer and fall.

Post-Construction Phase

1. Monitor the health and structure of all trees for any changes in condition.
2. Perform any other mitigation measures to help ensure long term survival.
3. Have a qualified arborist perform a Level 2: Basic Assessment according to *Best Management Practices: Tree Risk Assessment*: International Society of Arboriculture, 2017



Bibliography

Costello, Laurence Raleigh, Bruce W. Hagen, and Katherine S. Jones. *Oaks in the urban landscape: selection, care, and preservation*. Oakland, CA: University of California, Agriculture and Natural Resources, 2011. Print.

Costello, Lawrence, Gary Watson, E. Thomas Smiley, 2017. *Best Management Practices: Root Management* International Society of Arboriculture, Print.

Fite, Kelby, and Edgar Thomas. Smiley. *Managing trees during construction*, second edition. Champaign, IL: International Society of Arboriculture, 2016.

Matheny, Nelda P., Clark, James R. *Trees and development: A technical guide to preservation of trees during land development*. Bedminster, PA: International Society of Arboriculture 1998.



Appendix A: Tree Protection Guidelines

Pre-Construction Meeting with the Project Arborist

Tree protection locations should be marked before any fencing contractor arrives.

Prior to beginning work, all contractors involved with the project should attend a pre construction meeting with the project arborist to review the tree protection guidelines. Access routes, storage areas, and work procedures will be discussed.

Tree Protection Zones and Fence Specifications

Tree protection fence should be established prior to the arrival of construction equipment or materials on site. Fence should be comprised of six-foot high chain link fence mounted on eight-foot tall, 1 7/8-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart. Once established, the fence must remain undisturbed and be maintained throughout the construction process until final inspection.

The fence should be maintained throughout the site during the construction period and should be inspected periodically for damage and proper functions. Fence should be repaired, as necessary, to provide a physical barrier from construction activities.

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Restrictions Within the Tree Protection Zone

No storage of construction materials, debris, or excess soil will be allowed within the Tree Protection Zone. Spoils from the trenching shall not be placed within the tree protection zone either temporarily or permanently. Construction personnel and equipment shall be routed outside the tree protection zones.



Root Pruning

Root pruning shall be supervised by the project arborist. When roots over two inches in diameter are encountered they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

Timing

If the construction is to occur during the summer months supplemental watering and bark beetle treatments should be applied to help ensure survival during and after construction.

Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree pruning should be specified in writing according to ANSI A-300A pruning standards and adhere to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.

Tree Protection Signs

All sections of fencing should be clearly marked with signs stating that all areas within the fencing are Tree Protection Zones and that disturbance is prohibited. Text on the signs should be in both English and Spanish (Appendix B).



Appendix B: Tree Protection Signs

B1: English

WARNING

Tree Protection Zone

This Fence Shall not be moved without
approval. Only authorized personnel
may enter this area!

Project Arborist



B2: Spanish

CUIDADO
Zona De Arbol Pretejido
Esta cerca no sera removida sin
aprobacion. Solo personal autorizado
entrara en esta area!

Project Arborist



Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.



Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist®. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner



ASCA Registered Consulting Arborist® #496
 ISA Board Certified Master Arborist® WE-4341B
 ISA Tree Risk Assessor Qualified



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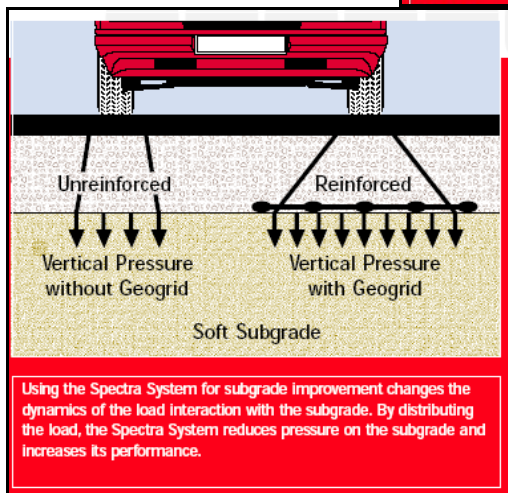
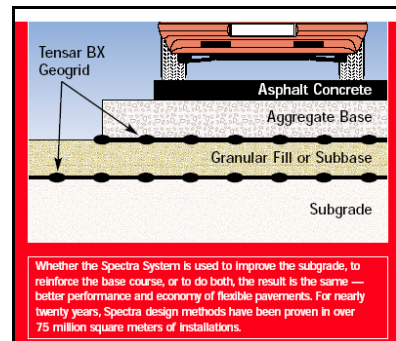
Road building over soft soil or tree root zone using Biaxial Geogrid material

Dave Dockter, Landscape Specialist, City of Palo Alto

Synopsis

Biaxial geogrid material is used as a subgrade layer below aggregate (rock) in reinforcing pavement and all-season road building applications. It is a stiff synthetic permeable material consisting of sets of tensile ribs pre-tensioned in two directions to allow pinning down of surrounding soil, stone, or other material. Geogrid can be constructed over soft soils or tree root zones, improves filtration, reduces base thickness needed, compaction of underlying parent soil (85%) and incidents of tire ruts and soil migration. Product specifications and details are available from manufacturer at <http://www.tensarcorp.com.html>.

Tensar BX-1100 or equivalent is acceptable for use over tree root zones when recommended under purview of consulting arborist.



Figures supplied by manufacturer

Road building over soft soil or tree root zone using Biaxial Geogrid material

- No additional compaction. To protect the root zones affected by a driveway in the root zone of a protected tree, consider the best management practice use of Tensar BX-1100 Biaxial Geogrid to minimize required compaction and to relieve the roots from strain caused by passing cars. With Tensar BX-1100 geogrid, compaction can be limited to 85%, and is more than adequate (BX-1200 material is rated for freeways).



Figure 7 – Tensar Biaxial Geogrid – not just a geotextile

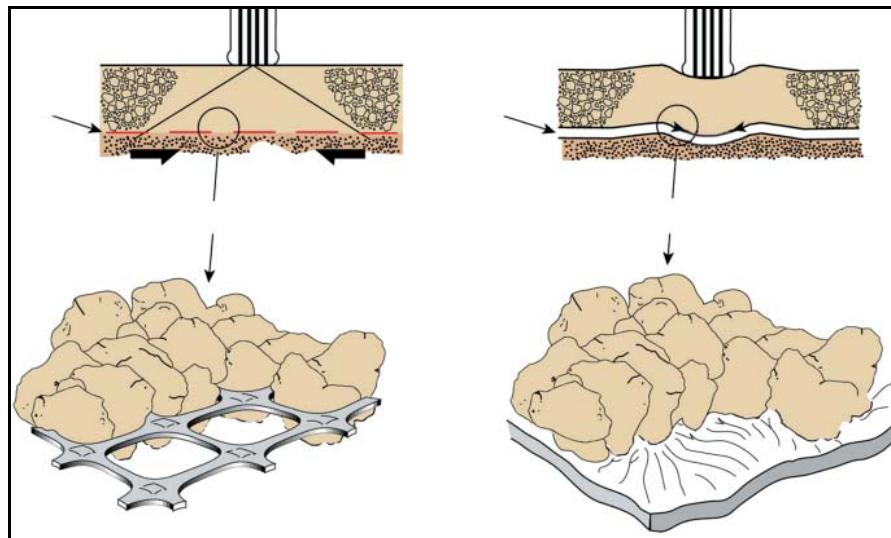


Figure 8 – Confinement Effect – Biaxial Geogrid vs Tensioned Membranes

- Soil Analysis: The soil analysis should be performed and may show existing compaction of 85%-95% at test sites. Generally, the soil will not need additional compaction to support the Biaxial Geogrid. Once installed the Geogrid will disperse the load from vehicles.
- Permeable surfaces. Proposed driveways should be evaluated for the percentage of cover within the drip line area of the trees. To allow the needed water to reach the roots consider the use of permeable paver stones. The advantages over concrete include permeability, attractiveness; they won't crack, and are known to have good traction.

09/07/18

Community Development Department

City of Menlo Park Planning Division
701 Laurel Street
Menlo Park, CA 94025

To Menlo Park Planning Division,

This letter is prepared in request for a variance ruling of the residence at 1346 Hoover Street in Menlo Park. The property is located in a R-3 district, where development standards require 10'-0" side setbacks. The variance request proposes a 50% reduction in the side setback to allow for a new 2-story *addition* that aligns with the existing house (built circa 1940). Allowance of the requested setback reduction provides adequate side loaded driveway access for city parking requirements, it provides a garage base structure and foundation for the second living unit above while preserving the existing heritage tree located near the rear property line.

1. Hardships specific to the subject property (not created by any act of the owner) are stated below.

The existing lot is substandard to the R-3 zoning regulations, where 10' side setbacks are applied to lots with a minimum width of 70' and minimum area of 7,000 SF. The subject property width is 50' and the lot area is just under 6,000 SF. Hardship of the existing property relates to the limited rear yard buildable area, with respect to existing lot width, existing rear yard depth and the location of existing residence.

Additional conditions that constrain the proposed development include; the existing heritage oak tree with a 15' to 18' protection boundary, the requirement for 2 covered and 2 uncovered parking spaces, as well as a driveway access requirement of 24'-0" backup space in front of the proposed garage. Secondary zoning constraints include 10' building separations, 30% max building cover, and a duplex second unit requirement for the R-3 zoning district.

2. The request of such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property in the same vicinity as the subject property. And, if granted, would not constitute a special privilege of the recipient not enjoyed by his/her neighbors.

Our variance request relates to development of the site, by creating two separate dwellings. This property right is possessed by other conforming properties in the same vicinity of the R-3 Apartment District. Due to it's substandard lot conditions (noted above) any proposed two dwelling development would require a variance ruling to allow permissible conformance.

Please also consider that none of the adjacent properties (left and right) are conforming with regards to the current 10' side setback. The subject property and neighboring parcels all have driveways to the right side of each residence. And all three properties have setbacks no greater than 5'-4". If granted, the variance ruling would not constitute special privilege, because neighboring properties also provide similar setback distances.

3. The granting of such variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property.

Maintaining the existing house would improve the current condition of the property, while maintaining the past character of the neighborhood. The design will consider a similar residential vernacular of the existing house, where the proposed structure does not heavily impact the street presence. New duplex second unit will consider privacy concerns by limiting windows adjacent to the neighboring northwest property. The proposed rear yard structure is south east of an existing carport and roof deck that serves the multi-family residence at 1350 Hoover. The proposed rear yard structure is located next to an existing heritage oak, where there are minimal affects to the supply of light and air.

4. The conditions upon which the requested variance is based would not be applicable, generally, to other property within the same zoning classification.

Current R-3 zoning requires 10'-0" side setbacks. The subject lot, both size and width, are less than the district minimum of 7,000 SF and 70' - 80' minimum width. Thus, creating a condition generally not applicable to other conforming properties within the same district. The existing house location, lot width and rear yard constraints make proposed development more challenging to meet all required zoning regulations.

5. The condition upon which the requested variance is based is an unusual factor that was not anticipated or discussed in detail during any applicable Specific Plan process.

The condition of the requested variance is based on existing site-specific factors, as stated in findings 1 to 4. None of which were anticipated or created by any act of the property owner.

Conclusion:

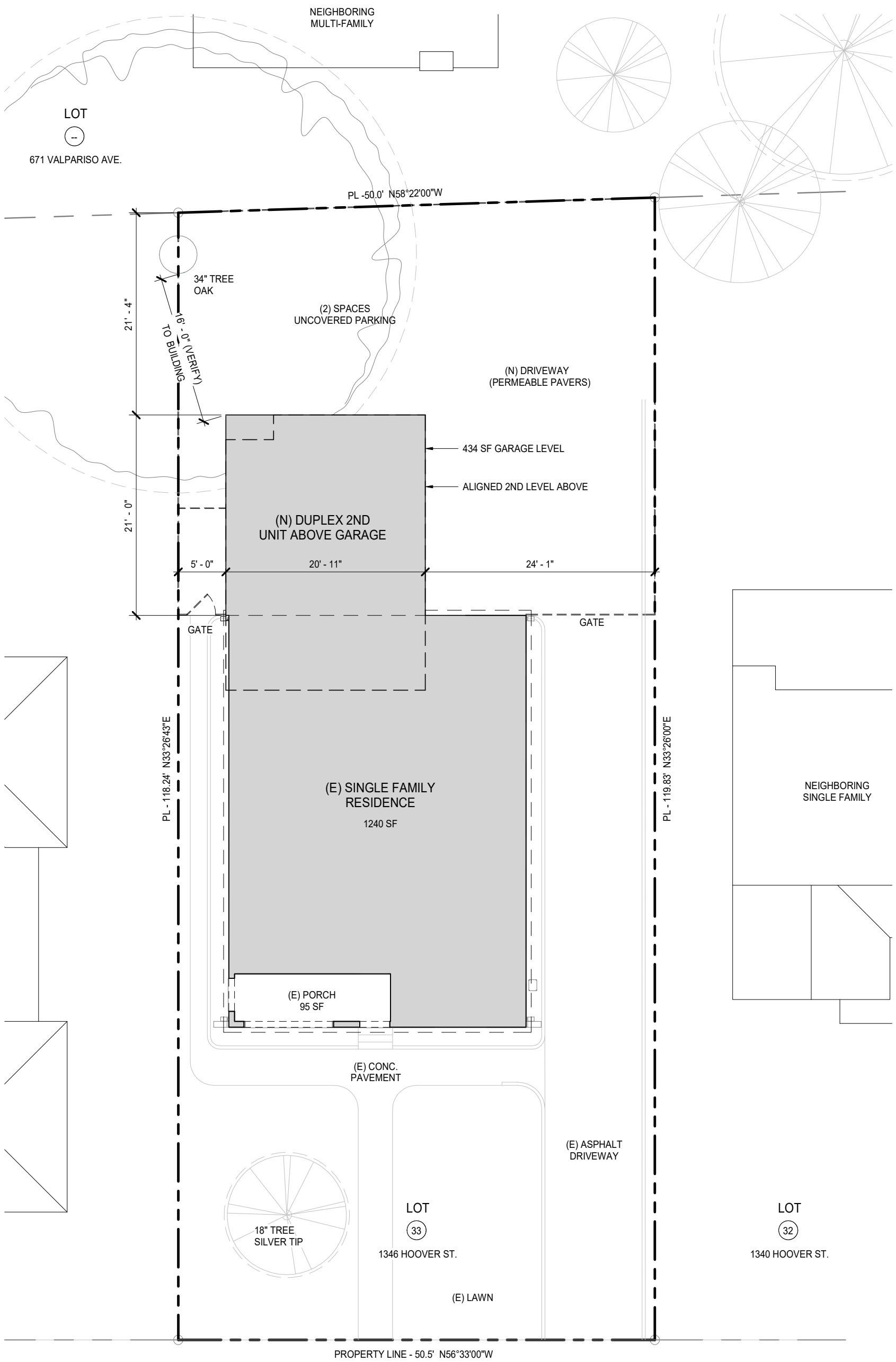
It is our intent that the requested variance allow for a 50% reduction in the west side setback (left side from front) as required by the zoning regulations of Chapter 16, Menlo Park Municipal Code. The owner applicant would like to propose adding a duplex second unit to the existing residence to be self-occupied. The owner applicant would like to preserve the existing house built in the early 1940's.

Considering the applicant's desire to add new living space, we find the proposed option a most practical and a best use of the site relative to parking requirements and back yard space. The proposed addition is considered more cost effective, versus alternate 2-story options. We hope the Planning Commission understands the desire of the applicant and the information presented. Thank you for your time and careful consideration in review of our planning application.

Sincerely,



Ross Stilleson
Collaborative Design Studio



HOOVER STREET

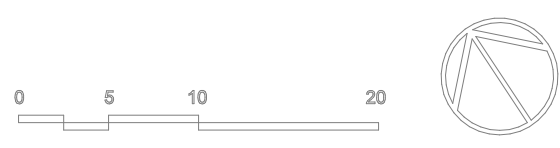
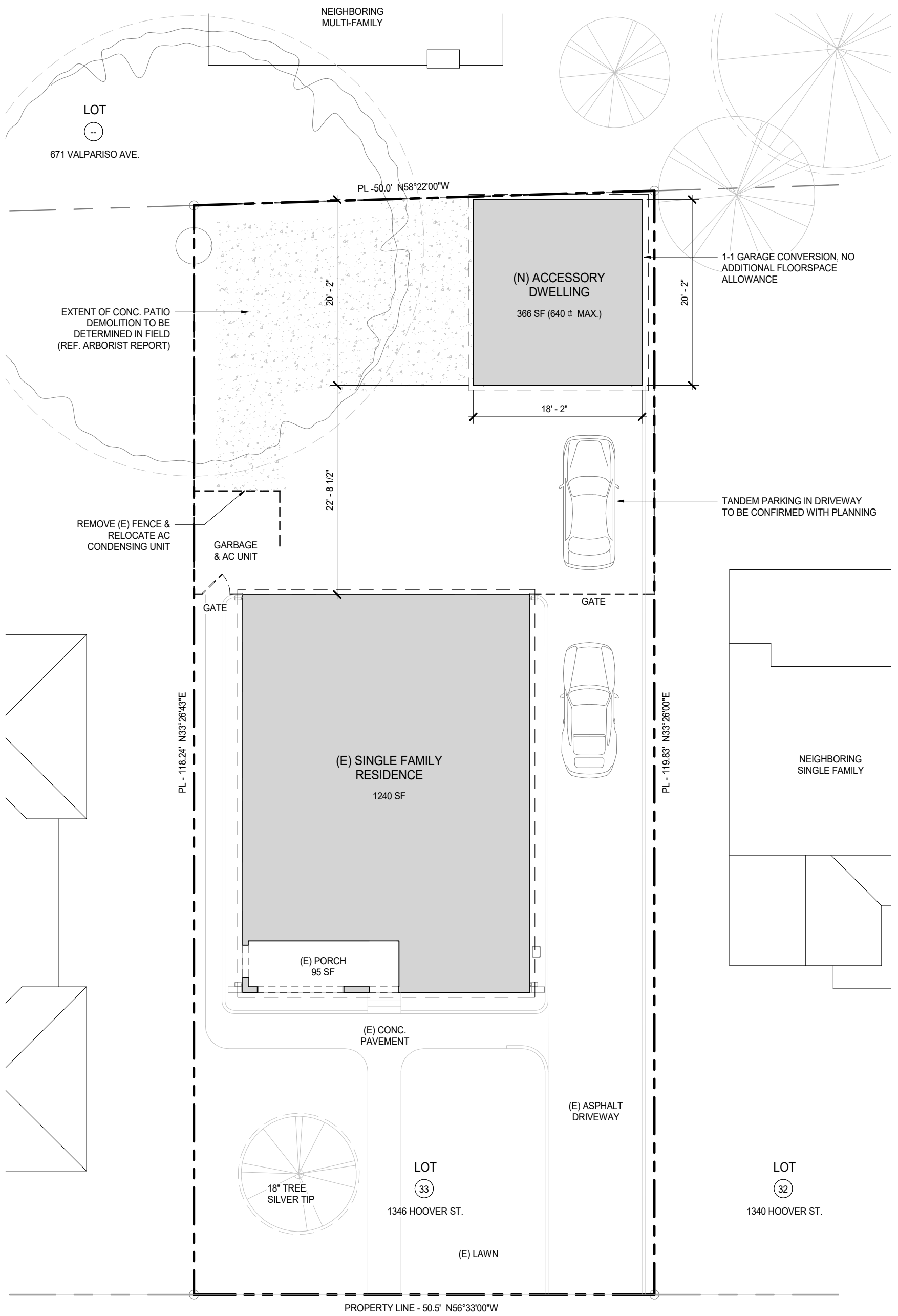
50' R.O.W.



1

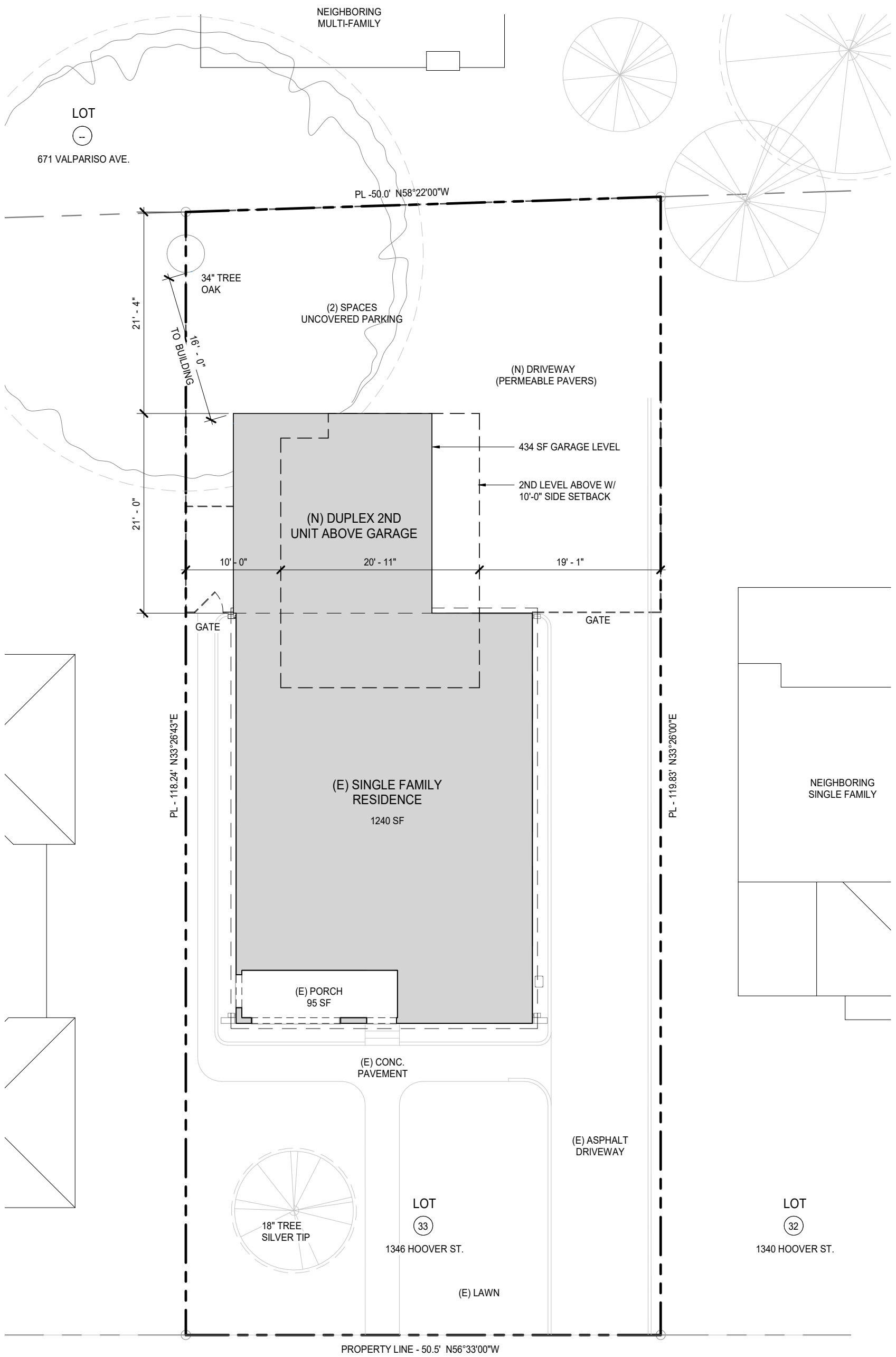
SITE PLAN - DUPLEX UNIT OPTION A

SCALE: NTS



2 SITE PLAN - ACCESSORY DWELLING OPTION

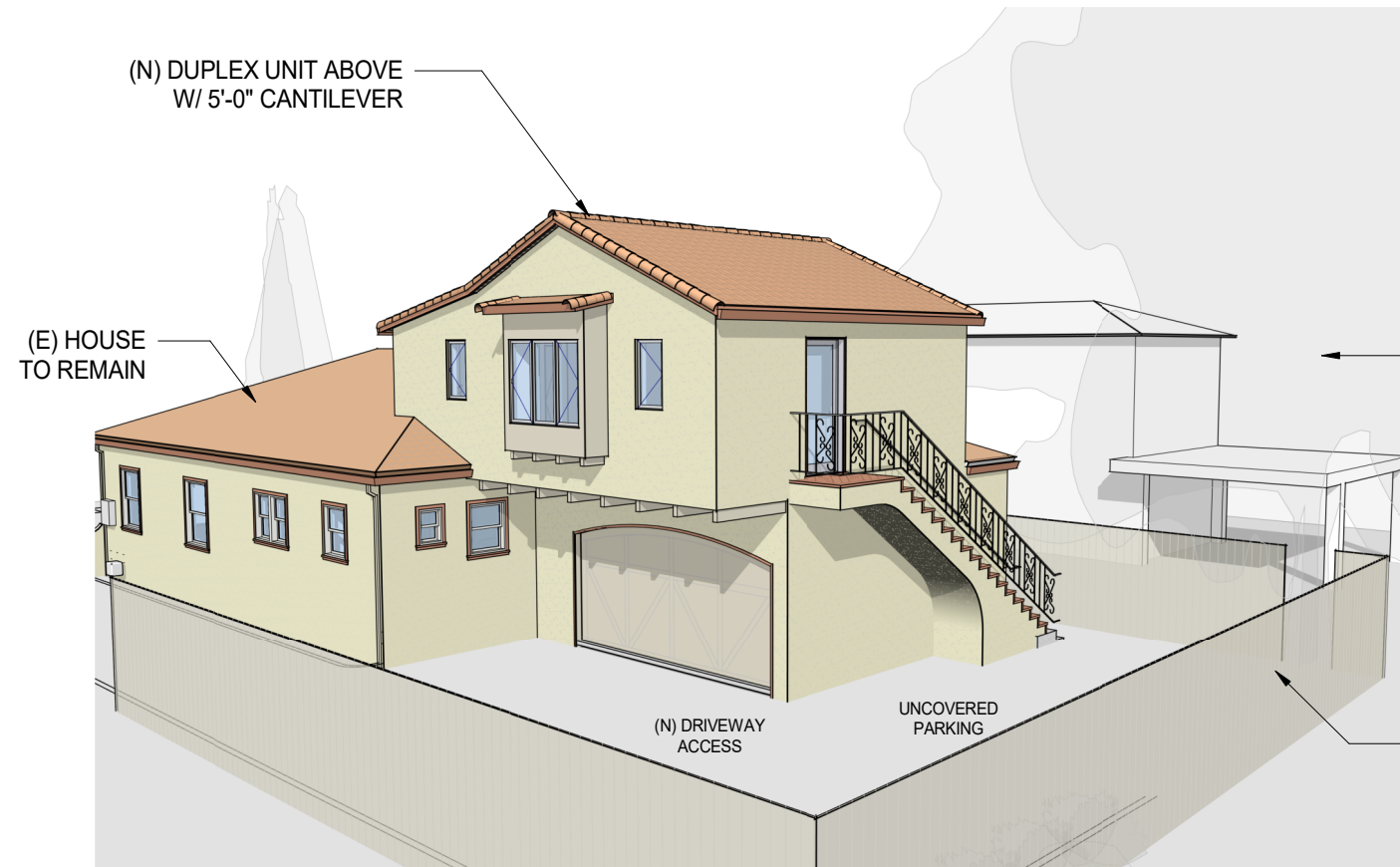
SCALE: NTS



3

SITE PLAN - DUPLEX UNIT OPTION B

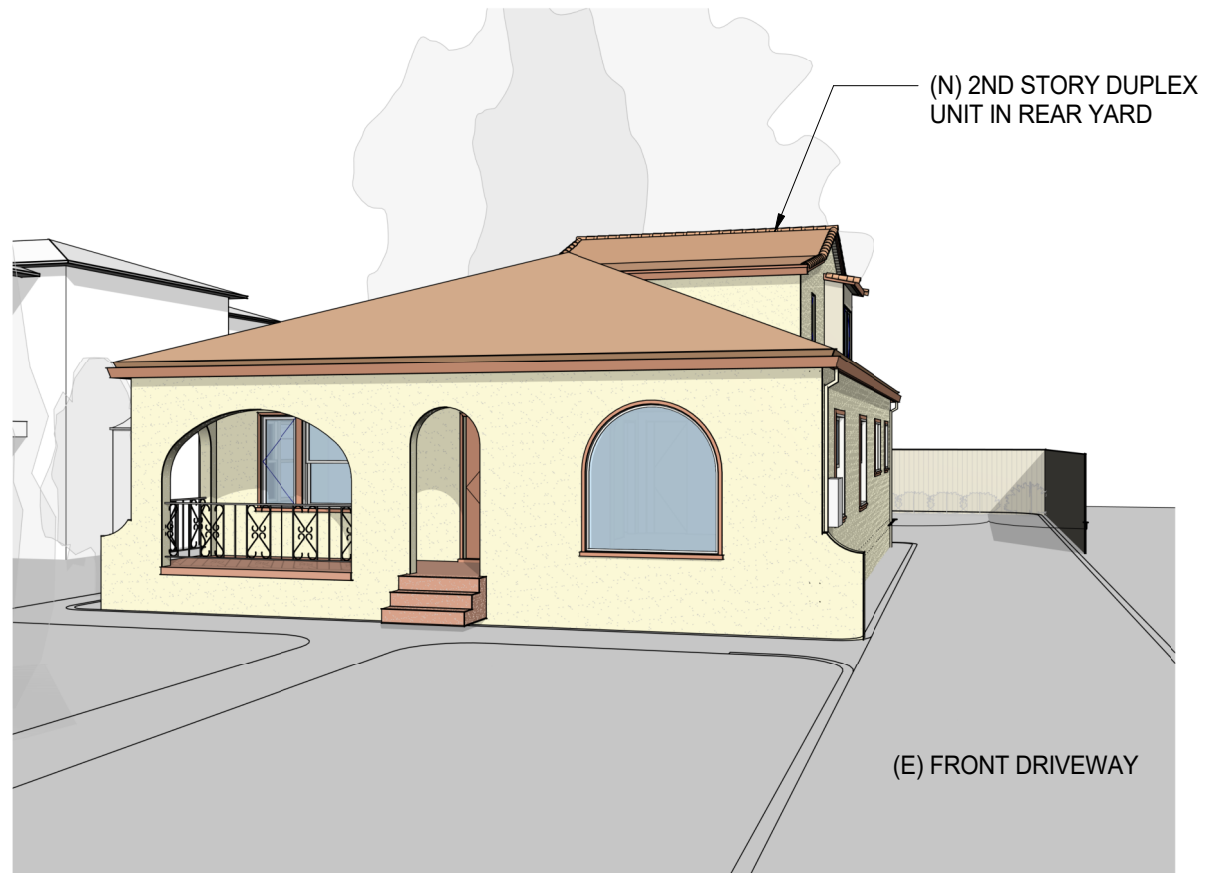
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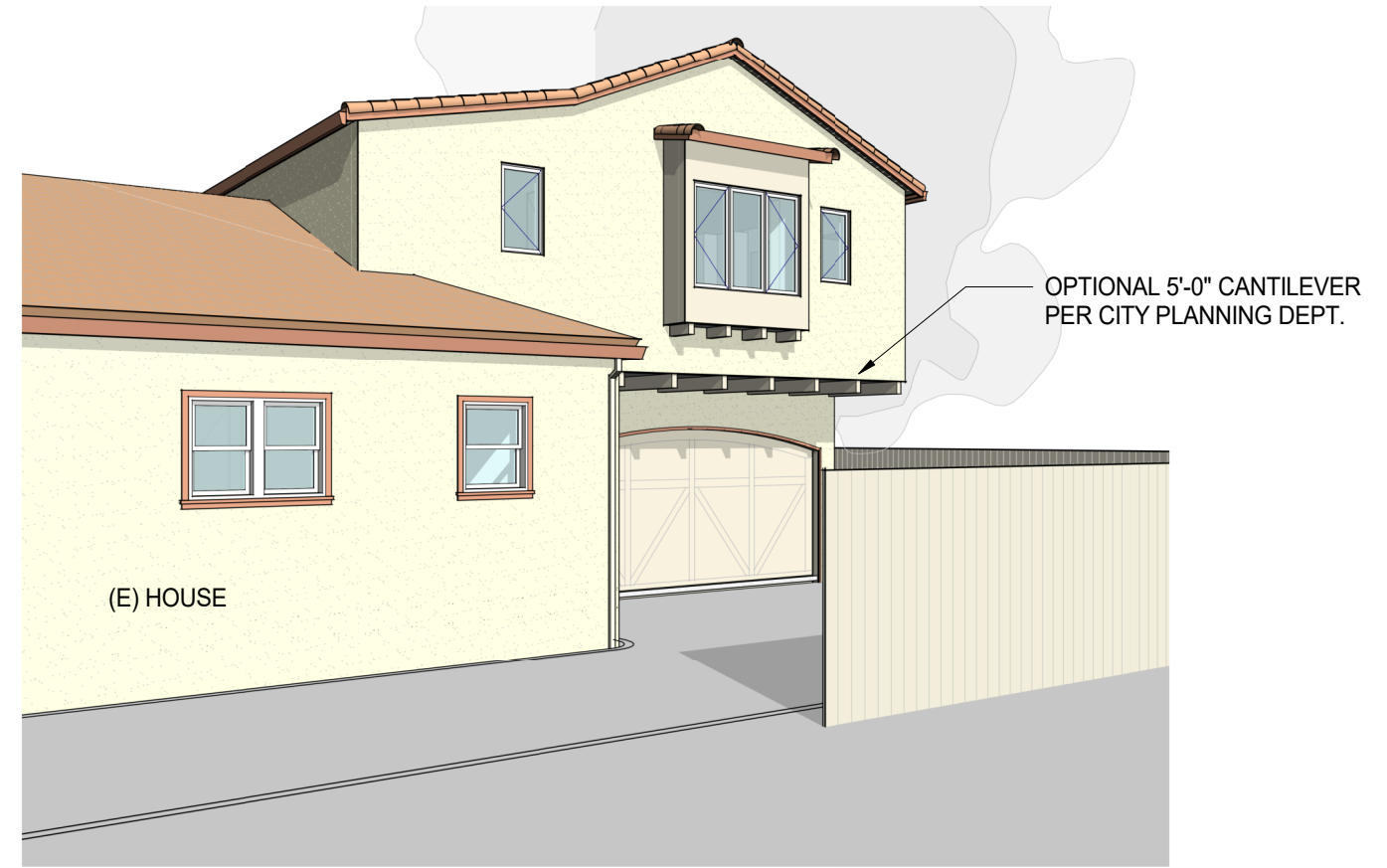
OPTION B - NORTHEAST VIEW



OPTION B - NORTHWEST VIEW



OPTION B - VIEW FROM STREET



OPTION B - VIEW ALONG DRIVEWAY

From: Sandy Bardas
To: [Paz, Ori](#)
Subject: Milani/1346 Hoover Street
Date: Monday, August 6, 2018 10:04:21 AM

Ori Paz, Assistant Planner,

I am the owner and resident at 1343 Hoover Street. I have examined the proposal for 1346 Hoover Street and I have no objections to the proposal. In fact, I would like to mention the positive aspects of the proposal.

1. It preserves the front house, which along with my house and the adjoining house at 1340 Hoover Street maintains some of the historical homes on the street which date back to the 1930s.
2. The proposal adds an additional living unit to the scarce housing in Menlo Park.
3. The parcel location is ideal for access to public transportation.
4. The design is tasteful and does not overpower the surrounding neighborhood.

Over the years I have examined proposals in my neighborhood and have worked with the architects and builders around me. I would like to preserve and integrate the historical homes with additional living units in my neighborhood. Instead of demolishing this home and building a larger house, the city will have the advantage of preserving neighborhood character while adding an additional living unit.

I recommend that the proposal be approved.

Sandra Bardas
1343 Hoover Street
Menlo Park, CA 94025
650-326-1949

From: Scott Blum
To: [Diana Blum](#); [Paz, Ori](#)
Subject: 1346 Hoover - Contention of Variance Request
Date: Saturday, September 8, 2018 5:12:08 PM

Menlo Park Planning Commission,

Please consider this email as a formal challenge against the construction plans for 1346 Hoover Street. My wife and I have been living at 677 Valparaiso Ave since 2005, and our home is adjacent to the property at 1346 Hoover. More specifically, the west side of our home is separated by a fence from the back side of 1346 Hoover.

We would like to challenge the following components of the construction proposal:

- **"modify the left side setback to 5 feet (where 10 feet is required)"** *if such an extension would also result in a setback of less than 10 feet from the rear of the lot (i.e., the one adjacent to our property)*
- **"modify the balcony setback to 5 feet (where 10 feet is required)"** *if the balcony is intended to be placed in the rear of the house*

As you can see from the attached images, our own lot at 677 Valparaiso is small; however, our home conforms to the required 10 ft setback. Should any construction on 1346 Hoover be allowed to reduce the setback from their rear yard to 5 feet, then the total distance between our homes would be only 15 feet. By including a 2nd story above the garage, we will also lose significant privacy into our tiny backyard (which includes a jacuzzi tub that is placed near the fence..and would presumably have a set of windows looking down into less than 5 feet from our fence). Between the lost privacy and potentially adverse aesthetics, it is very likely that such construction would lead to a significant reduction in market value of our home.

Additionally, we would like to point out that there is a mature oak tree on the property at 1346 Hoover. **It is not clear whether the construction plans involve removing the tree, but if so, we would also like to STRONGLY object to removing this tree.** I have also included pictures of the tree, which helps provide a beautiful screen to not only our property - but also our neighbors at 671 Valparaiso and the apartment building just north of 1346 Hoover.

Thank you in advance for considering our challenge. While we don't want to prevent our neighbors at 1346 Hoover from remodeling their home, we do want to make sure any such remodeling is done in conformity of existing zoning requirements.

Regards,
Scott & Diana Blum (residents of 677 Valparaiso Ave)





STAFF REPORT

Planning Commission

Meeting Date: 9/17/2018

Staff Report Number: 18-079-PC

Public Hearing: Use Permit/ Ravinder S. Sethi/933 Hermosa Way

Recommendation

Staff recommends that the Planning Commission approve a use permit to demolish an existing single-story, single-family residence with an attached one-car garage and construct a new two-story, single-family residence with an attached two-car garage on a substandard lot with respect to lot width, depth, and area in the R-E (Residential Estate) zoning district, at 933 Hermosa Way. The recommended actions are included as Attachment A.

Policy Issues

Each use permit request is considered individually. The Planning Commission should consider whether the required use permit findings can be made for the proposal.

Background

Site location

The subject property is located at 933 Hermosa Way. Using Hermosa Way in the north-south orientation, the subject property is located on the western side of Hermosa Way, between Santa Cruz Avenue and Middle Avenue. A location map is included as Attachment B. Hermosa Way is a residential street that extends across the neighborhood, terminating just north of Santa Cruz Avenue in the north and at Bay Laurel Drive, near San Francisquito Creek and the City of Palo Alto, in the south.

Houses along Hermosa Way include both one- and two-story residences. While most residences in the neighborhood are generally one story in height, some two-story residences exist as a result of new development and older residences containing second-story additions. The residences mainly reflect a ranch or traditional architectural style, although some contemporary-style and craftsman residences also exist. The neighborhood features predominantly single-family residences in the R-E (Residential Estate) district along portions of Hermosa Way and Cotton Street, with the majority of surrounding streets containing parcels zoned in the R-1-S (Single Family Suburban Residential) zoning district.

Analysis

Project description

The applicant is proposing to demolish the existing one-story, single-family residence with a detached one-car garage and construct a new two-story, single-family residence with an attached two-car garage

and basement. The subject property is substandard with respect to lot width, depth, and area. The proposed development would include six bedrooms and seven bathrooms with a basement and below grade patio.

Of particular note with regard to Zoning Ordinance requirements:

- The second floor would be limited in size, with its floor area representing approximately 38 percent of the maximum FAL, where 50 percent may be permitted on this property.
- The proposed residence would occupy a smaller footprint within the footprint of the existing residence, but would be two stories in height and include six bedrooms and seven bathrooms.
- The proposed basement areas would be entirely located within the building footprint and therefore are not included in the subject property's floor area limit (FAL) calculation. Subsequently, no lightwells are proposed within required setback areas.

The proposed project conforms to the development standards of the R-E zoning district. A data table summarizing parcel and project attributes is included as Attachment C. The project plans and the applicant's project description letter are included as Attachments D and E, respectively.

Design and materials

The applicant states that the proposed new residence was designed as a traditional style home, following consideration of the various scales and styles of the residences throughout the neighborhood, along with the proximity to the particular styles in the neighborhood. A mixture of gable and hip forms feature prominently in the overall appearance of the proposed residence. Roofing for the proposed residence would consist of composition asphalt shingles, with two skylights that would each contain a lens at ceiling level. Shingle wood siding would be the primary exterior material, along with painted wood columns supporting the covered porches at the front and rear of the proposed residence. A decorative wood trim would be provided for several of the gables, which would additionally enhance architectural interest on site.

The second floor would be located in the center and rear of the proposed residence, which would minimize the perception of massing. All windows on the second floor would have a sill height of at least three feet. In addition, windows along the side elevations are modest in size, and only a few windows along the front and rear elevations are slightly larger in size. Windows would be clad with a spacer bar, consisting of clear insulated glass with applied muntin bars on both sides. Large heritage trees along the right and left sides of the property boundary, specifically Trees 4, 5, and 6, would screen views from residences located at neighboring 925 and 1001 Hermosa Way.

Staff believes that the scale, materials, and design of the proposed residence would be consistent with the variety of architectural styles in the neighborhood, and that the proposed materials and overall design integrity would result in an internally consistent aesthetic approach.

Trees and landscaping

The applicant has submitted an arborist report (Attachment F) detailing the species, size, and conditions of the heritage and non-heritage trees on site. The report discusses the impacts of the proposed

improvements and provides recommendations for tree maintenance and the protection of some trees, based on their health. As part of the project review process, the arborist report was reviewed by the City Arborist.

There is one heritage tree located within the subject property: a 30-inch-diameter redwood approximately midway along the left side property line (Tree 6). There are also four heritage trees neighboring the subject property to the right of the subject property: a 37-inch-diameter coast live oak (Tree 1) and 32-inch-diameter coast live oak (Tree 2), both located adjacent to the street and near the front right corner of the subject property; and a 29-inch-diameter redwood (Tree 4) and a 36-inch-diameter redwood (Tree 5), both located approximately midway along the right side of the right property line. All four of these heritage trees are located in the panhandle of the adjacent panhandle lot at 999 Hermosa Way. For Trees 1 and 2, due to the possible impacts to the canopies that extend into the subject property, temporary protection fencing has been proposed. For Tree 6, fencing would also be provided, and additional protection measures would include hand excavation within the dripline, provision of a six-inch layer of woodchips within the root zone, and the avoidance of contact with roots larger than two inches in diameter until an onsite arborist can assess impacts on a case-by-case basis. Trees 4 through 5 are considered to be unaffected by the proposed project.

One non-heritage tree is located within the subject property (Tree 7) and one non-heritage tree is located approximately 40 feet to the right of the subject property at 1001 Hermosa Way (Tree 3). Both of these trees would remain, and the arborist report states that both non-heritage trees would be unaffected by the proposed project. All recommendations identified in the arborist report shall be implemented and ensured as part of condition 3g.

Correspondence

The applicant has stated that the property owners completed outreach with adjacent neighbors by sharing and discussing the proposed plans, receiving support from these neighbors in the process. Staff has not received any comments regarding the proposal. Attachment G contains the outreach letter that the property owners provided to their neighbors.

Conclusion

Staff believes the scale, materials, and style of the proposed residence are compatible with the neighborhood, and that the proposed overall design would result in a consistent aesthetic approach. The traditional architectural style of the proposed residence would be generally attractive and well-proportioned, and the centering and setting back of the second floor would help minimize massing and limit privacy impacts. Tree protection measures would minimize impacts on the two heritage trees near or within the subject property, Trees 1, 2, and 6, as confirmed by the City Arborist. The applicant has conducted outreach and has indicated they received support from the adjacent neighbors. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Arborist Report
- G. Applicant Outreach Letter

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings, and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

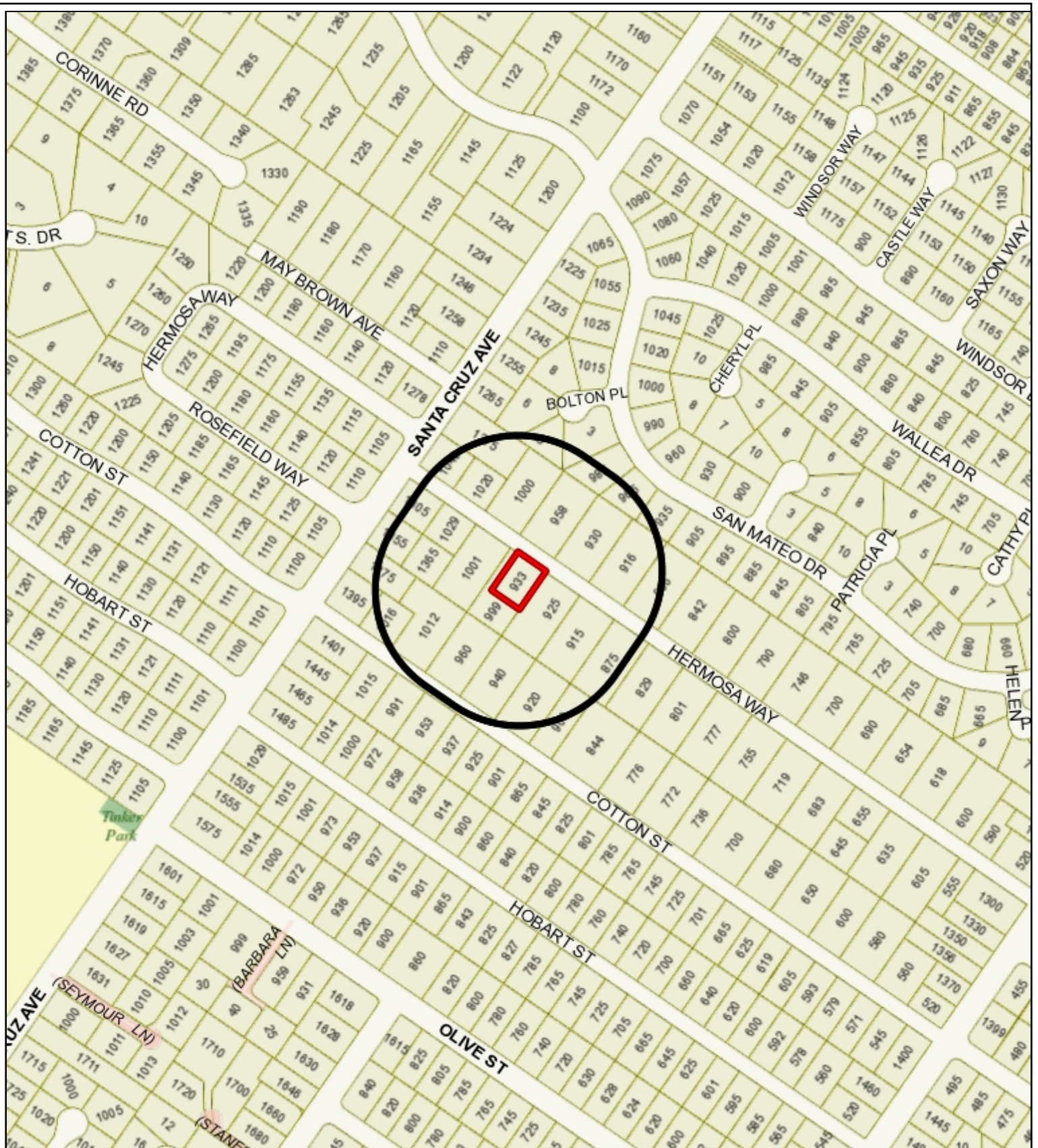
None

Report prepared by:
Matt Pruter, Associate Planner

Report reviewed by:
Kyle Perata, Acting Principal Planner

933 Hermosa Way – Attachment A: Recommended Actions

LOCATION: 933 Hermosa Way	PROJECT NUMBER: PLN2018-00076	APPLICANT: Kohler Architects	OWNER: Ravinder S. Sethi
PROPOSAL: Request for a use permit to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence with an attached two-car garage on a substandard lot with respect to lot width, depth, and area in the R-E (Residential Estate) zoning district.			
DECISION ENTITY: Planning Commission	DATE: September 17, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kennedy, Onken, Riggs, Strehl)			
ACTION:			
<ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 3 (Section 15303, “New Construction or Conversion of Small Structures”) of the current California Environmental Quality Act (CEQA) Guidelines. 2. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City. 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Kohler Architects, consisting of 16 plan sheets, dated received September 12, 2018, and approved by the Planning Commission on September 17, 2018, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Mayne Tree Expert Company, Inc., dated received September 5, 2018. 			



City of Menlo Park
 Location Map
 933 Hermosa Way



Scale: 1:4,000

Drawn By: MAP

Checked By: KTP

Date: 9/17/2018

Sheet: 1

933 Hermosa Way – Attachment C: Data Table

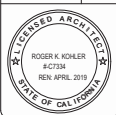
	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	10,691.0 sf	10,691.0 sf	20,000 sf min.
Lot width	88.4 ft.	88.4 ft.	110 ft. min.
Lot depth	121.0 ft.	121.0 ft.	130 ft. min.
Setbacks			
Front	20.0 ft.	19.8 ft.	20 ft. min.
Rear	26.0 ft.	20.0 ft.	20 ft. min.
Side (left)^	20.0 ft.	20.0 ft.	20 ft. min.
Side (right)^	10.0 ft.	10.0 ft.	10 ft. min.
Building coverage	3,024.3 sf 28.2 %	3,174.0 sf 29.7 %	3,207.3 sf max. 30.0 % max.
FAL (Floor Area Limit)	3,719.3 sf	3,174.0 sf	3,722.6 sf max.
Square footage by floor	1,875.5 sf/1st 1,406.6 sf/2nd 437.2 sf/garage 706.6 sf/porches 5.0 sf/fireplace	2,802.0 sf/1st 316.0 sf/garage 56.0 sf/acc. buildings	
Square footage of buildings	4,430.9 sf	3,174.0 sf	
Building height	26.9 ft.	15.0 ft.	28 ft. max.
Parking	2 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees*	5	Non-Heritage trees**	2	New Trees	0
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0	Total Number of Trees	7

^ In the R-E zoning district, the total side yard setbacks is 30 feet, with a minimum of 10 feet on any one side, except corner lots
 * Of these five heritage trees, one is located within the subject property (Tree 6), and four are fully located in the adjacent property on the right side (Trees 1, 2, 4, and 5).
 **Of these two non-heritage trees, one is located within the subject property (Tree 7) and one non-heritage tree is fully located in the property neighboring the adjacent property on the right side (Tree 3).

	PROJECT INFO	SHEET INDEX
	<p>PROJECT DATA:</p> <p>APN: A 071213190 ADDRESS: 933 HERMOSA WAY ZONE: RE FLOOD ZONE: NO BUILDING OCCUPANCY: NO GROUPS: R-3 U TYPE OF CONSTRUCTION: V-B STORIES: 2 STORIES W/ BASEMENT HISTORIC: NO</p> <p>FLOOR AREA SUMMARY</p> <p>LOT AREA = 10,691.0 ± SF. FIRST FLOOR = 1,875.5 SF. SECOND FLOOR = 1,406.6 SF. TOTAL LIVING AREA = 3,282.1 SF. TWO CAR GARAGE = 437.2 SF. TOTAL FLOOR AREA = 3,721.3 SF. ALLOWABLE FLOOR AREA = 3,722.6 SF. BASEMENT = 2,163.3 SF.</p> <p>LOT COVERAGE SUMMARY</p> <p>LOT AREA = 10,691.0 ± SF. FIRST FLOOR = 1,875.5 SF. TWO CAR GARAGE = 437.2 SF. COV. PORCHES = 451.9 SF. FIRE PLACES = 5.0 SF. COVERED DRIVEWAY = 254.7 SF.</p> <p>TOTAL LOT COVERAGE = 3,024.3 SF. ALLOWABLE LOT COVERAGE = 3,207.3 SF. (30%)</p>	<p>SHEET INDEX</p> <p>A0 COVER SHEET A1 AREA PLAN AND STREETScape A2 SITE PLAN SURVEY D1 DEMOLITION PLAN A3 BASEMENT PLAN A4 FIRST FLOOR PLAN A5 SECOND FLOOR PLAN A6 ROOF PLAN A7 EXTERIOR ELEVATIONS A8 EXTERIOR ELEVATIONS A9 BUILDING SECTIONS A10 PERSPECTIVE FA1 BASEMENT AREA CALCULATION FA2 FIRST FLOOR AREA CALCULATION FA3 SECOND FLOOR AREA CALCULATION</p>
		<p>PROJECT DIRECTORY</p> <p>OWNER: RAVI SETHI 933 HERMOSA WAY MENLO PARK, CA 94025</p> <p>ARCHITECT: ROGER KOHLER KOHLER ARCHITECTS, INC. LICENSE #C-7334 721 COLORADO AVENUE, SUITE 102 PALO ALTO, CA 94303 650.328.1086 haleh@kohler-architects.com</p> <p>CIVIL ENGINEER: GKM ENGINEERING 236 N. SANTA CRUZ BLVD. SUITE #208 D LOS GATOS, CA 95030 408.656.5917 GKMengineering.com</p> <p>ARBORIST: MAYNE TREE EXPERT COMPANY, INC. RICHARD L. HUNTINGTON 535 BRAGATO ROAD, STE. A SAN CARLOS, CA 94070-6311 650.593.4400 info@maynetree.com</p>
	<p>COPYRIGHT</p> <p>DESIGNS PRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF KOHLER ARCHITECTS, INC. AND WERE DEVELOPED FOR USE ON THIS PROJECT ONLY. THIS DRAWING AND THE DESIGNS THEY REPRESENT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSON OR FIRM OUTSIDE THE SCOPE OF THIS PROJECT WITHOUT WRITTEN PERMISSION OF KOHLER ASSOCIATES ARCHITECTS.</p>	

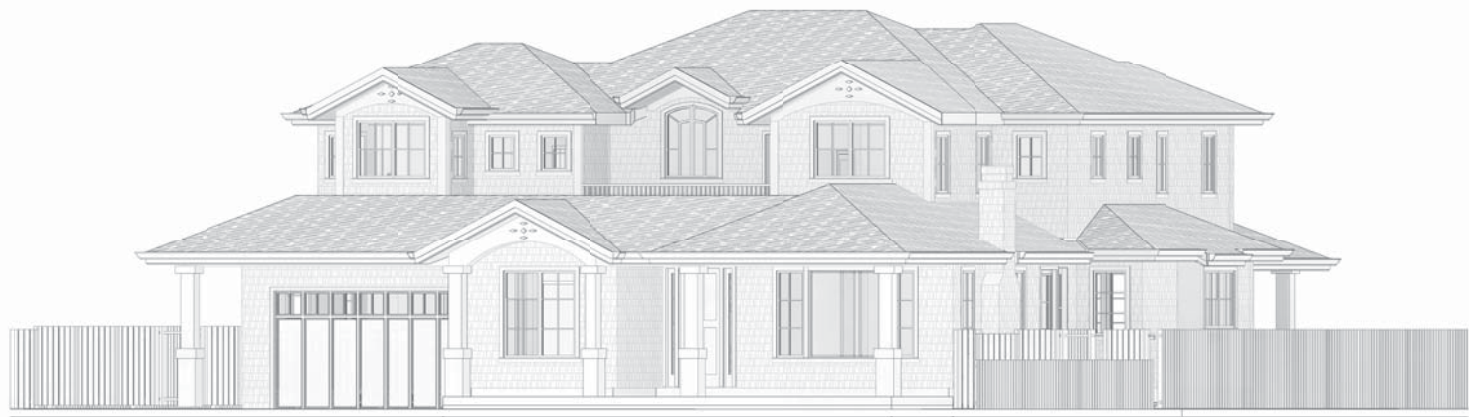
REVISIONS	BY
08.16.18	
09.04.18	



KOHLER ARCHITECTS

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NEW RESIDENCE FOR:
 RAVI SETHI
 933 HERMOSA WAY
 MENLO PARK, CA 94025



**NEW RESIDENCE:
 933 HERMOSA WAY**

COVER SHEET

DRAWN	H.A.
CHECKED	
DATE	08.28.2018
SCALE	NOT TO SCALE
JOB NO.	
SHEET	A0
OF SHEETS	

PROPOSED STREETSCAPE



925 HERMOSA

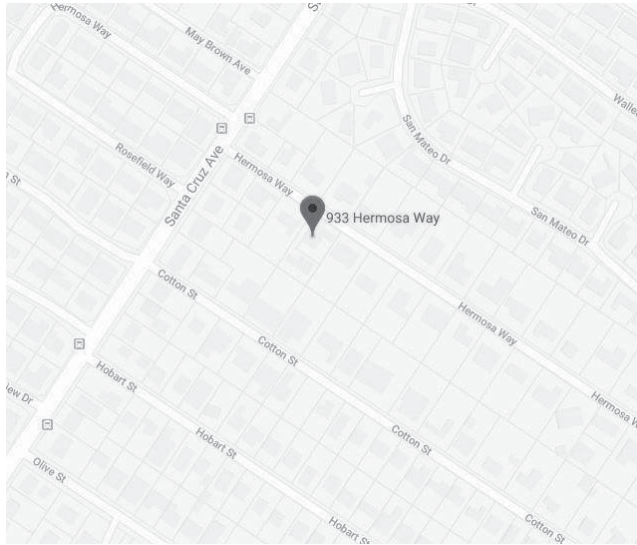


933 HERMOSA

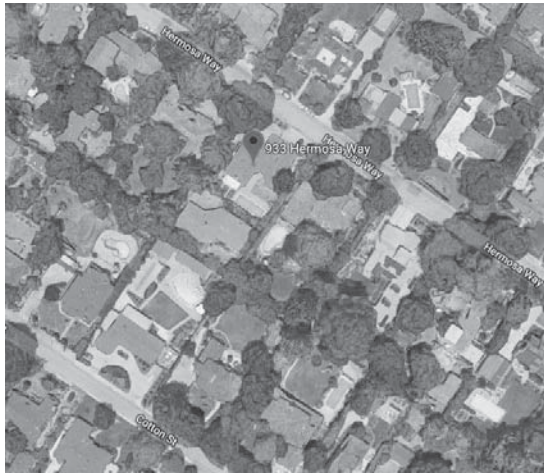


1001 HERMOSA

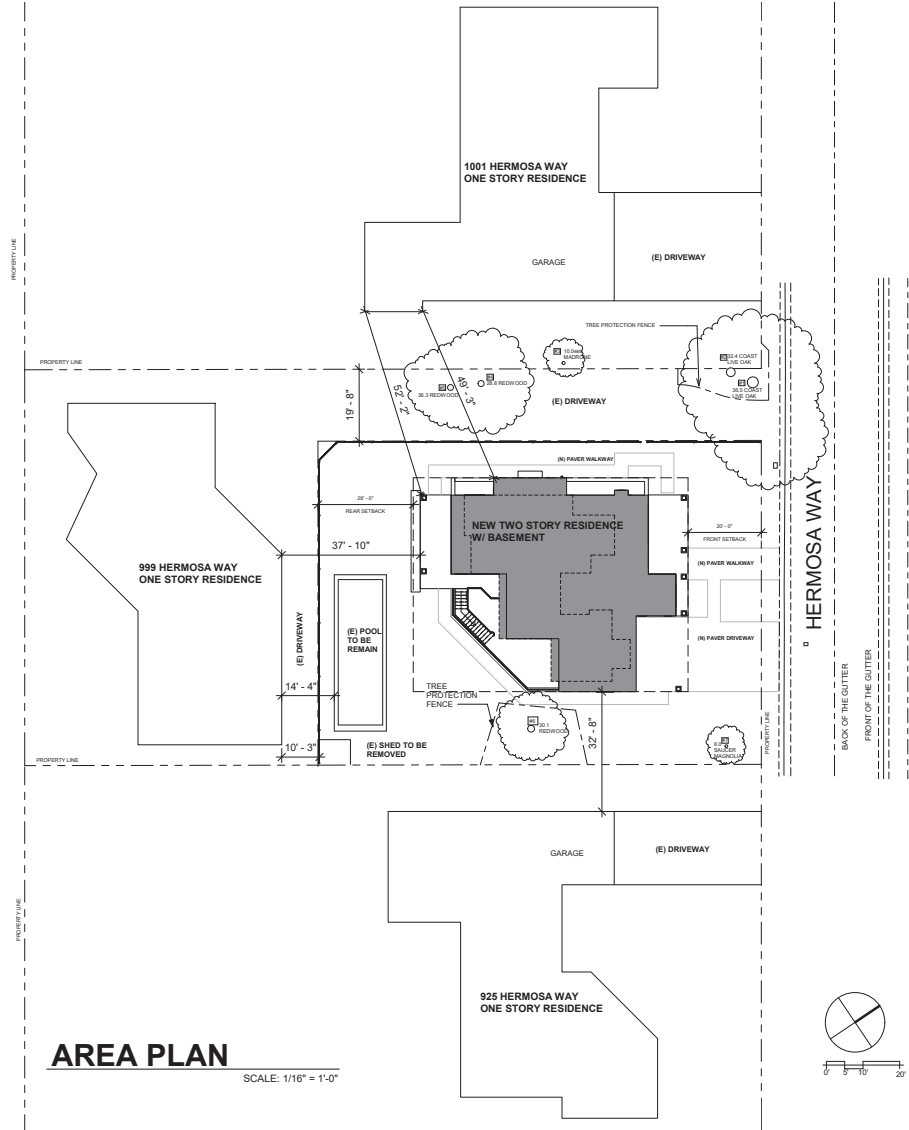
NOT TO SCALE



VICINITY MAP



AERIAL VIEW



AREA PLAN

SCALE: 1/16" = 1'-0"



REVISIONS BY	
08.16.18	
09.04.18	

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NEW RESIDENCE FOR:
RAVI SETHI
 933 HERMOSA WAY
 MENLO PARK, CA 94025

AREA PLAN
 PROPOSED
 STREETSCAPE

DRAWN	H.A.
CHECKED	
DATE	08.28.2018
SCALE	1/16" = 1'-0"
JOB NO.	
SHEET	
A1	
OF SHEETS	

REVISIONS BY	
08.16.18	
09.04.18	

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NEW RESIDENCE FOR:
RAVI SETHI
 933 HERMOSA WAY
 MENLO PARK, CA 94025

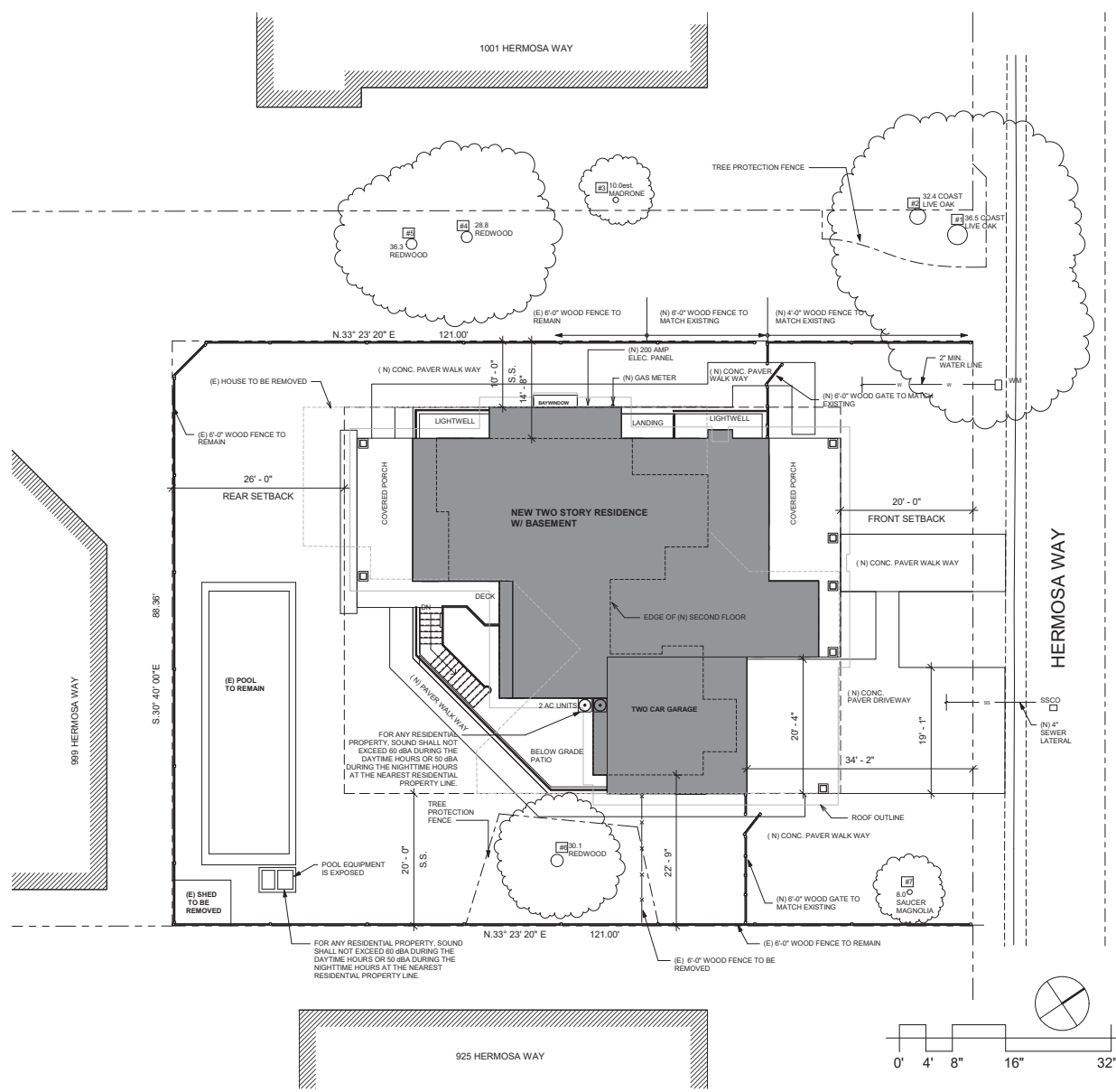
SITE PLAN

DRAWN H.A.
CHECKED
DATE 08.28.2018
SCALE As Indicated
JOB NO.
SHEET
A2
OF SHEETS

SITE PLAN LEGEND	
PROPERTY LINE =	---
SETBACK LINE =	---
(N) FIRST FLOOR =	▒
(N) SECOND FLOOR =	▒
(E) RESIDENCE TO BE DEMOLISHED =	---
(E) TREE TO BE REMAIN =	○
(E) TREE TO BE REMOVE =	⊗
INDICATES TREE # FROM ARBORIST REPORT =	#1
INDICATES HERITAGE TREE =	(H)
INDICATES NEIGHBOR-EXISTING =	(E)
NEW =	(N)

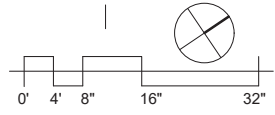
PROJECT DATA	
PROJECT DATA:	
APN:	A 071213190
ADDRESS:	933 HERMOSA WAY
ZONE:	RE
FLOOD ZONE:	NO
BUILDING OCCUPANCY GROUPS:	R-3 U
TYPE OF CONSTRUCTION:	V-B
STORIES:	2 STORIES W/ BASEMENT
HISTORIC:	NO
FLOOR AREA SUMMARY	
LOT AREA =	10,691.0 ± SF.
FIRST FLOOR =	1,875.5 SF.
SECOND FLOOR =	1,406.6 SF.
TOTAL LIVING AREA =	3,282.1 SF.
TWO CAR GARAGE =	437.2 SF.
TOTAL FLOOR AREA =	3,721.3 SF.
ALLOWABLE FLOOR AREA =	3,722.6 SF.
BASEMENT =	2,163.3 SF.
LOT COVERAGE SUMMARY	
LOT AREA =	10,691.0 ± SF.
FIRST FLOOR =	1,875.5 SF.
TWO CAR GARAGE =	437.2 SF.
COV. PORCHES =	451.9 SF.
FIRE PLACE =	5.0 SF.
TOTAL LOT COVERAGE =	2,769.6 SF.
ALLOWABLE LOT COVERAGE =	3,741.6 SF. (35%)

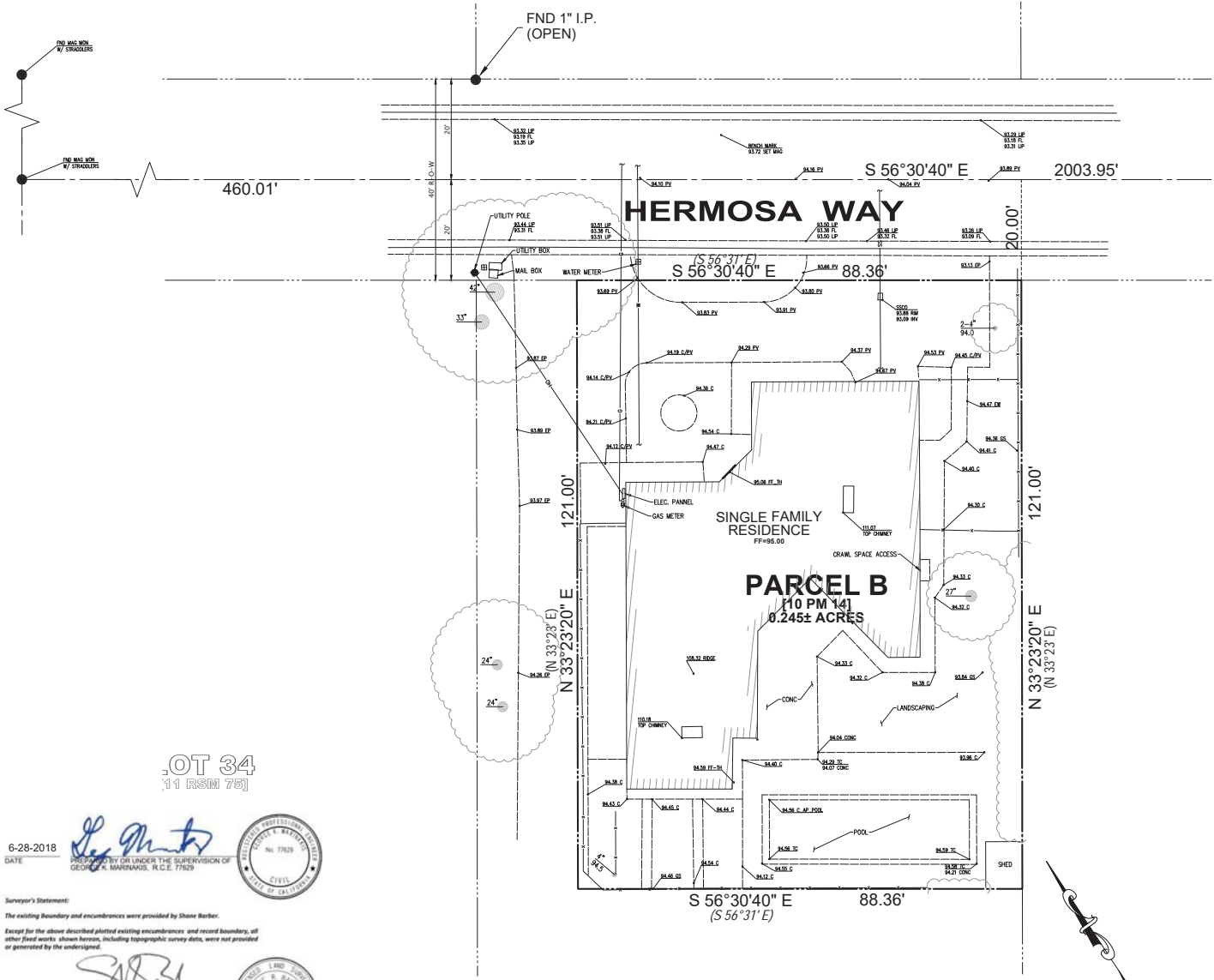
LOT SURVEY REQUIRED
 ALL PROPERTY LINES SHALL BE STAKED A WRITTEN STATEMENT CONFIRMING THE SURVEY RESULT AND STAKING METHOD SHALL BE SUBMITTED PRIOR TO FOUNDATION INSPECTION, (2016 CBC SECTION 108.1)



SITE PLAN

SCALE: 1/8" = 1'-0"





LOT 34
11 RSM 75J

6-28-2018
DATE
PREPARED BY OR UNDER THE SUPERVISION OF
GEORGE K. MAHRANQIS, R.L.C.E. 77629

Surveyor's Statement:
The existing boundary and encumbrances were provided by Shane Barber.
Except for the above described plotted existing encumbrances and record boundary, all other field works shown herein, including topographic survey data, were not provided or generated by the undersigned.

6-28-2018
DATE
PREPARED BY OR UNDER THE SUPERVISION OF
SHANE R. BARBER, L.S. 9097

- ### NOTES
- The boundary easements, and other encumbrances shown on this drawing are based solely upon information contained in the following documents: Parcel map Volume 10 page 14, Recorded in the county of San Mateo. Existing Monumentation set based on said map was located via a field survey, and was used to recreate the existing mapped lot. No liability is assumed for matters of record not stated in said documents that may affect the boundary lines, exceptions, or easements affecting the property.
 - The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the engineer can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
 - Benchmark:
A temporary benchmark was set in Hermosa Avenue on a mag nail
Elevation: 93.72
 - APN: 071-213-190

LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	-.-.-
CENTERLINE	—+—+—+—
EASEMENT	- - - - -
BUILDING LINE WITH DOOR	
BUILDING OVERHANG	
CLEAN OUT	—o—
GAS METER	—x—
UTILITY POLE W/ GUY WIRE	—o—
VALVE	—x—
CATCH BASIN / DROP INLET	—o—
WATER METER	—o—
UTILITY BOX (SIZE VARIES)	—o—
SIGN	—x—
POST	—x—
TREE W/ SIZE AND ELEVATION	—o—
SPOT ELEVATION	—o—
CURB	—o—
VALLEY GUTTER	—o—
CONCRETE	—o—
FENCE	—o—
EDGE OF PAVEMENT	—o—
SINGLE TREE	—o—
TREES AND BRUSH	—o—
SANITARY SEWER	—o—
STORM DRAIN	—o—
WATER	—o—
GAS	—o—
UNDERGROUND ELECTRIC	—o—
TELEPHONE / COMMUNICATION	—o—
OVERHEAD	—o—

ABBREVIATIONS

APN:	ASSESSORS PARCEL NUMBER
BS:	BOTTOM OF STEP
BW:	BACK OF WALK
COM:	COMMUNICATION
C:	CONCRETE
DWY:	DRIVEWAY
EB:	ELECTRIC BOX
ELEC:	ELECTRICAL
FF:	FINISH FLOOR
FL:	FLOW LINE
GS:	GROUND SURFACE
O.R.:	OFFICIAL RECORD
P.U.E.:	PUBLIC UTILITY EASEMENT
PV:	PAVEMENT
RIM:	RIM ELEVATION
S/W:	SIDEWALK
SSOD:	SANITARY SEWER CLEAN OUT
SW:	SIDEWALK
TC:	TOP OF CURB
TH:	THRESHOLD
TS:	TOP OF STEP
WM:	WATER METER

GKM Engineering
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
216 N. Santa Cruz Blvd., Suite #208D
Los Gatos, CA 95030
CIVIL ENGINEERING LICENSE # 4688
SURVEYING LICENSE # 4688

TOPOGRAPHIC SURVEY
APN: 071-213-190
933 HERMOSA WAY

MENLO PARK

DATE	MAY 2017
SCALE	1"=10'
DESIGNER	GM
DRAWER	GM
JOB	A170420
SHEET	1
OF	1 SHEETS

PHOTOS OF THE EXISTING RESIDENCE TO BE DEMOLISHED



FRONT



LEFT SIDE



REAR



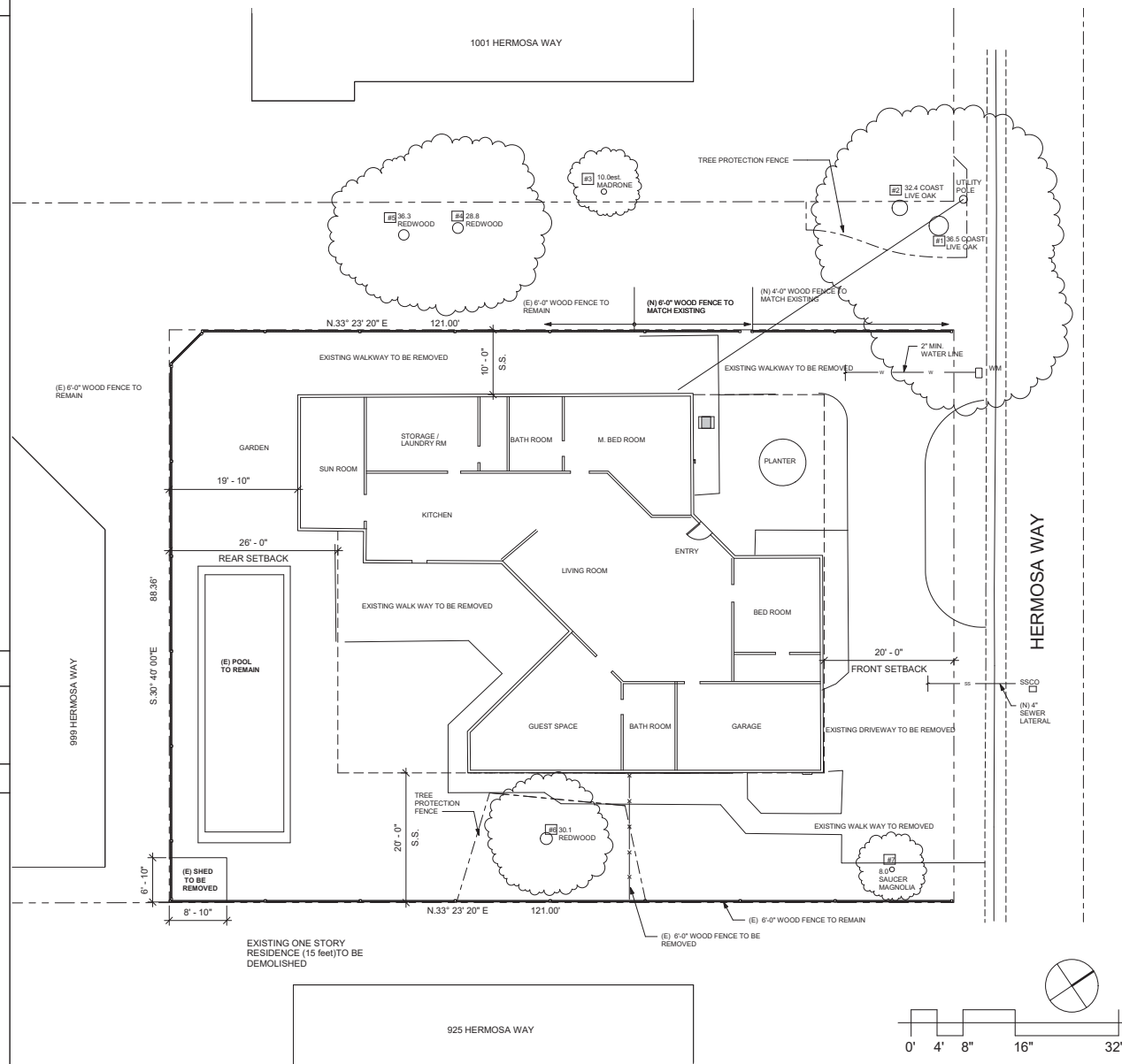
RIGHT SIDE

FLOOR AREA OF EXISTING RESIDENCE TO BE DEMOLISHED

FIRST FLOOR	=	2,806.42 S.F.
GARAGE	=	321.00 S.F.
TOTAL FLOOR	=	3,127.42 S.F.
EXISTING MAIN HOUSE HEIGHT	=	15'-0" BLDG HT.

DEMOLISHED PLAN NOTES

- CONTRACTOR TO PROVIDE WATER TRUCK OR HOSE BIB FOR REQUIRED DUST CONTROL DURING DEMOLITION.
- CONTRACTOR TO REVIEW ARBORIST REPORT AND ENSURE ALL ARBORIST'S RECOMMENDATIONS ARE IMPLEMENTED.
- EXISTING DRIVEWAY SHALL REMAIN AS LONG AS POSSIBLE AND BE USED FOR STAGING DURING CONSTRUCTION.



DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

REVISIONS BY	
08.16.18	
09.04.18	

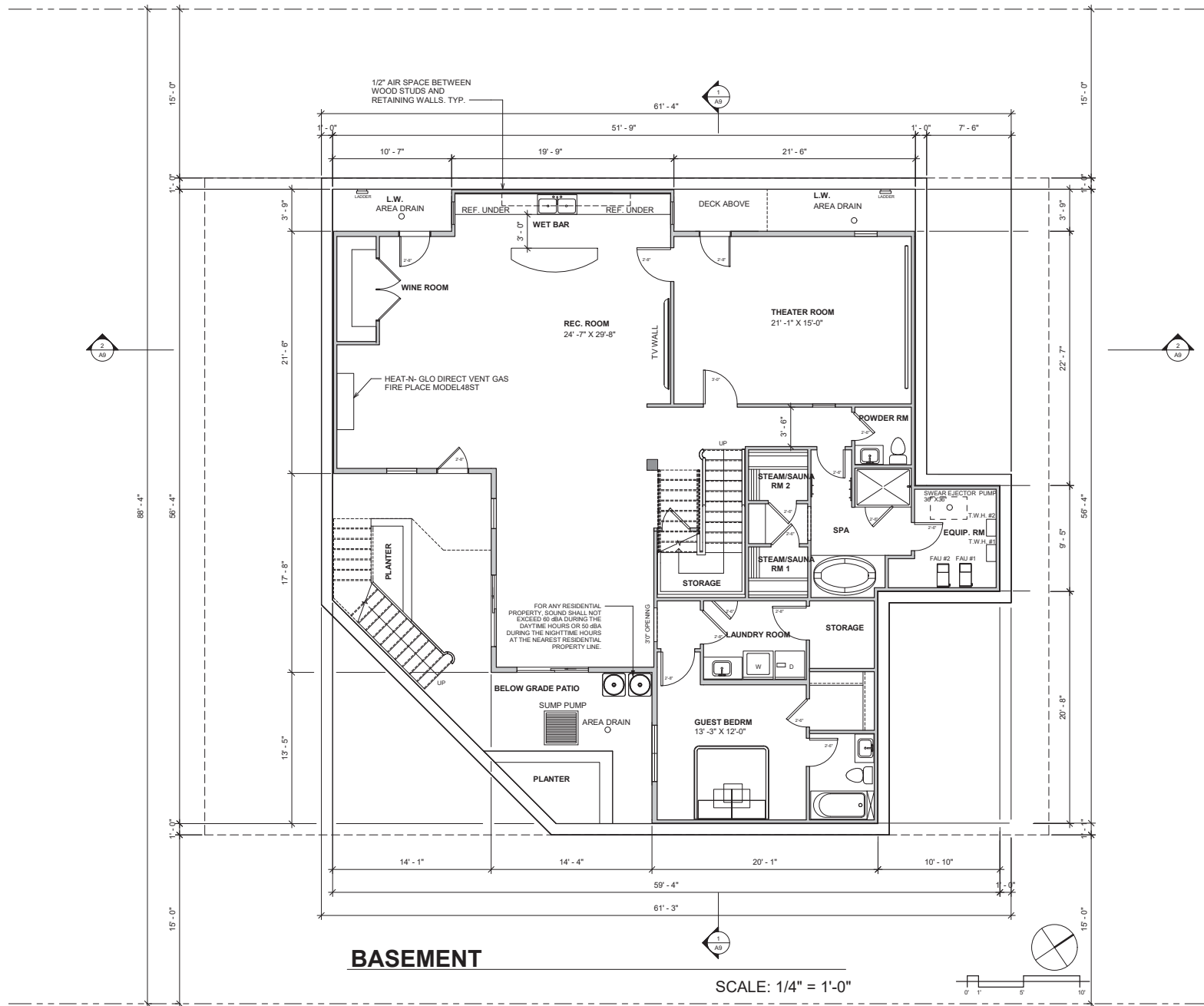
KOHLER ARCHITECTS
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 Fax: 650.321.2860
 www.kohler-architects.com

NEW RESIDENCE FOR:
RAVI SETHI
 933 HERMOSA WAY
 MENLO PARK, CA 94025

DEMOLITION PLAN

DRAWN	H.A.
CHECKED	
DATE	08.28.2018
SCALE	1/8" = 1'-0"
JOB NO.	
SHEET	D1

OF SHEETS



BASEMENT

SCALE: 1/4" = 1'-0"

REVISIONS BY	
08.16.18	
09.04.18	



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 R O G E R
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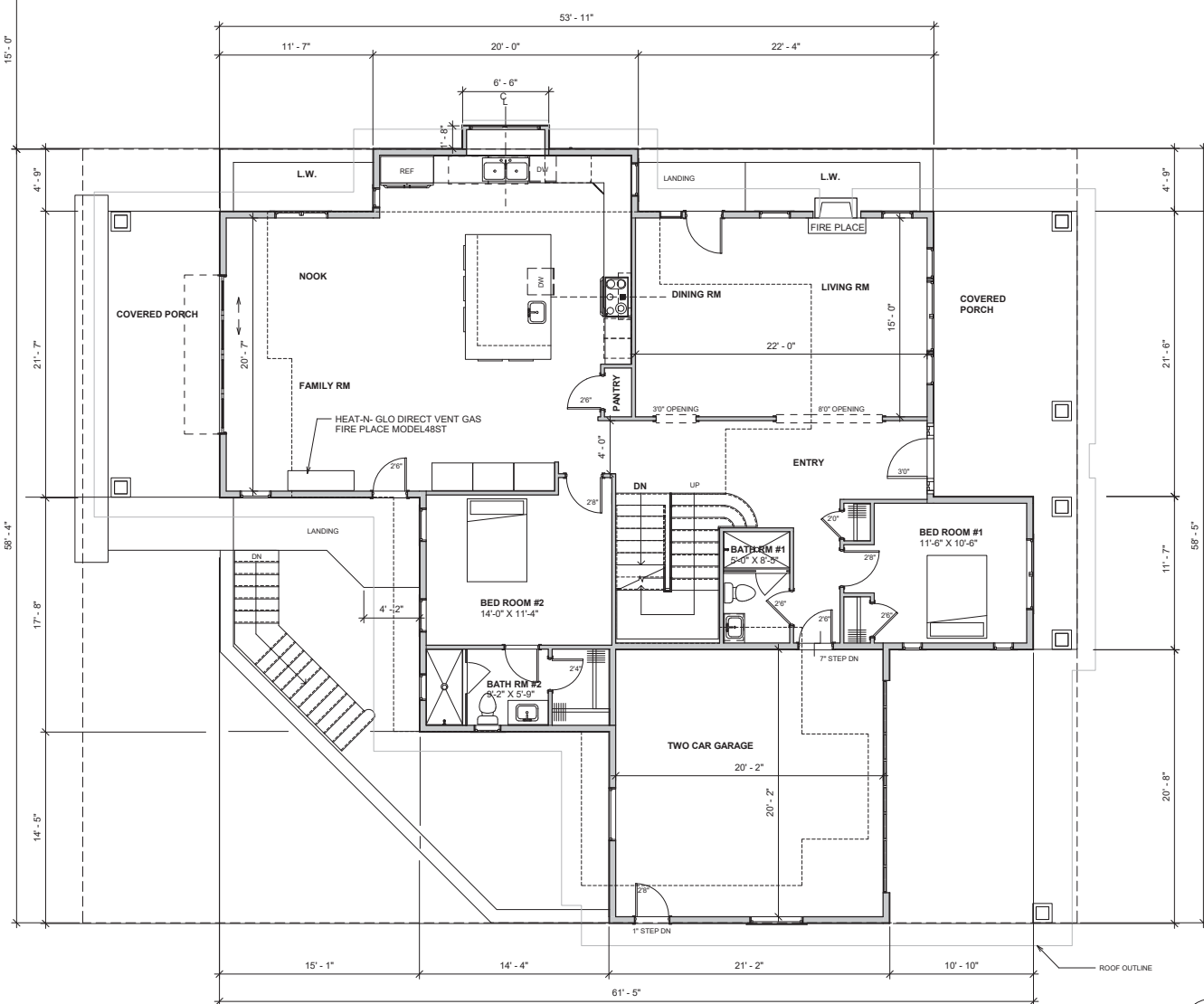
NEW RESIDENCE FOR:
RAVI SETHI
 933 HERMOSA WAY
 MENLO PARK, CA 94025

BASEMENT FLOOR PLAN

DRAWN	H.A.
CHECKED	
DATE	08.28.2018
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	

A3

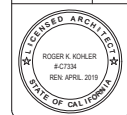
OF SHEETS



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS BY	
08.16.18	
09.04.18	



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 www.kohler-architects.com

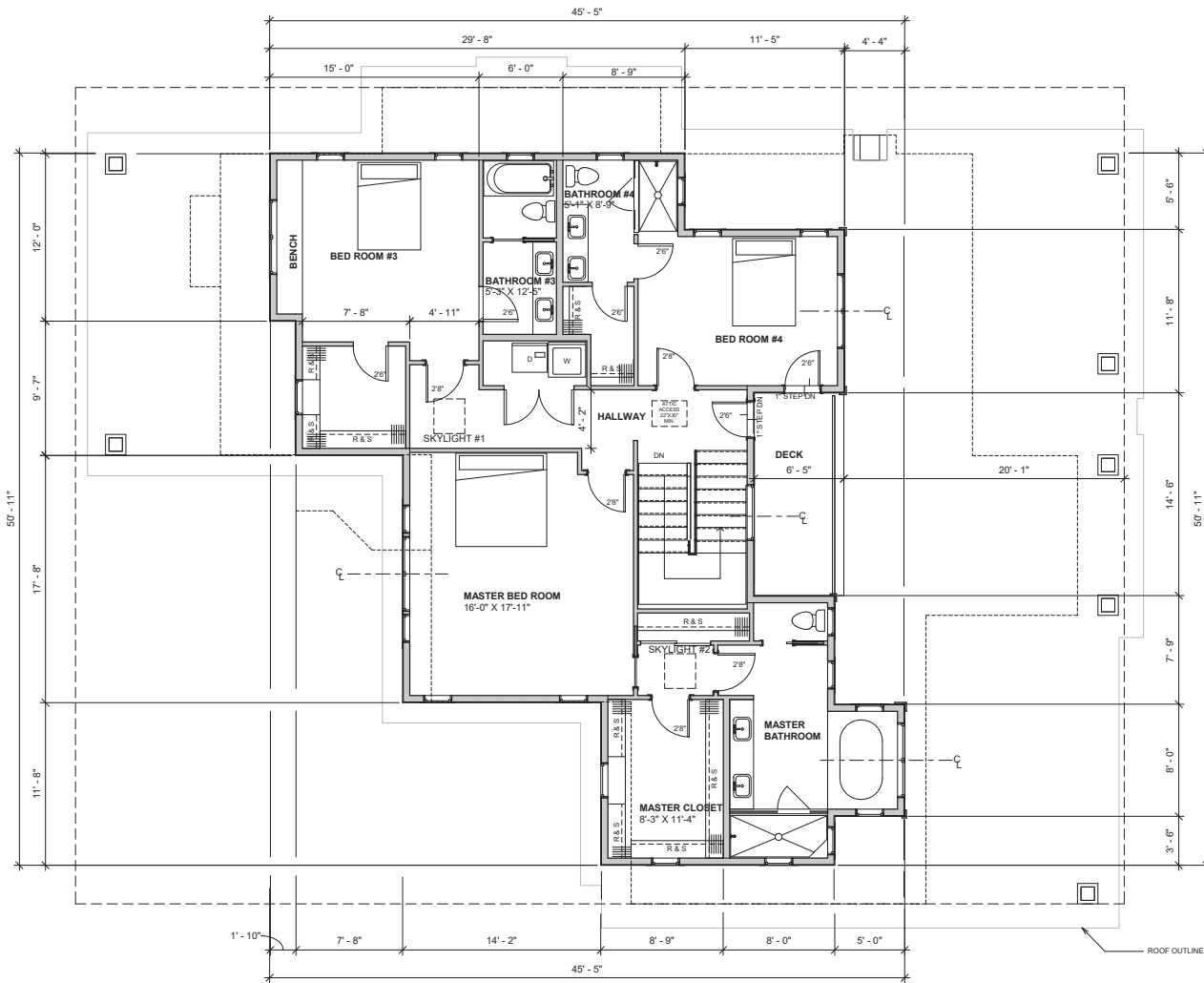
NEW RESIDENCE FOR:
RAVI SETHI
 933 HERMOSA WAY
 MENLO PARK, CA 94025

FIRST FLOOR PLAN

DRAWN	
H.A.	CHECKED
DATE	08.28.2018
SCALE	1/4" = 1'-0"
JOB NO.	

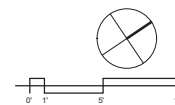
SHEET
A4

OF SHEETS



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



REVISIONS BY	
08.16.18	
09.04.18	

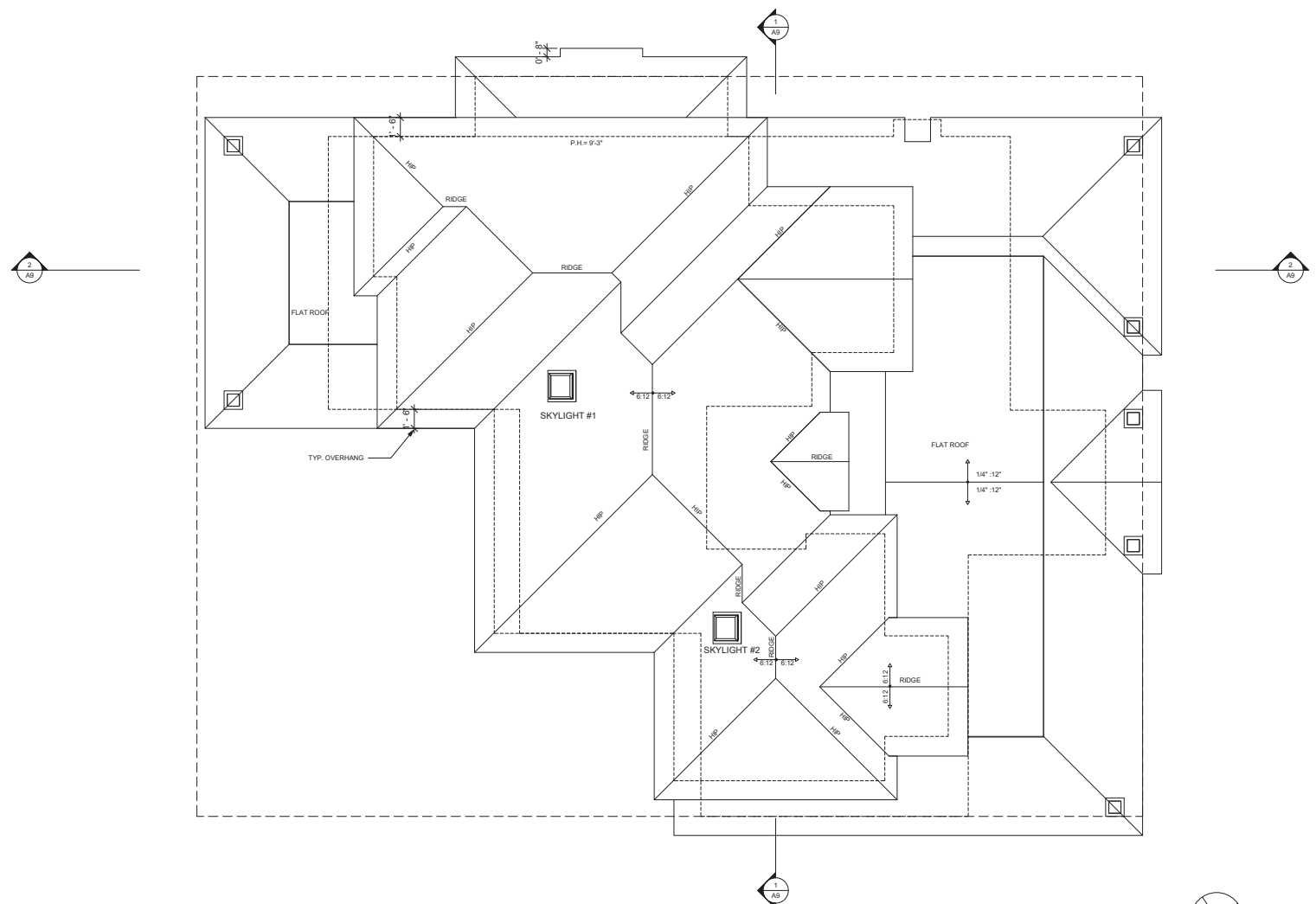
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NEW RESIDENCE FOR:
RAVI SETHI
 933 HERMOSA WAY
 MENLO PARK, CA 94025

**SECOND FLOOR
 PLAN**

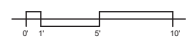
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CHECKED
DATE 08.28.2018
SCALE 1/4" = 1'-0"
JOB NO.
SHEET
A5
OF SHEETS

NOTE: SKYLIGHT #1 AND SKYLIGHT #2 WILL HAVE A LENS @ CEILING LEVEL, TYP.

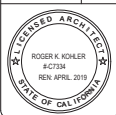


ROOF PLAN

SCALE: 1/4" = 1'-0"



REVISIONS BY	
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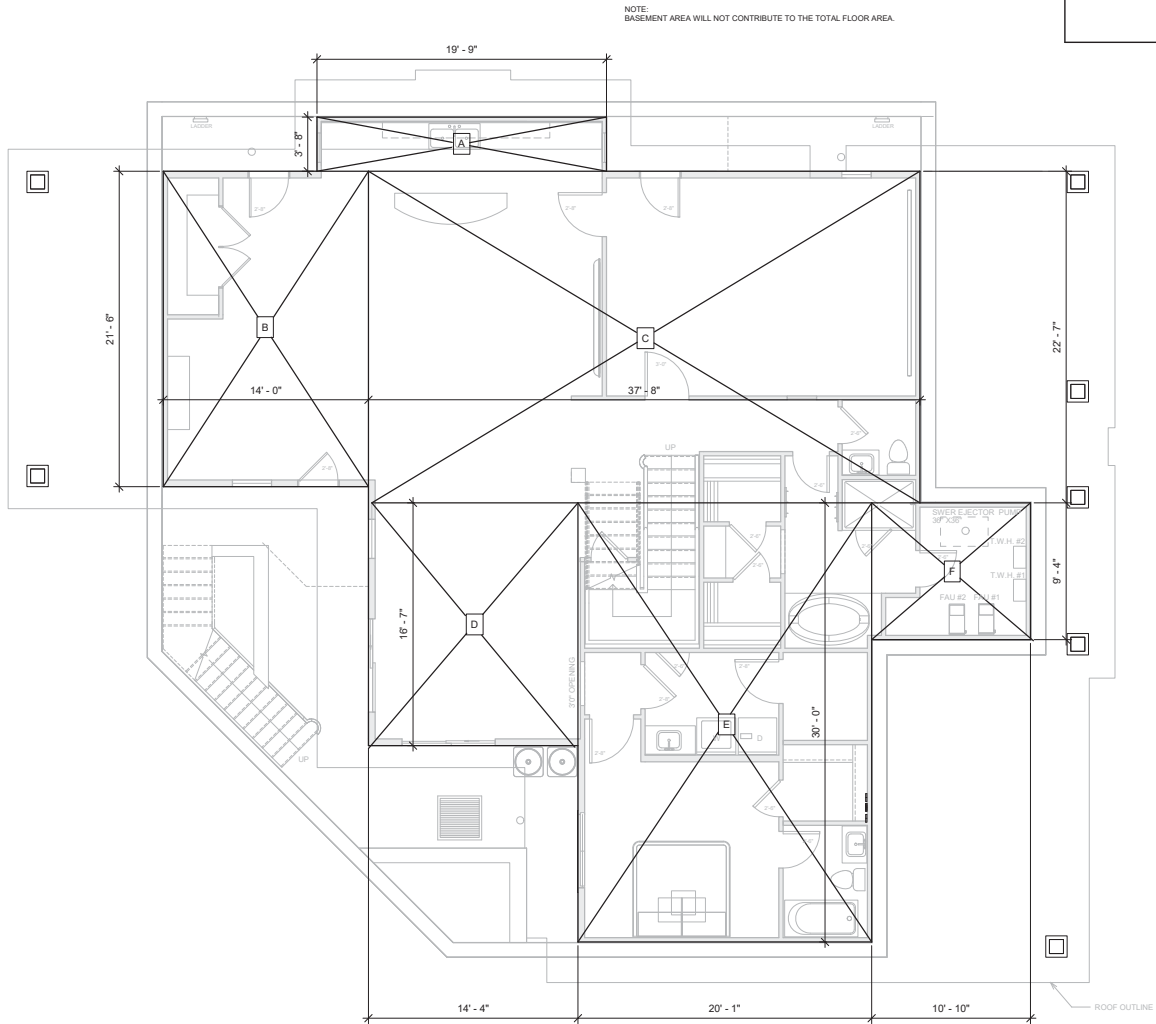


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NEW RESIDENCE FOR:
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 MENLO PARK, CA 94025

ROOF PLAN

DRAWN	H.A.
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DATE	08.28.2018
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	A6
OF SHEETS	



BASEMENT			
A	=	19.75 X 3.70	= 73.8 S.F.
B	=	14.00 X 21.50	= 301.0 S.F.
C	=	37.62 X 22.62	= 851.0 S.F.
D	=	14.29 X 16.54	= 236.3 S.F.
E	=	20.04 X 29.95	= 600.2 S.F.
F	=	10.83 X 9.53	= 101.0 S.F.
TOTAL BASEMENT AREA		2,163.3 SF.	

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09.04.18	



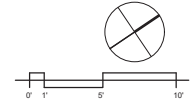
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NEW RESIDENCE FOR:
RAVI SETHI
 933 HERMOSA WAY
 MENLO PARK, CA 94025

BASEMENT AREA
 CALCULATION

BASEMENT

1/4" = 1'-0"



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DATE	06.28.2018
SCALE	1/4" = 1'-0"
JOB NO.	
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OF SHEETS	

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NEW RESIDENCE FOR:
RAVI SETHI
 933 HERMOSA WAY
 MENLO PARK, CA 94025

EXTERIOR
 ELEVATIONS

DRAWN
 H.A.

CHECKED

DATE

08.28.2018

SCALE

1/4" = 1'-0"

JOB NO.

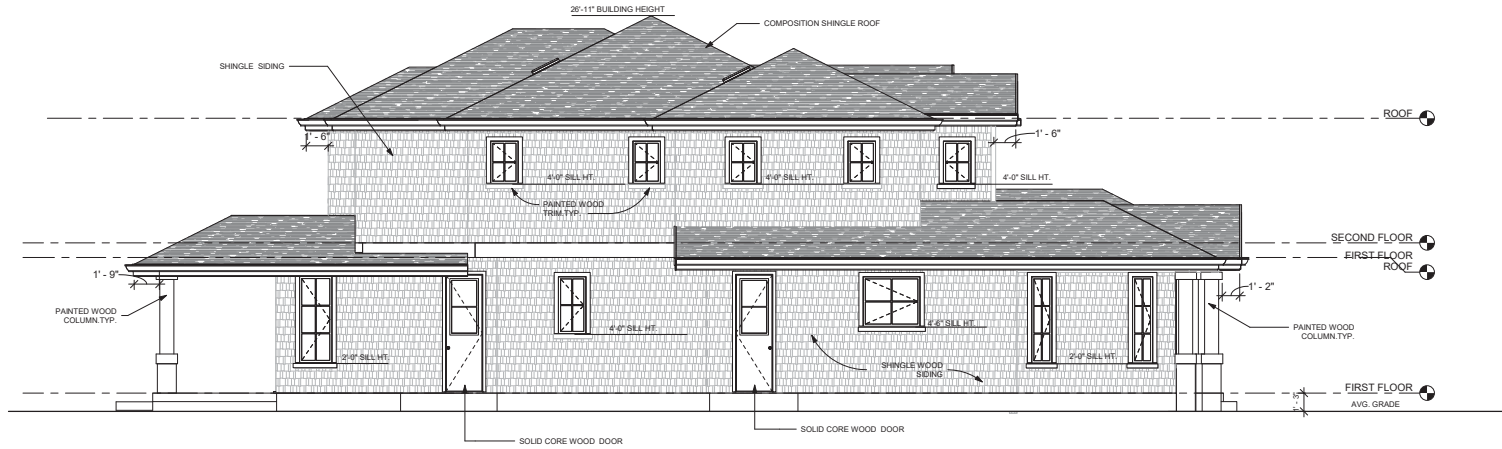
SHEET

A7

OF SHEETS

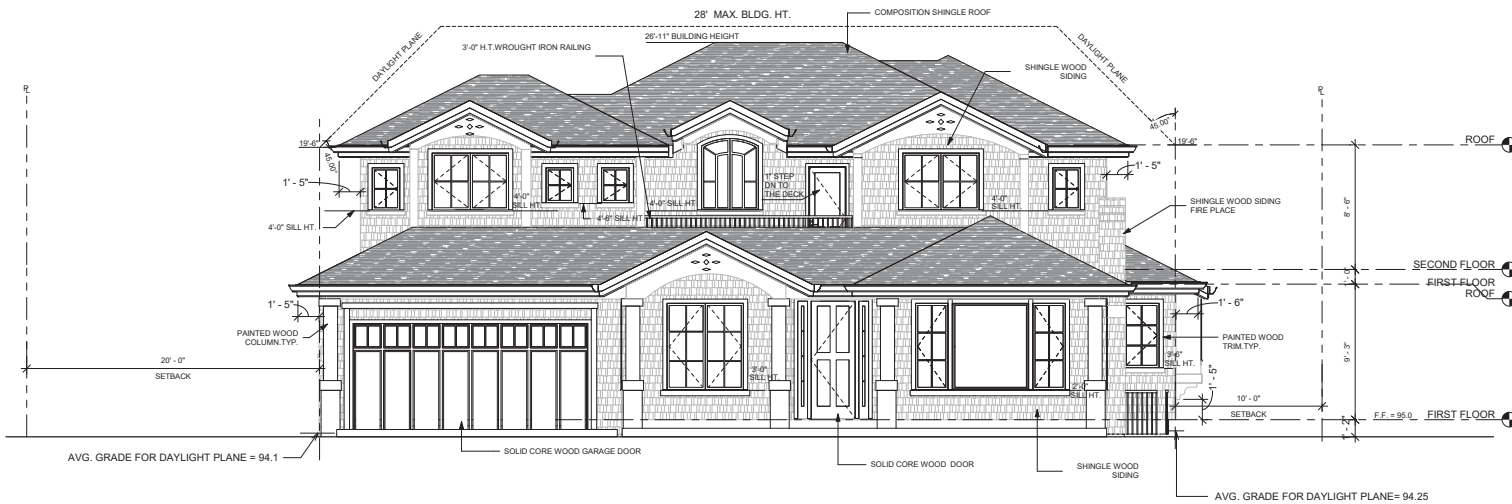
EXTERIOR FINISH SCHEDULE:

ROOF:	COMPOSITION SHINGLE
EXTERIOR WALLS:	SHINGLE WOOD SIDING
WINDOWS:	CLAD WINDOWS/CLEAR INSULATED GLASS W/ APPLIED MUTIN BARS ON BOTH SIDES
EXTERIOR DOORS:	CLAD DOOR
EXTERIOR TRIM:	PAINTED WOOD
COLUMNS:	PAINTED WOOD
PATIOS:	PRECAST CONCRETE PAVERS
WALKWAYS:	PRECAST CONCRETE PAVERS
GARAGE DOOR:	PAINTED WOOD
DRIVEWAY:	PRECAST CONCRETE PAVERS



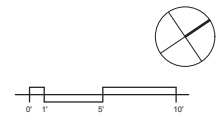
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

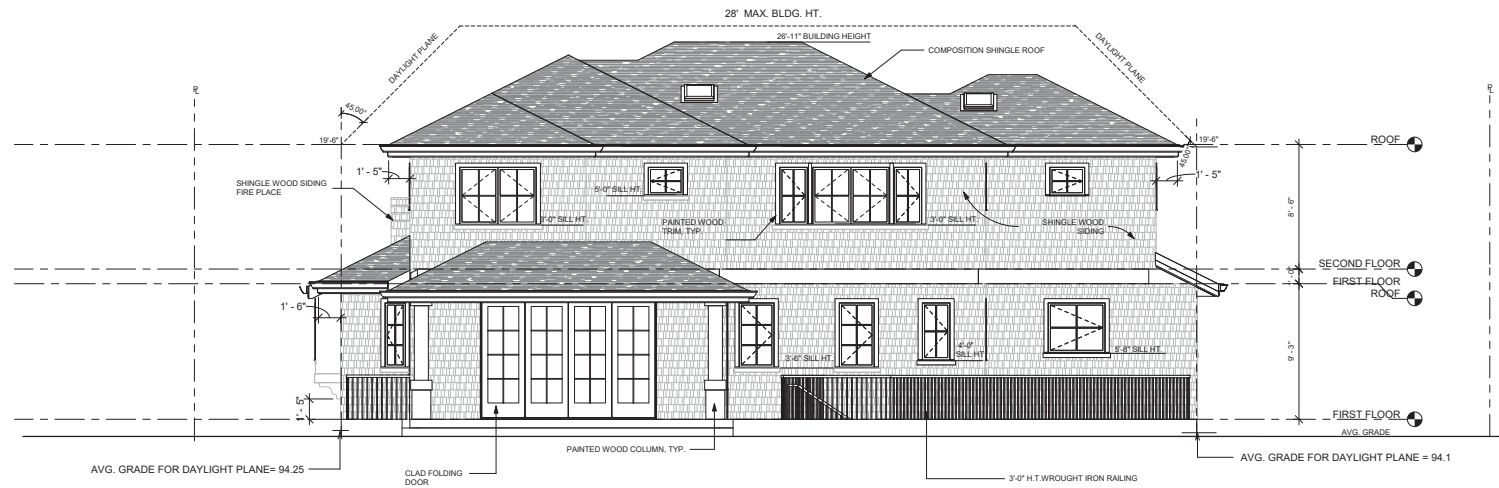
SCALE: 1/4" = 1'-0"





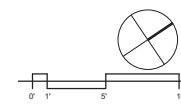
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



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08.16.18	
09.04.18	

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NEW RESIDENCE FOR:
RAVI SETHI
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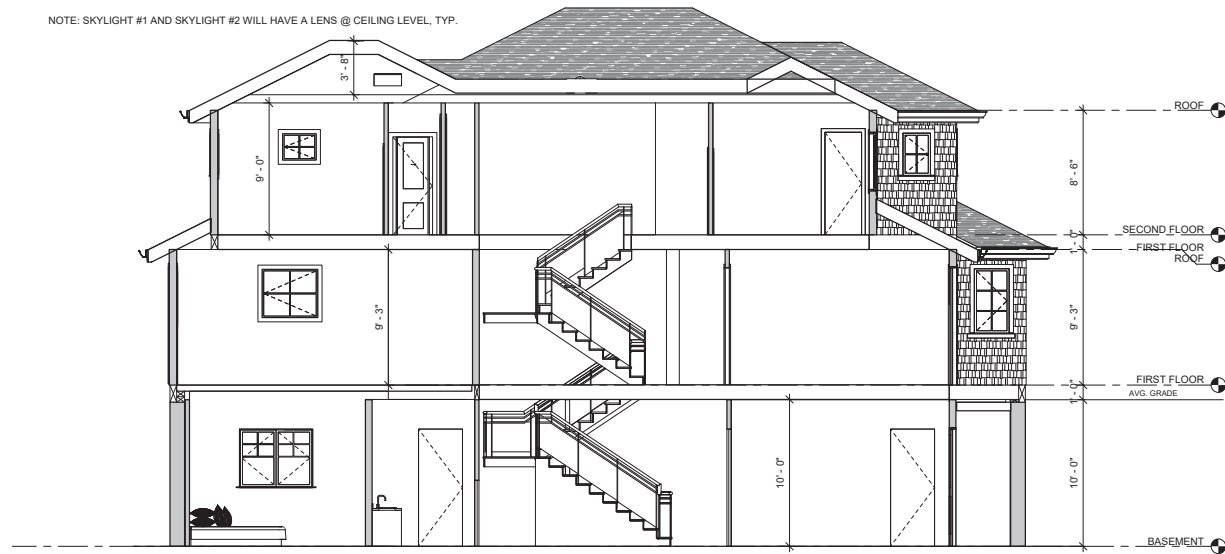
EXTERIOR ELEVATIONS

DRAWN H.A.
CHECKED
DATE 08.28.2018
SCALE 1/4" = 1'-0"
JOB NO.
SHEET
A8
OF SHEETS



SECTION 2

SCALE: 1/4" = 1'-0"



Section 1

SCALE: 1/4" = 1'-0"

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08.16.18	
09.04.18	

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P.C.

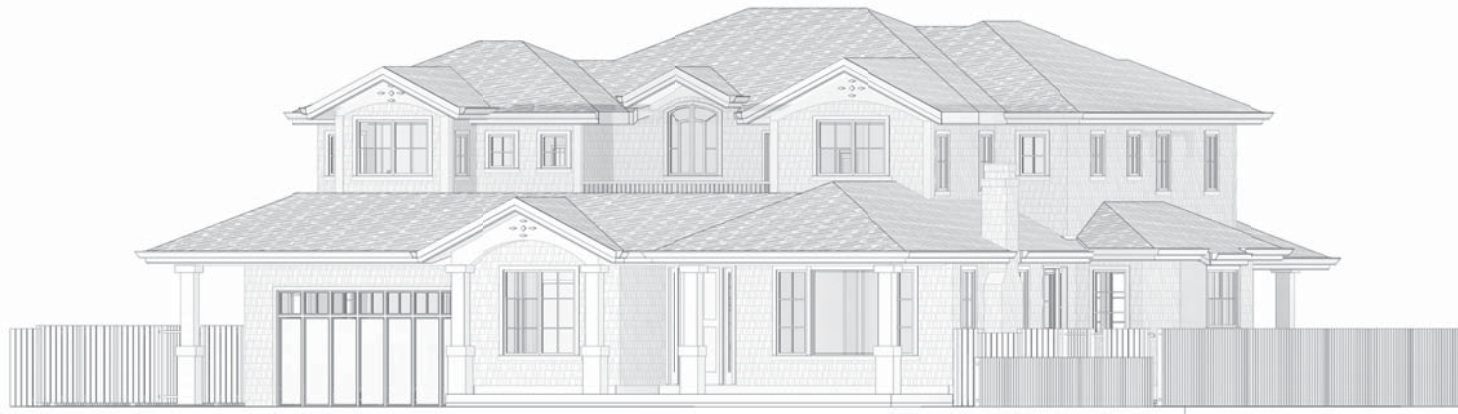
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NEW RESIDENCE FOR:
RAVI SETHI
933 HERMOSA WAY
MENLO PARK, CA 94025

BUILDING SECTIONS

DRAWN	H.A.
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DATE	08.28.2018
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	A9

OF SHEETS




FRONT RIGHT



FRONT LEFT

REVISIONS	BY
08.16.18	




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NEW RESIDENCE FOR:
RAVI SETHI
933 HERMOSA WAY
MENLO PARK, CA 94025

PERSPECTIVE

DRAWN	H.A.
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DATE	08.28.2018
SCALE	
JOB NO.	
SHEET	A10
OF SHEETS	

FIRST FLOOR	
A	= 20.08 X 4.75 = 95.4 S.F.
B	= 53.91 X 21.50 = 1,159.1 S.F.
C	= 14.33 X 17.66 = 253.1 S.F.
D	= 32.00 X 11.50 = 368.0 S.F.
TOTAL FIRST FLOOR AREA = 1,875.5 S.F.	
GARAGE	
G	= 21.16 X 20.66 = 437.2 S.F.
TOTAL FLOOR AREA = 2,312.7 S.F.	
BUILDING COVERAGE	
TOTAL FLOOR AREA = 2,312.7 S.F.	
E (FIREPLACE)	= 3.75 X 1.3 = 5.0 S.F.
H	= 10.83 X 21.50 = 232.8 S.F.
I	= 3.33 X 11.50 = 38.3 S.F.
J	= 8.41 X 21.50 = 180.8 S.F.
K	= 12.33 X 20.66 = 254.7 S.F.
TOTAL COVERED PORCHES = 711.6 S.F.	

REVISIONS BY	
08.16.18	
09.04.18	



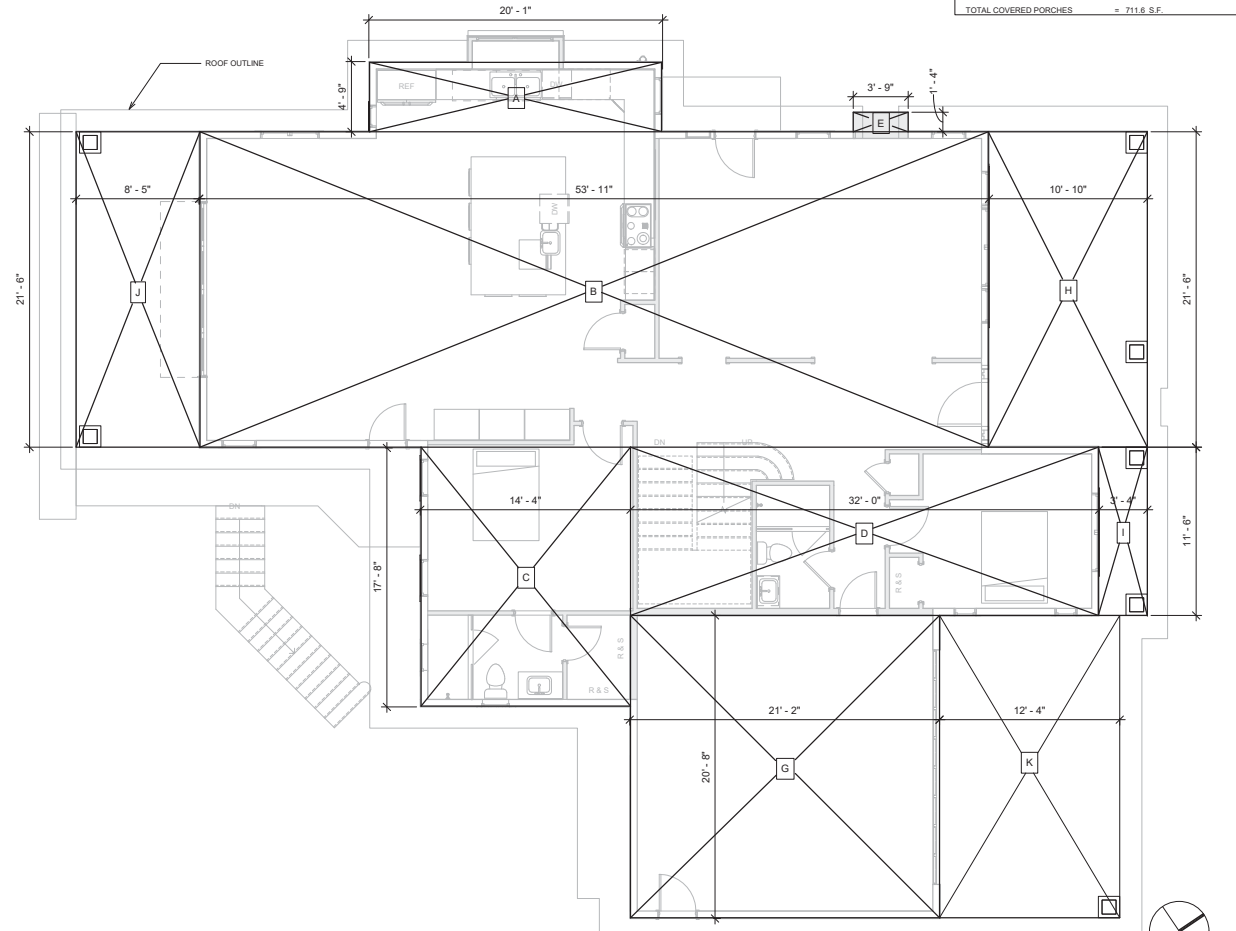
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NEW RESIDENCE FOR:
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 MENLO PARK, CA 94025

FIRST FLOOR AREA
 CALCULATION

DRAWN	H.A.
CHECKED	
DATE	08.28.2018
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	

FA2
 OF SHEETS



FIRST FLOOR AREA CALCULATION

1/4" = 1'-0"

SECOND FLOOR		
A	=	1.91 X 12.00 = 22.9 S.F.
B	=	24.41 X 21.58 = 526.8 S.F.
C	=	3.41 X 5.58 = 18.7 S.F.
D	=	14.83 X 11.88 = 172.9 S.F.
E	=	8.33 X 4.08 = 34.0 S.F.
F	=	16.83 X 11.00 = 185.1 S.F.
H	=	5.83 X 7.58 = 44.2 S.F.
G	=	25.08 X 6.88 = 172.0 S.F.
J	=	5.08 X 8.00 = 40.6 S.F.
I	=	16.88 X 11.66 = 194.2 S.F.
TOTAL SECOND FLOOR AREA		= 1,406.6 S.F.

REVISIONS	BY
08.16.18	
09.04.18	

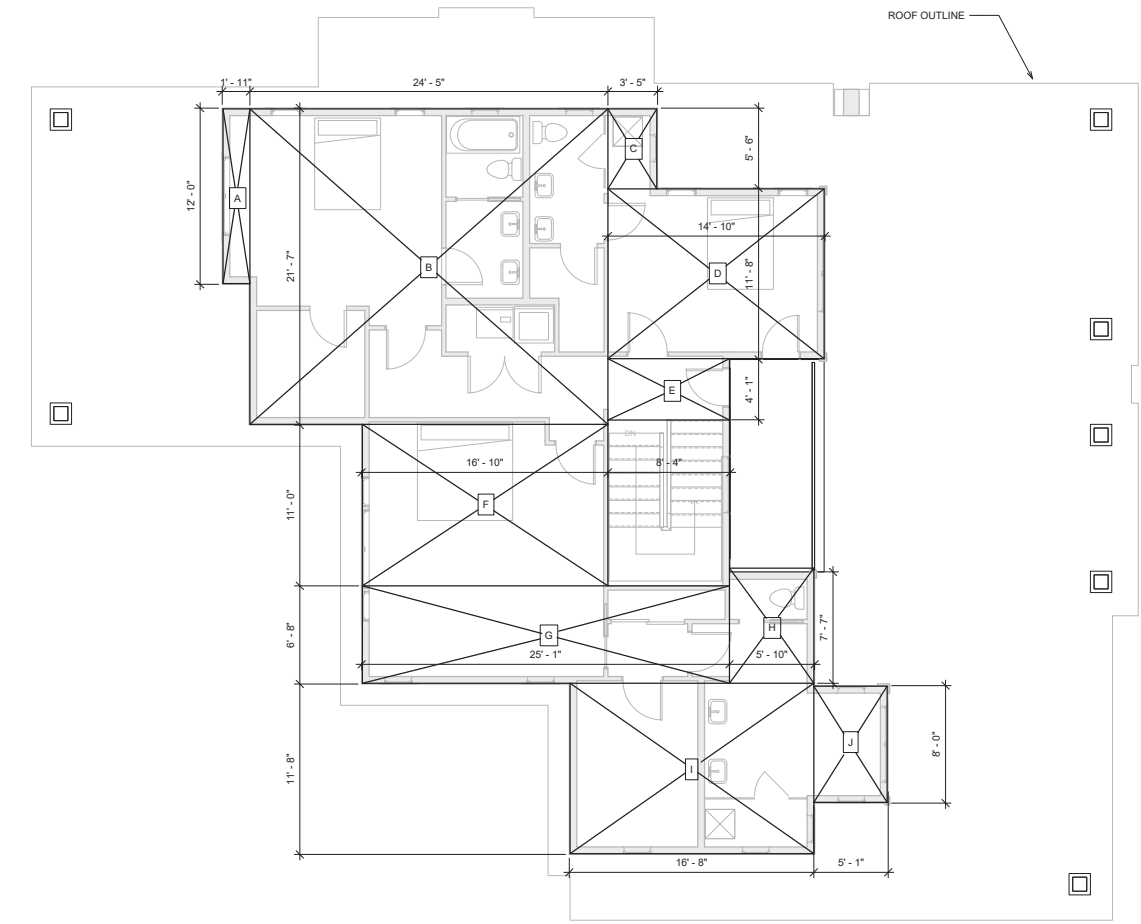


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NEW RESIDENCE FOR:
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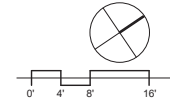
SECOND FLOOR
 AREA
 CALCULATION

DRAWN	H.A.
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DATE	08.28.2018
SCALE	1/4" = 1'-0"
JOB NO.	
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FA3	
OF SHEETS	



SECOND FLOOR

1/4" = 1'-0"





Project Description – 933 Hermosa

The project proposed is a new, two story single-family residence with basement of 2,163.3 square feet located at 933 Hermosa in Menlo Park. The home will sit on a lot size of 10,691.0 square feet. As part of the new home, updated hardscape and landscaping will be added. The surrounding neighborhood contains residences featuring a variety of traditional architectural styles, with a mix of attached and detached garages, and a mix of one- and two-story homes. Thoughtful consideration was given to the design of the home, and a variety of factors contributed to the final plans. They included:

- Studying the neighborhood to understand scale and aesthetic appropriate for the area
- Recognizing the proximity to neighboring homes and minimizing adverse impact
- Reflecting on the unique nature of 933 Hermosa way. – with its stately homes that display a diverse array of architectural designs—from cottage style, to California craftsman, to modern, to Spanish, and more.

As a result of these considerations, the new residence at 933 Hermosa is a traditional style home. The home will have a mix of gable and hip forms with composition shingle roofing and smooth stucco.

The residence will have three bedrooms and three bathrooms on the second floor level with two bedrooms on the first floor. The upper floor design has been arranged to minimize the massing on the second story away from neighbors.

The owners have engaged adjacent neighbors directly by sharing and discussing our plans. All the adjacent neighbors supported the project.

Thank you,
Haleh Aboofazeli

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Mayne Tree Expert Company, Inc.

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STATE CONTRACTOR'S LICENSE NO. 276793

CERTIFIED FORESTER • CERTIFIED ARBORISTS • PEST CONTROL • ADVISORS AND OPERATORS

RICHARD L. HUNTINGTON
PRESIDENT

JEROMEY INGALLS
CONSULTANT/ESTIMATOR

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TELEPHONE: (650) 593-4400
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EMAIL: info@maynetree.com

November 28, 2017
(Revised September 4, 2018)

Mr. Ravinder Sethi
44989 Vista Del Sol
Fremont, CA 94539

Dear Mr. Ravinder Sethi

RE: 933 HERMOSA WAY, MENLO PARK, ARBORIST REPORT

At your request, on October 24, 2017, I visited the above-referenced address. The purpose of my visit was to identify, inspect, and comment on the trees located on the site and within 10 feet of the property line.

Limitations of this report

This report is based on a visual-only inspection that took place from ground level. I accept no responsibility for any unseen or unidentified defects associated with the trees on this site.

Method

Each tree was identified and given a number. This number was scribed onto a metal foil tag and placed at eye level on the trunk of the tree. The identification numbers have also been placed on the provided site map to show the approximate locations of the trees on the site. The diameter of each tree was found by measuring its trunk at 54 inches off the natural grade as described in the City of Menlo Park Heritage Tree Ordinance. The height and canopy spread of each tree was estimated to show their approximate dimensions. A condition rating was given to each tree; this rating is based on form and vitality and can be further defined by the following table:

0	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

Lastly, a comments section is provided to give more individual detail for each tree.

Tree Survey

Tree #	Species	Diameter (inches)	Condition (percent)	Height (feet)	Spread (feet)	Comments
1	Coast Live Oak	36.5	55	40	39	Ivy-covered root crown; leans east; partially topped by PG&E to clear the power lines; 40% of root zone is covered by street asphalt and driveway; heavy lateral limbs; codominant attachment with included bark at 3 feet high.
2	Coast Live Oak	32.4	60	50	39	Ivy covered root crown; leans southwest; trunk deflecting the path of utility lines; codominant attachment at 25 feet; healthy canopy; excess end weight on the lateral limbs; mostly one-sided canopy growth; abundance of interior deadwood.
3	Madrone	10.0 (est.)	65	25	21	Ivy-covered root crown; located on the neighboring property; no tag; slight lean to the southwest; abundance of interior deadwood; some limbs overhanging the client's property.
4	Redwood	28.8	65	35	27	Abundance of leaf litter around the root zone; topped at 30 feet; abundance of epicormic shoots at old topping cut; good vigor, poor form; asphalt driveway covering roughly 40% of this tree's root zone.
5	Redwood	36.3	65	45	33	Partially covered root crown; asphalt covering roughly 40% of this tree's root zone; moderate amount of interior deadwood; previously topped at 40 feet; good vigor, poor form.
6	Redwood	30.1	85	45	30	Partially covered root crown; good form and vigor.
7	Saucer Magnolia	8.0 (est.)	70	12	15	Root crown and lower 3 feet of the tree is covered by ivy and other organic material; three-stem at base; all three stems are approximately 2½-3 inches in diameter; good vigor; possibly drought stressed.

Observations

This property has an easement driveway located along the right side of the home. This driveway extends to a home in the rear of the clients property. Within this report, I have included several trees that are located along the right side of the easement driveway.

Trees #1 is a Coast Live Oak located near the intersection of the street and the driveway, partially under the high-voltage lines. Ivy and other organic material cover the root crown of this tree. Roughly 40 percent of this tree's root zone is covered by asphalt from the easement driveway and the street. There is a codominant attachment at 3 feet with included bark and excess end weight on the lateral limbs. Roughly half of this tree's canopy has been affected by routine vegetation management tree maintenance that is done by PG&E to clear the electrical lines. This maintenance includes topping and side pruning of the canopy.

I recommend routine tree maintenance that should include exposing the root crown and reducing the end weight of the heavier lateral limbs.

Tree #2 is a Coast Live Oak located near tree #1. This tree leans to the southwest and has ivy and other organic material covering the root crown. The tree's trunk is deflecting the path of the lower utility lines. There is a codominant attachment at 25 feet and the canopy appears to be healthy and vigorous. This tree's canopy is mostly one-sided due to a competition for light with adjacent trees. This has promoted excess end weight on the lateral limbs and contributed to an abundance of interior deadwood.

I recommend routine tree maintenance that should include deadwood removal, end weight reduction of the heavier lateral limbs, and exposing the root crown. The majority of this tree's canopy does hang over the neighboring property. Therefore, the neighbor should be consulted on the future maintenance of this tree.

Tree #3 is a small Madrone located on the neighboring property, near the property line fence, on the right side of the driveway easement. This tree has a covered root crown, an abundance of interior deadwood, and a slight lean to the southwest.

I recommend routine tree maintenance that should include trimming the lower limbs back toward the property line and removing the interior deadwood on the client's portion of the canopy.

Trees #4 and #5 are Redwood trees located on the right side of the easement driveway. Both of these trees have been topped in the past; tree #4 at approximately 30 feet and tree #5 at approximately 40 feet. Both trees have good vigor and fair form.

Due to this topping, I strongly recommend regular intervals of inspection and maintenance to reduce the chance of failures from weakly attached limbs near the old topping cuts.

Tree #6 is a Redwood tree located on the left side of the home. This tree has good vigor and form.

No work is needed at this time.

Tree #7 is a Saucer Magnolia located at the front left corner of the property. This tree has the lower 3 feet of its trunks surrounded by ivy and other organic material. It has good vigor and fair form.

I recommend routine tree maintenance that should include removing the ivy away from the trunk and exposing the root crown of this tree.

Conclusion

The trees on this site need only minor routine tree maintenance that should include exposing the root crown, deadwood removal, and end weight reduction. In the future, the Redwood trees on the right side of the driveway easement may have roots that will affect the driveway. It is not uncommon to have roots crack and lift asphalt and concrete.

All tree work performed as a result of this report should be accomplished by a qualified licensed tree care professional.

I believe this report is accurate and based on sound arboricultural principles and practices. If I can be of further assistance, please contact me at my office.

Sincerely,

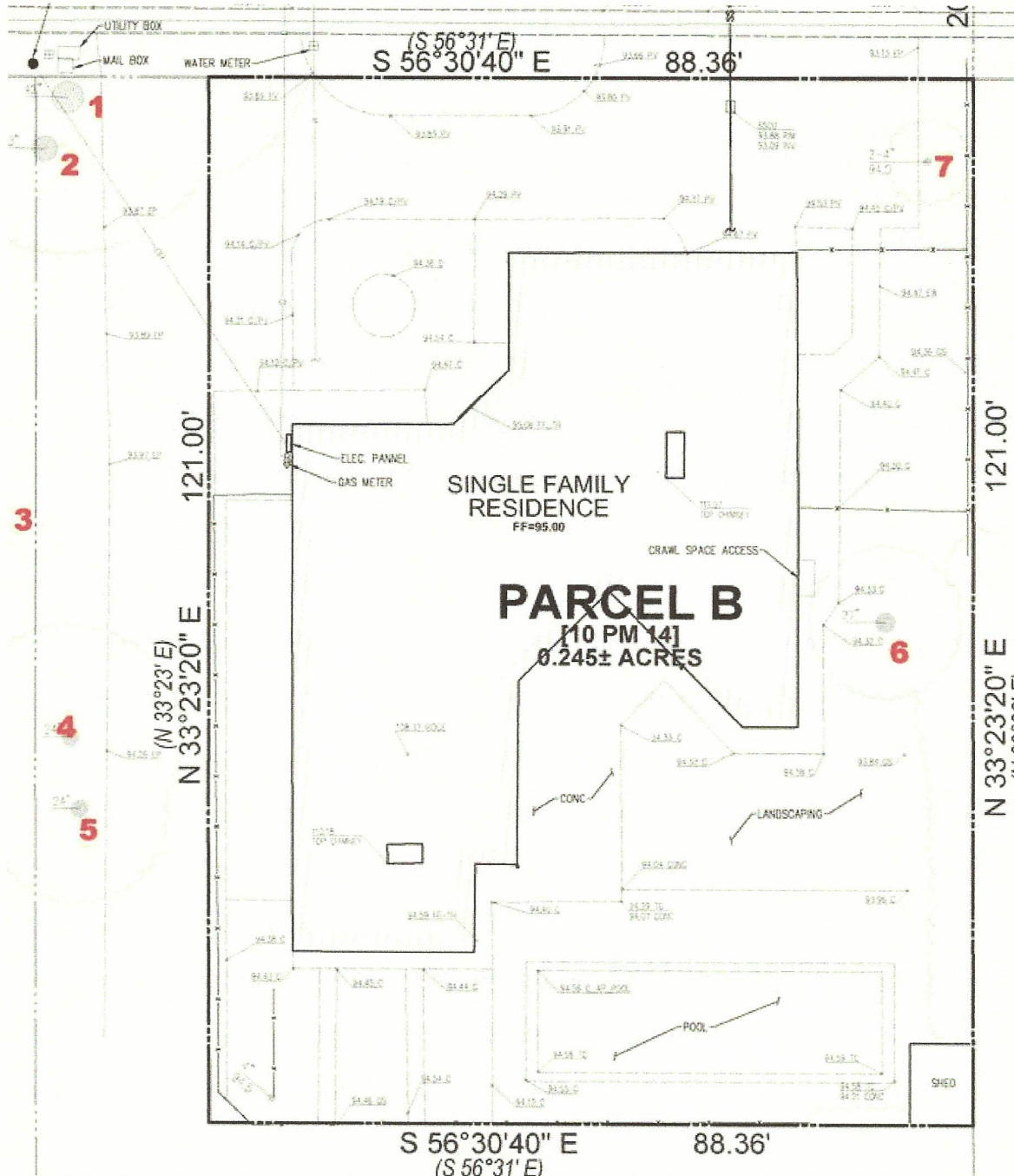

Jeromey A. Ingalls
Certified Arborist WE #7076A

JAI:pmd

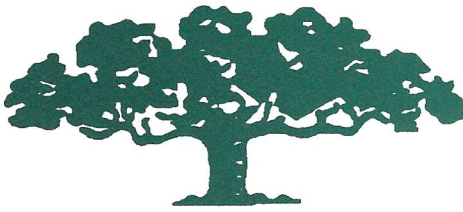


Glossary

Term	Definition
Canopy	Collective branches and foliage of a tree or group of trees.
Easement	A defined strip of land beneath a utility line over which the utility has rights-of-way to maintain clearance; essentially part of the right-of-way.
Epicormic Shoot	Shoot arising from a latent or adventitious bud (growth point).
Grade	Surface level of the ground.
High-Voltage Lines	Lines with voltages greater than a specified amount, typically in excess of 60,000 volts, depending on the utility.
Included Bark	Bark that becomes embedded in a crotch (union) between branch and trunk or between codominant stems; causes a weak structure.
Lateral	Secondary or subordinate branch or root.
Limb	Large, primary branch of a tree.
Pruning	Cutting away unwanted or damaged parts of a plant.
Reduction	Pruning to decrease height and/or spread of a branch or crown.
Root Crown	Area where the main roots join the plant stem, usually at or near ground level; root collar.
Root Zone	Area within the soil profile where roots exist; typically the root zone of trees extends beyond the drip line.
Vegetation Management	Management and control of vegetation to achieve established goals and objectives.
Vigor	Overall health; capacity to grow and resist stress.
Vitality	Overall health; ability of a plant to deal effectively with stress.



See tree inventory numbers site plan (pdf) attached to email with this letter.



Mayne Tree Expert Company, Inc.

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PRESIDENT

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September 4, 2018

Mr. Ravinder Sethi
44989 Vista Del Sol
Fremont, CA 94539

Dear Mr. Sethi,

RE: 933 HERMOSA WAY, MENLO PARK, TREE PROTECTION & PLAN REVIEW

On August 1, 2018, at your request, I reviewed the proposed construction plans, dated 06-28-2018, designed for the above-referenced address. During my review of the proposed plans, I determined the existing home on the property will be demolished and a new two-story home with a basement will be built on the property.

Limitations of this Letter

The following tree protection plan is based on my interpretation of the plans that were provided to me. I accept no responsibility for any misinterpreted portions of the construction project or if the provided plans for the project were changed without my knowledge after I received a copy.

The following letter is not a contract to become the site arborist or for any future inspections that might be needed. A separate contract would need to be established to perform the role of site arborist for this project.

Plan Review and Construction Impacts on the Trees

This site is a unique property in that along the right side there is a driveway that is used to access a separate "flag" lot located behind 933 Hermosa Way.

Trees #1 and #2 are located at the right front corner of the shared driveway, near the street. These two trees are located in a planter strip between the neighboring property and the driveway that provides access to the home behind 933 Hermosa Way. The combined canopies of these trees partially extend over the driveway. Fencing should be established near the driveway edge and around the trunk of the tree where it is nearest to the street.

Trees #3-#5 are all located along the right side of the driveway that leads to the rear property. There is a fence and a driveway that separate the trees from the main portion of the 933 Hermosa Way home creating a space of approximately 15 feet from the proposed construction project. Because of this separation, I believe trees #3-#5 will be unaffected by the proposed construction.

Tree #6 is a 30 inch diameter Redwood tree that will have roughly 20 to 25 percent of its root zone impacted by the excavation needed for the new basement of the home. This means that 75 to 80 percent of this tree's root zone will be unaffected by the proposed construction, which should be ample to provide water, nutrients, and structural stability for this tree. I recommend a 6-inch layer of woodchips be placed over the root zone of this tree during the construction project; that tree protection fencing be established as near the dripline as possible on the house side of the canopy; and beyond the canopy on the opposing side. I have drawn in on the provided site map the approximate location of this protective fencing. Only hand excavation shall be used when working within the dripline of the tree and any roots larger than 2 inches in diameter shall be left uncut until the site arborist can measure the root, document the location and size, and make an informed decision as to the best way to mitigate the issue.

Irrigation should be established near the dripline of this tree to supply ample water during the summer months and when the water from the home is turned off to start construction. The use of a soaker hose with a timer would be adequate to insure this tree is receiving water. Monitoring the moisture in the soil for the first month is strongly recommended, as not all soils are the same. Some soils have more clay and would hold moisture longer than soils with a higher sand content, which drain faster and require additional watering. The irrigation plan can be changed to apply more or less water as needed in the future. Once the project is completed, a new landscape plan should include watering this tree as needed.

Per City requirements: Soaker hose should be laid in concentric circles from the trunk to 5 to 10 feet beyond the dripline, where possible, and placed no more than 24 inches apart. Lines should be in direct contact with the soil. Irrigation should wet the top 18 to 24 inches of soil and remain moist and wet.

Tree #7 is a Saucer Magnolia located at the left front corner of the property. This tree should not be affected by the proposed construction.

Summary

Trees #1 and #2 will need tree protection fencing established near the edge of the driveway and street to protect the trunk and exposed root zone. These trees should not be impacted by the proposed construction. Both of these trees are native California trees adapted to the dry climate and do not require supplemental irrigation.

Trees #3-#5 are separated from the property with a fence and a driveway. The nearest edge of excavation from these trees would be a minimum of 10 to 12 feet away. Therefore, additional tree protection fencing, other than the property line fencing, will not be needed for these trees. At present, there is no irrigation supplied from the 933 Hermosa Way property to these trees; therefore, additional irrigation will not be needed. To bring in additional watering to these trees may actually increase the chance of a fungal attack and be detrimental to the trees.

In short, additional irrigation should not be needed for trees #1-#5, as their root-zones will not be affected by the proposed construction, and these trees receive most of their water from neighboring property, which they are located closer to.

Tree #6 will need tree protection fencing established near the dripline of the tree on the house side of the canopy and farther out than the dripline on the opposing side. Irrigation will be needed during the construction process and a soaker hose controlled by a timer would be the recommended application for this process.

Tree #7 should not be affected by the proposed construction.

CITY OF MENLO PARK TREE PROTECTION SPECIFICATIONS

1. A 6-inch layer of coarse mulch or woodchips is to be placed beneath the dripline of the protected trees. Mulch is to be kept 12 inches from the trunk.
2. A protective barrier of 6-foot chain link fencing shall be installed around the dripline of protected trees. The fencing can be moved within the dripline if authorized by the Project Arborist or the City Arborist, but not closer than 2 feet from the trunk of any tree. Fence posts shall be 1.5 inches in diameter and are to be driven 2 feet into the ground. The distance between posts shall not be more than 10 feet. This enclosed area is the Tree Protection Zone (TPZ).
3. Movable barriers of chain link fencing secured to cement blocks can be substituted for "fixed" fencing if the Project Arborist and City Arborist agree that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Project Arborist or City Arborist.
4. **Avoid the following conditions.**
DO NOT:
 - a. Allow runoff or spillage of damaging materials into the area below any tree canopy.
 - b. Store materials, stockpile soil, or park or drive vehicles within the TPZ.
 - c. Cut, break, skin, or bruise roots, branches, or trunks without first obtaining authorization from the City Arborist.
 - d. Allow fires under and adjacent to trees.
 - e. Discharge exhaust into foliage.
 - f. Secure cable, chain, or rope to trees or shrubs.
 - g. Trench, dig, or otherwise excavate within the dripline or TPZ of the tree(s) without first obtaining authorization from the City Arborist.
 - h. Apply soil sterilants under pavement near existing trees.
5. Only excavation by hand or compressed air shall be allowed within the driplines of trees. Machine trenching shall not be allowed.
6. Avoid injury to tree roots. When a ditching machine, which is being used outside of the dripline of trees, encounters roots smaller than 2 inches, the wall of the trench adjacent to the trees shall be hand trimmed, making clear, clean cuts through the roots. All damaged, torn, and cut roots shall be given a clean cut to remove ragged edges, which promote decay. Trenches shall be filled within 24 hours, but, where this is not possible, the side of the trench adjacent to the trees shall be kept shaded with four layers of dampened, untreated burlap, wetted as frequently as necessary to keep the burlap wet. Roots 2 inches or larger, when

encountered, shall be reported immediately to the Project Arborist, who will decide whether the Contractor may cut the root as mentioned above or shall excavate by hand or with compressed air under the root. The root is to be protected with dampened burlap.

- 7. Route pipes outside of the area that is 10 times the diameter of a protected tree to avoid conflict with roots.
- 8. Where it is not possible to reroute pipes or trenches, the contractor shall bore beneath the dripline of the tree. The boring shall take place not less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.
- 9. Trees that have been identified in the arborist's report as being in poor health and/or posing a health or safety risk may be removed or pruned by more than one-third, subject to approval of the required permit by the Planning Division. Pruning of existing limbs and roots shall only occur under the direction of a Certified Arborist.
- 10. Any damage due to construction activities shall be reported to the Project Arborist or City Arborist within six hours so that remedial action can be taken.
- 11. An ISA Certified Arborist or ASCA Registered Consulting Arborist shall be retained as the Project Arborist to monitor the tree protection specifications. The Project Arborist shall be responsible for the preservation of the designated trees. Should the builder fail to follow the tree protection specifications, it shall be the responsibility of the Project Arborist to report the matter to the City Arborist as an issue of non-compliance.
- 12. Violation of any of the above provisions may result in sanctions or other disciplinary action.

MONTHLY INSPECTIONS

It is recommended that the site arborist provide periodic inspections during construction. Four-week intervals would be sufficient to access and monitor the effectiveness of the Tree Protection Plan and to provide recommendations for any additional care or treatment.

City of Menlo Park – Community Development Department, Planning Division Tree Protection Specifications Updated February 2008.

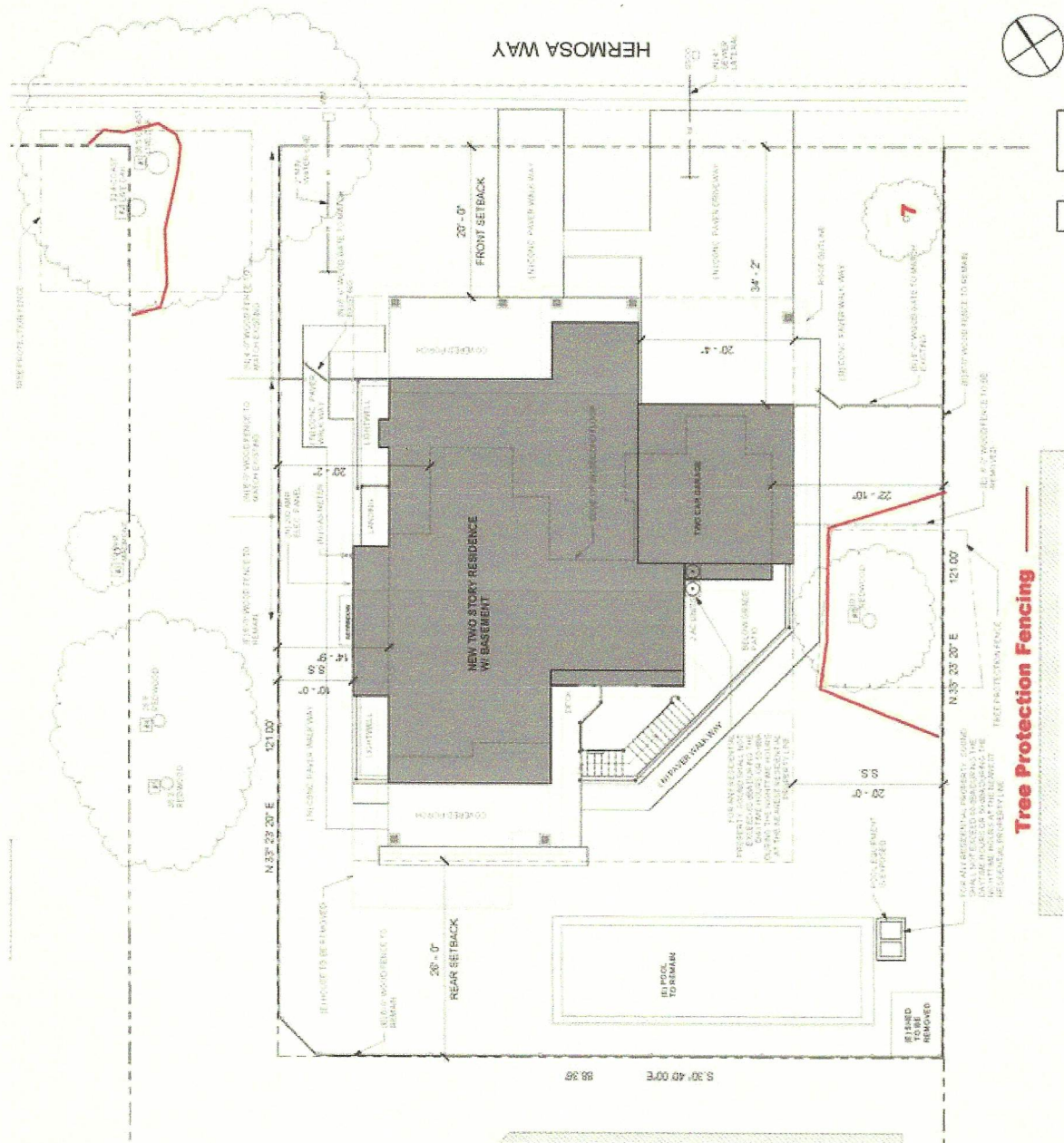
I believe this report is accurate and based on sound arboricultural principles and practices. If I can be of further assistance please contact me at my office.

Sincerely,

Jeromey A. Ingalls
Certified Arborist WE #7076A

JAI:pmd





New Construction Proposal
Ravi Sethi and
933 Hermosa way Menlo Park, CA 94025
510.585.8024 – ravis.sethi@gmail.com

Dear Neighbor,

We moved into 933 Hermosa Way last year and have enjoyed being part of the community. Our current home has become a little too cozy for us.

We have spent several years designing what we hope to be a welcoming and appealing new home in the neighborhood. Our plans are for a new 2 story, 5 bedroom traditional home designed by the local architect, Roger Kohler. We welcome your comments and questions, and included a comment page. Please call or email if you would like to view more detailed plans and discuss with us in person. Full project plans are also available at the Menlo Park planning department.

We look forward to hearing from you!

Thanks,

Ravi Sethi,



STAFF REPORT

Planning Commission

Meeting Date: 9/17/2018

Staff Report Number: 18-080-PC

Public Hearing: Use Permit Revision and Variances/Alpheus Jessup/904 Harmon Drive

Recommendation

Staff recommends that the Planning Commission deny a variance to rebuild nonconforming walls in the required rear setback in the R-1-U (LM) (Single-Family Urban Residential, Lorelei Manor) zoning district. Staff also recommends approval of a use permit revision to modify the rear elevation and proposed floor plan to meet the required rear setback with a condition of approval that would allow the project to proceed without additional Planning Commission review. The proposed work would exceed 100 percent of the existing replacement value in a 12-month period. The recommended actions are included as Attachment A.

Policy Issues

Each use permit revision and variance request is considered individually. The Planning Commission should consider whether the required use permit revision and variance findings can be made for the proposal.

Background

Site location

The project site is located at 904 Harmon Drive, between Bay Road and Callie Lane, in the Lorelei Manor neighborhood. The area is close to the City's boundaries with the Town of Atherton. The properties to the north and west are single-family residences and are also located in the R-1-U (LM) zoning district. The property to the east is zoned R-1-U and is occupied by a church. The property to the south is part of the SFPUC's Hetch Hetchy Regional Water System right-of-way (ROW). The surrounding homes are predominantly single-story, single-family residences; however, two-story, single-family residences can also be found throughout the neighborhood. Most of the residences in the area are of the traditional ranch style, although some craftsman and contemporary residential residences are also present.

Previous Planning Commission review

On January 8, 2018 the Planning Commission approved a use permit to remodel and add a second story to an existing nonconforming, single-story residence and variance requests to allow the second floor stairwell to encroach into the required rear setback and to allow the rebuilding of eaves to extend up to three feet from the rear building wall, which is nonconforming at 16.5 feet from the rear property line. The staff report and minutes for the Planning Commission meeting are included as Attachment B and C.

Building and construction

On May 8, 2018, the City issued a building permit for the approved remodel and addition. In July 2018, a stop work order was issued because the proposed demolition exceeded the scope of work that was approved on the building permit. During the process, the framing for a portion of the nonconforming rear wall and nonconforming eave on the left side garage elevation was accidentally removed by the project contractor when both features were to remain. Other parts of the residence have been demolished to the framing. All construction work has stopped until review of the proposed variance and use permit by the Planning Commission.

Analysis

Project description

The applicant is requesting a variance to rebuild the rear wall at 16.5 feet where 20 feet is the required rear setback. Nonconforming walls and eaves can remain when the existing framing is retained; however, once the framing is removed the new walls and eaves must meet the current setback requirements unless a variance is approved to reconstruct the nonconformity. The proposal would result in the same project the Planning Commission approved earlier this year. A data table summarizing parcel and project attributes is included as Attachment E. The project plans and the applicant's project description letter are included as Attachments F and G, respectively.

The existing residence is nonconforming with regard to the front, rear, and left side setbacks. The existing nonconforming walls of the residence at the left side and the front edge of the garage remain with the wall framing retained. The nonconforming walls along the front elevation in the area currently used as a study would be removed per the previous approval. As noted earlier, a portion of the nonconforming rear wall and eave of the left side of the garage that were to be retained have been removed. The applicant is requesting a variance to rebuild the rear wall; however, since staff recommends denial of the requested variance a recommended condition of approval (condition #5a) is included that requires the demolished portion of the nonconforming rear wall and associated eaves to be reconstructed to meet the current setback and encroachment requirements. Per the previously approved variance requests, the applicant is proposing for the second story stairwell to encroach into the required rear setback to align with the existing first floor wall and to rebuild the eaves in the rear setback to extend up to three feet from the rear building wall.

The floor area, building coverage, and height of the proposed residence would all remain below the maximum amounts permitted by the Zoning Ordinance. The residence would meet all Zoning Ordinance requirements aside from the variance request for the rear setback.

Design and materials

The existing residence is a traditional ranch home featuring the characteristic long, low profile, simple roof forms and stucco siding typical of this architectural style. As part of the previously approved use permit and variance requests, the façade would be updated to achieve a more contemporary aesthetic. The existing stucco siding on the exterior of the residence would be replaced with new stucco siding with a sand textured finish, and the roofing would be new asphalt shingles. The proposed windows would be

fiberglass casement windows. The existing garage door would be replaced with a metal frame with obscured glass transom windows. The new second story would be concentrated toward the center of the first story and would be stepped in from the first story footprint except for the stairwell along the rear wall. As required by the zoning district, the second-story windows on the side elevations are proposed to have sill heights of at least five feet or would be obscured glass, which would promote privacy for the neighboring residential properties.

The current use permit revision and variance request does not include changes to the proposed exterior elevations or floor plan. During the construction phase several minor changes to the floor plans and exterior elevations were approved by staff administratively. These changes included modifications to the layout of the master bath and laundry room, placement and size of the front door and sidelights, and size of the nanawall door system on the rear elevation.

Staff believes that the materials, and style of the proposed residence are consistent with the broader neighborhood, given the architectural styles in the area. However, staff believes that the proposed additions and remodel of the existing residence can be accomplished without rebuilding the nonconforming rear wall as discussed in a later section.

R-1-U (LM) Zoning District Requirements

The R-1-U (LM) zoning district establishes a unique set of regulations for the development and renovation of single-family residences located within the Lorelei Manor neighborhood. In general, this zoning district provides for more restrictive development regulations, but provides flexibility on some of the regulations by either obtaining the approval of the adjacent neighbor or a use permit from the Planning Commission. The applicant previously obtained approval letters from the adjacent neighbors to modify the second-floor window and daylight plane requirements, which were included as attachments to the previous staff report.

Variance

As part of this proposal, the applicant is requesting a variance to rebuild a portion of the nonconforming wall that was removed in the required rear setback. The applicant has provided a variance request letter that is included as Attachment H. The required variance findings are evaluated below in succession:

- 1. That a hardship peculiar to the property and not created by any act of the owner exists. In this context, personal, family or financial difficulties, loss of prospective profits and neighboring violations are not hardships justifying a variance. Further, a previous variance can never have set a precedent, for each case must be considered only on its individual merits;*

The applicant states that a combination of factors create a hardship for the owners, who wish to remodel and expand their home in a functional manner. The subject site, is not a typical, rectangular-shaped lot, but rather a trapezoid shape. The existing residence is also sited in a non-orthogonal manner with regard to the property lines. The combination of the irregular lot shape and the placement of the existing residence, creates a hardship. The applicant states that the project contractor removed the existing nonconforming wall framing without knowledge of the requirements for nonconforming walls or approval by the owner or the project architect.

Although the current residence is sited in a non-orthogonal manner with regard to the property lines, staff believes that feasible alternative options exist that would still meet the desired goal of modernizing and expanding the residence. As indicated in the Limiting Factors Floor Plan provided by the applicant and included as Attachment I, the proposed second story addition could be achieved without rebuilding the nonconforming wall at the 16.5 foot setback. The new rear wall could be rebuilt to meet the required 20 foot setback and still accommodate the same floor plan elements without the variance request. The applicant could consider keeping the stairwell at the 16.5 setback, since this was previously approved with the original variance requests. However, the Planning Commission can consider whether the stairwell should meet the rear setback requirement since the stairwell would no longer align with the new rear wall, which was previously the basis for the location of the stairwell. The eaves for the new rear wall would be required to meet the current eave encroachment requirements, but the eaves for the portion of the nonconforming rear wall that was not demolished could extend three feet from the wall per the previous variance request. Furthermore, while the nonconforming wall was removed accidentally, the approved building permit plans included notes on the architectural and structural plans that stated the nonconforming wall and eave framing could not be demolished.

- 2. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property in the same vicinity and that a variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his/her neighbors;*

The applicant states that the requested variance is necessary to create a conventional floor plan and functional space. The new rear wall would be positioned in the same location as the existing rear wall, which would allow for an efficient use of space, rather than significantly modifying the floor plan and reducing the size of several rooms. Staff believes that rebuilding the new rear wall would constitute a special privilege for the owners, since there is a reasonable alternative that would provide functional floor plans and similar square footages, as described above, for the enjoyment of property rights relative to other properties in the vicinity. The proposed variance is not necessary to remodel the residence, enjoy the same privileges as neighboring properties, or effectively use the floor plan. Additionally, permitting the rear wall to be rebuilt in required rear setback with no physical constraint on a standard lot could constitute a special privilege.

- 3. That the granting of the variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property; and*

Although rebuilding the rear wall in the required setback would affect the rear setback, staff believes that the location of the encroachment would not be particularly detrimental to the public health, safety, and welfare, or impair an adequate supply of light and air to the adjacent properties.

- 4. That the conditions upon which the requested variance is based would not be applicable, generally, to other property within the same zoning classification.*

The applicant cites the orientation of the existing residence and the existing encroachment into the

required rear yard as examples of the uniqueness of this situation. The house is aligned with the rear property line, rather than the side or front property lines, which presents a number of challenges that are not generally applicable to other properties. Staff believes that the particular site layout and existing floor plan, while presenting some constraints to development, is not particularly unique in this area. The location of the existing rear wall in the required setback is not unusual, and the existing encroachment into the required rear yard cannot itself serve as the basis for new encroachments. Staff believes that the justifications for this particular variance request would be broadly applicable to other lots with nonconforming structures in this area and throughout the City. Many existing homes have nonconforming walls and eaves that are required to be retained during construction. If a variance is allowed to rebuild nonconforming walls/eaves many other applicants could request the same variance after exceeding the scope of work that was approved on the building permit and mistakenly removing nonconforming walls/eaves.

5. *That the condition upon which the requested variance is based is an unusual factor that was not anticipated or discussed in detail during any applicable Specific Plan process.*

The property is not within any Specific Plan area. Hence, a finding regarding an unusual factor does not apply.

Approval of a variance requires that all five findings be made. Staff believes several of the findings cannot be made and recommends denial of the variance request. Findings to this effect are included in the recommended actions. Staff believes that the nonconforming rear setback can be brought into conformance with minimal changes to the exterior appearance, although updated building permits would be required prior to commencement of construction. Staff is recommending condition 5a which requires the project to be revised to comply with the 20-foot rear setback requirement and eave encroachment requirements for the eave on the left side elevation and be substantially consistent with the original design, subject to the review and approval of the Community Development Director.

Trees and landscaping

No changes to the trees and landscaping are proposed. The original use permit and variance request included submittal of an arborist report that was reviewed by the City's independent consulting arborist to confirm the accuracy of the conclusions of the report.

Valuation

To calculate the replacement and new construction costs on which the use permit threshold is based, the City uses standards established by the Building Division. The City has determined that the replacement cost of the existing structure would be \$330,120, meaning that the applicants would be allowed to propose new construction and remodeling at this site totaling less than \$330,120 in any 12-month period without applying for a use permit. The City has determined that the value of the proposed work for the revised project would be approximately \$408,435. Based on this estimate, the proposed project exceeds 100 percent of the replacement cost of the existing structure, therefore requiring use permit approval by the

Planning Commission.

Correspondence

No comments have been directly received by staff on the proposed project. During the review process, the property owners contacted the adjacent neighbors regarding the proposed project and obtained signatures from them in support of the proposed variance. These letters are included as Attachment J.

Conclusion

Staff believes that the scale, materials, and style of the proposed residence are compatible with those of the greater neighborhood. No heritage tree impacts are anticipated. Aside from the variance requests, the floor area, building coverage, and height of the proposed residence would all be at or below the maximum amounts permitted by the Zoning Ordinance. Given the lack of a unique circumstance peculiar to the property and the existence of feasible design alternatives that would not require a variance, staff recommends that the Planning Commission approve the proposed use permit revision with modifications to comply with the rear setback and deny the proposed variance, subject to the actions in Attachment A.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Hyperlink: Planning Commission staff report, January 8, 2018 -
<https://www.menlopark.org/DocumentCenter/View/16376/F2---904-Harmon?bidId>
- C. Planning Commission excerpt minutes, January 8, 2018

- D. Location Map
- E. Data Table
- F. Project Plans
- G. Project Description Letter
- H. Variance Letter
- I. Compliance Diagram
- J. Letters from Adjacent Neighbors

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

None

Report prepared by:
Kaitie Meador, Associate Planner

Report reviewed by:
Kyle Perata, Acting Principal Planner

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904 Harmon Drive – Attachment A: Recommended Actions

LOCATION: 904 Harmon Drive	PROJECT NUMBER: PLN2018-00082	APPLICANT: Alpheus Jessup	OWNER: Christina & James Courtney
REQUEST: Request for a use permit revision and variance to rebuild nonconforming walls in the required rear setback in the R-1-U (LM) (Single-Family Urban Residential, Lorelei Manor) zoning district at 904 Harmon Drive. The proposed work would exceed 100 percent of the existing replacement value in a 12-month period.			
DECISION ENTITY: Planning Commission	DATE: September 17, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<p>ACTION:</p> <ol style="list-style-type: none"> 1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current California Environmental Quality Act Guidelines. 2. Make the following findings as per Section 16.82.340 of the Zoning Ordinance pertaining to the denial of the variance for the reconstruction of the nonconforming rear wall and eaves: <ol style="list-style-type: none"> a. The applicant states that a combination of factors create a hardship for the owners, who wish to remodel and expand their home in a functional manner. The subject site, is not a typical, rectangular-shaped lot, but rather a trapezoid shape. The existing residence is also sited in a non-orthogonal manner with regard to the property lines. The combination of the irregular lot shape and the placement of the existing residence, creates a hardship. The applicant states that the project contractor removed the existing nonconforming wall framing without knowledge of the requirements for nonconforming walls or approval by the owner or the project architect. <p>Although the current residence is sited in a non-orthogonal manner with regard to the property lines, staff believes that feasible alternative options exist that would still meet the desired goal of modernizing and expanding the residence. As indicated in the Limiting Factors Floor Plan provided by the applicant and included as Attachment I, the proposed second story addition could be achieved without rebuilding the nonconforming wall at the 16.5 foot setback. The new rear wall could be rebuilt to meet the required 20 foot setback and still accommodate the same floor plan elements without the variance request. The applicant could consider keeping the stairwell at the 16.5 setback, since this was previously approved with the original variance requests. However, the Planning Commission can consider whether the stairwell should meet the rear setback requirement since the stairwell would no longer align with the new rear wall, which was previously the basis for the location of the stairwell. The eaves for the new rear wall would be required to meet the current eave encroachment requirements, but the eaves for the portion of the nonconforming rear wall that was not demolished could extend three feet from the wall per the pervious variance request. Furthermore, while the nonconforming wall was removed accidentally, the approved building permit plans included notes on the architectural and structural plans that stated the nonconforming wall and eave framing could not be demolished.</p> b. The applicant states that the requested variance is necessary to create a conventional floor plan and functional space. The new rear wall would be positioned in the same location as the existing rear wall, which would allow for an efficient use of space, rather than significantly modifying the floor plan and reducing the size of several rooms. Staff believes that rebuilding the new rear wall would constitute a special privilege for the owners, since there is a reasonable alternative that would provide functional floor plans and similar square footages, as described above, for the enjoyment of property rights relative to other properties in the vicinity. The proposed variance is not necessary to remodel the residence, enjoy the same privileges as neighboring properties, or effectively use the floor plan. 			

904 Harmon Drive – Attachment A: Recommended Actions

LOCATION: 904 Harmon Drive	PROJECT NUMBER: PLN2018-00082	APPLICANT: Alpheus Jessup	OWNER: Christina & James Courtney
REQUEST: Request for a use permit revision and variance to rebuild nonconforming walls in the required rear setback in the R-1-U (LM) (Single-Family Urban Residential, Lorelei Manor) zoning district at 904 Harmon Drive. The proposed work would exceed 100 percent of the existing replacement value in a 12-month period.			
DECISION ENTITY: Planning Commission	DATE: September 17, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<p>ACTION:</p> <p>Additionally, permitting the rear wall to be rebuilt in required rear setback with no physical constraint on a standard lot could constitute a special privilege.</p> <p>c. Although rebuilding the rear wall in the required setback would affect the rear setback, staff believes that the location of the encroachment would not be particularly detrimental to the public health, safety, and welfare, or impair an adequate supply of light and air to the adjacent properties.</p> <p>d. The applicant cites the orientation of the existing residence and the existing encroachment into the required rear yard as examples of the uniqueness of this situation. The house is aligned with the rear property line, rather than the side or front property lines, which presents a number of challenges that are not generally applicable to other properties. Staff believes that the particular site layout and existing floor plan, while presenting some constraints to development, is not particularly unique in this area. The location of the existing rear wall in the required setback is not unusual, and the existing encroachment into the required rear yard cannot itself serve as the basis for new encroachments. Staff believes that the justifications for this particular variance request would be broadly applicable to other lots with nonconforming structures in this area and throughout the City. Many existing homes have nonconforming walls and eaves that are required to be retained during construction. If a variance is allowed to rebuild nonconforming walls/eaves many other applicants could request the same variance after exceeding the scope of work that was approved on the building permit and mistakenly removing nonconforming walls/eaves.</p> <p>e. The property is not within any Specific Plan area. Hence, a finding regarding an unusual factor does not apply.</p> <p>3. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.</p> <p>4. Approve the use permit subject to the following standard conditions:</p> <p>a. Development of the project shall be substantially in conformance with the plans prepared by Schneider Design Associates, consisting of 24 plan sheets, dated received September 11, 2018, and approved by the Planning Commission on September 17, 2018, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.</p>			

904 Harmon Drive – Attachment A: Recommended Actions

LOCATION: 904 Harmon Drive	PROJECT NUMBER: PLN2018-00082	APPLICANT: Alpheus Jessup	OWNER: Christina & James Courtney
REQUEST: Request for a use permit revision and variance to rebuild nonconforming walls in the required rear setback in the R-1-U (LM) (Single-Family Urban Residential, Lorelei Manor) zoning district at 904 Harmon Drive. The proposed work would exceed 100 percent of the existing replacement value in a 12-month period.			
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VOTE: TBD (Barnes, Combs, Goodhue, Kennedy, Onken, Riggs, Strehl)			
ACTION:			
<ul style="list-style-type: none"> b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project. c. Prior to building permit issuance; the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes. e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits. g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Henry Ardan and dated March 25, 2017. <p>5. Approve the use permit subject to the following project-specific condition:</p> <ul style="list-style-type: none"> a. Prior to commencement of construction, the applicant shall submit revised plans that show the new rear wall and eave on the left side elevation will comply with the R-1-U (LM) setback requirements, subject to Community Development Director's review and approval. The revised architectural design and materials shall be consistent with the previously approved project. 			



REGULAR MEETING MINUTES - EXCERPTS

Date: 1/8/2018
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Drew Combs called the meeting to order at 7:02 p.m.

B. Roll Call

Present: Andrew Barnes, Drew Combs (Chair), Susan Goodhue, Larry Kahle (Vice Chair), John Onken, Henry Riggs, Katherine Strehl

Staff: Kaitie Meador, Associate Planner; Michele Morris, Assistant Planner; Ori Paz, Assistant Planner; Kyle Perata, Senior Planner; Thomas Rogers, Principal Planner; Tom Smith, Associate Planner

F. Public Hearing

- F2. Use Permit and Variances/Christina and James Courtney/904 Harmon Drive:
Request for use permit to add a second floor, and conduct interior modifications, to a single-family residence that would exceed 100 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal also includes variance requests to allow the second floor stairwell to encroach into the required rear setback and to legalize the existing first floor rear setback of 16.5 feet for the purpose of rebuilding eaves up to three feet from the building wall. The subject parcel is located on a lot in the R-1-U (LM) (Single-Family Urban Residential, Lorelei Manor) zoning district. ([Staff Report #18-003-PC](#))

Commissioner Riggs confirmed with staff that his residence was located with the 500-foot radius requiring his recusal for the project at 904 Harmon Drive. Commissioner Riggs was recused.

Staff Comment: Associate Planner Kaitie Meador said there were no additions to the staff report.

Questions of Staff: Commissioner Kahle said that a variance was not required to extend the walls from eight feet to 10 feet, and some cities would view that as an additional encroachment. Associate Planner Meador said Menlo Park did not as the nonconformity was not being increased as the setback remained the same. She said plate heights could be extended as long as it met daylight plane requirements without a variance.

Applicant Presentation: Alpheus Jessup said he was the project architect, and introduced the property owners Jamie and Christina Courtney.

James Courtney introduced his wife Christina. He said they wanted to increase their habitable

space to accommodate their growing family. He said they loved the neighborhood. He said renovating their existing home was the best solution for their needs.

Commissioner Kahle said it looked like they were keeping an eight-foot wall height on the left side and raising the wall height on the right, and asked why not both sides. Mr. Jessup said there was no real need to raise the wall height on the left side and his clients liked the sense of a vaulted or elevated ceiling in the public spaces. He said the existing house with a low-sloped roof had a vaulted ceiling and was a feature they wanted to retain, noting the property owner was tall.

Commissioner Strehl asked why the fence did not meet City requirements. Mr. Jessup said the fences were existing and their intention was not to change them. He said if the City required the fence heights be reduced that they would comply. Commissioner Strehl asked if the fences had to be replaced at some point if they would be replaced consistent with the City's fence requirements. Mr. Jessup responded affirmatively.

Chair Combs opened the public hearing.

Public Comment:

- Michael McKay, Lorelei Manor, said he was on the board when Lorelei Manor put their overlay in place. He said he was very much in support of the project proposal as it would be a great improvement and fit very nicely within the neighborhood. He said the overlay rules were intended to help property owners in Lorelei Manor make building changes without so many of those projects having to come before the Planning Commission due to lot size. He said this corner lot was not helped by the overlay.

Chair Combs closed the public hearing.

Commission Comment: Commissioner Kahle said he appreciated the difficulty of the lot noting the house was oriented toward adjacent houses. He said he could support the variance for the eaves in the rear but was having a harder time for the variance for the second floor. He said their packet contained options provided by the architect toward this issue and he thought some of those might work eliminating the need for a variance. He said variances should be given as a last resort not for expediency. He said keeping the left side wall at eight feet was problematic. He said comparing the west front elevation to the north left elevation windows would be at different heights, and there was both a flat roof and a sloped roof. He said they should either raise everything up to 10 feet or not. He said the project was basically stucco with fiberglass windows and an accent material was needed. He said the control joints were very prominent in the drawing but he did not think they would read like that when constructed.

Commissioner Onken said he was fine with the proposed house and its idiosyncrasies. He said he appreciated the very low slope roof. He said the project proposal was consistent and in keeping with the aesthetic. He said he had concerns with the back stair options for the variance. He asked if the applicant or architect could explain the decision for a rear stair variance.

Mr. Jessup said there were several nonconformities to work with, a fairly constrained layout of the house, and accommodating the homeowners' program and what they were contending with in terms of their household and growing family. He said clearly they needed a second story. He said

their objective was to limit the amount of impact from the stairway on the living space. He said with the other options explored for the stairway that either the powder room would be dropped, some or all of the master bedroom walk in closet lost, or the mudroom / laundry room would be particularly encumbered.

Commissioner Strehl said the project was supportable and moved to approve.

Commissioner Barnes said he was fine with the project architecturally but was having trouble with the variance requests. He said the idea that the variance for the stairwell was needed to expand a walk-in closet was not supportable for him. Chair Combs said he noted that the only neighbor to the rear was a parking lot for a church which helped him with his concerns with the stairway variance. Commissioner Barnes said he questioned whether granting this variance would be equitable to neighbors as not everyone had a church parking lot behind their property.

Commissioner Onken said the stairwell was within the existing setback of the house, which although nonconforming was still within the footprint of what was there before. He said in terms of additional planning harm he did not see that the stairwell variance would cause any. He said qualitatively he did not see the second story bedrooms were excessive in size or that the project would take advantage in any way. He said this lot and project were a unique situation and he was happy to support the variance requests.

Commissioner Goodhue said the project was a significant improvement over the existing situation and the pop out for the stairwell was within the setback. She said she thought it was important they bring the fence heights into compliance through their construction project than the stairwell variance.

Commissioner Kahle said the eave variance was easy to support as those were already there and being rebuilt. He said raising the wall height should be a variance too as it increased the nonconformity. He said he thought a better design would not require the stairwell variance.

Commissioner Goodhue seconded Commissioner Strehl's motion. Commissioner Strehl asked if Commissioner Goodhue would like the fence addressed. Associate Planner Meador said there was already a condition stating that the fences would have to be updated to be in compliance. Commissioner Strehl confirmed with staff that the fences would be updated as part of the construction.

Chair Combs recognized Mr. Courtney, who said that they spent considerable time with the architect on the stair layout. He said it was not as simple as discretion or vanity for a few feet of closet space as the alternatives they looked at really negatively impacted usable space in the common room upstairs for the children or hindered maintenance of the central hallway configuration.

ACTION: Motion and second (Strehl/Goodhue) to approve the use permit as recommended in the staff report; passes 5-1-1 with Commissioner Kahle voting in opposition and Commissioner Riggs recused.

1. Make a finding that the project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines.

2. Make the following findings as per Section 16.82.340 of the Zoning Ordinance pertaining to the granting of a variance to allow the second floor stairwell to encroach into the required rear setback and to legalize the existing first floor rear setback of 16.5 feet for the purpose of rebuilding eaves up to three feet from the building wall:
 - a. A hardship is presented given the unique orientation of the existing residence on the lot and the non-typical trapezoid-shaped parcel. This hardship is peculiar to the property and was not created by any act of the owner.
 - b. The requested variance for the building encroachments into the required rear yard setback are necessary to allow the property owners to conduct typical modifications that other conforming properties would be able to more easily achieve on a typical rectangular-shaped lot in the R-1-U (LM) zoning district. The requested variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming properties in the vicinity, and does not grant the property a special privilege.
 - c. Although the proposed second floor stairwell and eave encroachments would affect the required rear yard setback, the encroachments would not be detrimental to the public health, safety, and welfare, or impair an adequate supply of light and air to the adjacent properties. The adjacent buildings are located approximately 14.5 feet and 65.5 feet from the proposed project, the encroachments are modest in size, and the remodeled and expanded residence would comply with all other development regulations prescribed by the Zoning Ordinance, such as side floor area limits, building coverage, and building height.
 - d. Because the variance would be based on the unique conditions of a trapezoid-shaped parcel and the placement of the existing residence, the conditions would not be applicable, generally, to other properties within the same zoning classification.
 - e. The property is not within any Specific Plan area. Hence, a finding regarding an unusual factor does not apply.
3. Make findings, as per Section 16.82.030 of the Zoning Ordinance pertaining to the granting of use permits, that the proposed use will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be detrimental to property and improvements in the neighborhood or the general welfare of the City.
4. Approve the use permit and variances subject to the following **standard** conditions:
 - a. Development of the project shall be substantially in conformance with the plans prepared by M Designs Architects, consisting of 22 plan sheets, dated received December 14, 2017, and approved by the Planning Commission on January 8, 2018, except as modified by the conditions contained herein, subject to review and approval by the Planning Division.
 - b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies' regulations that are directly applicable to the project.

- c. Prior to building permit issuance; the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project.
 - d. Prior to building permit issuance, the applicant shall submit a plan for any new utility installations or upgrades for review and approval by the Planning, Engineering and Building Divisions. All utility equipment that is installed outside of a building and that cannot be placed underground shall be properly screened by landscaping. The plan shall show exact locations of all meters, back flow prevention devices, transformers, junction boxes, relay boxes, and other equipment boxes.
 - e. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division.
 - f. Simultaneous with the submittal of a complete building permit application, the applicant shall submit a Grading and Drainage Plan for review and approval of the Engineering Division. The Grading and Drainage Plan shall be approved prior to the issuance of grading, demolition or building permits.
 - g. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Henry Ardan and dated March 25, 2017.
5. Approve the use permit and variances subject to the following **project-specific** condition:
- a. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the fencing on the property will be revised to comply with the current fence height regulations. The plans shall be submitted for review and approval of the Planning Division.

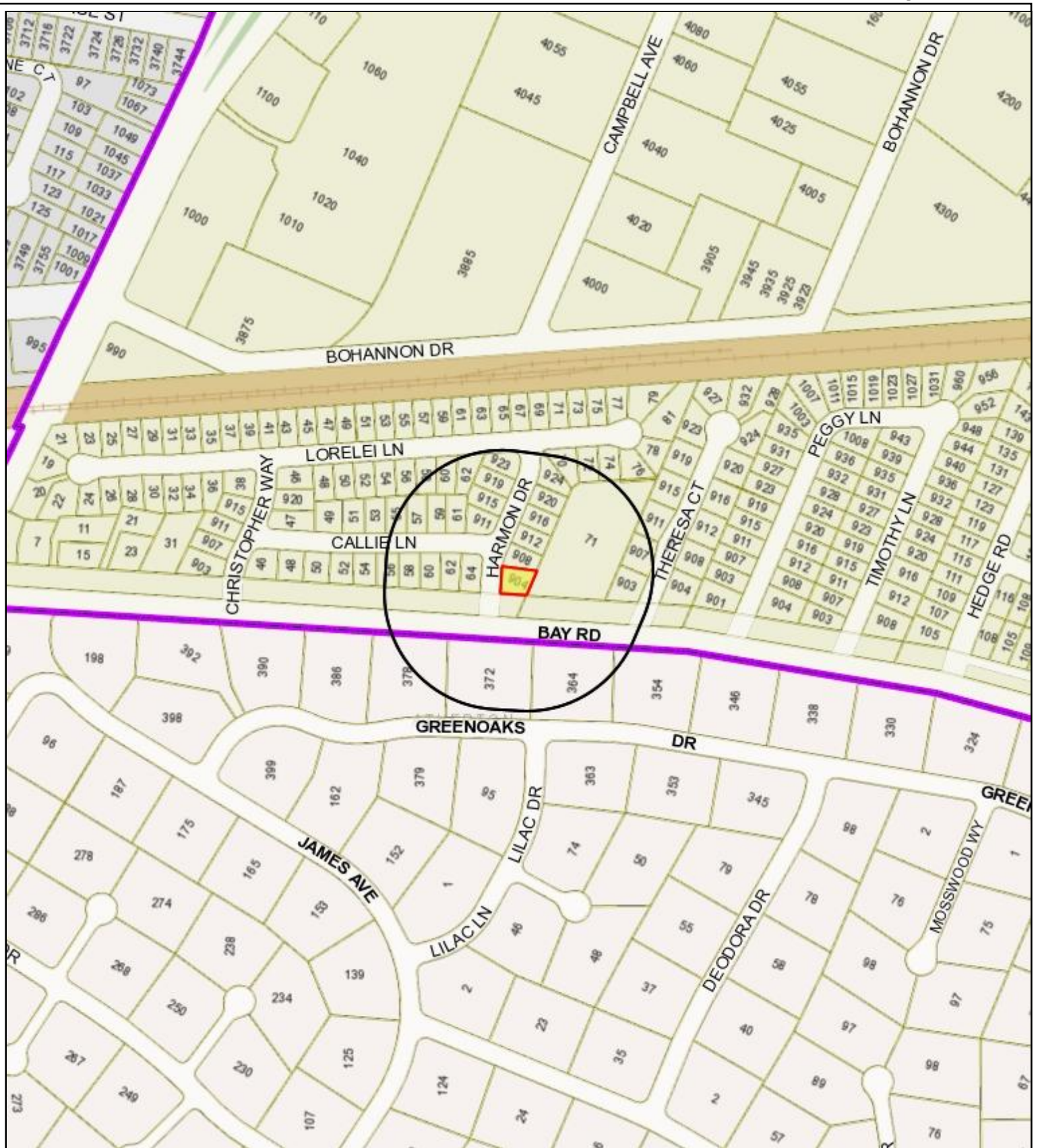
H. Adjournment

Vice Chair Kahle adjourned the meeting at 9:52 p.m.

Staff Liaison: Thomas Rogers, Principal Planner

Recording Secretary: Brenda Bennett

Approved by the Planning Commission on January 22, 2018



City of Menlo Park
 Location Map
 904 Harmon Drive



Scale: 1:4,000

Drawn By: KMM

Checked By: THR

Date: 1/8/2018

Sheet: 1

904 Harmon Drive – Attachment E: Data Table

	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	5,344 sf	5,344 sf	4,900 sf min.
Lot width	66.6 ft.	66.6 ft.	40 ft. min.
Lot depth	79 ft.	79 ft.	75 ft. min.
Setbacks			
Front	19.6 ft.	18.3 ft.	20 ft. min.
Rear	16.5 ft.	16.5 ft.	20 ft. min.
Side (1 st fl. left)	3.7 ft.	3.7 ft.	5 ft. min.
Side (1 st fl. right)	7.3 ft.	7.3 ft.	5 ft. min.
Side (2 nd fl. left)	10 ft.	n/a	10 ft. min.
Side (2 nd fl. right)	14.5 ft.	n/a	10 ft. min.
Building coverage	1,862 sf 34.8 %	2,038 sf 38.1 %*	1,870.4 sf max. 35 % max.
FAL (Floor Area Limit)	2,798 sf	1,895 sf	2,800 sf max.
Square footage by floor	1,443 sf/1 st 936 sf/2 nd 419 sf/garage	1,519 sf/1st 376 sf/garage 143 sf/trellis	
Square footage of buildings	2,798 sf	2,038 sf	
Building height	21.4 ft.	11.8 ft.	28 ft. max.
Parking	1 covered	1 covered	1 covered/1 uncovered
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees			
Heritage trees	2	Non-Heritage trees	3**
Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0
		New Trees	0
		Total Number of Trees	5

*Compliant with the 40-percent building coverage limit for one story residences.

**One of these trees is located on a neighboring property.

DATE	REVISION
12/11/22	1. INITIAL PLAN
12/11/22	2. CITY COMMENTS
12/11/22	3. CITY COMMENTS
12/11/22	4. CITY COMMENTS
12/11/22	5. CITY COMMENTS
12/11/22	6. CITY COMMENTS
12/11/22	7. CITY COMMENTS
12/11/22	8. CITY COMMENTS
12/11/22	9. CITY COMMENTS
12/11/22	10. CITY COMMENTS
12/11/22	11. CITY COMMENTS
12/11/22	12. CITY COMMENTS
12/11/22	13. CITY COMMENTS
12/11/22	14. CITY COMMENTS
12/11/22	15. CITY COMMENTS
12/11/22	16. CITY COMMENTS
12/11/22	17. CITY COMMENTS
12/11/22	18. CITY COMMENTS
12/11/22	19. CITY COMMENTS
12/11/22	20. CITY COMMENTS
12/11/22	21. CITY COMMENTS
12/11/22	22. CITY COMMENTS
12/11/22	23. CITY COMMENTS
12/11/22	24. CITY COMMENTS
12/11/22	25. CITY COMMENTS
12/11/22	26. CITY COMMENTS
12/11/22	27. CITY COMMENTS
12/11/22	28. CITY COMMENTS
12/11/22	29. CITY COMMENTS
12/11/22	30. CITY COMMENTS


PRACTICING ARCHITECTS
 1155 S. GARDEN ST. #100
 4846 EL CAMINO REAL STE
 223, LOS ALTOS, CA 94022
 www.practicingarchitects.com
 Phone: 650.948.6699



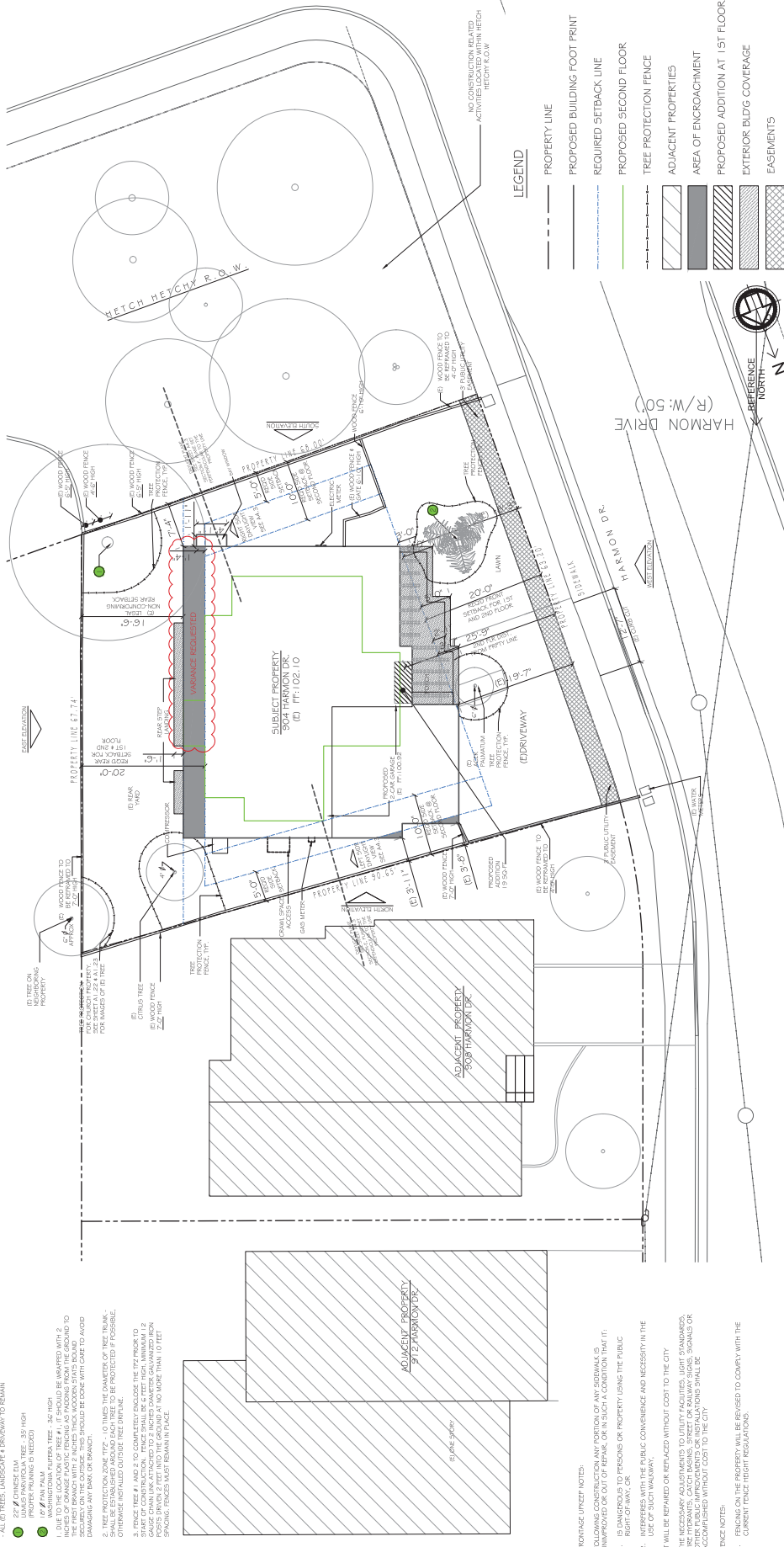
**IMPROVEMENTS TO THE
 COURNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025**

**CONSTRUCTION DOCUMENT
 PROPOSED SITE PLAN,
 STREETScape**

4/22/21 8

A1.21A

LEGEND
 VARIANCE REQUESTED



LEGEND

- PROPERTY LINE
- PROPOSED BUILDING FOOTPRINT
- REQUIRED SETBACK LINE
- PROPOSED SECOND FLOOR
- TREE PROTECTION FENCE
- ADJACENT PROPERTIES
- AREA OF ENCROACHMENT
- PROPOSED ADDITION AT 1ST FLOOR
- EXTERIOR BLDG COVERAGE
- EASEMENTS

NO CONSTRUCTION RELATED ACTIVITIES PERMITTED WITHIN HITCH HITCHER ROW

LEGEND
 0.2' 0.4' 0.8' 1.6' 3.2'
SCALE: 1/8"=1'-0"
 1

PROPOSED SITE PLAN (PREVIOUSLY APPROVED & PERMITTED)

TREE NOTES

- ALL GI TREES, LANDSCAPE & DRIVWAY TO REMAIN
- 22" CHINESE ELM
- 10x10x5 PANICOA TREE - 25' HIGH
- 10" #1 PAN PALM
- 10" #1 PAN PALM
- WASHINGTON TULIPAR TREE - 36" HIGH
- 1. USE THESE TREE NOTES TO DETERMINE THE PROPOSED TREE SETBACK AND SETBACK LINE, AND TO IDENTIFY THE TREE TRUNKS TO BE PROTECTED BY THE TREE PROTECTION FENCE. THE SETBACK SHOULD BE COMPLETED BY THE DATE OF PERMITTING. THE SETBACK LINE SHOULD BE COMPLETED WITH CARE TO AVOID DAMAGING ANY BARK OR BRANCH.
- 2. TREE PROTECTION FENCE SHALL BE INSTALLED OUTSIDE TREE TRUNK - OTHERWISE INSTALLED OUTSIDE TREE TRUNK.
- 3. FENCE TREES #1 AND #2 TO COMPLETELY ENCLOSE THE TREE PRIOR TO CONSTRUCTION OF THE IMPROVEMENTS. THE FENCE SHALL BE INSTALLED IN A GAUGE CHAIN LINK ATTACHED TO 3" RIGID DIAMETER GALVANIZED IRON POSTS DRIVEN 2 FEET INTO THE GROUND AT NO MORE THAN 10 FEET SPACING. TENSILE TIGHT SHALL REMAIN IN PLACE.

FRONTAGE UNPLANNED NOTES

- FOLLOWING CONSTRUCTION ANY PORTION OF ANY SIGNALS IS UNIMPROVED OR OUT OF REPAIR, OR IN SUCH A CONDITION THAT IT IS DANGEROUS TO PERSONS OR PROPERTY USING THE PUBLIC RIGHT-OF-WAY, OR
- INTERFERES WITH THE PUBLIC CONVENIENCE AND NECESSITY IN THE USE OF SAID HIGHWAY, OR
- IT SHALL BE REPAIRED OR REPLACED WITHOUT COST TO THE CITY.
- OTHER PUBLIC IMPROVEMENTS OR INSTALLATIONS SHALL BE ACCOMPLISHED WITHOUT COST TO THE CITY.

FENCE NOTES

- FENCING ON THE PROPERTY WILL BE REWIRED TO COMPLY WITH THE CURRENT FENCE HEIGHT REGULATIONS.

DATE	REVISION
03/22/18	ISSUED FOR PERMIT
03/22/18	REVISED PERMITS
03/22/18	FIELD CHANGE
03/22/18	FIELD CHANGE
03/22/18	FIELD CHANGE REQUEST
03/22/18	FIELD CHANGE REQUEST
03/22/18	FIELD CHANGE REQUEST
03/22/18	FIELD CHANGE REQUEST



PARDON'S ARCHITECTS
 4546 EL CAMINO REAL, STE
 223, LOS ALTOS, CA 94022
 www.pardons.com
 Phone: 650.949.8000
 Fax: 650.949.8000



IMPROVEMENTS TO THE
 COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
 PROPOSED SITE PLAN,
 STREETScape

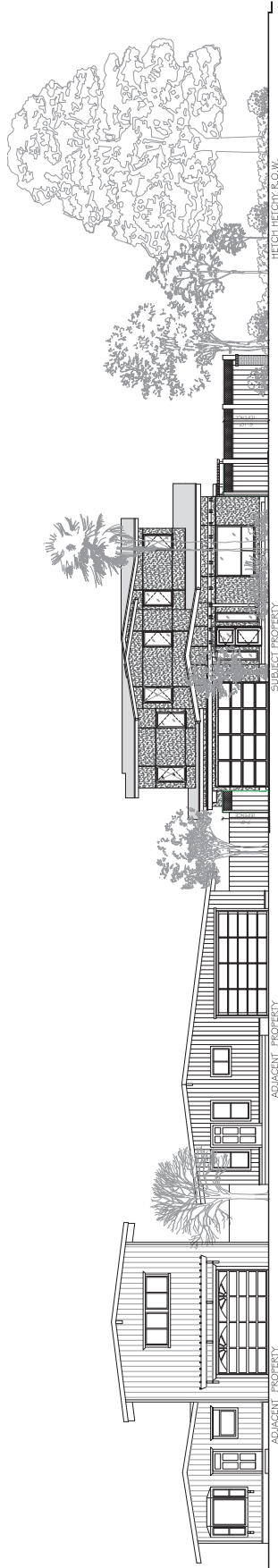
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LEGEND

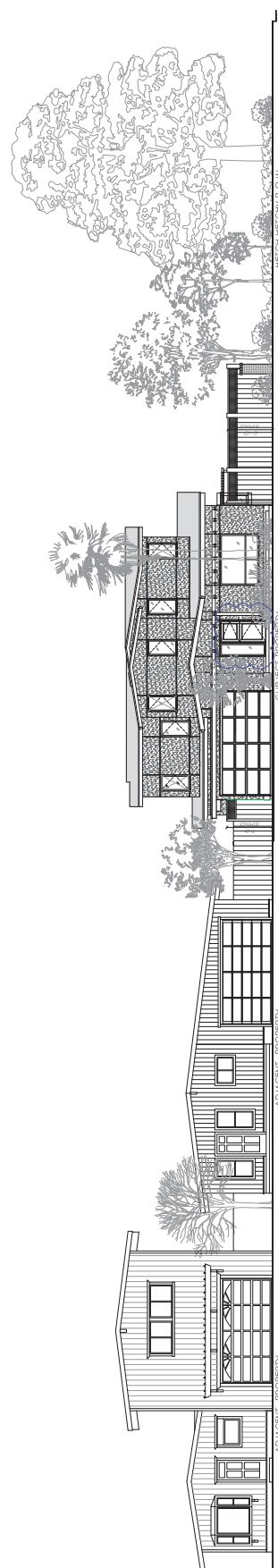


FIELD CHANGE



STREETScAPE

(PREVIOUSLY APPROVED & PERMITTED)



STREETScAPE

(FIELD CHANGE SUBMITTED)

0 2' 4' 8' 16' 32'

SCALE: 1/8"=1'-0"

1

PROPOSED SITE PLAN

DATE	REVISION
03/23/18	ISSUED FOR PERMITS
03/23/18	REVISED PERMITS
03/23/18	REVISED PERMITS
03/23/18	REVISED PERMITS
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PRINCIPALS ARCHITECTS
 4545 DEL CAMINO REAL, STE. 223
 LOS ALTOS, CA 94022
 TEL: 650.948.0000
 WWW.PRINCIPALSARCHITECTS.COM

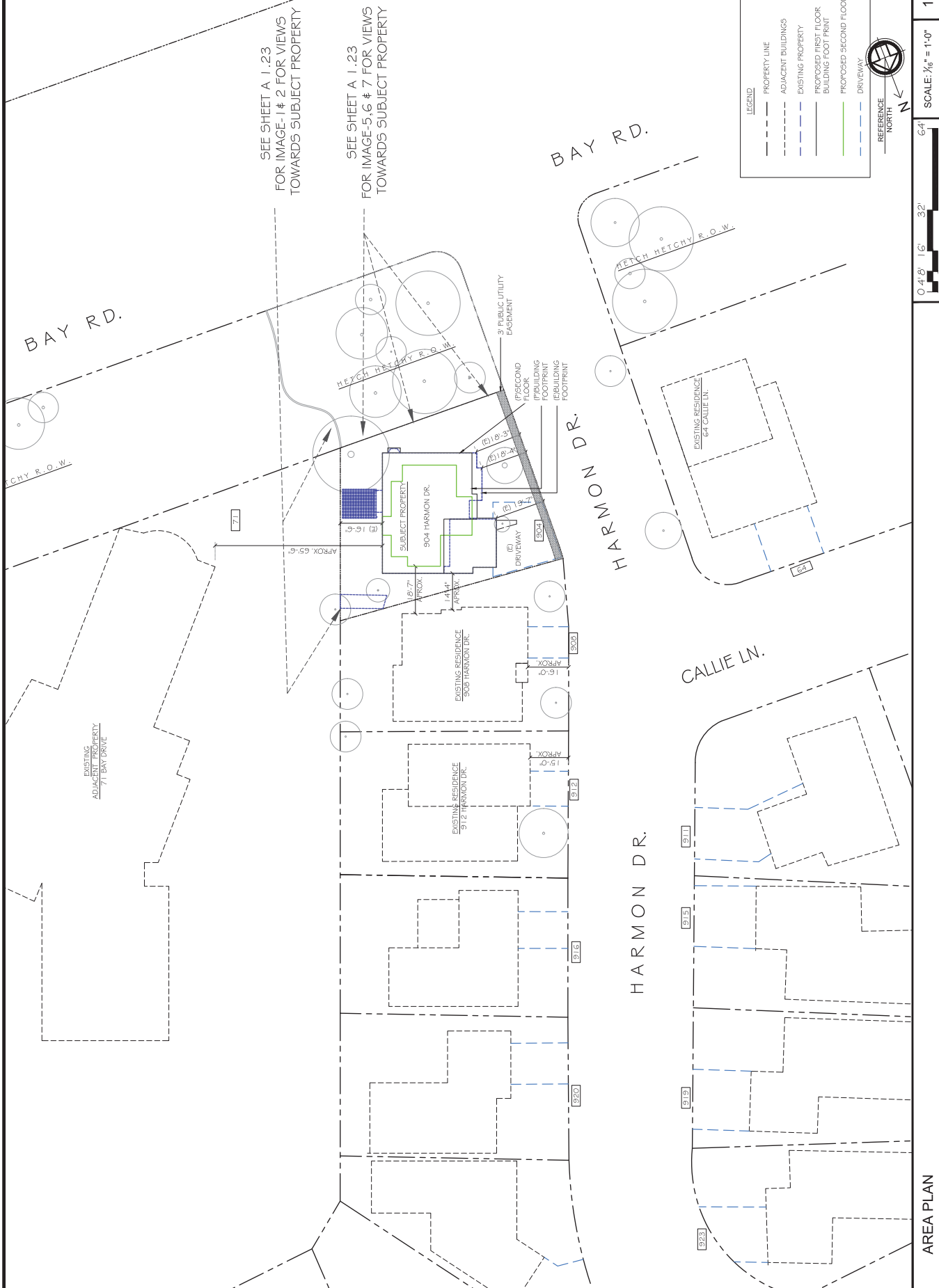


IMPROVEMENTS TO THE
 COURTEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
 AREA PLAN

4/22/2018

A1.22



DATE	REVISION
03-28-2017	ISSUE FOR PERMITTING
03-28-2017	ISSUE FOR PERMITTING
03-28-2017	ISSUE FOR PERMITTING
03-28-2017	ISSUE FOR PERMITTING
03-28-2017	ISSUE FOR PERMITTING
03-28-2017	ISSUE FOR PERMITTING
03-28-2017	ISSUE FOR PERMITTING
03-28-2017	ISSUE FOR PERMITTING
03-28-2017	ISSUE FOR PERMITTING
03-28-2017	ISSUE FOR PERMITTING

PROFESSIONAL PROJECTS
 11111 WILSON AVENUE SUITE 200
 4848 DEL CAMINO REAL, STE 200
 223, LOS ALTOS, CA 94022
 TEL: (415) 948-7300
 WWW.PROFESSIONALPROJECTS.COM

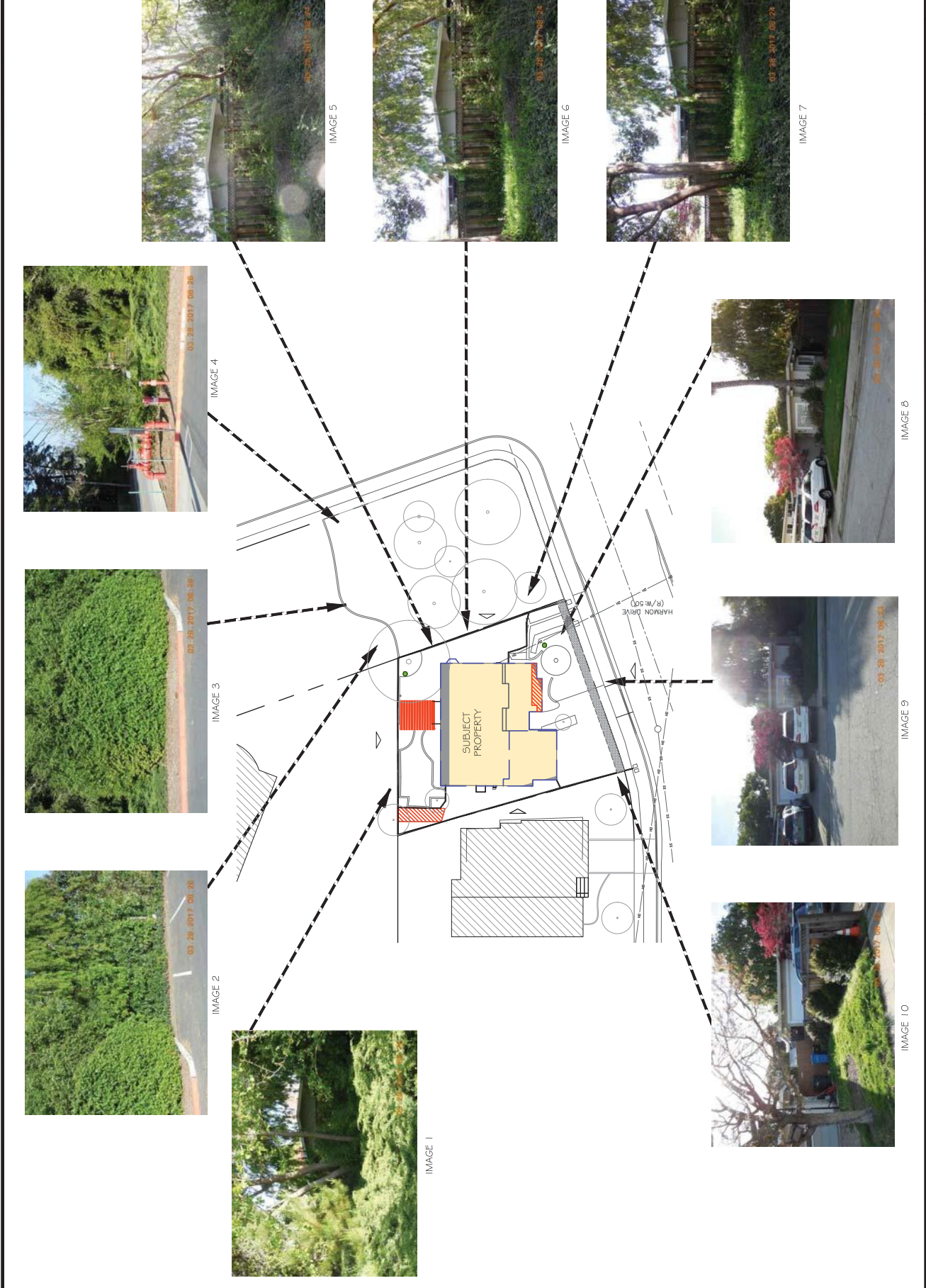


IMPROVEMENTS TO THE
 COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
 PHOTOS OF THE EXISTING
 STRUCTURE

4/2/2018

A1.23



PHOTOS OF THE EXISTING STRUCTURE (PREVIOUSLY APPROVED & PERMITTED)



REVISION	DATE
03-23-18	ISSUING PERMITS
03-23-18	ISSUING PERMITS
03-23-18	ISSUING PERMITS
03-23-18	ISSUING PERMITS
03-23-18	ISSUING PERMITS
03-23-18	ISSUING PERMITS
03-23-18	ISSUING PERMITS



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IMPROVEMENTS TO THE
COURTNEY RESIDENCE
904 HARMON DRIVE
MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
BUILDING AREA CALCULATIONS

4/2/2018

A1.3

BUILDING FAL # COVERAGE CALCULATIONS PROPOSED HOUSE

No.	DIMENSIONS	AREA (SQ. FT.)
A	47'-3" X 24'-1"	1,136
D	9'-5" X 13'-0"	123
E	16'-2" X 11'-0"	178
F	11'-4" X 4'-0"	45
TOTAL HAB. AREA		
1445		

No.	DIMENSIONS	AREA (SQ. FT.)
B	21'-7" X 11'-3"	242
C	19'-3" X 9'-2"	177
TOTAL NON-HAB. AREA		
419		

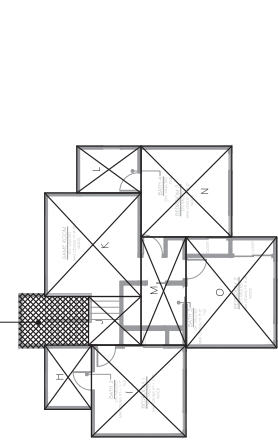
No.	DIMENSIONS	AREA (SQ. FT.)
R	8'-9" X 6'-0"	53
T	12'-6" X 12'-1"	161
J	6'-5" X 3'-11"	24
K	14'-1" X 13'-2"	185
L	6'-5" X 8'-9"	56
M	14'-9" X 6'-2"	90
N	12'-5" X 12'-5"	153
O	15'-1" X 12'-4"	187
TOTAL HAB. AREA		
936		

FLOOR AREA	AREA (SQ. FT.)
(P) FIRST FLOOR	1443
(P) GARAGE	419
TOTAL BUILDING COVERAGE	1862

* BUILDING COVERAGE FOR LOTS 7000 SFO. FT OR LESS SHALL BE 40% BUILDING COVERAGE FOR 2-3 DORIES 35% 1862 SQ. FT. BUILDING COVERAGE / 5344 SQ. FT. LOT AREA = 34.84%

FLOOR AREA	AREA (SQ. FT.)
FIRST FLOOR	1443
GARAGE	419
SECOND FLOOR	936
TOTAL	2798

* FAL ALLOWED = 2800 SQ. FT.



PROPOSED SECOND FLOOR PLAN

BUILDING COVERAGE CALCULATIONS EXISTING HOUSE

AREA	DIMENSIONS	AREA (SQ. FT.)
A	47'-3" X 24'-1"	1,136
B	44'-6" X 2'-3"	107
C	9'-1" X 10'-7"	63
D	12'-9" X 12'-6"	161
E	7'-4" X 7'-6"	56
TOTAL HAB. AREA		
1519		

No.	DIMENSIONS	AREA (SQ. FT.)
F	21'-3" X 9'-2"	195
G	22'-8" X 10'-1"	230
H	2'-0" X 2'-3"	4
TOTAL NON-HAB. AREA		
376		

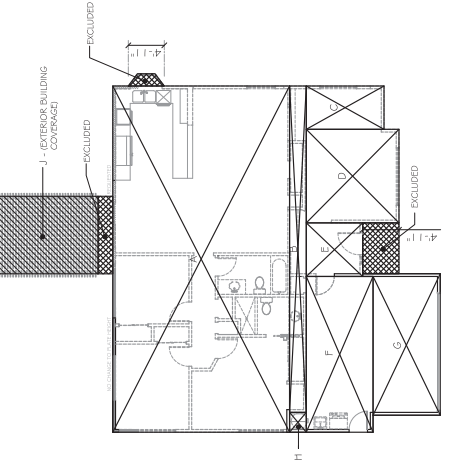
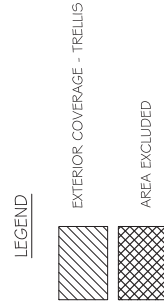
AREA	DIMENSIONS	AREA (SQ. FT.)
J	10'-7" X 13'-7"	143
TOTAL		
143		

FLOOR AREA	AREA (SQ. FT.)
(E) FIRST FLOOR	1519
EXTERIOR BUILDING COVERAGE	376
TOTAL BUILDING COVERAGE	2039

* BUILDING COVERAGE FOR LOTS 7000 SFO. FT OR LESS SHALL BE 40% BUILDING COVERAGE FOR 2-3 DORIES 35% 2039 SQ. FT. BUILDING COVERAGE / 5344 SQ. FT. LOT AREA = 38.1%

FLOOR AREA	AREA (SQ. FT.)
FIRST FLOOR	1519
GARAGE	376
SECOND FLOOR	N/A
TOTAL	1895

* FAL ALLOWED = 2800 SQ. FT.



EXISTING FIRST FLOOR PREVIOUSLY APPROVED & PERMITTED

BUILDING FAL # COVERAGE CALCULATIONS PROPOSED HOUSE

No.	DIMENSIONS	AREA (SQ. FT.)
A	47'-3" X 24'-1"	1,136
D	9'-5" X 13'-0"	123
E	16'-2" X 11'-0"	178
F	11'-4" X 4'-0"	45
TOTAL HAB. AREA		
1445		

No.	DIMENSIONS	AREA (SQ. FT.)
B	21'-7" X 11'-3"	242
C	19'-3" X 9'-2"	177
TOTAL NON-HAB. AREA		
419		

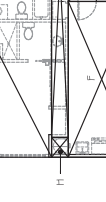
No.	DIMENSIONS	AREA (SQ. FT.)
R	8'-9" X 6'-0"	53
T	12'-6" X 12'-1"	161
J	6'-5" X 3'-11"	24
K	14'-1" X 13'-2"	185
L	6'-5" X 8'-9"	56
M	14'-9" X 6'-2"	90
N	12'-5" X 12'-5"	153
O	15'-1" X 12'-4"	187
TOTAL HAB. AREA		
936		

FLOOR AREA	AREA (SQ. FT.)
(P) FIRST FLOOR	1443
(P) GARAGE	419
TOTAL BUILDING COVERAGE	1862

* BUILDING COVERAGE FOR LOTS 7000 SFO. FT OR LESS SHALL BE 40% BUILDING COVERAGE FOR 2-3 DORIES 35% 1862 SQ. FT. BUILDING COVERAGE / 5344 SQ. FT. LOT AREA = 34.84%

FLOOR AREA	AREA (SQ. FT.)
FIRST FLOOR	1443
GARAGE	419
SECOND FLOOR	936
TOTAL	2798

* FAL ALLOWED = 2800 SQ. FT.



PROPOSED SECOND FLOOR PREVIOUSLY APPROVED & PERMITTED

BUILDING COVERAGE CALCULATIONS EXISTING HOUSE

AREA	DIMENSIONS	AREA (SQ. FT.)
A	47'-3" X 24'-1"	1,136
B	44'-6" X 2'-3"	107
C	9'-1" X 10'-7"	63
D	12'-9" X 12'-6"	161
E	7'-4" X 7'-6"	56
TOTAL HAB. AREA		
1519		

No.	DIMENSIONS	AREA (SQ. FT.)
F	21'-3" X 9'-2"	195
G	22'-8" X 10'-1"	230
H	2'-0" X 2'-3"	4
TOTAL NON-HAB. AREA		
376		

AREA	DIMENSIONS	AREA (SQ. FT.)
J	10'-7" X 13'-7"	143
TOTAL		
143		

FLOOR AREA	AREA (SQ. FT.)
(E) FIRST FLOOR	1519
EXTERIOR BUILDING COVERAGE	376
TOTAL BUILDING COVERAGE	2039

* BUILDING COVERAGE FOR LOTS 7000 SFO. FT OR LESS SHALL BE 40% BUILDING COVERAGE FOR 2-3 DORIES 35% 2039 SQ. FT. BUILDING COVERAGE / 5344 SQ. FT. LOT AREA = 38.1%

FLOOR AREA	AREA (SQ. FT.)
FIRST FLOOR	1519
GARAGE	376
SECOND FLOOR	N/A
TOTAL	1895

* FAL ALLOWED = 2800 SQ. FT.

EXISTING FIRST FLOOR PREVIOUSLY APPROVED & PERMITTED

DATE	REVISION
03-23-2018	CONTRACT SIGNATURE
03-23-2018	PERMITS
03-23-2018	REVISED PERMITS
03-23-2018	REVISIONS
03-23-2018	REVISIONS
03-23-2018	PERMITS
03-23-2018	PERMITS
03-23-2018	PERMITS
03-23-2018	PERMITS
03-23-2018	PERMITS


 IPP DESIGN ARCHITECTS
 4545 DEL CAMINO REAL STE.
 223, LOS ALTOS, CA 94022
 www.ippdesign.com | phone: 650.952.0500
 phone: 650.952.0500
 fax: 650.952.0500

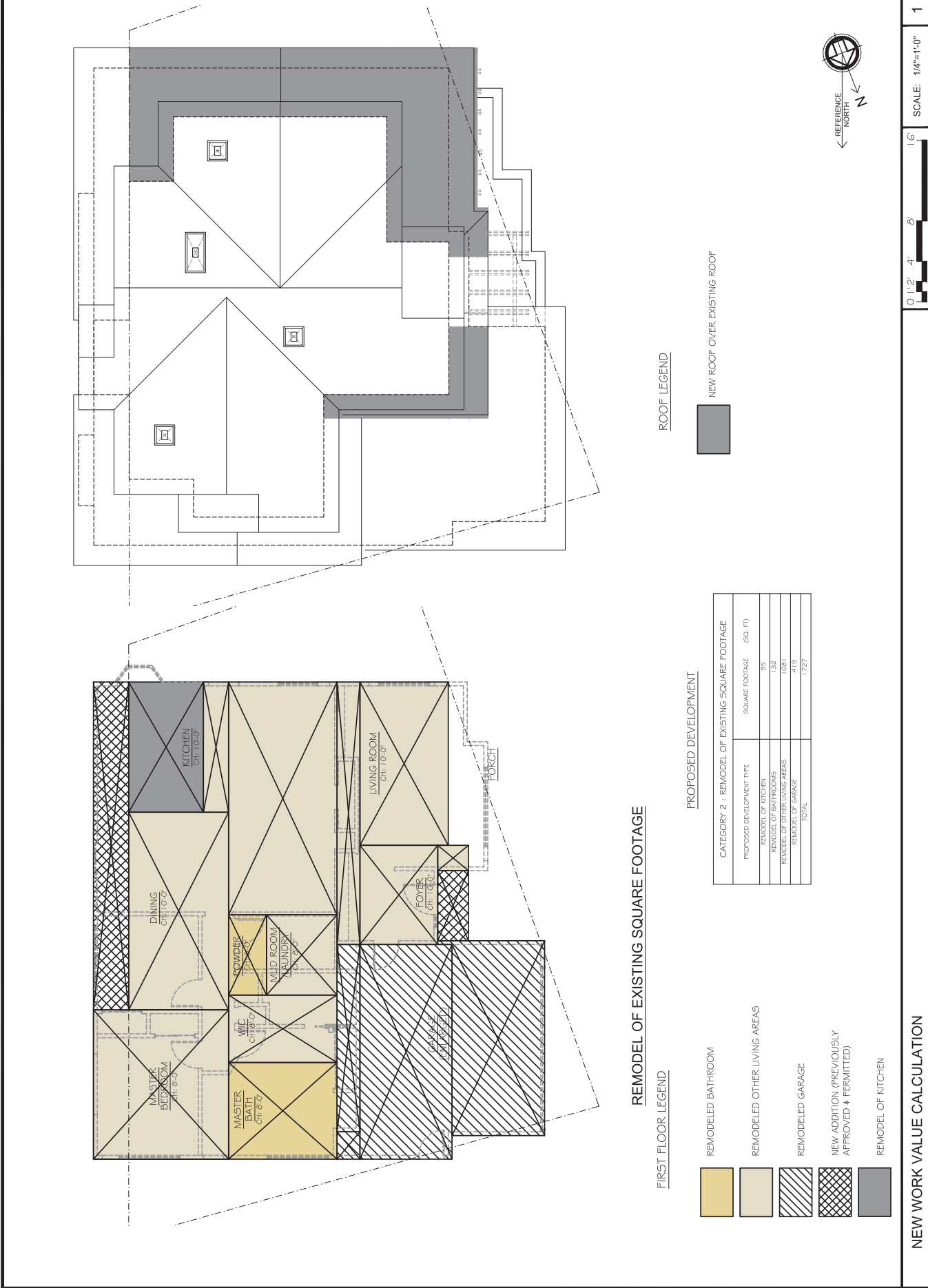


IMPROVEMENTS TO THE
 COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
 NEW WORK VALUE CALCULATION

4/2/2018

A1.4



REMODELLED BATHROOM	REMODELLED OTHER LIVING AREAS	REMODELLED GARAGE	NEW ADDITION (PREVIOUSLY APPROVED & PERMITTED)	REMODEL OF KITCHEN

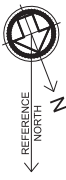
REMODEL OF EXISTING SQUARE FOOTAGE

CATEGORY 2 : REMODEL OF EXISTING SQUARE FOOTAGE	
PROPOSED DEVELOPMENT TYPE	SQUARE FOOTAGE (SQ. FT)
REMODEL OF KITCHEN	95
REMODEL OF BATHROOMS	132
REMODEL OF OTHER LIVING AREAS	1081
REMODEL OF GARAGE	419
TOTAL	1727

PROPOSED DEVELOPMENT

ROOF LEGEND

 NEW ROOF OVER EXISTING ROOF



0 12' 4' 8' 16' SCALE: 1/4"=1'-0"
 1

NEW WORK VALUE CALCULATION

DATE	REVISION
10/23/22	ISSUE FOR PERMIT
10/23/22	REVISED PERMITS
10/23/22	REVISED PERMITS
10/23/22	REVISED PERMITS
10/23/22	REVISED PERMITS
10/23/22	REVISED PERMITS
10/23/22	REVISED PERMITS
10/23/22	REVISED PERMITS
10/23/22	REVISED PERMITS

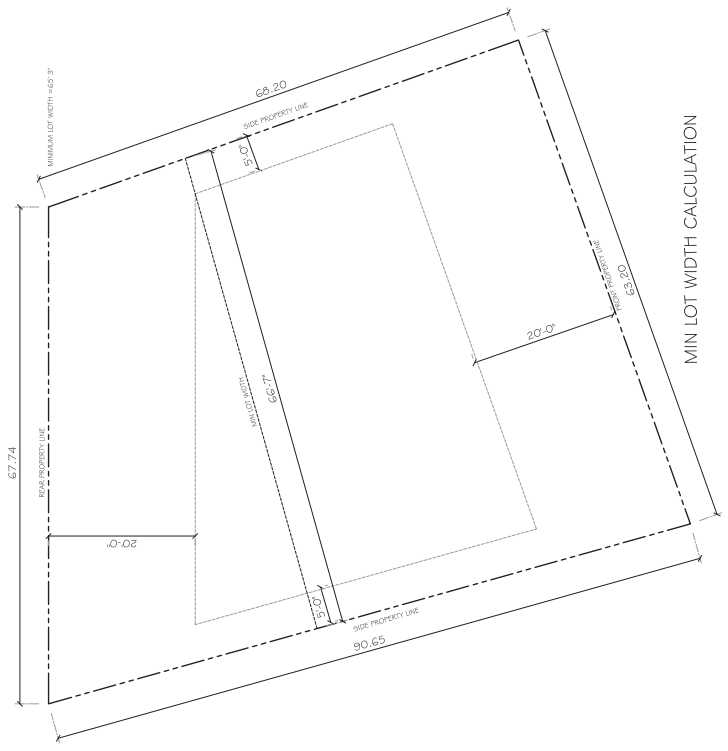
PROFESSIONAL SEAL
 ARCHITECTS ASSOCIATES
 4546 DEL CAMINO REAL, STE
 223, LOS ALTOS, CA 94022
 www.architectsassociates.com
 (415) 947-8800
 (415) 947-8800



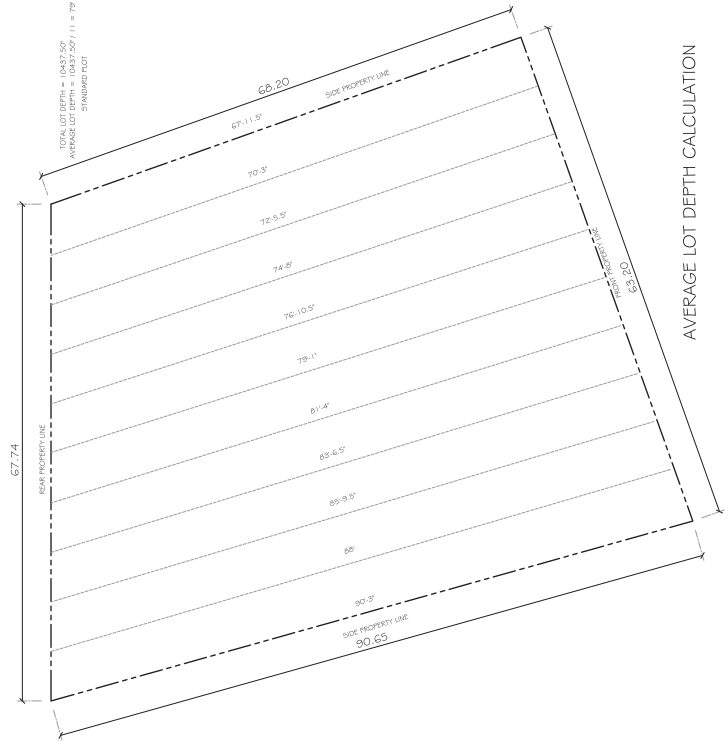
IMPROVEMENTS TO THE
 COURTEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
 SITE AVERAGE WIDTH, DEPTH AND
 NEW WORK VALUE
 CALCULATIONS.

4/12/2018
A1.6



MIN LOT WIDTH CALCULATION



AVERAGE LOT DEPTH CALCULATION

NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION

NONCONFORMING STRUCTURE TYPE	SQUARE FOOTAGE	CONSTRUCTION COST	EXISTING VALUE
EXISTING 1ST FLOOR	151,900 SQ.FT	X \$300,000.00	\$303,000.00
EXISTING 2ND FLOOR	0	X \$200,000.00	\$0.00
EXISTING BASEMENT	0	X \$200,000.00	\$0.00
EXISTING GARAGE	376,000 SQ.FT	X \$70,950.00	\$26,320.00
TOTAL	1,895,000 SQ.FT		\$530,120.00

NONCONFORMING STRUCTURE TYPE	SQUARE FOOTAGE	CONSTRUCTION COST	EXISTING VALUE
CATEGORY 1: NEW SQUARE FOOTAGE (AREAS OF NEW FOUNDATION AND/OR WALL FRAMING)			
1ST FLOOR ADDITION	134,000 SQ.FT	X \$300,000.00	\$26,200.00
2ND FLOOR ADDITION	956,000 SQ.FT	X \$300,000.00	\$1,071,200.00
BASINENT FLOOR ADDITION	0	X \$200,000.00	\$0.00
GARAGE ADDITION	0	X \$70,950.00	\$0.00
CATEGORY 2: REMODEL OF EXISTING SQUARE FOOTAGE (REMODELING) (SEE PARTS RETAINED)			
REMODEL OF KITCHEN	95,000 SQ.FT	X \$13,250.00	\$1,259,500.00
REMODEL OF BATHROOM	132,000 SQ.FT	X \$13,250.00	\$1,716,000.00
REMODEL OF OTHER LIVING AREAS	109,100 SQ.FT	X \$1,000.00	\$1,091,000.00
REMODEL OF GARAGE	419,000 SQ.FT	X \$3,595.00	\$1,484,350.00
CATEGORY 3: EXTERIOR MODIFICATIONS TO EXISTING STRUCTURE (REMODELING) (SEE PARTS RETAINED)			
NEW ROOF STRUCTURE OVER EXISTING SQ.FT	447,000 SQ.FT	X \$58,650.00	\$22,350.00
REPLACEMENT OF EXISTING WINDOWS	0.00 SQ.FT	X \$59,950.00	\$0.00
REPLACEMENT OF EXISTING SIDING	566,000 SQ.FT	X \$33,550.00	\$19,610.00
TOTAL			\$4,084,650.00



LOT AVERAGE DEPTH, WIDTH AND NEW WORK VALUE CALCULATIONS.

DATE	REVISION
10/15/17	ISSUED FOR PERMITS
10/15/17	REVISED PERMITS
10/15/17	REVISED PERMITS
10/15/17	REVISED PERMITS
10/15/17	REVISED PERMITS
10/15/17	REVISED PERMITS
10/15/17	REVISED PERMITS
10/15/17	REVISED PERMITS



3175 LOS ANGELES BLVD
 4TH FLOOR
 4545 DEL CAMINO REAL, STE
 223, LOS ALTOS, CA 94022
 TEL: 650.949.8888
 FAX: 650.949.8889
 WWW.IMPERVIOUSARCHITECTS.COM

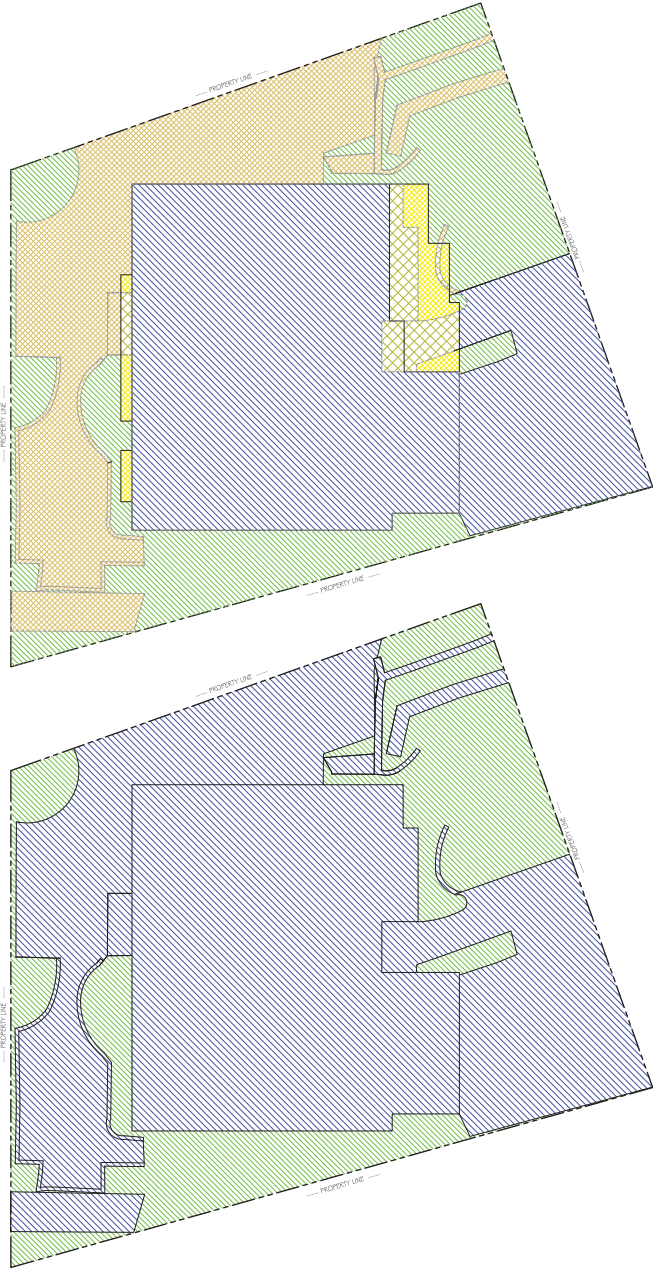


IMPROVEMENTS TO THE
 COURTEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
 IMPERVIOUS AREA CALCULATIONS

4/2/2018

A1.7



EXISTING

AREA LEGEND

B	PERVIOUS
C	IMPERVIOUS

PROPOSED

AREA LEGEND

B-H	PERVIOUS
C-H	IMPERVIOUS
E	(E) IMPERVIOUS REPLACED BY (N) IMPERVIOUS
F	(F) PERVIOUS REPLACED BY (N) IMPERVIOUS
H	(H) IMPERVIOUS REPLACED BY (N) PERVIOUS

IMPERVIOUS AREA WORKSHEET

Submit this form with the improvement plan set to the City of Menlo Park Engineering Division.

Page 1

Date: 06-15-17
 APR 06-15-17
 Property Address: 904 Harmon Drive, Menlo Park, CA 94025
 Project Description: Remodel & Addition
 -2nd story addition and first floor remodel.
 Contact Name: Alphaus W. Jessup, II
 Contact Telephone Number: 650.283.5902
 Contact Email: awj@mdesgnarchitects.com
 Title And Street of Submitted Drawing Used For Calculations: Impervious area calc. Sheet A 1.7
 Land Use Category (Residential): Commercial Industrial Professional Rocky
 Designation (From City Ord):
 Attention: City Clerk San Francisco Creek
 (See the MyPublic Report Requirements for a Damage Basin map)
 I certify that the calculations below accurately reflect the proposed changes and final impervious surfaces for the above project.
 Calculations Performed By: (Print) Alphaus W. Jessup, II.
 Title: Architect
 Calculations Performed By (Signature):
 Date: 06-15-17

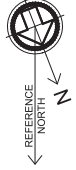
IMPERVIOUS AREA WORKSHEET

Page 2

IMPERVIOUS AREA TABLE

Total Area of Parcel	A	5344	SF
Existing Pervious Area	B	1973	SF
Existing Impervious Area	C	3371	SF
Existing % Impervious	C	63.106	%
Existing Impervious Area To Be Replaced W/ New Impervious	D	74.33	SF
Existing Pervious Area To Be Replaced W/ New Impervious	E	142	SF
Area To Be Replaced W/ New Impervious (Subtotal)	F	108	SF
Area To Be Replaced W/ New Pervious (Subtotal)	G	247	SF
Existing Impervious to Be Replaced W/ New Pervious	H	108	SF
Net Change In Impervious Area	F-H	1,034	SF
Proposed Pervious Area	B-I	2,277	SF
Proposed Impervious Area	C-I	2,097	SF
Proposed % Impervious	E	63.106	%
L	13,177	SF	

*Net change in impervious area is the area required by ordinance to be detained/retained on-site



0 12' 4' 8' 16'
 SCALE: 1/8"=1'-0"
 1

IMPERVIOUS AREA CALCULATIONS (PREVIOUSLY APPROVED & PERMITTED)

DATE	REVISION
11/11/2010	ISSUED FOR PERMITS
11/11/2010	REVISED PER COMMENTS
11/11/2010	FIELD CHANGE
11/11/2010	FIELD CHANGE
11/11/2010	NO CHANGE TO PLATE HEIGHT
11/11/2010	VARIANCE REQUEST
11/11/2010	VARIANCE REQUEST



IMPROVEMENTS TO THE
COURTNEY RESIDENCE
904 HARMON DRIVE
MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
& EXISTING / DEMO FLOOR PLAN

4/2/2010

A2.1A

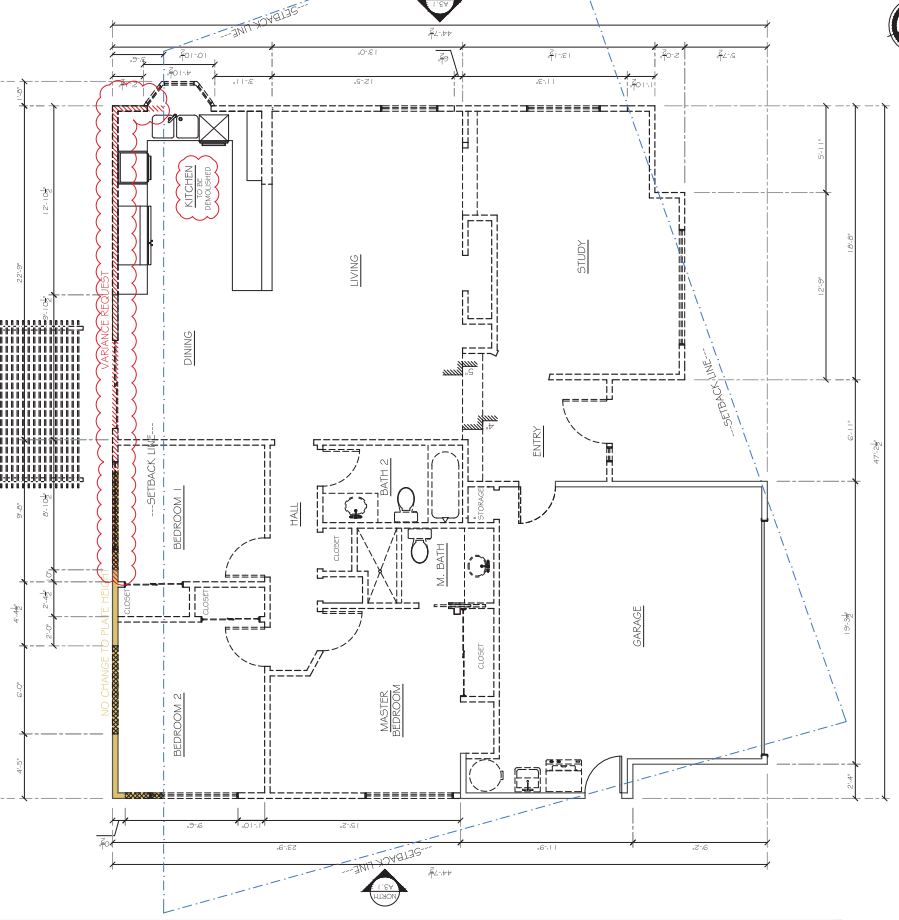
LEGEND

	(E) WALLS TO REMAIN
	DEMOLITION
	(E) FRAMING TO REMAIN
	VARIANCE REQUESTED
	NO CHANGE TO PLATE HEIGHT
	EXTENDED FRAMING
	SETBACK LINE

VARIANCE REQUESTED

- SC SLOPED CEILING
- AC AIR HANDLING UNIT
- FC CEILING FLOORING
- HB HOSEBBG
- GM GAS METER
- EM ELECTRICAL METER
- RE REMOVAL OF REMAIN
- (D) DEMOLITION
- (RE) REMOVE & RE-USE

NOTE: EXISTING NONCONFORMING WALLS AND EAVES CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS. IF THESE WALLS AND/OR EAVES ARE DEMOLISHED AS PART OF THE PROJECT, THEY CANNOT BE REBUILT IN KIND OR REBUILT TO MEET THE CURRENT ZONING ORDINANCE REQUIREMENTS. SETBACK REQUIREMENTS.



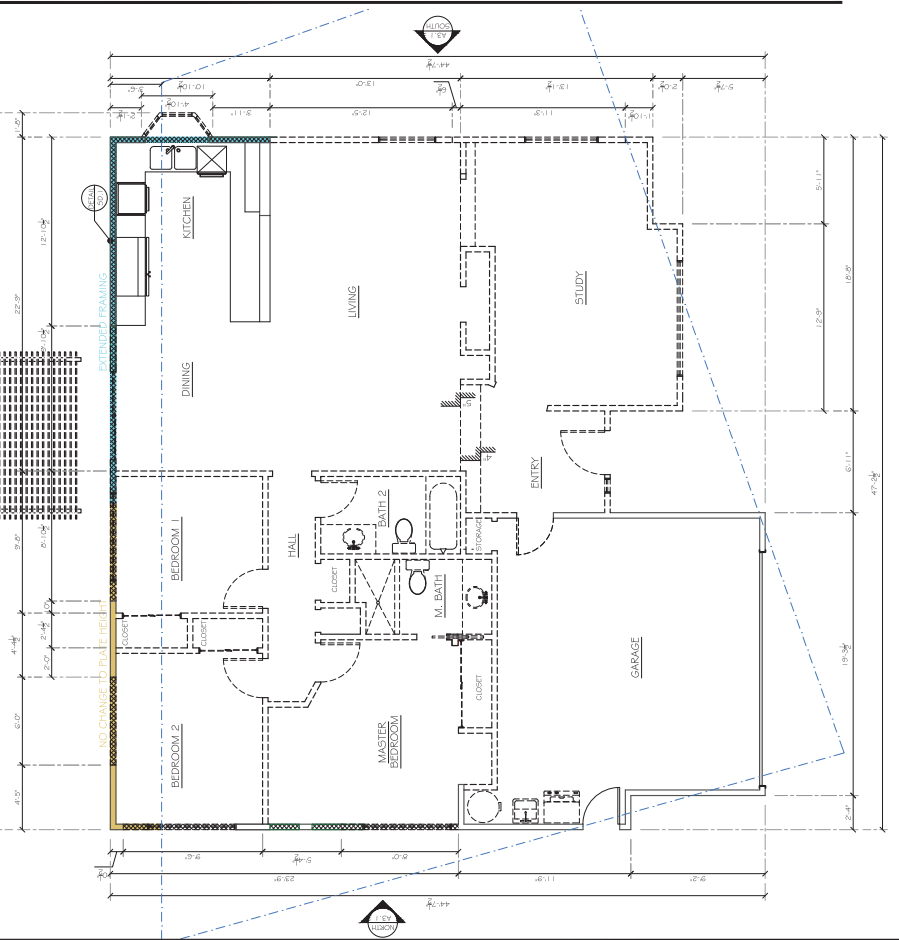
LEGEND

	(E) WALLS TO REMAIN
	DEMOLITION
	(E) FRAMING TO REMAIN
	VARIANCE REQUESTED
	NO CHANGE TO PLATE HEIGHT
	EXTENDED FRAMING
	SETBACK LINE

VARIANCE REQUESTED

- SC SLOPED CEILING
- AC AIR HANDLING UNIT
- FC CEILING FLOORING
- HB HOSEBBG
- GM GAS METER
- EM ELECTRICAL METER
- RE REMOVAL OF REMAIN
- (D) DEMOLITION
- (RE) REMOVE & RE-USE

NOTE: EXISTING NONCONFORMING WALLS AND EAVES CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS. IF THESE WALLS AND/OR EAVES ARE DEMOLISHED AS PART OF THE PROJECT, THEY CANNOT BE REBUILT IN KIND OR REBUILT TO MEET THE CURRENT ZONING ORDINANCE REQUIREMENTS. SETBACK REQUIREMENTS.



DATE	REVISION
11/23/2016	ISSUE FOR PERMITTING
11/23/2016	DESIGN CHANGE
11/23/2016	FIELD CHANGE
11/23/2016	PERMITTING
11/23/2016	PERMITTING
11/23/2016	PERMITTING
11/23/2016	PERMITTING



IMPROVEMENTS TO THE
 COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

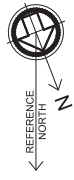
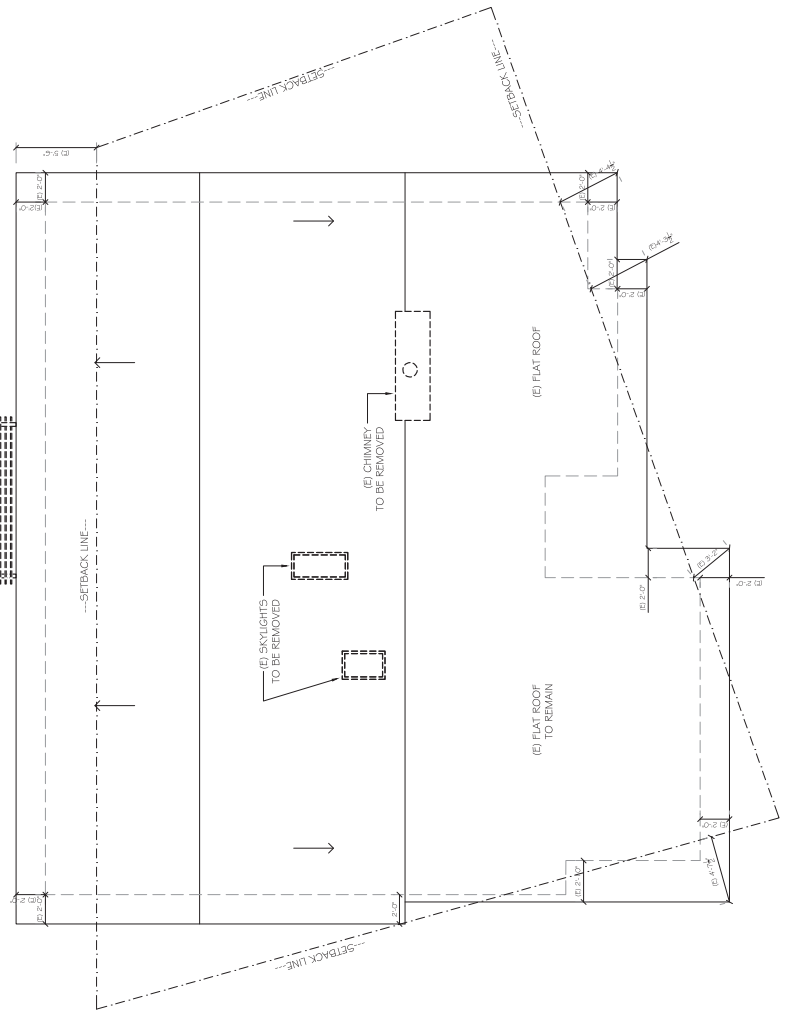
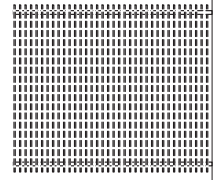
CONSTRUCTION DOCUMENT
 & EXISTING FLOOR PLAN
 & EXISTING ROOF PLAN

4/2/2018

A2.1B

LEGEND
 --- BUILDING FOOTPRINT
 --- SETBACK LINE
 SC SLOPED CEILING
 VC VAULTED CEILING
 CH CEILING HEIGHT
 AP AIR PUMP
 GM GAS METER
 EM ELECTRICAL METER
 (R) EXISTING TO REMAIN
 (D) REMOVE PERMITTED
 (RE) REMOVE & REUSE

NOTE: EXISTING NONCONFORMING WALLS AND EAVES
 CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS,
 IF THESE WALLS AND/OR EAVES ARE DEMOLISHED AS
 PART OF THE PROJECT, THEY CANNOT BE REBUILT IN
 KIND OR TYPE. ALL NONCONFORMING WALLS WILL
 BE REQUIRED TO MEET THE CURRENT ZONING ORDINANCE
 SETBACK REQUIREMENTS.



0 1'2" 4' 8' 16'
 SCALE: 1/4"=1'-0"

EXISTING ROOF PLAN (PREVIOUSLY APPROVED & PERMITTED)

DATE	REVISION
08-21-18	ISSUED FOR PERMITS
08-21-18	ISSUED FOR PERMITS
08-21-18	ISSUED FOR PERMITS
08-21-18	ISSUED FOR PERMITS
08-21-18	ISSUED FOR PERMITS
08-21-18	ISSUED FOR PERMITS
08-21-18	ISSUED FOR PERMITS
08-21-18	ISSUED FOR PERMITS
08-21-18	ISSUED FOR PERMITS
08-21-18	ISSUED FOR PERMITS

TP PERSONAL SERVICES
 11500 S. FERRIS BLVD., SUITE 200
 CHULA VISTA, CA 92015
 TEL: 619-591-8200
 WWW.TPPERSONALSERVICES.COM



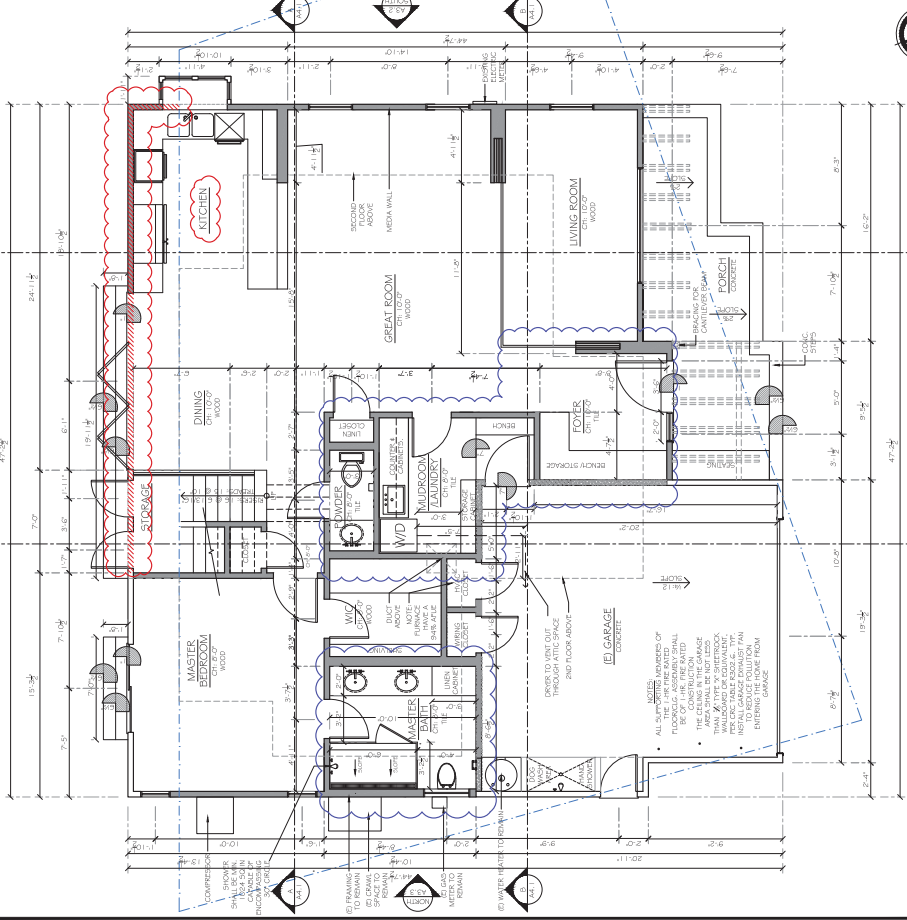
IMPROVEMENTS TO THE
 COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
 PROPOSED
 FIRST FLOOR PLAN

4/2/2018

A2.2

LEGEND	
CH	CEILING HEIGHT
WM	WALL MATERIAL
EM	ELECTRICAL METER
FM	FLOOR MATERIAL
PM	PROPPOSED
RM	REMOVED
SM	SETBACK LINE
TM	TRIM
UM	UNIT
VM	VOLUME
WM	WALL MATERIAL
EM	ELECTRICAL METER
FM	FLOOR MATERIAL
PM	PROPPOSED
RM	REMOVED
SM	SETBACK LINE
TM	TRIM
UM	UNIT
VM	VOLUME



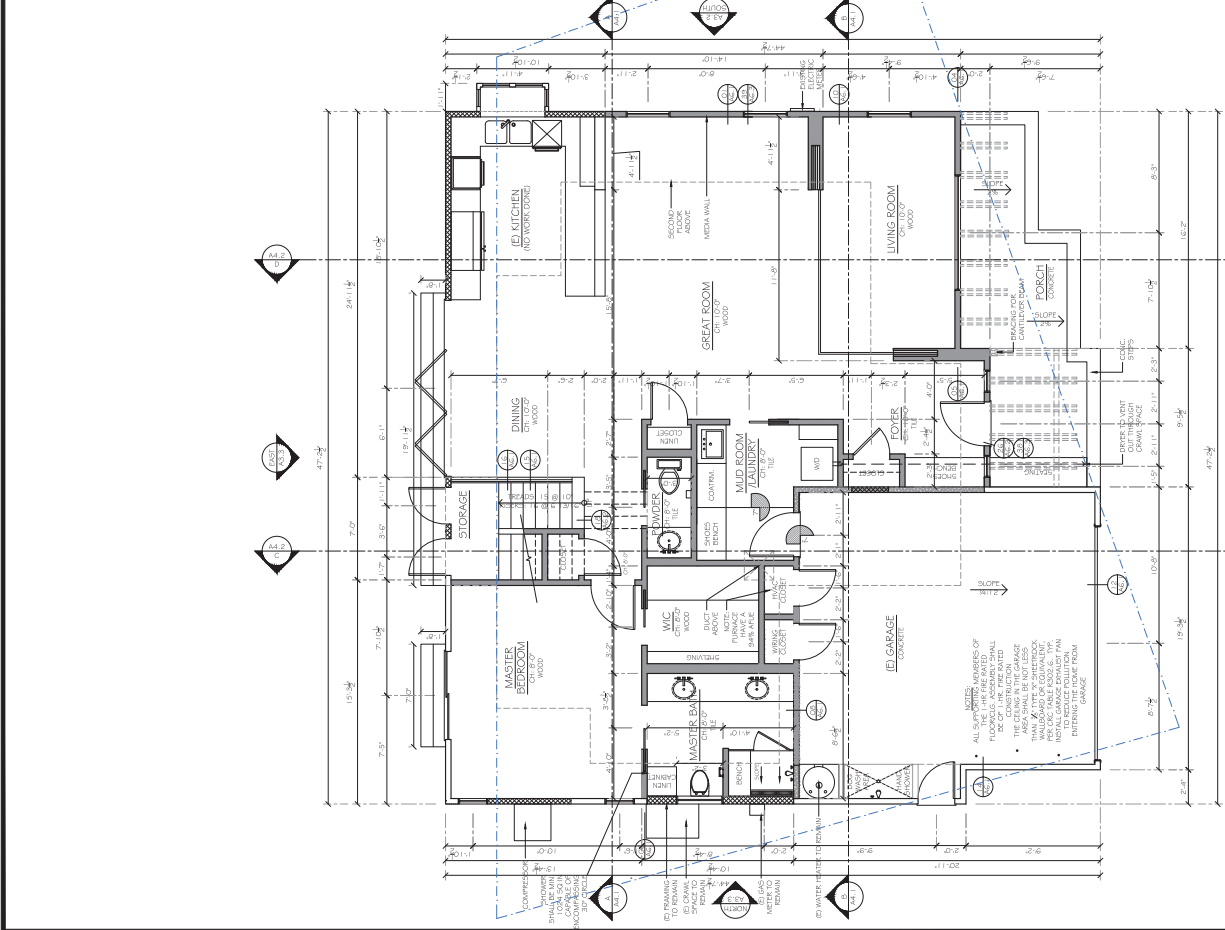
REFERENCE NORTH

0 1' 2' 4' 8' 16'

SCALE: 1/4"=1'-0"

1

(VARIANCE REQUEST
 NO CHANGE TO PREVIOUSLY
 APPROVED FOOT PRINT)



(PREVIOUSLY APPROVED &
 PERMITTED)

PROPOSED FIRST FLOOR PLAN - 1862 SQ.FT

DATE	REVISION
11/15/2016	ISSUED FOR PERMITS
11/15/2016	REVISED
11/15/2016	FIELD CHANGE
11/15/2016	FIELD CHANGE
11/15/2016	FIELD CHANGE
11/15/2016	VARIANCE REQUEST
08/24/16	VARIANCE REQUEST
08/24/16	VARIANCE REQUEST



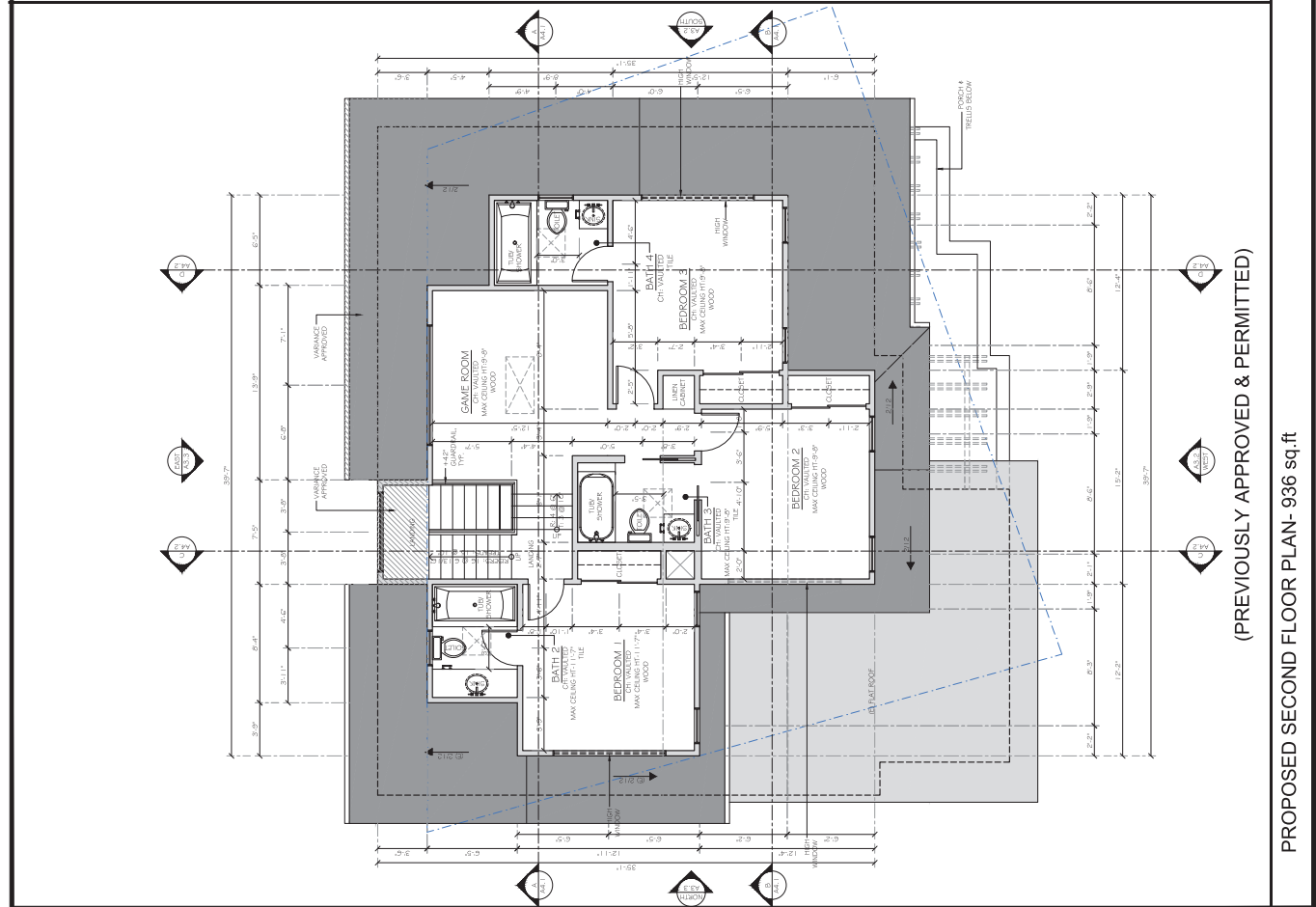
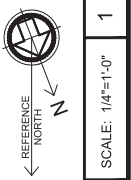
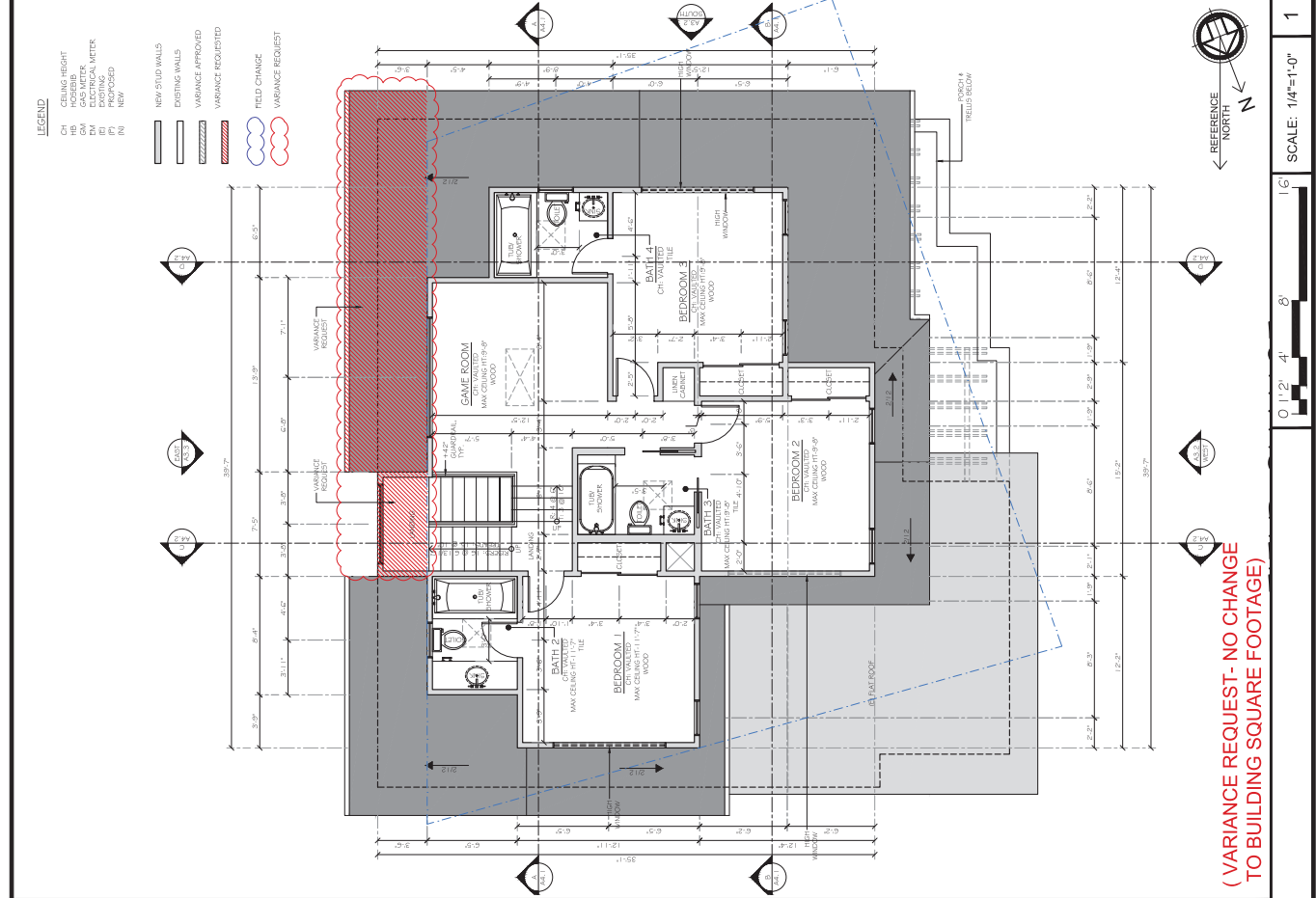
NATALIA S. BACANTERS
 ARCHITECT
 4734 EL CAMINO REAL, STE
 223, LOS ALTOS, CA 94022
 TEL: 650-947-9000
 FAX: 650-947-9002
 WWW.NATLIALSDESIGN.COM

IMPROVEMENTS TO THE
 COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
 PROPOSED
 SECOND FLOOR PLAN

4/2/2016

A2.3



PROPOSED SECOND FLOOR PLAN - 936 sq.ft.

DATE	REVISION
	ISSUED FOR PERMITTING
	ISSUED FOR PERMITTING
	ISSUED FOR PERMITTING
	ISSUED FOR PERMITTING
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	ISSUED FOR PERMITTING
	ISSUED FOR PERMITTING
	ISSUED FOR PERMITTING



M.P. DESIGN ARCHITECTS
4242 EL CAMINO REAL, STE 223, LOS ALTOS, CA 94022
TEL: (650) 949-8100
WWW.MPDESIGNARCHITECTS.COM
PROJ: 20-035-0002



IMPROVEMENTS TO THE
COURTNEY RESIDENCE
904 HARMON DRIVE
MENLO PARK, CA 94025

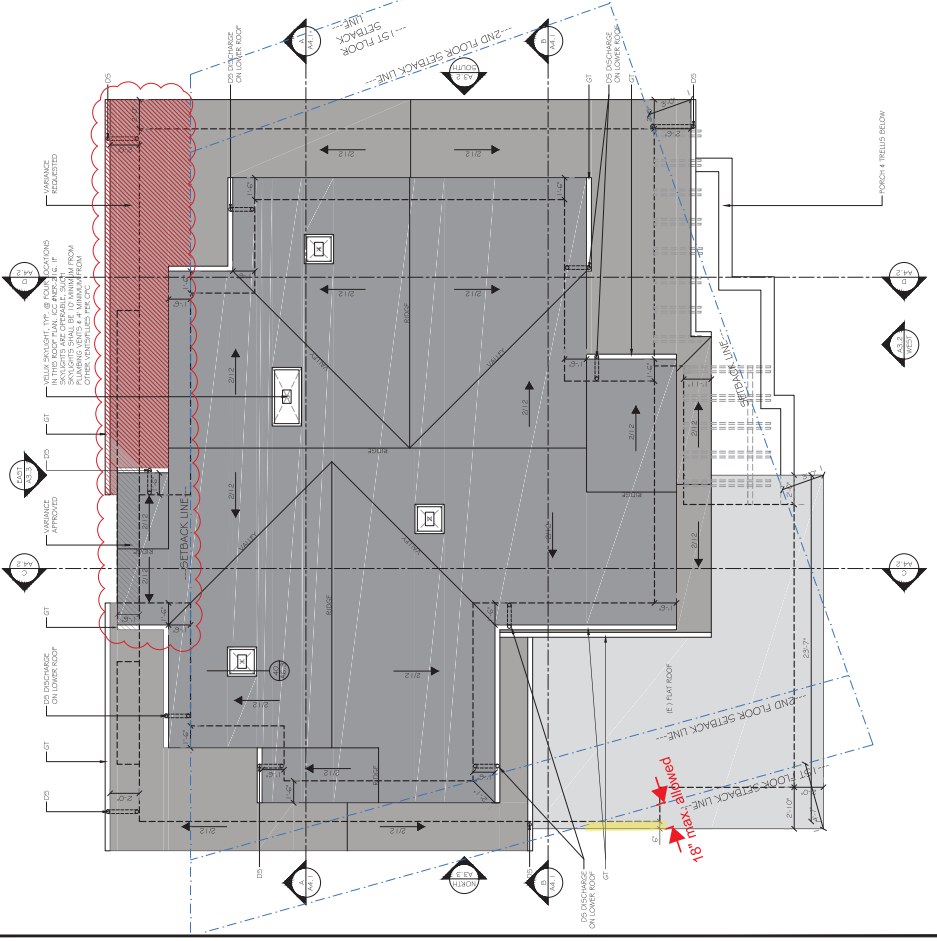
CONSTRUCTION DOCUMENT
PROPOSED ROOF PLAN

4/2/2018

A2.4

LEGEND

[Hatched box]	ROOF FOOTPRINT
[Symbol]	UPPER ROOFS
[Symbol]	INTERMEDIATE ROOFS
[Symbol]	LOWER ROOFS
[Symbol]	VARIANCE APPROVED
[Symbol]	VARIANCE REQUESTED
[Symbol]	BUILDING FOOTPRINT
[Symbol]	SETBACK LINE
[Symbol]	VARIANCE REQUESTED

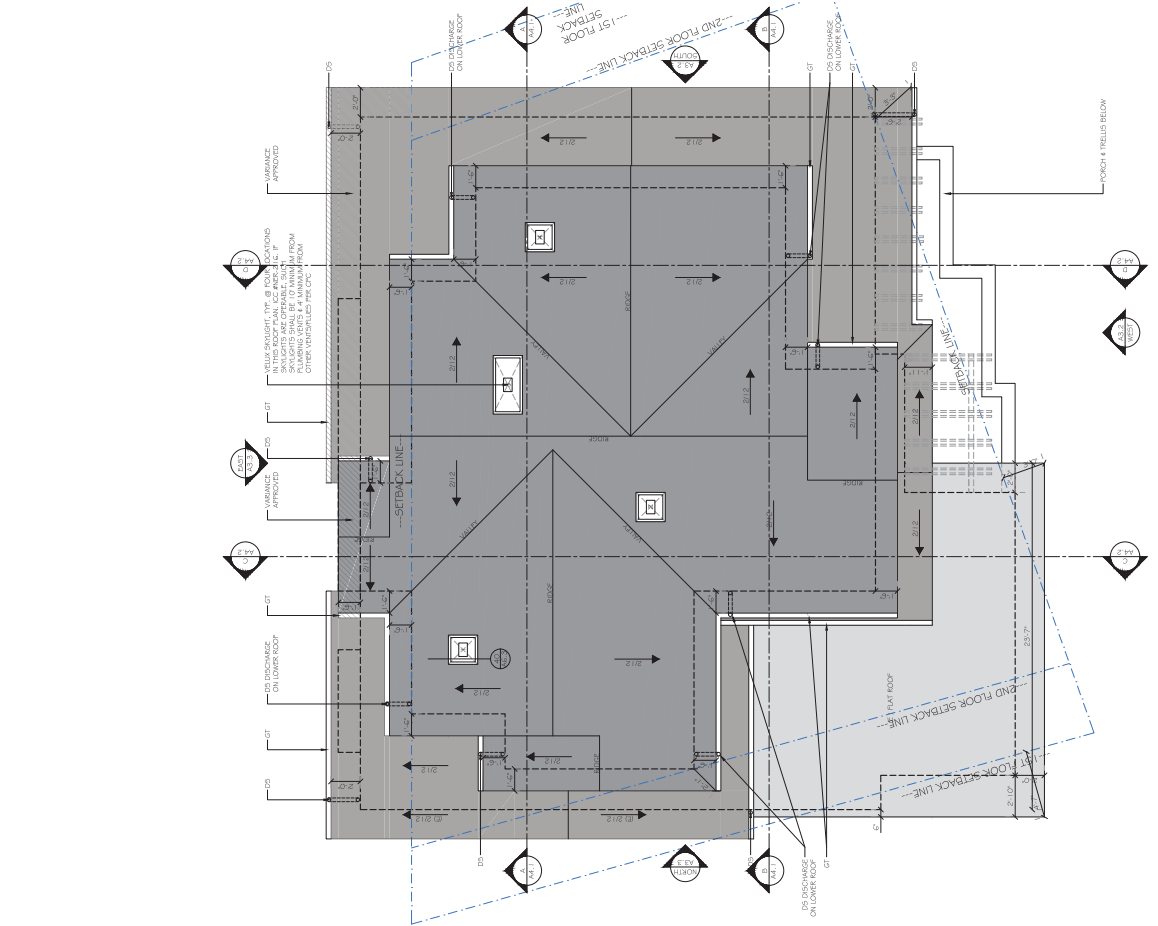


EXISTING / DEMO FLOOR PLAN (VARIANCE REQUEST)

SCALE: 1/4"=1'-0"



1



EXISTING / DEMO FLOOR PLAN (PREVIOUSLY APPROVED & PERMITTED)

PROPOSED ROOF PLAN

DATE	REVISION
11/11/14	ISSUED FOR PERMITS
11/11/14	REVISION
11/11/14	FIELD CHANGE
11/11/14	FIELD CHANGE
11/11/14	FIELD CHANGE
11/11/14	VARIANCE REQUEST
11/11/14	VARIANCE REQUEST
11/11/14	VARIANCE REQUEST

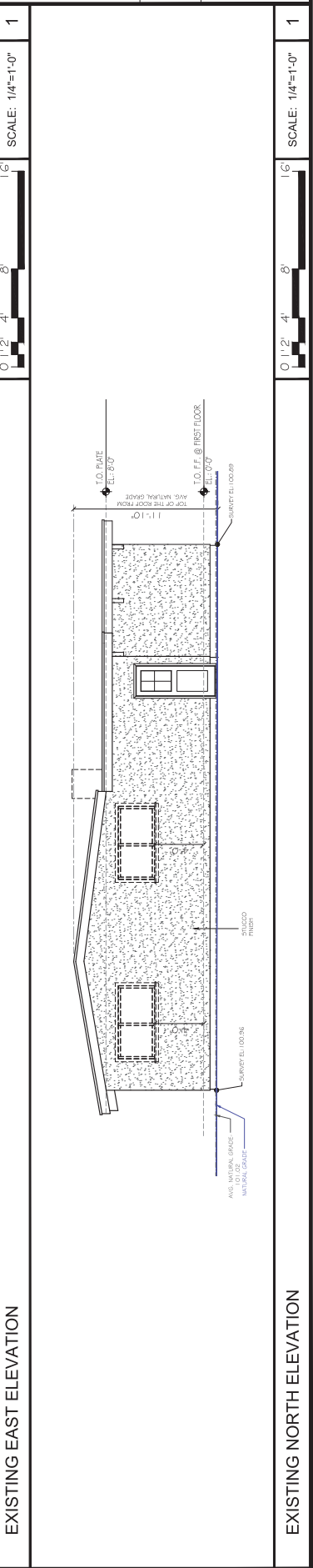
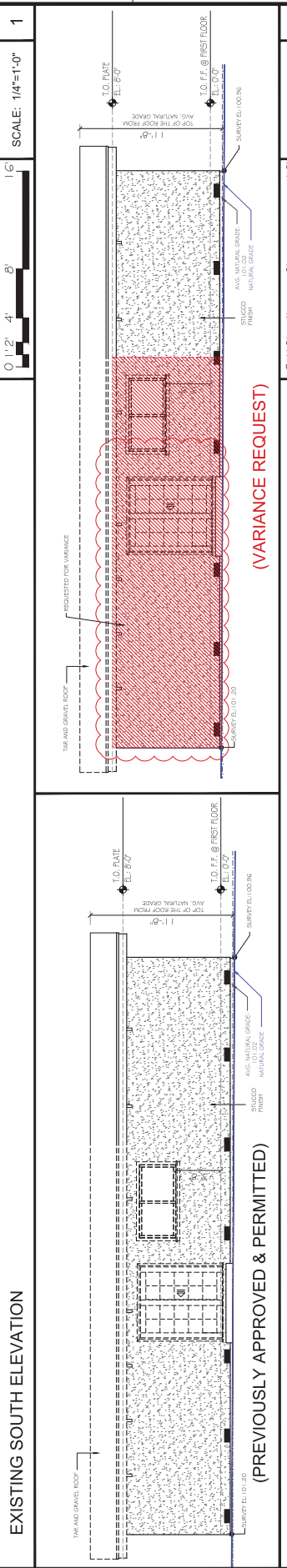
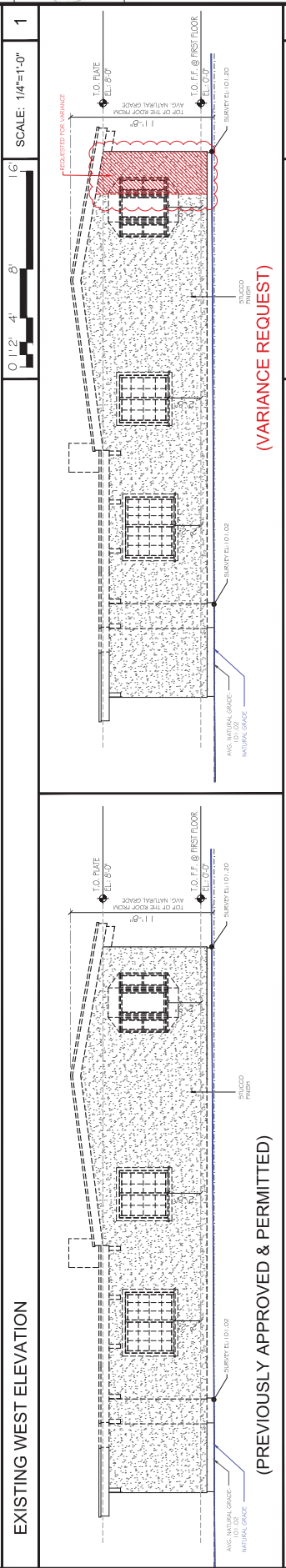
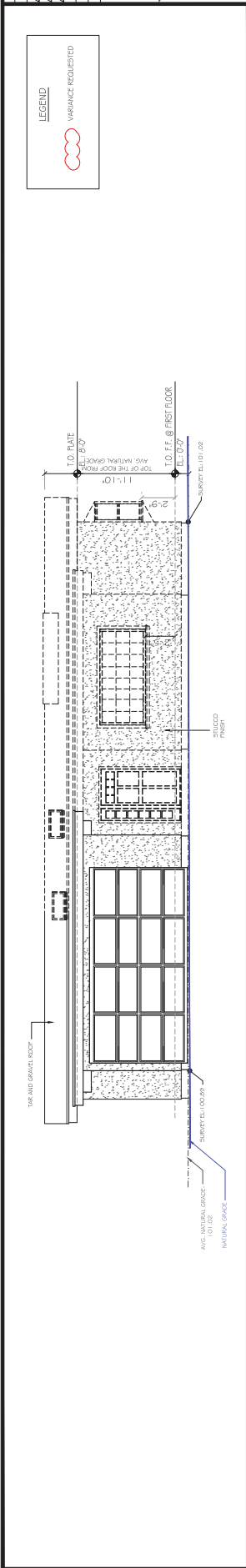


IMPROVEMENTS TO THE
COURTNEY RESIDENCE
904 HARMON DRIVE
MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
EXISTING ELEVATIONS

4/2/2016

A3.1



DATE	REVISION
08-24-18	1.0 - ADVANCE PRODUCTION
08-24-18	1.1 - ADVANCE PRODUCTION
08-24-18	1.2 - FIELD CHANGE
08-24-18	1.3 - FIELD CHANGE
08-24-18	1.4 - ADVANCE PRODUCTION
08-24-18	1.5 - ADVANCE PRODUCTION



TP DESIGN ARCHITECTS
 4742 EL CAMINO REAL, STE
 223, LOS ALTOS, CA 94022
 TEL: 650-949-8100
 FAX: 650-949-8000
 WWW.TPDESIGNARCHITECTS.COM

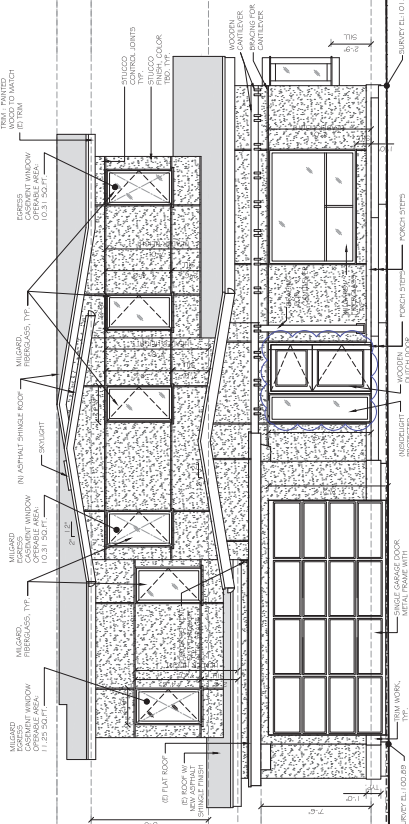


IMPROVEMENTS TO THE
 COURTNRY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
 PROPOSED
 SOUTH & WEST ELEVATIONS

4/2/2018

A3.2

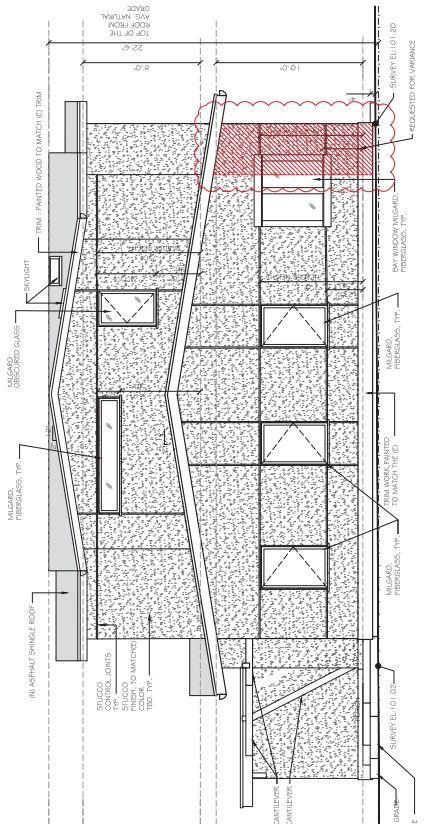


(FIELD CHANGE)



PROPOSED WEST ELEVATION

(PREVIOUSLY APPROVED & PERMITTED)



(VARIANCE REQUEST)



PROPOSED SOUTH ELEVATION

NOTE:
 1. STUCCO FINISH SHALL BE INSTALLED AT LEAST 4" ABOVE FINISHED FLOOR OR CONSTRUCTION RESISTANT METAL LATH COVERED WITH STUCCO FINISH.
 2. BUILDING PAPER COVER: TRICK MATCH FINISHED TREATING.
 3. ALL NEW WINDOWS WILL BE MILDARD PERFORMANCE WINDOWS.
 4. WINDOWS HAVE NO TRIM.

NOTE:
 1. ALL WINDOWS TO BE ALUMINUM FINISHED FRAMES.
 2. ALL WINDOW GLASS TO BE 1/2" THICK CLEAR GLASS.
 3. ALL WINDOW GLASS TO BE INSTALLED AS PER THE MANUFACTURER'S INSTRUCTIONS.
 4. ALL WINDOW GLASS TO BE INSTALLED AS PER THE MANUFACTURER'S INSTRUCTIONS.
 5. ALL WINDOW GLASS TO BE INSTALLED AS PER THE MANUFACTURER'S INSTRUCTIONS.
 6. ALL WINDOW GLASS TO BE INSTALLED AS PER THE MANUFACTURER'S INSTRUCTIONS.
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 10. ALL WINDOW GLASS TO BE INSTALLED AS PER THE MANUFACTURER'S INSTRUCTIONS.
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 19. ALL WINDOW GLASS TO BE INSTALLED AS PER THE MANUFACTURER'S INSTRUCTIONS.
 20. ALL WINDOW GLASS TO BE INSTALLED AS PER THE MANUFACTURER'S INSTRUCTIONS.

LEGEND

FIELD CHANGE

VARIANCE REQUESTED

FIELD CHANGE

VARIANCE REQUESTED

(PREVIOUSLY APPROVED & PERMITTED)

(FIELD CHANGE & VARIANCE REQUEST)

PROPOSED EAST SIDE ELEVATIONS

SCALE: 1/4"=1'-0"

DATE	REVISION
4/2/2018	ISSUE FOR PERMITS
4/2/2018	REVISED PERMITS
4/2/2018	FIELD CHANGE
4/2/2018	FIELD CHANGE
4/2/2018	VARIANCE REQUESTED
4/2/2018	VARIANCE REQUESTED

MP DESIGN ARCHITECTS
 223. LOS ALTOS, CA 94022



IMPROVEMENTS TO THE
 COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
 PROPOSED
 NORTH & EAST ELEVATIONS

4/2/2018

A3.3

PROPOSED NORTH SIDE ELEVATIONS

SCALE: 1/4"=1'-0"

(PREVIOUSLY APPROVED & PERMITTED)

PROPOSED NORTH SIDE ELEVATIONS

SCALE: 1/4"=1'-0"

DATE	REVISION
11/28/14	ISSUED FOR PERMITS
01/27/15	FIELD CHANGE
02/10/15	FIELD CHANGE
02/10/15	FIELD CHANGE
02/24/15	PERMITS AMENDMENT
02/24/15	PERMITS AMENDMENT
02/24/15	PERMITS AMENDMENT
02/24/15	PERMITS AMENDMENT

TP DESIGN ARCHITECTS
 11505 WASHINGTON BLVD.
 SUITE 200
 SAN DIEGO, CA 92131
 TEL: 619-594-9000
 FAX: 619-594-9001
 WWW.TPDESIGNARCHITECTS.COM



IMPROVEMENTS TO THE
 COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

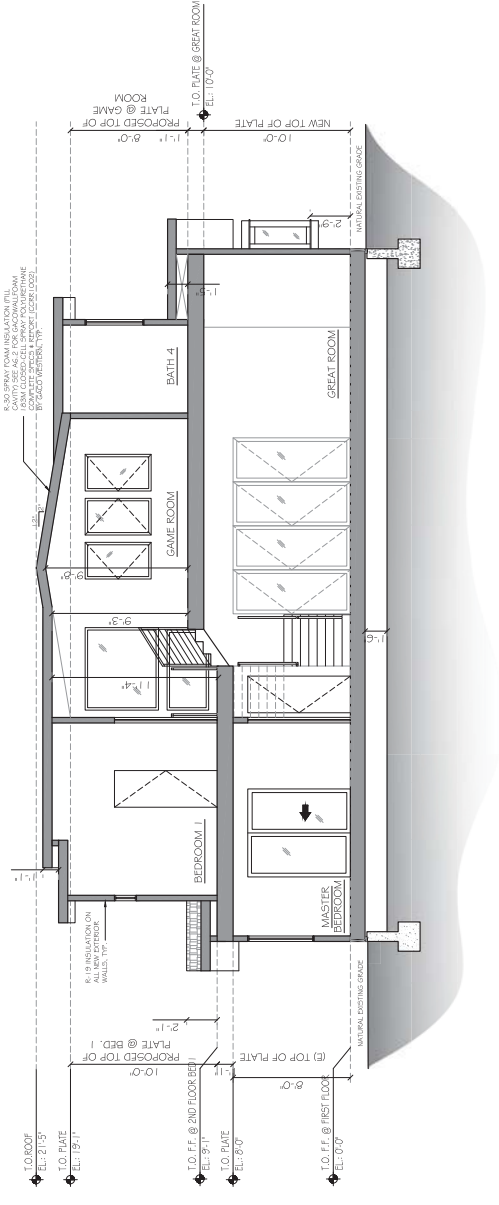
CONSTRUCTION DOCUMENT
 PROPOSED SECTION

4/2/2016

A4.1A

LEGEND

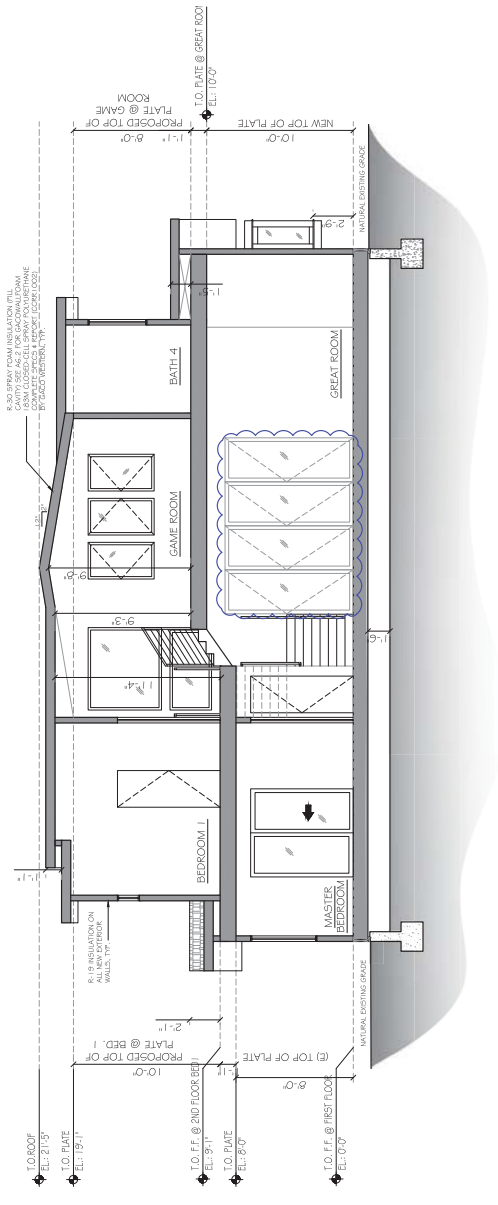
	FIELD CHANGE
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PROPOSED SECTION A-A (PREVIOUSLY APPROVED & PERMITTED)

1 SCALE: 1/4"=1'-0"

NOTE
 1. INSULATION SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



PROPOSED SECTION A-A (FIELD CHANGE SUBMITTED)

2 SCALE: 1/4"=1'-0"

NOTE
 1. INSULATION SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

DATE	REVISION
01/11/19	ISSUED
02/26/19	REVISION
03/27/19	FIELD CHANGE
04/09/19	FIELD CHANGE
04/23/19	FIELD CHANGE
05/01/19	FIELD CHANGE
05/14/19	PERMIT REQUIREMENTS
06/19/19	PERMIT REQUIREMENTS
08/26/19	PERMIT REQUIREMENTS



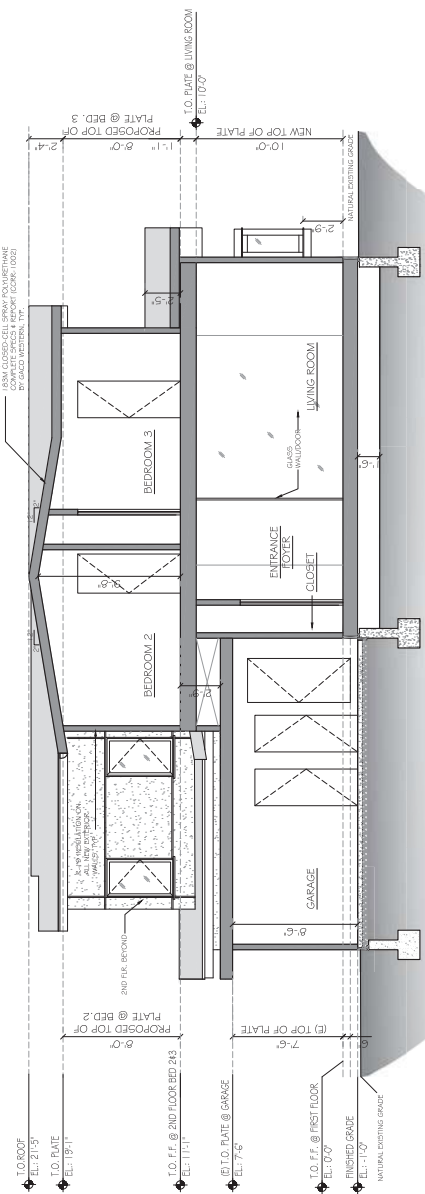
IMPROVEMENTS TO THE
COURTNEY RESIDENCE
904 HARMON DRIVE
MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
PROPOSED SECTION

4/22/2018

A4.1B

NOTE
1. INSULATION SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS



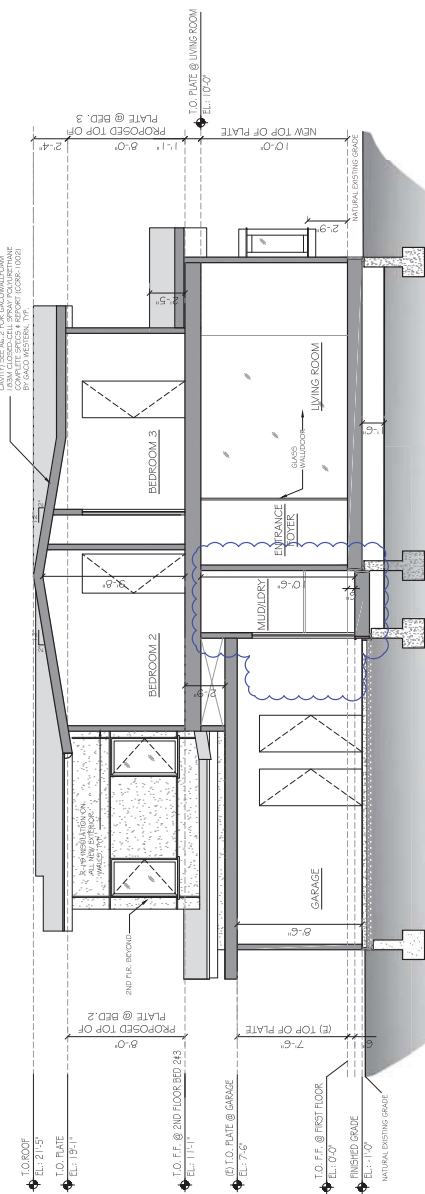
LEGEND	
	FIELD CHANGE

PROPOSED SECTION B-B (PREVIOUSLY APPROVED & PERMITTED)

SCALE: 1/4"=1'-0"



NOTE
1. INSULATION SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS



PROPOSED SECTION B-B (FIELD CHANGE SUBMITTED)

SCALE: 1/4"=1'-0"



DATE	REVISION
11/20/2018	1.0 PRELIMINARY
11/20/2018	2.0 PRELIMINARY
11/20/2018	3.0 PRELIMINARY
11/20/2018	4.0 PRELIMINARY
11/20/2018	5.0 PRELIMINARY
11/20/2018	6.0 PRELIMINARY
11/20/2018	7.0 PRELIMINARY
11/20/2018	8.0 PRELIMINARY
11/20/2018	9.0 PRELIMINARY
11/20/2018	10.0 PRELIMINARY
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11/20/2018	100.0 PRELIMINARY

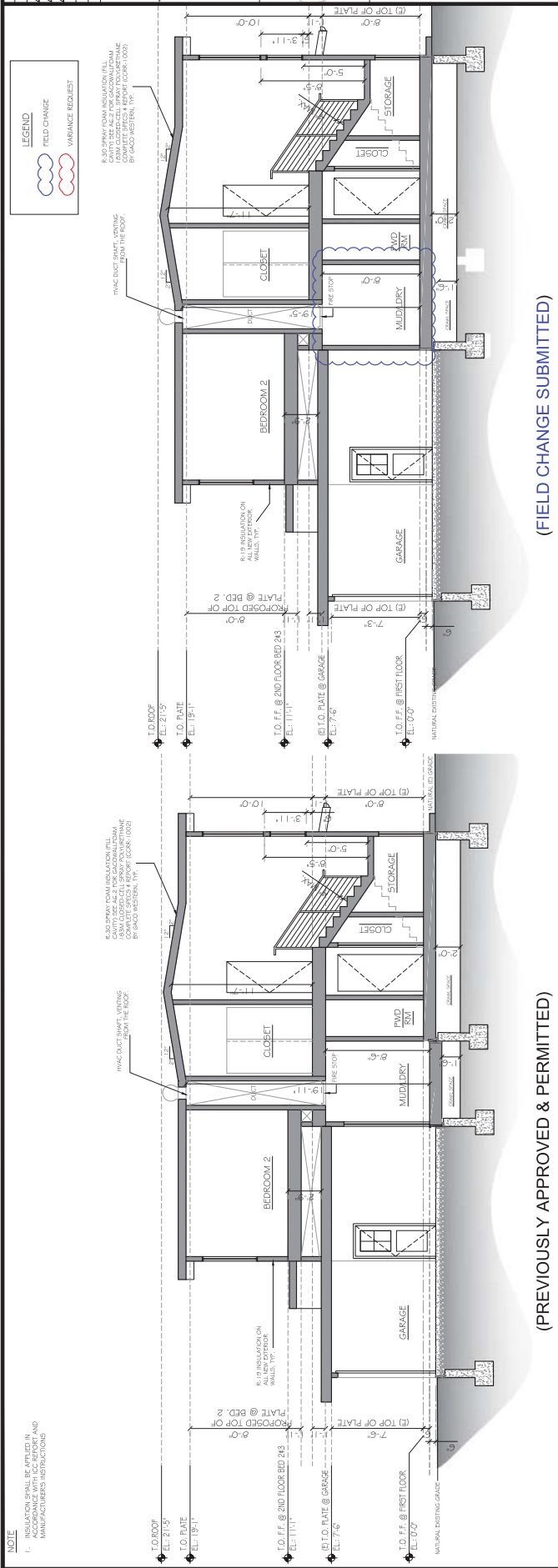

MPS DESIGN ARCHITECTS
 4242 EL CAMINO REAL, STE 223
 LOS ALTOS, CA 94022
 TEL: 650-961-8800
 FAX: 650-961-8801
 WWW.MPSDESIGNARCHITECTS.COM



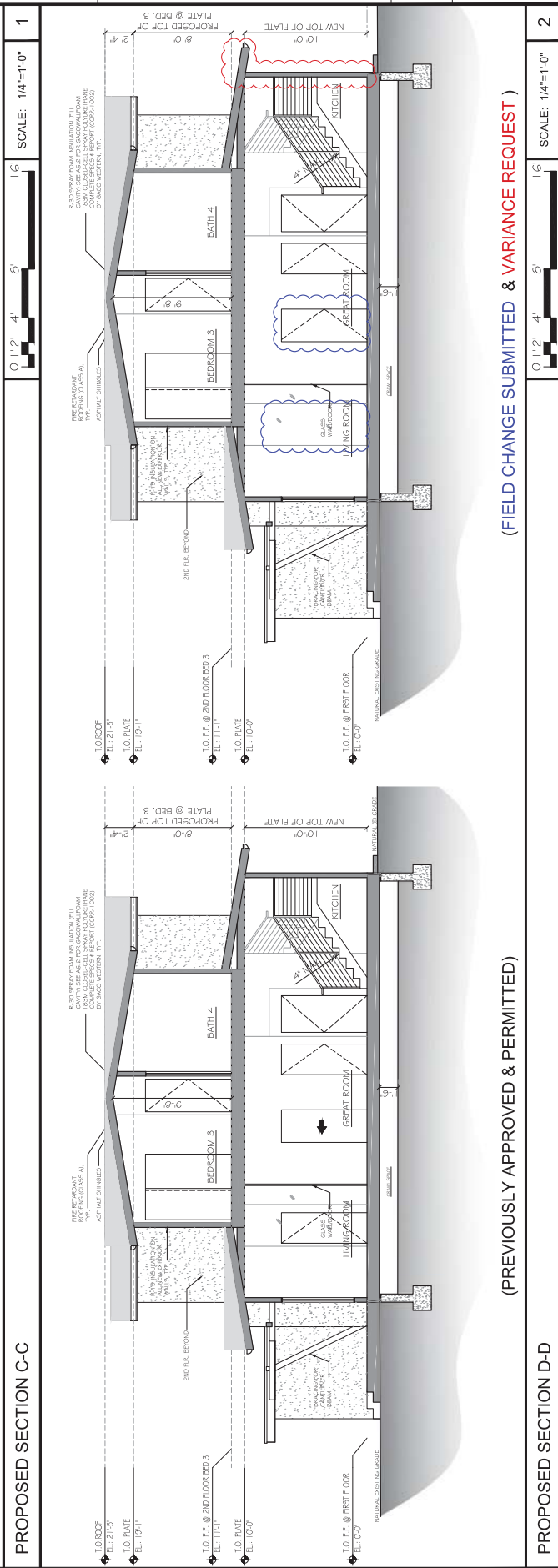
IMPROVEMENTS TO THE
 COURTNEY RESIDENCE
 904 HARMON DRIVE
 MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
 PROPOSED SECTION
 4/2/2018

A4.2
 (FIELD CHANGE SUBMITTED & VARIANCE REQUEST)



(PREVIOUSLY APPROVED & PERMITTED)



(PREVIOUSLY APPROVED & PERMITTED)

(FIELD CHANGE SUBMITTED & VARIANCE REQUEST)

Christina & James Courtney

904 Harmon Drive
Menlo Park, CA 94025
(650) 740-2628
christinaandjamey@gmail.com

July 16, 2018

Menlo Park Planning Commission

701 Laurel St.
Menlo Park, CA 94025

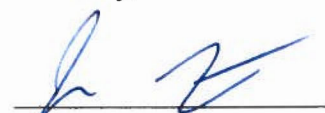
RECEIVED
JUL 17 2018
CITY OF MENLO PARK
PLANNING DIVISION


Dear Planning Commissioners,

We are writing to you today to apologize for a violation of the terms of our building permit issued for the renovation of our home at 904 Harmon Drive in Menlo Park. Our general contractor, Gus Carroll, mistakenly directed the demolition of a portion of the rear wall of our home. This portion of wall was, under the terms of our permit, supposed to be preserved as a legal non-conforming portion of the structure. We believe Gus and his demolition subcontractor made an honest mistake but regrettably one which requires us to seek an additional variance to correct.

While we realize the Commission and City of Menlo Park are under no obligation to approve this additional variance, we hope that you will consider doing so as the most reasonable path forward for our family and this project. This gaff is already going to cost us (and Gus) several months of good-weather building time and thousands of dollars in additional architectural, engineering, and city planning fees, not to mention rent for the house where our family is living for the duration of the project. The end result will also be no different in location, dimension, appearance, or function than that originally planned so we hope the commission will recognize that there was nothing for us to gain by this infraction and see this is the simple mistake in execution that it was. We have worked very hard over more than two years with our architects and engineers and with the City of Menlo Park to come up with a plan that follows the modern building codes of our neighborhood while preserving much of the personality of our home and property. Our family was incredibly excited to have our project approved by this commission back in January and to finally break ground in April. To have to halt work and significantly delay our project at this point is crushing. The need to have to go back and redesign significant portions and delay even further are almost unthinkable. We hope the Commission will see fit to approve the requested variance to rebuild this portion of wall and allow us to proceed with the rebuilding of our family's home with as little additional burden as possible.

Sincerely, the owners of 904 Harmon:


James Courtney


Christina Courtney

Carroll Custom Homes Inc.
1523 James Ave.
Redwood City, CA 94062

July 16, 2018

RE: Courtney residence – 904 Harmon Drive

Planning Commissioners of the City of Menlo Park
701 Laurel St.
Menlo Park, CA 94025

RECEIVED
JUL 17 2018
CITY OF MENLO PARK
PLANNING DIVISION

Dear Planning Commissioners,

I am the cause for the application for the variance for 904 Harmon Drive. I made a mistake and am devastated that I have created such hardship for Christina, Jamey, and their young family. I misinterpreted a note from the approved plans and now clearly see how I completely screwed up.

I have been proud to work in the City of Menlo Park for the last twenty years and have enjoyed working with the City. I completely respect the direction the planning and building departments have taken to ensure a high quality of building in the community. What makes this matter more difficult for me is the high level of respect that the Courtneys and M-Designs Architects have had for the City of Menlo Park regulations. The fault is mine alone. I would be humbly grateful if the planning commission would approve this variance and allow us to continue construction.

Sincerely,



Gus Carroll

Carroll Custom Homes Inc.

650-207-9668



RECEIVED

JUL 17 2018

CITY OF MENLO PARK
PLANNING DIVISION

July 10, 2018

Kaitlin Meador, Associate Planner
City of Menlo Park – Planning Division
701 Laurel Street
Menlo Park, CA 94025

Re: Courtney Residence
904 Harmon Drive

Subject: Project Description

Dear Ms. Meador and Members of the Planning Commission:

On behalf of the Owners, Jamey and Christina Courtney, who are in the process of remodeling and adding to their home in the Lorelei Manor neighborhood, we are submitting the subject project for a Variance. (Please note that a Use Permit was previously granted for the work under construction.) This letter, the attached drawings, exhibits and forms constitute the application. A letter, describing the variance request, is provided as a separate document at the direction of the planning staff. The variance is being required by City Staff to redress a mistake made by the General Contractor during demolition.

The R-1-U(LM) Zoning Classification was adopted to apply to all homes within the Lorelei Manor (Callie Lane, Lorelei Lane, Harmon Drive, etc.) neighborhood. Unfortunately, a few irregularly-shaped properties, including 904 Harmon, were not appropriately addressed which has necessitated this application.

A description of the property follows:

The property is the first house one encounters as one enters Lorelei Manor on Harmon Drive from Bay Road. There is a two-story home directly across Harmon and a single-story home adjacent on the left as one faces the property. To the right is the Hetch Hetchy Right-of-Way. A church is the neighbor to the rear.

The existing one-story home, typical of the neighborhood, is currently a legal non-conforming residence as the property was originally developed prior to the annexation of Lorelei Manor by the City. There are currently three setback violations based on the current code: the left side of the existing house violates the side setback; the rear of the house is located 16 feet from the property line; and the front of the house violates the front setback. City staff have determined that there is no setback violation on the right side of the house and, as the home was built prior to annexation, the 16' rear setback was not considered a violation.

The existing home is wood-framed over a crawl space with exposed beams and decking. The home has a low-slope roof and is typical of the neighborhood's original mid-century modern architectural style. There was an addition made to the front of the house subsequent to the original construction. That addition is being removed to eliminate the front setback conflict, eliminate the "stepdown" from the original house to the previous addition, and relocate certain interior walls to bring the garage into compliance with the code for depth.

There is a shed on the property that is to be removed along with a trellis constructed in the rear yard although there is no likelihood of anyone enclosing the trellis and creating living space. There is existing fencing on three sides of the property. Fence heights are noted on the drawings: in accordance with the original Conditions of Approval, the Owners are repairing and reducing the height of the fence where it is in violation of the fence ordinance.

The purpose of the proposed alterations to the Courtney's home – remodeling on the ground floor and the addition of bedrooms and bathrooms and a play area at the second floor - is to accommodate the growth of Jamey's and Christina's family. They now have two boys, an infant and a toddler and the house no longer suits their needs. It is their intention to raise their family in the house and they need the additional space. Please note that there is a letter included in the package signed by Mr. and Mrs. Courtney that eloquently describes their intentions and commitment to the neighborhood. Additionally, the Courtneys have very friendly relationships with their neighbors. The neighbor to the left has approved the originally proposed daylight plane (which has not been changed): their letter is included with the supporting documents. In addition, also included with the exhibits, is a letter from the Church indicating they have no concerns about the Courtneys rear-facing window placements.

There has been significant remodeling in the neighborhood which has created a more eclectic mix of styles. The design for reconfiguring the ground floor and the second story addition is modest and reflective of the community. We are retaining the low slope roof which also limits the overall height of the structure. Exterior finishes shall match the existing. We include control joints in the stucco to control cracking and provide some additional interest to the facades of the house.

The scope of the proposed work is as follows:

- Remodel the ground floor:
 - Reconfigure the ground floor to:
 - create a new master bedroom, bath, and closet;
 - create a mudroom/laundry room;
 - create a powder room;
 - create a new family room/office area that may be opened to create a larger great room;
 - improve the entrance to the house;
 - insert a stairway to the new second floor; and,
 - create additional storage.
 - Reconfigure the garage to create a "legal" depth. (before Jamey purchased the property, a previous owner had undertaken remodeling which reduced the depth of the garage to less than is required.);
 - Reduce the square footage of the ground floor to pull the non-conforming front of the house back to the setback line.
- Add a second floor with:
 - Three bedrooms and three baths; and,
 - A playroom accessible from each bedroom.

The original Use Permit was granted to address existing non-conformities that needed to be identified and accepted by the City. Primarily, they were due to the original placement of the house which resulted, under current zoning, in setback violations. As addressed in our earlier submittal, the Courtneys had originally hoped that the modifications to the house could be done without having to submit for a Use Permit but it was ultimately determined that there were too many compromises they would need to make to be able to go straight to the building permit process.

This project is being submitted to the Planning Commission for a variance as the General Contractor inadvertently demolished a portion of a non-conforming wall at the back of the house that had been permitted under the original Conditions of Approval. The variance request and justification, as directed by staff, are addressed in detail in another document.

We are hopeful that this letter properly satisfactorily describes the project and that the hearing with the Commission can now be scheduled.

Please don't hesitate to call me to clarify any items that come up. I know Jamey and Christina are anxious to get the project moving.

Very truly yours,



Alpheus W. Jessup, II Architect, License #C-11784

Enc.

Cc: Jamey and Christina Courtney
Priyanka Bendre



August 27, 2018

Kaitlin Meador, Associate Planner
City of Menlo Park – Planning Division 701
Laurel Street Menlo Park, CA 94025

Re: Courtney Residence
904 Harmon Drive

Subject: Variance Application, Request & Justification

Dear Ms. Meador and Members of the Planning Commission:

On behalf of the Owners, Jamey and Christina Courtney, who are in the midst of construction to add to and remodel their home in the Lorelei Manor neighborhood, we are submitting the subject project for a Use Permit and Variance. This letter describes the reasons and justifications for requesting a variance.

The remodeling and addition were granted a building permit and the work was started. The General Contractor, whose acknowledgement was submitted to the City separately, inadvertently removed an existing legal (though) non-conforming section of the house for which the City had previously granted relief. The City then stopped construction pending resolution of this matter and it is the Courtneys' hope that the resolution will result in an approval of this variance request. (Please note, denial of this request would require either a significant amendment of the design or a complete redesign of the house to meet the current zoning requirements of the R-1-U(LM) zone; in other words, demolishing of the existing house and a complete rebuild. In the meantime, the Courtneys are living in a short-term rental.)

As noted in our earlier approved submittal, the Courtney's home is typical of the Lorelei Manor neighborhood – a mid-century modern structure built legally prior to the annexation of the neighborhood by the City. The adoption of the R-1-U(LM) Zoning Classification by the City was meant to allow the community opportunities to modify their homes without having to request relief from the City (in the form of a variance or use permit) for each change. Unfortunately, 904 Harmon, was one of the properties that remained in non-compliance.

Please note: we are requesting variances to allow the Courtneys to rebuild the inadvertently demolished portions of their home and to complete the construction of their remodel and addition as designed and previously approved. These variances do not constitute improvements that benefit the Courtneys to the detriment of their neighbors within Lorelei Manor.

The specific relief we are requesting includes:

- Permission to rebuild the demolished section of wall and eave projection along the existing first-floor rear setback of 16.5 feet;
- The second-floor stair encroachment into the required rear setback as previously approved and permitted. We are requesting its continuation.

We believe that the findings noted in the Zoning Ordinance, Section VI, Paragraph 16.82.340 sub-paragraph (b) can be met.

1. “That a hardship peculiar to the property & not created by any act of the owner exists. In this context, personal, family or financial difficulties, loss of prospective profits and neighboring violations are not hardships justifying a variance. Further, a previous variance can never have set a precedent, for each case must be considered only on its individual merits;”
 - a. The property has several existing non-conformities that preceded Jamey Courtney’s purchase of the property that we are reducing.
 - b. Had the house been located more conventionally on the property when it was built there would have been no issues regarding the rear setback and eave overhangs at the rear wall.
 - c. The project was previously approved and permitted with a condition of approval being the existing rear non-conformity would be continued and its structural integrity improved by “sistering” new studs to the wall and new top plates added to allow a taller first floor ceiling height and support the framing of the second story. The General Contractor, without the knowledge or approval by the owner or the architect, removed the existing wall.
 - d. Except for the stairway which aligns with the rear wall of the house at 16.5 feet from the rear property line, the second floor meets all current zoning requirements relating to setback, daylight plane, etc. The placement of the house on the property precludes our being able to locate the stair within the boundaries of the current setback without drastically redesigning or rebuilding the home. (Please note, too: The area calculations show that we are proposing a 34.82% lot coverage while the maximum allowed is 35% for two-story construction. We are also reducing the impervious area by 23% +/-).
2. “That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property in the same vicinity and that a variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his/her neighbors.”
 - a. To our knowledge, the majority of the other homes in the Lorelei Manor zoning district were considered when the zoning was put into effect. Thus, alterations that neighbors propose can be accommodated without asking for relief. There is very little the Courtneys can do without being granted relief:
 - The rear of the house is 16.5 feet (legal when the house was built) from the property line as opposed to 20’;
 - The existing eaves at the rear of the house project further into the setback;
 - The configuration of the house (see the diagram) illustrates that moving the kitchen, dining, and staircase wall back to comply with the current setback requirements compromises the existing and proposed floor plans by reducing the square footage (+/- 135 sf) of the house and would require significant redesign or a total rebuild of the home which, in our estimation, would be an unreasonable requirement. The implications of this requirement are listed in the diagram and include:
 - A completely new kitchen;
 - Reducing the size and compromising the utility of the dining room and

study;

- Reducing access to the powder room and utility of the laundry/mudroom;
- Reduction in size and usability of the second-floor game room;
- Compromising vertical circulation by having to increase the riser height;

We don't believe the project results in special privileges for the Courtneys. The zoning for Lorelei Manor was set specifically to address the unique character of the neighborhood. The placement of the Courtneys' home and its relationship to the ROW, the street and setbacks would limit their use if the Use Permit and Variance are not granted.

3. "That the granting of the variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property;"
 - a. The project was previously approved with the existing non-conformities. The granting of the Variance shall not change the originally proposed – and approved – layouts. All other conditions of the site remain as follows:
 - The Courtney's' home is bounded on the right by the Hetch Hetchy ROW;
 - The immediate neighbor to the left has approved" of the plate height proposed for the 2nd floor and the church to the rear has no issues with the placement of windows facing its parking lot. (Please see the memos from the neighbor and the church.)
 - We have removed the front yard setback encroachment.
 - b. We would, therefore, submit that the granting of the variance would not be detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to any adjacent property.
4. "That the conditions upon which the requested variance is based would not be applicable, generally, to other property within the same zoning classification."
 - a. We believe this to be an unusual circumstance – the house is aligned with the rear property line rather than the side or front property lines and has thus presented a number of challenges to remodeling and adding to the home that are, in our opinion, not generally applicable to other property within the same zoning classification.
5. "That the condition upon which the requested variance is based is an unusual factor that was not anticipated or discussed in detail during any applicable Specific Plan process."

This property was not discussed in any applicable Specific Plan process that we are aware of.

We are hopeful that this letter properly addresses the scope. Please don't hesitate to call me to clarify any items that come up. I know Jamey and Christina are anxious to get the project moving again.

Very truly yours,

Alpheus W. Jessup, II Architect, License #C-11784

Enc.

Cc: Jamey and Christina Courtney

ATTACHMENT I

DATE	REVISION
12/11/19	ISSUED FOR PERMITS
09/18/19	REVISED
08/13/19	FIELD CHANGE
08/13/19	FIELD CHANGE
08/05/19	REVISION REQUEST
07/22/19	REVISED
07/16/19	REVISION REQUEST
07/16/19	REVISION REQUEST
02/26/18	APPROVED PLAN BELOW



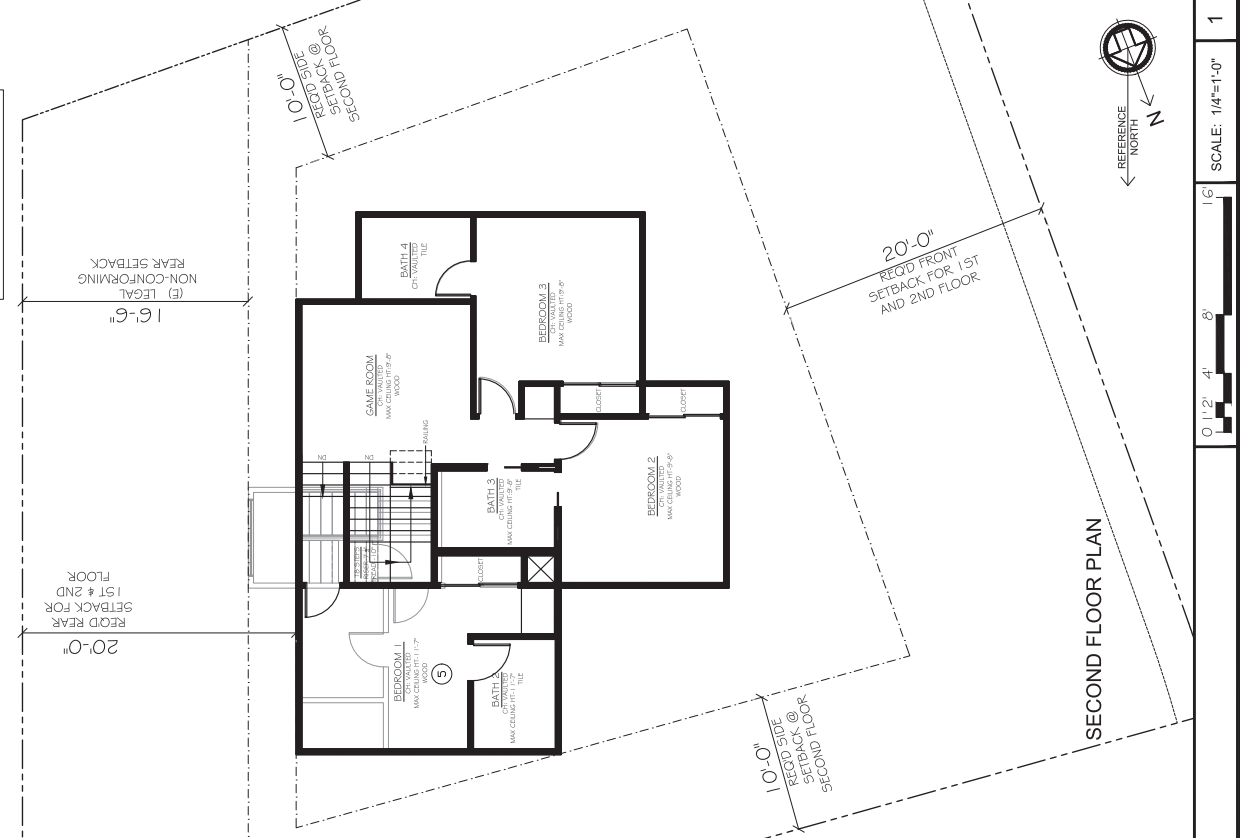
THE DESIGN ARCHITECTS
NATALIA RACINE ARCHITECTS
4346 EL CAMINO REAL, STE
223, LOS ALTOS, CA 94022
www.thedesignarchitects.com
TEL: 650-962-3700
FAX: 650-962-3701



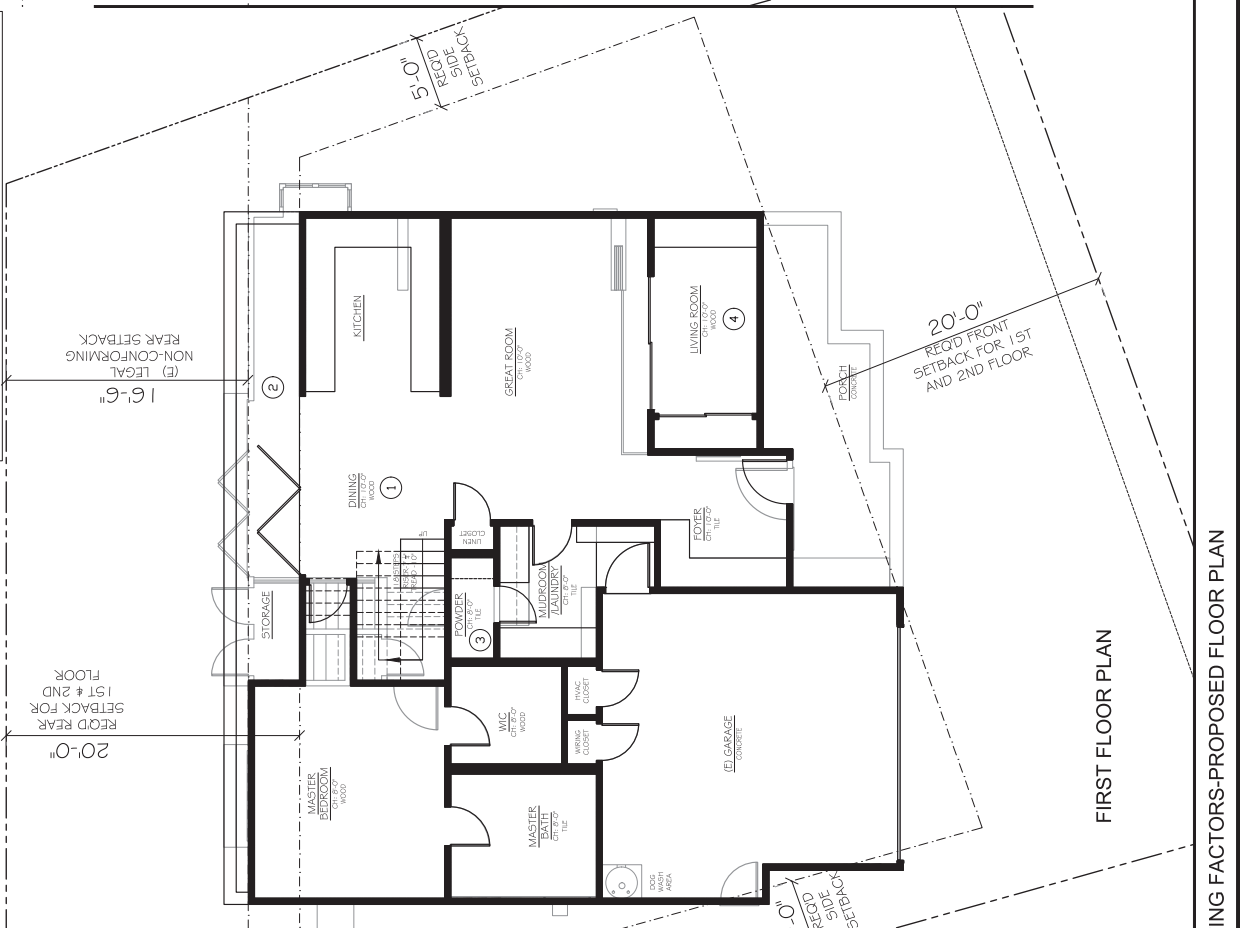
IMPROVEMENTS TO THE
COURTNEY RESIDENCE
904 HARMON DRIVE
MENLO PARK, CA 94025

CONSTRUCTION DOCUMENT
LIMITING FACTORS- PROPOSED
FLOOR PLAN

4/2/2018



SCALE: 1/4"=1'-0"
0' 1/2" 4' 8' 16'



- 1 DINING AREA IS COMPROMISED BY AREA ADJACENT TO THE KITCHEN WHERE THE WALL WAS REMOVED TO COMPROMISE KITCHEN ENTRY COMPROMISED.
- 2 POWDER ROOM ENTRY COMPROMISED.
- 3 OFFICE SPACE COMPROMISED.
- 4 BEDROOM 1 FRONT VIEW COMPROMISED.

LIMITING FACTORS

LIMITING FACTORS-PROPOSED FLOOR PLAN

Christina & James Courtney

904 Harmon Drive
Menlo Park, CA 94025
(650) 740-2628
christinaandjamey@gmail.com

July 16, 2018

Chair of Elder Board**The Home of Christ Menlo Park**

71 Bay Road
Menlo Park, CA 94025

Dear Elder Lih,

You will recall that approximately a year ago we obtained a letter, signed by the Elders of the Home of Christ Church, Menlo Park, supporting our plan to renovate our adjacent home at 904 Harmon Drive. At the time we were applying, and eventually received approval for, two variances to allow us to build the stairway necessary for our second floor addition and re-build the roof and eaves for such into the rear setback of our property so as to preserve the existing position of the rear wall of the home. The permit resulting from these variances required that we preserve the framing for this rear wall but, unfortunately during construction, our general contractor and demolition subcontractor removed a portion of the rear wall that was supposed to remain. The result of this is that the city has required us to cease construction and pursue one of three options to return to compliance with the project:

- 1) Pursue and additional variance to allow rebuilding of the portion of wall incorrectly demolished.
- 2) Move the portion of the home so affected forward from the rear property line by several feet.
- 3) Demolish what remains of the existing home in its entirety and architect and engineer an entirely new home fitting within the City of Menlo Park's modern setbacks.

A this time we are pursuing option (1) because it will result in a structure of exactly the same location, dimension, appearance, and function as that originally planned and previously supported by our neighbors, including the Home of Christ. Options (2) is dramatically more expensive, requires significant reworking of the planned floor plan and structure, and will add months of time and substantial cost to the project. Option (3) is dramatically more time consuming and costly still. We ask that if you remain supportive of our project through pursuit of option (1) above that you provide your signature below affirming this for the City of Menlo Park. As you can imagine our family is very frustrated by this substantial setback and feel very badly about having to bother our neighbors further and prolong the disruption of construction. We thank you profusely for your understanding and support.

Signature page attached.

Sincerely, the owners of 904 Harmon:



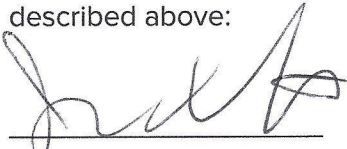
James Courtney



Christina Courtney

8/11/18
Date

The Home of Christ Menlo Park supports the Courtneys' proposed additional variance as described above:



Jason Lih
Chair of Elder Board

8/11/2018
Date

Christina & James Courtney

904 Harmon Drive
Menlo Park, CA 94025
(650) 740-2628
christinaandjamey@gmail.com

RECEIVED

JUL 1 / 2018

CITY OF MENLO PARK
PLANNING DIVISION

July 1, 2018

Gillian and Justin Parkhurst

908 Harmon Drive
Menlo Park, CA 94025

Dear Jillian and Justin,

Thank you again for being so understanding of our home remodel project to date and thank you again for signing a similar letter in July of 2017 indicating you condone the work to be performed.

As discussed informally, we are approaching you again because, due to an error on the part of our contractor, we are being asked to submit for an additional variance for the project. In short, a section of wall framing at the back corner of the home closest to Bay road was mistakenly removed, violating the terms of our building permit. In order to proceed, we are required to either dramatically change the footprint of our home by moving this section of wall 3.5 feet forward, away from the rear property line, OR apply for this additional variance to rebuild the affected portion of the wall and continue with our original plan. Due to the additional time and cost associated with reconfiguring our floor plan and the likelihood that such a change would detract from the desired layout of our home, we are first pursuing the variance allowing us to replace the wall in the current location with the City of Menlo Park. If the variance is approved, the end result will be a structure identical in location, dimension, and appearance to that originally shared with you.

We hope that you (and the City) will find this agreeable. If so, please sign below indicating that you are amenable to us proceeding with the project, as planned, should the City agree to this additional variance. As before we are committed to keeping you informed as to the status of and any significant changes to our project. We have also included a PDF highlighting the affected area of wall for clarity. Please let us know at any time if you have any questions or concerns about the project.

Signature page to follow.

With apologies for the infraction and thanks for your understanding, the owners of 904 Harmon:




James Courtney

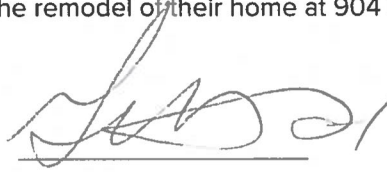


Christina Courtney

If the City of Menlo Park sees fit to grant a variance for the Courtneys to proceed with rebuilding the section of mistakenly removed wall, we, the owners and occupants of 908 Harmon Drive, have no objection to them continuing with the remodel of their home at 904 Harmon Drive as planned.



Justin Parkhurst



Gillian Parkhurst



STAFF REPORT

Planning Commission

Meeting Date: 9/17/2018

Staff Report Number: 18-081-PC

Public Hearing: Architectural Control/Oak Grove LP/855 Oak Grove Avenue

Recommendation

Staff recommends that the Planning Commission approve the architectural control request for exterior modifications that would include replacing the existing building rock veneer and wood window trim with cement plaster, replacing the roof eave soffits and fascia with natural wood siding, and replacing the front entry with an accessible sloped walk and stairway. The courtyard and the entry to the courtyard would also be redesigned, and the existing concrete and tile fountain would be restored. In addition, the applicant is also proposing a series of interior window and soffit replacements facing the courtyard, and interior room conversions. The recommended actions are included as Attachment A.

Policy Issues

Each architectural control request is considered individually. The Planning Commission should consider whether the required architectural control findings can be made for the proposal.

Background

Site location

The subject property is located at 855 Oak Grove Avenue in the downtown neighborhood. Using Oak Grove Avenue in the east-west orientation, the subject property is located at the southern side of the street, between Crane Street and University Drive. The subject property, along with much of the nearby neighborhood, is located in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The property consists of a two-story office building, originally built in 1964. Within the SP-ECR/D zoning district, the subject property is located within the Downtown (D) district and the Downtown/Station Area Retail/Mixed Use (DSARMU) land use designation. A location map is included as Attachment B.

Analysis

Project description

The applicant is requesting to make exterior modifications to the front and rear façades, in addition to interior renovations and repaving of the central courtyard and fountain features, at an existing two-story office building. The applicant is also seeking to complete window and door replacements along the central courtyard for approximately three quarters of the first floor courtyard window and door replacements to be consistent with the remaining windows and doors on approximately one quarter of the first floor and the

entire second floor, as these windows and doors have already been approved under a separate building permit.

The maximum permitted base floor area ratio (FAR) for the D district is 2.0, but for office uses in the DSARMU land use designation, the development is limited to no greater than one half the base FAR, or 1.0. With a lot size of 11,998 square feet, an FAR of 2.0 would allow a maximum development of 23,996 square feet, and an FAR of 1.0 would allow a maximum office square footage of 11,998 square feet. The existing two-story office building was constructed prior to adoption of the Specific Plan, in 1964, and the building gross floor area (GFA) is 18,980 square feet, which is nonconforming. However, the proposed project would not involve any increase in floor area and therefore, the existing office GFA is considered an existing legal nonconforming situation.

The existing building is built to the property line on all four sides, which is allowed in the D district, but the roof overhang extends 4'-6" into the right-of-way in the front and into the parking plaza (Parking Plaza 3) at the rear of the property. Section E.3.3.04 requires building projections in areas with no setback to not project beyond three (3) feet into a public right-of-way. As such, the existing office building is also nonconforming in this regard.

Design and materials

The proposed changes to the front façade, along Oak Grove Avenue, would include the following:

- Remove rock veneer, light fixtures, and address letters along façade;
- Remove wood trim between front-facing windows;
- Remove concrete steps and metal railing at front entry on the first floor that are not ADA-compliant;
- Add combined concrete steps and ADA-compliant ramp at front entry on the first floor, with new metal railing and concrete curb;
- Add a dark grey metal panel fascia;
- Add a cement plaster finish in place of the rock veneer and wood trim along the front façade, painted white and warm grey;
- Add a clear anodized aluminum brake shape between each window and a clear anodized aluminum address sign;
- Add new light fixtures; and
- Paint the front entry portal dark grey.

The proposed changes to rear façade, adjacent to Parking Plaza 3, would include the following:

- Remove rock veneer and light fixtures along the façade;
- Remove wood trim between rear-facing windows;
- Remove and replace storefront and door for rear entry;
- Add a sidewalk along rear façade to match neighboring properties;
- Add a dark grey metal panel fascia;
- Add a cement plaster finish in place of the rock veneer and wood trim along the façade, painted white and warm grey;
- Add a clear anodized aluminum storefront at the rear entry; and
- Add new light fixtures.

The proposed changes to the roof would include the following:

- Add light grey mechanical screening walls along the edges of the roof facing Parking Plaza 3 to the rear and Oak Grove Avenue to the front, in compliance with the Zoning Ordinance requirement for roof mounted equipment within the ECR/D Specific Plan. Staff has included condition of approval 4a requiring all rooftop mechanical equipment to be screened from the public right-of-way.

As discussed earlier, the proposed changes to the courtyard would include removing and replacing windows and doors for approximately three quarters of the windows and doors on the first floor facing the central courtyard. In particular, the proposed changes to the courtyard would involve adding an integral grey cement plaster and tempered glass windows and doors with a clear anodized aluminum finish, to remain consistent with both the modern style and the improvements proposed for the front and rear façades.

Staff believes that the proposed changes are appropriate for this existing retail development and would be compatible with the surrounding buildings. The proposed design elements, which include cement plaster and metal fascia on the front and rear façades painted in a mixture of white and grey colors, would update the building's design while retaining the modern massing of the existing building. Staff believes these changes would comply with relevant El Camino Real/Downtown Specific Plan design standards and guidelines (many of which are not applicable because this is an existing building that is not being heavily modified), as documented in Attachment F, and would represent a comprehensive, cohesive aesthetic update.

Trees and landscaping

The applicant has submitted an arborist report (Attachment G) detailing the species, size, and conditions of the heritage and non-heritage trees on site. The report discusses the impacts of the proposed improvements, including temporary construction impacts, and provides recommendations for tree maintenance and the protection of some trees, based on their health. As part of the project review process, the arborist report was reviewed by the City Arborist.

The arborist report identified two heritage street trees, a 21-inch Southern magnolia (Tree 4) and a 21-inch strawberry tree (Tree 5), located along Oak Grove Avenue in front of the subject property. There are also two other non-heritage street trees, a 10-inch Southern magnolia (Tree 2) and a one-inch strawberry tree (Tree 3), along the frontage of the subject property. To prevent potential construction impacts to the four street trees, the arborist report provides tree protection measures that include wrapping all magnolia trunks (Trees 2, 4, and 5) with straw wattle and orange construction fencing, wrapping orange construction fencing around the strawberry tree (Tree 3) at the edge of the pavement/tree well (wattle is not necessary), wrapping branches in the tree canopy greater than four inches in diameter that are within two feet of proposed scaffolding, and requiring all pruning to be done by a certified arborist or certified tree worker.

The one tree that is not a street tree, a six-inch camellia bush, is also not a heritage tree and is located in the center of the subject property (Tree 1). The arborist report indicates that the bush is over-mature for its location and that preservation is up to the discretion of the property owner.

All recommendations identified in the arborist report shall be implemented and ensured as part of condition 3e.

Correspondence

Staff has not received any items of correspondence on the proposed project. The applicant indicates that he spoke with neighbors and received favorable responses.

Conclusion

Staff believes that the scale, materials, and proposed design would be compatible with the existing office development and surrounding buildings. The proposed design elements would update the building's façades and overall design. The proposed modifications to the storefronts within the courtyard would be consistent with previously approved modifications within the building and would result in a comprehensive update to the façades within the courtyard. The changes within the courtyard would also be compatible with the exterior modifications on the front and rear façades. The proposed project is a cohesive aesthetic update and would comply with relevant El Camino Real/Downtown Specific Plan design standards and guidelines. Staff recommends that the Planning Commission approve the proposed project.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project.

Environmental Review

The Specific Plan process included detailed review of projected environmental impacts through a program-level Environmental Impact Report (EIR), as required by the California Environmental Quality Act (CEQA). In compliance with CEQA requirements, the Draft EIR was released in April 2011, with a public comment period that closed in June 2011. The Final EIR, incorporating responses to Draft EIR comments, as well as text changes to parts of the Draft EIR itself, was released in April 2012, and certified along with the final Plan approvals in June 2012.

The proposed project is categorically exempt under Class 1 (Section 15301, "Existing Facilities") of the current California Environmental Quality Act (CEQA) Guidelines, and as such, no additional environmental analysis is required above and beyond the Specific Plan EIR. However, relevant mitigation measures from this EIR have been applied and would be adopted as part of the Mitigation, Monitoring, and Reporting Program (MMRP), which is included as Attachment H. Mitigation measures include construction-related best practices regarding air quality, biological resources, noise, and the handling of any hazardous materials. The MMRP also includes a completed mitigation measure relating to cultural resources: due to the age of the structure being greater than 50 years, a historic resource evaluation was prepared as part of the initial project review. This review, which was conducted by a qualified architectural historian, concluded that the building is not eligible for listing in the State or National historic registers. Therefore, the proposed project would not result in any significant impacts to historic resources.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Appeal Period

The Planning Commission action will be effective after 15 days unless the action is appealed to the City Council, in which case the outcome of the application shall be determined by the City Council.

Attachments

- A. Recommended Actions
- B. Location Map
- C. Data Table
- D. Project Plans
- E. Project Description Letter
- F. Specific Plan Standards and Guidelines Compliance Worksheet
- G. Arborist Report
- H. Mitigation, Monitoring, and Reporting Program

Disclaimer

Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings, and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

Color and Materials Board

Report prepared by:
Matt Pruter, Associate Planner

Report reviewed by:
Kyle Perata, Acting Principal Planner

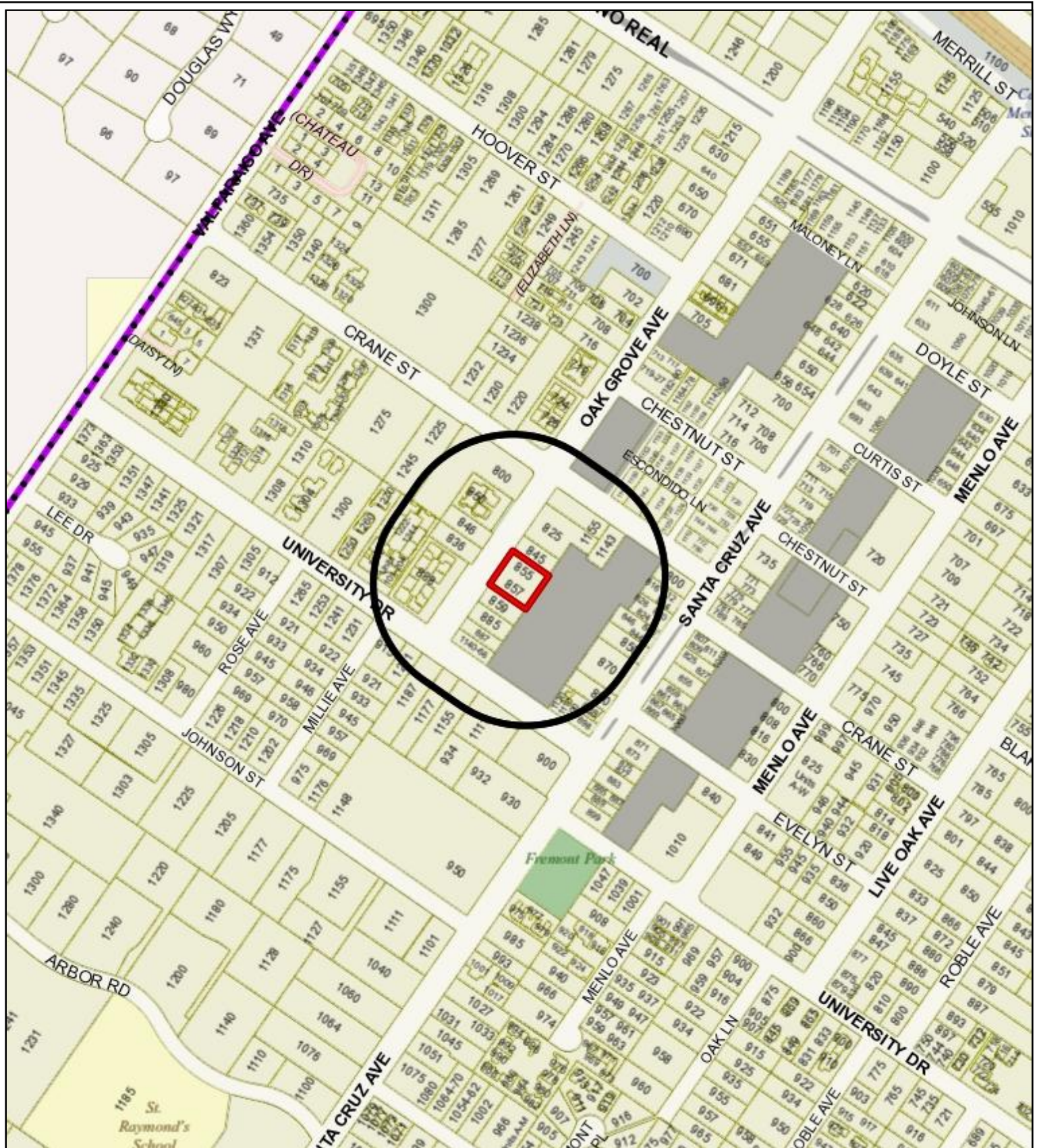
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855 Oak Grove Avenue – Attachment A: Recommended Actions

LOCATION: 855 Oak Grove Avenue	PROJECT NUMBER: PLN2018-00028	APPLICANT: Brick, Inc.	OWNER: Oak Grove LP
PROPOSAL: Request for architectural control to modify the exterior of an existing two-story office building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The proposed exterior changes would include replacing the existing building rock veneer and wood window trim with cement plaster, replacing the roof eave soffits and fascia with natural wood siding, and replacing the front entry with an accessible sloped walk and stairway. The courtyard and the entry to the courtyard would also be redesigned, and the existing concrete and tile fountain would be restored.			
DECISION ENTITY: Planning Commission	DATE: September 17, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<p>ACTION:</p> <ol style="list-style-type: none"> 1. Make findings with regard to the California Environmental Quality Act (CEQA) that the proposal is within the scope of the project covered by the El Camino Real/Downtown Specific Plan Program EIR, which was certified on June 5, 2012. Specifically, make findings that: <ol style="list-style-type: none"> a. The project is categorically exempt under Class 1 (Section 15301, “Existing Facilities”) of the current CEQA Guidelines. b. Relevant mitigation measures have been incorporated into the project through the Mitigation Monitoring and Reporting Program (Attachment G), which is approved as part of this finding. 2. Adopt the following findings, as per Section 16.68.020 of the Zoning Ordinance, pertaining to architectural control approval: <ol style="list-style-type: none"> a. The general appearance of the structure is in keeping with the character of the neighborhood. b. The development will not be detrimental to the harmonious and orderly growth of the City. c. The development will not impair the desirability of investment or occupation in the neighborhood. d. The development provides adequate parking as required in all applicable City Ordinances and has made adequate provisions for access to such parking. e. The development is consistent with the El Camino Real/Downtown Specific Plan, as verified in detail in the Standards and Guidelines Compliance Worksheet (Attachment F). 3. Approve the use permit subject to the following standard conditions: <ol style="list-style-type: none"> a. Development of the project shall be substantially in conformance with the plans prepared by Brick, Inc., consisting of 26 plan sheets, dated received September 11, 2018, and approved by the Planning Commission on September 17, 2018, except as modified by the conditions contained herein, subject to review and approval of the Planning Division. b. Prior to building permit issuance, the applicants shall comply with all Sanitary District, Menlo Park Fire Protection District, and utility companies’ regulations that are directly applicable to the project. 			

855 Oak Grove Avenue – Attachment A: Recommended Actions

LOCATION: 855 Oak Grove Avenue	PROJECT NUMBER: PLN2018-00028	APPLICANT: Brick, Inc.	OWNER: Oak Grove LP
PROPOSAL: Request for architectural control to modify the exterior of an existing two-story office building in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The proposed exterior changes would include replacing the existing building rock veneer and wood window trim with cement plaster, replacing the roof eave soffits and fascia with natural wood siding, and replacing the front entry with an accessible sloped walk and stairway. The courtyard and the entry to the courtyard would also be redesigned, and the existing concrete and tile fountain would be restored.			
DECISION ENTITY: Planning Commission	DATE: September 17, 2018	ACTION: TBD	
VOTE: TBD (Barnes, Combs, Goodhue, Kennedy, Onken, Riggs, Strehl)			
<p>ACTION:</p> <ul style="list-style-type: none"> c. Prior to building permit issuance, the applicants shall comply with all requirements of the Building Division, Engineering Division, and Transportation Division that are directly applicable to the project. d. Simultaneous with the submittal of a complete building permit application, the applicant shall submit plans indicating that the applicant shall remove and replace any damaged and significantly worn sections of frontage improvements. The plans shall be submitted for review and approval of the Engineering Division. e. Heritage trees in the vicinity of the construction project shall be protected pursuant to the Heritage Tree Ordinance and the arborist report prepared by Davey Resource Group, dated received September 7, 2018. <p>4. Approve the architectural control subject to the following project-specific conditions:</p> <ul style="list-style-type: none"> a. All rooftop mechanical equipment shall be screened, where appropriate, to not be visible from the public right-of-way. 			



City of Menlo Park
 Location Map
 855 Oak Grove Avenue



	PROPOSED PROJECT	EXISTING PROJECT	ZONING ORDINANCE
Lot area	11,998 sf	11,998 sf	n/a sf min.
Setbacks			
Front*	-4.5 ft.	-4.5 ft.	0 ft. min.
Rear*	-4.5 ft.	-4.5 ft.	0 ft. min.
Side (left)	0 ft.	0 ft.	0 ft. min.
Side (right)	0 ft.	0 ft.	0 ft. min.
FAR (Floor Area Ratio)**	18,990 sf 158 %	18,990 sf 158 %	23,996 sf max. 200 % max.
Open Space	n/a sf n/a %	n/a sf n/a %	n/a sf max. n/a % max.
Building height	26 ft.	26 ft.	38 ft. max.
Parking	0 spaces	0 spaces	0 spaces
Note: Areas shown highlighted indicate a nonconforming or substandard situation.			

Trees	Heritage trees***	2	Non-Heritage trees****	3	New Trees	0
	Heritage trees proposed for removal	0	Non-Heritage trees proposed for removal	0	Total Number of Trees	5

* An existing roof overhang extends 4'-6" into the right-of-way on both the front and rear of the subject property. However, the building footprint is located within the property boundaries.

** The maximum permitted base floor area ratio (FAR) for the ECR D sub-district is 2.0, but for office uses in the DSARMU land use designation, the development is limited to no greater than one half the base FAR, or 1.0.

***Both heritage trees are street trees that are located adjacent to the front property line (Trees 4 and 5).

****Of these three non-heritage trees, one is located within the subject property (Tree 1) and two non-heritage trees are street trees that are located adjacent to the front property line (Trees 2 and 3).

DEVELOPMENT APPLICATION -

PATH OF TRAVEL / ENTRY ADA COMPLIANCE UPGRADES,
FACADE IMPROVEMENTS



NORTH

PROJECT LOCATION

CLIENT: WHEATLEY PROPERTIES
 CHRISTINA HANSEN SUITE 817-100
 1306 80TH STREET, SUITE 11
 PALO ALTO, CA 94304
 C-RES@WTPROP.COM

ARCHITECT: BRICK ARCHITECTURE AND INTERIORS
 1306 80TH STREET, SUITE 11
 PALO ALTO, CA 94304
 D: 650-488-8729
 INFO@BRICK-INC.COM

REMOVAL OF EXISTING ENTRY, REVISIONS TO EXISTING GENERAL OFFICE BUILDING EXTERIOR FACADE MATERIALS, INCLUDE REMOVAL OF ROCK VENER, AND IMPROVEMENT TO CEMENT PLASTER DEVELOPMENT OF PEDESTRIAN ENTRY FROM OAK GROVE PUBLIC RIGHT OF WAY TO BUILDING, AND IMPROVEMENTS TO LANDSCAPING OF SOLID WALK AS WELL AS IMPROVEMENTS TO LANDSCAPING THROUGHOUT.

VICINITY MAP - N.T.S.

PROJECT TEAM

PROJECT DESCRIPTION

Sheet Number	Sheet Name
GS.00	COVER
GS.10	PROJECT INFORMATION AND DATA SHEET
GS.20	GENERAL NOTES
GS.30	OPEN AREA CALCULATIONS
GS.40	PERMITS AND REGULATIONS
GS.50	PERSPECTIVE VIEW FROM PARKING LOT
GS.60	PERSPECTIVE VIEW OF MAIN ENTRY
GS.70	MATERIALS BOARD
GS.80	LINE OF SIGHT DIAGRAM

ARCHITECTURE	
A1.10	LEVEL 1 - DEMOLITION PLAN
A1.20	LEVEL 1 - DEMOLITION PLAN
A2.10	LEVEL 1 - PROPOSED FLOOR PLAN
A2.20	LEVEL 2 - PROPOSED FLOOR PLAN
A2.30	ROOF PLAN
A2.40	EXTERIOR ELEVATIONS
A2.50	PROPOSED COURTYARD ELEVATIONS
A2.60	EXISTING COURTYARD ELEVATIONS
A3.10	BUILDING SECTIONS
A3.20	ENLARGED ELEVATION & SECTION
A3.30	ENLARGED COURTYARD ELEVATION AND SECTION
A3.40	ENLARGED PLANS AND DETAILS
A3.50	INTERIOR ELEVATIONS
A3.60	REFLECTED CEILING PLANS

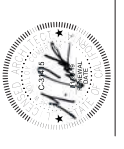
TREE PROTECTION	
L1.1	TREE PROTECTION PLAN

ARCHITECT:
 brick
 1306 80th Street, Suite 11
 Palo Alto, CA 94304
 505.516.0167

CLIENT:
 Christina Hansen
 1306 80th Street, Suite 11
 Palo Alto, CA 94304

3 08/11/18 development residential 3
 1 07/25/18 development residential
 09/12/18 development residential

rev. date issue



855 oak grove

micro.park.ca
 project number: 17-177

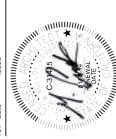
scale: as noted
 date: 08/29/18

schematic design
 COVER

ARCHITECT
BRICK
1000 West 10th Street
Anchorage, AK 99508
505.562.0167

CLIENT
Minto Properties
755 Sage Mill Road, Suite 14-100
Palo Alto, CA 94304

2 08/31/18 Development Residential 2
1 07/25/18 Development Residential
03/12/18 Development Residential
rev date issue



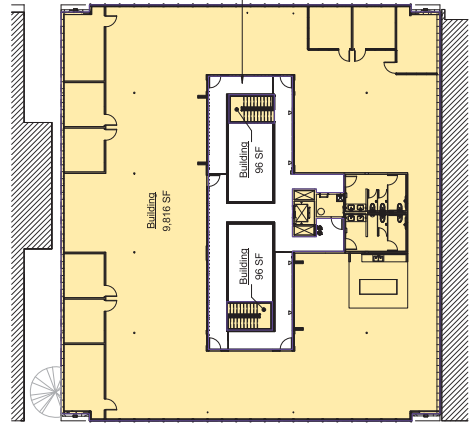
855 oak
grove

minto park, ca
project number: 17-177

scale: as noted
date: 08/29/18

schematic design
AREA
CALCULATIONS

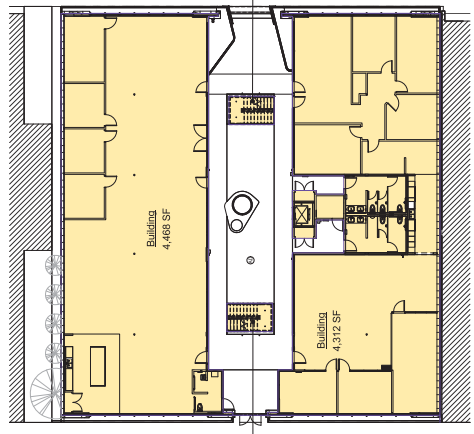
G0.2b



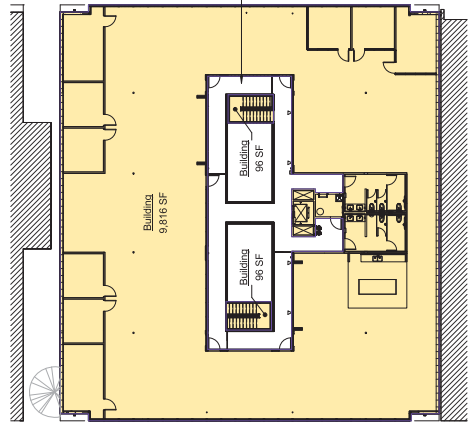
GROSS BUILDING AREA - EXISTING

LEVEL	Building	Building	GROSS BUILDING AREA DEFINED PER MUPC 16.04.20(A), (B)
LEVEL 1	Building	Building	18,671 SF
LEVEL 2	Building	Building	10,989 SF
TOTAL			29,660 SF

MAX FLOOR AREA AT 2 ST PAR 23,986 SF
MAX OFFICE AREA AT 1 ST PAR 11,993 SF
EXISTING OFFICE NON-CONFORMING USE



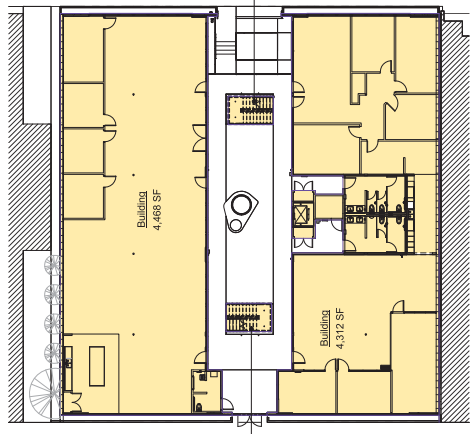
3 LEVEL 1 - EXISTING 1/16" = 1'-0" 4 LEVEL 2 - EXISTING 1/16" = 1'-0"



GROSS BUILDING AREA - PROPOSED

LEVEL	Building	Building	GROSS BUILDING AREA DEFINED PER MUPC 16.04.20(A), (B)
LEVEL 1	Building	Building	18,671 SF
LEVEL 2	Building	Building	10,989 SF
TOTAL			29,660 SF

MAX FLOOR AREA AT 2 ST PAR 23,986 SF
MAX OFFICE AREA AT 1 ST PAR 11,993 SF
EXISTING OFFICE NON-CONFORMING USE TO REMAIN



1 LEVEL 1 - PROPOSED 1/16" = 1'-0" 2 LEVEL 2 - PROPOSED 1/16" = 1'-0"

ARCHITECT
BRICK
1000 W. 12th Street, Suite 1
Ann Arbor, MI 48106
505.562.0167

CLIENT
855 oak grove
1000 W. 12th Street, Suite 100
Ann Arbor, MI 48106
505.562.0167

1 07/25/18 development residential
03/12/18 development schematic

rev. date issue



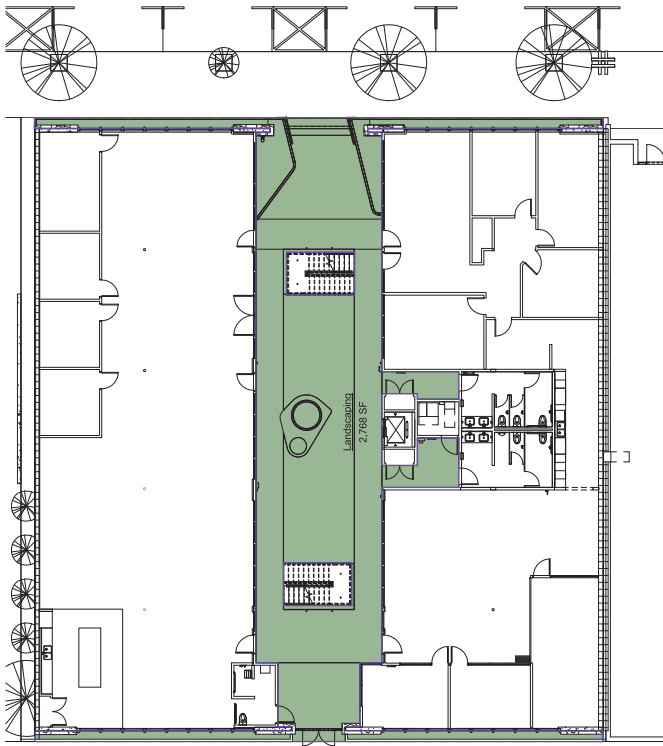
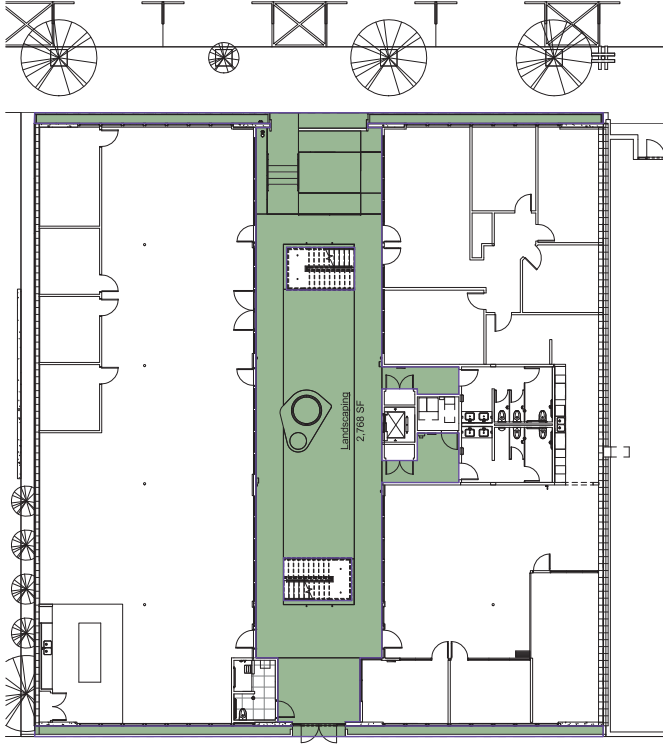
855 oak grove

micro parks, cz
project number: 12-177

scale: as noted
date: 08/29/18

schematic design
OPEN AREA
CALCULATIONS

G0.3b



3/32" = 1'-0"

2 OPEN SPACE - PROPOSED

1 OPEN SPACE - EXISTING

ARCHITECT
BRICK ARCHITECTURE
1000 UNIVERSITY AVENUE, SUITE 1
ANN ARBOR, MI 48106
508.556.0167

CLIENT
MICHIGAN STATE UNIVERSITY
1750 PARK MILL ROAD, SUITE 100
EAST LANSING, MI 48104

001216 development schematic
rev. date issue



855 oak
grove

micro park, ca
project number: 17-177

scale: as noted
date: 08/29/16

schematic design
PERSPECTIVE
VIEW FROM
PARKING LOT

G1.0b





ARCHITECT
 BRICK
 755 BAKER MILL ROAD, SUITE 100
 ANN ARBOR, MI 48106
 500.516.0167

CLIENT
 BRICK
 755 BAKER MILL ROAD, SUITE 100
 ANN ARBOR, MI 48106

001215 development schematic
 rev. date issue



855 oak
 grove

metro park, ca
 project number: 17-177

scale: as noted
 date: 08/29/16

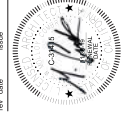
schematic design
 PERSPECTIVE
 VIEW OF MAIN
 ENTRY

G1.1b

ARCHITECT
brck
10000 Wilshire Blvd, Suite 1
Los Angeles, CA 90024
310.566.0167

CLIENT
www.855oakgrove.com
855 oak grove
755 sage mill road, suite 100
palo alto, ca 94304

3 08/11/18 development residential 3
2 08/01/18 development residential 2
1 07/25/18 development residential
07/12/18 development residential
rev date issue



855 oak grove

project number: 17-177

scale: as noted
date: 08/29/18

schematic design
MATERIALS BOARD

G2.0b



PAINTED CONCRETE PLANTERS



CONCRETE HARDSCAPE



EXTERIOR CEMENT PLASTER



CEMENT PLASTER, SMOOTH FINISH, WHITE

CONCRETE



MECHANICAL SCREEN
METAL PANEL LIGHT GREY

WOOD SOFFIT






PLANTER, WEATHERED STEEL




ENTRY PORTAL AND SOFFIT + ROOF FASCIA
METAL PANEL, DARK GREY

METAL



MULLIONS: CLEAR ANODIZED ALUMINUM



STOREFRONT

ARCHITECT
BRICK
1755 PARKWAY, SUITE 100
ANN ARBOR, MI 48106
508.566.0167

CLIENT
855 oak grove
1755 parkway, suite 100
ann arbor, mi 48106
508.566.0167

3 08/11/18 development residential 3
2 08/31/18 development residential 2
1 07/25/18 development residential 1
03/12/18 development residential

rev. date issue



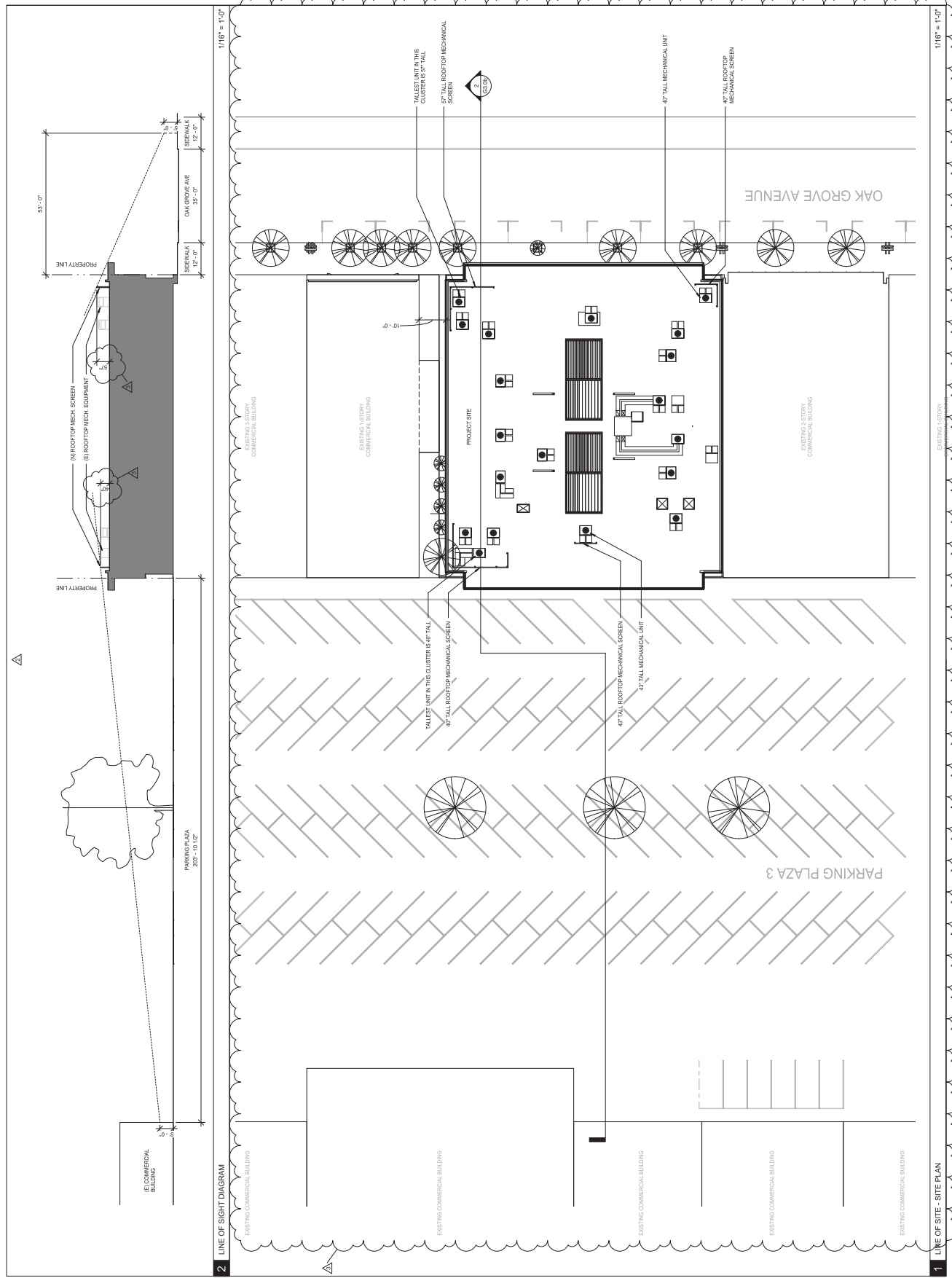
855 oak grove

project number: 17-177

scale: as noted
date: 08/29/18

schematic design
LINE OF SIGHT
DIAGRAM

G3.0b

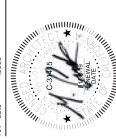


2 LINE OF SIGHT DIAGRAM
1 LINE OF SITE - SITE PLAN

ARCHITECT
BRICK ARCHITECTURE
1000 UNIVERSITY AVENUE, SUITE 100
SAN FRANCISCO, CA 94108
510.562.0167

CLIENT
BRICK ARCHITECTURE PROPERTIES
1000 UNIVERSITY AVENUE, SUITE 100
SAN FRANCISCO, CA 94108
510.562.0167

- 3 08/11/18 development residential 3
- 2 08/31/18 development residential 2
- 1 07/25/18 development residential
- 03/12/18 development residential



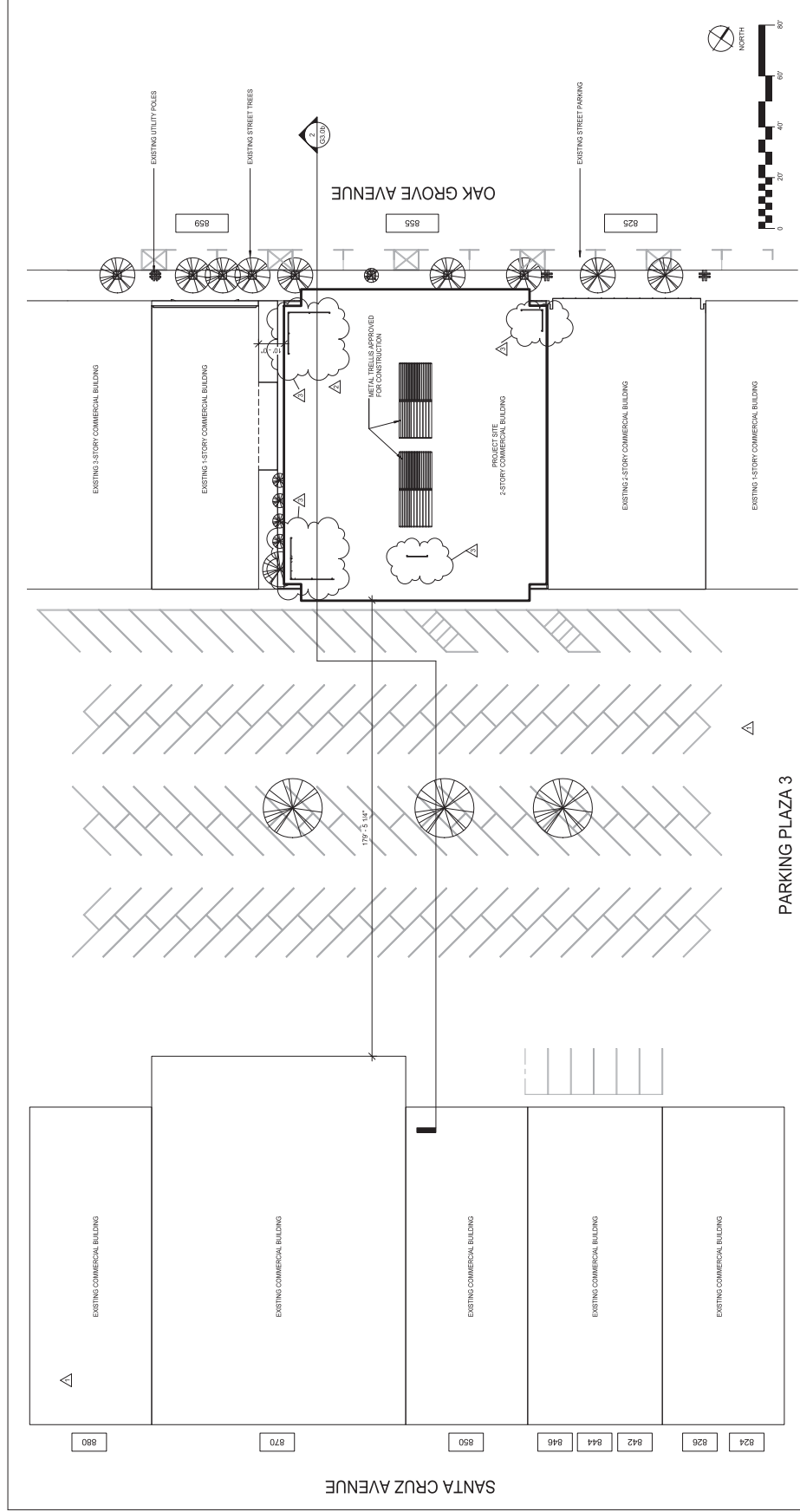
855 oak
grove

memo park, ca
project number: 17-177

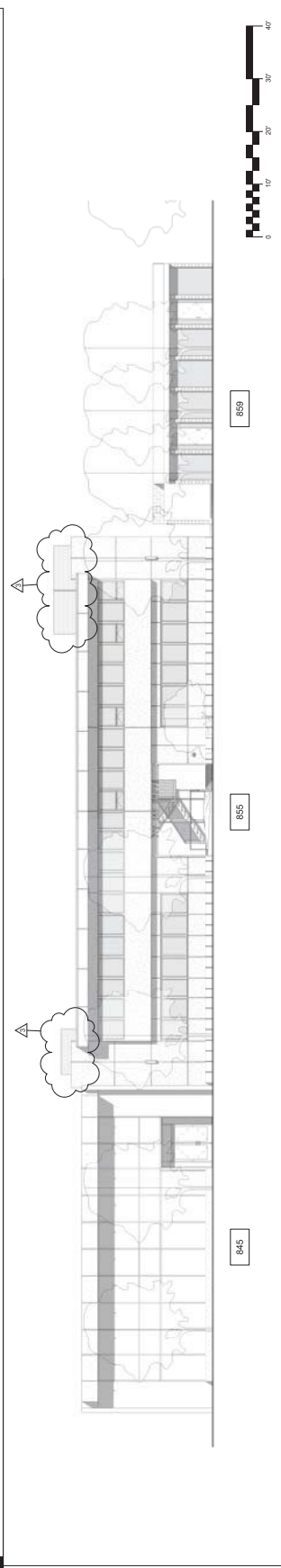
scale: as noted
date: 08/29/18

schematic design
AREA PLAN &
STREET
ELEVATION

A1.0b



1 AREA PLAN 1" = 20'-0"



2 STREET/SCAPE ELEVATION 1" = 10'-0"

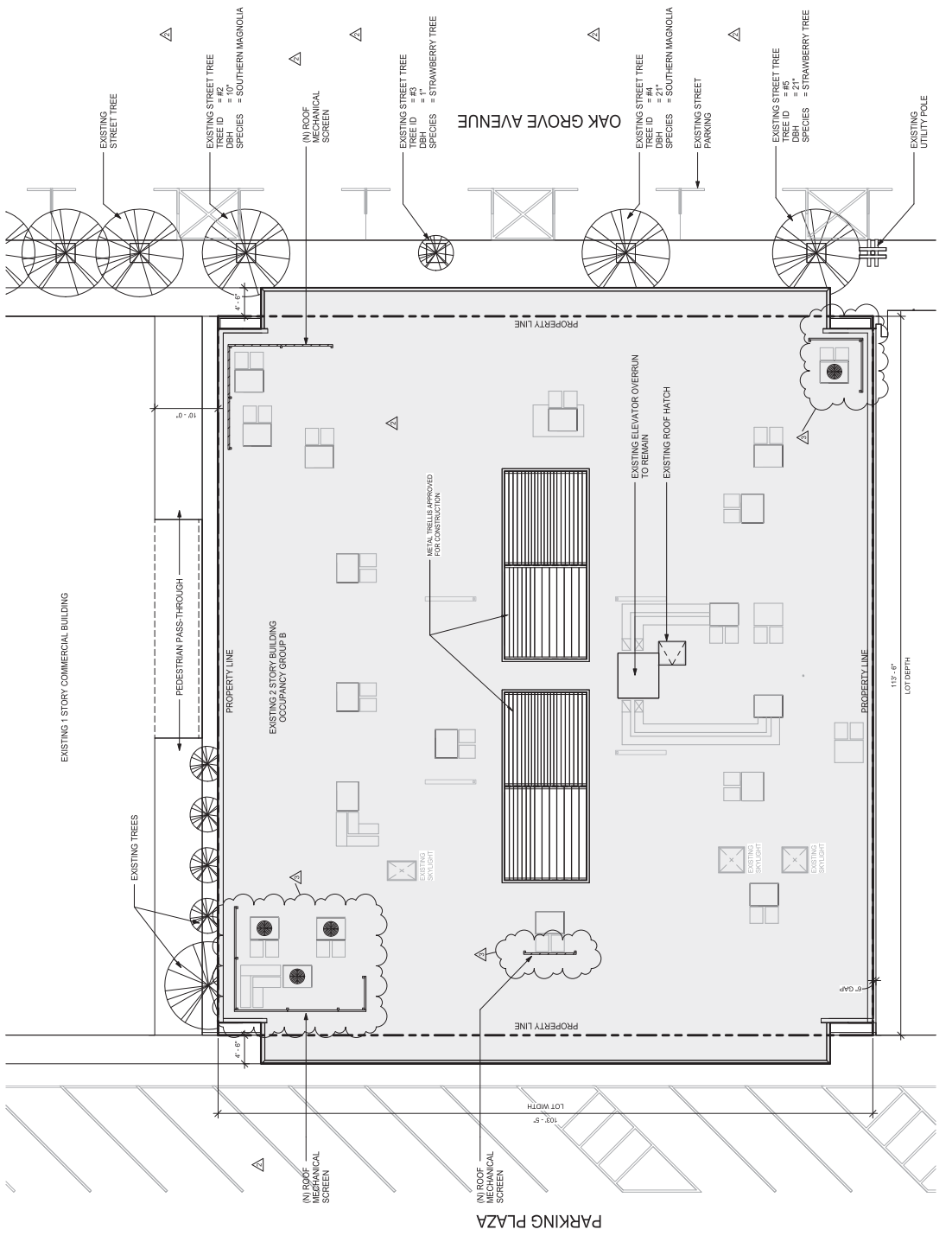
SITE ANALYSIS

ZONING: SP-E2RD
LOT AREA: 11,898 SF
ALLOWABLE GROSS FLOOR AREA: 11,898 SF
 (P.A.R. = 1.0 FOR GENERAL OFFICE)

GROSS BUILDING AREA - EXISTING
 LEVEL 1: 8,971 SF
 LEVEL 2: 10,008 SF
TOTAL: 18,979 SF

GROSS BUILDING AREA - PROPOSED
 LEVEL 1: 8,971 SF
 LEVEL 2: 10,008 SF
TOTAL: 18,979 SF

LAND COVERED BY STRUCTURE: 97%
LANDSCAPING: 3%
PAVED SURFACES: 0%
PARKING SPACES: 0



ARCHITECT: brick
 755 page mill road, suite 101-100
 ann arbor, mi 48106
 508.516.0167

CLIENT: 855 oak grove
 755 page mill road, suite 101-100
 ann arbor, mi 48106
 508.516.0167

PROJECT NUMBER: 17-177

SCALE: as noted
DATE: 08/29/18

SCHEMATIC DESIGN
SITE PLAN

855 oak grove

PROJECT NUMBER: 17-177

SCALE: as noted
DATE: 08/29/18

SCHEMATIC DESIGN
SITE PLAN

855 oak grove

PROJECT NUMBER: 17-177

SCALE: as noted
DATE: 08/29/18

SCHEMATIC DESIGN
SITE PLAN

855 oak grove

PROJECT NUMBER: 17-177

SCALE: as noted
DATE: 08/29/18

SCHEMATIC DESIGN
SITE PLAN

855 oak grove

PROJECT NUMBER: 17-177

SCALE: as noted
DATE: 08/29/18

SCHEMATIC DESIGN
SITE PLAN

855 oak grove

PROJECT NUMBER: 17-177

SCALE: as noted
DATE: 08/29/18

SCHEMATIC DESIGN
SITE PLAN

855 oak grove

PROJECT NUMBER: 17-177

SCALE: as noted
DATE: 08/29/18

SCHEMATIC DESIGN
SITE PLAN

855 oak grove

PROJECT NUMBER: 17-177

SCALE: as noted
DATE: 08/29/18

SCHEMATIC DESIGN
SITE PLAN

855 oak grove

PROJECT NUMBER: 17-177

SCALE: as noted
DATE: 08/29/18

SCHEMATIC DESIGN
SITE PLAN

855 oak grove

PROJECT NUMBER: 17-177

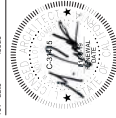
SCALE: as noted
DATE: 08/29/18

SCHEMATIC DESIGN
SITE PLAN

ARCHITECT
BRICK
1000 West Park
Aurora, IL 60009
505.560.0167

CLIENT
855 oak grove
755 West Park
Aurora, IL 60009
505.560.0167

08/21/19 development residential 2
07/25/19 development residential
03/12/19 development residential
rev date issue



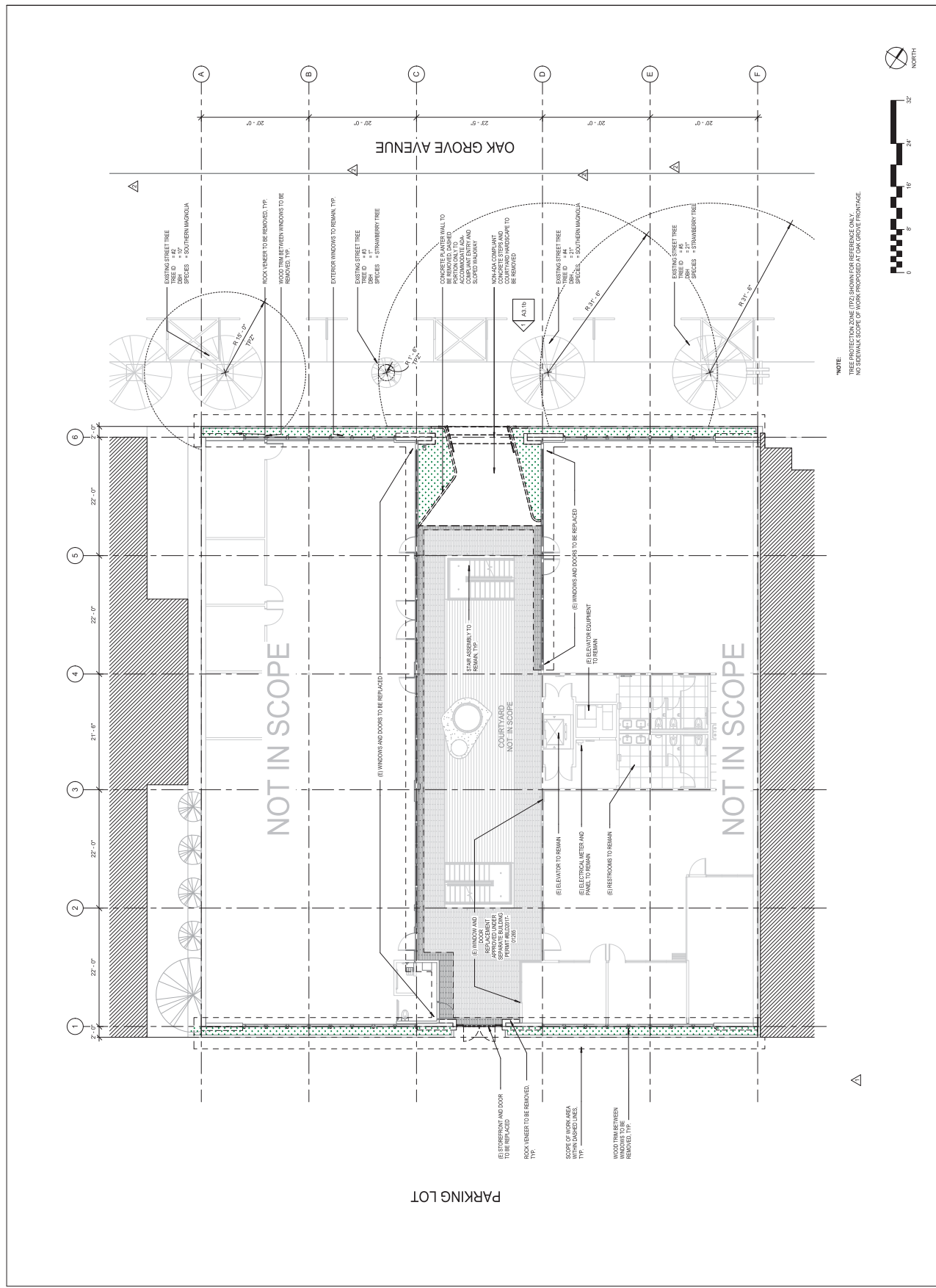
855 oak grove

project number: 17-177

scale: as noted
date: 08/29/19

schematic design
LEVEL 1 -
DEMOLITION
PLAN

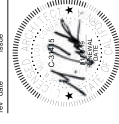
A2.1b



ARCHITECT
BRICK ARCHITECTURE
1000 UNIVERSITY AVENUE, SUITE 100
ANN ARBOR, MI 48106
508.556.0167

CLIENT
BRICK ARCHITECTURE PROPERTIES
755 BAKER HILL ROAD, SUITE 100
ANN ARBOR, MI 48106
508.556.0167

1 07/25/18 development residential
03/12/18 development residential
rev. date issue



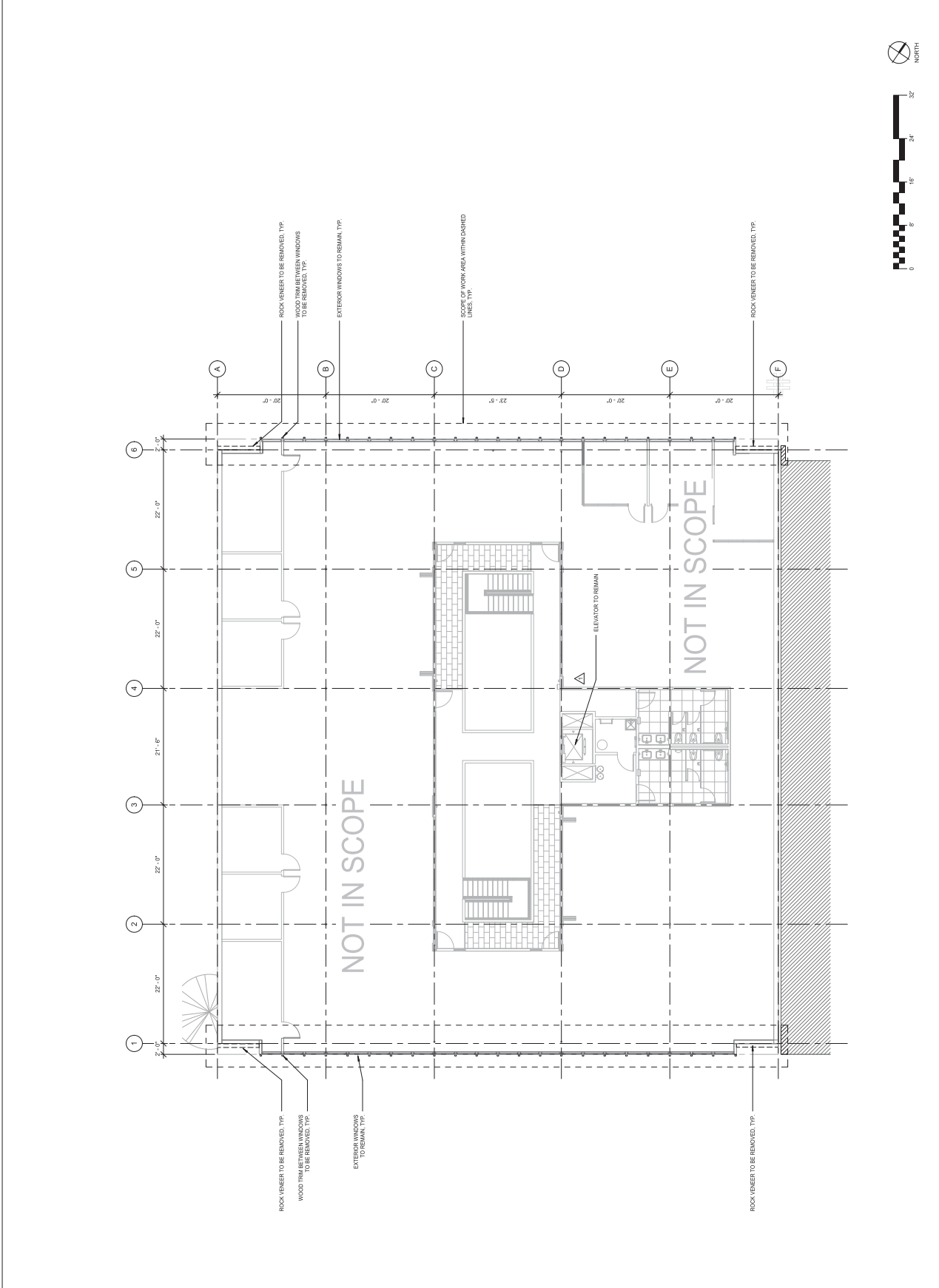
855 oak
grove

micro.park.ca
project number: 17-177

scale: as noted
date: 08/29/18

schematic design
LEVEL 2 -
DEMOLITION
PLAN

A2.2b



1 LEVEL 2 DEMOLITION PLAN

ARCHITECT
BRICK
1755 BRICK AVENUE, SUITE 100
ANN ARBOR, MI 48106
508.566.0167

CLIENT
WYLLIARSON PROPERTIES
11200 WYLLIARSON DRIVE
ANN ARBOR, MI 48106
508.941.4400

2 08/31/19 development residential 2
1 07/25/19 development residential
03/12/19 development schematic

rev date issue



855 oak
grove

project number: 17-177

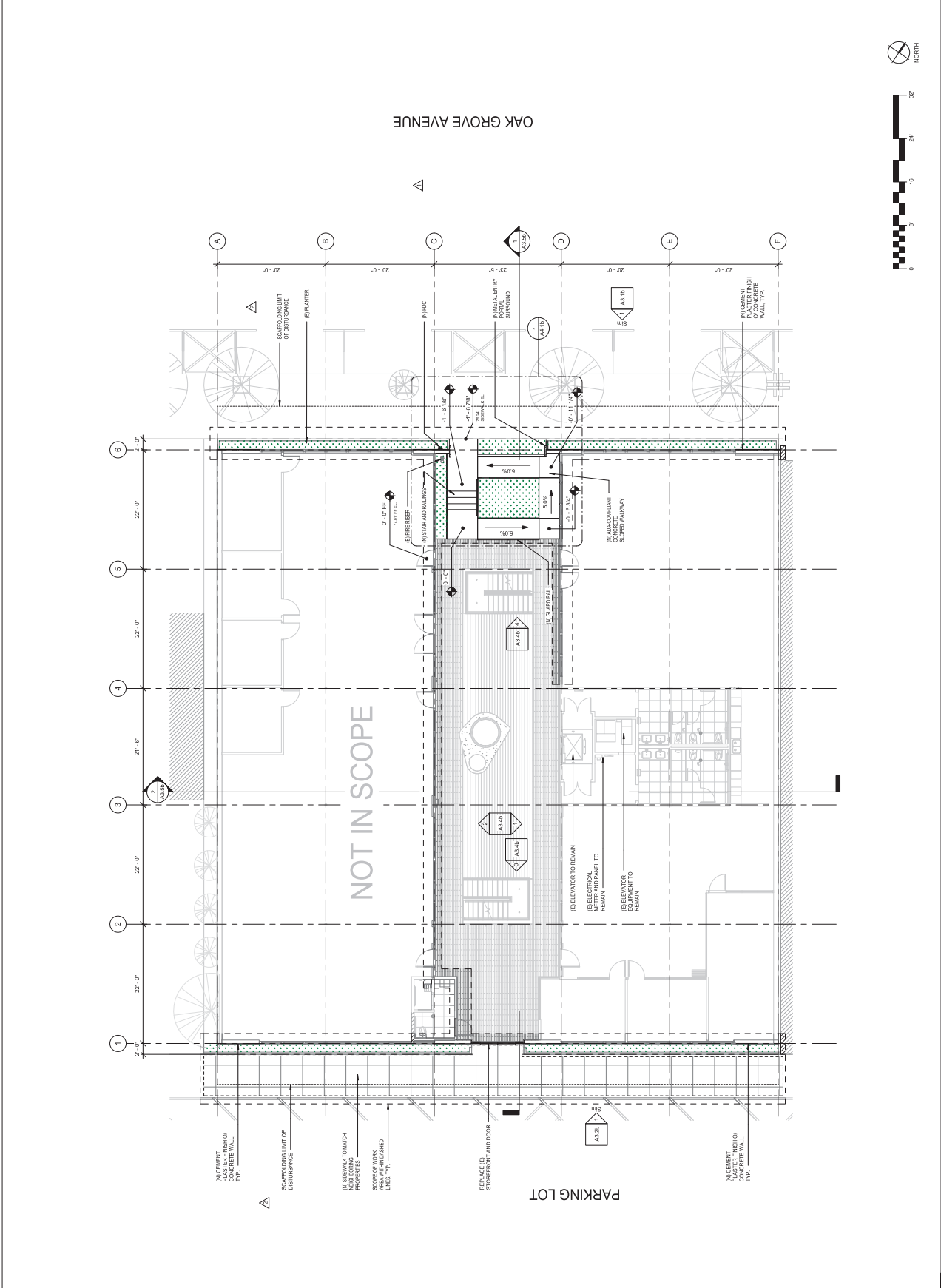
scale: as noted
date: 08/29/19

schematic design

LEVEL 1 -
PROPOSED
FLOOR PLAN

1 LEVEL 1 FLOOR PLAN

1/8" = 1'-0"

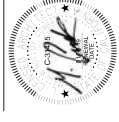


ARCHITECT
BRICK
1000 West Park Ave, Suite 1
Ann Arbor, MI 48106
508.516.0167

CLIENT
855 oak grove
1000 West Park Ave, Suite 100
Ann Arbor, MI 48106
508.516.0167

2 08/31/18 development residential 2
1 07/25/18 development residential
03/12/18 development residential

rev. date issue



855 oak grove

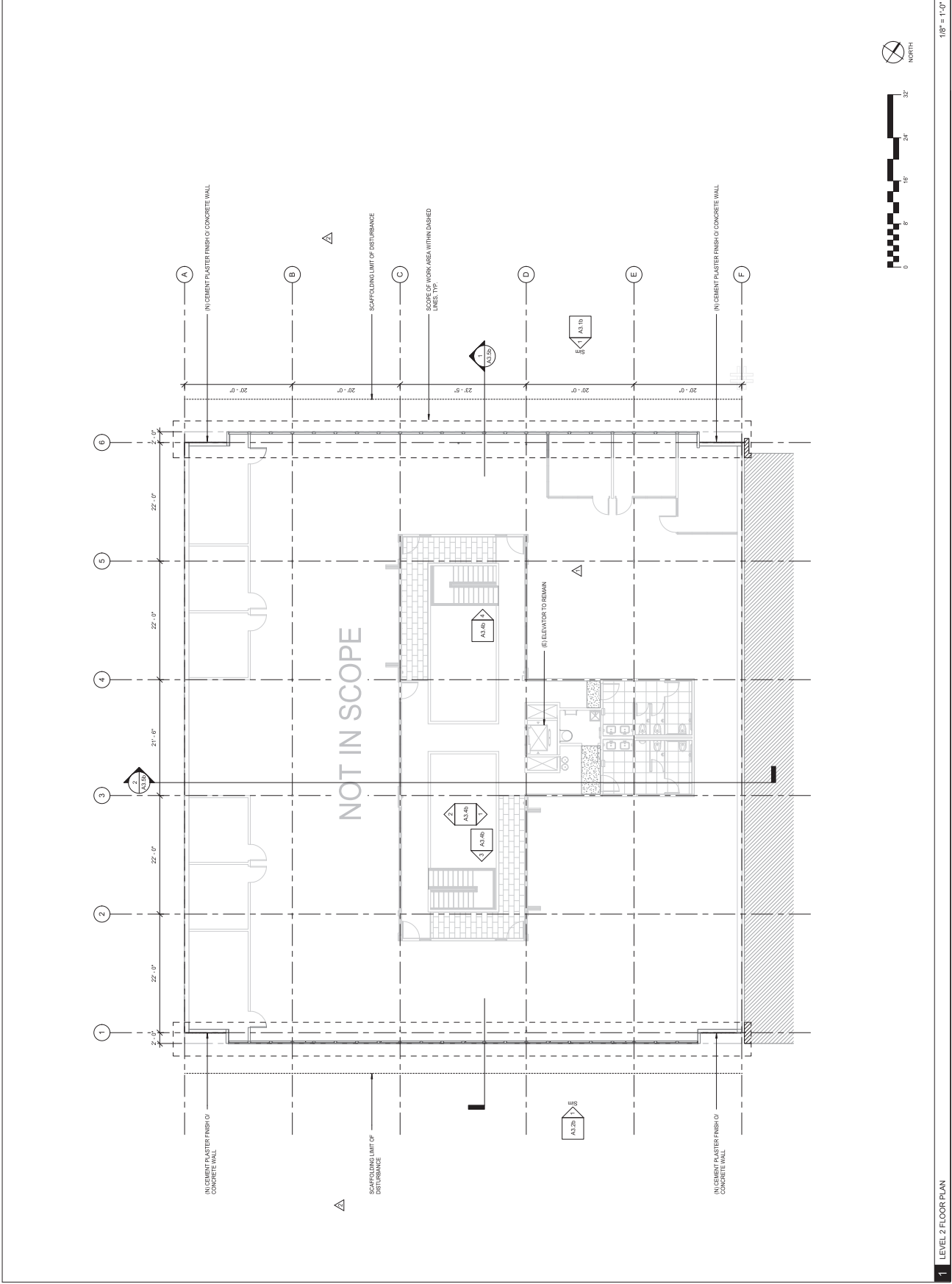
micro.park.ca
project number: 17-177

scale: as noted
date: 08/29/18

schematic design

LEVEL 2 -
PROPOSED
FLOOR PLAN

A2.4b



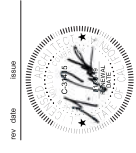
1 LEVEL 2 FLOOR PLAN 1/8" = 1'-0"

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ARCHITECT
BRCK
10000 Wilshire Blvd, Suite 100
Beverly Hills, CA 90210
505.516.0167

CLIENT
855 oak grove properties
10000 Wilshire Blvd, Suite 100
Beverly Hills, CA 90210
505.516.0167

3 08/11/18 development residential 3
2 08/11/18 development residential 2
1 07/25/18 development residential 1
07/10/18 development residential



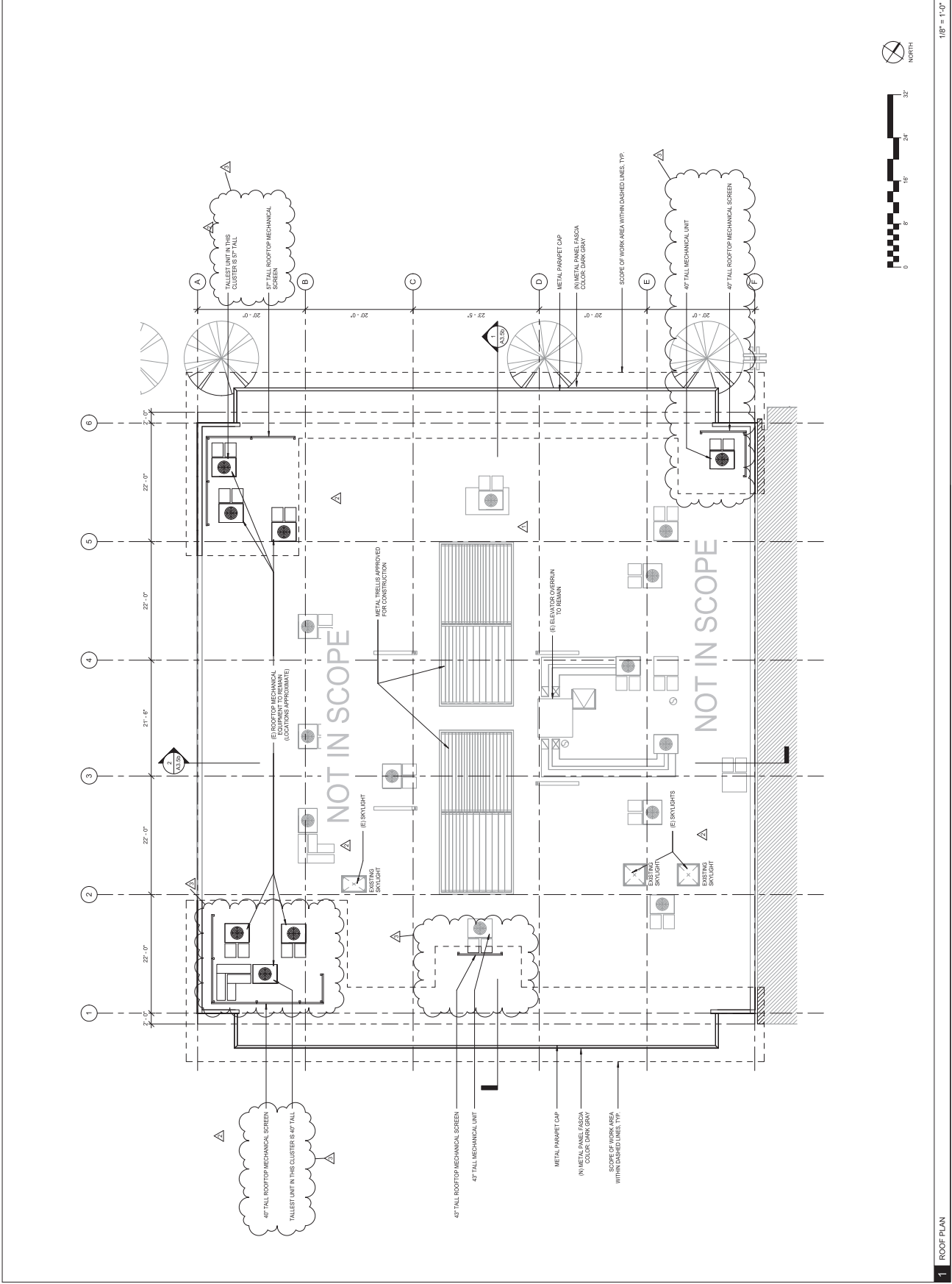
855 oak grove

project number: 17-177

scale: as noted
date: 08/29/18

schematic design
ROOF PLAN

A2.5b



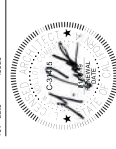
1/8" = 1'-0"

1 ROOF PLAN

ARCHITECT
BRICK
1755 PAPER MILL ROAD, SUITE 100
ANN ARBOR, MI 48106
508.560.0167

CLIENT
CANTON
1755 PAPER MILL ROAD, SUITE 100
ANN ARBOR, MI 48106

08/11/18 development residential 3
08/31/18 development residential 2
09/10/18 development schematic



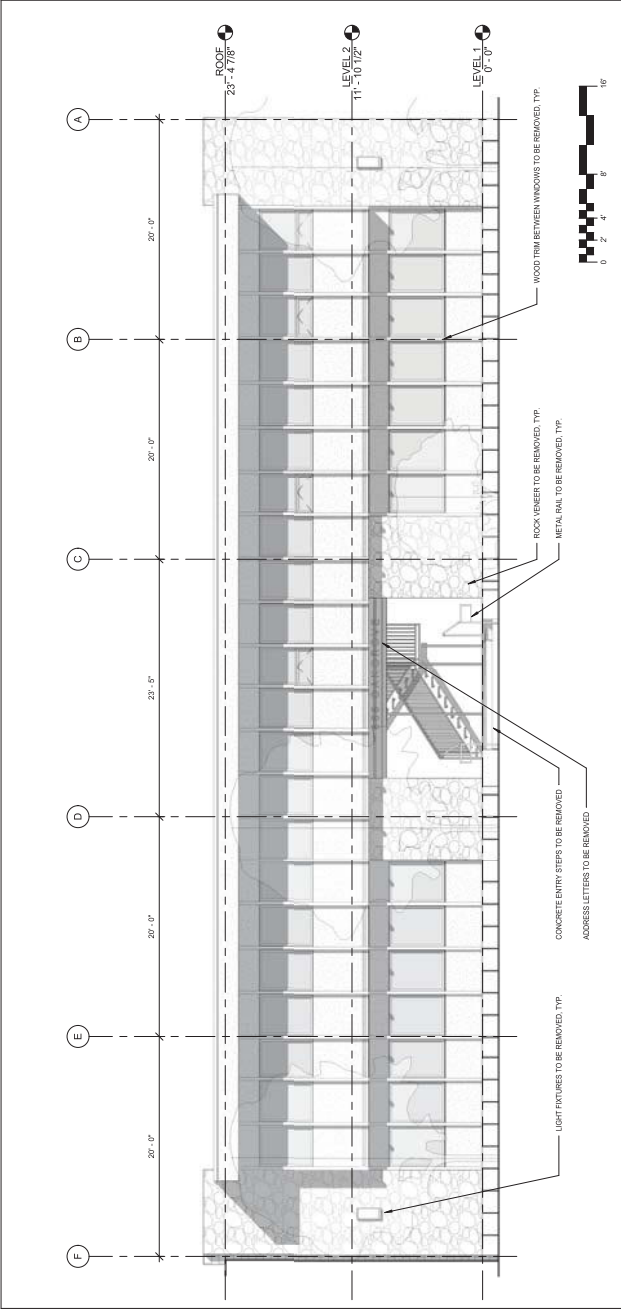
855 oak
grove

micro.park.ca
project number: 17-177

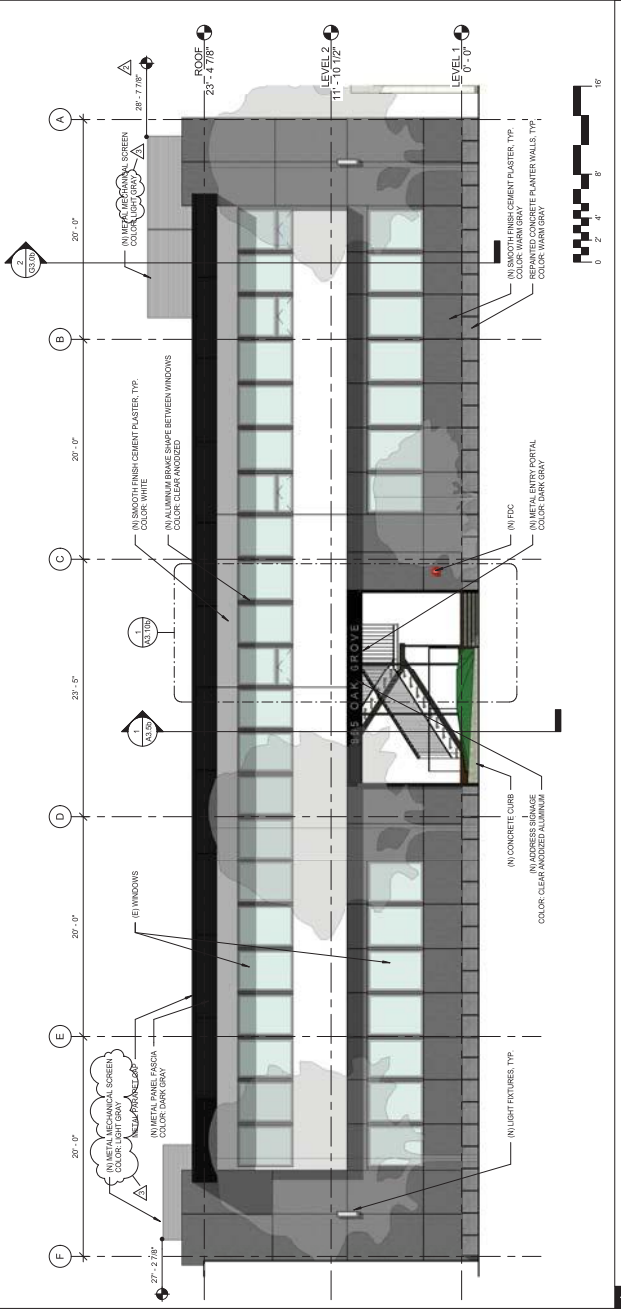
scale: as noted
date: 08/29/18

schematic design
EXTERIOR
ELEVATIONS

A3.1b



2 NORTHWEST ELEVATION - EXISTING 3/16" = 1'-0"

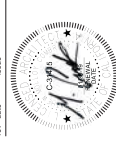


1 NORTHWEST ELEVATION - PROPOSED 3/16" = 1'-0"

ARCHITECT
BRICK
1000 West 17th Avenue, Suite 1
Aurora, CO 80013
303.556.0167

CLIENT
Schematic design
755 Park Hill Road, Suite 100
Park Hill, CO 80131

3 08/11/18 development residential 3
2 08/01/18 development residential 2
09/10/15 development residential
rev. date issue



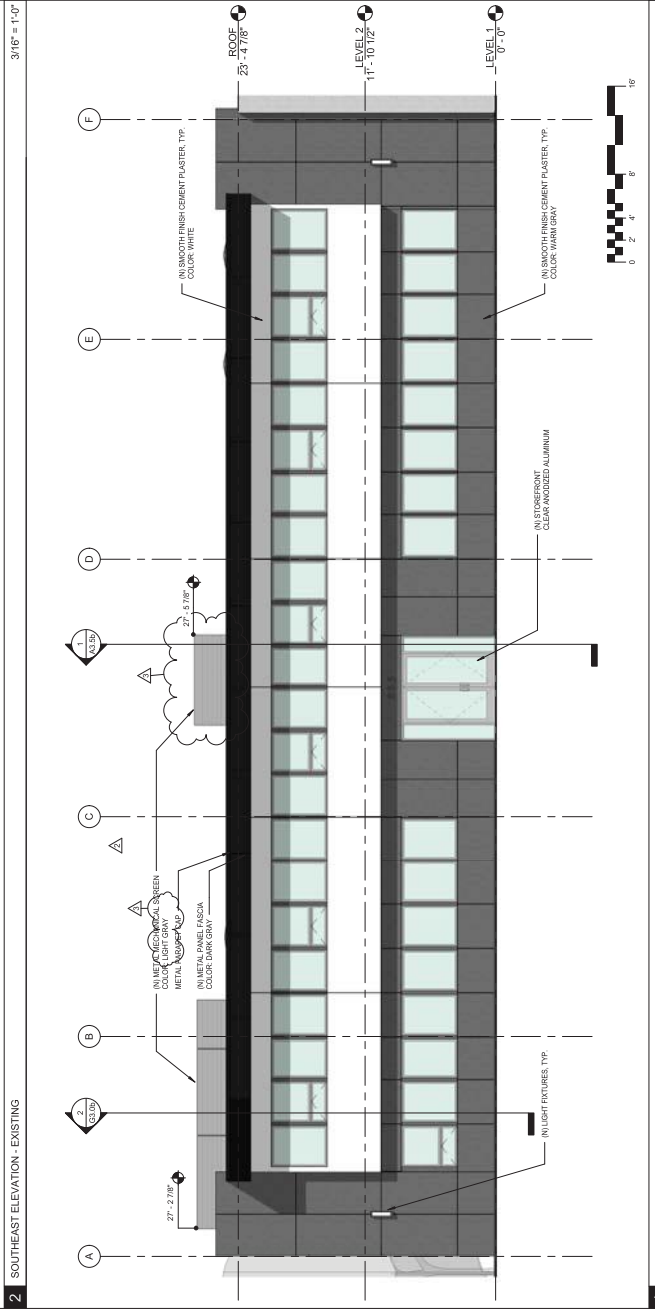
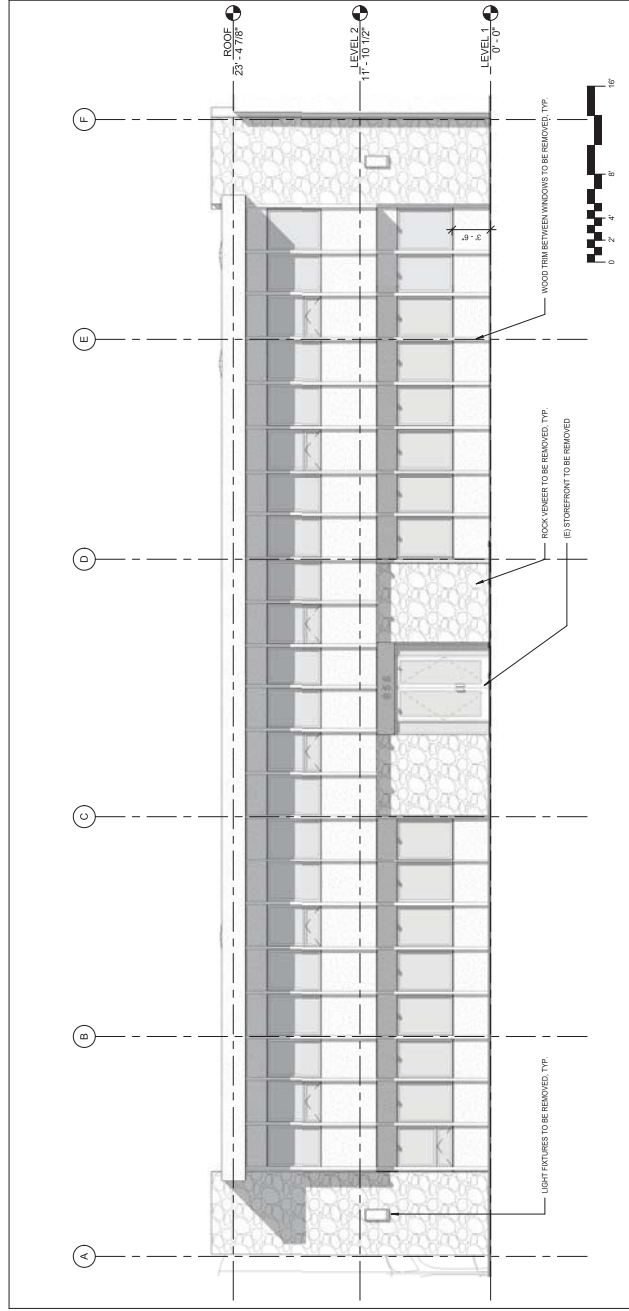
855 oak
grove

micro.park.ca
project number: 17-177

scale: as noted
date: 08/29/18

schematic design
EXTERIOR
ELEVATIONS

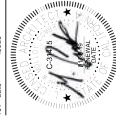
A3.2b



ARCHITECT
 BRICK ARCHITECTURE
 755 BAKER MILL ROAD, SUITE 100
 ANN ARBOR, MI 48106
 508.560.0167

CLIENT
 855 OAK GROVE
 755 BAKER MILL ROAD, SUITE 100
 ANN ARBOR, MI 48106

3 08/11/15 development revision 3
 03/12/15 development revision 2
 rev. DATE ISSUE



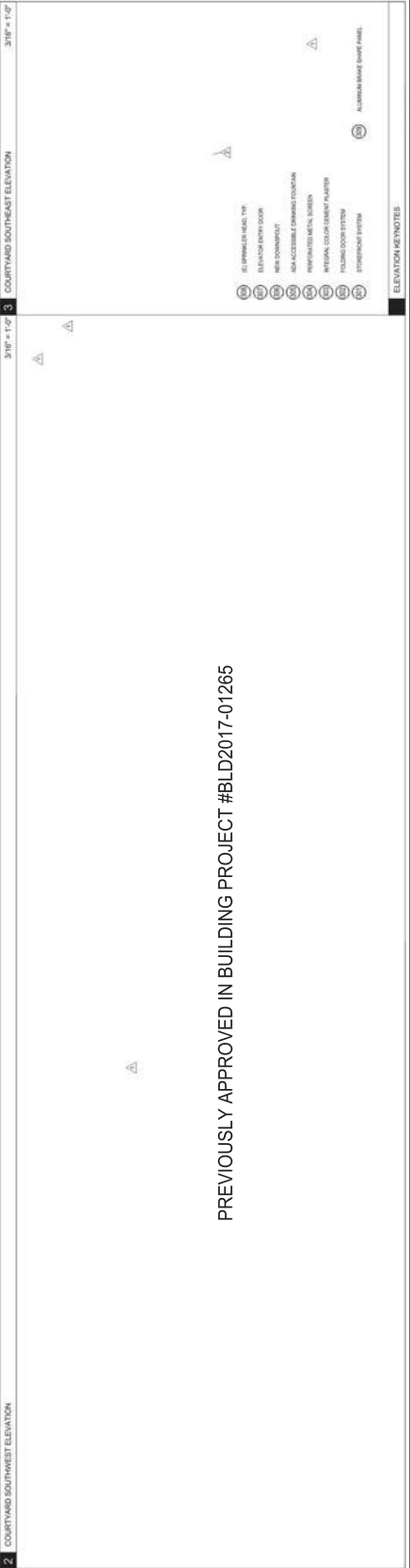
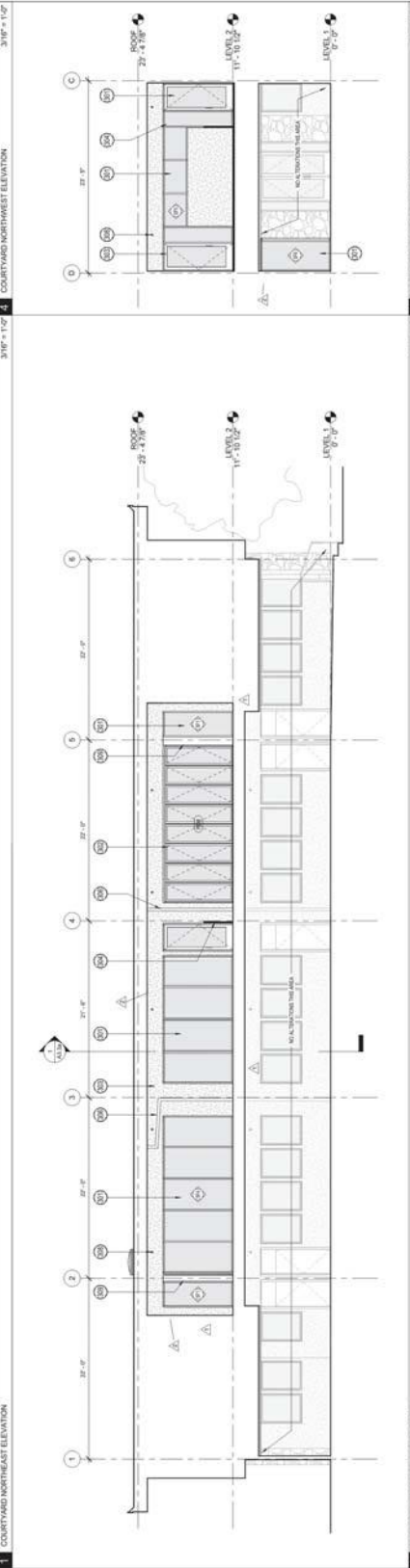
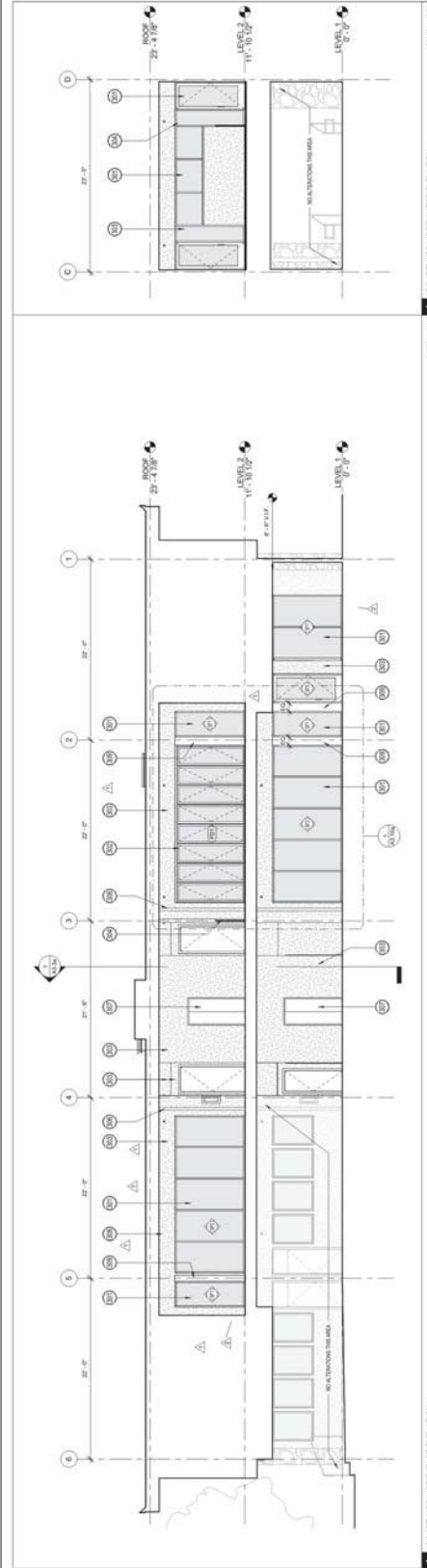
855 oak
 grove

micro.park.ca
 project number: 15-177

scale: as noted
 date: 08/29/15

schematic design
 EXISTING
 COURTYARD
 ELEVATIONS

A3.3b



PREVIOUSLY APPROVED IN BUILDING PROJECT #BLD2017-01265

- 16 SPRINKLER HEAD TYPE
 - 17 ELEVATION ENTRY DOOR
 - 18 NEW DOWNPOUT
 - 19 ADA ACCESSIBLE CHANGING ROOM
 - 20 IMPROVED METAL SCREEN
 - 21 IMPROVED GLASS ENTRY DOOR
 - 22 POLYMER COOR SYSTEM
 - 23 EXISTING METAL
- ELEVATION KEYNOTES

ARCHITECT
BRICK
1000 Broadway, Suite 1
Aurora, CO 80018
503.516.0167

CLIENT
The properties
of Brick Architecture
755 14th Street, Suite 14-100
Aurora, CO 80014

3 08/11/19 development revision 3
03/12/19 development revision 2
rev. DATE ISSUE



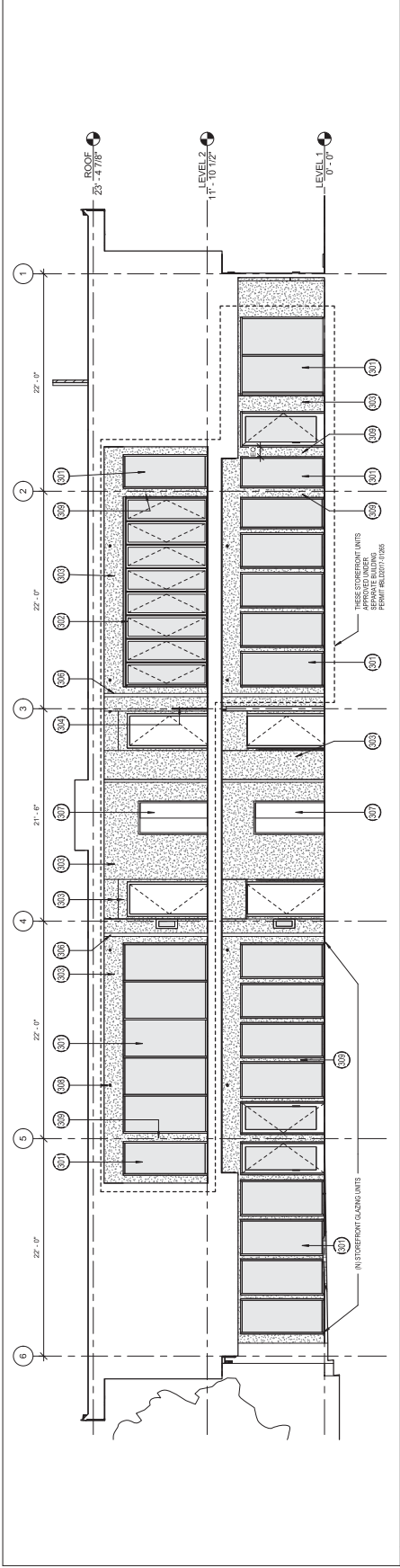
855 oak
grove

micro.park.ca
project number: 12-177

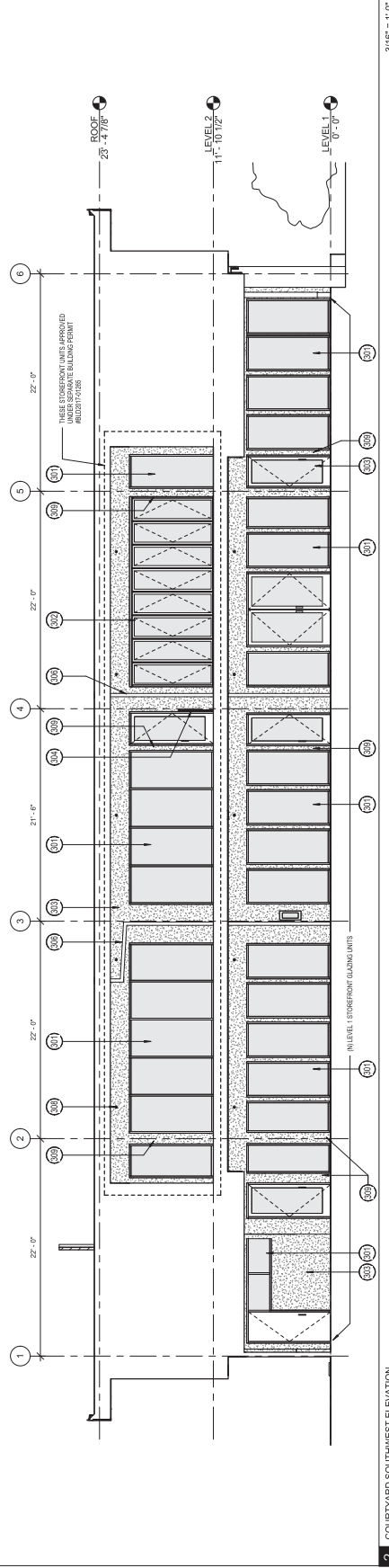
scale: as noted
date: 08/29/18

schematic design
PROPOSED
COURTYARD
ELEVATIONS

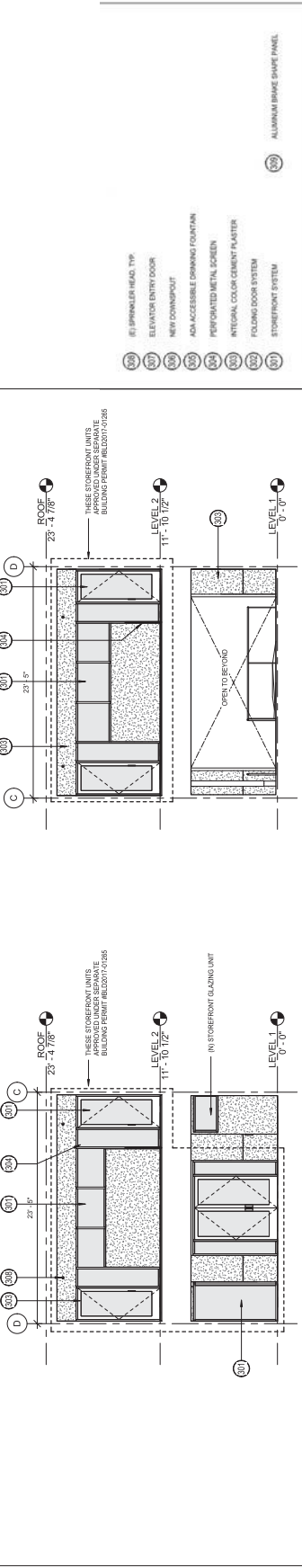
A3.4b



1 COURTYARD NORTHEAST ELEVATION 3/16" = 1'-0"



2 COURTYARD SOUTHWEST ELEVATION 3/16" = 1'-0"



3 COURTYARD SOUTHEAST ELEVATION 3/16" = 1'-0"

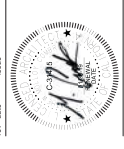
- 304 RE SPRINKLER HEAD, TYP.
- 305 ELEVATOR ENTRY DOOR
- 306 NEW DOWNPOUT
- 307 ADA ACCESSIBLE DRINKING FOUNTAIN
- 308 PERFORATED METAL SCREEN
- 309 INTEGRAL COLOR CEMENT PLASTER
- 310 FOLDING DOOR SYSTEM
- 311 STOREFRONT SYSTEM
- 312 ALUMINUM FRAME SHAPE PANEL

ELEVATION KEYNOTES

ARCHITECT
BRICK
1000 North Main Street
Ann Arbor, MI 48106
501.561.0167

CLIENT
Michigan State University
755 State Street, Suite 44-100
Ann Arbor, MI 48106

3 08/11/18 development residential 3
1 07/25/18 development residential
03/12/18 development schematic



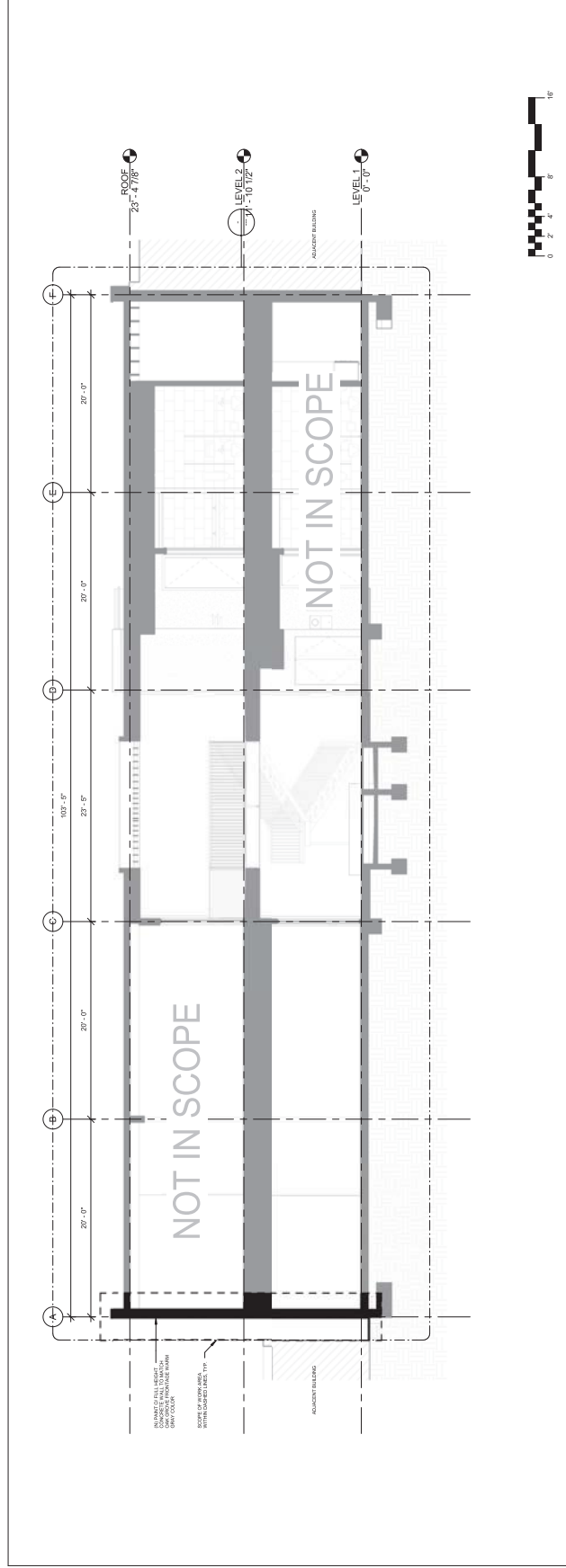
855 oak
grove

micro.park.ca
project number: 17-177

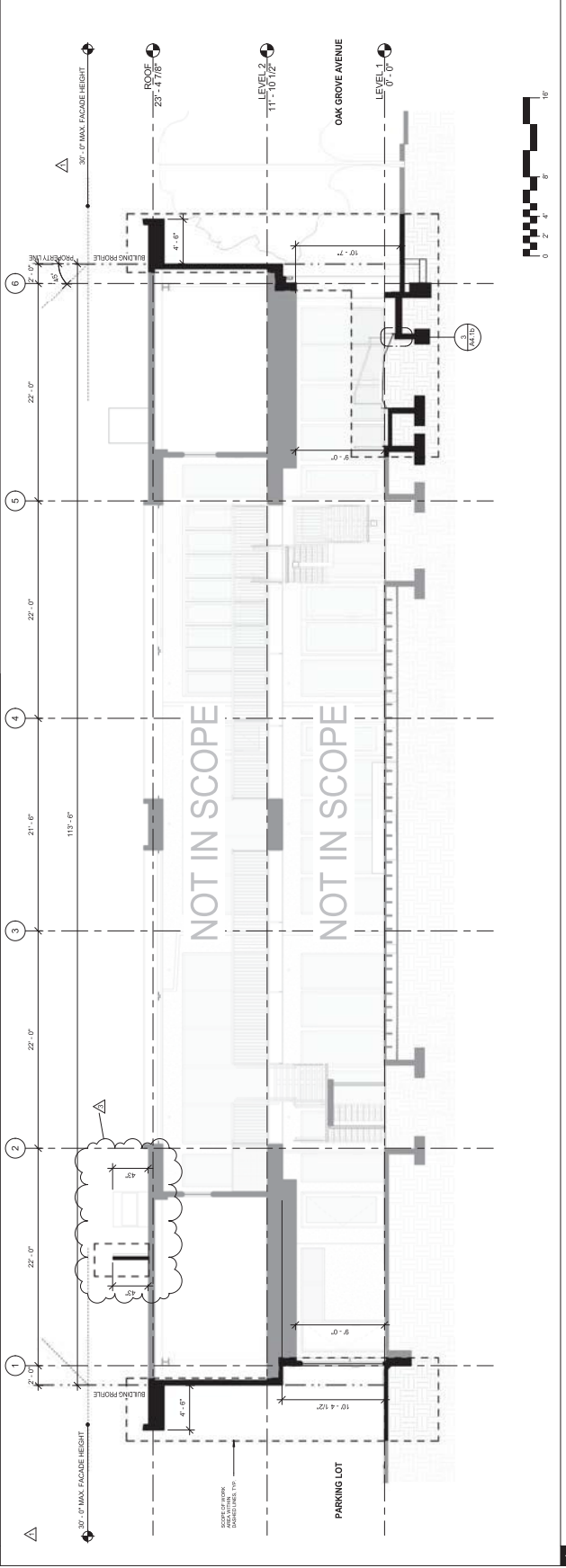
scale: as noted
date: 08/29/18

schematic design
BUILDING
SECTIONS

A3.5b



2 TRANSVERSE BUILDING SECTION 3/16" = 1'-0"



1 LONGITUDINAL BUILDING SECTION 3/16" = 1'-0"

ARCHITECT
 BRICK
 755 BROADWAY, SUITE 1
 BROOKLYN, NY 11211
 502.516.0167

CLIENT
 BRICK PROPERTIES
 755 BROADWAY, SUITE 101
 BROOKLYN, NY 11211

1 07/25/18 development residential
 03/12/19 development commercial
 rev. date issue



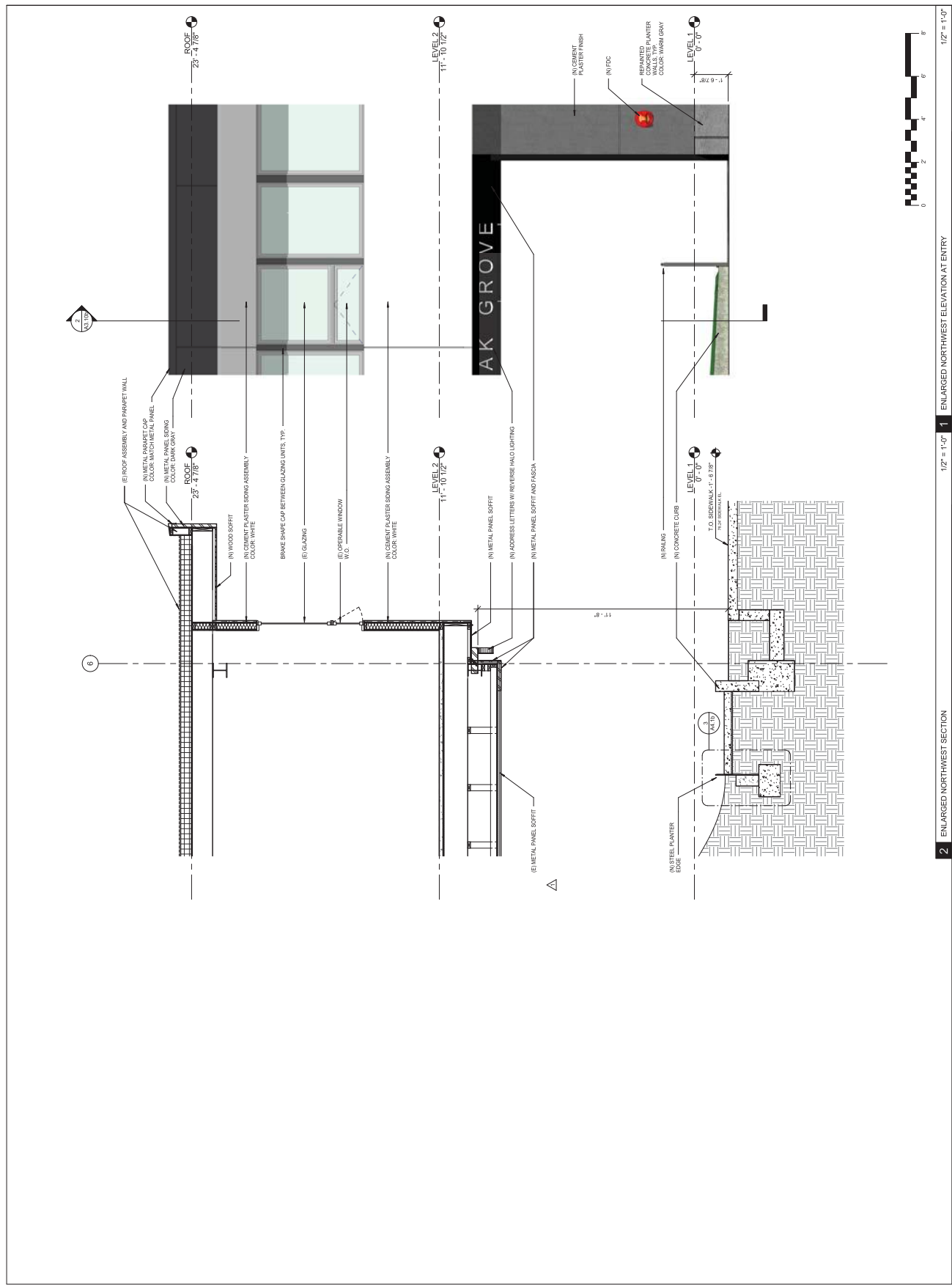
855 oak
 grove

project number: 12-177

scale: as noted
 date: 08/29/18

schematic design
 ENLARGED
 ELEVATION &
 SECTION

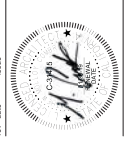
A3.10b



ARCHITECT
BRICK
1000 UNIVERSITY AVENUE, SUITE 1
ANN ARBOR, MI 48106
508.566.0167

CLIENT
BRICKWORK PROPERTIES
755 PARK MILL ROAD, SUITE 100
ANN ARBOR, MI 48106

3 08/11/15 development resolution 3
03/12/15 development approved
rev. date issue



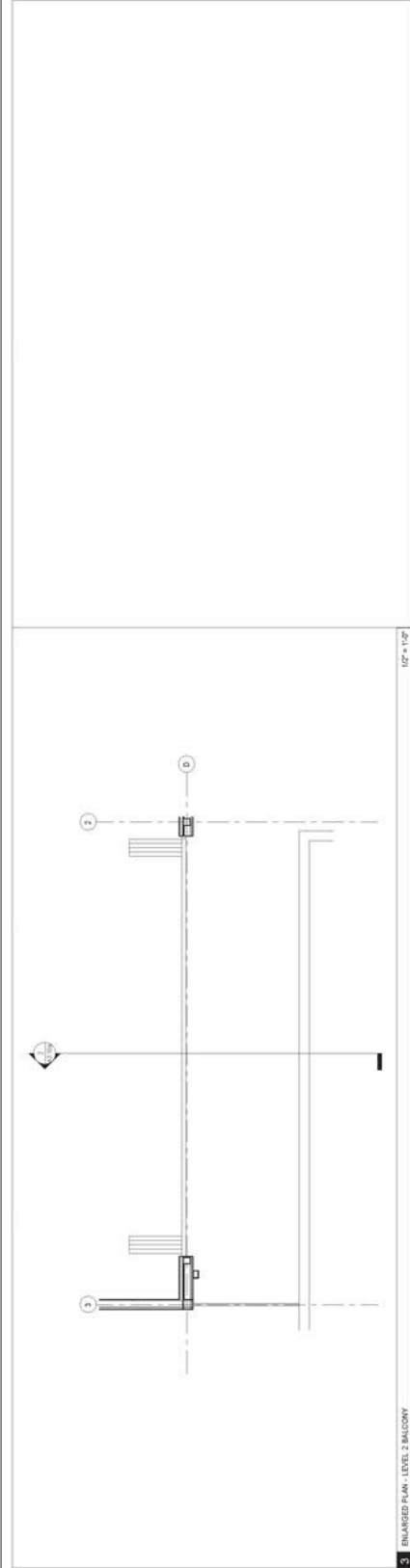
855 oak
grove

micro parks, ca
project number: 12-177

scale: as noted
date: 08/29/16

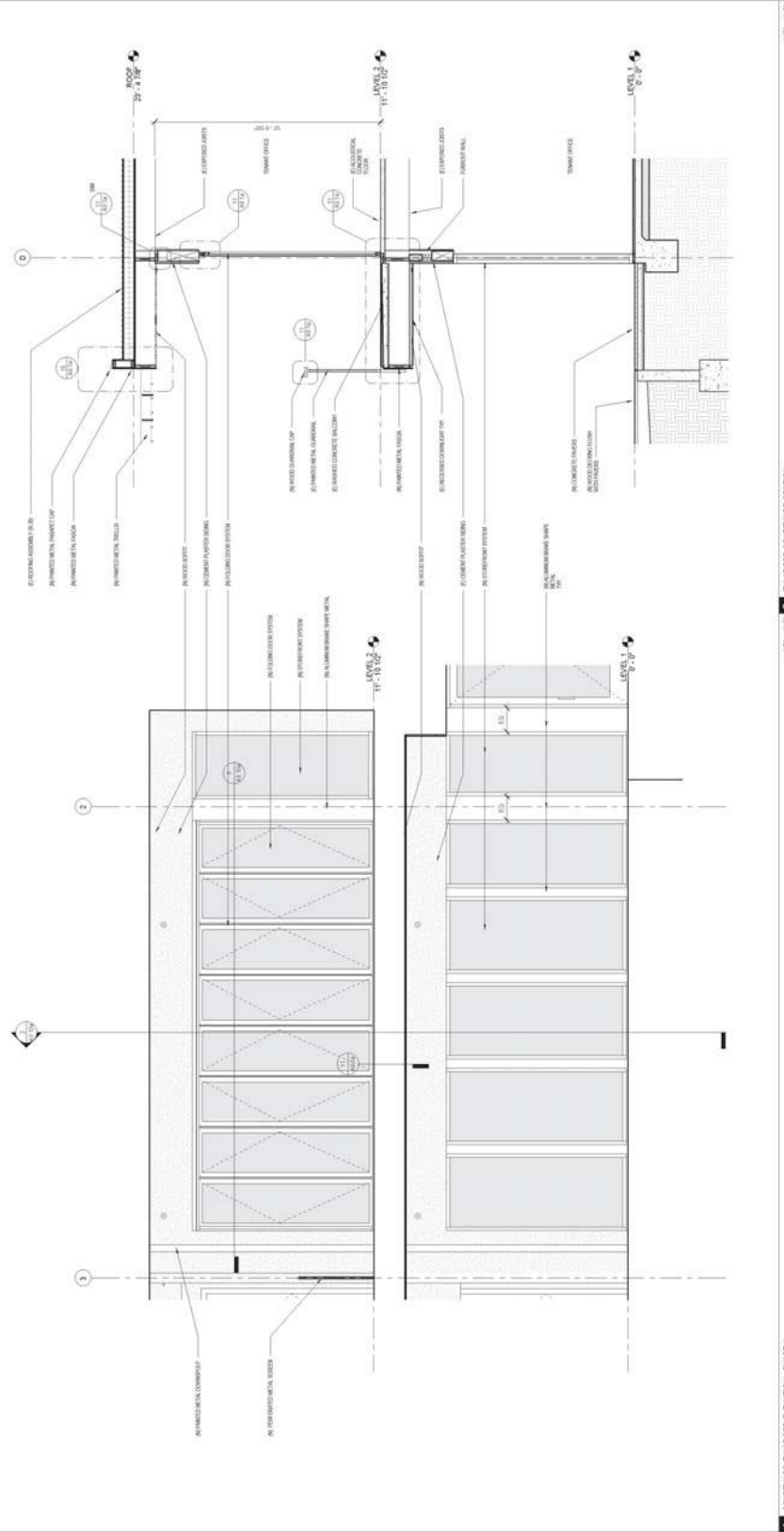
schematic design
ENLARGED
COURTYARD
ELEVATION AND
SECTION

A3.11b



1/2" = 1/4"

3 ENLARGED PLAN - LEVEL 2 BALCONY



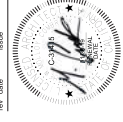
1/2" = 1/4"

1 COURTYARD ENLARGED ELEVATION - PHASE 1

ARCHITECT
BRICK
1000 17th Street, Suite 1
San Francisco, CA 94103
505.566.0167

CLIENT
www.855oakgrove.com
855 oak grove
755 Page Mill Road, Suite H-100
Palo Alto, CA 94304

1 07/25/18 development essential
03/12/19 development essential
rev date issue



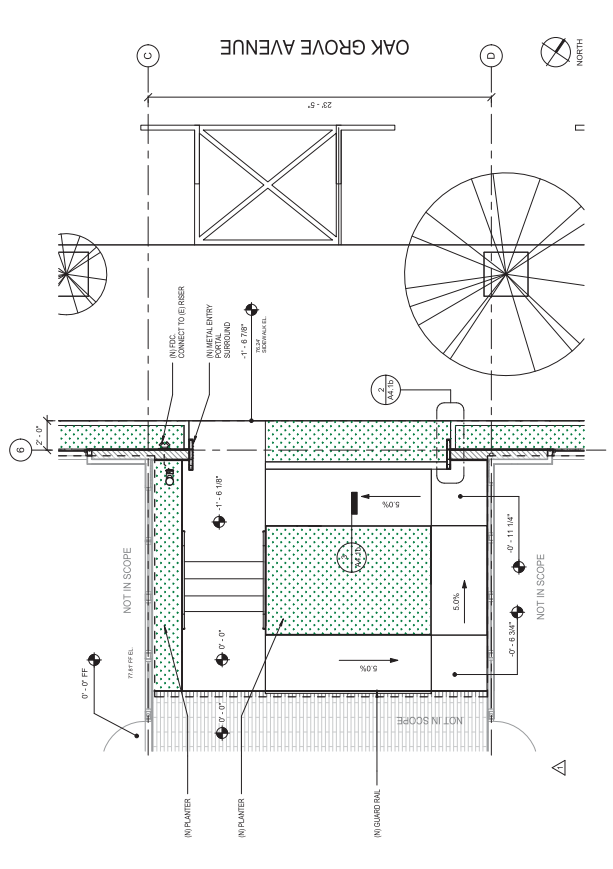
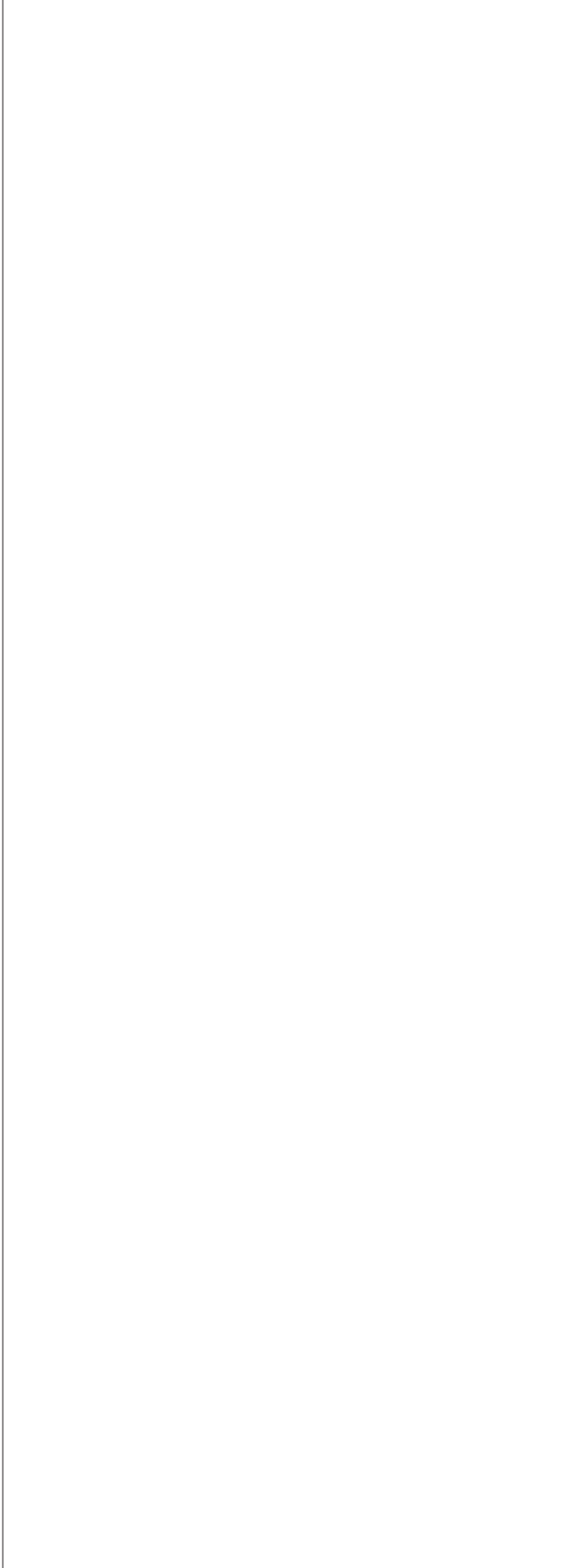
855 oak grove

micro park, ca
project number: 17-177

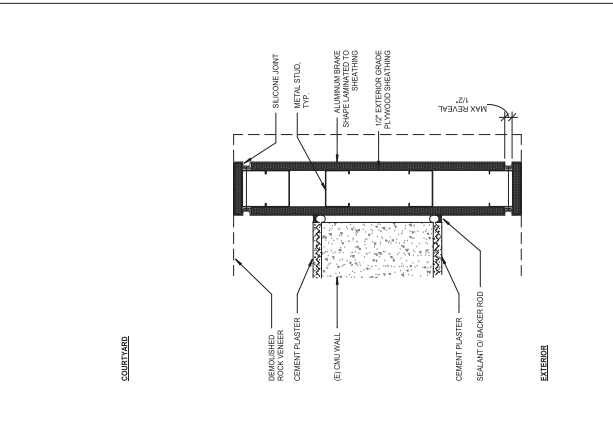
scale: as noted
date: 08/29/18

schematic design
ENLARGED PLANS AND DETAILS

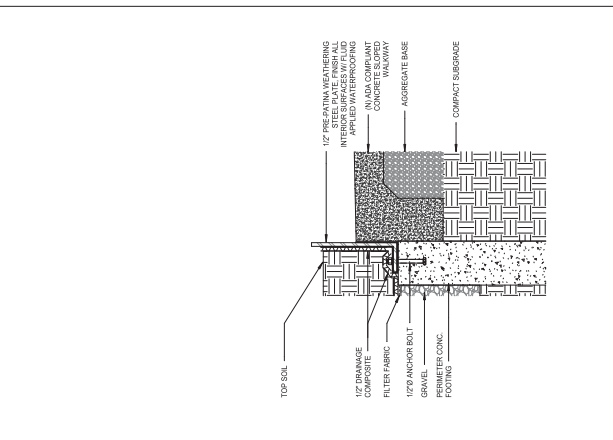
A4.1b



1/4" = 1'-0"



3" = 1'-0"



1 1/2" = 1'-0"

3 CORTEN PLANTER DETAIL @ CONCRETE AND PAVERS

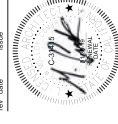
2 ENTRY STOREFRONT AND METAL PORTAL JAMB

1 COURTYARD GRADING AND DRAINAGE PLAN

ARCHITECT
BRCK
1000 West Park Ave, Suite 1
Ann Arbor, MI 48106
508.566.0167

CLIENT
University of Michigan
750 Page Mill Road, Suite H-100
Palo Alto, CA 94304

3 08/11/15 development revision 3
03/12/15 development revision 2
rev. date: 8/24/15



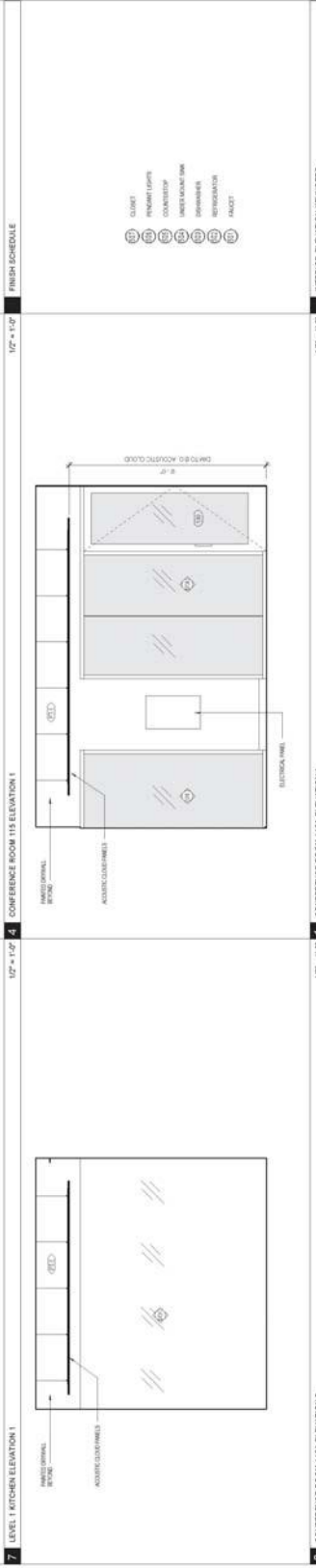
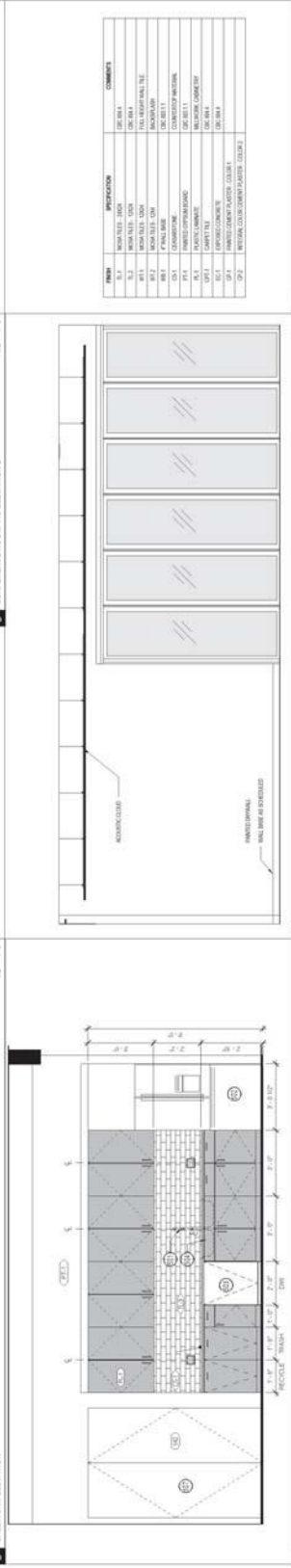
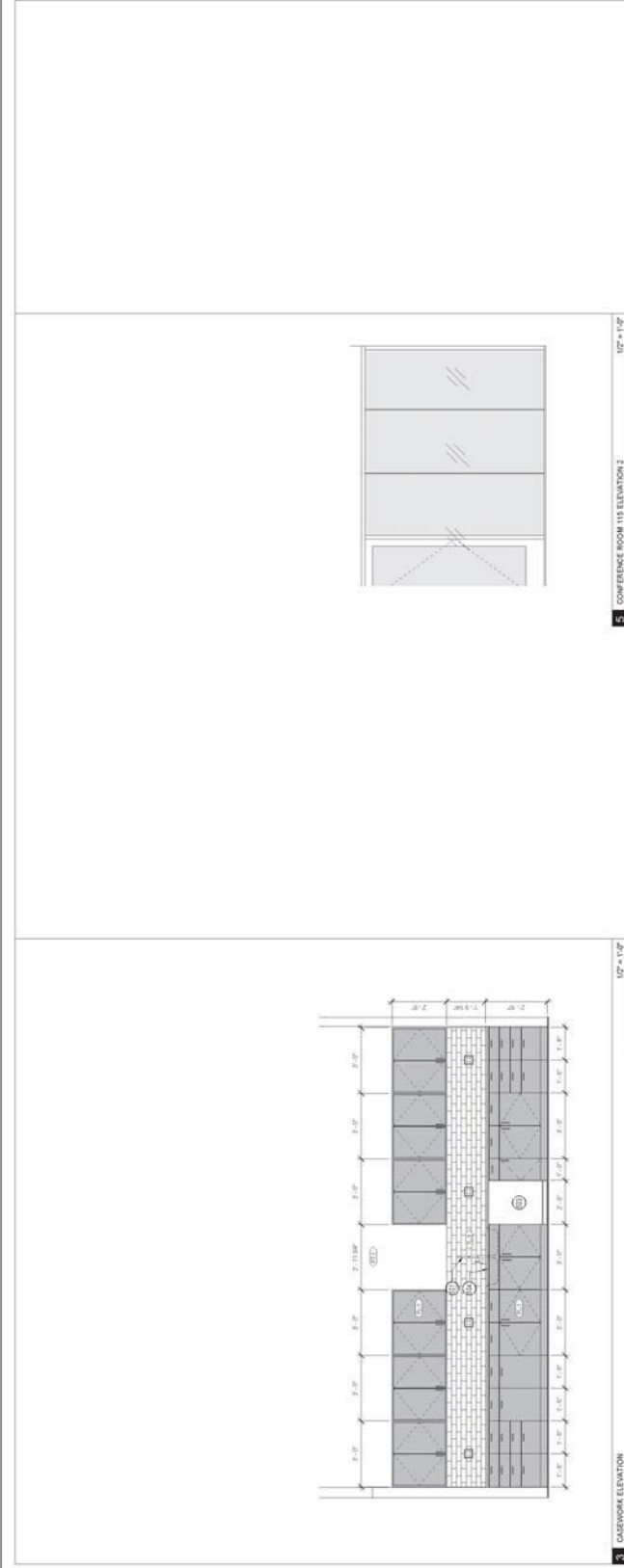
855 oak
grove

micro.park.29
project number: 15-177

scale: as noted
date: 08/23/15

schematic design
INTERIOR
ELEVATIONS

A5.1b



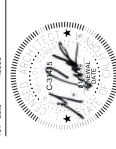
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SL-11	WOOD PANEL, OAK	OS-004.1	
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- 101 CLINET
- 102 FINISH LIGHTS
- 103 COUNTERTOP
- 104 INTERIUMARK MARK
- 105 HORIZONTAL
- 106 REFRIGERATOR
- 107 HAZOT

ARCHITECT
 BRCK
 755 PAPER MILL ROAD, SUITE 100
 ANIMAS VALLE, CA 94008
 510.516.0167

CLIENT
 www.mimobank.com
 755 PAPER MILL ROAD, SUITE 100
 ANIMAS VALLE, CA 94008
 510.516.0167

001215 development submittal
 rev. date issue



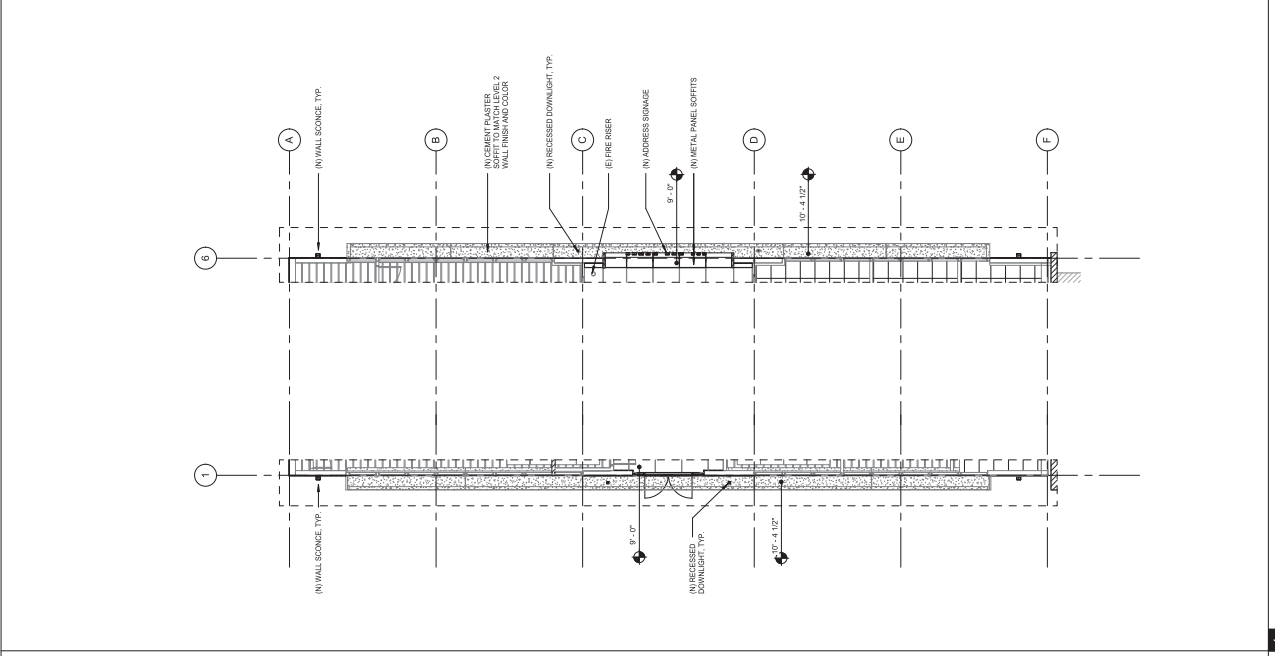
855 oak
 grove

mimobank.ca
 project number: 15177

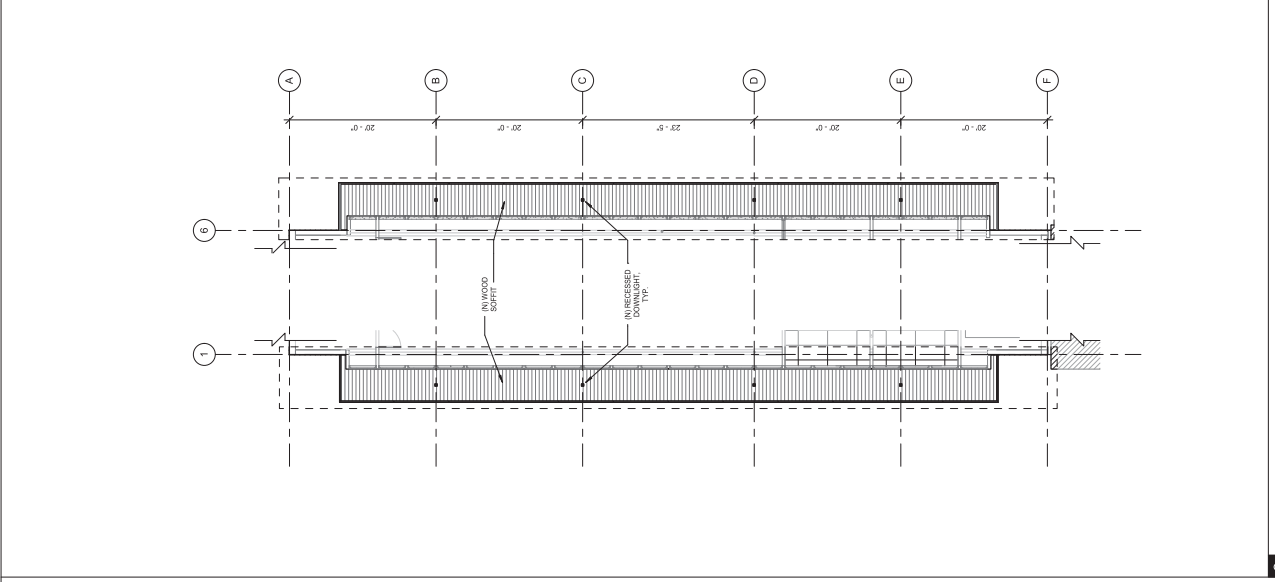
scale: as noted
 date: 08/29/18

schematic design
 REFLECTED
 CEILING PLANS

A6.1b



1 LEVEL 1 REFLECTED CEILING PLAN 1/8" = 1'-0"



2 LEVEL 2 REFLECTED CEILING PLAN 1/8" = 1'-0"

855 OAK GROVE AVENUE

PROJECT DESCRIPTION

855 Oak Grove is located on a 11,998 square foot (0.28 acre) parcel of land on Oak Grove Avenue, one block NorthWest of Santa Cruz Avenue. The Assessor's Parcel Number (APN) is 071-092-280 and the zoning designation is SP-ECR/D. The proposed project is the renovation of an existing two-story structure. The scope of the renovation are updates and improvements to the building facades facing the street and parking plaza, as well as improvements to the street-facing building entry.

EXISTING CONDITIONS

The existing structure is a two-story, 18,606 square foot, non-conforming office building with ground-level courtyard. The existing structure is a mixture of concrete block, steel, and wood frame construction. The building facades are composed of cement plaster and volcanic rock veneer, with painted concrete planters along the sidewalk. Building fenestration is a consistent row of aluminum, single-unit windows roughly 42 inches above finish floor, separated by painted 4x4 wood trim. The second floor overhangs the first floor exterior wall by roughly 24 inches on the ends of the building. The roof eave overhangs the second floor exterior walls roughly 6 feet toward the street and parking plaza. The building floor plans have multiple, single-story tenant units around a common outdoor courtyard at the ground level or balcony at the second floor level, with prefabricated concrete and steel stairs on both ends. Above, the roof structure has two openings to allow natural light into this outdoor space.

The finish floor of the building is roughly 18 inches above the sidewalk, and is accessed from a 2-riser stair and gently sloping concrete hardscape. The courtyard is composed of various in-ground planters. A concrete and mosaic tile planter and (non-functioning) fountain sits in the center of this area. Facing the courtyard, ground floor tenant units have a similar fenestration scheme as the building exterior facades. A recent tenant improvement installed storefront and folding-door systems on the second floor. Exterior walls facing the courtyard are also cement plaster.

PROPOSED PROJECT

The proposed project is an improvement to the building facades and building entry, as well as improvements to the courtyard hardscape and landscape to accommodate accessibility codes and standards. The proposed project will also retain the modern massing, style, and material composition of the existing building, apart from the building entry redesign. Though the existing structure exceeds the allowable floor area ratio described in the Specific Plan, no additional floor area or building coverage is proposed. Where previously a handicapped user was forced to enter the building from the rear, the proposed improvements to the front building entry are designed to conform to modern accessibility codes and standards.

The rock veneer and protruding wood trim between windows will be removed, and replaced with warm grey or white cement plaster. The roof eave soffits and fascia will be replaced with natural wood siding.

brick, inc.
1266 66th street, suite 1
emeryville, ca 94608
510.516.0167
www.brick-inc.com

The proposed building front entry design will replace the existing, non-accessible condition, with a sloped walk and stair surrounded by generous planters. A metal panel soffit and metal entry portal at the sidewalk will frame the courtyard from the street.

The courtyard hardscape will also be improved, removing the sloped exposed-aggregate concrete paving and stairs with an ADA-compliant building entry walkway.

Existing rooftop mechanical equipment will all remain, but will be screened from view with a new, fully opaque metal screen in various locations where this equipment was previously visible from the public right-of-way. The heights of these screens are to match the height of the mechanical units.

Adjacent properties at 845 Oak Grove and 859 Oak Grove have been contacted and informed about the proposed project.

855 Oak Grove, Menlo Park CA 94025

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: Project Compliance Worksheet

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: Project Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.1 Development Intensity			
E.3.1.01	Standard	Business and Professional office (inclusive of medical and dental office) shall not exceed one half of the base FAR or public benefit bonus FAR, whichever is applicable.	Existing Nonconforming Office Use Lot area = 11,998 SF FAR max general office = 1.0 Existing Area = 18,990 SF
E.3.1.02	Standard	Medical and Dental office shall not exceed one third of the base FAR or public benefit bonus FAR, whichever is applicable.	N/A - No medical or dental offices.
E.3.2 Height			
E.3.2.01	Standard	Roof-mounted mechanical equipment, solar panels, and similar equipment may exceed the maximum building height, but shall be screened from view from publicly-accessible spaces.	No new roof equipment is proposed. Roof work is not in the project scope and mechanical screening is not proposed.
E.3.2.02	Standard	Vertical building projections such as parapets and balcony railings may extend up to 4 feet beyond the maximum façade height or the maximum building height, and shall be integrated into the design of the building.	Proposed facade improvements will not exceed this projection limit.
E.3.2.03	Standard	Rooftop elements that may need to exceed the maximum building height due to their function, such as stair and elevator towers, shall not exceed 14 feet beyond the maximum building height. Such rooftop elements shall be integrated into the design of the building.	N/A - No new stair or elevator towers.
E.3.3 Setbacks and Projections within Setbacks			
E.3.3.01	Standard	Front setback areas shall be developed with sidewalks, plazas, and/or landscaping as appropriate.	N/A - No setback.
E.3.3.02	Standard	Parking shall not be permitted in front setback areas.	N/A - No parking.
E.3.3.03	Standard	In areas where no or a minimal setback is required, limited setback for store or lobby entry recesses shall not exceed a maximum of 4-foot depth and a maximum of 6-foot width.	N/A - Entry to building is not to a store or lobby.
E.3.3.04	Standard	In areas where no or a minimal setback is required, building projections, such as balconies, bay windows and dormer windows, shall not project beyond a maximum of 3 feet from the building face into the sidewalk clear walking zone, public right-of-way or public spaces, provided they have a minimum 8-foot vertical clearance above the sidewalk clear walking zone, public right-of-way or public space.	N/A - No building projections over the public right-of-way.

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: Project Compliance Worksheet

Section	Standard or Guideline	Requirement	Evaluation
E.3.3.05	Standard	In areas where setbacks are required, building projections, such as balconies, bay windows and dormer windows, at or above the second habitable floor shall not project beyond a maximum of 5 feet from the building face into the setback area.	N/A - No setback.
E.3.3.06	Standard	The total area of all building projections shall not exceed 35% of the primary building façade area. Primary building façade is the façade built at the property or setback line.	N/A - No building projections.
E.3.3.07	Standard	Architectural projections like canopies, awnings and signage shall not project beyond a maximum of 6 feet horizontally from the building face at the property line or at the minimum setback line. There shall be a minimum of 8-foot vertical clearance above the sidewalk, public right-of-way or public space.	Existing Level 2 roof eave projects over property line approx. 4'-6", proposed architectural improvements do not exceed this extent.
E.3.3.08	Standard	No development activities may take place within the San Francisquito Creek bed, below the creek bank, or in the riparian corridor.	N/A - project not in these locations.
E.3.4 Massing and Modulation			
E.3.4.1 Building Breaks			
E.3.4.1.01	Standard	The total of all building breaks shall not exceed 25 percent of the primary façade plane in a development.	N/A - building breaks prohibited in Downtown zoning district per Table E3.
E.3.4.1.02	Standard	Building breaks shall be located at ground level and extend the entire building height.	N/A - building breaks prohibited in Downtown zoning district per Table E3.
E.3.4.1.03	Standard	In all districts except the ECR-SE zoning district, recesses that function as building breaks shall have minimum dimensions of 20 feet in width and depth and a maximum dimension of 50 feet in width. For the ECR-SE zoning district, recesses that function as building breaks shall have a minimum dimension of 60 feet in width and 40 feet in depth.	N/A - building breaks prohibited in Downtown zoning district per Table E3.
E.3.4.1.04	Standard	Building breaks shall be accompanied with a major change in fenestration pattern, material and color to have a distinct treatment for each volume.	N/A - building breaks prohibited in Downtown zoning district per Table E3.
E.3.4.1.05	Standard	In all districts except the ECR-SE zoning district, building breaks shall be required as shown in Table E3.	N/A - building breaks prohibited in Downtown zoning district per Table E3.

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: Project Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.4.1.06	Standard	In the ECR-SE zoning district, and consistent with Table E4 the building breaks shall: <ul style="list-style-type: none"> • Comply with Figure E9; • Be a minimum of 60 feet in width, except where noted on Figure E9; • Be a minimum of 120 feet in width at Middle Avenue; • Align with intersecting streets, except for the area between Roble Avenue and Middle Avenue; • Be provided at least every 350 feet in the area between Roble Avenue and Middle Avenue; where properties under different ownership coincide with this measurement, the standard side setbacks (10 to 25 feet) shall be applied, resulting in an effective break of between 20 to 50 feet. • Extend through the entire building height and depth at Live Oak Avenue, Roble Avenue, Middle Avenue, Partridge Avenue and Harvard Avenue; and • Include two publicly-accessible building breaks at Middle Avenue and Roble Avenue. 	N/A - project not located in ECR-SE zoning district.
E.3.4.1.07	Standard	In the ECR-SE zoning district, the Middle Avenue break shall include vehicular access; publicly-accessible open space with seating, landscaping and shade; retail and restaurant uses activating the open space; and a pedestrian/bicycle connection to Alma Street and Burgess Park. The Roble Avenue break shall include publicly-accessible open space with seating, landscaping and shade.	N/A - project not located in ECR-SE zoning district.
E.3.4.1.08	Guideline	In the ECR-SE zoning district, the breaks at Live Oak, Roble, Middle, Partridge and Harvard Avenues may provide vehicular access.	N/A - project not located in ECR-SE zoning district.
E.3.4.2 Façade Modulation and Treatment			
E.3.4.2.01	Standard	Building façades facing public rights-of-way or public open spaces shall not exceed 50 feet in length without a minor building façade modulation. At a minimum of every 50' façade length, the minor vertical façade modulation shall be a minimum 2 feet deep by 5 feet wide recess or a minimum 2 foot setback of the building plane from the primary building façade.	N/A - the existing building massing will not be changed.

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: Project Compliance Worksheet

<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.4.2.02	Standard	Building façades facing public rights-of-way or public open spaces shall not exceed 100 feet in length without a major building modulation. At a minimum of every 100 feet of façade length, a major vertical façade modulation shall be a minimum of 6 feet deep by 20 feet wide recess or a minimum of 6 feet setback of building plane from primary building façade for the full height of the building. This standard applies to all districts except ECR NE-L and ECR SW since those two districts are required to provide a building break at every 100 feet.	N/A - the existing building massing will not be changed.
E.3.4.2.03	Standard	In addition, the major building façade modulation shall be accompanied with a 4-foot minimum height modulation and a major change in fenestration pattern, material and/or color.	N/A - the existing building massing will not be changed.
E.3.4.2.04	Guideline	Minor façade modulation may be accompanied with a change in fenestration pattern, and/or material, and/or color, and/or height.	N/A - the existing building massing will not be changed.
E.3.4.2.05	Guideline	Buildings should consider sun shading mechanisms, like overhangs, <i>bris soleils</i> and clerestory lighting, as façade articulation strategies.	N/A - the existing building massing will not be changed.
E.3.4.3 Building Profile			
E.3.4.3.01	Standard	The 45-degree building profile shall be set at the minimum setback line to allow for flexibility and variation in building façade height within a district.	The existing building massing will not be changed, but does not violate the building profile line.
E.3.4.3.02	Standard	Horizontal building and architectural projections, like balconies, bay windows, dormer windows, canopies, awnings, and signage, beyond the 45-degree building profile shall comply with the standards for Building Setbacks & Projection within Setbacks (E.3.3.04 to E.3.3.07) and shall be integrated into the design of the building.	The existing building massing will not be changed, nor are there existing or proposed building projections.
E.3.4.3.03	Standard	Vertical building projections like parapets and balcony railings shall not extend 4 feet beyond the 45-degree building profile and shall be integrated into the design of the building.	Proposed improvements will not exceed this projection limit.
E.3.4.3.04	Standard	Rooftop elements that may need to extend beyond the 45-degree building profile due to their function, such as stair and elevator towers, shall be integrated into the design of the building.	No new stair or elevator towers proposed. No rooftop elements extend beyond the building profile.
E.3.4.4 Upper Story Façade Length			
E.3.4.4.01	Standard	Building stories above the 38-foot façade height shall have a maximum allowable façade length of 175 feet along a public right-of-way or public open space.	N/A - Building does not exceed 38'

Menlo Park El Camino Real/Downtown Specific Plan
Standards and Guidelines: Project Compliance Worksheet

Section	Standard or Guideline	Requirement	Evaluation
E.3.5 Ground Floor Treatment, Entry and Commercial Frontage			
Ground Floor Treatment			
E.3.5.01	Standard	The retail or commercial ground floor shall be a minimum 15-foot floor-to-floor height to allow natural light into the space.	N/A - the existing building floor heights will not be changed.
E.3.5.02	Standard	Ground floor commercial buildings shall have a minimum of 50% transparency (i.e., clear-glass windows) for retail uses, office uses and lobbies to enhance the visual experience from the sidewalk and street. Heavily tinted or mirrored glass shall not be permitted.	N/A - the existing building glazing along public-facing building facades will not be changed. Tinted or mirrored glazing is not proposed.
E.3.5.03	Guideline	Buildings should orient ground-floor retail uses, entries and direct-access residential units to the street.	No retail or residential uses. Existing main entry is oriented to the street. Existing rear entry is oriented to the parking plaza.
E.3.5.04	Guideline	Buildings should activate the street by providing visually interesting and active uses, such as retail and personal service uses, in ground floors that face the street. If office and residential uses are provided, they should be enhanced with landscaping and interesting building design and materials.	Proposed main entry and facade improvements pay particular attention to entry portal landscaping and architectural features.
E.3.5.05	Guideline	For buildings where ground floor retail, commercial or residential uses are not desired or viable, other project-related uses, such as a community room, fitness center, daycare facility or sales center, should be located at the ground floor to activate the street.	N/A - the existing building use will not be changed.
E.3.5.06	Guideline	Blank walls at ground floor are discouraged and should be minimized. When unavoidable, continuous lengths of blank wall at the street should use other appropriate measures such as landscaping or artistic intervention, such as murals.	No extensive lengths of blank walls are proposed.
E.3.5.07	Guideline	Residential units located at ground level should have their floors elevated a minimum of 2 feet to a maximum of 4 feet above the finished grade sidewalk for better transition and privacy, provided that accessibility codes are met.	N/A - No residential use.
E.3.5.08	Guideline	Architectural projections like canopies and awnings should be integrated with the ground floor and overall building design to break up building mass, to add visual interest to the building and provide shelter and shade.	Architectural entry portal proposed at main entry.
Building Entries			

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.5.09	Standard	Building entries shall be oriented to a public street or other public space. For larger residential buildings with shared entries, the main entry shall be through prominent entry lobbies or central courtyards facing the street. From the street, these entries and courtyards provide additional visual interest, orientation and a sense of invitation.	Architectural entry portal proposed at main entry, which leads to a central courtyard.
E.3.5.10	Guideline	Entries should be prominent and visually distinctive from the rest of the façade with creative use of scale, materials, glazing, projecting or recessed forms, architectural details, color, and/or awnings.	Architectural entry portal proposed at main entry.
E.3.5.11	Guideline	Multiple entries at street level are encouraged where appropriate.	Existing building does not allow for multiple entries from the street.
E.3.5.12	Guideline	Ground floor residential units are encouraged to have their entrance from the street.	N/A - No residential use.
E.3.5.13	Guideline	Stoops and entry steps from the street are encouraged for individual unit entries when compliant with applicable accessibility codes. Stoops associated with landscaping create inviting, usable and visually attractive transitions from private spaces to the street.	N/A - No residential use.
E.3.5.14	Guideline	Building entries are allowed to be recessed from the primary building façade.	Main entry is recessed from main building façade.
Commercial Frontage			
E.3.5.15	Standard	Commercial windows/storefronts shall be recessed from the primary building façade a minimum of 6 inches	N/A - the existing building windows at facades facing public rights-of-way will not be changed.
E.3.5.16	Standard	Retail frontage, whether ground floor or upper floor, shall have a minimum 50% of the façade area transparent with clear vision glass, not heavily tinted or highly mirrored glass.	N/A - No retail use.
E.3.5.17	Guideline	Storefront design should be consistent with the building's overall design and contribute to establishing a well-defined ground floor for the façade along streets.	N/A – no storefronts are proposed along the street. Storefronts facing the courtyard will match the existing second level.
E.3.5.18	Guideline	The distinction between individual storefronts, entire building façades and adjacent properties should be maintained.	N/A – no storefronts are proposed along the street.
E.3.5.19	Guideline	Storefront elements such as windows, entrances and signage should provide clarity and lend interest to the façade.	N/A - Existing building windows will not be changed.
E.3.5.20	Guideline	Individual storefronts should have clearly defined bays. These bays should be no greater than 20 feet in length. Architectural elements, such as piers, recesses and projections help articulate bays.	N/A – no storefronts are proposed along the street.

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Section	Standard or Guideline	Requirement	Evaluation
E.3.5.21	Guideline	All individual retail uses should have direct access from the public sidewalk. For larger retail tenants, entries should occur at lengths at a maximum at every 50 feet, consistent with the typical lot size in downtown.	N/A - No retail use.
E.3.5.22	Guideline	Recessed doorways for retail uses should be a minimum of two feet in depth. Recessed doorways provide cover or shade, help identify the location of store entrances, provide a clear area for out-swinging doors and offer the opportunity for interesting paving patterns, signage and displays.	N/A - No retail use.
E.3.5.23	Guideline	Storefronts should remain un-shuttered at night and provide clear views of interior spaces lit from within. If storefronts must be shuttered for security reasons, the shutters should be located on the inside of the store windows and allow for maximum visibility of the interior.	Shutters not proposed. Proposed storefront at main entry portal designed to be as transparent as possible.
E.3.5.24	Guideline	Storefronts should not be completely obscured with display cases that prevent customers and pedestrians from seeing inside.	No display cases proposed.
E.3.5.25	Guideline	Signage should not be attached to storefront windows.	No signage proposed to be attached to storefront windows.
E.3.6 Open Space			
E.3.6.01	Standard	Residential developments or Mixed Use developments with residential use shall have a minimum of 100 square feet of open space per unit created as common open space or a minimum of 80 square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of 6 feet by 6 feet. In case of a mix of private and common open space, such common open space shall be provided at a ratio equal to 1.25 square feet for each one square foot of private open space that is not provided.	N/A - No residential use.
E.3.6.02	Standard	Residential open space (whether in common or private areas) and accessible open space above parking podiums up to 16 feet high shall count towards the minimum open space requirement for the development.	N/A - No residential use.
E.3.6.03	Guideline	Private and/or common open spaces are encouraged in all developments as part of building modulation and articulation to enhance building façade.	N/A - the existing building massing / open space will not be changed.
E.3.6.04	Guideline	Private development should provide accessible and usable common open space for building occupants and/or the general public.	Open space provided for building tenants in courtyard.

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Section	Standard or Guideline	Requirement	Evaluation
E.3.6.05	Guideline	For residential developments, private open space should be designed as an extension of the indoor living area, providing an area that is usable and has some degree of privacy.	N/A - No residential use.
E.3.6.06	Guideline	Landscaping in setback areas should define and enhance pedestrian and open space areas. It should provide visual interest to streets and sidewalks, particularly where building façades are long.	N/A - No setbacks.
E.3.6.07	Guideline	Landscaping of private open spaces should be attractive, durable and drought-resistant.	Landscaping to be attractive, durable, and drought-resistant.
E.3.7 Parking, Service and Utilities			
General Parking and Service Access			
E.3.7.01	Guideline	The location, number and width of parking and service entrances should be limited to minimize breaks in building design, sidewalk curb cuts and potential conflicts with streetscape elements.	N/A - No parking or vehicle access to site.
E.3.7.02	Guideline	In order to minimize curb cuts, shared entrances for both retail and residential use are encouraged. In shared entrance conditions, secure access for residential parking should be provided.	N/A - No retail or residential use.
E.3.7.03	Guideline	When feasible, service access and loading docks should be located on secondary streets or alleys and to the rear of the building.	N/A - No vehicle access to site.
E.3.7.04	Guideline	The size and pattern of loading dock entrances and doors should be integrated with the overall building design.	N/A - No parking or vehicle access to site.
E.3.7.05	Guideline	Loading docks should be screened from public ways and adjacent properties to the greatest extent possible. In particular, buildings that directly adjoin residential properties should limit the potential for loading-related impacts, such as noise. Where possible, loading docks should be internal to the building envelope and equipped with closable doors. For all locations, loading areas should be kept clean.	N/A - No parking or vehicle access to site.
E.3.7.06	Guideline	Surface parking should be visually attractive, address security and safety concerns, retain existing mature trees and incorporate canopy trees for shade. See Section D.5 for more complete guidelines regarding landscaping in parking areas.	N/A - No parking.
Utilities			
E.3.7.07	Guideline	All utilities in conjunction with new residential and commercial development should be placed underground.	N/A - The existing building utilities will not be changed.

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Section	Standard or Guideline	Requirement	Evaluation
E.3.7.08	Guideline	Above ground meters, boxes and other utility equipment should be screened from public view through use of landscaping or by integrating into the overall building design.	Utilities located along public right-of-way to be screened from view.
Parking Garages			
E.3.7.09	Standard	To promote the use of bicycles, secure bicycle parking shall be provided at the street level of public parking garages. Bicycle parking is also discussed in more detail in Section F.5 "Bicycle Storage Standards and Guidelines."	N/A - No bike storage to be proposed.
E.3.7.10	Guideline	Parking garages on downtown parking plazas should avoid monolithic massing by employing change in façade rhythm, materials and/or color.	N/A – No parking garage proposed in this project, occupants to use adjacent existing parking plaza and street parking.
E.3.7.11	Guideline	To minimize or eliminate their visibility and impact from the street and other significant public spaces, parking garages should be underground, wrapped by other uses (i.e. parking podium within a development) and/or screened from view through architectural and/or landscape treatment.	N/A – No parking garage proposed in this project, occupants to use adjacent existing parking plaza and street parking.
E.3.7.12	Guideline	Whether free-standing or incorporated into overall building design, garage façades should be designed with a modulated system of vertical openings and pilasters, with design attention to an overall building façade that fits comfortably and compatibly into the pattern, articulation, scale and massing of surrounding building character.	N/A – No garage or parking proposed in this project.
E.3.7.13	Guideline	Shared parking is encouraged where feasible to minimize space needs, and it is effectively codified through the plan's off-street parking standards and allowance for shared parking studies.	N/A – No parking garage proposed in this project, occupants to use adjacent existing parking plaza and street parking.
E.3.7.14	Guideline	A parking garage roof should be approached as a usable surface and an opportunity for sustainable strategies, such as installment of a green roof, solar panels or other measures that minimize the heat island effect.	N/A – No parking garage or roof of parking garage proposed in this project, occupants to use adjacent existing parking plaza and street parking.
E.3.8 Sustainable Practices			
Overall Standards			
E.3.8.01	Standard	Unless the Specific Plan area is explicitly exempted, all citywide sustainability codes or requirements shall apply.	Understood, the proposed project shall comply to all citywide sustainability code and requirements, unless explicitly exempted.
Overall Guidelines			
E.3.8.02	Guideline	Because green building standards are constantly evolving, the requirements in this section should be reviewed and updated on a regular basis of at least every two years.	Understood. Green building standards will be reviewed and updated on a regular basis.
Leadership in Energy and Environmental Design (LEED) Standards			

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Section	Standard or Guideline	Requirement	Evaluation
E.3.8.03	Standard	<p>Development shall achieve LEED certification, at Silver level or higher, or a LEED Silver equivalent standard for the project types listed below. For LEED certification, the applicable standards include LEED New Construction; LEED Core and Shell; LEED New Homes; LEED Schools; and LEED Commercial Interiors. Attainment shall be achieved through LEED certification or through a City-approved outside auditor for those projects pursuing a LEED equivalent standard. The requirements, process and applicable fees for an outside auditor program shall be established by the City and shall be reviewed and updated on a regular basis.</p> <p>LEED certification or equivalent standard, at a Silver level or higher, shall be required for:</p> <ul style="list-style-type: none"> • Newly constructed residential buildings of Group R (single-family, duplex and multi-family); • Newly constructed commercial buildings of Group B (occupancies including among others office, professional and service type transactions) and Group M (occupancies including among others display or sale of merchandise such as department stores, retail stores, wholesale stores, markets and sales rooms) that are 5,000 gross square feet or more; • New first-time build-outs of commercial interiors that are 20,000 gross square feet or more in buildings of Group B and M occupancies; and • Major alterations that are 20,000 gross square feet or more in existing buildings of Group B, M and R occupancies, where interior finishes are removed and significant upgrades to structural and mechanical, electrical and/or plumbing systems are proposed. <p>All residential and/or mixed use developments of sufficient size to require LEED certification or equivalent standard under the Specific Plan shall install one dedicated electric vehicle/plug-in hybrid electric vehicle recharging station for every 20 residential parking spaces provided. Per the Climate Action Plan the complying applicant could receive incentives, such as streamlined permit processing, fee discounts, or design templates.</p>	N/A - Proposed project is less than 20,000 SF.

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Section	Standard or Guideline	Requirement	Evaluation
Leadership in Energy and Environmental Design (LEED) Guidelines			
E.3.8.04	Guideline	<p>The development of larger projects allows for more comprehensive sustainability planning and design, such as efficiency in water use, stormwater management, renewable energy sources and carbon reduction features. A larger development project is defined as one with two or more buildings on a lot one acre or larger in size. Such development projects should have sustainability requirements and GHG reduction targets that address neighborhood planning, in addition to the sustainability requirements for individual buildings (See Standard E.3.8.03 above). These should include being certified or equivalently verified at a LEED-ND (neighborhood development), Silver level or higher, and mandating a phased reduction of GHG emissions over a period of time as prescribed in the 2030 Challenge.</p> <p>The sustainable guidelines listed below are also relevant to the project area. They relate to but do not replace LEED certification or equivalent standard rating requirements.</p>	N/A - Project is not on a lot larger than one acre in size.
Building Design Guidelines			
E.3.8.05	Guideline	Buildings should incorporate narrow floor plates to allow natural light deeper into the interior.	N/A - The existing buildings structural system will not be changed.
E.3.8.06	Guideline	Buildings should reduce use of daytime artificial lighting through design elements, such as bigger wall openings, light shelves, clerestory lighting, skylights, and translucent wall materials.	Proposed project uses existing glazing systems.
E.3.8.07	Guideline	Buildings should allow for flexibility to regulate the amount of direct sunlight into the interiors. Louvered wall openings or shading devices like <i>bris soleils</i> help control solar gain and check overheating. <i>Bris soleils</i> , which are permanent sun-shading elements, extend from the sun-facing façade of a building, in the form of horizontal or vertical projections depending on sun orientation, to cut out the sun's direct rays, help protect windows from excessive solar light and heat and reduce glare within.	Existing trellis system over courtyard provides shade during hottest period of the day.
E.3.8.08	Guideline	Where appropriate, buildings should incorporate arcades, trellis and appropriate tree planting to screen and mitigate south and west sun exposure during summer. This guideline would not apply to downtown, the station area and the west side of El Camino Real where buildings have a narrower setback and street trees provide shade.	N/A - Project is in the Downtown district.

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Section	Standard or Guideline	Requirement	Evaluation
E.3.8.09	Guideline	Operable windows are encouraged in new buildings for natural ventilation.	N/A - The existing buildings window systems will not be changed.
E.3.8.10	Guideline	To maximize use of solar energy, buildings should consider integrating photovoltaic panels on roofs.	N/A - Improvements to electrical system not in project scope.
E.3.8.11	Guideline	Inclusion of recycling centers in kitchen facilities of commercial and residential buildings shall be encouraged. The minimum size of recycling centers in commercial buildings should be 20 cubic feet (48 inches wide x 30 inches deep x 24 inches high) to provide for garbage and recyclable materials.	N/A - No kitchen use.
Stormwater and Wastewater Management Guidelines			
E.3.8.12	Guideline	Buildings should incorporate intensive or extensive green roofs in their design. Green roofs harvest rain water that can be recycled for plant irrigation or for some domestic uses. Green roofs are also effective in cutting-back on the cooling load of the air-conditioning system of the building and reducing the heat island effect from the roof surface.	N/A - Roof improvements not in project scope.
E.3.8.13	Guideline	Projects should use porous material on driveways and parking lots to minimize stormwater run-off from paved surfaces.	N/A - No driveways are proposed.
Landscaping Guidelines			
E.3.8.14	Guideline	Planting plans should support passive heating and cooling of buildings and outdoor spaces.	Planting plans consider passive heating and cooling of buildings and outdoor spaces.
E.3.8.15	Guideline	Regional native and drought resistant plant species are encouraged as planting material.	Understood. See planting palette on sheet L4.1.
E.3.8.16	Guideline	Provision of efficient irrigation system is recommended, consistent with the City's Municipal Code Chapter 12.44 "Water-Efficient Landscaping".	Efficient irrigation system considered as part of the Landscape Design.
Lighting Standards			
E.3.8.17	Standard	Exterior lighting fixtures shall use fixtures with low cut-off angles, appropriately positioned, to minimize glare into dwelling units and light pollution into the night sky.	Understood. Lighting design shall limit light pollution to the sky.
E.3.8.18	Standard	Lighting in parking garages shall be screened and controlled so as not to disturb surrounding properties, but shall ensure adequate public security.	N/A - No parking garages are proposed.
Lighting Guidelines			
E.3.8.19	Guideline	Energy-efficient and color-balanced outdoor lighting, at the lowest lighting levels possible, are encouraged to provide for safe pedestrian and auto circulation.	Energy-efficient and color-balanced outdoor lighting at the lowest lighting levels possible to be considered as part of the Building Design.
E.3.8.20	Guideline	Improvements should use ENERGY STAR-qualified fixtures to reduce a building's energy consumption.	Understood. The project will strive to use ENERGY STAR-qualified fixtures to be shown at the building permit submission.

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<u>Section</u>	<u>Standard or Guideline</u>	<u>Requirement</u>	<u>Evaluation</u>
E.3.8.21	Guideline	Installation of high-efficiency lighting systems with advanced lighting control, including motion sensors tied to dimmable lighting controls or lighting controlled by timers set to turn off at the earliest practicable hour, are recommended.	Understood. High-efficiency lighting systems with advanced lighting control will be considered as part of the Building Design, and shown at the building permit submission.
Green Building Material Guidelines			
E.3.8.22	Guideline	The reuse and recycle of construction and demolition materials is recommended. The use of demolition materials as a base course for a parking lot keeps materials out of landfills and reduces costs.	Understood. Strategies to reuse and recycle construction materials will be researched leading up to building permit submittal.
E.3.8.23	Guideline	The use of products with identifiable recycled content, including post-industrial content with a preference for post-consumer content, are encouraged.	It is our experience that recycled content can be utilized in materials such as woods and plastics. As these materials will undoubtedly be used, the team will strive to include recycled materials in the building design.
E.3.8.24	Guideline	Building materials, components, and systems found locally or regionally should be used, thereby saving energy and resources in transportation.	The project will strive to source local and regional materials where possible.
E.3.8.25	Guideline	A design with adequate space to facilitate recycling collection and to incorporate a solid waste management program, preventing waste generation, is recommended.	The project scope does not include redesign of recycling collection or waste management. Excessive waste generation has not be an issue in the existing conditions, and as the total building area will not change the total waste generated is not anticipated to change.
E.3.8.26	Guideline	The use of material from renewable sources is encouraged.	The project will strive to use materials from renewable sources where possible.

August 29, 2018

Christian Hansen
Wheatley Properties
755 Page Mill Road, Suite BT-100
Palo Alto, CA 94304
Office: 650-856-0926
Cell: 650-444-0111

RE: Arborist Report and Tree Protection Plan for Potential Development Impacts for 855 Oak Grove Ave.

Dear Mr. Hansen,

Thank you for contracting with Davey Resource Group regarding the above project. In support of your objectives, Davey Resource Group (DRG) is pleased to provide you with the attached report for the planned construction.

A DRG International Society of Arboriculture (ISA) Certified Arborist conducted the site inspection of the trees that may be impacted by the construction located at the above location in Menlo Park, California on August 23, 2018. The trees were assessed for location, size, current condition and overall health, as well as identifying critical and structural root zones to assist with tree protection plans. Trees at this address and on the neighboring properties within proximity were assessed. The attached report can be used to make informed decisions about demolition and construction planning, as well as submission to the City of Menlo Park for permitting purposes.

The survey determined the following:

- Four street trees and one bush within the potential impacts of the project scope were evaluated.
- Three distinct species were identified: strawberry tree (*Arbutus unedo*), camellia (*Camellia Japonica*), and Southern magnolia (*Magnolia grandiflora*).
- Tree and bush condition ratings ranged from 56% to 63% (Fair).
- It was determined that no street trees will undergo significant impacts due to development. All street trees may remain, and proper protection measures will further prevent impact from construction.
- All pruning shall be done by a Certified Arborist or Certified Tree Worker in accordance with the Best Management Practices for Pruning (International Society of Arboriculture, 2002) and adhere to the most recent editions of the American National Standard for Tree Care Operations (Z133.1 and Pruning (A300).

Please feel free to contact me if you would like more information or have any questions.

Sincerely,



Elizabeth Lanham
Davey Resource Group
Certified Arborist #WE-9234A
ISA Tree Risk Assessment Qualified

ARBORIST REPORT AND TREE PROTECTION PLAN

855 Oak Grove Ave.
Menlo Park, CA

August 2018



Arborist Report & Tree Protection Plan for
855 Oak Grove Ave.
Menlo Park, CA

Prepared for

Robert Wheatley Properties
855 Oak Grove Ave
Menlo Park, CA 94025

August 2018

Prepared by

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Notice of Disclaimer

Inventory data provided by Davey Resource Group is based on visual recording at the time of inspection. Visual records do not include testing or analysis and do not include aerial or subterranean inspection. Davey Resource group is not responsible for discovery or identification of hidden or otherwise non-observable risks. Records may not remain accurate after inspection due to variable deterioration of inventoried material and site disturbance. Davey Resource Group provides no warranty with respect to the fitness of the urban forest for any use or purpose whatsoever or for future outcomes of the inventoried trees.

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Summary

In August 2018, Davey Resource Group (DRG), a division of The Davey Tree Expert Company, was contracted by Christian Hansen of Robert Wheatley Properties to conduct a tree assessment and develop a tree protection plan for the five trees within the limits of impact at 855 Oak Grove Ave. in Menlo Park, California. The request was made to assess the current condition of the trees and how a planned project would impact the existing trees.

An International Society of Arboriculture (ISA) Certified Arborist from Davey Resource Group conducted the evaluation of the trees that may be impacted by development on August 23rd, 2018. The trees were assessed by their location, size, current condition, and overall health. Trees that may be impacted by the limits of development were assessed, which potentially includes trees on the neighboring properties near the property lines.

The evaluations determined, based on visual inspection, tree condition ratings ranged from 56% to 63% (Fair). It was determined that no street trees will be impacted by proposed development, and all street trees may be retained. Proper protection is recommended to reduce the potential for impact during construction. No appraised or replacement value was requested or provided for the evaluated plants at this time.

Introduction

Background

Robert Wheatley Properties is planning construction at 855 Oak Grove Ave. in Menlo Park. The construction is to the exterior of the building, including a handicap compliant ramp within the building courtyard, and will not include excavation or grade changes to the city sidewalk. Concerns were raised about the impacts the project might have on the trees in proximity to development and what the condition of the trees are in before any construction began. Christian Hansen of Robert Wheatley Properties requested on behalf of the property owners that Davey Resource Group provide an arborist report on the health of the trees, and to identify what tree protection measures may be needed before final plans are submitted to the City of Menlo Park for approval of the new project.

Assignment

Davey Resource Group (DRG) was contracted to conduct a site evaluation of existing trees within the limits of the project scope at 855 Oak Grove Ave. in Menlo Park, CA and recommend any necessary tree protection measures for the identified trees. The survey included a visual assessment of the trees' condition, observations of the site conditions and estimating the current critical root zones in order to assist with upcoming construction planning.

Limits of Assignment

Many factors can limit specific and accurate data when performing evaluations of trees, their conditions, and potential for failure or response to site disturbances. No soil or tissue testing was performed. All observations were made from the ground and no soil excavation to expose roots was performed. The most recent development plans were available to assist in determining potential construction impacts. The determinations and recommendations presented here are based on current data and conditions that existed at the time of the evaluation and cannot be a predictor of the ultimate outcome for the evaluated trees in the future.

Purpose and Use of Report

The purpose of this report is to provide summary of the evaluations of the trees located at 855 Oak Grove Ave. in Menlo Park, California, including an assessment of the current condition and health, as well as providing a tree protection plan for all evaluated trees/canopies that may be impacted by construction plans. The findings in this report can be used to make informed decisions on design planning and be used as the final arborist report to be provided to the City of Menlo Park for permitting purposes.

Observations

Methods

Only a visual inspection was used to develop the findings, conclusions, and recommendations found in this report. Data collection included measuring the diameter of significant trees at approximately 54 inches above grade (DBH), height estimation, canopy radius estimation, a visual assessment of tree condition, structure, and health, and a photographic record. Numerical values were assigned to grade the attributes of the trees, including structure and canopy health, and to obtain an overall condition rating. No physical inspection of the upper canopy, sounding, root crown excavation, resistance drilling, or other technologies were used in the evaluation of the trees.

Site Observations

The magnolias and strawberry tree are in the right of way of Oak Grove Ave. The camellia bush is in the courtyard, in a sheltered planting area. The area surrounding all the trees is paved, with the trees growing from cut-outs.

Tree Observations

Visual assessments determined tree condition ratings ranged from a low of 56% (Fair) to a high of 63% (Fair), and the average condition rating was Fair (60%). Tree diameters ranged from 1 inches for a strawberry tree to 21 inches for a Southern magnolia, with the average diameter being approximately 12 inches. Tree canopy width ranged from 3 feet for a strawberry tree to 20 feet for the magnolias, and the average canopy radius was estimated at 16 feet. Finally, tree heights ranged from an estimated 16 feet to 30 feet, while the average height was 25 feet. The camelia bush was planted under the stairwell and is over mature for its location. This bush will always require training to avoid infrastructure conflict and is near the end of its useful life. Tree photographs and a complete Tree Inventory and Condition Assessment can be found in Appendices A and B.

Analysis and Discussion

The surveyed trees are of a mixed size (age) class. The trees are located onsite and in the right-of-way on Oak Grove Ave. Lower tree condition ratings were based on trunk structure or damage, visible decay, minor dieback, poor structure, or observed stress.

The diameters of the surveyed trees were used to estimate the potential critical root zone (CRZ) of each tree. The CRZ is considered the maximum possible radius of the root zone of a tree. The CRZ was calculated by multiplying the DBH by 1.5 feet. For instance, tree #1 has a DBH of 6 inches and a calculated CRZ of 9 feet (6 x 1.5). This distance may extend beyond the tree canopy dripline and is normally considered the tree protection zone (TPZ). Tree protection fencing is normally installed to protect the CRZ, but in this case most

of the CRZ is under existing pavement which will not be changed or excavated for this project, essentially providing protection from construction impacts.

It was determined that none of the street trees will be impacted by the proposed development. Tree protection measures are recommended for the trees as outlined in Conclusion and Recommendations.

In a few locations, clearance pruning may be necessary to construct scaffolding which will extend no further than the roofline. These minimal cuts are estimated to comprise no more than 10% of the magnolias' canopies, and will have no impact to the strawberry tree.

Conclusion and Recommendations

Based on visual evaluations and the impacts of proposed development, it was determined that none of the street trees will be impacted, and all street trees may remain, and with the recommended tree protection measures put in place, are unlikely to be impacted by construction.

- To avoid accidental mechanical damage, it is recommended to wrap the magnolia trunks with straw wattle and orange construction fencing.
- The strawberry tree may be fenced with orange construction fencing at the edge of the pavement/treewell, and no wattle is necessary on this young sapling.
- Wrap any substantial branches (over 4 inches in diameter) in the canopy that might come within two feet of the proposed scaffolding in the same manner.
- All pruning shall be done by a Certified Arborist or Certified Tree Worker in accordance with the Best Management Practices for Pruning (International Society of Arboriculture, 2002) and adhere to the most recent editions of the American National Standard for Tree Care Operations (Z133.1 and Pruning (A300).
- The camelia bush was planted under the stairwell and is over mature for its location. Preservation should be left to the discretion of the property owner.

Appendix A – Tree Photograph Summary

Note – Photo summary does not include all trees inventoried. Additional photos can be provided upon request.



Photo 1. Camelia in courtyard.



Photo 2. Camelia is planted under the staircase.



Photo 3. Magnolias #4 and #5 along building.



Photo 4. Trees #2 through #5.

Appendix B – Tree Inventory and Condition Assessment

Tree #	DBH	Common Name	Root Health	Root Structure	Trunk Health	Trunk Structure	Scaffold Health	Scaffold Structure	Twigs Condition	Foliage Condition	Condition	Average Canopy Width	Height	Stems	Observations and Defects	Notes
1	6	Camelia	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	Fair	20	25	2	Full crown	Located in courtyard. Distance to building: within building footprint
2	10	Southern magnolia	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2	Fair	18	25	1	Narrow crown	Street tree. Wilting leaves. Twig dieback. Distance to building: 1 foot.
3	1	Strawberry tree	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	Fair	3	16	1		Street tree; Staked
4	21	Southern magnolia	2.5	2	2.5	2.5	2.5	2.5	2	2	Fair	20	30	1	Narrow crown	Street tree. Distance to building 2 feet. Probable root cutting from sidewalk replacement. Some twig dieback.
5	21	Strawberry tree	2.5	2.5	2	2	2.5	2.5	2	2	Fair	20	30	1	Narrow crown, Trunk decay	Street tree. Distance to building 3 ft. Twig dieback.

Range 1 = Lowest (poor), 4 = Highest (excellent)

El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Mitigation Measure	Action	Timing	Implementing Party
AIR QUALITY			
IMPACT BEING ADDRESSED: Impact AIR-1: Implementation of the Specific Plan would result in increased long-term emissions of criteria pollutants associated with construction activities that could contribute substantially to an air quality violation. (Significant)			
<p><i>Mitigation Measure AIR-1a</i> : During construction of individual projects under the Specific Plan, project applicants shall require the construction contractor(s) to implement the following measures required as part of Bay Area Air Quality Management District's (BAAQMD) basic dust control procedures required for construction sites. For projects for which construction emissions exceed one or more of the applicable BAAQMD thresholds, additional measures shall be required as indicated in the list following the Basic Controls.</p> <p><u>Basic Controls that Apply to All Construction Sites</u></p> <ol style="list-style-type: none"> 1. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day. 2. All haul trucks transporting soil, sand, or other loose material off site shall be covered. 3. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. 4. All vehicle speeds on unpaved roads shall be limited to 15 mph. 5. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used. 6. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points. 7. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. 	<p>Exposed surfaces shall be watered twice daily.</p> <p>Trucks carrying demolition debris shall be covered.</p> <p>Dirt carried from construction areas shall be cleaned daily.</p> <p>Speed limit on unpaved roads shall be 15 mph.</p> <p>Roadways, driveways, sidewalks and building pads shall be laid as soon as possible after grading.</p> <p>Idling times shall be minimized to 5 minutes or less; Signage posted at all access points.</p> <p>Construction equipment shall be properly tuned and maintained.</p>	<p>Measures shown on plans, construction documents and on-going during demolition, excavation and construction.</p>	<p>Project sponsor(s) and contractor(s)</p> <p>PW/CDD</p>

El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Mitigation Measure	Action	Timing	Implementing Party
8. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.	Signage will be posted with the appropriate contact information regarding dust complaints.		
Mitigation Measure AIR-1b: Each applicant for development projects to be implemented under the Specific Plan for projects that exceed the BAAQMD screening criteria shall develop an Exhaust Emissions Control Plan outlining how construction exhaust emissions will be controlled during construction activities. These plans shall be submitted to the City for review and approval and shall be distributed to all employees and construction contractors prior to commencement of construction activities. The plan shall describe all feasible control measures that will be implemented during construction activities. Feasible control measures may include, but not be limited to, those identified in Mitigation Measure AIR-1a.	Require an Exhaust Emissions Control Plan of each applicant with projects that exceed BAAQMD screening criteria.	Plan approved by City prior to building permit issuance; Measures shown on plans, construction documents and specification and ongoing during construction.	Project sponsors(s) and contractor(s) CDD
BIOLOGICAL RESOURCES			
Impact BIO-1: The Specific Plan could result in the take of special-status birds or their nests. (Potentially Significant)			
Mitigation Measure BIO-1a: Pre-Construction Special-Status Avian Surveys. No more than two weeks in advance of any tree or shrub pruning, removal, or ground-disturbing activity that will commence during the breeding season (February 1 through August 31), a qualified wildlife biologist will conduct pre-construction surveys of all potential special-status bird nesting habitat in the vicinity of the planned activity. Pre-construction surveys are not required for construction activities scheduled to occur during the non-breeding season (August 31 through January 31). Construction activities commencing during the non-breeding season and continuing into the breeding season do not require surveys (as it is assumed that any breeding birds taking up nests would be acclimated to project-related activities already under way). Nests initiated during construction activities would be presumed to be unaffected by the activity, and a buffer zone around such nests would not be necessary. However, a nest initiated during construction cannot be moved or altered.	A nesting bird survey shall be prepared if tree or shrub pruning, removal or ground-disturbing activity will commence between February 1 through August 31.	Prior to tree or shrub pruning or removal, any ground disturbing activity and/or issuance of demolition, grading or building permits.	Qualified wildlife biologist retained by project sponsor(s) CDD

El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Mitigation Measure	Action	Timing	Implementing Party
<p>If pre-construction surveys indicate that no nests of special-status birds are present or that nests are inactive or potential habitat is unoccupied: no further mitigation is required.</p>			
<p>If active nests of special-status birds are found during the surveys: implement Mitigation Measure BIO-1b.</p>			
<p>Mitigation Measure BIO-1b: Avoidance of active nests. If active nests of special-status birds or other birds are found during surveys, the results of the surveys would be discussed with the California Department of Fish and Game and avoidance procedures will be adopted, on a case-by-case basis. In the event that a special-status bird or protected nest is found, construction would be stopped until either the bird leaves the area or avoidance measures are adopted. Avoidance measures can include construction buffer areas (up to several hundred feet in the case of raptors), relocation of birds, or seasonal avoidance. If buffers are created, a no disturbance zone will be created around active nests during the breeding season or until a qualified biologist determines that all young have fledged. The size of the buffer zones and types of construction activities restricted will take into account factors such as the following:</p> <ol style="list-style-type: none"> 1. Noise and human disturbance levels at the Plan area and the nesting site at the time of the survey and the noise and disturbance expected during the construction activity; 2. Distance and amount of vegetation or other screening between the Plan area and the nest; and 3. Sensitivity of individual nesting species and behaviors of the nesting birds. 	<p>If active nests are found during survey, the results will be discussed with the California Department of Fish and Game and avoidance procedures adopted.</p> <p>Halt construction if a special-status bird or protected nest is found until the bird leaves the area or avoidance measures are adopted.</p>	<p>Prior to tree or shrub pruning or removal, any ground-disturbing activities and/or issuance of demolition, grading or building permits.</p>	<p>Project sponsor(s) and contractor(s)</p>
<p>Impact BIO-3: Impacts to migratory or breeding special-status birds and other special-status species due to lighting conditions. (Potentially Significant)</p> <p>Mitigation Measure BIO-3a: Reduce building lighting from exterior sources.</p> <ol style="list-style-type: none"> a. Minimize amount and visual impact of perimeter lighting and façade up-lighting and avoid uplighting of rooftop antennae and other tall equipment, as well as of any decorative features; b. Installing motion-sensor lighting, or lighting controlled by timers set to turn off at the earliest practicable hour; c. Utilize minimum wattage fixtures to achieve required lighting levels; 	<p>Reduce building lighting from exterior sources.</p>	<p>Prior to building permit issuance and ongoing.</p>	<p>Project sponsor(s) and contractor(s)</p>
			CDD

El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Mitigation Measure	Action	Timing	Monitoring Party
<p>d. Comply with federal aviation safety regulations for large buildings by installing minimum intensity white strobe lighting with a three-second flash interval instead of continuous flood lighting, rotating lights, or red lighting</p> <p>e. Use cutoff shields on streetlight and external lights to prevent upwards lighting.</p>			
<p>Mitigation Measure BIO-3b: Reduce building lighting from interior sources.</p> <p>a. Dim lights in lobbies, perimeter circulation areas, and atria;</p> <p>b. Turn off all unnecessary lighting by 11pm thorough sunrise, especially during peak migration periods (mid-March to early June and late August through late October);</p> <p>c. Use gradual or staggered switching to progressively turn on building lights at sunrise.</p> <p>d. Utilize automatic controls (motion sensors, photosensors, etc.) to shut off lights in the evening when no one is present;</p> <p>e. Encourage the use of localized task lighting to reduce the need for more extensive overhead lighting;</p> <p>f. Schedule nightly maintenance to conclude by 11 p.m.;</p> <p>g. Educate building users about the dangers of night lighting to birds.</p>	<p>Reduce building lighting from interior sources.</p>	<p>Prior to building permit issuance and ongoing.</p>	<p>Project sponsor(s) and contractor(s)</p> <p>CDD</p>
<p>Impact BIO-5: The Specific Plan could result in the take of special-status bat species. (Potentially Significant)</p> <p>Mitigation Measure BIO-5a: Preconstruction surveys. Potential direct and indirect disturbances to special-status bats will be identified by locating colonies and instituting protective measures prior to construction of any subsequent development project. No more than two weeks in advance of tree removal or structural alterations to buildings with closed areas such as attics, a qualified bat biologist (e.g., a biologist holding a California Department of Fish and Game collection permit and a Memorandum of Understanding with the California Department of Fish and Game allowing the biologist to handle and collect bats) shall conduct pre-construction surveys for potential bats in the vicinity of the planned activity. A qualified biologist will survey buildings and trees (over 12 inches in diameter at 4.5-foot height) scheduled for demolition to assess whether these structures are occupied by bats. No activities that would result in disturbance to active roosts will proceed prior to the completed surveys. If bats are discovered during construction, any and all construction activities that threaten individuals, roosts, or hibernacula will be stopped until surveys can be completed by a qualified bat biologist and proper mitigation measures implemented.</p>	<p>Retain a qualified bat biologist to conduct pre-construction survey for bats and potential roosting sites in vicinity of planned activity.</p> <p>Halt construction if bats are discovered during construction until surveys can be completed and proper mitigation measures implemented.</p>	<p>Prior to tree pruning or removal or issuance of demolition, grading or building permits.</p>	<p>Qualified bat biologist retained by project sponsor(s)</p> <p>CDD</p>

El Camino Real/Downtown Mitigation Monitoring and Reporting Program				
Mitigation Measure	Action	Timing	Implementing Party	Monitoring Party
<p>If no active roosts present: no further action is warranted.</p> <p>If roosts or hibernacula are present: implement Mitigation Measures BIO-5b and 5c.</p>				
<p>Mitigation Measure BIO-5b: Avoidance. If any active nursery or maternity roosts or hibernacula of special-status bats are located, the subsequent development project may be redesigned to avoid impacts. Demolition of that tree or structure will commence after young are flying (i.e., after July 31, confirmed by a qualified bat biologist) or before maternity colonies forms the following year (i.e., prior to March 1). For hibernacula, any subsequent development project shall only commence after bats have left the hibernacula. No-disturbance buffer zones acceptable to the California Department of Fish and Game will be observed during the maternity roost season (March 1 through July 31) and during the winter for hibernacula (October 15 through February 15). Also, a no-disturbance buffer acceptable in size to the California Department of Fish and Game will be created around any roosts in the Project vicinity (roosts that will not be destroyed by the Project but are within the Plan area) during the breeding season (April 15 through August 15), and around hibernacula during winter (October 15 through February 15). Bat roosts initiated during construction are presumed to be unaffected, and no buffer is necessary. However, the "take" of individuals is prohibited.</p>	<p>If any active nursery or maternity roosts or hibernacula are located, no disturbance buffer zones shall be established during the maternity roost and breeding seasons and hibernacula.</p>	<p>Prior to tree removal or pruning or issuance of demolition, grading or building permits</p>	<p>Qualified bat biologist retained by project sponsor(s)</p>	<p>CDD</p>
<p>Mitigation Measure BIO-5c: Safely evict non-breeding roosts. Non-breeding roosts of special-status bats shall be evicted under the direction of a qualified bat biologist. This will be done by opening the roosting area to allow airflow through the cavity. Demolition will then follow no sooner or later than the following day. There should not be less than one night between initial disturbance with airflow and demolition. This action should allow bats to leave during dark hours, thus increasing their chance of finding new roosts with a minimum of potential predation during daylight. Trees with roosts that need to be removed should first be disturbed at dusk, just prior to removal that same evening, to allow bats to escape during the darker hours. However, the "take" of individuals is prohibited.</p>	<p>A qualified bat biologist shall direct the eviction of non-breeding roosts.</p>	<p>Prior to tree removal or pruning or issuance of demolition, grading or building permits.</p>	<p>Qualified bat biologist retained by project sponsor(s)</p>	<p>CDD</p>
CULTURAL RESOURCES				
Impact CUL-1: The proposed Specific Plan could have a significant impact on historic architectural resources. (Potentially Significant)				

El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Mitigation Measure	Action	Timing	Monitoring Party
<p>Mitigation Measure CUL-1: Site Specific Evaluations and Treatment in Accordance with the Secretary of the Interior's Standards:</p> <p>Site-Specific Evaluations: In order to adequately address the level of potential impacts for an individual project and thereby design appropriate mitigation measures, the City shall require project sponsors to complete site-specific evaluations at the time that individual projects are proposed at or adjacent to buildings that are at least 50 years old.</p> <p>The project sponsor shall be required to complete a site-specific historic resources study performed by a qualified architectural historian meeting the Secretary of the Interior's Standards for Architecture or Architectural History. At a minimum, the evaluation shall consist of a records search, an intensive-level pedestrian field survey, an evaluation of significance using standard National Register Historic Preservation and California Register Historic Preservation evaluation criteria, and recordation of all identified historic buildings and structures on California Department of Parks and Recreation 523 Site Record forms. The evaluation shall describe the historic context and setting, methods used in the investigation, results of the evaluation, and recommendations for management of identified resources. If federal or state funds are involved, certain agencies, such as the Federal Highway Administration and California Department of Transportation (Caltrans), have specific requirements for inventory areas and documentation format.</p> <p>Treatment in Accordance with the Secretary of the Interior's Standards. Any future proposed project in the Plan Area that would affect previously recorded historic resources, or those identified as a result of site-specific surveys and evaluations, shall conform to the Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995). The Standards require the preservation of character defining features which convey a building's historical significance, and offers guidance about appropriate and compatible alterations to such structures.</p>	<p>A qualified architectural historian shall complete a site-specific historic resources study. For structures found to be historic, specify treating conforming to Secretary of the Interior's standards, as applicable.</p>	<p>Simultaneously with a project application submittal.</p>	<p>CDD</p> <p>STATUS - COMPLETE:</p> <p>The historic resource evaluation from Urban Programmers, dated received July 30, 2018, concludes that the existing building at the subject property is not a historic resource. In addition, the project will not have an adverse effect on a historic resource, as the property is not eligible for the California Register of Historical Resources. Therefore, the project is not required under CEQA to comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings.</p>
HAZARDOUS MATERIALS			
<p>Impact HAZ-3. Hazardous materials used on any individual site during construction activities (i.e., fuels, lubricants, solvents) could be released to the environment through improper handling or storage. (Potentially Significant)</p>			

El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Mitigation Measure	Action	Timing	Implementing Party
<p>Mitigation Measure HAZ-3: All development and redevelopment shall require the use of construction Best Management Practices (BMPs) to control handling of hazardous materials during construction to minimize the potential negative effects from accidental release to groundwater and soils. For projects that disturb less than one acre, a list of BMPs to be implemented shall be part of building specifications and approved of by the City Building Department prior to issuance of a building permit.</p>	<p>Implement best management practices to reduce the release of hazardous materials during construction.</p>	<p>Prior to building permit issuance for sites disturbing less than one acre and on-going during construction for all project sites</p>	<p>Project sponsor(s) and contractor(s)</p>
NOISE			
<p>Impact NOI-1: Construction activities associated with implementation of the Specific Plan would result in substantial temporary or periodic increases in ambient noise levels in the Specific Plan area above levels existing without the Specific Plan and in excess of standards established in the local general plan or noise ordinance, or applicable</p>			
<p>Mitigation Measure NOI-1a: Construction contractors for subsequent development projects within the Specific Plan area shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures, and acoustically attenuating shields or shrouds, etc.) when within 400 feet of sensitive receptor locations. Prior to demolition, grading or building permit issuance, a construction noise control plan that identifies the best available noise control techniques to be implemented, shall be prepared by the construction contractor and submitted to the City for review and approval. The plan shall include, but not be limited to, the following noise control elements:</p> <p>* Impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for construction shall be hydraulically or electrically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler shall achieve lower noise levels from the exhaust by approximately 10 dBA. External jackets on the tools themselves shall be used where feasible in order to achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever feasible;</p> <p>* Stationary noise sources shall be located as far from adjacent receptors as possible and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or other measures to the extent feasible; and</p>	<p>A construction noise control plan shall be prepared and submitted to the City for review. Implement noise control techniques to reduce ambient noise levels.</p>	<p>Prior to demolition, grading or building permit issuance Measures shown on plans, construction documents and specification and ongoing through construction</p>	<p>Project sponsor(s) and contractor(s)</p>

El Camino Real/Downtown Mitigation Monitoring and Reporting Program			
Mitigation Measure	Action	Timing	Monitoring Party
<p>* When construction occurs near residents, affected parties within 400 feet of the construction area shall be notified of the construction schedule prior to demolition, grading or building permit issuance. Notices sent to residents shall include a project hotline where residents would be able to call and issue complaints. A Project Construction Complaint and Enforcement Manager shall be designated to receive complaints and notify the appropriate City staff of such complaints. Signs shall be posted at the construction site that include permitted construction days and hours, a day and evening contact number for the job site, and day and evening contact numbers, both for the construction contractor and City representative(s), in the event of problems.</p>			



STAFF REPORT

Planning Commission

Meeting Date: 9/17/2018
Staff Report Number: 18-082-PC

Study Session: Architectural Control, Major Subdivision, Heritage Tree Removals, and Below Market Rate Housing Agreement/Vasile Oros/706-716 Santa Cruz Avenue

Recommendation

Staff recommends that the Planning Commission use the study session to consider a presentation from the applicant, receive public comment, and provide individual feedback on the proposal to redevelop 706 to 716 Santa Cruz Avenue with a new three story mixed-use building. The proposal will be subject to additional review and action at a future Planning Commission meeting.

Policy Issues

Study sessions provide an opportunity for Planning Commissioners and the public to provide feedback on the overall project. Study sessions should be considered on a case-by-case basis, with comments used to inform future consideration of the project. The proposal will require architectural control review at a future meeting. Each architectural control, major subdivision, heritage tree removal, and below market rate housing agreement is considered individually. The Planning Commission will ultimately consider whether the required findings can be made for each proposal. For the study session, Planning Commissioners should provide feedback on the design and other aspects of the proposed building.

Background

Site location

The subject site is 23,454 square feet and is located at 706-716 Santa Cruz Avenue, and is part the El Camino Real/Downtown Specific Plan (SP-ECR/D) zoning district and is within the Downtown (D) sub-district. This property is also part of the P (parking) district. The site is currently developed with a single-story commercial building and is occupied by several tenants, including Union Bank, Juban Yakiniku House (restaurant), and a computer repair service store. A private surface parking lot is located on the rear half of the site and is currently accessed by driveways on Chestnut Street and Chestnut Lane. A location map is included as Attachment A.

The subject site is a corner lot with frontages on Santa Cruz Avenue, Chestnut Street, and Chestnut Lane, where Santa Cruz Avenue serves as the front and Chestnut Lane serves as the rear. The surrounding properties are likewise part of the SP-ECR/D district, and generally consist of commercial buildings. Using Santa Cruz Avenue in a north-south orientation, the parcel to the west of the project site and across Chestnut Lane is occupied by Axion Learning Center and several small businesses. The parcels across Chestnut Street to the south and Santa Cruz Avenue to the east contain multiple small businesses and restaurants. The parcel to the north of the site is occupied by Ace Hardware. To the northwest of the property is the City's parking plaza #1.

Previous Planning Commission review

On December 11, 2017 the Planning Commission reviewed an architectural control request for a mixed-use building containing 13,018 square feet of retail space on the first level, 19,128 square feet of non-medical office space on the second level, and four residential units totaling 14,762 square feet on the third level, and continued the project to a future meeting date with the following direction:

- Planning staff to confer with Public Works (Transportation/Engineering) and the Menlo Park Fire Protection District as to what could be committed to on Chestnut Lane to resolve a few Commissioners' and a neighboring property owner's concerns regarding pedestrian safety and vehicular impacts such as not requiring a sidewalk on the project side, expanding the sidewalk on the side opposite the project and installing safety barriers, and making traffic one-way.
- Based on information provided on Chestnut Lane's design feasibility, revise site layout and circulation accordingly and also look at revising design by using different materials, changing building rhythms, or some combination of efforts to create a building with more character and an intimate, pedestrian scale.

The December 11, 2017 Planning Commission staff report (Hyperlink with all attachments) and minutes are included as Attachment B and C. After the Planning Commission meeting, the applicant hired a new architect to prepare a comprehensive redesign of the project that also responds to the Planning Commission's direction. Some of the key changes are listed below;

- Modifications to the overall design, massing, and material choices to create a more pedestrian scale and intimate architectural style.
- Relocation of the garage entrance adjacent to the north (interior side) property line. The revised garage location would be offset from the building at 1146 Chestnut Lane and would be located directly across from the parking plaza.
- Addition of a second level of underground parking to accommodate 10 additional parking spaces for the revised project.
- Relocation of the proposed Chestnut Lane sidewalk onto the property with the addition of a covered walkway and landscaping. The proposed sidewalk would be in line with the existing sidewalk at 700 Santa Cruz Avenue.
- Increase in the total office square footage and reduction in the total residential square footage while maintaining the same unit count.

Analysis

Project description

The applicant is proposing to demolish the existing structures and redevelop the parcel with a new three story, mixed-use building. The proposed project attributes compared with the previous proposed project attributes are listed in Table 1 below. Project plans and the project description letter are included as Attachments D and E.

Table 1: Project Data Summary		
Metric	Previous Proposal	Revised Proposal
Lot Size	23,454 sf	23,454 sf
GFA (Maximum)	46,908 sf	46,908 sf
GFA (Proposed)	46,908 sf	46,903 sf
Non-Medical Office GFA (Maximum)	23,454 sf	23,454 sf
Non-Medical Office GFA (Proposed)	19,128 sf	23,454 sf
Retail GFA	13,018 sf	12,035 sf
Residential Units (Maximum)	13	13
Residential Units (Proposed)	4 (14,762 sf)	4 (11,414 sf)
Parking (Required)	55	68
Parking (Provided)	55	65

The parcel would be developed with a mixed-use building consisting of 12,035 square feet of retail space on the first level, 19,368 square feet of non-medical office space on the second and 3,156 square feet on the third level, and four residential units totaling 11,414 square feet on the third level. The residential units would include four, three-bedroom for-sale units ranging in size from 2,127 square feet to 2,472 square feet. The primary office and residential entrance lobbies would be located in the major modulation on Chestnut Street and the minor modulation on the corner of Chestnut Street and Chestnut Lane. The retail entrances would be located in the major and minor modulations on Santa Cruz Avenue and Chestnut Street. Parking would be located in a two-level basement garage with a small number of ground level parking spaces at the rear of the lot. The proposed parking count for the revised project does not currently meet the minimum required number per the Specific Plan and would need to be revised after the study session to comply with the minimum requirement of the Specific Plan.

Land uses

The proposed mixed-use building would be generally consistent with the allowed development in the D district at the base-level development standards, which allows a total floor area ratio (FAR) of 2.0 and a maximum residential density of 25 units per acre. The maximum height in the D district is 38 feet, with building facades limited to 30 feet. The proposed mixed-use building reflects the Specific Plan’s objectives for mixed-use urban buildings set close to the street with ground floor commercial/retail storefronts. Staff is still in the process of conducting a full zoning compliance review. The project would comply with most development standards including the height, but some revisions are required to make the building comply with the FAR limits. These revisions would need to be made as part of the applicant’s new submittal of the plans.

The applicant is required to comply with Chapter 16.96 of City’s Municipal Code (“BMR Ordinance”), and with the BMR Housing Program Guidelines adopted by the City Council to implement the BMR Ordinance (“BMR Guidelines”) as the project would exceed 10,000 square feet of commercial gross floor area. Because the project does not include five or more residential units, there is no BMR requirement that derives from the residential uses themselves. The BMR proposal was reviewed by the Housing Commission

at their meeting on August 23, 2017. The Housing Commission unanimously recommended approval for the payment of an in-lieu fee of \$311,194.80. Based on the proposed changes to the commercial square footage, the BMR requirement would increase and the project will be required to return to the Housing Commission. Staff and the City Attorney are currently reviewing the BMR requirement and an on-site BMR unit may be recommended by staff to the Housing Commission instead of an in-lieu fee payment.

Parking and circulation

For projects in the Specific Plan area, off-street parking should be provided at the rates specified in Table F2 of the El Camino Real/Downtown Specific Plan. Since this property is also part of the P (parking) district, parking for the first 1.0 FAR is satisfied by replacing the parking provided on the parcel, in this case 18 spaces. The parking for the remaining FAR is provided based on the Specific Plan parking rates. The project provides four spaces on the first level behind the retail use and 61 spaces in the two below-grade garage levels. These two levels of parking would provide a total of 65 off-street parking spaces which does not currently meet the Specific Plan requirements of 68 parking spaces. The project would need to be revised to meet the parking requirements or a shared parking study would need to be prepared to determine if parking reductions based on the mix of proposed uses would be appropriate. Further refinements to the proposed GFA could affect the required parking space count and the project would need to be updated accordingly.

The project would provide required bicycle parking in both short-term and long-term configurations. Short-term bicycle parking would be provided via racks in the public right-of-way. Long-term bicycle parking would be located in the underground garage level, with access provided both by the garage ramp as well as the elevators and stairs.

Vehicular access for the site would be provided by the garage entrance at the rear of the property on Chestnut Lane. The location of the garage entrance has been revised so that the entrance is adjacent to the north (interior side) property line. The garage entrance would be located directly across from the parking plaza in contrast to the previous proposal where the garage entrance was located mid-block and directly across from the neighboring property's storefront at 1146 Chestnut Lane. The new location would now operate more like a standard four way intersection because it aligns with the parking plaza drive aisle. The revised location of the garage entrance complies with the Transportation Division's best practices, as it would be located on the less busy of the streets. To further reduce the impacts of the garage entrance appearance, the entrance would be reduced to 24 feet wide, which is the minimum allowed garage entrance width and would be setback from the property line approximately eight feet to accommodate the new on-site sidewalk. The proposed changes to the parking garage layout and vehicular access are also undergoing review by the City's Transportation Division, and will require sign-off from the Menlo Park Fire Protection District. Further evaluation and modifications may be required after the study session.

Fire access for the project is currently proposed on Chestnut Lane. Fire access must be provided where there is unobstructed roof access, meaning overhead lines could not be present in the area designated as fire access. Currently, fire access is located on Chestnut Lane since at the time of the Fire District's review of the previous proposal certain overhead lines were proposed to remain on Chestnut Street. However, the plans for the undergrounding will require additional review at the building permit stage and the undergrounding on Chestnut Street may change. If all the overhead lines are undergrounded along the Chestnut Street frontage, the fire access would be relocated to Chestnut Street which is the Fire District's preferred location for fire access.

Chestnut Lane

As part of the revised project, the new Chestnut Lane sidewalk would be relocated on-site. The revised

plans would maintain the existing 25-foot Chestnut Lane width while providing a sidewalk on both sides of the street. The previous proposal included a five foot sidewalk in the public right-of-way and was required to have a rolled curb for fire ladder access. The proposed sidewalk would feature a five foot clear walking zone with a standard curb and three foot area adjacent to the street for landscape planter boxes and columns to support the covered walkway and upper levels (Sheet A1.0). The combination of planter boxes and columns would create a buffer for the pedestrian walkway from the street. With the construction of the sidewalk on-site, a public access easement (PAE) would be required to be recorded on the property. At the Planning Commission meeting, several additional solutions were suggested with regards to Chestnut Lane and staff was directed to review these with the Transportation Division. Below each solution is listed with staff's response.

- Remove the sidewalk on the project side.

After further review with the Transportation Division it was determined that a sidewalk was required on both sides of Chestnut Lane to increase pedestrian safety along this area. Additionally, the sidewalk would increase pedestrian access and connectivity by providing a path of travel from Chestnut Street to the public parking plaza and the tenants fronting the parking plaza. While there is not a continuous sidewalk along the back of the parking plaza at this time, there are plans to have a continuous walkway in this location in the future.

- Extend the sidewalk on the opposite side of Chestnut Lane.

Since the project proposes to relocate the sidewalk on-site, the sidewalk on the opposite side of Chestnut Lane is not proposed to be expanded. Moving the sidewalk on-site creates a uniform appearance for the property owners on either side of Chestnut Lane. Furthermore, any expansion of the sidewalk width on the opposite side of the street may require a rolled curb if the fire access remains on Chestnut Lane as indicated in the previous section.

- Make Chestnut Lane a one way street.

Staff is currently not pursuing making traffic one way on Chestnut Lane. This would require additional traffic studies to be completed by the City and would present potential turning and circulation problems throughout the parking plaza.

- Install safety barriers along Chestnut Lane.

Since the location of the garage entrance has been shifted so that it does not line up with the storefronts across Chestnut Lane, barriers were determined to not be required on the opposite side of Chestnut Lane. However, if desired by the Planning Commission, a maximum one foot wide barrier could be allowed within the existing five foot sidewalk with the application of an encroachment permit by the property owner of 1146 Chestnut Lane. Five feet is the City's standard width for sidewalks, but a minimum four feet wide clear walking zone could be allowed and still meet accessibility requirements.

Design and materials

The building would have a contemporary design character with extensive zones of glazing and dark brown metal window frames. The glazed zones provide transparency and would be articulated and highlighted by the metal window frames and panels, and metal work at canopies and eaves. The glazed zones along with the deep eaves complement and deemphasize the stone-clad primary façade planes, which otherwise

would appear as repetitive modules. Warm to neutral colors for stone cladding at the primary façade, deep wood clad soffit, and landscape at planters set just back from the second-floor's eaves would soften the overall appearance of the building. Projecting features, primarily the bay windows with curved canopies, make a strong focal point to each module and help scale the building mass at the modules. Additionally, entrance canopies and sunshades provide functional coverage for rain and shade from sun while also providing street level façade elements that would facilitate pedestrian scale.

The two building corners also have a wide zone of glass at the first two levels to create a glazed building corner appearance. The glazed building corners and treatment of the recessed wall surfaces with warm gray stone and parapets at the major modulations would help differentiate parts of the building and respond to specific locational aspects of the design. Also, the deep horizontal eave lines with linearly treated wood soffit material would provide a signature visual line against the sky while providing a feature that would help soften the visual mass of the building. Extensive rooftop terraces would be provided on the second and third levels. The terraces would feature landscaping along the edges and small trees in planters which would soften the building's presentation and provide color periodically along the facades.

Along Chestnut Lane the revised design responds to neighboring conditions by shifting the garage entry to the northwest corner of the lot. The garage opening would be set back several feet from the rest of the Chester Lane façade, which would have a façade appearance similar to the Chestnut Street and Santa Cruz Avenue facades. Additionally, the area directly above the garage entrance would be one story tall where the rest of the building is three stories tall. Landscape is also proposed in planters and with vines on the building walls along the sidewalk on Chestnut Lane.

Overall, while the building would be the same scale and have a similar massing and modulation pattern in the design treatment of two-story stone clad modules, the revised design would have a less heavy and forceful presentation of mass and scale than the previous version reviewed by the Planning Commission as well as more articulation and a better response to the street corner.

Trees and landscaping

No changes to the trees removals are proposed. The applicant submitted an arborist report (Attachment I of Attachment B) with the previous proposal detailing the species, size, and conditions of the significant trees on or near the site. The report determines the present condition, discusses the impacts of the proposed improvements, and provides recommendations for tree preservation.

Planning Commission considerations

The study session format allows for a wide range of discussion/direction on the proposed development. In particular, staff recommends that Planning Commissioners consider and provide clear direction on the following key items:

1. Changes to the building design during the review process have improved the scale and appearance along the street frontages to make the building more intimate and pedestrian scale. Does the Planning Commission believe further refinement of the design or materials is needed?
2. Revisions to the location of the garage entrance and sidewalk on Chestnut Lane improve the circulation, streetscape appearance, and safety for pedestrians and vehicles. Does the Planning Commission have comments that would require additional modifications to the design of the site's access and circulation on Chestnut Lane?
3. The building would respond to sustainability standards and building design guidelines in the Specific Plan; however, the Planning Commission could consider requiring PV array installation and/or ground floor retail operable storefront windows to provide additional features related to green building practices.

The primary focus of the study session is on the building design and Chestnut Lane's streetscape. Staff is in the process of conducting a full zoning compliance review. Of note, staff has identified several key revisions that would need to be made as part of the applicant's new submittal of the plans. These revisions are as follows:

1. Revisions to the floor area calculations. Currently the sidewalk area would need to be included in the FAR because the columns are greater than 12 inches. The plans will need to be revised to modify the columns or include this area in the FAR which would require FAR reductions elsewhere since the proposed project is currently at the maximum FAR. Revisions to the calculations for the shared use areas are also needed, which would impact the office square footage. Additional revision may be required after a full zoning compliance review.
2. Clarification on the parking counts. Based on the total proposed square footage, 68 spaces would be required; however, only 65 spaces are provided. A shared parking study would need to be prepared or additional on-site parking would need to be provided. Further modifications to the parking count may be required depending on the refinements to the proposed GFA.
3. Modifications to the location of the garage gate to have a 20 foot setback from the property line, where an eight foot setback is currently proposed, to prevent cars from queueing into Chestnut Lane. Clarification on how the public would access the parking garage with the proposed gate.
4. Changes to the major modulation dimensions to meet the Specific Plan standards. The modulation depth must be increased from five feet nine inches to six feet.
5. Clarification on the inset depth of the storefront windows.
6. Additional information on the exterior lighting fixtures to confirm compliance with the Specific Plan's lighting standards and guidelines.
7. Clarification on the use of the Santa Cruz Avenue and Chestnut Street corner retail. Outdoor seating would not be permitted in the public right-of way, but is indicated in the renderings.

The Planning Commission can weigh in on the design refinements noted above, as well as add additional detail-type suggestions.

Correspondence

Staff has received one email from the neighboring property owner at 1146 Chestnut Street (Attachment F). The letter includes concerns regarding the trash collection bins in the public parking plaza and not directly related to the proposed project. The proposed project will provide trash facilities within the building. A condition of approval would be added to any future approvals that would require the bins to be rolled to Chestnut Street or the parking plaza on collection day and then returned to the trash room. The larger concern related to the bins in the parking plaza has been referred to the Public Works Department.

Impact on City Resources

The project sponsor is required to pay Planning, Building and Public Works permit fees, based on the City's Master Fee Schedule, to fully cover the cost of staff time spent on the review of the project. The project sponsor is also required to bear the cost of the associated environmental review.

Environmental Review

As a study session item, the Planning Commission will not be taking an action, and thus no environmental review is required at this time. The overall project will be evaluated in relation to the Environmental Impact Report (EIR) prepared for the Specific Plan, and will be required to apply the relevant mitigation measures.

Public Notice

Public Notification was achieved by posting the agenda, with the agenda items being listed, at least 72 hours prior to the meeting. Public notification also consisted of publishing a notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property.

Attachments

- A. Location map
- B. Hyperlink: Planning Commission staff report, December 11, 2017 - <https://www.menlopark.org/DocumentCenter/View/16188/F3---706-Santa-Cruze-Ave?bidId>
- C. Planning Commission Excerpt Minutes, December 11, 2017
- D. Project Description Letter
- E. Project Plans
- F. Correspondence

Disclaimer

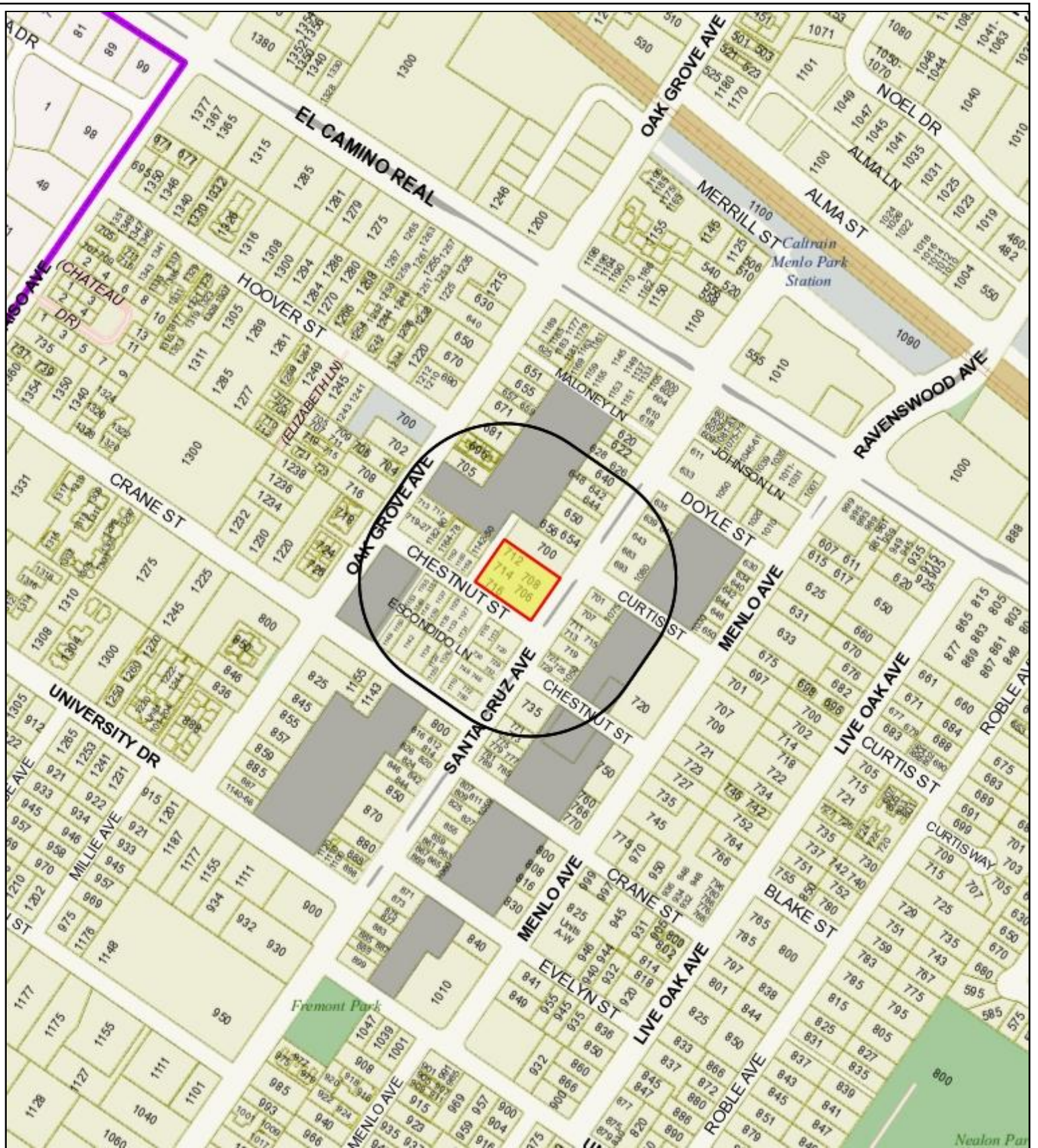
Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

Exhibits to Be Provided at Meeting

Colors and Materials Board

Report prepared by:
Kaitie Meador, Associate Planner

Report reviewed by:
Kyle Perata, Acting Principal Planner



CITY OF
MENLO PARK

City of Menlo Park
Location Map
706-716 Santa Cruz Ave





REGULAR MEETING MINUTES - EXCERPTS

Date: 12/11/2017
Time: 7:00 p.m.
City Council Chambers
701 Laurel St., Menlo Park, CA 94025

A. Call To Order

Chair Drew Combs called the meeting to order at 7:00 p.m.

B. Roll Call

Present: Andrew Barnes, Drew Combs (Chair), Susan Goodhue, Larry Kahle (Vice Chair), John Onken, Henry Riggs, Katherine Strehl

Staff: Deanna Chow, Principal Planner, Michele Morris, Assistant Planner, Kaitie Meador, Associate Planner; Arnold Mammarella, Consulting Architect

F. Public Hearing

- F4. Architectural Control and Major Subdivision/Vasile Oros/706-716 Santa Cruz Avenue: Request for architectural control for the demolition of an existing commercial building and the construction of a new three-story mixed use building with a below ground parking lot, retail and parking on the first floor, office on the second floor, and four residential units on the third floor in the SP-ECR/D (El Camino Real Downtown/Specific Plan) zoning district. Major subdivision to create six condominiums, including four residential units, one commercial/retail unit, and one office unit, with rights reserved to allow up to ten commercial condominium units. Below Market Rate (BMR) housing agreement for compliance with the City's below market rate housing program. Removal of one on-street parking space on Chestnut Street to meet fire access requirements. As part of the proposed project, two heritage trees will be removed; one on-site tree located in the parking lot at the rear of the property and one street tree on Chestnut Street. ([Staff Report #17-072-PC](#))

Staff Comment: Associate Planner Meador said the project was a subdivision that would allow up to 10 commercial condominiums. She said the original public notice indicated there would be four residential units and two commercial units only. She said under the subdivision they were allowed up to 10 commercial units and that had been updated for the agenda and the staff report. She said conditions of approval, 6.n. and 7.a.a currently referenced improvements to Oak Grove Avenue and that should be corrected to Santa Cruz Avenue, Chestnut Street and Chestnut Lane. She said staff had received two emails since publication of the staff report and those were printed for the Commission's review. She said the City's consulting architect was also available to answer questions.

Questions of Staff: Commissioner Strehl asked staff to restate the information related to the subdivision. Associate Planner Meador said the project would create four residential units and two

commercial units. She said the two commercial units could be divided into up to 10 commercial condominiums. Commissioner Strehl confirmed with staff that the latter could occur without coming back to the Planning Commission for review.

Commissioner Barnes clarified with staff that there could potentially be 14 condominium units, four residential and 10 commercial.

Commissioner Strehl asked why the City would allow up to 10 future subdivisions for the project, and whether the purpose was to sell those units. Associate Planner Meador suggested asking the applicant about their intention.

Chair Combs asked why the project was not brought to the Commission as a study session as this proposal was the most complex project for the downtown Santa Cruz Avenue area that he had seen during his Commission tenure. Principal Planner Chow said that study sessions were discussed as appropriate when submitted projects raised questions about use or architecture, and/or based on public feedback after a project application notice was released. She said this was not a bonus level project. She said although the first project under the Downtown Specific Plan on Santa Cruz Avenue it met the guidelines and staff thought it appropriate to bring to the Commission as an action item.

Commissioner Strehl said she thought it would have been better for the project to come to the Commission as a study session first so guidance might be provided prior to being an action item.

Applicant Presentation: Ken Hayes, Hayes Group Architects, said he would make a project presentation on behalf of his client, Mr. Oros. He said present tonight were Mr. Oros, their landscape architect, utility consultant, and legal counsel.

Mr. Hayes said the project site was about 0.50-acres located on the corner of Chestnut Avenue and Santa Cruz Avenue. He said a private, paved surface parking lot was located at the rear of the site between Chestnut Lane and the existing building. He said the surrounding buildings were all one- or two-story commercial buildings with personal service, office and retail uses. He said the parcel was located in the downtown sub-district of the Downtown Specific Plan and allowed for 2.0 Floor Area Ratio (FAR), a façade wall height of 30-feet, building height of 38-feet, with a zero setback requirement, and in a zone permitting a variety of uses. He said they were proposing residential, retail and office use with retail on the first floor, office on the second floor, and residential on the third floor with outdoor common space and a private yard with balconies for both office and residential uses. He said the project would be fully parked in concealed, at grade, and underground parking areas, would respond to the neighborhood context and promote the pedestrian-oriented goals of the Downtown Specific Plan.

Mr. Hayes said the parcel was in a zero setback zone so the property lines basically defined the building envelope. He said they wanted to create lots of opportunities for windows, visual access inside and outside to promote pedestrian activity and friendliness on the sidewalk. He said the sidewalks would be completely improved using brick to match existing and wrapped frontages on Chestnut Avenue and Santa Cruz Avenue. He said they would provide a sidewalk on the Chestnut Lane side of the property for community connectivity that would extend to the properties further to the east. He said the building would have two entry points along Santa Cruz Avenue into the first floor retail space and another entry point on Chestnut Avenue for first floor retail. He said there was

a kind of plaza area at the intersection of Chestnut Lane and Chestnut Street to create a pause in the streetscape. He said that would also be the main entrance for the upper floor users and would include elevator and stair access. He said access to the at-grade and underground parking garage was located on Chestnut Lane. He noted the second and third stories were set back from the first floor.

John Hanna, project attorney, said regarding the 10 condominium units question, that whereas they used to do condominium plans as part of the tentative map that had changed a few years ago so that a condominium map was done as a one-lot map. He said with this project they were doing a three lot map. He said one of the lots was being divided into the residential condominiums. He said the owner had no intention at the moment of doing anything other than leasing the first two floors. He said land developers in these cases want to have flexibility five or 10 years on to sell either the retail on the ground floor or the office on the second floor. He said if no one purchaser was available for those properties the owner would have the ability to sell individual condominiums and divide into multiple units at that time. He said the subdivision map act said that once a map was approved for a condominium project that the further division of a lot on that map into condominium units did not constitute a subdivision requiring another map, provided that the number of units divided into that condominium plan did not exceed the maximum number approved by the City in the final map.

Mr. Hanna said regarding undergrounding utilities that they had gone back and forth with staff a number of times on the issue. He said a guideline for the Downtown Specific Plan stated that utilities should be underground for new projects. He said conditions 6.e and 7.q recommended by staff had to do with the architectural plan and the map. He said it was also posited there that staff would work with a developer with the undergrounding of the utilities as the plans were finalized. He said they understood that to mean that utilities necessary to serve this project would be undergrounded on Chestnut Lane where there were utility wires. He said on Chestnut Street the only undergrounding that would occur would be from the corner of Chestnut Lane partway down the block towards Santa Cruz Avenue, which would be the undergrounding for the utilities for this project, including the transformers. He said they would not take down the poles and underground all of the utilities that served other properties down Chestnut Street.

Commissioner Onken asked about the number seven vault adequacy for the utilities. Tim Fowle, RGA Design, said his firm was an applicant design consulting group. He said the number seven vault would have a single service transformer to feed the new development at 706 Santa Cruz Avenue. He said they intended to install two subsurface vaults to house PG&E junction boxes. He said they received recent criteria design from PG&E and would develop accordingly once the scope of the undergrounding was completed.

Commissioner Onken asked if there was any differentiation in the map act between residential and commercial condominium uses. Mr. Hanna said the residential owners would be required to have a Homeowners Association (HOA) composed of just them. He said the owner(s) of the commercial parcels would not be a member of that HOA but would be responsible for the overall exterior maintenance of the project.

Commissioner Barnes said the applicant's representatives seemed to indicate there was a consensus in terms of staff's understanding and the applicant's understanding as to what utilities needed to be undergrounded. He said the correspondence in the staff report indicated a difference

of opinion about it. Associate Planner Meador said Mr. Hanna's reference and understanding was they would underground Chestnut Lane as required for fire access and then would only underground Chestnut Street if there was additional support from the City. She said staff's preference was for them to underground utilities on both Chestnut Lane and Chestnut Street depending on the feasibility. She said it might transpire that only Chestnut Lane was undergrounded but that would require additional staff review for that conclusion to be reached. Commissioner Barnes asked about the reasons behind staff's preference for what should be done. Associate Planner Meador said staff would prefer the undergrounding of Chestnut Street as it was more visible and would be an aesthetic improvement which was part of the Specific Plan guidelines.

Commissioner Barnes said that the term "feasibility" appeared with some frequency in the staff report and asked if that referred to what was feasible for this project to bear. Principal Planner Chow said they would continue to work with the applicant and feasibility would look at the financial aspect, site constraints, and the needed coordination with a number of outside agencies such as the Fire District and PG&E. She said the Fire District might designate Chestnut Street as the fire access in which case undergrounding utilities there would be required to meet the Fire District's requirements. Commissioner Barnes asked if there was basic agreement that if the utility did not service this particular site that it should not be the responsibility of the applicant. Principal Planner Chow said staff's preference was to have the pole on Chestnut Street removed and utilities undergrounded along the frontage of this property to create a clean line. She said the discussion they wanted to continue with this applicant was what could be done now for undergrounding utilities as part of this project and what could be done with more partners in the future. Commissioner Barnes asked about the sequence of approval for the project noting that such a discussion had monetary impacts. Principal Planner Chow said tonight the Planning Commission was asked to take action on the architectural control and the Below Market Rate Housing Agreement (BMR) and make a recommendation on the final map subdivision to the City Council. She said in the time before the building permit, they would resolve utility undergrounding and offsite improvements.

Commissioner Strehl said she did not understand the commercial condominium division and what entity would be responsible for the garage. She asked if each office condominium would be responsible toward some portion of the maintenance facilities. Mr. Hanna said the CC&R's that would be recorded for the project would address that issue. He said a percentage of the overall cost of insurance, maintenance and whatever overall was needed would be assigned to each one of the units and parcels in the project. He said hypothetically if the office parcel was assigned 33% of the cost that if then subdivided into three equal units each would have an 11% shared cost responsibility. Mr. Hanna said whatever the long-term undergrounding project was for the downtown area they were not dodging their responsibility towards but wanted to deter it until such a plan became effective with the undergrounding of an entire block, street or area and not have undergrounding done piecemeal.

Commissioner Riggs said he understood the applicant's perspective on undergrounding and the City's preference to have utilities on Chestnut Street undergrounded. He asked what the City's justification was in asking this developer, not asking for bonus level, to do more than what the Specific Plan stated in E.3.07, under Utilities Guidelines. He read: *All utilities in conjunction with new residential and commercial development should be placed underground.* He said the applicant seemed to be saying that the utilities used in conjunction with the site development would be

undergrounded. Principal Planner Chow said she thought the City would look at utilities located across the frontage, and if some of those served others along the frontage they would look to see if that could be accommodated with the project. She said this was a conversation that needed to be continued as not all the answers were available tonight from all the different parties involved. She said they were trying to develop a solution that recognized the spirit of the Specific Plan, was feasible for the applicant, and allowed the project to move forward while being resolved.

Chair Combs opened the public hearing.

Public Comment:

- Evelyn McMillan said she was a 40 year Menlo Park resident. She said her family owned the building on Chestnut Lane directly across from the project and that would be the most impacted by it. She said their two-story building was mostly glass and the opening from the project's garage would have vehicles driving directly toward their building. She said they were required to provide a five-foot easement when the building was developed in the 1950s and that ran the length of their property. She said one of their first floor retail tenants had been with them 45 years and another for 20 years. She said the upstairs office space had abundant natural light and had attracted architects, designers and artists over the years. She thought the construction impacts would force her tenants to leave either because of loss of business or noise. She said these spaces were small with reasonable rents that were hard to come by in Menlo Park. She said Mr. Hayes seemed to indicate the opening of the garage was midway down Chestnut Lane but on the drawings the garage was offset toward their building off Chestnut Lane and more at a two-thirds configuration rather than the exact center. She said she appreciated the property owner's right to develop but her family and her tenants for decades would lose revenue during the construction process. She said it was the long-term impact on Chestnut Lane that really concerned them.
- Wouter Suverkropp, Mountain View, said he was a member of the family who owned the building on Chestnut Lane directly opposite the proposed project. He said they acknowledged the rights of the applicant to develop their parcel but they would like to achieve a good outcome. He said they were very concerned about the long-term impacts of this project on their building and their tenants who have served residents for decades as well as for future development on Chestnut Lane. He said Chestnut Lane was currently 25 feet wide and with the proposed project sidewalk would be reduced to 20 feet wide. He said their concerns centered mostly on the entrance to the parking garage which at 30 feet in width would line up exactly with their building's storefront. He said their ground floor tenants and customers would look directly into the parking garage opening and all of the traffic going in and out, the increased noise, vehicle emissions, headlights, taillights, and increased safety hazards would be a constant source of distraction. He said their building had been hit twice already by cars exiting the existing surface parking of this property, and in the one incident, fortunately the building was unoccupied when a car drove through their glass storefront. He said trucks loading and unloading for the project's retail business would block Chestnut Lane including the fire access lane. He said the lane was two-way and cars would be driving closer to the curb making pedestrian access on Chestnut Lane less desirable. He said the plan had confusing and inconsistent information about trash pickup in that the conformance check list stated that trash containers would be accessed by Chestnut Lane but condition 16 seemed to prohibit that. He said the applicant was requesting a subdivision into six condominiums with the right in the

future to expand into 14 condominiums. He said the effects of those future subdivisions were unstudied and might have unintended consequences. He said their attorney Camas Steinmetz would talk about a solution that would eliminate their concerns and the danger to their building while enhancing the village like pedestrian shopping area and retail experience on Chestnut Lane in compliance with the El Camino Real/Downtown Specific Plan.

- Ann McMillan said she was the daughter of the family who owned the building across Chestnut Lane from the project site and that she was ceding her three minutes of speaking time to Camas Steinmetz.
- Camas Steinmetz said she was an attorney representing the property owners of 1142 to 1150 Chestnut Lane directly across from the project site. She said a letter she submitted about this project was included in the staff report on pages 142 to 144. She said her clients had spoken tonight about how this proposed project would significantly impact their building and tenants. She said the proposed project also would threaten the overall consistency of the El Camino Real/Downtown Specific Plan. She said one of the five guiding principles in the Specific Plan was to sustain Menlo Park's village character as described on page C4: *The Specific Plan recognizes and builds upon the unique qualities of downtown Menlo Park, in particular its small town character of lower scale buildings and diverse and local neighborhood serving businesses. The Specific Plan accommodates future development in ways that complement the area's existing character.* She said there were two changes to the proposed project that would both further this vision and alleviate impacts on her clients' building. She said first they suggested that the garage entrance be relocated to Chestnut Street. She said this was raised in her letter as their primary request but was not addressed in the staff report. She said in a conversation her clients had with the applicant last January she understood that the developer expressed interest in locating the project's first floor retail components directly across from her clients' building storefront. She said moving the parking garage entrance would permit that configuration and complement the existing character of the area, building upon the character of lower scale buildings and diverse and local neighborhood serving businesses. She said the existing surface parking for the proposed project was accessed from Chestnut Street so their suggested change would preserve an existing condition and align the garage entrance directly across from where Ryan Lane intersected Chestnut Street. She said they requested that the sidewalk along her clients' building be widened to provide a buffer from the project and its impacts. She said this would further all five guiding principles of the Specific Plan by improving the overall pedestrian experience. She said it would also help resolve the inequity of the fact that the City was treating similarly situated properties differently. She said her clients' property and their neighboring' properties were burdened with the five-foot sidewalk easement yet the City was not requiring a similar sidewalk easement dedication of the project applicant. She said the resulting 15-foot width after subtracting the widening sidewalks and the sidewalk on the project site side would meet City standards if Chestnut Lane were restricted to one-way traffic. She said that was not addressed in the staff report. She said they realized this was the first redevelopment in the downtown and evaluated under the Specific Plan and would serve as a test case for upholding the Specific Plan vision. She said they urged the Commission to continue the hearing and direct staff to carefully study the two project changes they were requesting to insure that the project both mitigated its impacts on existing development and furthered Specific Plan goals and policies to the maximum extent possible.

- Richard Poe, Menlo Park resident, said he was a local real estate broker. He said he supported the project and understood there were many things for the Commissioners to consider but he thought it was time for the City to catch up with communities like Palo Alto and others who have had this type of development occur. He said in disclosure he was representing an owner who would be coming before the Commission for a project at 840 Menlo Avenue that was within the downtown corridor. He thanked Commissioners Barnes and Riggs for raising the question of whether the Specific Plan, the code and the staff's analysis of it has only to do with the undergrounding of the utilities that served a project or whether they were expecting developers to pay for undergrounding of utilities for other people in the neighborhood. He said he did not think staff's comments on that were complete and deserved the Commission's more careful attention. He said with his project that it was clear staff was requesting that the developer do offsite undergrounding. He said the position of most developers he dealt with was they liked undergrounding as it looked much better and increased property values but it was simply impossible and unrealistic to do on a project by project basis, and there had to be a comprehensive approach. He said he would encourage a common solution for owners to agree to long-term for the undergrounding. He asked about a red zone on Chestnut Street that was not a loading zone. He said there were four parking spaces there now. He asked if all four spaces disappeared, how they would prevent trucks loading and unloading from parking on Chestnut Street.
- Kevin Cunningham said he was a resident of Orinda and a property owner in Menlo Park. He said he echoed the comments of the last speaker. He said the project proposal was a well-thought out project long overdue in the downtown Menlo Park. He said he thought a neighborhood could be revitalized and enhanced through development and still maintain the integrity of what made that area special. He said he understood this project fulfilled all of the obligations and was within the envelope of what was allowable under the Specific Plan. He said he thought the goal of the Specific Plan to enhance Menlo Park's character was met by this proposal. He said while no project was perfect that the benefits of this project to Menlo Park and its visitors was a large positive, and he enthusiastically supported it.
- Daniel Minkoff, Oakland resident, said he was a property owner in Menlo Park, and was currently working on a redevelopment of 650 and 660 Live Oak Avenue, which was a mixed-use project approved about one year prior by the Planning Commission. He said he commended the architectural and development team on this project. He said mixed-use projects were challenging and to have all three uses in one project work well and look good was something that all mixed-use projects should strive for. He said projects often had a front that looked good and a back that tended to get cheaper materials and less attention. He said it appeared that all of the three main elevations for this project had received attention noting the use of deep inset windows in a way that dealt with the particular environmental conditions of the different directions involved. He said he supported project approval.
- Fran Dehn, Chamber of Commerce, said since the Specific Plan approval the City had seen projects along El Camino Real that were reviewed and approved to date. She said 706 to 716 Santa Cruz Avenue was the first project to come forward in the traditional retail area. She gave the applicant kudos for moving ahead with a development project along Santa Cruz Avenue under the Specific Plan. She said regarding utility undergrounding in the staff report on page 7, paragraph 2, that there seemed to be an incorrect reference to C2-1 and referred to a different drawing, noting she did not have all the drawings. She said the ultimate desire to streamline the

line of vision and underground all utilities was a good goal but perhaps conceptually flawed if it was to be achieved project by project as suggested in the initial paragraph of the staff report. She said the applicant has agreed to all of the solutions desired along Chestnut Lane but in terms of Chestnut Street the alternative option was more realistic, which she thought also met the requirements of the Menlo Park Fire Protection District without furthering burdening the applicant with a piecemeal solution to a downtown. She said there were other ways to accomplish the long-term goal such as the step process referred to by Planning staff and Mr. Hanna this evening in ongoing conversations with the City. She suggested establishing an effective process to accomplish the undergrounding goal of the Specific Plan. She said the utility pole in this situation actually serviced another property and she asked whether that was the applicant's responsibility to take care of something that serviced a completely different set of properties. She said she looked forward to the project moving ahead.

- Vasile Oros, project applicant, said Ms. McMillan and he were property owners, and he did not want to do anything that would take away value from her property. He said although she had a five-foot easement required on her property, he had 18 surface parking spaces he was required to preserve. He said he would like to have only a five-foot easement, build a two-story building and not have to provide any parking spaces. He said the parking spaces were a grandfathered requirement and his understanding was whatever was grandfathered had to continue.

Chair Combs closed the public hearing.

Commission Comment: Commissioner Onken said that page 4 of the staff report described parking and how the count was made. He said currently the site had 22 spaces. He asked what was required for the new project and how was that accomplished. Associate Planner Meador said the project was part of the P parking zone which meant the first 1.0 FAR had to be covered by the existing parking. She said for the existing parking that credit was given if the property owner had to make ADA compliant parking, and that was how they came to 18 existing spaces for this site. She said parking for the remaining office FAR used the standard Specific Plan ratio and one parking space was required for each residential unit. She said the parking was private to the site.

Commissioner Barnes asked about likely tenants for the 13,000 square foot retail space. Mr. Oros said he thought viable tenants would be restaurants noting that retail was challenging. Replying to Commissioner Barnes about potential tenants for the office space, Mr. Oros said he had no prospective tenants at this time. Commissioner Barnes asked if the four residential units on the third floor would be for sale upon completion. Mr. Oros said he hoped to lease the units. Commissioner Barnes asked why four units and not more. Mr. Oros said his thinking was that with fewer residential units there was less impact on the office and retail spaces as the main users would be commercial. Commissioner Barnes asked about bicycle parking for the project. Mr. Hayes said there would be long and short term spaces. He said short term spaces were near the residential entrance in the plaza-type area down by the corner of Chestnut Lane and Chestnut Street and there would be 12 short term bicycle parking racks, each holding two bicycles. He said there was an existing three bicycle parking rack that would be replaced as well. He said there were nine long-term bicycle parking spaces in the parking garage and they expected residents to take their bicycles by elevator to their units. Commissioner Barnes asked about the construction time length. Mr. Hayes said they had submitted a logistics plan to staff and the construction period was estimated at 14 months. He said a construction fence would be constructed along Chestnut Lane so that traffic was not stopped.

Commissioner Barnes said although he thought the garage location was appropriate for the site he was sensitive to the impact of cars traveling in and out of the garage on the neighbor's building across Chestnut Lane. He asked if they had thought about mitigations not just for construction impacts but for the cars traveling in and out of the parking garage. Mr. Hayes said they spoke with Ms. McMillan about a year ago and looked at some alternatives that did not work out. He said from that exercise they came up with planters to create some space on the building side so it did not feel it was right on top of Chestnut Lane. He said that having the garage entrance a bit wider than the minimum of 24-feet would create more room where the cars would be coming in and out. He said the existing building generated 47 peak hour trips with the current retail use. He said the proposed project would increase peak hour trips by 31 new net trips. He said striping both sides of Chestnut Lane would help mitigate traffic so people did not park on Chestnut Lane and deliveries would be prohibited there. He said deliveries did take place occasionally in that location now. Commissioner Barnes asked where deliveries would take place. Mr. Hayes showed a slide that deliveries were made early in the morning. He said staff did not want unloading to happen at Chestnut Lane but deliveries were made in that area now and no complaints were made. He said the property owner indicated that the trucks come early in the morning and left before the downtown woke up. He said mitigation for the neighbor included no deliveries on Chestnut Lane. He said trash would be moved to a particular site with other trash facilities on garbage pickup day. Commissioner Barnes asked if there were food and beverage uses on the new site if the existing area shown in the blue level could be used by delivery trucks. Mr. Hayes said having a loading zone on these small parcels downtown impeded pedestrian friendliness and walkability. He said having a place the community could support for deliveries in certain hours of the day made a lot of sense. He said the particular noted location was one that had been working and it would be great if that could continue there.

Commissioner Barnes said it seemed reasonable to use a public lot to serve businesses there. He asked staff if thought had been given to where deliveries would be made and whether the space indicated with a blue oval was representative of a future loading zone area to service the new development. Associate Planner Meador said when staff reviewed potential loading zones for the project one option was double parking on Chestnut Street, which would be allowed. She said they did not explore the parking plaza as a loading zone. She said based on the use loading would be limited for the site or have a short, minimal loading time. Commissioner Barnes asked if they would allow loading in the public plaza and what the decision process was for that. Principal Planner Chow said they would need to talk further with the Transportation Division about that; she noted that Chestnut Street was the public right of way. She said if loading and unloading happened now in the parking plaza before and after hours that was an informal arrangement. She said parking plazas were intended to be used for parking and the parking plaza was not striped for loading.

Commissioner Strehl asked where retail customers would park. Mr. Hayes said there were nine covered spaces at grade that included an EV charging space and an accessible parking space. He said those spots were available for people doing business in the project building. Commissioner Strehl asked about the vehicle access plan for the garage whether the entrance was one way and the exit the other way. Mr. Hayes said the diagram showed that if there were two cars with one entering and one exiting the garage simultaneously that the one exiting the garage would not be able to turn left easily based on engineering radii.

Commissioner Strehl confirmed with staff that the sidewalk widening on Chestnut Lane would narrow the Lane. She asked why the sidewalk was not part of the project property as opposed to using public right of way. She said narrowing that Lane concerned her. She said it was a convenient way in and out of the public parking plaza. She understood why they would not want their garage entrance on Chestnut Street but it seemed to be a significant imposition to the property owners directly across the Lane. She asked if the proposed sidewalk to the parking plaza would have a zigzag alignment as buildings did not line up on the Lane. Associate Planner Meador said that currently the sidewalk would not be a straight line but would be connected and in the future when other properties redeveloped those would make the sidewalk a continuous line. Commissioner Strehl asked about garbage pickup. Mr. Hayes said it would not be on Chestnut Lane. He said they would need to pull dumpsters out and have them picked up on Chestnut Street or to an alternative location and then return them to the garage area.

Commissioner Onken said that the applicant had tried to address Chestnut Lane and the neighbors had very justifiable concerns. He said he thought the new sidewalk on the applicant's side of Chestnut Lane was pointless. He suggested if a do-over was possible that widening the sidewalk on the other side of Chestnut Lane to 10-12 feet with safety features would create a unique walkway in Menlo Park. He said additionally installing minimal safety features on the applicant's side and making the Lane one way so that people exiting the garage would turn right and exit through the public parking plaza seemed preferable. He asked how to make changes on the west side of Chestnut Lane such as widening the sidewalk there. Principal Planner Chow said that they would want to involve Engineering and Transportation staff if this was something the Commission wanted pursued. She said increasing the pedestrian accessibility and connectivity was why they had added the sidewalk so there would be a sidewalk on each side of the lane. She said to change the direction of the Chestnut Lane public right of way would involve discussion with Transportation Division staff. She said if the Commission wanted that explored staff could return with feedback on that. Commissioner Onken said those measures would help to resolve the neighbors' concerns and he would like to see those in place before he approved the use permit. He said he was familiar with the building design proposed and he thought it would be an asset to the community. He said the façade could be varied more and that materials might be mixed more. He said he liked the terraces up Chestnut Street. He said knowing of these buildings in other cities there was a variety of retail that could be offered within a strong frame.

Commissioner Strehl said she did not understand why a sidewalk would be wanted on the project side as it would cross the garage driveway and would not be a very safe place for crossing. She said widening the sidewalk on the other side and tuning that up would make more sense.

Chair Combs said the space behind Ace Hardware was used by Menlo Presbyterian, and a person parking on Chestnut Street to reach that space would have an accessible advantage with the proposed new sidewalk on Chestnut Lane. He said he wanted to point out some value for locating the sidewalk there but he was not saying it outweighed the value of the solution being offered by Commissioners Onken and Strehl.

Commissioner Goodhue said the proposed rear elevation was not ugly but it was not as nice as the Santa Cruz Avenue and Chestnut Avenue elevations. She said weekly she drove on Chestnut Lane for an appointment along there. She said leaving the public parking plaza she then takes a left on Chestnut Avenue to get to Santa Cruz Avenue, noting that left turn was challenging. She said the whole area needed rethinking. She said if they wanted to make something unique on

Chestnut Lane there was a tremendous opportunity to make the sidewalk on the opposite side more attractive rather than making a current situation worse with a rolled curb sidewalk for fire truck access. She said walking down Chestnut Lane that she tended to walk in the middle to be visible as the sidewalk was narrow. She said she was not sure the garage entrance was in the right place, and if Chestnut Lane was not made one-way, the garage entrance would cause problems at that intersection.

Mr. Hayes said having the sidewalk on the other side expanded was a good idea but noted the subject project imposed some constraints on that idea. He said the project building had a stairway coming down the back of it and a public way was needed to get people out of that area and away from the building as needed. He said if there was no sidewalk on the project side of the street that a crosswalk would be needed to get across to the widened sidewalk in front of the neighbor's building. He said this area was intended as the project's fire access lane and a 25-foot width was required for that which was why the Fire District wanted the curb rolled on the project side of the Lane. He said if there was no sidewalk on the project side that perhaps they could extend the base of the building two feet allowing for more space for ivy plantings. He said the sidewalk on the opposite side could not be widened to 10 feet as the project would still need to keep a 25-foot wide zone. He said if Chestnut Lane was one-way it could be narrower except they would have the same issue with the fire trucks needing 25-foot width.

Chair Combs said overall he liked the project and the mixed-use elements. He said he had a procedural concern in that the Commission had been presented with a substantial project for action that had impacts without having had an opportunity to get public concerns prior so those might be addressed before bringing the project forward for action. He said he was not a fan of the architectural style. He said although it was a base level development under the Specific Plan that within the Plan benefits were provided to developers. He said he was not sure this project's design elements were what the City or community expected in return. He said he expected something with a bit more character. He said the project spoke to existing architecture such as the Wells Fargo building but he did not think that architecture should be the measure for this project.

Commissioner Barnes said he would like to hear from the consulting architect noting that the Specific Plan was very prescriptive in what was expected for projects in the area. Arnold Mammarella, consulting architect, said there was discussion with the applicant, the architect, staff and him about the development of the building. He said one element was how to make this development a pedestrian-oriented, friendly, intimately scaled streetscape. He said the size of the building with three floors was not debated but the question was how to have it fit within the character of the downtown and how the downtown would develop. He said staff was pushing for more variety in the design and more things to make it pedestrian-oriented in terms of the architecture so that it was not quite as ordered and rigid. He said the project architect was very capable in developing this type of architecture and was able to articulate those forms without a lot of divisions in the fenestrations and the frames to meet the Specific Plan requirements. He said the question was whether the Commission supported this architectural plan or wanted to see something that was more intimate in scale and more diverse in its presentation. He said the Specific Plan provided some images that seemed to speak to such scale and diversity but it was not deliberate in saying that.

Commissioner Barnes said in his view the project conformed to the Downtown Specific Plan guidelines very ably. He said he liked the architecture and that it took the village character theme,

which was articulated in the Plan. He said he would not have a basis for modulating the design based on preference as it conformed to everything set forth in the Plan. He said he recognized the difficulty of having three different uses in one building and he thought the proposal went far to accommodate all three uses. He said he liked the idea of expanding the sidewalk on the opposite side of the project on Chestnut Lane as well as providing some type of buffer for where the project's lot line ended and for traffic to turn in and out of the garage. He said the sidewalk width was important but the streetscape aspect from his perspective was less important. He said staff stated a preference for a sidewalk along the back of the project property that continued down Chestnut Lane to the public parking lot. He said continuing the sidewalk would remove all the parking behind the other buildings through the public parking lot. Principal Planner Chow said the sidewalk continuation would be to 700 Santa Cruz Avenue. She referred to sheet B1 of the staff report that showed the jog in the parcel lines. Commissioner Barnes asked the reason for the sidewalk. Principal Planner Chow said it was for safety and to have pedestrian access on both sides of Chestnut Lane. She said the Plan did not describe in detail how there would be connections on Chestnut Lane but page D19 described a connection behind the properties. Commissioner Barnes confirmed with staff that was a connection specifically at the corner of this property from Chestnut Lane to Chestnut Street. Commissioner Barnes asked if the sidewalk was eliminated and two-feet of space taken for the base of the building whether vehicles would be able to make a legitimate turn into the parking garage. Mr. Hayes said that if the radius to turn was tightened up vehicles would need to swing wider into Chestnut Lane to make the turn.

Commissioner Riggs said he did not know how the last car in the nine parking spaces would get out as there was no pocket to back into. He asked how the brick façade was expressed and whether the grout would have contrast to create a pattern or if the façade was muted. He said other questions he had included why five tree replacements had been reduced to three tree replacements and how construction would proceed on a zero lot line on Chestnut Lane. He asked what would happen to Chestnut Lane when the new building was constructed with zero lot line on all four sides and a sidewalk taken out of the 25-foot right of way. He said with the garage entry and Chestnut Lane connecting to the public parking lot that he did not think Chestnut Lane could afford to give up five feet of drive space, and that there would be impacts from vehicles trying to get in and out. He said a great deal of experience and skill had gone into the project plans and great problem solving. He said the height of the building was correct but looked oversized because of the brick frames and modulation. He said the building length was 200 feet when storefronts in Menlo Park were 25-feet wide or 50 to 60 foot wide which was why modulations were required. Mr. Hayes said the modulations were at 28 feet. Commissioner Riggs said if the streetscape had been illustrated with the adjacent buildings in their detail the pedestrian scale would be more visible. He said the formality and rhythm to the architecture could be read as rigid. He said the design would be fantastic on Page Mill Road and Sand Hill Road but it needed to be more intimate in this area. He said they might need another approach in façade and materials and that he could not support the project design.

Commissioner Kahle asked the applicant to pull up the slide of the rendering of the corner of Chestnut and Santa Cruz Avenues. He said he appreciated the design and the careful thought that went into it. He said he would have appreciated a study session to have an earlier look at this and have the opportunity to provide feedback as it was a much needed improvement to the downtown and was the first major project in the downtown Specific Plan area. He said he was not convinced the design was as best fitted to the site as it could be. He said at the corner of Chestnut and Santa Cruz Avenues would be a two-story brick clad cube and third story mass for residential unit 3. He

said he was more drawn to the glass fins and the building's nice and unique character on the opposite corner noting the rendering of the corner of Chestnut Lane. He said more glass was apparent on the third floor with a thin roof line that drew him in more. He said he was not sure the Roman brick was the best direction for the project. He said the colors were a bit muted and he would like something as an accent or highlight that would draw a viewer in more. He said some of the more successful Hayes Group projects in downtown Palo Alto had great character at the street level façade and read more commercial than this proposal did. He said he appreciated the discussion on the wider sidewalk on Chestnut Lane and thought that would be a great solution. He said someone had mentioned earlier about potentially having the garage entrance elsewhere, and if they considered having it from the Chestnut Street side. Mr. Hayes said he never considered interrupting the sidewalk on Chestnut Street for that as under the Specific Plan the City was trying to create connectivity and continuity of retail storefronts that were pedestrian-friendly and walkable. He said if the garage driveway was put there it would interrupt the sidewalk and just 25-feet past the entrance the sidewalk would be interrupted again by Chestnut Lane. He said the place for the garage access was on Chestnut Lane. Commissioner Kahle said he liked the design but it needed a bit more finesse to fit the site better.

Commissioner Onken said the whole issue about Chestnut Lane which he saw as an important mitigation for this project was somewhat out of the Commission's hands. He said they could direct staff to look at changing Chestnut Lane and find out a month later that nothing would be done to it to change it or that the Fire District was stipulating the sidewalks were absolutely necessary, He moved to continue the project directing staff to specifically get input and response from Public Works in terms of the commitment to improvements along Chestnut Lane before the Commission recommend the project to Council. Principal Planner Chow said they also needed the Fire District's requirements. Chair Combs said the motion as stated had no action items for the applicant and only for staff to resolve issues around Chestnut Lane. He suggested that was unnecessarily burdening the applicant for matters outside his control.

Principal Planner Chow clarified that the Commission had the authority to approve the architectural control and Below Market Rate (BMR) agreement and the only item continued on to the City Council with Planning Commission recommendation was the tentative map.

Commissioner Goodhue said she loved the multitude of uses in the project which was exactly what was needed downtown. She said she was struggling to want the building as presented, and thought the project should be continued. Mr. Hayes asked if it was the style. Commissioner Goodhue said she appreciated the thought given to the project but intimacy was the thing that was missing. Mr. Hayes noted that the Specific Plan dictated the floor heights of 15-feet and 12-foot ceilings and scale. Commissioner Riggs said the 30-foot height was fine but the sense of scale had to do with materials, arrangements and rhythms. Commissioner Goodhue said volumes. She said she agreed on the procedural level that this was a perfect candidate for a study session when the project was in the earlier stages.

Commissioner Strehl said she thought the project needed to be continued and more time spent on the design to improve it as well as get resolution of the issues on Chestnut Lane.

Commissioner Onken said he appreciated the aesthetic concerns but he thought those concerns were well resolved in the project.

Chair Combs asked staff about Commissioner Onken's motion noting it was to continue the project to investigate what could be done on Chestnut Lane. He said as is if seconded and approved, there was no direction for the applicant about the project itself. Principal Planner Chow said Commissioners had expressed concerns with the architecture, the massing, the materials, and the rhythms so potentially they would move in two steps. She said first staff could come back with more clarity about Chestnut Lane to the Commission, and at that time the Commission might provide additional direction to the applicant. She said if they wanted the applicant to change the design that potentially that could come back as a study session after information about Chestnut Lane was received. She said Commissioner Onken's motion as stated would not require the applicant to do anything at this time.

Commissioner Onken said the Commission could approve the BMR agreement and make the subdivision recommendation to City Council this evening. He said if there were aesthetic concerns that he did not think anything could be done for a project of this size until Chestnut Lane was resolved.

Commissioner Barnes said he thought they could vote on various parts of the actions required. He said regarding Chestnut Lane that there needed to be information upon which to make decisions. He said if it proved the aesthetics was the stickler then they could have a discussion on that.

Commissioner Riggs said he did not see this project process different from what the Commission has been asked to handle in the past. He said he would like to second the motion for continuation and request that it also include direction to the applicant to look at the design scale and how the facades worked particularly with the pedestrian scale in terms of the character and the difference between facades that were rigid or were intimate. Commissioner Onken said to clarify that the applicant would look at aesthetics and character but staff and Public Works would be charged to look at Chestnut Lane as the answer to that would not come from the applicant.

Principal Planner Chow asked if the Commission's intent was to see a revised design when they brought this back with information clarifying what could be done on Chestnut Lane. She said staff once a determination was made on what was feasible with Chestnut Lane would then have the applicant work on a revised design based on that information. Chair Combs said the design revision should address all the concerns raised about the design and not just specifically in regards to what could be done on Chestnut Lane. He asked Commissioner Onken if he saw this coming back as an item for approval or in some other form. Commissioner Onken said he would like the project to return to the Commission as it came for this meeting with all actions to be taken.

Chair Combs said the motion was to continue this item to a future meeting to have staff address issues regarding Chestnut Lane and have the applicant and architect look at the issues raised about the façade to make the architecture a more intimate pedestrian scale and create a building with more character as suggested by Commissioner Riggs.

ACTION: Motion and second (Onken/Riggs) to continue the project to a future meeting date with the following direction; passes 7-0.

- Planning staff to confer with Public Works (Transportation/Engineering) and the Menlo Park Fire Protection District as to what could be committed to on Chestnut Lane to resolve concerns with pedestrian safety and vehicular impacts such as not requiring a sidewalk on the project

side, expanding the sidewalk on the side opposite the project and installing safety barriers, and making traffic one-way.

- Applicant based on information provided on Chestnut Lane design feasibility to revise design accordingly and also look at revising design by using different materials, changing building rhythms, or some combination of efforts to create a building with more character and an intimate, pedestrian scale.

H. Adjournment

Chair Combs adjourned the meeting at 11:05 p.m.

Staff Liaison: Principal Planner Deanna Chow

Recording Secretary: Brenda Bennett

Approved by the Planning Commission on January 22, 2018



3223 Hanover Building 2, Palo Alto
Project Narrative - Formal ARB Review 3

August 15, 2018

To: The City of Menlo Park Planning Division
Ms. Kaitie Meador

From: 706 Santa Cruz Ave., LLC. and
Form4 Architecture, Robert Giannini, Architect

Subject: **706 Santa Cruz Avenue, Menlo Park**
Planning Commission Study Session

Dear Kaitie:

It has been a pleasure working with you and the City as we developed a new architectural expression for the 706 Santa Cruz project that extends from the existing Ace Hardware to Chestnut Street on Santa Cruz. We began the new design with our meeting with you and other key City staff and learned about the goals for this important site. Our application address the new design, and issues that had been identified in the earlier application.

As starting point we revisited the primary goals of the Downtown Specific Plan as itemized below. On a personal note, being a 35 year resident of Menlo Park, I have a special desire to see those goals achieved, and to have the wonderful character of the City maintained and enhanced.

Specific Plan Goals:

- 1) *Encourages infill development of vacant and under-utilized lots along El Camino Real through increased intensities, coupled with strict building modulation and ground-floor setback and building profile requirements that both attenuate the mass and scale of larger buildings and create wider public sidewalks;*
- 2) *Retains the existing "village" character downtown by keeping buildings low and requiring varied building massing, including through building profile and façade modulation requirements;*
- 3) *Increases downtown activity, foot traffic and transit use through enhanced public spaces, mixed-use infill projects (including residential uses) and higher intensities of development near the commuter rail station;*
- 4) *Enhances community life through an integrated network of widened sidewalks, promenades, pocket parks and public gathering spaces; and*
- 5) *Enhances east-west connectivity across El Camino Real through crosswalk and sidewalk improvements, while accommodating north-south vehicular through-traffic, and across the railroad tracks through grade-separated pedestrian and bicycle connections.*

Of the above goals, items 2 and 3 can be addressed by this project.

To quote the Specific Plan: “Buildings with minimal setbacks have a special relationship with the sidewalk and street. In these cases, buildings frame the street and form a well-defined street edge. Activities within the building, if seen, particularly at ground level, can provide visual interest and a degree of safety to passersby.

- a) In keeping with the above aspiration, this project strives to be a welcome neighbor, and a unique and appropriate example of the direction given in the Downtown Plan. Because people will experience it at street level it has an intimate, people level scale.
- b) We feel the building should be modern and “of its time,” but we are not advocates of stark modernism in this location. The architectural expression is what we call “warm modern.” It uses high quality, warm materials; buff color and gray stone & tile, dark brown mullions and clear glass to convey a feeling of transparency, quality, and friendliness.
- c) Wood soffits add warmth and fit in with the scale of the street. They make the buff colored limestone feel even warmer.
- d) The building is extroverted and becomes part of the street life. It wants to be a welcome participant - not trying to upstage its neighbors, but rather join in the vitality of the street.
 - To achieve that goal bay windows protrude to engage the street and add a artistic and interesting top to the storefronts below. This makes the retail presentation special. People in the second floor office become part of the action. Passersby can see activity within, and that adds life and safety to the street.
 - The third floor houses a “residential & office village” surrounded by deep roof decks edged with flowers. This adds an interesting third dimension where third floor residents have an overview of the street, and people on the street may enjoy activity happening on several levels.
 - High quality materials attract retailers and give the street character. The building defines the street and conveys an upscale, welcoming and safe feeling.





above: View from Santa Cruz down Chestnut Avenue - glass corner opens building to the street.

below: "Village on the roof" enriches the fabric of the city (please see sightline studies included in the planning set showing no visual impact from rooftop mechanical equipment & skylights).



From the Specific Plan: “Building massing and modulation consider both vertical and horizontal modulations. The modulation of buildings refers to change or variety across a building plane to provide distinction in the building as well as provide visual interest. Vertical modulation is the introduction of façade articulation that creates a rhythm or pattern across the façade of a building. Horizontal modulation provides visual clarity between ground floors, upper stories and roofs.”

- e) The design works within the “major and minor” module guidelines of the specific plan as described above. The rhythm the guidelines advocate help organize the street. To add interest we especially focused on the infill of the module.
- Each frame’s infill is conceived to be an artistic composition of clear glass, bay windows and sunshades with great attention to detail so that it creates intimate people scale.
 - Curves introduced in the composition’s sunshades break the rigidity that could be the outcome of strict modulation rules.
 - To add variety, the major modulations on Santa Cruz & Chestnut Ave. employ a different color material and scale as required by the Specific Plan. The resulting overlapping composition is a base of buff colored stone & glass wrapped around the *residential & office village*” above. The grey tile of the major modulations hint at and preview what’s happening on the third floor above (please see birds-eye view previous page for a top down view).



Chestnut Lane

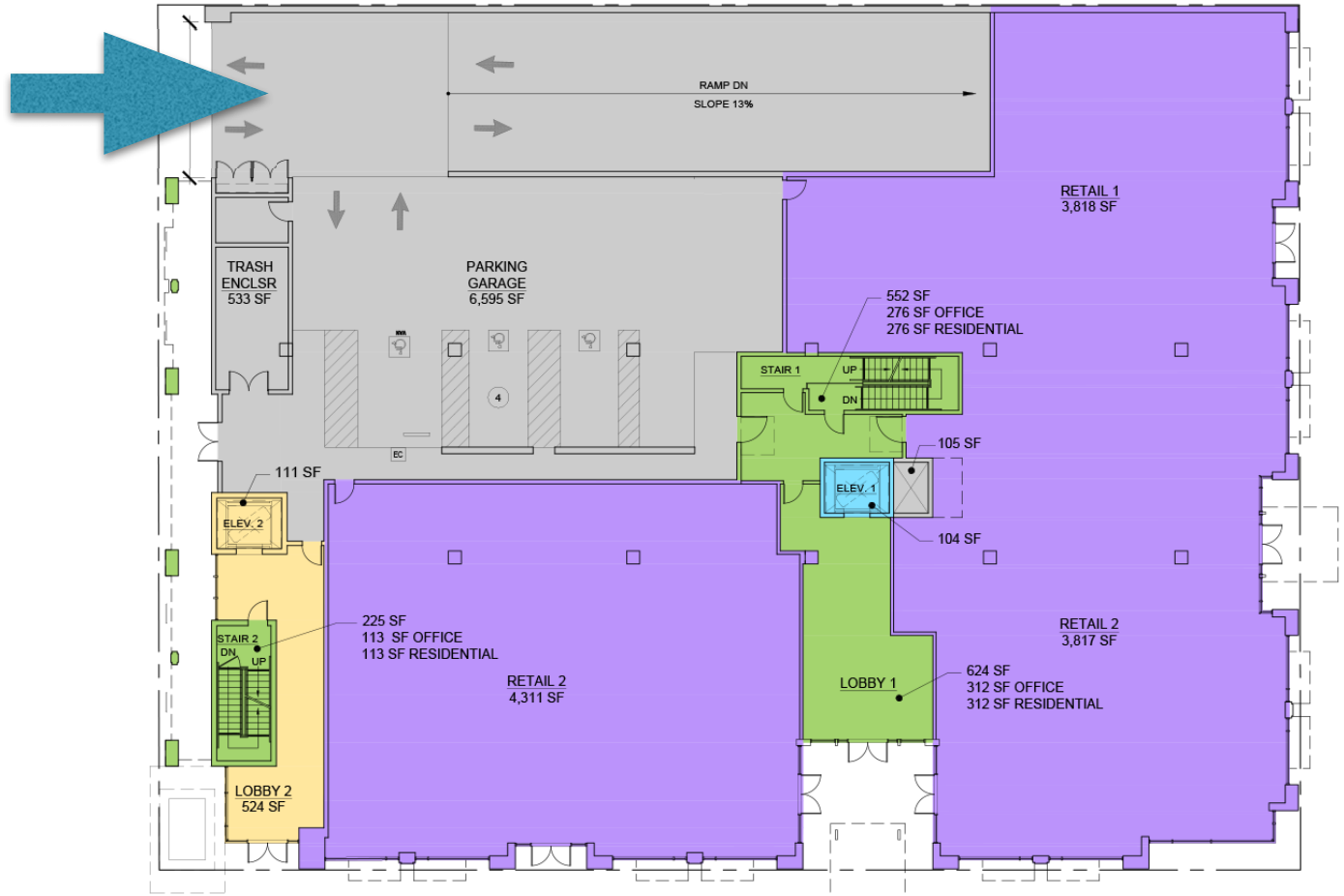
An important part of the redesign was to work closely with our neighbors on Chestnut Lane. Following are the concerns and our responses:

- 1) *The previous design reduced Chestnut Lane by 5'.*
 - a) The project has been redesigned to keep the Lane at its current width and also enhance the pedestrian experience and make the Lane more special.
 - b) Building columns are located just behind the location of the existing curb. A covered sidewalk is created behind those columns, and much of it is buffered from the road by planters. Walls that form the backdrop of the new sidewalk will be planted to add to the gracious quality of the new path.
- 2) *Previously the garage entrance was 30 feet in width lined up with neighbor building's storefront.*
 - a) The garage entrance was moved to the far edge of our site to minimize any impact (please also see plan view next sheet). It is also set back from the street.
 - b) More importantly the geometry is now such that one drives straight down into the garage rather than having to negotiate an "S" turn once you enter. The result is that the garage opening can be City minimum width of 24'.
 - c) The simplified geometry also means that cars can more quickly enter the garage and proceed to the parking level minimizing queuing. The motion is simpler, more direct and quicker.
 - d) A roll down grill will mitigate the open void of the internal driveway beyond.



Garage entry shifted to the edge and is narrower than before.

The movement is quicker because one drives straight in.



Managing Trash & Deliveries

All uses within the building allow for trash and deliveries to be staged in the concealed area behind retail.

- 1) Trash
 - a) All retail spaces open to the covered service area where the trash room is located. Trash is stored there, and on trash days it is moved to the central location used today for pick up.
 - b) Office and residential elevators also drop down into the service area where trash may be stored.
 - c) To accommodate capacity, multiple pick up days can be arranged and all can be at hours when public activity is minimal.
- 2) Deliveries
 - a) The same common service area offers a direct path for deliveries into all uses in the building.

- b) To accommodate capacity, multiple delivery times can be arranged and all can be at hours when public activity is minimal.

Thanks very much for your attention and review of the various design aspects of this project!

Form4 Architecture

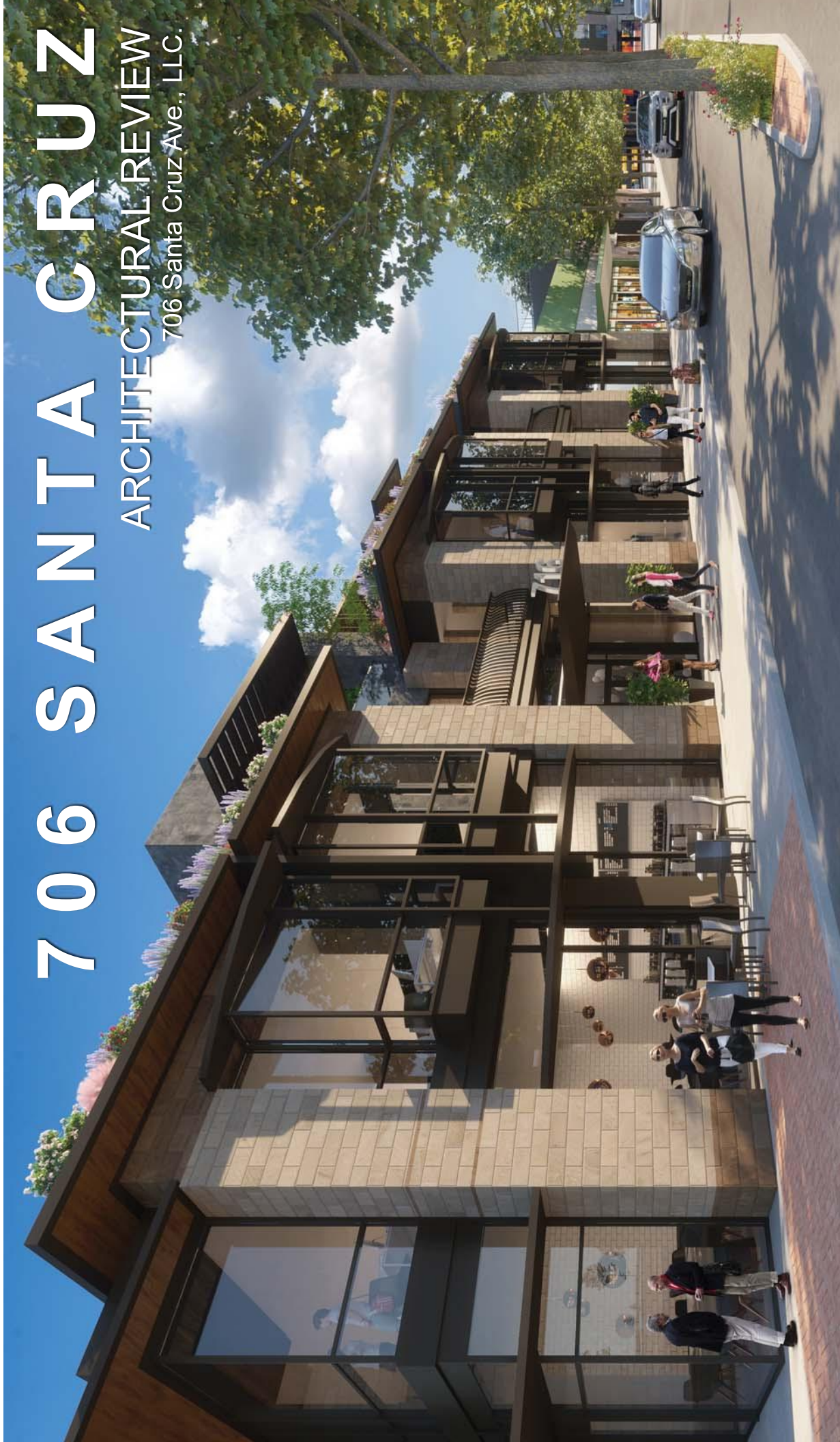


*Robert Giannini
Architect, President*

706 SANTA CRUZ

ARCHITECTURAL REVIEW

706 Santa Cruz Ave., LLC.



FORM4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING

706 SANTA CRUZ AVE. MENLO PARK

Architectural Review
706 Santa Cruz Ave., LLC.

CS 0.0
August 15, 2018



PROJECT DESCRIPTION:

A new three story mixed use building with one and a half levels of below grade parking, ground floor residential and office lobbies, parking & retail; second floor office and balconies; and third floor residential units, office and balconies.

PROJECT DATA:

CODE & ZONING	
APN	71102250
ZONING	SP-ECC/D
CONSTRUCTION TYPE	Type II-B
OCCUPANCY	M
Parking Levels	S-2
Retail Level 1	M
Office Level 2 & 3	B & A-3
Residential Level 3 (4 units)	R-2
SITE AREA	23,454 sf 0.538 acres

BUILDING AREA NOTES & EXEMPTIONS						
Maximum FAR = 2 FAR	2.0 46,908.00 sf allowed					
Allowable Office Area = 1 FAR	1.0 23454 sf allowed					
Maximum Residential Density	25 units per acre					
Exclusion for covered parking:	M.P.M.C. section 16.04.325 (C)3					
Exclusion for Trash & Recycling	M.P.M.C. section 16.04.325 (C)6					
Exclusion for Area with No AC or Windows	M.P.M.C. section 16.04.325 (C)1					
Exclusion for Vent Shafts	M.P.M.C. section 16.04.325 (C)5					
BUILDING AREA (please see sheet CS 1.1 for graphic depiction of data & detailed breakdown)						
Parking Level 1	Office	Retail	Residential	FAR Subtotal	Excluded In FAR	Total Floor
Ground Floor	930	12,035	1,271	14,236	22,436	22,436
2nd Floor	19,368	-	332	19,700	5,607	5,607
3rd Floor	3,156	-	9,811	12,967	7,232	21,468
	23,454	12,035	11,414	46,903	-	19,700
Percentage of each use:	50.01%	25.66%	24.34%	100.00%	35,275	82,178

PARKING REQUIRED:	
Exemption from Parking Requirement = 1 FAR	23,454 sf
Ground Floor Retail	11,419 This is the exemption allowed less the retail area of the ground floor.
Exemption Credit that may be used on 2nd floor:	-12,035 sf
Total Office Area	23,454 sf
Less exemption credit	-12,035 sf
Office Area to be parked at 3.8 spaces per 1000 sf:	11,419 sf
Office Parking Required	43.39 spaces
Replace Lost Surface Parking	18 spaces
Residential Requirement (1 per unit)	4 spaces
Total Parking Required	65.39 spaces
PARKING PROVIDED:	
Surface Parking	1
Standard	3
ADA	4
Garage Parking	65
Total Parking Provided	69
BICYCLE PARKING REQUIRED:	
Short Term at 1/20k Ofc. 1/5k retail, 1/10 units re:	6
Long Term at 1/10k Ofc. 1/20k retail, 1/unit reside	8 (for office & retail a minimum of 2 are required)
Total Required:	14
BICYCLE PARKING PROVIDED:	
Short Term	8
Long Term	8
Total Required:	16

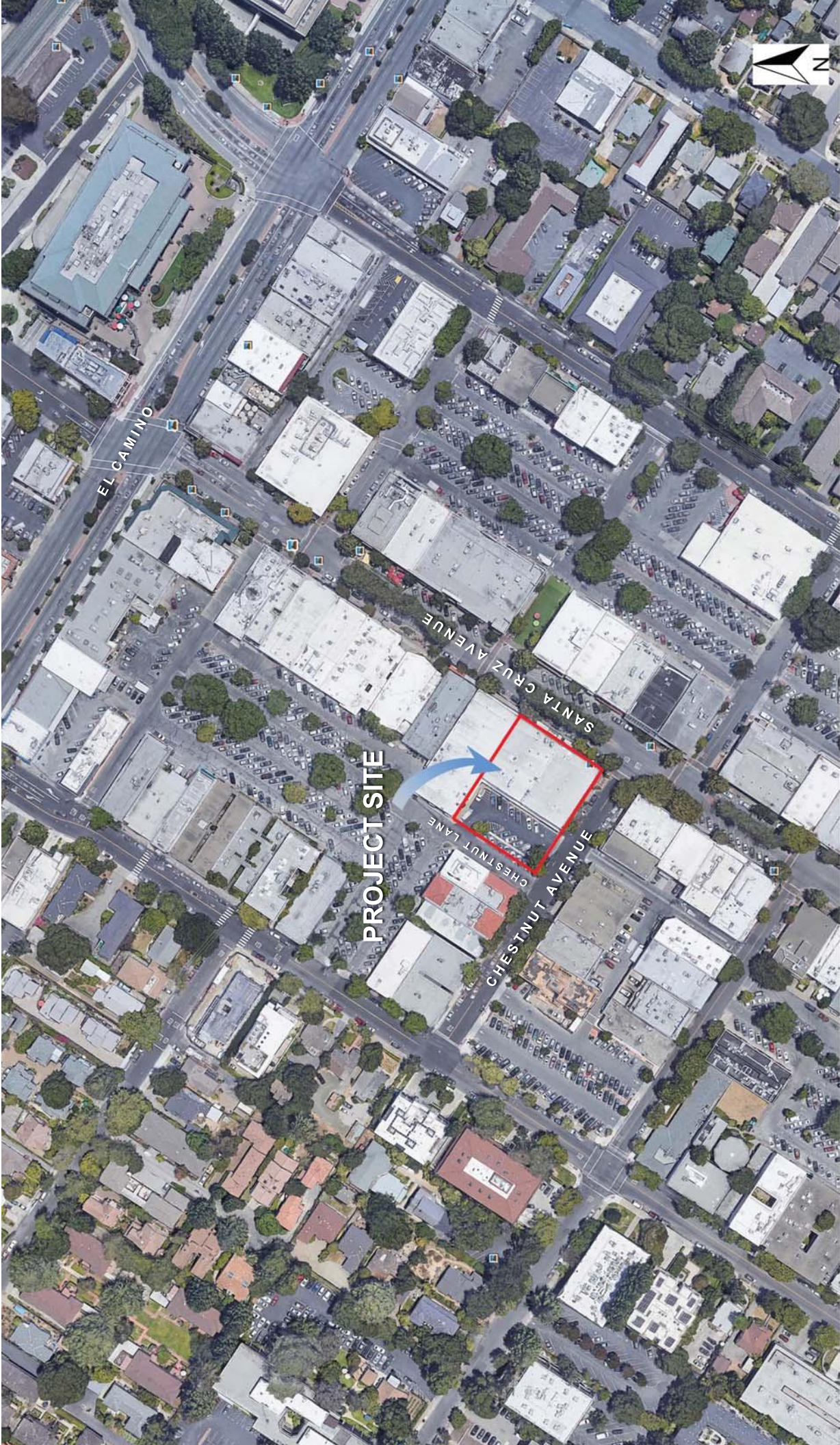
PARKING PROVIDED:	
Surface Parking	1
Standard	3
ADA	4
Garage Parking	65
Total Parking Provided	69

BICYCLE PARKING REQUIRED:	
Short Term at 1/20k Ofc. 1/5k retail, 1/10 units re:	6
Long Term at 1/10k Ofc. 1/20k retail, 1/unit reside	8 (for office & retail a minimum of 2 are required)
Total Required:	14
BICYCLE PARKING PROVIDED:	
Short Term	8
Long Term	8
Total Required:	16

CIVIL	
A 3.2	Transparency Analysis
A 3.3	Projection Analysis
A 4.1	Building Section & Height Analysis
A 4.2	Building Section & Height Analysis
A 4.3	Wall Sections
A 4.4	Materials
CIVIL	
C 1.0	Passenger Vehicle Turning
C 2.0	Preliminary Grading, Drainage, Utility Plan Ground Floor
C 2.1	Preliminary Offsite Improvement Plans
C 2.2	Preliminary Grading, Drainage, Utility Plan Second Floor
C 3.0	Preliminary Stormwater Management Plan
C 3.1	Preliminary Stormwater Management Calculations & Details
C 4.0	Erosion Control
C 5.0	Menlo Park Fire Turning
C 5.1	Passenger Turning Radius
LANDSCAPE	
L 1.0	Landscape Notes & Legend
L 2.1	Landscape Plan
L 2.2	Landscape Plan
L 2.3	Landscape Plan
L 3.0	Landscape Details
L 4.0	Tree Disposition Plan

ARCHITECTURAL	
A 1.0	Site Plan
A 1.1	Ground Floor Plan
A 1.2	Second Floor Plan
A 1.3	Third Floor Plan
A 1.4	Roof Plan
A 1.5	Parking Level P1
A 1.6	Parking Level P2
A 2.1	Santa Cruz Rendering
A 2.2	Santa Cruz Elevation & Modulation Analysis
A 2.3	Chestnut Rendering
A 2.4	Chestnut Elevation & Modulation Analysis
A 2.5	Chestnut Street Rendering
A 2.6	Chestnut Lane Elevation & Modulation Analysis
A 2.7	Chestnut Lane Rendering
A 3.1	Materials





MP 0.1
August 15, 2018

VICINITY MAP

FORM4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING

706 SANTA CRUZ AVE. MENLO PARK

Architectural Review
706 Santa Cruz Ave., LLC.



1. Santa Cruz Ave Existing Streetscape



2. Chestnut St. Existing Streetscape

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706 SANTA CRUZ AVE. MENLO PARK

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706 Santa Cruz Ave., LLC.

STREET VIEWS CONTEXT

MP 0.2
August 15, 2018

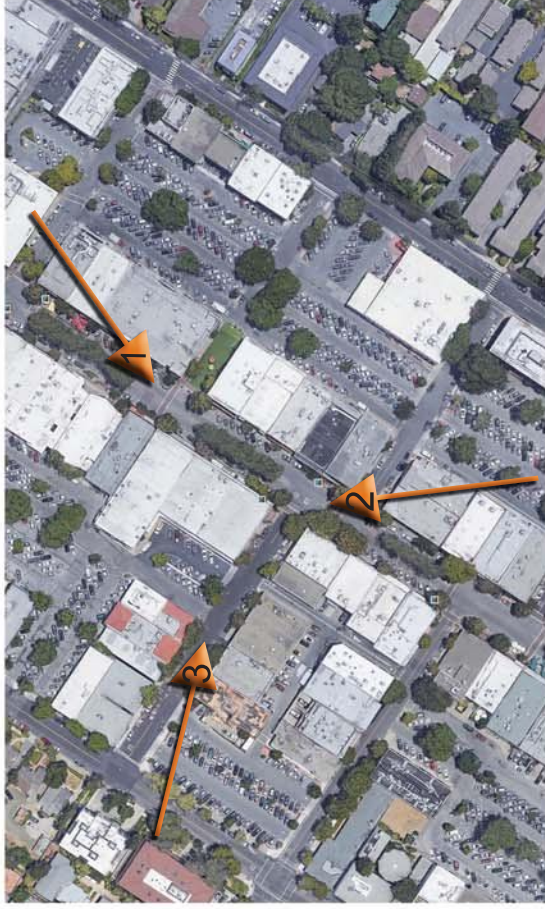




1: View looking Southwest down Santa Cruz Ave



2: View looking North at corner of Santa Cruz Ave & Chestnut St.



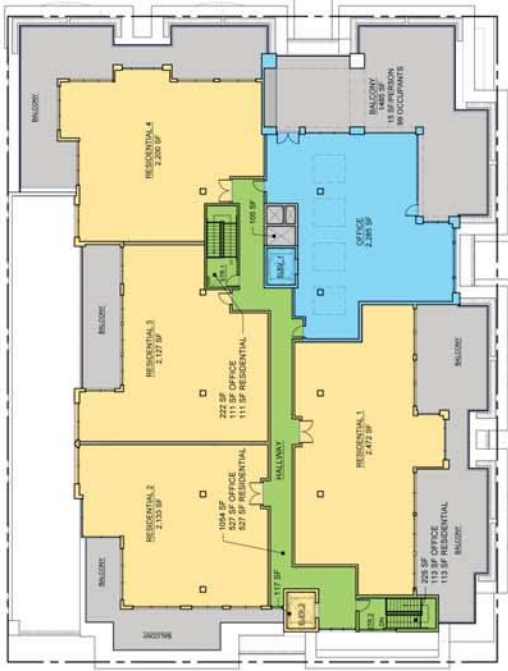
FORM4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING

706 SANTA CRUZ AVE. MENLO PARK
 Architectural Review
 706 Santa Cruz Ave., LLC.

EXISTING SITE PHOTOS

MP 0.3
 August 15, 2018





THIRD FLOOR PLAN

LEED v4 for BD+C: Core and Shell

Project Checklist



Y	N	W	Code	Requirement	Points
1			1	Integrative Process	1
1			20	LEED for Neighborhood Development Location	20
1			21	LEED for Neighborhood Development Location	20
1			22	High Priority Site	3
1			23	LEED for Neighborhood Development Location	3
1			24	LEED for Neighborhood Development Location	3
1			25	LEED for Neighborhood Development Location	3
1			26	LEED for Neighborhood Development Location	3
1			27	LEED for Neighborhood Development Location	3
1			28	LEED for Neighborhood Development Location	3
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1			31	LEED for Neighborhood Development Location	3
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1			100	LEED for Neighborhood Development Location	3

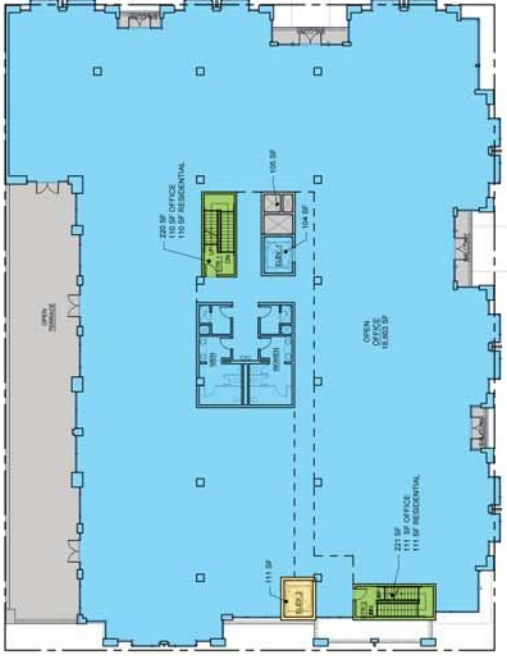
DRAFT

Y	N	W	Code	Requirement	Points
1			6	Materials and Resources	14
1			7	Materials and Resources	14
1			8	Materials and Resources	14
1			9	Materials and Resources	14
1			10	Materials and Resources	14
1			11	Materials and Resources	14
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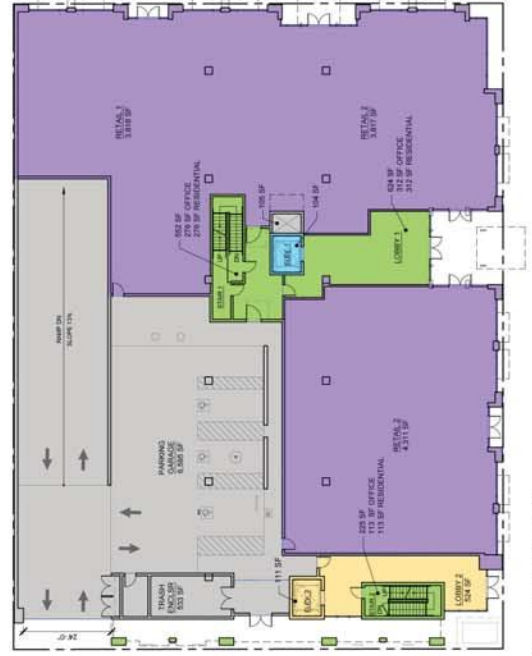
Note: The points on this scorecard are primary and are subject to change as the project develops.

FORM4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING

706 SANTA CRUZ AVE. MENLO PARK
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SECOND FLOOR PLAN



FIRST FLOOR PLAN

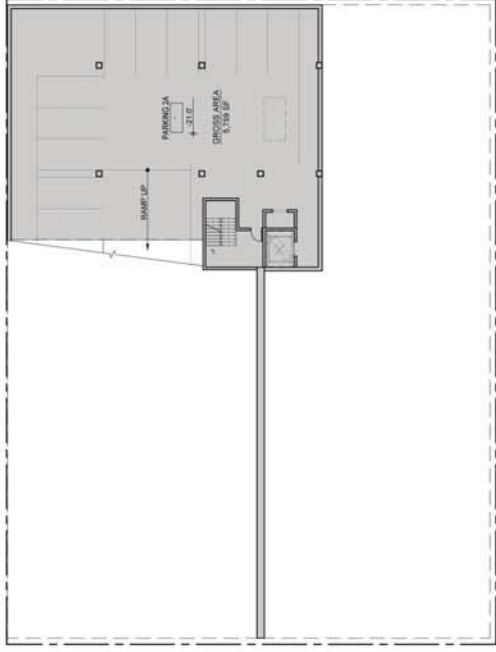
AREALLEGEND
 RETAIL
 OFFICE
 RESIDENTIAL
 SHARED
 EXCLUDED

TRUE NORTH PROJECT NORTH
 0 16' 32'
 SCALE: 1/8" = 1'-0"

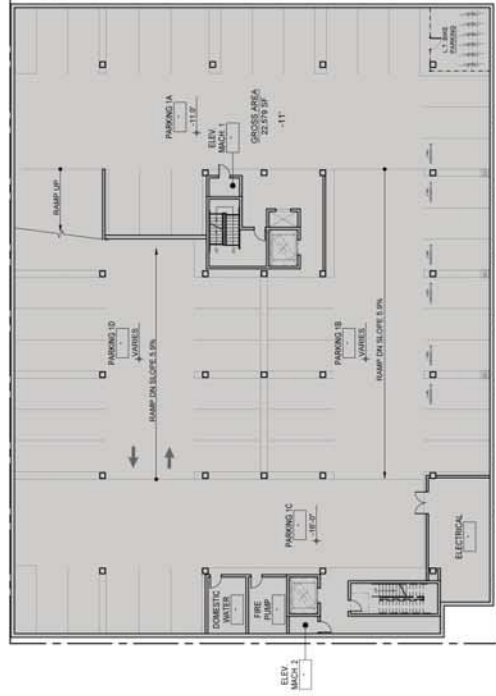
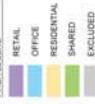


MP 1.0
August 15, 2018

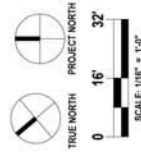
FLOOR PLANS, AREA ANALYSIS & LEED
(see following sheets for enlarged plans)



GARAGE LEVEL P2



GARAGE LEVEL P1



AREA SUMMARY	Area Classification				
	Garage P1 Office 5,007	Garage P2 Retail 28,043	RESIDENTIAL	EXCLD P1 5,007	EXCLD P2 28,043
1st FLOOR	Covered Parking 10,000	6,611		6,611	
	Domestic Water 7,686	7,686		7,686	
	Retail 1 4,335	4,335		4,335	
	Lobby 1 628	628		628	
	Ramp 1 176	176		176	
	Ramp 2 106	106		106	
	Lobby 2 560	560		560	
	Star 2 225	225		225	
	Star 1 113	113		113	
	Columns 36	36		36	
	subtotal	21,468	990	12,035	1,271
2nd FLOOR	Office 19,711	19,711		19,711	
	Star 1 226	226		226	
	Star 2 111	111		111	
	Columns 221	221		221	
	subtotal	19,711	19,711		
3rd FLOOR	Office 2,417	2,417		2,417	
	Appt 1 2,136	2,136		2,136	
	Appt 2 2,127	2,127		2,127	
	Appt 3 2,127	2,127		2,127	
	Appt 4 2,136	2,136		2,136	
	Star 1 113	113		113	
	Star 2 225	225		225	
	Star 1 113	113		113	
	Star 2 117	117		117	
	subtotal	12,967	3,156	0	19,811
	total	23,454	12,035	11,400	35,275
	total FAR area	46,908			

F.A.R. SUMMARY	
Site Area	23,454
Allow Building Area	46,908
Proposed Building Area	46,908
Max. Office Area (max. office area = 1.0 FAR)	23,454
Proposed Office Area	23,454



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BIRDSEYE VIEW



MP 2.0
August 15, 2018



Winter Solstice 9am



Winter Solstice 12pm



Winter Solstice 3pm



Summer Solstice 9am



Summer Solstice 12pm



Summer Solstice 3pm

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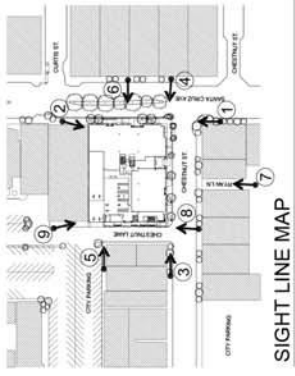
706 SANTA CRUZ AVE. MENLO PARK

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706 Santa Cruz Ave., LLC.

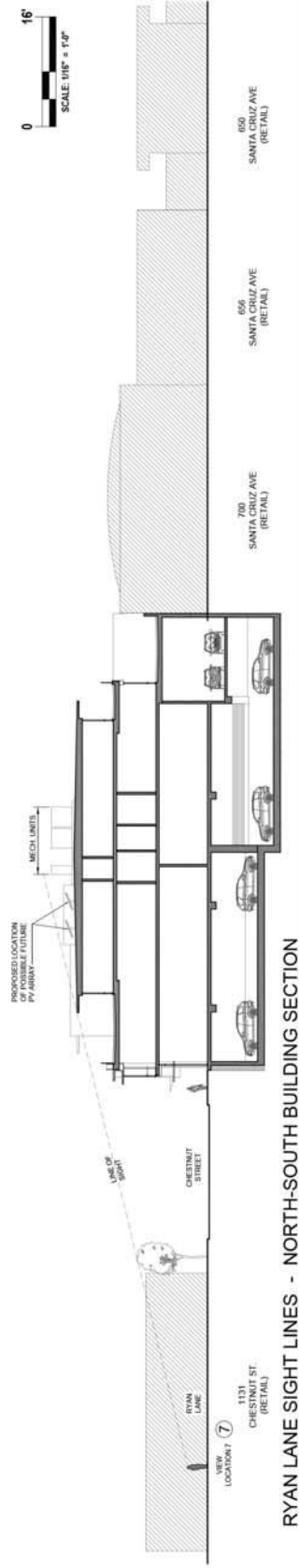
SHADOW STUDY

MP 2.1
August 15, 2018



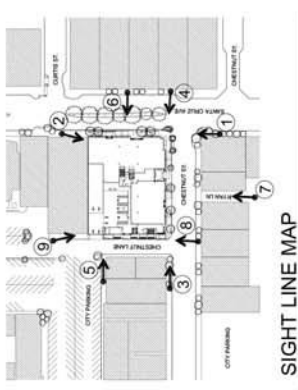


SANTA CRUZ AVENUE SIGHT LINES - EAST ELEVATION

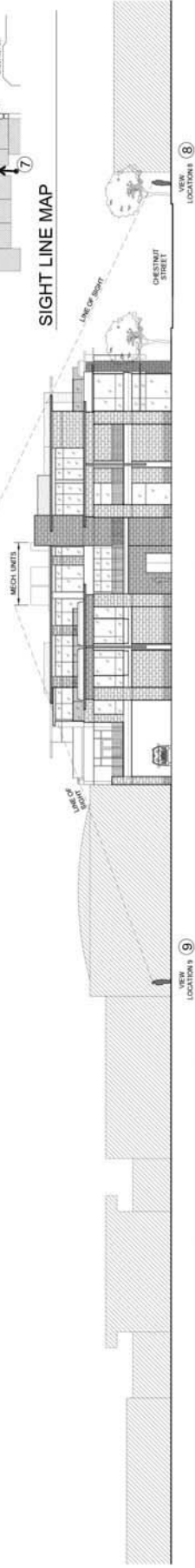


RYAN LANE SIGHT LINES - NORTH-SOUTH BUILDING SECTION





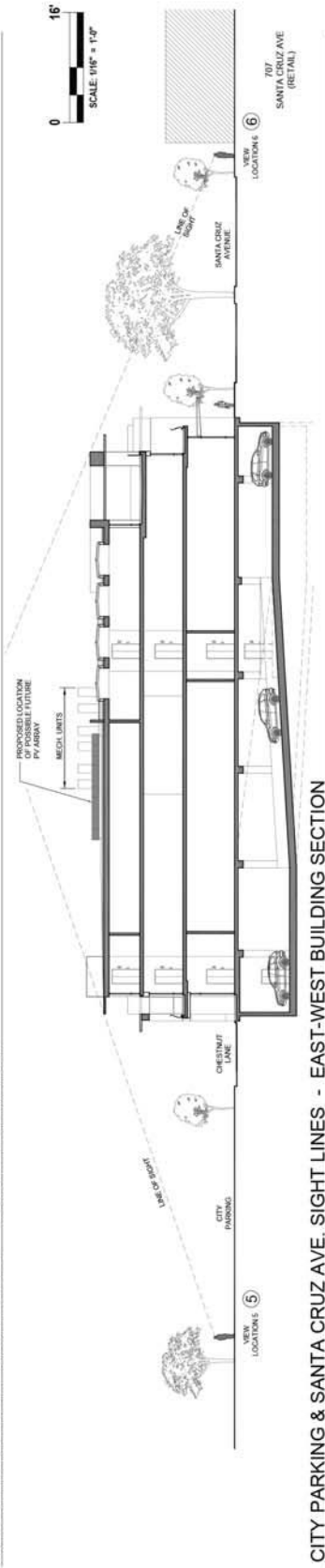
SIGHT LINE MAP



CHESTNUT LANE SIGHT LINES - WEST ELEVATION



CHESTNUT STREET SIGHT LINES - SOUTH ELEVATION



CITY PARKING & SANTA CRUZ AVE. SIGHT LINES - EAST-WEST BUILDING SECTION

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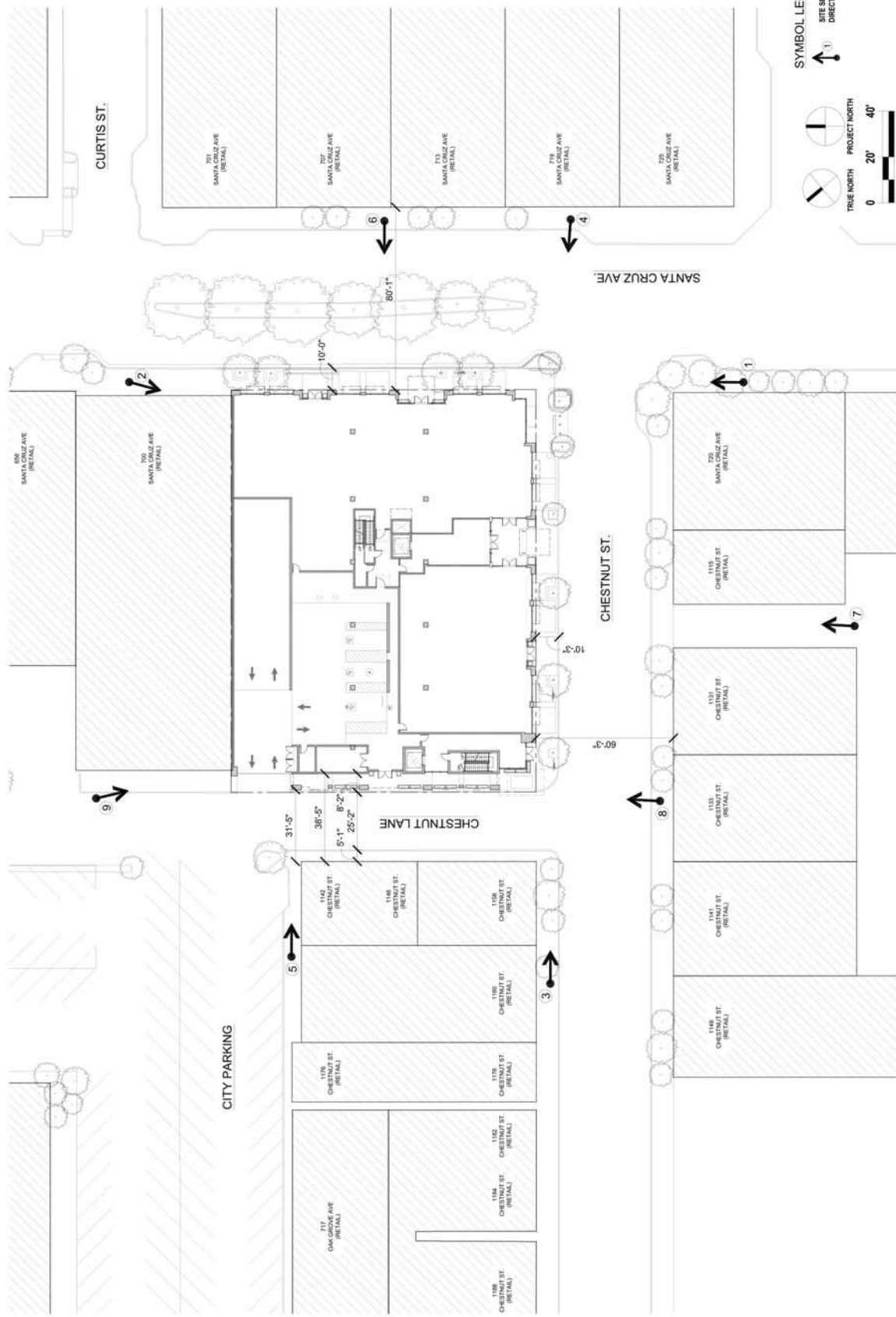
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SITE LINE STUDY

MP 3.1
August 15, 2018



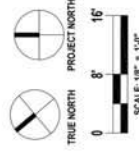
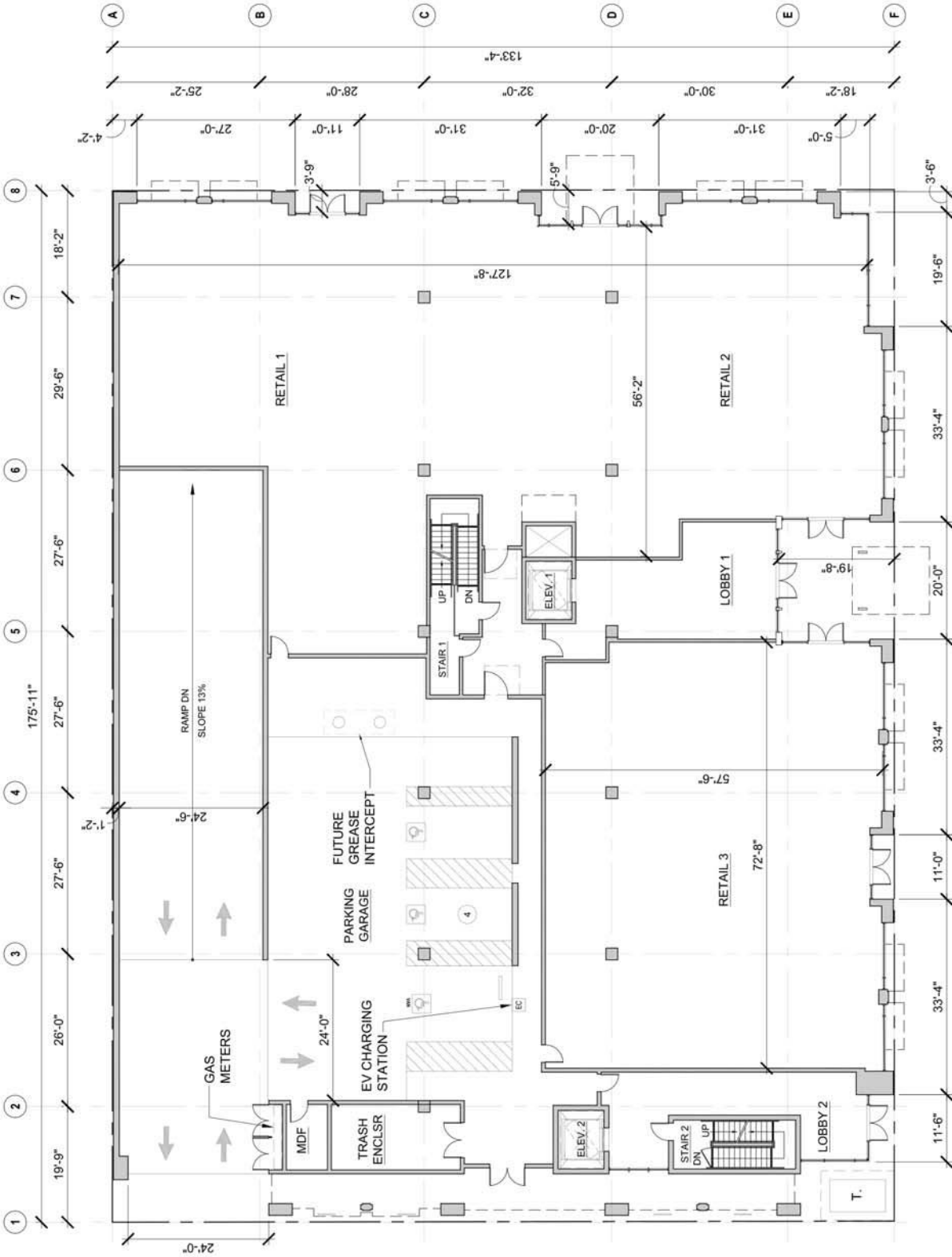


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706 SANTA CRUZ AVE. MENLO PARK

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706 Santa Cruz Ave., LLC.

SITE PLAN

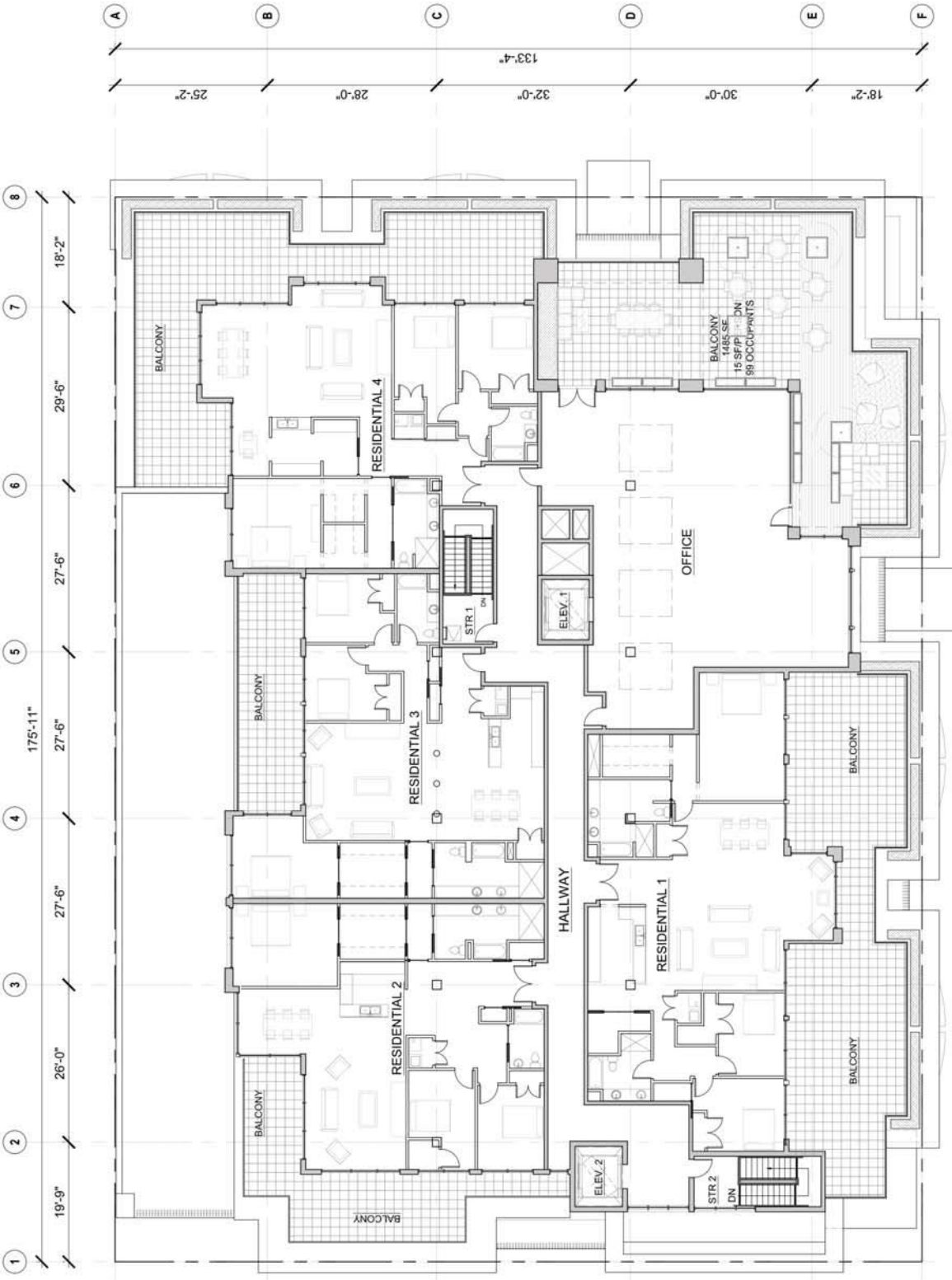


FORM4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING

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GROUND FLOOR PLAN



FORM4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING

706 SANTA CRUZ AVE. MENLO PARK

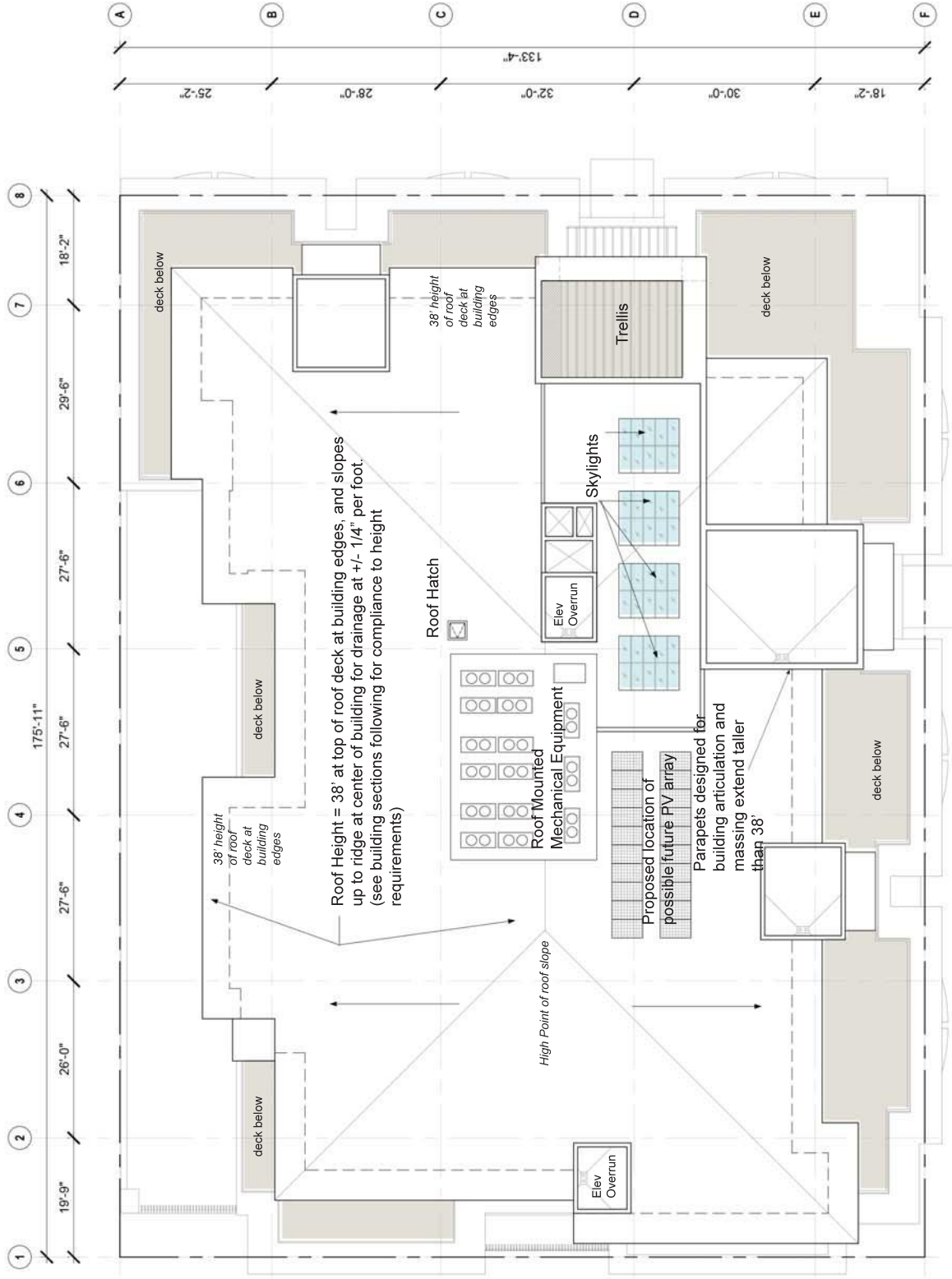
Architectural Review
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THIRD FLOOR PLAN

A 1.3

August 15, 2018





FORM4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING

706 SANTA CRUZ AVE. MENLO PARK

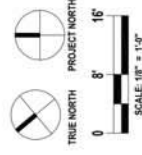
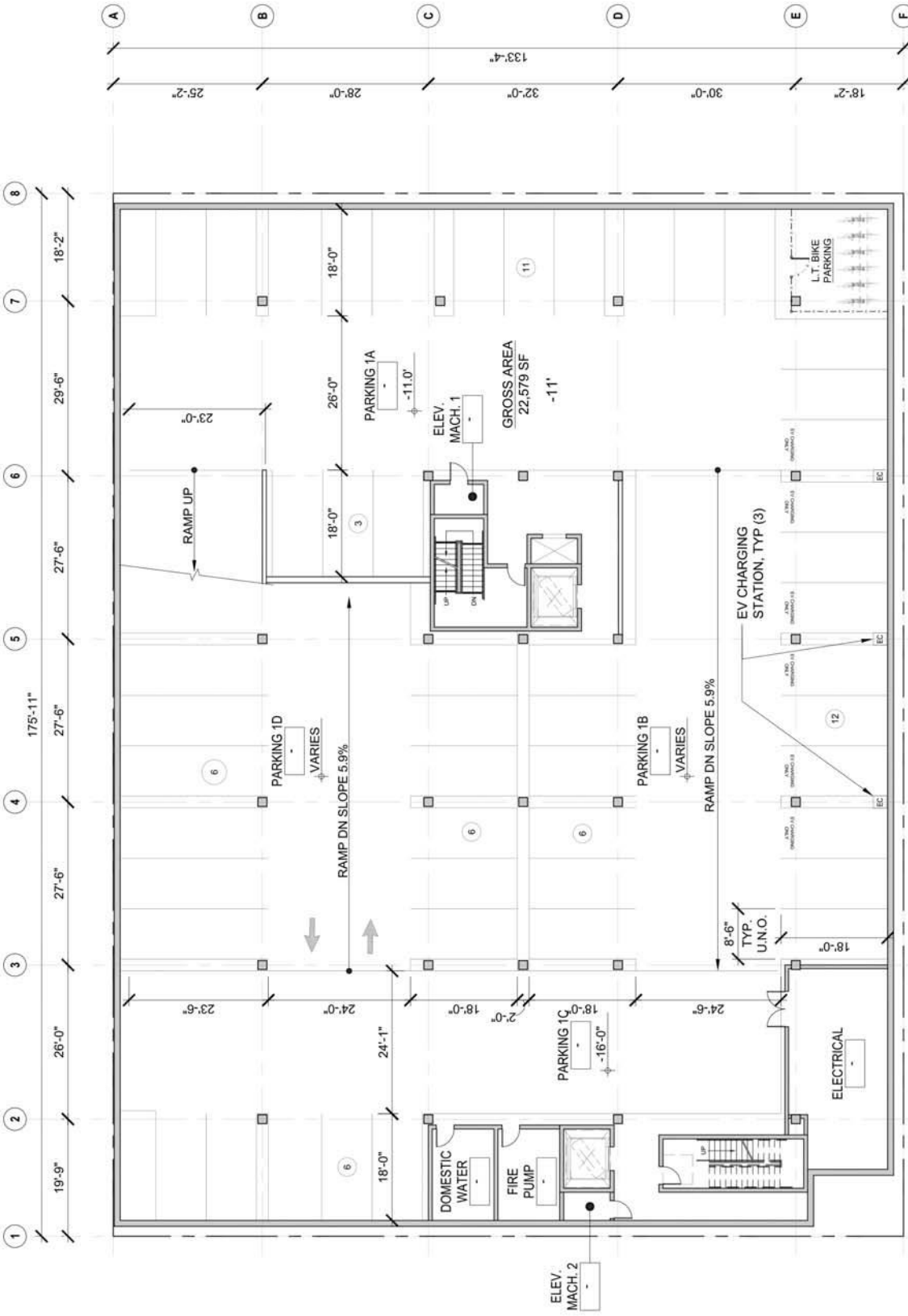
Architectural Review
706 Santa Cruz Ave., LLC.

ROOF PLAN



A 1.4

August 15, 2018



FORM4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING

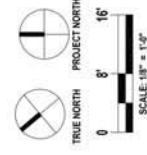
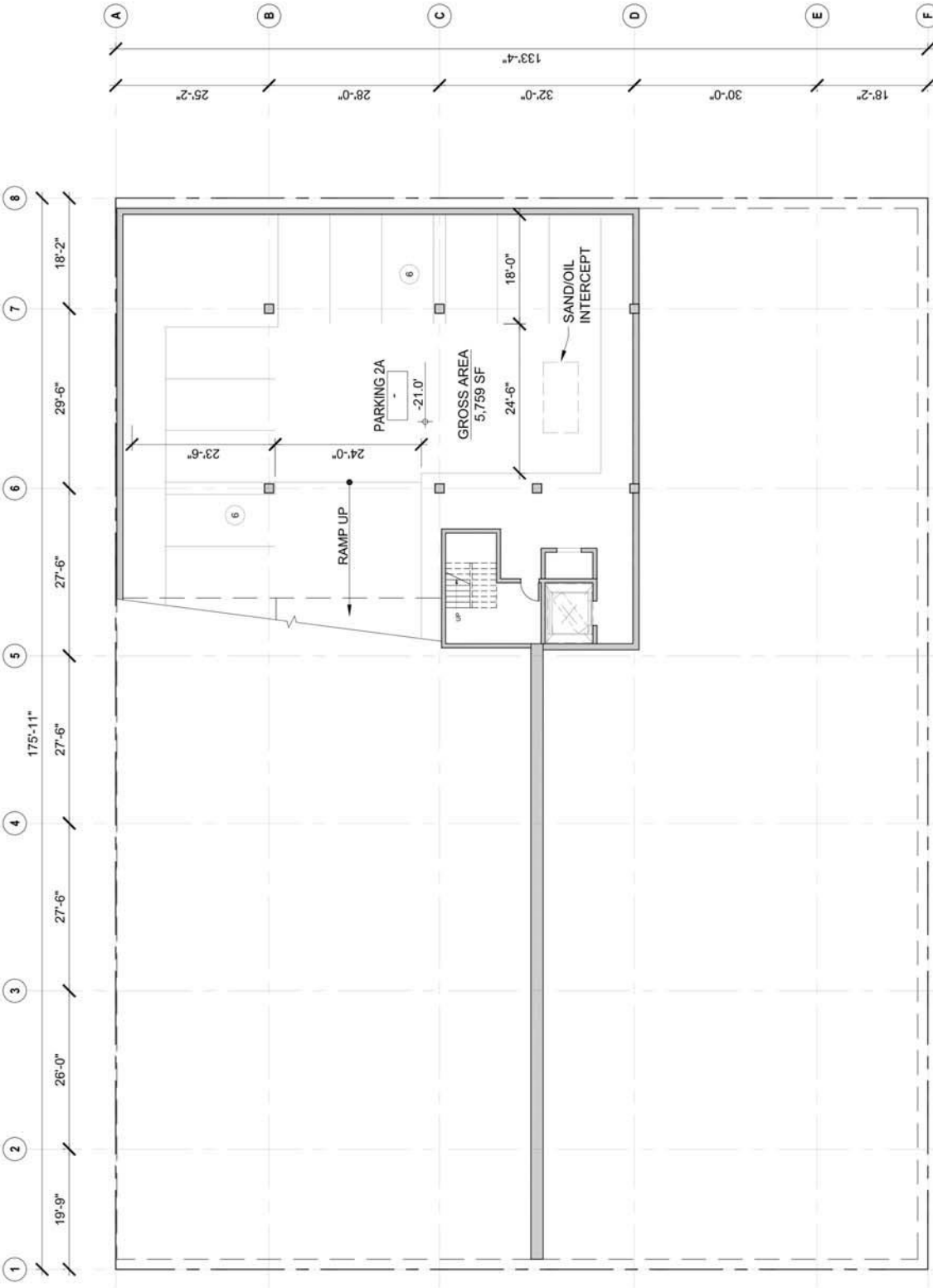
706 SANTA CRUZ AVE. MENLO PARK

Architectural Review
706 Santa Cruz Ave., LLC.

PARKING LEVEL P1

A 1.5
August 15, 2018





FORM4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING

706 SANTA CRUZ AVE. MENLO PARK
 Architectural Review
 706 Santa Cruz Ave., LLC.

PARKING LEVEL P2



A 1.6
 August 15, 2018



FORM4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING

706 SANTA CRUZ AVE. MENLO PARK
Architectural Review
706 Santa Cruz Ave., LLC.

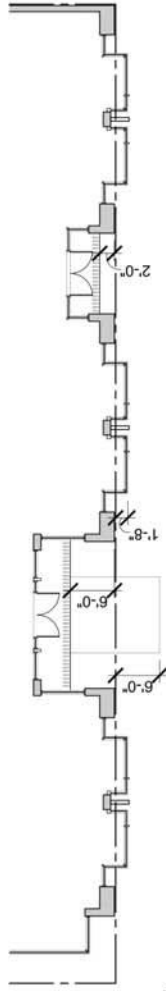
SANTA CRUZ RENDERING

A 2.1
August 15, 2018

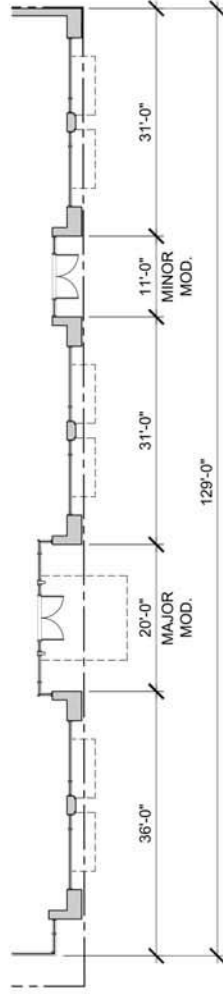




EAST ELEVATION



SECOND FLOOR



FIRST FLOOR





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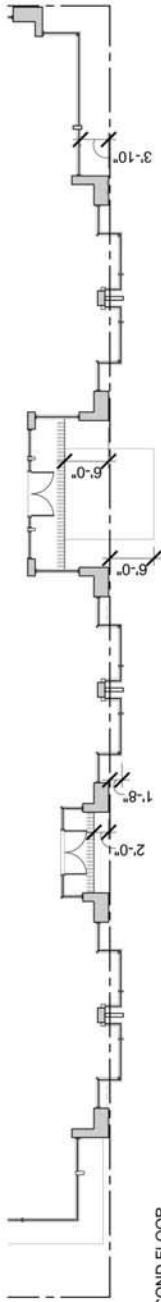
CHESTNUT RENDERING

A 2.3
August 15, 2018

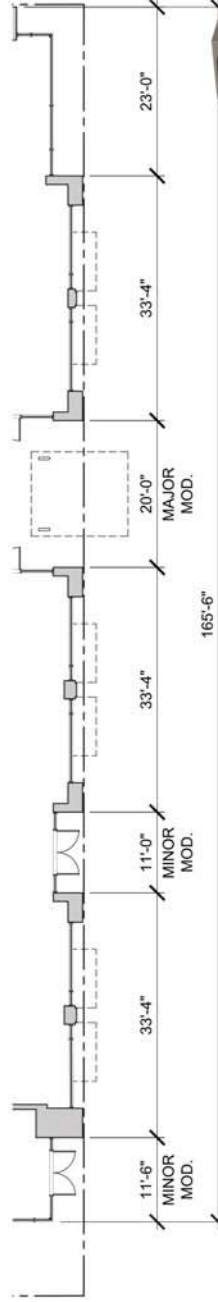




SOUTH ELEVATION



SECOND FLOOR



FIRST FLOOR



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CHESTNUT ELEVATION & MODULATION ANALYSIS

A 2.4

August 15, 2018





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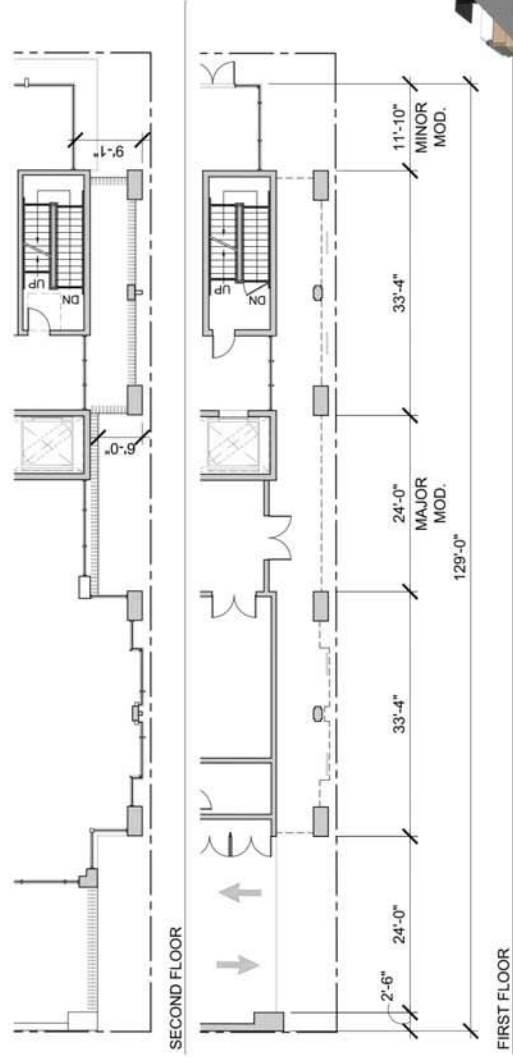
CHESTNUT LANE RENDERING

A 2.5
August 15, 2018





WEST ELEVATION



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CHESTNUT LANE ELEVATION & MODULATION ANALYSIS

A 2.6
August 15, 2018





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CHESTNUT LANE RENDERING



A 2.7
August 15, 2018



CLEAR GLASS
GUARDRAIL W/
STAINLESS
STEEL TOP RAIL

HIGH-PERFORMANCE
CLEAR GLASS

LIGHT BEIGE STONE

WARM GRAY STONE
DARK BROWN METAL PANEL ROOF
OVERHANG / SUNSHADE
DARK GRAY METAL PLANTERS
MEDIUM BEIGE STONE
DARK BROWN METAL GUARDRAIL
DARK BROWN METAL PANEL FASCIA
DARK BROWN MULLIONS & DOORS
MEDIUM BEIGE STONE

EAST ELEVATION

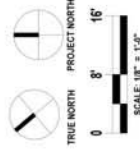


LIGHT BEIGE STONE

MEDIUM BEIGE STONE

WEST ELEVATION

WARM GRAY STONE
CLEAR GLASS GUARDRAIL W/
STAINLESS STEEL TOP RAIL
DARK BROWN METAL PANEL
SUNSHADES & FASCIA
DARK BROWN METAL GUARDRAIL
DARK BROWN METAL PANELS
HIGH-PERFORMANCE CLEAR GLASS
DARK BROWN METAL DOORS



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MATERIALS

A 3.1
August 15, 2018



TRANSPARENCY ANALYSIS

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SOUTH ELEVATION

SOUTH ELEVATION SUMMARY

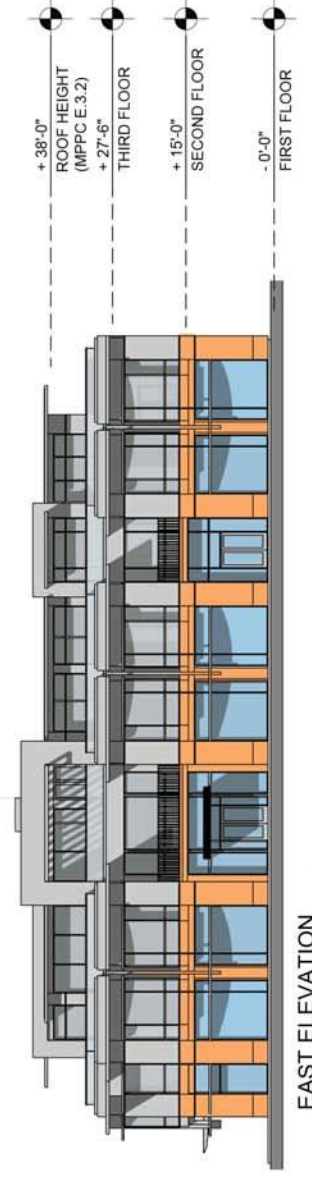
GROSS SURFACE AREA	2,507 SF
OPAQUE SURFACES	929 SF = 37%
TRANSPARENT SURFACES	1,578 SF = 63%

EAST ELEVATION SUMMARY

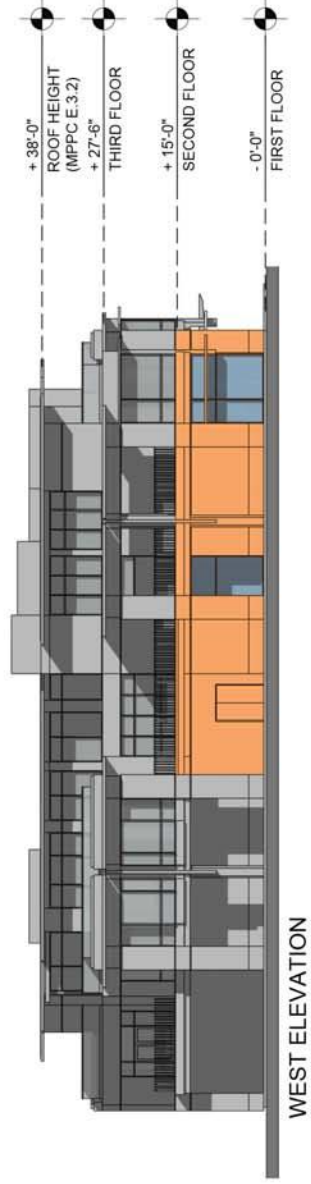
GROSS SURFACE AREA	1,995 SF
OPAQUE SURFACES	767 SF = 38.4%
TRANSPARENT SURFACES	1,288 SF = 61.6%

WEST ELEVATION SUMMARY

GROSS SURFACE AREA	1,133 SF
OPAQUE SURFACES	904 SF = 79.8%
TRANSPARENT SURFACES	229 SF = 20.2%



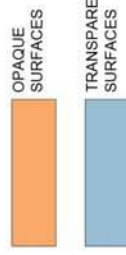
EAST ELEVATION



WEST ELEVATION



FACADE TREATMENT

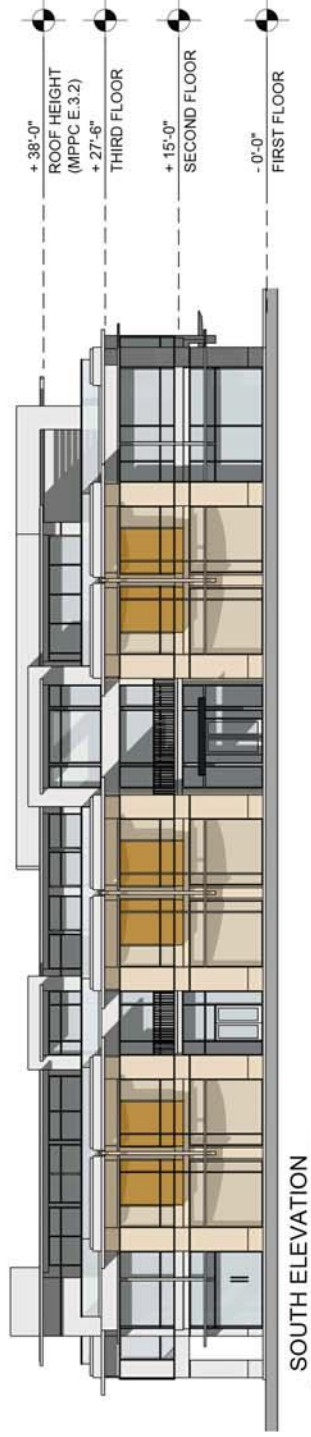


PROJECTION ANALYSIS

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SOUTH ELEVATION

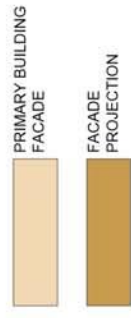
SOUTH ELEVATION SUMMARY

PRIMARY FACADE AREA	2,195 SF
PROJECTION AREA	516 SF
PERCENT OF FACADE AREA	23.5%

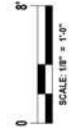
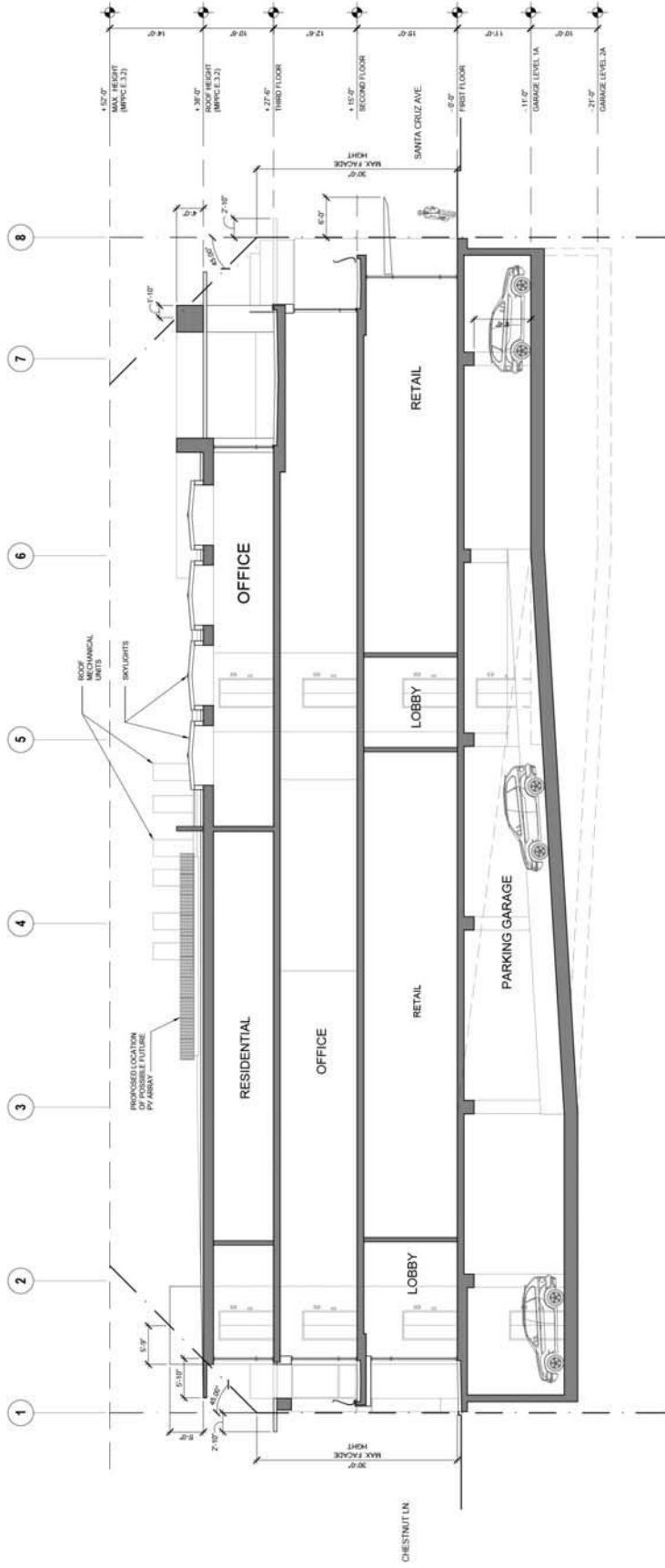
EAST ELEVATION SUMMARY

PRIMARY FACADE AREA	1,992 SF
PROJECTION AREA	516 SF
PERCENT OF FACADE AREA	25.9%

FACADE PROJECTIONS



EAST ELEVATION



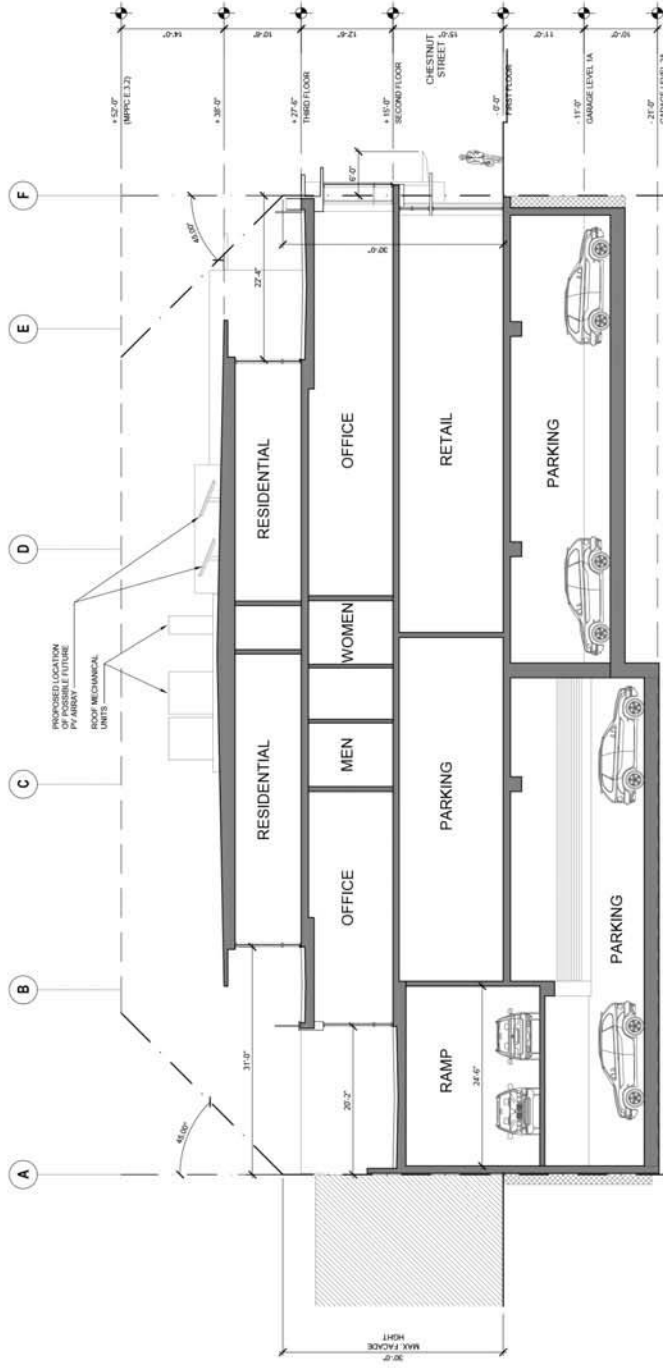
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**BUILDING SECTIONS &
 HEIGHT ANALYSIS**

A 4.1
 August 15, 2018





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**BUILDING SECTIONS &
 HEIGHT ANALYSIS**



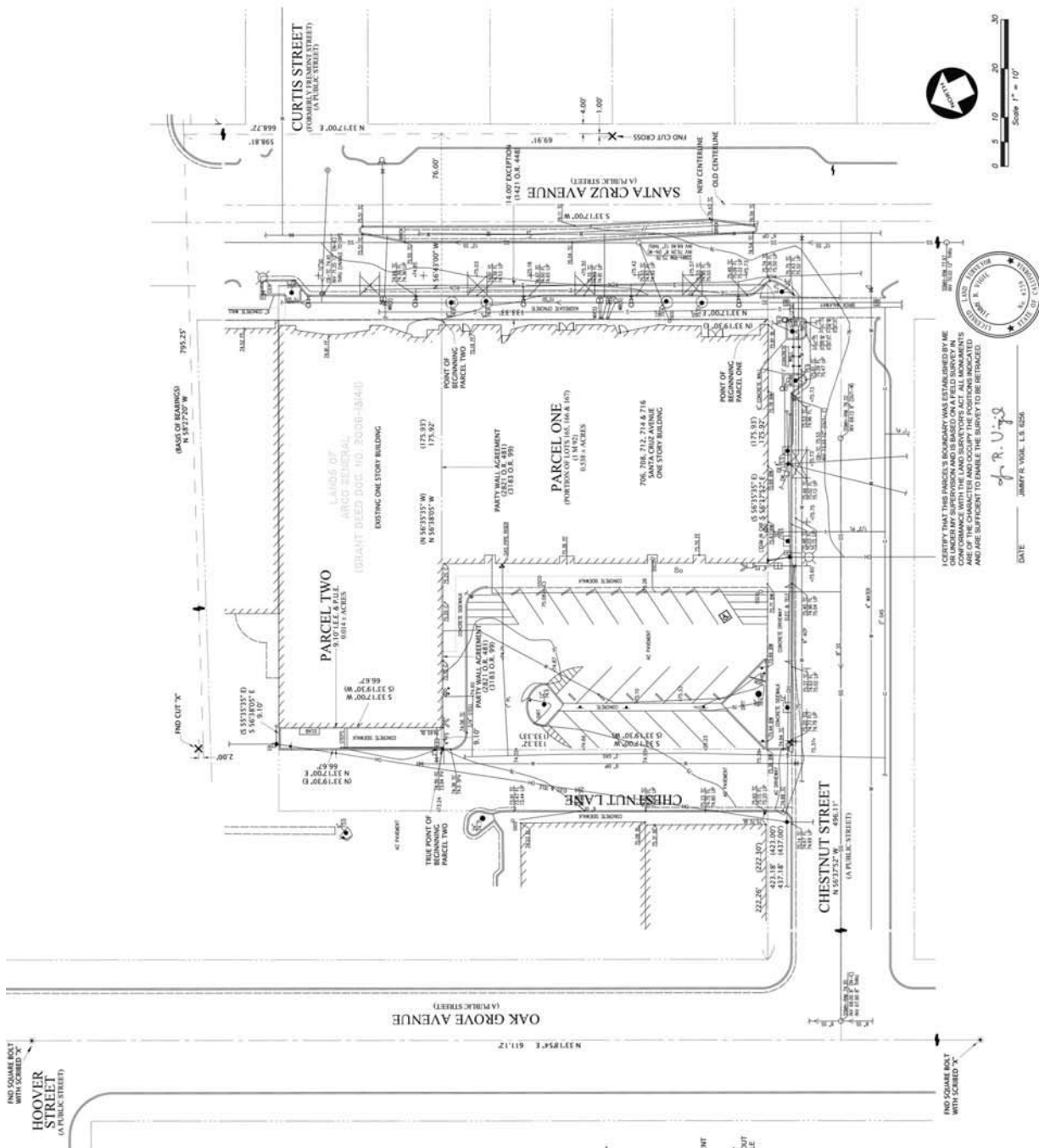
A 4.2
 August 15, 2018

TOPOGRAPHIC & BOUNDARY SURVEY

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DATE: JANUARY 16, 2018
of R. Ugo

LEGEND

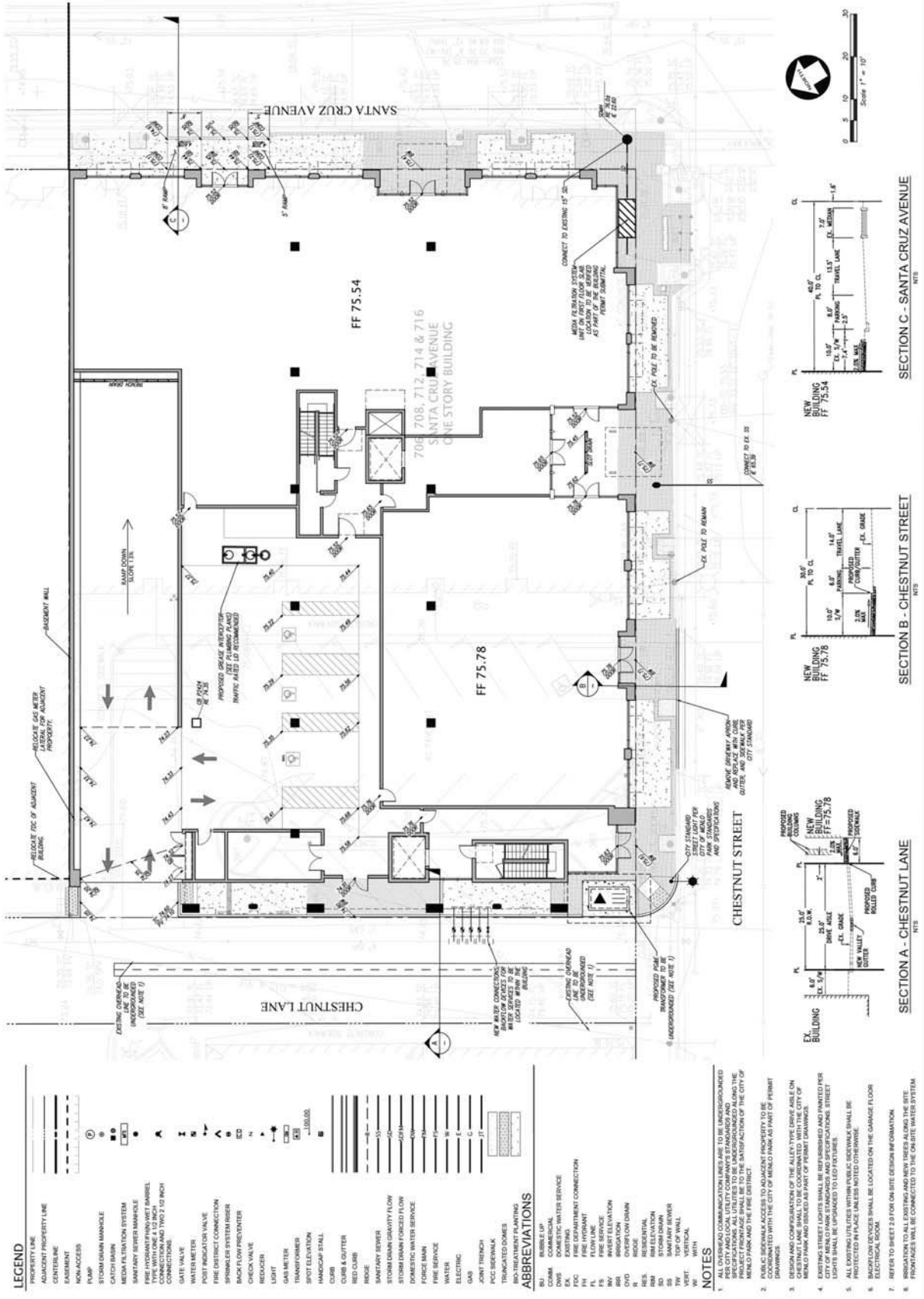
PROPERTY LINE	ADJACENT PROPERTY LINE
CENTRELINE	MONUMENT LINE
EASEMENT	BUILDING LINE WITH DOOR
BUILDING OVERHANG	FOUND MONUMENT AS NOTED
LIGHT	STREET LIGHT
FIRE HYDRANT	MANHOLE
CLEAN-OUT	VALVE
UTILITY POLE W/ C/W WIRE	CATCH BASIN / DROP INLET
WATER METERS	WATER METER
BACKFLOW PREVENTER	UTILITY BOX (SIZE, VARIETY)
SOIL	BOLLARD
FIRE SPOILER ALARM	TREE W/ SIZE AND ELEVATION
SPOT ELEVATION	AREAL SPOT ELEVATION
RECORD INFORMATION	CONTOUR
INDEX CONTOUR	CLUB
CLUB & GUTTER	CONCRETE
EDGE OF PAVEMENT	SANITARY SEWER
STORM DRAIN	WATER
GAS	UNDERGROUND ELECTRIC
TELEPHONE	OVERHEAD

ABBREVIATIONS

- AC ASPHALTIC CONCRETE
- BL BUILDING
- CA CATCH BASIN
- CB CATCH BASIN
- DC DRAINAGE CURB
- ECAB ELECTRIC CABINET
- FO FOUND
- FR FIRE
- FRM FRANKLIN ALARM
- I.E.E. IMPERMEABLE EASEMENT
- NO. NUMBER
- NO. NUMBER
- P.U. PUBLIC UTILITY EASEMENT
- SCSD SANITARY SEWER CLEAN-OUT
- TB TELEPHONE BOX
- WB WATER BOX

NOTES

1. THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY THE GUZZARDO PARTNERSHIP, DATED DECEMBER 31, 2014. NO LIABILITY IS ASSIGNED FOR MATTERS OF RECORD NOT SHOWN IN THIS SURVEY. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE BOUNDARY LINES, EXCEPT FOR, OR EASEMENTS AFFECTING THE PROPERTY.
2. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS SURVEY ARE BASED ON THE INFORMATION PROVIDED BY THE CONTRACTOR OR SOURCE OF VARYING RELIABILITY. THE CONTRACTOR IS AUTHORIZED THAT ONLY ACTUAL EXCAVATION WILL DETERMINE THE EXACT DEPTHS OF SUCH UTILITIES. IN SUCH CASES, THE CONTRACTOR SHALL BE RESPONSIBLE TO DELEGATE ALL UNKNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSURE NO LIABILITY FOR THE ACCURACY OF ITS DELINEATION OF SUCH UTILITIES, BUT THROUGH AND NOT SHOWN ON THESE DRAWINGS.
3. MONUMENT 03116 IS A 1/2" DIA. IRON ROD SET IN MASSIVE STRUCTURE, 0.1 MILE SOUTHWEST OF THE INTERSECTION OF SANTA CRUZ AVENUE AND CHESTNUT STREET AT THE ELLIOT BUILDING, IN THE TOP PROJECTION OF ELEVATION: 71.87 FEET (DATUM) NAVD 1988.
4. A.P.N. 071-100-290
5. FLOOD ZONE NOTE: THIS SITE IS IN FLOOD ZONE "X". AREAS OF DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD, PER FEMA FLOOD INSURANCE RATE MAP (COMMUNITY NO. 15021) DATED OCTOBER 16, 2012.
6. BASIS OF BEARINGS: THE BEARING OF NORTH 99°20'00" WEST TAKEN ON THE SURVEY IS BASED ON THE BEARING OF NORTH 99°20'00" WEST TAKEN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON OCTOBER 16, 2012, AND THE BEARING OF NORTH 99°20'00" WEST TAKEN ON PAGES 52-53, SAN MATEO COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.



- LEGEND**
- PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - CENTRELINE
 - EASEMENT
 - NON-ACCESS
 - PUMP
 - STORM DRAIN MANHOLE
 - CATCH BASIN
 - MEDIA FILTRATION SYSTEM
 - SEWAGE TREATMENT PLANT
 - SEWAGE TREATMENT PLANT
 - TYPE WITH ONE & 1/2 INCH CONNECTION AND TWO 2 1/2 INCH CONNECTIONS
 - GATE VALVE
 - WATER METER
 - POST INDICATOR VALVE
 - FIRE DISTRICT CONNECTION
 - SPRINKLER SYSTEM RISER
 - BACKFLOW PREVENTER
 - CHECK VALVE
 - REDUCER
 - LIGHT
 - GAS METER
 - TRANSFORMER
 - SPOT ELEVATION
 - HANDICAP STALL
 - CURB
 - CURB LIGHTER
 - RED CURB
 - BLACK CURB
 - STORM DRAIN GRAVITY FLOW
 - STORM DRAIN FORCED FLOW
 - DOMESTIC WATER SERVICE
 - FORCE MAIN
 - FIRE SERVICE
 - WATER
 - ELECTRIC
 - GAS
 - JOINT TRENCH
 - POC SHERWALK
 - TRUNCATED DOME
 - NO-TREATMENT PLANTING
- ABBREVIATIONS**
- BU BUBBLE UP
 - DM DOMESTIC WATER SERVICE
 - DW DOMESTIC WATER SERVICE
 - EX EXISTING
 - FI FIRE HYDRANT CONNECTION
 - FL FLOW LINE
 - FS FIRE SERVICE
 - IR IRRIGATION
 - OV OVERFLOW DRAIN
 - RES RESIDENTIAL
 - RM RISE ELEVATION
 - SB SANITARY SEWER
 - TV TOP OF WALL
 - VERT. VERTICAL
 - VERT. VERTICAL
- NOTES**
- ALL LEGAL COMMUNICATIONS ARE TO BE UNDERWRITTEN PER CITY AND LOCAL UTILITY COMPANIES STANDARDS AND SPECIFICATIONS. THE PROJECT FRONTAGE SHALL BE TO THE SATISFACTION OF THE CITY OF MENLO PARK AND THE FIRE DISTRICT.
 - PUBLIC SIDEWALK ACCESS TO ADJACENT PROPERTY TO BE PROVIDED WITH THE CITY OF MENLO PARK AS PART OF PERMIT DRAWINGS.
 - DESIGN AND CONSTRUCTION OF THE ALLEY TYPE DRIVE ABLE ON CHESTNUT LANE SHALL BE COORDINATED WITH THE CITY OF MENLO PARK AND ISSUED AS PART OF PERMIT DRAWINGS.
 - ALL EXISTING UTILITIES WITHIN PUBLIC SIDEWALK SHALL BE IDENTIFIED AND SHOWN ON THE DRAWING. ALL UTILITIES SHALL BE UPGRADED TO LATEST STANDARDS PER CITY OF MENLO PARK STANDARDS AND SPECIFICATIONS.
 - ALL EXISTING UTILITIES WITHIN PUBLIC SIDEWALK SHALL BE IDENTIFIED AND SHOWN ON THE DRAWING. ALL UTILITIES SHALL BE UPGRADED TO LATEST STANDARDS PER CITY OF MENLO PARK STANDARDS AND SPECIFICATIONS.
 - PROTECTED APPLICANCES UNLESS NOTED OTHERWISE.
 - PROTECTED APPLICANCES UNLESS NOTED OTHERWISE.
 - PROTECTED APPLICANCES UNLESS NOTED OTHERWISE.
 - PROTECTED APPLICANCES UNLESS NOTED OTHERWISE.
 - FRONTAGES WILL BE CONNECTED TO THE ON-SITE WATER SYSTEM.

706 SANTA CRUZ AVE. MENLO PARK
Preliminary Grading, Drainage,
Utility Ground Floor

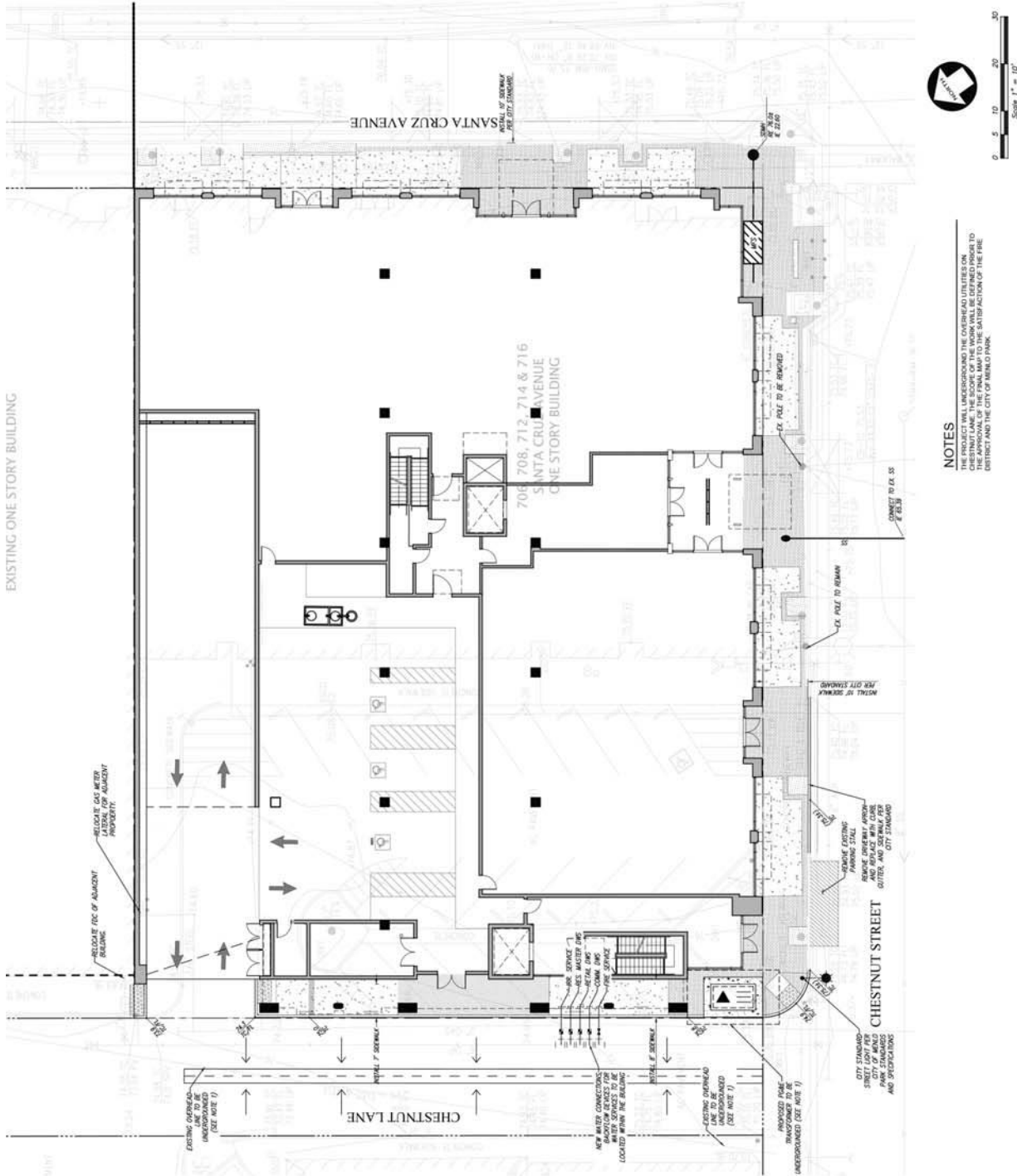
FORM 4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING

706 SANTA CRUZ AVE. MENLO PARK

PRELIMINARY OFFSITE IMPROVEMENT PLANS

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NOTES

1. ALL IMPROVEMENTS TO THE EXISTING UTILITY LINES ON CHESTNUT LANE, THE SCOPE OF THE WORK WILL BE DETERMINED PRIOR TO THE APPROVAL OF THE FINAL MAP TO THE SATISFACTION OF THE FIRE DISTRICT AND THE CITY OF MENLO PARK.
2. REMOVE EXISTENT APPROXIMATE 8' WIDE SIDEWALK AND 8' WIDE SIDEWALK OFFSET AND CITY STANDARD AND RECONSTRUCT.
3. REMOVE EXISTENT APPROXIMATE 8' WIDE SIDEWALK OFFSET AND CITY STANDARD AND RECONSTRUCT.
4. EXISTING STREET LIGHTS SHALL BE REFURBISHED AND PAINTED PER CITY OF MENLO PARK SPECIFICATIONS.
5. PROTECTED INFRA UNLESS NOTED OTHERWISE.
6. BACKFLOW DEVICES SHALL BE LOCATED ON THE GARAGE FLOOR ELECTRICAL ROOM.
7. REFER TO SHEET 2.0 FOR ON-SITE DESIGN INFORMATION.
8. IRRIGATION TO ALL EXISTING AND NEW TREES ALONG THE STREET FRONTAGES WILL BE CONNECTED TO THE ON-SITE WATER SYSTEM.

LEGEND

PROPERTY LINE	ADJACENT PROPERTY LINE	CENTERLINE	EASEMENT	NON-ACCESS	PUMP	STORM DRAIN MANHOLE	CATCH BASIN	MEDIA FILTRATION SYSTEM	SANITARY SEWER MANHOLE	TYPE WITH 18" TO 24" DIAMETER CONNECTIONS AND TWO 2 1/2" INCH CONNECTIONS	GATE VALVE	WATER METER	POST METER CONNECTION	SPRINKLER SYSTEM RISER	BACKFLOW PREVENTER	CHECK VALVE	REDUCER	LIGHT	GAS METER	TRANSFORMER	SPOT ELEVATION	HANDICAP STALL	CURB	CURB & GUTTER	RED CURB	BIODE	SANITARY SEWER	STORM DRAIN GRAVITY FLOW	STORM DRAIN FORCED FLOW	DOMESTIC WATER SERVICE	FORCE MAIN	FIRE SERVICE	WATER	ELECTRIC	GAS	JOINT TRENCH	POSSIBLE SIDEWALK	TRUNKED OVERHEAD	TRUNKED UNDERGROUND	PAINTING
---------------	------------------------	------------	----------	------------	------	---------------------	-------------	-------------------------	------------------------	---	------------	-------------	-----------------------	------------------------	--------------------	-------------	---------	-------	-----------	-------------	----------------	----------------	------	---------------	----------	-------	----------------	--------------------------	-------------------------	------------------------	------------	--------------	-------	----------	-----	--------------	-------------------	------------------	---------------------	----------

ABBREVIATIONS

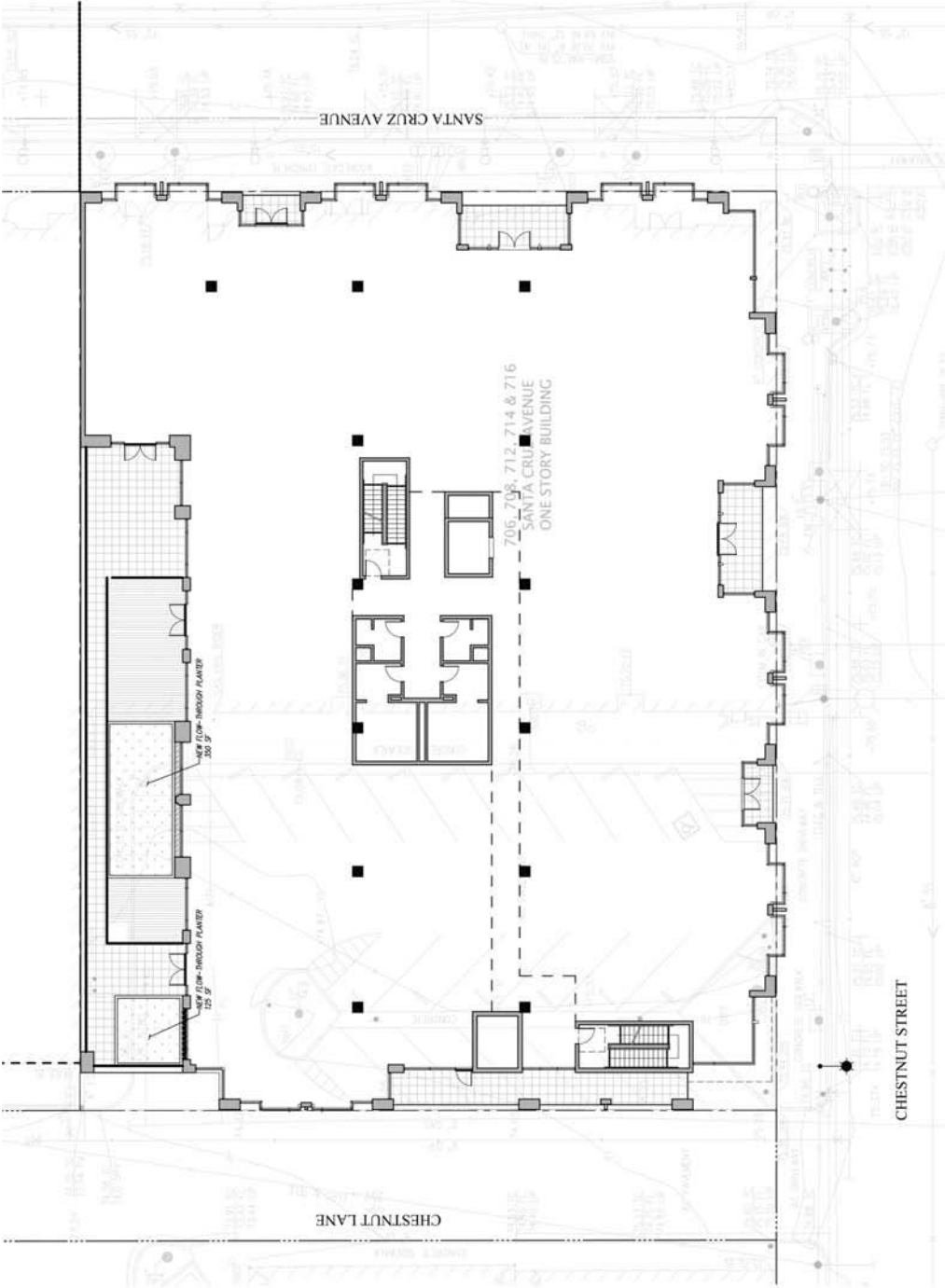
DWS	DOMESTIC WATER SERVICE	EX	EXISTING	PH	FIRE HYDRANT	FL	FLOW LINE	IRR	IRRIGATION	OVD	OVERFLOW DRAIN	RIE	RISE ELEVATION	RIM	RIM ELEVATION	SB	SANITARY SEWER	TV	TOP OF WALL	VEH	VERTICAL
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PRELIMINARY GRADING, DRAINAGE,
UTILITY PLAN SECOND FLOOR

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LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	----
CENTRELINE
ADJACENT LOT	-----
ADJACENT ACCESS	-----
PUMP	⊕
STORM DRAIN MANHOLE	⊙
CATCH BASIN	⊙
MEDIA FILTRATION SYSTEM	⊙
SANITARY SEWER MANHOLE	⊙
FIRE HYDRANT PUMP WET BARREL	⊙
COVE WITH ORNS TO 3/4" X 3/4" CONNECTIONS TO 1/2" X 1/2" INCH	⊙
GATE VALVE	⊙
WATER METER	⊙
POST INDICATOR VALVE	⊙
FIRE DISTRICT CONNECTION	⊙
SPRINKLER SYSTEM RISER	⊙
BACKFLOW PREVENTER	⊙
CHECK VALVE	⊙
REDUCER	⊙
LIGHT	⊙
GAS METER	⊙
INVERT ELEVATION	⊙
MANHOLE	⊙
MANHOLE STALL	⊙
CHIMNEY	⊙
CURB & GUTTER	⊙
RISER CURB	⊙
ROOF	⊙
SANITARY SEWER	⊙
STORM DRAIN GRAVITY FLOW	⊙
STORM DRAIN FORCED FLOW	⊙
DOMESTIC WATER SERVICE	⊙
FORCE MAIN	⊙
FIRE SERVICE	⊙
WATER	⊙
ELECTRIC	⊙
GAS	⊙
JOINT TRENCH	⊙
POC/DEEM/MAK	⊙
INDICATED DOMES	⊙
NO TREATMENT PLANTING	⊙

ABBREVIATIONS

BA	BURBLE UP
COMM	COMMERCIAL
DWS	DOMESTIC WATER SERVICE
FOC	FIRE DEPARTMENT CONNECTION
PH	FIRE HYDRANT
FS	FIRE SERVICE
INVT	INVERT ELEVATION
ODD	OVERHEAD DRAIN
R	ROOF
RES	RESIDENTIAL
SD	STORM DRAIN
SS	SANITARY SEWER
VERT	VERTICAL
W	WATER

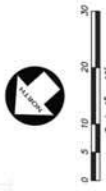
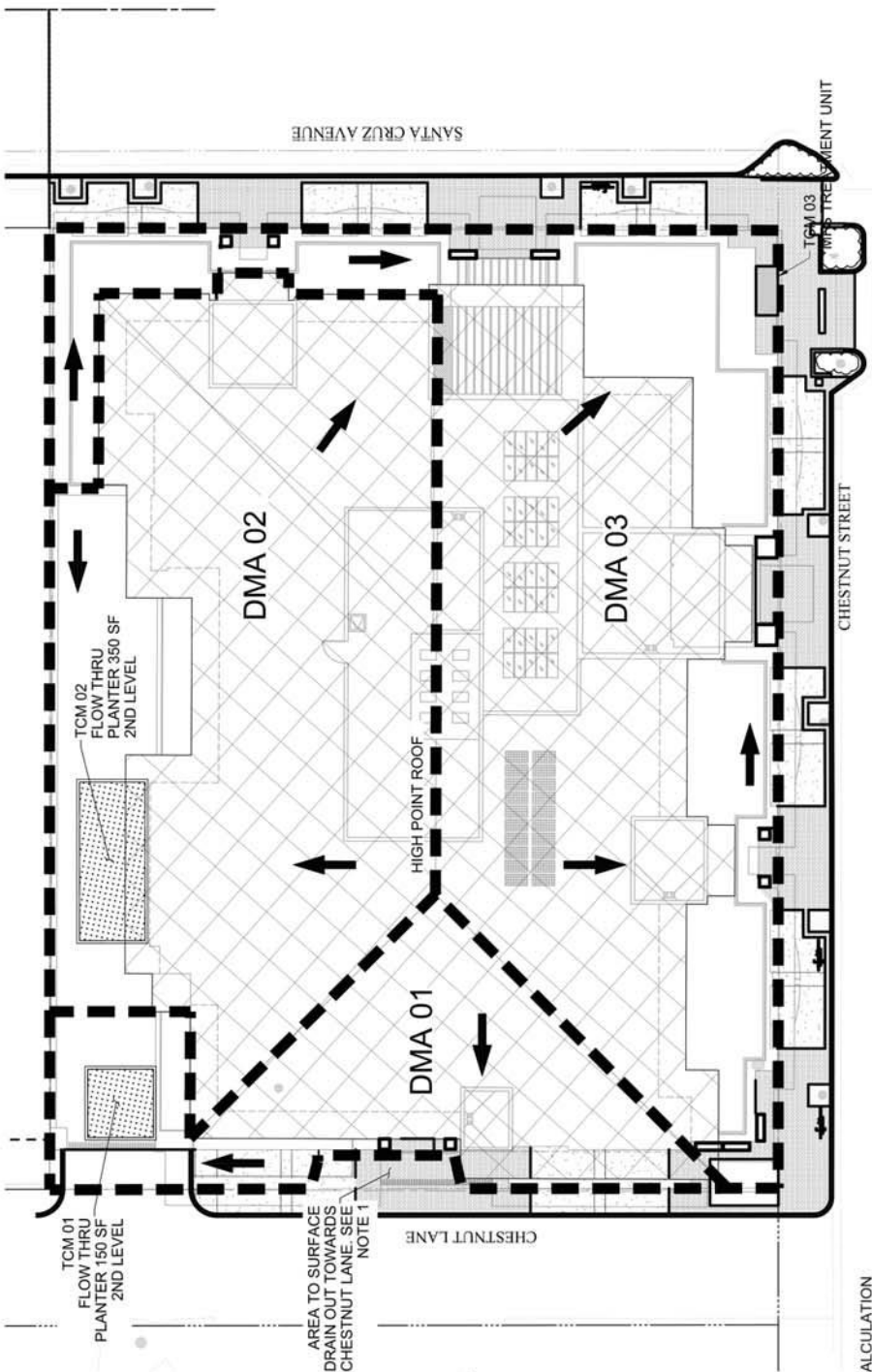
NOTES

- ALL OVERHEAD COMMUNICATION LINES ARE TO BE UNDERGROUND.
- ALL UTILITIES TO BE UNDERGROUND ALONG THE PERMITS SPECIFICATIONS.
- PUBLIC SIDEWALK ACCESS TO ADJACENT PROPERTY TO BE COORDINATED WITH THE CITY OF MENLO PARK AS PART OF PERMIT DRAWINGS.
- EXISTING STREET LIGHTS SHALL BE REFURBISHED AND PAINTED PER THE CITY OF MENLO PARK SPECIFICATIONS.
- ALL EXISTING UTILITIES WITHIN PUBLIC SIDEWALK SHALL BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE.
- BACKFLOW DEVICES SHALL BE LOCATED ON THE GARAGE FLOOR ELECTRICAL ROOM.
- REFER TO SHEET 2 FOR ON-SITE DESIGN INFORMATION.
- IRRIGATION TO ALL EXISTING AND NEW TREES ALONG THE SITE PERMITS SHALL BE CONNECTED TO THE ON-SITE WATER SYSTEM.

PRELIMINARY STORMWATER
MANAGEMENT PLAN

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LEGEND

- DRAINAGE MANAGEMENT AREA LIMITS
- TREATMENT AREA
- IMPERVIOUS ROOF AREA
- DRAINAGE MANAGEMENT AREA
- TREATMENT CONTROL MEASURE
- DMA
- TCM

IMPERVIOUS/PERVIOUS TABLE

EXISTING SITE		PROPOSED SITE	
AREA (SF)	% TOTAL	AREA (SF)	% TOTAL
IMPERVIOUS	22066	22066	97.9
PERVIOUS	489	489	2.1
TOTAL	23555	23555	100.0
C-FACTOR	0.89		

NOTES

1. SMALL AREA NEAR MAIN ENTRY TO BUILDING SHALL DRAIN TO AFFECTED BY THE WASH AND SMALL AMOUNTS OF RAIN THAT FALL UNDER THE 2ND FLOOR TERRACE AREA.

LID TREATMENT REDUCTION CREDIT CALCULATION

Category	Impervious Area Characterization (Urban)	Site Coverage (%)	Project Density/Climate (N.A.)	Allowable Credit (%)	Applied Credit (%)
A			N.A.	100%	
B	0.52	95%	21	50%	50%
C				20%	20%
				TOTAL LID CREDIT =	150

PRELIMINARY STORMWATER MANAGEMENT CALCULATIONS & DETAILS

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MFS UNIT CALCULATIONS
 SITES TREATED IMPERVIOUS AREA 10,760 S.F.
 SITES TREATED IMPERVIOUS AREA 22,844 S.F.
 MFS TREATMENT 47%

MFS UNIT CALCULATIONS

AREA	IMPV	PERV	TOTAL	C-FACTOR	Q (1.5 W)	Q (1.5 W)	CARTRIDGE	CARTRIDGE
(SQA)	(SQA)	(SQA)	(SQA)		(CFS)	(CFS)	(S)	(S)
10,760	10,760	0	10,760	0.00	0.025	0.041	1.1	2.2
12,084	0	12,084	12,084	0.04	0.041	0.041	1.1	2.2

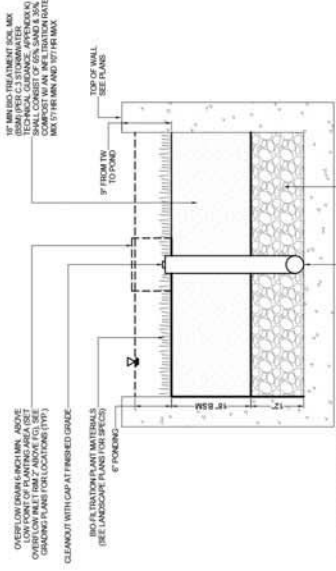
TREATMENT CALCULATIONS

AREA	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TOTAL (SF)	PERVIOUS AREA* (S)	EFFECTIVE IMPERVIOUS AREA (S)	TREATMENT AREA REQUIRED (S)
DMA 01	3,379	100	3,529	15.0	3,284	196
DMA 02	6,675	350	9,025	35.0	8,710	348

LID TREATMENT CALCULATIONS (4% RULE)

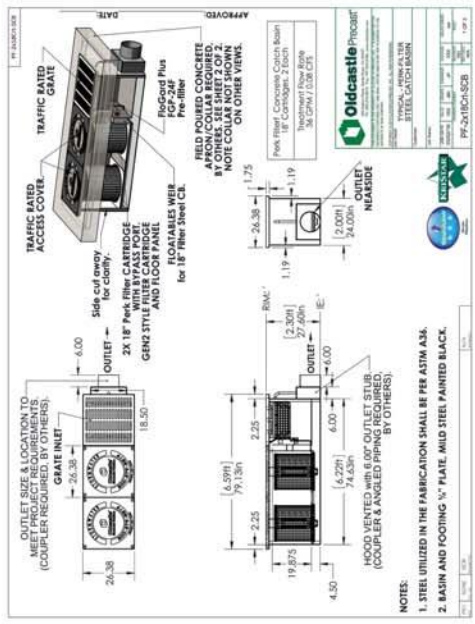
BIOTREATMENT INSPECTION & MAINTENANCE

INSPECTION ACTIVITIES	SUGGESTED FREQUENCY
<ul style="list-style-type: none"> INSPECT AFTER BEING AND AFTER FIRST MAJOR STORM FOR ANY DAMAGES INSPECT FOR SIGNS OF FLOODING TO VEGETATION CHANNELS OF LOW VEGETATION AND LITTER INSPECT FOR SIGNS OF FLOODING TO VEGETATION CHANNELS OF HIGH VEGETATION AND LITTER SEASON. ADDITIONAL INSPECTIONS AT FISH PERIODS OF HEAVY RUNOFF ARE DESIRABLE INSPECT VEGETATION ALONG SIDE SLOPES FOR EROSION AND FORMATION OF BILLS OR GULLIES, AND SAND/SILT BEDS FOR EROSION PROBLEMS 	POST CONSTRUCTION SEMI-ANNUAL ANNUAL
<p>MAINTENANCE ACTIVITIES</p> <ul style="list-style-type: none"> NOISE IF GRASS IS NOT TO MAINTAIN A COAT OF 3-4 INCHES. FOR SAFETY, RESERVE OR GRASS PATCHES. LITTER SHOULD ALWAYS BE REMOVED PRIOR TO MOWING. GRASSMOWS SHOULD BE COMPACTED MAINTAIN THE VEGETATION PROVIDE NEED CONTROL, IF NECESSARY TO CONTROL INVASIVE SPECIES REMOVE LITTER, BRANCHES, BUSHES AND OTHER DEBRIS AND DEPOSE OF PROPERLY REPAIR ANY DAMAGED AREAS WITHIN CHANNEL BENEATH DRAINING INSPECTIONS. EROSION BELLS OR GULLIES SHOULD BE CORRECTED AS NEEDED. SAME AREAS SHOULD BE REPAIRED AS NECESSARY PLANT ANNUAL TEMPORARY GRASS SEEDS IN THE OPEN GRASS COVERS THAT HAVE NOT BEEN SUCCESSFULLY ESTABLISHED. RESEED AND APPLY MULCH TO DAMAGED AREAS REMOVE ALL ACCUMULATED SEDIMENT THAT MAY OBSTRUCT FLOW THROUGH THE BIOTREATMENT AREAS SEDIMENT ACCUMULATING IN COLLECTIONS AND CHANNELS SHOULD BE REMOVED WHEN IT BUILD UP TO 3 INCHES. REMOVE THE GRASS AREAS DAMAGED IN THE PROCESS REPAIR ANY DAMAGED AREAS WITHIN CHANNELS BIOTREATMENT AREAS DOES NOT DRAIN DOWN WITHIN 48 HOURS 	AS NEEDED (FREQUENT, SEASONALLY) SEMI-ANNUAL ANNUAL (AS NEEDED) AS NEEDED (AS NEEDED)

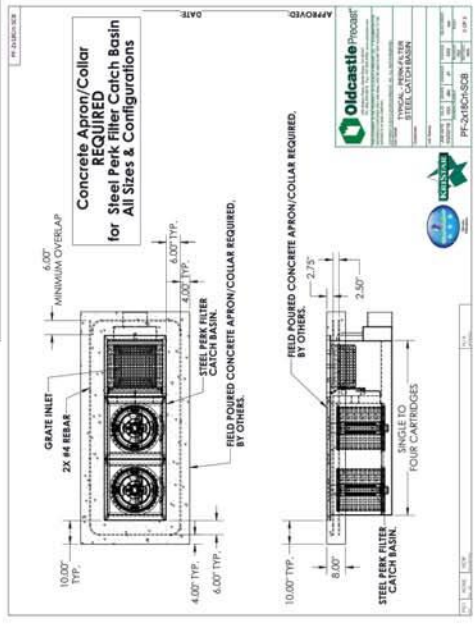


1. PLACEMENT OF BIOTREATMENT SOIL MIX SHALL BE CONSTRUCTED AS SHOWN.
2. SOIL AT BOTTOM OF RETENTION AREA SHALL HAVE A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM RATE OF 10 INCHES/HOUR.
3. BIOTREATMENT SHALL BE PERFORMED FOR THE 48 HOURS BEFORE.
4. AFTER SOIL INSTALLATION TO VERIFY PERCOLATION RATE.

FLOW THROUGH PLANTER DETAIL



- NOTES:
1. STEEL UTILIZED IN THE FABRICATION SHALL BE PER ASTM A36.
 2. BASH AND FOOTING 1/2" FLAT, MILD STEEL PAINTED BLACK.

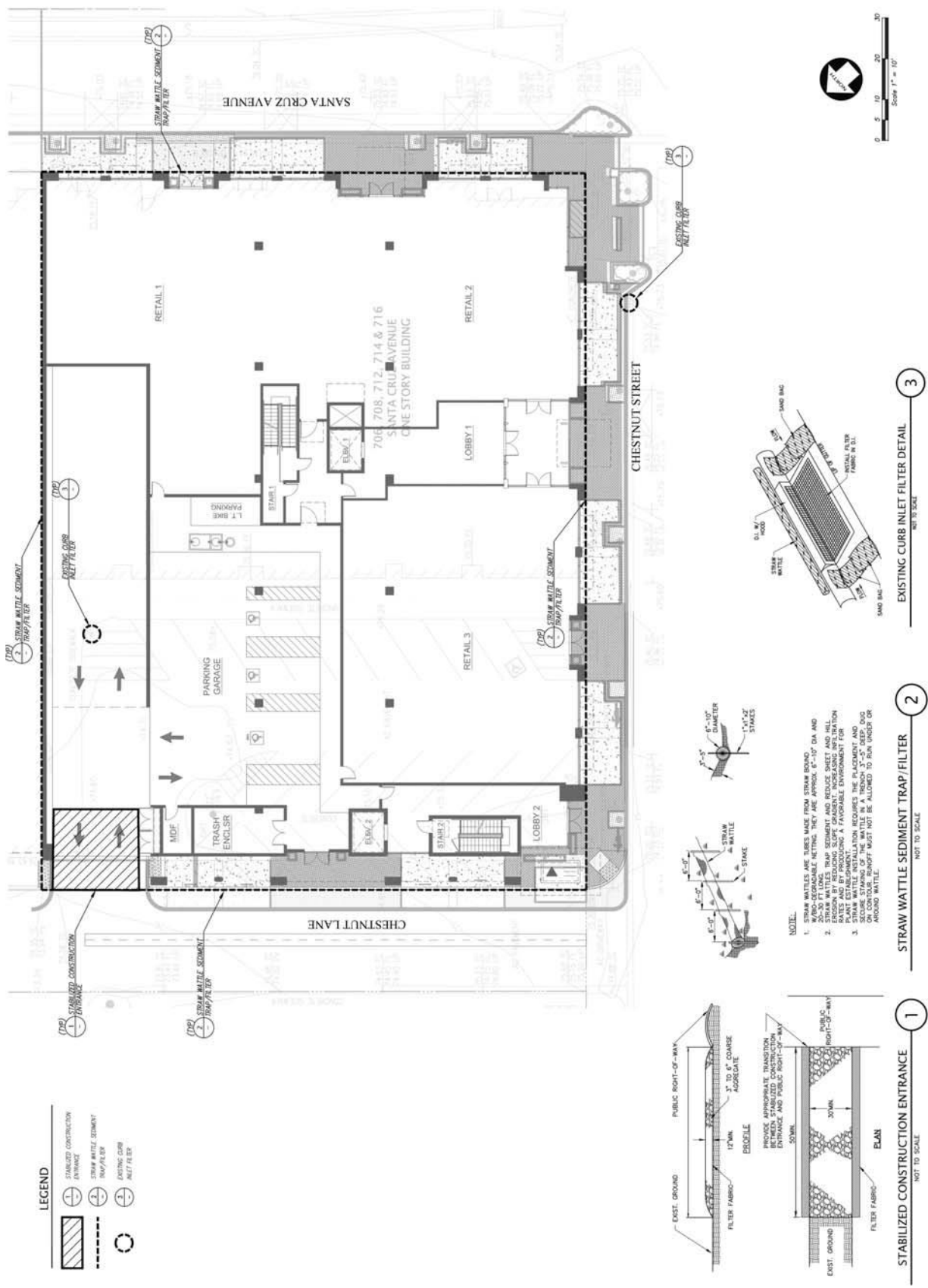


MFS UNIT DETAIL

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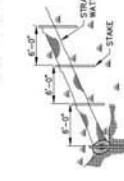
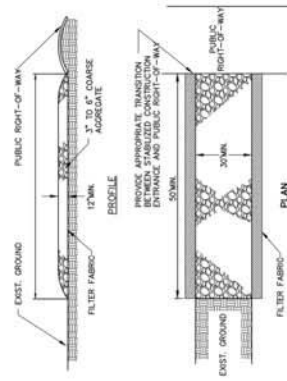
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FORM4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING



LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- STRAW WATTLE SEDIMENT TRAP/FILTER
- EXISTING CURB INLET FILTER DETAIL



- NOTE:**
1. STRAW WATTLES ARE BUNDLES MADE FROM STRAW BUNDLES.
 2. W/PRO-SEPARABLE NETTING THEY ARE APPROX. 6"-10" DIA AND 12' LONG.
 3. STRAW WATTLES TRAP SEDIMENT AND REDUCE SHEET AND HILL EROSION BY REDUCING SLOPE GRADIENT, IMPROVING INFILTRATION AND REDUCING RUNOFF.
 4. PLANT ESTABLISHMENT: A FAVORABLE ENVIRONMENT FOR PLANT ESTABLISHMENT IS ESSENTIAL FOR THE LONG-TERM BENEFIT OF THE WATTLE.
 5. SECURE STAKING OF THE WATTLE IN A TRENCH 3"-5" DEEP, DOG OR CONDUIT, BENEFIT MUST NOT BE ALLOWED TO RUN UNDER OR AROUND WATTLE.

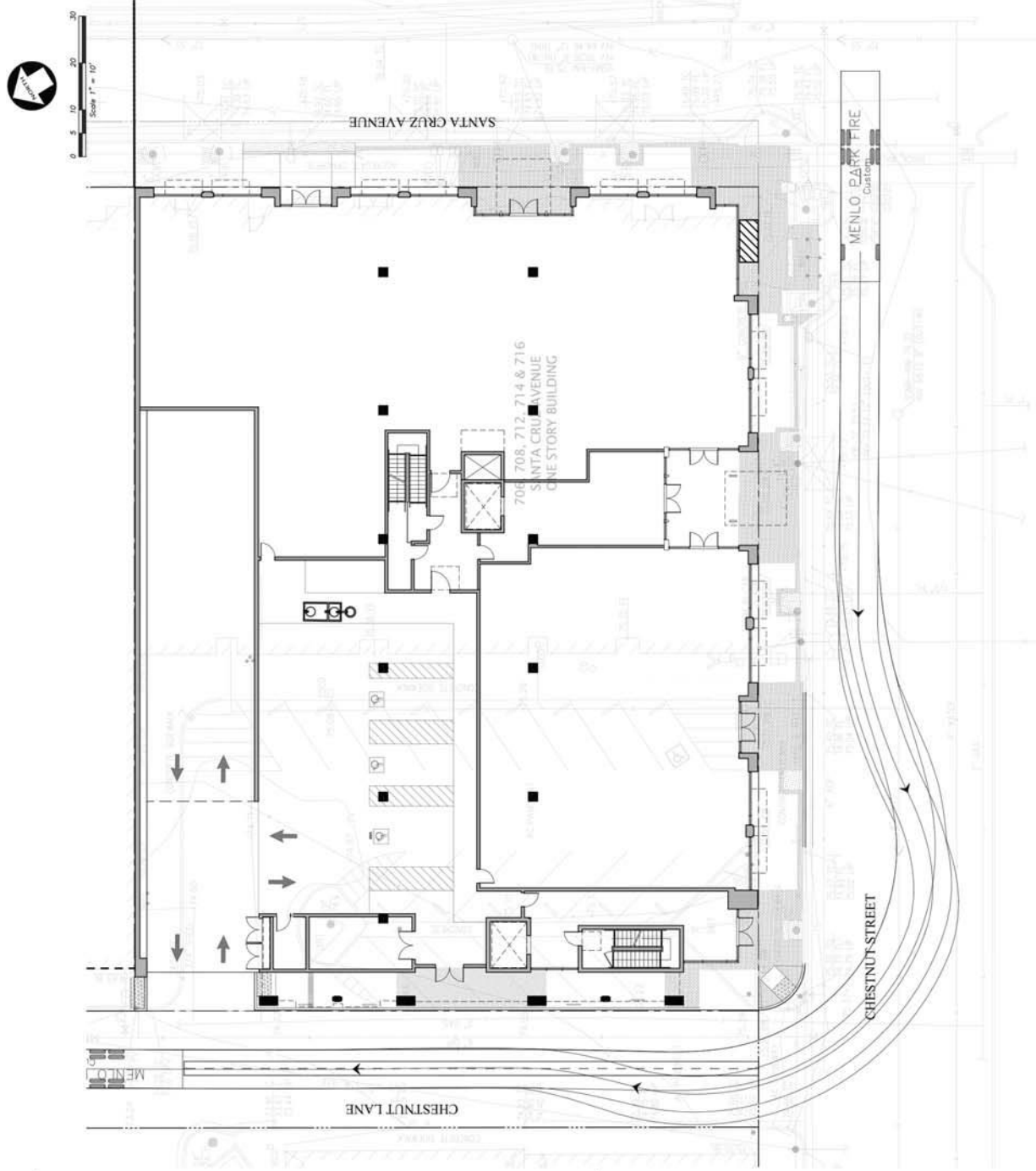


MENLO PARK FIRE TURNING

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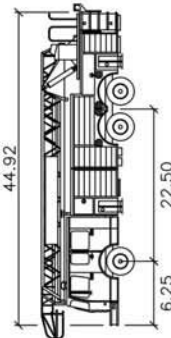


LEGEND

PROPERTY LINE
ADJACENT PROPERTY LINE
CENTERLINE
EASEMENT
NON-ACCESS
PUMP
STORM DRAIN MANHOLE
CATCH BASIN
MEDIA FILTRATION SYSTEM
SANITARY SEWER MANHOLE
TYPE WITH LINK 1 TO 2 INCH
CONNECTION AND TWO 2 TO 3 INCH
GATE VALVE
WATER METER
POST INDICATOR VALVE
FIRE DISTRICT CONNECTION
SPRINKLER SYSTEM RISER
BACKFLOW PREVENTER
CHECK VALVE
REDUCER
LIGHT
GAS METER
TRANSFORMER
SPOT ELEVATION
HANDICAP STALL
CURB
CURB & GUTTER
RED CURB
STAIR
SANITARY RISER
STORM DRAIN GRAVITY FLOW
STORM DRAIN FORCED FLOW
DOMESTIC WATER SERVICE
FORCE MAIN
FIRE SERVICE
WATER
ELECTRIC
GAS
JOINT TRENCH
FCC SIDEWALK
TRUNCATED DOMES

ABBREVIATIONS

BU	BURBLE UP
DM	DRAWING
DWS	DOMESTIC WATER SERVICE
EX	EXISTING
FC	FIRE CONNECTION
FI	FIRE HYDRANT
FL	FLOW LINE
IR	INVERT ELEVATION
IRG	IRRIGATION
OD	OPEN DRAIN
ODD	OPEN DRAIN DOWN
RES	RESIDENTIAL
RELEV	RELEVATION
RM	RESIDENTIAL MANHOLE
SS	SANITARY SEWER
TH	TOP OF WALL
TR	TRUNCATED
W	WIDTH



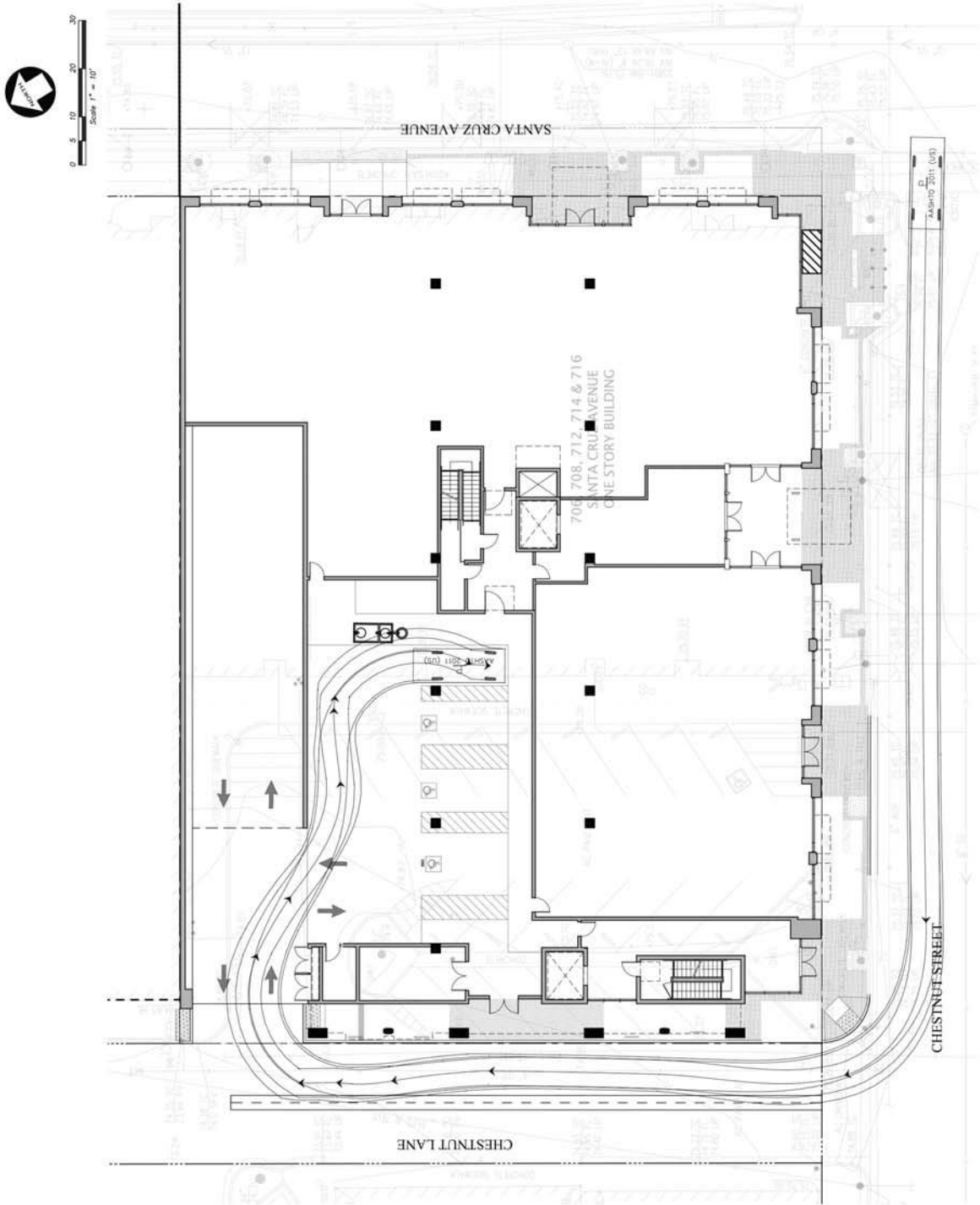
MENLO PARK FIRE feet

Width	: 8.25
Track	: 8.25
Lock to Lock Time	: 6.0
Steering Angle	: 25.4

PASSENGER VEHICLE TURNING

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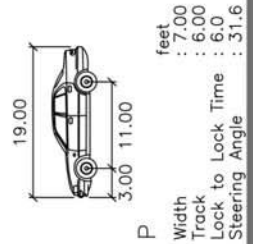


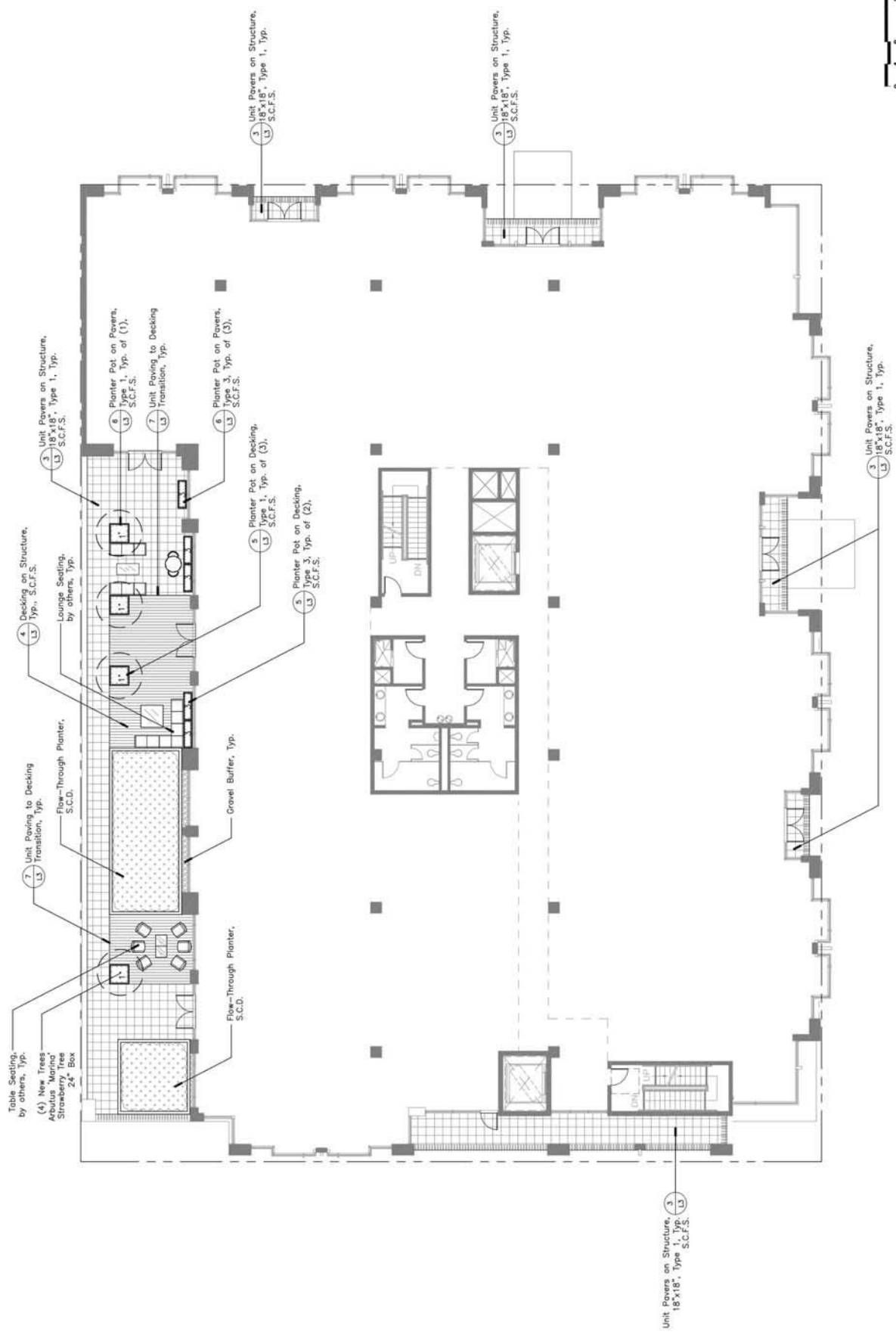
LEGEND

PROPERTY LINE
ADJACENT PROPERTY LINE
CENTURINE
EMBANKMENT
NON-ACCESS
PUMP
POLE/LOAN MANHOLE
CATCH BASIN
MEDIA FILTRATION SYSTEM
SANITARY SEWER MANHOLE
FIRE HYDRANT/MANHOLE BARREL TYPE WITH ONE 4 1/2 INCH AND TWO 2 1/2 INCH CONNECTIONS
GATE VALVE
WATER METER
POST INDICATOR VALVE
FIRE DISTRICT CONNECTION
SPRINKLER SYSTEM RISER
BACKFLOW PREVENTER
CHECK VALVE
REDUCER
LIGHT
GAS METER
TRANSFORMER
SPOT ELEVATION
HANDICAP STALL
CURB
CURB & GUTTER
RED CURB
RISE
SANITARY SEWER
STORM DRAIN GRAVITY FLOW
STORM DRAIN FORCED FLOW
DOMESTIC WATER SERVICE
FORCE MAIN
WATER SERVICE
WIRE SERVICE
ELECTRIC
GAS
JOINT TRENCH
POC SIDEWALK
TRUNCATED DOWNS
BIO-TREATMENT PLANTING

ABBREVIATIONS

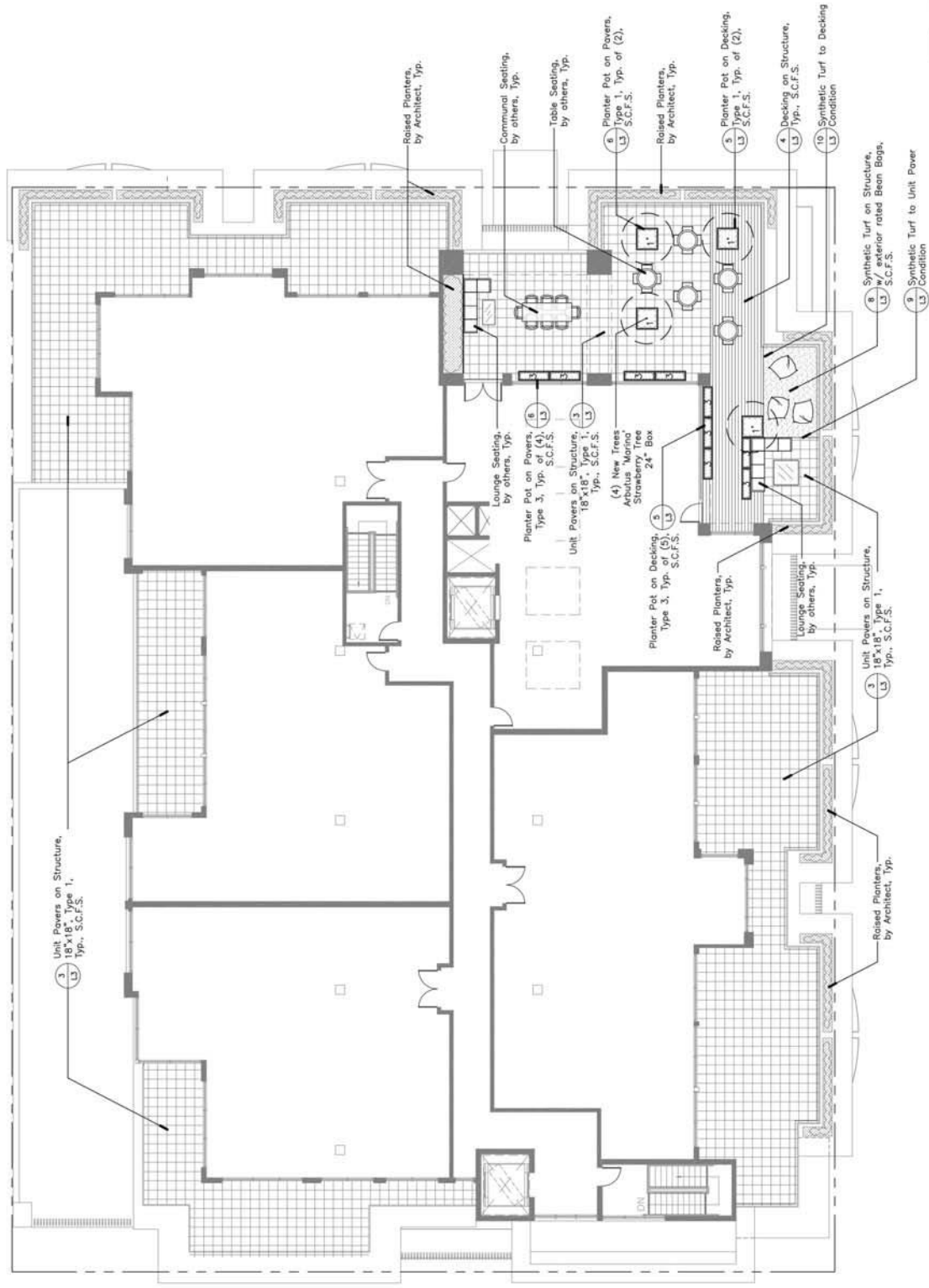
BS	BRUSH UP
COMM	COMMERCIAL
DWS	DOMESTIC WATER SERVICE
FC	FIRE CONNECTION
FDC	FIRE DEPARTMENT CONNECTION
FI	FIRE HYDRANT
FL	FLOW LINE
INV	INVERT ELEVATION
IRI	IRRIGATION
LD	LOW DRAIN
R	RISE
RES	RESIDENTIAL
SBE	SEWER ELEVATION
SS	SANITARY SEWER
TW	TOP OF WALL
WT	WET
W	WITH





FORM4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING

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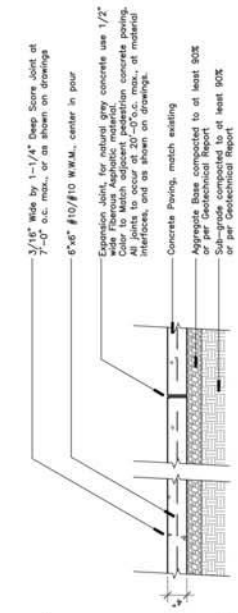
LEVEL 3- LANDSCAPE PLAN

LANDSCAPE DETAILS

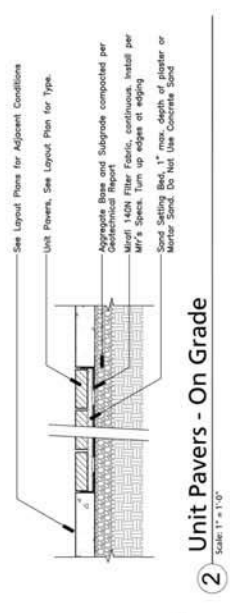
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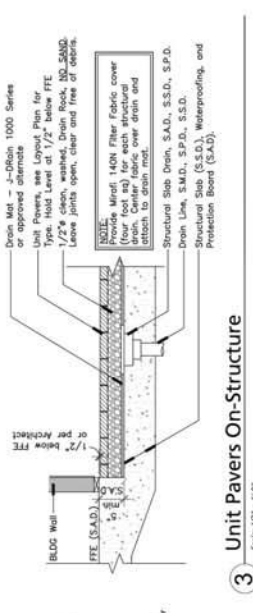
FORM4 ARCHITECTURE • THE GUZZARDO PARTNERSHIP • KIER & WRIGHT • ADAPTURE • INTERFACE ENGINEERING



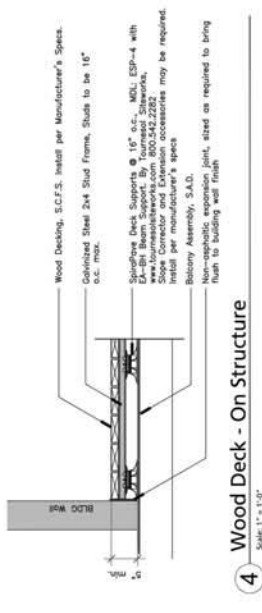
1 Concrete Paving On-Grade



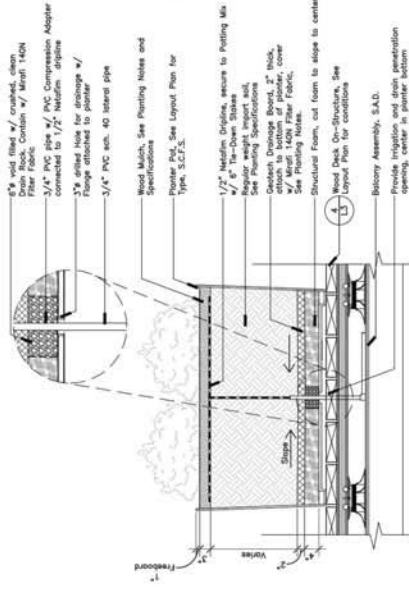
2 Unit Pavers - On Grade



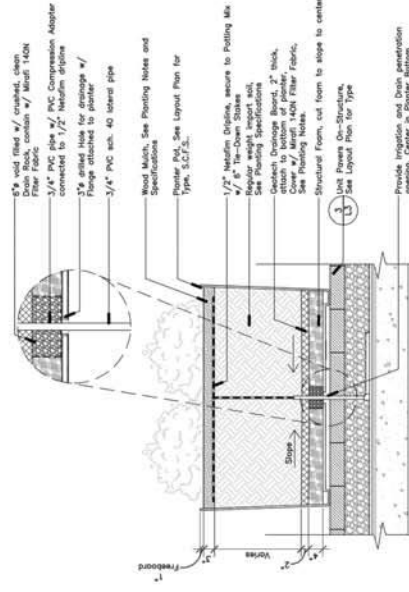
3 Unit Pavers On-Structure



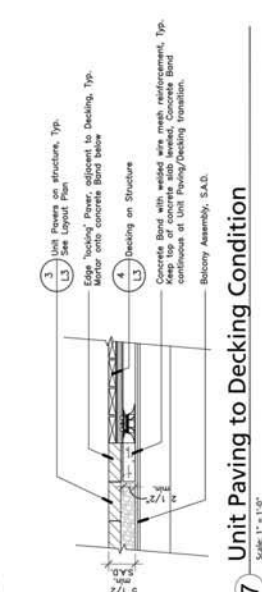
4 Wood Deck - On Structure



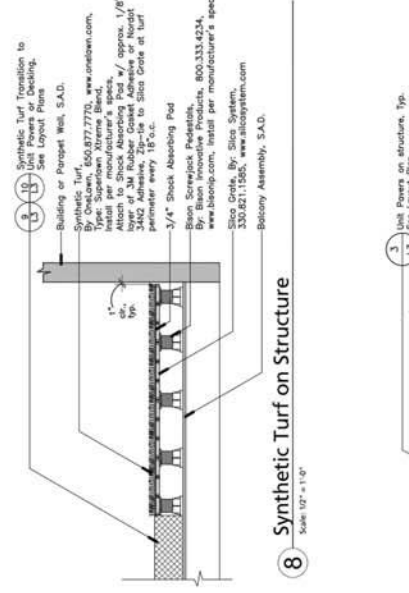
5 Planter Pot on Decking Condition



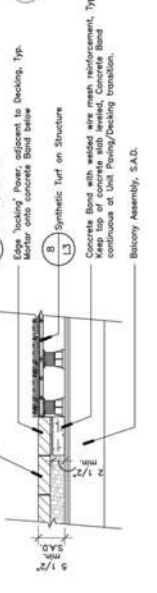
6 Planter Pot on Pavers Condition



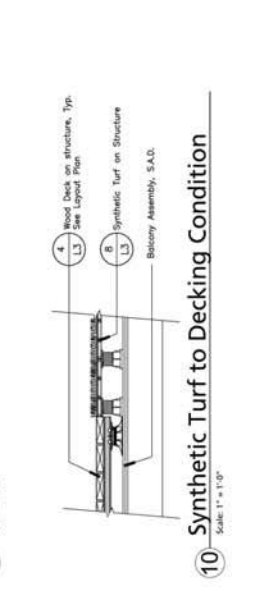
7 Unit Paving to Decking Condition



8 Synthetic Turf on Structure



9 Synthetic Turf to Unit Paver Condition



10 Synthetic Turf to Decking Condition

EXISTING TREE INVENTORY - 11/16/2015

Tag No.	Botanical Name	Common Name	Trunk Diameter (in.)	Remain	Remove
1	<i>Tilia cordata</i>	Lime Tree	18	X	
2	<i>Lagerstrœmia indica</i>	Crape Myrtle	7		X
3	<i>Lagerstrœmia indica</i>	Crape Myrtle	5		X
4	<i>Philadelphum undulatum</i>	Victorian Box	11	X	
5	<i>Philadelphum undulatum</i>	Victorian Box	10	X	
6	<i>Tilia cordata</i>	Lime Tree	12	X	
7	<i>Prunella americana</i>	Flowering Plum	2	X	
8	<i>Prunella americana</i>	Flowering Plum	3	X	
9	<i>Philadelphum undulatum</i>	Victorian Box	18		X
10	<i>Philadelphum undulatum</i>	Victorian Box	12	X	
11	<i>Ulmus californicus</i>	California Bay Tree	29	X	
12	<i>Ulmus californicus</i>	California Bay Tree	29	X	
13	<i>Malvula grandiflora</i>	Southern Magnolia	13	X	
14	<i>Conocarpus alluaqui</i>	Carob Tree	26	X	
15	<i>Pistacia chinensis</i>	Chinese Pistache	2		X

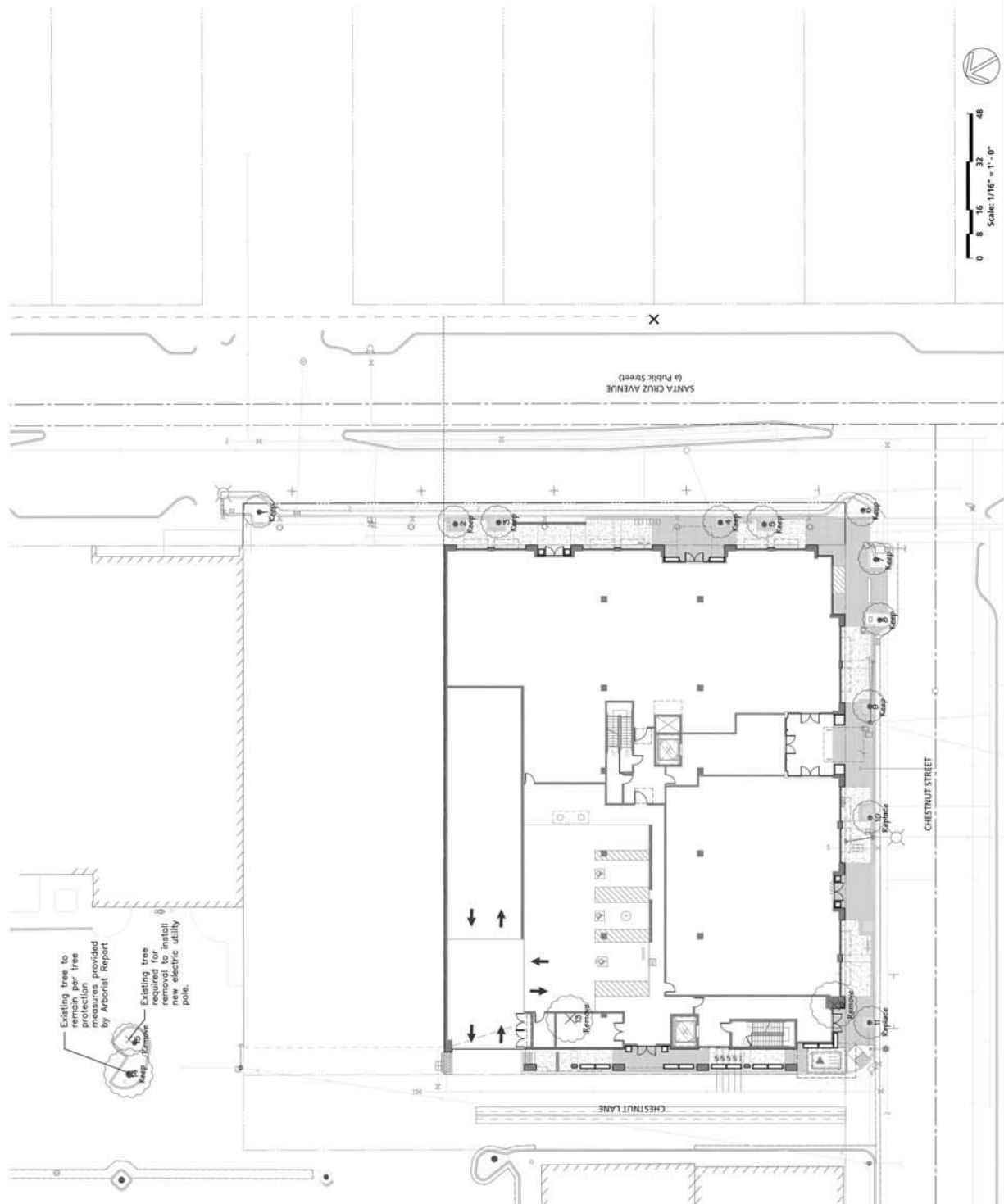
EXISTING AND PROPOSED TREES

Total Existing Trees	15
Total Existing Trees to be Removed	5
Total Existing Trees to Remain	10
Total Proposed Trees	11
Net Total Trees for Project	21

TREE DISPOSITION LEGEND

 Existing tree to be removed
 Existing tree to remain

NOTE: Tree Disposition Plan has been prepared in accordance with the City of Menlo Park Ordinance 100, 2015 for tree preservation details.



L 4.0
August 15, 2018

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TREE DISPOSITION PLAN

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Meador, Kaitie M

From: Lyn McMillan <lynmcm@gmail.com>
Sent: Wednesday, August 29, 2018 1:40 PM
To: Meador, Kaitie M
Subject: Fwd: Regarding Trash containers in downtown parking spaces, including Chestnut Lane parking area.

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Ms. Meador,

I hope that when the City reviews the situation on Chestnut Lane they will consider the trash problem that exist there now. I do not understand why the City lets property owners park their dumpsters in the parking lot rather than on their own property. This email was sent to all members of the city council. Only one replied.

The photos in this email were taken in late July, it has been an ongoing problem for years. Sometimes the trash heaps are even worse than what you see here in these photos.

Please include these emails and photos in the City's report for on Chestnut Lane, along with why the City is allowing this.

Thank you,

E. McMillan

----- Forwarded message -----

From: Lyn McMillan <lynmcm@gmail.com>
Date: Mon, Aug 13, 2018 at 07:36
Subject: Trash containers in downtown parking spaces
To: <city.council@menlopark.org>

Dear Members of the City Council,

Why is the city permitting private businesses in the downtown area to keep their dumpsters in much needed parking stalls rather than on their own property?

Not only are we losing 15 or more valuable parking spaces in the downtown area, the dumpsters create a safety hazard as they attract all kinds of trash including furniture, mattresses, paint cans, fish tanks, mirrors, wooden pallets, dental office waste, hazardous waste, electronic waste, and food waste, the list goes on and on. Most of the people dumping things in or near the dumpsters think the city is providing this free service. Some nearby landlords have told their tenants to use the dumpsters as it saves them the cost of providing trash removal for their tenants. Broken glass and nails on the pavement are common (see last photo). When the dumpsters fill, the dumpers just put their trash in the recycling bins or leave it on the ground.

There are scavengers who come by at night, two legged and four legged. Just keep watch about 11pm, lots of dumping activity and lots of scavenging. When the wind blows the trash does also, all around the parking lot.

This problem has been brought up to two of the owners of these dumpsters with no results. It has also been brought up to code enforcement with no results. Plus two of you on the City Council were shown photos of this problem a couple of years ago and promised to get right on it.

Since downtown businesses can have trash removal 5 days a week there is no need for dumpsters, rolling carts confined to their own property should suffice.

Please explain why this is being allowed and/or condoned. Thank you.

L. McMillan







